

HILLIARD PLANNING AND ZONING BOARD MEETING

Hilliard Town Hall / Council Chambers
15859 West County Road 108
Post Office Box 249
Hilliard, FL 32046

BOARD MEMBERS

Wendy Prather, Chair
Charles A. Reed, Vice Chair
Harold "Skip" Frey, Board Member
Josetta Lawson, Board Member
Kevin Webb, Board Member

ADMINISTRATIVE STAFF

Lee Anne Wollitz
Land Use Administrator

PLANNING AND ZONING ATTORNEY

Christian Waugh

AGENDA

TUESDAY, SEPTEMBER 03, 2024, 7:00 PM

NOTICE TO PUBLIC

Anyone wishing to address the Planning & Zoning Board regarding any item on this agenda is requested to complete an agenda item sheet in advance and give it to the Land Use Administrator. The sheets are located next to the printed agendas in the back of the Council Chambers. Speakers are respectfully requested to limit their comments to three (3) minutes. A speaker's time may not be allocated to others.

PLEDGE OF CIVILITY

WE WILL BE RESPECTFUL OF ONE ANOTHER
EVEN WHEN WE DISAGREE.
WE WILL DIRECT ALL COMMENTS TO THE ISSUES.
WE WILL AVOID PERSONAL ATTACKS.
"Politeness costs so little." – ABRAHAM LINCOLN

CALL TO ORDER

PRAYER & PLEDGE OF ALLEGIANCE

ROLL CALL

REGULAR MEETING

ITEM-1 Additions/Deletions to Agenda

ITEM-2 Planning and Zoning Board approval of Site Plan Application No. 20240131. Parcel #16-3N-24-0000-0024-0070. Applicant: Karen Brantley, Florida Infrastructure.
Lee Anne Wollitz – Land Use Administrator

ITEM-3 Planning and Zoning Board to discuss and accept updated Code and Comprehensive Plan Binders.
Lee Anne Wollitz – Land Use Administrator

ITEM-4 Planning and Zoning Board Approval of Minutes from 8.13.2024 Regular Meeting.

ADDITIONAL COMMENTS

PUBLIC- CHAIR will call on members of the audience wishing to address the Board.

BOARD MEMBERS

LAND USE ADMINISTRATOR

PLANNING AND ZONING ATTORNEY

ADJOURNMENT

The Town may take action on any matter during this meeting, including items that are not set forth within this agenda.

TOWN COUNCIL MEETINGS

The Town Council meets the first and third Thursday of each month beginning at 7:00 p.m., unless otherwise scheduled. Meetings are held in the Town Hall Council Chambers located at 15859 West County Road 108. Video and audio recordings of the meetings are available in the Town Clerk’s Office upon request.

PLANNING & ZONING BOARD MEETINGS

The Planning & Zoning Board meets the first Tuesday of each month beginning at 7:00 p.m., unless otherwise scheduled. Meetings are held in the Town Hall Council Chambers located at 15859 West County Road 108. Video and audio recordings of the meetings are available in the Town Clerk’s Office upon request.

MINUTES & TRANSCRIPTS

Minutes of the Town Council meetings can be obtained from the Town Clerk’s Office. The Meetings are usually recorded but are not transcribed verbatim for the minutes. Persons requiring a verbatim transcript may make arrangements with the Town Clerk to duplicate the recordings, if available, or arrange to have a court reporter present at the meeting. The cost of duplication and/or court reporter will be at the expense of the requesting party.

TOWN WEBSITE & YOUTUBE MEETING VIDEO

The Town’s Website can be access at www.townofhilliard.com

Live & recorded videos can be access at www.youtube.com search - Town of Hilliard, FL.

ADA NOTICE

In accordance with Section 286.26, Florida Statutes, persons with disabilities needing special accommodations to participate in this meeting should contact the Town Clerk's Office at (904) 845-3555 at least seventy-two hours in advance to request such accommodations.

APPEALS

Pursuant to the requirements of Section 286.0105, Florida Statutes, the following notification is given: If a person decides to appeal any decision made by the Council with respect to any matter considered at such meeting, he or she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.

PUBLIC PARTICIPATION

Pursuant to Section 286.0114, Florida Statutes, effective October 1, 2013, the public is invited to speak on any "proposition" before a board, commission, council, or appointed committee takes official action regardless of whether the issue is on the Agenda. Certain exemptions for emergencies, ministerial acts, etc. apply. This public participation does not affect the right of a person to be heard as otherwise provided by law.

EXPARTE COMMUNICATIONS

Oral or written exchanges (sometimes referred to as lobbying or information gathering) between a Council Member and others, including staff, where there is a substantive discussion regarding a quasi-judicial decision by the Town Council. The exchanges must be disclosed by the Town Council so the public may respond to such exchanges before a vote is taken.

2024 HOLIDAYS

TOWN HALL OFFICES CLOSED

- | | |
|----------------------------------|------------------------------|
| 1. Martin Luther King, Jr. Day | Monday, January 15, 2024 |
| 2. Memorial Day | Monday, May 27, 2024 |
| 3. Independence Day Monday | Thursday, July 4, 2024 |
| 4. Labor Day | Monday, September 2, 2024 |
| 5. Veterans Day | Monday, November 11, 2024 |
| 6. Thanksgiving Day | Thursday, November 28, 2024 |
| 7. Friday after Thanksgiving Day | Friday, November 29, 2024 |
| 8. Christmas Eve | Tuesday, December 24, 2024 |
| 9. Christmas Day | Wednesday, December 25, 2024 |
| 10. New Year's Eve | Tuesday, December 31, 2024 |
| 11. New Year's Day | Wednesday, January 1, 2025 |



AGENDA ITEM REPORT

TOWN OF HILLIARD, FLORIDA

TO: Planning and Zoning Board Regular Meeting Meeting Date: September 3, 2024

FROM: ***Lee Anne Wollitz – Land Use Administrator***

SUBJECT: Planning and Zoning Board approval of Site Plan Application No. 20240131. Parcel #16-3N-24-0000-0024-0070. Applicant: Karen Brantley, Florida Infrastructure.

BACKGROUND: Documents included for review:

- 2.2 Town Code 62-40 Site Plan Review, with staff comments in blue.
- 2.3 Site Plan Application 20240131.
- 2.4 Survey Parcel 16-3N-24-0000-0024-0070.
- 2.5 Town of Hilliard's Review of Plans Submitted 1.2024
- 2.6 Mittauer's Review of Plans Submitted 1.2024
- 2.7 Comments and Response of reviews by Florida Infrastructure Team.
- 2.8 Finalized Plans Submitted 8.2024 (24X36 available for review in chambers)

Florida Infrastructure submitted a Site Plan Application 1.2024. Following a review by Town Staff and Mittauer, the applicant made all required updates. The Parcel is Zoned M-1 Industrial and has a FLUM designation of Industrial and Conservation. The project is consistent with the Zoning and Land Use. The project is still in need of the following documents:

- Nassau County Driveway Permit or Exception, for access on Henry Smith Road.
- Nassau County Right of Way Permit, for needed utility extensions.
- FDEP Water Permit, for needed water extension.
- FDEP Wastewater Permit, for needed sewer extension.
- SJRWMD Permit, for onsite stormwater pond and drainage plan.

FINANCIAL IMPACT:

All expenses will be paid by the applicant.

RECOMMENDATION:

Staff recommends approval of site plan application 20240131 with the following conditions:

1. The remaining 5 permits or exceptions be submitted for the Land Use Administrator's approval prior to the start of construction.
2. A preconstruction meeting with Town Staff take place prior to the start of construction on the site.

Sec. 62-40. Site plan review.

Comments in blue are specific to Site Plan Application 20240131. These are the comments of Land Use Administrator, Lee Anne Wollitz, to aid in review of the proposed project by the Planning and Zoning Board.

- (a) Site plans, are required for special exceptions and for all multifamily, commercial, industrial, mobile home parks, mobile home subdivisions, and planned unit developments. A building permit for a project requiring a site plan shall not be issued until such site plan is approved.

This is a commercial project on a parcel of land that is zoned M-1. Site Plan Application 20240131 was submitted January 2024. It has been reviewed by the Land Use Administrator, the Public Works Department, the Town’s Engineer Firm, and Town’s Fire Marshall.

- (b) In reaching a decision as to whether or not the site plan as submitted should be approved or approved with changes, the planning and zoning board shall be guided in its decision and the exercise of its discretion to approve, to approve with conditions, or to deny by the following criteria. The planning and zoning board shall record its findings in regard to the following criteria, where applicable:

- (1) Sufficiency of statements on ownership and control of the development and permanent maintenance of common open spaces.

The parcel is owned by the applicant, a warranty deed was provided, all open spaces will remain in private ownership and maintenance.

- (2) Density and/or use of the proposed development with particular attention to its relationship to adjacent and nearby properties and the effect thereon and in accordance with the town's comprehensive plan.

The subject parcel is zoned M-1, Industrial with a FLUM designation of Conservation and Industrial. Adjacent properties have a zoning category of M-1 Industrial. Adjacent properties have a FLUM designation of Industrial, Conservation or Institutional. The proposed site plan application is consistent with the surrounding properties.

- (3) Ingress and egress to the site and proposed structures thereon, with particular reference to automotive and pedestrian safety, separation of automotive traffic and pedestrian traffic, traffic flow and control, provision of services and servicing of utilities and refuse collection, and access in case of fire, catastrophe, or emergency.

A Nassau County Driveway Permit or Exception if pending for the project. The Civil Plans comply with Town Code Requirements for dumpster enclosures 62-567(8). The site has proper emergency access. This site will not be open to the public but, will be used as part of Florida Infrastructure’s existing complex. The Town will not own, operate, and/or maintain the proposed onsite drainage, water and sewer utilities other than the water meter. FDEP permits are pending for the Project. In addition, a Nassau County Right of Way Permit will be sought in order to complete the needed utility extensions on Henry Smith Road.

- (4) Location and relationship of off-street parking and loading facilities to thoroughfares and internal traffic patterns within the proposed development, with particular reference to automotive and pedestrian safety, traffic flow and control, access in case of fire or catastrophe, screening and landscaping.

The Civil Plans comply with Town Code Requirements for parking 62-382, landscaping 62-565, and lighting 62-384.

The Town of Hilliard Fire Marchal has communicated as to which conditions would require a fire suppression system within the proposed future building and will review the engineered plans prior to issue of a building permit by the Town.

-
- (5) Sufficiency of proposed screens and buffers to preserve internal and external harmony and compatibility with uses inside and outside the proposed development.
The Civil Plans have complied with Town Code Requirements for landscaping 62-565. In addition to the proposed perimeter tree planting the conservation portions of the parcel will remain in their natural state.
 - (6) A stormwater management and drainage plan for the property in accordance with all town, county and state requirements.
A SJRWMD permit is pending for the project and will be provided to the town prior to the start of work on the site. The Conservation portion of the site will remain in a natural state.
 - (7) Utilities, with reference to hook-in locations and availability and capacity for the uses projected.
The utility needs have been reviewed by the Town of Hilliard's Engineers and the Public Works Department. Both have approved the proposed plans, including the tie in locations, placement of meter(s) and the details for the onsite force main.
 - (8) Recreation facilities and open spaces, with attention to the size, location, and development of the areas as to adequacy, effect on privacy of adjacent and nearby properties and uses within the proposed development, and relationship to communitywide open spaces and recreation facilities.
This project has met the requirements for open spaces and will not be open for public use. No recreation facilities are required.
 - (9) General site arrangement, amenities and convenience, with reference to ensuring that appearance and general layout of the proposed development will be compatible and harmonious with properties in the general area and will not be so at variance with other development in the area as to cause a substantial depreciation of property values.
The subject property and this project are compatible and harmonious with properties in the general area.
 - (10) Such other standards as may be imposed by this chapter for the particular use or activity involved.
Applicant has complied with all requirements and request from the Town of Hilliard. Applicant will be asked to provide all pending permits prior to the start of construction as well as a preconstruction meeting with Town staff.

(Ord. No. 2023-14, § 1(Att. A), 12-7-2023)



Town of Hilliard Site Plan Application

ITEM-2

FOR OFFICE USE ONLY

File # 20240131
Application Fee: 1175.00
Filing Date: 11/31/24 Acceptance Date: _____

pdck ✓ *VAH*

A. PROJECT

- Project Name: FL INFRA TRUCK SHOP
- Address of Subject Property: 0 HENRY SMITH RD, Hilliard, FL 32046 (Behind American Legion Bldg)
- Parcel ID Number(s): 16-3N-24-0000-0024-0000
- Existing Use of Property: Vacant Land
- Future Land Use Map Designation: Industrial
- Zoning Designation: Hilliard M-1
- Acreage: 8.78

B. APPLICANT

- Applicant's Status Owner (title holder) Agent
- Name of Applicant(s) or Contact Person(s): Karen Brantley Title: President
Company (if applicable): Florida Infrastructure Inc.
Mailing address: 37387 HENRY SMITH ROAD
City: HILLIARD State: FL ZIP: 32046
Telephone: (904) 960-2209 FAX: (904) 378-9747 e-mail: Kbrantley@floridainf.com

- If the applicant is agent for the property owner*:
Name of Owner (title holder): _____
Company (if applicable): _____
Mailing address: _____
City: _____ State: _____ ZIP: _____
Telephone: (____) _____ FAX: (____) _____ e-mail: _____

* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

D. ATTACHMENTS (One copy plus one copy in PDF format)

1. Site Plan and Survey including but not limited to:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Vicinity map - indicating general location of the site and all abutting streets and properties.
 - e. Statement of Proposed Uses.
 - f. Location of the site in relation to adjacent properties, including the means of ingress and egress to such properties and any screening or buffers along adjacent properties.
 - g. Location of nearest fire hydrant, adjacent pedestrian sidewalks and bicycle paths.
 - h. Date, north arrow, and graphic scale (not to exceed one (1) inch equal to fifty (50) feet).
 - i. Area and dimensions of site.
 - j. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - k. Access and points of connection to utilities (electric, potable water, sanitary sewer, gas, etc.).
 - m. Location and dimensions of all existing and proposed parking areas, loading areas, curb cuts.
 - n. Number of proposed parking spaces
 - o. Structures and major features – fully dimensioned – including setbacks, distances between structures, floor area, width of driveways and lot coverage.
 - p. Required buffers.
 - q. Location of existing trees, identifying any trees to be removed.
 - r. Landscaping plan depicting type, size, and design of landscaped areas, buffers, and tree mitigation calculations.
 - s. Percent of pervious surface.
 - t. Lighting plan.
 - u. Location, design, height, and orientation of signs.
 - v. Location of dumpsters and detail of dumpster enclosure.
 - w. For development consisting of Multi-family residential;
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - v. Floor area of dwelling units.
2. Stormwater management plan - including the following:
 - a. Existing contours at one (1) foot intervals.
 - b. Proposed finished floor elevation of each building site.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
3. Legal description with tax parcel number.
4. Warranty Deed or other proof of ownership.
5. Permit or Letter of Exemption from the St. Johns River Water Management District.

6. Fee.

a. Based on size of site:

- i. For sites <10,000 s.f. - \$200
- ii. For sites >10,000 s.f.- \$1,000 + \$20 per acre

No application shall be accepted for processing until the required application fee is paid in full and a \$1,000 refundable deposit is paid by the applicant. Any fees necessary for technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

All 6 attachments are required for a complete application. A completeness review of the application will be conducted within fourteen (14) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:

[Signature]
Signature of Applicant

Signature of Co-applicant

Karen Brantley
Typed or printed name and title of applicant

Typed or printed name of co-applicant

1/30/24
Date

Date

State of Florida County of Nassau

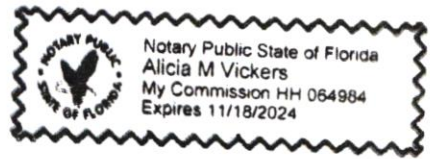
The foregoing application is acknowledged before me this 30th day of JANUARY, 2024, by Karen Brantley

_____, who is/are personally known to me, or who has/have produced _____
as identification.

NOTARY SEAL

[Signature]

Signature of Notary Public, State of FLORIDA



PREPARED BY & RETURN TO:

Name: Wood & Smith, P.A.
Address: 303 Centre Street
Suite 100
Fernandina Beach, FL 32034
File No. 23-206068

Parcel No.: 16-3N-24-0000-0024-0000

This **WARRANTY DEED**, made the **21st day of December, 2023**, by **Axis Management, Inc., a Florida Corporation** (whether one or more, the "Grantor"), to **Florida Infrastructure, Inc., a Florida Corporation**



POST OFFICE address is 37387 Henry Smith Road, Hilliard, FL 32046

(whether one or more, the "Grantee");

WITNESSETH: That the Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee all that certain land situate in County of Nassau, State of Florida, viz:

ALL THAT CERTAIN TRACT OR PARCEL OF LANDS BEING A PORTION OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16, TOWNSHIP 3 NORTH, RANGE 24 EAST, TOWN OF HILLIARD, NASSAU COUNTY, FLORIDA (BEING A PORTION OF LANDS AS INTENDED TO BE DESCRIBED IN DEED RECORDED IN BOOK 1347, PAGE 36, OFFICAL RECORDS OF NASSAU COUNTY) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF REFERENCE COMMENCE AT THE NORTHEAST CORNER OF LANDS NOW OR FORMERLY OF AXIS MANAGEMENT, INC. (ACCORDING TO DEED RECORDED IN BOOK 2347, PAGE 685 OF THE OFFICIAL RECORDS OF NASSAU COUNTY), SAID POINT LYING ON THE WESTERLY RIGHT-OF-WAY LINE OF HENRY SMITH ROAD (AN 80 FOOT RIGHT-OF-WAY), AND FROM SAID POINT RUN THENCE NORTH 02°-42'-55" WEST, ALONG LAST MENTIONED WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 300.99 FEET TO A POINT FOR THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING THUS DESCRIED RUN THENCE SOUTH 89°-17'-24" WEST, A DISTANCE OF 1082.45 FEET TO A POINT LYING ON THE NORTHEASTERLY LINE OF THE SEABOARD COASTLINE RAILROAD (A 200 FOOT RIGHT-OF-WAY); RUN THENCE NORTH 30°-57'-12" WEST, ALONG LAST MENTIONED NORTHEASTERLY LINE, A DISTANCE OF 417.05 FEET TO THE SOUTHWEST CORNER OF LANDS NOW OR FORMERLY OF BEL PROPERTY MANAGEMENT, INC (ACCORDING TO DEED RECORDED IN BOOK 675, PAGE 1186 OF THE OFFICIAL RECORDS OF NASSAU COUNTY); RUN THENCE NORTH 89°-16-42" EAST, ALONG THE SOUTHERLY LINE OF LAST MENTIONED LANDS AND THE EASTERLY PROLONGATION THEREOF, A DISTANCE OF 1135.96 FEET TO THE NORTHWEST CORNER OF LANDS NOW OR FORMERLY OF B.Y. FRANKLIN PROPERTIES, INC. (ACCORDING TO DEED RECORDED IN BOOK 2247, PAGE 1409 OF THE OFFICIAL RECORDS OF NASSAU COUNTY); RUN THENCE SOUTH 02°-35'-26" EAST, ALONG THE WESTERLY UNE OF LAST MENTIONED LANDS, A DISTANCE OF 300.68 FEET TO THE SOUTHWEST CORNER THEREOF; RUN THENCE NORTH 89°-17-24" EAST, ALONG THE SOUTHERLY LINE OF LAST MENTIONED LANDS, A DISTANCE OF 144.74 FEET TO A POINT LYING ON THE AFOREMENTIONED WESTERLY RIGHT-OF-WAY LINE OF HENRY SMITH ROAD; RUN THENCE SOUTH 02°-42'-55" EAST, ALONG LAST MENTIONED WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 60.35 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.


SUBJECT TO TAXES FOR THE YEAR 2023 AND SUBSEQUENT YEARS, RESTRICTIONS, RESERVATIONS, COVENANTS AND EASEMENTS OF RECORD, IF ANY.

TO HAVE AND TO HOLD the same in fee simple forever.

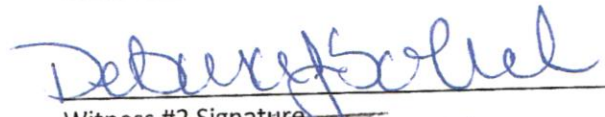
And the Grantor hereby covenants with the Grantee that the Grantor is lawfully seized of said land in fee simple, that the Grantor has good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever. Grantor further warrants that said land is free of all encumbrances, except as noted herein and except taxes accruing subsequent to December 31, 2022.

IN WITNESS WHEREOF, the said Grantor has caused these presents to be executed in its name, as of the day and year first above written.

Signed, sealed and delivered in the presence of:

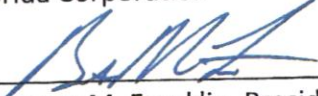

Witness #1 Signature
Print Name: Joyce A. Middleton

Witness #1 Address:
303 Centre St., Ste 100
Fernandina Beach, FL 32034


Witness #2 Signature
Print Name: Debora J. Sclich

Witness #2 Address:
303 Centre St., Ste 100
Fernandina Beach, FL 32034

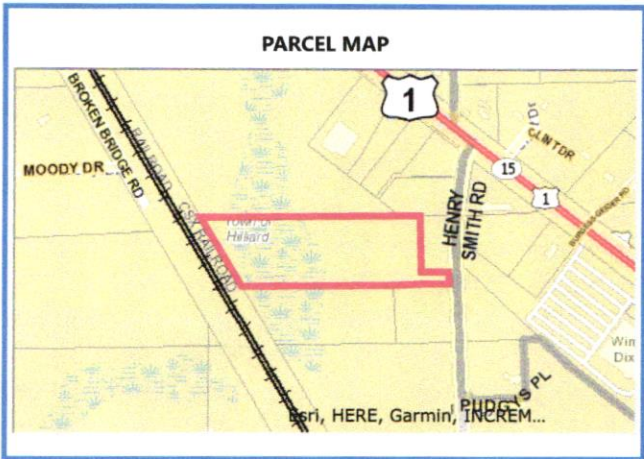
Axis Management, Inc.
a Florida Corporation

By: 
Brenton M. Franklin, President

Address:
1301 Riverplace Boulevard
#800
Jacksonville, FL 32207

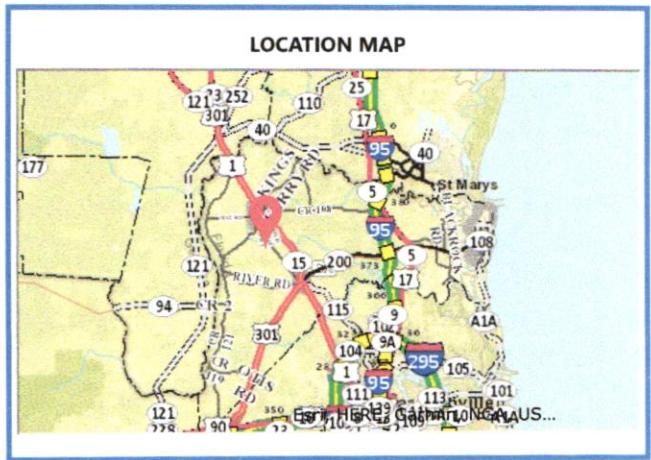
PROPERTY INFORMATION	
Parcel Number	16-3N-24-0000-0024-0070
Owner Name	FLORIDA INFRASTRUCTURE INC
Mailing Address	37387 HENRY SMITH RD
	HILLIARD, FL 32046
Location Address	0 HENRY SMITH RD
	HILLIARD 32046
Tax District	003 - HILLIARD
Milage	15.8365
Homestead	No
Property Usage	HARDWOOD SI 60-69 005902
Deed Acres	8.90
Short Legal	PT S1/2 OF NE1/4 OF SE1/4 OF SEC 16-3N-24E IN OR 2686/1628

2023 Preliminary Values	
Land Value	\$
(+) Improved Value	\$
(=) Market Value	
(-) Agricultural Classification	\$
(-) SOH or Non-Hx* Capped Savings	\$
(=) Assessed Value	
(-) Homestead	\$
(-) Additional Exemptions	\$
(=) School Taxable Value	\$
(-) Non-School HX & Other Exempt Value	\$
(=) County Taxable Value	
<small>Note - *10% Cap does not apply to School Taxable Value</small>	



PROPERTY PHOTO

If this picture is incorrect, please email info@nassaufpa.com



BUILDING INFORMATION									
Type	Total Area	Heated Area	Bedrooms	Baths	Primary Exterior	Secondary Exterior	Heating	Cooling	Actual Year Built
HARDWOOD SI									
60-69									

MISCELLANEOUS INFORMATION			
Description	Dimensions L X W	Units	Year Built

SALES INFORMATION

ITEM-2

Sale Date

Book Page

Price

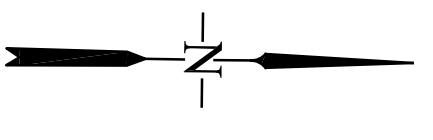
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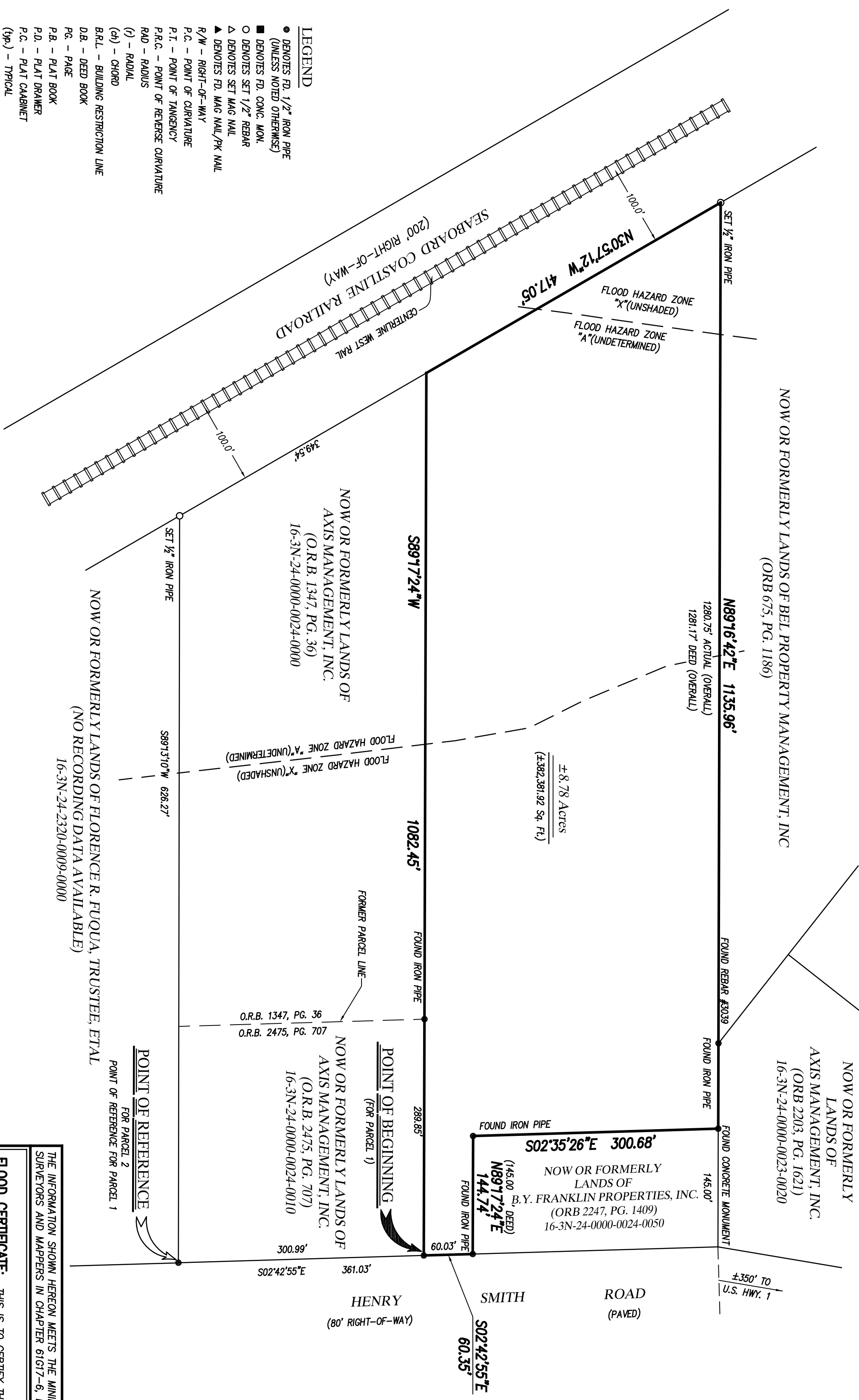
Grantor

Grantee



MAP TO SHOW SURVEY OF
A PARCEL OF LAND BEING A PORTION OF THE SOUTH 1/4
OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF
SECTION 16, TOWNSHIP 3 NORTH, RANGE 24 EAST, TOWN
OF HILLIARD, NASSAU COUNTY, FLORIDA
(BEING A PORTION OF LANDS AS INTENDED TO BE DESCRIBED IN BOOK 1347, PAGE 36, OFFICIAL RECORDS OF
NASSAU COUNTY, FLORIDA)

FOR: BRENTON FRANKLIN



- LEGEND**
- DENOTES FD. 1/2" IRON PIPE (UNLESS NOTED OTHERWISE)
 - DENOTES FD. CONC. MON.
 - DENOTES SET 1/2" REBAR
 - △ DENOTES SET MAG NAIL
 - ▲ DENOTES FD. MAG NAIL/PR. NAIL
 - R/W - RIGHT-OF-WAY
 - P.C. - POINT OF CURVATURE
 - P.T. - POINT OF TANGENCY
 - P.R.C. - POINT OF REVERSE CURVATURE
 - RD - RADIOS
 - (r) - RADIAL
 - (H) - CHORD
 - B.R.L. - BUILDING RESTRICTION LINE
 - D.B. - DEED BOOK
 - PG. - PAGE
 - P.B. - PLAT BOOK
 - P.D. - PLAT DRAWER
 - P.C. - PLAT CABINET
 - (Yb) - TYPICAL
 - P.C.C. - POINT OF COMPOUND CURVATURE
 - ARC - ARC LENGTH
 - ID - IDENTIFICATION
 - FD. = FOUND
 - LB. = LICENSED BUSINESS
 - CONC. = CONCRETE
 - MON. = MONUMENT
 - ID = IDENTIFICATION
 - ORB = OFFICIAL RECORDS BOOK

- NOTES:**
- 1) BEARINGS SHOWN HEREON REFER TO THE BEARING OF N02°-33'-30"W FOR THE EASTERLY LINE OF SUBJECT PROPERTY ACCORDING TO ORB 707, PG. 1157 OF THE OFFICIAL RECORDS OF MASSAU COUNTY, FLORIDA.
 - 2) THERE MAY EXIST ADDITIONAL RESTRICTIONS LYING OVER THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON WHICH MAY BE FOUND IN THE PUBLIC RECORDS OF MASSAU COUNTY.
 - 3) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A FORMAL TITLE REVIEW
 - 4) NO ATTEMPT TO DETERMINE WETLAND ISSUES OR ANY OTHER ENVIRONMENTAL ISSUES, IF ANY, IS MADE OR IMPLIED BY THIS SURVEY.
 - 5) SUBJECT PROPERTY IS ZONED M1.
 - 6) REFER TO THE CITY OF HILLIARD ZONING REGULATIONS FOR BUILDING SETBACK REQUIREMENTS
 - 7) SUBJECT PROPERTY CONTAINS: 15.70 ACRES (2 PARCELS).

CLOSURE STATEMENT:

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 19,462 FEET AND AN ANGULAR ERROR OF 04 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 77,846 FEET.

EQUIPMENT USED FOR FIELD MEASUREMENTS:
 LINEAR: SOKKA SET 3 ANGULAR: SOKKA SET 3

FLOOD CERTIFICATE: THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS SHOWN TO BE IN FLOOD HAZARD ZONE "X" (UNSHADED) & "A" (UNDETERMINED) AS PER F.I.R. MAP No. 1208900145F, COMM No. 120573, PANEL No. 145, SUFFIX E, DATED: 12/17/2010 FOR NASSAU COUNTY, FLORIDA.

I HEREBY CERTIFY THAT THE ABOVE LAND WAS SURVEYED UNDER MY DIRECT SUPERVISION AND THAT THE CORNERS ARE LOCATED UPON SAME AS SHOWN AND THAT THERE ARE NO ENCROACHMENTS UPON SAID LAND EXCEPT AS SHOWN.

THIS SURVEY NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

S:\BSI\CAD\2 nassau\hilliard\Franklin15oc.dwg

BENNETT SURVEYING, INC.
 Surveyors and Professional Mappers
 102 MARSHALLS BLVD., SUITE 103
 KISSIMEE, FLORIDA 32189
 (407) 956-8899
 (407) 956-8899
 (407) 956-8899

BRENTON FRANKLIN, JR.
 FLORIDA PROFESSIONAL SURVEYOR & MAPPER
 LICENSED BUSINESS NO. 2815

DMN. BY: TLP
 OKD. BY: R.B.

SCALE: 1" = 100'

LEGAL DESCRIPTION:

ALL THAT CERTAIN TRACT OR PARCEL OF LANDS BEING A PORTION OF THE SOUTH 1/4 OF THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 3 NORTH, RANGE 24 EAST, TOWN OF HILLIARD, NASSAU COUNTY, FLORIDA (BEING A PORTION OF LANDS AS INTENDED TO BE DESCRIBED IN DEED RECORDED IN BOOK 1347, PAGE 36, OFFICIAL RECORDS OF MASSAU COUNTY) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FOR A POINT OF REFERENCE COMMENCE AT THE NORTHEAST CORNER OF LANDS NOW OR FORMERLY OF FLORENCE R FUQUA, TRUSTEE, et al, SAID POINT LYING ON THE WESTERLY RIGHT-OF-WAY LINE OF HENRY SMITH ROAD (AN 80 FOOT RIGHT-OF-WAY), AND FROM SAID POINT RUN THENCE NORTH 02°-42'-55" WEST ALONG LAST MENTIONED WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 300.99 FEET TO A POINT FOR THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING THENCE SOUTH 89°-17'-24" WEST, A DISTANCE OF 1082.49 FEET TO A POINT LYING ON THE NORTHEASTERLY LINE OF THE SEABOARD COASTLINE RAILROAD (A 200 FOOT RIGHT-OF-WAY); RUN THENCE NORTH 30°-57'-12" WEST, ALONG LAST MENTIONED NORTHEASTERLY LINE, A DISTANCE OF 417.05 FEET TO THE SOUTHWEST CORNER OF LANDS NOW OR FORMERLY OF BEL PROPERTY MANAGEMENT, INC. (ACCORDING TO DEED RECORDED IN BOOK 675, PAGE 1186 OF THE OFFICIAL RECORDS OF MASSAU COUNTY); RUN THENCE NORTH 89°-16'-42" EAST ALONG THE SOUTHERLY LINE OF LAST MENTIONED LANDS AND THE EASTERLY PROLONGATION THEREOF, A DISTANCE OF 1135.96 FEET TO THE NORTHWEST CORNER OF LANDS NOW OR FORMERLY OF B.Y. FRANKLIN PROPERTIES, INC. (ACCORDING TO DEED RECORDED IN BOOK 2247, PAGE 1409 OF THE OFFICIAL RECORDS OF MASSAU COUNTY); RUN THENCE SOUTH 02°-35'-26" EAST ALONG THE WESTERLY LINE OF LAST MENTIONED LANDS, A DISTANCE OF 300.88 FEET TO THE SOUTHWEST CORNER THEREOF; RUN THENCE NORTH 89°-17'-24" EAST, ALONG THE SOUTHERLY LINE OF LAST MENTIONED LANDS, A DISTANCE OF 144.74 FEET TO A POINT LYING ON THE AFOREMENTIONED WESTERLY RIGHT-OF-WAY LINE OF HENRY SMITH ROAD; RUN THENCE SOUTH 02°-42'-55" EAST, ALONG LAST MENTIONED WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 60.35 FEET TO THE POINT OF BEGINNING.

THE LAND THUS DESCRIBED CONTAINS 8.78 ACRES, MORE OR LESS, AND IS SUBJECT TO ANY EASEMENTS OF RECORD WHICH MAY LIE WITHIN.

March 2024

Site Plan Application 20240131 Florida Infs.
Review Report

Notes from TOH Public Works Department: Joel Hall

“A couple of initial comments on the water and sewer connections. There is no existing water and sewer on Henry Smith Road in front of the proposed project as indicated on their plans. They will need to extend the 6” water that currently ends at a fire hydrant in front of the American Legion building. Given the short distance, we wouldn’t need another fire hydrant, but would want them to put in a 6” tee with a valve for future connection/extension along Henry Smith Road. The closest sewer manhole is located at the intersection of Henry Smith Road and Pudgy’s Place which is about 150 feet from the proposed entrance of the project. Therefore, they will need to extend the proposed 3” force main from their private lift station along Henry Smith all the way to the existing manhole.”

Notes from TOH Zoning Department: Lee Anne Wollitz, Land Use Administrator

Items still Needed for Site Plan approval:

Nassau County Driveway Permit

Nassau County Right of Way permit for Utilities work.

FDEP permit for Utilities work

SJRWMD Permit

Large Plans 24*36 submitted to TOH for records.

Landscape Plans according to Hilliard LDR Article XI.

Notes from TOH Fire Marshall: Butch Williams

Due to a personal injury, our Fire Marchall has not completed his review.

I will get it to you as soon as that task is complete.

Civil Plans notes:

C1.0- TOH, Remove, "Richie Rowe" Add, "Joel Hall"

C1.1- General Notes 7: Nassau County ROW, Not TOH

GN 13: Nassau County

GN 15: Nassau County

GN 16: Nassau County

Notice of Process 4: Nassau County ROW

NoP 2: Poly Mix Meter Box W/ lid

Water Notes 4: add, "and Nassau County."

C2.0- C6.0: Please see notes in "public works notes" section of this document.

Additional comments/requirements:

A dumpster enclosure should be added to the plans.

An industrial building of this size will require 3 parking spaces, one ADA.

(these can be added now or made conditional to the issuance of a building permit)

The application, warranty deed and the Property information(from PA website) that were provided have 2 different Parcel Numbers- determine which is correct and reach out to Lee Anne with assistance to update the records/application documents.



MITTAUER
& ASSOCIATES, INC.
CONSULTING ENGINEERS &
PROJECT FUNDING SPECIALISTS

ITEM-2

580-1 WELLS ROAD
ORANGE PARK, FL 32073
PHONE: (904) 278-0030
FAX: (904) 278-0840
WWW.MITTAUER.COM

March 11, 2024 VIA EMAIL

Ms. Lee Anne Wollitz, Land Use Administrator
Town of Hilliard
15859 West County Road 108
Hilliard, FL 32046

RE: Determination of Completeness and Site Plan Review
Florida Infrastructure Truck Shop
Town of Hilliard, Florida
Mittauer & Associates, Inc. Project No. 9610-23-26

Dear Ms. Wollitz:

We have reviewed the Drawings entitled "Florida Infrastructure Truck Shop" dated December 16, 2023 and prepared by P2 Civil Engineering, LLC, on behalf of Florida Infrastructure, Inc., the Owner. The Drawings, consisting of 16 sheets, were prepared by Paul A. Talbert, P.E. We received the Drawings and associated Site Plan Application package via email from the Town on February 7, 2024. Direction to move forward with this Determination of Completeness and Site Plan Review was granted via this transmittal and subsequent Town correspondence regarding the submittal. In addition to the Drawings and Site Plan Application, we also received the following items as part of the package:

1. Property Warranty Deed for subject project dated 12-21-23;
2. Boundary Survey by Ernest R. Bennett, Jr., PSM, Bennett Surveying, Inc., dated 08-05-19; and
3. Initial email submittal with project description from Paul Talbert on 1-22-24.

