



Agenda

Planning Commission Regular Meeting

Wednesday, June 18, 2025 at 6:30 PM

City Hall Cowles Council Chambers In-Person & Via Zoom Webinar

Homer City Hall

491 E. Pioneer Avenue
Homer, Alaska 99603
www.cityofhomer-ak.gov

Zoom Webinar ID: 205 093 973 Password: 610853

<https://cityofhomer.zoom.us>
Dial: 346-248-7799 or 669-900-6833;
(Toll Free) 888-788-0099 or 877-853-5247

CALL TO ORDER, 6:30 P.M.

AGENDA APPROVAL

PUBLIC COMMENTS The public may speak to the Commission regarding matters on the agenda that are not scheduled for public hearing or plat consideration. (3 minute time limit).

RECONSIDERATION

CONSENT AGENDA All items on the consent agenda are considered routine and non-controversial by the Planning Commission and are approved in one motion. There will be no separate discussion of these items unless requested by a Planning Commissioner or someone from the public, in which case the item will be moved to the regular agenda.

- A. Unapproved Regular Meeting Minutes for May 21, 2025

PRESENTATIONS / VISITORS

- A. Proposed New Multi-Use Community Recreation Center
Site Selection Presentation by Community Recreation Manager Mike Illg

REPORTS

- A. City Planner's Report 25-031

PUBLIC HEARINGS

- A. Staff Report 25-032 Conditional Use Permit 25-01 to Construct a 6000 sf Building at 1231 Ocean Drive

PLAT CONSIDERATION

PENDING BUSINESS

NEW BUSINESS

[A.](#) Title 21 Code Re-write Update: Conditional Use Permit, New Districts, and District Consolidations Recommendations

[B.](#) Multi-use Community Recreation Center Site Selection Recommendation

INFORMATIONAL MATERIALS

[A.](#) Email from Chris Story re: Consideration of Allowing Banner and Feather Style Signage

[B.](#) 2025 Annual Calendar

[C.](#) 2025 Meeting Submittal Deadlines

COMMENTS OF THE AUDIENCE Members of the audience may address the Commission on any subject. (3 min limit)

COMMENTS OF THE STAFF

COMMENTS OF THE MAYOR/COUNCIL (If Present)

COMMENTS OF THE COMMISSION

ADJOURNMENT

The next regular meeting is **Wednesday, July 16, 2025, at 6:30 p.m.** A Worksession is scheduled at 5:30 p.m. All meetings are scheduled to be held in the City Hall Cowles Council Chambers located at 491 E. Pioneer Avenue, Homer, Alaska and via Zoom Webinar. Meetings will adjourn promptly at 9:30 p.m. An extension is allowed by a vote of the Commission.

CALL TO ORDER

Session 25-10, a Regular Meeting of the Planning Commission was called to order by Chair Scott Smith at 6:35 p.m. on May 21st, 2025 in the Cowles Council Chambers in City Hall, located at 491 E. Pioneer Avenue, Homer, Alaska, and via Zoom Webinar.

PRESENT: COMMISSIONERS BARNWELL, VENUTI, S. SMITH, SCHNEIDER, STARK, & H. SMITH

ABSENT: COMMISSIONER CONLEY

STAFF: CITY PLANNER FOSTER & DEPUTY CITY CLERK PETTIT

AGENDA APPROVAL

Chair S. Smith requested a motion and second to approve the agenda as presented.

SCHNEIDER/BARNWELL MOVED TO APPROVE THE AGENDA AS PRESENTED.

There was no discussion.

VOTE: NON-OBJECTION: UNANIMOUS CONSENT.

Motion carried.

PUBLIC COMMENTS UPON MATTERS ALREADY ON THE AGENDA

Ole Andersson, city resident, shared that he lives at the end of Tundra Rose Road. He commended Kyra Wagner for her presentation regarding erosion that she presented to the Commission on May 7th. He urged the Commission to make good choices in their future decisions, and stated that he's in favor of the reconsideration for the Foss Acres 2025 Addition Preliminary Plat.

Jinky Handy, city resident, urged the Commission to reconsider the Foss Acres 2025 Addition Preliminary Plat.

RECONSIDERATION

A. Foss Acres 2025 Addition Preliminary Plat, Staff Report 25-25, Commissioner Barnwell

Chair S. Smith introduced the item by reading of the title and deferred to City Planner Foster, who provided a summary review of his report included in the packet.

BARNWELL/VENUTI MOVED TO RECONSIDER THE FOSS ACRES 2025 ADDITIONAL PRELIMINARY PLAT.

Commissioner Barnwell provided his reasoning for issuing the reconsideration, summarizing that he felt the Commission needed to spend more time with this application before making a decision. He cited insufficient information as the key reason as to why he issued the reconsideration. He also highlighted various other issues he had with the plat, including walking trail connectivity, traffic safety concerns, and wetlands.

Commissioner Stark stated that the Commission followed due process in regards to this plat. He added that it shouldn't be incumbent upon the applicant to fix the traffic problems.

Commissioner H. Smith noted that his biggest concern is the drainage easements and how that water is taken care of. He acknowledged that platting is just part of the process, not the entire process.

Hearing no further discussion, Chair S. Smith requested the Clerk to perform a roll-call vote.

VOTE: YES: VENUTI, SCHNEIDER, H. SMITH, BARNWELL.

VOTE: NO: S. SMITH, STARK.

Motion carried.

CONSENT AGENDA

A. Unapproved Regular Meeting Minutes of May 7, 2025

BARNWELL/SCHNEIDER MOVED TO ADOPT THE CONSENT AGENDA AS PRESENTED.

There was no discussion.

VOTE: NON-OBJECTION: UNANIMOUS CONSENT.

Motion carried.

PRESENTATIONS/VISITORS

REPORTS

A. City Planner's Report, Staff Report 25-27

City Planner Foster reviewed his staff report included in the packet, covering the following items:

- Comprehensive Plan update
- Ordinance 25-11(S)(A) was adopted as amended with discussion by the City Council
- Cancellation of the next Regular Meeting on June 4th, 2025
- Joint Worksession with City Council on June 11th, 2025
- Next Regular Meeting is scheduled for June 18th, 2025.
- Next Commissioner Report to Council on May 27th, 2025

PUBLIC HEARINGS

PLAT CONSIDERATION

A. Christensen Gardens Preliminary Plat, Staff Report 25-28

Chair S. Smith introduced the item by reading of the title and deferred to City Planner Foster, who provided a summary review of his staff report included in the packet.

Chair S. Smith opened the floor for the Applicant. Christopher Mullikin noted that he was the surveyor who prepared the plat. He highlighted the oversight of the missing creek from the plat, providing that the creek comes around the edge of the wetlands on Tract F-1-B. He stated that the creek will be added to the next version. Chair S. Smith then opened the public comment period.

Jan Keiser, city resident, recalled a section of City Code requiring connectivity be provided when a development is within a certain proximity of an existing non-motorized trail. She encouraged the Commission to include a condition on the plat directing staff to explore whether that provision applies. Ms. Keiser also noted that City Code stipulates a property can't connect to city water unless it is also connected to city sewer. In reference to the staff's recommendation to add the locations of existing creeks, she additionally requested that the Commission require the inclusion of drainage easements.

With no other members of the public wishing to speak, Chair S. Smith closed the public comment period. He then opened the floor to questions and comments from the Commission.

Commissioner Barnwell questioned if the Stream Hill Trails were part of the City's trail system and whether there's a requirement in City Code to have connectivity to those trails. City Planner Foster noted that staff determined there weren't requirements to put that type of improvement on this plat after reviewing Homer City Code Title 11.

There were brief conversations regarding water and sewer in the area.

H. SMITH/SCHNEIDER MOVED TO ADOPT STAFF REPORT 25-028 AND RECOMMEND APPROVAL OF THE CHRISTENSEN GARDENS PRELIMINARY PLAT, WITH THE FOLLOWING COMMENTS:

1. IN ACCORDANCE WITH HCC 22.101.051, STAFF RECOMMENDS THAT THE SURVEYOR REMOVE NOTE 2 AND REVISE THE UTILITY EASEMENT ALONG EAST END ROAD TO REFLECT THE REQUIRED 15 FEET.
2. STAFF RECOMMENDS THAT THE SURVEYOR CLEARLY INDICATE THE LOCATIONS OF ALL EXISTING CREEKS AND DRAINAGE FEATURES AS REFERENCED IN THE NOTES, AS WELL AS DRAINAGE EASEMENTS.
3. STAFF RECOMMENDS THAT THE SURVEYOR EITHER REMOVE "SETBACK LINE" FROM THE PLAT'S LEGEND, AS NO SETBACKS ARE ILLUSTRATED, OR ILLUSTRATE THE APPROPRIATE SETBACKS AS REFERENCED IN NOTE 6.
4. STAFF RECOMMENDS THAT INFORMATION REGARDING THE STATUS OF LANDS ACROSS HOUGH ROAD TO THE EAST BE INCLUDED IN THE PLAT.
5. STAFF RECOMMENDS THAT THE LOT NUMBER OF THE ADJACENT LAND TO THE NORTHWEST OF TRACT F-1-A BE REVISED TO REFLECT THE RECORD AND READ AS "TRACT B" INSTEAD OF "LOT 30."

There was a brief discussion regarding the addition of a condition to investigate trail connectivity for this particular plat.

VOTE: NON-OBJECTION: UNANIMOUS CONSENT.

Motion carried.

B. Virginia Lynn 2025 Replat Preliminary Plat, Staff Report 25-29

Chair S. Smith introduced the item by reading of the title and deferred to City Planner Foster, who provided a summary review of his staff report included in the packet.

Chair S. Smith opened the floor for the Applicant. Christopher Mullikin noted that he was the surveyor who prepared the plat. He stated that the utility easement will be changed on the final plat, and acknowledged the errors in the spelling of "Virginalyn Way." He added that the primary purpose of this plat is to resolve all of the encroachment issues and made himself available for questions. Chair S. Smith then opened the public comment period.

Jan Keiser, city resident, noted that she was still working for the City when this came forward the first time for the conditional use permit. She stated that the developer needs tight survey control to ensure there are not encroachments.

With no other members of the public wishing to speak, Chair S. Smith closed the public comment period. He then opened the floor to questions and comments from the Commission. There were none.

H. SMITH/BARNWELL MOVED TO ADOPT STAFF REPORT 25-029 AND RECOMMEND APPROVAL OF THE VIRGINIA LYNN 2025 REPLAT PRELIMINARY PLAT, WITH THE FOLLOWING COMMENTS:

1. DEPICT THE UTILITY EASEMENT ALONG VIRGINIALYN WAY AS 15'.
2. CORRECT THE SPELLING FOR THE STREET VIRGINIALYN WAY.
3. ADD APPARENT ENCROACHMENTS TO EXISTING BUILDING SETBACKS AND UTILITY EASEMENTS AND A STATEMENT OF HOW ENCROACHMENTS WILL BE RESOLVED.
4. DEPICT THE WATER SERVICE VALVE FOR LOT 53-A IN RELATIONSHIP TO THE NEWLY ADJUSTED PROPERTY LINE, TO VERIFY THAT SERVICE IS NOT ON LOT 54-A.

There was no discussion.

VOTE: NON-OBJECTION: UNANIMOUS CONSENT.

Motion carried.

C. A A Mattox Sub. 1958 Addn. a Portion of Lot 15 Replat Preliminary Plat, Staff Report 25-30

Chair S. Smith introduced the item by reading of the title and deferred to City Planner Foster, who provided a summary review of his staff report included in the packet.

Chair S. Smith opened the floor for the Applicant. Katie Kirsis noted that she was the surveyor who prepared the plat. She made herself available for questions. Chair S. Smith then opened the public comment period.

Without any members of the public coming forward to speak, Chair S. Smith closed the public comment period. He then opened the floor to questions and comments from the Commission. There were none.

H. SMITH/SCHNEIDER MOVED TO ADOPT STAFF REPORT 25-030 AND RECOMMEND APPROVAL OF THE PRELIMINARY PLAT, WITH THE FOLLOWING COMMENTS:

1. THE PROPERTY OWNER WILL NEED TO PROVIDE WATER AND SEWER TO BOTH LOTS.

There was no discussion.

VOTE: NON-OBJECTION: UNANIMOUS CONSENT.

Motion carried.

PENDING BUSINESS

A. Foss Acres 2025 Addition Preliminary Plat, Staff Report 25-25

Chair S. Smith introduced the item by reading of the title and noted the following main motion that was back on the floor per the Reconsideration:

BARNWELL/STARK MOVED TO ADOPT STAFF REPORT 25-25 AND RECOMMEND APPROVAL OF THE FOSS ACRES 2025 ADDITION PRELIMINARY PLAT, WITH THE FOLLOWING COMMENTS:

1. THE DEVELOPER WILL NEED TO ENTER INTO A SUBDIVISION AGREEMENT WITH THE CITY:
 - a. CONSTRUCT TUNDRA ROSE ROAD AND THE DEDICATED CUL-DE-SAC OFF JEFFREY AVENUE TO A CITY STANDARD ROAD.
 - b. PROVIDE POWER AND GAS TO ALL LOTS.
 - c. DEDICATE A 40' WIDE ROAD ACCESS AND UTILITY EASEMENT TO PROVIDE LEGAL ACCESS TO THE UN-SUBDIVIDED REMAINDER TO THE EAST.
 - d. CONSTRUCT A HAMMER HEAD AT THE END OF TUNDRA ROSE ROAD WITHIN THE RIGHT-OF-WAY TO PROVIDE EMERGENCY AND MAINTENANCE TURNAROUND.
 - e. THERE IS A 10' UTILITY EASEMENT ALONG THE PROPERTY BOUNDARIES OF TRACTS B2, B3, A PORTION OF B4, AND B5. CHANGE THE LANGUAGE OF THE UTILITY EASEMENT TO INCLUDE PEDESTRIAN ACCESS FOR A FUTURE TRAIL AND RECREATIONAL CONNECTIVITY.
2. HOMER PLANNING COMMISSION RECOMMENDS APPLICANT PROVIDES DETAILED SURVEY WITH TOPOGRAPHY, CURRENT WETLANDS STATUS, DRAINAGES, AND CONTOUR LINES:
 - a. DOWNSTREAM WATER IMPACT.
 - b. EVALUATE ROAD ACCESS FROM JEFFREY AVENUE.

Commissioner Barnwell declared potential ex-parte communication between himself and some members of the public. He briefly described conversations he had regarding the Foss Acres Preliminary Plat the morning before he issued the notice for reconsideration.

Commissioner Stark questioned Mr. Barnwell if he had discussed any additional information not originally provided during the original hearing. Mr. Barnwell stated that he did not.

Commissioner H. Smith asked Mr. Barnwell if either of the conversations he had regarding the plat influenced him to issue the notice for reconsideration. Mr. Barnwell claimed that one of the conversations ultimately contributed to his decision to issue a notice of reconsideration, though no new information was provided.

H. SMITH/STARK MOVED THAT COMMISSIONER BARNWELL HAD EX-PARTE COMMUNICATION AND SHOULD BE EXCLUDED FROM THE CONVERSATION.

There were brief discussions regarding what classifies as ex-parte communication.

Chair S. Smith requested the Clerk to perform a roll-call vote.

VOTE: YES: S. SMITH, SCHNEIDER, H. SMITH, STARK.

VOTE: NO: VENUTI.

Motion carried.

Commissioner Barnwell removed himself from Cowles Council Chambers for the remainder of this business item.

Chair S. Smith opened the floor to further discussion from the Commission regarding the motion on the floor.

Commissioner S. Smith stated that he trusts the back end of the process, adding that he does not see the need for the Commission to reverse the decision made in his absence.

Commissioner Stark echoed Mr. Smith's comments. He noted that the Borough has ability to add any requirements they see fit.

Hearing no other comments from the Commission, Chair S. Smith requested the Clerk to perform a roll-call vote.

VOTE (MAIN MOTION): YES: SCHNEIDER, H. SMITH, STARK, S. SMITH.

VOTE (MAIN MOTION): NO: VENUTI.

Motion carried.

NEW BUSINESS

INFORMATIONAL MATERIALS

- A. 2025 Planning Commission Calendar
- B. 2025 Planning Commission Meeting Dates and Submittal Deadlines

Chair S. Smith noted the informational materials. There were comments regarding the Commission's schedule.

COMMENTS OF THE AUDIENCE

Jan Keiser, city resident, noted that the Foss Acres Subdivision lies within the Woodard Creek watershed. She stated that in 2017, the City convened a coalition of stakeholders to develop goals, objectives, and recommendations for the watershed's protection and management. She asserted that the Foss Acres plat, along with several of its conditions, conflicts with nearly all of those guidelines.

Ole Andersson, city resident, alluded to things that are yet to be known about the Foss Acres Subdivision. He suggested the Planning Commission should have more than just one hearing before approving a plat consideration. He thanked the Commissioners for the work they do.

Jinky Handy, city resident, expressed her concern about the cost of developing the road for the Foss Acres Subdivision. She recalled a 1990s agreement between herself, Ole Andersson, and the City in which she and Mr. Andersson agreed to assume responsibility for road maintenance. She also raised concerns about

ensuring emergency vehicle access, access to her own property, and the ability to receive deliveries during the time of road development. Ms. Handy requested assurance from the City that the developer would be responsible for any costs associated with road damage, abandonment, or related issues.

Rika Mouw, city resident, echoed Ms. Keiser's comments and inquired about the number of affirmative votes required to adopt a motion. She expressed her desire for the Commission to consider past studies—particularly those related to the Woodard Creek watershed—when making decisions, rather than allowing them to be overlooked.

COMMENTS OF THE STAFF

Deputy City Clerk Pettit noted that it was a great meeting, and that he was looking forward to seeing everyone again next month.

COMMENTS OF THE MAYOR/COUNCILMEMBER (If Present)

COMMENTS OF THE COMMISSION

Commissioner Venuti commented that it was an interesting meeting. He stated that he feels the Commission is cavalier about how it deals with wetlands, adding that he doesn't feel the Commission pays enough attention to the issue.

Commissioner H. Smith reasoned that the City could buy up all the wetlands in order to control outcomes. He acknowledged that the Commission can't make all the decisions given that there is a process and other parties involved. He added that just because an individual doesn't get their way doesn't mean that due process didn't play out. He thanked the members of the public, City staff, and his fellow Commissioners.

Commissioner Stark thanked his fellow Commissioners for the thoughtful deliberation. He also gave thanks to City staff and members of the public. He stated that there are checks and balances to ensure that due process is carried out. He offered to provide any reports to Council when needed.

Commissioner Schneider shared that it's good to be back after his hiatus. He emphasized the need for constant improvement, adding that it was interesting to watch due process in action at the meeting tonight.

Commissioner Barnwell echoed Mr. Venuti's comments regarding the omission of wetlands when making decisions. He noted that the City has no policy for wetlands even though the City has a ton of useful information on wetlands. He suggested that the process the Commission uses for plat considerations be improved. He thanked City staff, his fellow Commissioners, and the public for their participation in the meeting tonight.

Chair S. Smith urged Mr. Andersson and Ms. Handy to take their concerns about the maintenance of Tundra Rose Road to City Council. He briefly spoke to due process and Title 21. He stood by the decision that the Commission made on the Foss Acres Subdivision given the rules and laws governing the Commission. He questioned the omission of the Bridge Creek Watershed from the Title 21 spreadsheet. He shared his desire for a better way of weighing in public comment when the Commission is making decisions. Lastly, he noted that his dad has been in and out of the hospital recently, and that he might be absent in the near future.

ADJOURN

There being no further business to come before the Commission, Chair Scott Smith adjourned the meeting at 8:21 p.m. The next Regular Meeting is scheduled for **Wednesday, June 18th, 2025 at 6:30 p.m.** A Worksession is scheduled for 5:30 p.m. All meetings are scheduled to be held in the City Hall Cowles Council Chambers located at 491 E. Pioneer Avenue, Homer, Alaska and via Zoom Webinar. Meetings will adjourn promptly at 9:30 p.m. An extension is allowed by a vote of the Commission.

Zach Pettit, Deputy City Clerk II

Approved: _____



MEMORANDUM

Possible Recreation Center Location-Town Center Lot

Item Type: Action Item Memorandum

Prepared For: Economic Development Advisory Commission and Parks, Arts, Recreation & Culture Advisory Commission and Planning Commission

Date: June 4, 2025

From: Mike Illg, Recreation Manager/PARCAC Staff Liaison

The City of Homer is continuing to take steps towards the construction of a Community Recreation facility. This project has been identified as a high priority by the community for a number of years, is current the #2 priority on the city's Capital Improvement Plan (CIP), and the City Council has earmarked \$1.3 million towards the project. The City of Homer is now in the process of considering where to build this new building. The Council would like input on the **proposed location** just south of East Pioneer Avenue, between Main and Poopdeck Streets.

Identifying and securing a location is key to moving the project forward. City staff and administration and two city council "recreation champions" have spent significant time and effort considering many different possible locations with various criteria. The City Council has recently requested feedback from the Economic Development Advisory Commission (EDC), Parks, Art, Recreation, and Culture Advisory Commission, Planning Commission, adjacent property owners and general community feedback regarding this proposed location.

The current property in question is centrally located and already owned by the city. It is within the undeveloped town center area south of East Pioneer Ave, directly behind/south of Alice's Champagne Palace. Please note: there are no facility designs, cost estimates, operation plans, or footprints being considered at this time. Rather we are simply looking for a possible location to consider for this future project, and your input is requested to help determine a location. We are not soliciting feedback regarding the proposed project as a whole but rather the City Council is requesting feedback regarding this proposed city owned parcel only.

This topic is being presented:

- Economic Development Advisory Commission: Tuesday June 10, 6:00 PM
- Planning Commission: Wednesday June 18, 6:30 PM
- Parks, Art, Recreation and Culture Advisory Commission: Thursday June 19, 5:30 PM

In addition to commission feedback regarding this property, adjacent property owners been notified by mail of these opportunities to attend and provide input on the proposed location. Information is available on the City Manager's webpage and citizens can provide comment through the webpage if they are unable to participate at the meetings. <https://www.cityofhomer-ak.gov/planning/proposed-property-future-community-rec-center>

The specific questions staff is requesting are:

1. Do you support this location as the preferred location for the future community recreation facility?
2. What are the existing concerns against using this location for this project?
3. What are the potential positive attributes for using this location for this project?



Action: Review the questions and submit a formal recommendation.

Attached information included.



MEMORANDUM

Proposed Community Recreation Center Site Selection Recommendation

Item Type: Informational Memorandum
Prepared For: Mayor and City Council
Date: January 2, 2024
From: Recreation Champions Working Group

In an effort to continue the efforts and review possible options for a future City of Homer Community Recreation Center, the Recreation Champions group has recently met and reviewed three different possible locations: the Homer Electric Association (HEA) lot bounded by Lake, Grubstake, and Snowbird; the Kenai Peninsula Borough (KPB)/Homer Middle School lot; and the City of Homer-owned town center lots. Public Works Director Kort visited and inspected each property and provided preliminary cost estimates for related to initial utility infrastructure costs. Based upon the logistics, location, and initial costs, the group agreed to eliminate the KPB lot as a possible option. The HEA lot would potentially be the least expensive site to develop for utilities, but would require negotiation with HEA for purchase, meaning that overall, the City-owned town center lots may be advantageous to consider for a new Community Recreation Center. This memo focuses on the City-owned town center lots.

When discussing the three sites in November, the Recreation Champions group recognized potential positives and negatives associated with the town center lots and decided it is warranted to gain additional commission, neighbor, and public insights into the town center lots before deciding whether these lots may be chosen as a preferred site for a new community recreation center. The lots are centrally located, could include public parking for pedestrian access to Pioneer Avenue businesses, and could support future efforts to develop the privately owned portions of town center. However, the area is also currently undeveloped and is adjacent to a wooded trail through Kachemak Heritage Land Trust property and the edge of one City-owned lot. Receiving public input on the pros and cons of these lots will be important before making a decision on a preferred site for the Community Recreation Center.

The Recreation Champions group is interested in soliciting feedback from neighboring property owners, organizations, and community members, and receiving formal reviews from the Parks, Art, Recreation and Culture Advisory Commission (PARCAC); the Planning Commission; and the Economic Development Advisory Commission (EDAC) for selecting the City of Homer-owned town center lots as the preferred location for a future Community Recreation Center.

The City Center Property offer's some interesting challenges as well as potential opportunities when considering developing this parcel. This property extends to Pioneer Avenue and the lower portion of the property is confined by property owned by Valentin Caspaar LLC to the south and east; Kachemak Heritage Land Trust to the east; and properties owned by Guy Rosi, Rosi Community Property Trust, and Lulu Mae LLC to the west. Water is available along Pioneer Avenue, and a sewer main passes through the northern portion of the property. Providing water service to a potential Recreation Center is relatively simple and could be done by extending the water main to the building

site or running a water service into the property to serve just this building. Providing sewer service to this building using the sewer main passing through the northern side of the property will likely require a lift station dedicated to the building. Alternatively, sewer service could be extended from Grubstake Avenue or Hazel Avenue by acquisition of a Utility Easement to provide gravity sewer service to the property.

One thing to consider, there may be a unique opportunity to partner with the owner of the Valentin Caspaar LLC property as part of a larger development plan and run both sewer and water mainlines into both properties by extending the sewer mainlines from Grubstake Avenue and/or Hazel Avenue to serve these properties and possibly looping the water main service between Pioneer Avenue, Main Street, Grubstake Avenue, Hazel Avenue or a combination of these locations.

The entrance to this new facility would most likely be best served by coming off of Pioneer Avenue, or a future road extension originating from the intersection of Poopdeck Street and Hazel Avenue as part of a development agreement with the owner of Valentin Caspaar LLC properties. Access to the building site off of Grubstake Avenue would not be recommended due to the neighborhood density and street design.

