

# HILLIARD PLANNING AND ZONING BOARD MEETING

Hilliard Town Hall / Council Chambers  
15859 West County Road 108  
Post Office Box 249  
Hilliard, FL 32046

## BOARD MEMBERS

Harold "Skip" Frey, Chair  
Wendy Prather, Vice Chair  
Charles A. Reed, Board Member  
Josetta Lawson, Board Member  
Kevin Webb, Board Member

## ADMINISTRATIVE STAFF

Lee Anne Wollitz  
Land Use Administrator

## PLANNING AND ZONING ATTORNEY

Mary Norberg

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## AGENDA

TUESDAY, JUNE 13, 2023, 7:00 PM

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### NOTICE TO PUBLIC

Anyone wishing to address the Planning & Zoning Board regarding any item on this agenda is requested to complete an agenda item sheet in advance and give it to the Land Use Administrator. The sheets are located next to the printed agendas in the back of the Council Chambers. Speakers are respectfully requested to limit their comments to three (3) minutes. A speaker's time may not be allocated to others.

### PLEDGE OF CIVILITY

WE WILL BE RESPECTFUL OF ONE ANOTHER  
EVEN WHEN WE DISAGREE.  
WE WILL DIRECT ALL COMMENTS TO THE ISSUES.  
WE WILL AVOID PERSONAL ATTACKS.  
*"Politeness costs so little." – ABRAHAM LINCOLN*

### CALL TO ORDER

PRAYER & PLEDGE OF ALLEGIANCE

ROLL CALL

**CHAIR** To call on members of the audience wishing to address the Board on matters not on the Agenda.

### REGULAR MEETING

**ITEM-1** Additions/Deletions to Agenda

**ITEM-2** Planning and Zoning Board Approval of Site Plan Application No. 20230119  
Oxford Pointe Multifamily Housing. Property Owner - Wayne Bishop  
Parcel ID No. 08-3N-2380-0063-0010.  
**Lee Anne Wollitz- Land Use Administrator**

**ITEM-3** Planning and Zoning Board approval of Site Clearing/Site Work Application No.  
20230516 Bayfront Grove. Property Owner – Tracey Conner  
Parcel ID No. 08-3N-24-2380-0182-0010  
**Lee Anne Wollitz- Land Use Administrator**

**ITEM-4** Planning and Zoning Board Recommendation of the Minor Subdivision Application No. 05022023. Property Owner – Wayne and Lauri Higginbotham, Pneuman Homes.  
Parcel ID No. 08-3N-24-2380-0075-0020.  
***Lee Anne Wollitz- Land Use Administrator***

**ITEM-5** Planning and Zoning Board acceptance of withdraw of applications by Christopher Goodin for Variance application numbers 20220927.10, 20220927.11, 20220927.12, and 20220927.13.  
***Lee Anne Wollitz- Land Use Administrator***

**ITEM-6** Planning and Zoning Board approval of the Minutes from the May 9, 2023, Regular Meeting.

#### **ADDITIONAL COMMENTS**

**PUBLIC**

**BOARD MEMBERS**

**LAND USE ADMINISTRATOR**

**PLANNING AND ZONING ATTORNEY**

#### **ADJOURNMENT**

The Town may take action on any matter during this meeting, including items that are not set forth within this agenda.

#### **TOWN COUNCIL MEETINGS**

The Town Council meets the first and third Thursday of each month beginning at 7:00 p.m., unless otherwise scheduled. Meetings are held in the Town Hall Council Chambers located at 15859 West County Road 108. Video and audio recordings of the meetings are available in the Town Clerk’s Office upon request.

#### **PLANNING & ZONING BOARD MEETINGS**

The Planning & Zoning Board meets the second Tuesday of each month beginning at 7:00 p.m., unless otherwise scheduled. Meetings are held in the Town Hall Council Chambers located at 15859 West County Road 108. Video and audio recordings of the meetings are available in the Town Clerk’s Office upon request.

#### **MINUTES & TRANSCRIPTS**

Minutes of the Town Council meetings can be obtained from the Town Clerk’s Office. The Meetings are usually recorded but are not transcribed verbatim for the minutes. Persons requiring a verbatim transcript may make arrangements with the Town Clerk to duplicate the recordings, if available, or arrange to have a court reporter present at the meeting. The cost of duplication and/or court reporter will be at the expense of the requesting party.

#### **TOWN WEBSITE & YOUTUBE MEETING VIDEO**

The Town’s Website can be access at [www.townofhilliard.com](http://www.townofhilliard.com).  
Live & recorded videos can be access at [www.youtube.com](http://www.youtube.com) search - Town of Hilliard, FL.

## **ADA NOTICE**

In accordance with Section 286.26, Florida Statutes, persons with disabilities needing special accommodations to participate in this meeting should contact the Town Clerk's Office at (904) 845-3555 at least seventy-two hours in advance to request such accommodations.

## **APPEALS**

Pursuant to the requirements of Section 286.0105, Florida Statutes, the following notification is given: If a person decides to appeal any decision made by the Council with respect to any matter considered at such meeting, he or she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.

## **PUBLIC PARTICIPATION**

Pursuant to Section 286.0114, Florida Statutes, effective October 1, 2013, the public is invited to speak on any "proposition" before a board, commission, council, or appointed committee takes official action regardless of whether the issue is on the Agenda. Certain exemptions for emergencies, ministerial acts, etc. apply. This public participation does not affect the right of a person to be heard as otherwise provided by law.

## **EXPARTE COMMUNICATIONS**

Oral or written exchanges (sometimes referred to as lobbying or information gathering) between a Council Member and others, including staff, where there is a substantive discussion regarding a quasi-judicial decision by the Town Council. The exchanges must be disclosed by the Town Council so the public may respond to such exchanges before a vote is taken.

## **2023 HOLIDAYS**

### **TOWN HALL OFFICES CLOSED**

- |                                  |                             |
|----------------------------------|-----------------------------|
| 1. Martin Luther King, Jr. Day   | Monday, January 16, 2023    |
| 2. Memorial Day                  | Monday, May 29, 2023        |
| 3. Independence Day Monday       | Tuesday, July 4, 2023       |
| 4. Labor Day                     | Monday, September 4, 2023   |
| 5. Veterans Day                  | Friday, November 10, 2023   |
| 6. Thanksgiving Day              | Thursday, November 23, 2023 |
| 7. Friday after Thanksgiving Day | Friday, November 24, 2023   |
| 8. Christmas Eve                 | Monday, December 25, 2023   |
| 9. Christmas Day                 | Tuesday, December 26, 2023  |
| 10. New Year's Eve               | Monday, January 1, 2023     |
| 11. New Year's Day               | Tuesday, January 2, 2024    |



## AGENDA ITEM REPORT

### TOWN OF HILLIARD, FLORIDA

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TO: Planning and Zoning Regular Meeting Meeting Date: June 13, 2023

FROM: ***Lee Anne Wollitz- Land Use Administrator***

SUBJECT: Planning and Zoning Board Approval of Site Plan Application No. 20230119 Oxford Pointe Multifamily Housing. Property Owner - Wayne Bishop  
Parcel ID No. 08-3N-2380-0063-0010.

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#### **BACKGROUND:**

In January 2023, Wayne Bishop submitted a site plan application for a multifamily housing project on parcel 08-3N-2380-0063-0010. The parcel is on 3.18 acres, is in a R-3 zoning district and has a FLUM distinction of Medium Density Residential. The location and size of the Parcel will allow a density of 19 units.

The requirements for this application can be found in Town Code 62-40.

All submitted plans have been reviewed by the Town engineer, Town Planner, Town Fire Marshal, Land Use Administrator, and the Town Building Official. The developer has complied with the suggestions of the Town and its consultants.

A Concurrency Application has been filed in companion with the Site Plan Application and a Reservation Letter for 19 units has been issued by the Nassau County School Board.

To date, the only remaining document that we have not received is the finalized SJRWMD permit.

#### **FINANCIAL IMPACT:**

None

#### **RECOMMENDATION:**

Planning and Zoning Board approval of application No. 20230119, Oxford Pointe Multifamily Housing with the following conditions.

1. SJRWMD Permit be secured and provided to the Town prior to any work at the site.
2. The Developer provide progress updates to the Public Works Department and the Land Use Administrator at each step of the project and allow for onsite inspections.
3. The applicant shall pay for any needed testing as well as fees of the Town's consultants related to the review and acceptance of the infrastructure. This includes any inspections and meetings before and during construction.
4. The applicant shall comply with comments generated by the Town's staff and Town's consultants.
5. A pre-construction meeting with the Town's staff shall be held prior to site clearing and construction of infrastructure.



# Town of Hilliard Site Plan Application

ITEM-2

**FOR OFFICE USE ONLY**

File # 20230119  
Application Fee: \$ 1,000 ~~∞~~ CK # 011  
Filing Date: 1/19/23 Acceptance Date: 3/9/23

**A. PROJECT**

- Project Name: Oxford Pointe
- Address of Subject Property: 0 Oxford Street, Hilliard, FL 32046 (Between 7th and 8th)
- Parcel ID Number(s): 08-3N-24-2380-0063-0010
- Existing Use of Property: Vacant Land
- Future Land Use Map Designation: Medium Density Residential
- Zoning Designation: Hilliard R-3
- Acreage: 3.18

**B. APPLICANT**

- Applicant's Status  Owner (title holder)  Agent
- Name of Applicant(s) or Contact Person(s): Wayne Bishop Title: \_\_\_\_\_  
Company (if applicable): \_\_\_\_\_  
Mailing address: 15977 CR 108  
City: Hilliard State: FL ZIP: 32046  
Telephone: ( ) 904 483-6440 FAX: ( ) \_\_\_\_\_ e-mail: wbcbuilder@gmail.com
- If the applicant is agent for the property owner\*:  
Name of Owner (title holder): \_\_\_\_\_  
Company (if applicable): \_\_\_\_\_  
Mailing address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP: \_\_\_\_\_  
Telephone: ( ) \_\_\_\_\_ FAX: ( ) \_\_\_\_\_ e-mail: \_\_\_\_\_

\* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

**D. ATTACHMENTS** (One copy plus one copy in PDF format)

1. Site Plan and Survey including but not limited to:
  - a. Name, location, owner, and designer of the proposed development.
  - b. Vicinity map - indicating general location of the site and all abutting streets and properties.
  - e. Statement of Proposed Uses.
  - f. Location of the site in relation to adjacent properties, including the means of ingress and egress to such properties and any screening or buffers along adjacent properties.
  - g. Location of nearest fire hydrant, adjacent pedestrian sidewalks and bicycle paths.
  - h. Date, north arrow, and graphic scale (not to exceed one (1) inch equal to fifty (50) feet).
  - i. Area and dimensions of site.
  - j. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
  - k. Access and points of connection to utilities (electric, potable water, sanitary sewer, gas, etc.).
  - m. Location and dimensions of all existing and proposed parking areas, loading areas, curb cuts.
  - n. Number of proposed parking spaces
  - o. Structures and major features – fully dimensioned – including setbacks, distances between structures, floor area, width of driveways and lot coverage.
  - p. Required buffers.
  - q. Location of existing trees, identifying any trees to be removed.
  - r. Landscaping plan depicting type, size, and design of landscaped areas, buffers, and tree mitigation calculations.
  - s. Percent of pervious surface.
  - t. Lighting plan.
  - u. Location, design, height, and orientation of signs.
  - v. Location of dumpsters and detail of dumpster enclosure.
  - w. For development consisting of Multi-family residential;
    - i. Tabulation of gross acreage.
    - ii. Tabulation of density.
    - iii. Number of dwelling units proposed.
    - v. Floor area of dwelling units.
2. Stormwater management plan - including the following:
  - a. Existing contours at one (1) foot intervals.
  - b. Proposed finished floor elevation of each building site.
  - c. Existing and proposed stormwater management facilities with size and grades.
  - d. Proposed orderly disposal of surface water runoff.
3. Legal description with tax parcel number.
4. Warranty Deed or other proof of ownership.
5. Permit or Letter of Exemption from the St. Johns River Water Management District.

6. Fee.

- a. Based on size of site:
  - i. For sites <10,000 s.f. - \$200
  - ii. For sites >10,000 s.f.- \$1,000 + \$20 per acre

No application shall be accepted for processing until the required application fee is paid in full and a \$1,000 refundable deposit is paid by the applicant. Any fees necessary for technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

**All 6 attachments are required for a complete application.** A completeness review of the application will be conducted within **fourteen (14) business days** of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

**We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:**

*David Bishop Jr*  
 Signature of Applicant  
David Bishop Jr President  
 Typed or printed name and title of applicant  
1/17/2023  
 Date

\_\_\_\_\_  
 Signature of Co-applicant  
 \_\_\_\_\_  
 Typed or printed name of co-applicant  
 \_\_\_\_\_  
 Date

State of Florida County of Nassau

The foregoing application is acknowledged before me this 17<sup>th</sup> day of January, 2022 by \_\_\_\_\_

David Wayne Bishop Jr. who is/are personally known to me, or who has/have produced FLDL as identification.

NOTARY SEAL

Signature of Notary Public, State of Florida  
Patricia Ann Horton



Patricia Ann Horton  
Notary Public  
State of Florida  
My Commission Expires 10/24/2025  
Commission No. HH 190246

AFTER RECORDING RETURN TO:  
Meridian Title Corporation  
405 S. Second Street  
Elkhart, IN 46516  
File No. 21-49353

This document prepared by:  
Heather Mayer, Esq.  
8940 Main Street  
Clarence, NY 14031  
866-333-3081

Tax ID No.: 08-3N-24-2380-0063-0010

### WARRANTY DEED

STATE OF FLORIDA  
COUNTY OF NASSAU

THIS DEED made and entered into on this 19 day of April, 2022, by and between **First Coast, Inc.**, located at 96235 Glenwood Road, Yulee, FL 32097 hereinafter referred to as Grantor(s) and **David W. Bishop Jr. and Callie Kay Bishop, husband and wife**, residing at 15977 County Road 108, Hilliard, FL 32046, hereinafter referred to as Grantee(s).

WITNESSETH: That the said Grantor(s), for and in consideration of the sum of One Hundred Forty Five Thousand and 00/100 Dollars (\$145,000.00), cash in hand paid, the receipt of which is hereby acknowledged, have this day given, granted, bargained, sold, conveyed and confirmed and do by these presents give, grant, bargain, sell, convey and confirm unto the said Grantee(s) the following described real estate located in Nassau County, Florida:

**Lots One (1), Two (2) and Four (4) of Block Sixty-three (63), Town of Hilliard, Nassau County, Florida.**

**And 210' X 30' of Eighth Street from the West Right of Way line of Oxford Street to the railroad property line adjoining**

Prior instrument reference: Book 2244, Page 1373, Recorded: 12/20/2018

This conveyance is subject to easements, covenants, conditions, restrictions, reservations, and limitations of record, if any.

TO HAVE AND TO HOLD the lot or parcel above described together with all and singular the rights, privileges, tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining unto the said Grantee and unto the heirs, administrators, successors or assigns, of the Grantee, forever in fee simple.

GRANTOR(S) hereby covenant with and represent unto the said Grantee(s) and unto her/his/their successors or assigns, that he/she/they is/are lawfully seized in fee simple of the lot or parcel of land above described; that the same is free from all liens and encumbrances except ad valorem taxes for the current tax year and subsequent years, restrictions, restrictive covenants and easements of record, if any;

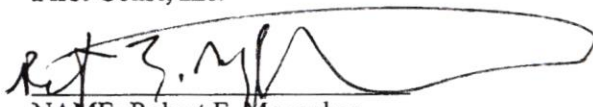


that he/she/they has/have a good and lawful right to sell and convey the same as aforesaid and that he/she/they will forever warrant and defend the title to same unto the said Grantee(s) and unto his/her/their successors or assigns, except as to said taxes, restrictions, restrictive covenants and easements of record, if any.

**This is not the homestead property of the Grantor or his/her spouse.**


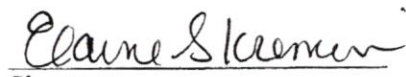
IN WITNESS WHEREOF, the said Grantor(s) has/have hereunto set his/her/their hand(s) and seal(s) on this 19 day of April, 2022.

**First Coast, Inc.**



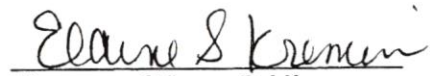
NAME: Robert E. Moneyhan  
TITLE: President

Signed, sealed and delivered in the presence of:  
Witnesses:

  
Signature  
Print Name: Nicole Beams  
Signature  
Print Name: Elaine G. Kremin

STATE OF FLORIDA  
COUNTY OF NASSAU

The foregoing instrument was acknowledged before me by means of  physical presence or  on-line notarization, this 19 day of April, 2022 by Robert E. Moneyhan as President of **First Coast, Inc.** He/She/They is/are personally known to me or who has produced Driver's License (type of identification) as identification.

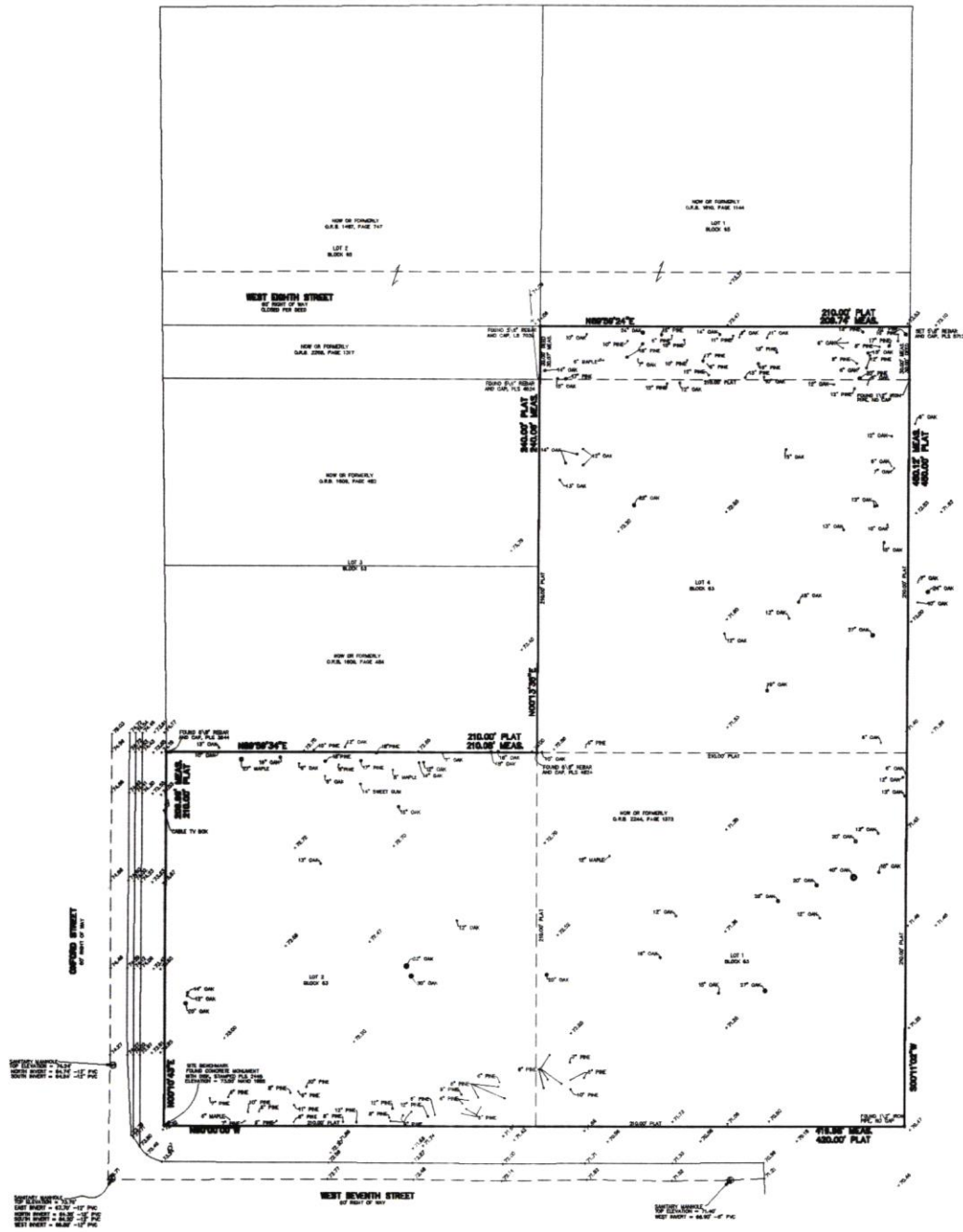
  
Signature of Notary Public  
Print Name: Elaine G. Kremin  
My commission expires: 01/29/2023

ELAINE G. KREMIN  
Notary Public, State of Florida  
My Comm. Expires 01/29/2023  
Commission No. GG284605

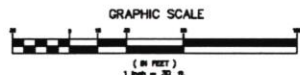
# MAP OF BOUNDARY, TOPOGRAPHIC AND TREE SURVEY

ALL OF LOTS 1, 2 AND 4, BLOCK 83, INCLUDING THE SOUTHERLY 30 FOOT OF WEST EIGHTH STREET (CLOSED PER DEED), BEING NORTH OF THE NORTH LOT LINE OF SAID LOT 4, ACCORDING TO PLAT RECORDED IN PLAT BOOK 1, PAGE 26, OF THE PUBLIC RECORDS OF NASSAU COUNTY, IN THE TOWN OF HILLIARD, NASSAU COUNTY, FLORIDA.

PREPARED FOR:  
DAVID WAYNE BISHOP JR.  
CALLIE KAY BISHOP  
FOR THE BENEFIT OF:  
PRIME SOUTH BANK  
MERIDIAN TITLE CORPORATION



WEST EIGHTH STREET  
WEST SEVENTH STREET  
ATLANTIC COAST HIGHWAY



### SURVEY NOTES:

- 1) The "Legal Description" herein is to accord with the information provided by the client.
- 2) Underlaid improvements were not located or shown.
- 3) Lots shown herein were not delineated by this office for record, title, or any other purpose.
- 4) Boundaries shown on this map are for the boundary right of way for the street shown (shown).
- 5) These corners, if applicable, have not been determined by this office. It is the responsibility of the client to have them determined by a professional surveyor.
- 6) The "Legal Description" herein is to accord with the information provided by the client.
- 7) The "Legal Description" herein is to accord with the information provided by the client.
- 8) The "Legal Description" herein is to accord with the information provided by the client.
- 9) The "Legal Description" herein is to accord with the information provided by the client.
- 10) The "Legal Description" herein is to accord with the information provided by the client.

DATE OF SURVEY	11/15/2024
PROJECT NO.	2308A
CLIENT	PRIME SOUTH BANK
PREPARED BY	GLASS LAND SURVEYING, LLC
CHECKED BY	DAVID W. BISHOP JR.
DATE OF PLOTTING	11/15/2024
SCALE	1" = 20'
PROJ. SYSTEM	NAD 83
PROJ. CODE	1118
PROJ. UNIT	FEET
PROJ. DATUM	NAD 83
PROJ. AXIS	FLA 1118
PROJ. CURVE	NO
PROJ. TOLERANCE	0.01
PROJ. METHOD	ANGLE
PROJ. INSTRUMENT	TRIPLET
PROJ. OPERATOR	DAVID W. BISHOP JR.
PROJ. ASSISTANT	CALLIE KAY BISHOP
PROJ. CHECKER	DAVID W. BISHOP JR.
PROJ. APPROVER	DAVID W. BISHOP JR.

GLASS LAND SURVEYING, LLC  
 2308A CRESCENT PARK COURT, PLYMOUTH BEACH, FLORIDA 32024  
 (850) 281-0128 • CELL (850) 270-0318  
 LICENSE NUMBER: 10,482

# OXFORD POINTE

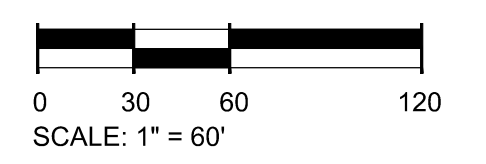
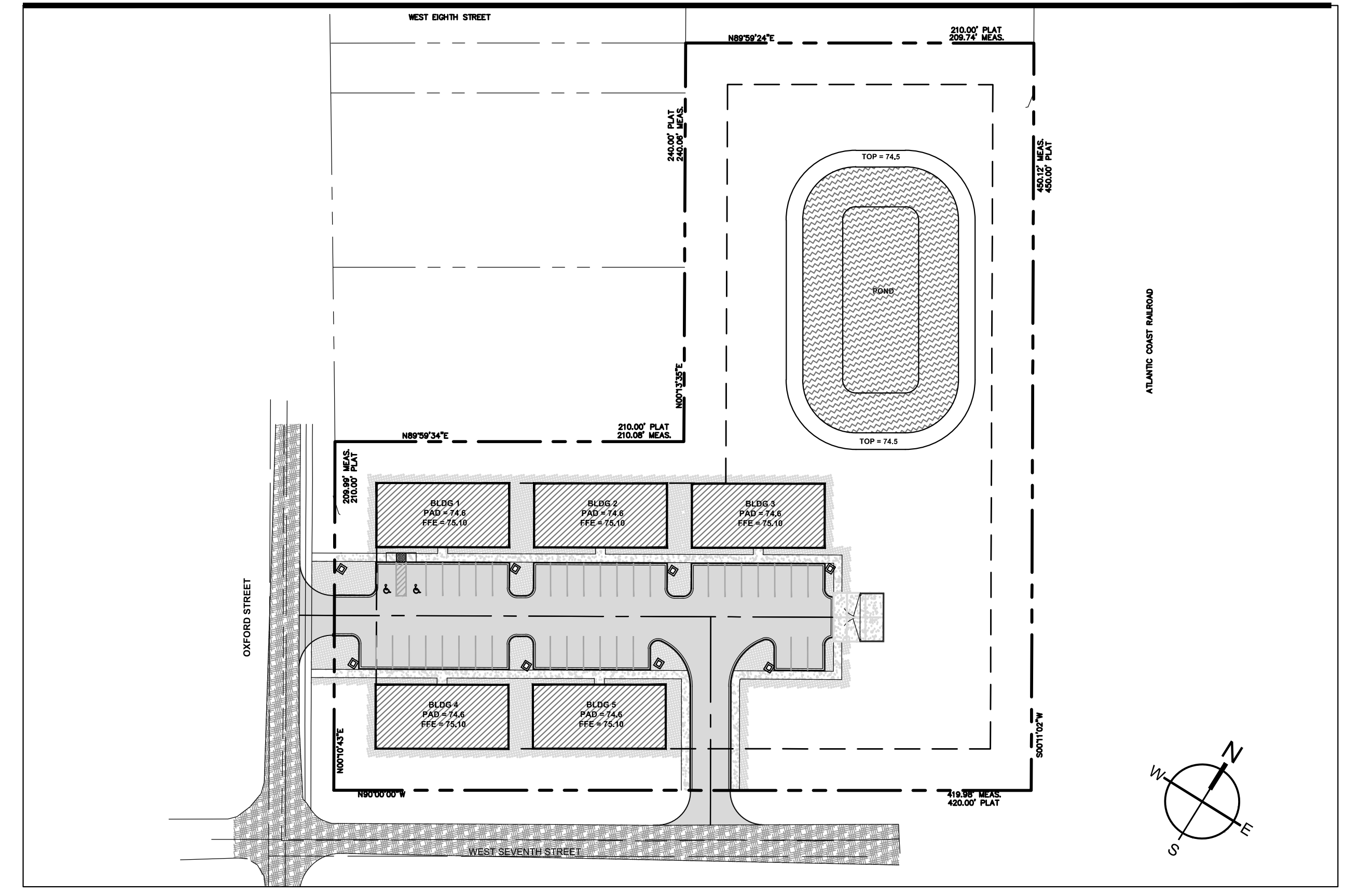
## TOWN OF HILLIARD, FL

### PARCEL ID# 08-3N-24-2380-0063-0010

#### SITE LOCATION MAP



#### SITE OVERVIEW



#### SHEET INDEX

- C1.0 TITLE SHEET
- C1.1 GENERAL NOTES
- C2.0 EXISTING CONDITIONS (PRE DEVELOPMENT)
- C3.0 SITE PLAN
- C4.0 GRADING PLAN
- C4.1 DRAINAGE PLAN
- C4.2 POST DEVELOPMENT PLAN
- C5.0 UTILITY PLAN
- C6.0 SITE DETAILS
- C6.1 WATER AND SEWER DETAILS
- C6.2 WATER AND SEWER DETAILS
- C7.0 EROSION CONTROL DETAILS
- C7.1 ESC PLAN
- C8.0 SWPPP-1
- C8.1 SWPPP-2
- C9.0 LANDSCAPE PLAN

#### PROJECT CONTACTS

**OWNER/DEVELOPER:**  
 DAVID WAYNE BISHOP JR.  
 CALLIE KAY BISHOP

**CIVIL ENGINEER:**  
 P2 CIVIL ENGINEERING, LLC  
 9526 ARGYLE FOREST BLVD, UNIT B2 #456  
 JACKSONVILLE, FL 32222  
 CONTACT: PAUL TALBERT, PE  
 PHONE: (904) 885-0188

**SURVEYOR:**  
 GLASS LAND SURVEYING, LLC  
 23884 CRESCENT PARK COURT,  
 FERNANDINA BEACH, FLORIDA 32034  
 (904) 261-0128 \* CELL (904) 370-0318

**MUNICIPAL CONTACT**  
**(UTILITY AND LAND DISTURBANCE):**  
 TOWN OF HILLIARD UTILITY SERVICES  
 15859 WEST CR 108  
 HILLIARD, FL 32046  
 CONTACT: MR. RICHIE ROWE  
 PHONE: 904.845.3555

TOWN OF HILLIARD  
 15859 WEST CR 108  
 HILLIARD, FL 32046  
 CONTACT: LEE ANNE WOLLITZ  
 PHONE: 904.845.3555

#### PROJECT DESCRIPTION

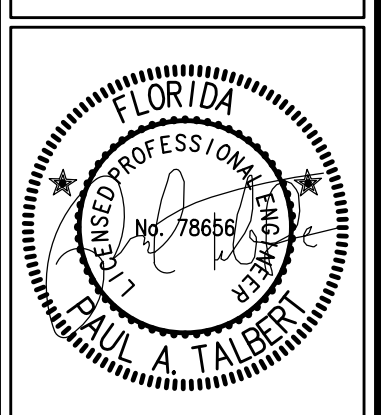
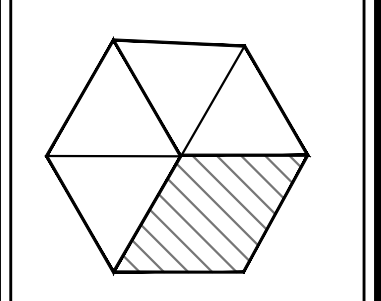
THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A PROPOSED MULTI FAMILY DEVELOPMENT. SITE IMPROVEMENTS INCLUDE NEW PARKING AISLES, SIDEWALKS AND BUILDINGS WITH ASSOCIATED INFRASTRUCTURE INCLUDING UTILITIES, STORMWATER MANAGEMENT POND AND LANDSCAPING.

#### GENERAL NOTES

ALL ELEVATIONS ARE BASED ON THE BOUNDARY SURVEY PREPARED BY GLASS LAND SURVEYING, LLC. DATED JANUARY 15, 2022. ELEVATIONS ARE BASED OFF THE NAD88 DATUM.

**PARCEL DESCRIPTION:**  
 ALL OF LOTS 1, 2 AND 4, BLOCK 63, INCLUDING THE SOUTHERLY 30 FOOT OF WEST EIGHTH STREET (CLOSED PER DEED), BEING NORTH OF THE NORTH LOT LINE OF SAID LOT 4, ACCORDING TO PLAT RECORDED IN PLAT BOOK 1, PAGE 26, OF THE PUBLIC RECORDS OF NASSAU COUNTY, IN THE TOWN OF HILLIARD, NASSAU COUNTY, FLORIDA.

**P<sup>2</sup>**  
 CIVIL ENGINEERING, LLC  
 9526 ARGYLE FOREST BLVD,  
 UNIT B2 #456  
 JACKSONVILLE, FL 32222  
 904-885-0188



REV.	DATE	DESCRIPTION
A	03/20/2023	TOWN OF HILLIARD/SIRWMD

**CLIENT**  
**WYANE BISHOP**  
 PROJECT ADDRESS  
 OXFORD STREET  
 HILLIARD, FLORIDA

**PROJECT TITLE**  
**OXFORD POINTE**  
**SHEET TITLE**  
**TITLE SHEET**

DESIGN:	REVIEWED:
DRAWN:	
SCALE: AS SHOWN	DATE: 12/28/22

**C1.0**  
 PROJECT NUMBER  
 2022-105

**GENERAL NOTES:**

- 1. Topographic boundary survey, including property lines, legal description, existing utilities, site topography with spot elevations, outstanding physical features and existing structure locations was provided by GLASS LAND SURVEYING, LLC, dated DECEMBER 5, 2022.
2. P2 CIVIL ENGINEERING, LLC and its associates will not be held responsible for the accuracy of survey or for design errors or omissions resulting from survey inaccuracies.
3. All phases of site work for this project shall meet or exceed the TOWN OF HILLIARD site work specifications.
4. The general contractor will be held solely responsible for and shall take all precautions necessary to avoid property damage to adjacent properties during the construction phases of this project.
5. Warranty / Disclaimer
The designs represented in these plans are in accordance with established practices of civil engineering for the design functions. Neither the engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the engineer inspects and controls the physical construction on a contemporary basis at the site.
6. For boundary, roadway and building geometry information see engineering site plan. It is the Contractor's responsibility to verify that the building dimensions shown on the engineering plan agrees with the dimensions shown on the architectural plan. If any dimensions do not agree, the architect, engineer and owner shall be notified and the dimensions adjusted prior to commencing with construction.
7. All construction within TOWN OF HILLIARD right-of-way shall be coordinated with the TOWN OF HILLIARD. The contractor shall notify all utility companies prior to construction for verification and location of all utilities.
8. Contractor shall furnish shop drawings to engineer indicating materials and manner of installation for all components of the project prior to purchase of materials and construction.
9. These engineering drawings may not show all of the TOWN OF HILLIARD standard details required to complete construction of this project. It is the contractor's responsibility that the construction be in accordance with all current TOWN OF HILLIARD Standard Details and Specifications.
10. All contractors shall furnish certified "as-builts", see As-Built Requirements on this sheet.
11. Contractor shall verify and protect all existing trees and natural vegetation that are to remain undisturbed. The areas indicated for construction shall be cleared and grubbed to remove all roots and miscellaneous vegetation except specific trees that shall be protected from damage during construction with the use of tree barriers. Trees to be preserved are flagged, contractor shall verify before the start of construction.
12. All work shall be performed in a safe manner. All safety rules and guidelines of OSHA shall be followed. The Contractor shall be solely responsible for any injuries of his employees, and any damage to private property or persons during the course of this project. All costs associated with complying with OSHA regulations and the Florida Trench Safety Act must be included in the Contractors bid.
13. All improvements shown are to be warranted by the Contractor to the Developer for a period of one year from date of acceptance by the Owner. If the work is in the TOWN OF HILLIARD Right-Of-Way or easement, The Contractor's one-year warranty shall extend to TOWN OF HILLIARD.
14. The Contractor will contract with an independent testing laboratory to perform material testing and soil testing in accordance with the TOWN OF HILLIARD requirement and the recommendations outlined in the geotechnical report. This shall include density testing in all pavement areas and building pads and in the utility trenches located in pavement areas, concrete testing and all other material testing. Prior to limerock placement, the project geotechnical engineer shall make recommendations for underdrain placement.
15. The Contractor shall be responsible for obtaining all necessary permits and insurance required for the project, incl. TOWN OF HILLIARD Right-Of-Way permits for work in the TOWN OF HILLIARD right-of-way or easement.
16. The Contractor shall coordinate the work within TOWN OF HILLIARD Right-Of-Way with the proper agencies for maintenance of traffic and method of construction and repair.
17. The Contractor shall provide no less than a 6 inch clearance between all utilities other than water mains, which shall be to NASSAU COUNTY Health Department and TOWN OF HILLIARD utility permit conditions.
18. These plans do not stand by themselves. Bid documents, FDEP standard details & materials, TOWN OF HILLIARD standard specifications & details and any other standards, listed or references, are included in the project documents.
19. The contractor shall notify the TOWN OF HILLIARD @ 904-845-3555 a minimum of 48 hours prior to starting construction.
20. The contractor shall coordinate with electric provider related to all electric requirements including light poles and transformer locations in addition to any conduit or electrical service routing onsite.

**NOTICE OF PROCEDURE**

The water taps depicted on these design plans shall be constructed as follows: all potable and irrigation water taps, fire line services and fire hydrant installations shall be performed by a licensed master plumber or underground utility contractor under the following special conditions:
1. The taps are to be scheduled 48 hours in advance. Contact TOWN OF HILLIARD Construction inspector.
2. Taps requiring meter installations of size 2" and below must include the Service pipe, meter box, and corp. Stop sized ready to accept the meter Installation by private forces.
3. Private forces will install the meter upon application and payment by licensed Master plumber or utility contractor at TOWN OF HILLIARD, 15859 W Co Rd 108, Hilliard, FL 32046
4. All taps requiring meter installations of size 3" and above shall terminate Sized ready for vault, meter and bypass installation by private forces.

TOWN OF HILLIARD fees shall be required at time of meter application. Fees will be based on total number of plumbing fixture units shown or listed ON BUILDING PLANS.

All water and sewer construction materials to be constructed in TOWN OF HILLIARD Right-of-way or easement must be in conformance with the FDEP approved Water and wastewater materials list.

A pre-construction conference is required and shall be scheduled with TOWN OF HILLIARD, Utilities @ 904-845-3555.

Meter to be installed by private water and sewer forces upon application and Payment by licensed master plumber or utility contractor at TOWN OF HILLIARD 15859 W Co Rd 108, Hilliard, FL 32046

All water mains shall be pressure tested at 150 psi for 2 hours and force mains shall be tested at 150 psi for 2 hours in accordance with section "a" of awwa Standard c600 with leakage limited to that determined by the appropriate formula.

Disinfection of the water main shall be performed in accordance with awwa c651.

Mechanical joint restraints shall conform to awwa standard c111.

All onsite private water and sewer construction and materials shall Conform to current fdep standards and specifications.

Shop drawings on all backflow preventors shall be submitted to fdep for Approval prior to installation. Contact Jennifer Lyles @ 904-256-1666.

**WATER NOTES:**

- 1. The contractor shall obtain all permits to complete the construction.
2. Contractor shall coordinate the construction of water facilities with all other construction.
3. Contractor shall furnish shop drawings to the engineer for approval prior to beginning construction.
4. The contractor shall coordinate any work within the right-of-way of OXFORD STREET, with utility company and the TOWN OF HILLIARD personnel.
5. All workmanship and materials shall conform to latest FDEP and TOWN OF HILLIARD Standards and Specifications and applicable AWWA Standards.
6. The existing utility facilities and locations shown on the drawings are taken from readily available information. The actual locations of the utility facilities may vary somewhat from the locations shown and there may be utility facilities existing that are not shown or indicated on the drawings. The site utility contractor shall contact all agencies with utility facilities in the vicinity of the work and shall locate all underground facilities before beginning work. The contractor shall protect all utility facilities and repair any damages resulting from their work, in conformance with the contract documents and specifications and relocate if required at no cost to the owner.
7. Water lines shall have a minimum of 36" cover from finished grade. Maximum cover shall be 60".
8. Water lines are designed to finished grade and shall be protected until finish work is complete.
9. All water mains 4" and larger shall be AWWA C900, DR18 PVC. Water mains 3" and smaller shall be SCH-80 pipe.
10. Restrained joints are required where water mains are terminated and at all bends, in accordance with FDEP standard details and specifications.
11. All gate valves shall be non-rising stem type and shall be suitable for 200 psi non-shock working pressure. Gate valves shall have a mechanical joint, iron body, resilient seat, Mueller or equal. Valve boxes with screw extensions shall be provided for each buried gate valve. Boxes shall be of cast iron construction, 3/8" minimum wall thickness and shall be non-lacky tar enamel coated. The word "water" shall be cast in cover. All gate valves installed shall open by turning to the left (counterclockwise) when viewed from the stem.
12. Class B, Type I bedding at a minimum of 8" shall be used for this project unless indicated otherwise on the drawings or directed by the engineer and cleared by the TOWN OF HILLIARD.
13. Unsuitable materials under water pipe shall be removed and replaced with selected backfill properly compacted. The material should exhibit moisture contents within +/- 2 percent of the modified proctor optimum moisture content (ASTM D1557) during the compaction operations. Compaction should continue until densities of at least 95 percent of the modified proctor maximum dry density (ASTM D 1557) have been achieved.
14. Backfilling shall be made with clean backfill which shall be thoroughly compacted in 6" lifts. Compaction shall be a minimum of 95% of max. density at +/- 2.0% of the modified proctor
15. Where water mains are laid under ditches, culverts, pipelines, or obstructions without fittings, the maximum deflection of any joint shall not exceed 50% of the maximum recommended by the pipe manufacturer.
16. No connection to existing potable water system will be allowed until all proposed water lines have been flushed, pressure tested, disinfected, and cleared for service by the Florida Department of Environmental Protection.
17. Contractor shall notify utility company a minimum of two days prior to connection of water mains to existing lines. All new work must be inspected by the engineer. No tests shall be scheduled for weekends. Any change from the technical requirements must be reviewed and approved by the engineer and owner.
18. Hydrostatic and leakage testing of the water mains installed shall be performed in accordance with AWWA standard specifications. A representative of the utility company or the engineer must be present during the tests. Pressure tests shall be conducted at 150 psi for 2 hours for water mains and 200 psi for 2 hours for fire mains. Pressure test after limerock is installed.
19. The contractor shall coordinate all water main flushing with the TOWN OF HILLIARD Utility Department. Flushing and disinfection procedures shall comply with AWWA for main disinfection.
20. Upon completion of water main flushing, bacteriological samples shall be taken. Samples shall be taken for 2 consecutive days.
21. Sample points for bacteriological sampling shall be located as follows:
1. Every 1000 feet and/or every dead end on a water main.
2. Point of tie-in to existing water system.
3. Water main stubs more than 40 feet in length.
22. Fire hydrants shall meet FDEP standards.
23. All water mains shall terminate approximately 5 feet outside the building unless otherwise noted. The end of these service lines shall be tightly plugged or capped and marked until such time as connection is made inside the building.
24. The site utility contractor shall make application to utility company for the project water meter and shall pay for all meter fees.
25. Utility lead-ins to building shall not be installed until building plans are completed and locations established on the architectural plumbing plans. Lead-ins may change 15' horizontally and 3' vertically prior to installations at no additional cost to owner. Location, size, and invert elevations shall be coordinated with the approved plumbing plans for the building.
26. Where parallel water and sewer (including storm) lines have less than 10 foot horizontal separation, full-uncut lengths of water quality pipe (i.e. DR 18 AWWA C-900 for newly installed sewer & DR18 AWWA C-900 water) will be used with the joints staggered at 10 foot intervals or they will be placed on an undisturbed shelf or in a separate trench with a minimum vertical separation of at least 18 inches. It is preferable to have the water mains located above the sewer and with 10 foot of separation where possible.
27. Where it is not possible for water and sewer (including storm) lines to cross with a minimum of 18 inches of vertical clearance, a full-uncut length of water quality pipe (i.e. DR 18 AWWA C-900 for newly installed sewer & DR18 AWWA C-900 water) which is usually 20 feet long will be centered on the point of crossing. The contractor will field verify the vertical separation. The minimum vertical separation between water and sewer (including storm) pipes when 18 inches is not possible will be 6 inches ABOVE or 12 inches BELOW for the water main and existing or proposed gravity or vacuum-type sanitary sewer or storm sewer, 12 inches above or below with existing or proposed pressure-type sanitary sewer, wastewater or stormwater forcemain or pipeline conveying reclaimed water.
28. A full uncut length of water main pipe (usually 20 feet) shall be centered at the point of crossing of all water and sewer (including storm) lines at the point of crossings regardless of the vertical separations.
29. The contractor shall be responsible to provide mitigating construction measures in all cases where a minimum of 18 inches of vertical clearance between water and sewer (including storm) lines is not possible.
30. The contractor is responsible for providing water for construction use during entire course of project if necessary.
31. Pressure pipe and fittings requiring restraint shall be braced with restrained joints per FDEP Standards.
32. The Contractor shall coordinate the location and size of water services with the approved plumbing plans for the building.
33. The Contractor shall coordinate all connections with site piping and building piping.
34. All water and sewer construction within TOWN OF HILLIARD shall be accomplished by an underground utility contractor licensed under the provisions of Chapter 469 Florida Statutes.
35. If dewatering requires a consumptive use permit it shall be the Contractor's responsibility to obtain the permit through the St. Johns River Water Management District.
36. If solvent contamination is found in the pipe trench, work shall be stopped and the proper authorities notified. With approval of the permitting agency, ductile iron pipe, fittings, and solvent resistant gasket material such as fluorocarbon shall be used in the contaminated area. The ductile iron pipe shall extend at least 100 feet beyond any solvent noted. Any contaminated soil that is excavated shall be placed on an impermeable mat and covered with a waterproof covering. The proper authorities will be notified and the contaminated soil held for proper disposal.

**GRADING AND DRAINAGE NOTES:**

- 1. Contractor shall verify existing elevations at connection points prior to construction and notify Engineer of any discrepancies.
2. See geotechnical report for site preparation requirements.
3. The contractor shall coordinate the grading and drainage construction with all other construction.
4. Contractor shall furnish shop drawings to the engineer for approval prior to beginning construction.
5. All construction and materials shall conform with all TOWN OF HILLIARD standards.
6. The contractor shall stake the storm sewer system and the sanitary sewer system and shall notify the engineer of any conflicts prior to installation of any pipe.
7. The existing utility facilities and locations shown on the drawings are taken from readily available information. The actual locations of the utility facilities may vary somewhat from the locations shown and there may be utility facilities existing that are not shown or indicated on the drawings. The site utility contractor shall contact TOWN OF HILLIARD prior to beginning work. The contractor shall protect all utility facilities and repair any damages resulting from their work, in conformance with the contract documents and specifications and relocate if required at no cost to the owner.
8. All underground utilities shall be installed prior to preparation of subgrade for pavement.
9. Pavement subgrade shall have all unsuitable material removed to a depth of 3.0 feet below subgrade and 2.5 feet beyond back of curb. Backfill with suitable material per the geotechnical report.
10. Any unsuitable material encountered and excess suitable fill material shall be removed from the site. The contractor shall be responsible for the removal of all unsuitable material and replacement with structural fill. See geotechnical report.
11. The contractor shall be responsible for all subgrade, limerock and asphalt testing as required by the project specifications.
12. Slopes of new pond shall be sodded to the normal water level.
13. Stormwater Collection System design is based on the 5-year return frequency storm (Rational Method). Stormwater detention pond has been designed to attenuate peak flows from the 25-year return frequency storm. (SCS Method).
14. All RCP pipe shall meet the requirements of ASTM C-76 and shall be Class III, Wall B.
15. All pipe lengths are approximate and measured to the center of structure or mitered end section. Actual lengths may vary.
16. Do not scale these drawings. Use dimensions only.
17. A qualified soils laboratory shall be on site during excavating to determine the suitability of the existing sub-grade and existing on-site material prior to beginning any filling operation.
18. Grading contractor shall take all available precautions to control dust. Contractor shall control dust by sprinkling, or by other methods as directed by engineer and/or owner's representative at no additional cost to the owner.
19. Contractor to coordinate all work with other utility installations not covered in these plans (Electric, Telephone, Gas, Cable, Etc) and allow for their operations and construction to be performed.
20. Cut and fill slopes are not to exceed 3:1 unless otherwise noted.
21. Contractor shall repair or replace in-kind any damage that occurs as result of his work.
22. All soils test reports to be submitted to Project Manager and TOWN OF HILLIARD.
23. For all trench excavations which exceed five feet (utilities and storm), the following must be adhered to:
a. Contractor must follow OSHA Standard 29 CFR, section 1926.650 subpart P, which is now a part of Laws of Florida Chapter 90-96.
b. The Contractor shall provide written assurance of compliance with this law.
c. A separate price item shall be included in their base bid identifying the cost of compliance
d. A trench safety system shall be designed by the Contractor.
24. The Contractor shall coordinate connection with site piping and building piping.
25. All areas shown to be filled shall be cleared and grubbed in accordance with TOWN OF HILLIARD Standards and shall be filled with clean structural fill compacted and tested in accordance with the geotechnical report.
26. All debris resulting from all activities shall be disposed of off-site by the Contractor.
27. All existing trees to remain shall be protected and preserved.
28. Burning of trees, brush and other material shall be approved, permitted and coordinated with the FLORIDA DIVISION OF FORESTRY by the Contractor.
29. The contractor shall submit shop drawings to the engineer and the TOWN OF HILLIARD, if required, on all materials, for review and approval, prior to purchase or fabrication of any utility pipe or structure.
30. All pipe lengths are scaled dimensions. All drainage structures shall be constructed to conform to TOWN OF HILLIARD requirements and shall be constructed to conform to curbing, property lines and low points as shown on plans.
31. Contractor shall ensure that all drainage structures, pipes, etc. are clean and functioning properly at time of acceptance.
32. All drainage pipe joints in TOWN OF HILLIARD drainage easements and drainage right-of-ways are to be filter-wrapped.
33. All inverts in drainage structures to be precast or brick with layer of mortar between each layer of brick, or reddi-mix concrete with #57 stone.
34. The Contractor shall restore all culverts, headwalls and storm drain inlets removed or disturbed by the construction operation. The cost of these items shall be included in the price bid for furnishing and installing any new item causing such damage.

