

Agenda

HISTORIC DISTRICT COMMISSION

Regular meeting

6:00 p.m. December 3, 2025

Board Meeting Room of Town Hall Annex, 105 E. Corbin St.



Public charge: The Hillsborough Historic District Commission pledges to the community of Hillsborough its respect. The commission asks members of the public to conduct themselves in a respectful, courteous manner with the commission members and with fellow community members. At any time should any member of the commission or community fail to observe this public charge, the chair or the chair's designee will ask the offending person to leave the meeting until that individual regains personal control. Should decorum fail to be restored, the chair or the chair's designee will recess the meeting until such time that a genuine commitment to this public charge can be observed.

Public comment guidelines: All meetings shall be open to the public. The public may attend, but public comment shall be limited to those members of the public who have expert testimony or factual evidence directly related to an application on the agenda. Other public comments are permissible at the discretion of the Chair but shall not be used to render the Commission's decision on an agenda item. At the discretion of the Chair, a time limit may be placed on speakers other than the applicant to afford each citizen an equitable opportunity to speak in favor of, or in opposition to, an application.

1. Call to order, roll call, and confirmation of quorum

2. Commission's mission statement

To identify, protect, and preserve Hillsborough's architectural resources and to educate the public about those resources and preservation in general. The Hillsborough Historic District presents a visual history of Hillsborough's development from the 1700s to the 1960s. In 1973, the town chose to respect that history through the passage of the preservation ordinance creating the historic district.

3. Agenda changes

4. Minutes review and approval

Approve minutes from regular meeting on October 1, 2025

Approve minutes from regular meeting on November 5, 2025

5. Old business

A. Certificate of Appropriateness (COA) Application: **311 W. Orange St.**-New construction house (PIN 9864883297)

B. COA Application: **206 S. Hillsborough Ave.**-convert the existing screened porch to glass, connect the existing screened porch to the house, and add a new screened porch (PIN 9864753647)

C. COA Application: **222 Lydia Ln.**-remove portion of front gable, add windows and pergola (PIN 9874274715)

D. COA Application: **225 E. Corbin St.**-replace nine windows (PIN 9874189986)

101 E. Orange St., PO Box 429, Hillsborough, NC 27278
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- E. COA Application: **217 S. Occoneechee St.**-repair house, remove rear corner additions, and replace rear roof with standing seam roof (PIN 9864850633)

6. New business

- A. COA Application: **109 N. Cameron St.**-construct a second driveway to the house from Cameron Street (PIN 9874163529)
- B. COA Application: **241 Lydia Ln.**- demolish the existing house and construct a 2,831 square foot new house with a breezeway and fence (PIN 9874280274)
- C. COA Application: **409 N. Wake St.**-demolish existing residence and construct new residence (PIN 9864984248)
- D. COA Application: **420 Calvin St.**-request for after-the-fact approval for second-floor window replacement (PIN 9864753302)

7. Elect vice chair

8. Adopt 2026 meeting schedule

9. General updates

10. Adjournment

Interpreter services or special sound equipment for compliance with the American with Disabilities Act is available on request. If you are disabled and need assistance with reasonable accommodations, call the Town Clerk's Office at 919-296-9443 a minimum of one business day in advance of the meeting.

Minutes

HISTORIC DISTRICT COMMISSION

Regular meeting

6:30 p.m. Oct. 1, 2025

Board Meeting Room of Town Hall Annex, 105 E. Corbin St.



Present: Chair Will Senner and members G. Miller, Sara Riek, Bill Warren and Daniel Widis

Absent: Vice Chair Hannah Peele

Staff: Planner Joseph Hoffheimer

1. Call to order, roll call, and confirmation of quorum

Chair Will Senner called the meeting to order at 6:30 p.m. He called the roll and confirmed the presence of a quorum.

2. Commission's mission statement

Senner read the statement.

3. Agenda changes

There were no changes to the agenda.

4. Minutes review and approval

Minutes from regular meeting on Sept. 3, 2025.

Motion: Member G. Miller moved to approve the minutes from the regular meeting on Sept. 3, 2025, with corrections. Senner seconded.

Vote: 5-0.

Corrections:

- Pg. 2, paragraph 2, second sentence: Change to "It was clarified that town sewer is not required for this lot..."
- Pg. 4, first paragraph, last sentence: Change to "Senner mentioned that because those larger trees are preserved..."
- Pg. 8, paragraph 9, first sentence: Change to "Miller raised the question of whether the west-facing facade..."

5. Old business

- A. Certificate of Appropriateness Application: 311 W. Orange St.
New construction house (PIN 9864883297).

Planner Joseph Hoffheimer said that the applicant has requested to continue the item to the November 5 regular meeting.

Motion: Senner moved to continue the 311 W. Orange St. application until the Nov. 5, 2025, regular meeting. Miller seconded.

Vote: 5-0.

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- B. Certificate of Appropriateness Application: 208 S. Cameron St.
West-facing addition in existing courtyard area (PIN 9874153612).

Senner reopened the public hearing.

Hoffheimer provided the staff comments:

- This application was continued from the September meeting. On Sept. 24, 2025, the applicant submitted a revised narrative, revised materials, revised elevations, and an alternative proposal for the revised brick color. All changes are indicated in the revised submittal documents.
- Staff still have general concerns about the plans to enclose the terrace and remain unaware of any similar commercial additions in the historic district.

Drew Wilgus introduced the changes to the application. He said most of the HVAC units, including the tallest ones, have been relocated to the north side of the building to be out of the way of public view. He added that this allows for more visibility of the dormers.

Wilgus said the changes in the application address the commissioners' concerns about the distinction between the old and new portions of the building. He said they planned to continue the existing foundation material into the addition, following their understanding of the design standards. He said that the awning has been changed to be shallower and with a more modern design.

Wilgus described the new parapet, which is now proposed to be about 18 inches tall, and the set-back gasket portions at the transition between the existing building and new addition end at roof level. He said the gaskets are meant to distinguish the center piece of the addition from the existing sides of the building.

Wilgus said the applicants were unable to find precedent for this exact scenario of the enclosure of a terrace on a commercial building.

He said the brick on the new addition is now proposed to be a buff color, and that the warmth of the color of the new brick and mortar are meant to complement the warmth of the existing brick.

Wilgus said the windows and lintels have a soldier course detailing to complement the existing detailing. He said the trim metal will be a bronze color to tie in with the existing patinaed copper.

Wilgus said the windows and doorways are now proposed to be aluminum storefront to distinguish the addition and reflect the current time of construction. He said the railings will be a picket style as shown before, painted bronze to match the trim metal.

Wilgus said the roofing is the same as in the previous version of the proposed design. He said the site plan and footprint have not changed.

Wilgus said the Board of Adjustment had approved a variance for the proposed ramp since the last meeting.

Wilgus showed the revised elevation showing the single remaining HVAC unit, which is placed so it does not obstruct the dormers in either elevation view or from the ground.

Wilgus said the continuation of the foundation brick helps to blend the new ramp into the facade, and that vegetative screening has been added in front of the ramp and in front of the relocated HVAC units at the northwest corner.

The commissioners expressed appreciation for the thoroughness and clarity of the submitted materials. Senner expressed appreciation for the thought and effort that went into developing the solution to move the HVAC units. Member Daniel Widis said he found the new design to incorporate an elegant solution to the differentiation between the new addition and the old building. He said he found the new brick color and the new window design to contribute to that differentiation. Senner agreed and added that the more modern canopy also helped to make the distinction. There was general agreement that either of the two proposed brick colors would be congruous with the district.

Miller said he found the removal of the gable to improve the congruity of the parapet. He said that he understands the recommendation to distinguish between old and new to be focused more on a historical context, and that the distinction is less important in this instance when both old and new are both modern.

Member Sara Riek referenced Additions to Commercial Buildings Design Standard 4, which recommends designing the addition to preserve the overall character of the building. She said she finds the new design to be more consistent with this design standard, and that moving the HVAC units to ground level allows the character of the building to be better preserved.

There was discussion of the approach of infilling the existing courtyard to build the addition. Senner said that it is understandable that there is not much precedent for this approach given that there are few commercial buildings in the historic district in the first place, and fewer with this type of shape with a courtyard. He said in his opinion thought and care has gone into designing this addition that is consistent with the design standards and congruous with the district. Senner said that in the absence of precedent, he feels comfortable relying on the commissioners' judgment of congruity. Member Bill Warren said that because the building is not historic, he sees the infilling of the courtyard to be less incongruous. Widis agreed, saying the purpose of the courtyard is up to the users of the building, and that it can be left up to them to decide whether infilling meets the needs of the building and its users. He said he would feel differently if this were a community amenity used by the public.

Miller said he finds the facade to be a character-defining view, and he believes enclosing the courtyard to have a major impact on the character of the building, against the recommendations of the design standards. He said he thinks the courtyard was integral to the original design of the building, and that the proposed design changes the feel of the building from a historical perspective.

Senner summarized the commissioners' discussion: The applicant has submitted a revised design to address the commissioners' comments regarding more intentionality in differentiating the addition from the original building, eliminating elements that are artificial in nature, and taking steps to minimize the aesthetic impact to the west facade to the extent possible.

Senner closed the public hearing.

Motion: Riek moved to find as fact that the 208 S. Cameron St. application is in keeping with the overall character of the Historic District and complies with all relevant standards of evaluation based on the commission's discussion of the application and the standards of evaluation in Section 3.12.3 of the Unified Development Ordinance because the plans are

consistent with the Historic District Design Standards: Exterior Walls; Windows; Doors; Roofs; Accessibility and Life Safety; Additions to Commercial Buildings; Utilities; Walkways, Driveways, and Off-Street Parking; and Awnings and Canopies. Senner seconded.

Vote: 4-1. Nay: Miller.

Motion: Riek moved to approve the application with conditions. Senner seconded.

Vote: 4-1. Nay: Miller.

Condition: The brick color will be one of the two presented in the proposal.

Miller noted that his opposition to approving the application is based on Additions to Commercial Buildings Design Standards 1 and 4.

6. New business

- A. Certificate of Appropriateness Application: 330 W. King St.
Construct new detached garage (PIN 9864769302).

Senner opened the public hearing. He asked if there were any conflicts of interest or bias among the commissioners. None were disclosed. All commissioners disclosed that they had visited the site in preparation for reviewing the application.

Hoffheimer was sworn in. Nathan Pittenger was sworn in to speak on behalf of the application.

Hoffheimer introduced the application by presenting the staff report. He noted that the inventory information, application materials, and applicable design standards would be entered into the record as evidence. He provided the staff comments:

- Older iterations of the historic inventory note a shed constructed in the 1930s on the property, but the most recent one does not. The materials on the shed proposed for removal are more recent.
- At the time the packet was sent out, the garage door material, window glass application, paint colors, retaining wall material, and proposed light fixtures still needed to be confirmed. The applicant later sent an email with an update on many of those elements. Staff noted the polystyrene insulated door, which is not addressed in the design standards. He said the commercial grade retaining wall material will also need to be confirmed.

Pittenger introduced the proposed project by explaining that the materials of the siding will match the house. He said the windows will be aluminum-clad wood. He explained that two different garage doors were proposed, with the intent of getting feedback from the commissioners about which would be most congruous. He said the polystyrene door has a wood-like look with skylight windows. He said he could not find any similar examples of new detached garages around the historic district.

Pittenger presented the site plan, including some trees to be removed that are less than 24 inches in diameter. He said the retaining wall will be 6 to 7 feet high and will be built from 8-inch x 14-inch, 80-lb. stacked blocks. He confirmed the wall will have a cap. He confirmed the showing edge will be the rougher edge with a split-face look. Pittenger said the wall will be 3 to 4 feet from the building, per code. He confirmed that none of the wall will be visible from public view, but he said the neighboring house on the west side will be able to see the wall from the back yard. Pittenger clarified that there is grade at the site, which does not show up clearly in the photos. He said the land grades up 6 feet from the driveway to the existing concrete pad.

Pittenger confirmed that all trees being removed are under the 24-inch threshold.

Pittenger said he did not know the square footage of the main house. He said the garage will be 28 feet x 32 feet and will be 1600 square feet total. The commissioners observed that the existing house has a large footprint on a relatively large lot, so there was not concern that the new garage would overwhelm the existing house or the site. It was noted that the garage is appropriately sited to the rear of the lot. The commissioners generally agreed that the massing and siting were appropriate.

Pittenger said he spoke with two electricians who gave two separate options for the electric pole. He said the wire comes in from North Occoneechee Street, and that one option is to put the electric meter on the south side of the garage and run the wire underground to the panel in the house. He said the other option is to install a pole on the south side of the garage and run a wire underground to the house and another one underground back to the panel in the garage.

Pittenger confirmed there will be no other materials introduced to the site beyond the garage and the gravel walkway.

The commissioners reviewed the right and front elevations. Pittenger confirmed the siding will be horizontal.

Pittenger said the finish material on the Option 1 garage door would be aluminum with a wood look finish. The commissioners were not concerned with the compatibility of the garage door materials, as they are listed within the compatibility matrix.

Pittenger clarified that the elevations show 9-over-9 windows, but that the actual windows will not have muntins. He said the house has a variety of window styles, with some 3-over-1 and some 1-over-1. He said the proposed work reflects the 1-over-1 windows of the existing house.

Pittenger said there will be one light on each side of the garage door, and he will need to confirm how many lights will go above the car entry doors on the garage, which he said he will communicate with staff about.

The commissioners reviewed the left and rear elevations. Pittenger reconfirmed the siding will be horizontal and the windows will be 1-over-1.

There was discussion of the options of a parged versus a brick foundation. The proposed work includes a parged foundation, but the existing house has a brick foundation. The commissioners were not concerned with the congruity of a parged foundation, since the garage will be tucked back in the rear of the site with minimal visibility. They said it would also differentiate the new addition from the existing historic structure.

On the typical wall section, Pittenger confirmed that the soffit will be aluminum, but that the plans show a call-out to a vinyl soffit. He clarified that that was a typical detail that did not get updated, in error.

There was discussion of the age of the existing shed. Senner said that although the age of the shed is unknown, all evidence points to the shed being built significantly more recently than the house. Pittenger confirmed that he believes the shed to be newer based on the materials used on the exterior and the

roof. He confirmed that the structure inside also appears to be newer, and there is no indication that the shed was renovated from a historic structure.

There was discussion of the congruity of the overall plans, especially given the siting of the garage so far back on the site and its minimal public visibility.

Pittenger confirmed there will be no changes to the driveway, but there will be a concrete apron in front of the garage.

Senner closed the public hearing.

Senner summarized the commissioners' discussion: The commissioners did not find any elements of the proposal that were incongruous with the historic district. The garage was massed and sited appropriately for the house and the lot, consistent with the design standards and other garages in the district at the rear of the property. The materials were all consistent with the compatibility matrix and compatible with both the historic district and the main house. The applicant provided clarification that the windows would be 1-over-1 instead of 9-over-9 as shown. The commissioners found that either of the two garage options would be consistent with the design standards and the compatibility matrix, the first option being wood-look aluminum.

Senner re-opened the public hearing.

Pittenger agreed to send a lighting cut sheet to staff.

Senner closed the public hearing.

Motion: Miller moved to find as fact that the 330 W. King St. application is in keeping with the overall character of the Historic District and complies with all relevant standards of evaluation based on the commission's discussion of the application and the standards of evaluation in Section 3.12.3 of the Unified Development Ordinance because the plans are consistent with the Historic District Design Standards: New Construction of Outbuildings and Garages; and Fences and Walls. Senner seconded.

Vote: 5-0.

Motion: Miller moved to approve the application with conditions. Senner seconded.

Vote: 5-0.

Conditions:

- Windows will be 1-over-1.
- A cut sheet of the lights will be sent to staff for approval.

B. Certificate of Appropriateness Application: 332 W. Tryon St.

Add two shed dormers to the rear roof and construct a small pool in the back yard (PIN 9864883297).

Senner opened the public hearing. He asked if there were any conflicts of interest or bias among the commissioners. None were disclosed. All commissioners disclosed that they had visited the site in preparation for reviewing the application.

Anton Wilson and David Cates were sworn in to speak on behalf of the application. Cam Cover, a neighbor across the street, was not sworn in, but she said that she and other neighbors had no concerns about the application.

Hoffheimer introduced the application by presenting the staff report. He noted that the inventory information, application materials, and applicable design standards would be entered into the record as evidence. There were no staff comments on the application. Hoffheimer reminded the commissioners that the landscaping and fencing could be approved as a minor work and that staff had no objections to those parts.

Cates began by submitting two emails from other neighbors in support of the proposal.

The commissioners reviewed the site plan. Senner noted that it is not shown on the site plan, but there is a fair bit of existing vegetation that is located east of the existing driveway pull-in that provides screening toward the area of the proposed pool. Cates added that there is a lot of vegetation around the perimeter of the yard.

Cates clarified that the “steps as necessary” comment refers to an extension of the existing brick steps. He said one or two additional brick steps may need to be built.

Cates addressed the note on the site plan “Exist. metal fence to be adjusted as necessary.” He said the existing fence is too close to where the pool is proposed to be sited, so the fence will likely need to be moved east a few feet. He confirmed the fencing material would remain the same. Cates clarified that the northern part of the fence intersects with another gated fence on the west side, and that the enclosure will meet pool fencing requirements, as it is 48 inches high.

The commissioners reviewed the rear elevation. It was observed that these elevations are in the rear of the property, and that the applicant had raised the point that there are many instances of rear dormer additions in the historic district. It was noted that this is a corner lot, but acknowledged that rear dormers are congruous with the district.

Cates said the design took the existing dormer and duplicated it, which was intended to add some symmetry to the imbalanced existing design. It was noted by commissioners that the single dormer is not a historic element, so modification is more appropriate than if it were historic.

It was acknowledged that the proposed design follows many of the design standards: the addition is on non-character-defining elevations; the scale is proportional and does not overpower the primary building; the addition preserves the overall character; it is subordinate to the roofline; the windows are compatible with the existing structure; and the materials are compatible.

The commissioners reviewed the west elevation. Cates addressed the reason behind changing the siding on the existing dormer. He said the most recent rear addition was built with board and batten, and the homeowners wanted to relate that dormer to the vintage of the new addition and distinguish it from the rest of the existing house. He explained that all three sides of the existing dormer will be re clad to match the new dormers.

The commissioners reviewed the east elevation.

Cates said the standing seam roof over the small portion of roof in the rear is a common architectural style, which helps to provide some contrast. He said the existing roof over the most recent kitchen addition was standing seam, so the homeowners wanted to connect those elements stylistically.

Cates said there will be minimal grade change over the course of the retaining wall. Cates confirmed the grade falls off to the east, and the commissioners acknowledged that the visibility of the wall will be minimal.

Senner summarized the commissioners' discussion: There were no elements of the application that the commissioners found concerning. The commissioners appreciate that the dormers have been added to the rear of the property in a way that is not overpowering of the primary structure, with materials that are compatible with the compatibility matrix and consistent with the design guidelines of the historic district. While the existing dormer is being modified and reclad, it is not a historic element. The proposed pool is in the rear of the property and sited in a way that is consistent with the design standards and compatible with the historic district. The adjustment of the existing fence is consistent with the design standards.

Senner closed the public hearing.

Motion: Riek moved to find as fact that the 332 W. Tryon St. application is in keeping with the overall character of the Historic District and complies with all relevant standards of evaluation based on the commission's discussion of the application and the standards of evaluation in Section 3.12.3 of the Unified Development Ordinance because the plans are consistent with the Historic District Design Standards: Additions to Residential Buildings; Site Features and Plantings; Walkways, Driveways, and Off-Street Parking; and Fences and Walls. Senner seconded.

Vote: 5-0.

Motion: Riek moved to approve the application as submitted. Senner seconded.

Vote: 5-0.

C. Certificate of Appropriateness Application: 319 W. Margaret Lane
Add ground-floor suite and deck and revise roof deck (PIN 9864852733).

The public hearing was not formally opened.

Fred Stewart was sworn in to speak on behalf of the application.

Senner asked whether there were any conflicts of interest or bias among the commissioners. None were disclosed. All commissioners disclosed that they had visited the site in preparation for reviewing the application.

Hoffheimer introduced the application by presenting the staff report. He noted that the inventory information, application materials, and applicable design standards would be entered into the record as evidence. He provided the staff comments:

- The applicant has confirmed that the new siding and trim will be wood, matching the existing in size and color, and the roofing will be fiberglass, asphalt shingle in medium gray color.
- The windows will be aluminum-clad wood in white to match existing as closely as possible.
- Trellises are not directly mentioned in the standards but are allowed as minor works.

Stewart said the two main objectives of the project were to add a ground-floor suite for aging in place and to take better advantage of the view and connection to the back yard. He said that in the process the homeowners hope to better integrate the look of the back roof deck into the design of the rest of the house.

Stewart said the foundation of the existing house is painted concrete block, so the proposed plan matches those foundation materials. He presented the site plan and new footprint.

Stewart addressed the existing window on the east side of the house that is proposed to be infilled.

Stewart addressed the differentiation between the existing house and the addition. He said the gable on the east side, from an addition in the 1980s, is flatter than the rest of the gables, so rather than adding a third design ethos by adding something even more modern looking, he chose to duplicate the flatter gable, which he said will be read as different from the rest of the Queen Anne Victorian style of the rest of the existing house. He said the addition will be visible from the street. Stewart showed where the previous addition was located on the floor plan, which he believes to be the entire southern portion of the house. He confirmed that the roofline is the main feature that will distinguish the addition from the rest of the house. It was observed by commissioners that the positioning of the addition helps to distinguish it, since it is set off to the side of the original house. There was general agreement that the addition does not look like it was built as part of the original house.

The commissioners reviewed the front elevation.

Stewart confirmed that the roof deck will remain, but that the overhang is being removed, so the deck will be narrowed slightly.

It was observed that the addition is substantially set back from the front facade of the house and is clearly subordinate to the existing structure in massing, scale, and location. There was not concern that the addition detracts from the character defining elements of the front facade.

Stewart confirmed the post that is visible from the front of the house will be painted wood and will be the same materials and dimensions as the existing porch posts. He clarified they will be square like the porch posts, but not round like the front portico posts.

The commissioners reviewed the east elevation.

The commissioners reviewed the south elevation. Stewart said the white sliding doors will be aluminum-clad.

The commissioners reviewed the west elevation.

Senner summarized the commissioners' discussion: There was no concern among the commissioners about elements that might be incongruous with the historic district or inconsistent with the design standards. The proposed addition is set back from the front facade, distinguished from the primary massing of the original home in a way that does not detract from the character of the front facade. It is distinguished from the primary structure through its roofline, as read from the front of the house. The materials being used are all consistent with the compatibility matrix and congruent with the original home and other homes in the district.

Senner closed the public hearing.

Motion: Widis moved to find as fact that the 319 W. Margaret Lane application is in keeping with the overall character of the Historic District and complies with all relevant standards of evaluation based on the commission's discussion of the application and the standards of evaluation in Section 3.12.3 of the Unified Development Ordinance because the plans are consistent with the Historic District Design Standards: Additions to Residential Buildings; Decks; Doors; and Windows. Riek seconded.

Vote: 5-0.

Motion: Widis moved to approve the application as submitted. Miller seconded.

Vote: 5-0.

7. Elect officers

There was discussion of the process for election of officers for next year.

Hoffheimer assumed the chair. He opened the floor for nominations by board members for the chair.

Nomination: Miller nominated Senner for role of chair. Warren seconded. Senner accepted the nomination.

Vote: 5-0. Abstained: Senner.

The commissioners postponed the election of vice chair until the next meeting.

8. General updates

Hoffheimer provided updates about required Certified Local Government reporting.

There was discussion of the town's parking study.

8. Adjournment

Senner adjourned the meeting at 7:53 p.m. without a vote.

Respectfully submitted,



Joseph Hoffheimer
Planner
Staff support to the Historic District Commission

Approved: Month X, 202X

Minutes

HISTORIC DISTRICT COMMISSION

Regular meeting

6:30 p.m. Nov. 5, 2025

Board Meeting Room of Town Hall Annex, 105 E. Corbin St.



Present: Chair Will Senner and member G. Miller

Absent: Vice Chair Hannah Peele and members Sara Riek, Bill Warren and Daniel Widis

Staff: Planner Joseph Hoffheimer

1. Call to order, roll call, and confirmation of quorum

Chair Will Senner called the meeting to order at 6:37 p.m. He called the roll. Not enough members were present to constitute a quorum.

2.-9. Agenda items

Agenda items 2-9 were not discussed due to lack of a quorum.

10. Adjournment

Senner adjourned the meeting at 6:37 p.m. without a vote.

Respectfully submitted,

A handwritten signature in black ink, reading "Joseph Hoffheimer".

Joseph Hoffheimer

Planner

Staff support to the Historic District Commission

Approved: Month X, 202X

ITEM #5. A:

Address: 311 W. Orange St.

Year Built: NA (new construction)

Historic Inventory Information (2013): NA (new construction)

Proposed work

- New construction house

Application materials

- COA application
- Narrative
- List of materials
- Elevations
- Floor plans
- Site plan

Applicable Design Standards

- *New Construction of Primary Residential Buildings: 1-11*
- *New Construction of Outbuildings and Garages: 1-7, 9, 10*
- *Walkways, Driveways, and Off-Street Parking: 8-10*

Staff Comments

- This application is being continued from the August, September, October, and November HDC meetings. The applicant has submitted an updated application that includes the following major changes from the initial proposal:
 - The garage is set back further from the front line of the house and is less visible.
 - The roof pitches are wider, and curves have been eliminated.
 - Several exterior materials have changed, and all appear to comply with the compatibility matrix. Notably, the siding is now entirely Hardie plank.
 - The driveway has been adjusted to preserve an additional tree.



TOWN OF
HILLSBOROUGH

APPLICATION Certificate of Appropriateness and Minor Works

Planning and Economic Development Division
101 E. Orange St., PO Box 429, Hillsborough, NC 27278
919-296-9470 | Fax: 919-644-2390
planning@hillsboroughnc.gov
www.hillsboroughnc.gov

9864 _88 _3297

Orange County Parcel ID Number

R-20

Zoning District

311 W. Orange St.

Address of Project

Hoeken Design Build

HTKT Investments, LLC

Description of Proposed Work: New construction single family home

Estimated Cost of Construction: \$ 450,000

The Historic District Design Standards, Exterior Materials Compatibility Matrix, and Certificate of Appropriateness application process can be found on the Town of Hillsborough's website: <https://www.hillsboroughnc.gov/hdc>.

Applicant and Owner Acknowledgment and Certification

I am aware that Historic District Design Standards, Exterior Materials Compatibility Matrix, and Unified Development Ordinance requirements are the criteria by which my proposal will be evaluated for compatibility, and I certify that I, and/or my design professional under my direction, have reviewed my application materials with Planning Staff for compliance to the standards in those adopted documents. I understand that I, or my representative, must attend the HDC meeting where this application will be reviewed. I further understand that town employees and/or commissioners may need access to my property with reasonable notice to assess current conditions, and to assist them in making evidence-based decisions on my application and that I am not to speak to any commissioner about my project until the public meeting at which it is under consideration.

Applicant's Signature (Optional)

6/24/2025

Date

Property Owner's Signature (Required)

6/24/2025

Date

Submittal Requirements

The following documents and plans are required to accompany your COA application in order for it to be deemed complete and scheduled for commission review. Planning staff will determine when all submittal requirements have been met. The first FOUR complete COA applications submitted by the deadline will be heard on any HDC agenda.

All applications must include the following documents and plans:

(Provide a digital copy if plans are larger than 11"x17")

- Detailed narrative describing the proposed work and how it complies with all adopted standards.
- Existing **and** Proposed Dimensioned Plans (see below):
 - Site Plan (if changing building footprint or adding new structures, impervious areas or site features, including hardscaping)
 - Scaled Architectural Plans (if changing building footprint or new construction)
 - Scaled Elevations (if adding or changing features of a structure)
 - Landscaping Plans (required for all new construction and for significant landscaping or tree removal and re-planting)
 - Tree Survey (required for new construction when trees over 12" diameter at breast height are on site - show both existing and those to be removed)
 - Sign Specifications (if adding, changing, or replacing signage)
- Itemized list of existing and proposed exterior materials including photos and specifications, colors, etc. (Siding, trim and fascia, roof and foundation materials, windows, shutters, awnings, doors, porch and deck flooring, handrails, columns, patios, walkways, driveways, fences and walls, and signs, etc.).
- Photographs, material samples, examples of comparable properties in the district (if using them as basis for specific designs), plans, or drawings that will help to clarify the proposal, if applicable, or if required by staff as part of the review.

Staff Use Only:**COA fee (\$1 per \$1000 of construction costs, \$150 minimum) or****Minor Works fee (\$1 per \$1000 of construction costs, \$25 minimum):**

Amount: \$ _____

☐ After-the-fact application (\$300):

Amount: \$ _____

Total Due: \$ _____

Receipt #: _____

Received by: _____

Date: _____

This application meets all Unified Development Ordinance requirements and has been reviewed for compliance with all approved materials.

☐ N/A ☐ Yes

Zoning Officer: _____

This application meets public space division requirements.

☐ N/A ☐ Yes

Public Space Manager: _____

Historic Architectural Inventory Information

Original date of Construction: _____

Description of the Property: _____

Applicable Design Standards: _____

Other reviews needed?

☐ Hillsborough Zoning Compliance Permit ☐ Orange County Building Permit ☐ Other: _____**Minor Works Certificate of Appropriateness Application Decision**☐ Approved ☐ Referred to HDC

Minor Works Reference(s): _____

Certificate of Appropriateness Decision☐ Approved ☐ Denied

Commission Vote: _____

Conditions or Modifications (if applicable): _____

Historic District Staff Signature_____
Date

311 W. Orange St. Hillsborough - Detailed Narrative

Our proposal for a new ~2800 sqft residence at 311 W. Orange St. Hillsborough represents a thoughtful integration of contemporary living with a deep respect for the historic character of the neighborhood. We understand the commission's desire for new construction that contributes positively to the area's evolving architectural landscape, offering fresh perspectives rather than direct replication of historic styles.

Our design prioritizes minimal environmental impact, with careful consideration given to tree preservation and grading. We've worked closely with the septic company to ensure the system's installation has minimal impact on existing trees and the surrounding landscape, maintaining the wooded feel that defines many properties in Hillsborough. The adjusted front driveway further supports this goal, both by preserving additional trees and strategically positioning the wood-tone garage to be less visible, allowing the natural surroundings to take prominence.

The exterior materials have been meticulously selected to align with the compatibility matrix provided by staff, ensuring a harmonious visual relationship with the existing streetscape. The brick front foundation and traditional architectural elements evoke the enduring charm of homes built throughout Hillsborough's history, while the use of high-quality clad or fiberglass windows and painted Pressure Treated wood for front porch rails speaks to modern durability and aesthetic. The garage, set back nearly 15 feet from the front porch, is intentionally de-emphasized, allowing the home's primary architectural features to shine.

This design is a testament to our commitment to creating a home that is both distinctly "new" in its approach to sustainability and contemporary living, yet deeply rooted in the timeless appeal of Hillsborough's architectural heritage. It offers a fresh interpretation of residential design, demonstrating how innovation can coexist gracefully within a historic district.

311 W. Orange, Hillsborough - Itemized list of exterior materials

Siding: hardie plank cedar mill siding

Corner Boards: hardie plank

Fascia: hardie plank

Soffit: hardie plank

Window material: fiberglass or aluminum clad

Window trim: hardie plank

Front Porch columns: masonry brick on bottom, painted trim on top

Front Porch rails: painted wood

Front porch steps: masonry brick unpainted

Foundation front: masonry brick unpainted

Foundation sides and rear: parged block

Garage door: Wood colored painted to similarly resemble the front door tones

Rear screened porch: Pressure treated lumber

Rear screened porch rails: pressure treated lumber

Roof: GAF weathered wood 30 yr architectural shingle

Gutters: black aluminum

Front door: TDL mahogany wood

Side door: Steel

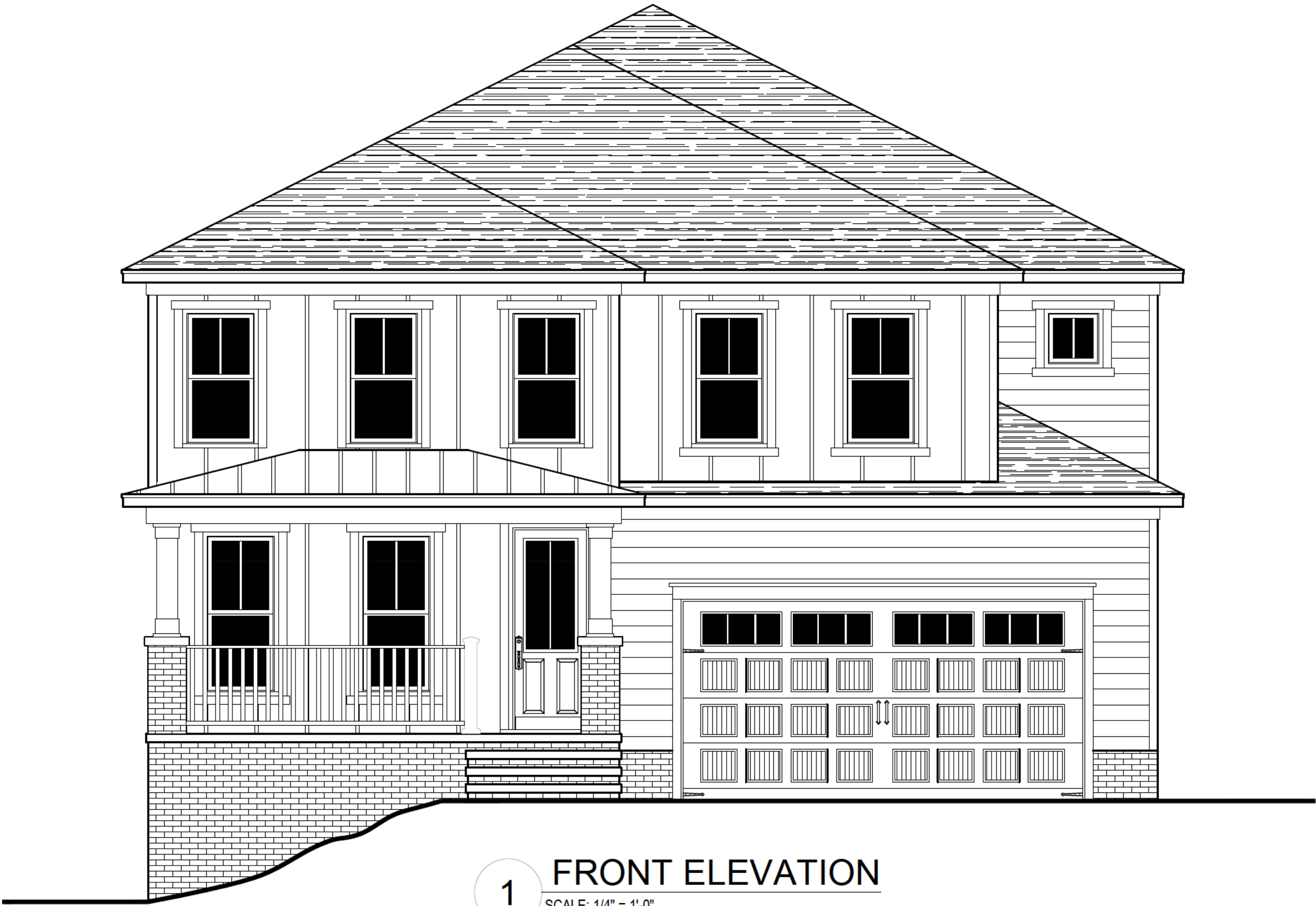
Driveway and Sidewalk: Concrete



General Elevation Notes

General Elevation Notes shall apply unless noted otherwise on plan.

