

# Agenda

## Board of Adjustment Regular Meeting

6:00 PM June 11, 2025

Board Meeting Room, Town Hall Annex, 105 E. Corbin St.



**1. Call to order and confirmation of quorum**

**2. Agenda changes and approval**

**3. Minutes review and approval**

A. Minutes from regular meeting on May 14, 2025

**4. Quasi-judicial evidentiary hearings**

A. Case BA-04-2025: Adron F. Thompson Addition and Renovation – Special Use Permit Modification request at 715 Dimmocks Mill Road (Orange County PIN 9864-23-7369). The applicant is Bryant Green, PE-Engineering Services Manager. The property owner is the Town of Hillsborough, NC. The request is for an addition to the existing building, a new accessory vehicle storage building, associated site improvements & new driveway onto Dimmocks Mill Road.

**5. Committee and staff reports**

**6. Adjournment**

Interpreter services or special sound equipment for compliance with the American with Disabilities Act is available on request. If you are disabled and need assistance with reasonable accommodations, call the Town Clerk's Office at 919-296-9443 a minimum of two business days in advance of the meeting.

101 E. Orange St., PO Box 429, Hillsborough, NC 27278  
919-732-1270 | [www.hillsboroughnc.gov](http://www.hillsboroughnc.gov) | @HillsboroughGov

# DRAFT Minutes

## BOARD OF ADJUSTMENT

### Regular meeting

6 p.m. May 14, 2025

Board Meeting Room of Town Hall Annex, 105 E. Corbin St.



Present: Members Sean Kehoe, Eddie Sain, Richard Chapple, Robert Iglesias and Jenn Sykes

Absent: Chair Raul Herrera and Vice Chair Dave Blankfard

Staff: Town Attorney Bob Hornik and Senior Planner Tom King

#### 1. Call to order and confirmation of quorum

Senior Planner Tom King called the meeting to order and explained that, since the chair and vice chair were unable to attend the meeting, the board would need to elect a chair from among its sitting membership to preside over the meeting.

Motion: Member Sean Kehoe nominated Jenn Sykes as interim chair. Member Robert Iglesias seconded.

Vote: 5-0. Motion passed.

King confirmed the presence of a quorum.

#### 2. Agenda changes and approval

There were no changes to the agenda.

Motion: Kehoe moved to approve. Member Eddie Sain seconded.

Vote: 5-0. Motion passed.

#### 3. Minutes review and approval

Minutes from the regular meeting on April 9, 2025.

Motion: Kehoe moved approval of the April 9, 2025, meeting minutes as submitted. Sain seconded.

Vote: 5-0. Motion passed.

#### 4. Quasi-judicial evidentiary hearings

- A. Case BA-02-2025: Durham Technical Community College Orange County Campus Expansion- Special Use Permit Modification request at 525 College Park Road (Orange County PIN 9873-33-0977). The applicant is Timmons Group. The property owners are Orange County and The Trustees of Durham Technical Community College. The request is for a 12,239 square foot, two-story addition to the southwest side of the building.

Sykes ensured there were no ex parte communications between the board members and the applicant.

101 E. Orange St., PO Box 429, Hillsborough, NC 27278  
919-732-1270 | [www.hillsboroughnc.gov](http://www.hillsboroughnc.gov) | @HillsboroughGov



Motion to open the evidentiary hearing.

Motion: Kehoe moved to open the hearing. Sain seconded.

Vote: 5-0. Motion passed.

Sykes swore in King and Lysie Barnes of Timmons Group, a civil engineering firm representing the property owners.

King shared a PowerPoint presentation describing the history of both the Waterstone development and the subject property, including maps of the area. The presentation showed the project site plan and renderings of the proposed building, as well as listing the four findings the board must make to grant a special use permit. King offered the PowerPoint presentation as well as the electronic staff report found in the board's agenda packet into the hearing record.

The proposed construction includes a 12,239 square foot addition to the existing building, stormwater management facilities. Fifty-nine spaces in the 124-space park-and-ride lot and the existing school parking will satisfy parking generated by the building addition.

Barnes addressed the board, briefly discussed the proposed project and asked for questions.

Kehoe asked about the current building's capacity and use of the proposed addition. Barnes replied the school is at capacity and the addition will be used to expand public service training classes and skilled trade tracks offered by the college.

Iglesias asked about the proposed student population of the new facility and if the modification pairs with the community college's master plan. Barnes could not speak to the specific numbers and King stated he's aware the college has a master plan but, to his knowledge, the plan hasn't been submitted to the town for any review or comment.

Kehoe asked if the hill in front of the addition can sustain a stormwater retention facility. King responded that the plans have been reviewed by the town's technical review committee, which includes stormwater and environmental services staff. No issues about the stormwater retention facility were raised during review.

Iglesias asked if staff recommended approval of the project. King replied that staff does not formally recommend approval of projects but offers an analysis that the board can make positive findings in support of permit approval.

Motion: Member Richard Chapple moved to close the hearing. Kehoe seconded.

Vote: 5-0. Motion passed.

Kehoe expressed concern with the building's visual appearance stating that what is essentially a visually attractive façade facing a major street intersection is being replaced with a less attractive façade. Hornik directed the conversation to required Finding #3 and the proposed addition's effect on adjacent property values. Sykes reminded Kehoe that the board is not qualified to determine property values. Hornik added that discussion should be based on property value, not aesthetics. King confirmed to Chapple that all property owners within 500 feet of the property were mailed notice of the hearing, notice of the hearing was posted at the street intersection and notice had been advertised twice in the New of Orange prior to the hearing.

Hornik suggested separate votes on each of the findings.

Finding 1: The use or development is located, designed, and proposed to be operated so as to maintain the public health, safety, and general welfare.

Motion: Iglesias motioned to confirm the finding.

Finding: As stated in the staff report, no reasons were identified as to why the proposed development would be detrimental to public health, safety, and general welfare.  
Sain seconded.

Vote: 5-0. Motion passed.

Finding 2: The use or development complies with all required regulations and standards of this Ordinance, including all applicable provisions of Articles 4, 5, and 6 and all applicable regulations.

Motion: Iglesias motioned to affirm the Finding.

Finding: As stated in the staff report:

1. The project complies with the intent of the Entranceway Special Use district as described in Unified Development Ordinance Section 4. The property is located within the larger Waterstone development: a project containing a diverse mixture of commercial, office and employment uses along a primary entrance into town.
2. There are no specific standards listed for "Vocational Schools" in UDO Section 5.
3. The town's Technical Review Committee reviewed the submitted construction drawings and found them to comply with all applicable requirements of UDO Section 6 and other town regulations.

Sain seconded.

Vote: 5-0. Motion passed.

Finding 3: The use or development is located, designed, and proposed to be operated so as to maintain or enhance the value of contiguous property, or that the use or development is a public necessity.

Motion: Sain motioned to affirm the finding.

Finding: The development is a public necessity that will provide greater EMT (Emergency Medical Technician) and healthcare training that will benefit the increasing town population.

Iglesias seconded.

Vote: 5-0. Motion passed.

Finding 4: The use or development conforms with the general plans for the physical development of the town and is consistent with the Town's Comprehensive Plan.

Motion: Iglesias motioned to affirm the finding.

Finding: As stated in the staff report, the property conforms with the description of the "Employment Area" land use designation found on the Future Land Use Map.

Sain seconded.

Vote: 5-0. Motion passed.

Decision:

Motion: Kehoe moved to approve the special use permit modification with no conditions. Chapple seconded.

Vote: 5-0. Motion passed.

Motion: Kehoe moved to close the hearing. Chapple seconded.

Vote: 5-0. Motion passed.

- B. Case BA-03-2025: Holy Family Catholic Church – Variance request at 216 Governor Burke Rd. (Orange County PIN 9865-95-5127). The applicant is Civil Consultants, Inc. The property owner is Holy Family Catholic Parish of Hillsborough. The request is a 14 ft variance from the maximum 45 ft building height requirement of the R-10 zoning district.

Sykes confirmed the board had no ex-parte communication or conflict of interests regarding the proposed variance.

Motion: Kehoe motioned to open the evidentiary hearing. Sain seconded.

Vote: 5-0.

Sykes swore in King, Tony Whitaker, the applicant’s representative, Tony Whitaker, and Father Ryan Elder, the property owner’s representative.

King entered the staff report provided to board members in their agenda packet and a PowerPoint presentation he prepared for the case into the record. King provided an overview of the property and its history. He described the variance request referring to Table 6.3.1, Dimensional Requirements for Residential Properties, found in the Unified Development Ordinance. He read factors which can and cannot be used in granting a variance.

Father Ryan Elder, the church pastor, addressed the board and described the need for additional space to serve an increasing congregation. He expressed the congregation’s appreciation for the property’s greenspace, and the constraints on the property that limit church expansion plans. He stated the proposed building design seeks to respect the needs of the congregation, environment and neighbors. The congregation wishes to build a two-story church with a walk-in basement instead of multiple buildings.

Tony Whitaker, a civil engineer with Civil Consultants, Incorporated in Durham, addressed the board noting that he also had a PowerPoint presentation to show the board and offered it into the record. He stated project architect Jeff Harbinson was present to answer any architectural questions. Whitaker explained his expert witness qualifications and stated the proposed building would be higher than allowed by the Unified Development Ordinance. He stated the church will be requesting a special use permit for the project in the future. He explained that, as part of the special use permit review, through a provision stated in the Unified Development Ordinance, the board could approve an additional 10 feet of building height; however, the special use permit process includes uncertainties, and he believed the variance procedure would be the better process to follow. The request is for an additional 14 feet of height. He stated the property owner offers a condition applicable to the variance and is open to other conditions should the variance be granted.

Sykes clarified with Hornik if the proposed condition should be discussed as part of the variance request or at a future hearing on the special use permit. Hornik stated this was the appropriate time to discuss any conditions related to the variance.

Whitaker then offered reasons the board should use in reaching the four required findings for granting a variance. Based on Finding 1, the church would be under unnecessary hardship. As an established and committed community member, the church, to meet its mission, needs to expand to accommodate its growing ministry. The architectural design process proved the facility needs to be two stories with a height above the maximum allowance. Without the variance the church could not attain its mission.

Whitaker then spoke to the unusual conditions on the property pertaining to Finding 2. He referred to a set of site plans in his PowerPoint presentation that high-light the locations of road rights-of-way, utility easements and geographical features restricting use of one-third of the property. Whitaker stated the variance would allow an environmentally sensitive building with architecture consistent with other churches in the area. The requested building height is 59 feet.

Chapple asked if the building could be lower and still meet the church's needs. Whitaker said it could be a few feet lower, but 14 additional feet provides enough height for the desired structure while providing room for error during construction.

Kehoe inquired about the pitch of the roof. Whitaker asked for Harbinson's expertise. Harbinson stated the pitch was a 12-12 pitch, but the elevated choir loft and related acoustics determine the profile of the church. Kehoe asked for a rendering of the proposed building and a print-out of the building elevation concept drawing from Whitaker's presentation was shown to the board.

Kehoe inquired about the impact of the cross on the building's elevation. Whitaker stated the building height is based on the peak of building because ornamentation is not part of the building height based on the Unified Development Ordinance language. The cross would be considered ornamentation. King added to the discussion by reading Unified Development Ordinance section 9.1.7.1, Height Limit Exceptions, that references excluding church spires and their ornamentation being exempt from height requirements with limitations. In follow-up, Hornik inquired about the south elevation. Whitaker stated it was proposed to be 47 feet in height.

Whitaker stated the town's building height requirements are based on each side of the building. Whitaker again highlighted how the site's conditions are unique and peculiar, justifying the variance request.

For Finding 3, Whitaker stated the applicant is requesting the variance during project design and not due to an error that occurred during project construction.

Kehoe asked if re-zoning of the property was a better option to pursue. Whitaker stated "no," because it would require establishment of a conditional zoning district. The town currently does not allow such districts for smaller projects.

Whitaker stated Finding 4 is satisfied. Justification for an affirmative finding may be focused on the impact of the height on adjacent property owners. Whitaker provided scaled "Line of Sight from Rocky Lane," and a "Line of Sight from Hwy NC 57" graphics from his PowerPoint presentation depicting the proposed building versus an allowable building design he described as more intrusive to the line of sight from Rocky Lane and NC 57 than what is requested. Whitaker said a two-story building toward the middle of the site is less intrusive than a building meeting allowed building height placed at the allowed minimum building setback lines, the latter of which places a larger building with a bigger foot-print closer to the site's property lines. He then provided Google Earth images of the property

noting that existing wooded areas buffer the proposed building. These wooded areas would remain throughout construction.

Sykes asked about the percentage of vegetation clearing on the north side of the site. King directed the board to keep questions relative to the variance request. There will be an opportunity to discuss the church project construction at a future hearing where the project will be reviewed.

Whitaker stated the property owners are willing to commit to a condition that the new building will be placed at least 100 feet from any property line. He noted the current plans for the building place it more than 100 feet from all property lines. Whitaker said many municipal ordinances have a sliding scale for building height based on building setbacks so the variance would be in line with what some other municipalities allow.

King said the current ordinance does not have a sliding-scale height allowance for principal buildings, but it exists for detached accessory buildings. Also, the town's ordinance state's building height is measured from the ground to the highest point of the building, while many other municipalities measure it differently. For example, many other ordinances would measure the height of a building with an A-pitch roof from the ground to the mid-point between the roof peak and eaves. Whitaker validated King's statement. Whitaker went on to state that, with the imposed condition, no neighbor is negatively impacted by the increase in building height. The proposed building is in line with the spirit of the ordinance and doesn't impact neighborhood character.

Finally, Whitaker added, safety is of utmost importance and the applicant has conferred with the Orange County Fire Marshall. Whitaker entered an email statement from the Orange County Fire Marshall regarding the building's increased building height. The Fire Marshall had no concern with the proposal.

Chapple inquired about when adjacent property owners would be notified of the special use permit hearing. Whitaker stated the church has already notified some individual neighbors of their plans. Also, the town has given public notice of the proposed variance and will notify them again for an upcoming special use permit hearing. King described the type and extent of notice that is required for special use permit hearings.

Sykes recognized others wishing to speak.

Daniel Rawlins of 200 Governor Burke Road was sworn in. He said he understood his testimony is not related to the proposed variance. He stated his property adjoins the church property to the southwest. He expressed two concerns: one being overflow church parking which sometimes parks along his property's road frontage, damaging it. Second, the new parking lot should be required to address stormwater issues. He stated the church reached out to him and provided the proposed architectural drawings. Rawlins went on to acknowledged church efforts to inform the neighbors and added the existing vegetation on the west side of the property does provide a buffer to neighbors to the west. Rawlins said the requested variance would not negatively affect him. He told the board he has no objections to the variance but is concerned about the need for additional parking to alleviate off-site parking concerns.

The board directed discussion to the required findings.

Finding 1: Unnecessary hardship would result from the strict application of the ordinance.

Motion: Kehoe motioned to affirm the finding.

Finding: All the physical constraints located on the site affect the location of the proposed building. Sain seconded.

Vote: 5-0. Motion passed

Finding 2: The hardship results from conditions that are peculiar to the property such as location, size or topography.

Motion: Kehoe motioned to affirm the finding.

Finding: The hardship is created by the unique characteristics of the property. Considering the surrounding area, the visual impact of the proposed building would be greater if it were required to comply with the building height requirement.  
Chapple seconded.

Vote: 5-0. Motion passed.

Finding 3: The hardship did not result from actions taken by the applicant or the property owner.

Motion: Kehoe motioned to affirm the finding.

Finding: The applicant or property owner has taken no actions that create the hardship. The request is made prior to the submission of development plans.  
Chapple seconded.

Vote: 5-0. Motion passed.

Finding 4: The requested variance is consistent with the spirit, purpose, and intent of the ordinance such that public safety is secured, and substantial justice is achieved.

Motion: Iglesias motioned to affirm the finding.

Finding: The spirit of the ordinance is to be good unto your neighbors. Kehoe seconded.

Vote: 5-0. Motion passed.

Decision:

Motion: Kehoe motioned to approve the variance with the applicant's proffered condition. Chapple seconded.

Vote: 5-0. Motion passed.

Condition: The proposed church building will be set back at least 100 ft from all property boundaries.

Motion: Kehoe moved to close the hearing. Chapple seconded.

Vote: 5-0. Motion passed.

## 5. Committee and staff reports

King reported the town has signed a contract with Inspire Placemaking Collaborative to rewrite the Unified Development Ordinance. Also, board members will receive a tote bag from the town in appreciation for their service. King described items on the upcoming Planning Board and Town Board of Commissioners Joint Public Hearing agenda.

## 6. Adjournment

Motion: Kehoe motioned to adjourn.

Vote: 5-0. Motion passed.

Sykes adjourned the meeting at 7:41 p.m.

Respectfully submitted,



Tom King, AICP, CZO

Senior Planner

Staff support to the Board of Adjustment

Approved: Month X, 202X

**PLANNING & ECONOMIC  
DEVELOPMENT DIVISION  
STAFF REPORT**

Tom King, AICP, CZO - Senior Planner  
Secretary to the Board of Adjustment



101 East Orange Street  
P.O. Box 429  
Hillsborough, NC 27278

**Report Date:** June 4, 2025

**BOARD OF ADJUSTMENT**

**Agenda Item: 4.A**

CASE NUMBER	CASE NAME	APPLICANT/PROPERTY OWNER
BA-04-2025	Adron F. Thompson Addition & Renovation	Bryant Green, PE-Engineering Services Manager/Town of Hillsborough, NC
HEARING DATE	PARCEL ID NUMBER	PROPERTY ADDRESS/LOCATION
June 11, 2025	9864-23-7369	711, 715 & 719 Dimmocks Mill Rd.

**BRIEF SUMMARY OF REQUEST**

Special Use Permit Modification for an addition to the existing building at 715 Dimmocks Mill Rd., a new accessory vehicle storage building, associated site improvements and new driveway onto Dimmocks Mill Rd.

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING/LAND USE	FUTURE LAND USE CATEGORY	SIZE OF PROPERTY
OI (Property located in ETJ area)	Water treatment plant, offices, accessory buildings & outdoor equipment/material storage yard	<i>North:</i> R-10 (town)/Public road & residential subdivision <i>South:</i> AR (county)/Eno River & agriculture <i>East:</i> AR (town) /Manufactured homes <i>West:</i> OI (town) & AR (county)/Woodland & agriculture	Light Industrial	13.5 acres

**DISCUSSION OF STAFF FINDINGS**

**COMPLIANCE with the UDO (UNIFIED DEVELOPMENT ORDINANCE)**

The proposed development complies with all applicable UDO provisions.

**COMPATIBILITY with the CSP (COMPREHENSIVE SUSTAINABILITY PLAN (2030))**

The proposed development generally complies with the Future Land Use Map & applicable CSP provisions.

**ATTACHMENTS:** 1. Application materials 2. FLUM & UDO provisions relative to case 3. Zoning history

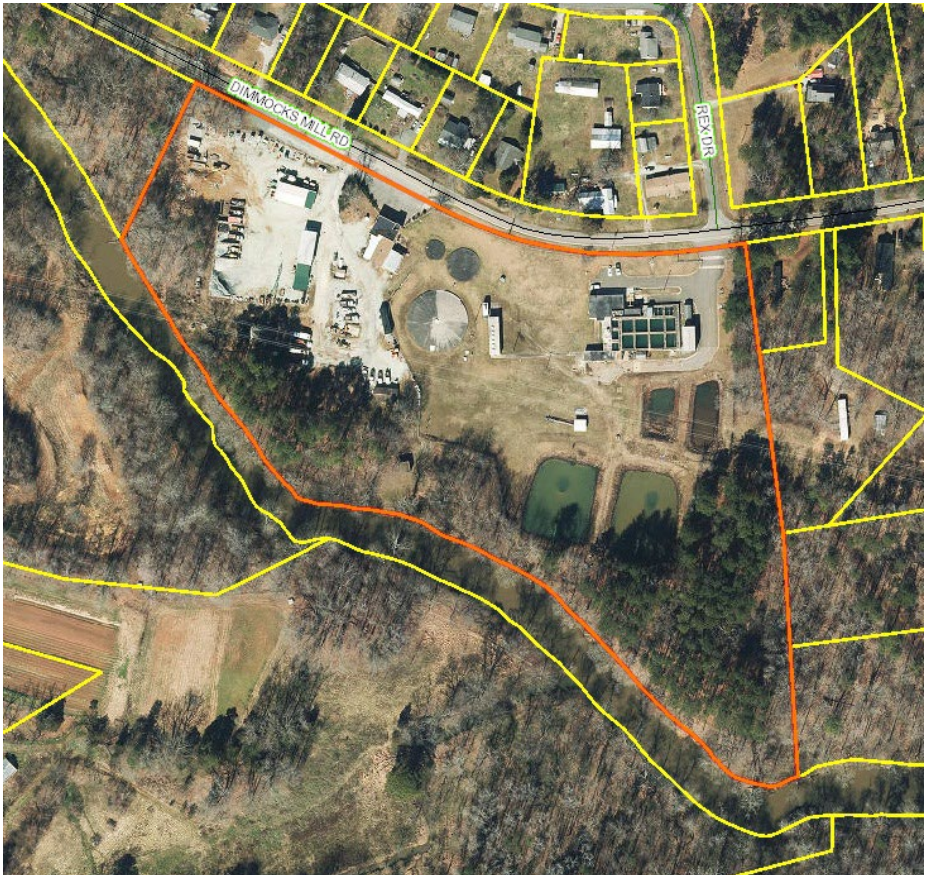


## DESCRIPTION OF SUBJECT PROPERTY:

### Physical Conditions:

<b>Lot Size:</b>		13.5 acres
<b>Lot Frontage:</b>	<b>North:</b>	Dimmocks Mill Road (State Secondary Road #1144) - approx. 965 feet
	<b>South:</b>	Eno River - approx. 1,512 feet
<b>Lot Shape:</b>		Irregular - narrow at northwest end widening substantially to east & southeast
<b>Topography:</b>		Relatively level to sloping south - southwest toward Eno River. Steeper slopes along the south - central side of road & scattered developed areas of site.
<b>Lot Coverage:</b>		Approx. 5.4-acres forested land along river, southeast, southwest & northwest area of lot. Approx. 8.1 acres are cleared & developed.
<b>Sensitive Areas:</b>		Approx. 7 acres of south-southwest side of property within 1% annual chance of flooding area (formerly 100-year floodplain), including floodway of river.
		70-foot-wide high tension electric line easement crossing central portion of lot in east - west direction.
<i>Note:</i> Numerical data taken from Orange County Land Records/GIS data.		

**Built Conditions:** The property is currently developed for public utility uses. The eastern area of the lot contains buildings, structures and water impoundments associated with the town's water treatment plant (711 and 719 Dimmocks Mill Road). The north - central and west - northwest areas of the lot contain the Adron F. Thompson building housing the Distributions and Collections Division of the town's Utilities Department (715 Dimmocks Mill Road), multiple accessory buildings and structures, and a large, graveled area for vehicles, equipment and material storage used by the utilities and public works departments.



**Note:** Photograph does not show floodplain, topography, etc. Photo date 2021. Source: Orange County GIS

## DETAILED PROJECT DESCRIPTION:

1. Removal of portion of a rear building addition to construct a larger addition for office space.

2. Construction of a new accessory vehicle storage building to be connected to an existing accessory building by a covered roof.
3. Improvements to the existing front parking area and the creation of new parking areas on the west and south side of the building addition.
4. Installation of a new driveway onto Dimmocks Mill Road toward the northwest corner of the property.
5. Installation of new landscaping, fencing and exterior free-standing light fixtures.

#### **USE-SPECIFIC STANDARDS:**

The Board must use the following standards in evaluating the request as required by UDO Section 5 (Use Standards), Subsection 5.2 (Use-specific Standards), Paragraph 5.2.40 (Public Utilities), Sub-paragraph 5.2.40.1 (Standards of Evaluation). The following analysis represents staff's professional opinion based upon review of the application materials. The Board must make its own determination as to whether all applicable findings are met. **This determination must be based on factual, competent, material and substantial evidence presented at the hearing.**

**The following specific standards shall be used to evaluate an application for approval of these uses:**

**5.2.40.1.a The proposed landscaping shall provide a visual buffer equal to a Type B buffer from adjacent property through new plantings or existing vegetation.**

*Applicant Statement:* Compliant. Sheets included in the submittal show Type B2 Buffer. This supersedes 6.5.7.3 which later states no buffer required on collector streets since this is a use specific requirement for Public Utility Uses.

*Staff Analysis:* The applicant elects to provide landscaping meeting the Type B2 buffer planting standard (two large trees and four small trees or large shrubs for each 100 linear feet of buffer). The buffer plantings begin approximately 15 feet from the northwest property corner, extending approximately 255 feet (minus the new driveway) southeast to the western edge of the existing driveway. No additional plantings are proposed along the remainder of the Dimmocks Mill Road frontage. Existing vegetation will be used to satisfy buffer requirements along the west, south and eastern edges of the property.

**5.2.40.1.b The proposed site meets the needs of the applicant and minimizes potential adverse impacts on the adjacent property.**

*Applicant Statement:* Compliant. Site is existing and applicant has confirmed site meets their needs when renovated.

*Staff Analysis:* Staff find no reason to believe the site doesn't meet the applicant's needs. Proposed landscaping improvements will provide screening between the new accessory building and residences across the road from the site. The proposed buildings are designed to minimize potential adverse impacts on adjacent properties.

**5.2.40.1.c All required state agency approvals have been obtained, and the proposed operators have been or will be certified by the appropriate state agency; no certificate of occupancy shall be issued until proof of such certification has been submitted to the Town.**

*Applicant Statement:* Not applicable. Existing Public Utility - No new Agency Approvals needed.

*Staff Analysis:* The current and future employees who will occupy and use the proposed buildings do not operate the water plant. Staff employed on this portion of the property serve in maintenance and administrative capacities. No state agency certifications are required.

**5.2.40.1.d Public convenience and necessity shall be served by this facility if installed as proposed.**

*Applicant Statement:* Compliant. Existing facility remains and serves public adequately.

*Staff Analysis:* The proposed improvements will support public convenience because staff to be housed there work directly in support of servicing and maintaining the town's utility infrastructure. Their service may also be seen as a public necessity.

**5.2.40.1.e All outside storage areas and treatment facilities are fenced with a minimum eight (8) foot high cyclone fence topped with barbed wire, or similar perimeter security satisfactory to the permit issuing authority**

*Applicant Statement:* Compliant. We have revised the new proposed fencing height to be 8' with barbed wire. See Detail 8 on Sheet C6.0

*Staff Analysis:* The fence details in the plans indicate all new fencing will be an eight-foot-tall cyclone fence topped with barbed wire.

**5.2.40.1.f The architectural elevations of the buildings show that the buildings preserve the character of the surrounding area to the maximum extent practicable.**

*Applicant Statement:* Compliant. New addition and new building facades meet UDO and are complimentary to the existing buildings on parcel and their form, shape, scale, materials and orientation do not disrupt the character of the adjacent residential buildings.

*Staff Analysis:* Staff find no reason why the building architecture and materials used should detract from the character of the surrounding area. Buildings will have sloped or pitched roofs, contain windows where practical due to proposed building use, and employ brick as a primary building material.

**5.2.40.1.g All structures except public water storage facilities are set back at least one hundred (100) feet from the property line. Elevated public water storage facilities shall observe a setback equal to the greater of the height of the storage facility or the setback required in the district where the facility is located.**

*Applicant Statement:* Variance reduced this requirement. Variance granted by Board of Adjustment in the 11/19/2024 meeting to locate buildings closer than 100' due to existing conditions and floodplain location on site.

*Staff Analysis:* The variance granted for the property allows the new accessory vehicle storage building to be located 20 feet from the Dimmocks Mill Road right-of-way; the required front building setback applicable to the OI district. No elevated water storage facilities are proposed.

- 5.2.40.1.h All electric power distribution and service lines (not including transformers or enclosures containing electrical equipment such as switches, meters, or capacitors which may be pad mounted), telephone, gas distribution, and cable television lines shall be placed underground in accordance with the specifications and policies of the respective utility companies.**

*Applicant Statement:* Not applicable. The modifications to the parcel are to provide and (*sic*) office expansion and a vehicle storage accessory structure, and as such there are no new public utility components proposed that would be regulated by this section.

*Staff Analysis:* All utility service lines for the project will be installed underground.

- 5.2.40.1.i All electric power, telephone, gas distribution, and cable television lines serving new development and/or new structures shall run underground from the point of connection with the existing main lines to all structures on the lot served by those lines. Such lines shall be placed underground in accordance with the specifications and policies of the respective utility companies.**

*Applicant Statement:* Compliant. All utilities serving the renovated and added structures will be located underground.

*Staff Analysis:* All utility service lines for the project will be installed underground.

- 5.2.40.1.j Whenever it can reasonably be anticipated that utility facilities constructed in one development will be extended to serve other adjacent or nearby properties, such utility facilities (e.g., water or sewer lines) shall be located and constructed so that extensions can be made conveniently and without undue burden, expense or unnecessary duplication of service.**

*Applicant Statement:* Not applicable. The modifications to the parcel are to provide and (*sic*) office expansion and a vehicle storage accessory structure, and as such there are no new public utility components proposed that would be regulated by this section.

*Staff Analysis:* No utilities are being installed in a manner to serve other developments. The utilities are designed to provide service to existing and proposed buildings.

- 5.2.40.1.k All utility facilities shall be constructed in such a manner as to minimize interference with pedestrian or vehicular traffic and to facilitate maintenance without undue damage to improvements or facilities located within the development.**

*Applicant Statement:* Compliant. Yes - although the new facilities on this parcel are not utilities, they are designed such that they do not interfere with pedestrian or vehicular traffic.

*Staff Analysis:* Staff do not believe this standard applies to the proposed project. This standard appears to be written to address impacts of local or regional utility infrastructure projects

involving underground or overhead utility transmission lines that could impact or disrupt travel on public roads, sidewalks, trails, etc. during their construction.

## **FINDINGS OF FACT ANALYSIS:**

The following analysis represents staff's professional opinion based upon review of the application materials, UDO, Future Land Use Map and CSP. The Board must make its own determination as to whether **all** findings are met. **This determination must be based on factual, competent, material and substantial evidence presented at the hearing.**

**Section 3 (Administrative Procedures), Subsection 3.8 (Special Use Permit), Paragraph 3.8.3 (General Standards/Findings of Fact): The Board of Adjustment shall not approve a Special Use Permit application unless it makes each of the following findings concerning the proposed special use:**

**3.8.3.1 That the use or development is located, designed, and proposed to be operated so as to maintain the public health, safety, and general welfare.**

*Applicant Statement Supporting Finding:* Compliant. The planned improvements to the existing Utilities Department facility currently operates with an office and storage areas for materials, vehicles and equipment. The improvements will not alter the current use. The site is designed to be more efficient and provide screening of the equipment and vehicles. Operation of the site will remain as is (*sic*) exists with the exception of adding a second driveway on the western corner of the site which improves visibility at Dimmocks Mill as vehicles travel East.

*Staff Analysis:* Staff find no reason why the proposed development will be detrimental to public health, safety and general welfare. The proposed improvements do not introduce any new uses or activities not already being housed and operated on the property.

**3.8.3.2 That the use or development complies with all required regulations and standards of this Ordinance, including all applicable provisions of Articles 4, 5, and 6 and all applicable regulations.**

*Applicant Statement Supporting Finding:* Compliant. The development as designed complies with all required regulations and standards of the UDO including all provisions of articles 4, 5 and 6 and all applicable regulations, with the exception of the variance already granted by the BOA for the required 100' setback of Public Utilities.

*Staff Analysis:* Staff offer the following in relation to this finding:

1. *Compliance with Section 4*

Although the existing zoning district and land use are incompatible (the district is designed for less intense uses than what the property is being used for), the proposed development generally complies with the intent of the OI district because the proposed building addition will provide office space for additional town staff.

2. Compliance with Section 5

Staff believe the board can positively find that the proposed development meets all applicable use-specific standards for Public Utility land uses.

3. Compliance with Section 6

The town's Technical Review Committee have reviewed the submitted construction drawings and found them to comply with all applicable requirements of UDO Section 6 and other town regulations.

**3.8.3.3 That the use or development is located, designed, and proposed to be operated so as to maintain or enhance the value of contiguous property, or that the use or development is a public necessity, and**

*Applicant Statement Supporting Finding:* Compliant. The improvements to the existing Public Utility use site are located, designed and will be operated to enhance the value of the contiguous property by improving the site lighting to be UDO compliant, creating buffers that screen the storage areas and adding buildings and additions to the existing building that is architecturally compatible. The Utilities Department is a public necessity for maintaining safe and hygienic water supply to town residents and collection of waste allowing it to be treated prior to being released.

*Staff Analysis:* Staff find no reason why the use will not, at a minimum, maintain the value of contiguous property. The property has historically been used for its present purpose and the proposed improvements do not introduce any major changes in the property's use. The function of the property is a public necessity because it provides a site for the treatment of the town's water supply and maintenance of its water and sewer system network.

**3.8.3.4 That the use or development conforms with the general plans for the physical development of the Town and is consistent with the Town's Comprehensive Plan.**

*Applicant Statement Supporting Finding:* Compliant. The improvements to the existing Public Utility use site conforms to the greater plans for the physical development of the Town by utilizing an existing site rather than developing undisturbed land and is consistent with the Hillsborough Comprehensive Plan by promoting sustainable principles for the development of land. Limiting development outside of the 100-year floodplain demonstrates the project's commitment to the environment and natural systems. Lastly, this improvement demonstrates the Town's commitment to improving their services for the water distribution and collection for town residents.

*Staff Analysis:* Staff evaluated the project in relation to the town's Future Land Use Map and CSP and offers the following findings:

1. Future Land Use Map

The property is classified as "Light Industrial Area." The proposed development conforms with this land use category as follows:

- a. The property is a large tract of land currently supporting a use that is industrial in character: the town's water treatment plant and associated maintenance and service uses.
- b. Excepting some temporary land disturbance required for construction of the accessory vehicle storage building, all other project development will be located outside of mapped regulatory floodplain areas.
- c. As designed, the proposed improvements should have minimal impacts on adjacent uses.

2. CSP

The proposed development is consistent with the following provision of the CSP:

- a. Environment and Natural Systems Goals & Actions Element

Goal #1: "Employ an integrated ecosystem approach and stewardship mentality to protect, conserve, and restore critical environmental areas and natural systems."

Strategy: "Invest in public projects that contribute to sustained ecological health of the environment and natural systems in town."

Strategy Point #14: "Update building and site lighting to timed, LED, cutoff fixtures for town-owned and town-maintained properties."

The town will have control over all newly installed site lighting. Proposed freestanding and building-mounted light fixtures are to be time-controlled or controlled with photo and/or motion detection sensors.

**RECOMMENDED CONDITIONS OF APPROVAL:**

Staff have no recommended conditions for this project, if approved. However, the board may attach reasonable and appropriate conditions and safeguards to the permit but may not include requirements for which the town has no authority to apply under state statute or that the courts have held to be unenforceable.

**VOTING REQUIREMENT:**

A majority vote is required to grant a Special Use Permit modification.



# Attachment #1



TOWN OF  
HILLSBOROUGH

## GENERAL APPLICATION Special Use Permit, Variance or Appeal Board of Adjustment Hearing

Planning and Economic Development Division  
101 E. Orange St., PO Box 429, Hillsborough, NC 27278  
919-296-9475 | Fax: 919-644-2390  
www.hillsboroughnc.gov

This application is for a special use permit (including modifications), variance or appeal.  
Incomplete applications will not be accepted or processed.

OFFICIAL USE ONLY		
Case Number: BA-04-2025	Fee: \$ 500.00	Receipt No.: QDQ7Y7WG67
FLUM Designation: Light Industry	Zoning District: OI	Overlay Zone: Select One

NA  
4/16/25

Permit or Relief Requested: Special Use Permit Modification
---

PROJECT LOCATION AND DESCRIPTION	
Project Name: Adron F Thompson Addition & Renovation	Project Type: Office <input type="checkbox"/>
Property Address/Location: 715 Dimmocks Mill Road, Hillsborough, NC 27278	
PIN(s): 9864237369	Size of Property (Acres/Sq. Ft.): 13.50 Acres
Current Use of Property: Public Utility	Proposed Use of Property: Does not change
Use Class (from UDO Sections 5.1.7 and 5.1.8): Public Utility per UDO 5.1.8 due to presence of Water Treatment Plant	
Number Existing Buildings to Remain: 7	Number Proposed Buildings: 1 additional for 8 total
Gross Floor Area Existing Buildings: 16,565 gsf	Gross Floor Area Proposed Buildings: 25,636 gsf
Number Lots Proposed: N/A 1 lot remains as is	Number Dwelling Units Proposed: N/A
Brief Summary of Request (use separate sheet if necessary): Project proposes a renovation and addition to the Adron F. Thompson Building and a new 5,000 sf Accessory Vehicle Storage Building on the lot, with Site Improvements.	

CERTIFICATION AND SIGNATURES	
Applications will not be accepted without signature of legal property owner or official agent.	
I certify that the information presented by me in this application and all accompanying documents are true and accurate to the best of my knowledge, information, and belief; and I acknowledge that the processing of this application may require additional town, county and/or state permits, approvals and associated fees.	
Applicant: Bryant Green, PE Engineering Svcs. Manager	Legal Property Owner: Town of Hillsborough, NC
Mailing Address: 105 E. Corbin Street	Mailing Address: 101 E. Orange Street PO Box 429
City, State, ZIP Code: Hillsborough, NC 27278	City, State, ZIP Code: Hillsborough, NC 27278
Telephone: 919-296-9631	Telephone: 919-732-1270
Email: bryant.green@hillsborough.nc.gov	Email: eric.peterson@hillsborough.nc.gov
Signature: [Signature]	Signature: [Signature]
Date: 04/16/2025	Date: 4/16/2025
Legal Relationship of Applicant to Property Owner: Employee of Legal Property Owner	



RECEIVED  
4/16/2025

General Application Form BOA 01/11/2023 TK





TOWN OF  
HILLSBOROUGH

## SUPPLEMENTAL FORM

### Special Use Permit

Planning and Economic Development Division  
101 E. Orange St., PO Box 429, Hillsborough, NC 27278  
919-296-9475 | Fax: 919-644-2390  
www.hillsboroughnc.gov

To the Hillsborough Board of Adjustment:

I, Bryant Green, PE Engineering Service Manager, hereby petition the Board of Adjustment to issue a Special Use Permit in the name of Town of Hillsborough Utilities Department for use of the property described in the attached General Application in a manner set forth on that form or, if not adequately explained there, as more fully described herein:

Parcel 98642373369 715 Dimmocks Mill Rd. in Hillsborough is classified as a O/I Zoning but is currently operated as a Public Utility as the parcel contains the existing Water Treatment Plant. The proposed development will enlarge the existing office use of the Adron F. Thompson building, add a vehicle storage accessory structure. Since a Public Utility requires a SUP. this development must apply for a SUP.

