

Agenda

HISTORIC DISTRICT COMMISSION

Regular meeting

6:30 p.m. August 6, 2025

Board Meeting Room of Town Hall Annex, 105 E. Corbin St.



Public charge: The Hillsborough Historic District Commission pledges to the community of Hillsborough its respect. The commission asks members of the public to conduct themselves in a respectful, courteous manner with the commission members and with fellow community members. At any time should any member of the commission or community fail to observe this public charge, the chair or the chair's designee will ask the offending person to leave the meeting until that individual regains personal control. Should decorum fail to be restored, the chair or the chair's designee will recess the meeting until such time that a genuine commitment to this public charge can be observed.

Public comment guidelines: All meetings shall be open to the public. The public may attend, but public comment shall be limited to those members of the public who have expert testimony or factual evidence directly related to an application on the agenda. Other public comments are permissible at the discretion of the Chair but shall not be used to render the Commission's decision on an agenda item. At the discretion of the Chair, a time limit may be placed on speakers other than the applicant to afford each citizen an equitable opportunity to speak in favor of, or in opposition to, an application.

1. Call to order, roll call, and confirmation of quorum

2. Commission's mission statement

To identify, protect, and preserve Hillsborough's architectural resources and to educate the public about those resources and preservation in general. The Hillsborough Historic District presents a visual history of Hillsborough's development from the 1700s to the 1960s. In 1973, the town chose to respect that history through the passage of the preservation ordinance creating the historic district.

3. Agenda changes

4. Minutes review and approval

Approve minutes from special meeting on July 16, 2025

5. Written decision review and approval

Approve written decision from special meeting on July 16, 2025

6. New business

- A. Certificate of Appropriateness Application: **326 N. Cameron St.** - Add rear second story shed dormer and replace greenhouse with screened porch (PIN 9874185204)
- B. Certificate of Appropriateness Application: **311 W. Orange St.** - New construction house (PIN 9864883297)

7. Certified Local Government (CLG) training update

8. General updates

9. Adjournment

Interpreter services or special sound equipment for compliance with the American with Disabilities Act is available on request. If you are disabled and need assistance with reasonable accommodations, call the Town Clerk's Office at 919-296-9443 a minimum of one business day in advance of the meeting.

Minutes

HISTORIC DISTRICT COMMISSION

Special meeting

6:30 p.m. July 16, 2025

Conference Room of Town Hall Annex, 105 E. Corbin St.



Present: Vice Chair Hannah Peele and members G. Miller, Sara Riek and Bill Warren

Absent: Chair Will Senner and member Daniel Widis

Staff: Planner Joseph Hoffheimer and Town Attorney Alan (Al) Andrews

1. Call to order, roll call, and confirmation of quorum

Vice Chair Hannah Peele called the meeting to order at 6:31 p.m. She called the roll and confirmed the presence of a quorum.

2. Commission's mission statement

Peele read the statement.

3. Agenda changes

There were no changes to the agenda.

4. Minutes review and approval

Minutes from regular meeting on June 4, 2025.

Motion: Member G. Miller moved to approve the minutes from the regular meeting on June 4, 2025, as submitted. Member Bill Warren seconded.

Vote: 4-0.

Planner Joseph Hoffheimer said the written decisions from the June regular meeting had been approved via email and signed by Chair Will Senner.

5. New business

- A. Certificate of Appropriateness Application: 320 B W. Orange St.
New construction house on the rear parcel (PIN 9864882685).

Alex Sayre was sworn in to speak on behalf of the application. Hoffheimer was sworn in.

Peele opened the public hearing and asked whether there were any conflicts of interest or bias among the commissioners. None were disclosed.

Hoffheimer introduced the application by presenting the staff report. He noted that the inventory information, application materials, and applicable design standards would be entered into the record as evidence. He provided the staff comments:

- This application was scheduled to be heard at the June regular meeting. Due to a town error with the mailed notices, the application could not be heard in June. The applicant has since requested this special meeting.
- The parcel in question (PIN 9864882685) was recently subdivided from the front parcel and now has an address of 320 B W. Orange St. in Orange County GIS.
- Prior to the June regular meeting, the applicant submitted additional information in response to staff feedback. Staff still have the following comments about the application materials:
 - The electronic version of the front elevation is difficult to read, and staff advised the applicant to submit a higher-resolution version.
 - The side elevations were split from a combined elevation into two separate elevations, but the fenestration plans for the west elevation and open area on the east elevation still need to be clarified.
- Windows, light fixtures, and any other unspecified materials will need to be confirmed prior to construction.
- The plants in the landscaping plan do not require Historic District Commission approval.
- Staff are not aware of any similarly sited houses of this style in the historic district.

Hoffheimer added that the parcel is a flag lot and would use a private driveway through the front parcel. He said the final staff comment about the siting was in relation to the building facing the street and having another building sited in front of it.

Sayre introduced the application by saying the 2800 square-foot home would be set back 160 feet from West Orange Street, with access via a shared driveway. He explained that he tried to follow the design standards and keep with the character of Hillsborough.

The commissioners reviewed the plot plan. Sayre said the lot is about 0.5 acres, and the lot in front of it is roughly the same size. He said the 40-inch oak tree is the only tree over 24 inches on the lot, and that tree protection fencing will be installed around it. He said the owners had already installed tree protection. He added that no greenery of significance would be removed from the front of the lot, and nothing on the other lot would be touched.

The commissioners discussed the unusual nature of the lot and the lack of other flag lots in the district to compare it to. They noted the house will be facing the street and will be sited well back from the street. Sayre said the front of the house is about 70 feet from the front lot line, and then there is an additional half-acre from the lot line to the street. He said they had intentionally sited it as far back as possible to set the house back from the street and preserve the large oak tree.

It was mentioned that the house is sited to the side of the house in front of it, so the line of houses along the street is preserved and one house does not overlap another visually. It was mentioned that the shape of the lot falls within a gray area with regards to the standards because they do not address this specific type of situation.

It was observed that the house will be relatively difficult to see from the street and doesn't seem to change the streetscape much.

The commissioners reviewed the front elevation. Sayre noted that other examples of the wrap-around porch on three sides can be found in the district.

Sayre said the windows will be white Marvin double-hung with simulated divided lites. He added that the house will also be white. The commissioners noted that these characteristics are similar to some houses in the district.

The commissioners discussed the placement of the garage. It was observed that the garage will be facing the street, whereas other garages on houses of this style are hidden around the side or on the back of the house. Sayre explained that the applicants initially wanted to place the garage on the side of the house, but that it would require a bigger driveway area to turn in, and the driveway was getting too close to the roots of the tree, so they decided to put the garage on the front instead. It was also noted that there are examples of garage doors that face the street on new construction in the district, but that it would seem out of place on a house of a different style. The commissioners agreed the siting of the garage did not appear to be incongruent.

The commissioners reviewed the rear, north elevation.

The commissioners reviewed the west elevation. Sayre said a two-over-two window and a single door similar to the one on the north elevation will be installed along the west elevation. Sayre said the fenestration would be of a consistent style. It was agreed that a condition would be added to the approval that windows and doors must be reviewed by staff.

Sayre said the roofing would be shingle of a weathered wood color. It was observed that the application indicates a metal roof in some places, but Sayre confirmed it will be all shingle. It was agreed that a condition would be added that the roof will be consistent with the design standards.

The commissioners reviewed the east elevation. Sayre clarified that the blank space on the elevation was a remnant of a previous version of the design that had the garage on the side, and that the space would have lap siding. He added that the bottom line on the elevation was also a remnant of the previous version, and that the brick foundation would continue in that spot.

Sayre said the window material would be the Marvin Essential series and would be fiberglass. He said he would send the cut sheet for the windows to Hoffheimer.

Sayre said the siding would be Nichiha or Hardie lap siding, $\frac{3}{8}$ -inch.

Peele summarized the commissioners' discussion: The commissioners found that the application is in keeping with the New Construction of Primary Residential Buildings design standards 1–11. The building faces the main road. Commissioners looked at the street landscape and determined that it resembles close neighbors. The garage on the front of the house is not incongruent given the style of the house. The tree will be protected during construction. The house is set back from the street, which will minimize the difference in height between the house in question and the house in front of it. Peele summarized the conditions that had been discussed.

Peele closed the public hearing.

Motion: Member Sara Riek moved to find as fact that the 320 B W. Orange St. application is in keeping with the overall character of the Historic District and complies with all relevant standards of evaluation based on the commission's discussion of the application and the standards of evaluation in Section 3.12.3 of the Unified Development Ordinance because

the plans are consistent with the Historic District Design Standards: New Construction of Primary Residential Buildings. Warren seconded.

Vote: 4-0.

Motion: Miller moved to approve the application with conditions. Riek seconded.

Vote: 4-0.

Conditions:

- The amount and placement of windows and doors on the west elevation will be approved by staff as testified by the applicant during the review of the application.
- Windows will be approved by staff per the design standards compatibility matrix.

6. Adjournment

Peele adjourned the meeting at 7:09 p.m. without a vote.

Respectfully submitted,



Joseph Hoffheimer

Planner

Staff support to the Historic District Commission

Approved: Month X, 202X

BEFORE THE HILLSBOROUGH HISTORIC DISTRICT COMMISSION

) Application for
) Certificate of Appropriateness
) 320 B W. Orange St.
)

This request for a Certificate of Appropriateness (“COA”) to construct a new construction house on the rear parcel at 320 B W. Orange St. (the “Application”) came before the Hillsborough Historic District Commission (the “HDC”) on July 16, 2025. The HDC held a quasi-judicial hearing and, based on the competent, material, and substantial evidence presented at the hearing, voted 4-0 to approve the Application with conditions. In support of that decision, the HDC makes the following Findings of Fact and Conclusions of Law:

FINDINGS OF FACT

1. The property at issue (the “Property”) is located at 320 B W. Orange St. in the Town of Hillsborough. The Applicant is Alex Sayre and Heelsborough Properties, LLC (the “Applicant”), and the Owners are Jennifer Knoepp and Paul Knoepp (the “Owners”).

2. The Application requests that the HDC grant a Certificate of Appropriateness to:

a. Construct a new single-family house; The house will sit roughly 160 ft. from W. Orange St.; The plans aim to protect a 100 year old oak tree on the western part of the site; The proposed structure is approximately 2,800 square feet, with a front porch oriented to the street that wraps around to include a screened back porch; The roof pitch, window proportions, and overall massing have been selected to be compatible with nearby houses; All exterior colors and fixtures will be submitted to staff if not included in the Application; Final window and door selections will conform to the design standards.

All work will be in accordance with the drawings and plans entered into evidence at the hearing.

3. The Property is in the Hillsborough Historic District, designated by Ordinance No. 4.3.1.2. The Hillsborough Historic District Design Standards, specifically the standards for *New Construction of Primary Residential Buildings* were used to evaluate this request, and the Application is consistent with these standards for the following reasons:

- a. The building faces the main road and resembles nearby houses.
- b. The garage on the front of the house is not incongruent given the style of the house.
- c. The mature tree to the west will be protected during construction.
- d. The house is set back from the street, which will minimize the difference in height between the house in question and the house in front of it.

4. The following individual(s) testified during the evidentiary hearing:

- a. Joseph Hoffheimer, Staff Support to the Historic District Commission, presented the staff report and comments.
- b. Alex Sayre, the Applicant, appeared to present testimony and evidence in support of the Application.

CONCLUSIONS OF LAW

Based on the foregoing FINDINGS OF FACT, the HDC makes the following
CONCLUSIONS OF LAW:

1. The Application is not incongruous with the special character of the Hillsborough Historic District. Therefore, the COA is hereby approved with the following conditions:

- a. The amount and placement of windows and doors on the west elevation will be approved by staff as testified by the applicant during the review of the application.
- b. The window material will be approved by staff per the design standards compatibility matrix.
- c. All necessary permits required by law must be obtained before work may commence. Town staff must be consulted prior to making any alterations to the approved plans. Any unapproved changes observed on a final inspection will be subject to additional fees and must be resolved prior to Town sign-off on the Certificate of Occupancy.

This the 6th day of August, 2025.

Will Senner, Chair
Hillsborough Historic District Commission

APPEALS

A decision of the Commission on an application for a Certificate of Appropriateness may be appealed to the Orange County Superior Court by an aggrieved party. Such appeal shall be made within thirty (30) days of filing of the decision in the office of the Planning Director or the delivery of the notice required in Section 3.12.11, whichever is later. Such appeals to the Orange County Superior Court are in the nature of certiorari and the court shall determine such appeals based on the record generated before the Commission.

ITEM #6. A:

Address: 326 N. Cameron St.

Year Built: c. 1952, 2010-2011

Historic Inventory Information (2013)

This one-story, side-gabled, Minimal Traditional-style house is three bays wide and double-pile with a projecting, front-gabled bay on the left (north) end of the façade. The house has a painted brick veneer, German-profile weatherboards in the gables, an exterior brick chimney on the right (south) elevation, and an interior brick chimney. The house has replacement windows throughout and a modern skylight near the center of the west elevation. The six-light-over-two-panel door is sheltered by a two-bay-wide, shed-roofed porch supported by grouped square posts. A shed-roofed sunroom was added to the right elevation and a rear ell constructed in 2010 [HDC]. A front-gabled, brick garage is set at an angle to the house and is connected to the northeast corner of the house by a gabled breezeway with a gate. It has flush sheathing in the gable, vinyl windows, and an overhead garage door facing Caine Street to the north. A frame shed-roofed bay on the east elevation, supported by square posts, was built in 2011 [HDC]. County tax records date the building to 1952.

Proposed work

- Add rear second-story shed dormer
- Replace greenhouse with screened porch
- Remove interior brick chimney
- Remove street-facing skylight

Application materials

- COA application
- Narrative and existing photos
- Material examples and list
- Examples of similar projects
- Existing and proposed elevations
- Proposed perspective

Applicable Design Standards

- *Masonry:* 1
- *Exterior Walls:* 8
- *Roofs:* 8, 10
- *Porches, Entrances, and Balconies:* 10
- *Sustainability and Energy Retrofit:* 9
- *Additions to Residential Buildings:* 1 – 14

Staff Comments

- The greenhouse proposed to be replaced dates to 2010 and is not historic.
- The interior brick chimney proposed to be removed is likely historic. The HDC has recently allowed the removal of similar brick chimneys in two other locations.
- No standards directly address skylight removal, but the *Roofs* and *Sustainability and Energy Retrofit* standards encourage installing new skylights on non-character-defining elevations.
- The *Porches, Entrances, and Balconies* standards do not directly address the construction of new porches, so staff encourage using the *Additions to Residential Buildings* standards for the proposed screened porch.



TOWN OF
HILLSBOROUGH

APPLICATION
Certificate of Appropriateness and Minor Works

Planning and Economic Development Division
101 E. Orange St., PO Box 429, Hillsborough, NC 27278
919-296-9470 | Fax: 919-644-2390
planning@hillsboroughnc.gov
www.hillsboroughnc.gov

9874185204	R-20	326 N Cameron St
Orange County Parcel ID Number	Zoning District	Address of Project
Geoffrey & Gail Greene		
Applicant Name	Property Owner (if different than applicant)	
326 N Cameron St		
Applicant's Mailing Address	Property Owner's Mailing Address	
Hillsborough, NC 27278		
City, State ZIP	City, State ZIP	
919-308-5801		
Applicant Phone Number	Property Owner's Phone Number	
ggreene1476@gmail.com		
Applicant's Email	Property Owner's Email	
Description of Proposed Work:	rear 2nd story shed dormer, replace greenhouse w/ screen porch	
Estimated Cost of Construction: \$	\$100,000	

The Historic District Design Standards, Exterior Materials Compatibility Matrix, and Certificate of Appropriateness application process can be found on the Town of Hillsborough's website: <https://www.hillsboroughnc.gov/hdc>.

Applicant and Owner Acknowledgment and Certification

I am aware that Historic District Design Standards, Exterior Materials Compatibility Matrix, and Unified Development Ordinance requirements are the criteria by which my proposal will be evaluated for compatibility, and I certify that I, and/or my design professional under my direction, have reviewed my application materials with Planning Staff for compliance to the standards in those adopted documents. I understand that I, or my representative, must attend the HDC meeting where this application will be reviewed. I further understand that town employees and/or commissioners may need access to my property with reasonable notice to assess current conditions, and to assist them in making evidence-based decisions on my application and that I am not to speak to any commissioner about my project until the public meeting at which it is under consideration.


Applicant's Signature (Optional) Date

 6/4/2025
Property Owner's Signature (Required) Date

 **Receipt**



Your payment was successfully processed.

Confirmation number	Payer Contact Info	Payment Method
FLYVWVKHLY	ggreene1476@gmail.com	*****2742

Routine Planning Fee (plan reviews, zoning and sign permits, including historic)

Please tell us what you are paying for (provide name or address of project, permit number, or type of review):
Certificate of Appropriateness Applica...

Base price	\$100.00
Total	\$100.00

Announcement



Office hours are 9 a.m. to 5 p.m. Monday-Friday.
See the Water Assistance page to make a monthly pledge or for additional ways to donate to the Water Assistance Program.

Contact us



919-296-9450

Contact us

Town of Hillsborough Historic District - Certificate of Appropriateness narrative – 326 N. Cameron Street

HOUSE NARRATIVE: 326 N. Cameron – House – c. 1952, 2010-2011 C – Building

This one-story, side-gabled, Minimal Traditional-style house is three bays wide and double-pile with a projecting, front-gabled bay on the left (north) end of the façade. The house has a painted brick veneer, German-profile weatherboards in the gables, an exterior brick chimney on the right (south) elevation, and an interior brick chimney. The house has replacement windows throughout and a modern skylight near the center of the west elevation. The six-light-over-two-panel door is sheltered by a two-bay-wide, shed-roofed porch supported by grouped square posts. A shed-roofed sunroom was added to the right elevation and a rear ell constructed in 2010 [HDC]. A front-gabled, brick garage is set at an angle to the house and is connected to the northeast corner of the house by a gabled breezeway with a gate. It has flush sheathing in the gable, vinyl windows, and an overhead garage door facing Caine Street to the north. A frame shed-roofed bay on the east elevation, supported by square posts, was built in 2011 [HDC]. County tax records date the building to 1952.

Please see existing condition photos below:



Front elevation from N Cameron Street looking east



Left elevation from Caine St looking south



Right Elevation looking north



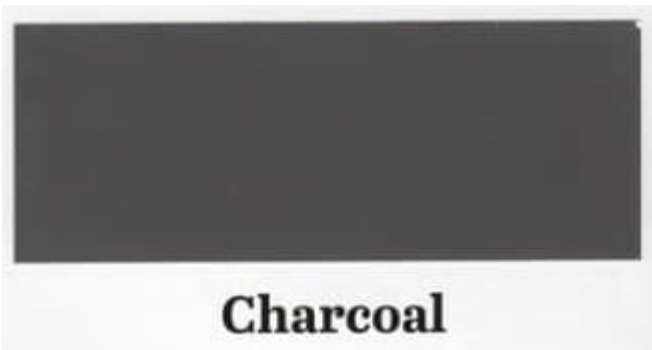
Rear elevations looking west

PROPOSED PROJECT

Proposed changes include a 2nd story shed dormer (standing seam roof material) off the existing ridge of the house towards the rear of the house. The dormer will have Hardie board siding and Miratec trim (smooth side out) as well as aluminum clad SDL windows. Additionally, proposed is the replacement of the greenhouse on the south side of the house with a shed roofed screen porch (standing seam roof material) with fiberglass columns, wood railings, pickets, foundation posts and horizontal screening. All siding, trim, columns, railings, pickets, posts and screening will be painted white to match the existing. All existing shingles will be replaced with GAF Timberline "Appalachian sky". Lastly, the homeowner is proposing to remove the existing front facing skylight as well as the utilitarian chimney but will be leaving the architecturally significant chimney on the south gable end.



New shingles GAF Timberline "Appalachian sky"



Standing seam roof (no striations) charcoal

LANDSCAPING

No new landscaping is proposed, and no existing landscaping is proposed to be removed

LIGHTING

No new lighting is proposed.

