

## Agenda

### HISTORIC DISTRICT COMMISSION

Regular meeting

6:30 p.m. September 3, 2025

Board Meeting Room of Town Hall Annex, 105 E. Corbin St.



**Public charge:** The Hillsborough Historic District Commission pledges to the community of Hillsborough its respect. The commission asks members of the public to conduct themselves in a respectful, courteous manner with the commission members and with fellow community members. At any time should any member of the commission or community fail to observe this public charge, the chair or the chair's designee will ask the offending person to leave the meeting until that individual regains personal control. Should decorum fail to be restored, the chair or the chair's designee will recess the meeting until such time that a genuine commitment to this public charge can be observed.

**Public comment guidelines:** All meetings shall be open to the public. The public may attend, but public comment shall be limited to those members of the public who have expert testimony or factual evidence directly related to an application on the agenda. Other public comments are permissible at the discretion of the Chair but shall not be used to render the Commission's decision on an agenda item. At the discretion of the Chair, a time limit may be placed on speakers other than the applicant to afford each citizen an equitable opportunity to speak in favor of, or in opposition to, an application.

#### 1. Call to order, roll call, and confirmation of quorum

#### 2. Commission's mission statement

To identify, protect, and preserve Hillsborough's architectural resources and to educate the public about those resources and preservation in general. The Hillsborough Historic District presents a visual history of Hillsborough's development from the 1700s to the 1960s. In 1973, the town chose to respect that history through the passage of the preservation ordinance creating the historic district.

#### 3. Agenda changes

#### 4. Minutes review and approval

Approve minutes from regular meeting on August 6, 2025

#### 5. Written decision review and approval

Approve written decision from regular meeting on August 6, 2025

#### 6. Old business

- A. Certificate of Appropriateness Application: **311 W. Orange St.** - New construction house (PIN 9864883297)

**7. New business**

- A. Certificate of Appropriateness Application: **208 S. Cameron St.** - West-facing addition in existing courtyard area (PIN 9874153612)

**8. General updates**

**9. Adjournment**

Interpreter services or special sound equipment for compliance with the American with Disabilities Act is available on request. If you are disabled and need assistance with reasonable accommodations, call the Town Clerk's Office at 919-296-9443 a minimum of one business day in advance of the meeting.

# Minutes

## HISTORIC DISTRICT COMMISSION

### Regular meeting

6:30 p.m. Aug. 6, 2025

Board Meeting Room of Town Hall Annex, 105 E. Corbin St.



Present: Chair Will Senner and members G. Miller, Sara Riek, Bill Warren and Daniel Widis

Absent: Vice Chair Hannah Peele

Staff: Planner Joseph Hoffheimer and Town Attorney Bob Hornik

#### 1. Call to order, roll call, and confirmation of quorum

Chair Will Senner called the meeting to order at 6:30 p.m. He called the roll and confirmed the presence of a quorum.

#### 2. Commission's mission statement

Senner read the statement.

#### 3. Agenda changes

There were no changes to the agenda.

#### 4. Minutes review and approval

Minutes from special meeting on July 16, 2025.

Motion: Member G. Miller moved to approve the minutes from the special meeting on July 16, 2025, as submitted. Member Sara Riek seconded.

Vote: 5-0.

#### 5. Written decision review and approval

Written decision from special meeting on July 16, 2025.

Motion: Miller moved to approve the written decision from the special meeting on July 16, 2025, as submitted. Riek seconded.

Vote: 5-0.

#### 6. New business

- A. Certificate of Appropriateness Application: 326 N. Cameron St.  
Add rear second story shed dormer and replace greenhouse with screened porch (PIN 9874185204).

Senner opened the public hearing. He asked if there were any conflicts of interest or bias among the commissioners. None were disclosed. All commissioners disclosed that they had visited the site in preparation for reviewing the application.

Planner Joseph Hoffheimer was sworn in. David Cates was sworn in to speak on behalf of the application.

Hoffheimer introduced the application by presenting the staff report. He noted that the inventory information, application materials, and applicable design standards would be entered into the record as evidence. He provided the staff comments:

- The greenhouse proposed to be replaced dates to 2010 and is not historic.
- The interior brick chimney proposed to be removed is likely historic. The commission has recently allowed the removal of similar brick chimneys in two other locations.
- No standards directly address skylight removal, but the Roofs and Sustainability and Energy Retrofit standards encourage installing new skylights on non-character-defining elevations. They are not typically encouraged on street-facing elevations.
- The Porches, Entrances, and Balconies standards do not directly address the construction of new porches, so staff encourage using the Additions to Residential Buildings standards for the proposed screened porch.

The commissioners expressed appreciation for the thorough application. They reviewed the front elevation. The skylight and chimney removal were discussed. Both were determined to be not character-defining elements. The chimney was observed to be a secondary chimney, and less character-defining than the chimney on the side of the house. Cates explained that the chimney is not currently in use and is very similar to other chimneys the commission has approved removal of.

Cates confirmed the side porch will be sited on the same footprint as the greenhouse. He clarified that the columns on the side porch will be wood. He also clarified that the doors drawn on the front of the side porch are screen doors toward the back of the porch as the viewer looks through it.

The commissioners reviewed the left elevation. Cates said the ceiling inside the dormer is just barely measuring seven feet high, which is why the pitch of the dormer roof is shallow. He said a similarly shallow rear porch roof on East Queen Street was approved by the commission, and that the shelter over the top of Paynter Law office also has a low pitch. It was observed that the pitch seems similar to the 216 S. Occoneechee St. example provided. It was noted that the property in question is a corner lot, so it is more visible from the street. The commissioners agreed that the proposed slope and ridgeline could be viewed as sub-optimal in relation to the design standards and the character of the district, but not necessarily incongruous. Cates referred to the rear box addition at the corner of West Tryon Street and Wake Street, which also has a roof with a low pitch.

There was discussion of the ridgeline of the addition meeting the existing ridgeline of the house. There was discussion of the difference in application of the design standards between a gabled ridgeline on an addition and a descending slope of a shed dormer.

The commissioners reviewed the rear elevation.

The commissioners reviewed the right elevation. Cates said the roof will be metal because the pitch of the porch roof, which he believed to be around 2:12, is too shallow to be considered appropriate for shingles.

Cates confirmed there will be no new hardscapes.

Cates confirmed that the porch will extend above the roofline of the main building, though the existing greenhouse to be replaced currently reaches below the roofline. He said he does not know how the greenhouse is attached, but any damage to existing materials would be replaced in-kind. He confirmed no new vinyl will be introduced.



Cates said the existing house has three different styles of window, and all the windows behind the screen of the porch will remain.

Cates said the site is fairly clear, and no trees will be affected.

Senner summarized the commissioners' discussion: The commissioners did not find the proposed work to be incongruent with the historic district. The skylight and chimney are not character-defining elements of the front facade. The greenhouse to be removed was not historic, and the proposed porch is in the same footprint and is consistent with the design standards for Additions to Residential Buildings and has compatible materials. The dormer is not incongruent with the historic district.

Senner closed the public hearing.

Motion: Riek moved to find as fact that the 326 N Cameron St. application is in keeping with the overall character of the Historic District and complies with all relevant standards of evaluation based on the commission's discussion of the application and the standards of evaluation in Section 3.12.3 of the Unified Development Ordinance because the plans are consistent with the Historic District Design Standards: Masonry; Exterior Walls; Porches, Entrances, and Balconies; Sustainability and Energy Retrofit; and Additions to Residential Buildings. Miller seconded.

Vote: 5-0.

Motion: Member Daniel Widis moved to approve the application as submitted. Miller seconded.

Vote: 5-0.

B. Certificate of Appropriateness Application: 311 W. Orange St.  
New construction house (PIN 9864883297).

No one was present to speak on behalf of the application. The commissioners decided to review the application and compile questions for the applicant for future discussion.

Senner opened the public hearing and asked whether there were any conflicts of interest or bias among the commissioners. None were disclosed. All commissioners disclosed that they had visited the site in preparation for reviewing the application.

Hoffheimer introduced the application by presenting the staff report. He noted that the inventory information, application materials, and applicable design standards would be entered into the record as evidence. He provided the staff comments:

- The site plan appears to indicate that four trees with diameters over 24 inches will be removed for construction of the house, and one will be removed for the septic drain field. Some of those trees are in the public right-of-way but were indicated on the site plan. The applicant can propose to remove those for this review, and after that they would go to the Public Space and Sustainability Division, who would approve the removal if the proposed removal had received a Certificate of Appropriateness from the Historic District Commission. Staff are not aware of any recent new construction for which that many trees of that size were removed.
- The design standards prohibit painting historic brick but do not restrict painting new brick.
- The approximately 30-foot height of the roof is taller than the roofs of the adjacent houses on West Orange Street and to the south on West Union Street. The new house at 320 B W. Orange

St. that the commission recently approved has a similar roof height but is set back further from the street.

- The roof pitches for both street-facing gables are relatively narrow in comparison to most roof pitches in the historic district.
- The application describes the design as reminiscent of houses from the early 1900s. The Historic District Commission is tasked with evaluating the proposal's compatibility with the historic district rather than what general era the design is intended to evoke.
- There are scattered examples of street-facing garages in the historic district, but staff are not aware of any existing garages that extend in front of the front line of the house or comprise as much of the front elevation as the proposed design does.
- Any railing materials and light fixtures can be confirmed with staff later in the process.

Hoffheimer said staff had discussions with the applicant about the removal of the trees, the design of the garage, and the overall application requirements. Senner expressed his strong encouragement that the applicants attend the next meeting ready to address how the items in the staff's comments are consistent with the design standards and congruent with the district, especially the tree removal, the garage, and the pitch and height of the roof and roof elements.

There was discussion of the house's proposed foundation and its setback compared to nearby houses. It was generally agreed that the setback is fairly consistent with neighboring houses.

The commissioners reviewed the site plan. The commissioners noted the absence of materials listed for the new walk from the drive to the house. Hoffheimer confirmed that the shed on the site plan is existing. The commissioners observed that the drive may fit between the 24-inch elm and 40-inch oak without removing either one and wondered why the applicant did not take that approach.

There was discussion of the recent history of the ownership and plans for the zoning of the lot.

It was observed that the plans are missing a materials listing for the garage door. There were questions about the intent of the screened porch being marked as "optional."

The commissioners said they would like to see as much supporting evidence as possible to show that this architectural style and design is congruent with the district. They also said that they would like to see how these plans are congruent without trying to imitate a home of an earlier era. The commissioners had concerns about the curve and pitch of the roof. They said they would like to see clear thought and strategy for how the house and driveway could be sited to minimize disruption to the site in terms of trees and grading.

The commissioners reviewed the front elevation. They had concerns about the prominence of the garage and its compatibility with the district. The commissioners also had concerns about the difference in material between the brick front facade and lap siding for the rest of the house. They said they would like to see evidence that the use of a different material on the front facade from the rest of the house is not incongruous with the rest of the district.

Victoria Matheson, a neighbor, was sworn in to provide public comment. She expressed concern about the removal of the trees and its impact on stormwater drainage in the neighborhood.

The commissioners discussed the potential need for grading the site to build the house on a flat foundation as rendered. They requested that a grading plan be submitted and the elevations be drawn as accurately as possible with regard to the slope of the site.

There was discussion of the septic drain field. Hoffheimer said that the applicant is building a septic system because the site is over 100 feet away from a sewer line. It was noted that the trees within the septic field are not indicated for removal on the site plan, but the commissioners speculated that they would have to be removed for that purpose. Town attorney Bob Hornik clarified that because the site is over a certain distance from the sewer line, connection to the town's sewer system is not required for this site, though it is possible. He added that if the site were to connect to the town sewer, a pump would be required. Hoffheimer noted that many of these changes could fall under New Construction of Primary Residential Buildings Standards 2-5.

There was additional discussion about clearing the site and its congruity with the district. There was mention that some removal of trees has been allowed in the past when there has been no alternative way to develop a site. Hoffheimer said that other houses of similar designs in the district avoided tree removal and that there have not been many houses of styles similar to this one that involved significant amounts of tree removal and site disturbance.

There was further discussion of stormwater. Hoffheimer said there was a letter from the Stormwater and Environmental Services Division evaluating the site and its relationship to a stream at the bottom of the hill. Hornik added that the site has previously been evaluated by planning and utilities staff.

There was discussion about the process for communicating questions to the applicant and strong encouragement for the applicant to attend the September meeting.

Motion: Senner moved to continue the application to the September meeting. Member Bill Warren seconded.  
Vote: 5-0.

## **7. Certified Local Government (CLG) training update**

Hoffheimer gave an update about upcoming in-person Certified Local Government trainings.

## **8. General updates**

Hoffheimer informed the commissioners about recent inquiries regarding temporary utilitarian fencing and light-gauge wire fencing being used in the district. There was discussion of the updated ordinary maintenance fencing standards.

There was discussion of a vacant seat on the commission.

Town Attorney Bob Hornik informed the commission that the applicants for the after-the-fact Certificate of Appropriateness that was approved with conditions at 117 N. Wake St. have filed an appeal with the North Carolina Superior Court.

Hoffheimer gave an update on the property at 207 W. Corbin St., the owners of which had purchased the property not knowing its accessory dwelling unit was in violation of the design standards. He said the vinyl windows have been replaced with aluminum-clad wood, and the property now has a Certificate of Occupancy.

## **9. Adjournment**

Senner adjourned the meeting at 7:35 p.m. without a vote.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Joseph Hoffheimer". The signature is fluid and cursive, with the first name "Joseph" written in a slightly larger, more prominent script than the last name "Hoffheimer".

Joseph Hoffheimer  
Planner  
Staff support to the Historic District Commission

Approved: Month X, 202X

## **BEFORE THE HILLSBOROUGH HISTORIC DISTRICT COMMISSION**

) Application for  
) Certificate of Appropriateness  
) 326 N. Cameron Street  
)

This request for a Certificate of Appropriateness (“COA”) to add a rear second story shed dormer and replace the greenhouse with a screened porch at 326 N. Cameron Street (the “Application”) came before the Hillsborough Historic District Commission (the “HDC”) on August 6, 2025. The HDC held a quasi-judicial hearing and, based on the competent, material, and substantial evidence presented at the hearing, voted 5-0 to approve the Application. In support of that decision, the HDC makes the following Findings of Fact and Conclusions of Law:

### **FINDINGS OF FACT**

1. The property at issue (the “Property”) is located at 326 N. Cameron Street in the Town of Hillsborough. The Owners and Applicants are Geoffrey and Gail Greene (the “Applicants”).

2. The Application requests that the HDC grant a Certificate of Appropriateness to:

a. Construct a second story shed dormer (standing seam roof material) off the existing ridge of the house towards the rear of the house; The dormer will have

Hardie board siding and Miratec trim (smooth side out) as well as aluminum clad simulated divided lite windows.

b. Replace the greenhouse on the south side of the house with a shed roofed screen porch (standing seam roof material) with fiberglass columns, wood railings, pickets, foundation posts and horizontal screening; All siding, trim, columns, railings, pickets, posts and screening will be painted white to match the existing; All existing shingles will be replaced with GAF Timberline “Appalachian sky”.

c. Remove the existing front-facing skylight and utilitarian chimney but retain the architecturally significant chimney on the south gable end.

All work will be in accordance with the drawings and plans entered into evidence at the hearing.

3. The Property is in the Hillsborough Historic District, designated by Ordinance No. 4.3.1.2. The Hillsborough Historic District Design Standards, specifically the standards for *Masonry; Exterior Walls; Porches, Entrances, and Balconies; Sustainability and Energy Retrofit; and Additions to Residential Buildings* were used to evaluate this request, and the Application is consistent with these standards for the following reasons:

- a. The skylight and chimney are not character-defining elements of the front façade.
- b. The greenhouse to be removed is not historic, and the proposed porch is in the same footprint and has compatible materials.
- c. The rear dormer is not incongruous with other rear dormers in the historic district.

4. The following individual(s) testified during the evidentiary hearing:

- a. Joseph Hoffheimer, Staff Support to the Historic District Commission, presented the staff report and comments.
- b. David Cates, presenter for the Applicants, appeared to present testimony and evidence in support of the Application.

### **CONCLUSIONS OF LAW**

Based on the foregoing FINDINGS OF FACT, the HDC makes the following  
CONCLUSIONS OF LAW:

1. The Application is not incongruous with the special character of the Hillsborough Historic District. Therefore, the COA is hereby approved with the following conditions:

- a. All necessary permits required by law must be obtained before work may commence. Town staff must be consulted prior to making any alterations to the approved plans. Any unapproved changes observed on a final inspection will be subject to additional fees and must be resolved prior to Town sign-off on the Certificate of Occupancy.

This the 3rd day of September, 2025.

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Will Senner, Chair  
Hillsborough Historic District Commission

## **APPEALS**

A decision of the Commission on an application for a Certificate of Appropriateness may be appealed to the Orange County Superior Court by an aggrieved party. Such appeal shall be made within thirty (30) days of filing of the decision in the office of the Planning Director or the delivery of the notice required in Section 3.12.11, whichever is later. Such appeals to the Orange County Superior Court are in the nature of certiorari and the court shall determine such appeals based on the record generated before the Commission.



**ITEM #7. A:**

**Address:** 311 W. Orange St.

**Year Built:** NA (new construction)

**Historic Inventory Information (2013):** NA (new construction)

**Proposed work**

- New construction house

**Application materials**

- COA application
- Narrative
- List of materials
- Elevations
- Floor plans
- Site plan

**Applicable Design Standards**

- *New Construction of Primary Residential Buildings:* 1-11
- *New Construction of Outbuildings and Garages:* 1-7, 9, 10
- *Walkways, Driveways, and Off-Street Parking:* 8-10

**Staff Comments**

- This application is being continued from the August HDC meeting. At that meeting, the commission requested the following additional information from the applicant:
  - Confirmation of materials for the walk between the driveway and the house
  - Confirmation of garage door materials
  - Rationale for the driveway location and if the driveway can fit between the 24-inch elm and 40-inch oak without removing either one
  - Whether the house will include the screened porch (if the applicant later chooses not to build it, that is usually just a staff-level approval)
  - Additional supporting evidence showing that the architectural style and design are congruent with the local historic district (this can be done by providing photo documentation of similar buildings in the district). Namely, the commission wanted to see justification for the following design elements:
    - The curve and pitch of the roof
    - The prominence of the garage
    - The difference in material between the brick front façade and the lap siding for the rest of the house
  - Explanation for how the house and driveway minimize disruption to the site in terms of trees and grading
  - A grading plan and elevations drawn to reflect the slope of the site

- Staff have communicated the items listed above to the applicant, and the applicant is aware of the requests. As of August 28, 2025, staff have not received any additional submittal documents, but staff find that at least some of the requested information can be confirmed verbally through the applicant's attendance at the September meeting.



TOWN OF  
HILLSBOROUGH

## APPLICATION Certificate of Appropriateness and Minor Works

Planning and Economic Development Division  
101 E. Orange St., PO Box 429, Hillsborough, NC 27278  
919-296-9470 | Fax: 919-644-2390  
planning@hillsboroughnc.gov  
www.hillsboroughnc.gov

9864 \_88 \_3297

Orange County Parcel ID Number

R-20

Zoning District

311 W. Orange St.

Address of Project

Hoeken Design Build

Applicant Name

126 quade dr.

Applicant's Mailing Address

Cary, NC 27513

City, State ZIP

919-439-9682

Applicant Phone Number

uriah@hoekendesignbuild.com

Applicant's Email

HTKT Investments, LLC

Property Owner (if different than applicant)

6324 Falls of the neuse rd

Property Owner's Mailing Address

Raleigh, NC 27609

City, State ZIP

919-818-8408

Property Owner's Phone Number

harris@quickoffer.com

Property Owner's Email

Description of Proposed Work: New construction single family home

Estimated Cost of Construction: \$ 450,000

*The Historic District Design Standards, Exterior Materials Compatibility Matrix, and Certificate of Appropriateness application process can be found on the Town of Hillsborough's website: <https://www.hillsboroughnc.gov/hdc>.*

### Applicant and Owner Acknowledgment and Certification

I am aware that Historic District Design Standards, Exterior Materials Compatibility Matrix, and Unified Development Ordinance requirements are the criteria by which my proposal will be evaluated for compatibility, and I certify that I, and/or my design professional under my direction, have reviewed my application materials with Planning Staff for compliance to the standards in those adopted documents. I understand that I, or my representative, must attend the HDC meeting where this application will be reviewed. I further understand that town employees and/or commissioners may need access to my property with reasonable notice to assess current conditions, and to assist them in making evidence-based decisions on my application and that I am not to speak to any commissioner about my project until the public meeting at which it is under consideration.

Applicant's Signature (Optional)

6/24/2025

Date

Property Owner's Signature (Required)

6/24/2025

Date

### Submittal Requirements

The following documents and plans are required to accompany your COA application in order for it to be deemed complete and scheduled for commission review. Planning staff will determine when all submittal requirements have been met. The first FOUR complete COA applications submitted by the deadline will be heard on any HDC agenda.

All applications must include the following documents and plans:

(Provide a digital copy if plans are larger than 11"x17")

- Detailed narrative describing the proposed work and how it complies with all adopted standards.
- Existing **and** Proposed Dimensioned Plans (see below):
  - Site Plan (if changing building footprint or adding new structures, impervious areas or site features, including hardscaping)
  - Scaled Architectural Plans (if changing building footprint or new construction)
  - Scaled Elevations (if adding or changing features of a structure)
  - Landscaping Plans (required for all new construction and for significant landscaping or tree removal and re-planting)
  - Tree Survey (required for new construction when trees over 12" diameter at breast height are on site - show both existing and those to be removed)
  - Sign Specifications (if adding, changing, or replacing signage)
- Itemized list of existing and proposed exterior materials including photos and specifications, colors, etc. (Siding, trim and fascia, roof and foundation materials, windows, shutters, awnings, doors, porch and deck flooring, handrails, columns, patios, walkways, driveways, fences and walls, and signs, etc.).
- Photographs, material samples, examples of comparable properties in the district (if using them as basis for specific designs), plans, or drawings that will help to clarify the proposal, if applicable, or if required by staff as part of the review.

**Staff Use Only:**

**COA fee (\$1 per \$1000 of construction costs, \$150 minimum) or  
Minor Works fee (\$1 per \$1000 of construction costs, \$25 minimum):**

Amount: \$ \_\_\_\_\_

☐ After-the-fact application (\$300):

Amount: \$ \_\_\_\_\_

Total Due: \$ \_\_\_\_\_

Receipt #: \_\_\_\_\_

Received by: \_\_\_\_\_

Date: \_\_\_\_\_

This application meets all Unified Development Ordinance requirements and has been reviewed for compliance with all approved materials.

☐ N/A      ☐ Yes

Zoning Officer: \_\_\_\_\_

This application meets public space division requirements.

☐ N/A      ☐ Yes

Public Space Manager: \_\_\_\_\_

**Historic Architectural Inventory Information**

Original date of Construction: \_\_\_\_\_

Description of the Property: \_\_\_\_\_

Applicable Design Standards: \_\_\_\_\_

Other reviews needed?

☐ Hillsborough Zoning Compliance Permit    ☐ Orange County Building Permit    ☐ Other: \_\_\_\_\_

**Minor Works Certificate of Appropriateness Application Decision**

☐ Approved      ☐ Referred to HDC

Minor Works Reference(s): \_\_\_\_\_

**Certificate of Appropriateness Decision**

☐ Approved      ☐ Denied

Commission Vote: \_\_\_\_\_

Conditions or Modifications (if applicable): \_\_\_\_\_

\_\_\_\_\_  
Historic District Staff Signature\_\_\_\_\_  
Date

### **311 W. Orange St. Hillsborough - Detailed Narrative**

We are proposing to build a new construction home roughly 2600 sqft. We have taken care to remove as few trees as possible to ensure a wooded feel to the property keeping with the surrounding properties.

Exterior materials are aligned with the compatibility matrix provided by staff. The brick front and swooping architectural elements are reminiscent of homes built in the early 1900's. Adorning the home will be black clad windows of high quality. If rails are required we will use hand made wrought iron for a classic historic look. Please see the Itemized list of exterior materials for a breakdown of exterior selections.

**311 W. Orange, Hillsborough** - Itemized list of exterior materials

**Siding:** hardie plank cedar mill siding

**Corner Boards:** hardie plank

**Fascia:** hardie plank

**Soffit:** hardie plank

**Window material:** fiberglass or aluminum clad

**Window trim:** hardie plank

**Front Porch columns:** n/a

**Front Porch rails:** metal

**Front porch steps:** masonry brick painted

**Foundation front:** masonry brick painted

**Foundation sides and rear:** parged block

**Garage door:**

**Rear deck:** Pressure treated lumber

**Rear deck rails:** pressure treated lumber

**Roof:** GAF weathered wood 30 yr architectural shingle

**Gutters:** black aluminum

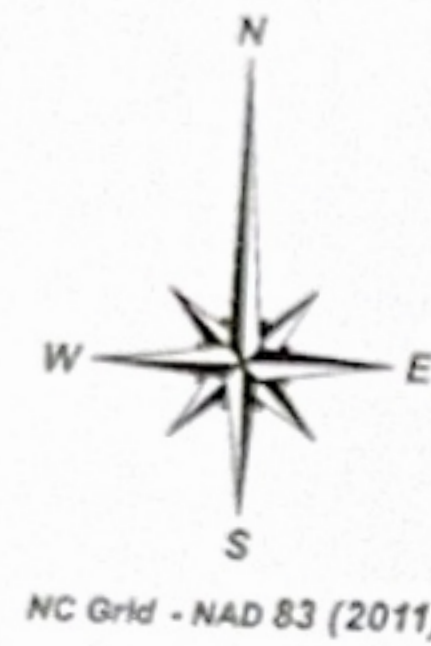
**Front door:** TDL mahogany wood

**Side door:** Steel

**Driveway:** Concrete







ABBREVIATION LEGEND	
RF	IRON REBAR FOUND
PF	IRON PIPE FOUND
N/F	NOT SURVEYED
CP	COMPUTED POINT
DB	DEED BOOK
PB	PLAT BOOK

LINE AND SYMBOL LEGEND	
---	PROPERTY LINE (PL)
---	PL NOT SURVEYED
---	THE LINE
---	EDGE OF CONCRETE
---	SETBACK
---	TOP OF BANK
---	STORM DRAINAGE PIPE
---	FIBER HAND-OLE
---	SOFTWOOD TREE
---	HARDWOOD TREE
---	PIN FLAG

- GENERAL NOTES**
- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.
  - BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD83 (2011).
  - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
  - AREA BY COORDINATE GEOMETRY.
  - REFERENCES: DB 8852 PG 590; PB 51 PG 51; OF THE ORANGE COUNTY REGISTRY. PIN: 9864883287
  - THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
  - FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A. F.I.R.M. COMMUNITY PANEL #371088400K DATED 11/17/2017.
  - NO IMPROVEMENT RESTRICTIONS KNOWN AT TIME OF SURVEY. FURTHER RESTRICTIONS MAY APPLY. CONTACT HILLSBOROUGH PLANNING DEPT FOR FURTHER VERIFICATION.
  - ZONE: R-20; SETBACKS: FRONT: 30', REAR: 20', SIDE: 20' PER PB 51 PG 51. FURTHER RESTRICTIONS MAY APPLY. CONTACT HILLSBOROUGH PLANNING DEPT FOR FURTHER VERIFICATION.
  - NO NOISY MONUMENTS FOUND WITHIN 2000 FEET.
  - NO ENVIRONMENTAL FEATURES LOCATED, OR CONSIDERED AT THE TIME OF THIS SURVEY.
  - THE DEPICTION OF SURFACE AND SUBSURFACE UTILITIES IS DERIVED SOLELY FROM VISIBLE EVIDENCE. CONTACT RELEVANT UTILITY COMPANIES FOR COMPREHENSIVE UTILITY INFORMATION AND EASEMENT DETAILS.