Utility Cost Estimate:

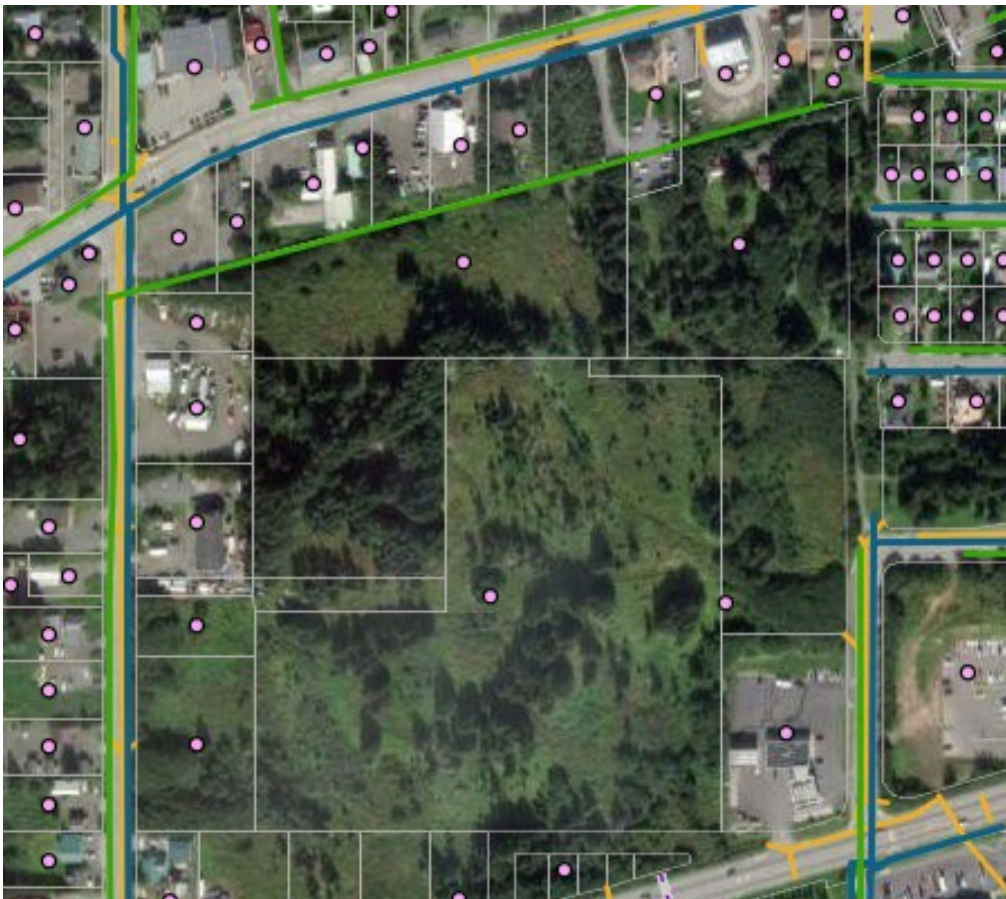
There are a lot of factors and alternatives that play into the development of a facility on this property that are difficult to isolate without a deeper investigation with proposed ideas. For the purpose of demonstration, we will offer a couple of ideas.

- Water Service from Pioneer Ave, Sewer Connection to sewer main along north property line with a lift station – \$482,000
- Water service from Pioneer Ave, Sewer connection to gravity sewer on Grubstake (could be done with development agreement or purchase Utility Easement (excluding cost of purchasing the easement)) – \$355,000

Access Road Cost Estimate:

Road costs would depend on the project development plan and access location. For the purpose of demonstration, we will offer a couple of ideas.

- Access off of Pioneer Avenue – \$158,000
- Access off of the intersection of Hazel Avenue and Poopdeck Street – \$710,000 (could share costs with other developers)





Recommendation: Request PARCAC, Planning Commission, and EDAC review the City-owned town center lots as the possible preferred location for a Community Recreation Center and provide feedback to the City Council. Additionally, request the city manager to direct staff to solicit feedback from neighboring property owners, organizations, and community members regarding selecting the City-owned town center lots as the preferred location for a Community Recreation Center.

Attachment:

Memorandum from Public Works Director Kort dated October 21, 2024



MEMORANDUM

Proposed Future Recreation Center Site Alternatives

Item Type: Informational Memorandum
Prepared For: Recreation Champions and City Councilors Aderhold and Erickson
Date: October 21, 2024
From: Daniel Kort, Public Works Director
Through: Melissa Jacobsen, City Manager

Summary:

The Public Works Department (PWD) was requested to investigate the feasibility of utility accessibility at 3 proposed future Recreation Center Sites at the City Councils October 14th meeting. In addition to the feasibility, it was requested that the Public Works Department provide an order of magnitude cost estimate to provide utilities to the proposed sites. The three lots under further consideration and associated estimate costs for utilities, site access, and potential development costs are as follows:

- Homer Middle School - \$427,000 to \$1,114,000 (site will likely also have \$500,000 to \$1,000,000 additional site development costs beyond the other sites due to topography)
- Homer Electric Association - \$235,000 to \$435,000
- City Center Property - \$513,000 to \$1,192,000

Discussion:

The PWD has reviewed the proposed properties for utility feasibility as detailed below. The PWD attempted to create an order of magnitude cost estimate to provide utilities to a proposed building site on the property, however some of the properties are large and assumptions had to be made as to the building location and development that could impact these costs, so they are strictly hypothetical order of magnitude estimates and should not be considered a true cost estimate. Access to some sites is complicated and will have an impact to the decision, so the PWD took it upon itself to also include this evaluation and information as well.

The sites identified by the City Council are as follows:

- The vacant land behind the athletic field at Homer Middle School (Homer Middle School)
- The HEA property at the corner of Snowbird Street; Grubstake Avenue; and Lake Street (HEA)
- Property owned by the City of Homer (City) commonly referred to as the "City Center" (City Center)

Homer Middle School:

The feasibility of gaining utility access to the location north of the track/athletic field is possible. It is believed that there are a few options to facilitate this sites development. Sewer service could be provided to this location by constructing a lift station and pumping the wastewater to the sanitary sewer along Spruceview Avenue to the North. However, it may be more economical over the long-term to construct a sewer main extension and utility easement along the eastern property line of the School District and connect the Recreation Center to this new sewer main. This would eliminate the long term ownership and operation of an additional lift station. The City water supply could be fed from either a water main extension from the Sterling Highway towards from the south within the common utility easement as the sewer main, or fed from the water main on Spruceview Avenue to the North.

Access to this site may be very challenging. It is the opinion of the PWD that developing site access from Spruceview Avenue is undesirable and not recommended because this development would significantly increase the traffic on that street beyond what the street was designed for and it's intended use. Therefore, access to the site would need to come from the south.

The site could be access by either constructing an entrance along the Homer Middle School's east or west property line. An entrance along the east property line could be constructed by either extending Woodside Avenue and purchasing property from the Broshe-Lowney Community Property Trust for the driveway access, or by creating a driveway entrance off of the Sterling Highway along the HERC property line. Both of these options have challenges associated with the two previously mentioned storm water drainages passing through this area and poor soils. To facilitate the development of an entrance to the east side of the lot will require a lot of drainage improvements and road subbase improvements to accommodate this access. An access to the west was not fully evaluated due to the SPARC entrance already sharing the driveway for the Homer Middle School. It was assumed that the additional traffic associated with the Recreation Center would not be desirable to the School District or the Alaska DOT using the already shared entrance. It was further assumed that the Alaska DOT would not be receptive to adding a separate entrance to the Sterling Highway in close proximity to the shared entrance for the Homer Middle School and SPARC due to potential traffic safety.

Site development upon this parcel will have additional challenges due to the topography and two previously mentioned storm water drainages that pass down along the west side of the property. This parcel has approximately 30-feet of elevation change across the lot. While constructing a building on this property is physically possible, the topography could add \$500,000 to \$1,000,000 to the development of the Recreation Center at this location compared to similar development plans at other locations.

Some special considerations for this site revolve around the KPB School Districts willingness to sell half of this property for this development and allowing the creation of a utility easement along the Eastern property line.

Utility Cost Estimate: \$494,000

Assuming providing water service from Spruceview Avenue and Sewer service from the Sterling Highway. The following estimates of cost are provided with the understanding that this is purely an order of magnitude cost estimate with no building site on the large parcel identified.

Access Road Cost Estimates:

- Woodside Entrance: \$1,052,000
- Sterling Highway Entrance: \$1,114,000
- Spruceview Avenue Entrance: \$427,000



HEA Property:

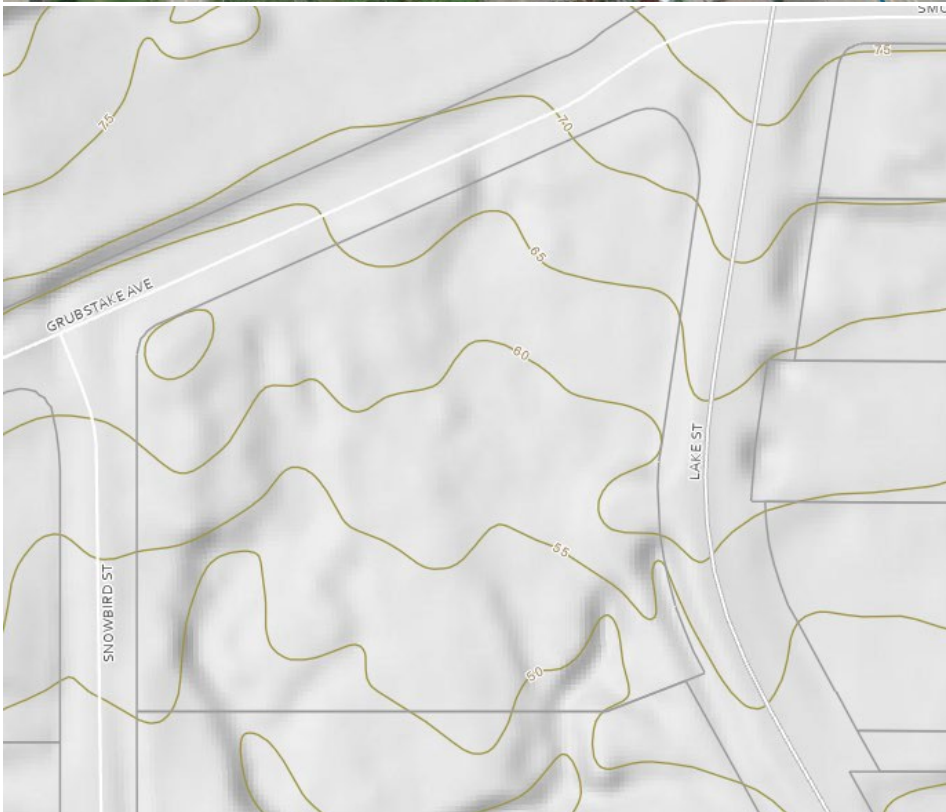
The HEA property provides some additional challenges for Sewer. There is only one sewer main passing this property and it is on the East side of Lake Street. The sewer main is approximately 8.5-ft below ground surface in this region and may be low enough elevation to provide sewer service to a building developed upon this property without being pumped depending upon the buildings location on the large parcel, building design, and the building sewer elevation. However, there is no guarantee that gravity flow will work for this site. Water service to this site will be straight forward and the building could be served from either Grubstake Avenue or Lake Street, however a water service is already established off of Grubstake Avenue.

The driveway entrance to the proposed site could come off of any of the three proposed streets. Due to the higher traffic volume on Lake Street, the City may want to take the approach to place the facility entrance onto either Grubstake Avenue or Snowbird Street to reduce road congestion associated with this facility at this location. It is the opinion that Grubstake Avenue would work best to lessen the conflictions with the Post Office.

Utility Cost Estimate: \$150,000 - \$350,000

Assuming providing water service from Grubstake Avenue and Sewer going towards Lake Street, and the driveway going to Grubstake Avenue. The cost estimate is an order of magnitude estimate and is based off a theoretical building and location. The upper end of the estimate represents if a lift station is required as well.

Access Road Cost Estimate: \$85,000



City Center Property:

The City Center Property offer's some interesting challenges as well as potential opportunities when considering developing this parcel. This property extends to Pioneer Avenue and the lower portion of the property is confined by property owned by Valentin Caspaar LLC to the south and east; Kachemak Heritage Land Trust to the east; and properties owned by Guy Rosi, Rosi Community Property Trust, and Lulu Mae LLC to the west. Water is available along Pioneer Avenue, and a sewer main passes through the northern portion of the property. Providing water service to a potential Recreation Center is relatively simple and could be done by extending the water main to the building site or running a water service into the property to serve just this building. Providing sewer service to this building using the sewer main passing through the northern side of the property will likely require a lift station dedicated to the building. Alternatively, sewer service could be extended from Grubstake Avenue or Hazel Avenue by acquisition of a Utility Easement to provide gravity sewer service to the property.

One thing to consider, there may be a unique opportunity to partner with the owner of the Valentin Caspaar LLC property as part of a larger development plan and run both sewer and water mainlines into both properties by extending the sewer mainlines from Grubstake Avenue and/or Hazel Avenue to serve these properties and possibly looping the water main service between Pioneer Avenue, Main Street, Grubstake Avenue, Hazel Avenue or a combination of these locations.

The entrance to this new facility would most likely be best served by coming off of Pioneer Avenue, or a future road extension originating from the intersection of Poopdeck Street and Hazel Avenue as part of a development agreement with the owner of Valentin Caspaar LLC properties. Access to the building site off of Grubstake Avenue would not be recommended due to the neighborhood density and street design.

Utility Cost Estimate:

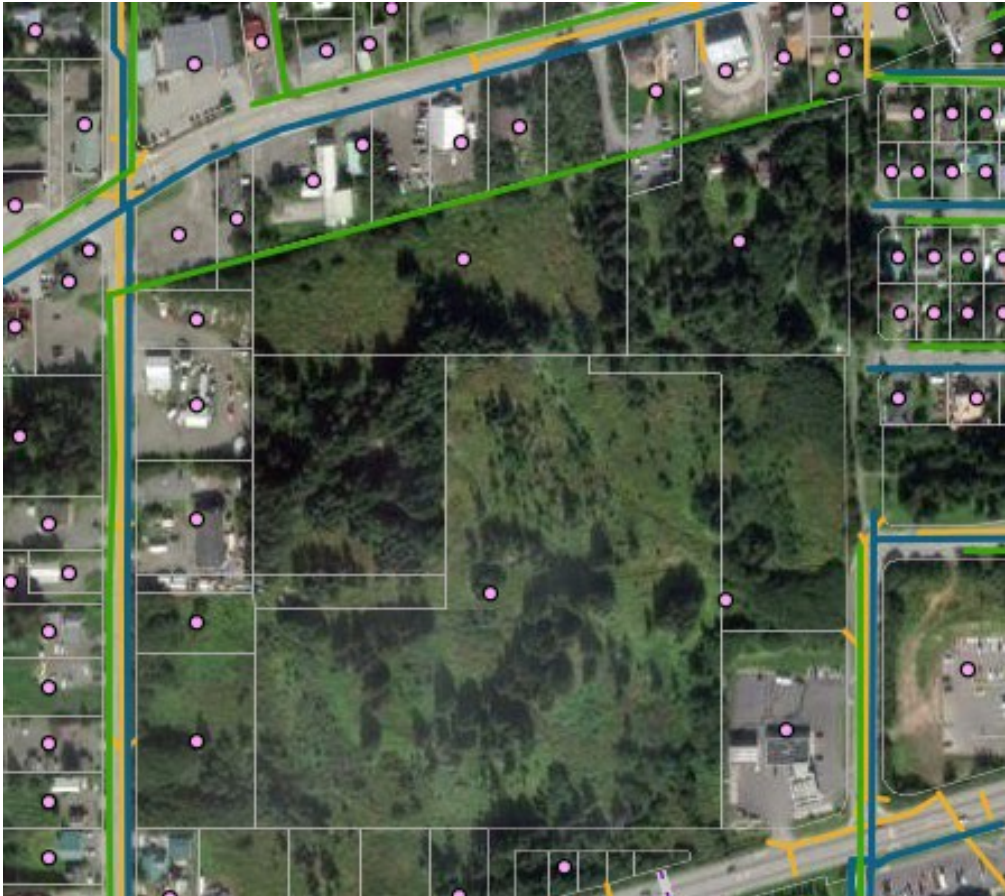
There are a lot of factors and alternatives that play into the development of a facility on this property that are difficult to isolate without a deeper investigation with proposed ideas. For the purpose of demonstration, we will offer a couple of ideas.

- Water Service from Pioneer Ave, Sewer Connection to sewer main along north property line with a lift station – \$482,000
- Water service from Pioneer Ave, Sewer connection to gravity sewer on Grubstake (could be done with development agreement or purchase Utility Easement (excluding cost of purchasing the easement)) – \$355,000

Access Road Cost Estimate:

Road costs would depend on the project development plan and access location. For the purpose of demonstration, we will offer a couple of ideas.

- Access off of Pioneer Avenue – \$158,000
- Access off of the intersection of Hazel Avenue and Poopdeck Street – \$710,000 (could share costs with other developers)







Legislative Request FY2026

**City of Homer FY2026 State & Federal Legislative Priorities
approved by
Homer City Council Resolution 24-100**

1. Homer Harbor Expansion
2. Multi-Use Community Center
3. Homer Harbor Critical Float System Replacement:
Float Systems 4 & 1
4. Slope Stability & Erosion Mitigation Program
5. City Hall ADA Accessibility Project
6. Karen Hornaday Park Improvements
7. Homer Spit Coastal Erosion Mitigation
8. A-Frame Water Transmission Line Replacement
9. New Public Works Building



2. Multi-Use Community Recreation Center

Project Description & Benefit: This project secures land, designs and constructs a multi-use community center to meet Southern Kenai Peninsula community needs, while contributing to the overall economic development and quality of life of Homer’s residents, businesses and visitors. This project is the first phase in designing and constructing a multi-use community center to adequately serve the social, recreation, cultural, and educational needs of the Homer community. The community has long prioritized the need for indoor municipal recreational and community space, especially considering the ongoing challenges of operating in the local schools and the city’s aging and defunct HERC facility. A 2015 City of Homer Parks, Art, Recreation and Culture (PARC) Needs Assessment validated this perceived need; a 2022 follow up assessment showed increased public demand for recreation space, reflecting the community’s high priority on access to public recreation and educational spaces. Public input describes the community center as a comprehensive multi-generational facility that offers something for people of all ages and identified a general-purpose gymnasium, multi-purpose space for instructional programs, safe walking/running, dedicated space for youth and possible emergency shelter as priority features. Preliminary data and feedback from the 2024 Comprehensive Plan rewrite shows continued strong community support for an indoor recreation facility.

Plans & Progress: In 2018, a City Council appointed Task Force completed several months of study and recommended building a new community facility, rather than trying to rehabilitate the HERC facility. The retrofits needed to bring the building into modern code compliance exceeds the cost of new construction. In September 2021, the City expended \$49,964 to update the recreation needs analysis, engage the public and produce concept designs and construction cost estimates for different options for a new multi-use center.

A 2023 hazmat report of the City-owned facilities at the HERC campus, which had been the preferred site, determined this location will not be possible in the near term due high cost of mitigation. In 2023, the Mayor appointed two City Council “Recreation Champions” to spearhead this project and is in the process of reviewing possible locations for a community center, preferably centrally located. In 2024, the City Council appropriated a total of \$1,300,000 towards the project. These are significant steps towards identifying a location, refining the project’s scope and moving it forward. Subsequent steps will include finalizing design, cost estimates and completing a feasibility study for ongoing operations and maintenance.

Total Project Cost: \$16,050,000

FY25 Phase 1: Land Purchase \$ 700,000

FY26 Phase 2: Final Design & Feasibility Study \$350,000

FY27 Phase 3: Construction \$15,000,000

FY26 State Request:

Phase 1 & 2 \$ 400,000

FY26 Federal Request:

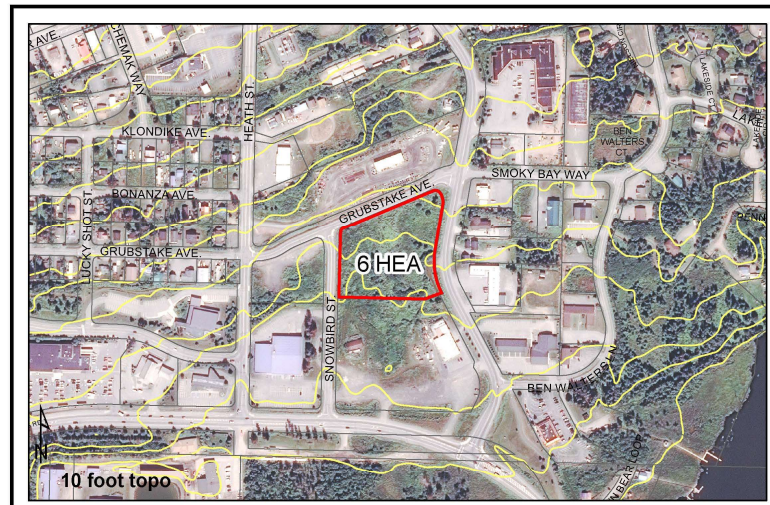
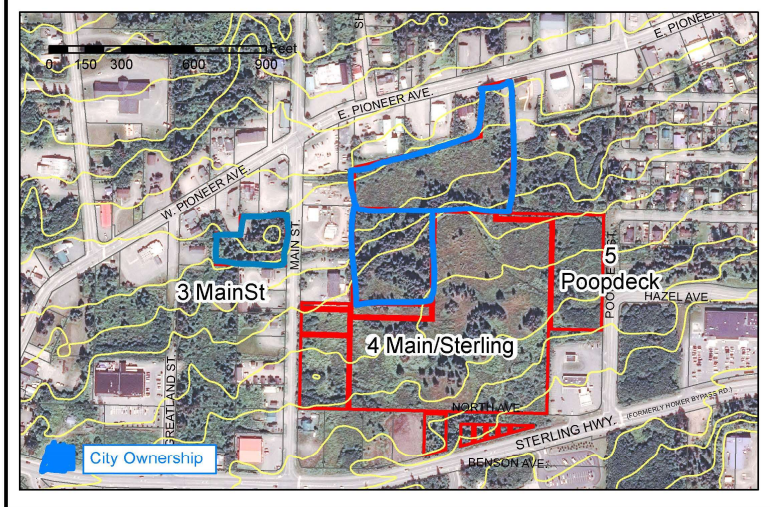
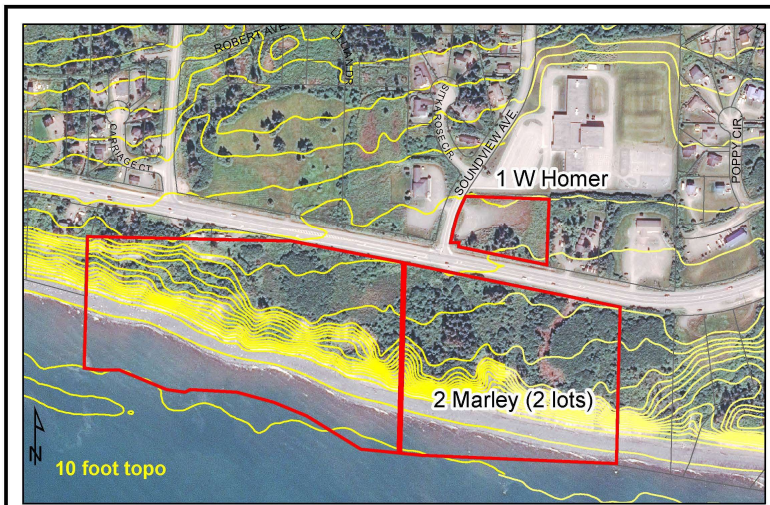
Phase 3 \$14,350,000

City of Homer Match: \$ 1,300,000

Funding Secured	FY24/25
City of Homer funds	\$ 400,000
Gas Line Fund	\$ 900,000



The City of Unalaska’s Community Center is an example of a centrally located, widely used recreation facility by both residents and visitors.



Scoring Matrix

Recreation Center Land Matrix

SCORING KEY: 1=Meets General Criteria 0= Does Not Meet general Criteria								
Factors	West Homer #1	Marley Prop. #2	Main St. #3	Main/Steele #4	Poopeduck/Hazel # 5	HFA Site #6	New P	
1. Location & Traffic								
Central Location (2 mile radius from Main St.)								
No negative traffic impacts								
Located near schools								
Location & Traffic Totals	0	0	0	0	0	0	0	0
2. Site Characteristics								
Existing road access								
Shape of site adequate								
Soil suitable for building								
Adequate Parking space easy to accommodate								
Allows for future expansion								
Meets minimum of 1.5 acres								
Site Characteristics Totals	0	0	0	0	0	0	0	0
3. Community Sentiment/Considerations								
Meets the needs for recreation uses/activities								
Fits well with existing neighborhood/area								
Location walkable/bikable								
Community Sentiment Totals	0	0	0	0	0	0	0	0
4. Existing Utilities/Infrastructure								
Existing city water and sewer main								
Electric Service								
Access to natural gas service line								
Existing Sidewalks								
Existing Utilities/Infrastructure Totals	0	0	0	0	0	0	0	0
5. Environmental Impacts								
No substantial wetland concerns								
No known risk of flooding								

Not in tsunami zone								
Environmental Impact Totals	0	0	0	0	0	0	0	0
6. Permitting/ Other Regulatory								
Not a Brownfield property								
Permitting/Other Regulatory Totals	0	0	0	0	0	0	0	0
7. Land/Facility Ownership								
Owned by City of Homer								
Owned by other municipal entity or non-profit								
Must be purchased								
Land/Facility Ownership Totals	0	0	0	0	0	0	0	0
8. Cost of Site Development & Construction								
Building Cost are likely lower (ex. flat vs. slope)								
Site Cost are likely lower (ex. drainage)								
Cost of Development Totals	0	0	0	0	0	0	0	0

	West Homer	Marley	Main	Main/Steele	Poopeduck/Hazel	HFA	PW	
TOTALS	0	0	0	0	0	0	0	0

Recreation Center Land Matrix Total Scores

Factors	West Homer #1	Marley Prop. #2	Main St. #3	Main/Sterling #4	Poopdeck/Hazel # 5	HEA Site #6	New PW Site #7
Score 1	22	15	16	17	16	22	17
Score 2	21	12	16	19	20	23	19
Score 3	18	13	18	20	20	22	12
Score 4	18	13	16	9	13	18	15
Score 5	21	11	17	19	18	23	17
Score 6	14	11	12	8.5	12	15	10
Score 7							
	West Homer	Marley	Main	Main/Sterling	Poopdeck/Hazel	HEA	PW
Tota Matrix Scores:	114 2nd	75	95	92.5	99 3rd	123 1st	90

Final Results-Top Three Sites

3 city staff, 2 city council members & 2 community members on informal review group.

**CITY OF HOMER
HOMER, ALASKA**

Aderhold/Erickson

RESOLUTION 23-118

A RESOLUTION OF THE CITY COUNCIL OF HOMER, ALASKA,
DIRECTING THE CITY ADMINISTRATION TO INVESTIGATE
POTENTIAL LOCATIONS AND RELATED COSTS FOR A FUTURE CITY
OF HOMER MULTI USE COMMUNITY RECREATION CENTER FOR
CITY COUNCIL REVIEW.