Authority to grant the request is contained in the Hillsborough Unified Development Ordinance sections:

#### 3.8 Special Use Permit

##### 3.8.2 APPLICABILITY

An application for a Special Use Permit may be submitted when the use is designated special use for the zoning district in which the property is located, in the Permitted Use Table.

## FACTORS RELEVANT TO PERMIT ISSUANCE

The Hillsborough Unified Development Ordinance imposes the following four general standards/findings of fact on the special use requested by the applicant. Below or on a separate sheet, indicate the facts you intend to show and the arguments you intend to make to convince the Board of Adjustment that it can properly reach these four required findings.

1. That the use or development is located, designed, and proposed to be operated so as to maintain the public health, safety, and general welfare.

The planned improvements to the existing Utilities Department facility currently operates with an office and storage areas for materials, vehicles and equipment. The improvements will not alter the current use. The site is designed to be more efficient and provide screening of the equipment and vehicles. Operation of the site will remain as is exists with the exception of adding a second driveway on the Western corner of the site which improves visibility at Dimmocks Mill as vehicles travel East.



RECEIVED  
4/16/2025  
Tom

2. That the use or development complies with all required regulations and standards of the Unified Development Ordinance, including all applicable provisions of articles 4, 5, and 6 and all applicable regulations.

The development as designed complies with all required regulations and standards of the UDO including all provisions of articles 4, 5 and 6 and all applicable regulations, with the exception of the variance already issued by the BOA for the 100' setback of Public Utilities.

3. That the use or development is located, designed, and proposed to be operated so as to maintain or enhance the value of contiguous property or that the use or development is a public necessity.

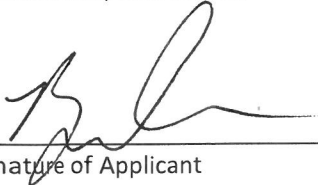
The improvements to the existing Public Utility Use site are located designed and will be operated to enhance the value of the contiguous property by improving the site lighting to be UDO compliant, creating buffers that screen the storage areas and adding buildings and additions to the existing building that is architecturally compatible. The Utilities Department is a public necessity for maintaining safe and hygienic water supply to town residents and collection of waster allowing it to be treated prior to being released.

4. That the use or development conforms with the general plans for the physical development of the Town and is consistent with the Hillsborough Comprehensive Plan.

The improvements to the existing Public Utility Use site conforms to the greater plans for the physical development of the Town by utilizing an existing site rather than developing undisturbed land and is consistent with the Hillsborough Comprehensive Plan by promoting sustainable principles for the development of land. Limiting development outside of the 100 year floodplain demonstrates the project's commitment to the environment and natural systems. Lastly, this improvement demonstrates the Town's commitment to improving their services for the water distribution and collection for town residents.

The Unified Development Ordinance also imposes the following use-specific requirements on the use requested by the applicant (town staff will assist the applicant in listing the specific requirements). The applicant should be prepared to demonstrate that the proposed use will comply with each of the following specific requirements if the land is used in a manner consistent with the plans, applications and other information presented to the board:

I certify that all the information presented by me in this application is accurate to the best of my knowledge, information, and belief.

  
\_\_\_\_\_  
Signature of Applicant

04.16.2025

\_\_\_\_\_  
Date



TOWN OF  
HILLSBOROUGH

# AUTHORIZATION FORM

## Owner's Authorization for Agent Board of Adjustment Hearing

Planning and Economic Development Division  
101 E. Orange St., PO Box 429, Hillsborough, NC 27278  
919-296-9475 | Fax: 919-644-2390  
www.hillsboroughnc.gov

This form must accompany any application to go before the Board of Adjustment in which the application will not be represented by the legal property owner. Each owner shown on the property owner's deed must sign this authorization form.

I/We Eric Peterson  
(print names of legal property owners)

hereby authorize Bryant Green  
(print name of agent)

to represent me/us in processing an application for Special Use Permit Modification  
on my/our behalf. In authorizing the agent to represent me/us, I/we as owner/owners attest that:

- The application is made in good faith.
- All information contained in the application is accurate and complete.
- The agent is authorized to accept any and all conditions that may be placed on the approval.
- I/we as the property owner(s) am/are bound by any decision of the board, including any and all conditions attached to board approvals.

[Signature]  
Signature of Owner

\_\_\_\_\_  
Signature of Owner

Eric J. Peterson  
Print Name of Owner

\_\_\_\_\_  
Print Name of Owner

NORTH CAROLINA \_\_\_\_\_ COUNTY

Sworn to and subscribed before me on this 28 day of April 2025 by

Eric Peterson  
Print Name of Person Making Statement

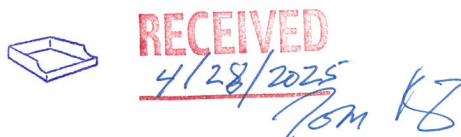


[Signature]  
Signature of Notary Public

Lindsay A Rheu  
Print Commissioned Name of Notary Public

4-29-2025  
Commission Expiration Date

The individual(s) making the above statement is/are personally known ☒ or identification was produced \_\_\_\_.



Section	Article	Compliant?	NOTES
<b>Section 3</b>			
<b>Section 3.8.3 General Standards / Findings of Fact</b>			
<b>3.8.3.1</b>	That the use or development is located, designed, and proposed to be operated so as to maintain the public health, safety, and general welfare.	COMPLIANT	The planned improvements to the existing Utilities Department facility currently operates with an office and storage areas for materials, vehicles and equipment. The improvements will not alter the current use. The site is designed to be more efficient and provide screening of the equipment and vehicles. Operation of the site will remain as is exists with the exception of adding a second driveway on the Western corner of the site which improves visibility at Dimmocks Mill as vehicles travel East.
<b>3.8.3.2</b>	That the use or development complies with all required regulations and standards of this Ordinance, including all applicable provisions of Articles 4, 5, and 6 and all applicable regulations.	COMPLIANT	The development as designed complies with all required regulations and standards of the UDO including all provisions of articles 4, 5 and 6 and all applicable regulations, with the exception of the variance already granted by the BOA for the required 100' setback of Public Utilities.
<b>3.8.3.3</b>	That the use or development is located, designed, and proposed to be operated so as to maintain or enhance the value of contiguous property, or that the use or development is a public necessity, and	COMPLIANT	The improvements to the existing Public Utility Use site are located, designed and will be operated to enhance the value of the contiguous property by improving the site lighting to be UDO compliant, creating buffers that screen the storage areas and adding buildings and additions to the existing building that is architecturally compatible. The Utilities Department is a public necessity for maintaining safe and hygienic water supply to town residents and collection of waster allowing it to be treated prior to being released.

Section	Article	Compliant?	NOTES
<b>3.8.3.4</b>	That the use or development conforms with the general plans for the physical development of the Town and is consistent with the Town's Comprehensive Plan.	COMPLIANT	The improvements to the existing Public Utility Use site conforms to the greater plans for the physical development of the Town by utilizing an existing site rather than developing undisturbed land and is consistent with the Hillsborough Comprehensive Plan by promoting sustainable principles for the development of land. Limiting development outside of the 100 year floodplain demonstrates the project's commitment to the environment and natural systems. Lastly, this improvement demonstrates the Town's commitment to improving their services for the water distribution and collection for town residents.
<b>Section 4 - Zoning Districts</b>			
<b>4.2.2 OFFICE/INSTITUTIONAL DISTRICT (OI)</b>			
4.2.2.1 Intent	The purpose of the OI District is to accommodate the location and establishment of medium density professional and business offices and institutions in close proximity to single-family detached residential units. This district is generally located near residential neighborhoods and often serves as a buffer or transition between residential neighborhoods and more intense business districts.	COMPLIANT	Town of Hillsborough classified this project site as an OI Zoning District. Current use of the site is a Public Utility. The site contains the Water Treatment Plant, and Office and material and Equipment storage for the Utilities Collection and Distribution Department which will be enlarged and improved, and the Utilities Administration Office will relocate to this site

Section	Article	Compliant?	NOTES
<b>Section 5 - Use Standards</b>			
<b>5.2.15 FENCES AND WALLS</b>			
5.2.15.1.a			
5.2.15.1.b	Fences and walls do not have to meet any setback standard, but must be located wholly on the applicant's property and outside of a public right of way, or utility, access or drainage easement unless an encroachment agreement or other similar written authorization is provided.	NOT APPLICABLE	Chain Link fence with barbed wire for security (required of a Public Utility Site) does not have a friendly and unfriendly side.
5.2.15.1.c	On any parcel containing a detached single-family dwelling, fences and walls shall be limited to 8 feet in height. Within the Historic District, a height of 6 feet or less may be required during the Certificate of Appropriateness review process.	NOT APPLICABLE	
5.2.15.1.d	Fences and walls erected to meet requirements in Section 6 for either screening or buffering must be of wood, stone, or masonry, unless the permit issuing authority specifically allows the use of alternate materials.	COMPLIANT	Proposed Waste Enclosure is masonry with metal gates.
5.2.15.1.e	Fences and walls are required to secure Certificate of Appropriateness if located in the Historic District or at a local landmark before construction.	NOT APPLICABLE	
5.2.15.1.f	Fences and walls are required to meet all of the provision of this subsection and to secure a Zoning Compliance Permit before construction unless the proposed fence or wall meets one of the following criteria: (a) The fence or wall is less than 30 inches tall, or (b) The fence or wall encloses an area and is wholly located within the parcel's building envelop (does not encroach in any primary building setback), or (c) The fence or wall does not enclose an area; is less than 50% of the length of any property line it runs parallel to; is less than 6 feet tall; and is intended to screen a view, define a boundary, or provide support to landscape material.	COMPLIANT	Our fencing meets the sub-section and is required to be 8' high with barbed wire to secure the Public Utility Use

Section	Article	Compliant?	NOTES
<b>5.2.40 PUBLIC UTILITIES</b>			
5.2.40.1 Standards of Evaluation	5.2.40.1.a The proposed landscaping shall provide a visual buffer equal to a Type B buffer from adjacent property through new plantings or existing vegetation.	COMPLIANT	Site Plan Sheets included in the Submittal show Type B2 Buffer NOTE: This supercedes 6.5.7.3 which later states no buffer required on collector streets since this is a use specific requirement for Public Utility Uses
	5.2.40.1.b The proposed site meets the needs of the applicant and minimizes potential adverse impacts on the adjacent property.	COMPLIANT	Site is Existing and Applicant has confirmed site meets their needs when renovated
	5.2.40.1.c All required state agency approvals have been obtained, and the proposed operators have been or will be certified by the appropriate state agency; no certificate of occupancy shall be issued until proof of such certification has been submitted to the Town.	NOT APPLICABLE	Existing Public Utility - No new Agency Approvals needed
	5.2.40.1.d Public convenience and necessity shall be served by this facility if installed as proposed.	COMPLIANT	Existing facility remains and serves public adequately
	5.2.40.1.e All outside storage areas and treatment facilities are fenced with a minimum eight(8) foot high cyclone fence topped with barbed wire, or similar perimeter security satisfactory to the permit issuing authority	COMPLIANT	We have revised the new proposed fencing height to be 8' with barbed wire. See Detail 8 on Sheet C-6.0
	5.2.40.1.f The architectural elevations of the buildings show that the buildings preserve the character of the surrounding area to the maximum extent practicable.	COMPLIANT	New Addition and New Building Facades meet UDO and are complimentary to the existing buildings on parcel and their form, shape, scale, materials and orientation do not disrupt the character of the adjacent residential buildings
	5.2.40.1.g All structures except public water storage facilities are set back at least one hundred (100) feet from the property line. Elevated public water storage facilities shall observe a setback equal to the greater of the height of the storage facility or the setback required in the district where the facility is located.	Variance reduced this requirement	Variance granted by Board of Adjustment in the 11/19/2024 meeting to locate buildings closer than 100' due to existing conditions and floodplain location on site.



Section	Article	Compliant?	NOTES
	5.2.40.1.h All electric power distribution and service lines (not including transformers or enclosures containing electrical equipment such as switches, meters, or capacitors which may be pad mounted), telephone, gas distribution, and cable television lines shall be placed underground in accordance with the specifications and policies of the respective utility companies.	NOT APPLICABLE	The modifications to the Parcel are to provide and Office Expansion and a Vehicle Storage Accessory Structure, and as such there are no new public utility components proposed that would be regulated by this section,
	5.2.40.1.i All electric power, telephone, gas distribution, and cable television lines serving new development and/or new structures shall run underground from the point of connection with the existing main lines to all structures on the lot served by those lines. Such lines shall be placed underground in accordance with the specifications and policies of the respective utility companies.	COMPLIANT	All utilities serving the renovated and added structures will be located underground.
	5.2.40.1.j Whenever it can reasonably be anticipated that utility facilities constructed in one development will be extended to serve other adjacent or nearby properties, such utility facilities (e.g., water or sewer lines) shall be located and constructed so that extensions can be made conveniently and without undue burden, expense or unnecessary duplication of service.	NOT APPLICABLE	The modifications to the Parcel are to provide and Office Expansion and a Vehicle Storage Accessory Structure, and as such there are no new public utility components proposed that would be regulated by this section.
	5.2.40.1.k All utility facilities shall be constructed in such a manner as to minimize interference with pedestrian or vehicular traffic and to facilitate maintenance without undue damage to improvements or facilities located within the development.	COMPLIANT	YES - Although the new facilities on this parcel are not Utilities, they are designed such that they do not interfere with pedestrian or vehicular traffic.



Section	Article	Compliant?	NOTES
<b>Section 6 - Development Standards</b>			
<b>6.5 BUFFERS</b>			
<b>6.5.2.1 APPLICABILITY</b>	Buffers will generally be established at the earliest review phase (for example: lot creation), once uses and densities are proposed in accordance with applicable regulations. However, a buffer standard may be amended prior to the issuance of a Zoning Compliance Permit subsequent to any changes including but not limited to zoning classification or development adjacent to the subject parcel.	COMPLIANT	A type B Buffer is required adjacent to properties zoned AR. The buffer adjacent to the street is required pursuant to Section 5.2.40.1.a.
<b>6.5.2.2</b>	This Subsection applies to any of the following, except where exempted by Section 6.5.2.3 below:		
	6.5.2.2.a The construction or erection of any new building or structure for which a Zoning Compliance Permit, Special Use Permit, or Site Plan approval is required;		This project requires a Special Use Permit and as such the Buffer Serction applies
<b>6.5.3 LOCATION OF BUFFERS</b>	Buffers shall be located on commonly held open space or the outer perimeter of a lot or parcel, extending to the lot or parcel boundary line. Buffers shall not be located on any portion of an existing or dedicated public or private street or right-of-way.	COMPLIANT	Type B2 Buffer proposed at Northern edge of Parcel fronting Dimmocks Mill Rd. Existing vegetation is being used to satisfy the Type B buffer required adjacent to properties zoned AR.
<b>6.5.6 PLANT MATERIAL AND STRUCTURE SUBSTITUTIONS</b>			
6.5.6.1	In Type B and C buffers, evergreen trees may be substituted for deciduous trees of the same size category without limitation.	NOT APPLICABLE	Buffer is compliant without allowed substitutions
6.5.6.2	In Type A buffers, evergreen trees of the same size category may be substituted up to a maximum of 50% of the total number of the deciduous large trees otherwise required and.	NOT APPLICABLE	Buffer Type required is B
6.5.6.3	In all buffers, evergreen shrubs may be substituted for deciduous shrubs without limitation.	NOT APPLICABLE	Buffer is compliant without allowed substitutions
6.5.6.4	<b>Structure</b> 6-foot Fence <b>Equivalent</b> 4-foot Earthen Berm ion.	NOT APPLICABLE	We are not proposing substituting a berm for the fence to comply

Section	Article	Compliant?	NOTES
<b>6.5.7 SPECIAL CIRCUMSTANCES BASED ON ADJACENT CONDITIONS</b>			
	6.5.7.1 Where the buffer required between a land use and vacant land turns out to be greater than that buffer which is required between the first use and the subsequently developed use, the subsequent use may provide one-half (.5) of the required buffer. The existing use may expand its use into the original buffer area, provided the resulting total buffer between the two uses meets the buffer requirements of Table 6.5.10.	NOT APPLICABLE	
	6.5.7.2 When a parcel to be developed is adjacent to an Interstate or railroad right of way, a 100- foot undisturbed buffer shall be provided along the adjacent property line, regardless of the requirement in Table 6.5.10. This buffer shall be planted to meet the standard of a Type D buffer if the existing vegetation does not meet that standard.	NOT APPLICABLE	
	6.5.7.3 When a non-residential parcel is adjacent to a street classified as arterial or collector, no buffer shall be required along the street frontage, regardless of the requirement in Table 6.5.10, unless modified by the permit-issuing authority.	COMPLIANT	We include a Type B2 Buffer at Dimmocks Mill Rd between our building and the road per Section 5.2.40.1.a
<b>6.5.8 USE AND DEVELOPMENT WITHIN BUFFERS</b>	<i>UDO Text not copied as it is not applicable.</i>	NOT APPLICABLE	
	6.5.8.1 Buffers shall not contain any development, impervious surfaces or site features that do not function to meet the standards of this Subsection unless otherwise allowed.	COMPLIANT	
	6.5.8.2 Fences not required to satisfy buffer requirements may be placed in buffers provided that no canopy tree is removed and damage to existing vegetation is minimized.	NOT APPLICABLE	No fencing other than required by Buffer (6') & required by Ordinance for Public Utilities (8' with barbed wire) proposed
	6.5.8.3 New utility corridors are not permitted in buffers unless no reasonable alternative exists. Crossings at angles between 60 and 90 degrees are acceptable where utility corridors are necessary. <i>(related sub section text omitted as N/A)</i>	NOT APPLICABLE	No new utility corridors proposed in project scope in buffer

Section	Article	Compliant?	NOTES
6.5.8.4 6.5.8.5	When a development plan is proposed on land adjacent to or & encumbered with an existing utility easement (overhead or underground) and the proposed development will not modify or relocate the utility, no buffer is required to be installed by the development plan. The development plan must maintain any existing buffer (vegetative, built, or topographic) existing at the time of development plan application between the existing utility easement and adjoining properties requiring a buffer under this ordinance.	NOT APPLICABLE	
6.5.8.6	A buffer may be used for passive recreation and contain pedestrian trails provided that: <i>(related sub section text omitted as N/A)</i>	NOT APPLICABLE	Buffer not proposed to satisfy, development does not have a Recreation Requirement
6.5.8.7	In no event shall playfields, swimming pools, tennis courts and other active recreation areas, storage of materials, parking or structures (except for necessary utility boxes and equipment) be allowed in buffers.	NOT APPLICABLE	Buffer not proposed to contain active recreation uses, storage of materials or parking
<b>6.5.9 OWNERSHIP OF BUFFERS</b>	<i>UDO Text not copied as it is not applicable.</i>	NOT APPLICABLE	No Single Family Lots or HOA
<b>6.5.10</b>	<b>TABLE: REQUIRED BUFFERS</b>	COMPLIANT	<b>A Type B buffer is required adjacent to properties zoned AR.</b>
6.5.10.1	Where a buffer is owned by a property owners association, the covenants for the development shall require that association to maintain the buffers and shall include a buffer maintenance plan.	NOT APPLICABLE	Owner / Applicant to maintain Buffer
6.5.10.2	For parcels that contain a buffer as part of a permit requirement, the property owner shall maintain the buffer. The site will be inspected at the end of the second growing season following permit issuance for compliance and during any subsequent development review to ensure continued compliance.	COMPLIANT	Buffer proposed will be part of SUP and as such the Applicant will maintain the buffer to be in compliance with the UDO
<b>6.5.11</b>	<b>SOUTH CHURTON NON-RESIDENTIAL BUFFER</b>	NOT APPLICABLE	UDO text not included as it is all N/A

Section	Article	Compliant?	NOTES
<b>6.7 Design Requirements</b>			
6.7.3 Articulation	6.7.3.1 The facade shall be articulated with bays, recesses and projections, door and window rhythm, columns, piers, and/or varied rooflines to divide the building mass.	COMPLIANT	The Facade of the Addition to the Primary Structure uses changes in materials and window rhythm to provide the required articulation. Articulation of the building mass is provided in the design by material changes at the floor level and a regular and consistent window rhythm. Varied rooflines are provided to articulate the building but also provide solar potential for future PV panels.
	6.7.3.2 Design elements such as bays, recesses and projections, door and window rhythm, columns, piers, and/or varied rooflines shall be kept consistent along the front façade.	COMPLIANT	New portion of building Façade designed with window rhythm to articulate the façade, roof lines designed to slope opposite to balance the addition and to provide future opportunity for solar panel installation.
6.7.4 Drive-up Windows, Canopies, and Porte Cochères	6.7.4.1 Drive-up windows, canopies, and porte cochères shall be located on the side or rear of the building.	NOT APPLICABLE	
	6.7.4.2 Drive-up windows, canopies, and porte cochères shall feature architectural materials and design elements that match the primary building.	NOT APPLICABLE	
6.7.5 Fenestration	6.7.5.1 Buildings shall not have a blank wall oriented to a street.	COMPLIANT	
	6.7.5.2 Ground-floor building facades adjacent to existing or proposed public or private streets shall include window and glass door openings comprising a minimum of 40% of ground floor façades and 25% of upper floor facades. On buildings with at least one tenant space 30,000 sf or larger, openings such as windows and doors shall account for a minimum of 30% of the front façade.	COMPLIANT	See attached Drawing A-C1 Glazing Percentage of North Facade of Primary Structure indicating Compliance at Dimmocks Mill Facade

Section	Article	Compliant?	NOTES
	6.7.5.3 Street level glazing shall be visually transparent, although UV coatings are permitted. Mirrored glass is prohibited. Spandrel and faux glass are permitted where interior views are not possible or feasible due to interior location of equipment, kitchens, production or stock areas, restrooms, and other uses where interior views are not appropriate. Transom windows are encouraged and may be used in meeting the requirements of 6.7.5.2 in these locations to provide natural light to the interior of the structure.	COMPLIANT	Attached Architectural Elevation Drawings demonstrate the Street Level Façade with visibly transparent glazing of the Primary Building.
	6.7.5.4 Windows shall have a vertical-to-horizontal ratio of 1:2 except where storefront glass is employed. Two or more vertically oriented windows may be grouped together provided grouped windows are the same size. This does not apply to buildings with at least one tenant space 30,000 sf or larger.	NOT APPLICABLE	All new windows are storefront, and therefore not subject to the 1:2 ratio
	6.7.5.5 Design treatments intended to simulate windows that have been covered or filled in are prohibited.	COMPLIANT	Proposed addition does not employ this design treatment See attached Architectural Elevation Drawings
6.7.6 Materials	6.7.6.1 Changes of building materials shall occur at a change of plane, such as a recess, projection.	COMPLIANT	See attached Architectural Elevation Drawings, material changes are located where floor level changes, and where building forms intersect.
	6.7.6.2 Buildings shall not have material changes at their outside corners.	COMPLIANT	See attached Architectural Elevation Drawings material changes are not made at corners.
	6.7.6.3 Dominant building materials shall consist of wood, brick, stone, fiber cement, pre-cast concrete, ceramic tile, or glass. Concrete block, stucco, EIFS, plywood, metal and vinyl siding are prohibited as exterior finishes. Architectural metal may be used as a secondary building material to accent or complement the dominant building material.	COMPLIANT	The brick masonry material of the addition and the existing building is the primary material by percentage as shown on the material area schedule on the attached Architectural Elevation drawings
6.7.7 Multistory Buildings	6.7.7.1 The first floor shall be architecturally differentiated from upper floors using porches, colonnades, canopies, awnings, storefronts, or other design features.	COMPLIANT	Addition first floor (lower level) has masonry finishes as compared to the upper level with Horizontal and Vertical Zinc metal siding

Section	Article	Compliant?	NOTES
	6.7.7.2 The front façade shall be integrated with the overall building architecture. False facades are prohibited.	COMPLIANT	New portion of the facade is integrated with the existing building's architecture to provide a consistent pattern and form. A False Façade is not employed in the design.
6.7.8 Orientation and Building Access	6.7.8.1 The primary building access for non-residential and mixed-use buildings shall be oriented toward and clearly identifiable from the street .	COMPLIANT	Existing entrance is reused and made to be more prominent with stairs and an accessible ramp for this building.
	6.7.8.3 ADA compliant sidewalks shall be provided between building entrances and public sidewalks.	NOT APPLICABLE	Public sidewalk not existing nor required on Dimmocks Mill Sidewalk from thr site arrival point, the accessible parkign space at the front is provided.
	6.7.8.4 ADA compliant handicap ramps shall be provided where sidewalks intersect streets or parking areas	COMPLIANT	Project does not employ curb and gutter at crossings, however Internal sidewalks in the project are accessible to the parking lots and the building entrances.
6.7.9 Posts and Columns	6.7.9.1 The proportion of structural elements such as posts, piers and columns shall be appropriately scaled to the weight they appear to be carrying.	COMPLIANT	The only exposed structural elements are the steel posts for exterior stairs which are appropriately sized for the load and scale of the building.
6.7.10 Roof Pitch	6.7.10.1 Flat roofs shall be capped by a parapet wall to provide screening of rooftop equipment. The backside of a parapet wall shall not be visible from a street.	NOT APPLICABLE	Existing Roof is flat to remain and has parapet that remains. New roofs are not flat.
6.7.11 Parking and Circulation, Site Layout	6.7.11.2 Primary buildings shall be placed along the right-of-way at the front of lot or immediately behind any allowed parking or circulation areas, sidewalks, and landscape areas.	COMPLIANT	
6.7.12 Service Areas and Accessory Buildings	6.7.12.1 Delivery areas shall be located to the side or rear of the building.	COMPLIANT	Deliveries occur at the West side or the rear of the enlarged building, not the front.
	6.7.12.2 Service bay and garage doors shall be located to the side or rear of the building.	COMPLIANT	
	6.7.12.3 Solid waste areas shall be constructed primarily of masonry.	COMPLIANT	Proposed Enclosure for generator & waste carts shown on site plan
	6.7.12.4 Accessory buildings shall not be located between the front façade of the primary building and the street.	COMPLIANT	

Section	Article	Compliant?	NOTES
	6.7.12.5 Accessory buildings shall be architecturally compatible with the primary building.	COMPLIANT	Vehicle Storage Building is an Accessory Building and is Compliant - Per E-mail dated 4/10/2025 from Shannan Campbell, The Accessory structure (Vehicle Storage Building) is architecturally compatible with the primary building on the plans.
<b>6.8 DESIGN REQUIREMENTS FOR ALL NEW RESIDENTIAL BUILDINGS</b>		NOT APPLICABLE	
<b>6.9 DRIVEWAY CONNECTIONS</b>			
6.9.3.1	No driveway shall be located within two hundred fifty (250) feet of the intersection of a public street with an arterial or collector street unless no other site access is legally practicable.	COMPLIANT	
6.9.3.2	No drive shall be located closer than twenty-five (25) feet to the right-of-way of any local street intersection. At intersections with traffic signals, the Planning Director shall specify distances from the right-of-way to allow for sufficient stacking of vehicles in the street prior to the driveway location.	COMPLIANT	
6.9.3.3	When access is available to a lot from streets of different classifications (e.g., arterial, collector, sub-collector), the driveway will be located so as to provide access to the lot from the street with the lower classification.	NOT APPLICABLE	
6.9.3.4	In parking lots where large hourly volumes of entering traffic may be expected, the developer shall provide a setback between pavement edge of the public roadway and the edge of proposed internal drives to accommodate stacking within the parking lot. This setback shall be determined by the Planning Director based on standards required by NCDOT, the Institute of Traffic Engineers, or other recognized standard.	NOT APPLICABLE	
6.9.3.5	On curb and gutter streets, the North Carolina Department of Transportation standard concrete driveway ramp shall be used. The Planning Director may allow street type driveway entrances for high volume traffic uses.	NOT APPLICABLE	

Section	Article	Compliant?	NOTES
6.9.3.6	Driveway connections shall be designed to accommodate stormwater to ensure that gravel does not wash into the public street. Connections which are above the grade of the existing street shall be graded so that drainage is directed into ditches designed to accommodate the drainage, or into the street gutters. The driveway shall be at the same elevation as the existing street across the width of the street right-of-way. If gravel or other materials wash onto the public street, the property owner shall be responsible to remove the material and establish safe conditions.	COMPLIANT	
6.9.3.7	Driveways shall be a minimum of one hundred feet (100') apart when access is to a collector or arterial street.	COMPLIANT	
6.9.3.8	Driveways shall be clearly defined with the use of curbs and/or landscaping.	COMPLIANT	
6.9.3.9	Driveways on opposite sides of the street shall either be offset by at least fifty feet (50') or aligned, unless such standards cannot be met for safety reasons.	NOT APPLICABLE	



Section	Article	Compliant?	NOTES
<b>6.10 LANDSCAPING (PARKING LOT)</b>			
6.10.3.1	Parking lots shall contain at least 1 shade tree for every seven parking spaces required for the site. These trees shall be located a sufficient distance from existing overhead utility lines to ensure the health and growth of the tree.	COMPLIANT	
6.10.3.2	Trees shall be evenly distributed throughout the parking areas and parking perimeter at the required ratio.	COMPLIANT	
6.10.3.3	No more than 14 continuous parking spaces shall be allowed without a minimum of 1 landscape island containing a shade tree.	COMPLIANT	
6.10.3.4	All planting medians or islands in parking lots shall be at least 10 feet X 10 feet measured from back of curb to back of curb (or pavement edge if the island is not curbed for stormwater purposes). When an island contains one or more shade trees, the island must have at least 300 square feet of unpaved space per shade tree.	COMPLIANT	
6.10.3.5	Linear planting strips between the lengths of parking isles are encouraged rather than numerous small tree islands. If a linear strip is used, 15 shrubs (no taller than 3 feet at maturity) per 100 feet of planting strip must be planted in addition to the required trees.	NOT APPLICABLE	
6.10.3.6	A minimum 10-foot wide continuous planted median shall be installed in off-street parking areas for every 2 double loaded parking bays exceeding 122 feet in length. Alternative landscaping layouts and arrangements which similarly visually break up large parking areas will be considered by the permit issuing authority.	NOT APPLICABLE	
6.10.3.7	Parking facilities, unless located on or within a structure, shall be separated from the exterior wall of a structure by a landscaped area at least five (5) feet in width.	COMPLIANT	Except where sidewalks are provided and required for Building Egress or Entry (At Doors)
6.10.3.8	Ground level parking facilities and the ground level of any parking structure shall provide a minimum of 10' planted setback area around parking perimeter, whether along a side street, property line, driveway, or undeveloped portion of the site. Within this setback, an opaque screen or fence to a height of at least 3 feet shall be required when the adjoining land is in residential use or a street.	COMPLIANT	Type B Buffer Screening provides required screening for parking.

Section	Article	Compliant?	NOTES
6.10.3.9	In meeting these standards, the retention of existing significant vegetation shall be encouraged. The site plan submitted shall locate and identify all existing and proposed trees and shrubs used for parking standards.	COMPLIANT	
6.10.3.10	Landscaping and walkways shall be installed to indicate the preferred travel pattern for pedestrians.	COMPLIANT	
6.10.3.11	Landscaping shall be protected from damage by motor vehicles.	COMPLIANT	
6.10.3.12	Lot areas not covered with paving, parking, buildings, or walkways shall be landscaped. The preferred surface is grass outside of planting beds although reasonable use of mulch and other materials will be considered.	COMPLIANT	
<b>6.11 LIGHTING</b>			
6.11.2 APPLICABILITY	Lighting plans shall demonstrate that sufficient light will be available to provide security for property and people using public facilities and common areas after dark. This includes, but is not limited to, roads, driveways, walkways, bikeways, parking lots, and recreational areas. Lighting plans will be reviewed as part of the review process for all permit applications. Modifications to approved or existing lighting shall be submitted to the Planning Director for review and compliance with applicable requirements.	COMPLIANT	
6.11.3 LIGHTING REQUIREMENTS	Lighting plans shall include a layout of proposed fixture locations (including wall mounted lights, ground mounted lights, and illuminated signs), foot candle data that demonstrate conforming intensities and uniformities; and a description of the equipment (catalog cuts), glare control devices, lamps, mounting heights and means, hours of operation, and maintenance methods proposed. Illumination intensities (lighting contours) may be shown on an independent plan or integrated with other required plans.	COMPLIANT	

Section	Article	Compliant?	NOTES
<b>6.11.4 MINIMUM LIGHT LEVELS</b>			
6.11.4.1	Parking areas, whether surface or in a structure, generally will have a minimum light intensity of 1.0 footcandles. A compliant lighting plan may show proposed light contours or light intensity grid with less 1.0 footcandle rating for no more than 25 percent of parking and walkway area if the flexibility prevents the site from exceeding the maximums described in 6.11.5, Maximum Light Levels, or the flexibility prevents intensity differences of greater than 5 footcandles across the illuminated portion of the site.	COMPLIANT	
6.11.4.2	Interior sidewalks, those sidewalks that connect buildings to parking areas, common areas, of facilities within a development that are likely to be used at night, shall have a minimum light intensity of 0.5 footcandles.	COMPLIANT	
6.11.4.3	Minimum lighting levels in this subsection are not required to be met by non-residential uses during non-business hours.	COMPLIANT	

Section	Article	Compliant?	NOTES
<b>6.11.5 MAXIMUM LIGHT LEVELS</b>			
6.11.5.1	All outdoor lighting shall be designed and located such that the maximum illumination measured in foot candles at the light source's property line shall not exceed two tenths (0.2) foot candle measured at ground level where the adjoining property is zoned or used for residential purposes.	COMPLIANT	
6.11.5.2	Light intensities shall not exceed fifteen (15) foot-candles at any location on the site to limit glare and blinding caused by significant light variations across a site.	COMPLIANT	
6.11.5.3	Use Specific Exceptions The following uses have unique operating or safety concerns related to site lighting and may have light intensities of 30 footcandles under canopies, outdoor sales areas, or in walk-up or drive-up service areas: 6.11.5.3.a banks and financial institutions, including freestanding automated teller machines 6.11.5.3.b motor vehicle sales 6.11.5.3.c motor vehicle fuel stations	NOT APPLICABLE	NOTE: In the same light of the upcoming UDO re-write, Public Utilities should be listed in this section as the Federal Grant Funding for improvements is not available if the facility does not provide security as required for public water supply.
6.11.5.4	Use Specific Exceptions Limited The light intensity from the excepted areas in 6.11.5.3 must be reduced to the following limits at property lines as described: 6.11.5.4.a 1.0 footcandles at any property line adjoining a public or private right of way if the use across the right of way is not zoned or used for residential purposes. 6.11.5.4.b 0.2 footcandles at any property line adjoining a public or private right of way if the use across the right of way is zoned or used for residential purposes. 6.11.5.4.c 0.2 footcandles at any property line adjoining land zoned or used for residential purposes.	NOT APPLICABLE	SAME NOTE AS ABOVE

Section	Article	Compliant?	NOTES
<b>6.11.6 INSTALLATION</b>			
6.11.6.1	Lighting fixture height shall not exceed twenty-five (25) feet or the maximum height of the main portion of the primary buildings on the site (excluding spires, towers, parapet walls and the like), whichever is taller. For sites where no building is proposed, mounting height for fixtures shall not exceed fifteen (15) feet for non-cutoff type fixtures or twenty-five (25) feet for cut-off type fixtures. This provision shall not apply to outdoor athletic field or outdoor performance area lighting provided the other applicable requirements of this section are met.	COMPLIANT	
6.11.6.2	Electrical feeds to lighting standards shall be run underground, not overhead.	COMPLIANT	
6.11.6.3	Lighting standards in parking areas shall be protected from vehicle impact with protective barriers or by location. Standards should not be placed so as to obstruct pedestrian movement along sidewalks or medians.	COMPLIANT	
6.11.6.4	Directional lighting fixtures used for sign lighting shall be top mounted, so lighting is aimed down. Ground mounted signs with a height of five (5) feet or less may be ground lit, provided that the lights are shielded so as to illuminate the sign only, and the light shall not exceed 10 foot-candles at the sign surface.	COMPLIANT	
6.11.6.5	Fixtures shall be of the sharp cut-off type. No portion of the fixture bulb may extend below the fixture housing. Non-cutoff type fixtures may be used if approved by the permit issuing authority with good cause shown during the permit review and such fixtures meet the other standards of this section.	COMPLIANT	
6.11.6.6	Unshielded wall fixtures shall not be used as security or general lighting adjacent to residential uses or to a public right of way.	COMPLIANT	
6.11.6.7	Landscape plantings shall be located and maintained so that they do not block light from reaching the intended surfaces.	COMPLIANT	
6.11.6.8	The placement of light fixtures should indicate the desired traffic flow and aid pedestrian safety, especially in areas with potential conflict between pedestrians and vehicles.	NOT APPLICABLE	

Section	Article	Compliant?	NOTES
6.11.6.9	Low intensity strings of lights or individual lighting fixtures may be installed in outdoor seating areas to create visibility for nighttime use or as part of window displays oriented toward pedestrians in areas with significant foot traffic. Lights may remain illuminated when the business is closed if the lights are not installed on the same floor level and/or installed within 100 feet of a dwelling. No individual bulb may exceed a lighting intensity of 250 lumens or color temperature of 3000 Kelvin. Fixtures of this type are not subject to the requirements of 6.11.6.5 or 6.11.6.6. This section will be enforced in concert with 6.18.9.5 so the intent of both sections is met.	NOT APPLICABLE	
<b>6.11.7 CONTROL OF NUISANCE AND DISABLING GLARE</b>			
6.11.7.1	All outdoor lighting, shall be designed, installed and maintained in a manner which does not present a disabling glare hazard to drivers or pedestrians; and all reasonable means shall be taken to prevent projection of nuisance glare onto neighboring properties or into the night sky.	COMPLIANT	
6.11.7.2	Lighting for sports and athletic fields must include glare control features and must be designed so that primary illumination is directed onto the play area and ancillary areas such as bleachers, stands, and similar areas. All lighting fixtures for sports fields must be equipped with a glare control package including louvers, shields, or similar devices. The fixtures must be aimed so that their beams are directed and fall within the primary playing or performance area.	NOT APPLICABLE	
6.11.7.3	In reviewing lighting plans, the permit issuing authority may consider the impact of lighting on neighboring properties based on stated hours of operation, topographical differences across sites, and other considerations.	COMPLIANT	All new site and exterior building mounted light fixtures will be compliant for cut-off and light levels to prevent light pollution or glare for adjacent properties
6.11.7.4	Glare control shall be accomplished primarily through the proper selection and application of lighting equipment and shielding. Only after those means have been exhausted shall vegetation, fences, or similar buffer methods be considered for reducing glare.	COMPLIANT	Fixtures selected to comply with this requirement.
<b>6.11.8 MAINTENANCE</b>			
6.11.8.1	Lighting fixtures used for safety and security lighting shall be maintained in proper working order so as to always meet the requirements of this Ordinance.	NOT APPLICABLE	Design documents cannot mandate maintenance; however we can reference this section for owner compliance