CONTRACTOR IS RESPONSIBLE FOR PREPARATION & MAINTENANCE OF TRAFFIC CONTROL PLAN & DEVICES

SURVEY AS-BUILT, PREPARED BY A FL REGISTERED LAND SURVEYOR, OF ONSITE PONDS, STORM DRAINAGE SYSTEM, PERMANENT SWALES, AND BUILDING SLAB LOCATION AND FINISHED FLOOR ELEVATION WILL BE REQUIRED AS PART OF THE CLOSEOUT PROCESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE AS-BUILT SURVEY TO THE ENGINEER AT THE COMPLETION OF CONSTRUCTION

**SANITARY SEWER NOTES:**

- 1. The contractor shall obtain all permits to complete the construction.
2. Contractor shall coordinate the construction of sewer facilities with all other construction.
3. Contractor shall furnish shop drawings to the engineer for approval before beginning construction.
4. The contractor shall coordinate all utility work within the right-of-way of OXFORD STREET, with TOWN OF HILLIARD personnel.
5. All gravity sewer construction shall conform to the latest FDEP and TOWN OF HILLIARD standards and specifications.
6. The existing utility facilities and locations shown on the drawings are taken from readily available information. The actual locations of the utility facilities may vary somewhat from the locations shown and there may be utility facilities existing that are not shown or indicated on the drawings. The site utility contractor shall contact all agencies with utility facilities in the vicinity of the work and shall locate all underground facilities before beginning work. The contractor shall protect all utility facilities and repair any damages resulting from their work in conformance with the contract documents and specifications and relocate if required at no cost to the owner.
7. The contractor shall stake the sanitary sewer system and the storm sewer system and shall notify the engineer of any conflicts prior to installation of any pipe.
8. Manholes shall be in conformance with FDEP Standards.
9. Gravity sewer mains shall be 8 inch SDR 26 PVC. Minimum slope shall be 0.40%.
10. Class B, Type I bedding at a minimum of 8" shall be used for this project unless indicated otherwise on the drawings or directed by the engineer and cleared by the TOWN OF HILLIARD.
11. Backfilling shall be made with clean backfill which shall be thoroughly compacted in 6" lifts. Compaction shall be a minimum of 95% max density at +/- 2% of the modified proctor optimum moisture content.
12. Unsuitable materials under sewer pipe shall be removed and replaced with selected backfill properly compacted. The material should exhibit moisture contents within +/- 2 percent of the modified proctor optimum moisture content (ASTM D1557) during the compaction operations. Compaction should continue until densities of at least 95 percent of the modified proctor maximum dry density (ASTM D1557) have been achieved.
13. Contractor shall notify the utility company a minimum of two days prior to connection of force main to the existing line. All new work must be inspected by the engineer. No tests shall be scheduled for weekends. Any change from the technical requirements must be reviewed and approved by the engineer and owner.
14. Lateral separation of at least 10 feet shall be maintained between water and sewer lines. Where vertical separation is less than 18", sewer lines shall be encased in concrete or cast iron pipe used in lieu of PVC pipe for a distance of 10 feet on either side of crossing.
15. All sewer construction shall be accomplished by an underground utility contractor licensed under Chapter 469 F.S.
16. All pipe lengths are horizontal distances and are approximate.
17. All sanitary sewer mains shall terminate approximately 5 feet outside the building unless otherwise noted. The end of these service lines shall be tightly plugged or capped and marked until such time as connection is made inside the building.
18. The Contractor shall perform a television inspection of the sewer system. Two full reports, including video tape, shall indicate conditions of the pipe, location, type of pipe, diameter, location of services, type of joint, distance between manholes and any irregularities in the pipeline. The television inspection shall include a deflection test with a 5/8" mandrel. The sewer lines shall be lamped as part of the final inspection. TOWN OF HILLIARD WILL BE ONSITE FOR INSPECTION. TOWN OF HILLIARD will allow only 0.25" dip within 7 feet. No exposed rubber will be approved.
19. The Contractor shall coordinate the location, size and invert elevations of sanitary sewer services with the approved plumbing plans for the building.
20. Contractor shall provide, to the Engineer, a schedule of invert elevations of all sanitary manholes prior to the placement of the limerock base course. This schedule is to be provided by the registered land surveyor submitting the "as-built" drawings for this project.
21. Contractor shall provide to the engineer a schedule of invert elevations of all sanitary manholes prior to placement of the limerock base course. This schedule is to be provided by the registered land surveyor submitting the as-built drawings for this project.

CONNECTION CONTINGENT UPON THE CONSTRUCTION, DEDICATION AND FINAL ACCEPTANCE OF THE OFFSITE COLLECTION AND DISTRIBUTION SYSTEM BY TOWN OF HILLIARD UTILITY DEPARTMENT.

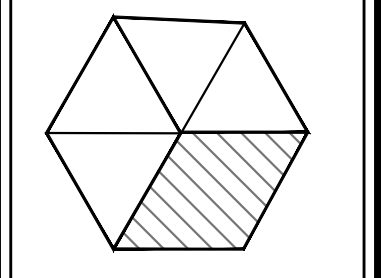


Know what's below. Call before you dig.

**AS-BUILT REQUIREMENTS**

- Contractor shall provide complete as-built information to the project engineer in accordance with the following requirements and in accordance with the TOWN OF HILLIARD As-Built Requirements Checklist
1. As-built drawings shall be prepared in AutoCAD format by a registered land surveyor. One set of signed mylars and a set of computer disks of the project shall be submitted to the Engineer for review and approval. Signed and sealed prints shall be provided to the Engineer as requested.
2. As-built drawings shall be in accordance with all authorities having jurisdiction. Contractor shall coordinate as-built submittals and approvals with jurisdictional agencies unless otherwise directed by the Project Engineer.
3. Provide building locations, finish floor elevations, pavement grades and all underground facilities.
4. Provide perimeter dimensions at top of bank and at bottom of pond. Provide elevations at top of bank and bottom of pond.
5. Provide special detail drawings where installations were not as shown on contract drawings due to field conditions or where required for clarity.
6. Provide location, elevation and description of benchmark(s).
7. Locate and provide elevations of all structures. Location of all structures shall be from two (2) directions.
8. Locate all pipes and provide size, elevation, invert elevations, length and type.
9. Provide dimensions and elevations of the pond outfall structure(s).
10. Water as-builts shall indicate the location of bacteriological sample points. Sample points shall be indicated in red or pink.
11. The as-builts shall include a detail of every crossing of the new water main with gravity sewers, force mains and storm pipes clearly shown & indicating the vertical clearances at each crossing. Details shall be furnished for parallel runs where the horizontal separation is less than 10 feet.
12. The centering of uncut lengths of pipe at points of crossing shall be documented on the as-builts and mitigating construction measures clearly depicted in cases where a minimum of 18" of vertical clearance between the water and sewer (including storm) lines is not possible.

CIVIL ENGINEERING, LLC
9526 ARCYLE FOREST BLVD,
UNIT B2 #456
JACKSONVILLE, FL 32222
904-885-0188



FLORIDA PROFESSIONAL ENGINEER
PAUL A. TALBERT
No. 78666

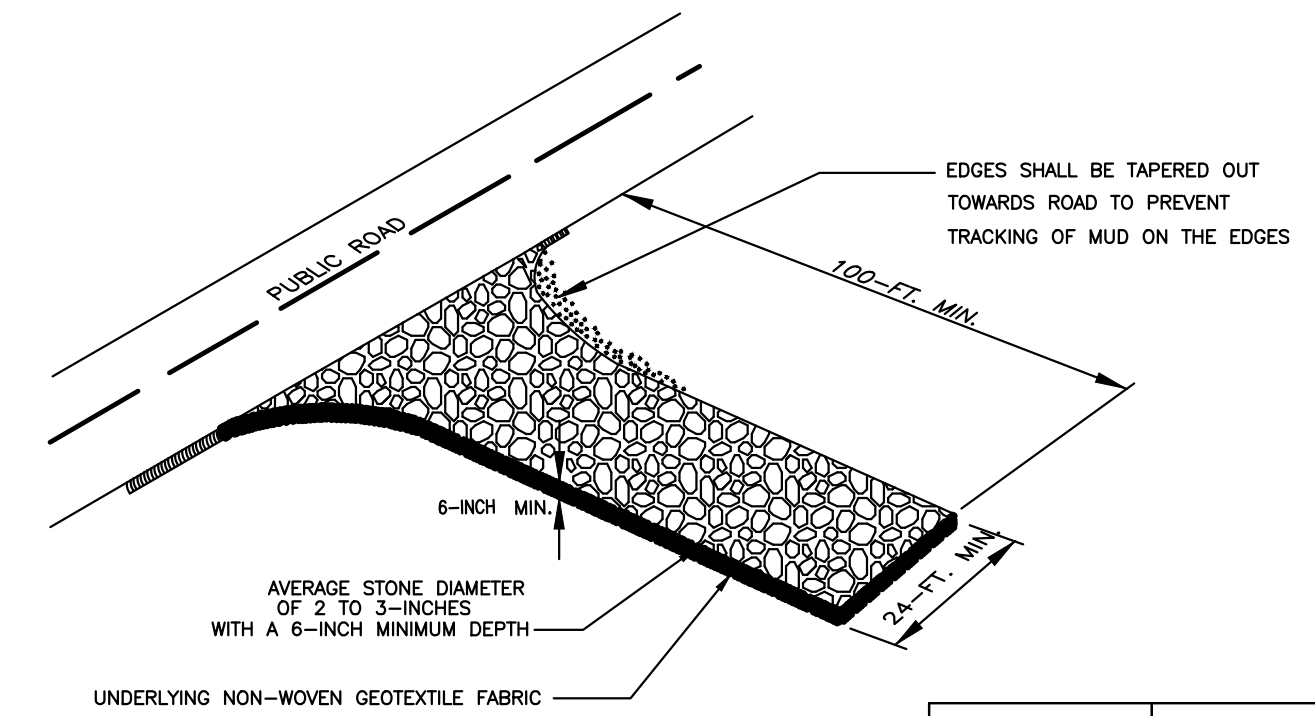
Table with columns: R.E.V.I.S.T.O.N.S., TOWN OF HILLIARD/SIRWMD, 03/20/2023, INO., DESCRIPTION, DATE

CLIENT: WYANE BISHOP
PROJECT ADDRESS: OXFORD STREET, HILLIARD, FLORIDA

PROJECT TITLE: OXFORD POINTE
SHEET TITLE: GENERAL NOTES
PROJECT NUMBER: 2022-105

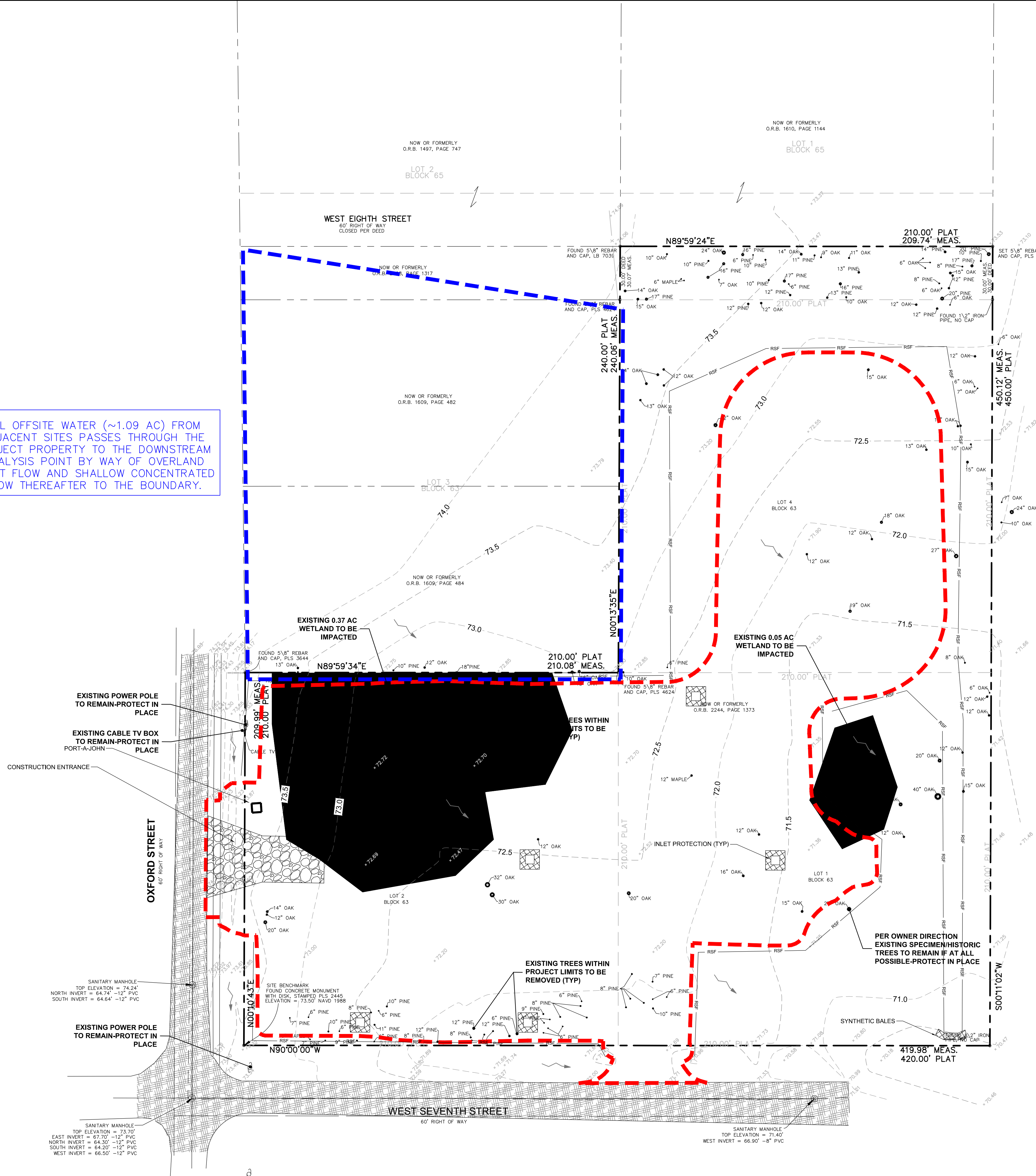
ALL OFFSITE WATER (~1.09 AC) FROM ADJACENT SITES PASSES THROUGH THE SUBJECT PROPERTY TO THE DOWNSTREAM ANALYSIS POINT BY WAY OF OVERLAND SHEET FLOW AND SHALLOW CONCENTRATED FLOW THEREAFTER TO THE BOUNDARY.

ONSITE WATER (~3.18 AC) PASSES BY WAY OF OVERLAND SHEET FLOW AND SHALLOW CONCENTRATED FLOW THEREAFTER, COMBINED WITH OFFSITE RUNOFF FROM ADJACENT SITES (~1.09 AC) TO THE BOUNDARY.



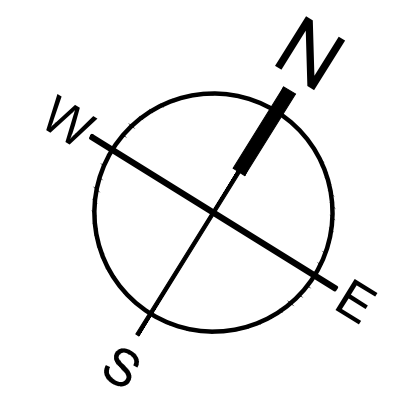
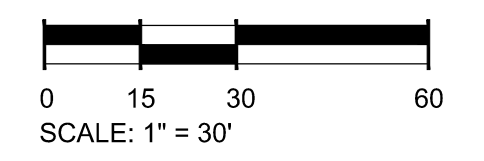
SPECIFICATION	SIZE
ROCK PAD THICKNESS	6 INCHES
ROCK PAD WIDTH	24 FEET
ROCK PAD LENGTH	100 FEET
ROCK PAD STONE SIZE	D = 2-3 INCHES

CONSTRUCTION ENTRANCE NOT TO SCALE

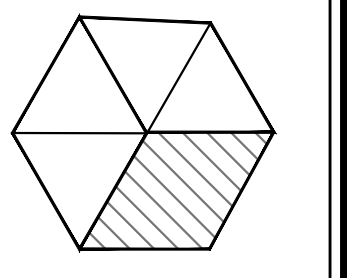


LEGEND

- PROPERTY LINE
- - - 90 - - - EXISTING GRADE
- x 191.0 EXISTING SPOT ELEVATION
- PROJECT LIMITS



**P**  
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UNIT B2 #456  
JACKSONVILLE, FL 32222  
904-885-0188



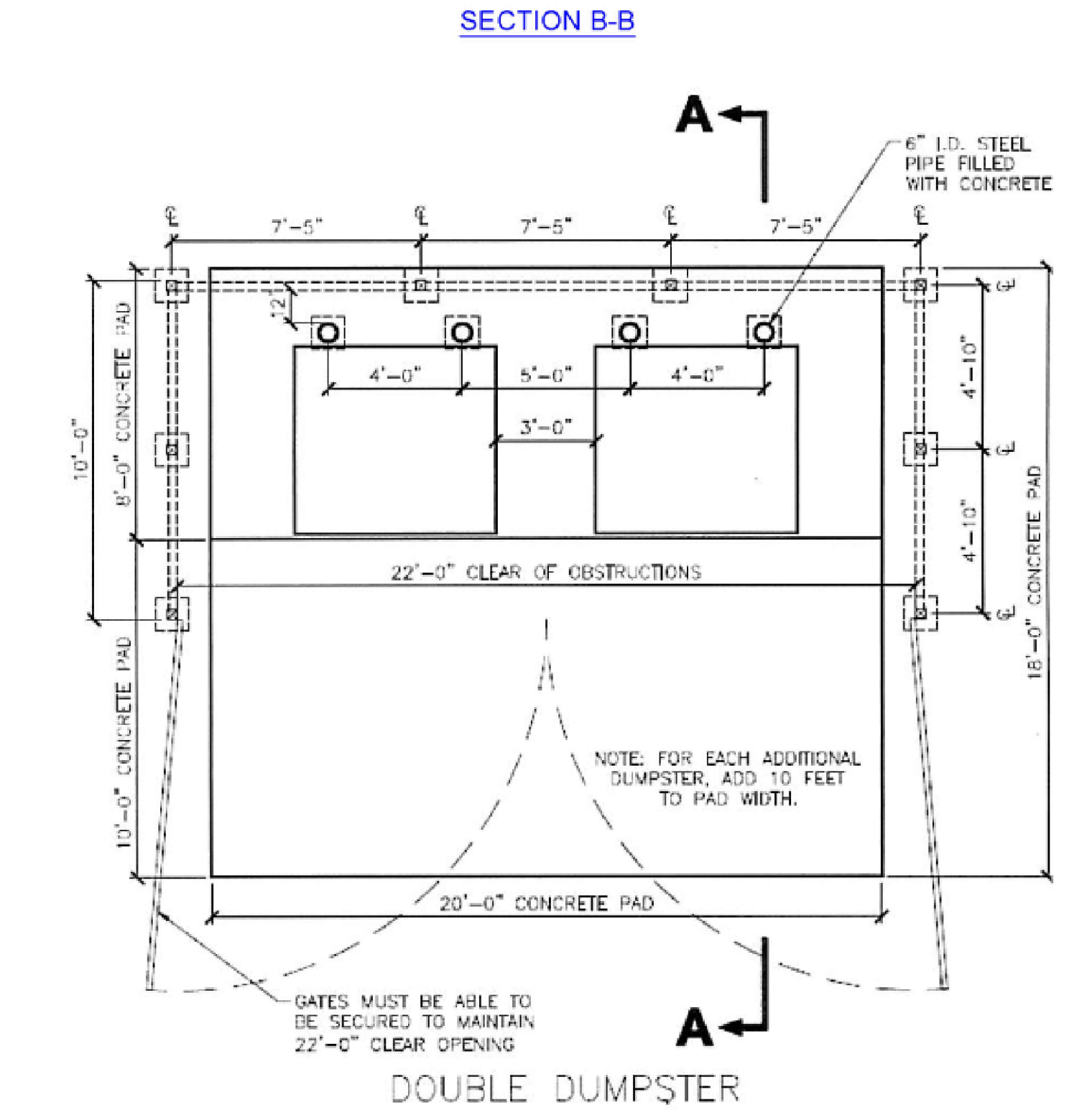
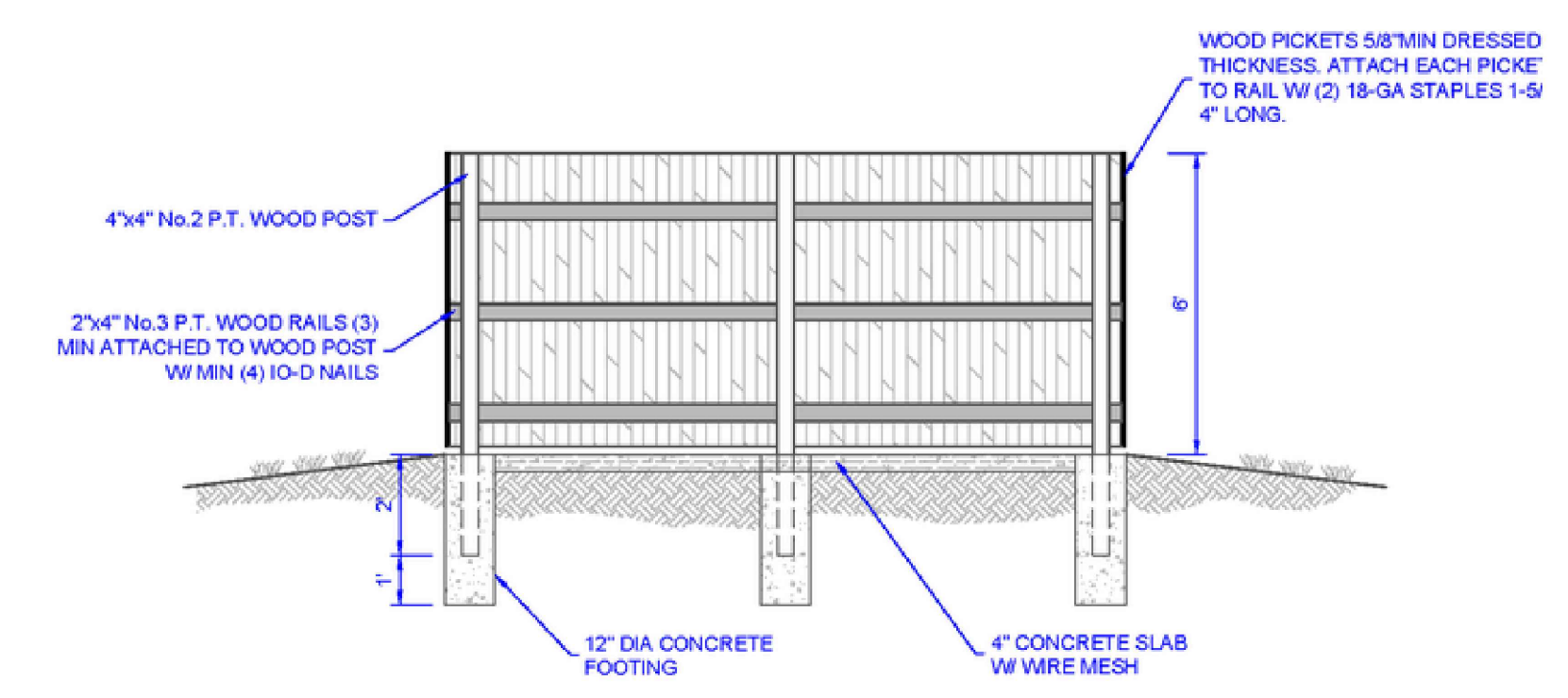
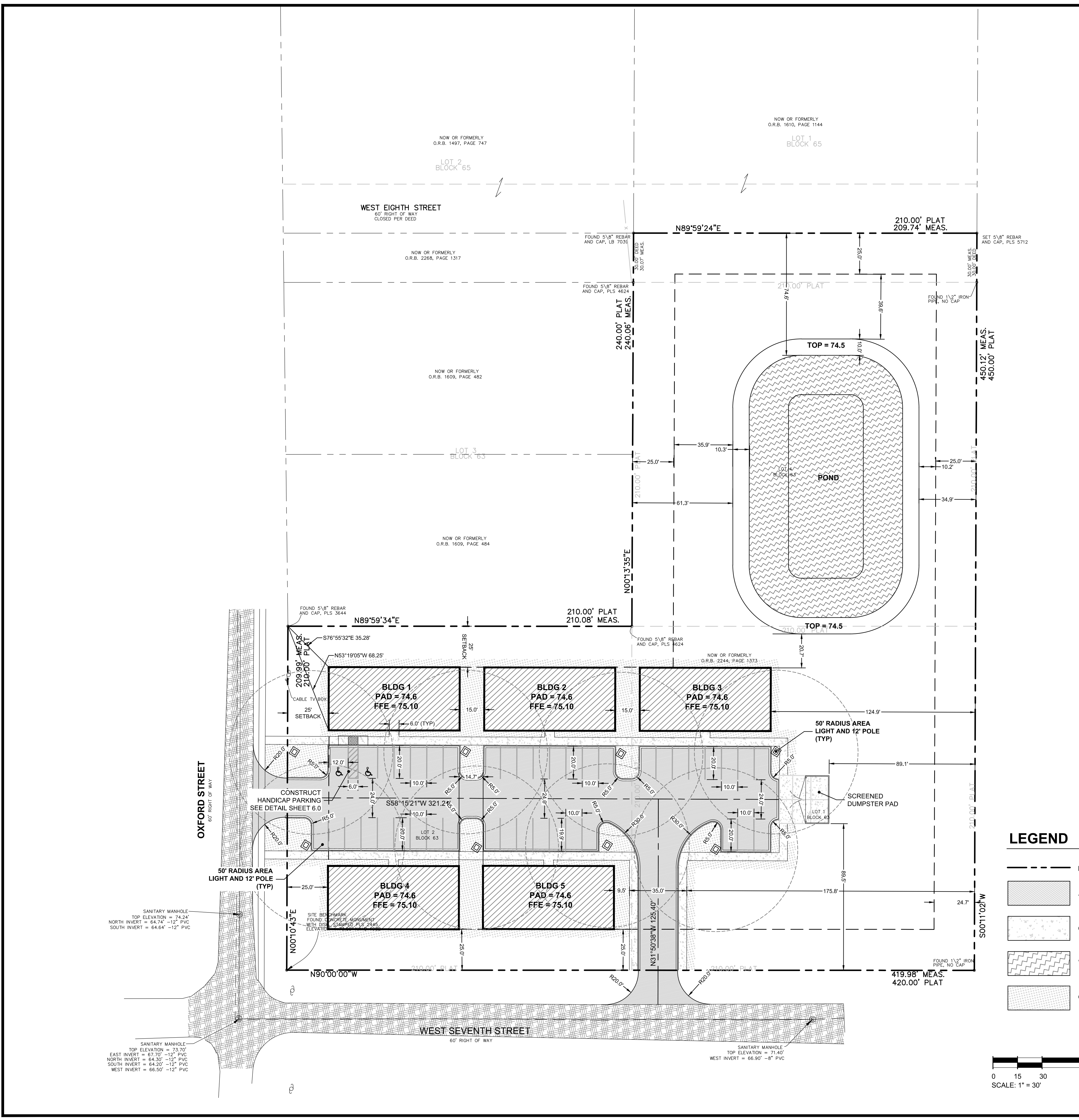
REVISIONS  
NO. DESCRIPTION DATE  
A TOWN OF HILLIARD/SIRWMD 03/20/2023

CLIENT  
**WYANE BISHOP**  
PROJECT ADDRESS  
OXFORD STREET  
HILLIARD, FLORIDA

PROJECT TITLE  
**OXFORD POINTE**  
SHEET TITLE  
**EXISTING CONDITIONS**

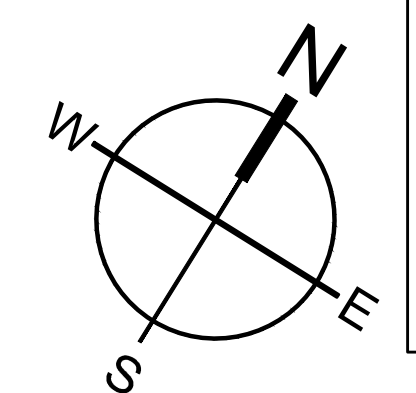
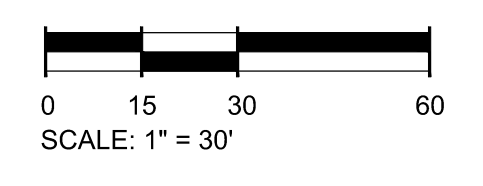
DESIGN: REVIEWED:  
DRAWN: DATE:  
SCALE: AS SHOWN 12/28/22

**C2.0**  
PROJECT NUMBER  
2022-105



**LEGEND**

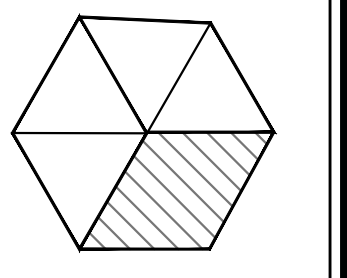
- PROPERTY LINE
- ASPHALT CONCRETE = 19,027 S.F.
- CONCRETE = 4,769 S.F.
- WET POND = 14,120 S.F.
- GRASS / SOD



**DATA SUMMARY TABLE: 0 OXFORD STREET, HILLIARD**

TOTAL SITE AREA (AC):	3.18 AC
TOTAL APARTMENT BUILDINGS:	5
TOTAL APARTMENT UNITS:	19
TOTAL BUILDING AREA (SF):	16,000 SF
% BUILDING COVERAGE TO SITE AREA:	11.6%
EXISTING ZONING:	HILLIARD - R-3
TOTAL PARKING SPACES:	40 STD SPACES / 2 ADA SPACES
VEHICLE PARKING SPACE SIZE:	10'x20'
REAL ESTATE NO.:	08-3N-24-2380-0063-0010
STORMWATER MANAGEMENT:	ONSITE
STORMWATER MANAGEMENT AREA (AC):	0.35 AC (11%)
ELECTRICAL SERVICE:	FPL
FIRE PROTECTION:	PER NFPA REQUIREMENTS
NEAREST FIRE HYDRANT:	PROPOSED ONSITE
BOCC AND FIRE DISTRICT NO.:	D4
FEMA FLOOD PANEL NO.:	12089C0135F
FLOOD ZONE:	ZONE 'X'
PARK AREA / OPEN SPACE:	0.55 AC (17%)
TRAFFIC COUNT:	PER ITE 9TH ED. - TBD
UTILITIES:	PROPOSED FORCE MAIN EXTENSION TO TOWN OF HILLIARD; WATER MAIN WITHIN OXFORD ST
SETBACKS:	25' FRONT, 30' REAR 25' SIDES (SUM)
MAX BLDG HT:	30' (MAX HT TO EAVES)

**P<sup>2</sup>**  
**CIVIL ENGINEERING, LLC**  
 9526 ARCYLE FOREST BLVD,  
 UNIT B2 #456  
 JACKSONVILLE, FL 32222  
 904-885-0188



**TOWN OF HILLIARD**  
 PROJECT ADDRESS  
 OXFORD STREET  
 HILLIARD, FLORIDA

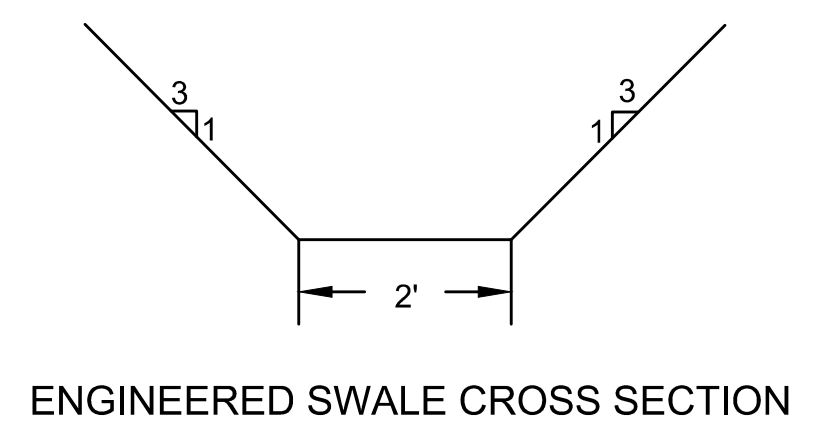
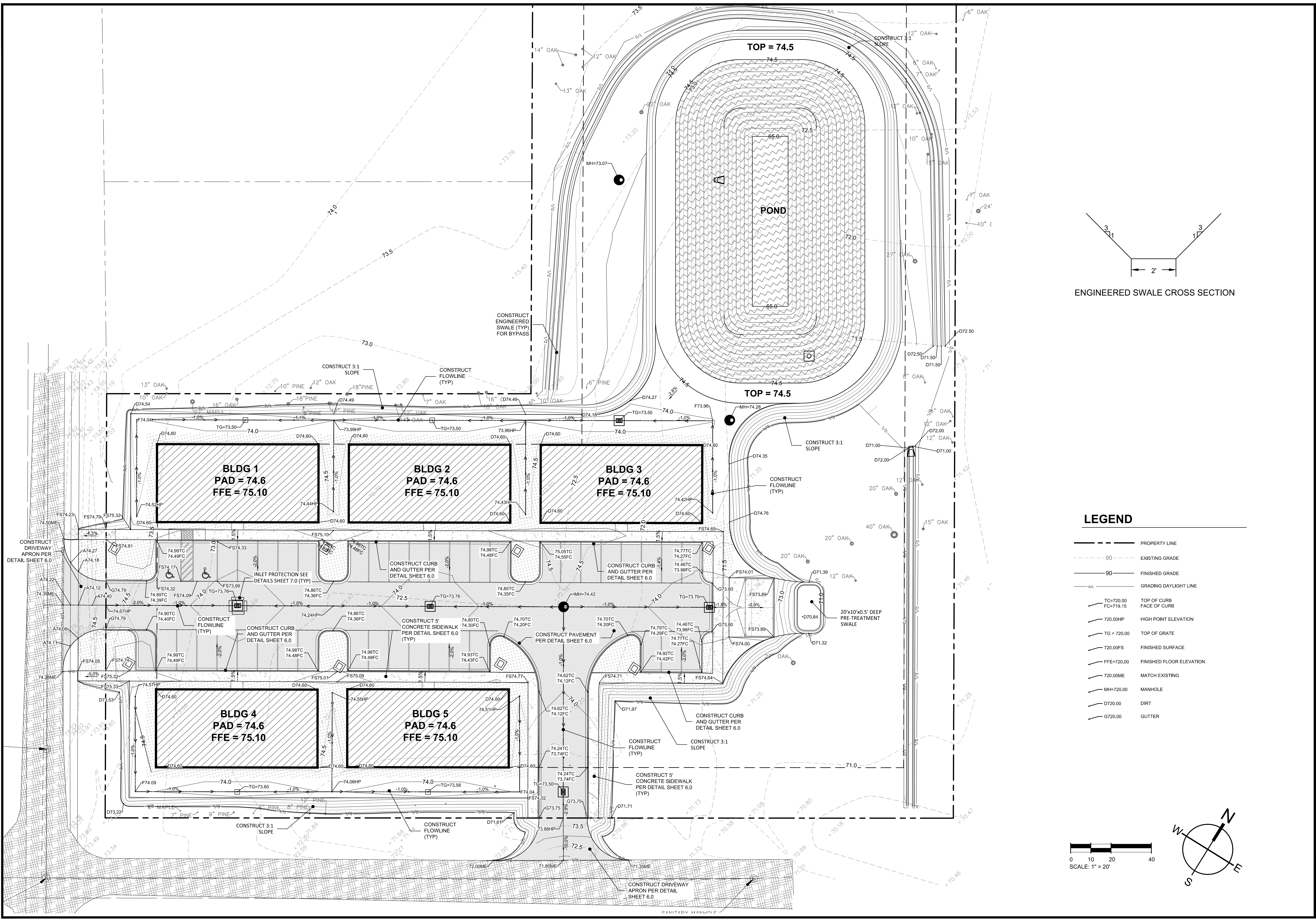
REV.	DESCRIPTION	DATE
A		

**CLIENT**  
**WYANE BISHOP**  
 PROJECT ADDRESS  
 OXFORD STREET  
 HILLIARD, FLORIDA

**PROJECT TITLE**  
**OXFORD POINTE**  
**SHEET TITLE**  
**SITE PLAN**

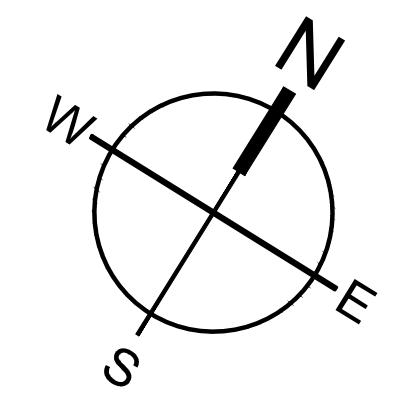
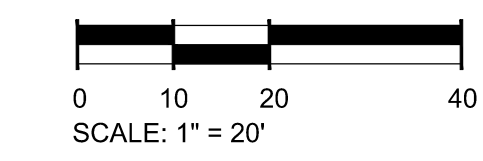
DESIGN:	REVIEWED:
DRAWN:	
SCALE:	DATE:
AS SHOWN	12/28/22

**C3.0**  
 PROJECT NUMBER  
 2022-105

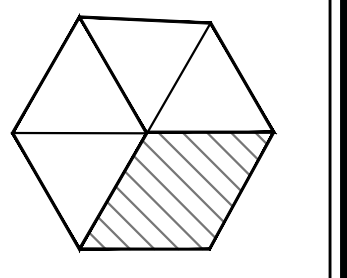


**LEGEND**

---	PROPERTY LINE
- - - -	EXISTING GRADE
— 0 —	FINISHED GRADE
- 0 -	GRADING DAYLIGHT LINE
TC=720.00	TOP OF CURB
FC=719.15	FACE OF CURB
720.00HP	HIGH POINT ELEVATION
TG = 720.00	TOP OF GRATE
720.00FS	FINISHED SURFACE
FFE=720.00	FINISHED FLOOR ELEVATION
720.00ME	MATCH EXISTING
MH=720.00	MANHOLE
D720.00	DIRT
G720.00	GUTTER



**P<sup>2</sup>**  
 CIVIL ENGINEERING, LLC  
 9526 ARCYLE FOREST BLVD.  
 UNIT B2 #456  
 JACKSONVILLE, FL 32222  
 904-885-0188



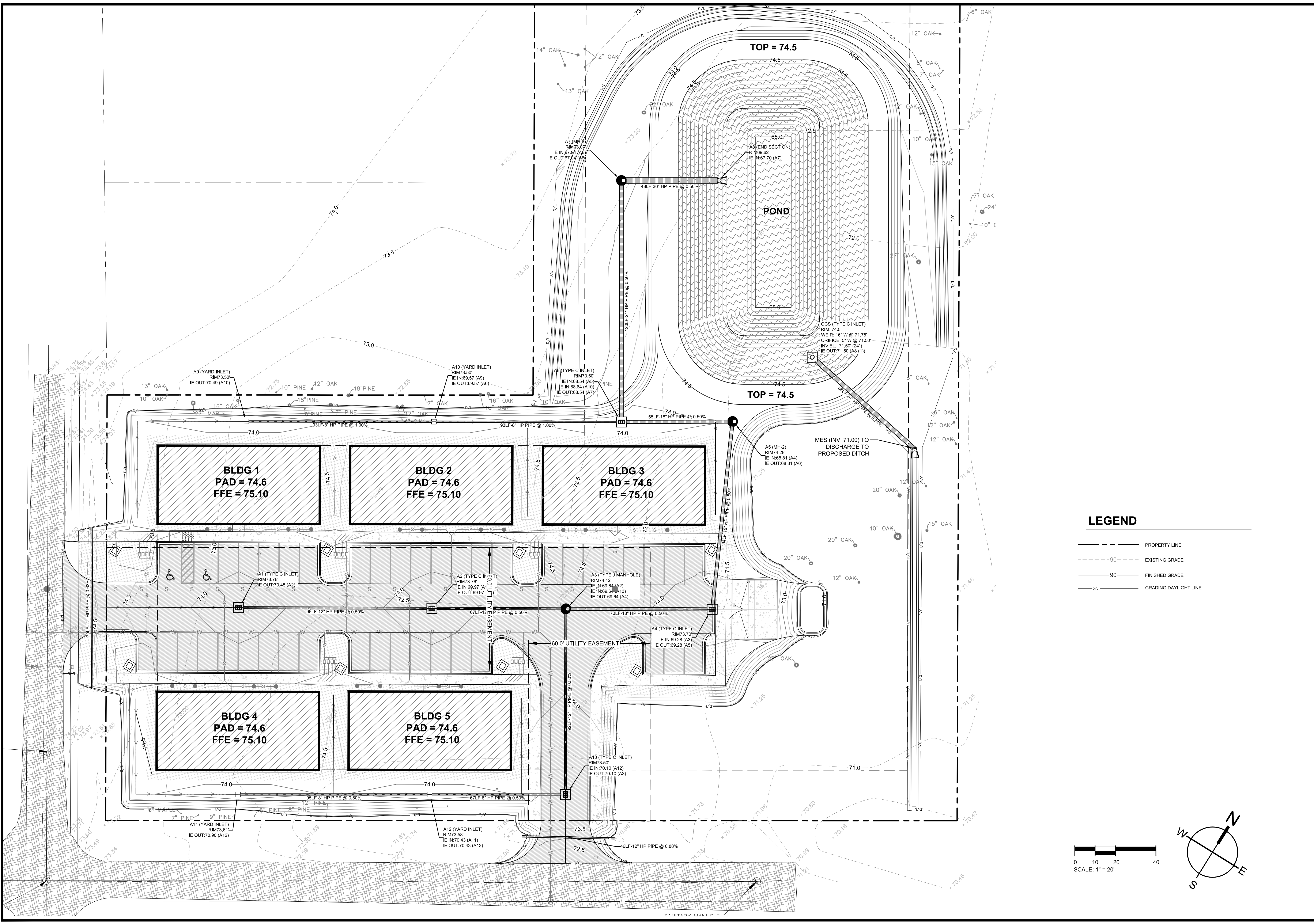
REVISIONS  
 TOWN OF HILLIARD/SIRWMD  
 03/20/2023

NO.	DESCRIPTION	DATE

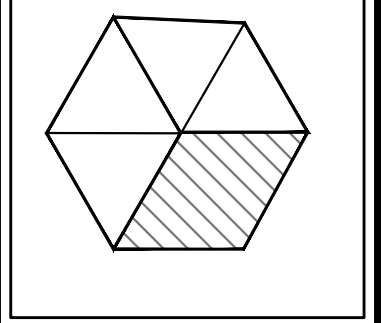
CLIENT  
**WYANE BISHOP**  
 PROJECT ADDRESS  
 OXFORD STREET  
 HILLIARD, FLORIDA

PROJECT TITLE  
**OXFORD POINTE**  
 SHEET TITLE  
**GRADING PLAN**

DESIGN:	REVIEWED:
DRAWN:	
SCALE: AS SHOWN	DATE: 12/28/22
<b>C4.0</b>	
PROJECT NUMBER 2022-105	



**P<sup>2</sup>**  
 CIVIL ENGINEERING, LLC  
 9526 ARCYLE FOREST BLVD,  
 UNIT B2 #456  
 JACKSONVILLE, FL 32222  
 904-885-0188



REVISIONS

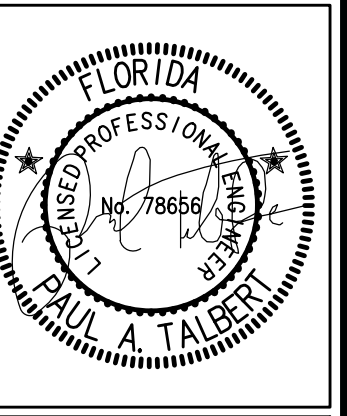
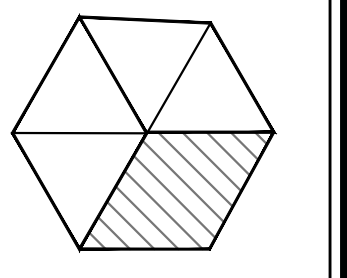
NO.	DESCRIPTION	DATE
A	TOWN OF HILLIARD/SIRWMD	03/20/2023

CLIENT  
**WYANE BISHOP**  
 PROJECT ADDRESS  
 OXFORD STREET  
 HILLIARD, FLORIDA

PROJECT TITLE  
**OXFORD POINTE**  
 SHEET TITLE  
**DRAINAGE PLAN**

DESIGN: [ ] REVIEWED: [ ]  
 DRAWN: [ ]  
 SCALE: AS SHOWN DATE: 12/28/22  
**C4.1**  
 PROJECT NUMBER  
 2022-105





REV	DESCRIPTION	DATE
A	TOWN OF HILLIARD/SIRWD	03/20/2023

CLIENT  
**WYANE BISHOP**  
 PROJECT ADDRESS  
 OXFORD STREET  
 HILLIARD, FLORIDA

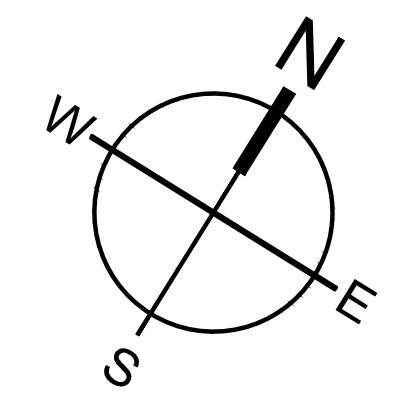
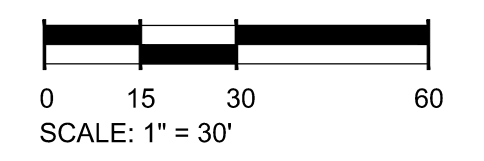
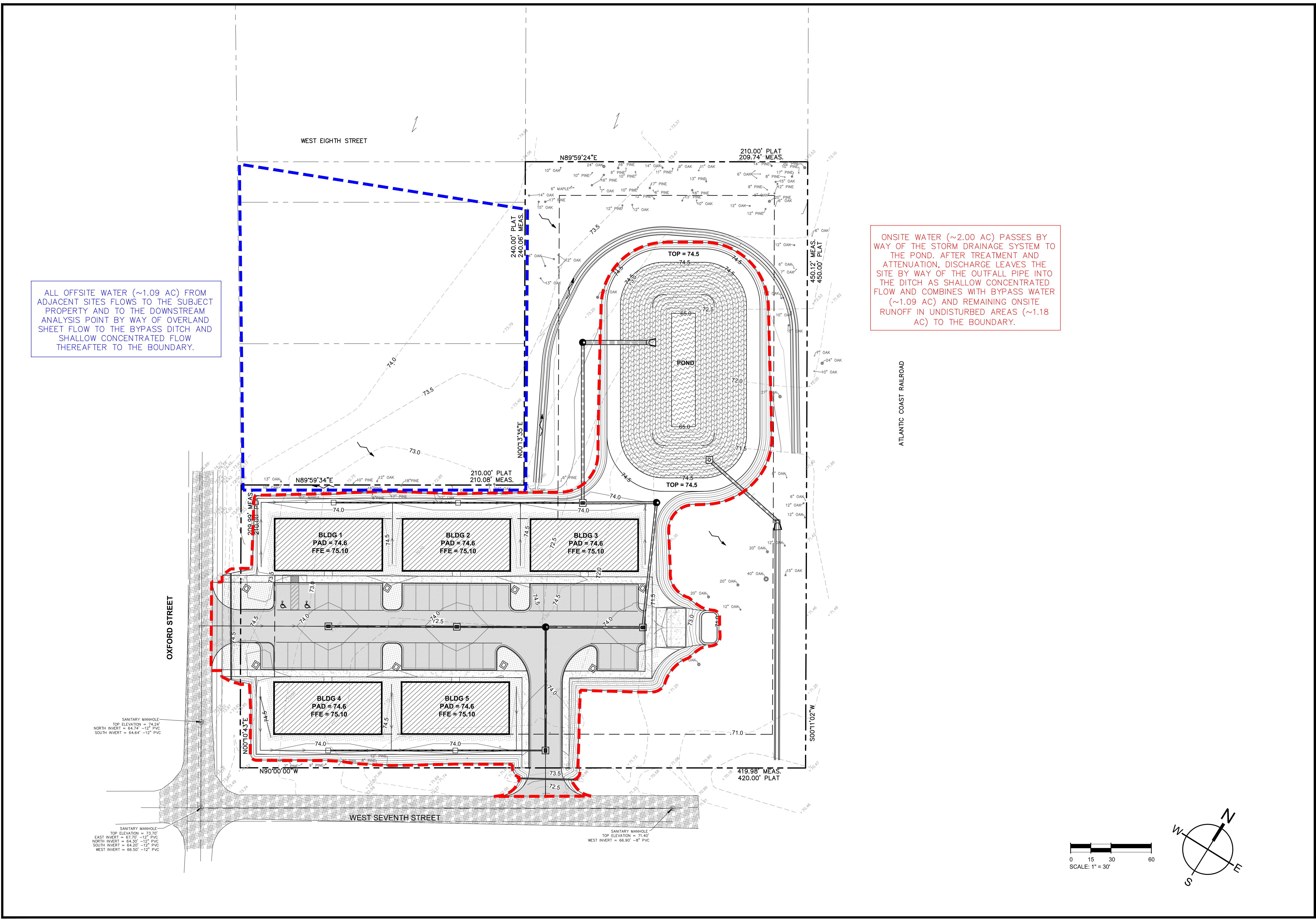
PROJECT TITLE  
**OXFORD POINTE**  
 SHEET TITLE  
**POST DEVELOPMENT PLAN**

DESIGN:	REVIEWED:
DRAWN:	
SCALE: AS SHOWN	DATE: 12/28/22

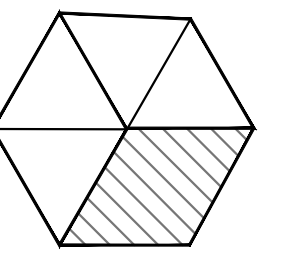
**C4.2**  
 PROJECT NUMBER  
 2022-105

ALL OFFSITE WATER (~1.09 AC) FROM ADJACENT SITES FLOWS TO THE SUBJECT PROPERTY AND TO THE DOWNSTREAM ANALYSIS POINT BY WAY OF OVERLAND SHEET FLOW TO THE BYPASS DITCH AND SHALLOW CONCENTRATED FLOW THEREAFTER TO THE BOUNDARY.