WHEREAS, The City of Homer Community Recreation division offers year round,
affordable indoor and outdoor programs at the Homer Education and Recreation Complex
(HERC); and

WHEREAS, The Multi-Use Community Recreation Center project is the number two
project on the City's 2024-2029 Capital Improvement Plan and continues to be a high priority
for the community residents, city council and mayor; and

WHEREAS, The HERC campus is a highly desirable location for indoor and outdoor
recreation; and

WHEREAS, The recent hazardous materials (hazmat) study has determined the option
to tear down or upgrade the existing HERC facilities at the HERC campus is currently
impractical; and

WHEREAS, The City's ability to address the hazmat issues are subject to the availability
of federal grants that will likely take years to secure and are not guaranteed; and

WHEREAS, In light of the hazmat issues, the City of Homer needs to pursue alternate
location options to move the Multi-Use Community Recreation Center project ahead in a timely
manner; and

WHEREAS, The proposed facility size and design should have at least two basketball
regulation sized gymnasiums that will accommodate multiple volleyball and six pickleball
courts in addition to activity rooms to host instructional classes such as dance, karate, and
yoga; and

WHEREAS, The City has limited funds for a new Multipurpose Recreation Center and a
conceptual budget of not more than \$10,000,000 or \$12,000,000 for building, parking lot and
site amenities is set as a project guideline for the purpose of site selection (based on the
amount of revenue that could be generated from a bond).

NOW, THEREFORE, BE IT RESOLVED that the City Council of Homer, Alaska hereby directs Administration to:

1. Investigate possible land locations and existing facilities options including privately owned and city owned land;

2. Establish and define criteria for Administration to select at least three potential options that would include (at a minimum): acreage, location, opportunity for future facility expansion, proximity to existing infrastructure (water, sewer, sidewalks), and cost;

3. Develop a matrix that assesses the possible sites against the criteria and determine the top three potential sites based on the outcome of the assessment;

4. Initiate conversations with property owners of the top three sites;

5. Pursue site analysis for the top three sites with possible efforts from volunteer professionals;

6. Identify a funding strategy for new site purchase if a non-city site is one of the top three options;

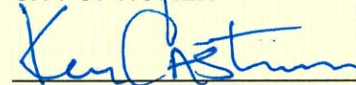
7. Include the Parks, Art, Recreation, and Culture Advisory Commission in evaluation of the top three sites and possible purchasing strategies of any non-city properties; and

8. Provide for public comment on the three selected sites and possible purchasing strategies.

9. Report findings back to City Council during the first quarter of 2024.

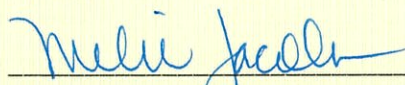
PASSED AND ADOPTED by the Homer City Council this 23rd day of October, 2023.

CITY OF HOMER

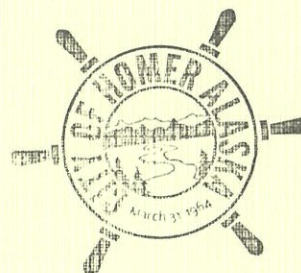


KEN CASTNER, MAYOR

ATTEST:



MELISSA JACOBSEN, MMC, CITY CLERK



Fiscal note: Staff time and wages.



MEMORANDUM

Resolution 23-118, A Resolution of the City Council of Homer, Alaska Directing the City Administration to Investigate Potential Locations and Related Costs for a Future City of Homer Multi Use Community Recreation Center for Council Review. Aderhold/Erickson.

Item Type: Backup Memorandum
Prepared For: Mayor Castner and Homer City Council
Date: October 17, 2023
From: Mike Illg, Recreation Manager & Julie Engebretsen Economic Development Manager
Through: Rob Dumouchel, City Manager

At the October 9th Work Session meeting, Council heard a presentation from staff about the idea of pursuing a different location than the Homer Education and Recreation Complex site as the future home of a new multipurpose facility. Councilmembers Aderhold and Erickson were appointed as champions to work with staff to draft a resolution detailing a formal direction to pursue a Multi-Use Community Recreation Center project.

This resolution directs Administration to investigate the options of pursuing centrally located existing city owned land (ex. Town Center lot), privately owned land (ex. Homer Electric Association lot) or existing facilities such as the Bay Club to accommodate a 17,000 to 21,000 sq. ft. facility. This facility would house two regulation sized basketball courts used interchangeably for multiple volleyball courts and six pickle ball courts; flexible space for instructional programs such as karate, dance, yoga, etc.; locker rooms; storage space; and staff offices. A preliminary \$10-\$12 million budget with a maximum budget of \$10 or 12 million (to be determine by City Council) is set as a guideline at this point in the project, based on previous council discussion regarding the amount of revenue that could be generated from a bond (the projected debt service of a \$10 million would be \$800,000/year and a 0.3% sales tax generates about \$820,000/year). There is also the potential option of future expansion through community fundraising, grants and phasing. Administration is to analyze location options and present Council with three alternatives.

The resolution provides direction to establish site selection criteria such as lot size, location (with safe and easy youth accessibility as a high priority), opportunity for future facility expansion, existing infrastructure (water, sewer, sidewalks), and cost; provide opportunities for public input; and discuss the final three options with Parks, Art, Recreation and Culture Advisory Commission prior to presentation to the City Council. To the extent practicable, staff will engage volunteer professional

community members to determine if the sites are reasonable to pursue. If paid professional services are needed to address technical site analysis such as wetlands and engineering concerns, staff shall provide Council with a rough cost estimate for those services.

City Council may consider the option of creating a future task force to work through the details of the new facility, after potential locations are narrowed down. Administration should present to City Council three proposed options during the 2024 first quarter.

Recommendation: Approve resolution to direct Administration to establish site criteria, pursue locations, seek community input, and report back with three proposed options.



City of Homer

www.cityofhomer-ak.gov

Planning

491 East Pioneer Avenue
Homer, Alaska 99603

Planning@ci.homer.ak.us

(p) 907-235-3106

(f) 907-235-3118

Staff Report PL 25-031

TO: Homer Planning Commission
FROM: Ryan Foster, City Planner
DATE: June 18, 2025
SUBJECT: City Planner's Report

Comprehensive Plan Update

The Draft Comprehensive Plan public hearing version is being prepared for a Planning Commission public hearing. For more information on the project, go to:

<https://homercompplanupdate.com/>

City Council Meeting May 27, 2025

a. Ordinance 25-36, An Ordinance of the City Council of Homer, Alaska, Amending Homer City Code 21.10.030 to Amend the Homer City Zoning Map to Rezone a Portion of the Rural Residential (RR) Zoning District to General Commercial 1 (GC1) Zoning District at 3145 Lampert Lane. Planning Commission. Introduction May 12, 2025 Public Hearing and Second Reading May 27, 2025.

ADOPTED

b. Ordinance 25-37, An Ordinance of the City Council of Homer, Alaska, Amending Homer City Code 21.10.030 to Amend the Homer City Zoning Map to Rezone a Portion of the Rural Residential (RR) Zoning District to Residential Office (RO) Zoning District at 4410 East Hill Road and 1374 East End Road. Planning Commission. Introduction May 12, 2025 Public Hearing and Second Reading May 27, 2025.

ADOPTED

h. Resolution 25-052, A Resolution of the City Council of Homer, Alaska, Acknowledging the Cancellation of the Federal Emergency Management Agency Building Resilient Infrastructure and Communities Grant to Adopt and Implement the 2021 Edition of the International Building Code. City Manager/City Planner. Recommend adoption.

ADOPTED

Meeting Schedule

The next regular meeting date is Wednesday, July 16, 2025.

Commissioner Report to Council

6/23/25 _____



City of Homer

www.cityofhomer-ak.gov

Planning

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Homer, Alaska 99603

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(p) 907-235-3106
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Staff Report 25-032

TO: Homer Planning Commission
FROM: Ryan Foster, City Planner
DATE: June 18, 2025
SUBJECT: Conditional Use Permit (CUP) 25-01

Synopsis The applicant requests a Conditional Use Permit (CUP) per HCC 21.24.040 (d), No lot shall contain more than 8,000 square feet of building area (all buildings combined), nor shall any lot contain building area in excess of 30 percent of the lot area without an approved conditional use permit. The applicant proposes a 6,000 square foot building at 1231 Ocean Drive.

Applicant: Peninsula Builders
3080 Kilokak Avenue
Homer, AK 99603

Location: 1231 Ocean Drive

Legal Description: T 6S R 13W SEC 21 SEWARD MERIDIAN HM 0004029 BAYVIEW SUB
JOHNSON ADDN LOT 12

Parcel ID: 17923004

Size of Existing Lot: 0.31 acres

Zoning Designation: General Commercial 1 District (GC1)

Existing Land Use: Commercial

Surrounding Land Use: North: Commercial
South: Residential
East: Commercial
West: Commercial

Comprehensive Plan: Chapter 4, Goal 1, Objective A and D, Goal 3, Objective B, and Goal 4 Objective B

Wetland Status: KWF Wetlands Assessment wetlands are not on the property.

Flood Plain Status: Not in a floodplain.

BCWPD: Not within the Bridge Creek Watershed Protection District

Utilities: Public utilities, water and sewer, do service the site.

Public Notice: Notice was sent to 29 property owners of 39 parcels as shown on the KPB tax assessor rolls.

ANALYSIS: The applicant proposes a 6,000 square foot commercial building with a proposed lot coverage of approximately 45%, above the 30% max lot coverage, therefore requiring a conditional use permit.

Per the applicant, the current use for the property is boat parking and inventory storage. There is a structure currently encroaching onto the property from the adjacent lot. The building that is encroaching is set to be removed prior to start of construction upon approval. Square footage approximately 40'x40'.

Per the applicant, the proposed use for the structure is a boat repair shop and showroom. The goal is to build a 6,000 sq ft structure on 1231 ocean drive that provides employee parking and access to the building. Additionally, the goal is to keep 1247 ocean drive vacant as a parking area and drive way and turn around for boats on trailers as they are being brought into the shop for repairs. Before any new construction starts there is one existing building that is on both properties that is intended to be demolished. This plan places the new structure on the one individual property and vacates the adjacent property for parking or other uses.

PARKING: The applicant is required to provide 20 spaces (one per 300 sf of gross floor area). The parking spaces identified in the application meet the required number of spaces across two parcels owned by the same property owner. A shared parking agreement will be required with the submission of a zoning permit. The final site plan zoning permit application will be required to illustrate the parking dimensions with the total of 20 spaces and the traffic circulation on the property including ingress and egress.

Per the applicant, there will be a shared parking agreement, between lot 1231 Ocean Dr. and 1247 Ocean Dr., submitted to planning and zoning prior to issuance of a permit, even though the same owner owns both properties.

DENSITY: The minimum lot size for the GC1 district is 10,000 square feet. The lot size is approximately 13,503 square feet. The minimum lot size is met. The proposed 6,000 square foot commercial building is approximately 44% of the lot coverage, therefore triggering the code requirement for a conditional use permit for lot coverage over 30%.



Proposed location of 6,000 square foot commercial building at 1231 Ocean Drive.

The criteria for granting a Conditional Use Permit is set forth in HCC 21.71.030, Review criteria, and establishes the following conditions:

a. The applicable code authorizes each proposed use and structure by conditional use permit in that zoning district;

Analysis: The following uses may be permitted in the General Commercial 1 District when authorized by conditional use permit issued in accordance with Chapter 21.71 HCC:

HCC 21.24.040 (d), No lot shall contain more than 8,000 square feet of building area (all buildings combined), nor shall any lot contain building area in excess of 30 percent of the lot area without an approved conditional use permit.

Finding 1: The structures and uses are authorized by the applicable code.

b. The proposed use(s) and structure(s) are compatible with the purpose of the zoning district in which the lot is located.

HCC 21.24.010 Purpose. The General Commercial 1 (GC1) District is primarily intended to provide sites for businesses that require direct motor vehicle access and may require larger land area, and to provide business locations in proximity to arterials

and transportation centers. It is also intended to minimize congestion and adverse effects on adjacent residential districts and on the appearance of the community.

Applicant: The proposed structure is intended to be Boat and marine equipment sales, rentals, service and repair. That is one of the permitted uses in GC1 that does not require a conditional use permit.

Analysis: A commercial building for boat and marine equipment sales, rentals, service and repair is a permitted outright use for the GC1 district. These uses are compatible with the General Commercial 1 District.

Finding 2: The proposed structures and uses are compatible with the purpose of the district.

c. The value of the adjoining property will not be negatively affected greater than that anticipated from other permitted or conditionally permitted uses in this district.

Applicant: The proposed project should increase the property value of both lots since the building that is situated on both properties will be demolished. Currently as it sits you would not be able to sell the lots of individually if wanted to do so.

Analysis: Many uses in the General Commercial 1 district have greater negative impacts than a 6,000 square foot commercial building. Other permitted uses such as heavy equipment and truck sales, rentals, service and repair; lumberyards; or hotels and motels; would likely have a similar or greater negative impact on nearby property values.

Finding 3: Commercial development for boat sales and repair is not expected to negatively impact the adjoining properties greater than other permitted or conditional uses.

d. The proposal is compatible with existing uses of surrounding land.

Applicant: Currently there are multiple GC1 buildings on the adjacent lots and the new intended structure should match the use of those buildings and any future buildings in the area.

Analysis: Existing uses of the surrounding land are currently commercial to the north, east, and west with residential to the south. A commercial use is in character with the surrounding commercial land uses.

Finding 4: The proposal is compatible with existing uses of surrounding land.

e. Public services and facilities are or will be, prior to occupancy, adequate to serve the proposed use and structure.

Applicant: From the information we were able to obtain we should have all the required city utilities available on 1231 Ocean Drive.

Analysis: City sewer and water services are already provided to the property.

Finding 5: Water, sewer, and fire services will be, prior to occupancy, adequate to serve the existing and proposed dwellings.

f. Considering harmony in scale, bulk, coverage and density, generation of traffic, the nature and intensity of the proposed use, and other relevant effects, the proposal will not cause undue harmful effect upon desirable neighborhood character.

Applicant: My opinion is that the new structure will be a positive change to the area. It will clean up an abandoned unused building along ocean drive, Provide better access for the intended business use and decrease traffic congestion on ocean drive. With the current set up there is occasional traffic backed up when the current business receives a shipment of product as a semi-truck tries to avoid the congested parking lot of boats, 4 wheelers and customers. I don't think the proposed project would provide too much more density since part of the project includes eliminating a current building.

Analysis: The proposed project provides commercial development at a density allowable in code and are not of an excessive size to create harmful effects on neighborhood character.

Finding 6: The proposal will not cause undue harmful effect upon desirable neighborhood character.

g. The proposal will not be unduly detrimental to the health, safety or welfare of the surrounding area or the city as a whole.

Applicant: No.

Analysis: The proposal does not introduce a use or a scale that is not reasonably anticipated by the rules, regulations, and infrastructure developed to service such a proposal.

Finding 7: The proposal will not be unduly detrimental to the health, safety or welfare of the surrounding area and the city as a whole when all applicable standards are met as required by city code.

h. The proposal does or will comply with the applicable regulations and conditions specified in this title for such use.

Analysis: The applicant is not requesting any exception to code. The project is able to comply with the applicable regulations and conditions when gaining a CUP and subsequent zoning permit for construction. As noted in the parking analysis on p.2 of the staff report, a shared parking agreement will be required with the submission of a zoning permit and the final site plan/parking plan for the zoning permit application will be required to illustrate the parking dimensions with the total of 20 spaces and the traffic circulation on the property including ingress and egress.

Condition 1: A final parking plan demonstrating compliance with HCC 21.55 must be submitted with the zoning permit application.

Finding 8: The proposal will comply with applicable regulations and conditions specified in Title 21 when gaining the required permits.

i. The proposal is not contrary to the applicable land use goals and objectives of the Comprehensive Plan.

Applicant: Not exactly sure on all the exact details with the most current comprehensive plan that is being worked on, but I only see positive in a project like this. Replacing an old building with a new one, cleaning up traffic flow along ocean drive, promoting job growth for an existing business, encouraging more density within the city limits of Homer and keeping a local business in the City of Homer and not moving out of town.

Analysis: Chapter 4, Goal 1, Objective A and D, Goal 3, Objective B, and Goal 4 Objective B of the Homer Comprehensive Plan are supported by this project. See the attached Compliance Review of Homer Comprehensive Plan for further details.

Finding 9: The proposal is not contrary to the applicable land use goals and objectives of the Comprehensive Plan. The proposal aligns with Chapter 4, Goal 1, Objective A and D, Goal 3, Objective B, and Goal 4 Objective B and no evidence has been found that it is contrary to the applicable land use goals and objectives of the Comprehensive Plan.

j. The proposal will comply with the applicable provisions of the Community Design Manual (CDM).

Analysis: Chapter 3, Outdoor Lighting is applicable to the General Commercial 1 District.

Condition 2: Outdoor lighting must be down lit per HCC 21.59.030 and the CDM.

Finding 10: Project will comply with the applicable provisions of the CDM.

HCC 21.71.040(b). b. In approving a conditional use, the Commission may impose such conditions on the use as may be deemed necessary to ensure the proposal does and will continue to satisfy the applicable review criteria. Such conditions may include, but are not limited to, one or more of the following:

- 1. Special yards and spaces:** No specific conditions deemed necessary.
- 2. Fences and walls:** No specific conditions deemed necessary.
- 3. Surfacing of parking areas:** No specific conditions deemed necessary.
- 4. Street and road dedications and improvements:** No specific conditions deemed necessary.
- 5. Control of points of vehicular ingress and egress:** A complete parking plan must be submitted with the zoning permit application including vehicular ingress and egress.
- 6. Special provisions on signs:** No specific conditions deemed necessary.
- 7. Landscaping:** No specific conditions deemed necessary.
- 8. Maintenance of the grounds, building, or structures:** No specific conditions deemed necessary.
- 9. Control of noise, vibration, odors or other similar nuisances:** No specific conditions deemed necessary.
- 10. Limitation of time for certain activities:** No specific conditions deemed necessary.
- 11. A time period within which the proposed use shall be developed:** No specific conditions deemed necessary.
- 12. A limit on total duration of use:** No specific conditions deemed necessary.
- 13. More stringent dimensional requirements,** such as lot area or dimensions, setbacks, and building height limitations. Dimensional requirements may be made more lenient by conditional use permit only when such relaxation is authorized by other provisions of the zoning code. Dimensional requirements may not be altered by conditional use permit when and to the extent other provisions of the zoning code expressly prohibit such alterations by conditional use permit.
- 14. Other conditions necessary** to protect the interests of the community and surrounding area, or to protect the health, safety, or welfare of persons residing or working in the vicinity of the subject lot.

PUBLIC WORKS COMMENTS:

1. Site plan should show new E Street approach location and dimensions and culvert pipe as well as the east side existing ditch that will be protected and accessible for future City maintenance.



Condition 3: Site plan should show new E Street approach location and dimensions and culvert pipe as well as the east side existing ditch that will be protected and accessible for future City maintenance.

PUBLIC COMMENTS: None submitted at the time this report was completed.

STAFF COMMENTS/RECOMMENDATIONS:

Planning Commission approve CUP 25-01, **Staff Report 25-032** with findings 1-10 and the following conditions.

Condition 1: A final parking plan demonstrating compliance with HCC 21.55 must be submitted with the zoning permit application.

Condition 2: Outdoor lighting must be down lit per HCC 21.59.030 and the CDM.

Condition 3: Site plan should show new E Street approach location and dimensions and culvert pipe as well as the east side existing ditch that will be protected and accessible for future City maintenance.

Attachments

Application
Map of Surrounding Businesses
Site Plan
Compliance Review of Homer Comprehensive Plan
Public Notice
Aerial Map
Building Plans and Elevation



City of Homer

www.cityofhomer-ak.gov

Planning
491 East Pioneer Avenue
Homer, Alaska 99603

Planning@ci.homer.ak.us
(p) 907-235-3106
(f) 907-235-3118

Applicant

Name: Peninsula Builders Phone No.: 907 399 6151

Address: 3080 kilokak Ave Homer AK 99603 Email: max@peninsulabuildersak.com

Property Owner (if different than the applicant):

Name: COASTAL POWERSPORTS HOMER LLC Phone No.: (907) 235-8532

Address: 711 H ST STE 200 Anchorage AK 99501 Email: Bret_S@coastalpowersports.com

PROPERTY INFORMATION:

Address: 1231 OCEAN DR Lot Size: 0.3100 acres KPB Tax ID # 17923004

Legal Description of Property: T 6S R 13W SEC 21 SEWARD MERIDIAN HM 0004029 BAYVIEW SUB JOHNSON ADDN LOT 12

For staff use: Finance Code 13-1306

Date: 5/28/2025 Fee submittal: Amount \$500.00

Received by: EDG Date application accepted as complete 5/28/2025

Planning Commission Public Hearing Date: June 18th, 2025

Conditional Use Permit Application Requirements:

1. Site Plan - drawn to a scale of not less than 1" = 20' which shows existing and proposed structures, clearing, fill, vegetation and drainage
2. Right of Way Access Plan
3. Parking Plan
4. A map showing neighboring lots and a narrative description of the existing uses of all neighboring lots. (Planning staff can provide a blank map.)
5. This completed application form
6. Payment of application fee (nonrefundable)
7. Any other information required by Code or staff to review your project

Circle Your Zoning District

	RR	UR	RO	CBD	TCD	GBD	GC1	GC2	MC	MI	EEMU	BCWPD
Level 1 Site Plan	x	x	x			x			x			x
Level 1 ROW Access Plan	x	x							x			
Level 1 Site Development Standards	x	x										
Level 1 Lighting			x	x	x	x	x	x	x	x	x	
Level 2 Site Plan			x	x	x		x	x		x	x	
Level 2 ROW Access Plan			x	x	x		x	x		x	x	
Level 2 Site Development Standards			x*	x	x	x	x	x			x	
Level 3 Site Development Standards									x	x		
Level 3 ROW Access Plan						x						
DAP/SWP questionnaire				46	x	x	x	x			x	

Circle applicable additional permits. Planning staff can assist with these questions.

- ☒ Y ☐ N Are you building or remodeling a commercial structure, or multifamily building with more than three (3) apartments? If yes, Fire Marshal Certification is required.
Status: _____
- ☒ Y ☐ N Will development trigger a Development Activity Plan?
Application Status: Not started yet. Will be designed if required
- ☒ Y ☐ N Will development trigger a Storm Water Plan?
Application Status: Not started yet. Will be designed if required
- ☒ Y ☐ N Does the site contain wetlands? If yes, Army Corps of Engineers Wetlands Permit is required. Application Status: _____
- ☒ Y ☐ N Is development in a floodplain? If yes, a Flood Development Permit is required.
- ☒ Y ☐ N Does the project trigger a Community Design Manual review?
If yes, complete the design review application form. The Community Design Manual is online at: <https://www.cityofhomer-ak.gov/planning/community-design-manual>
- ☒ Y ☐ N Do the project require a traffic impact analysis?
- ☒ Y ☐ N Are there any nonconforming uses or structures on the property?
- ☒ Y ☐ N Have nonconforming uses or structures on the property been formally accepted by the Homer Advisory Planning Commission? state driveway currently exists, have not applied for driveway/ parking on E street
- ☒ Y ☐ N Does the site have a State or City driveway permit? Status: parking on E street
- ☒ Y ☐ N Does the site have active City water and sewer permits? Status: Water and sewer utilities are currently in place to existing building that is planned to be removed

Conditional Use Permit Application Questions. Use additional sheets if necessary.

1. Currently, how is the property used? Are there buildings on the property? How many square feet? Uses within the building(s)?

Current use for the property is boat parking and inventory storage. There is a structure currently encroaching onto the property from the adjacent lot. The building that is encroaching is set to be removed prior to start of construction upon approval. Square footage approximately 40'x40'.

2. What is the proposed use of the property? How do you intend to develop the property?
Attach additional sheet if needed. Provide as much information as possible.

The proposed use for the structure is a boat repair shop and showroom. The goal is to build a 6,000 sqft structure on 1231 ocean drive that provides employee parking and access to the building. Additionally the goal is to keep 1247 ocean drive vacant as a parking area and drive way and turn around for boats on trailers as they are being brought into the shop for repairs. Before any new construction starts there is one existing building that is on both properties that is intended to be demolished. This plan places the new structure on the one individual property and vacates the adjacent property for parking or other uses. There will be a shared parking agreement between lot 1231 Ocean Dr. and 1247 Ocean Dr. submitted to planning and zoning prior to issuance of a permit, even though the same owner owns both properties

Conditional Use Permit Review Criteria Information. Use additional sheets if necessary. Per HCC 21.71.030 Review Criteria, the applicant must produce evidence sufficient to enable meaningful review of the application. Unless exceptions or other criteria are stated elsewhere in the Code, the application will be reviewed under these criteria:

- a. What code citation authorizes each proposed use and structure by conditional use permit?

We are currently are looking at city code 21.24.040. That states that a structure can not exceed more than 30 percent of the lot size. Our proposed structure is approximately 45 percent.

- b. Describe how the proposed uses(s) and structures(s) are compatible with the purpose of the zoning district.

The proposed structure is intended to be Boat and marine equipment sales, rentals, service and repair. That is one of the permitted uses in GC1 that does not require a conditional use permit.

- c. How will your proposed project affect adjoining property values?

The proposed project should increase the property value of both lots since the building that is situated on both properties will be demolished. Currently as it sits you would not be able to sell the lots of individually if wanted to do so.

- d. How is your proposal compatible with existing uses of the surrounding land?

Currently there are multiple GC1 buildings on the adjacent lots and the new intended structure should match the use of those buildings and any future buildings in the area.

- e. Are/will public services adequate to serve the proposed uses and structures?

From the information we were able to obtain we should have all the required city utilities available on 1231 ocean drive

- f. How will the development affect the harmony in scale, bulk, coverage and density upon the desirable neighborhood character, and will the generation of traffic and the capacity of surrounding streets and roads be negatively affected?

My opinion is that the new structure will be a positive change to the area. It will clean up an abandoned unused building along ocean drive. Provide better access for the intended business use and decrease traffic congestion on ocean drive. With the current set up there is occasional traffic backed up when the current business receives a shipment of product as a semi truck tries to avoid the congested parking lot of boats, 4 wheelers and customers. I don't think the proposed project would provide too much more density since part of the project includes eliminating a current building.