Section	Article	Compliant?	NOTES
<b>6.12 OPEN SPACE</b>			
6.12.2 APPLICABILITY	This subsection's requirements shall apply to any development subject to the following approvals: (a) Conservation Subdivision, (b) Major Subdivision, (c) Special Subdivision subject to a Special Use Permit, and (d) Planned Development.	NOT APPLICABLE	
<b>6.13 PARKING, LOADING, AND CIRCULATION</b>			
<b>6.13.3.3 Number of Parking Spaces Required outside the CC District</b>			
6.13.3.3.a Allowable Parking Reductions and Additions	Allowable Parking Reductions and Additions = per item (b) of this section, we can add or remove up to 5 spaces over or under the minimum required by the table. The Town's Utilities staff have indicated that they have 21 employees and adding 5 gives a maximum of 26 spaces.	COMPLIANT	Per comments from Tom King we have reduced the parking to 26 (21 staff with +5increase allowed)
6.13.3.4	<b>Table 6.13.3.4 Minimum Number of Parking Spaces Required for a Public Utilities requires 1 parking space per employee</b>	COMPLIANT	Per comments from Tom King we have reduced the parking to 26
6.13.6 COMPACT PARKING SPACES	In parking lots with more than twenty-five (25) parking spaces, compact car spaces may constitute up to twenty-five (25) percent of the total number of spaces provided. Compact spaces shall be clearly and permanently designated on the site plan and in parking areas.	NOT APPLICABLE	Compact spaces are not proposed due to the nature of the vehicles used in the Utility Department, limiting / reducing the size of spaces will not work for the large trucks used.
6.13.8	Table 6.13.8 details the minimum geometric requirements for different types of off- street parking spaces, which are shown in Figure 6-8: Parking Angle = 90 Stall Width = 9' Stall Depth = 18' Aisle Width Two-way traffic = 25'	COMPLIANT	

Section	Article	Compliant?	NOTES
<b>6.13.9 OFF-STREET PARKING DESIGN REQUIREMENTS</b>			
6.13.9.1	One row of parking spaces and one drive aisle, which together shall not exceed 44 feet in width, may be located between the primary building(s) and the street right-of-way. All other off-street parking areas shall be located to the side or rear of the primary building(s) behind the front façade(s).	COMPLIANT	
6.13.9.2	Except as otherwise allowed under subsection 6.13.9.1, visual impact of parking areas shall be reduced by locating the parking areas away from rights-of-way.	COMPLIANT	
6.13.9.3	Surface parking shall not be located at street corners.	COMPLIANT	
6.13.9.4	Parking areas shall be broken up into groups of no more than 14 contiguous spaces separated by landscaped areas. Parking areas shall be divided into a series of lots that are interconnected but separated by planted areas.	COMPLIANT	
6.13.9.5	Adjacent parking lots shall be connected by cross access easements to provide shared parking areas whenever possible.	NOT APPLICABLE	
6.13.9.6	Off street parking shall not be located along any street frontage that also has on- street parking.	NOT APPLICABLE	
6.13.9.7	All off-street parking spaces, vehicle accommodation areas, and access areas shall be surfaced with an all-weather paving material, such as asphalt, and maintained in a safe, sanitary, and neat condition. The use of innovative and pervious surfaces for the use of parking is encouraged. Parking is not permitted on landscaped areas.	COMPLIANT	
6.13.9.8	Off-street parking spaces shall be designed to prevent interference of parked vehicles with travel lanes, walkways, public property, or other private property by means of walls, curbs, wheel stops, or other appropriate means.	COMPLIANT	
6.13.9.9	All parking areas shall be properly maintained by the owner of the property.	NOT APPLICABLE	Design documents cannot mandate maintenance; however we can reference this section for owner compliance



Section	Article	Compliant?	NOTES
<b>6.13.10 OFF-STREET LOADING REQUIREMENTS</b>			
6.13.10.1	Industrial and commercial structures shall provide space for off-street loading of vehicles, unless the applicant for such use can demonstrate that such space is not required for the use.	COMPLIANT	<i>The Utilities Department's existing extensive gravel lots used to store vehicles and equipment is also used for the loading and offloading of equipment and vehicles onto trailers and these activities are most efficient occurring where the items are stored. The intent of the section is to prevent delivery trucks for retail establishments or restaurants from blocking public streets, parking lots or drive aisles within a site where the orderly and safe flow of public vehicle traffic may be interrupted. This site does not have significant regular public traffic inside the parcel however we do designate an area to comply with this on the Site Plan</i>
6.13.10.2	The requirements for off-street loading are in addition to the requirements for off-street parking. Space designated for compliance with off-street parking requirements shall not be used to comply with the requirements for off-street loading space and vice versa.	COMPLIANT	Off-Street Loading Area is not within the required Off-Street Parking Area
6.13.10.3	An off-street loading space, for the purposes of this section, shall have a minimum width of twelve (12) feet, a minimum length of sixty (60) feet and a vertical clearance of sixteen (16) feet above the finished grade of the space.	COMPLIANT	Area shown meets the minimum requirements
6.13.10.4	Each off-street loading space shall be located and arranged so that a semi-trailer truck can use it safely.	COMPLIANT	Location on site will allow a semi to deliver unload or load and leave safely
6.13.11	<div>Use Type</div> <div>Wholesale and Industrial Uses</div> <div>Minimum Loading Requirements</div> <div>One (1)</div>	COMPLIANT	We provided one Off-Street Loading Area as required

Section	Article	Compliant?	NOTES
6.14 PUBLIC SCHOOL FACILITIES, ADEQUACY		NOT APPLICABLE	
6.15 RECREATION SITES		NOT APPLICABLE	
6.16 SCREENING			
6.16.1 PURPOSE AND INTENT	It is the general intent of this section to provide for screening of utilities and mechanical equipment that may have adverse impacts on residential and pedestrian areas. Non- residential developments require service areas to accommodate utilities, waste handling, air handling, and supplementary power. This section of the Ordinance provides guidance on reducing any adverse impacts while still maintaining convenience and walkability. Buffers between different zoning districts are addressed in Section 6.5, Buffers.	COMPLIANT	We have provided for screening in the form of buffers at the front of the property, retaining existing landscaping of mature evergreens at the front parking lot, which screens the side parking area, and adding additional plantings that will screen HVAC, Generators and Transformers.
6.16.2 APPLICABILITY	Where non-residential development is adjacent to residentially zoned or used property or adjacent to areas that encourage pedestrian activity or access, the applicant shall address the potential adverse impacts of service areas to the residential and pedestrian uses. The permit issuing authority shall consider the potential impacts including, but not limited to, the following on adjacent residents and pedestrian areas:	SEE BELOW	
	6.16.2.1 Dumpsters and recycling collection areas	COMPLIANT	Provided a Masonry Enclosure for Waste & Recycling
	6.16.2.2 Air handling equipment	COMPLIANT	Ground Mounted Equipment is screened by Landscaping
	6.16.2.3 Supplementary power	COMPLIANT	Generator is screened by landscaping.
	6.16.2.4 Electric Utilities and Transformers	COMPLIANT	Ground Mounted Equipment is screened by Landscaping
	6.16.2.5 Phone, Cable and other utility services	COMPLIANT	Ground Mounted Equipment is screened by Landscaping
	6.16.2.6 Hot boxes & sprinkler connections	COMPLIANT	Ground Mounted Equipment is screened by Landscaping
	6.16.2.7 Grease traps	NOT APPLICABLE	

Section	Article	Compliant?	NOTES
	6.16.2.8 Service courts	COMPLIANT	The portion of the site that is used as equipment and material storage could be considered a "Service Court". This area is existing to remain and this new development will provide screening in the form of a type B buffer along Dimmocks Mill Road which will screen the existing yard and the proposed new accessory building from the residential parcels across Dimmocks Mill Road to the North.
	6.16.2.9 Lighting	COMPLIANT	Lighting for Security is required for this Public Utility and all new lighting proposed is compliant with the UDO
	6.16.2.10 Satellite Dishes/ Solar Panels	NOT APPLICABLE	None proposed in this project
6.16.3.1 Noise	Solid waste areas, air handling equipment, supplementary power, parking and service courts can have noise impacts at the time of use, or the sound generated by the machinery itself. Applicants shall provide noise level documentation for equipment located adjacent to the residential or pedestrian use. The permit issuing authority may require any one, or a combination of fencing, distance, and baffling as needed to minimize noise generated by such facilities. Areas that are serviced between 9 p.m. and 7 a.m. shall be located at least 50 feet from a structure in residential use.	COMPLIANT	While the site has a Solid Waste area it does not have a noise impact. While the site has air handling equipment it does not have a noise impact as it is located farther away from the residential parcel across. While the site does have an existing generator, and the project replaces this unit with a larger unit, we are proposing to enclose this in a masonry wall to control noise, and the slope of the site is naturally screening the generator from the adjacent residences across the north side of the Dimmocks Mill Rd. The existing and proposed parking areas will not add additional noise to the site. The equipment and material storage areas (service court) of this site is existing and is not increased in this project so the noise levels do not increase, and the addition of the vehicle storage building will move some of the equipment inside thus further reducing the noise created by the equipment.

Section	Article	Compliant?	NOTES
6.16.3.2 Visual			
6.16.3.2.a	Solid waste areas, utility meters, hot boxes and sprinkler connections, and service courts shall be screened from residences, pedestrian areas, and adjacent streets through landscaping, fences, walls, or grade changes of sufficient height to mitigate the visual impact of the utility being screened when viewed from the adjacent parcel, pedestrian area or street.	COMPLIANT	
6.16.3.2.b	Solid waste areas shall be screened by a fence or wall tall enough to screen the solid waste from view. The solid waste storage area shall be enclosed and secured by a gate.	COMPLIANT	Masonry Enclosure provided with gates
6.16.3.2.c	Air handling units, condensers, satellite dishes and other equipment that is placed on the roof shall be screened from view by building elements in order to shield from sight at grade as well as from nearby public rights-of-way	NOT APPLICABLE	No roof mounted items existing or proposed.
6.16.3.3 Light	Parking areas, service courts, delivery areas or others than include overhead and security lighting shall satisfy the lighting of this Ordinance. Further, local streets and residential properties shall be protected from headlight trespass through the installation of sufficiently tall landscaping or screening.	COMPLIANT	
<b>6.17 SIDEWALKS AND PEDESTRIAN ACCESS</b>		NOT APPLICABLE	Sidewalks not required on Dimmocks Mill Rd.
<b>6.18 SIGNAGE</b>			
<b>6.18.4 PERMANENT SIGNS NOT SUBJECT TO PERMIT REQUIREMENTS</b>			
6.18.4.1	Non-illuminated signs not exceeding two (2) per lot and six (6) square feet each in area, bearing only property identification numbers and names, post office box numbers, and names of occupants of the premises.	NOT APPLICABLE	Intent is to leave the existing Town of Hillsborough Wall Mounted Sign on the front of the building.
6.18.4.2	Signs two (2) square feet in area posted on private property relating to private parking, warning the public against trespass or danger from animals.	NOT APPLICABLE	Signage like this is Not in Contract - Owner will likely add signage outside of the contract that complies with this warning of class 1 Felony for trespass on this site. § 14 159.12 of the NC general statutes to make trespass on a water treatment plant site a Class I felony.

Section	Article	Compliant?	NOTES
6.18.4.3	Flags or insignia of any governmental or non-profit organization when not displayed in connection with commercial activity or promotion. One flag (each) of the United States and of the State of North Carolina no larger than 100 square feet may be displayed in connection with a commercial activity without being subject to the permit requirements of this section.	NOT APPLICABLE	No flagpoles proposed in this development
6.18.4.7	Signs not exceeding four (4) square feet and bearing no advertising matter directing and guiding traffic on multi-family or non-residential property.	NOT APPLICABLE	Signage like this is Not in Contract - Owner may install signage compliant with this for directional instructions for vendors or to direct public to the Utilities Office in the rear of the building.
<b>6.18.7 PROHIBITED SIGNS &amp; PROHIBITED CHARACTERISTICS</b>			
6.18.7.4	Freestanding signs shall be securely fastened to the ground or to some other substantial supportive structure to minimize the danger that either the sign or the supportive structure may be moved by the wind or other forces of nature and cause injury to persons or property.	NOT APPLICABLE	No new ground mounted signs proposed.
<b>6.18.9 RESTRICTIONS ON ILLUMINATION</b>			
6.18.9.1	Directional lighting fixtures used for sign lighting shall be top mounted, so lighting is aimed down. Ground mounted signs with a height of five (5) feet or less may be ground lit, provided that the lights are shielded so as to illuminate the sign only, and the light shall not exceed 10 foot candles at the sign surface.	COMPLIANT	
6.18.9.4	Lighting directed toward a sign shall be shielded so that it illuminates on the face of the sign and does not shine directly into a public right-of-way or residential premises.	COMPLIANT	
<b>6.18.12 TOTAL SIGN SURFACE AREA FOR WALL MOUNTED SIGNS</b>			
6.18.12.3	Unless otherwise limited by the provisions of this section, the wall sign surface area permitted on any building façade, shall be determined as follows: 6.18.12.3.a 0.5 square feet of wall sign surface area per linear foot of building façade, or 6.18.12.3.b thirty-two (32) square feet of wall sign surface area per building façade, whichever is greater.	COMPLIANT	Existing Town Standard Building Signage to remain on Adron F. Thompson Building

Section	Article	Compliant?	NOTES
<b>6.18.13 FREESTANDING SIGN SURFACE AREA</b>			
6.18.13.2	A single side of a freestanding sign may not exceed: twenty (20) square feet in surface area for lots zoned Central Commercial or for lots with fifty (50) feet or less of frontage on the street toward which the sign is primarily oriented; thirty- two (32) square feet on lots with more than fifty but less than 130 feet of frontage; fifty (50) square feet on lots with 130 feet or more of frontage. For the purpose of calculating the amount of freestanding sign surface area allowed by this section, the street frontage must be continuous.	NOT APPLICABLE	No ground mounted freestanding signage proposed.
<b>6.20 STORMWATER MANAGEMENT</b>		NOT APPLICABLE	
<b>6.21 STREETS</b>		NOT APPLICABLE	
<b>6.22 TREE PRESERVATION</b>			
6.22.2 APPLICABILITY	Every application for Site Plan, Special Use Permit, or grading plan for a site 10,000 sf or larger or any modification to any of the listed permit types shall provide a tree inventory and protection plan. This plan shall also be included in the grading plan of the construction drawings for any of the review types listed.	COMPLIANT	SUP triggers the Tree Inventory. C-2-2 indicated on Site Plans re-submitted for TRC review - Tree Protection Fencing Limits is on drawings indicated with a TP on the line.
<b>6.22.3 REQUIREMENTS</b>			
6.22.3.1	Grading and tree protection plans shall indicate the limits of the area to be disturbed which shall account for the extended tree drip lines and critical root zones of the trees. This limit shall be marked in the field with tree protection fencing and signs and shall be verified by Planning staff before any work begins onsite. No vehicles, equipment, or material storage shall encroach on the tree protection area or within the tree protection fencing during construction.	COMPLIANT	Provided for the tree protection on the site plans.

Section	Article	Compliant?	NOTES
6.22.3.2	Tree inventories shall identify all stands of trees on site including the diameter (dbh) and species of canopy trees which are deciduous trees 12" dbh or greater and non-deciduous trees 24" or greater dbh. Plans shall clearly indicate the trees to be removed and those to remain.	COMPLIANT	Added tree diameter and inventory of the immediate project area. The entire parcel was not surveyed since there is no scope below the 100 year floodplain and we are retaining all trees other than those shown on the site plans
6.22.3.5	Tree protection plans shall have a table with the following information: 6.22.3.5.a the number of canopy trees to be removed 6.22.3.5.b the number of canopy trees being retained 6.22.3.5.c the number of canopy trees that are 24" or greater dbh to be removed 6.22.3.5.d the number of canopy trees that are 24" or greater dbh to be replaced 6.22.3.5.e the percentage of tree cover area before development 6.22.3.5.f the percentage of tree cover area after development.	COMPLIANT	Table added to Drawing C-2.2 indicating this information.
6.22.3.6	A tree protection plan will show the tree coverage area before development and shall indicate which method was used to calculate the tree coverage area.	COMPLIANT	See C-2.2
<b>6.22.4 STANDARDS</b>			
	6.22.4.1 Applications shall clearly state the number of canopy trees to be removed, along with an estimate of the number being retained on site.	COMPLIANT	Provided for the trees in the project area, since site improvements limited to only areas around Adron F. Thompson Building.
	6.22.4.2 Applications shall also include a calculation of percentage of the site covered by tree coverage area before and after development.	COMPLIANT	The trees indicated to be removed do not cause the retained tree area to fall below 12% as required in Section 6.22.4.2.a See C-2.2
6.22.4.2.c	For sites with existing, pre-development tree coverage area that covers 50% of the site, it is required that 8% tree coverage be retained.	COMPLIANT	See Tree Coverage Notes on C-2.2
<b>6.24 WASTEWATER DISPOSAL</b>		NOT APPLICABLE	
<b>6.25 WATER SUPPLY</b>		NOT APPLICABLE	

SPECIAL USE PERMIT MODIFICATION SUBMITTAL  
CASE BA - 04 - 2025

ADRON THOMPSON SITE IMPROVEMENTS  
2025  
HILLSBOROUGH, NORTH CAROLINA

GENERAL INFORMATION

COUNTY ORANGE  
TOWN HILLSBOROUGH  
PIN 9864237369  
ADDRESS 719 DIMMOCKS MILL ROAD  
ZONING OI

OWNER:  
TOWN OF HILLSBOROUGH  
101 EAST ORANGE STREET, PO BOX 429,  
HILLSBOROUGH, NC 27278  
TEL: 919-732-1270

APPLICANT  
TOWN OF HILLSBOROUGH-UTILITY DEPARTMENT  
c/o BRYANT GREEN  
105 EAST CORBIN STREET, HILLSBOROUGH, NC 27278  
919-296-9630

ENGINEER:  
THOMAS & HUTTON  
2510 MERIDIAN PARKWAY, SUITE 100  
DURHAM, NC 27719  
919.682.0368

SURVEYOR:  
THOMAS & HUTTON  
2510 MERIDIAN PARKWAY, SUITE 100  
DURHAM, NC 27719  
919.682.0368

UTILITY:  
TOWN OF HILLSBOROUGH-UTILITY DEPARTMENT  
c/o BRYANT GREEN  
105 EAST CORBIN STREET, HILLSBOROUGH, NC 27278  
919-296-9630

PREPARED FOR:  
TOWN OF HILLSBOROUGH  
NORTH CAROLINA

FEBRUARY 26, 2025

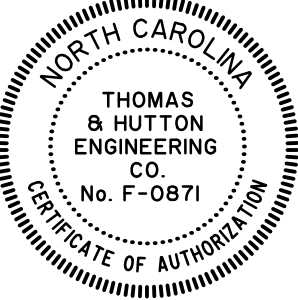
J-30833.0000

PREPARED BY:



A-A1	ARCHITECTURAL ELEVATIONS EXHIBIT A & E – BLDG HEIGHT & ROOF PITCH
A-A2	ARCHITECTURAL ELEVATIONS EXHIBIT A & E – BLDG HEIGHT & ROOF PITCH
A-B1	ARCHITECTURAL ELEVATIONS EXHIBIT B - BUILDING MATERIALS
A-B2	ARCHITECTURAL ELEVATIONS EXHIBIT B - BUILDING MATERIALS
A-C1	ARCHITECTURAL ELEVATIONS EXHIBITS C&D - OPENING & GLAZING INFO
A-C2	ARCHITECTURAL ELEVATIONS EXHIBITS C&D - OPENING & GLAZING INFO
A-D1	VEHICLE STORAGE BUILDING EXTERIOR ELEVATIONS - NORTH & SOUTH
A-D2	VEHICLE STORAGE BUILDING EXTERIOR ELEVATIONS - EAST & WEST
ES-101	SITE ELECTRICAL PLAN – OVERVIEW
ES-102	SITE ELECTRICAL PLAN – PROJECT AREA
ES-201	SITE ELECTRICAL – FIXTURE DETAILS
ES-202	SITE ELECTRICAL – FIXTURE DETAILS
ES-301	SITE LIGHTING CLACULATIONS – OVERVIEW
ES-302	SITE LIGHTING CLACULATIONS – PROJECT AREA
ES-303	SITE LIGHTING CLACULATIONS – PROJECT AREA

A VESTED RIGHT PURSUANT TO NCGS 160D-108  
AND SECTION 1.8 OF THE UNIFIED  
DEVELOPMENT ORDINANCE IS ESTABLISHED AS  
OF THE DATE HEREOF. UNLESS TERMINATED AT  
AN EARLIER DATE, THE VESTED RIGHT OF THE  
APPROVAL SHALL BE VALID UNTIL



SHEET NO.: C-0.0



VICINITY MAP  
SCALE: 1" = 500'

Sheet List Table	
Sheet Number	Sheet Title
C-0.0	COVER
C-0.1	NOTES
C-0.2	AREA MAP
C-1.0	EX CONDITIONS-DEMO
C-2.0	SITE LAYOUT
C-2.1	LANDSCAPE PLAN
C-2.2	LANDSCAPE TREE COVERAGE
C-2.3	LANDSCAPE DETAILS
C-5.0	GRADING-UTILITY
C-6.0	DETAILS
C-6.1	DETAILS
C-6.2	DETAILS
C-6.3	DETAILS

REVISION HISTORY			
3	RESPONSE TO COMMENTS	T&H	6/3/2025
2	RESPONSE TO COMMENTS	T&H	5/15/2025
1	RESPONSE TO COMMENTS	T&H	4/16/2025
REV. NO.	REVISION	BY	DATE

SUBMITTAL HISTORY	
SUBMITTAL	2/26/2025
SUBMITTED TO	DATE














































Know what's below.  
Call before you dig.



2510 Meridian Parkway • Suite 100  
Durham, NC 27713  
p.919.682.0368  
www.thomasandhutton.com



DRAINAGE LEGEND		
	EXISTING	PROPOSED
PIPE	----	----
DITCH		→----
CURB INLET (CI) CATCH BASIN (CB)		
CURB INLET - RIGHT (CI) OR CATCH BASIN - RIGHT (CB)	 OR 	 OR 
CURB INLET - LEFT (CI) OR CATCH BASIN - LEFT (CB)	 OR 	 OR 
CURB INLET - BOTH (CI) OR CATCH BASIN - BOTH (CB)	 OR 	 OR 
CONTROL STRUCTURE (CS)		
DITCH INLET (DI)		
GRATE INLET (GI)		
HOODED INLET (HI) OR 	 OR 	 OR 
JUNCTION BOX (JB)		
MANHOLE (SDMH)		
ROLL CURB INLET (RCI)		
ROOF INLET (RI)		
VALLEY INLET (VI)		
YARD INLET (YI)		
BEVELED END SECTION (BES)		
END SECTION (ES)		
FLARED END SECTION (FES)		
11 1/2° BEND - HORIZONTAL	/	/
22 1/2° BEND - HORIZONTAL	/	/
45° BEND - HORIZONTAL	/	/
90° BEND - HORIZONTAL	└	└
CLEANOUT	○+	●+
PLUG		
TEE		
WYE		

OTHER UTILITIES LEGEND	
	<u>EXISTING</u>
NATURAL GAS	——— UGG ———
TELEPHONE	——— OHT ———
UNDERGROUND TELEPHONE	——— UTL ———
ELECTRICITY	——— OHP ———
UNDERGROUND ELECTRICITY	——— UGP ———















## ABBREVIATIONS

DBL	DOUBLE		FM	FORCE MAIN (SANITARY SEWER)		OC	ON CENTER		SS	SANITARY SEWER
BOT	BOTTOM		FP	FINISH PAD		PC	POINT OF CURVE		TC	TOP OF CURB
CB	CATCH BASIN		FPW	FIRE PROTECTION		PH	POST HYDRANT		TH	THROAT ELEVATION
CI	CURB INLET		FR	FRAME		PT	POINT OF TANGENT		TG	TOP OF GUTTER
CO	CLEAN OUT		GI	GRATE INLET		PVC	POLYVINYL CHLORIDE		TP	TOP OF PAVEMENT
CPP	CORRUGATED PLASTIC PIPE		GV	GATE VALVE		RCP	REINFORCED CONCRETE PIPE		TW	TOP OF WALK
DBL	DOUBLE		HDPE	HIGH DENSITY POLYETHYLENE		RC	ROLL CURB INLET		Typ	TYPICAL
DI	DITCH INLET		HI	HOODED INLET		RCP	REINFORCED CONCRETE PIPE		VI	VALLEY INLET
DIP	DUCTILE IRON PIPE		INV	INVERT ELEVATION		RI	ROOF INLET		W	WATER
EL	ELEVATION		JB	JUNCTION BOX		RJP	RESTRAINED JOINT PIPE		W/	WITH
ES	END SECTION		LF	LINEAR FEET		R/W	RIGHT-OF-WAY		WV	WATER VALVE
FES	FLARED END SECTION		MAX	MAXIMUM		SD	STORM DRAINAGE		YI	YARD INLET
FG	FINISH GRADE		MIN	MINIMUM		SDMH	STORM DRAINAGE MANHOLE			
FH	FIRE HYDRANT		MH	MANHOLE		SF	SQUARE FEET			



























## SEWER LEGEND

SEWER LEGEND		
	EXISTING	PROPOSED
GRAVITY PIPE	— SS —	—
SINGLE SERVICE LATERAL	—	—
DOUBLE SERVICE LATERAL		
DROP MANHOLE (DMH)		
MANHOLE (MH)		
CLEANOUT (CO)		
FORCEMAIN	— 10" FM —	— 10" FM —
AIR RELEASE VALVE (ARV)		
CHECK VALVE (CV)		
PLUG VALVE AND BOX (PV)		
FLUSH HYDRANT		
PUMP CONNECTION (PC)		
REDUCER		
TRACER WIRE ACCESS BOX (TWAB)		
CROSS		
TEE		
TAPPING SLEEVE (TS)		
90° BEND HORIZONTAL		
45° BEND HORIZONTAL		
22½° BEND HORIZONTAL		
11½° BEND HORIZONTAL		
BEND VERTICAL		
PLUG \ CAP		

## WATER LEGEND

<h1 style="text-align: center; margin: 0;">WATER LEGEND</h1>		
	<u>EXISTING</u>	<u>PROPOSED</u>
FIRE PROTECTION	— 10" FPW —	— 10" FPW —
WATER MAIN	— 10"W —	— 10"W —
SINGLE SERVICE LATERAL	----	----
DOUBLE SERVICE LATERAL		
BUTTERFLY VALVE (BV)		
DOUBLE CHECK DETECTOR ASSEMBLY (DCDA)		
GATE VALVE AND BOX (GV)		
POST INDICATOR VALVE (PIV)		
TAPPING SLEEVE AND VALVE (TSV)		
REDUCED PRESSURE ZONE BACKFLOW (RPZ)		

## WATER LEGEND

WATER LEGEND		
	EXISTING	PROPOSED
WATER METER (WM)		
TRACER WIRE ACCESS BOX (TWAB)		
FIRE HYDRANT W/TEE, VALVE & BOX (FHA)		
POST HYDRANT (PH)		
REDUCER		
CROSS		
TEE		
90° BEND - HORIZONTAL		
45° BEND - HORIZONTAL		
22½° BEND - HORIZONTAL		
11¼° BEND - HORIZONTAL		
BEND - VERTICAL		
CAP		

## GENERAL NOTES

- CONTRACTOR SHALL MAINTAIN MINIMUM COVER OVER THE WATER MAIN PIPE BARREL OF 3'-0" UNLESS OTHERWISE INDICATED. TOP OF PIPE ELEVATIONS ARE SHOWN FOR CASES WHERE FUTURE STORM SEWERS ARE TO BE INSTALLED, IN NO CASE SHALL THE WATER MAIN BE INSTALLED AT A LOWER ELEVATION THAN THAT SHOWN.
2. SHOULD PIPE, FITTINGS, AND OTHER MATERIALS BE NEEDED IN ADDITION TO THAT SHOWN ON THE DRAWINGS BECAUSE PIPELINE WAS NOT INSTALLED TO THE ALIGNMENT AND PROFILE SHOWN, THEN THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THOSE NECESSARY MATERIALS AND PROVIDING THE EQUIPMENT AND LABOR TO INSTALL THEM TO MEET THE DESIGN INTENT OF THE WATERMAIN AT NO ADDITIONAL COST TO THE OWNER.
3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER 48 HOURS IN ADVANCE OF ALL REQUIRED TESTS AND INSPECTIONS.
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF UNSUITABLE MATERIAL IS DISCOVERED PRIOR TO BEGINNING ANY REMOVAL OPERATION.
5. ALL WATERMAINS SHALL BE POLYVINYL CHLORIDE (PVC C900) UNLESS OTHERWISE INDICATED.
6. ALL GRAVITY SEWER MAIN SHALL BE POLYVINYL CHLORIDE (PVC SDR35) UNLESS OTHERWISE INDICATED.
7. SURVEYING AND BOUNDARY INFORMATION BY **THOMAS AND HUTTON**
8. ALL ELEVATIONS SHOWN ARE BASED ON NAVD88.
9. TOPOGRAPHIC SURVEY BY **THOMAS AND HUTTON**.
10. CONTRACTOR IS TO VERIFY ACCURACY OF ANY TEMPORARY BENCHMARKS SHOWN PRIOR TO UTILIZING THEM FOR CONSTRUCTION.
11. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES OTHER THAN THOSE SHOWN ARE ENCOUNTERED DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY AND TAKE STEPS TO PROTECT THE LINE(S) AND ENSURE CONTINUED SERVICE. DAMAGE CAUSED TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR SHALL CONFIRM THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING NEW CONSTRUCTION.
12. IF WORK IS SUSPENDED OR DELAYED FOR 14 DAYS, THE CONTRACTOR SHALL TEMPORARILY STABILIZE THE DISTURBED AREA AT NO ADDITIONAL COST TO THE OWNER.
13. THE CONTRACTOR SHALL INSTALL ANY BARRICADES PRIOR TO BEGINNING CONSTRUCTION
- a. MANAGEMENT. THIS IS TO PROVIDE FOR ONE FOOT OF SILT BUILDUP DURING CONSTRUCTION OF ANY AREA OF ANY POND WHICH SILTS MORE THAN ONE FOOT ABOVE DESIGNED BOTTOM ELEVATION SHALL BE RESTORED TO THE MINIMUM ACCEPTABLE DEPTH OF ONE FOOT LESS THAN ORIGINAL CONSTRUCTED DEPTH.
- b. ALL ABOVE GROUND UTILITIES ARE TO BE OUTSIDE OF THE R/W AND ALL AT GRADE UTILITIES ARE TO BE OUT OF THE CURB LINE.
15. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF UNSUITABLE MATERIAL IS DISCOVERED PRIOR TO BEGINNING ANY REMOVAL OPERATION.
17. CONTRACTOR WILL BE REQUIRED TO ADJUST MANHOLE FRAMES TO MATCH FINAL GRADE AT NO ADDITIONAL COST.
20. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE CONSTRUCTED SIMULTANEOUSLY WITH THE DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED. SILT BARRIERS WILL BE INSTALLED AS NECESSARY TO PREVENT EXCESSIVE SEDIMENTATION OF DOWNSTREAM AREAS. DEVICES SHALL BE IN ACCORDANCE WITH THE MANUAL OF EROSION AND SEDIMENT CONTROL PRACTICES FOR DEVELOPING AREAS BY THE S.C. LAND RESOURCES CONSERVATION COMMISSION.
21. CONTRACTOR SHALL GRADE AREAS TO DRAIN FOR POSITIVE FLOW PRIOR TO FINAL APPROVAL.
22. ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND "NORTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BOTH CURRENT EDITIONS.
23. ALL AREAS DISTURBED WILL BE GRASSED IMMEDIATELY AFTER THE INSTALLATION. GRASSING SHALL BE IN ACCORDANCE WITH SECTION 810 OF THE NCDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION CURRENT EDITION. PAYMENT SHALL BE AS SHOWN IN THE BID FORM AND SHALL BE COMPENSATION FOR ALL NECESSARY WORK AND MATERIALS TO COMPLETE THE SEEDING IN ACCORDANCE WITH THESE SPECIFICATIONS. [SEE SPECIFICATIONS BELOW]
24. ALL DRAINAGE WILL BE MADE FUNCTIONAL DAILY AS WORK PROGRESSES.
25. NEW PAVEMENT TO BE FLUSH WITH EDGE OF EXISTING PAVEMENT.
26. ALL STORM DRAIN PIPE INVERTS IN AND OUT ARE THE SAME AS THE BOX INVERT UNLESS OTHERWISE NOTED ON THE PLAN SHEETS AND/OR PROFILES.

# ORANGE COUNTY SOLID WASTE CONSTRUCTION WASTE REQUIREMENTS

- A. ALL EXISTING STRUCTURES 500 SF AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS. CONTACT THE ORANGE COUNTY RECYCLING CENTER AT (714) 961-3300 FOR ASSISTANCE WITH THE ASSESSMENT.
- B. PURSUANT TO THE COUNTY'S RMO, CLEAN WOOD PULP, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- C. PURSUANT TO THE COUNTY'S RMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE REQUIRED TO OBTAIN OR OBTAINING A RMO COMPLIANCE CERTIFICATE.
- D. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-DEMOLITION/PRE-CONSTRUCTION MEETING WITH OTHER DEPARTMENTAL AGENCIES.
- E. THE PRESENCE OF ANY BEST MANAGEMENT PRACTICES (BMP) AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH THE COUNTY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

## NOTES


2025  
ADRON THOMPSON SITE  
IMPROVEMENTS

PROJECT LOCATION:  
HILLSBOROUGH, NORTH CAROLINA

CLIENT/OWNER:  
TOWN OF HILLSBOROUGH  
NORTH CAROLINA



276.3807 0 138.1903 276.3807



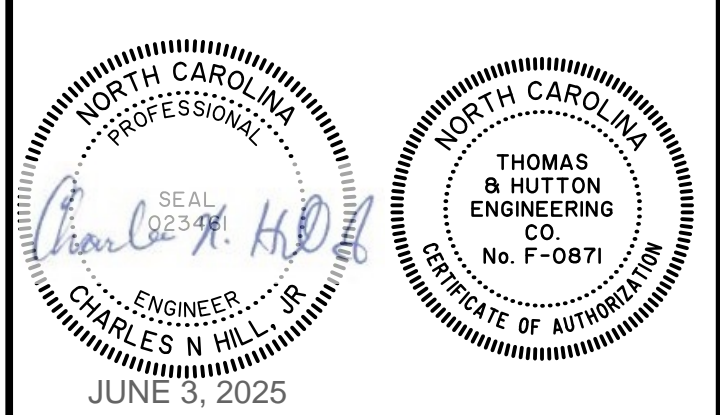
GRAPHIC SCALE:  
1 INCH = 276.3807 FEET

DATUM: HORIZ.: NAD83                      VERT.: NAVD88

JOB NO:	30833
DATE:	02/26/2025
DRAWN:	
DESIGNED:	
REVIEWED:	
APPROVED:	
SCALE:	

# C-0.1





2510 Meridian Parkway • Suite 100  
Durham, NC 27713 • 919.682.0368  
[www.thomasandhutton.com](http://www.thomasandhutton.com)

2025  
ADRON THOMPSON SITE  
IMPROVEMENTS

**CLIENT/OWNER:**  
TOWN OF HILLSBOROUGH  
NORTH CAROLINA



## C-0.2











21.30833.0000 ENGINEERING DRAWINGS SITE PLAN C-2.1 LANDSCAPE PLAN - REV. 04/16/2025

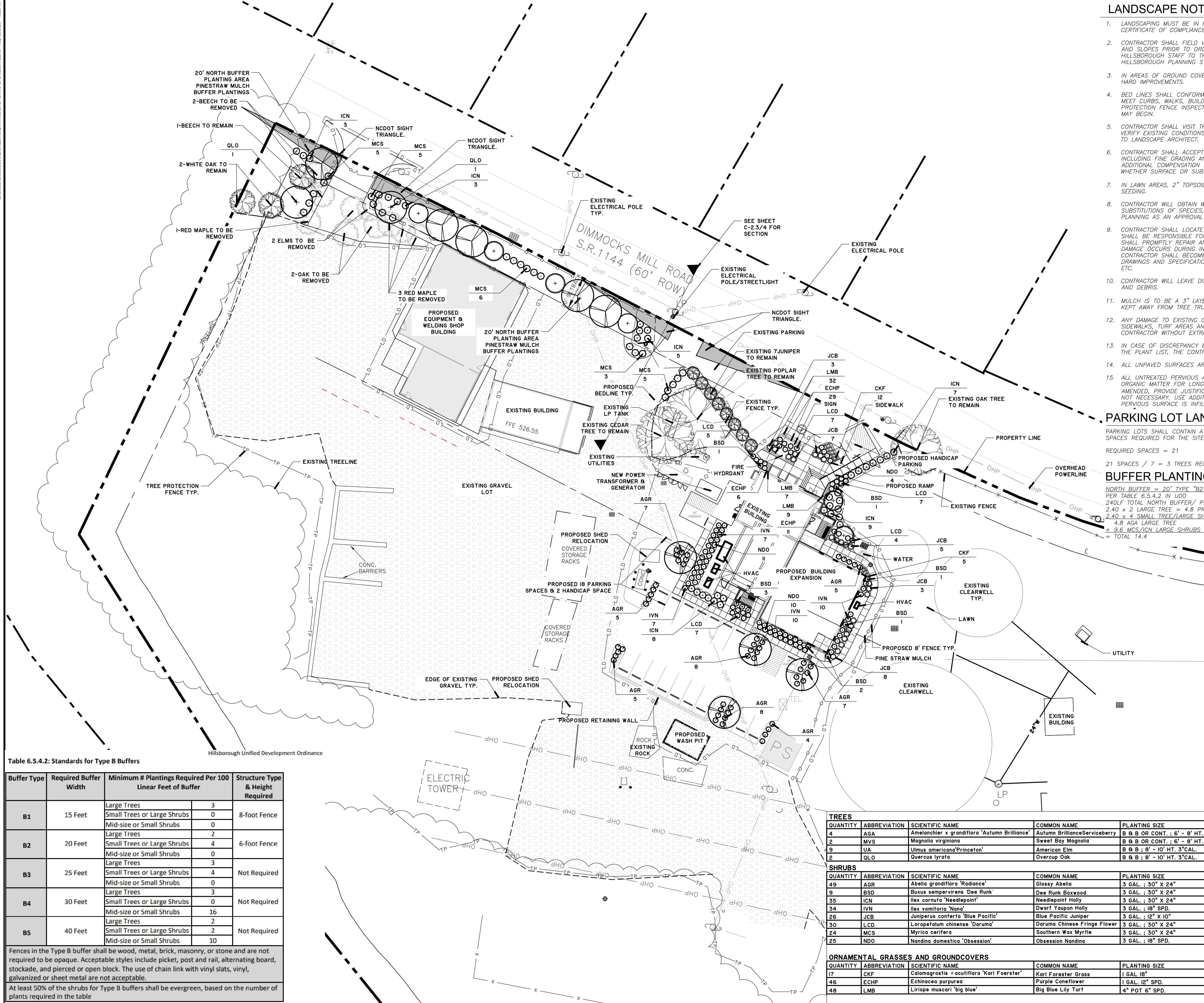


Table 6.5.4.2: Standards for Type B Buffers

Buffer Type	Required Buffer Width	Minimum # Plantings Required Per 100 Linear Feet of Buffer		Structure Type & Height Required
B1	15 Feet	Large Trees	3	8-foot Fence
		Small Trees or Large Shrubs	0	
		Mid-size or Small Shrubs	0	
B2	20 Feet	Large Trees	2	6-foot Fence
		Small Trees or Large Shrubs	4	
		Mid-size or Small Shrubs	0	
B3	25 Feet	Large Trees	3	Not Required
		Small Trees or Large Shrubs	4	
		Mid-size or Small Shrubs	0	
B4	30 Feet	Large Trees	3	Not Required
		Small Trees or Large Shrubs	0	
		Mid-size or Small Shrubs	16	
B5	40 Feet	Large Trees	2	Not Required
		Small Trees or Large Shrubs	2	
		Mid-size or Small Shrubs	10	

Fences in the Type B buffer shall be wood, metal, brick, masonry, or stone and are not required to be opaque. Acceptable styles include picket, post and rail, alternating board, stockade, and pierced or open block. The use of chain link with vinyl slats, vinyl, galvanized or sheet metal are not acceptable.

