



Homer City Hall
491 E. Pioneer Avenue
Homer, Alaska 99603
www.cityofhomer-ak.gov

City of Homer Agenda

Economic Development Advisory Commission Regular Meeting

Tuesday, December 14, 2021 at 6:00 PM

City Hall Cowles Council Chambers In-Person & via Zoom Webinar

Webinar ID: 990 0366 1092 Password: 725933

Dial: 346-248-7799 or 669-900-6833; (Toll Free) 888-788-0099 or 877-853-5247

CALL TO ORDER, PLEDGE OF ALLEGIANCE, 6:00 P.M.

AGENDA APPROVAL

PUBLIC COMMENTS ON MATTERS ALREADY ON THE AGENDA (3 minute time limit)

RECONSIDERATION

CONSENT AGENDA (Items listed below are considered routine and non-controversial by the Commission and are approved in one motion. If a separate discussion is desired on an item, a Commissioner may request that item be removed from the Consent Agenda and placed on the Regular Agenda under New Business.)

A. November 9, 2021 Regular Meeting Minutes

Page 3

VISITORS/PRESENTATIONS (45 minute time limit)

A. Peter Briggs, Corvus Designs – Wayfinding & Streetscape Draft Plan Presentation

STAFF & COUNCIL REPORT/COMMITTEE REPORTS

A. EDC Staff Report

Page 9

B. Chamber Director Report

C. Homer Marine Trades Association Report

Page 10

D. Kenai Peninsula Economic Development District (KPEDD) Report

PUBLIC HEARING

PENDING BUSINESS

A. Wayfinding-Streetscape Plan Project

Page 14

i. Wayfinding Master Sign Plan

Page 15

ii. Wayfinding & Streetscape Plan – December 2021 Draft

Page 26

iii. Streetscape Plan – December 2021 Draft

Page 86

NEW BUSINESS

- A. 2022 Draft Land Allocation Plan **Page 113**
 - i. HCC 18.08.020 **Page 115**
 - ii. 2022 Draft Land Allocation Plan **Page 116**
 - iii. Map, City lands on the Homer Spit **Page 246**

INFORMATIONAL MATERIALS

- A. EDC 2021-2022 Strategic Plan/Goals **Page 247**
- B. Sister City Japan-Alaska Photo + Essay Campaign Flyer **Page 249**
- C. City Manager’s Report for December 13, 2021 (*laydown*)
- D. EDC 2022 Calendar **Page 250**

COMMENTS OF THE AUDIENCE (3 minute time limit)

COMMENTS OF THE CITY STAFF

COMMENTS OF THE COMMISSION

ADJOURNMENT

Next Regular Meeting is **TUESDAY, JANUARY 11, 2022 at 6:00 p.m.** All meetings scheduled to be held in the City Hall Cowles Council Chambers located at 491 E. Pioneer Avenue, Homer, Alaska and via Zoom Webinar.

Session 21-10 a Regular Meeting of the Economic Development Advisory Commission was called to order by Chair Karin Marks at 6:00 p.m. on November 9, 2021 at the Cowles Council Chambers, City Hall located at 491 E. Pioneer Avenue, Homer, Alaska and via Zoom Webinar, and opened with the Pledge of Allegiance. Luke Gamble was appointed on November 8, 2021 to fill the vacant seat.

PRESENT: COMMISSIONERS AREVALO, CHEROK, GAMBLE, MARKS, SPEAKMAN

ABSENT: COMMISSIONERS BROWN AND PERSON (both excused)

STAFF: DEPUTY CITY PLANNER ENGBRETSSEN
CITY CLERK JACOBSEN

AGENDA APPROVAL

AREVALO/SPEAKMAN MOVED TO APPROVE THE AGENDA

There was no discussion.

VOTE: NON OBJECTION: UNANIMOUS CONSENT

Motion carried.

PUBLIC COMMENTS ON MATTERS ALREADY ON THE AGENDA (3 minute time limit)

RECONSIDERATION

APPROVAL OF MINUTES

A. October 12, 2021 Regular Meeting Minutes

AREVALO/GAMBLE MOVED TO APPROVE THE MINUTES FROM OCTOBER 12TH.

There was no discussion.

VOTE: NON OBJECTION: UNANIMOUS CONSENT

Motion carried.

VISITORS/PRESENTATIONS

A. Devony Lehner, Independent Living Center – Accessible Homer

Devony Lehner presented to the Commission on Accessible Homer, a website through the Independent Living Center that emphasizes recreation and leisure activities available in Homer for those experiencing disabilities, and provides guidance on the availability of services and adaptive equipment.

STAFF & COUNCIL REPORT/COMMITTEE REPORTS

A. EDC Staff Report

Deputy City Planner Engebretsen noted her staff report that was included in the agenda packet. In addition she reported on the microphone upgrades at in the Council Chambers, the Kenai Peninsula Homeless Coalition working group, and an upcoming presentation from City Planner Abboud on housing, housing supply, and land use. Mrs. Engebretsen noted negotiations are still ongoing with STANTEC on the HERC project, and there should be nearly final a Wayfinding and Streetscape presentation and package at the December meeting.

There was brief discussion regarding funding for the HERC project, and on the Homeless Coalition.

B. Chamber Director Report

Brad Anderson, Homer Chamber of Commerce Executive Director, reported on the recent Chamber Luncheon with Harbormaster Bryan Hawkins and Aaron Fleenor from Northern Enterprises with a focus on the Large Vessel Expansion Plans. They'll be doing a tourism forecast at their January luncheon. There are signs next year will be a very strong tourism season for Homer, based on feedback from local businesses and calls to the Chamber, and currently there are two cruise ships scheduled. He highlighted updates to the Chamber website and reported on upcoming conferences being scheduled in Homer for 2022.

C. Homer Marine Trades Association Report

D. Kenai Peninsula Economic Development District (KPEDD) Report

Chair Marks reported KPEDD's Economic Resiliency Program rollout is coming out soon and that will be beneficial to the work the Commission is doing. She noted the work KPEDD does in providing support letters for projects throughout the Peninsula, videos that are available through KPEDD that businesses are using to help with recruiting, and the Industry Outlook Forum coming up on January 6, 2022 in Kenai. She also addressed KPEDD's work in assisting communities in applying for American Rescue Act Funds and EDA Grants.

PUBLIC HEARING

PENDING BUSINESS

- A. EDC Strategic Plan Update
 - i. DRAFT 2021-2022 Strategic Plan

Deputy City Planner Engebretsen noted she made the changes the Commission addressed at their last meeting and realized under ongoing goals she may not have captured all the ideas they discussed, but thinks it's ready to be approved so they can start working on the goals.

AREVALO/SPEAKMAN MOVED TO APPROVE THE 2021-2022 STRATEGIC PLAN AS THEY HAVE DEVELOPED IT.

There was no discussion.

VOTE: YES: MARKS, CHEROK, AREVALO, SPEAKMAN, GAMBLE

Motion carried.

- B. EDC Bylaw Amendments
 - i. DRAFT EDC Bylaws
 - ii. Current EDC Bylaws – Adopted September 28, 2020

Chair Marks briefly reviewed some of the amendments to the bylaws.

AREVALO/GAMBLE MOVED TO APPROVE THE BYLAWS AS WE HAVE SEEN IN OUR DRAFT AND HAS BEEN AMENDED OVER THE COURSE OF THE LAST TWO MONTHS AND FORWARD TO CITY COUNCIL FOR APPROVAL.

There was no discussion.

VOTE: YES: MARKS, CHEROK, AREVALO, SPEAKMAN, GAMBLE

Motion carried.

NEW BUSINESS

- A. Recommendation on the Funding Request from AKSBDC
 - i. Alaska Small Business Development Center (AKSBDC) October Presentation

Deputy City Planner Engebretsen commented regarding an email that was circulated regarding the Alaska Small Business Development Center FY22 first quarter report and a copy of their contract with Seward. From a municipal perspective the question is, is this service important enough that the City of Homer and its tax payers should be paying for a University of Alaska employee to provide this service in our town. This came to the City before and the City said no, it needs to be a sustainable program and it's not for us to fund an employee of another organization. That being said it is a great service and it's a recommendation the Commission can make to City Council. She would like them to make a motion for or against funding, and discuss basic ideas. If it's something they support, she'll let Mr. Cochran know and he can provide information to Council.

Chair Marks provided additional information and history on the Small Business Development Center. CARES Act money funded this current temporary half time position and if there isn't support in funding the position here, people will have to go the Kenai/Soldotna office. As the Chamber Director said, there has been a heavy increase of people having interest in small businesses. Having more business support

is good for Homer in creating more jobs, sale tax revenue, and expanding service. She feels it's worthy of recommendation. She shared that the \$25,000 is a portion of the cost, the SBD provides funds and support and the Chamber provides in-kind support, and it might be worth finding other organizations that might be able to help with the funding request.

Commissioner Cherok commented regarding the low cost of a great service. It will allow for better educated and more sustainable small businesses in Homer. There can be a lot of turnaround in small businesses and having a local resource with someone who knows Homer will help keep small businesses successful and grow more of them. That would result in tax revenue and population growth. He feels they should support the funding request.

Commissioner Gamble has had good experience working with Mr. Cochran, he's very knowledgeable. He agrees that the increase in revenues from having this service available in town will more than offset the cost. The Chamber doesn't have it in their budget to do this and they can use all the help they can get in developing businesses in town. It will be a hindrance for a lot of folks trying to start a new business to have to do the meetings over the phone or to drive up the road.

Commissioner Speakman shared about the significance of having someone here locally because a lot of people don't know how to start a business and they get limited information from the Borough and State Business Licensing offices. She thinks this is an inexpensive answer and we'll see the returns on it.

SPEAKMAN/CHEROK MOVED TO SEND A RECOMMENDATION TO CITY COUNCIL ON THE FUNDING REQUEST FOR \$25,000 TO SUPPORT A HALF TIME EMPLOYEE IN HOMER FOR THE SMALL BUSINESS DEVELOPMENT CENTER.

There was no discussion.

VOTE: YES: MARKS, CHEROK, AREVALO, SPEAKMAN, GAMBLE

Motion carried.

Deputy City Planner Engebretsen will put together a short memo of recommendation from the Commission and let Mr. Cochran know so he can prepare information to provide to Council.

B. Annual Report to City Council

Deputy City Planner Engebretsen shared that even though Council hears the Commission's report each month, it's rare to have a group that reports on their annual accomplishments.

GAMBLE/SPEAKMAN MOVED TO APPROVE THE 2021 COMMISSION ACCOMPLISHMENTS LISTED IN DEPUTY CITY PLANNER ENGBRETSSEN'S MEMO AND FOR THEM TO BE FORWARDED TO CITY COUNCIL VIA MEMORANDUM.

It was suggested adding their work and recommendation regarding the Small Business Development Center. Deputy City Planner Engebretsen confirmed she would add it.

VOTE: YES: MARKS, CHEROK, AREVALO, SPEAKMAN, GAMBLE

Motion carried.

- C. EDC Meeting Schedule for 2022
 - i. DRAFT Reso 21-1xx 2022 Meeting Schedule

There was brief discussion regarding the July meeting and whether or not to cancel it.

AREVALO/SPEAKMAN MOVED TO APPROVE 2022 MEETING SCHEDULE AS WRITTEN IN THE RESOLUTION.

There was no discussion.

VOTE: NON OBJECTION: UNANIMOUS CONSENT

Motion carried.

- D. Staff Recommendation for a Consent Agenda
 - i. Consent Agenda Information

Deputy City Planner Engebretsen explained the consent agenda is a tool the Commission can use to help streamline meetings. The consent agenda is made up of regular, non-controversial business, and if there's something a Commissioner wants to discuss, they can remove it from the consent agenda before it's approved.

SPEAKMAN/GAMBLE MOVED TO USE THE CONSENT AGENDA AS PART OF THE MEETING AGENDA FORMAT.

There was no discussion.

VOTE: NON OBJECTION: UNANIMOUS CONSENT

Motion carried.

INFORMATIONAL MATERIALS

- A. City Manager's Report for October 25, 2021
- B. City Manager's Report for November 8, 2021
- C. EDC 2021 Calendar

The Commission discussed upcoming meeting schedules and reports from the Commission.

COMMENTS OF THE AUDIENCE

COMMENTS OF THE CITY STAFF

Deputy City Planner Engebretsen welcomed Commissioner Gamble.

COMMENTS OF THE COMMISSION

Chair Marks welcomed Commissioner Gamble. She commended the current members and those before. We've come a long way with the Economic Development Commission and she thanks them from the bottom of her heart, that they're doing things and showing purpose and value.

Commissioner Arevalo commented the Alaska Farm Bureau is teaming up with Western Sustainable Agriculture Research and Education to have a conference in Anchorage this weekend to help support local agriculture industry broadly. She also announced KBBI will be having a scavenger hunt leading people to local businesses to take selfies and post them to promote local businesses.

Commissioner Speakman commented Small Business Saturday is coming up and encouraged getting out and shopping locally, and early.

Commissioner Gable thanked everyone for welcoming him and he's looking forward to working on the Commission.

Commissioner Cherok welcomed Commissioner Gamble, it was a good meeting tonight.

ADJOURN

There being no further business to come before the Commission Chair Marks adjourned the meeting at 7:47 p.m. Their next regular meeting is Tuesday, December 14, 2021 at 6:00 p.m. All meetings are scheduled to be held in the City Hall Cowles Council Chambers and Zoom webinar.

MELISSA JACOBSEN, MMC, CITY CLERK

Approved: _____



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TO: Economic Development Advisory Commission
FROM: Julie Engebretsen, Deputy City Planner
DATE: December 8, 2021
SUBJECT: December Staff Report

Staff Activities

HERC: Stantec is under contract and work has begun. Council had a work session on Monday December 6th. A community survey will launch shortly, and will be out for about a month via survey monkey. I'll have the latest news at our meeting.

Planning Commission Activities

- The Commission heard a presentation on a recently completed study on Homer's coastal erosion.
- The Commission meets only once during the months of November and December so not a lot to report on!

Upcoming Events

KPEDD 2022 Industry Outlook Forum, in person and virtual, January 6th, Kenai. Registration: <https://kpedd.org/>

HMTA Regular Board Meeting

MINUTES

October 20, 2021

NOMAR

Call to order: The meeting was called to order by President, Aaron Fleenor at 6:03 p.m.

Officers Present: Aaron Fleenor, Jen Hakala, Cinda Martin, Mark Zieset, Kate Mitchell, Josh Hankin-Foley and Bruce Friend. Eric Engebretsen, Claire Neaton, and PMatt Alward were absent and excused. A quorum was established.

Approve Agenda: Motion by Jen Hakala to approve the Agenda with the addition of the Homer Chamber Luncheon, 2nd and carried.

Approve Minutes from 7/13/21 Meeting: Motion by Jen Hakala to approve the minutes of the 7/13/2021 board of directors meeting as written, 2nd and carried.

Treasurer's Report: Treasurer, Jen Hakala gave her report that included a current Balance Sheet showing bank balances of \$27,466 with \$9,304 in A/R, copy attached for the record. The outstanding AP's include HHA banner invoice for \$500 and Sound Publishing for the last two Homer News ads. Our new website has a feature for invoice payments called Stripe which has an associated fee with each payment. We have 3 new members that have signed up through the website. Jen also mentioned that the Zoom account just renewed @ \$161 for the year.

Committee Reports:

- Advertising, Web/Social Media –
 - Print - Kate reported that she has the brochure and tide books ready for printing, ad spots have been sold and billed.
 - Radio – Kate reported that the committee proposes the increase of KBBIs underwriting to \$1,000 which would allow for the promotion of the KPC courses and reimbursement stipend. Motion by Kate Mitchell to increase the KBBI underwriting to \$1,000 to allow for promotion of our workforce development efforts, 2nd and carried. The committee will work on a budget for the coming year at their next meeting.
 - Video - Mark reported on the video update to edit out former member businesses and offer spots to new members as well as highlighting NEBY, Homer Harbor and Bay Weld expansions and add closed caption. Mark Brinster estimates \$3,000 - \$4,000 for the updates; Bryan responded to the email with his support for the updates and to share the cost from his budget. Motion by Jen Hakala to move forward with the video update, anticipating a cost split with the Homer Harbor, our portion not to exceed \$2,000, 2nd and carried. Member businesses would cover the cost of their specific ad updates.
 - Website – Mark and Aaron reported that they intend to offer Grady memberships for his businesses, Odin Meadery and Spruce Tips Tasting Room as an in-kind compensation for all he's done in support of HMTA. Josh reported that he is looking for feedback on the website. Aaron will contact Grady to get a digital copy of the new logo to use on Social Media and all of our printed items including the banners.
 - Expo Banner – Aaron reported that the cost for the banner is \$450 which includes the banner and 2 hours of editing. If businesses need to change their ad, camera ready art work

is needed to keep cost down. Mark will send out emails to current advertisers to give them first right to renew on the new banner.

- Workforce Development –
 - FOLs – Aaron reported that he has been in contact with Walter Love and he has agreed to be the liaison for us and seems to have good energy and is very interested. The FOL schedule for Jan-Feb-March is Tues-Wed-Thurs and field trips are allowed. Cinda will create a sign up sheet and seek out presenters for Wednesday's during Jan-Mar, 3:05 – 3:50 p.m. Aaron also spoke with him about supplies needed for his welding, auto and/or construction classes. Walter has submitted a wish list, Aaron has priced some of the items. Discussion held regarding funds availability in the Workforce Development account from membership fees; intended to support skills training. Motion by Kate Mitchell to spend up to \$500 to purchase welding rod for the Homer High School welding class, 2nd and carried.
- Scholarship – Cinda reported that she has received requests for two scholarships, 1 for AVTEC starting in January, which is outside of our spring award, and 1 reimbursement for the Auto Cad course. She has not received or requested funds from Aleutian Harvester or Rotary at this point.

Old Business:

- Pacific Marine Expo – Mark and Aaron reported that the banner ad space will be \$325 each; NOMAR and Northern Enterprises will take spots within the booth. Discussed having a sign up sheet with not many members going this year. Between Jen/Rich, Aaron/Amber, Matt and Adam Smude, HMTA should be covered well enough. Mark will ship banner advertiser cards/brochures to the storage unit prior to the event.
- Anchorage Boat Show – Jen reported that she received an email from the organizers requesting registration. It will be held at the Dena'ina Center February 18-20, 2022. Our space is 20x15; NOMAR and Southcentral Radar are committed and Salmon Sisters is interested. Mark suggested that we see who is committed to going prior to committing to a space size in the event we need to decrease.

New Business:

- Letter of Support EDA grant – Cinda reported on Jesus' request to submit a letter in support of the EDA Good Jobs Challenge Proposal – University of Alaska Workforce Programs and presented a draft letter for review (copy attached). Motion by Jen Hakala to approve the letter as written and submit to the Alaska Economic Development office, 2nd and carried.
- HCOC 11/3 Luncheon - Aaron reported that we have been invited to present at the upcoming Chamber Luncheon on 11/3. Bryan will be presenting on behalf of the City for the port expansion and Aaron will be presenting on behalf of Northern Enterprises and their completed dock expansion.

Next Meeting: Tuesday, November 23rd at 6pm at NOMAR

Adjourn: There being no further business to come before the board members, the meeting was adjourned at 7:52 p.m.

Respectfully submitted,

Cinda Martin, Secretary

**Homer Marine Trades Association
Regular Business Meeting
December 8, 2022
NOMAR**

The meeting was called to order by President, Aaron Fleenor at 6:10 p.m.

Officers/Directors present: Aaron Fleenor, Eric Engebresen, Cinda Martin, Claire Neaton, Bruce Friend, Kate Mitchell, Matt Alward, and Mark Zieset. Jen Hakala and Josh Hankin-Foley were excused. A quorum was established.

Guests present: Michael Daniel of Anchor 907 and Homer Harbormaster, Bryan Hawkins

Guest Presentations: Michael Daniel of Anchor 907 is creating a new non-profit to assist 1st term discharged military personnel in the transition to civilian life. The goal is to recruit a workforce for the area from a selection of honorably discharged veterans. He and his business partner have access to the veterans and are in need of connections to employment opportunities. A primary piece of the program is "housing first." They intend to purchase/construct barrack-like housing to temporarily house the veterans while they get established with employment. The charity will be formed after the first of the new year and they hope to be operational and begin recruitments shortly thereafter. The charity is privately funded at this point however, they will be looking at governmental agencies and grants as a resource. We will stay in touch with Michael and try to facilitate employment connections.

Bryan Hawkins reported on Fish Expo being a good show just not as well attended as normal. He also reported that the derelict vessel, North Pacific is finally gone!

Treasurer's Report – Kate Mitchell reported for Jen Hakala, the checking account balance is currently \$26,355 with bills coming due for the Tidebook of \$4,725 and 1st ½ of Fish Expo '22 booth space of \$4,800 due the end of January.

Committee Reports:

- Advertising -
 - Tidebooks – Kate reported that the Tidebooks should be here by 12/20 and ready for pick up; the membership brochures are done and ready for members to take
 - Expo Banner – Kate reported that the banner never made it to Fish Expo due to late advertisers, late production and snafu with shipping. There were some spaces left unsold but more importantly, the advertisers will need to have their fees adjusted in some manner, which will negatively impact our budget for the year. Eric indicated that the bill for the banner production might be in the mail but, not to pay it until speaking with him. Suggestion to use this banner at the Anchorage Boat Show giving the advertisers in-State exposure and perhaps a discount for the snafu.
 - KBBI – Kate reported that the ads running currently plug the KPC courses and workforce development
 - Fisherman's News – Aaron reported that he has been talking with Katie, they have a new ad in color for a comparable price to previous ads.
 - Meeting – the Advertising Committee will meet before the January Board Meeting; will tackle advertiser timelines for shows to avoid problems encountered this year.
- Workforce Development –

- HHS – Aaron reported that there has been no contact with the HHS since their delivery of the welding rod last month. He has heard that Walter Love is no longer teaching at the HHS. He will check in with Lisa Fellows and see if he can find a new liaison; he'll also check in with the Principal.
- KPC/Bay Weld – Eric reported that he is working with the college to create a cooperative welding/training program that would utilize his shop and employee as an instructor. They are sending one employee to get his certification now.
- Website – no new information; Aaron will reach out to Grady

Old Business:

- Fish Expo – Aaron and Matt reported that attendance seemed low and that there were a lack of fishermen this year
- Anchorage Boat Show – Eric sent out a layout to board members for the HMTA/Bay Weld booth and indicated that we are at the point where we need to sell booth space; he had several options for pricing. BW has committed to space for 2 boats. The booth is 50'x60', after BW's two boats and two Wally boats, there will be enough space remaining for 8 – 8' x 10'-12' booths for members. @ \$7.50/sq ft there is a potential for \$890 profit to HMTA.
- Video Remake – Josh emailed question about what member businesses get interviewed and should they pay an additional fee for the feature. All agreed that there should be a mass emailing to members to see what interest there was and choose additional footage based on the interest. HMTA / Port & Harbor will each cover ½ the cost of the update with members covering the cost to update their specific ads. It was suggested that the video be updated on a regular basis. The video was recently updated and shown at Fish Expo however, the flyer was never sent out to the membership so members were not given an opportunity to update their ads at the end.

New Business: None

Next Meeting: Tuesday, January 4th at 6pm at Bay Welding.

Adjourn: There being no further business to come before the membership, the meeting was adjourned at 7:45 p.m.

Respectfully submitted,

Cinda Martin, Secretary



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Memorandum

TO: Economic Development Advisory Commission

FROM: Julie Engebretsen, Deputy City Planner

DATE: December 8, 2021

SUBJECT: Wayfinding and Streetscape Plan

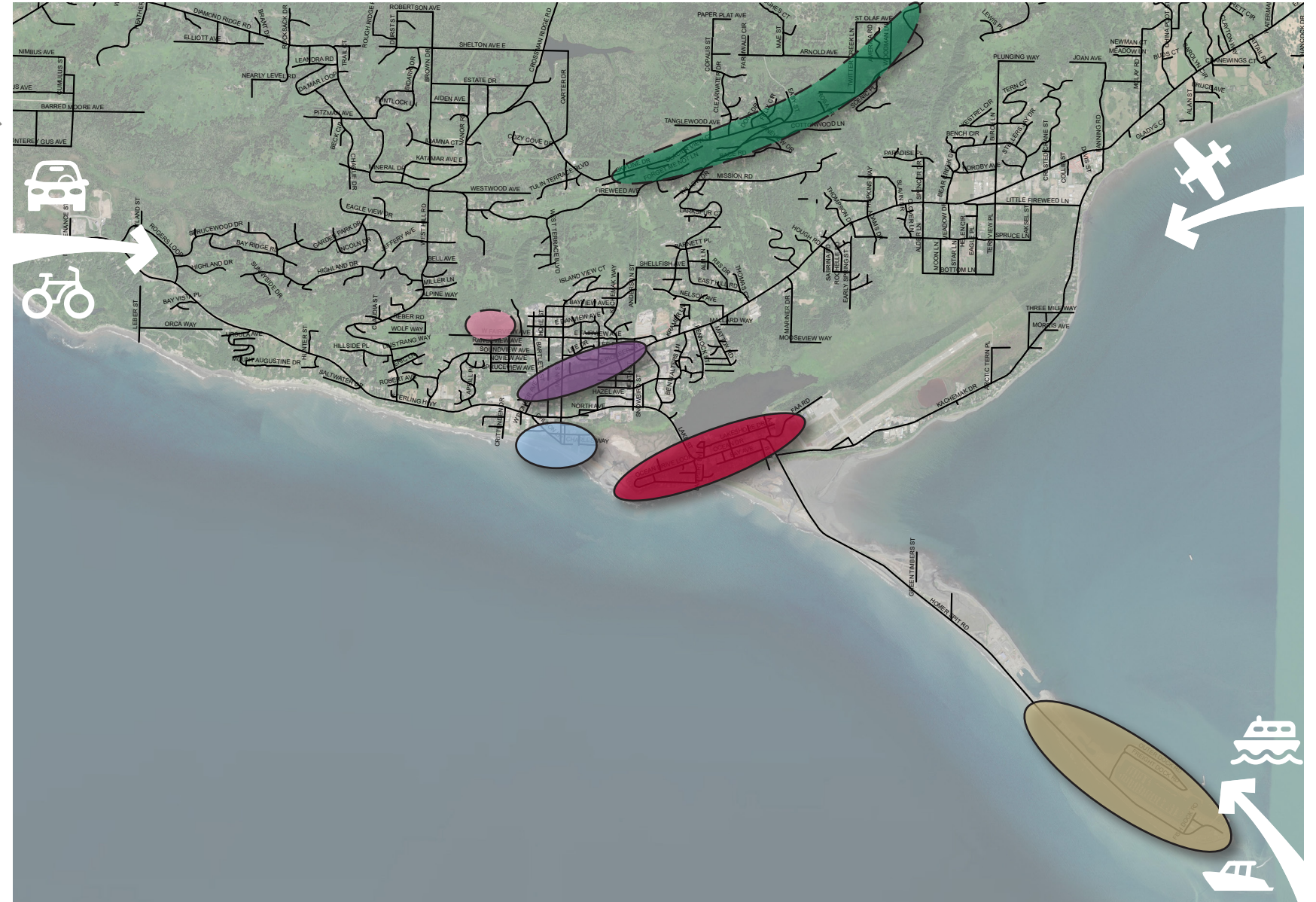
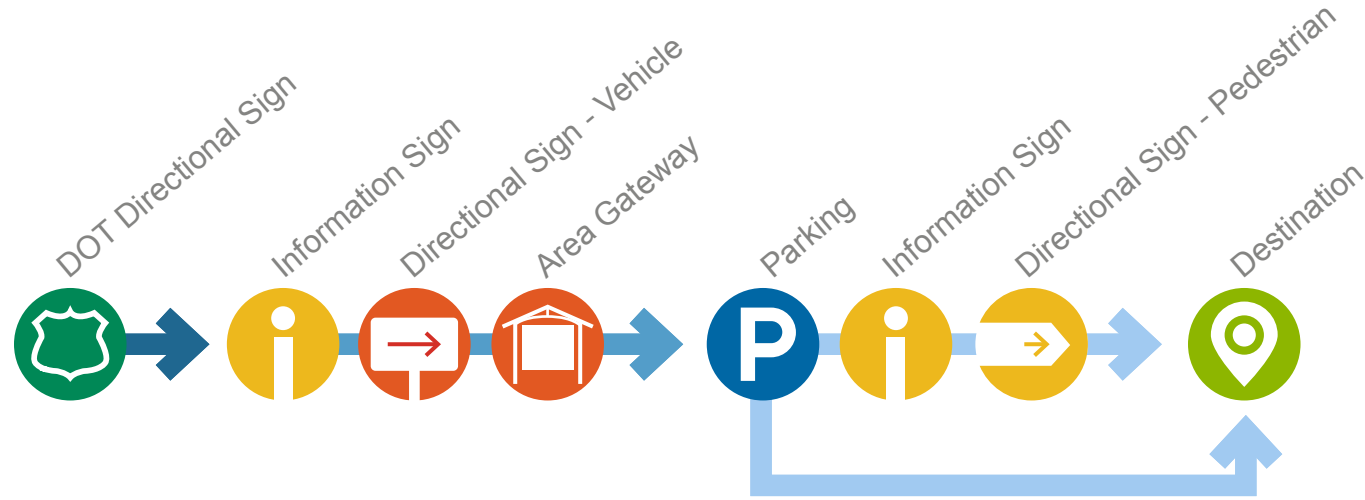
Requested Action: None. Formal action is scheduled for the January meeting







Our project is nearing completion! I have invited the Port and Harbor, Planning, and Parks, Art, Recreation and Culture Commissions to attend the EDC meeting to hear Peter's presentation and make comments.

Peter will go over the new content since the last draft. Then there will be time to ask questions and make comments. I set a timeframe of December 30th for people to get comments back to me. If anything major arises, we can keep working on the document in January, otherwise, formal action could happen at the January EDC meeting, followed by the January 24th Council meeting.

Attachment: Wayfinding and Streetscape Plan Draft

FINDING YOUR DESTINATION



-  Downtown (Destination Area)
-  Old Town (Destination Area)
-  Ocean Drive (Destination Area)
-  Homer Spit (Destination Area)
- Not Specifically Addressed in this Plan**
-  Skyline Drive (Destination Area) and Wynn Nature Center (Destination)
-  Hornaday Park (Destination)

Getting to your destination

People need to figure out where they want to get to, and how to get there.

Homer has some key destinations, and these destinations include areas where there are multiple things to do and see. The map to the right shows some of these “destination areas”.

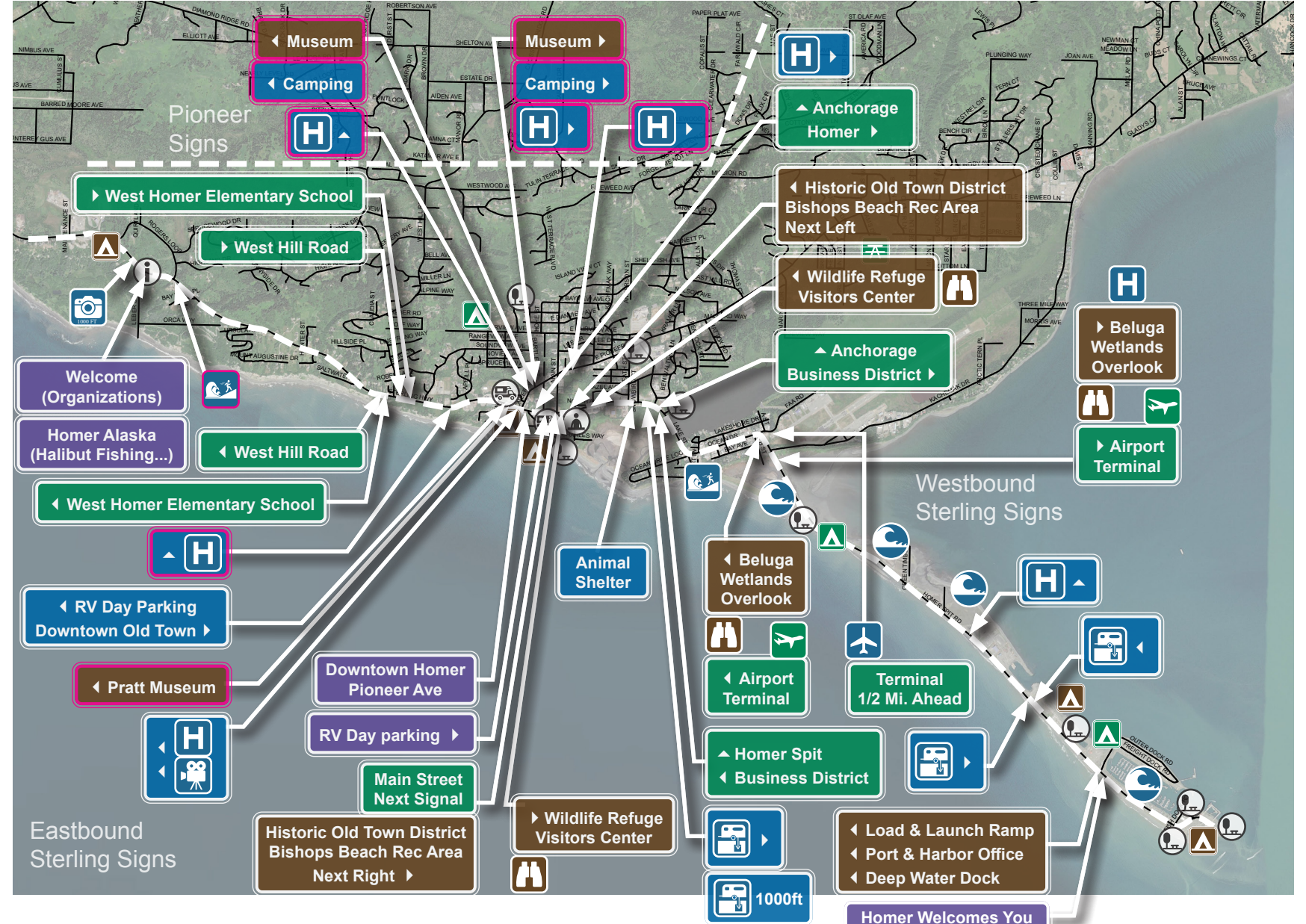
Most people entering into Homer will be doing so in a vehicle (car, boat, or plane). Wherever they enter Homer, there should be a way for them to figure out how to get to their already known destination, or figure out their destination. Information signs at key entries to Homer should provide information on emergency services and civic destinations. These locations are also good places to partner with entities like the Chamber of Commerce to identify private sector and for-profit opportunities and experiences.

Then, people can either get to their final specific destination, or find a place to park and continue their travel to their destination or destinations. Roadway signs are important to help people get to specific key destinations, or these destination areas.

Once people are out of their cars, area specific information can be provided with a different type of information sign that focuses on a smaller area, supported by pedestrian sized signs to assist people in navigating.

The flowchart on this sheet is intended to illustrate this process of figuring out where you want to go, how to find your way there, and then how to navigate to your final destination if it involves parking and walking.

EXISTING HIGHWAY SIGNS



- RV Parking
 - Visitor Services
 - Park
 - Information
 - City Campground
 - Private Campground
 - Location** DOT 'brown' Sign - Recreational and Cultural Interest Area Signs (RCIA)
 - Location** DOT 'green' Sign - Directional
 - Location** DOT 'blue' Sign - Tourist Oriented Directional Signs (TODS)
 - Location** Local Sign - Directional or Gateway
 - Pink Frame indicates that it was identified from Google Streetview and may not be accurate
- Can Homer confirm whether these signs exist?



Criteria for Sign Placement

Sterling Highway and Pioneer Avenue are both owned as rights-of-way by the Alaska Department of Transportation (ADOT). Signs located within these rights-of-way need to be permitted with ADOT and have strict requirements related to design and placement. These requirements generally relate to vehicle safety should a driver lose control with their car leaving the road. Requirements dictate how close to a road a sign may be, and the design of the sign as it relates to how easily it will shear from its base on impact.

While the sign system includes a Vehicular Directional Sign, this sign type may not be significantly used since the areas where these are needed are within ADOT rights-of-way.

For Neighborhood Gateway signs, their placement will be limited due to the needed distance from traffic. Depending on location, this may require them (as designed) to be located on adjacent land.

Homer Sign Focus Areas

Baycrest Overlook

The overlook area is the first place where people have an opportunity to pull over from the highway and orient themselves for their Homer arrival. The only warning for this area is a “scenic overlook” icon to the west. The existing “Homer Alaska” sign is used for photographs, there is a small map of civic destinations on the toilet building, and there is a tourism information gazebo that when open has information available.

Proposed Conditions:

The wayside should be provided with an information sign that would be used by the City of Homer to provide a map and civic destinations, accompanied by Chamber of Commerce information for local businesses and the services they offer. Information should include specific targeted messages unique to Homer or to particular audiences. For example, what to expect in Homer if you are driving a motorhome, and safety information including tsunami and wildlife preparedness. A highway sign should be provided to better identify the wayside and that it provides local information.

Downtown and Old Town

Signs leading to downtown are not clear, with DOT signs pointing to Business District and Main Street. DOT signs for Old Town are clear. Neither area has an entry point that is branded to encourage entry by celebrating the destination.

Proposed Conditions:

The intent is to clearly assist drivers with getting to and parking at a specific destination, or to park and have access to an outdoor information sign. The goal is to allow them to leave their vehicle in a location and to walk/bike within the area. See pedestrian sheets for wayfinding once people are out of their vehicles.

Clearer directional signs for Downtown are needed. More importantly, both Downtown and Old Town would benefit from Gateways at key entry locations. These would strengthen wayfinding by providing an obvious visual clue for where to turn, and also illustrate that there is something special in the area. Due to the strength of the Homer Spit as a destination, emphasizing other destinations to those moving through the Sterling Highway corridor could encourage people to come back into town.

Ocean Drive

The airport terminal is the first place where people have an opportunity to orient on their arrival into Homer. The lobby contains pamphlets and rack cards for visitor information. Those arriving by air taxi (land or water) might also be able to access similar information in the lobby of the air company they are using.

Proposed Conditions:

The intent is to clearly assist drivers with getting to and parking at a specific destination, or to park and have access to an outdoor information sign. The goal is to allow them to leave their vehicle in a location and to walk/bike within the area. See pedestrian sheets for wayfinding once people are out of their vehicles.

Homer Airport will benefit from an exterior information sign. As the airport also connects people to and from other forms of transportation, information should be provided to help them get to their next mode of transportation. Wayfinding signage should help not only identify where people may need to go, but also help them understand distances. This helps establish expectations, and allows people to choose whether they walk or use vehicular transportation.

Homer Spit

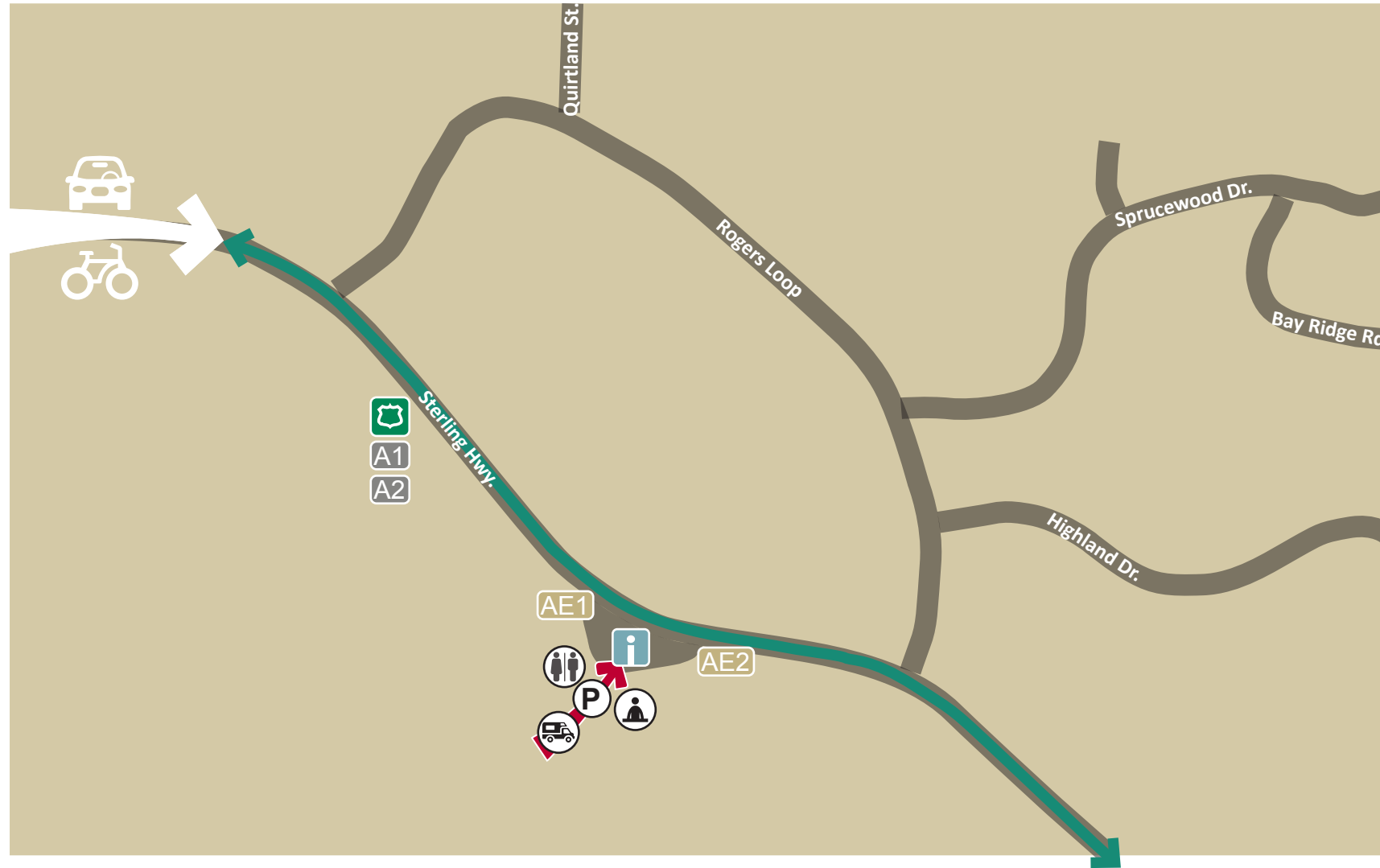
The two ferry terminals, harbormaster’s office, terminal, and harbor in general are the first places where people have an opportunity to orient on their arrival into Homer. Exterior information is not available at these locations. The Homer Spit is a congested area for driving and parking, and there is little directional signage for destinations or for clarity in parking.

Proposed Conditions:

The intent is to clearly assist drivers with getting to and parking at a specific destination, or to park and have access to an outdoor information sign. The goal is to allow them to leave their vehicle in a location and to walk/bike within the area. See pedestrian sheets for wayfinding once people are out of their vehicles.

Similar to the airport, the Homer Spit connects people to and from other forms of transportation. Information should be provided to help them get to their next mode of transportation, or to experience Homer. Wayfinding signage should help not only identify where people may need to go, but also help them understand distances. This helps establish expectations, and allows people to choose whether they walk or use vehicular transportation.

Baycrest OVERLOOK



Existing DOT Signs

(shaded signs are replaced or removed, non-shaded are to remain)

None

Existing Local Signs

AE2: Eastbound Sign



AE1: Eastbound Sign



Modified or New Signs

A1: Eastbound Sign
HOMER

A2: Eastbound Sign
▶ VISITOR INFORMATION

ROADS

- Main Route
- Secondary Route

RESOURCES

- Visitor Services (Partner)
- Public Toilet

WAYFINDING

- DOT Directional Sign
- Area Gateway
- Information Homer
- Information - Neighborhood
- Information - Partner
- Existing Sign (AE1)
- Proposed Sign (A1)

ACCESS/PARKING

- On-site public parking (P)
- Possible adjacent parking, none on-site (R)
- Space for on-site RV parking for park and walk (RV icon)
- Information Hub & Available Parking (red arrow icon)

DOWNTOWN & OLD TOWN



- ROADS**
- Main Route
 - Secondary Route
 - Important Intersection

- RESOURCES**
- Visitor Services
 - Public Toilet
 - Civic Destination
 - Park

- WAYFINDING**
- DOT Directional Sign
 - Area Gateway
 - Information Homer
 - Information - Neighborhood
 - Information - Partner
 - Existing Sign (AE1)
 - Proposed Sign (A1)

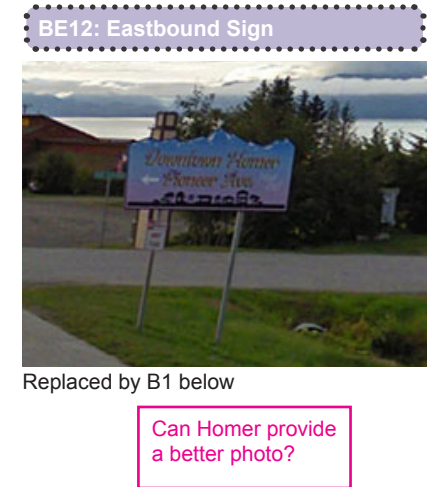
- ACCESS/PARKING**
- On-site public parking
 - Possible adjacent parking, none on-site
 - Space for on-site RV parking for park and walk
 - Information Hub & Available Parking

Existing DOT Signs

(shaded signs are replaced or removed, non-shaded are to remain)

- BE1: Eastbound Sign**
 ◀ RV Day Parking Downtown
 Old Town ▶
 Replaced by B1 & B2 below
- BE2: Eastbound Sign**
 ▲ Homer Spit
 ◀ Business District
 Replaced by B1 below
- BE3: Eastbound Sign**
 Main Street
 Next Signal
 Remove sign (low priority)
- BE4: Eastbound Sign**
 Historic Old Town District
 Bishops Beach Rec Area
 Next Right ▶
- BE5: Eastbound Sign** ▶ Wildlife
 Refuge Visitors Center
- BE6: Eastbound Sign**
 Animal Shelter
- BE7: Eastbound Sign**
- BE8: Westbound Sign**
 ▲ Anchorage
 Business District ▶
 Replaced by B4 below
- BE9: Westbound Sign**
 ◀ Wildlife Refuge Visitors Center
- BE10: Westbound Sign**
 ◀ Historic Old Town District
 Bishops Beach Rec Area
 Next Left
- BE11: Westbound Sign**
 ▲ Anchorage
 Homer ▶
 Replaced by B4 below

Existing Local Signs



Modified or New Signs

- B1: Eastbound Sign**
 ◀ DOWNTOWN PIONEER AVE
 ▶ OLD TOWN
 ▲ OCEAN DRIVE
 ▲ HOMER SPIT
 Replaces BE1 and BE2 above
- B2: Eastbound Sign**
 ◀ RV DAY ACCESS/PARKING
 ◀ **ACCESS/PARKING LOCATIONS**
 Replaces BE1 above
- B3: Westbound Sign**
 ◀ OLD TOWN
 ▶ DOWNTOWN PIONEER AVE
- B4: Westbound Sign**
 ▲ ANCHORAGE
 ▶ DOWNTOWN PIONEER AVE
 ▲ OLD TOWN
 Replaces BE8 and BE11 above
- B5: Eastbound Sign**
 ◀ DOWNTOWN PIONEER AVE
 ▲ OCEAN DRIVE
 ▲ HOMER SPIT
- B6: Eastbound Sign**
 ▲ East End Road
- B7: Westbound Sign**
 ▶ East End Road
- B8: Eastbound Sign**
 ▶ East End Road
- B9: Eastbound Sign**
 ◀ KAREN HORNADAY PARK
 ◀ PRATT MUSEUM
- B10: Westbound Sign**
 ▶ KAREN HORNADAY PARK
 ▶ PRATT MUSEUM
- B11: Westbound Sign**
 ▶ East End Road

OCEAN DRIVE



Existing DOT Signs

(shaded signs are replaced or removed, non-shaded are to remain)

- CE1: Eastbound Sign**
◀ Airport Terminal
- CE2: Eastbound Sign**
◀ Beluga Wetlands Overlook
- CE3: Eastbound Sign**
Wildlife Viewing
- CE4: Eastbound Sign**
Airport
- CE5: Eastbound Sign**
Terminal 1/2 Mi. Ahead

Existing Local Signs

None

Modified or New Signs

- C1: Eastbound Sign**
▲ AIRPORT
▲ HOMER SPIT
- C2: Westbound Sign**
◀ OLD TOWN
◀ DOWNTOWN PIONEER AVE

ROADS

- Main Route
- Secondary Route
- Important Intersection

RESOURCES

- Civic Destination

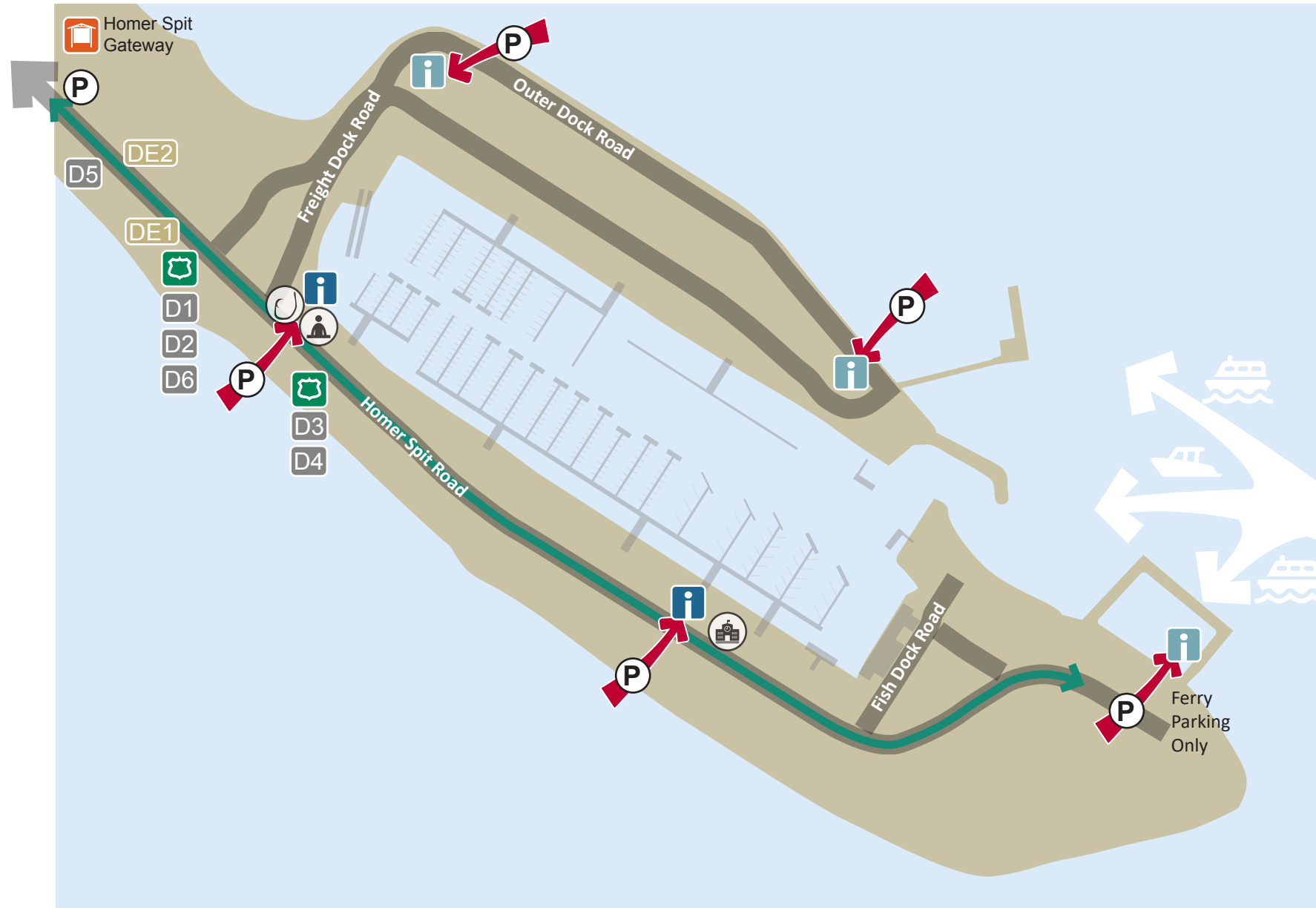
WAYFINDING

- DOT Directional Sign
- Area Gateway
- Information Homer
- Information - Neighborhood
- Information - Partner
- AE1 Existing Sign
- A1 Proposed Sign

ACCESS/PARKING

- On-site public parking
- Possible adjacent parking, none on-site
- Space for on-site RV parking for park and walk
- Information Hub & Available Parking

HOMER SPIT



- ROADS**
- Main Route
 - Secondary Route
 - Important Intersection

- RESOURCES**
- Visitor Services
 - Public Toilet
 - Civic Destination
 - Park
 - Trailhead
 - Wayfinding Icon

- WAYFINDING**
- DOT Directional Sign
 - Area Gateway
 - Information Homer
 - Information - Neighborhood
 - Information - Partner
 - Existing Sign (AE1)
 - Proposed Sign (A1)

- ACCESS/PARKING**
- On-site public parking
 - Possible adjacent parking, none on-site
 - Space for on-site RV parking for park and walk
 - Information Hub & Available Parking

Existing DOT Signs

(shaded signs are replaced or removed, non-shaded are to remain)

- DE1: Southbound Sign
- Load & Launch Ramp
 - Port & Harbor Office
 - Deep Water Dock

Replaced by D2 below

Existing Local Signs

DE2: Southbound Sign



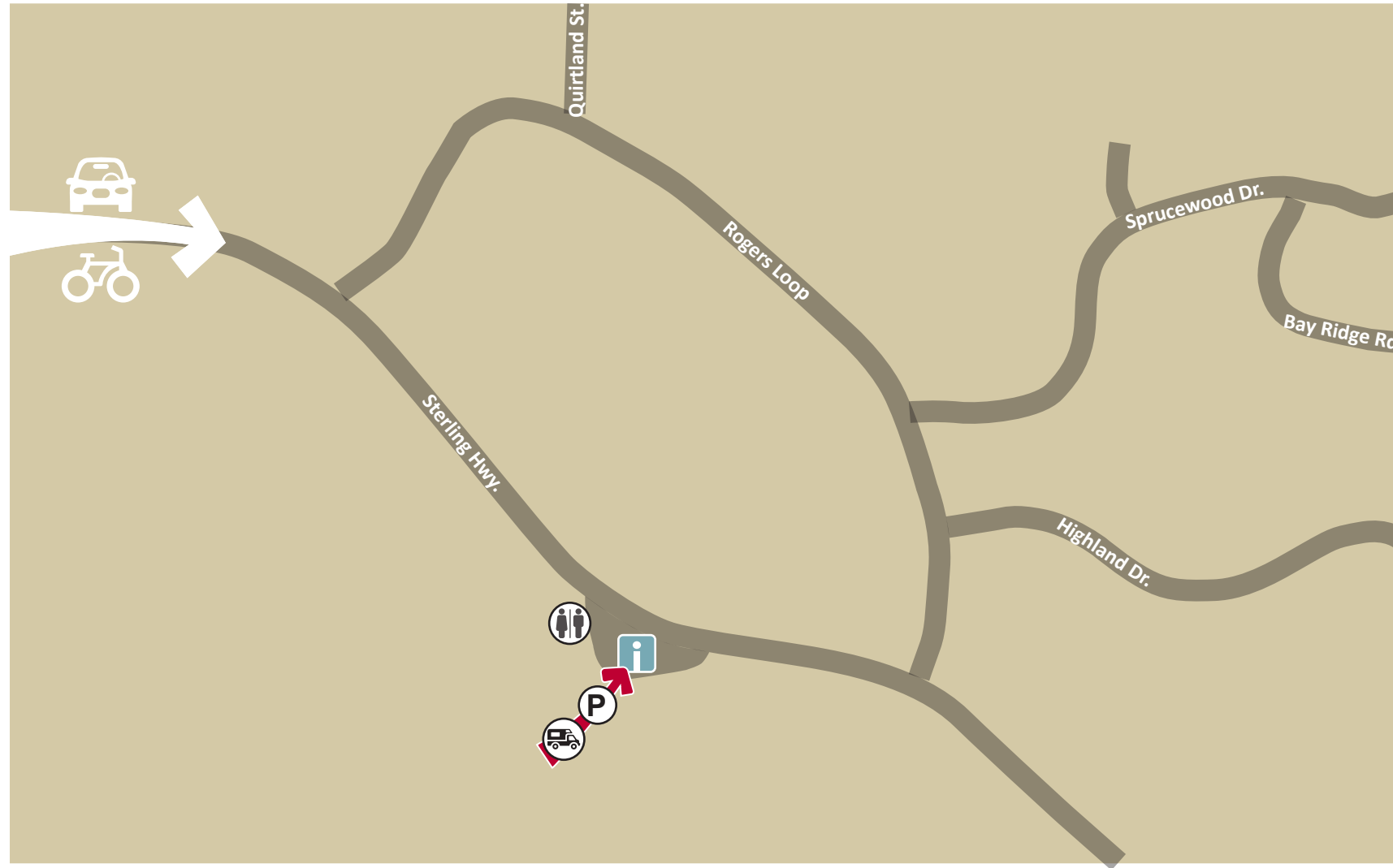
Modified or New Signs

- D1: Southbound Sign
 - FREIGHT DOCK RD
- D2: Southbound Sign
 - LOAD & LAUNCH RAMP
 - RAMPS 1 - 5
 - RAMPS 6 - 8
 - PORT & HARBOR OFFICE
 - DEEP WATER DOCK
 - SELDOVIA FERRY TERMINAL
- D3: Northbound Sign
 - FREIGHT DOCK RD
- D4: Northbound Sign
 - LOAD & LAUNCH RAMP
 - RAMPS 6 - 8
 - PORT & HARBOR OFFICE
 - DEEP WATER DOCK
 - SELDOVIA FERRY TERMINAL
- D5: Northbound Sign
 - OCEAN DRIVE
 - OLD TOWN
 - DOWNTOWN PIONEER AVE

Replaces DE1 above

- DE6: Eastbound Sign
- PORT OF HOMER
 - SMALL BOAT HARBOR

Baycrest OVERLOOK



Information Signs

Baycrest Overlook

This sign will likely be the first sign that someone sees on their visit to Homer. The intent for this sign is to orient people to Homer, help them find and prepare themselves for destinations (such as knowing where to park), prepare them with general information for how they will experience Homer (such as RV or bicycling), alert them to specific safety information (such as Tsunami), and possibly change or expand where they might go and what they might do during their time in Homer.

Information at the Baycrest Overlook should focus on:

- Orientation to Homer
- Wayfinding: Identification of civic destinations
- Safety: Tsunami
- Safety: Wildlife
- Guidance: Parking
- Guidance: RV Expectations
- Guidance: Walking/Bicycling in Homer
- Regulation: General

TRAILS

Trail/Pedestrian Route

RESOURCES

- Visitor Services
- Public Toilet

NEW WAYFINDING

Information - Homer

ACCESS/PARKING

- On-site public parking
- Possible adjacent parking, none on-site
- Space for on-site RV parking for park and walk
- Information Hub & Available Parking

DOWNTOWN & OLD TOWN



TRAILS
 - - - - - Trail/Pedestrian Route

- RESOURCES**
- Visitor Services
 - Public Toilet
 - Civic Destination
 - Park
 - Trailhead
 - Crosswalk

- NEW WAYFINDING**
- Information - Homer
 - Information - Neighborhood
 - Information - Partner
 - Pedestrian Wayfinding

- ACCESS/PARKING**
- On-site public parking
 - Possible adjacent parking, none on-site
 - Space for on-site RV parking for park and walk
 - Information Hub & Available Parking

Information Signs

Chamber of Commerce and Library

The signs at these locations may be the first sign that someone sees on their visit to Homer. The intent for this sign is to orient people to Homer, help them find and prepare themselves for destinations (such as knowing where to park), prepare them with general information for how they will experience Homer (such as RV or bicycling), alert them to specific safety information (such as Tsunami), and possibly change or expand where they might go and what they might do during their time in Homer.

Information at these locations should focus on:

- Orientation to Homer
- Wayfinding: Identification of civic destinations
- Safety: Tsunami
- Safety: Wildlife
- Guidance: Parking
- Guidance: RV Expectations
- Guidance: Walking/Bicycling in Homer
- Regulation: General

Chamber of Commerce, Library, Pioneer Ave Toilets, Bishop's Beach

Each of these locations provides information to help someone explore the area. The intent for these signs is to orient people to the area, help them find destinations, and possibly change or expand where they might go and what they might do in the area.

Information at these locations should focus on:

- Orientation to the area (also providing context with Homer)
- Wayfinding: Identification of civic destinations
- Wayfinding: Trails, trailheads, and pedestrian routes

Information Partners

There may be locations where local partners may wish to host the standard Homer information signs.

OCEAN DRIVE



Information Signs

Homer Airport

This sign will likely be the first sign that someone sees on their visit to Homer. The intent for this sign is to orient people to Homer, help them find and prepare themselves for destinations, prepare them with general information for how they will experience Homer (such as bicycling), alert them to specific safety information (such as Tsunami), and possibly change or expand where they might go and what they might do during their time in Homer. This location would have less emphasis on vehicle information such as where to park.

Information at these locations should focus on:

- Orientation to Homer
- Wayfinding: Identification of civic destinations
- Safety: Tsunami
- Safety: Wildlife
- Guidance: Walking/Bicycling in Homer
- Regulation: General

Area Information Sign

Each of these locations provides information to help someone explore the area. The intent for these signs is to orient people to the area, help them find destinations, and possibly change or expand where they might go and what they might do in the area.

Information at these locations should focus on:

- Orientation to the area (also providing context with Homer)
- Wayfinding: Identification of civic destinations
- Wayfinding: Trails, trailheads, and pedestrian routes

TRAILS

Trail/Pedestrian Route

RESOURCES

- Civic Destination
- Crosswalk

NEW WAYFINDING

- Information - Homer
- Information - Neighborhood
- Pedestrian Wayfinding

ACCESS/PARKING

- On-site public parking
- Possible adjacent parking, none on-site
- Space for on-site RV parking for park and walk
- Information Hub & Available Parking

HOMER SPIT



TRAILS

Trail/Pedestrian Route

RESOURCES

- Visitor Services
- Public Toilet
- Civic Destination
- Park

NEW WAYFINDING

- Information - Homer
- Information - Neighborhood
- Pedestrian Wayfinding

ACCESS/PARKING

- On-site public parking
- Possible adjacent parking, none on-site
- Space for on-site RV parking for park and walk
- Information Hub & Available Parking

Information Signs

Ferry Terminals and Boat Ramp



These signs will likely be the first signs that someone sees on their visit to Homer. The intent for these signs is to orient people to Homer, help them find and prepare themselves for destinations, prepare them with general information for how they will experience Homer (such as bicycling), alert them to specific safety information (such as Tsunami), and possibly change or expand where they might go and what they might do during their time in Homer. These locations would have less emphasis on vehicle information such as where to park.

Information at these locations should focus on:

- Orientation to Homer
- Wayfinding: Identification of civic destinations
- Safety: Tsunami
- Safety: Wildlife
- Guidance: Walking/Bicycling in Homer
- Regulation: General

Chamber of Commerce and The Boat House



Each of these locations provides information to help someone explore the area. The intent for these signs is to orient people to the area, help them find destinations, and possibly change or expand where they might go and what they might do in the area.

Information at these locations should focus on:

- Orientation to the area (also providing context with Homer)
- Wayfinding: Identification of civic destinations
- Wayfinding: Trails, trailheads, and pedestrian routes

CITY OF HOMER

Wayfinding & Streetscape Plan

December 2021 Draft



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DOCUMENT PURPOSE

INTRODUCTION

It is a City of Homer priority to establish a standard wayfinding system and streetscape branding. This Wayfinding and Streetscape Plan sets this standard signage system, providing a strong identity, unified aesthetic, and consistency in wayfinding and the provision of information.

Implementing this signage system unifies people's experience between all roads and streets and helps people identify and locate destinations. The target audiences are both Homer residents (new and long-standing) or visitors. A unified sign design helps users orient themselves and navigate through Homer comfortably.

The signage family is simple, easily recognizable, and legible. Six sign types provide for a variety of situations.

This Wayfinding and Streetscape Plan presents the overall look and feel of the signage family and provides specific information for graphic design, materials, and fabrication. City of Homer staff will determine sign locations on a case-by-case basis, in addition to the informational and graphic content explicit to a particular site.

The City of Homer Wayfinding and Streetscape Plan Package includes the following components:

Index of Sign Types

The Index of Sign Types section provides a quick overview of the sign graphics and content, information on the specific function and proper use for each sign, and their basic components.

Sign Detail

The Sign Detail section provides the standard generic information that is needed for the fabrication of each sign type, and information/guidance on the necessary sign content customization needed for specific locations.

Specifications & Details

The Specifications & Details section provides information required for sign customization, fabrication, and installation.

Cost Estimates

The Cost Estimate section provides expected sign costs at the time of development of this document (December 2021). These costs are expected to change over time.

PURPOSE AND USE OF DOCUMENT

The intent of signage guidelines for the City of Homer's Wayfinding and Streetscape system is to create a cohesive system of presenting information. The goals of such a system are to effectively brand and label major roads, neighborhoods, trails, and facilities; to help people identify and navigate to desired destinations; to provide continuity within and between locations through a common aesthetic; and to streamline the development of new signage and maintenance of existing.

This document serves two purposes: to illustrate the sign types, and to provide the information needed for their fabrication and installation.

The beginning of this document shows the range of sign types and their uses, and provides a hierarchy of applications for guidance in their selection. Key to the proper use of signage is the recognition of how any particular sign fits into an overall hierarchy of information presentation.

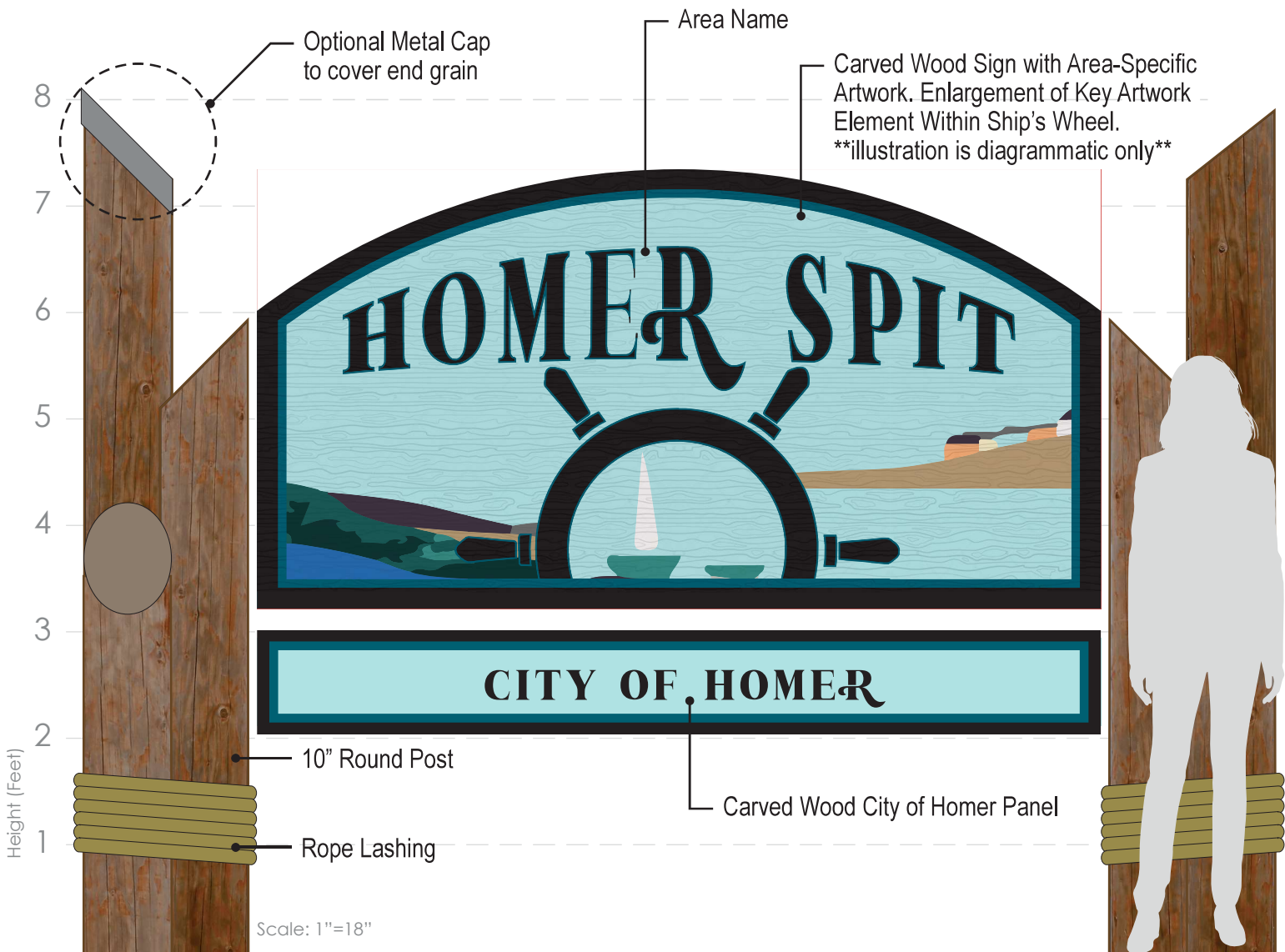
Whether an individual sign, or a network of signs, their design and implementation are dependent upon the level of information they are expected to provide. This level of information is dictated through such things as choosing the proper sign, and for how it is used.

This document illustrates the typical information required for each sign, and how this information is typically arranged. Each sign type provides guidance in developing the information needed to develop content for a sign.

Lastly, this document provides the specific information needed to construct each sign type. This includes information for designers or contractors to modify, construct, and install the signs properly.

INDEX OF SIGN TYPES

DESTINATION - GATEWAY



The Destination - Gateway Sign is used at key vehicular entry points to an 'identity' area within Homer.

The main and secondary sign panels (carved wood) are mounted to a steel frame that is attached to groupings of three timber posts (one grouping on either side of the panels).

DIRECTIONAL - ROAD (ADOT&PF)

Pioneer Avenue and the Sterling Highway are Alaska Department of Transportation and Public Facilities (ADOT&PF) rights-of-way. Signage within these road corridors should prioritize using standardized ADOT&PF sign types for directional purposes. Non-standard signs will need to meet ADOT&PF standards and their limitations.

There are three standard sign types:

Road Guide Sign (green)

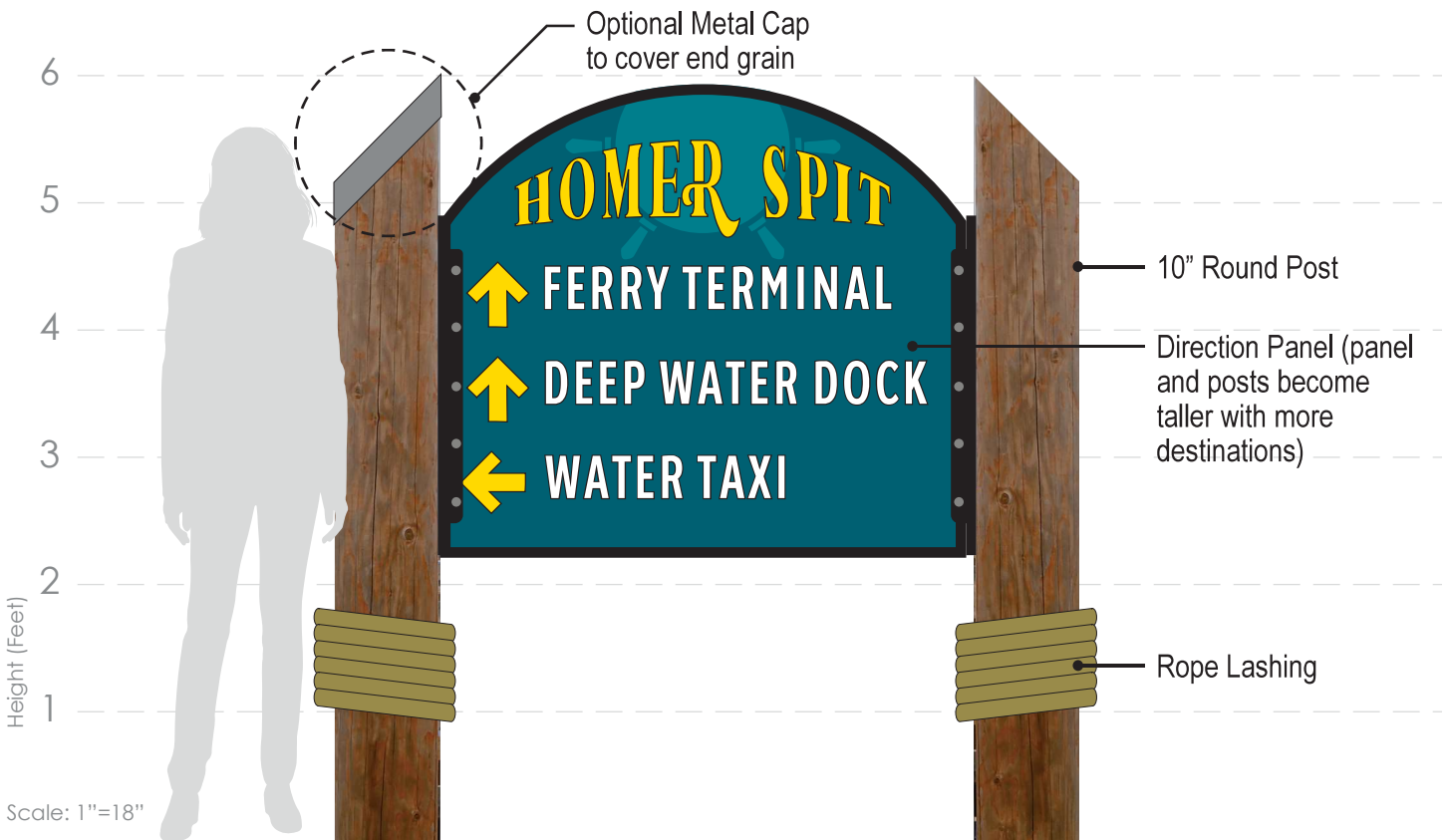
RCIA - Recreational and Cultural Interest Area sign (brown)

TODS - Tourist Oriented Directional Sign (blue)



The Directional - Road (ADOT&PF) is used to direct vehicular traffic. These require ADOT&PF permitting and design and construction need to meet ADOT&PF standards.

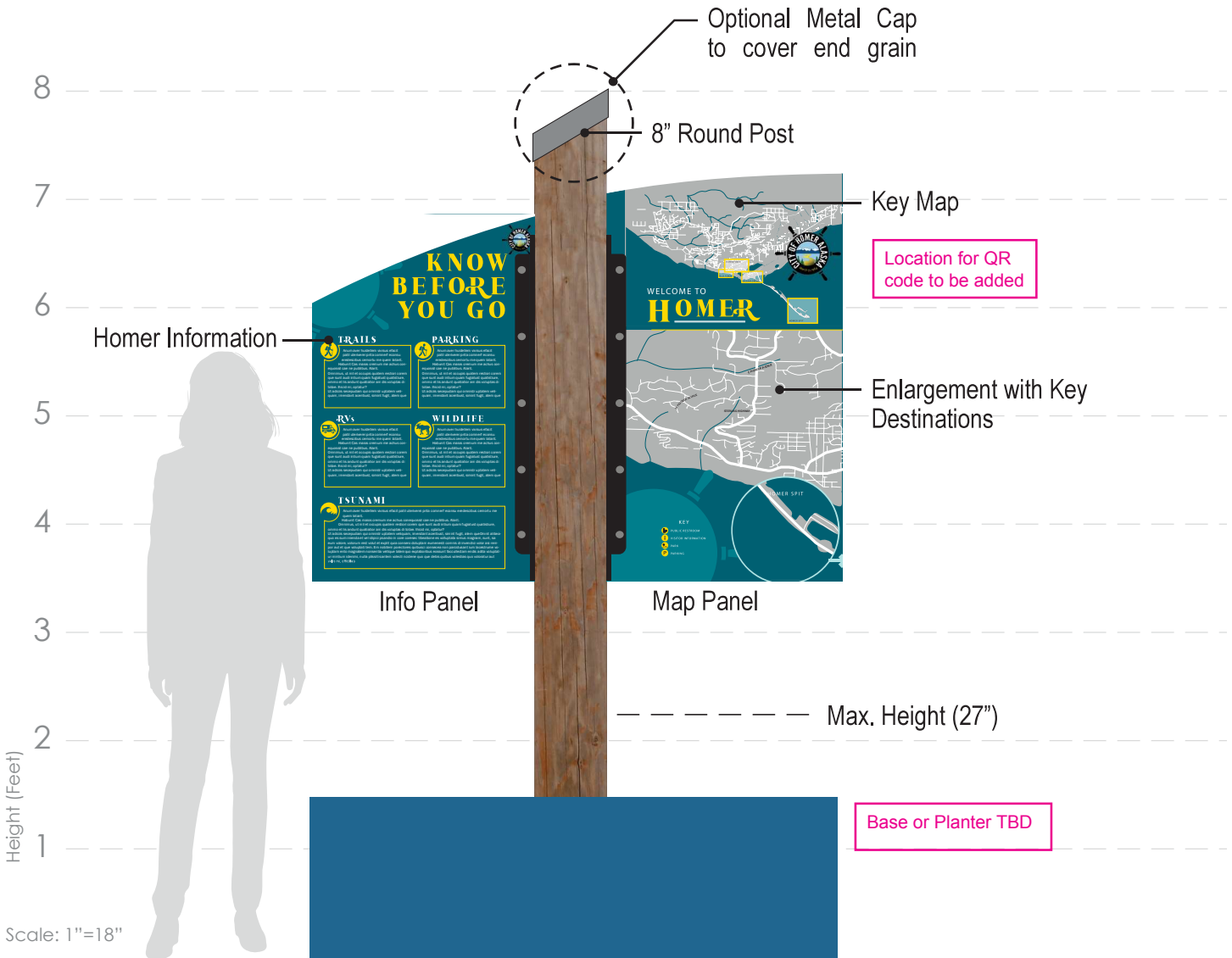
DIRECTIONAL - ROAD (HOMER)



The Directional - Road (Homer) Sign is used on City of Homer roads to direct vehicular traffic to an area or specific destination. Use of these signs within ADOT&PF rights-of-way would require permitting, and potential re-design for safety requirements.