ONSITE WATER (~2.00 AC) PASSES BY WAY OF THE STORM DRAINAGE SYSTEM TO THE POND. AFTER TREATMENT AND ATTENUATION, DISCHARGE LEAVES THE SITE BY WAY OF THE OUTFALL PIPE INTO THE DITCH AS SHALLOW CONCENTRATED FLOW AND COMBINES WITH BYPASS WATER (~1.09 AC) AND REMAINING ONSITE RUNOFF IN UNDISTURBED AREAS (~1.18 AC) TO THE BOUNDARY.



**P<sup>2</sup>**  
CIVIL ENGINEERING, LLC  
9526 ARCYLE FOREST BLVD,  
UNIT B2 #456  
JACKSONVILLE, FL 32222  
904-885-0188



REVISIONS  
NO. DESCRIPTION DATE

NO.	DESCRIPTION	DATE
1	TOWN OF HILLIARD/SIRWMD	03/20/2023

CLIENT  
**WYANE BISHOP**  
PROJECT ADDRESS  
OXFORD STREET  
HILLIARD, FLORIDA

PROJECT TITLE  
**OXFORD POINTE**  
SHEET TITLE  
**UTILITY PLAN**

DESIGN:	REVIEWED:
DRAWN:	
SCALE: AS SHOWN	DATE: 12/28/22

PROJECT NUMBER  
**C5.0**  
2022-105

ALL UTILITY WORK TO BE PERFORMED BY A LICENSED UNDERGROUND UTILITY CONTRACTOR. ALL VERTICAL AND HORIZONTAL UTILITY SEPARATIONS MUST MEET THE REQUIREMENTS OF TOWN OF HILLIARD AND FDEP.

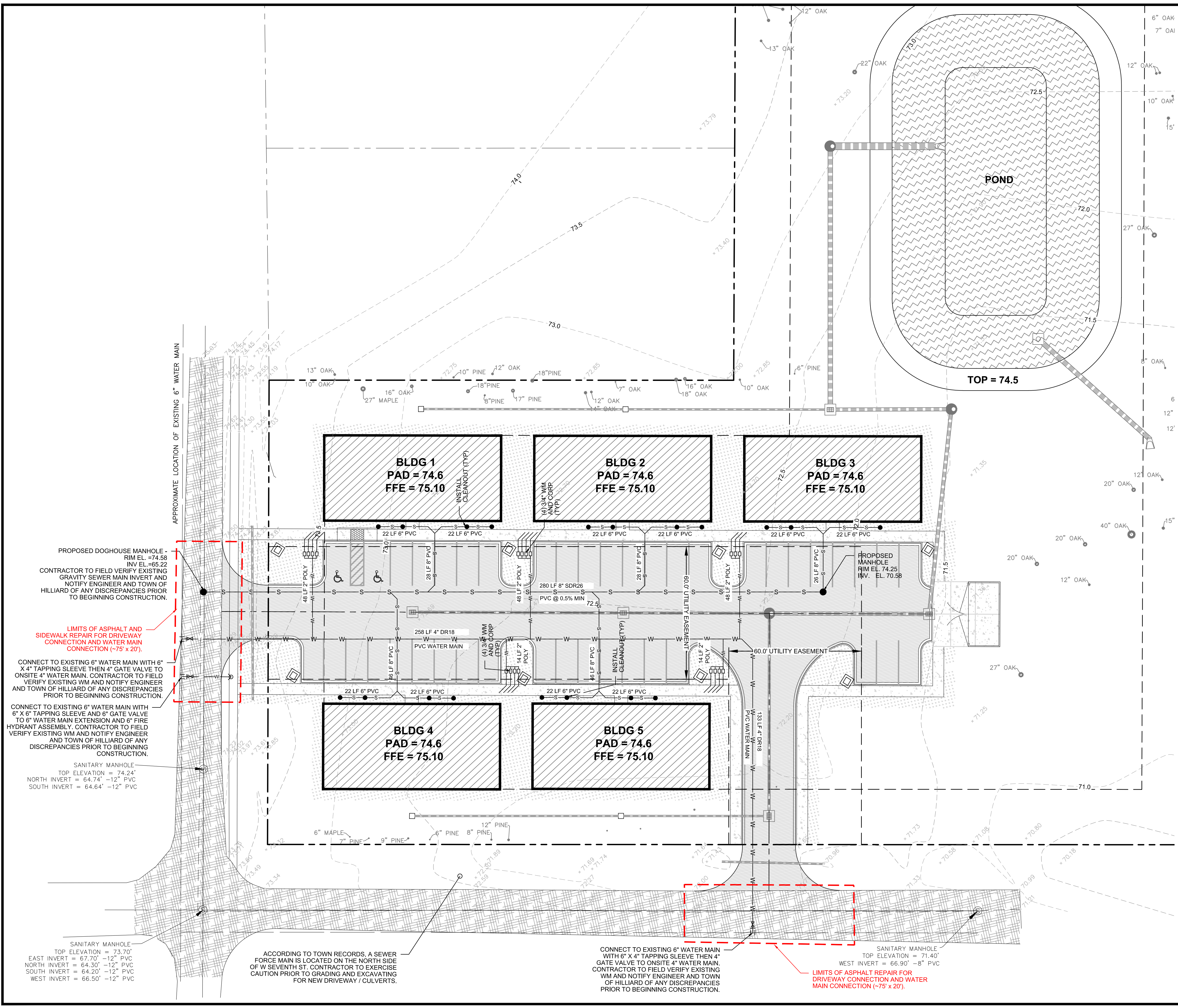
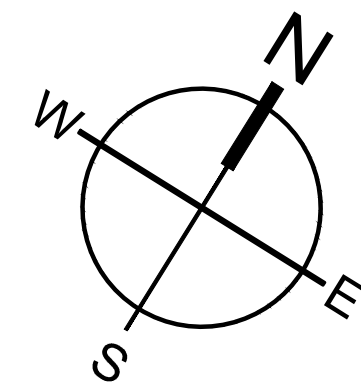
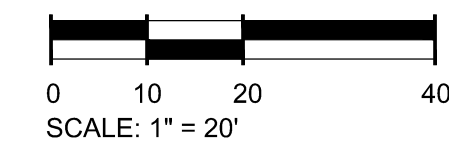
ELECTRICAL TRANSFORMER PLACEMENT TO BE COORDINATED WITH LOCAL POWER PROVIDER AT THE TIME OF CONSTRUCTION. SPACING AND CLEARANCE REQUIREMENTS SUBJECT TO LOCAL REGULATION OR JURISDICTION HAVING AUTHORITY.

CONTRACTOR REQUIRED TO NOTIFY TOWN OF HILLIARD PRIOR TO INSTALLATION OF WATER TAP OR SEWER CONNECTION. ANY BYPASS PUMPING IS THE RESPONSIBILITY OF THE CONTRACTOR AND BYPASS PUMPING PLAN AND SEQUENCE MUST BE APPROVED BY TOWN OF HILLIARD.

NO WORK SHALL COMMENCE WITHIN TOWN OF HILLIARD R/W WITHOUT PERMIT AND NOTICE TO PROCEED GIVEN BY TOWN OF HILLIARD. CONTRACTOR MUST CONTACT TOWN OF HILLIARD 48 HOURS IN ADVANCE OF CONSTRUCTION BEGINNING.

**LEGEND**

- PROPERTY LINE
- - - - - 90' EXISTING GRADE
- 90' FINISHED GRADE
- EXISTING WATER
- EXISTING SEWER
- W — W PROPOSED WATER
- S — S PROPOSED SEWER



PROPOSED DOGHOUSE MANHOLE - RIM EL. = 74.58  
INV. EL. = 65.22  
CONTRACTOR TO FIELD VERIFY EXISTING GRAVITY SEWER MAIN INVERT AND NOTIFY ENGINEER AND TOWN OF HILLIARD OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.

LIMITS OF ASPHALT AND SIDEWALK REPAIR FOR DRIVEWAY CONNECTION AND WATER MAIN CONNECTION (-75' X 20').

CONNECT TO EXISTING 6" WATER MAIN WITH 6" X 4" TAPPING SLEEVE THEN 4" GATE VALVE TO ONSITE 4" WATER MAIN. CONTRACTOR TO FIELD VERIFY EXISTING WM AND NOTIFY ENGINEER AND TOWN OF HILLIARD OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.

CONNECT TO EXISTING 6" WATER MAIN WITH 6" X 6" TAPPING SLEEVE AND 6" GATE VALVE TO 6" WATER MAIN EXTENSION AND 6" FIRE HYDRANT ASSEMBLY. CONTRACTOR TO FIELD VERIFY EXISTING WM AND NOTIFY ENGINEER AND TOWN OF HILLIARD OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.

SANITARY MANHOLE  
TOP ELEVATION = 74.24'  
NORTH INVERT = 64.74' -12" PVC  
SOUTH INVERT = 64.64' -12" PVC

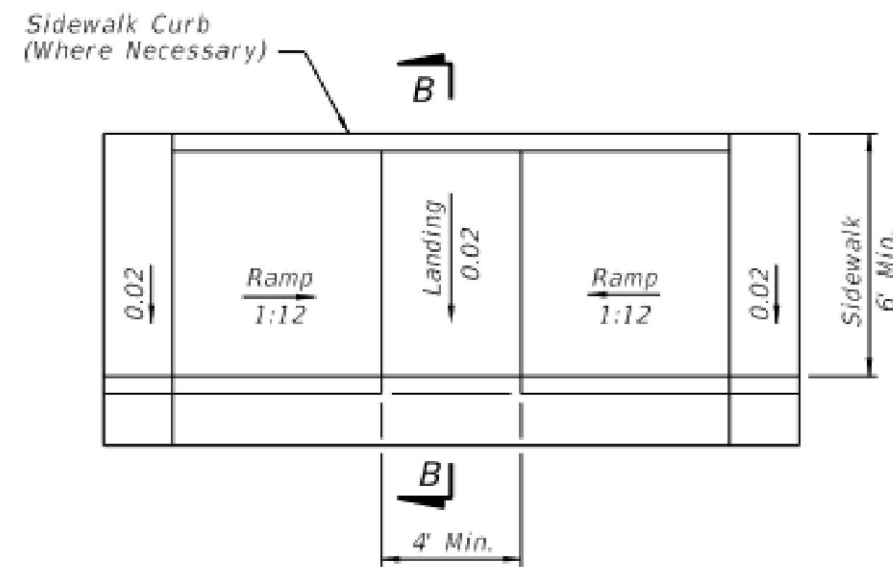
SANITARY MANHOLE  
TOP ELEVATION = 73.70'  
EAST INVERT = 67.70' -12" PVC  
NORTH INVERT = 64.30' -12" PVC  
SOUTH INVERT = 64.20' -12" PVC  
WEST INVERT = 66.50' -12" PVC

ACCORDING TO TOWN RECORDS, A SEWER FORCE MAIN IS LOCATED ON THE NORTH SIDE OF W SEVENTH ST. CONTRACTOR TO EXERCISE CAUTION PRIOR TO GRADING AND EXCAVATING FOR NEW DRIVEWAY / CULVERTS.

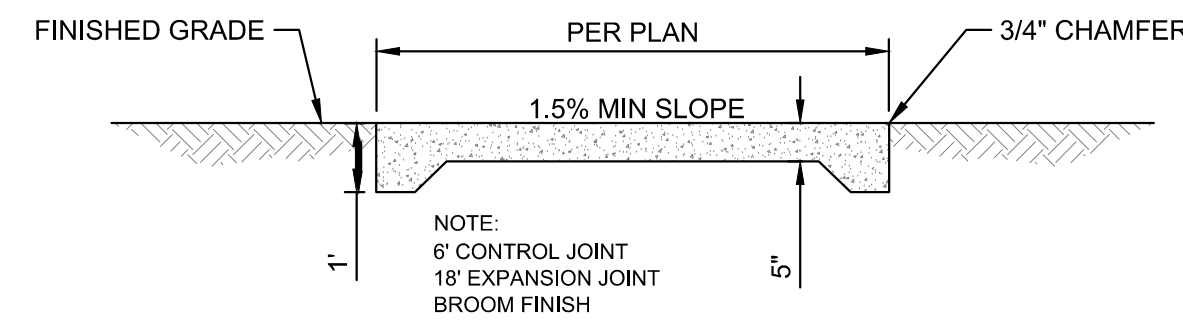
CONNECT TO EXISTING 6" WATER MAIN WITH 6" X 4" TAPPING SLEEVE THEN 4" GATE VALVE TO ONSITE 4" WATER MAIN. CONTRACTOR TO FIELD VERIFY EXISTING WM AND NOTIFY ENGINEER AND TOWN OF HILLIARD OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.

LIMITS OF ASPHALT REPAIR FOR DRIVEWAY CONNECTION AND WATER MAIN CONNECTION (-75' X 20').

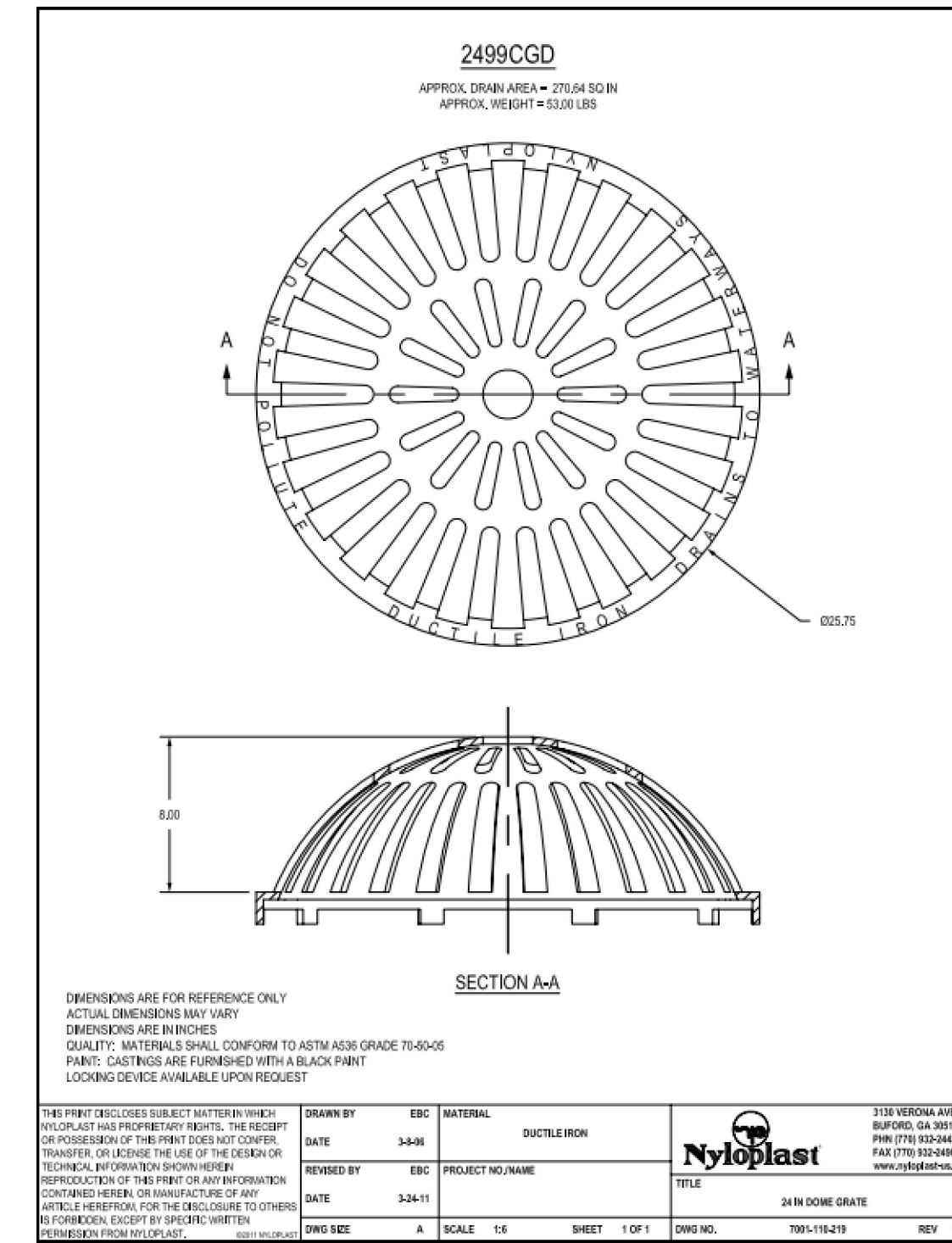
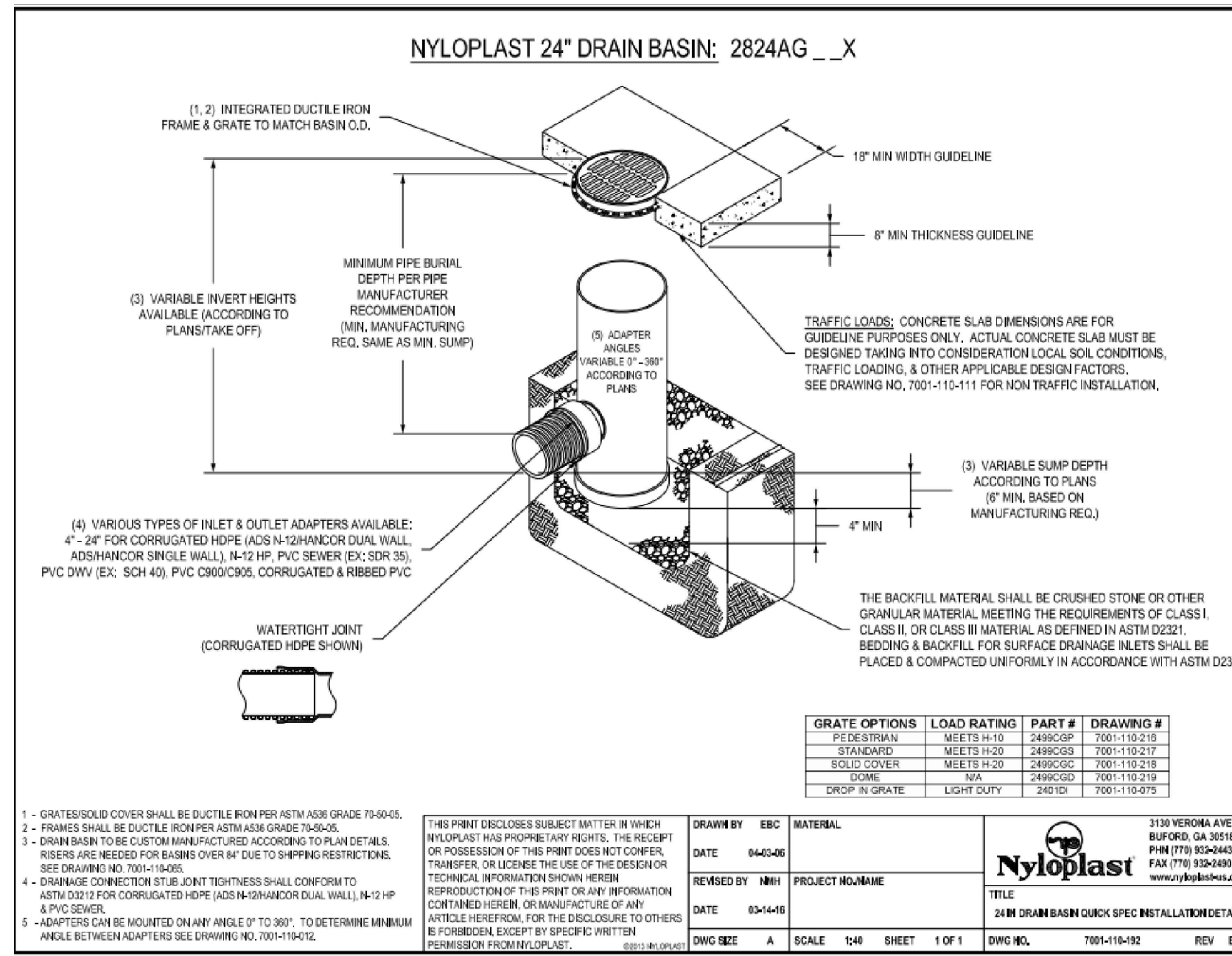
SANITARY MANHOLE  
TOP ELEVATION = 71.40'  
WEST INVERT = 66.90' -8" PVC



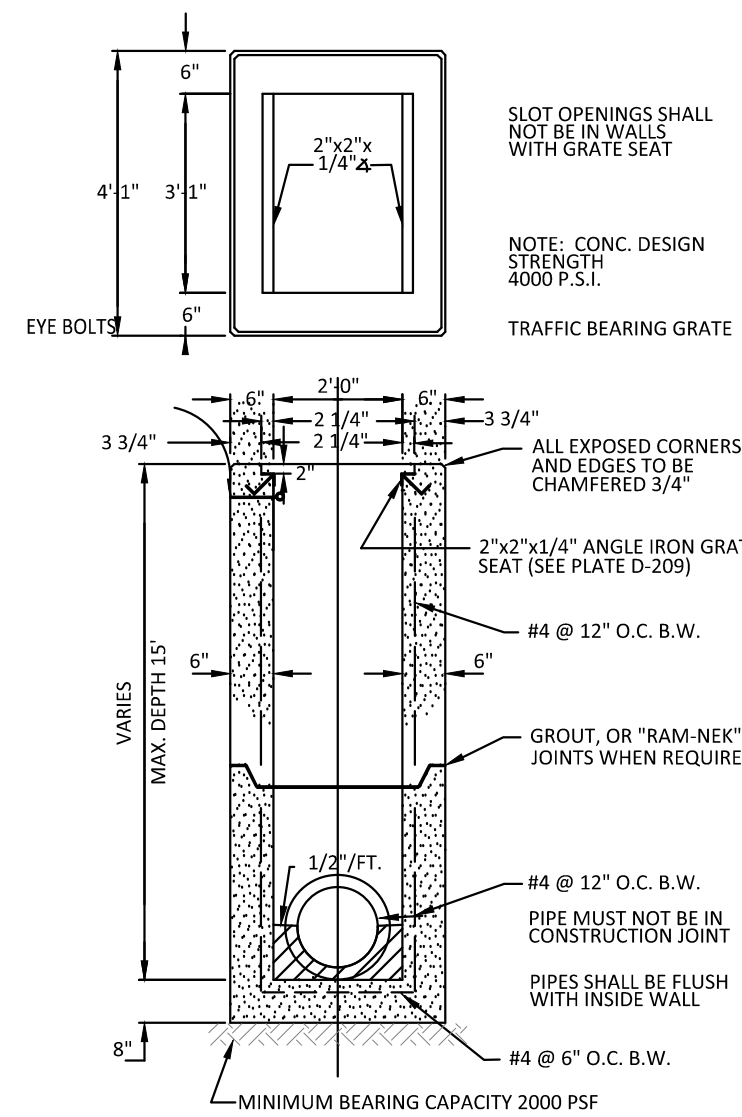
PLAN VIEW  
**HANDICAP RAMP**



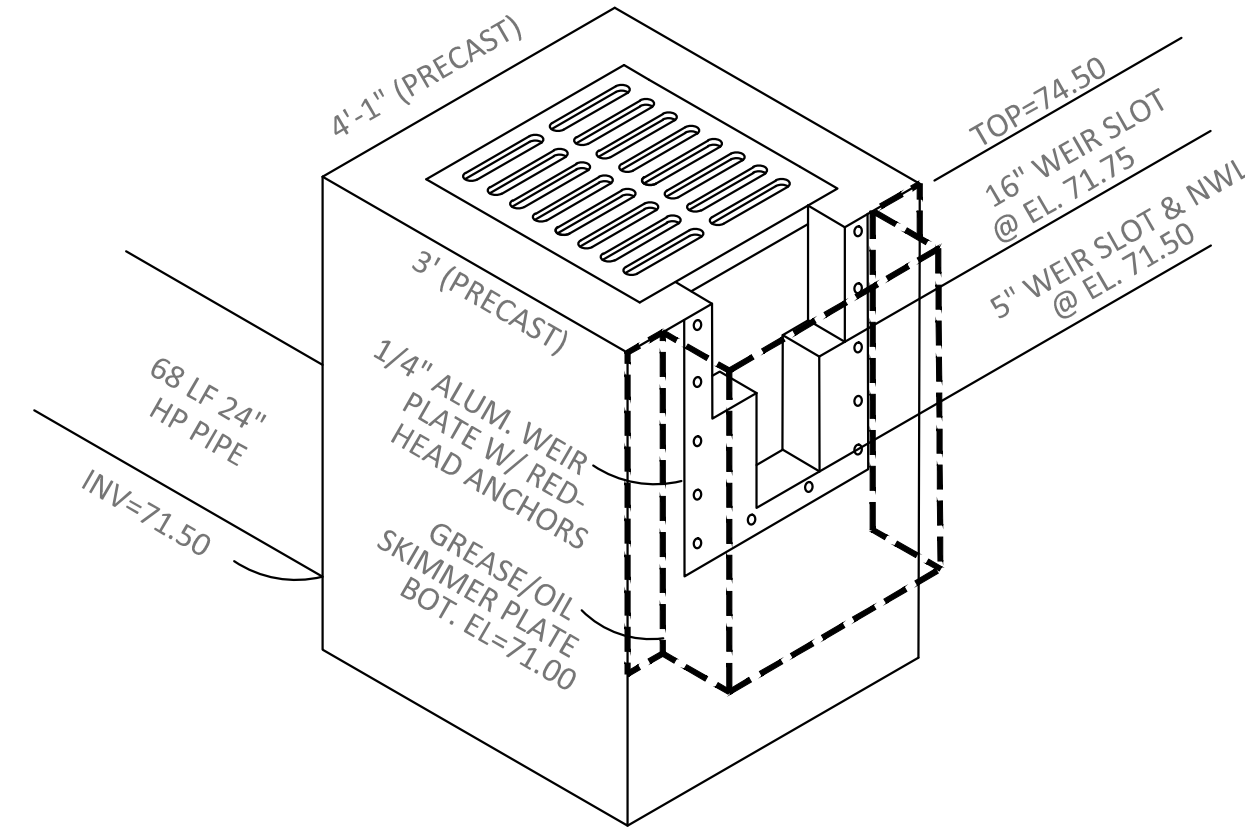
**CONCRETE SIDEWALK DETAIL**



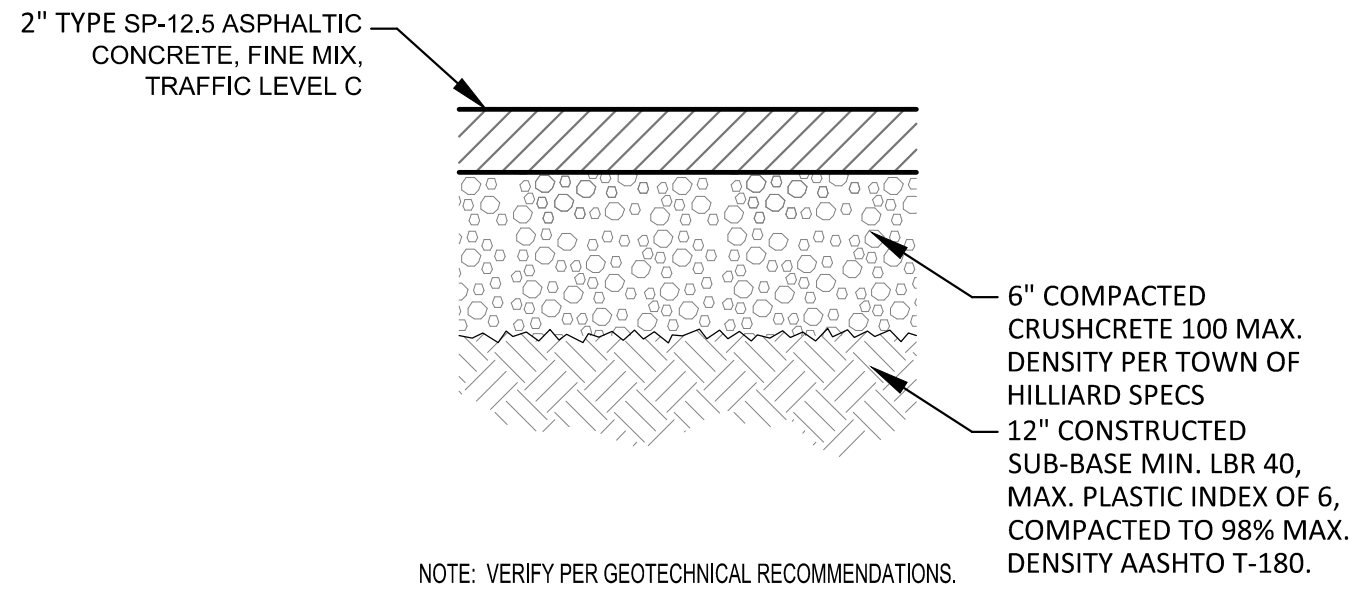
**STANDARD CURB TEMPLATES**



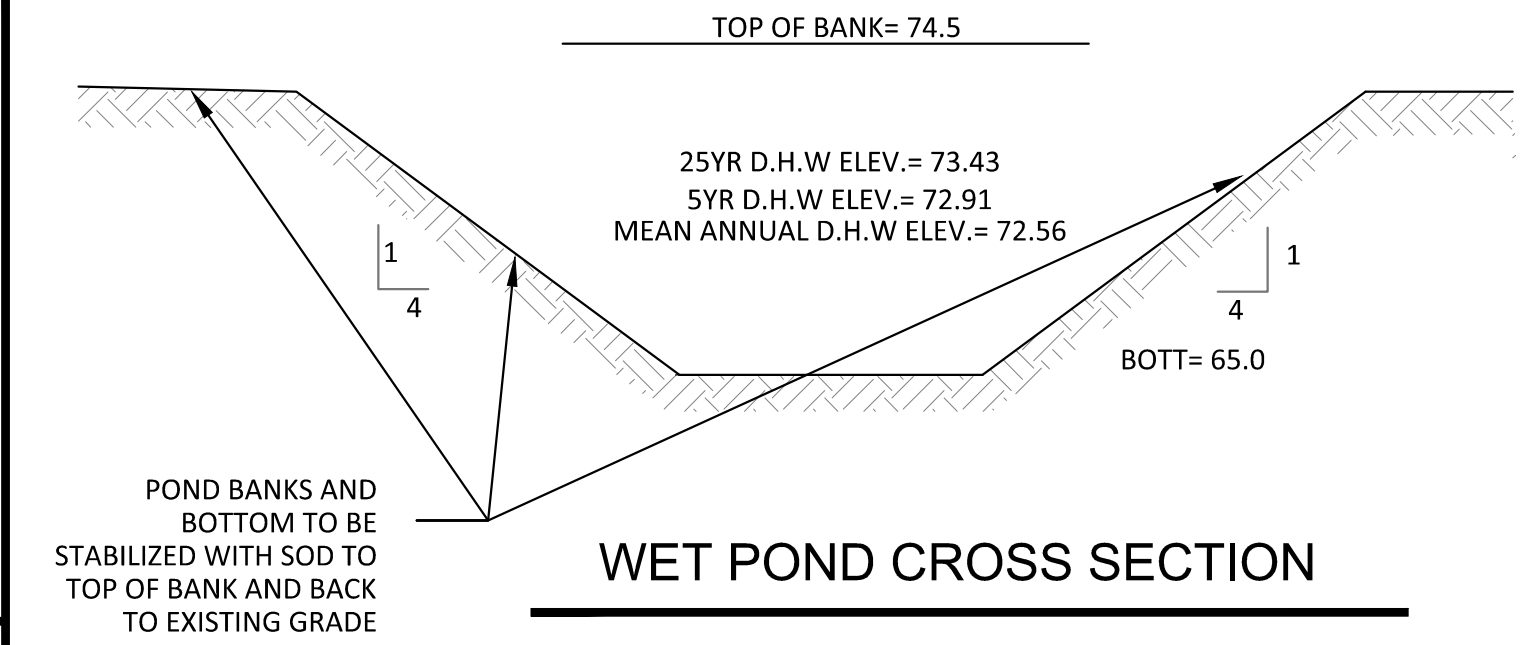
**TYPE 'C' INLET**



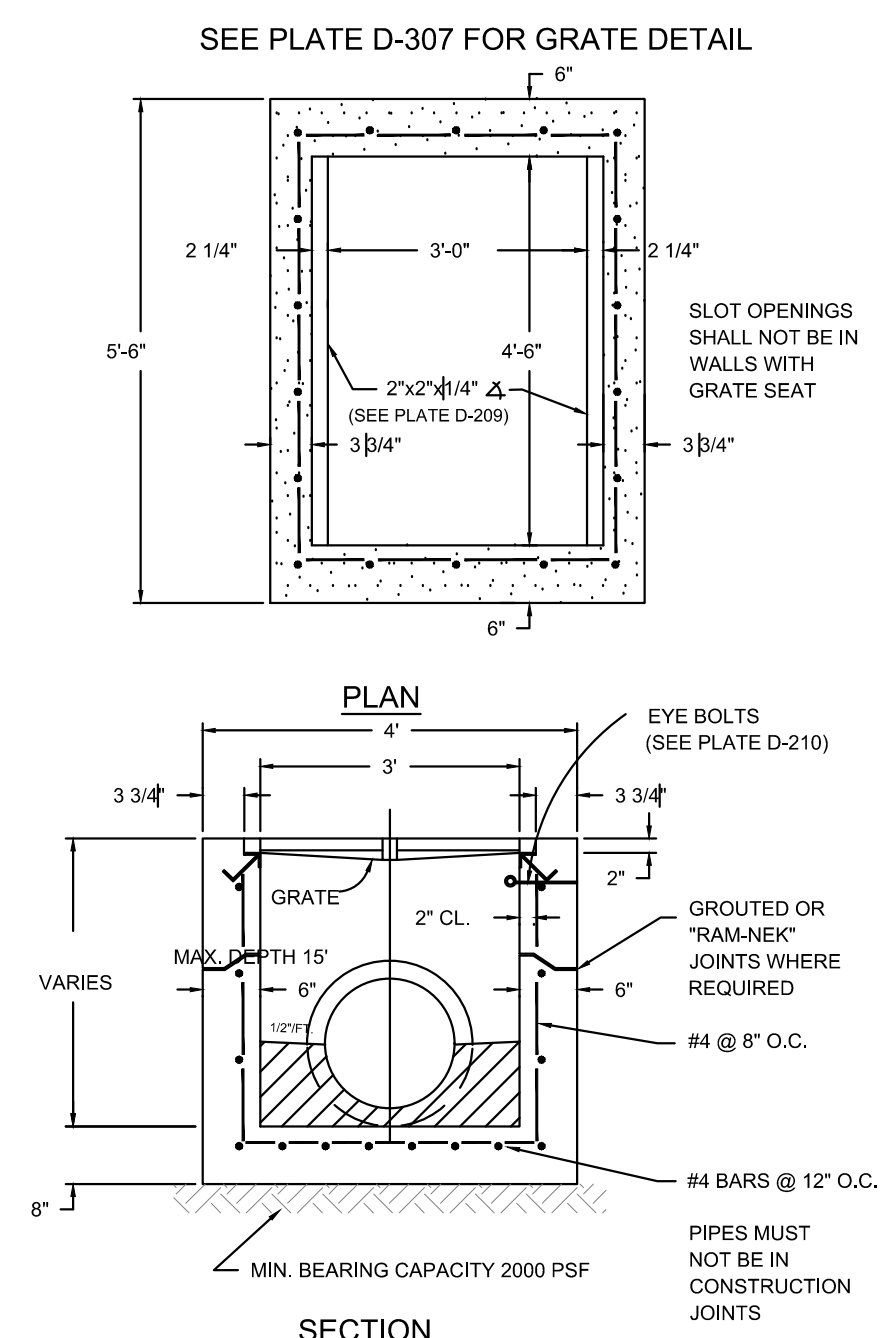
**OUTFALL CONTROL STRUCTURE**



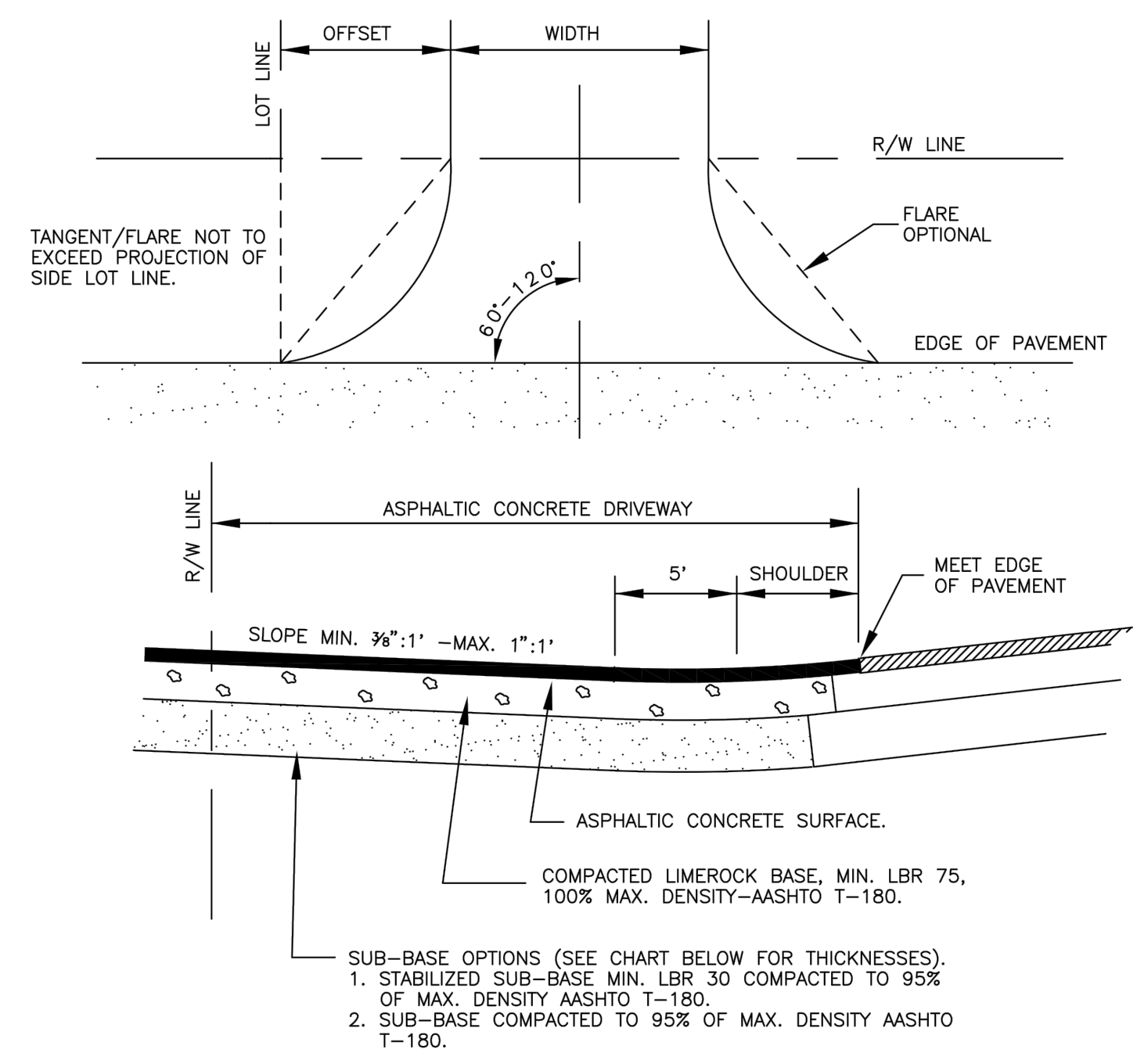
**STD DUTY PAVEMENT SECTION**



**WET POND CROSS SECTION**



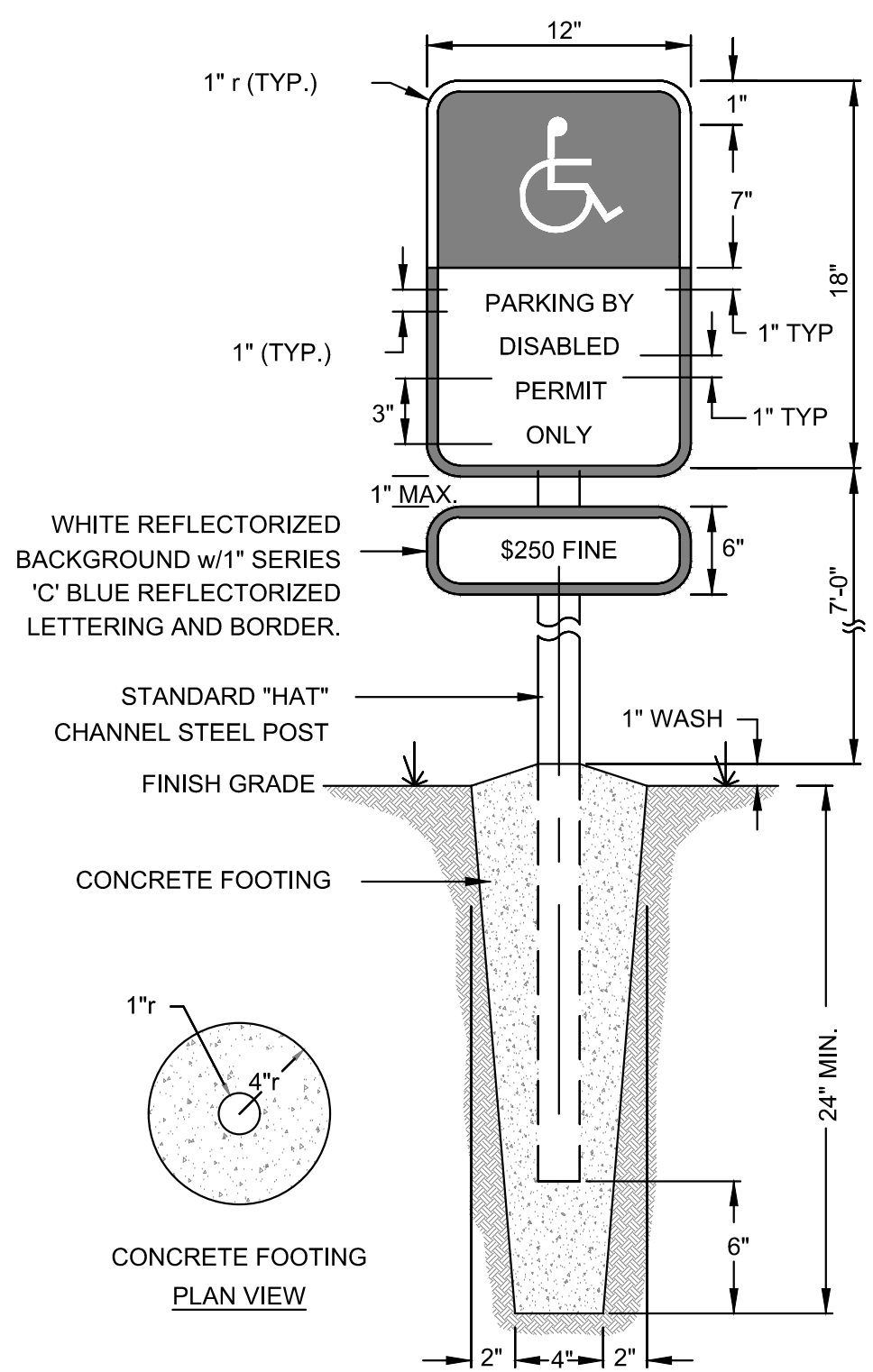
**TYPE 'E' INLET**



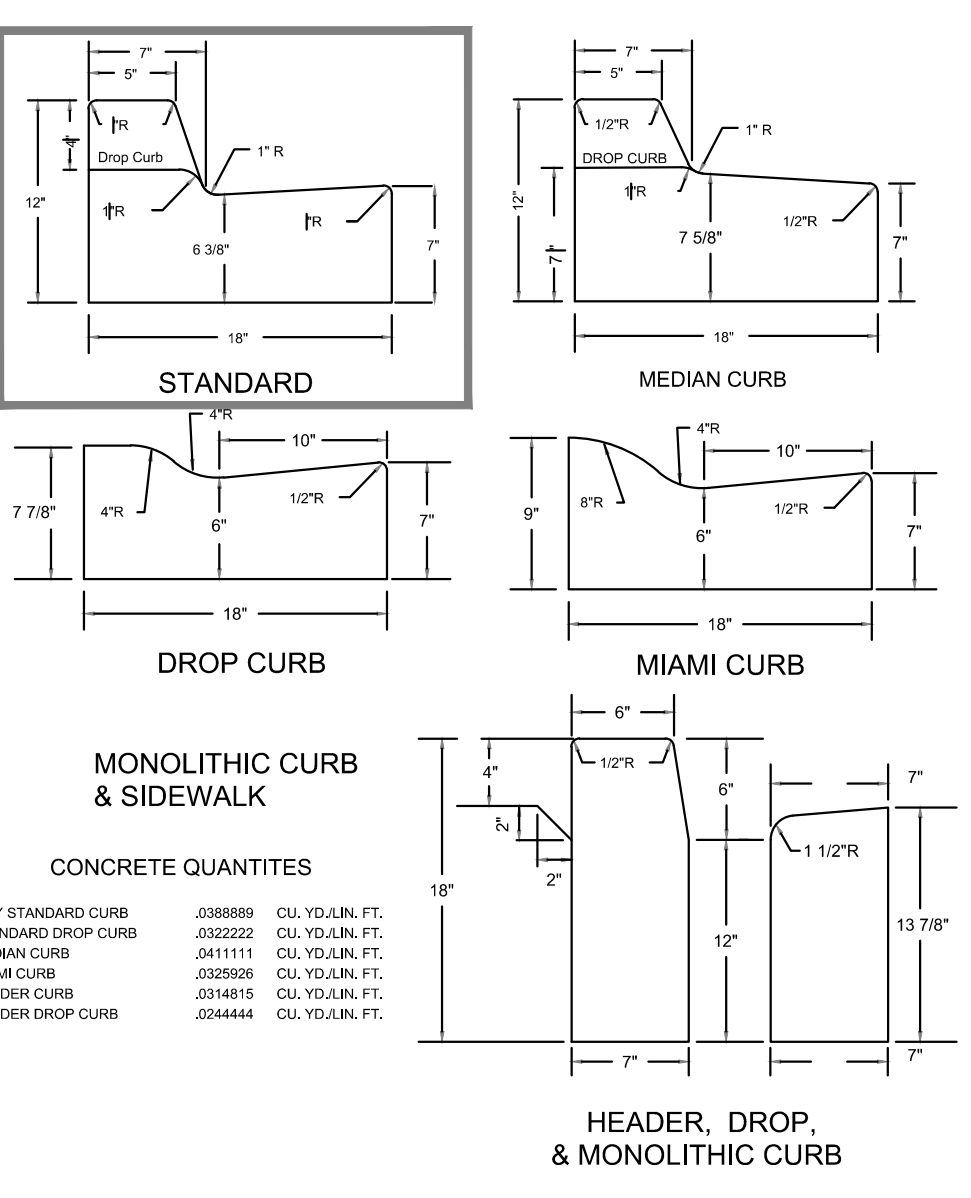
1. ALL DRIVEWAYS CONSTRUCTED WITHIN CITY MAINTAINED RIGHT-OF-WAYS SHALL CONFORM TO CITY STANDARDS. A PERMIT MUST BE ISSUED BY THE DEPARTMENT OF PUBLIC WORKS FOR ALL SUCH WORK.  
2. ALL MATERIALS SHALL CONFORM TO CITY STANDARDS.  
3. ALL DRIVEWAYS CONSTRUCTED WITHIN STATE MAINTAINED RIGHT-OF-WAYS SHALL CONFORM TO D.O.T. STANDARDS.