IMPROVED SURFACES  
BUILDING = 152 SF  
TOTAL IMPROVED = 152 SF  
TOTAL LOT AREA = 31772 SF  
PERCENT IMPROVED = 0.70%

N/F  
BURTON, ANN SMITH  
TON, CHARLES MICHAEL  
PIN # 9864882268  
DB 8840 PG 92  
PB 56 PG 181

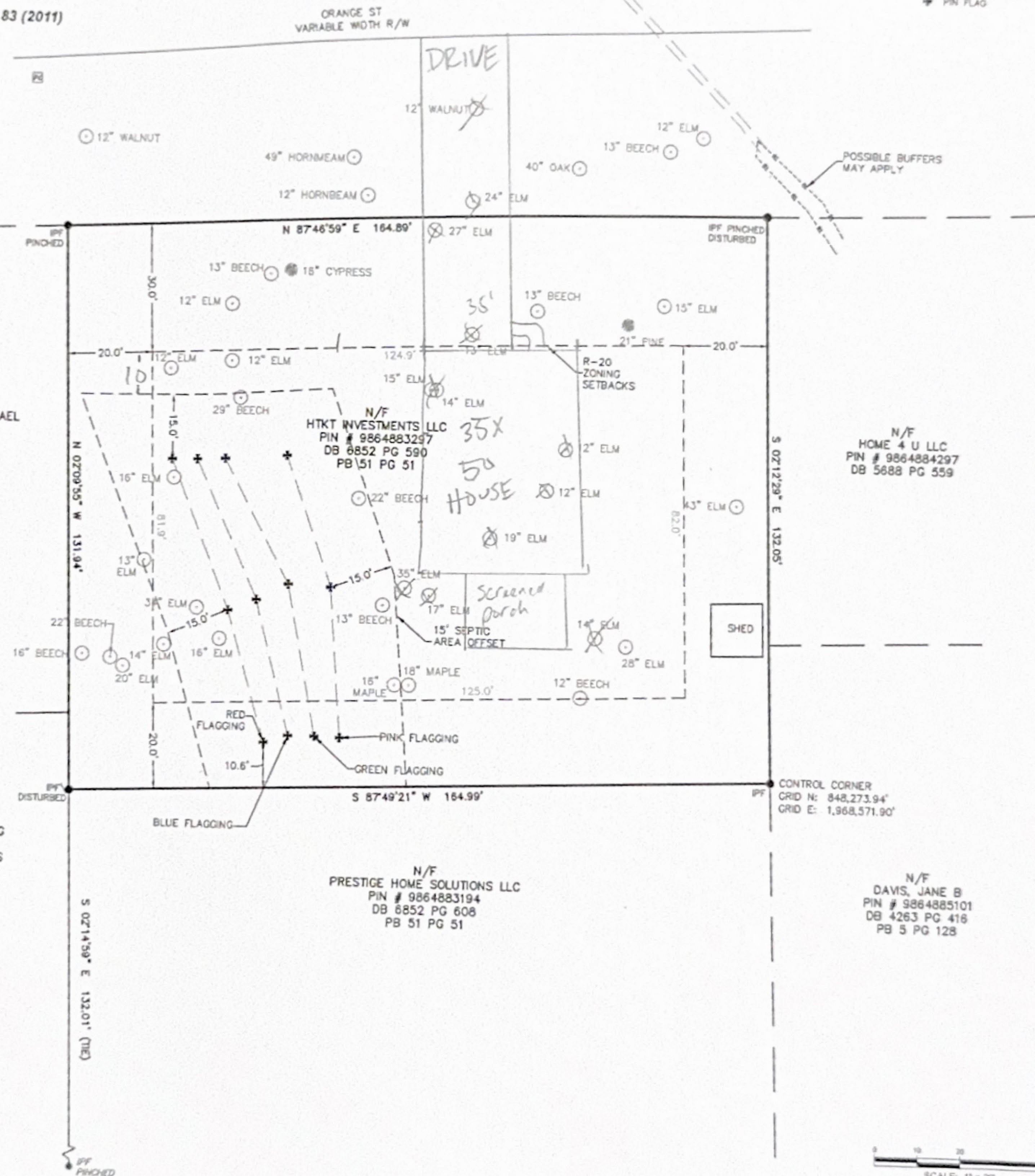
N/F  
CARTER, MARGARET G  
ETAL  
FREELAND, SHARON S  
PIN # 9864882167  
DB 1728 PG 36  
PB 5 PG 133

N/F  
PRESTIGE HOME SOLUTIONS LLC  
PIN # 9864883194  
DB 6852 PG 608  
PB 51 PG 51

N/F  
HOME 4 U LLC  
PIN # 9864884297  
DB 5688 PG 559

N/F  
DAVIS, JANE B  
PIN # 9864885101  
DB 4263 PG 418  
PB 5 PG 128

**PRELIMINARY PLAT**  
NOT FOR RECORDATION, CONVEYANCES OR SALES;  
PLAT SUBMITTED FOR REVIEW PURPOSES ONLY  
**PRELIMINARY PLAT**  
NOT FOR RECORDATION, CONVEYANCES OR SALES;  
PLAT SUBMITTED FOR REVIEW PURPOSES ONLY



PREPARED FOR:  
**CANOE SURVEYING**  
P-1938  
1154 SHONELE LANE  
STEM, NC 27581  
PHONE (984) 377-2626

BOUNDARY AND TREE SURVEY  
**311 W ORANGE ST**  
HILLSBOROUGH, NORTH CAROLINA  
NC PIN # PB LOT A PB 51 PG 51  
ORANGE COUNTY - HILLSBOROUGH TOWNSHIP

REVISIONS:

DATE OF SURVEY: 10/27/2025  
SCALE: 1" = 20'  
DRAWN BY: OL  
CHECKED BY: ANC  
PROJECT: 311 W ORANGE  
SHEET: 1/1



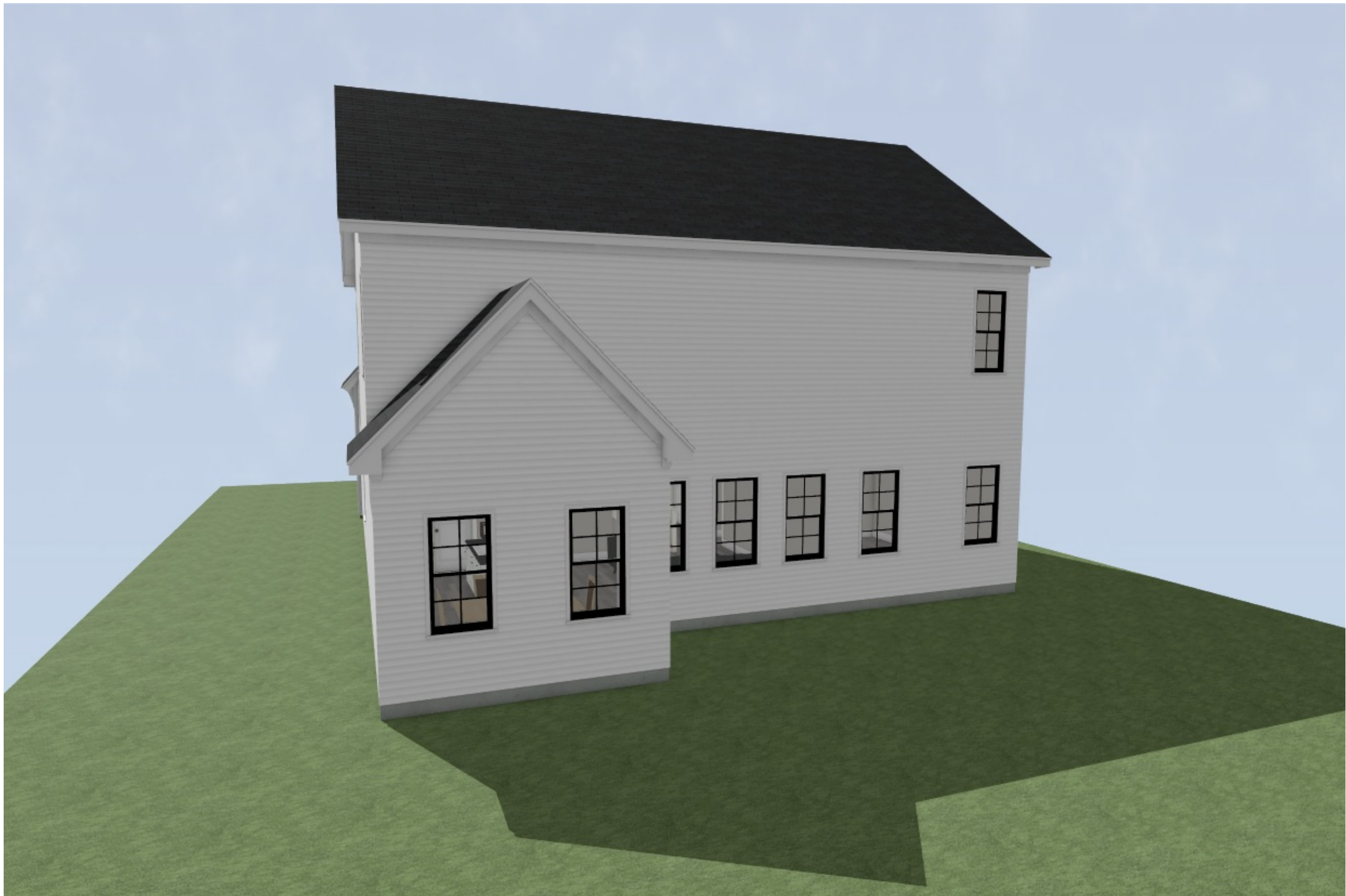
ELEVATION 1



FRONT



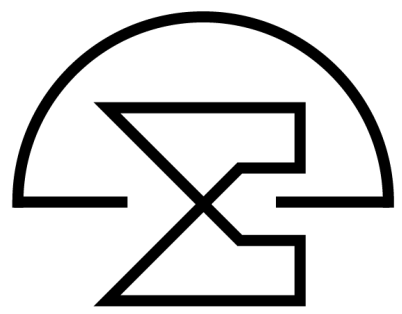
RIGHT



REAR



LEFT



Precipice Properties  
Build to Rent  
Cliff

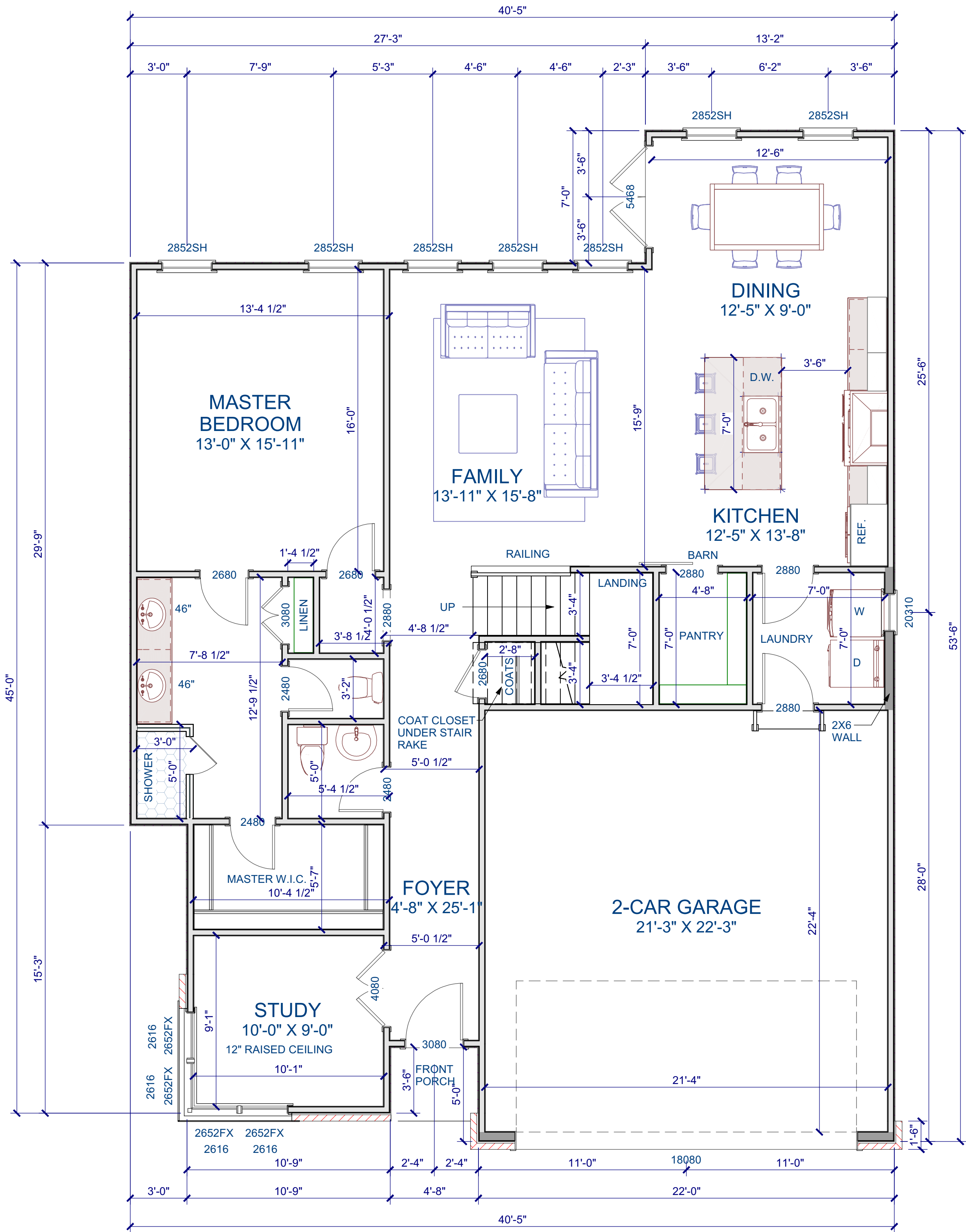
Sheet Title:  
Exterior  
Elevations

REVISIONS	
NUMBER	DATE

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Plan Number  
M026-23  
Sheet No. A-1  
Drawn By: JG  
Date: 2/21/2023





FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

GENERAL NOTES

**WALLS**  
ALL WALLS ARE DRAWN 3.5" WIDE (2X4) OR 5.5" WIDE (2X6) U.N.O.  
ANGLED WALL ARE DRAWN @45° U.N.O.  
EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR  
DIMENSIONS ARE TO FACE OF STUD.

**SMOKE DETECTORS**  
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

**EGRESS**  
ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH  
CONFORMS TO R-310 OF THE N.C. BLDG. CODE. IT IS THE  
CONTRACTOR'S RESPONSIBILITY TO VERIFY CHOSEN WINDOWS  
MEET EGRESS REQUIREMENTS AS MANUFATURERS VARY.

**ATTIC ACCESS**  
MIN. ATTIC ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED  
ON SITE.

**WALL/CEILING HEIGHT**  
WALL AND CEILING HEIGHT NOTES ARE BASED ON NOMINAL WALL  
SIZE. KNEE WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS  
ASSUME AN EXTRA 2" FOR FURRING (IN HEATED SPACES) FOR  
INSULATION. THE WALL HEIGHT REFERS TO THE HGT. FROM THE  
FLOOR DECKING TO THE BOTTOM OF THE FURRING.

WINDOW NOTE LEGEND

DH DOUBLE HUNG  
SH SINGLE HUNG  
FX FIXED  
SC SINGLE CASEMENT  
DC DOUBLE CASEMENT  
TC TRIPLE CASEMENT

Square Footage

Heated Square Footage	
First Floor	1,375
Second Floor	1,183
Total Heated	2,558
Unfinished Square Footage	
Front Porch	19
Two Car Garage	472
Total Unfinished	491

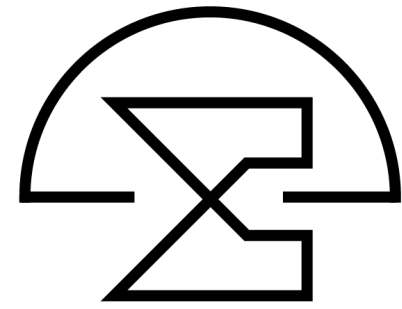
Precipice Properties  
Build to Rent  
Cliff

First Floor Plan

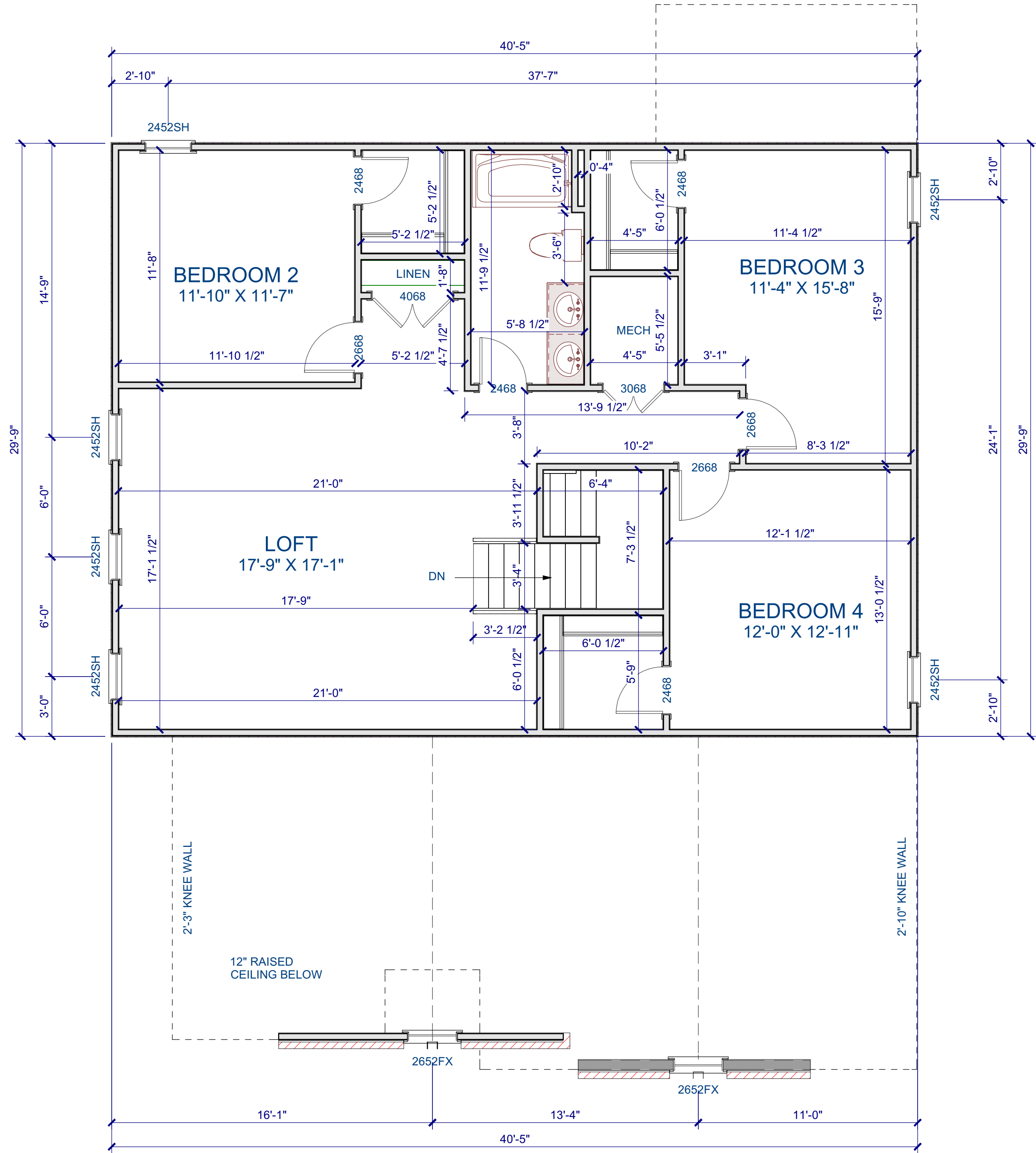
REVISIONS	
NUMBER	DATE

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Plan Number  
**M026-23**  
Sheet No. **A-3**  
Drawn By: **JG**  
Date: **2/21/2023**



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Wake Forest, NC 27587  
919.263.1509  
www.mcmillan-design.com



SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

GENERAL NOTES

**WALLS**  
ALL WALLS ARE DRAWN 3.5" WIDE (2X4) OR 5.5" WIDE (2X6) U.N.O.  
ANGLED WALL ARE DRAWN @45° U.N.O.  
EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR  
DIMENSIONS ARE TO FACE OF STUD.

**SMOKE DETECTORS**  
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MEET EGRESS REQUIREMENTS AS MANUFACTURERS VARY.

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ASSUME AN EXTRA 2" FOR FURRING (IN HEATED SPACES) FOR  
INSULATION. THE WALL HEIGHT REFERS TO THE HGT. FROM THE  
FLOOR DECKING TO THE BOTTOM OF THE FURRING.

WINDOW NOTE LEGEND

- DH DOUBLE HUNG
- SH SINGLE HUNG
- FX FIXED
- SC SINGLE CASEMENT
- DC DOUBLE CASEMENT
- TC TRIPLE CASEMENT

Precipice Properties  
Build to Rent  
Cliff

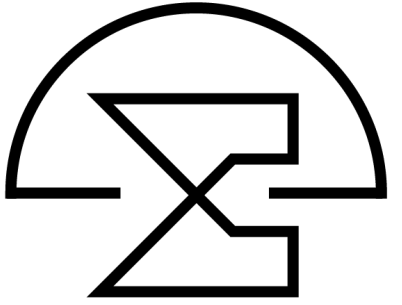
Second Floor Plan

REVISIONS	
NUMBER	DATE

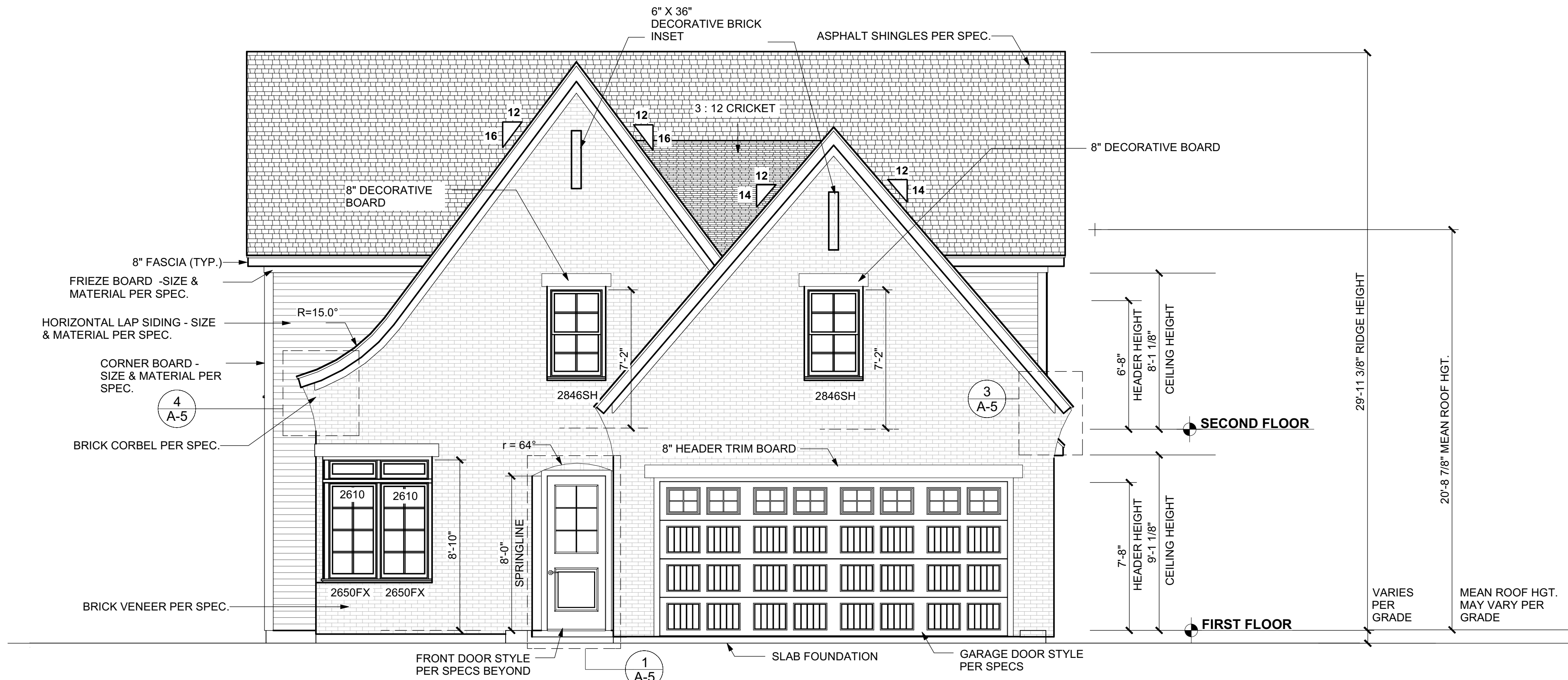
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Plan Number  
**M026-23**  
Sheet No. **A-4**  
Drawn By: **JG**  
Date: **2/21/2023**

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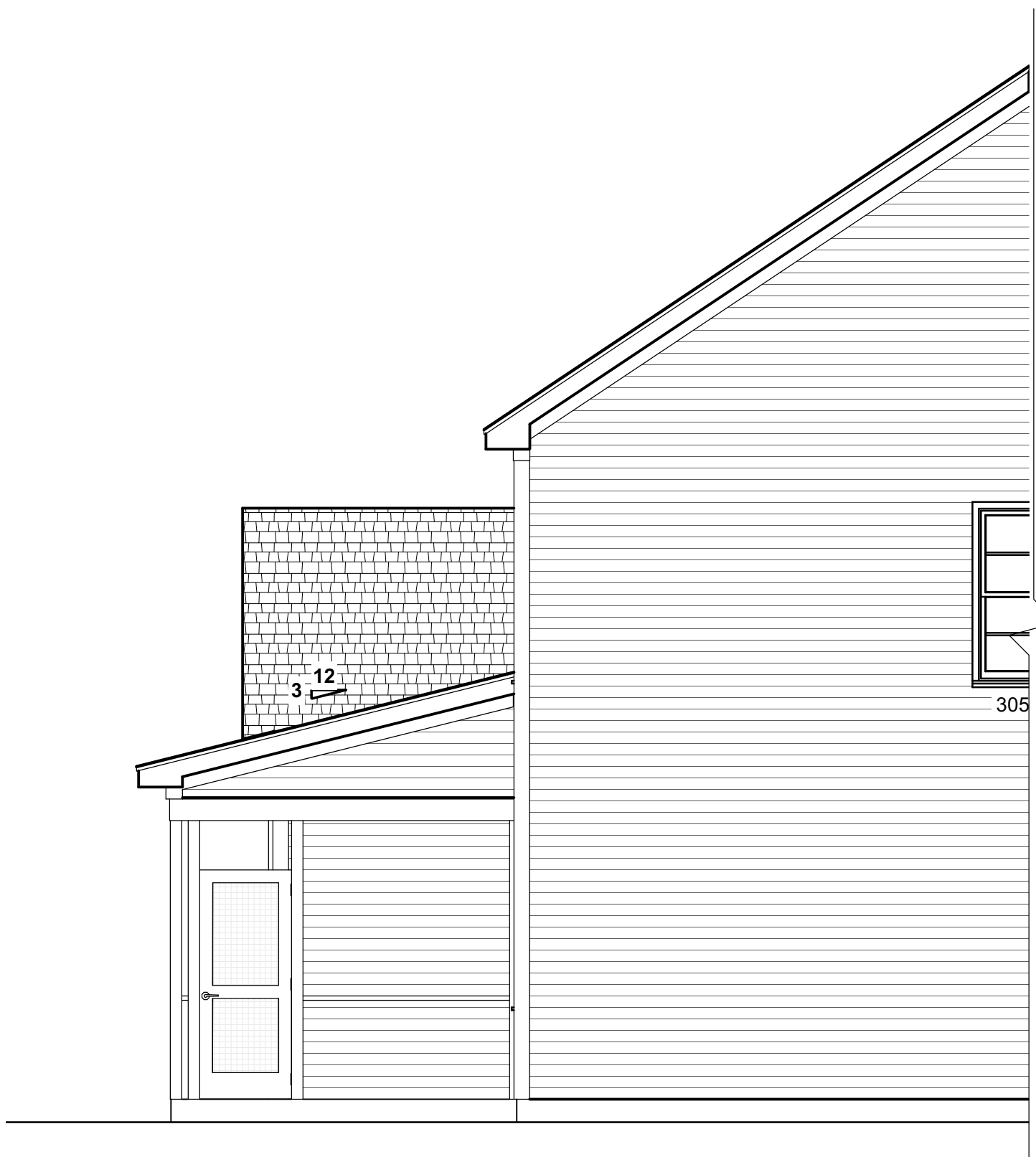