The main sign panel (high pressure laminate) is mounted to a steel frame attached to two timber posts.

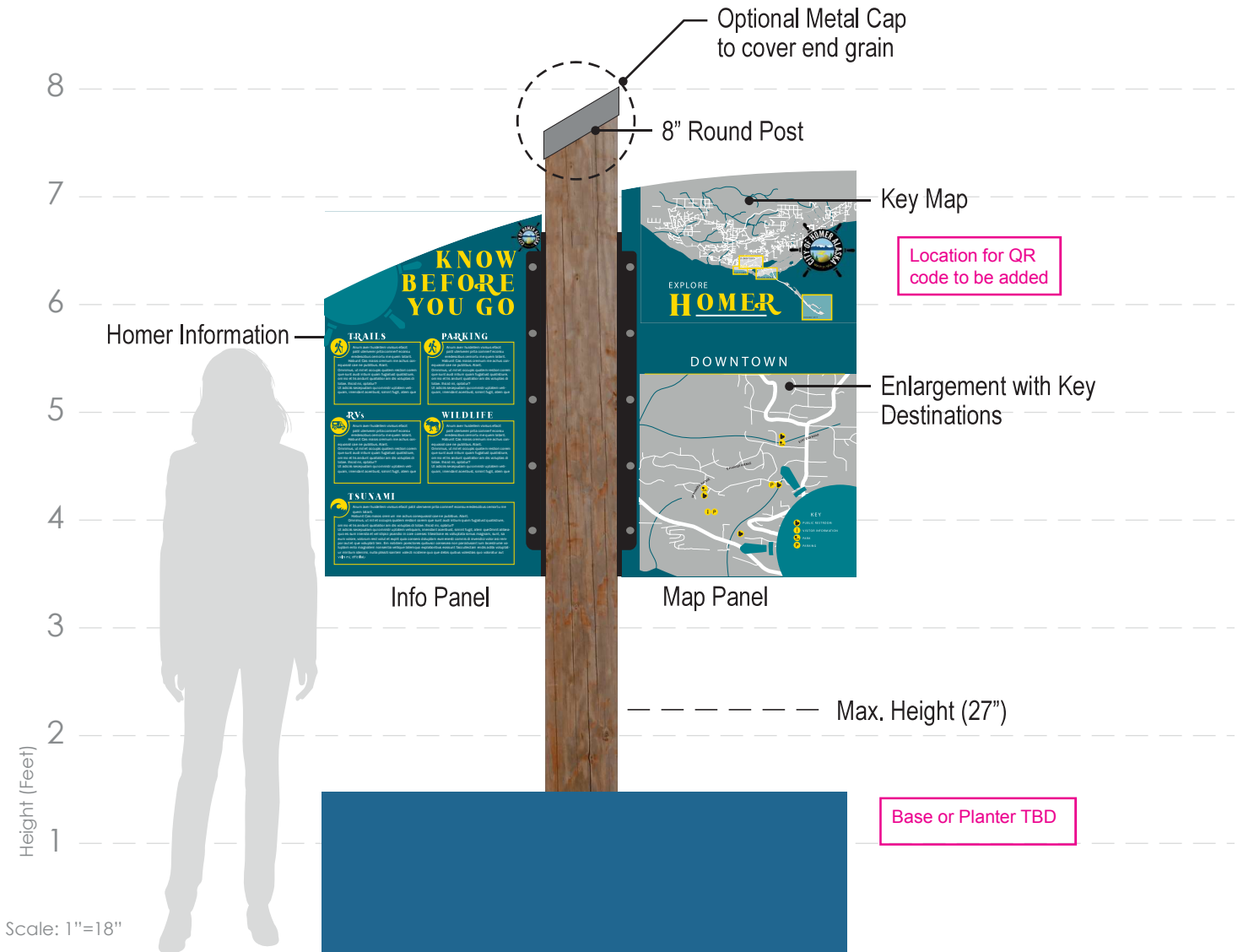
INFORMATION (HOMER)



The Information (Homer) sign is used at key arrival locations to Homer. The purpose of this sign is to help people find and prepare themselves for destinations, prepare them with general information for how they will experience Homer, alert them to specific safety information (such as Tsunami), and possibly change or expand where they might go and what they might do during their time in Homer. The main signs include a map and information text. The supporting sign provides information to help shape their time in Homer, and may be different depending on the location and expected audience.

The sign panels (high pressure laminate) are mounted to steel frames attached to a single post.

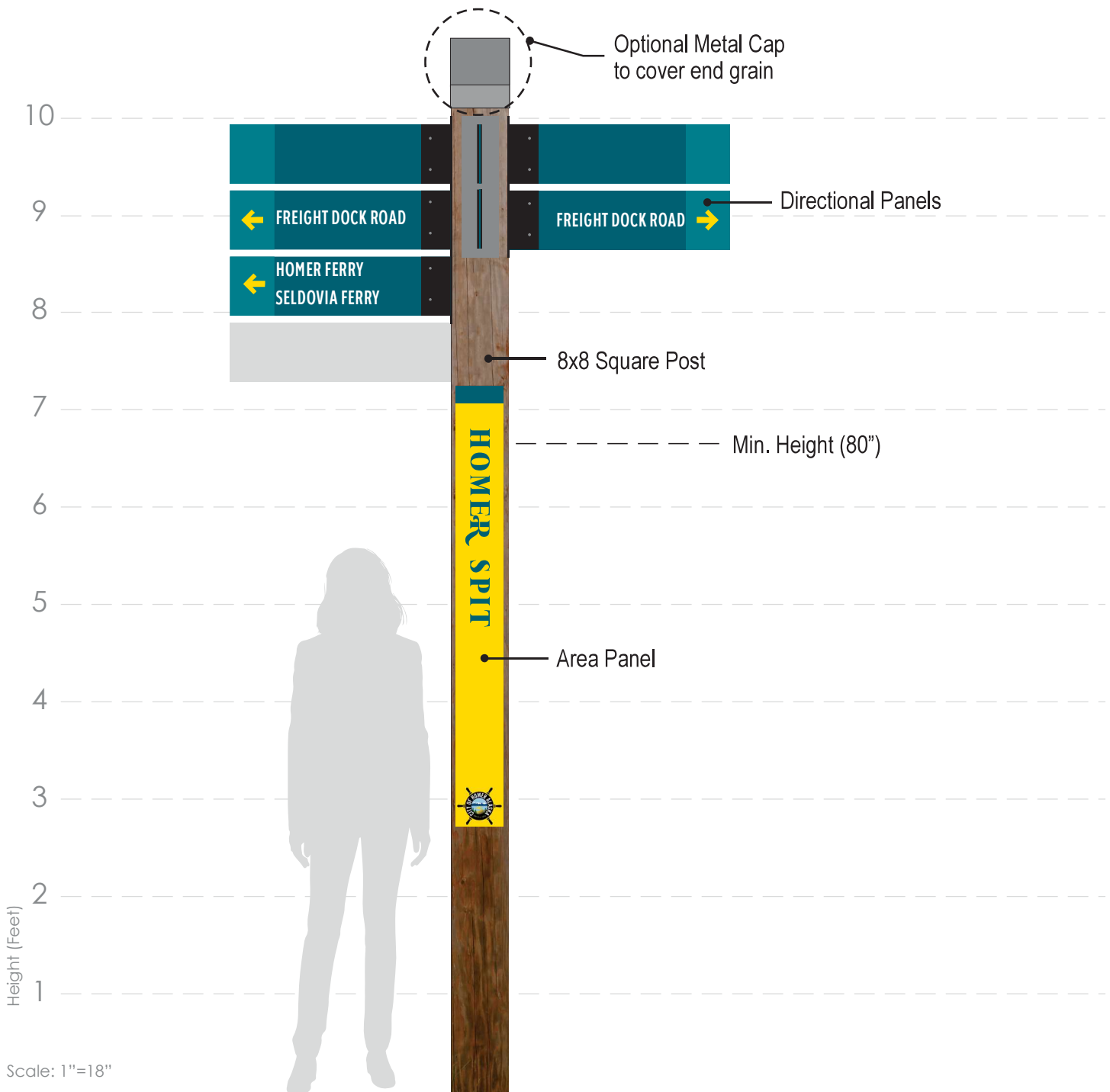
INFORMATION (AREA)



The Information (Area) sign is used at key arrival locations where people would benefit from a higher level of detail for the area. The goal is to encourage people to use non-motorized transportation to explore within the area, or move to other areas of Homer. The purpose of this sign is to help people navigate to specific destinations in the area, connect them to safe walking routes, and possibly change or expand where they might go and what they might do during their time in Homer. The main signs include a map and information text.

The sign panels (high pressure laminate) are mounted to steel frames attached to a single post.

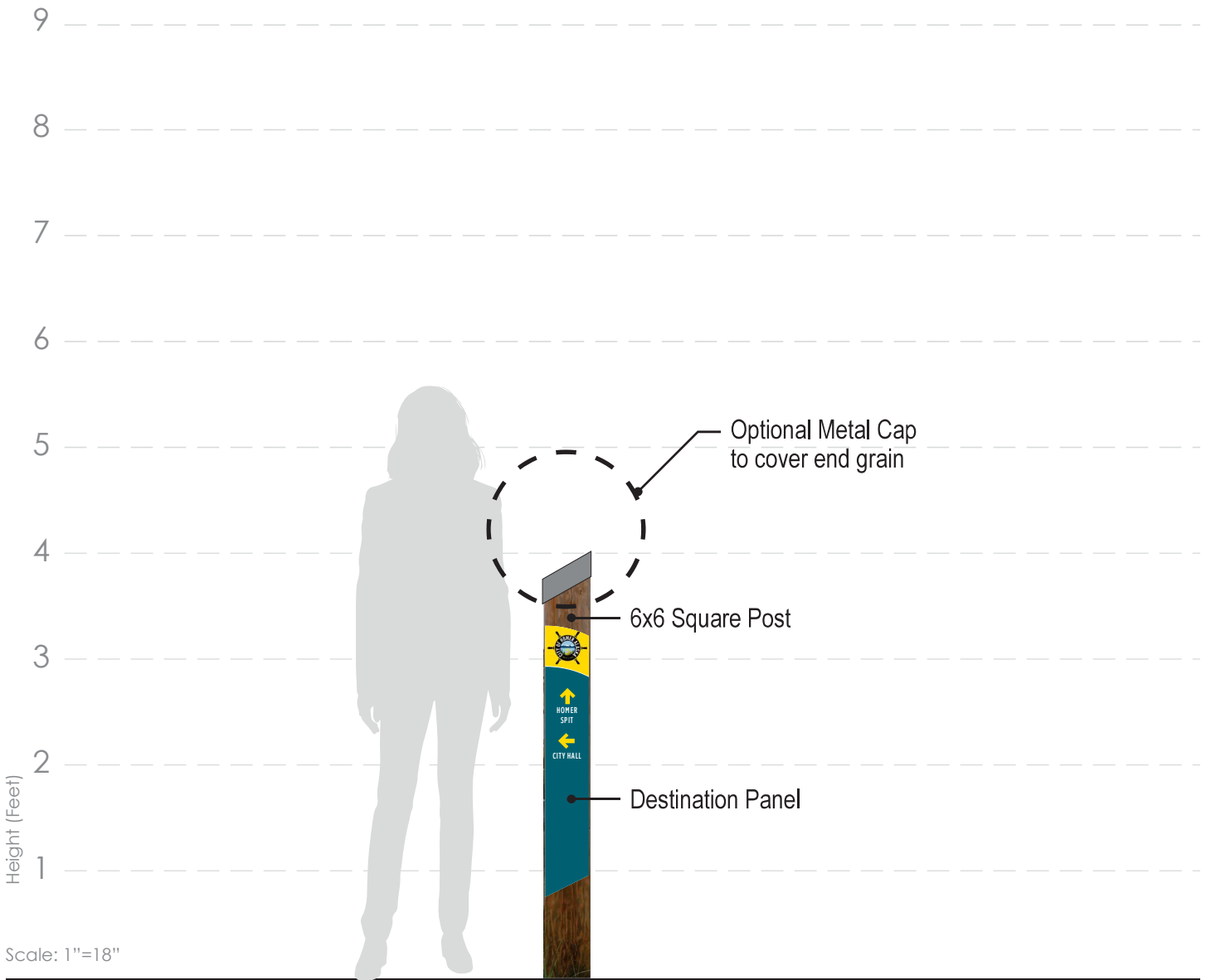
DIRECTIONAL - POST



The Directional - Post Sign is used to provide directional information to pedestrians.

The sign panels (high pressure laminate) are mounted to steel frames attached to a single post, and include arrows to specific destinations.

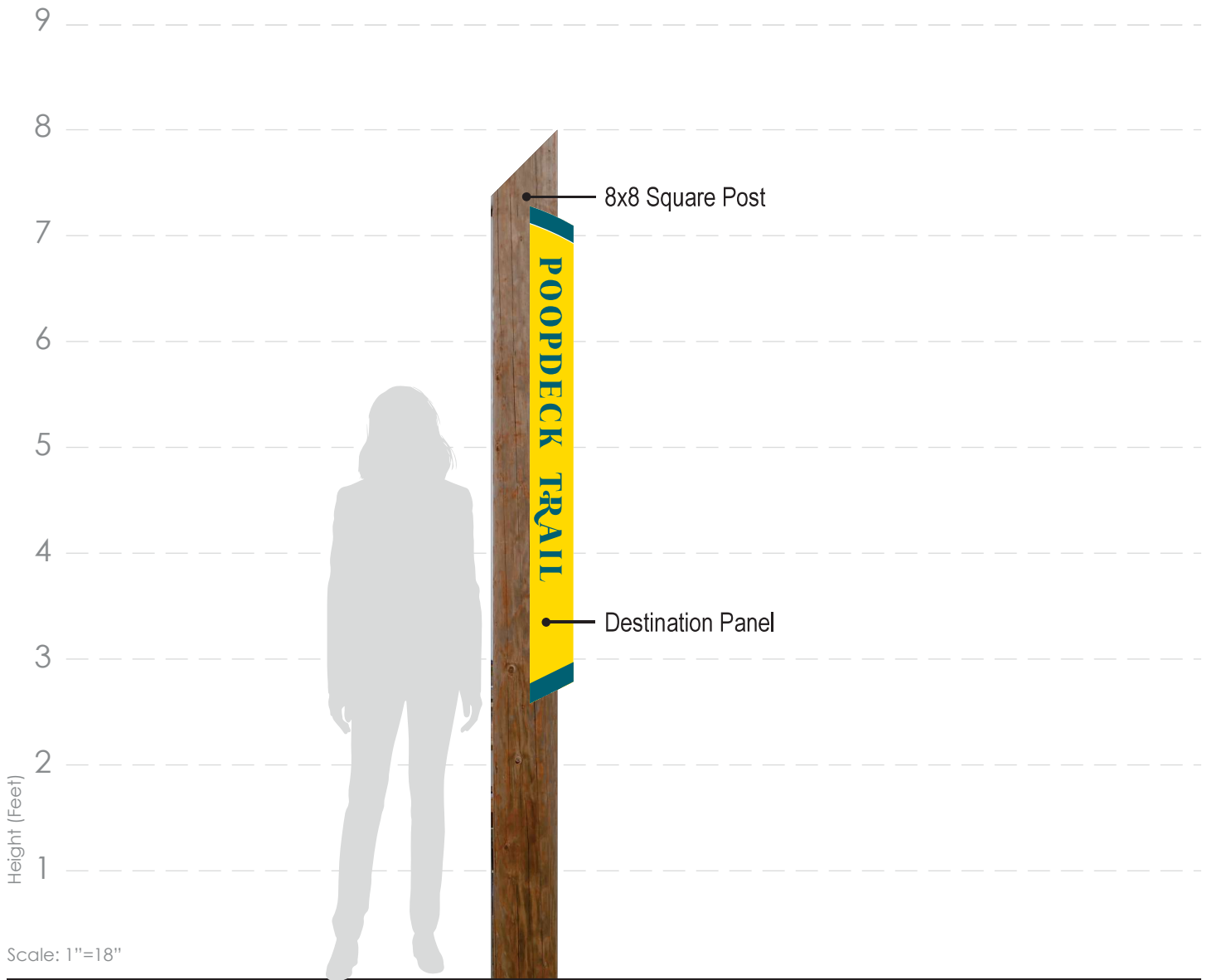
DIRECTIONAL - BOLLARD



The Directional - Bollard is used to provide directional information to pedestrians.

The sign panel (high-pressure laminate) is mounted directly to the single wood post bollard.

DESTINATION - POST



The Destination Sign is used to identify public locations (such as trailheads) when another sign type is not appropriate (i.e. park signs where there is an existing standard)

The sign panel (high-pressure laminate) is mounted directly to a single wood post.

SIGN DETAIL

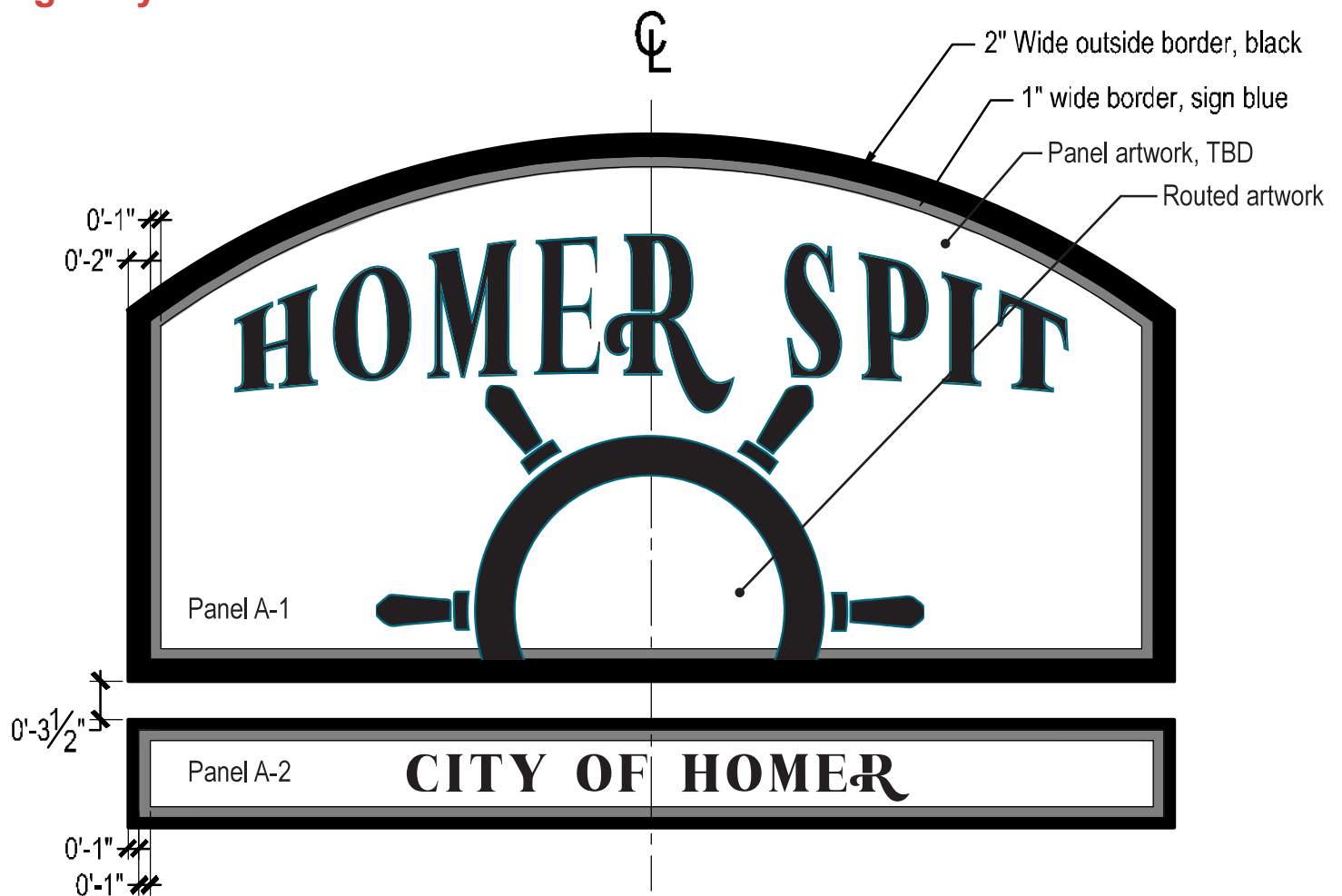
DESTINATION - GATEWAY

Text and Graphics

Item	Dimensions	Description	Notes
Panel A-1	96" x 50 1/8"	Panel Composed of Laminated 4x6	Artwork Developed by Artist
Panel A-2	96" x 10"	Panel Composed of Laminated 4x6	
Primary Lettering	min. 5" Ht, max. 14" Ht, Rockabye All Caps	Carved into Panel A-1	Area Name
Secondary Lettering	4" Ht, Rockabye All Caps	Carved into Panel A-2	City of Homer

Sign Layout

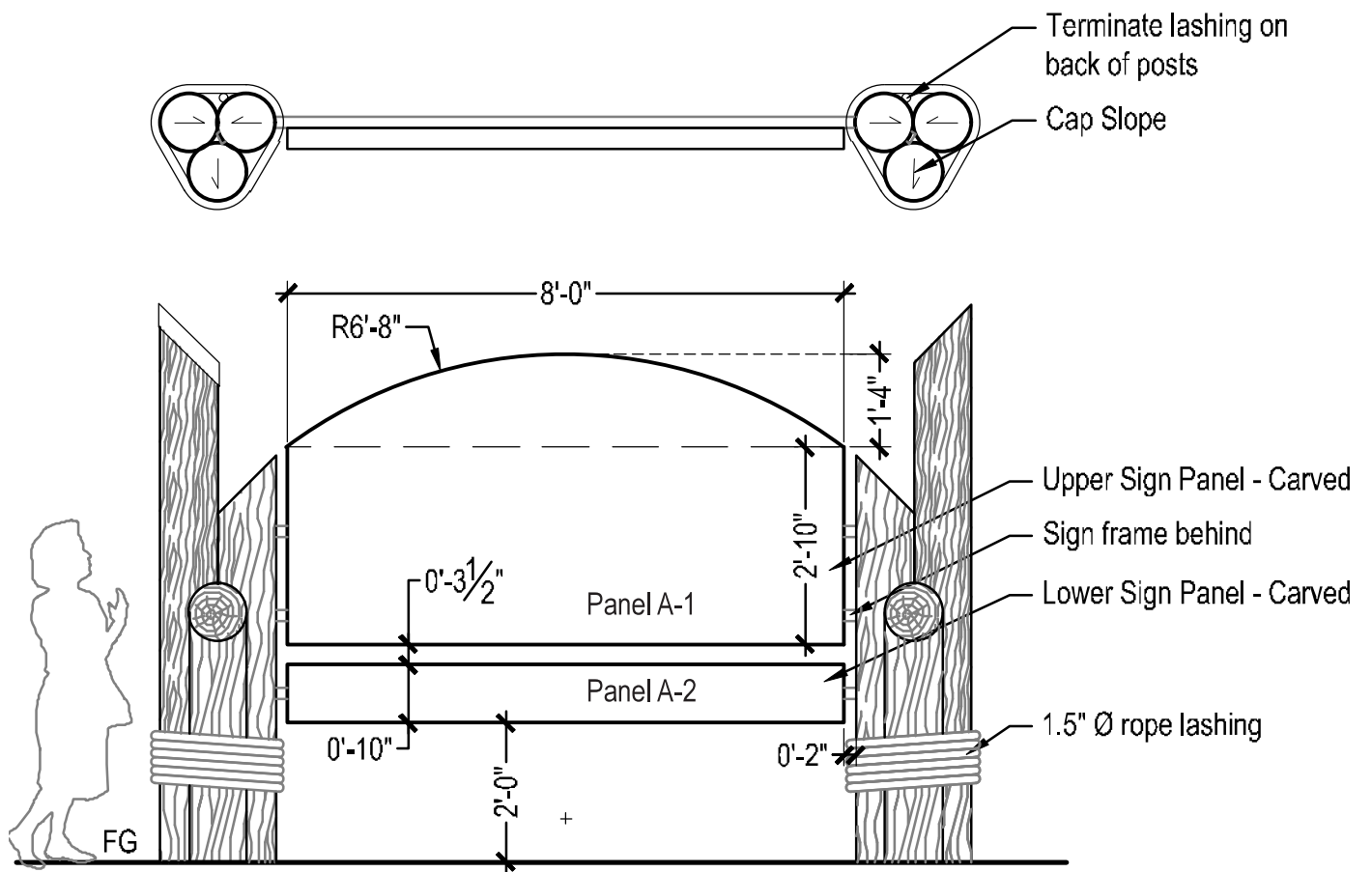
Scale: 1"=1'-0"



Details

Scale: 3/8"=1'-0"

Elevation and Plan - Sign Panel and Posts

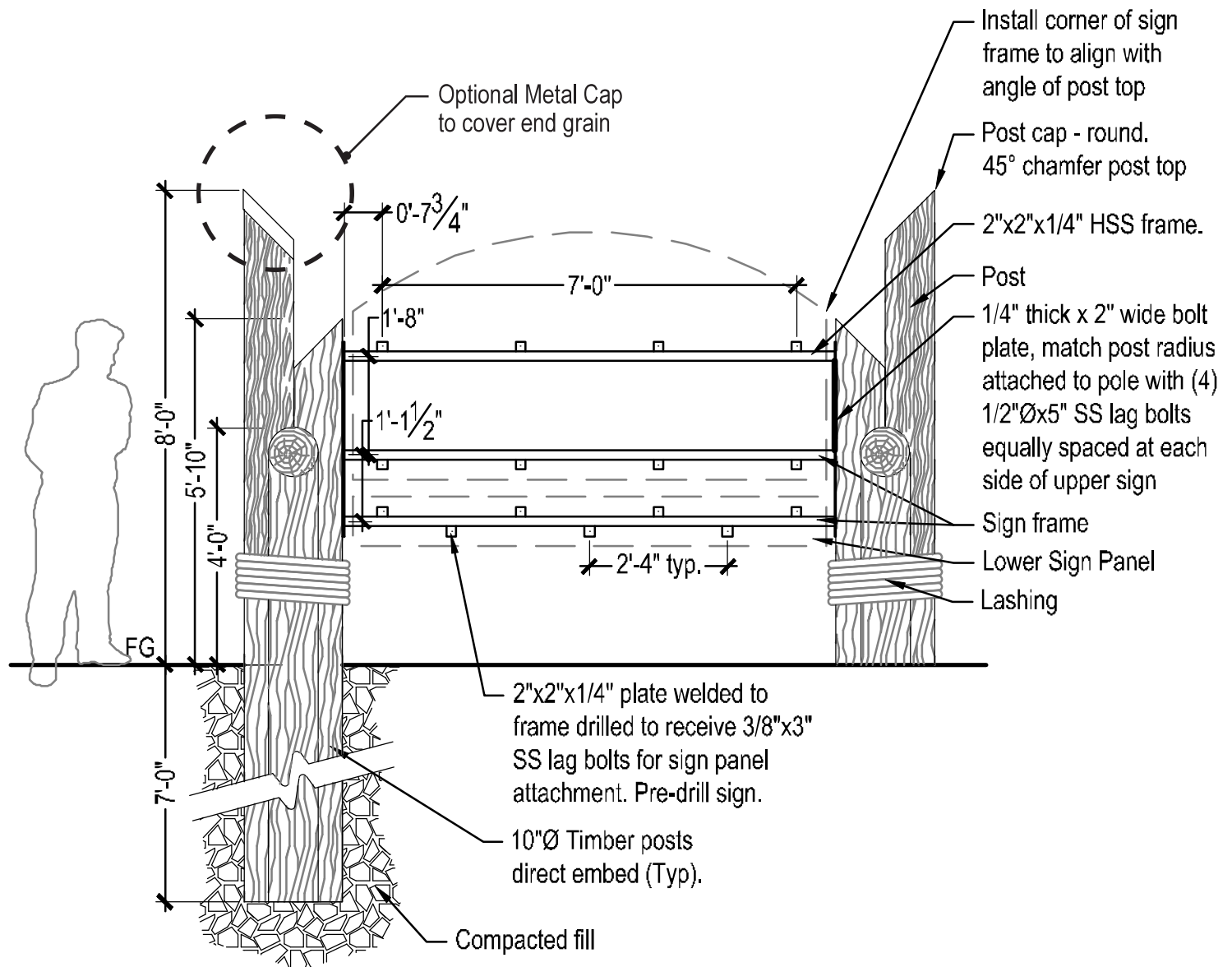


Destination - Gateway - Cont'd

Details

Scale: 3/8"=1'-0"

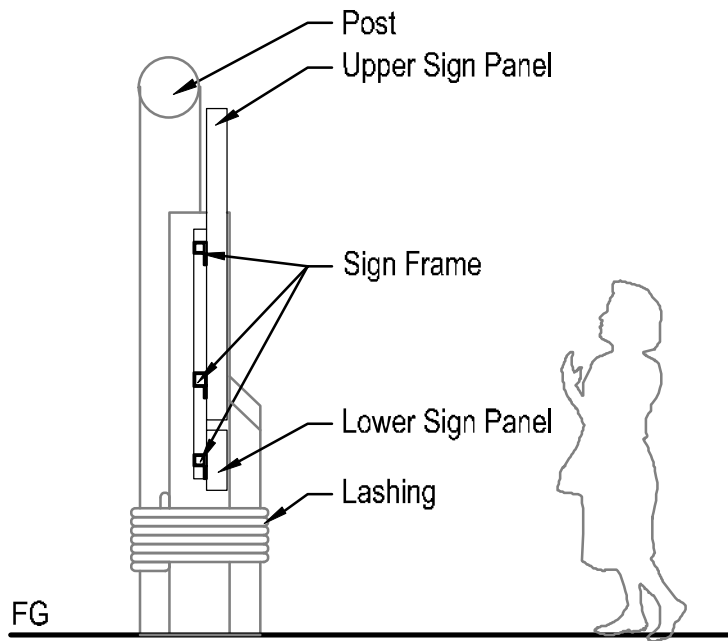
Elevation - Post and Footing



Details

Scale: 3/8"=1'-0"

Elevation - Side



DIRECTIONAL - ROAD (HOMER)

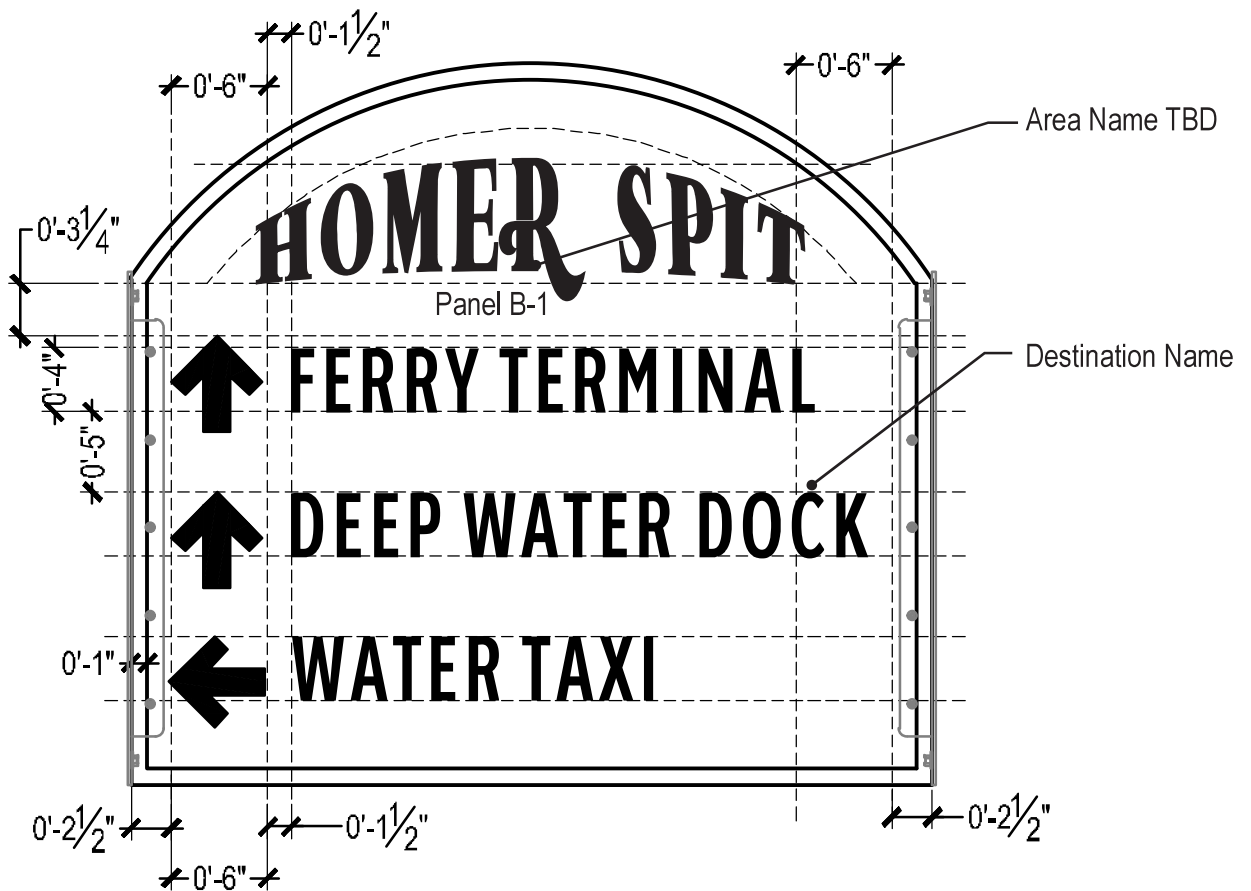
Text and Graphics

Item	Dimensions	Description	Notes
Panel B-1	50" x 45.5"	1/2" High Pressure Laminate	
Primary Lettering	min. 3" Ht, max 4" Ht, Rockabye All Caps	Printed on Panel B-1	Area Name
Secondary Lettering	4" Ht, Roadgeek All Caps	Printed on Panel B-1	Destinations
Arrow	6" Ht.	Printed on Panel B-1	

Sign Layout

Scale: 1"=1'-0"

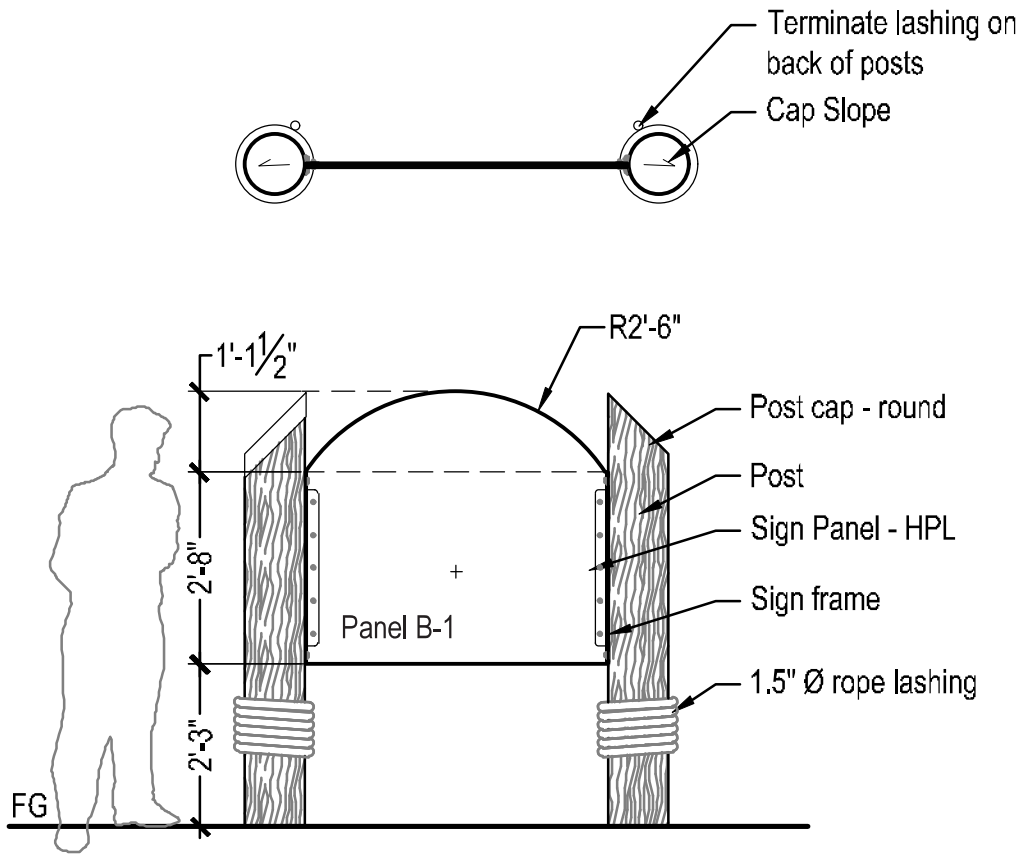
Dimensions are shown for information only. Panels are to be ordered with camera-ready artwork generated using InDesign template.



Details

Scale: 3/8"=1'-0"

Elevation and Plan - Sign Panel and Posts



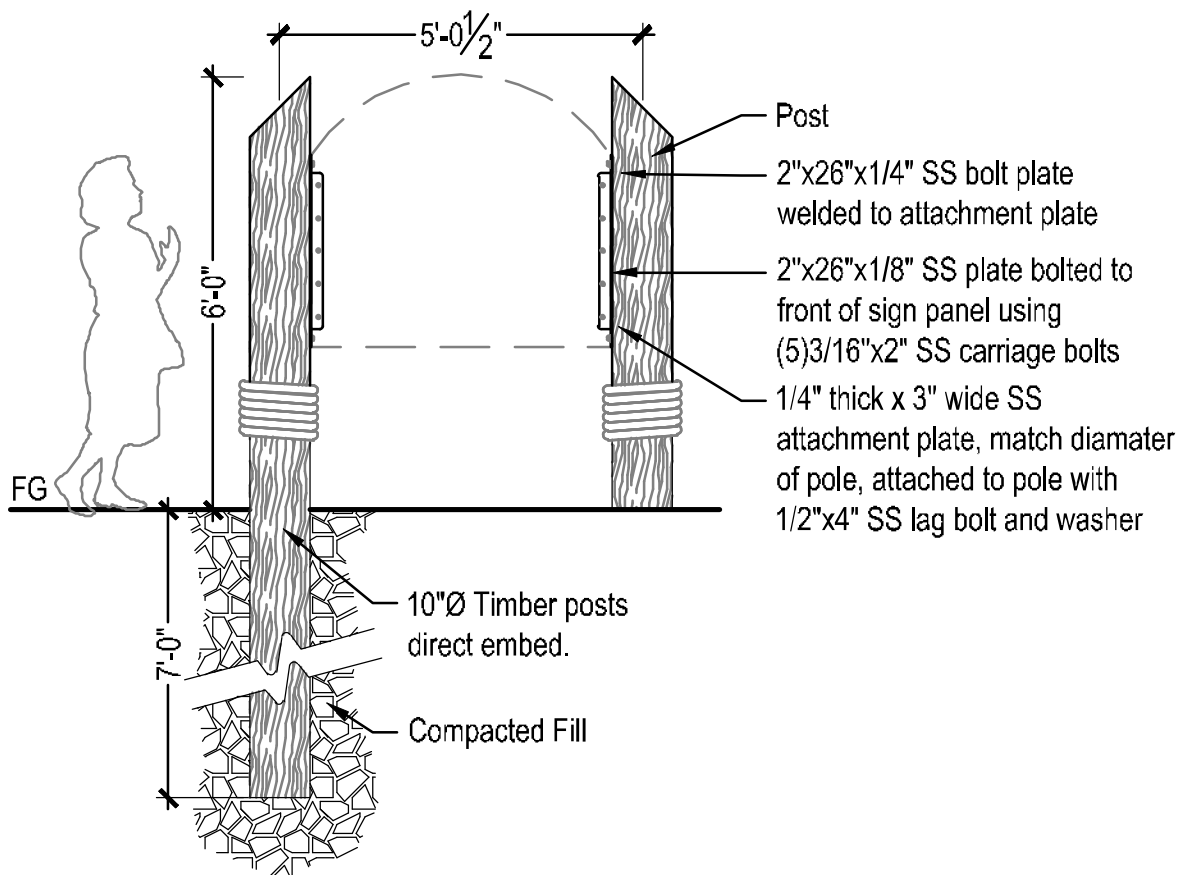
Scale: 3/8"=1'-0"

Directional - Road (Homer) - Cont'd

Details

Scale: 3/8"=1'-0"

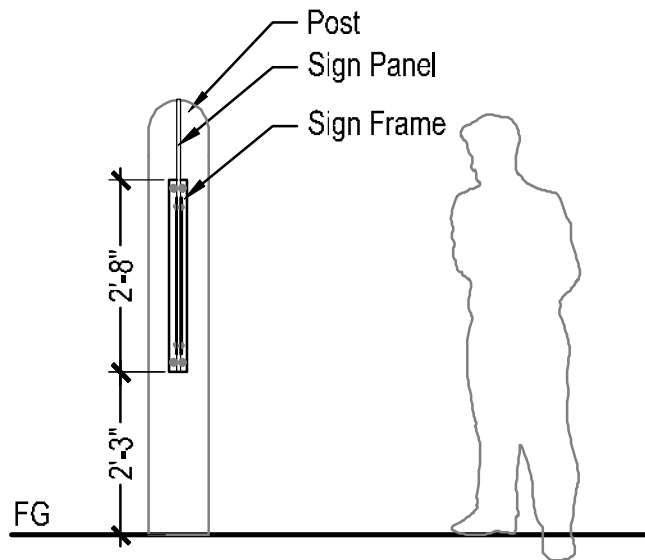
Elevation - Post and Footing



Details

Scale: 3/8"=1'-0"

Elevation - Side



INFORMATION - HOMER & AREA

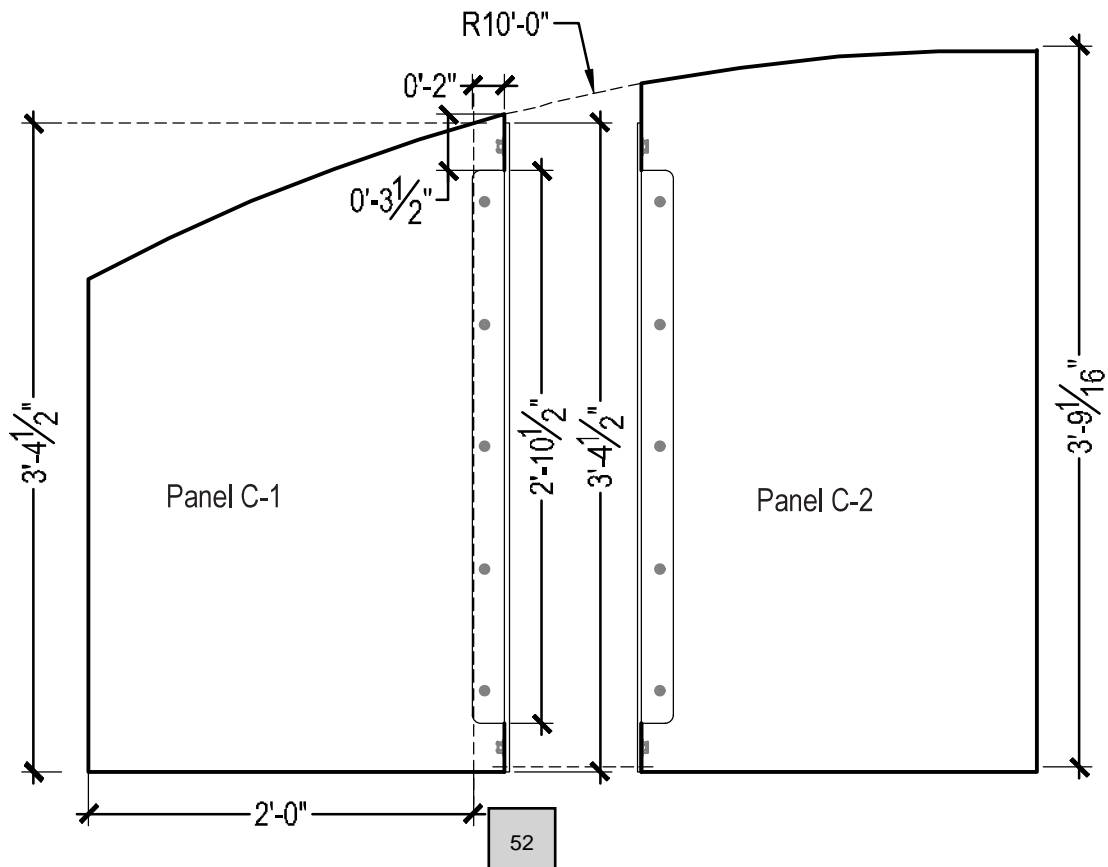
Text and Graphics

Item	Dimensions	Description	Notes
Panel C-1	26" x 40.5"	High-pressure laminate	Cut line
Panel C-2	26" x 44.0625"	High-pressure laminate	Cut line
Icons	2" x 2"	Printed on Panel C-1	
Homer Map	26" x 16"	Printed on Panel C-2	Information to be confirmed with graphic layout
Location Map	26" x 22"	Printed on Panel C-2	
Primary Lettering	2" Ht, Rockabye All Caps	Printed on Panel C-1	
Secondary Lettering	1.25" Ht, Franklin Gothic Condensed	Printed on Panel C-2	

Sign Layout

Scale: 1"=1'-0"

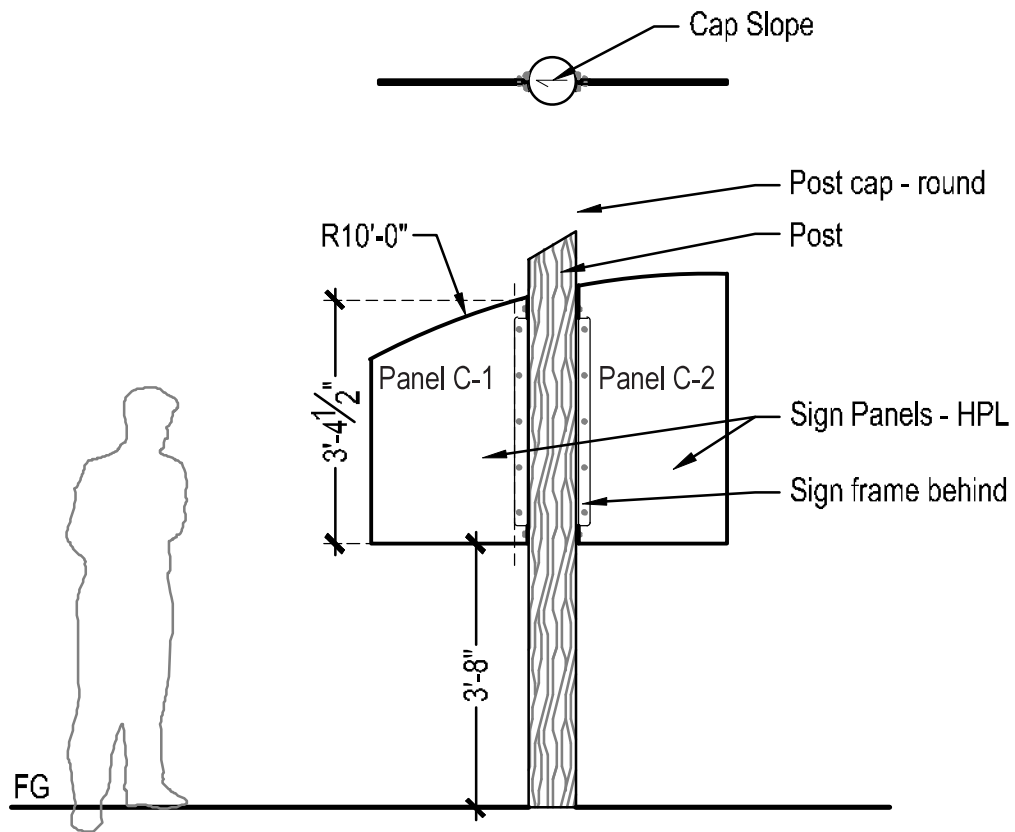
Dimensions are shown for information only. Panels are to be ordered with camera-ready artwork generated using InDesign template.



Details

Scale: 3/8"=1'-0"

Elevation and Plan - Sign Panel and Posts

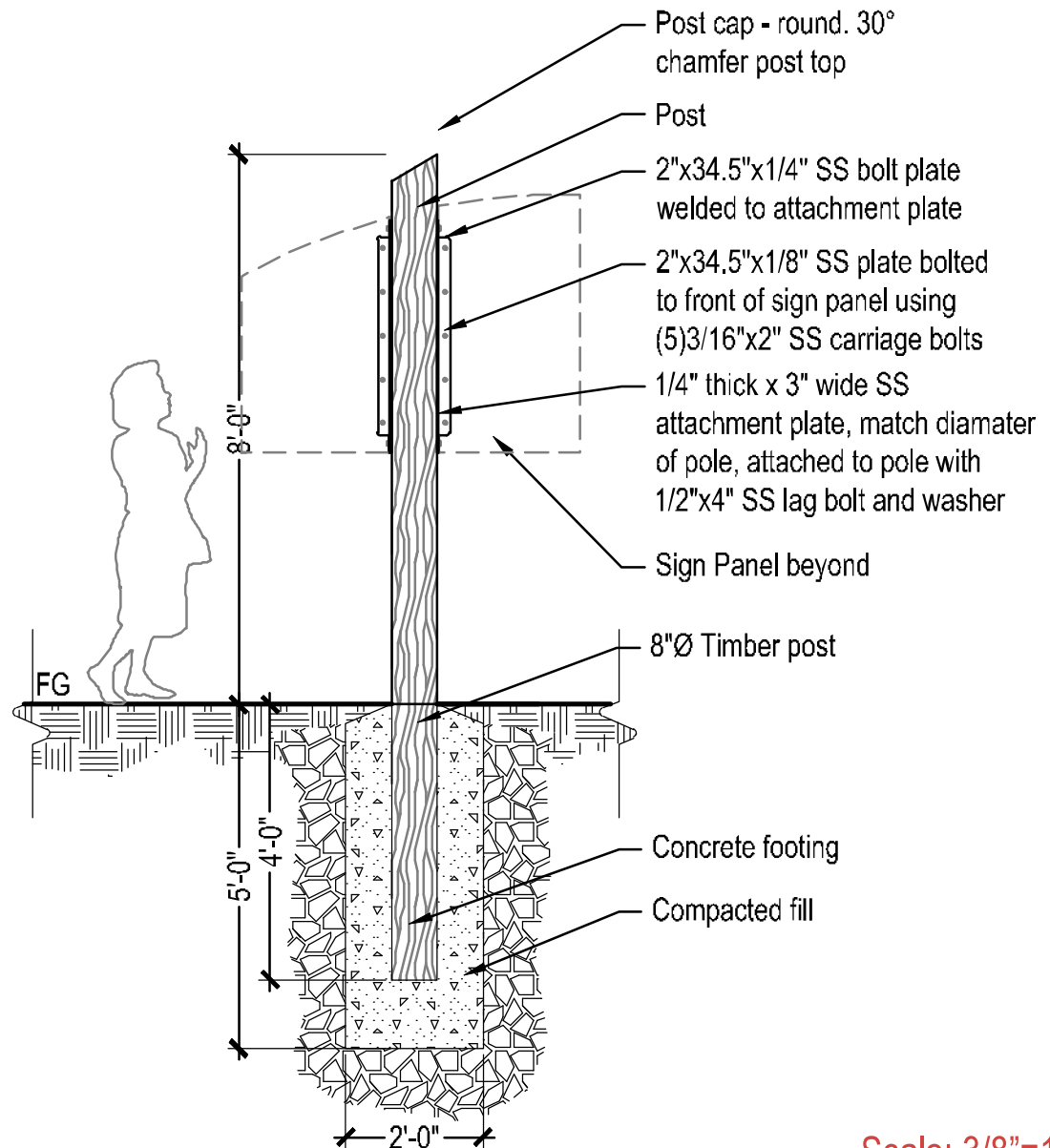


Information Sign - Cont'd

Details

Scale: 3/8"=1'-0"

Elevation - Post and Footing



Front Elevation - Attachment and Footing

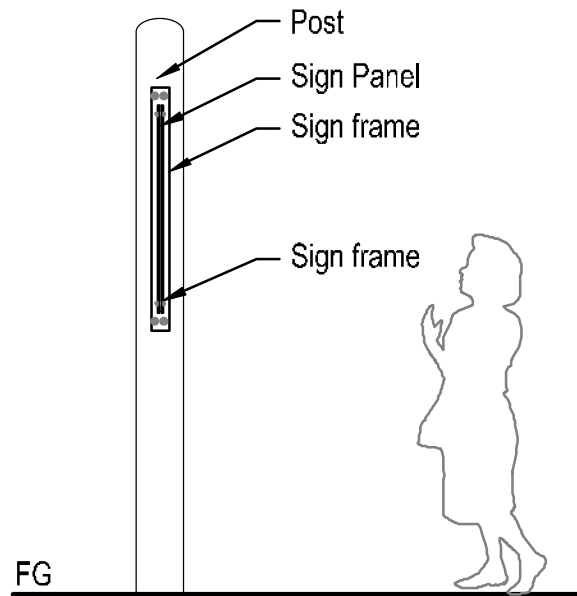
Scale: 3/8"=1'-0"

Information Sign - Cont'd

Details

Scale: 3/8"=1'-0"

Elevation - Side



Side Elevation

Scale: 3/8"=1'-0"

DIRECTIONAL - POST

Text and Graphics

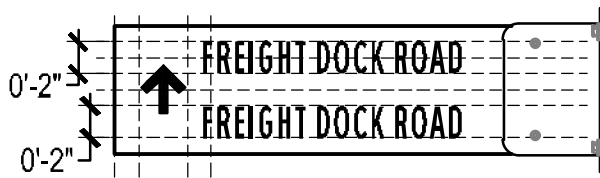
Item	Dimensions	Description	Notes
Panel D-1	30" x 8"	High-pressure laminate	Destination
Panel D-2	54" x 6.5"	High-pressure laminate	Area Name
Primary Lettering	min. 3.25" Ht, max. X" Ht, Rockabye All Caps	Printed on Panel D-1	
Secondary Lettering	2" Ht, Franklin Gothic Condensed	Printed on Panel D-2	
Arrow	3" Ht	Printed on Panel D-2	

Sign Layout

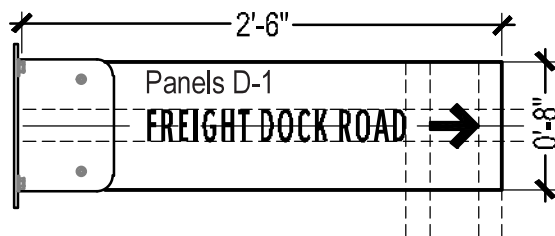
Scale: 1"=1'-0"

Dimensions are shown for information only. Panels are to be ordered with camera-ready artwork generated using InDesign template.

Direction Panel - Double Destination

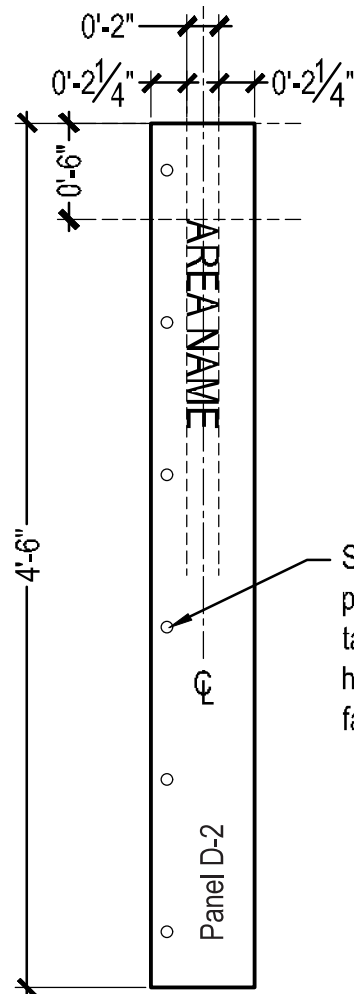


Direction Panel - Single Destination



Right Panel

Area Name Panel



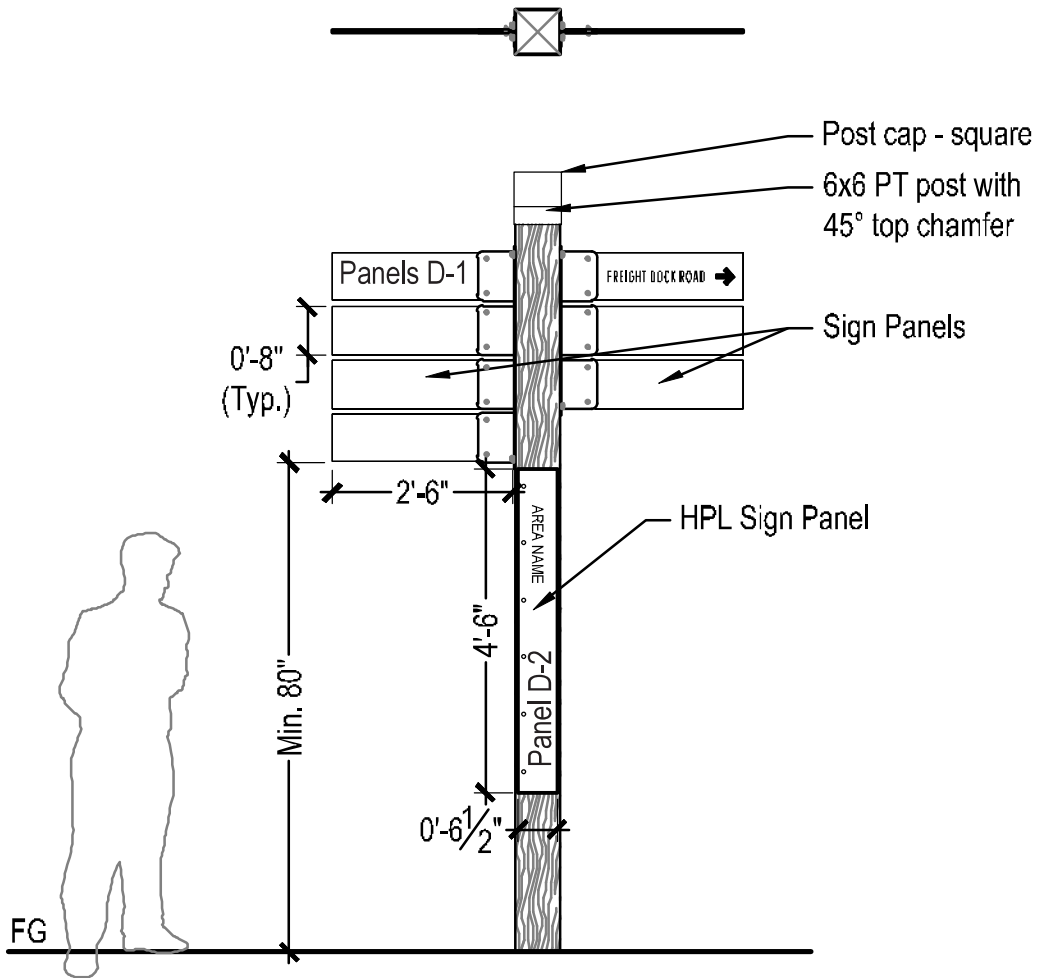
Sign panel attached to post with #24"x3" SS tamper-proof button head sheet metal screw, fastened into post (Typ.)

Directional Post - Cont'd

Details

Scale: 3/8" = 1'-0"

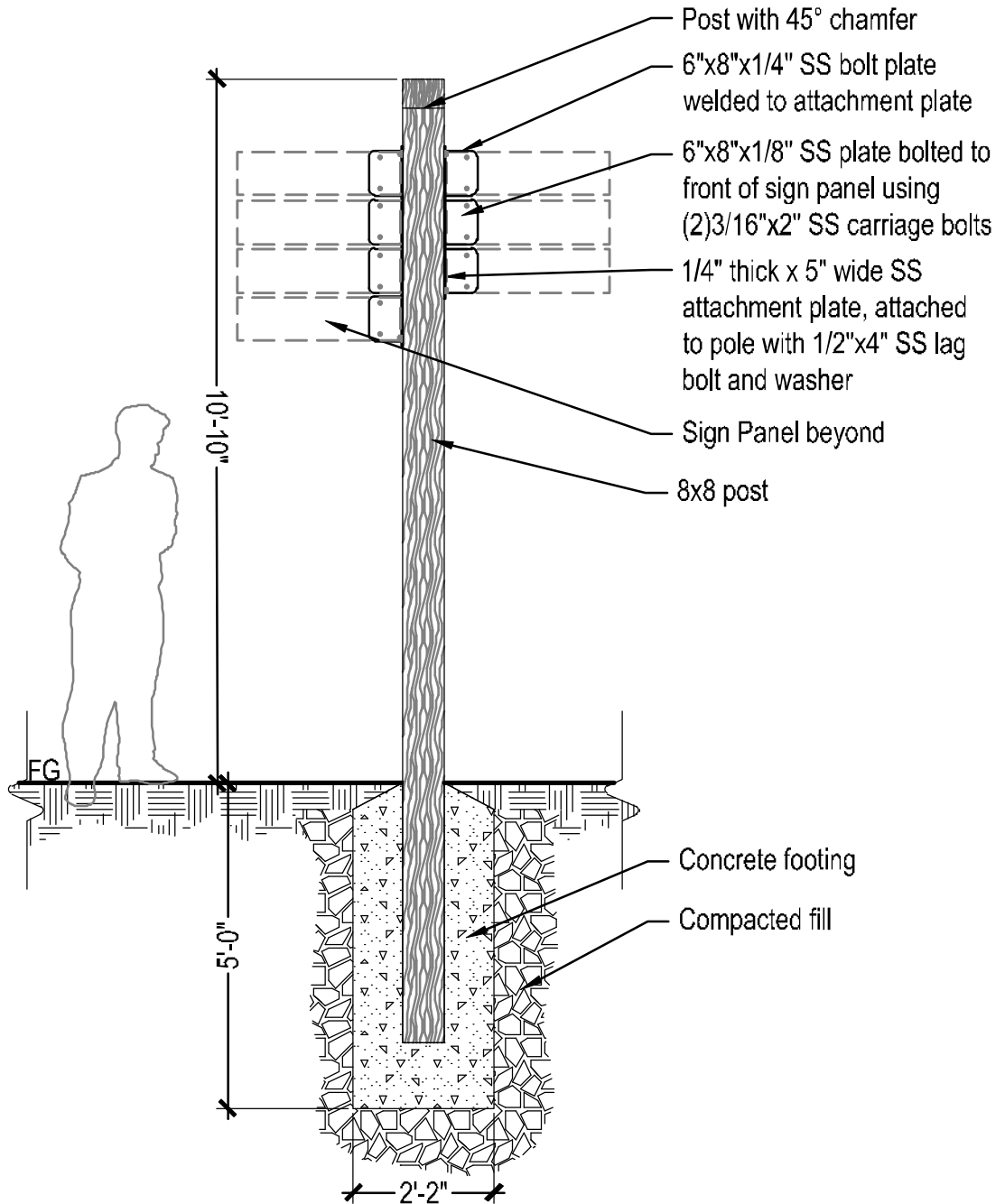
Elevation and Plan - Sign Panel and Posts



Details

Scale: 3/8"=1'-0"

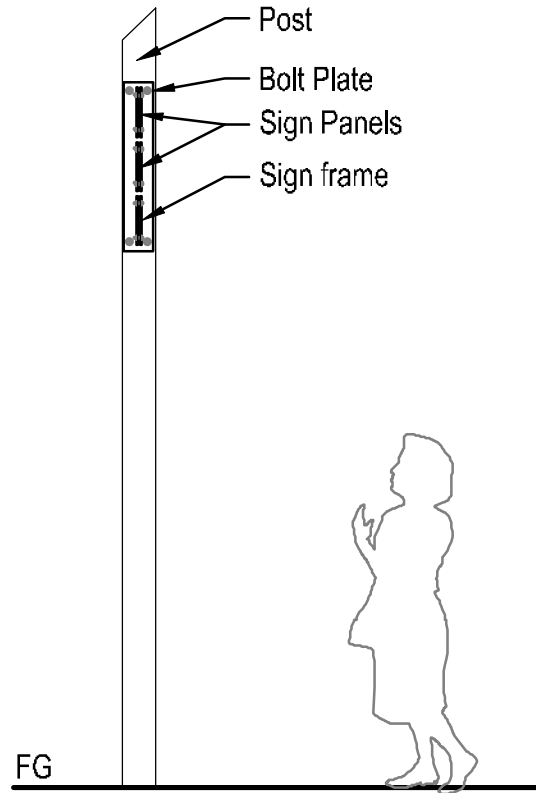
Elevation - Post and Footing



Details

Scale: 3/8"=1'-0"

Elevation - Side



DIRECTIONAL - BOLLARD

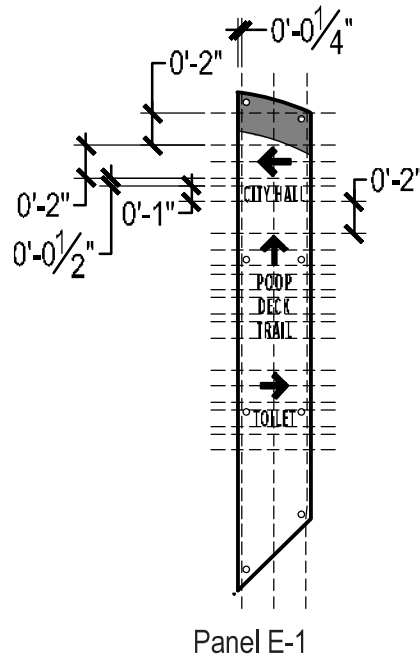
Text and Graphics

Item	Dimensions	Description	Notes
Panel E-1	4.5" x 31"	High-pressure laminate	Cut line
Primary Lettering	0.75" Ht, Franklin Gothic Condensed	Printed on Panel E-1	
Arrow	1" Ht	Printed on Panel E-1	

Sign Layout

Scale: 1"=1'-0"

Dimensions are shown for information only. Panels are to be ordered with camera-ready artwork generated using InDesign template.



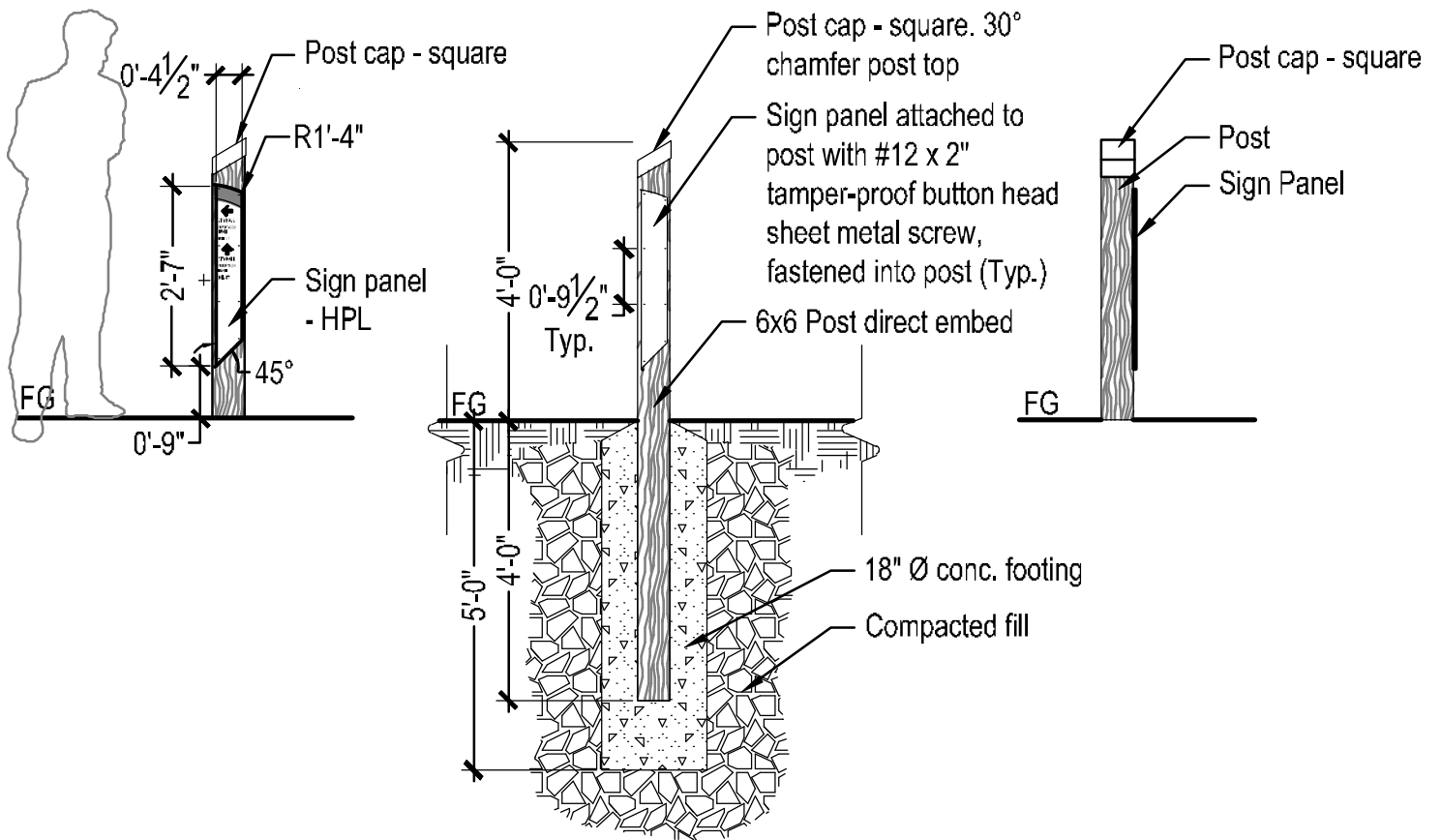
Details

Scale: 3/8"=1'-0"

Elevation - Sign Panel and Post

Elevation - Post and Footing

Elevation - Side



Side Elevation

Scale: 3/8"=1'-0"

DESTINATION - POST

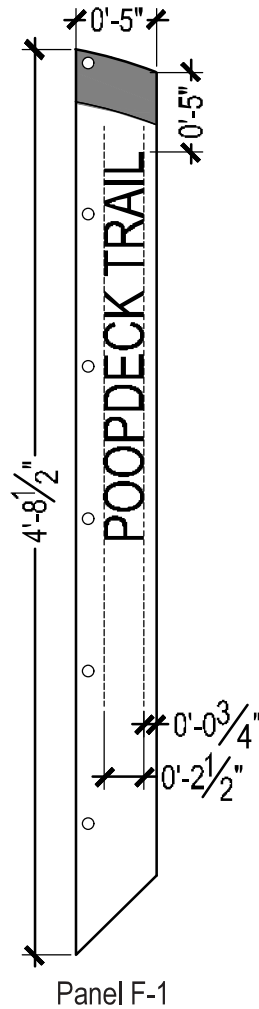
Text and Graphics

Item	Dimensions	Description	Notes
Panel F-1	5" x 56.5"	High-pressure laminate	Cut line
Primary Lettering	2.5" Ht, Rockabye All Caps	Printed on Panel F-1	

Sign Layout

Scale: 1"=1'-0"

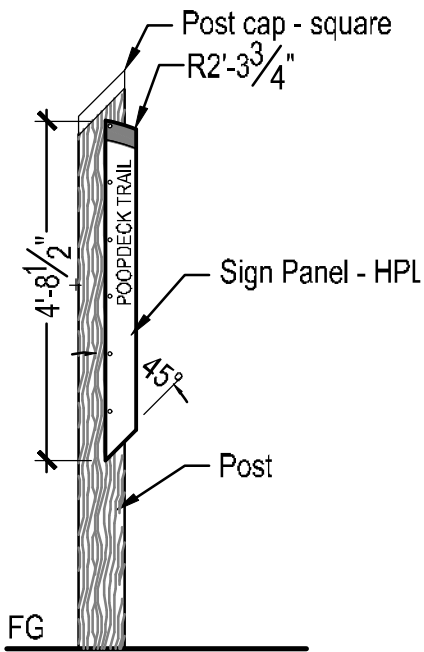
Dimensions are shown for information only. Panels are to be ordered with camera-ready artwork generated using InDesign template.



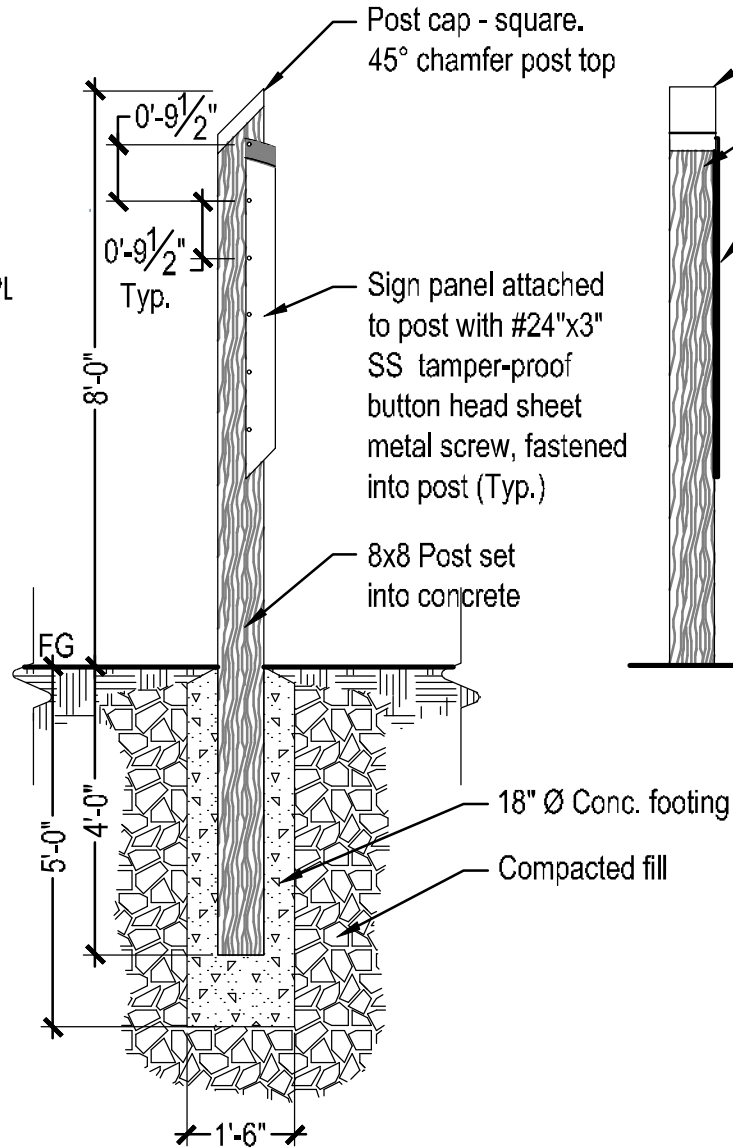
Details

Scale: 3/8"=1'-0"

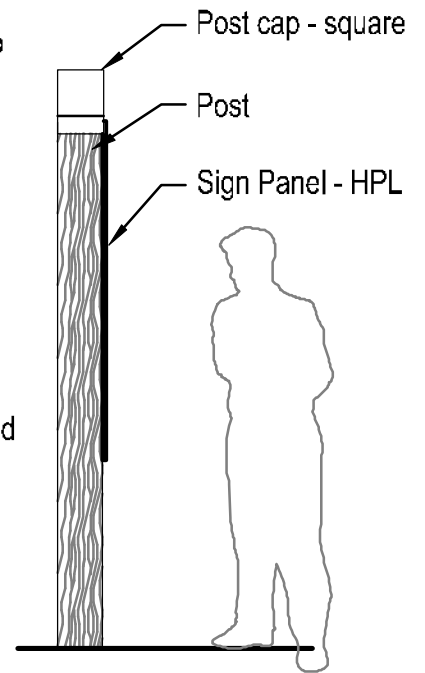
Elevation - Sign Panel and Post



Elevation - Post and Footing



Elevation Side



SPECIFICATIONS & DETAILS

TYPEFACE AND COLORS

Rockabye

A B C D E F G H I J K L M N O P Q R S T U V W X Y Z
0 1 2 3 5 6 7 8 9

Franklin gothic MEDIUM condensed

A B C D E F G H I J K L M N O P Q R S T U V W X Y Z
0 1 2 3 5 6 7 8 9

Franklin gothic Book regular

A B C D E F G H I J K L M N O P Q R S T U V W X Y Z
a b c d e f g h i j k l m n o p q r s t u v w x y z
0 1 2 3 5 6 7 8 9

Roadgeek 2005 Series 1B

A B C D E F G H I J K L M N O P Q R S T U V W X Y Z
0 1 2 3 5 6 7 8 9

Pantone 3155C

Sign Blue



**80%
TINT**

Pantone

Medium Yellow C

Sign Yellow



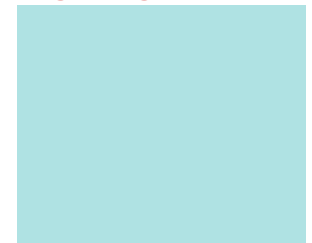
Pantone 423C

Sign Grey



Pantone 317C

Sign Light Blue



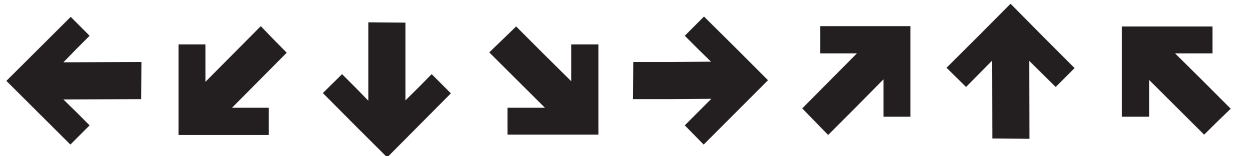
SIGN GRAPHICS

City of Homer Logo



Add City of Homer logo brand standards if available

Arrows



Icons

<to be developed>

Map Icons

The map icons are used on the maps to show locations of destinations, parking, or information signs. <graphic design information to be developed>

Directional Arrow

<graphic design information to be developed>

STANDARD SPECIFICATIONS

Specifications are draft to be refined based on final sign reviews.