Proposed Materials & Colors			
Item	Existing	Proposed Material(s)	Color
siding	Brick/wood/Masonite	Hardieboard siding (smooth)	Match existing (white)
trim	Wood/vinyl	Miratec	Match existing (white)
Screen porch railing/pickets	N/A	Wood	Match existing (white)
Screen porch doors	N/A	Wood	Match existing (white)
porch flooring	Concrete (front)	Wood (prop. Screen porch)	Cypress T&G, natural
foundation	Brick/concrete	No change	N/A
Roof (existing)	Gray 3-tab asphalt	GAF Timberline HDZ asphalt	Appalachian sky
Roof (new dormer)	N/A	Standing seam (no striations)	McElroy metal charcoal
Roof (new screen porch)	N/A	Standing seam (no striations)	McElroy metal charcoal
windows	Alum. clad (original house), Vinyl	Pella Alum. Clad SDL	Match existing (white)
Shutters	Wood/plastic	None proposed	N/A

Please see examples of similar projects below:



216 S. Occoneechee St



406 W Margaret Ln



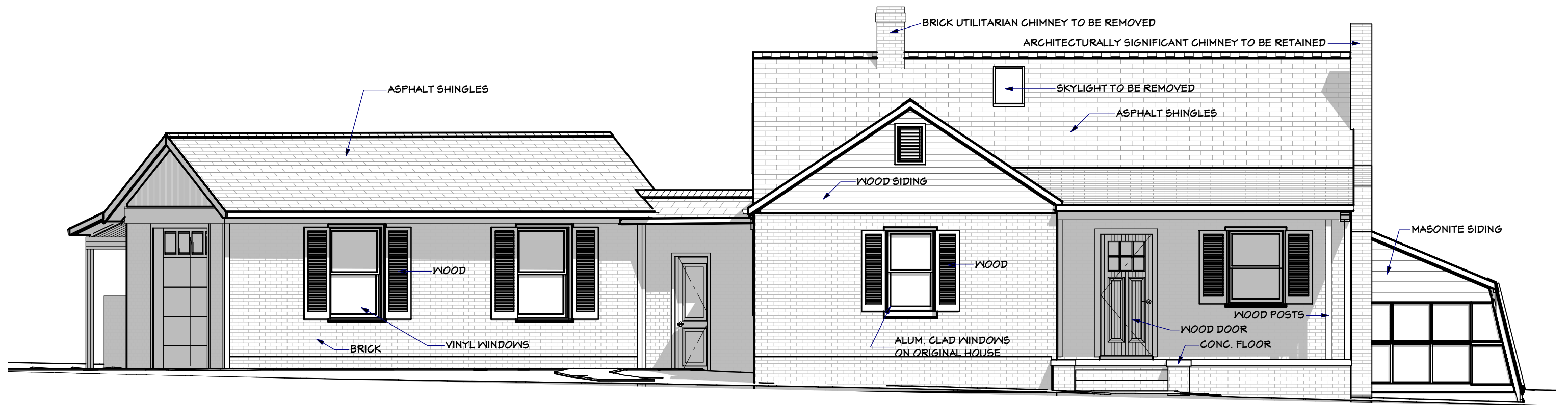
409 W. King St



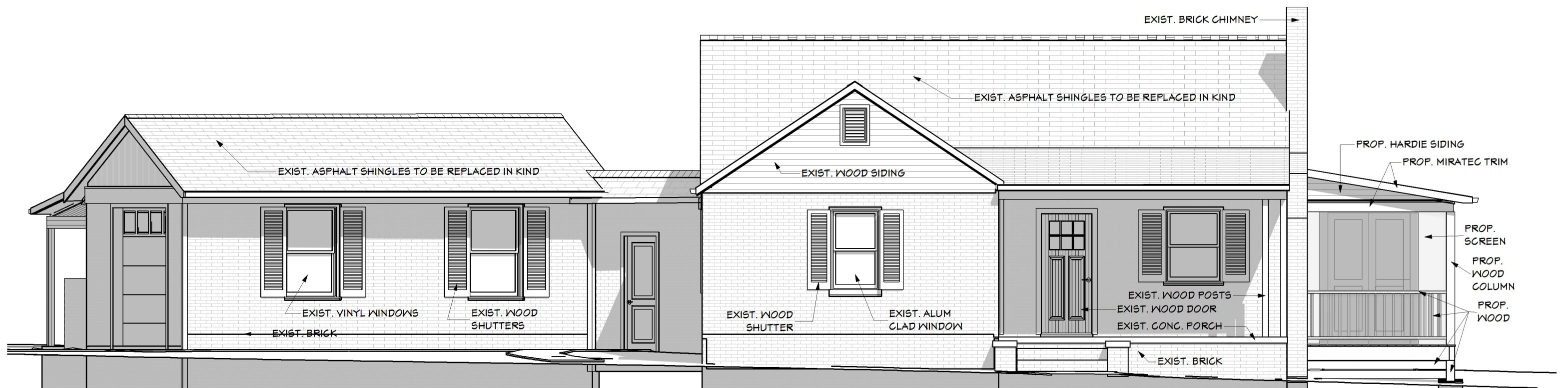
324 W. King St



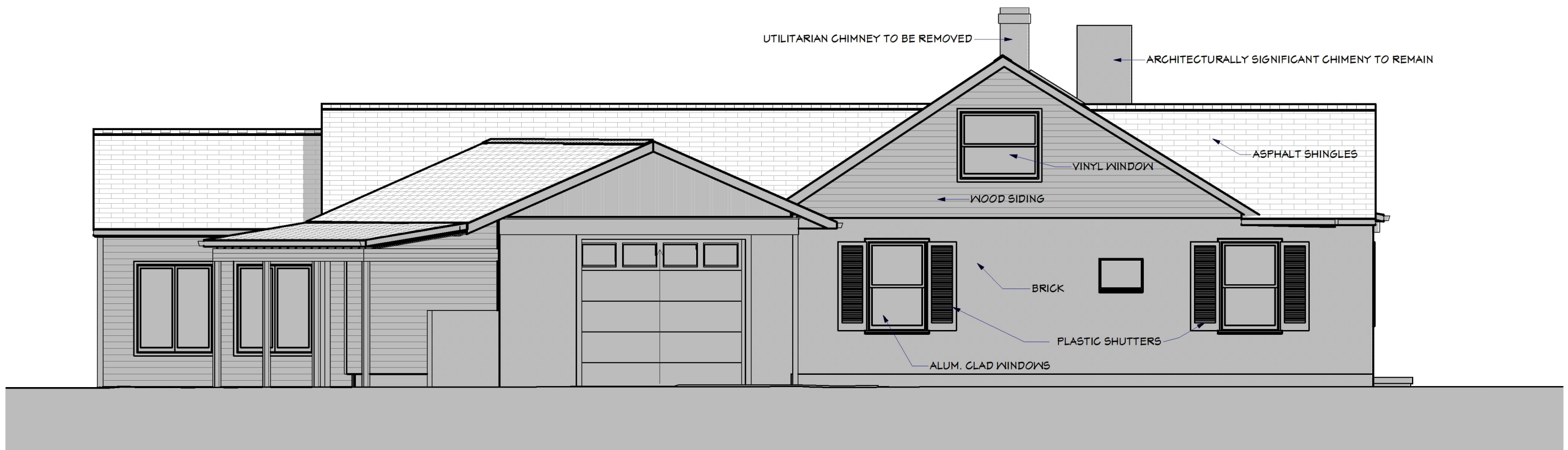
109 N Wake St



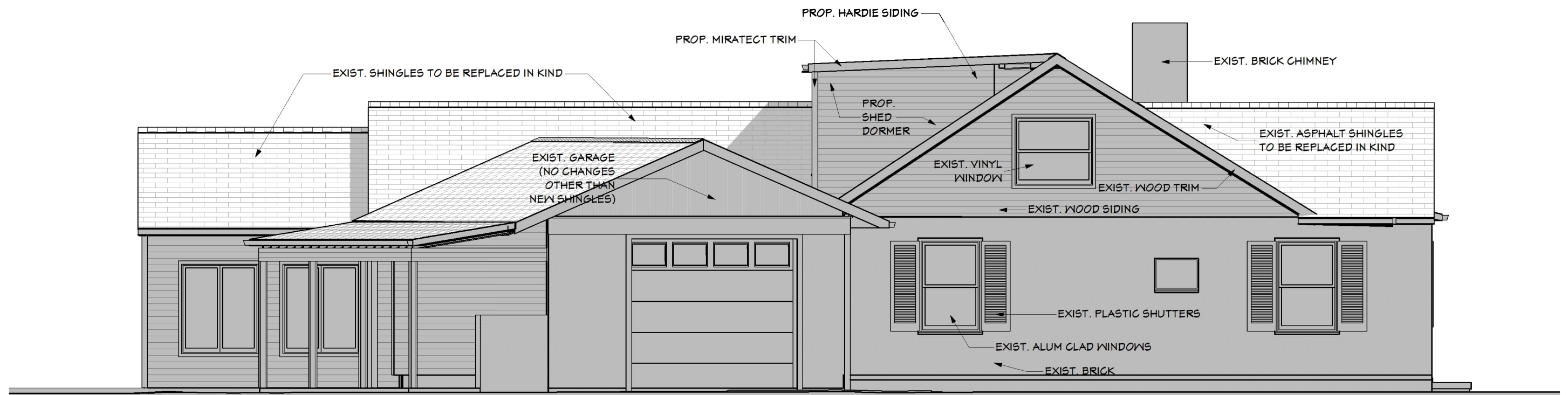
Existing Front Elevation



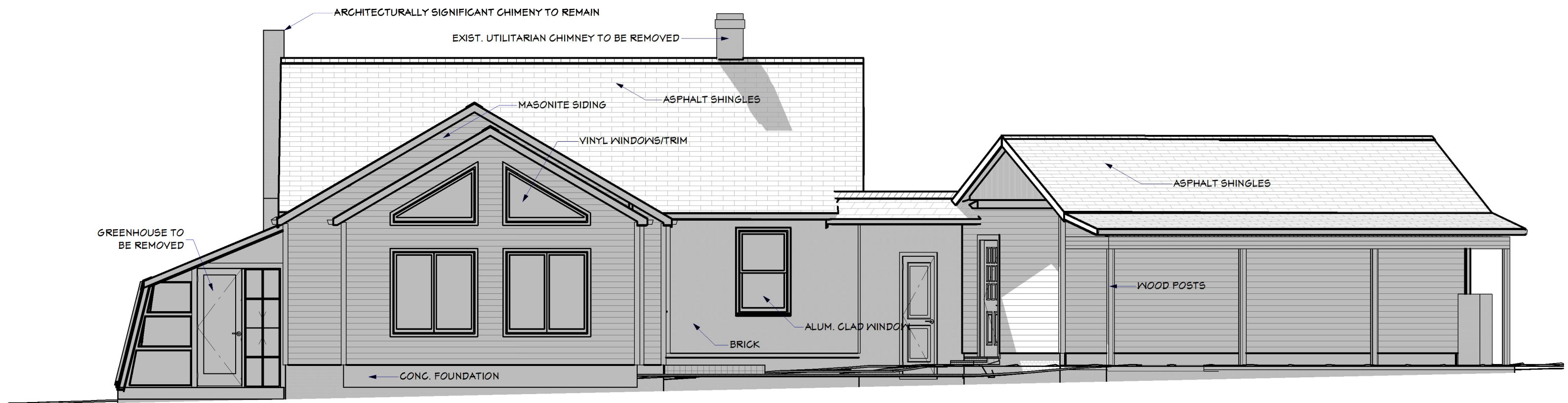
Proposed Front Elevation



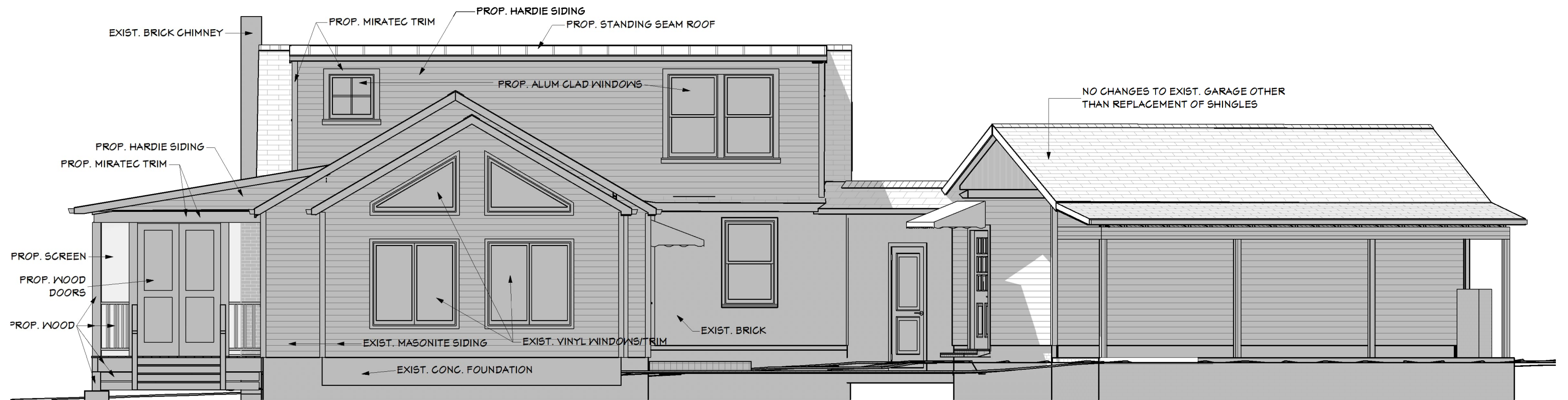
Exsting Left Elevation



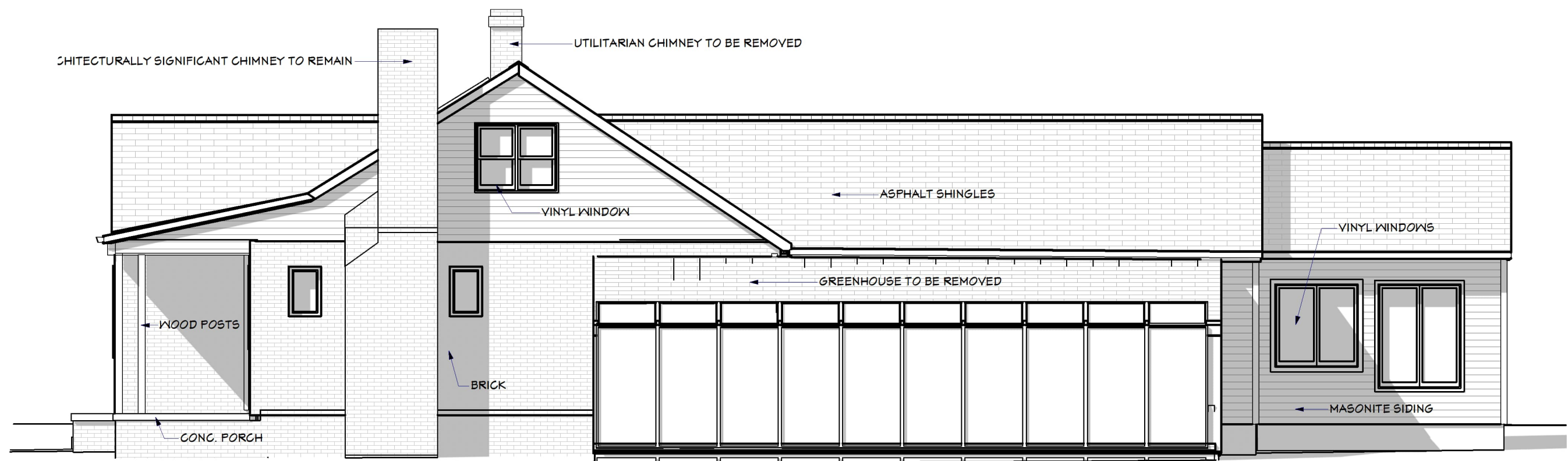
Proposed Left Elevation



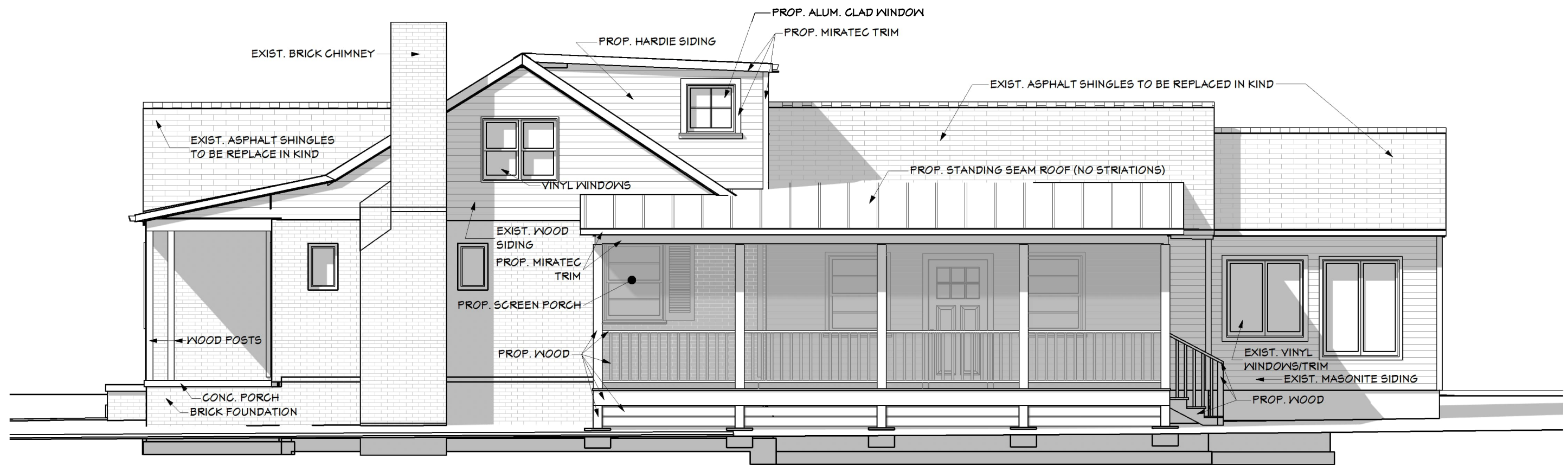
Existing Rear Elevation



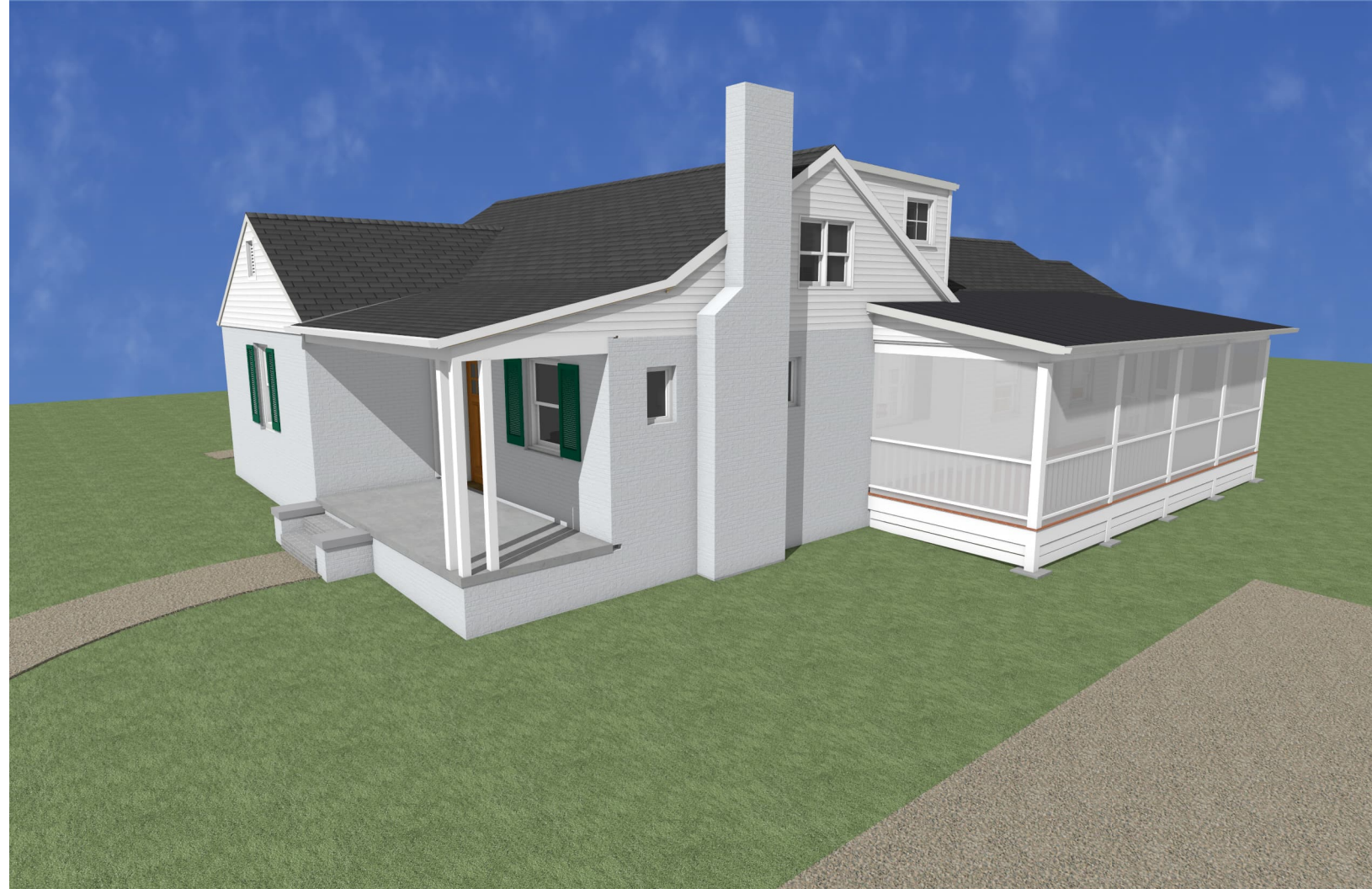
Proposed Rear Elevation



Existing Right Elevation



Proposed Right Elevation



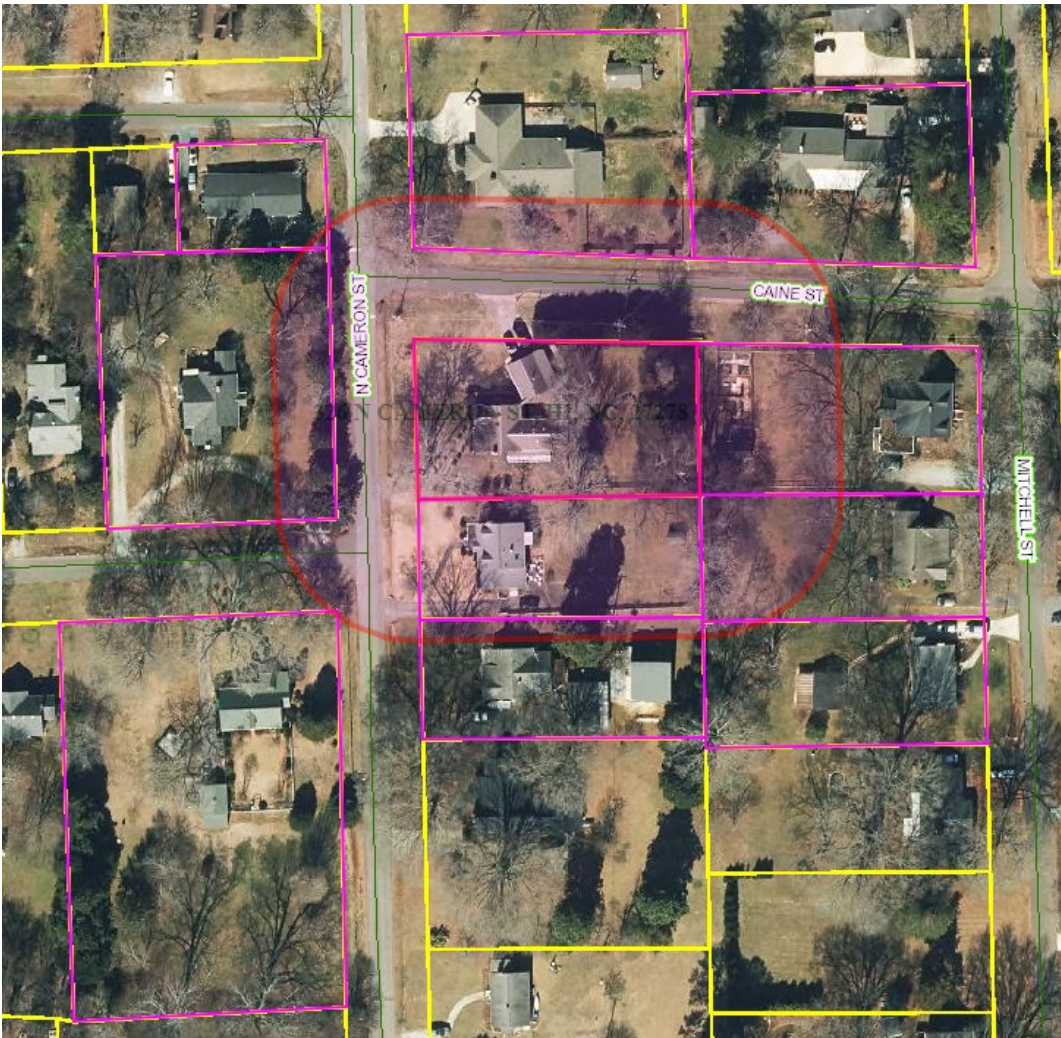
Proposed Perspective

I, Joseph Hoffheimer, hereby certify that all property owners within 100 feet of and the owners of PIN 9864869780 (the affected property) have been sent a letter of notification of the Certificate of Appropriateness application before the Historic District Commission by first class mail in accordance with the Hillsborough Zoning Ordinance.