- g. Will your proposal be detrimental to the health, safety or welfare of the surrounding area or the city as a whole?

NO

- h. How does your project relate to the goals of the Comprehensive Plan? Find the Comprehensive Plan on the City's website:

www.cityofhomer-ak.gov/planning/comprehensive-plan

Not exactly sure on all the exact details with the most current comprehensive plan that is being worked on, but i only see positive in a project like this. Replacing an old building with a new one, cleaning up traffic flow along ocean drive, promoting job growth for an existing business, encouraging more density within the city limits of Homer and keeping a local business in the City of homer and not moving out of town.

- i. The Planning Commission may require special improvements. Are any of the following a component of the development plan, or are there suggestions on special improvements you would be willing to make? **Circle each answer and provide clarification on additional pages if Yes is selected.**

1. Y/☒N Special yards and spaces
2. ☒Y/N Fences, walls and screening
3. ☒Y/N Surfacing of parking areas
4. Y/☒N Street and road dedications and improvements (or bonds)
5. Y/☒N Control of points of vehicular ingress and egress
6. ☒Y/N Special provisions on signs
7. ☒Y/N Landscaping
8. Y/☒N Maintenance of the grounds, buildings, or structures
9. ☒Y/N Control of noise, vibration, odors, lighting, heat, glare, water and solid waste pollution, dangerous materials, material and equipment storage, or other similar nuisances
10. Y/☒N Time for certain activities
11. Y/☒N A time period within which the proposed use shall be developed
12. Y/☒N A limit on total duration of use
13. ☒Y/N Special dimensional requirements such as lot area, setbacks, building height
14. ☒Y/N Other conditions deemed necessary to protect the interest of the community

Parking Questions.

Not exactly sure we planning to have at least 10 to 14 for employees and multiple for customers

1. How many parking spaces are required for your development? _____
If more than 24 spaces are required see HCC 21.50.030(f)(1)(b)
2. How many spaces are shown on your parking plan? 12 employee spaces on 1231 and 2 customer spots on 1247
3. Are you requesting any reductions? Not at this time.

I hereby certify that the above statements and other information submitted are true and accurate to the best of my knowledge, and that I, as applicant, have the following legal interest in the property:

CIRCLE ONE:

Owner of record

Lessee

Contract purchaser

Per HCC 21.71.020(a)(9), if the applicant is not the owner of the subject lot, the owner's signed authorization grants the applicant authority to:

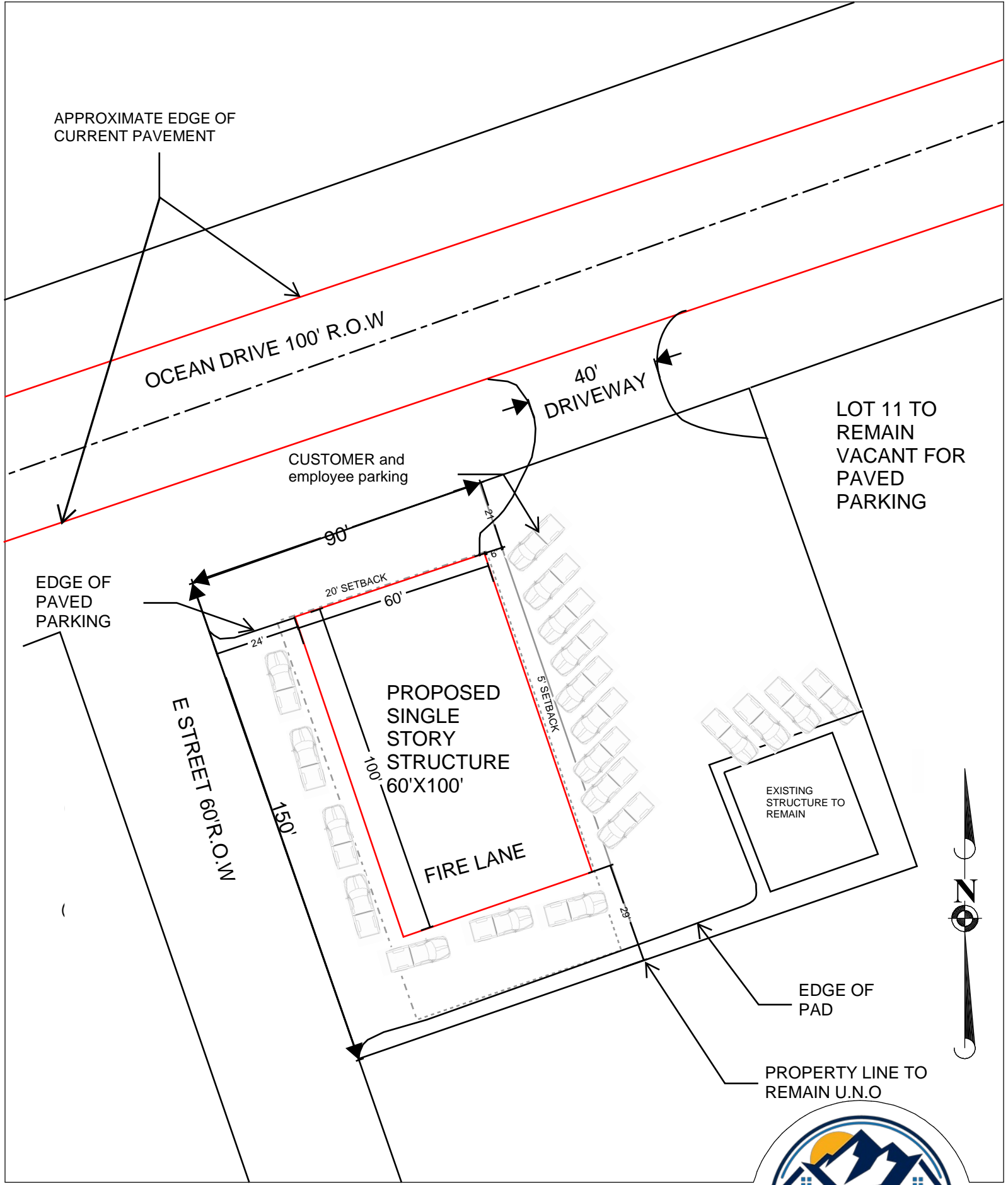
- (a) apply for the conditional use permit, and
- (b) bind the owner to the terms of the conditional use permit, if granted.

DocuSigned by:
Maxim Matveev
B4FA784C7E9444E

Applicant signature: _____ Date: 5/27/2025

Property Owner signature: _____ Signed by: Bret Stevenson Date: 5/27/2025





1

PHYSICAL ADDRESS: 1231 OCEAN DRIVE HOMER AK 99603

OWNER: COASTAL POWER SPORTS

LEGAL DESCRIPTION: T 6S R 13W SEC 21 SEWARD MERIDIAN HM 0004029 BAYVIEW SUB JOHNSON ADDN LOT 12



Review of comprehensive plan Land Use Chapter for CUP 25—01 RF 6.18.25

GOAL 1: Guiding Homer’s growth with a focus on increasing the supply and diversity of housing, protect community character, encouraging infill, and helping minimize global impacts of public facilities including limiting greenhouse gas emissions.

Objective A: Promote a pattern of growth characterized by a concentrated mixed-use center, and a surrounding ring of moderate-to-high density residential and mixed-use areas with lower densities in outlying areas.

Staff: This project supports Objective A pattern of growth and density, with moderate density on a small lot zoned General Commercial 1.

Objective B: Develop clear and well-defined land use regulations and update the zoning map in support of the desired pattern of growth.

N/A – not associated with update of zoning map.

Objective C: Maintain high quality residential neighborhoods; promote housing choice by supporting a variety of dwelling options.

N/A – not associated with residential development or housing choice.

Objective D: Consider the regional and global impacts of development in Homer.

Staff: This project discourages sprawl with redevelopment of an existing commercial property at the scale and density of the General Commercial 1 zoning district and fits the moderate-density character planned just outside the city core.

GOAL 2: Maintain the quality of Homer’s natural environment and scenic beauty.

Objective A: Complete and maintain a detailed “green infrastructure” map for the City of Homer and environs that presents an integrated functional system of environmental features on lands in both public and private ownership and use green infrastructure concepts in the review and approval of development projects.

N/A – not associated with mapping.

Objective B: Continue to review and refine development standards and require development practices that protect environmental functions.

N/A – not associated with creation of development standards.

Objective C: Provide extra protection for areas with highest environmental value or development constraints.

N/A – Already developed area, no change in impact is proposed.

Objective D: Collaborate with jurisdictions outside the City of Homer, as well as state and federal agencies, to ensure that environmental quality is maintained.

N/A – not associated with other jurisdictions.

GOAL 3: Encourage high-quality buildings and site development that complement Homer’s beautiful natural setting.

Objective A: Create a clear, coordinated regulatory framework that guides development.

Staff: Goal 3, objective A implementation items are all directives to review and consider new policies and are not directly applicable to CUP’s.

Objective B: Encourage high quality site design and buildings.

Staff: The proposal supports a 6,000 square foot commercial building for boat repair and showroom which is required to submit a Zoning Permit and meet City requirements for site development.

GOAL 4: Support the development of a variety of well-defined commercial/business districts for a range of commercial purposes.

Objective A: Encourage a concentrated, pedestrian oriented, attractive business/commerce district in the Central Business District (CBD) following the guidelines found in the Town Center Development Plan.

Staff: The proposal is not found in the CBD.

Objective B: Discourage strip development along the Sterling Highway and major collectors/thoroughfares.

Staff: This project is not strip development in character, it is replacing an existing commercial building in the General Commercial 1 zoning district.

Finding:

The proposal is not contrary to the applicable land use goals and objectives of the Comprehensive Plan.



Legend

Physical Addresses

Transportation

Mileposts

Parcels and PLSS

Tax Parcels



0 100 200
ft

NOTE: Every reasonable effort has been made to ensure the accuracy of these data. However, by accepting this material, you agree that the Kenai Peninsula Borough assumes no liability of any kind arising from the use of this data. The data are provided without warranty of any kind, either expressed or implied, including but not limited to time, money or goodwill arising from the operation or modification of the data. In using these data, you further agree to indemnify, defend, and hold harmless Kenai Peninsula Borough for any and all liability of any nature arising from the lack of accuracy or correction of the data, or use of the data.

CITY OF HOMER
PUBLIC HEARING NOTICE - PLANNING COMMISSION MEETING

Public hearings on the matters below are scheduled for Wednesday, June 18, 2025 at 6:30 p.m. during the Regular Planning Commission Meeting. Participation is available virtually via Zoom webinar or in-person at Homer City Hall.

A request for Conditional Use Permit (CUP) CUP 25-01 per HCC 21.24.040 (d), No lot shall contain more than 8,000 square feet of building area (all buildings combined), nor shall any lot contain building area in excess of 30 percent of the lot area without an approved conditional use permit. The applicant proposes a 6,000 square foot building at 1231 Ocean Drive. T 6S R 13W SEC 21 SEWARD MERIDIAN HM 0004029 BAYVIEW SUB JOHNSON ADDN LOT 12

In-person meeting participation is available in Cowles Council Chambers located downstairs at Homer City Hall, 491 E. Pioneer Ave., Homer, AK 99603.

To attend the meeting virtually, visit zoom.us and enter the Meeting ID & Passcode listed below. To attend the meeting by phone, dial any one of the following phone numbers and enter the Webinar ID & Passcode below, when prompted: 1-253-215-8782, 1-669-900-6833, (toll free) 888-788-0099 or 877-853-5247.

Meeting ID: 979 8816 0903
Passcode: 976062

Additional information regarding this matter will be available by 5pm on the Friday before the meeting. This information will be posted to the City of Homer online calendar page for June 13, 2025 at <https://www.cityofhomer-ak.gov/calendar>. It will also be available at the Planning and Zoning Office at Homer City Hall and at the Homer Public Library.

Written comments can be emailed to the Planning and Zoning Office at the address below, mailed to Homer City Hall at the address above, or placed in the Homer City Hall drop box at any time. Written comments must be received by 4pm on the day of the meeting.

If you have questions, contact Ryan Foster at the Planning and Zoning Office. Phone: (907) 235-3106, email: planning@ci.homer.ak.us or in-person at Homer City Hall.

NOTICE TO BE SENT TO PROPERTY OWNERS WITHIN 300 FEET OF PROPERTY

.....

HOMER ALL SEASONS HONDA

ACREAGE:

PROJECT LOCATION

Map showing the project location at the intersection of Ocean Dr and Lake St. The map includes labels for Lake St, Ocean Dr, Ocean Dr Loop, Cape Douglas Wy, Lake Shore Dr, and Lament St. A callout box labeled "PROJECT LOCATION" points to a circle at the intersection of Ocean Dr and Lake St.

SCALE: NTS

- G-1 GENERAL NOTES
- G-2 CODE ANALYSIS
- C-1 SITE PLAN
- A-1 ELEVATIONS
- A-2 1ST FLR OVERALL
- A-3 2ND FLR OVERALL
- A-4 SECTIONS
- A-5 DETAILS

	ANGLE	THESE DRAWINGS HAVE BEEN RELEASED AT THE REQUEST OF THE CLIENT AND ARE NOT INTENDED FOR THE PURPOSES OF BIDDING, PERMITTING, OR CONSTRUCTION.	
AB	ANCHOR BOLT	LLH	LONG LEG HORIZONTAL
ADD'L	ADDITIONAL	LLV	LONG LEG VERTICAL
ADH	ADHESIVE	LP	LONG POINT
ALT	ALTERNATE	LONGIT	LONGITUDINAL
ARCH	ARCHITECTURAL	LSL	LAMINATED STRAND LUMBER
B OR BOT	BOTTOM	LVL	LAMINATED VENEER LUMBER
B/L	BOTTOM OF	MAS	MASONRY
BLDG	BUILDING	MAX	MAXIMUM
BLKG	BLOCK	MECH	MECHANICAL
BMU	BRICK MASONRY UNIT	MEZZ	MEZZANINE
BP	BASEPLATE	MFR	MANUFACTURER
BRBF	BUCKLING RESISTING BRACED FRAME	MIN	MINIMUM
BRG	BEARING	MISC	MISCELLANEOUS
BTWN	BETWEEN	(N)	NEW
¢	CENTERLINE	NIC	NOT IN CONTRACT
CB	CAMBER	NLT	NAIL-LAMINATED TIMBER
CB	CASTELLATED BEAM	NTS	NOT TO SCALE
CIP	CAST IN PLACE	OC	ON CENTER
CJ	CONSTRUCTION OR CONTROL JOINT	OCBF	ORDINARY CONCENTRIC BRACED FRAME
CJ	COMPLETE JOINT PENETRATION	OD	OUTSIDE DIAMETER
CLG	CEILING	OF	OF
CLR	CLEAR	OPNG	OPENING
CLT	CROSS-LAMINATED TIMBER	OPSJ	OPEN WEB STEEL JOIST
CMU	CONCRETE MASONRY UNIT	OWWJ	OPEN WEB WOOD JOIST
COL	COLUMN	P	PLATE
CONC	CONCRETE	PAF	POWDER ACTUATED FASTENER
CONN	CONNECTION	PC	PRECAST CONCRETE
CONNT	CONSTRUCTION	PERP	PERPENDICULAR
CSINK	COUNTERSINK	PLWD	PLYWOOD
CTRD	CENTERED	PP	PARTIAL PENETRATION
∅	DIAMETER	PREFAB	PREFABRICATED
DB	DROP BEAM	PSF	POUNDS PER SQUARE FOOT
DBA	DEFORMED BAR ANCHOR	PSI	POUNDS PER SQUARE INCH
DBL	DOUBLE	PSL	PARALLEL STRAND LUMBER
DEMO	DEMOLISH	P-T	POST-TENSIONED
DEV	DEVELOPMENT	PT	PRESSURE TREATED
DI	DOUGLAS FIR	RD	ROAD
DIAG	DIAGONAL	ROOF	ROOF DRAIN
DIB	DISTRIBUTED	REF	REFER/REFERENCE
DL	DEAD LOAD	REINF	REINFORCING
DN	DOWN	REQD	REQUIRED
DO	DITTO	RET	RETAINING
DP	DEPTH/DEEP	SUBFLR	SUBFLOOR (TOP OF SHEATHING)
DWG	DRAWING	SCBF	SPECIAL CONCENTRIC BRACED FRAME
E	EXISTING	SCHEd	SCHEDULE
EAF	EACH FACE	SHTHG	SHEATHING
ELEV	ELEVATION	SIM	SIMILAR
ELELEC	ELECTRICAL	SMF	SPECIAL MOMENT FRAME
ELEV	ELEVATOR	SOG	SLAB ON GRADE
EMBED	EMBEDMENT	SPEC	SPECIFICATION
EQ	EQUAL	SQ	SQUARE
EQUIP	EQUIPMENT	SR	STUD RAIL
EW	EACH WAY	SF	SQUARE FOOT
EXP	EXPANSION	SST	STAINLESS STEEL
EXP JT	EXPANSION JOINT	STAG	STAGGER/STAGGERED
EXT	EXTERIOR	STD	STANDARD
FE	FIRE EXTINGUISHER	STIFF	STIFFENER
FD	FLOOR DRAIN	STL	STEEL
FDN	FOUNDATION	SWJ	SOLID WEB WOOD JOIST
FF	FIELD VERIFY/ FIELD FIT	SYM	SYMMETRICAL
FIN	FINISH	T	TOP
FLR	FLOOR	T/	TOP OF
FRP	FIBERGLASS REINFORCED PLASTIC	T/B	TOP & BOTTOM
FRP	FOOTING	TC AX LD	TOP CHORD AXIAL LOAD
F/A	FACE OF	TCX	TOP CHORD EXTENSION
GALV	GALVANIZED	TDS	TIE DOWN SYSTEM
GEO TECH	GEOTECHNICAL	T&G	TONGUE & GROOVE
GL	GLUE LAMINATED TIMBER	THKND	THICKENED
GWB	GYPSUM WALL BOARD	THRD	THREADED
HDR	HEADER	THRU	THROUGH
HGR	HANGER	TRANSV	TRANSVERSE
HD	HOLD-DOWN	TYP	TYPICAL
HORIZ	HORIZONTAL	UBC	UNIFORM BUILDING CODE
HP	HIGH POINT	UNO	UNLESS NOTED OTHERWISE
HSS = TS	(HOLLOW STRUCTURAL SECTION)	URM	UNREINFORCED MASONRY UNIT
IBC	INTERNATIONAL BUILDING CODE	VERT	VERTICAL
ID	INSIDE DIAMETER	W	WIDE
IE	INVERT ELEVATION	W/	WITH
IF	INSIDE FACE	W/O	WITHOUT
INT	INTERIOR	WB	WASTE BIN
JM	JOHN MANSVILLE (ROOFING)	WHS	WELDED HEADED STUD
K	KIPS	WP	WORKING POINT
KSF	KIPS PER SQUARE FOOT	WWF	WELDED WIRE FABRIC
		±	PLUS OR MINUS

1 of 8

ARCHITECTURAL CODE ANALYSIS

PROJECT: 20148 REDOUBT APARTMENTS (STERLING VISTA APARTMENTS)
JURISDICTION: STATE OF ALASKA / CITY OF SOLDOTNA
APPLICABLE CODE YEAR: 2021 IBC & CITY OF SOLDOTNA ADOPTIONS

- **GENERAL COMPLIANCE AND ADMINISTRATION:** ALL DESIGN, CONSTRUCTION, ALTERATION, AND OCCUPANCY OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE 2021 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AS ADOPTED AND POTENTIALLY AMENDED BY THE STATE OF ALASKA. FURTHERMORE, ALL WORK MUST ADHERE TO THE LATEST ADOPTED EDITIONS OF THE INTERNATIONAL MECHANICAL CODE (IMC), THE INTERNATIONAL PLUMBING CODE (IPC) OR UNIFORM PLUMBING CODE (UPC) AS ADOPTED BY THE LOCAL JURISDICTION, THE NATIONAL ELECTRICAL CODE (NEC), AND THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC). ALL SPECIFIC ORDINANCES AND AMENDMENTS ENACTED BY THE CITY OF SOLDOTNA, AS DETAILED IN THE SOLDOTNA MUNICIPAL CODE (SMC) TITLE 15 (BUILDINGS AND CONSTRUCTION), SHALL TAKE PRECEDENCE WHERE THEY ARE MORE STRINGENT OR SPECIFIC. **IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL CURRENTLY ADOPTED CODE EDITIONS AND ANY LOCAL AMENDMENTS WITH THE CITY OF SOLDOTNA BUILDING SAFETY DEPARTMENT PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES, AS LOCAL ADOPTIONS AND INTERPRETATIONS MAY VARY FROM THE BASE MODEL CODES.** PERMITS SHALL BE SECURED FROM THE CITY OF SOLDOTNA FOR ALL WORK, AND ALL REQUIRED INSPECTIONS SHALL BE SCHEDULED AND PASSED.
- **DESIGN CRITERIA (CITY OF SOLDOTNA - VERIFY CURRENT SMC TITLE 15, SPECIFICALLY SMC 15.02.011 OR RELEVANT SECTIONS):** THE DESIGN OF THE STRUCTURE MUST ACCOUNT FOR LOCAL ENVIRONMENTAL CONDITIONS AS SPECIFIED BY THE CITY OF SOLDOTNA. THESE CRITERIA ARE CRITICAL FOR ENSURING THE SAFETY AND DURABILITY OF THE BUILDING.
 - **GROUND SNOW LOAD:** THE STRUCTURE SHALL BE DESIGNED TO SUPPORT A MINIMUM GROUND SNOW LOAD OF **70 POUNDS PER SQUARE FOOT (PSF)**. THIS VALUE MUST BE USED IN THE DESIGN OF THE ROOF STRUCTURE AND ALL ELEMENTS AFFECTED BY SNOW ACCUMULATION. (REFERENCE SMC 15.02.011, VERIFY CURRENT VALUE).
 - **WIND SPEED (3-SECOND GUST):** THE BUILDING AND ITS COMPONENTS SHALL BE DESIGNED TO RESIST A BASIC WIND SPEED OF **100 MILES PER HOUR (MPH)**, BASED ON A 3-SECOND GUST. THIS INCLUDES CONSIDERATIONS FOR WIND EXPOSURE AND TOPOGRAPHIC EFFECTS. (REFERENCE SMC 15.02.011, VERIFY CURRENT VALUE).
 - **SEISMIC DESIGN CATEGORY:** BASED ON LOCAL SEISMICITY, THE PROJECT IS ASSIGNED TO **SEISMIC DESIGN CATEGORY D2**. ALL STRUCTURAL ELEMENTS AND NON-STRUCTURAL COMPONENTS MUST BE DESIGNED AND ANCHORED IN ACCORDANCE WITH THE SEISMIC PROVISIONS APPLICABLE TO THIS CATEGORY. (REFERENCE SMC 15.02.011, VERIFY CURRENT VALUE).
 - **FROST LINE DEPTH:** FOUNDATIONS SHALL BE DESIGNED AND CONSTRUCTED TO EXTEND BELOW A MINIMUM FROST LINE DEPTH OF **42 INCHES** BELOW FINISHED GRADE TO PREVENT DAMAGE FROM FROST HEAVE. (REFERENCE SMC 15.02.011, VERIFY CURRENT VALUE).
- **BUILDING DATA & CLASSIFICATION (IBC CHAPTERS 3, 5, & 6):**
 - **OCCUPANCY CLASSIFICATION (IBC CHAPTER 3):** THE PRIMARY OCCUPANCY OF THE BUILDING IS CLASSIFIED AS **GROUP R-2 (RESIDENTIAL)**, WHICH INCLUDES BUILDINGS CONTAINING MORE THAN TWO DWELLING UNITS WHERE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE, SUCH AS APARTMENT HOUSES, ACCESSORY SPACES, INCLUDING MECHANICAL EQUIPMENT ROOMS AND STORAGE AREAS DIRECTLY SERVING THE RESIDENTIAL OCCUPANTS, ARE ALSO CLASSIFIED AS R-2 ACCESSORY OCCUPANCIES.
 - **TYPE OF CONSTRUCTION (IBC CHAPTER 6):** THE BUILDING IS DESIGNATED AS **TYPE VB CONSTRUCTION**. THIS CLASSIFICATION INDICATES THAT STRUCTURAL ELEMENTS, INCLUDING EXTERIOR WALLS, INTERIOR BEARING WALLS, AND FLOOR/ROOF FRAMING, ARE TYPICALLY OF COMBUSTIBLE MATERIALS AND ARE NOT REQUIRED TO HAVE A FIRE-RESISTANCE RATING, EXCEPT AS OTHERWISE SPECIFIED BY THE CODE FOR SPECIFIC ASSEMBLIES (E.G., DWELLING UNIT SEPARATIONS, CORRIDORS).
 - **BUILDING HEIGHT AND AREA (IBC CHAPTER 5):**
 - THE BUILDING IS DESIGNED WITH **THREE (3) STORIES** ABOVE GRADE PLANE.
 - THE AVERAGE HEIGHT OF THE ROOF SURFACE ABOVE THE GRADE PLANE IS APPROXIMATELY **31.0 FEET**.
 - THE HIGHEST ELEVATION AT WHICH AN OCCUPANCY (R-2) APPEARS ABOVE THE GRADE PLANE IS **30.0 FEET**.
 - THE TOTAL GROSS FLOOR AREA OF THE BUILDING IS **21,000 SQUARE FEET**, DISTRIBUTED AS **7,000 SQUARE FEET PER STORY**.
 - THE BUILDING IS **NOT** CLASSIFIED AS A HIGH-RISE BUILDING AS DEFINED BY THE IBC (TYPICALLY EXCEEDING 75 FEET IN HEIGHT TO THE HIGHEST OCCUPIED FLOOR).
 - **AUTOMATIC SPRINKLER SYSTEM (IBC SECTION 903):** THE BUILDING WILL BE PROTECTED THROUGHOUT BY AN AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH **NFPA 13R, "STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS IN LOW-RISE RESIDENTIAL OCCUPANCIES."**
 - **ALLOWABLE AREA (IBC SECTION 506):** THE DESIGNED GROSS FLOOR AREA OF 21,000 SQUARE FEET IS WITHIN THE ALLOWABLE AREA LIMITS FOR A THREE-STORY R-2 OCCUPANCY OF TYPE VB CONSTRUCTION WHEN EQUIPPED WITH AN NFPA 13R AUTOMATIC SPRINKLER SYSTEM, CONSIDERING ANY APPLICABLE AREA INCREASES PERMITTED BY IBC SECTION 506.
- **MEANS OF EGRESS (IBC CHAPTER 10):** A SAFE, CONTINUOUS, AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ANY OCCUPIED POINT IN THE BUILDING TO A PUBLIC WAY MUST BE PROVIDED.
 - **OCCUPANT LOAD (IBC SECTION 1004):** THE OCCUPANT LOAD FOR EACH SPACE AND FOR EACH STORY HAS BEEN CALCULATED BASED ON THE FUNCTION OF THE SPACE AND THE OCCUPANT LOAD FACTORS PROVIDED IN IBC TABLE 1004.1.2.
RESIDENTIAL DWELLING UNITS: CALCULATED AT **200 GROSS SQUARE FEET PER OCCUPANT**. FOR A 7,000 SQ. FT. STORY PRIMARILY COMPOSED OF DWELLING UNITS, THIS RESULTS IN APPROXIMATELY 35 OCCUPANTS FROM THE UNITS.
MECHANICAL ROOMS: CALCULATED FOR **2 OCCUPANTS** EACH (BASED ON TYPICAL USE OR SPECIFIC CALCULATION IF HIGHER).
TOTAL OCCUPANT LOAD PER STORY: APPROXIMATELY **39 OCCUPANTS** (35 FROM RESIDENTIAL + 2 FROM ONE MECH ROOM + 2 FROM ANOTHER, IF APPLICABLE PER FLOOR).
 - **EXITS FROM SPACES (IBC SECTION 1006.2):** THE NUMBER OF EXITS OR EXIT ACCESS DOORWAYS REQUIRED FROM ANY SPACE SHALL BE NOT LESS THAN TWO WHERE THE OCCUPANT LOAD OF THAT SPACE EXCEEDS THE VALUES IN IBC TABLE 1006.2.1.
FOR R-2 OCCUPANCIES, SPACES WITH AN OCCUPANT LOAD OF **MORE THAN 20** REQUIRE A MINIMUM OF TWO (2) EXITS OR EXIT ACCESS DOORWAYS (E.G., A TYPICAL RESIDENTIAL "SPACE" WITH OL=35).
MECHANICAL ROOMS WITH AN OCCUPANT LOAD OF 2 ARE PERMITTED TO HAVE ONE (1) EXIT.
 - **EXITS PER STORY (IBC SECTION 1006.3):** THE NUMBER OF EXITS FROM ANY STORY SHALL BE NOT LESS THAN TWO, EXCEPT AS SPECIFICALLY PERMITTED.
BASED ON A TOTAL OCCUPANT LOAD OF 39 PER STORY, A MINIMUM OF ONE (1) EXIT IS GENERALLY PERMITTED FOR R-2 OCCUPANCIES IF SPECIFIC CONDITIONS IN IBC SECTION 1006.2.1 (E.G., FOR BUILDINGS WITH AN NFPA 13R SYSTEM) AND 1006.3.2 ARE MET. THIS TYPICALLY INVOLVES LIMITATIONS ON COMMON PATH OF EGRESS TRAVEL AND TRAVEL DISTANCE.
 - **EXIT ACCESS TRAVEL DISTANCE (IBC SECTION 1017):** THE DISTANCE FROM ANY POINT IN AN OCCUPIED SPACE TO AN EXIT SHALL NOT EXCEED THE LIMITS SPECIFIED IN IBC TABLE 1017.2.
FOR GROUP R-2 OCCUPANCIES EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THROUGHOUT (NFPA 13R), THE MAXIMUM EXIT ACCESS TRAVEL DISTANCE IS **250 FEET**.
 - **COMMON PATH OF EGRESS TRAVEL (IBC SECTION 1006.2.1):** THE PORTION OF THE EXIT ACCESS TRAVEL DISTANCE MEASURED FROM THE MOST REMOTE POINT WITHIN A STORY TO THE POINT WHERE OCCUPANTS HAVE ACCESS TO TWO SEPARATE AND DISTINCT EXITS OR EXIT ACCESS DOORWAYS.
FOR SPACES REQUIRING A SINGLE EXIT (E.G., MECHANICAL ROOMS), THE MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE IS **125 FEET** FOR R-2 OCCUPANCIES WITH SPRINKLERS.
 - **DEAD-END CORRIDORS (IBC SECTION 1020.4):** A DEAD-END CORRIDOR EXISTS WHERE A CORRIDOR PROVIDES ACCESS TO AN EXIT IN ONLY ONE DIRECTION.
FOR GROUP R-2 OCCUPANCIES, WHERE MORE THAN ONE EXIT OR EXIT ACCESS DOORWAY IS REQUIRED, DEAD-END CORRIDORS SHALL NOT EXCEED **20 FEET** IN LENGTH. THIS LIMITATION DOES NOT APPLY WHERE THE LENGTH OF THE DEAD-END CORRIDOR IS LESS THAN 2.5 TIMES ITS LEAST WIDTH.
 - **CORRIDOR WIDTH (IBC SECTION 1020.2):** THE MINIMUM CLEAR WIDTH OF CORRIDORS SHALL BE AS SPECIFIED IN IBC TABLE 1020.2.
FOR R-2 OCCUPANCIES WITH AN OCCUPANT LOAD SERVED BY THE CORRIDOR OF MORE THAN 10, THE MINIMUM WIDTH IS TYPICALLY **36 INCHES**.