At least 50% of the shrubs for Type B buffers shall be evergreen, based on the number of plants required in the table

## LANDSCAPE NOTES

- LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT. TOWN OF HILLSBOROUGH STAFF TO THE INVITEES TO THE PRE-CONSTRUCTION CONFERENCE. TOWN OF HILLSBOROUGH PLANNING STAFF WILL SET UP THE PRE-CONSTRUCTION CONFERENCE MEETING.
- IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE. A TREE PROTECTION FENCE INSPECTION BY TOWN STAFF MUST OCCUR BEFORE LAND DISTURBANCE MAY BEGIN.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
- IN LAWN AREAS, 2" TOPSOIL SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING.
- CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER. TOWN OF HILLSBOROUGH PLANNING AS AN APPROVAL PARTY FOR ANY LANDSCAPE PLANTING SUBSTITUTIONS.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
- CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
- MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
- ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
- IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
- ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.
- ALL UNTREATED PERVIOUS AREAS THE SOIL SHALL BE AMENDED TO PROVIDE SUFFICIENT ORGANIC MATTER FOR LONG-TERM VEGETATION GROWTH AND INFILTRATION. IF SOILS ARE NOT AMENDED, PROVIDE JUSTIFICATION (i.e. SOIL TEST RESULTS) FOR WHY THE AMENDMENT IS NOT NECESSARY. USE ADDITIONAL AMENDMENTS AS NECESSARY TO ENSURE THAT THE PERVIOUS SURFACE IS INFILTRATING STORMWATER AT PRE-DEVELOPMENT RATES.

## PARKING LOT LANDSCAPING CALCULATIONS

PARKING LOTS SHALL CONTAIN AT LEAST 1 SHADE TREE FOR EVERY SEVEN PARKING SPACES REQUIRED FOR THE SITE.

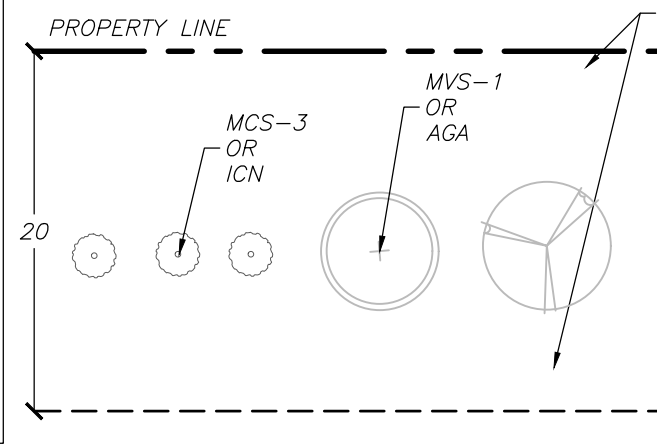
REQUIRED SPACES = 21

21 SPACES / 7 = 3 TREES REQUIRED / 4 PROVIDED

## BUFFER PLANTINGS

NORTH BUFFER = 20' TYPE "B2" BUFFER PER 5,240.14 IN UDO (240 LF)  
PER TABLE 6.5.4.2 IN UDO  
240LF TOTAL NORTH BUFFER/ PLANT MATERIAL REQUIRED PER 100 LF = 2.40 PLANTS  
2.40 x 2 LARGE TREE = 4.8 PROPOSED LARGE TREE  
2.40 x 4 SMALL TREE/LARGE SHRUB = 9.6 PROPOSED SMALL TREE OR LARGE SHRUB  
4.8 AGA LARGE TREE  
+ 9.6 MCS/ICN LARGE SHRUBS OR MVS/AGA SMALL TREE  
= TOTAL 14.4

## NORTH BUFFER TYPICAL 100 LF SECTION



## TREES

QUANTITY	ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	ESTIMATED MATURE HEIGHT	SPACING	MISCELLANEOUS / REMARKS
4	AGA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6" B OR CONT. ; 6" - 8" HT.	15-25' HT	AS SHOWN	Full, Specimen, Buffer
2	MVS	Magnolia virginiana	Sweet Bay Magnolia	6" B OR CONT. ; 6" - 8" HT.	10-20' HT	AS SHOWN	Full, Specimen, Buffer
9	UA	Ulmus americana 'Princeton'	American Elm	6" B OR CONT. ; 6" - 8" HT.	60-80' HT	AS SHOWN	Full, Specimen, Buffer
2	QLO	Quercus lyrata	Overcup Oak	6" B OR CONT. ; 6" - 8" HT.	60-80' HT	AS SHOWN	Full, Specimen, Replacement

## SHRUBS

QUANTITY	ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	ESTIMATED MATURE HEIGHT	SPACING	MISCELLANEOUS / REMARKS
49	AGR	Abelia grandiflora 'Radiance'	Glossy Abelia	3 GAL. ; 30" X 24"	3-5' HT	4'	Full
9	BSD	Buxus sempervirens 'Dee Runk'	Dee Runk Boxwood	3 GAL. ; 30" X 24"	5-15' HT	4'	Full
35	ICN	Ilex cornuta 'Needlepoint'	Needlepoint Holly	3 GAL. ; 30" X 24"	10-15' HT	4'	Full Buffer
34	IVN	Ilex vomitoria 'Nand'	Dwarf Yaupon Holly	3 GAL. ; 18" SPD.	3-5' HT	4'	Full
26	JCB	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	3 GAL. ; 12" X 10"	10-15' HT	4'	Full
30	LCD	Loropetalum chinense 'Daruma'	Daruma Chinese Fringe Flower	3 GAL. ; 30" X 24"	3-4' HT	4'	Full
24	MCS	Myrica cerifera	Southern Wax Myrtle	3 GAL. ; 30" X 24"	10-15' HT	4'	Full, Buffer
25	NDO	Nandina domestica 'Obsession'	Obsession Nandina	3 GAL. ; 18" SPD.	3-4' HT	4'	Full

## ORNAMENTAL GRASSES & GROUNDCOVERS

QUANTITY	ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	ESTIMATED MATURE HEIGHT	SPACING	MISCELLANEOUS / REMARKS
17	CKF	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Grass	1 GAL. 18"	3-6' HT	18"	Full
46	ECHP	Echinacea purpurea	Purple Coneflower	1 GAL. 12" SPD.	2-4' HT	6"	Full
48	LMB	Liriope muscari 'big blue'	Big Blue Lily Turf	4" POT 6" SPD.	12-18" HT	6"	Full - 32 Flat

NO.	REVISIONS	BY	DATE
2	RESPONSE TO COMMENTS	T&H	5/15/2025
1	RESPONSE TO COMMENTS	T&H	4/16/2025



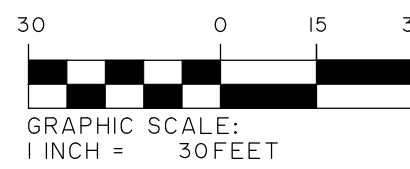
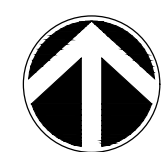
2510 Meridian Parkway • Suite 100  
Durham, NC 27713 • 919.682.0368  
www.thomasandhutton.com

## LANDSCAPE PLAN

2025  
ADRON THOMPSON SITE  
IMPROVEMENTS

PROJECT LOCATION:  
715 DIMMOCKS MILL ROAD  
HILLSBOROUGH, NORTH CAROLINA

CLIENT/OWNER:  
TOWN OF HILLSBOROUGH  
NORTH CAROLINA



DATUM: HORIZ: NAD83 VERT: NAVD86

JOB NO: 30833.0000  
DATE: 02/26/2025  
DRAWN: PJS  
DESIGNED: CNH  
REVIEWED:  
APPROVED:  
SCALE: 1" = 30'

# C-2.1





## TREE COVERAGE

PARCEL = 588,060 SF / 13.5 AC  
PRE DEVELOPMENT TREE COVERAGE (BASED ON AERIAL PHOTOGRAPH AND TREE SURVEY)  
= 312,897 SF / 50.26%  
POST DEVELOPMENT TREE COVERAGE (UNDISTURBED AREA) = 306,350 SF / 49.21%  
CANOPY TREES REMOVED = 7 CANOPY REMOVED <24" (2 BEECH, 2 OAK, 3 RED MAPLE)  
1 RED MAPLE @ >24" = 2 @ 3" TREE REPLACEMENTS PROVIDED (QLO)  
TOTAL=8 CANOPY REMOVED  
CANOPY TREES TO REMAIN = 5 (2 WHITE OAK (IN LEFT HAND NW CORNER), 1 POPLAR,  
1 CEDAR (IN THE NORTH), 1 OAK)  
TREES HAVE BEEN SAVED TO THE MOST PRACTICAL EXTENT POSSIBLE BY LIMITING THE AMOUNT OF GRADING  
BEING PERFORMED WHILE STILL PROVIDING A SITE THAT WILL FUNCTION FOR THE PROPOSED DEVELOPMENT.

3	RESPONSE TO COMMENTS	T&H	6/3/2025
2	RESPONSE TO COMMENTS	T&H	5/15/2025
1	RESPONSE TO COMMENTS	T&H	4/16/2025
NO.	REVISIONS	BY	DATE



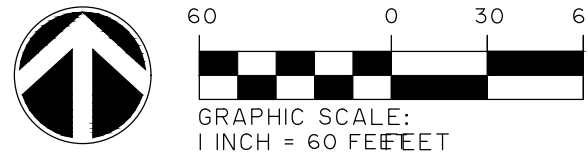
2510 Meridian Parkway • Suite 100  
Durham, NC 27713 • 919.682.0368  
www.thomasandhutton.com

## LANDSCAPE TREE COVERAGE

2025  
ADRON THOMPSON SITE IMPROVEMENTS

PROJECT LOCATION:  
HILLSBOROUGH, NORTH CAROLINA

CLIENT/OWNER:  
TOWN OF HILLSBOROUGH  
NORTH CAROLINA

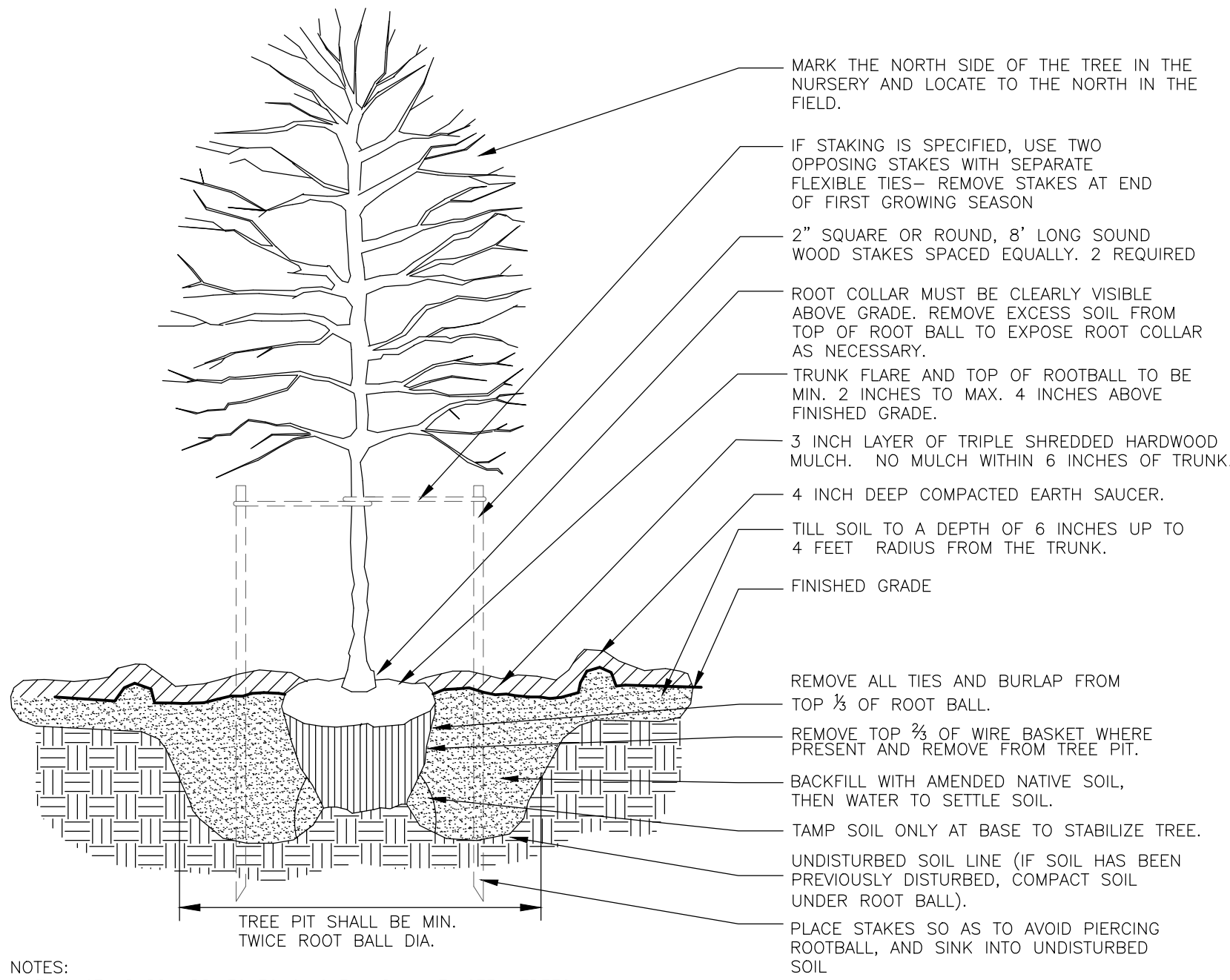
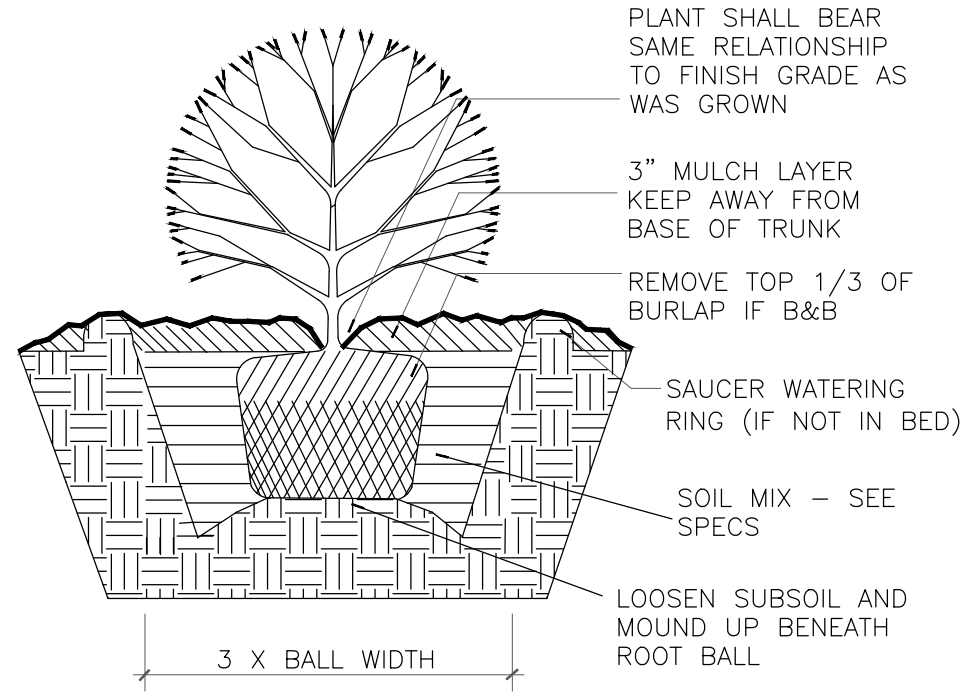


DATUM: HORIZ.: NAD83	VERT.: NAVD86
JOB NO: 30833	DATE: 4/16/2025
DRAWN: PJS	DESIGNED: CNH
REVIEWED:	APPROVED:
SCALE: 1" = 60'	

C-2.2



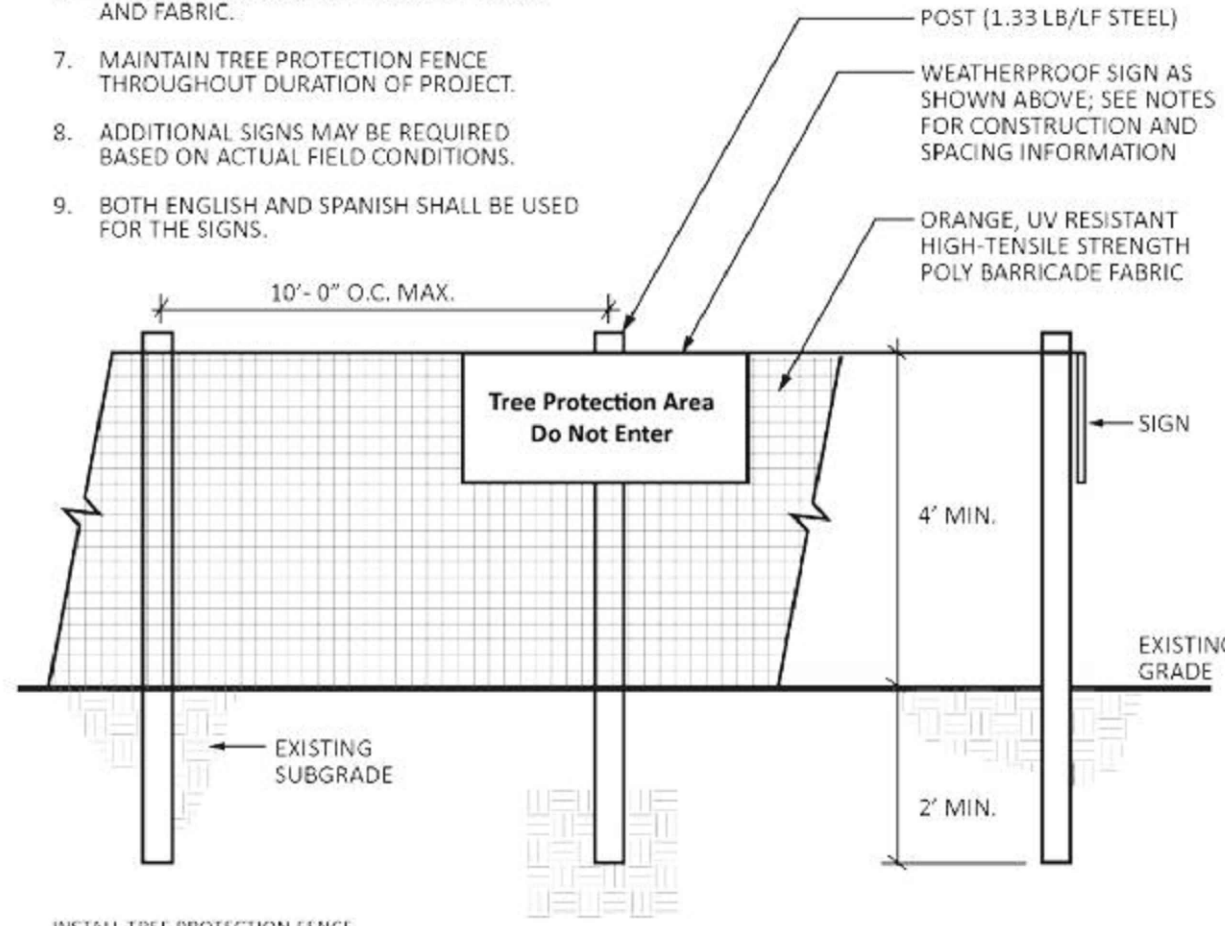
21-30833-30833-0000-ENGINEERING-DRAWINGS SITE PLAN C-2.3 LANDSCAPE.DWG - REV. 05/16/2025



- NOTES:
1. THIS STANDARD APPLIES TO SINGLE AND MULTI-STEM TREES.
  2. NO SYNTHETIC FABRIC IS ALLOWED ON ROOT BALL.
  3. REMOVE ALL BALL TIES OR STRAPPING FROM ROOT BALL.
  4. DO NOT INSTALL TREES DURING PERIODS OF WET OR FROZEN SOIL CONDITIONS.
  5. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
  6. SET TREE PLUMB IN ALL DIRECTIONS.
  7. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE TREE UPRIGHT AND PLUMB IN ALL DIRECTIONS. DO NOT STAKE TREES EXCEPT WHERE SPECIFIED OR DIRECTED BY LANDSCAPE ARCHITECT. IF STAKED, STAKE ONLY AS SHOWN.
  8. TREES PLANTED ON STEEP SLOPES SHALL BE STAKED.

#### STANDARD PLANTING

- NOTES:
1. WARNING SIGNS SHALL BE MADE OF DURABLE WEATHERPROOF MATERIAL.
  2. LETTERS SHALL BE 3" HIGH MINIMUM, CLEARLY LEGIBLE, AND SPACED AS SHOWN.
  3. SIGNS ARE TO BE PLACED NO GREATER THAN 100 FT. ON CENTER.
  4. PLACE SIGN AT EACH END OF LINEAR TREE PROTECTION AREAS AND 100 FT. ON-CENTER THEREAFTER.
  5. FOR TREE PROTECTION AREAS LESS THAN 100 FT. IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER AREA.
  6. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
  7. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
  8. ADDITIONAL SIGNS MAY BE REQUIRED BASED ON ACTUAL FIELD CONDITIONS.
  9. BOTH ENGLISH AND SPANISH SHALL BE USED FOR THE SIGNS.



INSTALL TREE PROTECTION FENCE & SIGNAGE PRIOR TO CALLING FOR THE INITIAL ON-SITE INSPECTION

#### TREE PROTECTION FENCE

1  
C-2.3

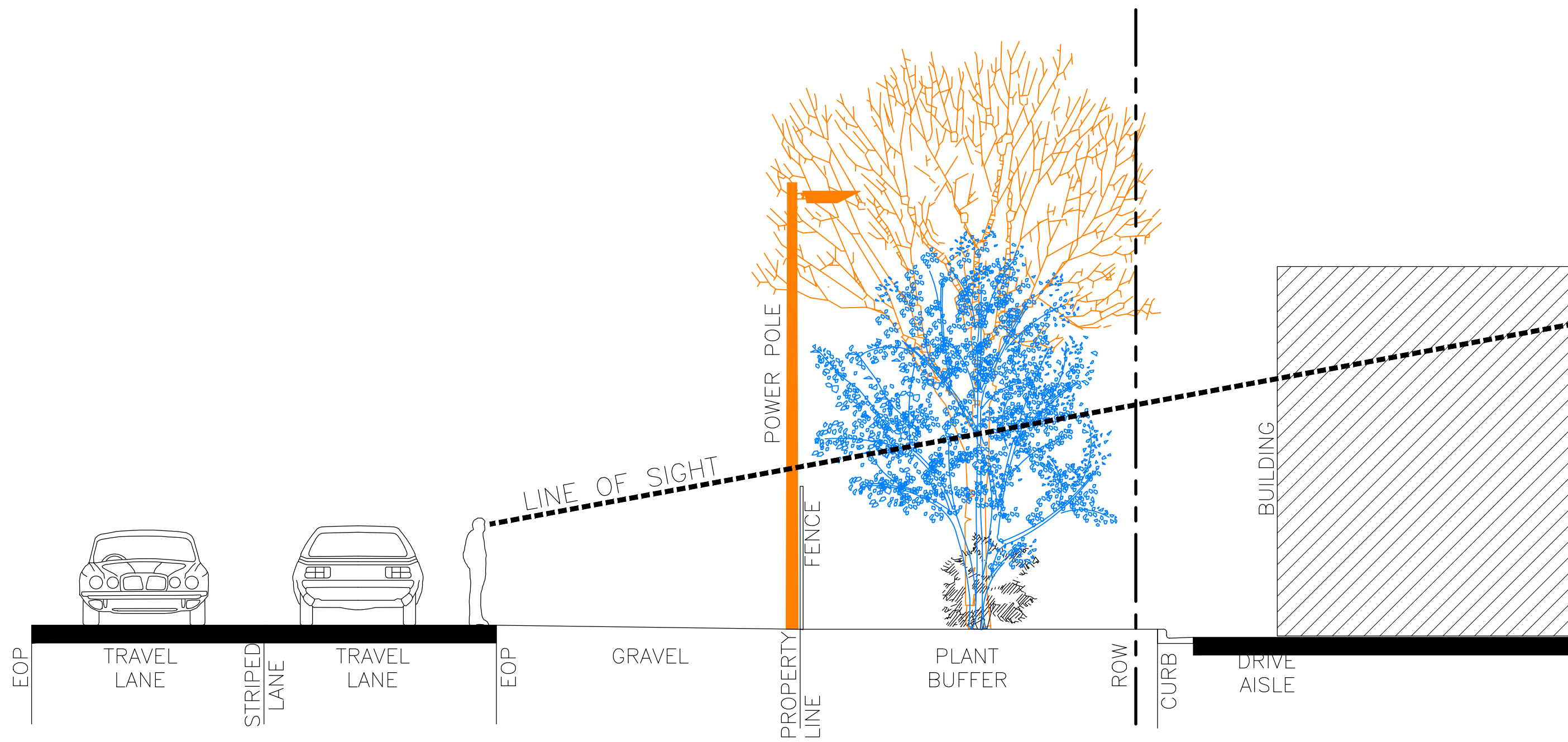
SHRUB PLANTING  
SCALE:  $\frac{1}{2}" = 1'-0"$

2  
C-2.3

TREE PLANTING  
SCALE:  $\frac{1}{2}" = 1'-0"$

3  
C-2.3

TREE PROTECTION FENCING  
SCALE: N.T.S.



4  
C-2.3

PLANT BUFFER CROSS SECTION  
SCALE: NTS

5  
C-2.3

XXXX  
SCALE: NTS



**THOMAS & HUTTON**

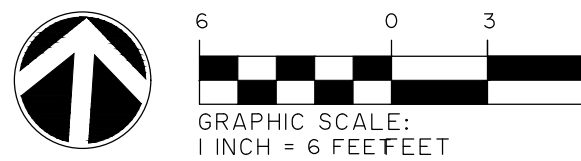
2510 Meridian Parkway • Suite 100  
Durham, NC 27713 • 919.682.0368  
www.thomasandhutton.com

#### LANDSCAPE DETAILS

2025  
ADRON THOMPSON SITE  
IMPROVEMENTS

PROJECT LOCATION:  
HILLSBOROUGH, NORTH CAROLINA

CLIENT/OWNER:  
TOWN OF HILLSBOROUGH  
NORTH CAROLINA

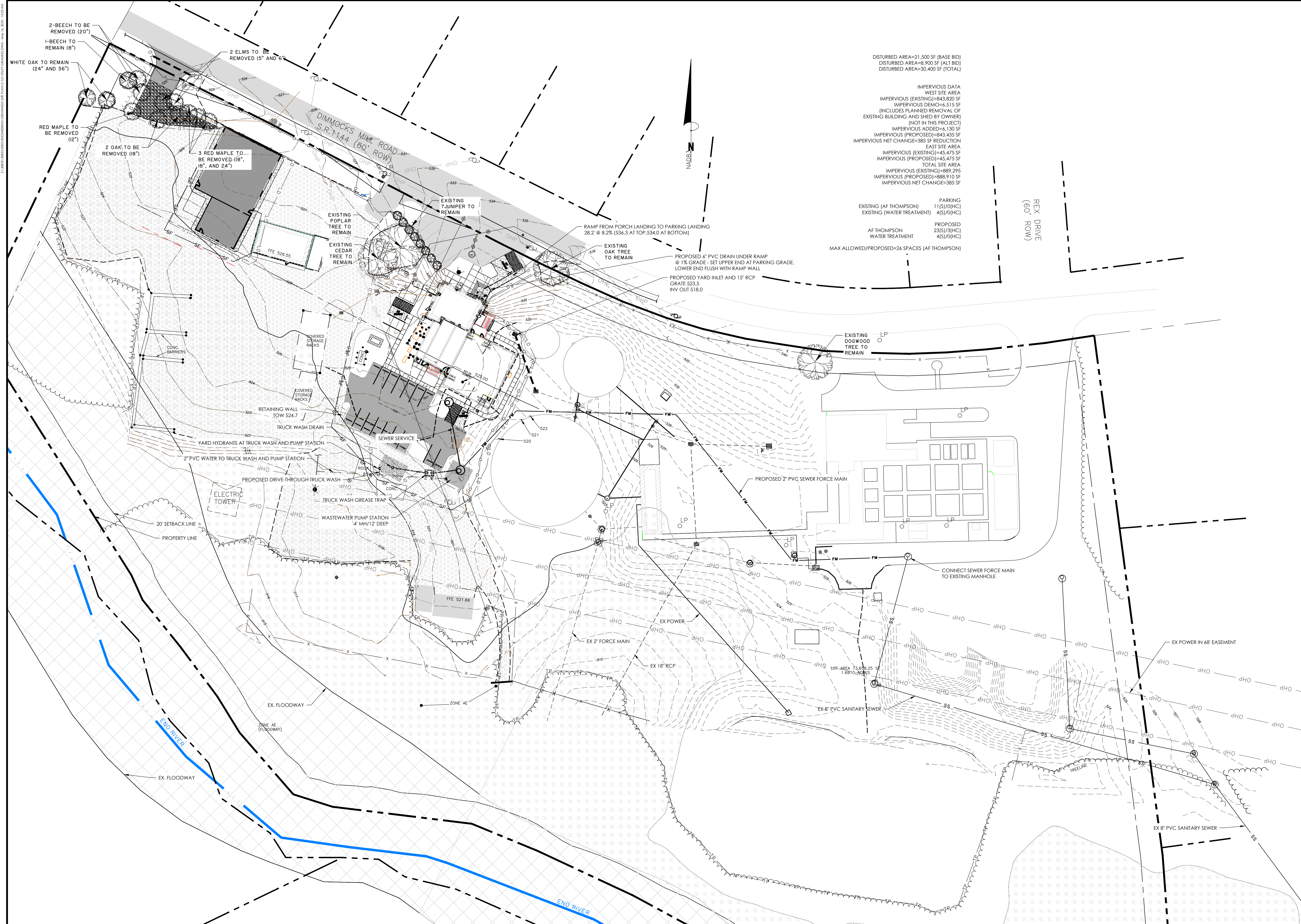


DATUM: HORIZ.: NAD83 VERT.: NAVD88

JOB NO: 30833  
DATE: 4/16/2025  
DRAWN: PJS  
DESIGNED: CNH  
REVIEWED:  
APPROVED:  
SCALE: 1" = 6'

C-2.3





DISTURBED AREA=21,500 SF (BASE BID)  
DISTURBED AREA=8,900 SF (ALT BID)  
DISTURBED AREA=30,400 SF (TOTAL)

IMPERVIOUS DATA  
WEST SITE AREA  
IMPERVIOUS (EXISTING)=843,820 SF  
IMPERVIOUS DEMO=4,515 SF  
(INCLUDES PLANNED REMOVAL OF  
EXISTING BUILDING AND SHED BY OWNER)  
(NOT IN THIS PROJECT)  
IMPERVIOUS ADDED=6,130 SF  
IMPERVIOUS (PROPOSED)=843,435 SF  
IMPERVIOUS NET CHANGE=385 SF REDUCTION  
EAST SITE AREA  
IMPERVIOUS (EXISTING)=45,475 SF  
IMPERVIOUS (PROPOSED)=45,475 SF  
TOTAL SITE AREA  
IMPERVIOUS (EXISTING)=889,295  
IMPERVIOUS (PROPOSED)=888,910 SF  
IMPERVIOUS NET CHANGE=385 SF

EXISTING (AF THOMPSON) 11(S)/0(H/C)  
EXISTING (WATER TREATMENT) 4(S)/0(H/C)

PROPOSED 23(S)/3(H/C)  
4(S)/0(H/C)

MAX ALLOWED/PROPOSED=26 SPACES (AF THOMPSON)

RAMP FROM PORCH LANDING TO PARKING LANDING  
28.2' @ 8.2% (536.3 AT TOP, 534.0 AT BOTTOM)

EXISTING  
OAK TREE  
TO REMAIN

PROPOSED 6\"/>

EXISTING  
DOGWOOD  
TREE TO  
REMAIN

PROPOSED 2\"/>

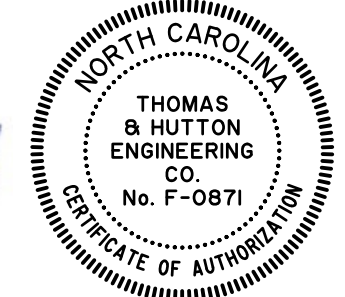
CONNECT SEWER FORCE MAIN  
TO EXISTING MANHOLE

EX 8\"/>

EX POWER IN 68' EASEMENT

EX 8\"/>

ENO RIVER



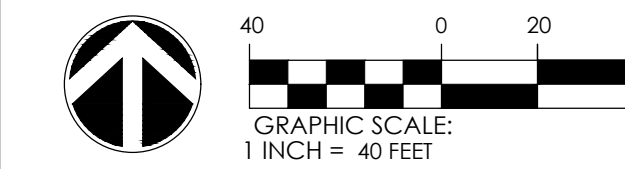
2510 Meridian Parkway • Suite 100  
Durham, NC 27713 • 919.682.0368  
www.thomasandhutton.com