Materials

Metals, General:

- Provide materials with smooth, flat surfaces without blemishes. Do not use materials with exposed pitting, seam marks, roller marks, rolled trade names, or roughness.
- Steel, aluminum or stainless steel will be detailed in accordance with standard industry practice and suitable for the use intended.
- Remove tool and die marks and stretch lines.
- Fasteners and connectors used together will be compatible.

Metals

- Steel: Commercial steel sheet
- Stainless Steel: Type 304 or 316
- Aluminum: 6061-T6 alloy

Custom High-Pressure Laminate:

- Custom High-Pressure Laminate material will be composed of the required layers of FSC Certified phenolic resin impregnated brown or black kraft filler paper to produce 1/2" thick panels, surfaced by a layer of melamine overlay, graphics imaged on saturation grade paper with UV resistant pigment based process color inks, and with an optically clear UV overlay that will resist no less than 99% of all sunlight and UV rays, as well as provides a graffiti resistant surface that allows for removal with standard cleaners.

Round Lumber Posts:

- Western Red Cedar: #1 grade or better.

Dimensional Lumber:

- Western Red Cedar: #1 grade or better.
- Surfaced smooth on four sides with eased edges; kiln dried, free of knots, solid stock of species indicated.

Post Base/Brackets

- Post Brackets: Simpson, MPBZ Moment Post Base with 1 inch post stand-off.
- Finish: ZMAX coating
- Size: To match post size
- Installation Method: As indicated by manufacturer and shown on Drawings. Use supplied SDS Heavy-Duty Connector screws.

Footings

- All work shall conform to the minimum standards of <TBD>
- Foundations are designed based on class 3, 4, Or 5 materials from IBC Table 1806.2:
 - Allowable Bearing Pressure of 1500 PSF and lateral soil pressure of 100 PSF/Ft.
- The concrete for each isolated footing shall be placed in one (1) continuous placement against undisturbed soil.
- No construction shall commence until all seasonal frost has thawed or been removed from the ground.
- All concrete construction shall conform to CHP 19 of the code and the provisions in ACI 318.

- Cast-in-place concrete shall have a minimum 28 day compressive strength of 4,500 PSI, a maximum water- cement ratio of 0.45, and air entrainment between 4-7%. Footing was designed using 2500 PSI concrete. Therefore no special inspections are required.
- Portland Cement shall conform to ASTM Standard C-150, Type I or III.
- Aggregate for hard-rock concrete (150 PCF) shall conform to the requirements and tests of ASTM C-33
- All reinforcing bars shall be deformed bar conforming to the standards of ASTM A615, Grade 60.
- Maximum slump shall be 4 inches, UON.

Finishes

Metals:

- General: Polished, sanded, or otherwise finished; smooth all surfaces, free from burrs, barbs, splinters, and sharpness; all edges and ends rolled, rounded, or capped.
- Steel: Mill finish.
- Stainless Steel: Mill finish.
- Aluminum: Mill finish.

Custom High-Pressure Laminate:

- Matte finish.

Coatings and Sealers

- Steel Coating: Urethane Alkyd Enamel Primer and Paint: Black colored, matte finish, two part application, primer and finish, for exterior steel applications. Products include Benjamin Moore, Super Spec HP-P23 Primer and Benjamin Moore, Super Spec HP-P22 Finish, or approved equivalent.
- Wood Sealer: Penetrating Clear Sealer: Clear, matte finish penetrating sealer for exterior applications and use on cedar. Products include Cedarcide, Cedarshield Wood Treatment, or approved equivalent.

Hardware

General:

- Type 304 stainless-steel fasteners, commercial quality, tamper-proof, vandal and theft resistant, for exterior use (unless otherwise noted)

High-Pressure Laminate Panel Attachments:

- This includes HPL attachment to steel frame, and HPL attachment to wood posts.
- HPL attachment to steel frame: #12x2" tamper-proof button head sheet metal screw, black oxide alloy steel
- HPL attachment to wood posts: #12 x 2" tamper-proof button head sheet metal screw, black oxide alloy steel

Wood Post Attachments:

- This includes steel cap attachments to wood posts.
- All attachments will be #10 1 -1/2" button head sheet metal screws

Standard Specifications - Cont'd

Fabrication

- Form to required shapes and sizes with true, consistent lines, and angles.
- Cut, drill, and punch metals cleanly and accurately. Remove burrs and ease edges to a radius of approximately 1/32 inch, unless otherwise indicated. Remove sharp or rough areas on exposed surfaces.
- Form bent-metal corners to smallest radius possible without causing grain separation or otherwise impairing work.
- Form exposed work true to line and level with accurate angles and surfaces and straight edges.
- Cut, reinforce, drill, and tap metal fabrications as indicated to receive finish hardware, screws, and similar items.
- Provide for anchorage of type indicated; coordinate with supporting structure. Space anchoring devices to secure metal fabrications rigidly in place and to support indicated loads.

Examination

- Examine areas and conditions for compliance with requirements for correct and level finished grade, mounting surfaces, installation tolerances, and other conditions affecting performance.
- Proceed with installation only after unsatisfactory conditions have been corrected.

Installation

- Comply with manufacturer's written installation instructions for sign panels, unless more stringent requirements are indicated.
- Verify the layout, dimensions and attachment of all sign components prior to installation. Notify the Owner of any discrepancies.
- Stake locations of signs as indicated on Drawings. Adjust locations when requested and obtain Owner acceptance of layout before installing. Make minor adjustments as required.
- Field verify the location of all sign components and layout and dimensions for installation of signs. Owner to approve location of all signs prior to installation.
- Install signs level, plumb, true, and securely anchored at locations indicated on Drawings.
- Concrete Footings: perform earthworks, install rebar, and place concrete as specified in City of Homer Standard Specifications, and as indicated on Drawings.
- Post Setting: Set cast-in support posts in concrete footing with smooth top, shaped to shed water. Protect portion of posts above footing from concrete splatter. Verify that posts are set plumb or at correct angle and are aligned and at correct height and spacing. Hold posts in position during placement and finishing operations until concrete is sufficiently cured.
- Assemble sign components as indicated on Drawings.
- All threaded anchoring and fasteners to receive thread-lock during installation.

Cleaning

- After completing sign installation, inspect components. Remove spots, dirt, and debris. Repair damaged finishes to match original finish or replace component.

Typical Abbreviations

COH	City of Homer	PSI	Pounds per Square Inch
TYP	Typical	PCF	Pounds per Cubic Foot
CL	Center Line	SF	Square Foot
Ht	Height	Ft	Foot
w/	With	UON	Unless otherwise noted
MIN	Minimum	CHP	Chapter
MAX	Maximum	ACI	American Concrete Institute
HPL	High-Pressure Laminate	ASTM	American Society for Testing & Materials
IBC	International Building Code		
UV	Ultraviolet		
MI	Miles		
SS	Stainless Steel		
PSF	Pounds per Square Foot		

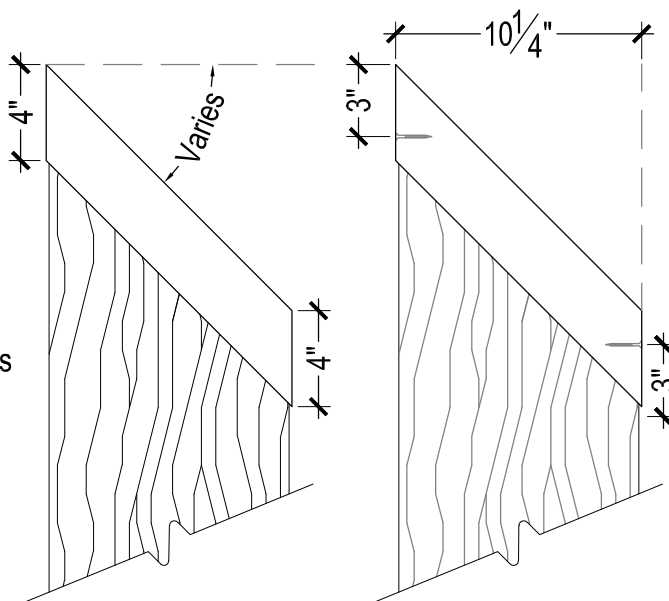
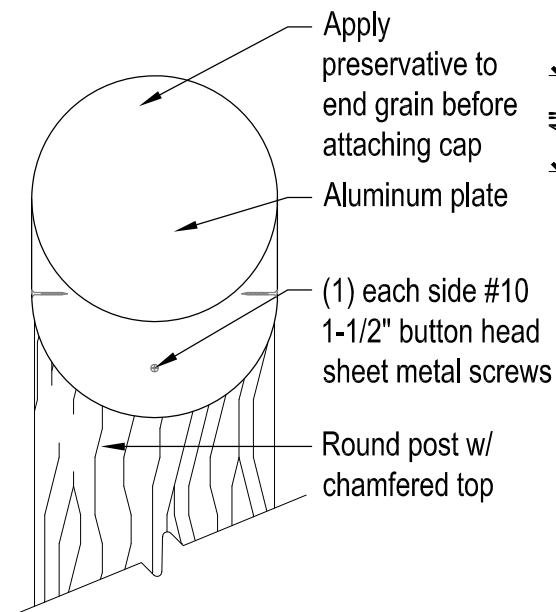
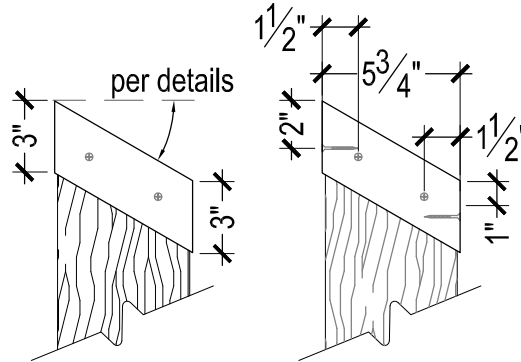
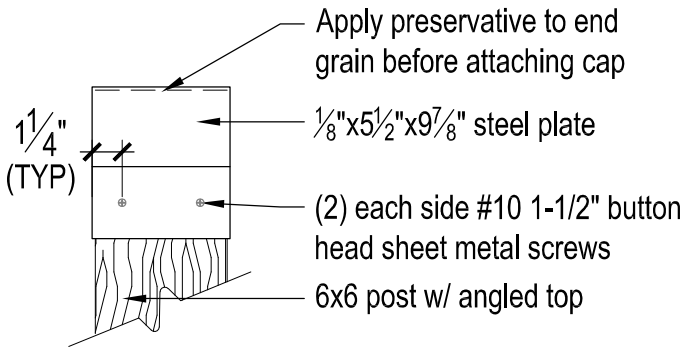
SIGN FOOTING DETAILING

Footing information to be provided based on structural review TBD

Scale: 3/4"=1'-0"

POST CAP DETAILING

Steel Cap Detail



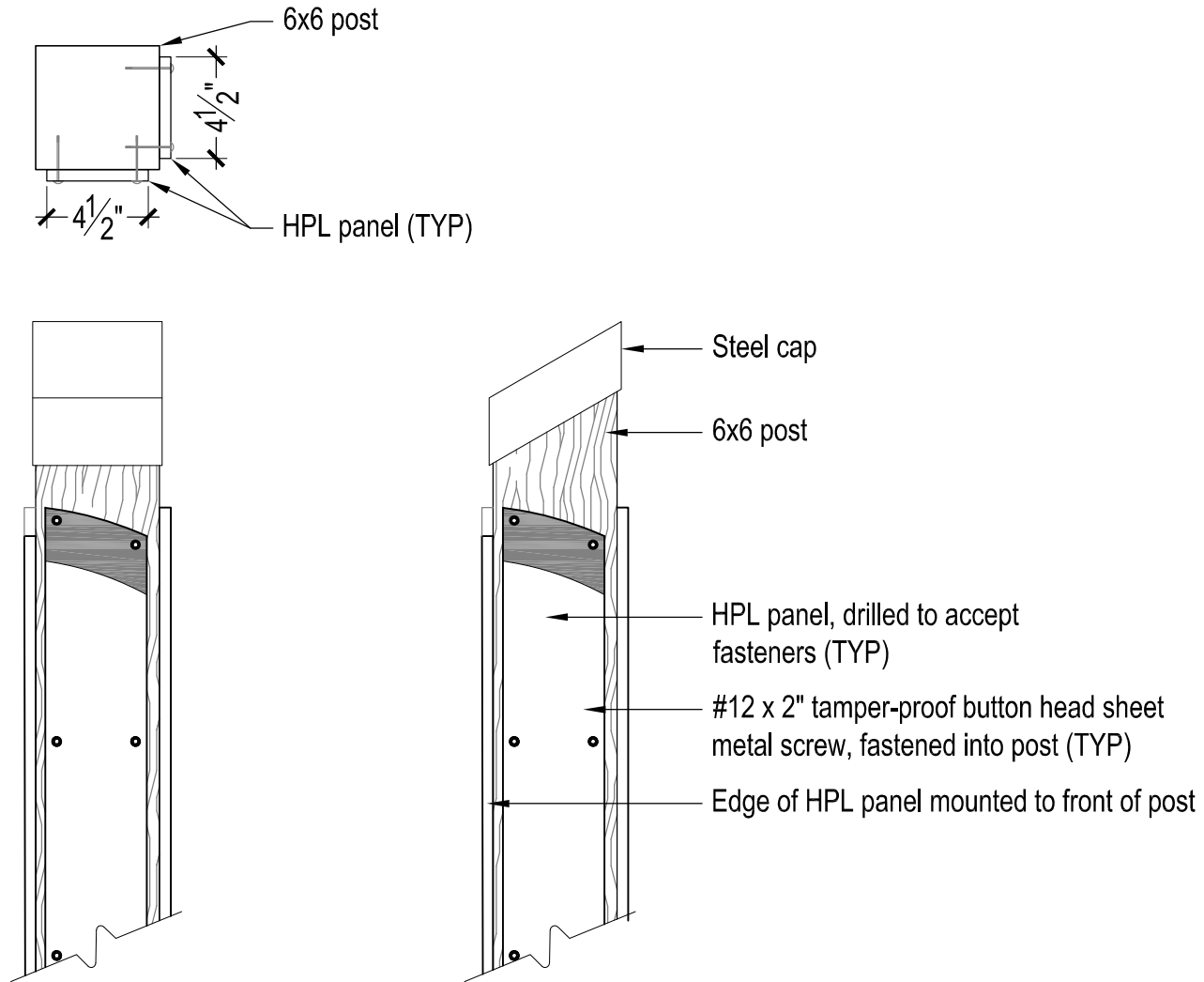
Scale: 1-1/2"=1'-0"

Notes:

- Steel cap dimensions are inside dimensions. Verify with post dimensions

HIGH PRESSURE LAMINATE TO POST DETAILING

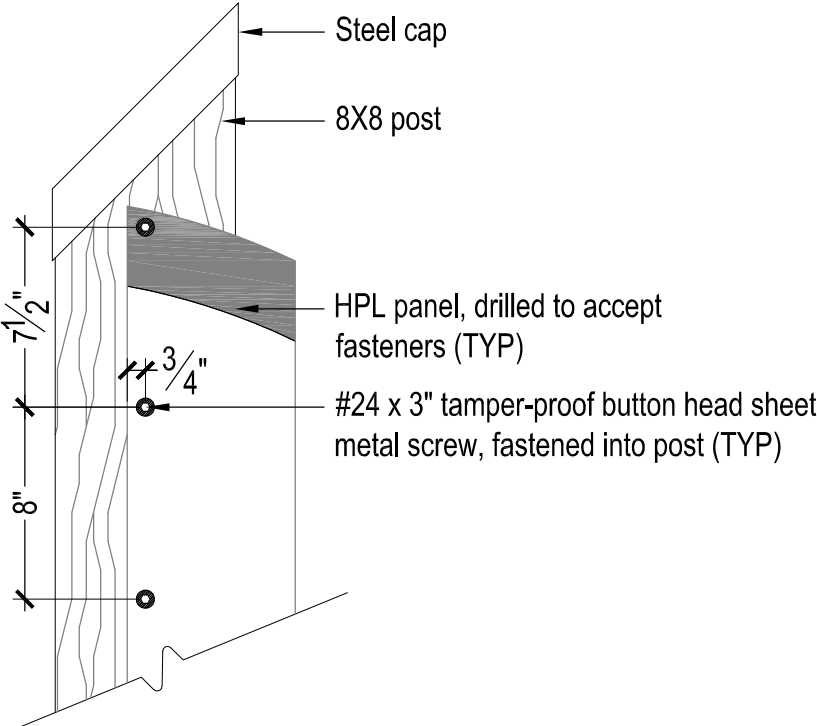
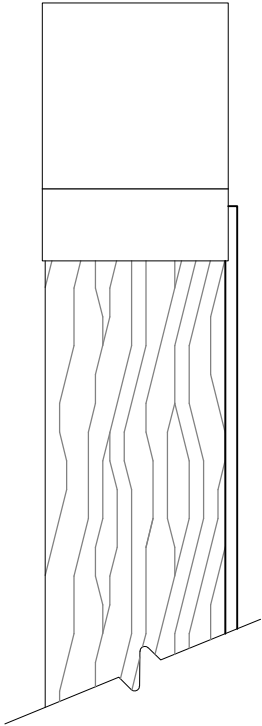
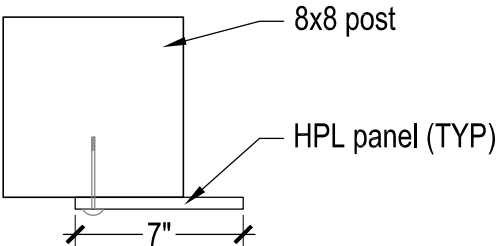
High-Pressure Laminate Sign to bollard Attachment



Scale: 1-1/2"=1'-0"

HIGH PRESSURE LAMINATE TO POST DETAILING

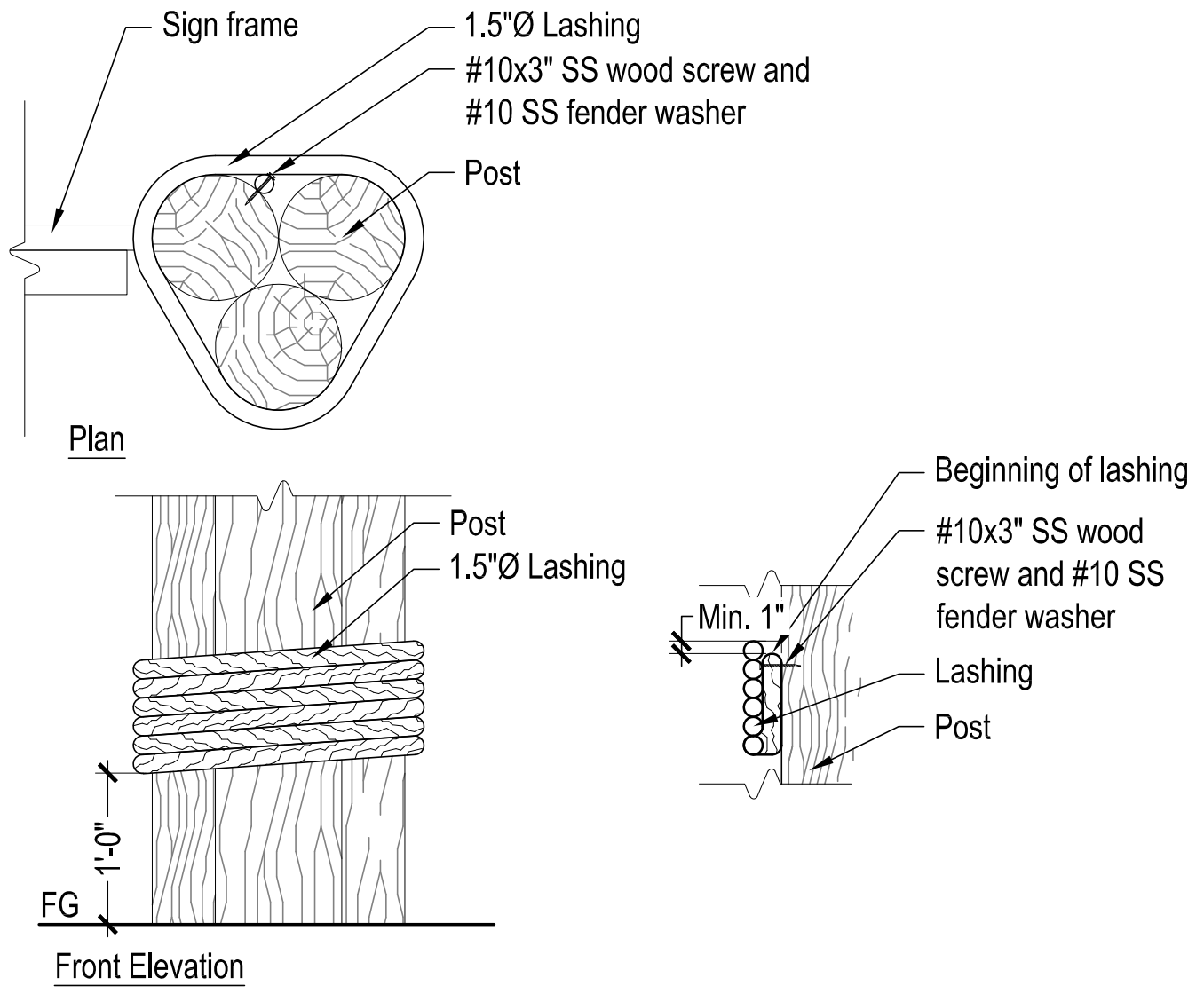
High-Pressure Laminate Sign to Post Attachment



Scale: 1-1/2"=1'-0"

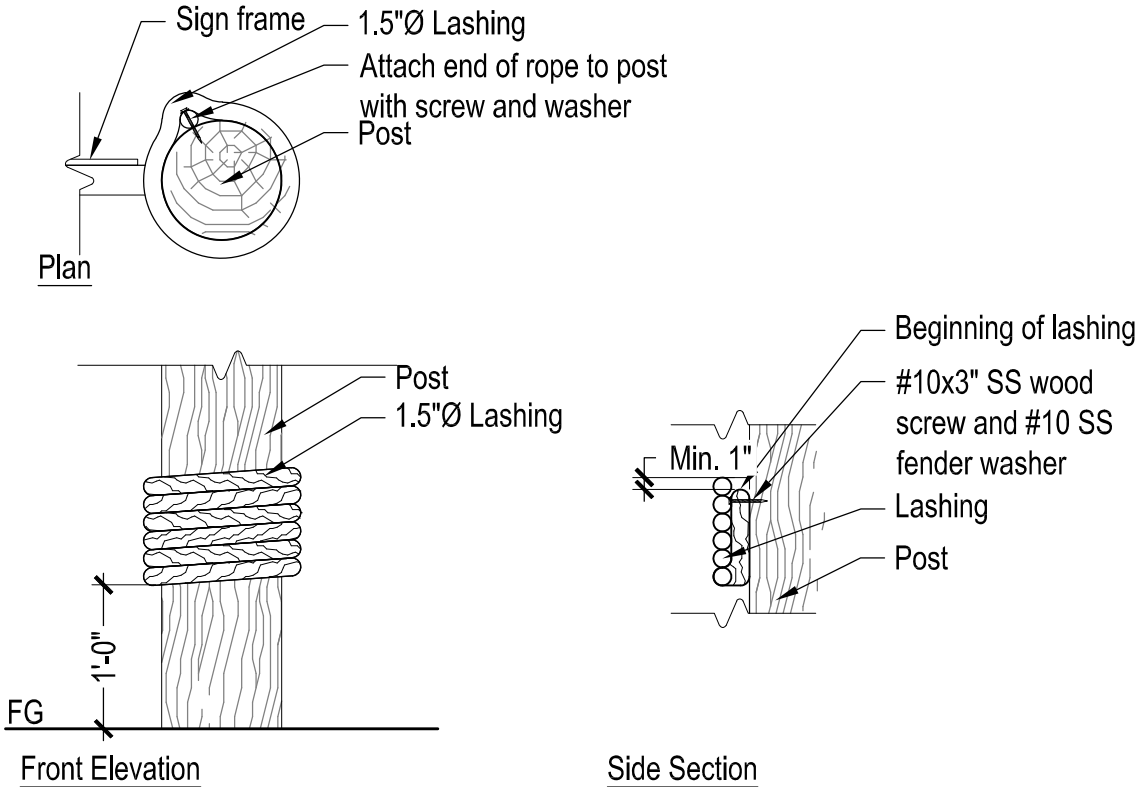
LASHING DETAILING

Lashing details



Scale: 1"=1'-0"

Lashing details



Scale: 1"=1'-0"

COST ESTIMATES (TBD)

DESTINATION - GATEWAY

Cost Estimate

Cost Estimate

ORIENTATION - HOMER & AREA

Cost Estimate

Cost Estimate

DIRECTION - BOLLARD

Cost Estimate

Cost Estimate

CITY OF HOMER

Streetscape Plan

December 2021 Draft



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DOCUMENT PURPOSE

INTRODUCTION

It is a City of Homer priority to improve City streetscapes. The role for the City of Homer is to implement streetscape improvements on their land, coordinate with the Alaska Department of Transportation and Public Facilities (ADOT&PF) for improvements within ADOT&PF road rights-of-way, and to encourage and enable private landowners adjacent to roads to contribute to streetscapes.

This Streetscape Plan provides an overview of what a successful streetscape contains, establishes design standards for improvements within City of Homer and ADOT&PF rights-of-way, and provides guidance for adjacent property owners as to how improvements on their properties can enhance the streetscape for the community.

Implementing streetscape improvements will improve pedestrian and vehicular experience for both Homer residents and visitors.

There is a specific focus on improving Pioneer Avenue. Existing decisions within this corridor hamper its development into a pedestrian-friendly streetscape, and as possible in the future, improvements should be made within the existing framework.

For future development, pedestrian scale lighting, sidewalk location and widths and integration with adjacent businesses should be considered.

The City of Homer Streetscape Plan includes the following components:

Streetscape Goals

This section provides an overview of what makes for a successful streetscape.

Furnishings

This section provides a suite of standard furnishings, including items like banners.

Planting

This section provides a simplified list of recommended trees, shrubs, and perennials to be used within streetscapes, and example designs to provide a place to start for implementation ideas.

Cost Estimates

The Cost Estimate section provides expected sign costs at the time of development of this document (December 2021). These costs are expected to change over time.

PURPOSE AND USE OF DOCUMENT

The intent of this document is to provide criteria specific to site furnishings, with recommendations for a suite of standard site furnishings that would be used for the City of Homer. The general criteria for this should be a balance of durability, cost, and aesthetics. Standardizing products helps to create continuity and simplify maintenance and procurement.

This document also provides basic information for the selection and use of vegetation within road corridors.

STREETSCAPE OVERVIEW

STREETSCAPE OVERVIEW

A Good Streetscape

A good streetscape provides: beauty and comfort, facilitates commerce, and contributes toward sustainability in many ways (including economic, ecological and maintenance). A streetscape can also contribute to a sense of place, and create a desirable place to use and experience.

Streetscape Factors for Current Conditions

Good streetscape design balances the pressures and variables that influence any given area. The factors provided below give a general overview, and are not intended to be detailed or exhaustive.

Visual Complexity

Provide a visually harmonious streetscape, with visual hierarchy to elements and a sense of order. This should be compatible with the potential wide variety of adjacent business and facility aesthetics. Streetscape elements (lighting, furniture, amenities) should be consistent and (typically) limited in variety.

Safety (Crime Prevention Through Environmental Design – CPTED)

Follow CPTED principles, with emphasis on allowing clear sightlines for active and passive surveillance. A clear area between 24” and 72” (min.) off the ground should be maintained, reducing the possibility for hiding.

Safety (Pedestrian Protection)

Provide implied or actual separation between vehicles and pedestrians in the form of continuous vertical separation (curbing/walls/bollards), implied separation (vertical objects such as light poles or trees), or horizontal distance.

Maintenance (Ongoing)

Provide sufficient clear sidewalk width for equipment movement without danger for potential damage to streetscape elements. All seasons must be considered.

Longevity (Materials & Installation)

Identify the desired life-span for project components, and determine materials and fabrication qualities that achieve those lifespans. Where components could be removed and reinstalled (such as benches), prioritize durability and high-quality.

Ensure that construction documents detail installations correctly to ensure longevity, maintain warranties, and ensure that streetscape installations operate as a ‘system’ where each part works well with others. Ensure that construction period administration and inspections verify (and enforce) the desired level of quality for components and installation.

Business Benefits (Usable Space)

Provide space for occasional or ongoing business-use in front of buildings. This contributes to an engaging/lively environment, and allows for flexibility (such as what we’ve discovered as a result of COVID 19 and social distancing).

Business Benefits (Ease Of Wayfinding)

Maintain or improve views from the street to buildings, businesses, or points of interest. Views and sightlines are critical to businesses success.

Landscaping

Street trees and planting beds are important for aesthetics and comfort within a streetscape. Regular placement of street trees can help to define and separate pedestrian and vehicular zones, and help to provide a human scale within a road corridor. Street trees should only be included if they can be provided with correct soil volumes and quantity (a healthy 10" caliper tree can require up to 700 cubic feet of soil) and be protected from chemical and physical damage. Plantings provide the same benefit for defining zones and creating comfort, and further enhance aesthetics.

Amenities (Bicycle Parking)

Provide convenient and quality bicycle parking.

Amenities (Seating)

Provide seating, with a significant proportion of seating having backs and armrests (critical for the elderly or people with physical limitations). Seating provides places for people to rest, relax and socialize.

Amenities (Artwork/Interpretation)

Prioritize aesthetic and educational opportunities within the streetscape to increase it's attractiveness, interest, and function as a desired destination.

Streetscape Factors for Future Conditions

Pedestrians (Ease Of Movement)

Provide sidewalk open widths relative to expected pedestrian use. In order to minimize potential competition for this space, additional space should be provided at the front and back of the sidewalk to accommodate business and public uses that might otherwise intrude on pedestrian movement.

Design with universal access in mind. Americans with Disability Act access guidelines establish minimum requirements and recommendations, and should be exceeded wherever possible to achieve barrier free design if not universal design.

Pedestrians (Ease Of Access From Vehicles)

If conditions allow on-street parking, allow for movement between vehicles and sidewalks. Provide sufficient clear sidewalk area next to vehicles to allow door swing, access in and out of vehicles, and access to the main sidewalk area.

Lighting

Provide for minimum lighting levels for safety, and provide a lighting design that contributes to a vibrant and attractive streetscape. For Homer, this should have a focus on winter lighting. Provide convenient electric outlets for seasonal lighting (pole and ground mounted). In the future, pedestrian-scale light poles should be considered for their benefit in creating a pedestrian scale. These are typically designed to be approximately 40 to 50 feet apart.

Maintenance (Lighting, Utilities)

As streetscapes are improved, ensure that conduit, junction boxes, and other infrastructure is in place to allow maintenance, flexible use, and utility growth/changes without significant construction impacts. Choose streetscape elements that can be maintained easily.

FURNISHINGS

BENCHES

Benches should have backs and arms and an ergonomic design that provides good support and facilitates ease of sitting down and getting up. This is important to provide comfortable accessible seating, use by the elderly, and use by people with physical limitations. Benches should be durable and easily maintained. The City of Homer should standardize on one bench type in order to have consistent aesthetics, and simplify maintenance. A model with free-standing, surface-mounted, or embedded attachment options allows flexibility in use. There will be locations or situations where a custom bench or a unique model may be appropriate. These should prioritize bench criteria as stated above.

Existing Examples of Custom Benches



Custom Bench - City of Homer Land



Custom Bench - City of Homer Land



Custom Bench - Private Land

Criteria Summary:

- Accessibility (backs and arms, ergonomic)
- Comfort (wood or composite slats)
- Durability (no or low maintenance)
- Design (consistent/subtle, or unique in special locations)
- Attachment (free-standing or surface-mount)



Landscape Forms - Neliviano Bench



Victor Stanley - C-138

Picnic tables should provide a comfortable sitting and table height, and be of a design to integrate a wheelchair user at the table. Picnic tables should be durable and easily maintained. The City of Homer should standardize on one picnic table type in order to have consistent aesthetics, and simplify maintenance. A model with free-standing or surface-mounted options allows flexibility in use. When not permanently attached, picnic tables should include a method to anchor them in place.

Existing Picnic Table



Picnic Table - City of Homer Land



Picnic Table - City of Homer Land

Criteria Summary:

- Accessibility (wheelchair access and mobility-friendly)
- Comfort (wood or composite seating)
- Durability (no or low maintenance)
- Design (consistent/subtle)
- Attachment (free-standing with anchoring method or surface-mount)



7' long concrete ADA picnic table



Heavy duty aluminum picnic table



BICYCLE RACKS

Bike racks should have provide two points of contact with bicycles for stability. The City of Homer should standardize on one bike rack type in order to have consistent aesthetics, and simplify maintenance. A model with surface-mounted or embedded attachment options allows flexibility in use. There will be locations or situations where a custom bike rack or a unique model may be appropriate. These should prioritize bench criteria as stated above.

Existing Examples of Custom Bike Racks



Custom Bench - City of Homer Land

Criteria Summary:

- Durability (no or low maintenance)
- Design (consistent/subtle, or unique in special locations)
- Attachment (surface-mount or embedded)
- Special Criteria (two points of bike contact, branding)



Dero - Round Rack

Litter Receptacles should only be used in locations where they will be regularly maintained. The City of Homer should standardize on one or two litter receptacle types in order to have consistent aesthetics, and simplify maintenance. A model with free-standing or surface-mounted options allows flexibility in use. Where appropriate, 55-gallon drums that have been painted should continue to be used. Where a different aesthetic is desired, a standardized manufacture litter receptacle should be used. For locations where the presence of bears is expected, a bear-proof model should be used.

Existing Litter Receptacles



Litter Receptacles - City of Homer Land



Litter Receptacle - City of Homer Land

Criteria Summary:

- Durability (no or low maintenance)
- Design (consistent/subtle)
- Attachment (free-standing or surface-mount)



Landscape Forms - FGP Litter



Bear Saver - Bear Proof Litter Receptacle

BANNERS

With the consistent use of light poles within road corridors, banners are an opportunity for bold community branding and the ability to change banners based on events, seasons, or other reasons. Banners that are expected to be hung for long periods of time should be wind-resistant, color-fast, UV stable and otherwise compatible with Homer's climate.

Existing Examples of Banners



Existing Banner - City of Homer Land



Existing Banner - City of Homer Land

Criteria Summary:

- Durability (no or low maintenance)
- Design (based on purpose)
- Attachment (banner arms)
- Special Criteria (UV stable, weather and wind resistant)



PLANTING

PLANTING DESIGN CONCEPTS

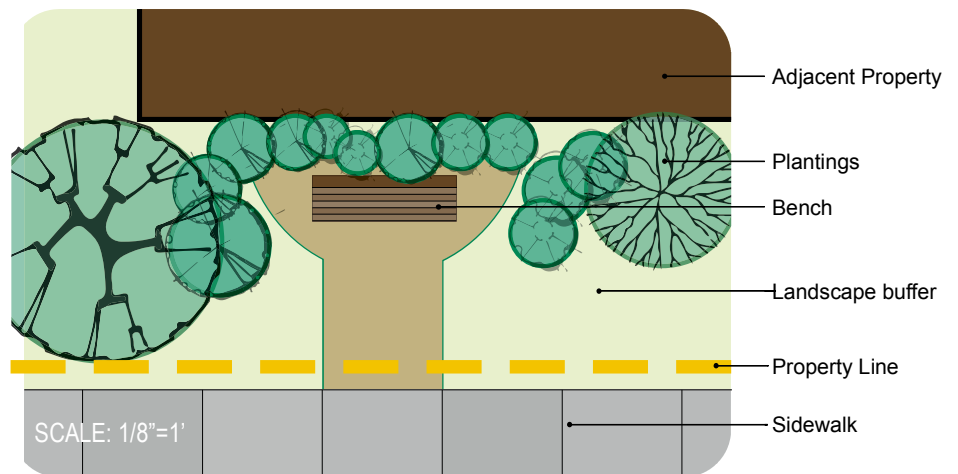
Streetscape Seating

Areas of seating should be provided within or adjacent to street rights-of-way. These should be spaced a convenient distance to allow resting, or to take advantage of the benefits of a particular location. Ideally, these locations should be separated by some distance from the street to provide a calmer space, be aesthetically landscaped with plantings and improvements such as landscape rock or artwork, and take advantage of elements that help to create a pedestrian scale and feeling of refuge. The latter could include adjacent planters, light poles, and walls of a reasonable height.

Due to limited rights-of-way widths, collaboration with adjacent land owners will provide great benefit to the streetscape. Where possible, attractive seating areas on adjacent land will help to create more comfortable refuges from busy roadways. These should be designed to ensure that they are well and obviously connected to sidewalks, and are clearly to be used by the public. If opportunities for separation aren't available, there may be locations where a bench should be provided even though it is adjacent to traffic.



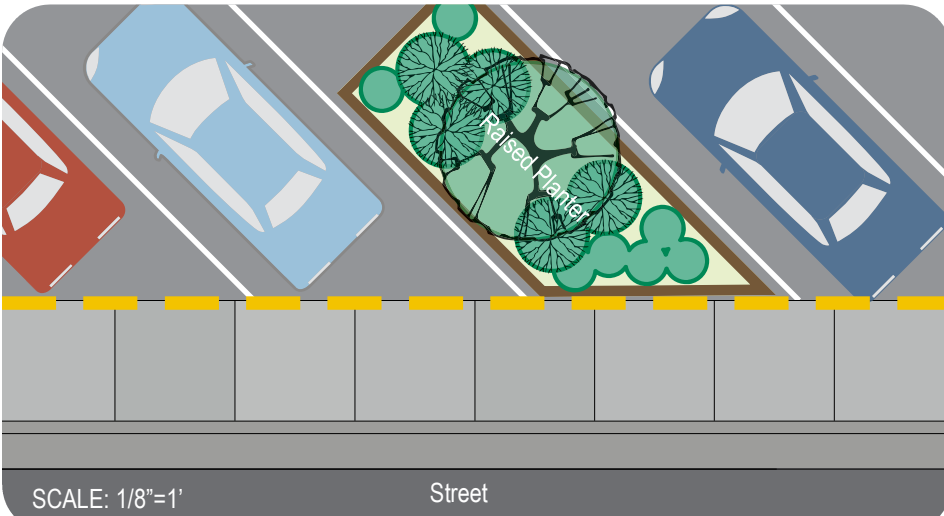
Preferred: Landscape buffer separating sidewalk from back of curb



Preferred: Distance from road is optimized, and still feels public



Least Preferred: Sidewalk adjacent to back of curb



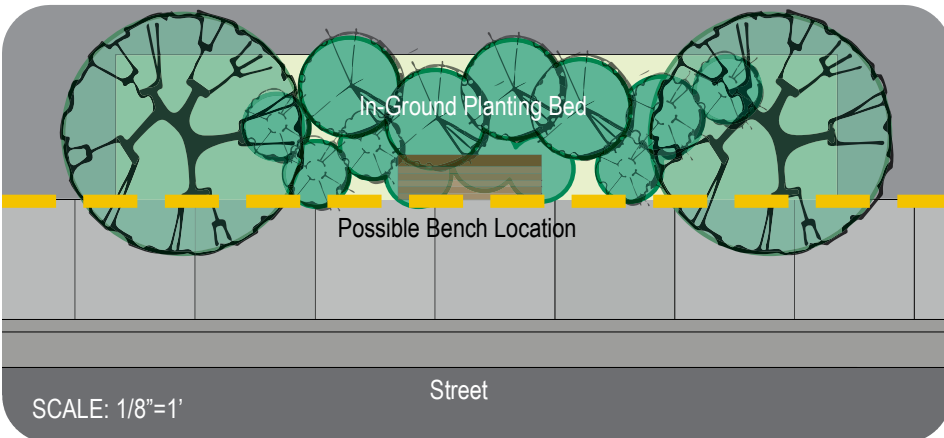
Raised planter for locations where existing conditions require parking extends to the property line

Streetscape Beautification

Due to limited rights-of-way widths, collaborating with adjacent property owners will be necessary to achieve streetscape goals.



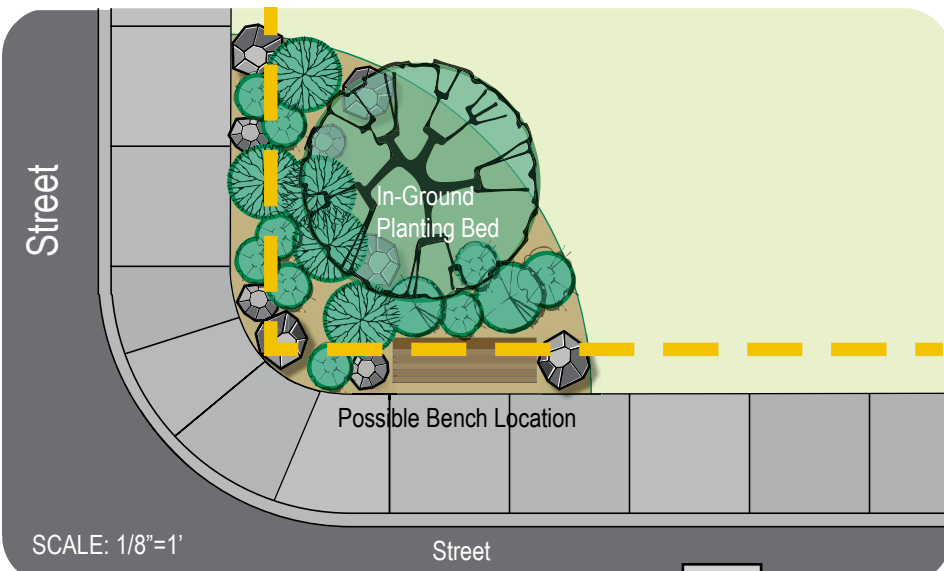
Existing example



In-ground (or raised) planting beds along a property edge where existing conditions allow this use.



Existing examples



In-ground (or raised) planting beds at property corners where existing conditions allow this use.



Existing example

PLANT SPECIES

Below is a list of plant species that are climate appropriate.

****this needs to be edited down to simplify it and ensure it's only showing the most robust species****

Evergreen Trees

Abies lasiocarpa	Subalpine Fir 'Arizonica'
Abies siberica	Siberian Fir
Picea glauca	White Spruce
Picea pungens	Colorado Green Spruce
Pinus cembra	Swiss Stone Pine
Pinus contorta ssp. latifolia	Lodgepole Pine
Pinus flexilis	Limber Pine
Pinus sylvestris	Scotch Pine
Tsuga mertensiana	Mountain Hemlock

Deciduous Trees

Amur Maple	Helena Maple
Acer platanoides 'Helena'	Paper Birch
Betula papyrifera	Cutleaf Weeping Birch
Betula papyrifera 'Gracilis'	Parkland Pillar Birch
Betula platyphylla 'Jefpark'	Siberian Larch
Larix sibirica	'X' Crabapple
Malus 'X' Malus baccata	Siberian Crabapple
Populus tremula 'Erecta'	Columnar Swedish Aspen
Populus tremuloides	Quaking Aspen
Prunus maackii	Amur chokecherry
Sorbus aucuparia	European Mountain Ash

Shrubs

<i>Amelanchier alnifolia</i> 'Regent'	Glossy Serviceberry
<i>Aronia melanocarpa</i>	Black Chokeberry
<i>Cornus sericea</i> 'Baileyi'	Red-twig Dogwood
<i>Cornus alba</i> 'Ivory Halo'	'Ivory Halo' Dogwood
<i>Cotoneaster lucidus</i>	Hedge Cotoneaster
<i>Forsythia ovata</i>	Early Forsythia
<i>Juniperus horizontalis</i>	Creeping Juniper
<i>Juniperus sabina</i>	Savin Juniper
<i>Lonicera tatarica</i> 'Arnold Red'	Arnold Red Honeysuckle
<i>Philadelphus lewissii</i>	Mock Orange
<i>Physocarpus opulifolius</i> 'Dart's Gold'	Dart's Gold Ninebark
<i>Physocarpus opulifolius</i> 'Diablo'	Common Ninebark
<i>Picea abies</i> 'Nidiformis'	Bird's Nest Spruce
<i>Pinus mugo</i> 'Pumilio'	Dwarf Mugo Pine
<i>Potentilla fruticose</i>	Bush Cinquefoil
<i>Potentilla fruticosa</i> 'Abbottswood'	Abbottswood Potentilla
<i>Prunus triloba</i>	Rose Tree Of China
<i>Prunus x cisterna</i>	Purple Leaf Sandcherry
<i>Ribes alpinum</i>	Alpine Currant
<i>Ribes lacustre</i>	Bristly Black Currant
<i>Rosa acicularis</i>	Prickly Rose
<i>Rosa rubrifolia</i>	Red Leafed Rose
<i>Rosa rugosa</i>	Rugosa Rose
<i>Rubus odoratus</i>	Flowering Raspberry
<i>Sorbaria sorbifolia</i>	False Spirea
<i>Spiraea x bumalda</i>	Bumald Spirea
<i>Spiraea x vanhouette</i>	Vanhoutte Spirea
<i>Syringa patula</i> 'Miss Kim'	Miss Kim Lilac
<i>Syringa x prestoniae</i>	'x' Lilac
<i>Syringa villosa</i>	Late Lilac
<i>Syringa vulgaris</i>	Common Purple Or Common White Lilac
<i>Viburnum edule</i>	Highbush Cranberry
<i>Viburnum trilobum</i>	American Highbush Cranberry

Plant Species - Cont'd

Perennials

<i>Achillea millefolium</i> 'X'	Yarrow
<i>Alchemilla mollis</i>	Lady's Mantle
<i>Artemisia schmidtiana</i>	Silver King
<i>Artemisia stelleriana</i> 'Silver Brocade'	Sage Wormwood
<i>Aruncus dioicus</i>	Goatsbeard
<i>Astilbe chinensis</i> 'Pumila'	Dwarf Astilbe
<i>Astilbe</i> 'Deutschland'	False Spirea 'Deutschland'
<i>Astilbe</i> 'Fanal'	False Spirea 'Fanal'
<i>Bergenia cordifolia</i> 'Morning Red'	Elephant Ears 'Morning Red'
<i>Cornus canadensis</i>	Bunchberry
<i>Geranium cinereum</i>	Grey-leaf Cranesbill
<i>Geranium erianthum</i>	Wild Geranium
<i>Hemerocallis</i> ssp. 'Happy Returns'	Happy Returns Daylily
<i>Hemerocallis</i> 'Hyperion'	Daylily 'Hyperion'
<i>Hemerocallis</i> 'Stella de Oro'	Daylily 'Stella de Oro'
<i>Hosta</i> 'August Moon'	<i>Hosta</i> 'Gold Standard'
<i>Hosta</i> 'Gold Standard'	Wild Iris
<i>Iris setosa</i>	Narrow Spiked Rayflower 'The Rocket'
<i>Ligularia stenocephala</i> 'The Rocket'	Big Leaf Rayflower 'Othello'
<i>Ligularia dentata</i> 'Othello'	Catmint
<i>Nepeta mussinii</i>	Auricula Primrose
<i>Primula auricula</i> Garden Variety	Ornamental Rhubarb
<i>Rheum palmatum</i> var. <i>tanguticum</i>	Rhubarb
<i>Rheum Salvia nemorosa</i> 'East Friesland'	Salvia

Perennials - Grasses

<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass
<i>Calamagrostis x acutiflora</i> 'Overdam'	Variiegated Reed Grass
<i>Deschampsia flexuosa</i> 'Aurea'	Gold Crinkled Hair Grass
<i>Helictotrichon sempervirens</i>	Blue Oat Grass
<i>Phalaris arundinacea picta</i> 'Feeseey'	Variiegated Ribbon Grass
<i>Schizachyrium scoparium</i> 'The Blues'	Little Bluestem Grass
<i>Festuca glauca</i> 'Elijah Blue'	Elijah Blue Fescue

Perennials - Groundcover

Aegepodium podagraria 'Variegatum'	Bishop's Weed
Convallaria majalis	Lily of the valley
Fragaria	Strawberries
Galium odoratum	Sweet Woodruff

Perennials - Ferns

Athyrium felix-femina	Lady Fern
Dryopteris erythrosora	Wood Fern
Matteuccia struthiopteris	Ostrich Fern

Perennials - Vines

Actinidia kilomikta	Variegated Kiwi Vine
Humulus sp.	Hops
Ranunculaceae sp.	Clematis



City of Homer

www.cityofhomer-ak.gov

Planning

491 East Pioneer Avenue
Homer, Alaska 99603

Planning@ci.homer.ak.us

(p) 907-235-3106

(f) 907-235-3118

TO: Economic Development and Port and Harbor Advisory Commissions
FROM: Julie Engebretsen, Deputy City Planner & Special Projects Coordinator
DATE: December 1, 2021
SUBJECT: 2022 Draft Land Allocation Plan

Requested Action:

1. Review lands currently available for long term lease (Section A). Are there any recommended changes?
2. Review and consider changing the designation for Lot 20, on page C-6. The lot is currently reserved for a future travel lift, per Resolution 12-032.
3. Designate Tracts A and B, Barnett South Slope Subdivision Quiet Creek Park Unit 3, as parkland

Background

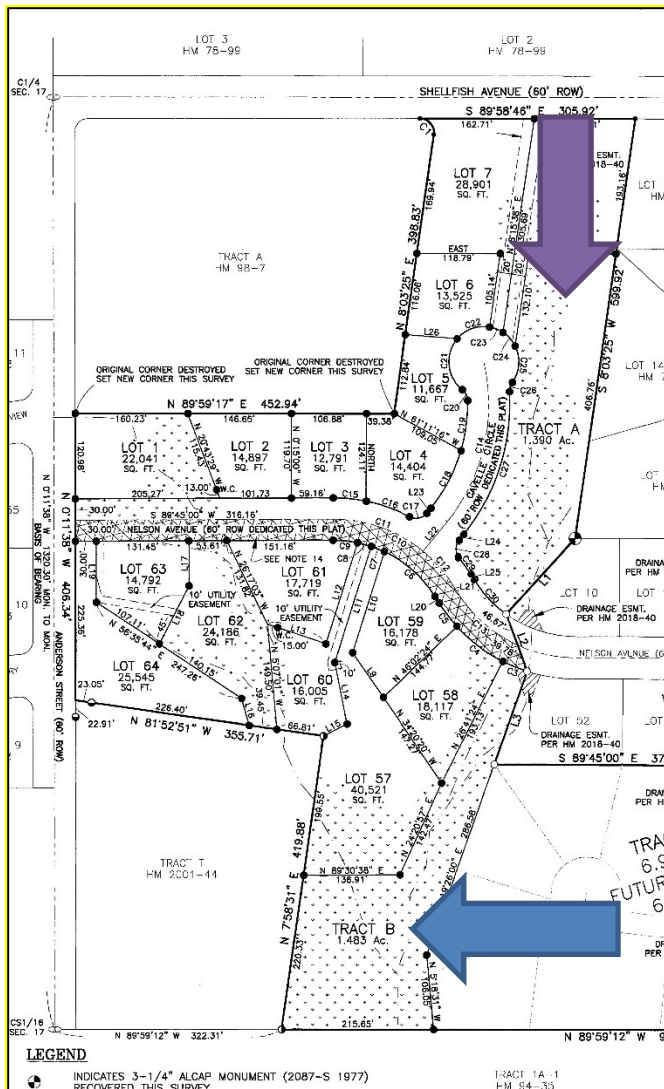
Homer City Code Title 18.08 regulates city property leases. Each year, the City Council reviews and passes a resolution on which lands should be available for lease. Council will have a work session with the Port and Harbor and Economic Development Advisory Commissions, tentatively in January, to discuss any changes.

Most City leasing occurs on the Spit and at the airport terminal. The Port and Harbor Commission usually provides the most detailed comments about the Spit, as they typically are most familiar with area operations and long-term leases. The Port and Harbor and Economic Development Commissions provide comments by memorandum to the Council. The kinds of comments that code solicits include: which parcels should be available for lease, the lease rate, preferred length of the lease term, and any requirements, preferences or restrictions regarding use and or development.

1. Properties for Lease: Staff has no recommendations for changes

2. Lot 20, Homer Spit Road. Staff recommends removing reference to the travel lift, and retaining the land for Port purposes. Upon discussion with the Harbormaster, it would require a significant retrofit to the current boat basin to incorporate a travel lift. It may be something to include in the port expansion. For now, staff recommends removing reference to Lot 20 and designating it for port purposes.

3. Tracts A and B, “Quiet Creek” Subdivision. These were deeded to the city as part of the subdivision process. Recommend to retain these as park land, as intended by the grantor.



Tract A, has some flat area, but mostly low/wet/creek area

Tract B, connects from the High School, up the creek area, to Nelson Ave

Requested Actions:

1. Recommend any changes to lands available for long term lease.
2. Review and consider changing the designation for Lot 20, on page C-6. The lot is currently reserved for a future travel lift, per Resolution 12-032.
3. Designate Tracts A and B, Barnett South Slope Subdivision Quiet Creek Park Unit 3, as parkland

Attachments:

1. HCC 18.08.020
2. 2022 Draft Land Allocation Plan
3. Map, City lands on the Homer Spit

18.08.020 Land allocation plan – Property available for lease.

- a. Unless dedicated or reserved to another purpose, all real property including tide, submerged or shore lands to which the City has a right, title and interest as owner or lessee, or to which the City may become entitled, may be leased as provided in this chapter. In the case of any conflict between this chapter and any local, State or Federal law governing the leasing of City tide and submerged lands, the law governing the leasing of City tide and submerged lands shall prevail.
- b. The City administration shall maintain a list of all City-owned properties authorized for lease by Council. This list shall be adopted annually and contain the information required under this chapter. The list may be called the land allocation plan and will be made available to the public at the City Clerk's office.
- c. Council shall adopt a land allocation plan that identifies:
1. City-owned property available for lease;
 2. The property description, lease rate, preferred length of the lease term for each available parcel; and
 3. Any requirements, preferences or restrictions regarding use and/or development.
- d. Council may identify property in the land allocation plan that is subject to competitive bidding. Property subject to competitive bidding in the land allocation plan need only identify the property description in the land allocation plan but all other terms required in subsection (c) of this section shall be identified in the request for proposal for such properties.
- e. Prior to the adoption of the land allocation plan, Council shall hold a work session. Commission members and City staff may provide recommendations to Council during the work session regarding City-owned property available for lease and the terms of such leases.
- f. The City shall provide public notice of the adoption of the land allocation plan and the City-owned real property available for lease no more than 60 days after its adoption.
- g. All uses and activities on City-owned real property available for lease are subject to all applicable local, State, and Federal laws and regulations.
- h. The Council may restrict specific City-owned properties to certain uses or classes of use that serve the City's best interest. [Ord. [18-16\(S\)\(A\)](#) § 1, 2018].

2022 Land Allocation Plan
City of Homer
DRAFT

Adopted by Resolution 22-XX



Homer Public Works

Table of Contents

Sections

- A. Lands Available For Lease**
- B. Leased Lands**
- C. Port Facilities**
- D. City Facilities and other city lands**
- E. Parks, Green space, cemeteries**
- F. Bridge Creek Lands**
- G. Conservation Easement Lands**

Index—City lands listed by parcel number
Appendix - Homer Harbor Map

Statement of Purpose:

Homer City Code Title 18 regulates municipal property management. Per HCC 18.08.020, the Council annually adopts a land allocation plan that identifies which properties are available for lease, the rate and referred lease terms, and any particular requirements or preferences. Once the plan is adopted by resolution, the City provides public notice of available real estate.

Note: Any lands not included in this document are listed in the previous version of the Land Allocation Plan, and their designations carry forward to this plan.

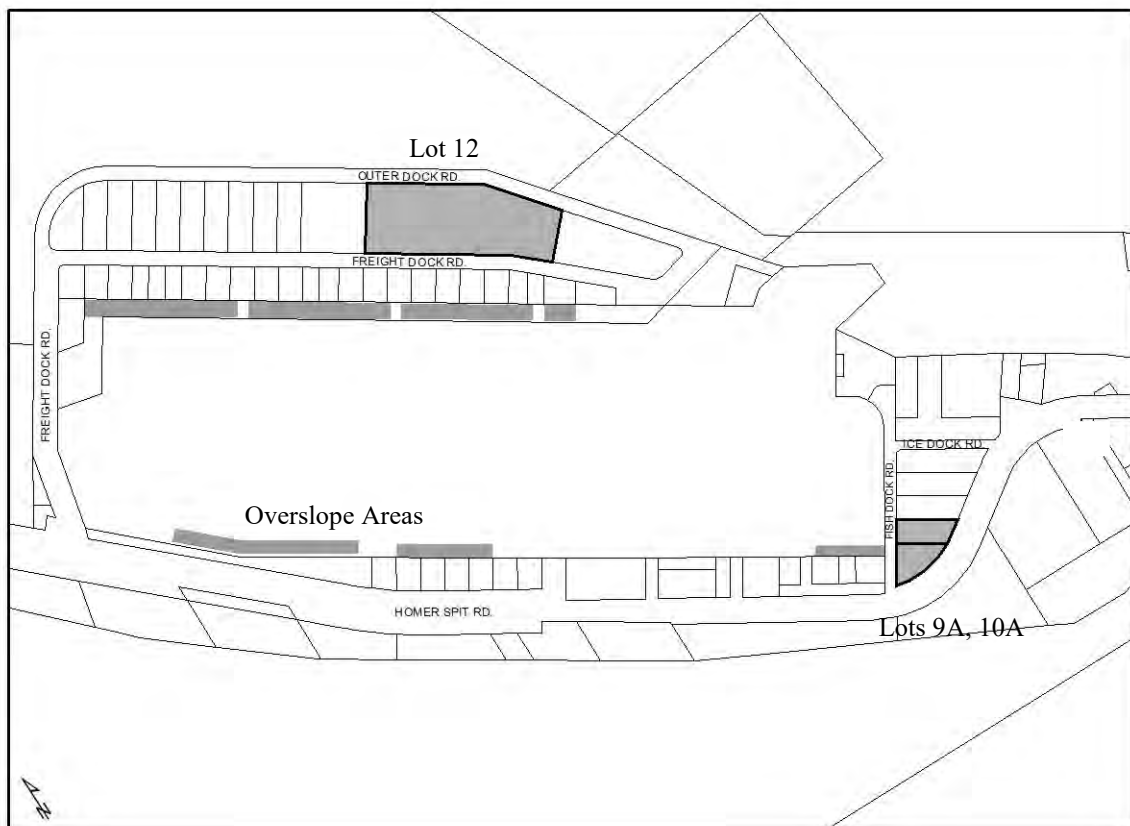
Section A

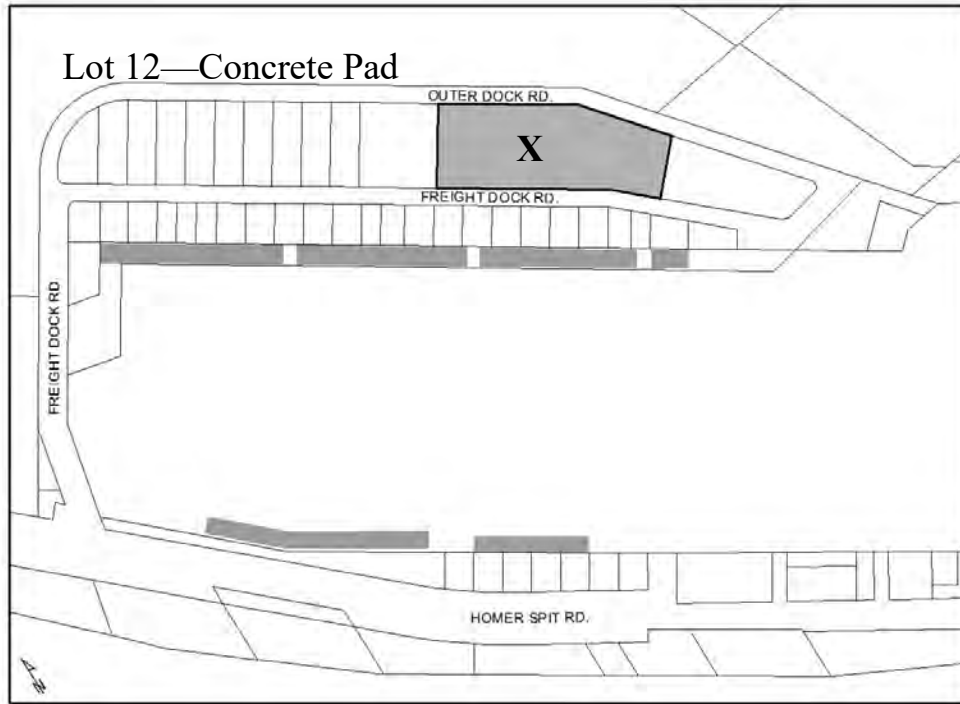
Lands available for lease

The following lots, and select areas within the Homer Airport are available for lease in 2020. Lease procedures follow the City of Homer City Code, Title 18.

The Port and Harbor Office provides information on long term leasing on the Homer Spit. The Harbor also manages short term leases and license agreements, such as vending machines, bike rentals and itinerant merchants. For more information, contact 907-235-3160.

The City Manager's Office handles airport terminal leasing. For more information, contact 907-235-8121 ext 2222.





Designated Use: Lease
Acquisition History:

Area: 5 acres

Parcel Number: 18103220

2019 Assessed Value: \$841,600 (Land: \$495,600, Structure/Improvements: \$346,000)

Legal Description: Homer Spit Subdivision no 5 Lot 12

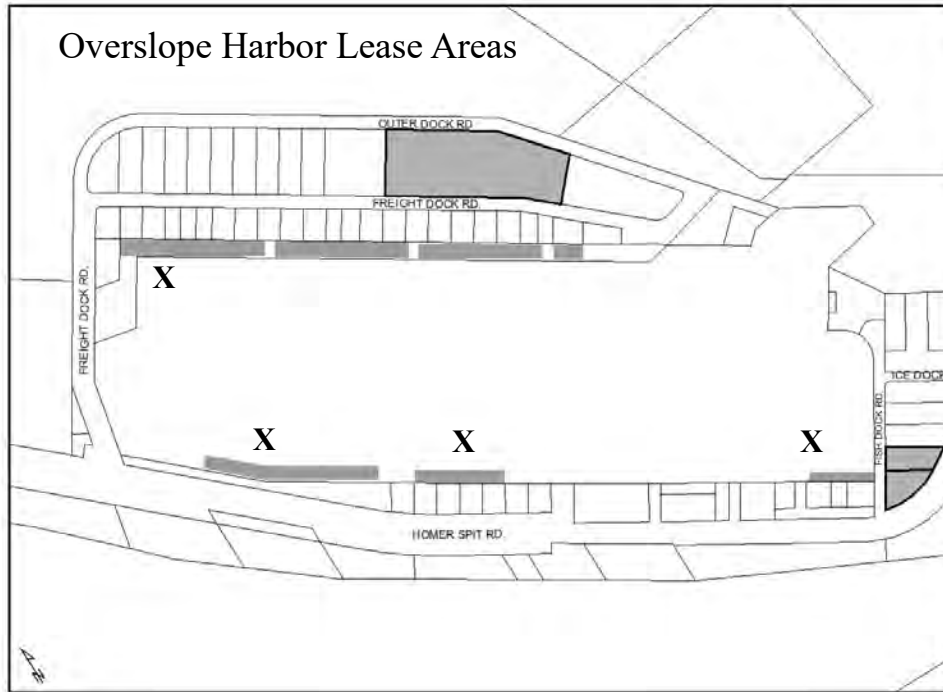
Zoning: Marine Industrial

Infrastructure: Water, sewer, paved road access, fenced, security lighting

Address: 4380 Homer Spit Road

Notes: 1 acre portion under lease per Resolution 18-084 to Alaska Scrap and Recycling, 5 year lease

Prior to a long-term lease the site is appraised. The appraised lease rates for up-lands is approximately \$0.90 per square foot, per annum. Lease rates vary; contact the Harbor Office at 907-235-3160.



Designated Use: Lease
Resolution 17-33

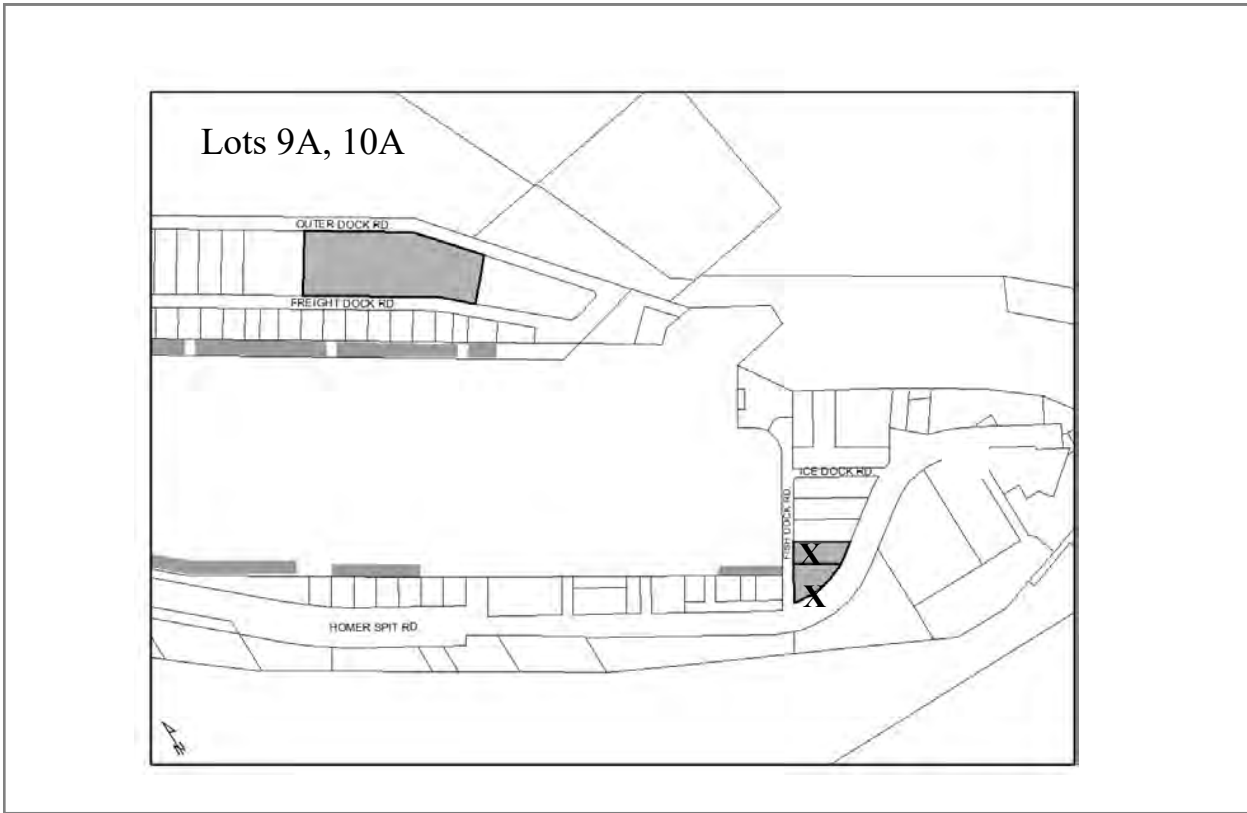
Area:	Parcel Number:
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Legal Description:

Zoning: Marine Commercial and Small Boat Harbor Overlay	
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Infrastructure:	Address:
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Prior to a long-term lease the site is appraised. The appraised lease rates for uplands is approximately \$0.90 per square foot, per annum. Lease rates vary; contact the Harbor Office at 907-235-3160.



Designated Use: Lease Lands	
Acquisition History:	
Area: 1.05 acres (0.52 and 0.53 acres)	Parcel Number: 18103477, 78
2019 Assessed Value: Land value \$325,700	
Legal Description: T 7S R 13W SEC 1 SEWARD MERIDIAN HM 2007136 HOMER SPIT REPLAT 2006 LOT 9-A and 10A	
Zoning: Marine Industrial	
Infrastructure: Water, sewer, gas, Spit Trail, paved road access	Address:
<p>Prior to a long-term lease the site is appraised. The appraised lease rates for uplands is approximately \$0.90 per square foot, per annum. Lease rates vary; contact the Harbor Office at 907-235-3160.</p>	
Finance Dept. Code:	

Homer Airport Terminal



Designated Use: Airport
Acquisition History:

Available for lease

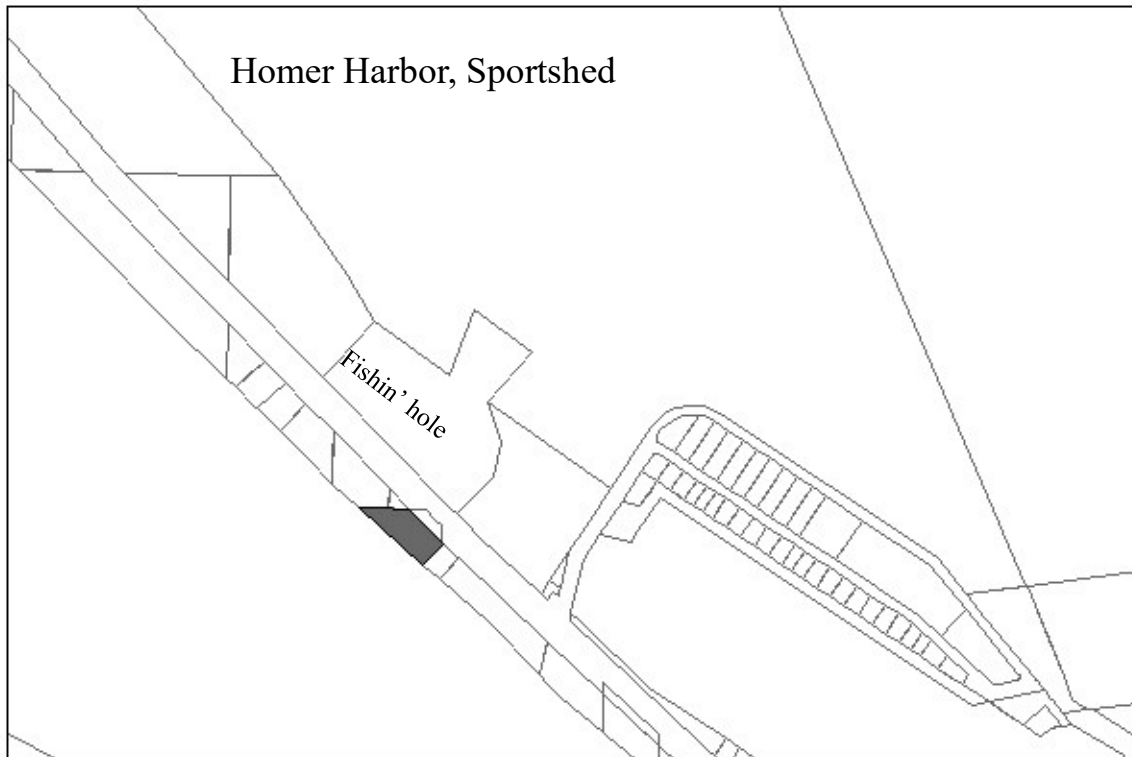
- Concession area across from baggage claim, 110 square feet, \$2/psf plus concession fees plus taxes.
- Ticket Counter, office and baggage enplanement area, 700 sq ft for \$2,600 per month plus taxes.
- One cargo area at the west end of the airport, 768 sq ft \$2,850 per month plus taxes.

Contact the City Manager's office at 907-235-8121 ext. 2222 for more information

Finance Dept. Code:

Section B Leased Lands

These lands are under lease. Leases are based on a current market appraisal provided by a professional appraiser. Individual lease files contain information on rents and formal agreements.



Designated Use: Leased Land
Acquisition History:

Area: 1.6 acres

Parcel Number: 18103105, LH01

Legal Description: HM0890034 T06S R13W S35 HOMER SPIT SUB AMENDED LOT 5

Zoning: Marine Commercial

Wetlands: None

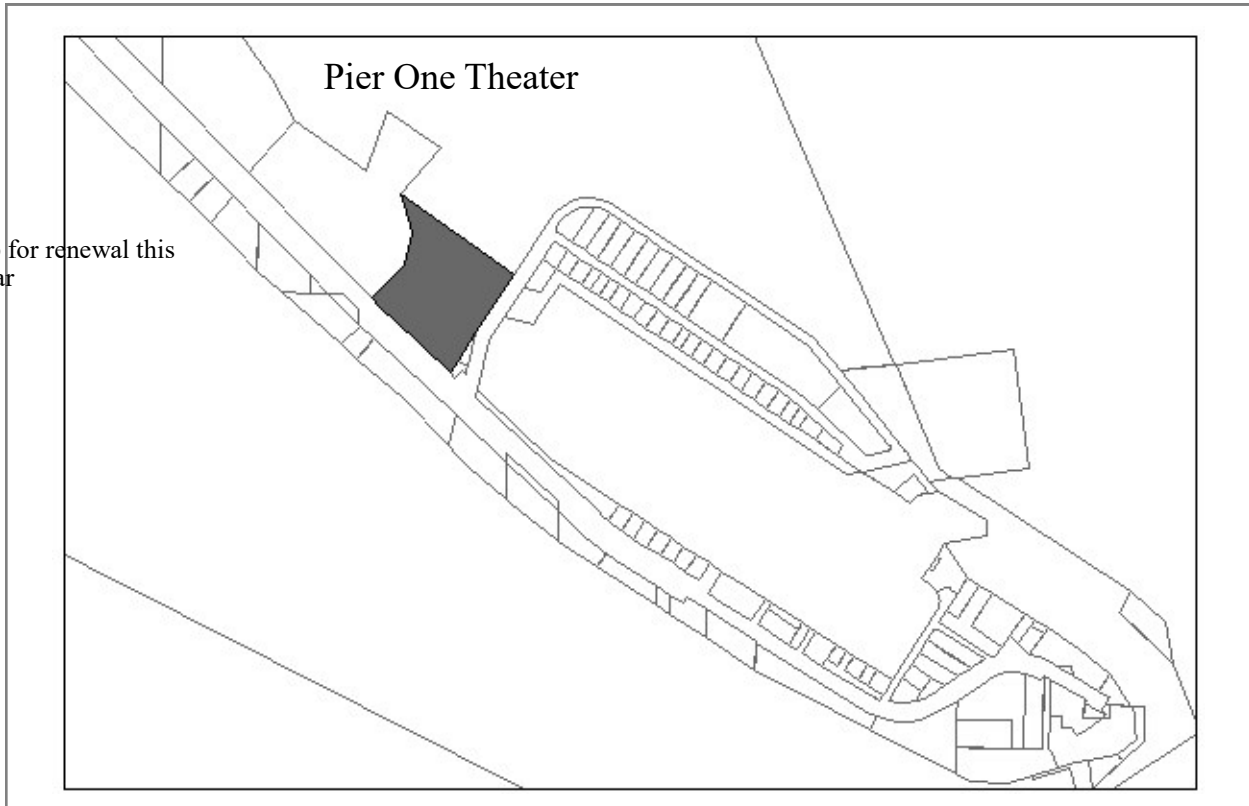
Infrastructure: Paved road, water and sewer.

Address: 3815 Homer Spit Road

Lease: Resolution 20-081, leased to Homer Enterprises LLC for the remaining term of 18 years 4 months with two 5 year options.