7/23/2025
Date

Joseph Hoffheimer
(for Hillsborough Planning Department)

PIN	OWNER1_LAST	OWNER1_FIRST	OWNER2_LAST	OWNER2_FIRST	ADDRESS1	CITY	STATE	ZIPCODE
9874172955	STRAYHORN	MICHAEL WA			132 E UNION ST	HILLSBOROUGH	NC	27278
9874182256	ROBERTS INV				143 W TRYON ST	HILLSBOROUGH	NC	27278
9874182490	BCMT LLC				606 VICTORIA DR	HILLSBOROUGH	NC	27278
9874184493	IRWIN	MICHAEL S	IRWIN	JANICE W	400 N CAMERON ST	HILLSBOROUGH	NC	272782123
9874185006	MCARTHUR	DOUGLAS R			320 N CAMERON ST	HILLSBOROUGH	NC	27278
9874185105	WYLER	SUSAN			324 N CAMERON ST	Hillsborough	NC	27278
9874185204	GREENE	GEOFFREY J T	GREENE	GAIL TRUSTEE	326 N CAMERON ST	HILLSBOROUGH	NC	272782121
9874186295	GRAHAM	ABRAM J	GRAHAM	KERRY L	327 MITCHELL ST	HILLSBOROUGH	NC	27278
9874187006	GRIFFIN	JOSEPH E	GRIFFIN	LINDA K	321 MITCHELL ST	Hillsborough	NC	27278
9874187104	DICKERSON	MATT	DICKERSON	AMANDA	323 MITCHELL ST	HILLSBOROUGH	NC	27278
9874188408	CASADONTE	FRANK	CAMP	EILEEN	211 CAINE ST	HILLSBOROUGH	NC	27278



ITEM #6. B:

Address: 311 W. Orange St.

Year Built: NA (new construction)

Historic Inventory Information (2013): NA (new construction)

Proposed work

- New construction house

Application materials

- COA application
- Narrative
- List of materials
- Elevations
- Floor plans
- Site plan

Applicable Design Standards

- *New Construction of Primary Residential Buildings:* 1-11
- *New Construction of Outbuildings and Garages:* 1-7, 9, 10
- *Walkways, Driveways, and Off-Street Parking:* 8-10

Staff Comments

- The site plan appears to indicate that four trees with diameters over 24 inches will be removed for construction of the house, and one will be removed for the septic drain field.
- The design standards prohibit painting historic brick but do not restrict painting new brick.
- The approximately 30-foot height of the roof is taller than the roofs of the adjacent houses. The new house at 320 B W. Orange St. that the HDC recently approved has a similar roof height but is set back further from the street.
- The roof pitches for both street-facing gables are relatively narrow in comparison to most roof pitches in the historic district.
- The application describes the design as reminiscent of houses from the early 1900s. The HDC is tasked with evaluating the proposal's compatibility with the historic district rather than what general era the design is intended to evoke.
- There are scattered examples of street-facing garages in the historic district, but staff are not aware of any existing garages that extend in front of the front line of the house or comprise as much of the front elevation as the proposed design does.
- Any railing materials and light fixtures can be confirmed with staff later in the process.

311 W. Orange St. Hillsborough - Detailed Narrative

We are proposing to build a new construction home roughly 2600 sqft. We have taken care to remove as few trees as possible to ensure a wooded feel to the property keeping with the surrounding properties.

Exterior materials are aligned with the compatibility matrix provided by staff. The brick front and swooping architectural elements are reminiscent of homes built in the early 1900's. Adorning the home will be black clad windows of high quality. If rails are required we will use hand made wrought iron for a classic historic look. Please see the Itemized list of exterior materials for a breakdown of exterior selections.

311 W. Orange, Hillsborough - Itemized list of exterior materials

Siding: hardie plank cedar mill siding

Corner Boards: hardie plank

Fascia: hardie plank

Soffit: hardie plank

Window material: fiberglass or aluminum clad

Window trim: hardie plank

Front Porch columns: n/a

Front Porch rails: metal

Front porch steps: masonry brick painted

Foundation front: masonry brick painted

Foundation sides and rear: parged block

Garage door:

Rear deck: Pressure treated lumber

Rear deck rails: pressure treated lumber

Roof: GAF weathered wood 30 yr architectural shingle

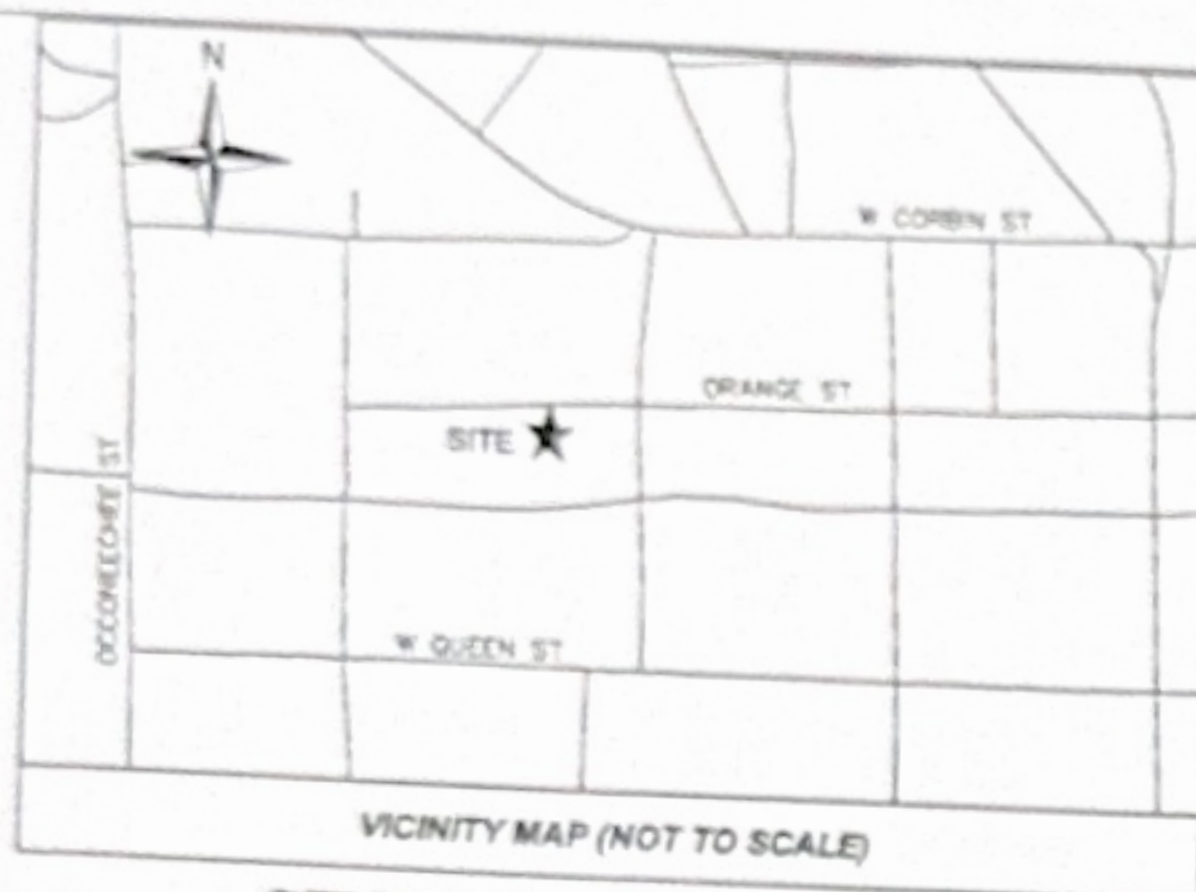
Gutters: black aluminum

Front door: TDL mahogany wood

Side door: Steel

Driveway: Concrete





ABBREVIATION LEGEND	
RF	IRON REBAR FOUND
PF	IRON PIPE FOUND
N/F	NOT FOUND OR FORMERLY
CP	COMPUTED POINT
DB	DEED BOOK
PB	PLAT BOOK

LINE AND SYMBOL LEGEND	
---	PROPERTY LINE (PL)
---	PL NOT SURVEYED
---	THE LINE
---	EDGE OF CONCRETE
---	SETBACK
---	TOP OF BANK
---	STORM DRAINAGE PIPE
---	FIBER HAND-OLE
---	SOFTWOOD TREE
---	HARDWOOD TREE
---	PIN FLAG

- GENERAL NOTES**
- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.
 - BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD83 (2011).
 - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
 - AREA BY COORDINATE GEOMETRY.
 - REFERENCES: DB 8852 PG 590; PB 51 PG 51; OF THE ORANGE COUNTY REGISTRY. PIN: 9864883297
 - THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
 - FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A. F.I.R.M. COMMUNITY PANEL #371088400K DATED 11/17/2017.
 - NO IMPERVIOUS RESTRICTIONS KNOWN AT TIME OF SURVEY. FURTHER RESTRICTIONS MAY APPLY. CONTACT HILLSBOROUGH PLANNING DEPT FOR FURTHER VERIFICATION.
 - ZONE: R-20; SETBACKS: FRONT: 30', REAR: 20', SIDE: 20' PER PB 51 PG 51. FURTHER RESTRICTIONS MAY APPLY. CONTACT HILLSBOROUGH PLANNING DEPT FOR FURTHER VERIFICATION.
 - NO NOISY MONUMENTS FOUND WITHIN 2000 FEET.
 - NO ENVIRONMENTAL FEATURES LOCATED, OR CONSIDERED AT THE TIME OF THIS SURVEY.
 - THE DEPICTION OF SURFACE AND SUBSURFACE UTILITIES IS DERIVED SOLELY FROM VISIBLE EVIDENCE. CONTACT RELEVANT UTILITY COMPANIES FOR COMPREHENSIVE UTILITY INFORMATION AND EASEMENT DETAILS.

IMPERVIOUS SURFACES
BUILDING = 152 SF
TOTAL IMPERVIOUS = 152 SF
TOTAL LOT AREA = 31772 SF
PERCENT IMPERVIOUS = 0.70%

N/F
BURTON, ANN SMITH
TON, CHARLES MICHAEL
PIN # 9864882268
DB 8840 PG 92
PB 56 PG 181

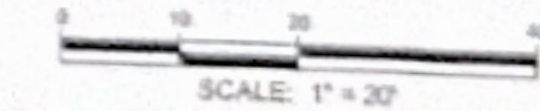
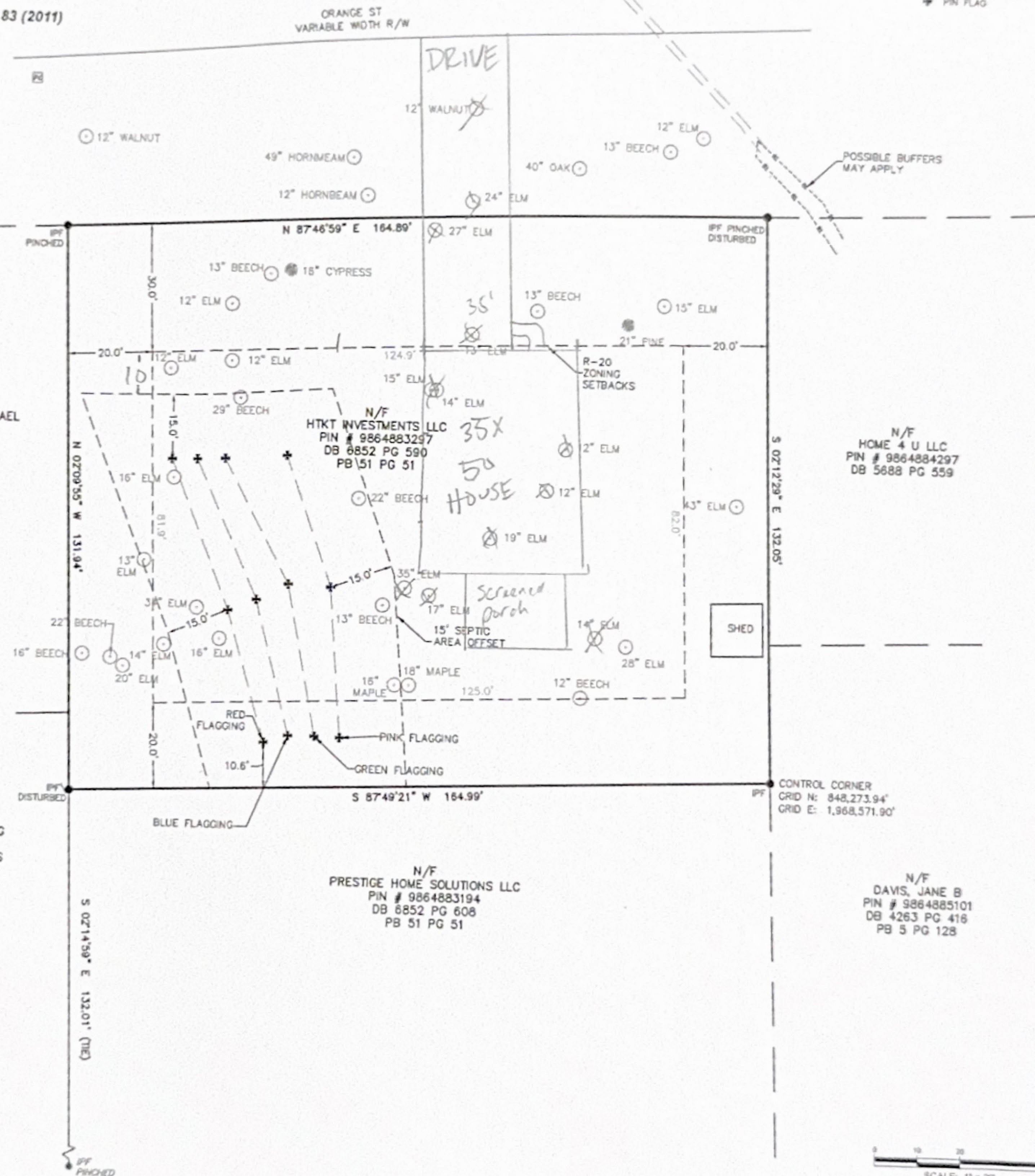
N/F
CARTER, MARGARET G
ETAL
FREELAND, SHARON S
PIN # 9864882167
DB 1728 PG 36
PB 5 PG 133

N/F
PRESTIGE HOME SOLUTIONS LLC
PIN # 9864883194
DB 6852 PG 608
PB 51 PG 51

N/F
HOME 4 U LLC
PIN # 9864884297
DB 5688 PG 559

N/F
DAVIS, JANE B
PIN # 9864885101
DB 4263 PG 416
PB 5 PG 128

PRELIMINARY PLAT
NOT FOR RECORDATION, CONVEYANCES OR SALES;
PLAT SUBMITTED FOR REVIEW PURPOSES ONLY
PRELIMINARY PLAT
NOT FOR RECORDATION, CONVEYANCES OR SALES;
PLAT SUBMITTED FOR REVIEW PURPOSES ONLY



PREPARED FOR:
CANOY SURVEYING
P-1938
1154 SHONELE LANE
STEM, NC 27581
PHONE (984) 377-2626

BOUNDARY AND TREE SURVEY
311 W ORANGE ST
HILLSBOROUGH, NORTH CAROLINA
NC PIN # PB LOT A PB 51 PG 51
ORANGE COUNTY - HILLSBOROUGH TOWNSHIP

REVISIONS:	
DATE OF SURVEY:	10/27/2025
SCALE:	1" = 20'
DRAWN BY:	OL
CHECKED BY:	ANC
PROJECT:	311 W ORANGE
SHEET:	1 / 1

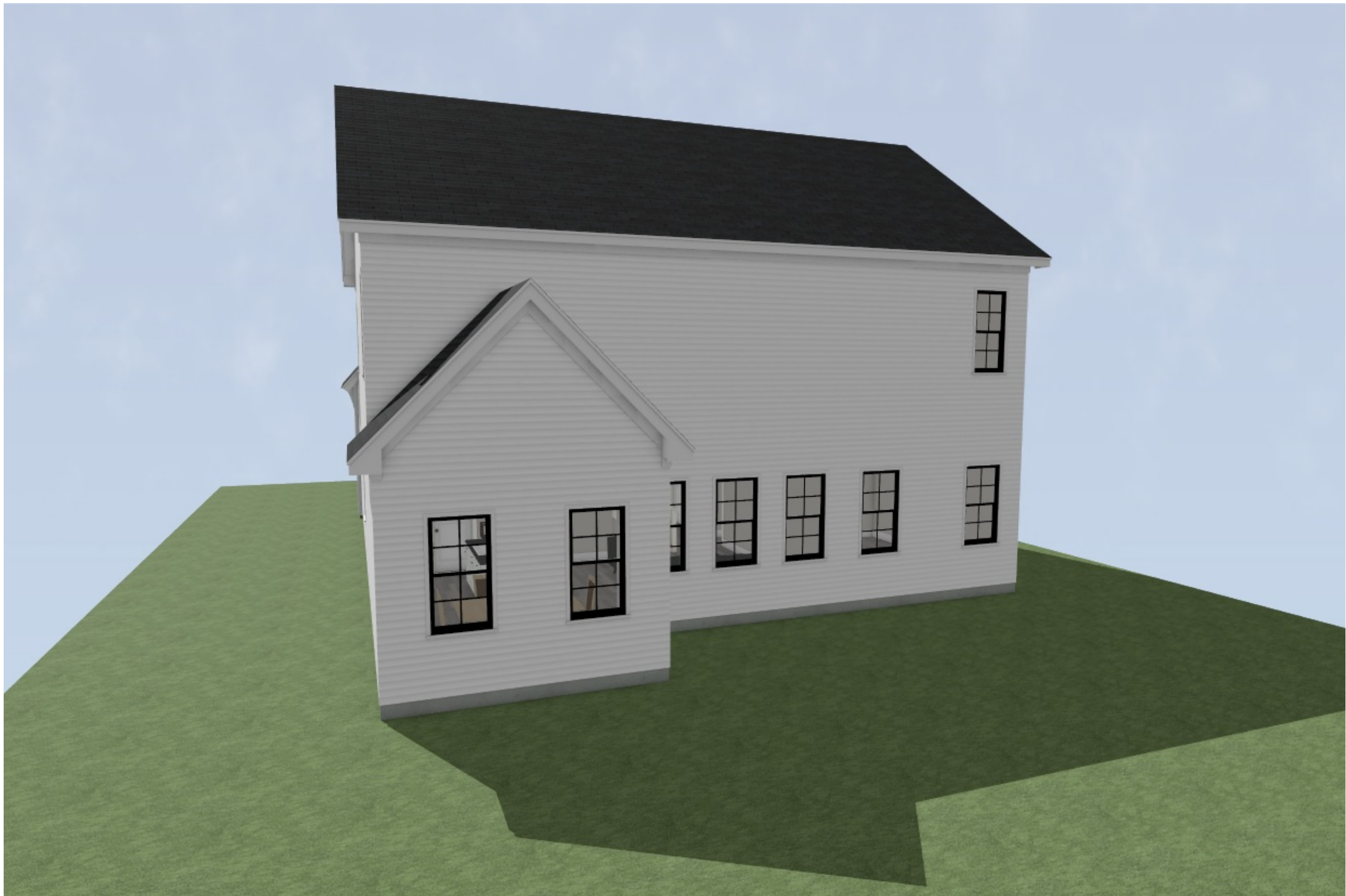
ELEVATION 1



FRONT



RIGHT

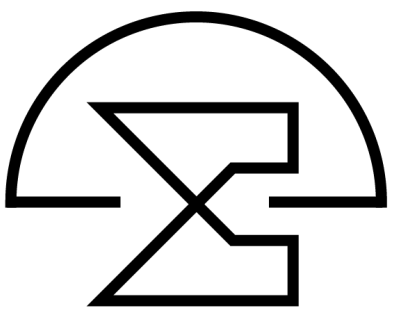


REAR



LEFT

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Precipice Properties
Build to Rent
Cliff