We have reviewed the Drawings in accordance with the Town's Code of Ordinances, Chapter 62 - Zoning and Land Development Regulations (LDR), 2040 Comprehensive Plan, and other Town standards and requirements, as applicable. This is the first submittal we have received on this project. Our comments are as follows:

COMPLETENESS DETERMINATION:

Per the Site Plan Application, the following items should be submitted or added to the Drawings to allow for a complete Site/Development Plan Review:

Ms. Lee Anne Wollitz, Land Use Administrator
March 11, 2024
Page 2

1. *Site Plan App, Parcel ID Number:* Parcel ID listed as 16-3N-24-0000-0024-0000. Per Nassau County Property Appraiser, Parcel ID is listed as 16-3N-24-0000-0024-0070. Resolve or clarify, as needed.
2. *Attachment No. 1, Item g: Location of nearest fire hydrant, adjacent pedestrian sidewalks, and bicycle paths.* The nearest fire hydrant, which appears to be located across the street from Pudgy's Place, is not shown on Drawings.
3. *Attachment No. 1, Item j: Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.* The right-of-way limits for Henry Smith Road is not shown. These limits should be reflected to allow for installation / construction of offsite utilities, as required.
4. *Attachment No. 1, Item k: Access and points of connections to utilities (electric, potable water, sanitary sewer, gas, etc.).* Point of connections to existing electric, water, and sewer are not shown. Revise or address, as applicable.
5. *Attachment No. 1, Item s: Percent of pervious surface.* Provide percentage on Data Summary Table on Sheet C3.0.
6. *Attachment No. 1, Item u: Location, design, height, and orientation of signs.* Provide a detail for the proposed entrance sign and other proposed signage for Town approval, if applicable. All proposed signs shall be designed and constructed in accordance with LDR Article VII - Signs.
7. *Attachment No. 1, Item v: Location of dumpsters and detail of dumpster enclosure.* Provide location and detail of the proposed dumpster and dumpster pad, if applicable.
8. *Attachment No. 5: Permit or exemption from the St. Johns River Water Management District.*

GENERAL COMMENTS

1. Coordinate with the Town to verify no parking spaces are required based on the proposed use.
2. Coordinate with the Town for any applicable water/sewer connection and impact fees, and verify concurrency requirements/conditions have been met, as required.
3. Provide signed and sealed copies of the final approved Drawings, Boundary, Topographic / Tree Survey, reports, etc. prior to construction.

Ms. Lee Anne Wollitz, Land Use Administrator
 March 11, 2024
 Page 3

4. Coordinate with the Town to obtain the necessary FDEP water and sewer construction permits, as required.
5. Note the Town will not own, operate, and/or maintain the proposed onsite drainage, water, and sewer utilities other than the water meter, unless previously agreed upon. Coordinate proposed meter location and utility connections with the Town and revise the Drawings, as applicable.
6. Verify whether this area of Henry Smith Road is Town right-of-way or Nassau County Road right-of-way. If located in County right-of-way, coordinate permit applications, as required.
7. Provide an approved SJRWMD Environmental Resource Permit or exemption and any corresponding revisions made to the Drawings and/or stormwater design calculations.

SHEET C1.0 - TITLE SHEET

1. Update the Town of Hilliard's Utility Services contact to Mr. Joel Hall, P.E., Director of Public Works.

SHEET C1.1 - GENERAL NOTES

1. Include notes related to electric utility coordination, as applicable.

SHEET C2.0 - EXISTING CONDITIONS

1. No existing trees are shown. Confirm if any trees within the project limits and/or site property boundary will remain/be protected.
2. Existing sewer and water mains are identified within Henry Smith Road with no detail just beyond the proposed entrance. Per Town Utility Maps and via Public Works staff correspondence, existing sewer and water does not exist in this location, but rather further to the north at Pudgy's Place. Recommend coordinating with Town staff to survey / locate existing utilities to accurately verify and determine proposed connection points.

SHEET C3.0 - SITE PLAN

1. Data Summary Table indicates Nearest Fire Hydrant is proposed onsite. No Fire Hydrant appears on this Sheet or Sheet C6.0. Revise, as applicable.

Ms. Lee Anne Wollitz, Land Use Administrator
 March 11, 2024
 Page 4

2. Data Summary Table indicates Utilities will include Gravity Sewer Connection to Town's system, although an onsite pump station and force main (and presumably a force main connection) are proposed. Revise, as applicable.

SHEET C4.0 - GRADING PLAN

1. Coordinate with the Town for driveway connection requirements at Henry Smith Road.
2. Recommend using a maximum slope of 4:1 throughout to minimize erosion.
3. Provide detail for the installation of the asphalt millings surface (compaction, etc.).

SHEET C5.0 - DRAINAGE PLAN

1. Along with Comment No. 1 for Sheet C4.0 above, coordinate with the Town to determine whether a driveway culvert and associated permit will be required. Verify whether an existing culvert is already located at this proposed entrance and address, as needed. Should a culvert be required, the diameter shall be a minimum of 12" in accordance with Ordinance Section 42-31 through 42-34.

SHEET C5.2 - POST DEVELOPMENT PLAN

1. Clarify the purpose of this Sheet other than showing the boundaries of the post-development drainage areas. No other details are provided.

SHEET C6.0 - WATER & SEWER PLAN

1. Coordinate with the Town to verify the size, material, and location of the Town's existing water and sewer lines for the proposed connections.

Based on the Town's Water System Base Map we have on file, there is an existing 6" PVC water main along the west side of Henry Smith Road which terminates with a 6" gate valve and plug, just beyond the fire hydrant assembly.

Based on the Sewer System Base Map, there is an existing manhole (MH #324) just north of the aforementioned fire hydrant and concrete driveway, also outside the edge of pavement on the west side of Henry Smith Road.

2. Update the proposed this sheet to reflect the proposed offsite water and sewer utilities and associated connection points. For the water, we recommend removing the existing 6" plug and extending a 6" PVC water main south along Henry Smith Road

Ms. Lee Anne Wollitz, Land Use Administrator
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beyond the proposed driveway, installing a 6"x6"x4" Tee, along with a 6" gate valve and plug to allow for future connections / extensions. For the sewer, assuming it is not possible to connect to the existing manhole via gravity, we recommend constructing the PVC force main along Henry Smith Road north and core drilling into the existing manhole to connect to the gravity system. Include / show any necessary restoration associated with these offsite improvements.

3. No details for the proposed Pump Station are provided, including on Sheet C7.2 as indicated. Update / revise, as needed, and provide applicable flow and pump calculations.
4. Provide cleanout at building connection along with gravity sewer depth, elevations, and slope.
5. Call out location and size of water meter and backflow device on Town's side of right-of-way line.
6. Ensure adequate fire protection can be provided for the site in accordance with NFPA regulations / FDEP regulations. Recommend coordinating with the Town to conduct a hydrant flow test on the nearest hydrant to determine fire flow capability to the site.
7. Ensure proper electrical service and placement requirements will be met in accordance with the LDR.

SHEET C7.0 - SITE DETAILS

1. Verify the Bottom Elevation of the Wet Pond. Cross Section shows 41.50, while other Sheets appear to show 40.0. Update throughout, as needed.
2. Recommend Asphaltic Concrete Driveway section match the Std Duty Pavement section above for consistency.

SHEETS C7.1 & C7.2 - WATER & SEWER DETAILS-1 and -2

1. Remove Details that are not applicable to proposed construction, as applicable.
2. The top of the Saddle Manhole detail appears to have been cut off. Revise, or remove entire detail, as needed.
3. Note Sheet C7.2 does not include the Pump Station Details as referenced on Sheet C6.0.

Ms. Lee Anne Wollitz, Land Use Administrator
 March 11, 2024
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SHEET C8.0 - EROSION CONTROL DETAILS

No Comments

SHEET C8.1 - EROSION CONTROL PLAN

No Comments

SHEETS C9.0 & C9.1 - SWPPP-1 & SWPPP-2

No Comments

SHEET C10.0 - LANDSCAPE PLAN

1. As required by Application Attachment No. 1, Item r: *Landscaping plan depicting type, size, and design of landscaped areas, buffers, and tree mitigation calculations.*

This Landscape Plan Sheet provides no proposed landscaping or details related to landscaping. Revise or address, as applicable.

Note that this Determination of Completeness and Site Plan Review does not include Building Permit / Code Inspection review or a Concurrency Review/Certificate and these should be addressed as needed, separate from this Review.

Should you have any questions, comments or concerns, please do not hesitate to contact us at any time.

Sincerely yours,
 Mittauer & Associates, Inc.

Kellen A Lindsey
 Kellen A Lindsey
 2024.03.11 21:32:26 -04'00'
 2023.008.20555

Kellen A. Lindsey, P.E.
 Senior Project Director

KAL/kl

cc: Town of Hilliard
 P2 Civil Engineering, LLC
 Florida Infrastructure, Inc.

August 1, 2024

Ms. Lee Anne Wollitz, Land Use Administrator Town of Hilliard
15859 West County Road 108
Hilliard, FL 32046

**Florida Infrastructure Truck Shop
Town of Hilliard, FL**

Dear Ms. Wollitz,

Please refer to the attachments that accompany this submittal regarding the comment responses provided by Mittauer and Associates to the above referenced project.

COMPLETENESS DETERMINATION:

Per the Site Plan Application, the following items should be submitted or added to the Drawings to allow for a complete Site/Development Plan Review:

1. Site Plan App, Parcel ID Number: Parcel ID listed as 16-3N-24-0000-0024-0000. Per Nassau County Property Appraiser, Parcel ID is listed as 16-3N-24-0000-0024-0070. Resolve or clarify, as needed.
Parcel relabeled on plans as 16-3N-24-0000-0024-0070 to match Nassau County GIS.
2. Attachment No. 1, Item g: Location of nearest fire hydrant, adjacent pedestrian sidewalks, and bicycle paths. The nearest fire hydrant, which appears to be located across the street from Pudgy's Place, is not shown on Drawings.
Fire hydrant has been depicted on the revised plans.
3. Attachment No. 1, Item j: Location of all property lines, existing right-of-way approaches, sidewalks, urbs, and gutters. The right-of-way limits for Henry Smith Road is not shown. These limits should be reflected to allow for installation / construction of offsite utilities, as required.
R/W limits have been added to the revised plans.
4. Attachment No. 1, Item k: Access and points of connections to utilities (electric, potable water, sanitary sewer, gas, etc.). Point of connections to existing electric, water, and sewer are not shown. Revise or address, as applicable.
Electric connection to occur within the existing R/W. All other points are depicted and will be field verified by contractor prior to construction.
5. Attachment No. 1, Item s: Percent of pervious surface. Provide percentage on Data Summary Table on Sheet C3.0.
Percent impervious has been added to the site data table on the revised plans.

6. Attachment No. 1, Item u: Location, design, height, and orientation of signs. Provide a detail for the proposed entrance sign and other proposed signage for Town approval, if applicable. All proposed signs shall be designed and constructed in accordance with LDR Article VII - Signs.
No signage is proposed for this project.
7. Attachment No. 1, Item v: Location of dumpsters and detail of dumpster enclosure. Provide location and detail of the proposed dumpster and dumpster pad, if applicable.
Dumpster Pad details and location have been provided. Size of dumpster pad to be chosen by owner.
8. Attachment No. 5: Permit or exemption from the St. Johns River Water Management District.
Will provide SJRWMD permit once permit is obtained. Project is currently in review.

GENERAL COMMENTS

1. Coordinate with the Town to verify no parking spaces are required based on the proposed use.
Noted. Town suggested 3 parking spaces, 1 ADA.
2. Coordinate with the Town for any applicable water/sewer connection and impact fees, and verify concurrency requirements/conditions have been met, as required.
Noted.
3. Provide signed and sealed copies of the final approved Drawings, Boundary, Topographic / Tree Survey, reports, etc. prior to construction.
Noted.
4. Provide final approved permits and any updates/changes to the Drawings following coordination efforts with FDEP, SJRWMD, the Town, etc.
Noted.
5. Coordinate with the Town to obtain the necessary FDEP water and sewer construction permits, as required.
Noted.
6. Note the Town will not own, operate, and/or maintain the proposed onsite drainage, water, and sewer utilities other than the water meter, unless previously agreed upon. Coordinate proposed meter location and utility connections with the Town and revise the Drawings, as applicable.
Noted.
7. Verify whether this area of Henry Smith Road is Town right-of-way or Nassau County Road right-of-way. If located in County right-of-way, coordinate permit applications, as required.

Henry Smith Rd is a Nassau County R/W. Nassau County will permit the driveway and utility encroachment.

8. Provide an approved SJRWMD Environmental Resource Permit or exemption and any corresponding revisions made to the Drawings and/or stormwater design calculations.

Noted.

SHEET C1.0 - TITLE SHEET

1. Update the Town of Hilliard's Utility Services contact to Mr. Joel Hall, P.E., Director of Public Works.

Noted.

SHEET C1.1 - GENERAL NOTES

1. Include notes related to electric utility coordination, as applicable.

Noted.

SHEET C2.0 - EXISTING CONDITIONS

1. No existing trees are shown. Confirm if any trees within the project limits and/or site property boundary will remain/be protected.

Site to be clearcut within the limits of disturbance (silt fence areas). The rest of the site, including the wetlands/flood plain will not be disturbed.

2. Existing sewer and water mains are identified within Henry Smith Road with no detail just beyond the proposed entrance. Per Town Utility Maps and via Public Works staff correspondence, existing sewer and water does not exist in this location, but rather further to the north at Pudgy's Place. Recommend coordinating with Town staff to survey / locate existing utilities to accurately verify and determine proposed connection points.

Town Staff provided approximate locations which are now reflected on the plans. Contractor to confirm/verify location prior to connecting to a sewer manhole or tapping water mains.

SHEET C3.0 - SITE PLAN

1. Data Summary Table indicates Nearest Fire Hydrant is proposed onsite. No Fire Hydrant appears on this Sheet or Sheet C6.0. Revise, as applicable.

Data summary table has been revised to reflect fire hydrant ~125' N of entrance drive.

2. Data Summary Table indicates Utilities will include Gravity Sewer Connection to Town's system, although an onsite pump station and force main (and presumably a force main connection) are proposed. Revise, as applicable.

Data summary table has been revised to reflect pump station and force main connection.

SHEET C4.0 - GRADING PLAN

1. Coordinate with the Town for driveway connection requirements at Henry Smith Road.
Noted.
2. Recommend using a maximum slope of 4:1 throughout to minimize erosion.
Noted. Where possible, 4:1 will be observed but 3:1 stabilized with sod or erosion control matting is also acceptable.
3. Provide detail for the installation of the asphalt millings surface (compaction, etc.).
Millings was originally considered but revised plans only consider asphalt pavement.

SHEET C5.0 - DRAINAGE PLAN

1. Along with Comment No. 1 for Sheet C4.0 above, coordinate with the Town to determine whether a driveway culvert and associated permit will be required. Verify whether an existing culvert is already located at this proposed entrance and address, as needed. Should a culvert be required, the diameter shall be a minimum of 12" in accordance with Ordinance Section 42-31 through 42-34.
Noted. Nassau County will decide the roadway design per their permitting requirements.

SHEET C5.2 - POST DEVELOPMENT PLAN

1. Clarify the purpose of this Sheet other than showing the boundaries of the post-development drainage areas. No other details are provided.
You are correct, the purpose is to define the boundaries of the post developed areas. The area of the drainage basins has been added to the plans. The sheet has been provided for the Water Management District.

SHEET C6.0 - WATER & SEWER PLAN

1. Coordinate with the Town to verify the size, material, and location of the Town's existing water and sewer lines for the proposed connections.
Noted. Staff has provided sizes and approximate locations of water and sewer mains.
2. Based on the Town's Water System Base Map we have on file, there is an existing 6" PVC water main along the west side of Henry Smith Road which terminates with a 6" gate valve and plug, just beyond the fire hydrant assembly.
Noted.

3. Based on the Sewer System Base Map, there is an existing manhole (MH #324) just north of the aforementioned fire hydrant and concrete driveway, also outside the edge of pavement on the west side of Henry Smith Road.
Noted.
4. Update the proposed utilities this sheet to reflect the proposed offsite water and sewer utilities and associated connection points. For the water, we recommend removing the existing 6" plug and extending a 6" PVC water main south along Henry Smith Road beyond the proposed driveway, installing a 6"x6"x3" Tee, along with a 6" gate valve and plug to allow for future connections / extensions. For the sewer, assuming it is not possible to connect to the existing manhole via gravity, we recommend constructing the PVC force main along Henry Smith Road north and core drilling into the existing manhole to connect to the gravity system. Include / show any necessary restoration associated with these offsite improvements.
Noted.
5. No details for the proposed Pump Station are provided, including on Sheet C7.2 as indicated. Update / revise, as needed, and provide applicable flow and pump calculations.
DH152-93 EOne model pump station details have been provided on C7.2. The assumed daily flow from the truck shop is derived from FDEP 64e-6, warehouse complete with 10 employees and 3 loading bays for a total of 450 GPD. The tank capacity is 150 gal.
6. Provide cleanout at building connection along with gravity sewer depth, elevations, and slope.
Cleanout added to plans along with details for 6" service at 1% minimum slope.
7. Call out location and size of water meter and backflow device on Town's side of right-of-way line.
Noted. Assume 3" water main but defer to MEP for building needs. Meter, BFP and service line to match size.
8. Ensure adequate fire protection can be provided for the site in accordance with NFPA regulations / FDEP regulations. Recommend coordinating with the Town to conduct a hydrant flow test on the nearest hydrant to determine fire flow capability to the site.
Noted.
9. Ensure proper electrical service and placement requirements will be met in accordance with the LDR.
Electrical connections for the pump station are not designed by the Civil Engineer. Electrical components should be reviewed as part of the building codes and not as part of the site development package.

SHEET C7.0 - SITE DETAILS

1. Verify the Bottom Elevation of the Wet Pond. Cross Section shows 41.50, while other Sheets appear to show 40.0. Update throughout, as needed.
Pond cross section has been revised.

2. Recommend Asphaltic Concrete Driveway section match the Std Duty Pavement section above for consistency.
Asphaltic Concrete Driveway detail has been removed from the plan set.

SHEETS C7.1 & C7.2 - WATER & SEWER DETAILS-1 AND -2

1. Remove Details that are not applicable to proposed construction, as applicable.
Details are standard and will only be referenced if they are needed in the field. What harm are they causing to leave them in the plan set for reference?
2. The top of the Saddle Manhole detail appears to have been cut off. Revise, or remove entire detail, as needed.
Saddle Manhole detail removed from the plan set.
3. Note Sheet C7.2 does not include the Pump Station Details as referenced on Sheet C6.0.
Noted. Details have been added.

SHEET C10.0 - LANDSCAPE PLAN

1. As required by Application Attachment No. 1, Item r: Landscaping plan depicting type, size, and design of landscaped areas, buffers, and tree mitigation calculations. This Landscape Plan Sheet provides no proposed landscaping or details related to landscaping. Revise or address, as applicable.
Noted. Tree and planting layer was turned off. Revised planting plan depicts bushes street side of the building and oak trees lining the edge of pavement along the south side and street side. The northern property edge does not need landscaping since parcel is owned by same developer.

We trust that this information is to your satisfaction. Your expeditious review of this submittal is appreciated. If you have comments or questions regarding this project, please do not hesitate to contact us at 904-885-0188.

Sincerely,

Paul Talbert

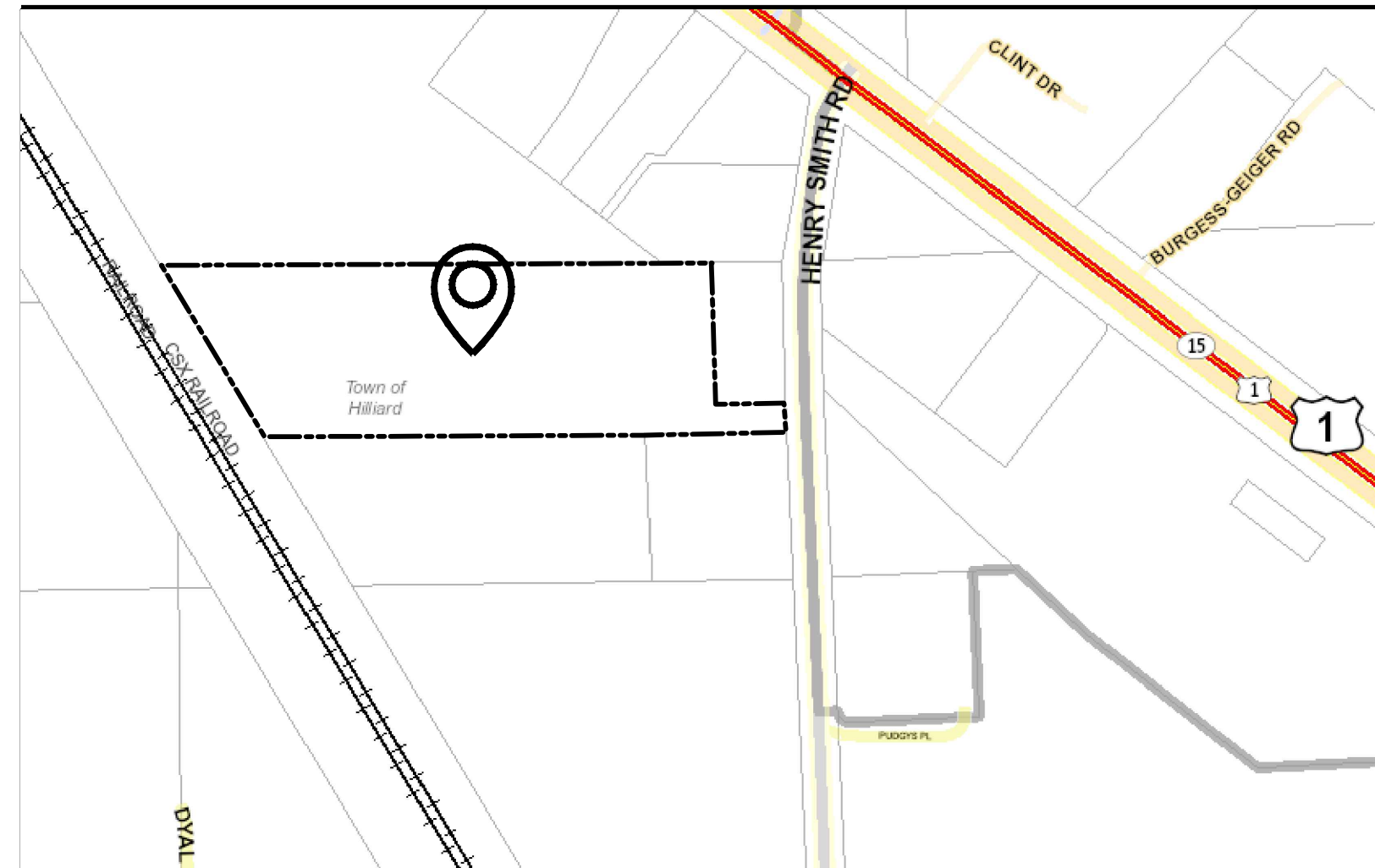
P2 Civil Engineering, LLC
Paul Talbert, PE
President

FLORIDA INFRASTRUCTURE TRUCK SHOP

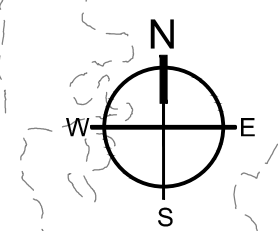
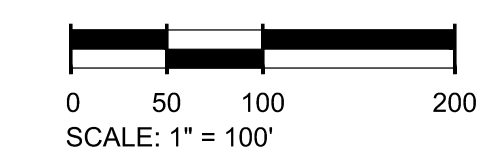
TOWN OF HILLIARD, FL

PARCEL ID# 16-3N-24-0000-0024-0070

SITE LOCATION MAP



SITE OVERVIEW



LEGAL DESCRIPTION:

ALL THAT CERTAIN TRACT OR PARCEL OF LANDS BEING A PORTION OF THE SOUTH 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16, TOWNSHIP 3 NORTH, RANGE 24 EAST, TOWN OF HILLIARD, NASSAU COUNTY, FLORIDA (BEING A PORTION OF LANDS AS INTENDED TO BE DESCRIBED IN DEED RECORDED IN BOOK 1347, PAGE 36, OFFICIAL RECORDS OF NASSAU COUNTY) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FOR A POINT OF REFERENCE COMMENCE AT THE NORTHEAST CORNER OF LANDS NOW OR FORMERLY OF FLORENCE R FUQUA, TRUSTEE, et al, SAID POINT LYING ON THE WESTERLY RIGHT-OF-WAY LINE OF HENRY SMITH ROAD (AN 80 FOOT RIGHT-OF-WAY), AND FROM SAID POINT RUN THENCE NORTH 02°-42'-55" WEST, ALONG LAST MENTIONED WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 300.99 FEET TO A POINT FOR THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING THUS DESCRIBED RUN THENCE SOUTH 89°-17'-24" WEST, A DISTANCE OF 1082.45 FEET TO A POINT LYING ON THE NORTHEASTERLY LINE OF THE SEABOARD COASTLINE RAILROAD (A 200 FOOT RIGHT-OF-WAY); RUN THENCE NORTH 30°-57'-12" WEST, ALONG LAST MENTIONED NORTHEASTERLY LINE, A DISTANCE OF 417.05 FEET TO THE SOUTHWEST CORNER OF LANDS NOW OR FORMERLY OF BEL PROPERTY MANAGEMENT, INC (ACCORDING TO DEED RECORDED IN BOOK 675, PAGE 1186 OF THE OFFICIAL RECORDS OF NASSAU COUNTY); RUN THENCE NORTH 89°-16'-42" EAST, ALONG THE SOUTHERLY LINE OF LAST MENTIONED LANDS AND THE EASTERLY PROLONGATION THEREOF, A DISTANCE OF 1135.96 FEET TO THE NORTHWEST CORNER OF LANDS NOW OR FORMERLY OF B.Y. FRANKLIN PROPERTIES, INC. (ACCORDING TO DEED RECORDED IN BOOK 2247, PAGE 1409 OF THE OFFICIAL RECORDS OF NASSAU COUNTY); RUN THENCE SOUTH 02°-35'-26" EAST, ALONG THE WESTERLY LINE OF LAST MENTIONED LANDS, A DISTANCE OF 300.68 FEET TO THE SOUTHWEST CORNER THEREOF; RUN THENCE NORTH 89°-17'-24" EAST, ALONG THE SOUTHERLY LINE OF LAST MENTIONED LANDS, A DISTANCE OF 144.74 FEET TO A POINT LYING ON THE AFOREMENTIONED WESTERLY RIGHT-OF-WAY LINE OF HENRY SMITH ROAD; RUN THENCE SOUTH 02°-42'-55" EAST, ALONG LAST MENTIONED WESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 60.35 FEET TO THE POINT OF BEGINNING.

THE LAND THUS DESCRIBED CONTAINS 8.78 ACRES, MORE OR LESS, AND IS SUBJECT TO ANY EASEMENTS OF RECORD WHICH MAY LIE WITHIN.

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A PROPOSED TRUCK REPAIR/STORAGE SHOP WITH SITE IMPROVEMENTS INCLUDING A NEW PRE-FAB METAL BUILDING, LAY DOWN YARD AND ASSOCIATED INFRASTRUCTURE INCLUDING UTILITIES, STORMWATER MANAGEMENT POND AND LANDSCAPING.

GENERAL NOTES

ALL ELEVATIONS ARE BASED ON THE BOUNDARY SURVEY PREPARED BY BENNETT SURVEYING, DATED AUGUST 5, 2019. ELEVATIONS ARE BASED OFF THE NAD88 DATUM.

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Sheet Number	Sheet Title
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C1.1	GENERAL NOTES
C2.0	EXISTING CONDITIONS
C3.0	SITE PLAN
C4.0	GRADING PLAN
C5.0	DRAINAGE PLAN
C5.1	POST DEVELOPMENT PLAN
C6.0	UTILITY PLAN
C7.0	SITE DETAILS
C7.1	UTILITY DETAILS-1
C7.2	UTILITY DETAILS-2
C8.0	ESC DETAILS
C8.1	ESC PLAN
C9.0	SWPPP-1
C9.1	SWPPP-2
C10.0	LANDSCAPE PLAN

PROJECT CONTACTS

OWNER/DEVELOPER:
FLORIDA INFRASTRUCTURE
542190 US-1
CALLHAN, FL 32011
CONTACT: KAREN BRANTLEY
PHONE:

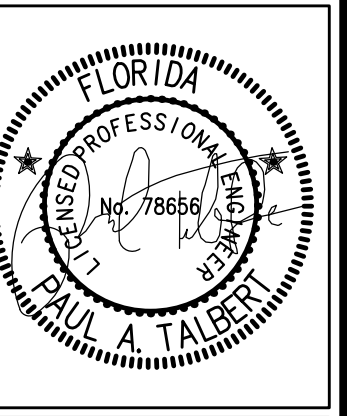
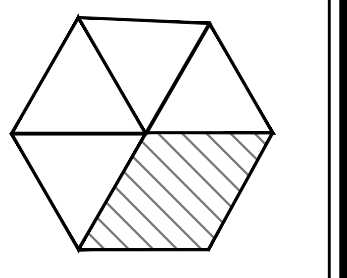
CIVIL ENGINEER:
P2 CIVIL ENGINEERING, LLC
9526 ARGYLE FOREST BLVD, UNIT B2 #456
JACKSONVILLE, FL 32222
CONTACT: PAUL TALBERT, PE
PHONE: (904) 885-0188

SURVEYOR:
BENNETT SURVEYING
102 MARSH HARBOUR PKWY # 103
KINGSLAND, GA 31548
PHONE: (912) 673-8940

MUNICIPAL CONTACT
(UTILITY AND LAND DISTURBANCE):
TOWN OF HILLIARD UTILITY SERVICES
15859 WEST CR 108
HILLIARD, FL 32046
CONTACT: MR. JOEL HALL
PHONE: 904.845.3555

TOWN OF HILLIARD
15859 WEST CR 108
HILLIARD, FL 32046
CONTACT: LEE ANNE WOLLITZ
PHONE: 904.845.3555

P²
CIVIL ENGINEERING, LLC
9526 ARGYLE FOREST BLVD,
UNIT B2 #456
JACKSONVILLE, FL 32222
904-885-0188



NO.	DESCRIPTION	DATE

CLIENT
FLORIDA INFRASTRUCTURE
PROJECT ADDRESS
HENRY SMITH RD
HILLIARD, FLORIDA

PROJECT TITLE
FL INFRA TRUCK SHOP
SHEET TITLE
TITLE SHEET

DESIGN:	REVIEWED:
DRAWN:	
SCALE: AS SHOWN	DATE: 12/16/23

C1.0
PROJECT NUMBER
2023-1216

GENERAL NOTES:

- 1. Topographic boundary survey, including property lines, legal description, existing utilities, site topography with spot elevations, outstanding physical features and existing structure locations was provided by BENNETT SURVEYING, dated AUGUST 5, 2019.
2. P2 CIVIL ENGINEERING, LLC and its associates will not be held responsible for the accuracy of survey or for design errors or omissions resulting from survey inaccuracies.
3. All phases of site work for this project shall meet or exceed the TOWN OF HILLIARD site work specifications.
4. The general contractor will be held solely responsible for and shall take all precautions necessary to avoid property damage to adjacent properties during the construction phases of this project.
5. Warranty / Disclaimer
The designs represented in these plans are in accordance with established practices of civil engineering for the design functions. Neither the engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the engineer inspects and controls the physical construction on a contemporary basis at the site.
6. For boundary, roadway and building geometry information see engineering site plan. It is the Contractor's responsibility to verify that the building dimensions shown on the engineering plan agrees with the dimensions shown on the architectural plan. If any dimensions do not agree, the architect, engineer and owner shall be notified and the dimensions adjusted prior to commencing with construction.
7. All construction within NASSAU COUNTY right-of-way shall be coordinated with the NASSAU COUNTY. The contractor shall notify all utility companies prior to construction for verification and location of all utilities.
8. Contractor shall furnish shop drawings to engineer indicating materials and manner of installation for all components of the project prior to purchase of materials and construction.
9. These engineering drawings may not show all of the TOWN OF HILLIARD standard details required to complete construction of this project. It is the contractor's responsibility that the construction be in accordance with all current TOWN OF HILLIARD Standard Details and Specifications.
10. All contractors shall furnish certified "as-builts", see As-Built Requirements on this sheet.
11. Contractor shall verify and protect all existing trees and natural vegetation that are to remain undisturbed. The areas indicated for construction shall be cleared and grubbed to remove all roots and miscellaneous vegetation except specific trees that shall be protected from damage during construction with the use of tree barriers. Trees to be preserved are flagged, contractor shall verify before the start of construction.
12. All work shall be performed in a safe manner. All safety rules and guidelines of OSHA shall be followed. The Contractor shall be solely responsible for any injuries to his employees, and any damage to private property or persons during the course of this project. All costs associated with complying with OSHA regulations and the Florida Trench Safety Act must be included in the Contractors bid.
13. All improvements shown are to be warranted by the Contractor to the Developer for a period of one year from date of acceptance by the Owner. If the work is in the NASSAU COUNTY Right-Of-Way or easement, The Contractor's one-year warranty shall extend to NASSAU COUNTY.
14. The Contractor will contract with an independent testing laboratory to perform material testing and soil testing in accordance with the TOWN OF HILLIARD requirement and the recommendations outlined in the geotechnical report. This shall include density testing in all pavement areas and building pads and in the utility trenches located in pavement areas, concrete testing and all other material testing. Prior to limerock placement, the project geotechnical engineer shall make recommendations for underdrain placement.
15. The Contractor shall be responsible for obtaining all necessary permits and insurance required for the project, incl. NASSAU COUNTY Right-Of-Way permits for work in the NASSAU COUNTY right-of-way or easement.
16. The Contractor shall coordinate the work within NASSAU COUNTY Right-Of-Way with the proper agencies for maintenance of traffic and method of construction and repair.
17. The Contractor shall provide no less than a 6 inch clearance between all utilities other than water mains, which shall be to NASSAU COUNTY Health Department and TOWN OF HILLIARD utility permit conditions.
18. These plans do not stand by themselves. Bid documents, FDEP standard details & materials, TOWN OF HILLIARD standard specifications & details and any other standards, listed or references, are included in the project documents.
19. The contractor shall notify the TOWN OF HILLIARD @ 904-845-3555 a minimum of 48 hours prior to starting construction.
20. The contractor shall coordinate with electric provider related to all electric requirements including light poles and transformer locations in addition to any conduit or electrical service routing onsite.

NOTICE OF PROCEDURE

The water taps depicted on these design plans shall be constructed as follows: all potable and irrigation water taps, fire line services and fire hydrant installations shall be performed by a licensed master plumber or underground utility contractor under the following special conditions:
1. The taps are to be scheduled 48 hours in advance. Contact TOWN OF HILLIARD Construction Inspector.
2. Taps requiring meter installations of size 2" and below must include the Service pipe, meter box, and corp. Stop sized ready to accept the poly mix meter box w/ lid installation by private forces.
3. Private forces will install the meter upon application and payment by licensed Master plumber or utility contractor at TOWN OF HILLIARD, 15859 W Co Rd 108, Hilliard, FL 32046
4. All taps requiring meter installations of size 3" and above shall terminate Sized ready for vault, meter and bypass installation by private forces.

TOWN OF HILLIARD fees shall be required at time of meter application. Fees will be based on total number of plumbing fixture units shown or listed ON BUILDING PLANS.

All water and sewer construction materials to be constructed in NASSAU COUNTY Right-of-way or easement must be in conformance with the FDEP approved Water and wastewater materials list.

A pre-construction conference is required and shall be scheduled with TOWN OF HILLIARD, Utilities @ 904-845-3555.

Meter to be installed by private water and sewer forces upon application and Payment by licensed master plumber or utility contractor at TOWN OF HILLIARD 15859 W Co Rd 108, Hilliard, FL 32046

All water mains shall be pressure tested at 150 psi for 2 hours and force mains shall be tested at 150 psi for 2 hours in accordance with section "a" of awwa Standard c600 with leakage limited to that determined by the appropriate formula.

Disinfection of the water main shall be performed in accordance with awwa c651.

Mechanical joint restraints shall conform to awwa standard c111.

All onsite private water and sewer construction and materials shall Conform to current fdep standards and specifications.

Shop drawings on all backflow preventors shall be submitted to FDEP for Approval prior to installation. Contact Jennifer Lyles @ 904-256-1666.

WATER NOTES:

- 1. The contractor shall obtain all permits to complete the construction.
2. Contractor shall coordinate the construction of water facilities with all other construction.
3. Contractor shall furnish shop drawings to the engineer for approval prior to beginning construction.
4. The contractor shall coordinate any work within the right-of-way of HENRY SMITH RD. with utility company, NASSAU COUNTY and the TOWN OF HILLIARD personnel.
5. All workmanship and materials shall conform to latest FDEP and TOWN OF HILLIARD Standards and Specifications and applicable AWWA Standards.
6. The existing utility facilities and locations shown on the drawings are taken from readily available information. The actual locations of the utility facilities may vary somewhat from the locations shown and there may be utility facilities existing that are not shown or indicated on the drawings. The site utility contractor shall contact all agencies with utility facilities in the vicinity of the work and shall locate all underground facilities before beginning work. The contractor shall protect all utility facilities and repair any damages resulting from their work in conformance with the contract documents and specifications and relocate if required at no cost to the owner.
7. Water lines shall have a minimum of 36" cover from finished grade. Maximum cover shall be 60".
8. Water lines are designed to finished grade and shall be protected until finish work is complete.
9. All water mains 4" and larger shall be AWWA C900, DR18 PVC. Water mains 3" and smaller shall be SCH-80 pipe.
10. Restrained joints are required where water mains are terminated and at all bends, in accordance with FDEP standard details and specifications.
11. All gate valves shall be non-rising stem type and shall be suitable for 200 psi non-shock working pressure. Gate valves shall be mechanical joint, iron body, resilient seat, Mueller or equal. Valve boxes with screw extensions shall be provided for each buried gate valve. Boxes shall be of cast iron construction, 3/8" minimum wall thickness and shall be non-lacky tar enamel coated. The word "water" shall be cast in cover. All gate valves installed shall open by turning to the left (counterclockwise) when viewed from the stem.
12. Class B, Type I bedding at a minimum of 8" shall be used for this project unless indicated otherwise on the drawings or directed by the engineer and cleared by the TOWN OF HILLIARD.
13. Unsuitable materials under water pipe shall be removed and replaced with selected backfill properly compacted. The material should exhibit moisture contents within +/- 2 percent of the modified proctor optimum moisture content (ASTM D1557) during the compaction operations. Compaction should continue until densities of at least 95 percent of the modified proctor maximum dry density (ASTM D 1557) have been achieved.
14. Backfilling shall be made with clean backfill which shall be thoroughly compacted in 6" lifts. Compaction shall be a minimum of 95K of max. density at +/- 2.0% of the modified proctor
15. Where water mains are laid under ditches, culverts, pipelines, or obstructions without fittings, the maximum deflection of any joint shall not exceed 50% of the maximum recommended by the pipe manufacturer.
16. No connection to existing potable water system will be allowed until all proposed water lines have been flushed, pressure tested, disinfected, and cleared for service by the Florida Department of Environmental Protection.
17. Contractor shall notify utility company a minimum of two days prior to connection of water mains to existing lines. All new work must be inspected by the engineer. No tests shall be scheduled for weekends. Any change from the technical requirements must be reviewed and approved by the engineer and owner.
18. Hydrostatic and leakage testing of the water mains installed shall be performed in accordance with AWWA standard specifications. A representative of the utility company or the engineer must be present during the tests. Pressure tests shall be conducted at 150 psi for 2 hours for water mains and 200 psi for 2 hours for fire mains. Pressure test after limerock is installed.
19. The contractor shall coordinate all water main flushing with the TOWN OF HILLIARD Utility Department. Flushing and disinfection procedures shall comply with AWWA for main disinfection.
20. Upon completion of water main flushing, bacteriological samples shall be taken. Samples shall be taken for 2 consecutive days.
21. Sample points for bacteriological sampling shall be located as follows:
1. Every 1000 feet and/or every dead end on a water main.
2. Point of tie-in to existing water system.
3. Water main stubs more than 40 feet in length.
22. Fire hydrants shall meet FDEP standards.
23. All water mains shall terminate approximately 5 feet outside the building unless otherwise noted. The end of these service lines shall be tightly plugged or capped and marked until such time as connection is made inside the building.
24. The site utility contractor shall make application to utility company for the project water meter and shall pay for all meter fees.
25. Utility lead-ins to building shall not be installed until building plans are completed and locations established on the architectural plumbing plans. Lead-ins may change 15' horizontally and 3' vertically prior to installations at no additional cost to owner. Location, size, and invert elevations shall be coordinated with the approved plumbing plans for the building.
26. Where parallel water and sewer (including storm) lines have less than 10 feet horizontal separation, full-uncut lengths of water quality pipe (i.e. DR 18 AWWA C-900 for newly installed sewer & DR18 AWWA C-900 water) will be used with the joints staggered at 10 foot intervals or they will be placed on an undisturbed shelf or in a separate trench with a minimum vertical separation of at least 18 inches. It is preferable to have the water mains located above the sewer and with 10 foot of separation where possible.
27. Where it is not possible for water and sewer (including storm) lines to cross with a minimum of 18 inches of vertical clearance, a full-uncut length of water quality pipe (i.e. DR 18 AWWA C-900 for newly installed sewer & DR18 AWWA C-900 water) which is usually 20 feet long will be centered on the point of crossing. The contractor will field verify the vertical separation. The minimum vertical separation between water and sewer (including storm) pipes when 18 inches is not possible will be 6 inches ABOVE or 12 inches BELOW for the water main and existing or proposed gravity or vacuum-type sanitary sewer or storm sewer, 12 inches above or below with existing or proposed pressure-type sanitary sewer, wastewater or stormwater forcemain or pipeline conveying reclaimed water.
28. A full uncut length of water main pipe (usually 20 feet) shall be centered at the point of crossing of all water and sewer (including storm) lines at the point of crossings regardless of the vertical separations.
29. The contractor shall be responsible to provide mitigating construction measures in all cases where a minimum of 18 inches of vertical clearance between water and sewer (including storm) lines is not possible.
30. The contractor is responsible for providing water for construction use during entire course of project if necessary.
31. Pressure pipe and fittings requiring restraint shall be braced with restrained joints per FDEP Standards.
32. The Contractor shall coordinate the location and size of water services with the approved plumbing plans for the building.
33. The Contractor shall coordinate all connections with site piping and building piping.
34. All water and sewer construction within TOWN OF HILLIARD shall be accomplished by an underground utility contractor licensed under the provisions of Chapter 489 Florida Statutes.
35. If dewatering requires a consumptive use permit it shall be the Contractor's responsibility to obtain the permit through the St. Johns River Water Management District.
36. If solvent contamination is found in the pipe trench, work shall be stopped and the proper authorities notified. With approval of the permitting agency, ductile iron pipe, fittings, and solvent resistant gas-tight material such as fluorocarbon shall be used in the contaminated area. The ductile iron pipe shall extend at least 100 feet beyond any solvent noted. Any contaminated soil that is excavated shall be placed on an impermeable mat and covered with a waterproof covering. The proper authorities will be notified and the contaminated soil held for proper disposal.