Storm damage, fall 2014, resulted in partial collapse and removal of part of one building.
 2019-2020, continued erosion and parking lot damage

Finance Dept. Code:



Designated Use: Fishing Lagoon
Acquisition History: Ordinance 83-26. Purchase from World Seafood.

Area: 11.27 acres	Parcel Number: 18103117
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Legal Description: HM0940043 T06S R13W S35 TRACT 1-A THE FISHIN HOLE SUB NO 2

Zoning: Marine Industrial	Wetlands: N/A
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Infrastructure: Water, sewer, paved road access	Address: 3854 Homer Spit Road
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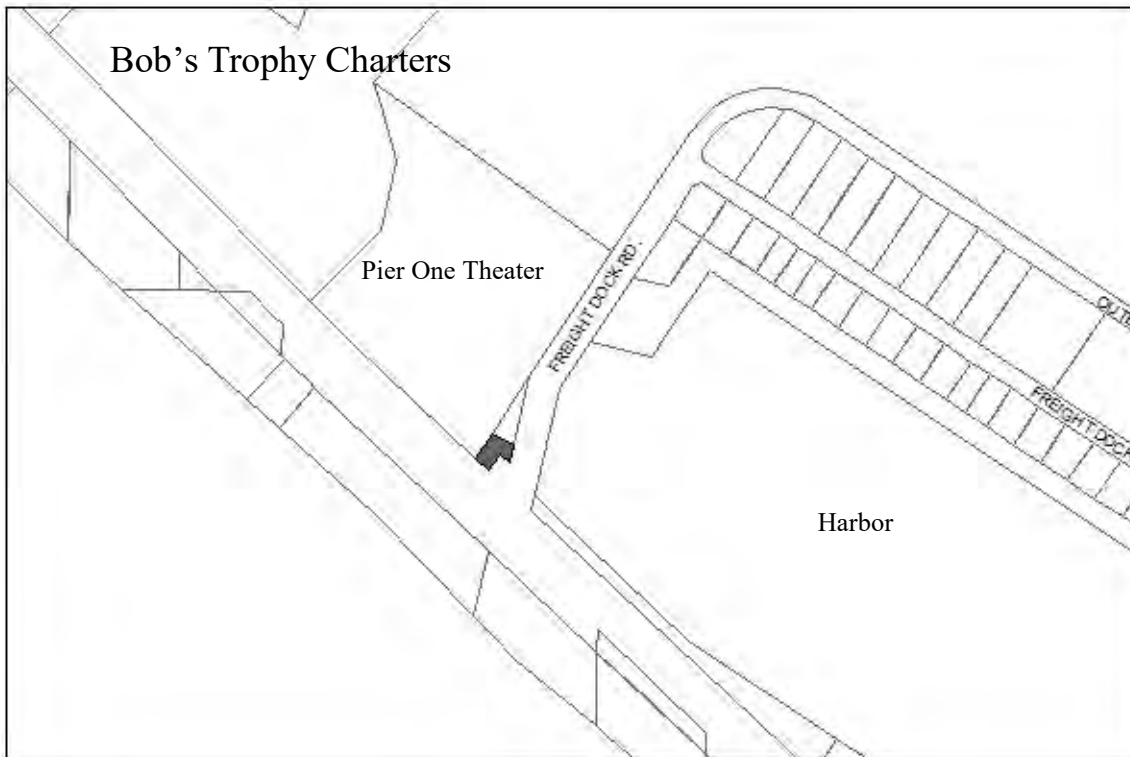
This is a large parcel that is used several ways.

- Dredge spoils dewatering and storage, winter barge haul out activity
- City RV park/campground, and access to the only public RV dump on the spit
- Pier One Theater Lease. Theater leases the building only; not the land. Resolution 89-36A.

Resolution 13-020: Designated the north east corner of the lot for use as a trailhead for the Kachemak Bay Water Trail.

Leased to: Pier One Theater, Resolution 21-060 9/13/21, 5 year lease no options

Finance Dept. Code:



Designated Use: Lease
Acquisition History: Ord 1983-26. Purchased from World Seafood

Area: 0.15 acres or 6,692 sq ft	Parcel Number: 18103118
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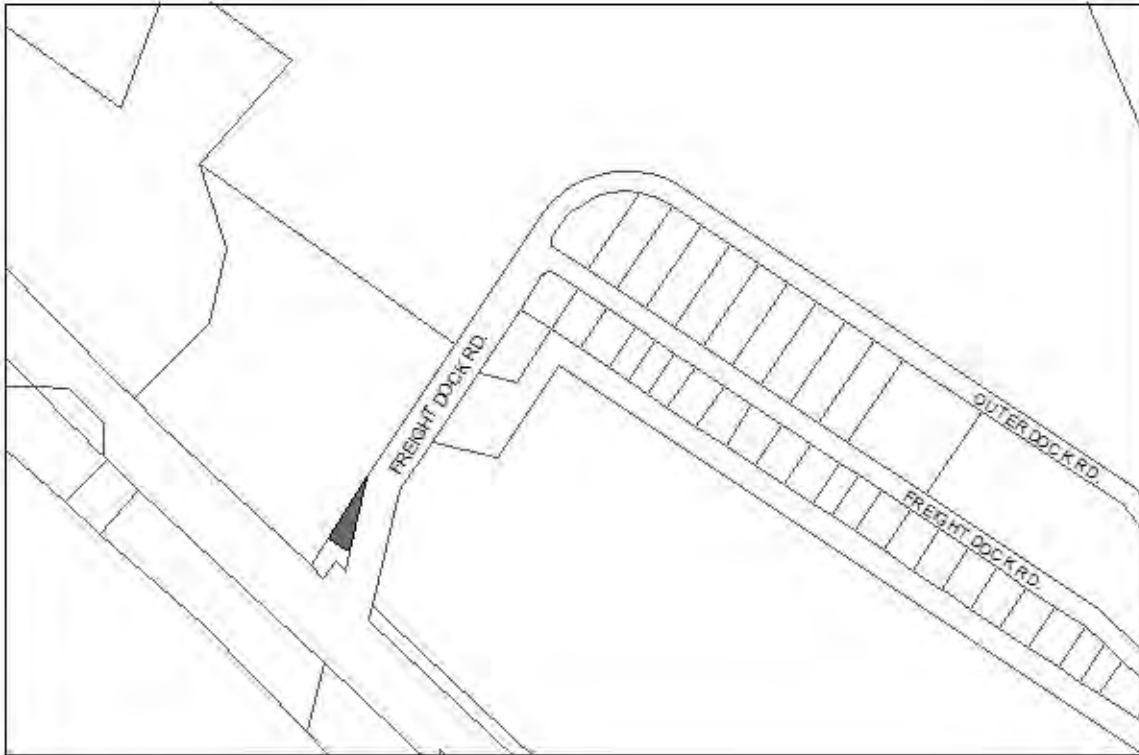
Legal Description: HM0940043 T06S R13W S35 TRACT 1-B THE FISHIN HOLE SUB NO 2

Zoning: Marine Commercial	Wetlands: None
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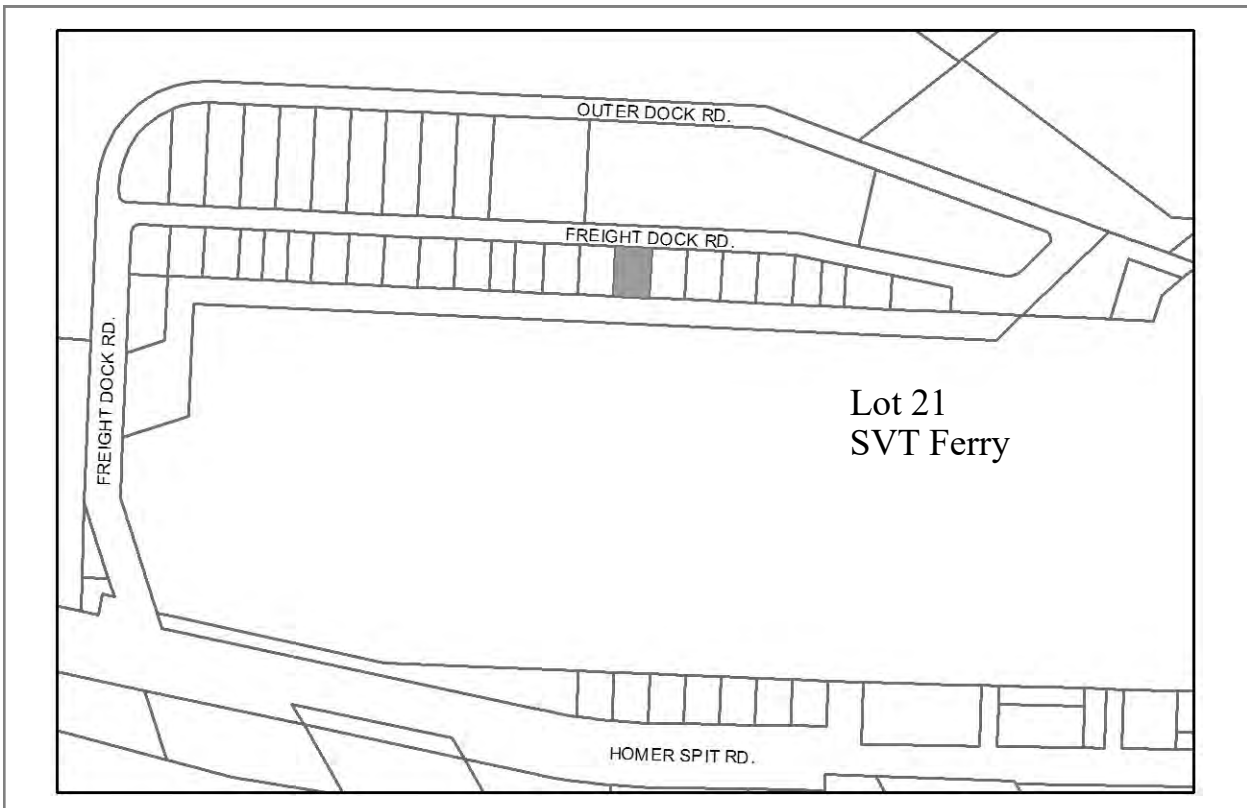
Infrastructure: Paved road, water and sewer.	Address: 3978 Homer Spit Road
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Leased: Resolution 16-116 authorized a new lease with the new owner for 20 years with two 5 year options.. Lease expires 2036.

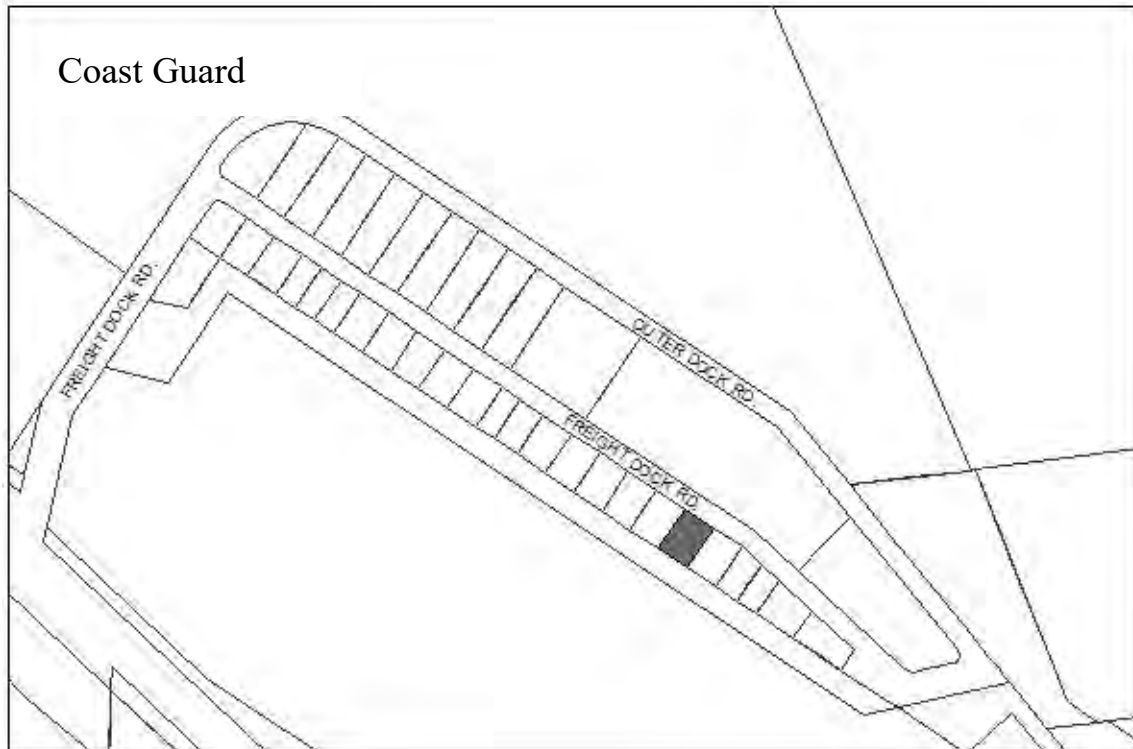
Finance Dept. Code: 400.600.4650



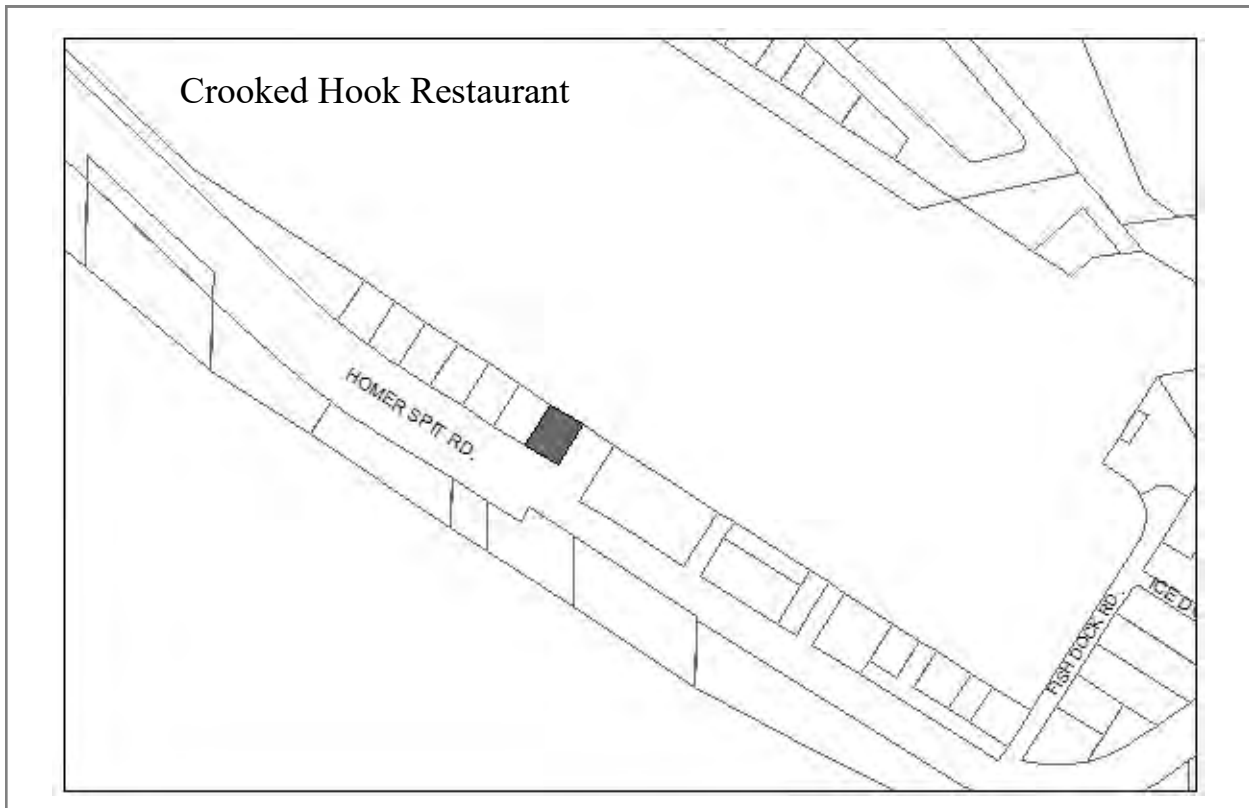
Designated Use: Leased Lands	
Acquisition History: Ord 83-26 purchase from World Seafood	
Area: 0.18 acres	Parcel Number: 18103119
Legal Description: HM0940043 T06S R13W S35 TRACT 1-C THE FISHIN HOLE SUB NO 2	
Zoning: Marine Commercial	Wetlands: N/A
Infrastructure: Water, sewer, paved road access	Address: 1114 Freight Dock Road
Leased to: L.H. and Marcia Pierce. Sportsman Supply/RV Expiration: April 1, 2038.	
Finance Dept. Code: 400.600.4650	



Designated Use: Leased Lands	
Acquisition History:	
Area: 0.32 acres	Parcel Number: 18103240
Legal Description: Homer Spit No 5 Lot 21	
Zoning: Marine Industrial	Wetlands: N/A
Infrastructure: Water, sewer, paved road access	Address: 4323 Freight Dock Road
Leased to: Seldovia Village Tribe, for Kachemak Bay Ferry Resolution 10-41. Expiration May 31, 2030, two 5 year options	
Finance Dept. Code: 400.600.4650	



Designated Use: Leased to USCG	
Acquisition History:	
Area: 0.34 acres	Parcel Number: 18103218
Legal Description: Homer Spit Four subdivision Lot 2	
Zoning: Marine Industrial	Wetlands: N/A
Infrastructure: Water, sewer, paved road access	Address: 4373 Freight Dock Rd
Leased to: USCG Lease Renewal Options: None Expiration: September 30, 2026	
Finance Dept. Code:	



Designated Use: Leased Land
Acquisition History:

Area: 12,700 sq ft

Parcel Number: 18103316

Legal Description: HM0890034 T07S R13W S01 HOMER SPIT SUB AMENDED LOT 19

Zoning: Marine Commercial

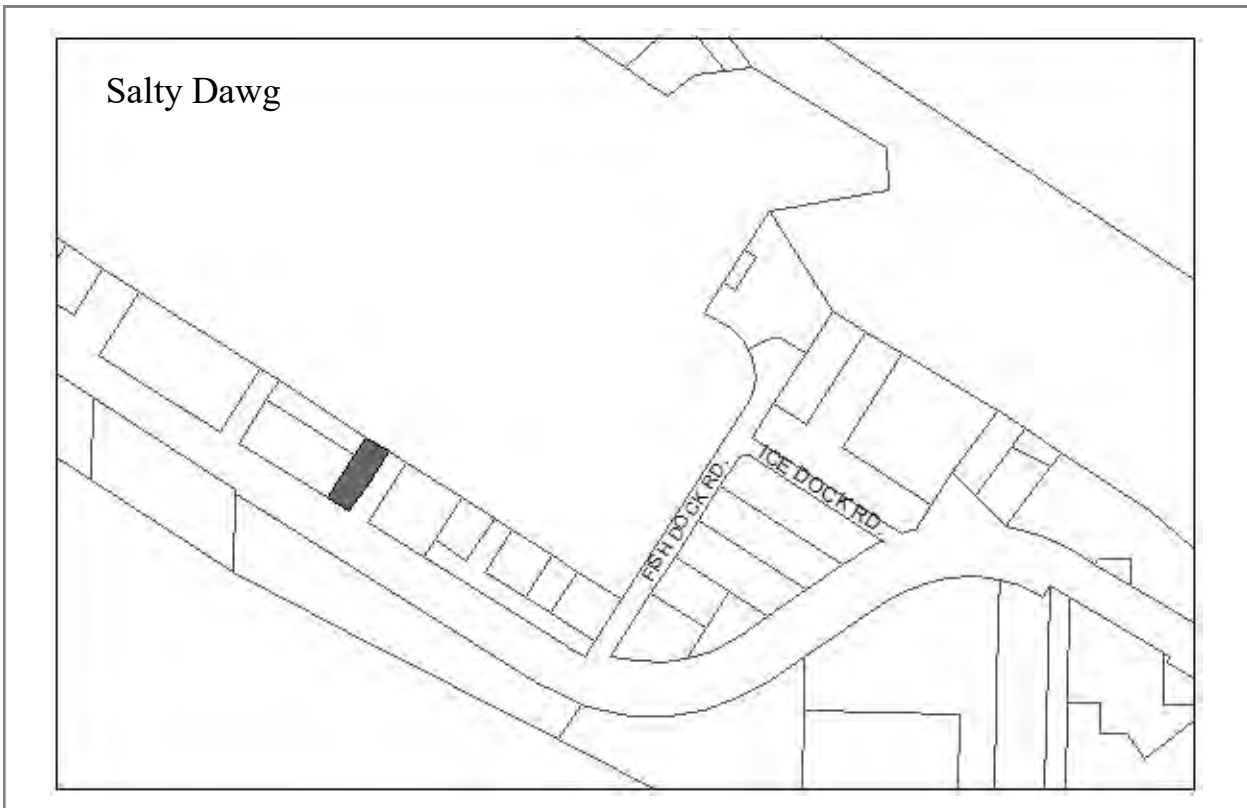
Wetlands: None

Infrastructure: Paved road, water and sewer

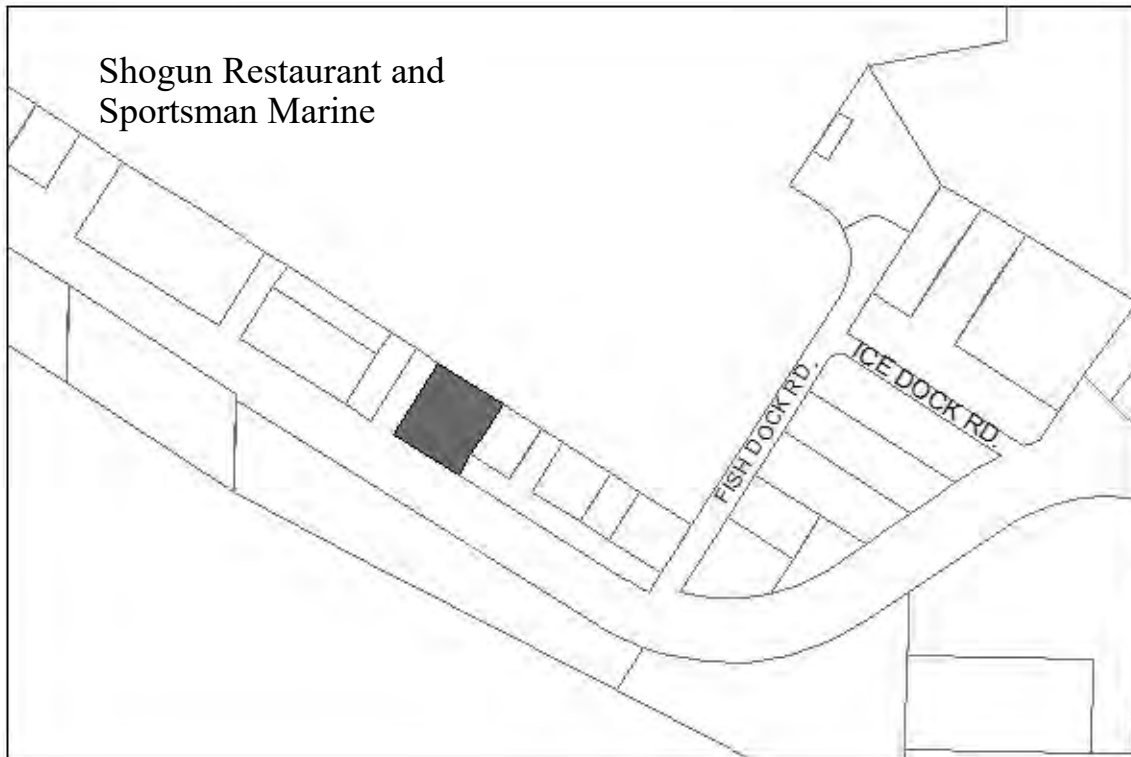
Address: 4262 Homer Spit Road

Leased to: Harbor Bar & Grill
 Expiration: Lease expires 2/1/2046, no options.

Finance Dept. Code:



Designated Use: Leased Lands	
Acquisition History:	
Area: 0.23 acres	Parcel Number: 18103309
Legal Description: HM0890034 T07S R13W S01 HOMER SPIT SUB AMENDED LOT 30	
Zoning: Marine Commercial	Wetlands: N/A
Infrastructure: Water, sewer, paved road access	Address: 4390 Homer Spit Road
Leased to: John Warren, Salty Dawg Expiration: 1/31/2026. No options.	
Finance Dept. Code:	



Designated Use: Leased Land
Acquisition History:

Area: 24,639 sq ft (0.57 acres)

Parcel Number: 18103432

Legal Description: HM0890034 T07S R13W S01 HOMER SPIT AMENDED LOT 32

Zoning: Marine Commercial

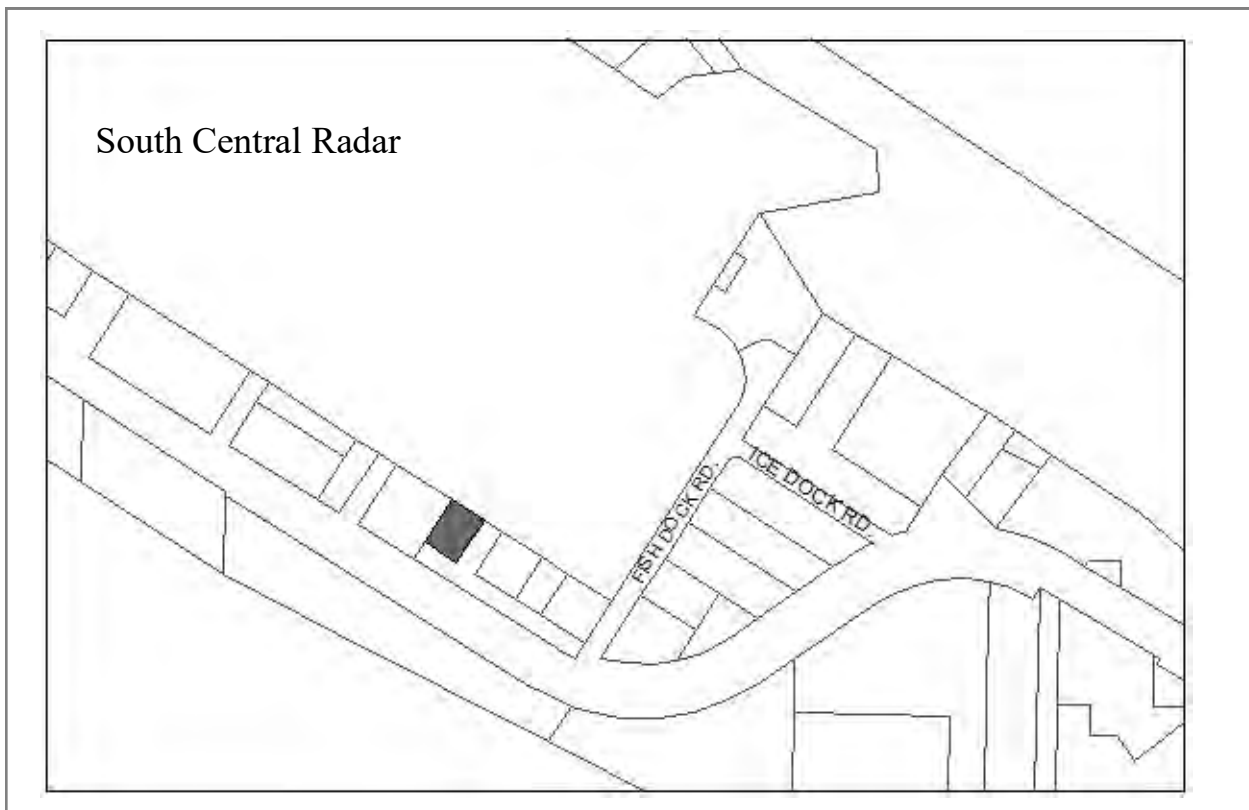
Wetlands: None

Infrastructure: Paved road, water and sewer.

Address: 4400 Homer Spit Road

Leased to: Shogun Restaurant and Sportsman Marine. Resolution 2019-02
 Expiration: 2039 with two 5 year options.

Finance Dept. Code:



Designated Use: Leased Land
Acquisition History:

Area: 0.2 acres	Parcel Number: 18103431
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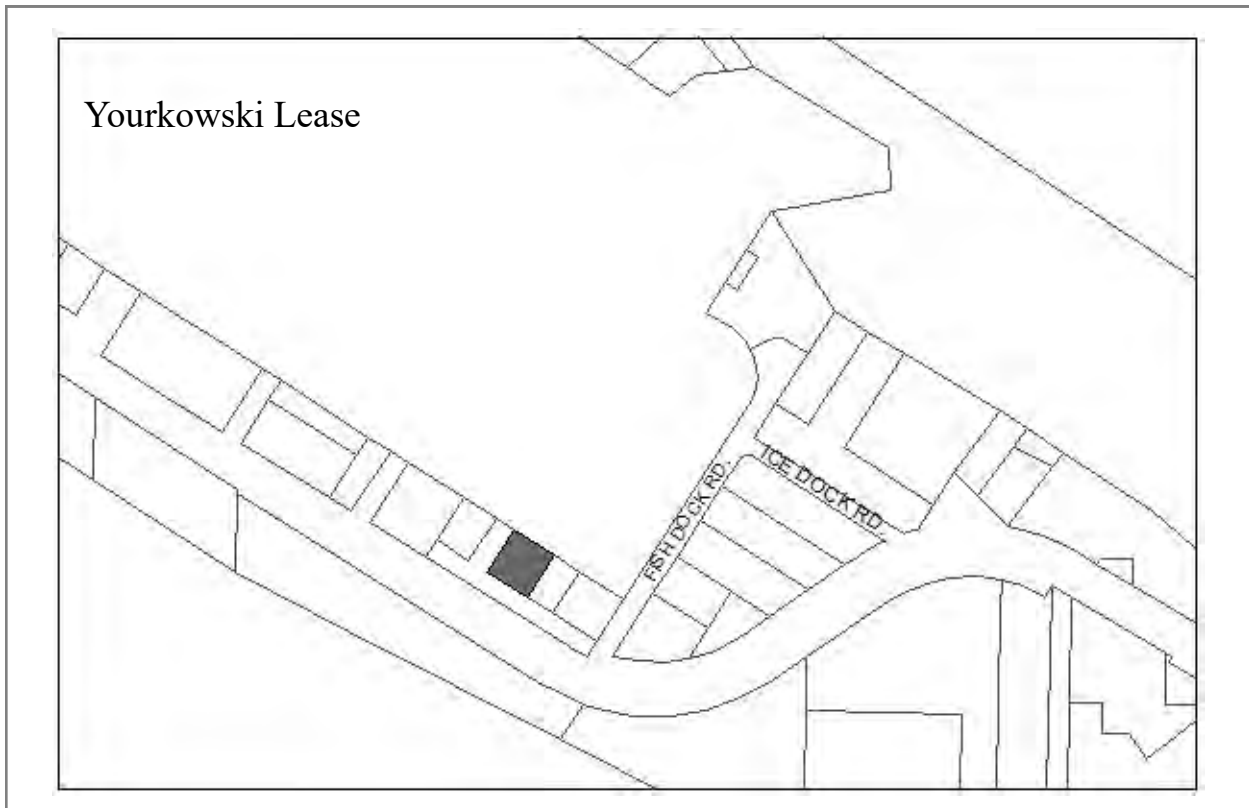
Legal Description: HM0920050 T07S R13W S01 HOMER SPIT SUB NO TWO AMD LOT 88-1

Zoning: Marine Commercial	Wetlands: N/A
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Infrastructure: Water, sewer, paved road access	Address: 4406 Homer Spit Road
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Leased to: Mark & Laura Zeiset dba South Central Radar. Resolution 2012-086(S)
 Expiration: 11/1/2032, two additional 5 year renewal options

Finance Dept. Code:



Designated Use: Leased Lands
Acquisition History:

Area: 0.29 acres	Parcel Number: 18103442
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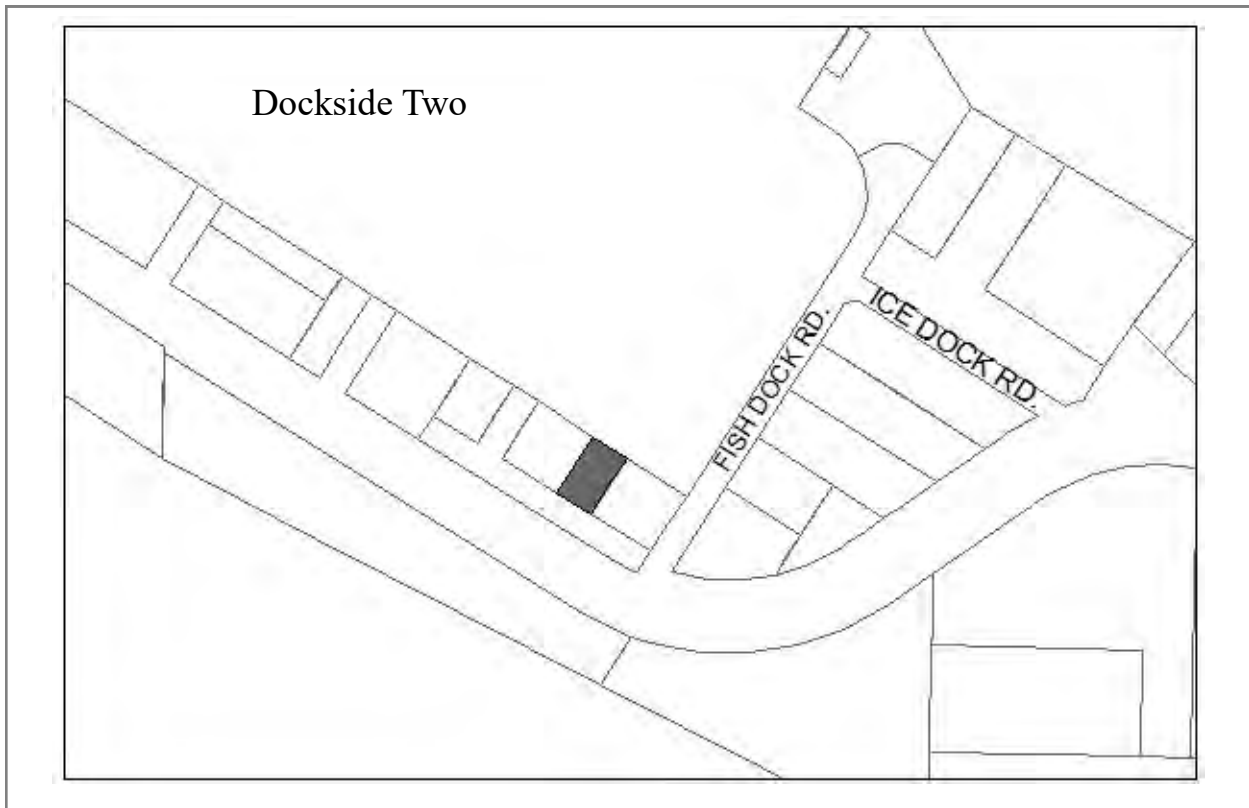
Legal Description: HM0920050 T07S R13W S01 HOMER SPIT SUB NO TWO AMENDED LOT 88-2

Zoning: Marine Commercial	Wetlands: N/A
----------------------------------	----------------------

Infrastructure: Water, sewer, paved road access	Address: 4460 Homer Spit Road
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Leased to: Mike Yourkowski
 Lease Renewal Options: one 10 year renewal option.
 Expiration: 11/30/15, plus renewal option. Leaseholder is exercising options.

Finance Dept. Code:



Designated Use: Leased Land
Acquisition History:

Area: 7,749 sq ft. (0.18 acres)	Parcel Number: 18103443
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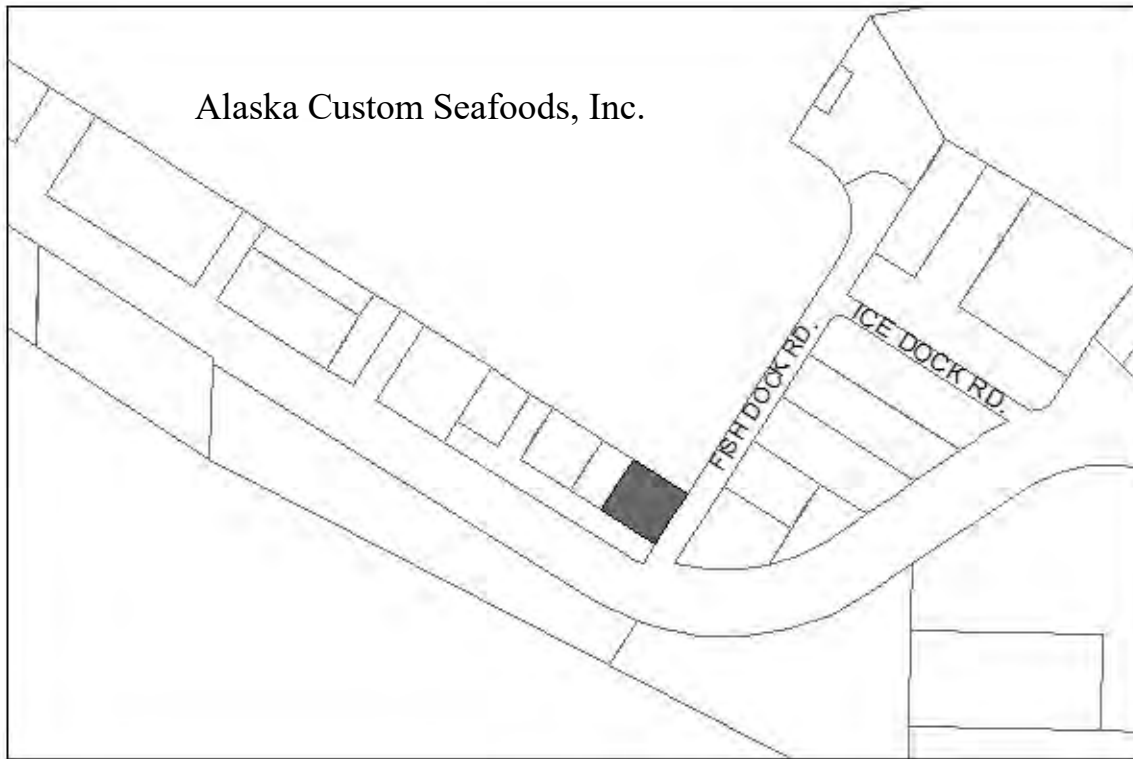
Legal Description: HM0920050 T07S R13W S01 HOMER SPIT SUB NO TWO AMENDED LOT 88-3

Zoning: Marine Commercial	Wetlands: None
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Infrastructure: Paved road, water and sewer.	Address: 4470 Homer Spit Road
---	--------------------------------------

Leased to: William Sullivan dba Docks Two dba Kachemak Bay Seafoods
 Expiration: 2027, no options.

Finance Dept. Code:



Designated Use: Leased land
Acquisition History:

Area: 0.31 acres, or 13,383 sq ft

Parcel Number: 18103444

Legal Description: HM0920050 T07S R13W S01 HOMER SPIT SUB NO TWO AMENDED LOT 88-4

Zoning: Marine Commercial

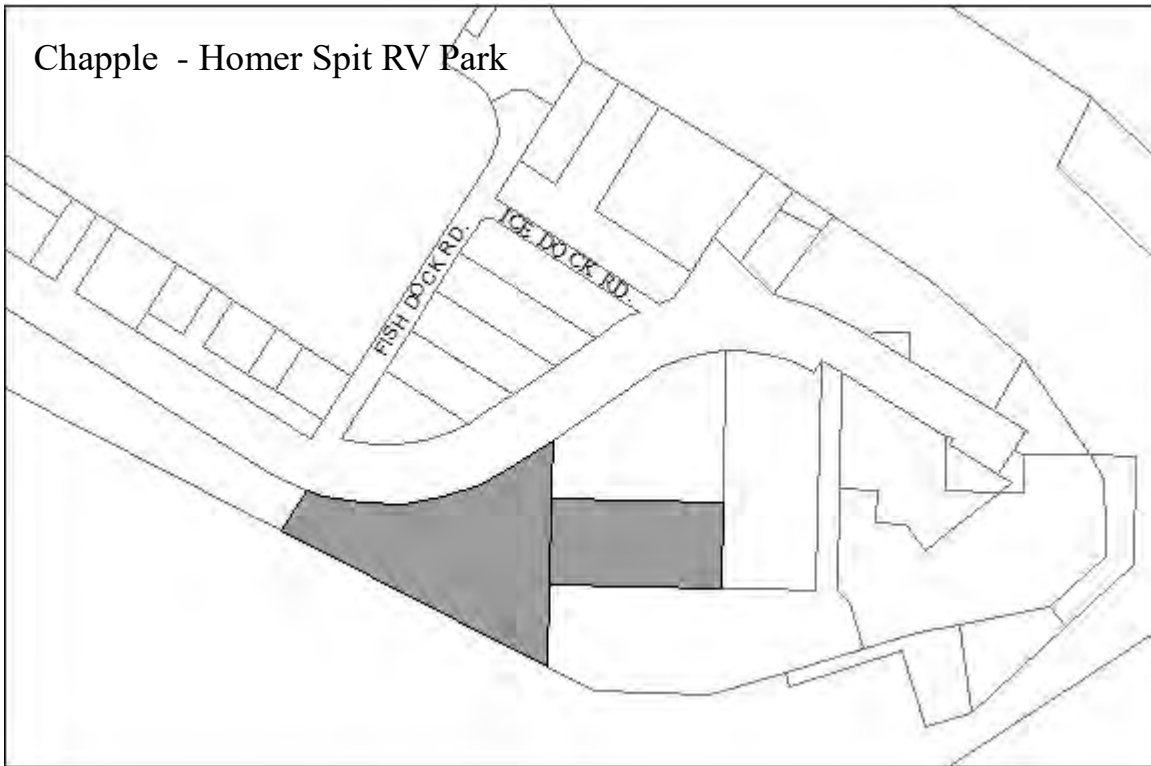
Wetlands: None

Infrastructure: Paved road, water and sewer.

Address: 4474 Homer Spit Road

Leased to: Brad Faulkner DBA Alaska Custom Seafoods, Inc. Expires 2043.

Finance Dept. Code:



Designated Use: Leased Land
Acquisition History:

Area: 192,970 sq ft

Parcel Number: 18103402, 03

Legal Description: HM0890034 T07S R13W S01 HOMER SPIT SUB AMENDED LOT 50.
 HM0890034 T07S R13W S01 HOMER SPIT SUB AMENDED LOT 49 EXCLUDING THAT PORTION AS PER LICENSE AGREEMENT 205/928.

Zoning: Marine Industrial

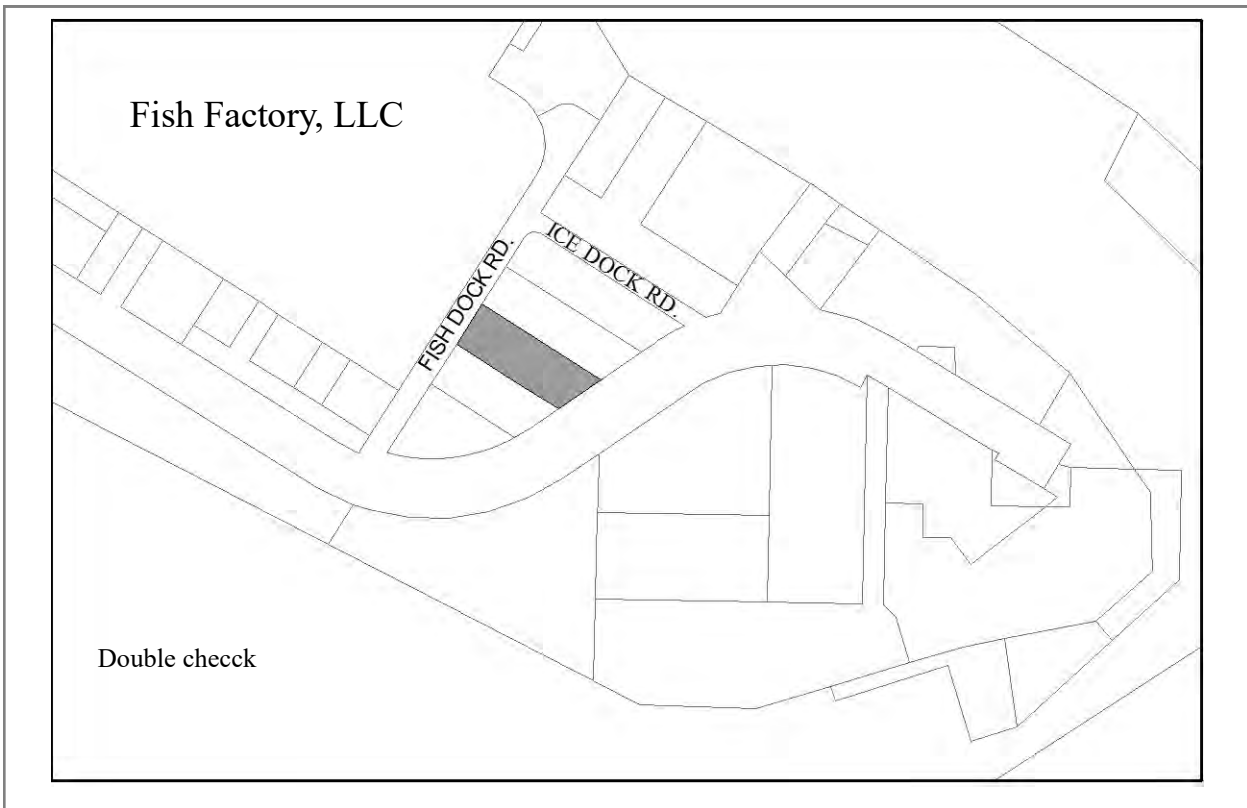
Wetlands: None

Infrastructure: Paved road, water and sewer.

Address: 4535 Homer Spit Road

Leased to: Truxton Management Inc. Homer Spit Campground. Resolution 19-069
 Expiration: 12/31/2026, two addition 3 year options.

Finance Dept. Code: 400.600.4650



Designated Use: Leased Land
Acquisition History:

Area: 27,470 sq ft (0.63 acres)	Parcel Number: 18103421
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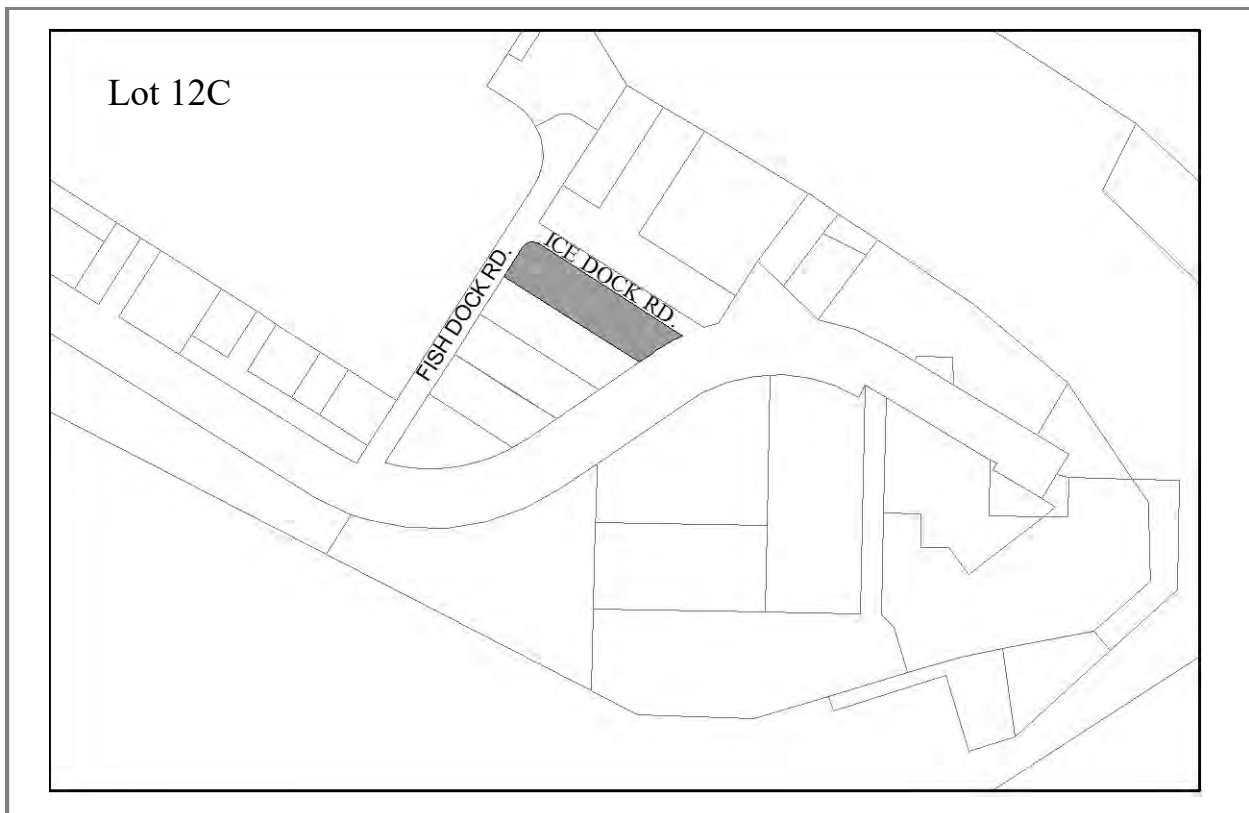
Legal Description: HM0900052 T07S R13W S01 CITY OF HOMER PORT INDUSTRIAL NO 3 LOT 12-A1

Zoning: Marine Industrial	Wetlands: None
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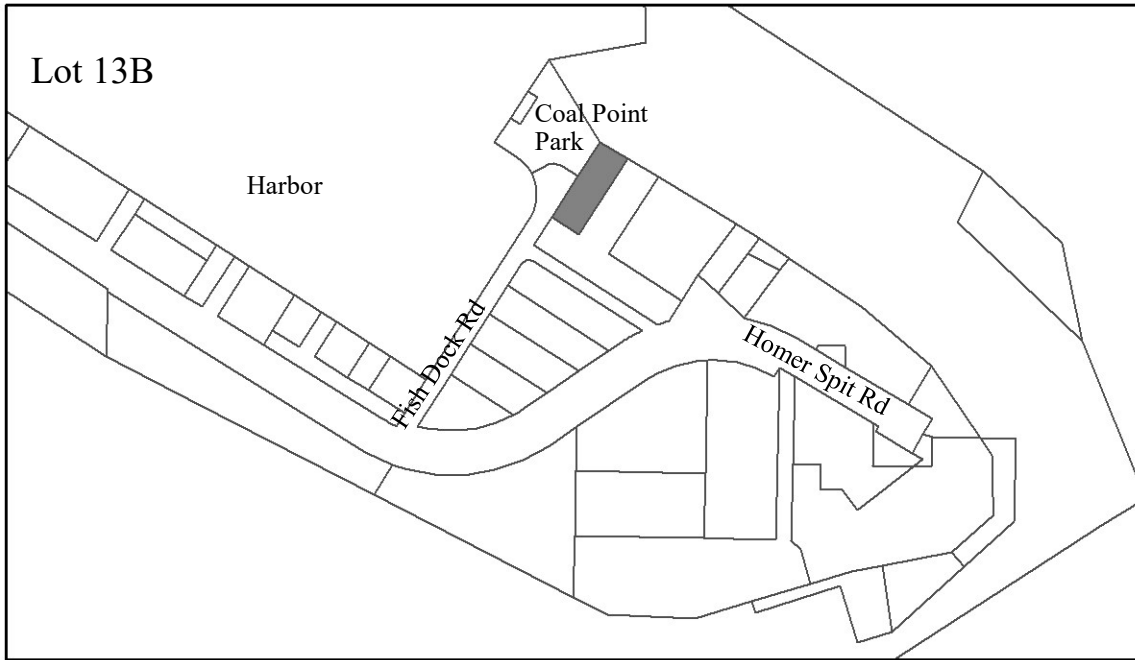
Infrastructure: Paved road, water and sewer.	Address: 800 Fish Dock Road
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Leased to: Fish Factory, LLC
 Expiration: 12/31/2036 with two 5 year options

Finance Dept. Code:



Designated Use: Lease land	
Acquisition History:	
Area: 0.79 Acres	Parcel Number: 18103452
Legal Description: City of Homer Port Industrial No 2 Lot 12C	
Zoning: Marine Industrial	
Infrastructure: Water, sewer, paved road access	Address: 4501 Ice Dock Road
Leased to Salmon Sisters Holding LLC, 2021, 20 yr lease with two five year options.	
Finance Dept. Code:	



Designated Use: Lease
Acquisition History:

Area: 0.52 acres

Parcel Number: 18103425

Legal Description: City of Homer Port Industrial Subdivision No 2 Lot 13B

Zoning: Marine Industrial

Wetlands: N/A

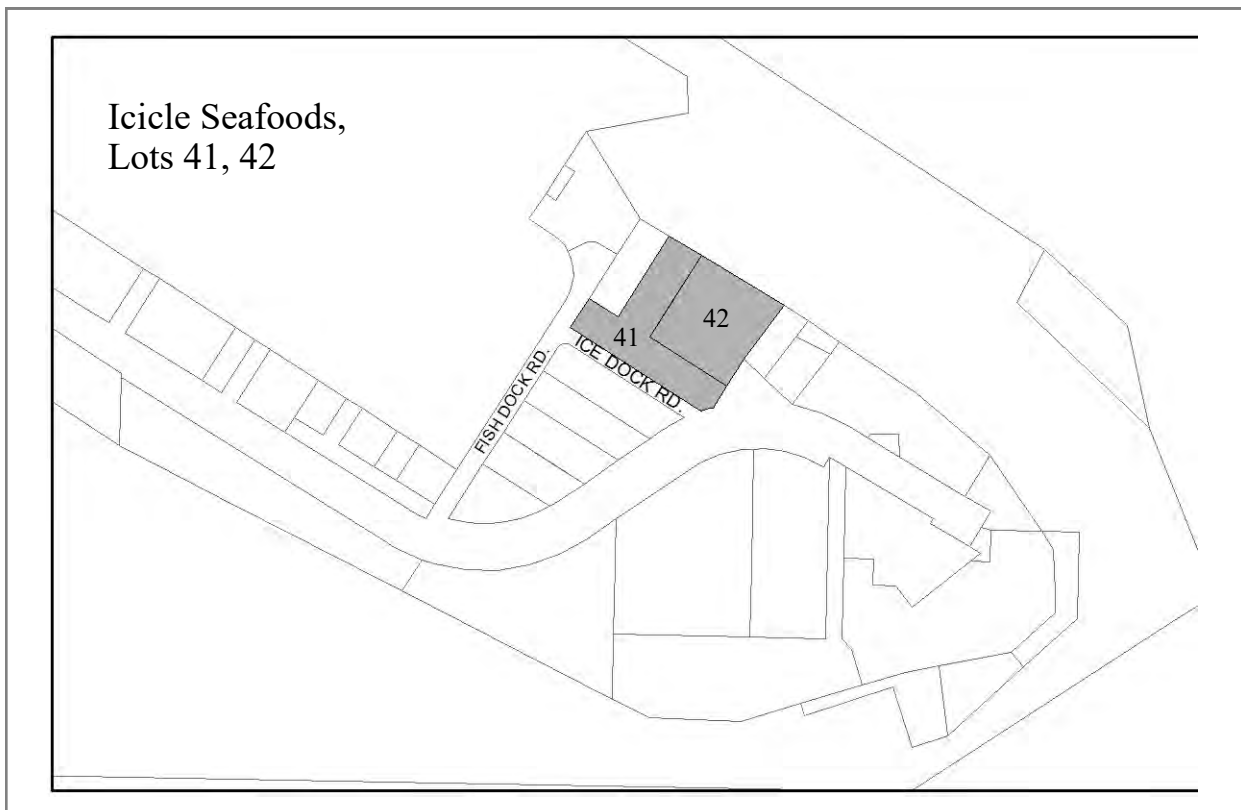
Infrastructure: Water, sewer, paved/gravel road access

Address: Fish Dock Road

Former Porpoise Room lot. Fisheries use encouraged but not required.

Copper River Seafoods

Finance Dept. Code:



Designated Use: Leased Land
Acquisition History: Lot 42, ordinance 17-41

Area: 2.96 acres	Parcel Number: 18103419, 18103418
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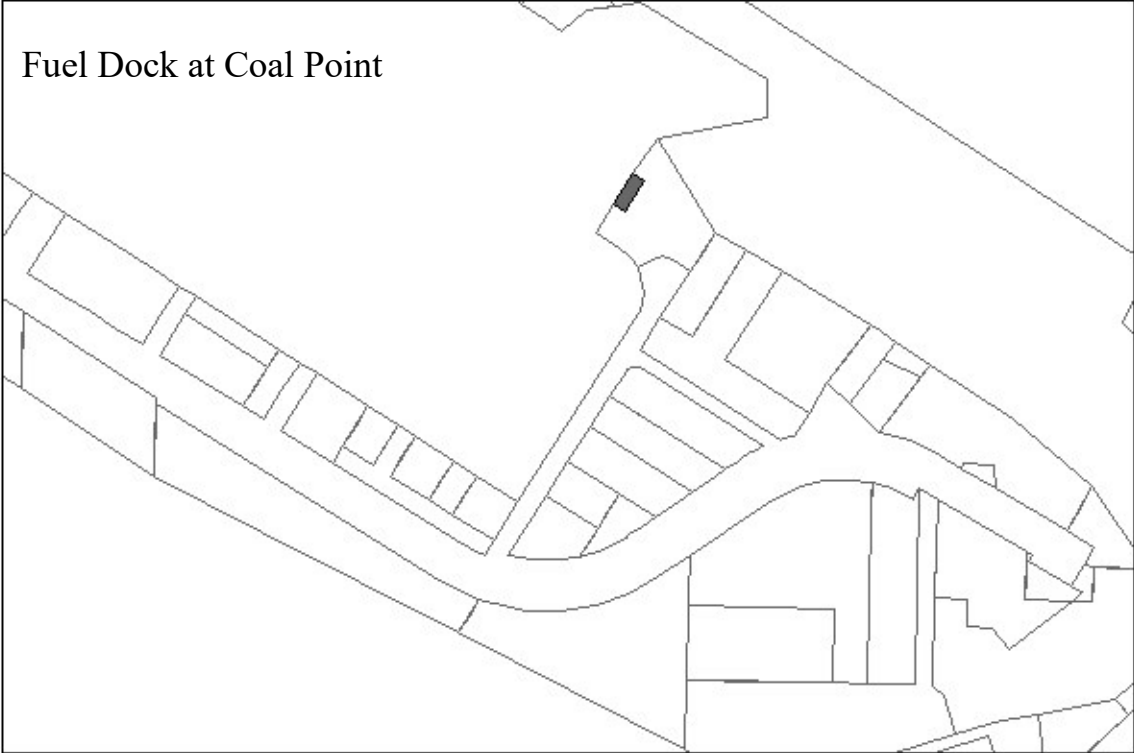
Legal Description: HM0890034 T07S R13W S01 HOMER SPIT SUB AMENDED ADL 18009 LOT 41 (ADL 18009) , and Lot 42

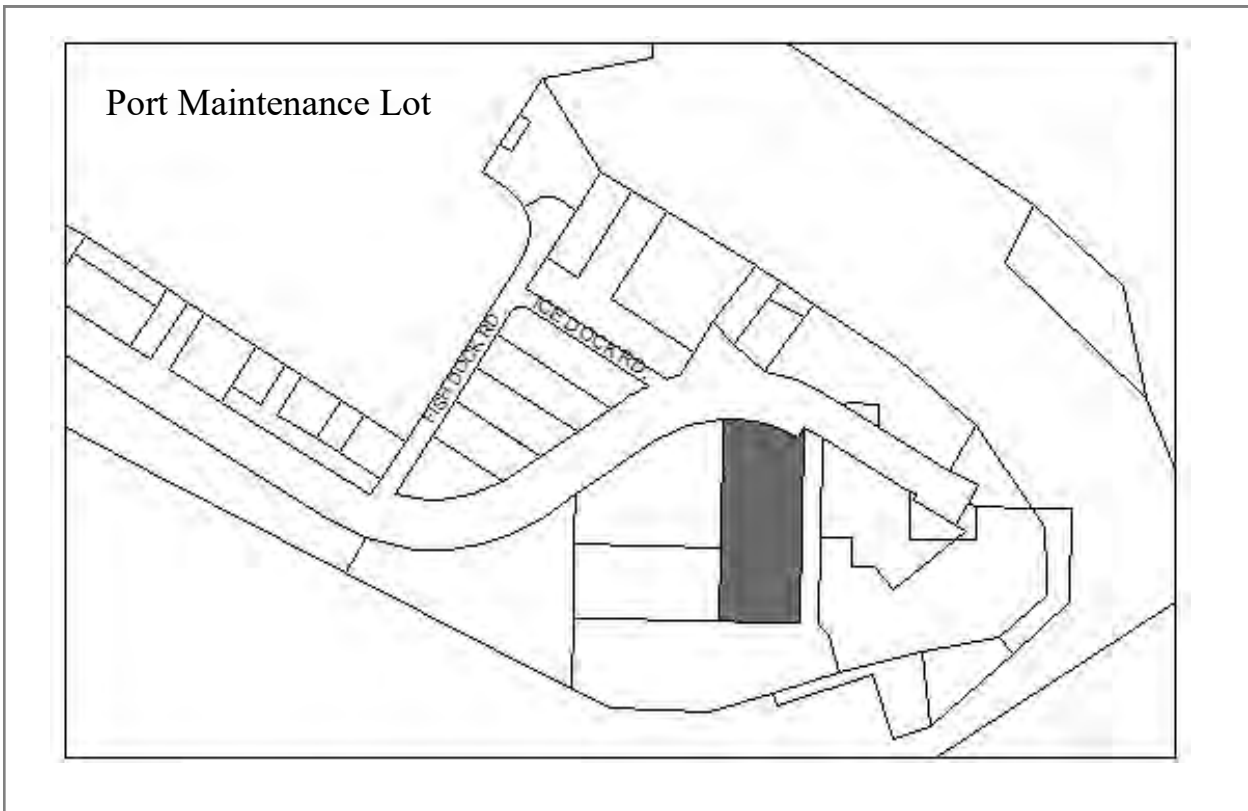
Zoning: Marine Industrial	Wetlands: N/A
----------------------------------	----------------------

Infrastructure: Water, sewer, paved road access	Address: 842 Fish Dock Road
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Leased to: Ocean Beauty Icicle, Inc
 Expiration: 2039 with options. Resolution 17-008, Resolution 20-043

Finance Dept. Code:

 <p>Fuel Dock at Coal Point</p>	
<p>Designated Use: Leased Land Acquisition History:</p>	
<p>Area: 0.07 acres</p>	<p>Parcel Number: 18103427</p>
<p>Legal Description: HM0890034 T07S R13W S01 HOMER SPIT SUB AMENDED THAT PORTION OF COAL POINT MONUMENT PARK AS PER LEASE AGREEMENT 187 @ 921</p>	
<p>Zoning: Marine Industrial</p>	<p>Wetlands: None</p>
<p>Infrastructure: Paved road, water and sewer.</p>	<p>Address: 843 Fish Dock Road</p>
<p>Leased to: Petro 49, expires 11/30/2038</p>	
<p>Finance Dept. Code:</p>	



Designated Use: Leased Land. Also includes the Port Maintenance Shop, large water tank, and two story office structure.

Acquisition History:

Area: 2.23 acres
(Lease is for a small portion of the lot)

Parcel Number: 18103404

Legal Description: HM0890034 T07S R13W S01 HOMER SPIT SUB AMENDED LOT 48 EXCLUDING THAT PORTION AS PER LICENSE AGREEMENT 190 @ 98

Zoning: Marine Industrial

Wetlands: N/A

Infrastructure: Water, sewer, paved road access

Address: 4667 Homer Spit Road

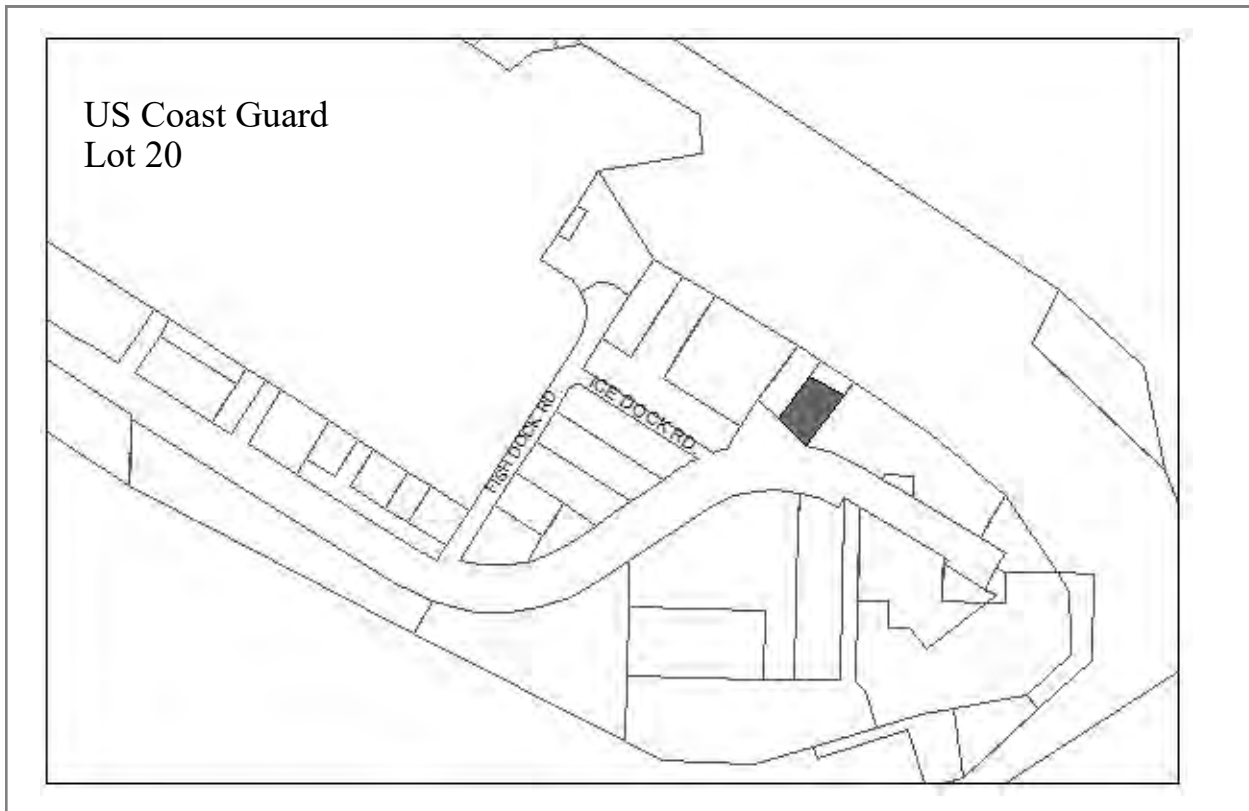
Leased to:

ACS MACTel lease: Expires 11/21/2033 with two additional one year options. (875 sq ft lease)

Alaska Marine Highway lease: Alaska Marine Highway System to built a warehouse to support ferry operations, summer 2011. Lease expires 2060. (16,000 sq ft leased)

The Port Maintenance Shop is on this lot, and a large water tank, and other accessory structures.

Finance Dept. Code:



Designated Use: Lease
Acquisition History:

Area: 0.35 acres	Parcel Number: 18103445
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Legal Description: Portion of Government Lot 20

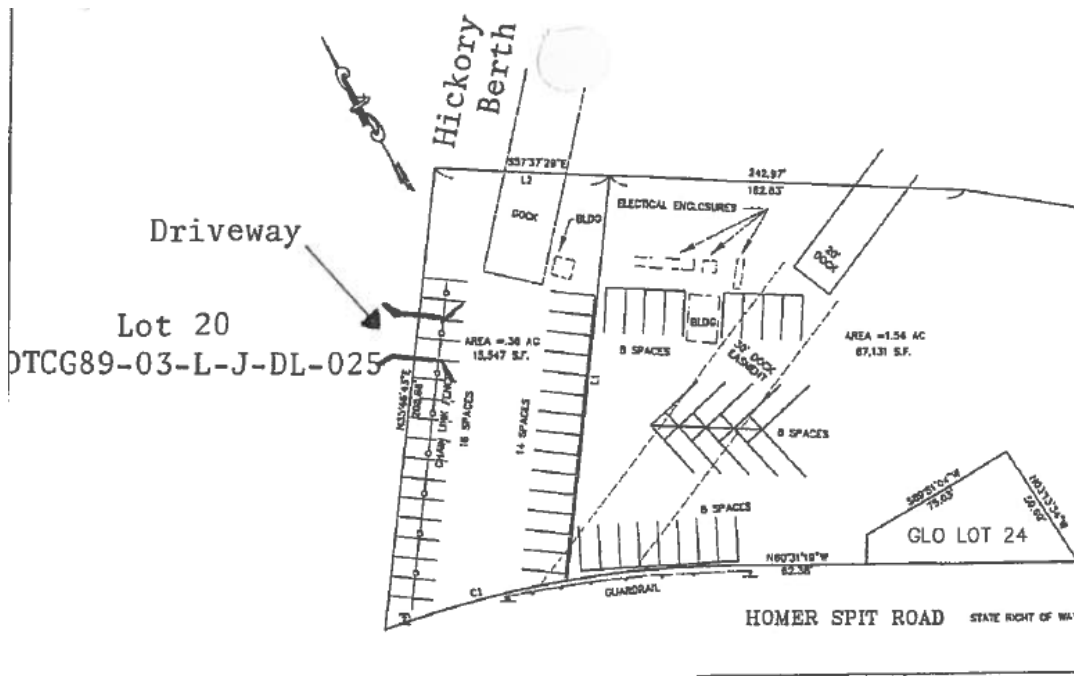
Zoning: Marine Industrial	Wetlands: N/A
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Infrastructure: Water, sewer, paved road access	Address: 4688 Homer Spit Road
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Leased to: US Coast Guard.
 Resolution 15-009 approved an additional 20 year lease.

Finance Dept. Code:

Hickory Lease

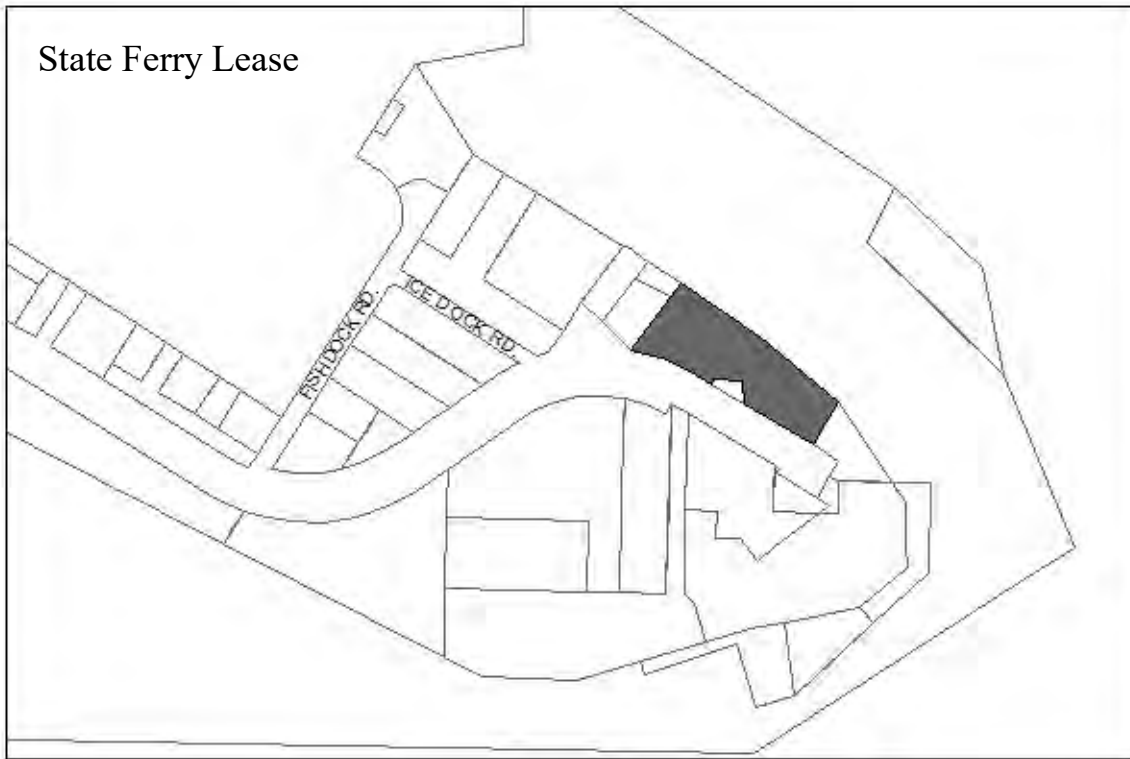


See page B-25. This lease is a portion of the Pioneer Dock.

West trestle of the Pioneer Dock, for mooring and parking on west trestle and Lot 45A.

Leased to: Coast Guard. Expiration September 30, 2022. DTCG89-03-L-J-DL-034.

Finance Dept. Code:



Designated Use: Ferry Terminal and Staging
Acquisition History: Quitclaim Deed to KPPUDIST #1 2/18/64: Orig Cert filed between KPPUD and BLM for Harbor use for 25 years on 7/29/55.

Area: 1.83 acres or 79,799 sq ft

Parcel Number: 18103447

Legal Description: HM0930049 T07S R13W S01 HOMER SPIT SUB NO 6 VELMA'S ADDN LOT 45-A

Zoning: Marine Industrial

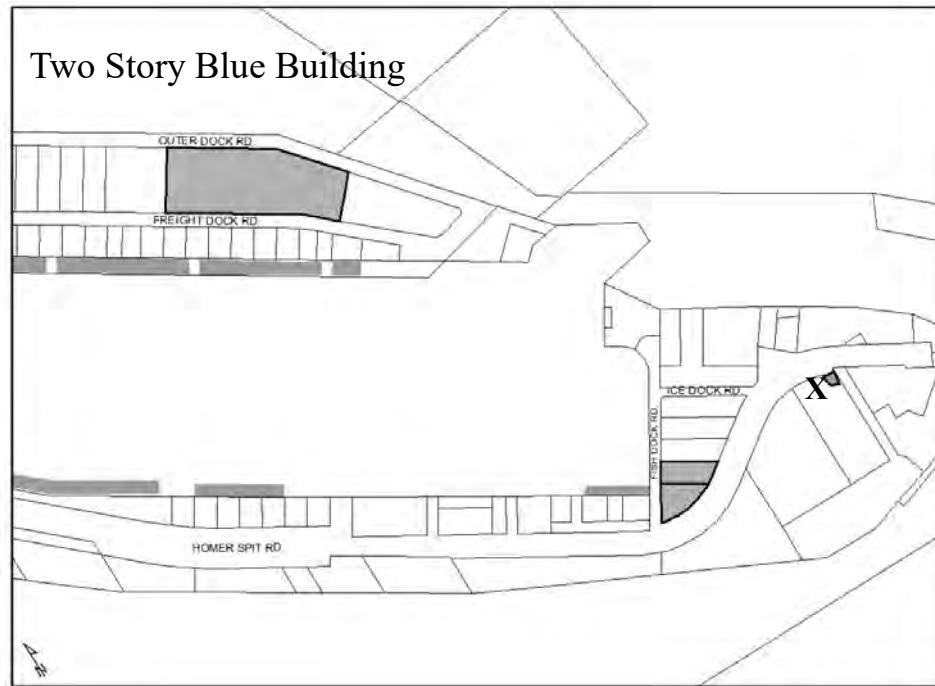
Wetlands: None

Infrastructure: Paved road, water and sewer.

Address: 4690 Homer Spit Road

Leased to: Alaska Marine Highway
 Expiration: April 30, 2060
 MOA on file regarding ferry terminal and city maintenance shop.