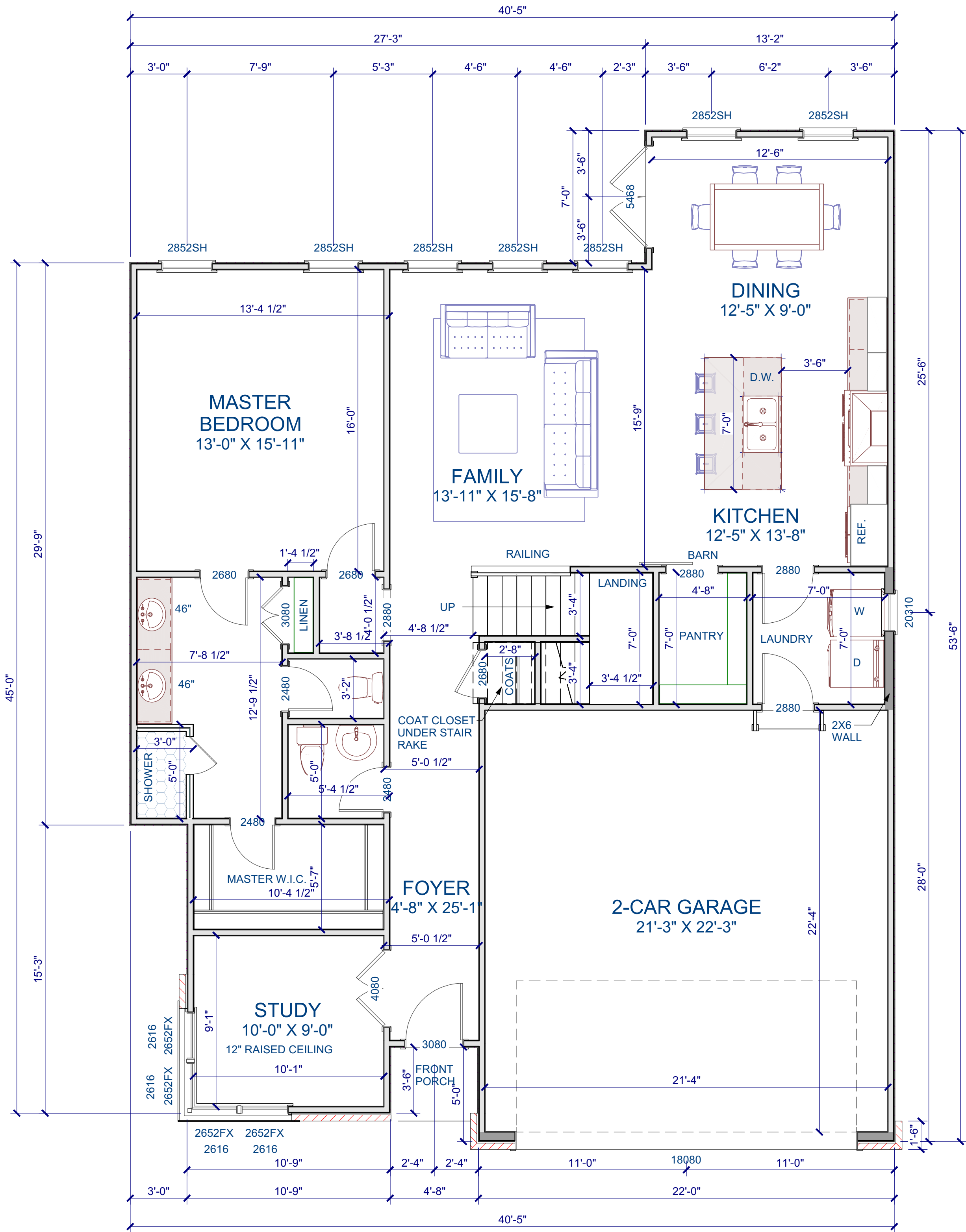
Sheet Title:
Exterior
Elevations

REVISIONS	
NUMBER	DATE

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Plan Number
M026-23
Sheet No. A-1
Drawn By: JG
Date: 2/21/2023

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FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

GENERAL NOTES

WALLS
ALL WALLS ARE DRAWN 3.5" WIDE (2X4) OR 5.5" WIDE (2X6) U.N.O.
ANGLED WALL ARE DRAWN @45° U.N.O.
EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR
DIMENSIONS ARE TO FACE OF STUD.

SMOKE DETECTORS
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

EGRESS
ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH
CONFORMS TO R-310 OF THE N.C. BLDG. CODE. IT IS THE
CONTRACTOR'S RESPONSIBILITY TO VERIFY CHOSEN WINDOWS
MEET EGRESS REQUIREMENTS AS MANUFATURERS VARY.

ATTIC ACCESS
MIN. ATTIC ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED
ON SITE.

WALL/CEILING HEIGHT
WALL AND CEILING HEIGHT NOTES ARE BASED ON NOMINAL WALL
SIZE. KNEE WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS
ASSUME AN EXTRA 2" FOR FURRING (IN HEATED SPACES) FOR
INSULATION. THE WALL HEIGHT REFERS TO THE HGT. FROM THE
FLOOR DECKING TO THE BOTTOM OF THE FURRING.

WINDOW NOTE LEGEND

- DH DOUBLE HUNG
- SH SINGLE HUNG
- FX FIXED
- SC SINGLE CASEMENT
- DC DOUBLE CASEMENT
- TC TRIPLE CASEMENT

Square Footage

Heated Square Footage	
First Floor	1,375
Second Floor	1,183
Total Heated	2,558
Unfinished Square Footage	
Front Porch	19
Two Car Garage	472
Total Unfinished	491

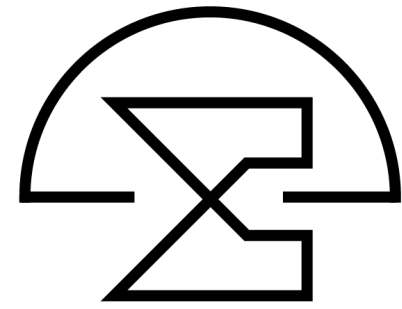
Precipice Properties
Build to Rent
Cliff

Sheet Title:
First Floor Plan

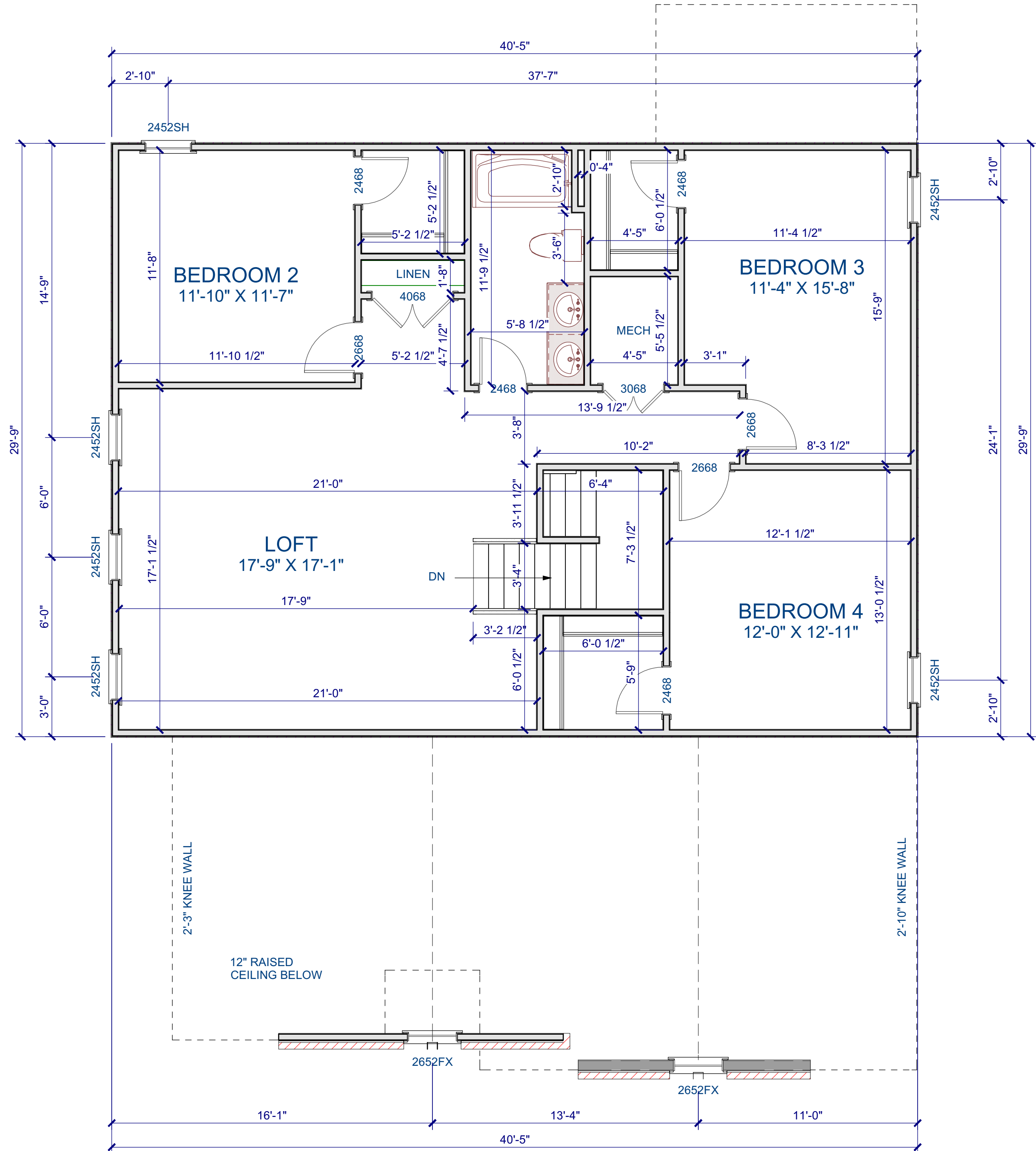
REVISIONS	
NUMBER	DATE

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Plan Number
M026-23
Sheet No. **A-3**
Drawn By: **JG**
Date: **2/21/2023**



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SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

GENERAL NOTES

WALLS
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SMOKE DETECTORS
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

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WINDOW NOTE LEGEND

- DH DOUBLE HUNG
- SH SINGLE HUNG
- FX FIXED
- SC SINGLE CASEMENT
- DC DOUBLE CASEMENT
- TC TRIPLE CASEMENT

Precipice Properties
Build to Rent
Cliff

Second Floor Plan

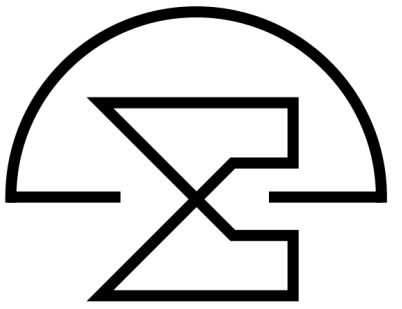
REVISIONS	
NUMBER	DATE

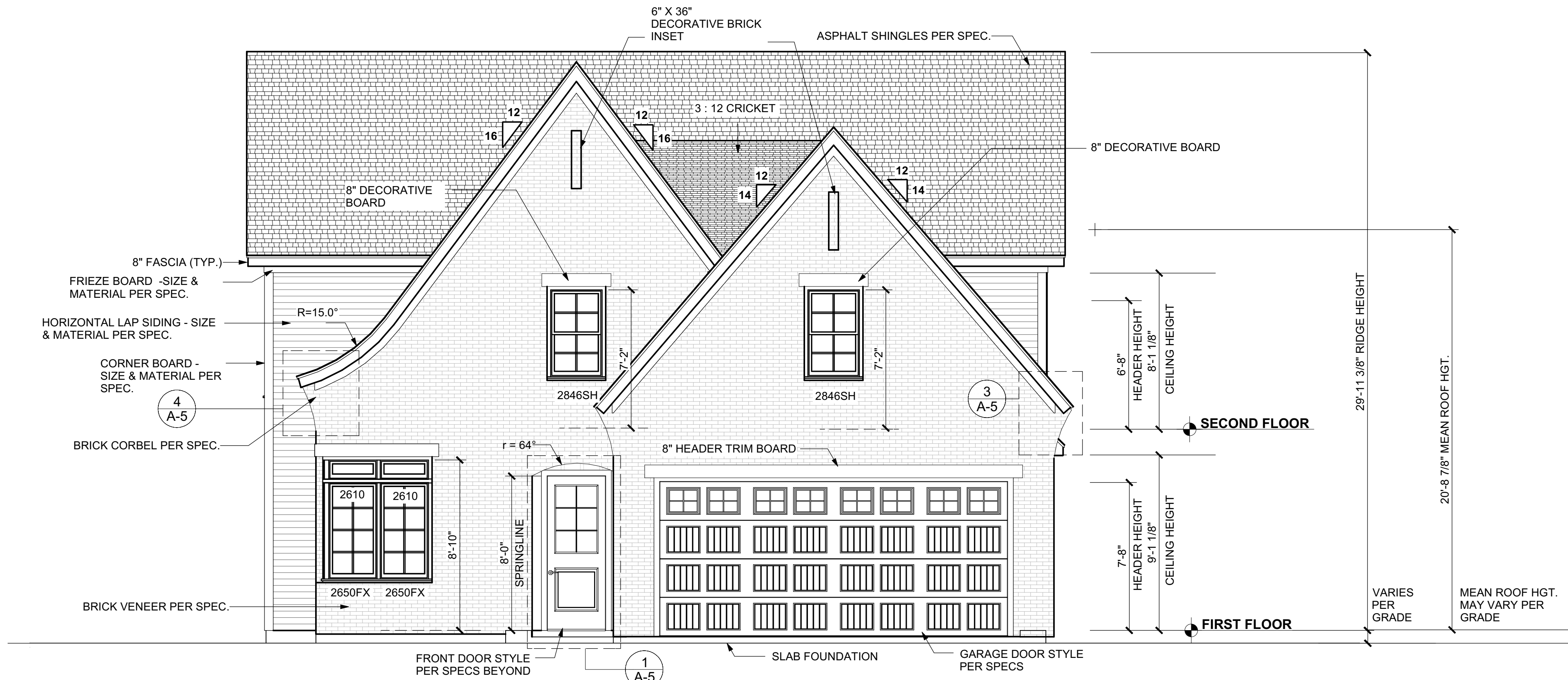
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Plan Number
M026-23
Sheet No. **A-4**
Drawn By: **JG**
Date: **2/21/2023**

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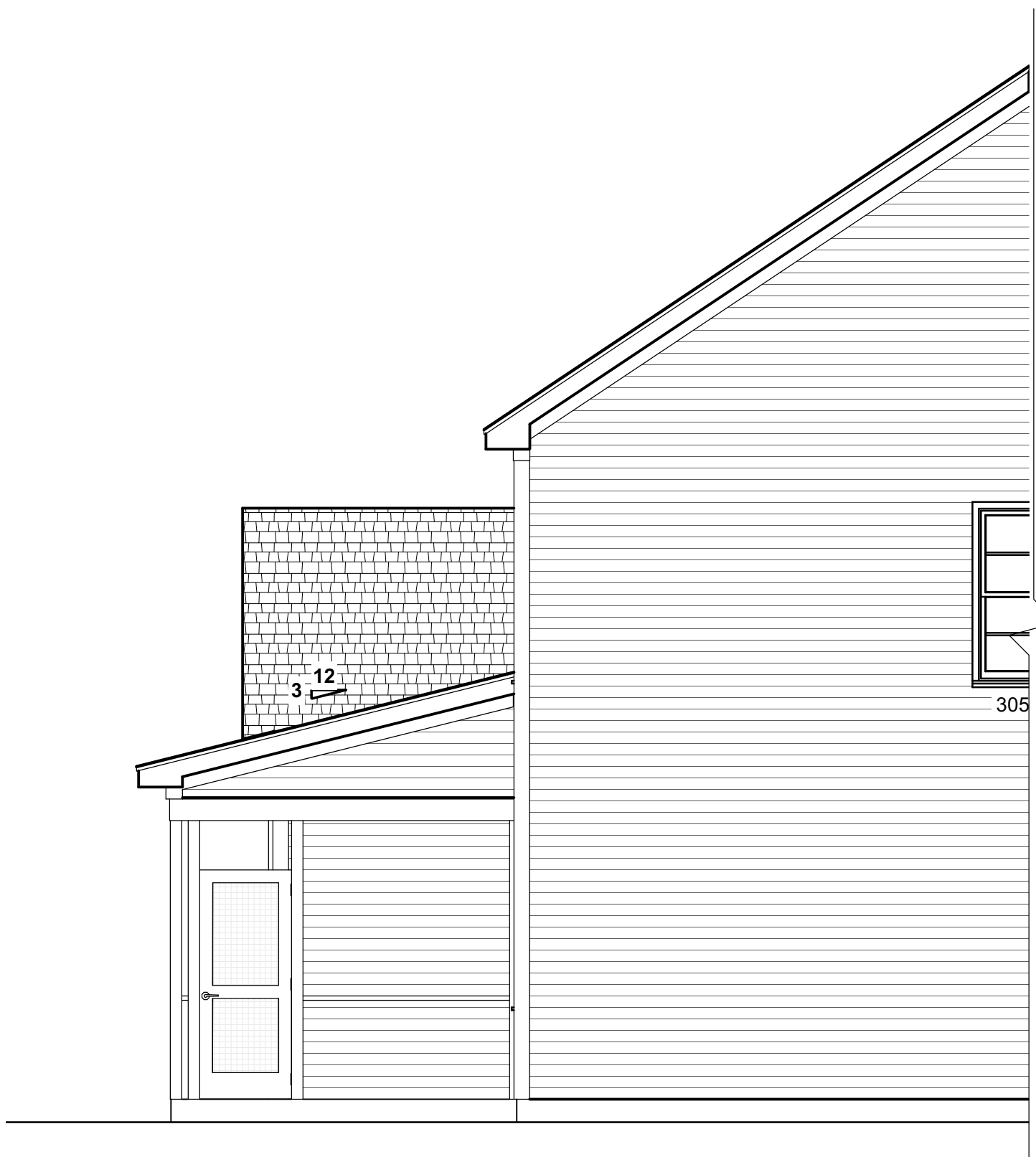
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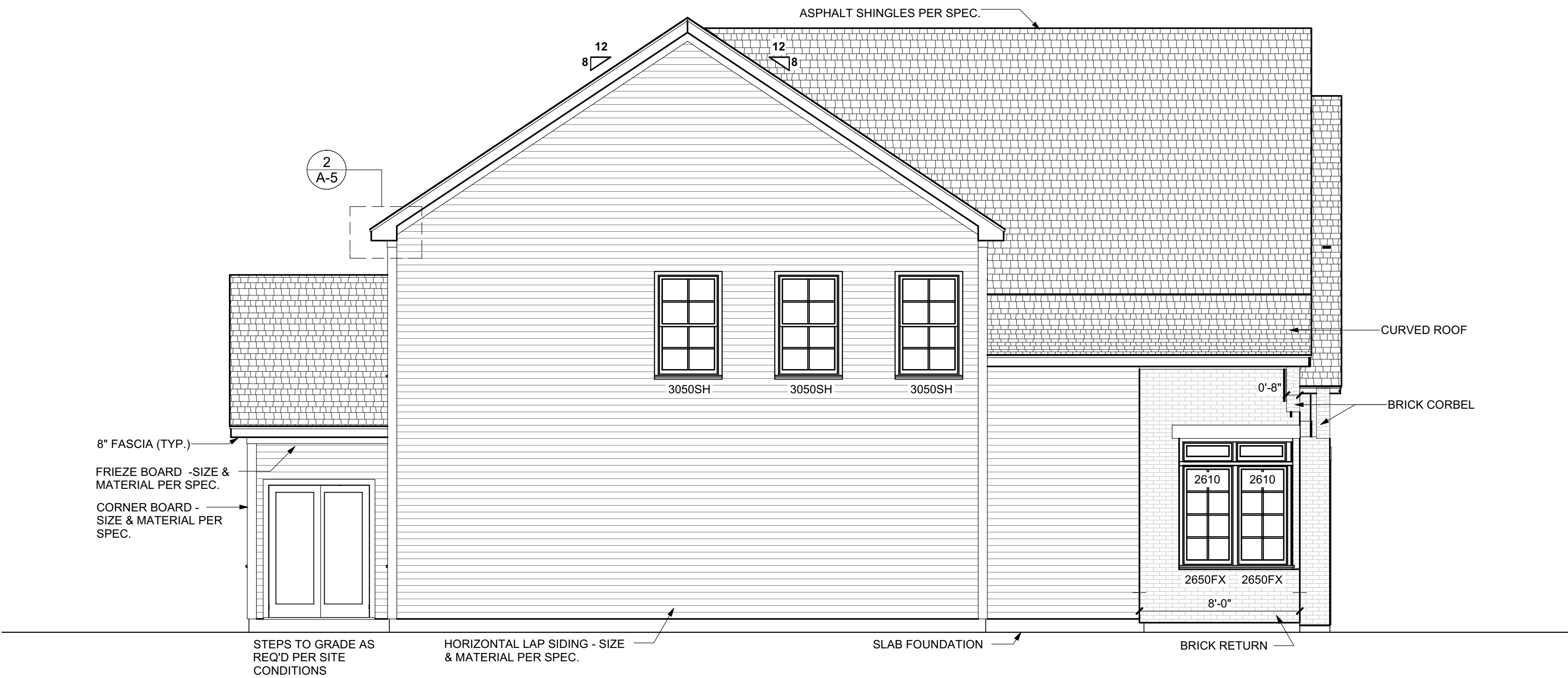
FRONT ELEVATION

Scale: 1/4" = 1'-0"



OPTIONAL SCREENED PORCH

Scale: 1/4" = 1'-0"



LEFT ELEVATION

Scale: 1/4" = 1'-0"

ELEVATION NOTES

BUILDING CODES

THIS PLAN HAS BEEN DESIGNED UNDER THE NC BUILDING CODES, 2018 RESIDENTIAL EDITION.

ICE GUARDS:

ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) OR GREATER. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1.

VENTING CALCULATIONS

ATTIC VENTILATION

3023 SQ. FT. OF ATTIC / 300 = 10.2 SQ. FT. OF INLET AND OUTLET. VENTILATION MAY BE REDUCED 50% WHEN VENTILATORS ARE USED AT LEAST 3'-0" ABOVE THE CORNICE VENTS.