- 1. Roof shall be finished with architectural composition shingles with slopes as noted on plan.
- 2. Ridge Vent shall be provided and installed on all ridges greater than 6' in length per manufacturer's specifications.
- 3. Soffit Vent shall be continuous soffit vent
- 4. House Wrap, "Tyvek" or approved equal shall be installed over entire exterior wall per manufacturer's specifications and recommendations.
- 5. Flashing shall be provided above all door and window openings, above finish wall material changes and at wall surfaces where lower roof areas abut vertical wall surfaces.
- 6. Porch Railings shall be provided at all porch walking surfaces greater than 30" above adjacent finished grade. It shall be 36" high with guards spaced no more than 4" apart. Consult community specifications for material.
- 7. Finish Wall Material shall be as noted on elevation drawings.



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

Robert Bridges Home Design
SIGNATURE SERIES

This plan is the property of Robert Bridges Home Design, Inc. and may not be used or reproduced without the written consent of RBDH, Inc. These drawings are offered to the named client for a conditional use only and are not to be used for any other purpose. RBDH, Inc. assumes no liability for any errors or omissions in these drawings. Contractor or builder shall verify all dimensions and materials before construction. Changes must be executed when making changes to these drawings. If changes are made, they must be drawn and signed by RBDH, Inc.

Drawn By: RWB
Checked By: RWB
Date: 10-20-2025

Revision No.	Revision Date

Client:
Title:
FRONT & LEFT ELEVATIONS 'A'

Project Number
25-008
Plan No.
2891
EL-1
Sheet No. Of

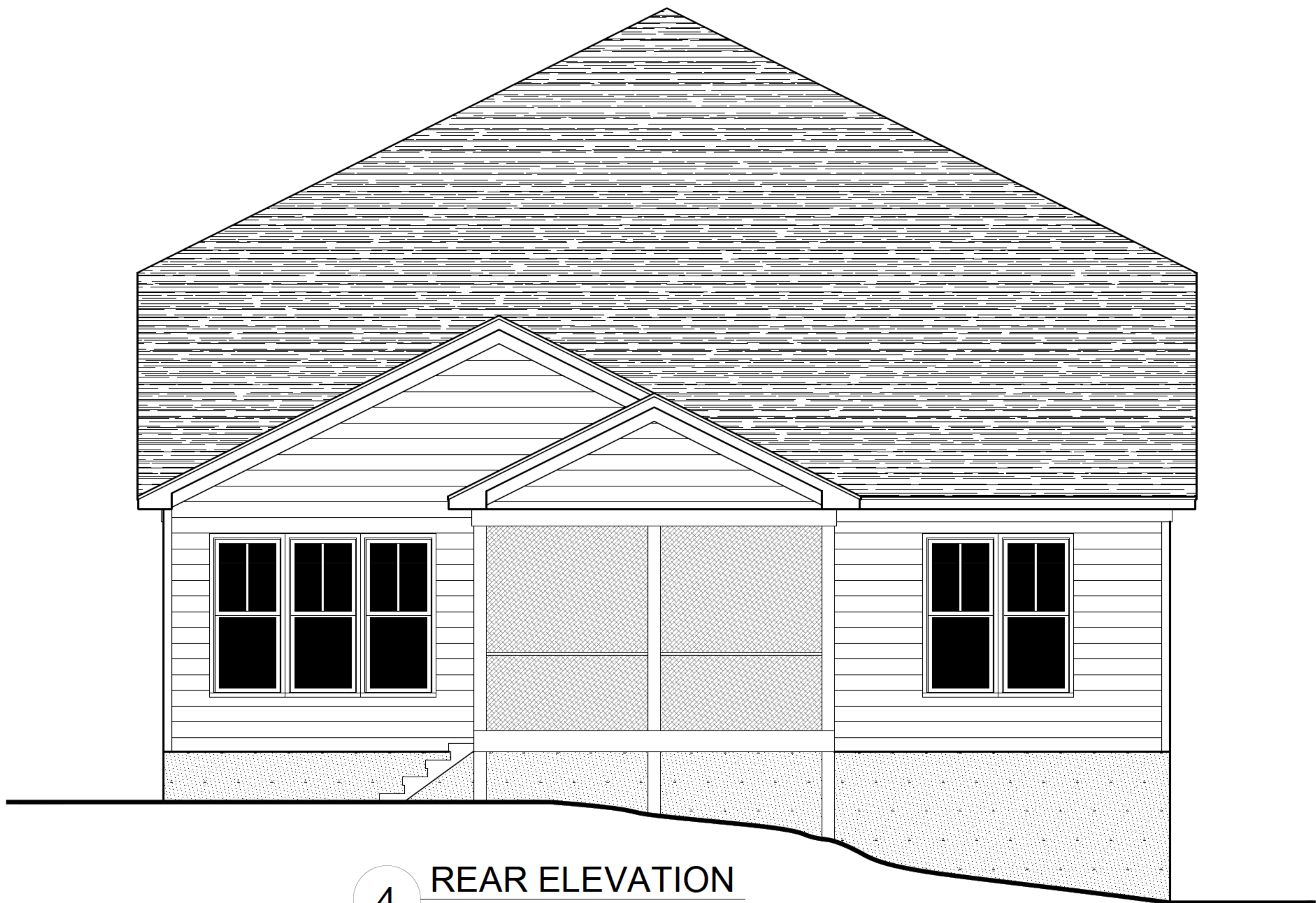
General Elevation Notes

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- 6. Porch Railings shall be provided at all porch walking surfaces greater than 30" above adjacent finished grade. It shall be 36" high with guards spaced no more than 4" apart. Consult community specifications for material.
- 7. Finish Wall Material shall be as noted on elevation drawings.



3 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION
SCALE: 1/4" = 1'-0"

Robert Bridges Home Design
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Drawn By:	RWB
Checked By:	RWB
Date:	10-20-2025
Revision No.	Revision Date

Client:

Title:
REAR & RIGHT
ELEVATIONS 'A'

Project Number

25-008

Plan No.

2891

EL-2

Sheet No.

Of

General Floor Plan Notes

General Floor Plan Notes shall apply unless noted otherwise on plan.

1. Wall Heights: Typically 9'-1-1/2" at basement and first floor, and 8'-1 1/2" at bonus room, U.N.O.. All walls are constructed using a double top plate. Splices at Double Top Plate do not need to occur at Vertical Studs but must be at least 24" apart from Joint in other Top Plate layer. Special wall heights are noted on plans where they occur.
2. Wall Thickness is shown 4" at both exterior and interior walls U.N.O. 2x6 frame shall be used at walls that back up to plumbing fixtures. Walls greater than 10' high shall be framed with 2x6 framing or greater and will be noted as a special condition where it occurs on plan.
3. Header height shall be 7'-4" AFF at basement, 7'-8" AFF at first floor, and 7'-0" AFF at second floor, unless noted otherwise.
4. All headers for exterior windows and doors are (2) 2x10 unless noted otherwise. Headers for interior doors shall be a min (2) 2x6
5. Jacks: Openings up to 3'-4" wide shall have (1) 2x4 jack stud SPF on each side. Openings greater than 3'-4" wide shall have (2) 2x4 jack studs SPF on each side.
6. Soffits, Coffered Ceilings, Trey Ceilings and other significant ceiling plan elements are shown on the floor plans and are denoted as single dashed lines. Unless specifically call out as included, Kitchens do not include soffits over wall cabinetry.
7. Door & Window Frames, where occurring near corners, shall be a minimum of 4" from corner. Except for walk-in closets with doors near a corner, doors at closets shall be centered on closet.
8. Windows: Shall have at least (1) window in each sleeping room, that meets egress. Shall be provided with tempered glass at hazardous glazing areas. False windows shall be installed with obscure glazing.
9. Handrails and Guards at stairs shall be 34" above the finished surface of the ramp surface of the stair. Handrails at landings and overlooks of multilevel spaces shall be 36" above finished floor. Guards (pickets or balusters) shall be spaced so that a 4" cannot pass through the guards.
10. Attic Access shall be provided at all attic area with a height greater than 30". Minimum clear attic access shall be 20" x 30". Pull down stairs and access doors in knee walls meeting minimum criteria are also acceptable.
11. Garage Door to Living Space shall be 2'-8" x 4'-8" minimum size and shall be 20 minute fire rated and weather sealed.
12. Provide 1/2" (minimum) gypsum board separation at walls and ceilings adjacent to the main house and attic areas. With habitable space above, the inside of all garage walls require 1/2" GWB supporting 5/8" type X GWB on ceiling.
13. Provide the following minimum thermal protection for each wall, floor, etc. in the building thermal envelope:

Ceilings:

Walls:

Canflevered Floors:

Crawl Floors:

Basement Walls:

R-30 (energy heel)

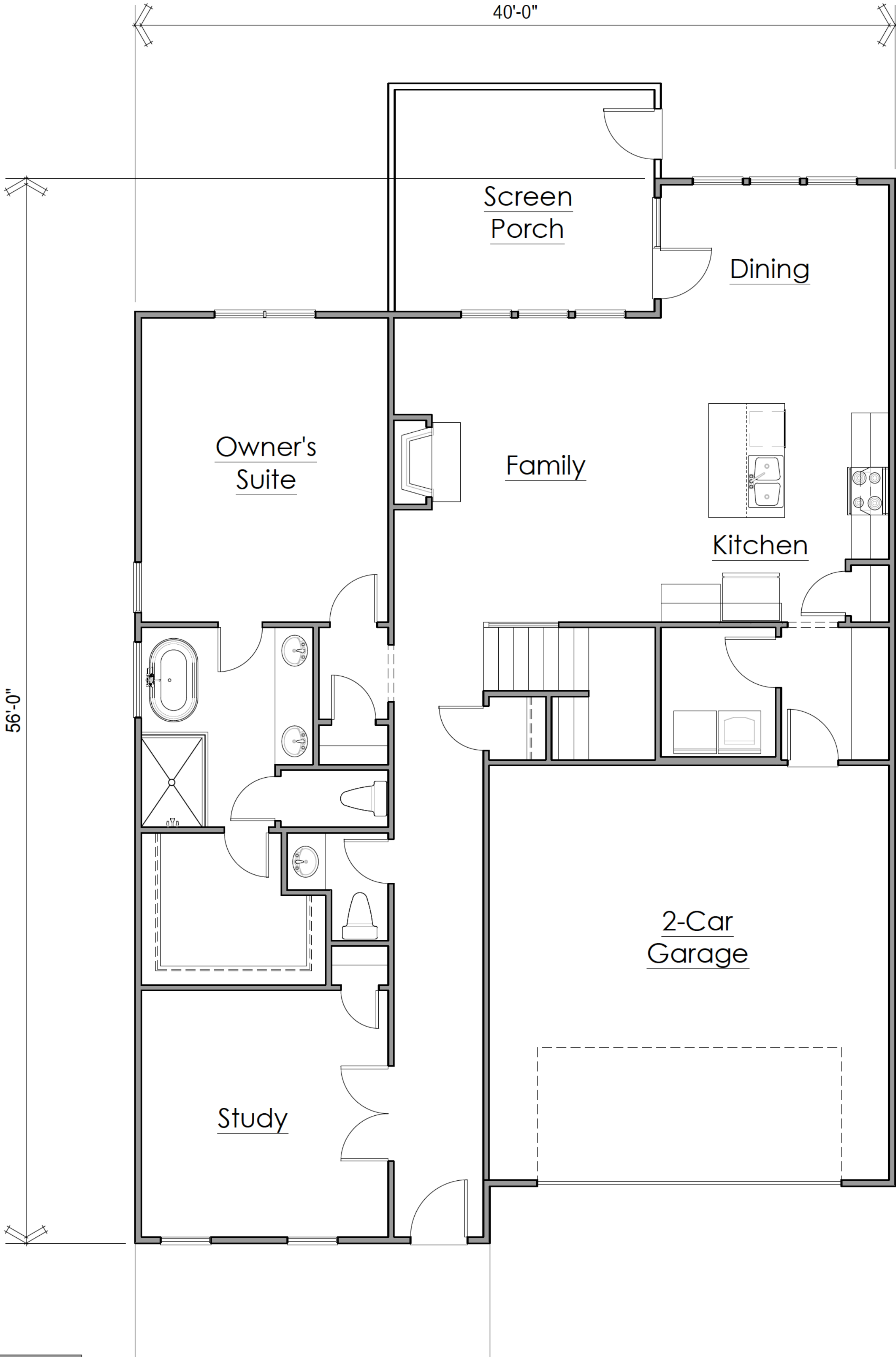
R-15

R-19

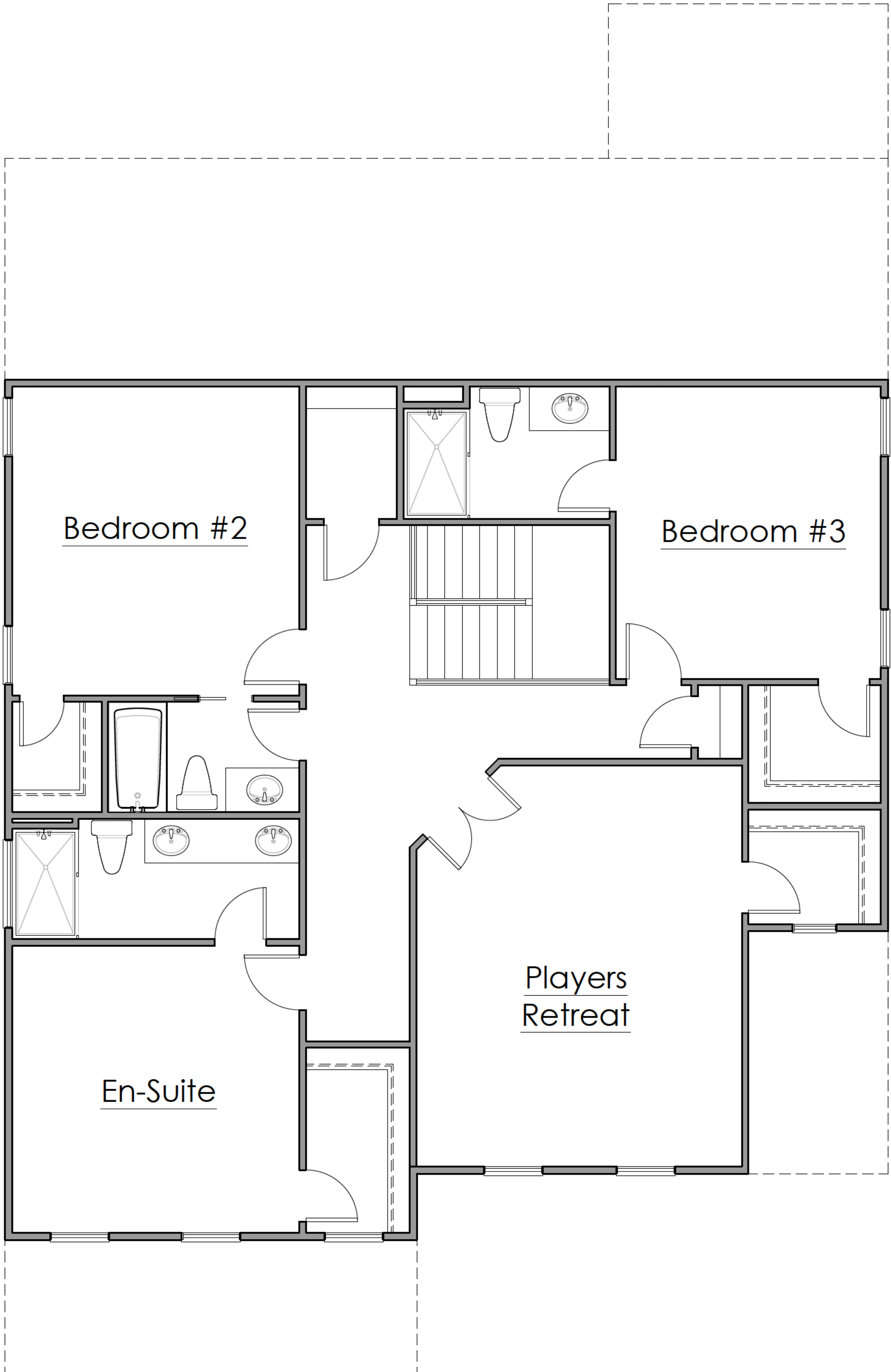
R-19

R-10 / R-15
14. Wall bracing is per the CS-WSP method of R602.10.3.1, of the current North Carolina Residential Code, unless noted otherwise.

SQUARE FOOTAGE		
	HEATED SQUARE FT.	UNHEATED SQUARE FT.
FIRST FLOOR	1512	
SECOND FLOOR	1379	
FRONT PORCH		112
SCREEN PORCH		170
2 CAR GARAGE		473
TOTAL	2891	755



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Robert Bridges Home Design
SIGNATURE SERIES

This plan is the property of Robert Bridges Home Design, Inc. and may not be used or reproduced without the written consent of RBHD, Inc. These drawings are offered to the named client for a conditional use only and are not to be used for any other purpose. RBHD, Inc. assumes no liability for any errors or omissions in these drawings. Contractor or builder shall verify all dimensions and conditions before construction. Caution must be exercised when making changes to these drawings. Changes shall be noted on these drawings. Contact RBHD, Inc.

Drawn By:	RWB
Checked By:	RWB
Date:	10-20-2025
Revision No.	Revision Date

Client:

Title:
FIRST FLOOR
PLAN

Project Number

25-008

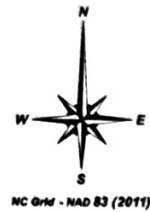
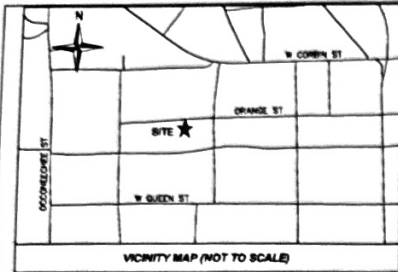
Plan No.

2891

A-1

Sheet No.

Of



ABBREVIATION LEGEND	
IF IRON REBAR FOUND	IF IRON PIPE FOUND
N/F NOW OR FORMERLY	OF COMPLETED POINT
DB DEED BOOK	PF PLAT BOOK

LINE AND SYMBOL LEGEND	
---	PROPERTY LINE (PL)
---	IF IRON PIPE FOUND
---	IF IRON REBAR FOUND
---	EDGE OF CONCRETE
---	SE BRANCH
---	TOP OF BANK
---	STORM DRAINAGE PIPE
---	FIRE HANGAR
---	SOFTWOOD TREE
---	HARDWOOD TREE
---	PIN FLAG

- GENERAL NOTES**
1. THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.
 2. BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD83 (2011).
 3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
 4. AREA IS COORDINATE GEOMETRY.
 5. REFERENCES: DB 8852 PG 582, PG 51 PG 51, OF THE ORANGE COUNTY REGISTRY, PIN: 8064883297.
 6. THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY, SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
 7. FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A. F.I.R.M. COMMUNITY PANEL.
 8. (STORMWATER) DATED 11/17/2017.
 9. NO EASEMENTS OR RESTRICTIONS KNOWN AT TIME OF SURVEY. FURTHER RESTRICTIONS MAY APPLY. CONTACT: HILLSBOROUGH PLANNING DEPT FOR FURTHER VERIFICATION.
 10. ZONE: R-20. SETBACKS: FRONT 30', REAR 30', SIDE 20'. PER: PG 51 PG 51. FURTHER RESTRICTIONS MAY APPLY. CONTACT: HILLSBOROUGH PLANNING DEPT FOR FURTHER VERIFICATION.
 11. NO NOISE MONUMENTS FOUND WITHIN 3000 FEET.
 12. NO ENVIRONMENTAL FEATURES LOCATED OR CONSIDERED AT THE TIME OF THIS SURVEY. THE DETECTION OF SURFACE AND SUBSURFACE UTILITIES IS BORROWED SOLELY FROM VISIBLE EVIDENCE. CONTACT RELEVANT UTILITY COMPANIES FOR COMPREHENSIVE UTILITY INFORMATION AND EASEMENT DETAILS.

MEASUREMENTS
 BUILDING = 152.8'
 TOTAL IMPROVEMENTS = 152.8'
 TOTAL LOT AREA = 2172.0'
 PERCENT IMPROVEMENTS = 6.7%

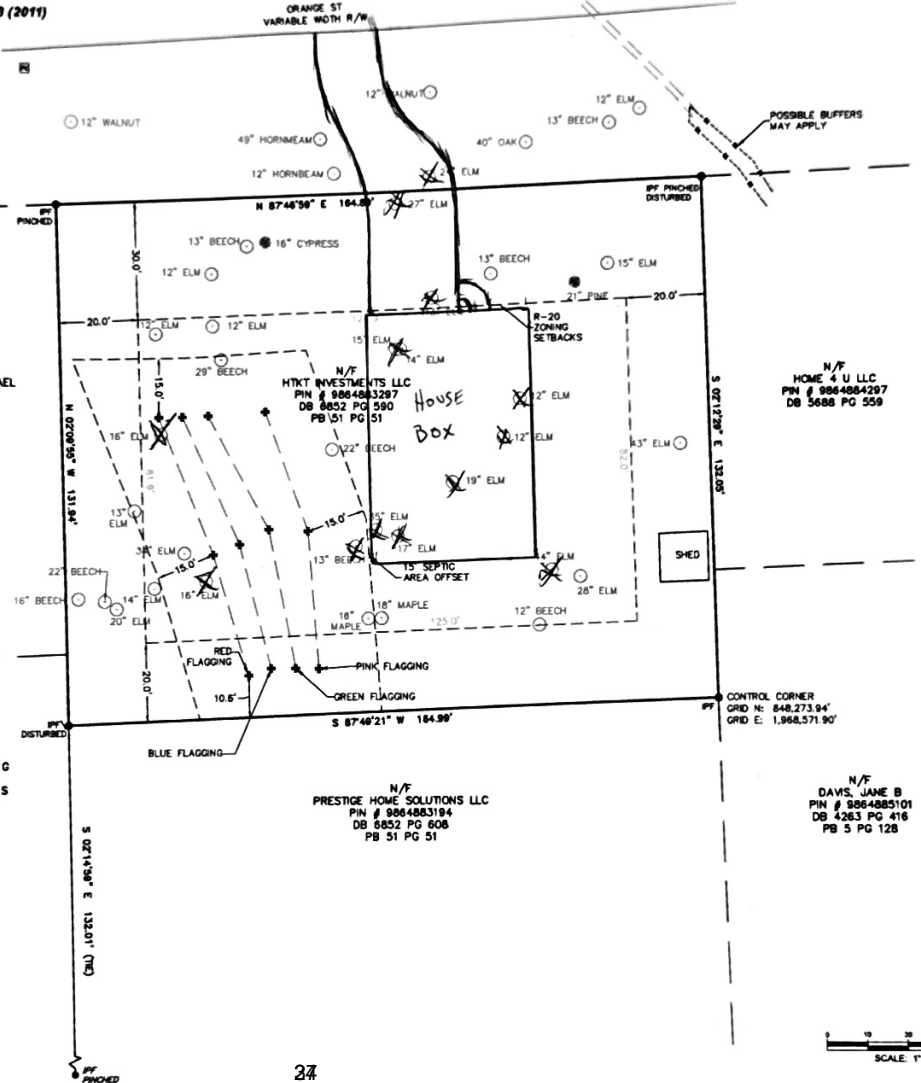
N/F
 BURTON, ANN SMITH
 TON, CHARLES MICHAEL
 PIN # 9864882268
 DB 6840 PG 82
 PB 56 PG 181

N/F
 CARTER, MARGARET G
 FREELAND, SHARON S
 PIN # 9864882157
 DB 1728 PG 36
 PB 5 PG 133

N/F
 PRESTIGE HOME SOLUTIONS LLC
 PIN # 9864883194
 DB 5852 PG 608
 PB 51 PG 51

N/F
 HOME 4 U LLC
 PIN # 9864884297
 DB 5688 PG 559

N/F
 DAVIS, JANE B
 PIN # 9864885101
 DB 4263 PG 416
 PB 5 PG 128



PRELIMINARY PLAT
 NOT FOR CONVEYANCE OR SALES;
 PLANNING DEPT. REVIEW PURPOSES ONLY
PRELIMINARY PLAT
 NOT FOR CONVEYANCE OR SALES;
 PLANNING DEPT. REVIEW PURPOSES ONLY
 PLAT SUBMITTED FOR REVIEW PURPOSES ONLY
 L-6276
 ADAM R. CANOY
 LAND SURVEYOR

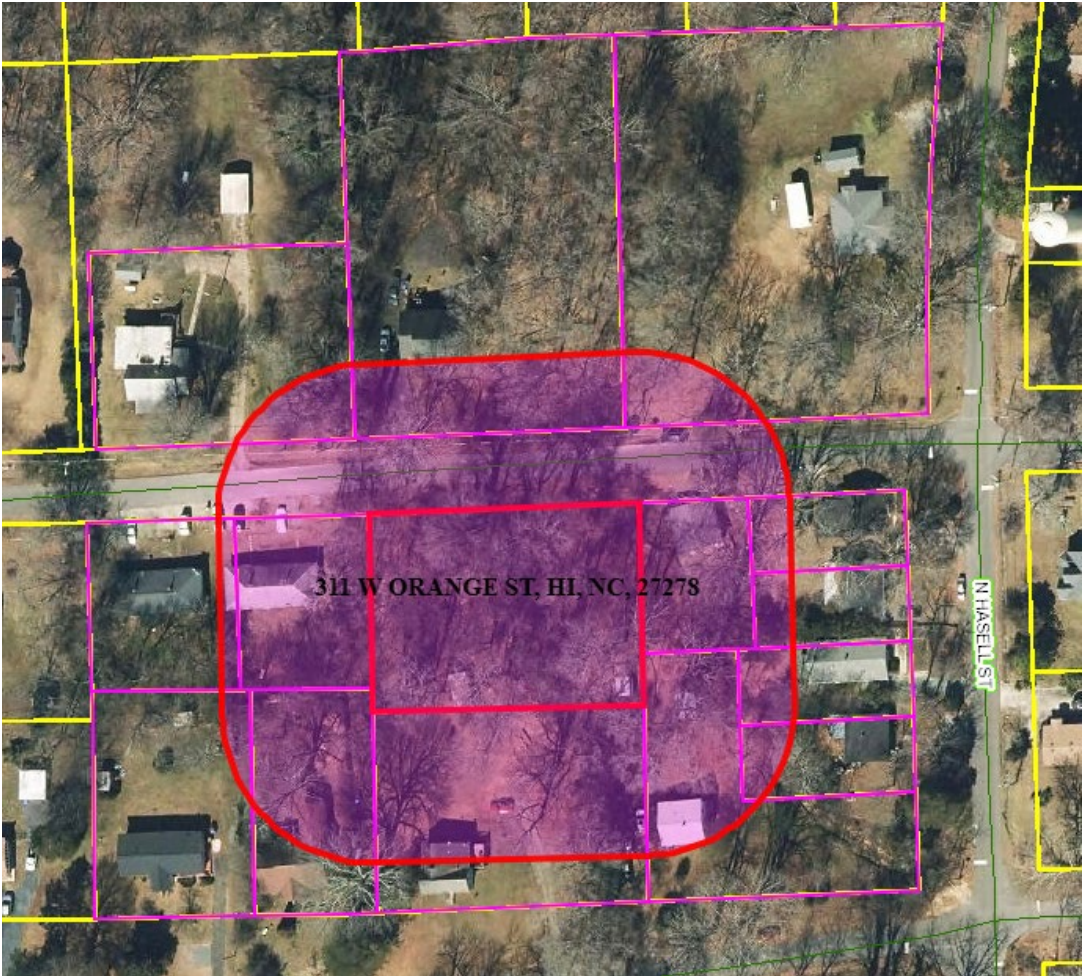
DESIGNED BY: CANOY SURVEYING P-1938 1154 SHONLE LANE STEM, NC 27581 PHONE (984) 377-2626	HOEKEN DESIGN BUILD
BOUNDARY AND TREE SURVEY: 311 W ORANGE ST HILLSBOROUGH, NORTH CAROLINA NC PIN # PB LOT A PB 51 PG 51 ORANGE COUNTY - HILLSBOROUGH TOWNSHIP	
REVISIONS:	
DATE OF SURVEY: 10/20/2018	
SCALE: 1" = 20'	
DRAWN BY: DL	
CHECKED BY: ABC	
PROJECT: 311 W ORANGE	
SHEET: 1/1	

I, Joseph Hoffheimer, hereby certify that all property owners within 100 feet of and the owners of PIN 9864883297 (the affected property) have been sent a letter of notification of the Certificate of Appropriateness application before the Historic District Commission by first class mail in accordance with the Hillsborough Zoning Ordinance.

11/19/2025
Date

Joseph Hoffheimer
(for Hillsborough Planning Department)

PIN	OWNER1_LAST	OWNER1_FIRST	OWNER2_LAST	OWNER2_FIRST	ADDRESS1	ADDRESS2	CITY	STATE	ZIPCODE
9864881186	BROOKS	SADIE B			318 UNION ST		HILLSBOROUGH	NC	27278
9864881288	BURTON ASSETS				307 MITCHELL ST		HILLSBOROUGH	NC	272782129
9864882167	CARTER	MARGARET G ETAL	FREELAND	SHARON S	316 W UNION ST		HILLSBOROUGH	NC	27278
9864882268	BURTON	ANN SMITH	BURTON	CHARLES MICHAEL	307 MITCHELL ST		HILLSBOROUGH	NC	27278
9864882593	HEELSBOROUGH				104 FOX HILL FARM		HILLSBOROUGH	NC	27278
9864883194	HAWKSWORTH	BARBARA			312 W UNION ST		HILLSBOROUGH	NC	27278
9864883297	HTKT INVESTME				6325 FALLS OF THE STE 35-320		RALEIGH	NC	27609
9864883584	MATTISON	WILLIAM E	MATTISON	VICTORIA P	310 W ORANGE ST		HILLSBOROUGH	NC	27278
9864884297	HOME 4 U LLC				721 BORLAND RD		HILLSBOROUGH	NC	27278
9864885101	DAVIS	JANE B			306 W UNION ST		HILLSBOROUGH	NC	27278
9864885157	WATSON	BETTY HAYES			311 N ENGLISH HIL		HILLSBOROUGH	NC	272786508
9864885242	MADLON KAY	SETH	WALKER	ASHLEY N	405 N HASSELL ST		Hillsborough	NC	27278
9864885255	BEERY	NICHOLAS P	BEERY	LAURA F	110 TRANQUILITY		HILLSBOROUGH	NC	27278
9864885361	LEWIS	ANNA CHRIS ET AL	LEWIS	TOM ANDREW TRU	409 N HASSELL ST		HILLSBOROUGH	NC	27278
9864885594	JOHNSON	DONALD S	JOHNSON	DEBORA A	9607 HANOVER RI		CHARLOTTE	NC	28210



ITEM #5. B:

Address: 206 S. Hillsborough Ave.

Year Built: c. 1936, 2011

Historic Inventory Information (2013)

This one-story, side-gabled house is three bays wide and single-pile with a gabled ell at the right rear (northwest). The house has German-profile weatherboards, two-over-two wood-sash windows, paired on the façade, and two interior brick chimneys. The one-light-over-one-panel door is sheltered by a front-gabled porch supported by tapered wood posts on brick piers. There is a 2011 gabled wing projecting from the south elevation of the rear ell [HDC] and a shed-roofed section between the main section of the house and the projecting wing. County tax records date the building to 1936. A low brick wall extends across the front of the property and a sign in front of the house calls it the Florence Elkins House.

Proposed work

- Convert the existing screened room to glass
- Connect the existing screened porch to the house
- Add a new screened porch

Application materials

- COA application
- Existing site photos
- Narrative
- Material matrix
- Site plan
- Existing and proposed elevations

Applicable Design Standards

- *Porches, Entrances, and Balconies: 10*
- *Additions to Residential Buildings: 1 – 14*

Staff Comments

- This item was automatically continued from the November HDC meeting due to the lack of quorum then and will be heard at or after the regular 6:30 pm start time.



TOWN OF
HILLSBOROUGH

APPLICATION Certificate of Appropriateness and Minor Works

Planning and Economic Development Division
101 E. Orange St., PO Box 429, Hillsborough, NC 27278
919-296-9470 | Fax: 919-644-2390
planning@hillsboroughnc.gov
www.hillsboroughnc.gov

9864753647

Orange County Parcel ID Number

R-20

Zoning District

206 S. Hillsborough Ave

Address of Project

Steven Petrow

Description of Proposed Work: _____

Estimated Cost of Construction: \$ \$130,000

The Historic District Design Standards, Exterior Materials Compatibility Matrix, and Certificate of Appropriateness application process can be found on the Town of Hillsborough's website: <https://www.hillsboroughnc.gov/hdc>.

Applicant and Owner Acknowledgment and Certification

I am aware that Historic District Design Standards, Exterior Materials Compatibility Matrix, and Unified Development Ordinance requirements are the criteria by which my proposal will be evaluated for compatibility, and I certify that I, and/or my design professional under my direction, have reviewed my application materials with Planning Staff for compliance to the standards in those adopted documents. I understand that I, or my representative, must attend the HDC meeting where this application will be reviewed. I further understand that town employees and/or commissioners may need access to my property with reasonable notice to assess current conditions, and to assist them in making evidence-based decisions on my application and that I am not to speak to any commissioner about my project until the public meeting at which it is under consideration.

Applicant's Signature (Optional)

Date

Steven Petrow

Property Owner's Signature (Required)

10 09 25

Date

Submittal Requirements

The following documents and plans are required to accompany your COA application in order for it to be deemed complete and scheduled for commission review. Planning staff will determine when all submittal requirements have been met. The first FOUR complete COA applications submitted by the deadline will be heard on any HDC agenda.

All applications must include the following documents and plans:

(Provide a digital copy if plans are larger than 11"x17")

- ☐ Detailed narrative describing the proposed work and how it complies with all adopted standards.
- ☐ Existing **and** Proposed Dimensioned Plans (see below):
 - Site Plan (if changing building footprint or adding new structures, impervious areas or site features, including hardscaping)
 - Scaled Architectural Plans (if changing building footprint or new construction)
 - Scaled Elevations (if adding or changing features of a structure)
 - Landscaping Plans (required for all new construction and for significant landscaping or tree removal and re-planting)
 - Tree Survey (required for new construction when trees over 12" diameter at breast height are on site - show both existing and those to be removed)
 - Sign Specifications (if adding, changing, or replacing signage)
- ☐ Itemized list of existing and proposed exterior materials including photos and specifications, colors, etc. (Siding, trim and fascia, roof and foundation materials, windows, shutters, awnings, doors, porch and deck flooring, handrails, columns, patios, walkways, driveways, fences and walls, and signs, etc.).
- ☐ Photographs, material samples, examples of comparable properties in the district (if using them as basis for specific designs), plans, or drawings that will help to clarify the proposal, if applicable, or if required by staff as part of the review.