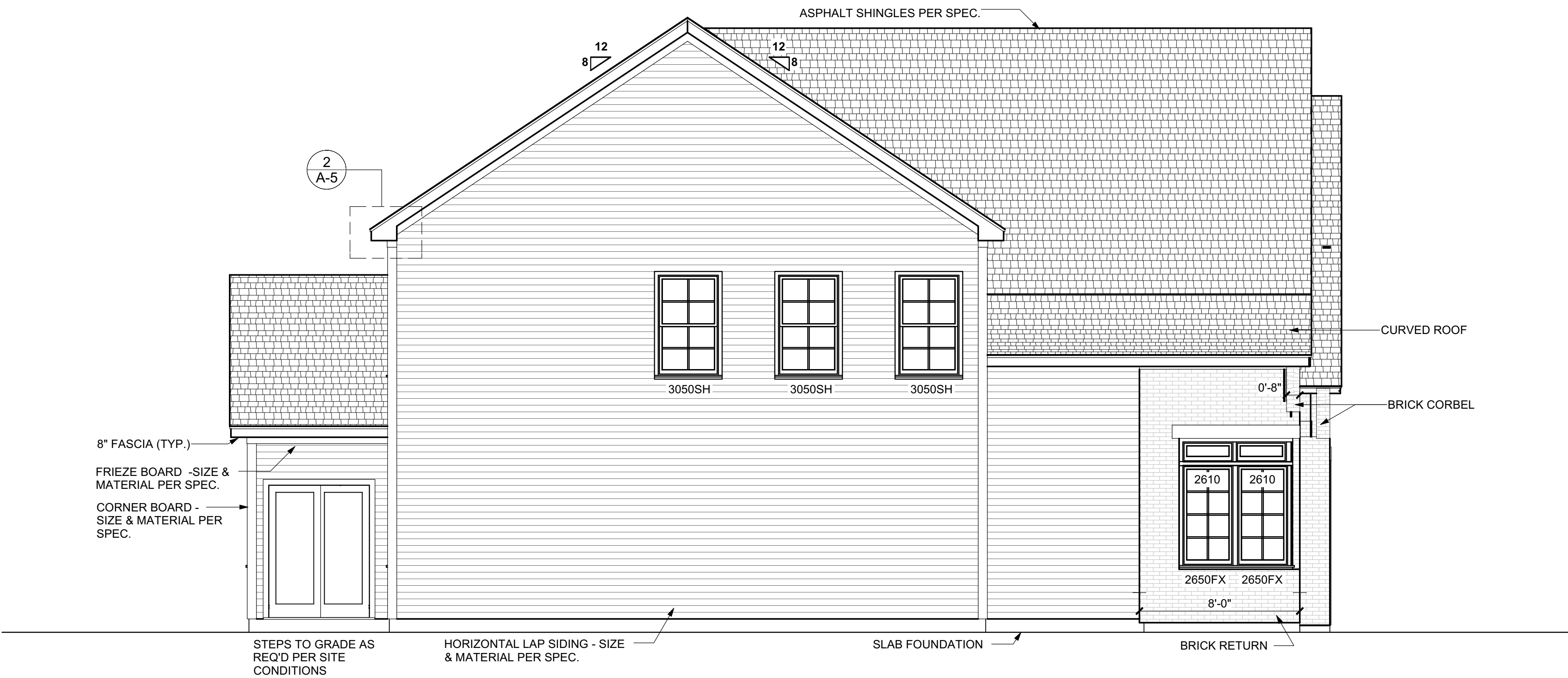
FRONT ELEVATION

Scale: 1/4" = 1'-0"



OPTIONAL SCREENED PORCH

Scale: 1/4" = 1'-0"



LEFT ELEVATION

Scale: 1/4" = 1'-0"

ELEVATION NOTES

BUILDING CODES

THIS PLAN HAS BEEN DESIGNED UNDER THE NC BUILDING CODES, 2018 RESIDENTIAL EDITION.

ICE GUARDS:

ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) OR GREATER. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1.

VENTING CALCULATIONS

ATTIC VENTILATION

3023 SQ. FT. OF ATTIC / 300 = 10.2 SQ. FT. OF INLET AND OUTLET. VENTILATION MAY BE REDUCED 50% WHEN VENTILATORS ARE USED AT LEAST 3'-0" ABOVE THE CORNICE VENTS.

Precipice Properties  
Build to Rent  
Cliff Option A - RIGHT

Exterior  
Elevations

REVISIONS	
NUMBER	DATE

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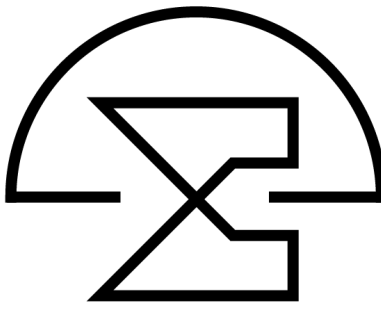
Plan Number  
M026-23  
Sheet No. A-1

Drawn By: JG

Date: 8/8/2023

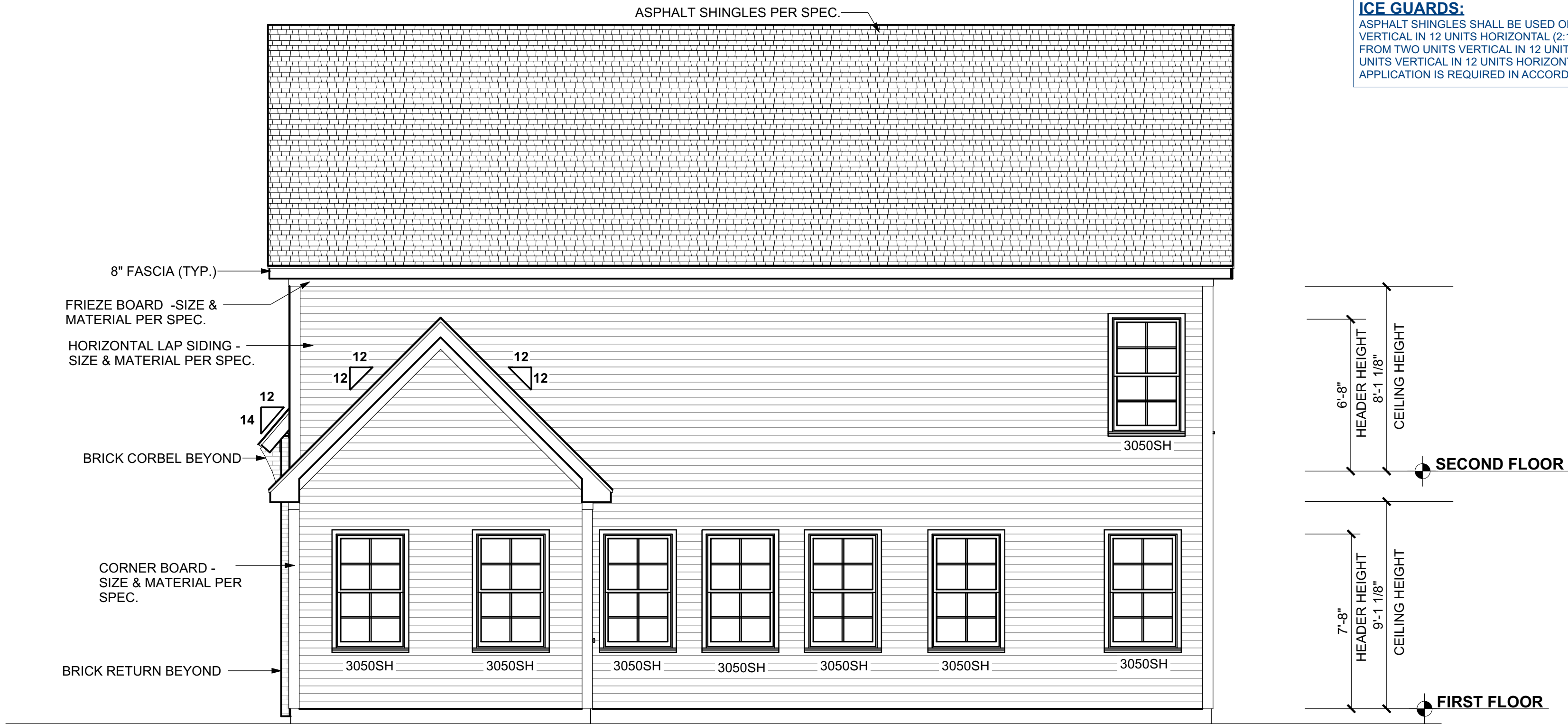
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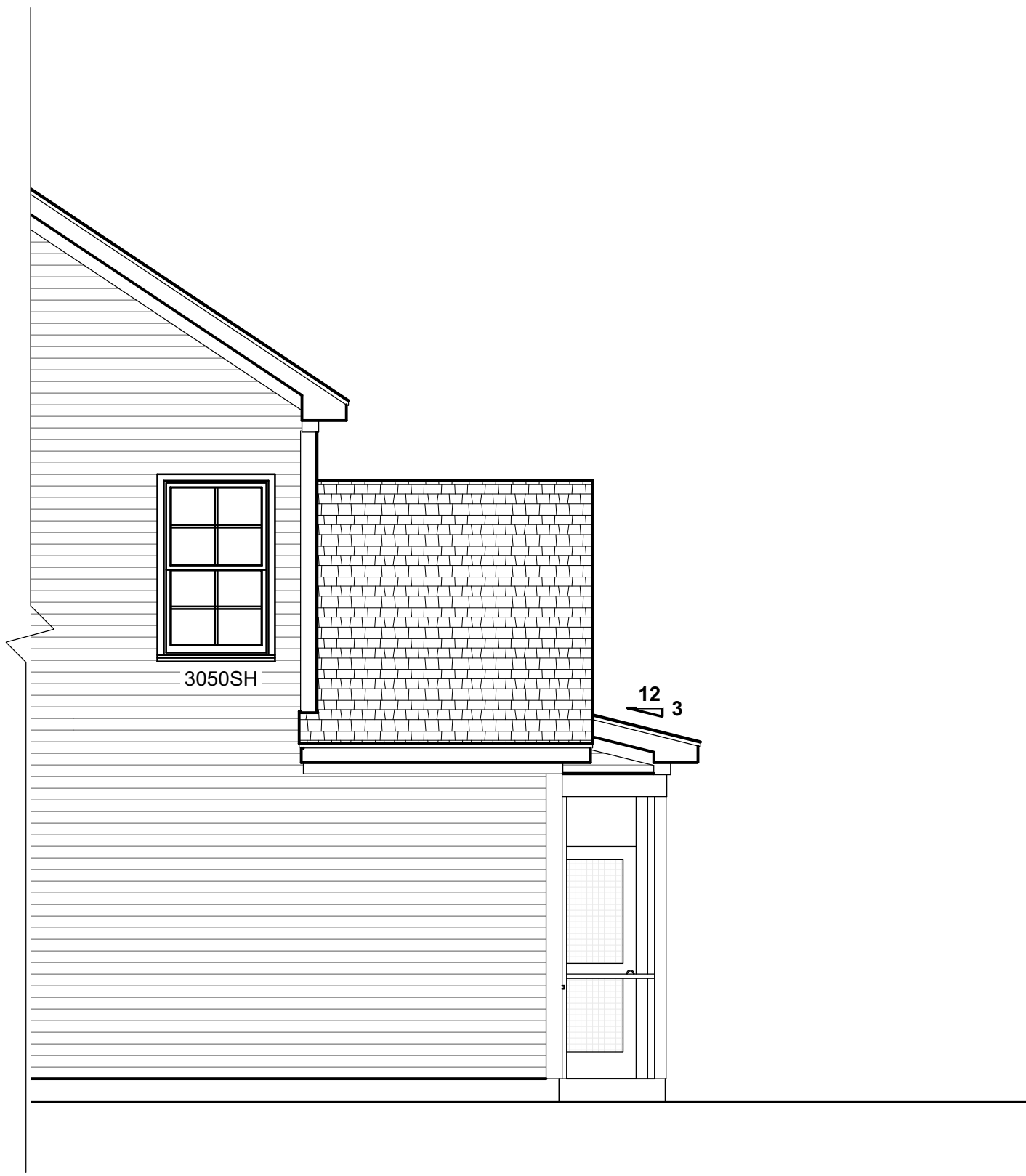
**OPTIONAL SCREENED PORCH**  
Scale: 1/4" = 1'-0"



**REAR ELEVATION**  
Scale: 1/4" = 1'-0"



**RIGHT ELEVATION**  
Scale: 1/4" = 1'-0"

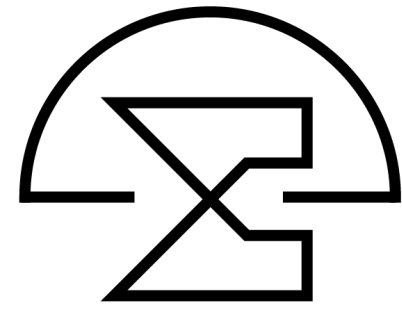


**OPTIONAL SCREENED PORCH**  
Scale: 1/4" = 1'-0"

**ELEVATION NOTES**

**BUILDING CODES**  
THIS PLAN HAS BEEN DESIGNED UNDER THE NC BUILDING CODES, 2018 RESIDENTIAL EDITION.

**ICE GUARDS:**  
ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) OR GREATER. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1.



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Precipice Properties  
Build to Rent  
Cliff Option A - RIGHT

Sheet Title:  
**Exterior Elevations**

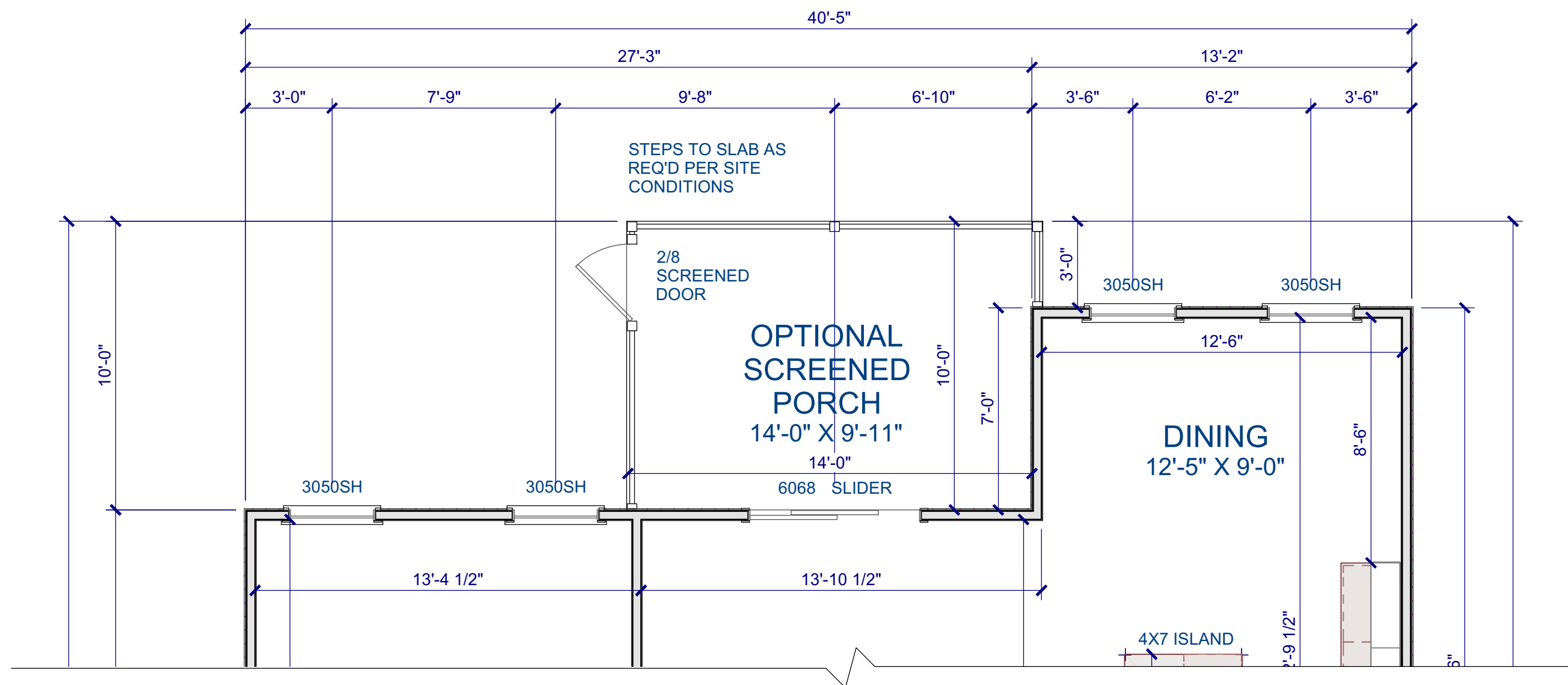
REVISIONS	
NUMBER	DATE

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Plan Number  
**M026-23**  
A-2  
Sheet No.  
Drawn By: JG  
Date: 8/8/2023

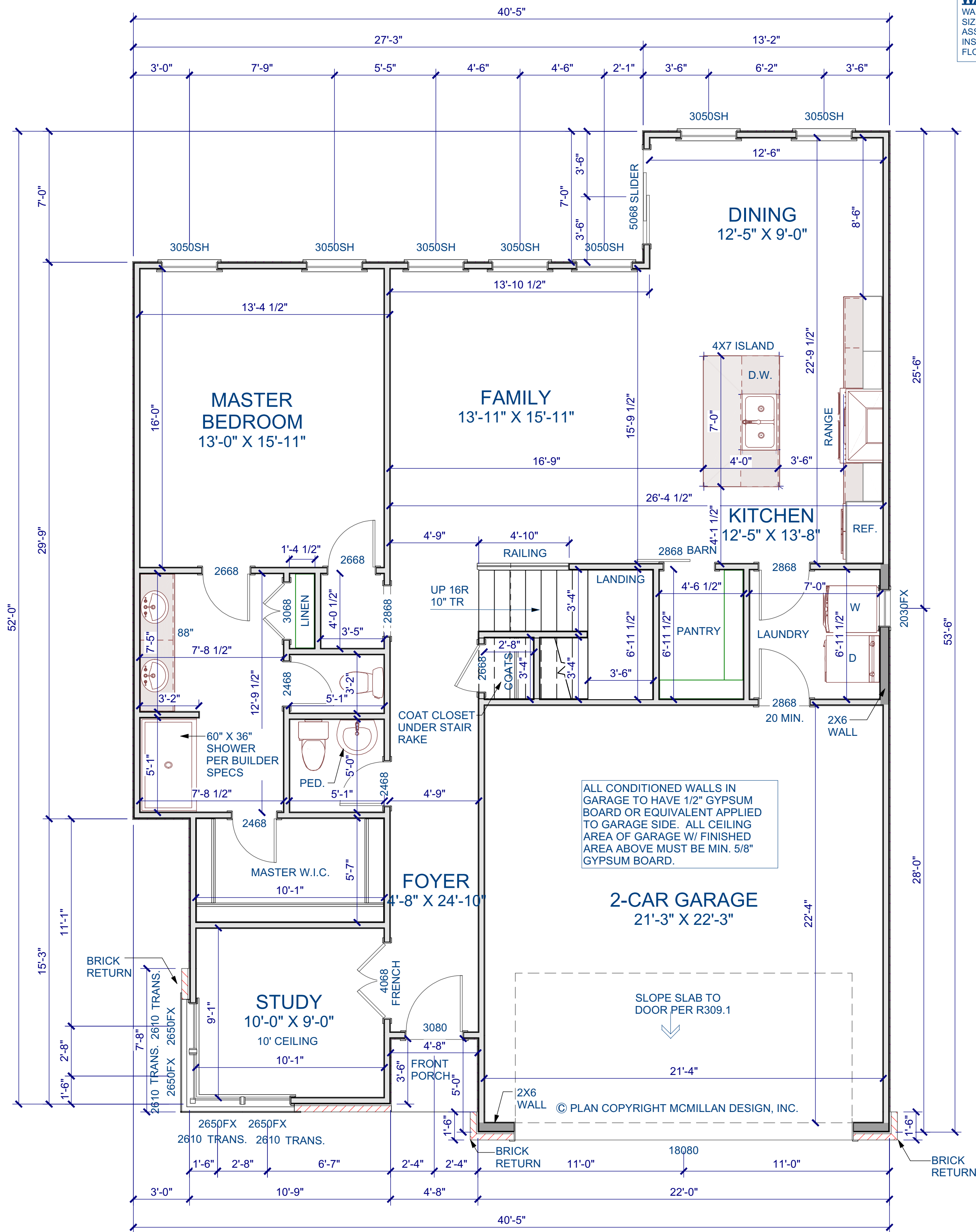
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### OPTIONAL SCREENED PORCH

Scale: 1/4" = 1'-0"



### FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

### WINDOW NOTE LEGEND

DH	DOUBLE HUNG
SH	SINGLE HUNG
FX	FIXED
SC	SINGLE CASEMENT
DC	DOUBLE CASEMENT
TC	TRIPLE CASEMENT

### GENERAL NOTES

#### WALLS

ALL WALLS ARE DRAWN 3.5" WIDE (2X4) OR 5.5" WIDE (2X6) U.N.O. ANGLED WALL ARE DRAWN @45° U.N.O. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR DIMENSIONS ARE TO FACE OF STUD.

#### SMOKE DETECTORS

LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

#### EGRESS

ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO R-310 OF THE N.C. BLDG. CODE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CHOSEN WINDOWS MEET EGRESS REQUIREMENTS AS MANUFACTURERS VARY.

#### ATTIC ACCESS

MIN. ATTIC ACCESS SHALL BE PROVIDED BY BUILDER AND LOCATED ON SITE.

#### WALL/CEILING HEIGHT

WALL AND CEILING HEIGHT NOTES ARE BASED ON NOMINAL WALL SIZE. KNEE WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS ASSUME AN EXTRA 2" FOR FURRING (IN HEATED SPACES) FOR INSULATION. THE WALL HEIGHT REFERS TO THE HGT. FROM THE FLOOR DECKING TO THE BOTTOM OF THE FURRING.