Precipice Properties
Build to Rent
Cliff Option A - RIGHT

Exterior Elevations

REVISIONS	
NUMBER	DATE

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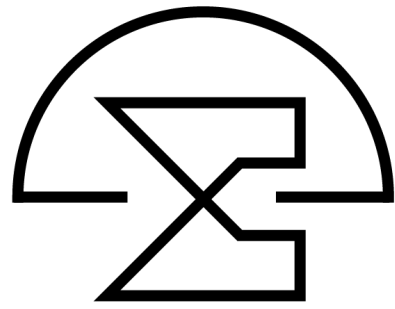
Plan Number
M026-23
Sheet No. A-1

Drawn By: JG

Date: 8/8/2023

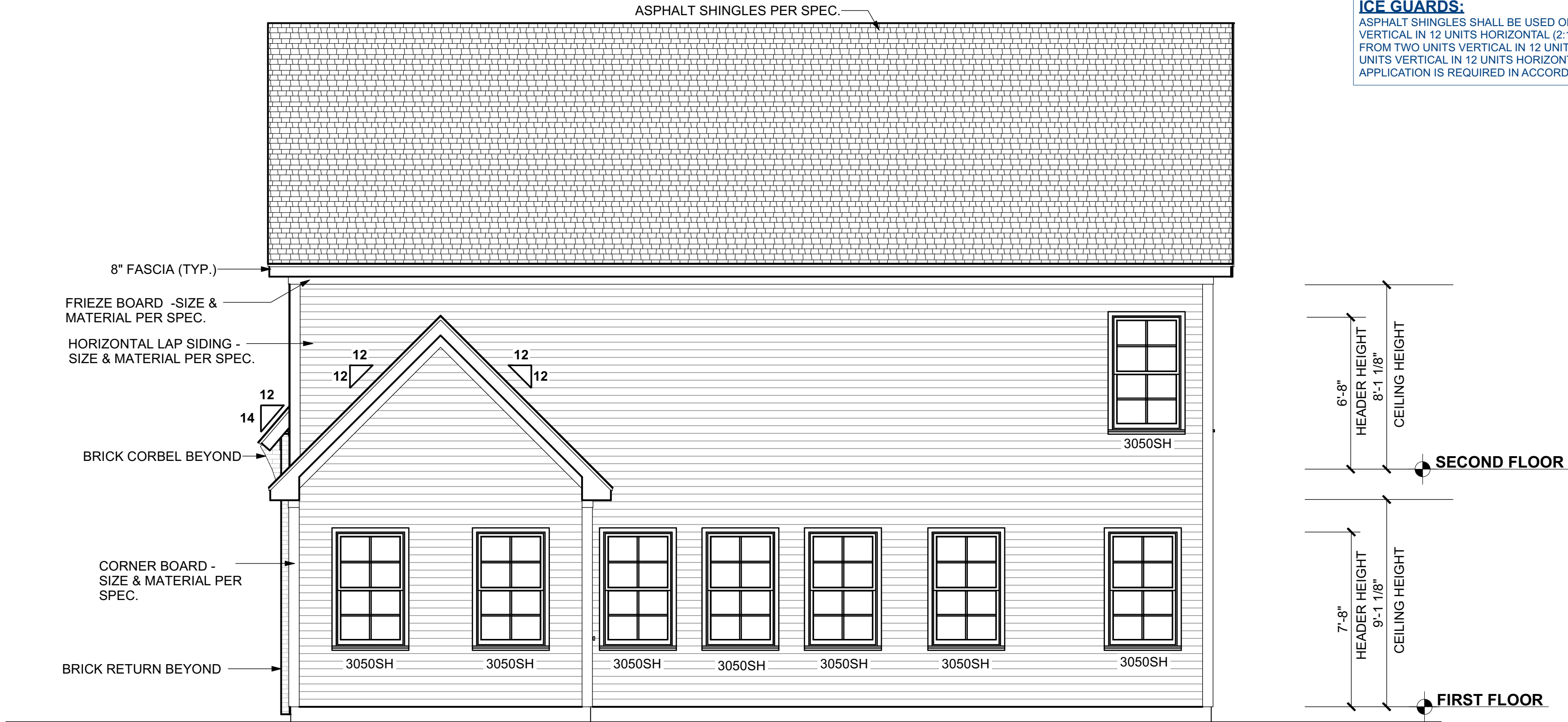
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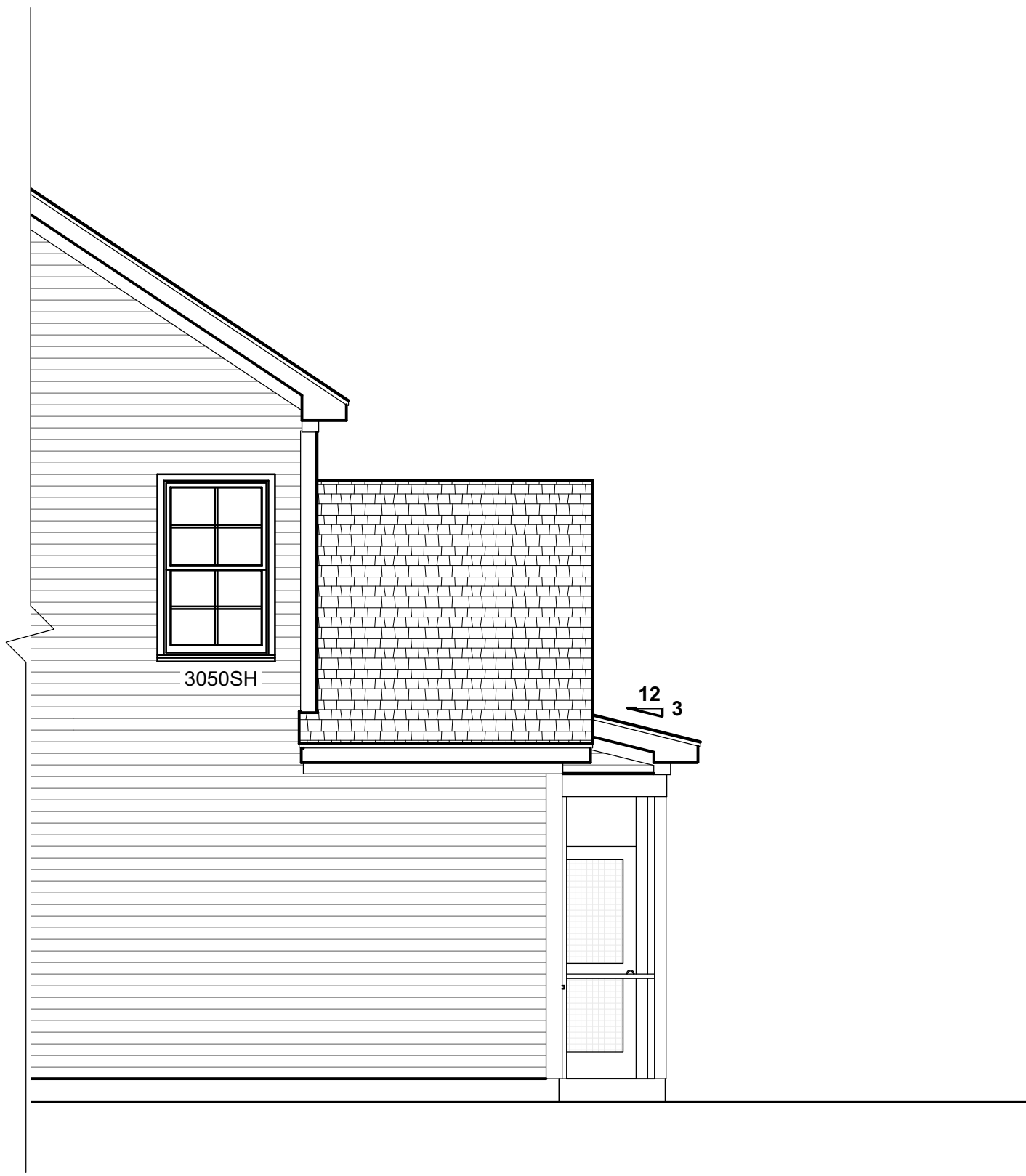
OPTIONAL SCREENED PORCH
Scale: 1/4" = 1'-0"



REAR ELEVATION
Scale: 1/4" = 1'-0"



RIGHT ELEVATION
Scale: 1/4" = 1'-0"

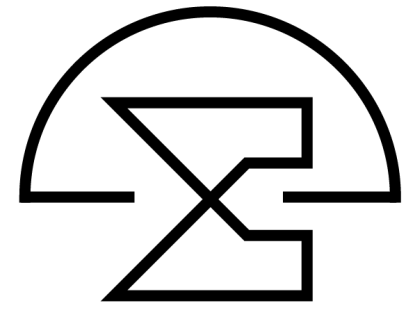


OPTIONAL SCREENED PORCH
Scale: 1/4" = 1'-0"

ELEVATION NOTES

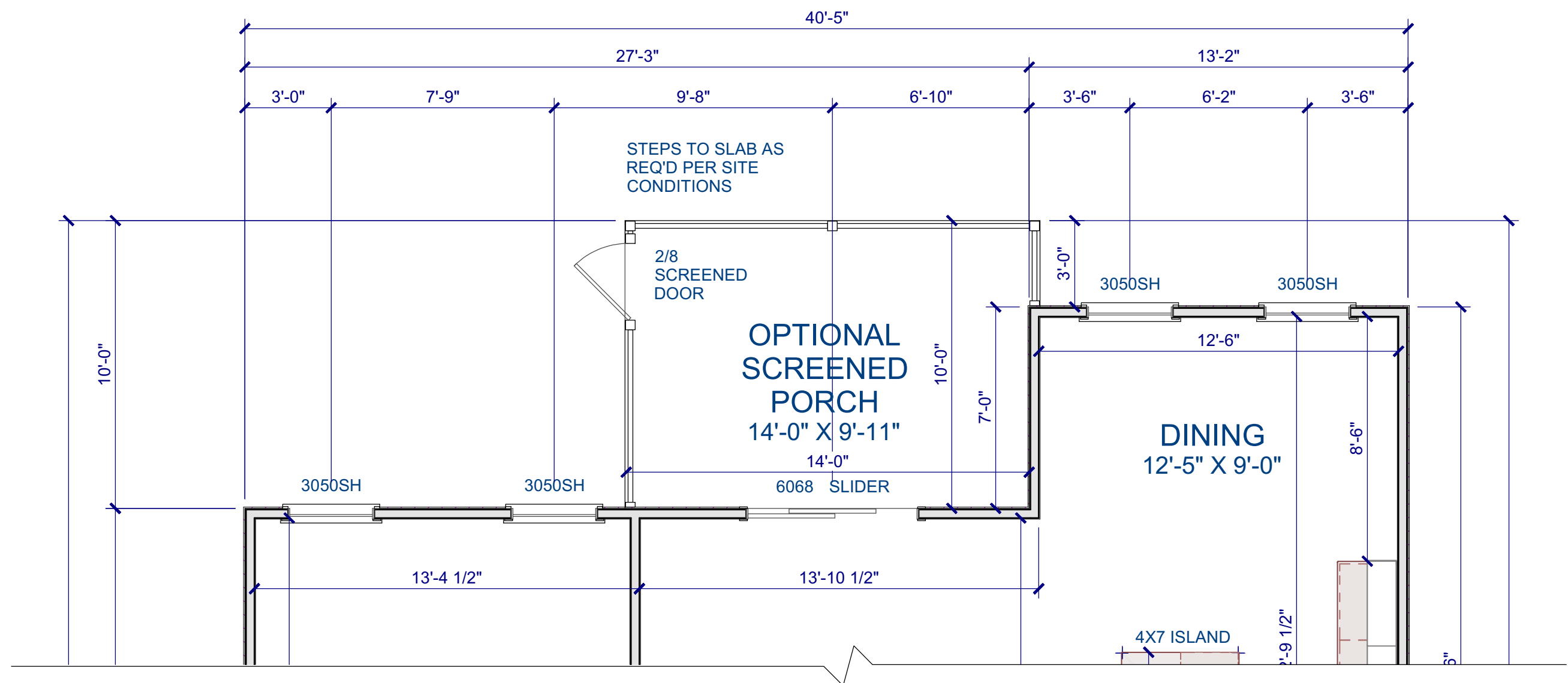
BUILDING CODES
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REVISIONS	
NUMBER	DATE

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OPTIONAL SCREENED PORCH

Scale: 1/4" = 1'-0"

WINDOW NOTE LEGEND

DH DOUBLE HUNG
SH SINGLE HUNG
FX FIXED
SC SINGLE CASEMENT
DC DOUBLE CASEMENT
TC TRIPLE CASEMENT

GENERAL NOTES

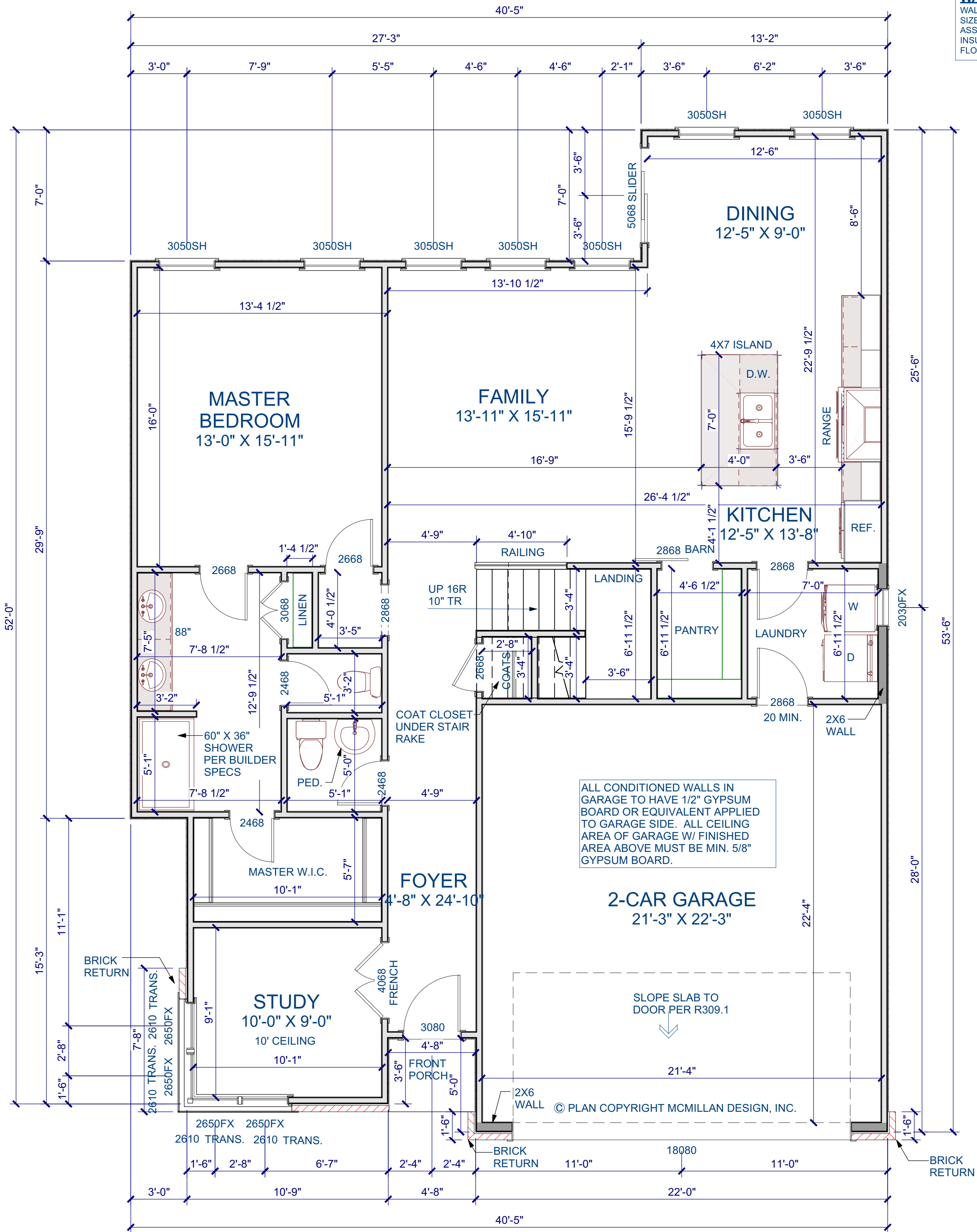
WALLS
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DIMENSIONS ARE TO FACE OF STUD.

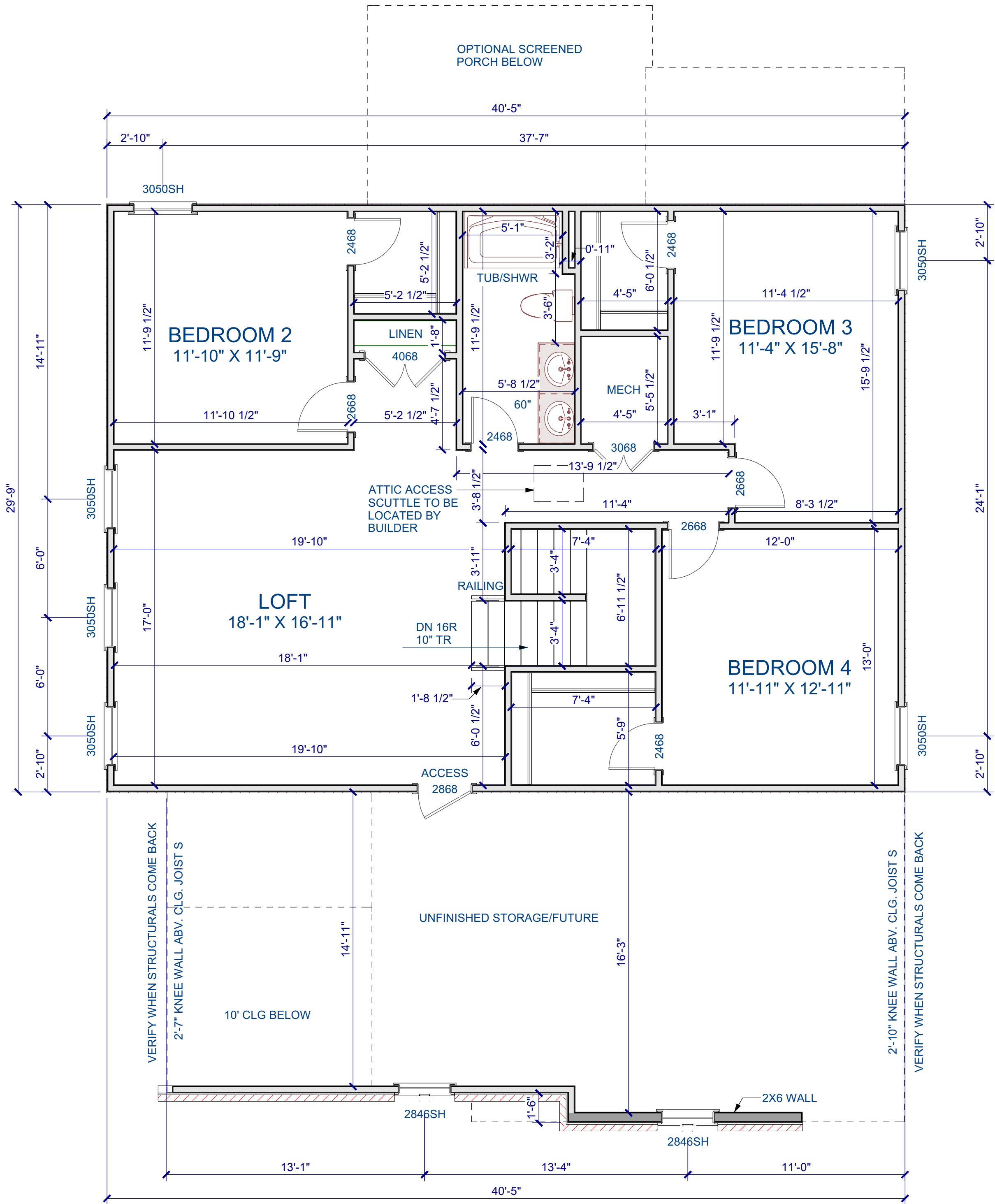
SMOKE DETECTORS
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

EGRESS
ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH
CONFORMS TO R-310 OF THE N.C. BLDG. CODE. IT IS THE
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SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