- STAIRWAYS (IBC SECTION 1011):**
- **WIDTH (IBC SECTION 1011.2):** STAIRWAYS SHALL HAVE A MINIMUM CLEAR WIDTH OF **36 INCHES**, MEASURED ABOVE THE HANDRAILS. HANDRAILS MAY PROJECT INTO THE REQUIRED WIDTH A MAXIMUM OF 4.5 INCHES ON EACH SIDE.
 - **TREADS AND RISERS (IBC SECTION 1011.5):** STAIR TREADS SHALL HAVE A MINIMUM PROJECTED PLAN DEPTH OF **11 INCHES**. STAIR RISERS SHALL HAVE A MAXIMUM HEIGHT OF **7 INCHES**. TREADS AND RISERS MUST BE UNIFORM WITHIN ANY FLIGHT OF STAIRS, WITH THE GREATEST TREAD DEPTH OR RISER HEIGHT NOT EXCEEDING THE SMALLEST BY MORE THAN **3/8 INCH**.
 - **HEADROOM (IBC SECTION 1011.3):** A MINIMUM HEADROOM OF **6 FEET 8 INCHES** SHALL BE MAINTAINED VERTICALLY FROM THE STAIR NOSING TO ANY OVERHEAD OBSTRUCTION.
 - **HANDRAILS (IBC SECTION 1014):** STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE.
HEIGHT: HANDRAILS SHALL BE LOCATED BETWEEN **34 INCHES AND 38 INCHES** MEASURED VERTICALLY FROM THE NOSING OF THE TREADS OR FROM THE SURFACE OF LANDINGS.
GRIP SIZE: THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN **1-1/4 INCHES** OR GREATER THAN **2 INCHES** IN CROSS-SECTIONAL DIMENSION, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
CONTINUITY: HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF EACH FLIGHT OF STAIRS. THE ENDS OF HANDRAILS SHALL BE RETURNED TO A WALL OR TERMINATE IN A NEWEL POST OR SAFETY TERMINAL.
 - **GUARDRAILS (IBC SECTION 1015):** GUARDS SHALL BE PROVIDED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, LANDINGS, BALCONIES, AND PORCHES THAT ARE MORE THAN **30 INCHES** MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW.
HEIGHT: REQUIRED GUARDS SHALL BE NOT LESS THAN **36 INCHES** HIGH (AS PER DRAWING NOTES, VERIFY WITH IBC 1015.3 FOR R-2 OCCUPANCIES, WHICH MAY ALLOW 36 INCHES FOR DWELLING UNITS BUT REQUIRE 42 INCHES FOR COMMON AREAS).
OPENINGS: OPENINGS IN GUARDS SHALL BE OF SUCH A SIZE THAT A **4-INCH DIAMETER SPHERE** CANNOT PASS THROUGH. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY SHALL BE OF SUCH A SIZE THAT A **6-INCH DIAMETER SPHERE** CANNOT PASS THROUGH.
 - **UNDER-STAIR PROTECTION (IBC SECTION 1011.7.3):** ENCLOSED USABLE SPACE UNDER INTERIOR EXIT STAIRWAYS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH **5/8-INCH TYPE X GYPSUM WALLBOARD**.

- **FIRE-RESISTANT CONSTRUCTION (IBC CHAPTER 7 & SECTION 420):** THE FIRE-RESISTANCE RATINGS OF BUILDING ELEMENTS ARE DETERMINED BY THE TYPE OF CONSTRUCTION AND OCCUPANCY CLASSIFICATION.
 - **STRUCTURAL FRAME, BEARING WALLS, FLOOR/ROOF CONSTRUCTION (IBC TABLE 601):** FOR TYPE VB CONSTRUCTION, THESE ELEMENTS ARE GENERALLY PERMITTED TO BE **0-HOUR FIRE-RESISTANCE RATED**. THIS INCLUDES PRIMARY STRUCTURAL FRAMES, INTERIOR AND EXTERIOR BEARING WALLS, FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS, AND ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS.
 - **NONBEARING WALLS AND PARTITIONS (IBC TABLE 601):** INTERIOR NONBEARING WALLS AND PARTITIONS ARE GENERALLY PERMITTED TO BE **0-HOUR FIRE-RESISTANCE RATED**, UNLESS SPECIFICALLY REQUIRED TO BE RATED FOR OTHER PURPOSES SUCH AS CORRIDOR WALLS, SHAFT ENCLOSURES, OR DWELLING UNIT SEPARATIONS.
 - **FIRE WALLS (IBC SECTION 706, IF ANY):** IF FIRE WALLS ARE UTILIZED TO CREATE SEPARATE BUILDINGS FOR AREA LIMITATION PURPOSES OR OTHER REASONS, THEY SHALL HAVE A MINIMUM FIRE-RESISTANCE RATING OF **2 HOURS** FOR R-2 OCCUPANCY. (REDUCTIONS MAY APPLY FOR TYPE V CONSTRUCTION AS PER IBC TABLE 706.4).
 - **FIRE AREA SEPARATION (IBC SECTION 707, IF ANY):** IF FIRE BARRIERS OR HORIZONTAL ASSEMBLIES ARE USED TO CREATE SEPARATE FIRE AREAS (E.G., TO MEET SPECIFIC CODE PROVISIONS BEYOND TYPICAL DWELLING UNIT SEPARATION), THESE ASSEMBLIES SHALL HAVE A MINIMUM FIRE-RESISTANCE RATING OF **2 HOURS** FOR R-2 OCCUPANCY.
 - **CORRIDORS (IBC SECTION 1020.1):** CORRIDORS SERVING AN OCCUPANT LOAD GREATER THAN 10 IN GROUP R OCCUPANCIES SHALL BE FIRE-RESISTANCE RATED.
 - FOR R-2 OCCUPANCIES EQUIPPED WITH AN NFPA 13R SPRINKLER SYSTEM, THE CORRIDOR FIRE-RESISTANCE RATING IS TYPICALLY **0.5-HOUR OR 0-HOUR**, DEPENDING ON SPECIFIC CONDITIONS OUTLINED IN IBC TABLE 1020.1.
 - **DWELLING UNIT SEPARATION (IBC SECTION 420.2 & 708):** FIRE PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER, AND SEPARATING DWELLING UNITS FROM OTHER OCCUPANCIES OR COMMON AREAS, SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH IBC SECTION 708 AND FLOOR ASSEMBLIES IN ACCORDANCE WITH IBC SECTION 711. THESE ASSEMBLIES TYPICALLY REQUIRE A MINIMUM **1-HOUR FIRE-RESISTANCE RATING** AND MUST MEET SOUND TRANSMISSION REQUIREMENTS (STC RATING).
 - **PENETRATIONS AND FIRE STOPPING (IBC SECTION 714):** PENETRATIONS (E.G., PIPES, DUCTS, CABLES) THROUGH FIRE-RESISTANCE-RATED WALLS, FLOORS, AND CEILINGS SHALL BE PROTECTED BY AN APPROVED FIRESTOP SYSTEM INSTALLED IN ACCORDANCE WITH IBC SECTION 714 TO MAINTAIN THE REQUIRED FIRE-RESISTANCE RATING OF THE ASSEMBLY.
 - **ACOUSTICAL SEALANT (DRAWING NOTES):** AS PER PROJECT DRAWINGS, PROVIDE ACOUSTICAL SEALANT AT THE TOP AND BOTTOM OF GYPSUM BOARD WALLS ON BOTH SIDES. THIS CONTRIBUTES TO MAINTAINING THE REQUIRED SOUND TRANSMISSION CLASS (STC) RATINGS FOR DWELLING UNIT SEPARATIONS AND CAN ENHANCE THE PERFORMANCE OF FIRE-RESISTANCE-RATED ASSEMBLIES BY SEALING GAPS.

- **INTERIOR FINISHES (IBC CHAPTER 8):** ALL INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH THE FLAME SPREAD AND SMOKE-DEVELOPED INDEX REQUIREMENTS SPECIFIED IN IBC SECTION 803 AND TABLE 803.11, BASED ON THEIR LOCATION WITHIN THE BUILDING (E.G., EXITS, CORRIDORS, ROOMS) AND THE R-2 OCCUPANCY CLASSIFICATION.
- **EXTERIOR WALLS (IBC CHAPTER 14):** EXTERIOR WALLS SHALL BE DESIGNED AND CONSTRUCTED TO PROVIDE WEATHER PROTECTION AND MEET OTHER APPLICABLE REQUIREMENTS OF IBC CHAPTER 14.
 - **WEATHER PROTECTION (IBC SECTION 1402 & 1403):** EXTERIOR WALLS SHALL FORM A WEATHER-RESISTANT EXTERIOR ENVELOPE.
 - A WEATHER-RESISTIVE BARRIER (SPECIFIED AS DUPONT'S TYVEK COMMERCIAL WRAP OR AN APPROVED EQUIVALENT) SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND IBC SECTION 1403.2.
 - **VAPOR BARRIER (IBC SECTION 1404.2 & LOCAL PRACTICE):** A VAPOR RETARDER (SPECIFIED AS 6-MIL POLYETHYLENE SHEETING) SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF INSULATION (TYPICALLY THE INTERIOR SURFACE) OF ALL EXTERIOR WALLS, CEILINGS, AND FLOORS. IT MUST BE CONTINUOUS AND SEALED AT ALL OVERLAPS, PENETRATIONS, AND PERIMETERS (E.G., USING COMPATIBLE TAPE LIKE "GRIFFOLYN" BRAND OR SIMILAR, AS PER DRAWING NOTES) TO CONTROL MOISTURE VAPOR TRANSMISSION.

- **ROOF ASSEMBLIES (IBC CHAPTER 15):** ROOF ASSEMBLIES AND THEIR COVERINGS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH IBC CHAPTER 15 TO PROVIDE WEATHER PROTECTION AND MEET THE REQUIRED FIRE CLASSIFICATION BASED ON THE TYPE OF CONSTRUCTION. THIS INCLUDES PROVISIONS FOR ROOF DRAINAGE, FLASHING, AND RESISTANCE TO WIND UPLIFT.

- **ACCESSIBILITY (IBC CHAPTER 11 & ADA STANDARDS):** THE BUILDING, INCLUDING DWELLING UNITS AND COMMON USE/PUBLIC USE AREAS, SHALL BE DESIGNED AND CONSTRUCTED TO BE ACCESSIBLE TO AND USABLE BY INDIVIDUALS WITH DISABILITIES.
 - COMPLIANCE WITH **IBC CHAPTER 11 (ACCESSIBILITY)**, THE REFERENCED STANDARD **ICC A117.1 "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES," THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN**, AND ANY MORE STRINGENT APPLICABLE STATE OF ALASKA OR CITY OF SOLDOTNA ACCESSIBILITY REQUIREMENTS FOR R-2 OCCUPANCIES IS MANDATORY.
 - A SPECIFIED NUMBER OF **ACCESSIBLE DWELLING UNITS** (TYPE A AND/OR TYPE B UNITS, AS DETERMINED BY IBC SECTION 1107.6.2 AND FEDERAL REQUIREMENTS) MUST BE PROVIDED AND DISPERSED THROUGHOUT THE BUILDING. THESE UNITS WILL INCLUDE FEATURES SUCH AS ACCESSIBLE ROUTES, KITCHENS, BATHROOMS, AND ENVIRONMENTAL CONTROLS.
 - **ACCESSIBLE ROUTES** SHALL BE PROVIDED TO AND THROUGH THE BUILDING, CONNECTING SITE ARRIVAL POINTS (ACCESSIBLE PARKING, PUBLIC SIDEWALKS, PUBLIC TRANSPORTATION STOPS) TO ACCESSIBLE BUILDING ENTRANCES, AND CONNECTING ACCESSIBLE ENTRANCES WITH ALL ACCESSIBLE SPACES AND ELEMENTS WITHIN THE BUILDING. THIS INCLUDES ROUTES TO PUBLIC AND COMMON USE AREAS SUCH AS LOBBIES, MAILROOMS, LAUNDRY FACILITIES, COMMUNITY ROOMS, AND ACCESSIBLE PARKING AREAS.
 - **ACCESSIBLE PARKING SPACES**, INCLUDING VAN-ACCESSIBLE SPACES, SHALL BE PROVIDED IN THE QUANTITY AND DESIGN SPECIFIED BY IBC SECTION 1106 AND THE ADA STANDARDS.

- **PLUMBING SYSTEMS (ADOPTED PLUMBING CODE):** ALL PLUMBING SYSTEMS, INCLUDING WATER SUPPLY AND DISTRIBUTION, SANITARY DRAINAGE, VENT SYSTEMS, AND PLUMBING FIXTURES, SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE LOCALLY ADOPTED PLUMBING CODE (E.G., INTERNATIONAL PLUMBING CODE OR UNIFORM PLUMBING CODE, WITH STATE/CITY AMENDMENTS).
 - THE MINIMUM NUMBER OF PLUMBING FIXTURES (WATER CLOSETS, LAVATORIES, BATHTUBS/SHOWERS, KITCHEN SINKS) SHALL BE PROVIDED AS REQUIRED BY THE ADOPTED PLUMBING CODE FOR R-2 OCCUPANCIES, BASED ON THE NUMBER OF DWELLING UNITS AND/OR CALCULATED OCCUPANT LOAD.

- **MECHANICAL SYSTEMS (INTERNATIONAL MECHANICAL CODE - IMC):** ALL HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC) SYSTEMS, AS WELL AS EXHAUST SYSTEMS (E.G., FOR BATHROOMS AND KITCHENS), SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE (IMC) AND ANY APPLICABLE STATE OF ALASKA OR CITY OF SOLDOTNA AMENDMENTS. THIS INCLUDES REQUIREMENTS FOR EQUIPMENT SIZING, DUCTWORK, COMBUSTION AIR, AND VENTILATION RATES.

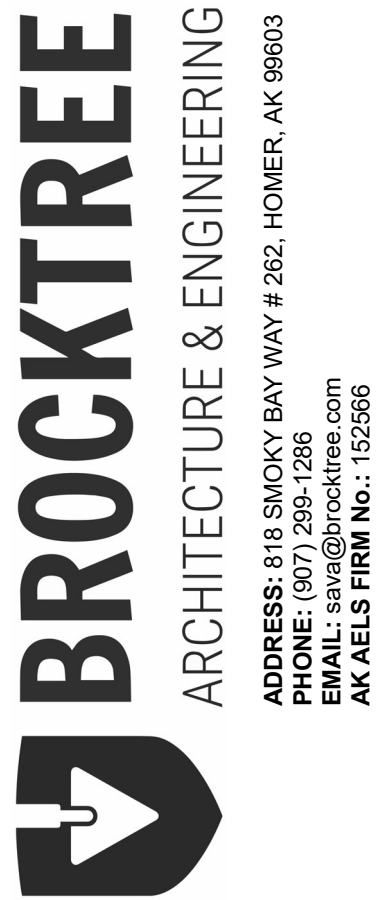
- **ELECTRICAL SYSTEMS (NATIONAL ELECTRICAL CODE - NEC):** ALL ELECTRICAL SYSTEMS, COMPONENTS, WIRING METHODS, AND EQUIPMENT SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) (NFPA 70) AND ANY APPLICABLE STATE OF ALASKA OR CITY OF SOLDOTNA AMENDMENTS.
 - AS PER DRAWING NOTES, STAGGER ALL ELECTRICAL AND COMMUNICATION OUTLET BOXES BETWEEN ROOMS (MINIMUM 2 STUD SPACES APART) WITHIN COMMON WALLS SEPARATING DWELLING UNITS OR SEPARATING DWELLING UNITS FROM CORRIDORS/PUBLIC SPACES. THIS IS OFTEN DONE TO IMPROVE SOUND INSULATION AND FIRE RESISTANCE.

- **ENERGY EFFICIENCY (IECC / AHFC BEES):** THE BUILDING ENVELOPE, MECHANICAL SYSTEMS, SERVICE WATER HEATING, ELECTRICAL POWER, AND LIGHTING SYSTEMS SHALL COMPLY WITH THE PROVISIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) OR THE ALASKA HOUSING FINANCE CORPORATION (AHFC) BUILDING ENERGY EFFICIENCY STANDARDS (BEES), WHICHEVER IS ENFORCED OR RECOMMENDED BY THE CITY OF SOLDOTNA FOR RESIDENTIAL CONSTRUCTION.
 - BATT INSULATION (SPECIFIED AS JOHNS MANVILLE THERMAL SHIELD, FORMALDEHYDE-FREE, UNFACED FIBERGLASS, OR APPROVED EQUIVALENT) WITH R-VALUES AS INDICATED ON THE PROJECT DRAWINGS SHALL BE INSTALLED IN EXTERIOR WALLS, FLOORS OVER UNCONDITIONED SPACES, AND ROOF/CEILING ASSEMBLIES.
 - THE CITY OF SOLDOTNA INSPECTS INSULATION AND VAPOR BARRIER INSTALLATIONS TO VERIFY COMPLIANCE.

- **MATERIAL SPECIFICATIONS AND WORKMANSHIP:**
 - ALL MATERIALS USED IN CONSTRUCTION SHALL BE NEW UNLESS OTHERWISE PERMITTED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION DIRECTIONS AND THE BEST PRACTICES OF THE RESPECTIVE TRADES.
 - AS PER DRAWING NOTES, THE CONTRACTOR SHALL VERIFY ALL ACTUAL WALL THICKNESSES PRIOR TO ORDERING ANY DOOR FRAMES OR OTHER PRODUCTS THAT ARE DEPENDENT ON PRECISE WALL THICKNESS DIMENSIONS.

PROGRESS SET (NOT FOR CONSTRUCTION)

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PROJECT:

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1231 OCEAN DRIVE
HOMER, AK 99603

BROCKTREE #:

20148

G-2

CODE ANALYSIS

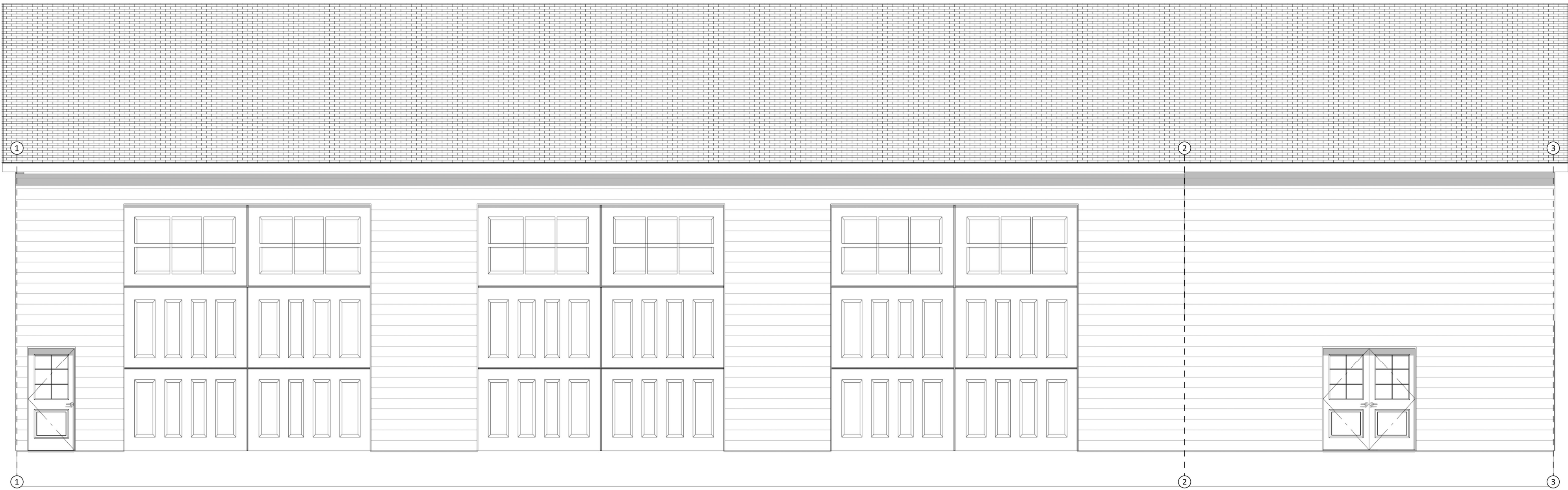
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PROJECT SHEET #:

2 of 8



PROGRESS SET (NOT FOR CONSTRUCTION)
THESE DRAWINGS HAVE BEEN RELEASED AT THE REQUEST OF THE CLIENT AND ARE NOT INTENDED FOR THE PURPOSES OF BIDDING, PERMITTING, OR CONSTRUCTION.