GRADING-UTILITY

2025  
ADRON THOMPSON SITE  
IMPROVEMENTS

PROJECT LOCATION:  
HILLSBOROUGH, NORTH CAROLINA

CLIENT/OWNER:  
TOWN OF HILLSBOROUGH  
NORTH CAROLINA



DATUM: HORIZ.: NAD83 VERT.: NAVD88

JOB NO.: 30833  
DATE: 02/26/2025  
DRAWN:  
DESIGNED:  
REVIEWED:  
APPROVED:  
SCALE: 1\"/>

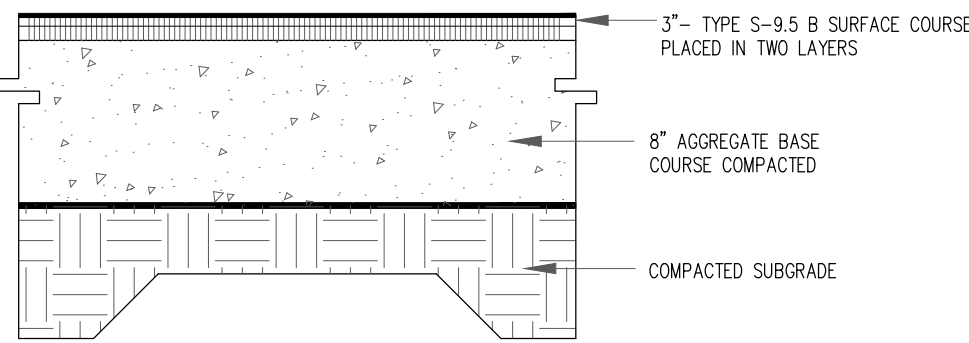
C-5.0



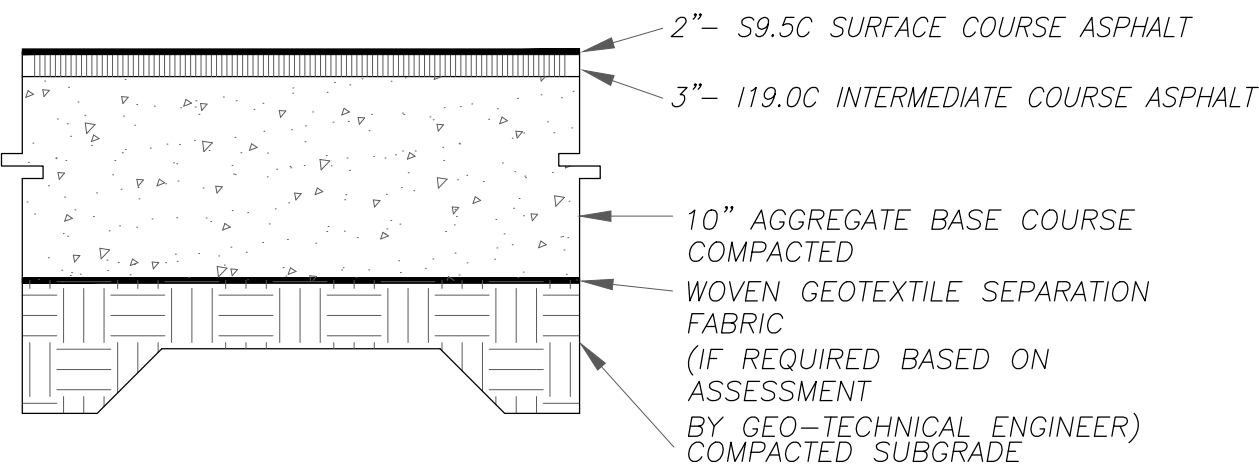
1 NOT USED  
no scale

2 CONCRETE SIDEWALK  
no scale

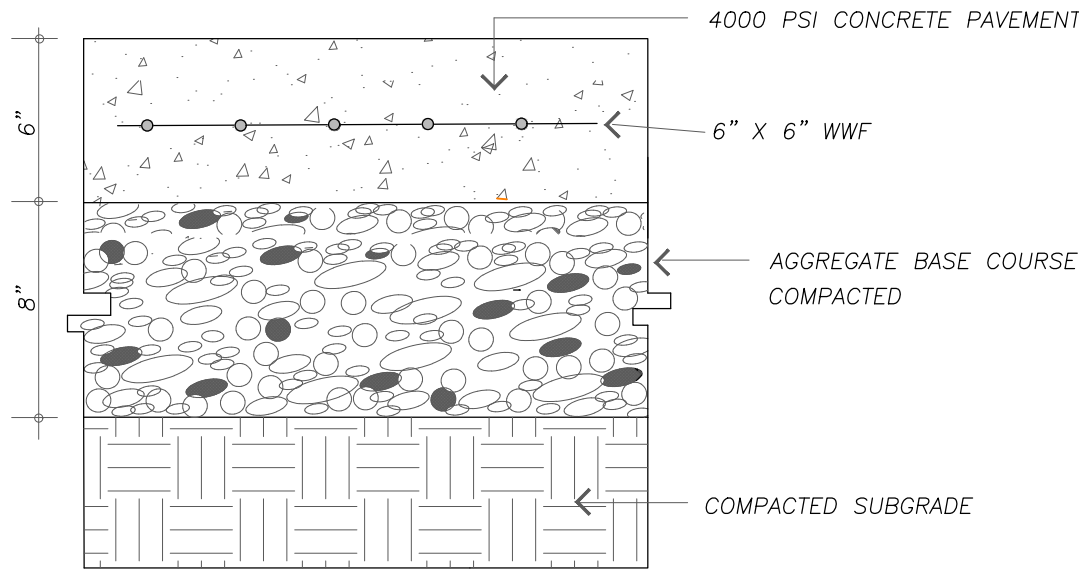
3 CONCRETE SIDEWALK JOINTS  
no scale



FINAL PAVEMENT SECTION IS PROVIDED BY  
GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC  
GEO-TECHNICAL REPORT



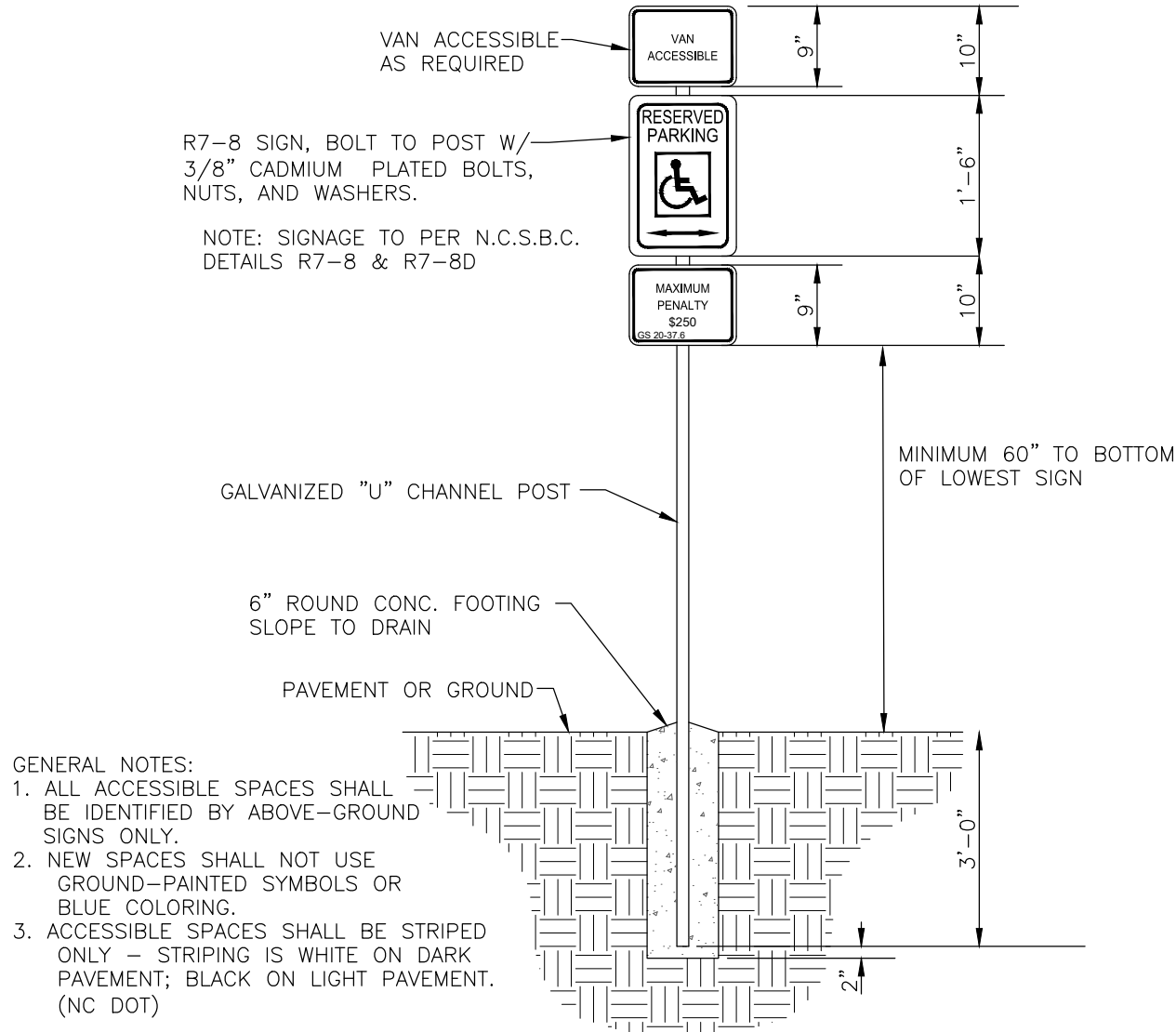
FINAL PAVEMENT SECTION IS PROVIDED BY  
GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC  
GEO-TECHNICAL REPORT



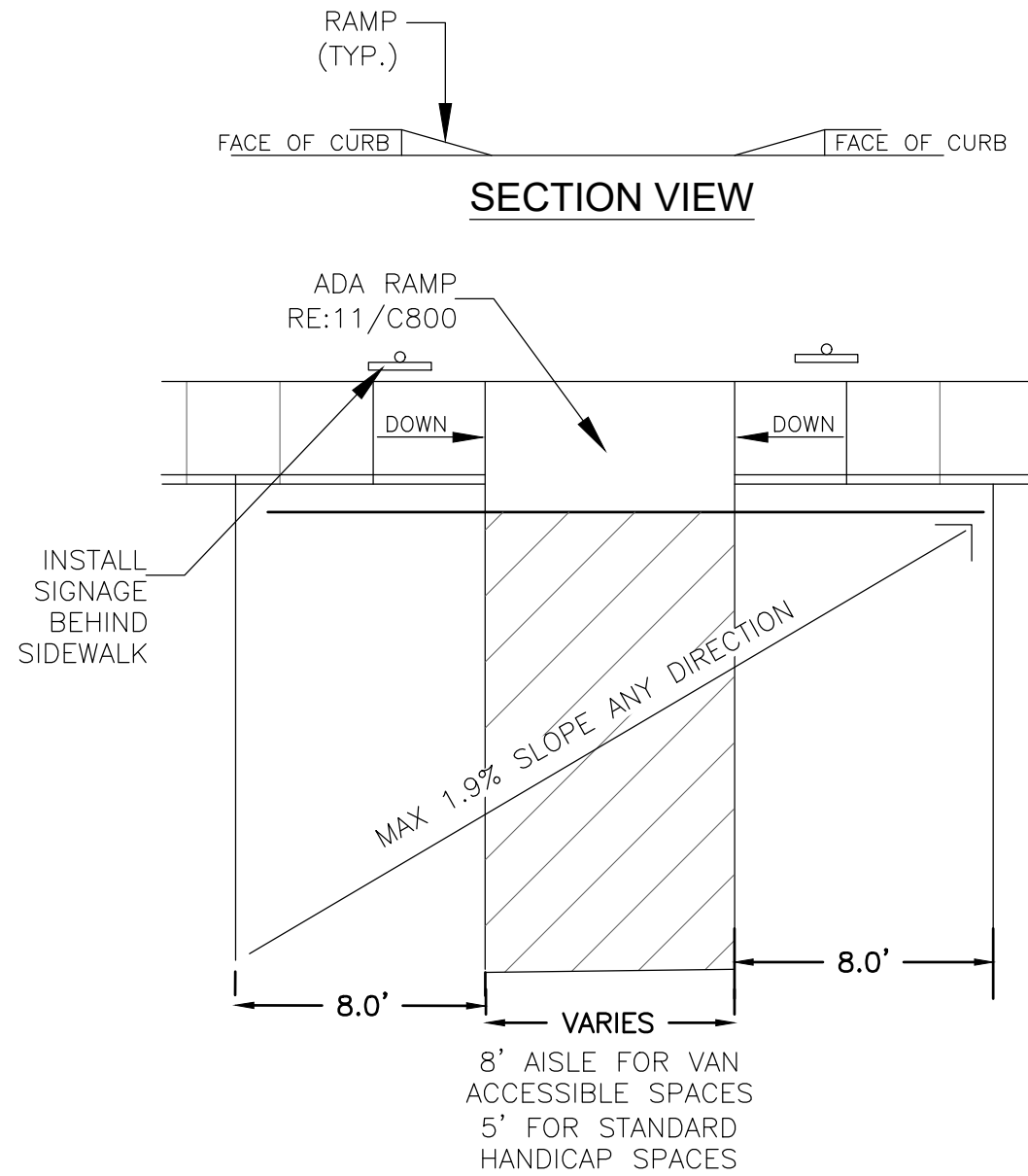
- NOTES:
1. ALL CONCRETE TO 4000 PSI, PROPERLY AIR ENTRAINED FOR EXTERIOR GRADE CONCRETE MIXES.
  2. C&G BASE AND SOIL SUBGRADE TO BE COMPACTED TO 98% OF THE ASTM D-698 STD. PROCTOR MOD IN ACCORDANCE WITH THE REPORT BY THE GEOTECHNICAL ENGINEER AND PROOFROLLED AND APPROVED BY GEOTECHNICAL PERSONNEL.
  3. CONTRACTOR SHALL INSTALL CONTRACTION AND EXPANSION JOINTS AS NECESSARY TO MINIMIZE CRACKING. CONTRACTION JOINTS SHALL BE SPACED AT 10' MAXIMUM EACH WAY WITH ACTUAL PATTERN BASED ON FIELD CONDITIONS. JOINTS SHALL BE TOOLED OR SAW CUT TO A MINIMUM DEPTH OF 2". EXPANSION JOINTS SHALL BE INSTALLED BETWEEN PAVEMENT AND ANY RIGID OBJECTS AND SPACED AS SPECIFIED IN LATEST VERSION OF ACI STANDARDS.
  4. ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH LATEST VERSION OF ACI STANDARDS AND THE REPORT BY THE GEOTECHNICAL ENGINEER.

4 STANDARD ASPHALT PAVING  
no scale

5 HEAVY DUTY ASPHALT PAVING  
no scale

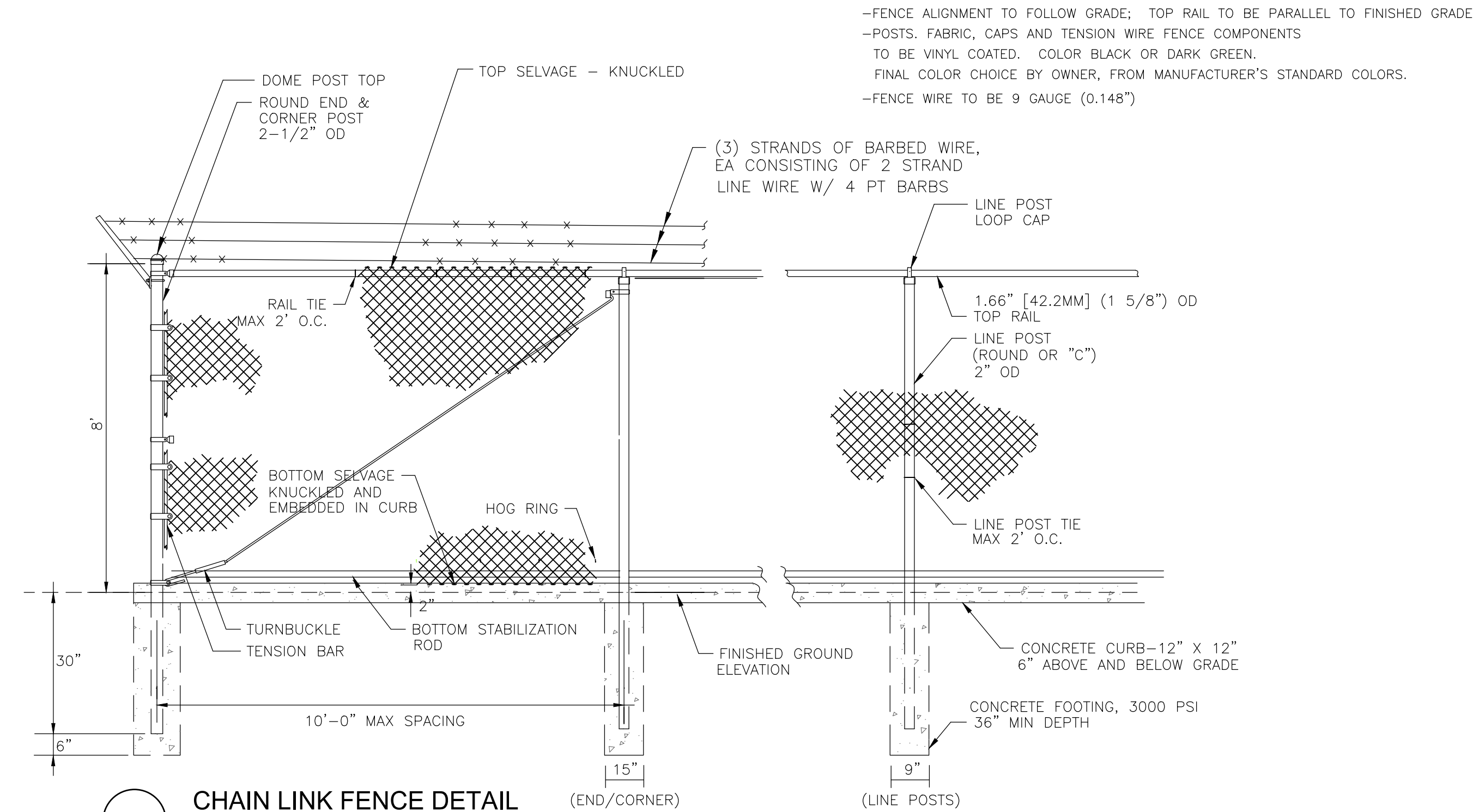


7 ADA PARKING LAYOUT AND SIGNAGE  
no scale



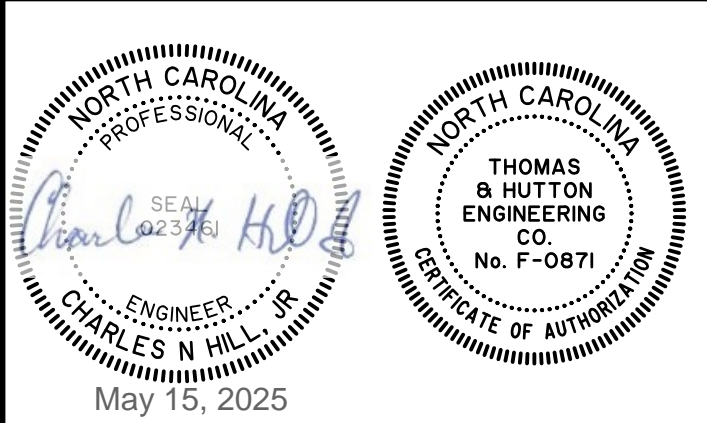
PLAN VIEW

6 HEAVY DUTY CONCRETE PAVING  
no scale



8 CHAIN LINK FENCE DETAIL  
no scale

NO.	REVISIONS	BY	DATE
2	RESPONSE TO COMMENTS	T&H	5/15/2025
1	RESPONSE TO COMMENTS	T&H	4/16/2025



**THOMAS & HUTTON**

2510 Meridian Parkway • Suite 100  
Durham, NC 27713 • 919.682.0368  
www.thomasandhutton.com

**DETAILS**

2025  
ADRON THOMPSON SITE  
IMPROVEMENTS

**PROJECT LOCATION:**  
HILLSBOROUGH, NORTH CAROLINA

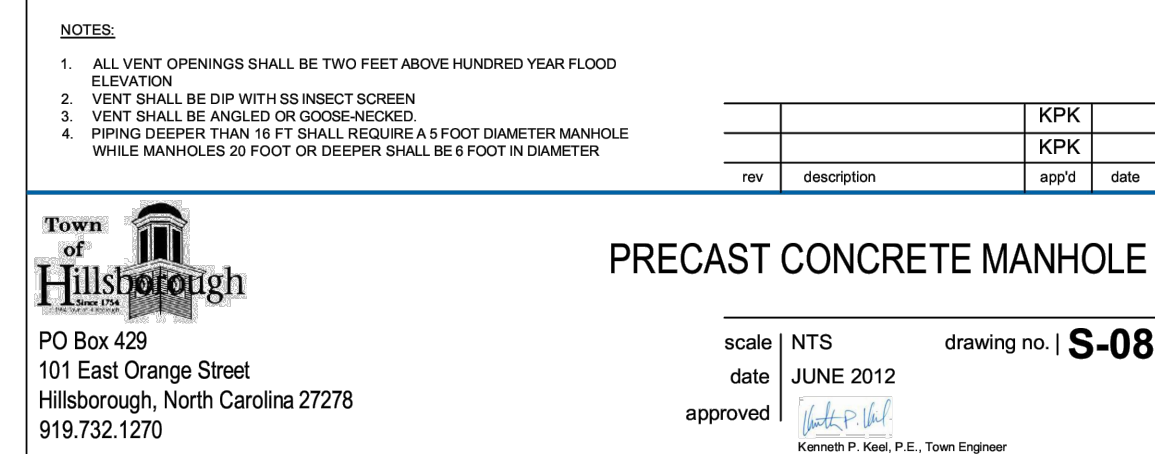
**CLIENT/OWNER:**  
TOWN OF HILLSBOROUGH  
NORTH CAROLINA

DATUM: HORIZ.: NAD83 VERT.: NAVD88

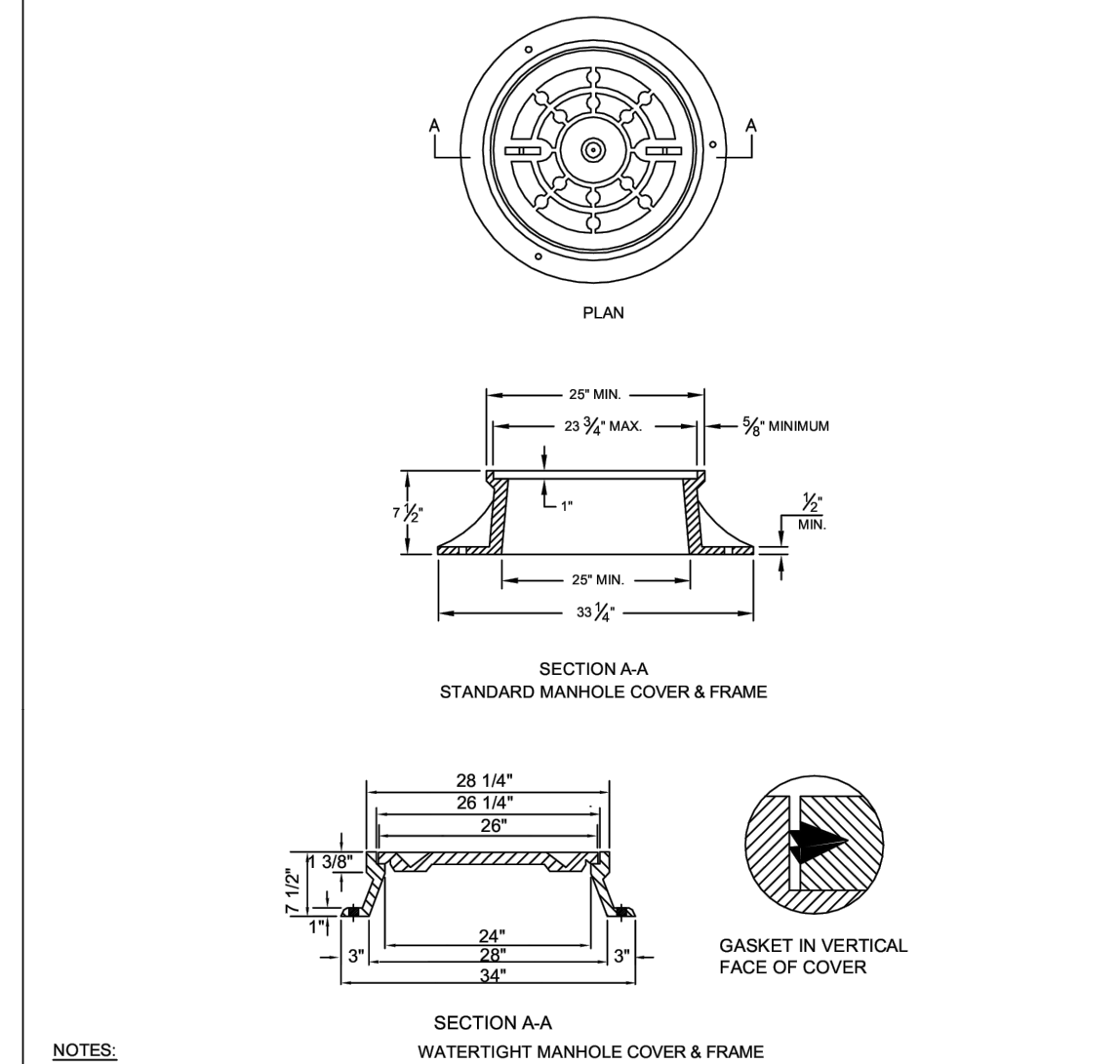
JOB NO: 30833  
DATE: 02/26/2025  
DRAWN: CNH  
DESIGNED: CNH  
REVIEWED:  
APPROVED:  
SCALE: N/A

**C-6.0**

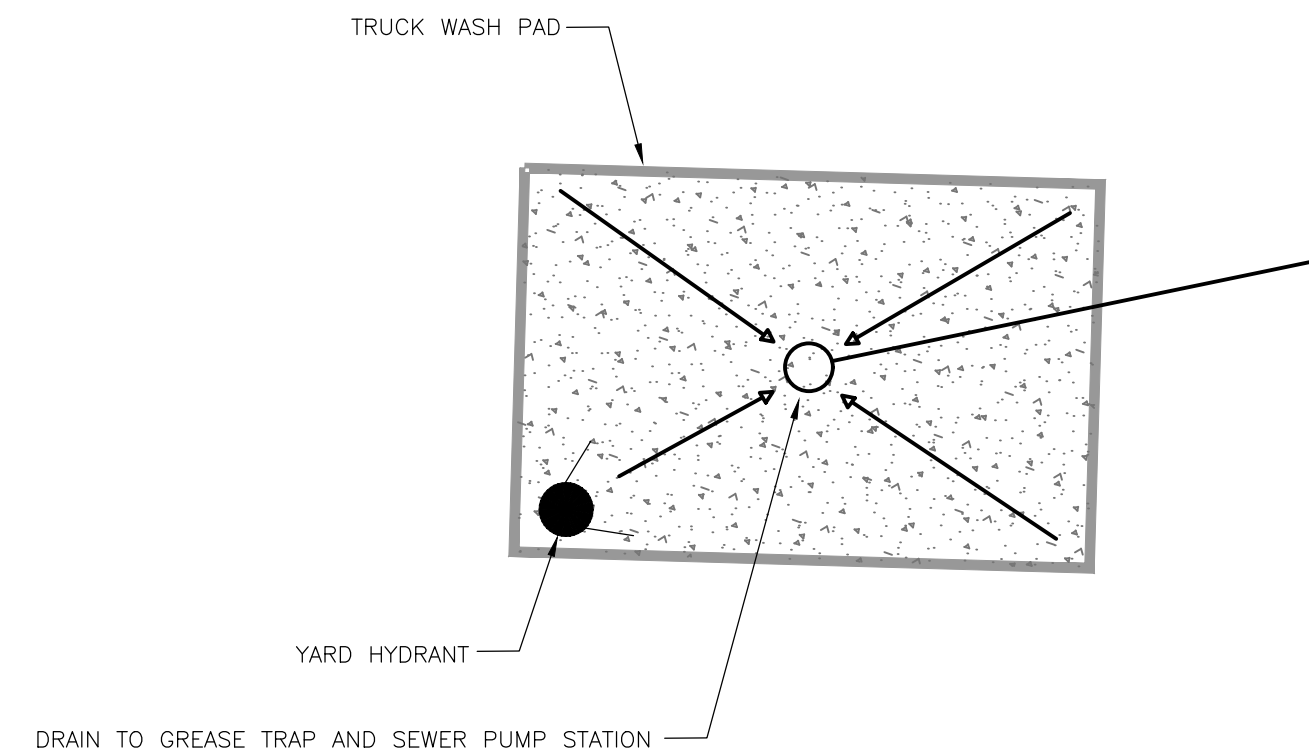




6 SANITARY SEWER MANHOLE  
C2.10 NTS

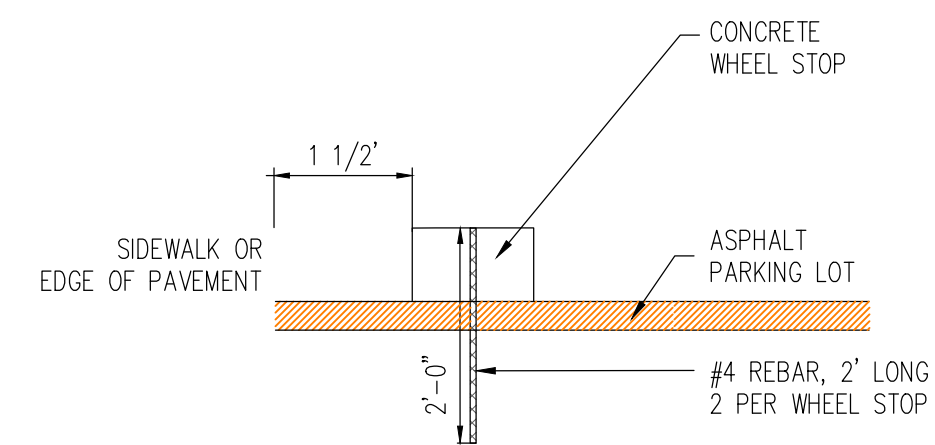


7 SANITARY SEWER FRAME AND COVER  
C2.10 NTS

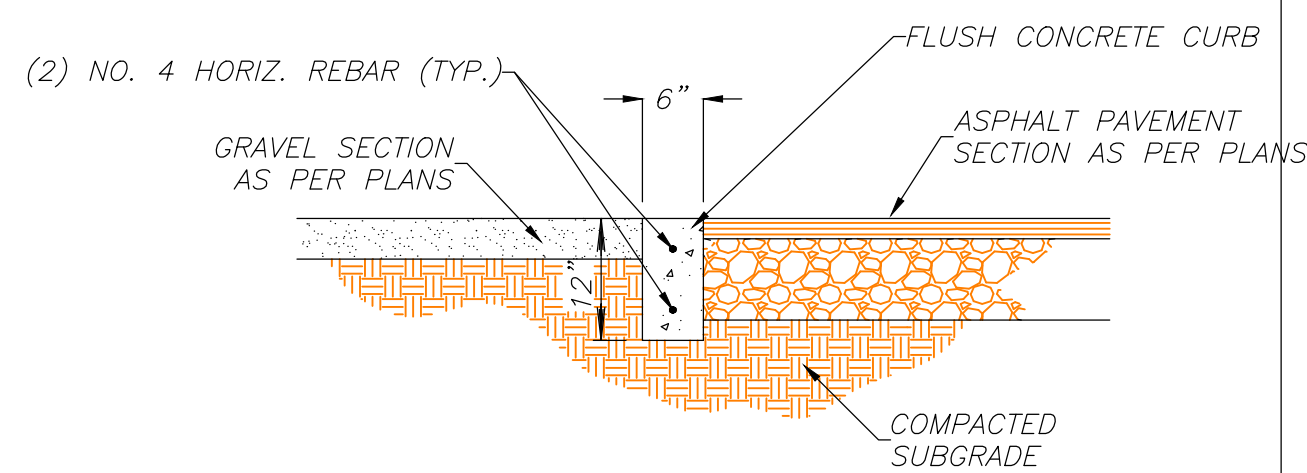


1. WASH PAD SHALL BE 8" THICK REINFORCED CONCRETE, 4,000 PSI.
2. WASH PAD SHALL DRAIN TO CENTER DRAIN TO COLLECT ALL WASH WATER FOR TREATMENT.
3. GRADING NEAR WASH PAD SHALL BE PERFORMED TO PREVENT OTHER SURFACE WATER FROM ENTERING WASH PAD.