GENERAL NOTES

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WINDOW NOTE LEGEND

- DH DOUBLE HUNG
- SH SINGLE HUNG
- FX FIXED
- SC SINGLE CASEMENT
- DC DOUBLE CASEMENT
- TC TRIPLE CASEMENT

Precipice Properties
Build to Rent
Cliff Option A - RIGHT

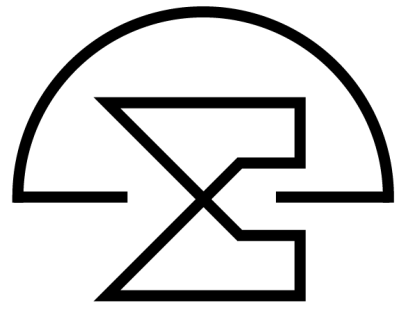
Second Floor Plan

REVISIONS	
NUMBER	DATE

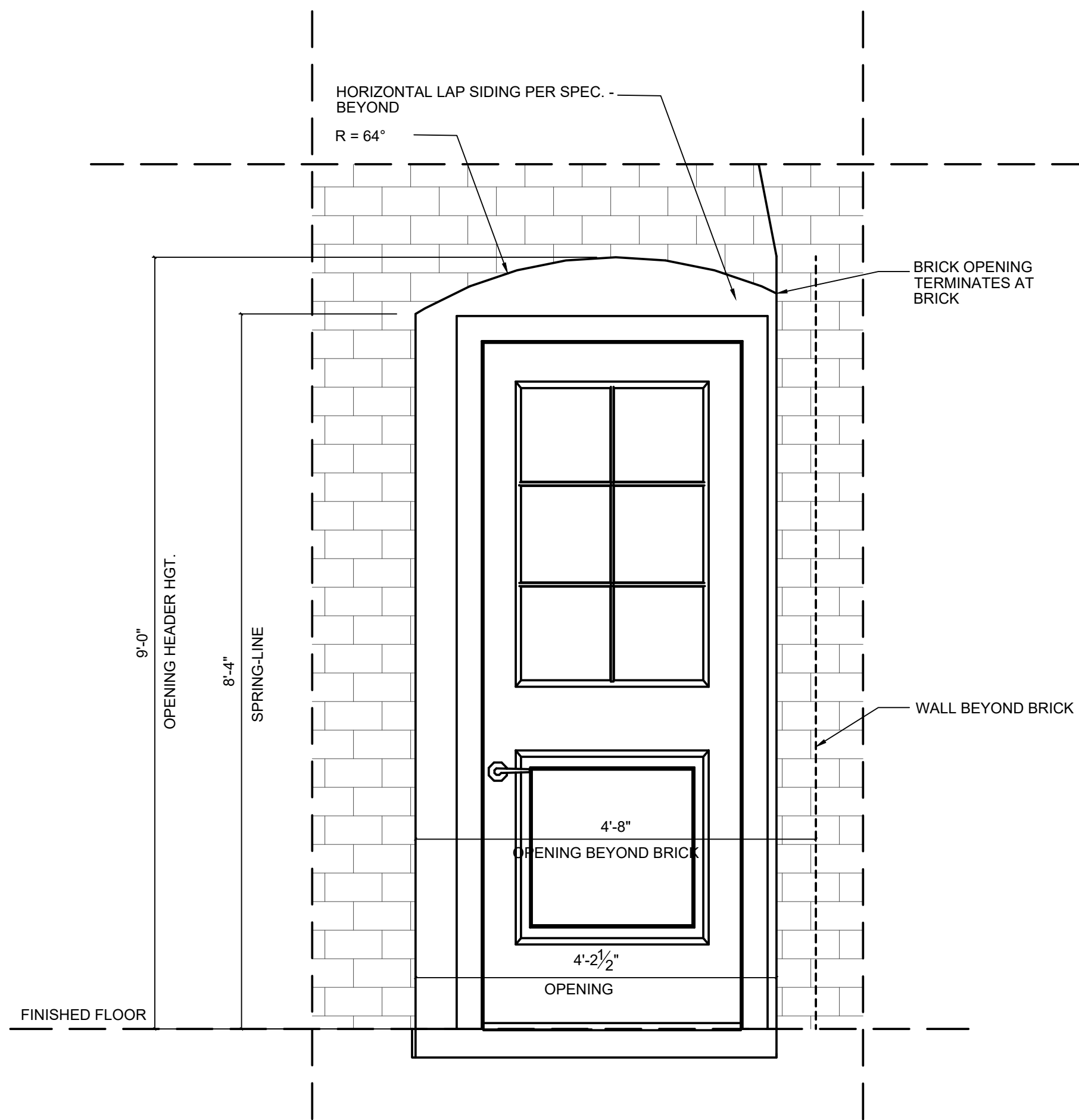
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Plan Number
M026-23
A-4
Sheet No.
Drawn By: JG
Date: 8/8/2023

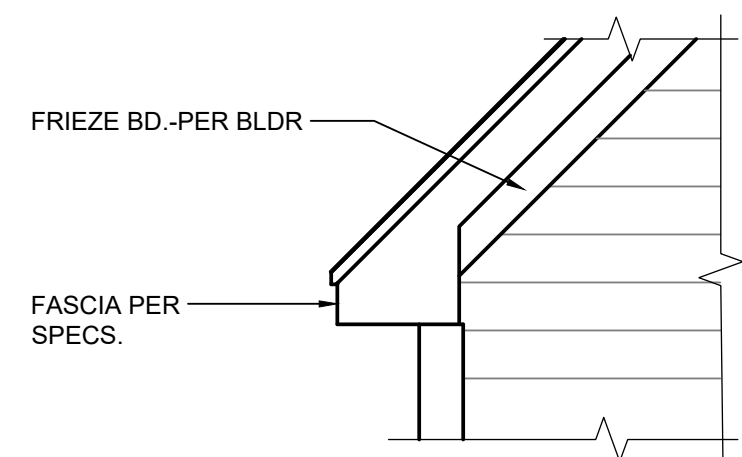
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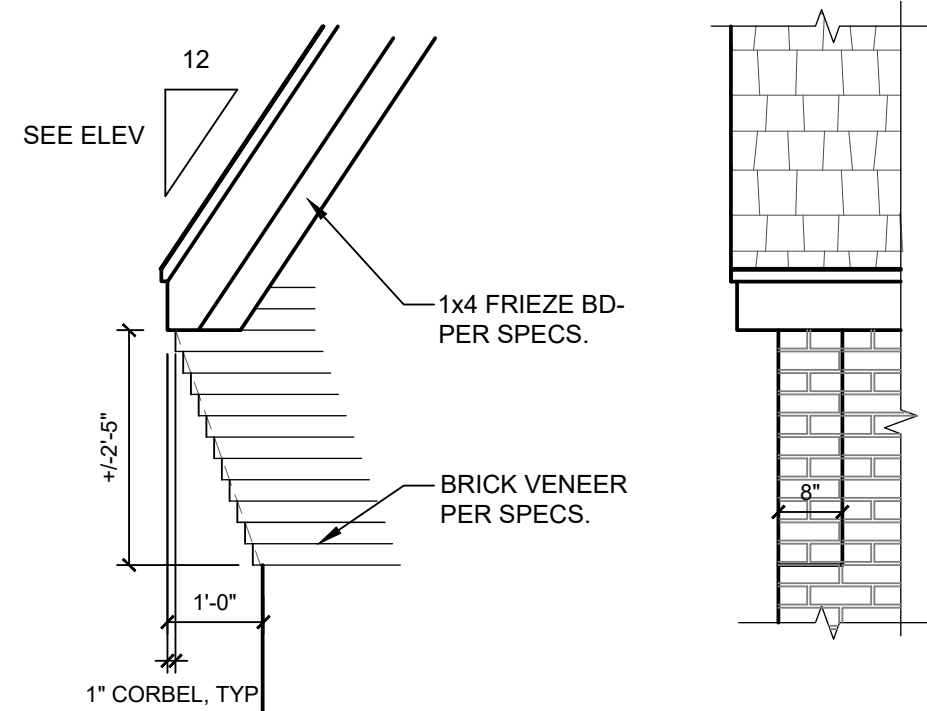
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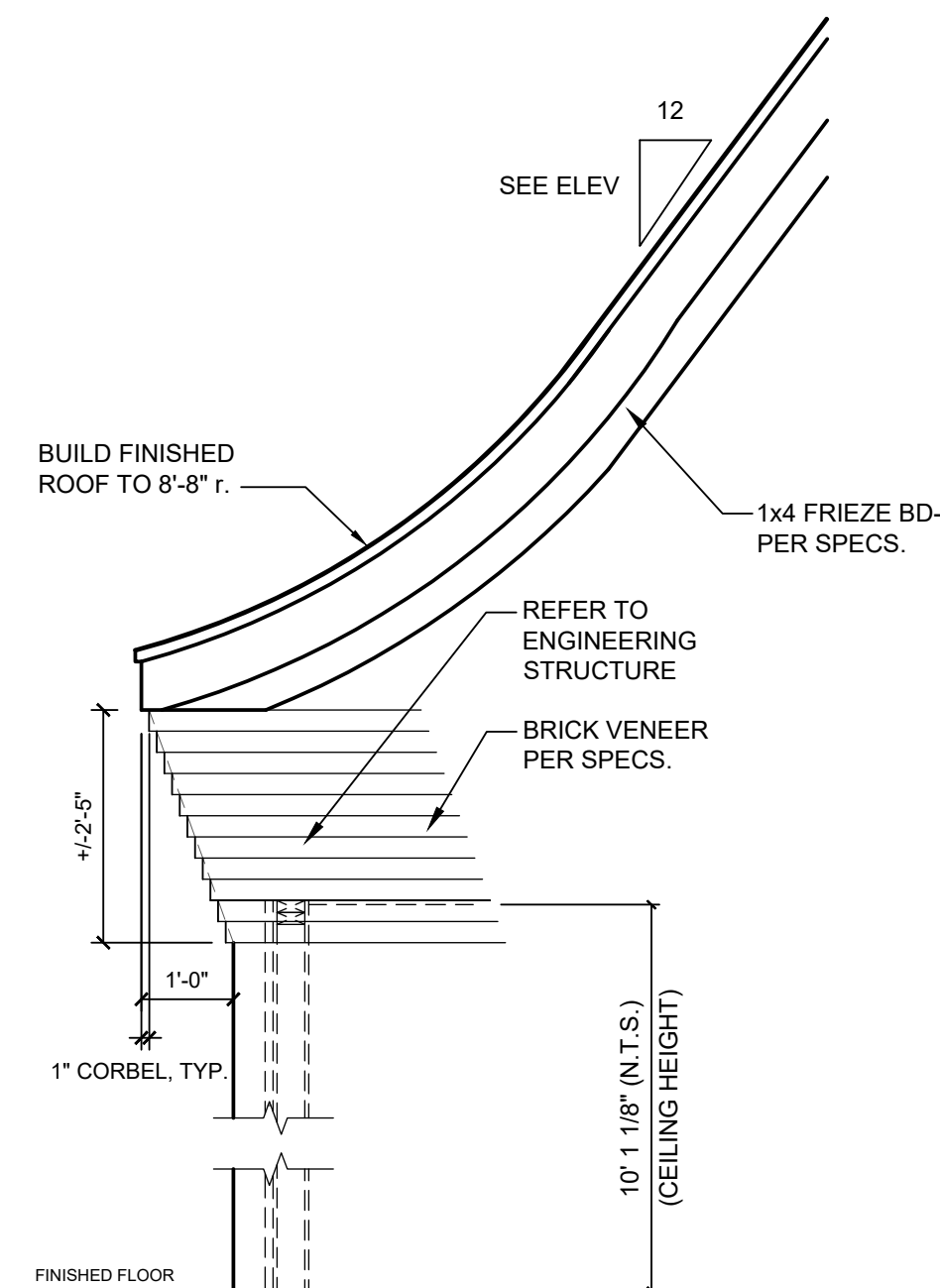
1 FRONT PORCH ENTRY DETAIL
A-5 3/4" = 1'-0"



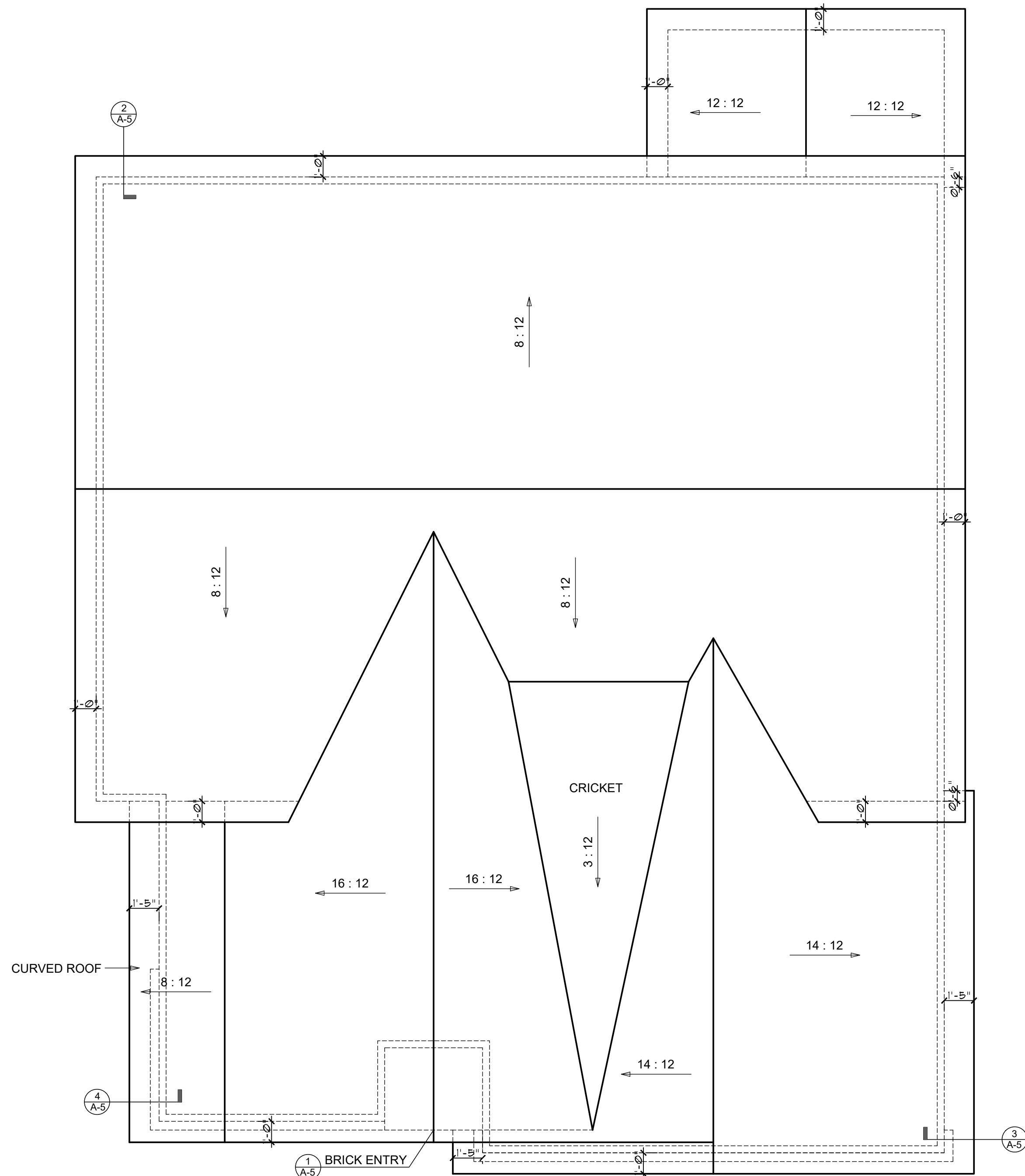
2 TYPICAL CORNICE DETAIL
A-5 1/2" = 1'-0"



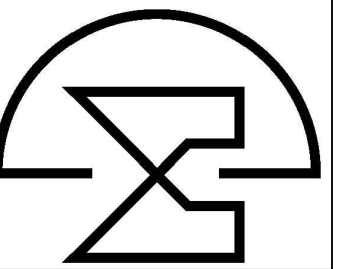
3 BRICK CORNICE DETAIL
A-5 1/2" = 1'-0"



4 CURVED ROOF CORNICE DETAIL
A-5 1/2" = 1'-0"



ROOF PLAN
1/4" = 1'-0"



Precipice Properties
Build to Rent
Cliff Option A

Sheet Title:

DETAILS

REVISIONS

NUMBER	DATE

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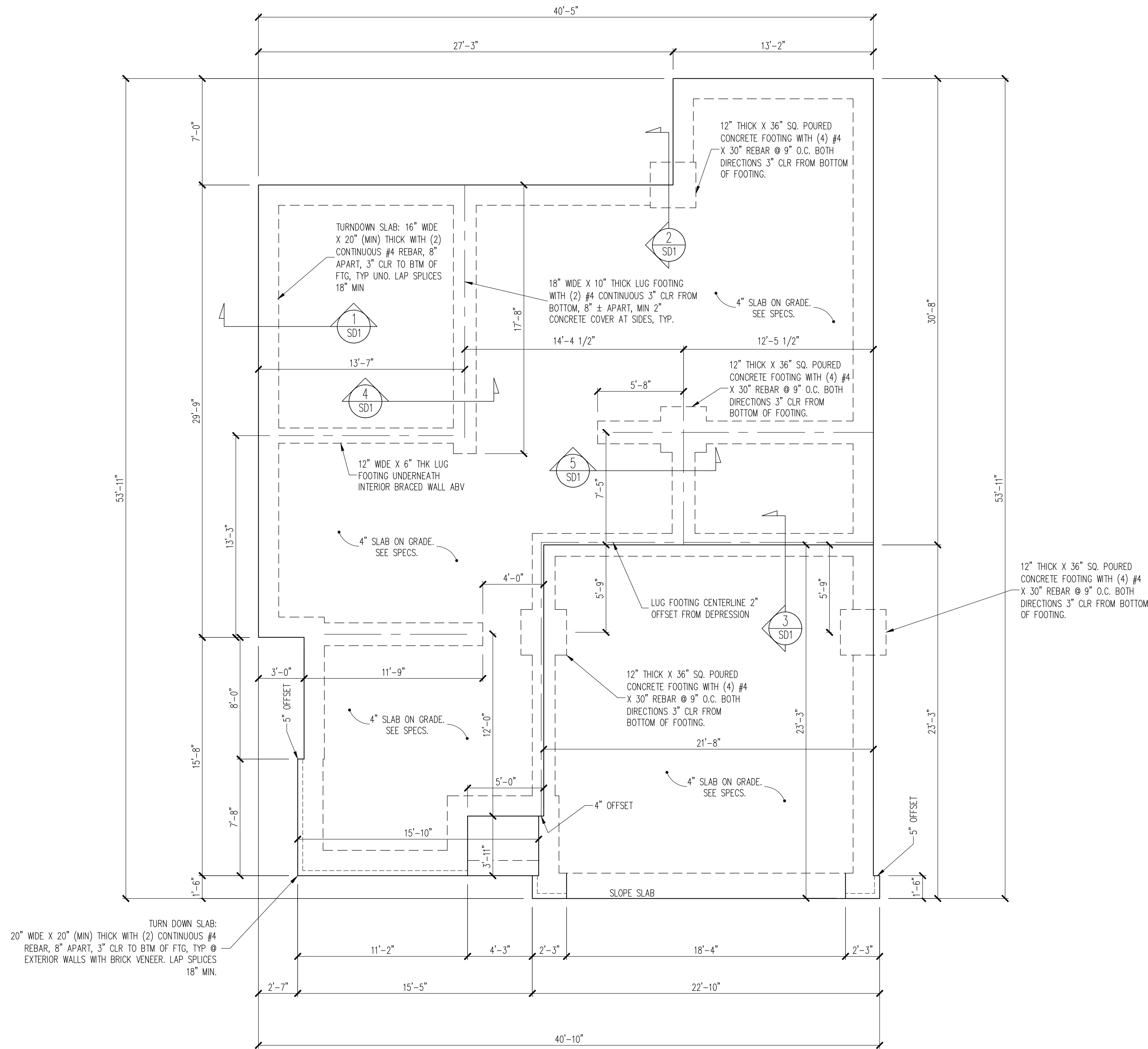
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Plan Number
M026-23

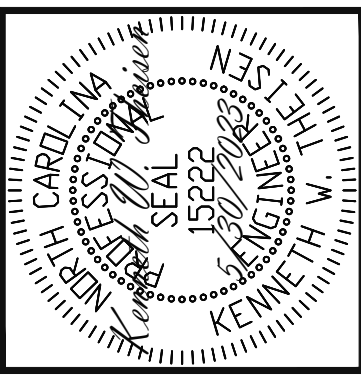
Sheet No. **A-5**

Drawn By: **MMc.**

Date: **5/19/23**



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Engineering Tech Associates, P.A.

STRUCTURAL ENGINEERS

License No. C3870

318 W Millbrook Rd. Unit 201

Raleigh, North Carolina 27609

Phone (919) 844-1661

PRECIPICE PROPERTIES		STRUCTURAL ADDENDUM	
SCOPE	REV #	REF PROJ #	DATE
LOC	1	23-66-279	8-22-2023
CLIFF A MASTER PLAN			

ENG: KWT/CR
DATE: 5/30/2023

PLAN
M026-23

PROJECT NO.
23-21-095GR

SHEET NO.
S1
1 of 7

CONSTRUCTION SPECIFICATIONS
INSTANT REFERENCES

REFER TO THE CONSTRUCTION SPECIFICATIONS SECTIONS FOR THE FOLLOWING INFORMATION:

PART 1.01: CURRENT GOVERNING CODE

PART 14: STUD SUPPORT FOR BEAMS

PART 16.02: GENERAL WALL BRACING NOTES

PART 17: KING STUDS FOR EXTERIOR WALLS

SEE DETAIL / CONSTRUCTION SPECIFICATIONS SHEETS FOR I-JOISTS ALLOWABLE SUBSTITUTIONS

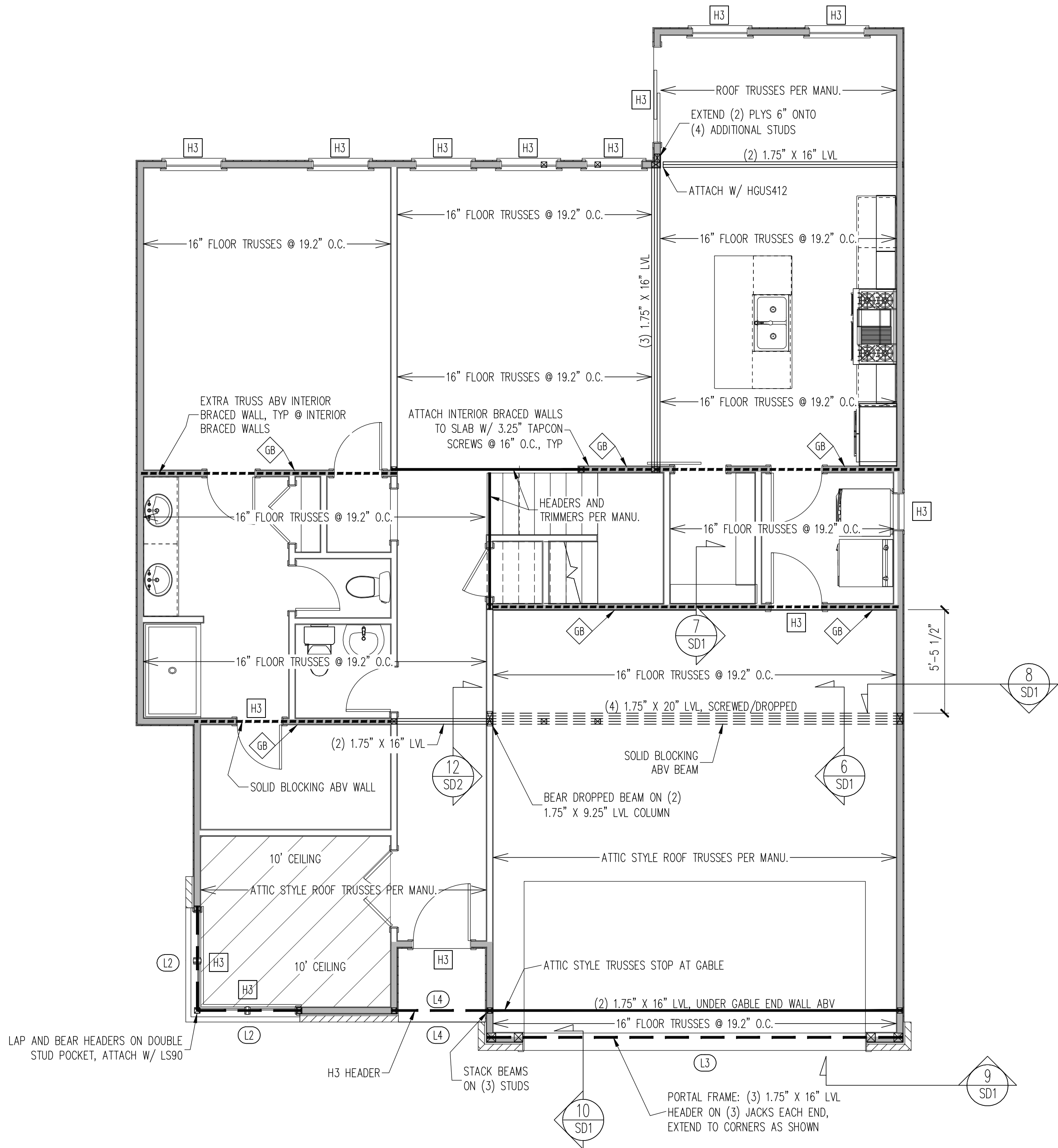
NOTES:

- HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION.
- 14" SQ POURED CONC PIERS OR 16" Ø POURED CONC PIERS MAY BE USED IN LIEU OF 16" SQ MASONRY PIERS.