FRONT ELEVATION
SCALE: 1/4"=1'-0"

1

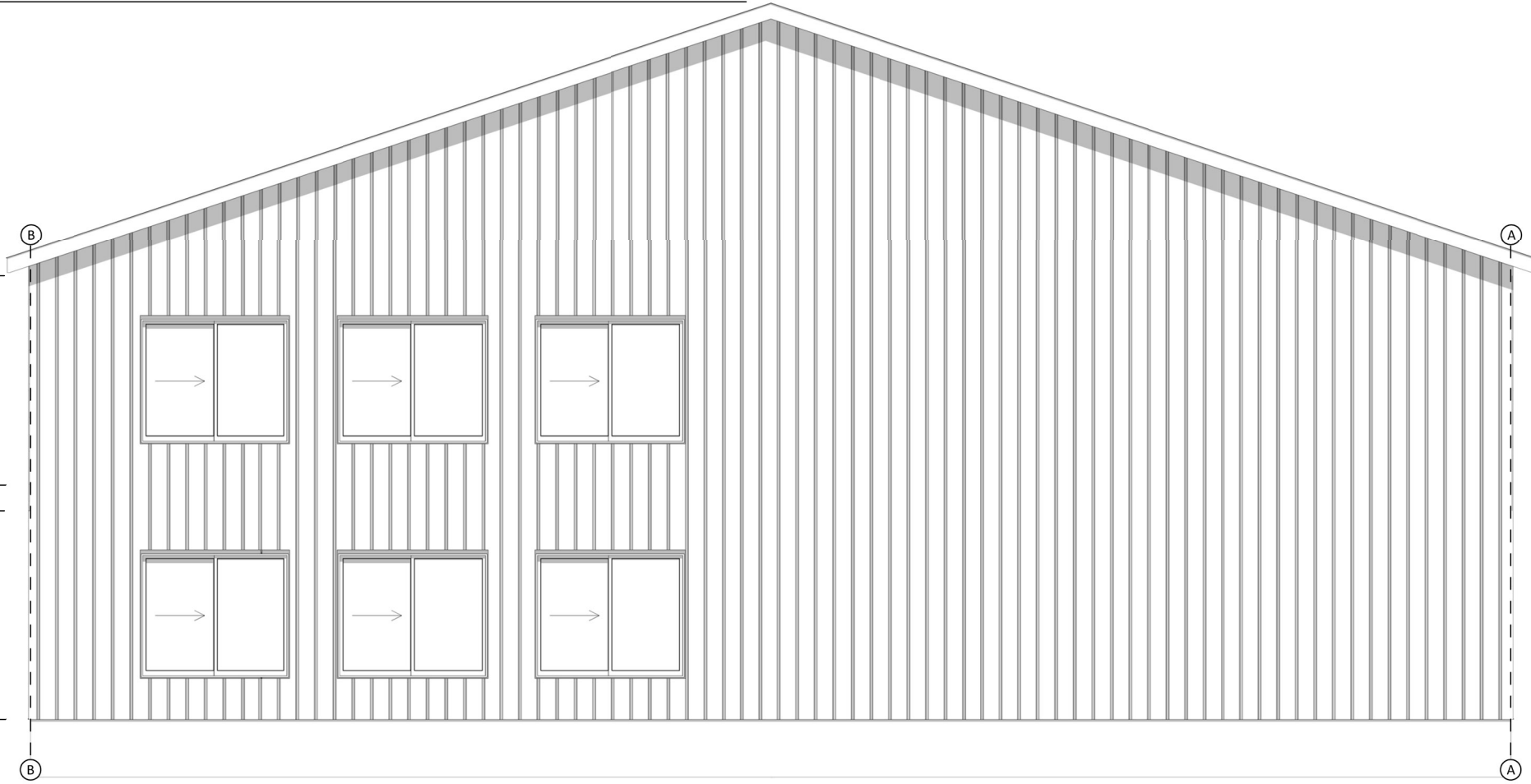
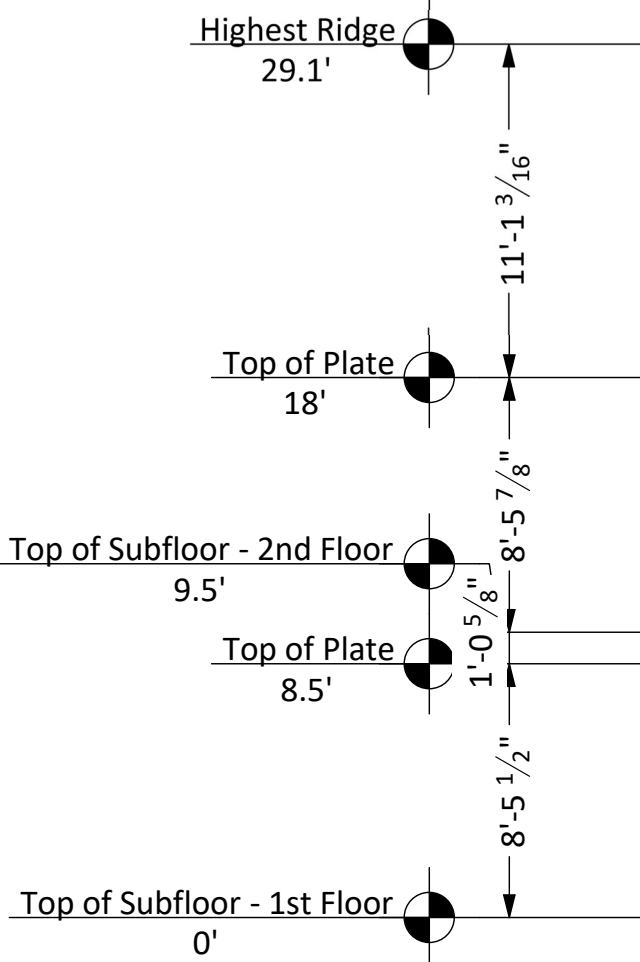


LEFT ELEVATION
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2

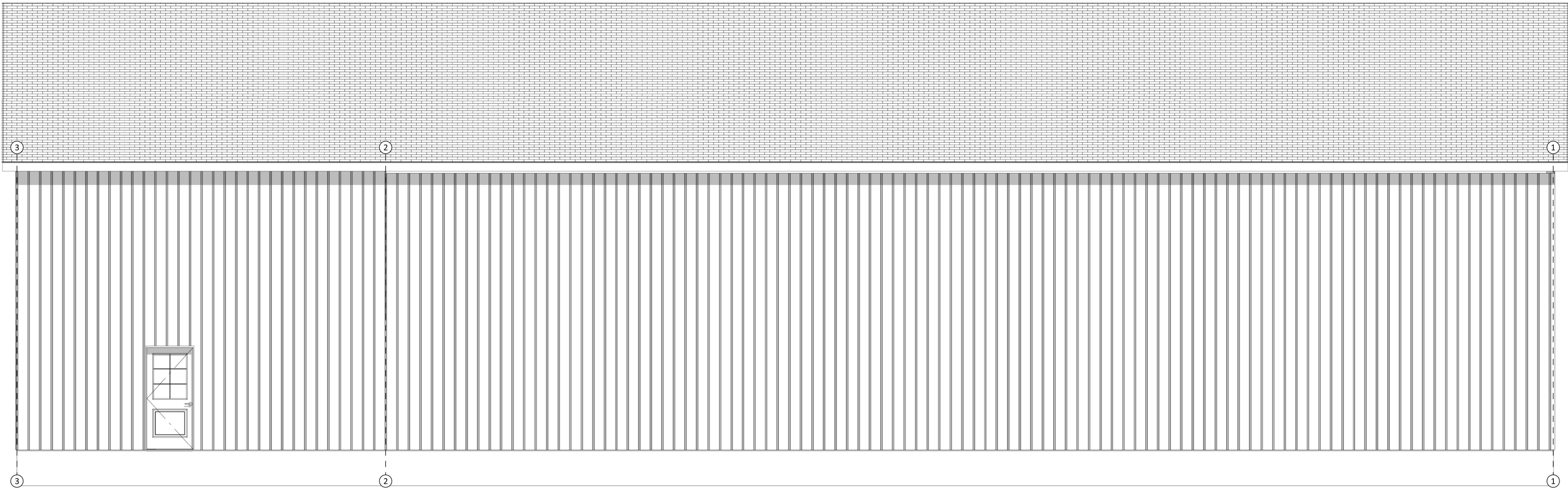
ELEVATION NOTES

1. SIDING & ROOFING TO BE PER OWNER.
2. COORDINATE EXTERIOR DESIGN AND FINISH WITH OWNER.
3. PAINT COLORS TO BE DETERMINED BY OWNER. PRIME AS APPROPRIATE FOR SUBSTRATE, COLOR, AND FINISH. USE SATIN FOR SIDING, SEMI-GLOSS FOR TRIM.
4. COORDINATE DOWNSPOUT LOCATIONS WITH OWNER. COORDINATE TO AVOID WINDOWS AND MINIMIZE ON FRONT ELEVATION.
5. PAINT ALL PLUMBING STACKS TO MATCH ROOF COLOR.
6. PROVIDE SEAMLESS PREFINISHED 5" OGEE ALUMINUM GUTTERS WITH RECTANGULAR DOWNSPOUTS. COLOR TO BE DETERMINED BY OWNER. PROVIDE CONCRETE SPLASHBLOCKS AT EACH DOWNSPOUT.



RIGHT ELEVATION
SCALE: 1/8"=1'-0"

3



REAR ELEVATION
SCALE: 1/8"=1'-0"

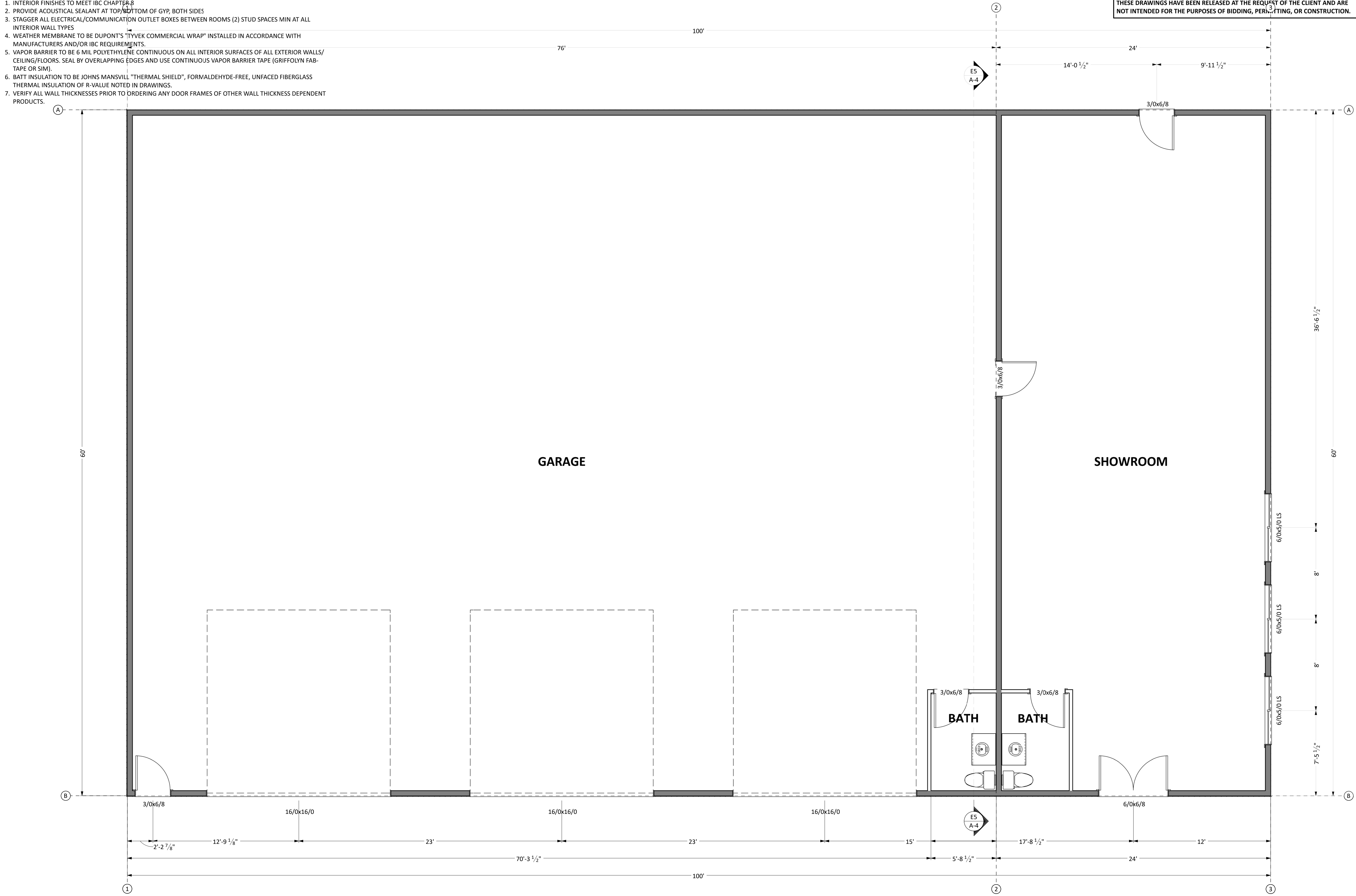
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FLOOR PLAN NOTES:

1. INTERIOR FINISHES TO MEET IBC CHAPTER 8
2. PROVIDE ACOUSTICAL SEALANT AT TOP/BOTTOM OF GYP, BOTH SIDES
3. STAGGER ALL ELECTRICAL/COMMUNICATION OUTLET BOXES BETWEEN ROOMS (2) STUD SPACES MIN AT ALL INTERIOR WALL TYPES
4. WEATHER MEMBRANE TO BE DUPONT'S "TYVEK COMMERCIAL WRAP" INSTALLED IN ACCORDANCE WITH MANUFACTURERS AND/OR IBC REQUIREMENTS.
5. VAPOR BARRIER TO BE 6 MIL POLYETHYLENE CONTINUOUS ON ALL INTERIOR SURFACES OF ALL EXTERIOR WALLS/CEILING/FLOORS. SEAL BY OVERLAPPING EDGES AND USE CONTINUOUS VAPOR BARRIER TAPE (GRIFFOLYN FAB-TAPE OR SIM).
6. BATT INSULATION TO BE JOHNS MANSVILL "THERMAL SHIELD", FORMALDEHYDE-FREE, UNFACED FIBERGLASS THERMAL INSULATION OF R-VALUE NOTED IN DRAWINGS.
7. VERIFY ALL WALL THICKNESSES PRIOR TO ORDERING ANY DOOR FRAMES OF OTHER WALL THICKNESS DEPENDENT PRODUCTS.

PROGRESS SET (NOT FOR CONSTRUCTION)

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1ST FLOOR OVERALL FLOOR PLAN

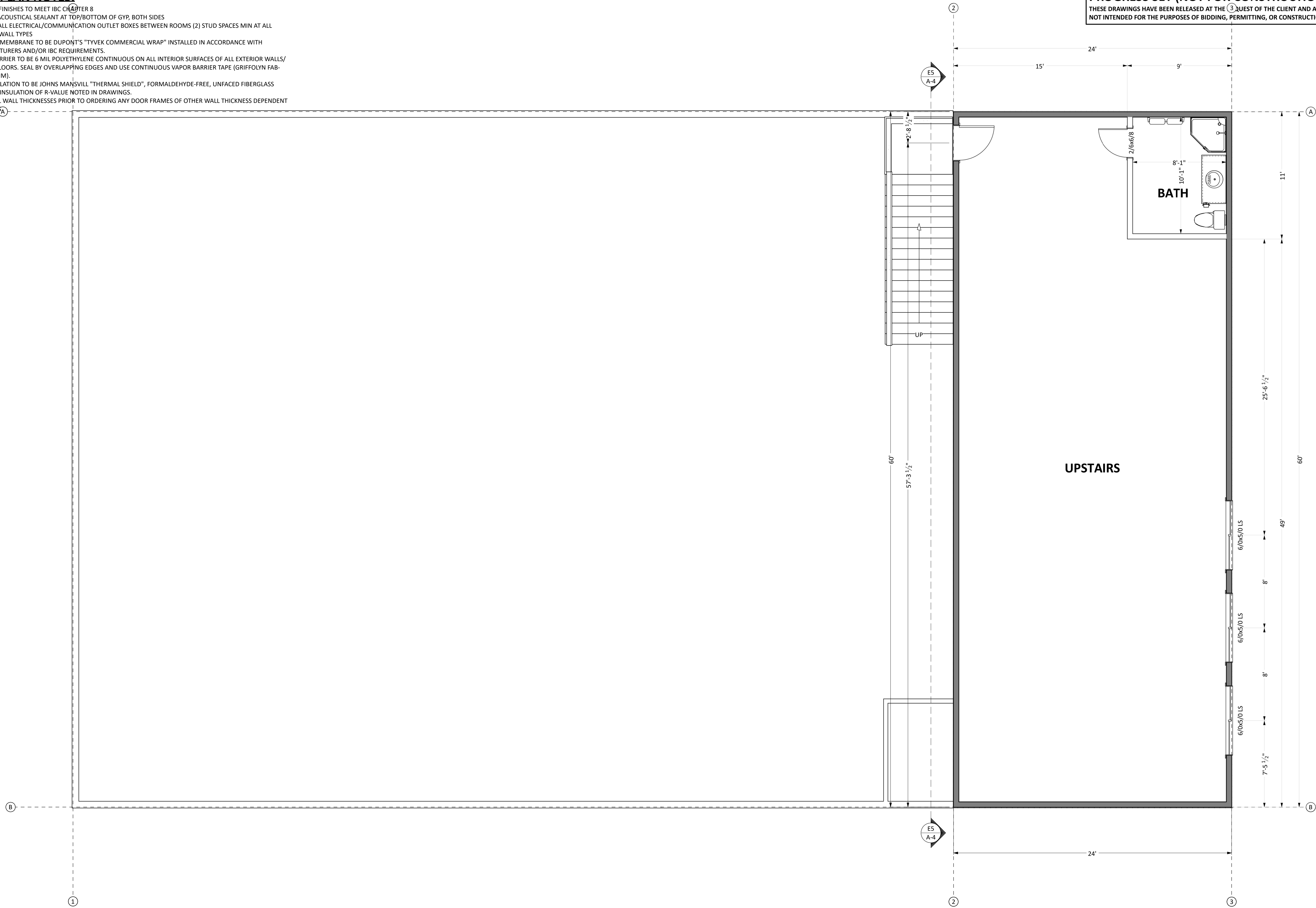
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FLOOR PLAN NOTES:

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2ND FLOOR OVERALL FLOOR PLAN

SCALE: 1/8"=1'-0"

PROJECT:

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BROCKTREE #: 20148

A-3
2ND FLR OVERALL

REVIEW

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PROJECT SHEET #:
6 of 8

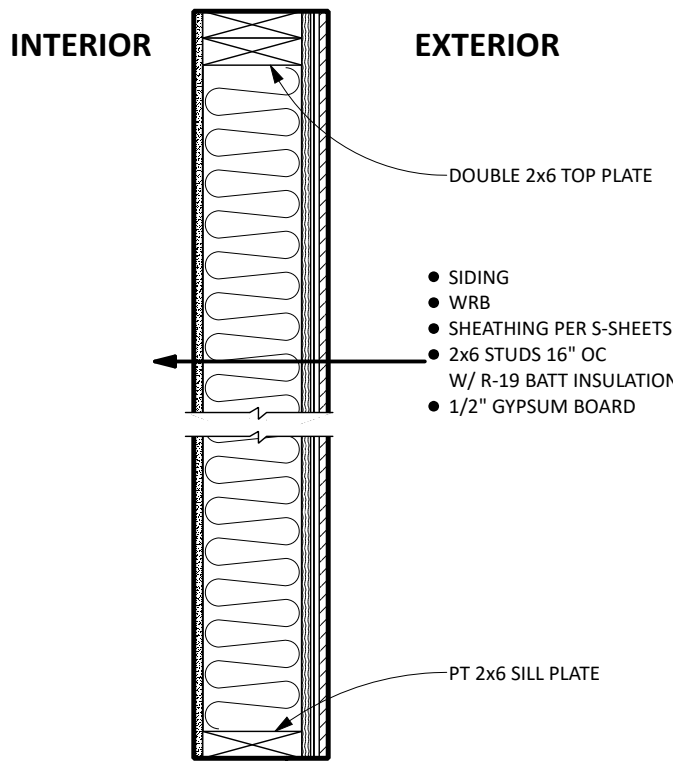
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ELEVATION
SCALE: 3/8" = 1'-0" 7



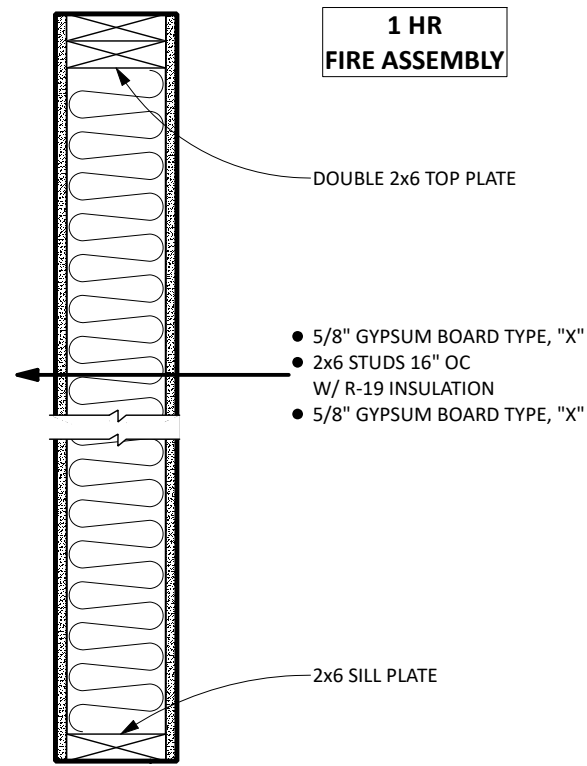
TYPICAL EXTERIOR WALL

SCALE:11/8" = 1'-0"

1

INTERIOR WALL

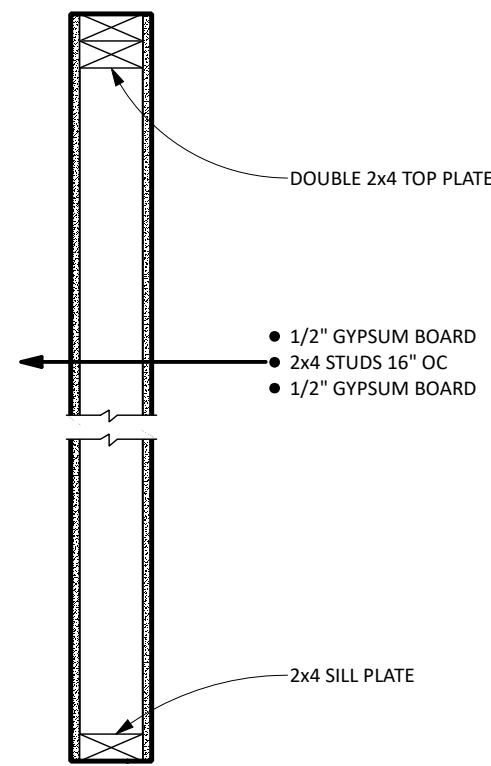
SCALE:11/8" = 1'-0"



2

INTERIOR WALL

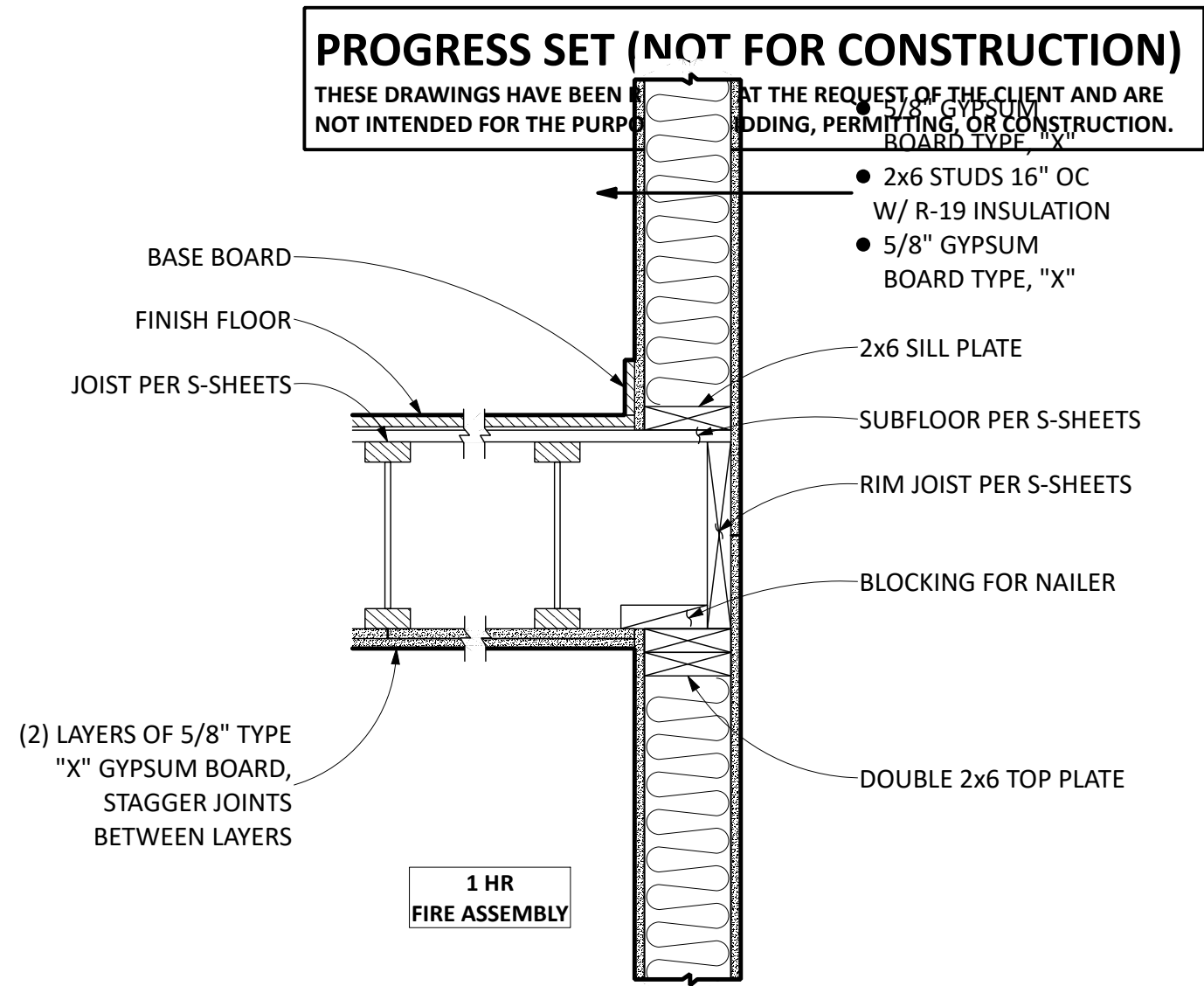
SCALE:11/8" = 1'-0"