Staff Use Only:

**COA fee (\$1 per \$1000 of construction costs, \$10 minimum)
or Minor Works fee (\$10 flat fee):**

Amount: \$ _____

☐ After-the-fact application (\$100 or double the COA fee*):
*whichever is greater

Amount: \$ _____

Total Due: \$ _____

Receipt #: _____

Received by: _____

Date: _____

This application meets all Unified Development Ordinance requirements and has been reviewed for compliance with all approved materials.

☐ N/A ☐ Yes

Zoning Officer: _____

This application meets public space division requirements.

☐ N/A ☐ Yes

Public Space Manager: _____

Historic Architectural Inventory Information

Original date of Construction: _____

Description of the Property: _____

Applicable Design Standards: _____

Other reviews needed?

☐ Hillsborough Zoning Compliance Permit ☐ Orange County Building Permit ☐ Other: _____

Minor Works Certificate of Appropriateness Application Decision

☐ Approved ☐ Referred to HDC

Minor Works Reference(s): _____

Certificate of Appropriateness Decision

☐ Approved ☐ Denied

Commission Vote: _____

Conditions or Modifications (if applicable): _____

Historic District Staff Signature_____
Date

Introduction

This one-story, side-gabled house is three bays wide and single-pile with a gabled ell at the right rear (northwest). The house has German-profile weatherboards, two-over-two wood-sash windows, paired on the façade, and two interior brick chimneys. The one-light-over-one-panel door is sheltered by a front-gabled porch supported by tapered wood posts on brick piers. There is a 2011 gabled wing projecting from the south elevation of the rear ell [HDC] and a shed-roofed section between the main section of the house and the projecting wing. County tax records date the building to 1936. A low brick wall extends across the front of the property and a sign in front of the house calls it the Florence Elkins House. A screen building and decking was constructed in the rear of the house around 2018. Please see existing conditions pictures below:



View from S. Hillsborough Avenue looking west (no changes proposed to this elevation)



View of south elevation of house



Rear elevation of house



View of south elevation of screen room and house



Rear elevation of screen room and house



View of north elevation of screen room and west elevation of house



View of rear of house looking southeast



View of north elevation of house

Project

The homeowner is proposing to replace the screens of the existing screen room with aluminum clad glass windows and fixed glass. Additionally, he is proposing to connect the room with his existing house with additional glass panels and aluminum clad full glass door with wood columns and railings to match the existing structure. The roof material will match the existing roof material (5V). Three skylights are proposed for the new connecting roof (they will not be visible from the street). Lastly a new screen porch will be constructed adjacent to the screen room with metal roof (5V), wood decking, wood screen door and wood railings (with stainless steel cable railing) to match existing.

Landscaping

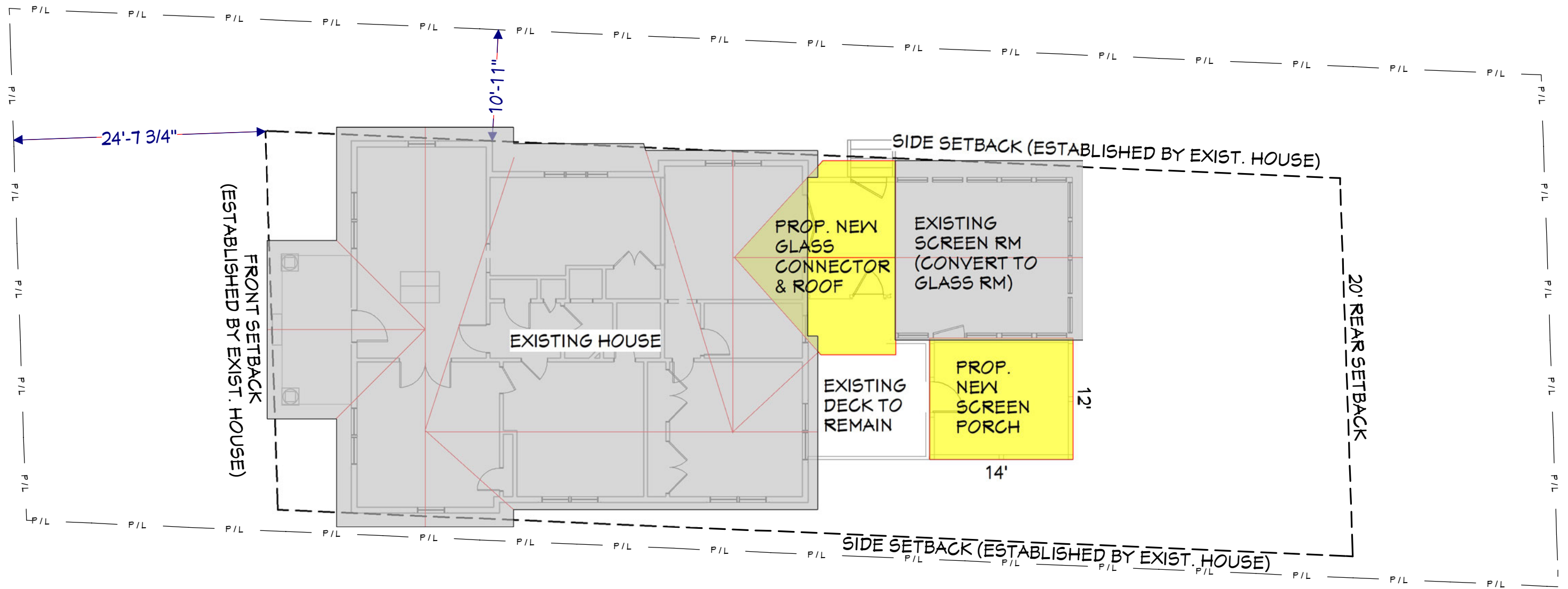
No trees will be removed, and no new plantings are proposed at this time.

Lighting

No new lighting is proposed.

Material matrix

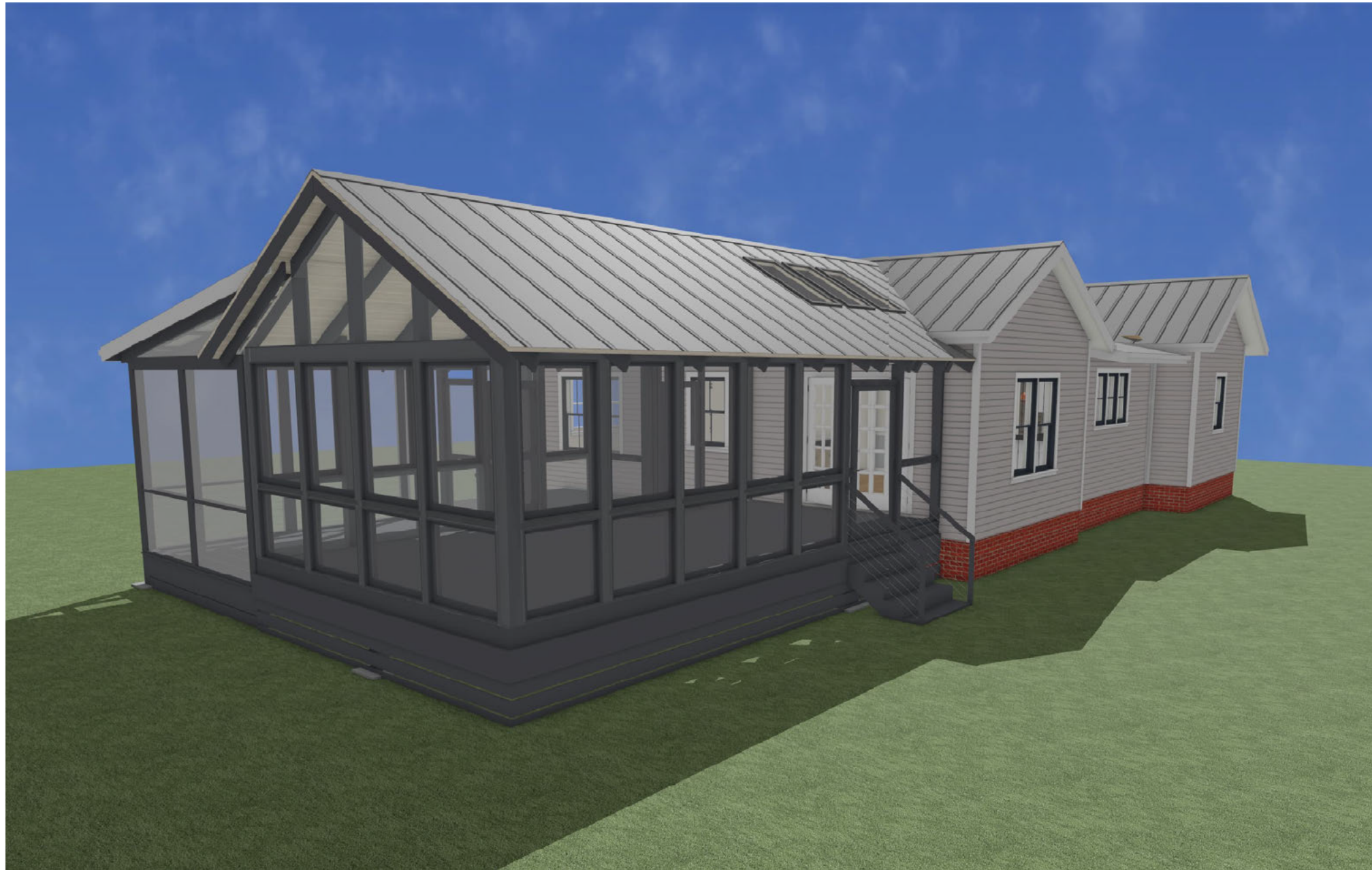
Item	Proposed material(s)	Color
siding	No new siding proposed	N/A
trim	Wood	To match existing
fascia	Wood	To match existing
roof	5V metal	To match existing
screen porch columns	Wood	To match existing
screen porch railing	Wood/stainless steel cable railing	To match existing
screen porch decking	Wood	To match existing
windows	Aluminum clad	To match existing
shutters	No change	N/A
awnings	none	N/A
Railings	Wood	To match existing
walkways	No change	N/A
driveways	No change	N/A
fences	No change	N/A



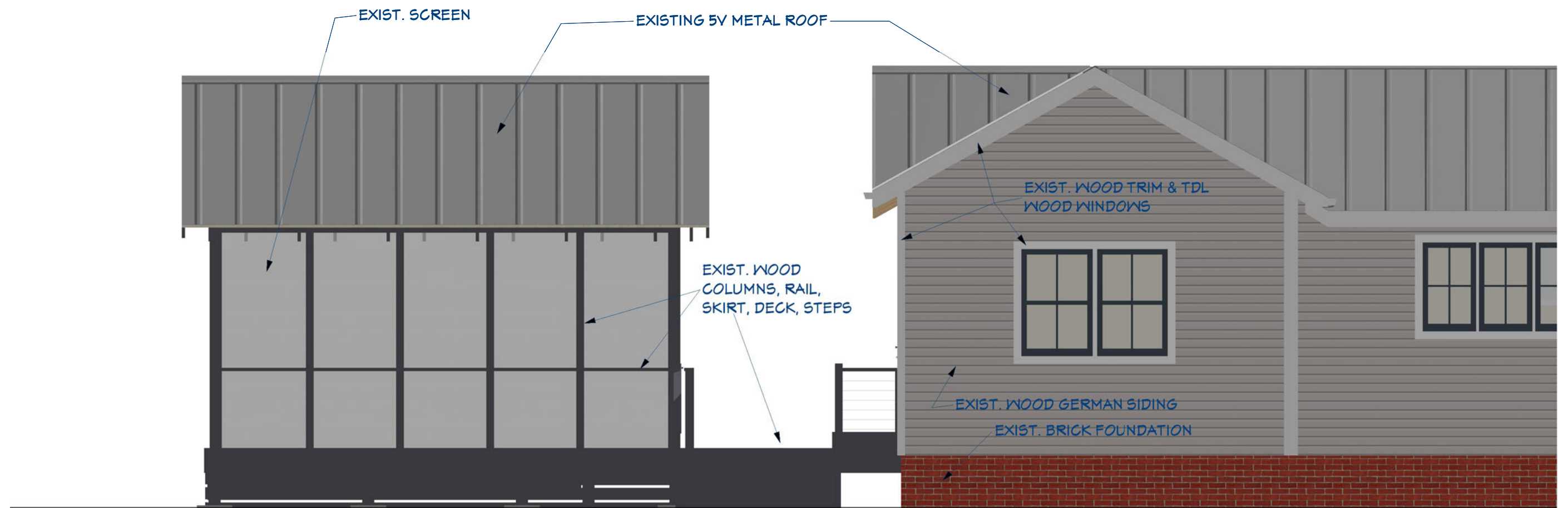
Site Plan
SCALE: 1"=10'



Existing Perspective



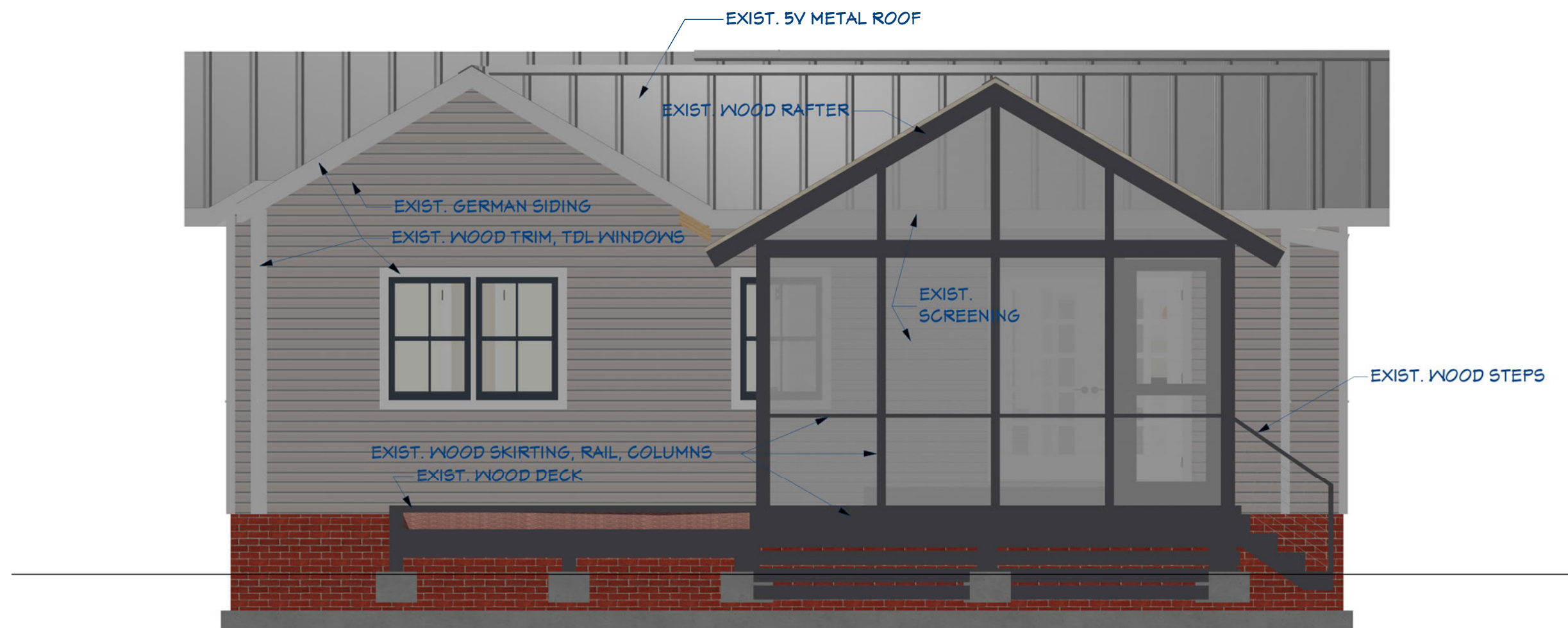
Proposed Perspective



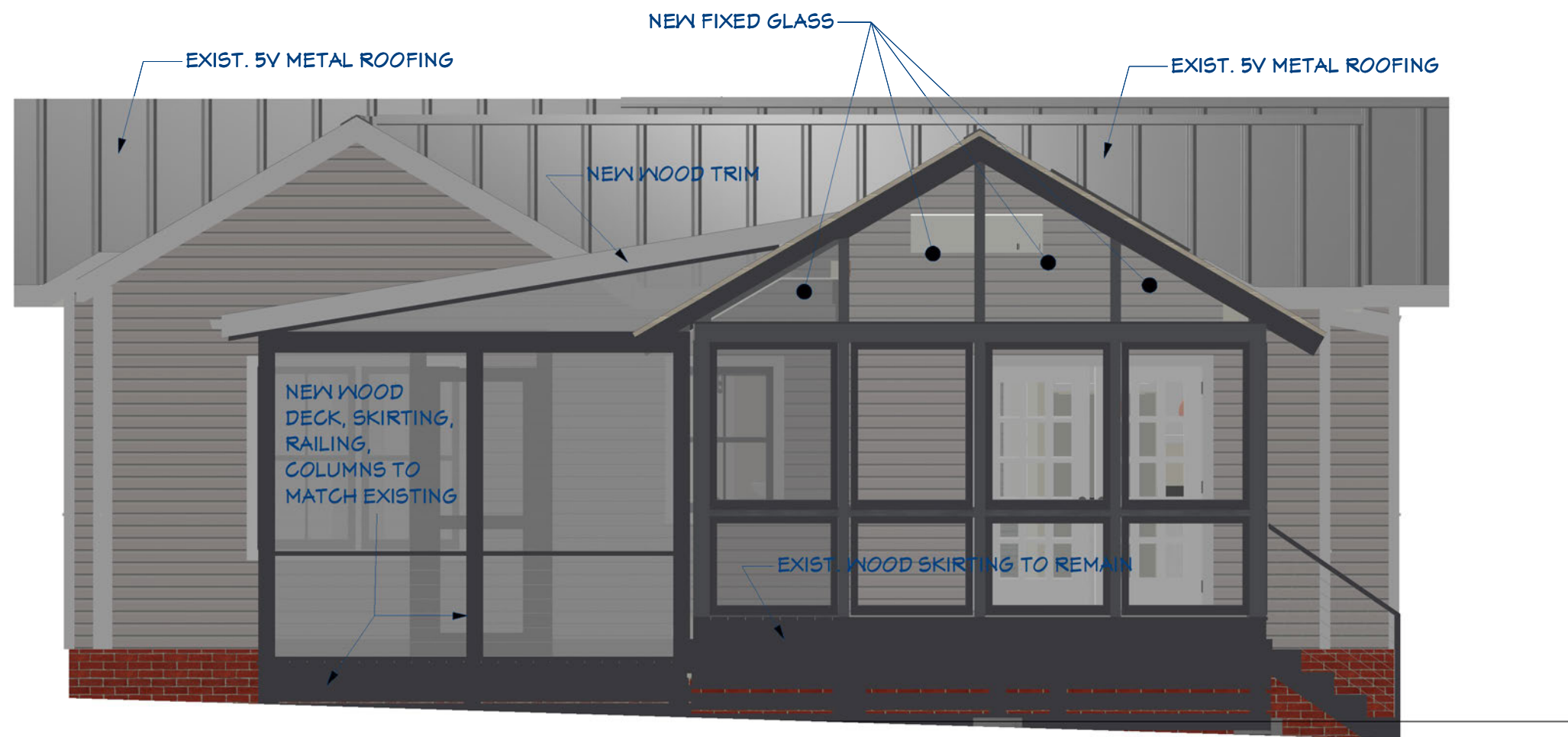
Existing Left (South) Elevation



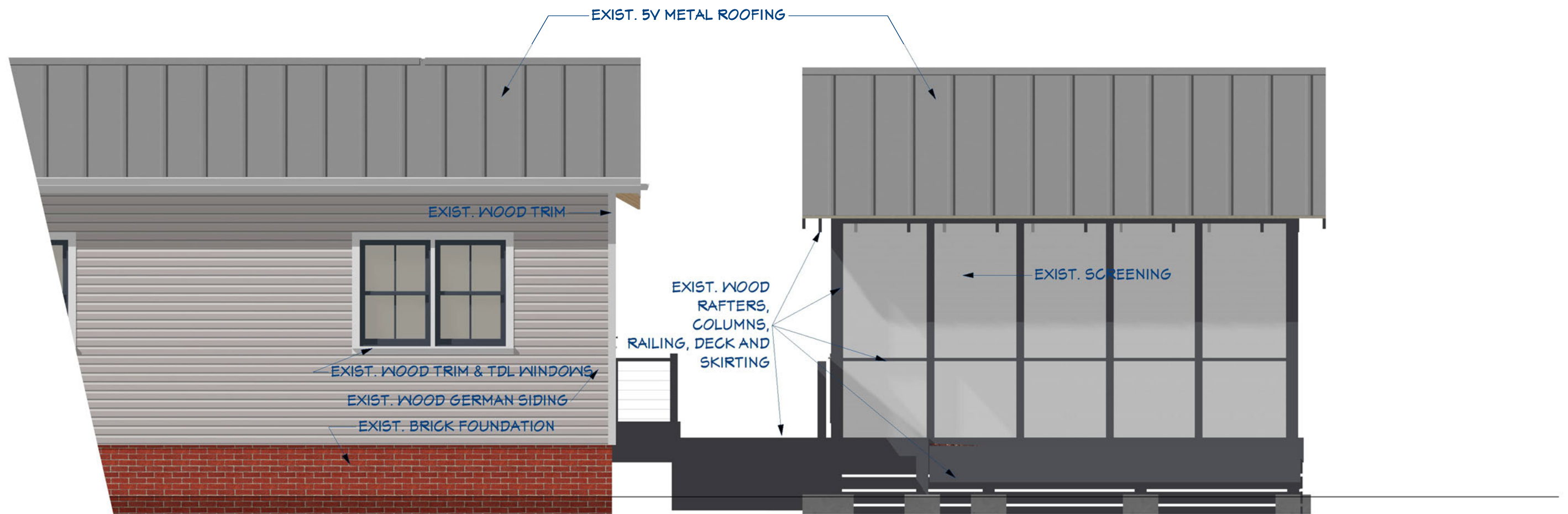
Proposed Left (South) Elevation



Existing Rear (West) Elevation



Proposed Rear (West) Elevation



Existing Right (North) Elevation



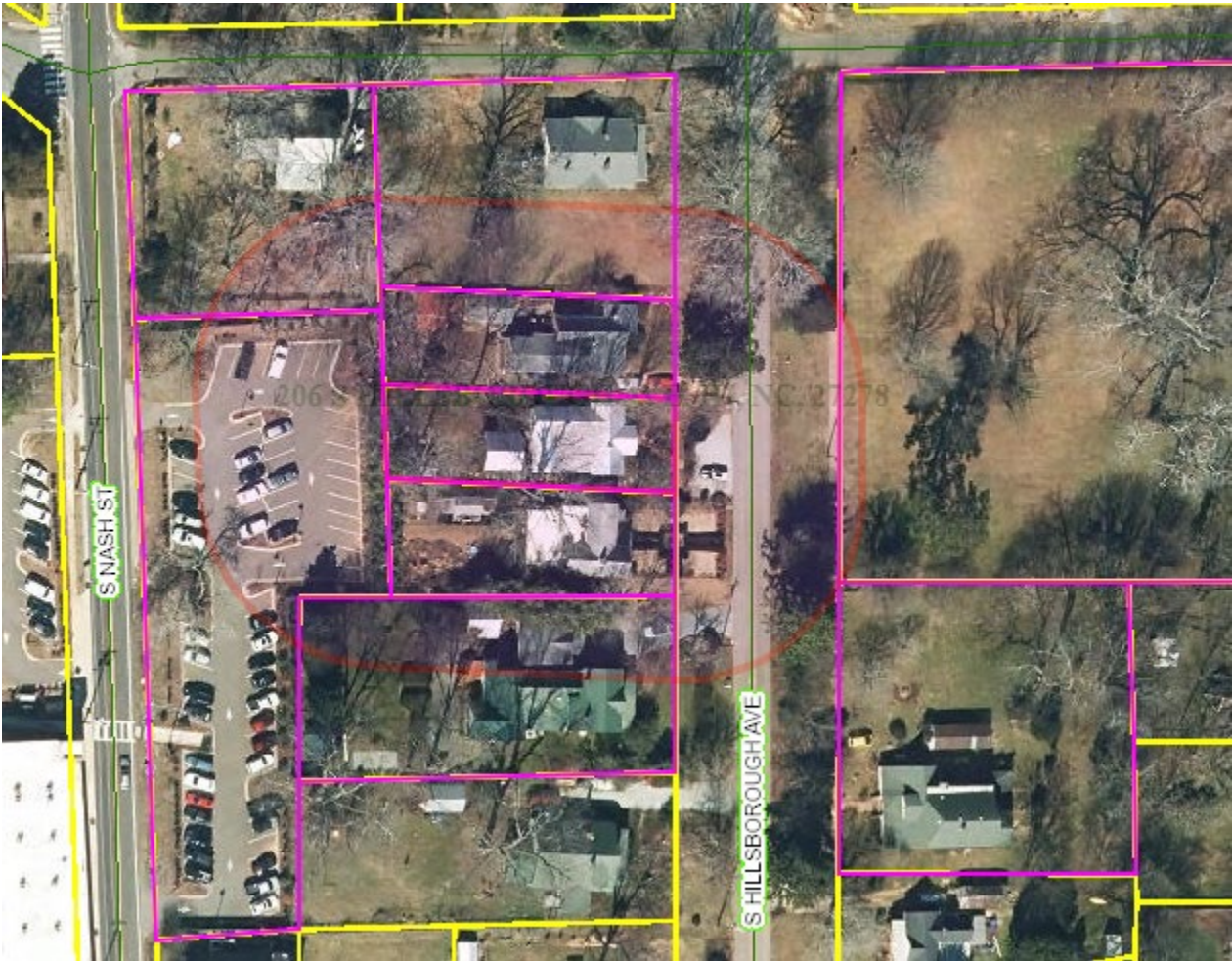
Proposed Right (North) Elevation

I, Joseph Hoffheimer, hereby certify that all property owners within 100 feet of and the owners of PIN 9864753647 (the affected property) have been sent a letter of notification of the Certificate of Appropriateness application before the Historic District Commission by first class mail in accordance with the Hillsborough Zoning Ordinance.

10/22/2025
Date

Joseph Hoffheimer
(for Hillsborough Planning Department)

PIN	OWNER1_LAST	OWNER1_FIRST	OWNER1	OWNER2_FIF	ADDRESS1	ADDRESS2	CITY	STATE	ZIPCODE
9864752645	BELLEVUE MILL L				8380 BAY PINES BLVD	3RD FL	ST PETERSBURG	FL	33709
9864752719	DARAB	JONATHAN M	DARAB	MEAGHUN	423 W MARGARET LN		Hillsborough	NC	27278
9864753524	JESSUP	DALY C			212 S HILLSBOROUGH		HILLSBOROUGH	NC	27278
9864753642	CULP	FRANCIS BARTO			210 S HILLSBOROUGH		HILLSBOROUGH	NC	272782416
9864753647	PETROW	STEVEN			206 S HILLSBOROUGH		HILLSBOROUGH	NC	27278
9864753741	COUCH	CHARLES C	COUCH	WENDY S	204 S HILLSBOROUGH		HILLSBOROUGH	NC	27278
9864753840	PARRISH	DIANA L			210 W TRYON ST		HILLSBOROUGH	NC	272782436
9864755582	MERRICK	PIPSISEWA R			215 HILLSBOROUGH A		HILLSBOROUGH	NC	27278
9864756746	HILLSBOROUGH OF				PO BOX 429	PUBLIC SP	HILLSBOROUGH	NC	27278



ITEM #5. C:

Address: 222 Lydia Ln.

Year Built: c. 1946, 2005

Historic Inventory Information (2013)

Likely constructed as a side-gabled, Minimal Traditional-style house with a projecting, front-gabled wing, this house has been extensively altered with the enclosure of a front porch and the addition of a side-gabled structure at the right rear (southeast). The house is three bays wide and double-pile with aluminum siding, vinyl windows, and an interior brick chimney. A shed-roofed wing, centered on the façade, obscures the original entrance and a new entrance on the right (south) elevation is sheltered by a gabled porch supported by tapered Tuscan columns on stuccoed piers. A hip-roofed wing at the right rear connects to a side-gabled, frame structure with aluminum siding and vinyl windows. This structure has a hip-roofed wing on the right elevation and a gabled screened porch at the rear. County tax records date the building to 1946. The current porch was constructed in 2005 and the screened porch dates to 2010 [HDC].

Proposed work

- Remove a portion of the front gable
- Add windows and a pergola

Application materials

- COA application
- Existing site photos
- Narrative
- Material matrix
- Existing and proposed elevations

Applicable Design Standards

- *Exterior Walls:* 1, 8, 9, 11
- *Windows:* 8

Staff Comments

- This item was automatically continued from the November HDC meeting due to the lack of quorum then and will be heard at or after the regular 6:30 pm start time.
- Although the inventory mentions that the front elevation has been extensively altered, it does not give any dates for when the front elevation took its current form. Staff have not seen any documentation of the front elevation's prior appearance.
- The design standards do not directly address pergolas, but pergolas are allowed as minor works if located behind the structure. Staff are not aware of any similarly situated pergolas in the historic district.



TOWN OF
HILLSBOROUGH

APPLICATION
Certificate of Appropriateness and Minor Works

Planning and Economic Development Division
101 E. Orange St., PO Box 429, Hillsborough, NC 27278
919-296-9470 | Fax: 919-644-2390
planning@hillsboroughnc.gov
www.hillsboroughnc.gov

9874274715

Orange County Parcel ID Number

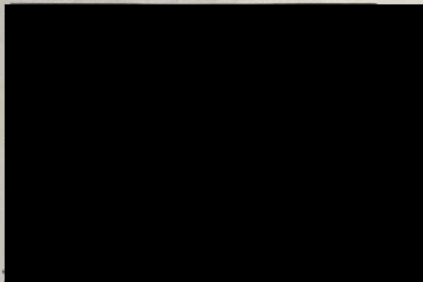
R-20

Zoning District

222 Lydia Lane

Address of Project

NELSON, MARTHA C & TROST, WILLIAM T



Applicant's Email

Property Owner (if different than applicant)

Property Owner's Mailing Address

City, State ZIP

Property Owner's Phone Number

Property Owner's Email

Description of Proposed Work: remove portion of front gable, add windows and pergola

Estimated Cost of Construction: \$30,000

The Historic District Design Standards, Exterior Materials Compatibility Matrix, and Certificate of Appropriateness application process can be found on the Town of Hillsborough's website: <https://www.hillsboroughnc.gov/hdc>.

Applicant and Owner Acknowledgment and Certification

I am aware that Historic District Design Standards, Exterior Materials Compatibility Matrix, and Unified Development Ordinance requirements are the criteria by which my proposal will be evaluated for compatibility, and I certify that I, and/or my design professional under my direction, have reviewed my application materials with Planning Staff for compliance to the standards in those adopted documents. I understand that I, or my representative, must attend the HDC meeting where this application will be reviewed. I further understand that town employees and/or commissioners may need access to my property with reasonable notice to assess current conditions, and to assist them in making evidence-based decisions on my application and that I am not to speak to any commissioner about my project until the public meeting at which it is under consideration.

Applicant's Signature (Optional)

Date

Martha C. Nelson 10/21/23
Property Owner's Signature (Required) Date

Last revised: December 2023

Submittal Requirements

The following documents and plans are required to accompany your COA application in order for it to be deemed complete and scheduled for commission review. Planning staff will determine when all submittal requirements have been met. The first FOUR complete COA applications submitted by the deadline will be heard on any HDC agenda.

All applications must include the following documents and plans: *see email from David Colas (6/19/15)*
(Provide a digital copy if plans are larger than 11"x17")

- ☐ Detailed narrative describing the proposed work and how it complies with all adopted standards.
- ☐ Existing and Proposed Dimensioned Plans (see below):
 - Site Plan (if changing building footprint or adding new structures, impervious areas or site features, including hardscaping)
 - Scaled Architectural Plans (if changing building footprint or new construction)
 - Scaled Elevations (if adding or changing features of a structure)
 - Landscaping Plans (required for all new construction and for significant landscaping or tree removal and re-planting)
 - Tree Survey (required for new construction when trees over 12" diameter at breast height are on site - show both existing and those to be removed)
 - Sign Specifications (if adding, changing, or replacing signage)
- ☐ Itemized list of existing and proposed exterior materials including photos and specifications, colors, etc. (Siding, trim and fascia, roof and foundation materials, windows, shutters, awnings, doors, porch and deck flooring, handrails, columns, patios, walkways, driveways, fences and walls, and signs, etc.).
- ☐ Photographs, material samples, examples of comparable properties in the district (if using them as basis for specific designs), plans, or drawings that will help to clarify the proposal, if applicable, or if required by staff as part of the review.

Staff Use Only:

COA fee (\$1 per \$1000 of construction costs, \$10 minimum)
or Minor Works fee (\$10 flat fee):

Amount: \$ _____

☐ After-the-fact application (\$100 or double the COA fee*):
*whichever is greater

Amount: \$ _____

Total Due: \$ _____

Receipt #: _____

Received by: _____

Date: _____

This application meets all Unified Development Ordinance requirements and has been reviewed
for compliance with all approved materials.

☐ N/A ☐ Yes

Zoning Officer: _____

This application meets public space division requirements.

☐ N/A ☐ Yes

Public Space Manager: _____

Historic Architectural Inventory Information

Original date of Construction: _____

Description of the Property: _____

Applicable Design Standards: _____

Other reviews needed?

☐ Hillsborough Zoning Compliance Permit ☐ Orange County Building Permit ☐ Other: _____

Minor Works Certificate of Appropriateness Application Decision

☐ Approved ☐ Referred to HDC

Minor Works Reference(s): _____

Certificate of Appropriateness Decision

☐ Approved ☐ Denied

Commission Vote: _____

Conditions or Modifications (if applicable): _____

Historic District Staff Signature

Date

Introduction

Please find below description of the subject property (222 Lydia Ln) per the Historic District inventory: Likely constructed as a side-gabled, Minimal Traditional-style house with a projecting, front-gabled wing, this house has been extensively altered with the enclosure of a front porch and the addition of a side-gabled structure at the right rear (southeast). The house is three bays wide and double-pile with aluminum siding, vinyl windows, and an interior brick chimney. A shed-roofed wing, centered on the façade, obscures the original entrance and a new entrance on the right (south) elevation is sheltered by a gabled porch supported by tapered Tuscan columns on stuccoed piers. A hip-roofed wing at the right rear connects to a side-gabled, frame structure with aluminum siding and vinyl windows. This structure has a hip-roofed wing on the right elevation and a gabled screened porch at the rear. County tax records date the building to 1946. The current porch was constructed in 2005 and the screened porch dates to 2010 [HDC] Please see existing conditions pictures below:



View from Lydia Lane looking East



View of right side (South Elevation)

Project

The homeowners are proposing restore the front elevation to what they suspect is more respective of the original elevation by removing the asymmetrical portion of the front facing dormer, thereby restoring it to a symmetrical front facing dormer. By removing this portion, it creates more west facing wall space where they would like to add two new aluminum clad SDL windows as shown on the proposed front elevation attached below. Additionally, they would like to add a wood pergola to shelter these two windows. Any new siding and trim will be Hardie (smooth side out) and some shingles may need to be repaired/replaced and they will be replaced to match the existing.