GRADING AND DRAINAGE NOTES:

- 1. Contractor shall verify existing elevations at connection points prior to construction and notify Engineer of any discrepancies.
2. See geotechnical report for site preparation requirements.
3. The contractor shall coordinate the grading and drainage construction with all other construction.
4. Contractor shall furnish shop drawings to the engineer for approval prior to beginning construction.
5. All construction and materials shall conform with all TOWN OF HILLIARD standards.
6. The contractor shall stake the storm sewer system and the sanitary sewer system and shall notify the engineer of any conflicts prior to installation of any pipe.
7. The existing utility facilities and locations shown on the drawings are taken from readily available information. The actual locations of the utility facilities may vary somewhat from the locations shown and there may be utility facilities existing that are not shown or indicated on the drawings. The site utility contractor shall contact TOWN OF HILLIARD prior to beginning work. The contractor shall protect all utility facilities and repair any damages resulting from their work in conformance with the contract documents and specifications and relocate if required at no cost to the owner.
8. All underground utilities shall be installed prior to preparation of subgrade for pavement.
9. Pavement subgrade shall have all unsuitable material removed to a depth of 3.0 feet below subgrade and 2.5 feet beyond back of curb. Backfill with suitable material per the geotechnical report.
10. Any unsuitable material encountered and excess suitable fill material shall be removed from the site. The contractor shall be responsible for the removal of all unsuitable material and replacement with structural fill. See geotechnical report.
11. The contractor shall be responsible for all subgrade, limerock and asphalt testing as required by the project specifications.
12. Slopes of new pond shall be sodded to the normal water level.
13. Stormwater Collection System design is based on the 5-year return frequency storm (Rational Method). Stormwater detention pond has been designed to attenuate peak flows from the 25-year return frequency storm. (SCS Method).
14. All RCP pipe shall meet the requirements of ASTM C-76 and shall be Class III, Wall B.
15. All pipe lengths are approximate and measured to the center of structure or mitered end section. Actual lengths may vary. Do not scale these drawings. Use dimensions only.
17. A qualified soils laboratory shall be on site during excavating to determine the suitability of the existing sub-grade and existing on-site material prior to beginning any filling operation.
18. Grading contractor shall take all available precautions to control dust. Contractor shall control dust by sprinkling, or by other methods as directed by engineer and/or owner's representative at no additional cost to the owner.
19. Contractor to coordinate all work with other utility installations not covered in these plans (Electric, Telephone, Gas, Cable, Etc) and allow for their operations and construction to be performed.
20. Cut and fill slopes are not to exceed 3:1 unless otherwise noted.
21. Contractor shall repair or replace in-kind any damage that occurs as result of his work.
22. All soils test reports to be submitted to Project Manager and TOWN OF HILLIARD.
23. For all trench excavations which exceed five feet (utilities and storm), the following must be adhered to:
a. Contractor must follow OSHA Standard 29 CFR, section 1926.650 subpart P, which is now a part of Laws of Florida Chapter 90-96.
b. The Contractor shall provide written assurance of compliance with this law.
c. A separate price item shall be included in their base bid identifying the cost of compliance
d. A trench safety system shall be designed by the Contractor.
24. The Contractor shall coordinate connection with site piping and building piping.
25. All areas shown to be filled shall be cleared and grubbed in accordance with TOWN OF HILLIARD Standards and shall be filled with clean structural fill compacted and tested in accordance with the geotechnical report.
26. All debris resulting from all activities shall be disposed of off-site by the Contractor.
27. All existing trees to remain shall be protected and preserved.
28. Burning of trees, brush and other material shall be approved, permitted and coordinated with the FLORIDA DIVISION OF FORESTRY by the Contractor.
29. The Contractor shall submit shop drawings to the engineer and the TOWN OF HILLIARD, if required, on all materials, for review and approval, prior to purchase or fabrication of any utility pipe or structure.
30. All pipe lengths are scaled dimensions. All drainage structures shall be constructed to conform to TOWN OF HILLIARD requirements and shall be constructed to conform to curbing, property lines and low points as shown on plans.
31. Contractor shall ensure that all drainage structures, pipes, etc. are clean and functioning properly at time of acceptance.
32. All drainage pipe joints in TOWN OF HILLIARD drainage easements and drainage right-of-ways are to be filter-wrapped.
33. All inverts in drainage structures to be precast or brick with layer of mortar between each layer of brick, or reddi-mix concrete with #57 stone.
34. The Contractor shall restore all culverts, headwalls and storm drain inlets removed or disturbed by the construction operation. The cost of these items shall be included in the price bid for furnishing and installing any new item causing such damage.

ELECTRICAL NOTES:

- 1. Power to proposed building and pump station will be coordinated by owner and contractor once construction begins.

CONTRACTOR IS RESPONSIBLE FOR PREPARATION & MAINTENANCE OF TRAFFIC CONTROL PLAN & DEVICES

SURVEY AS-BUILT, PREPARED BY A FL REGISTERED LAND SURVEYOR, OF ONSITE PONDS, STORM DRAINAGE SYSTEM, PERMANENT SWALES, AND BUILDING SLAB LOCATION AND FINISHED FLOOR ELEVATION WILL BE REQUIRED AS PART OF THE CLOSEOUT PROCESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE AS-BUILT SURVEY TO THE ENGINEER AT THE COMPLETION OF CONSTRUCTION

SANITARY SEWER NOTES:

- 1. The contractor shall obtain all permits to complete the construction.
2. Contractor shall coordinate the construction of sewer facilities with all other construction.
3. Contractor shall furnish shop drawings to the engineer for approval before beginning construction.
4. The contractor shall coordinate all utility work within the right-of-way of HENRY SMITH RD. with TOWN OF HILLIARD personnel.
5. All gravity sewer construction shall conform to the latest FDEP and TOWN OF HILLIARD standards and specifications.
6. The existing utility facilities and locations shown on the drawings are taken from readily available information. The actual locations of the utility facilities may vary somewhat from the locations shown and there may be utility facilities existing that are not shown or indicated on the drawings. The site utility contractor shall contact all agencies with utility facilities in the vicinity of the work and shall locate all underground facilities before beginning work. The contractor shall protect all utility facilities and repair any damages resulting from their work in conformance with the contract documents and specifications and relocate if required at no cost to the owner.
7. The contractor shall stake the sanitary sewer system and the storm sewer system and shall notify the engineer of any conflicts prior to installation of any pipe.
8. Manholes shall be in conformance with FDEP Standards.
9. Gravity sewer mains shall be 8 inch SDR 26 PVC. Minimum slope shall be 0.40%.
10. Class B, Type I bedding at a minimum of 8" shall be used for this project unless indicated otherwise on the drawings or directed by the engineer and cleared by the TOWN OF HILLIARD.
11. Backfilling shall be made with clean backfill which shall be thoroughly compacted in 6" lifts. Compaction shall be a minimum of 95K max density at +/- 2% of the modified proctor optimum moisture content.
12. Unsuitable materials under sewer pipe shall be removed and replaced with selected backfill properly compacted. The material should exhibit moisture contents within +/- 2 percent of the modified proctor optimum moisture content (ASTM D1557) during the compaction operations. Compaction should continue until densities of at least 95 percent of the modified proctor maximum dry density (ASTM D 1557) have been achieved.
13. Contractor shall notify the utility company a minimum of two days prior to connection of force main to the existing line. All new work must be inspected by the engineer. No tests shall be scheduled for weekends. Any change from the technical requirements must be reviewed and approved by the engineer and owner.
14. Lateral separation of at least 10 feet shall be maintained between water and sewer lines. Where vertical separation is less than 18", sewer lines shall be encased in concrete or cast iron pipe used in lieu of PVC pipe for a distance of 10 feet on either side of crossing.
15. All sewer construction shall be accomplished by an underground utility contractor licensed under Chapter 489 F.S.
16. All pipe lengths are horizontal distances and are approximate.
17. All sanitary sewer mains shall terminate approximately 5 feet outside the building unless otherwise noted. The end of these service lines shall be tightly plugged or capped and marked until such time as connection is made inside the building.
18. The Contractor shall perform a television inspection of the sewer system. Two full reports, including video tape, shall indicate conditions of the pipe, location, type of pipe, diameter, location of services, type of joint, distance between manholes and any irregularities in the pipeline. The television inspection shall include a deflection test with a 5/8" mandrel. The sewer lines shall be lapped as part of the final inspection. TOWN OF HILLIARD WILL BE ONSITE FOR INSPECTION. TOWN OF HILLIARD will allow only 0.25" dip within 7 feet. No exposed rubber will be approved.
19. The Contractor shall coordinate the location, size and invert elevations of sanitary sewer services with the approved plumbing plans for the building.
20. Contractor shall provide, to the Engineer, a schedule of invert elevations of all sanitary manholes prior to the placement of the limerock base course. This schedule is to be provided by the registered land surveyor submitting the "as-built" drawings for this project.
21. Contractor shall provide to the engineer a schedule of invert elevations of all sanitary manholes prior to placement of the limerock base course. This schedule is to be provided by the registered land surveyor submitting the as-built drawings for this project.

AS-BUILT REQUIREMENTS

Contractor shall provide complete as-built information to the project engineer in accordance with the following requirements and in accordance with the TOWN OF HILLIARD As-Built Requirements Checklist

- 1. As-built drawings shall be prepared in AutoCAD format by a registered land surveyor. One set of signed mylars and a set of computer disks of the project shall be submitted to the Engineer for review and approval. Signed and sealed prints shall be provided to the Engineer as requested.
2. As-built drawings shall be in accordance with all authorities having jurisdiction. Contractor shall coordinate as-built submittals and approvals with jurisdictional agencies unless otherwise directed by the Project Engineer.
3. Provide building locations, finish floor elevations, pavement grades and all underground facilities.
4. Provide perimeter dimensions at top of bank and at bottom of pond. Provide elevations at top of bank and bottom of pond.
5. Provide special detail drawings where installations were not as shown on contract drawings due to field conditions or where required for clarity.
6. Provide location, elevation and description of benchmark(s).
7. Locate and provide elevations of all structures. Location of all structures shall be from two (2) directions.
8. Locate all pipes and provide size, elevation, invert elevations, length and type.
9. Provide dimensions and elevations of the pond outfall structure(s).
10. Water as-builts shall indicate the location of bacteriological sample points. Sample points shall be indicated in red or pink.
11. The as-builts shall include a detail of every crossing of the new water main with gravity sewers, force mains and storm pipes clearly shown & indicating the vertical clearances at each crossing. Details shall be furnished for parallel runs where the horizontal separation is less than 10 feet.
12. The centering of uncut lengths of pipe at points of crossing shall be documented on the as-builts and mitigating construction measures clearly depicted in cases where a minimum of 18" of vertical clearance between the water and sewer (including storm) lines is not possible.

CIVIL ENGINEERING, LLC
9526 ARCYLE FOREST BLVD, UNIT B2 #456 JACKSONVILLE, FL 32222
904-885-0188

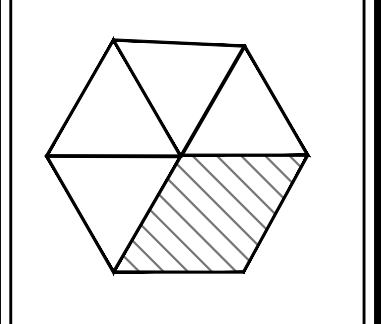


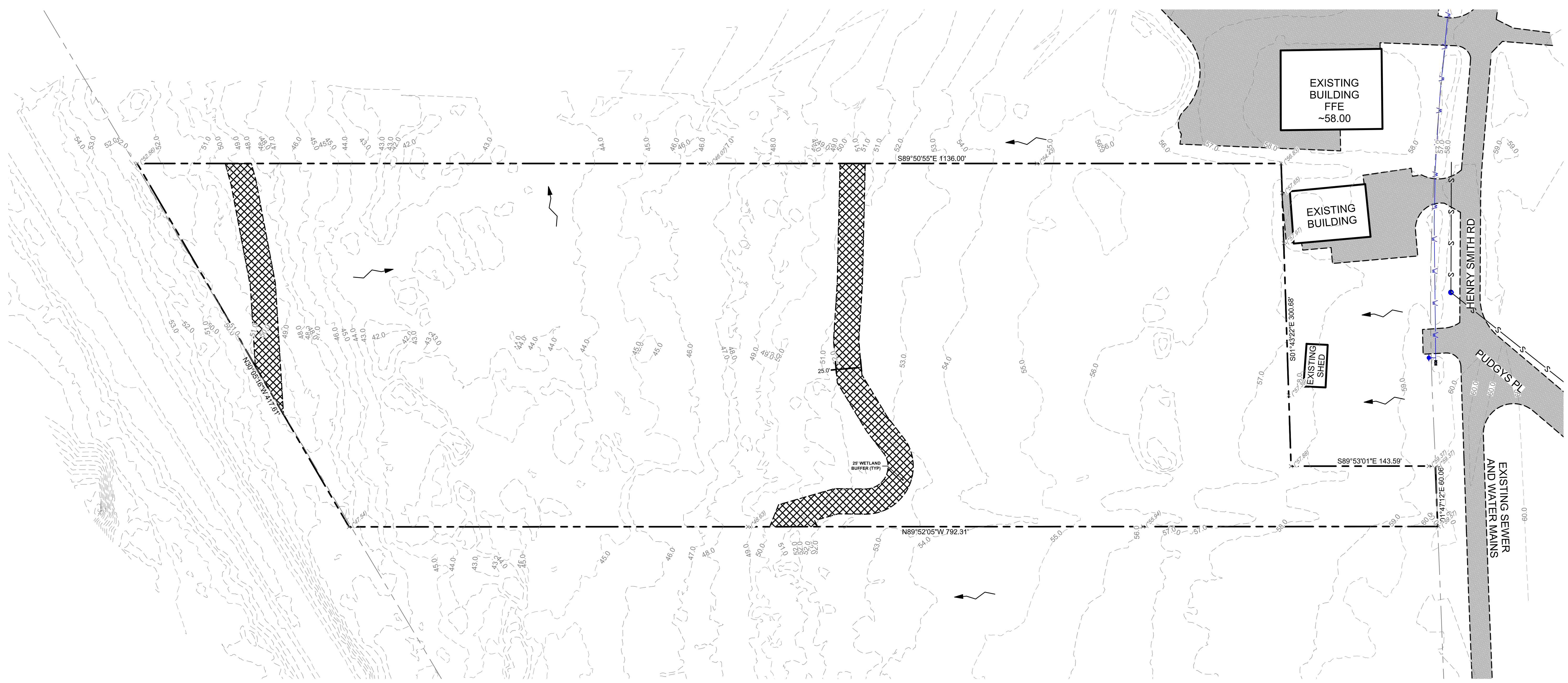
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Table with 2 columns: DESCRIPTION, DATE

CLIENT: FLORIDA INFRASTRUCTURE
PROJECT ADDRESS: HENRY SMITH RD HILLIARD, FLORIDA

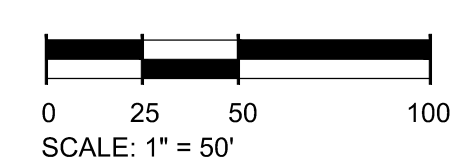
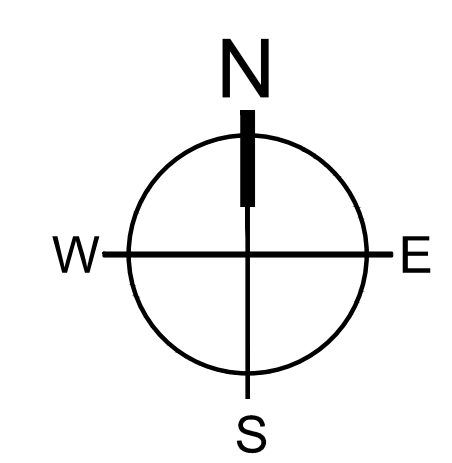
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SHEET TITLE: GENERAL NOTES
DESIGN: REVIEWED:
DRAWN:
SCALE: AS SHOWN DATE: 12/16/23
PROJECT NUMBER: 2023-1216



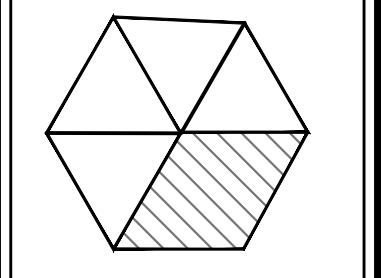


LEGEND

- PROPERTY LINE
- 90 EXISTING GRADE
- EXISTING SPOT ELEVATION
- DRAINAGE FLOW ARROW



P²
CIVIL ENGINEERING, LLC
 9526 ARCYLE FOREST BLVD,
 UNIT B2 #456
 JACKSONVILLE, FL 32222
 904-885-0188



FLORIDA
 LICENSED PROFESSIONAL ENGINEER
 PAUL A. TALBERT
 License No. 78666

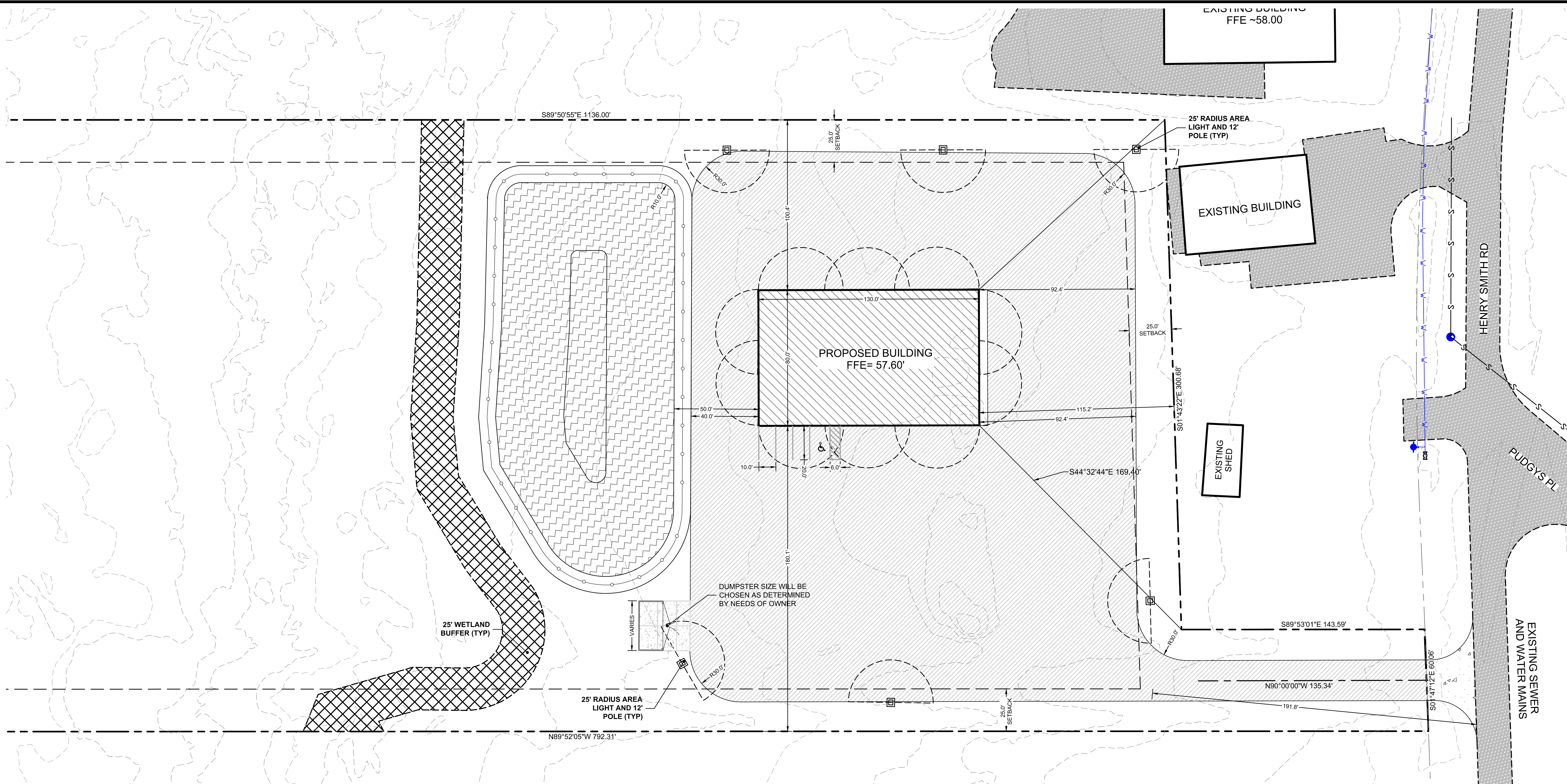
REV. NO.	DESCRIPTION	DATE

CLIENT
FLORIDA INFRASTRUCTURE
 PROJECT ADDRESS
 HENRY SMITH RD
 HILLIARD, FLORIDA

PROJECT TITLE
FL INFRA TRUCK SHOP
 SHEET TITLE
EXISTING CONDITIONS

DESIGN:	REVIEWED:
DRAWN:	
SCALE: AS SHOWN	DATE: 12/16/23

C2.0
 PROJECT NUMBER
 2023-1216

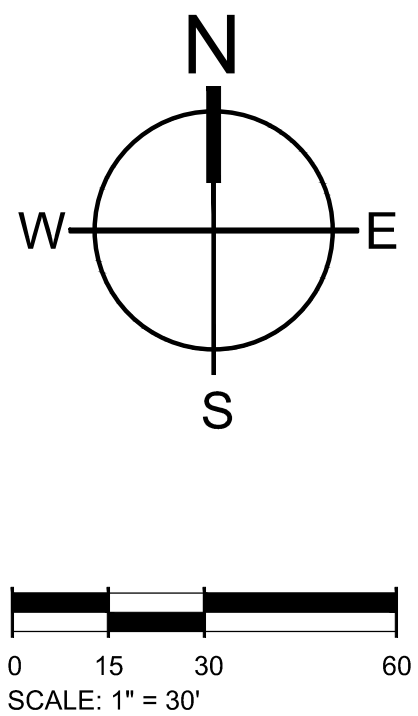


LEGEND

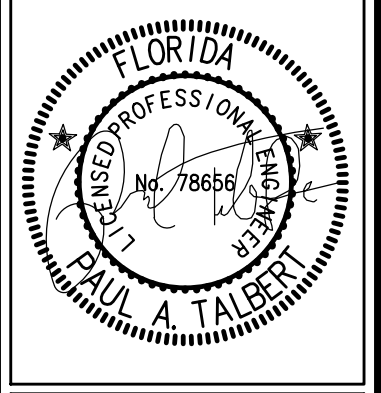
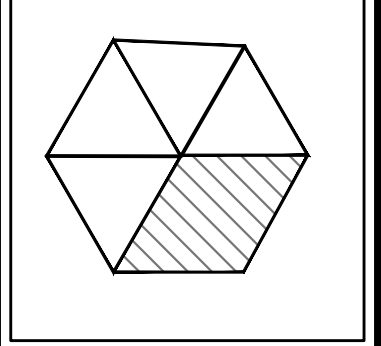
- PROPERTY LINE
- ASPHALT CONCRETE= 82,002 S.F.
- WET POND = 18,314 S.F.
- CONCRETE= 925 S.F.
- WETLAND BUFFER

DATA SUMMARY TABLE: 0 HENRY SMITH RD, HILLIARD

TOTAL SITE AREA (AC):	8.78 AC / 382,456 SF
TOTAL BUILDINGS:	1
TOTAL BUILDING AREA (SF):	0.23 AC / 10,400 SF
% BUILDING COVERAGE TO SITE AREA:	2.7%
TOTAL IMPERVIOUS PERCENTAGE:	23.6%
EXISTING ZONING:	HILLIARD - M-1
TOTAL PARKING SPACES:	N/A
VEHICLE PARKING SPACE SIZE:	N/A
REAL ESTATE NO.:	16-3N-24-0000-0024-0000
STORMWATER MANAGEMENT:	ONSITE
STORMWATER MANAGEMENT AREA (AC):	0.51 AC (5.8%)
ELECTRICAL SERVICE:	FPL
FIRE PROTECTION:	PER NFPA REQUIREMENTS
NEAREST FIRE HYDRANT:	125' N OF ENTRANCE DRIVE
BOCC AND FIRE DISTRICT NO.:	D4
FEMA FLOOD PANEL NO.:	12089C0145F
FLOOD ZONE:	ZONE 'X' AND 'A'
PARK AREA / OPEN SPACE:	N/A
TRAFFIC COUNT:	PER ITE 9TH ED. - TBD
UTILITIES:	PUMP STATION AND FORCE MAIN CONNECTION TO EXISTING TOWN OF HILLIARD SEWER MANHOLE; WATER MAIN WITHIN HENRY SMITH RD
SETBACKS:	25' FRONT, 30' REAR 25' SIDES (SUM)
MAX BLDG HT:	30' (MAX HT TO EAVES)



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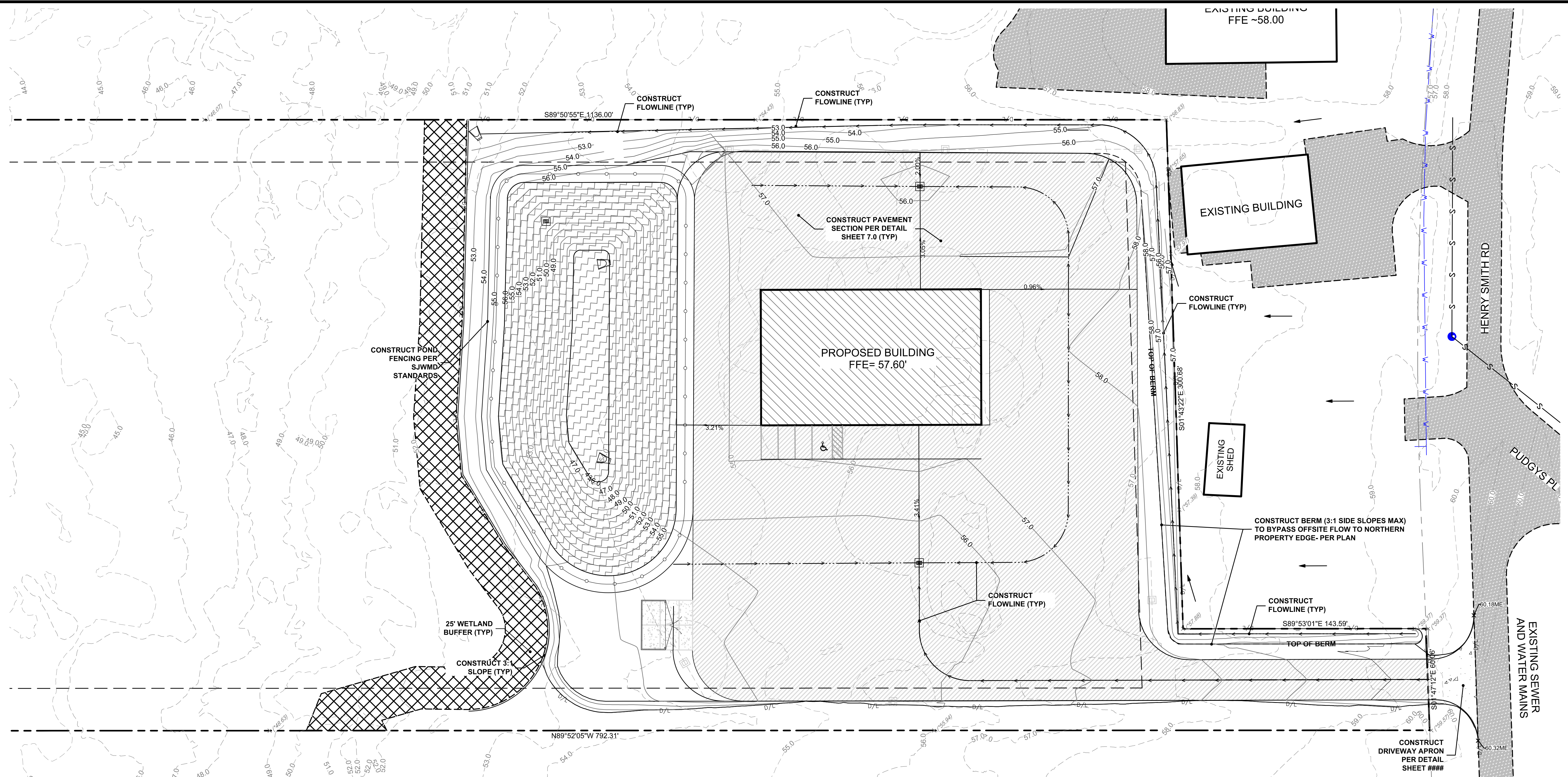
NO.	DESCRIPTION	DATE

CLIENT
FLORIDA INFRASTRUCTURE
 PROJECT ADDRESS
 HENRY SMITH RD
 HILLIARD, FLORIDA

PROJECT TITLE
FL INFRA TRUCK SHOP
SHEET TITLE
SITE PLAN

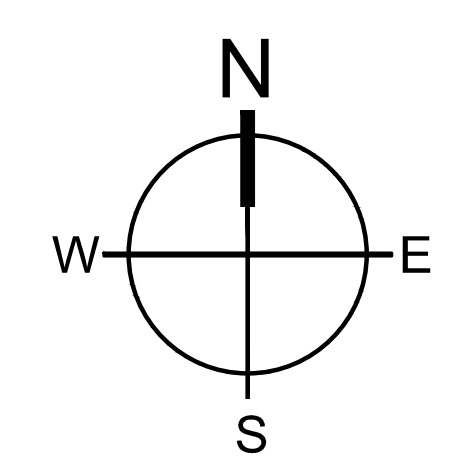
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SCALE: AS SHOWN	DATE: 12/16/23

C3.0
 PROJECT NUMBER
 2023-1216

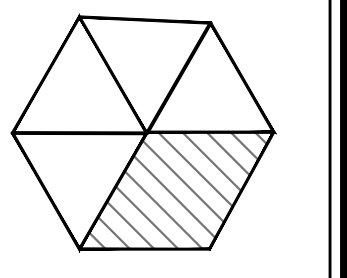


LEGEND

- PROPERTY LINE
- - - 90 - - - EXISTING GRADE
- 90 — FINISHED GRADE
- dL- GRADING DAYLIGHT LINE
- TC=720.00
FC=719.15 TOP OF CURB
FACE OF CURB
- 720.00HP HIGH POINT ELEVATION
- TG = 720.00 TOP OF GRATE
- 720.00FS FINISHED SURFACE
- FFE=720.00 FINISHED FLOOR ELEVATION
- 720.00ME MATCH EXISTING
- MH=720.00 MANHOLE
- D720.00 DIRT



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 JACKSONVILLE, FL 32222
 904-885-0188



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 LICENSED PROFESSIONAL ENGINEER
 PAUL A. TALBERT
 License No. 7866

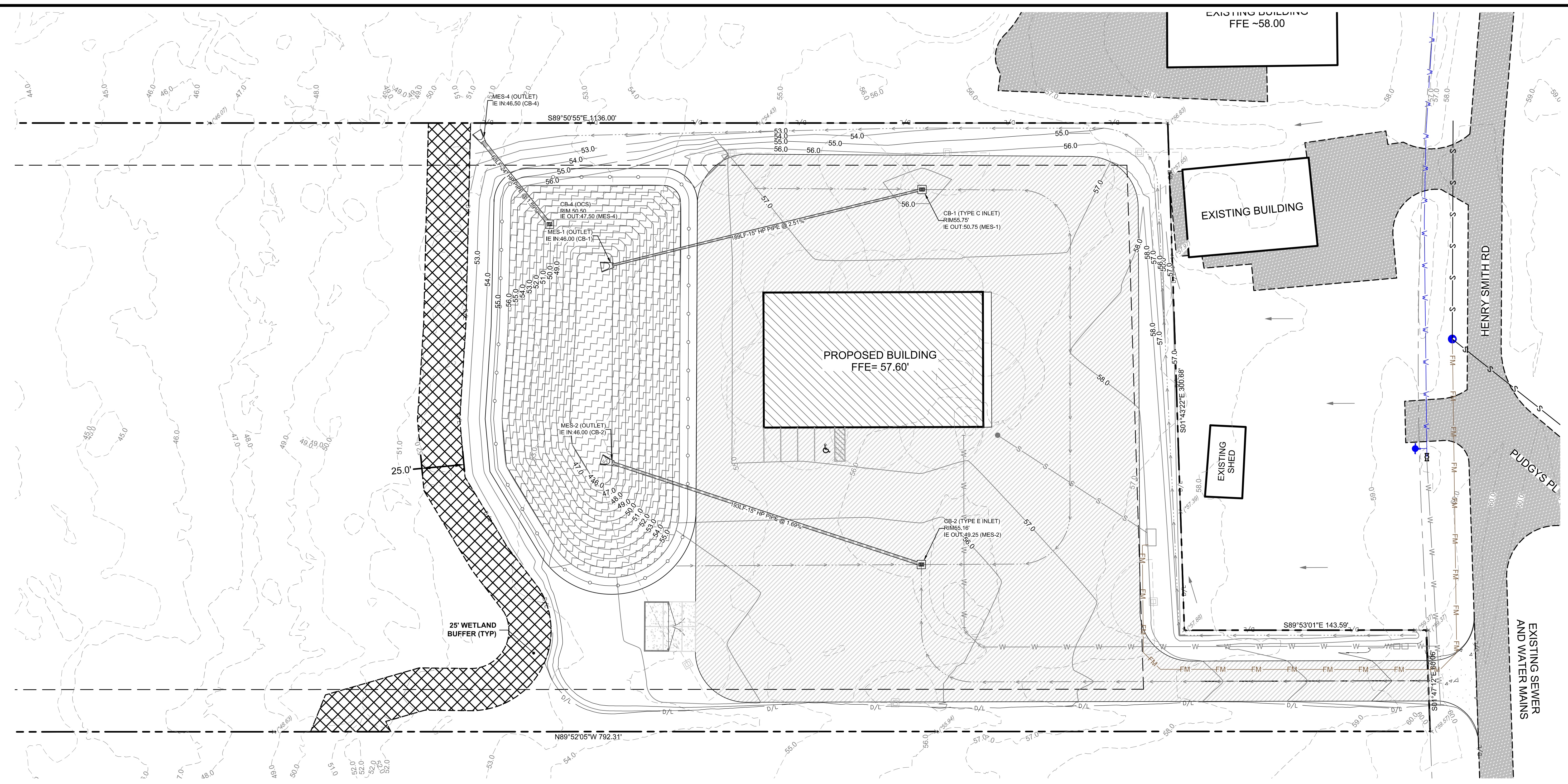
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CLIENT
FLORIDA INFRASTRUCTURE
 PROJECT ADDRESS
 HENRY SMITH RD
 HILLIARD, FLORIDA

PROJECT TITLE
FL INFRA TRUCK SHOP
SHEET TITLE
GRADING PLAN

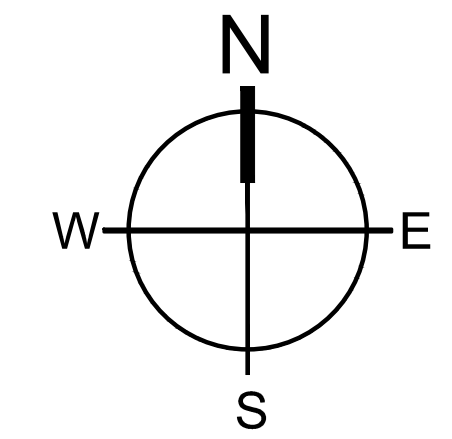
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DRAWN:	
SCALE: AS SHOWN	DATE: 12/16/23

C4.0
 PROJECT NUMBER
 2023-1216

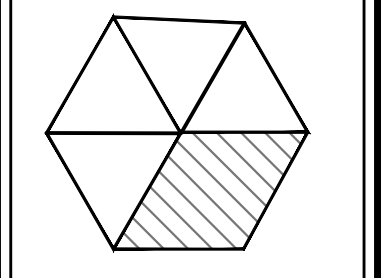


LEGEND

- PROPERTY LINE
- EXISTING GRADE
- FINISHED GRADE
- GRADING DAYLIGHT LINE



P²
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 9526 ARCYLE FOREST BLVD.
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 JACKSONVILLE, FL 32222
 904-885-0188



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 LICENSED PROFESSIONAL ENGINEER
 PAUL A. TALBERT
 License No. 78666

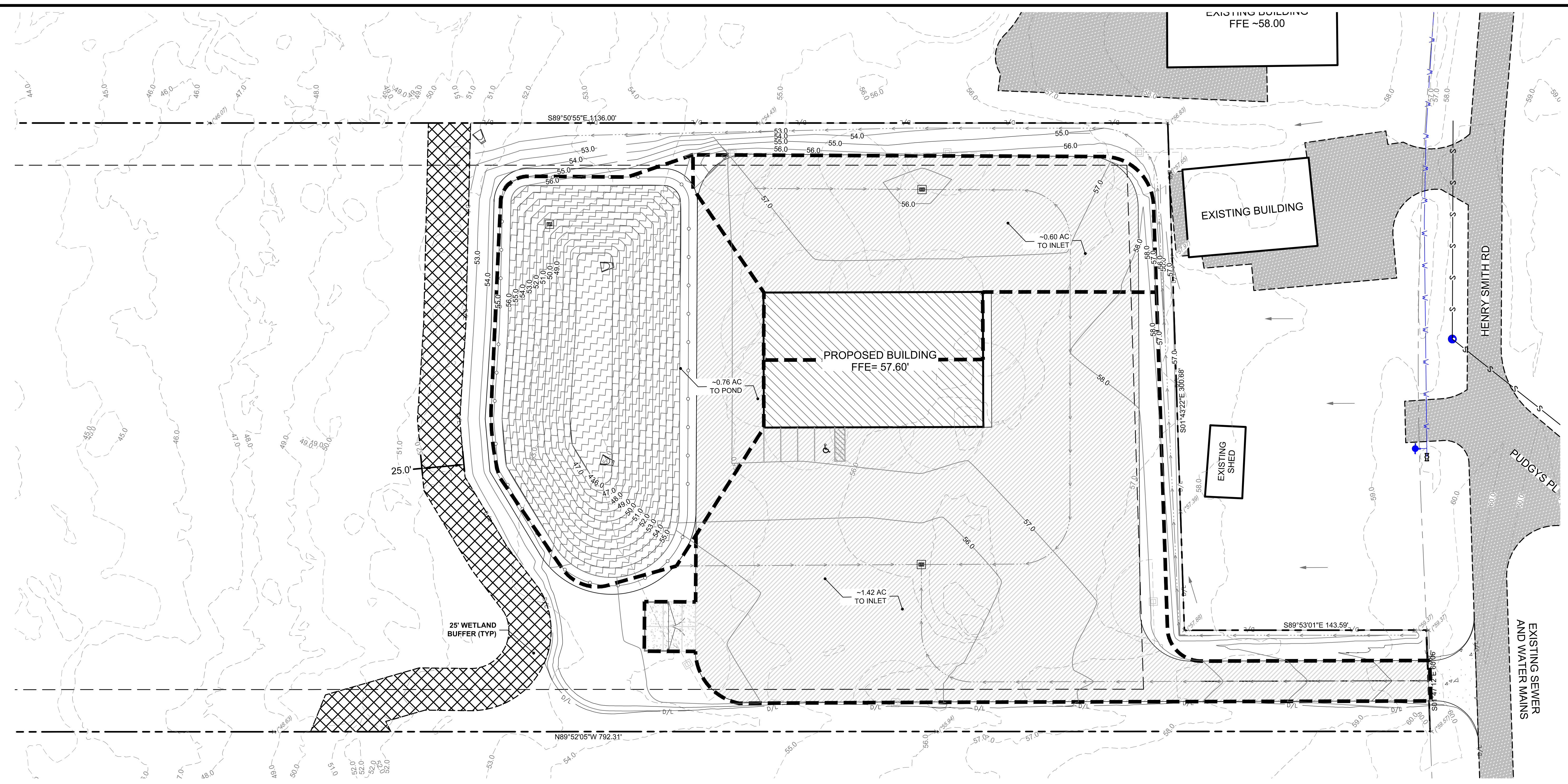
NO.	DESCRIPTION	DATE

CLIENT
FLORIDA INFRASTRUCTURE
 PROJECT ADDRESS
 HENRY SMITH RD
 HILLIARD, FLORIDA

PROJECT TITLE
FL INFRA TRUCK SHOP
 SHEET TITLE
DRAINAGE PLAN

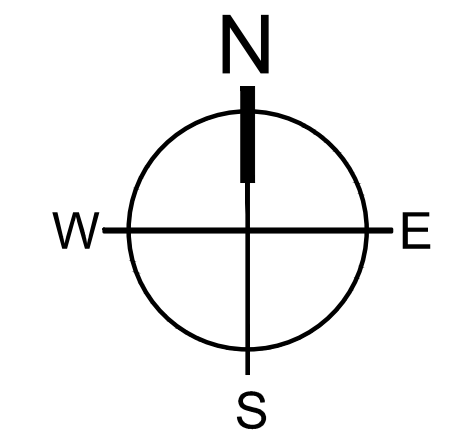
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SCALE: AS SHOWN	DATE: 12/16/23