FOUNDATION PLAN

1/4" = 1'-0"

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WALL BRACING

FIRST FLOOR ONLY

CS - ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

SHADED WALLS:

WSP ONE SIDE OF INTERIOR WALL OR INSIDE OF EXTERIOR WALL WITH 3/8" MIN. THICKNESS WOOD STRUCTURAL PANELING. ATTACH WSP TO STUD WALL WITH 8d NAILS @ 4" O.C. AT PANEL EDGES, 8" O.C. IN PANEL FIELD.

GB INTERIOR BRACED WALL. 1/2" GB SECURED PER TABLE R602.10.2 OF THE 2012 NCRBC. (FASTENERS @ 7" O.C.) BOTH SIDES OF WALL, OR (FASTENERS @ 4" O.C.) ONE SIDE OF WALL AT STAIRS

NOTES:
-PROVIDED CONTINUOUS SHEATHING = 195' MIN.

LINTEL SCHEDULE

L1 L 3 1/2 X 3 1/2 X 1/4 TYP UNO
L2 L 5 X 3 1/2 X 5/16
L3 L 6 X 4 X 5/16 ATTACHED TO HEADER WITH (2) 1/2" X 3" LAG SCREWS @ 16" O.C.
L4 16 GAGE STEEL FLEX LINTEL AT ARCH

HEADER SCHEDULE

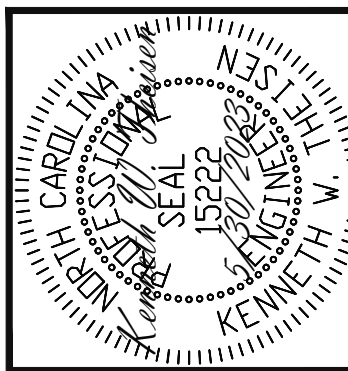
H1 SINGLE 2X4 TURNED FLAT (A)
H2 (2) 2X4'S ON SINGLE JACKS (B)
H3 (2) 2X10'S ON SINGLE JACKS (C)
H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5 (3) 2X10'S ON SINGLE JACKS

(A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

1ST FLOOR FRAMING PLAN

WALLS AND CEILING 1/4" = 1'-0"



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STRUCTURAL ENGINEERS
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Raleigh, North Carolina 27609
Phone (919) 844-1661

PRECIPICE PROPERTIES

STRUCTURAL ADDENDUM

SCOPE: CLIFF A MASTER PLAN

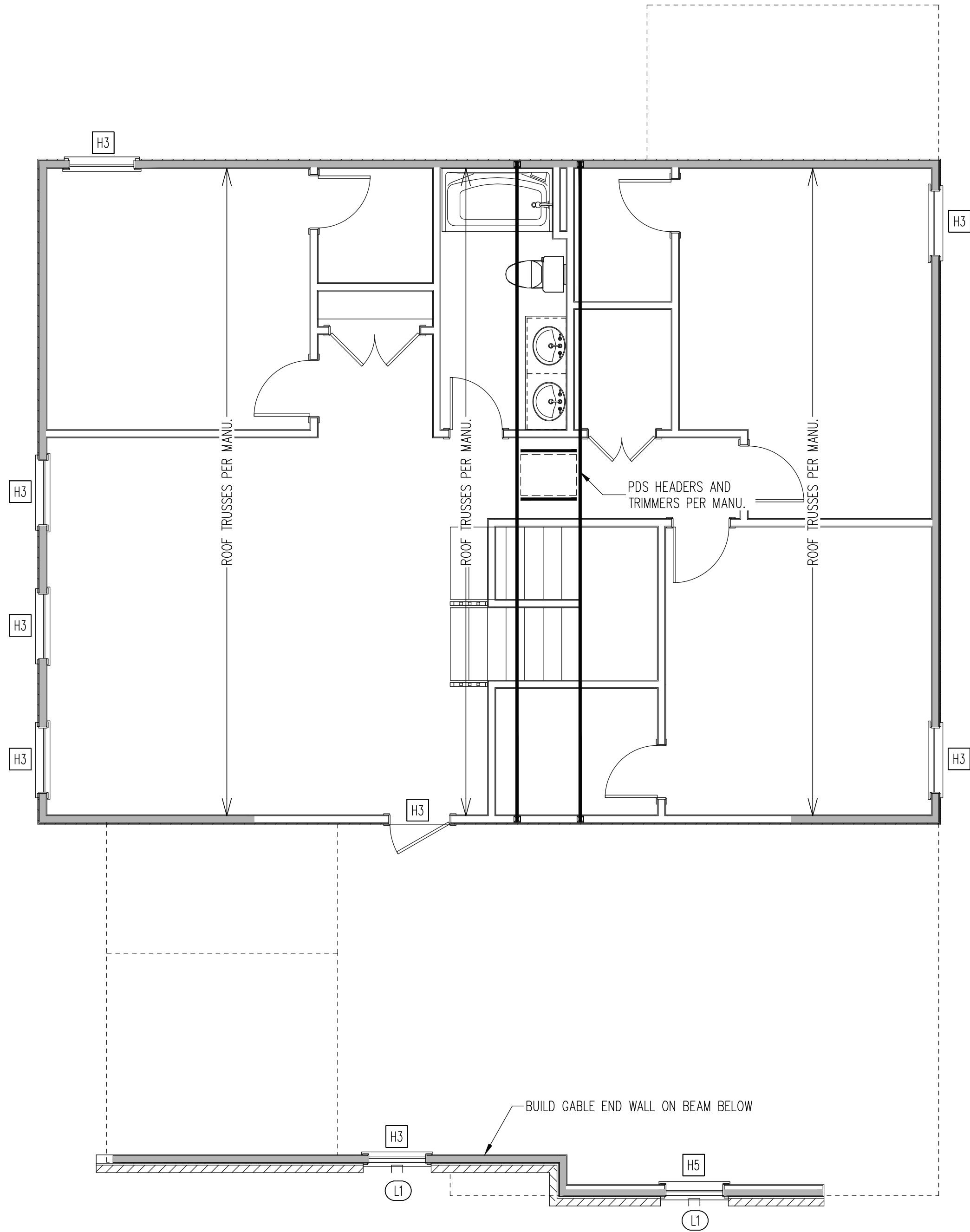
ENG: KWT/CR
DATE: 5/30/2023

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23-21-095CR

SHEET NO.
S2
2 of 7

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WALL BRACING

CS - ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

SHADED WALLS:

NOTES:
-PROVIDED CONTINUOUS SHEATHING = 106" MIN.

HEADER SCHEDULE

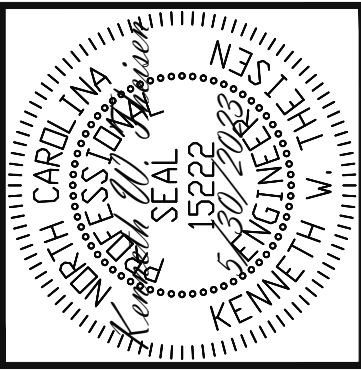
- H1 SINGLE 2X4 TURNED FLAT (A)
H2 (2) 2X4'S ON SINGLE JACKS (B)
H3 (2) 2X10'S ON SINGLE JACKS (C)
H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5 (3) 2X10'S ON SINGLE JACKS

- (A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

2ND FLOOR FRAMING PLAN

WALLS AND CEILING 1/4" = 1'-0"



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PRECIPICE PROPERTIES		STRUCTURAL ADDENDUM	
SCOPE	REV #	REF PROJ #	DATE
LOC: CLIFF A MASTER PLAN	1	23-66-279	8-22-2023

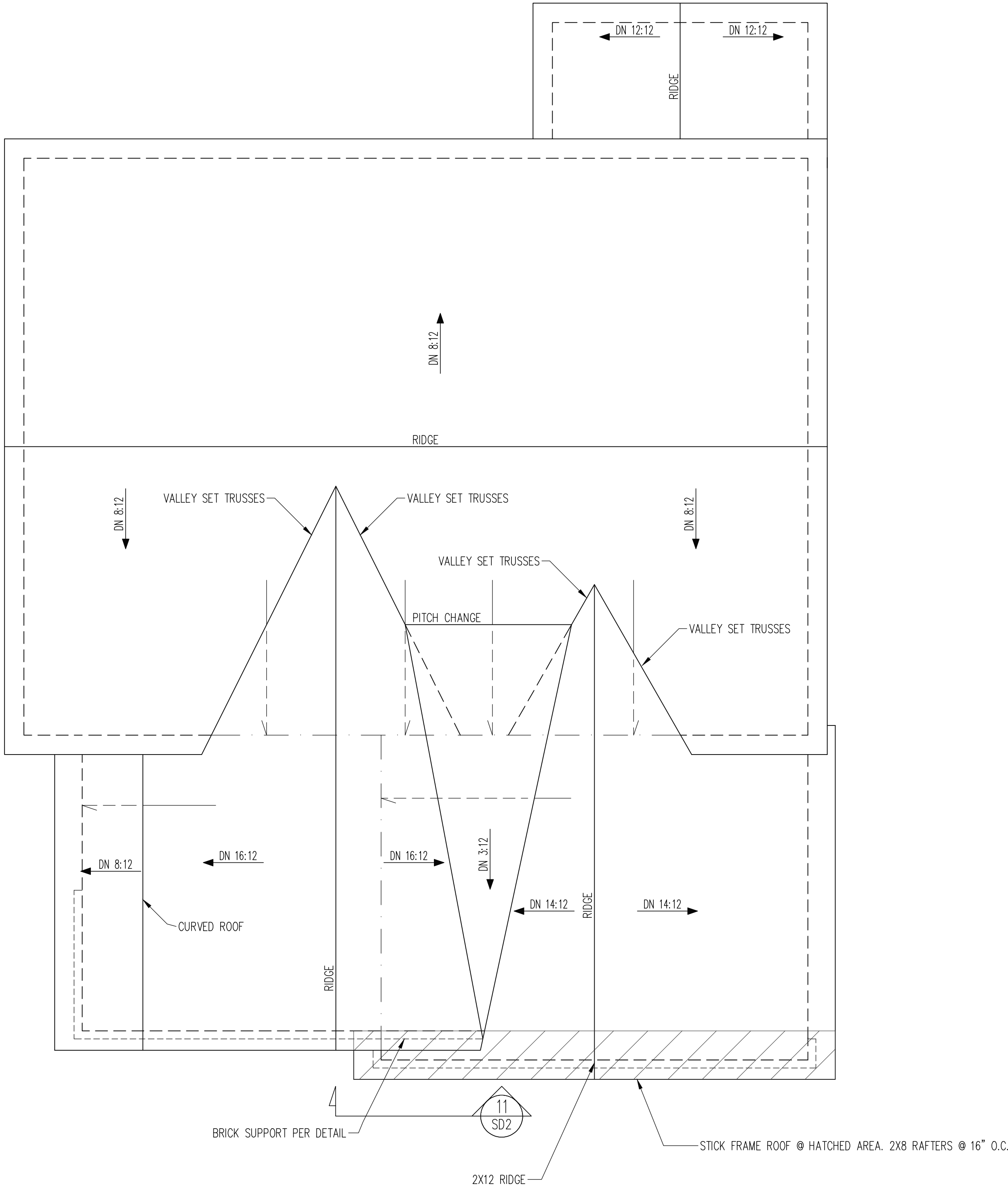
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DATE: 5/30/2023

PLAN
M026-23

PROJECT NO.
23-21-095GR

SHEET NO.
S3
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FRAMING NOTES

ROOF ONLY
-ROOF TRUSSES PER MANU. TYPICAL U.N.O.
-VERIFY ALL HEEL HEIGHTS, ROOF PITCHES,
AND ARCHITECTURAL OVERHANGS PRIOR TO
CONSTRUCTION

TRUSS UPLIFT CONNECTORS

EXPOSURE B, 115 MPH, ANY PITCH
24" O.C. MAX ROOF TRUSS SPACING

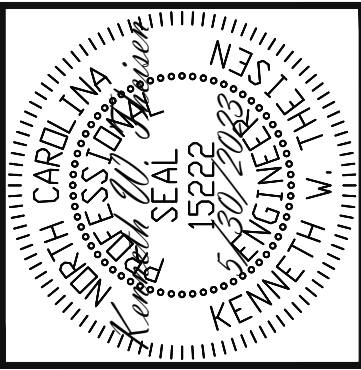
TRUSSES SHALL BE ATTACHED TO SUPPORT WALL FOR UPLIFT RESISTANCE. CONTINUOUS OSB WALL SHEATHING BELOW PROVIDES CONTINUOUS UPLIFT RESISTANCE TO FOUNDATION. ALL TRUSSES SUPPORTED BY INTERMEDIATE SUPPORT WALLS, KNEEWALLS OR BEAMS SHALL BE ATTACHED TO SUPPORTING MEMBER PER SCHEDULE BELOW.

ROOF SPAN IS MEASURED HORIZONTALLY BETWEEN FURTHEST SUPPORT POINTS.

ROOF SPAN UP TO 28'	CONNECTOR NAILING PER TABLE 602.3(1) NCRBC 2018 EDITION
OVER 28'	(1) SIMPSON H2.5A HURRICANE CLIP TO DBL. TOP PLATE OR BEAM

ROOF FRAMING PLAN

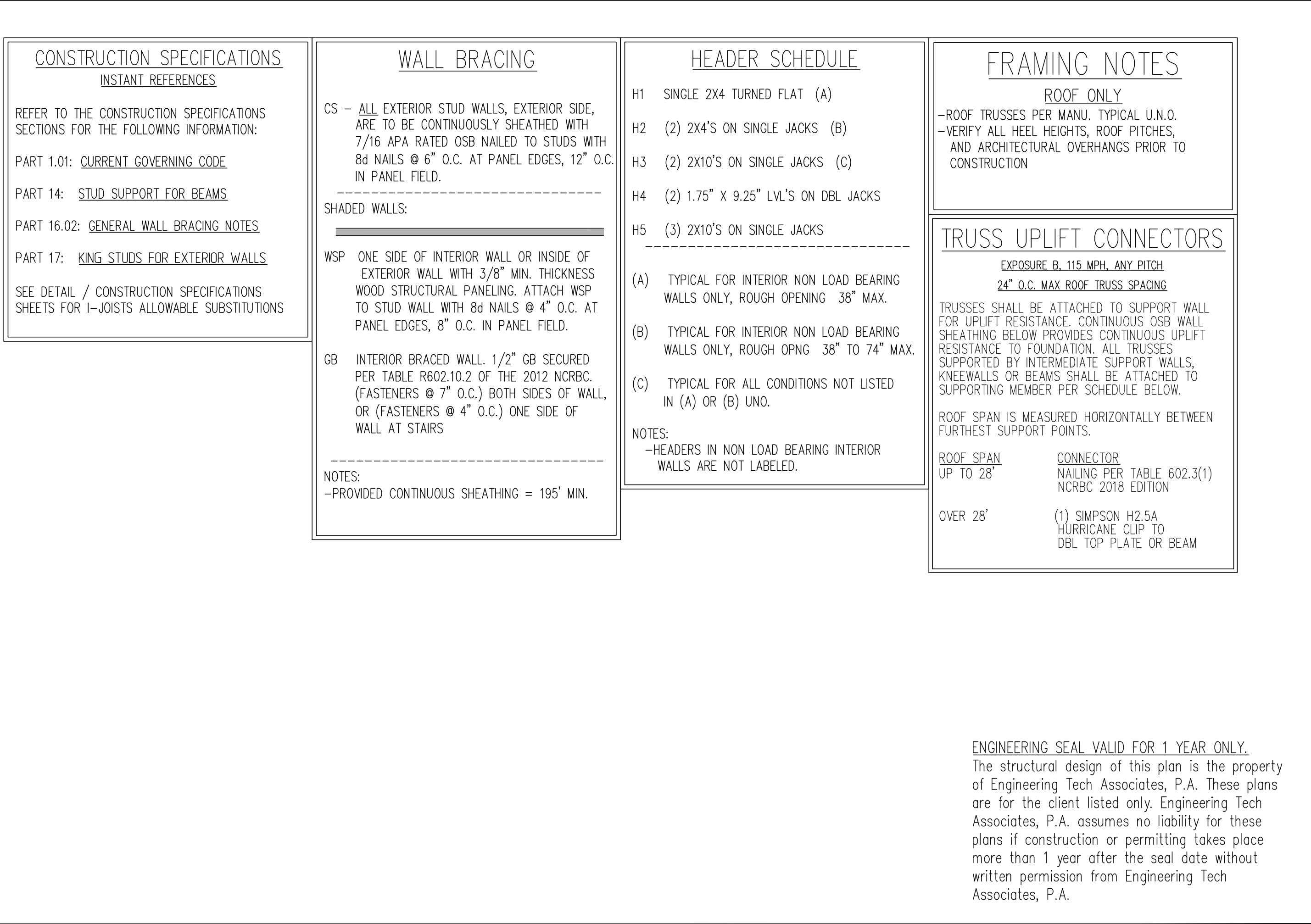
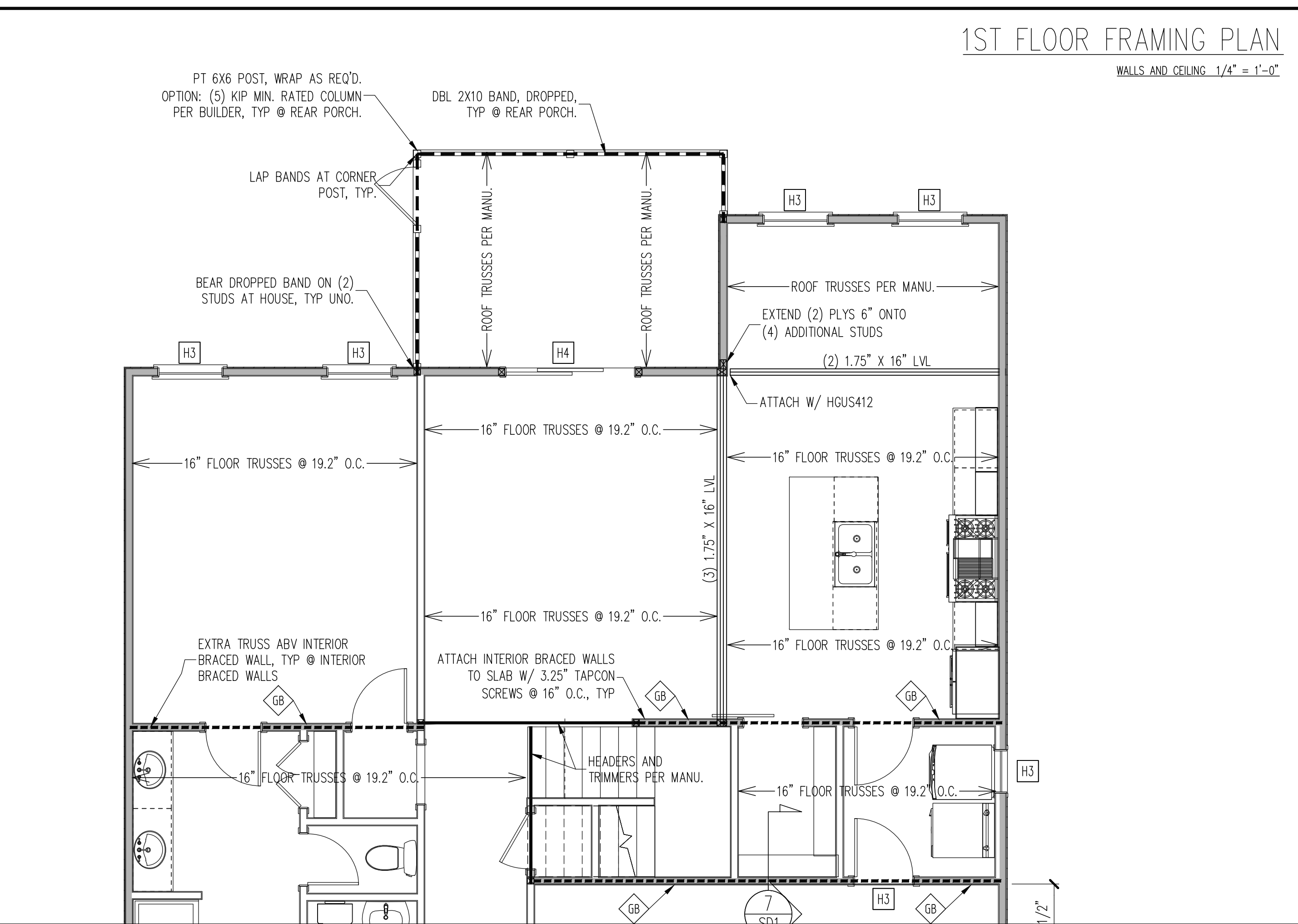
1/4" = 1'-0"