DRIVEWAY TYPE	MIN. WIDTH	MAX. WIDTH	PAVEMENT OPTION #1		PAVEMENT OPTION #2		MIN. RADIUS	MIN. OFFSET	OPTIONAL FLARE
			ASPHALT	LIMEROCK	STABILIZED SUB-BASE	ASPHALT			
CLASS I RESIDENTIAL	8'	24'	1 1/4"	6"	6"	1 1/4"	8"	4"	3'
CLASS II COMMERCIAL	24'	36'	1 1/4"	6"	12"	1 1/4"	8"	6"	30'
CLASS III HIGH VOLUME	24'	36'	1 1/2"	8"	12"	1 1/4"	12"	12"	30'

**STANDARD ASPHALTIC CONCRETE DRIVEWAY**

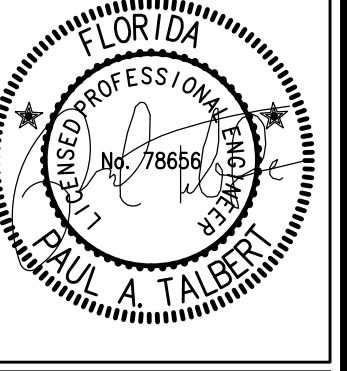


**HANDICAP SIGN DETAIL**



**STANDARD CURB TEMPLATES**

**2**  
CIVIL ENGINEERING, LLC  
9526 ARCYLE FOREST BLVD.  
JACKSONVILLE, FL 32222  
904-885-0188



CLIENT: **WYANE BISHOP**  
PROJECT ADDRESS: **OXFORD STREET HILLIARD, FLORIDA**

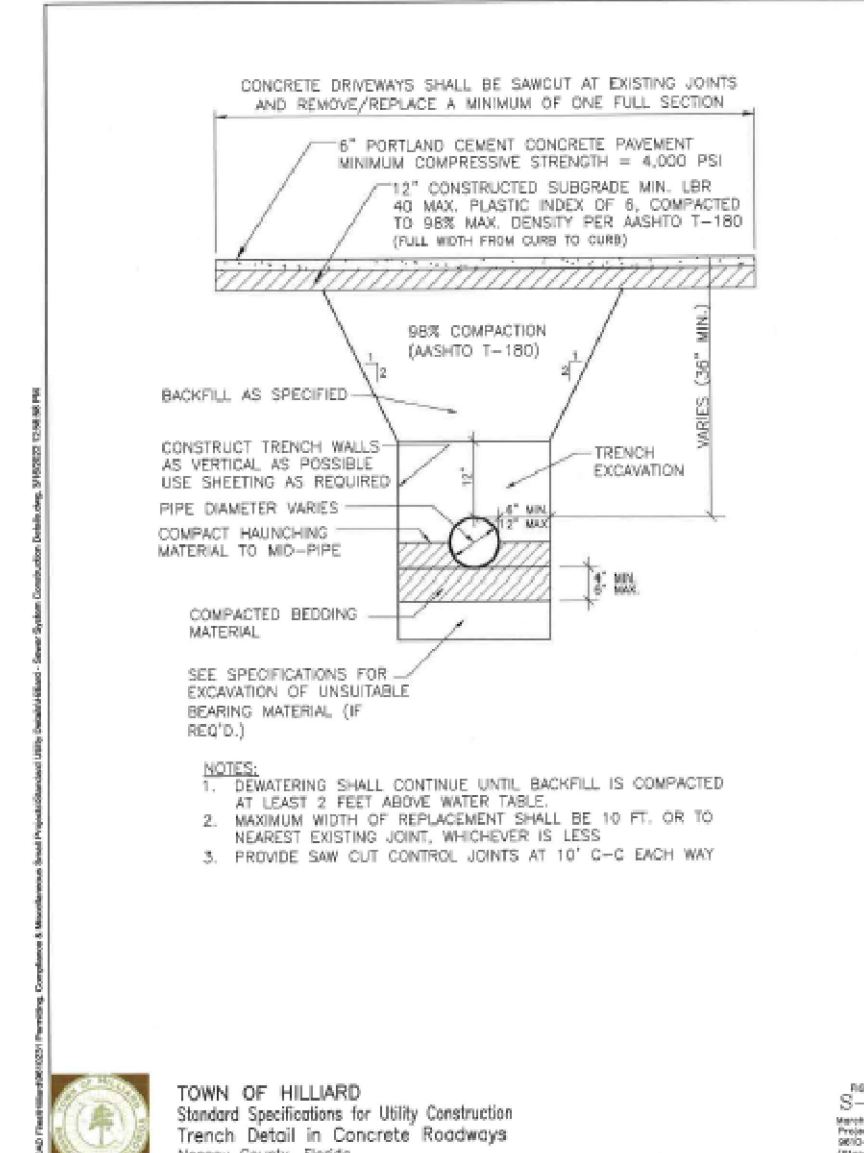
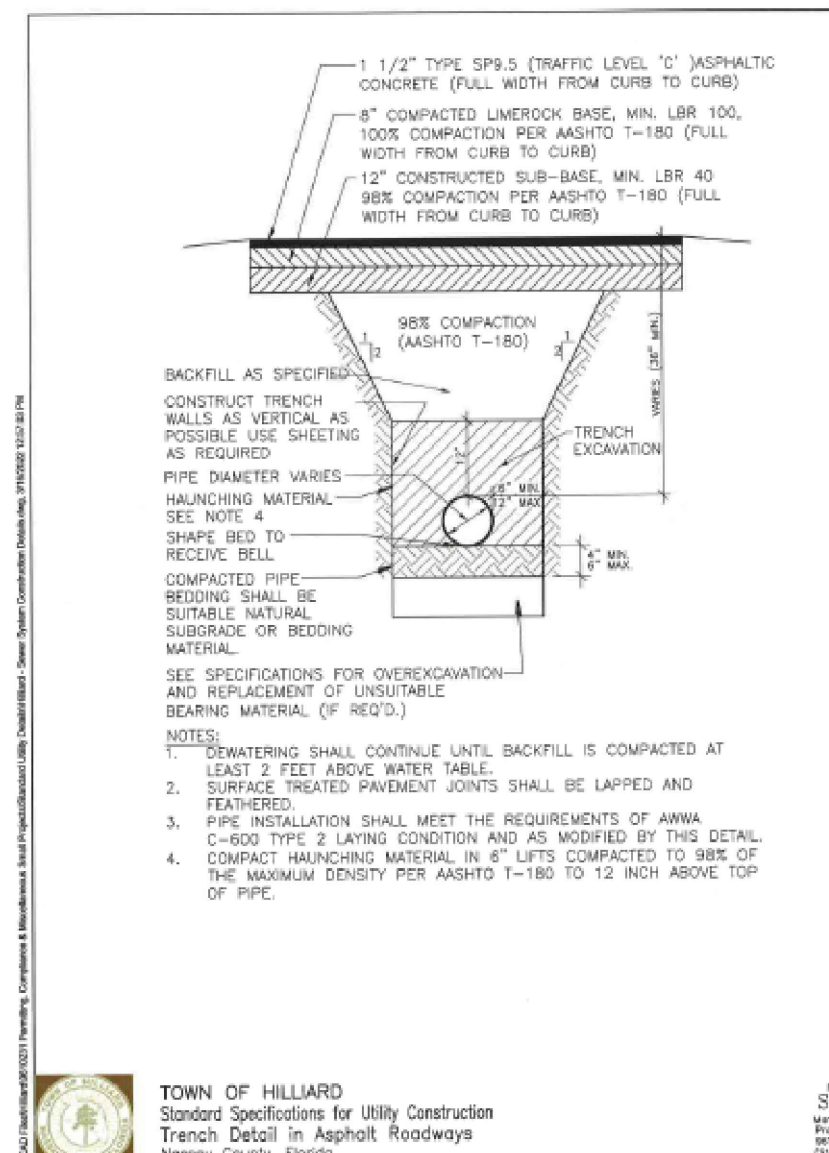
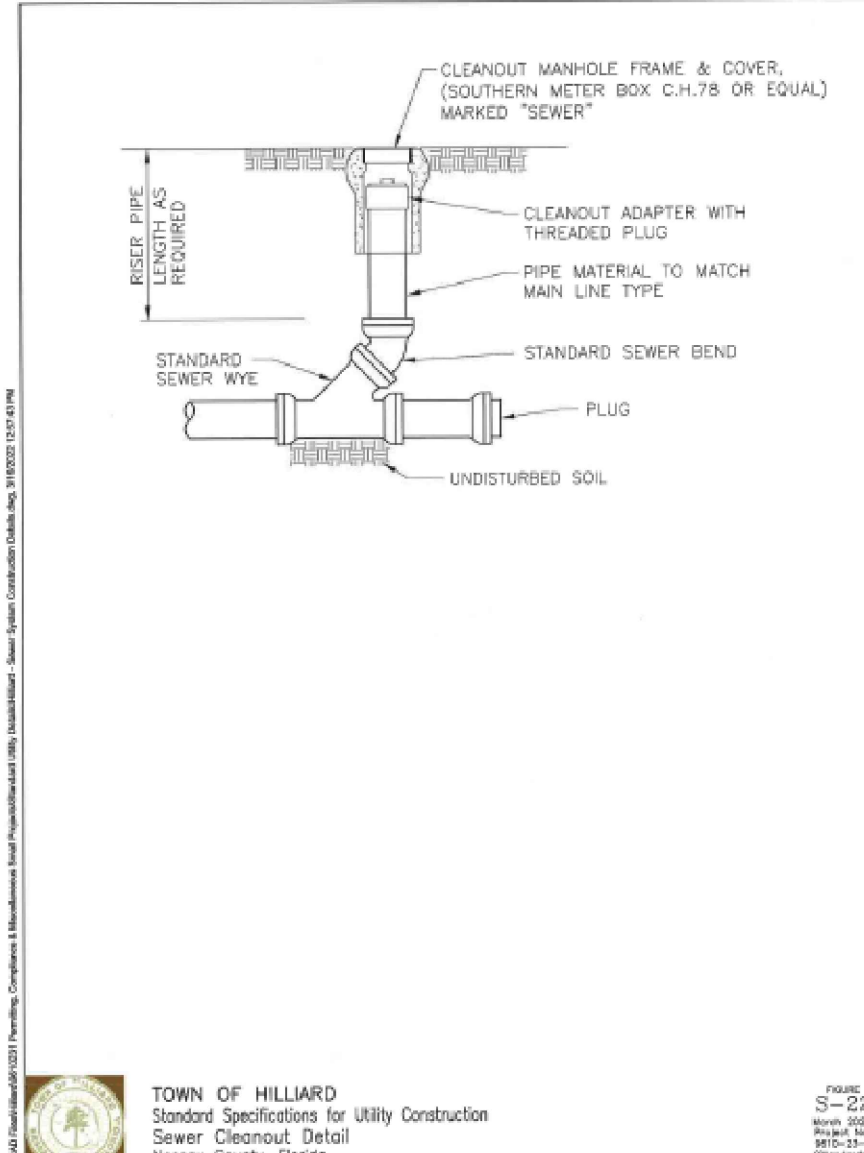
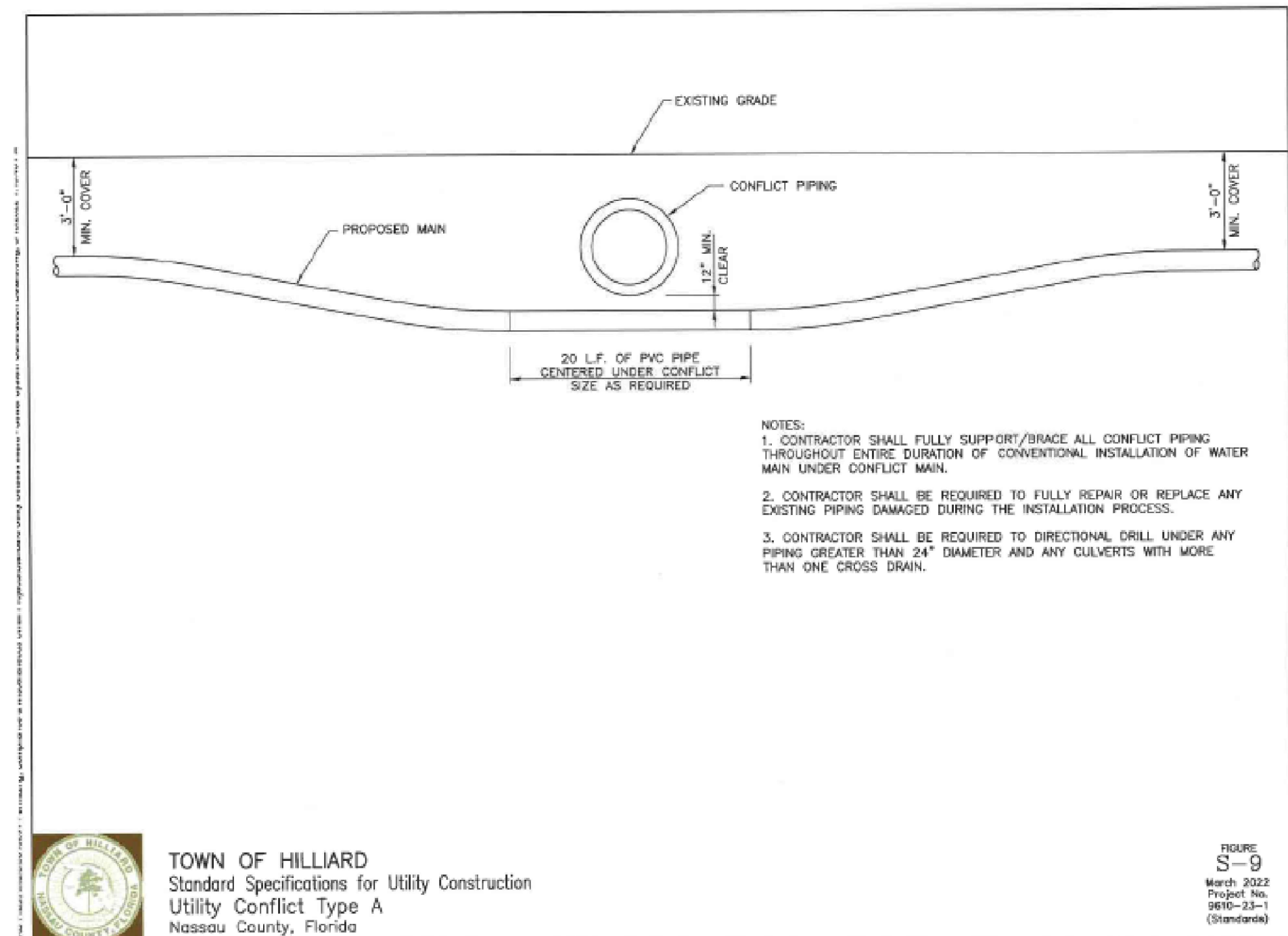
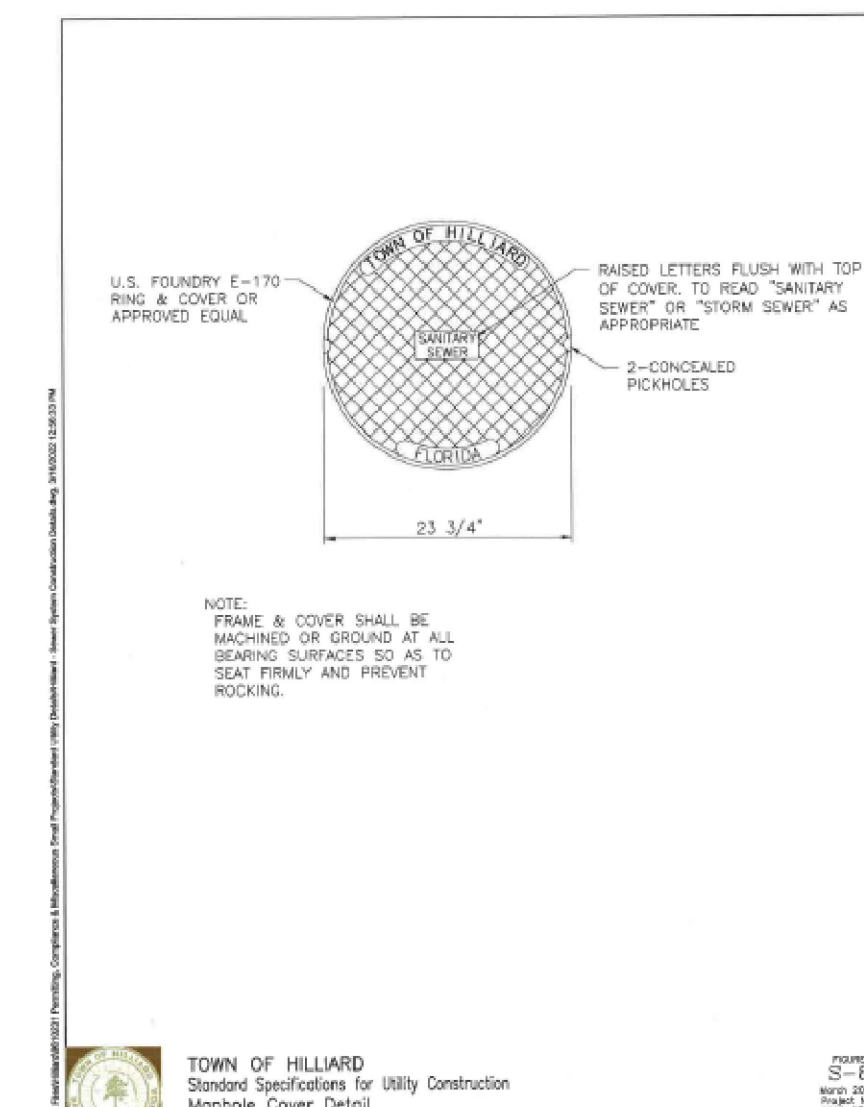
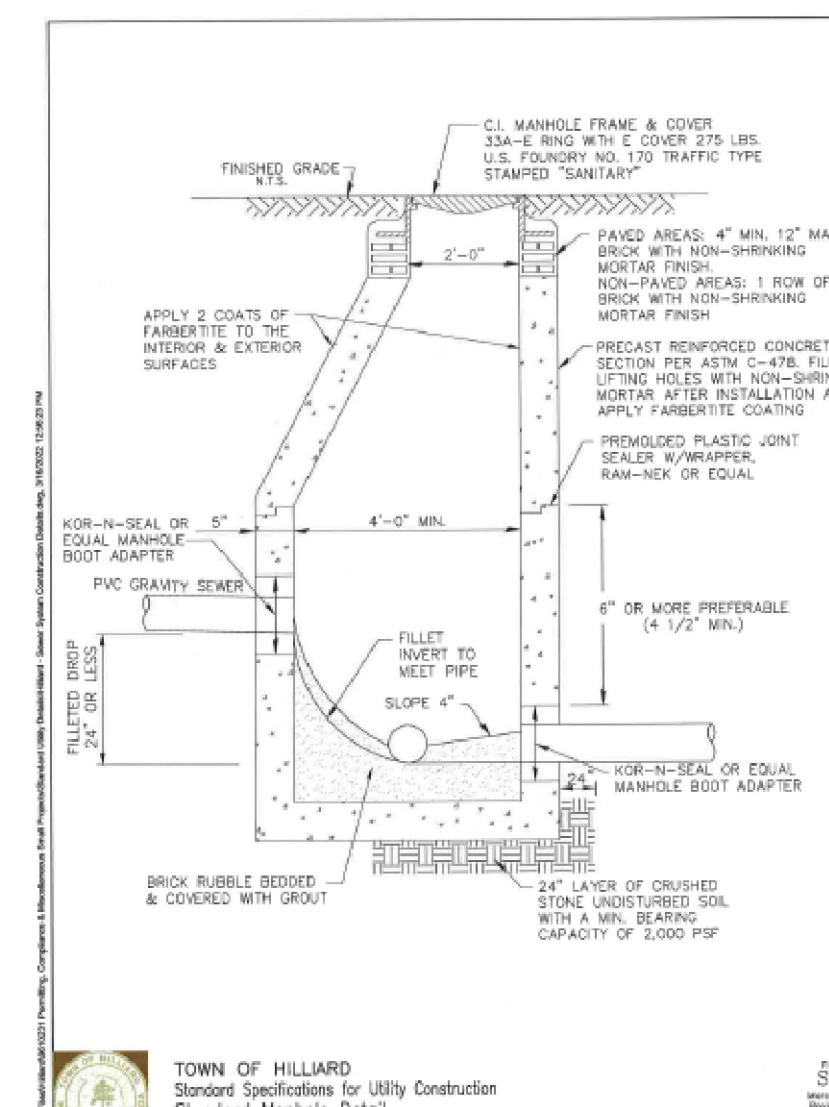
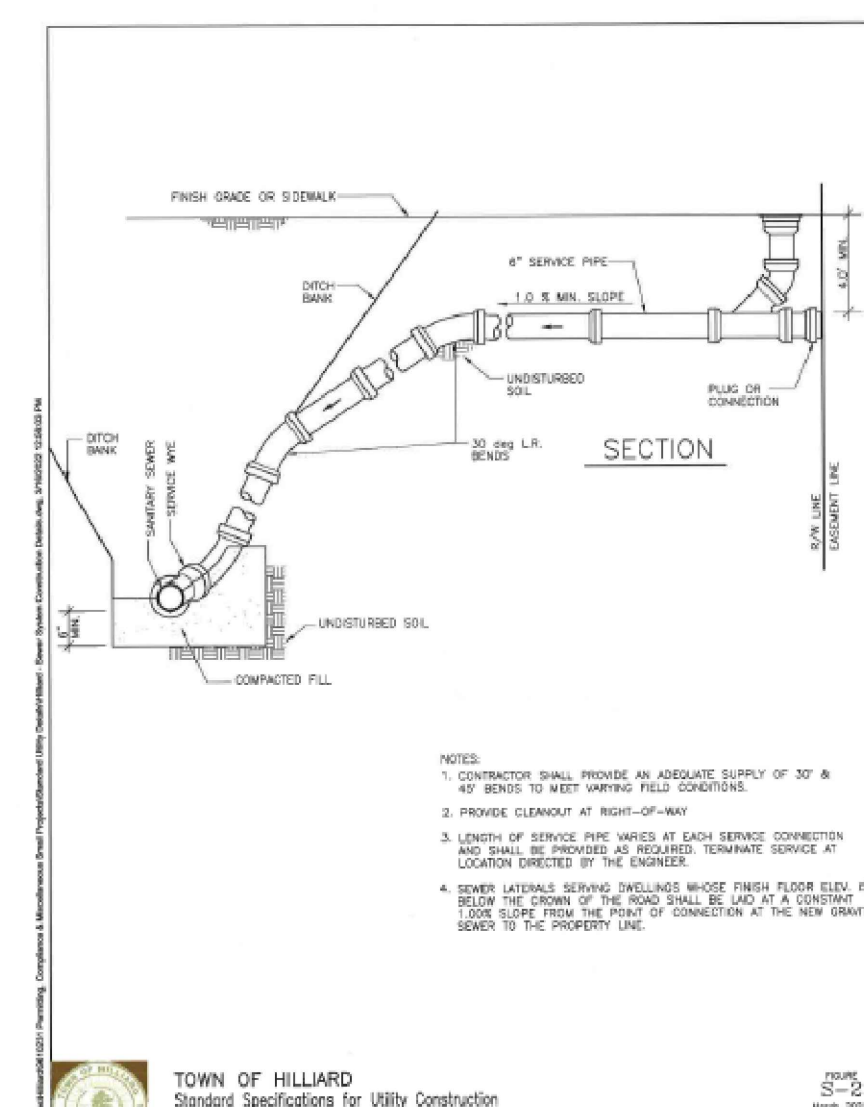
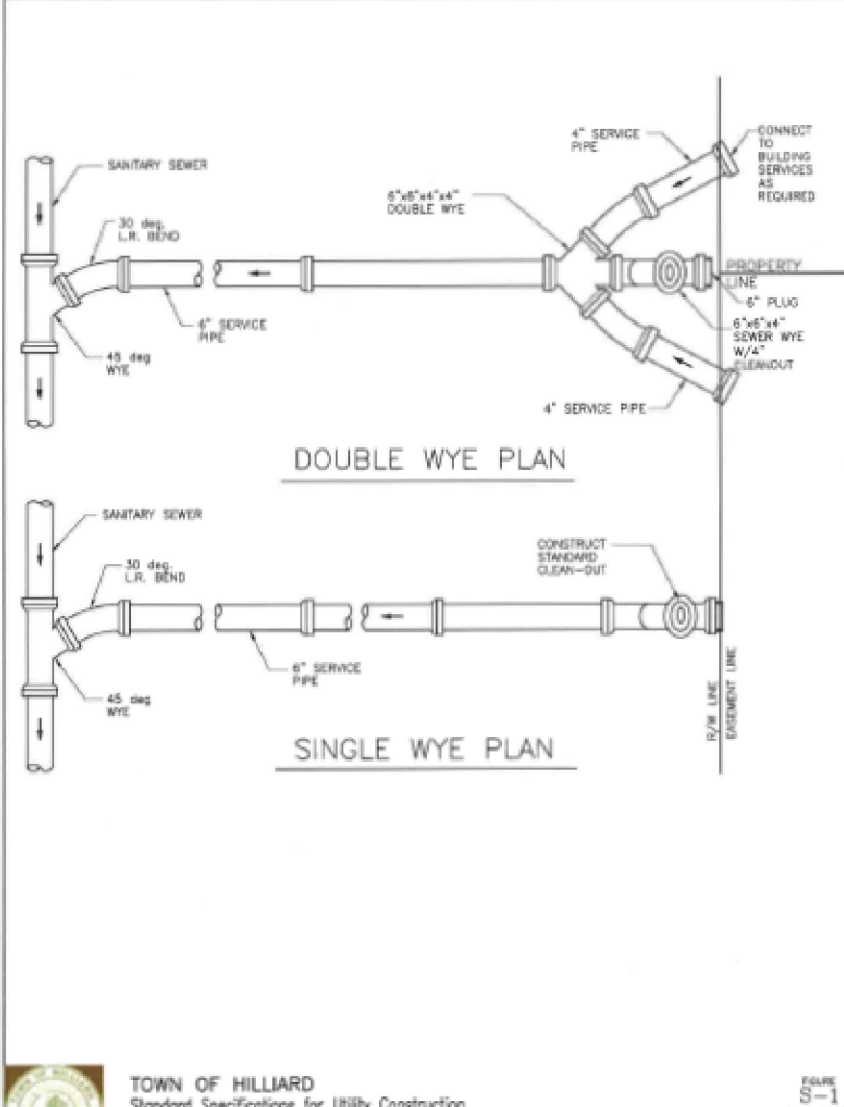
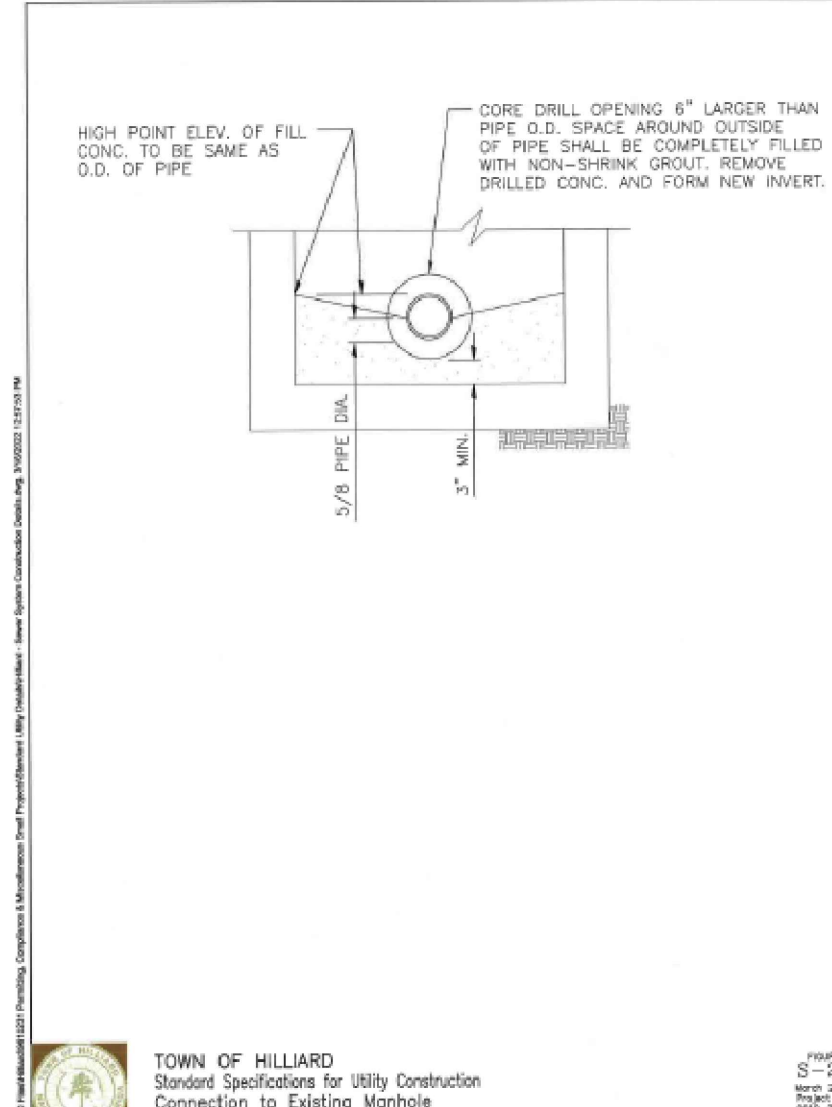
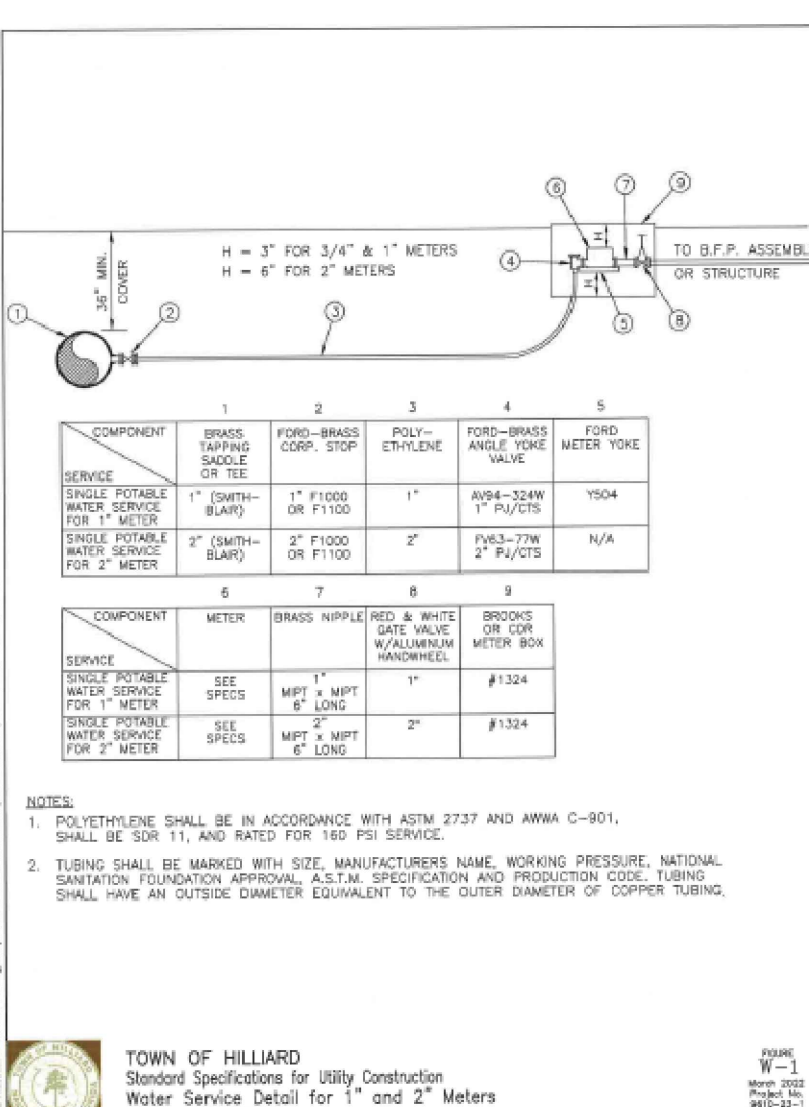
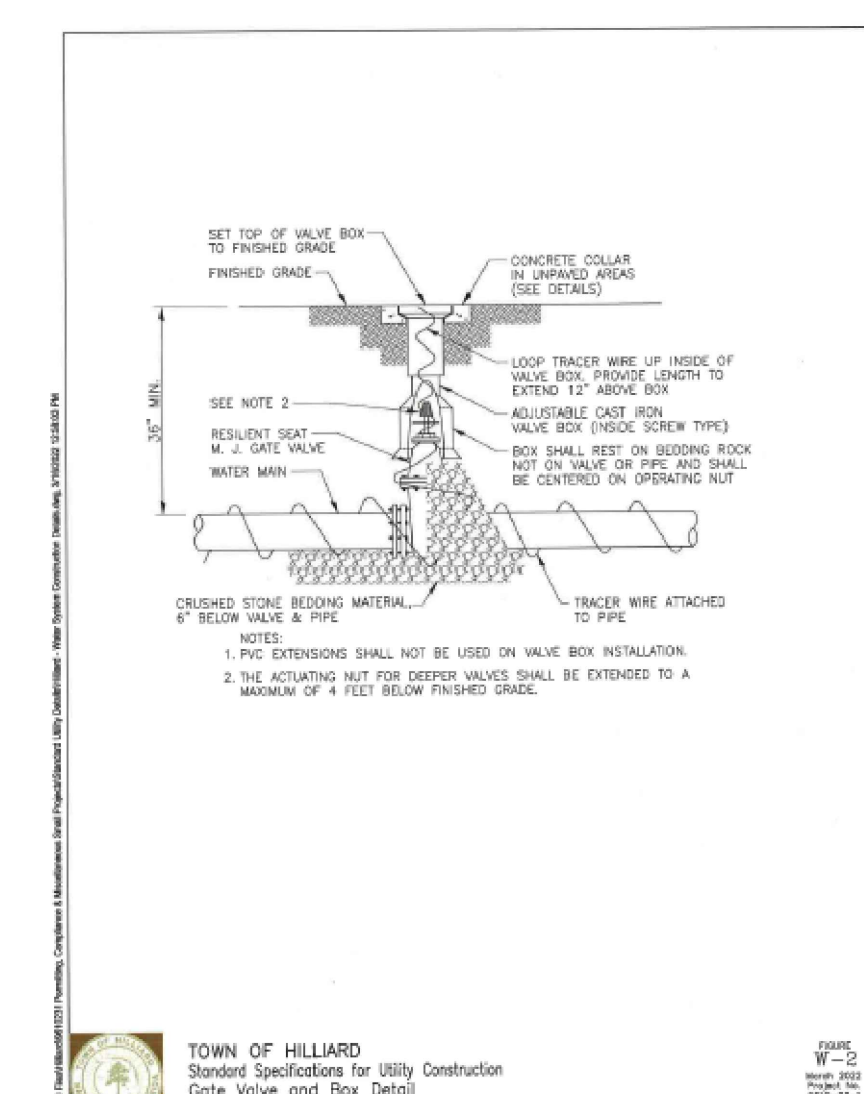
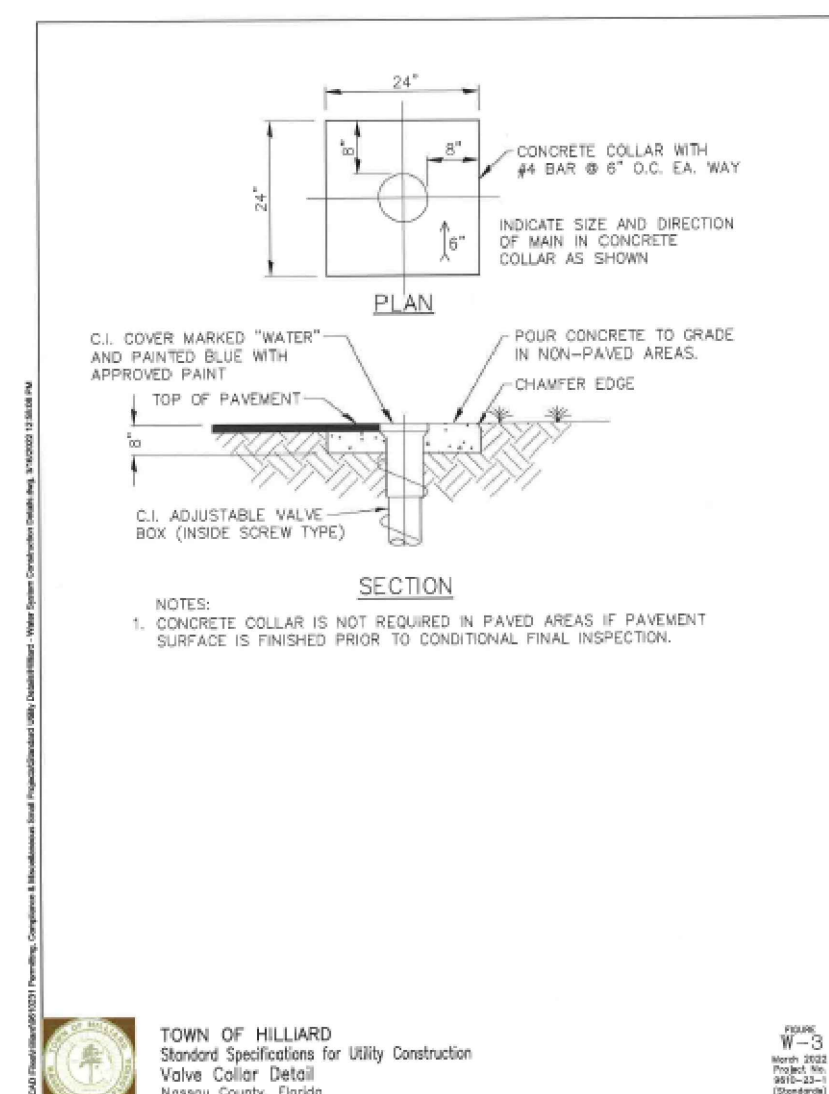
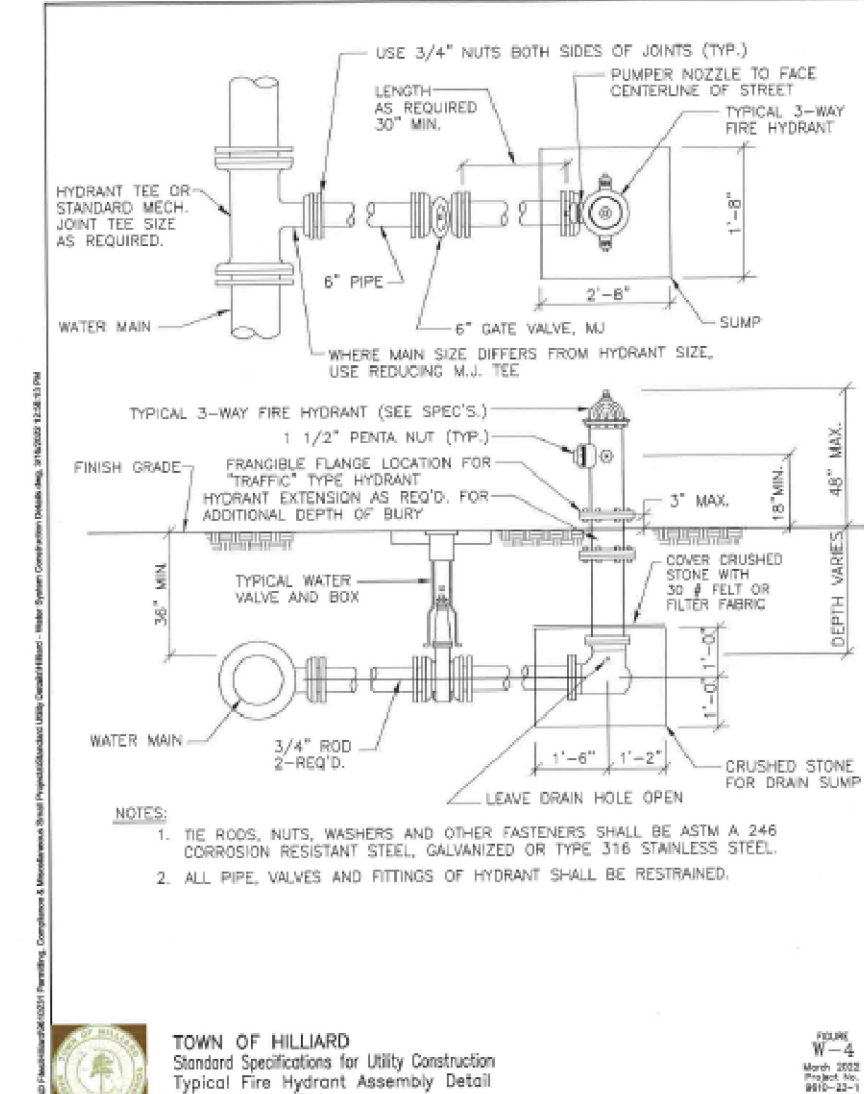
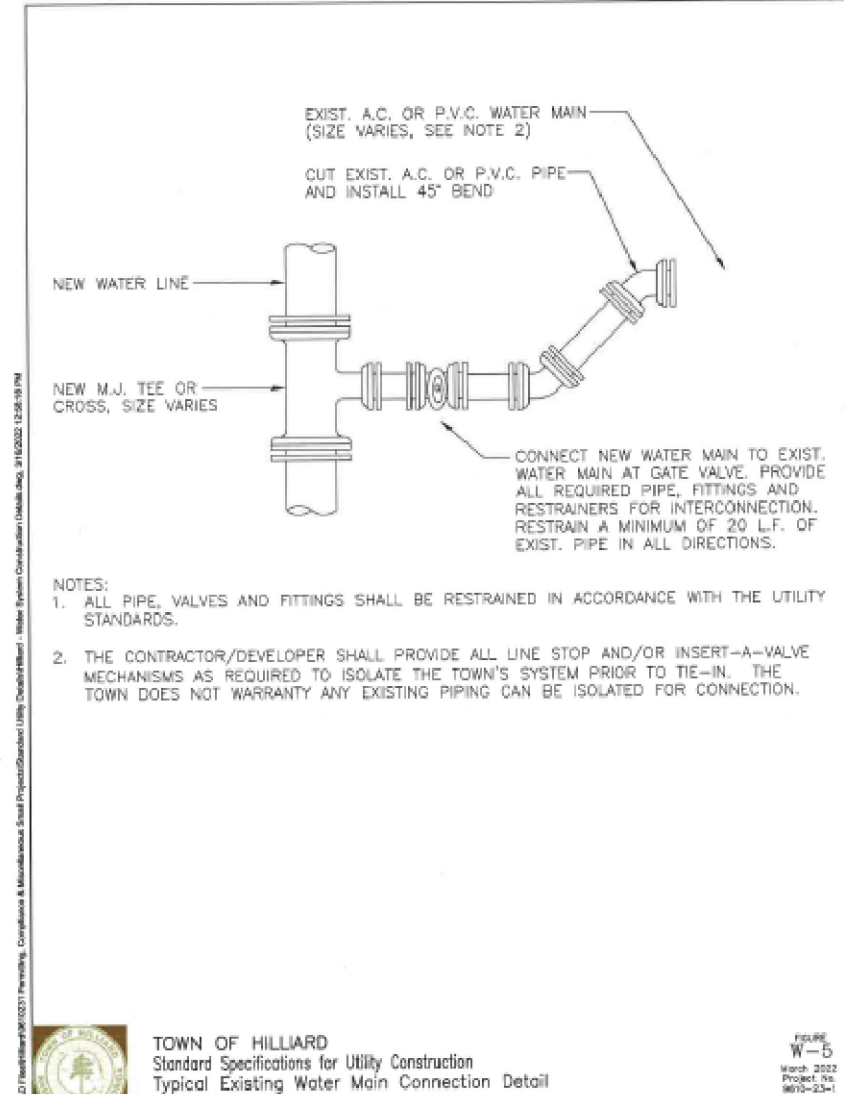
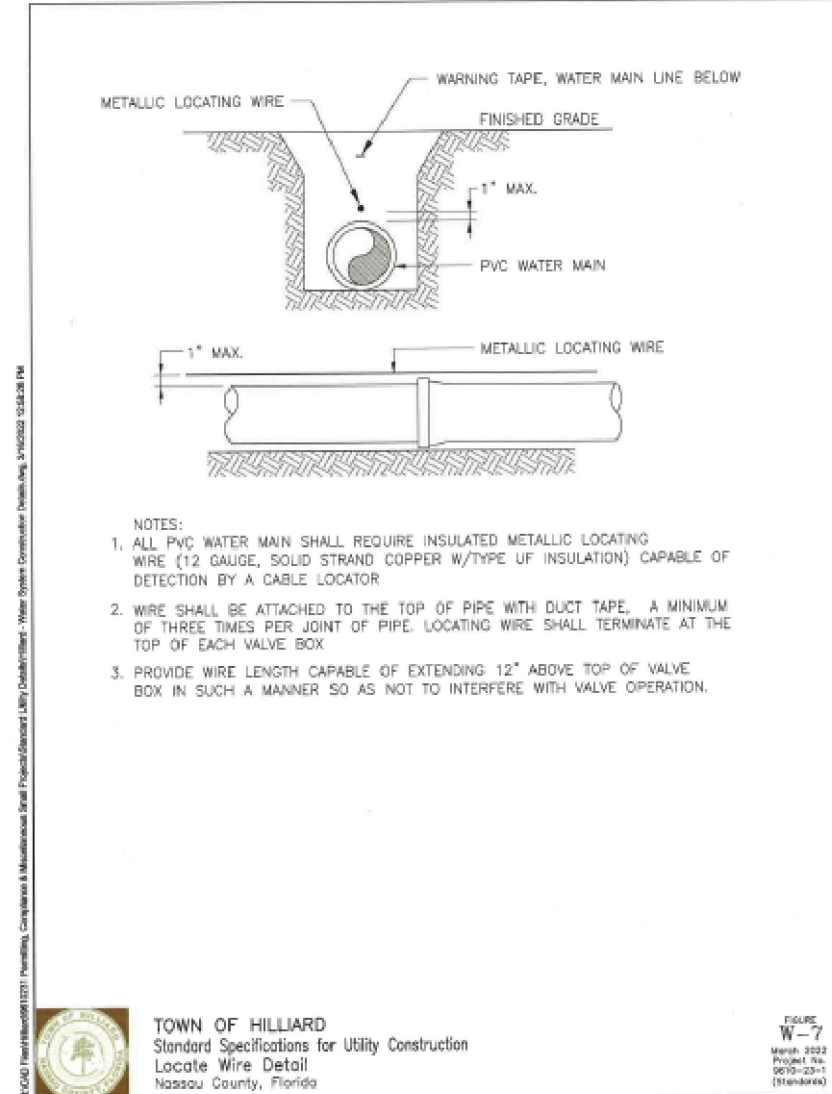
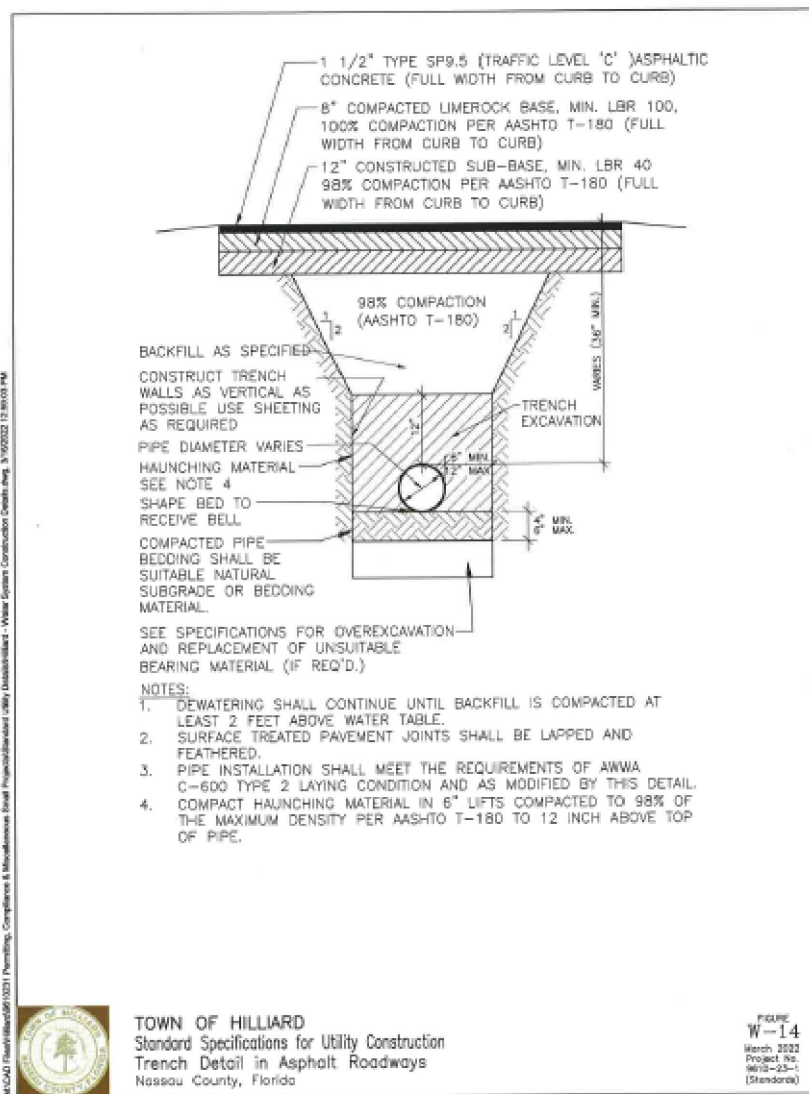
REV.	DATE	DESCRIPTION
A	03/20/2023	TOWN OF HILLIARD/SIRWMD