Landscaping

No trees will be removed, and no new plantings are proposed at this time.

Lighting

No new lighting is proposed.

Material matrix

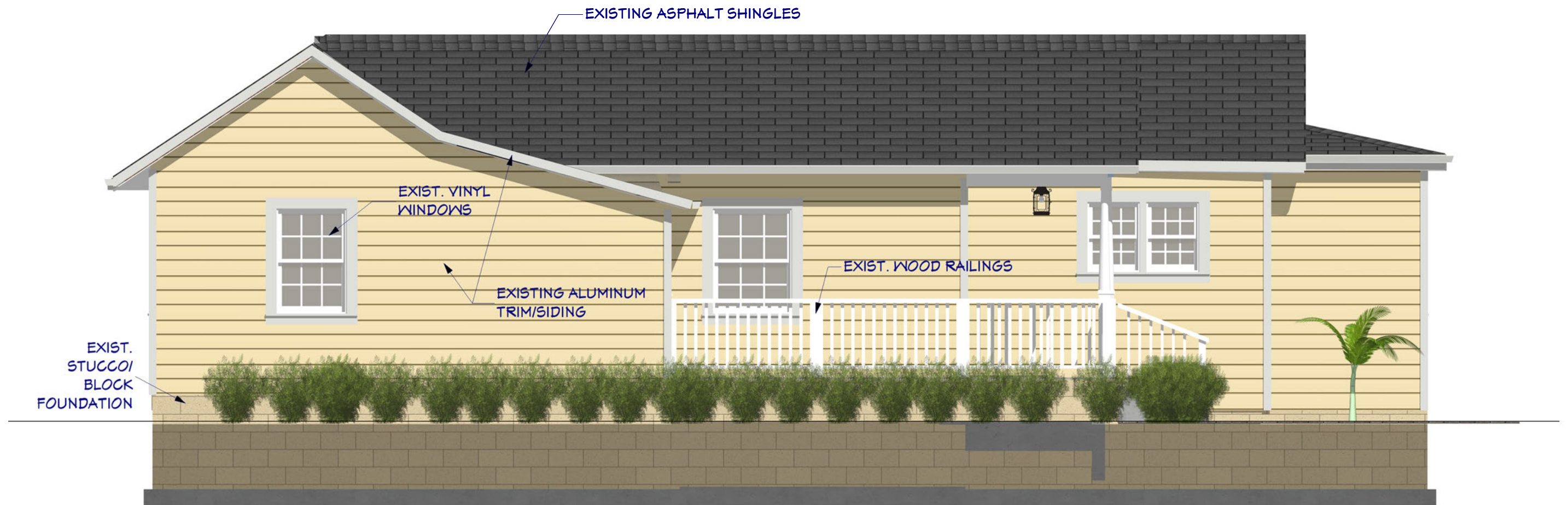
Item	Proposed material(s)	Color
siding	Hardie lap (smooth side out)	To match existing
trim	Hardie	To match existing
fascia	Hardie	To match existing
roof (repairs)	asphalt shingles	To match existing
foundation materials	No change (stucco/block)	To match existing
windows	Aluminum clad SDL	To match existing
shutters	No change	N/A
awnings	none	N/A
Railings	Wood	To match existing
walkways	No change	N/A
driveways	No change	N/A
fences	No change	N/A



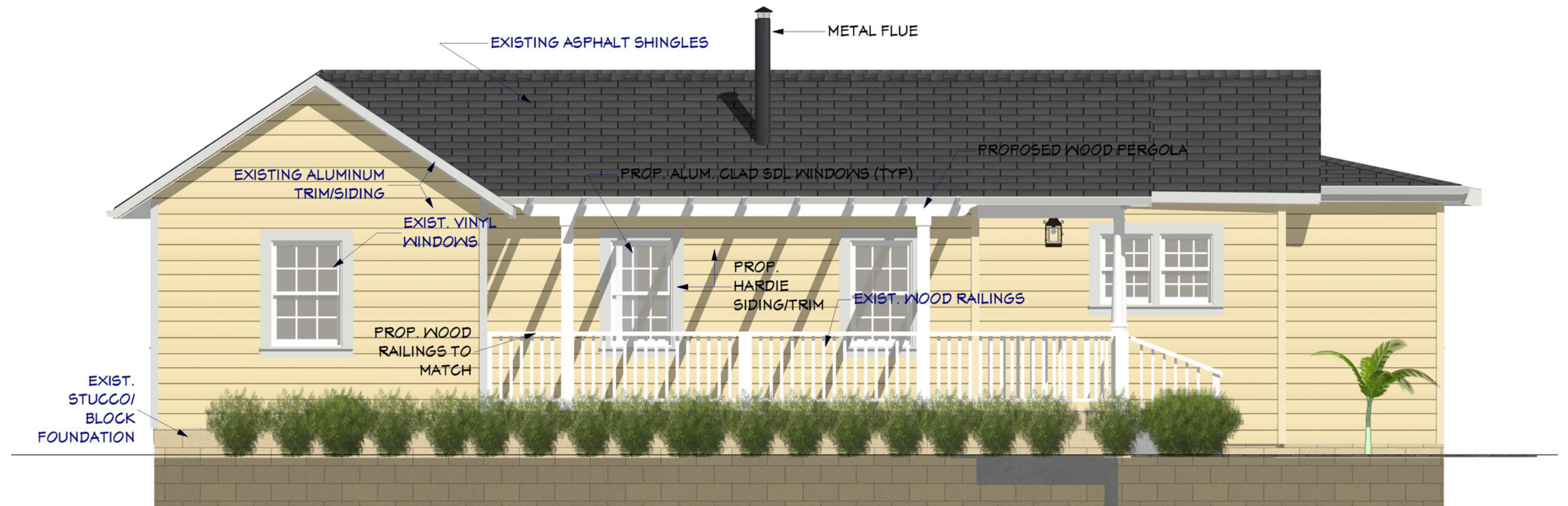
Existing Perspective



Proposed Perspective



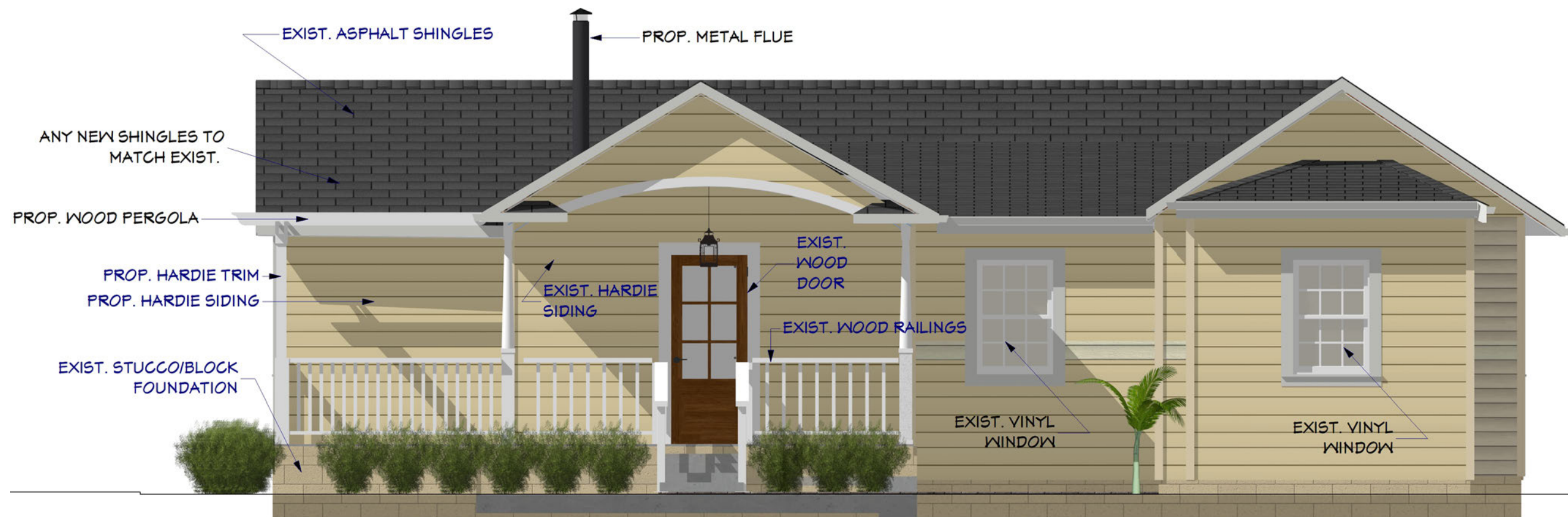
Existing Front Elevation



Proposed Front Elevation



Existing Right Elevation



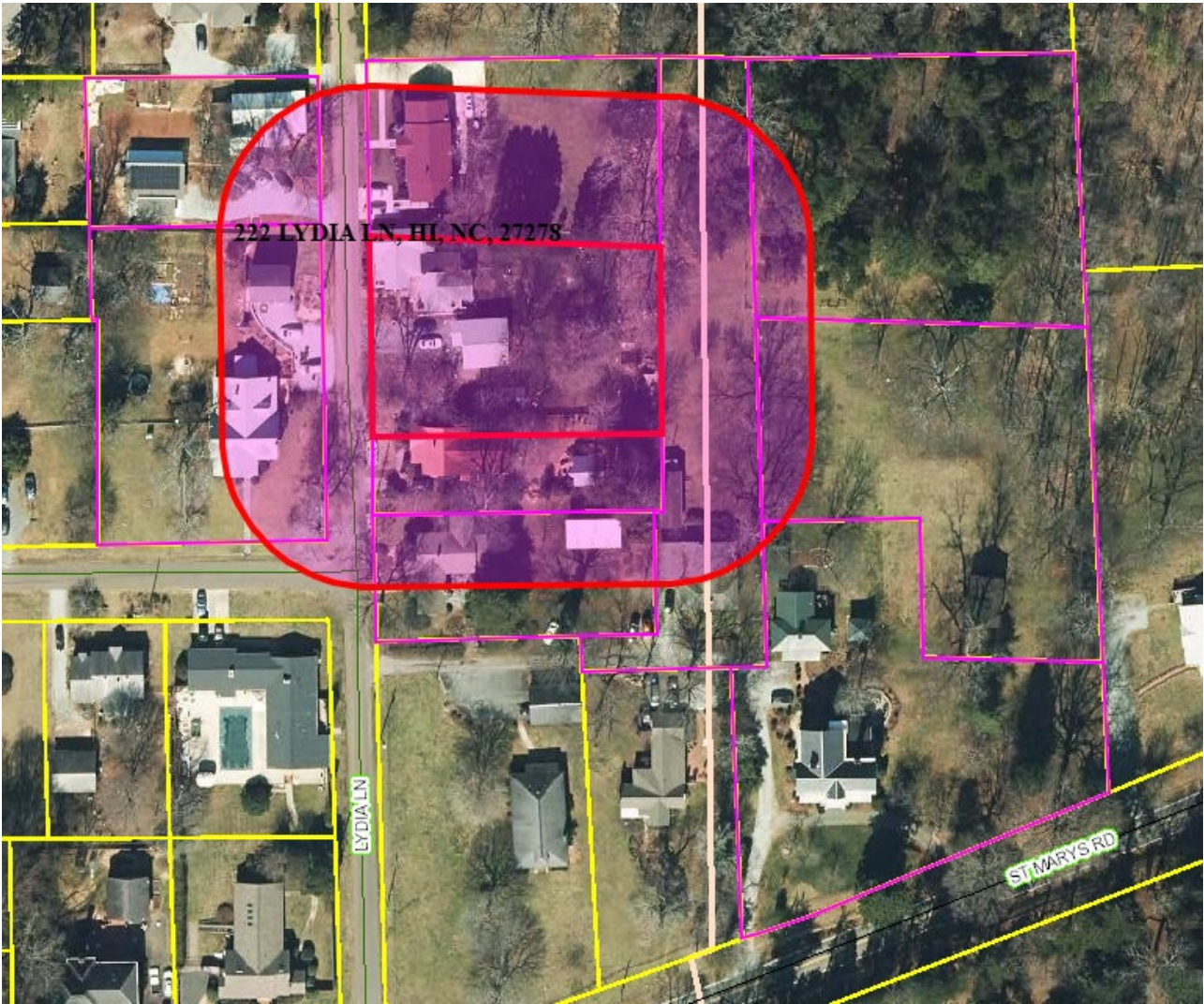
Proposed Right Elevation

I, Joseph Hoffheimer, hereby certify that all property owners within 100 feet of and the owners of PIN 9874274715 (the affected property) have been sent a letter of notification of the Certificate of Appropriateness application before the Historic District Commission by first class mail in accordance with the Hillsborough Zoning Ordinance.

10/22/2025
Date

Joseph Hoffheimer
(for Hillsborough Planning Department)

PIN	OWNER1_LAST	OWNER1_FIRST	OWNER2_LAST	OWNER2_FIRST	ADDRESS1	CITY	STATE	ZIPCODE
9874270893	NORDAN	CHARLES ELDON	ROSEBAUGH	NANCY LOUISE	225 THOMAS RUFFI	HILLSBOROUGH	NC	272782118
9874271616	SADGROVE	MATTHEW P	SADGROVE	CHERYL J	229 E QUEEN ST	HILLSBOROUGH	NC	27278
9874273524	FARLOW	BRADLEY W	FARLOW	PHYLLIS R	212 THOMAS RUFFI	HILLSBOROUGH	NC	272782119
9874273610	IRISH	JAMES	IRISH	BRIDGET	216 LYDIA LN	HILLSBOROUGH	NC	27278
9874274635	WHICKER	W F			309 SAINT MARYS R	HILLSBOROUGH	NC	27278
9874274715	NELSON	MARTHA C	TROST	WILLIAM T	222 THOMAS RUFFI	HILLSBOROUGH	NC	27278
9874274818	MAYHEW	ANNA JEAN	MARGOT	JEAN MICHEL	226 LYDIA LN	HILLSBOROUGH	NC	27278
9874276581	AURANTEAN F				733 GIMGHOUL RD	CHAPEL HILL	NC	27514
9874276695	AURANTEAN F				733 GIMGHOUL RD	CHAPEL HILL	NC	27514
9874276885	AURANTEAN F				733 GIMGHOUL RD	CHAPEL HILL	NC	27514



ITEM #5. D:

Address: 225 E. Corbin St.

Year Built: late 1890s, c. 1956

Historic Inventory Information (2013)

This quaint one-and-a-half-story, hip-roofed, Queen Anne-style building of was constructed in the late 1890s as the carriage house for the neighboring Sans Souci. The original block is three bays wide and double-pile with weatherboards and six-over-six wood-sash windows on the first-floor level and wood shingles with six-light windows at the upper level. It has an interior brick chimney and one of two six-panel doors on the east elevation has a classical surround with fluted pilasters. A front-gabled wall dormer centered on the east elevation has a pair of two-light French doors and is flanked by arched six-light windows. A one-story, hip-roofed brick wing was added to the north elevation around 1956 when the building was converted to a residence. It has a diamond-paned double-hung wood-sash window on the west elevation, a nine-light-over-two-panel door on the east elevation, and an exterior brick chimney on the north elevation. An uncovered brick terrace extends across the east elevation of both sections. County tax records date the building to 1956, likely when it was converted to a residence and the brick wing was added.

Proposed work

- Replace nine wood windows with wood-based composite windows.

Application materials

- COA application
- Narrative
- Description
- Proposed windows
- Photos of existing windows
- Materials list

Applicable Design Standards

- *Windows:* 1-6

Staff Comments

- This item was automatically continued from the November HDC meeting due to the lack of quorum then and will be heard at or after the regular 6:30 pm start time.
- The existing wood windows date to 1957, which is old enough to be considered historic.
- The minor works standards were recently relaxed to allow deteriorated wood windows to be replaced with substitute materials on side and rear elevations. Even though the building in question does not front the street, several of the windows may be considered character-defining so require HDC review.



TOWN OF
HILLSBOROUGH

Certificate of Appropriateness and Minor Works

Planning and Economic Development Division
101 E. Orange St., PO Box 429, Hillsborough, NC 27278
919-296-9470 | Fax: 919-644-2390
planning@hillsboroughnc.gov
www.hillsboroughnc.gov

9874189986

Orange County Parcel ID Number

G3 Hillsborough

Zoning District

225 E Corbin Street

Address of Project

Stephanie King/Keith Bunten/Renewal by Andersen

Susan Montpetit



Description of Proposed Work: Proposed replacement of Nine windows

Estimated Cost of Construction: \$ 32,850

The Historic District Design Standards, Exterior Materials Compatibility Matrix, and Certificate of Appropriateness application process can be found on the Town of Hillsborough's website: <https://www.hillsboroughnc.gov/hdc>.

Applicant and Owner Acknowledgment and Certification

I am aware that Historic District Design Standards, Exterior Materials Compatibility Matrix, and Unified Development Ordinance requirements are the criteria by which my proposal will be evaluated for compatibility, and I certify that I, and/or my design professional under my direction, have reviewed my application materials with Planning Staff for compliance to the standards in those adopted documents. I understand that I, or my representative, must attend the HDC meeting where this application will be reviewed. I further understand that town employees and/or commissioners may need access to my property with reasonable notice to assess current conditions, and to assist them in making evidence-based decisions on my application and that I am not to speak to any commissioner about my project until the public meeting at which it is under consideration.

Applicant's Signature (Optional)

Date

Susan Montpetit (Oct 7, 2025 09:41:17 EDT)

Property Owner's Signature (Required)

10/07/2025

Date

Submittal Requirements

The following documents and plans are required to accompany your COA application in order for it to be deemed complete and scheduled for commission review. Planning staff will determine when all submittal requirements have been met. The first FOUR complete COA applications submitted by the deadline will be heard on any HDC agenda.

All applications must include the following documents and plans:

(Provide a digital copy if plans are larger than 11"x17")

- ☐ Detailed narrative describing the proposed work and how it complies with all adopted standards.
- ☐ Existing **and** Proposed Dimensioned Plans {see below):
 - Site Plan (if changing building footprint or adding new structures, impervious areas or site features, including hardscaping)
 - Scaled Architectural Plans (if changing building footprint or new construction)
 - Scaled Elevations (if adding or changing features of a structure)
 - Landscaping Plans (required for all new construction and for significant landscaping or tree removal and re-planting)
 - Tree Survey (required for new construction when trees over 12" diameter at breast height are on site - show both existing and those to be removed)
 - Sign Specifications (if adding, changing, or replacing signage)
- ☐ Itemized list of existing and proposed exterior materials including photos and specifications, colors, etc. (Siding, trim and fascia, roof and foundation materials, windows, shutters, awnings, doors, porch and deck flooring, handrails, columns, patios, walkways, driveways, fences and walls, and signs, etc.).
- ☐ Photographs, material samples, examples of comparable properties in the district (if using them as basis for specific designs), plans, or drawings that will help to clarify the proposal, if applicable, or if required by staff as part of the review.

Staff Use Only:**COA fee (\$1 per \$1000 of construction costs, \$150 minimum) or****Minor Works fee (\$1 per \$1000 of construction costs, \$25 minimum):**

Amount: \$ _____

☐ After-the-fact application (\$300):

Amount: \$ _____

Total Due: \$ _____

Receipt #: _____

Received by: _____

Date: _____

This application meets all Unified Development Ordinance requirements and has been reviewed for compliance with all approved materials.

☐ N/A ☐ Yes

Zoning Officer: _____

This application meets public space division requirements.

☐ N/A ☐ Yes

Public Space Manger: _____

Historic Architectural Inventory Information

Original date of Construction: _____

Description of the Property:

Applicable Design Standards:

Other reviews needed?

☐ Hillsborough Zoning Compliance Permit ☐ Orange County Building Permit ☐ Other: _____
Minor Works Certificate of Appropriateness Application Decision☐ Approved ☐ Referred to HDC

Minor Works Reference(s): _____

Certificate of Appropriateness Decision☐ Approved ☐ Denied

Commission Vote: _____

Conditions or Modifications (if applicable):

Historic District Staff Signature_____
Date






Town of Hillsborough COA Minor Works Application - Filled

Final Audit Report

2025-10-07

Created:	2025-10-07
By:	Stephanie King (stephanie.king@andersencorp.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAA0BwmU2azbDZ_k37hcF9VCQkPLq98jD5Y

"Town of Hillsborough COA Minor Works Application - Filled" History

-  Document created by Stephanie King (stephanie.king@andersencorp.com)
2025-10-07 - 1:37:26 PM GMT
-  Document emailed to Susan Montpetit (sue@tcrc.com) for signature
2025-10-07 - 1:37:31 PM GMT
-  Email viewed by Susan Montpetit (sue@tcrc.com)
2025-10-07 - 1:40:53 PM GMT
-  Document e-signed by Susan Montpetit (sue@tcrc.com)
Signature Date: 2025-10-07 - 1:41:17 PM GMT - Time Source: server
-  Agreement completed.
2025-10-07 - 1:41:17 PM GMT



To: Hillsborough Historic District

Customer: Susan Montpetit

Address: 225 E Corbin Street, Hillsborough, NC 27278

Project Narrative:

The proposed project would replace Nine existing windows in the home. The existing windows are all 1957 era wood windows. These windows will be replaced with Andersen Double-Hung and Picture wood based composite windows with the same wood based composite L-trim. In keeping with the aesthetics and value of historical construction, Andersen wood based composite windows have a mortise and tenon joint construction and will be in the same white exterior/interior finish color as the original. (No coil or cladding will be used on the exterior.)

As per standard 6 in the Windows section of the Hillsborough Historic District Design Standards, a compatible material will be used in these replacement windows and will be energy efficient. The replacement windows will respect the dimension, color, pattern, and other visual qualities of the windows original to the building. Andersen's wood based composite windows have been approved in multiple historic districts across the state and are constructed to replicate the historical character of the originally constructed windows and the historic aesthetics of the home.

This window replacement project will not compromise the building's architectural integrity (standard 8). There will be no introduction or elimination of historic window openings. The new windows in this project will be custom built to fit into the current window openings of the home.

To retain the historic character of the home, the new windows will retain the same distinctive colonial style and specialty style grille pattern as the current windows with a fully divided light grille style (per standard 7). The exterior grille will be the wood based composite while the interior will be white painted wood grilles.



To: Hillsborough Historic District

Customer: Susan Montpetit

Address: 225 E Corbin Street, Hillsborough, NC 27278

Compliance Statement:

The home is designated as a Contributing structure/property. To maintain the historical value, we will be replacing the windows with a wood composite frame with a mortise and tenon joint construction. The windows will also contain the same distinctive colonial and specialty grille patterns as the original windows to retain the value and aesthetics of historical construction.

Project Description:

We propose to replace Nine existing windows in our home. These windows will be replaced with Andersen Double-Hung and Picture wood based composite windows with the same wood based composite L-trim. In keeping with the aesthetics and value of historical construction, Andersen wood based composite windows have a mortise and tenon joint construction and will be in the same white exterior/interior finish color as the original. (No coil or cladding will be used on the exterior.)

To retain the historic character of the home, the new windows will retain the same distinctive colonial style and specialty grille pattern with a fully divided light grille. The exterior grille will be the wood based composite while the interior will be white painted wood grilles.

Andersen windows are constructed to replicate the historical character of the originally constructed windows and the historic aesthetics of the home.



RENEWAL
by **ANDERSEN**
FULL-SERVICE WINDOW & DOOR REPLACEMENT

Living Room Windows:

The Two living room windows will be (34-1/2" X 54") double-hung windows with Base Frames. These windows will have a colonial 3w x 2h grille pattern. In keeping with the existing windows, both the Exterior and the Interior will be white. These windows will be placed in the exact same position as the existing windows.

Pictured below is a rendering of what the new windows will look like



Units 101, 102 Exterior



Units 101, 102 sideview with divided light visual



RENEWAL
by ANDERSEN
FULL-SERVICE WINDOW & DOOR REPLACEMENT

Dining Room Window:

The One dining room window will be a (34-1/2" X 54") double-hung window with Base Frame. This window will have a colonial 3w x 2h grille pattern. In keeping with the existing window, both the Exterior and the Interior will be white. This window will be placed in the exact same position as the existing window.

Pictured below is a rendering of what the new window will look like.



Unit 103 Exterior



Units 103 sideview with divided light visual

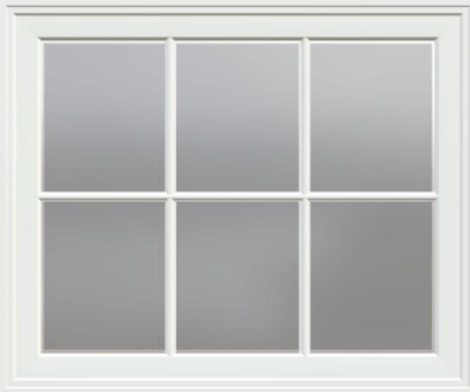


RENEWAL
by ANDERSEN
FULL-SERVICE WINDOW & DOOR REPLACEMENT

Hallway Window:

The One hallway window will be a (34-1/2" X 29-1/4") picture window with Base Frame. This window will have a colonial 3w x 2h grille pattern. In keeping with the existing window, both the Exterior and the Interior will be white. This window will be placed in the exact same position as the existing window.

Pictured below is a rendering of what the new window will look like.



Unit 105 Exterior



Units 105 sideview with divided light visual

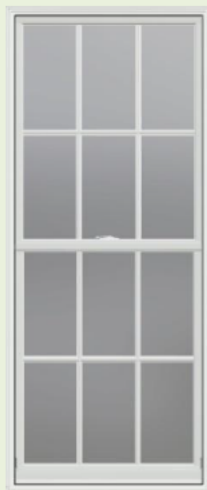
Kitchen Windows:

The Two kitchen windows will be one (39-1/2" X 37-1/4") double-hung window with Base Frame. This window will have a specialty 12 over 12 diamond like grille pattern (matching the existing pattern). The second kitchen window will be a (27-1/2" X 64-3/4") double-hung window with Base Frame. This window will have a colonial 3w x 2h grille pattern. In keeping with the existing windows, both the Exterior and the Interior will be white. These windows will be placed in the exact same position as the existing windows.

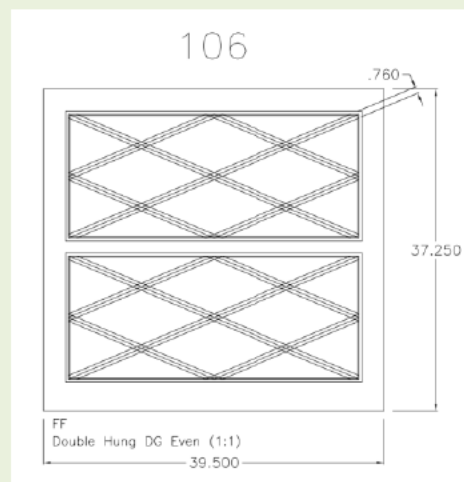
Pictured below is a rendering of what the new windows will look like



Units 106, 107 Exterior



Unit 107 sideview with divided light visual





RENEWAL
by ANDERSEN
FULL-SERVICE WINDOW & DOOR REPLACEMENT

Primary Bathroom Window:

The One primary bathroom window will be a (27-1/2" X 37-1/4") double-hung window with Base Frame. This window will have a colonial 3w x 2h grille pattern. In keeping with the existing window, both the Exterior and the Interior will be white. This window will be placed in the exact same position as the existing window.

Pictured below is a rendering of what the new window will look like.



Unit 108 Exterior



Units 108 sideview with divided light visual



RENEWAL
by **ANDERSEN**
FULL-SERVICE WINDOW & DOOR REPLACEMENT

Primary Bedroom Windows:

The Two primary bedroom windows will be one (33-1/2" X 27-1/4") picture window with Base Frame and one (34-1/2" X 53-3/4") double-hung window with Base Frame. These windows will have a colonial 3w x 2h grille pattern. In keeping with the existing windows, both the Exterior and the Interior will be white. These windows will be placed in the exact same position as the existing windows.

Pictured below is a rendering of what the new windows will look like.



Unit 109, 110 Exterior



Units 109, 110 sideview with divided light visual

Existing Windows:





RENEWAL
by ANDERSEN
FULL-SERVICE WINDOW & DOOR REPLACEMENT





RENEWAL
by ANDERSEN
FULL-SERVICE WINDOW & DOOR REPLACEMENT





RENEWAL
by ANDERSEN
FULL-SERVICE WINDOW & DOOR REPLACEMENT





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RENEWAL
by **ANDERSEN**
FULL-SERVICE WINDOW & DOOR REPLACEMENT

Unit 101



Unit 101



Unit 102



Unit 103



Unit 105





RENEWAL
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FULL-SERVICE WINDOW & DOOR REPLACEMENT

Unit 106





RENEWAL
by **ANDERSEN**
FULL-SERVICE WINDOW & DOOR REPLACEMENT

Unit 106



Unit 107





RENEWAL
by **ANDERSEN**
FULL-SERVICE WINDOW & DOOR REPLACEMENT

Unit 108



Unit 109



Unit 110

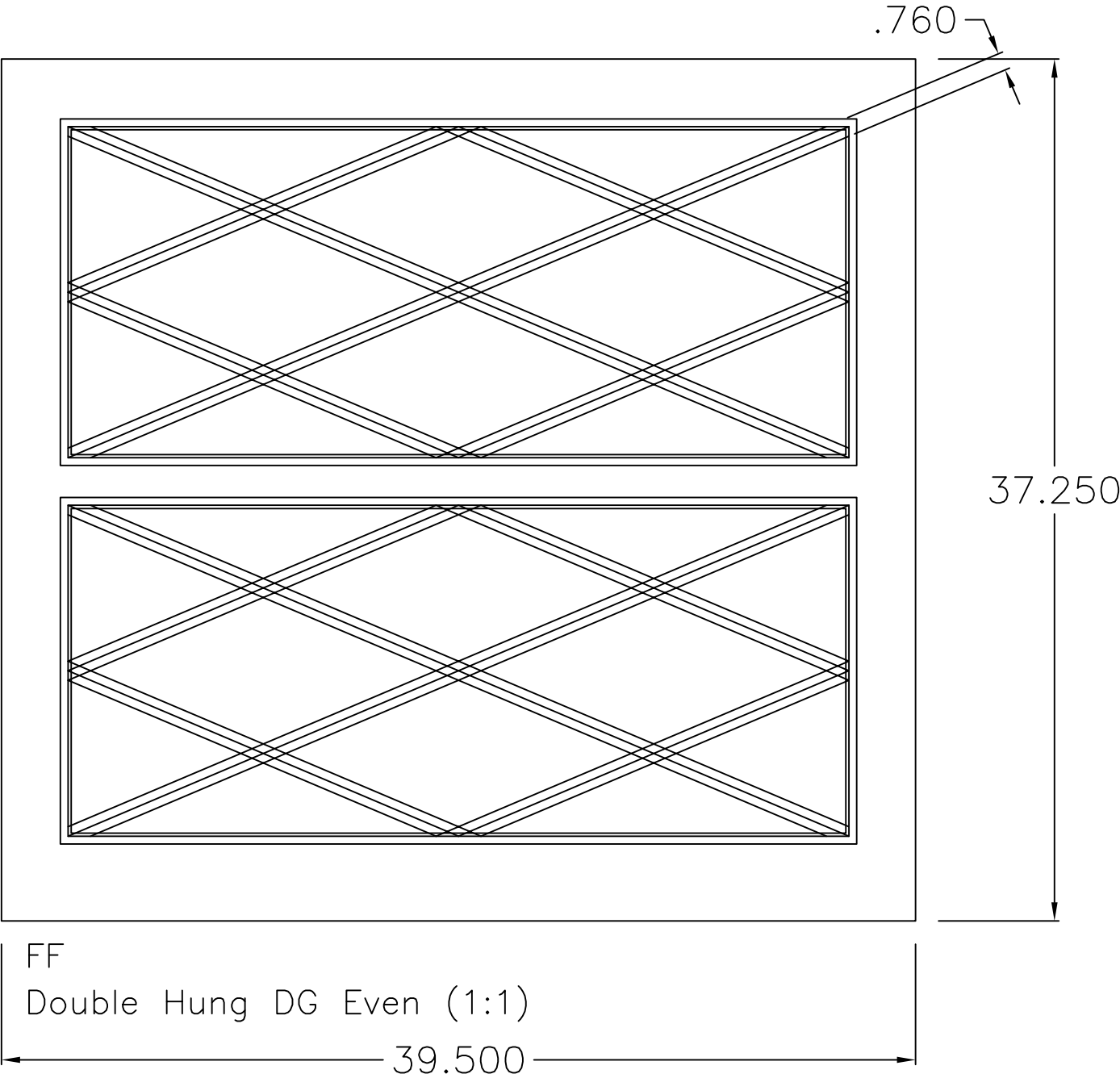


Materials Checklist

Sue (2) Monpetit
225 E Corbin St.
Hillsborough, NC 27278
Year Built: 1879
H: (919)616-6746

CATEGORY	DESCRIPTION	QUANTITY	
This list includes the sum total all of the materials for the entire job.			
EQUIPMENT	Lead Kit	.. 1 Kit	<input type="checkbox"/>
EXTERIOR TRIM	LTX544PRF Primed Pine 5/4 x 4 x 16'	.. 1 x 16ft	<input type="checkbox"/>
INSTALL MATERIAL	Andersen Branded Flashing Tape 4"	.. 3 Rolls	<input type="checkbox"/>
INSTALL MATERIAL	CAULK CLEAR/TRANSLUCENT 10oz (Silicone DO NOT PAINT)	.. 9 Tubes	<input type="checkbox"/>
INSTALL MATERIAL	CAULK WHITE 10oz (Hybrid Paintable)	.. 18 Tubes	<input type="checkbox"/>
INSTALL MATERIAL	Spray Foam Insulation	.. 3 Cans	<input type="checkbox"/>
INSTALL MATERIAL	L- Trim WHITE 12'	.. 18 PCSs	<input type="checkbox"/>

106

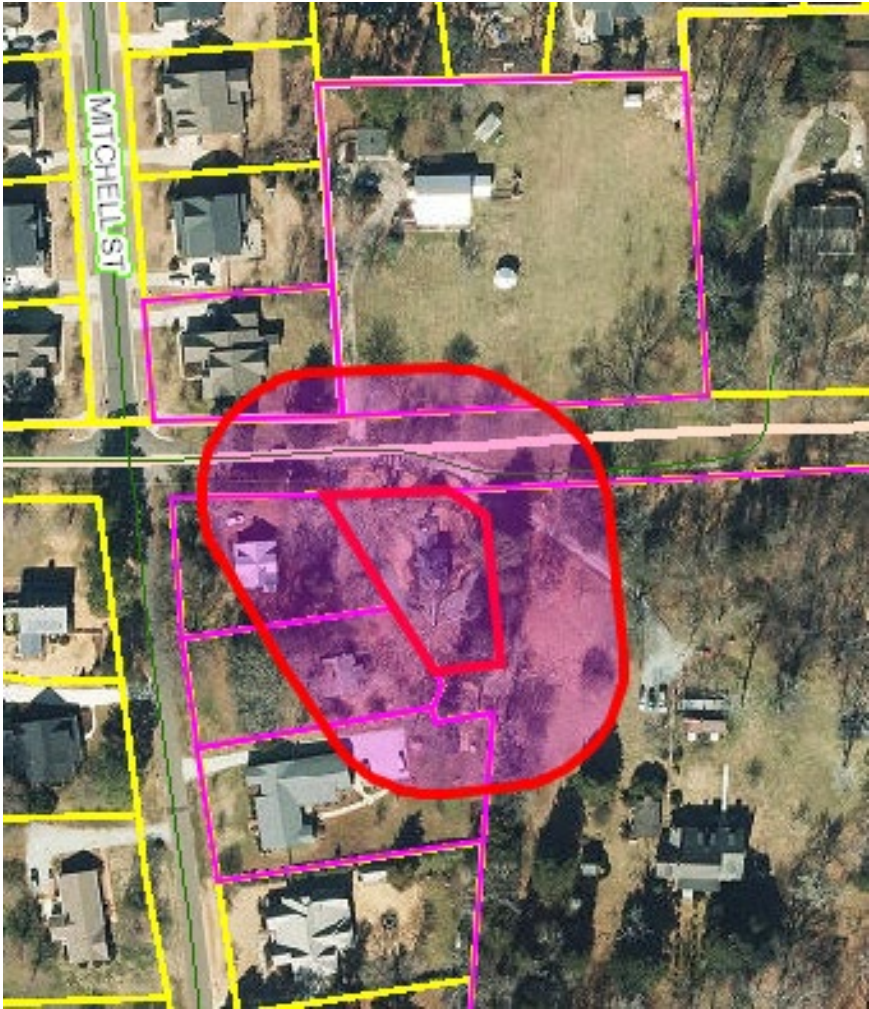


I, Joseph Hoffheimer, hereby certify that all property owners within 100 feet of and the owners of PIN 9874189986 (the affected property) have been sent a letter of notification of the Certificate of Appropriateness application before the Historic District Commission by first class mail in accordance with the Hillsborough Zoning Ordinance.