### Square Footage

Heated Square Footage	
First Floor	1,388
Second Floor	1,196
<b>Total Heated</b>	<b>2,584</b>
Unfinished Square Footage	
Front Porch	19
Optional Screened-In Porch	144
Two Car Garage	451
<b>Total Unfinished</b>	<b>614</b>

Precipice Properties  
Build to Rent  
Cliff Option A - RIGHT

Sheet Title:  
First Floor Plan

### REVISIONS

NUMBER	DATE

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Plan Number  
**M026-23**

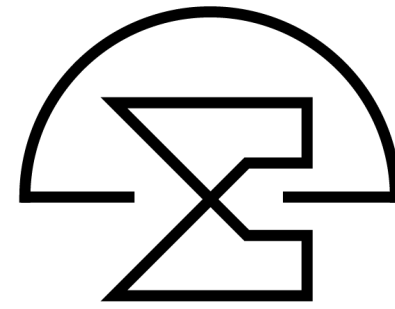
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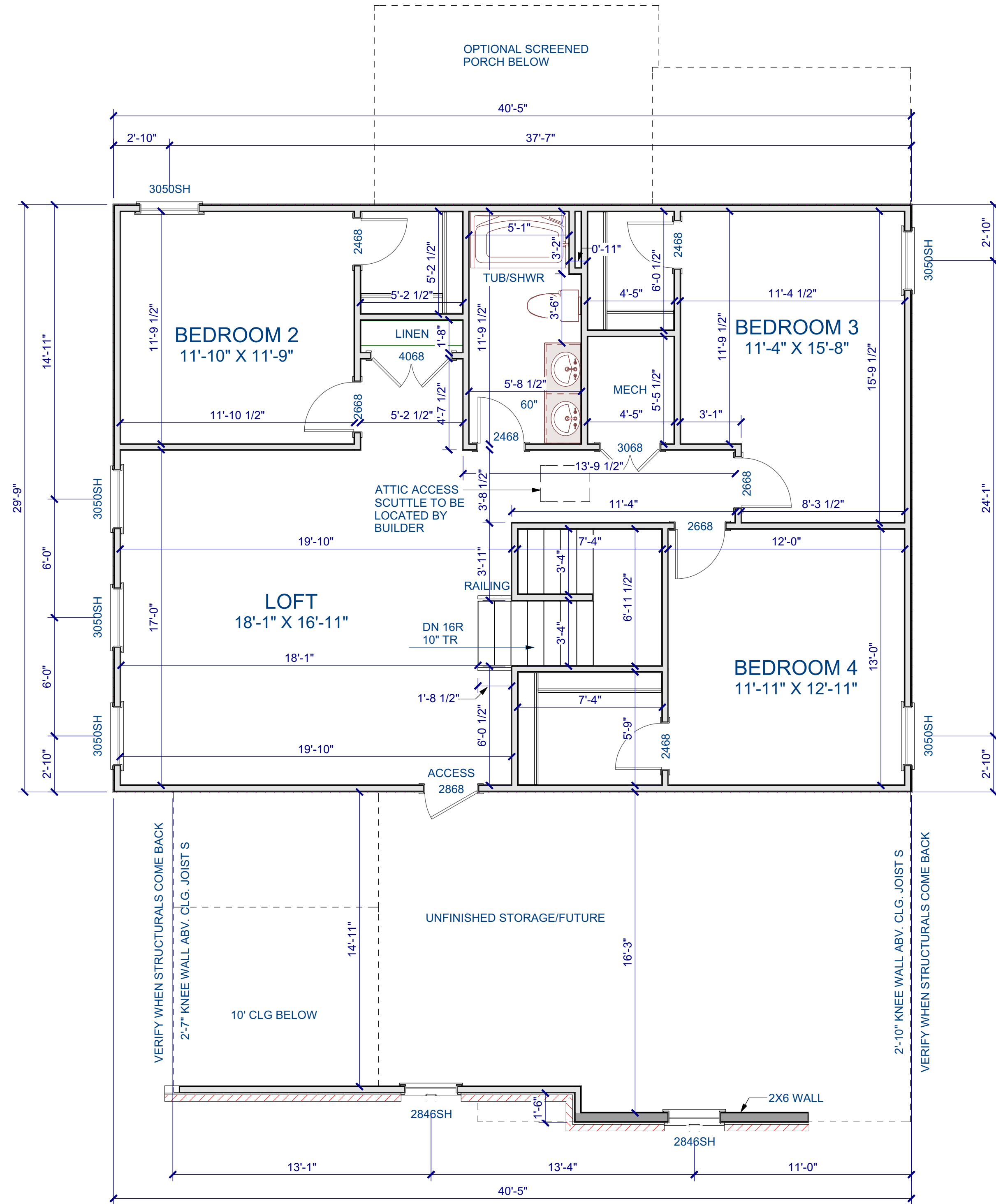
Drawn By: **JG**

Date: **8/8/2023**

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SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

GENERAL NOTES

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WINDOW NOTE LEGEND

- DH DOUBLE HUNG
- SH SINGLE HUNG
- FX FIXED
- SC SINGLE CASEMENT
- DC DOUBLE CASEMENT
- TC TRIPLE CASEMENT

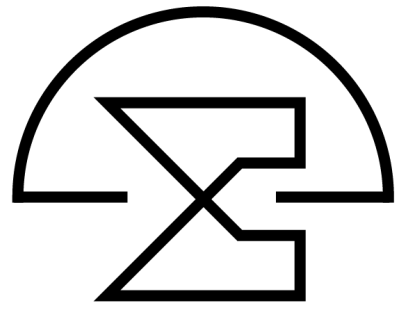
Precipice Properties  
Build to Rent  
Cliff Option A - RIGHT

Second Floor Plan

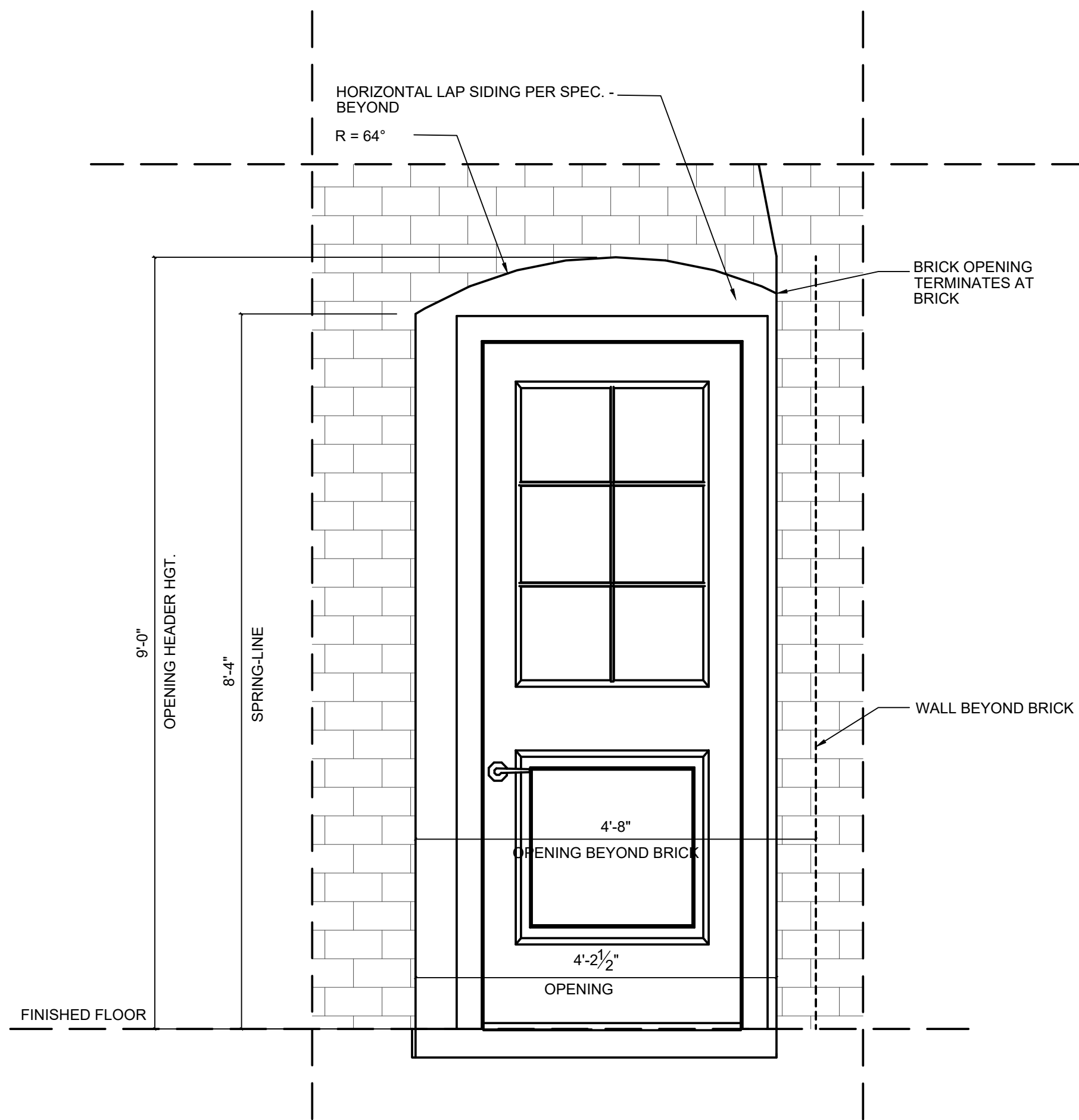
REVISIONS	
NUMBER	DATE

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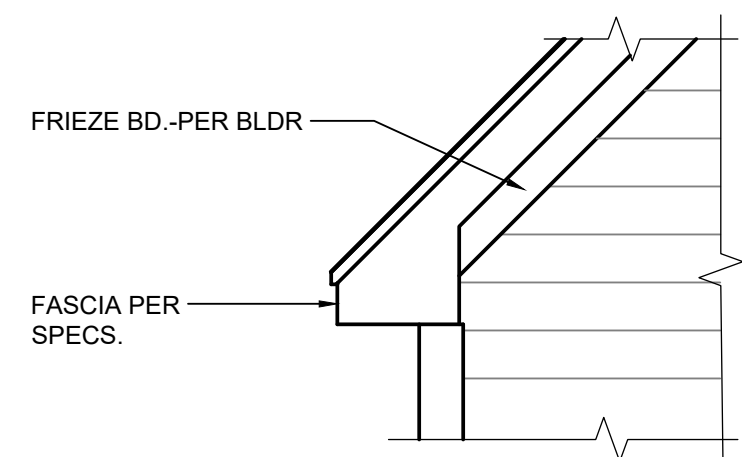
Plan Number  
**M026-23**  
A-4  
Sheet No.  
Drawn By: JG  
Date: 8/8/2023



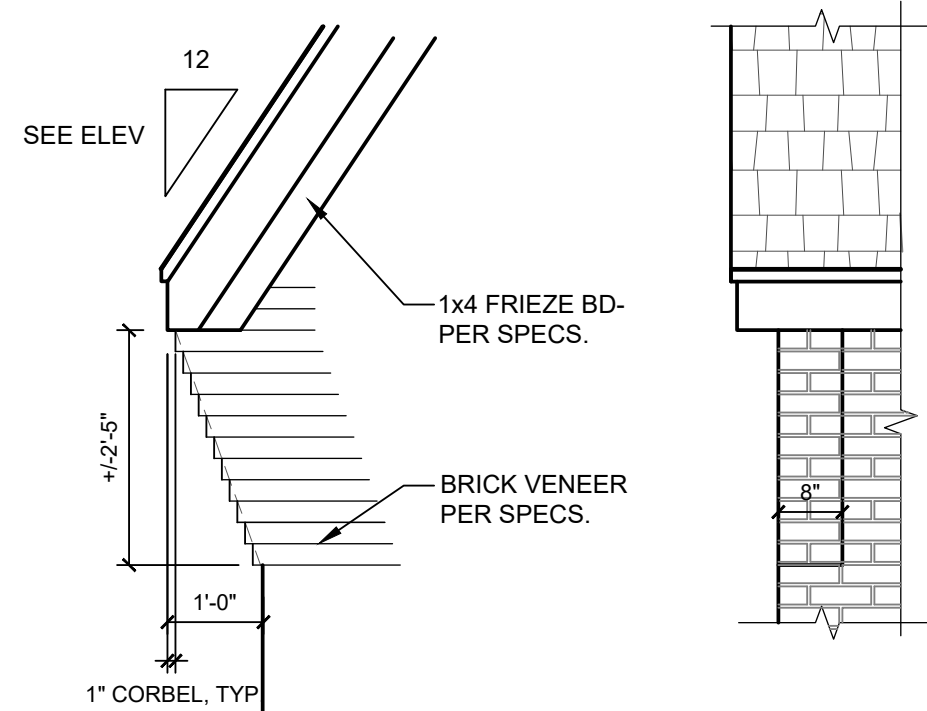




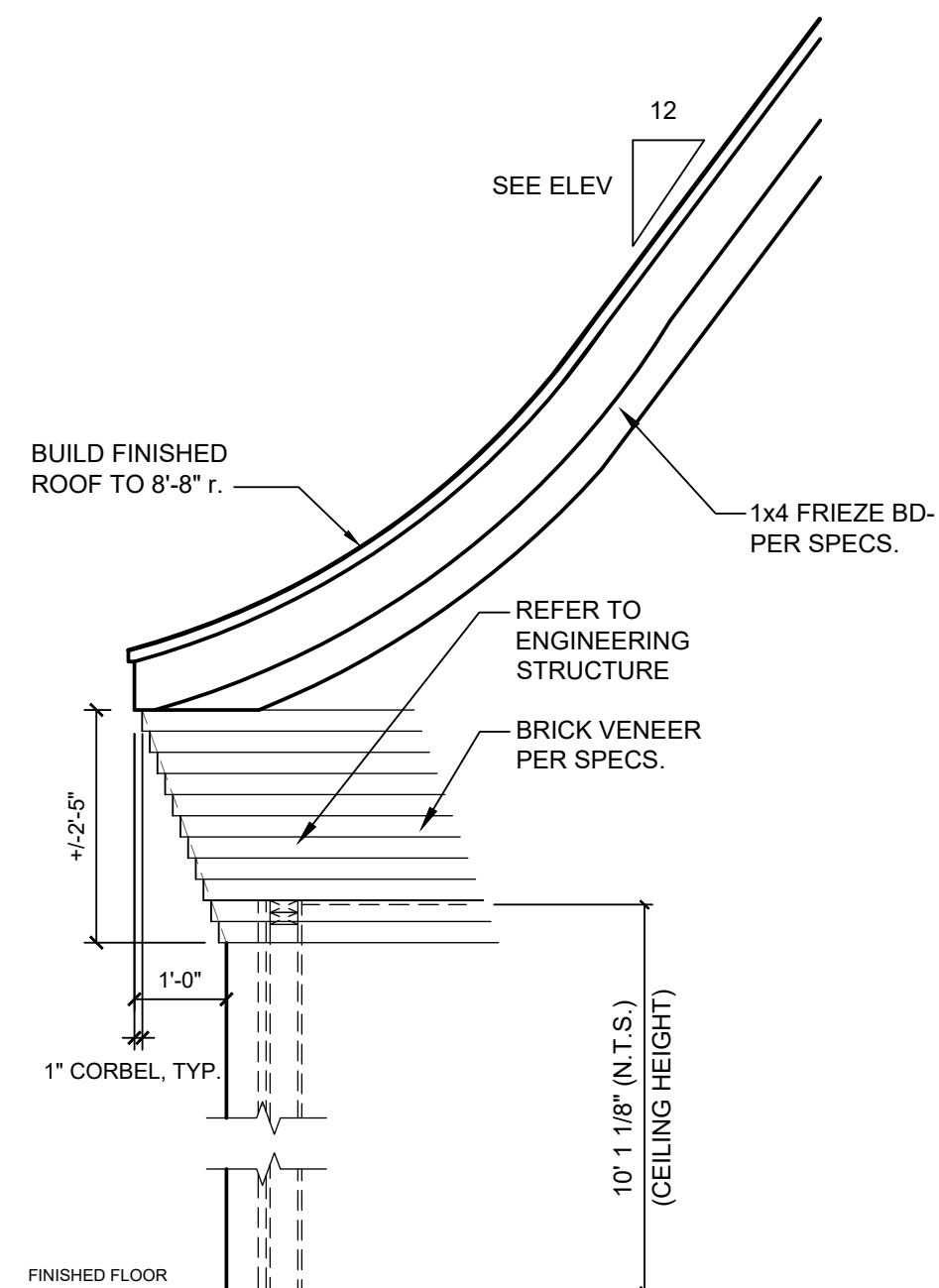
1 FRONT PORCH ENTRY DETAIL  
A-5 3/4" = 1'-0"



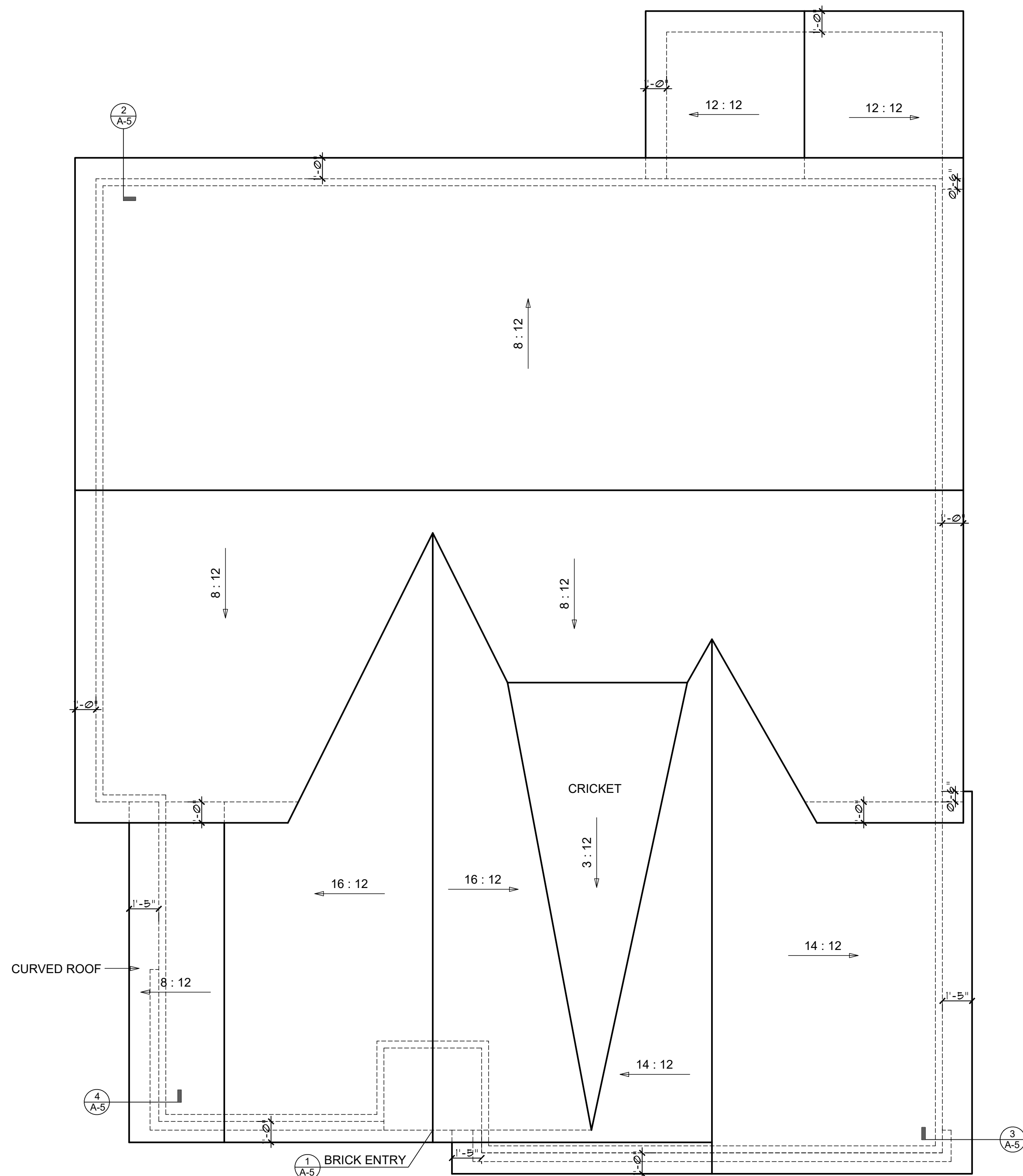
2 TYPICAL CORNICE DETAIL  
A-5 1/2" = 1'-0"



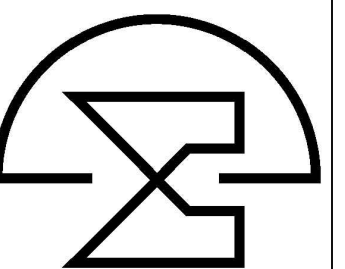
3 BRICK CORNICE DETAIL  
A-5 1/2" = 1'-0"



4 CURVED ROOF CORNICE DETAIL  
A-5 1/2" = 1'-0"



ROOF PLAN  
1/4" = 1'-0"



Precipice Properties  
Build to Rent  
Cliff Option A

Sheet Title:

DETAILS

REVISIONS

NUMBER	DATE

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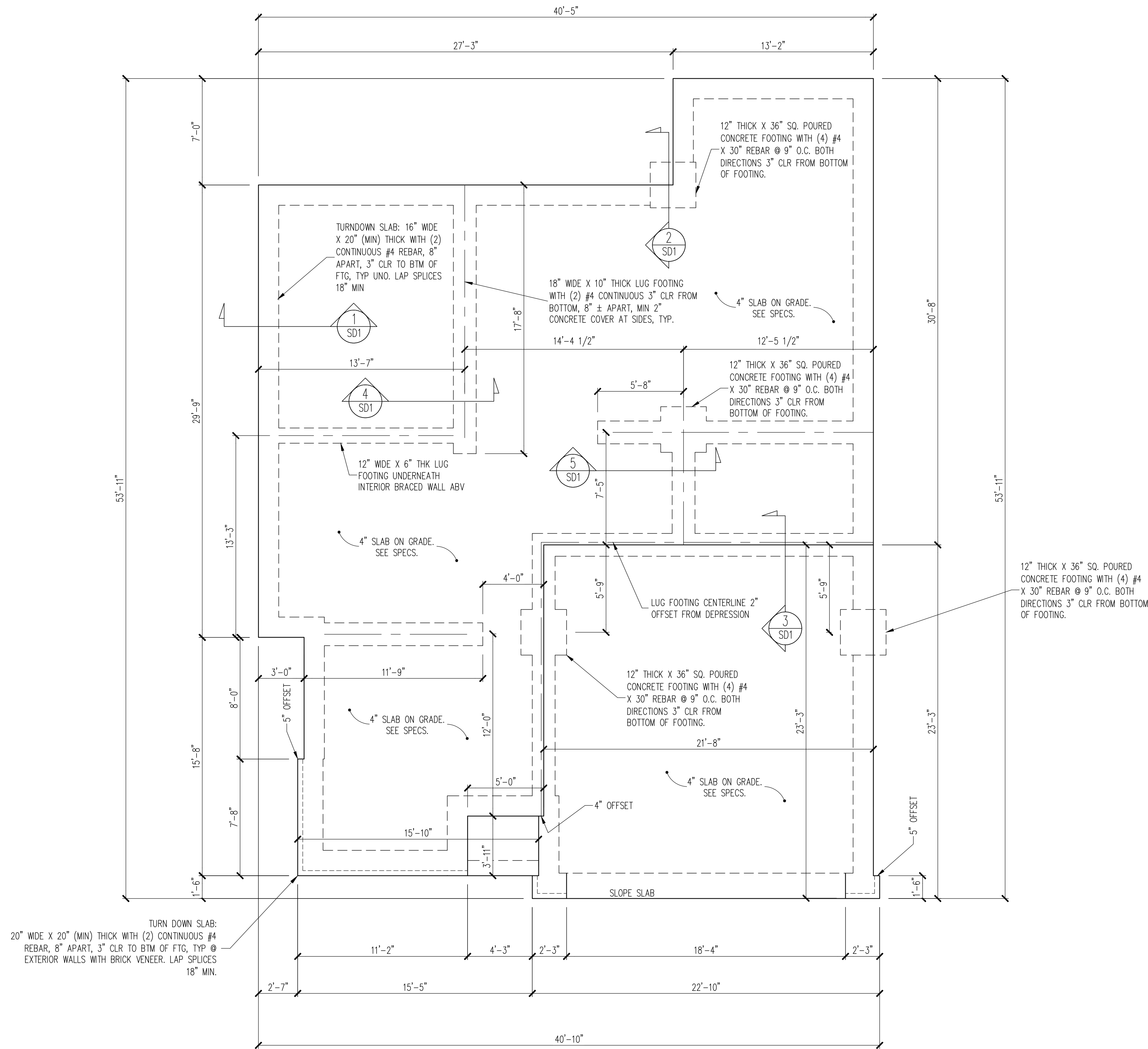
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Plan Number  
**M026-23**

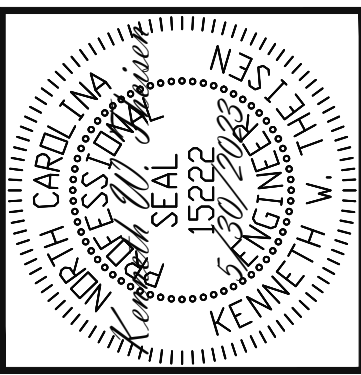
Sheet No. **A-5**

Drawn By: **MMc.**

Date: **5/19/23**



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Engineering Tech Associates, P.A.

STRUCTURAL ENGINEERS  
License No. C3870  
318 W Millbrook Rd. Unit 201  
Raleigh, North Carolina 27609  
Phone (919) 844-1661

PRECIPICE PROPERTIES		STRUCTURAL ADDENDUM	
SCOPE	REV #	REF PROJ #	DATE
LOC: CLIFF A MASTER PLAN	1	23-66-279	8-22-2023

ENG: KWT/CR  
DATE: 5/30/2023

PLAN  
M026-23

PROJECT NO.  
23-21-095GR

SHEET NO.  
S1  
1 of 7

CONSTRUCTION SPECIFICATIONS  
INSTANT REFERENCES

REFER TO THE CONSTRUCTION SPECIFICATIONS SECTIONS FOR THE FOLLOWING INFORMATION:

PART 1.01: [CURRENT GOVERNING CODE](#)

PART 14: [STUD SUPPORT FOR BEAMS](#)

PART 16.02: [GENERAL WALL BRACING NOTES](#)

PART 17: [KING STUDS FOR EXTERIOR WALLS](#)

SEE DETAIL / CONSTRUCTION SPECIFICATIONS SHEETS FOR I-JOISTS ALLOWABLE SUBSTITUTIONS

NOTES:

- HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION.
- 14" SQ POURED CONC PIERS OR 16" Ø POURED CONC PIERS MAY BE USED IN LIEU OF 16" SQ MASONRY PIERS.

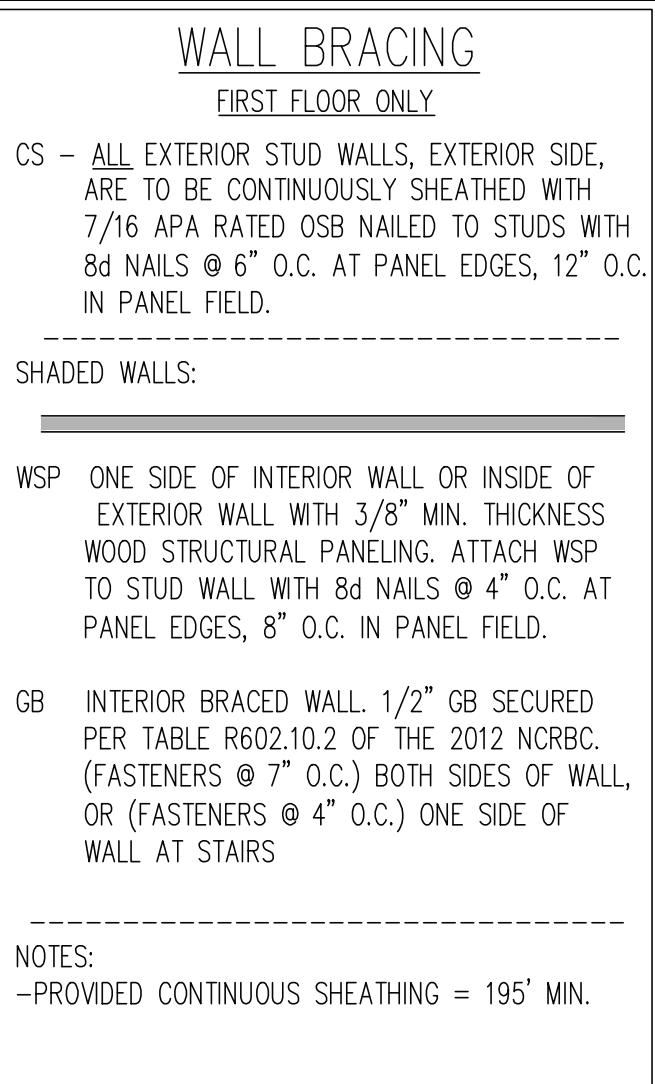
FOUNDATION PLAN

1/4" = 1'-0"

	PRECIPICE PROPERTIES
SCOPE:	STRUCTURAL ADDENDUM
LOC:	CLIFF A MASTER PLAN
	REV #
	1

PLAN
M026-23

SHEET NO.
S2
2 of 7



LINTEL SCHEDULE

L1	L 3 1/2 X 3 1/2 X 1/4 TYP UNO
L2	L 5 X 3 1/2 X 5/16
L3	L 6 X 4 X 5/16 ATTACHED TO HEADER WITH (2) 1/2" X 3" LAG SCREWS @ 16" O.C.
L4	16 GAGE STEEL FLEX LINTEL AT ARCH

## HEADER SCHEDULE

H1	SINGLE 2X4 TURNED FLAT (A)
H2	(2) 2X4'S ON SINGLE JACKS (B)
H3	(2) 2X10'S ON SINGLE JACKS (C)
H4	(2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5	(3) 2X10'S ON SINGLE JACKS

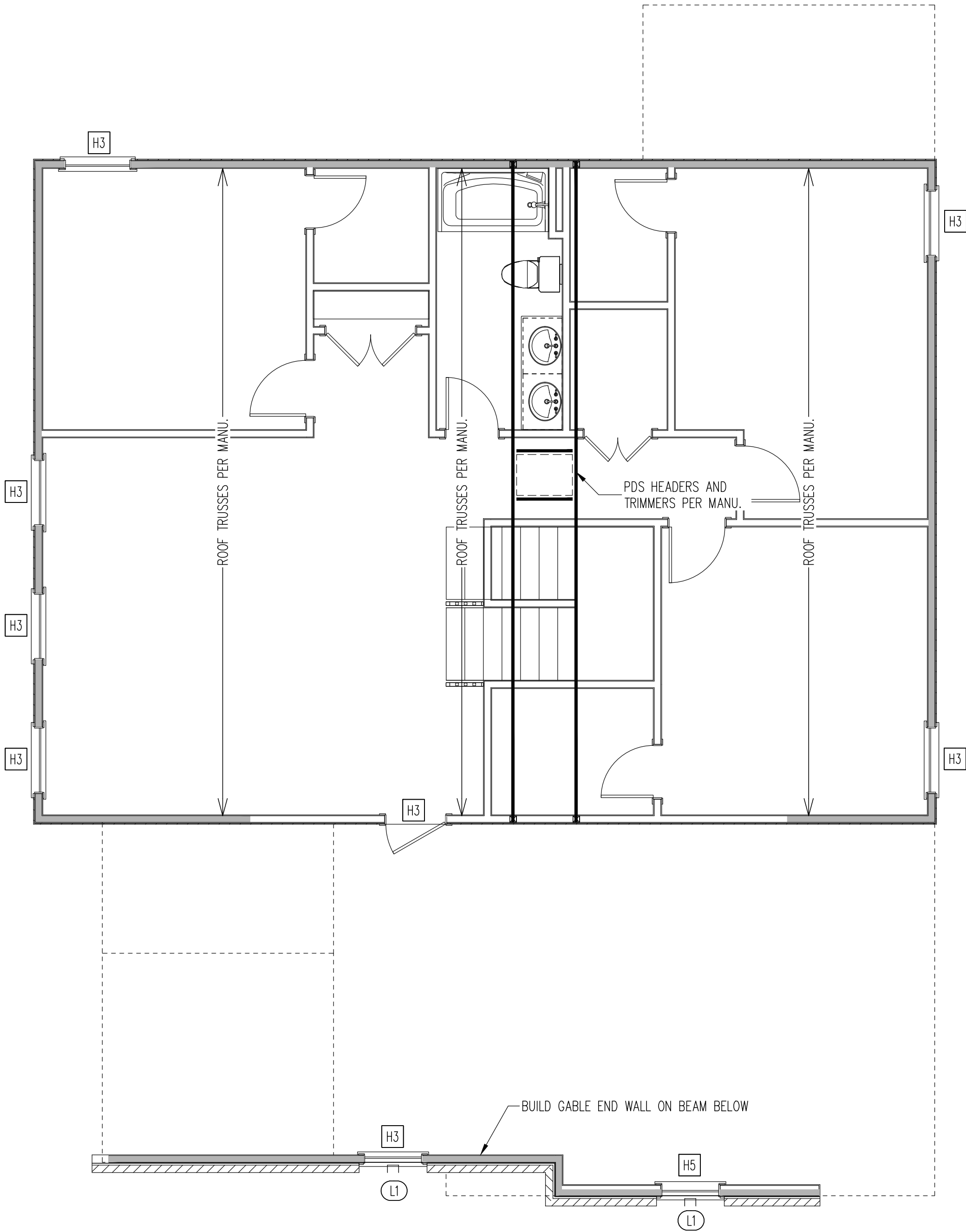
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(A)	TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
(B)	TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
(C)	TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:  
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

31

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WALL BRACING

CS - ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

SHADED WALLS:

NOTES:  
-PROVIDED CONTINUOUS SHEATHING = 106" MIN.