CLIENT: **WYANE BISHOP**  
PROJECT ADDRESS: **OXFORD STREET HILLIARD, FLORIDA**

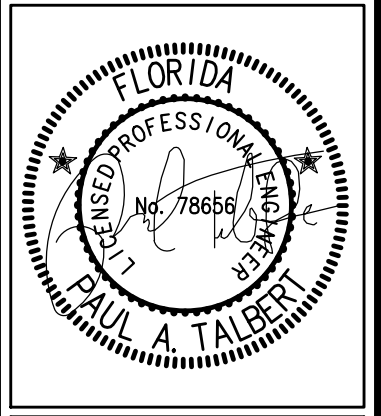
PROJECT TITLE: **OXFORD POINTE**  
SHEET TITLE: **SITE DETAILS**

DESIGN:	REVIEWED:
DRAWN:	
SCALE: AS SHOWN	DATE: 12/28/22

**C6.0**  
PROJECT NUMBER: 2022-105



**CIVIL ENGINEERING, LLC**  
9526 ARCYLE FOREST BLVD.  
JACKSONVILLE, FL 32222  
904-885-0188



CLIENT: **WYANE BISHOP**  
PROJECT ADDRESS: **OXFORD STREET, HILLIARD, FLORIDA**

NO.	DESCRIPTION	DATE
1		

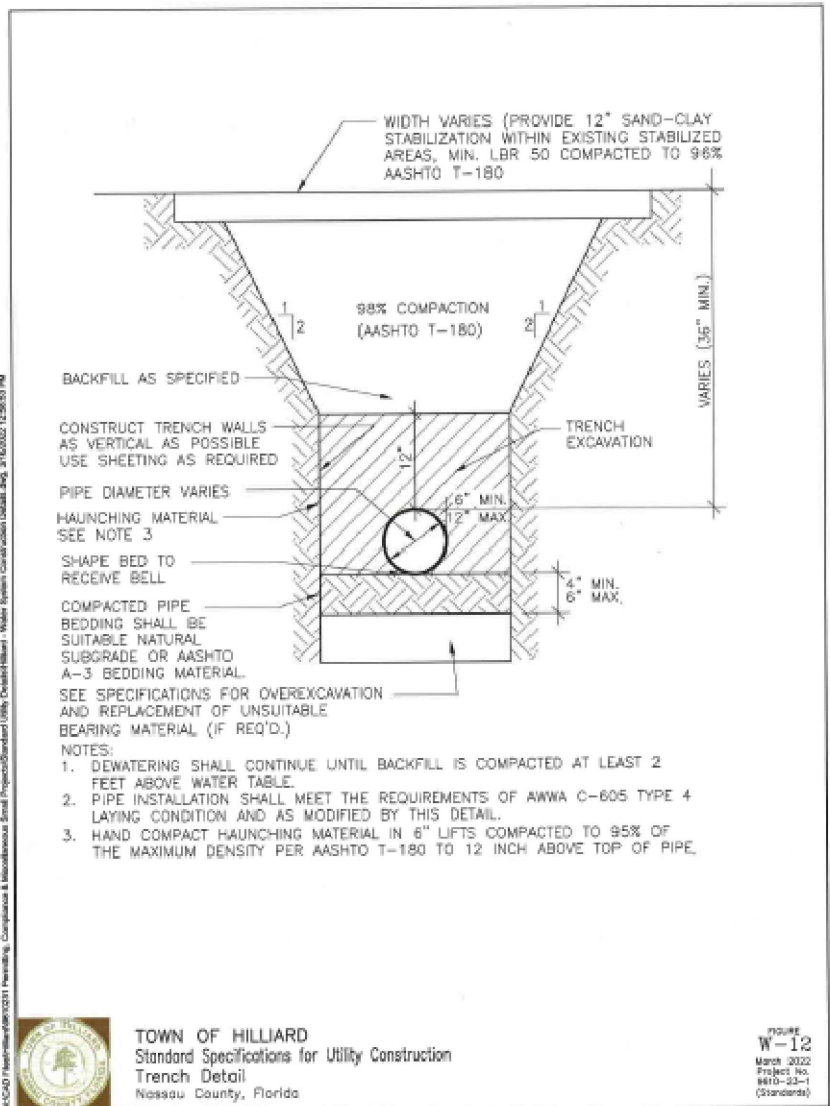
REVISIONS: 03/20/2023  
TOWN OF HILLIARD/SIRWMD

**WYANE BISHOP**  
PROJECT ADDRESS: **OXFORD STREET, HILLIARD, FLORIDA**

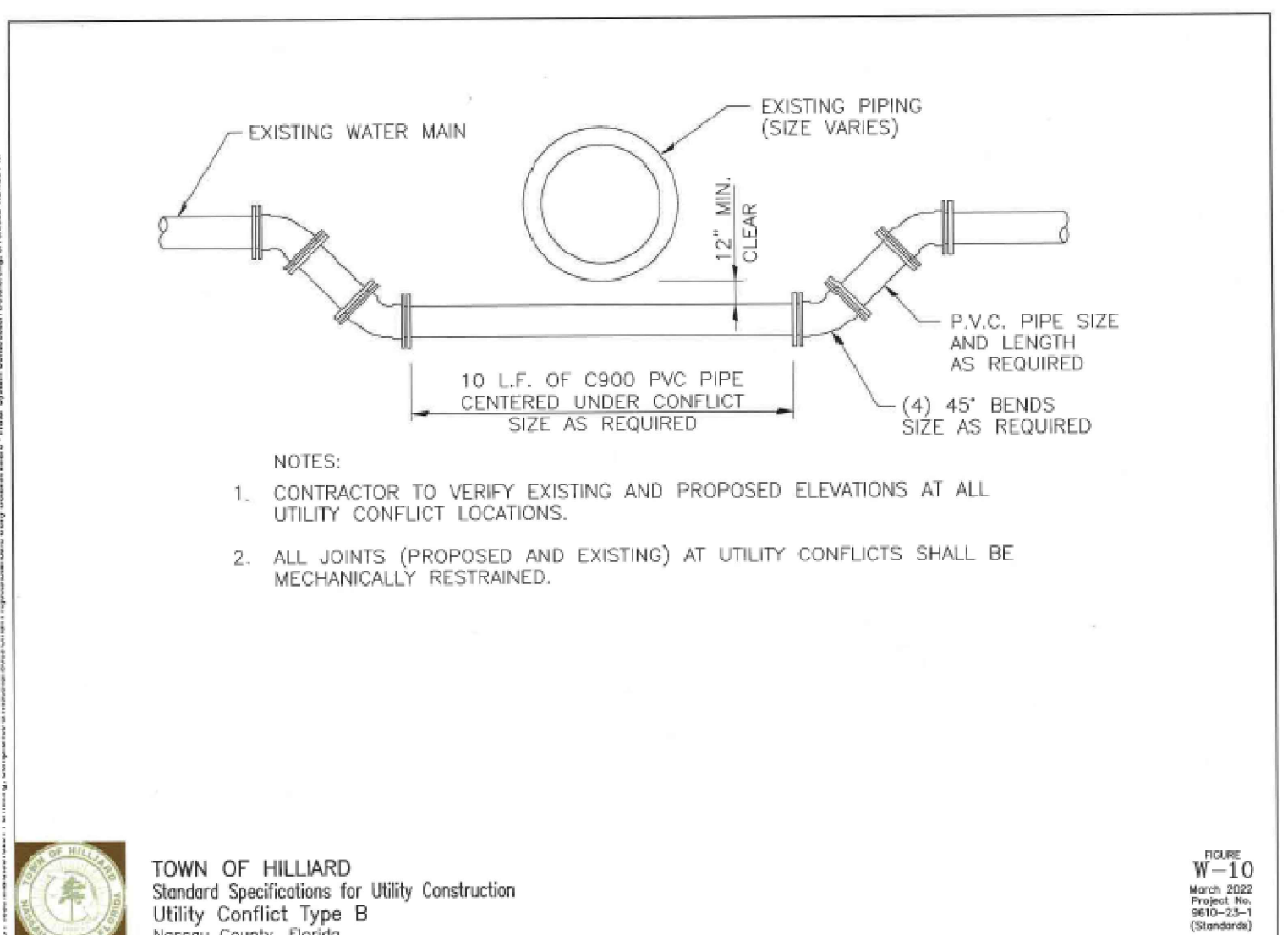
**OXFORD POINTE**  
SHEET TITLE: **WATER & SEWER DETAILS**

DESIGN:	REVIEWED:
DRAWN:	
SCALE: AS SHOWN	DATE: 12/28/22

**C6.1**  
PROJECT NUMBER: 2022-105



TOWN OF HILLIARD  
Standard Specifications for Utility Construction  
Trench Detail  
Nassau County, Florida



TOWN OF HILLIARD  
Standard Specifications for Utility Construction  
Utility Conflict Type B  
Nassau County, Florida

LENGTH (L) TO BE RESTRAINED

PIPE SIZE (IN.)	HORIZONTAL BINGS			VERTICAL OFFSETS (BENDS)			VALVES OR DEAD ENDS			TEES		
	90° (L.P.T.)	45° (L.P.T.)	22.5° (L.P.T.)	90° (L.P.T.)	45° (L.P.T.)	22.5° (L.P.T.)	90° (L.P.T.)	45° (L.P.T.)	22.5° (L.P.T.)	REDUCING	BRANCH	VALVE
4	21	9	5	3	17	3	47	154	38	4	4	F.O.
6	30	13	6	3	23	4	66	204	52	5	5	F.O.
8	38	16	8	4	30	6	86	268	70	6	6	F.O.
10	45	19	9	5	36	7	103	328	83	7	7	F.O.
12	53	22	11	6	43	8	121	394	96	8	8	F.O.
14	61	26	13	7	50	9	140	464	108	9	9	F.O.
16	68	28	14	7	55	10	154	538	120	10	10	F.O.
18	73	30	15	8	60	11	170	616	132	11	11	F.O.
20	79	33	16	8	66	12	186	698	144	12	12	F.O.
24	79	33	16	8	77	13	195	810	156	13	13	F.O.
30	93	39	19	10	97	17	222	966	180	15	15	F.O.
36	106	39	21	11	107	20	257	1116	192	16	16	F.O.
42	117	40	24	12	120	24	289	1278	216	18	18	F.O.
48	144	53	26	13	133	28	321	1440	240	20	20	F.O.

(SEE PLATE NO. 303 & 304 FOR ADDITIONAL DETAILS)

F.O. = FITTING ONLY

- PVC PIPE RESTRAINT NOTES:
- THIS SCHEDULE SHALL BE UTILIZED ON ALL WATER SEWER FORCE MAIN OR RECLAIMED WATER SYSTEMS. ALL FITTINGS SHALL BE RESTRAINED TO LENGTHS INDICATED ON THE ABOVE SCHEDULE. AT A MINIMUM.
  - ASSUMPTIONS: PVC PIPE, SAFETY FACTOR=1.5, TEST PRESSURE=100PSI, SOIL=GM COHESIVE. TRENCH TYPE: 1. DEPTH OF COVER=30 INCHES FOR 24" AND SMALLER PIPE SIZE OR 36 INCHES FOR 30" AND LARGER PIPE SIZE.
  - BENDS AND VALVES SHALL BE RESTRAINED ON EACH SIDE OF FITTING.
  - VERTICAL OFFSETS: ARE APPROX. 3 FEET COVER ON TOP AND APPROX. 8 FEET COVER ON BOTTOM. PER THE DETAIL, L IS THE RESTRAINED LENGTH FOR THE UPPER (TOP) LEVEL. L2 IS THE RESTRAINED LENGTH FOR THE LOWER (DEEPER) LEVEL. ASHORE IS DEGREE BENDS.
  - TEES: TOTAL LENGTH BETWEEN FIRST JOINTS OR RESTRAINED LENGTH ON EITHER SIDE OF THE MAIN SHALL BE A TOTAL DISTANCE OF 30 FEET MIN. SEE SCHEDULE ABOVE FOR RESTRAINED LENGTH ON THE "BRANCH" LINE.
  - HOPE TO PVC TRANSITIONS: THE PVC PIPE SIZE SHALL BE RESTRAINED 35 FT (MIN).
  - THE INSTALLATION OF BELL END RESTRAINTS AT PVC JOINTS (DR-18 & 20) PIPE INCLUDES NOT OVERTIGHTENING THE PARALLEL ROD NUTS. THESE NUTS SHOULD ONLY BE TIGHTENED TO THE MANUFACTURER'S RECOMMENDATION. TORQUE AFTER THE RESTRAINT IS INSTALLED. OVERTIGHTENING THE JOINT MAY CAUSE A FAILURE AT THE BELL. THIS IS IN A SERVICE OUTING.

PVC PIPE RESTRAINT JOINT SCHEDULE

HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS

CONFLICTING UTILITY	PROPOSED UTILITY											
	POTABLE WATER		WASTEWATER GRAVITY AND FORCE MAIN		RECLAIMED WATER		VACUUM SEWERS		STORM SEWERS		GAS	
	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.
POTABLE WATER	3'	12"	6' to 10'	12"	3'	12"	3'	10'	3'	12"	3'	12"
RECLAIMED WATER	3'	12"	6' to 10'	12"	3'	12"	3'	10'	3'	12"	3'	12"
WASTEWATER (GRAVITY AND FORCE MAIN)	6' to 10'	12"	6' to 10'	12"	3'	12"	3'	10'	3'	12"	3'	12"
VACUUM SEWERS	3' to 10'	12"	6' to 10'	12"	3'	12"	3'	10'	3'	12"	3'	12"
RIGHT OF WAYS	3'	N/A	3'	N/A	3'	N/A	3'	N/A	3'	N/A	3'	N/A
PERMANENT STRUCTURES (BUILDINGS, SIGNS, POLES, ETC.)	SEE NOTE 7	N/A	SEE NOTE 7	N/A	SEE NOTE 7	N/A	SEE NOTE 7	N/A	SEE NOTE 7	N/A	SEE NOTE 7	N/A
STORM SEWERS	3'	12"	6' to 10'	12"	3'	12"	3'	10'	3'	12"	3'	12"
GAS	3'	12"	6' to 10'	12"	3'	12"	3'	10'	3'	12"	3'	12"
TREES	3'-4'	NOTE 6	N/A	NOTE 6	N/A	NOTE 6	N/A	NOTE 6	N/A	NOTE 6	N/A	NOTE 6
ALL OTHER UTILITIES	3'	12"	6' to 10'	12"	3'	12"	3'	10'	3'	12"	3'	12"

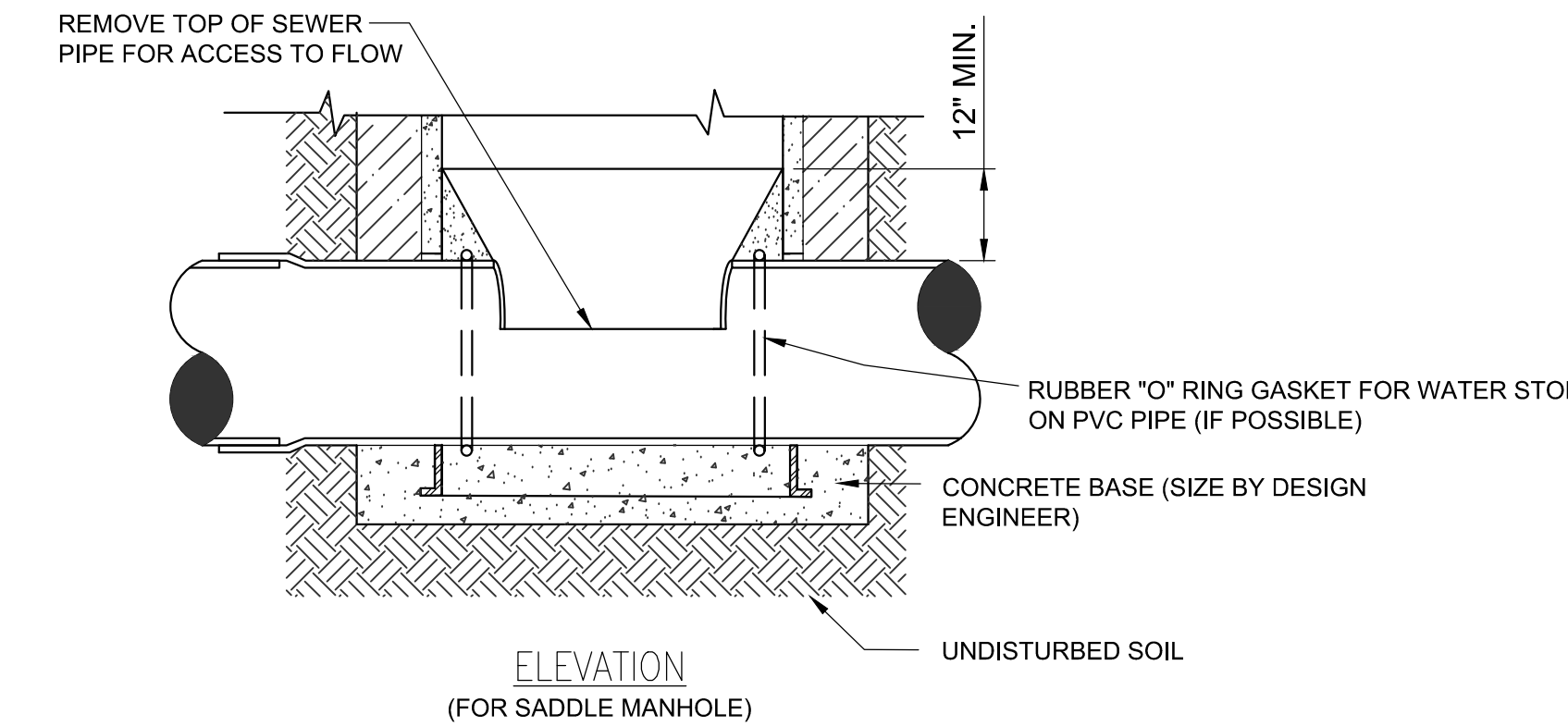
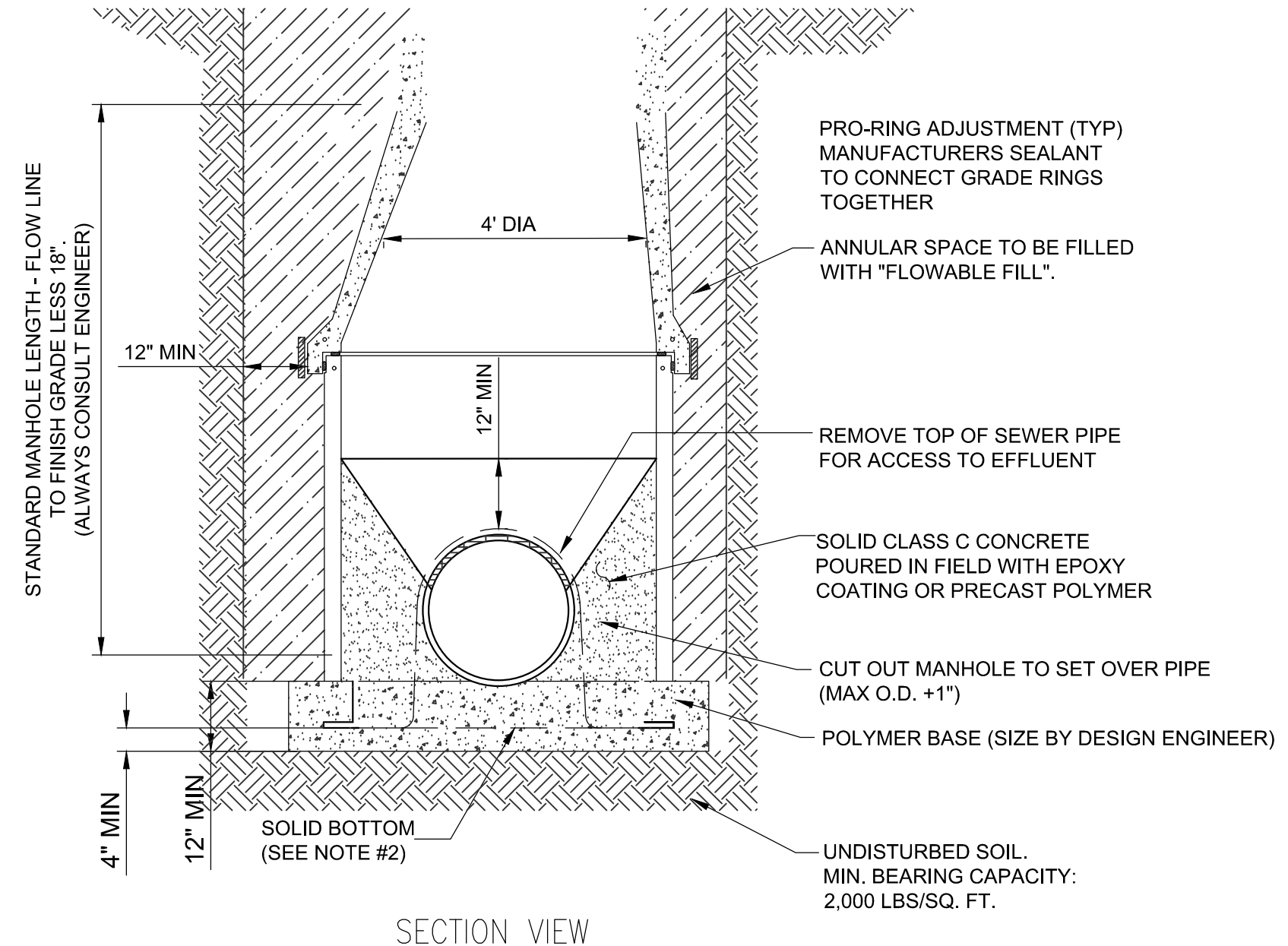
NOTES:

- THIS SEPARATION REQUIREMENT IS TO PROVIDE ACCESSIBILITY FOR CONSTRUCTION AND MAINTENANCE. THREE FEET OF HORIZONTAL SEPARATION IS THE MINIMUM FOR PIPES WITH THREE FEET OF COVER. FOR PIPES INSTALLED AT GREATER DEPTH, PROVIDE AN ADDITIONAL FOOT OF SEPARATION FOR EACH ADDITIONAL FOOT OF DEPTH.
- THE MINIMUM JOINT SPACING REQUIRED: FROM CROSSING FROM OTHER UTILITIES WHILE STILL MAINTAINING MINIMUM VERTICAL SEPARATION.
- DISTANCES GIVEN ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
- NO WATER PIPE SHALL PASS THROUGH OR COME INTO CONTACT WITH ANY PART OF SANITARY OR STORM WATER MANHOLE OR STRUCTURES.
- WATER MAIN SHOULD CROSS ABOVE OTHER PIPES WHENEVER POSSIBLE. WHEN WATER MAIN MUST BE BELOW OTHER UTILITY PIPING, THE MINIMUM SEPARATION SHALL BE 12 INCHES.
- REFER TO POTABLE WATER PIPING-SECTION 350.1B.4.11.
- SEE SECTION 350.1B.4.10 FOR MINIMUM SEPARATION REQUIREMENTS FROM PIPE TO STRUCTURES.

SEPARATION REQUIREMENTS FOR WATER, WASTEWATER AND RECLAIMED WATER MAINS

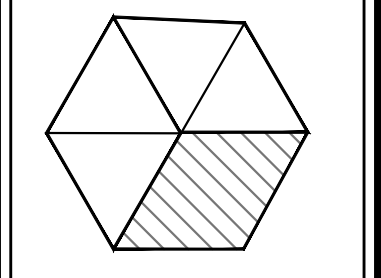
- UNDERGROUND AND NON-WATER MAIN SEPARATION REQUIREMENTS - NOTES:
- IT IS REQUIRED THAT "WATER MAINS" BE INSTALLED, CLEANED, DEMONSTRATED AND HAVE A SATISFACTORY BACTERIOLOGICAL SURVEY PERFORMED IN ACCORDANCE WITH THE LATEST APPLICABLE APWA STANDARDS, CHAPTER 6200, F.A.C. AND LATEST TYPICAL WATER AND SEWER STANDARDS. FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATER MAINS" SHALL MEAN MAINS INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER, FIRE PROTECTIVE LEADS AND SERVICE LINES THAT HAVE AN INSIDE DIAMETER OF THREE (3) INCHES OR GREATER. IN ADDITION, THE PHRASE "RECLAIMED WATER" REFERS TO THE WATER REGULATED UNDER PART #8 OF CHAPTER 62410, F.A.C.
  - NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAD TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE (3) FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER.
  - NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAD TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX (6) FEET AND PREFERABLY TEN (10) FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS MAY BE REDUCED TO THREE (3) FEET WHERE THE BOTTOM OF THE WATER MAIN IS AT LEAST SIX (6) INCHES ABOVE THE TOP OF THE SEWER (SPECIAL CASE).
  - NEW OR RELOCATED UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAD TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX (6) INCHES AND PREFERABLY TEN (10) FEET FROM THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
  - NEW OR RELOCATED UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAD TO THE OUTSIDE OF THE WATER MAIN IS AT LEAST TWELVE (12) INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
  - AT THE UTILITY CROSSINGS DESCRIBED IN NOTES 4 AND 5 ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE TRENCH SHALL BE ARRANGED SO THAT THE WATER MAIN JOINTS ARE AT LEAST THREE (3) FEET FROM ALL JOINTS IN INCLUDING THE SANITARY SEWERS, STORMWATER FORCE MAIN, OR PIPELINES CONVEYING RECLAIMED WATER, AND AT LEAST SIX (6) FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER.
  - NEW OR RELOCATED FIRE HYDRANTS SHALL BE LOCATED SO THAT THE HYDRANTS ARE AT LEAST THREE (3) FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER, AT LEAST THREE (3) FEET AND PREFERABLY TEN (10) FEET FROM ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER OR WASTEWATER FORCE MAIN.
  - WHERE AN UNDERGROUND WATER MAIN IS BEING LAD LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WATER MAINS ARE CROSSING AND THE PIPELINE AND WATER MAIN ARE BEING LAD TO THE OUTSIDE OF THE WATER MAIN, THE MINIMUM HORIZONTAL DISTANCE FROM JOINTS TO OTHER PIPELINE AND JOINTS TO OTHER PIPELINE SHALL BE MAINTAINED FROM JOINTS TO OTHER PIPELINE. THE CONTRACTOR SHALL CONSULT WITH THE DESIGN ENGINEER TO OBTAIN APPROVAL OF ANY ALTERNATIVE CONSTRUCTION METHODS PRIOR TO CONSTRUCTION.

NOTES ON UTILITY SEPARATION REQUIREMENTS



- NOTES:
- TO BE USED IN LIMITED SCENARIOS WITH SPECIAL APPROVAL FROM TOWN OF HILLIARD.
  - A STANDARD TYPE "A" MANHOLE SHALL INCLUDE A SOLID BOTTOM WITH 3" HOLD DOWN FLANGE.
  - CONCRETE BASE TO BE SIZE BY ENGINEER. THE MINIMUM SIZE IS SHOWN ABOVE.

CIVIL ENGINEERING, LLC  
9525 ARCYLE FOREST BLVD.  
UNIT B2 #456  
JACKSONVILLE, FL 32222  
904-885-0188



TOWN OF HILLIARD  
03/20/2023

REV.	DESCRIPTION	DATE
A		

CLIENT: WYANE BISHOP  
PROJECT ADDRESS: OXFORD STREET, HILLIARD, FLORIDA

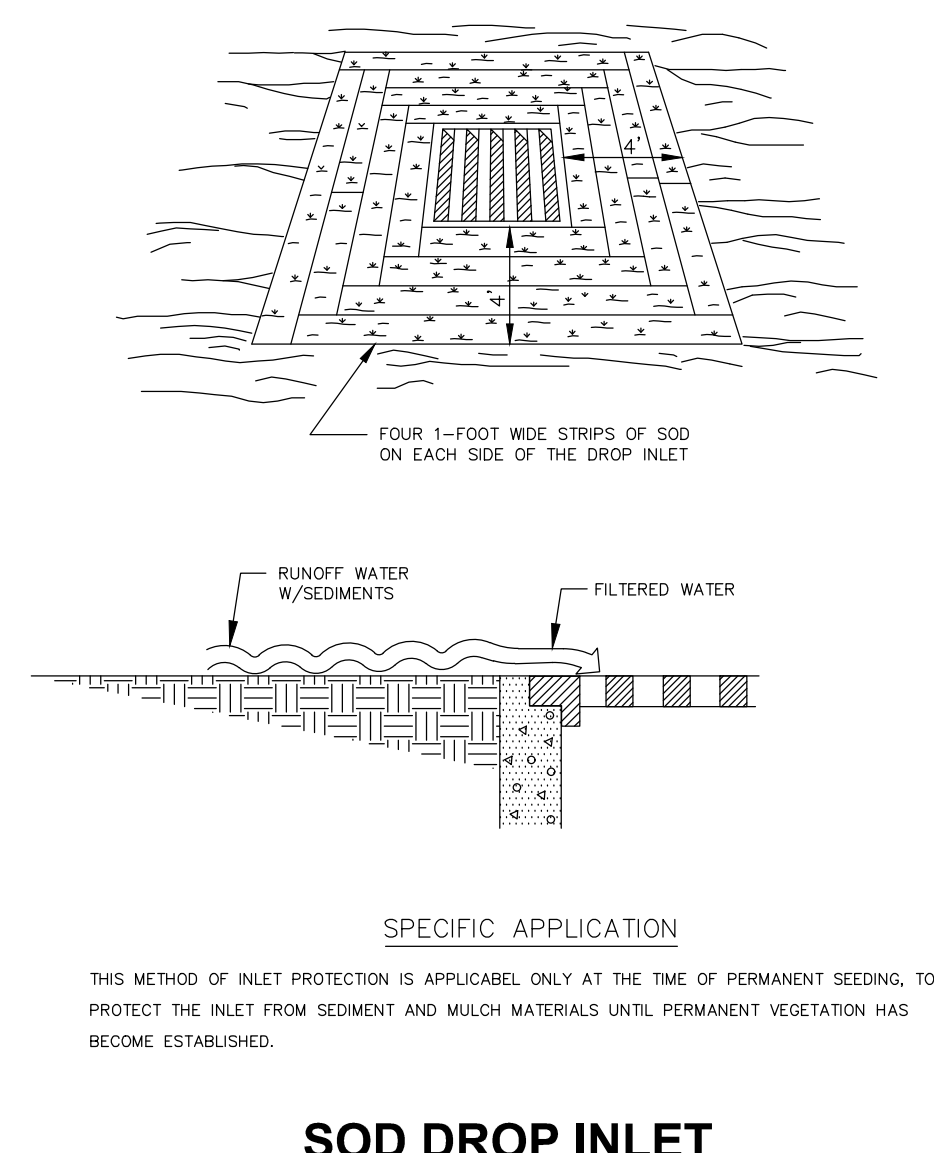
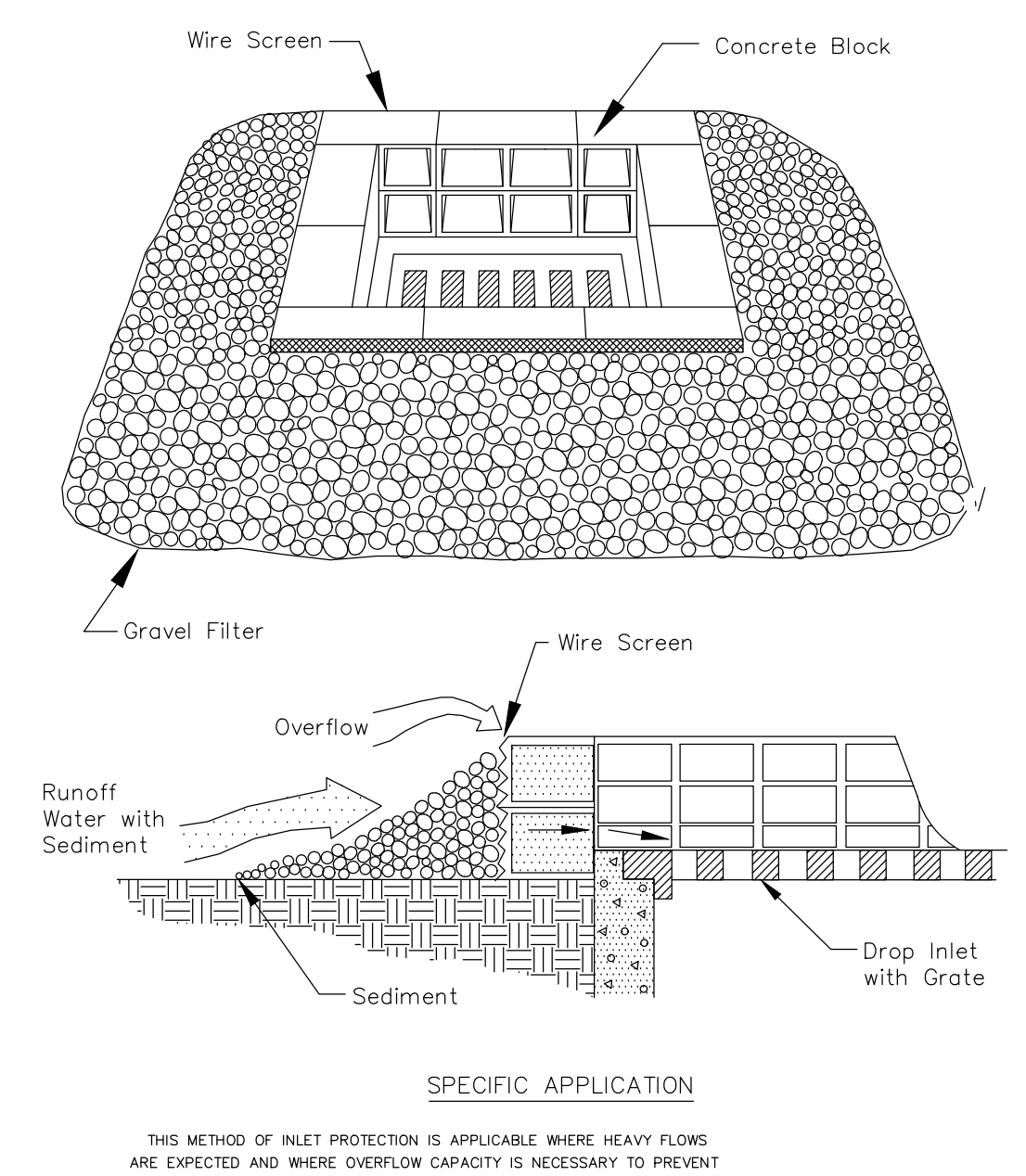
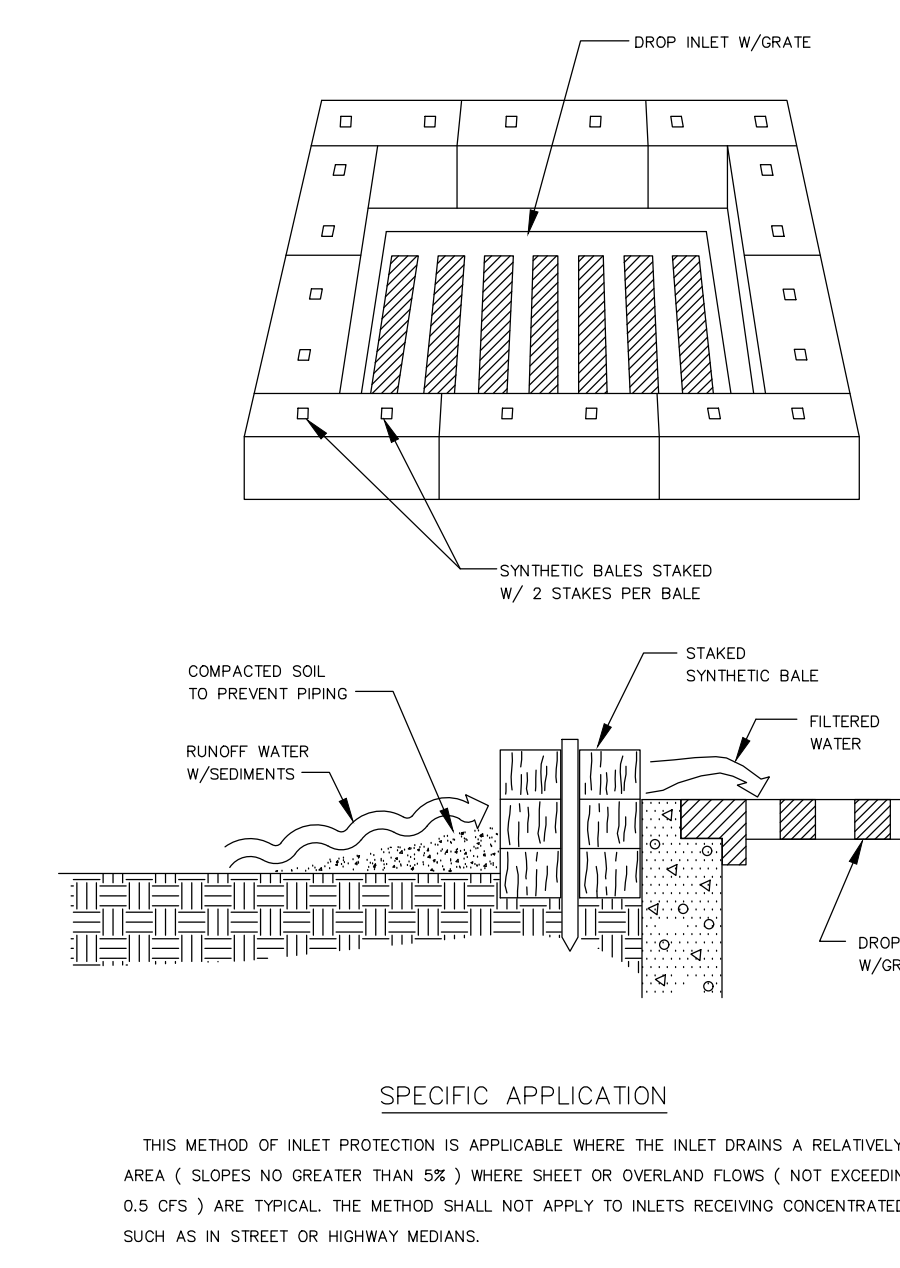
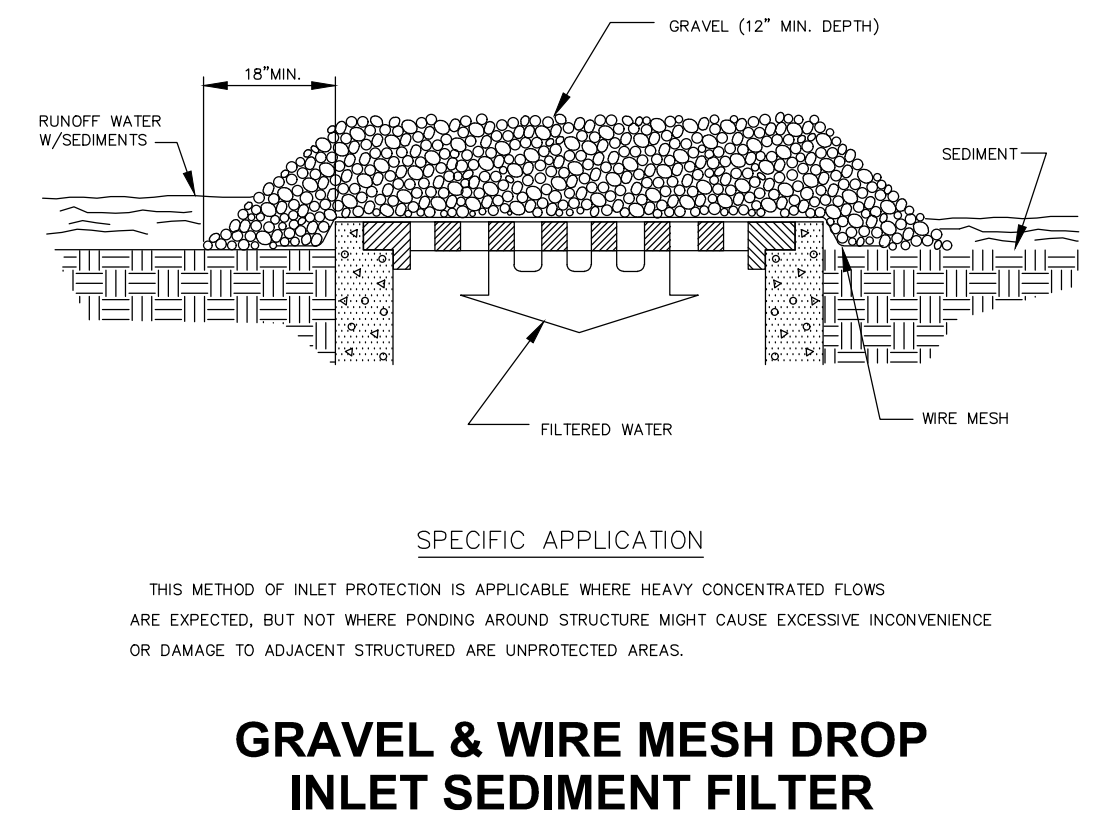
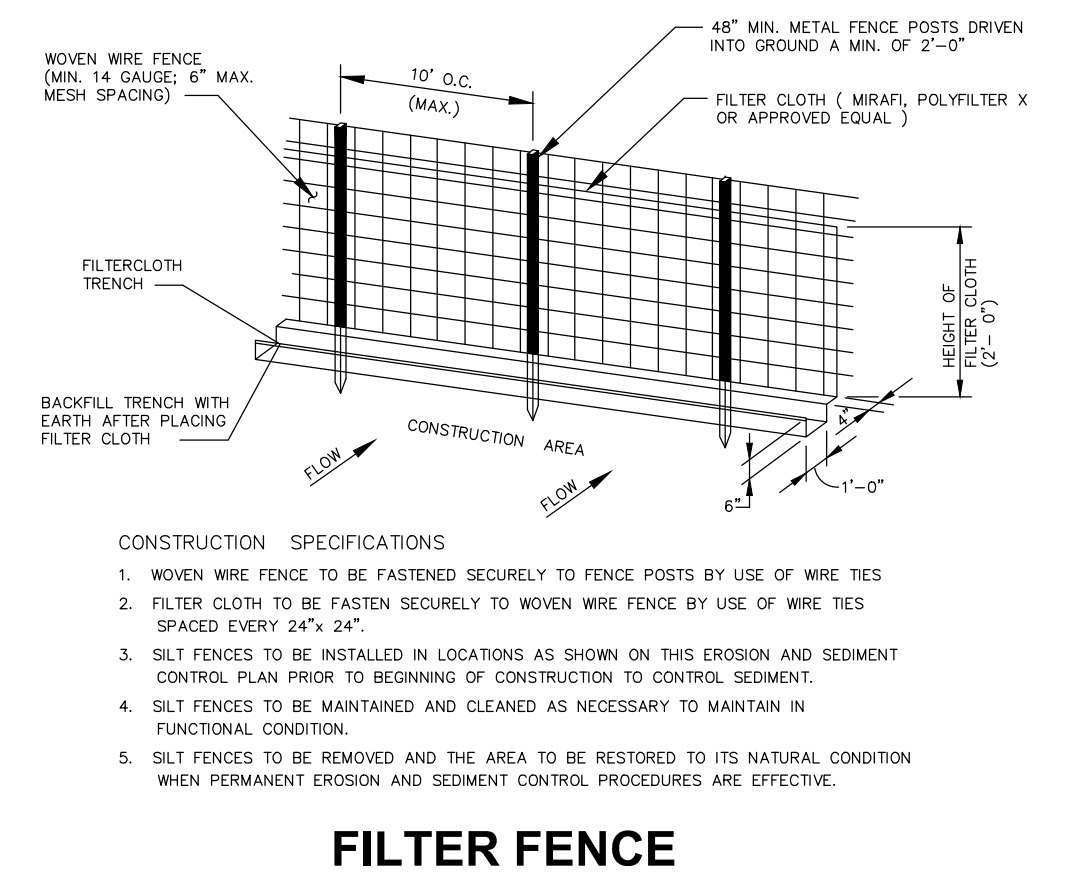
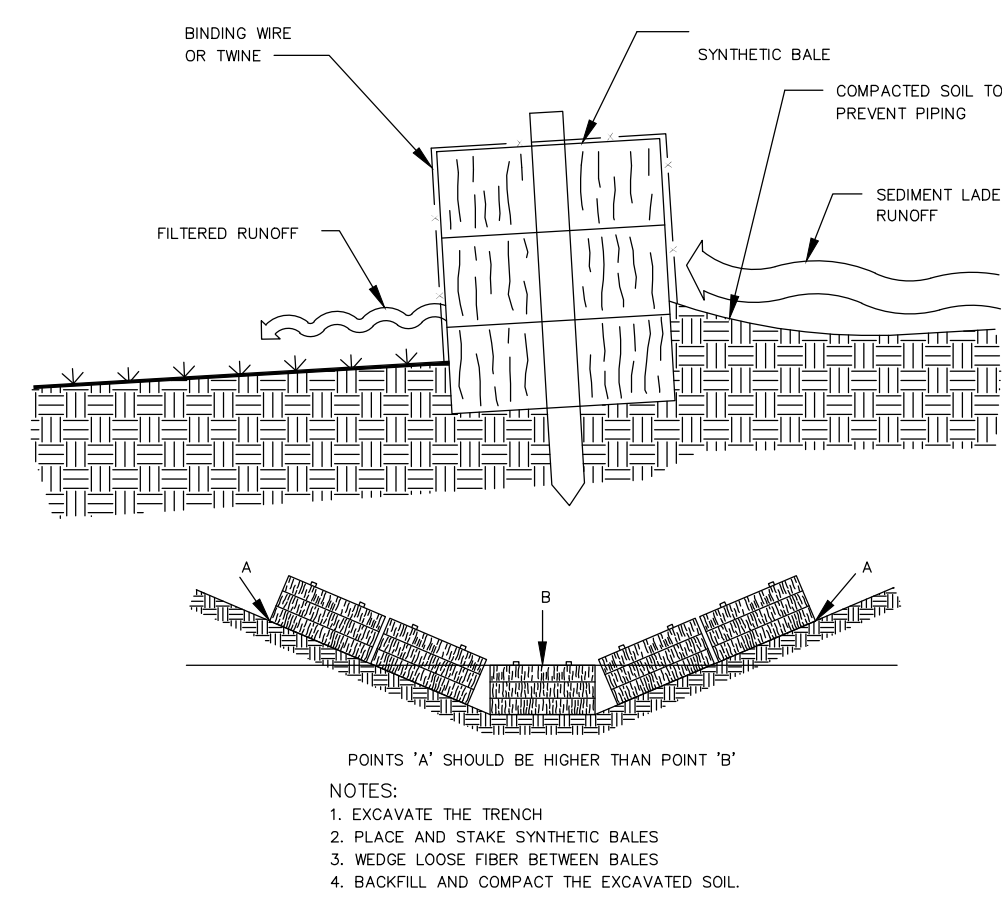
PROJECT TITLE: OXFORD POINTE  
SHEET TITLE: WATER & SEWER DETAILS