C5.0
 PROJECT NUMBER
 2023-1216

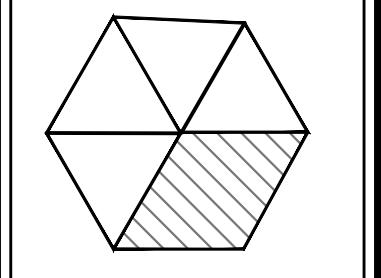


LEGEND

- PROPERTY LINE
- EXISTING GRADE
- FINISHED GRADE
- GRADING DAYLIGHT LINE



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 9526 ARCYLE FOREST BLVD.
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 904-885-0188



FLORIDA
 LICENSED PROFESSIONAL ENGINEER
 PAUL A. TALBERT

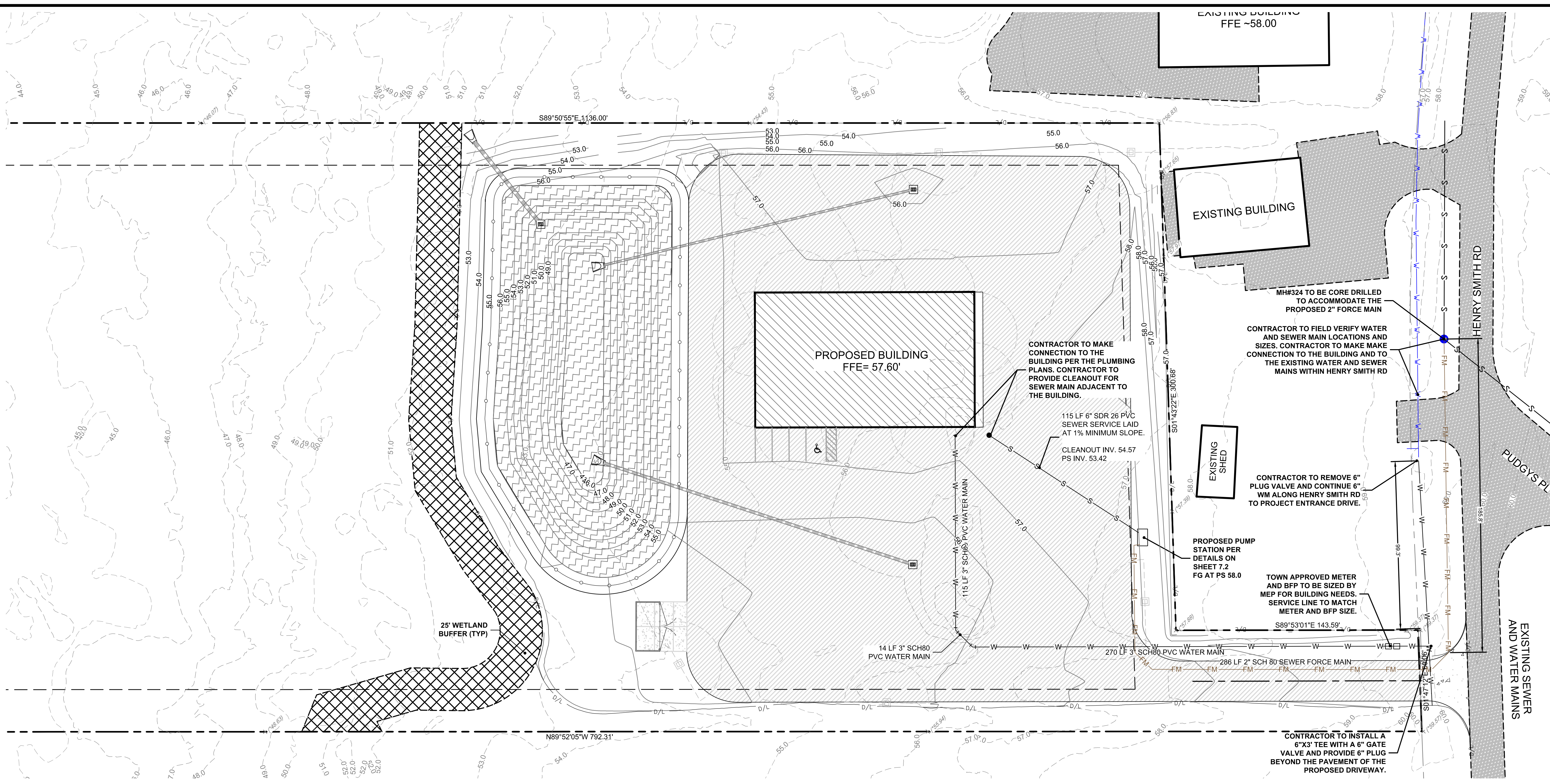
NO.	DESCRIPTION	DATE

CLIENT
FLORIDA INFRASTRUCTURE
 PROJECT ADDRESS
 HENRY SMITH RD
 HILLIARD, FLORIDA

PROJECT TITLE
FL INFRA TRUCK SHOP
SHEET TITLE
POST DEVELOPMENT PLAN

DESIGN:	REVIEWED:
DRAWN:	
SCALE: AS SHOWN	DATE: 12/16/23

C5.1
 PROJECT NUMBER
 2023-1216



CONTRACTOR REQUIRED TO NOTIFY TOWN OF HILLIARD PRIOR TO INSTALLATION OF WATER TAP OR SEWER CONNECTION. ANY BYPASS PUMPING IS THE RESPONSIBILITY OF THE CONTRACTOR AND BYPASS PUMPING PLAN AND SEQUENCE MUST BE APPROVED BY TOWN OF HILLIARD.

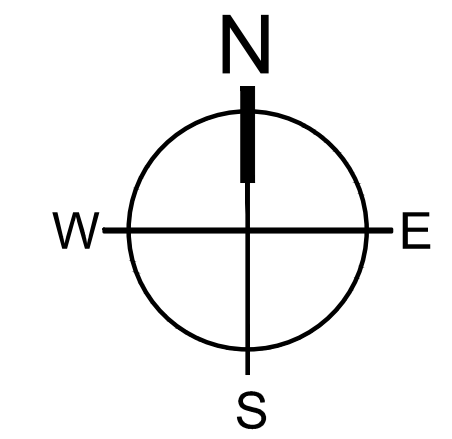
ELECTRICAL TRANSFORMER PLACEMENT TO BE COORDINATED WITH LOCAL POWER PROVIDER AT THE TIME OF CONSTRUCTION. SPACING AND CLEARANCE REQUIREMENTS SUBJECT TO LOCAL REGULATION OR JURISDICTION HAVING AUTHORITY.

NO WORK SHALL COMMENCE WITHIN TOWN OF HILLIARD R/W WITHOUT PERMIT AND NOTICE TO PROCEED GIVEN BY TOWN OF HILLIARD. CONTRACTOR MUST CONTACT TOWN OF HILLIARD 48 HOURS IN ADVANCE OF CONSTRUCTION BEGINNING.

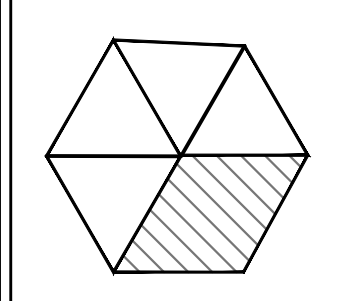
ALL UTILITY WORK TO BE PERFORMED BY A LICENSED UNDERGROUND UTILITY CONTRACTOR. ALL VERTICAL AND HORIZONTAL UTILITY SEPARATIONS MUST MEET THE REQUIREMENTS OF TOWN OF HILLIARD AND FDEP.

LEGEND

- PROPERTY LINE
- - - - - EXISTING GRADE
- 90 — FINISHED GRADE
- — — EXISTING WATER
- — — EXISTING SEWER
- W — W — PROPOSED WATER
- S — S — PROPOSED SEWER GRAVITY
- FM — FM — PROPOSED SEWER FM



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CIVIL ENGINEERING, LLC
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 JACKSONVILLE, FL 32222
 904-885-0188



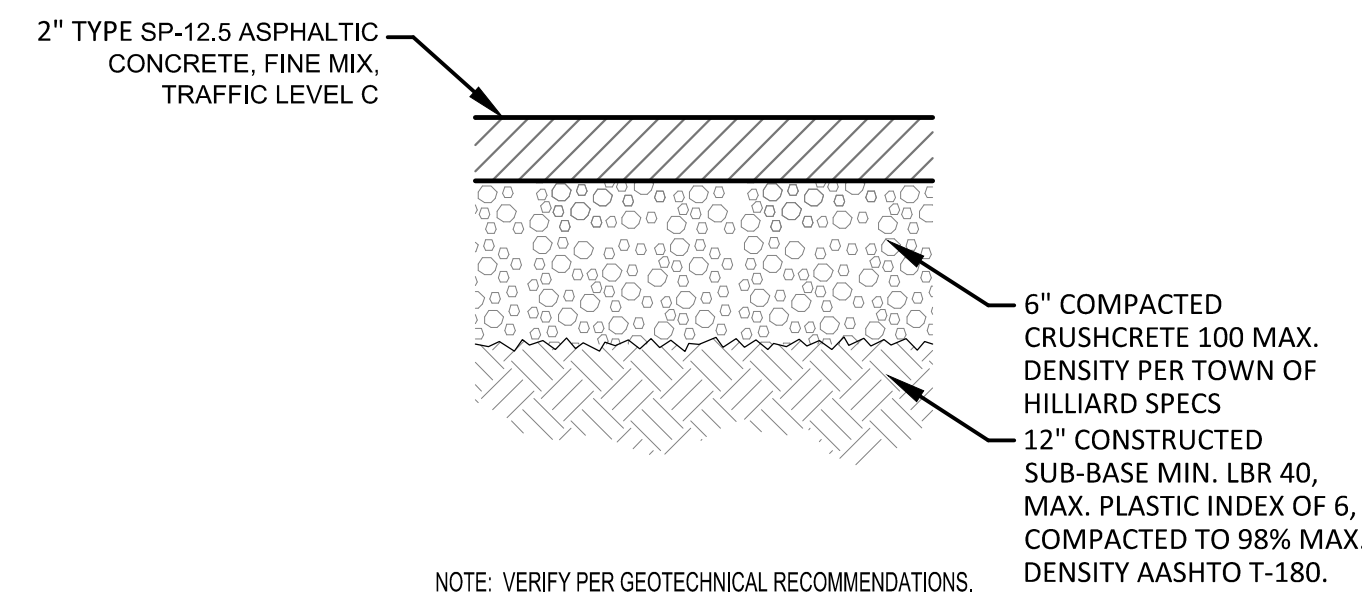
CLIENT
FLORIDA INFRASTRUCTURE
 PROJECT ADDRESS
 HENRY SMITH RD
 HILLIARD, FLORIDA

NO.	DESCRIPTION	DATE

PROJECT TITLE
FL INFRA TRUCK SHOP
 SHEET TITLE
UTILITY PLAN

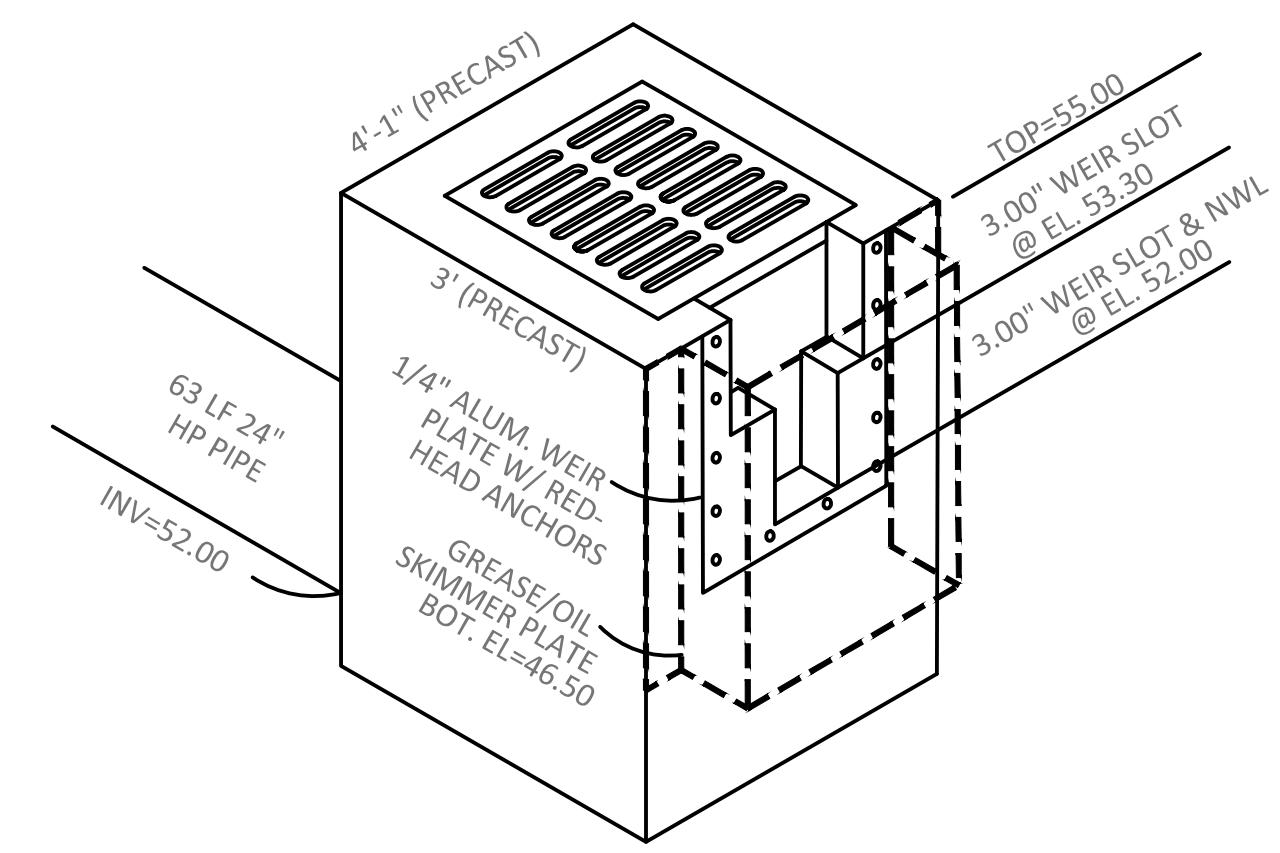
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SCALE: AS SHOWN	DATE: 12/16/23

C6.0
 PROJECT NUMBER
 2023-1216

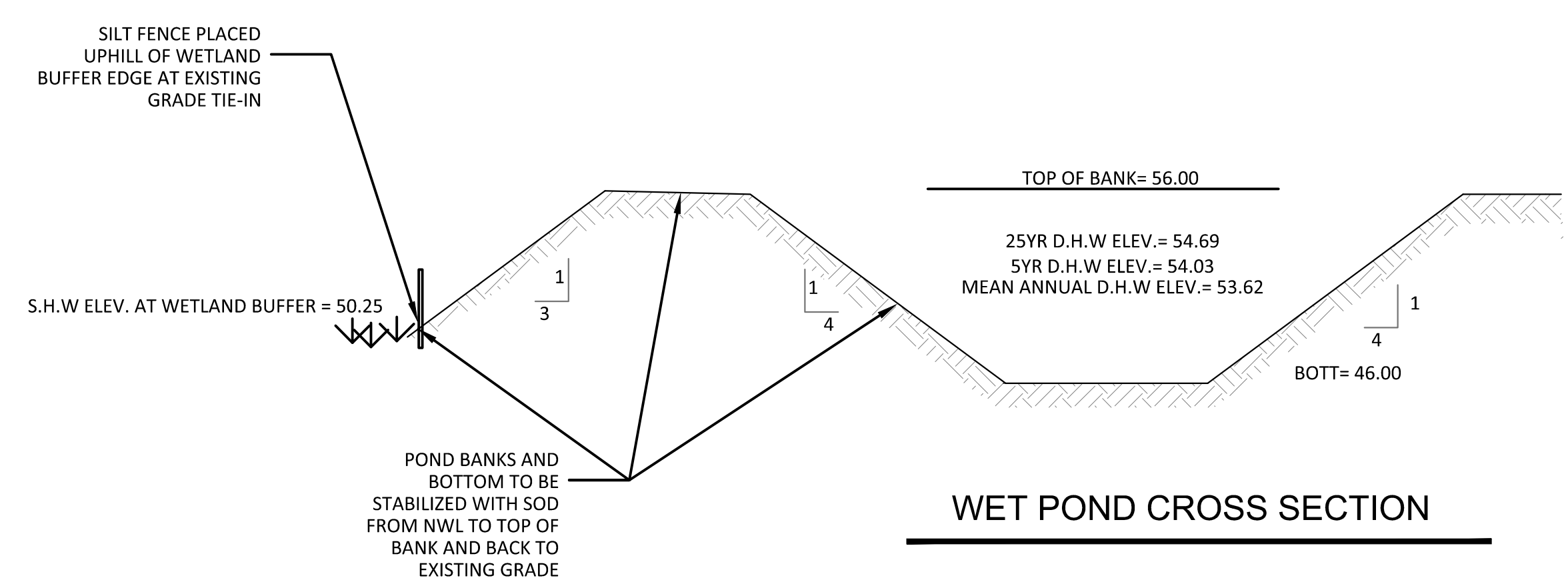


STD DUTY PAVEMENT SECTION

NOTE: VERIFY PER GEOTECHNICAL RECOMMENDATIONS.