Finance Dept. Code:



Designated Use: Leased Lands

Acquisition History:

Area: 1.05 acres (0.52 and 0.53 acres)

Parcel Number: 18103477, 78

2019 Assessed Value: Land value \$325,700

Legal Description: T 7S R 13W SEC 1 SEWARD MERIDIAN HM 2007136 HOMER SPIT REPLAT 2006 LOT 9-A and 10A

Zoning: Marine Industrial

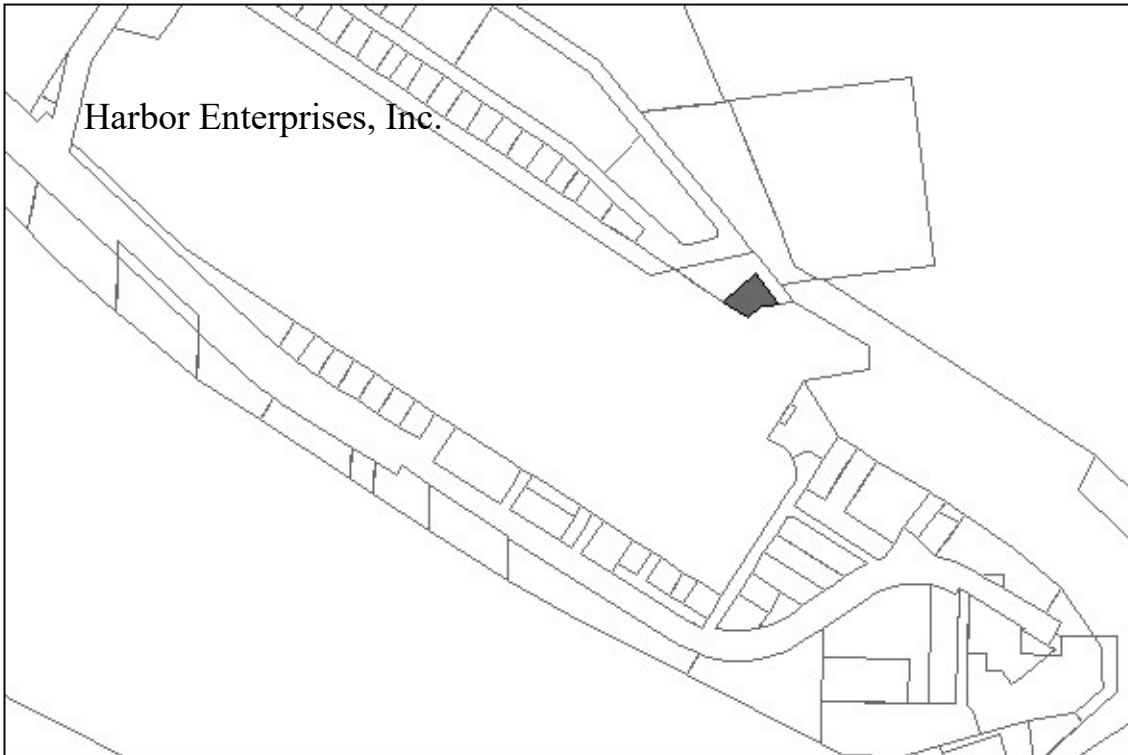
Infrastructure: Water, sewer, natural gas, paved road access

Address: 4667 Homer Spit Road

Leased to Homer Sea Tow, Resolution 20-036, expiration 3/31/2025

Lower level of the building contains a large water pump and is part of the city water infrastructure. That portion of the building is not available for lease.

Finance Dept. Code:



Designated Use: Leased Land (Fuel tanks for fuel dock)
Acquisition History:

Area: 20,000 sq ft (0.459 acres)

Parcel Number: 18103260

Legal Description: HM0970072 T07S R13W S01 HOMER SPIT NO 6 8-E-1

Zoning: Marine Industrial

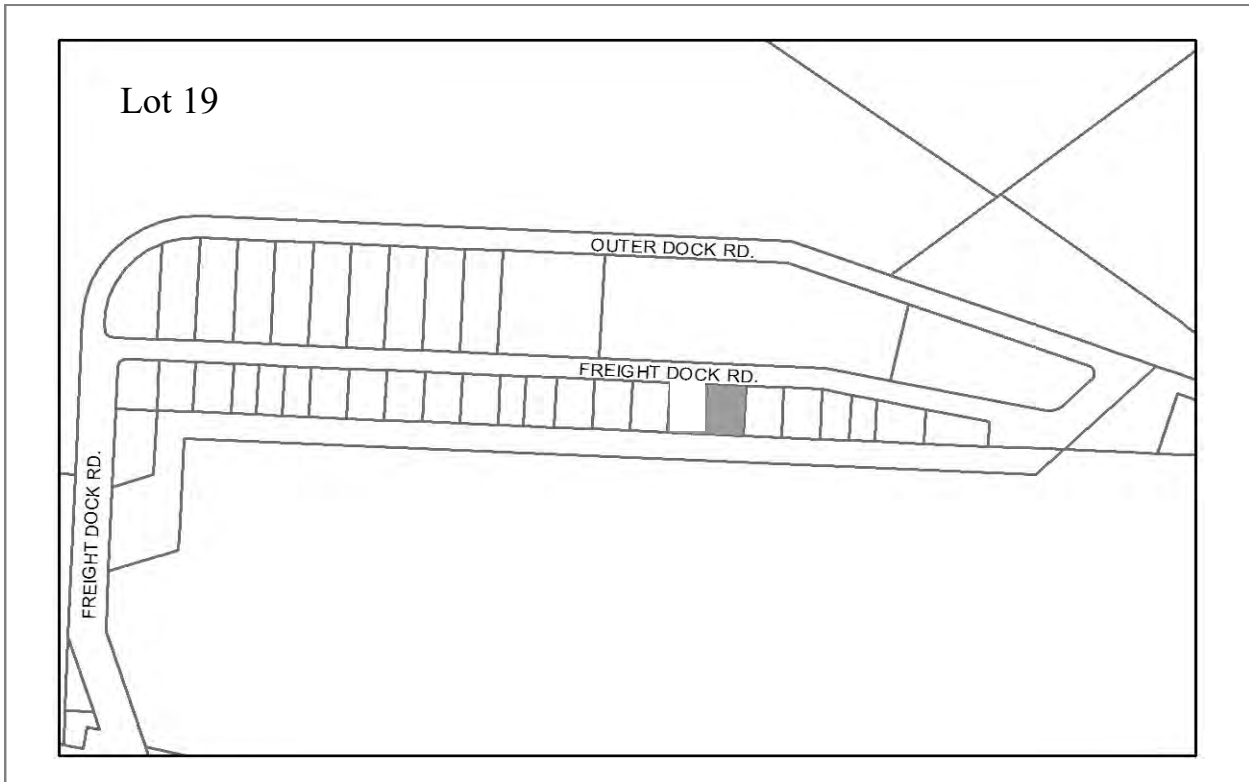
Wetlands: None

Infrastructure: Paved road, water and sewer.

Address: 4607 Freight Dock Road

Leased to: Harbor Enterprises/Terminal Oil Sales
 Resolution 16-031(S) 20 yr lease

Finance Dept. Code:



Designated Use: Lease (Resolution 09-33)
Acquisition History:

Area: 0.96 acres, 0.32 acres

Parcel Number: 181032 38

Legal Description: Homer Spit No 5 Lots 19

Zoning: Marine Industrial

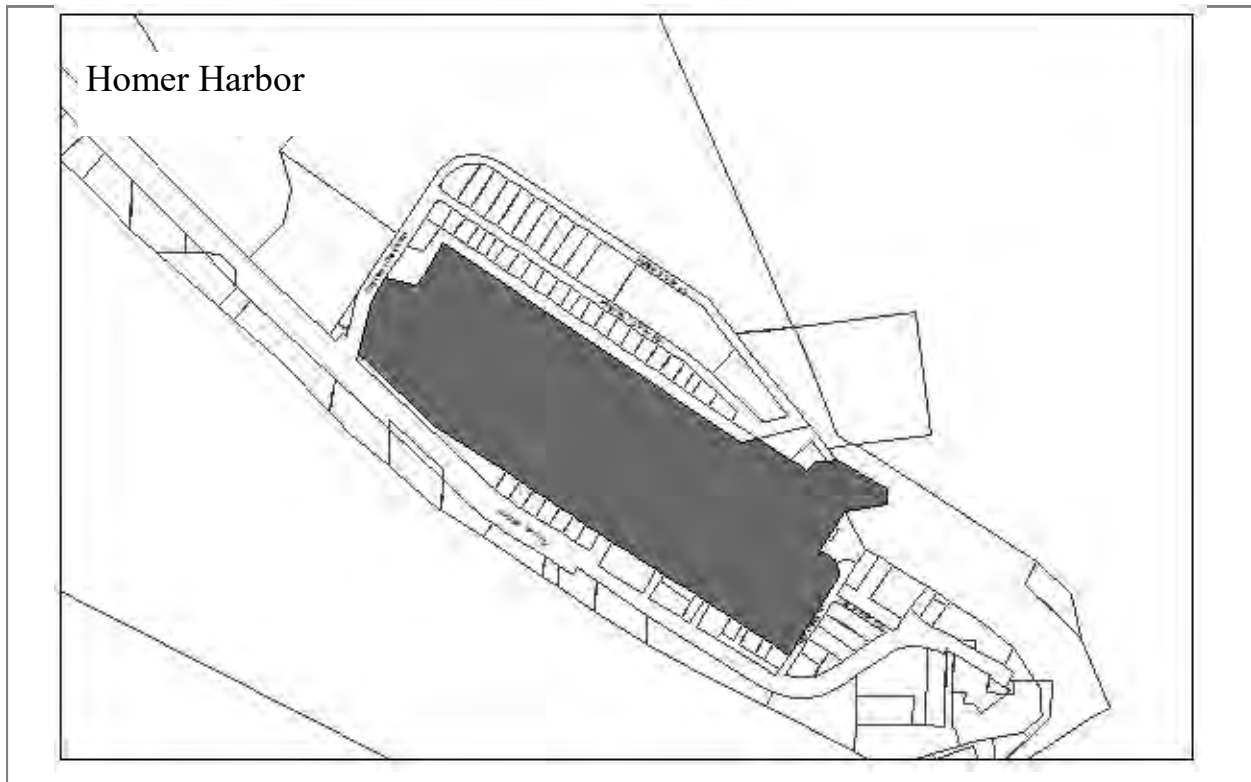
Wetlands: N/A

Infrastructure: paved road, water and sewer

Notes: Leased to Fortune Sea LLC, 10 year lease expires 4/30/2023

Finance Dept. Code:

Section C
Port Facilities



Designated Use: Homer Small Boat Harbor
Acquisition History: Reso 99-51 Reconveyed from ACOE

Area: 72.94	Parcel Number: 18103214
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2019 Assessed Value: \$5,782,800

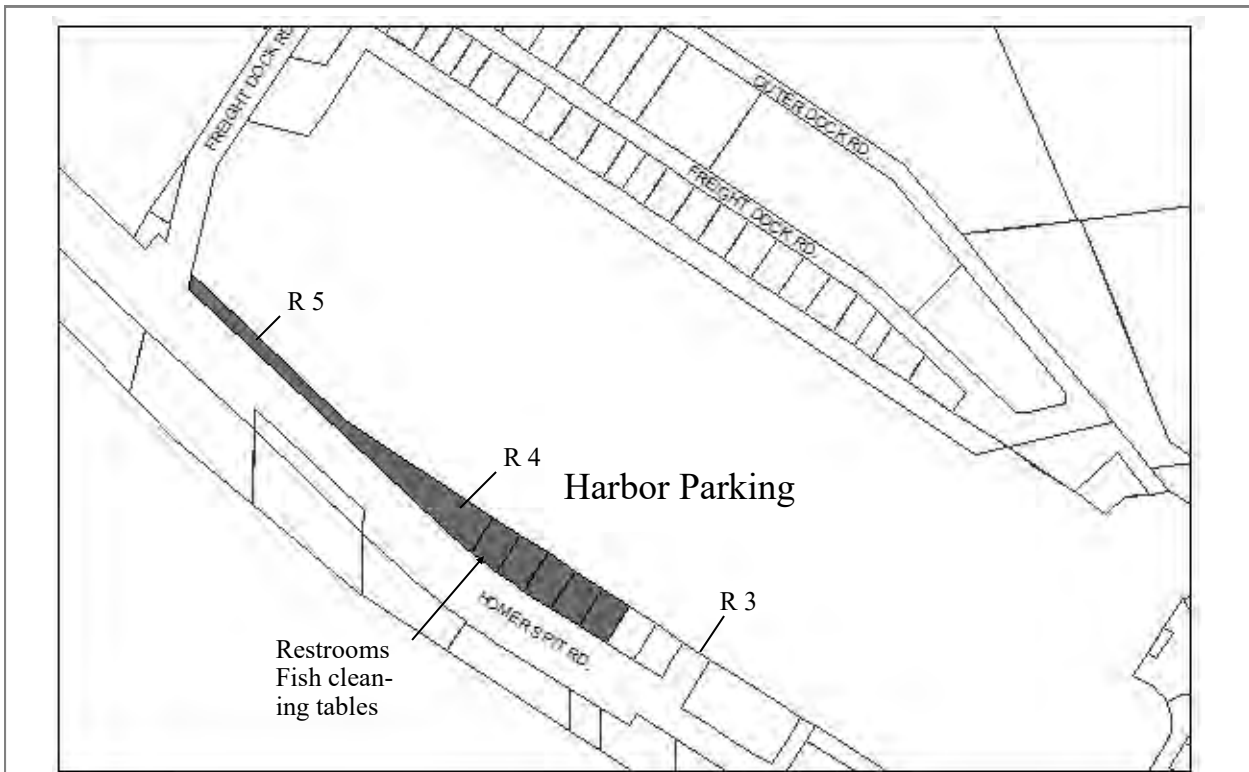
Legal Description: T 6S R 13W SEC 35 T 6S R 13W SEC 36 T 7S R 13W SEC 1 T 7S R 13W SEC 2 HM 0920050 HOMER SPIT SUB NO TWO AMENDED SMALL BOAT HARBOR SEWARD MERIDIAN

Zoning: Marine Commercial	Wetlands: N/A
----------------------------------	----------------------

Infrastructure: floats, road access, water and sewer

Notes:

Finance Dept. Code:



Designated Use: Parking
Acquisition History:

Area: 3.12 acres

Parcel Number: 181033 18-22, 24

2019 Assessed Value: \$1,464,800 (Land: \$1,182,200,600, Structures: \$282,400)

Legal Description: T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 13-17, HM 0910003 HOMER SPIT SUB NO TWO SEWARD MERIDIAN LOT 12A

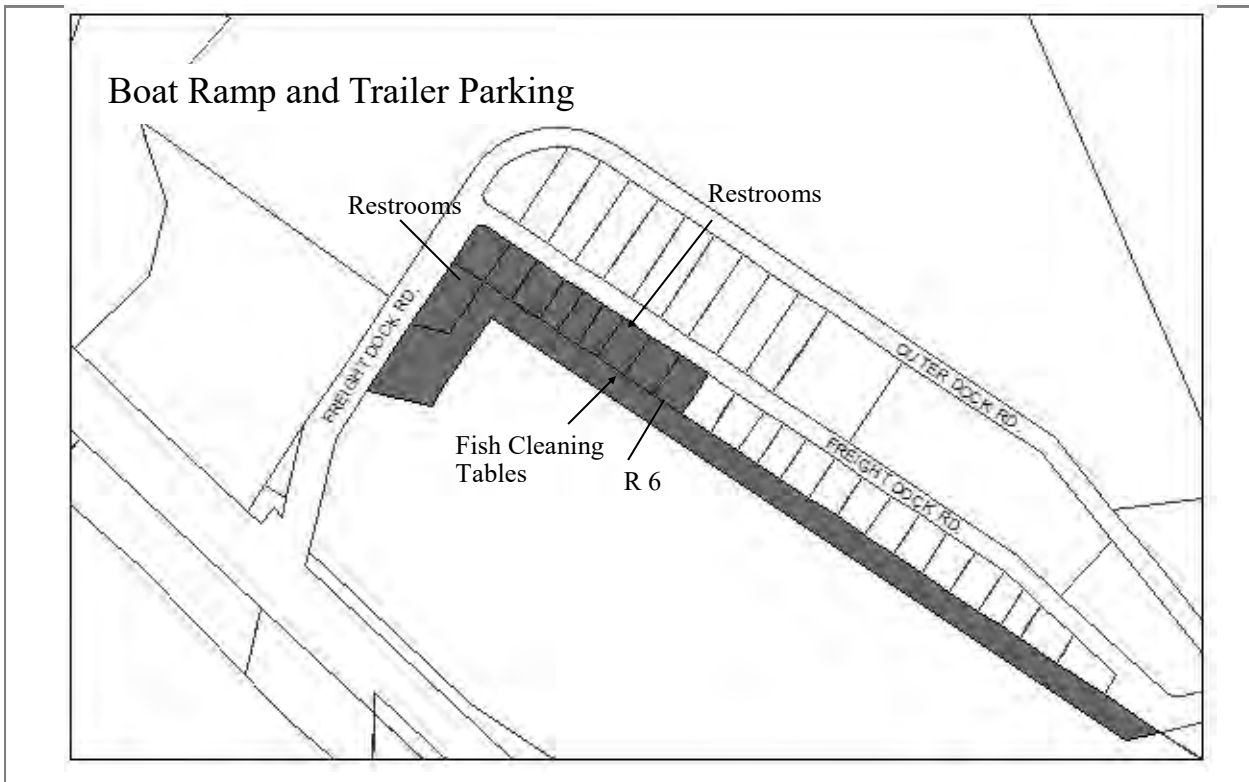
Zoning: Marine Commercial

Wetlands: N/A

Infrastructure: Paved road, gas, Spit Trail, water and sewer, public restrooms

Notes: New restrooms at Ramp 5 constructed 2015/2016

Finance Dept. Code:



Designated Use: Boat ramp and trailer parking
Acquisition History:

Area: 8.32 acres	Parcel Number: 181032 47-58, 18103216
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2019 Assessed Value: \$2,472,900

Legal Description: Homer Spit Sub No 5 Lots 28-37, Homer Spit Sub No 2 Amended Lot G-8

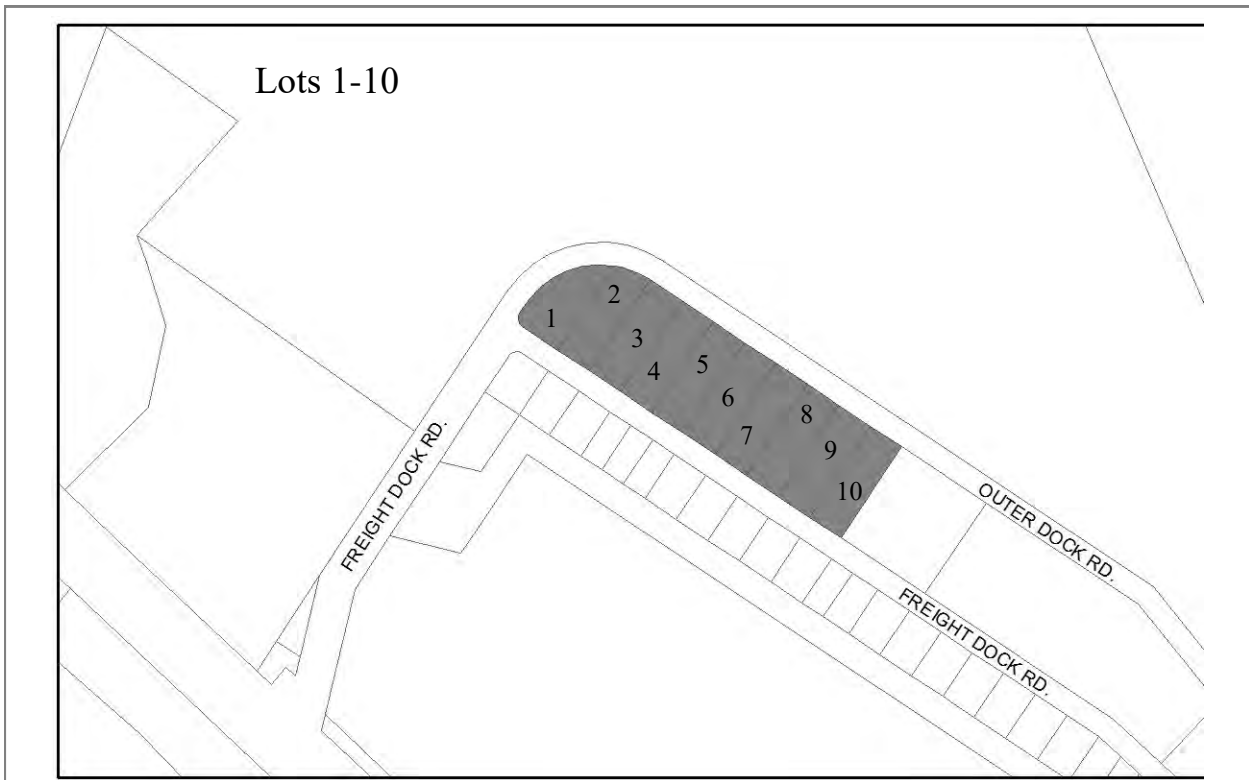
Zoning: Marine Industrial, over slope area is Marine Commercial	Wetlands: N/A
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Infrastructure: paved road, gas, water and sewer, public restrooms

Notes: Includes boat launch (reconstructed in 2016), Spit Trail, boat trailer parking, two public restrooms and over slope area along the harbor.

Resolution 2007-51: Lots 14-35, RFP process should be delayed until the master parking plan and over slope development standards and issues are dealt with.

Finance Dept. Code:



Designated Use: Port Use
Acquisition History:

Area: 6.67 acres

Parcel Number: 181032-21,22-29, 31

2019 Assessed Value: \$1,686,800

Legal Description: T 6S R 13W SEC 35 T 6S R 13W SEC 36 HM 0930012 HOMER SPIT SUB NO 5 SEWARD MERIDIAN LOTS 1-10

Zoning: Marine Industrial

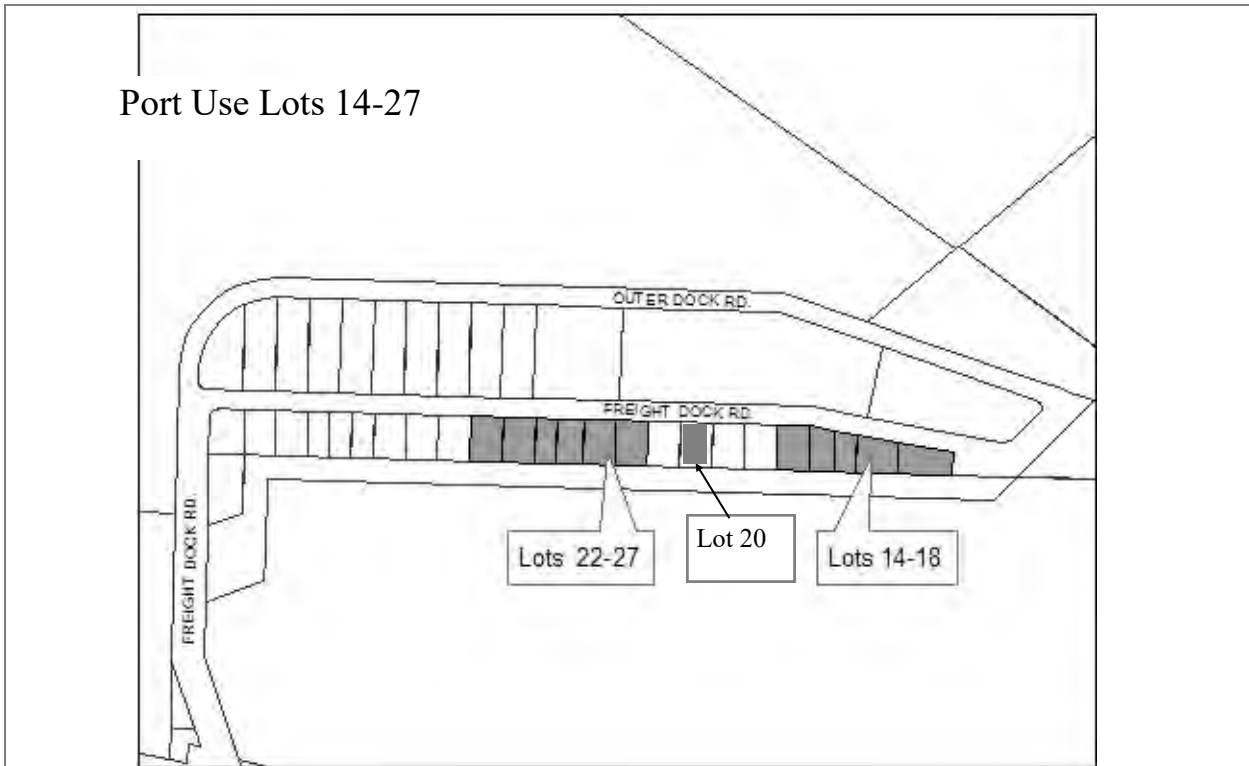
Wetlands: N/A

Infrastructure: paved road, gas, water and sewer, Barge ramp

Notes:

Lots 1,2,3: Summer boat trailer parking
 Resolution 14-041, Lots 9 and 10 are available for short term lease only

Finance Dept. Code:



Designated Use: Port Use
Acquisition History:

Area: 3.16 acres	Parcel Number: 18103233-37, 41-46
-------------------------	--

2019 Assessed Value: \$3,560,200

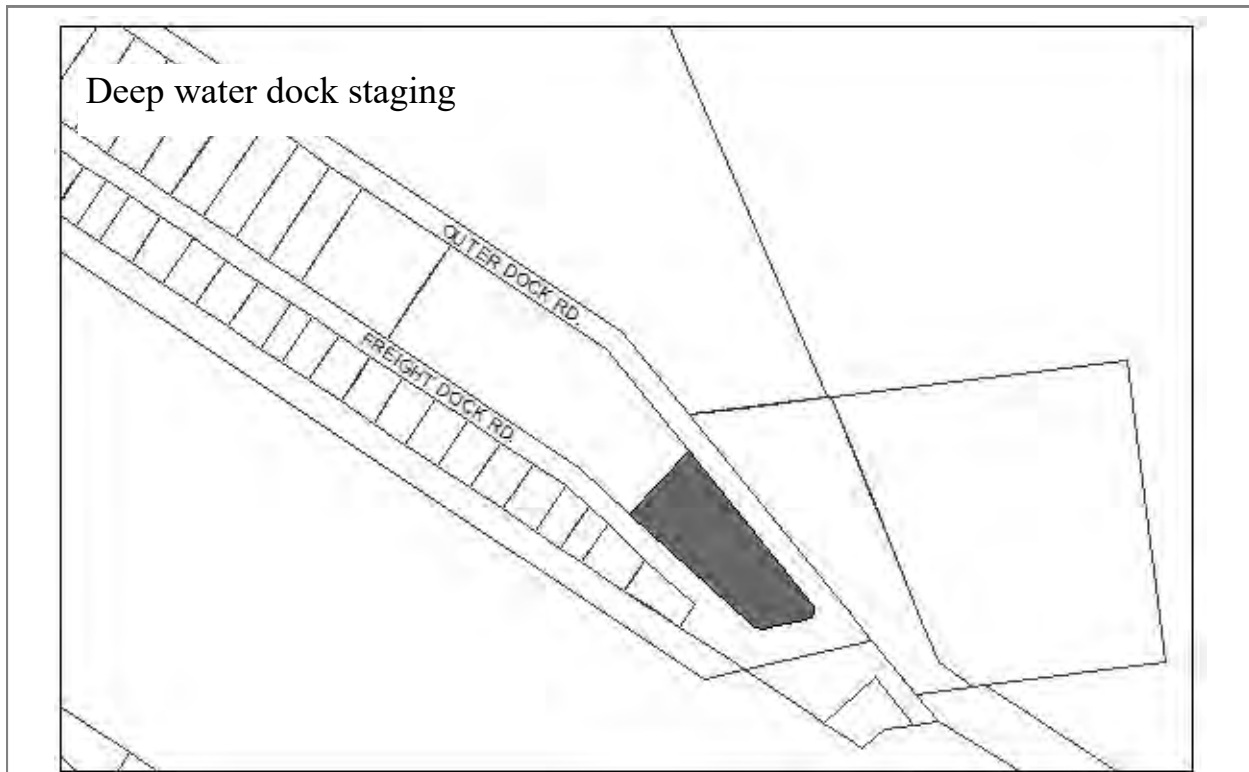
Legal Description: Homer Spit No 5 Lots 14-18, 22-27

Zoning: Marine Industrial	Wetlands: N/A
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Infrastructure: paved road, gas, Spit Trail, water and sewer

Notes:
 Resolution 2007-51: Lots 14-35, RFP process should be delayed until the master parking plan and over slope development standards and issues are dealt with.
 The harbor office completed in 2015 is on lots 22 and 23.
 Lot 20 reserved for future travel lift Resolution 13-032

Finance Dept. Code:



Designated Use: Deep water dock staging
Acquisition History:

Area: 2.08 acres

Parcel Number: 18103232

2019 Assessed Value: \$206,200

Legal Description: T 6S R 13W SEC 36 T 7S R 13W SEC 1 HM 0930012 HOMER SPIT SUB NO 5 SEWARD MERIDIAN LOT 13

Zoning: Marine Industrial

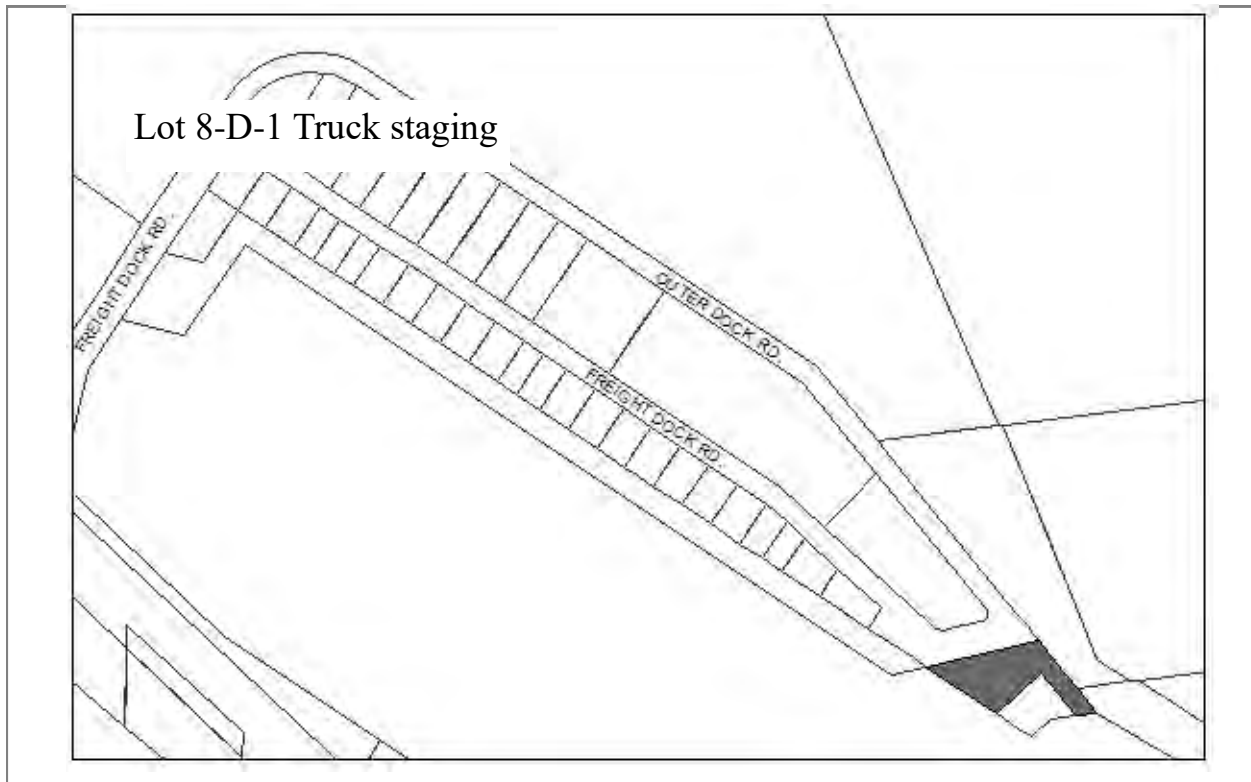
Wetlands: N/A

Infrastructure: paved road, gas, water and sewer

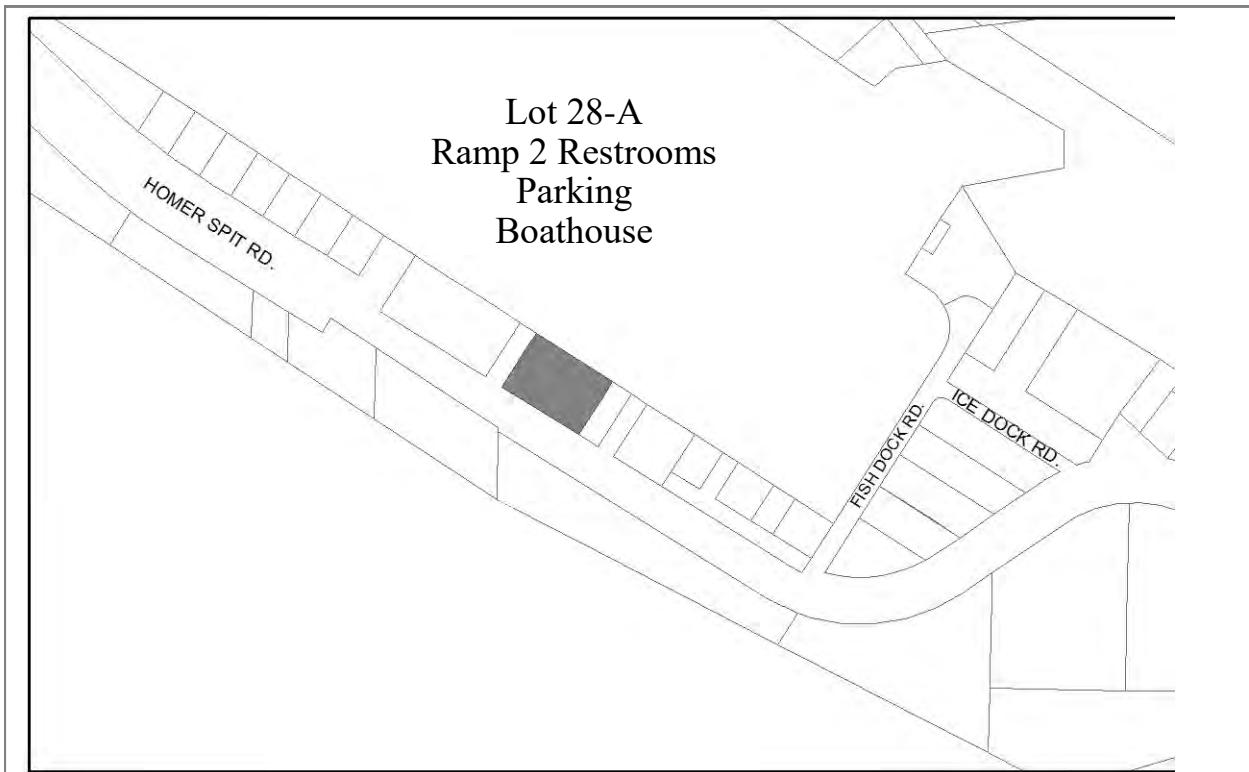
Notes:

Resolution 2007-51 Lot 13: Continue its current use as gear storage and cargo staging for Deep Water Dock cargo.

Finance Dept. Code:



Designated Use: Commercial Truck Staging	
Acquisition History:	
Area: 1.12 acres	Parcel Number: 18103259
2019 Assessed Value: \$467,900	
Legal Description: T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0970072 HOMER SPIT NO 6 8-D-1	
Zoning: Marine Industrial	Wetlands: N/A
Infrastructure: Gravel road access, water and sewer	
<p>Notes:</p> <p>Resolution 2007-51: Lot 8D1 should be reserved for a marine related business which could include a petroleum products tank farm and a pipeline out to the (expanded) Deep Water Dock. This lot to be RFP's at the appropriate time for this type of marine support activity.</p> <p>2014 construction of guard shack for Deep Water Dock, restrooms and picnic facility, completion of Spit Trail, and paved the lot for dock staging.</p>	
Finance Dept. Code:	



Designated Use: Parking, restrooms and boathouse (Reso 16-043)
Acquisition History:

Area: 0.93 acres	Parcel Number: 18103397
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2019 Assessed Value: \$827,500 (Land: \$177,00 Structures: \$650,500)

Legal Description: Homer Spit Subdivision Amended Homer Boathouse Replat Lot 28-A

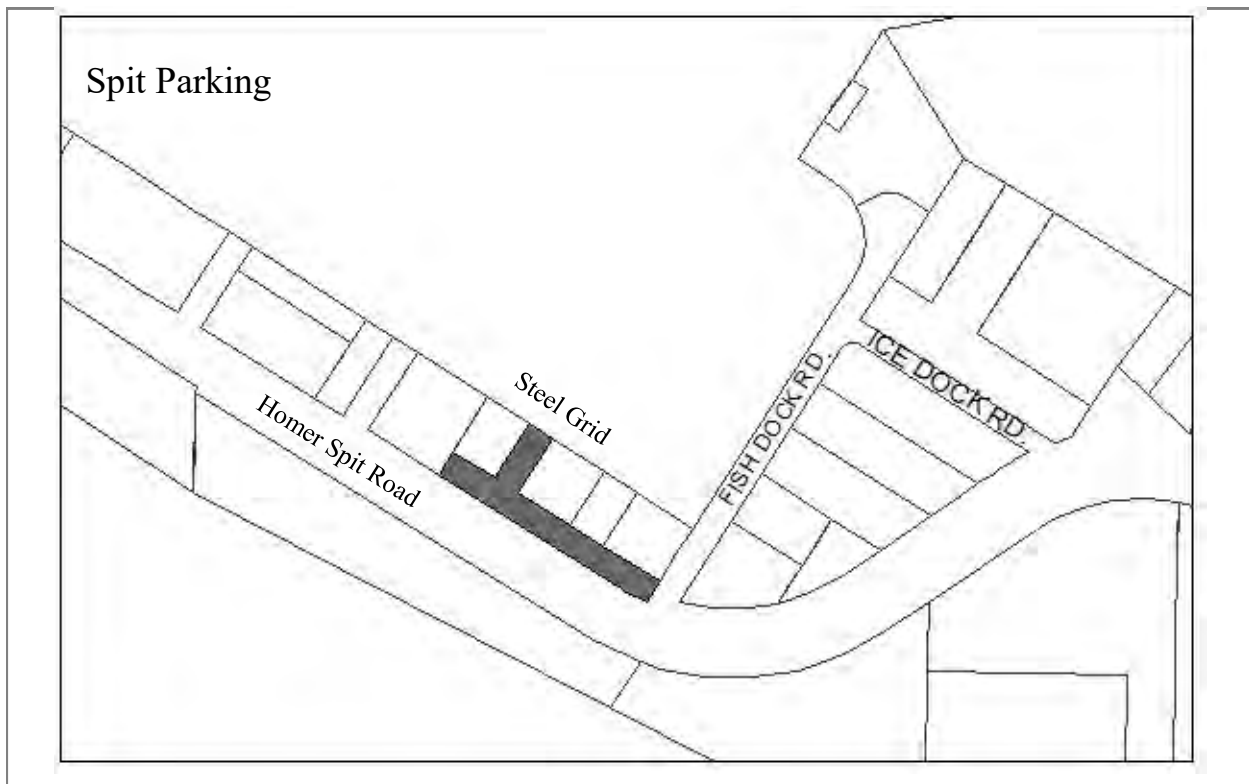
Zoning: Marine Commercial	
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Infrastructure: Paved road, gas, water and sewer

Former site of Harbormaster Office.
 Boat house constructed 2017/18 on a portion of the property.

Original Restrooms built in 1974. Property was part of a Land and Water Conservation Fund Grant in 1972, Project #02-00072. Land may be required to remain parkland in perpetuity. New restrooms constructed 2018-2019, LWCF agreement amended.

Finance Dept. Code:



Designated Use: Parking and Access
Acquisition History:

Area: 0.6 acres	Parcel Number: 18103441
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2019 Assessed Value: \$165,300

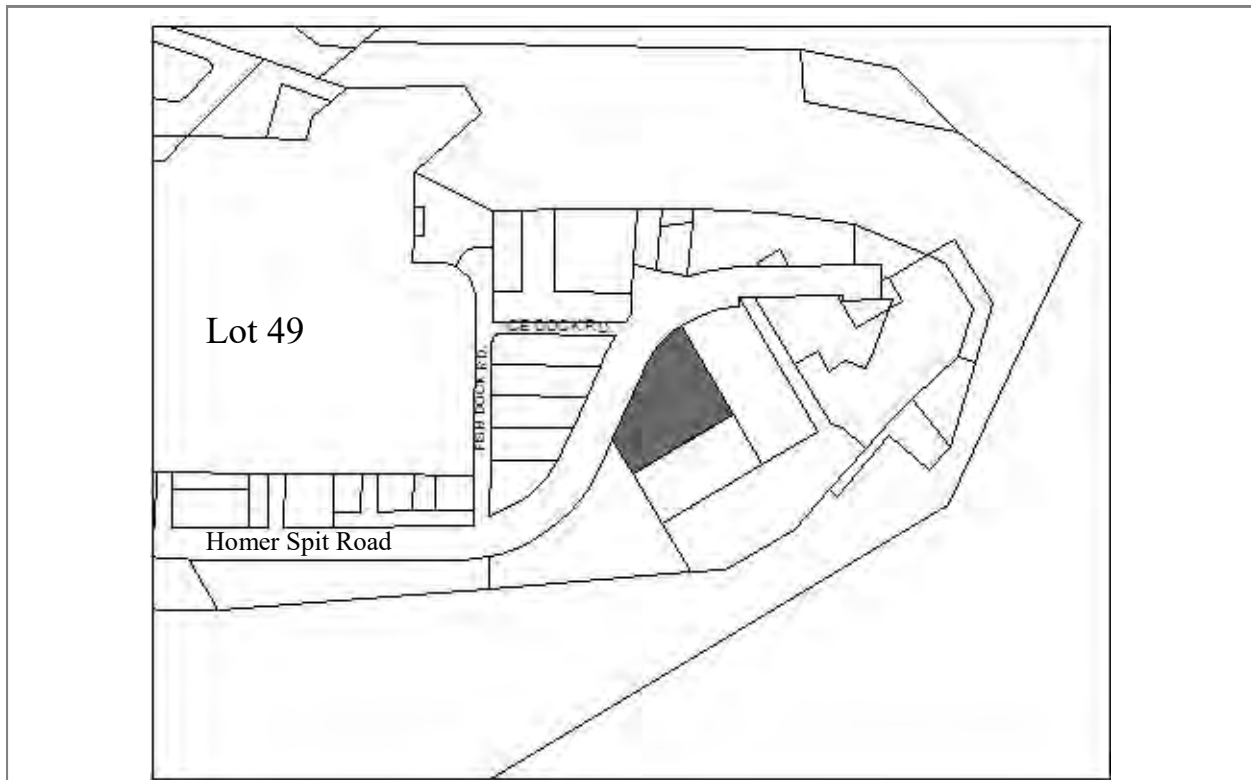
Legal Description: T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0920050 HOMER SPIT SUB NO TWO AMENDED PARKING AND ACCESS AREA

Zoning: Marine Commercial	Wetlands: N/A
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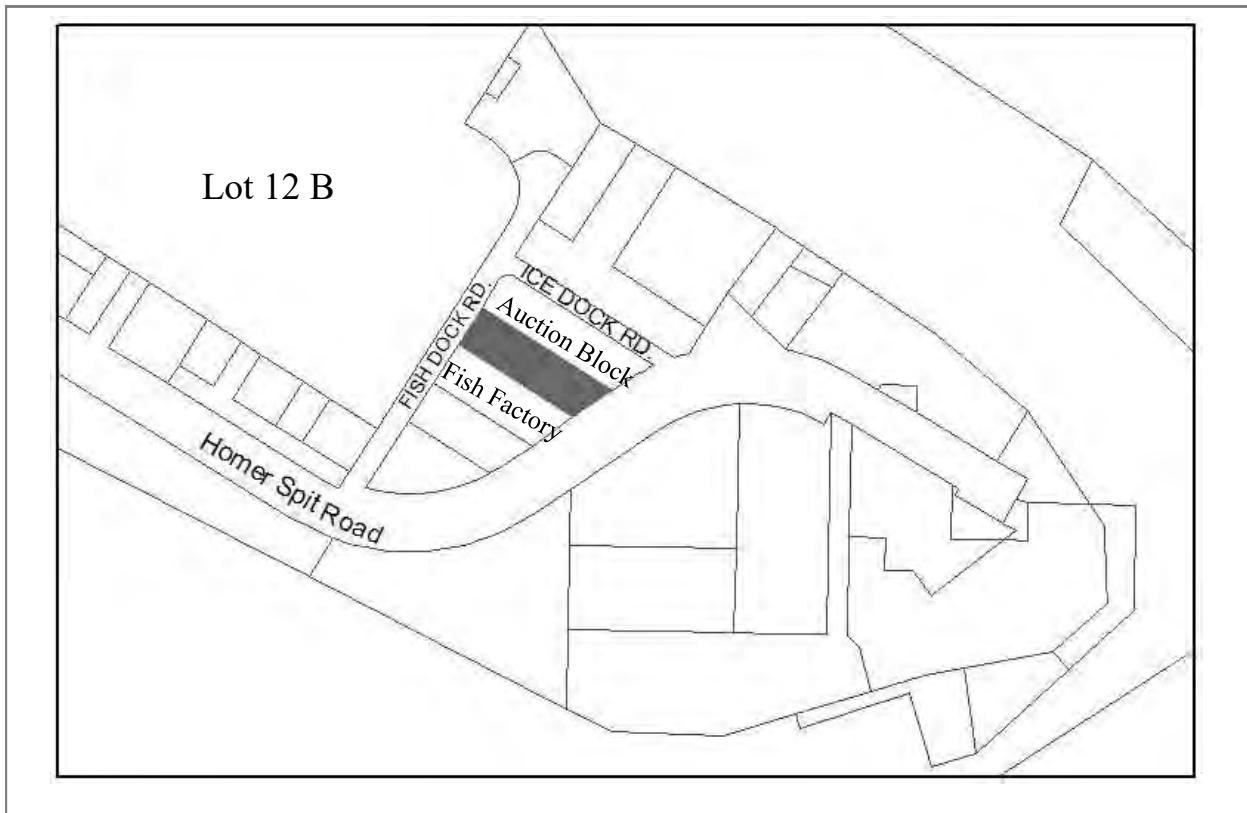
Infrastructure: Paved road

Notes:
 Provides parking for adjacent businesses, and harbor access.

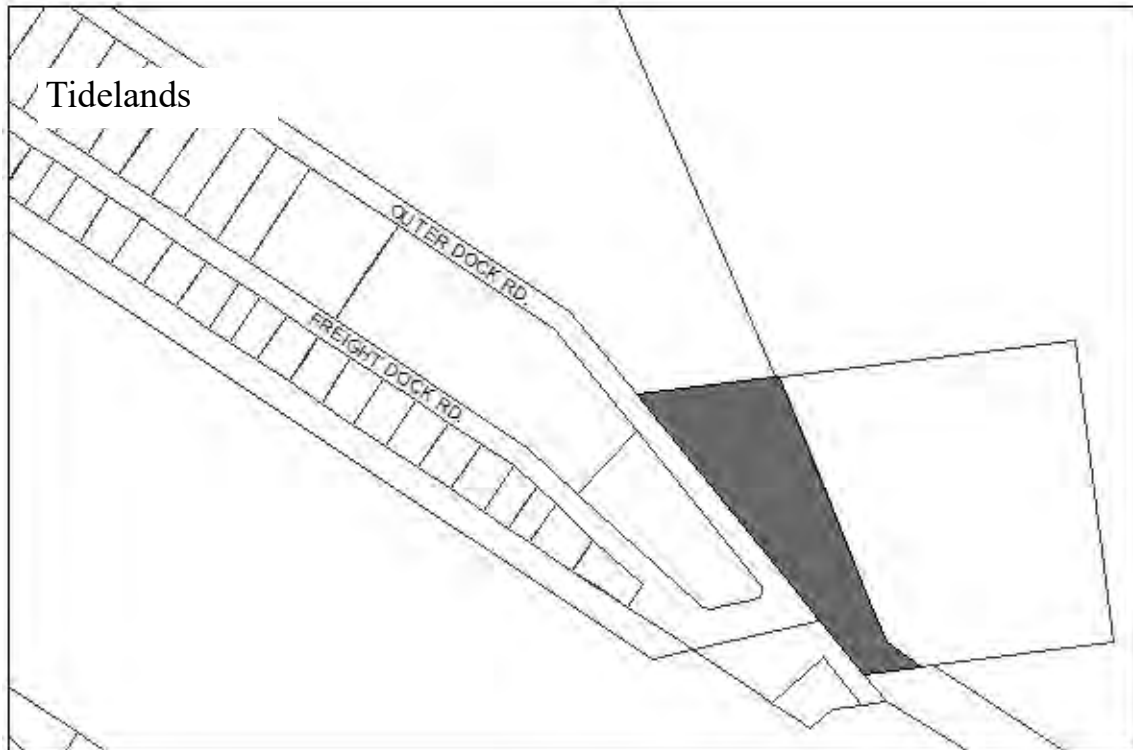
Finance Dept. Code:



Designated Use: Main Dock Staging	
Acquisition History:	
Area: 2 acres	Parcel Number: 18103403
2019 Assessed Value: \$346,900	
Legal Description: T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 49	
Zoning: Marine Industrial	Wetlands: N/A
Infrastructure: Paved road, gas, water and sewer	
Notes: Resolution 2007-51: Continue to use for dredge material dewatering.	
Finance Dept. Code:	



Designated Use: Leased Lands	
Acquisition History:	
Area: 0.68 acres	Parcel Number: 18103451
2019 Assessed Value: \$196,200	
Legal Description: City of Homer Port Industrial Subdivision No 4 Lot 12-B	
Zoning: Marine Industrial	
Infrastructure: Water, sewer, paved road access	Address:
<p>Parcel has the fish grinder on it, and possibly a short term lease for storage from neighboring business. The whole parcel is not readily available for a long term lease.</p> <p>Resolution 09-33: Remove Lot 12-B City of Homer Port Industrial Subdivision No 4 from lots that may be leased until the drainage issues are resolved.</p> <p>Resolution 10-21: Administration is directed to address the drainage problems and usage of this lot.</p>	
Finance Dept. Code:	



Designated Use: Tidelands
Acquisition History:

Area: 4.19 acres

Parcel Number: 18103213

2019 Assessed Value: \$5,000

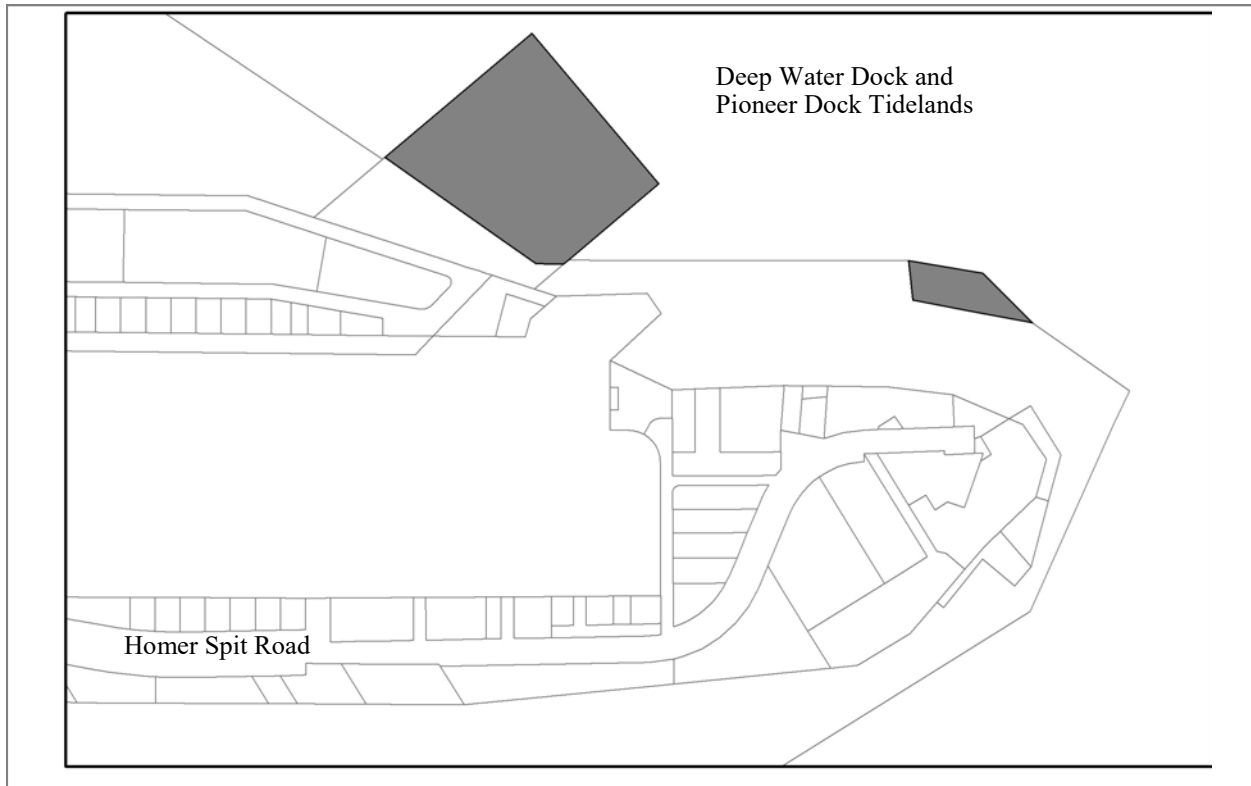
Legal Description: T 6S R 13W SEC 36 T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0920050 HOMER SPIT SUB NO TWO AMENDED TRACT A

Zoning: Not zoned

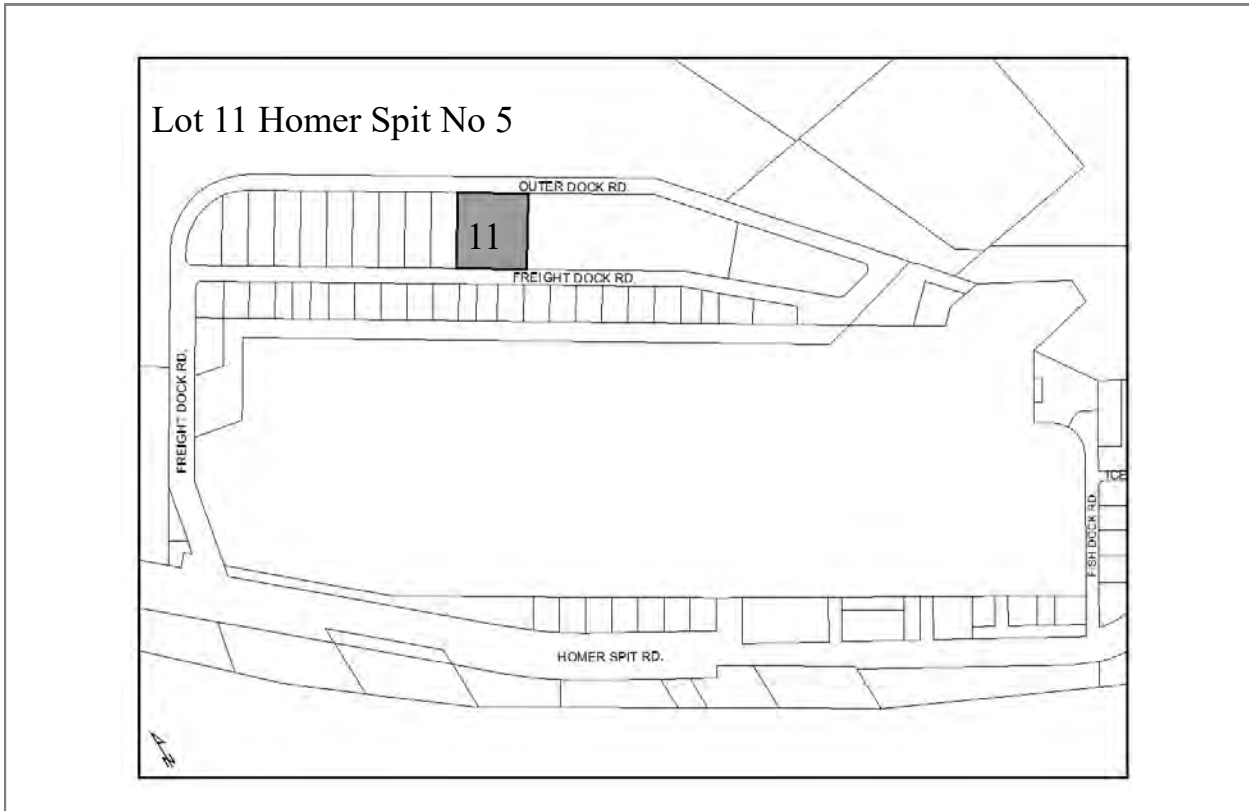
Wetlands: Tidelands

Infrastructure:

Finance Dept. Code:



Designated Use: Port and Harbor Use	
Acquisition History: Resolution 17-81	
Area: 11.91 acres, 1.37 acres	Parcel Number: 18103203, 18107005
2019 Assessed Value: \$5,754,500	
Legal Description: ATS 1373 and ATS 1603	
Zoning: Outside city limits	Wetlands: N/A
Infrastructure:	
Notes: Acquired from the State of Alaska	
Finance Dept. Code:	

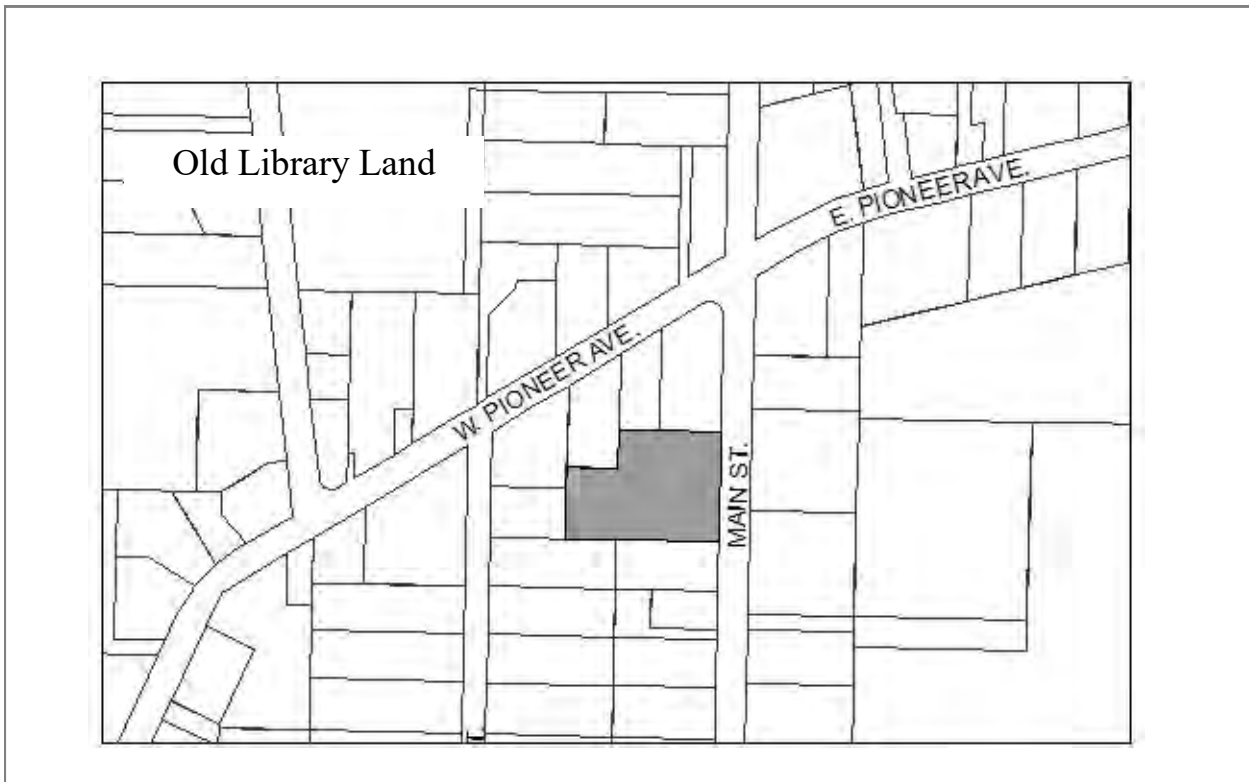


Designated Use: Port Facility	
Acquisition History:	
Area: 1.78 acres. A small portion is leased for a telecommunications tower	Parcel Number: 18103230
2019 Assessed Value: \$194,900	
Legal Description: Homer Spit Subdivision No. 5 Lot 11	
Zoning: Marine Industrial	
Infrastructure: Water, sewer, paved road access	Address: 4300 Freight Dock Road
<p>A portion of Lot 11 is under lease for a telecommunications tower. (18103230LH01)</p> <p>This lot is withheld from long term lease pending the General Investigation Study with ACOE for the Large Vessel Moorage Facility. (Resolution 20-19)</p>	
Finance Dept. Code:	

Section D
City Facilities and Other Lands

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Designated Use:	
Area:	Parcel Number:
2015 Assessed Value:	
Legal Description:	
Zoning:	Wetlands:
Infrastructure:	
Notes:	
Finance Dept.	



Designated Use: City Facility and Other Lands (Resolution 20-019)
Acquisition History: Deed: Jewel July 1982 (back lot portion) Deed: Watson 1978 (library/Pioneer area)

Area: 1.31 acres	Parcel Number: 17514416
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2019 Assessed Value: \$69,400

Legal Description: T 6S R 13W SEC 19 SEWARD MERIDIAN HM 2008016 HOMER PUBLIC LIBRARY NO 2 LOT 2

Zoning: Central Business District	Wetlands: Drainage and wetlands may be present
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Infrastructure: Paved road, water, sewer, natural gas

Notes: This land was formerly part of the old library site. The library building was subdivided onto its own lot, and sold.

The land has a nice bay view, but would require stumping. Driveway access off of Main Street is very steep. It is likely significant dirt work would be needed to make this lot viable for commercial or multifamily development.

Finance Dept. Code:



Designated Use: Library. Resolution 2003-72
Acquisition History: KPB Ord 93-09

Area: 5.25 acres

Parcel Number: 17710739, 17710740

2019 Assessed Value: \$8,248,000 (Land 272,600, Structure 7,975,400)

Legal Description: HM2005036 T06S R13W S20 TRACT B GLACIER VIEW SUB NO 26, HM2005036 T06S R13W S20 TRACT A GLACIER VIEW SUB NO 26

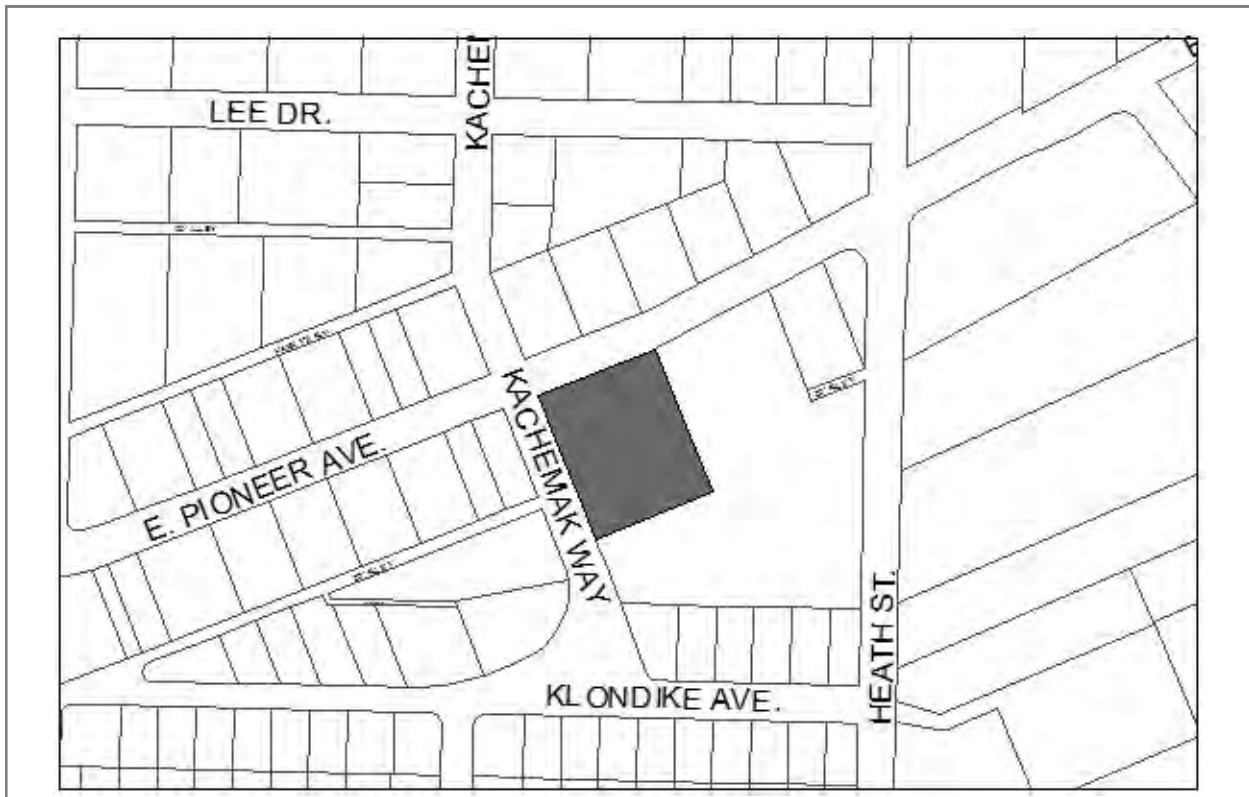
Zoning: Central Business District

Wetlands: Some wetlands present

Infrastructure: Paved road access, trail access, gas, water and sewer available.

Notes:

Finance Dept. Code:



Designated Use: City Hall
Acquisition History: Purchased, Schoulz 12/31/86

Area: 1.12 acres	Parcel Number: 17720408
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2019 Assessed Value: \$2,377,700 (Land 188,800 Structure 2,218,900)

Legal Description: HM2004048 T06S R13W S20 Glacier View Subdivision Campus Addition Lot 6-A-2

Zoning: Central Business District	Wetlands: None
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Infrastructure: Paved road access, gas, water and sewer.

Notes: New addition and remodel 2011/12. Lower parking area paved.

Finance Dept. Code:



Designated Use: Fire Station and former police station
Acquisition History: Straub Warr Deed 4/74, partial purchase Straub 4/5/74

Area: 1.57 acres	Parcel Number: 17702057
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2019 Assessed Value: \$1,567,900 (Land: \$224,900 Structures: \$1,303,300)

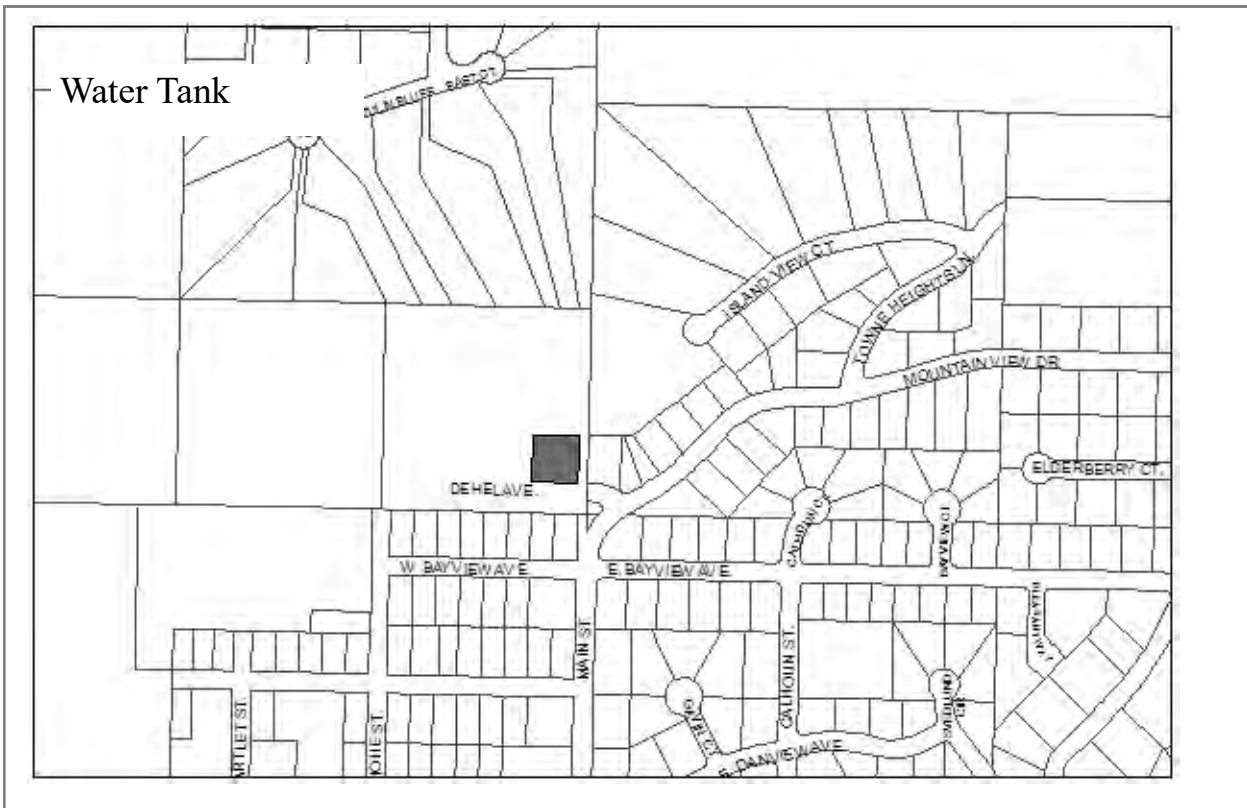
Legal Description: HM 0870011 NEW HOMER HIGH SCHOOL NO 2 Tract 1-B

Zoning: Central Business District	Wetlands: N/A
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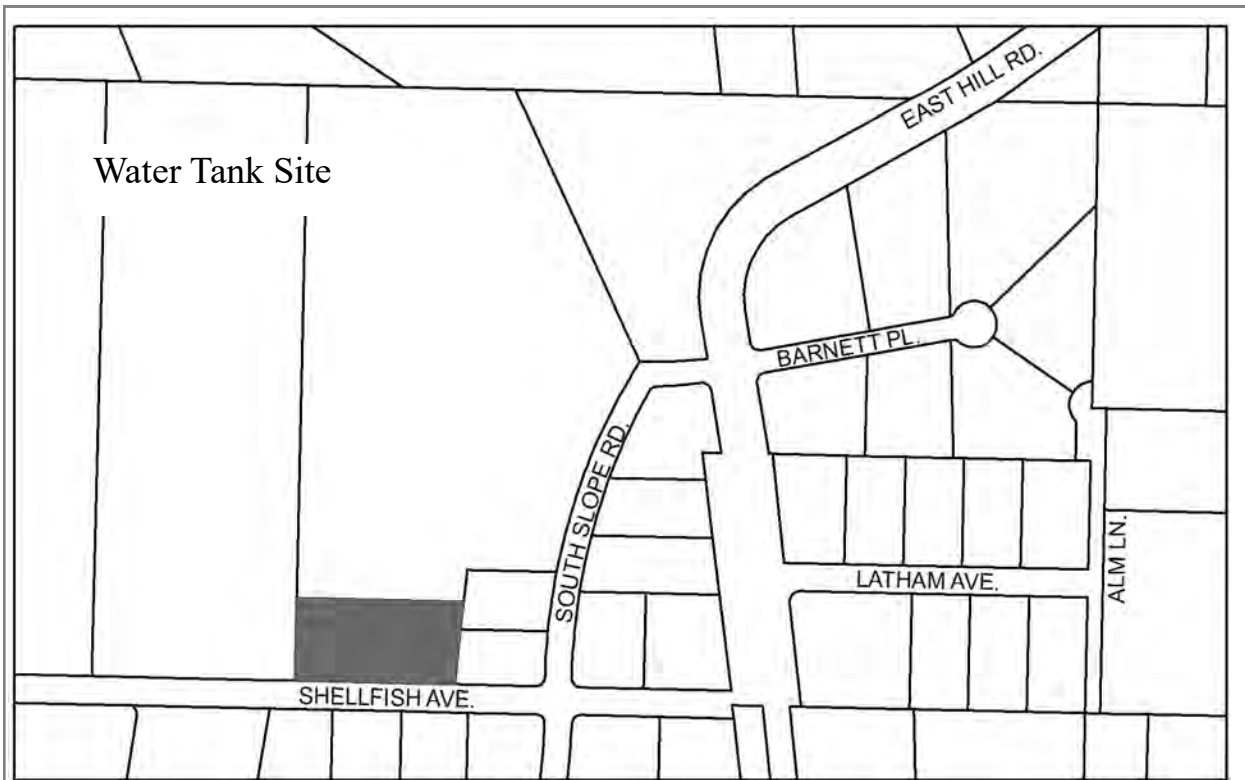
Infrastructure: Water, Sewer, Paved access

Notes: Fire hall remodel 2017/2018
 Resolution 20-031 assigned management and use of the former police station to the Homer Volunteer Fire Dept

Finance Dept. Code:



Designated Use: Water Tank (A Frame Tank)	
Acquisition History: Dehel Deed 6/1/65	
Area: 0.5 acres	Parcel Number: 17504011
2019 Assessed Value: \$480,900 (Land: \$134,100, Structure: \$346,800 (water tank))	
Legal Description: HM T06S R13W S18 N 150 FT OF THE S 250 FT OF THE E 180 FT OF THE NE1/4 SE1/4	
Zoning: Rural Residential	Wetlands: Possible drainage through site
Infrastructure: N/A	
Notes:	
Finance Dept. Code:	



Designated Use: Future Water Tank
Acquisition History: Ordinance 14-39

Area: 1.5 acres

Parcel Number: 17701009

2019 Assessed Value: \$82,000

Legal Description: T6S R13W SEC 17 SEWARD MERIDIAN HM 2014023 BARNETT SUB QUIET CREEK ADDN 2014 TRACT A2

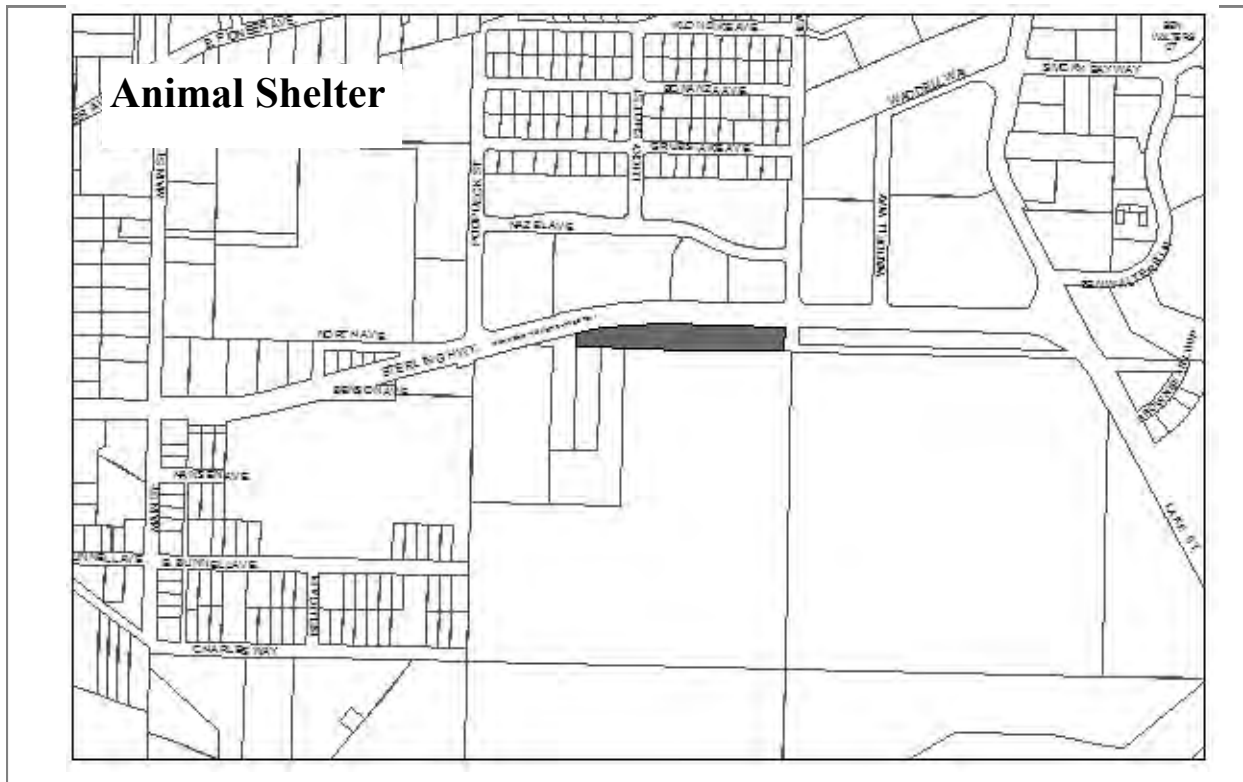
Zoning: Rural Residential

Wetlands:

Infrastructure: N/A

Notes: Future location of a new water tank. Project is shovel ready if federal funding becomes available.