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DRAWN: [ ] DATE: 12/28/22

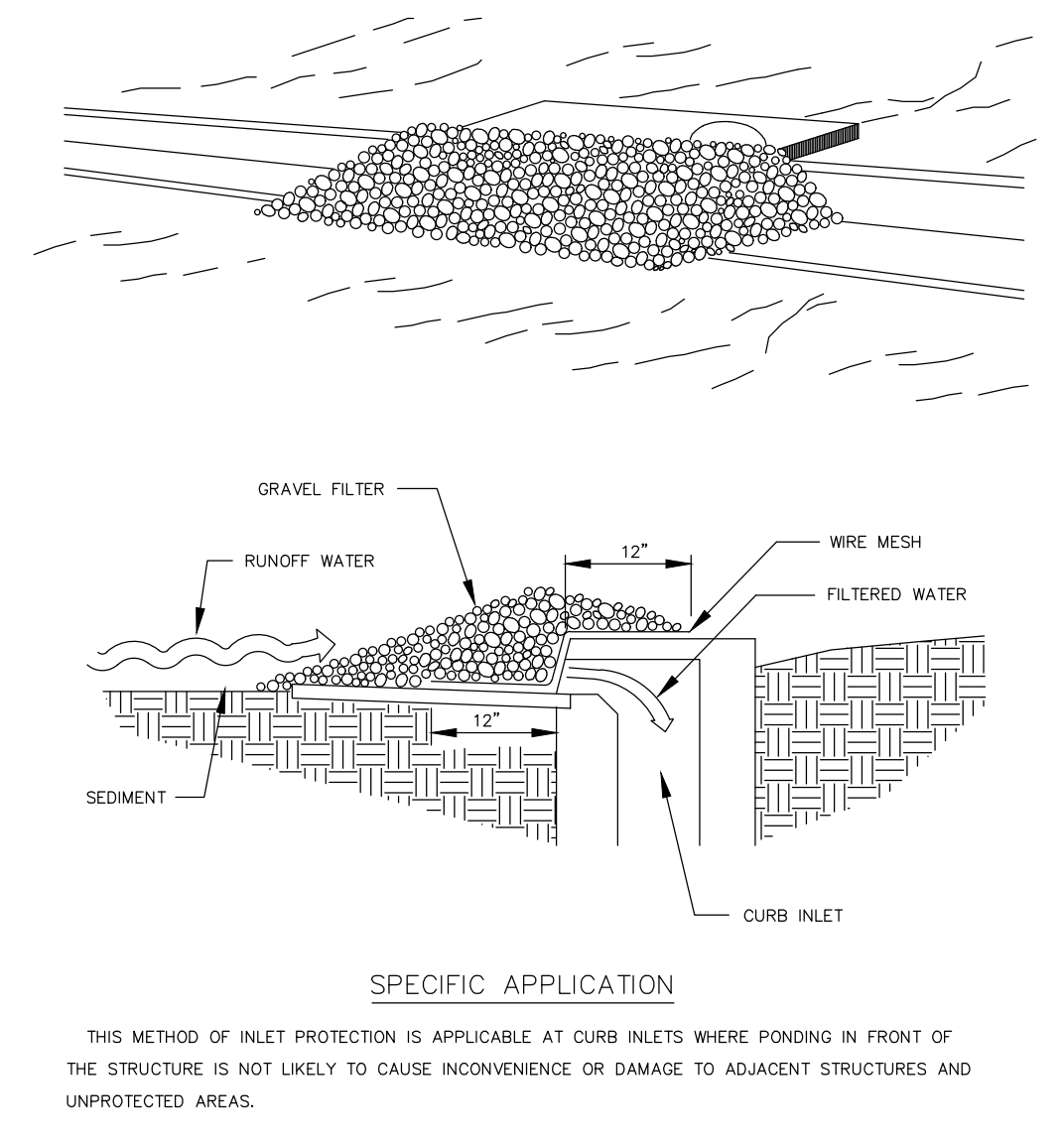
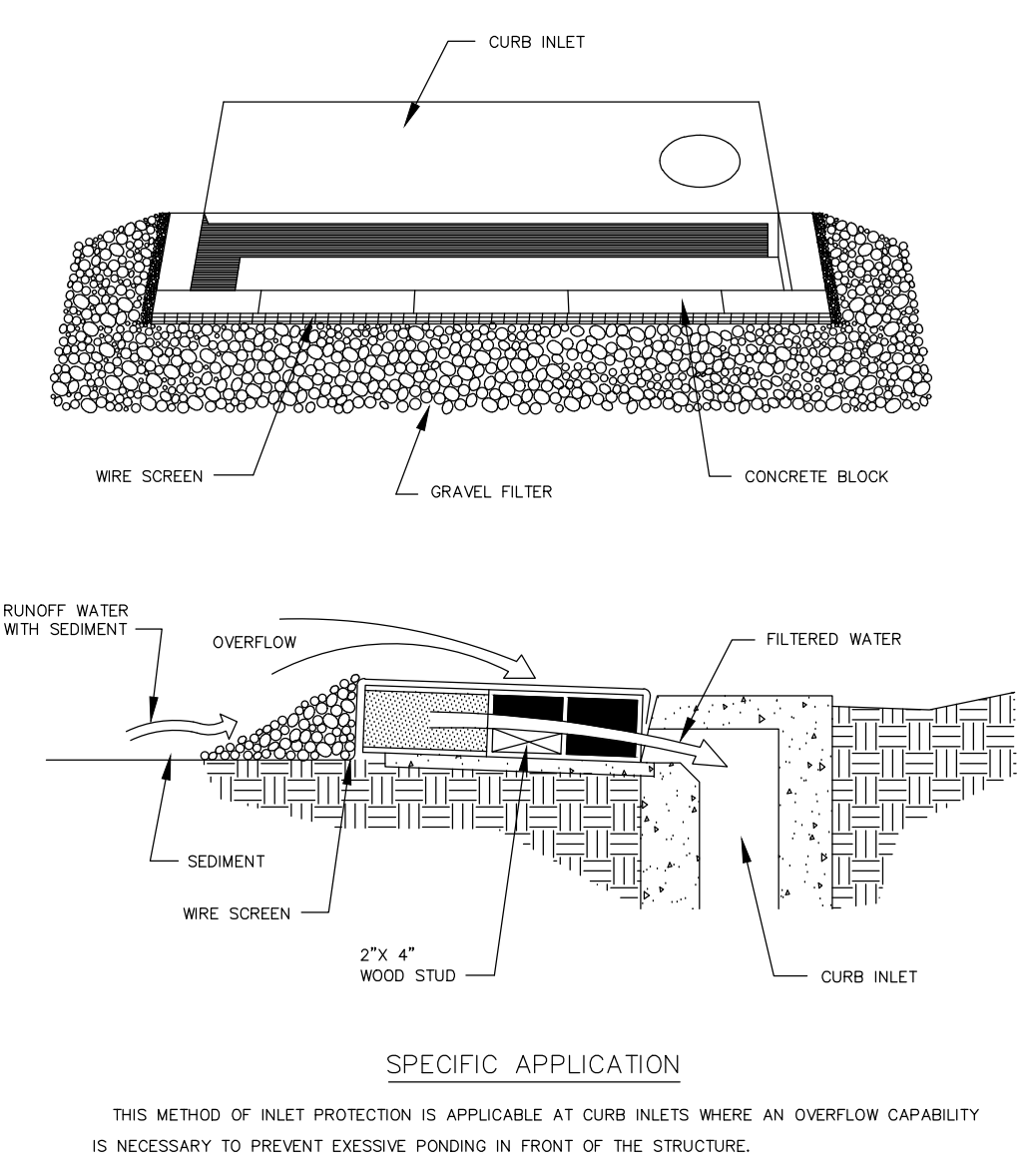
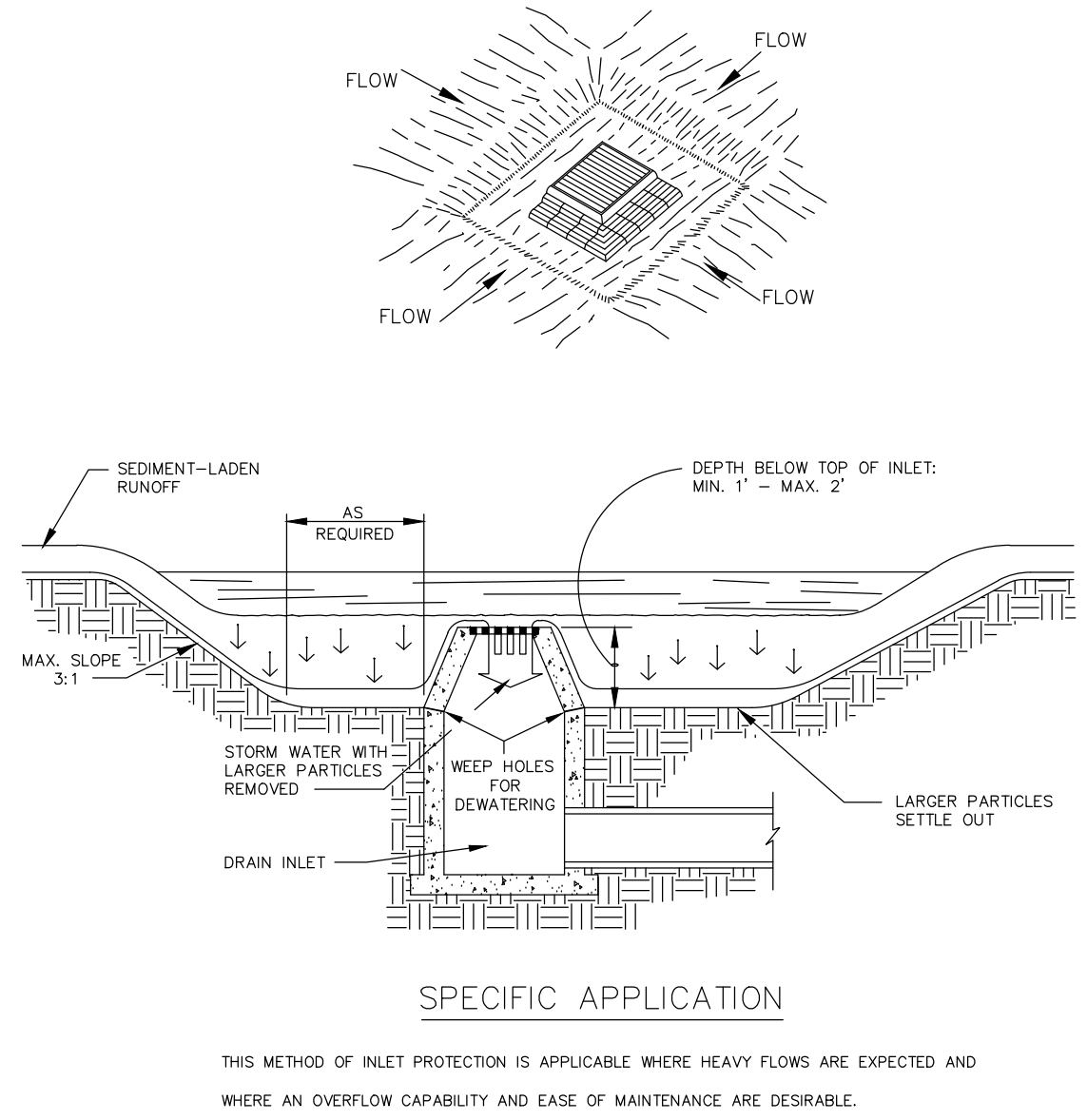
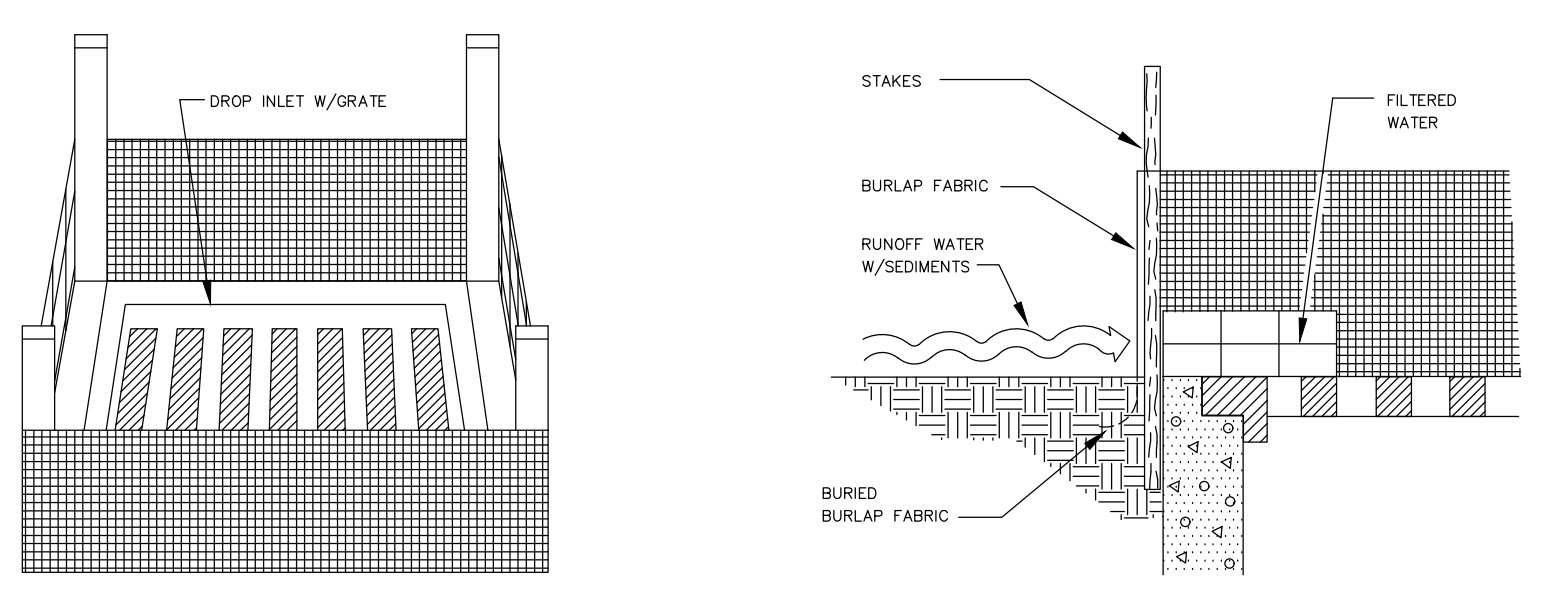
C6.1  
PROJECT NUMBER: 2022-105

# EROSION AND SEDIMENT CONTROL NOTES

- THE ENVIRONMENTAL PROTECTION AGENCY (EPA) HAS ISSUED TO FLORIDA A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR CERTAIN STORMWATER DISCHARGES. THIS NPDES PROGRAM REQUIRES THAT IF THE MAGNITUDE OF CONSTRUCTION ACTIVITIES COVERED BY THE GENERAL PERMIT ARE ABOVE CERTAIN THRESHOLDS, THEN A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED. ALSO INVOLVED ARE CERTAIN CERTIFICATION, NOTIFICATION, INSPECTION AND RECORD KEEPING IN ACCORDANCE WITH THE EPA PUBLICATION EPA 832-R-92-005 DATED SEPT., 1992 & TITLED "STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES-DEVELOPING POLLUTION PREVENTION PLANS & BEST MANAGEMENT PRACTICES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE IF THIS PROJECT REQUIRES AN NPDES APPLICATION AND NOTIFICATION AND, IF NECESSARY, PREPARE, SUBMIT AND MAINTAIN THE REQUIRED DOCUMENTATION IN COMPLIANCE WITH THE EPA GUIDELINES AND CRITERIA.
- THESE PLANS INDICATE THE MINIMUM EROSION AND SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
- THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS, AND THE ST. JOHNS RIVER MANAGEMENT DISTRICT PERMIT AND REGULATIONS. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE ST. JOHNS RIVER MANAGEMENT DISTRICT.
- ALL EXCAVATIONS AND EARTHWORK SHALL BE DONE IN A MANNER TO MINIMIZE WATER TURBIDITY AND POLLUTION. DISCHARGE SHALL BE CONTROLLED AND REROUTED THROUGH HAY FILTERS, SILTATION DIAPERS AND SUMPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION, CORRECTION, CONTROL AND ABATEMENT OF EROSION AND WATER POLLUTION IN ACCORDANCE WITH CHAPTER 17-3, FLORIDA ADMINISTRATIVE CODE. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "FLORIDA DEVELOPEMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, CHAPTER 6.
- THE CONTRACTOR SHALL PAY FOR ANY WATER QUALITY CONTROL VIOLATIONS FROM ANY AGENCY THAT RESULTS IN FINES BEING ASSESSED TO THE OWNER BECAUSE OF THE CONTRACTOR'S FAILURE TO ELIMINATE TURBID RUNOFF FROM LEAVING THE SITE AND RAISING BACKGROUND LEVELS.
- EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
- ADDITIONAL PROTECTION - ON SITE PROTECTION, AS MAY BE DEEMED NECESSARY DURING CONSTRUCTION SHALL BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNFORSEEN CONDITIONS OR ACCIDENTS,
- WIRE MESH SHALL BE LAID OVER THE DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED. FOOT NO. 1 COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
- IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.
- BALES SHALL BE PLACED LENGTHWISE IN SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER. BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH THE BINDINGS ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.
- THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 8 INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER. EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. LOOSE FIBER SHOULD BE WEDGED BETWEEN BALES TO PREVENT WATER FROM ENTERING BETWEEN BALES.
- SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS AND SHALL BE MAINTAINED UNTIL COMPLETION OF ALL CONSTRUCTION ACTIVITY.
- CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC., ARE CLEANED OUT AND WORKING PROPERLY AT ALL TIMES AND THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND REPAIRS, AS NEEDED, SHALL BE MADE IMMEDIATELY.
- ANY DISCHARGE FROM A DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND THE TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
- SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ANY SEDIMENT THAT LEAVES THE SITE AND CHANGES ANY DOWNSTREAM CONDITIONS BY RAISING CHANNEL BOTTOMS AND/OR CLOGGING OUTFALL CULVERTS.
- SEDIMENT DEPOSITS TO BE REMOVED AFTER EACH RAINFALL AND REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT ON THE BARRIER. SEDIMENT TRAPS TO BE RESTORED TO THEIR ORIGINAL DIMENSIONS BY REMOVING THE SEDIMENT WHEN IT HAS ACCUMULATED TO ONE-THIRD THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT TO BE DEPOSITED IN A SUITABLE AREA AND MANNER THAT IT WILL NOT ERODE.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE, SYNTHETIC BALE OR FILTER BARRIER IS NO LONGER REQUIRED OR AFTER COMPLETION OF CONSTRUCTION SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED. ALL DEWATERING, EROSION AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- ALL DISTURBED AREAS SHALL BE STABILIZED THROUGH COMPACTION, GRASSING AND SODDING. THE GRASS/SODDING SHALL BE MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED. ALL FILL SLOPES 4:1 OR GREATER TO RECEIVE STAKED SOLID SOD.



## ONLY SYNTHETIC BALES TO BE USED (TYP)



<p><b>CLIENT</b>                  WYANE BISHOP                  PROJECT ADDRESS                  OXFORD STREET                  HILLIARD, FLORIDA</p>													
<p><b>PROJECT TITLE</b>                  OXFORD POINTE                  SHEET TITLE                  EROSION CONTROL DETAILS</p>													
<p>DESIGN:                  DRAWN:                  SCALE:                  AS SHOWN</p>	<p>REVIEWED:                  DATE:                  12/28/22</p>												
<p><b>C7.0</b>                  PROJECT NUMBER                  2022-105</p>													
<p>REVISIONS                  NO. DESCRIPTION DATE</p> <table border="1"> <tr> <td>1</td> <td>03/20/2023</td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> </table>		1	03/20/2023		2			3			4		
1	03/20/2023												
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3													
4													
<p>CONTRACTOR: CIVIL ENGINEERING, LLC                  9526 ARCYLE FOREST BLVD.                  UNIT B2 #456                  JACKSONVILLE, FL 32222                  904-885-0188</p>													



# OWNER'S REQUIREMENTS

# CONTRACTOR'S REQUIREMENTS

**SITE DESCRIPTION**

PROJECT NAME AND LOCATION:  
**OXFORD POINTE**  
**OXFORD ST & W SEVENTH ST, HILLIARD, FL 32046**

OWNER NAME AND ADDRESS:  
**WAYNE BISHOP**  
**15977 CR 108**  
**HILLIARD, FL 32046**

DESCRIPTION:  
**19 UNIT APARTMENT DEVELOPMENT WITH DRIVE AISLES, PARKING SPACES, AND ASSOCIATED UTILITIES INCLUDING WATER, SEWER AND A WET DETENTION STORMWATER MANAGEMENT FACILITY.**

SOIL DISTURBING ACTIVITIES WILL INCLUDE:  
**CLEARING AND GRUBBING; PERIMETER, AND OTHER EROSION AND SEDIMENT CONTROLS; GRADING; EXCAVATION FOR ASSOCIATED UTILITIES AND STORMWATER MANAGEMENT FACILITY; CONSTRUCTION OF CURB, GUTTER AND ASPHALT PAVEMENT; PREP FOR FINAL PLANTING AND SEEDING.**

RUNOFF COEFFICIENT:  
**1. PRE-CONSTRUCTION = 80**  
**2. DURING CONSTRUCTION = 83**  
**3. POST-CONSTRUCTION = 86**

SOILS:  
 SEE SOILS REPORT FOR SOILS DATA

SITE MAPS:  
 \* SEE ATTACHED GRADING PLAN FOR PRE & POST DEVELOPMENT GRADES, AREAS OF SOIL DISTURBANCE, LOCATION OF SURFACE WATERS, PROTECTED AREAS, MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS AND STORM WATER DISCHARGE POINTS.

\* SEE ATTACHED EROSION & TURBIDITY CONTROL PLAN FOR LOCATION OF TEMPORARY STABILIZATION PRACTICES, AND TURBIDITY BARRIERS.

\* SEE GENERAL NOTES FOR REQUIREMENTS FOR TEMPORARY AND PERMANENT STABILIZATION.

SITE AREA:  
**1. TOTAL AREA OF SITE = 3.18 Ac.**  
**2. TOTAL AREA TO BE DISTURBED = 3.18 Ac.**

**NAME OF RECEIVING WATERS: TRIBUTARY TO LITTLE ST MARY'S RIVER**

**CONTROLS**

THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUNOFF. AN EROSION AND TURBIDITY PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS AS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE, AND LOCAL LAWS. REFER TO "CONTRACTORS RESPONSIBILITY" FOR A VERBAL DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.

STORM WATER MANAGEMENT

STORM WATER DRAINAGE WILL BE PROVIDED BY CURB AND GUTTER, STORM SEWER, CURB INLETS AND CATCH BASINS

FOR THE PAVED AREAS, AREAS WHICH ARE NOT DEVELOPED BUT WILL BE REGRADED SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE. WHEN CONSTRUCTION IS COMPLETE, A TOTAL OF \_\_\_\_ ACRES WILL HAVE BEEN REGRADED. THE SITE DISCHARGES TO AN EXISTING WETLAND SYSTEM

WHERE PRACTICAL, TEMPORARY SEDIMENT BASINS WILL BE USED TO INTERCEPT SEDIMENT BEFORE ENTERING THE PERMANENT DETENTION BASIN.

**TIMING OF CONTROLS/MEASURES**

REFER TO " CONTRACTORS RESPONSIBILITY " FOR THE TIMING OF CONTROL/MEASURES.

**CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS**

IN AN EFFORT TO ENSURE COMPLIANCE WITH FEDERAL, STATE, AND LOCAL LAWS REGARDING EROSION AND TURBIDITY CONTROLS, THE FOLLOWING PERMITS HAVE BEEN OBTAINED:

D.E.R. DREDGE/FILL PERMIT # \_\_\_\_\_  
 C.O.E. DREDGE/FILL PERMIT # \_\_\_\_\_  
 S.J.R.W.M.D. PERMIT # \_\_\_\_\_  
 CITY OF JACKSONVILLE, FL DEVELOPMENT PERMIT \_\_\_\_\_

**POLLUTION PREVENTION PLAN CERTIFICATION**

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNED: \_\_\_\_\_  
 CORPORATE OFFICER, GENERAL PARTNER, PROPRIETOR,  
 EXECUTIVE OFFICER, RANKING ELECTED OFFICIAL

DATE: \_\_\_\_\_

**GENERAL**

THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS. DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULATES TO THE RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.

**SEQUENCE OF MAJOR ACTIVITIES**

THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE	9. INSTALL UTILITIES, STORM SEWER CURBS AND GUTTER.
2. INSTALL SILT FENCES AND HAY BALES AS REQUIRED	10. APPLY BASE TO PARKING LOT
3. CLEAR AND GRUB FOR DIVERSION SWALES/DIKES AND SEDIMENT BASIN	11. COMPLETE GRADING AND INSTALL PERMANENT SEEDING/SOD AND PLANTING
4. CONSTRUCT SEDIMENTATION BASIN	12. COMPLETE FINAL PAVING
5. CONTINUE CLEARING AND GRUBBING	13. REMOVE ACCUMULATED SEDIMENT FROM BASINS
6. STOCK PILE TOP SOIL IF REQUIRED	14. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION ON SITE AS REQUIRED
7. PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED	SWALES/DIKES AND RESEED/SOD AS REQUIRED
8. STABILIZE DENuded AREAS AND STOCKPILES AS SOON AS PRACTICABLE	

**CONTROLS**

IT IS IN THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES. AS REQUIRED TO ENSURE THE SITE MEETS ALL FEDERAL, STATE, AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE EROSION AND TURBIDITY CONTROL PLAN AND AS REQUIRED TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.

EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES

- STRAW BALE BARRIER: STRAW BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
  - WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT
  - IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES
  - WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS
  - EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF STRAW BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT
- FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
  - WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
  - IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
- BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.
- LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED STABILIZED AREAS. THIS PRACTICE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL LIP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE.
- STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.
- EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING OR GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREAS WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.
- INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT -LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
- TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT AFTER COMPETE WITH PERMANENT GRASSING.
- TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.
- TEMPORARY GRASSING: THE SEEDDED OR SEEDDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER.
- TEMPORARY REGRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.
- MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.
- PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFF SITE FACILITIES.
- PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDDED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDDED AND MULCHED OR SOODED.

**STRUCTURAL PRACTICES**

- TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY.
- TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP IS USUALLY INSTALLED IN A DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA WITH THE FOLLOWING LIMITATIONS:
  - THE SEDIMENT TRAP MAY BE INSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE.
- OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE VELOCITY OF FLOW AT DESIGN CAPACITY OF THE OUTLET WILL EXCEED THE PERMISSIBLE VELOCITY OF THE RECEIVING CHANNEL OR AREA.
- SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3, 600 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE. THE 3, 600 CUBIC FEET OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS FROM ONSITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION.

**OTHER CONTROLS**

**WASTE DISPOSAL**

WASTE MATERIALS

ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAUL TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

**HAZARDOUS WASTE**

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

**SANITARY WASTE**

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.

**OFFSITE VEHICLE TRACKING**

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN.

**INVENTORY FOR POLLUTION PREVENTION PLAN**

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

CONCRETE	FERTILIZERS	WOOD
ASPHALT	PETROLEUM BASED PRODUCTS	MASONRY BLOCKS
TAR	CLEANING SOLVENTS	ROOFING MATERIALS
DETERGENTS	PAINTS	METAL STUDS

**SPILL PREVENTION**

**MATERIAL MANAGEMENT PRACTICES**

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

**GOOD HOUSEKEEPING**

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURERS LABEL.
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL.

**HAZARDOUS PRODUCTS**

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
- IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

**PRODUCT SPECIFIC PRACTICES**

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

**PETROLEUM PRODUCTS**

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS.

**FERTILIZERS**

FERTILIZERS USED WILL APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

**PAINTS**

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

**CONCRETE TRUCKS**

CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

**SPILL CONTROL PRACTICES**

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (i.e. KITTY LITTER OR EQUAL), SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ONSITE.

**MAINTENANCE/INSPECTION PROCEDURES**

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

- NO MORE THAN 10 ACRES OF THE SITE WILL BE DENUED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.
- ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER.
- ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
- BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
- SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
- THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
- DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
- TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, SHADOWS, AND HEALTHY GROWTH.
- A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS ATTACHED. THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER, OR ANY FEDERAL, STATE, OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORM WATER MANAGEMENT PLANS. THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE TERMINATION IS SUBMITTED. THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.
- THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE, AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.
- PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.

NON-STORM WATER DISCHARGES

- IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:
  - WATER FROM WATER LINE FLUSHING
  - PAVEMENT WASH WATERS ( WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).
  - UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION).
- ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.

**CONTRACTOR'S CERTIFICATION**

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNATURE	BUSINESS NAME AND ADDRESS OF CONTRACTOR AND ALL SUBS	RESPONSIBLE FOR/DUTIES
		GENERAL CONTRACTOR
		SUB-CONTRACTOR
		SUB-CONTRACTOR
		SUB-CONTRACTOR
		SUB-CONTRACTOR

**CIVIL ENGINEERING, LLC**  
 9526 ARCYLE FOREST BLVD,  
 UNIT B2 #456  
 JACKSONVILLE, FL 32222  
 904-885-0188

**REVISIONS**

NO.	DESCRIPTION	DATE
A	TOWN OF HILLIARD/SIRWMD	03/20/2023

**CLIENT**  
**WYANE BISHOP**  
 PROJECT ADDRESS  
**OXFORD STREET**  
**HILLIARD, FLORIDA**

**PROJECT TITLE**  
**OXFORD POINTE**

**SHEET TITLE**  
**SWPPP-1**

DESIGN: \_\_\_\_\_ REVIEWED: \_\_\_\_\_

DRAWN: \_\_\_\_\_

SCALE: AS SHOWN DATE: 12/28/22

**C8.0**  
 PROJECT NUMBER  
 2022-105



JOB DESCRIPTION

STORM WATER POLLUTION PREVENTION PLAN  
INSPECTION AND MAINTENANCE REPORT

TO BE COMPLETED EVERY SEVEN (7) DAYS AND WITHIN TWENTY-FOUR (24) HOURS  
OF A RAINFALL EVENT OF 0.25 INCHES OR MORE

INSPECTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

INSPECTOR'S QUALIFICATIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DATES SINCE LAST RAINFALL: \_\_\_\_\_ AMOUNT OF LAST RAINFALL: \_\_\_\_\_ INCHES

STABILIZATION MEASURES

INSPECTION AREA (DESCRIPTION OF LOCATION)	DATE SINCE LAST DISTURBED	DATE OF NEXT DISTURBANCE	STABILIZED ? (YES / NO)	STABILIZED WIDTH	CONDITION

STABILIZATION REQUIRED:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

TO BE PERFORMED BY: \_\_\_\_\_ ON OR BEFORE: \_\_\_\_\_

JOB DESCRIPTION

STORM WATER POLLUTION PREVENTION PLAN  
INSPECTION AND MAINTENANCE REPORT

DATE: \_\_\_\_\_

STRUCTURAL CONTROLS

EARTH DIKES / SWALES

DIKE OR SWALE	FROM	TO	IS DIKE / SWALE STABILIZED?	IS THERE EVIDENCE OF WASHOUT OR OVER TOPPING?

MAINTENANCE REQUIRED FOR EARTH DIKE / SWALE:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

TO BE PERFORMED BY: \_\_\_\_\_ ON OR BEFORE: \_\_\_\_\_

EARTH DIKES / SWALES

STRUCTURAL/ OUTFALL	ARE TURBIDITY CONTROLS IN PLACE?	ANY EVIDENCE OF CLOGGING/WASHOUT OR BYPASSING?	ARE TURBIDITY CONTROLS IN NEED OF REPLACING?	DOES SILT NEED TO BE REMOVED FROM AROUND CONTROL?

MAINTENANCE REQUIRED FOR CATCH BASIN / CURB INLETS / OUTFALLS TURBIDITY CONTROLS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

TO BE PERFORMED BY: \_\_\_\_\_ ON OR BEFORE: \_\_\_\_\_

JOB DESCRIPTION

STORM WATER POLLUTION PREVENTION PLAN  
INSPECTION AND MAINTENANCE REPORT

SEDIMENT BASIN

DEPTH OF SEDIMENT IN BASIN	DEPTH OF SEDIMENT SIDE BASIN	IS THERE EVIDENCE OF OVER TOPPING OF EMBANKMENT?	CONDITION OF OUTFALL FROM SEDIMENT BASIN

MAINTENANCE REQUIRED FOR SEDIMENT BASIN:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

TO BE PERFORMED BY: \_\_\_\_\_ ON OR BEFORE: \_\_\_\_\_

OTHER CONTROLS

STABILIZED CONSTRUCTION ENTRANCE

DOES MUCH SEDIMENT GET TRACKED ON TO ROADWAY?	IS THE GRAVEL CLEAN OR IS IT FILLED WITH SEDIMENT?	DOES ALL TRAFFIC USE THE STABILIZED ENTRANCE LEAVE THE SITE?	IS THE CULVERT BENEATH THE ENTRANCE WORKING? (IF APPLICABLE)

MAINTENANCE REQUIRED FOR STABILIZED CONSTRUCTION ENTRANCE:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

TO BE PERFORMED BY: \_\_\_\_\_ ON OR BEFORE: \_\_\_\_\_

JOB DESCRIPTION

STORM WATER POLLUTION PREVENTION PLAN  
INSPECTION AND MAINTENANCE REPORT

CHANGES REQUIRED TO THE POLLUTION PREVENTION PLAN:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

REASONS FOR CHANGES:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERTY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

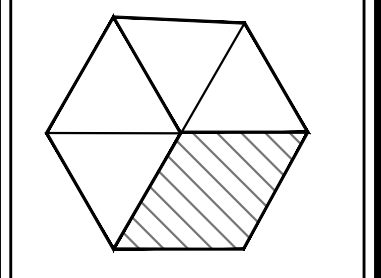
SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

NOTE TO CONTRACTOR:

THIS IS THE CONTRACTORS CERTIFICATE REQUIRED BY THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES), STORM WATER POLLUTION PREVENTION PLAN FOR CONSTRUCTION SITES OVER FIVE (5) ACRES. IT IS SUGGESTED THAT THIS SHEET BE REMOVED FROM THE PLAN SET AND DUPLICATED AS NEEDED BY THE CONTRACTOR.

AN INSPECTOR, CERTIFIED BY THE STATE OF FLORIDA OR EXPERIENCED IN THE INSTALLATION AND MAINTENANCE OF EROSION CONTROLS, IS REQUIRED TO INSPECT THE EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE APPROVED STORMWATER POLLUTION PREVENTION PLAN. INSPECTION REPORTS ARE TO BE COMPLETED ONCE EVERY WEEK AND AFTER EVERY RAINFALL EVENT OF 0.5" OR MORE DURING THE CONSTRUCTION PHASE. THESE REPORTS SHALL BE MADE AVAILABLE TO THE CITY AT ANY TIME AND COPIES OF ALL OF THE INSPECTIONS SHALL BE SUBMITTED TO THE CITY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLETION OR OCCUPANCY.

**P<sup>2</sup>**  
 CIVIL ENGINEERING, LLC  
 9526 ARCYLE FOREST BLVD,  
 UNIT B2 #456  
 JACKSONVILLE, FL 32222  
 904-885-0188



**FLORIDA**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 78668  
 PAUL A. TALBERT

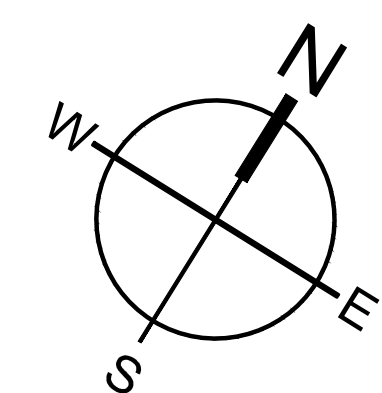
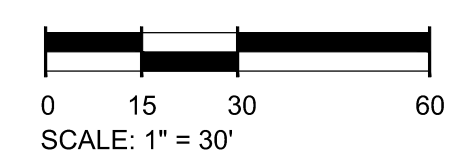
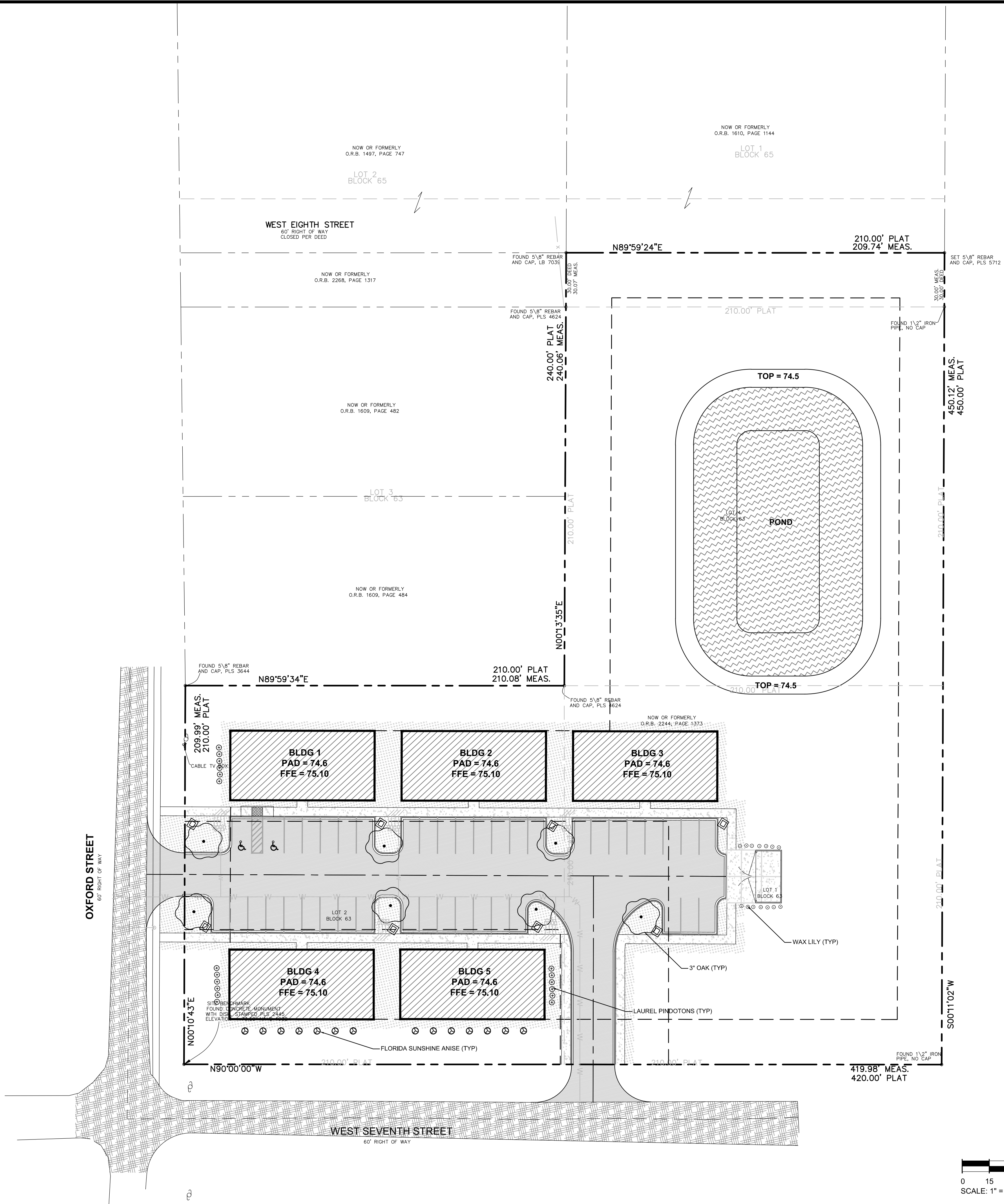
REV.	NO.	DESCRIPTION	DATE
A	1	TOWN OF HILLIARD/SWRMD	03/20/2023

CLIENT  
**WYANE BISHOP**  
 PROJECT ADDRESS  
 OXFORD STREET  
 HILLIARD, FLORIDA

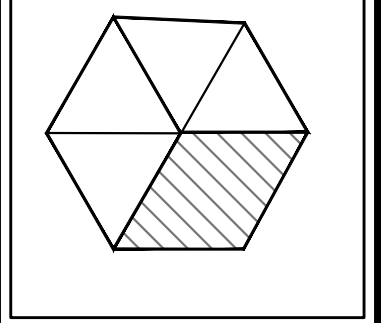
PROJECT TITLE  
**OXFORD POINTE**  
 SHEET TITLE  
**SWPPP-2**

DESIGN:	REVIEWED:
DRAWN:	
SCALE: AS SHOWN	DATE: 12/28/22

**C8.1**  
 PROJECT NUMBER  
 2022-105



**P<sup>2</sup>**  
**CIVIL ENGINEERING, LLC**  
 9526 ARCYLE FOREST BLVD,  
 UNIT B2 #456  
 JACKSONVILLE, FL 32222  
 904-885-0188



FLORIDA  
 LICENSED PROFESSIONAL ENGINEER  
 PAUL A. TALBERT  
 No. 78666

REVISIONS	
NO.	DESCRIPTION
A	TOWN OF HILLIARD/SIRWMD 03/20/2023

CLIENT  
**WYANE BISHOP**  
 PROJECT ADDRESS  
 OXFORD STREET  
 HILLIARD, FLORIDA

PROJECT TITLE  
**OXFORD POINTE**  
 SHEET TITLE  
**LANDSCAPE PLAN**

DESIGN:	REVIEWED:
DRAWN:	
SCALE: AS SHOWN	DATE: 12/28/22

**C9.0**  
 PROJECT NUMBER  
 2022-105



**MITTAUER**  
**& ASSOCIATES, INC.**  
CONSULTING ENGINEERS &  
PROJECT FUNDING SPECIALISTS

ITEM-2

580-1 WELLS ROAD  
ORANGE PARK, FL 32073  
PHONE: (904) 278-0030  
FAX: (904) 278-0840  
WWW.MITTAUER.COM

May 8, 2023 VIA EMAIL

Ms. Lee Anne Wollitz, Land Use Administrator  
Town of Hilliard  
15859 West County Road 108  
Hilliard, FL 32046

RE: Determination of Completeness and Site Plan Review No. 2  
Oxford Pointe  
Town of Hilliard, Florida  
Mittauer & Associates, Inc. Project No. 9610-23-21

Dear Ms. Wollitz:

We have reviewed the Submittal No. 2 / Comment Response Package for the Oxford Pointe project, which was transmitted to us electronically from the Town on April 7<sup>th</sup>, 2023. This package included the following items:

1. Comment Response Letter to M&A Site Plan Review No. 1 from Paul Talbert, P.E. dated April 4, 2023;
2. Revised Drawings entitled "Oxford Pointe" dated March 20, 2023 and prepared by P2 Civil Engineering, LLC, on behalf of David Wayne Bishop Jr. And Callie Kay Bishop, the Owners. The updated Drawings, consisting of 15 sheets, were signed and sealed by Paul A. Talbert, P.E.;
3. Warranty Deed for the property dated April 19, 2022; and
4. Revised Stormwater Drainage Analysis and Calculations prepared by P2 Civil Engineering, LLC, dated March 21, 2023.

We have reviewed the Drawings in accordance with the Town's Code of Ordinances, Chapter 62 - Zoning and Land Development Regulations (LDR), 2040 Comprehensive Plan, and other Town standards and requirements, as applicable. This is the second submittal we have received on this project. Based on our review of the Submittal No. 2 Package, we find the submittal to include all necessary components to allow for a complete Site Plan Review. We approve this submittal contingent upon the below comments being addressed with the Town prior to Construction. Our comments are as follows:

Ms. Lee Anne Wollitz, Land Use Administrator  
May 8, 2023  
Page 2

### **GENERAL COMMENTS**

1. Coordinate with the Town for any applicable water/sewer connection and impact fees, and verify concurrency requirements/conditions have been met, as required.
2. Provide signed and sealed copies of the final approved Drawings and Reports prior to construction.
3. Coordinate with the Town to properly record the proposed 60' utility/access easement.
4. Provide final approved permits and any updates/changes to the Drawings following coordination efforts with FDEP, SJRWMD, the Town, etc.

### **SHEET C1.0 - COVER SHEET**

No Additional Comments

### **SHEET C1.1 - GENERAL NOTES**

No Additional Comments

### **SHEET C2.0 - EXISTING CONDITIONS**

No Additional Comments

### **SHEET C3.0 - SITE PLAN**

1. There are 39 STD Spaces and 2 ADA spaces displayed on the plan sheet. The two (2) displayed ADA spaces do not appear to have the same proposed width. Per LDR Section 62-382, a minimum of one (1) ADA space and forty (40) standard spaces will be required for the proposed development. ADA spaces will require a width of 12 feet. Revise the Drawing and Data Summary Table as applicable.

### **SHEET C4.0 - GRADING PLAN**

1. Recommend using a maximum slope of 4:1 throughout to minimize erosion.
2. Ensure all proposed elevations are consistent with the final approved Stormwater Drainage Analysis and Calculations report and allow for proper drainage flow.

Ms. Lee Anne Wollitz, Land Use Administrator  
May 8, 2023  
Page 3

### **SHEET C4.1 - DRAINAGE PLAN**

1. Ensure all proposed drainage structures, elevations, and areas are consistent with the final approved Stormwater Drainage Analysis and Calculations.
2. Confirm the intent of the red dashed box and/or add the line type to the Legend.

### **SHEET C4.2- POST DEVELOPMENT PLAN**

No Comments

### **SHEET C5.0 - UTILITY PLAN**

1. Coordinate with the Town for proposed maintenance of traffic for work on Oxford St and West Seventh St.
2. Several utility crossings are shown. Verify all separation requirements are met and conflicts are properly addressed.
3. Provide confirmation of the proposed utility connection point diameters and elevations prior to/during construction. If the existing water main along West Seventh Street is confirmed to be a 2" diameter water main, a 2" connection shall be made and include a 4"x2" reducer for connection to the proposed 4" PVC water main. Any changes in the proposed utility connections shall be approved by the Town.
4. It is preferred for valves to be located out of the roadway/pavement. Confirm if feasible prior to/during construction following location of the existing utilities.
5. Recommend conducting a hydrant flow test on the nearest fire hydrant prior to construction to ensure adequate fire protection can be provided for the site per FDEP regulations.

### **SHEET C6.0 - SITE DETAILS**

No Additional Comments

### **SHEET C6.1 - WATER & SEWER DETAILS**

1. JEA Details are acceptable where the Town of Hilliard Details do not apply. Update details to include relevant information not presented in the Town of Hilliard Details. For example, add the previously provided Doghouse Manhole detail, add the previously provided Separation Requirements detail, add the previously provided PVC Pipe Restraint Joint Schedule detail, etc.

Ms. Lee Anne Wollitz, Land Use Administrator  
 May 8, 2023  
 Page 4

2. Add Town of Hilliard Trench Detail for unpaved areas (S-12/W-12).
3. Add Town of Hilliard Utility Conflict Type B detail.

### **SHEET C7.0 - EROSION CONTROL DETAILS**

No Additional Comments

### **SHEET C7.0 - ESC PLAN**

1. Provide a detail for the proposed Construction Entrance.

### **SHEETS C8.0 & C8.1 - SWPPP-1 & SWPPP-2**

No Comments

### **SHEET C9.0 - LANDSCAPE PLAN**

1. Several of the proposed 3" Oak trees are depicted in-line with the proposed water meters and water main/water service lines. Ensure proposed landscaping does not provide a conflict with proposed utilities or other proposed improvements. Revise the Drawing, as applicable.
2. Coordinate with the Town for approval of the proposed landscape planting species.

### **STORMWATER DRAINAGE ANALYSIS AND CALCULATIONS**

No Comments

Note that this Determination of Completeness and Site Plan Review does not include Building Permit / Code Inspection review or a Concurrency Review/Certificate and these should be addressed as needed, separate from this Review. Should you have any questions, comments or concerns, please do not hesitate to contact us at any time.

Sincerely yours,  
 Mittauer & Associates, Inc.

Jarrold P Petrohovich

Digitally signed by Jarrold P Petrohovich  
 DN: c=US, o=Florida,  
 dnQualifier=A01410D00000185AB7C39250016CAF8,  
 cn=Jarrold P Petrohovich,  
 Date: 2023.05.08 18:21:59 -0400

Jarrold P. Petrohovich, P.E.  
 Project Manager

JPP

cc: Town of Hilliard  
 Janis K. Fleet, AICP  
 P2 Civil Engineering, LLC.

May 12, 2023

Ms. Lee Anne Wollitz, Land Use Administrator Town of Hilliard  
15859 West County Road 108  
Hilliard, FL 32046

**Oxford Pointe  
Town of Hilliard, FL**

Dear Ms. Wollitz,

Please refer to the attachments that accompany this submittal regarding the comment responses provided by Mittauer and Associates to the above referenced project.