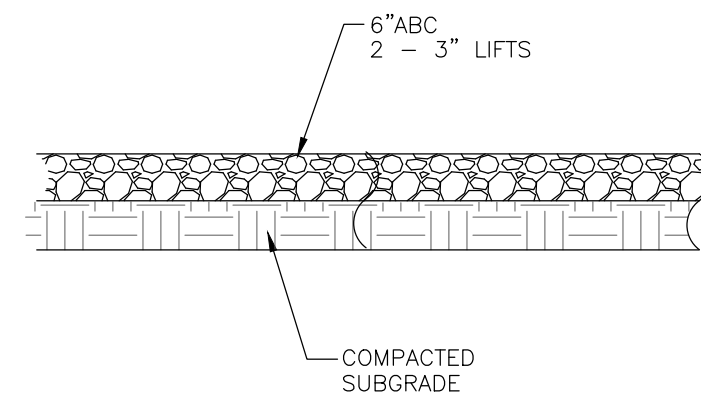
8 TRUCK WASH PAD  
C2.10 NTS



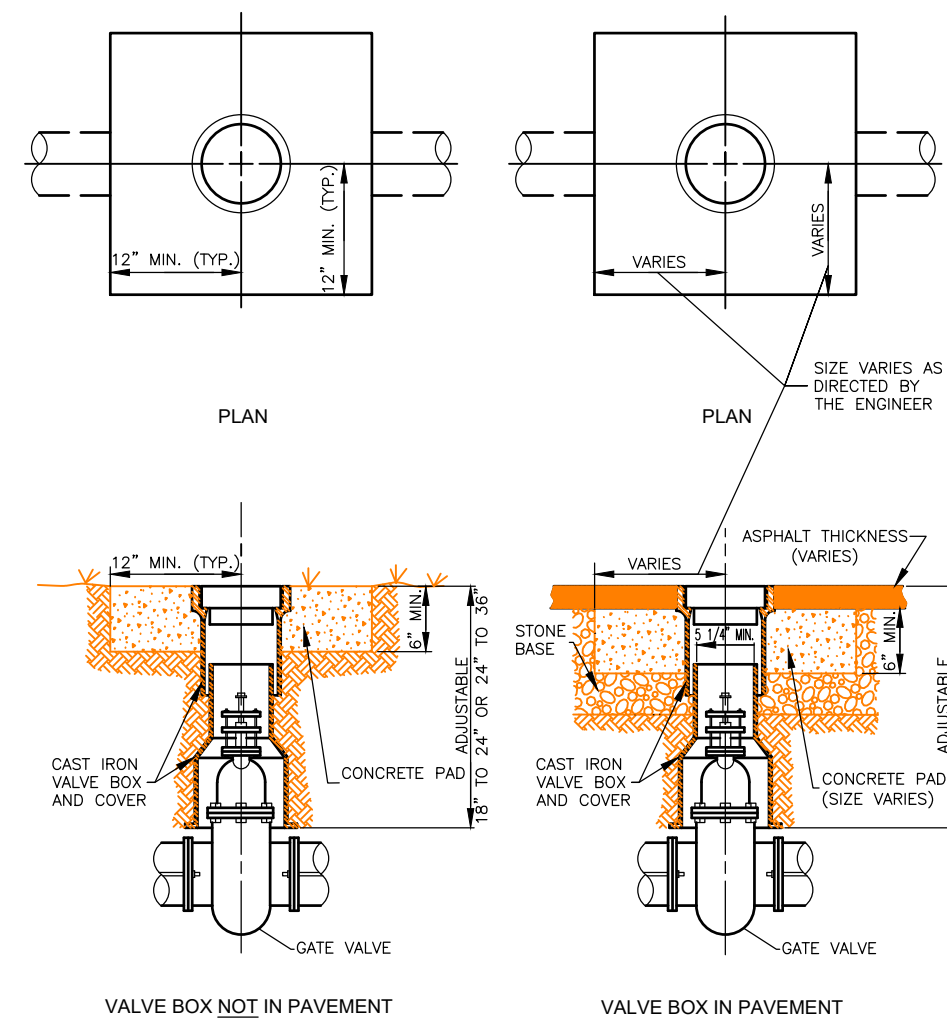
1 WHEEL STOP  
C800 NTS



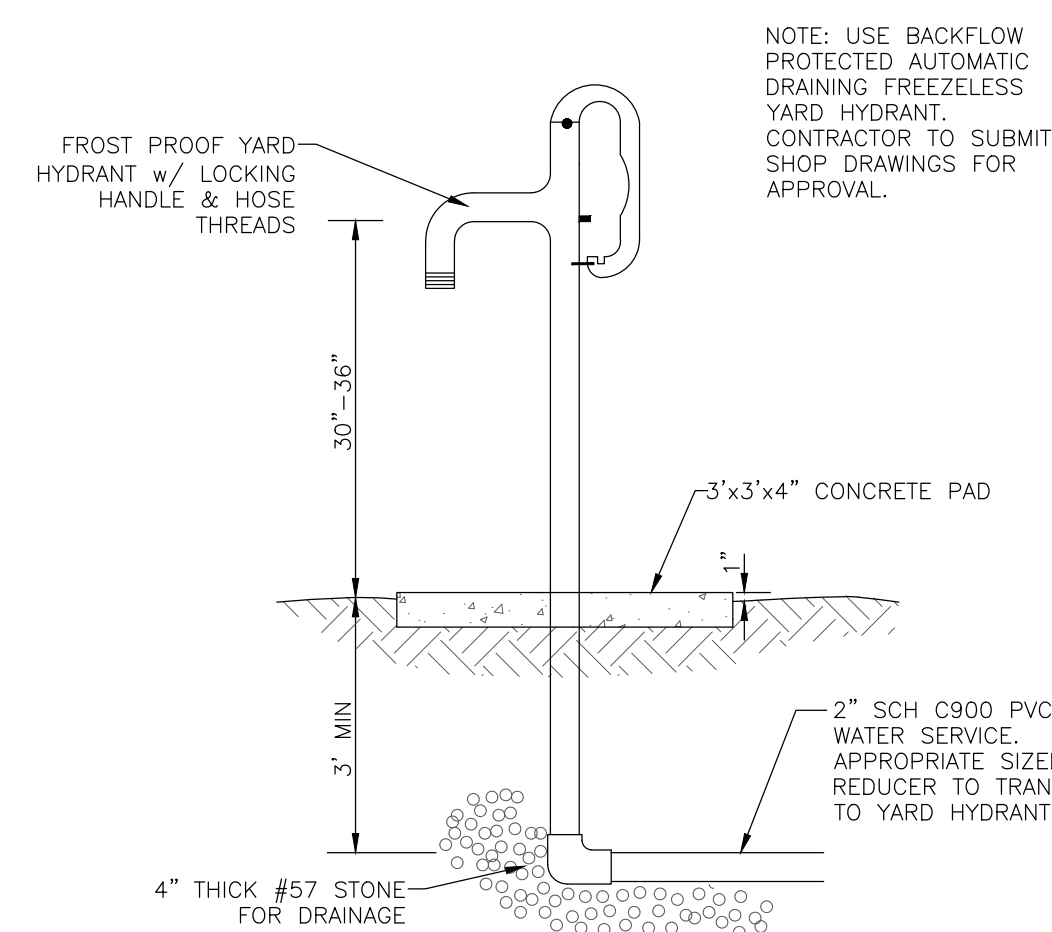
7A	ASPHALT TO GRAVEL TRANSITION - FLUSH CURB
C800	NTS



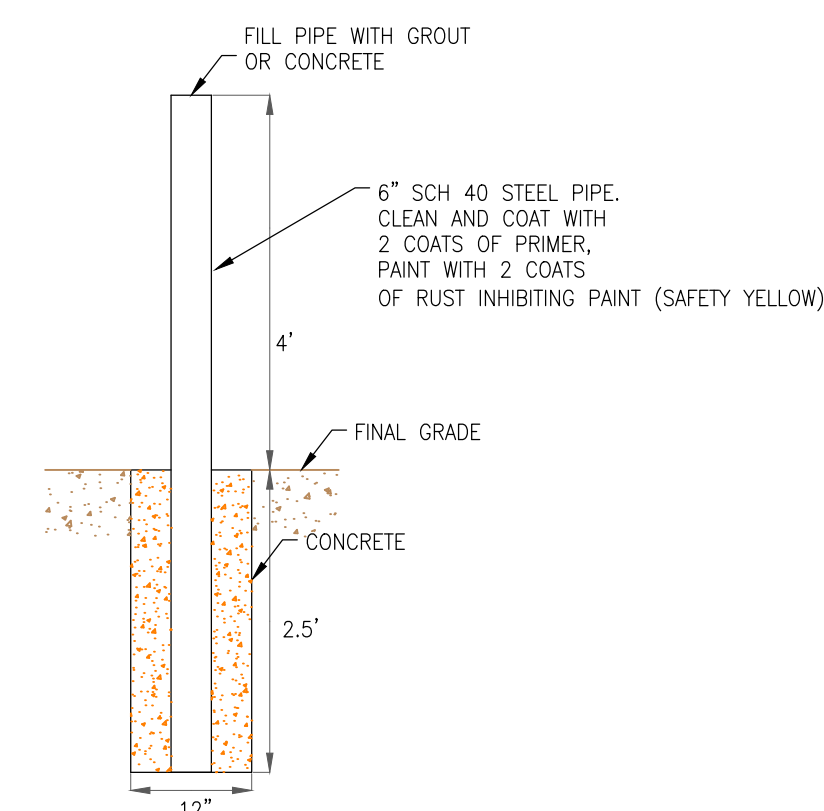
## 1 GRAVEL STORAGE AREA CROSS SECTION



4 VALVE BOX  
C-504 NTS

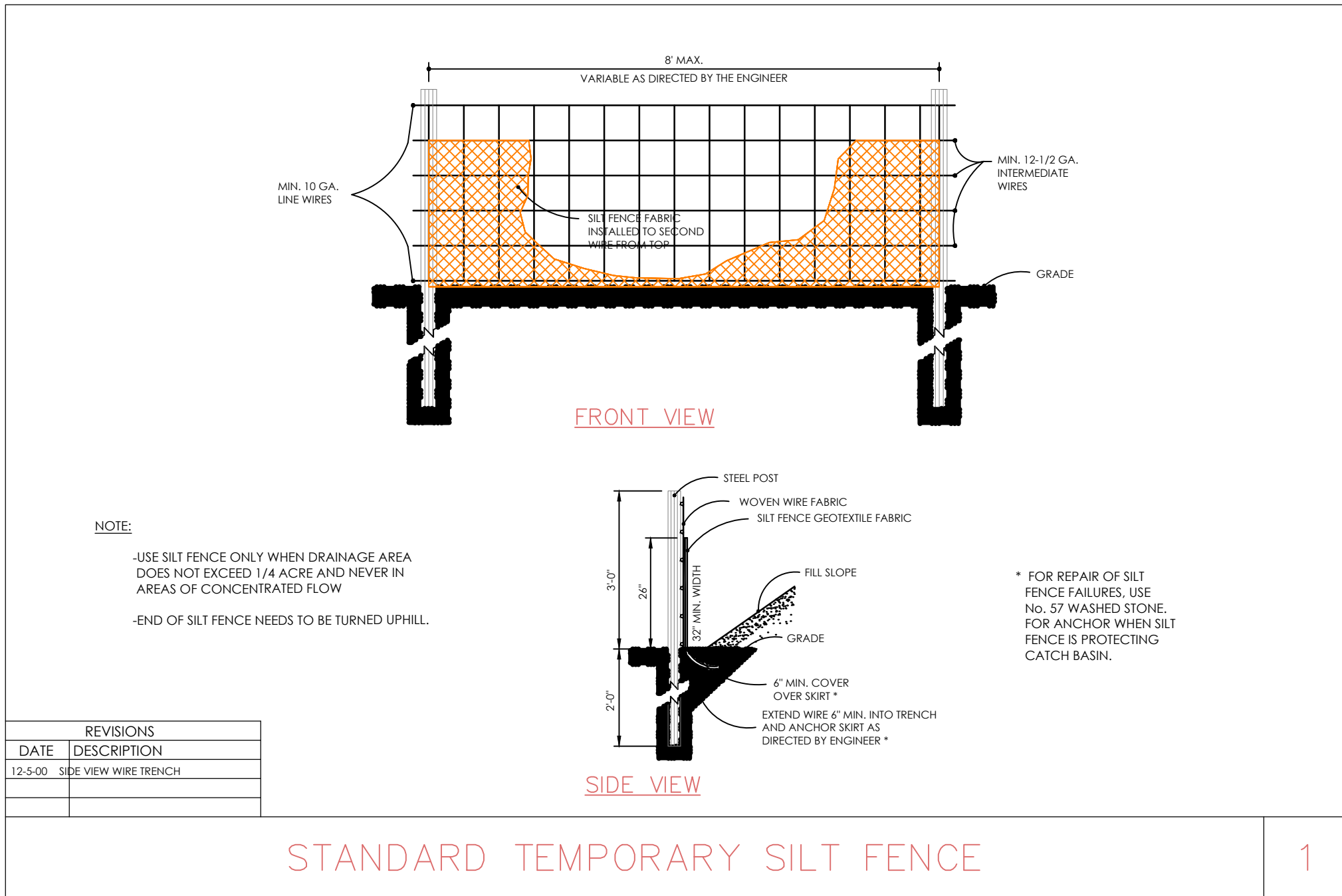


6 YARD HYDRANT  
C-504 NTS



2 6" BOLLARD  
C801 NTS





STANDARD TEMPORARY SILT FENCE

1

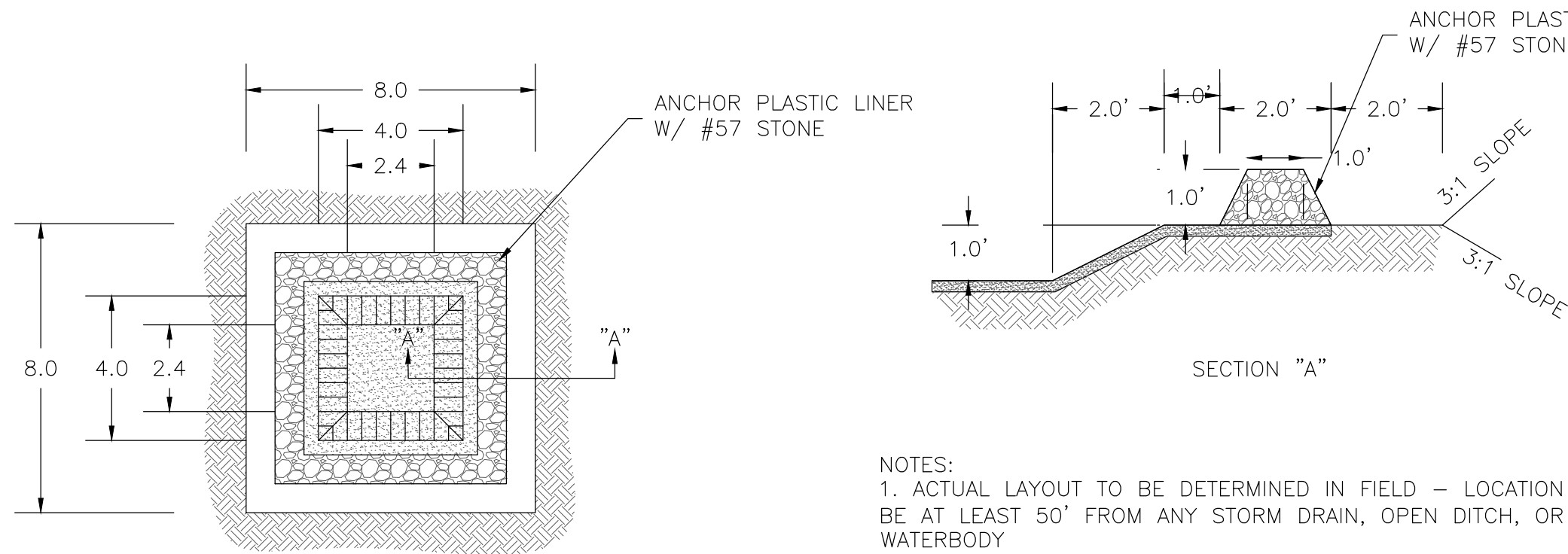
## CONSTRUCTION SEQUENCE

### Pre Construction

1. Verify that all approvals and permits necessary to begin and complete the project are in hand. Approval and permits must be obtained prior to disturbance so that work will not be interrupted or delayed due to the lack of approved plans.
2. Schedule and hold a preconstruction conference before starting demolition, clearing or grading with the owner, contractor responsible for grading and erosion control, person responsible for supervising implementation of the erosion control plan, Town of Hillsborough staff, and the NCDEQ Erosion Control Inspector. Town staff will set up this meeting with all required parties if contact information for said parties is made available.
3. Install a rural type mailbox on the site to hold a copy of the approved erosion control plan and to provide a place for the inspector(s) to leave inspection reports, compliance notices, etc. Place the mailbox in a convenient location, such as at the entrance to the site or next to the construction trailer. Erosion control personnel will leave correspondence in the box and raise the red flag if personnel responsible for erosion control cannot be located on the site. Site personnel should check the box daily.
- Construction
4. Install silt fence and tree protection fence. Tree protection fence must be inspected and approved by Town staff prior to beginning land disturbance. Clear and demo areas shown inside of the limits of disturbance as necessary to begin construction. Limit disturbance to areas necessary for construction activities at that time. Stabilize disturbed areas as soon as possible.
5. Demo existing utilities as shown and construct new storm drainage. Install inlet protection around new inlets immediately after construction. Seal all junction boxes from stormwater intake from surface. Seal any inlets to stormwater structures not protected by inlet projection.
6. Minimize the amount of area disturbed at any one time.
7. During construction, some temporary measures will be removed to allow construction of permanent facilities.
8. If it is determined during the course of construction that significant sediment is leaving the site despite proper implementation and maintenance of the approved erosion control plan, the person responsible for the land disturbing activity is obligated to take additional protective action.
9. Inspect and maintain the erosion control devices so they continue to function properly. Refer to the instructions in the erosion control plan for specific instructions for each device. The person responsible for erosion control is also responsible for taking the initiative in inspecting and maintaining these devices. Do not wait for erosion control personnel to point out the need for repairs and maintenance. Keep mud and debris off the public street at all times. If mud or debris is tracked from the site, use a shovel and broom to remove it immediately. IF MUD AND DEBRIS ARE NOT KEPT OFF THE STREET, ENFORCEMENT ACTION (REVOKING THE GRADING PERMIT AND/OR A STOP WORK ORDER) MAY BE TAKEN!!
10. Permanently stabilize all disturbed areas. Refer to seeding schedule for types of stabilization to be used.
11. When construction is completed, remove all temporary erosion control devices after the drainage area above has been sufficiently been stabilized to restrain erosion. Remove and properly dispose of accumulated sediment and the debris from the devices, and stabilize the location.
12. Arrange a final inspection with the erosion control inspector to confirm that all requirements of the approved erosion control plan have been completed.

## 5 CONSTRUCTION SEQUENCE

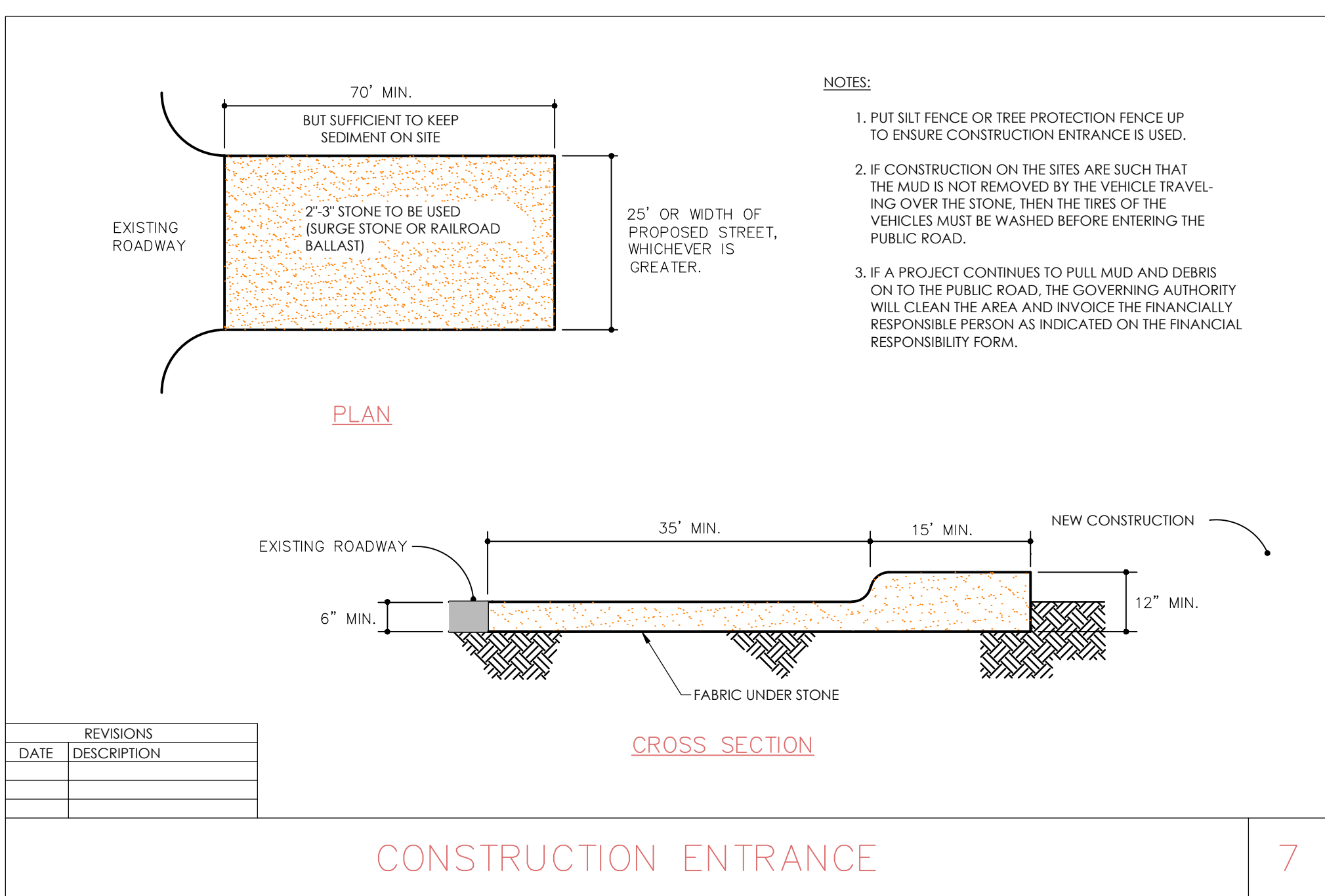
8.3 NTS



## 2 CONCRETE WASHOUT

8.3 NTS

- NOTES:
1. ACTUAL LAYOUT TO BE DETERMINED IN FIELD - LOCATION SHALL BE AT LEAST 50' FROM ANY STORM DRAIN, OPEN DITCH, OR WATERBODY
  2. THE "CONCRETE WASHOUT" SIGN SHALL BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT
  3. PIT CAPACITY IS MINIMUM OF 8 CU FT PER 10 CU YD OF CONCRETE
  4. CONCRETE WILL BE REMOVED FROM THE PIT ONCE IT REACHES HALF FULL.
  5. CONTRACTOR TO COORDINATE WITH USAGE CONTRACTING OFFICER FOR PROPER DISPOSAL OF CONCRETE

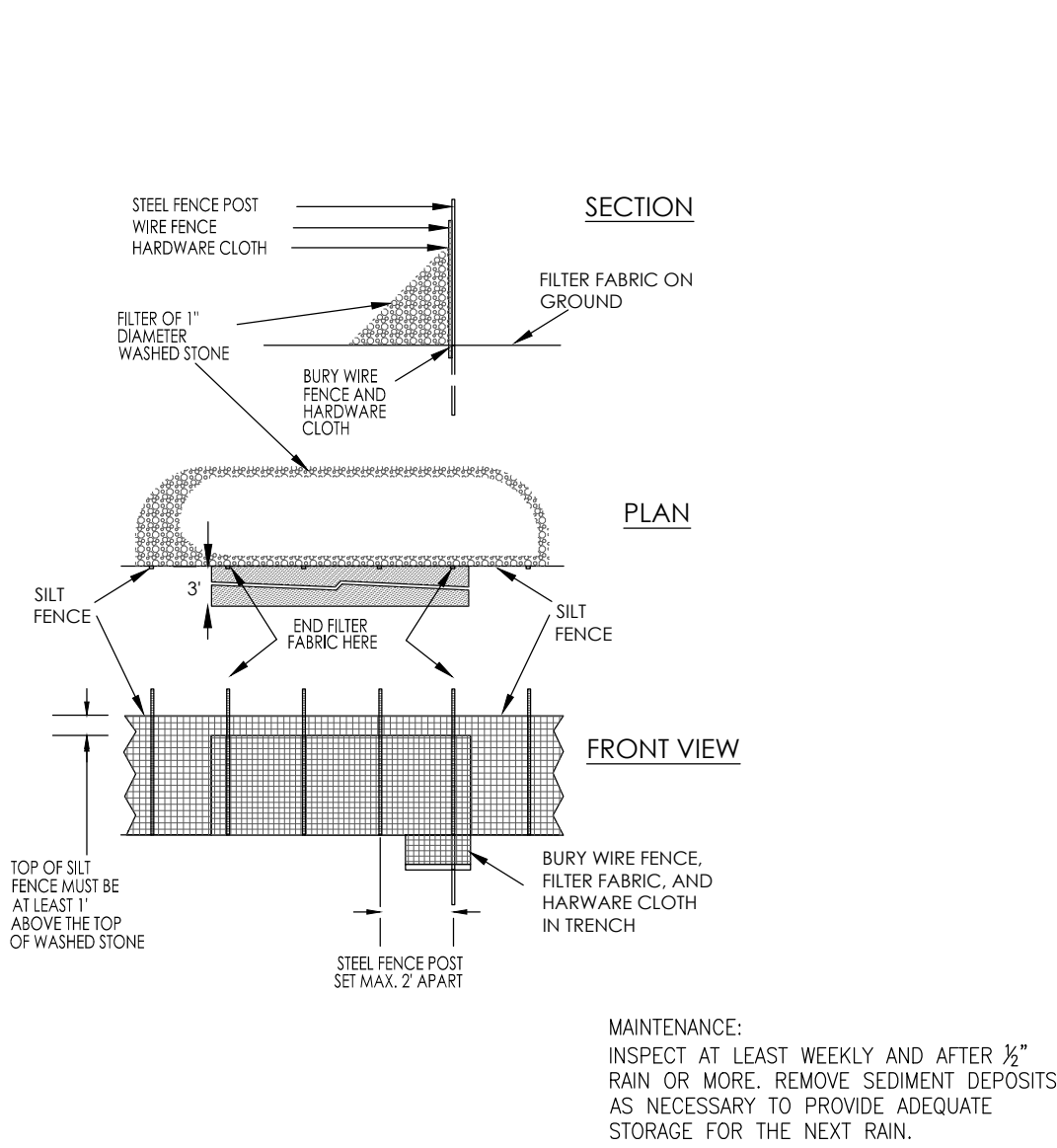


CONSTRUCTION ENTRANCE

7

### NOTES:

1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
3. IF A PROJECT CONTINUES TO PULL MUD AND DEBRIS ON TO THE PUBLIC ROAD, THE GOVERNING AUTHORITY WILL CLEAN THE AREA AND INVOICE THE FINANCIALLY RESPONSIBLE PERSON AS INDICATED ON THE FINANCIAL RESPONSIBILITY FORM.



SILT FENCE OUTLET

- MAINTENANCE:
- INSPECT AT LEAST WEEKLY AND AFTER 1/2" RAIN OR MORE. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE FOR THE NEXT RAIN.

FALL/WINTER/SPRING TEMPORARY COVER				AUGUST 15 - MAY 1			
Lime				100 lbs/1000 sf			
10-10-10 Fertilizer				25 lbs/1000 sf			
Oat Seed				2 lbs/1000 sf			
Rye Grain Seed				1 lbs/1000 sf			
Straw Mulch *				100 lbs/1000 sf			
SUMMER TEMPORARY COVER				MAY 1 - AUGUST 15			
Lime				100 lbs/1000 sf			
10-10-10 Fertilizer				15 lbs/1000 sf			
Browntop Millet Seed				1 lbs/1000 sf			
Straw Mulch *				100 lbs/1000 sf			
SPRING/FALL PERMANENT COVER				MARCH 1 - APRIL 30			
Lime				100 lbs/1000 sf			
10-10-10 Fertilizer				25 lbs/1000 sf			
Improved Turf Type Fine Fescue Seed				8 lbs/1000 sf			
Straw Mulch *				100 lbs/1000 sf			
SUMMER PERMANENT COVER				APRIL 1 - AUGUST 15			
GRASS	PLANTING DATE	SEEDS	SPRIGS	STOLONS			
BERMUDAGRASS	APRIL-JULY	1-2	.75	3-5			
BERMUDAGRASS(HYBRID)	APRIL-JULY	-	.75	3-5			
CENTIPEDGRASS	MARCH-JULY	.25-.50	.75	-			
ST.AUGUSTINEGRASS	APRIL-JULY	-	1.0	-			
TALL FESCUE	SEPT.-OCT.15	6	-	-			
ZOYSIAGRASS	MAY-JULY	.50-1.0	.25	3-5			

1. OPTIMUM DATE OF PLANTING. SEEDING BEYOND THESE DATES INCREASES THE CHANCE OF FAILURE.
  2. POUNDS PER 1000 SQ.FT.
  3. BUSHELS PER 1000 SQ.FT.
- Seedbed Preparation: Remove rocks, stumps, roots, etc. Apply lime and fertilizer then rip the soil 4 to 6 inches to mix the nutrients into the soil and to loosen and roughen it to receive seed.
- Seed Temporary cover to stabilize temporary sedimentation control measures and other accomplished. If planting season is not suitable for installation of permanent cover. Contractor shall install temporary cover suitable for that season and reseed with permanent grass at earliest possible date.
- \* Anchor straw mulch by applying an asphalt binder emulsion at a rate of 10 gallons per 1000 SF, or install jute, paper or twine netting or excelsior mats staked to ground according to the manufacturer's instructions.

### STABILIZATION TIME TABLE

Ongoing Activity. Land left exposed shall be planted or otherwise provided with temporary ground cover, devices, or structures sufficient to restrain erosion within the applicable time period after completion of any phase of grading or period of inactivity as follows:

- seven days for a steep slope;
- ten days for a moderate slope;
- 14 days for land with no slope or inclination.

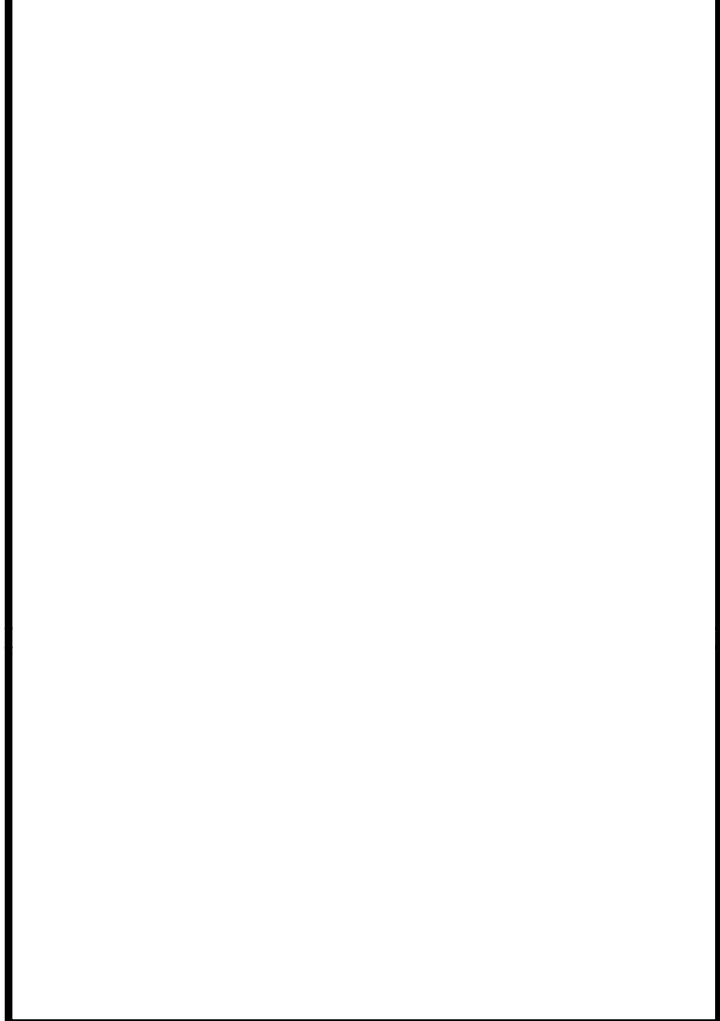
For purposes of this section, a moderate slope means an inclined area, the inclination of which is less than or equal to three units of horizontal distance to one unit of vertical distance; and a steep slope means an inclined area, the inclination of which is greater than three units of horizontal distance to one unit of vertical distance.

Completed Activity. For any area of land-disturbing activity where grading activities have been completed, temporary or permanent ground cover sufficient to restrain erosion shall be provided as soon as practicable, but in no case later than seven days after completion of grading.

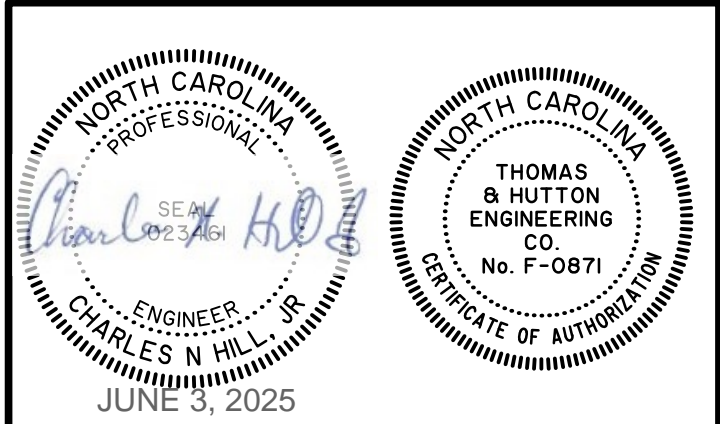
### "EXPOSED" AREAS INCLUDE, BUT ARE NOT LIMITED TO:

- AREAS CLEARED FOR ROADWAY CONSTRUCTION.
- AREAS CLEARED ON RESIDENTIAL BUILDING LOTS.
- DRAINAGE EASEMENTS AND OPEN DRAINAGE CHANNELS.
- SEDIMENT AND EROSION CONTROL MEASURES (SEDIMENT TRAPS, DIVERSION DITCHES, ETC.) AND THE AREAS ADJACENT TO SUCH MEASURES.

NOTE: BASE BID TO INCLUDE ANY TEMPORARY SEEDING REQUIRED



NO.	REVISIONS	BY	DATE
3	RESPONSE TO COMMENTS	T&H	6/3/2025
2	RESPONSE TO COMMENTS	T&H	5/15/2025
1	RESPONSE TO COMMENTS	T&H	4/16/2025



2510 Meridian Parkway • Suite 100  
Durham, NC 27713 • 919.682.0368  
www.thomasandhutton.com

## DETAILS

2025  
ADRON THOMPSON SITE  
IMPROVEMENTS

PROJECT LOCATION:  
HILLSBOROUGH, NORTH CAROLINA

CLIENT/OWNER:  
TOWN OF HILLSBOROUGH  
NORTH CAROLINA

DATUM: HORIZ.: NAD83 VERT.: NAVD88

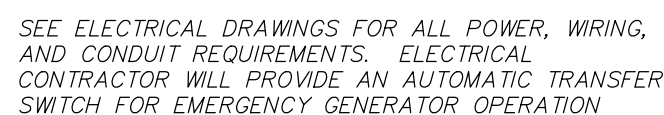
JOB NO: 30833  
DATE: 02/26/2025  
DRAWN: CNH  
DESIGNED: CNH  
REVIEWED:  
APPROVED:  
SCALE: N/A

C-6.2





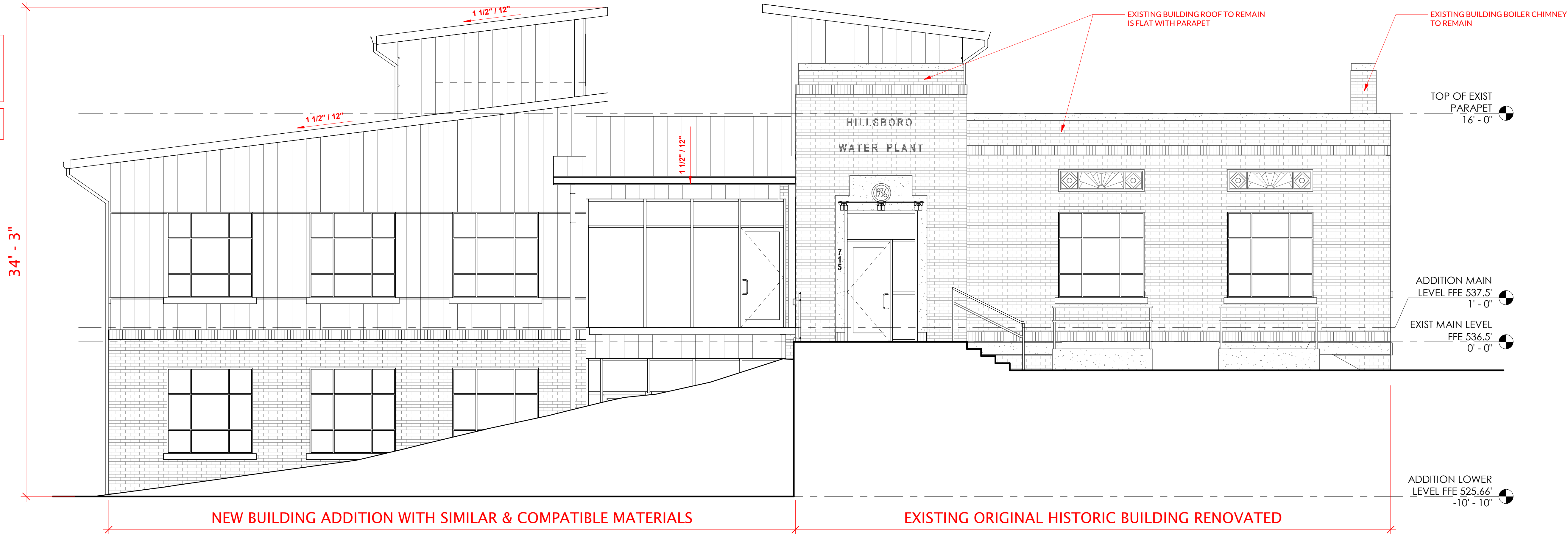
SEE ELECTRICAL DRAWINGS FOR ALL POWER, WIRING,  
AND CONDUIT REQUIREMENTS. ELECTRICAL  
CONTRACTOR WILL PROVIDE AN AUTOMATIC TRANSFER  
SWITCH FOR EMERGENCY GENERATOR OPERATION





TOWN OF HILLSBOROUGH UDO  
ARTICLE 6.3.2 REQUIRES THAT  
BUILDINGS ZONED AS OI ARE  
RESTRICTED TO A MAXIMUM  
BUILDING HEIGHT OF 40 FEET.

TOTAL HEIGHT FROM NORTH FACADE:  
34' - 3"



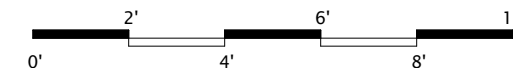
1 ARCHITECTURAL ELEVATION - NORTH - SUP EXHIBIT A & E BLDG HEIGHT & ROOF SLOPE  
A-A1 1/4" = 1'-0"



TOTAL HEIGHT FROM EAST FACADE:  
34' - 3"



2 ARCHITECTURAL ELEVATION - EAST - SUP EXHIBIT A & E BLDG HEIGHT & ROOF SLOPE  
A-A1 1/4" = 1'-0"



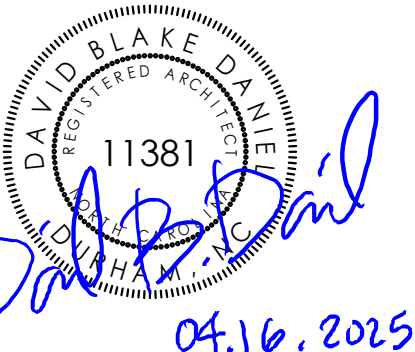
RND  
architects

RND Architects, PA  
3608 University Drive  
Suite 204  
Durham, NC 27707

(919) 490 - 1266  
www.RNDarchitects.com

IN ASSOCIATION WITH:

PROFESSIONAL SEALS:



PROJECT INFORMATION:

Town of Hillsborough  
Adron F. Thompson  
Addition & Renovation

2231.01  
715 Dimmocks Mill Road, Hillsborough, NC

KEY PLAN:

DIMMOCKS MILL RD.

1

2

REVISIONS

No.	Date	Description
1	04.16.2025	TRC COMMENTS

© 2025 RND Architects, PA  
These drawings and specifications are instruments of service and as such remain the property of the architect. Their use is restricted to the original site for which they were prepared and publication there-of is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited.

DRAWN:	CHECKED:	DATE:
EJW	DBD	02.27.2025

Sheet Name:

ARCHITECTURAL  
ELEVATIONS EXHIBIT A & E-  
BLDG HEIGHT & ROOF PITCH

Sheet Number

A-A1

TOWN OF HILLSBOROUGH UDO  
ARTICLE 6.3.2 REQUIRES THAT  
BUILDINGS ZONED AS OI ARE  
RESTRICTED TO A MAXIMUM  
BUILDING HEIGHT OF 40 FEET.

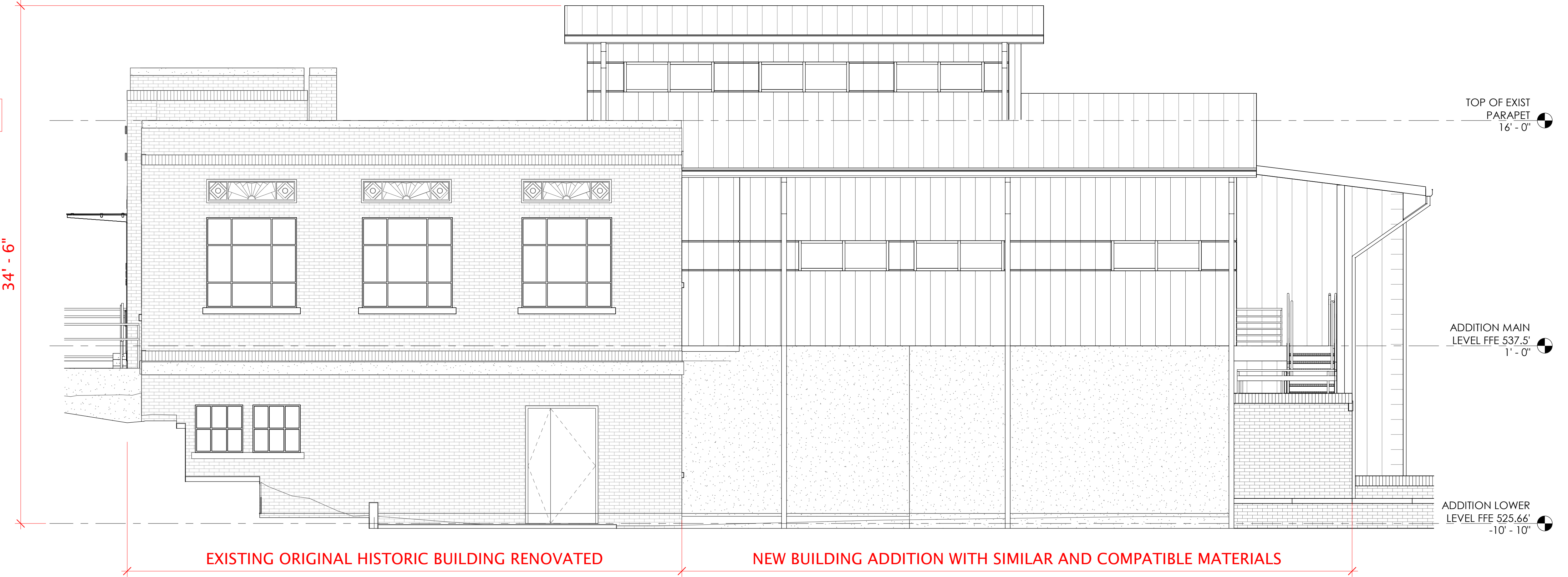
TOTAL HEIGHT FROM NORTH FACADE:  
34' - 6"



**1** ARCHITECTURAL ELEVATION - SOUTH - SUP EXHIBITS A & E BLDG HEIGHT & ROOF SLOPE  
A-A2 1/4" = 1'-0"

0' 2' 4' 6' 8' 10'

TOTAL HEIGHT FROM NORTH FACADE:  
34' - 6"



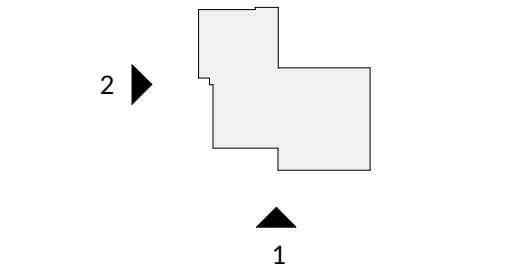
**2** ARCHITECTURAL ELEVATION - WEST - SUP EXHIBITS A & E BLDG HEIGHT & ROOF SLOPE  
A-A2 1/4" = 1'-0"

0' 2' 4' 6' 8' 10'

Town of Hillsborough  
Adron F. Thompson  
Addition & Renovation

2231.01  
715 Dimmocks Mill Road, Hillsborough, NC

KEY PLAN:  
DRAWINGS SHEET:



REVISIONS		
No.	Date	Description
1	04.16.2025	TRC COMMENTS

© 2025 RND Architects, PA  
These drawings and specifications are instruments of service and as such remain the property of the architect. Their use is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited.