Finance Dept. Code:



Designated Use: Animal Shelter
Acquisition History: Heath Deed 3/10/71

Area: 1.85 acres	Parcel Number: 17714020
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2019 Assessed Value: \$1,474,100 (Land \$311,700, Structure \$1,162,400)

Legal Description: Glacier View Subdivision No 18 Lot 1

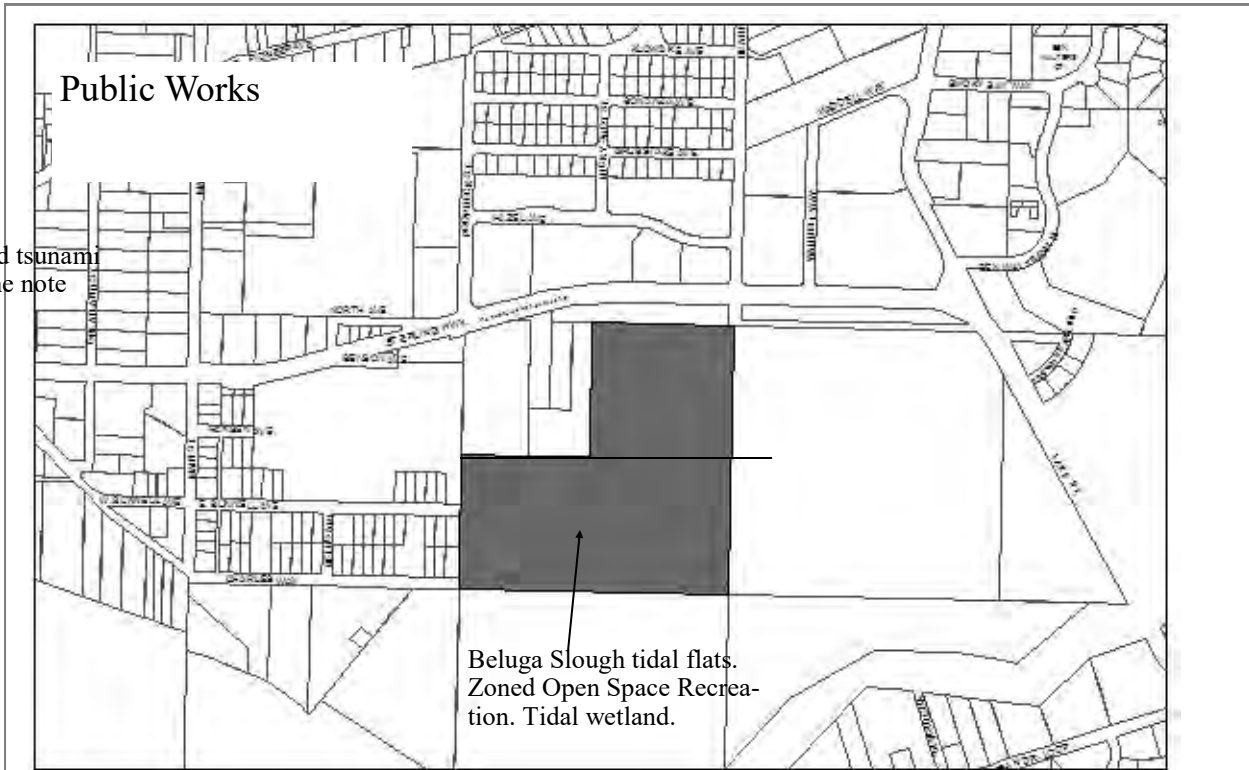
Zoning: Central Business District	Wetlands: N/A
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Infrastructure: Water, Sewer, gas, gravel access via Public Works

Notes: Also includes landscaped area along the Sterling Highway maintained by Parks and Recreation, and named Superintendent's Park.

 Constructed in 2004. 3,828 sq feet.

Finance Dept. Code:



Designated Use: Public Works
Acquisition History: Heath Dead 3/10/71

Area: 30 acres	Parcel Number: 17714016
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2019 Assessed Value: \$4,567,700 (Land: \$2,973,600, Structures: \$1,594,100)

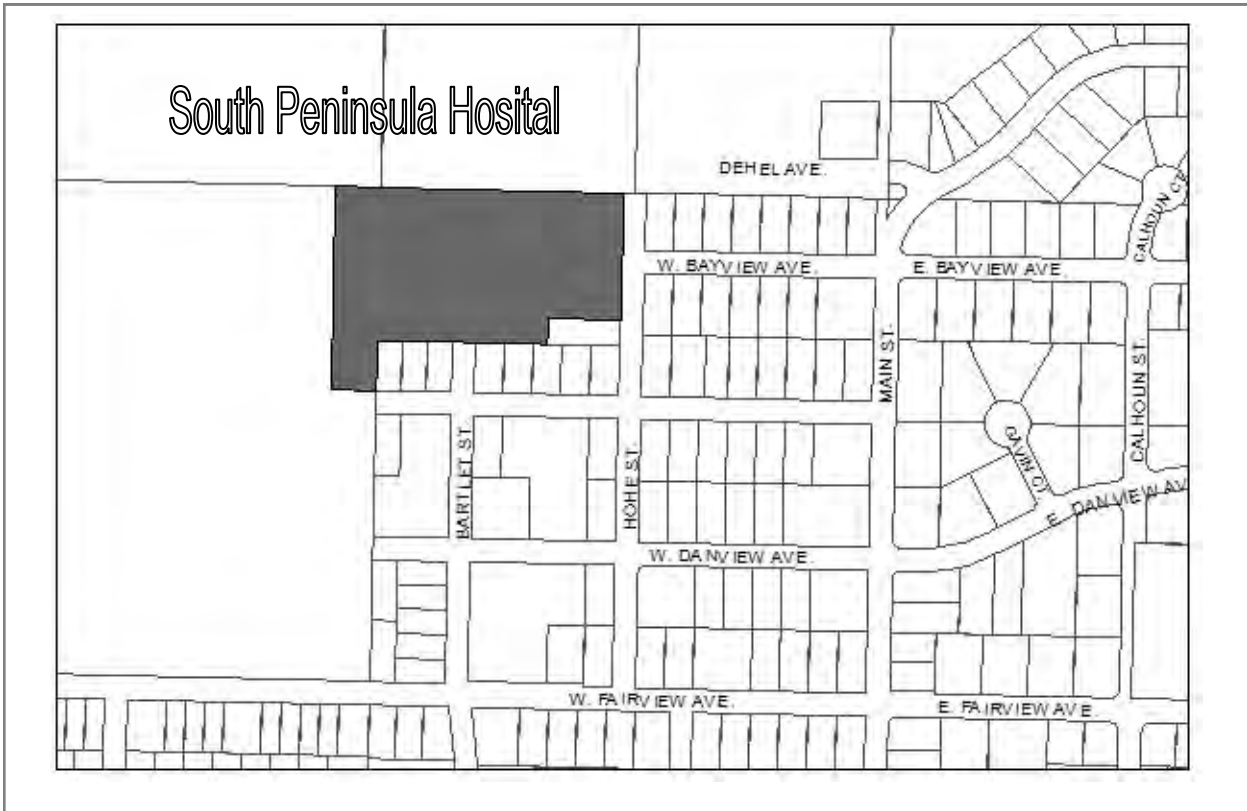
Legal Description: T 6S R 13W 4EC 20 SEWARD MERIDIAN HM NE1/4 NE1/4 SW1/4 & S1/2 NE1/4 SW1/4

Zoning: Central Business/Open Space	Wetlands: Yes
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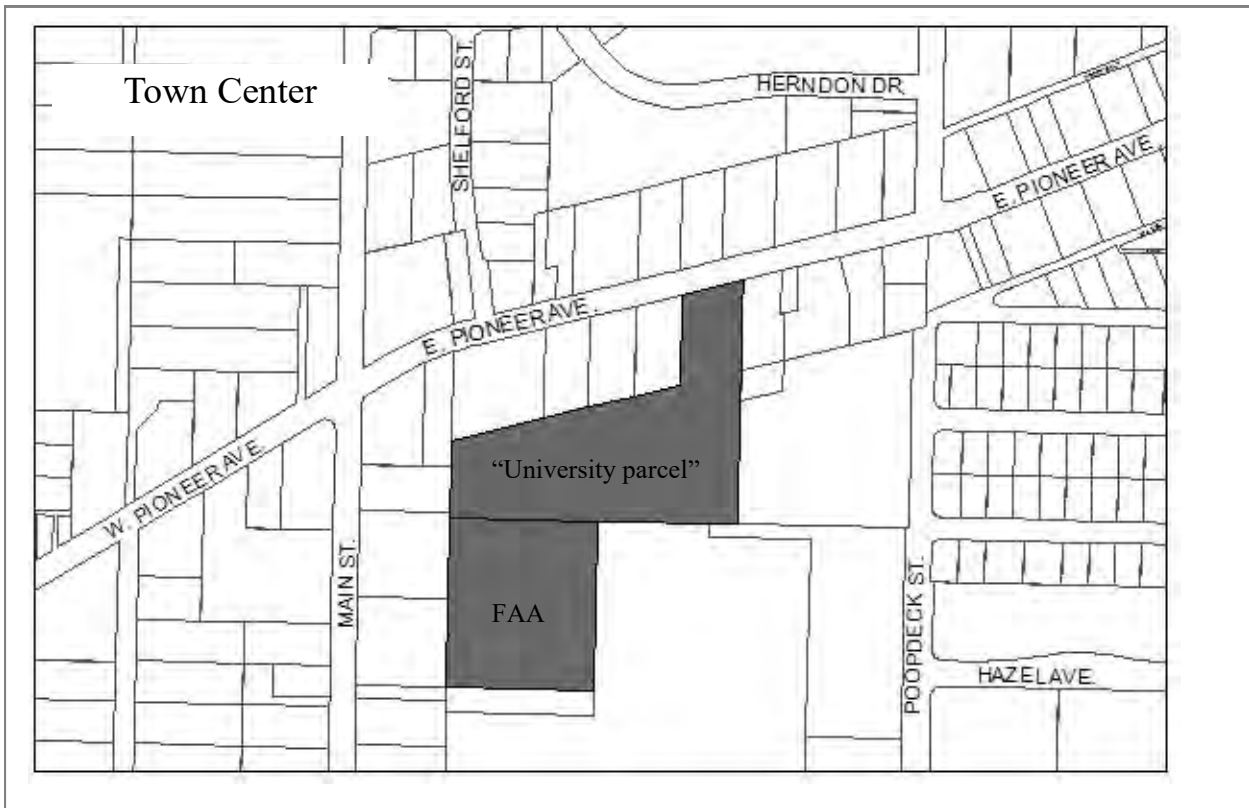
Infrastructure: Paved Road, water and sewer

Notes:
 Within a FEMA mapped flood hazard area.
 Lower portion of lot also nominated for inclusion in the Western Hemisphere Shorebird Reserve network, Resolution 15-064.
 2015/16: Equipment shed constructed, Conditional Use Permit 15-02.

Finance Dept. Code:



Designated Use: South Peninsula Hospital	
Acquisition History:	
Area: 7.12 acres	Parcel Number: 17504024
2019 Assessed Value: \$87,292,800 (Land \$705,800, Structures \$86,587,000)	
Legal Description: HM02008092T06S R13W S18 SOUTH PENINSULA HOSPITAL SUB 2008 Addition Tract A2	
Zoning: Medical District	Wetlands: N/A
Infrastructure: Water, sewer, paved road access	
Notes: Ordinance 2006-036 leased the land to the Kenai Peninsula Borough for 99 years. Structure is owned by KP.B.	
Finance Dept. Code:	



Designated Use: UA land: Land was sold to the City by UA with the intent it would be used for town center. FAA site: Held for possible UA/state shared consortium library agreement and land trade for land at Bridge Creek. Resolution 14-084 Identifying Homer FAA Site Sub Tract 38A in the Town Center as a Viable Location for a Community Center.

Acquisition History: UA: Ord 03-61 purchase.

Area: 7.69 acres

Parcel Number: 17719234, 17708015

2019 Assessed Value: \$382,800

Legal Description: Homer FAA Site Sub Tract 38A, UA lot: Nils O Svedlund Sub 2013 Replat lot 7-A tract B, long legal.

Zoning: Town Center District

Wetlands: City had a wetland delineation done in 2006. There is about a 1/2 acre of wetlands between the two sites.

Infrastructure: Must be built as land is developed.

Trail constructed on Lot 7-A, connecting north to Pioneer Ave (2019)

Finance Dept. Code:



Designated Use: Tidelands. Very small portion leased to Northern Enterprises for boat hoist, 2019
Acquisition History:

Area: 6,784 acres

Parcel Number: 18107001, 17728001, 17528001
 18101025, 18101026

2019 Assessed Value: \$12,753,300

Legal Description: Portions of ATS 612

Zoning: Not zoned

Wetlands:

17728001—HM0742265 T06S R13W S29 ALASKA TIDELAND SURVEY 612 . 499.54 acres, \$96,500 assessed value. Patent title 1977, 84-25 Annexed by City.

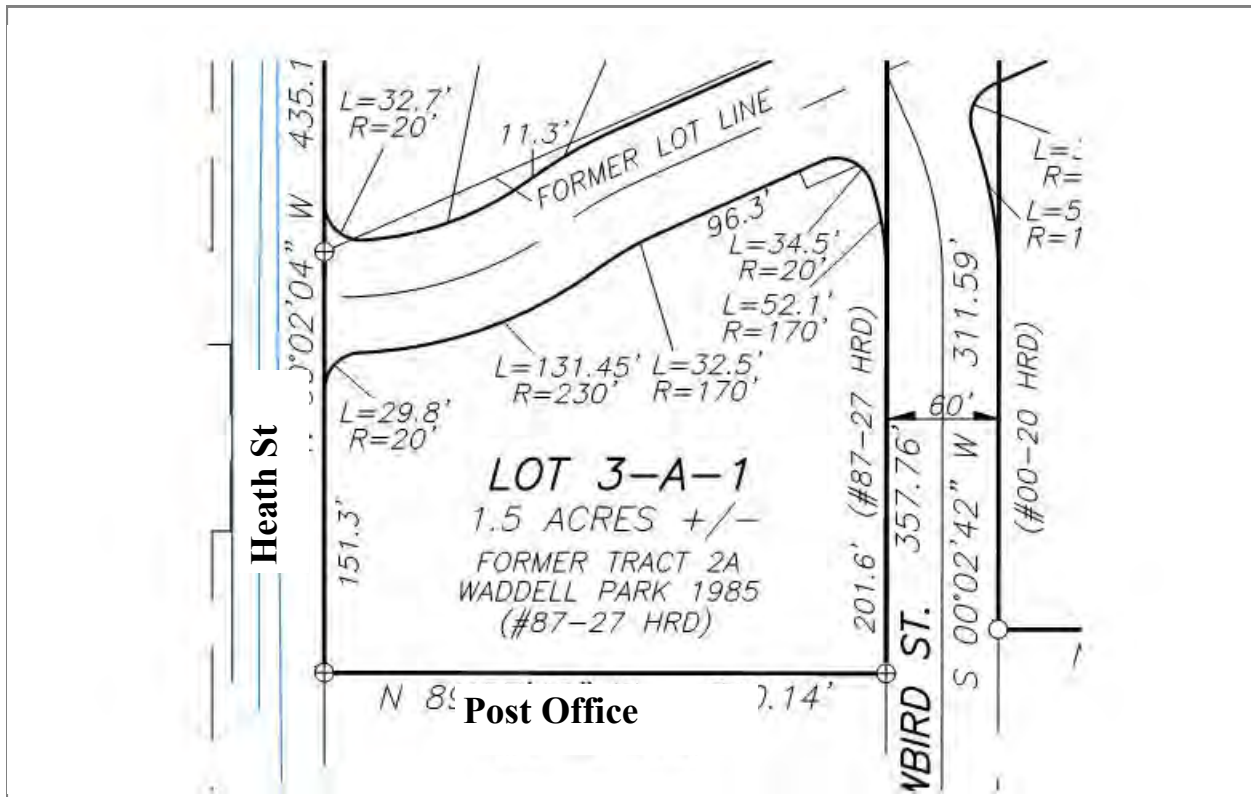
17528001 HM0770064 T06S R14W S30 ALASKA TIDELANDS SURVEY NO 612 POR SEC 23 24 & POR SEC 19 & 30. 1641.24 acres. Assessed Value: \$316,700. City Granted Title 1977 under Preference Right effective 1/3/59 Ord 84-25 Annexed by City.

18107001—HM0770064 T07S R13W S14 ALASKA TIDELANDS SURVEY 612 THAT PORTION LYING WITHIN SEC 13 & 14 & 22 THRU 24 & 26 THRU 28 & 33 THRU 36 OF T06SR13W & WITHIN SEC 1 & 2 OF T07SR13W EXCLUDING THAT PORTION OF TIDELANDS VESTED TO STATE OF ALASKA & EXCE. 4753 acres. \$12,154,100, includes Pioneer Dock improvements

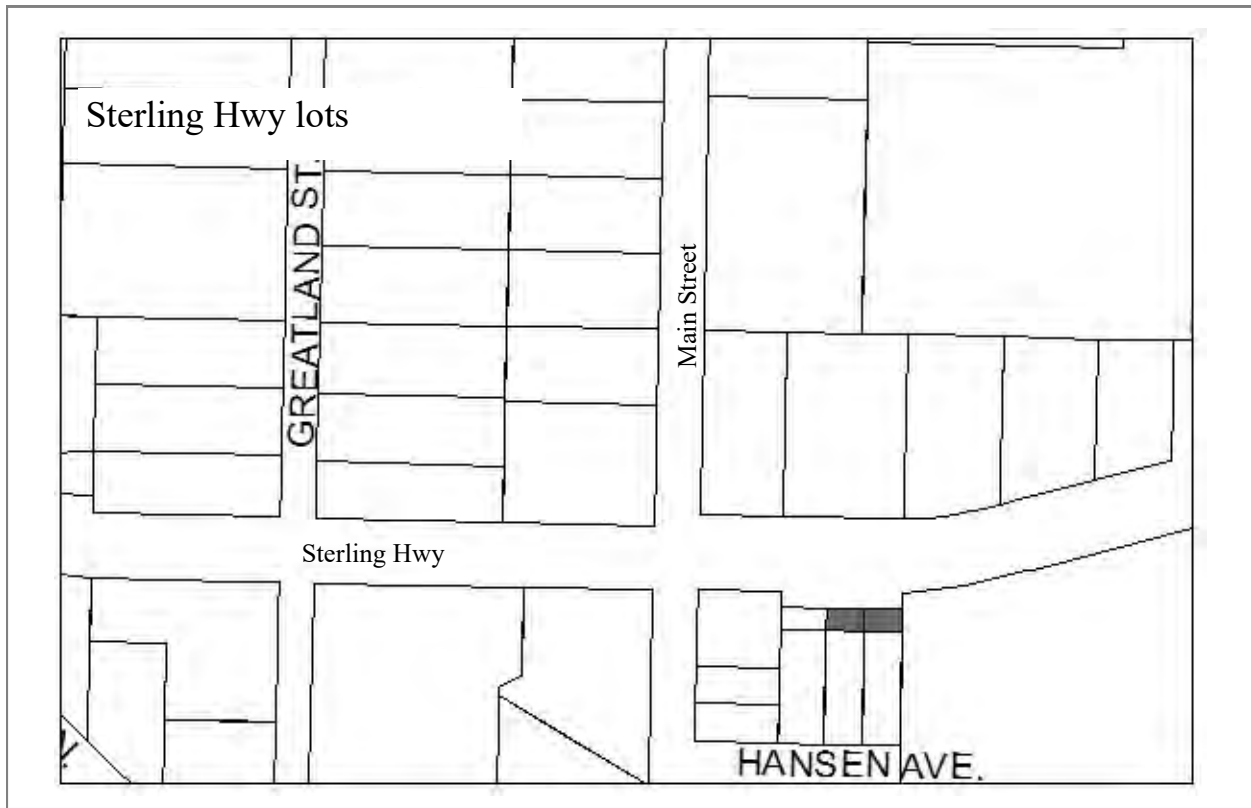
Patent 1974 002459-0 Book 80 Page 171

Mariner Park and Mud Bay were nominated by the City as Western Hemisphere Shorebird Reserve Sites in 1994 ("whissern"). They are recognized as sites of international importance. <http://www.whsrn.org/>

Finance Dept. Code:



Designated Use: New Police Station Resolution 18-013(A)	
Acquisition History: Purchased	
Area: 1.5 acres	Parcel Number: 17712034
2020 Assessed Value: \$1,922,500	
Legal Description: T 06S R 13W SEC 20 Seward Meridian HM 2016021 WADDELL PARK 2016 REPLAT LOT 3- A-1	
Zoning: CBD	Wetlands: N/A
Infrastructure: full utilities, Grubstake extension will include paved road and sidewalk.	
Notes: Road construction in 2016. Project funding from State appropriation and matching City HART funds. New police station construction 2019-2020, opened fall 2020.	
Finance Dept. Code:	



Designated Use: Undesignated
Acquisition History: Detling Deed 6/10/82

Area: 0.03 acres each. Total of 2,613 sq ft	Parcel Number: 177154 02, 03
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2019 Assessed Value: \$2,600

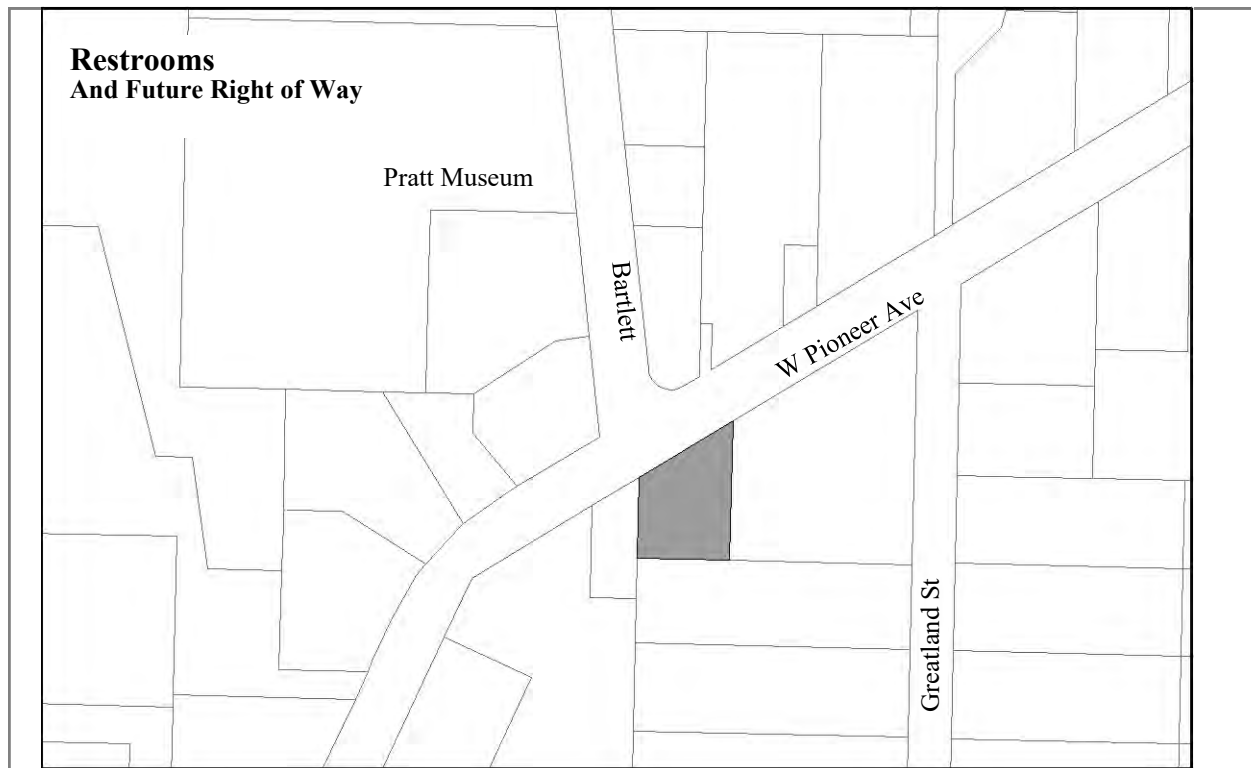
Legal Description: T6S R 13W SEC 20 SEWARD MERIDIAN HM 0670365 W R BENSON SUB AMENDED LOT 46 EXCLUDING HOMER BY-PASS ROAD, T 6S R 13W SEC 20 SEWARD MERIDIAN HM 0670365 W R BENSONS SUB AMENDED LOT 47 EXC HOMER BY-PASS RD*

Zoning: Central Business District	Wetlands: Possibly. Lots are steep.
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Infrastructure: Paved Road and sidewalk

Notes: Lots are steep; they run from the Sterling Highway grade down the slope to the adjoining property. Lot dimensions are approximately 50'x30'.

Finance Dept. Code:



Designated Use: Restroom and Future right of way
Acquisition History: Ordinance 2012-42

Area: 0.27 acres	Parcel Number: 17514301
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2019 Assessed Value: \$77,300

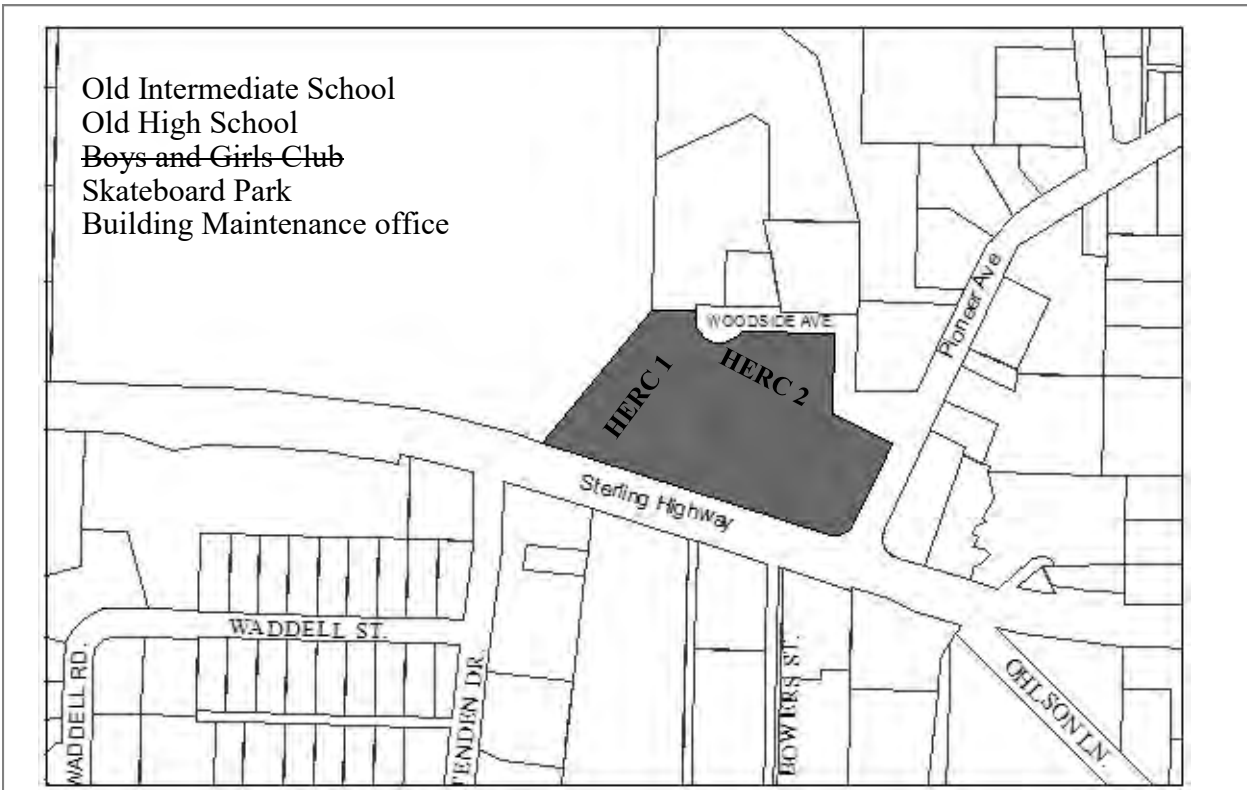
Legal Description: T 6S R 13W SEC 19 SEWARD MERIDIAN HM 000049 BUNNELLS SUB LOT 75

Zoning: Central Business District	Wetlands: Yes
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Infrastructure: Paved Road, water and sewer

Notes:
 Public restroom constructed 2013-2014
 Future road extension for Bartlett.

Finance Dept. Code:



Designated Use: City Facility and other city lands (Resolution 20-019)

Acquisition History: Given to the City by KPB. Old Middle School and HS. Reso 98-63

Area: 4.3 acres	Parcel Number: 17510070
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2019 Assessed Value: \$4,724,700 (Land \$724,700 Structure, built in 1956 25,000 sq ft \$4,000,000)

Legal Description: HM2000022 T06S R13W S19 TRACT 2 HOMER SCHOOL SURVEY 1999 CITY ADDN

Zoning: Central Business District	Wetlands: Creek on western edge
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Infrastructure: Paved access and parking. Water and Sewer.

Notes:

- Skateboard Park on premises.
- Deed restrictions removed by Kenai Peninsula Borough, fall 2014
- HERC 1 is the larger building
- HERC 2 is the smaller building that contains PW Maintenance

Finance Dept. Code: 170.0032 175.100.05



Designated Use: Storm Water Retention Area (Resolution 20-059)

Area: 0.32 acres

Parcel Number: 17510230
935 Soundview Ave

2020 Assessed Value: \$0

Legal Description: T 6S R 13W SEC 19 SEWARD MERIDIAN HM 2007031 FOOTHILLS SUB SUNSET VIEW ESTATES ADDN NO 2 PHASE ONE LOT 2 BLOCK 2

Zoning: Rural Residential

Wetlands: Yes; part of an ACOE permit

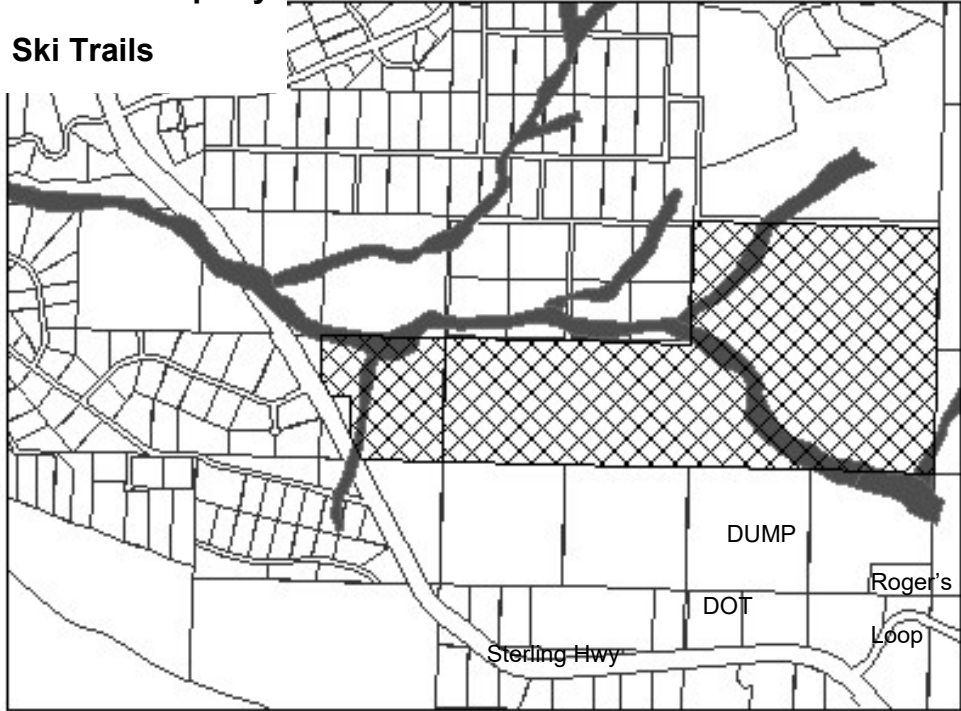
Infrastructure:

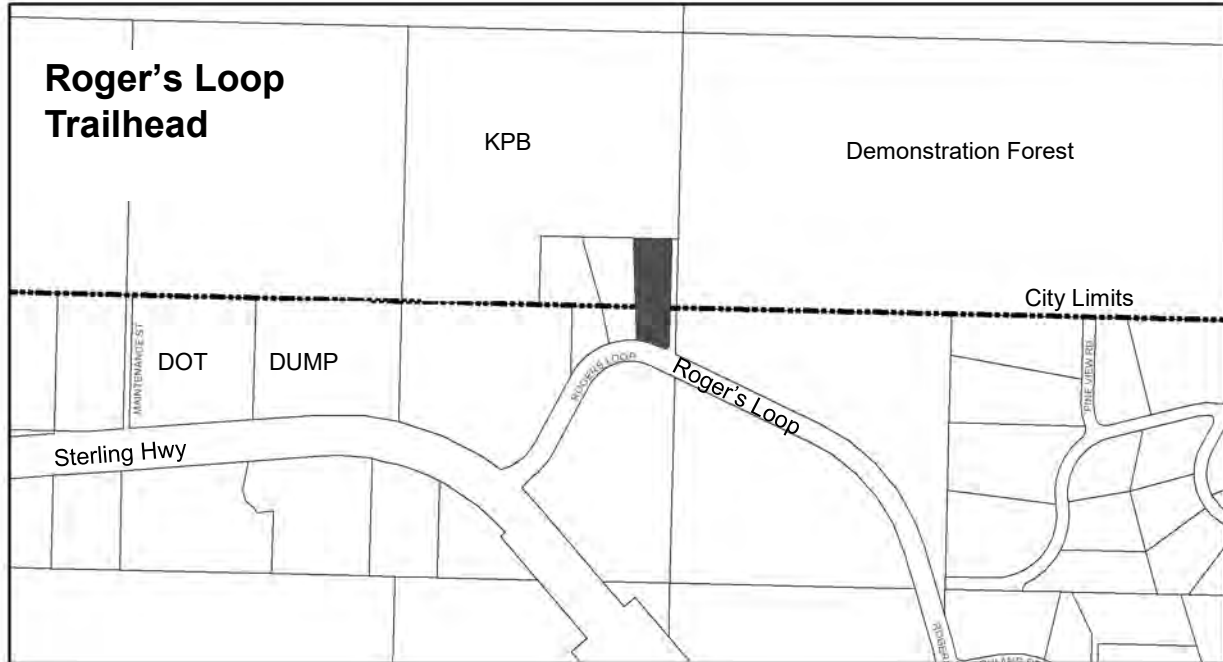
Notes: Parcel is part of the storm water infrastructure for the subdivision and is bound by an ACOE permit. Property is mostly used as a storm water retention area.

Finance Dept.

Section E

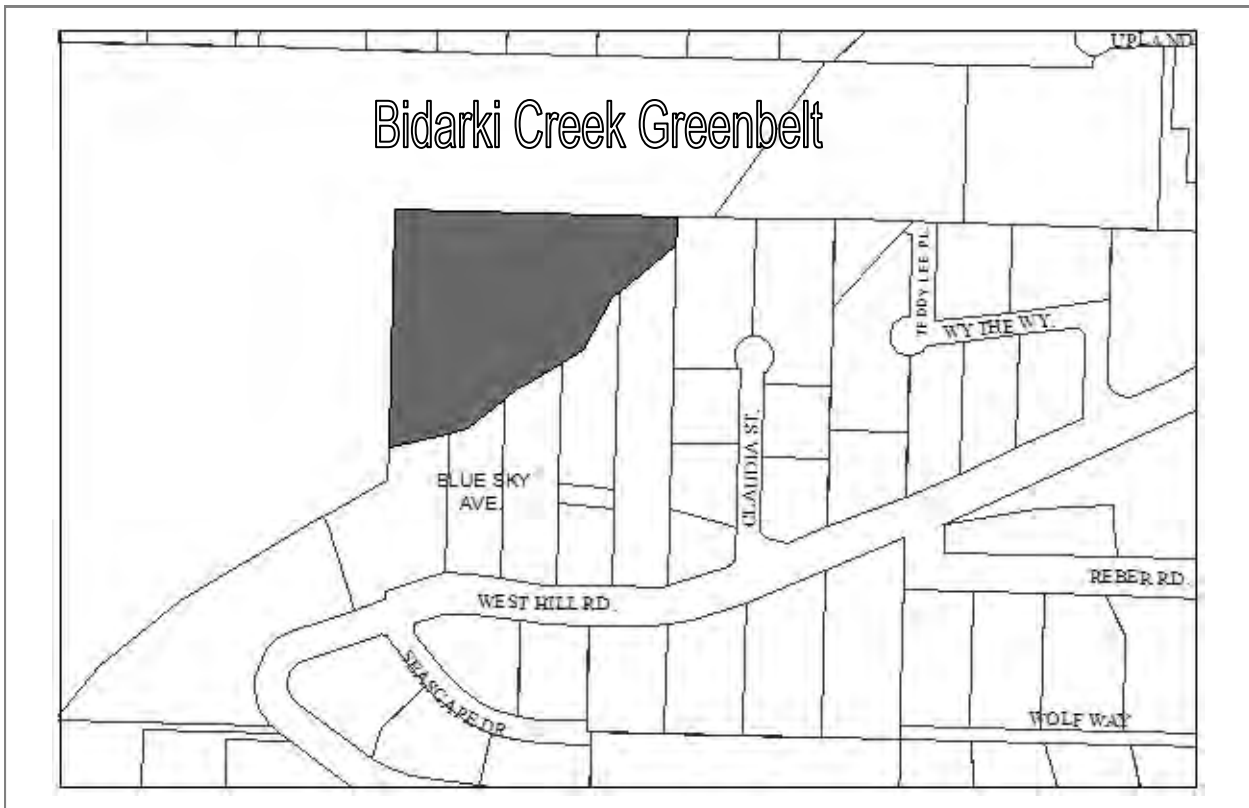
Parks + Beaches
Cemeteries + Green Space

<p>Diamond Creek Property</p> <p>Ski Trails</p> 	
<p>Designated Use: Public Purpose for park land Acquisition History: Ordinance 07-03. Forest Legacy grant/KHLT/long term public ownership</p>	
<p>Area: 273 acres (240 acres and 33 acres)</p>	<p>Parcel Number: 17302201, 17303229</p>
<p>2019 Assessed Value: \$241,900</p>	
<p>Legal Description: HM T06S R14W S09 SE1/4 EXCLUDING THE W1/2 SW1/4 SE1/4 SE1/4 and HM T06S R14W S10 SE1/4 & S1/2 SW1/4.</p>	
<p>Zoning: Not in city limits</p>	<p>Wetlands: Yes. Diamond Creek flows through these lots. Larger lot is mostly wetland.</p>
<p>Infrastructure: Limited legal and physical access. Western lot has Sterling Highway frontage.</p>	
<p>Notes: Ski trails, managed by Kachemak Nordic Ski Club</p> <p>Acquisition notes: the Kachemak Heritage Land Trust purchased the property from the University of Alaska via a Forest Legacy Grant from the state of Alaska. The City accepted ownership of the land, to keep it for public park land in perpetuity, as required by the grant.</p> <p>Conservation Easement Resolution 2010-48, Recording# 2010-003220-0 Resolution 13-055 Adopting the Diamond Creek Recreation Area Plan The Plan was accepted by the State of Alaska Forest Legacy Program on 11/19/2014. Management and development of the property must follow the adopted and approved plan.</p>	
<p>Finance Dept. Code:</p>	



Designated Use: Roger's Loop Trailhead	
Acquisition History: Ordinance 14-51(A)	
Area: 2 acres	Parcel Number: 17316066, 1736067
2019 Assessed Value: \$45,600	
Legal Description: T 06S R 14W SEC 15 SEWARD MERIDIAN HM 2011022 BISHOP SURVEY J G EVANS ADDN LOT 1	
Zoning: Rural Residential. Lot is split by city limits	Wetlands: none
Infrastructure: Paved road access	
Notes: Purchased in 2016 with HART Trail funds (\$63,465.85). Future trailhead to city owned Diamond Creek lands	
Finance Dept. Code:	

<p>Designated Use: Hickerson Memorial Cemetery Acquisition History: Deed American Legion Gen Buckner Post 16 4/23/70. Ordinance 10-30</p>	
<p>Area: 6.91 acres</p>	<p>Parcel Number: 17321011, 13, 14, 15</p>
<p>2019 Assessed Value: \$217,800</p>	
<p>Legal Description: HM0631146 T06S R14W S03 TICE ACRES SUB HICKERSON MEMORIAL CEMETERY. Tice Acres Replat No 1, lots 11-A, 11B & 11-C</p>	
<p>Zoning: Not within city limits</p>	<p>Wetlands: N/A</p>
<p>Infrastructure: paved access</p>	
<p>Notes: Lots 11 A, 11B, and 11C purchased for \$205,000 Ordinance 10-30. 2017: Phase 1 cemetery expansion completed.</p>	
<p>Finance Dept. Code:</p>	



Designated Use: Public Purpose. Retain as undeveloped Greenbelt and to protect drainage.
Acquisition History: KPB Ordinance 83-01

Area: 6.57 acres

Parcel Number: 17503025

2019 Assessed Value: \$6,700

Legal Description: HM T06S R14W S13 SW1/4 SE1/4 NORTH OF SKYLINE DRIVE EXCLUDING SKYLINE DR SUB

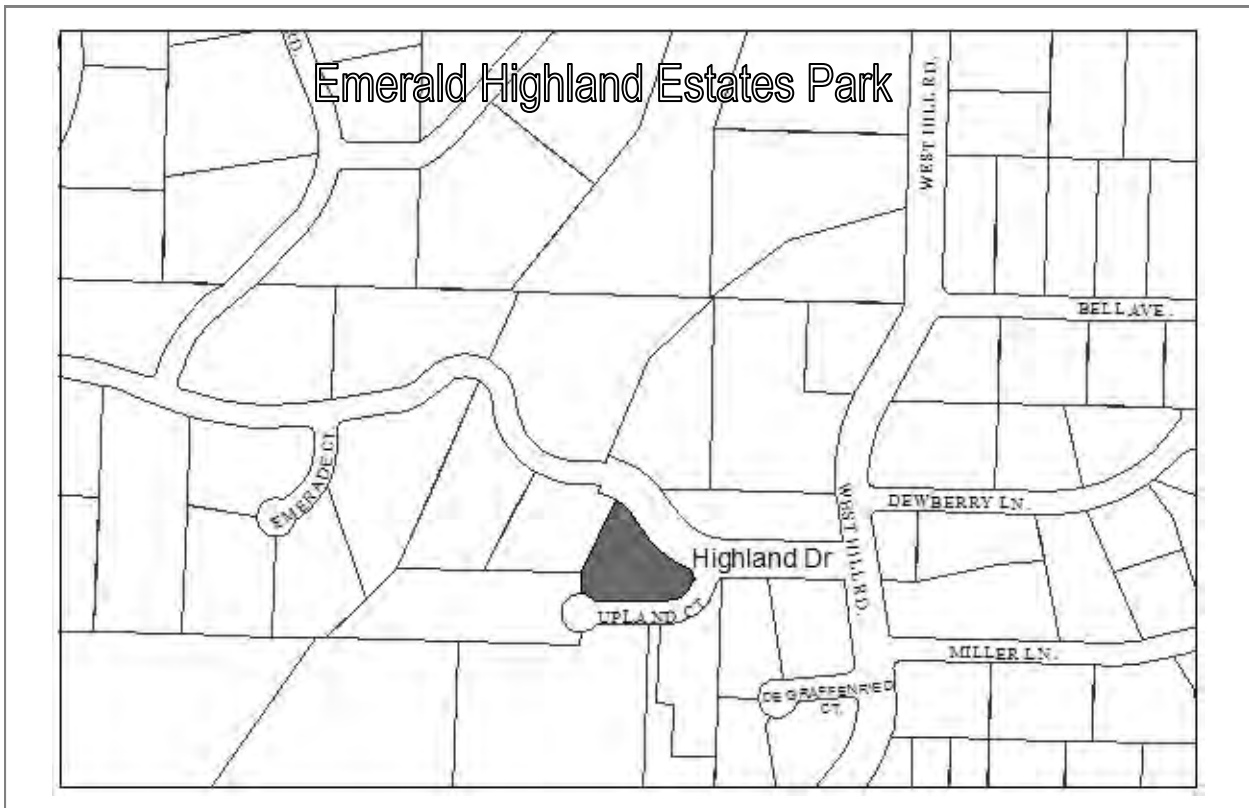
Zoning: Rural Residential

Wetlands: Bidarki Creek runs through the lot

Infrastructure: No access, no utilities

Notes: Much of the lot is very steep gorge, down to Bidarki Creek. One portion may be developable at the north end. Slope there is approximately 15%. There is no legal or physical access to the land at this time.

Finance Dept. Code:



Designated Use: Public Use/Emerald Highland Estates Park
Acquisition History: Gangle Deed, 12/1989

Area: 1.04 acres

Parcel Number: 17502056

2019 Assessed Value: \$36,100

Legal Description: HM0770024 T06S R14W S13 EMERALD HIGHLAND ESTATES SUB UNIT 3 LOT 1B BLOCK 3

Zoning: Rural Residential

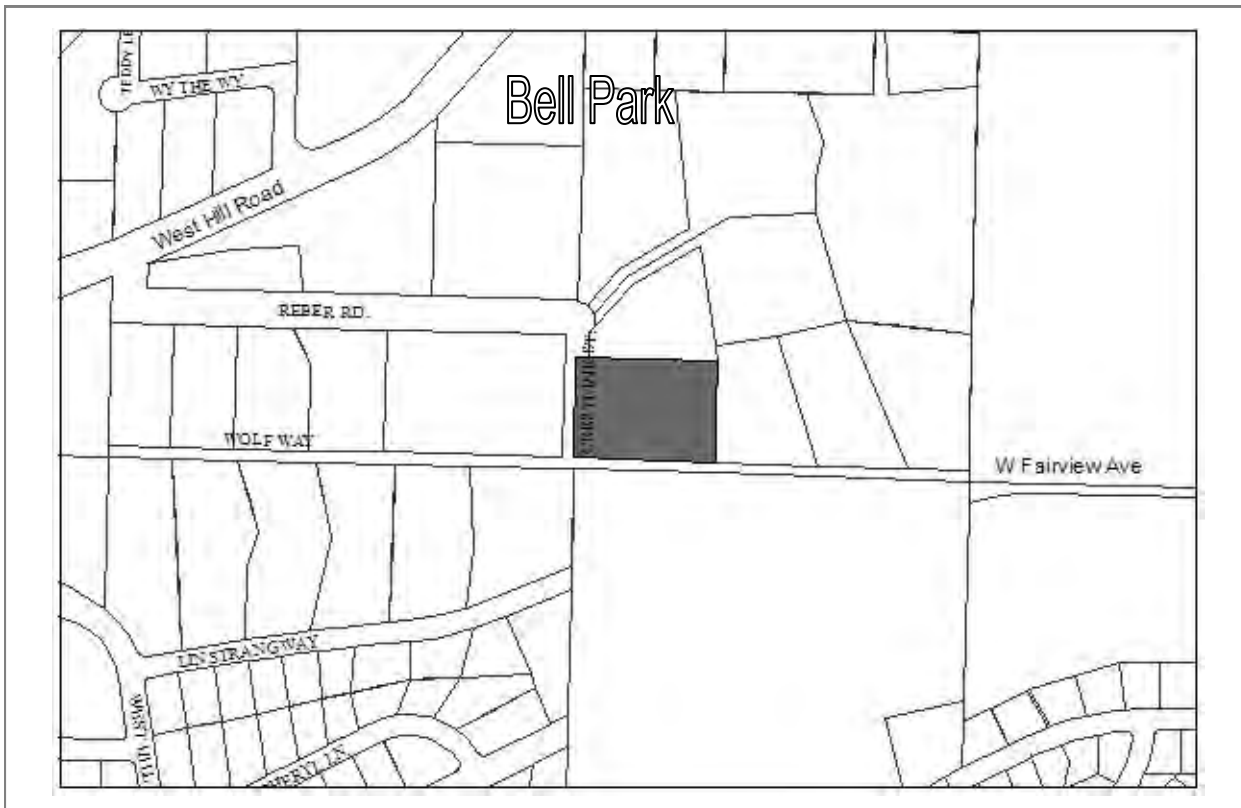
Wetlands: The whole lot is potential wetlands. Creek present long western property line.

Infrastructure: Gravel road access

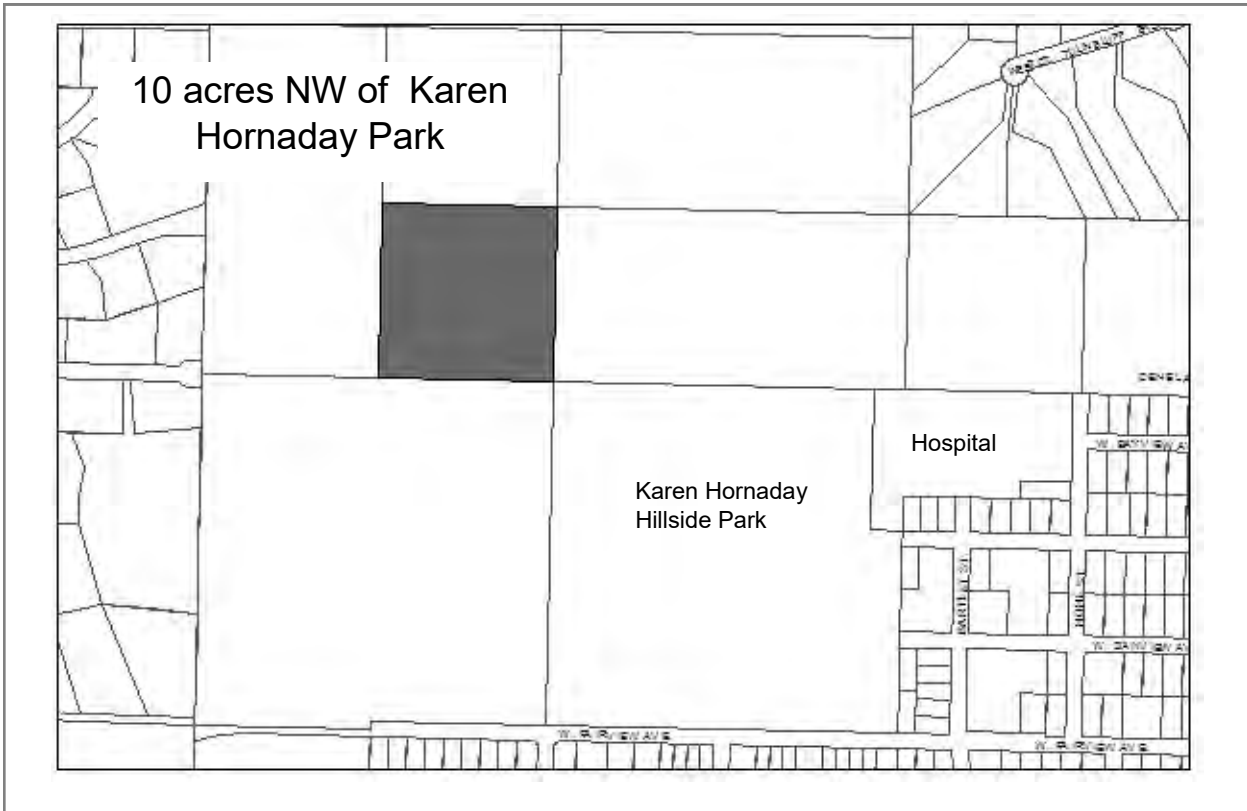
Notes: This land was deeded to the city by the original subdivider. However, there is a plat note restricting the use of the park to residents within the subdivision. Historically the city has not wanted to provide any services to a park that is not explicitly open to the public. The solution is for each property owner in the subdivision to quitclaim deed their interest in the subdivision park, so the City has clear title.

History:
 Resolution 2004-24A, Land Allocation Plan
 Resolution 2007-03 Emerald Park Master Plan

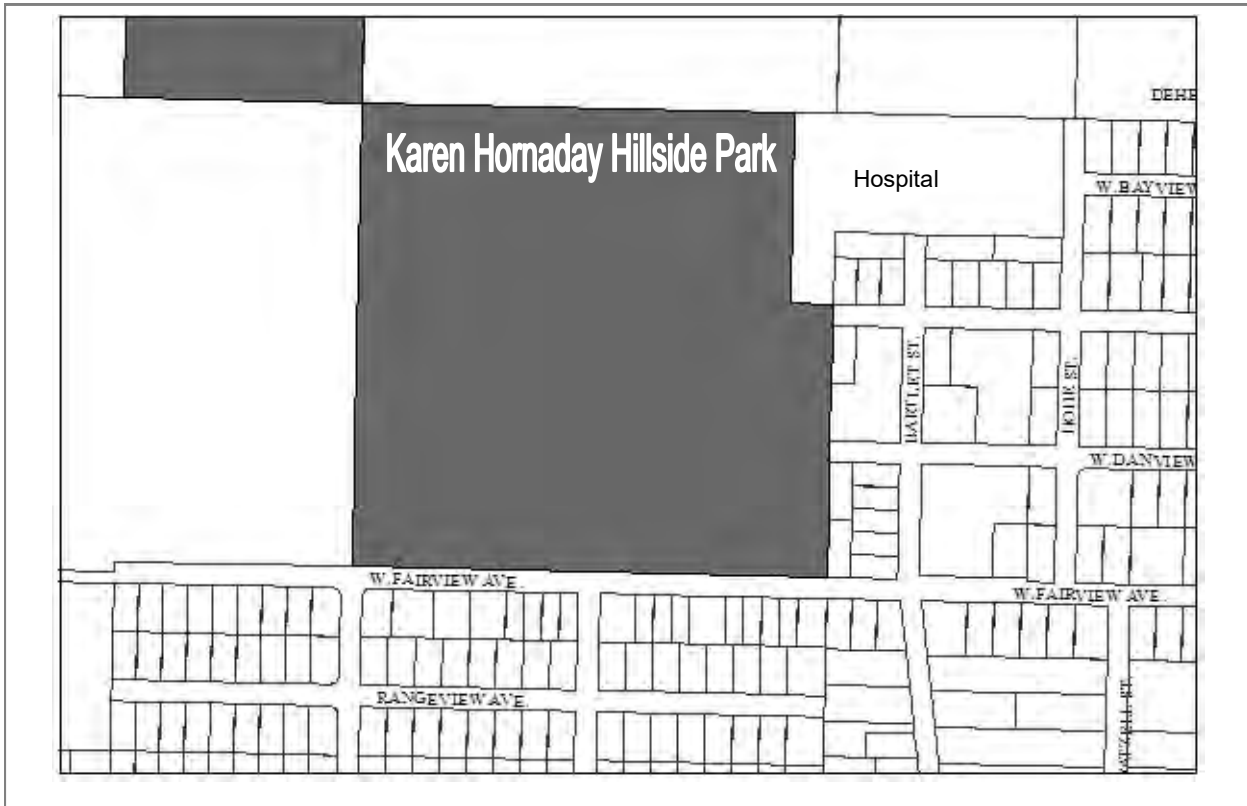
Finance Dept. Code:



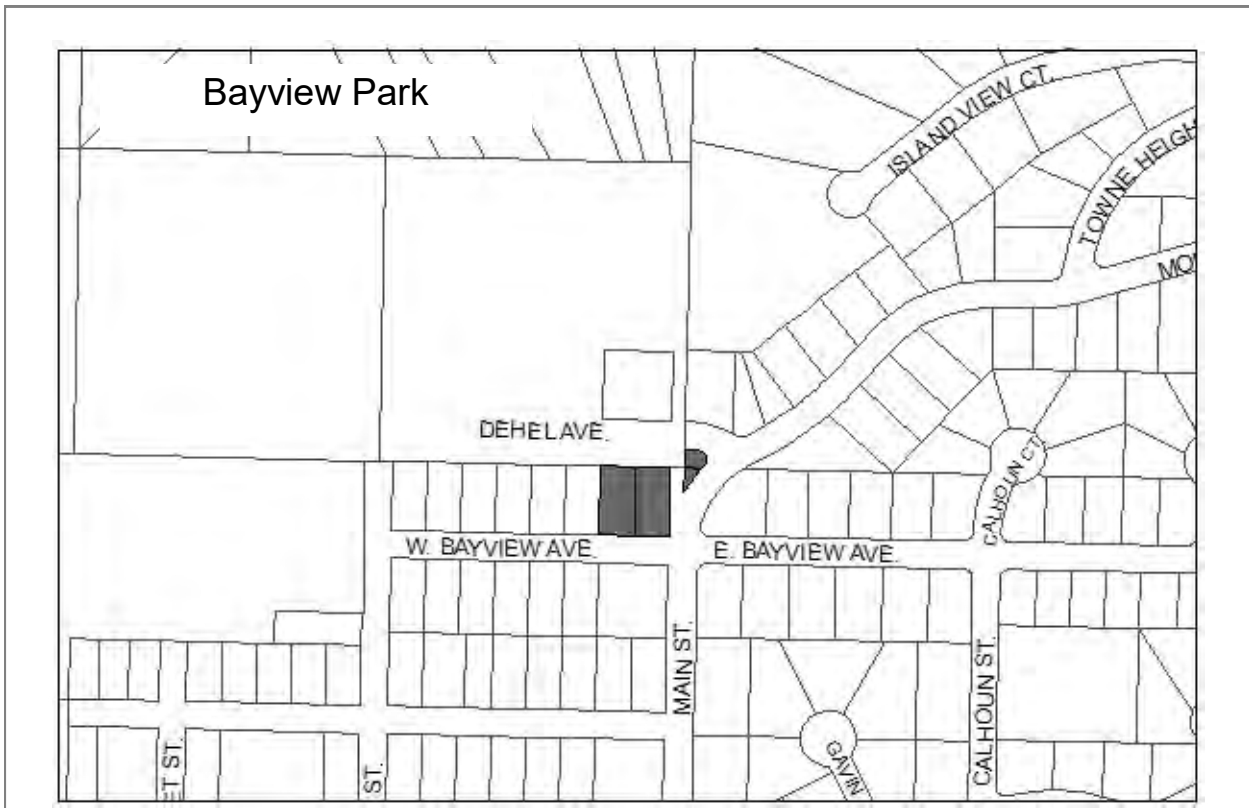
Designated Use: W.R.Bell Public Park.	
Acquisition History: Gifted by Daughter, Dene and Husband Edward Reber 8/20/1970	
Area: 2.75 acres	Parcel Number: 17524006
2019 Assessed Value: \$90,200	
Legal Description: HM0700402 T06S R13W S18 TRACT E W R BELL SUB	
Zoning: Rural Residential	Wetlands: Drainages on lot.
Infrastructure: Gravel road access. Rough trails across property.	
<p>Notes: Book 57 Page 177 Serial #70-564 Homer City Council meeting of August 24, 1970. Park contains the gravesite of W.R. Bell. It can be expected that the land to the south will be come a housing development. Some homes will be accessed from W Fairview Ave.</p> <p>2009: Completion of Reber Trail, with HART funds and a state trails grant.</p>	
Finance Dept. Code:	



Designated Use: Retain for a future park Resolution 2011-37(A)	
Acquisition History:	
Area: 10 acres	Parcel Number: 17504003
2019 Assessed Value: \$80,700*	
Legal Description: T6S R13W Sec 18 SE1/4 NE1/4 SW1/4	
Zoning: Rural Residential	Wetlands: Drainages and wetlands may be present
Infrastructure: None. No access.	
Notes: *2007—Land could not be appraised by private appraisal due to lack of legal access.	
Finance Dept. Code:	



Designated Use: Public Recreational Purpose/Karen Hornaday Hillside Park	
Acquisition History: Homer Fair Association, Deed 8/1966 with covenants	
Area: 38.5 acres	Parcel Number: 17504023
2019 Assessed Value: \$3,802,400 (Land \$3,651,800 Structure \$150,600)	
Legal Description: HM0980004 T06S R13W S18 THAT PORTION OF SW1/4 SE1/4 EXCLUDING SOUTH PENINSULA HOSPITAL SUB 2008 Adn	
Zoning: Open Space Recreation	Wetlands: Some drainages
Infrastructure: Water, sewer and road access	
<p>Notes: The park has been part of two Land and Water Conservation Fund grants: 1980, #02-00270, and 2011/12, #02-00408. Land to remain parkland in perpetuity.</p> <p>Campground, ball fields, day use picnic and playground area.</p> <p>Resolution 09-59(A) adopted the park master plan.</p>	
Finance Dept. Code: 175.0003 (driveway, parking), 175.0007 (campground)	



Designated Use: Public Purpose/Bayview Park/Water tank access
Acquisition History: Large lots: Klemetsen Warranty Deed 5/8/67. Water tank access and part of Bayview Park.

Area: 0.58 acres total	Parcel Number: 175051 07, 08 17726038, 17727049
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2019 Assessed Value: \$105,400 total

Legal Description: 17505107: HM0562936 T06S R13W S18 TRACT A FAIRVIEW SUB LOT 2
 17505108: HM0562936 T06S R13W S18 TRACT A FAIRVIEW SUB LOT 1
 17726038: HM0760026 T06S R13W S17 KAPINGEN SUB UNIT 3 PARK RESERVE
 17727049: HM0770065 T06S R13W S17 ISLAND VIEW SUB PARK

Zoning: Urban Residential	Wetlands: N/A
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Infrastructure: Paved road access, water, sewer

Notes:

Finance Dept. Code:



Designated Use: ROW and Woodard Park
Acquisition History: ROW: Purchased for Harrington Heights LID, Ord 2000-13(S) 7/2000. Woodard Park: Tax Foreclosure (Harry Gregoire), Park designation enacted in Reso 04-53

Area: ROW 0.85 acres Woodard Park: .025 acres	Parcel Number: 17513329 17513328
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2020 Assessed Value: not yet assessed

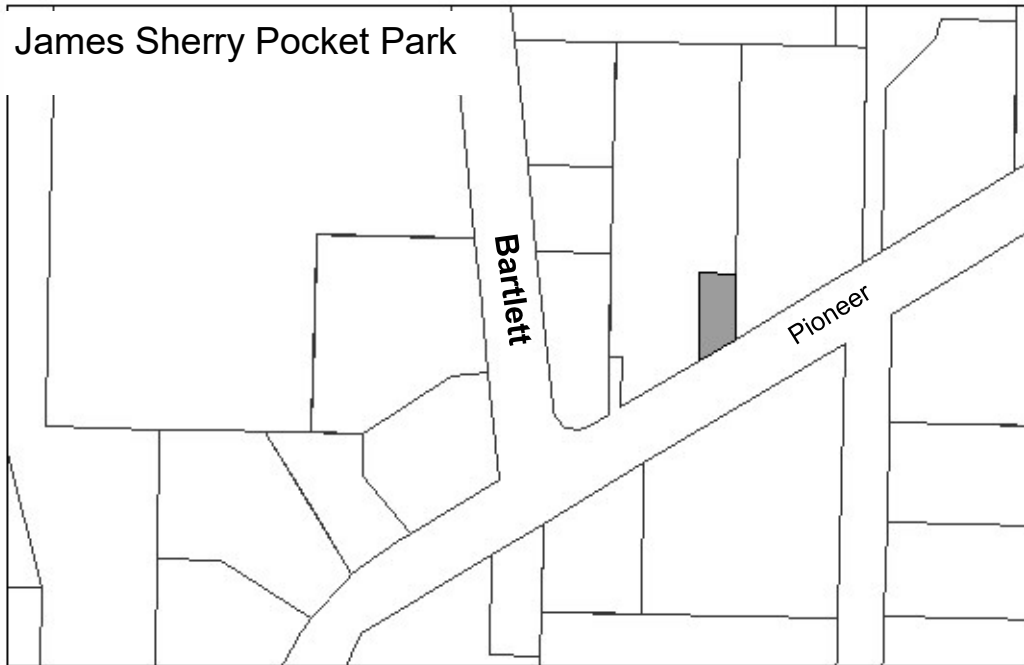
Legal Description: LEGAL T 06S R 13W SEC 19 SEWARD MERIDIAN HM 2020010 BUNNELL'S SUBD NO 17 2018 REPLAT TRACT A

Zoning: Residential Office	Wetlands: Woodard Creek and wetlands present
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Infrastructure: Paved access on Bartlett. Woodard Creek flows through much of the property.

Notes:

Finance Dept. Code: ROW: 500.0051 Park:



Designated Use: Retain for use as public park or parking
Acquisition History: Ord 83-01 (KPB)

Area: 0.06 acres or 2,766 sq ft

Parcel Number: 17514235

2019 Assessed Value: \$26,000

Legal Description: T 6S R 13W SEC 19 SEWARD MERIDIAN HM 2007124 BUNNELLS SUB NO 21 LOT 37F-1

Zoning: Central Business District

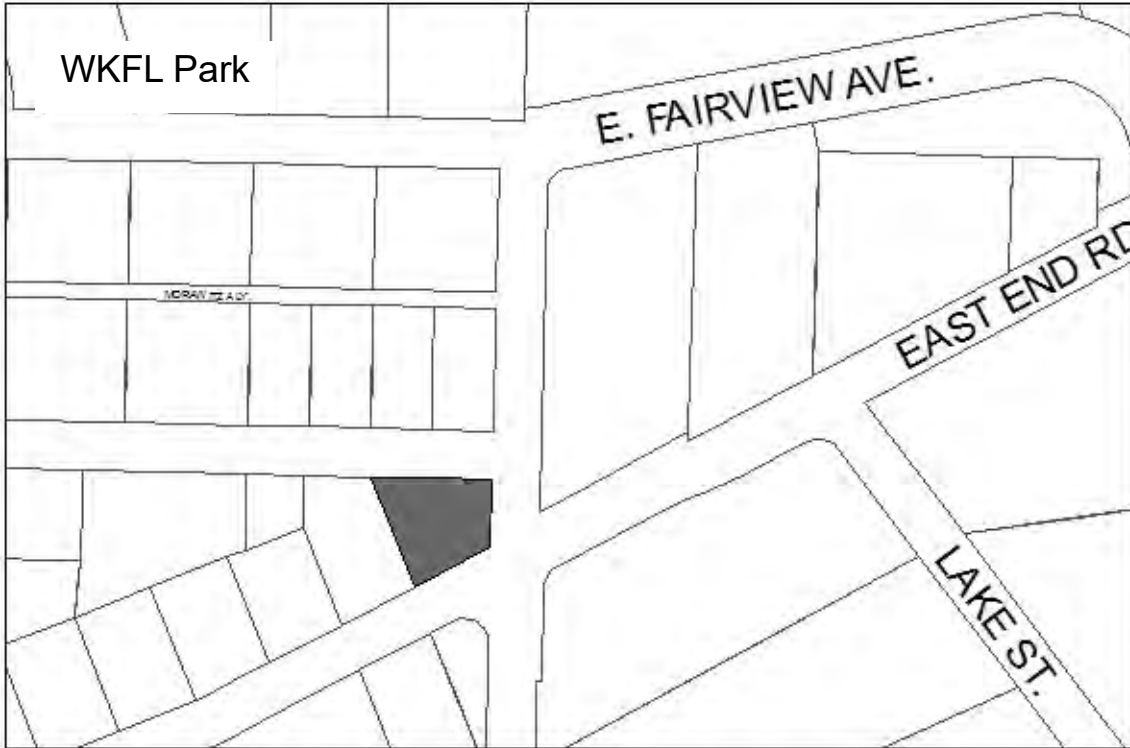
Wetlands: Ditch across property

Infrastructure: Water and Sewer, paved sidewalk

Notes:

HEA/phone company utility infrastructure on lot—big green boxes.

Finance Dept. Code:



Designated Use: WKFL Park
Acquisition History: Asaiah Bates Deed 3/88

Area: 0.31 acres	Parcel Number: 17720204
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2019 Assessed Value: \$169,300

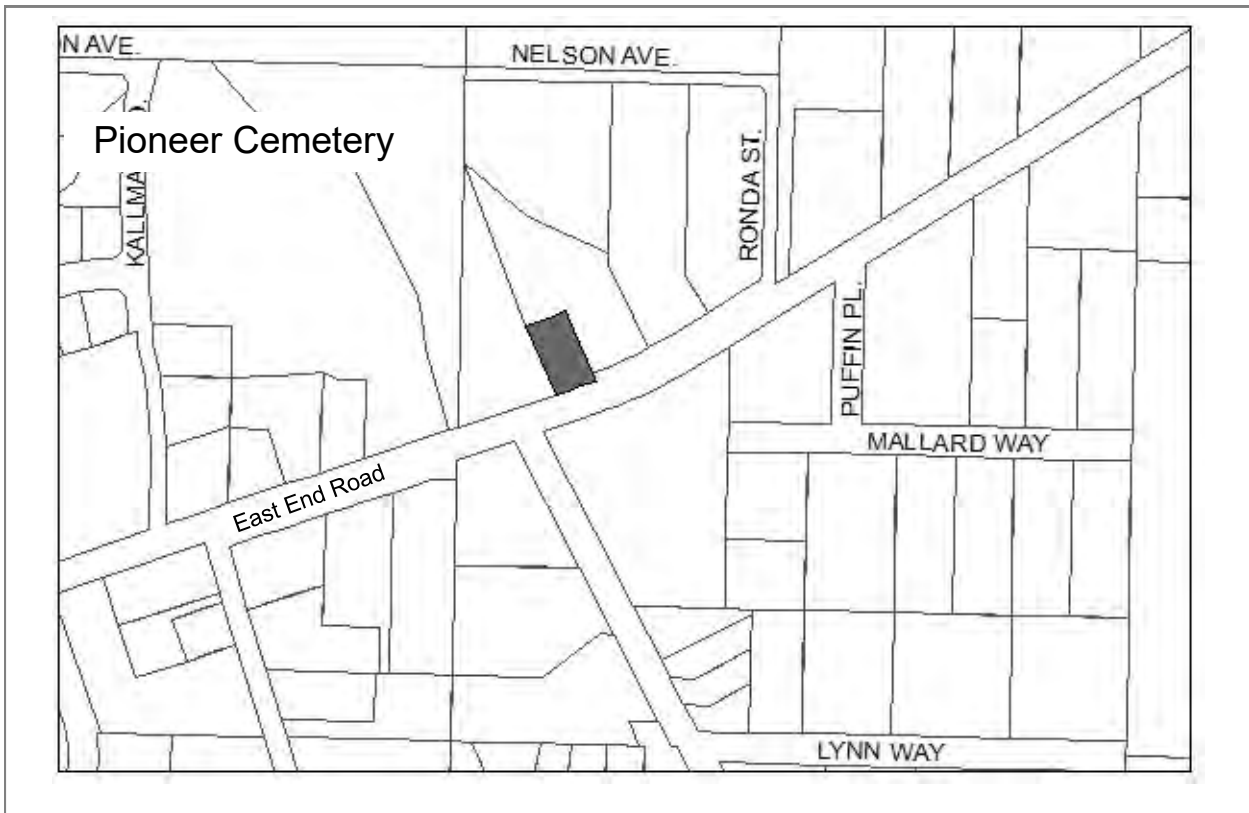
Legal Description: Glacier View Subdivision No 1 Replat of Lots 1, 8 & 9, Block 4 Lot 9-A

Zoning: Central Business District	Wetlands: N/A
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Infrastructure: Water, paved road, electricity

Public restroom constructed in 2013.