### **GENERAL COMMENTS**

1. Coordinate with the Town for any applicable water/sewer connection and impact fees, and verify concurrency requirements/conditions have been met, as required.  
**Noted.**
2. Provide signed and sealed copies of the final approved Drawings and Reports prior to construction.  
**Noted.**
3. Coordinate with the Town to properly record the proposed 60' utility/access easement.  
**Noted.**
4. Provide final approved permits and any updates/changes to the Drawings following coordination efforts with FDEP, SJRWMD, the Town, etc.  
**Noted.**

### **SHEET C3.0 - SITE PLAN**

1. There are 39 STD Spaces and 2 ADA spaces displayed on the plan sheet. The two (2) displayed ADA spaces do not appear to have the same proposed width. Per LDR Section 62-382, a minimum of one (1) ADA space and forty (40) standard spaces will be required for the proposed development. ADA spaces will require a width of 12 feet. Revise the Drawing and Data Summary Table as applicable.  
**ADA Spaces and the Data Table have been updated on the revised C3.0 Site Plan. ADA Spaces are now both 12' wide with a 6' aisle. Additional space provided to match parking count (40 standard spaces).**

### **SHEET C4.0 - GRADING PLAN**

1. Recommend using a maximum slope of 4:1 throughout to minimize erosion.  
**Noted.**

2. Provide Ensure all proposed elevations are consistent with the final approved Stormwater Drainage Analysis and Calculations report and allow for proper drainage flow.  
**Noted.**

### **SHEET C4.1 - DRAINAGE PLAN**

1. Ensure all proposed drainage structures, elevations, and areas are consistent with the submitted Stormwater Drainage Analysis and Calculations.  
**Noted.**
2. Confirm the intent of the red dashed box and/or add the line type to the Legend.  
**Red dashed box has been removed. As indicated on the utility plan, it represented the limits of asphalt resurfacing after utility connections were made within the rights of way.**

### **SHEET C5.0 - UTILITY PLAN**

1. Coordinate with the Town for proposed maintenance of traffic for work on Oxford St and West Seventh St.  
**Noted.**
2. Several utility crossings are shown. Verify all separation requirements are met and conflicts are properly addressed.  
**Note added to plan for licensed underground utility contractor to comply with all local and state regulations for vertical and horizontal utility separations.**
3. Provide confirmation of the proposed utility connection point diameters and elevations prior to/during construction. If the existing water main along West Seventh Street is confirmed to be a 2" diameter water main, a 2" connection shall be made and include a 4"x2" reducer for connection to the proposed 4" PVC water main. Any changes in the proposed utility connections shall be approved by the Town.  
**Noted.**
4. It is preferred for valves to be located out of the roadway/pavement. Confirm if feasible prior to/during construction following location of the existing utilities.  
**Noted. Contractor can adjust valve location if possible in the field during construction.**
5. Recommend conducting a hydrant flow test on the nearest fire hydrant prior to construction to ensure adequate fire protection can be provided for the site per FDEP regulations.  
**Noted. Contractor will coordinate with the Town.**



### **SHEET C6.1 – WATER AND SEWER DETAILS**

1. JEA Details are acceptable where the Town of Hilliard Details do not apply. Update details to include relevant information not presented in the Town of Hilliard Details. For example, add the previously provided Doghouse Manhole detail, add the previously provided Separation Requirements detail, add the previously provided PVC Pipe Restraint Joint Schedule detail, etc.  
**JEA details have been provided as requested.**
2. Add Town of Hilliard Trench Detail for unpaved areas (S-12/W-12).  
**Per the revised plans, detail W-12 has been provided which covers the same information regardless of use.**
3. Add Town of Hilliard Utility Conflict Type B detail.  
**Per the revised plans, detail W-10 has been provided which covers the same information regardless of use.**

### **SHEET C7.0 - EROSION CONTROL DETAILS**

1. Provide a detail for the proposed Construction Entrance.  
**Construction entrance detail has been added to C2.0 Existing Conditions.**

### **SHEET C9.0 - LANDSCAPE PLAN**

1. Several of the proposed 3" Oak trees are depicted in-line with the proposed water meters and water main/water service lines. Ensure proposed landscaping does not provide a conflict with proposed utilities or other proposed improvements. Revise the Drawing, as applicable.  
**The water service lines have been reconfigured to avoid the tree ball. The trees will be planted after the water main and services have been installed and the contractor should take care to avoid the service lines.**
2. Coordinate with the Town for approval of the proposed landscape planting species.  
**Noted.**

Please refer to the attachments that accompany this submittal regarding the comment responses provided by Fleet and Associates to the above referenced project.

1. The zoning of the property is R-3. The applicant has not submitted an application for rezoning. The note on Sheet C3.0 related to "Proposed Zoning" needs to be deleted. A permitted use in the R-3 zoning district is multi-family development.  
**Noted. The data table has been updated.**
2. The development needs to have a minimum of 40 parking spaces, 2 of which must be handicapped accessible. The site plan proposes 40 parking spaces of which 2 are handicapped accessible, but the handicapped spaces do not meet the Florida Building Code, which requires the spaces to be a minimum of 12 ft. wide. The site plan indicates the spaces are 9 ft. wide. The site plan needs to be revised to meet the minimum size of the Florida Building Code.  
**The parking has been updated to consist of 40 spaces and 2 ADA sized at 12' wide each.**

We trust that this information is to your satisfaction. Your expeditious review of this submittal is appreciated. If you have comments or questions regarding this project, please do not hesitate to contact us at 904-885-0188.

Sincerely,



P2 Civil Engineering, LLC  
Paul Talbert, PE  
President



May 4, 2023

To: Lee Anne Wolitz, Land Use Administrator  
From: Janis K. Fleet, AICP, Town Consultant Planner  
Subject: Comments on Oxford Street Apartments

Below are my comments on the Oxford Street Apartment Site Plan Application:

1. Comprehensive Plan

The Future Land Use Map designation for the property is MDR, Medium Density Residential. The Future Land Use Map designation MDR, Medium Density Residential needs to be added the Sheet C3.0

The Future Land Use Map designation of MDR, Medium Density allows up to 8 dwelling units acre. The subject property is 3.19 acres, which would allow for 19 dwelling units to be built on the property. The Oxford Street Apartments is proposed for 19 dwelling units, which maximum number of dwelling units that can be built on the site, without a Future Land Use Map amendment.

The Comprehensive Plan Policy D.1.3.1 requires development to connect the Town's water and sewer system. Prior to approval of the site plan application, all issues related to connection of the proposed apartments to the Town's water and sewer system need to be resolved and signed off by Director of Public Works and the Town's consultant engineers to assure the comments of the Public Works Director and Town's engineers has been complied with.

2. Zoning

The zoning of the property is R-3. The applicant has not submitted an application for rezoning. The note on Sheet C3.0 related to "Proposed Zoning" needs to be deleted.

A permitted use in the R-3 zoning district is multi-family development. The density of the multi-family development must comply with the Future Land Use Map (FLUM) designation of the property. With the FLUM designation of MDR, the maximum number of dwelling units allowed on the site is 19, even if the R-3 zoning could permit additional units.

:

## **Setbacks**

The development must meet minimum setbacks of the R-3 zoning district which are:

Front - 25 feet.

Side - The sum of both side yards shall be 25 feet; however, no side yard shall be less than ten feet in width.

Rear - 30 feet.

The project has frontage on Oxford Street and West Seventh Street and therefore has 2 front yards that must meet the 25 ft. setback requirement. The proposed site plan meets the minimum setback requirement of 25 ft, on the front and also has 25 ft on the side yard setback, exceeding the minimum required. The site plan also exceeds the minimum rear yard setback of 30 ft.

## **Minimum lot width**

The development minimum lot width must exceed 70 feet. The property has exceeds the minimum lot width of 70 feet on both Oxford Street and West Seventh Street frontages.

## **Minimum lot area**

The minimum lot area for the development must exceed 7,000 square feet. The property exceeds the minimum lot area of 7,000 s.f. The property is 138,986 s.f.

## **Maximum lot coverage.**

Maximum lot coverage by all buildings and accessory structures shall not exceed 35 percent of lot area. The proposed lot coverage is 11.6%

## **Off-Street Parking**

The development needs to have a minimum of 40 parking spaces, 2 of which must be handicapped accessible. The site plan proposes 40 parking spaces of which 2 are handicapped accessible, but the handicapped spaces do not meet the Florida Building Code, which requires the spaces to be a minimum of 12 ft. wide. The site plan indicates the spaces are 9 ft. wide. The site plan needs to be revised to meet the minimum size of the Florida Building Code.

### **3. School Concurrency**

The project will need to receive concurrency from the Nassau County School Board. A building permit cannot be issued on the development without a concurrency certificate from the School Board. If there is not capacity available, the applicant will be required to enter into an agreement with the School Board to add capacity to the area school.



FOR OFFICE USE ONLY

File # 20230330
Application Fee: \$300 CK# 3362
Filing Date: 3/30/23 Acceptance Date:

Town of Hilliard
Concurrency Application

A. PROJECT

- 1. Project Name: Oxford Ponte
2. Address of Subject Property: Oxford St.
3. Parcel ID Number(s) 08-3N-24-2380-0063-0010
4. Existing Use of Property: Vacant
5. Future Land Use Map Designation: Med density multifamily
6. Existing Zoning Designation: R3
7. Acreage: 3.18

B. APPLICANT

- 1. Applicant's Status [checked] Owner (title holder) [ ] Agent
2. Name of Applicant(s) or Contact Person(s): David Bishop Jr. Title:
Company (if applicable):
Mailing address: 15977 CR108
City: Hilliard State: FL ZIP: 32046
Telephone: (904) 483-6440 FAX: ( ) e-mail: wbcbuilder@gmail.com

- 3. If the applicant is agent for the property owner\*:
Name of Owner (title holder):
Company (if applicable):
Mailing address:
City: State: ZIP:
Telephone: ( ) FAX: ( ) e-mail:

\* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

C. PROJECT DESCRIPTION

Water and Sewer Service Provider Tawn Electric Service Provider ORPMC

- 1. Residential- Dwelling Units 19
- 2. Non- Residential - S.F. of Building \_\_\_\_\_ Number of ERU's (Equivalent Residential Units) 19

D. ATTACHMENTS

- 1. Copy of Warranty Deed or other proof of ownership
- 2. Legal description
- 3. Survey
- 4. Site Plan
- 5. Agent Authorization, if applicant is not owner

E. FEE.

- 1. \$300.

All attachments are required for a complete application. A completeness review of the application will be conducted within fourteen (14) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:

[Signature]  
Signature of Applicant

\_\_\_\_\_  
Signature of Co-applicant

David Bishop Jr  
Typed or printed name and title of applicant

\_\_\_\_\_  
Typed or printed name of co-applicant

3/30/2023  
Date

\_\_\_\_\_  
Date

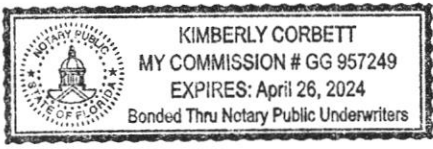
State of Florida County of Nassau

The foregoing application is acknowledged before me this 30<sup>th</sup> day of March, 2023 by David

Bishop Jr., who is/are personally known to me, or who has/have produced Drivers License as identification.

NOTARY SEAL

[Signature]  
Signature of Notary Public, State of Florida





# TOWN OF HILLIARD - SCHOOL IMPACT ANALYSIS (SIA) FORM

## INTRODUCTION

New residential development is required to demonstrate compliance with school concurrency as regulated in Nassau County through the Hilliard Comprehensive Plan Public School Facilities Element and the Interlocal Agreement for Public School Facility Planning adopted by the County on July 14, 2008. No new residential rezoning, preliminary plat, site plan or functional equivalent may be approved by the Town unless the residential development is exempt from requirements outlined in Section 9.13 of the Amended Interlocal Agreement OR a School Concurrency Reservation Letter has been issued by the School Board indicating that adequate school facilities exist.

## Application Process for School Concurrency:

1. Submittal of Development Application, including this School Impact Analysis (SIA) Form.
2. Town Staff transmit SIA to Nassau County School Board.
3. The Nassau County School Board reviews the SIA Form per requirements in the Interlocal Agreement and makes a determination of capacity.
4. If sufficient capacity is available, the School Board will issue a School Concurrency Reservation Letter. This letter indicates only that school facilities are currently available, and capacity is not reserved until the Town of Hilliard issues a Certificate of Concurrency.
5. Upon receipt of a School Concurrency Reservation Letter, the Town of Hilliard will issue a Certificate of Concurrency for the development. Certificates are valid for a two (2) year period. Approved construction plans or building permits extend the life of the certificate concurrent with the expiration of the applicable plan or permit.
6. If sufficient capacity is not available, the School Board will issue a Concurrency Deficiency Letter, at which time the applicant will be offered the opportunity to enter into a negotiation period to allow time for the mitigation process as outlined in the Interlocal Agreement. At the end of the negotiation period, the School Board will issue a School Concurrency Reservation Letter where mitigation has been mutually agreed upon; or if mitigation has not been agreed upon, a School Concurrency Deficiency Letter. If a Reservation Letter is drafted, the County will issue a subsequent Certificate of Concurrency.

## KEY CONTACTS

Janis Fleet, Land Use Administrator at [lwoollitz@townofhilliard.com](mailto:lwoollitz@townofhilliard.com) or 904-845-3555

Owner of Record	As recorded with the Nassau County Property Appraiser
Owner(s) Name <i>David W. Bishop Jr.</i>	
Company (if applicable)	
Street Address <i>15977 CR 148</i>	
City, State, Zip <i>Hilliard, FL 32046</i>	
Telephone Number <i>904-483-6440</i>	
Email Address <i>wbcbuilder@gmail.com</i>	

Applicant or Agent	If an agent will be representing the owner, an Owner's Authorization for Agent form must be included
Applicant or Agent Name <i>Same as owner</i>	
Company (if applicable)	
Mailing Address	
City, State, Zip	
Telephone Number	
Email Address	

Project Information				
PIN: <u>09</u> - <u>3N</u> - <u>24</u> - <u>2380</u> - <u>0063</u> - <u>0010</u>				
Project Address	Oxford St. Hilliard, FL 32046			
Access Road	Name: <u>Oxford St.</u> <input checked="" type="checkbox"/> City/County-Maintained <input type="checkbox"/> Private Road			
Size of Property	3.18	Present Property Use	Vacant med density residential/multifamily	
Zoning District	R3	Future Land Use Map		
Wetlands		Flood Zone	X	Water & Sewer
Town of Hilliard				
Project Description (use separate sheet if necessary): 19 unit multifamily 3 bed a. 2 bed units				
Number of Dwelling Units Proposed (Total): <u>19</u>				
Number of Dwelling Units Proposed (By Type):				
Single-Family Detached:				
Single-Family Attached:				
Multi-Family:				
List any applications under review or approved which may assist in the review of this application: Site Plan Application				
<b>I HEREBY CERTIFY THAT ALL INFORMATION IS TRUE AND CORRECT</b>				
I understand that reasonable inspections of the project may be made as part of the application review process. I understand that I will incur any costs associated with third-party review fees. I also understand that any material misrepresentations or errors contained in this application or supporting documents may void an approved application, at the reasonable determination of the Town considering the Land Development Code, Comprehensive Plan, and other applicable regulations.				
David Bishop Jr				3/10/2023
PRINT		SIGNATURE		DATE

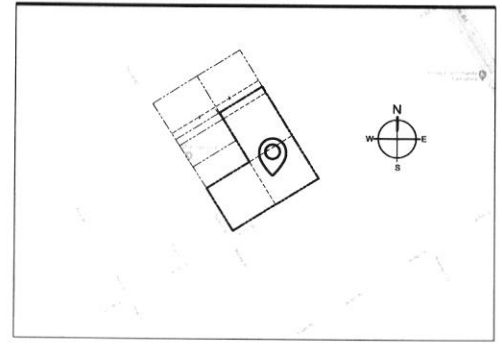


# OXFORD POINTE

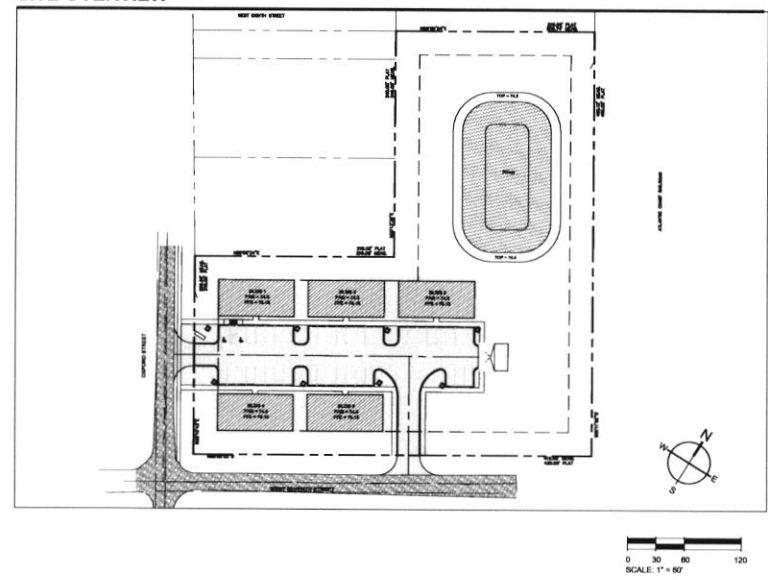
## TOWN OF HILLIARD, FL

PARCEL ID# 08-3N-24-2380-0063-0010

**SITE LOCATION MAP**



**SITE OVERVIEW**



**PROJECT DESCRIPTION**

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A PROPOSED MULTI FAMILY DEVELOPMENT. SITE IMPROVEMENTS INCLUDE NEW PARKING AREAS, SIDEWALKS AND BUILDINGS WITH ASSOCIATED INFRASTRUCTURE INCLUDING UTILITIES, STORMWATER MANAGEMENT POND AND LANDSCAPING.

**GENERAL NOTES**

ALL ELEVATIONS ARE BASED ON THE BOUNDARY SURVEY PREPARED BY GLASS LAND SURVEYING, LLC. DATED JANUARY 15, 2022. ELEVATIONS ARE BASED OFF THE NAD83 DATUM.

**PARCEL DESCRIPTION:**  
 ALL OF LOTS 1, 2 AND 4, BLOCK 83, INCLUDING THE SOUTHERLY 30 FOOT OF WEST EIGHTH STREET (CLOSED PER DEED), BEING NORTH OF THE NORTH LOT LINE OF SAID LOT 4, ACCORDING TO PLAT RECORDED IN PLAT BOOK 1, PAGE 28, OF THE PUBLIC RECORDS OF NASSAU COUNTY, IN THE TOWN OF HILLIARD, NASSAU COUNTY, FLORIDA.

**SHEET INDEX**

NO.	DESCRIPTION	DATE
C1.0	TITLE SHEET	
C1.1	GENERAL NOTES	
C2.0	EXISTING CONDITIONS (PRE DEVELOPMENT)	
C3.0	SITE PLAN	
C4.0	GRADING PLAN	
CA.1	DRAINAGE PLAN	
CA.2	POST DEVELOPMENT PLAN	
C5.0	UTILITY PLAN	
C6.0	SITE DETAILS	
CS.1	WATER AND SEWER DETAILS	
CT.0	EROSION CONTROL DETAILS	
C7.1	ESC PLAN	
CS.0	SWPPP-1	
CS.1	SWPPP-2	
CS.0	LANDSCAPE PLAN	

**PROJECT CONTACTS**

**OWNER/DEVELOPER:**  
 DAVID WAYNE BISHOP JR.  
 CALLIE KAY BISHOP

**CIVIL ENGINEER:**  
 PZ CIVIL ENGINEERING, LLC  
 9629 ARVYLE FOREST BLVD, UNIT B2 #456  
 JACKSONVILLE, FL 32222  
 CONTACT: PAUL TALBERT, PE  
 PHONE: (904) 885-0188

**SURVEYOR:**  
 GLASS LAND SURVEYING, LLC  
 23884 CRESCENT PARK COURT,  
 FERNANDINA BEACH, FLORIDA 32034  
 (904) 251-0128 \* CELL (904) 370-0318

**MUNICIPAL CONTACT:**  
 (UTILITY AND LAND DISTURBANCE):  
 TOWN OF HILLIARD UTILITY SERVICES  
 15859 WEST CR 108  
 HILLIARD, FL 32048  
 CONTACT: MR. RICHIE ROWE  
 PHONE: 904.845.3555

**TOWN OF HILLIARD**  
 15859 WEST CR 108  
 HILLIARD, FL 32048  
 CONTACT: LEE ANNE WOLLUTZ  
 PHONE: 904.845.3555

**P<sup>2</sup>**  
 CIVIL ENGINEERING, LLC  
 9629 ARVYLE FOREST BLVD,  
 UNIT B2 #456 JACKSONVILLE, FL 32222  
 (904) 885-0188

NO.	DESCRIPTION	DATE
A	TOWN OF HILLIARD/OWNER	12/28/22

**CLIENT:**  
 WYANE BISHOP  
**PROJECT ADDRESS:**  
 OXFORD STREET  
 HILLIARD, FLORIDA

**PROJECT TITLE:**  
 OXFORD POINTE  
**SHEET TITLE:**  
 TITLE SHEET

DESIGN:	REVIEWED:
DRAWN:	
SCALE:	DATE:
AS SHOWN	12/28/22

**C1.0**  
 PROJECT NUMBER  
 2022-105

AFTER RECORDING RETURN TO:  
Meridian Title Corporation  
405 S. Second Street  
Elkhart, IN 46516  
File No. 21-49353

This document prepared by:  
Heather Mayer, Esq.  
8940 Main Street  
Clarence, NY 14031  
866-333-3081

Tax ID No.: 08-3N-24-2380-0063-0010

### WARRANTY DEED

STATE OF FLORIDA  
COUNTY OF NASSAU

THIS DEED made and entered into on this 19 day of April, 2022, by and between **First Coast, Inc.**, located at 96235 Glenwood Road, Yulee, FL 32097 hereinafter referred to as Grantor(s) and **David W. Bishop Jr. and Callie Kay Bishop, husband and wife**, residing at 15977 County Road 108, Hilliard, FL 32046, hereinafter referred to as Grantee(s).

WITNESSETH: That the said Grantor(s), for and in consideration of the sum of One Hundred Forty Five Thousand and 00/100 Dollars (\$145,000.00), cash in hand paid, the receipt of which is hereby acknowledged, have this day given, granted, bargained, sold, conveyed and confirmed and do by these presents give, grant, bargain, sell, convey and confirm unto the said Grantee(s) the following described real estate located in Nassau County, Florida:

**Lots One (1), Two (2) and Four (4) of Block Sixty-three (63), Town of Hilliard, Nassau County, Florida.**

**And 210' X 30' of Eighth Street from the West Right of Way line of Oxford Street to the railroad property line adjoining**

Prior instrument reference: Book 2244, Page 1373, Recorded: 12/20/2018

This conveyance is subject to easements, covenants, conditions, restrictions, reservations, and limitations of record, if any.

TO HAVE AND TO HOLD the lot or parcel above described together with all and singular the rights, privileges, tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining unto the said Grantee and unto the heirs, administrators, successors or assigns, of the Grantee, forever in fee simple.

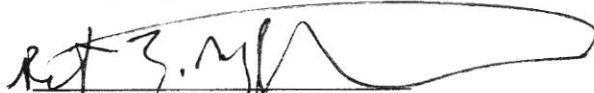
GRANTOR(S) hereby covenant with and represent unto the said Grantee(s) and unto her/his/their successors or assigns, that he/she/they is/are lawfully seized in fee simple of the lot or parcel of land above described; that the same is free from all liens and encumbrances except ad valorem taxes for the current tax year and subsequent years, restrictions, restrictive covenants and easements of record, if any;

that he/she/they has/have a good and lawful right to sell and convey the same as aforesaid and that he/she/they will forever warrant and defend the title to same unto the said Grantee(s) and unto his/her/their successors or assigns, except as to said taxes, restrictions, restrictive covenants and easements of record, if any.


**This is not the homestead property of the Grantor or his/her spouse.**

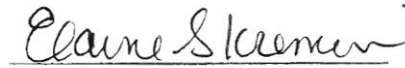
IN WITNESS WHEREOF, the said Grantor(s) has/have hereunto set his/her/their hand(s) and seal(s) on this 19 day of April, 2022.

**First Coast, Inc.**

  
NAME: Robert E. Moneyhan  
TITLE: President

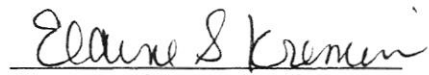
Signed, sealed and delivered in the presence of:  
Witnesses:

  
Signature  
Print Name: Nicole Beams

  
Signature  
Print Name: Elaine G. Kremin

STATE OF FLORIDA  
COUNTY OF NASSAU

The foregoing instrument was acknowledged before me by means of  physical presence or [ ] on-line notarization, this 19 day of April, 2022 by Robert E. Moneyhan as President of **First Coast, Inc.** He/She/They is/are personally known to me or who has produced Driver's License (type of identification) as identification.

  
Signature of Notary Public  
Print Name: Elaine G. Kremin  
My commission expires: 01/29/2023

**ELAINE G. KREMIN**  
Notary Public, State of Florida  
My Comm. Expires 01/29/2023  
Commission No. GG284605





# The Nassau County School District

1201 Atlantic Avenue  
Fernandina Beach, Florida 32034

Kathy K. Burns, Ed.D.  
Superintendent of Schools

(904) 491-9900  
Fax (904) 277-9042  
info@nassau.k12.fl.us

May 10, 2023

Lee Anne Wollitz, Land Use Administrator  
Town of Hilliard  
PO Box 249  
15859 West CR 108  
Hilliard, FL 32046

SUBJECT: RESERVATION NOTIFICATION

Dear Ms. Wollitz:

Pursuant to Section 9 of the Amended Interlocal Agreement for Public School Facility Planning, any developer submitting a development permit application with a residential component that is not exempt under Section 9.13 of the same agreement, is subject to school concurrency and must prepare and submit a School Impact Analysis to the local government, as applicable, for review by the School Board. The local government shall initiate the review by determining that the application is sufficient for processing. Upon determination of application sufficiency, the local government shall transmit the School Impact Analysis to the School Board representative for review.

Subsequent to the School Board review and notification to applicant, such concurrency reservation remains valid for a period of two years or until such time as the permitting documents remain valid. During this two year period, the applicant may obtain construction plan approval or a building permit, as applicable, for horizontal or vertical construction. Expiration, extension or modification of a residential development shall require a new review for adequate school capacity to be performed by the School Board.

In accordance with Section 9.9 of the Amended Interlocal Agreement for Public School Facility Planning, Reservation is hereby granted to:

Project Name: Oxford Point

PIN: 08-3N-24-2380-0063-0010

Number of Dwelling Units: 19 MF

***Our mission is to develop each student as an inspired life-long learner and problem-solver with the strength of character to serve as a productive member of society.***

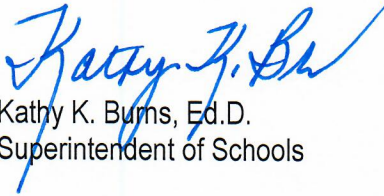
The Nassau County School District does not discriminate on the basis of race, color, national origin, gender, age, disability or marital status in its educational programs, services or activities, or in its hiring or employment practices.

Effective date of permitting documents: 05/09/2023

Expiration date of permitting documents: 05/09/2025

Reservation approval tracking number: 2023SCR0005

Sincerely,



Kathy K. Burns, Ed.D.  
Superintendent of Schools

***Our mission is to develop each student as an inspired life-long learner and problem-solver with the strength of character to serve as a productive member of society.***

The Nassau County School District does not discriminate on the basis of race, color, national origin, gender, age, disability or marital status in its educational programs, services or activities, or in its hiring or employment practices.

# STORMWATER DRAINAGE ANALYSIS AND CALCULATIONS

FOR

ST. JOHNS RIVER WATER MANAGEMENT DISTRICT  
CONCEPTUAL PERMIT AND CONSTRUCTION ERP

AND

TOWN OF HILLIARD DEVELOPMENT REVIEW SERVICES

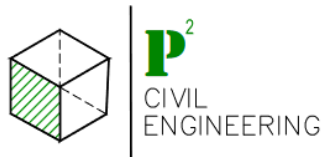
## OXFORD POINTE

FOR

## WAYNE BISHOP CONSTRUCTION

Date: January 2, 2023  
22-125

SUBMITTED BY



9526 Argyle Forest Blvd, Suite B2 #456  
Jacksonville FL, 32222  
Phone: 904-885-0188

**ENGINEER OF RECORD SIGNATURE PAGE**

Project Name: Oxford Pointe P2 Job No. 22-125  
Project Location: Seventh Street at Oxford Street  
Project City/State: Hilliard, Florida  
Computer Programs Used for this report: Microsoft Excel v.2007 and ICPR v3.10 Service Pack 11

**TABLE OF CONTENTS:**

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Introduction		
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Connectivity Diagram		
Control Structure Details (refer to plans)		
Ad-ICPR Node Maximum Report		
Ad-ICPR Link Maximum Report		
Ad-ICPR Input Report		

Portions of pages or sections of this report signed and sealed by Engineer: I, II, III, IV, & V

This report is prepared in general compliance with: *City of Macclenny Unified Land Development Regulations dated 10/31/2020* and *SJRWMD Applicant's Handbook: Regulation of Stormwater Management Systems, dated 10/1/2013* and is not intended for any other agency or purpose.

**P2 Civil Engineering, LLC**  
9526 Argyle Forest Blvd, Suite B2 #456  
Jacksonville FL, 32222  
Phone (864) 298-0534

_____ Signature	_____ Date
_____ Paul A. Talbert, P.E. Engineer of Record	_____ 78656 Florida P.E. No.



**SECTION I  
NARRATIVE**

**Oxford Pointe**  
SW PROJECT NO. 22-125

INTRODUCTION

The proposed Oxford Pointe project consists of 19 multi-family units with associated parking aisles, utilities and a stormwater management facility. The project site is 3.18 acres (1.06 impervious acres) and is situated within Section 8, Township 2 North, Range 24 East in the Town of Hilliard, Florida. The site, identified as Nassau County tax parcel number 08-3N-24-2380-0063-0010, is located on the NE corner of Seventh Street and Oxford Street.

DESIGN METHODS

**Town of Hilliard Design Criteria** – Methodology and design specifications for wet detention ponds obtained from the SJRWMD’s *Applicants Handbook: Regulation of Stormwater Management Systems (Oct. 1, 2013)* were utilized to determine the required treatment volume, permanent pool volume and recovery time for each of the proposed ponds. SCS Curve Number methodology and SCS Type II Florida Modified storm for rainfall distribution were used to analyze the existing and proposed hydrologic characteristics of the site. The rainfall depths were obtained from the isopleth maps for the mean annual, 5-year and 25-year, 24-hour storm events.

**Design Software** – Streamline Technology’s Advanced Interconnected Channel and Pond Routing (Ad-ICPR) version 3.10 service pack 11 software was used to model the hydrological characteristics of the existing and proposed site.

**Numerical Modeling** – ICPR modeling of the post-developed conditions was based on discharging stormwater runoff generated on the project site to the proposed stormwater management facility. Tailwater conditions for all storm events utilized in the numerical modeling scenarios were assumed to be at an elevation of 5’ below the existing grades onsite.

**Vertical Datum** – The vertical data (stages, inverts, etc.) presented in the enclosed calculations are based on the NAVD 88 Datum.

PREDEVELOPMENT CONDITIONS

The existing site consists of upland, wooded area adjacent to the railroad. Based on the Soil Survey Data provided for the site, the majority of the soil in the upland areas is Boulogne Fine Sands. This soil is classified as type B/D soil – with the more conservative type D soil classification utilized in the calculations. This soil has a general depth to water table of 0.5-2.0 feet below grade.

Based on the topographic survey, the site slopes from NW to the SE (towards the railroad and Seventh Street).

POST-DEVELOPMENT CONDITIONS

The proposed site will consist of 19 multi-family units with associated parking aisles, utilities and a stormwater management facility. The proposed developed area will be drain to the proposed wet detention facility. The impervious ratio is 33% over the total project area (excluding the pond). The proposed stormwater management facility will allow runoff to attenuate within the pond and be discharged onsite to maintain existing drainage patterns.

PRE/POST COMPARISON SUMMARY

The pre/post comparison summary at the boundary condition is as follows:

Property Edge		
Storm Event	Flow (cfs)	
	Pre	Post
25-year	7.27	7.17
5-year	4.49	4.18
Mean Annual	2.94	2.48

OPERATION AND MAINTENANCE PLAN

Erosion control measures will be implemented during construction to maintain existing water quality of the surrounding areas. These measures may include, but are not limited to, seed & mulch, silt fences, turbidity barriers, and coir bales as may be necessary.

Oxford Pointe, LLC will be the maintenance and operation entity and will be responsible for the maintenance and operation of the proposed stormwater management facility. Maintenance of the pond shall be in the form of maintaining a vegetated cover over all pond slopes to the waters edge and inspecting the outfall control structure periodically to remove any collected debris and ensure that the pond is recovering the treatment volume within the designated time frame. Inlets should be kept free of excessive debris which could inhibit the drainage function of the system or convey sediment to the points of discharge.

**SECTION II**  
**PREDEVELOPMENT DRAINAGE**  
**CALCULATIONS**



## Stormwater Drainage Calculations

Project: Oxford Pointe  
 Comp. By: Paul Talbert, PE

Proj. No.: 22-125  
 Date: 1/1/2023

### Predevelopment Drainage Calculations

The following site data is associated with the predevelopment drainage basin **Basin PRE-A**

#### Predevelopment Drainage Area

Basin Area (ac.)	Wetland Area (ac.)		Impervious Area (ac.)		Pervious Area (ac.)	
3.18	0.00	0.0%	0.00	0.0%	3.18	100.0%

#### Predevelopment Composite Curve Numbers

Ground Cover		Soil Group	Soil Type	CN	Area	Total Area	Weight CN
Woods	Fair	A	Sandy	39	0.00	3.18	0
Woods	Fair	B/D	Sandy	80	3.18	3.18	80
Woods	Fair	C	Sandy	74	0.00	3.18	0
Wetlands		--	Sandy	95	0.00	3.18	0
Impervious		--	Sandy	98	0.00	3.18	0
<b>TOTALS</b>							<b>80</b>

Soil No.	Hydro Group	Area (Ac.)
24	B/D	0.11
36	B/D	3.07

Total            3.18

#### Predevelopment Composite Runoff Coefficients

Ground Cover		Soil Group	Soil Type	'c'	Area	Total Area	Weight 'c'
Woods	Fair	A	Sandy	0.10	0.00	3.18	0.00
Woods	Fair	B/D	Sandy	0.10	3.18	3.18	0.10
Woods	Fair	C	Sandy	0.10	0.00	3.18	0.00
Wetlands		--	Sandy	0.90	0.00	3.18	0.00
Impervious		--	Sandy	0.95	0.00	3.18	0.00
<b>TOTALS</b>							<b>0.10</b>



## Stormwater Drainage Calculations

Project: Oxford Pointe  
 Comp. By: Paul Talbert, PE

Proj. No.: 22-125  
 Date: 1/1/2023

### Predevelopment Time of Concentration

Time of concentration is mainly determined based on the overall flow length, slope, and average velocity of flow of the stormwater runoff in the watershed basin. Runoff typically occurs via sheet flow but after a maximum of 300 lineal feet of flow length, sheet flow typically becomes shallow concentrated flow. Both sheet flow and shallow concentrated flow shall be considered when determining the time of concentration.

Sheet Flow travel time is determined using the Manning-Kinematic wave equation:

$$T_t = \frac{0.007 (n L)^{0.8}}{(P_2)^{0.5} (S)^{0.4}}$$

- where:
- n = Manning's roughness coefficient\* = **0.80**  
*\*From Table 3-1 in TR-55 for Woods (Dense Underbrush)*
  - P<sub>2</sub> = 2-yr. 24-hr. rainfall depth (in) = **5.0**
  - L = Flow length (ft)
  - S = Average slope along flow length (ft/ft)
  - T<sub>t</sub> = Travel Time (hr)

Shallow Concentrated Flow travel time is a ratio of flow length to flow velocity:

$$T_t = \frac{L}{3600 * v}$$

- where:
- L = Flow length (ft)
  - v = Average flow velocity\*\* (ft/s)  
*\*\*From Figure 3-1 in TR-55 for unpaved surface conditions*
  - T<sub>t</sub> = Travel Time (hr)

Total Flow Length; L (ft)	Sheet Flow Length; L (ft)	Shallow Conc. Flow Length; L (ft)	Sheet Flow Tc				Shallow Conc. Flow Tc					Total Tc; T <sub>t</sub> (min)
			Begin Elev. (ft)	End Elev. (ft)	Slope; S (ft/ft)	Sheet Flow Tc; T <sub>t</sub> (hr)	Begin Elev. (ft)	End Elev. (ft)	Slope; S (ft/ft)	Average Velocity; v (ft/s)	Conc. Flow Tc; T <sub>t</sub> (hr)	
<b>466</b>	<b>100</b>	<b>366</b>	<b>74.2</b>	<b>72.7</b>	<b>0.015</b>	<b>0.56</b>	<b>72.7</b>	<b>70.5</b>	<b>0.006</b>	<b>1.250</b>	<b>0.08</b>	<b>38</b>

### Predevelopment Peak Rating Factor

Based on the existing slope of the lands and the possibility of infiltration in the upland areas, a peak rating factor of 256 is assumed.

**SECTION III**  
**POST-DEVELOPMENT DRAINAGE**  
**CALCULATIONS**





**SECTION IV**  
**STORMWATER MANAGEMENT**  
**FACILITY DESIGN**



## Stormwater Drainage Calculations

Project: Oxford Pointe Proj. No.: 22-125  
 Comp. By: Paul Talbert, PE Date: 1/2/2023

### Stormwater Management Facility Calculations for **Wet Detention**

**Determine the Required Treatment Volume (Wet Detention):**

- Option 1 - 1.0-inch of runoff over the entire drainage area
- Option 2 - 2.50-inches of runoff over the total impervious area (excluding water bodies)

	Drainage Area (ac)	Treatment Depth (in)	Treatment Depth (ft)	Treatment Volume (ac-ft)
Option 1	3.18	1.0	0.083	0.27
Option 2	1.06	2.50	0.208	0.22

If proposed site is discharging to a Class II Waterway, then 50% additional treatment volume is required

Proposed site **DOES NOT** discharge to a Class I, II, III or OFW Waterway, therefore **0.00** ac-ft will be added

Total Required Treatment Volume = **0.27** ac-ft

**Determine the Required Permanent Pool Volume (Wet Detention):**

Per SJRWMD Applicant's Handbook Equation 29-4:

$$PPV = \frac{DA * C * R * RT}{WS * CF}$$

where:

- Drainage Area (DA) = **3.18** acres
- Runoff Coefficient (C) = **0.53**
- Wet Season Rainfall Depth (R) = 30 in
- Residence Time (RT)\* = **21** days
- Littoral Zone is **not** provided*
- Length of Wet Season (WS) = 153 days
- Correction Factor (CF) = 12 in/ft

Total Required Permanent Pool Volume = **0.58** ac-ft

**Provided Storage from SWMF:**

**Stage / Storage Relationship\*:**

Stage (ft)	Area (ft <sup>2</sup> )	Area (acres)	Storage (ac-ft)	TV Storage (ac-ft)	Comments
				-	
65.50	5,068	0.12	0.00	-	
67.50	7,684	0.18	0.29	-	
69.50	10,703	0.25	0.71	-	
<b>71.50</b>	<b>14,123</b>	<b>0.32</b>	<b>1.28</b>	0.00	NWL
<b>71.53</b>	<b>14,197</b>	<b>0.33</b>	<b>1.29</b>	<b>1.29</b>	1/2 TV Elev.
<b>71.75</b>	<b>14,859</b>	<b>0.34</b>	<b>1.37</b>	<b>1.37</b>	Weir Elev.
73.50	20,008	0.46	2.07	-	
<b>74.50</b>	22,170	<b>0.51</b>	<b>2.55</b>	-	Top of Bank

Treatment Volume Summary	
Required (ac-ft)	Provided (ac-ft)
<b>0.27</b>	<b>1.37</b>

Permanent Pool Volume Summary	
Required (ac-ft)	Provided (ac-ft)
<b>0.58</b>	<b>1.28</b>

**1/2 TV Calculations:**

- \* 1/2 Required TV = **0.13** ac.-ft.
- \* Obtained by dividing required TV by 2
- \* 1/2 Required TV = **1.29** ac.-ft.
- \* Obtained from stage storage relationship above

**Bleed Down Orifice Sizing for SWMF:**

Determine Flow Rate (Q<sub>d</sub>) to Drain One-Half the Treatment Volume in 24-30 hours

$$Q_d = \frac{TV * 43560}{2 * t * 3600} \quad \text{where:} \quad \begin{array}{l} \text{Treatment Volume (TV)} = 0.27 \text{ ac-ft} \\ \text{Time to Drain 1/2 the TV (t)} = 24.5 \text{ hrs} \end{array}$$

$$Q_d = 0.065 \text{ cfs}$$

Determine Groundwater Flow Rate (Q<sub>GW</sub>) into Pond

$$Q_{GW} = K * i * A$$

where:

Soil Permeability (K) =	1.08	ft/hr	Area of Influence Calculation:
Hydraulic Gradient (i) =	0.01	ft/ft	A = Height of Drawdown (h) * Perimeter of Influence (p)
Area of Influence (A) =	0	ft <sup>2</sup>	h = [(SHWT + SLT)*0.5] - NWL
			h = 0
			p = perimeter of influence (i.e. perimeter @ TOB)
			p = 426 ft

$$Q_{GW} = 0.000 \text{ cfs}$$

Determine Total Required Flow Capacity (Q<sub>t</sub>)

$$Q_t = Q_d + Q_{GW}$$

$$Q_t = 0.065 \text{ cfs}$$

Water Table Data (per USGS Report)
SHWT = 71.00 ft
SLT = 70.50 ft
NWL = 71.50 ft

Determine Depth of Water (H)

$$H = \frac{H_1 + H_2}{2}$$

where:

Depth of water between Weir Elev. and NWL (H <sub>1</sub> ) =	0.25	ft
Depth of water between 1/2 TV Elev. and NWL (H <sub>2</sub> ) =	0.03	ft

$$H = 0.1375 \text{ ft}$$

Determine Effective Length (L<sub>e</sub>) of Rectangular Weir

$$L_e = \frac{Q_t}{C * H^{1.5}}$$

where: Weir Coefficient (C) = 3.3

$$L_e = 0.389 \text{ ft}$$

Determine Measured Length (L) of Rectangular Weir

$$L = L_e + (0.1 * N * H)$$

where: N = 2.0 for contracted weir

$$L = 0.416 \text{ ft} = \underline{\underline{5.00 \text{ inches}}}$$

Determine adjusted weir elevation to account for groundwater flow

$$H = \left( \frac{Q_{GW}}{C * L_e} \right)^{2/3}$$

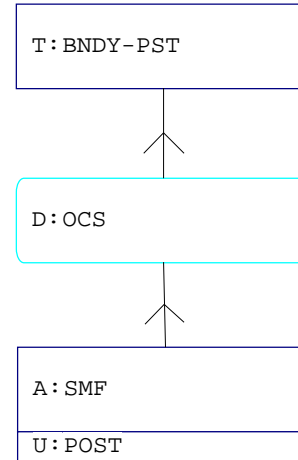
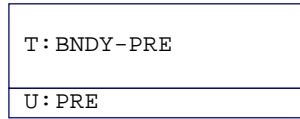
Adjust weir elevation = 71.50 ft

$$H = 0.00 \text{ ft}$$

Use a 5.00 inch wide rectangular weir at elevation 71.50 ft to recovery provided treatment volume

**SECTION V**  
**NUMERICAL MODELING**

- Nodes
  - A Stage/Area
  - V Stage/Volume
  - T Time/Stage
  - M Manhole
- Basins
  - O Overland Flow
  - U SCS Unit CN
  - S SBUH CN
  - Y SCS Unit GA
  - Z SBUH GA
- Links
  - P Pipe
  - W Weir
  - C Channel
  - D Drop Structure
  - B Bridge
  - R Rating Curve
  - H Breach
  - E Percolation
  - F Filter
  - X Exfil Trench



Name	Group	Simulation	Max Time Stage hrs	Max Stage ft	Warning Stage ft	Max Delta Stage ft	Max Surf Area ft2	Max Time Inflow hrs	Max Inflow cfs	Max Time Outflow hrs	Max Outflow cfs
BNDY-PRE	BASE	25-YR	0.00	70.50	0.00	0.0000	0	12.34	7.27	0.00	0.00
BNDY-PRE	BASE	5-YR	0.00	70.50	0.00	0.0000	0	12.34	4.49	0.00	0.00
BNDY-PRE	BASE	MA-YR	0.00	70.50	0.00	0.0000	0	12.41	2.94	0.00	0.00
BNDY-PST	BASE	25-YR	0.00	70.50	0.00	0.0000	0	12.33	7.17	0.00	0.00
BNDY-PST	BASE	5-YR	0.00	70.50	0.00	0.0000	0	12.36	4.18	0.00	0.00
BNDY-PST	BASE	MA-YR	0.00	70.50	0.00	0.0000	0	12.41	2.48	0.00	0.00
SMF	BASE	25-YR	12.33	73.35	0.00	0.0050	19043	12.00	18.38	12.33	7.17
SMF	BASE	5-YR	12.36	72.84	0.00	0.0050	17629	12.00	12.02	12.36	4.18
SMF	BASE	MA-YR	12.41	72.49	0.00	0.0050	16677	12.00	8.33	12.41	2.48

Name	Group	Simulation	Max Time Flow hrs	Max Flow cfs	Max Delta Q cfs	Max Time US Stage hrs	Max US Stage ft	Max Time DS Stage hrs	Max DS Stage ft
OCS	BASE	25-YR	12.33	7.17	-0.029	12.33	73.35	0.00	70.50
OCS	BASE	5-YR	12.36	4.18	-0.023	12.36	72.84	0.00	70.50
OCS	BASE	MA-YR	12.41	2.48	0.016	12.41	72.49	0.00	70.50

=====  
 Basins  
 =====

```

Name: POST                      Node: SMF                      Status: Onsite
Group: BASE                     Type: SCS Unit Hydrograph CN

Unit Hydrograph: Uh484          Peaking Factor: 484.0
Rainfall File: Flmod           Storm Duration(hrs): 24.00
Rainfall Amount(in): 0.000     Time of Conc(min): 10.00
Area(ac): 3.180                Time Shift(hrs): 0.00
Curve Number: 85.00           Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00
  
```

-----  
 Name: PRE Node: BNDY-PRE Status: Onsite  
 Group: BASE Type: SCS Unit Hydrograph CN

```

Unit Hydrograph: Uh256          Peaking Factor: 256.0
Rainfall File: Flmod           Storm Duration(hrs): 24.00
Rainfall Amount(in): 0.000     Time of Conc(min): 38.00
Area(ac): 3.180                Time Shift(hrs): 0.00
Curve Number: 80.00           Max Allowable Q(cfs): 999999.000
DCIA(%): 0.00
  
```

=====  
 Nodes  
 =====

```

Name: BNDY-PRE                  Base Flow(cfs): 0.000        Init Stage(ft): 70.500
Group: BASE                    Warn Stage(ft): 0.000
Type: Time/Stage
  
```

Time(hrs)	Stage(ft)
0.00	70.500
100.00	70.500

```

Name: BNDY-PST                  Base Flow(cfs): 0.000        Init Stage(ft): 70.500
Group: BASE                    Warn Stage(ft): 0.000
Type: Time/Stage
  
```

Time(hrs)	Stage(ft)
0.00	70.500
100.00	70.500

```

Name: SMF                      Base Flow(cfs): 0.000        Init Stage(ft): 71.500
Group: BASE                    Warn Stage(ft): 0.000
Type: Stage/Area
  
```

Stage(ft)	Area(ac)
71.500	0.3200
74.500	0.5100

=====  
 Drop Structures  
 =====

```

Name: OCS                      From Node: SMF                Length(ft): 220.00
Group: BASE                    To Node: BNDY-PST            Count: 1

UPSTREAM          DOWNSTREAM          Friction Equation: Automatic
Geometry: Circular          Circular          Solution Algorithm: Most Restrictive
Span(in): 24.00           24.00           Flow: Both
Rise(in): 24.00           24.00           Entrance Loss Coef: 0.500
Invert(ft): 71.500        70.500          Exit Loss Coef: 0.200
Manning's N: 0.013000     0.013000        Outlet Ctrl Spec: Use dc or tw
Top Clip(in): 0.000       0.000           Inlet Ctrl Spec: Use dc
Bot Clip(in): 0.000       0.000           Solution Incs: 10
  
```

Upstream FHWA Inlet Edge Description:  
 Circular Concrete: Square edge w/ headwall



Downstream FHWA Inlet Edge Description:  
 Circular Concrete: Groove end projecting

\*\*\* Weir 1 of 2 for Drop Structure OCS \*\*\*

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Rectangular	Orifice Disc Coef: 0.600
Span(in): 5.00	Invert(ft): 71.500
Rise(in): 3.00	Control Elev(ft): 71.500

TABLE

\*\*\* Weir 2 of 2 for Drop Structure OCS \*\*\*

Count: 1	Bottom Clip(in): 0.000
Type: Vertical: Mavis	Top Clip(in): 0.000
Flow: Both	Weir Disc Coef: 3.200
Geometry: Rectangular	Orifice Disc Coef: 0.600
Span(in): 18.00	Invert(ft): 71.750
Rise(in): 21.00	Control Elev(ft): 71.750

TABLE

=====  
 === Hydrology Simulations =====  
 =====

Name: 100-YR  
 Filename: \\SWA-INF-FS01\Users\PaulT\Desktop\Axis Management\Hilliard - Wayne Bishop\Calcs - ICPR\ICPR\100-YR.R32  
 Override Defaults: Yes  
 Storm Duration(hrs): 24.00  
 Rainfall File: Flmod  
 Rainfall Amount(in): 11.30

Time(hrs)	Print Inc(min)
10.000	15.00
15.000	5.00
24.000	15.00

Name: 25-YR  
 Filename: \\SWA-INF-FS01\Users\PaulT\Desktop\Axis Management\Hilliard - Wayne Bishop\Calcs - ICPR\ICPR\25-YR.R32  
 Override Defaults: Yes  
 Storm Duration(hrs): 24.00  
 Rainfall File: Flmod  
 Rainfall Amount(in): 8.70

Time(hrs)	Print Inc(min)
10.000	15.00
15.000	5.00
24.000	15.00

Name: 5-YR  
 Filename: \\SWA-INF-FS01\Users\PaulT\Desktop\Axis Management\Hilliard - Wayne Bishop\Calcs - ICPR\ICPR\5-YR.R32  
 Override Defaults: Yes  
 Storm Duration(hrs): 24.00  
 Rainfall File: Flmod  
 Rainfall Amount(in): 6.10

Time(hrs)	Print Inc(min)
10.000	15.00
15.000	5.00
24.000	15.00

Name: MA-YR  
 Filename: \\SWA-INF-FS01\Users\PaulT\Desktop\Axis Management\Hilliard - Wayne Bishop\Calcs - ICPR\ICPR\MA-YR.R32  
 Override Defaults: Yes  
 Storm Duration(hrs): 24.00  
 Rainfall File: Flmod  
 Rainfall Amount(in): 4.60

Time(hrs)	Print Inc(min)
10.000	15.00

15.000 5.00  
24.000 15.00

=====  
==== Routing Simulations =====  
=====

Name: 100-YR Hydrology Sim: 100-YR  
Filename: \\SWA-INF-FS01\Users\PaulT\Desktop\Axis Management\Hilliard - Wayne Bishop\Calcs - ICPR\ICPR\100-YR.I32

Execute: Yes Restart: No Patch: No  
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500  
Time Step Optimizer: 10.000  
Start Time(hrs): 0.000 End Time(hrs): 24.00  
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000  
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)  
-----  
10.000 15.000  
15.000 5.000  
24.000 15.000

Group Run  
-----  
BASE Yes

-----  
Name: 25-YR Hydrology Sim: 25-YR  
Filename: \\SWA-INF-FS01\Users\PaulT\Desktop\Axis Management\Hilliard - Wayne Bishop\Calcs - ICPR\ICPR\25-YR.I32

Execute: Yes Restart: No Patch: No  
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500  
Time Step Optimizer: 10.000  
Start Time(hrs): 0.000 End Time(hrs): 24.00  
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000  
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)  
-----  
10.000 15.000  
15.000 5.000  
24.000 15.000

Group Run  
-----  
BASE Yes

-----  
Name: 5-YR Hydrology Sim: 5-YR  
Filename: \\SWA-INF-FS01\Users\PaulT\Desktop\Axis Management\Hilliard - Wayne Bishop\Calcs - ICPR\ICPR\5-YR.I32

Execute: Yes Restart: No Patch: No  
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500  
Time Step Optimizer: 10.000  
Start Time(hrs): 0.000 End Time(hrs): 24.00  
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000  
Boundary Stages: Boundary Flows:

Time(hrs) Print Inc(min)  
-----  
10.000 15.000  
15.000 5.000  
24.000 15.000

Group Run  
-----  
BASE Yes

-----  
Name: MA-YR Hydrology Sim: MA-YR  
Filename: \\SWA-INF-FS01\Users\PaulT\Desktop\Axis Management\Hilliard - Wayne Bishop\Calcs - ICPR\ICPR\MA-YR.I32

Execute: Yes      Restart: No      Patch: No  
Alternative: No

Max Delta Z(ft): 1.00      Delta Z Factor: 0.00500  
Time Step Optimizer: 10.000  
Start Time(hrs): 0.000      End Time(hrs): 24.00  
Min Calc Time(sec): 0.5000      Max Calc Time(sec): 60.0000  
Boundary Stages:      Boundary Flows:

Time(hrs)	Print Inc(min)
10.000	15.000
15.000	5.000
24.000	15.000

Group	Run
BASE	Yes



## AGENDA ITEM REPORT

### TOWN OF HILLIARD, FLORIDA

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TO: Planning and Zoning Regular Meeting Meeting Date: June 13, 2023

FROM: **Lee Anne Wollitz- Land Use Administrator**

SUBJECT: Planning and Zoning Board approval of Site Clearing/Site Work Application No. 20230516 Bayfront Grove. Property Owner – Tracey Conner  
Parcel ID No. 08-3N-24-2380-0182-0010

---

#### **BACKGROUND:**

Ms. Tracey Connor has rezoned the property with the Parcel ID No. 08-3N-24-2380-0182-0010 from R-2 to R-3. The parcel is 1.25 acres and is located between New Front Street, Ohio Street, CR 108, and Bay Road. This process was finalized in October 2022. Ms. Conner has plans to add up to 5 houses to the property.