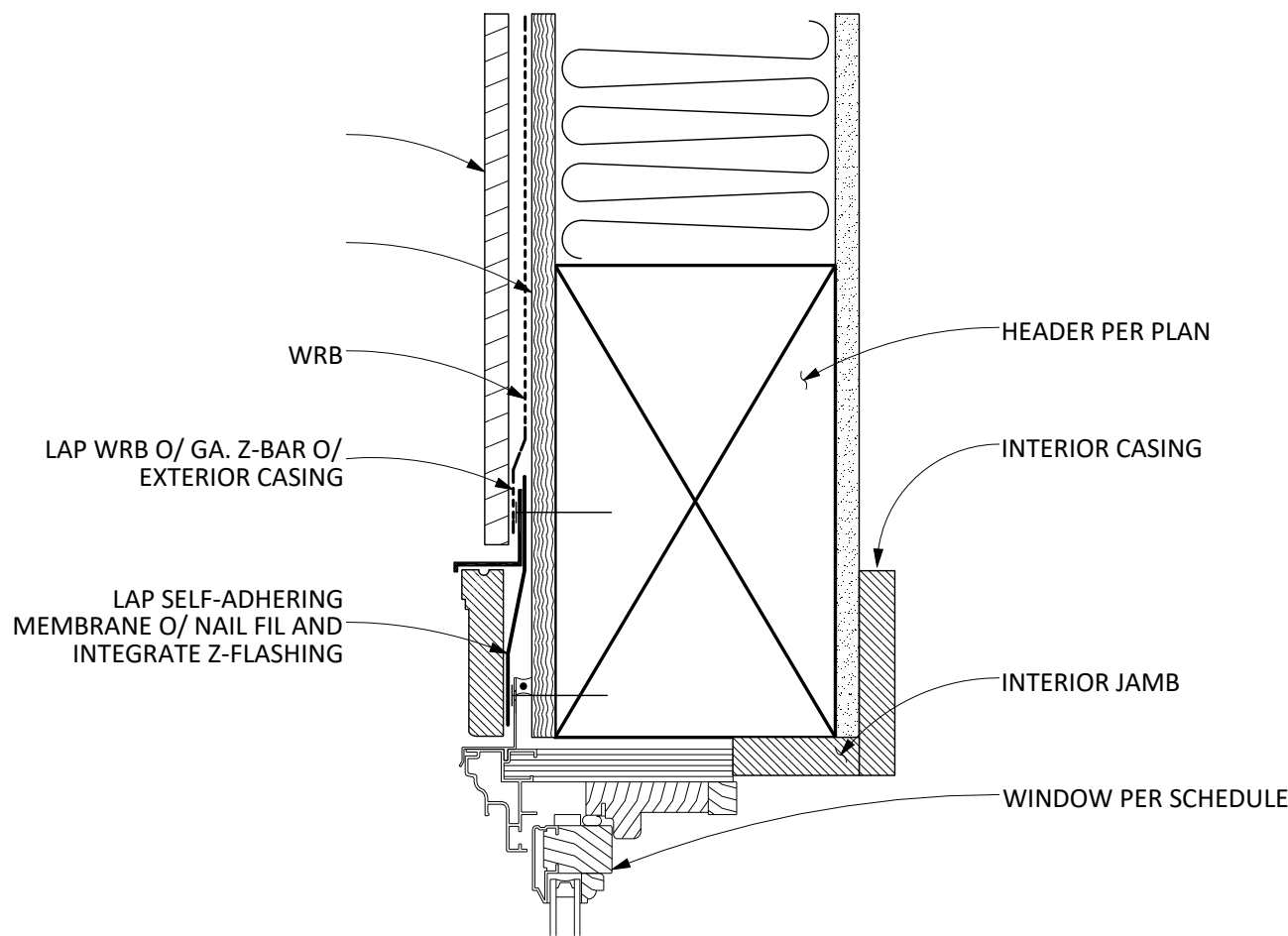
3

FLOOR INTERSECTION AT STARWELL

SCALE:11/8" = 1'-0"



4



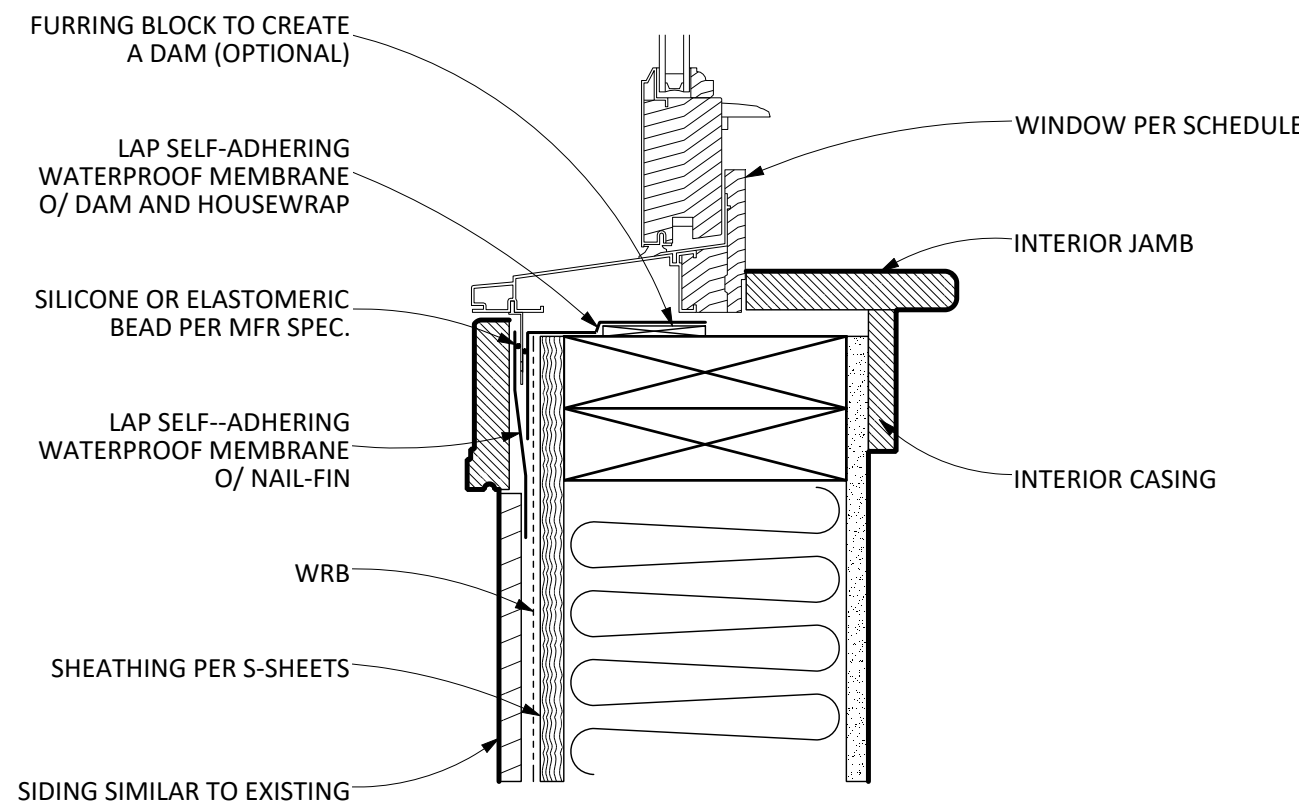
DETAIL - WINDOW HEAD FLASHING

SCALE:3" = 1'-0"

5

DETAIL - WINDOW PAN FLASHING

SCALE:3" = 1'-0"



6

PROGRESS SET (NOT FOR CONSTRUCTION)
THESE DRAWINGS HAVE BEEN PREPARED AT THE REQUEST OF THE CLIENT AND ARE NOT INTENDED FOR THE PURPOSE OF BIDDING, PERMITTING, OR CONSTRUCTION.

Homer Title 21 Update

June 18th, 2025 Planning Commission Meeting

Focus: Conditional Use Permit, Housing Types Recommendations, and District Considerations

Part 1: CUPs & Housing Types

Introduction

Following the discussion at the May Planning Commission workshop, this report provides additional context and preliminary recommendations for making efficient use of Conditional Use Permits in the Homer Title 21 code. These recommendations are based on the principles that CUPs should be reserved for uses that may have broad community impacts and where public input can be helpful in decision-making. Additionally, feedback from Title 21 listening sessions with staff and the Planning Commission have indicated a desire to reduce reliance on CUPs in favor of creating clear code standards that can be evaluated administratively by staff.

For context, staff has created a report of all CUPs applied for since 2021 (attached). The recommendations are informed by trends in that report.

Planning Commissioner Pre-Work: In preparation for the June 18th meeting, please review these recommendations and prepare any comments or questions. A summary presentation will be provided at the meeting.

1. CUPs Related to Dimensions

There are several examples in Title 21 that require a CUP for a project that exceeds a dimensional requirement. These include:

- Fences that exceed the maximum height.
- Lot coverage that exceeds 30%.
- Building footprints that exceed 8,000 square feet.

Projects that need exceptions from dimensional requirements should be handled via a variance, not a Conditional Use Permit. CUPs are meant for uses that require a higher degree of scrutiny because of their potential community impacts; examples include drive-thrus and institutional uses in residential neighborhoods. The variance process is designed for exceptions to the strict rules in the code, such as deviations from setbacks, height, or lot size .

If the City desires to offer more flexibility or less rigorous standards for the types of exceptions listed above, some administrative flexibility can be built into the code. For example, deviations from lot coverage up to, for example, 50% could be approved by staff if certain conditions are met; those conditions should be clear, objective, and written into the code so they are transparent to all parties.

2. CUPs Related to Uses

A review of the use table (that includes all permitted and conditional uses as currently allowed in Title 21) reveals opportunities to 1) move uses from Conditional to Permitted, and 2) expand the use of CUPs to allow a wider mix of uses in the community.

Conditional to Permitted or Permitted with Standards

The following table summarizes recommendations for moving uses that currently require a CUP to Permitted. In some cases, special standards are recommended to allow staff to review a use's potential impacts with more scrutiny. Some recommendations are also included to broaden the types of housing permitted in response to housing needs in the community.

Table 1: Proposed Changes to Conditional Uses

Uses	Current Status	Proposed Change	Notes
Uses labeled “P” are Permitted (by-right) and “C” are Conditional (require a CUP). District names are spelled out the first time they are used			
Non-Residential Uses			
Hotels, Motels, and Lodging	P in GBD Gateway Business C in MC Marine Commercial District	P in MC Marine Commercial District	
Auto Fueling Stations	C in CBD Central Business and EEMU East End Mixed Use Districts P in GC-1 General Commercial	P in GBD P in EEMU C in TCD Town Center	Allow as a permitted use (with standards) in districts that are intended for auto-oriented uses, allow as conditional in districts where lots are smaller, and design should be more pedestrian-oriented.
Auto Repair	P in GC-1	P in GBD P in EEMU C in TCD	Allow in the same places as auto fueling stations.
Kennels	C in RR Rural Residential, GC-2 General Commercial and EEMU districts	P in GC-2 and EEMU districts	GC-2 and EEMU are geared toward industrial uses, so potential for impacts of a kennel are low.
Drinking establishments	P in CBD, TCD and GC-1 C in MC	P in MC	The MC district is highly commercial and appropriate for restaurants, clubs, and drinking establishments.
Group Care Home	P in RO Residential Office, CBD, TCD	P in M Medical District	Group care homes are similar to medical uses

Uses	Current Status	Proposed Change	Notes
Uses labeled “P” are Permitted (by-right) and “C” are Conditional (require a CUP). District names are spelled out the first time they are used			
	C in RR and UR		
Hospitals	C in M	P in M	The medical district is intended for hospitals as a primary use.
Public utility facilities and structures	C in RR, RO, M, C, GC-1, GC-2, EEMU, MC, MI Marine Industrial, OSR Open Space Recreation, and CO Conservation	P in all districts	Publicly necessary utility uses should be permitted in all districts, with special standards.
Small wind energy system exceeding 10 kW	C in RR, UR, RO, M, CBD, TCD, GBD	P in M, CBD, TCD, GBD, GC-1, GC-2, EEMU, MC, MI	Small wind energy systems can be permitted in more districts with special standards. It is appropriate to leave them as conditional in predominantly residential districts
Residential Uses			
Townhouses	P in UR, RO, M, CBD, TCD, GBC C in GC-1		Expand areas where townhouses are allowed.
Multiple-Family Dwelling	P in RR, UR, CBD, TCD, GBD	P in RO, M, GC-1, GC-2, EEMU and MC	Allow multi-family projects in commercial and industrial districts. Rewrite special standards for these dwellings in some districts so that they are easier to accommodate.
Construction Camps	C in GC-2 and EEMU	P in GC-2, EEMU and MI	These are housing units meant for industrial workers and should be permitted in industrial areas.

Part 2: New Districts & District Consolidations

In the Homer Title 21 Audit, several changes to zoning districts were recommended to better implement the future land use guidance in the 2045 Homer Comprehensive Plan Update. The table below summarizes recommendations for new districts, consolidations, and district renaming.

Audit Recommendation	Current District(s) Purpose	Proposed District Purpose
Consolidations		
Consolidate CBD and Town Center Districts to New District: Downtown Mixed Use	<p>CBD: The purpose of the Central Business District is primarily to provide a centrally located area within the City for general retail shopping, personal and professional services, educational institutions, entertainment establishments, restaurants and other business uses listed in this chapter. The district is meant to accommodate a mixture of residential and nonresidential uses with conflicts being resolved in favor of nonresidential uses. Pedestrian-friendly designs and amenities are encouraged.</p> <p>Town Center: The primary purpose of the Town Center District is to provide a centrally located area in Homer for a core business area and a community focal point. Pedestrian-friendly designs and amenities are encouraged.</p>	<p>The purpose of this district is to serve as the city's central hub for business, services, education, dining, and entertainment. It supports a mix of higher density residential and commercial uses. Potential conflicts between residential and commercial uses should be minimized through thoughtful site design, building orientation, and buffering. The district is designed to be pedestrian-friendly and to function as a vibrant community focal point.</p>
Consolidate General Commercial 2 and East End Mixed Use to New District: Light Industrial Mixed Use	<p>GC2: The purpose of the General Commercial 2 District is primarily to provide a sound area for heavy commercial and industrial uses within the community designed to permit manufacturing, processing, assembly, packaging, or treatment of products and other uses described in this chapter. Residential uses and certain retail enterprises are purposely limited.</p> <p>East End MU: The East End Mixed Use (EEMU) District is primarily intended to provide sites for businesses that require direct motor vehicle access and may require larger land area. The district is meant to accommodate a mixture of existing and accessory residential with nonresidential uses. When a conflict exists between residential and nonresidential uses conflicts shall be resolved in favor of nonresidential uses.</p>	<p>The purpose of this district is to support a mix of heavy commercial, industrial, and vehicle-oriented businesses that may require larger sites and direct access. While some residential and retail uses may be allowed, the focus is on nonresidential development. Potential conflicts between residential, commercial, and industrial uses should be minimized through thoughtful site design, building orientation, and buffering.</p>

Audit Recommendation	Current District(s) Purpose	Proposed District Purpose
Consolidate Flood Prone Areas and Slopes and Coastal Development Overlay Districts into New District: Environmental Constraints Overlay	<p>Flood Prone Areas:</p> <p>a. This chapter designates and classifies ecologically sensitive and hazardous areas, protects the functions and values of the areas, and provides the means for additional review and protection to ensure the continued growth in a safe, orderly fashion for the greater health, welfare and safety of all Homer residents.</p> <p>b. The purpose of the chapter is to protect the public from flooding and other natural hazards, to minimize the need for emergency rescue, to protect unique, fragile, and vulnerable elements of the environment, to minimize the cost of replacing public facilities, to alert the public of these critical areas, to avoid public subsidy of private development impacts, to assist property owners in developing their property by promoting innovative land use techniques, and to work in concert with other land use regulations.</p> <p>Slopes and Coastal Development: This chapter regulates development activity and structures in areas affected by slopes, bluffs, ravines, and the coastal edge, and provides the means for additional review and protection to encourage safe and orderly growth to promote the health, welfare and safety of Homer residents.</p>	The purpose of this overlay district is to identify areas with natural hazards or sensitive environmental features—such as flood zones, steep slopes, wetlands, and coastal edges—to ensure safe, sustainable development. It provides added review and protection to reduce risks to people, property, and infrastructure, while preserving the natural character and ecological health of Homer.
Rename		
Rename Gateway Business District to: Commercial Mixed Use	The purpose of the Gateway Business District is primarily to promote mixed use development, with an emphasis on visitor-oriented business. Conflicts between residential and business uses are resolved in favor of business. Among the goals of the Gateway Business District regulations are the minimization of future traffic congestion along the Sterling Highway corridor, and preservation of the favorable experience residents and visitors have when entering Homer by way of the Sterling Highway.	The purpose of this district is to accommodate mixed-use development with a focus on businesses that serve visitors. Potential conflicts between residential and commercial uses should be minimized through thoughtful site design, building orientation, and buffering. The goals include reducing future traffic congestion along the Sterling Highway and maintaining a positive first impression for people entering Homer.

Audit Recommendation	Current District(s) Purpose	Proposed District Purpose
Rename General Commercial 1 to: Light Industrial	The General Commercial 1 (GC1) District is primarily intended to provide sites for businesses that require direct motor vehicle access and may require larger land area, and to provide business locations in proximity to arterials and transportation centers. It is also intended to minimize congestion and adverse effects on adjacent residential districts and on the appearance of the community.	The purpose of this district is to accommodate light industrial and manufacturing uses, as well as complimentary commercial uses, that require direct motor vehicle access and may require larger land area than the Commercial Mixed Use district. The district will be concentrated along arterial roads and transportation centers.
Rename Medical to: Medical Mixed Use	The purpose of the Medical District is to provide an area near the hospital to support medical facilities and other professional office and limited commercial uses. The district is meant to accommodate a mixture of residential and nonresidential uses. Pedestrian-friendly designs and amenities are encouraged.	No significant changes to district purpose. The current Medical district allows residential and non-residential uses within proximity to the hospital.

Planning Commissioner Pre-Work: In preparation for the June 18th meeting, please review these recommendations and prepare any comments or questions. A summary presentation will be provided at the meeting. A copy of the existing zoning map is attached for your reference.



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CUP Permit #	DATE	ADDRESS	DESCRIPTION	CODE TRIGGER	DECISION	KEY FINDING/REASON/CONDITONS
CUP 2024-12	11/6/2024	688 Waddell Rd.	Allow six single-family dwellings on one lot	HCC 21.14.030(i), More than one principal building on a lot	Approved, (4) Conditions	1) Install approved community sewer service to the structures 2) Outdoor lighting must be down lit per HCC 21.59.030 and the Community Design Manual (CDM) 3) Provide drainage flow arrows on the full site plan showing all future structures; indicate if driveway is paved 4) Submit a zoning permit to demonstrate compliance with HCC 21.44 Slope and Coastal Development regulations
CUP 2024-11	8/7/2024	3869 Jennifer Pl.	Proposed four single-family dwellings on one lot	HCC 21.12.030(m), More than one principal building on a lot	Denied	Inadequate information provided, Incompatible with surrounding land uses, Public services not available prior to occupancy, Negative impact on neighborhood character regarding scale, bulk, and density
CUP-2024-10	6/19/2024	2065 E. End Rd. & 2080 Shannon Ln.	Allow three single-family dwellings on one lot	HCC 21.12.030(m), More than one principal building on a lot	Approved, (2) Conditions	1) The Scenic View No. 6 Pier 59 2024 Replat preliminary plat (lot line vacation) must be approved and finalized by the Kenai Peninsula Borough 2) Outdoor lighting must be down lit per HCC 21.59.030 and the Community Design Manual (CDM)
CUP 2024-09	6/19/2024	955 Sterling Hwy.	Allow 25 single-family dwellings on one lot	HCC 21.22.030(a), More than one principal building on a lot	Approved, (2) Conditions	1) Strongly encourage installation of a safety fence along the cliff to prevent potential falls 2) Applicant must demonstrate compliance with Chapters 1–3 of the Community Design Manual
CUP 2024-08	6/19/2024	3684 Main St.	Allow four single-family dwellings on one lot	HCC 21.18.030(m), More than one principal building on a lot	Approved, (6) Conditions	1) Coordinate with ADEC for engineered community sewer design 2) Demonstrate compliance with CDM Chapters 1–3 when submitting zoning permit 3) Provide a more detailed site plan 4) Ensure garbage containers, connexes, abandoned vehicles, and equipment comply with Homer City Code 5) Ensure RV and boat storage complies with city code and CDM 6) Evaluate parking possibilities between cabins per city code
CUP 2024-07	6/5/2024	1224 E. End Rd.	Allow a medical (dental) clinic	HCC 21.16.030(c), Medical clinics	Approved, (1) Condition	1) Outdoor lighting must be down lit per HCC 21.59.030 and the Community Design Manual
CUP 2024-06	6/5/2024	1323 & 1335 Lakeshore Dr.	Allow building area over 30% lot coverage for a 7,500 sq. ft. warehouse	HCC 21.24.040(d), Building area exceeding 8,000 sq. ft. or 30% of lot area	Approved, (4) Conditions	1) Finalize Kenai Peninsula Borough approval of the Bay View Subdivision Chow 2024 plat (lot line vacation) 2) Abandon a water service or enter into a city installation agreement prior to plat recording 3) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM 4) Provide additional retaining wall detail to the City Engineer with zoning permit application
CUP 2024-05	5/15/2024	1690 Mission Rd.	Allow four single-family dwellings on one lot	HCC 21.12.030(m), More than one principal building on a lot	Approved, (2) Conditions	1) Install approved community sewer service to the structures 2) Outdoor lighting must be down lit per HCC 21.59.030 and the Community Design Manual
CUP 2024-04	4/3/2024	1061 E. End Rd.	Allow more than one principal building and building area over 8,000 sq. ft. or 30% lot coverage	HCC 21.16.030(g), 21.16.040(e), More than one principal building and excess lot coverage	Approved, (2) Conditions	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM 2) Outdoor play areas must be fenced per HCC 21.16.020(u)

Homer CUP Analysis 2020-2025

CUP Permit #	DATE	ADDRESS	DESCRIPTION	CODE TRIGGER	DECISION	KEY FINDING/REASON/CONDCTIONS
CUP 2024-03	3/20/2024	1177 Virginia Lynn Way	Allow three single-family dwellings on one lot	HCC 21.14.030(i), More than one principal building on a lot	Approved, (1) Condition	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM
CUP 2024-02	3/20/2024	1161 Virginia Lynn Way	Allow three single-family dwellings on one lot	HCC 21.14.030(i), More than one principal building on a lot	Approved, (1) Condition	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM
CUP 2024-01	3/20/2024	1149 Virginia Lynn Way	Allow three single-family dwellings on one lot	HCC 21.14.030(i), More than one principal building on a lot	Approved, (1) Condition	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM
CUP 2023-11	12/6/2023	1177 Virginia Lynn Way	Proposed duplex and two single-family dwellings on one lot	HCC 21.14.030(i), More than one principal building on a lot	Denied	Harmful effect on neighborhood character, Inconsistent with multiple goals of the Comprehensive Plan (housing, environment, growth, and design), Negative effect on neighboring properties beyond what is expected from permitted uses
CUP 2023-10	12/6/2023	1161 Virginia Lynn Way	Proposed duplex and two single-family dwellings on one lot	HCC 21.14.030(i), More than one principal building on a lot	Denied	Harmful effect on neighborhood character, Inconsistent with Comprehensive Plan goals (residential quality, environment, growth, and design), Greater negative impact on neighboring properties than anticipated from permitted uses
CUP 2023-09	12/6/2023	1149 Virginia Lynn Way	Proposed duplex and two single-family dwellings on one lot	HCC 21.14.030(i), More than one principal building on a lot	Denied	Harmful effect on neighborhood character, Inconsistent with Comprehensive Plan goals related to housing variety, environmental protection, neighborhood quality, and design standards, Concerns about density, parking, and emergency access
CUP 2023-08	1/31/2024	1563 & 1663 Homer Spit Rd., 1491 Bay Ave.	Proposed Planned Unit Development including hotel, employee housing, and triplexes	HCC 21.24.030(f), Planned Unit Developments	Denied	Incompatible with surrounding rural residential and conservation areas, Improper use of PUD for this project, Conflicts with airport safety and environmental protection zones, Violates bluff setback and height limits, Exceeds maximum 75,000 sq. ft. retail & wholesale building area allowed by code for GC1 district
CUP 2023-07	8/2/2023	795 W. Fairview Ave.	Allow private two-horse stable with paddock and grazing area	HCC 21.14.030(f), Private stables and larger animals as accessory use	Approved, (6) Conditions	1) Submit an Animal Waste Management Plan with zoning permit application 2) Submit a Grazing Plan with zoning permit application 3) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM 4) Fence paddock with wood rails or field fence; use portable electric fencing for rotating grazing 5) Maintain stable and paddock in good condition 6) Limit number of horses on the property to two
CUP 2023-06	6/7/2023	3153 Sterling Highway	Construct two new cabin dwellings as additions to a property with an existing single-family residence	HCC 21.12.030(m), More than one building containing a permitted principal use on a lot in the Rural Residential District	Approved, (2) Conditions	1) Install approved community sewer service to the structures 2) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM
CUP 2023-05	5/3/2023	4063 Pennock Street	Construct a second 1,550 square foot general office building on a lot with an existing commercial structure in the Residential Office District	HCC 21.16.030(g), Multiple principal buildings in the Residential Office District	Approved, (2) Conditions	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM 2) Any dumpster must be screened on three sides
CUP 2023-04	4/5/2023	106 W Bunnell Ave	Amend prior CUP 23-01 to allow structures within 20-ft setback from rights-of-way (ROW) on Bunnell Ave and Main Street	HCC 21.18.040(b)(4), Setback reduction in the Central Business District	Approved,	