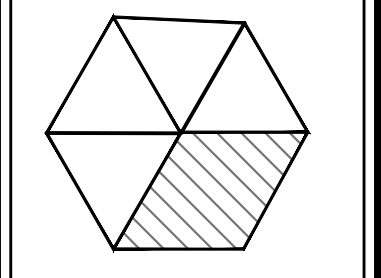


OUTFALL CONTROL STRUCTURE



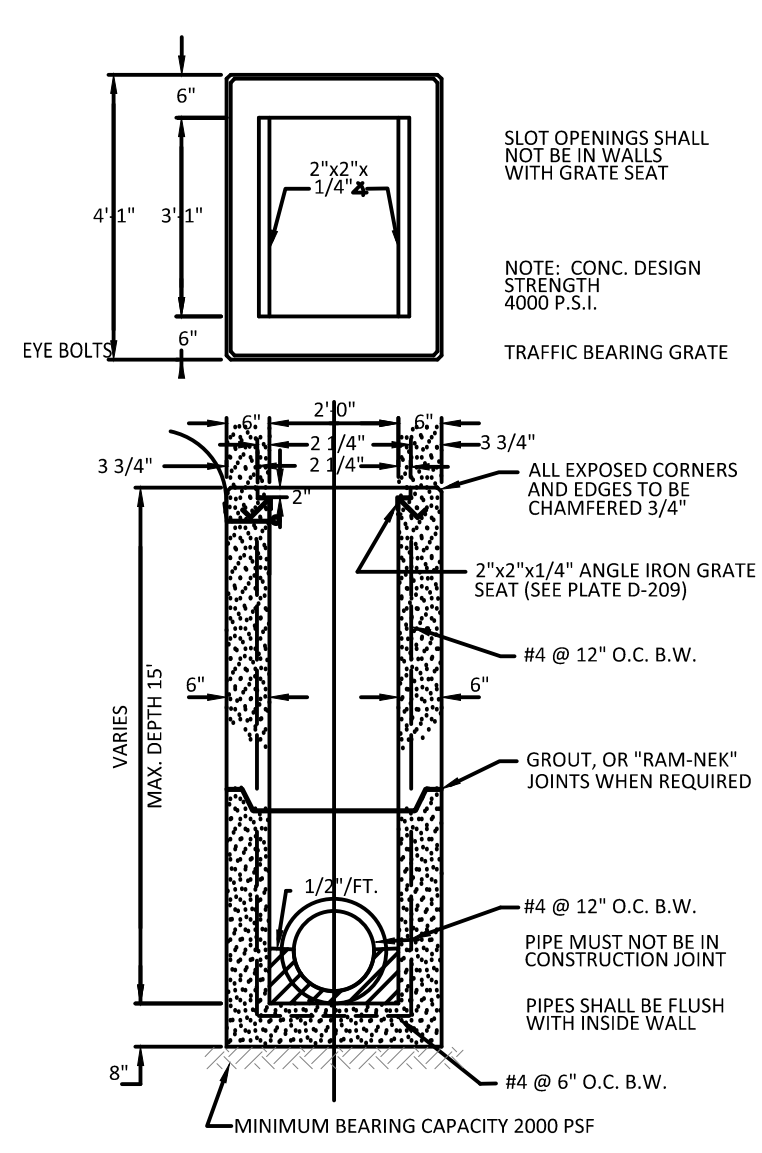
WET POND CROSS SECTION

P² CIVIL ENGINEERING, LLC
 9526 ARCYLE FOREST BLVD.
 UNIT B2 #456
 JACKSONVILLE, FL 32222
 904-885-0188

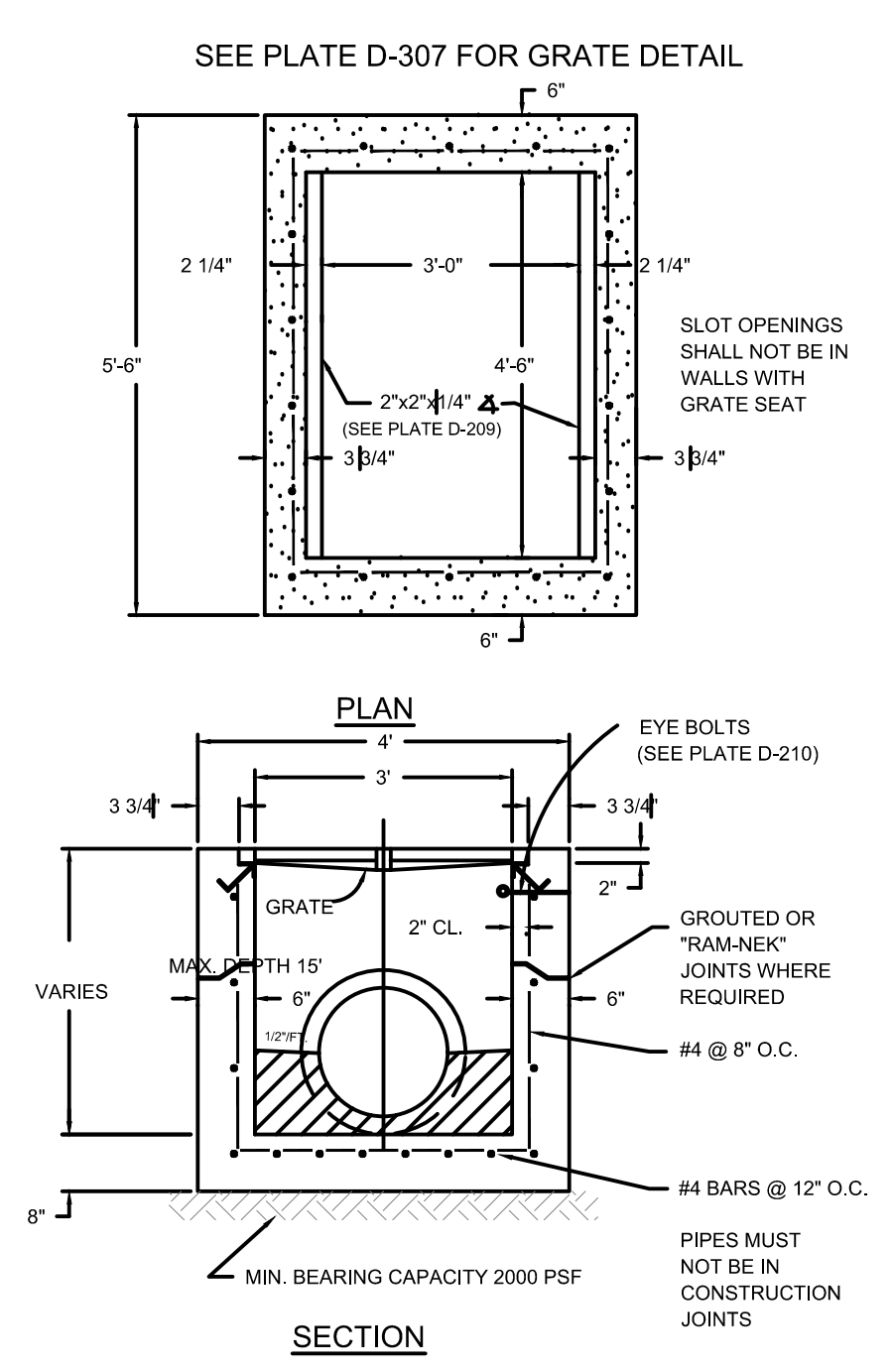


REVISIONS

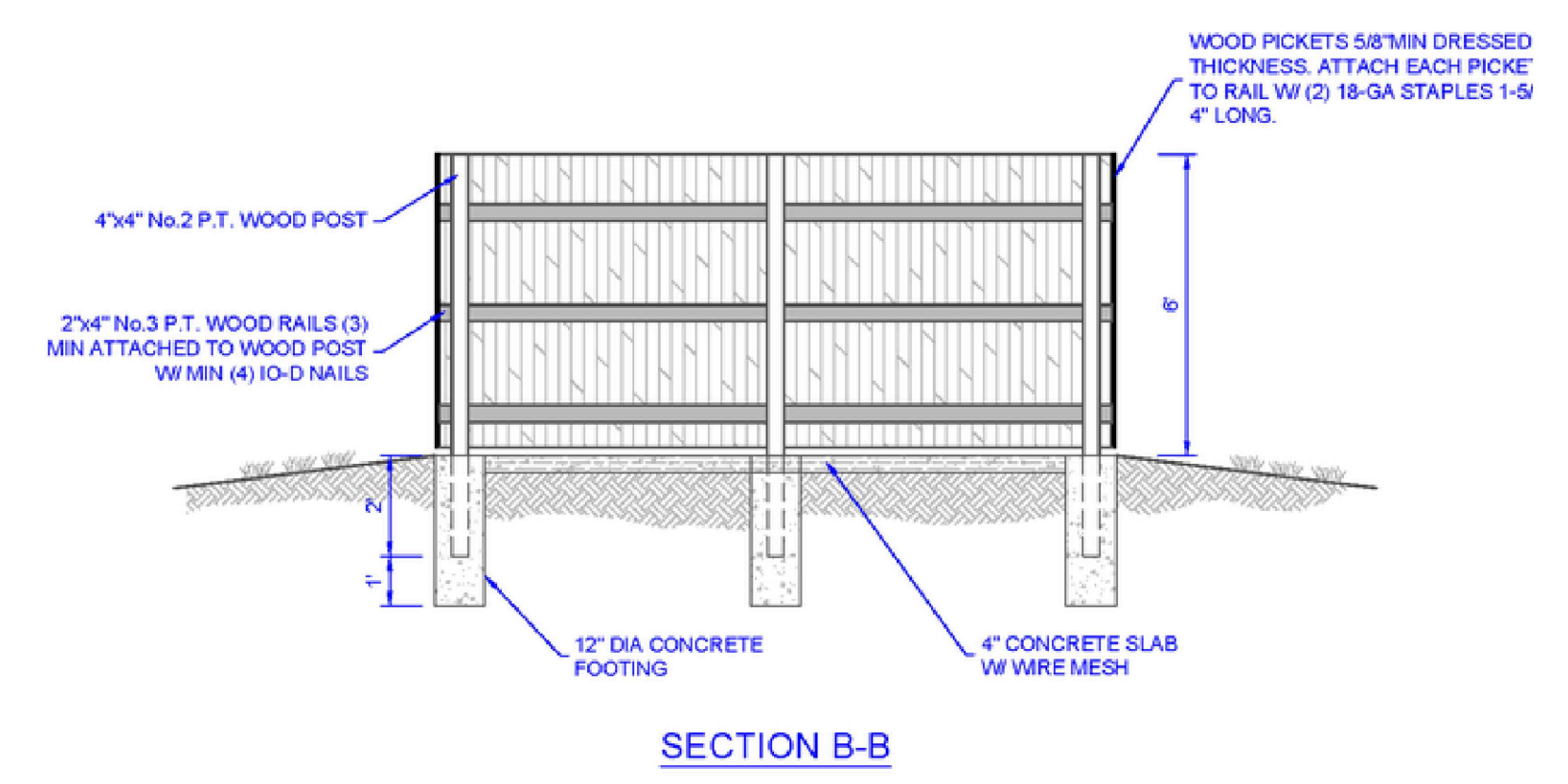
No.	DESCRIPTION	DATE



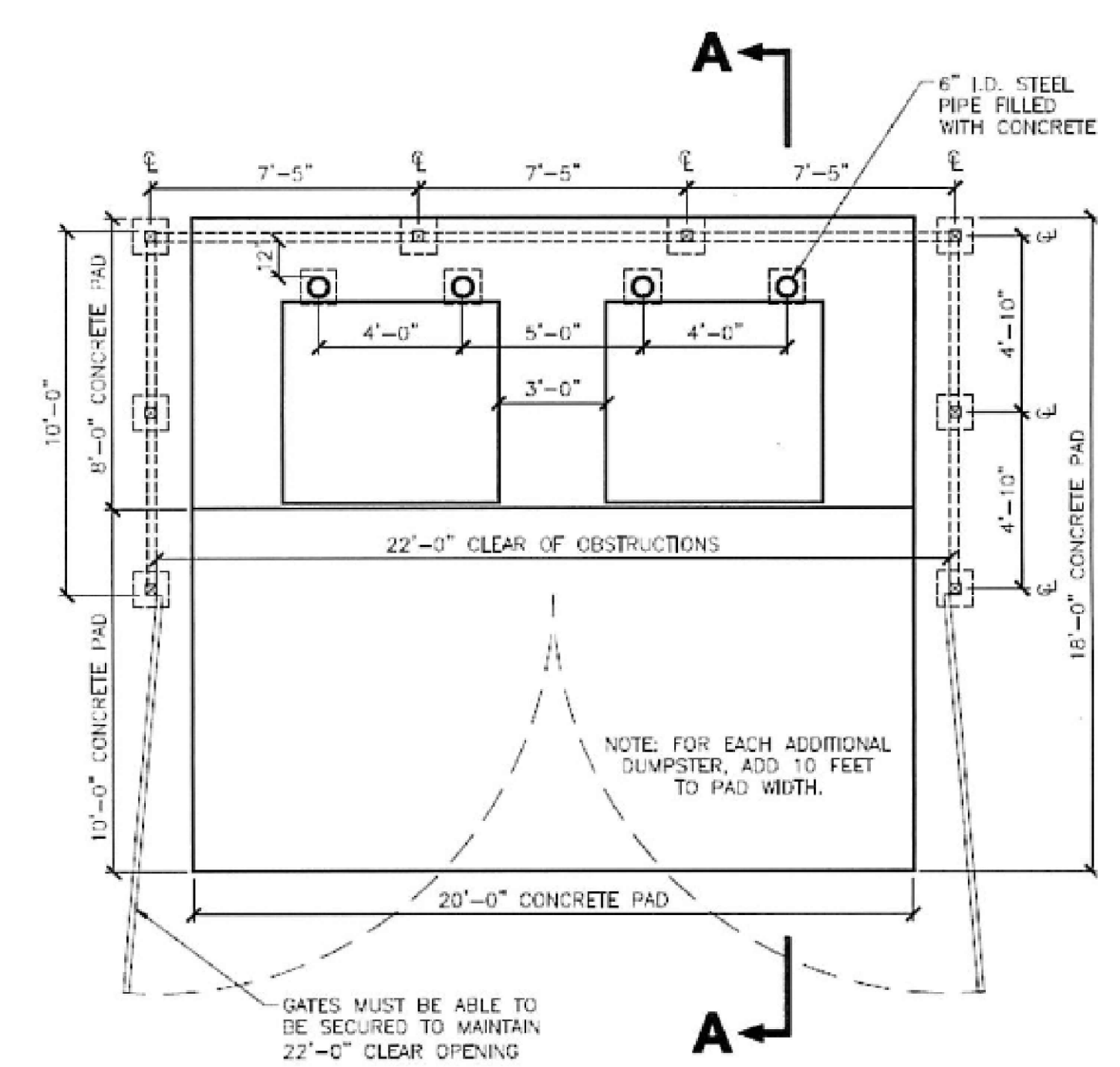
TYPE 'C' INLET



TYPE 'E' INLET



SECTION B-B



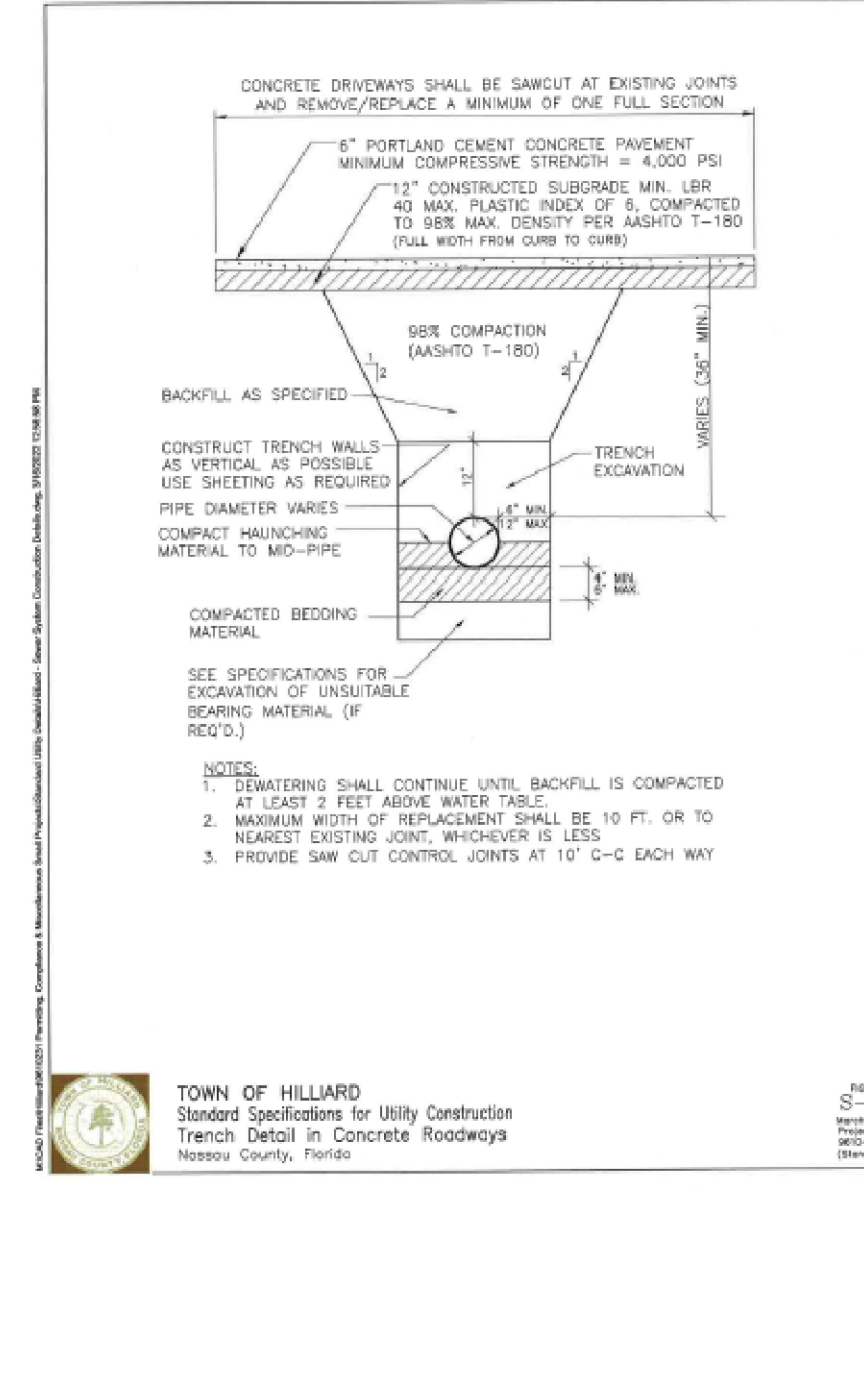
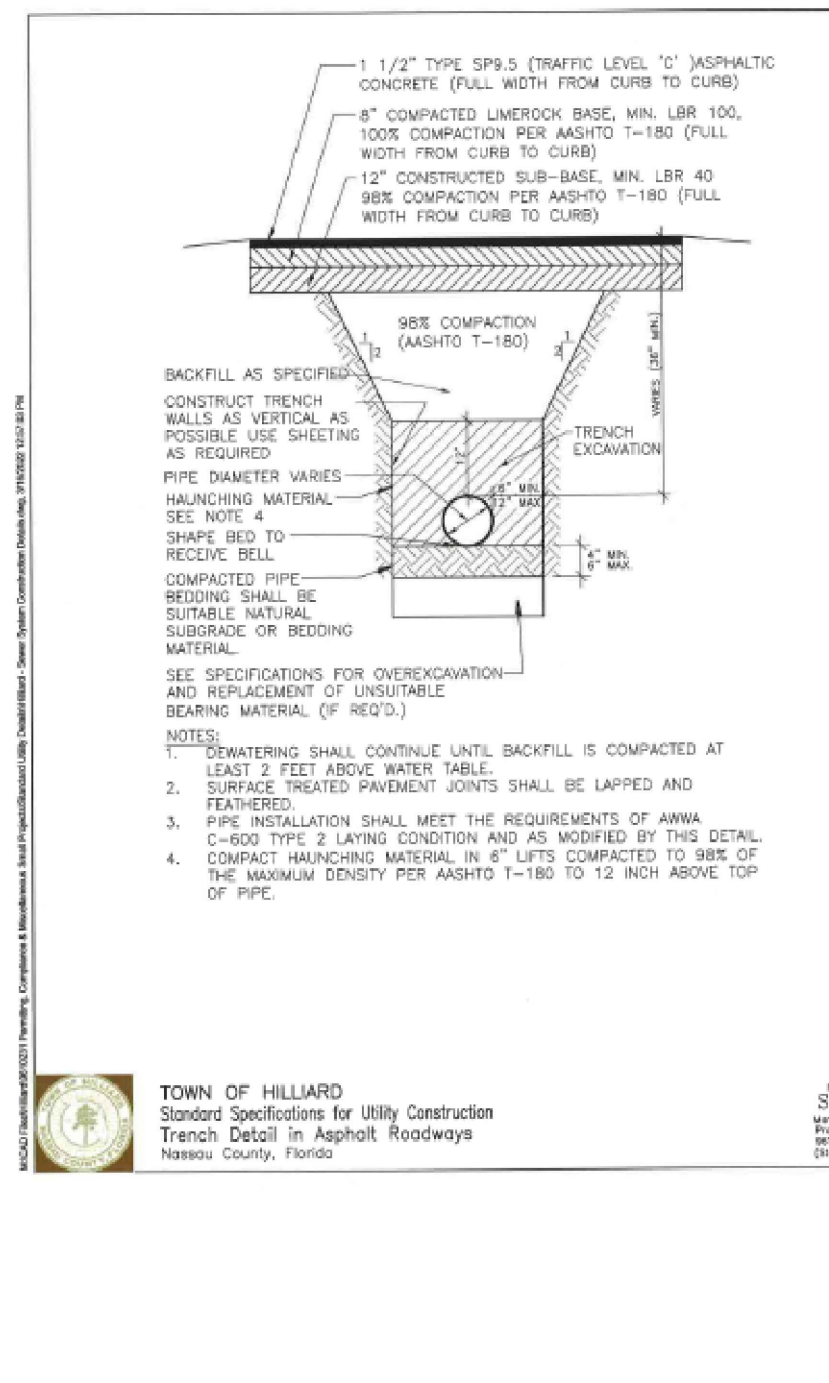
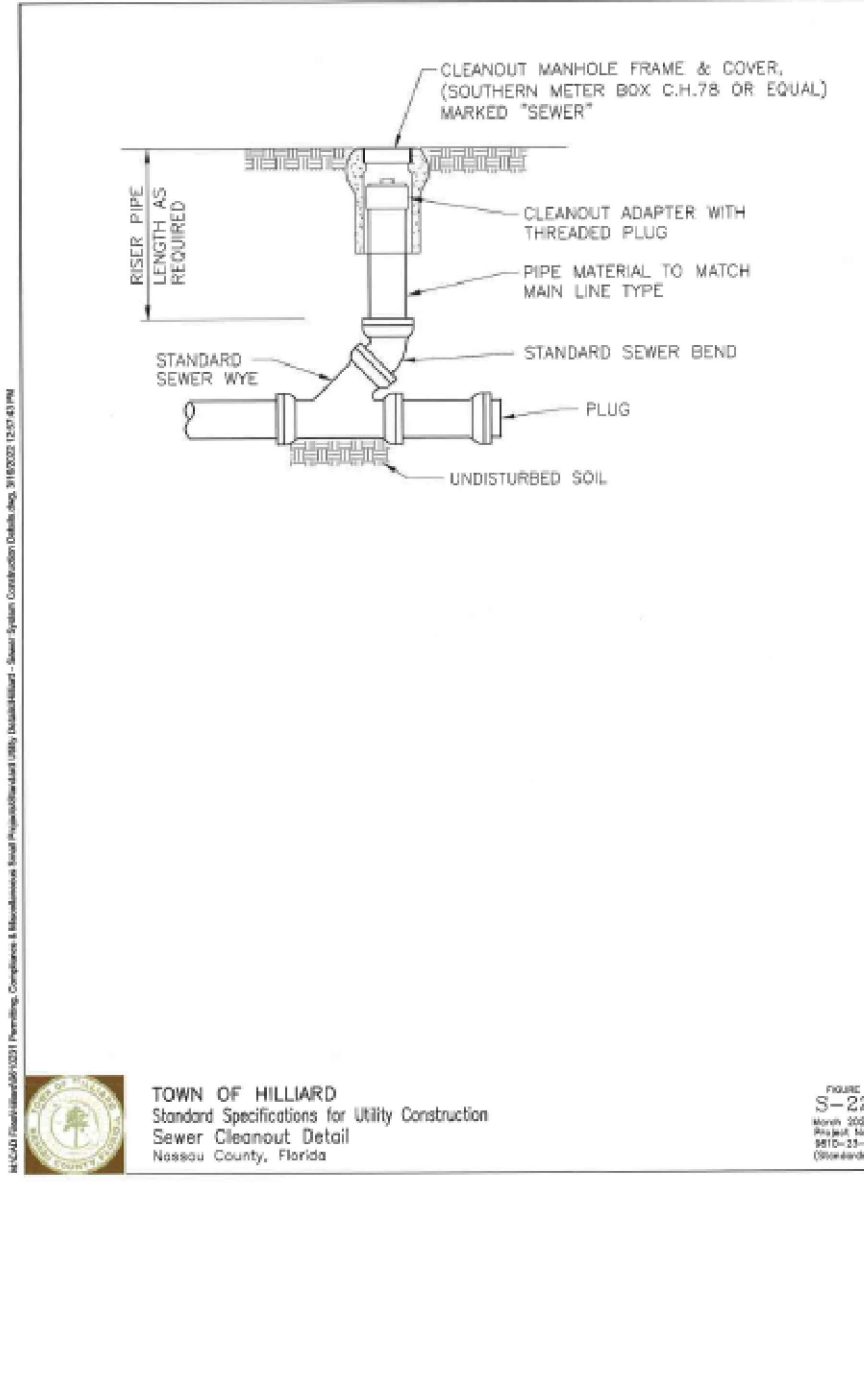
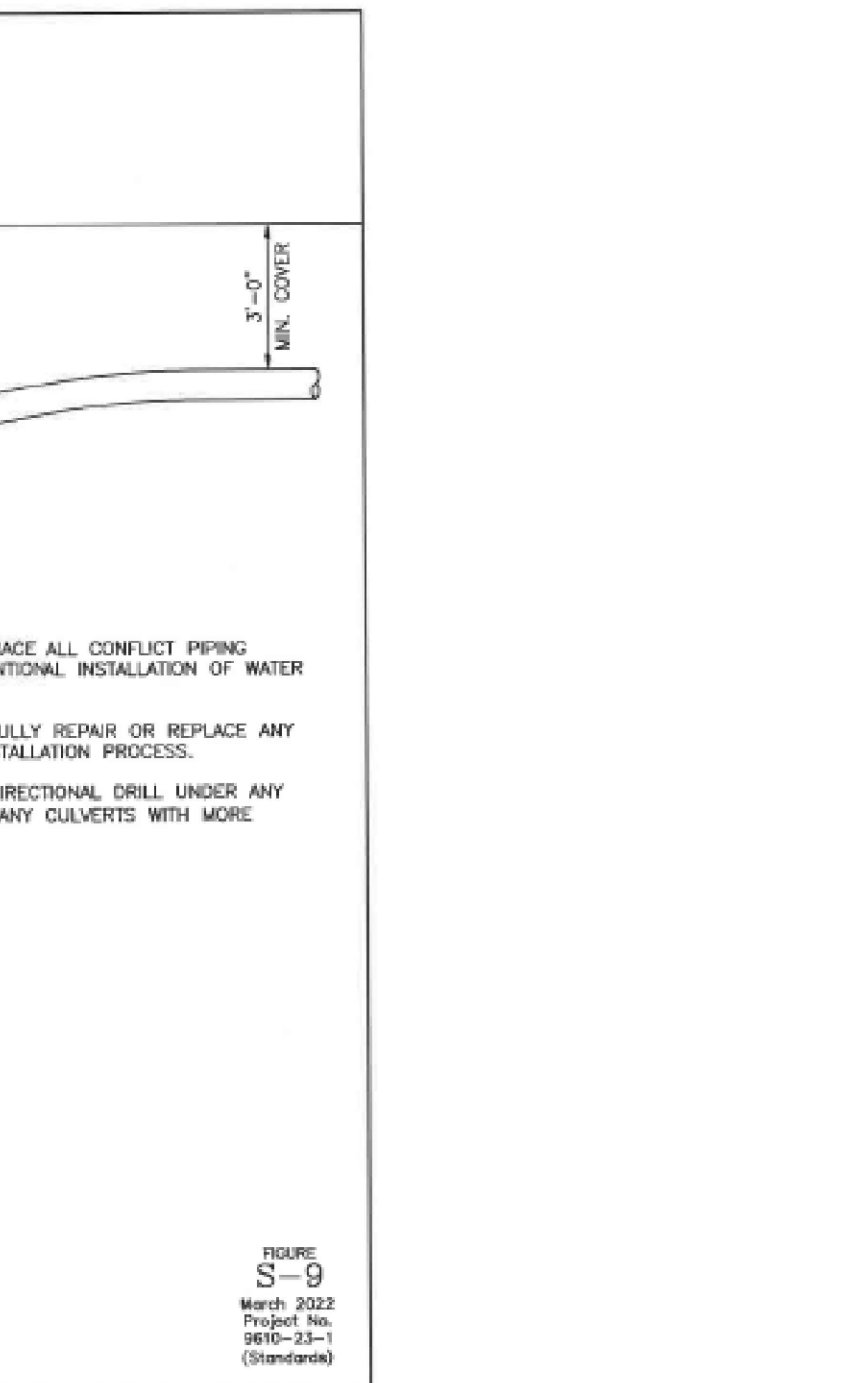
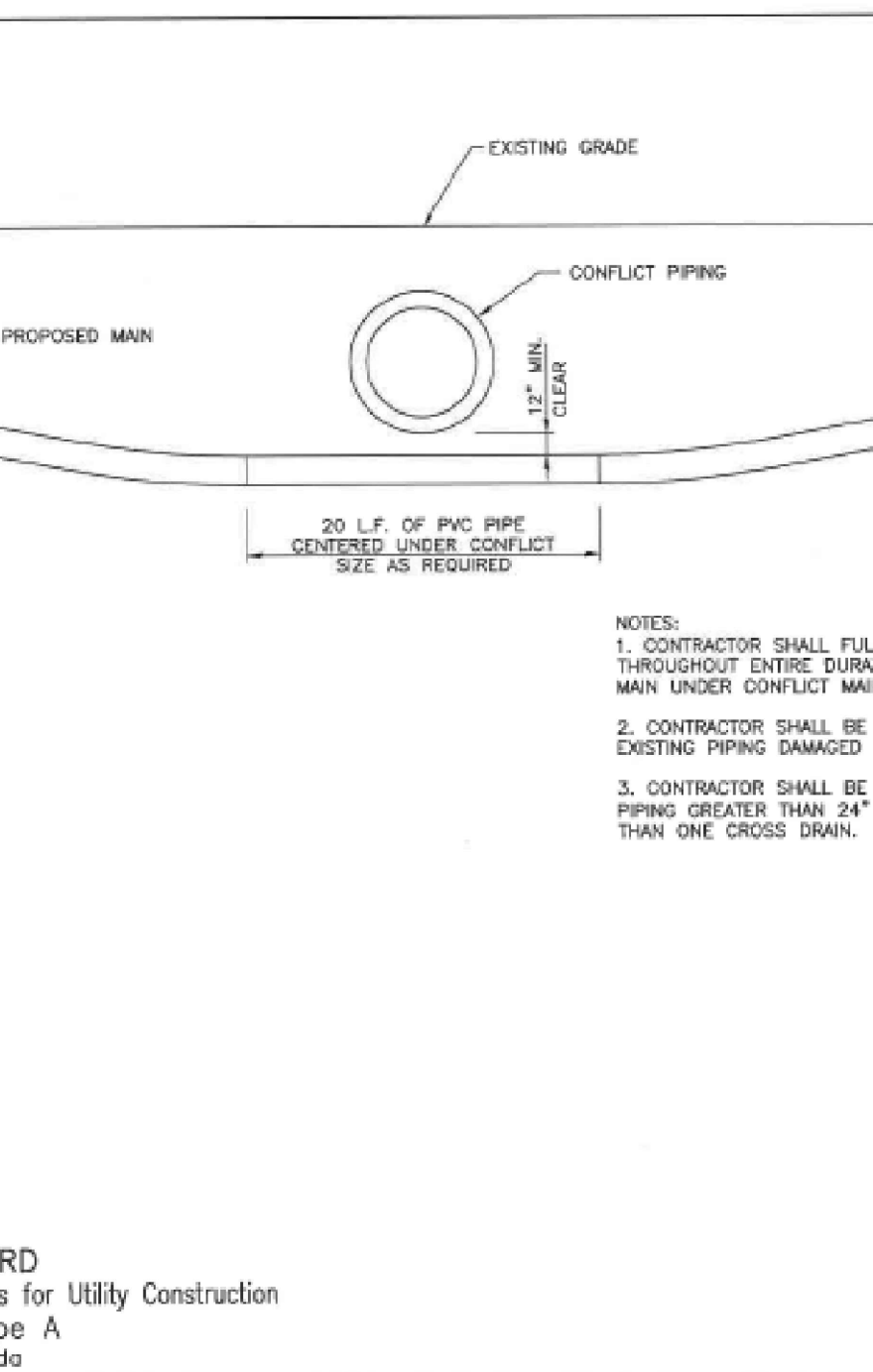
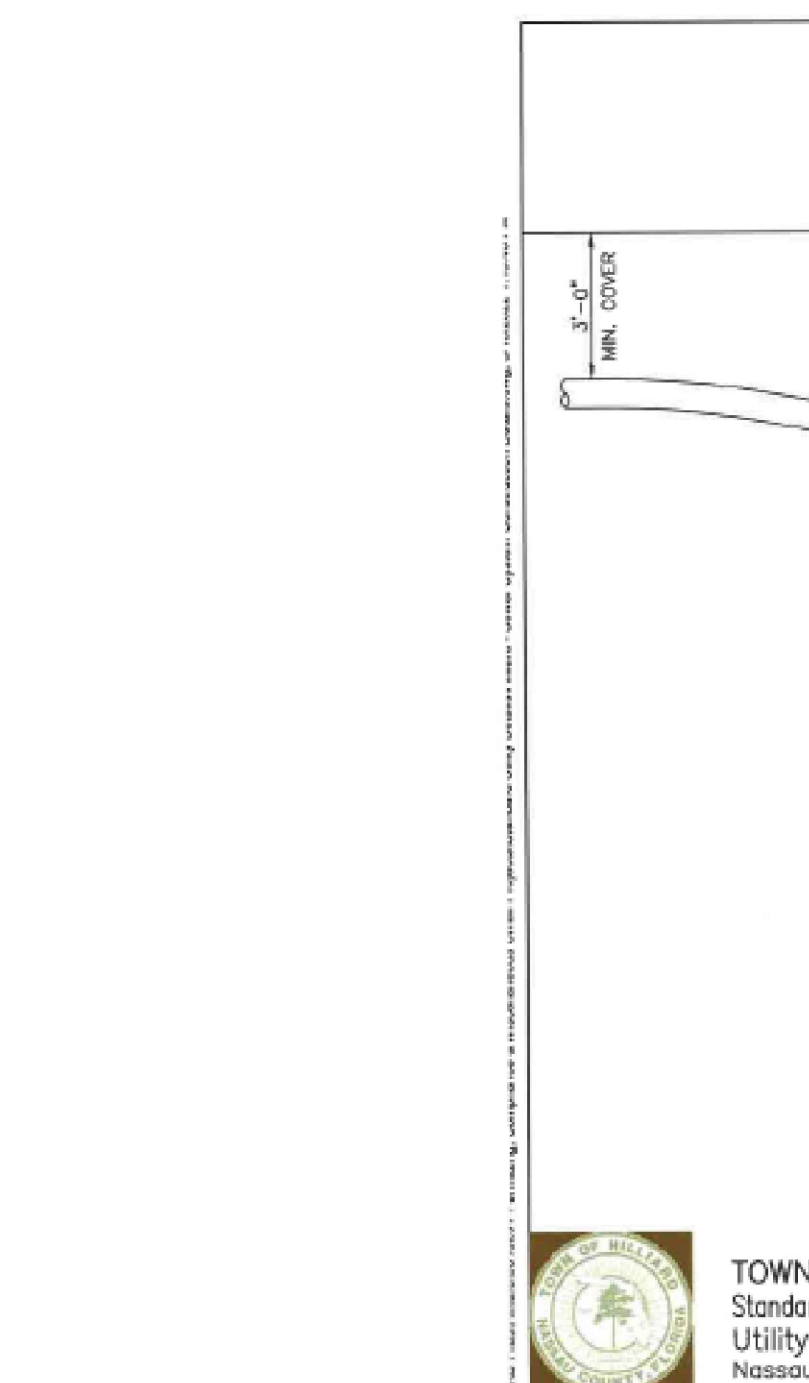
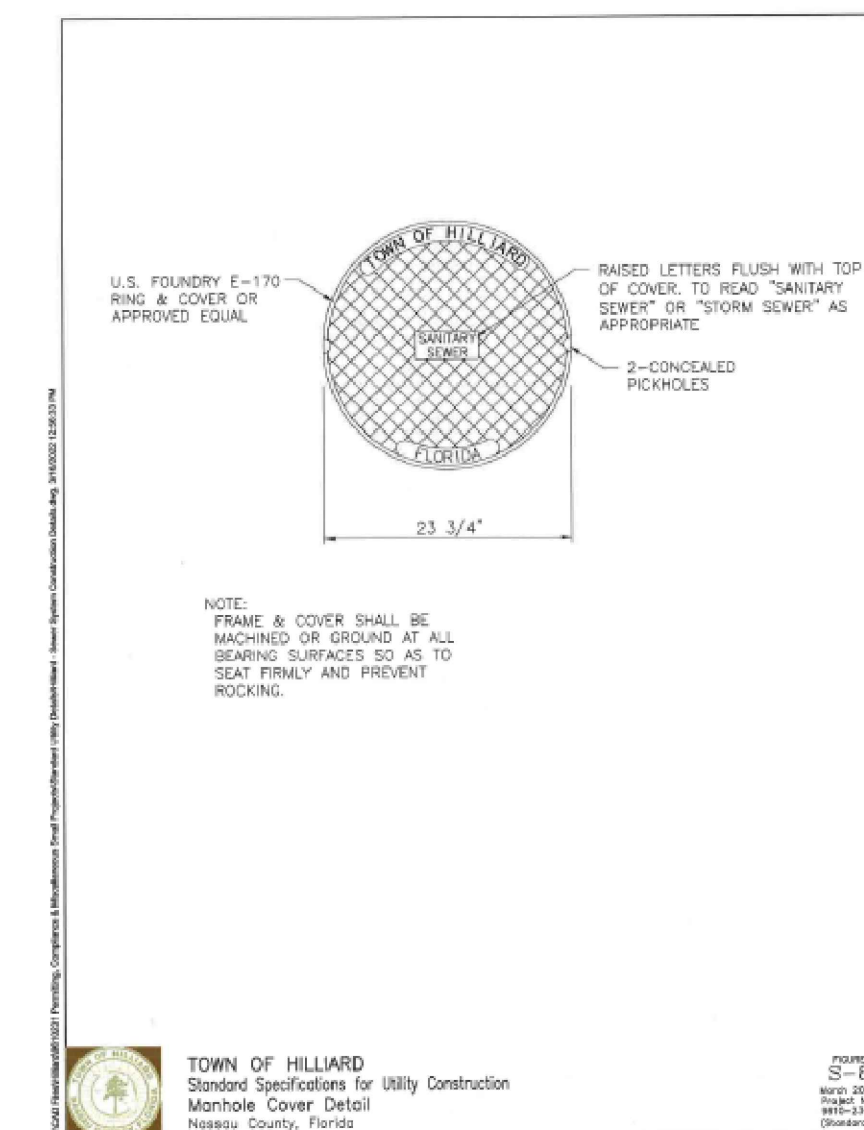
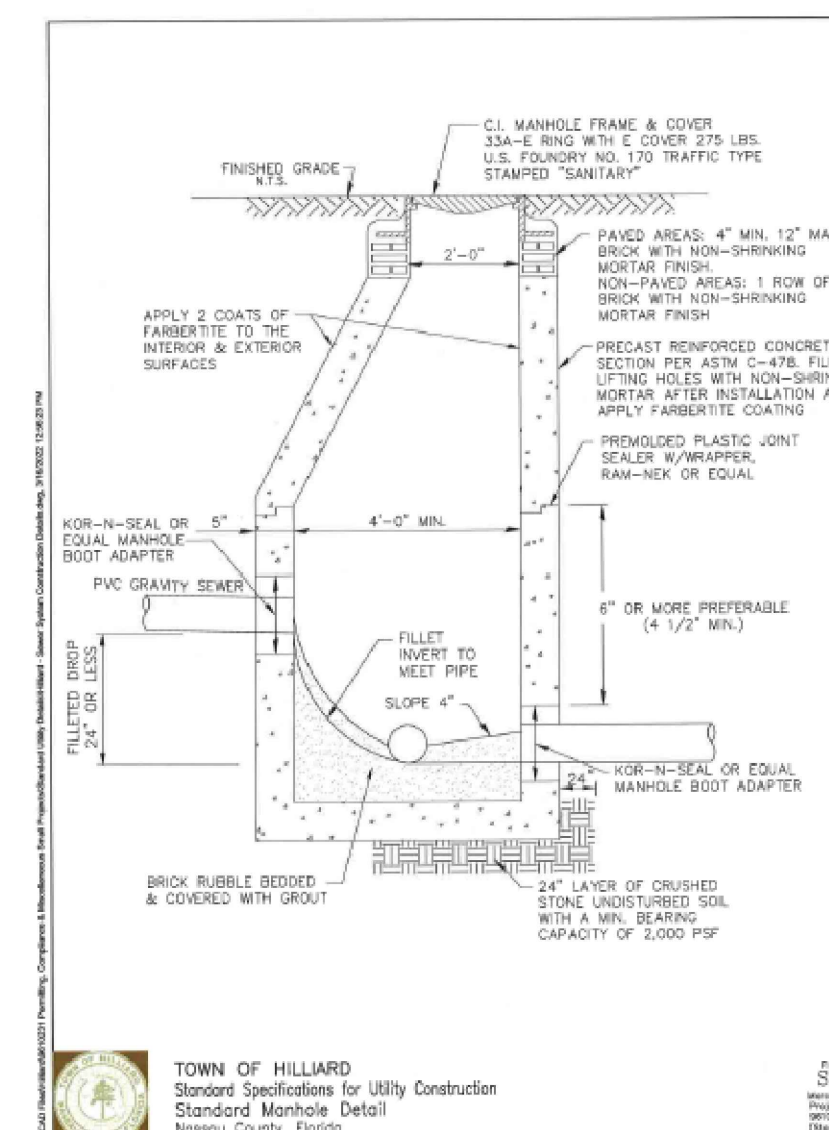
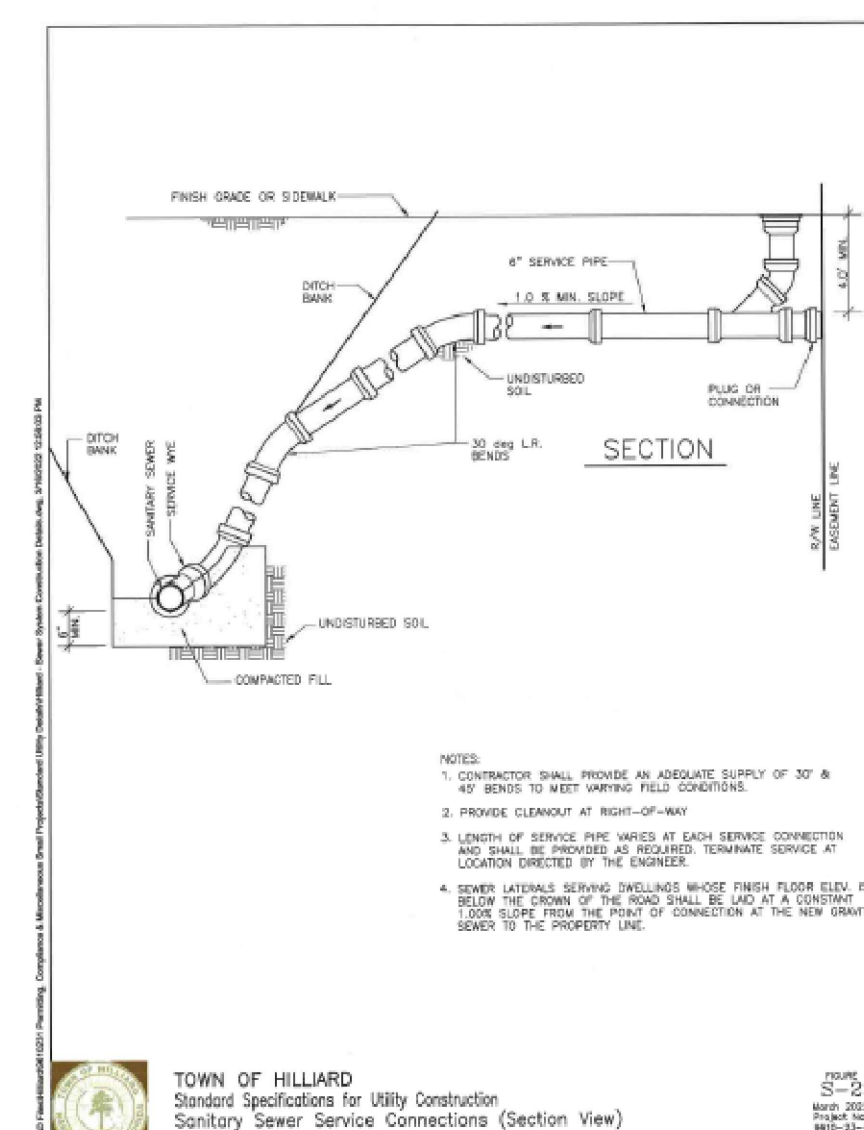
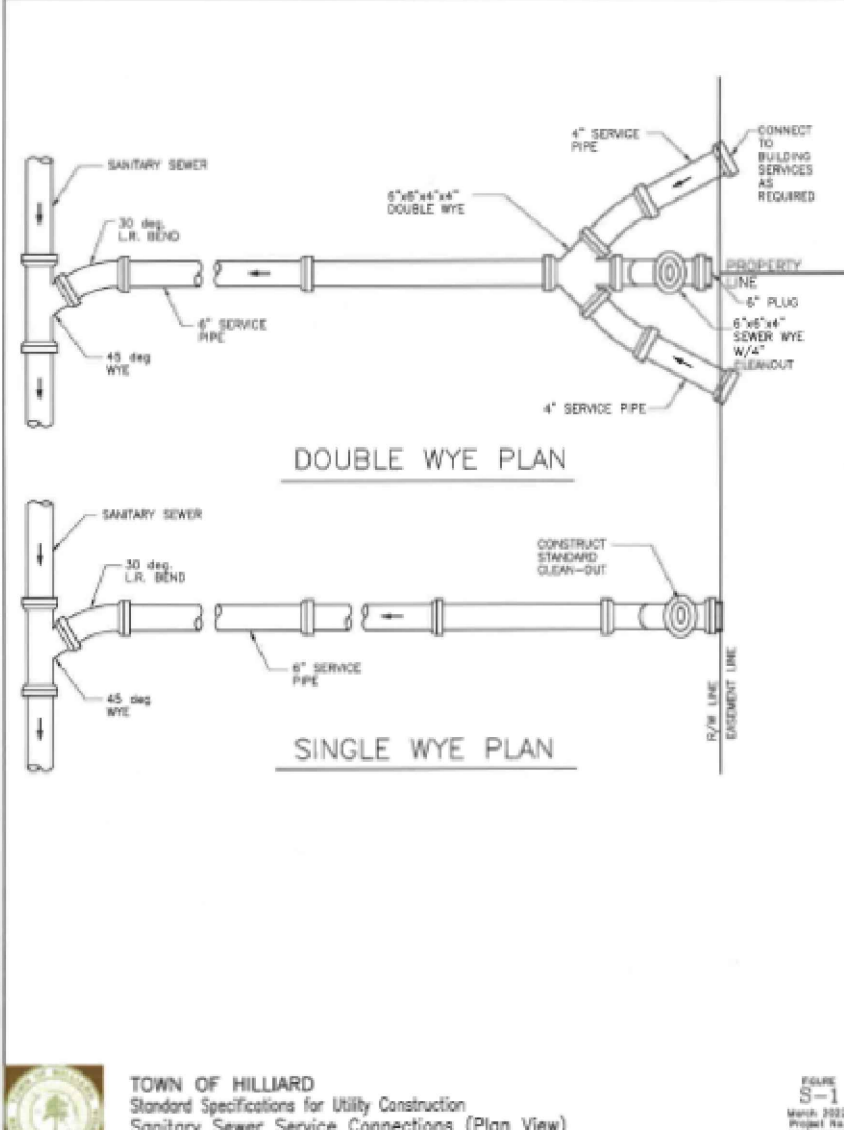
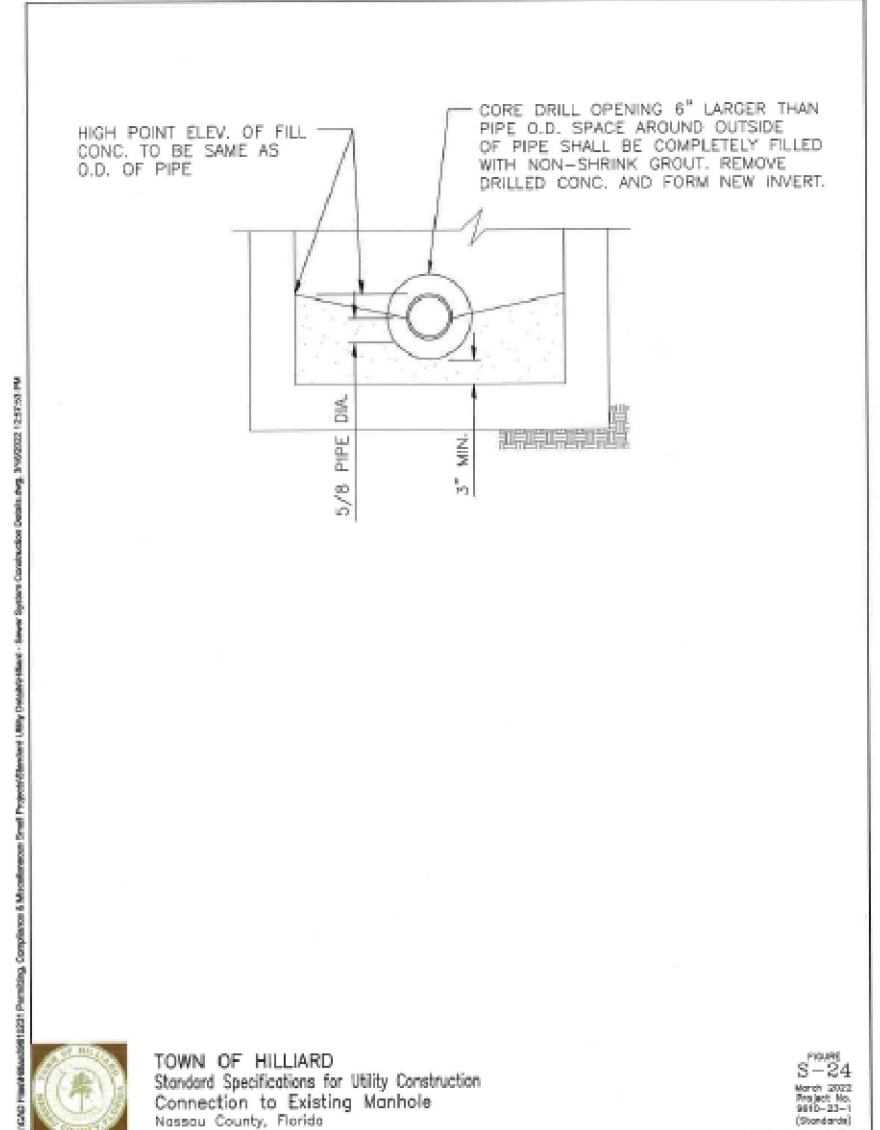
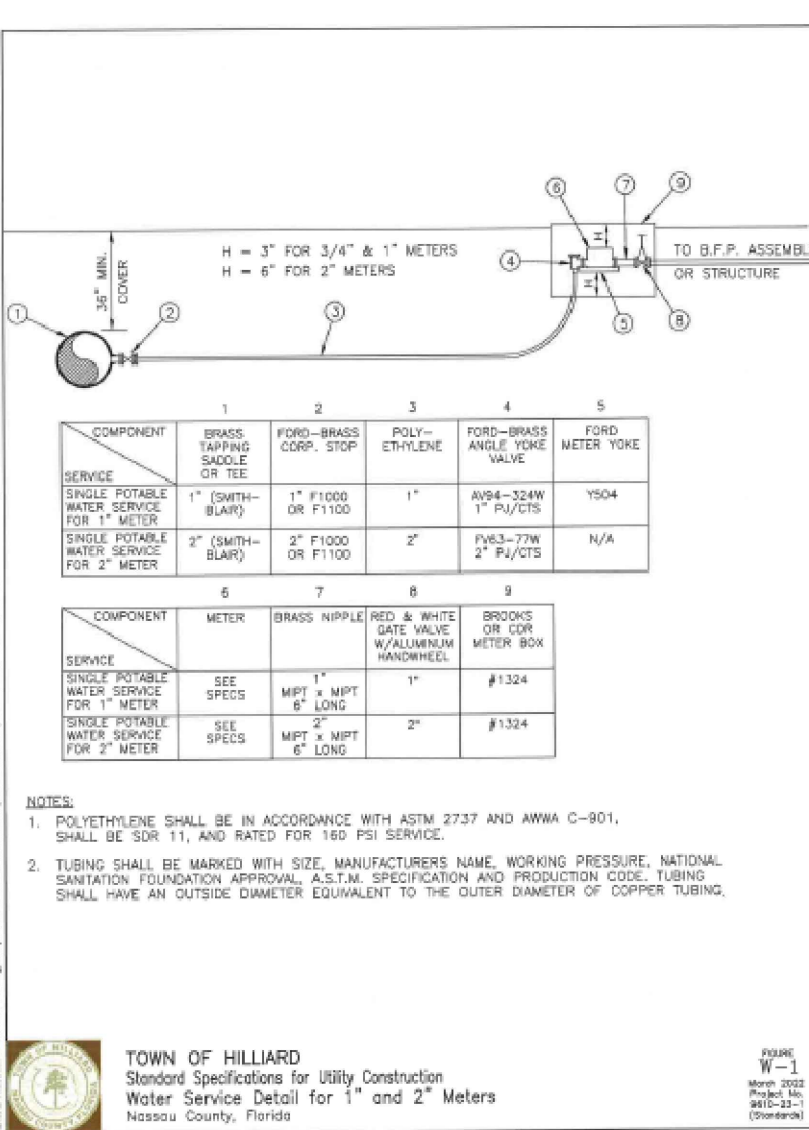
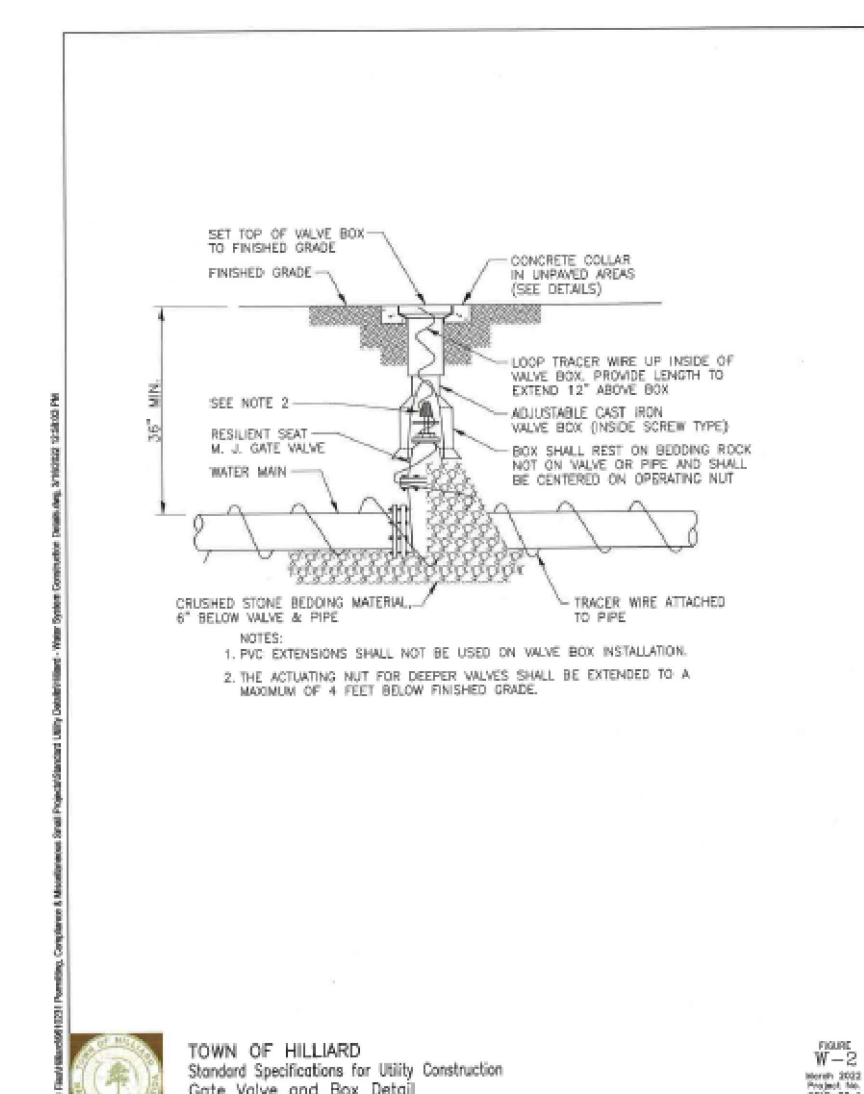
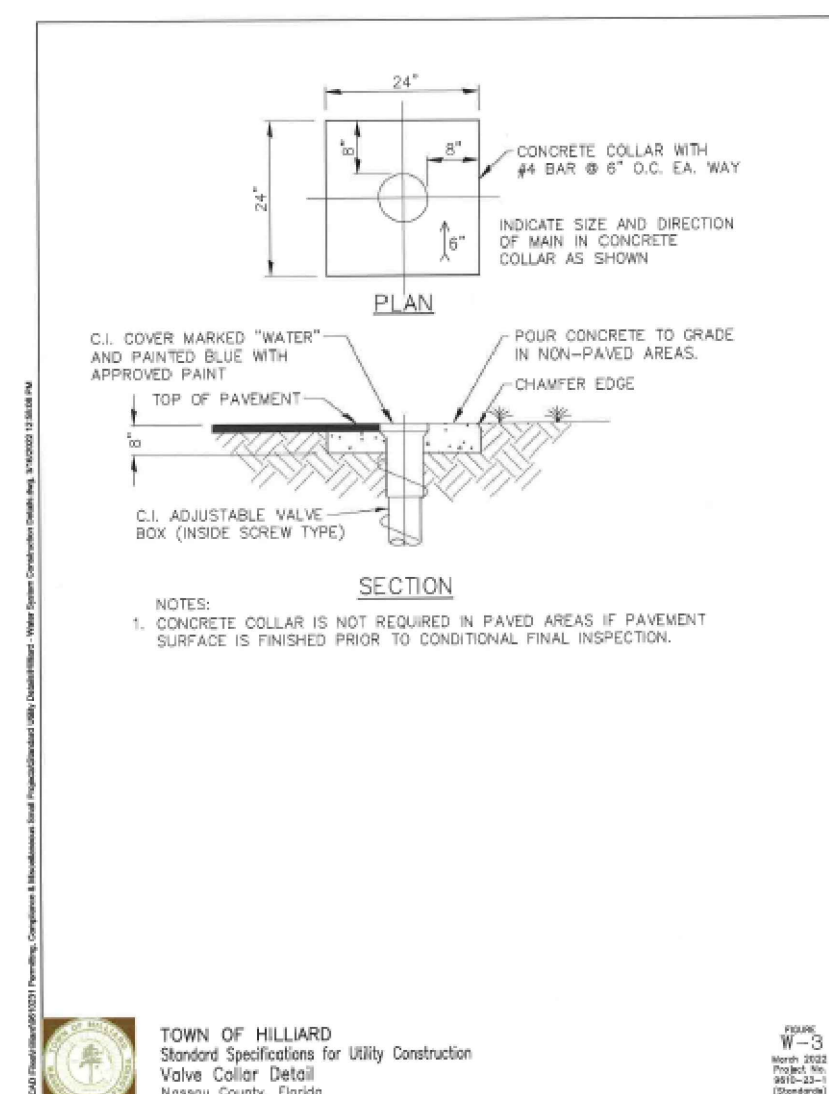
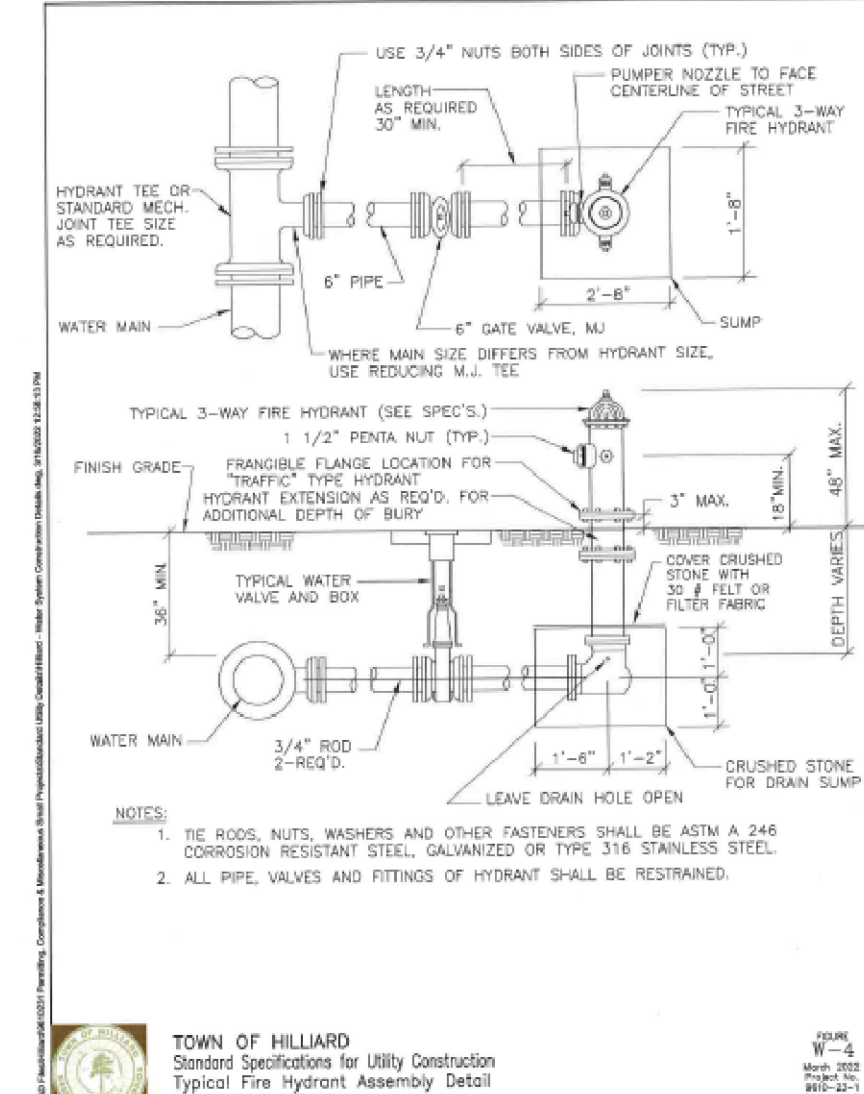
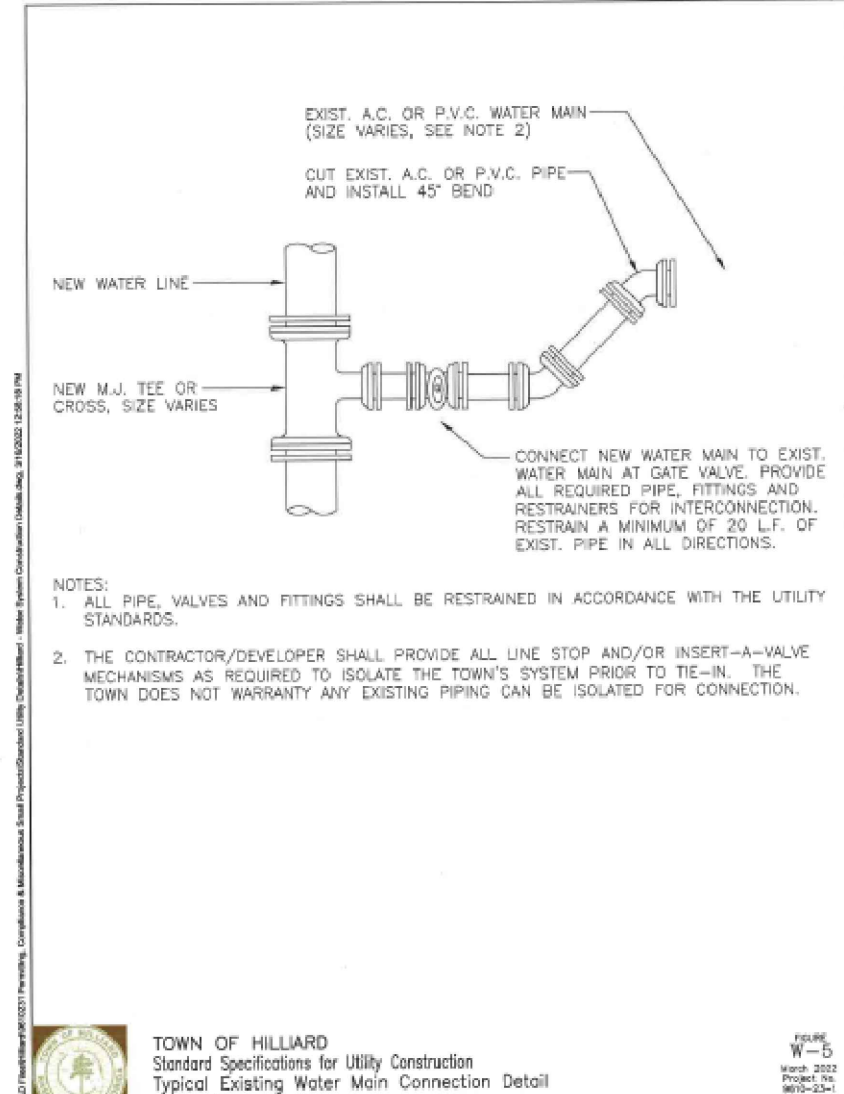
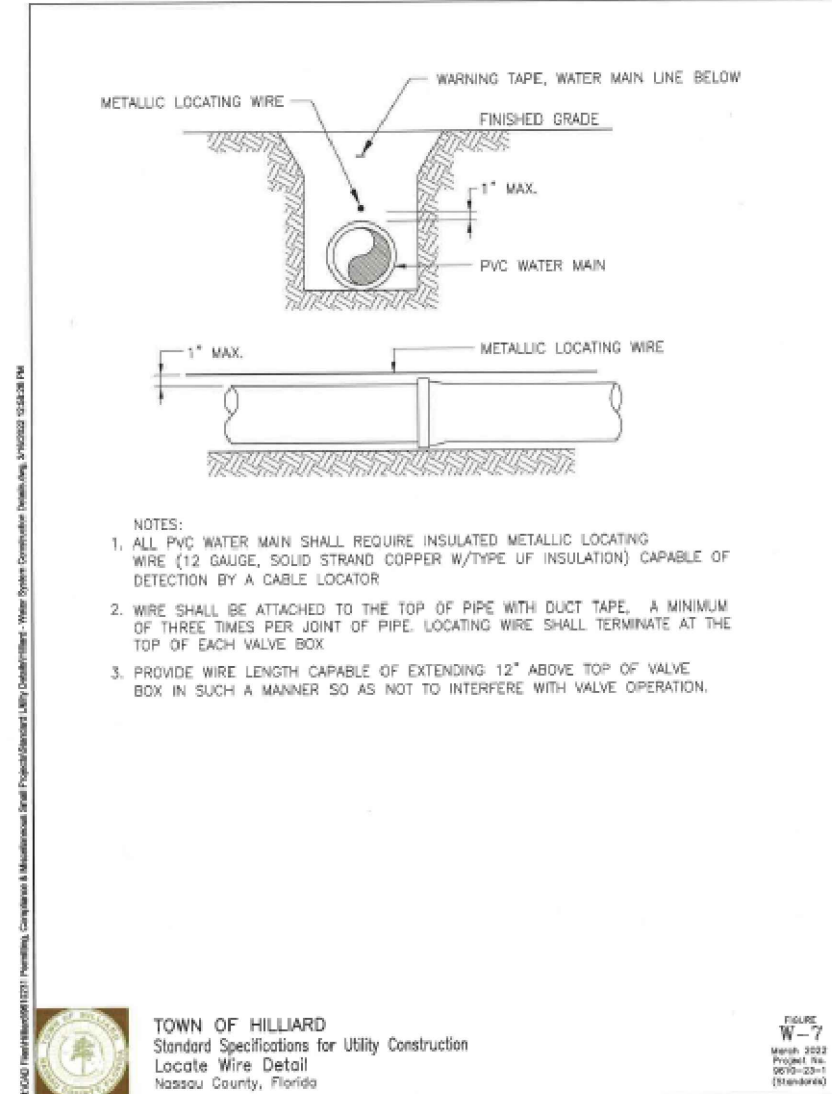
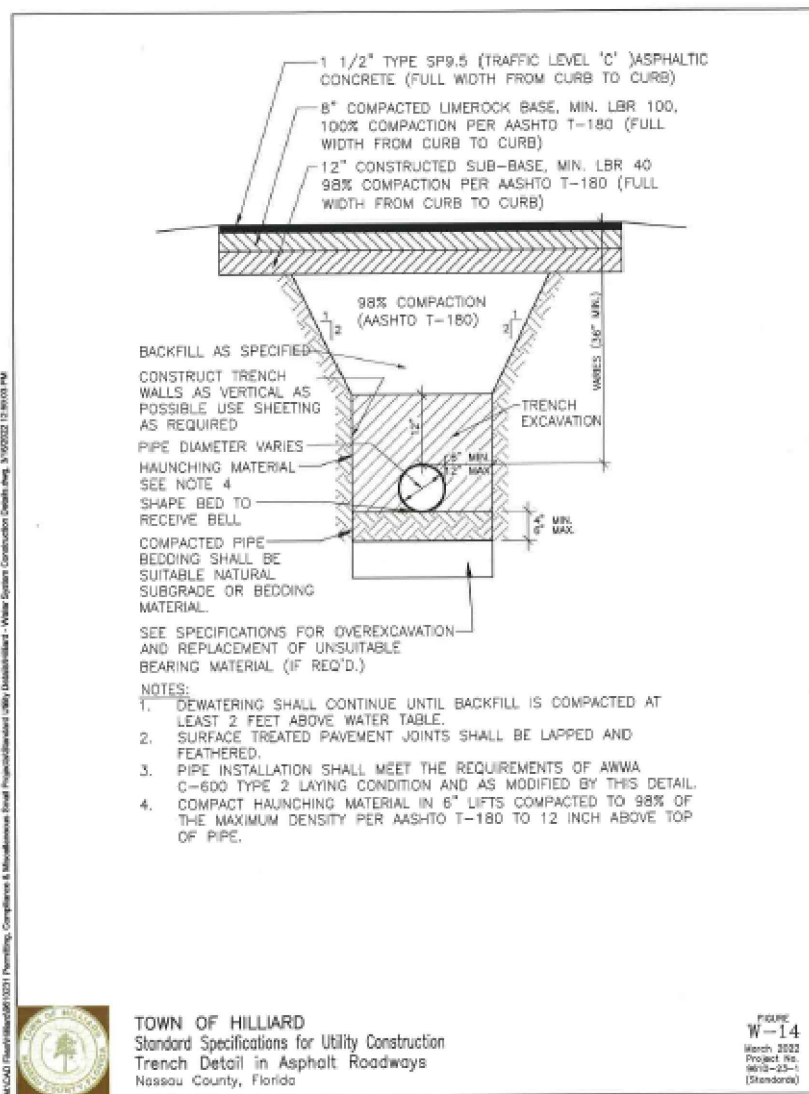
DOUBLE DUMPSTER