Finance Dept. Code:



Designated Use: Pioneer Cemetery
Acquisition History: Quitclaim Deed Nelson 4/27/66

Area: 0.28 acres	Parcel Number: 17903007
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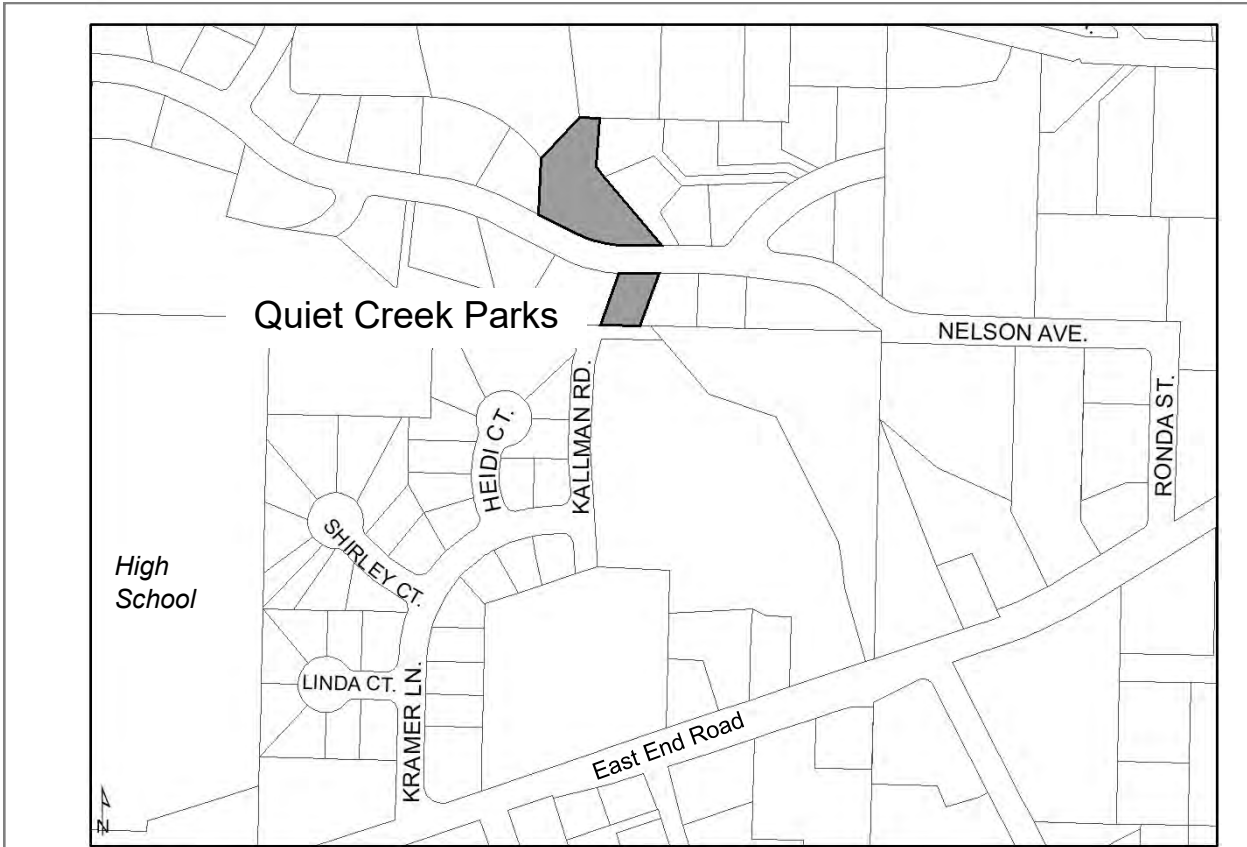
2019 Assessed Value: \$21,200

Legal Description: James Waddell Survey of Tract 4 Lot 4A

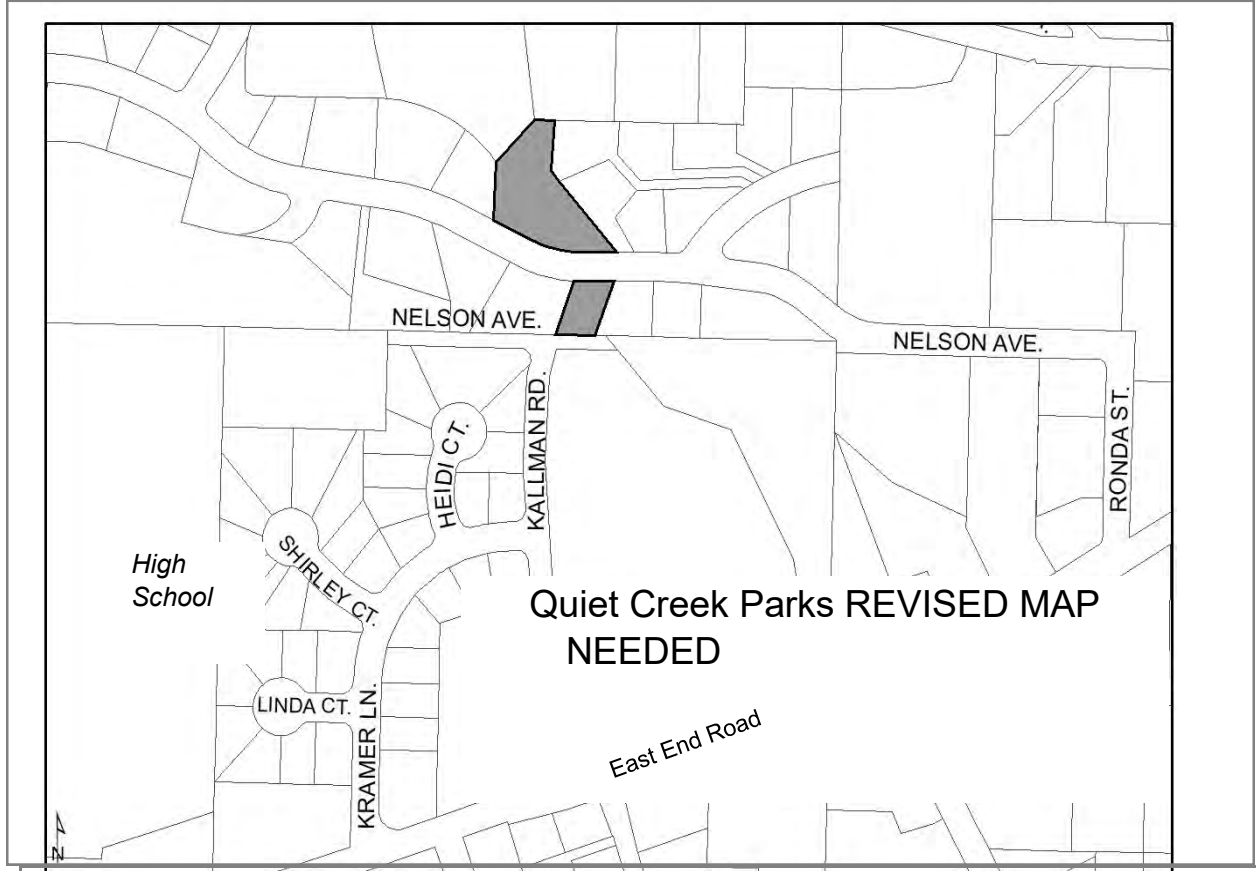
Zoning: Residential Office	Wetlands: N/A
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Infrastructure: Paved Road

Finance Dept. Code:



Designated Use: Parks (Resolution 20-019)	
Acquisition History: Barnett's South Slope Subdivision Quiet Creek Park Unit 1	
Area: 0.86 acres and 0.21 acres	Parcel Number: 17702112, 17702125
2019 Assessed Value: \$45,600 and \$31,600	
Legal Description: T 06S R 13W SEC 17 SEWARD MERIDIAN HM 2018040 BARNETT'S SOUTH SLOPE SUB QUIET CREEK PARK UNIT 2 TRACT C and TRACT D	
Zoning: Rural Residential	Wetlands: A creek runs through both lots
Infrastructure: Paved Road, water, sewer, natural gas	
<p>Tract C is a large wooded ravine with a creek, and tract D is a smaller steep lot with a creek. The Parks Art Recreation and staff will present a park plan to Council in 2021, as two other properties will also be donated as parks to the City via the platting process in the near future.</p>	
Finance Dept. Code:	



Designated Use: Parks (Resolution 20-019)
Acquisition History: Barnett's South Slope Subdivision Quiet Creek Park Unit 1

Area: 0.86 acres and 0.21 acres	Parcel Number: 17702112, 17702125
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2019 Assessed Value: \$45,600 and \$31,600

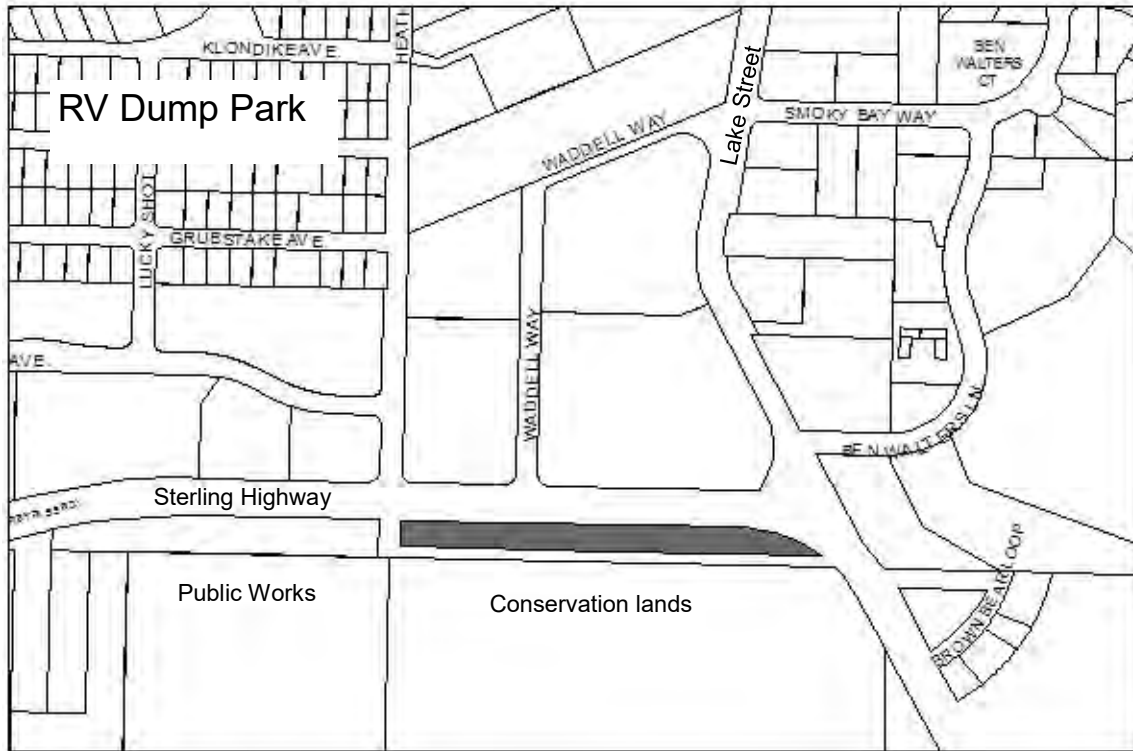
Legal Description: T 06S R 13W SEC 17 SEWARD MERIDIAN HM 2018040 BARNETT'S SOUTH SLOPE SUB QUIET CREEK PARK UNIT 2 TRACT C and TRACT D

Zoning: Rural Residential	Wetlands: A creek runs through both lots
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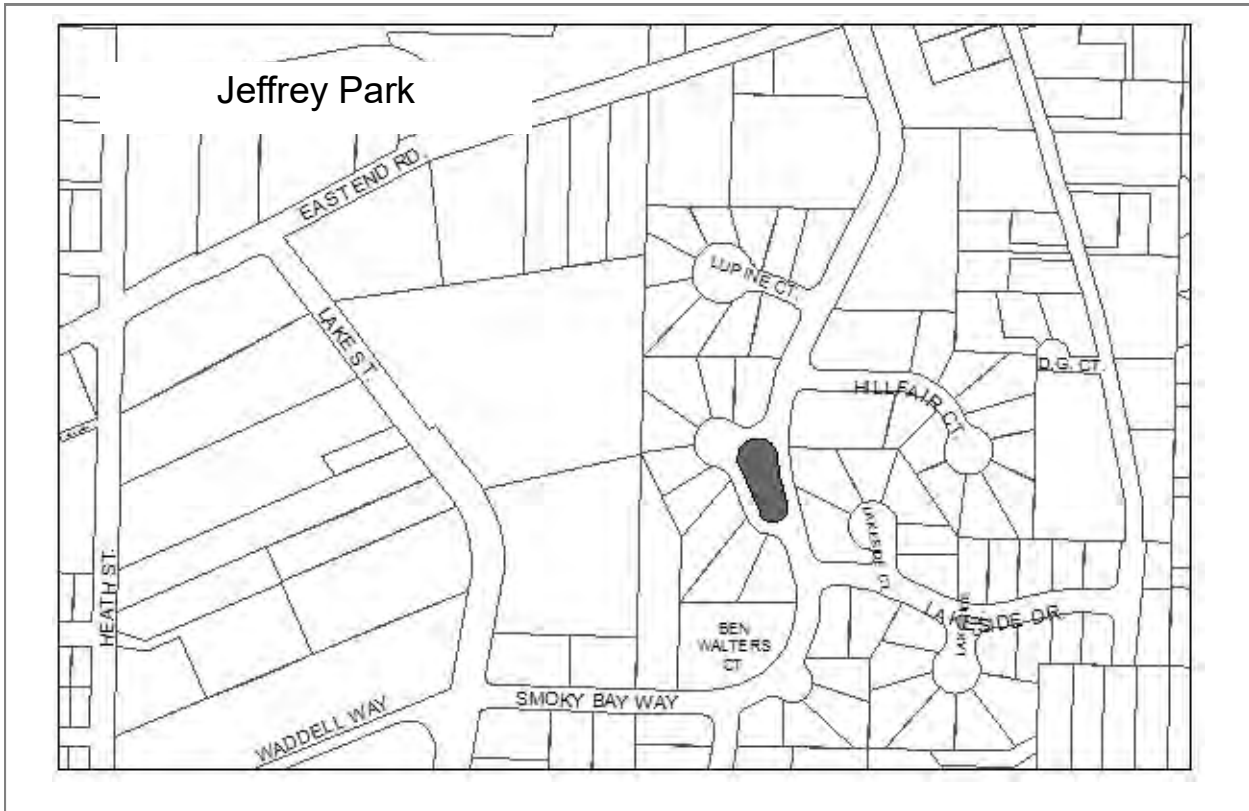
Infrastructure: Paved Road, water, sewer, natural gas

Tract C is a large wooded ravine with a creek, and tract D is a smaller steep lot with a creek. The Parks Art Recreation and staff will present a park plan to Council in 2021, as two other properties will also be donated as parks to the City via the platting process in the near future.

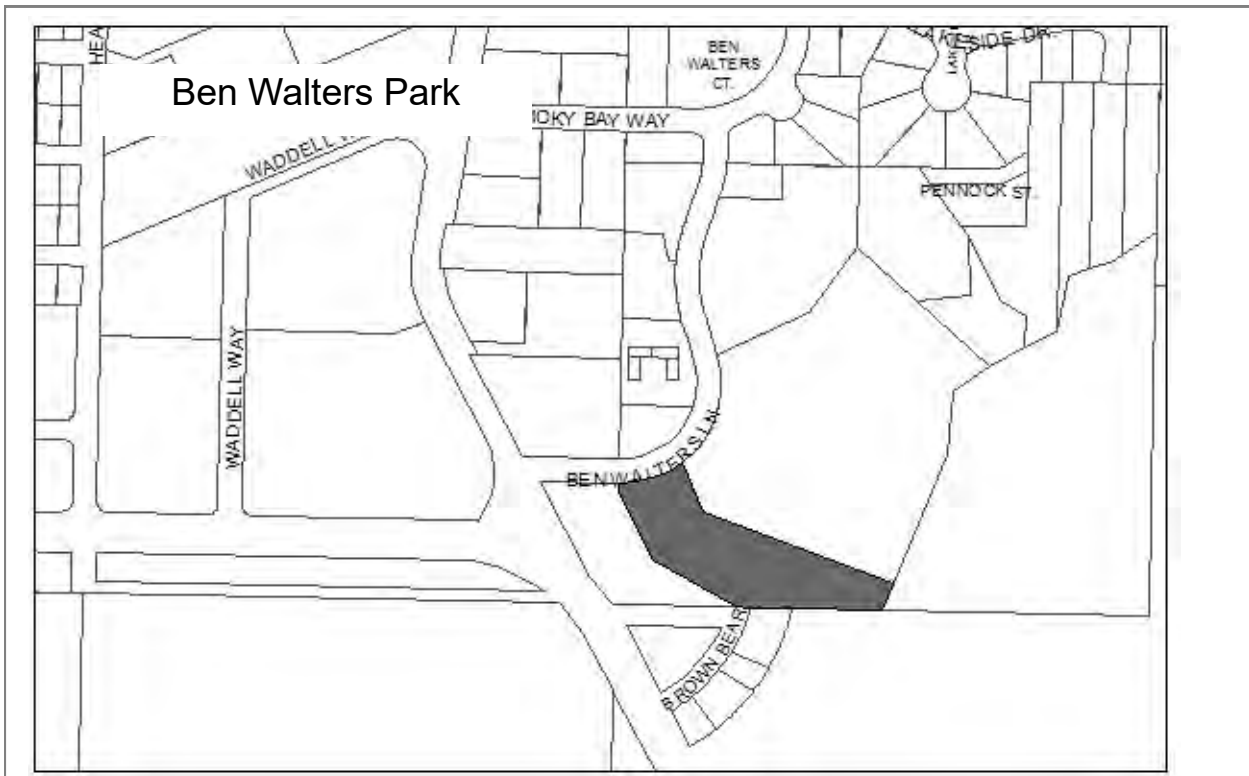
Finance Dept. Code:



Designated Use: RV Water/Dump station	
Acquisition History: Deed states "Waddell Park Tract"	
Area: 1.73 acres	Parcel Number: 17712014
2019 Assessed Value: \$208,200	
Legal Description: Waddell Subdivision, portion S of Homer Bypass Road	
Zoning: Central Business District	Wetlands:
Infrastructure: Water, Sewer, gravel/paved access	
Notes: Part of Land and Water Conservation Project #02-00263.4, signed January 1983. Land to remain in park status in perpetuity.	
Finance Dept. Code:	



Designated Use: Public Purpose/Greenbelt/Jeffrey Park	
Acquisition History: Ordinance 83-27 (KPB)	
Area: 0.38 acres	Parcel Number: 17730251
2019 Assessed Value: \$43,700	
Legal Description: Lakeside Village Amended Jeffrey Park	
Zoning: Urban Residential	Wetlands:
Infrastructure: Paved Road, water, sewer	
Notes: Neighborhood park. Grass and new swing sets installed in 2005. Fill brought in to the park to raise the ground level and deal with drainage issues in 2007.	
Finance Dept. Code:	



Designated Use: Ben Walters Park. Public park or greenbelt per deed.	
Acquisition History: Reso 83-22(S) Neal Deed 5/4/83. Donated. Deed amended 6/1/83.	
Area: 2.48 acres	Parcel Number: 17712022
2019 Assessed Value: \$333,700 (Land \$286,900, Structure \$46,800)	
Legal Description: Lakeside Village Park Addition Replat Lot 1A-2	
Zoning: Central Business District	Wetlands: 3664 Ben Walters Lane
Infrastructure: Paved Road, water and sewer. Public restrooms, covered fire pit, lake access and dock.	
<p>Notes: In May 1982, a project agreement was executed for a Land and Water Conservation Fund project to develop the park. Project #02-00305. Land to remain park in perpetuity.</p> <p>New swing set installed, 2008. New dock installed in 2009. Brushing and drainage work 2018. New playground equipment scheduled installed 2019.</p>	
Finance Dept. Code:	



Designated Use: Bishop's Beach Park
Acquisition History: McKinley Warrant Deed 1/9/1984, Ordinance 2020-76(A)

Area: 3.46 acres	Parcel Number: 17714010, 17714011
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2019 Assessed Value: \$544,700 (Land \$399,500, Structures/Boardwalk \$145,200)

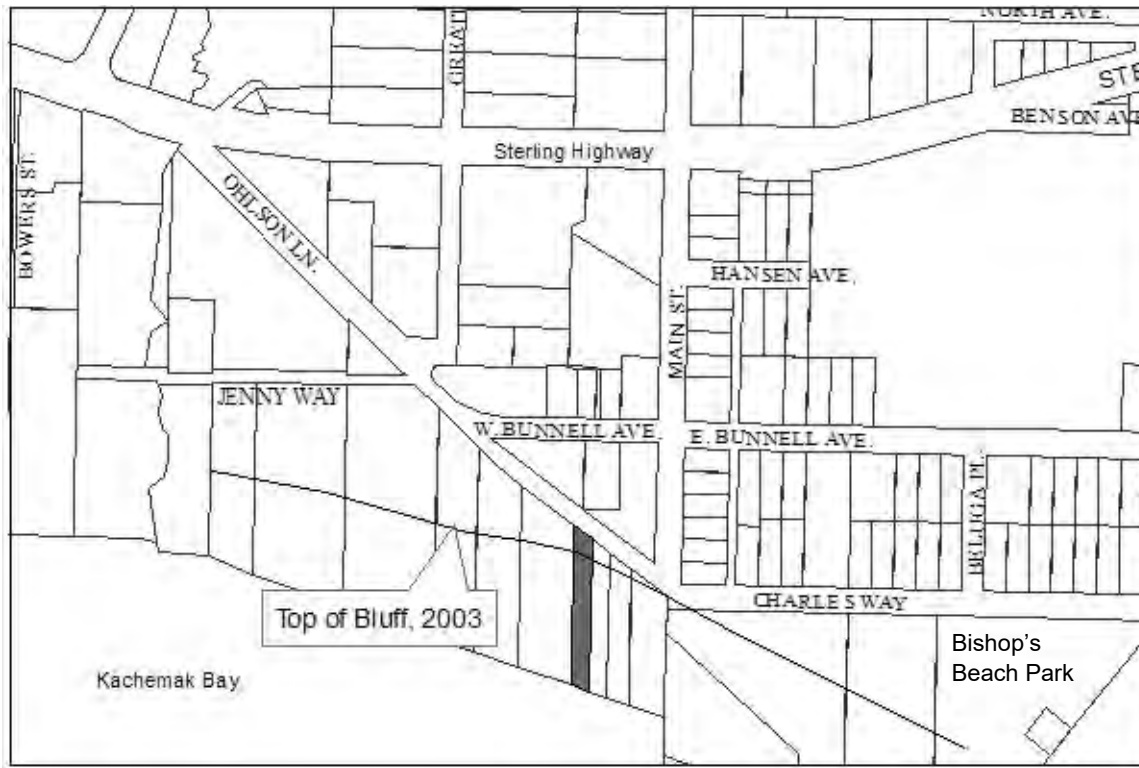
Legal Description: HM T06S R13W S20 PTN GL 2 BEGIN S 1/16 CORNER SECS 19 & 20 & NW CORNER LOT 2 TH S 89 DEG 57'30" E 600 FT ALONG N BOUND LT 2 TO POB TH S 0 DEG 2' E 391 FT TO CORNER 2 ON MHW KACHEMAK BAY TH S 59 DEG 30' E 150 FT TO CORNER 3 TH N 38 DEG 0' E, AND T 6S R 13W SEC 20 SEWARD MERIDIAN HM PTN GL 2 BEGIN S 1/16 CORNER SECS 19 & 20 & NW CORNER OF GL 2 TH S 89 DEG 57'30" E 1094.3 FT TO PT TH S 38 DEG 0' W 310 FT TO POB TH 90 DEG W 75 FT TO CORNER 2 TH S 38 DEG W 75 FT TO CORNER 3 TH 90 DEG E 75 FT TO CORNER 4 TH N 38 DEG E 75 FT TO POB

Zoning: Central Business District	Wetlands: Some wetlands (along boardwalk). Flood hazard area.
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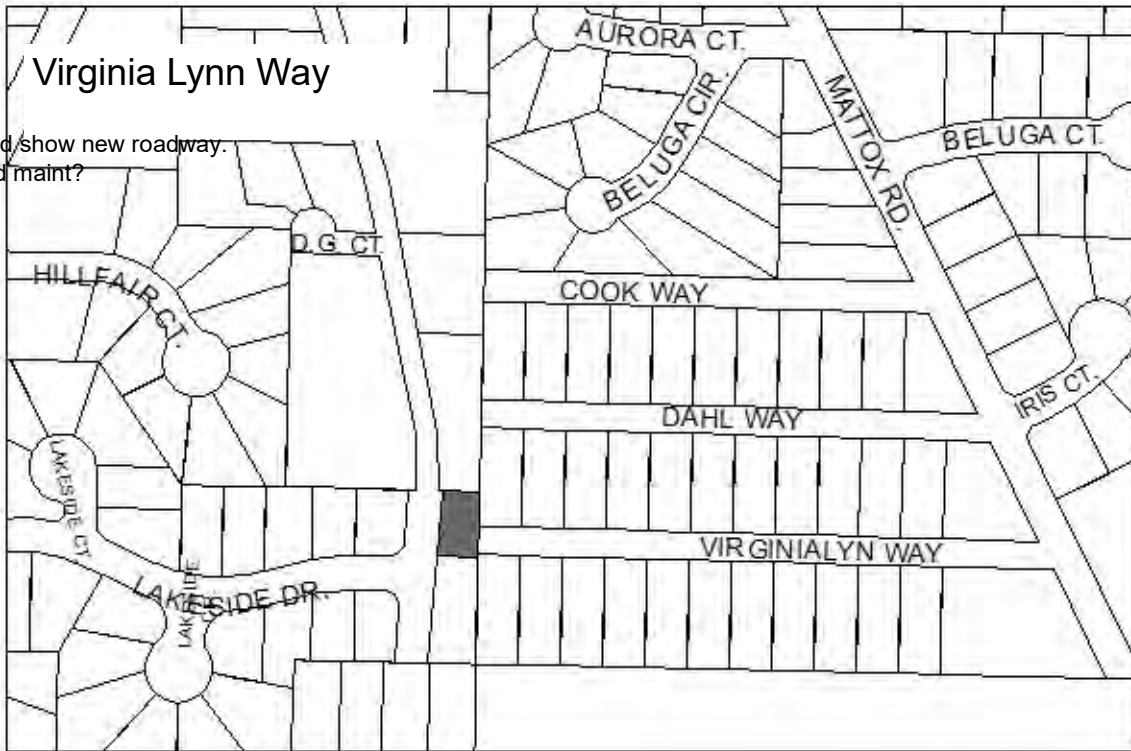
Infrastructure: Paved road access. No water or sewer. City maintained outhouses.

Notes:

Finance Dept. Code:



Designated Use: City Park	
Acquisition History: Donated by Herrick, Resolution 90-7	
Area: 0.32 acres	Parcel Number: 17520009
2019 Assessed Value: \$1,700	
Legal Description: HM T06S R13W S19 PORTION THEREOF S OF OLSEN LANE	
Zoning: Central Business District	Wetlands: None. Bluff property.
Infrastructure: Gravel Road access, no water or sewer	
Notes: Resolution 15-030(A), Designate as park	
Finance Dept. Code: 392.0008	



Revise notes and show new roadway.
 Adopted for road maint?

Designated Use: Public use easement for Virginia Lynn Way, public park
Acquisition History: Quit Claim Deed from NBA 1/4/83

Area: 0.21 acres

Parcel Number: 17730239

2019 Assessed Value: \$34,000

Legal Description: T 6S R 13W SEC 20 SEWARD MERIDIAN HM 0840005 LAKESIDE VILLAGE SUB AMENDED LOT 2 BLK 4

Zoning: Urban Residential

Wetlands: possibly on a small portion

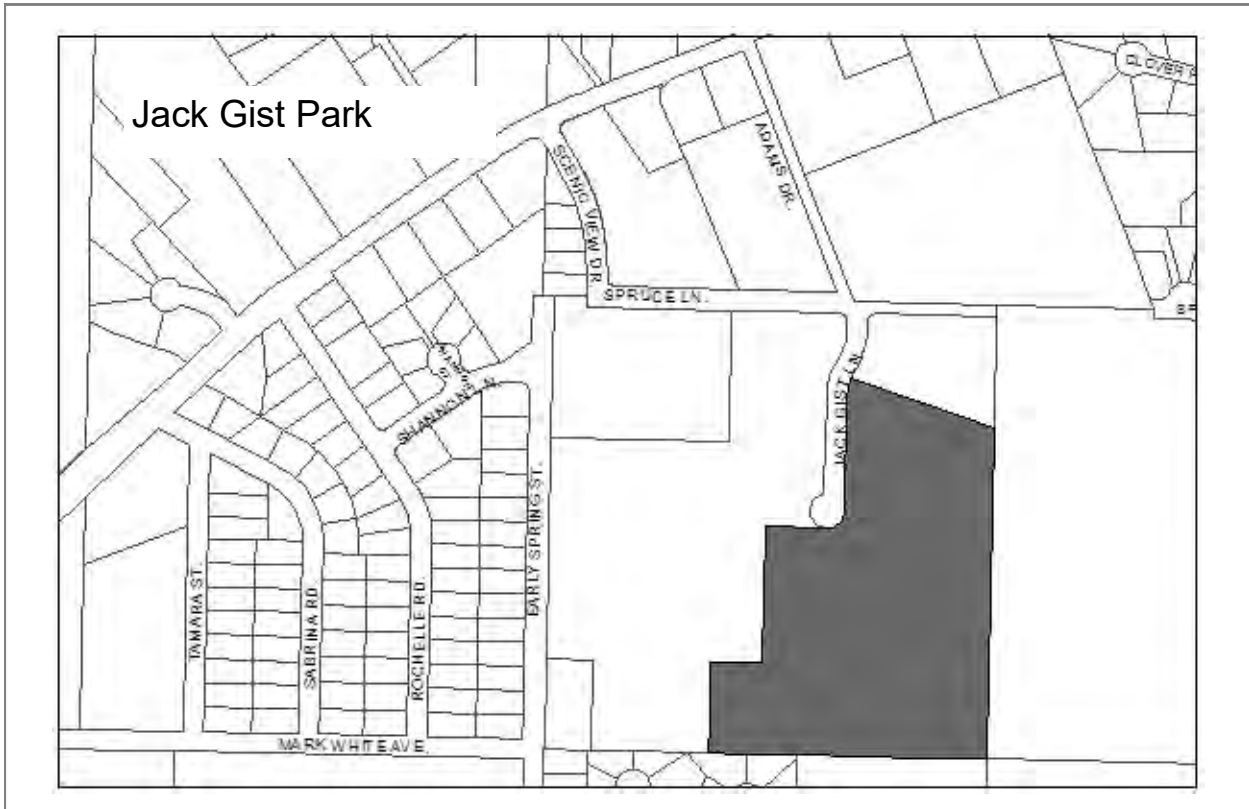
Infrastructure: Road access

Notes: This lot has a public use easement granted by the plat. This lot will likely be needed in the future to connect Virginia Lynn Way, because the adjacent lots are not wetlands and are developable. Access to Mattox Road is not know at this time; the ground drops and becomes very swampy.

Resolution 09-33: Dedicate road access for Virginia Lynn Way, across Lot 2 Block 4 Lakeside Village Subdivision Amended. Hold the remainder of the lot for use as a public neighborhood park. In 2009 the City retained a surveyor to work on this issue. 2010: professional opinion was given that no right of way dedication is required, however, a legal opinion may be sought to determine city liability outside a dedicated right of way, Spruceview Ave is a similar situation: a roadway is constructed across a parcel, not within a right of way.

2020: Road construction across the parcel is complete. New homes are under construction to the east.

Finance Dept. Code:



Designated Use: Jack Gist Ball Park
Acquisition History: Warranty Deed Moss 8/27/98

Area: 14.6 acres **Parcel Number:** 17901023

2019 Assessed Value: \$148,500

Legal Description: HM0990063 T06S R13W S15 JACK GIST SUB LOT 2

Zoning: Rural Residential **Wetlands:** May be present. Site is mostly fill and old dump.

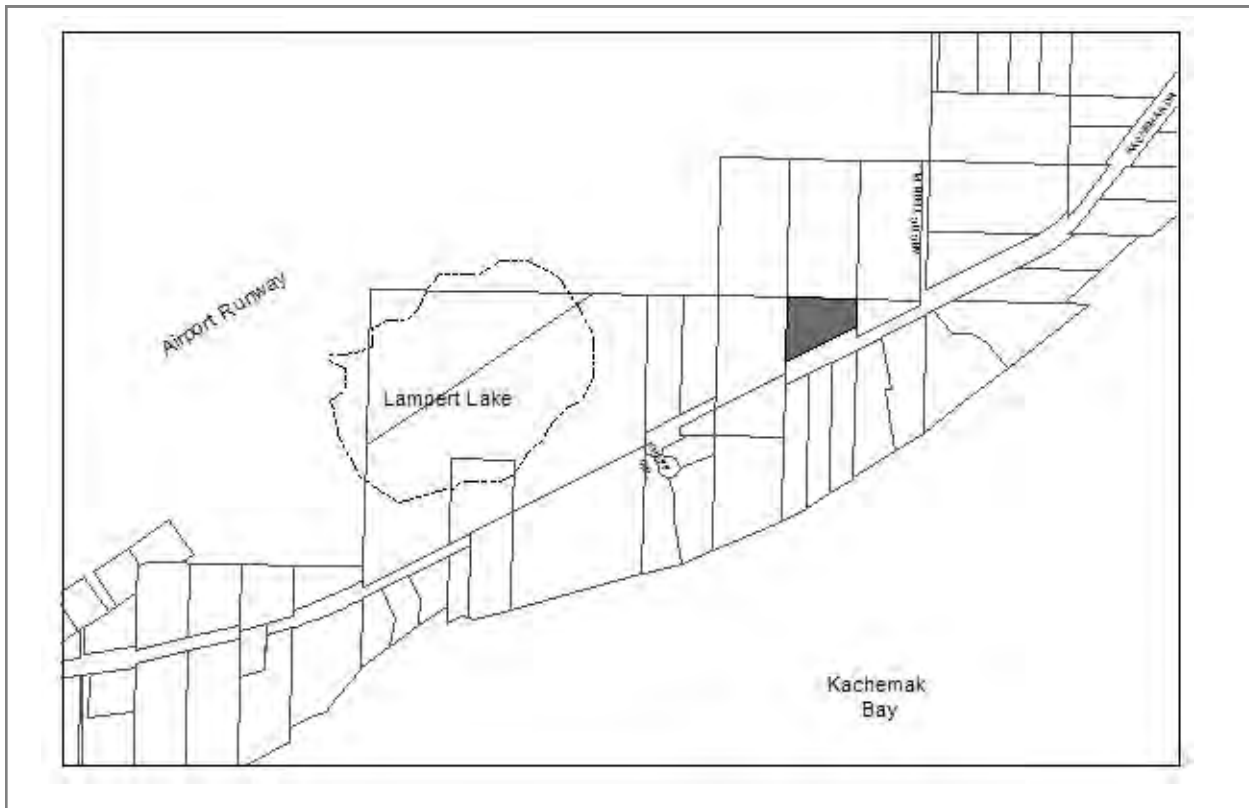
Infrastructure: Gravel road access.

Notes: Old dump site. Land and Water Conservation Fund Grant Project #02-00369 for construction of 3 ball fields and parking area. Land to remain parkland in perpetuity.

No water or sewer to service the new ball fields. Parking lot constructed in 2006. 2009: ord 09-35(A) allocated \$33,000 for improvements to two ballfields.

2020: Adjacent property to the west may be developed into a subdivision, providing water, sewer, power and additional road access to the park in the next 2-4 years.

Finance Dept. Code:



Designated Use: Future Kachemak Drive Trail and rest area Resolution 2011-37(A)
Acquisition History: Ord 96-16(A) (KPB)

Area: 1.65 acres	Parcel Number: 17936020
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2019 Assessed Value: \$55,100

Legal Description: Scenic Bay Lot 4

Zoning: General Commercial 2	Wetlands: 100% Wetlands
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Infrastructure: Paved Road, city water and sewer

Notes: Part of Kachemak Drive Phase 3 water and sewer SAD

Finance Dept. Code:



Designated Use: Resolution 15-030(A): Sell
Acquisition History: Lot 1: Ordinance 97-06(S) KPB

Area: Harry Feyer Subdivision Lot 1: 0.39 acres	Parcel Number: 17911005
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2019 Assessed Value: \$16,000 (lot 1)

Legal Description: Harry Feyer Subdivision Lot 1

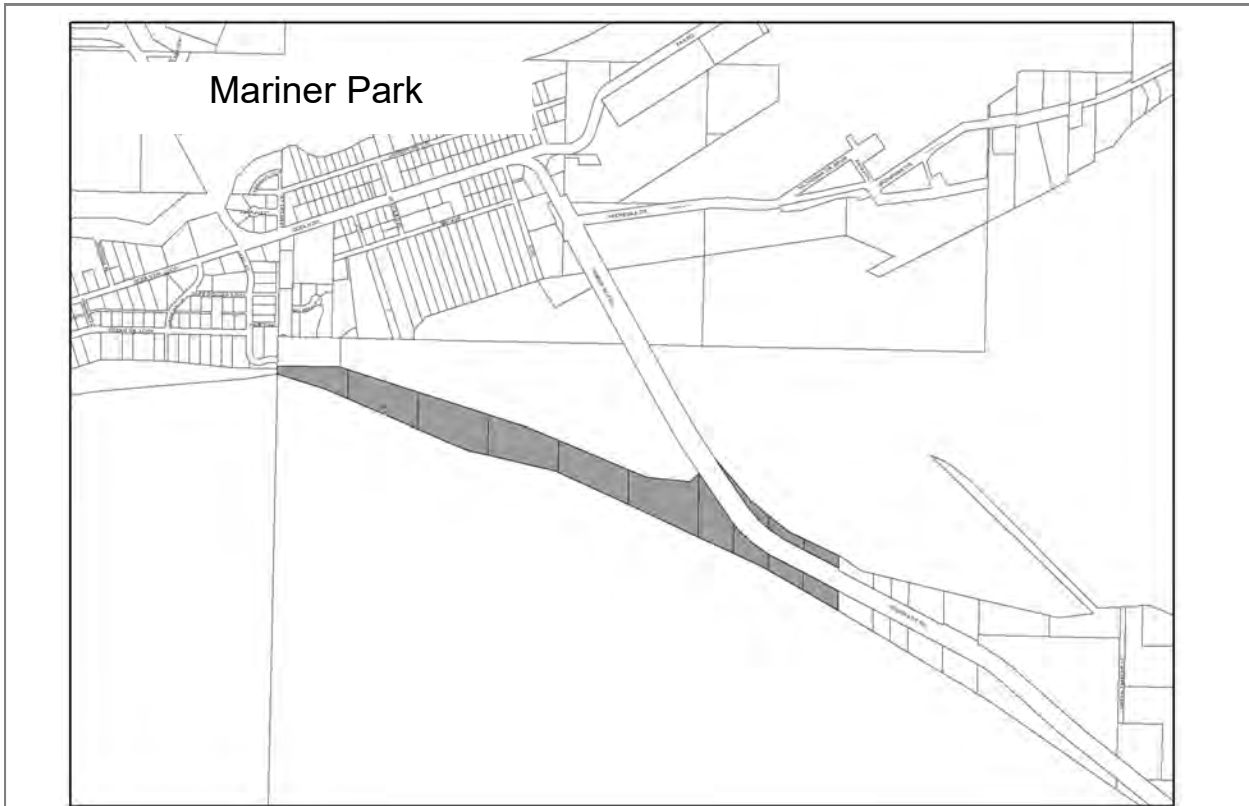
Zoning: Rural Residential	Wetlands: none known
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Infrastructure: Paved Road access, power.

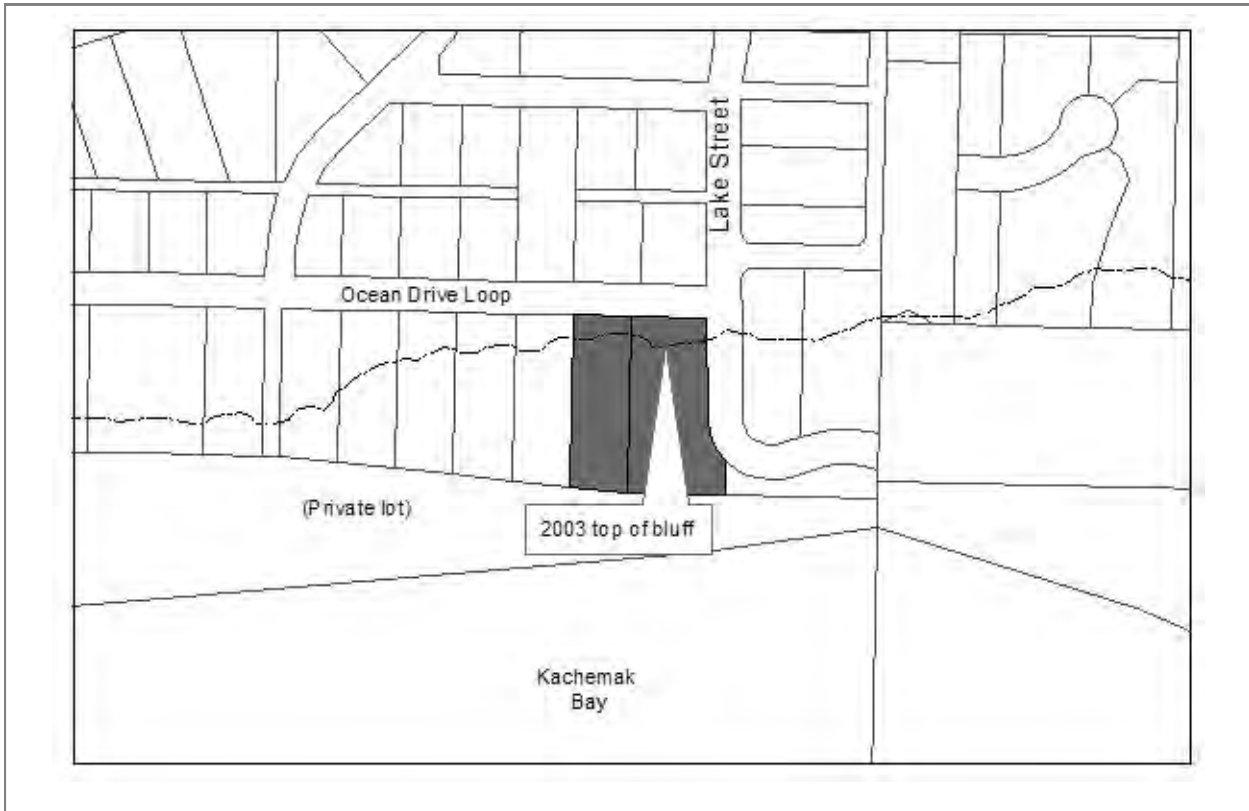
Notes:

Has water and sewer assessments.
 Resolution 15-030(A): For sale. Lot 1 has not yet sold.

Finance Dept. Code:



Designated Use: Park	
Acquisition History: Lot 10: Simmons purchase, 1983. Other are EVOS purchases.	
Area: 32.32 acres	Parcel Number: 18101002-14
2019 Assessed Value: \$382,700	
Legal Description: T 6S R 13W SEC 28 SEWARD MERIDIAN HM GOVT LOTS 5-8, 10-15	
Zoning: Open Space Recreation/Conservation	Wetlands: Tidal
Infrastructure: No infrastructure	
<p>Notes: Mariner Park and Mud Bay were nominated by the City as Western Hemisphere Shorebird Reserve Sites in 1994 ("whissern"). They are recognized as sites of international importance. http://www.whsrn.org/</p> <p>2012 Mariner Park driveway was relocated to the north.</p> <p>Resolution 15-030(A): designate as park.</p> <p>2016: new campground office located at Mariner Park.</p> <p>12/2018: Relocated mouth of Slough away from Campground area</p>	
Finance Dept. Code:	



Designated Use: Open Space (Resolution 2018-035)

Acquisition History: Tax foreclosure (seawall) KPB Ord 02-41

Area: 1.66 acres

Parcel Number: 177177-06, 07

2019 Assessed Value: \$4,700 (combined value)

Legal Description: Lot 43 and 44, Oscar Munson Subdivision

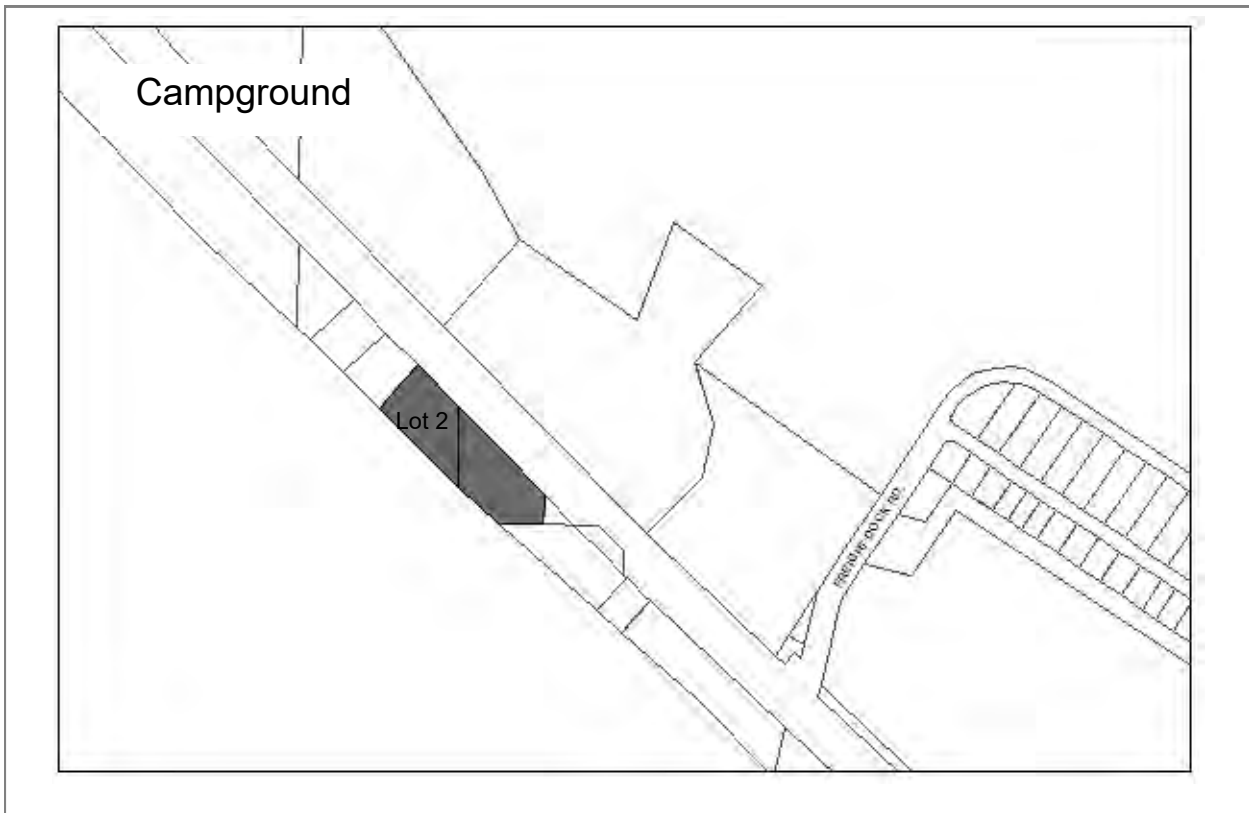
Zoning: Rural Residential

Wetlands: Most of these lots are tidal and critical habitat.

Infrastructure: Gravel road, water and sewer, natural gas, seawall.

Notes: These lots contain seawall frontage. There is little to any developable area. There continues to be bluff erosion above the seawall on these lots. There are seawall and SAD assessments on these properties. A new seawall assessment of approximately \$83,000 may be levied as part of a new SAD.

Finance Dept. Code:



Designated Use: Camping
Acquisition History:

Area: 3.92 acres (2.1 and 1.82 acres)	Parcel Number: 18103101, 02
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2019 Assessed Value: \$512,300

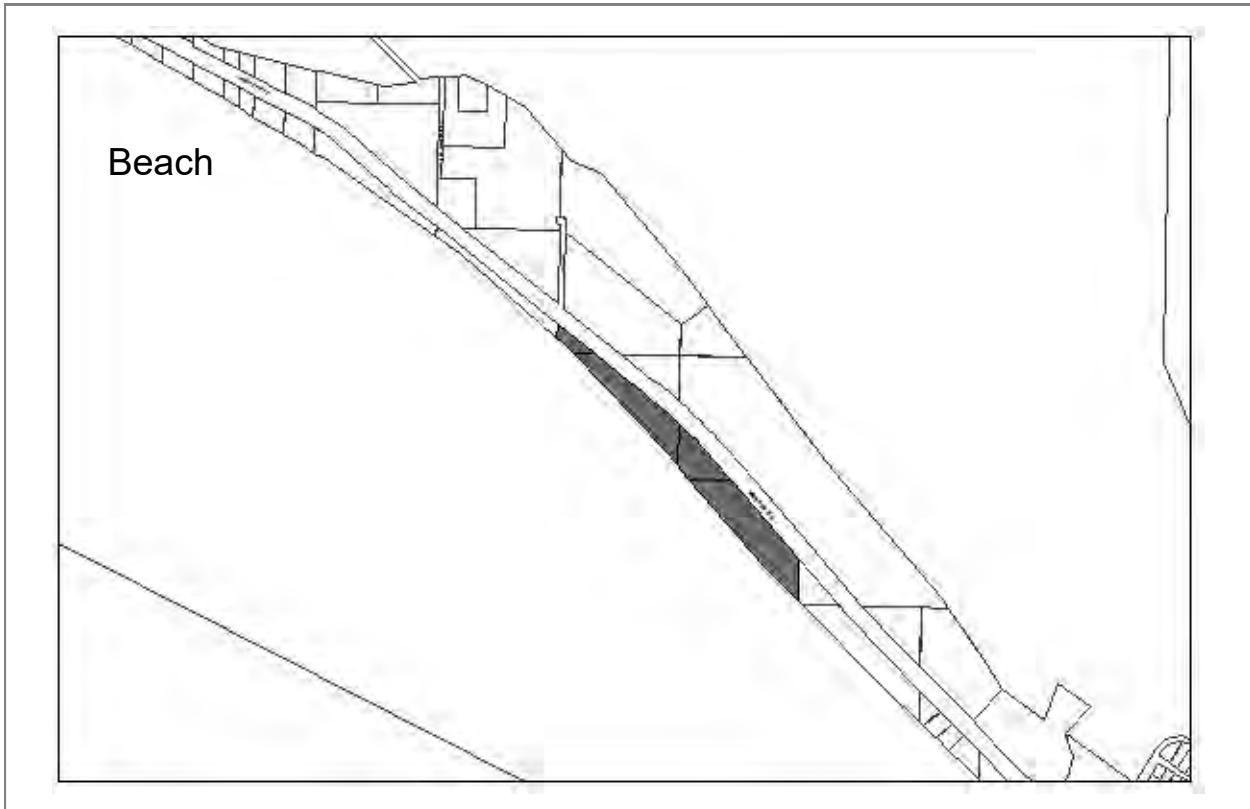
Legal Description: Homer Spit Subdivision Amended Lot 2, and that portion of Government Lot 14 lying south of the Homer Spit Road T6S R13W S35

Zoning: Open Space Recreation.

Infrastructure: Paved road, water and sewer

Notes: At most, 1/3 of the land is above the high tide line. The rest is beach or underwater.
 2016: Campground office sold and removed due to repeated erosion and storm damage.
 2018: Campground closure due to erosion
 2019: Significant erosion, placement of dredge spoils to protect the road. No camping permitted.

Finance Dept. Code:



Designated Use: Public Use/ Open Space Recreation
Acquisition History: Ord 90-26 (KPB). Lot 6: EVOS purchase

Area: 23 acres	Parcel Number: 181030 02, 04, 06 18102011
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2019 Assessed Value: \$22,500

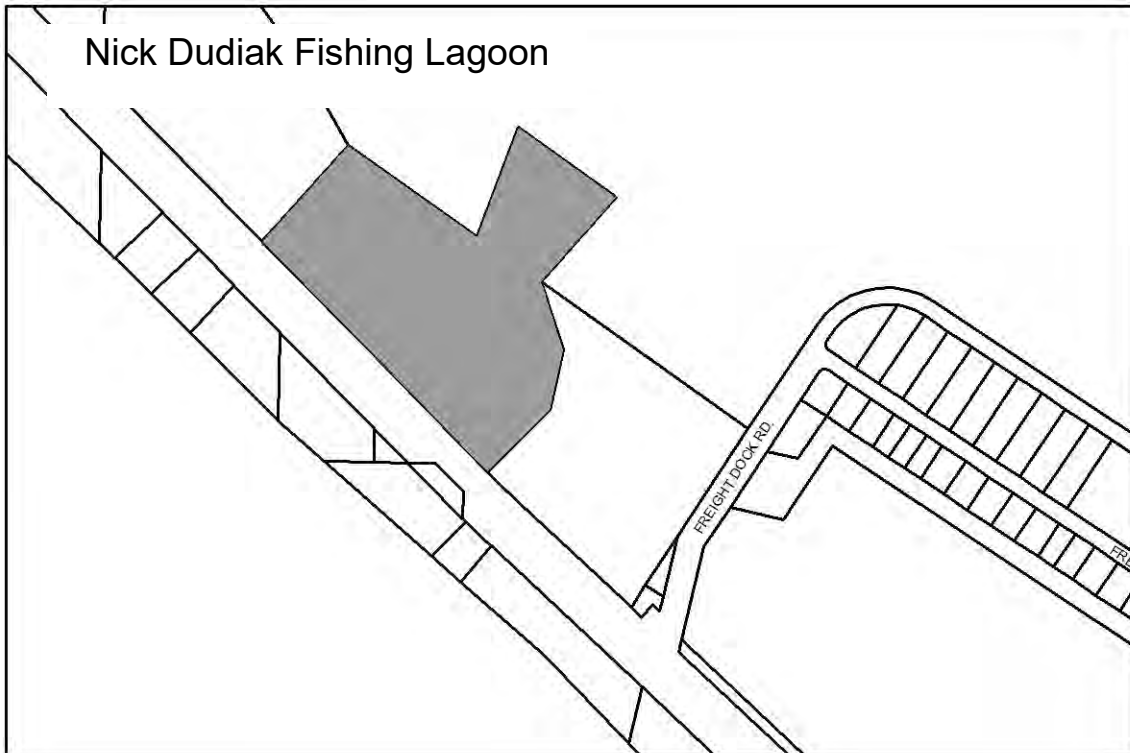
Legal Description: T 6S R 13W SEC 35 SEWARD MERIDIAN HM PORTION GOVT LOT 1,2, Sec 34 Lot 1, lot 6 SW of Sterling Hwy Sec 27

Zoning: Open Space Rec	Wetlands: Tidal
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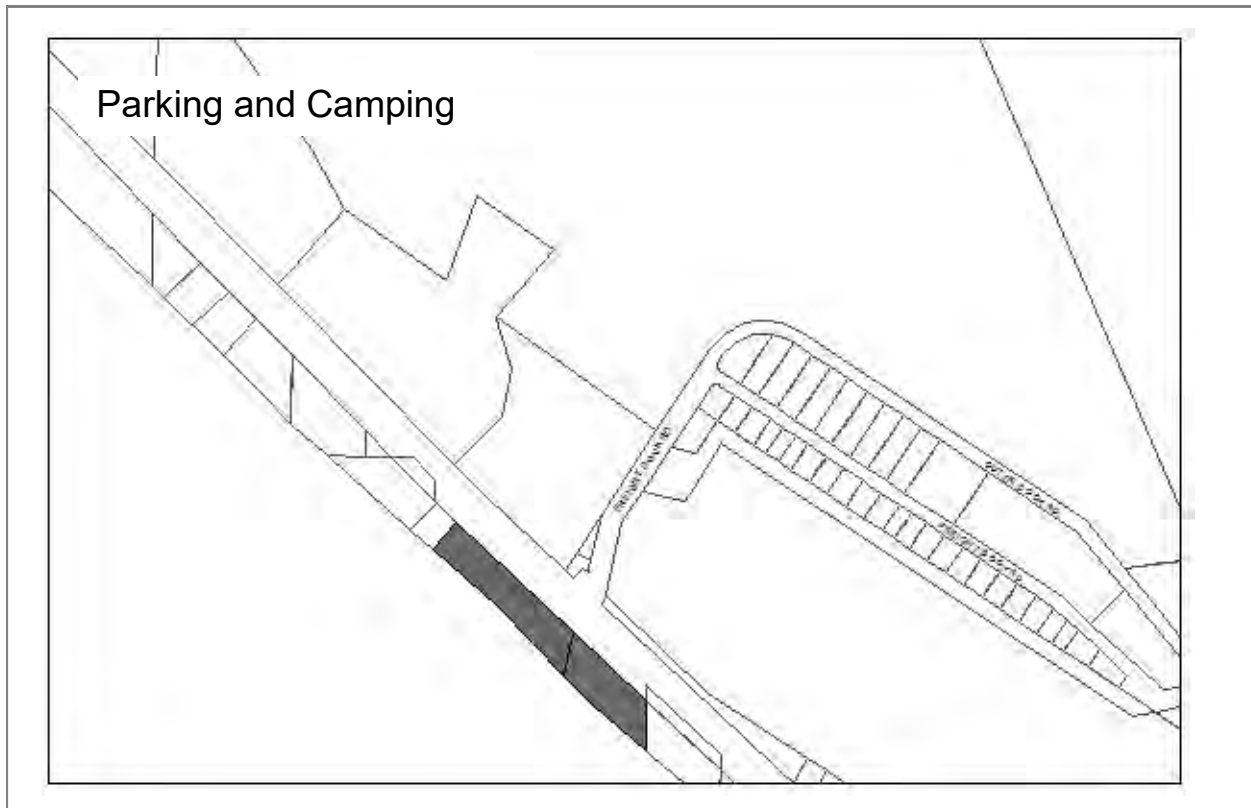
Infrastructure: Paved Road access

Notes:
 Acquisition history of lot 6 should be researched as budget allows

Finance Dept. Code:



Designated Use: Fishing Lagoon	
Acquisition History: Ord 83-26 Purchase from World Seafood	
Area: 17.71 acres	Parcel Number: 18103116
2019 Assessed Value: \$2,482,600	
Legal Description: T 6S R 13W SEC 35 SEWARD MERIDIAN HM 0920039 THE FISHIN HOLE SUB TRACT 2	
Zoning: Open Space Recreation	Wetlands: N/A. Portions in floodplain.
Infrastructure: City Water and Sewer, paved road access. Restroom.	
<p>Notes:</p> <ul style="list-style-type: none"> • Dredged in 2012 • 2016 construction of Kachemak Bay Water Trail shelter • 2016 new fish cleaning tables built (ADFG funded) • 2018: paved trail extended to fish cleaning tables and water trail pavilion. ADA campsites constructed. 	
Finance Dept. Code:	



Designated Use: Western lot: Camping. East lot, parking
Acquisition History:

Area: 5.7 acres	Parcel Number: 18103301, 18103108
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2019 Assessed Value: \$665,900

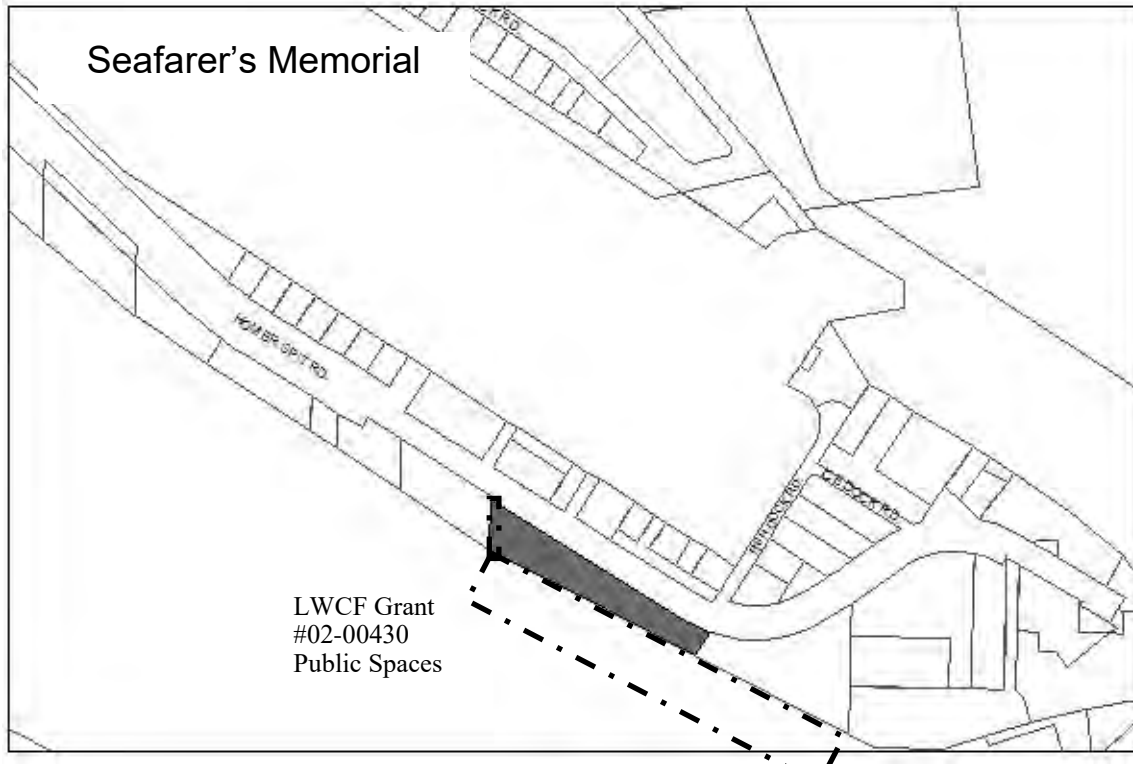
Legal Description: Homer Spit Amended Lots 7 and 9

Zoning: Open Space Recreation	Wetlands: N/A
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Infrastructure: Paved Road

Continued erosion of campground area

Finance Dept. Code:



Designated Use: Seafarer's Memorial and parking
Acquisition History:

Area: 2.52 acres

Parcel Number: 18103401

2019 Assessed Value: \$144,400

Legal Description: Homer Spit Amended Lot 31

Zoning: Open Space Recreation

Wetlands: N/A

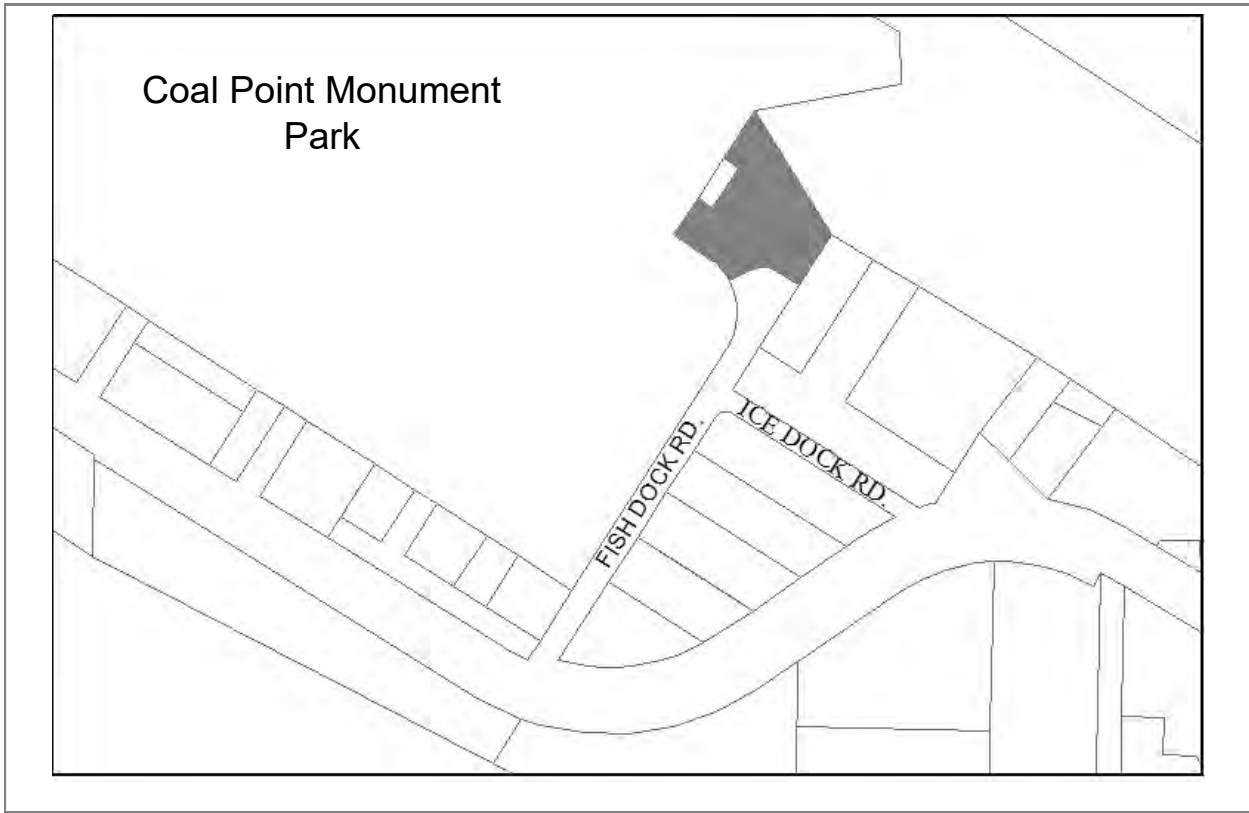
Infrastructure: Paved Road

LWCF Grant #02-00430 (Ramp 2 restrooms) encumbered a 20 foot strip along the northwest property boundary to provide permanent public beach access from Homer Spit Road to the tideland parcel. Seaward of the park parcel, a 250 foot wide strip of the tideland lot was also encumbered.

Memorial is a 100x100 foot area.

Resolution 20-008(S-3)(A) adopted a land management policy for this parcel.

Finance Dept. Code:



Designated Use: Park
Acquisition History:

Area: 1.09 acres	Parcel Number: 18103426
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2019 Assessed Value: \$255,800

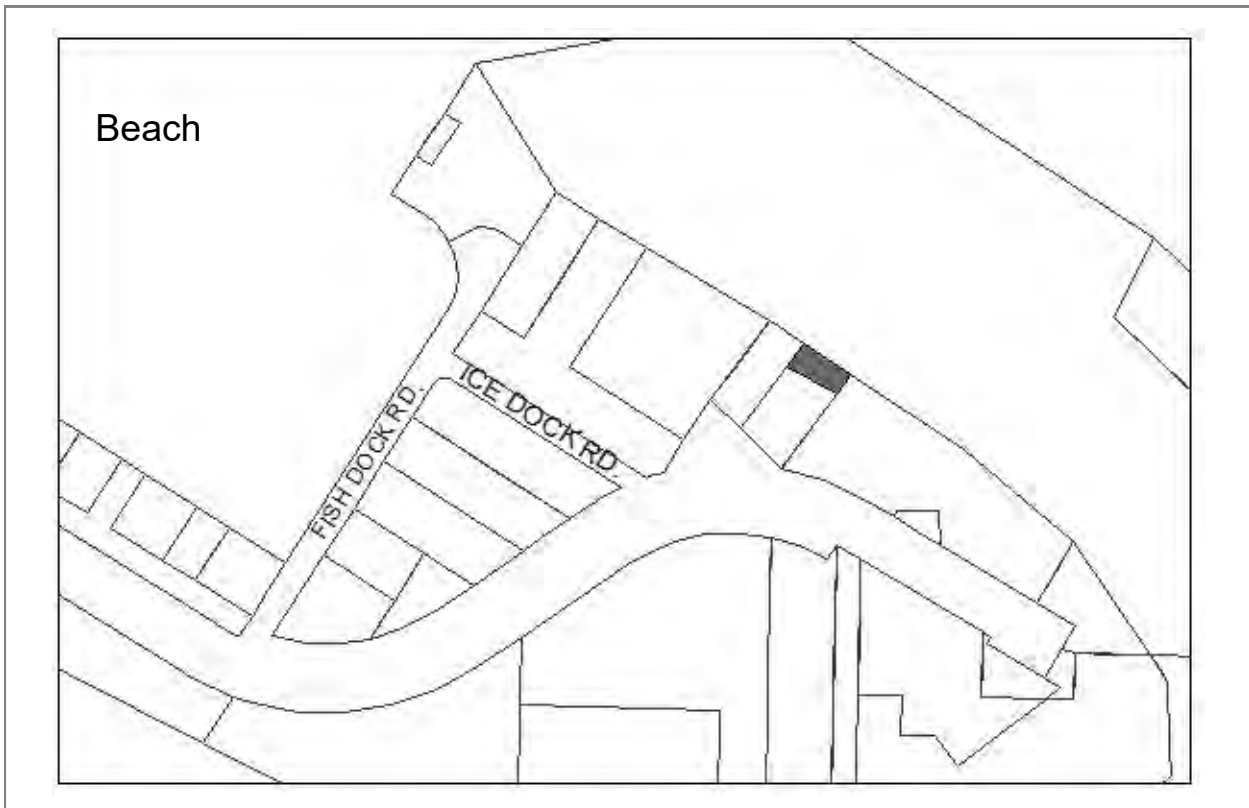
Legal Description: LEGAL T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED COAL POINT MONUMENT PARK EXCLUDING THAT PORTION AS PER LEASE AGREEMENT 187 @ 921

Zoning: Marine Industrial	Wetlands:
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Infrastructure: gravel parking area

Notes:

Finance Dept. Code:



Designated Use: Beachfront between Icicle and Main Dock
Acquisition History:

Area: 0.11 acres

Parcel Number: 18103446

2019 Assessed Value: \$169,900

Legal Description: T 7S R 13W SEC 1 SEWARD MERIDIAN HM THAT PORTION OF GOVT LOT 20 LYING NE OF THE HOMER SPIT RD & BOUNDED ON THE NW BY LOT 43 OF HOMER SPIT SUB AMENDED & BOUNDED ON THE NE BY ATS 612 & BOUNDED ON THE SE BY LOT 45 OF HOMER SPIT SUB AMENDED & BOUNDED ON THE

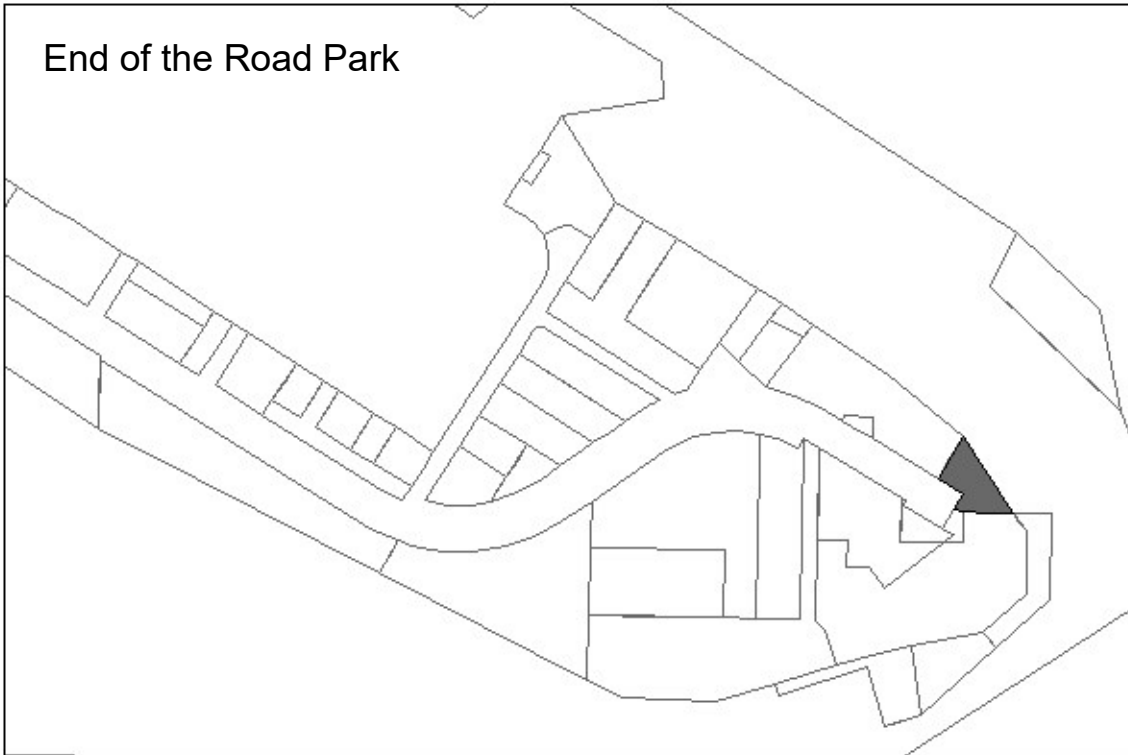
Zoning: Marine Industrial

Wetlands: N/A tidal, flood plain

Infrastructure:

Notes:

Finance Dept. Code:



Designated Use: End of the Road Park Resolution 13-032
Acquisition History:

Area: 0.43 acres	Parcel Number: 18103448
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2019 Assessed Value: \$319,300

Legal Description: HM0930049 T07S R13W S01 HOMER SPIT SUB NO 6 VELMA'S ADDN LOT 45-B

Zoning: Marine Industrial	Wetlands: N/A
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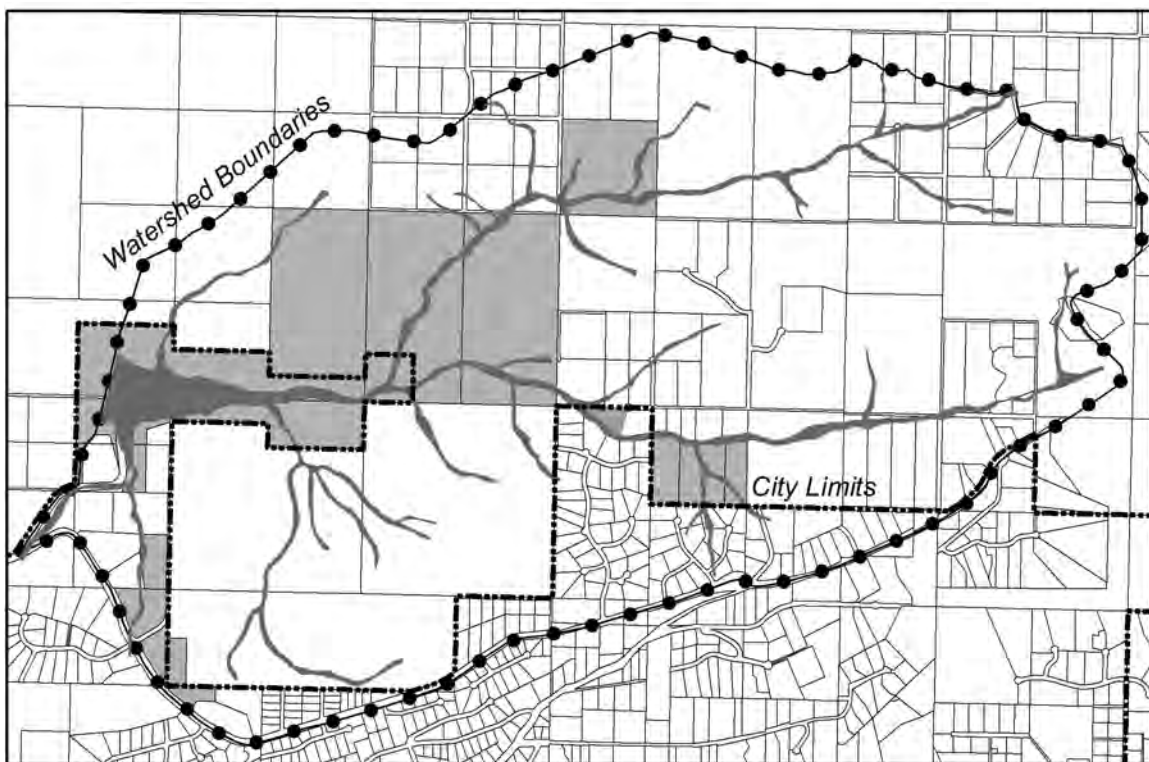
Infrastructure: Water, sewer, paved road access	Address:
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- Restroom construction 2013/14, parking lot paved, and spit trail completed
- Access easement granted to Land's End for fire egress, due to erosion of beach.
- Coastal Erosion occurring, 2018—

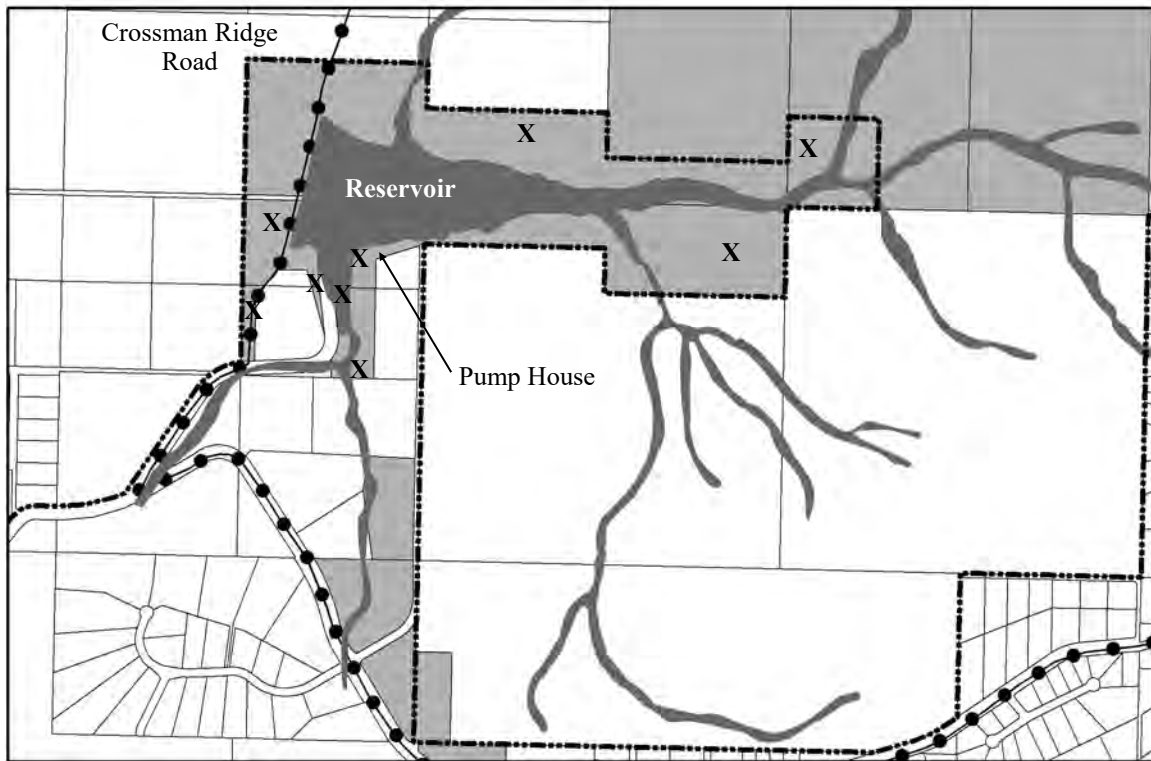
Finance Dept. Code:

City Lands within the Bridge Creek Watershed Protection District

These properties lie within the Bridge Creek Watershed Protection District. Not all the lands within the district are in Homer City limits. The city owns 22 lots totaling 438.46. Lands include conservation purchases from the University of Alaska, Bureau of Indian Affairs, Kenai Peninsula Borough tax foreclosure, private parties, and water system infrastructure such as the reservoir, pump house, and water treatment plant and tanks.



Section updated November 30, 2020



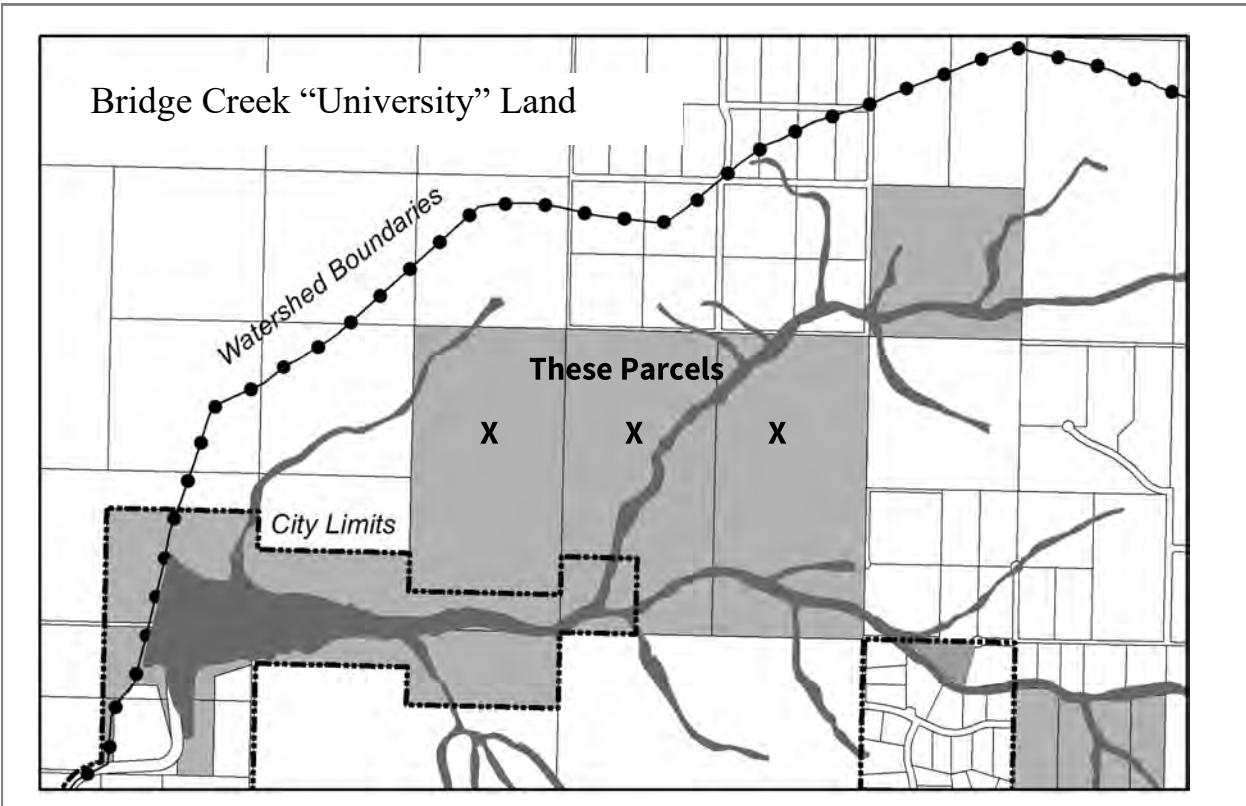
Designated Use: Bridge Creek Watershed, Reservoir and pump house
Acquisition History:

Area: 120.9 acres **Zoning:** Conservation **2020 Assessed Value:** \$873,900

PARCEL ACREAGE LEGAL

17307053	0.410	T 6S R 13W SEC 7 SEWARD MERIDIAN HM 0711238 DIAMOND RIDGE ESTATES SUB LOT 2 THAT PORTION THEREOF LYING EAST OF DIAMOND RIDGE ROAD
17307057	1.470	T 6S R 13W SEC 7 SEWARD MERIDIAN HM 0711238 DIAMOND RIDGE ESTATES SUB LOT 13 A PORTION THEREOF
17307059	0.130	T 6S R 13W SEC 7 SEWARD MERIDIAN HM 0711238 DIAMOND RIDGE ESTATES SUB LOT 13 A PORTION THEREOF
17307062	7.350	T 6S R 13W SEC 7 SEWARD MERIDIAN HM 0711238 DIAMOND RIDGE ESTATES SUB LOT 1 PORTION THEREOF
17307064	6.940	T 6S R 13W SEC 7 SEWARD MERIDIAN HM 0711238 DIAMOND RIDGE ESTATES SUB LOT 2 PORTION THEREOF
17305301	30.000	T 6S R 13W SEC 8 SEWARD MERIDIAN HM N1/2 N1/2 NW1/4 NW1/4 & N1/2 NE1/4 NW1/4
17305111	60.000	T 6S R 13W SEC 5 T 6S R 13W SEC 6 HM SEWARD MERIDIAN S1/2 S1/2 SE1/4 SW1/4 & S1/2 SW1/4 SW1/4 OF SEC 5 & S1/2 SE1/4 SE1/4 & S1/2 N1/2 SE1/4 SE1/4 OF SEC 6
17305236	10.000	T 6S R 13W SEC 5 SEWARD MERIDIAN HM SW1/4 SW1/4 SE1/4
17307060	4.600	T 6S R 13W SEC 7 SEWARD MERIDIAN HM 0711238 DIAMOND RIDGE ESTATES SUB LOT 14 THE W1/2 THEREOF

Finance Dept. Code:



Designated Use: Bridge Creek Watershed Property
Acquisition History: Ordinance 2003-7(A). Purchased from UAA.