HEADER SCHEDULE

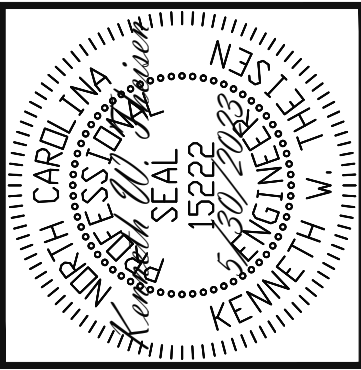
- H1 SINGLE 2X4 TURNED FLAT (A)  
H2 (2) 2X4'S ON SINGLE JACKS (B)  
H3 (2) 2X10'S ON SINGLE JACKS (C)  
H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS  
H5 (3) 2X10'S ON SINGLE JACKS

- (A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.  
(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.  
(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:  
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

2ND FLOOR FRAMING PLAN

WALLS AND CEILING 1/4" = 1'-0"



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STRUCTURAL ENGINEERS  
License No. C-3870  
318 W Millbrook Rd. Unit 201  
Raleigh, North Carolina 27609  
Phone (919) 844-1661

PRECIPICE PROPERTIES			
SCOPE	STRUCTURAL ADDENDUM		
LOC:	REV #	REF PROJ #	DATE
CLIFF A MASTER PLAN	1	23-66-279	8-22-2023

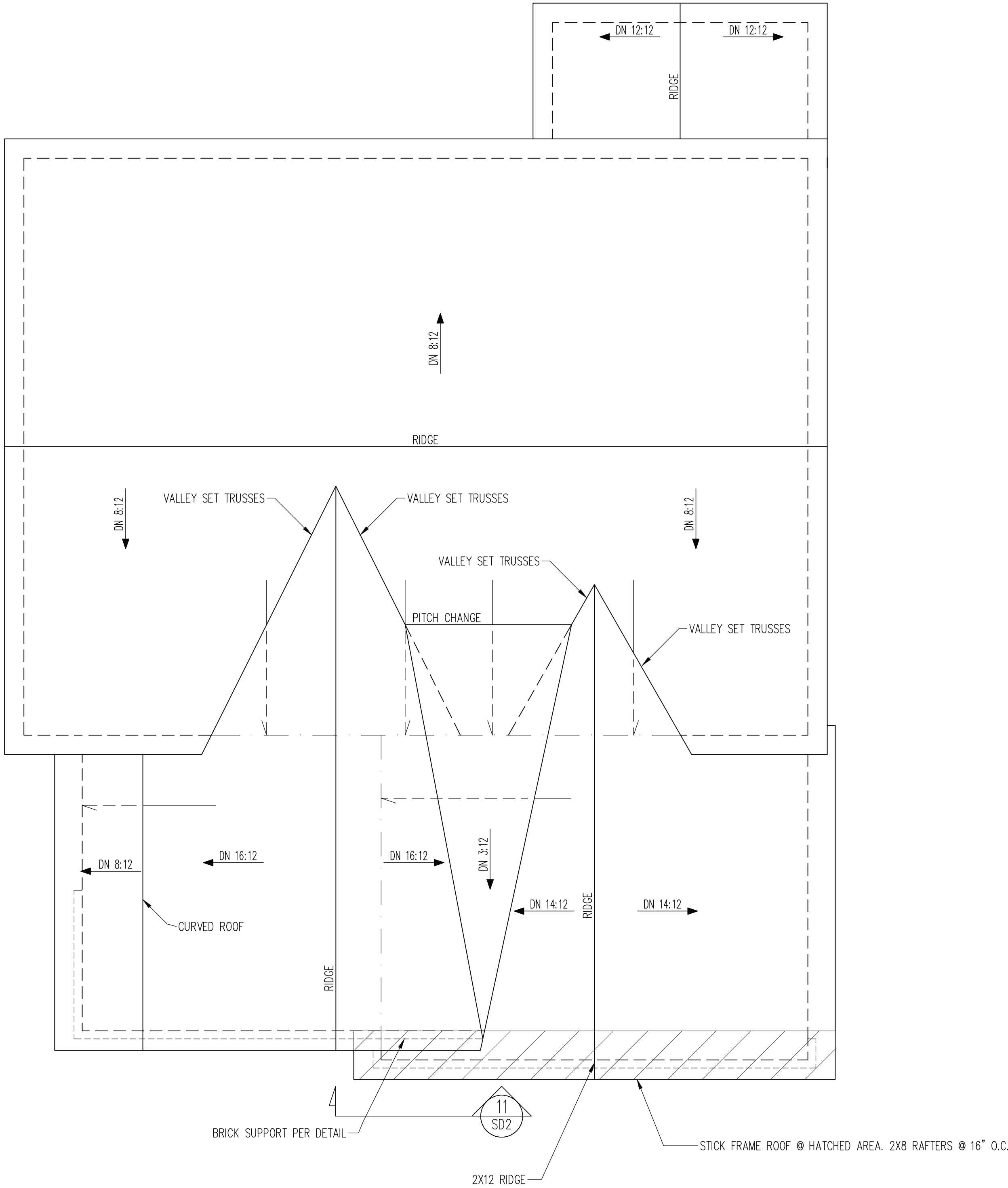
ENG: KWT/CR  
DATE: 5/30/2023

PLAN  
M026-23

PROJECT NO.  
23-21-095GR

SHEET NO.  
S3  
3 of 7

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FRAMING NOTES

ROOF ONLY  
-ROOF TRUSSES PER MANU. TYPICAL U.N.O.  
-VERIFY ALL HEEL HEIGHTS, ROOF PITCHES, AND ARCHITECTURAL OVERHANGS PRIOR TO CONSTRUCTION

TRUSS UPLIFT CONNECTORS

EXPOSURE B, 115 MPH, ANY PITCH  
24" O.C. MAX ROOF TRUSS SPACING

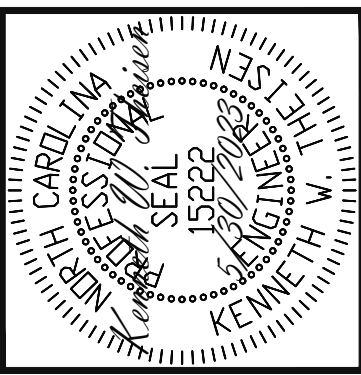
TRUSSES SHALL BE ATTACHED TO SUPPORT WALL FOR UPLIFT RESISTANCE. CONTINUOUS OSB WALL SHEATHING BELOW PROVIDES CONTINUOUS UPLIFT RESISTANCE TO FOUNDATION. ALL TRUSSES SUPPORTED BY INTERMEDIATE SUPPORT WALLS, KNEEWALLS OR BEAMS SHALL BE ATTACHED TO SUPPORTING MEMBER PER SCHEDULE BELOW.

ROOF SPAN IS MEASURED HORIZONTALLY BETWEEN FURTHEST SUPPORT POINTS.

ROOF SPAN UP TO 28'	CONNECTOR NAILING PER TABLE 602.3(1) NCRBC 2018 EDITION
OVER 28'	(1) SIMPSON H2.5A HURRICANE CLIP TO DBL. TOP PLATE OR BEAM

ROOF FRAMING PLAN

1/4" = 1'-0"



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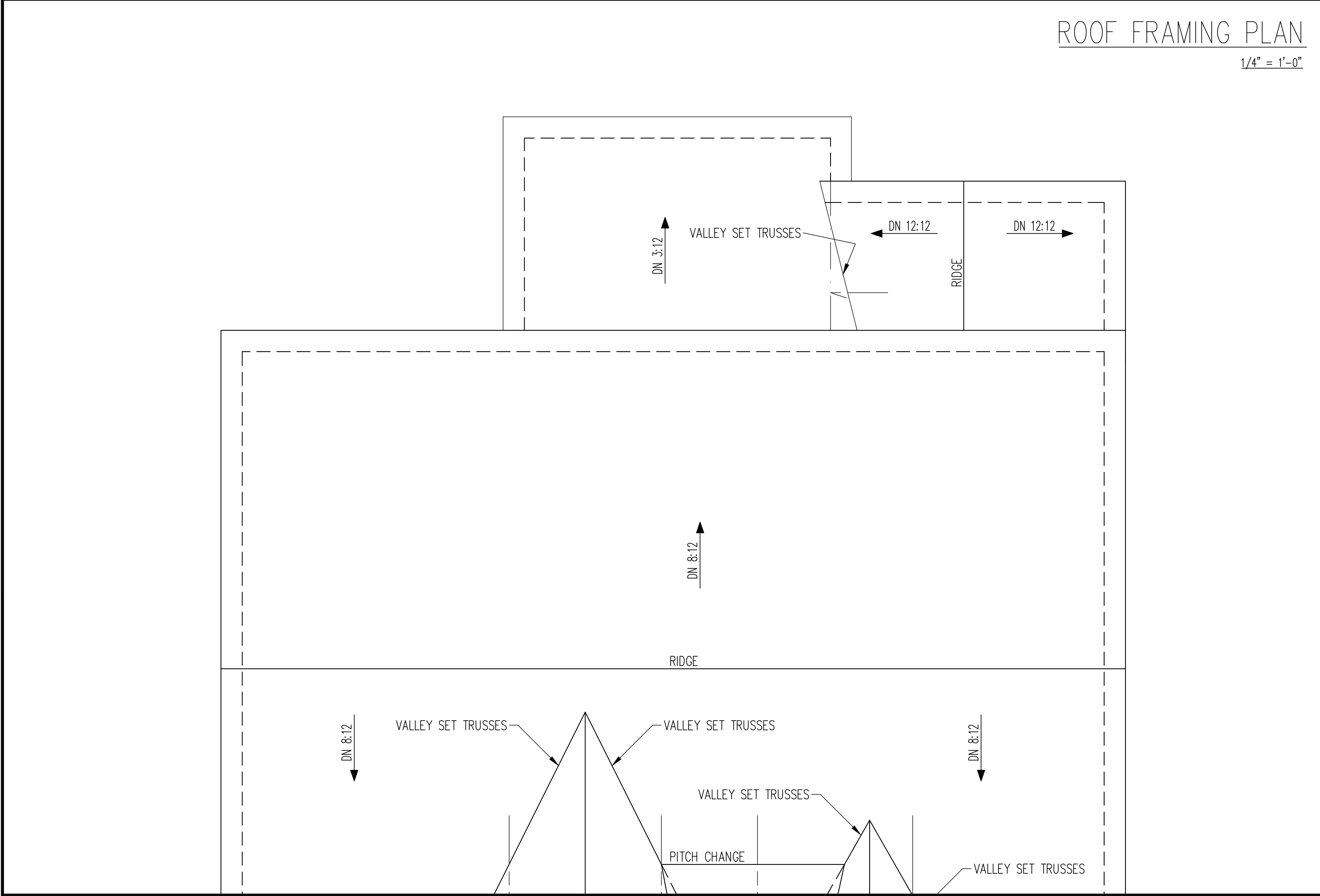
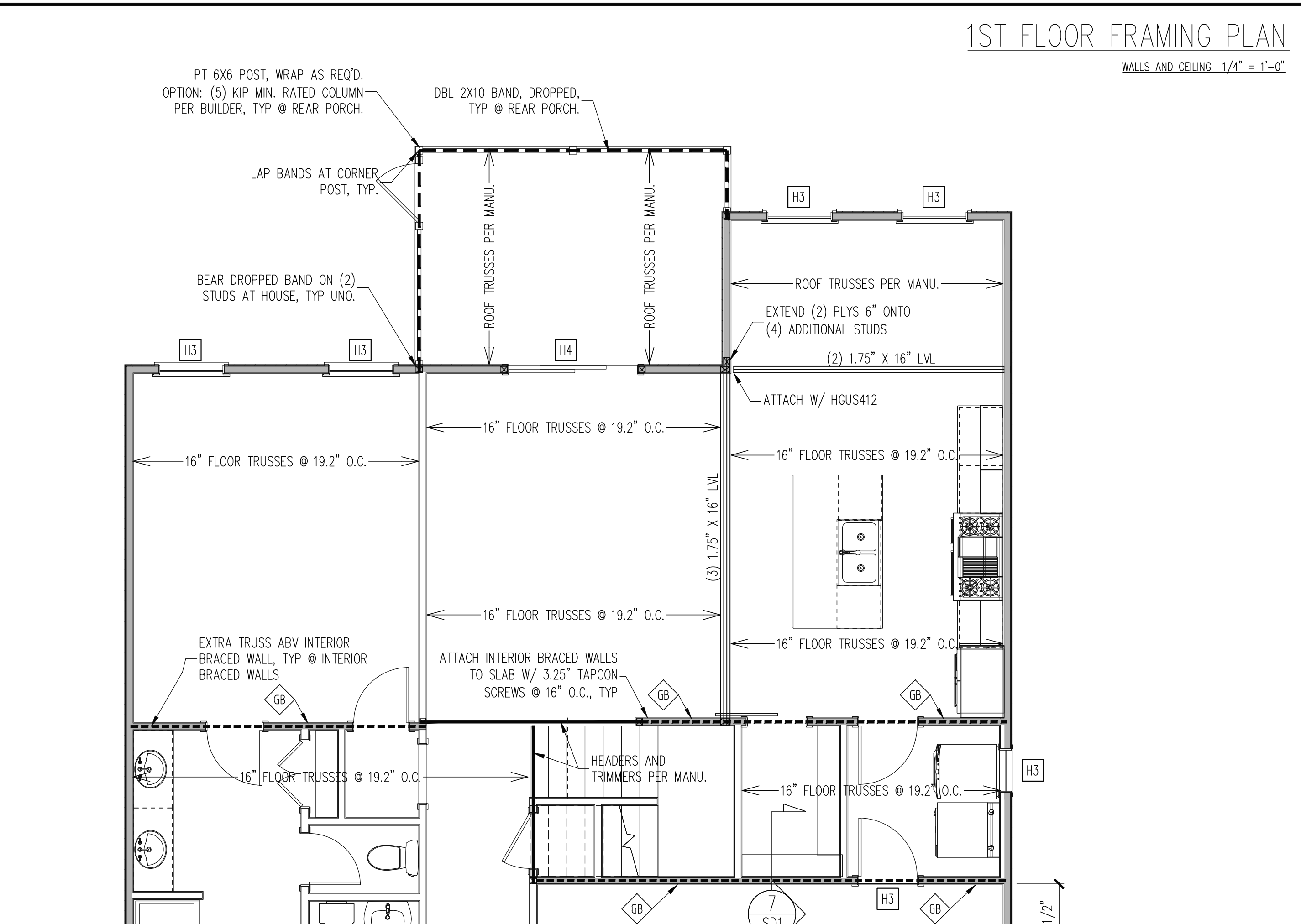
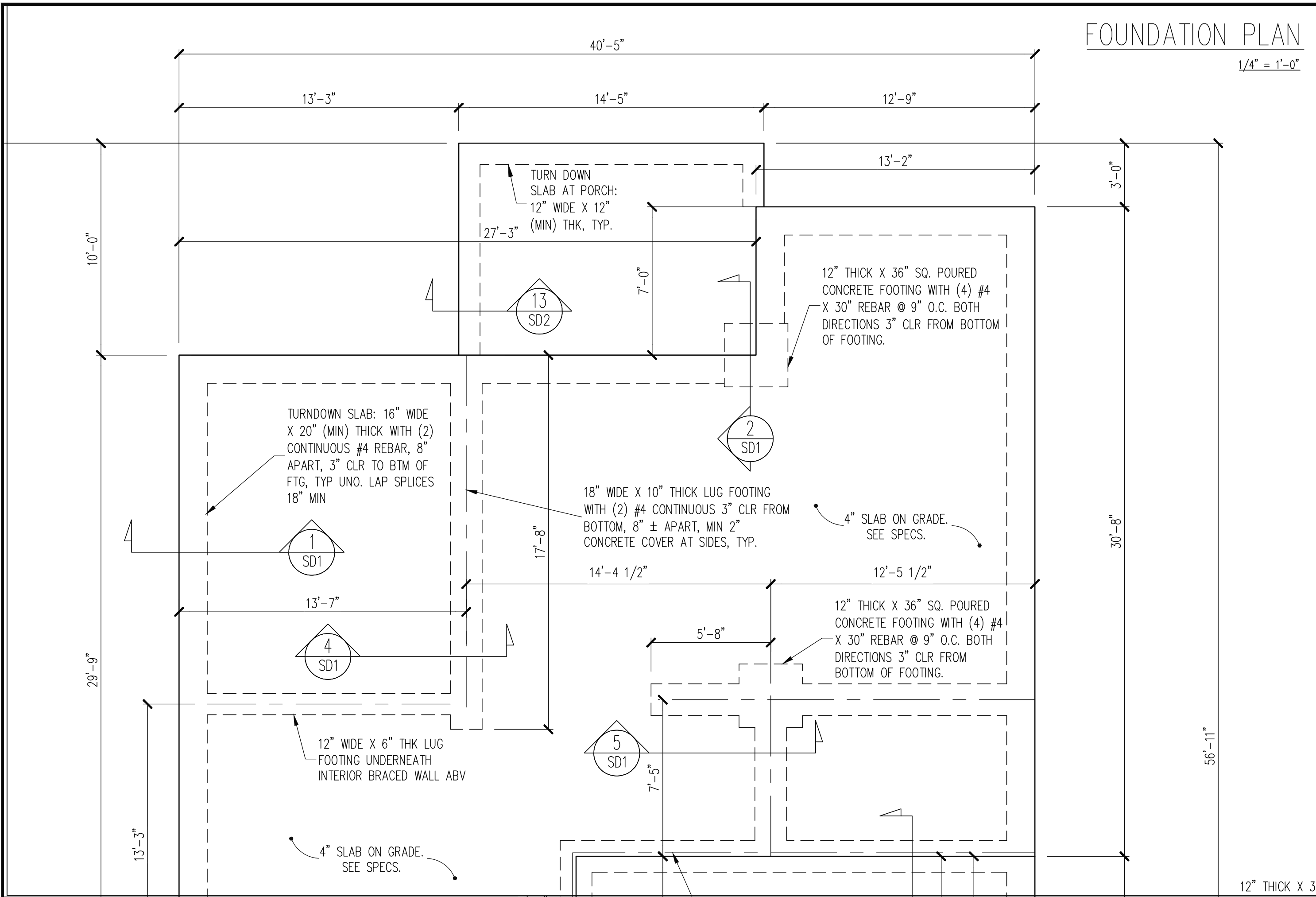
PRECIPICE PROPERTIES		STRUCTURAL ADDENDUM	
SCOPE	REV #	REF PROJ #	DATE
LOC: CLIFF A MASTER PLAN	1	23-66-279	8-22-2023

ENG: KWT/CR  
DATE: 5/30/2023

PLAN  
M026-23

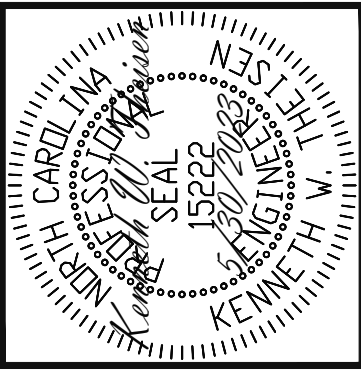
PROJECT NO.  
23-21-095GR

SHEET NO.  
S4  
4 of 7



<p><b>CONSTRUCTION SPECIFICATIONS</b> INSTANT REFERENCES</p> <p>REFER TO THE CONSTRUCTION SPECIFICATIONS SECTIONS FOR THE FOLLOWING INFORMATION:</p> <p>PART 1.01: <u>CURRENT GOVERNING CODE</u></p> <p>PART 14: <u>STUD SUPPORT FOR BEAMS</u></p> <p>PART 16.02: <u>GENERAL WALL BRACING NOTES</u></p> <p>PART 17: <u>KING STUDS FOR EXTERIOR WALLS</u></p> <p>SEE DETAIL / CONSTRUCTION SPECIFICATIONS SHEETS FOR I-JOISTS ALLOWABLE SUBSTITUTIONS</p>	<p><b>WALL BRACING</b></p> <p>CS - ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.</p> <p>SHADED WALLS:</p> <p>WSP ONE SIDE OF INTERIOR WALL OR INSIDE OF EXTERIOR WALL WITH 3/8" MIN. THICKNESS WOOD STRUCTURAL PANELING. ATTACH WSP TO STUD WALL WITH 8d NAILS @ 4" O.C. AT PANEL EDGES, 8" O.C. IN PANEL FIELD.</p> <p>GB INTERIOR BRACED WALL, 1/2" GB SECURED PER TABLE R602.10.2 OF THE 2012 NCRBC. (FASTENERS @ 7" O.C.) BOTH SIDES OF WALL, OR (FASTENERS @ 4" O.C.) ONE SIDE OF WALL AT STAIRS</p> <p>NOTES: -PROVIDED CONTINUOUS SHEATHING = 195" MIN.</p>	<p><b>HEADER SCHEDULE</b></p> <p>H1 SINGLE 2X4 TURNED FLAT (A) H2 (2) 2X4'S ON SINGLE JACKS (B) H3 (2) 2X10'S ON SINGLE JACKS (C) H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS H5 (3) 2X10'S ON SINGLE JACKS</p> <p>(A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX. (B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX. (C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.</p> <p>NOTES: -HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.</p>	<p><b>FRAMING NOTES</b></p> <p>ROOF ONLY -ROOF TRUSSES PER MANU. TYPICAL U.N.O. -VERIFY ALL HEEL HEIGHTS, ROOF PITCHES, AND ARCHITECTURAL OVERHANGS PRIOR TO CONSTRUCTION</p> <p><b>TRUSS UPLIFT CONNECTORS</b></p> <p>EXPOSURE B, 115 MPH, ANY-PITCH 24" O.C. MAX ROOF TRUSS SPACING</p> <p>TRUSSES SHALL BE ATTACHED TO SUPPORT WALL FOR UPLIFT RESISTANCE. CONTINUOUS OSB WALL SHEATHING BELOW PROVIDES CONTINUOUS UPLIFT RESISTANCE TO FOUNDATION. ALL TRUSSES SUPPORTED BY INTERMEDIATE SUPPORT WALLS, KNEEWALLS OR BEAMS SHALL BE ATTACHED TO SUPPORTING MEMBER PER SCHEDULE BELOW.</p> <p>ROOF SPAN UP TO 28' CONNECTOR NAILING PER TABLE 602.3(1) NCRBC 2018 EDITION</p> <p>OVER 28' (1) SMPSON H2.5A HURRICANE CLIP TO DBL TOP PLATE OR BEAM</p>
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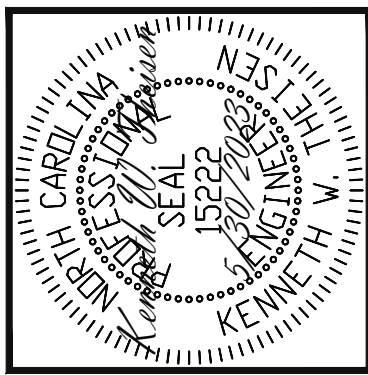
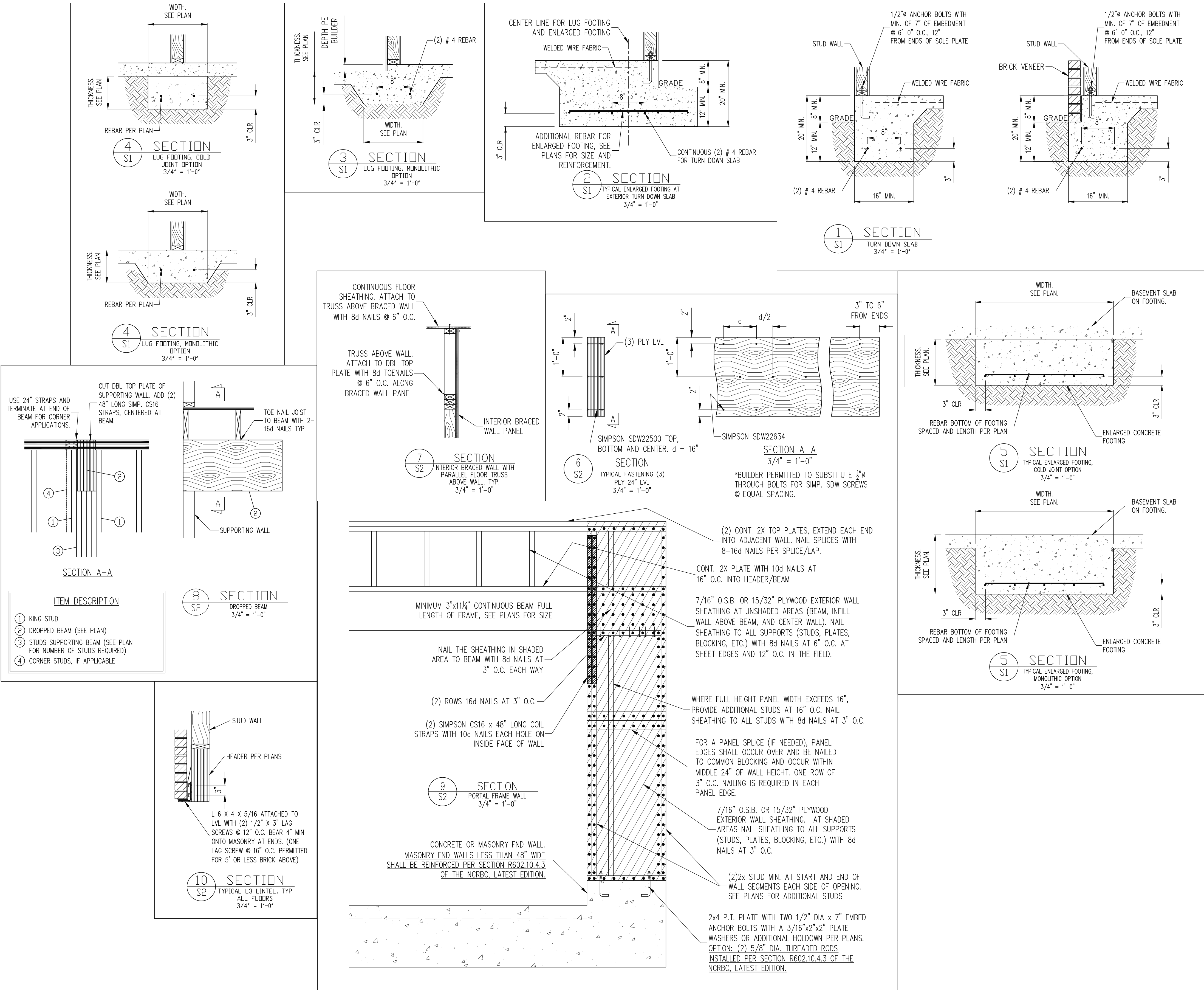
**STRUCTURAL ENGINEERS**  
License No. C3870  
318 W Millbrook Rd. Unit 201  
Raleigh, North Carolina 27609  
Phone (919) 844-1661  
**Engineering Tech Associates, P.A.**

<b>PRECIPICE PROPERTIES</b>		<b>STRUCTURAL ADDENDUM</b>	
<b>SCOPE</b>	REV #	REF PROJ #	DATE
	1	23-66-279	8-22-2023
<b>LOC</b>	CLIFF A MASTER PLAN		

ENG: KWT/CR
DATE: 5/30/2023
PLAN M026-23
PROJECT NO. 23-21-095GR
SHEET NO. 55
5 of 7



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Raleigh, North Carolina 27609  
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Tech  
ASSOCIATES, P.A.