10/22/2025
Date

Joseph Hoffheimer
(for Hillsborough Planning Department)

PIN	OWNER1_LA	OWNER1_FIRST	OWNER2_LA	OWNER2_	ADDRESS1	CITY	STATE	ZIPCODE
9874188897	DULA	THOMAS HUNTER			PO BOX 102	HILLSBOROUGH	NC	272780102
9874188956	DULA	THOMAS H	DULA	HARRY S	PO BOX 102	HILLSBOROUGH	NC	272780222
9874189986	MONTPETIT	MICHAEL G	MONTPETIT	SUSAN A	107 CARNIE CT	CARY	NC	27513
9874199241	YOUNGER	CLIFFORD A	YOUNGER	BARBARA	502 MITCHELL ST	HILLSBOROUGH	NC	27278
9874280836	KOVAL	DAVID J	KOVAL	STACEY R	416 MITCHELL ST	HILLSBOROUGH	NC	27278
9874282611	MCKEE	H CARLTON JR	MCKEE	SARA LOU	225 CAINE ST	HILLSBOROUGH	NC	27278
9874290242	SHAW	DUNCAN	SHAW	JENNIFER	224 E CORBIN ST	HILLSBOROUGH	NC	27278



ITEM #5. E:

Address: 217 S. Occoneechee St.

Year Built: c. 1936, 2011

Historic Inventory Information (2013)

This two-story, I-house is three bays wide and single-pile with a one-story, gabled ell at the right rear (southeast). The house has rolled asphalt sheathing, two-over-two wood-sash windows, a 5V metal roof, and one-to-six common bond exterior brick chimneys in the gables, each flanked by one-over-one windows. The double-leaf two-light-over-two-panel entrance has boarded-up one-light-over-one-panel sidelights and is sheltered by a near-full-width, shed-roofed porch supported by tapered wood posts on brick piers. There is an enclosed porch at the left rear (northeast) and the rear ell has German-profile weatherboards. Bellinger dates the house to 1912.

Proposed work

- Repair house
- Remove rear corner additions
- Replace rear roof with new standing seam roof

Application materials

- COA application
- Existing site photos
- Narrative
- Material matrix
- Existing and proposed elevations

Applicable Design Standards

- *Wood:* 1-10
- *Exterior Walls:* 1-11
- *Windows:* 1-5, 8
- *Doors:* 1-5, 8
- *Roofs:* 1-7, 12

Staff Comments

- This application was automatically continued from the November HDC meeting due to the lack of quorum then and will be heard at or after the regular 6:30 pm start time.
- The application was submitted to comply with an order to repair for an active demolition by neglect case.
- The inventory does not provide an age for the existing rear roof, rear additions, or Bricktex siding.
- Aside from what is described in the application, staff have not found any documentation of the building's second evolution.



TOWN OF
HILLSBOROUGH

APPLICATION
Certificate of Appropriateness and Minor Works

Planning and Economic Development Division
101 E. Orange St., PO Box 429, Hillsborough, NC 27278
919-296-9470 | Fax: 919-644-2390
planning@hillsboroughnc.gov
www.hillsboroughnc.gov

9864850633

R-20

217 S Occonechee St

Orange County Parcel ID Number

Zoning District

Address of Project

TAYLOR HALL, ROBBIN & HALL WILLIAM



Property Owner (if different than applicant)

Property Owner's Mailing Address

City, State ZIP

Property Owner's Phone Number

Property Owner's Email

Description of Proposed Work: repair house, remove rear corner additions, replace rear roof w/ standing seam roof

Estimated Cost of Construction: \$ \$200,000

The Historic District Design Standards, Exterior Materials Compatibility Matrix, and Certificate of Appropriateness application process can be found on the Town of Hillsborough's website: <https://www.hillsboroughnc.gov/hdc>.

Applicant and Owner Acknowledgment and Certification

I am aware that Historic District Design Standards, Exterior Materials Compatibility Matrix, and Unified Development Ordinance requirements are the criteria by which my proposal will be evaluated for compatibility, and I certify that I, and/or my design professional under my direction, have reviewed my application materials with Planning Staff for compliance to the standards in those adopted documents. I understand that I, or my representative, must attend the HDC meeting where this application will be reviewed. I further understand that town employees and/or commissioners may need access to my property with reasonable notice to assess current conditions, and to assist them in making evidence-based decisions on my application and that I am not to speak to any commissioner about my project until the public meeting at which it is under consideration.

Applicant's Signature (Optional)

Date

Property Owner's Signature (Required)

Date

Robbin Hall

10.1.25

Submittal Requirements

The following documents and plans are required to accompany your COA application in order for it to be deemed complete and scheduled for commission review. Planning staff will determine when all submittal requirements have been met. The first FOUR complete COA applications submitted by the deadline will be heard on any HDC agenda.

All applications must include the following documents and plans:

(Provide a digital copy if plans are larger than 11"x17")

- ☐ Detailed narrative describing the proposed work and how it complies with all adopted standards.
- ☐ Existing **and** Proposed Dimensioned Plans (see below):
 - Site Plan (if changing building footprint or adding new structures, impervious areas or site features, including hardscaping)
 - Scaled Architectural Plans (if changing building footprint or new construction)
 - Scaled Elevations (if adding or changing features of a structure)
 - Landscaping Plans (required for all new construction and for significant landscaping or tree removal and re-planting)
 - Tree Survey (required for new construction when trees over 12" diameter at breast height are on site - show both existing and those to be removed)
 - Sign Specifications (if adding, changing, or replacing signage)
- ☐ Itemized list of existing and proposed exterior materials including photos and specifications, colors, etc. (Siding, trim and fascia, roof and foundation materials, windows, shutters, awnings, doors, porch and deck flooring, handrails, columns, patios, walkways, driveways, fences and walls, and signs, etc.).
- ☐ Photographs, material samples, examples of comparable properties in the district (if using them as basis for specific designs), plans, or drawings that will help to clarify the proposal, if applicable, or if required by staff as part of the review.

Introduction

This two-story, I-house is three bays wide and single-pile with a one-story, gabled ell at the right rear (southeast). The house has rolled asphalt sheathing, two-over-two wood-sash windows, a 5V metal roof, and one-to-six common bond exterior brick chimneys in the gables, each flanked by one-over-one windows. The double-leaf two-light-over-two-panel entrance has boarded-up one-light-over-one-panel sidelights and is sheltered by a near-full-width, shed-roofed porch supported by tapered wood posts on brick piers. There is an enclosed porch at the left rear (northeast) and the rear ell has German-profile weatherboards. Bellinger dates the house to 1912. Please see existing conditions pictures below:



View of front door and sidelights (to be retained)



View from S. Occoneechee Street looking Northeast



View from S. Occoneechee Street looking Southeast



View of north side looking south



View of north side and rear looking Southwest



View of rear looking west



Closeup view of south side of latest addition

Project

The homeowners are proposing to restore the home to what we surmise to be the 2nd evolution of the house by removing the asphalt siding, restoring the wood siding, windows, doors, roof, foundation as necessary. Also, they are proposing to remove the more contemporary rear porch on the northeast and the addition on the southeast. As part of this renovation the rear steeply pitched hip roof will be replaced with a low-pitched standing seam (no striations) hip roof to expose the original rear window which is on the interior stair landing. As part of the renovation, where the additions were removed, they are proposing aluminum clad SDL windows with Hardie trim. New asphalt shingles and 5V will be replaced in kind.

Landscaping

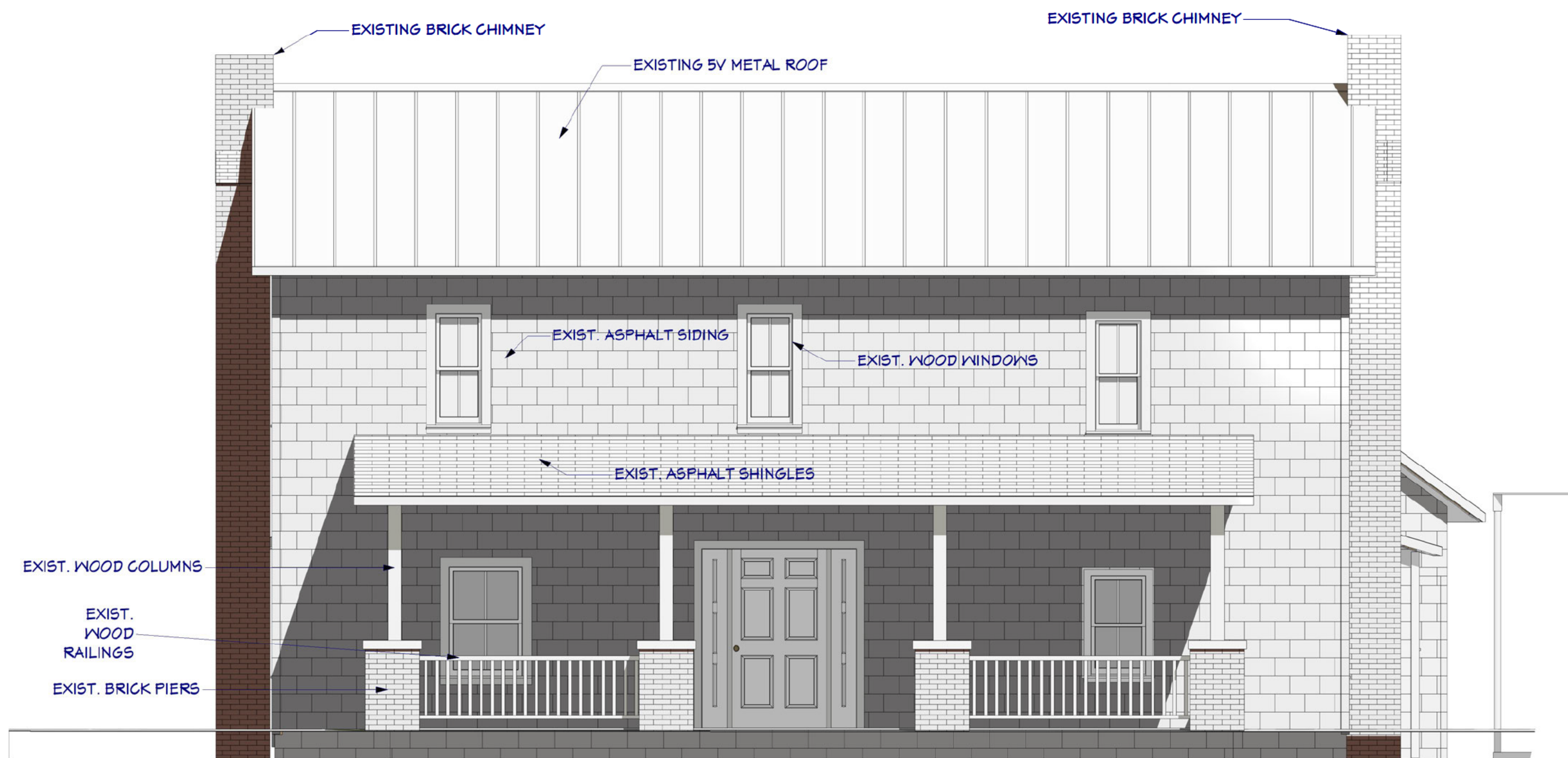
No trees will be removed, and no new plantings are proposed at this time.

Lighting

No new lighting is proposed.

Material matrix

Item	Proposed material(s)	Color
siding	Wood	To match existing
trim	Wood (front), Hardie (rear)	To match existing
fascia	Wood (front), Hardie (rear)	To match existing
roof (repairs)	Shingles (front), 5V (front/rear) & standing seam (rear hip)	To match existing
foundation materials	No change (stone/block/stucco/brick)	To match existing
windows	Aluminum clad SDL	To match existing
shutters	No change	N/A
awnings	none	N/A
Railings	No change	N/A
walkways	No change	N/A
driveways	No change	N/A
fences	No change	N/A



Existing Exterior Elevation Front



Proposed Exterior Elevation Front



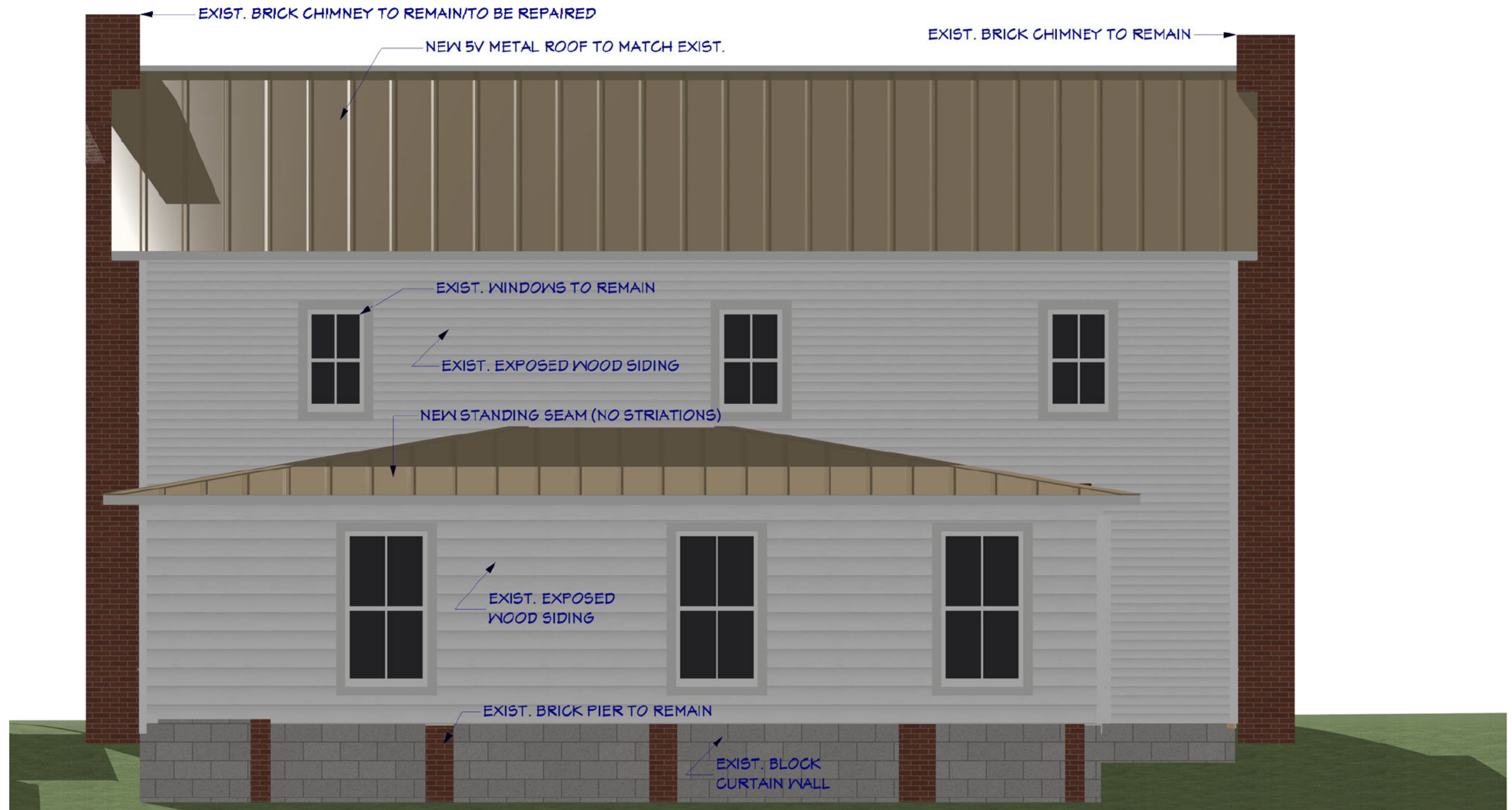
Existing Exterior Elevation Left



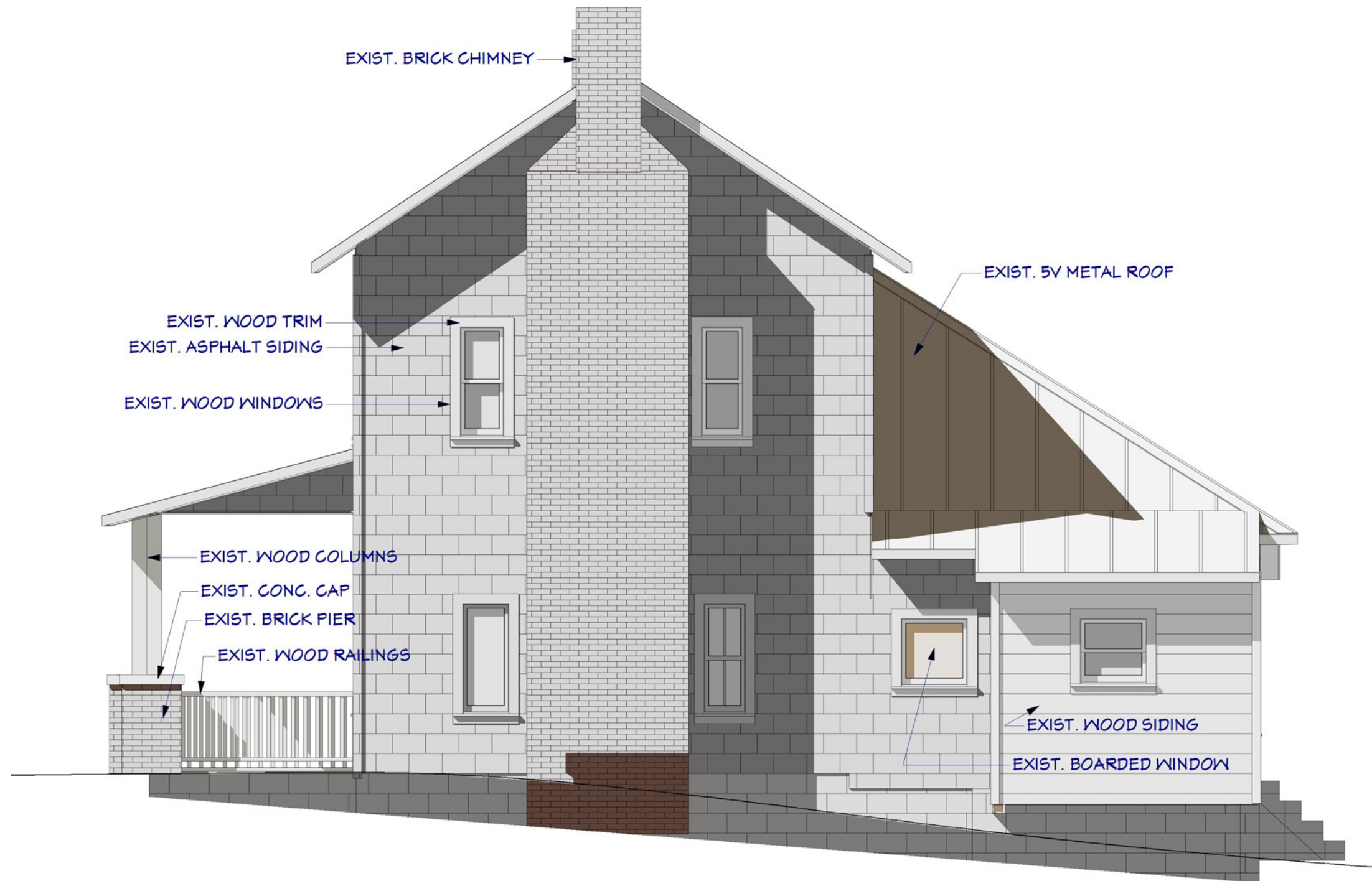
Proposed Exterior Elevation Left



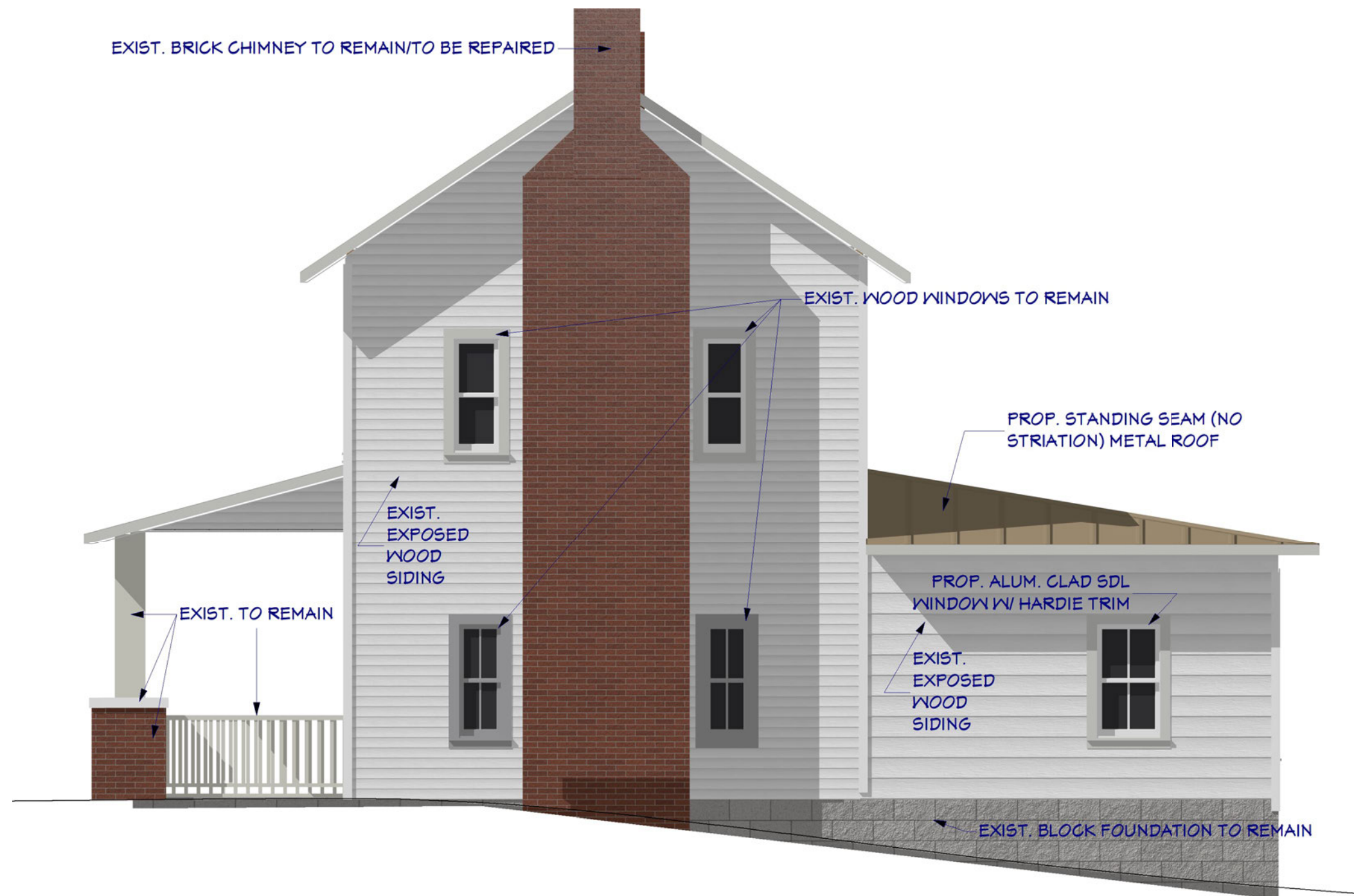
Existing Exterior Elevation Back



Proposed Exterior Elevation Back



Existing Exterior Elevation Right



Proposed Exterior Elevation Right



Front Perspective



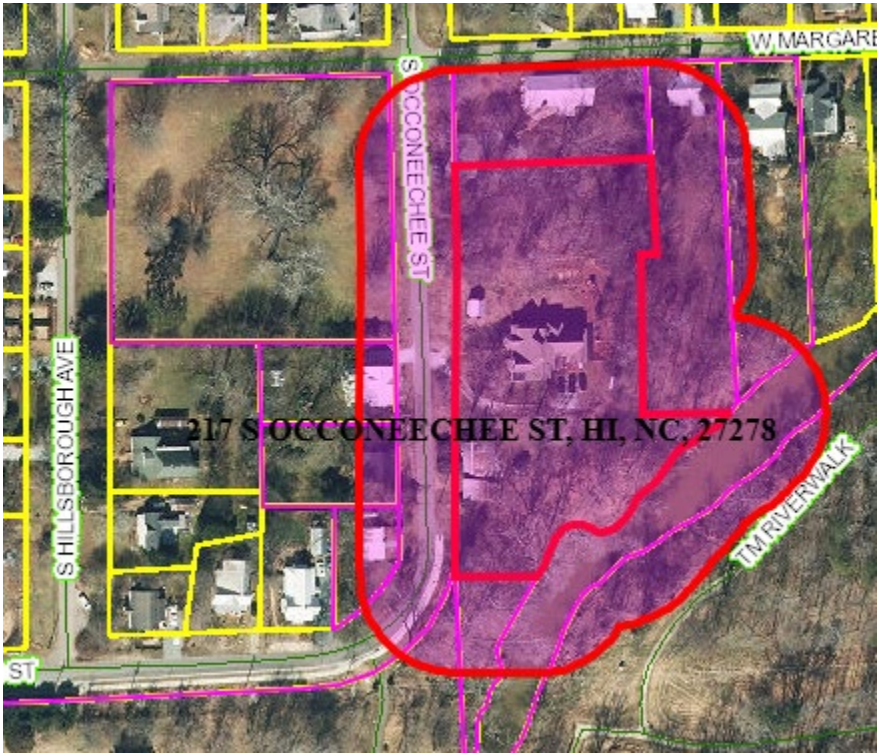
Rear Perspective

I, Joseph Hoffheimer, hereby certify that all property owners within 100 feet of and the owners of PIN 9864757417 (the affected property) have been sent a letter of notification of the Certificate of Appropriateness application before the Historic District Commission by first class mail in accordance with the Hillsborough Zoning Ordinance.

10/22/2025
Date

Joseph Hoffheimer
(for Hillsborough Planning Department)

PIN	OWNER1_LAST	OWNER1_FIRST	OWNER2_LAST	OWNER2_FIRST	ADDRESS1	ADDRESS2	CITY	STATE	ZIPCODE
9864755143	NORTH CAROLINA	COMPANY			2809 HIGHWOODS		RALEIGH	NC	27604
9864756746	HILLSBOROUGH	OF			PO BOX 429	PUBLIC SP	HILLSBOROUGH	NC	27278
9864757359	GARCIA	CARLOS GONZALEZ	PACHECO	ANA GABRIELA	311 BARTLETT CIR		HILLSBOROUGH	NC	27278
9864757417	PETERSON	DOUGLAS C			404 CALVIN ST		HILLSBOROUGH	NC	27278
9864757505	ALLORE	ELISABETH			212 S OCCONEECH		HILLSBOROUGH	NC	27278
9864758285	LANE	CAROL MANN S			23031 BRADFORD C		CARY	NC	27519
9864759861	GOWING	LINDA GAYLE			201 S OCCONEECH		HILLSBOROUGH	NC	27278
9864850633	TAYLOR HALL	ROBBIN L	HALL	WILLIAM L	209 S OCCONEECH		HILLSBOROUGH	NC	27278
9864850782	LAINING	CAROL E	STALFA	NATHAN LAINING	PO BOX 456		HILLSBOROUGH	NC	27278
9864851751	BAYLOR	BRYAN A	LONG	EMILY B	321 W MARGARET L		Hillsborough	NC	27278
9864855338	TOWN OF HIL				PO BOX 429	PUBLIC SP	Hillsborough	NC	27278



ITEM #6. A:

Address: 109 N. Cameron St.

Year Built: c. 1956

Historic Inventory Information (2013)

This one-story, side-gabled brick Ranch house has a modern, streamlined appearance with a low-sloped roof and horizontally-oriented sliding windows near the top of the walls. It is five bays wide and double-pile with a wide interior brick chimney, brick veneer, and replacement vinyl windows. There is an engaged carport projecting from the left (south) end of the façade with the shed roof supported by metal poles on a high brick wall. A replacement front door just right (north) of the carport opens to an uncovered brick terrace that extends across the right three bays of the façade. The side slopes to the rear to reveal a basement level and windows at the rear are near-full-height windows. County tax records date the building to 1956.

Proposed work

- Construct a second driveway to the house from Cameron Street

Application materials

- COA application
- Narrative
- Site plan
- Site photos
- Example photos

Applicable Design Standards

- *Walkways, Driveways, and Off-Street Parking: 8-11*

Staff Comments

- The minor works standards do not allow for staff approval of new driveway construction.

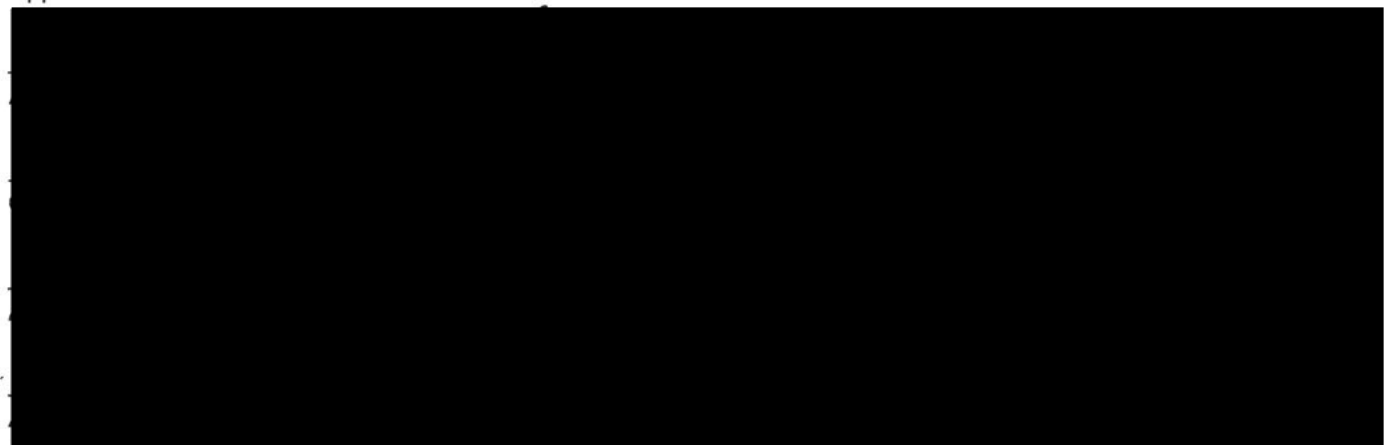


TOWN OF
HILLSBOROUGH

APPLICATION Certificate of Appropriateness and Minor Works

Planning and Economic Development Division
101 E. Orange St., PO Box 429, Hillsborough, NC 27278
919-296-9470 | Fax: 919-644-2390
planning@hillsboroughnc.gov
www.hillsboroughnc.gov

Orange County Parcel ID Number _____ Zoning District Historic Address of Project 109 N. Cameron St
Applicant Name Alison: Steve Mahaley Property Owner (if different than applicant) _____



Description of Proposed Work: Second driveway off Cameron

Estimated Cost of Construction: \$8,500

The Historic District Design Standards, Exterior Materials Compatibility Matrix, and Certificate of Appropriateness application process can be found on the Town of Hillsborough's website: <https://www.hillsboroughnc.gov/hdc>.

Applicant and Owner Acknowledgment and Certification

I am aware that Historic District Design Standards, Exterior Materials Compatibility Matrix, and Unified Development Ordinance requirements are the criteria by which my proposal will be evaluated for compatibility, and I certify that I, and/or my design professional under my direction, have reviewed my application materials with Planning Staff for compliance to the standards in those adopted documents. I understand that I, or my representative, must attend the HDC meeting where this application will be reviewed. I further understand that town employees and/or commissioners may need access to my property with reasonable notice to assess current conditions, and to assist them in making evidence-based decisions on my application and that I am not to speak to any commissioner about my project until the public meeting at which it is under consideration.

Alison Mahaley 10/24/2025 Steve Mahaley 10/24/2025
Applicant's Signature (Optional) Date Property Owner's Signature (Required) Date

Submittal Requirements

The following documents and plans are required to accompany your COA application in order for it to be deemed complete and scheduled for commission review. Planning staff will determine when all submittal requirements have been met. The first FOUR complete COA applications submitted by the deadline will be heard on any HDC agenda.

All applications must include the following documents and plans:

(Provide a digital copy if plans are larger than 11"x17")

- ☐ Detailed narrative describing the proposed work and how it complies with all adopted standards.
- ☐ Existing **and** Proposed Dimensioned Plans {see below}:
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 - Scaled Elevations (if adding or changing features of a structure)
 - Landscaping Plans (required for all new construction and for significant landscaping or tree removal and re-planting)
 - Tree Survey (required for new construction when trees over 12" diameter at breast height are on site - show both existing and those to be removed)
 - Sign Specifications (if adding, changing, or replacing signage)
- ☐ Itemized list of existing and proposed exterior materials including photos and specifications, colors, etc. (Siding, trim and fascia, roof and foundation materials, windows, shutters, awnings, doors, porch and deck flooring, handrails, columns, patios, walkways, driveways, fences and walls, and signs, etc.).
- ☐ Photographs, material samples, examples of comparable properties in the district (if using them as basis for specific designs), plans, or drawings that will help to clarify the proposal, if applicable, or if required by staff as part of the review.

Staff Use Only:**COA fee (\$1 per \$1000 of construction costs, \$150 minimum)****or Minor Works fee (\$1 per \$1000 of construction costs, \$25 minimum):**

Amount: \$ _____

☐ After-the-fact application (\$500):

Amount: \$ _____

☐ Demolition request review (\$50):

Amount: \$ _____

Total Due: \$ _____

Receipt #: _____

Received by: _____

Date: _____

This application meets all Unified Development Ordinance requirements and has been reviewed for compliance with all approved materials.