CLIENT
FLORIDA INFRASTRUCTURE
 PROJECT ADDRESS
 HENRY SMITH RD
 HILLIARD, FLORIDA

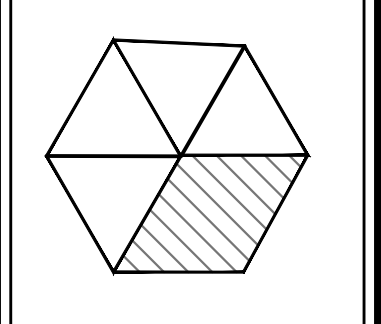
PROJECT TITLE
FL INFRA TRUCK SHOP
 SHEET TITLE
SITE DETAILS

DESIGN: [] REVIEWED: []
 DRAWN: []
 SCALE: AS SHOWN DATE: 12/16/23

C7.0
 PROJECT NUMBER
 2023-1216



CIVIL ENGINEERING, LLC
9525 ARCYLE FOREST BLVD.
JACKSONVILLE, FL 32222
904-885-0188



REVISIONS

NO.	DESCRIPTION	DATE

CLIENT: **FLORIDA INFRASTRUCTURE**
PROJECT ADDRESS: **HENRY SMITH RD HILLIARD, FLORIDA**

PROJECT TITLE: **FL INFRA TRUCK SHOP**
SHEET TITLE: **UTILITY DETAILS**

DESIGN: [Signature]
REVIEWED: [Signature]
DRAWN: [Signature]
SCALE: AS SHOWN
DATE: 12/16/23

C7.1
PROJECT NUMBER: 2023-1216



DH152/DR152

General Features

The model DH152 or DR152 grinder pump station is a complete unit that includes: two grinder pumps, check valve, polyethylene tank, controls, and alarm panel. A single DH152 or DR152 is ideal for up to four, average single-family homes and can also be used for up to 12 average single-family homes where codes allow and with consent of the factory.

- Rated for flows of 3000 gpd (11,356 lpd)
- 150 gallons (568 liters) of capacity
- Indoor or outdoor installation
- Standard outdoor heights range from 93 inches to 160 inches

The DH152 is the "hardwired" or "wired" model where a cable connects the motor controls to the level controls through watertight penetrations.

The DR152 is the "radio frequency identification" (RFID) or "wireless" model that uses wireless technology to communicate between the level controls and the motor controls.

Operational Information

Motor

1 hp, 1725 rpm, high torque, capacitor start, thermally protected, 120/240V, 60 Hz, 1 phase

Inlet Connections

4-inch inlet grommet standard for DWV pipe. Other inlet configurations available from the factory.

Discharge Connections

Pump discharge terminates in 1.25-inch NPT female thread. Can easily be adapted to 1.25-inch PVC pipe or any other material required by local codes.

Discharge

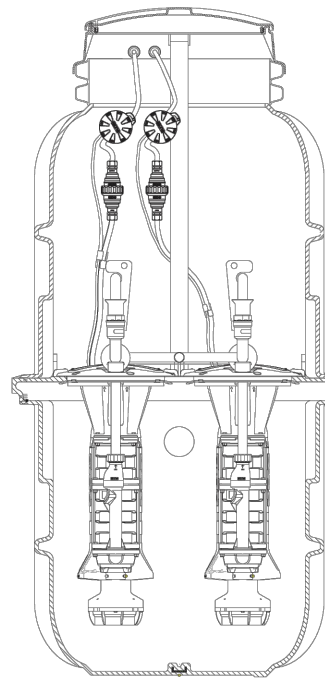
- 15 gpm at 0 psig (0.95 lps at 0 m)
- 11 gpm at 40 psig (0.69 lps at 28 m)
- 7.8 gpm at 80 psig (0.49 lps at 56 m)

Accessories

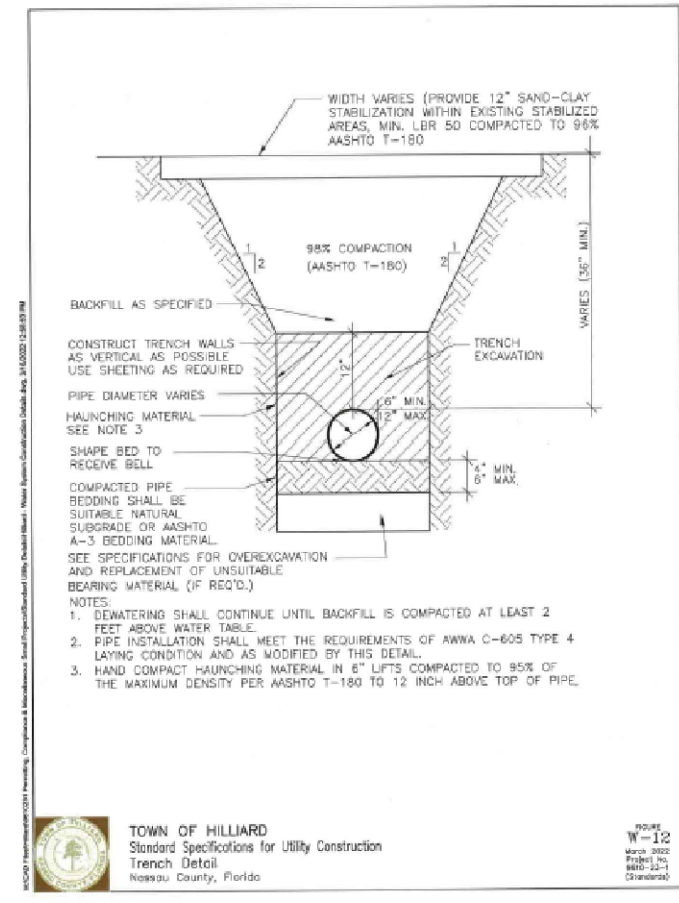
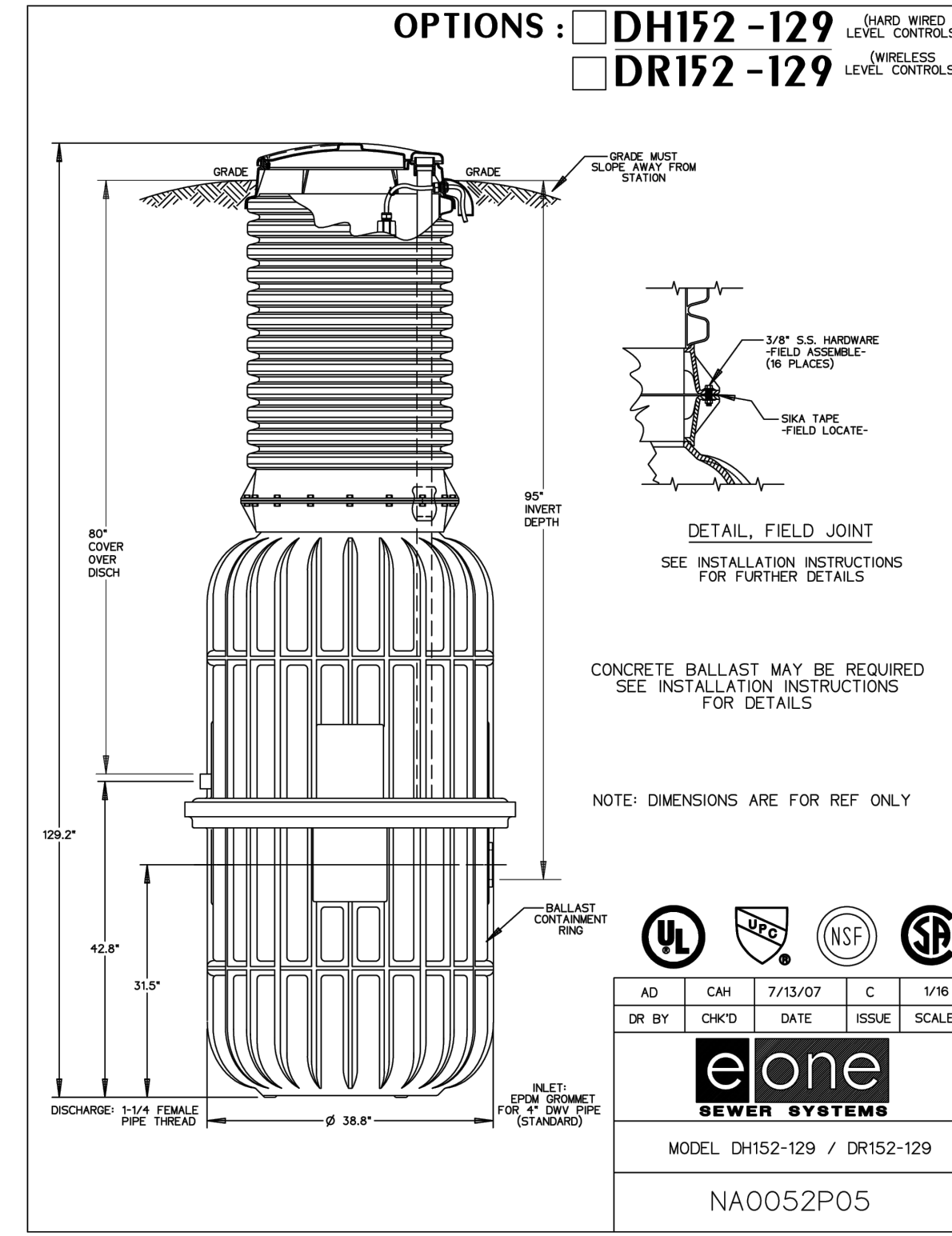
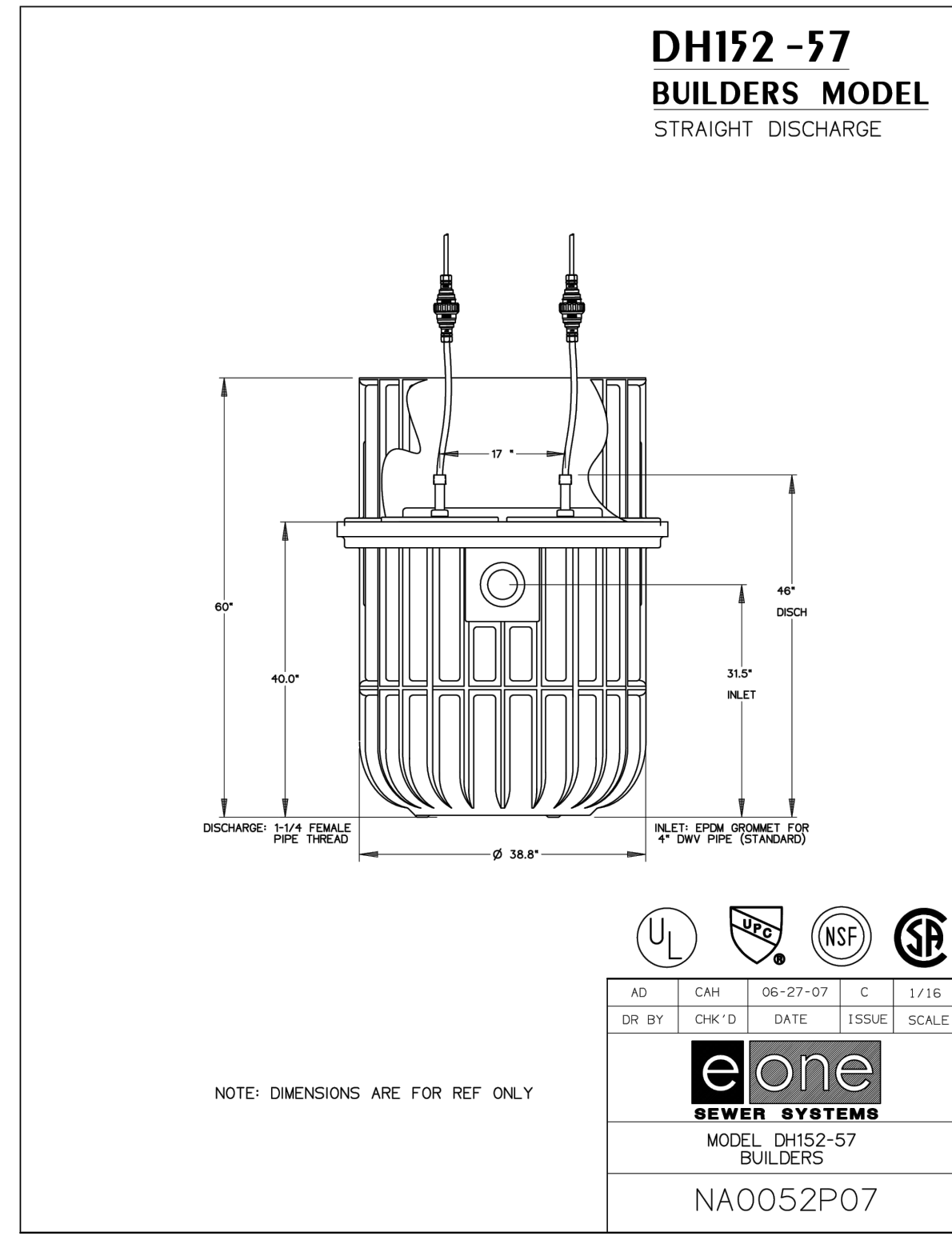
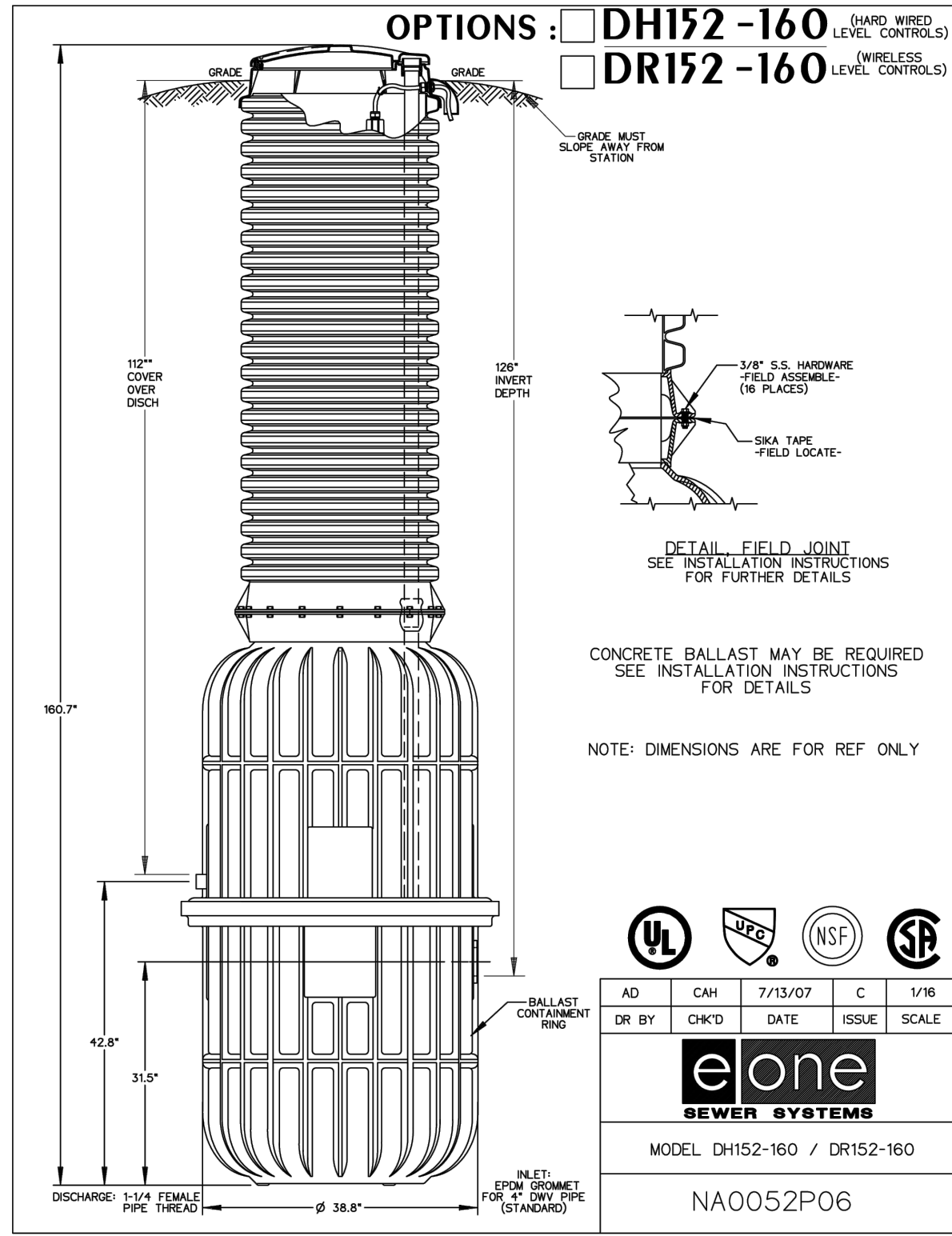
E/One requires that the Uni-Lateral, E/One's own stainless steel check valve, be installed between the grinder pump station and the street main for added protection against backflow.

Alarm panels are available with a variety of options, from basic monitoring to advanced notices of service requirements.

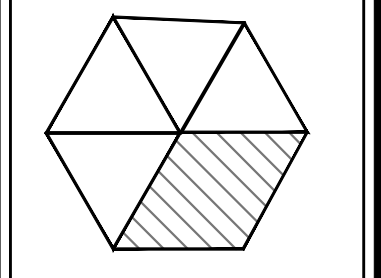
The Remote Sentry is ideal for installations where the alarm panel may be hidden from view.



NA0052P01 Rev E



E/ONE
CIVIL ENGINEERING, LLC
9526 ARCYLE FOREST BLVD,
JACKSONVILLE, FL 32222
904-885-0188



TOWN OF HILLIARD
Standard Specification for Utility Construction
Francis Smith
March 2018

NO.	DATE	DESCRIPTION

DH152-57 BUILDERS MODEL DISCHARGE VALVE

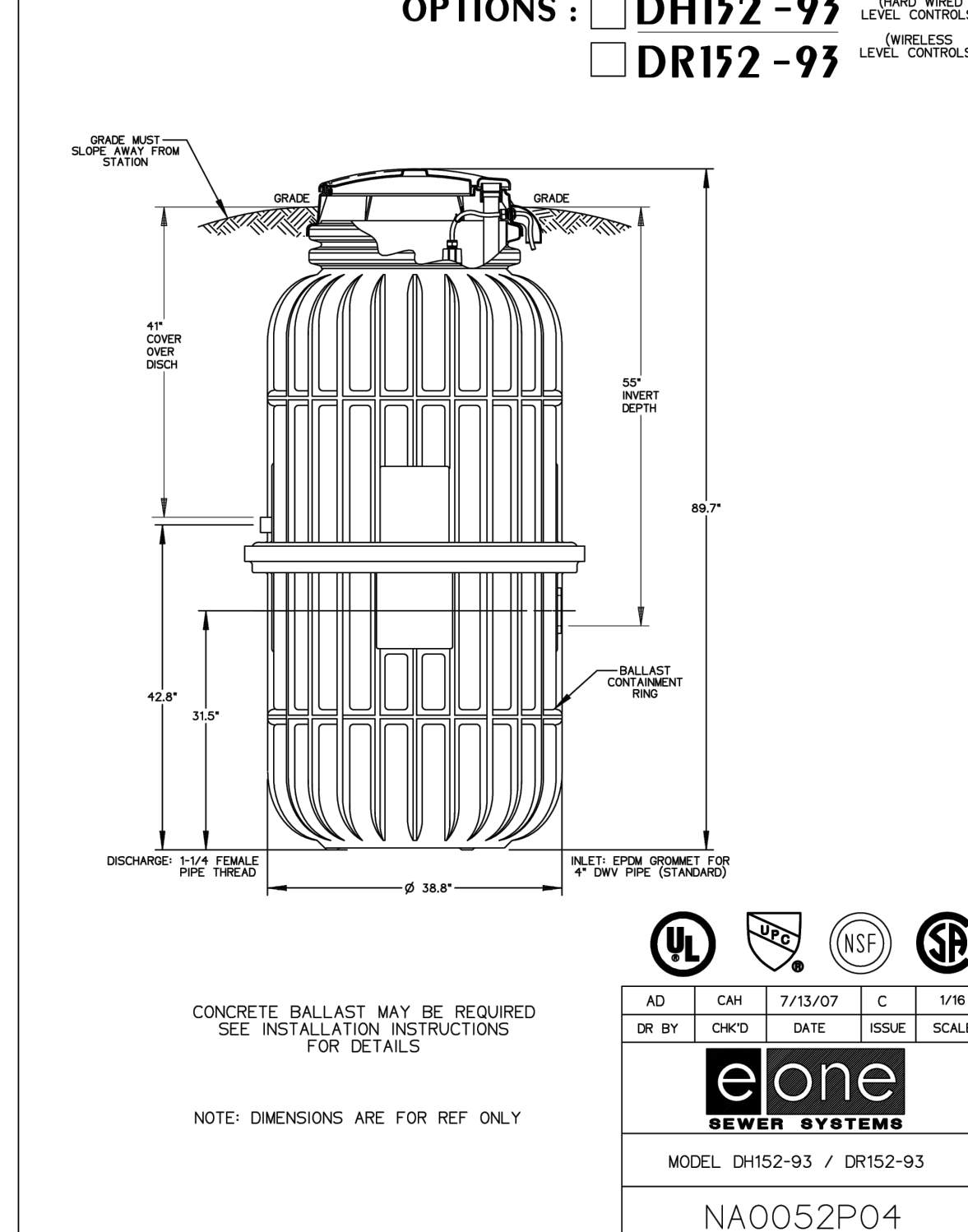
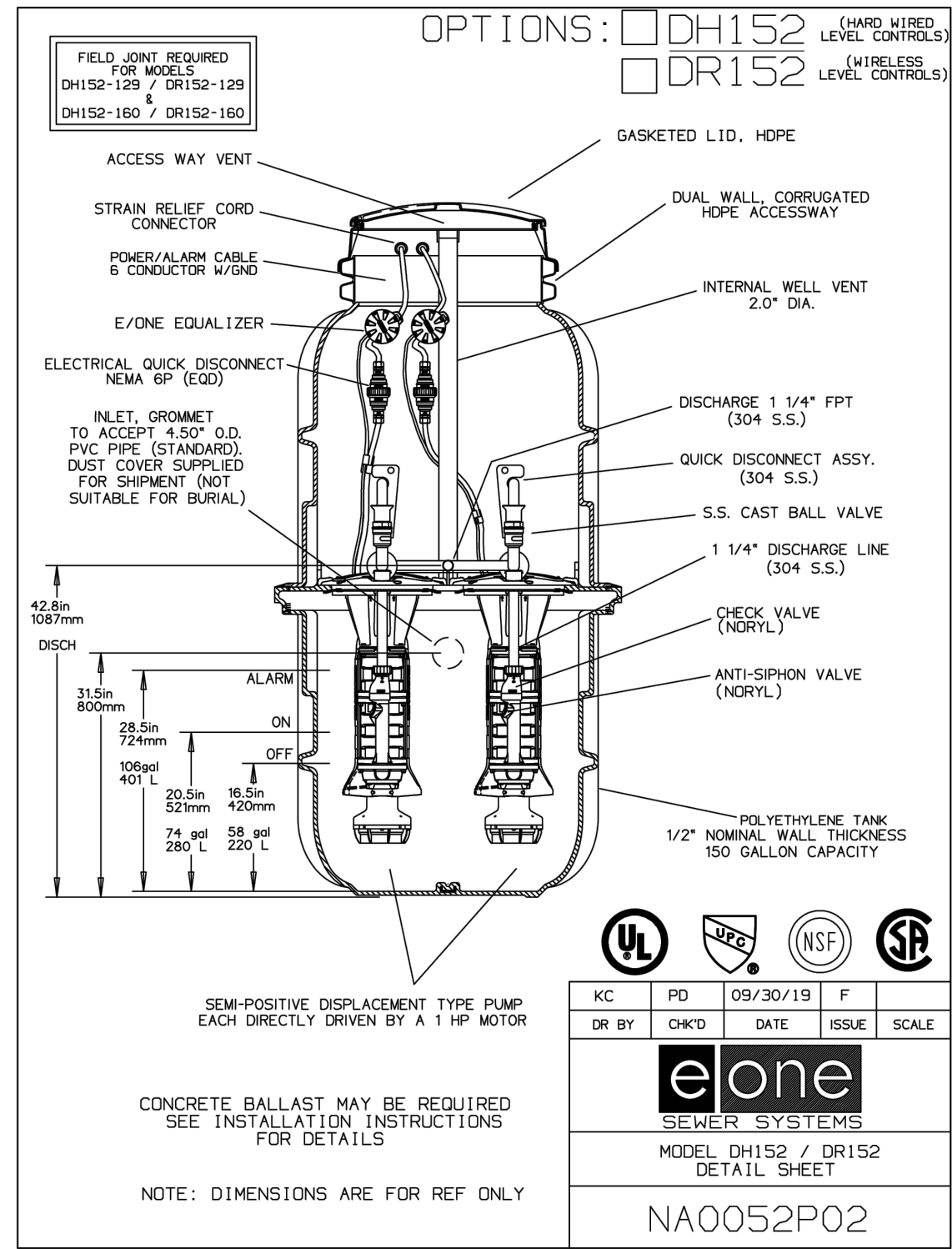
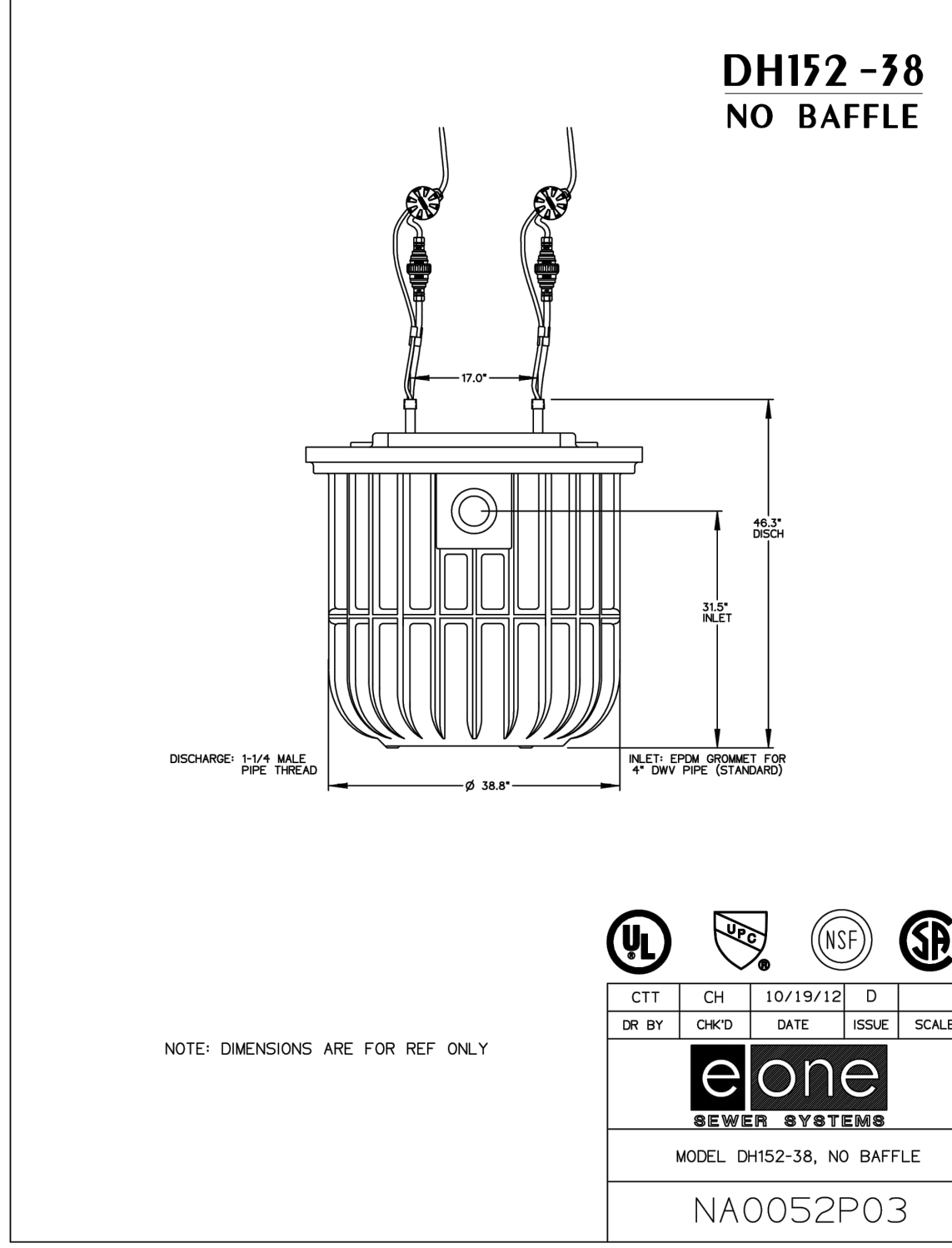
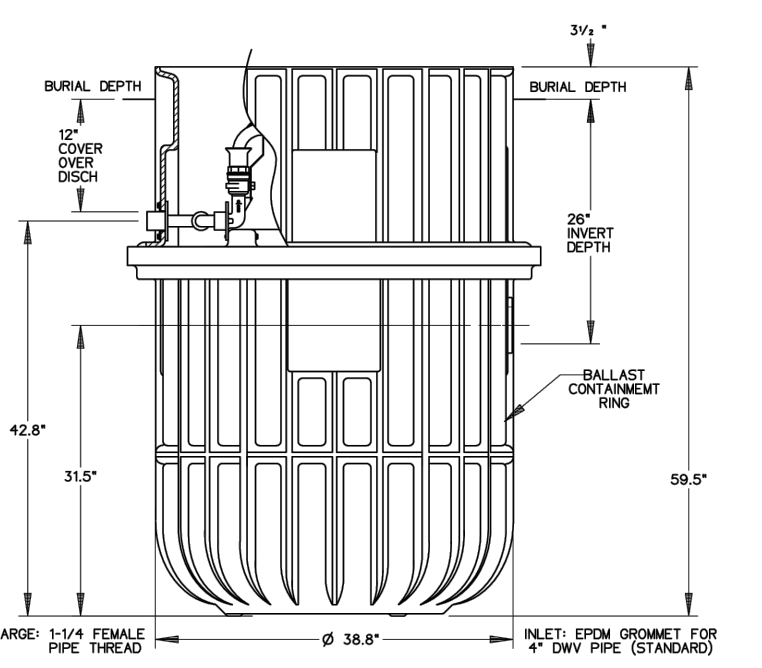


TABLE 111 TO BE RESTRAINED (SEE PLATE Nos. 38C & 38D FOR ADDITIONAL DETAILS)