PRECIPICE PROPERTIES			
STRUCTURAL ADDENDUM			
SCOPE	REV #	REF PROJ #	DATE
LOC	1	23-66-279	8-22-2023
CLIFF A MASTER PLAN			

ENG: KWT/CR  
DATE: 5/30/2023

PLAN  
M026-23

PROJECT NO.  
23-21-095GR

SHEET NO.  
SD1  
6 of 7





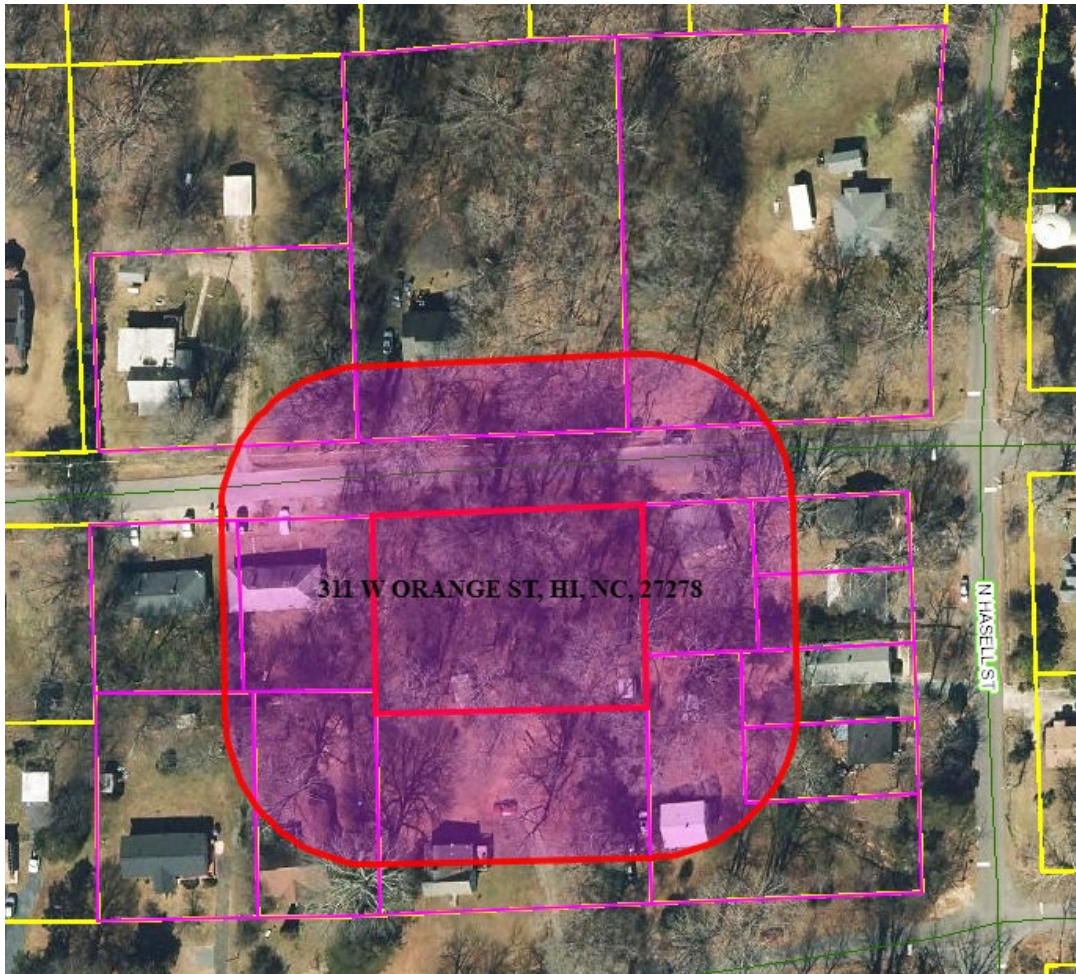
I, Joseph Hoffheimer, hereby certify that all property owners within 100 feet of and the owners of PIN 9864883297 (the affected property) have been sent a letter of notification of the Certificate of Appropriateness application before the Historic District Commission by first class mail in accordance with the Hillsborough Zoning Ordinance.

7/23/2025

Date

Joseph Hoffheimer  
(for Hillsborough Planning Department)

PIN	OWNER1_LAST	OWNER1_FIRST	OWNER2_LAST	OWNER2_FIRST	ADDRESS1	ADDRESS2	CITY	STATE	ZIPCODE
9864881186	BROOKS	SADIE B			318 UNION ST		HILLSBOROUGH	NC	27278
9864881288	BURTON ASSETS				307 MITCHELL ST		HILLSBOROUGH	NC	272782129
9864882167	CARTER	MARGARET G ETAL	FREELAND	SHARON S	316 W UNION ST		HILLSBOROUGH	NC	27278
9864882268	BURTON	ANN SMITH	BURTON	CHARLES MICHAEL	307 MITCHELL ST		HILLSBOROUGH	NC	27278
9864882593	HEELSBOROUGH				104 FOX HILL FARM		HILLSBOROUGH	NC	27278
9864883194	HAWKSWORTH	BARBARA			312 W UNION ST		HILLSBOROUGH	NC	27278
9864883297	HTKT INVESTME				6325 FALLS OF THE STE 35-320		RALEIGH	NC	27609
9864883584	MATTISON	WILLIAM E	MATTISON	VICTORIA P	310 W ORANGE ST		HILLSBOROUGH	NC	27278
9864884297	HOME 4 U LLC				721 BORLAND RD		HILLSBOROUGH	NC	27278
9864885101	DAVIS	JANE B			306 W UNION ST		HILLSBOROUGH	NC	27278
9864885157	WATSON	BETTY HAYES			311 N ENGLISH HILL		HILLSBOROUGH	NC	272786508
9864885242	MADLON KAY	SETH	WALKER	ASHLEY N	405 N HASSELL ST		Hillsborough	NC	27278
9864885255	BEERY	NICHOLAS P	BEERY	LAURA F	110 TRANQUILITY		HILLSBOROUGH	NC	27278
9864885361	LEWIS	ANNA CHRIS ET AL	LEWIS	TOM ANDREW TRU	409 N HASSELL ST		HILLSBOROUGH	NC	27278
9864885594	JOHNSON	DONALD S	JOHNSON	DEBORA A	9607 HANOVER RD		CHARLOTTE	NC	28210



**ITEM #7. A:**

**Address:** 208 S. Cameron St.

**Year Built:** c. 1985

**Historic Inventory Information (2013)**

Symmetrical in form, the Colonial Revival-style building has a one-and-a-half-story, five-bay-wide, side-gabled core that is flanked by one-story, side-gabled hyphens that connect to one-story, front-gabled wings on the right (north) and left (south) elevations. The building has a Flemish bond brick veneer, twelve-over-twelve wood-sash windows with flat brick arches on the first floor, six-over-nine windows in the gabled dormers, and a modillion cornice. The double-leaf, twelve-light-over-one-panel doors are inset slightly in a paneled bay with a six-light transom. The entrance surround features columns supporting a classical entablature with modillion cornice. There are six-over-nine windows on the hyphens and the front-gabled wings have faux interior gable-end brick chimneystacks and eight-over-twelve wood-sash windows. The site slopes down to the rear to reveal a basement level. The building was constructed before 1988.

**Proposed work**

- West-facing addition in existing courtyard area
- New accessible ramp
- Loading dock

**Application materials**

- COA application
- Narrative
- Existing photos
- Site plan
- Floor plan
- Materials letter
- Photo examples of other additions

**Applicable Design Standards**

- *Exterior Walls:* 1, 8, 11
- *Windows:* 10
- *Doors:* 10
- *Roofs:* 12
- *Accessibility and Life Safety:* 1, 4
- *Additions to Commercial Buildings:* 1 – 14
- *Utilities:* 2-4, 7
- *Walkways, Driveways, and Off-Street Parking:* 8-11
- *Awnings and Canopies:* 6-10

**Staff Comments**

- Any unspecified materials still need to be confirmed.
- Other standards for *Exterior Walls, Windows, Doors, and Roofs* may be relevant but are oriented more toward historic structures.
- Staff had concerns about the gabled parapet (including the false louvre) and how it obstructs the existing gables on what could be considered a character-defining elevation. Staff are unaware of any similar additions in the local historic district, but the applicant has cited the old jail annex as an example.



TOWN OF  
**HILLSBOROUGH**

**APPLICATION**  
**Certificate of Appropriateness and Minor Works**

Planning and Economic Development Division  
101 E. Orange St., PO Box 429, Hillsborough, NC 27278  
919-296-9470 | Fax: 919-644-2390  
planning@hillsboroughnc.gov  
www.hillsboroughnc.gov

9874    15    3612  
Orange County Parcel ID Number

Hillsborough  
Zoning District

208 S. Cameron St.  
Address of Project

Drew Wilgus

Applicant Name

4600 Lake Boone Tr., Ste 205

Applicant's Mailing Address

Raleigh, NC, 27607

City, State ZIP

919-455-4227

Applicant Phone Number

dwilgus@smithsinnett.com

Applicant's Email

Orange County Asset Management (Angel Barnes)

Property Owner (if different than applicant)

306 Revere Rd., A102

Property Owner's Mailing Address

Hillsborough, NC 27278

City, State ZIP

919-610-8182

Property Owner's Phone Number

abarnes@orangecountync.gov

Property Owner's Email

Description of Proposed Work: 1,800sf infill expansion of existing building courtyard

Estimated Cost of Construction: \$ 820,000

*The Historic District Design Standards, Exterior Materials Compatibility Matrix, and Certificate of Appropriateness application process can be found on the Town of Hillsborough's website: <https://www.hillsboroughnc.gov/hdc>.*

**Applicant and Owner Acknowledgment and Certification**

I am aware that Historic District Design Standards, Exterior Materials Compatibility Matrix, and Unified Development Ordinance requirements are the criteria by which my proposal will be evaluated for compatibility, and I certify that I, and/or my design professional under my direction, have reviewed my application materials with Planning Staff for compliance to the standards in those adopted documents. I understand that I, or my representative, must attend the HDC meeting where this application will be reviewed. I further understand that town employees and/or commissioners may need access to my property with reasonable notice to assess current conditions, and to assist them in making evidence-based decisions on my application and that I am not to speak to any commissioner about my project until the public meeting at which it is under consideration.

  
Applicant's Signature (Optional)

8-13-2025  
Date

  
Property Owner's Signature (Required)    Date

**Submittal Requirements**

The following documents and plans are required to accompany your COA application in order for it to be deemed complete and scheduled for commission review. Planning staff will determine when all submittal requirements have been met. The first FOUR complete COA applications submitted by the deadline will be heard on any HDC agenda.

All applications must include the following documents and plans:

(Provide a digital copy if plans are larger than 11"x17")

- Detailed narrative describing the proposed work and how it complies with all adopted standards.
- Existing **and** Proposed Dimensioned Plans (see below):
  - Site Plan (if changing building footprint or adding new structures, impervious areas or site features, including hardscaping)
  - Scaled Architectural Plans (if changing building footprint or new construction)
  - Scaled Elevations (if adding or changing features of a structure)
  - Landscaping Plans (required for all new construction and for significant landscaping or tree removal and re-planting)
  - Tree Survey (required for new construction when trees over 12" diameter at breast height are on site - show both existing and those to be removed)
  - Sign Specifications (if adding, changing, or replacing signage)
- Itemized list of existing and proposed exterior materials including photos and specifications, colors, etc. (Siding, trim and fascia, roof and foundation materials, windows, shutters, awnings, doors, porch and deck flooring, handrails, columns, patios, walkways, driveways, fences and walls, and signs, etc.).
- Photographs, material samples, examples of comparable properties in the district (if using them as basis for specific designs), plans, or drawings that will help to clarify the proposal, if applicable, or if required by staff as part of the review.



**Staff Use Only:**

**COA fee (\$1 per \$1000 of construction costs, \$150 minimum) or  
Minor Works fee (\$1 per \$1000 of construction costs, \$25 minimum):**

Amount: \$ 820

☐ After-the-fact application (\$300):

Amount: \$ \_\_\_\_\_

Total Due: \$ 820

Receipt #: 5HKT4NC4P7

Received by: Dakotah Kimbrough

Date: 8/13/2025

This application meets all Unified Development Ordinance requirements and has been reviewed for compliance with all approved materials.

☐ N/A ☐ Yes

Zoning Officer: \_\_\_\_\_

This application meets public space division requirements.

☐ N/A ☐ Yes

Public Space Manager: \_\_\_\_\_

### **Historic Architectural Inventory Information**

Original date of Construction: \_\_\_\_\_

Description of the Property:

Applicable Design Standards:

Other reviews needed?

☐ Hillsborough Zoning Compliance Permit ☐ Orange County Building Permit ☐ Other: \_\_\_\_\_

### **Minor Works Certificate of Appropriateness Application Decision**

☐ Approved ☐ Referred to HDC

Minor Works Reference(s): \_\_\_\_\_

### **Certificate of Appropriateness Decision**

☐ Approved ☐ Denied

Commission Vote: \_\_\_\_\_

Conditions or Modifications (if applicable):

\_\_\_\_\_  
Historic District Staff Signature

\_\_\_\_\_  
Date

**Orange County Board of Elections Expansion**

208 South Cameron Street Hillsborough, NC

Owner: Orange County Asset Management

Date: 8-12-2025

Submission: 8-13-2025 Certificate of Appropriateness

Project Number: 2024022

## Design Narrative

### Project Background:

Orange County Asset Management is seeking to expand the OC Board of Elections building located at 208 S. Cameron Street in Hillsborough. The BOE is responsible for coordinating elections for the county which includes storing and deploying voting equipment and materials. The existing building is comprised of offices, meeting rooms, workrooms and storage as well as a large unoccupied attic. The county would like to expand the building by roughly 1800sf. to enlarge the voting machine storage room and the boardroom space. The current main corridor that bisects the building and is the acting primary egress will be extended as part of the expansion, maintaining the same general exit strategy.

Currently, the building has an elevated terrace located at the rear of the building that is inset to create a courtyard. The existing courtyard space collects exiting on three sides from the building's interior which access the terrace level through separate steps, two of which have architectural awnings. The terrace is about 30 inches tall and the main floor is an additional three feet above the terrace level. The terrace walls and patio are constructed with brick. HVAC units are located in the corners of the terrace, against the building and screened with pierced brick walls.

### Project Siting:

The facility shares a large downtown parcel with other government facilities (north) and is located opposite residences on the Cameron Street (east) side of the building. Parking is located at the south and west sides of the building. The expansion will infill the terrace level at the rear(west) and the building envelope will remain within the current footprint of the terrace. A pedestrian ramp will be added for accessibility along the west elevation of the building. This ramp has been determined to not be required by code which the county code official has confirmed. Therefore, the pedestrian ramp will be a design alternate for the owner to consider if budget allows once it is bid. A second ramp will be added to the south side of the building, where a public parking lot is located, for a new loading dock entrance in the voting machine storage room.

The southwest corner of the building currently resides in the 100-year flood plain and the basement level is prone to flooding. As currently designed, the only portion of new construction that encroaches on the flood plain is the loading dock ramp. The project will be seeking a variance through the Board of Adjustment to keep the ramp where currently proposed on the grounds that flooding of such an improvement would not result in any significant damage.

Guideline Conformance:

Overall, it is the intent for the design of the addition to match the existing architecture in language and material. The owner's preference for the HVAC units to be elevated and out of the flood plain drove the decision for the addition to have a low slope roof. A gabled parapet referencing the profile of the existing "wings" helps to screen the roof equipment. Since the new exterior wall is in line with the existing, insets on either side of the gable provide dimensional relief and maintain comparable scale and proportion.

**Materials:**

The colonial pallet will be maintained with brick that matches the existing and with Flemish bond and grapevine struck mortar joints. Parapet coping will be cast stone. New exterior carpentry will be constructed of composite fiber cement for durability. Much of the existing wood trim has water damage.

**Openings:**

The owner would like to salvage and reuse existing windows to be demolished for the addition which are of good quality (Pella simulated divided lite) and only five years old. Casings and trim will also be salvaged for reuse and repaired as needed. Window heads around the building have jack arch brick lintels which will be conveyed the addition. The rear entry door will match the style of the existing door. Ideally, the existing door, sidelights and transom would be reused, however hardware updates and egress sizing may not permit this. A false louver is proposed in the gable. This will be composite or aluminum construction. Loading dock door and dock leveler will be painted to match other trim and metal work.

**Railings:**

Existing railings are ironwork style and will be matched with updated heights for guards and handrails added.

**Roofing:**

White membrane over insulation.

**Walkway Modifications:**

New stairs will be brick. Side walls of the pedestrian ramp will be brick with concrete walkway. The walkway from curb to steps will be brick maintained as brick to match existing. The loading dock ramp will be concrete.





Overall west elevation (building rear)



Site for addition in place of existing courtyard.





Southwest corner - Location of new loading dock ramp and coiling door



Rear entrance to be salvaged or emulated





Stair and railing detail



Existing rear entrance to be reused or emulated  
Light fixture detail. Round copper gutter and downspouts



Window and brickwork detail



# SITE PLAN REVIEW

# ORANGE COUNTY BOARD OF ELECTIONS

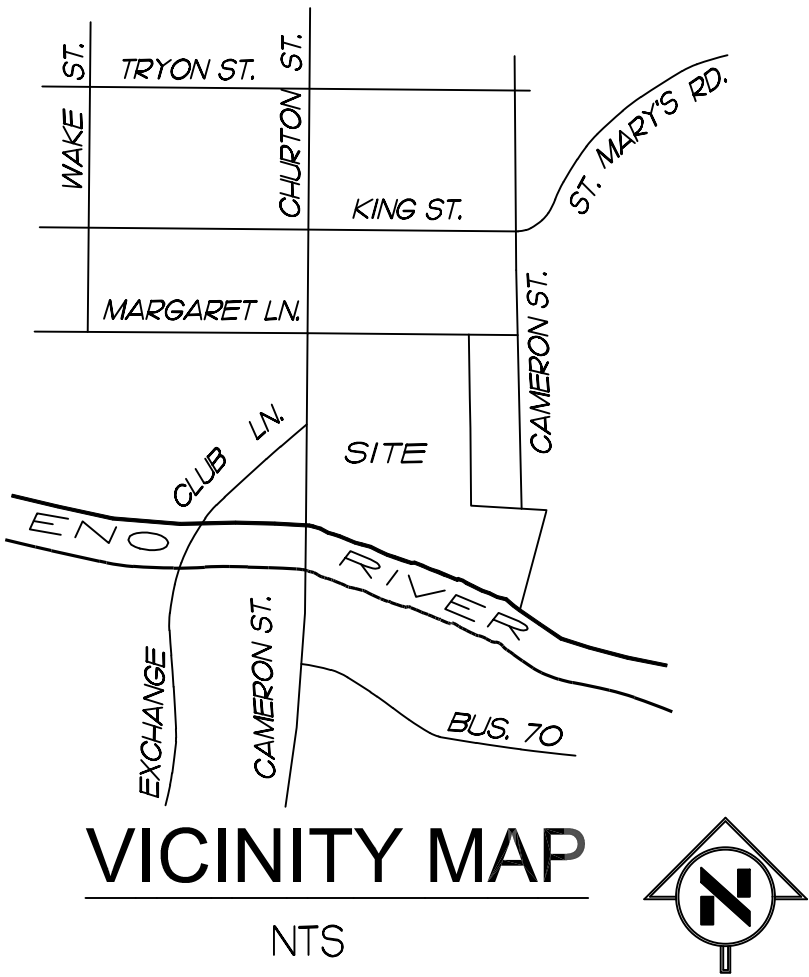
## ACCESSIBLE RAMP AND LOADING DOCK

## HILLSBOROUGH, NORTH CAROLINA

OWNER/APPLICANT  
ORANGE COUNTY BOARD OF ELECTIONS  
P.O. BOX 220  
208 S CAMERON STREET  
HILLSBOROUGH, NC 27278  
TEL. (919) 245-2350

ARCHITECTURAL  
SMITH SINNETT ARCHITECTURE  
4600 LAKE BOONE TRAIL SUITE 205, RALEIGH, NC 27607  
TEL. (919) 781-8582

SITE/CIVIL  
FINCH & ASSOCIATES, PLLC  
3010 ANDERSON DRIVE SUITE 170, RALEIGH, NC 27609  
TEL. (919) 833-1212



### SITE DATA

PIN:	9874153612
PHYSICAL ADDRESS:	144 E MARGARET LN 208 S CAMERON ST 113 TM RIVERWALK HILLSBOROUGH, NC 27278
OWNER:	ORANGE COUNTY
MAILING ADDRESS:	P.O. BOX 8181 HILLSBOROUGH, NC 27278
ZONING:	OI (OFFICE/INSTITUTIONAL)
OVERLAY DISTRICT:	HDO (HISTORIC DISTRICT OVERLAY)
PROPERTY LUC:	EXEMPT-IMPROVED
EXEMPT TYPE:	GOVERNMENTAL (FEDERAL, STATE, LOCAL)

### GENERAL PROJECT NOTES

1. BOUNDARY AND TOPOGRAPHIC INFORMATION, UTILITIES, AND EXISTING STRUCTURES SHOWN HEREIN WERE TAKEN FROM A SURVEY PROVIDED BY JOSE L. TORRES DATED MAY 29, 2025.
2. ALL DIMENSIONS AND STAKING POINTS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES AT THE SITE AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ENGINEER FOR ADJUSTMENT.
4. THE CONTRACTOR SHALL VERIFY SITE SOIL CONDITIONS AND NOTIFY THE ENGINEER OF THE PRESENCE OF ANY UNSUITABLE SOILS.
5. LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME. SEE GRADING NOTES ON THE DRAWINGS FOR ADDITIONAL REQUIREMENTS AND PRECAUTIONS.
6. CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND BARRICADES FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE LOCATION OF THE SITE.
7. CONTRACTOR SHALL DELINEATE ALL DIRECTIONAL ARROWS, LANE MARKINGS, "STOP" BARS, ETC. AS SHOWN ON THE PLANS WITH TRAFFIC MARKING PAINT ACCORDING TO MANUFACTURER'S SPECIFICATIONS. USE WHITE COLOR.
8. ALL ACCESSIBLE RAMPS AND PARKING SPACES SHALL CONFORM TO ADA STANDARDS.
9. ALL SIGNS AND PAVEMENT MARKINGS SHALL ADHERE TO ALL APPLICABLE REQUIREMENTS OF THE LATEST VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
10. ALL PERMITS RELATIVE TO THIS PROJECT SHALL BE OBTAINED PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
11. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY OF HILLSBOROUGH STANDARDS AND SPECIFICATIONS.
12. FEMA MAPPED FLOOD BOUNDARIES EXIST ON THE PROJECT SITE.
13. THERE ARE NO WETLANDS WITHIN THE PROJECT AREA.

### SCHEDULE OF DRAWINGS

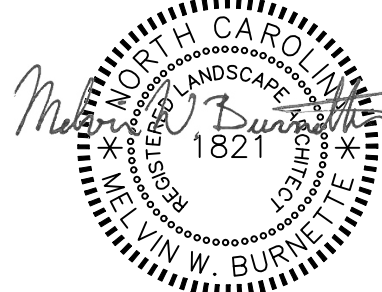
LO	COVER SHEET
L1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
L2.0	SITE PLAN
L2.1	SECTION VIEWS
L3.0	CONSTRUCTION DETAILS
A1-03	FIRST FLOOR DIMENSION PLAN
A2-01	EXTERIOR ELEVATIONS
A2-02	3D VIEWS



PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-632-4949).



8/12/2025



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NCBELS Lic. No. P-1845  
INCBOLA Lic. No. C-656

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ADA EXPANSION FOR ORANGE COUNTY  
BOARD OF ELECTIONS  
208 S CAMERON ST, HILLSBOROUGH, NC 27278

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PROJ. NO. 25037  
DATE 8/12/2025  
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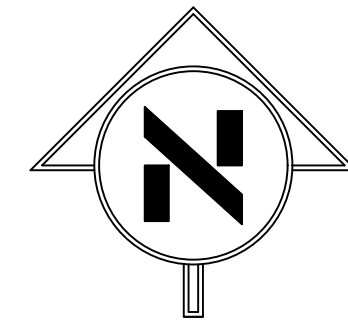
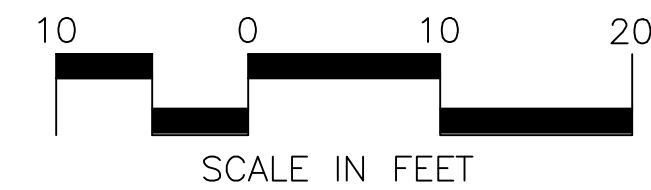


PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-632-4949).