Original drawing is 24"x36" - Do not scale contents.		
DRAWN:	CHECKED:	DATE:
EJW	DBD	02.27.2025

Sheet Name:  
**ARCHITECTURAL  
ELEVATIONS EXHIBIT A & E-  
BLDG HEIGHT & ROOF PITCH**

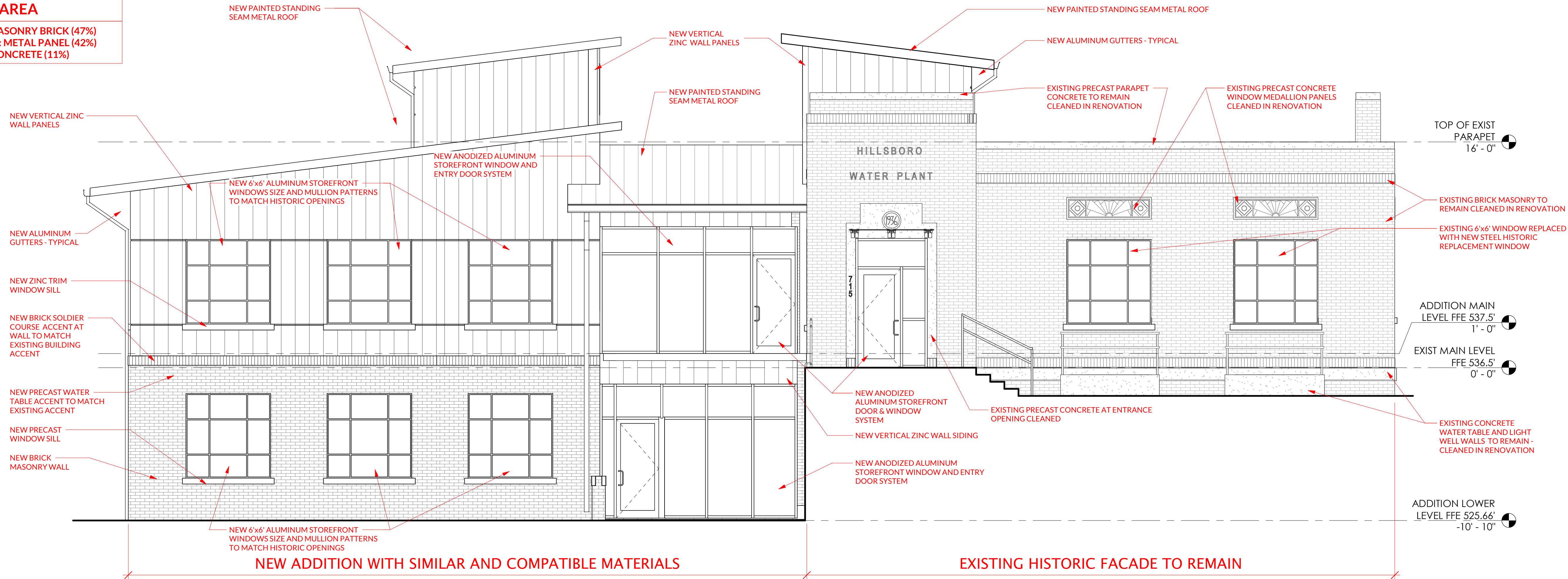
Sheet Number

A-A2

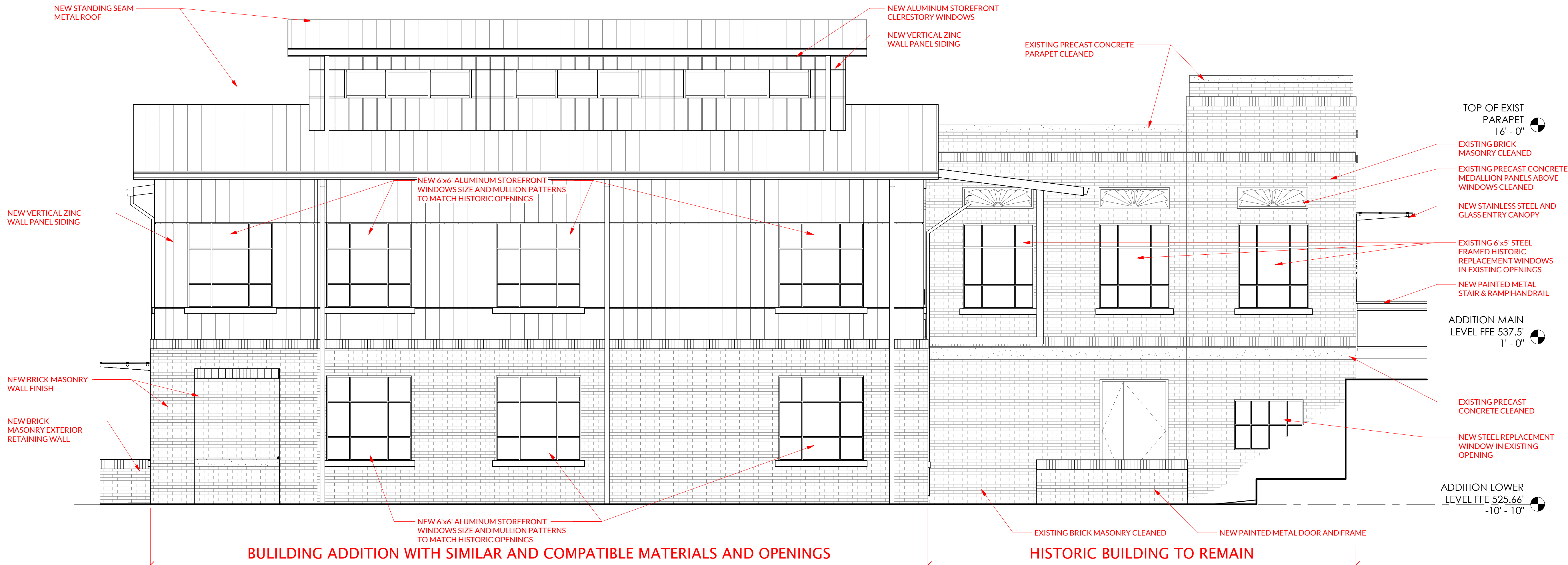
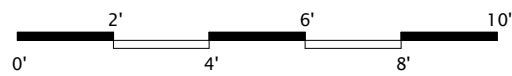


EXTERIOR MATERIALS AREA

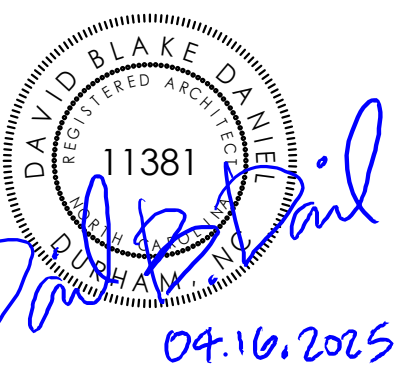
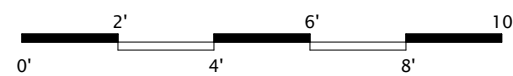
PRIMARY BUILDING MATERIAL: MASONRY BRICK (47%)  
SECONDARY BUILDING MATERIAL: METAL PANEL (42%)  
TERTIARY BUILDING MATERIAL: CONCRETE (11%)



1 ARCHITECTURAL ELEVATION - NORTH - SUP EXHIBIT B - PROPOSED MATERIALS  
A-B1 1/4" = 1'-0"

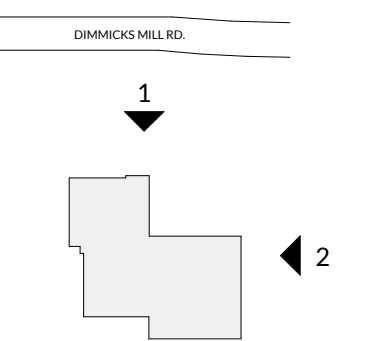


2 ARCHITECTURAL ELEVATION - EAST - SUP EXHIBIT B - PROPOSED MATERIALS  
A-B1 1/4" = 1'-0"



Town of Hillsborough  
Adron F. Thompson  
Addition & Renovation

2231.01  
715 Dimmocks Mill Road, Hillsborough, NC



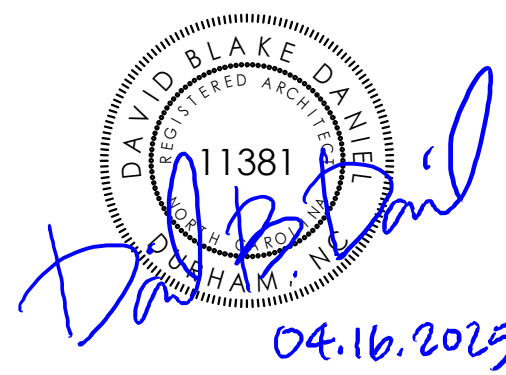
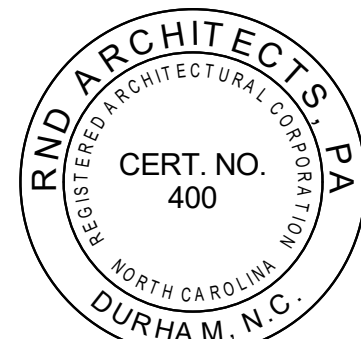
No.	Date	Description
1	04.16.2025	TRC COMMENTS

© 2025 RND Architects, PA  
These drawings and specifications are instruments of service and as such remain the property of the architect. Their use is restricted to the original site for which they were prepared and publication there-of is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited.  
Original drawing is 24"x36" - Do not scale contents.

DRAWN:	CHECKED:	DATE:
EJW	DBD	02.27.2025

ARCHITECTURAL  
ELEVATIONS EXHIBIT B -  
BUILDING MATERIALS



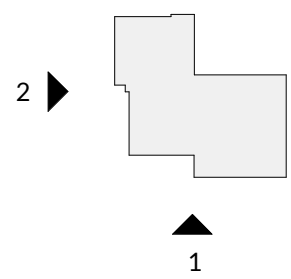


Town of Hillsborough  
Adron F. Thompson  
Addition & Renovation

2231.01  
715 Dimmocks Mill Road, Hillsborough, NC

KEY PLAN:

DIMMOCKS MILL RD.



REVISIONS

No.	Date	Description
1	04.16.2025	TRC COMMENTS

© 2025 RND Architects, PA  
These drawings and specifications are instruments of service and as such remain the property of the architect. Their use is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited.  
Original drawing is 24"x36" - Do not scale contents.

DRAWN:	CHECKED:	DATE:
EJW	DBD	02.27.2025

Sheet Name:

ARCHITECTURAL  
ELEVATIONS EXHIBIT B -  
BUILDING MATERIALS

Sheet Number

A-B2

EXTERIOR MATERIALS AREA

PRIMARY BUILDING MATERIAL: MASONRY BRICK (47%)  
SECONDARY BUILDING MATERIAL: METAL PANEL (42%)  
TERTIARY BUILDING MATERIAL: CONCRETE (11%)

EXISTING CONCRETE  
PARAPET ACCENT TO  
REMAIN - CLEANED IN  
RENOVATION

EXISTING BRICK SOLDIER  
COURSE ACCENT TO  
REMAIN - CLEANED IN  
RENOVATION

EXISTING BRICK MASONRY  
WALL CLEANED IN RENOVATION

NEW VERTICAL ZINC  
WALL PANELS

NEW STEEL FRAMED HISTORIC  
REPLICA WINDOW  
IN EXISTING OPENING

NEW ANODIZED ALUMINUM  
STOREFRONT WINDOW

EXISTING BRICK SOLDIER COURSE  
WALL CLEANED IN RENOVATION

EXISTING CONCRETE WATERTABLE  
TOM REMAIN - CLEANED IN RENOVATION

NEW STEEL FRAMED HISTORIC  
REPLICA WINDOW  
IN EXISTING OPENING

EXISTING BRICK MASONRY  
WALL CLEANED IN RENOVATION

FINISHED GRADE

NEW PARGED FINISH OVER  
EXISTING CONCRETE  
FOUNDATION WALL

NEW HOLLOW METAL PAINTED  
DOORS AND FRAMES - TYPICAL

NEW PAINTED STANDING  
SEAM METAL ROOF AND  
FASCIA

NEW ALUMINUM GUTTERS AND  
DOWNSPOUTS - TYPICAL

NEW PAINTED STANDING  
SEAM METAL ROOF

NEW VERTICAL ZINC  
WALL PANELS

NEW PAINTED STANDING  
SEAM METAL ROOF

TOP OF EXIST  
PARAPET  
16' - 0"

NEW 6"x6" ALUMINUM  
STOREFRONT WINDOWS SIZE  
AND MULLION PATTERNS TO  
MATCH HISTORIC OPENINGS

NEW ALUMINUM  
GUTTERS - TYPICAL

NEW VERTICAL ZINC  
WALL PANELS

NEW BRICK SOLDIER COURSE  
ACCENT AT WALL TO MATCH  
EXISTING BUILDING ACCENT

ADDITION MAIN  
LEVEL FFE 537.5'  
1' - 0"

NEW PRECAST WATER  
TABLE ACCENT TO MATCH  
EXISTING ACCENT

NEW ANODIZED ALUMINUM  
STOREFRONT WINDOW SYSTEM

NEW BRICK MASONRY WALL  
FINISH ON LOWER LEVEL

ADDITION LOWER  
LEVEL FFE 525.66'  
-10' - 10"

NEW PAINTED STEEL EXTERIOR EGRESS  
STAIR AND RAILING

NEW BRICK MASONRY STAIR SCREEN WALL

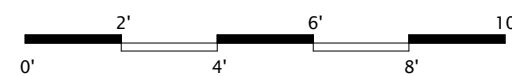
NEW ZINC METAL  
WINDOW SILL TRIM

NEW HORIZONTAL ZINC  
METAL PANELS

NEW 6"x6" ALUMINUM  
STOREFRONT WINDOWS SIZE  
AND MULLION PATTERNS TO  
MATCH HISTORIC OPENINGS

1 ARCHITECTURAL ELEVATION - SOUTH - SUP EXHIBIT B PROPOSED BUILDING MATERIALS

A-B2 1/4" = 1'-0"



EXISTING PRECAST CONCRETE  
PARAPET TO REMAIN - CLEANED IN RENOVATION

EXISTING BRICK SOLDIER  
COURSE CLEANED IN  
RENOVATION

EXISTING PRECAST CONCRETE  
MEDALLION PANELS ABOVE  
WINDOWS CLEANED

EXISTING 6"x6" STEEL FRAMED  
HISTORIC REPLACEMENT WINDOWS  
IN EXISTING OPENINGS

NEW STAINLESS STEEL AND  
GLASS ENTRY CANOPY

EXISTING BRICK MASONRY TO  
REMAIN - CLEANED IN RENOVATION

EXISTING CONCRETE WATER  
TABLE ACCENT TO REMAIN -  
CLEANED IN RENOVATION

NEW PAINTED METAL SAFETY  
GUARD RAILING

EXISTING BRICK MASONRY TO  
REMAIN - CLEANED IN RENOVATION

EXISTING ORIGINAL INFILLED WINDOW OPENING  
MAY RECEIVE NEW STEEL FRAMED HISTORIC  
REPLICA WINDOW IN EXISTING OPENING IF  
EXISTING CONDITIONS SUPPORT NEW WINDOW

NEW STEEL FRAMED HISTORIC REPLICA  
WINDOW IN EXISTING OPENING

EXISTING PRECAST CONCRETE WINDOW  
SILL TO REMAIN - CLEANED IN RENOVATION

EXISTING BRICK MASONRY TO  
REMAIN - CLEANED IN RENOVATION

NEW ANODIZED ALUMINUM  
CLERESTORY WINDOW

NEW HORIZONTAL ZINC WALL  
PANEL SIDING

NEW PAINTED STANDING SEAM  
METAL ROOF AND FASCIA

NEW ANODIZED ALUMINUM  
STOREFRONT WINDOW

TOP OF EXIST  
PARAPET  
16' - 0"

NEW PAINTED STANDING SEAM  
METAL ROOF AND FASCIA

NEW ALUMINUM GUTTERS -  
TYPICAL

NEW PAINTED STEEL  
EXTERIOR EGRESS STAIR  
AND RAILING

ADDITION MAIN  
LEVEL FFE 537.5'  
1' - 0"

NEW HORIZONTAL ZINC WALL  
PANEL SIDING

NEW BRICK MASONRY FINISH ON  
LOWER LEVEL AND EXTERIOR SITE  
RETAINING WALL

ADDITION LOWER  
LEVEL FFE 525.66'  
-10' - 10"

NEW PAINTED HOLLOW  
METAL EXTERIOR SECURITY  
DOOR AND FRAME

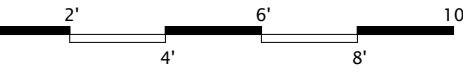
NEW PARGED CONCRETE OVER EXISTING  
CONCRETE & NEW CMU FOUNDATION WALL  
NEW VERTICAL ZINC WALL PANELS

EXISTING ORIGINAL HISTORIC BUILDING RENOVATED

NEW BUILDING ADDITION WITH SIMILAR AND COMPATIBLE MATERIALS

2 ARCHITECTURAL ELEVATION WEST - SUP EXHIBIT B PROPOSED BUILDING MATERIALS

A-B2 1/4" = 1'-0"





HILLSBOROUGH UDO GLAZING AREA (%) CALCULATIONS

TOWN OF HILLSBOROUGH UDO ARTICLE 6.7.5.2  
REQUIRES GLAZING MAKE UP 40% OF GROUND FLOOR  
AND  
25% OF UPPER FLOOR FACADES FACING PUBLIC OR  
PRIVATE ROADS.

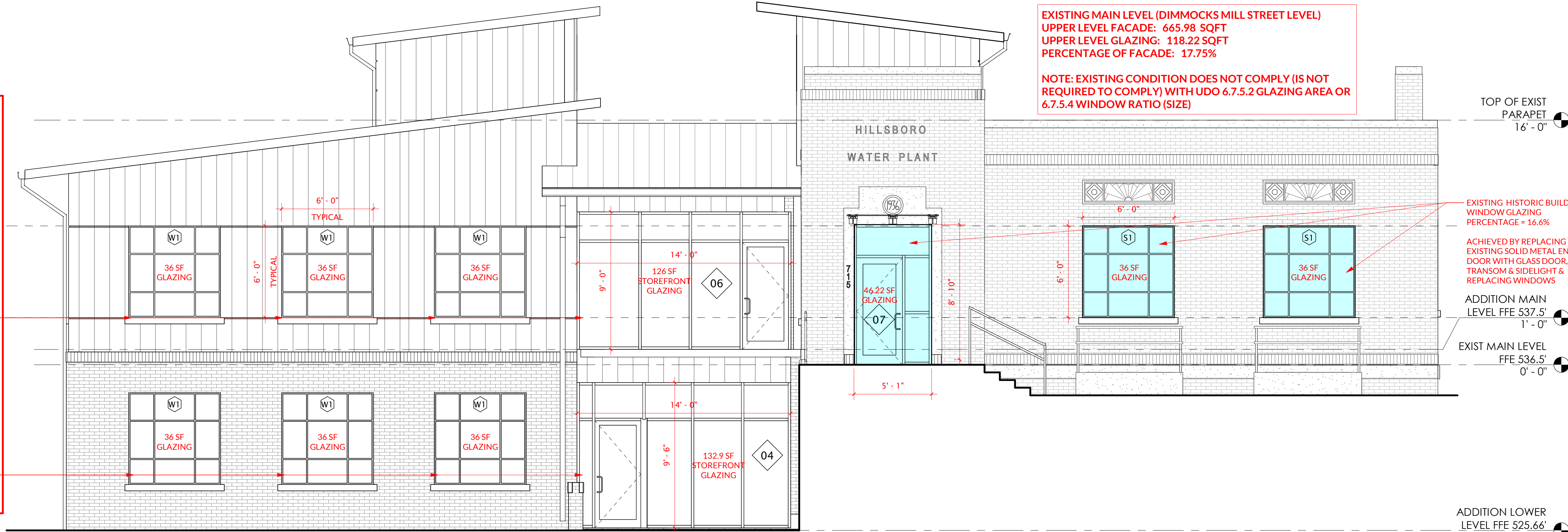
TOTAL STREET FRONT FACADE ADDITION: 1,186.46 SQFT  
UPPER LEVEL GLAZING: 475.20 SQFT  
PERCENTAGE OF FACADE: 40.05% COMPLIANT WITH UDO

NOTE: MAIN LEVEL + LOWER LEVEL AREA OF GLAZING IS  
COMPLIANT WITH UDO AS BOTH ARE GROUND FLOORS

UPPER LEVEL FACADE WALL AREA: 658.48 SQFT  
UPPER LEVEL GLAZING AREA: 234.30 SQFT  
PERCENTAGE OF UPPER LEVEL FACADE: 35.58%

NOTE: GROUND LEVEL WALL AREA CALCULATED AT  
PARAPET HEIGHT OF HISTORIC BUILDING AND SOFFIT  
HEIGHT OF ADDITION

GROUND LEVEL FACADE WALL AREA: 527.98 SQFT  
GROUND LEVEL GLAZING AREA: 240.9 SQFT  
PERCENTAGE OF LOWER LEVEL FACADE: 45.62%



1  
A-C1  
ARCHITECTURAL ELEVATION - NORTH - DIMMOCKS MILL STREET FRONT - SUP EXHIBITS  
C & D OPENING PERCENTAGES & GLAZING TYPE  
1/4" = 1'-0"

TOWN OF HILLSBOROUGH UDO ARTICLE 6.7.5.4 REQUIRES BUILDING  
WINDOWS TO HAVE A VERTICAL-TO-HORIZONTAL RATIO OF 1:2.  
HOWEVER, THE EXISTING HISTORIC WINDOW OPENING SIZE OF 6'x6'  
AND 6'x5' WILL DICTATE THE NEW ADDITION WINDOW SIZES TO  
MATCH THE APPEARANCE OF THE EXISTING STRUCTURE.

ALL NEW WINDOWS IN THE ADDITION ARE STOREFRONT AND AS SUCH  
ARE EXEMPT FROM THIS REQUIREMENT.

EXTERIOR WINDOW SCHEDULE				
Description	Height	Width	Area	Type Mark
ORIGINAL OPENING 6'w x 6'h - FIXED STEEL HISTORIC REPLACEMENT WINDOW	6'-0"	6'-0"	180 SF	S1
ORIGINAL OPENING 5'w x 6'h - FIXED STEEL HISTORIC REPLACEMENT WINDOW	6'-0"	5'-0"	90 SF	S2
ORIGINAL OPENING 58 1/2" w X 42 1/2" h - FIXED STEEL HISTORIC REPLACEMENT WINDOW	3'-6 1/2"	4'-10 1/2"	69 SF	S3
ORIGINAL OPENING 36" w X 56" h - FIXED STEEL HISTORIC REPLACEMENT WINDOW	4'-8"	3'-0"	28 SF	S4
ORIGINAL OPENING 38" w X 38" h - FIXED STEEL HISTORIC REPLACEMENT WINDOW	3'-2"	3'-2"	20 SF	S5
NEW 6' x 6' FIXED ALUMINUM STOREFRONT WINDOW TO MATCH OPENING SIZE & MULLION PATTTERN OF ORIGINAL HISTORIC WINDOWS	6'-0"	6'-0"	684 SF	W1
NEW ALUMINUM STOREFRONT WINDOW 6' w x 2' h	2'-0"	6'-0"	96 SF	W2
NEW ALUMINUM STOREFRONT WINDOW 9' w x 2' h	2'-0"	9'-0"	54 SF	W3
NEW ALUMINUM STOREFRONT WINDOW 9' w x 44" h	3'-8"	9'-0"	99 SF	W4
NEW ALUMINUM STOREFRONT WINDOW 6' w x 44" h	3'-8"	6'-0"	66 SF	W5
Grand total:			1,386 SF	

ALL NEW WINDOW OPENING GLAZING WILL MEET  
THE GLAZING PRODUCT INFORMATION SHOWN BELOW



2  
A-C1  
ARCHITECTURAL ELEVATION - EAST - SUP EXHIBIT D WINDOW TYPES  
1/4" = 1'-0"



SunGuard™ SNX 51/23

SNX 51/23 on Clear

Unveil access to light without sacrificing performance

Unlock solar and thermal performance with SunGuard™ SNX 51/23 coating on clear glass. This triple-silver solution on clear offers 51% visible light transmission, 14% outdoor reflectivity and a strong 0.23 SHGC. Its high light-to-solar gain ratio of 2.26 allows light to enter interiors while creating a transparent glass façade, and providing solar performance that meets energy code requirements for the strictest regions in North America. Its neutral-blue outdoor reflected color can complement a variety of façade designs, while its strong Color Rendering Index helps ensure natural light quality indoors and a color-neutral view from the inside out.



Product Information				
Substrate	Clear Float 5-12 mm	Guardian CrystalGray® 10 mm	Green® 6 mm	
Base Glass Thickness	Guardian UltraClear® 10 mm			
Applications	Windows / Skylights / Facades / Roof windows / Curtain walls / Doors			
Manufacturing options	Heat Strengthened / Heat Soaked / Annealed / Tempered / Bent / Laminated			
Recommended Coating Positions	Surface 2 (double IGU) / Surface 2 (triple IGU)			
Maximum Size	130' x 40'			
Edge Detail	Yes			
Glass type	Low E			
Glass functions	Solar control / Thermal insulation			
Fabrication options	Must be used in an Insulating Glass Unit			
Appearance	Blue Neutral			



Visible Light				Solar Energy				Thermal Properties			
Transmittance Visible (T <sub>v</sub> ) (%)	Reflectance pv % out	General Color Rendering Index (Ra)	Trans U <sub>v</sub> (U <sub>v</sub> % in)	Transmittance Solar (T <sub>s</sub> ) (%)	Reflectance Solar (R <sub>s</sub> ) (%)	Absorbance Solar (A <sub>s</sub> ) (%)	Solar Heat Gain Coefficient (SHGC)	Shading Coefficient (Sc)	U-Value Winter Night (Btu/h·ft²·°F)	U-Value Summer Day (Btu/h·ft²·°F)	Light to Solar Gain (LSG)
Double Glazed 6-12.7-6 SunGuard™ SNX 51/23 on Clear Float #2, Clear Float, 100% Air Fill											
S1	14	14	92.0	10	35	44	0.21	0.27	0.286	0.266	2.18
Triple Glazed 6-12.7-6 SunGuard™ SNX 51/23 on Clear Float #2, Clear Float, 100% Air Fill											
46	16	19	90.5	9	35	36	0.21	0.24	0.213	0.214	2.18

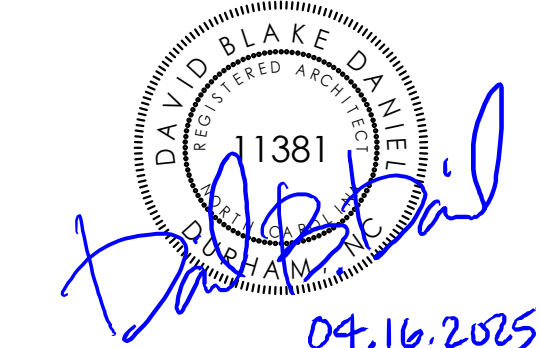
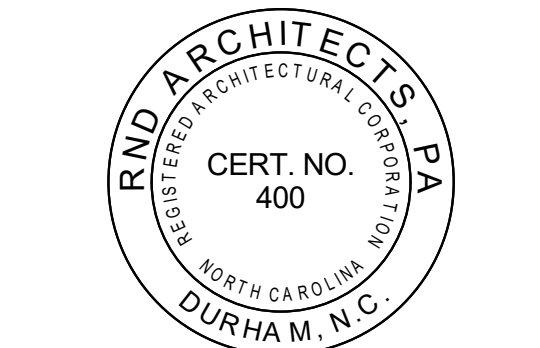
The performance values shown are nominal and subject to variations due to manufacturing tolerances. Spectra-photometric values according to NFRC2010 / US Standard.



RND Architects, PA  
3608 University Drive  
Suite 204  
Durham, NC 27707  
(919) 490 - 1266  
www.RNDarchitects.com

IN ASSOCIATION WITH:

PROFESSIONAL SEALS:

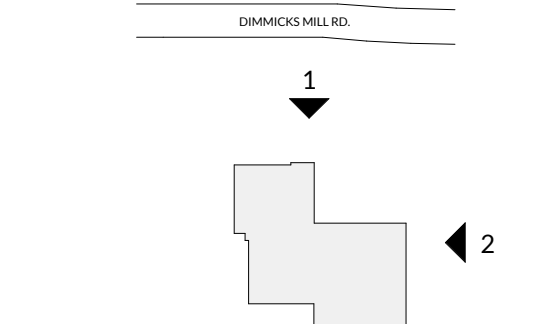


PROJECT INFORMATION:

Town of Hillsborough  
Adron F. Thompson  
Addition & Renovation

2231.01  
715 Dimmocks Mill Road, Hillsborough, NC

KEY PLAN:



REVISIONS

No.	Date	Description
1	04.16.2025	TRC COMMENTS

© 2025 RND Architects, PA

These drawings and specifications are instruments of service and as such remain the property of the architect. Their use is restricted to the original site for which they were prepared and publication there of is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited.

Original drawing is 24"x36". Do not scale contents.

DRAWN:	CHECKED:	DATE:
EJW	DBD	02.27.2025

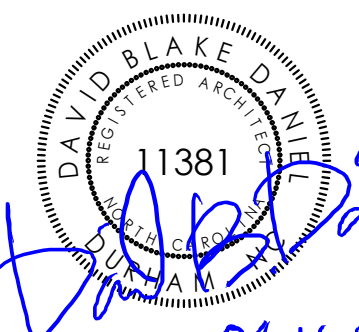
Sheet Name

ARCHITECTURAL  
ELEVATIONS EXHIBITS C&D -  
OPENING & GLAZING INFO

Sheet Number

A-C1





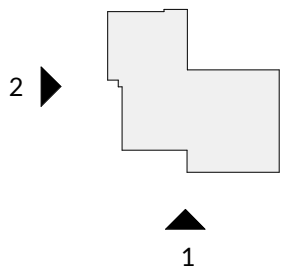
04.16.2025

Town of Hillsborough  
Adron F. Thompson  
Addition & Renovation

2231.01  
715 Dimmocks Mill Road, Hillsborough, NC

KEY PLAN:

DIMMOCKS MILL RD.



REVISIONS

No.	Date	Description
1	04.16.2025	TRC COMMENTS

© 2025 RND Architects, PA

These drawings and specifications are instruments of service and as such remain the property of the architect. Their use is restricted to the original site for which they were prepared and publication there of is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited.

Original drawing is 24"x36". Do not scale contents.

DRAWN:	CHECKED:	DATE:
EJW	DBD	02.27.2025

Sheet Name

ARCHITECTURAL  
ELEVATIONS EXHIBITS C&D -  
OPENING & GLAZING INFO

Sheet Number

A-C2

68



TOWN OF HILLSBOROUGH UDO ARTICLE 6.7.5.4 REQUIRES BUILDING WINDOWS TO HAVE A VERTICAL-TO-HORIZONTAL RATIO OF 1:2. HOWEVER, THE EXISTING HISTORIC WINDOW OPENING SIZE OF 6'x6' AND 6'x5' WILL DICTATE THE NEW ADDITION WINDOW SIZES TO MATCH THE APPEARANCE OF THE EXISTING STRUCTURE.

ALL NEW WINDOWS IN THE ADDITION ARE STOREFRONT AND AS SUCH ARE EXEMPT FROM THIS REQUIREMENT.

EXTERIOR WINDOW SCHEDULE				
Description	Height	Width	Area	Type Mark
ORIGINAL OPENING 6'w x 6'h - FIXED STEEL HISTORIC REPLACEMENT WINDOW	6'-0"	6'-0"	180 SF	S1
ORIGINAL OPENING 5'w x 6'h - FIXED STEEL HISTORIC REPLACEMENT WINDOW	6'-0"	5'-0"	90 SF	S2
ORIGINAL OPENING 58 1/2" w X 42 1/2" h - FIXED STEEL HISTORIC REPLACEMENT WINDOW	3'-6 1/2"	4'-10 1/2"	69 SF	S3
ORIGINAL OPENING 36" w X 56" h - FIXED STEEL HISTORIC REPLACEMENT WINDOW	4'-8"	3'-0"	28 SF	S4
ORIGINAL OPENING 38" w X 38" h - FIXED STEEL HISTORIC REPLACEMENT WINDOW	3'-2"	3'-2"	20 SF	S5
NEW 6' x 6' FIXED ALUMINUM STOREFRONT WINDOW TO MATCH OPENING SIZE & MULLION PATTERN OF ORIGINAL HISTORIC WINDOWS	6'-0"	6'-0"	684 SF	W1
NEW ALUMINUM STOREFRONT WINDOW 6' w x 2' h	2'-0"	6'-0"	96 SF	W2
NEW ALUMINUM STOREFRONT WINDOW 9' w x 2' h	2'-0"	9'-0"	54 SF	W3
NEW ALUMINUM STOREFRONT WINDOW 9' w x 44" h	3'-8"	9'-0"	99 SF	W4
NEW ALUMINUM STOREFRONT WINDOW 6' w x 44" h	3'-8"	6'-0"	66 SF	W5
Grand total: 52			1,386 SF	

ALL NEW WINDOW OPENING GLAZING WILL MEET THE GLAZING PRODUCT INFORMATION SHOWN BELOW

**SunGuard™ SNX 51/23**

SNX 51/23 on Clear

Unveil access to light without sacrificing performance

Unlock solar and thermal performance with SunGuard™ SNX 51/23 coating on clear glass. This triple-silver solution on clear offers 51% visible light transmission, 14% outdoor reflectivity and a strong 0.23 SHGC. Its high light-to-solar gain ratio of 2.26 allows light to enter interiors while creating a transparent glass façade, and providing solar performance that meets energy code requirements for the strictest regions in North America. Its neutral-blue outdoor reflected color can complement a variety of façade designs, while its strong Color Rendering Index helps ensure natural light quality indoors and a color-neutral view from the inside out.



Product Information				
Substrate	Clear Float 5-12 mm	Guardian CrystalGray 6-10 mm	Green 6 mm	
Base Glass/Thickness	Guardian UltraClear 6-10 mm	Gray 6 mm		
Applications	Windows / Skylights / Facades / Roof window / Curtain walls / Doors			
Manufacturing options	Heat Strengthened / Heat Soaked / Annealed / Tempered / Bent / Laminated			
Recommended Coating Positions	Surface 2 (double IGU) / Surface 2 (triple IGU)			
Maximum Size	130'x240'			
Edge Detail	Yes			
Glass type	Low E			
Glass functions	Solar control / Thermal insulation			
Fabrication options	Must be used in an insulating glass unit			
Appearance	Blue Neutral			



Visible Light				Ultraviolet		Solar Energy					Thermal Properties			Light to Solar Gain (LSG)
Transmittance	Reflectance	General Color Rendering Index (CRI)	Transmittance	Reflectance	Absorbance	Solar Heat Gain Coefficient (SHGC)	Shading Coefficient (SC)	U-Value	Winter Night (W <sub>int</sub> )	Summer Day (S <sub>um</sub> )				
Visible (T <sub>vis</sub> )	per cent	per cent	per cent	per cent	per cent	per cent	per cent	per cent	per cent	per cent	per cent	per cent		
Double Glazed 6-12-6 SunGuard® SWS 51/23 on Clear Float #1, Clear Float, 100% Air Fill														
51	14	14	92.0	10	19	35	44	47	0.23	0.27	0.286	0.260	2.18	
Triple Glazed 6-12-6-12-6 SunGuard® SWS 51/23 on Clear Float #1, Clear Float, Clear Float, 100% Air Fill														
46	16	19	90.5	9	17	35	36	48	0.21	0.24	0.213	0.214	2.18	

The performance values shown are nominal and subject to variations due to manufacturing tolerances. Spectra photometric values according to NFRC 2010 / US Standard.

The performance values shown are nominal and subject to variations due to manufacturing tolerances. Spectra-photometric values according to NFRC 2010 / US Standard.

TOTAL HEIGHT FROM NORTH FACADE: 25' - 11"

TOWN OF HILLSBOROUGH UDO TABLE 6.3.2  
REQUIRES THAT BUILDINGS ZONED AS OI ARE  
RESTRICTED TO A MAXIMUM BUILDING  
HEIGHT OF 40 FEET.

ACCESSORY STRUCTURE IS ARCHITECTURALLY COMPATIBLE  
WITH THE PRIMARY STRUCTURE .

PRIMARY BUILDING MATERIAL IS MASONRY BRICK (62%).

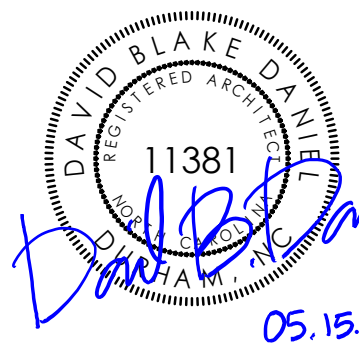
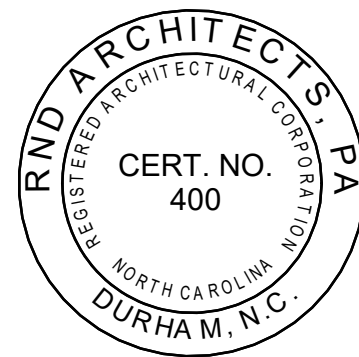
RND  
architects

RND Architects, PA  
3608 University Drive  
Suite 204  
Durham, NC 27707

(919) 490 - 1266  
www.RNDarchitects.com

IN ASSOCIATION WITH:

PROFESSIONAL SEALS:

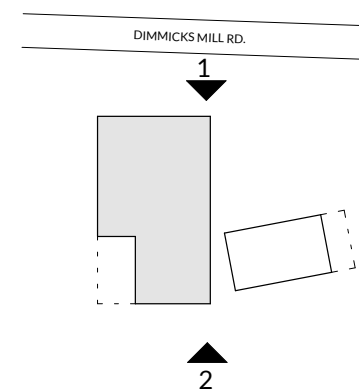


PROJECT INFORMATION:

Town of Hillsborough  
Adron F. Thompson  
Addition & Renovation

2231.01  
715 Dimmicks Mill Road, Hillsborough, NC

KEY PLAN:



REVISIONS

No.	Date	Description
1	04.16.2025	TRC REVIEW COMMENTS
2	05.15.2025	SECOND TRC REVIEW COMMENTS

© 2025 RND Architects, PA

These drawings and specifications are instruments of service and as such remain the property of the architect. Their use is restricted to the original site for which they were prepared and publication there-of is expressly limited to such use. Re-use, reproduction or publication by any method, in whole or in part, is prohibited.