☐ N/A☐ Yes

Zoning Officer: _____

This application meets public space division requirements.

☐ N/A☐ Yes

Public Space Manager: _____

Historic Architectural Inventory Information

Original date of Construction: _____

Description of the Property:

Applicable Design Standards:

Other reviews needed?

☐ Hillsborough Zoning Compliance Permit
 ☐ Orange County Building Permit
 ☐ Other: _____
Minor Works Certificate of Appropriateness Application Decision☐ Approved☐ Referred to HDC

Minor Works Reference(s): _____

Certificate of Appropriateness Decision☐ Approved☐ Denied

Commission Vote: _____

Conditions or Modifications (if applicable):

Historic District Staff Signature_____
Date

October 24, 2025

To The Historic District Commission

Regarding Mahaley new driveway proposal

Dear Commissioners,

We are proposing an additional driveway to help us access the lower part of our property. Please see the attached drawing and photos. In preparation for this proposed work, we have checked with the city about compliance regarding the need for a culvert, and have checked with the city water department about easement requirements next to our water main, and paid the Town of Hillsborough Driveway Permit fee.

To comply with the town's requirements, we have planned for a 15" culvert professionally installed and inspected by the city prior to completion. The driveway itself will be approximately 15 feet wide, and will connect with Cameron Street at the north end of our property, but before the water main.

The driveway will terminate at the bottom of the hill and near our back gate. Our installer (Wilkerson Grading) will install necessary drain pipes in our yard to accommodate any heavy rainfall. To allow for maximum drainage (thinking about recent flooding in Hillsborough), we are planning to use only gravel and not pave any portion of it.

We have also attached photos of several other properties within the HDC that have two entrances from the street. While most, though not all, create a loop driveway, there are examples of separate drives that access out buildings.

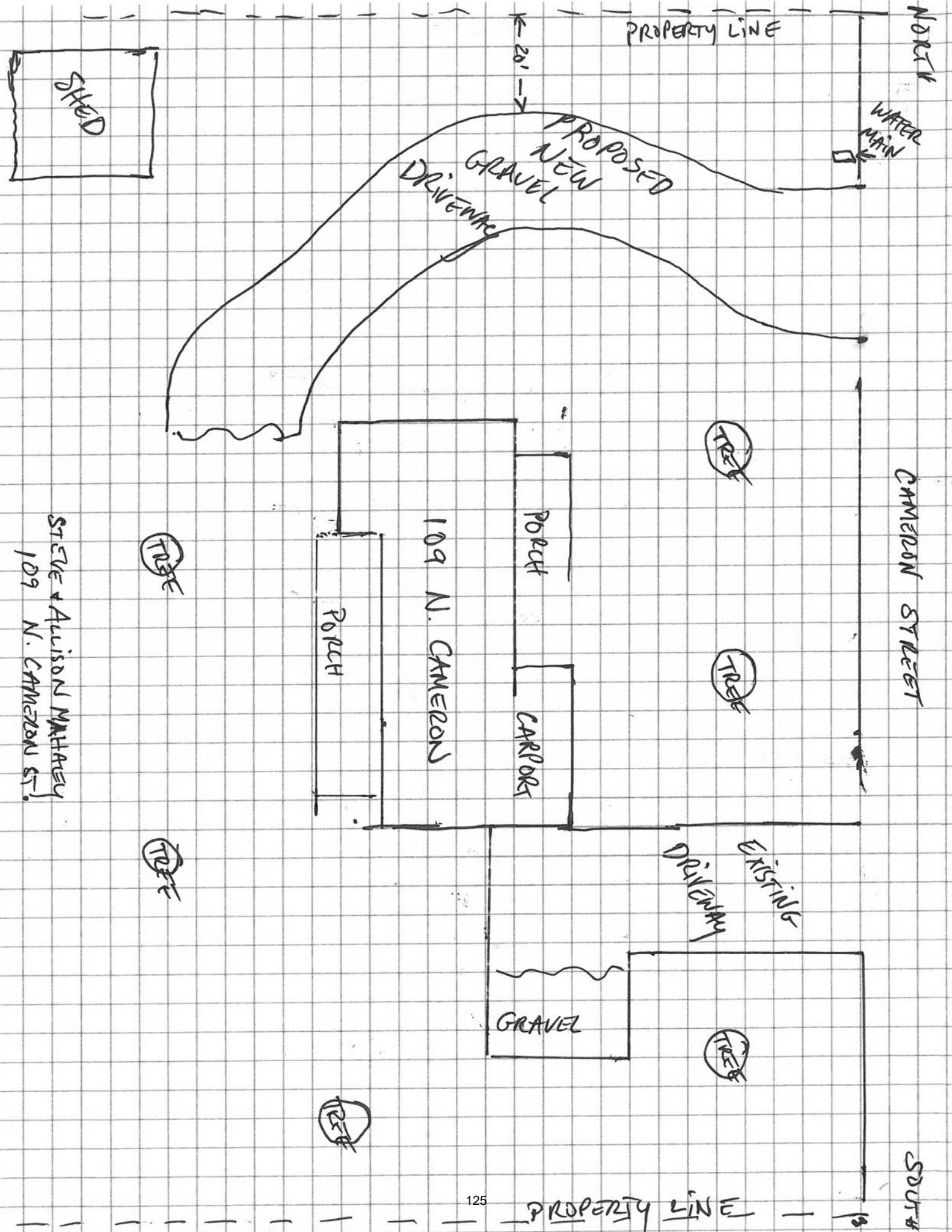
One additional note.

Our original plan was to amend our existing driveway to cut across the front yard and continue down to our back fence. Our arborist recommended against this plan in order to protect the giant oaks in our front yard. We also consulted a contractor who agreed that a new entrance would better serve our goals. 109 N Cameron is a double lot, so the driveways will appear to be normally spaced. Given this advice, we have employed a professional designer to help incorporate the new path into the existing landscape.

We look forward to hearing from you.

Very kind regards –

Steve and Allison Mahaley





109 N. Cameron – existing drive on the left. Proposed new drive on the right. (Fisheye view from N Cameron St)



Current driveway / asphalt and some gravel.



Proposed new driveway entrance – a safe distance to right of willow oak.



Straight on view of proposed drive path which goes down the hill and terminates at our back fence.

EXAMPLES from other locations:



N. Wake St., Hillsborough – “The Music Teachers House”. 2 gravel.



317 W. Tryon – one gravel, one concrete.



201 W. Queen – concrete loop.



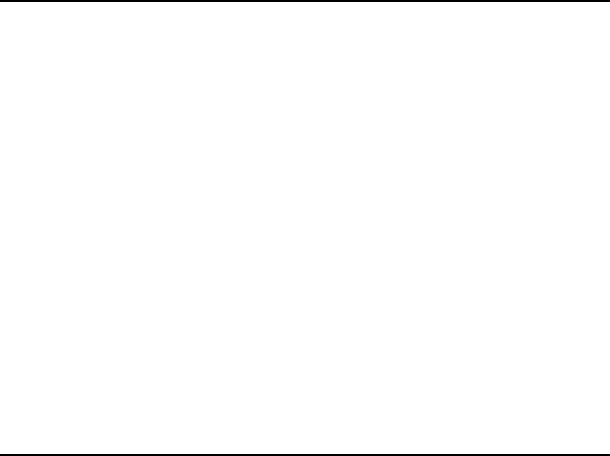
415 N. Cameron – concrete loop



423 N. Cameron – Concrete loop



419 N. Cameron – concrete loop.

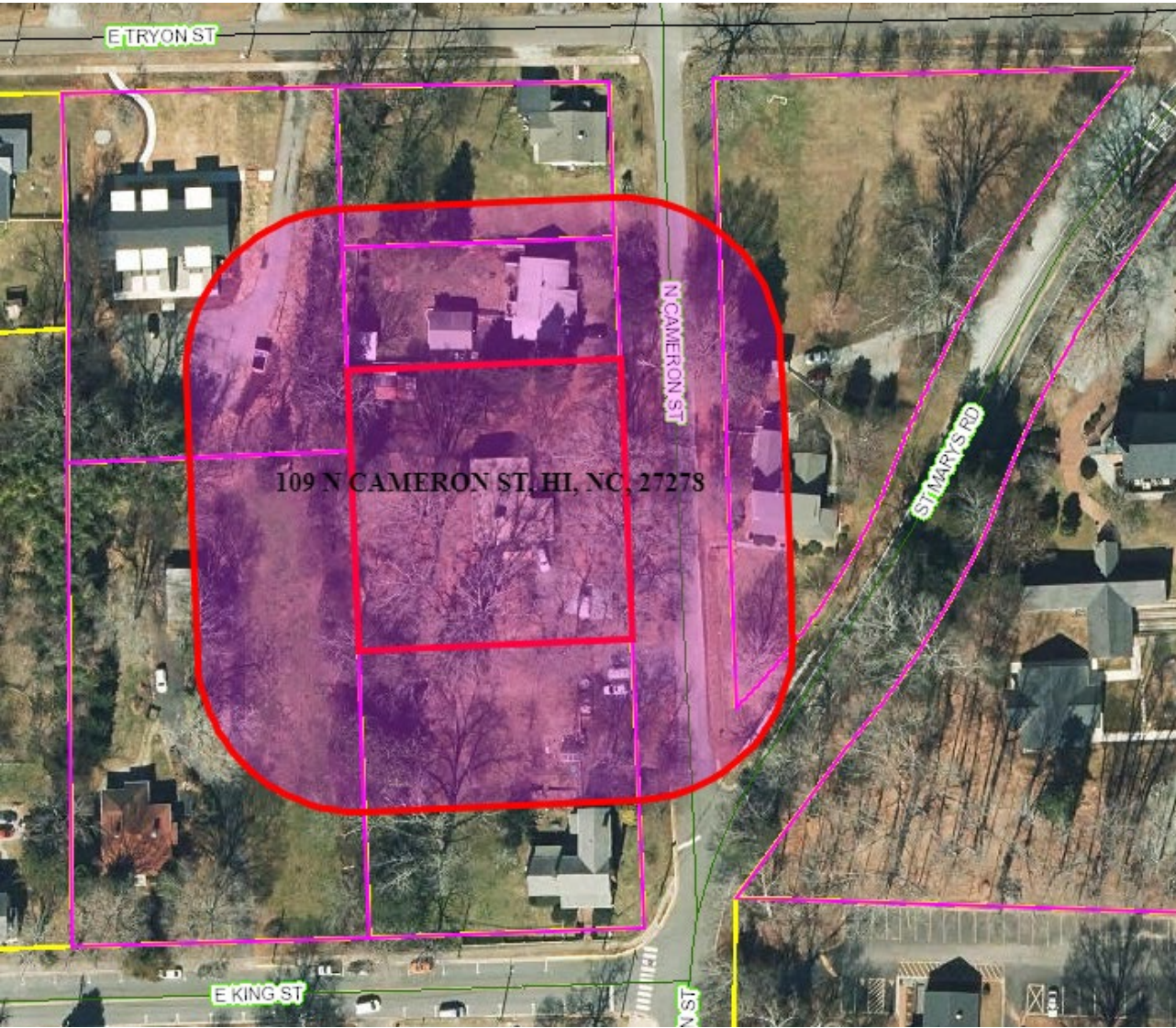


I, Joseph Hoffheimer, hereby certify that all property owners within 100 feet of and the owners of PIN 9874163529 (the affected property) have been sent a letter of notification of the Certificate of Appropriateness application before the Historic District Commission by first class mail in accordance with the Hillsborough Zoning Ordinance.

11/19/2025
Date

Joseph Hoffheimer, Planner
(for Hillsborough Planning Department)

PIN	OWNER1_LAST	OWNER1_FIRST	OWNER2_LAST	OWNER2_FIRST	ADDRESS1	CITY	STATE	ZIPCODE
9874161468	TEER	MARVIN LUTHER			145 E KING ST	HILLSBOROUGH	NC	27278
9874161753	EAST TRYON PR				PO DRAWER 1529	HILLSBOROUGH	NC	27278
9874163430	HIGHLEY	JONATHAN R	HIGHLEY	LOUISE L	157 E KING ST	Hillsborough	NC	27278
9874163529	MAHALEY	STEPHEN M	MAHALEY	ALLISON E	109 N CAMERON ST	HILLSBOROUGH	NC	272782501
9874163711	STRIEGLER	ROBERT P			113 N CAMERON ST	HILLSBOROUGH	NC	27278
9874163719	GATES	BONNIE M			P O BOX 399	HILLSBOROUGH	NC	27278
9874167661	ST MATTHEWS E				PO BOX 628	HILLSBOROUGH	NC	27278



ITEM #6. B:

Address: 241 Lydia Ln.

Year Built: c. 1946, c. 1960s

Historic Inventory Information (2013)

The core of the side-gabled Ranch house is a three-bay-wide, Minimal Traditional-style house that dates to c. 1946. The three-bay-wide, side-gabled core has been extensively altered with an additional bay and attached side-gabled two-bay carport on the right (north) elevation and a two-bay-wide, side-gabled wing on the left (south) elevation. The house has a brick veneer and vinyl windows, including a vinyl picture window on the right end of the façade that is flanked by double-hung multi-paned windows. The nine-light-over-six-panel door is accessed by an uncovered brick stoop with a vinyl railing. The attached carport is supported by grouped square posts on tall brick piers and there is vinyl siding in the gable. County tax records date the building to 1946.

Proposed work

- Demolish the existing house
- Construct a 2,831 square foot new house with a breezeway and fence

Application materials

- COA application
- Historic and existing photos of the property
- Narrative
- Example photos of similar new houses in the historic district
- Proposed doors
- Proposed light fixtures
- Paint/stain samples
- Material matrix
- Cost estimate from contractor
- Site plan
- Proposed elevations
- G.S. 160D-949

Applicable Design Standards

- *Demolition:* 1-8
- *New Construction of Primary Residential Buildings:* 1-11
- *Fences and Walls:* 8, 9
- *Exterior Lighting:* 5

Staff Comments

- The application refers to the house's "noncontributing" National Register status. While the National Register inventory provides valuable information about properties in the National Register historic district that overlaps with the local historic district, National Register "contributing" status does not have any added significance for local commission review. The design standards define "historic" and "historically significant" as 50 years of age or older, and most of the current form of the house in question meets that criteria.
- Staff requested more information regarding *Demolition* standards 1, 3, 5, and 8, and the responses are noted in the narrative.
- The commission may delay a proposed demolition for up to 365 days from the date of approval, but it may not deny demolition. See the attached section of G. S. 160D for more information.
- The construction dates of the example houses referenced in the application for the new build range from c. 1921 to 2021.



TOWN OF
HILLSBOROUGH

APPLICATION Certificate of Appropriateness and Minor Works

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101 E. Orange St., PO Box 429, Hillsborough, NC 27278
919-296-9470 | Fax: 919-644-2390
planning@hillsboroughnc.gov
www.hillsboroughnc.gov

Orange County Parcel ID Number

Zoning District

Address of Project

Applicant Name

Property Owner (if different than applicant)

Property Owner's Mailing Address

City, State ZIP

Property Owner's Phone Number

Property Owner's Email

Description of Proposed Work: _____

Estimated Cost of Construction: \$ _____

The Historic District Design Standards, Exterior Materials Compatibility Matrix, and Certificate of Appropriateness application process can be found on the Town of Hillsborough's website: <https://www.hillsboroughnc.gov/hdc>.

Applicant and Owner Acknowledgment and Certification

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Applicant's Signature (Optional)

Date

Property Owner's Signature (Required)

Date

Submittal Requirements

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All applications must include the following documents and plans:

(Provide a digital copy if plans are larger than 11"x17")

- ☐ Detailed narrative describing the proposed work and how it complies with all adopted standards.
- ☐ Existing **and** Proposed Dimensioned Plans (see below):
 - Site Plan (if changing building footprint or adding new structures, impervious areas or site features, including hardscaping)
 - Scaled Architectural Plans (if changing building footprint or new construction)
 - Scaled Elevations (if adding or changing features of a structure)
 - Landscaping Plans (required for all new construction and for significant landscaping or tree removal and re-planting)
 - Tree Survey (required for new construction when trees over 12" diameter at breast height are on site - show both existing and those to be removed)
 - Sign Specifications (if adding, changing, or replacing signage)
- ☐ Itemized list of existing and proposed exterior materials including photos and specifications, colors, etc. (Siding, trim and fascia, roof and foundation materials, windows, shutters, awnings, doors, porch and deck flooring, handrails, columns, patios, walkways, driveways, fences and walls, and signs, etc.).
- ☐ Photographs, material samples, examples of comparable properties in the district (if using them as basis for specific designs), plans, or drawings that will help to clarify the proposal, if applicable, or if required by staff as part of the review.

Staff Use Only:**COA fee (\$1 per \$1000 of construction costs, \$150 minimum)****or Minor Works fee (\$1 per \$1000 of construction costs, \$25 minimum):**

Amount: \$ _____

☐ After-the-fact application (\$500):

Amount: \$ _____

☐ Demolition request review (\$50):

Amount: \$ _____

Total Due: \$ _____

Receipt #: _____

Received by: _____

Date: _____

This application meets all Unified Development Ordinance requirements and has been reviewed for compliance with all approved materials.

☐ N/A☐ Yes

Zoning Officer: _____

This application meets public space division requirements.

☐ N/A☐ Yes

Public Space Manger: _____

Historic Architectural Inventory Information

Original date of Construction: _____

Description of the Property:

Applicable Design Standards:

Other reviews needed?

☐ Hillsborough Zoning Compliance Permit ☐ Orange County Building Permit ☐ Other: _____
Minor Works Certificate of Appropriateness Application Decision☐ Approved☐ Referred to HDC

Minor Works Reference(s): _____

Certificate of Appropriateness Decision☐ Approved☐ Denied

Commission Vote: _____

Conditions or Modifications (if applicable):

Historic District Staff Signature_____
Date

Introduction

The subject house is located at 241 Lydia Lane and is classified as **non-contributing**. The core of the side-gabled Ranch house is a three-bay-wide, Minimal Traditional-style house that dates to c. 1946. The three-bay-wide, side-gabled core has been extensively altered with an additional bay and attached side-gabled two-bay carport on the right (north) elevation and a two-bay-wide, side-gabled wing on the left (south) elevation. The house has a brick veneer and vinyl windows, including a vinyl picture window on the right end of the façade that is flanked by double-hung multi-paned windows. The nine-light-over-six-panel door is accessed by an uncovered brick stoop. The attached carport is supported by grouped square posts on tall brick piers and there is vinyl siding in the gable. County tax records date the building to 1946. Also on the site is a non-contributing garage, 1960s – Large, side-gabled, frame garage with brick veneer on the lower one-third of the wall, vertical aluminum siding on the upper two-thirds, slider windows, two overhead doors on the north elevation, and a louvered cupola on the ridgeline.

Please see historical and existing conditions pictures below:



Photo of original wood lap siding house



Another photo of original wood lap siding house with original small concrete/brick stoop

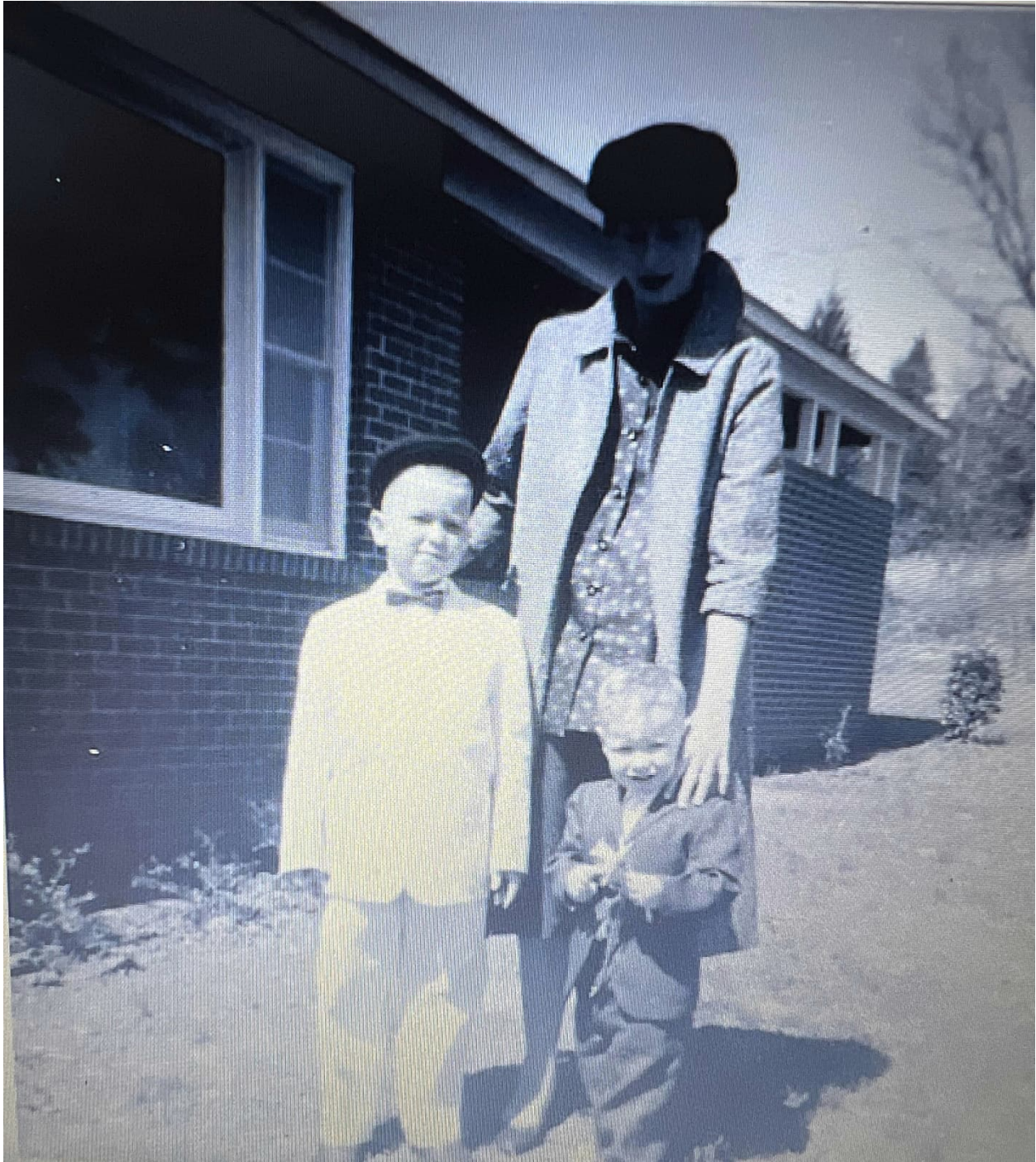


Photo taken after brick veneer added (notice end of carport brick wall-since removed)

View from Lydia Lane looking west (east elevation)



View of left side (south elevation)



View of right side (north elevation)



View of rear (west elevation)



Close-up view of area of previously approved but uncompleted addition



Photo showing damaged brick on existing house @ covered north patio:





This photo also shows the original house's German siding



Photo of existing garage

Project

Due to the condition and costs associated with renovating the existing house along with multiple ceiling heights (and other unusual construction elements) the homeowners are proposing to demolish the existing house and are proposing to construct a new home. The new home will be a bungalow style typical of Hillsborough. It will be placed on the lot in a more conventional manner than the existing house which is placed in the extreme southeast corner of the lot, inside of current zoning setbacks and uncomfortably close to the immediate neighbor's house directly to the south. The new house will have Hardie lap siding/trim, brick foundation, standing seam (no striations) roof, aluminum clad SDL windows and a hog wire and wood 48" tall fence. Garage siding, roof, trim colors to match house. Door and garage door will remain white.

Town staff suggested responses to the following *Demolition Standards*:

- 1) Work with the Historic District Commission and other interested parties to seek viable alternatives to demolition. **Response:** *The homeowners received pricing on the renovation/addition job of \$250/SF and higher, or greater than \$530K (see attached email estimate/quote) and decided it was not worth spending that amount of money on that house and concluded that there is no viable alternative to demolition and start over.*
- 3) Salvage, or allow others to salvage, architectural materials and features that could be reused prior to demolition. **Response:** *The homeowners do not believe there is much worth salvaging, but plan to move the refrigerator to the garage, and offer other appliances (washer, dryer, oven, microwave, walk-in tub) to Habitat for Humanity or similar.*
- 5) Documentation of the alternatives to demolition that were considered must also be submitted. If cost is the reason for choosing demolition over preservation, a cost comparison must be submitted as well. **Response:** *as stated in 1) we got reno prices \geq \$250/SF, which is approximately the same as new construction.*
- 8) Implement the pre-approved site plan in a timely manner following the demolition. **Response:** *This is not a problem. The homeowners are committed and anxious to get started. They are committing to starting construction once they have construction plans and permits in hand and get a contractor signed up and started.*

Examples of similar houses in the historic district:



311 Mitchell Street



121 North Wake Street



131 North Wake Street

Proposed front door (dark stain):



Proposed side door (dark stain):



Proposed light fixture either side of front door and over side stoop:



Barras Outdoor Wall Light

1-Light | Clear Ribbed Glass

Size: 5.5" W x 11.5" H

Landscaping

No trees will be removed, and no new landscaping is proposed at this time.

Paint/stain samples:

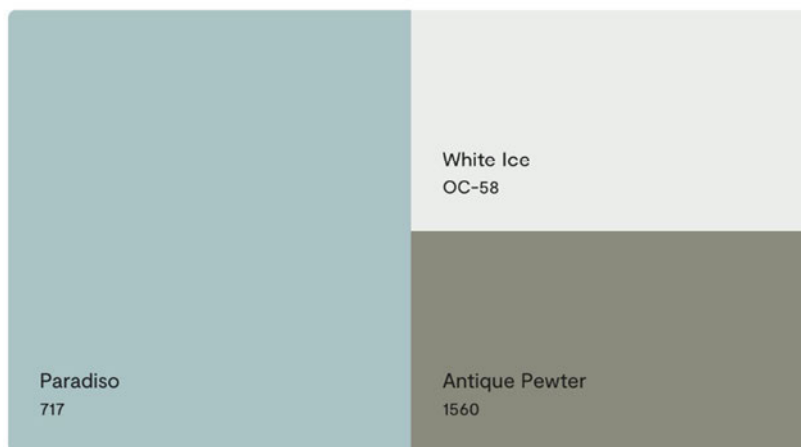
Siding: Benjamin Moore Paradiso 717

Porch columns, window sashes, trim: Benjamin Moore White Ice OC-58

Doors: Dark wood stain

Color Combinations

Expert-picked coordinating colors with Paradiso 717.



Standing seam (no striations) metal roof color: Charcoal Grey

COLOR CHART



Final color selection should be made from metal color chips.
Gauge and finish options vary by panel profile. For the most current information available, as well as details about paint warranty coverage, visit our website at unioncorrugating.com.
All Signature® 200 and 300 colors are Cool Roof compliant through the CRRC-1 Program. Visit coolroofs.org for more details.

SIGNATURE® 200

Siliconized Polyester

				
POLAR WHITE (POLYESTER)	HIGH GLOSS WHITE	WHITE	BRIGHT WHITE	HAWAIIAN BLUE
				
COBALT BLUE	LIGHT STONE	SADDLE TAN	DESERT SAND	COFFEE BROWN
				
BURNISHED SLATE	ASH GRAY	DEEP GRAY	CHARCOAL GRAY	EVERGREEN

Material matrix

Material Category	Proposed	Color
siding	Hardieboard	Paradiso 717
trim	Hardie	white
fascia	Hardie	white
roof	standing seam	Charcoal grey
foundation materials	brick	natural
windows (trim)	aluminum clad	white
windows (sash)	aluminum clad	white
shutters	N/A	N/A
awnings	N/A	N/A
Front/side doors	wood	Dark stain
front porch columns	Hardie/wood	white
handrails	wood	white
screen porch columns	Hardie	white
Front porch floor	Wood	Natural stain
front steps	Brick	natural
Side steps	Wood	Natural stain
fences	wood, welded wire	natural



David Cates <davidecates@gmail.com>

estimates for reno/addition at 241 Lydia Ln

1 message

chris jones <chris.jones@earthlink.net>
To: David Cates <davidecates@gmail.com>
Cc: chris.jones@earthlink.net

Thu, Nov 20, 2025 at 4:05 PM

This is the one firm estimate we received. the other two were verbal and were something like, "well above \$200/SF" and "it's not worth it."

On 5/12/2025 4:23 PM, Greg Ellis wrote:

Hi Chris and Cheryl.

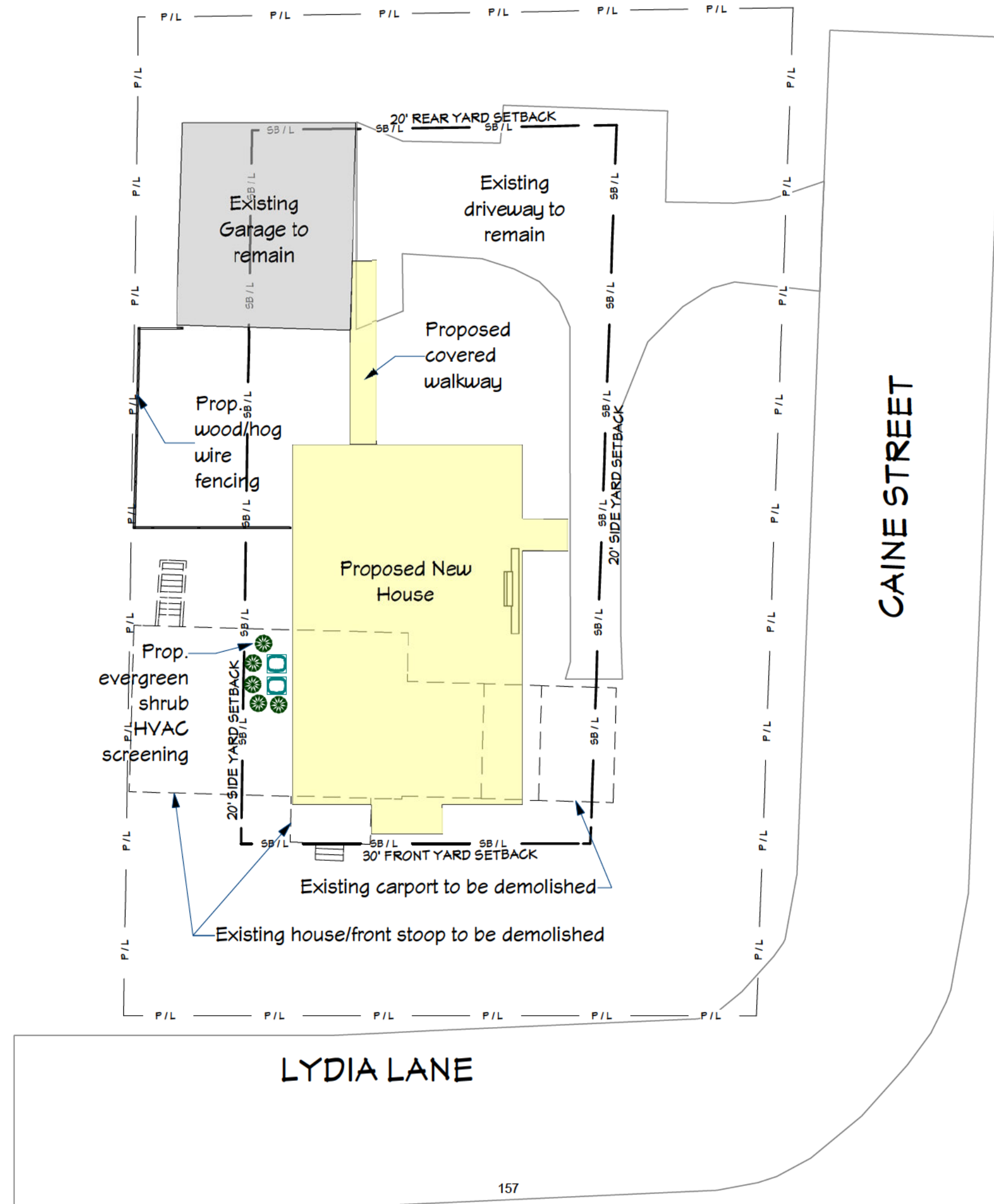
I've reviewed and put some thought into your project. I'm thinking that it would cost around \$250/sf for the 581sf of new addition and the same, \$250/sf, for demo and renovation of the existing. That would be around \$530,000 total.

There are a lot of details to iron out which would be addressed as we move forward. I would add up to 10% contingency, if we ran into something totally unexpected.

S Gregory Ellis
LGC 74500
'Home by Design'

--

Christopher P. Jones, P.E.
5525 Jomali Dr.
Durham, NC 27705



Site Plan

SCALE: 1"=20'



Perspective

Material Category

siding
trim
fascia
roof
foundation materials
windows (trim)
windows (sash)
shutters
awnings
Front/side doors
front porch columns
handrails
screen porch columns
Front porch floor
front steps
Side steps
fences

Proposed

Hardieboard
Hardie
Hardie
standing seam
brick
aluminum clad
aluminum clad
N/A
N/A
wood
Hardie/wood
wood
Hardie
Wood
Brick
Wood
wood, welded wire



Proposed Elevation Front

Material Category

siding

trim

fascia

roof

foundation materials

windows (trim)

windows (sash)

shutters

awnings

Front/side doors

front porch columns

handrails

screen porch columns

Front porch floor

front steps

Side steps

fences

Proposed

Hardieboard

Hardie

Hardie

standing seam

brick

aluminum clad

aluminum clad

N/A

N/A

wood

Hardie/wood

wood

Hardie

Wood

Brick

Wood

wood, welded wire



Proposed Elevation Left



Material Category

siding
trim
fascia
roof
foundation materials
windows (trim)
windows (sash)
shutters
awnings
Front/side doors
front porch columns
handrails
screen porch columns
Front porch floor
front steps
Side steps
fences

Proposed

Hardieboard
Hardie
Hardie
standing seam
brick
aluminum clad
aluminum clad
N/A
N/A
wood
Hardie/wood
wood
Hardie
Wood
Brick
Wood
wood, welded wire

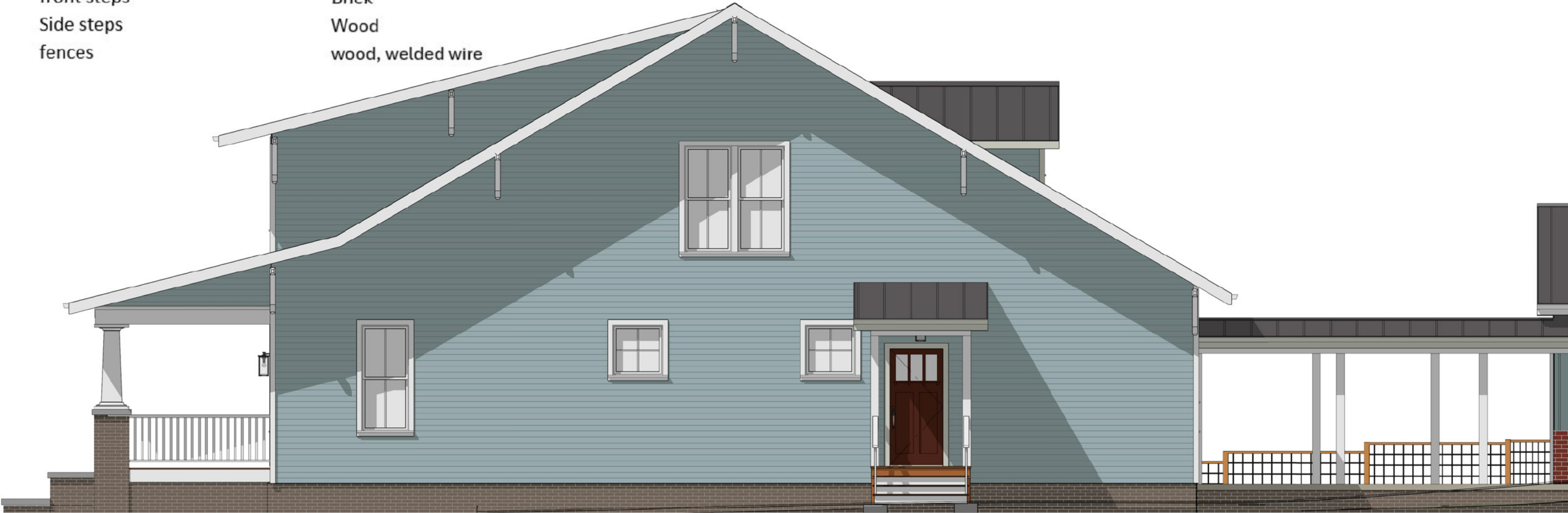
Proposed Elevation Back

Material Category

- siding
- trim
- fascia
- roof
- foundation materials
- windows (trim)
- windows (sash)
- shutters
- awnings
- Front/side doors
- front porch columns
- handrails
- screen porch columns
- Front porch floor
- front steps
- Side steps
- fences

Proposed

- Hardieboard
- Hardie
- Hardie
- standing seam
- brick
- aluminum clad
- aluminum clad
- N/A
- N/A
- wood
- Hardie/wood
- wood
- Hardie
- Wood
- Brick
- Wood
- wood, welded wire



Proposed Elevation Right

§ 160D-949. Delay in demolition of landmarks and buildings within historic district.