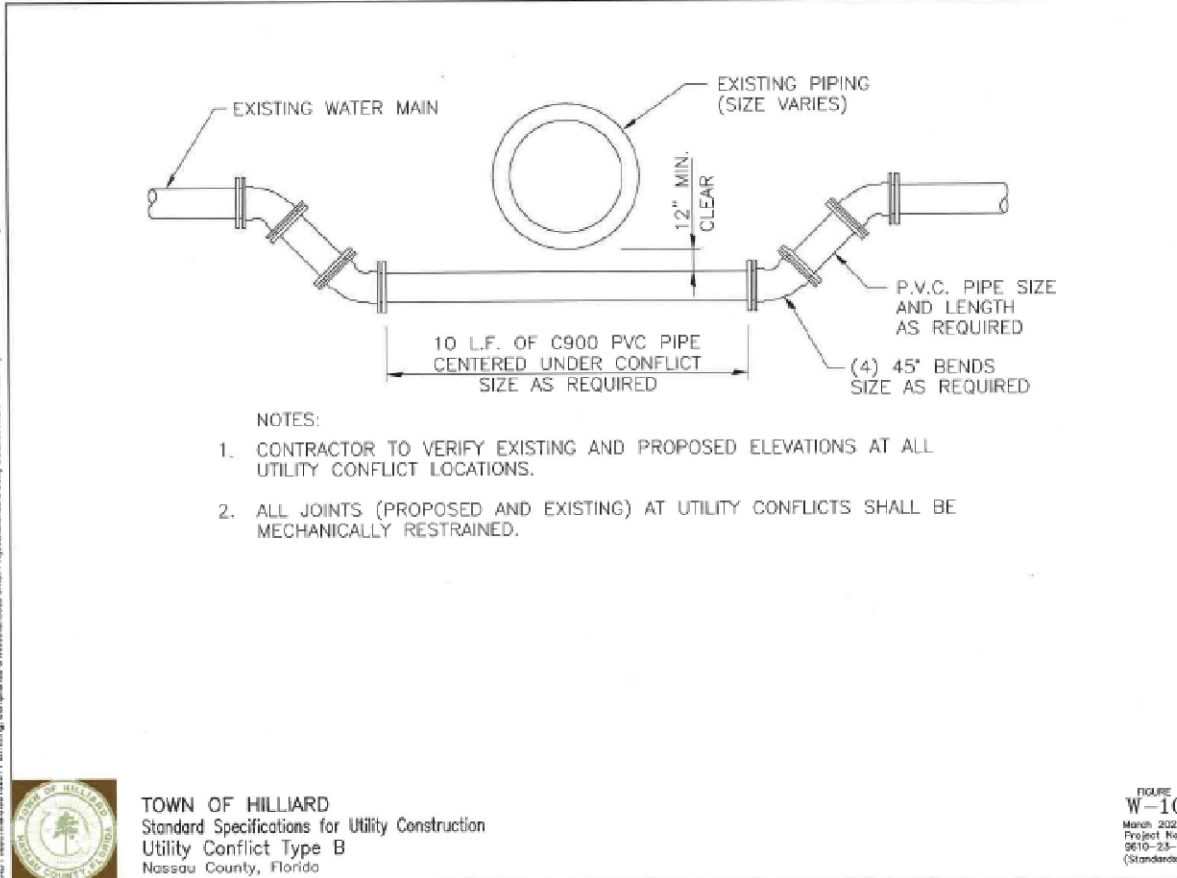
NOMINAL PIPE SIZE (IN.)	HORIZONTAL BENDS				VERTICAL OFFSETS (SEE NOTE 4)				VALVES OR END CONNECTIONS
	90° (L.F.T.)	45° (L.F.T.)	22.5° (L.F.T.)	11.25° (L.F.T.)	SPANS (L.F.T.)	SPANS (L.F.T.)	SPANS (L.F.T.)	SPANS (L.F.T.)	
4	21	9	5	3	17	3	47	64	34
6	30	13	8	3	23	4	66	84	42
8	38	18	8	4	30	6	88	108	58
10	45	19	9	5	36	7	103	130	63
12	53	22	11	6	43	8	121	150	78
14	61	26	13	8	50	9	140	178	92
16	66	28	14	7	55	10	154	190	98
18	73	30	15	8	60	11	170	208	106
20	79	33	16	8	66	12	186	223	112
24	79	33	16	8	77	15	195	240	120
30	83	38	19	10	87	17	222	245	130
36	106	39	21	11	107	20	257	285	142
42	117	49	24	12	120	24	289	300	147
48	144	53	26	13	133	26	321	330	154

F.O. - FITTING ONLY

WATER MAIN AND S.W. WATER MAIN SEPARATION REQUIREMENTS - NOTES

- IT IS REQUIRED THAT "WATER MAINS" BE INSTALLED, CLEANED, DISINFECTED AND HAVE A SATISFACTORY BACTERIOLOGICAL SURVEY PERFORMED IN ACCORDANCE WITH THE LATEST APPLICABLE STANDARD CHAPTER 88BSS, S.A.C. AND LATEST EDITION OF THE WATER MAINS MANUAL. THE WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE WATER MAINS MANUAL. THE WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE WATER MAINS MANUAL. THE WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE WATER MAINS MANUAL.
- NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE (3) FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER.
- NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX (6) FEET AND PREVENTED FROM PENETRATING THE OUTSIDE OF THE WATER MAIN AT LEAST SIX (6) INCHES AND PREFERABLY TWELVE (12) INCHES ABOVE OR AT LEAST TWELVE (12) INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IF PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- NEW OR RELOCATED UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID TO THE OUTSIDE OF THE WATER MAIN AT LEAST TWELVE (12) INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IF PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- AT THE UTILITY CROSSINGS DESCRIBED IN NOTES 1 AND 8 ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, IF SUCH CROSSINGS OF THE WATER MAINS ARE NECESSARY, THE JOINTS SHALL BE AT LEAST THREE (3) FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER, AND AT LEAST SIX (6) FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER.
- NEW OR RELOCATED PIPE HYDRANTS SHALL BE LOCATED SO THAT THE HYDRANTS ARE AT LEAST THREE (3) FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER, AT LEAST THREE (3) FEET FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, AT LEAST SIX (6) FEET FROM ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, AND AT LEAST THREE (3) FEET FROM ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER.
- WHERE AN UNDERGROUND WATER MAIN IS BENEATH LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATER MAIN IS CROSSING ANOTHER PIPELINE AND JOINTS IN THE WATER MAIN ARE BEING LOCATED LESS THAN THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN THE OTHER PIPELINE, THE CONTRACTOR SHALL CONSULT THE DESIGN ENGINEER TO OBTAIN APPROVAL OF ANY ALTERNATE CONSTRUCTION METHODS PRIOR TO CONSTRUCTION.

NOTES ON UTILITY SEPARATION REQUIREMENTS



HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS

CONFLICTING UTILITY	PROPOSED UTILITY											
	POTABLE WATER			WASTEWATER GRAVITY AND FORCE MAIN			RECLAIMED WATER			VACUUM SEWERS		
	HORIZ.	VERT.	JOINT SPACING	HORIZ.	VERT.	JOINT SPACING	HORIZ.	VERT.	JOINT SPACING	HORIZ.	VERT.	JOINT SPACING
POTABLE WATER	3'	12"	3'	6' to 10'	12"	6'	3'	12"	6'	3' to 10'	12"	3'
RECLAIMED WATER	3'	12"	NOTE 2	3'	NOTE 1	12"	NOTE 2	3'	12"	NOTE 1	12"	NOTE 2
WASTEWATER (GRAVITY AND FORCE MAIN)	6' to 10'	12"	NOTE 2	3'	NOTE 1	12"	6'	NOTE 1	12"	3'	NOTE 2	12"
VACUUM SEWERS	3' to 10'	12"	NOTE 2	3'	NOTE 1	12"	6'	NOTE 1	12"	NOTE 1	12"	NOTE 2
RIGHT OF WAYS	3'	NOTE 1	N/A	3'	N/A	3'	NOTE 1	N/A	3'	NOTE 1	N/A	N/A
PERMANENT STRUCTURES (BUSINESS, SIGNS, POLES, ETC.)	SEE NOTE 7	N/A	N/A	SEE NOTE 7	N/A	SEE NOTE 7	N/A	SEE NOTE 7	N/A	SEE NOTE 7	N/A	N/A
STORM SEWERS	3'	NOTE 1	12"	NOTE 2	3'	NOTE 1	12"	NOTE 2	3'	NOTE 1	12"	NOTE 2
GAS	3'	NOTE 1	12"	NOTE 2	3'	NOTE 1	12"	NOTE 2	3'	NOTE 2	12"	NOTE 2
TREES	3'	NOTE 6	N/A	3'	NOTE 6	N/A	3'	NOTE 6	N/A	3'	NOTE 6	N/A
ALL OTHER UTILITIES	3'	NOTE 1	12"	NOTE 2	3'	NOTE 1	12"	NOTE 2	3'	NOTE 1	12"	NOTE 2

SEPARATION REQUIREMENTS FOR WATER, WASTEWATER AND RECLAIMED WATER MAINS

CLIENT
FLORIDA INFRASTRUCTURE
PROJECT ADDRESS
HENRY SMITH RD
HILLIARD, FLORIDA

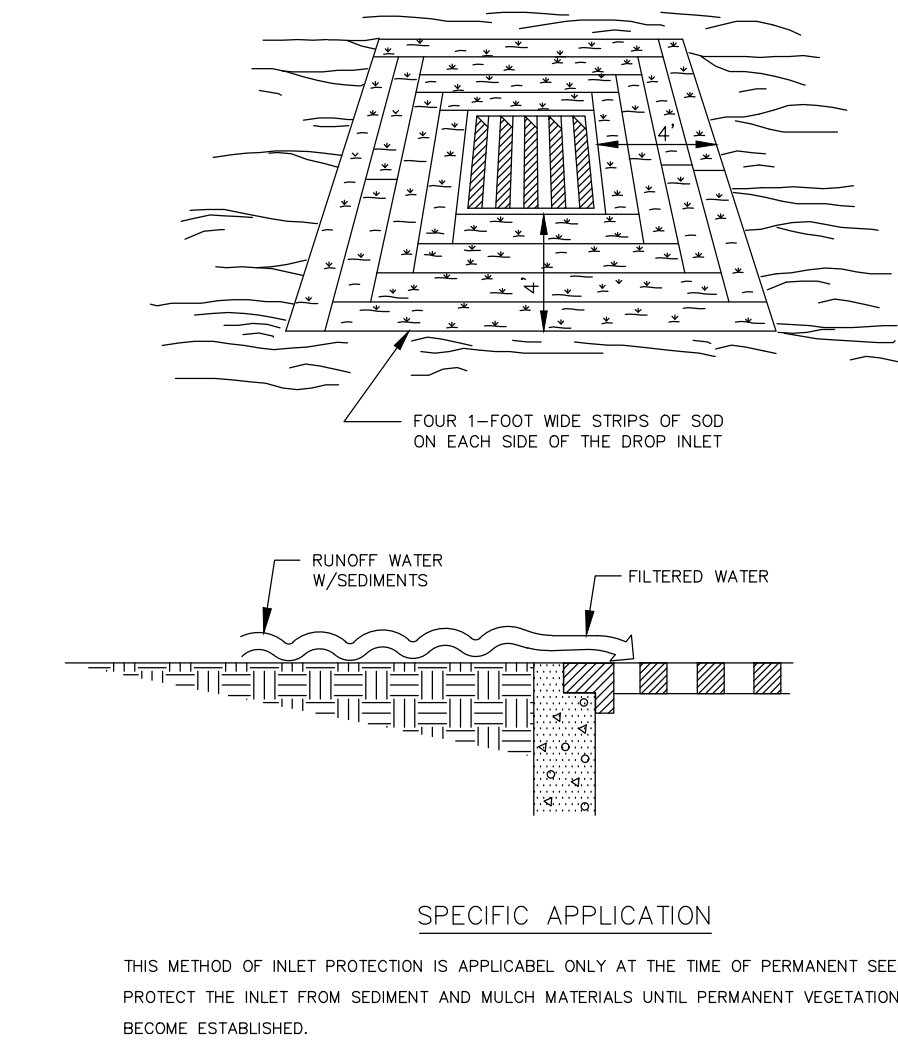
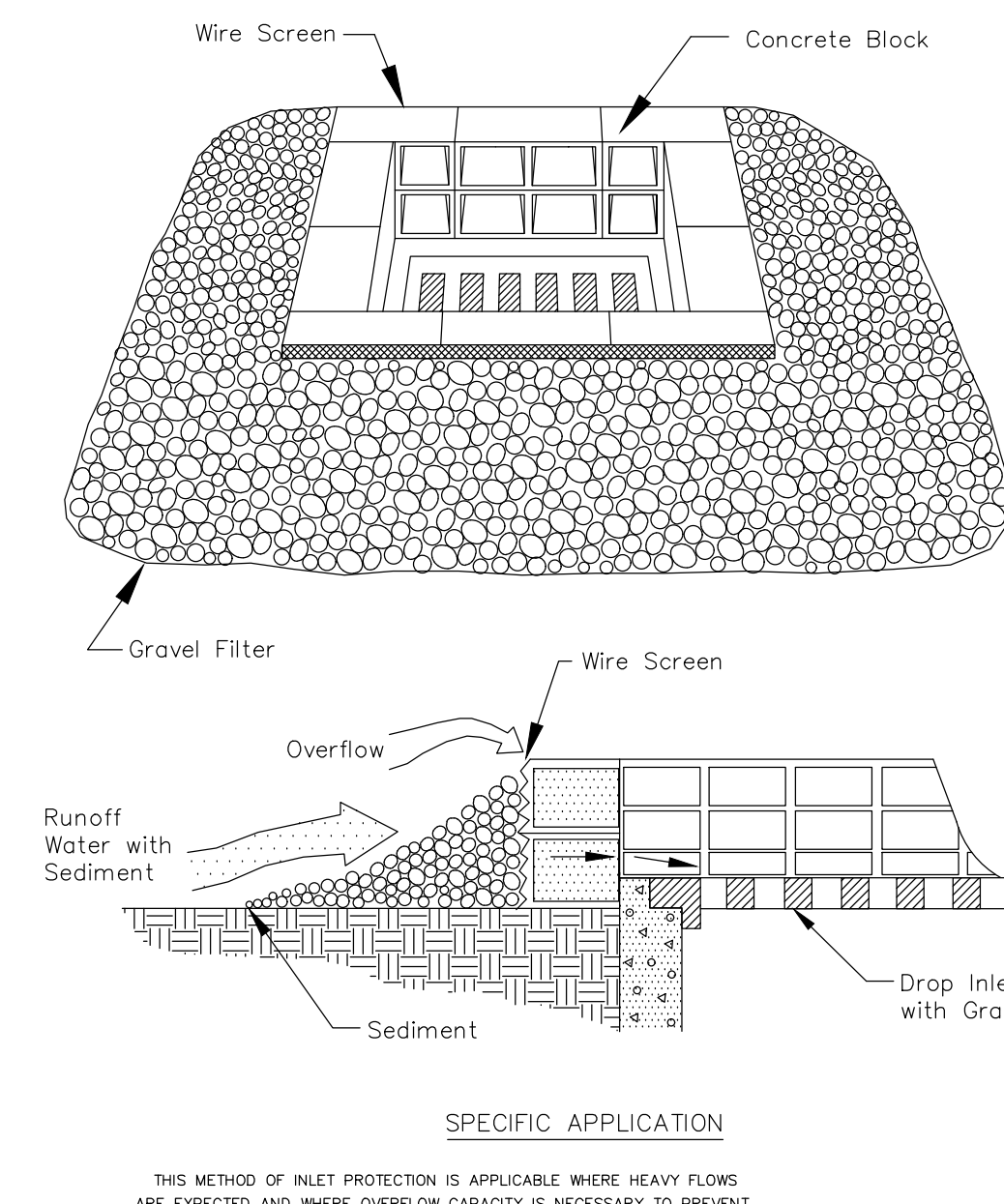
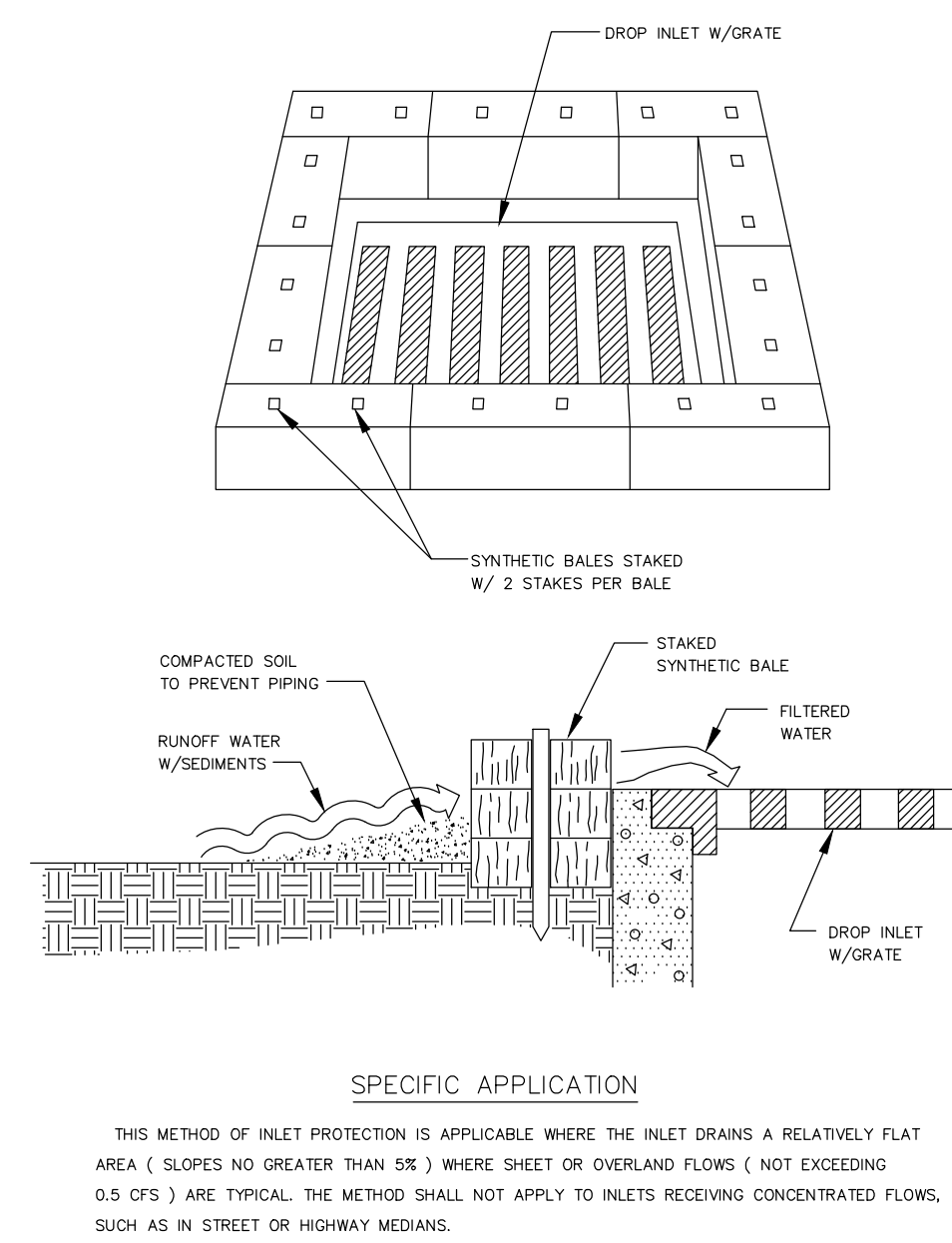
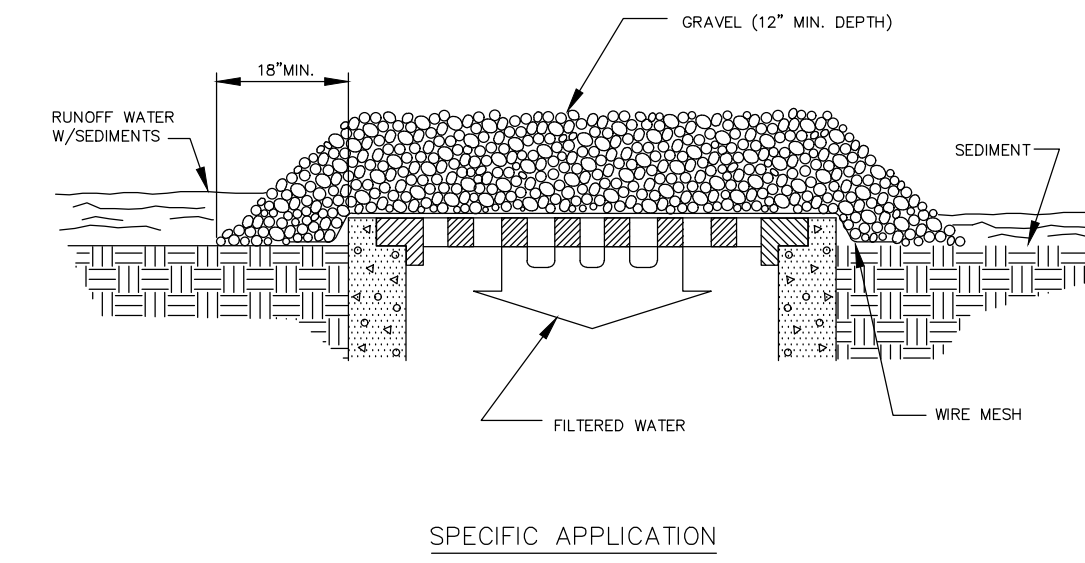
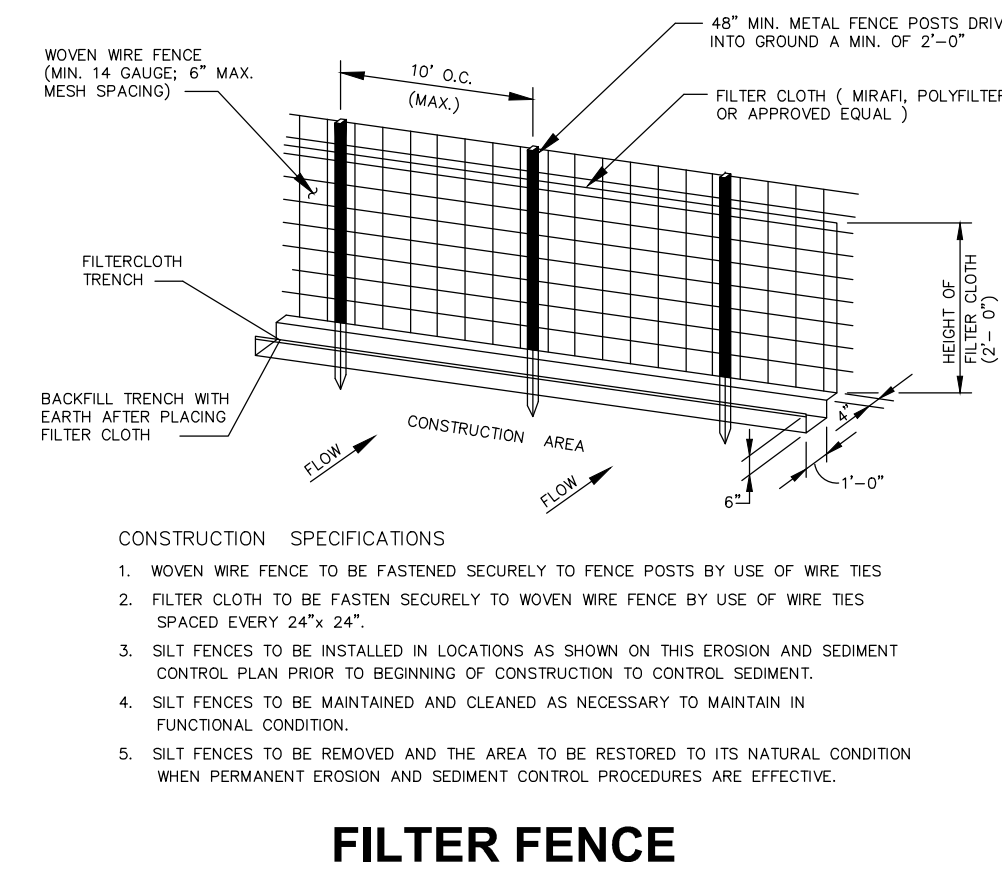
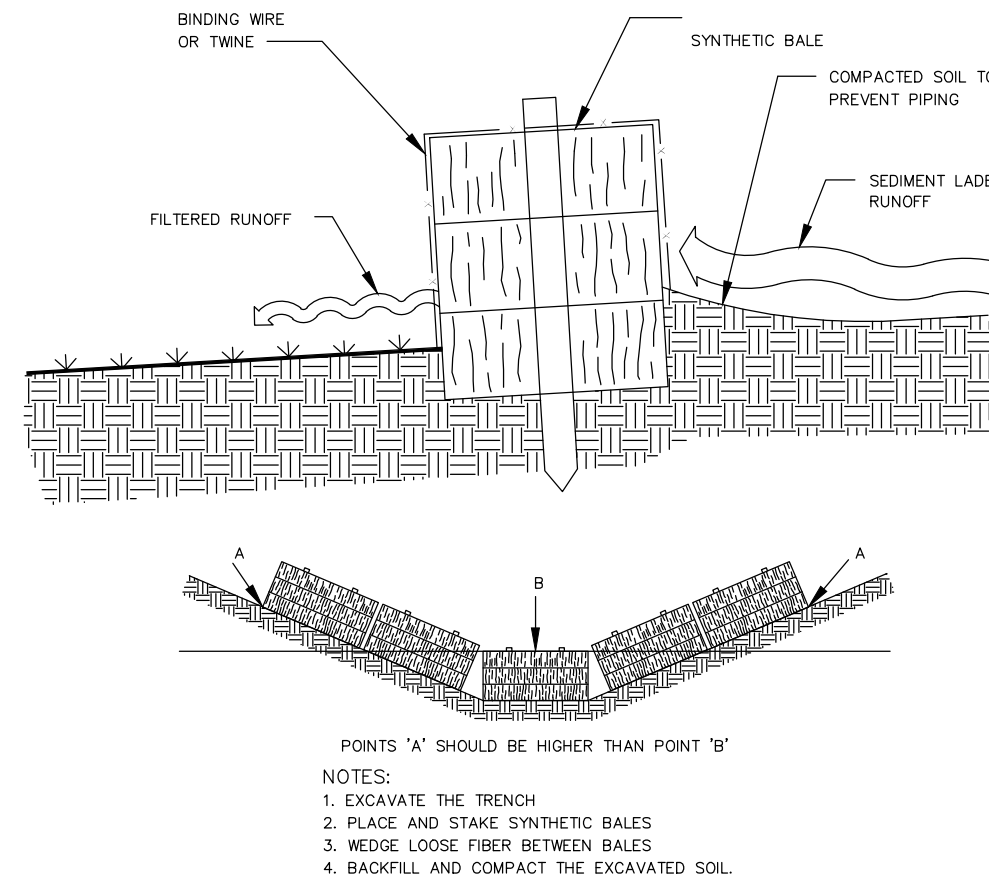
PROJECT TITLE
FL INFRA TRUCK SHOP
SHEET TITLE
UTILITY DETAILS

DESIGN: [] REVIEWED: []
DRAWN: [] SCALE: AS SHOWN
DATE: 12/16/23

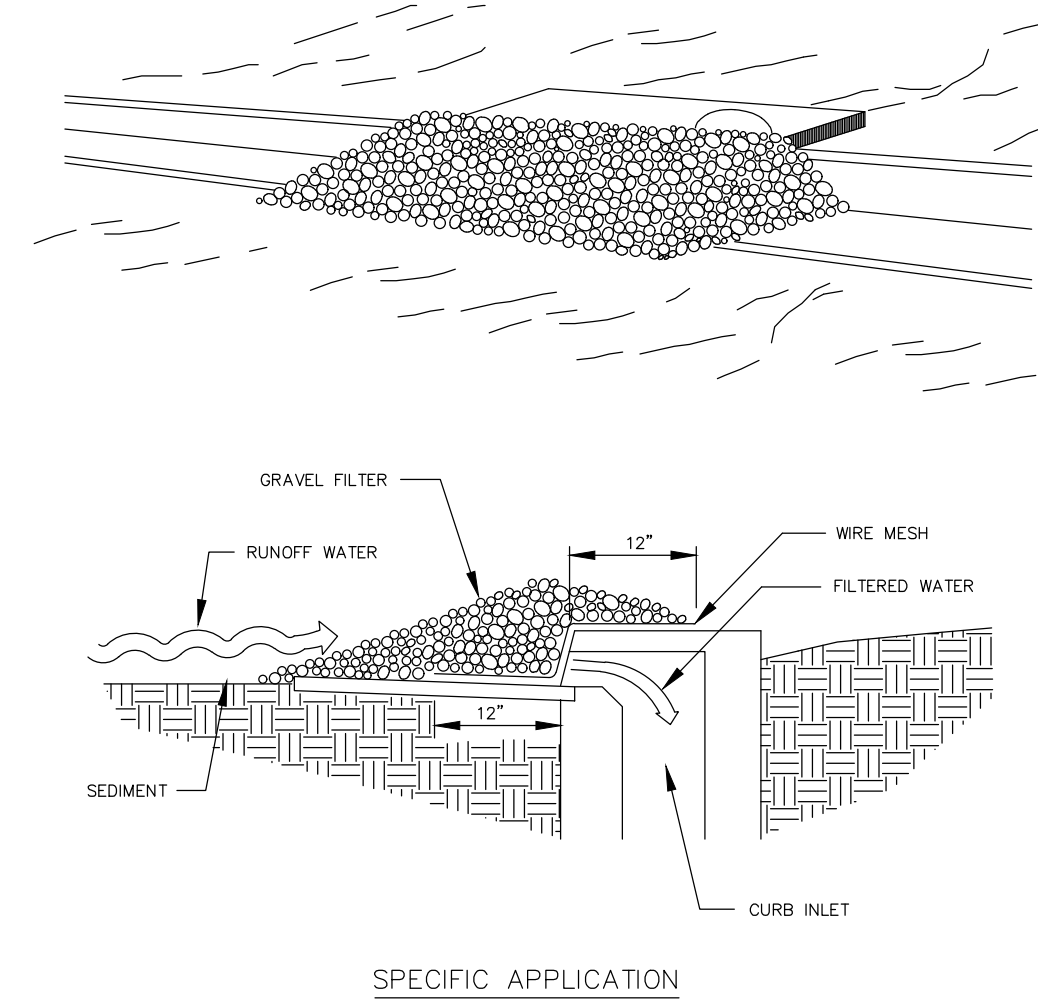
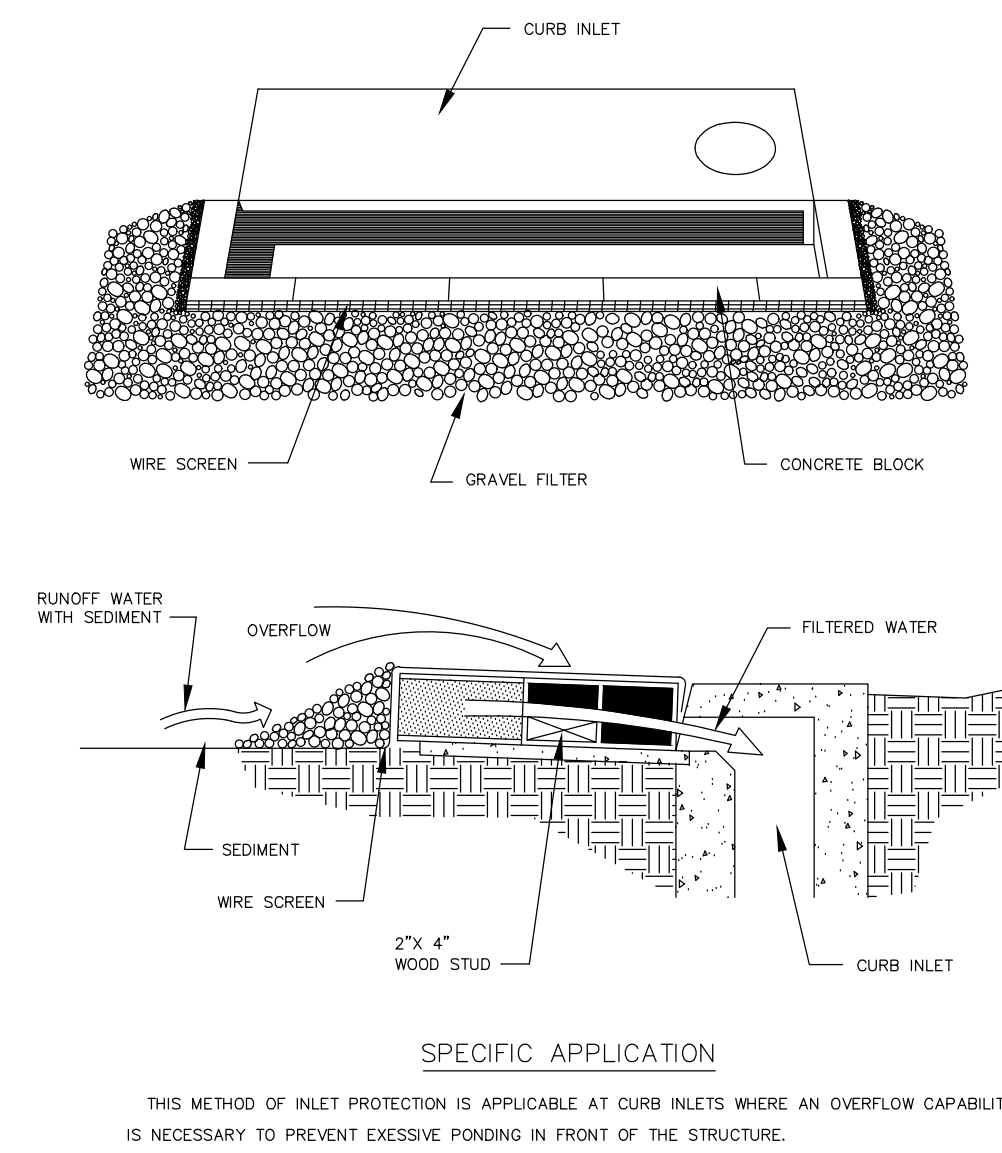
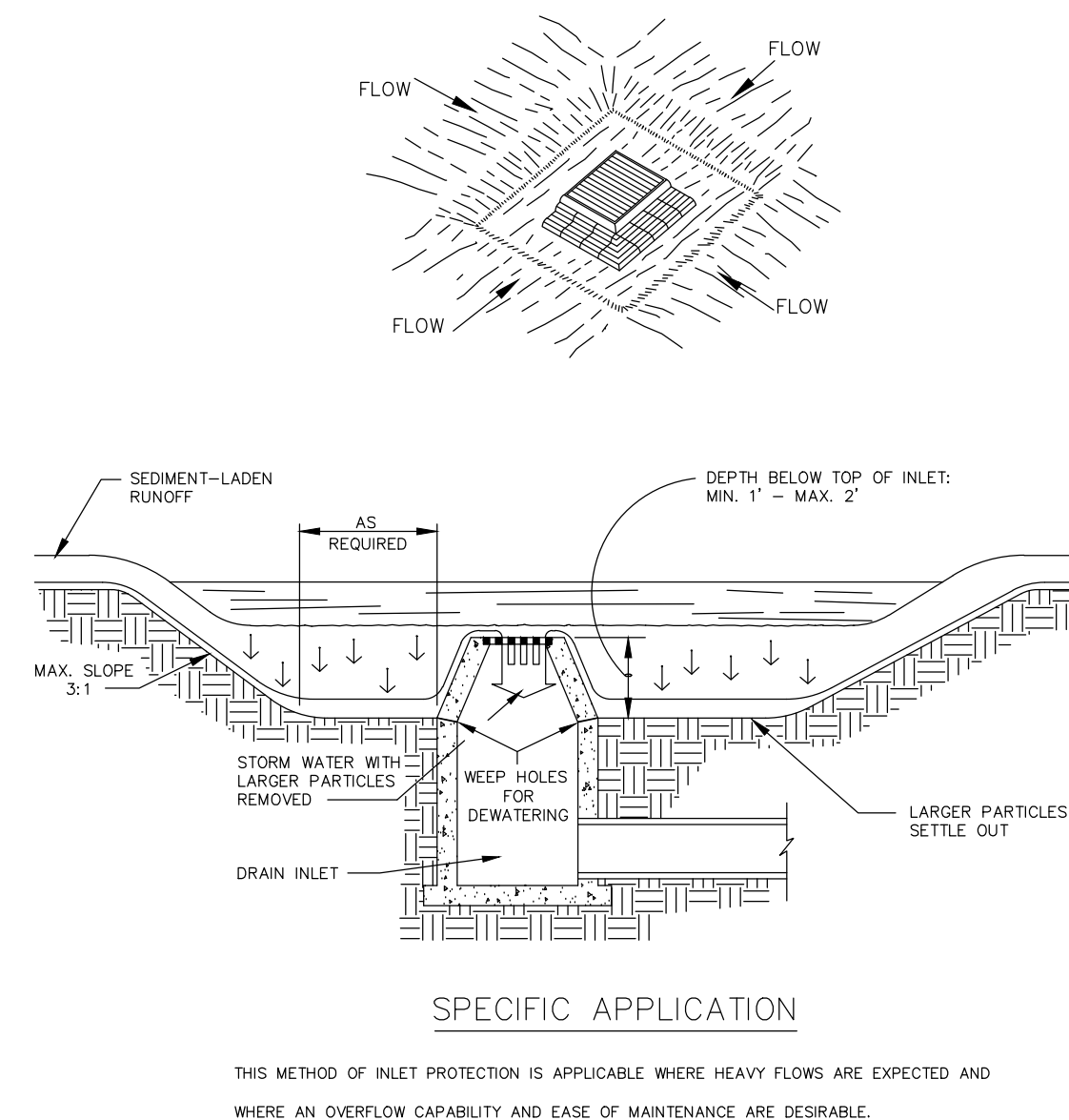
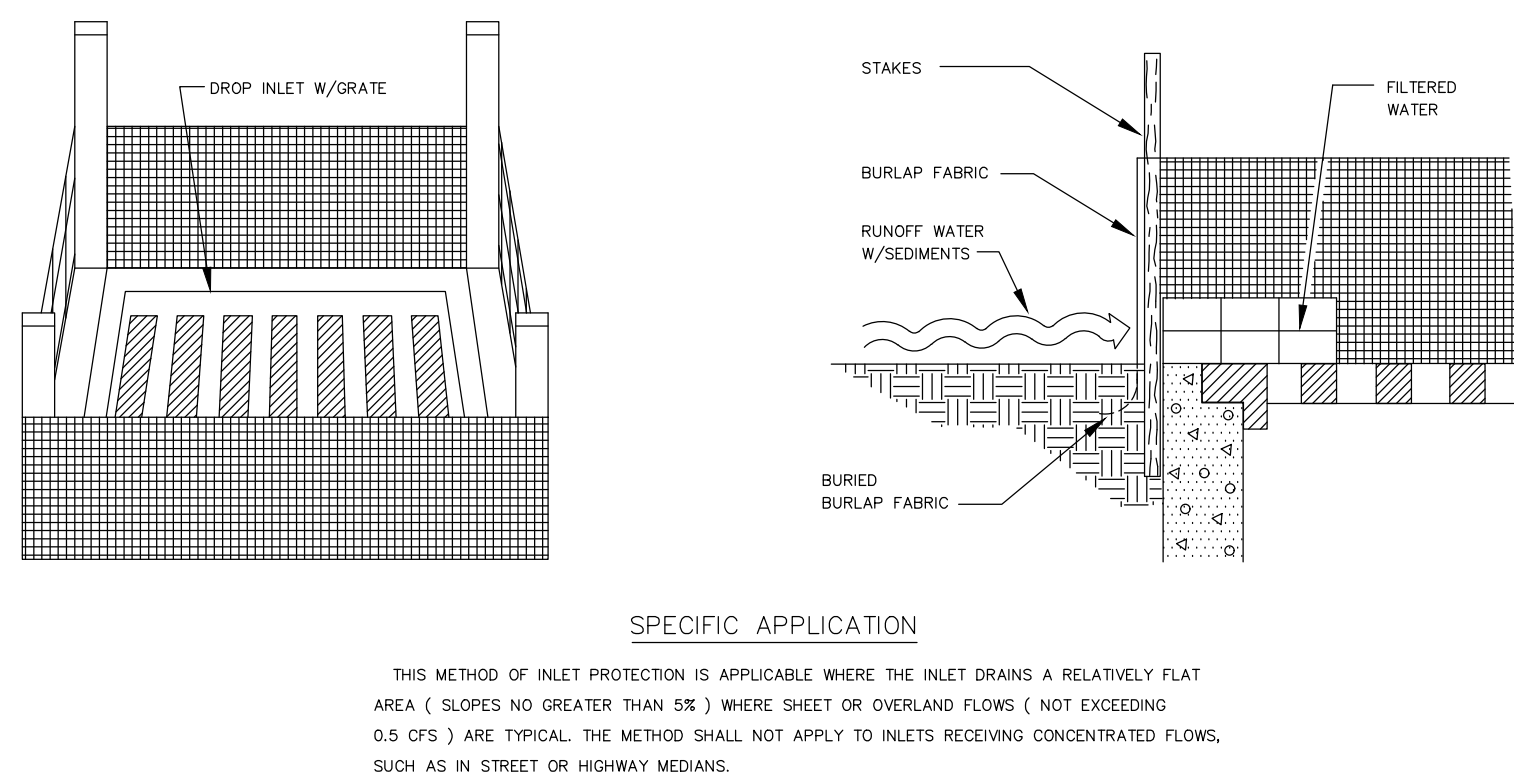
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PROJECT NUMBER
2023-1216

EROSION AND SEDIMENT CONTROL NOTES

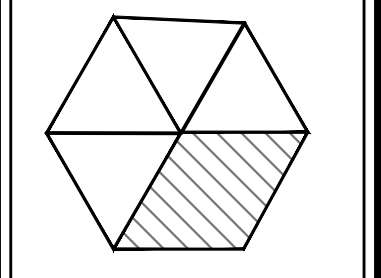
- THE ENVIRONMENTAL PROTECTION AGENCY (EPA) HAS ISSUED TO FLORIDA A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR CERTAIN STORMWATER DISCHARGES. THIS NPDES PROGRAM REQUIRES THAT IF THE MAGNITUDE OF CONSTRUCTION ACTIVITIES COVERED BY THE GENERAL PERMIT ARE ABOVE CERTAIN THRESHOLDS, THEN A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED. ALSO INVOLVED ARE CERTAIN CERTIFICATION, NOTIFICATION, INSPECTION AND RECORD KEEPING IN ACCORDANCE WITH THE EPA PUBLICATION EPA 832-R-92-005 DATED SEPT., 1992 & TITLED "STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES-DEVELOPING POLLUTION PREVENTION PLANS & BEST MANAGEMENT PRACTICES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE IF THIS PROJECT REQUIRES AN NPDES APPLICATION AND NOTIFICATION AND, IF NECESSARY, PREPARE, SUBMIT AND MAINTAIN THE REQUIRED DOCUMENTATION IN COMPLIANCE WITH THE EPA GUIDELINES AND CRITERIA.
- THESE PLANS INDICATE THE MINIMUM EROSION AND SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
- THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS, AND THE ST. JOHNS RIVER MANAGEMENT DISTRICT PERMIT AND REGULATIONS. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE ST. JOHNS RIVER MANAGEMENT DISTRICT.
- ALL EXCAVATIONS AND EARTHWORK SHALL BE DONE IN A MANNER TO MINIMIZE WATER TURBIDITY AND POLLUTION. DISCHARGE SHALL BE CONTROLLED AND REROUTED THROUGH HAY FILTERS, SILTATION DIAPERS AND SUMPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION, CORRECTION, CONTROL AND ABATEMENT OF EROSION AND WATER POLLUTION IN ACCORDANCE WITH CHAPTER 17-3, FLORIDA ADMINISTRATIVE CODE. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "FLORIDA DEVELOPEMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, CHAPTER 6.
- THE CONTRACTOR SHALL PAY FOR ANY WATER QUALITY CONTROL VIOLATIONS FROM ANY AGENCY THAT RESULTS IN FINES BEING ASSESSED TO THE OWNER BECAUSE OF THE CONTRACTOR'S FAILURE TO ELIMINATE TURBID RUNOFF FROM LEAVING THE SITE AND RAISING BACKGROUND LEVELS.
- EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
- ADDITIONAL PROTECTION - ON SITE PROTECTION, AS MAY BE DEEMED NECESSARY DURING CONSTRUCTION SHALL BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNFORSEEN CONDITIONS OR ACCIDENTS,
- WIRE MESH SHALL BE LAID OVER THE DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED. FOOT NO. 1 COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
- IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.
- BALES SHALL BE PLACED LENGTHWISE IN SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER. BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH THE BINDINGS ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.
- THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 8 INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER. EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. LOOSE FIBER SHOULD BE WEDGED BETWEEN BALES TO PREVENT WATER FROM ENTERING BETWEEN BALES.
- SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS AND SHALL BE MAINTAINED UNTIL COMPLETION OF ALL CONSTRUCTION ACTIVITY.
- CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC., ARE CLEANED OUT AND WORKING PROPERLY AT ALL TIMES AND THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND REPAIRS, AS NEEDED, SHALL BE MADE IMMEDIATELY.
- ANY DISCHARGE FROM A DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND THE TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
- SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ANY SEDIMENT THAT LEAVES THE SITE AND CHANGES ANY DOWNSTREAM CONDITIONS BY RAISING CHANNEL BOTTOMS AND/OR CLOGGING OUTFALL CULVERTS.
- SEDIMENT DEPOSITS TO BE REMOVED AFTER EACH RAINFALL AND REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT ON THE BARRIER. SEDIMENT TRAPS TO BE RESTORED TO THEIR ORIGINAL DIMENSIONS BY REMOVING THE SEDIMENT WHEN IT HAS ACCUMULATED TO ONE-THIRD THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT TO BE DEPOSITED IN A SUITABLE AREA AND MANNER THAT IT WILL NOT ERODE.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE, SYNTHETIC BALE OR FILTER BARRIER IS NO LONGER REQUIRED OR AFTER COMPLETION OF CONSTRUCTION SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED. ALL DEWATERING, EROSION AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- ALL DISTURBED AREAS SHALL BE STABILIZED THROUGH COMPACTION, GRASSING AND SODDING. THE GRASS/SODDING SHALL BE MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED. ALL FILL SLOPES 4:1 OR GREATER TO RECEIVE STAKED SOLID SOD.