Original drawing is 24"x36" - Do not scale contents.

DRAWN:	CHECKED:	DATE:
JSM	DBD	02/03/2025

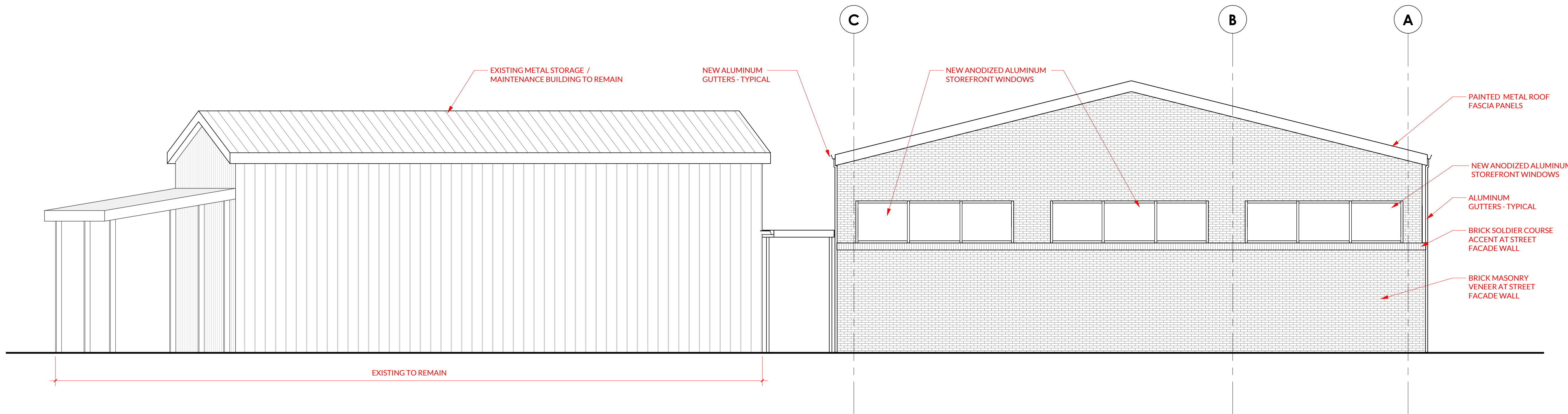
Sheet Name

VEHICLE STORAGE BUILDING  
ELEVATIONS - NORTH &  
SOUTH

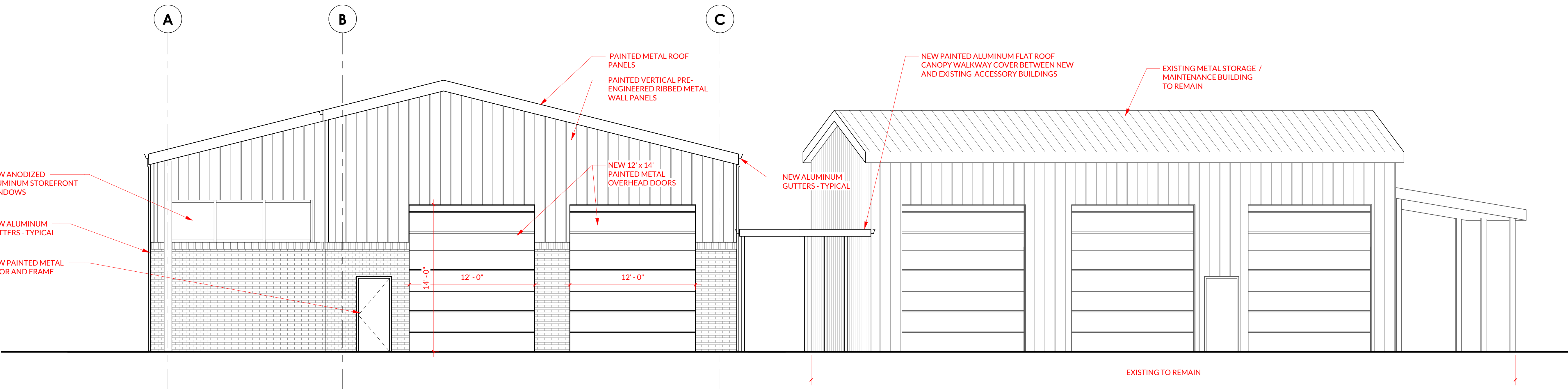
Sheet Number

A-D1

69



1 EXTERIOR ELEVATION - DIMMOCKS MILL FACADE - NORTH  
A-D1 3/16" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH  
A-D1 3/16" = 1'-0"

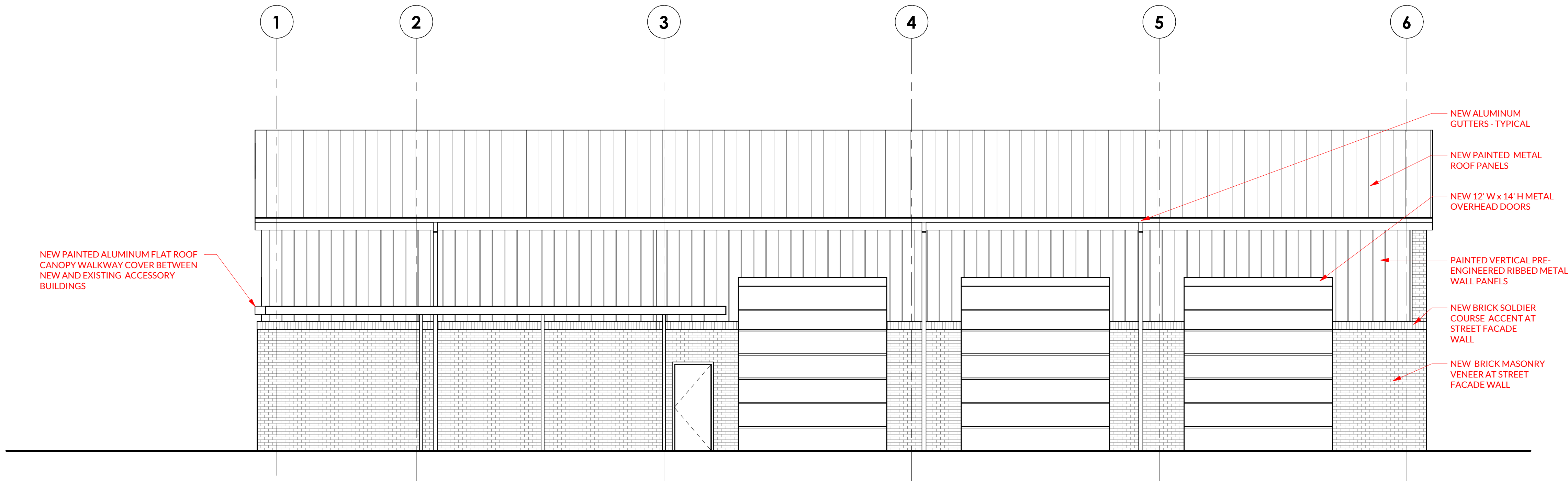


TOTAL HEIGHT FROM NORTH FACADE: 25' - 11"

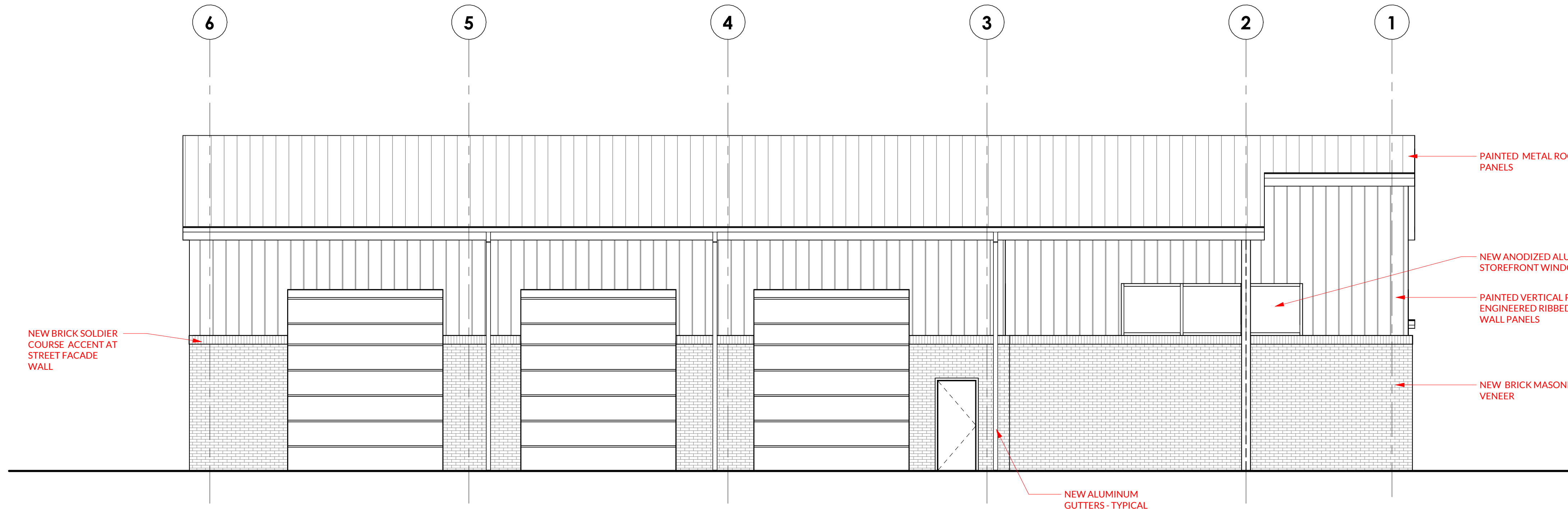
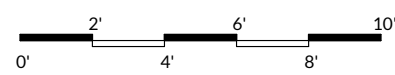
TOWN OF HILLSBOROUGH UDO TABLE 6.3.2  
REQUIRES THAT BUILDINGS ZONED AS OI ARE  
RESTRICTED TO A MAXIMUM BUILDING  
HEIGHT OF 40 FEET.

ACCESSORY STRUCTURE IS ARCHITECTURALLY COMPATIBLE  
WITH THE PRIMARY STRUCTURE.

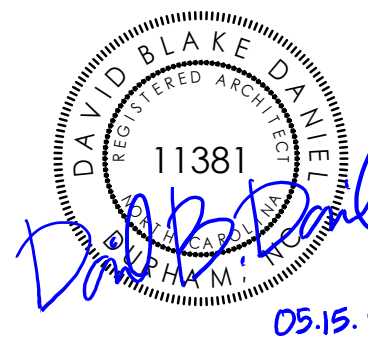
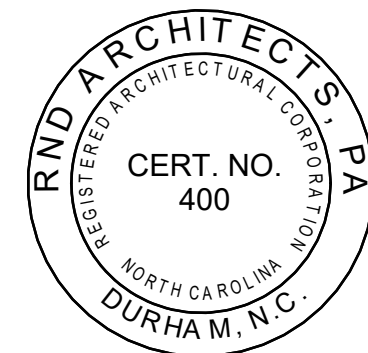
PRIMARY BUILDING MATERIAL IS MASONRY BRICK (62%).



**1 BUILDING ELEVATION - EAST**  
A-D2 3/16" = 1'-0"

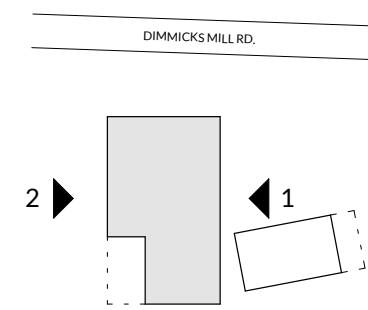


**2 BUILDING ELEVATION - WEST**  
A-D2 3/16" = 1'-0"



Town of Hillsborough  
Adron F. Thompson  
Addition & Renovation

2231.01  
715 Dimmicks Mill Road, Hillsborough, NC



No.	Date	Description
1	04.16.2025	TRC REVIEW COMMENTS
2	05.15.2025	SECOND TRC REVIEW COMMENTS

© 2025 RND Architects, PA  
These drawings and specifications are instruments of service and as such remain the property of the architect. Their use is restricted to the original site for which they were prepared and publication there-of is expressly limited to such use. Re-use, reproduction, or publication by any method, in whole or in part, is prohibited.

DRAWN:	CHECKED:	DATE:
JSM	DBD	02/03/2025

VEHICLE STORAGE BUILDING  
ELEVATIONS - EAST & WEST





Town of Hillsborough  
Adron F. Thompson  
Addition and  
Renovation

715 Dimmocks Mill Road, Hillsborough, NC

Key Plan

Revisions		
No.	Date	Description
1	4/16/25	TRC COMMENTS

Original drawing is 30" x 42". Do not scale contents of this drawing.  
Project Number: 2231.01  
Drawn: JDH  
Checked: JDH  
Date: 02-27-2025  
Sheet Title:  
Site Electrical Plan - Project Area

© 2025 RND Architects, PA.  
These drawings and specifications are instruments of service and as such remain the property of the architect. Their use is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Re-use, reproduction, or publication by any method, in whole or in part, is prohibited.

TOWN OF HILLSBOROUGH  
PIN: 9864048660  
29.69 AC  
VACANT

**TYPE A**  
NEW POLE MOUNTED LED FIXTURE MOUNTED AT 25'. FIXTURE PROVIDED WITH FULL CUT-OFF, FORWARD THROW OPTICS, INTEGRAL BACK-LIGHT CONTROL, LOUVER FOR SHARP BACK SHILL CUT-OFF. FIXTURE PROVIDED WITH INTEGRAL CONTROLS TO INCLUDE PHOTO SENSOR AS WELL AS MOTION SENSOR. MOTION SENSOR WILL DIM (OR TURN OFF FIXTURE) WHEN NO MOTION IS DETECTED. MINIMUM DIM LEVEL (OR OFF) AND TIME DELAYS ARE USER CONFIGURABLE.

**TYPE B**  
NEW WALL MOUNTED LED FIXTURES. FULL CUT-OFF, FORWARD THROW. FIXTURES CONTROLLED BY ASTRONOMICAL TIME SWITCH THAT CAN BE SET FROM DUSK TO DAWN OR OWNER SCHEDULE.

**TYPE B**  
NEW WALL MOUNTED LED FIXTURES. FULL CUT-OFF, FORWARD THROW. FIXTURES CONTROLLED BY ASTRONOMICAL TIME SWITCH THAT CAN BE SET FROM DUSK TO DAWN OR OWNER SCHEDULE.

NEW COVERED  
OUTDOOR STORAGE AREA  
WITH CEILING MOUNTED,  
NORMALLY OFF FIXTURES

EXISTING WALL  
MOUNTED LED  
FIXTURES TO REMAIN.  
FIXTURES MOUNTED AT  
12" ABOVE GRADE.

**TYPE A2**  
NEW POLE MOUNTED LED FIXTURES. TWO (2) MOUNTED AT 25'. FIXTURES PROVIDED WITH FULL CUT-OFF, FORWARD THROW OPTICS AND INTEGRAL CONTROLS TO INCLUDE PHOTO SENSOR AS WELL AS MOTION SENSOR. MOTION SENSOR WILL DIM (OR TURN OFF FIXTURE) WHEN NO MOTION IS DETECTED. MINIMUM DIM LEVEL (OR OFF) AND TIME DELAYS ARE USER CONFIGURABLE.

**TYPE B**  
NEW WALL MOUNTED LED FIXTURES. FULL CUT-OFF, FORWARD THROW. FIXTURES CONTROLLED BY ASTRONOMICAL TIME SWITCH THAT CAN BE SET FROM DUSK TO DAWN OR OWNER SCHEDULE.

**TYPE A3**  
NEW POLE MOUNTED LED FIXTURE MOUNTED AT 25'. FIXTURE PROVIDED WITH FULL CUT-OFF, FORWARD THROW. FIXTURE PROVIDED WITH INTEGRAL CONTROLS TO INCLUDE PHOTO SENSOR AS WELL AS MOTION SENSOR. MOTION SENSOR WILL DIM (OR TURN OFF FIXTURE) WHEN NO MOTION IS DETECTED. MINIMUM DIM LEVEL (OR OFF) AND TIME DELAYS ARE USER CONFIGURABLE.

NEW DIESEL FUELED GENERATOR TO  
REPLACE EXISTING IN SAME LOCATION  
WITH SLIGHTLY LARGER FOOT-PRINT

**TYPE C**  
BUILDING MOUNTED LED FIXTURES MOUNTED AT APPROXIMATELY 9' ABOVE GRADE. FIXTURES ARE FULL CUT-OFF. FIXTURES CONTROLLED BY ASTRONOMICAL TIME SWITCH THAT CAN BE SET FROM DUSK TO DAWN OR OWNER SCHEDULE. (TYPICAL OF ALL)

**TYPE D**  
BUILDING MOUNTED LANTERN FIXTURE WITH LED 'A' LAMP. FIXTURES HAVE OPAQUE LENS TO DIFFUSE LIGHT. ASTRONOMICAL TIME CLOCK CONTROL.

**TYPE D**  
BUILDING MOUNTED LANTERN FIXTURE WITH LED 'A' LAMP. FIXTURES HAVE OPAQUE LENS TO DIFFUSE LIGHT. ASTRONOMICAL TIME CLOCK CONTROL.

**TYPE E**  
BUILDING MOUNTED LED BARN LIGHT TO REPLACE EXISTING INDUSTRIAL HID FIXTURE. NEW FIXTURE WILL BE FULL CUT-OFF. ASTRONOMICAL TIME CLOCK CONTROL.

**TYPE D**  
BUILDING MOUNTED LANTERN FIXTURE WITH LED 'A' LAMP. FIXTURES HAVE OPAQUE LENS TO DIFFUSE LIGHT. ASTRONOMICAL TIME CLOCK CONTROL.

ADMIN BUILDING  
RENOVATION AND ADDITION

EXISTING CLEARWELL

NEW BUILDING ADDITION

EXISTING CLEARWELL

EXISTING CLEARWELL

EXISTING CLEARWELL

Graphic Scale

1/16" = 1'-0"

0' 8' 16' 32' 64'

# 1 ES-102

## Electrical Site Renovation Plan

SCALE: 1/16" = 1'-0" Project Area

### ELECTRICAL RENOVATION NOTES:

- SEE ES200 SERIES SHEETS FOR FIXTURE DETAILS.
- UTILITY DEPARTMENT NORMAL BUSINESS HOURS 7:00AM TO 5:00PM.







Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_ Type: \_\_\_\_\_  
Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_

## Slim Wall Pack (WPSLL)



OVERVIEW	
Lumen Package (lm)	4,000 - 8,000
Wattage Range (W)	40 - 80
Efficacy Range (LPW)	106 - 130
Weight lbs (kg)	7.9 (3.6)



Town of Hillsborough  
Adron F. Thompson  
Addition and  
Renovation715 Dimmocks Mill Road, Hillsborough, NC  
Key Plan715 Dimmocks Mill Road, Hillsborough, NC  
Key Plan

Revisions		
No.	Date	Description
1	4/16/25	TRC COMMENTS

Original drawing is 30" x 42". Do not scale contents of this drawing.

Project Number: 2231.01  
Drawn: JDH  
Checked: JDH  
Date: 02-27-2025

Sheet Title  
Site Lighting Calculations - Overview

Sheet Number

© 2025 RND Architects, PA.  
These drawings and specifications are instruments of service and as such remain the property of the architect. Their use is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Re-use, reproduction, or publication by any method, in whole or in part, is prohibited.

Original drawing is 30" x 42". Do not scale contents of this drawing.

Project Number: 2231.01  
Drawn: JDH  
Checked: JDH  
Date: 02-27-2025

Sheet Title  
Site Lighting Calculations - Overview

Sheet Number

Original drawing is 30" x 42". Do not scale contents of this drawing.

Project Number: 2231.01  
Drawn: JDH  
Checked: JDH  
Date: 02-27-2025

Sheet Title  
Site Lighting Calculations - Overview

Sheet Number

Original drawing is 30" x 42". Do not scale contents of this drawing.

Project Number: 2231.01  
Drawn: JDH  
Checked: JDH  
Date: 02-27-2025

Sheet Title  
Site Lighting Calculations - Overview

Sheet Number

Original drawing is 30" x 42". Do not scale contents of this drawing.

Project Number: 2231.01  
Drawn: JDH  
Checked: JDH  
Date: 02-27-2025

Sheet Title  
Site Lighting Calculations - Overview

Sheet Number

Original drawing is 30" x 42". Do not scale contents of this drawing.

Project Number: 2231.01  
Drawn: JDH  
Checked: JDH  
Date: 02-27-2025

Sheet Title  
Site Lighting Calculations - Overview

Sheet Number

TOWN OF HILLSBOROUGH  
PIN: 9864048660  
29.69 AC  
VACANT1 Site Lighting Photometrics  
ES-301

SCALE: 1" = 40'

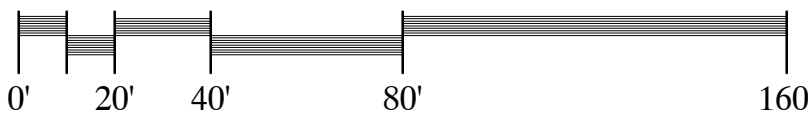
Site Property Line

## ELECTRICAL RENOVATION NOTES:

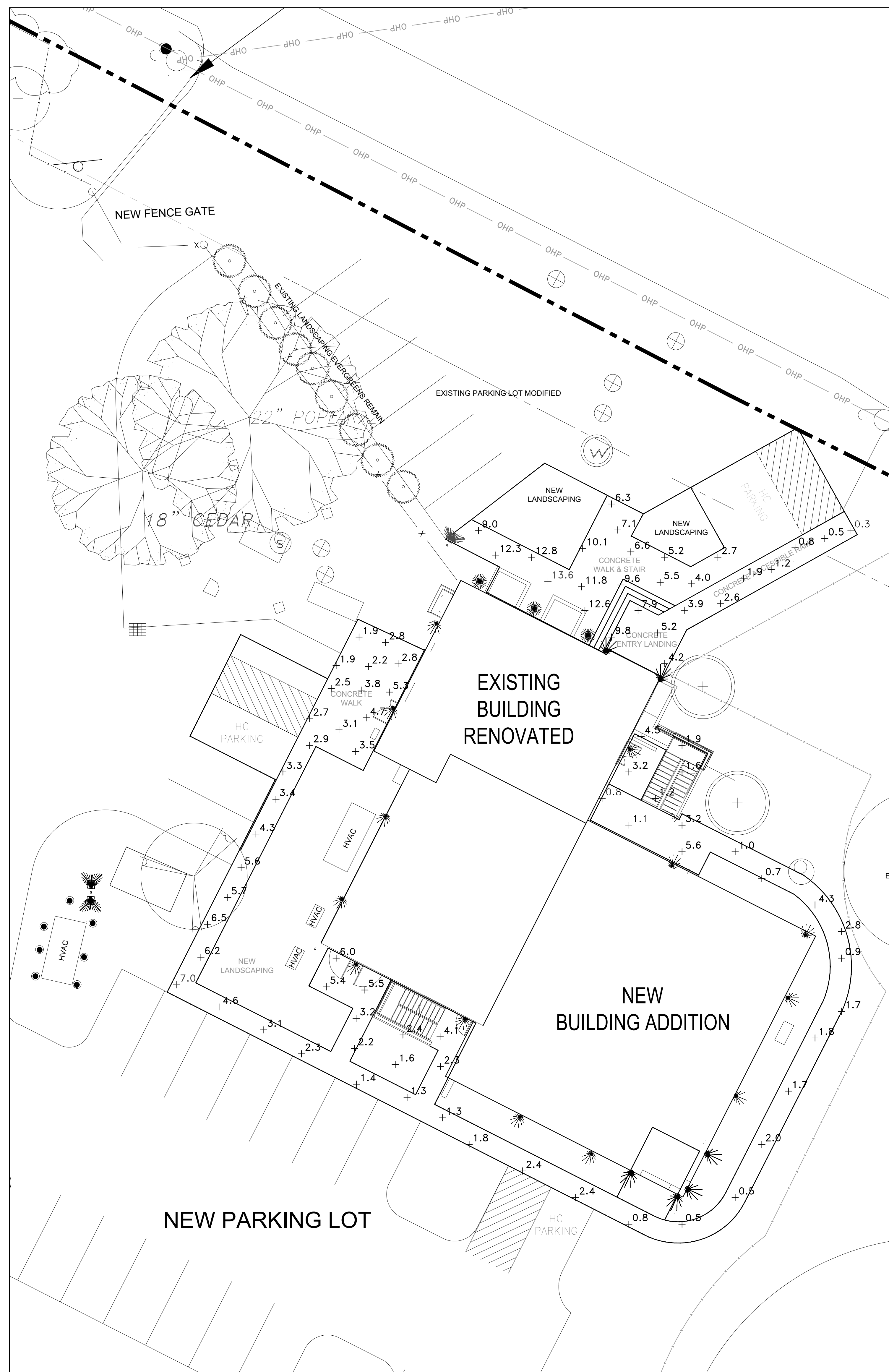
- CALCULATIONS AT THE PROPERTY LINE ARE AT GROUND LEVEL SENSING LIGHT FROM STRAIGHT UP DIRECTION. MEASURED VALUES TAKEN AT HIGHER ELEVATIONS AND/OR WITH SENSOR FACING LIGHT SOURCES WILL BE HIGHER DUE TO ANGLE OF EXISTING FIXTURES.
- CALCULATIONS DO NOT FACTOR IN EXISTING VEGETATION.
- CALCULATIONS DO NOT INCLUDE CONTRIBUTIONS FROM DUKE ENERGY LIGHT POLES OUTSIDE OF THE SITE FENCE.

## Graphic Scale

1" = 40'-0"

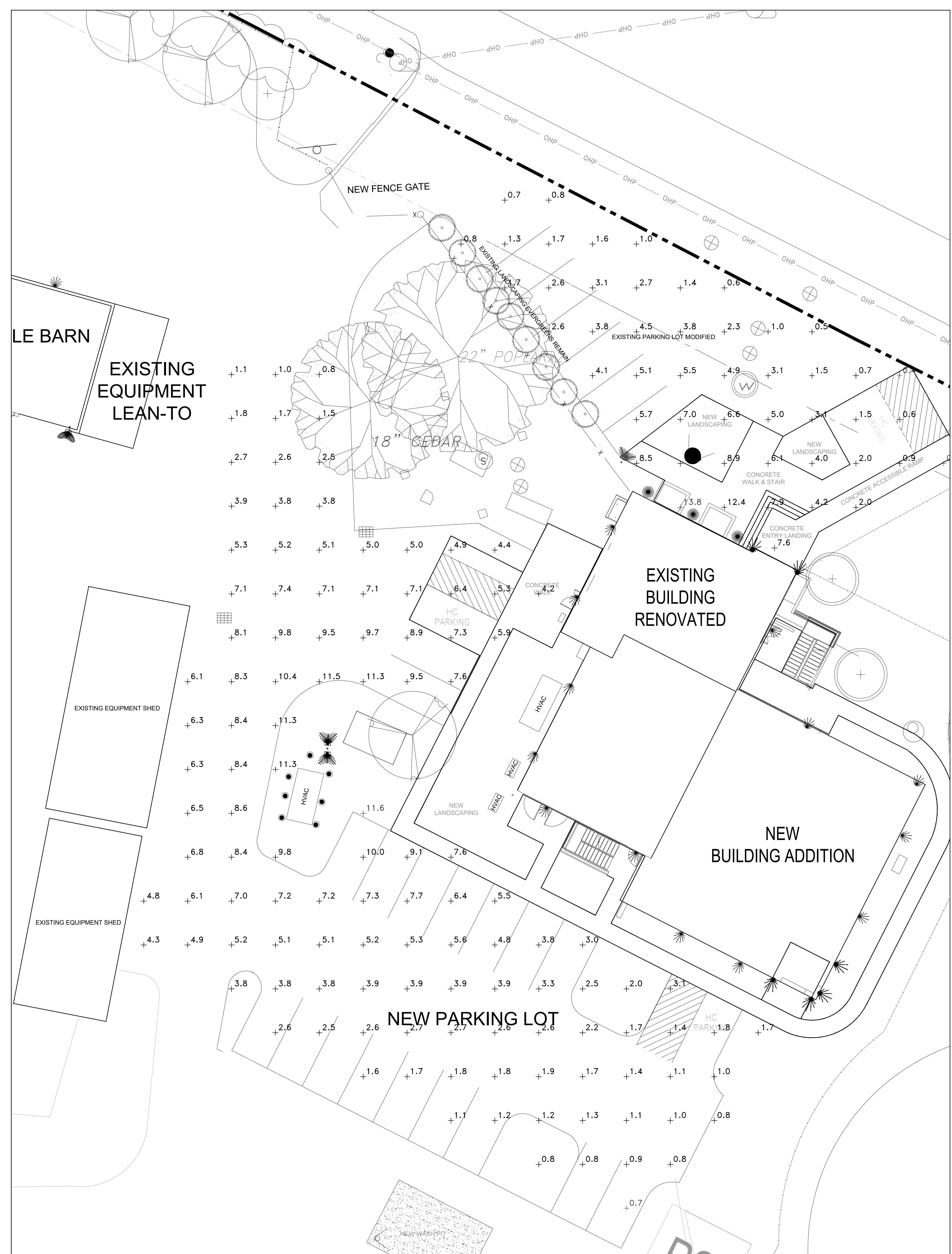
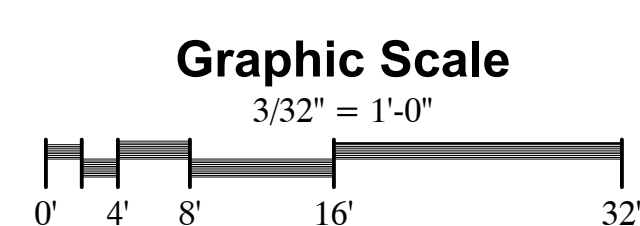






1 Site Lighting Photometrics  
 ES-302 SCALE: 3/32" = 1'-0" Project Area Side Walks

	Statistics					
Description	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Lower Sidewalks Around Building	3.0 f/c	7.1 f/c	0.5 f/c	14.2:1	6:0.1	0.4:1
Front Sidewalk at Upper Lot	6.5 f/c	13.6 f/c	0.3 f/c	45.3:1	21.7:1	0.5:1
Lower Parking Lot	4.8 f/c	11.6 f/c	0.7 f/c	16.6:1	6.9:1	0.4:1
Upper Parking Lot	3.7 f/c	13.6 f/c	0.4 f/c	34.5:1	9.3:1	0.3:1



2 Site Lighting Photometrics  
 ES-302 SCALE: 3/32" = 1'-0" Project Area Parking



Town of  
Hillsborough  
Adron F.  
Thompson  
Addition and  
Renovation

715 Dimmocks Mill Road, Hillsborough, NC

Key Plan

## Revisions

No.	Date	Description
1	4/16/25	TRC COMMENTS

© 2025 RND Architects, PA.  
These drawings and specifications are instruments of service  
and as such remain the property of the architect. Their use is  
restricted to the original site for which they were prepared  
and publication thereof is expressly limited to such use. Re-  
use, reproduction, or publication by any method, in whole or  
in part, is prohibited.

Original drawing is 30" x 42". Do not scale contents of this  
drawing.  
Project Number: 2231.01  
Drawn: JDH  
Checked: JDH  
Date: 02-27-2025

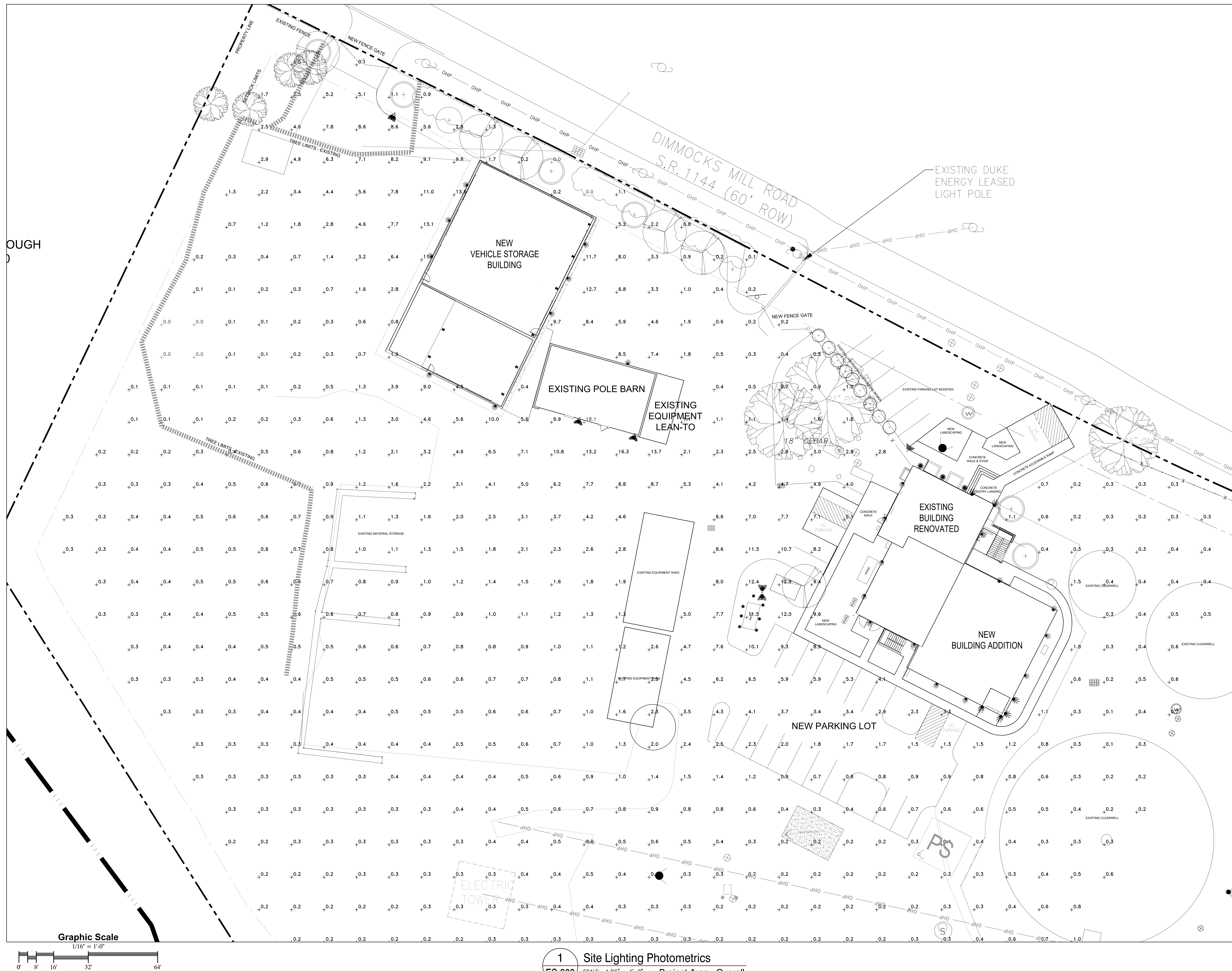
Sheet Title:

Site Lighting Calculations -  
Project Area

Sheet Number

ES-303

77





# ATTACHMENT #2

## Future Land Use Map and UDO Provisions Relative to the Case

### **Future Land Use Map Classification:**

**Light Industrial:** The Industrial classification is applied to areas that currently support industrial uses or lands that could accommodate a variety of industrial establishments which employ high environmental quality standards and have minimal impacts on adjacent uses. These areas incorporate larger tracts of land because of their nature and function. Industrial developments should provide shared access and have a coordinated design and a planned layout. *Zoning Districts: High Intensity Commercial; Business Park; Economic Development District; Light Industrial, General Industrial.*

### **UDO Provisions:**

**Section 4 (Zoning Districts), Subsection 4.2 (Business Base Zoning Districts), Paragraph 4.2.2 (Office/Institutional District (OI)), Sub-paragraph 4.4.2.1 (Intent):** The purpose of the OI District is to accommodate the location and establishment of medium density professional and business offices and institutions in close proximity to single-family detached residential units. This district is generally located near residential neighborhoods and often serves as a buffer or transition between residential neighborhoods and more intense business districts.

### **Section 9 (Definitions), Subsection 9.2 (Definitions):**

**Public Utilities:** Facilities and improvements for the provision of water, sewage, electricity, natural gas, cable television, or telephone service (excluding telecommunication towers) to or through an area. This category of uses includes but is not limited to, water treatment plants, wastewater treatment plants, elevated water tanks, electric substations, and other significant installations. This use does not include minor above ground items like transformers, telephone switches or exchanges, or pumping stations.

# ATTACHMENT #3

## Zoning History

December 6, 1979: Town adopts extraterritorial zoning (extension of town zoning and subdivision regulations within a limited area of the county; normally one-mile distant from corporate limits. The “1980 Zoning Map - Town of Hillsborough” indicates the property is zoned R-20 (Residential).

November 10, 1987: Copy of town’s “Official Zoning Map” of this date (with notations regarding nonconforming properties dating from May 31, 1989), indicates the property is zoned AR (Agricultural-Residential).

May 31, 1989 – August 1, 2007: Property is zoned OI (Office/Institutional) at some point during this period.

November 15, 1994: Zoning Permit #002327 issued for an 18-foot by 20-foot addition to the Streets Department building. Project involves repaving an existing driveway and installing new fencing.

February 23, 2009: Zoning Permit #4129 issued for a 30-foot by 50-foot storage building.

March 30, 2012: Zoning Compliance Permit #4590 issued for a 25-foot by 50-foot pole shed to be used for equipment storage.

March 16, 2017: Zoning Compliance Permit #5937 issued for a temporary construction trailer for office space while another town facility is renovated.

May 3, 2019: Floodplain Development Permit issued for demolition of the old fleet maintenance building. Project involves returning demolished area to original grade and re-establishing vegetation.

November 13, 2024: Board of Adjustment grants variance from UDO Section 5 (Use Standards), Subsection 5.2 (Use-specific Standards), Paragraph 5.2.40 (Public Utilities), Sub-paragraph 5.2.40.1 (Standards of Evaluation), Item 5.2.40.1.g. The request is for a maximum 80-foot variance from the required 100-foot setback applicable to certain public utility structures. The request specifically relates to the requirement as applied to the property’s Dimmocks Mill Road frontage.