Homer CUP Analysis 2020-2025

CUP Permit #	DATE	ADDRESS	DESCRIPTION	CODE TRIGGER	DECISION	KEY FINDING/REASON/CONDITONS
CUP 2023-03	3/15/2023	1368 Lakeshore Dr	Construct a 4-unit multi-family structure on a lot in GC1	HCC 21.24.030(c), for multi-family structure in the General Commercial 1 (GC1) District.	Approved, (2) Conditions	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM 2) Any dumpster must be screened on three sides
CUP 2023-02	3/15/2023	3375 Sterling Hwy	Construct a 1,060 SF addition to existing commercial gas station for a convenience items & restaurant, exceeding 8,000 SF building area	HCC 21.24.040(d), for a building area in excess of 8,000 SF in the General Commercial 1 (GC1) District	Approved, (1) Condition	1) Outdoor lighting must be down lit per HCC 21.59.030 and Chapter 3 of the CDM
CUP 2023-01	3/1/2023	106 W. Bunnell Ave	Expand kitchen into area currently occupied by a detached storage structure, exceeding 30% lot coverage in the Central Business District.	HCC 21.18.040(d), Building area exceeding 30% of lot in Central Business District	Approved, (6) Conditions	1) Obtain signature from Asia Freeman per CUP authorization rules 2) Provide 8 offsite parking stalls with a documented private agreement 3) Screen dumpster on at least one side (north-facing cottages) 4) Screen rear parking area along north lot line per HCC 21.55.020(a)(4)(f) 5) Obtain approval for any structure within the setback before construction begins 6) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM
CUP 2022-05	10/19/2022	1450, 1472, & 1484 Lakeshore Drive	Construct 16,625 sq. ft. airplane hangar adjacent to Beluga Lake	HCC 21.24.040(d), Structures over 8,000 sq. ft. in the General Commercial 1 District	Approved, (2) Conditions	1) Maintain a visual buffer (vegetation/fence) along western edge of Lot A4 and near structure on Lot 108 to screen site activity 2) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM
CUP 2022-04	7/20/2022	843 Fish Dock Road	Replace underground petroleum tanks with above ground bulk petroleum storage tanks	HCC 21.30.030(d), Bulk petroleum storage in the Marine Industrial District	Approved, (2) Conditions	1) Install green slats in fencing surrounding the facility 2) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM
CUP 2022-03	5/4/2022	1678 Sterling Hwy	Add a single-family dwelling to a lot that already includes one single-family dwelling and a duplex (total of three structures with four dwelling units)	HCC 21.12.030(m), More than one building containing a permitted principal use on a lot in the Rural Residential District	Approved, (3) Conditions	1) Install a community sewer system serving all dwellings (ADEC compliant) 2) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM 3) Dumpster must not be visible from the street or must be screened on three sides
CUP 2022-02	4/6/2022	2161 East End Road	Develop eighteen two-bedroom single-family dwellings on a 4.32-acre lot in the Rural Residential District	HCC 21.12.030(m), More than one building containing a permitted principal use on a lot in the Rural Residential District	Approved, (2) Conditions	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM 2) Dumpsters shall be screened on three sides
CUP 2022-01	2/2/2022	373 Mountain View Dr.	Construct two houses containing a total of three dwelling units on a lot in the Urban Residential District	HCC 21.18.030(j), More than one building containing a permitted principal use on a lot	Approved, (1) Condition	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM
CUP 2021-08	12/1/2021	3860 Kachemak Way	Construct a 30' x 48' high-tunnel greenhouse and a 10' x 10' accessory greenhouse for Kenai Peninsula College, Kachemak Bay Campus	HCC 21.18.030(g), Greenhouse in the Central Business District	Approved, (1) Condition	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM
CUP 2021-07	9/15/2021	1554 Homer Spit Road	Allow two structures containing retail operations on one lot in the General Commercial 1 District (GC1)	HCC 21.24.030(j), more than one building containing a permitted principal use on a lot in GC1	Approved, (1) Condition	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM

Homer CUP Analysis 2020-2025

CUP Permit #	DATE	ADDRESS	DESCRIPTION	CODE TRIGGER	DECISION	KEY FINDING/REASON/CONDITONS
CUP 2021-06	6/16/2021	1308 Lakeshore Dr	Construct six new structures with 8 bedrooms, an office, common area, and storage, in addition to two existing one-bedroom cabins	HCC 21.21.030(j), more than one building containing a permitted principal use on a lot in GC1 District	Approved, (1) Condition	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM
CUP 2021-05	5/19/2021	4262 Homer Spit Road	Expand an outdoor dining deck approximately 1,000 sq. ft., located within the required setback, up to 3 feet from the harbor ramp right-of-way	HCC 21.28.030(i), locating a building within a required setback in the Marine Commercial District. HCC 21.28.040(b), Setback requirements in MC District	Approved,	
CUP 2021-04	5/5/2021	90 Sterling Highway	Construct a 3,481 sq. ft. addition to an existing 30,324 sq. ft. grocery store, totaling 33,805 sq. ft., in the Central Business District	HCC 21.18.040(d), expansion of a structure over 8,000 sq. ft. in the CBD	Approved,	
CUP 2021-03	4/21/2021	870 Smoky Bay Way	Construct a 2,400 sq. ft. brewery with tasting areas (indoor and outdoor) in the Central Business District	HCC 21.18.030(h), light manufacturing in the CBD	Approved,	
CUP 2021-02	3/17/2021	89 Sterling Highway	Construct two duplexes and one triplex (employee housing) in the Central Business District	HCC 21.18.030(j), more than one building containing a permitted principal use on a lot in the CBD	Approved, (2) Conditions	1) Provide a total of 11 parking spaces and adjust landscaping to buffer from the highway 2) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM
CUP 2021-01	1/6/2021	1308 Lakeshore Dr	Construct a hangar and two additional cabins (total of four cabins) in the General Commercial 1 District	HCC 21.21.030(j), more than one building containing a permitted principal use on a lot in the GC1 District	Approved, (2) Conditions	1) No RV occupancy permitted on-site 2) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM
CUP 2020-16	10/21/2020	4424 Starboard Way	Construct an additional single-family dwelling on a lot with an existing duplex in the Rural Residential District	HCC 21.12.030(m), more than one building containing a permitted principal use on a lot in RR	Approved, (1) Condition	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM
CUP 2020-15	10/7/2020	106 W Bunnell Ave. #2	Demolish and rebuild restaurant structure within existing footprint in the Central Business District	HCC 21.18.040(b)(4) & (d), building within 20-ft setback and exceeding 30% lot coverage in CBD	Approved, (4) Conditions	1) Side yard setback on west lot line must comply with HCC 21.18.040(b)(2) 2) Dumpster must be screened on at least one side from view of cottages to the north 3) Outdoor lighting must be downward directional, with no glare or light trespass per HCC 21.59.030 and CDM 4) Rear parking area must be screened along the north lot line per HCC 21.55.020(A)(4)(f)
CUP 2020-14	9/2/2020	541 Bonanza Ave	Add a second dwelling (repurposed Connex container) to an existing lot under the classification of a "mobile home park"	HCC 21.18.030(c), Mobile home parks in the Central Business District	Denied	The proposed second structure was not a mobile home as defined by HUD standards The project did not qualify as a "mobile home park" under applicable code The proposal failed to meet multiple criteria under HCC 21.71.030, including: Not authorized under the applicable code for the proposed structure, Not compatible with zoning district purposes, Did not meet comprehensive plan goals or Community Design Manual standards
CUP 2020-12	8/19/2020	3972 Bartlett St	Construct four detached single-family homes on one lot in the Residential Office District	HCC 21.16.030(h), More than one principal building on a lot in the RO District	Approved, (1) Condition	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM

Homer CUP Analysis 2020-2025

CUP Permit #	DATE	ADDRESS	DESCRIPTION	CODE TRIGGER	DECISION	KEY FINDING/REASON/CONDITONS
CUP 2020-11	8/5/2020	4936 Clover Lane	Add three single-family homes to an existing lot already containing a duplex and one single-family home (total of six dwelling units) in the Rural Residential District	HCC 21.12.030(m), More than one building containing a permitted principal use on a lot in the Rural Residential District	Approved, (1) Condition	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM
CUP 2020-10	7/15/2020	750 Nedosik Road	Construct four single-family rental cabins on a 2.4-acre lot in the Rural Residential District	HCC 21.12.030(m), More than one building containing a permitted principal use on a lot in the Rural Residential District	Approved, (2) Conditions	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM 2) Dumpsters shall be screened on three sides
CUP 2020-09	7/15/2020	3657 and 3637 Main Street	Establish light/custom manufacturing (wine and mead production) and allow more than one principal building on a lot in the Central Business District	HCC 21.18.030(h), Light or custom manufacturing within an enclosed building. HCC 21.18.030(j), More than one principal building on a lot in the Central Business District	Approved, (1) Condition	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM
CUP 2020-08	5/20/2020	151 W Bayview Avenue	Add a third single-family dwelling to a 0.28-acre lot already containing two single-family homes in the Residential Office District	HCC 21.16.030(h), More than one principal building on a lot in the Residential Office District	Approved, (2) Conditions	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM 2) Dumpsters shall be screened on three sides
CUP 2020-07	5/20/2020	62890 Skyline Drive	Reconstruct a pedestrian trail and bridge within 100 feet of a tributary in the Bridge Creek Watershed Protection District (BCWPD)	HCC 21.40.080 & HCC 21.40.110(b), requiring CUP for intrusions into the stream buffer	Approved, (1) Condition	1) Prior to issuing a zoning permit, the Public Works Director must review and approve the sediment and erosion control plan and the qualifications of the design engineer prior to issuing a zoning permit
CUP 2020-06	4/29/2020	3935 Svedlund Street	Add a 432 sq. ft. greenhouse to a senior housing site already containing over 26,000 sq. ft. of buildings in the Residential Office District	HCC 21.16.040(e), Total building area in excess of 8,000 sq ft in the Residential Office District	Approved, (1) Condition	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM
CUP 2020-05	4/29/2020	1081A Freight Dock Road	Develop a restaurant with upstairs nightly rentals on a harbor overslope platform (70' x 40') supporting a 2-story structure (40' x 24') in the Marine Commercial and Small Boat Harbor Overlay Districts	HCC 21.46.040(a) (Overslope Development) & HCC 21.28.030(d) Lodging in the Marine Commercial District	Approved, (1) Condition	1) Trash containers and electrical boxes must be screened on three sides
CUP 2020-04	2/5/2020	3385 East End Road	Expand total building area beyond 8,000 sq. ft. for a commercial operation in the East End Mixed Use District	HCC 21.27.040(d), Total building area over 8,000 sq ft in East End Mixed Use District	Approved, (1) Condition	1) Screening required on existing green areas adjacent to East End Road; screening may include walls, fences, berms, or evergreen plantings (per HCC 21.27.040(f))

Homer CUP Analysis 2020-2025

CUP Permit #	DATE	ADDRESS	DESCRIPTION	CODE TRIGGER	DECISION	KEY FINDING/REASON/CONDITONS
CUP 2020-03	1/15/2020	436 & 450 Soundview Avenue	Construct two duplex-style townhouses (four units total) on two Urban Residential District lots	HCC 21.14.030(b), Townhouse development in the Urban Residential District	Approved, (1) Condition	1) Outdoor lighting must be downward directional and must not produce light trespass (per HCC 21.59.030 and the CDM)
CUP 2020-02	1/2/2020	680 Sterling Highway	Modify CUP 18-04 to allow multiple principal use buildings on a lot in the Gateway Business District, including a single-family dwelling, workshop, garage, and 5 cabins (1 added, 4 previously approved)	HCC 21.22.030(a), More than one building containing a permitted principal use on a lot in the Gateway Business District	Approved, (3) Conditions	1) Outdoor lighting must be down lit per HCC 21.59.030 and the CDM and approved by the Planning Office 2) Dumpsters must be screened on three sides 3) Exterior finishes for “Cabin 1” and “Workshop” must be completed by May 15, 2020, and for “Main Residence” by January 1, 2021
CUP 2020-01	1/2/2020	104 E Pioneer Ave & 3916 Main St	Allow more than one principal building, light manufacturing, and building size over 8,000 sq ft in the Central Business District (CBD)	HCC 21.18.030(j): More than one principal building on a lot HCC 21.18.030(h): Light/custom manufacturing within enclosed buildings HCC 21.18.040(d) – Building area over 8,000 sq. ft.	Approved, (3) Conditions	(1) All required parking must comply with HCC 21.55.060(b) which states “Offsite-parking must be located in a zoning district where it is a permitted use.” This condition can be met by a successful rezoning of the RO lot, or by securing other off-site parking located in a zoning district that allows parking lots as a permitted use. (2) Outdoor lighting must be down lit per HCC 21.59.030 and the Community Design Manual. (3) Screen all dumpsters on three sides.

City of Homer Zoning Map

0 0.25 0.5 1 Miles

November 2, 2020

Abbreviations
MC = Marine Commercial
MI = Marine Industrial
OSR = Open Space Recreation
CONS = Conservation

Legend

City Limits

2020 Zoning

Zone

Gateway Business District

Central Business District

Town Center

General Commercial 1

General Commercial 2

East End Mixed Use

Marine Commercial

Marine Industrial

Open Space Rec

Conservation

Bridge Creek Watershed

Rural Residential

Urban Residential

Residential Office

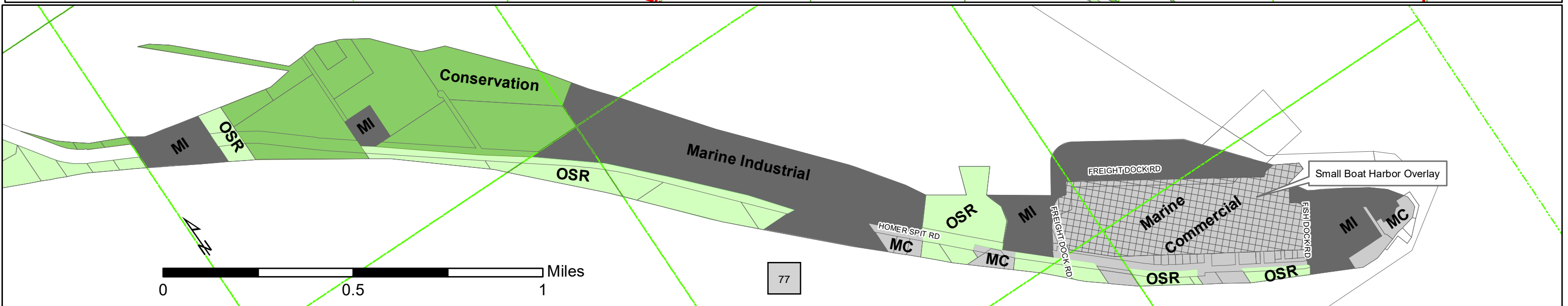
Medical

Scenic Gateway Corridor Overlay

Small Boat Harbor Overlay

Section Lines

Ordinance No.	Date
83-07	2/15/83
83-30	12/13/82
84-28	10/23/84
85-10	5/28/85
86-18	6/24/86
86-23	8/26/86
86-24	8/26/86
86-25	8/26/86
92-47	9/29/92
92-50	12/15/92
98-14	7/27/98
1-27(S)	5/13/02
02-11	5/13/02
02-42(S)(A)	7/28/03
03-08	2/25/03
03-10	2/25/03
03-11(S)(A)	2/25/03
03-03(S)	3/11/03
03-04(S)	3/11/03
03-05(S)	3/11/03
03-09	3/11/03
03-20	5/13/03
03-37	7/29/03
05-07	3/15/05
05-33	6/28/05
06-20(A)	9/15/06
06-22	4/25/06
06-58	9/15/06
06-51(S)(A)	9/26/06
07-52(A-2)	2/25/08
08-06	2/12/08
08-08(A)	3/25/08
08-20	6/24/08
08-12(S)(A-2)	10/14/08
09-44(S)	10/13/09
09-19	10/26/09
12-10	2/28/12
12-11(A)	3/28/12
13-12(S)	5/14/13
16-34	6/28/16
20-02	1/28/20
20-49	8/25/20
20-59(A)	9/29/20



From: [Zach Pettit](#)
Cc: [Ryan Foster](#)
Subject: FW: a letter to share with the entire Planning Commission
Date: Monday, June 2, 2025 2:54:54 PM

Good afternoon Commissioners,

Please see the forwarded email below from Chris Story. Let me know if you have any questions.

Best,

Zach Pettit
Deputy City Clerk II
City of Homer



[City of Homer City Clerk's Office](#)

From: Chris Story <alaskamattersradio@gmail.com>
Sent: Monday, June 2, 2025 2:53 PM
To: Zach Pettit <zpettit@ci.homer.ak.us>
Subject: a letter to share with the entire Planning Commission

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Good Day Zach;
Chris Story here. May this find you well.
If you would see to it that this email is forwarded to the entire Planning Commission; I'd be grateful.
Thank you.
Chris Story

To the Honorable Members of the Homer Planning Commission,

I write to respectfully request the Commission's consideration of a policy revision to allow for limited, regulated use of feather-style and banner signage within the City of Homer. While I understand the city's current prohibition on such signs was likely established to promote aesthetic cohesion and public safety, I believe that a blanket ban is unnecessarily restrictive and inconsistent with both the entrepreneurial values of Homer and the practical needs of small businesses—particularly during our peak seasonal economy.

Small businesses are the cornerstone of Homer’s economic engine. They generate essential sales tax revenue, maintain active storefronts, provide local employment, and contribute to the unique charm and vitality of our town. During the short but significant summer season, many of these businesses depend on flexible, cost-effective tools to attract and inform customers. Feather flags and temporary banners are among the most widely used and economically viable options available—common in coastal and tourist-friendly communities across the country.

Cities such as Newport, Oregon; Port Townsend, Washington; and Cape May, New Jersey, have adopted limited-use guidelines that balance visual harmony with business visibility. I believe Homer can and should do the same.

In lieu of the current total prohibition, I propose that the Commission consider incorporating the following language into the Homer City Code under temporary signage allowances:

Feather Flags and Temporary Banners — Seasonal Use Regulations:

Feather-style flags and temporary banner signage shall be permitted within the City of Homer between May 1 and October 1 annually, subject to the following conditions:

1. Signs must be maintained in good repair and shall not be faded, torn, leaning, or otherwise dilapidated at any time during the period of display.
2. Each sign must be securely anchored to prevent hazards caused by wind or inclement weather.
3. Signs shall be located entirely on private property and not within the public right-of-way, unless otherwise permitted.
4. Signage must not obstruct pedestrian access, traffic visibility, or create undue visual clutter.
5. Businesses may display no more than two (2) feather-style signs at any one time.
6. All feather and banner signs must be removed outside of the allowed display season unless an exemption is granted.

This balanced approach would allow for seasonal promotion while addressing the aesthetic and safety concerns that motivated the original restriction. Most importantly, it would give small businesses—many of which cannot afford permanent, high-cost signage—the tools they need to succeed during the crucial months that often define their financial year.

Homer’s independent business owners are not seeking exemption from standards—they are asking for inclusion in a fair, thoughtful framework that supports both economic development and visual stewardship.

Thank you for your service and consideration of this important matter.

Respectfully,

Chris Story

Small Business Owner

Real Estate Broker - Homer, Alaska

907.299.7653 or email: AlaskaMattersRadio@gmail.com

**PLANNING COMMISSION
2025 Calendar**

	AGENDA ITEM DEADLINES	MEETING DATE	COMMISSIONER SCHEDULED TO REPORT	CITY COUNCIL MEETING FOR REPORT*	ANNUAL TOPICS FOR AGENDA AND EVENTS PLANNED
JANUARY	12/11/24 Public Hearing Items 12/13/24 Prelim Plat Submittals 12/17/24 Regular Agenda Items	01/02/25		Monday, 01/13/25 6:00 p.m.	
	12/24/24 Public Hearing Items 12/27/24 Prelim Plat Submittals 01/03/25 Regular Agenda Items	01/15/25		Monday 01/27/25 6:00 p.m.	
FEBRUARY	01/15/25 Public Hearing Items 01/17/25 Prelim Plat Submittals 01/24/25 Regular Agenda Items	02/05/25		Monday 02/10/25 6:00 p.m.	NFIP Staff Training
	01/29/25 Public Hearing Items 01/31/25 Prelim Plat Submittals 02/07/25 Regular Agenda Items	02/19/25		Monday 02/24/25 6:00 p.m.	
MARCH	02/12/25 Public Hearing Items 02/14/25 Prelim Plat Submittals 02/21/25 Regular Agenda Items	03/05/25		Monday 03/10/25 6:00 p.m.	
	02/26/25 Public Hearing Items 02/28/25 Prelim Plat Submittals 03/07/25 Regular Agenda Items	03/19/25		Monday 03/24/25 6:00 p.m.	
APRIL	03/12/25 Public Hearing Items 03/14/25 Prelim Plat Submittals 03/21/25 Regular Agenda Items	04/02/25		Monday 04/14/25 6:00 p.m.	
	03/26/25 Public Hearing Items 03/28/25 Prelim Plat Submittals 04/04/25 Regular Agenda Items	04/16/25		Monday 04/28/25 6:00 p.m.	
MAY	04/16/25 Public Hearing Items 04/18/25 Prelim Plat Submittals 04/25/25 Regular Agenda Items	05/07/25		Monday 05/12/25 6:00 p.m.	
	04/30/25 Public Hearing Items 05/02/25 Prelim Plat Submittals 05/09/25 Regular Agenda Items	05/21/25		Tuesday 05/27/25 6:00 p.m.	
JUNE	05/14/25 Public Hearing Items 05/16/25 Prelim Plat Submittals 05/23/25 Regular Agenda Items	06/04/25		Monday 06/09/25 6:00 p.m.	Reappointment Applications will be sent out by the Clerk.
	05/28/25 Public Hearing Items 05/30/25 Prelim Plat Submittals 06/06/25 Regular Agenda Items	06/18/25		Monday 06/23/25 6:00 p.m.	

JULY	06/25/25 Public Hearing Items 06/27/25 Prelim Plat Submittals 07/03/25 Regular Agenda Items	07/16/25		Monday 07/28/25 6:00 p.m.	
AUGUST	07/16/25 Public Hearing Items 07/18/25 Prelim Plat Submittals 07/25/25 Regular Agenda Items	08/06/25		Monday 08/11/25 6:00 p.m.	<ul style="list-style-type: none"> • Election of Officers • Worksession: Training with City Clerk • Capital Improvement Plan Presentation by Jenny Carroll
	07/30/25 Public Hearing Items 08/01/25 Prelim Plat Submittals 08/08/25 Regular Agenda Items	08/20/25		Monday 08/25/25 6:00 p.m.	
SEPTEMBER	08/13/25 Public Hearing Items 08/15/25 Prelim Plat Submittals 08/22/25 Regular Agenda Items	09/03/25		Monday 09/08/25 6:00 p.m.	
	08/27/25 Public Hearing Items 08/29/25 Prelim Plat Submittals 09/05/25 Regular Agenda Items	09/17/25		Monday 09/22/25 6:00 p.m.	
OCTOBER	09/10/25 Public Hearing Items 09/12/25 Prelim Plat Submittals 09/19/25 Regular Agenda Items	10/01/25		Monday 10/13/25 6:00 p.m.	
	09/24/25 Public Hearing Items 09/26/25 Prelim Plat Submittals 10/03/25 Regular Agenda Items	10/15/25		Monday 10/27/25 6:00 p.m.	Annual Meeting Schedule for 2026
NOVEMBER	10/15/25 Public Hearing Items 10/16/25 Prelim Plat Submittals 10/24/25 Regular Agenda Items	11/05/25		Monday 11/10/25 6:00 p.m.	
DECEMBER	11/12/25 Public Hearing Items 11/14/25 Prelim Plat Submittals 11/21/25 Regular Agenda Items	12/03/25		Tentative: Monday 01/05/26 6:00 p.m.	There are no Council meetings in December.

*The Commission's opportunity to give their report to City Council is scheduled for the Council's regular meeting following the Commission's regular meeting, under Agenda Item 8 – Announcements/ Presentations/ Borough Report/Commission Reports. Reports are the Commission's opportunity to give Council a brief update on their work. Attend via Zoom or in Person. A written report can be submitted if no member is able to attend.

2025 Meeting Dates & Submittal Deadlines

Homer Planning Commission

Meeting dates are bolded and submittal deadlines are underneath

January 2, 2025

December 11 for Public Hearing Items
December 13 for Preliminary Plat Submittal
December 17 for Regular Agenda Items

January 15, 2025

December 24 for Public Hearing Items
December 27 for Preliminary Plat Submittal
January 3 for Regular Agenda Items

February 5, 2025

January 15 for Public Hearing Items
January 17 for Preliminary Plat Submittal
January 24 for Regular Agenda Items

February 19, 2025

January 29 for Public Hearing Items
January 31 for Preliminary Plat Submittal
February 7 for Regular Agenda Items

March 5, 2025

February 12 for Public Hearing Items
February 14 for Preliminary Plat Submittal
February 21 for Regular Agenda Items

March 19, 2025

February 26 for Public Hearing Items
February 28 for Prelim. Plat Submittal
March 7 for Regular Agenda Items

April 2, 2025

March 12 for Public Hearing Items
March 14 for Preliminary Plat Submittal
March 21 for Regular Agenda Items

April 16, 2025

March 26 for Public Hearing Items
March 28 for Preliminary Plat Submittal
April 4 for Regular Agenda Items

May 7, 2025

April 16 for Public Hearing Items
April 18 for Preliminary Plat Submittal
April 25 for Regular Agenda Items

May 21, 2025

April 30 for Public Hearing Items
May 2 for Preliminary Plat Submittal
May 9 for Regular Agenda Items

June 4, 2025

May 14 for Public Hearing Items
May 16 for Preliminary Plat Submittal
May 23 for Regular Agenda Item

June 18, 2025

May 28 for Public Hearing Items
May 30 for Preliminary Plat Submittal
June 6 for Regular Agenda Items

2025 Meeting Dates & Submittal Deadlines

Homer Planning Commission

Meeting dates are bolded and submittal deadlines are underneath

July 16, 2025

June 25 for Public Hearing Items

June 27 for Preliminary Plat Submittal

July 3 for Regular Agenda Items

August 6, 2025

July 16 for Public Hearing Items

July 18 for Preliminary Plat Submittal

July 25 for Regular Agenda Items

August 20, 2025

July 30 for Public Hearing Items

August 1 for Preliminary Plat Submittal

August 8 for Regular Agenda Items

September 3, 2025

August 13 for Public Hearing Items

August 15 for Prelim. Plat Submittal

August 22 for Regular Agenda Items

September 17, 2025

August 27 for Public Hearing Items

August 29 for Preliminary Plat Submittal

September 5 for Regular Agenda Items

October 1, 2025

September 10 for Public Hearing Items

September 12 for Preliminary Plat Submittal

September 19 for Regular Agenda Items

October 15, 2025

September 24 for Public Hearing Items

September 26 for Preliminary Plat Submittal

October 3 for Regular Agenda Items

November 5, 2025

October 15 for Public Hearing Items

October 16 for Preliminary Plat Submittal

October 24 for Regular Agenda Item

December 3, 2025

November 12 for Public Hearing Items

November 14 for Preliminary Plat Submittal

November 21 for Regular Agenda Item