ONLY SYNTHETIC BALES TO BE USED (TYP)



2
CIVIL ENGINEERING, LLC
 9526 ARCYLE FOREST BLVD,
 UNIT B2 #456
 JACKSONVILLE, FL 32222
 904-885-0188

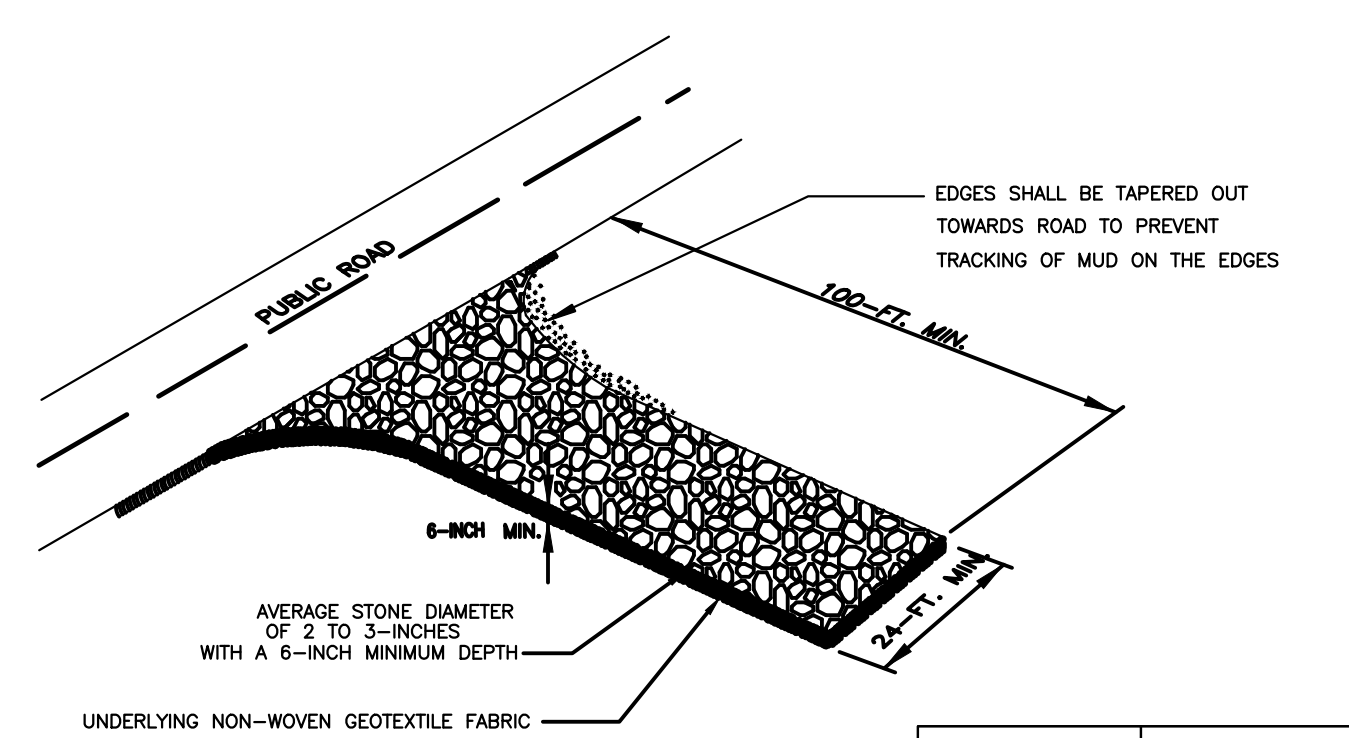
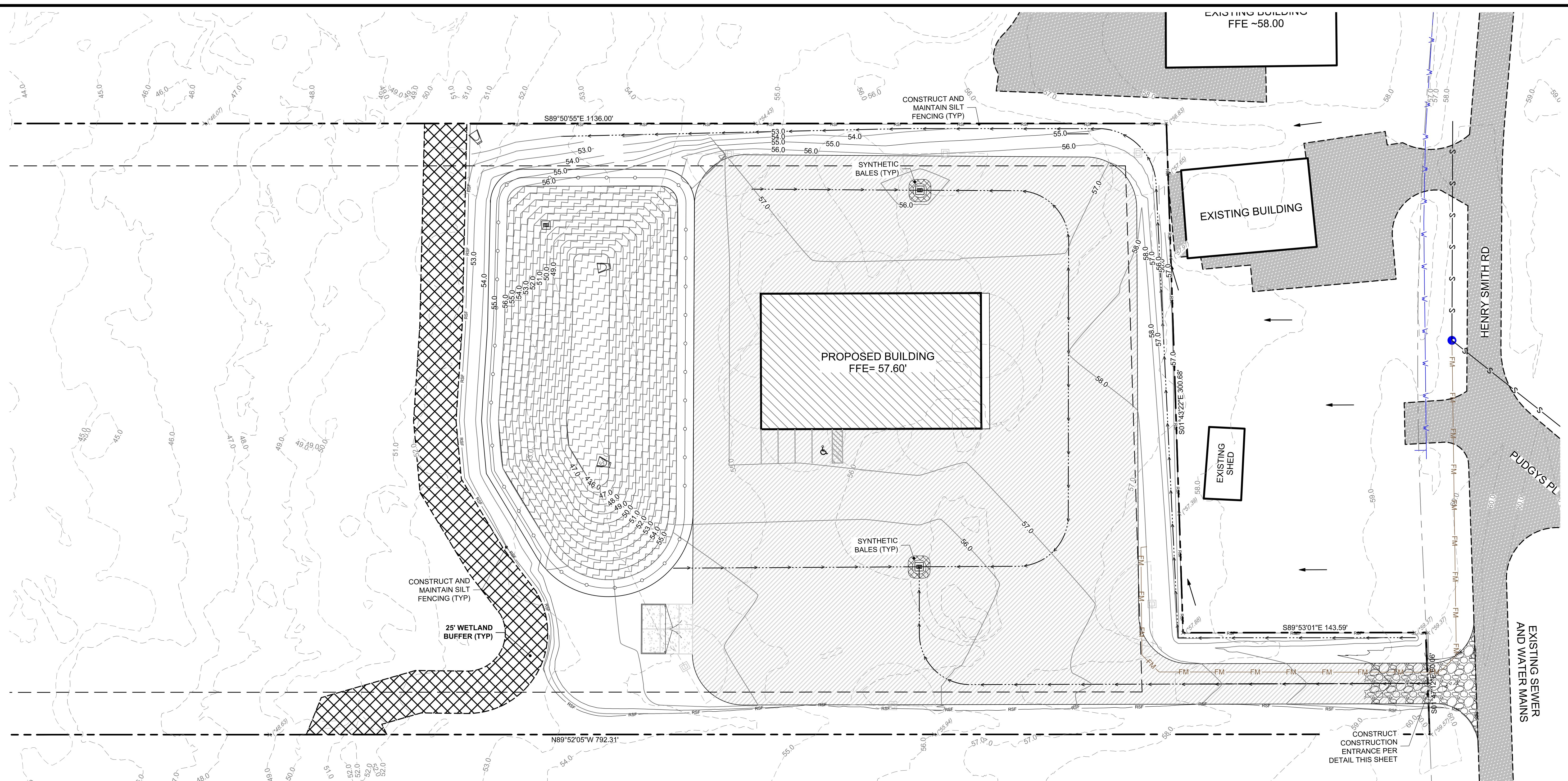


NO.	DESCRIPTION	DATE

CLIENT	FLORIDA INFRASTRUCTURE
PROJECT ADDRESS	HENRY SMITH RD HILLIARD, FLORIDA
PROJECT TITLE	FL INFRA TRUCK SHOP
SHEET TITLE	ESC DETAILS

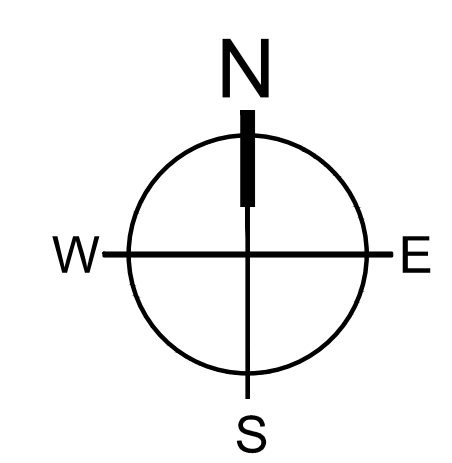
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AS SHOWN	12/16/23

PROJECT NUMBER	C8.0
	2023-1216

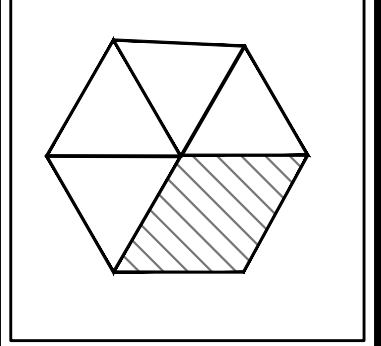


SPECIFICATION	SIZE
ROCK PAD THICKNESS	6 INCHES
ROCK PAD WIDTH	24 FEET
ROCK PAD LENGTH	100 FEET
ROCK PAD STONE SIZE	D = 2-3 INCHES

CONSTRUCTION ENTRANCE
NOT TO SCALE



P²
CIVIL ENGINEERING, LLC
 9526 ARCYLE FOREST BLVD,
 UNIT B2 #456
 JACKSONVILLE, FL 32222
 904-885-0188



FLORIDA
 LICENSED PROFESSIONAL ENGINEER
 PAUL A. TALBERT

NO.	DESCRIPTION	DATE

CLIENT
FLORIDA INFRASTRUCTURE
 PROJECT ADDRESS
 HENRY SMITH RD
 HILLIARD, FLORIDA

PROJECT TITLE
FL INFRA TRUCK SHOP
 SHEET TITLE
ESC PLAN

DESIGN:	REVIEWED:
DRAWN:	
SCALE: AS SHOWN	DATE: 12/16/23

C8.1
 PROJECT NUMBER
 2023-1216

OWNER'S REQUIREMENTS

CONTRACTOR'S REQUIREMENTS

SITE DESCRIPTION

PROJECT NAME AND LOCATION:
FLORIDA INFRASTRUCTURE TRUCK SHOP
 HENRY SMITH RD, HILLIARD, FL 32046

OWNER NAME AND ADDRESS:
FLORIDA INFRASTRUCTURE
 542190 US-1
 CALLAHAN, FL 32011

DESCRIPTION:
 THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A PROPOSED TRUCK REPAIR/STORAGE SHOP WITH SITE IMPROVEMENTS INCLUDING A NEW PREFAB METAL BUILDING, LAY DOWN YARD AND ASSOCIATED INFRASTRUCTURE INCLUDING UTILITIES, STORMWATER MANAGEMENT POND AND LANDSCAPING.

SOIL DISTURBING ACTIVITIES WILL INCLUDE:
CLEARING AND GRUBBING; PERIMETER, AND OTHER EROSION AND SEDIMENT CONTROLS; GRADING; EXCAVATION FOR ASSOCIATED UTILITIES AND STORMWATER MANAGEMENT FACILITY; CONSTRUCTION OF CURB, GUTTER AND ASPHALT PAVEMENT; PREP FOR FINAL PLANTING AND SEEDING.

RUNOFF COEFFICIENT:
 1. **PRE-CONSTRUCTION = 87**
 2. **DURING CONSTRUCTION = 92**
 3. **POST-CONSTRUCTION = 95**

SOILS:
 SEE SOILS REPORT FOR SOILS DATA

SITE MAPS:
 * SEE ATTACHED GRADING PLAN FOR PRE & POST DEVELOPMENT GRADES, AREAS OF SOIL DISTURBANCE, LOCATION OF SURFACE WATERS, PROTECTED AREAS, MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS AND STORM WATER DISCHARGE POINTS.

* SEE ATTACHED EROSION & TURBIDITY CONTROL PLAN FOR LOCATION OF TEMPORARY STABILIZATION PRACTICES, AND TURBIDITY BARRIERS.

* SEE GENERAL NOTES FOR REQUIREMENTS FOR TEMPORARY AND PERMANENT STABILIZATION.

SITE AREA:
 1. **TOTAL AREA OF SITE = 8.78 Ac.**
 2. **TOTAL AREA TO BE DISTURBED = 2.78 Ac.**

NAME OF RECEIVING WATERS: **TRIBUTARY TO LITTLE ST MARY'S RIVER**

CONTROLS

THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUNOFF. AN EROSION AND TURBIDITY PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS AS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE, AND LOCAL LAWS. REFER TO "CONTRACTORS RESPONSIBILITY" FOR A VERBAL DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.

STORM WATER MANAGEMENT
 STORM WATER DRAINAGE WILL BE PROVIDED BY CURB AND GUTTER, STORM SEWER, CURB INLETS AND CATCH BASINS
 FOR THE PAVED AREAS, AREAS WHICH ARE NOT DEVELOPED BUT WILL BE REGRADED SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE. WHEN CONSTRUCTION IS COMPLETE, A TOTAL OF ____ ACRES WILL HAVE BEEN REGRADED. THE SITE DISCHARGES TO AN EXISTING WETLAND SYSTEM
 WHERE PRACTICAL, TEMPORARY SEDIMENT BASINS WILL BE USED TO INTERCEPT SEDIMENT BEFORE ENTERING THE PERMANENT DETENTION BASIN.

TIMING OF CONTROLS/MEASURES

REFER TO " CONTRACTORS RESPONSIBILITY " FOR THE TIMING OF CONTROL/MEASURES.

CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS

IN AN EFFORT TO ENSURE COMPLIANCE WITH FEDERAL, STATE, AND LOCAL LAWS REGARDING EROSION AND TURBIDITY CONTROLS, THE FOLLOWING PERMITS HAVE BEEN OBTAINED:

D.E.R. DREDGE/FILL PERMIT # _____
 C.O.E. DREDGE/FILL PERMIT # _____
 S.J.R.W.M.D. PERMIT # _____
 CITY OF JACKSONVILLE, FL DEVELOPMENT PERMIT _____

POLLUTION PREVENTION PLAN CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNED: _____
 CORPORATE OFFICER, GENERAL PARTNER, PROPRIETOR,
 EXECUTIVE OFFICER, RANKING ELECTED OFFICIAL

DATE: _____

GENERAL

THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS. DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULATES TO THE RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.

SEQUENCE OF MAJOR ACTIVITIES

THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

- | | |
|--|---|
| 1. INSTALL STABILIZED CONSTRUCTION ENTRANCE | 9. INSTALL UTILITIES, STORM SEWER CURBS AND GUTTER. |
| 2. INSTALL SILT FENCES AND HAY BALES AS REQUIRED | 10. APPLY BASE TO PARKING LOT |
| 3. CLEAR AND GRUB FOR DIVERSION SWALES/DIKES AND SEDIMENT BASIN | 11. COMPLETE GRADING AND INSTALL PERMANENT SEEDING/SOD AND PLANTING |
| 4. CONSTRUCT SEDIMENTATION BASIN | 12. COMPLETE FINAL PAVING |
| 5. CONTINUE CLEARING AND GRUBBING | 13. REMOVE ACCUMULATED SEDIMENT FROM BASINS |
| 6. STOCK PILE TOP SOIL IF REQUIRED | 14. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION ON SITE AS REQUIRED |
| 7. PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED | 15. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALES/DIKES AND RESEED/SOD AS REQUIRED |
| 8. STABILIZE DENuded AREAS AND STOCKPILES AS SOON AS PRACTICABLE | |

CONTROLS

IT IS IN THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED TO ENSURE THE SITE MEETS ALL FEDERAL, STATE, AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE EROSION AND TURBIDITY CONTROL PLAN AND AS REQUIRED TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.

EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES

- STRAW BALE BARRIER: STRAW BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
 - WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
 - IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
 - WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS.
 - EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT.
- FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
 - WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
 - IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
- BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.
- LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED STABILIZED AREAS. THIS PRACTICE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL LIP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE.
- STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.
- EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING OR GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREAS WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.
- INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT -LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
- TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT AFTER COMPETE WITH PERMANENT GRASSING.
- TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.
- TEMPORARY GRASSING: THE SEEDDED OR SEEDDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER.
- TEMPORARY REGRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.
- MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.
- PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFF SITE FACILITIES.
- PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDDED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDDED AND MULCHED OR SOODED.

STRUCTURAL PRACTICES

- TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.
- TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP IS USUALLY INSTALLED IN A DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA WITH THE FOLLOWING LIMITATIONS:
 - THE SEDIMENT TRAP MAY BE INSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE.
- OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE VELOCITY OF FLOW AT DESIGN CAPACITY OF THE OUTLET WILL EXCEED THE PERMISSIBLE VELOCITY OF THE RECEIVING CHANNEL OR AREA.
- SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3, 600 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE. THE 3, 600 CUBIC FEET OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS FROM ONSITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION.

OTHER CONTROLS

WASTE DISPOSAL

WASTE MATERIALS
 ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAUL TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.

OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN.

INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

CONCRETE	FERTILIZERS	WOOD
ASPHALT	PETROLEUM BASED PRODUCTS	MASONRY BLOCKS
TAR	CLEANING SOLVENTS	ROOFING MATERIALS
DETERGENTS	PAINTS	METAL STUDS

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURERS LABEL.
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL.

HAZARDOUS PRODUCTS

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
- IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS.

FERTILIZERS

FERTILIZERS USED WILL APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS

CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (i.e. KITTY LITTER OR EQUAL), SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ONSITE.

MAINTENANCE/INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

- NO MORE THAN 10 ACRES OF THE SITE WILL BE DENUED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.
- ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER.
- ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
- BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
- SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
- THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB.
- DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
- TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, SHADOWS, AND HEALTHY GROWTH.
- A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS ATTACHED. THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER, OR ANY FEDERAL, STATE, OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORM WATER MANAGEMENT PLANS. THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE TERMINATION IS SUBMITTED. THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.
- THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE, AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.
- PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.

NON-STORM WATER DISCHARGES

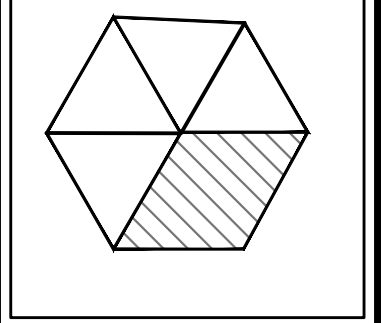
- IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:
 - WATER FROM WATER LINE FLUSHING
 - PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).
 - UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION).
- ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNATURE	BUSINESS NAME AND ADDRESS OF CONTRACTOR AND ALL SUBS	RESPONSIBLE FOR/DUTIES
		GENERAL CONTRACTOR
		SUB-CONTRACTOR
		SUB-CONTRACTOR
		SUB-CONTRACTOR
		SUB-CONTRACTOR

P²
CIVIL ENGINEERING, LLC
 9526 ARCYLE FOREST BLVD,
 UNIT B2 #456
 JACKSONVILLE, FL 32222
 904-885-0188



CLIENT
FLORIDA INFRASTRUCTURE
 PROJECT ADDRESS
**HENRY SMITH RD
 HILLIARD, FLORIDA**

NO.	DATE	DESCRIPTION

PROJECT TITLE
FL INFRA TRUCK SHOP

SHEET TITLE
SWPPP-1

DESIGN:	REVIEWED:
DRAWN:	

SCALE: AS SHOWN	DATE: 12/16/23
--------------------	-------------------

C9.0
 PROJECT NUMBER
 2023-1216

FLORIDA INFRASTRUCTURE TRUCK SHOP

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT
TO BE COMPLETED EVERY SEVEN (7) DAYS AND WITHIN TWENTY-FOUR (24) HOURS
OF A RAINFALL EVENT OF 0.25 INCHES OR MORE

INSPECTOR: _____ DATE: _____

INSPECTOR'S QUALIFICATIONS:

DATES SINCE LAST RAINFALL: _____ AMOUNT OF LAST RAINFALL: _____ INCHES

STABILIZATION MEASURES

INSPECTION AREA (DESCRIPTION OF LOCATION)	DATE SINCE LAST DISTURBED	DATE OF NEXT DISTURBANCE	STABILIZED ? (YES / NO)	STABILIZED WIDTH	CONDITION

STABILIZATION REQUIRED:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

FLORIDA INFRASTRUCTURE TRUCK SHOP

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT

DATE: _____

STRUCTURAL CONTROLS

EARTH DIKES / SWALES

DIKE OR SWALE	FROM	TO	IS DIKE / SWALE STABILIZED?	IS THERE EVIDENCE OF WASHOUT OR OVER TOPPING?

MAINTENANCE REQUIRED FOR EARTH DIKE / SWALE:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

EARTH DIKES / SWALES

STRUCTURAL/ OUTFALL	ARE TURBIDITY CONTROLS IN PLACE?	ANY EVIDENCE OF CLOGGING/WASHOUT OR BYPASSING?	ARE TURBIDITY CONTROLS IN NEED OF REPLACING?	DOES SILT NEED TO BE REMOVED FROM AROUND CONTROL?

MAINTENANCE REQUIRED FOR CATCH BASIN / CURB INLETS / OUTFALLS TRUBIDITY CONTROLS:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

FLORIDA INFRASTRUCTURE TRUCK SHOP

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT

SEDIMENT BASIN

DEPTH OF SEDIMENT IN BASIN	DEPTH OF SEDIMENT SIDE BASIN	IS THERE EVIDENCE OF OVER TOPPING OF EMBANKMENT?	CONDITION OF OUTFALL FROM SEDIMENT BASIN

MAINTENANCE REQUIRED FOR SEDIMENT BASIN:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

OTHER CONTROLS

STABILIZED CONSTRUCTION ENTRANCE

DOES MUCH SEDIMENT GET TRACKED ON TO ROADWAY?	IS THE GRAVEL CLEAN OR IS IT FILLED WITH SEDIMENT?	DOES ALL TRAFFIC USE THE STABILIZED ENTRANCE LEAVE THE SITE?	IS THE CULVERT BENEATH THE ENTRANCE WORKING? (IF APPLICABLE)

MAINTENANCE REQUIRED FOR STABILIZED CONSTRUCTION ENTRANCE:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

FLORIDA INFRASTRUCTURE TRUCK SHOP

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT

CHANGES REQUIRED TO THE POLLUTION PREVENTION PLAN:

REASONS FOR CHANGES:

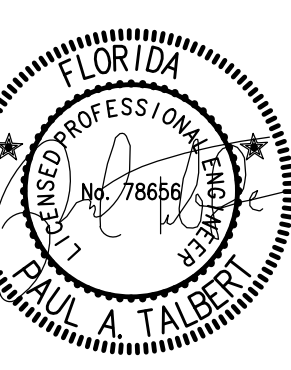
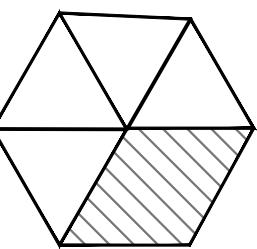
I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERTY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNATURE: _____ DATE: _____

NOTE TO CONTRACTOR:
THIS IS THE CONTRACTORS CERTIFICATE REQUIRED BY THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES), STORM WATER POLLUTION PREVENTION PLAN FOR CONSTRUCTION SITES OVER FIVE (5) ACRES. IT IS SUGGESTED THAT THIS SHEET BE REMOVED FROM THE PLAN SET AND DUPLICATED AS NEEDED BY THE CONTRACTOR.

AN INSPECTOR, CERTIFIED BY THE STATE OF FLORIDA OR EXPERIENCED IN THE INSTALLATION AND MAINTENANCE OF EROSION CONTROLS, IS REQUIRED TO INSPECT THE EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE APPROVED STORMWATER POLLUTION PREVENTION PLAN. INSPECTION REPORTS ARE TO BE COMPLETED ONCE EVERY WEEK AND AFTER EVERY RAINFALL EVENT OF 0.5" OR MORE DURING THE CONSTRUCTION PHASE. THESE REPORTS SHALL BE MADE AVAILABLE TO THE CITY AT ANY TIME AND COPIES OF ALL OF THE INSPECTIONS SHALL BE SUBMITTED TO THE CITY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLETION OR OCCUPANCY.

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JACKSONVILLE, FL 32222
904-885-0188



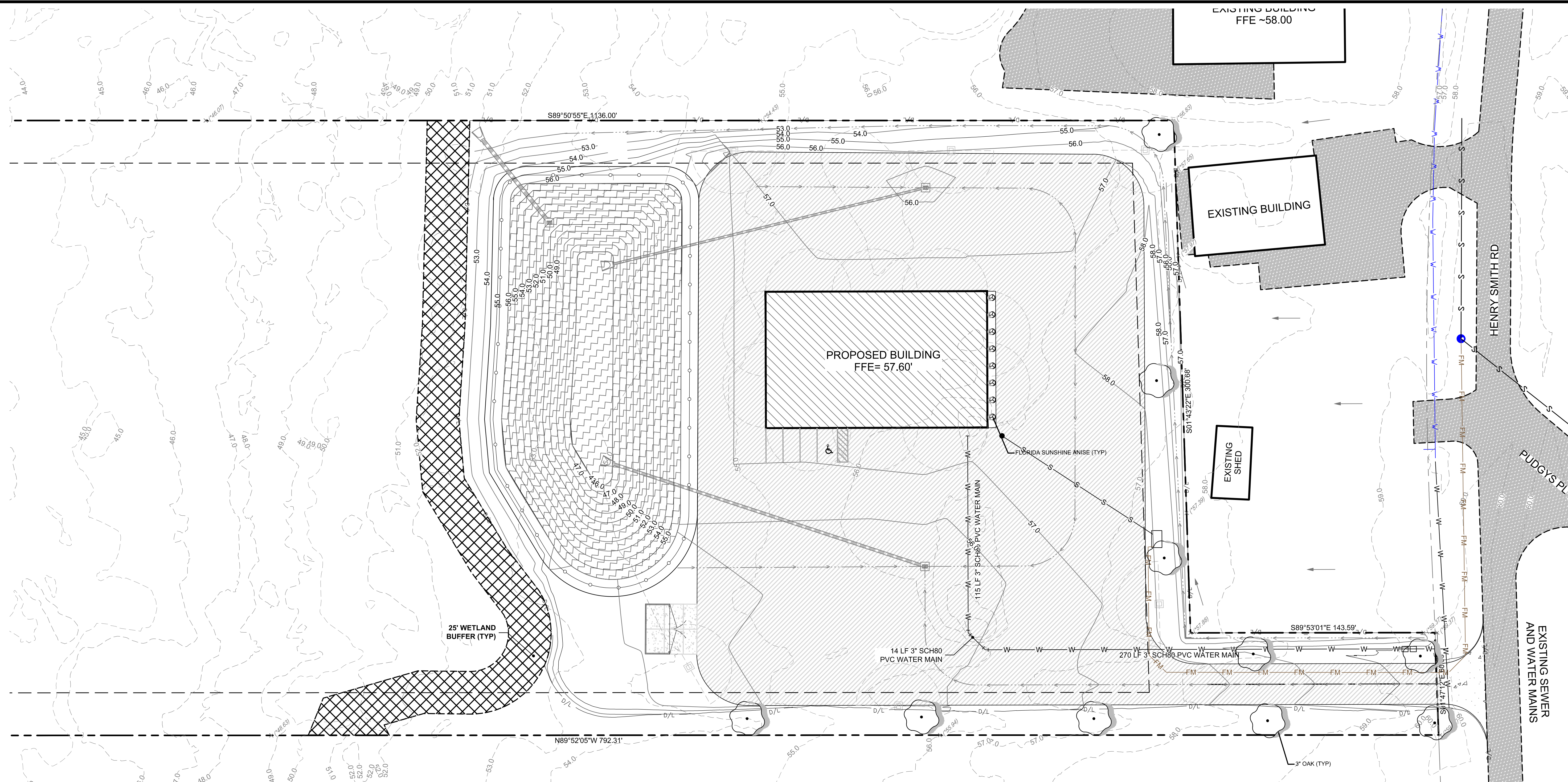
NO.	DESCRIPTION	DATE

CLIENT
FLORIDA INFRASTRUCTURE
PROJECT ADDRESS
HENRY SMITH RD
HILLIARD, FLORIDA

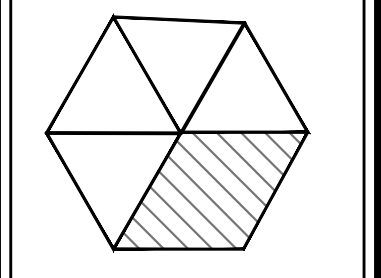
PROJECT TITLE
FL INFRA TRUCK SHOP
SHEET TITLE
SWPPP-2

DESIGN:	REVIEWED:
DRAWN:	
SCALE: AS SHOWN	DATE: 12/16/23

C9.1
PROJECT NUMBER
2023-1216



P²
CIVIL ENGINEERING, LLC
 9526 ARCYLE FOREST BLVD.
 UNIT B2 #456
 JACKSONVILLE, FL 32222
 904-885-0188



FLORIDA
 LICENSED PROFESSIONAL ENGINEER
 PAUL A. TALBERT
 License No. 78666

NO.	DESCRIPTION	DATE

CLIENT
FLORIDA INFRASTRUCTURE
 PROJECT ADDRESS
 HENRY SMITH RD
 HILLIARD, FLORIDA

PROJECT TITLE
FL INFRA TRUCK SHOP
 SHEET TITLE
LANDSCAPE PLAN

DESIGN:	REVIEWED:
DRAWN:	
SCALE: AS SHOWN	DATE: 12/16/23

C10.0
 PROJECT NUMBER
 2023-1216



AGENDA ITEM REPORT

TOWN OF HILLIARD, FLORIDA

TO: Planning & Zoning Board Regular Meeting Meeting Date: September 03, 2024

FROM: **Lee Anne Wollitz – Land Use Administrator**

SUBJECT: Planning and Zoning Board to discuss and accept updated Code and Comprehensive Plan Binders.

BACKGROUND:

The Town of Hilliard adopted Comprehensive Plan 2040 on March 4, 2021.

The Town of Hilliard adopted the repeal and replace of Chapter 62, Land Development Regulations on December 7, 2023.

A binder of these documents along with the current Zoning and FLUM maps have been prepared for each of the members of the Planning and Zoning Board and will be distributed at tonight's meeting.

FINANCIAL IMPACT:

No additional impact will be incurred.

RECOMMENDATION:

Planning and Zoning Board to discuss and accept updated Code and Comprehensive Plan Binders.

HILLIARD PLANNING AND ZONING BOARD MEETING

Hilliard Town Hall / Council Chambers
15859 West County Road 108
Post Office Box 249
Hilliard, FL 32046

BOARD MEMBERS

Wendy Prather, Chair
Charles A. Reed, Vice Chair
Harold "Skip" Frey, Board Member
Josetta Lawson, Board Member
Kevin Webb, Board Member

ADMINISTRATIVE STAFF

Lee Anne Wollitz
Land Use Administrator

PLANNING AND ZONING ATTORNEY

Christian Waugh

MINUTES

TUESDAY, AUGUST 13, 2024, 7:00 PM

NOTICE TO PUBLIC

Anyone wishing to address the Planning & Zoning Board regarding any item on this agenda is requested to complete an agenda item sheet in advance and give it to the Land Use Administrator. The sheets are located next to the printed agendas in the back of the Council Chambers. Speakers are respectfully requested to limit their comments to three (3) minutes. A speaker's time may not be allocated to others.

PLEDGE OF CIVILITY

WE WILL BE RESPECTFUL OF ONE ANOTHER
EVEN WHEN WE DISAGREE.
WE WILL DIRECT ALL COMMENTS TO THE ISSUES.
WE WILL AVOID PERSONAL ATTACKS.
"Politeness costs so little." – ABRAHAM LINCOLN

**CALL TO ORDER
PRAYER & PLEDGE OF ALLEGIANCE
ROLL CALL**

PRESENT
Chair Wendy Prather
Planning and Zoning Board Member Harold "Skip" Frey
Planning and Zoning Board Member Josetta Lawson
Planning and Zoning Board Member Kevin Webb

ABSENT
Vice Chair Charles A. Reed

REGULAR MEETING

ITEM-1 Additions/Deletions to Agenda

No Additions or Deletions to the Agenda.

ITEM-2 Planning and Zoning Board Recommendation to the Town Council, the Minor
Subdivision Application No. 20240716.
Parcel ID No. 09-3N-24-0000-0024-0000

Property Owner- Doug Loyd.

Lee Anne Wollitz – Land Use Administrator

Lee Anne Wollitz – Land Use Administrator read staff report with 3 conditions.

Wendy Prather, Board Chair asked for clarity of Ownership and is answered by Land Use Administrator.

Harold Frey, Board Member asked for clarity of placement and is answered by Land Use Administrator.

Kevin Webb, Board Member asked for the direction the homes would face and is answered by the Land Use Administrator.

Chauntee Diaz, 27904 Conner Nelson Road, Audience member, asked as to age of sewer system and is answered by Land Use Administrator.

Wendy Prather, Board Chair, Questioned on water hookup details and is answered by the Land Use Administrator.

Harold Frey, Board Member, asked if both new lots will it meet R-2 Standard and is answered by the Land Use Administrator.

Motion is made with the following conditions:

1. The applicant shall record the lot split with the Clerk of the Court and provide the Town with evidence of the recordation.
2. The applicant shall obtain a real estate parcel number for the newly created parcel from the Property Appraiser and provide those real estate parcel number to the Town.
3. The applicant shall provide a utility easement across the proposed new lot to allow access to utility lines to the existing dwelling unit.

Motion made by Planning and Zoning Board Member Frey, Seconded by Planning and Zoning Board Member Webb.

Voting Yea: Chair Prather, Planning and Zoning Board Member Frey, Planning and Zoning Board Member Lawson, Planning and Zoning Board Member Webb

ITEM-3

Planning and Zoning Board to change meeting date from the second Tuesday of each month to the first Tuesday of each month, effective September 2024.

Lee Anne Wollitz – Land Use Administrator

Lee Anne Wollitz – Land Use Administrator reads staff report and provides updated Planning and Zoning Calendar.

Motion made by Planning and Zoning Board Member Frey, Seconded by Planning and Zoning Board Member Lawson.

Voting Yea: Chair Prather, Planning and Zoning Board Member Frey, Planning and Zoning Board Member Lawson, Planning and Zoning Board Member Webb

ITEM-4 Planning and Zoning Board Approval of Minutes from 7.9.2024 Public Hearing and Regular Meeting.

Motion made by Planning and Zoning Board Member Lawson, Seconded by Planning and Zoning Board Member Frey.
 Voting Yea: Chair Prather, Planning and Zoning Board Member Frey, Planning and Zoning Board Member Lawson, Planning and Zoning Board Member Webb

ADDITIONAL COMMENTS

PUBLIC

Chauntee Diaz, 27904 Conner Nelson Road, suggest the public be invited to stand for the pledge.

BOARD MEMBERS

Prather, Chair and Frey, Board Member are happy that the meetings are moving back to first Tuesday of each month.

LAND USE ADMINISTRATOR

No comments.

PLANNING AND ZONING ATTORNEY

Not present, no comments.

ADJOURNMENT

Motion to adjourn at 7:14pm.

Motion made by Planning and Zoning Board Member Lawson, Seconded by Planning and Zoning Board Member Frey.
 Voting Yea: Chair Prather, Planning and Zoning Board Member Frey, Planning and Zoning Board Member Lawson

Approved this 3rd day of September 2024, by the Hilliard Planning & Zoning Board, Hilliard, Florida

Wendy Prather, Chair
 Hilliard Planning & Zoning Board