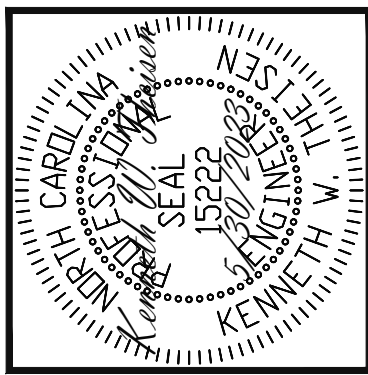
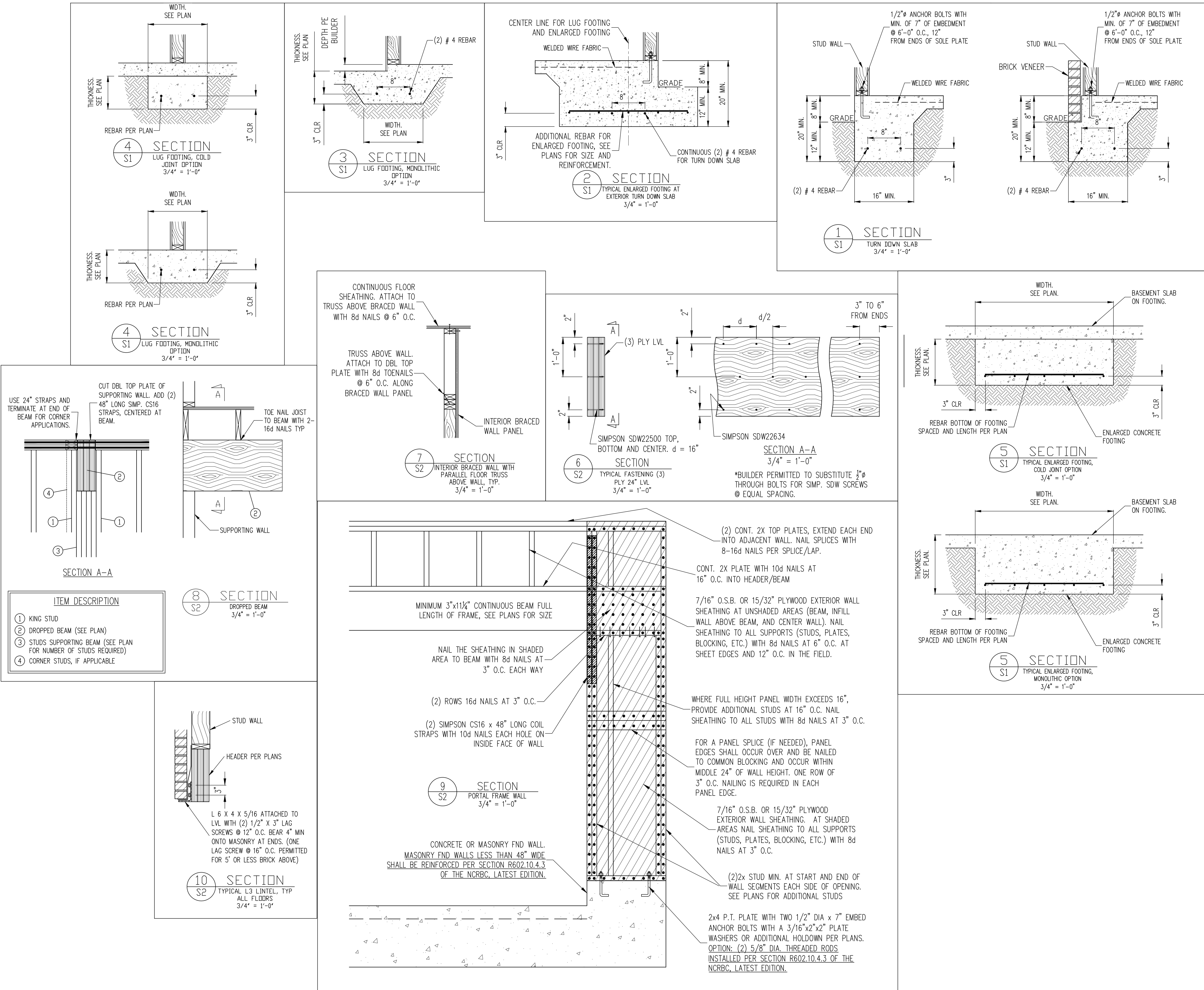
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PRECIPICE PROPERTIES		STRUCTURAL ADDENDUM	
SCOPE	CLIFF A MASTER PLAN	REV #	REF PROJ #
LOC		1	23-66-279
		DATE	8-22-2023

ENG: KWT/CR
DATE: 5/30/2023
PLAN M026-23
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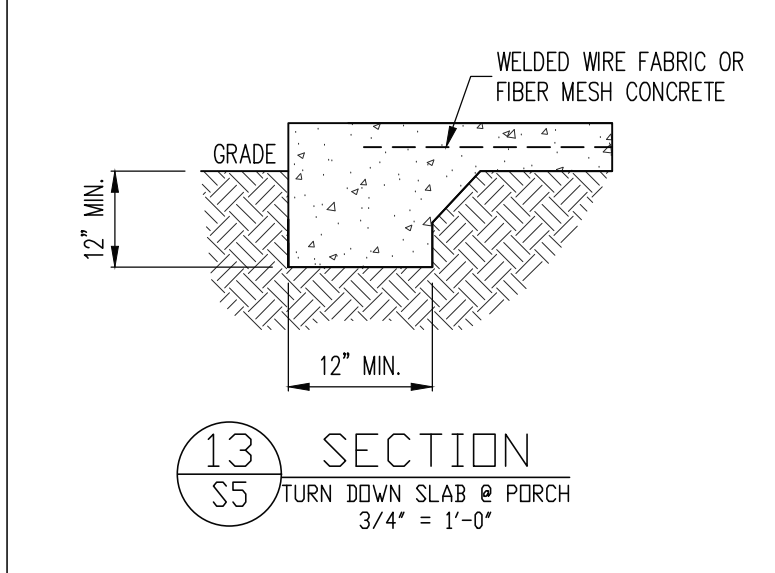
PRECIPICE PROPERTIES			
STRUCTURAL ADDENDUM			
SCOPE	REV #	REF PROJ #	DATE
LOC	1	23-66-279	8-22-2023
CLIFF A MASTER PLAN			

ENG: KWT/CR
DATE: 5/30/2023

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M026-23

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PART 1: GENERAL			FM = 1,500 PSI MIN	2-BEAMS BEARING ONTO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR A MINIMUM OF 3" ONTO THE WALL AND BE SUPPORTED BY A DBL STUD GANGED COLUMN STUD UNO.	
1.01	CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.	7.02	CLAY MASONRY UNITS SHALL CONFORM TO ASTM C62-17 GRADE SW	14.03	EXTRA JOISTS BEARING ON A STUD WALL PERPENDICULAR TO OR SKEWED RELATIVE TO THE BEAM SHALL BE SUPPORTED BY ONE ADDITIONAL STUD.
1.02	DIMENSIONS SHOWN SHALL GOVERN OVER SCALE ON THESE DRAWINGS.	7.03	MORTAR SHALL BE TYPE S, MORTAR AND GROUT SHALL CONFORM TO ASTM C476, MIN COMPRESSIVE STRENGTH OF 2000 PSI.	14.04	STUDS THAT ARE GANGED TO FORM A COLUMN SHALL HAVE ADJACENT STUDS WITHIN THE COLUMN NAILED TOGETHER WITH ONE ROW OF 10d NAILS AT 8" O.C. (TWO ROWS OF 10d NAILS @ 8" O.C. 3" APART, FOR 2X8 OR 2X10 STUDS) ALL COLUMN SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR OTHER PROPERLY DESIGNED STRUCTURAL ELEMENT SUCH AS A BEAM. COLUMNS TRANSFERRING LOADS THROUGH FLOOR LEVELS SHALL BE SOLIDLY BLOCKED FOR THE FULL WIDTH OF THE STUD COLUMN WITHIN THE CAVITY FORMED BY THE FLOOR JOISTS.
PART 2: DESIGN LOADS			MASONRY CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS OF ACI 530	PART 15: NAILING OF MULTI PLY WOOD BEAMS	
2.01	DESIGN LOADS SHALL CONFORM WITH THE TABLE BELOW:	PART 8: BOLTS AND LAG SCREWS		15.01	
	USE	LIVE LOAD (PSF)	DEAD LOAD (PSF)	SOLID SAWN LUMBER JOISTS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM NAILED TOGETHER WITH THREE ROWS OF 10d NAILS @ 16" O.C. FOR 2X10 OR LARGER, TWO ROWS OF 10d Nails @ 16" O.C. FOR 2X8, ONE ROW OF 10d Nails @ 16" O.C. FOR 2X6 OR SMALLER. STAGGER ROWS 5" MIN.	
	BALCONIES, DECKS, ATTICS WITH FIXED STAR ACCESS, DWELLING UNITS INCLUDING UNITS WITH FIXED STAR ACCESS, STAIRS, FIRE ESCAPES	40	10	15.02	
	GARAGES (PASSENGER CARS ONLY)	50	--	LVL MEMBERS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM FASTENED TOGETHER PER MANUFACTURERS RECOMMENDATIONS, TYP UNO.	
	ATTICS (NO STORAGE, LESS THAN 5' HEADROOM)	10	10	PART 16: WALL FRAMING AND BRACING	
	ATTICS (WITH STORAGE)	20	10	16.01	
	ROOF	20	10 (15 FOR VAULTS)	STUD WALL SHALL CONSIST OF 2X4 STUDS SPACED AT 16" O.C. STUDS SHALL BE CONTINUOUS FROM SOLE PLATE AT FLOOR TO DOUBLE TOP PLATE AT THE CEILING OR ROOF, NO INTERMEDIATE BANDS OR PLATES SHALL CAUSE DISCONTINUITIES IN A STUD WALL ACCEPT AS REQUIRED FOR DOOR OR WINDOW OPENINGS. THE KING STUDS FOR SUCH OPENINGS SHALL BE 2X6.	
NOTES:			PART 9: DRIVEN FASTENERS	MAX ALLOWABLE WALL HEIGHTS FOR EXTERIOR STUD WALLS, INCLUSIVE OF SOLE PLATE AND DBL TOP PLATE AND 7/16" O.S. EXTERIOR BRACING AND ROW OF 2X4 2X6 PERLUNG AT 8' HEIGHT (AND AT 16' HEIGHT FOR TALL WALLS), TYP UNO.	
- INDIVIDUAL STAR TREADS ARE TO BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OF 40 PSF OR A 300 LB CONCENTRATED LOAD ACTING OVER AN AREA OF 30" WIDEWHICHER PRODUCES THE GREATER STRESS.			PART 10: DIMENSIONAL LUMBER	2X4 @ 16" O.C. 11"-1 1/2" 2X6 @ 16" O.C. 17"-0"	
- BUILDER TO VERIFY DEAD LOAD NOT EXCEEDED TO PSF WHEN HEAVY FLOOR OR ROOF FINISHES SUCH AS TILE OR SLATE ARE UTILIZED. NOTIFY ENGINEERING UNDER THESE CONDITIONS			10.01	2X4 @ 12" O.C. 12"-1 1/2" 2X6 @ 16" O.C. 18"-0"	
2.02	INTERIOR WALLS: S PSF LATERAL.	10.02		DBL 2X4 @ 16" O.C. 13"-4" DBL 2X6 @ 16" O.C. 21"-0"	
2.03	BASIC WIND DESIGN VELOCITY OF 120 MPH.	10.03		16.02	
2.04	SOIL BEARING CAPACITY 2000 PSF (PRESUMPTIVE).	10.04		FOR WALL BRACING THE FOLLOWING SHALL APPLY: -BLOCKING AT UNSUPPORTED PANEL EDGES IS REQUIRED TYP UNO. -WALL BRACING IS BY ENGINEERED DESIGN AND NOT PRESUPPOSE PER SECTION 602.10 OF THE 2018 NRC. CONTINUOUS SHEATHING HAS BEEN PROVIDED, ALONG WITH ALTERNATIVE METHODS TO INSURE THE MINIMUM INTENT OF SECTION 602.10 OF THE 2018 NRC HAS BEEN MET AND EXCEEDED. -BRACED WALL PANELS SHALL BE FASTENED IN ACCORDANCE WITH TABLE 602.3(1) TO PROVIDE CONTINUOUS PANEL UP/LIFT RESISTANCE AND COMPLIANCE WITH NRCB 602.3.5 AND 602.3.1 UNLESS NOTED OTHERWISE ON STRUCTURAL PLANS. -MAY SUBSTITUTE WSP FOR GB -SINGLE JOIST, CONTINUOUS RM JOIST, OR BLOCKING OF EQUAL DEPTH IS REQUIRED ABOVE AND BELOW ALL BRACED WALLS, WALL BLOCKING ABOVE WALL TO TOP PLATE WITH 16d TOE NAILS @ 6" O.C. NAIL SOLE PLATE OF BRACED WALL TO BLOCKING BELOW WITH (3) 16d NAILS @ 6" O.C. BLOCKING AT HORIZONTAL JOINTS IN BRACED WALL LINES ONLY REQUIRED AT SHADED WALLS, UNO.	
PART 3: STRUCTURAL STEEL			PART 11: ENGINEERED LUMBER	PART 17: KING STUDS	
3.01	WIDE FLANGE BEAMS AND TEEL SECTIONS SHALL CONFORM TO ASTM A992 MINIMUM GRADE	11.01		KING STUDS FOR OPENINGS IN EXTERIOR WALLS SHALL BE AS FOLLOWS:	
3.02	SQUARE AND RECTANGULAR TUBING SHALL CONFORM TO ASTM A500 GRADE B MINIMUM GRADE	11.02		NUMBER OF KING STUDS	
3.03	STEEL PIPE SHALL CONFORM TO ASTM A53 GRADE B, TYPE S, MINIMUM GRADE	11.03		MAX OPENING WIDTH	
3.04	ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 MINIMUM GRADE	11.04		STUD SIZE	
3.05	STRUCTURAL STEEL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.	11.05		2X4	
3.06	WELDING	11.06		2X6	
3.07	WELDING ELECTRODES SHALL BE E70XX AND ALL WELDING SHALL BE PERFORMED BY AN AWS CERTIFIED WELDER	11.07		1	
PART 5: CONCRETE AND SLABS ON GRADE			PART 12: PRESSURE TREATED LUMBER	1	
5.01	CAST IN PLACE CONCRETE SHALL BE OF NORMAL WEIGHT, 4-6% AIR ENTRAINMENT, FOR EXTERIOR CONCRETE AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS TYP UNO. ALL ITEMS NOTED AS "CONCRETE" ARE TO BE CAST IN PLACE, TYP UNO.	12.01		2	
5.02	REINFORCED CAST IN PLACE CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF ACI 318, LATEST EDITION.	12.02		2	
5.03	SLABS ON GRADE, IF ANY, SHALL BE CAST IN PLACE, CONTA SYNTHETIC POLYPROPYLENE FIBRILLATED MICRO FIBERS, FIBER LENGTH 1 1/2", DOSEAGE RATE 1 1/2 LB/50 YD, SLAB TO BE PLACED ON A 6 MIL VAPOR BARRIER ON 4" MIN GRANULAR FILL ON SOIL WITH 90% MIN STANDARD PROCTOR DENSITY. VAPOR BARRIER MAY BE OMITTED FOR SLABS NOT IN ENCLOSED AREAS.	12.03		1	
PART 6: REBAR AND WIRE REINFORCEMENT			PART 13: STEEL FLITCH PLATE BEAMS	PART 18: SUBSTITUTIONS	
6.01	REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615 GRADE 60 TYP UNO	13.01			

THE BUILDER IS RESPONSIBLE FOR REVIEWING PLANS PRIOR TO CONSTRUCTION. THE BUILDER SHALL IMMEDIATELY CONTACT THE ENGINEER OF RECORD (EOR) BEFORE PROCEEDING IF THE FOLLOWING CONDITIONS ARE NOTED BEFORE OR DURING CONSTRUCTION:

- 1) THE WORKING PLANS DO NOT BEAR THE SEAL OF THE EOR
- 2) THE PLANS CONTAIN DISCREPANT OR INCOMPLETE INFORMATION

ANY ERRORS DUE TO A FAILURE TO FOLLOW THE ABOVE PROCEDURES SHALL NOT BE THE RESPONSIBILITY OF THE EOR. FURTHERMORE, IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THAT ANY REVISIONS ISSUED BY THE EOR ARE PROMPTLY DISTRIBUTED TO THE SUBCONTRACTORS

THE EOR DOES NOT PERFORM FENESTRATION OR VENTING CALCULATIONS OR ANY OTHER CALCULATIONS THAT ARE NOT DIRECTLY RELATED TO STRUCTURAL ENGINEERING.

ROOF AND FLOOR TRUSSES TO BE DESIGNED BY AN ENGINEER REGISTERED BY THE STATE. FINAL TRUSS DRAWINGS SHOULD BE SUBMITTED TO THE EOR FOR REVIEW

ABV	ABOVE	FND	FOUNDATION	TJ	TRIPLE JOIST
B	BOTH	FTG	FOOTING	TY	TYPICAL
BTN	BOTH ENDS	H	HOT DIPPED	TRPL	TRIPLE
BTE	BETWEEN	HGR	GALVANIZED	TSP	TRIPLE STUD POCKET
C	C	HC	HANGER	UNO	UNLESS NOTED
CCS	CONCRETE	LVL	LAMINATED VENEER		OTHERWISE
CON	CONTINUOUS SHEATHING	LUM	LUMBER	XJ	EXTRA JOIST
DIA	DIAMETER	NTS	NOT TO SCALE		
DBL	DOUBLE	OC	ON CENTER		
DJ	DOUBLE JOIST	PSL	PARALLEL STRAND LUMBER		
DSP	DBL. STUD POCKET				
E	EQUAL	PT	PRESSURE TREATED		
EA	EACH	QU	QUAD JOIST		
FLG	FLANGE	SP	SPACE (OR SPACING)		
FL PL	FLUTCH PLATE	SPP	SINGLE STUD POCKET		
FLR	FLOOR	SQ	SQUARE		

Engineering
Lech
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318 W Millbrook Rd. Unit 201
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Phone (919) 844-1661

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CAROLINA
JAN 1 1993
15222
KEMETZ W
ENGINEERS

PRECIPICE PROPERTIES			
SCOPE	STRUCTURAL ADDENDUM		
LOC:	CLIFF A MASTER PLAN	REV #	REF PROJ # DATE
		1	23-66-279 8-22-2023

PLAN
M026-23

SHEET NO.
SD2
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I, Joseph Hoffheimer, hereby certify that all property owners within 100 feet of and the owners of PIN 9864883297 (the affected property) have been sent a letter of notification of the Certificate of Appropriateness application before the Historic District Commission by first class mail in accordance with the Hillsborough Zoning Ordinance.

7/23/2025

Date

Joseph Hoffheimer
(for Hillsborough Planning Department)

PIN	OWNER1_LAST	OWNER1_FIRST	OWNER2_LAST	OWNER2_FIRST	ADDRESS1	ADDRESS2	CITY	STATE	ZIPCODE
9864881186	BROOKS	SADIE B			318 UNION ST		HILLSBOROUGH	NC	27278
9864881288	BURTON ASSETS				307 MITCHELL ST		HILLSBOROUGH	NC	272782129
9864882167	CARTER	MARGARET G ETAL	FREELAND	SHARON S	316 W UNION ST		HILLSBOROUGH	NC	27278
9864882268	BURTON	ANN SMITH	BURTON	CHARLES MICHAEL	307 MITCHELL ST		HILLSBOROUGH	NC	27278
9864882593	HEELSBOROUGH				104 FOX HILL FARM		HILLSBOROUGH	NC	27278
9864883194	HAWKSWORTH	BARBARA			312 W UNION ST		HILLSBOROUGH	NC	27278
9864883297	HTKT INVESTME				6325 FALLS OF THE STE 35-320		RALEIGH	NC	27609
9864883584	MATTISON	WILLIAM E	MATTISON	VICTORIA P	310 W ORANGE ST		HILLSBOROUGH	NC	27278
9864884297	HOME 4 U LLC				721 BORLAND RD		HILLSBOROUGH	NC	27278
9864885101	DAVIS	JANE B			306 W UNION ST		HILLSBOROUGH	NC	27278
9864885157	WATSON	BETTY HAYES			311 N ENGLISH HIL		HILLSBOROUGH	NC	272786508
9864885242	MADLON KAY	SETH	WALKER	ASHLEY N	405 N HASSELL ST		Hillsborough	NC	27278
9864885255	BEERY	NICHOLAS P	BEERY	LAURA F	110 TRANQUILITY		HILLSBOROUGH	NC	27278
9864885361	LEWIS	ANNA CHRIS ET AL	LEWIS	TOM ANDREW TRU	409 N HASSELL ST		HILLSBOROUGH	NC	27278
9864885594	JOHNSON	DONALD S	JOHNSON	DEBORA A	9607 HANOVER RI		CHARLOTTE	NC	28210