(a) An application for a certificate of appropriateness authorizing the relocation, demolition, or destruction of a designated landmark or a building, structure, or site within the district may not be denied, except as provided in subsection (c) of this section. However, the effective date of such a certificate may be delayed for a period of up to 365 days from the date of approval. The maximum period of delay authorized by this section shall be reduced by the preservation commission where it finds that the owner would suffer extreme hardship or be permanently deprived of all beneficial use of or return from such property by virtue of the delay. During such period, the preservation commission shall negotiate with the owner and with any other parties in an effort to find a means of preserving the building or site. If the preservation commission finds that a building or site within a district has no special significance or value toward maintaining the character of the district, it shall waive all or part of such period and authorize earlier demolition or removal.

If the preservation commission or planning board has voted to recommend designation of a property as a landmark or designation of an area as a district, and final designation has not been made by the governing board, the demolition or destruction of any building, site, or structure located on the property of the proposed landmark or in the proposed district may be delayed by the preservation commission or planning board for a period of up to 180 days or until the governing board takes final action on the designation, whichever occurs first.

(b) The governing board may enact a regulation to prevent the demolition by neglect of any designated landmark or any building or structure within an established historic district. Such regulation shall provide appropriate safeguards to protect property owners from undue economic hardship.

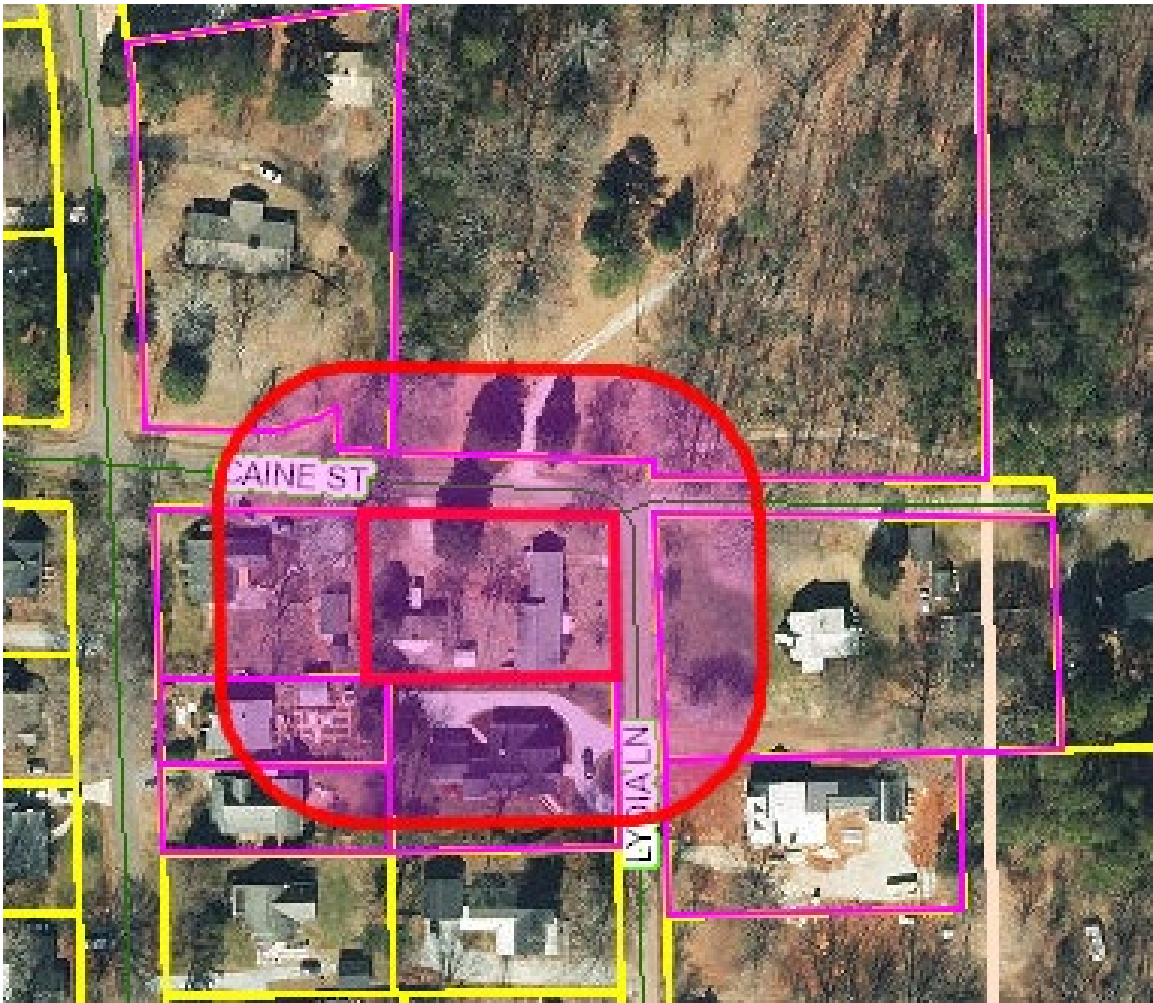
(c) An application for a certificate of appropriateness authorizing the demolition or destruction of a building, site, or structure determined by the State Historic Preservation Officer as having statewide significance as defined in the criteria of the National Register of Historic Places may be denied except where the preservation commission finds that the owner would suffer extreme hardship or be permanently deprived of all beneficial use or return by virtue of the denial. (2019-111, s. 2.4; 2020-3, s. 4.33(a); 2020-25, s. 51(a), (b), (d).)

I, Joseph Hoffheimer, hereby certify that all property owners within 100 feet of and the owners of PIN 9874280274 (the affected property) have been sent a letter of notification of the Certificate of Appropriateness application before the Historic District Commission by first class mail in accordance with the Hillsborough Zoning Ordinance.

12/19/2025
Date

Joseph Hoffheimer, Planner
(for Hillsborough Planning Department)

PIN	OWNER1_	OWNER1_FIRST	OWNER2_	OWNER2_	ADDRESS1	CITY	STATE	ZIPCODE
9874189223	CUPER	PRUDENCE H	MULLENS	JO BETH	328 MITCHELL ST	HILLSBOROUGH NC		27278
9874280145	CATHEY	JONATHAN E	CATHEY	KATHERIN	320 MITCHELL ST	HILLSBOROUGH NC		27278
9874280149	PEOPLES	GEORGE R	PEOPLES	ANNE J	322 MITCHELL ST	HILLSBOROUGH NC		27278
9874280182	WOODS	K CHARLES TRUST	WOODS	CHARLENE	237 LYDIA LN	HILLSBOROUGH NC		27278
9874280274	JONES	CHRISTOPHER P	JONES	CHERYL B	241 LYDIA LN	HILLSBOROUGH NC		27278
9874280545	BROWN	DENISE P			221 CAINE ST	HILLSBOROUGH NC		27278
9874282611	MCKEE	H CARLTON JR	MCKEE	SARA LOU	225 CAINE ST	HILLSBOROUGH NC		27278
9874283240	SAGAR	GEORGE A	CRANE	DEBORAH	242 THOMAS RUF	HILLSBOROUGH NC		272782119
9874284113	GREEN	ROSS STURGES TF	GREEN	KRISTY HC	234 LYDIA LANE	HILLSBOROUGH NC		27278



ITEM #6. C:

Address: 409 N. Wake St.

Year Built: c. 1956

Historic Inventory Information (2013)

This one-story, hip-roofed Minimal Traditional-style house is three bays wide and single-pile with projecting, hip-roofed wings on the left (south) end of the façade and on the left elevation. The house has a concrete-block foundation, vinyl siding, and an interior concrete block chimney. There is a pair of French doors centered on the façade and a large, sixty-light wood picture window on the right (north) end of the façade. An uncovered concrete terrace extends across the right two bays of the façade. An entrance on the left elevation is accessed by a wood stair with wood railing. County tax records date the building to 1956.

Proposed work

- Demolish the existing residence
- Construct a new residence

Application materials

- COA application
- Narrative
- Site plan
- Proposed elevations
- Proposed materials
- Proposed renderings
- Photos of existing structure
- Foundation addendum
- G.S. 160D-949

Applicable Design Standards

- *Demolition:* 1-8
- *New Construction of Primary Residential Buildings:* 1-11
- *New Construction of Outbuildings and Garages:* 1-10
- *Walkways, Driveways, and Off-Street Parking:* 8-11

Staff Comments

- The design standards define “historic” and “historically significant” as 50 years of age or older, and the current house on the property meets that criteria (it is also considered “contributing” to the National Register historic district).
- Staff requested more information regarding inferiorities in the original construction of the existing structure, and the applicant has provided an addendum depicting foundation defects.

- The commission may delay a proposed demolition for up to 365 days from the date of approval, but it may not deny demolition. See the attached section of G. S. 160D for more information.
- The owners have expressed interest in working with an interested party that is willing to move or dismantle the structure. If that is not possible, they are willing to salvage and donate reusable building material.
- The location of the proposed carport in front of the house is uncommon in the historic district. The applicant noted to staff that “the siting is primarily driven by a desire to reuse the existing drive, minimize the amount of paving, and leave the existing natural areas as undisturbed as possible. Putting parking behind the house would require removing some of the largest mature trees, putting up retaining walls, and a lot of disruptive grading.”
- The HDC approved polyash for a past COA in 2023, and the applicant can bring a sample to the meeting.
- The plans for the proposed new house do not include any proposed light fixtures, but these typically can be approved at the staff level.



TOWN OF
HILLSBOROUGH

APPLICATION Certificate of Appropriateness and Minor Works

Planning and Economic Development Division
101 E. Orange St., PO Box 429, Hillsborough, NC 27278
919-296-9470 | Fax: 919-644-2390
planning@hillsboroughnc.gov
www.hillsboroughnc.gov

<u>9864 - 98 - 4248</u>	<u>R-20</u>	<u>409 N. Wake Street</u>
Orange County Parcel ID Number	Zoning District	Address of Project
<u>Reid Highley (CH Architects)</u>		<u>Barbara Freiman & Neil Stutzer</u>
Applicant Name		Property Owner (if different than applicant)

Description of Proposed Work: demolition of existing residence, construction of new residence

Estimated Cost of Construction: \$ 800,000

The Historic District Design Standards, Exterior Materials Compatibility Matrix, and Certificate of Appropriateness application process can be found on the Town of Hillsborough's website: <https://www.hillsboroughnc.gov/hdc>.

Applicant and Owner Acknowledgment and Certification

I am aware that Historic District Design Standards, Exterior Materials Compatibility Matrix, and Unified Development Ordinance requirements are the criteria by which my proposal will be evaluated for compatibility, and I certify that I, and/or my design professional under my direction, have reviewed my application materials with Planning Staff for compliance to the standards in those adopted documents. I understand that I, or my representative, must attend the HDC meeting where this application will be reviewed. I further understand that town employees and/or commissioners may need access to my property with reasonable notice to assess current conditions, and to assist them in making evidence-based decisions on my application and that I am not to speak to any commissioner about my project until the public meeting at which it is under consideration.

Reid Highley 10/17/25
Applicant's Signature (Optional) Date

Neil Stutzer, Barbara Freiman 10/18/2025
Property Owner's Signature (Required) Date

Submittal Requirements

The following documents and plans are required to accompany your COA application in order for it to be deemed complete and scheduled for commission review. Planning staff will determine when all submittal requirements have been met. The first FOUR complete COA applications submitted by the deadline will be heard on any HDC agenda.

All applications must include the following documents and plans:

(Provide a digital copy if plans are larger than 11"x17")

- ☐ Detailed narrative describing the proposed work and how it complies with all adopted standards.
- ☐ Existing **and** Proposed Dimensioned Plans (see below):
 - Site Plan (if changing building footprint or adding new structures, impervious areas or site features, including hardscaping)
 - Scaled Architectural Plans (if changing building footprint or new construction)
 - Scaled Elevations (if adding or changing features of a structure)
 - Landscaping Plans (required for all new construction and for significant landscaping or tree removal and re-planting)
 - Tree Survey (required for new construction when trees over 12" diameter at breast height are on site - show both existing and those to be removed)
 - Sign Specifications (if adding, changing, or replacing signage)
- ☐ Itemized list of existing and proposed exterior materials including photos and specifications, colors, etc. (Siding, trim and fascia, roof and foundation materials, windows, shutters, awnings, doors, porch and deck flooring, handrails, columns, patios, walkways, driveways, fences and walls, and signs, etc.).
- ☐ Photographs, material samples, examples of comparable properties in the district (if using them as basis for specific designs), plans, or drawings that will help to clarify the proposal, if applicable, or if required by staff as part of the review.

Staff Use Only:**COA fee (\$1 per \$1000 of construction costs, \$150 minimum) or****Minor Works fee (\$1 per \$1000 of construction costs, \$25 minimum):**

Amount: \$ _____

☐ After-the-fact application (\$300):

Amount: \$ _____

Total Due: \$ _____

Receipt #: _____

Received by: _____

Date: _____

This application meets all Unified Development Ordinance requirements and has been reviewed for compliance with all approved materials.

☐ N/A ☐ Yes

Zoning Officer: _____

This application meets public space division requirements.

☐ N/A ☐ Yes

Public Space Manager: _____

Historic Architectural Inventory Information

Original date of Construction: _____

Description of the Property:

Applicable Design Standards:

Other reviews needed?

☐ Hillsborough Zoning Compliance Permit ☐ Orange County Building Permit ☐ Other: _____**Minor Works Certificate of Appropriateness Application Decision**☐ Approved ☐ Referred to HDC

Minor Works Reference(s): _____

Certificate of Appropriateness Decision☐ Approved ☐ Denied

Commission Vote: _____

Conditions or Modifications (if applicable):

Historic District Staff Signature_____
Date

Barbara Freiman and Neil Stutzer have owned the lot at 409 N. Wake Street since the mid-2000s. Since then, while living full-time in nearby Cornwallis Hills, Barbara and Neil have maintained the cottage on-site as a rental property. As Barbara looks forward to joining Neil in retirement, they approached CH Architects to help them design a contemporary "forever" home that maximizes the potential of their lot in this quiet corner of the historic district. Aiming to downsize from their current residence, the proposed home is modest in size and configured into a single-story house that nests gently into the natural slope of the site. Although contemporary in style, the house is composed of familiar vernacular architectural forms and will feature a natural material palette that harmonizes with the natural surroundings. A connected studio building that mimics the style of the main house will provide a space for Neil to pursue artistic endeavors like woodworking and stained glass fabrication. The same structure will provide covered parking for two cars and will be connected to the side entrance to the home by a ramp to maximize accessibility as Barbara and Neil age.

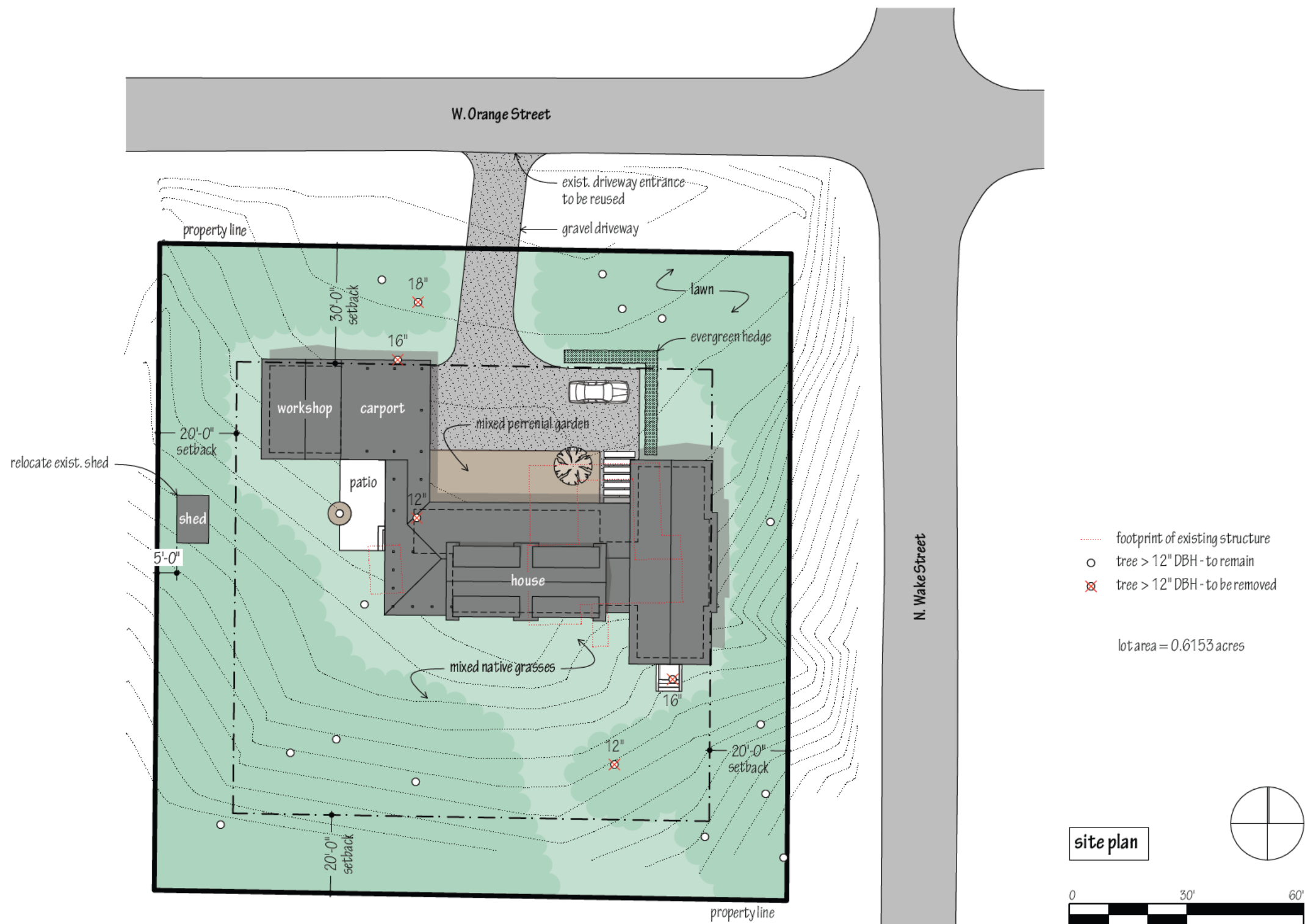
To minimize site disturbance, the home will utilize the existing driveway access. The front facade of the house will parallel Orange Street, allowing the south face of the house to be filled with glazing that bathes the main living areas in natural light. A screened porch and patio will be located at the west end of the house, where they will be shielded from the street and can enjoy views of the mature woods that fill the western portion of the lot.

Like the house, the proposed landscaping will be simple, with the aim of further integrating it with its surroundings. A small area of existing lawn at the northeast corner of the site will remain. A large wildflower garden will sit directly in front of the house to soften the entry and allow easy maintenance access for Barbara and Neil. The sloped southern portion of the lot will be covered by an ornamental grass meadow that is attractive, low-maintenance, and provides an attractive habitat for birds and insects. The plan strives to preserve the wooded west side of the lot as much as possible.

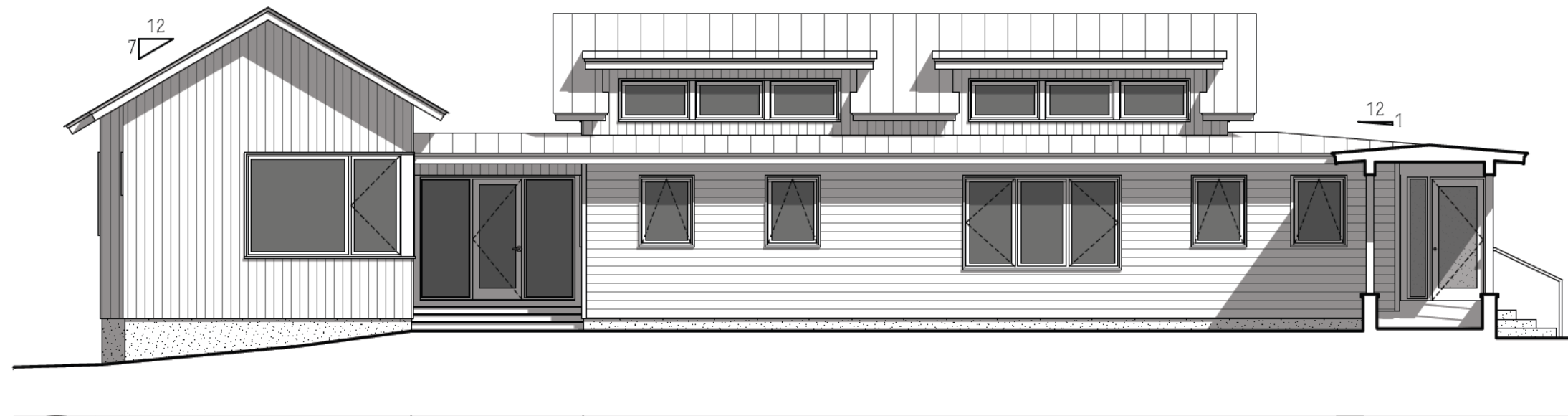
Although the existing cottage on-site has been well-maintained through the years, its awkward interior layout and inferior original construction do not lend themselves to reuse as part of the new residence. Barbara and Neil have approached one property owner in town about moving the cottage; although this arrangement fell through, they are committed to working with any interested party that is willing to move or dismantle the structure for reuse. If that's not possible, they will salvage and donate as much reusable building material as possible before removing the structure.

The proposed residence and studio building have been designed to adhere to the historic district guidelines for new residential structures in the following ways:

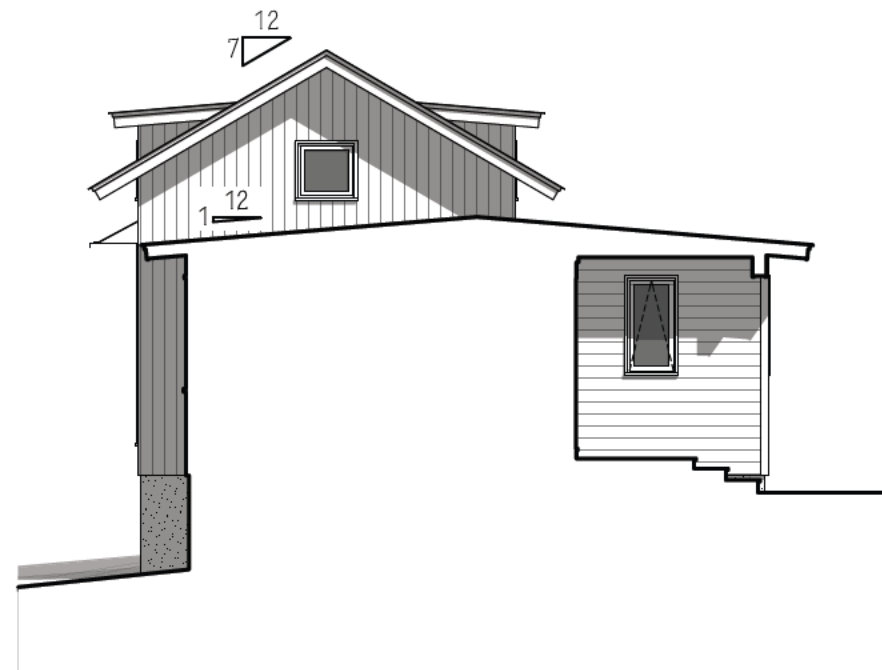
- The house is consistent with the setback, orientation, and spacing of other residences in the historic district. The primary facade will face the existing driveway access from Orange Street (page 78, guideline 1).
- The house is designed to nest into the natural slope of the lot, and will reuse the existing driveway access to minimize disturbance during and after construction. Much of the proposed footprint of the home overlaps with the existing footprint of the cottage (page 78, guidelines 2&4).
- All proposed site modifications adhere to the design standards (page 78, guideline 3).
- Only a handful of mature trees will be removed during construction. The wooded western portion of the lot will remain undisturbed to the greatest extent possible (page 78, guideline 5).
- The modest scale and familiar forms of the house are compatible with other homes within the historic district (page 78, guideline 6).
- Placement and sizing of door and window openings is compatible with other homes in the historic district (page 78, guideline 7&8). Corner windows and large areas of glazing give the home a subtle contemporary character, marking it as a product of its time (page 78, guideline 11).
- The proposed materials are compatible with adjacent properties and all have approved by the HDC for other homes in the district (page 78, guideline 9).
- The palette of the proposed materials is muted and limited (page 78, guideline 10).
- The owners commit to documenting the existing structure, salvaging original materials, and beginning construction of the new residence immediately following demolition of the existing cottage (page 123, guidelines 2-4 & 6-8).



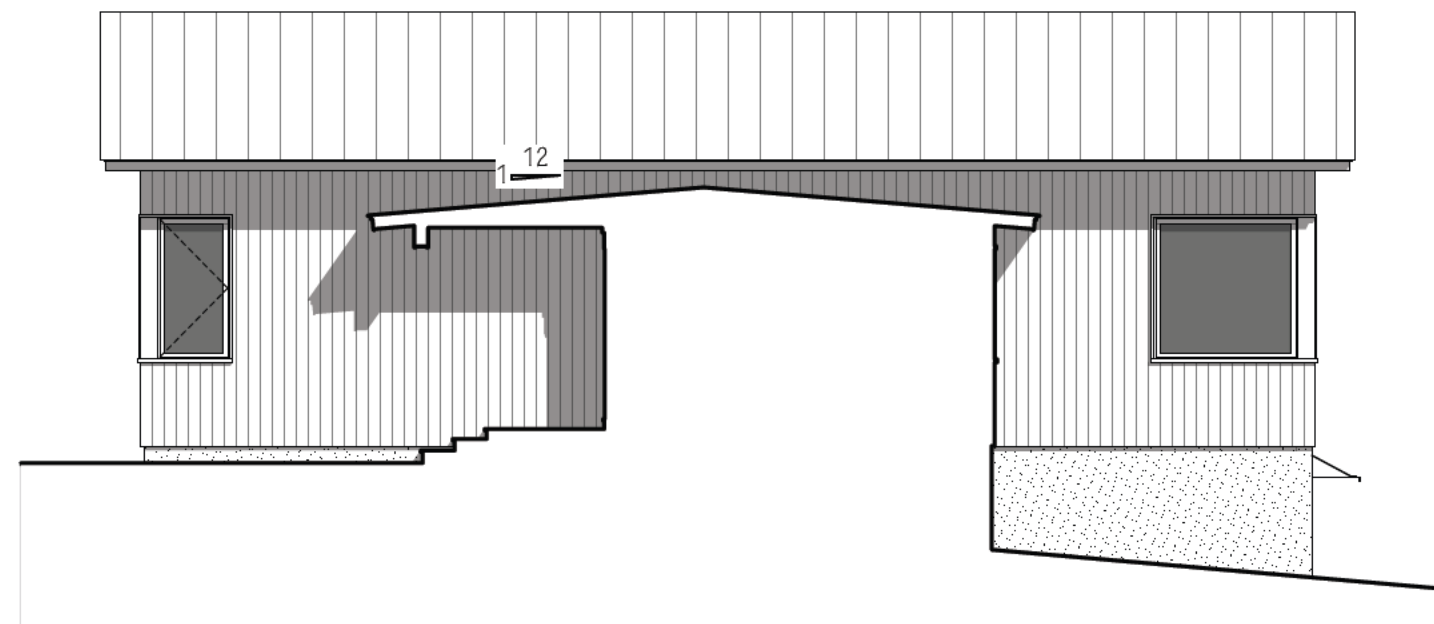




1
A4 north elevation
scale: 1/8" = 1'-0"

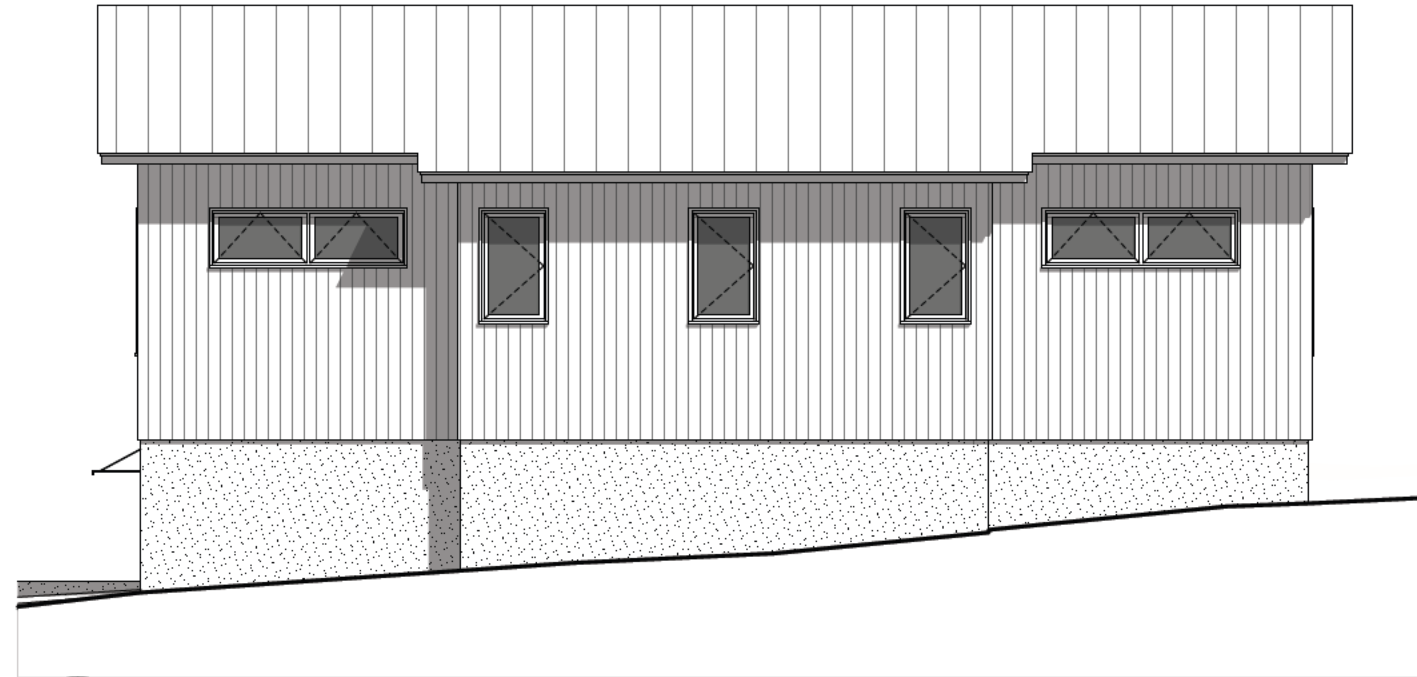


2
A4 east elevation - at entry porch
scale: 1/8" = 1'-0"



3
A4 west elevation - at entry porch
scale: 1/8" = 1'-0"

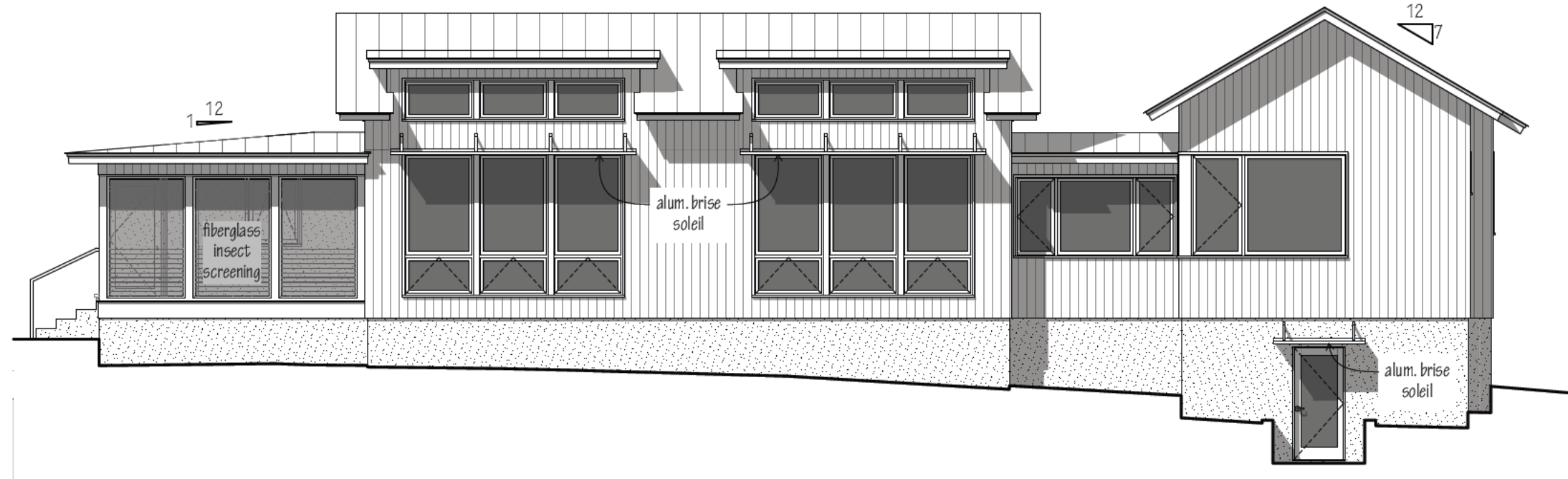




1
A5

east elevation

scale: 1/8" = 1'-0"