Area: 220 acres	Parcel Number: 173 052 34, 35, 17305120
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2020 Assessed Value: \$132,600

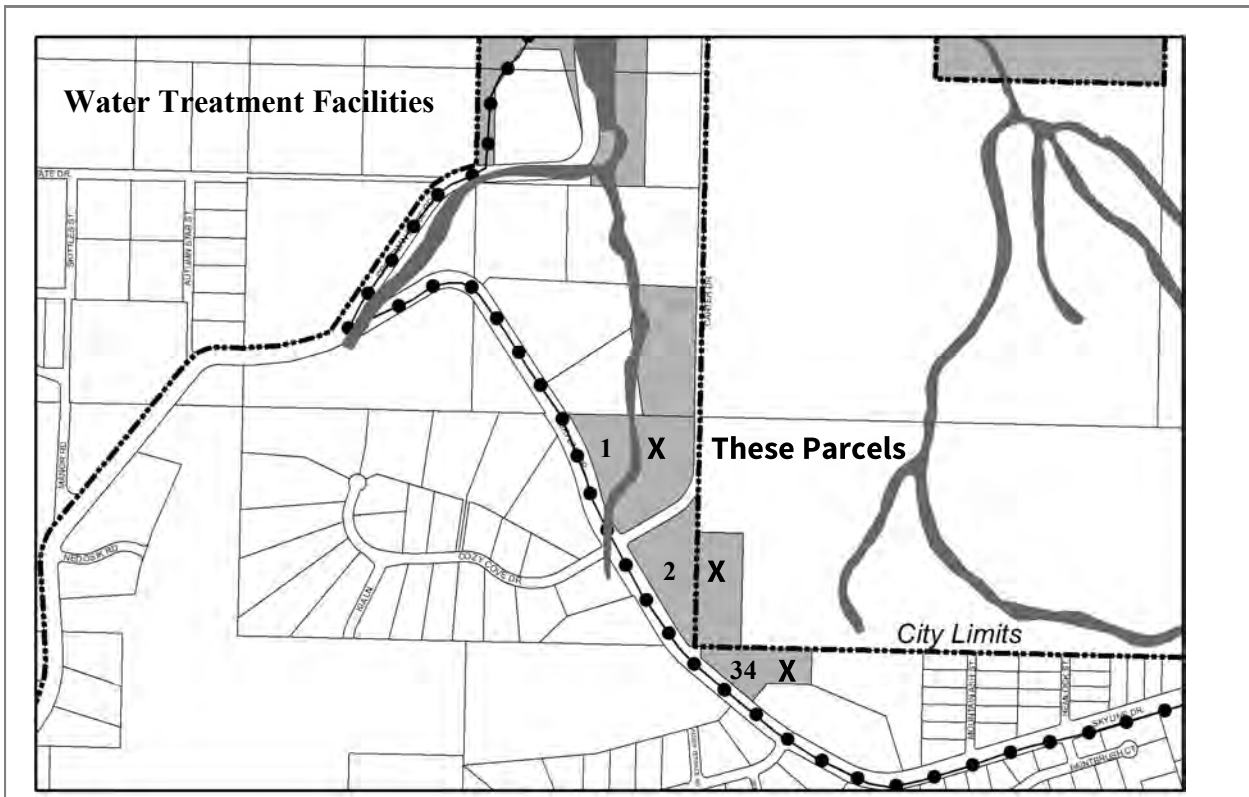
Legal Description: The Northwest one-quarter of the Southeast one-quarter (NW1/4 SE1/4) and the East one-half of the Southwest one-Quarter of the Southeast one-quarter (E1/2 SW1/4 SE1/4) and the Northwest one-quarter of the Southwest one-quarter of the Southeast one-quarter (NW1/4 SW1/4 SE1/4) and the Northeast one-quarter of the Southwest one-quarter (NE1/4 SW1/4) and the North one-half of the South one-half of the Southeast one-quarter of the Southwest one-quarter (N1/2 S 1/2 SE1/4 SW1/4) and the East one-half of the Southeast one-quarter (E1/2 SE1/4) of Section 5, Township 6 South, Range 13 West, Seward Meridian, in the Homer Recording District, State of Alaska.

Zoning: Bridge Creek Watershed Protection District. Not within City Limits.	Wetlands: Some wetlands. Bridge Creek flows through the property.
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Infrastructure: None. Limited legal and physical access.

Notes:
 Paid \$265,000 for land in 2003.
 Fire hazard mitigation conducted in 2011.

Finance Dept. Code:



Designated Use: Protecting the watershed and providing alternate access to property north of the City's water treatment plant, Water Tank and building, City Well Reserve Water Tank and building/Public Purpose.

Acquisition History: Ordinance 10-21 (Lot 1) Lot 34 Purchased 1/97 Tulin

<p>Area: Lot 1: 7.83 acres Lot 2: 8.34 acres Lot 34: 3 acres</p>	<p>Parcel Number: 17307094, 95, 96, 17308034</p>
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2020 Assessed Value: Lot 1: land \$87,100 Lot 2: Land \$112,600, improvements \$3,694,100
 Lot 34: land \$84,900, Improvements \$754,700,

Legal Description: Hillstrand's Homestead Lots 1, 2, Tulin Terrace Upper Terrace Lot 34

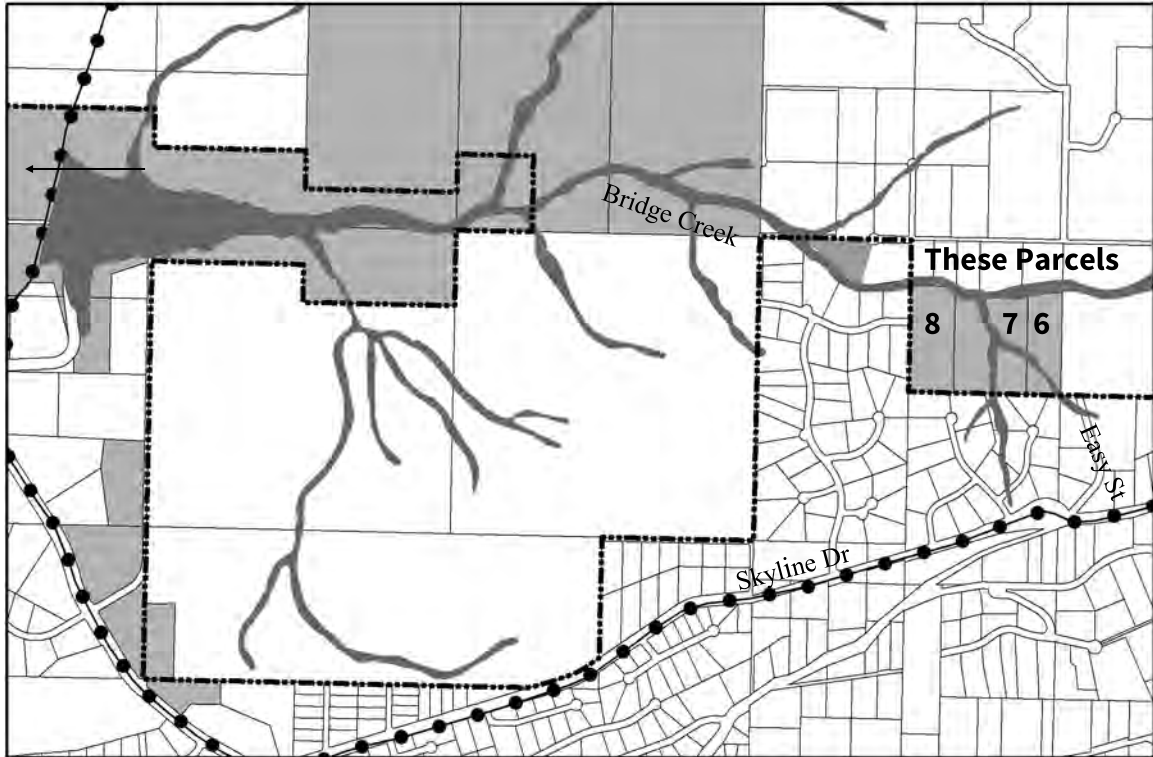
<p>Zoning: Rural Residential, Bridge Creek WPD</p>	<p>Wetlands: Some discharge slope wetland, possibly a creek to the Reservoir.</p>
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Infrastructure: Paved road, electricity

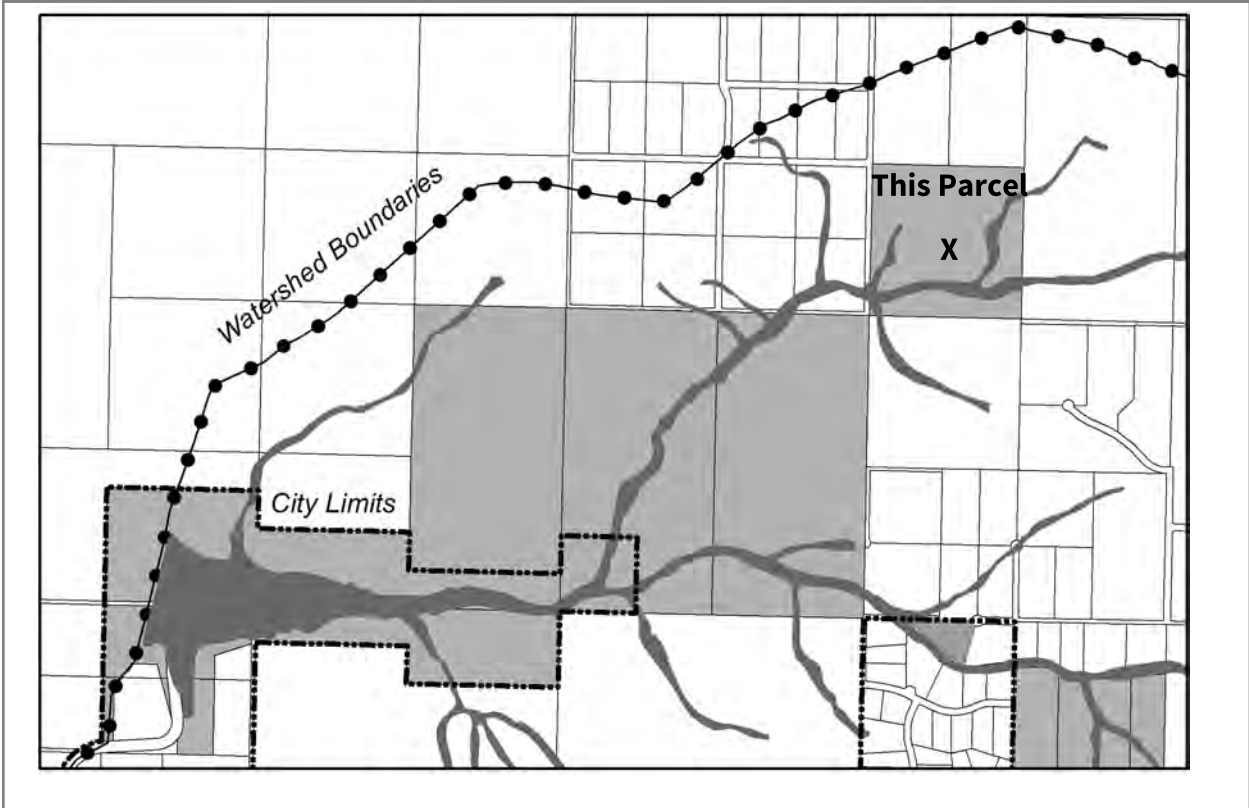
Notes:

Bulk of Lot 1 purchased in 2010, Ord 10-21, \$90,000. 184 Skyline Dr
 Former water treatment plant site. A fire station/equipment storage was constructed in 2014.
 Eastern half of lot 2, acquired through eminent domain. Location of the water treatment plant.
 Lot 34 is the site of a 1 million gallon water tank.

Finance Dept. Code:



Designated Use: Watershed Protection Purposes	
Acquisition History: Ordinance 2009-08(A)	
Area: Lot 6: 6.91 acres, Lot 7: 13.38 acres Lot 8: 8.89 acres Total: 28.81 acres	Parcel Numbers: 1736600 6, 7, 8
2020 Assessed Value: \$121,500	
Legal Description: Lots 6,7 and 8, Roehl Parcels Record of Survey Amended	
Zoning: Not in city limits.	Wetlands: about half the land is wetland. Bridge Creek is the northern boundary of these lots.
Infrastructure: Gravel access on Easy Street and Quinalt Ave. There is a gravel road with some sort of easement over lots 6 and 7.	
<p>Notes: Lots purchased 2/25/09 from BIA Lot 6, \$58,735, recorded document 2009-000612-0 Lot 7, \$113,730, recorded document 2009-000613-0 Lot 8, \$75,565, recorded document 2009-000611-0 Total Cost: \$248,030</p> <p>The northern lot line of these lots is bridge creek, and meanders as the creek meanders.</p> <p>Public roadway easement granted 7/29/21 2001-002825-0 Homer Recording District</p>	
Finance Dept. Code:	



Designated Use: Public Purpose, Watershed Protection Purposes (Reso 16-043 Ord 16-19)
Acquisition History: Tax foreclosure from KPB, Ordinance 15-15,

Area: 40 acres

Parcel Numbers: 17305219

2020 Assessed Value: \$19,800

Legal Description: T 6S R 13W SEC 4 SEWARD MERIDIAN HM SW1/4 NW1/4

Zoning: Not in city limits, part of the Bridge Creek WPD.

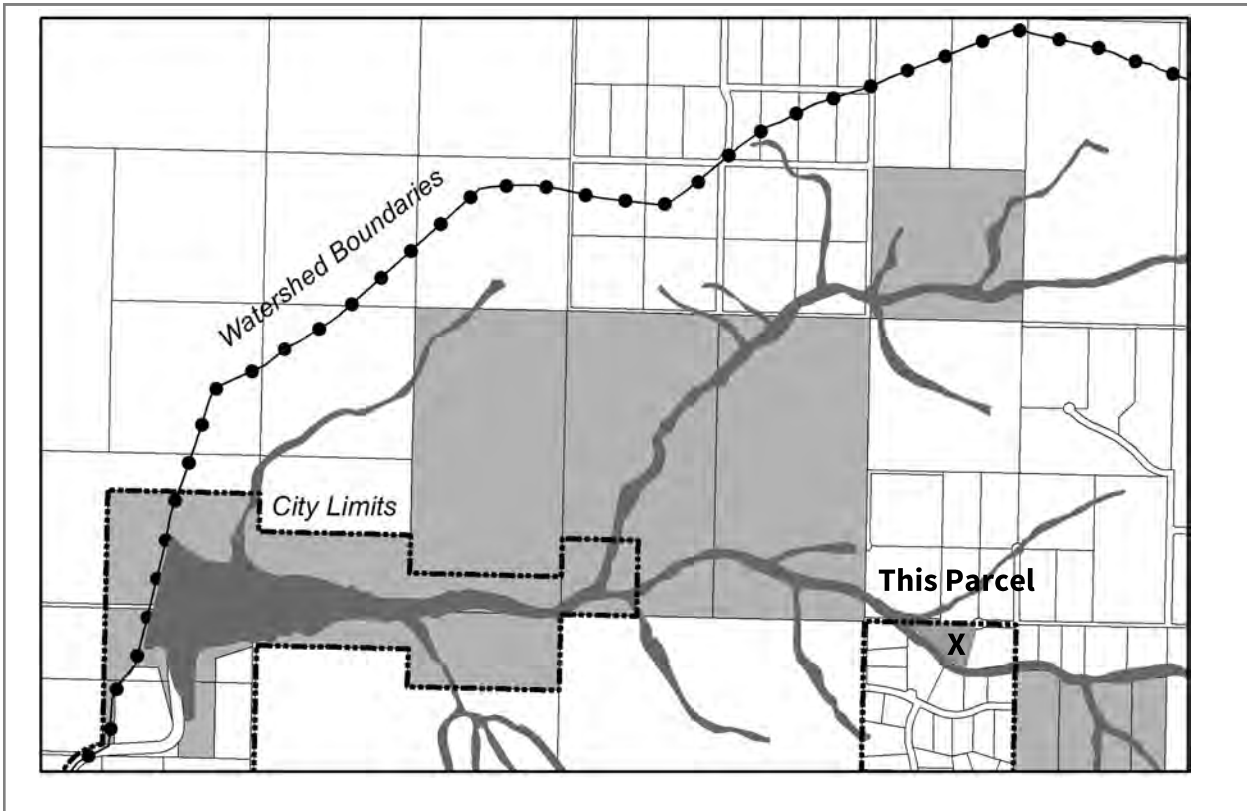
Wetlands: about half the land is wetland. Bridge Creek is the northern boundary of these lots.

Infrastructure: Gravel access on Easy Street and Quinalt Ave. There is a gravel road with some sort of easement over lots 6 and 7.

Notes:

Purchase cost: \$2,805.21 in 2015.
 Legal and physical access to this property is difficult. Bridge Creek flows through a ravine along the bottom third of the lot, and the property is generally steep.

Finance Dept. Code:



Designated Use: Watershed Protection Purposes (Ord 17-27)

Acquisition History: City purchased from private land owner

Area: 2.86 acres

Parcel Number: 17305408

2020 Assessed Value: \$12,100

Legal Description: T 6S R 13W SEC 9 SM Kelly Ranch Estates Sub Lot 8 Block 1

Zoning: RR, and part of the Bridge Creek WPD.

Wetlands: Lot is all wetlands. Bridge Creek runs through the valley on the south side of the lot.

Infrastructure: Access by foot or ATV via a section line and undeveloped right of way.

Notes:

Purchase cost: \$21,000 in 2017. KPB assessed values have fluctuated quite a bit over time.

Finance Dept. Code:

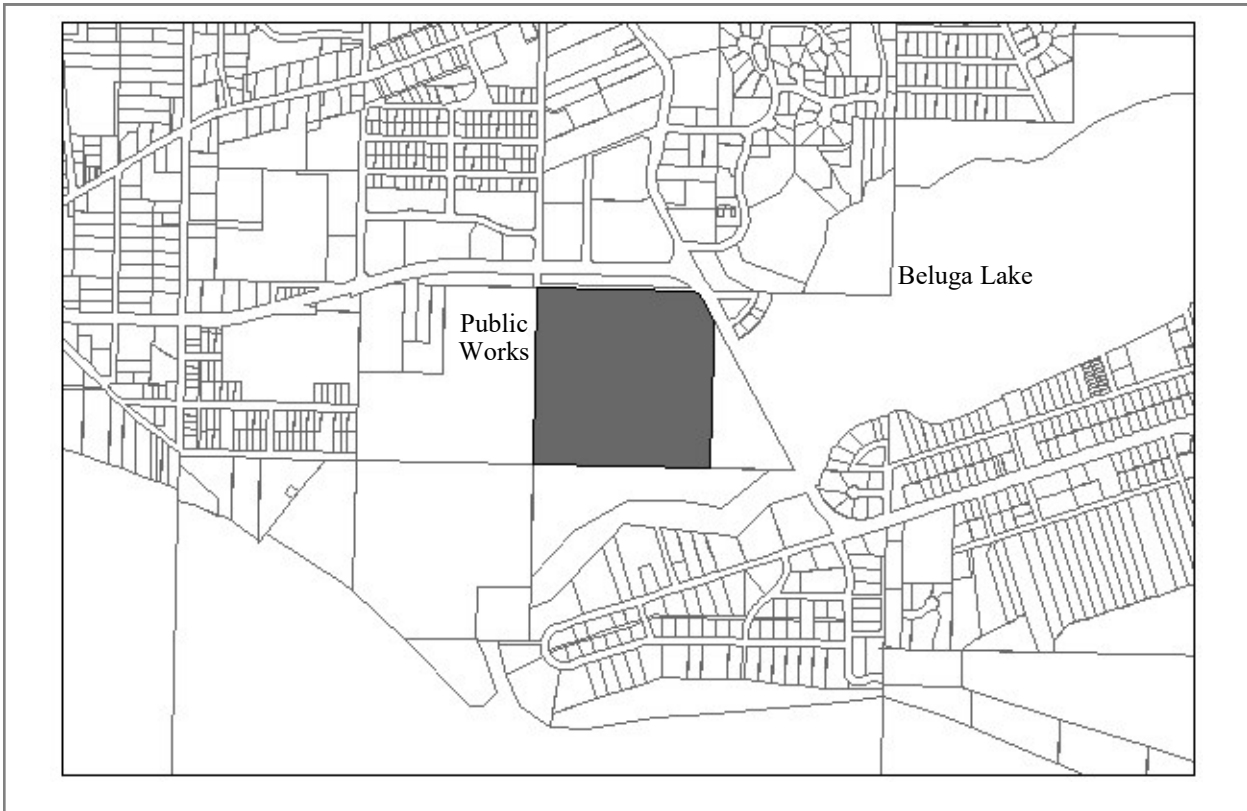
Homer Conservation Easement Lands

Most conservation lands in Homer were acquired through Exxon Valdez Oil Spill funding. Generally there are very strict easements on these lands as they were purchased to protect habitat, particularly shorebird habitat in sensitive areas. A portion of Louie's Lagoon has a conservation easement held by the Kachemak Heritage Land Trust. In 2020, The Nature Conservancy donated a 2.62 acre parcel along the Homer Spit to the city.

Total acreage: 172.34 acres.



This section updated 11/30/2020



Designated Use:
Acquisition History: EVOS purchase and conservation easement.

Area: 39.24 acres	Parcel Number: 17714006
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2021 Assessed Value: \$13,900

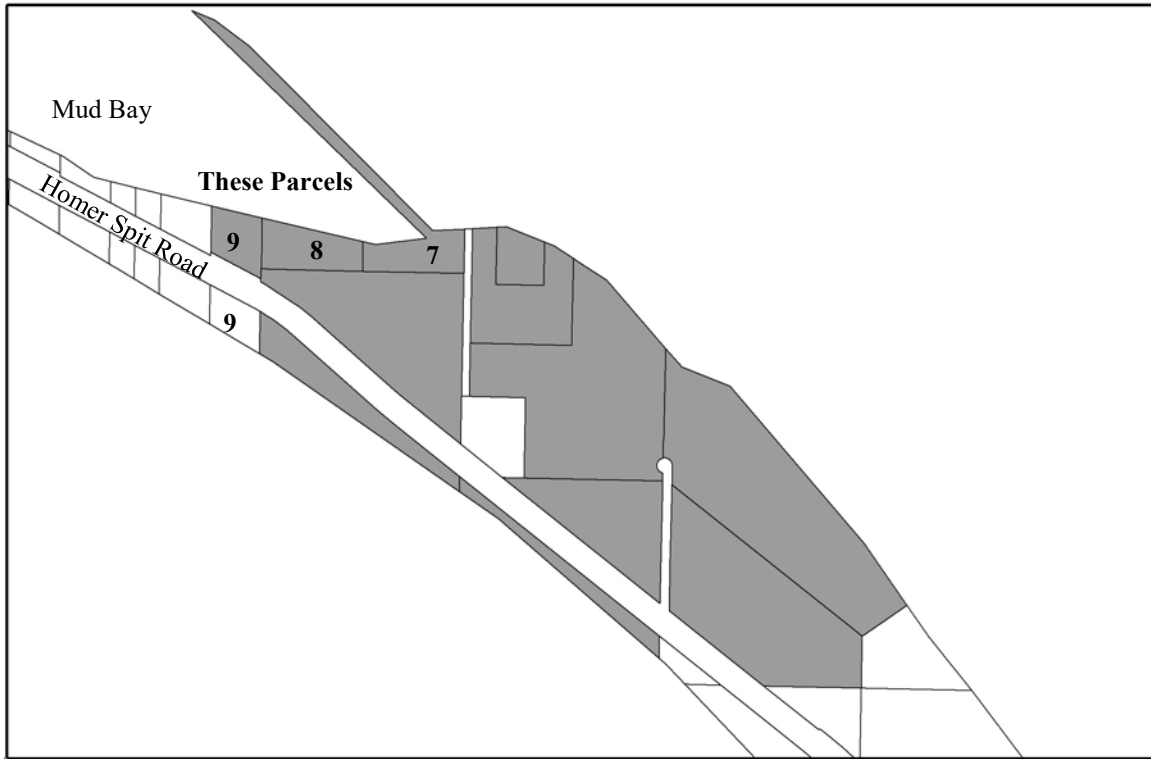
Legal Description: HM T06S R13W S20 NW1/4 SE1/4 EXC HOMER BY PASS RD

Zoning: Conservation	Wetlands: Beluga Slough Estuary
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Notes:

- Conservation Easement document recorded in Book 0275, Page 243, Homer Recording District, 4/21/98.
- Parcel is within a FEMA-mapped floodplain.
- Resolution 15-064 supported the inclusion of this land in the Western Hemisphere Shorebird Reserve Network

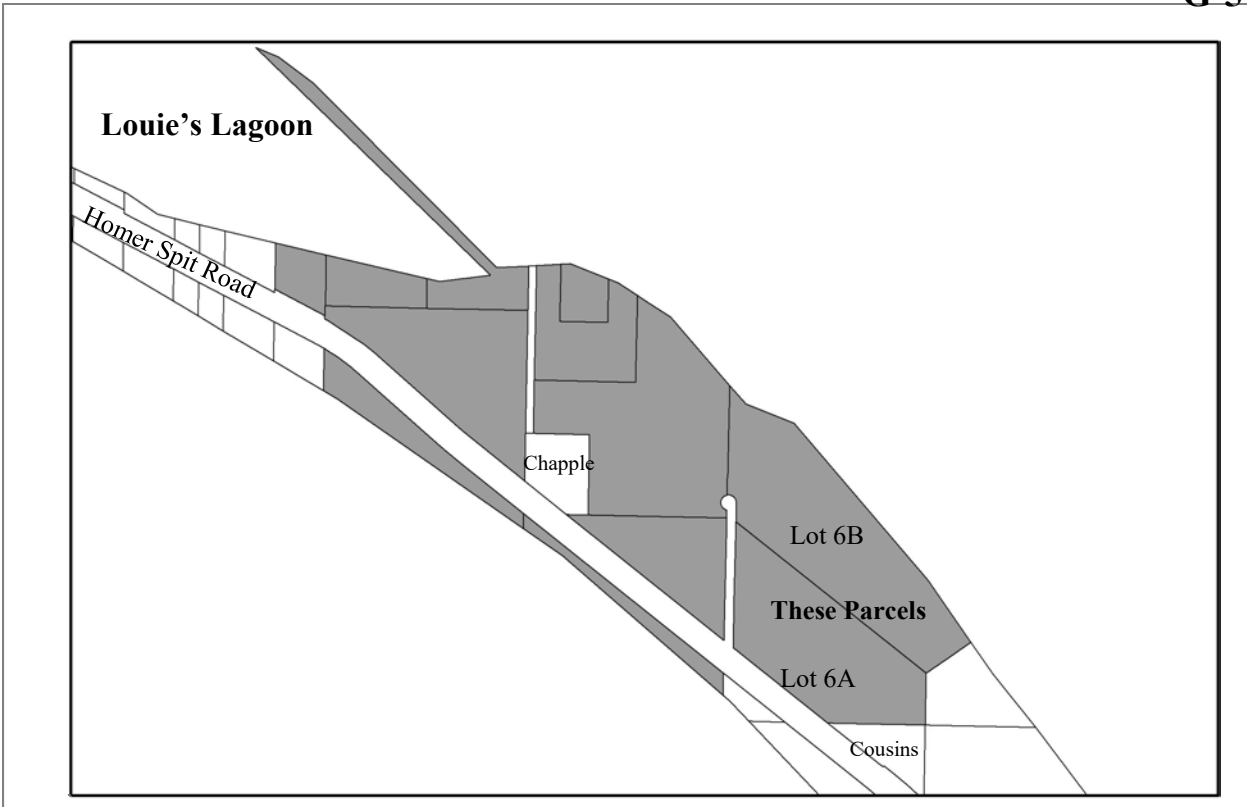
Finance Dept. Code: 392.0013



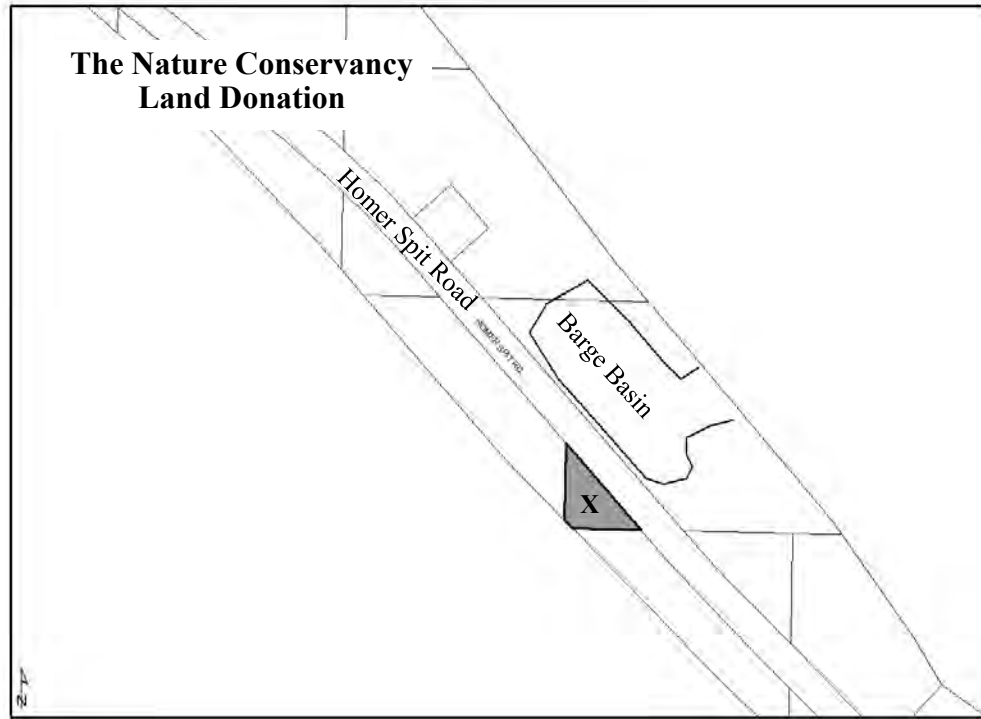
Designated Use:	
Acquisition History: EVOS purchase and conservation easement. Resolution 97-72 and 104.	
Area: Lot 7: 7.1 acres Lot 8: 3.94 acres Lot 9: 3.00 acres Lot 9 S of Road: 2.16 acres (no EVOS Conservation Easement)	Parcel Number: 181020 02, 01, 18101023, 24
2021 Assessed Value: Lot 7: \$5,200 Lot 8: \$95,600 Lot 9: \$162,300 Lot 9S: \$3,800	
Legal Description: HM T06S R13W S27 GOV'T LOT 7 (east) and 8 (west) HM T06S R13W S28 THAT PORTION OF GOV'T LOT 9 LYING NORTH OF HOMER SPIT RD	
Zoning: Conservation—lots 7 and 8 Open Space Recreation—Lot 9	Environment: State Critical Habitat Area below 17.4 ft . mean high tide line.
Notes:	
<ul style="list-style-type: none"> • Conservation easement recorded in Book 0275, Page 229, Homer Recording District, 4/21/98. • Parcels are within a FEMA-mapped flood hazard area. 	
Finance Dept. Code:	



Designated Use:	
Acquisition History: EVOS purchase and conservation easement.	
Area: Total: 70.97 acres	Parcel Number: 18102 03, 04, 05, 06, 09, 10,14
2021 Assessed Value: Total: \$283,100	
Legal Description: T 6S R 13W SEC 27 SEWARD MERIDIAN HM:	
<ul style="list-style-type: none"> • 0630660 WALTER DUFOUR SUB LOT 1, 0630060 WALTER DUFOUR SUB TRACT A • THAT PORTION OF GOVT LOT 3 LYING NORTH OF HOMER SPIT RD • THAT PORTION OF GOVT LOT 3 LYING SOUTH OF HOMER SPIT RD • THAT PORTION OF GOVT LOT 5 LYING NORTH OF HOMER SPIT RD • PORTION OF GOVT LOT 5 LYING SOUTH OF HOMER SPIT HWY • 0770055 WALTER DUFOUR SUB TRACT B TRACT B 	
Zoning: Conservation South side of lot 5 is zoned Marine Industrial, but development is restricted by the conservation easement.	Environment: State Critical Habitat Area below 17.4 ft. mean high tide line.
Notes:	
<ul style="list-style-type: none"> • Conservation easement recorded in Book 0275, Page 222, Homer Recording District,4/21/98. • Deeded to the City on same date, Book 0275, Page 236, HRD. • Parcels are within a FEMA-mapped flood hazard area. 	
Finance Dept. Code:	



Designated Use:	
Acquisition History: EVOS purchase and conservation easement.	
Area: Total: 45.47 acres	Parcel Number: 181-020 - 18, 19
2021 Assessed Value: Total: \$204,300	
Legal Description: HM2001008 T06S R13W S27 LOUIE'S LAGOON LOT 6-A HM2001008 T06S R13W S27 LOUIE'S LAGOON LOT 6-B	
Zoning: Conservation	Environment: State Critical Habitat Area below 17.4 ft. mean high tide line.
Notes:	
<ul style="list-style-type: none"> • Conservation easement recorded in Book 0275, Page 229, Homer Recording District, 4/21/98. This easement covers former Lot 6. See plat 2001-008. • Conservation easement with Kachemak Heritage Land Trust on Lot 6B. Executed 10/4/02, document 2004-004843-0 HRD. • Parcels are within a FEMA-mapped flood hazard area. 	
Finance Dept. Code:	



Designated Use: Conservation	
Acquisition History: Land donation from The Nature Conservancy, Resolution 20-006	
Area: Total: 2.62 acres	Parcel Number: 18103007
2021 Assessed Value: \$4,000	
Legal Description: T 6S R 13W SEC 35 SEWARD MERIDIAN HM THAT PORTION OF GOVT LOT 3 LYING SOUTHWEST OF THE HOMER SPIT RD	
Zoning: Open Space Recreation	Environment: State Critical Habitat Area below 17.4 ft. mean high tide line.
Notes: <ul style="list-style-type: none"> Property is bound by the original grant agreement terms between the US Fish and Wildlife Service and the Nature Conservancy under Agreement Number 98210-0-G70. The North American Conservation Fund funds used by The Nature Conservancy to purchase the property require the parcel to be held in perpetuity as conservation land. Parcel is within a FEMA-mapped flood hazard area. Recording information: 2020-003888-0 11/10/2020, 2020-00300889-0 	
Finance Dept. Code:	

City Lands

PARCEL_ID	ADDRESS	ACREAGE	LEGAL DESCRIPTION	Land Allocation
17302201		33.00	T 6S R 14W SEC 9 SEWARD MERIDIAN HM SE1/4 SE1/4 EXCLUDING THE W1/2 SW1/4 SE1/4 SE1/4	E-2
17303229		240.00	T 6S R 14W SEC 10 SEWARD MERIDIAN HM SE1/4 & S1/2 SW1/4	E-2
17305111		60.00	T 6S R 13W SEC 5 & 6 SEWARD MERIDIAN HM S1/2 S1/2 SE1/4 SW1/4 & S1/2 SW1/4 SW1/4 OF SEC 5 & S1/2 SE1/4 SE1/4 & S1/2 N1/2 SE1/4 SE1/4 OF SEC 6	F-2
17305120		70.00	T 6S R 13W SEC 5 SEWARD MERIDIAN HM NE1/4 SW1/4 & N1/2 SE1/4 SW1/4 & N1/2 S1/2 SE1/4 SW1/4	F-3
17305219		40.00	T 6S R 13W SEC 4 SEWARD MERIDIAN HM SW1/4 NW1/4	F-7
17305234		80.00	T 6S R 13W SEC 5 SEWARD MERIDIAN HM E1/2 SE1/4	F-3
17305235		70.00	T 6S R 13W SEC 5 SEWARD MERIDIAN HM NW1/4 SE1/4 & E1/2 SW1/4 SE1/4 & NW1/4 SW1/4 SE1/4	F-3
17305236		10.00	T 6S R 13W SEC 5 SEWARD MERIDIAN HM SW1/4 SW1/4 SE1/4	F-2
17305301		30.00	T 6S R 13W SEC 8 SEWARD MERIDIAN HM N1/2 N1/2 NW1/4 NW1/4 & N1/2 NE1/4 NW1/4	F-2
17305408		2.86	T 6S R 13W SEC 9 SM Kelly Ranch Estates Sub Lot 8 Block 1	F-8
17307053		0.41	T 6S R 13W SEC 7 SEWARD MERIDIAN HM 0711238 DIAMOND RIDGE ESTATES SUB LOT 2 THAT PORTION THEREOF LYING EAST OF DIAMOND RIDGE ROAD	F-2
17307057		1.47	T 6S R 13W SEC 7 SEWARD MERIDIAN HM 0711238 DIAMOND RIDGE ESTATES SUB LOT 13 A PORTION THEREOF	F-2
17307059		0.13	T 6S R 13W SEC 7 SEWARD MERIDIAN HM 0711238 DIAMOND RIDGE ESTATES SUB LOT 13 A PORTION THEREOF	F-2
17307060		4.60	T 6S R 13W SEC 7 SEWARD MERIDIAN HM 0711238 DIAMOND RIDGE ESTATES SUB LOT 14 THE W1/2 THEREOF	F-2
17307062	160 CROSSMAN RIDGE RD	7.35	T 6S R 13W SEC 7 SEWARD MERIDIAN HM 0711238 DIAMOND RIDGE ESTATES SUB LOT 1 PORTION THEREOF	F-2
17307064		6.94	T 6S R 13W SEC 7 SEWARD MERIDIAN HM 0711238 DIAMOND RIDGE ESTATES SUB LOT 2 PORTION THEREOF	F-2
17307076	5601 CARTER DR	5.93	T 6S R 13W SEC 7 SEWARD MERIDIAN HM 0840119 PIONEER VALLEY SUB LOT 2	F-4
17307094	184 SKYLINE DR	7.83	Hillstrands Homestead Lot 1	F-5
17307095	188 SKYLINE DR	4.32	Hillstrands Homestead Lot 2 inside city limits	F-5

City Lands

PARCEL ID	ADDRESS	ACREAGE	LEGAL DESCRIPTION	Land Allocation
17307096	188 SKYLINE DR	4.02	Hillstrands Homestead Lot 2, portion outside city limits	F-5
17308034	192 SKYLINE DR	3.00	T 6S R 13W SEC 8 SEWARD MERIDIAN HM 0960051 TULIN TERRACE SUB UPPER TERRACE LOT 34	F-5
17316067	4540 ROGERS LOOP	2.00	T 06S R 14W SEC 15 SEWARD MERIDIAN HM 2011022 BISHOP SURVEY J G EVANS ADDN LOT 1 S PRTN IN HOMER CITY LIMITS	E-3
17321011		3.34	T 6S R 14W SEC 3 SEWARD MERIDIAN HM 0631146 TICE ACRES SUB HICKERSON MEMORIAL CEMETERY	E-4
17321013	40722 STACEY ST	1.68	T 6S R 14W SEC 3 SEWARD SW HM 2006017 TICE ACRES REPLAT NO 1 LOT 11-A	E-4
17321014	40746 STACEY ST	0.94	T 6S R 14W SEC 3 SEWARD SW HM 2006017 TICE ACRES REPLAT NO 1 LOT 11-B	E-4
17321015	41170 BELNAP DR	0.95	T 6S R 14W SEC 3 SEWARD SW HM 2006017 TICE ACRES REPLAT NO 1 LOT 11-C	E-4
17366006		6.95	T 6S R 13W SEC 9 SEWARD MERIDIAN HM PTN NE1/4 NW1/4 STARTING @ 1/4 CORNER SECS 4 & 9; TH S 1320 FT TO CN1/16 CORNER; TH W 1320 FT TO NW1/16 CORNER; TH E 1020 FT TO POB; TH N 995 FT TO THREAD OF BRIDGE CREEK; TH E ON THREAD OF BRIDGE CREEK TO N-S CEN	F-6
17366007		13.55	T 6S R 13W SEC 9 SEWARD MERIDIAN HM PTN NE1/4 NW1/4 STARTING @ 1/4 CORNER SECS 4 & 9; TH S 1320 FT TO CN1/16 CORNER; TH W 1320 FT TO NW1/16 CORNER; TH E 390 FT TO POB; TH N 960 FT TO THREAD OF BRIDGE CREEK; TH E ON THREAD OF BRIDGE CREEK 650 FT; TH	F-6
17366008		9.10	T 6S R 13W SEC 9 SEWARD MERIDIAN HM PTN OF NE1/4 NW1/4 STARTING @ 1/4 CORNER OF SECS 4 & 9; TH S 1320 FT TO CN1/16 CORNER; TH W 1320 FT TO NW1/16 CORNER; TH E 390 FT TO POB; TH N 960 FT TO THREAD OF BRIDGE CREEK; TH W ON THREAD OF BRIDGE CREEK 400	F-6
17502056		1.04	T 6S R 14W SEC 13 SEWARD MERIDIAN HM 0770024 EMERALD HIGHLAND ESTATES SUB UNIT 3 LOT 1B BLK 3	E-6
17503025		6.57	T 6S R 14W SEC 13 SEWARD MERIDIAN HM SW1/4 SE1/4 NORTH OF SKYLINE DRIVE EXCLUDING SKYLINE DR SUB	E-5
17504003		10.00	T 6S R 13W SEC 18 SEWARD MERIDIAN HM SE1/4 NE1/4 SW1/4	E-8

City Lands

PARCEL ID	ADDRESS	ACREAGE	LEGAL DESCRIPTION	Land Allocation
17504011	102 DEHEL AVE	0.50	T 6S R 13W SEC 18 SEWARD MERIDIAN HM N 150 FT OF THE S 250 FT OF THE E 180 FT OF THE NE1/4 SE1/4	D-7
17504023	360 W FAIRVIEW AVE	38.30	T 6S R 13W SEC 18 SEWARD MERIDIAN HM THAT PORTION OF SW1/4 SE1/4 EXCLUDING SOUTH PENINSULA HOSPITAL SUB AND SOUTH PENINSULA HOSPITAL SUB 2008 ADDN	E-9
17504024	4300 BARTLETT ST	7.12	T 6S R 13W SEC 18 SEWARD MERIDIAN HM 2008092 SOUTH PENINSULA HOSPITAL SUB 2008 ADDN TRACT A2	D-12
17505107	122 W BAYVIEW AVE	0.26	T 6S R 13W SEC 18 SEWARD MERIDIAN HM 0562936 FAIRVIEW SUB LOT 2 TRACT A	E-10
17505108	110 MOUNTAIN VIEW DR	0.26	T 6S R 13W SEC 18 SEWARD MERIDIAN HM 0562936 FAIRVIEW SUB LOT 1 TRACT A	E-10
17510070		4.30	T 6S R 13W SEC 19 SEWARD MERIDIAN HM 2000022 HOMER SCHOOL SURVEY 1999 CITY ADDN TRACT 2	D-18
17510230		0.32	T 6S R 13W SEC 19 SEWARD MERIDIAN HM 2007031 FOOTHILLS SUB SUNSET VIEW ESTATES ADDN NO 2 PHASE ONE LOT 2 BLOCK 2	D-19
17513353		0.56	T 06S R 13W SEC 19 SEWARD MERIDIAN HM 2020010 BUNNELL'S SUBD NO 17 2018 REPLAT TRACT A	E-11
17514235	224 W PIONEER AVE	0.06	T 6S R 13W SEC 19 SEWARD MERIDIAN HM 2007124 BUNNELLS SUB NO 21 LOT 37F-1	E-12
17514301		0.27	T 6S R 13W SEC 19 SEWARD MERIDIAN HM 0000049 BUNNELLS SUB LOT 75	D-17
17514416	3713 MAIN ST	1.31	T 6S R 13W SEC 19 SEWARD MERIDIAN HM 2008016 HOMER PUBLIC LIBRARY NO 2 LOT 2	D-3
17520009	131 OHLSON LN	0.32	T 6S R 13W SEC 19 SEWARD MERIDIAN HM PORTION THEREOF S OF OLSEN LANE	E-20
17524006		2.75	T 6S R 13W SEC 18 SEWARD MERIDIAN HM 0700402 W R BELL SUB TRACT E	E-7
17528001		1641.24	T 6S R 14W SEC 19 & 23 & 24 & 30 SEWARD MERIDIAN HM 0770064 ALASKA TIDELANDS SURVEY NO 612	D-14
17701009		1.50	T 6S R13W SEC 17 SEWARD MERIDIAN HM 2014023 BARNETT SUB QUIET CREEK ADDN 2014 TRACT A2	D-8
17702057	604 E PIONEER AVE	1.57	T 6S R 13W SEC 17 & 20 SEWARD MERIDIAN HM 0870011 NEW HOMER HIGH SCHOOL NO 2 TRACT 1-B	D-6
17708015		3.00	T 6S R 13W SEC 20 SEWARD MERIDIAN HM 0930008 HOMER FAA SITE SUB TRACT 38A	D-13
17710739	400 HAZEL AVE	2.24	T 6S R 13W SEC 20 SEWARD MERIDIAN HM 2005036 GLACIER VIEW SUB NO 26 TRACT B	D-4

City Lands

PARCEL ID	ADDRESS	ACREAGE	LEGAL DESCRIPTION	Land Allocation
17710740	500 HAZEL AVE	3.01	T 6S R 13W SEC 20 SEWARD MERIDIAN HM 2005036 GLACIER VIEW SUB NO 26 TRACT A	D-4
17702112		0.86	Barnett's South Slope Subdivision Quiet Creek Park Unit 2 TRACT C	E-15
17702125		0.21	Barnett's South Slope Subdivision Quiet Creek Park Unit 2 Tract D	E-15
17712014		1.73	T 6S R 13W SEC 20 SEWARD MERIDIAN HM 0003743 WADDELL SUB THAT PORTION S OF HOMER BY PASS RD	E-16
17712022	3664 BEN WALTERS LN	2.48	T 6S R 13W SEC 20 SEWARD MERIDIAN HM 0840122 LAKESIDE VILLAGE PARK ADDN REPLAT LOT 1A-2	E-18
17712034	3755 SNOWBIRD ST	1.50	T 06S R 13W SEC 20 SEWARD MERIDIAN HM 2016021 WADDELL PARK 2016 REPLAT LOT 3-A-1	D-15
17714006		39.24	T 6S R 13W SEC 20 SEWARD MERIDIAN HM NW1/4 SE1/4 EXC HOMER BY PASS RD	G-2
17714010	3300 BELUGA PL	3.46	T 6S R 13W SEC 20 SEWARD MERIDIAN HM PTN GL 2 BEGIN S 1/16 CORNER SECS 19 & 20 & NW CORNER LOT 2 TH S 89 DEG 57'30" E 600 FT ALONG N BOUND LT 2 TO POB TH S 0 DEG 2' E 391 FT TO CORNER 2 ON MHW KACHEMAK BAY TH S 59 DEG 30' E 150 FT TO CORNER 3 TH N 38 DE	E-19
17714011		0.13	T 6S R 13W SEC 20 SEWARD MERIDIAN HM PTN GL 2 BEGIN S 1/16 CORNER SECS 19 & 20 & NW CORNER OF GL 2 TH S 89 DEG 57'30" E 1094.3 FT TO PT TH S 38 DEG 0' W 310 FT TO POB TH 90 DEG W 75 FT TO CORNER 2 TH S 38 DEG W 75 FT TO CORNER 3 TH 90 DEG E 75 FT TO CORNER 4 TH N 38 DEG E 75 FT TO POB	E-19
17714014	3575 HEATH ST	0.92	T 6S R 13W SEC 20 SEWARD MERIDIAN HM POR PER E1/2 NW1/4 NE1/4 SW1/4 PER D-60-164	D-10
17714015	3575 HEATH ST	3.16	T 6S R 13W SEC 20 SEWARD MERIDIAN HM THAT PORTION OF E1/2 NW1/4 NE1/4 SW1/4 PER D-60 @ 05	D-10
17714016	3575 HEATH ST	30.00	T 6S R 13W SEC 20 SEWARD MERIDIAN HM NE1/4 NE1/4 SW1/4 & S1/2 NE1/4 SW1/4	D-11
17714020	3577 HEATH ST	1.85	T 6S R 13W SEC 20 SEWARD MERIDIAN HM 0850128 GLACIER VIEW SUB NO 18 LOT 1	D-9
17715402		0.03	T 6S R 13W SEC 20 SEWARD MERIDIAN HM 0670365 W R BENSON SUB AMENDED LOT 46 EXCLUDING HOMER BY- PASS ROAD	D-16
17715403		0.03	T 6S R 13W SEC 20 SEWARD MERIDIAN HM 0670365 W R BENSONS SUB AMENDED LOT 47 EXC HOMER BY-PASS RD*	D-16

City Lands

PARCEL ID	ADDRESS	ACREAGE	LEGAL DESCRIPTION	Land Allocation
17717706	997 OCEAN DRIVE LOOP	0.68	T 6S R 13W SEC 29 SEWARD MERIDIAN HM 0003415 OSCAR MUNSON SUB LOT 43	E-25
17717707	1017 OCEAN DRIVE LOOP	0.98	T 6S R 13W SEC 29 SEWARD MERIDIAN HM 0003415 OSCAR MUNSON SUB LOT 44	E-25
17719209	209 E PIONEER AVE	4.71	T 6S R 13W SEC 20 SEWARD MERIDIAN HM 0000251 - A NILS O SVEDLUND SUB LOT 7 TRACT B & PTN OF TR B AS FOLLOWS: BEG AT SE CORNER OF LOT 7 TH N 0 DEG 2' W 545 FT TO S ROW OF STERLING HWY, CORNER 2; TH N 75 DEG 15' E ALONG ROW 62.6 FT TO CORNER 3 TH S 00 DE	D-13
17720204	580 E PIONEER AVE	0.31	T 6S R 13W SEC 20 SEWARD MERIDIAN HM 0750018 GLACIER VIEW SUB NO 1 REPLAT LTS 1 8 & 9 BLK 4 LOT 9-A	E-13
17720408	491 E PIONEER AVE	1.12	T 6S R 13W SEC 20 SEWARD MERIDIAN HM 2004048 GLACIER VIEW SUB CAMPUS ADDN LOT 6-A-2	D-5
17726038		0.02	T 6S R 13W SEC 17 SEWARD MERIDIAN HM 0760026 KAPINGEN SUB UNIT 3 PARK RESERVE	E-10
17727049		0.04	T 6S R 13W SEC 17 SEWARD MERIDIAN HM 0770065 ISLAND VIEW SUB PARK	E-10
17728001		499.54	T 6S R 13W SEC 20 & 29 SEWARD MERIDIAN HM 0742265 ALASKA TIDELAND SURVEY 612	D-14
17730239		0.21	T 6S R 13W SEC 20 SEWARD MERIDIAN HM 0840005 LAKESIDE VILLAGE SUB AMENDED LOT 2 BLK 4	E-20
17730251		0.38	T 6S R 13W SEC 20 SEWARD MERIDIAN HM 0840005 LAKESIDE VILLAGE SUB AMENDED JEFFERY PARK	E-17
17901023	4829 JACK GIST LN	14.60	T 6S R 13W SEC 15 SEWARD MERIDIAN HM 0990063 JACK GIST SUB LOT 2	E-21
17903007	1136 EAST END RD	0.28	T 6S R 13W SEC 16 SEWARD MERIDIAN HM 0003373 JAMES WADDELL SURVEY OF TRACT 4 LOT 4A	E-14
17911005		0.39	T 6S R 13W SEC 14 SEWARD MERIDIAN HM 0004712 HARRY FEYER SUB LOT 1	E-23
17936020	2976 KACHEMAK DR	1.65	T 6S R 13W SEC 22 SEWARD MERIDIAN HM 0830087 SCENIC BAY SUB LOT 4	E-22
18101002		3.72	T 6S R 13W SEC 28 SEWARD MERIDIAN HM GOVT LOT 15	E-24
18101003		5.05	T 6S R 13W SEC 28 SEWARD MERIDIAN HM GOVT LOT 14	E-24
18101004		6.07	T 6S R 13W SEC 28 SEWARD MERIDIAN HM GOVT LOT 13	E-24

City Lands

PARCEL ID	ADDRESS	ACREAGE	LEGAL DESCRIPTION	Land Allocation
18101005		5.98	T 6S R 13W SEC 28 SEWARD MERIDIAN HM GOVT LOT 12	E-24
18101006		5.03	T 6S R 13W SEC 28 SEWARD MERIDIAN HM GOVT LOT 11	E-24
18101007		6.47	T 6S R 13W SEC 28 SEWARD MERIDIAN HM GOVT LOT 10	E-24
18101008		4.60	T 6S R 13W SEC 28 SEWARD MERIDIAN HM GOVT LOT 8	E-24
18101009		1.44	T 6S R 13W SEC 28 SEWARD MERIDIAN HM THAT PORTION OF GOVT LOT 7 LYING SOUTH OF HOMER SPIT RD	E-24
18101010	1920 HOMER SPIT RD	0.81	T 6S R 13W SEC 28 SEWARD MERIDIAN HM THAT PORTION OF GOVT LOT 7 LYING NORTH OF HOMER SPIT RD	E-24
18101011		0.77	T 6S R 13W SEC 28 SEWARD MERIDIAN HM THAT PORTION OF GOVT LOT 6 LYING NORTH OF HOMER SPIT RD	E-24
18101012		1.20	T 6S R 13W SEC 28 SEWARD MERIDIAN HM THAT PORTION OF GOVT LOT 6 LYING SOUTH OF HOMER SPIT RD	E-24
18101013		1.32	T 6S R 13W SEC 28 SEWARD MERIDIAN HM THAT PORTION OF GOVT LOT 5 LYING SOUTH OF HOMER SPIT RD	E-24
18101023		3.00	T 6S R 13W SEC 28 SEWARD MERIDIAN HM THAT PORTION OF GOVT LOT 9 LYING NORTH OF HOMER SPIT RD	G-3
18101024		2.16	T 6S R 13W SEC 27 SEWARD MERIDIAN HM THAT PORTION OF GOVT LOT 9 LYING SOUTH OF HOMER SPIT RD	G-3
18101025		19.23	T 6S R 13W SEC 21 SEWARD MERIDIAN HM 742449 THAT PTN OF ALASKA TIDELANDS SURVEY 612 W/IN SEC 21 LYING W OF HOMER SPIT RD & EXCL LEASED LANDS	D-14
18101026		51.47	T 6S R 13W SEC 28 SEWARD MERIDIAN HM 0742449 THAT PTN OF ALASKA TIDELANDS SURVEY 612 W/IN SEC 28 LYING W OF HOMER SPIT RD & EXCL LEASED LANDS	D-14
18102001		3.94	T 6S R 13W SEC 27 SEWARD MERIDIAN HM GOVT LOT 8	G-3
18102002	3079 HOMER SPIT RD	7.10	T 6S R 13W SEC 27 SEWARD MERIDIAN HM GOVT LOT 7	G-3
18102003		1.02	T 6S R 13W SEC 27 SEWARD MERIDIAN HM 0630660 WALTER DUFOUR SUB LOT 1	G-4

City Lands

PARCEL_ID	ADDRESS	ACREAGE	LEGAL DESCRIPTION	Land Allocation
18102004		6.90	T 6S R 13W SEC 27 SEWARD MERIDIAN HM 0630060 WALTER DUFOUR SUB TRACT A	G-4
18102005		17.46	T 6S R 13W SEC 27 SEWARD MERIDIAN HM THAT PORTION OF GOVT LOT 3 LYING NORTH OF HOMER SPIT RD	G-4
18102006		7.50	T 6S R 13W SEC 27 SEWARD MERIDIAN HM THAT PORTION OF GOVT LOT 3 LYING SOUTH OF HOMER SPIT RD	G-4
18102009		9.00	T 6S R 13W SEC 27 SEWARD MERIDIAN HM THAT PORTION OF GOVT LOT 5 LYING NORTH OF HOMER SPIT RD	G-4
18102010		3.90	T 6S R 13W SEC 27 SEWARD MERIDIAN HM PORTION OF GOVT LOT 5 LYING SOUTH OF HOMER SPIT HWY	G-4
18102011		0.70	T 6S R 13W SEC 27 SEWARD MERIDIAN HM GOVT LOT 6 SW OF HWY	E-27
18102014		25.19	T 6S R 13W SEC 27 SEWARD MERIDIAN HM 0770055 WALTER DUFOUR SUB TRACT B TRACT B	G-4
18102018		19.66	T 6S R 13W SEC 27 SEWARD MERIDIAN HM 2001008 LOUIE'S LAGOON LOT 6-A	G-5
18102019		25.81	T 6S R 13W SEC 26 & 27 SEWARD MERIDIAN HM 2001008 LOUIE'S LAGOON LOT 6-B	G-5
18103002		7.51	T 6S R 13W SEC 34 SEWARD MERIDIAN HM PORTION GOVT LOT 1	E-27
18103004		4.79	T 6S R 13W SEC 35 SEWARD MERIDIAN HM PORTION GOVT LOT 1	E-27
18103006		10.00	T 6S R 13W SEC 35 SEWARD MERIDIAN HM PORTION GOVT LOT 2	E-27
18103007		2.62	T 6S R 13W SEC 35 SEWARD MERIDIAN HM THAT PORTION OF GOVT LOT 3 LYING SOUTHWEST OF THE HOMER SPIT RD	G-6
18103101		1.82	T 6S R 13W SEC 35 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 2	E-26
18103102	3735 HOMER SPIT RD	2.10	T 6S R 13W SEC 35 SEWARD MERIDIAN HM THAT PORTION OF GOVT LOT 14 LYING SOUTHWEST OF THE HOMER SPIT RD	E-26
18103105	3815 HOMER SPIT RD	1.60	T 6S R 13W SEC 35 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 5	B-3
18103108		3.72	T 6S & 7S R 13W SEC 35 & 2 SEWARD MERIDIAN HM 0890034 - HOMER SPIT SUB AMENDED 7	E-29
18103116	3800 HOMER SPIT RD	17.17	T 6S R 13W SEC 35 SEWARD MERIDIAN HM 0920039 THE FISHIN HOLE SUB TRACT 2	E-28

City Lands

PARCEL ID	ADDRESS	ACREAGE	LEGAL DESCRIPTION	Land Allocation
18103117	3854 HOMER SPIT RD	11.27	T 6S R 13W SEC 35 SEWARD MERIDIAN HM 0940043 THE FISHIN HOLE SUB NO 2 TRACT 1-A	B-4
18103118	3978 HOMER SPIT RD	0.15	T 6S R 13W SEC 35 SEWARD MERIDIAN HM 0940043 THE FISHIN HOLE SUB NO 2 TRACT 1-B	B-5
18103119	1114 FREIGHT DOCK RD	0.18	T 6S R 13W SEC 35 SEWARD MERIDIAN HM 0940043 THE FISHIN HOLE SUB NO 2 TRACT 1-C	B-6
18103203		11.91	ATS 1373	C-14
18103213	4666 FREIGHT DOCK RD	4.19	T 6S & 7S R 13W SEC 36 & 1 SEWARD MERIDIAN HM 0920050 HOMER SPIT SUB NO TWO AMENDED TRACT A	C-13
18103214	795 FISH DOCK RD	72.94	T 6S & 7S R 13W SEC 35 & 36 & 1 & 2 SEWARD MERIDIAN HM 0920050 HOMER SPIT SUB NO TWO AMENDED SMALL BOAT HARBOR	C-2
18103216		5.22	T 6S & 7S R 13W SEC 35 & 36 & 1 & 2 SEWARD MERIDIAN HM 0920050 HOMER SPIT SUB NO TWO AMENDED LOT G-8	C-4
18103218	4373 FREIGHT DOCK RD	0.32	T 6S & 7S R 13W SEC 36 & 1 SEWARD MERIDIAN HM 0920024 HOMER SPIT FOUR SUB	B-8
18103220	4380 FREIGHT DOCK RD	5.00	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 12	A-2
18103221		0.65	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 2	C-5
18103222		0.67	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 3	C-5
18103223		0.67	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 4	C-5
18103224		0.67	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 5	C-5
18103225		0.67	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 6	C-5
18103226		0.67	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 7	C-5
18103227		0.67	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 8	C-5
18103228	4290 FREIGHT DOCK RD	0.67		C-5
18103229		0.67	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 10	C-5
18103230		1.78	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 11	C-15
18103231		0.66	T 6S R 13W SEC 35 & 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 1	C-5

City Lands

PARCEL_ID	ADDRESS	ACREAGE	LEGAL DESCRIPTION	Land Allocation
18103232		2.08	T 6S & 7S R 13W SEC 36 & 1 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 13	C-7
18103233		0.32	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 14	C-5
18103234		0.32	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 15	C-5
18103235		0.19	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 16	C-5
18103236		0.24	T 6S & 7S R 13W SEC 36 & 1 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 17	C-5
18103237		0.33	T 6S & 7S R 13W SEC 36 & 1 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 18	C-5
18103238		0.32	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 19	B-27
18103239		0.32	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 20	D-17
18103240	4323 FREIGHT DOCK RD	0.32	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 21	B-7
18103241		0.32	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 22	C-5
18103242		0.32	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 23	C-5
18103243		0.26	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 24	C-5
18103244		0.22	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 25	C-5
18103245		0.32	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 26	C-5
18103246		0.32	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 27	C-5
18103247	4171 FREIGHT DOCK RD	0.32	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 28	C-4
18103248	4155 FREIGHT DOCK RD	0.32	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 29	C-4
18103249	4147 FREIGHT DOCK RD	0.32	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 30	C-4
18103250	4123 FREIGHT DOCK RD	0.22	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 31	C-4
18103251	4109 FREIGHT DOCK RD	0.22	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 32	C-4

City Lands

PARCEL ID	ADDRESS	ACREAGE	LEGAL DESCRIPTION	Land Allocation
18103252	4081 FREIGHT DOCK RD	0.22	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 33	C-4
18103253	4065 FREIGHT DOCK RD	0.32	T 6S R 13W SEC 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 34	C-4
18103254	4035 FREIGHT DOCK RD	0.31	T 6S R 13W SEC 35 & 36 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 35	C-4
18103255	4001 FREIGHT DOCK RD	0.35	T 6S R 13W SEC 35 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 36	C-4
18103256		0.50	T 6S R 13W SEC 35 SEWARD MERIDIAN HM 0930012 HOMER SPIT SUB NO 5 LOT 37	C-4
18103259		1.12	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0970072 HOMER SPIT NO 6 8-D-1	C-8
18103260	4607 FREIGHT DOCK RD	0.46	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0970072 HOMER SPIT NO 6 8-E-1	B-26
18103301		1.98	T 7S R 13W SEC 2 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 9	E-29
18103304		1.08	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 11	E-30
18103305		0.99	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 20	E-30
18103306	4225 HOMER SPIT RD	0.29	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0640816 SUB OF LOT 11 HOMER SPIT ALASKA LOT 11B EXCLUDING THE HOMER SPIT RD	E-30
18103309	4390 HOMER SPIT RD	0.23	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 30	B-10
18103310	4348 HOMER SPIT RD	0.65	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 29	D-20
18103397	4350 HOMER SPIT RD	0.28	HOMER SPIT SUB AMENDED BOATHOUSE REPLAT LOT 28-A	C-9
18103316	4262 HOMER SPIT RD	0.29	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 19	B-9
18103318		0.30	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 17	C-3
18103319		0.31	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 16	C-3
18103320		0.31	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 15	C-3
18103321		0.31	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 14	C-3

City Lands

PARCEL_ID	ADDRESS	ACREAGE	LEGAL DESCRIPTION	Land Allocation
18103322	4166 HOMER SPIT RD	0.30	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 13	C-3
18103324	4166 HOMER SPIT RD	1.59	T 6S & 7S R 13W SEC 35 & 36 & 1 & 2 SEWARD MERIDIAN HM 0910003 HOMER SPIT SUB NO TWO LOT 12A	C-3
18103401		2.52	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 31	E-31
18103402	4535 HOMER SPIT RD	2.93	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 50	B-16
18103403	4603 HOMER SPIT RD	2.00	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 49	C-11
18103403		1.50	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 49 THAT PORTION PER LEASE 205/928	B-16
18103404	4667 HOMER SPIT RD	2.23	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 48	B-22
18103408		0.08	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED LOT 47	C-10
18103419	842 FISH DOCK RD	1.49	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED ADL 18009 LOT 41 (ADL 18009)	B-20
18103418		1.47	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED ADL 18009 LOT 42 (ADL 18009)	B-20
18103421	800 FISH DOCK RD	0.63	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0900052 CITY OF HOMER PORT INDUSTRIAL NO 3 LOT 12-A1	B-17
18103425	874 FISH DOCK RD	0.52	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0800092 CITY OF HOMER PORT INDUSTRIAL SUB NO 2 LOT 13B	B-19
18103426		1.09	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED COAL POINT MONUMENT PARK EXCLUDING THAT PORTION AS PER LEASE AGREEMENT 187 @ 921	E-32
18103427	843 FISH DOCK RD	0.07	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT SUB AMENDED THAT PORTION OF COAL POINT MONUMENT PARK AS PER LEASE AGREEMENT 187 @ 921	B-21
18103431	4406 HOMER SPIT RD	0.20	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0920050 HOMER SPIT SUB NO TWO AMD LOT 88-1	B-12
18103432	4400 HOMER SPIT RD	0.57	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0890034 HOMER SPIT AMENDED LOT 32	B-11

City Lands

PARCEL ID	ADDRESS	ACREAGE	LEGAL DESCRIPTION	Land Allocation
18103441		0.60	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0920050 HOMER SPIT SUB NO TWO AMENDED PARKING AND ACCESS AREA	C-10
18103442	4460 HOMER SPIT RD	0.29	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0920050 HOMER SPIT SUB NO TWO AMENDED LOT 88-2	B-13
18103443	4470 HOMER SPIT RD	0.18	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0920050 HOMER SPIT SUB NO TWO AMENDED LOT 88-3	B-14
18103444	4474 HOMER SPIT RD	0.31	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0920050 HOMER SPIT SUB NO TWO AMENDED LOT 88-4	B-15
18103445	4688 HOMER SPIT RD	0.35	T 7S R 13W SEC 1 SEWARD MERIDIAN HM A PORTION OF GOVT LOT 20 PER A/L 207 @ 73	B-23
18103446		0.11	T 7S R 13W SEC 1 SEWARD MERIDIAN HM THAT PORTION OF GOVT LOT 20 LYING NE OF THE HOMER SPIT RD & BOUNDED ON THE NW BY LOT 43 OF HOMER SPIT SUB AMENDED & BOUNDED ON THE NE BY ATS 612 & BOUNDED ON THE SE BY LOT 45 OF HOMER SPIT SUB AMENDED & BOUNDED ON THE	E-33
18103447	4690 HOMER SPIT RD	1.83	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0930049 HOMER SPIT SUB NO 6 VELMA'S ADDN LOT 45-A	B-25
18103448		0.43	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0930049 HOMER SPIT SUB NO 6 VELMA'S ADDN LOT 45-B	E-34
18103451	810 FISH DOCK RD	0.68	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0990043 CITY OF HOMER PORT INDUSTRIAL NO 4 LOT 12-B	C-12
18103452	4501 ICE DOCK RD	0.79	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 0990043 CITY OF HOMER PORT INDUSTRIAL NO 4 LOT 12-C	B-18
18103477	4480 HOMER SPIT RD	0.52	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 2007136 HOMER SPIT REPLAT 2006 LOT 9-A	A-4
18103478		0.53	T 7S R 13W SEC 1 SEWARD MERIDIAN HM 2007136 HOMER SPIT REPLAT 2006 LOT 10-A	A-4
18107001		4573.00	T 6S & 7S R 13W SEC 13 22 24 27 33 35 01 & 14 SEWARD MERIDIAN HM 0770064 ALASKA TIDELANDS SURVEY 612 THAT PTN LYING WITHIN SEC 13 & 14 & 22 THRU 24 & 26 THRU 28 & 33 THRU 36 OF T6S & WITHIN SEC 1 & 2 OF T7S EXCLUDING THAT PTN OF TIDELANDS VESTED TO S	D-14
18107005		1.37	ATS 1603	C-14
Airport				A-5
Harbor Overslope				A-3

2021 Land Allocation Plan Spit Map



Legend

- Parking
- City Land
- Parcels
- Overlope
- Parcels

2021 Allocation - Section

- For Lease A
- Leased B
- Port Use C
- City Facility D
- Park/open space E

City property outlined in red.
Property lines are not exact - use with care
P.S. 215/201.E

**ECONOMIC DEVELOPMENT ADVISORY COMMISSION
2021-2022 STRATEGIC PLAN/GOALS**

<p>Ongoing Goals</p>	<p>1. Define what is positive economic development for Homer, and how it leads to the quality of life and growth outcomes desired in the Comprehensive Plan.</p> <p>2. Keep our ears to the ground and seek out areas of "lack." Confer with Julie about communicating with City Council and advising them on ways to overcome barriers- "the nexus of economic goals."</p>
<p>Near Term Goals < 6 Months</p>	<p>1. Familiarize with smart growth principles and best practices, and also green infrastructure concepts. Have these in our toolbox when development decisions come our way for consideration.</p> <p><i>Task:</i> Staff to provide smart growth resources.</p> <p><i>Task:</i> Invite a member of the KPB Resiliency and Security Commission make a presentation to the EDC about what the Commission does.</p> <p>2. View economic development through the lens of balancing growth with quality of life.</p> <p><i>Task:</i> Create an EDC Mission statement as a guiding principle for what the EDC does.</p> <p><i>Task:</i> Define positive economic development, and what is the role of the EDC is in balancing growth and quality of life.</p> <p>3. Housing: affordable short and long term housing. Seasonal workers, general work force, seniors, etc affordable year round housing.</p> <p><i>Task:</i> Define one or two housing types/populations of people to focus on.</p> <p>4. Assess jobs training needs and workforce development. Communicate to KPC.</p> <p><i>Opportunity:</i> Invite KBC Director Reid Brewer as speaker, how does the college make course offering decisions? How is work force development part of the planning? What does the KBC Advisory Board do?</p> <p><i>Opportunity:</i> KPEDD/Chamber to host in Homer will be hosting a jobs meeting for employers to help them learn how to attract workers, and a job fair for job seekers.</p> <p>5. Do some outreach to local businesses to take the pulse of the business community in pandemic recovery.</p> <p>6. Present an annual report of EDC accomplishments to the City Council</p> <p><i>Task:</i> approve memo to Council, read accomplishments to Council</p>
<p>Mid Term Goals 1 - 3 Years (2020 – 2023)</p>	<p>1. Multipurpose community center (HERC) <i>Status:</i> Scoping study has been funded</p> <p>2. Downtown vitalization momentum and wayfinding/streetscape plan <i>Status:</i> Wayfinding and Streetscape work ongoing through 21 and implementation activities in 2022 <i>Longer term:</i> Consider storefront/Downtown and landscaping improvement program</p>

	<p>3. Economic resiliency planning. <i>Opportunity:</i> EDC provide suggestions to KPEDD on the business tool box. EDC promote tool box to community.</p>
<p>Long Term Goals 5 Years or More (2025+)</p>	<p>1. BR&E – review annually and plan for a new report (5 year mark is 2022-2023) <i>Opportunity:</i> consider a funding request for the FY 2024-2025 budget</p>

OVERALL EDC DUTIES AND RESPONSIBILITIES

The Economic Development Advisory Commission will act in an advisory capacity to the City Manager and the City Council on the overall economic development planning for the City of Homer in accordance with Homer City Code Chapter 2.76; www.codepublishing.com/AK/Homer. The EDC also assists with official City planning documents including the following:

- Kenai Peninsula Economic Development District (KPEDD) – Regional Comprehensive Economic Development Strategy (link will bring you to all KPEDD reports): <https://kpedd.org/reports>
- Homer’s Comprehensive Economic Development Strategy (CEDS): www.cityofhomer-ak.gov/economicdevelopment/comprehensive-economic-development-strategy
- Business Retention and Expansion Survey Report (BR&E): <https://www.cityofhomer-ak.gov/economicdevelopment/2017-business-retention-expansion-survey-report>
- Homer Comprehensive Plan: <https://www.cityofhomer-ak.gov/planning/comprehensive-plan>

DUTIES OF COMMISSION/STAFF

Commissioners

- Attend City Council meetings as assigned.
- Attend work sessions and training opportunities.
- Come prepared to make a motion for action at meetings, or ask staff before the meeting for more information.
- Communicate with City Council members to gain support on EDC-related projects that need sponsorship at the Council level.

Staff (Julie Engebretsen)

- Aid the Chair in setting the agenda.
- Compile packet material from commissioners, write backup memos, and submit to Clerk.
- Provide information on items the commission needs to review annually.
- Inform the Commission of City Council actions and discussion of economic development related issues.

Clerk’s Office

- Aid Staff in compiling packet materials and print/distribute them to the Commission.
- Aid Staff and Chair in setting the agenda.
- Tracking yearly items such as reappointments and elections.
- Help the Commission learn to be more efficient and effective in their meetings.
- Support the Commission’s ability to communicate with the Mayor and City Council (through Memorandums, Resolutions, and Ordinances).

Presents:

JAPAN-ALASKA SISTER CITIES PHOTO + ESSAY CAMPAIGN



Eligibility	Submission	Deadline
<p>Residents from municipalities with Japan-Alaska sister city relationships are eligible to participate.</p> <p>There will be an 'adult' category (19 and over) and a 'youth' category (under 19).</p>	<p>1-5 photos and an essay About 100-1000 words long (English)</p>	<p>12:00 pm on February 4, 2022 (Alaska time)</p>

For more information on eligibility and submission guidelines, please see the Consular Office's homepage:

https://www.anchorage.us.emb-japan.gov.jp/inter_en/11_000001_00215.html



ECONOMIC DEVELOPMENT ADVISORY COMMISSION 2022 Calendar

	AGENDA DEADLINE	MEETING	CITY COUNCIL MEETING FOR REPORT*	ANNUAL TOPICS/EVENTS
JANUARY	Wednesday 1/5 5:00 p.m.	Tuesday 1/11 6:00 p.m.	Monday 1/24 6:00 p.m.	<ul style="list-style-type: none"> • City Budget Review/Develop Requests *may not be applicable during non-budget years
FEBRUARY	Wednesday 2/2 5:00 p.m.	Tuesday 2/8 6:00 p.m.	Monday 2/14 6:00 p.m.	
MARCH	Wednesday 3/2 5:00 p.m.	Tuesday 3/8 6:00 p.m.	Monday 3/14 6:00 p.m.	<ul style="list-style-type: none"> • Clerk Reappointment Notices Sent Out • Update from Public Works Director • KPEDD CEDS Review
APRIL	Wednesday 4/6 5:00 p.m.	Tuesday 4/12 6:00 p.m.	Monday 4/25 6:00 p.m.	<ul style="list-style-type: none"> • Terms Expire April 1st • Advisory Body Training Worksession • Election of EDC Officers • Annual Review of Strategic Plan/Goals/BR&E
MAY	Wednesday 5/4 5:00 p.m.	Tuesday 5/10 6:00 p.m.	Monday 5/23 6:00 p.m.	<ul style="list-style-type: none"> • Comprehensive Plan Review
JUNE	Wednesday 6/8 5:00 p.m.	Tuesday 6/14 6:00 p.m.	Monday 6/27 6:00 p.m.	
JULY	Wednesday 7/6 5:00 p.m.	Tuesday 7/12 6:00 p.m.	Monday 7/25 6:00 p.m.	<ul style="list-style-type: none"> • Update from Public Works Director
AUGUST	Wednesday 8/3 5:00 p.m.	Tuesday 8/9 6:00 p.m.	Monday 8/22 6:00 p.m.	<ul style="list-style-type: none"> • Capital Improvement Plan Review
SEPTEMBER	Wednesday 9/7 5:00 p.m.	Tuesday 9/13 6:00 p.m.	Monday 9/26 6:00 p.m.	<ul style="list-style-type: none"> • Workforce Development Speaker
OCTOBER	Wednesday 10/5 5:00 p.m.	Tuesday 10/11 6:00 p.m.	Monday 10/24 6:00 p.m.	
NOVEMBER	Wednesday 11/2 5:00 p.m.	Tuesday 11/8 6:00 p.m.	Monday 11/28 6:00 p.m.	<ul style="list-style-type: none"> • Chamber's Annual Presentation to City Council *usually occurs 1st Council Meeting in Nov. • Approve Meeting Schedule for Upcoming Year
DECEMBER	Wednesday 12/7 5:00 p.m.	Tuesday 12/13 6:00 p.m.	Monday 1/9/23 6:00 p.m.	<ul style="list-style-type: none"> • Upcoming Year Schedule Review • Land Allocation Plan Review

*The Commission's opportunity to give their report to City Council is scheduled for the Council's regular meeting following the Commission's regular meeting, under Agenda Item 8 – Announcements/ Presentations/ Borough Report/Commission Reports.