UNDERGROUND TELEPHONE LINE TAKEN FROM PLANS BY RMN DATED APRIL 19, 2013 (APPROXIMATE - NOT MARKED FOR THIS SURVEY)

PRE-CONSTRUCTION	POST-CONSTRUCTION
PROPOSED FINISHED BUILDING SQ: 9,089 SQ FT	PROPOSED FINISHED BUILDING SQ: 9,089 SQ FT
UDO REQUIREMENTS: 1 PARKING SPACE PER 300 SQ FT GFA (GROSS FLOOR AREA)	UDO REQUIREMENTS: 1 PARKING SPACE PER 300 SQ FT GFA (GROSS FLOOR AREA)
NUMBER OF SPACES REQUIRED: 9,089/300= 31	NUMBER OF SPACES REQUIRED: 9,089/300= 31
NUMBER OF SPACES EXISTING PRIOR TO CONSTRUCTION: 77	NUMBER OF SPACES PROPOSED AFTER CONSTRUCTION: 72



#### LEGEND

SYMBOL	DESCRIPTION
	CONTOURS
	ELECTRIC UTILITY
	STORM STRUCTURE
	BUFFER
	EASEMENT
	RIVER
	100- YEAR FLOOD
	500- YEAR FLOOD
	STORM STRUCTURE
	POWER STRUCTURE
	POWER STRUCTURE
	SIGN
	UNDERGROUND TELEPHONE
	UNDERGROUND ELECTRIC
	SANITARY SEWER PIPE
	MAN-HOLE

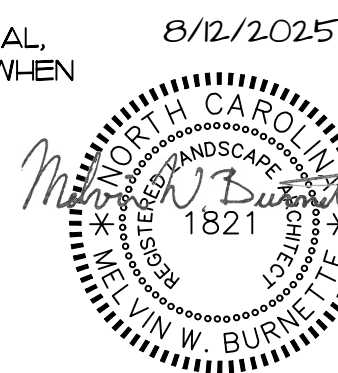
#### SURVEY NOTES

- 1) AREAS BY COORDINATES.
- 2) HORIZONTAL GROUND DISTANCES SHOWN.
- 3) UNDERGROUND UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE. CONTRACTORS ARE ADVISED TO HAVE ALL UNDERGROUND UTILITIES MARKED PRIOR TO ANY EXCAVATION. UNDERGROUND UTILITIES ARE BASED ON FIELD MARKINGS BY "SO-DEEP" THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES BEYOND THOSE SHOWN HEREON.
- 4) RATIO OF PRECISION= 1/10,000.
- 5) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT, THEREFORE, THERE MAY BE ENCUMBRANCES AFFECTING TITLE ON THESE PROPERTIES NOT SHOWN HEREON.
- 6) VERTICAL DATUM BASED ON 'OR 39', ELEV= 54292 (NAVD '88)
- 7) DUKE ENERGY EASEMENTS SHOWN BASED ON MARKINGS BY "SO DEEP" (2002) OR "MCADAMS" 2025
- 8) SURFACE DETAIL INTENTIONALLY OMITTED.

#### DEMOLITION NOTES

- 1) THE CONTRACTOR SHALL REMOVE EXISTING STRUCTURES AND PAVEMENT FROM ALL AREAS WITHIN THE LIMITS OF DISTURBANCE AS SHOWN ON THIS PLAN.
- 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES THAT ARE TO REMAIN DURING ALL DEMOLITION AND CONSTRUCTION PHASES.
- 3) ALL MATERIALS THAT ARE TO BE REMOVED SHALL BE LEGALLY DISPOSED OF OFF SITE.
- 4) THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY FOR THE REMOVAL AND/OR RELOCATION OF GAS, ELECTRIC, TELEPHONE, AND CABLE SERVICES, ETC.
- 5) THE CONTRACTOR SHALL VISIT THE SITE AND BECOME THOROUGHLY FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO BIDDING.
- 6) NO OPEN FIRE WILL BE ALLOWED.
- 7) THE CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE. NO DEMOLITION MATERIALS ARE TO BE SOLD BY THE CONTRACTOR ON SITE.
- 8) THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REQUIREMENTS WHEN REMOVING OR RELOCATING ANY UTILITY SERVICES.

EXISTING CONDITIONS AND DEMOLITION  
SCALE: 1" = 10'



#### REVISIONS

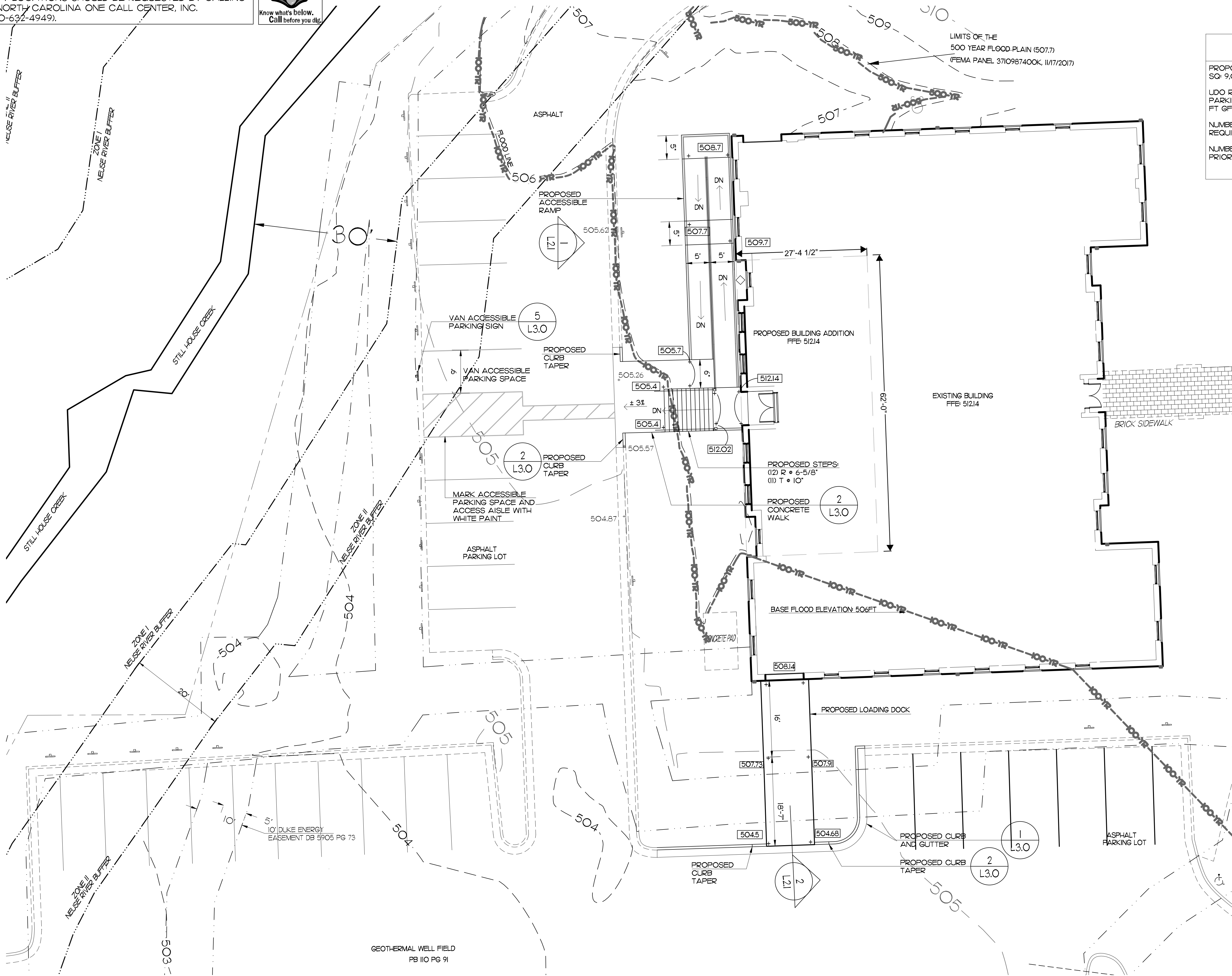
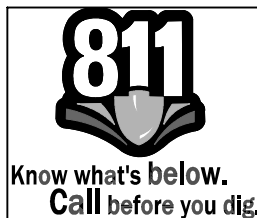
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F 919 | 534-3203  
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NCEOLA Lic. No. C-656

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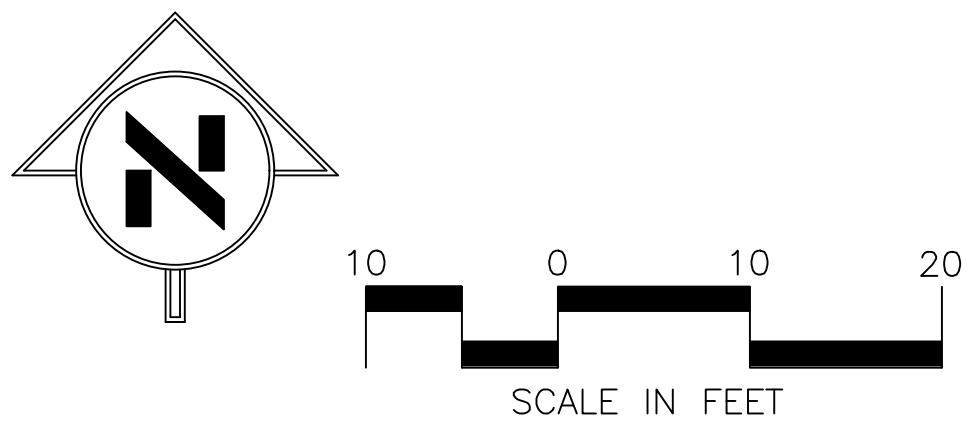
ADA EXPANSION FOR ORANGE COUNTY  
BOARD OF ELECTIONS  
208 S CAMERON ST, HILLSBOROUGH, NC 27278

DRAWN BY MWB  
CHECKED BY JFW  
PROJ. NO. 25037  
DATE 8/12/2025  
SHEET 1 OF 1

PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-637-4949).



PRE-CONSTRUCTION	POST-CONSTRUCTION
PROPOSED FINISHED BUILDING SQ: 9,089 SQ FT	PROPOSED FINISHED BUILDING SQ: 9,089 SQ FT
LIDO REQUIREMENTS: 1 PARKING SPACE PER 300 SQ FT GFA (GROSS FLOOR AREA)	LIDO REQUIREMENTS: 1 PARKING SPACE PER 300 SQ FT GFA (GROSS FLOOR AREA)
NUMBER OF SPACES REQUIRED: 9,089/300= 31	NUMBER OF SPACES REQUIRED: 9,089/300= 31
NUMBER OF SPACES EXISTING PRIOR TO CONSTRUCTION: 77	NUMBER OF SPACES PROPOSED AFTER CONSTRUCTION: 77-5=72



SYMBOL	DESCRIPTION
	CONTOURS
	ELECTRIC UTILITY
	STORM STRUCTURE
	BUFFER
	EASEMENT
	RIVER
	100- YEAR FLOOD
	500- YEAR FLOOD
	STORM STRUCTURE
	POWER STRUCTURE
	POWER STRUCTURE
	SIGN
	UNDERGROUND TELEPHONE
	UNDERGROUND ELECTRIC
	SANITARY SEWER PIPE
	MANHOLE

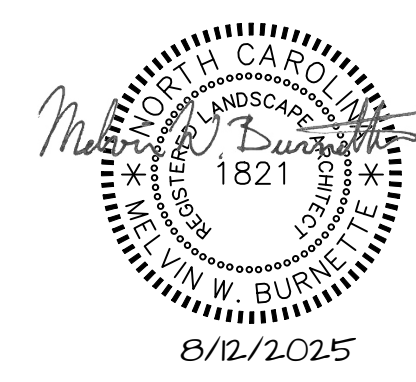
IMPERVIOUS SURFACES DATA  
PROPOSED NEW IMPERVIOUS AREA: 3003 SF  
EXISTING IMPERVIOUS TO BE REMOVED: 3026 SF  
NET CHANGE: -23 SF

REVISIONS

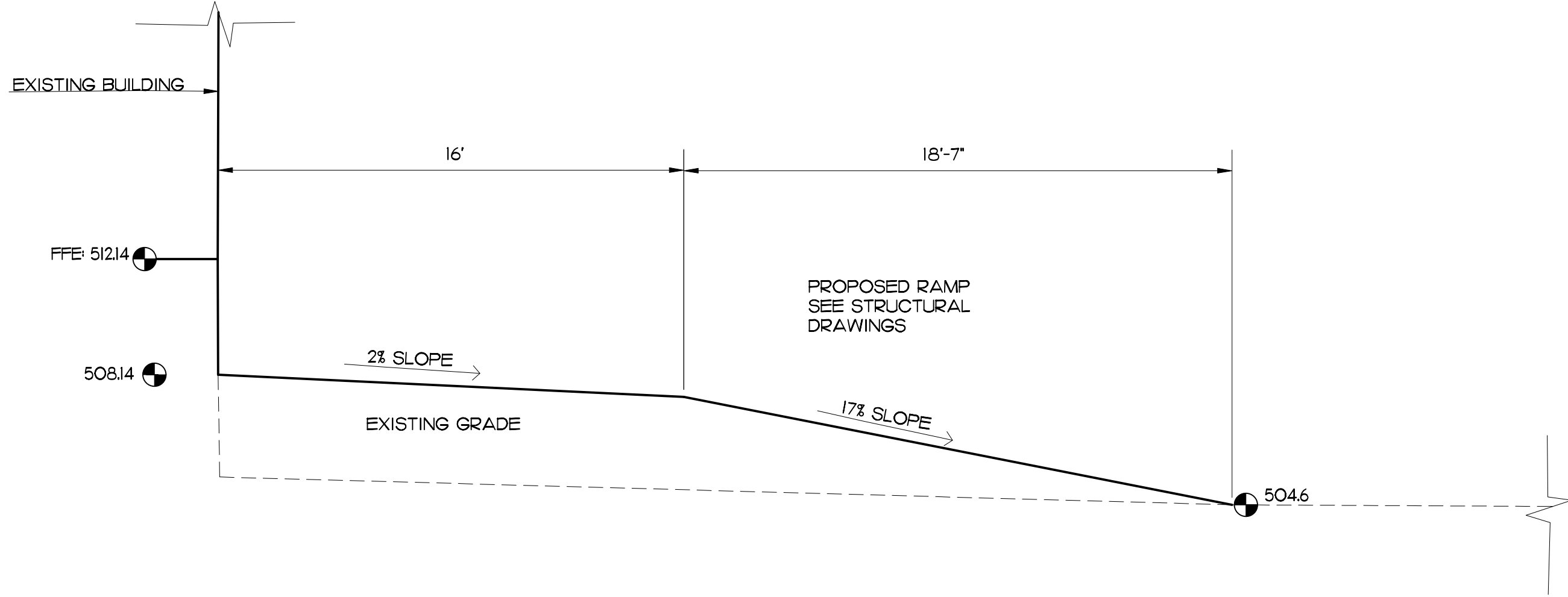
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Raleigh, NC 27609  
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F 919 | 534-3203  
NCBELS Lic. No. P-1845  
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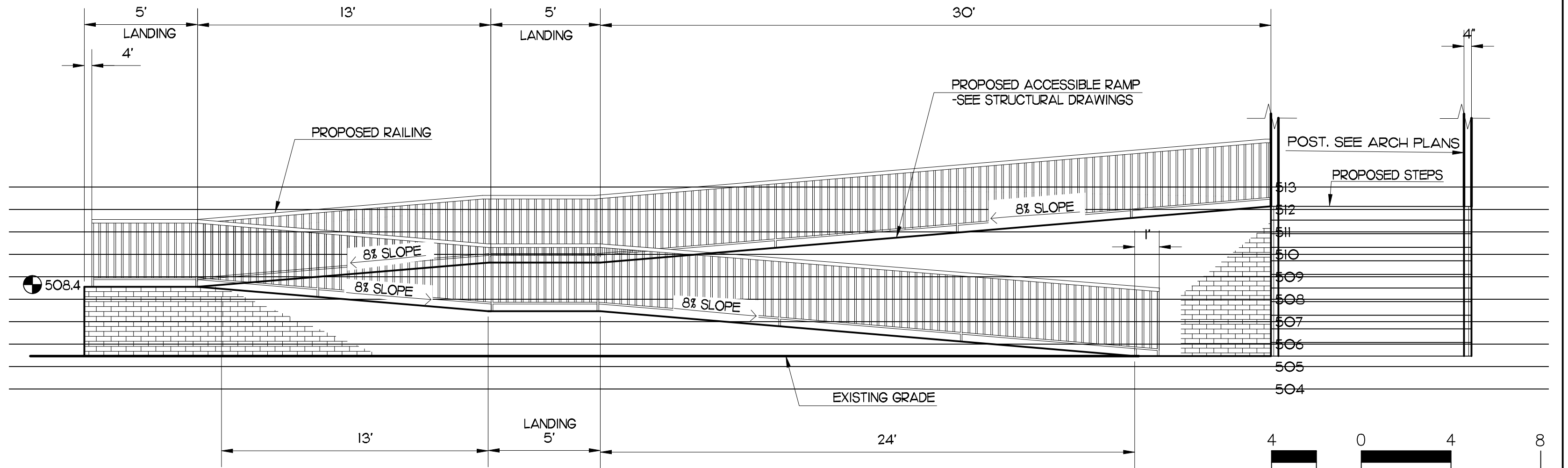
ADA EXPANSION FOR ORANGE COUNTY  
BOARD OF ELECTIONS  
208 S CAMERON ST, HILLSBOROUGH, NORTH CAROLINA



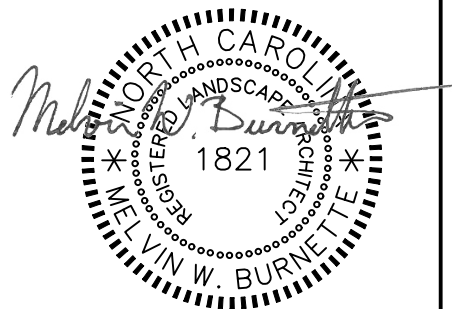
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PROJ. NO. 25037  
DATE 8/12/2025  
**L20**  
SHEET OF



2 SECTION VIEW OF LOADING DOCK  
L2.1 SCALE: 1/4" = 1'-0"



1 SECTION VIEW FOR ACCESSIBLE RAMP  
L2.1 SCALE: 1/4" = 1'-0"



8/12/2025

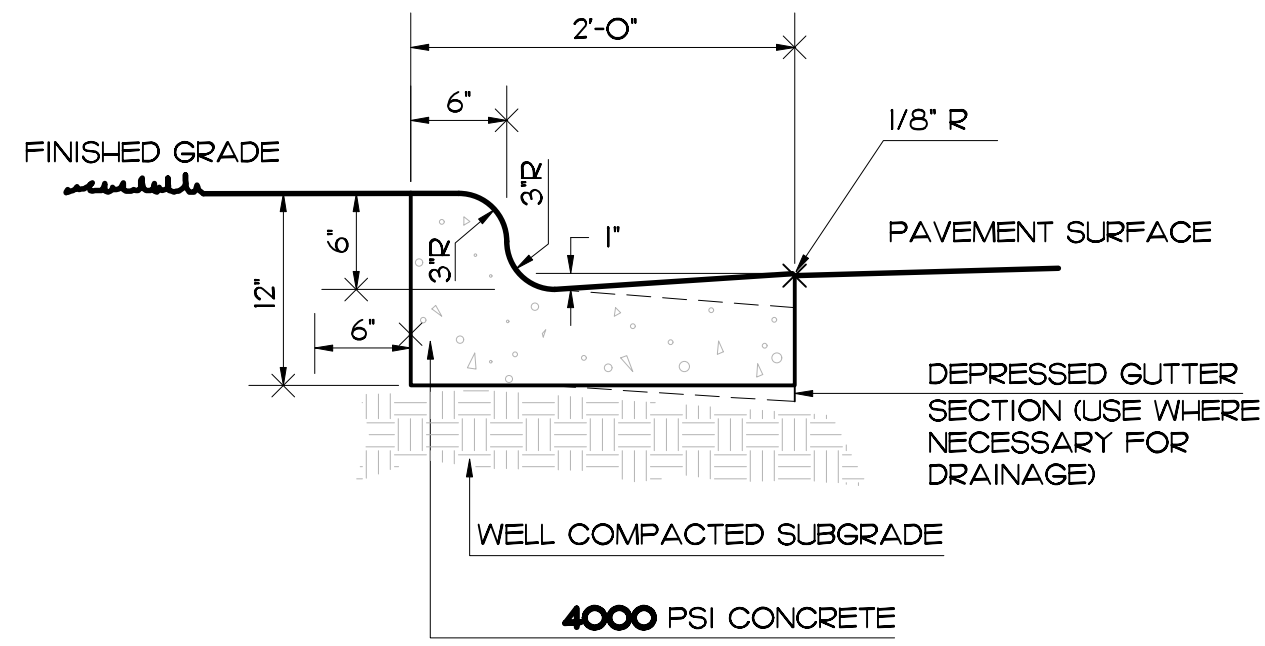
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BOARD OF ELECTIONS  
208 S CAMERON ST, HILLSBOROUGH, NC 27278

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L2.1 OF  
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F 919 | 831-3203  
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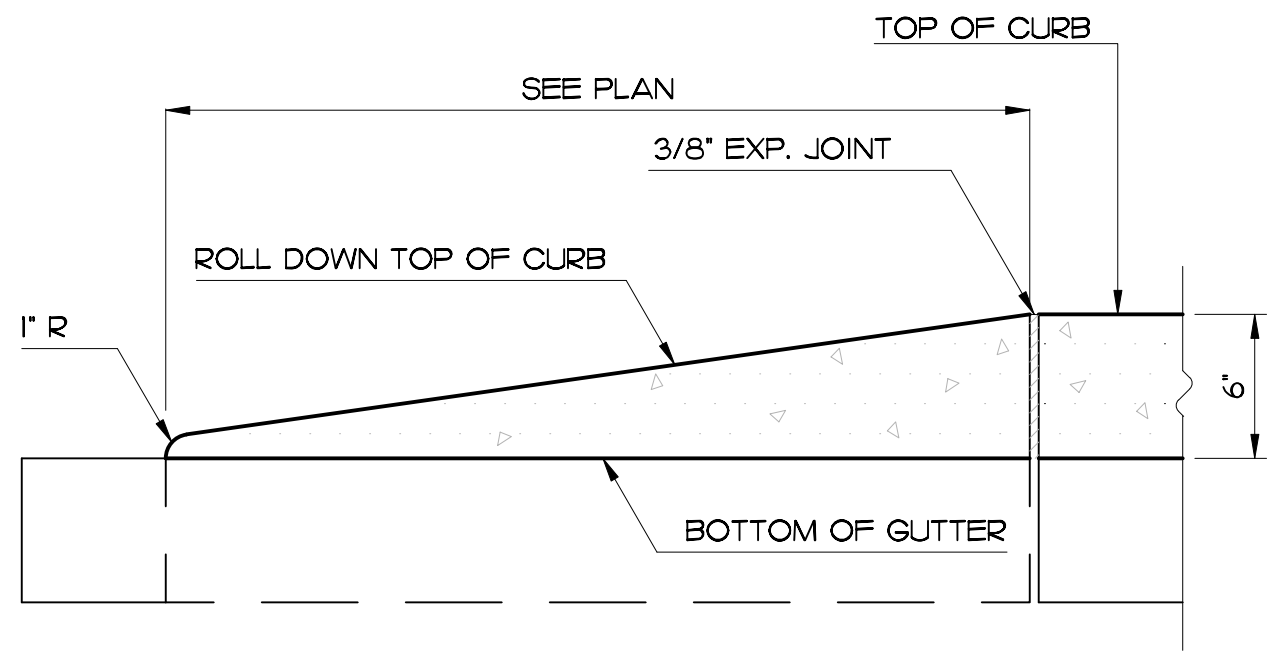
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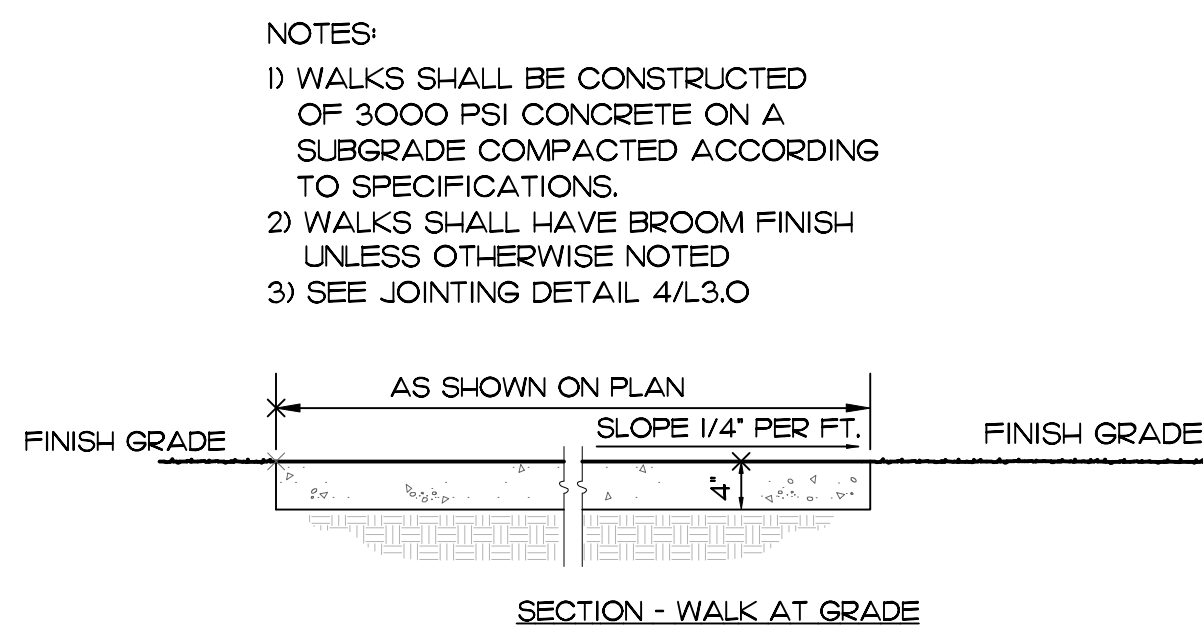


- NOTES
1. PLACE CONTRACTION JOINTS AT 10' INTERVALS IF FORMED, OR 15' IF MACHINE PLACED.
  2. CONTRACTION JOINTS MAY BE INSTALLED WITH THE USE OF TEMPLATES. NON-TEMPLATE FORMED JOINTS SHALL BE A MINIMUM OF 1-1/2" DEEP.
  3. CONSTRUCTION JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALER.
  4. EXPANSION JOINTS (1/2") SHALL BE SPACED AT 90' INTERVALS, AND SHALL BE FILLED WITH JOINT FILLER AND SEALER.
  5. TO INSURE PROPER DRAINAGE, CONSTRUCT CURB AND GUTTER WITH DEPRESSED GUTTER SECTION IN ANY LOCATIONS WHERE SURFACE OF ADJOINING PAVING SLOPES AWAY FROM THE CURB AND GUTTER.