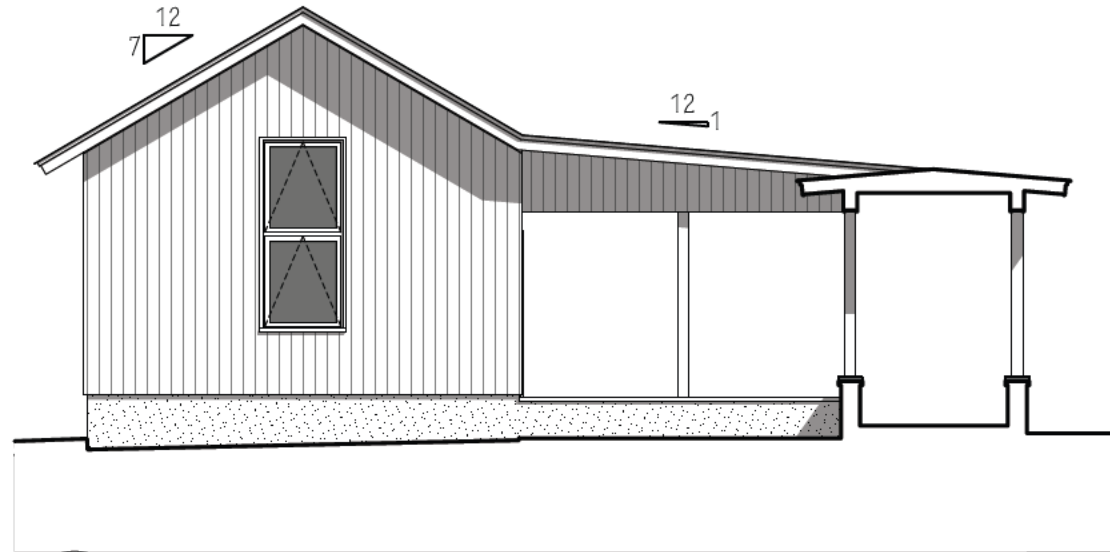
2
A5

south elevation

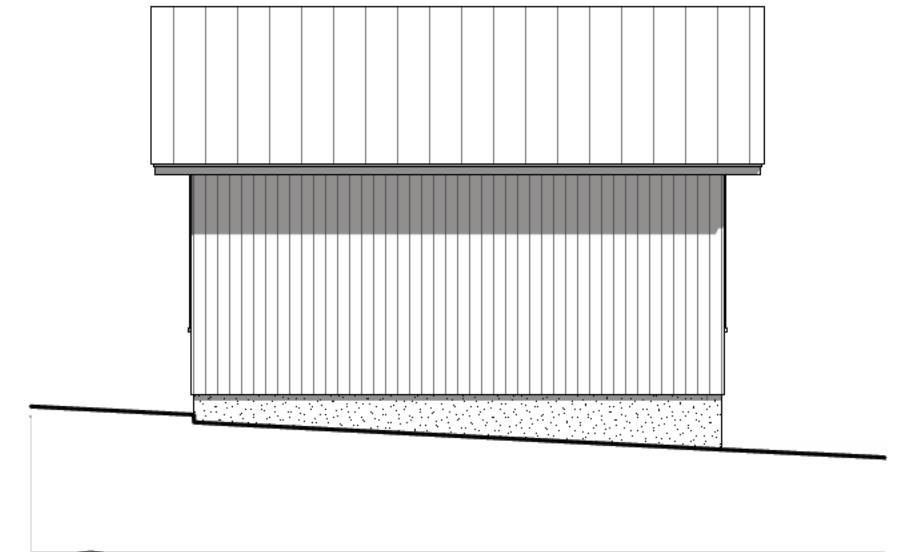
scale: 1/8" = 1'-0"



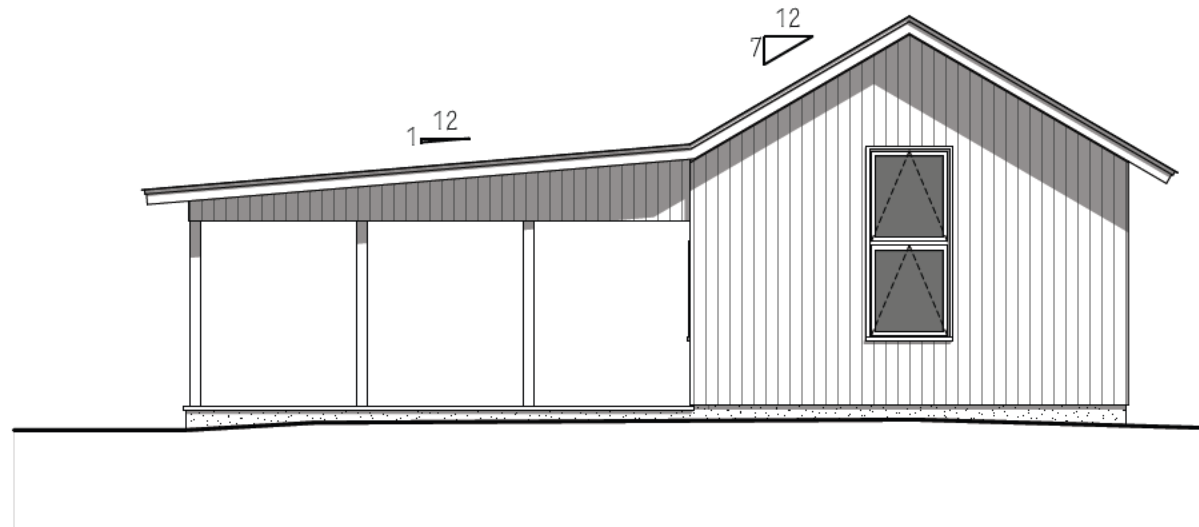
1
A6
west elevation
scale: 1/8" = 1'-0"



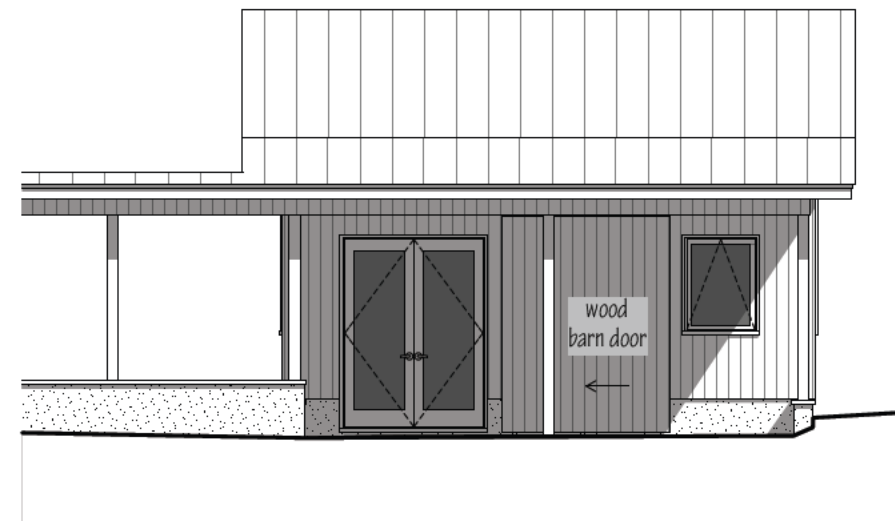
2
A6
south elevation - workshop/carport
scale: 1/8" = 1'-0"



3
A6
west elevation - workshop/carport
scale: 1/8" = 1'-0"

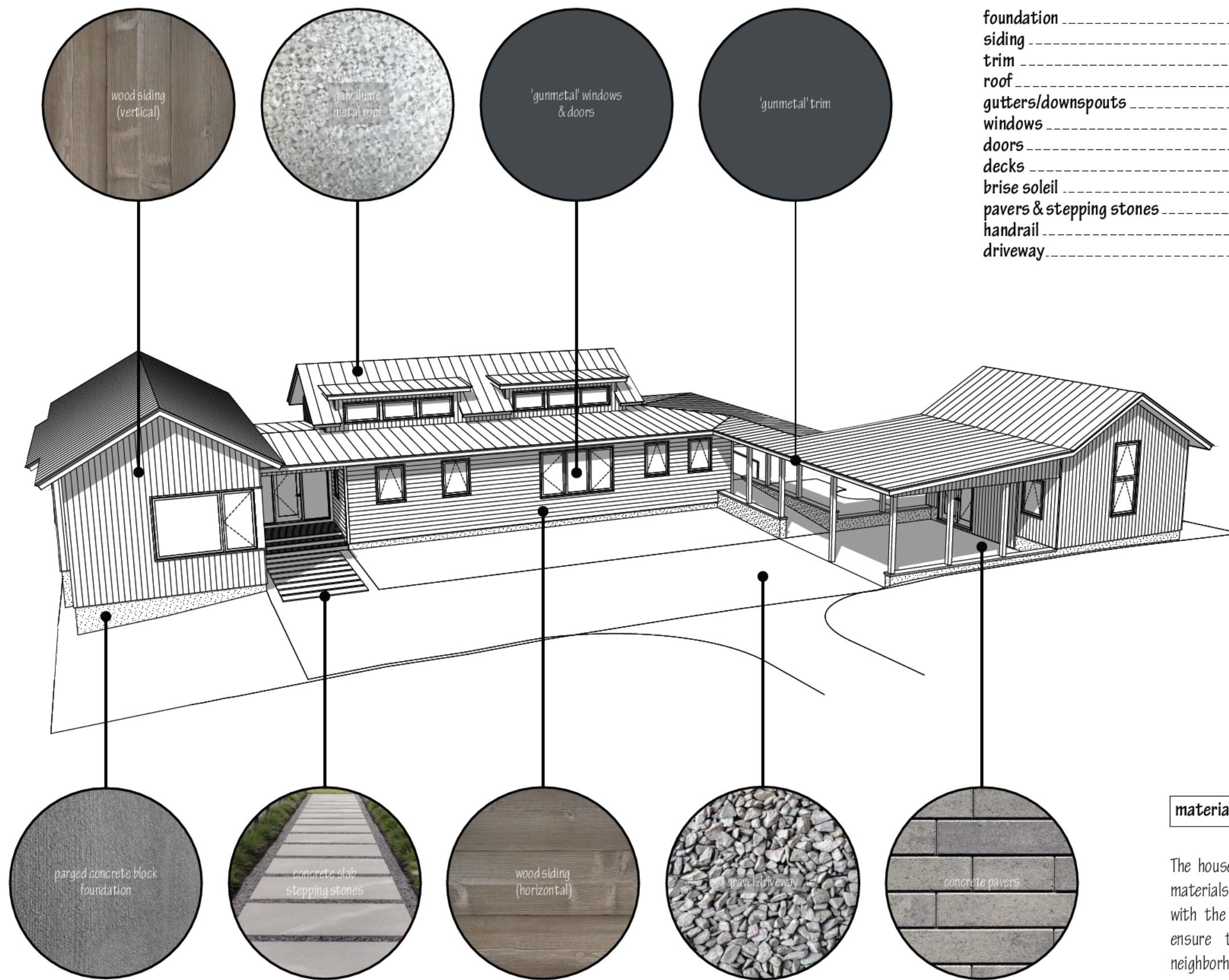


4
A6
north elevation - workshop/carport
scale: 1/8" = 1'-0"



5
A6
east elevation - workshop/carport
scale: 1/8" = 1'-0"





foundation	parged concrete block
siding	wood, stain finish
trim	polyash, painted
roof	standing seam metal, galvalume finish
gutters/downspouts	galvalume
windows	fiberglass clad wood
doors	fiberglass clad wood
decks	wood
brise soleil	anodized aluminum
pavers & stepping stones	concrete pavers & slabs
handrail	steel, painted finish
driveway	gravel

materials palette

The house will incorporate a quiet palette of authentic, natural materials with textures and tones that are intended to harmonize with the surrounding landscape. This restrained approach will ensure that the house integrates respectfully into the neighborhood, and that it weathers gracefully over time.



view from northwest



view from southwest



view from northeast



view from northwest



view from southwest



view from southeast



view from Orange St.



view from Orange St.



view down Wake St.



existing shed

foundation corners
not interlocked



parallel walls out of plane
corners not interlocked



significant cracking

concrete block laid out
of level, improperly coursed



§ 160D-949. Delay in demolition of landmarks and buildings within historic district.

(a) An application for a certificate of appropriateness authorizing the relocation, demolition, or destruction of a designated landmark or a building, structure, or site within the district may not be denied, except as provided in subsection (c) of this section. However, the effective date of such a certificate may be delayed for a period of up to 365 days from the date of approval. The maximum period of delay authorized by this section shall be reduced by the preservation commission where it finds that the owner would suffer extreme hardship or be permanently deprived of all beneficial use of or return from such property by virtue of the delay. During such period, the preservation commission shall negotiate with the owner and with any other parties in an effort to find a means of preserving the building or site. If the preservation commission finds that a building or site within a district has no special significance or value toward maintaining the character of the district, it shall waive all or part of such period and authorize earlier demolition or removal.

If the preservation commission or planning board has voted to recommend designation of a property as a landmark or designation of an area as a district, and final designation has not been made by the governing board, the demolition or destruction of any building, site, or structure located on the property of the proposed landmark or in the proposed district may be delayed by the preservation commission or planning board for a period of up to 180 days or until the governing board takes final action on the designation, whichever occurs first.

(b) The governing board may enact a regulation to prevent the demolition by neglect of any designated landmark or any building or structure within an established historic district. Such regulation shall provide appropriate safeguards to protect property owners from undue economic hardship.

(c) An application for a certificate of appropriateness authorizing the demolition or destruction of a building, site, or structure determined by the State Historic Preservation Officer as having statewide significance as defined in the criteria of the National Register of Historic Places may be denied except where the preservation commission finds that the owner would suffer extreme hardship or be permanently deprived of all beneficial use or return by virtue of the denial. (2019-111, s. 2.4; 2020-3, s. 4.33(a); 2020-25, s. 51(a), (b), (d).)

I, Joseph Hoffheimer, hereby certify that all property owners within 100 feet of and the owners of PIN 9864984248 (the affected property) have been sent a letter of notification of the Certificate of Appropriateness application before the Historic District Commission by first class mail in accordance with the Hillsborough Zoning Ordinance.

11/19/2025
Date

Joseph Hoffheimer
(for Hillsborough Planning Department)

PIN	OWNER1_LAST	OWNER1_FIRST	OWNER2_LAST	OWNER2_FIRST	ADDRESS1	CITY	STATE	ZIPCODE
9864982284	MT BRIGHT BAPT	CHURCH			211 W UNION ST	HILLSBOROUGH	NC	27278
9864982522	ST JAMES LODGE				210 W ORANGE ST	HILLSBOROUGH	NC	27278
9864984158	PALMER	WILLIAM MATTHEW	CORROON	MEGHAN	209 W MARGARET LN	HILLSBOROUGH	NC	27278
9864984248	STUTZER	NEIL JAY TRUSTEE	FREIMAN	BARBARA ANNE T	2704 SWEET GUM DR	Hillsborough	NC	27278
9864984530	BRODEUR	WILLIAM T	BRODEUR	SALLY K	501 N WAKE ST	HILLSBOROUGH	NC	27278
9864986149	WHITTED	KIMBERLY ANNE			44 ARBOR CREST LN	LILLINGTON	NC	27546
9864986568	COZART	LORENZO E JR			128 W ORANGE ST	HILLSBOROUGH	NC	272782163
9864987338	HERNDON	TAYLOR CATES			112 W UNION ST	HILLSBOROUGH	NC	27278



ITEM #6. D:

Address: 420 W. Calvin St.

Year Built: c. 1950

Historic Inventory Information (2013)

The one-story, Colonial Revival-style building is three bays wide and triple-pile with a full-width rear gable. It has a brick veneer laid in a five-to-one common bond and twenty-light metal windows with operable casements on the front side-gabled section. There are two gabled dormers on the façade, each with German-profile weatherboards on the front, wood shingles on the sides, and paired four-light metal casement windows. The four-light-over-four-panel door has a single pane of glass installed in place of the upper two panels. It has a classical surround with fluted pilasters and a broken pediment. There are high, small windows on the side elevations of the rear gable and a tall brick chimney within the rear gable. A four-light-over-four-panel door on the right (east) elevation has pilasters and a single-light transom. The building was likely erected in the early 1950s and stands on the site of an earlier wholesale grocery. The Hillsborough Savings Bank erected a new building on North Churton Street in 1960 and this building is currently a residence [HDC].

Proposed work

- Request for after-the-fact approval for second-floor window replacement

Application materials

- COA application
- Narrative
- Old windows
- New windows
- Proposed alternative windows
- Applicant email regarding availability

Applicable Design Standards

- *Windows:* 1-6

Staff Comments

- The applicant has indicated that she will be out of the country until after the January HDC meeting. Due to the applicant's availability and the length of the December meeting, staff recommend continuing this application to the February HDC meeting.



TOWN OF
HILLSBOROUGH

APPLICATION Certificate of Appropriateness and Minor Works

Planning and Economic Development Division
101 E. Orange St., PO Box 429, Hillsborough, NC 27278
919-296-9470 | Fax: 919-644-2390
planning@hillsboroughnc.gov
www.hillsboroughnc.gov

9864-75-3302
Orange County Parcel ID Number

Neighbourhood 420 CALVIN ST HILLSBOROUGH NC 27278
Zoning District Address of Project
Business

CHRISTINE ROTH
Applicant Name

Property Owner (if different than applicant)

Property Owner's Mailing Address

City, State ZIP

Property Owner's Phone Number

Property Owner's Email

Description of Proposed Work: CHANGE FRONT 2 WINDOWS

Estimated Cost of Construction: \$ 2000/3000

The Historic District Design Standards, Exterior Materials Compatibility Matrix, and Certificate of Appropriateness application process can be found on the Town of Hillsborough's website: <https://www.hillsboroughnc.gov/hdc>.

Applicant and Owner Acknowledgment and Certification

I am aware that Historic District Design Standards, Exterior Materials Compatibility Matrix, and Unified Development Ordinance requirements are the criteria by which my proposal will be evaluated for compatibility, and I certify that I, and/or my design professional under my direction, have reviewed my application materials with Planning Staff for compliance to the standards in those adopted documents. I understand that I, or my representative, must attend the HDC meeting where this application will be reviewed. I further understand that town employees and/or commissioners may need access to my property with reasonable notice to assess current conditions, and to assist them in making evidence-based decisions on my application and that I am not to speak to any commissioner about my project until the public meeting at which it is under consideration.

CR Roth
Applicant's Signature (Optional)

10/22/2025
Date

CR Roth
Property Owner's Signature (Required)

10/22/2025
Date

Submittal Requirements

The following documents and plans are required to accompany your COA application in order for it to be deemed complete and scheduled for commission review. Planning staff will determine when all submittal requirements have been met. The first FOUR complete COA applications submitted by the deadline will be heard on any HDC agenda.

All applications must include the following documents and plans:

(Provide a digital copy if plans are larger than 11"x17")

- ☒ Detailed narrative describing the proposed work and how it complies with all adopted standards.
- ☐ Existing **and** Proposed Dimensioned Plans {see below}:
 - Site Plan (if changing building footprint or adding new structures, impervious areas or site features, including hardscaping)
 - Scaled Architectural Plans (if changing building footprint or new construction)
 - Scaled Elevations (if adding or changing features of a structure)
 - Landscaping Plans (required for all new construction and for significant landscaping or tree removal and re-planting)
 - Tree Survey (required for new construction when trees over 12" diameter at breast height are on site - show both existing and those to be removed)
 - Sign Specifications (if adding, changing, or replacing signage)
- ☒ Itemized list of existing and proposed exterior materials including photos and specifications, colors, etc. (Siding, trim and fascia, roof and foundation materials, windows, shutters, awnings, doors, porch and deck flooring, handrails, columns, patios, walkways, driveways, fences and walls, and signs, etc.).
- ☐ Photographs, material samples, examples of comparable properties in the district (if using them as basis for specific designs), plans, or drawings that will help to clarify the proposal, if applicable, or if required by staff as part of the review.

Chapel Hill
10/22/2025.

I bought these places 420/422 Calvin St
in February 2016.

This house (Old Savings & Loan)

I repainted the inside and
some outside in April 2016.

Nobody has been living in this
home but it was used as a
Temporary studio (No bathroom just
sink and toilet) and a mini
kitchen.

Because of the numerous leaks
(due of the age of the roof) 1946

I decided to replace it
I hired a company Matrix to locate
the Abestos and Remtech cause and
Removed it.

I got a certificate from Matrix saying
that the building was asbestos free
while Baker Roofing Co was putting a
new roof. They let me know
that the "Windows" in the dormers
needed replacement.

That's what I did.

Thank you.

Christine Roth.

600 Copperline Dr
Unit 204

Chapel Hill NC 27516.

CMLROTH@GMAIL.COM

2:05

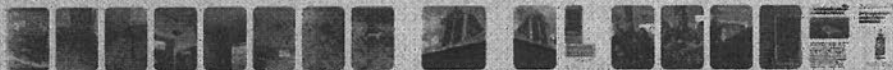
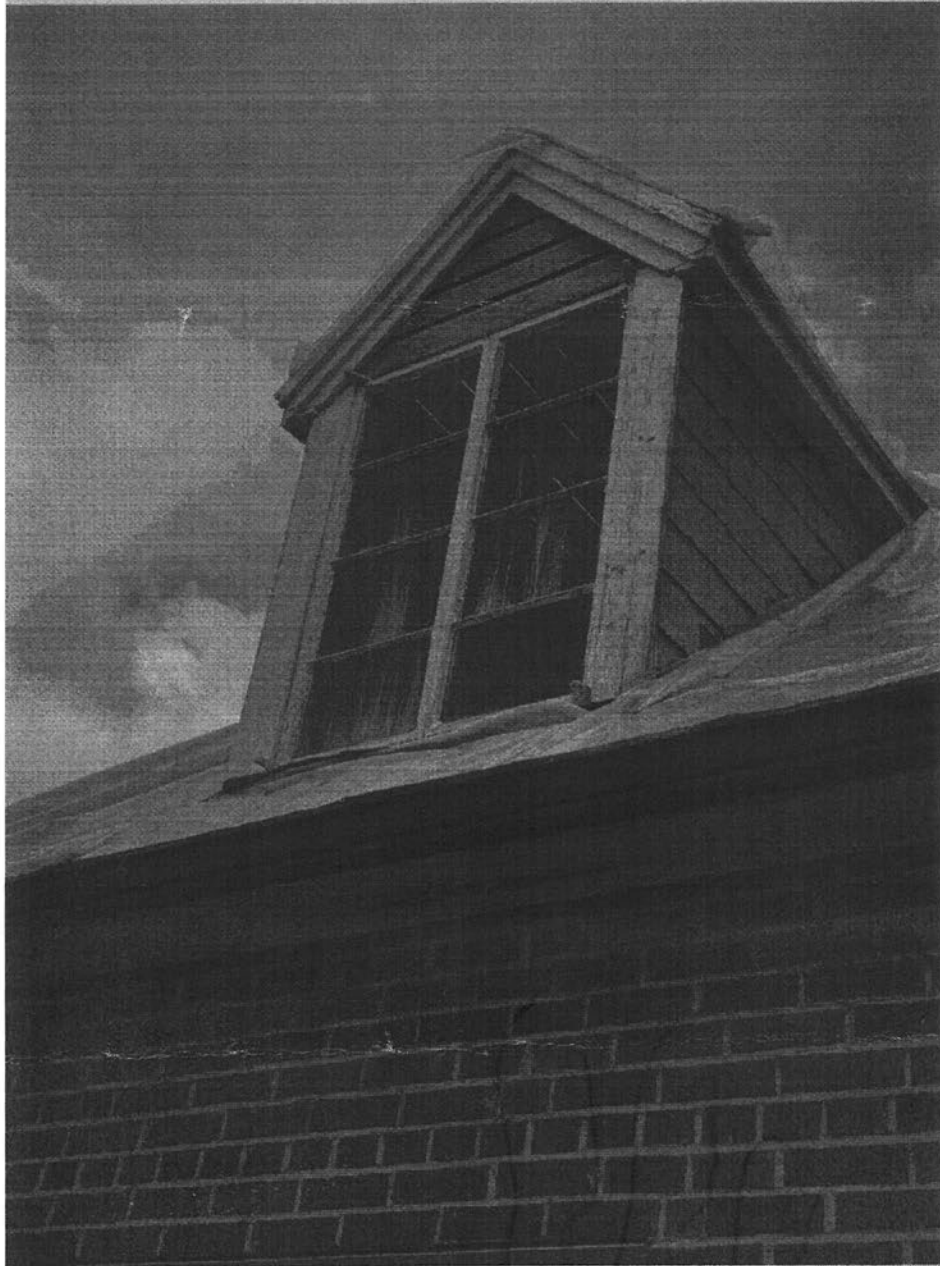
5G



Hillsborough
October 1 12:59 PM



OLD WINDOWS FROM
1946



From: Kelly Norris knorris@bakerhomeexteriors.com
Subject: Christine Roth Windows
Date: Oct 16, 2025 at 4:02:23 PM
To: Christine Roth cmlroth@gmail.com

The windows are vinyl replacement windows. Double hung 11/16" contoured grilles. I'm not sure you can even find anything close to what was up there. They were made of steel. Anything of that size and design may be a custom build at this point.

Kelly Norris
Consultant
M: 919.810.2879



1051 Schieffelin Rd
Apex, NC 27502
BakerHomeExteriors.com

New Windows in place now.

2:05

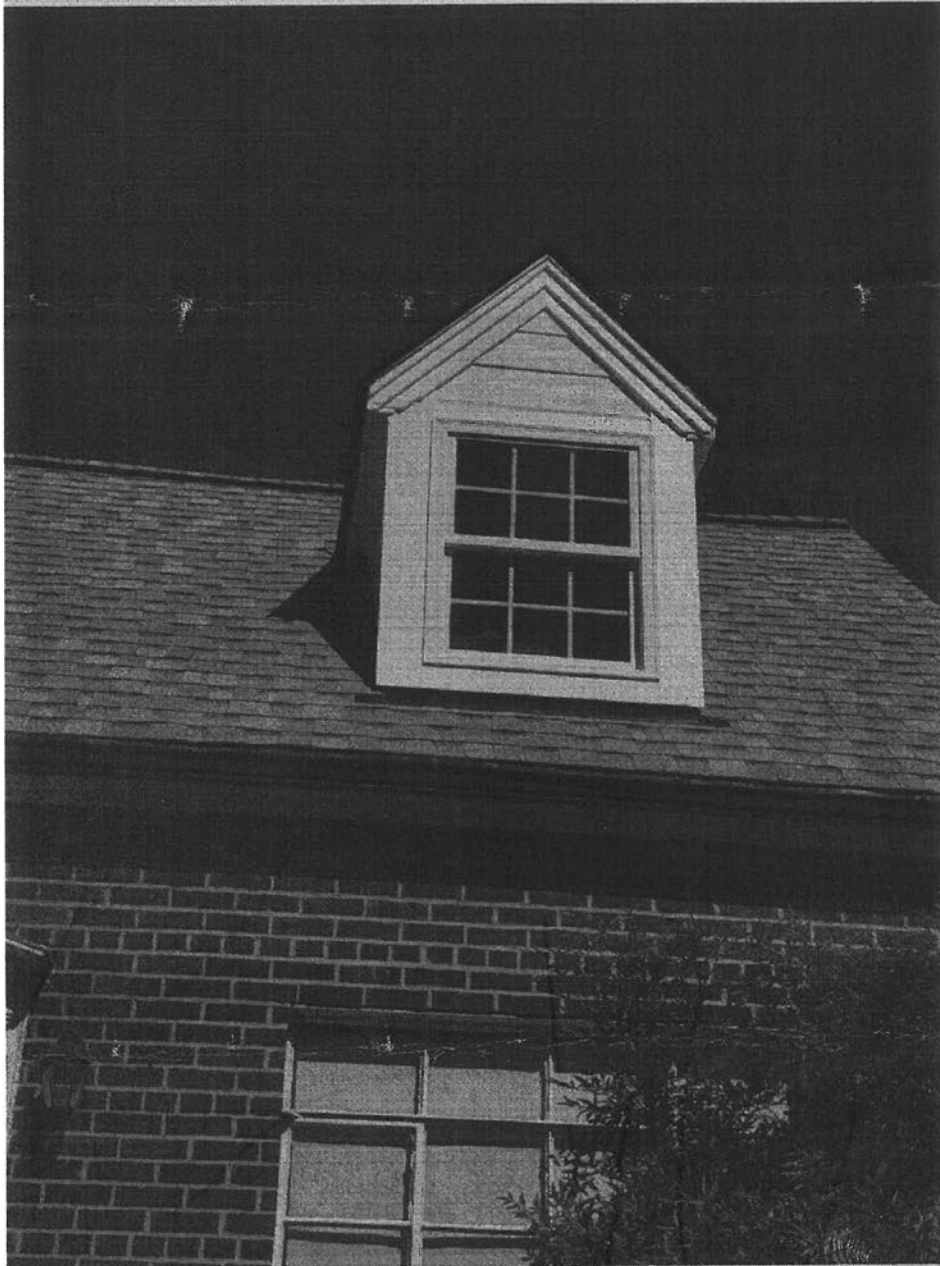
5G

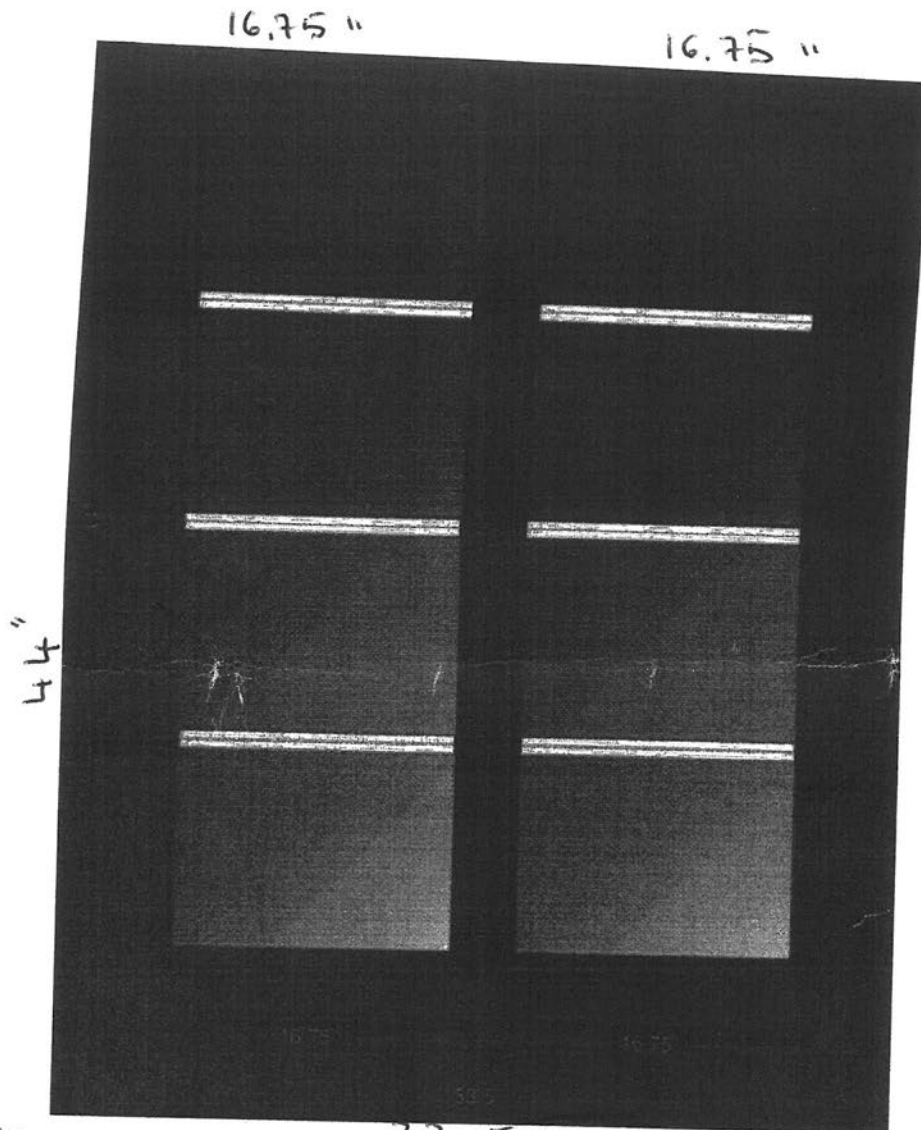


Hillsborough
Wednesday 11:55 AM



WINDOWS IN PLACE NOW
OCT 2025





REPLACEMENT

NEW WINDOWS NEED TO BE ORDERED

Sent from my iPhone

X On Oct 21, 2025, at 4:32 PM, Kelly Norris
<knorris@bakerhomeexteriors.com> wrote:

Good afternoon, ma'am. At this point, this is the closest match to what the old windows looked like. It is an aluminum frame window with a wood interior. They do not open but have a similar look to the old ones. If you would like pricing on these, please let me know.

Windows
to Replace
the ones
in

X Thanks,
Kelly Norris

From: [Christine Roth](#)
To: [Joseph Hoffheimer](#)
Subject: 420 Calvin st
Date: Thursday, October 30, 2025 11:34:07 AM

Mr Hoffheimer

As we discussed during our meeting on Tuesday 10/28/2025 I will be out of town from October 31st to January 14 2026 therefore I won't be able to attempt any of the meetings from the Historical Society but I will be present for your meeting on February 4 th

Thank you

Christine Roth

Sent from my iPhone

I, Joseph Hoffheimer, hereby certify that all property owners within 100 feet of and the owners of PIN 9864753302 (the affected property) have been sent a letter of notification of the Certificate of Appropriateness application before the Historic District Commission by first class mail in accordance with the Hillsborough Zoning Ordinance.

11/19/2025
Date

Joseph Hoffheimer
(for Hillsborough Planning Department)

PIN	OWNER1_LAST	OWNER1_FIRST	OWNER2_LAST	OWNER2_FIRST	ADDRESS1	ADDRESS2	CITY	STATE	ZIPCODE
9864751389	NEW LIFE BAPTIST	CHURCH			PO BOX 1074		HILLSBOROUGH	NC	27278
9864752344	ROTH	CHRISTINE M			600 COPPERLINE DR	UNIT 204	CHAPEL HILL	NC	27516
9864752645	BELLEVUE MILL LLC				8380 BAY PINES BLVD	3RD FL	ST PETERSBURG	FL	33709
9864753302	ROTH	CHRISTINE M			600 COPPERLINE DR	STE 204	CHAPEL HILL	NC	27516
9864753365	TRUEBLOOD	BENJAMIN	TRUEBLOOD	STEPHANIE G	418 CALVIN ST		HILLSBOROUGH	NC	272782404
9864753425	COBB	CANDICE TRUSTEE	MCMILLAN	MARTHA N TRUSTEE	216 S HILLSBOROUGH A		HILLSBOROUGH	NC	27278
9864755143	NORTH CAROLINA RA	COMPANY			2809 HIGHWOODS BLV		RALEIGH	NC	27604



Meeting Schedule: 2026

HISTORIC DISTRICT COMMISSION

Meetings start at 6:30 p.m. in the Board Meeting Room of the Town Hall Annex, 105 E. Corbin St., unless otherwise noted.

Times, dates and locations are subject to change.

Regular meetings

Regular meetings typically occur the first Wednesday of the month.

January 7

February 4

March 4

April 1

May 6

June 3

July OFF (modified date)

August 5

September 2

October 7

November 4

December 2