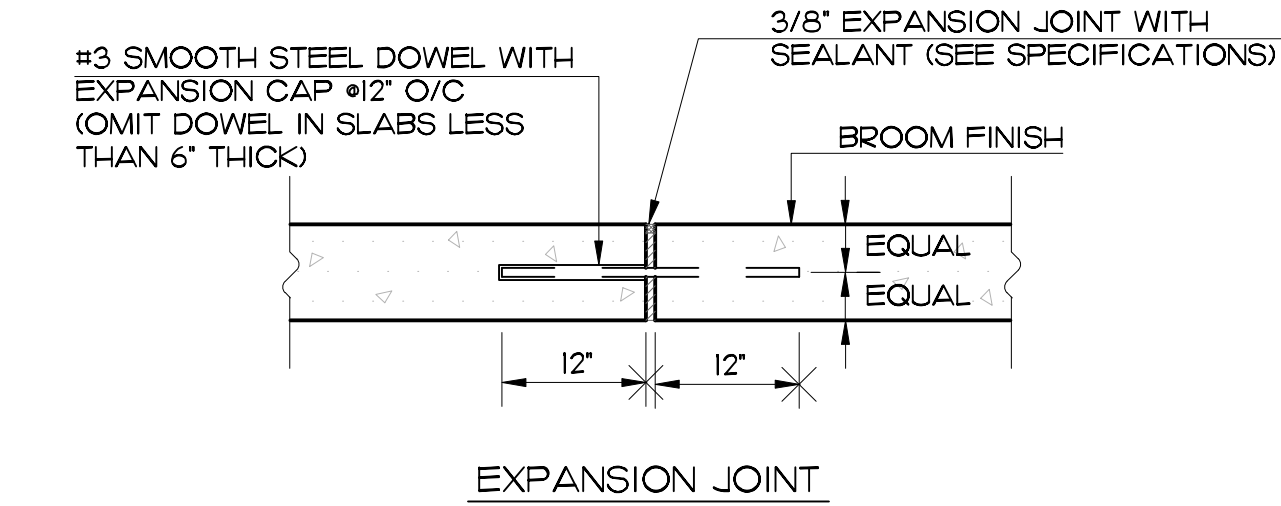
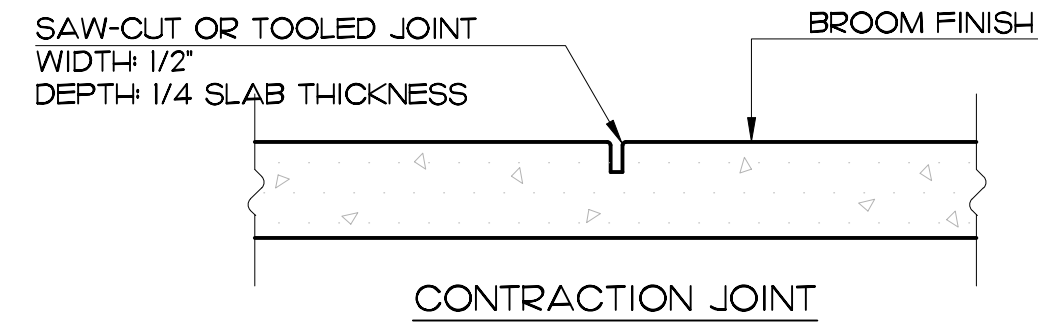
1	24" CURB AND GUTTER
L3.0	SCALE: 1" = 1'-0"



2	CURB TAPER
L3.0	SCALE: 1-1/2" = 1'-0"



3	CONCRETE WALK
L3.0	SCALE: 3/4" = 1'-0"



- NOTES
1. ON CONCRETE WALKS, CONTRACTION JOINTS SHALL BE SPACED AT AN INTERVAL EQUAL TO THE WIDTH OF THE WALK, BUT SHALL NOT EXCEED 6' O.C.
  2. ON CONCRETE WALKS, EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 30' O.C.

4	CONCRETE JOINTS
L3.0	SCALE: 1-1/2" = 1'-0"

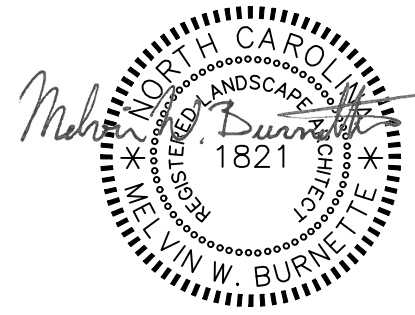
#### REVISIONS

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NCBELS Lic. No. P-1845  
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BOARD OF ELECTIONS  
208 S CAMERON ST, HILLSBOROUGH, NC 27278

8/12/2025



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PROJ. NO. 25037  
DATE 8/12/2025  
L3.0  
SHEET OF



GENERAL PROJECT NOTES:

- ALL INTERIOR WALL TYPES TO BE 'SAAU' UNLESS OTHERWISE NOTED.
- WALL DIMENSIONS ARE TO FACE OF METAL STUD, FACE OF CONCRETE MASONRY UNIT (CMU), OR CENTERLINE OF COLUMN.
- ALL RATED WALL CONSTRUCTION TO COMPLY W/ UL REQUIREMENTS.
- ALL CMU WALLS GOING TO BOTTOM OF DECK ARE TO PROVIDE A 1" GAP FOR DEFLECTION, FILL GAP WITH MINERAL WOOL INSULATION ALONG THE ENTIRE LENGTH OF WALL. AT FIRE RATED WALLS, ENSURE SPRAY APPLIED FIRE SEALANT BOTH SIDES.
- ALL METAL STUD WALLS TERMINATING AT BOTTOM OF DECK ARE TO PROVIDE A DEFLECTION TRACK SECURED TO THE UNDERSIDE OF THE DECKING, NEST TOP TRACK BUT DO NOT ATTACH TO DEFLECTION TRACK. FILL FLUTE IN METAL DECK WHERE REQUIRED.
- ALL WALLS EXTEND TO DECK AND ARE BRACED TO DECK AT HEAD ON ALTERNATE STUDS OR 32" OC FOR CMU WALLS, UNLESS OTHERWISE NOTED.
- CONTROL JOINTS SHALL BE AS SHOWN ON PLANS AND ELEVATIONS OR SPACED AT A MINIMUM OF 20'-0" OC AND A MAXIMUM OF 32'-0" OC WITH ONE CONTROL JOINT LOCATED WITHIN 3'-4" OF ANY CORNER, FOR INTERIOR GYPSUM WALL CONTROL JOINTS SEE DETAIL.
- SEE FINISH SCHEDULE FOR WALL, FLOOR, BASE, AND CEILING TYPES AND FINISHES.
- REFER TO STRUCTURAL DRAWINGS FOR LOCATION OF REINFORCING, BOND BEAMS, BRACING, ETC.
- ALL COLUMN CHASES TO HAVE GYP BOARD ON ROOM SIDE OF WALL, TYPICAL UNLESS OTHERWISE NOTED.
- ALL EXTERIOR SIDEWALKS SHALL SLOPE AWAY FROM THE BUILDING AT 1/4" PER FOOT, MINIMUM.
- ALL EXTERIOR WINDOWS TO HAVE ROLLER SHADE BLINDS UNLESS OTHERWISE NOTED, REFER TO SPECIFICATIONS.
- FURNITURE AND EQUIPMENT SHOWN DASHED ON PLANS IS NOT IN CONTRACT (NIC), GC TO PROVIDE WOOD BLOCKING FOR ALL WALL/CEILING MOUNTED ACCESSORIES.
- FIELD VERIFY FINAL ROOM DIMENSIONS PRIOR TO CASEWORK FABRICATION.
- WARP SLAB DOWN 1" IN A 2'-0"x2'-0" SQUARE AROUND ALL FLOOR DRAINS.
- ALL CERAMIC TILE TO HAVE CONTROL JOINTS THAT ALIGN WITH CONTROL JOINTS IN CONCRETE SLAB.
- THERE SHALL BE NO PENETRATIONS IN THROUGH WALL FLASHING.
- DOOR JAMB FROM INTERSECTING WALLS: CMU - 8" UNLESS OTHERWISE NOTED

STUD- 4" UNLESS OTHERWISE NOTED

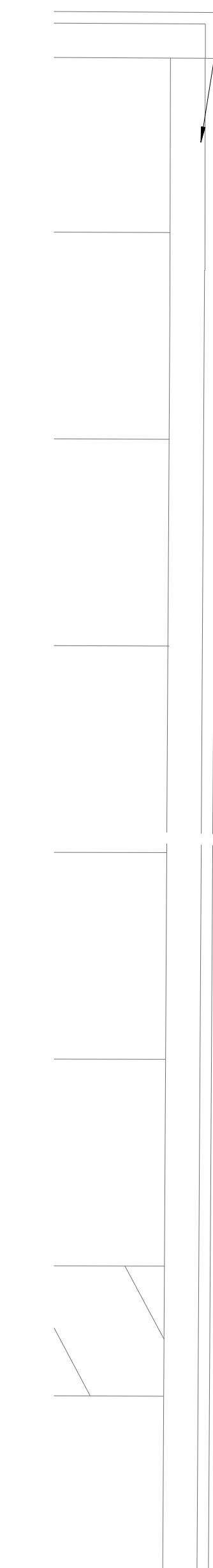
NEW LOADING DOCK RAMP AND DOOR

21'-0"

1" / 12"

DOCK LEVELER

REVISED PARKING LAYOUT, SEE CIVIL



**1**  
**A1-03**  
**FIRST FLOOR DIMENSION PLAN**  
3/16" = 1'-0"

ID	DATE	DESCRIPTION

DRAWN BY: NB / AH  
CHECKED BY: DW

FIRST FLOOR  
DIMENSION PLAN

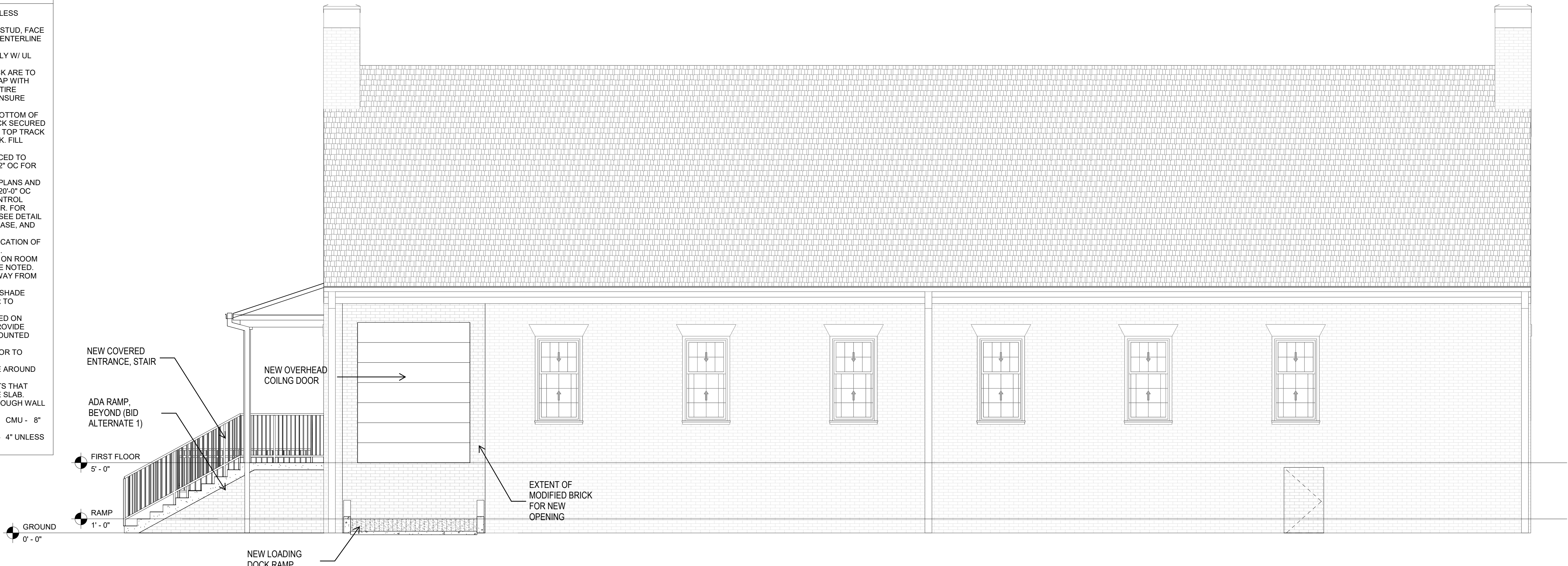


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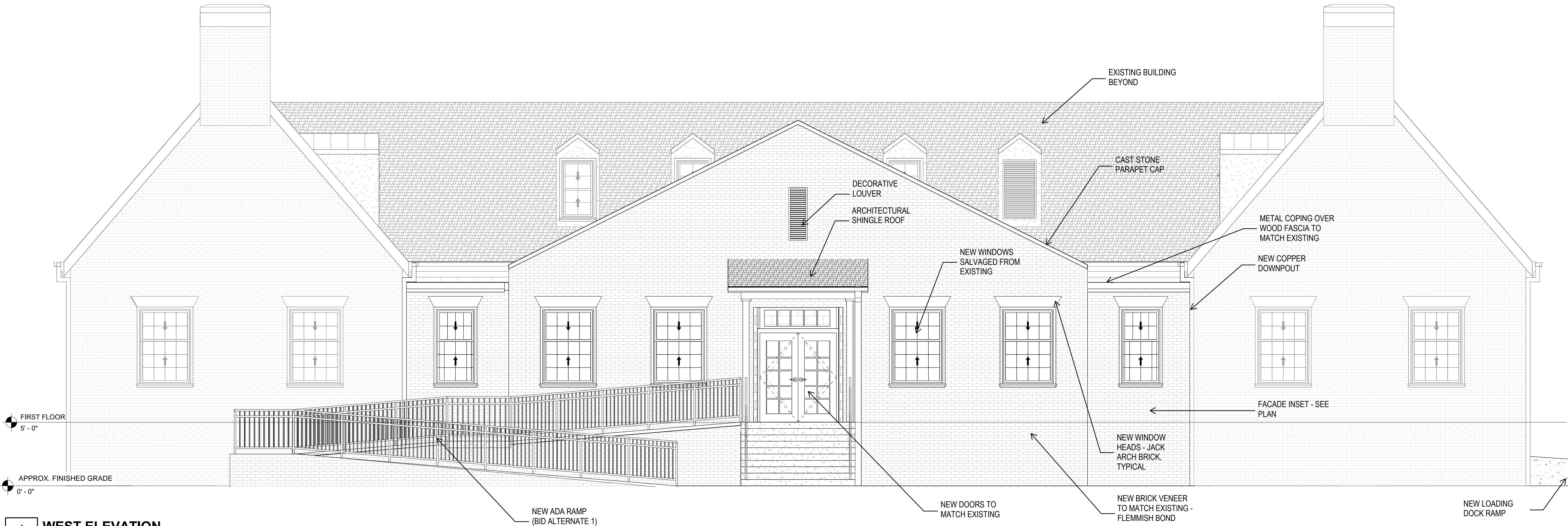
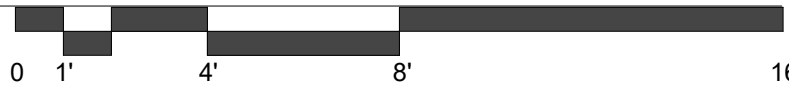
GENERAL PROJECT NOTES:

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- WALL DIMENSIONS ARE TO FACE OF METAL STUD, FACE OF CONCRETE MASONRY UNIT (CMU), OR CENTERLINE OF COLUMN.
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- ALL METAL STUD WALLS TERMINATING AT BOTTOM OF DECK ARE TO PROVIDE A DEFLECTION TRACK SECURED TO THE UNDERSIDE OF THE DECKING. NEST TOP TRACK BUT DO NOT ATTACH TO DEFLECTION TRACK. FILL FLUTE IN METAL DECK WHERE REQUIRED.
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- THERE SHALL BE NO PENETRATIONS IN THROUGH WALL FLASHING.
- DOOR JAMB FROM INTERSECTING WALLS: CMU - 8" UNLESS OTHERWISE NOTED

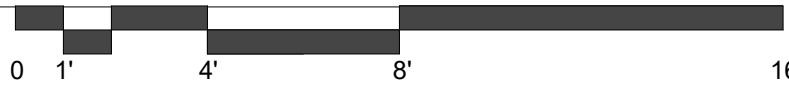
STUD- 4" UNLESS OTHERWISE NOTED



**2**  
**A2-01** Elevation 1 - a  
1/4" = 1'-0"



**1**  
**A2-01** WEST ELEVATION  
1/4" = 1'-0"



smith  
sinnett  
ARCHITECTURE

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Raleigh, NC 27607  
info@smithsinnett.com



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ORANGE COUNTY BOARD OF ELECTIONS

BOARD OF ELECTIONS BUILDING EXPANSION

208 S Cameron St, Hillsborough, NC 27278


ID	DATE	DESCRIPTION
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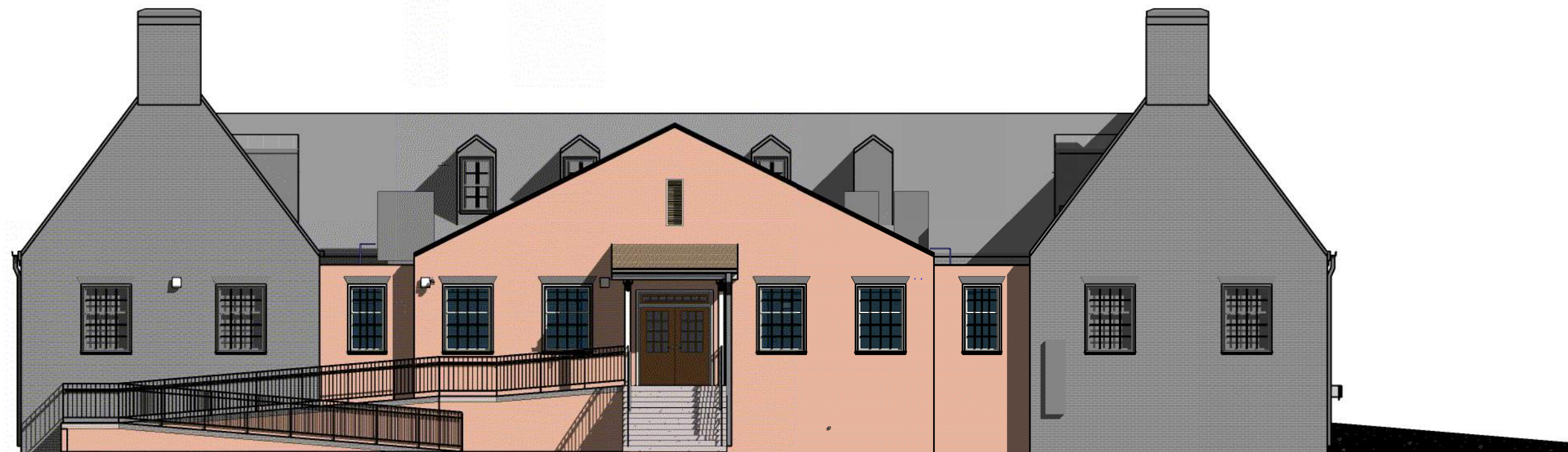
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CHECKED BY: DW

EXTERIOR  
ELEVATIONS

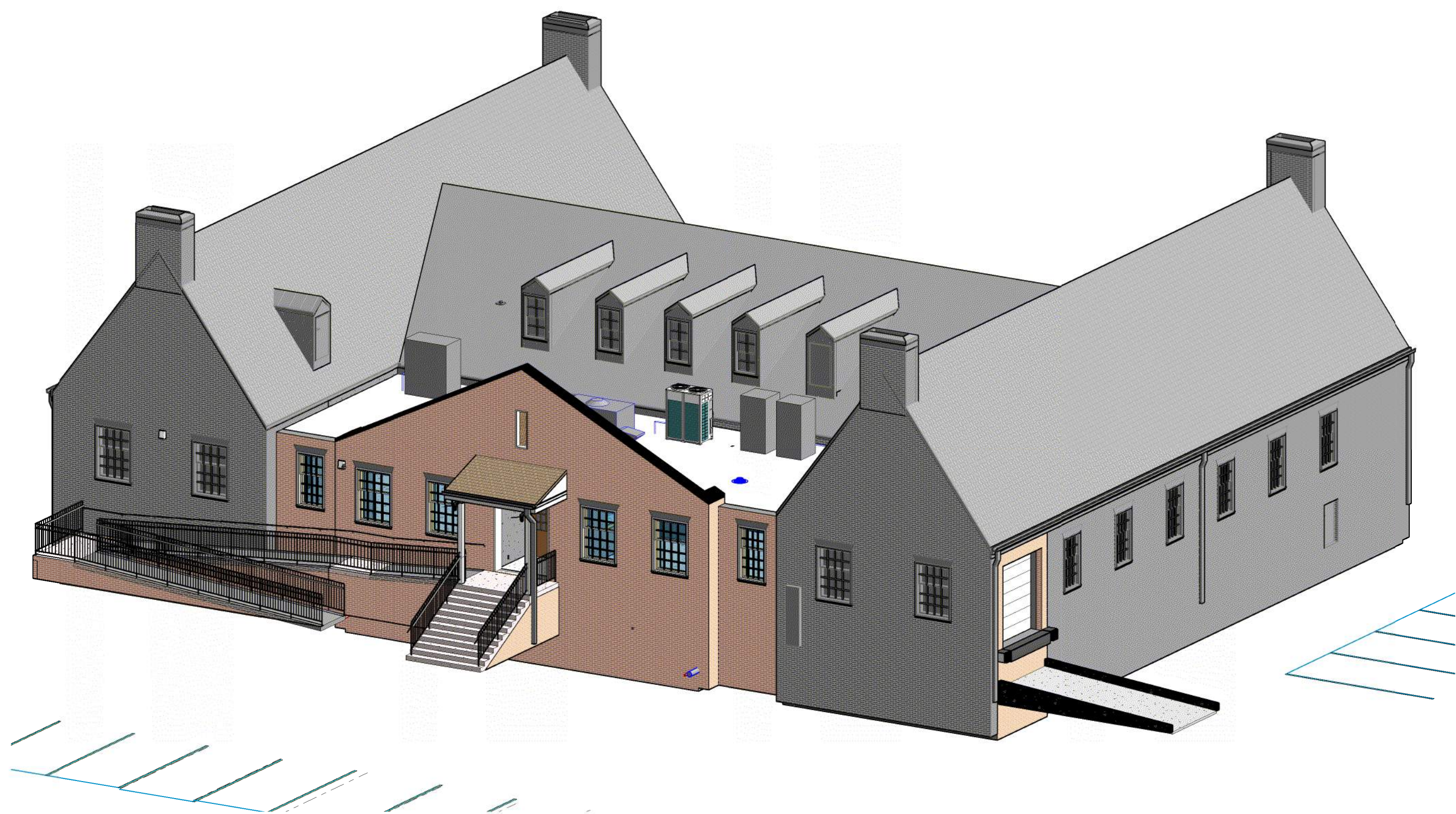
2024022 18 MAR 2025

A2-01





3 WEST ELEVATION  
A2-02



1 3D VIEW 01  
A2-02



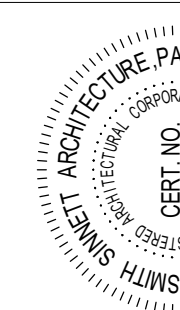
4 3D RENDER IMAGE 02  
A2-02  
1" = 1'-0"



2 3D RENDER IMAGE 01  
A2-02  
1" = 1'-0"

smith  
sinnett  
ARCHITECTURE

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info@smithsinnett.com



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ORANGE COUNTY BOARD OF ELECTIONS

BOARD OF ELECTIONS BUILDING EXPANSION

208 S Cameron St, Hillsborough, NC 27278


ID	DATE	DESCRIPTION
----	------	-------------

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CHECKED BY: DW

3D VIEWS

2024022 01 JUL 2025

A2-02



August 28, 2025

RE: Orange County Board of Elections Expansion – Certificate of Appropriateness  
208 South Cameron Street, Hillsborough, NC  
Orange County Asset Management  
Proj. # 2024022

Mr. Hoffheimer,

Thank you for your email requesting additional information about the materials proposed for the Orange County Board of Elections Expansion project. Please find the below response and do not hesitate to contact me with any additional requests.

Materials

A. Exterior Wall Assembly:

*Outside*

- a. Brick – Flemish bond to match existing – Basis of Design – Triangle Brick, “Full Color Antique” (closest match).
- b. Air space
- c. 2” Rigid Insulation Board
- d. Fluid-applied Air Barrier
- e. 5/8” Glass Fiber Reinforced Gypsum Sheathing
- f. 6” Metal Stud Framing
- g. Gypsum Wall Board

*Inside*

*Notes:*

1. *Backside of parapet – Hardy panel rainscreen cladding – painted white: The parapet will be too tall for roofing membrane cover.*
2. *Cast stone wall cap is proposed for the parapet section. Color: Limestone*
3. *Formed metal coping is proposed for top of inset walls on either side of the gable. Color to match existing edge metal – (Dark Bronze)*

B. Exterior Wood Carpentry

- a. Paneling, tongue and groove soffits(awning), trim board, molding. – Composite Fiber cement. Painted to match existing trim.
- b. Window trim – To be salvaged and reinstalled, any necessary replacement to match existing.

C. Roof Assembly:

- a. Existing and new awning: Existing shingle roofs shall remain. Back entrance awning shall have a shingle roof to match existing shingle roof. Headwall flashing - copper
- b. Expansion Roof, Low slope: Single-ply membrane PVC roofing over coverboard over tapered roof insulation over metal deck.
- c. Gutters and downspouts: existing copper to remain or be modified with existing material.

- D. Windows:
  - a. Salvaged and reinstalled: 8 windows are being demolished and 6 will be reused. All casings and trim to be salvaged and reused.
- E. Exterior Doors:
  - a. Door, transom and side lites salvaged from existing exit to be demolished – Repaired as needed and updated with appropriate exit device for egress.
- F. Overhead coiling door at loading dock: Basis of design: Overhead Door, Model 627 Stormtite
- G. Dock Leveler: Basis of design: Global Industrial, Edge-of Dock Leveler FM-2072

**Drew Wilgus**  
Architect, Associate  
SMITHSINNETTarchitecture





I, Joseph Hoffheimer, hereby certify that all property owners within 100 feet of and the owners of PIN 9874153612 (the affected property) have been sent a letter of notification of the Certificate of Appropriateness application before the Historic District Commission by first class mail in accordance with the Hillsborough Zoning Ordinance.

8/20/2025  
Date

Joseph Hoffheimer  
(for Hillsborough Planning Department)

PIN	OWNER1_LAST	OWNER1_FIRST	OWNER2_LAST	OWNER2_FIRST	ADDRESS1	ADDRESS2	CITY	STATE	ZIPCODE
9874058688	ORANGE	COUNTY			PO BOX 8181		HILLSBOROUGH	NC	27278
9874069059	ORANGE	COUNTY			PO BOX 8181		HILLSBOROUGH	NC	27278
9874140569	JONES	CHARLOTTE KOON			P O BOX 549		HILLSBOROUGH	NC	272780549
9874148912	TOWN OF HILLSBOROUGH				PO BOX 429	PUBLIC SPACE DEPT	HILLSBOROUGH	NC	27278
9874152266	TUSCANY LLC				330 WEST KING		HILLSBOROUGH	NC	27278
9874153612	ORANGE	COUNTY			PO BOX 8181		HILLSBOROUGH	NC	27278
9874155274	HOLSINGER	SARAH	HOLSINGER	LANEY	303 MARINA VIEW		SOUTHPORT	NC	28461
9874155366	REEVES	MICHAEL SPENCER	REEVES	JULIE MACKLE	211 S CAMERON		HILLSBOROUGH	NC	27278
9874156692	MALONE	DAVID	MANSFIELD	SARAH	107 INISH PLACE		HILLSBOROUGH	NC	27278
9874157839	BROWN	PAUL W	BROWN	LESLIE C	201 S CAMERON		HILLSBOROUGH	NC	27278
9874159130	KADIS	DANIEL S			2704 PEACHTREE		RALEIGH	NC	27608
9874160014	ORANGE	COUNTY			PO BOX 8181		HILLSBOROUGH	NC	27278
9874161145	UNITED STATES POSTAL SERVICE				PO BOX 9998		HILLSBOROUGH	NC	27278
9874163117	ORANGE	COUNTY			PO BOX 8181		HILLSBOROUGH	NC	27278
9874262348	ORANGE COUNTY BOARD OF EDUCATION				200 EAST KING		HILLSBOROUGH	NC	27278