Prior to the issuance of building permits the developer may need to excavate or fill as part of preparing for, or the installation of, infrastructure. Therefore, the builder has filed an application for site clearing/ site work for your consideration.

#### **Town Code: Sec. 62-357. - Excavation and/or filling.**

No excavation or filling or purposes other than the construction of a driveway, walk, swimming pool, a permitted wall or building or part thereof, or accessory thereto, or to remove topsoil from one part of the lands of an owner to another part of the same premises, when such removal is necessary as an accessory use or is for the purpose of farming or improving such property, shall be made unless permission is granted by the planning and zoning board and any necessary state permits are secured, if applicable. Further, excavation or filling new development of any type or the enlargement or alteration of any existing use or structure shall be prohibited in the identified flood hazard areas of the town unless permission is granted by the planning and zoning board and necessary permits are secured from applicable agencies. This does not include ponds and borrow pits.

#### **FINANCIAL IMPACT:**

None

#### **RECOMMENDATION:**

Planning and Zoning Board approval of application No. 20230516 Site Clearing/ Site Work for The Bayfront Grove Project.



FOR OFFICE USE ONLY

ITEM-3

File # 20230516

Application Fee: \$120 cc/ddd

Filing Date: 5/16/23 Acceptance Date: \_\_\_\_\_

# Town of Hilliard Site Clearing/Site Work Application

## A. PROJECT

1. Project Name: Bayfront Grove
2. Address of Subject Property: 175960 Bay Rd
3. Parcel ID Number(s): 08 3N 24 2380 0182 0010
4. Existing Use of Property: VACANT
5. Zoning Designation: R3
6. Description of Work: remove shrubs & small trees
7. Acreage of Parcel: 1.25 acres

## B. Owner

1. Name of Owner(s) or Contact Person(s): Daniel or Tracey Conner Title: \_\_\_\_\_
- Company (if applicable): Conner Development Group
- Mailing address: 1711641 Hodges Rd
- City: Hilliard State: FL ZIP: 32046
- Telephone: (904) 219-3217 FAX: ( ) e-mail: nassau.realtor@yahoo.com

\* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

## D. ATTACHMENTS (One copy plus one copy in PDF format)

### For Site Clearing -

1. Survey of the Site
2. Site Plan indicating proposed work
3. Vicinity map - indicating general location of the site and all abutting streets and properties
4. Legal description with tax parcel number.
5. Warranty Deed or other proof of ownership.
6. Location on any wetlands

**For Site Development (Infrastructure Improvements)**

1. Engineered Construction plans for all infrastructure
2. Vicinity map - indicating general location of the site and all abutting streets and properties
3. Location on any wetlands.
4. St. Johns River Management River Water Management Permit, if applicable.
5. Fee.
  - a. \$100 plus \$20 per acre:

No application shall be accepted for processing until the required application fee is paid in full by the applicant and a \$1,000 refundable deposit is paid by the applicant for time spent by Town staff, consultants, and/or required testing. Any fees necessary for technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

**A completeness review of the application will be conducted within fourteen (14) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.**

**The Town shall work diligently to complete the review of all construction, but due to the workload of consultants and testing agencies, it might take up to 45 days to complete the review.**

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:

Daniel Conner  
Signature of Applicant

\_\_\_\_\_  
Signature of Co-applicant

Daniel Conner  
Typed or printed name and title of applicant

\_\_\_\_\_  
Typed or printed name of co-applicant

5-16-23  
Date

\_\_\_\_\_  
Date

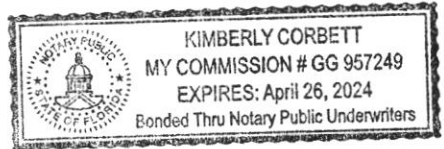
State of Florida County of Nassau

The foregoing application is acknowledged before me this 16<sup>th</sup> day of May, 2023 by Daniel

Conner, who is/are personally known to me, or who has/have produced Drivers License as identification.

NOTARY SEAL

Kimberly Corbett



Signature of Notary Public, State of Florida

#7

SEP. 6-1982 WARRANTY DEED - 120

OFFICIAL RECORDS

FINANCIAL PRINTING COMPANY

33% 368 PAGE 481

# Warranty Deed

THIS INDENTURE, Made this 13th day of August, A.D. 1982 BETWEEN BENJAMIN F. SCOTT, JR.

25

of the County of Nassau, State of Florida, part Y of the first part, and

LOUIS DYAL HODGES AND JANICE J. HODGES  
Rt. 3 Box 877 Hilliard, FLA. 32046

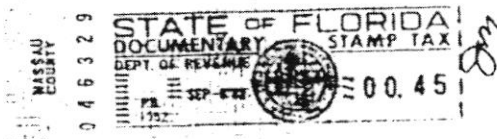
of the County of Nassau, State of Florida, parties of the second part.

WITNESSETH: That the said part Y of the first part, for and in consideration of the sum of TEN AND NO/100 (\$10.00) Dollars,

to it in hand paid by the said parties of the second part, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said parties of the second part, and their heirs and assigns forever, the following described land, situate, lying and being in the County of Nassau, State of Florida, to wit:

Block 182 Lots 1 thru 21-24  
DB 104/67 & Or 328/108  
in the Town of Hilliard according to the plat of the West portion thereof filed in the office of the Clerk of the Circuit Court of the County of Nassau, on the 25th day of April, A. D. 1908.  
All situate, lying and being in the County of Nassau and State of Florida

SPARED BY  
Betty Wingate  
KINGS FERRY  
HILLIARD, FLA. 32046



96730

FILED AND RECORDED

And the said party of the first part doth hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

1982 SEP - 8 PM 1:29

IN WITNESS WHEREOF, the said part Y of the first part do hereby set his hand and seal the day and year first above written.

SIGNED AND SEALED IN OUR PRESENCE:

CARROL E. FRANKLIN (SEAL)  
BENJAMIN F. SCOTT, JR. (SEAL)  
FLOYD D. VANZANT (SEAL)

STATE OF FLORIDA  
COUNTY OF NASSAU

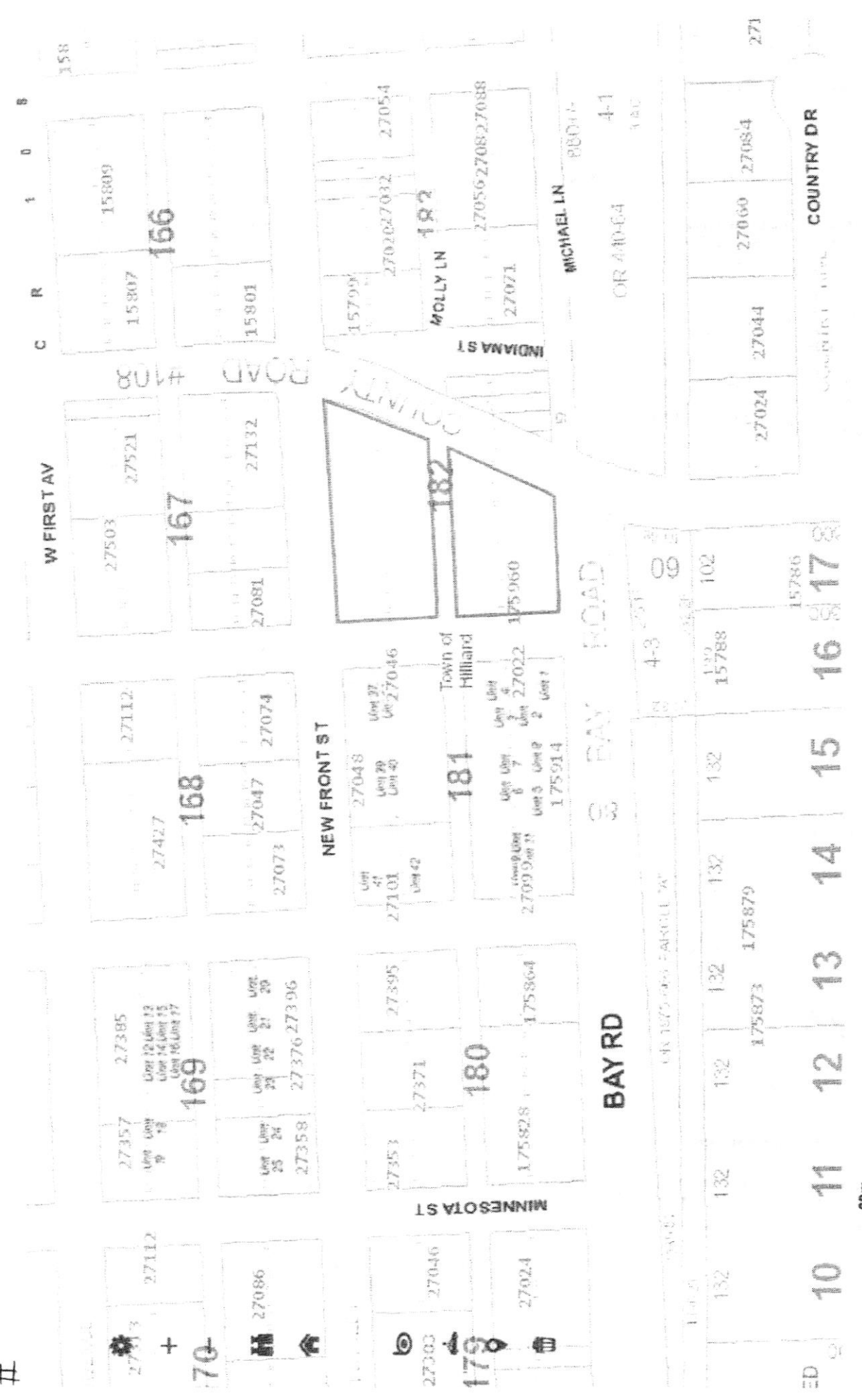
Before me personally appeared BENJAMIN F. SCOTT, JR.

and his wife, to me well known and known to me to be the individual described in and who executed the foregoing instrument, and acknowledged to and before me that he executed the same for the purposes therein expressed.

WITNESS my hand and official seal this 13th day of August 1982 at Nassau County and State aforesaid

Betty D. Wingate  
Notary Public in and for the County and State Aforesaid.  
My commission expires: NOTARY PUBLIC STATE OF FLORIDA AT LARGE  
MY COMMISSION EXPIRES 06/01/1984

h #



1 Results  
 60m  
 200ft



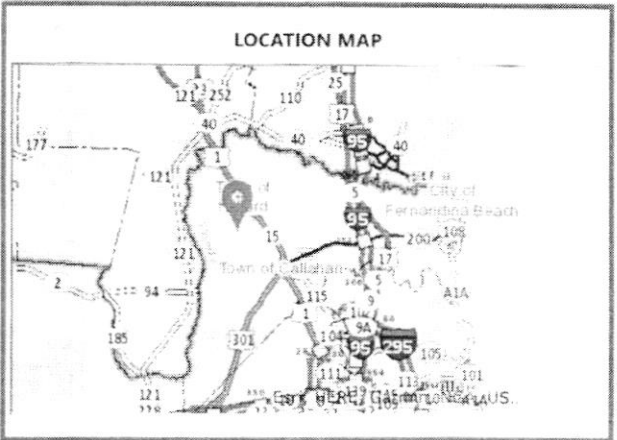
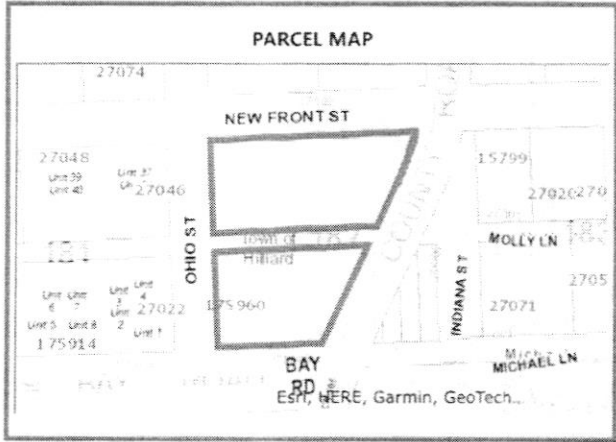
A. Michael Hickox, CFA  
 Cert. Res. RD1941

NASSAU COUNTY  
 PROPERTY APPRAISER

PROPERTY INFORMATION	
<b>Parcel Number</b>	<b>08-3N-24-2380-0182-0010</b>
Owner Name	HODGES LOUIS DYAL & JANICE J
Mailing Address	175960 BAY ROAD
	HILLIARD, FL 32046
Location Address	175960 BAY RD
	HILLIARD 32046
Tax District	HILLIARD
Milage	16.1525
Homestead	Yes
Property Usage	SINGLE FAM 000100
Deed Acres	0
Short Legal	BLK 182 LOTS 1 THRU 26 & PT OF LOT 21 LYING NWLY OF CR#108 TOWN OF HILLIARD WEST S/D OF

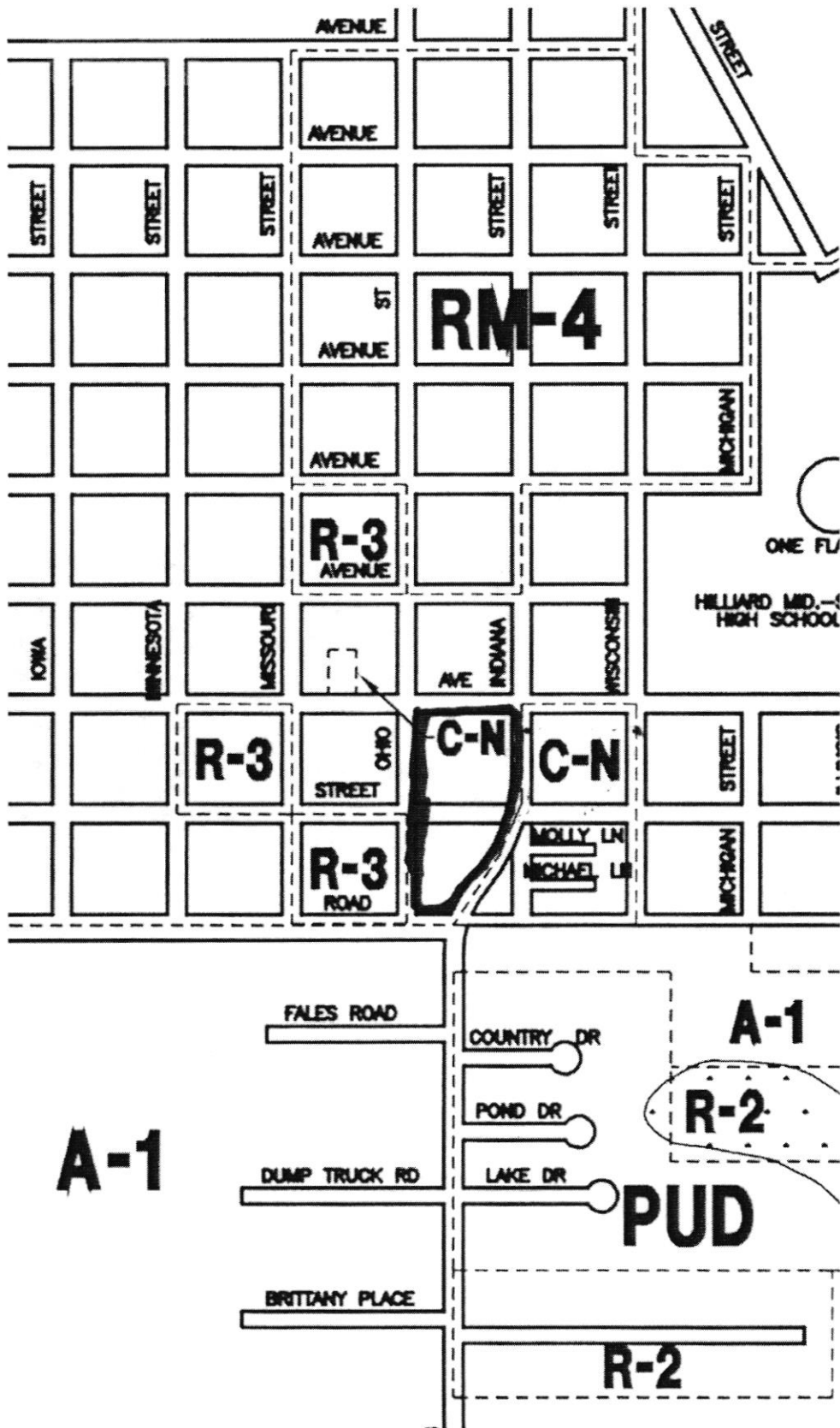
2021 Certified Values	
Land Value	\$0.00
(+) Improved Value	\$0.00
<b>(=) Market Value</b>	<b>\$121,242</b>
(-) Agricultural Classification	\$0.00
(-) SOH or Non-Hx' Capped Savings	\$0.00
<b>(=) Assessed Value</b>	<b>\$72,282</b>
(-) Homestead	\$20,000
(-) Additional Exemptions	\$0.00
<b>(=) School Taxable Value</b>	<b>\$4,700</b>
(-) Non-School HX & Other Exempt Value	\$4,221
<b>(=) County Taxable Value</b>	<b>\$25,900</b>

Note: 1.2% Cap. Add. Not apply to 2021 Taxable Value



BUILDING INFORMATION									
Type	Total Area	Heated Area	Bedrooms	Baths	Primary Exterior	Secondary Exterior	Heating	Cooling	Actual Year Built
SINGLE FAM	2765	2001	5	1	ASB SIDING	COMMON BRK	CONVECTION	NONE	1988

MISCELLANEOUS INFORMATION			
Description	Dimensions L X W	Units	Year Built





# AGENDA ITEM REPORT

## TOWN OF HILLIARD, FLORIDA

TO: Planning and Zoning Regular Meeting Meeting Date: June 13, 2023

FROM: **Lee Anne Wollitz- Land Use Administrator**

SUBJECT: Planning and Zoning Board Recommendation for the Minor Subdivision Application No. 05022023. Property Owner – Wayne and Lauri Higginbotham, Pneuman Homes.  
Parcel ID No. 08-3N-24-2380-0075-0020.

**BACKGROUND:**

In May 2023, Higginbotham filed an application for lot split/reconfiguration for parcel ID No. 08-3N-24-2380-0075-0020.

This parcel is at the dead end of W. 5th Street. That block of W. 5<sup>th</sup> Street is unpaved. There is currently one home on the parcel. The developer has plans to remove and replace the current home with a new build. Also, to add an additional dwelling unit to the second parcel. The current zoning of the property is R-3. Both proposed parcels will meet the zoning requirements for the district.

A development investigation was completed as part of this application. On May 12<sup>th</sup>, the developer was notified of the Public Works findings, the need to consult the engineer concerning the project, and under what circumstances the project would become Common Plan of Development as stated in 62-562.

**FINANCIAL IMPACT:**

None

**RECOMMENDATION:**

Based in the surveys and legal description submitted with the application, staff recommends the Planning and Zoning Board recommend to the Town Council the lot reconfiguration with the compliance with the following conditions:

1. The applicant shall record the lot split with the Clerk of the Court and provide the Town evidence of the recordation.
2. The applicant shall obtain real estate parcel numbers for each parcel from the Property Appraiser and provide those real estate parcel numbers to the Town.
3. Prior to developing each parcel, the applicant/developer would be responsible for any infrastructure required to serve the parcel. All infrastructure improvements are required to meet Town standards.



ITEM-4

**FOR OFFICE USE ONLY**

File # 05022023

Application Fee: \$100 CC AH

Filing Date: 5/23/23 Acceptance Date: \_\_\_\_\_

# Town of Hilliard Lot Split/Reconfiguration Application

(Applicable for creating no more than 2 lots from 1 lot)

**A. PROJECT**

1. Project Name: SOHL Heritage
2. Address of Subject Property: W. 5th Street Hilliard (37382)
3. Parcel ID Number(s): 08-3N-24-2380-0075-0020
4. Existing Use of Property: RS-3
5. Zoning Designation: RS-3
6. Future Land Use Map Designation: Single Family Homes
7. Acreage of Parcel: 1 ACRE

**B. Owner**

1. Name of Owner(s) or Contact Person(s): Wayne Higginbotham Title: Owner  
 Company (if applicable): Pneuman Homes  
 Mailing address: PO BOX 123  
 City: Callahan State: FL ZIP: 32011  
 Telephone: 904 5079827 FAX: ( ) E-mail: pneumanhomes@gmail.com

\* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

**C. ATTACHMENTS** (One copy plus one copy in PDF format)

1. Legal description with tax parcel number.
2. Survey of Existing Property, including all structures and driveways
3. Survey of Proposed Lot Split
4. Warranty Deed or other proof of ownership.

5. Fee - \$100

No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any fees necessary for technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the application.

**A completeness review of the application will be conducted within fourteen (14) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.**

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:

Signature of Applicant

Signature of Co-applicant

Wayne Higginbotham

Typed or printed name and title of applicant

Typed or printed name of co-applicant

5/1/2023

Date

Date

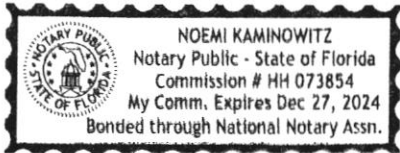
State of Florida County of NASSAU

The foregoing application is acknowledged before me this 1 day of May, 2023 by Wayne

Higginbotham, who is/are personally known to me, or who has/have produced FL DL  
as identification.

Notarize

NOTARY SEAL



Signature of Notary Public, State of Florida

OWN OF HILLIARD

04-845-3555

\*\*\*\* REPRINT RECEIPT\*\*\*\*

EC#: 00161736 5/02/2023 10:52 AM  
PER: AH TERM: 001  
EF#:  
AID BY:

DCT #: XXXX-XXXX-XXXX-8911  
UTH #: 002684  
RAN #: 000000077886

TYPE: PURCHASE  
PP NAME: MasterCard  
ENTRY MODE: CHIP

MOUNT USD\$ 206.00

MV DETAILS:  
C: 4C0447CC4976872C

RAN: 627.0000 W/S SINGLE LOT  
W. FIFTH ST-PNEUMAN HOMES  
W&S SINGLE LOT 100.00CR

RAN: 104.0000 ZONING REVENUE  
LOT SPLIT-PNEUMAN HOMES  
ZONING REVENUE 100.00CR

RAN: 619.0000 CONVENIENCE CHARGE  
CONVENIENCE CHARGE 6.00CR

TENDERED: 206.00 CREDIT CARD  
APPLIED: 206.00-

CHANGE:            0.00

ITEM-4

Prepared by: First Coast, Inc.  
Record and Return to: Wayne and Lauri Higginbotham  
45384 Green Ave., Callahan, FL 32011

### Special Warranty Deed

This Special Warranty Deed made this **February 21, 2019** by **First Coast, Inc., a Florida corporation**, whose mailing address is **PO Box 415, Yulee, Florida 32041**, herein called the "Grantor", to **Wayne Higginbotham and Lauri Higginbotham, (H&W)**, whose mailing address is **45384 Green Ave., Callahan, FL 32011**, hereafter called the "Grantee",

WITNESSETH: That Grantor, for and in consideration of the sum of **TEN AND NO/100 DOLLARS (\$10.00)** and other valuable considerations, receipt whereof is hereby acknowledged by these presents, does grant, bargain and sell unto Grantee, all that certain "parcel, property, land, or lot", situate in Nassau County, Florida, to wit: **37382 5th St. W., Hilliard, Florida 32046 / Tax PARCEL ID # 08-3N-24-2380-0075-0020**  
**See Attached Exhibit "A" - "Description Of Property"**

TOGETHER with all of the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining, all in its current AS / IS condition, and Subject to all matters set forth on **Exhibit "B" attached hereto and made a part hereof** (collectively, the "**Permitted Exceptions**"), provided this shall not serve to reimpose any of the same Permitted Exceptions, TO HAVE AND TO HOLD, the same in fee simple forever. AND, Grantor hereby covenants with the Grantee that Grantor is lawfully seized of said parcel in fee simple; that Grantor has good right and lawful authority to sell and convey said parcel; that Grantor hereby specially warrants that title to said parcel is free from all encumbrances made by Grantor, and Grantor will defend the same against the lawful claims of all persons claiming by, through, or under Grantor, but against none other. (Wherever used herein, the usage of any gender shall be applicable to all genders, and the terms "Grantor" and "Grantee" shall include the singular and the plural, and shall apply to all parties to this instrument, any heirs, legal representatives, or successors.)

IN WITNESS WHEREOF, the Grantor has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed by its proper duly authorized officer on this day, **February 21, 2019**.

Witnesses:

[Signature]  
(witness signature)

Printed name Ge Willis Jr

[Signature]  
(witness signature)

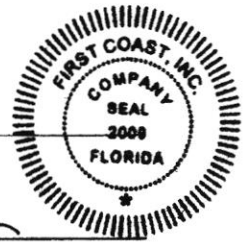
Printed name Sara Simmons

(Corporate Seal)

[Signature]  
First Coast, Inc. (signature)

by Robert E. Moneyhan

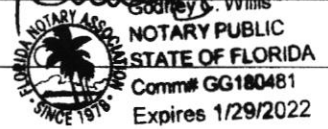
its D.P.S.T.



In the STATE OF FLORIDA and the COUNTY OF NASSAU

The foregoing instrument was acknowledged before me this day, \_\_\_\_\_, by First Coast Inc., a Florida corporation, by Robert E. Moneyhan, its D.P.S.T., and who is personally known or has produced FL Driver License as identification.

Sign Name: [Signature]  
Notary Public  
Print Name: \_\_\_\_\_



(Seal)

My Commission Expires: \_\_\_\_\_ Expires 1/29/2022

## **Exhibit "A"**

### **DESCRIPTION OF PROPERTY**

PROPERTY has the Nassau County Tax PARCEL ID # of: **08-3N-24-2380-0075-0020**,  
and a Postal Address of **37382 5th St. W., Hilliard, Florida 32046**,  
with a Short Legal of: **BLOCK 75 LOT 2 IN OR 2016/971 TOWN OF HILLIARD**,  
in the Official Records books of the Clerk Of Court, Nassau County, Florida.

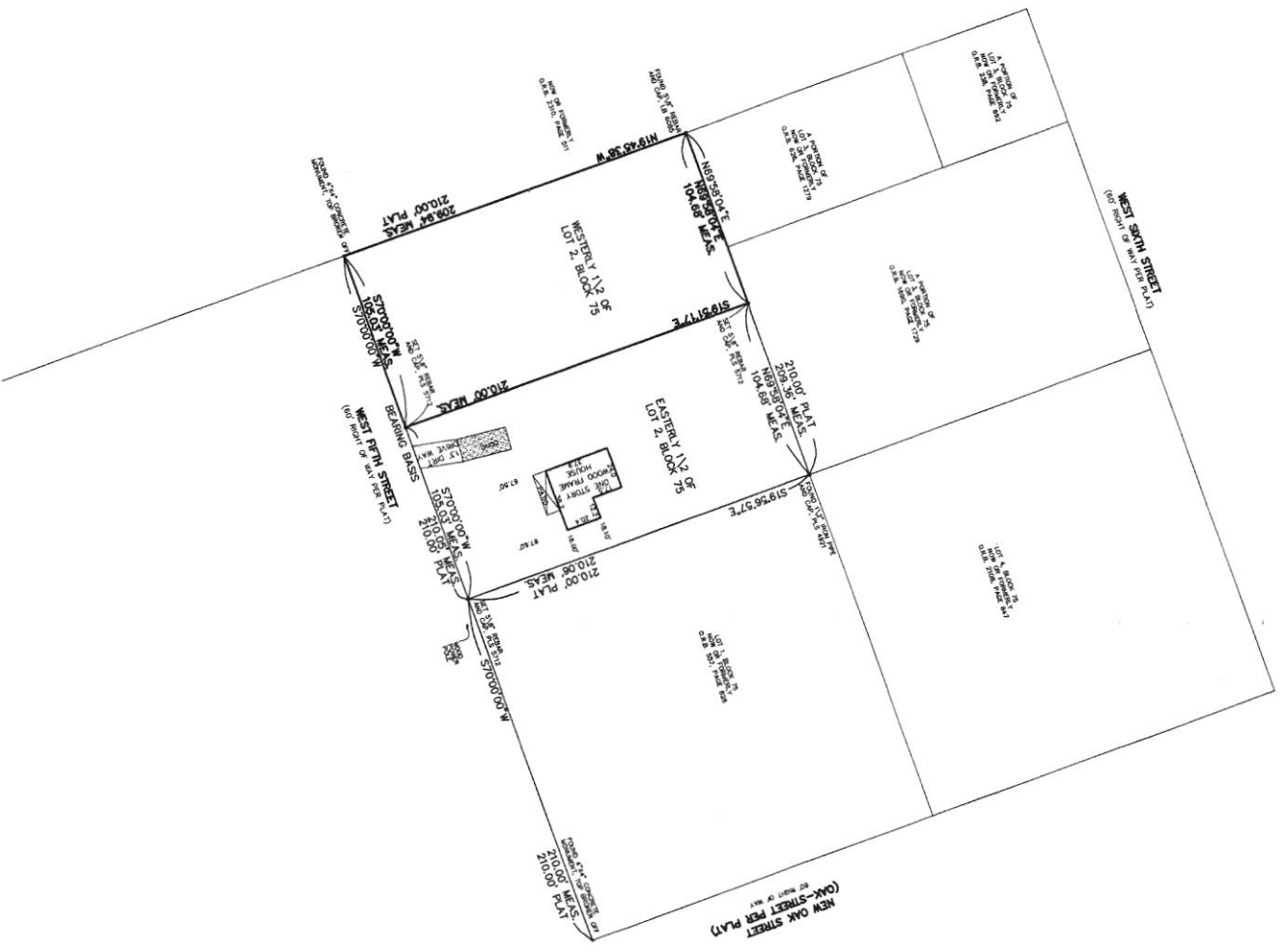
## **Exhibit "B"**

### **PERMITTED EXCEPTIONS (AND ENCUMBRANCES):**

1. The liens of any taxes, assessments, levies or fees due for the current year and subsequent years;
2. Matters that would be shown by an accurate survey and inspection of any of the property;
3. All covenants, restrictions, conditions, easements, reservations, rights-of-way, and any other matters of record, to the extent valid, subsisting and enforceable;
4. Zoning ordinances, regulations, restrictions, licenses, permits, authorizations, requirements, laws, statutes, rules, orders, or similar items (if any), of any governmental agencies or their instrumentalities relating to the property and its usage, the buildings, structures or improvements located thereon (if any), their construction and uses, in force on the date hereof;
5. Any licenses, permits, authorizations, requirements, laws, statutes, rules, orders, ordinances, regulations, restrictions, or similar items (if any) in connection with the conduct of any activity upon the property.



MAP OF BOUNDARY SURVEY  
WESTERLY 1/2 OF LOT 2, BLOCK 75, TOWN OF HILLIARD, ACCORDING TO  
PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 28, OF THE PUBLIC  
RECORDS OF NASSAU COUNTY, FLORIDA.



**SURVEY NOTES:**

- 1) The "Legal Description" hereon is in accord with the description provided by the client.
- 2) Underground improvements were not located or shown.
- 3) Legal claims hereon were not abstracted by this office, for easements, right-of-way, ownership or other instruments of record.
- 4) Bearings based on S 70°00'00" W for the Northerly right of way of West Fifth Street. (Assumed)
- 5) Fences essentially, if applicable, has not been determined by this office. Fences are drawn out of scale in order to accentuate their relationship to property lines. Fences are not shown to be encroachments unless otherwise is apparent.
- 6) Unless it bears the signature and the original red wax seal of the Surveyor, this office does not accept any report in for International purposes only and is not valid.
- 7) The property shown hereon lies within flood zone "X" or per FEMA's Flood Insurance Rate Map, Flood 120882013E, Dated 12-17-2010.
- 8) Unless otherwise noted measured angles and distances are the same as Plot or Deed angles and distances.
- 9) This survey has been performed according to the standard of care for a Professional Surveyor in the State of Florida. Surveyed Accuracy: 1 foot in 19782 feet. GPS files 04-17-04(9) (9) (19) (9)
- 10) All interior lot angles are 90° per plat.

**LEGEND**

CONC. = CONCRETE	CONC. = CONCRETE
EL = ELEVATION	EL = ELEVATION
EL = AIR CONDITIONER	EL = AIR CONDITIONER
EL = COMBUSTIBLE METAL PIPE	EL = COMBUSTIBLE METAL PIPE
EL = ELECTRICAL METER	EL = ELECTRICAL METER
EL = FINISHED FLOOR	EL = FINISHED FLOOR
EL = FIRE HYDRANT	EL = FIRE HYDRANT
EL = CENTRAL AIR/AC	EL = CENTRAL AIR/AC
EL = GAS METER	EL = GAS METER
EL = CHAIN LINK FENCE	EL = CHAIN LINK FENCE
EL = ORBIT INSURANCE	EL = ORBIT INSURANCE
EL = LIGHT POLE	EL = LIGHT POLE
EL = STORM MANHOLE	EL = STORM MANHOLE
EL = TELEPHONE FEDESTAL	EL = TELEPHONE FEDESTAL
EL = WOOD FENCE	EL = WOOD FENCE
EL = WATER METER	EL = WATER METER
EL = WELL	EL = WELL
EL = SEWER MANHOLE	EL = SEWER MANHOLE

**GLASS LAND SURVEYING, LLC**

BY: ALAN FRANKLIN GLASS  
FLORIDA REGISTERED SURVEYOR  
MAPPER CERTIFICATE NO. 9712

GLASS LAND SURVEYING, LLC  
23964 CRESCENT PARKWAY, SUITE 100  
DADE COUNTY, FLORIDA 33024  
(904) 261-0128 • CELL (904) 370-0318  
LICENSE BUSINESS NO. LB 8359

SCALE: 1" = 50'  
DATE: 03-15-22  
DWN BY: AFG  
CDD BY: AFG  
JOB NO: 22-50  
F.B. NO: MAGE  
PAGE NO: 1



# Town of Hilliard Development Investigation Application

FOR OFFICE USE ONLY

ITEM-4

File # 05022023  
Application Fee \$100 CC ✓  
Filing Date: 5/2/23 By: DAJ  
Acceptance Date: \_\_\_\_\_ By: \_\_\_\_\_

**A. PROJECT**

1. Address of Subject Property: <sup>37382</sup> West Fifth Street Hilliard, FL  
2. Parcel ID Number(s): 08-3N-24-2380-0075-0020  
3. Acreage of Project: 1ACRE

**B. APPLICANT**

1. Name of Applicant(s) or Contact Person(s): Kaylee Hggmbotnam Title: owner  
Company (if applicable): Pneuman Homes  
Mailing address: PO Box 123  
City: Callahan State: FL ZIP: 32011  
Telephone: 904 507 9827 FAX: ( ) e-mail: Kaylee.pneumanhomes@gmail.com

**C. ATTACHMENTS, if available** (One copy, no larger than 8 1/2 x 11)

- 1. Site Plan of proposed development
- ~~2.~~ Survey of proposed development
- 3. Design of the proposed of development
- ~~4.~~ Vicinity map - indicating general location of the site and all abutting streets and properties (\*Required)
- 5. Statement of proposed development

**D. APPLICATION FEE**

- 1. \$100 plus \$20 per acre

\_\_\_\_\_**FOR OFFICE USE ONLY DO NOT WRITE BELOW THIS LINE (REVIEWS ARE COMPLETED WITHIN 14 DAYS)**\_\_\_\_\_

Zoning R-3 Reviewed By: [Signature]  
Water Service Available \_\_\_\_\_ Location of Service \_\_\_\_\_  
Improvements Required for Water Service \_\_\_\_\_ Reviewed By: \_\_\_\_\_  
Sewer Service Available \_\_\_\_\_ Location of Service \_\_\_\_\_  
Improvements Required for Sewer Service \_\_\_\_\_ Reviewed By: \_\_\_\_\_  
Access onto Public Right of Way or Approved Private Road \_\_\_\_\_ Paved Road \_\_\_\_\_ Unpaved Road \_\_\_\_\_  
Improvements Required for Access \_\_\_\_\_ Reviewed By: \_\_\_\_\_

OWN OF HILLIARD

04-845-3555

\*\*\*\* R E P R I N T R E C E I P T \*\*\*\*

EC#: 00161736 5/02/2023 10:52 AM  
PER: AH TERM: 001  
EF#:   
AID BY:

DCT #: XXXX-XXXX-XXXX-8911  
LTH #: 002684  
RAN #: 000000077886

TYPE: PURCHASE  
PP NAME: MasterCard  
ENTRY MODE: CHIP

MOUNT USD\$ 206.00

MV DETAILS:  
C: 4C0447CC4976872C

RAN: 627.0000 W/S SINGLE LOT  
W FIFTH ST-PNEUMAN HOMES  
W&S SINGLE LOT 100.00CR

RAN: 104.0000 ZONING REVENUE  
LOT SPLIT-PNEUMAN HOMES  
ZONING REVENUE 100.00CR

RAN: 619.0000 CONVENIENCE CHARGE  
CONVENIENCE CHARGE 6.00CR

TENDERED: 206.00 CREDIT CARD  
APPLIED: 206.00-

CHANGE:            0.00

# MAP OF BOUNDARY SURVEY

WESTERLY 1/2 OF LOT 2, BLOCK 75, TOWN OF HILLIARD, ACCORDING TO PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 28, OF THE PUBLIC RECORDS OF NASSAU COUNTY, FLORIDA.

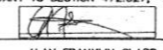


**SURVEY NOTES:**

- 1) The "Legal Description" hereon is in accord with the description provided by the client.
- 2) Underground improvements were not located or shown.
- 3) Lands shown hereon were not abstracted by this office for encumbrances, rights-of-way, ownership or other instruments of record.
- 4) Bearings based on S 70°00'00" W for the Northerly right of way of West Fifth Street, (Assumed).
- 5) Fence ownership, if applicable, has not been determined by this office. Fences are drawn out of scale in order to accentuate their relationship to property lines. Fences are not deemed to be encroachments unless ownership is apparent.
- 6) Unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper, this map/report is for informational purposes only and is not valid.
- 7) The property shown hereon lies within flood zone "X" as per F.E.M.A. Flood Insurance Rate Map, Panel 12089D0135F Dated 12-17-2010
- 8) Unless otherwise noted Measured angles and distances are the same as Plat or Deed angles and distances.
- 9) This survey has been performed according to the standard of care to achieve the following accuracies for the following surveyed.  
 Surveyed Accuracy: 1 foot in 19782 feet  
 Commercial / High risk Linear Accuracy: 1 foot in 10000 feet  
 SOP Rule 5J-17.05(3) (B) (15) b.ii
- 10) All Interior lot angles are 90° per plat.

<b>LEGEND</b>	CONC. = CONCRETE	MEAS. = MEASURED	⊙ = STORM MANHOLE
-E-E- = AERIAL UTILITY WIRES	CMF = CONCRETE FLATWORK	N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM	⊞ = TELEPHONE PEDESTAL
A/C = AIR CONDITIONER	CMP = CORRUGATED METAL PIPE	O.R.B. = OFFICIAL RECORD BOOK	⊞-O = WOOD FENCE
AKA = ALSO KNOWN AS	[E] = ELECTRICITY METER	P.I.N. = PARCEL IDENTIFICATION NUMBER	⊞-O = WOOD POWER POLE
B.R.L. = BUILDING RESTRICTION LINE	ELEV. = ELEVATION	P.O.B. = POINT OF BEGINNING	⊞ = WATER METER
[C] = CABLE TELEVISION PEDESTAL	F.F. = FINISHED FLOOR	P.O.C. = POINT OF COMMENCEMENT	⊞ = WELL
Δ = CENTRAL ANGLE	FD = FIRE HYDRANT	R = RADIUS	
⊞ = CENTERLINE	ROP = REINFORCED CONCRETE PIPE	R/W = RIGHT-OF-WAY	
-x-x- = CHAIN LINK FENCE	S = SEWER CLEANOUT		
CB = CHORD BEARING	L = ARC LENGTH		
CD = CHORD DISTANCE	⊞ = LIGHT POLE		

THE INFORMATION SHOWN HEREON MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

BY: 

ALAN FRANKLIN GLASS  
 FLORIDA REGISTERED SURVEYOR  
 MAPPER CERTIFICATE NO. 5712

GLASS LAND SURVEYING, LLC  
 23884 CRESCENT PARK COURT, FERNANDINA BEACH, FLORIDA 32034  
 (904) 261-0128 \* CELL (904) 370-0318  
 LICENSE BUSINESS NO. LB 8359

SCALE: 1" = 50'  
 DATE: 01-15-22  
 DRN BY: AEG  
 CKD BY: AEG  
 JOB NO: 22-90  
 F.B. NO: WAG4  
 PAGE NO: 1

Public works  
COPY



ITEM-4

FOR OFFICE USE ONLY

File # 05022023

Application Fee \$100 CC ✓

Filing Date: 5/2/23 By: AAH

Acceptance Date: \_\_\_\_\_ By: \_\_\_\_\_

# Town of Hilliard Development Investigation Application

**A. PROJECT**

1. Address of Subject Property: 3738<sup>2</sup> West Fifth Street Hilliard, FL

2. Parcel ID Number(s): 08-3N-24-2380-0075-0020

3. Acreage of Project: 1 AC 3 E

**B. APPLICANT**

1. Name of Applicant(s) or Contact Person(s): Kaylee Hognobstnam Title: owner

Company (if applicable): Pneuman Homes

Mailing address: PO Box 123

City: Callahan State: FL ZIP: 32011

Telephone: (904) 507 9827 FAX: ( ) e-mail: Kaylee.pneumanhomes@gmail.com

**C. ATTACHMENTS, if available** (One copy, no larger than 8 1/2 x 11)

1. Site Plan of proposed development
2. Survey of proposed development
3. Design of the proposed of development
4. Vicinity map - indicating general location of the site and all abutting streets and properties (\*Required)
5. Statement of proposed development

**D. APPLICATION FEE**

1. \$100 plus \$20 per acre

FOR OFFICE USE ONLY DO NOT WRITE BELOW THIS LINE (REVIEWS ARE COMPLETED WITHIN 14 DAYS)

Zoning R-3 Reviewed By: JN

Water Service Available yes Location of Service dd meter

Improvements Required for Water Service None Reviewed By: AAH

Sewer Service Available No Location of Service Closest New Oak & 5th

Improvements Required for Sewer Service Manhole & pipe added to MH 112 Reviewed By: AAH

Access onto Public Right of Way or Approved Private Road \_\_\_\_\_ Paved Road \_\_\_\_\_ Unpaved Road 5th street

Improvements Required for Access pave 5th street Reviewed By: AAH

Prison  
Water only; ~~meter~~ meter pulled 12/21/2020

## Lee Anne Wollitz

---

**From:** Lee Anne Wollitz  
**Sent:** Friday, May 12, 2023 12:11 PM  
**To:** Kaylee Higginbotham  
**Subject:** RE: 5th street Hilliard  
**Attachments:** Development Investigation (Consultant).pdf; Pneuman Development Investgation.pdf

Kaylee,

Thank you for talking with me this morning concerning your Development application as well as your lot split application.

I have attached the comments from our public works department for your review. I have also attached a Development investigation Consultant needed application. This application will allow us to consult the Town engineer for a depth for your sewer line and at what point a manhole will be required.

### **Development investigation for the existing house.**

There is 2 inch PVC water available and the house has been previously a water customer. You will not need to pay a tap fee, or system development for the water.

Sewer, this house was never attached to the town waster system. An 8 inch sewer line would have to be run and the manhole cored at the intersection on 5<sup>th</sup> street and New Oak street. (we will need to verify with the engineer for the depth and the "rise", I will also have the engineer state if we can just do in with the 8" pipe or if you will have to add a manhole at your end of 5<sup>th</sup> street in order to serve this home). The infrastructure upgrades will fall to your expense. You will not have to pay a tap fee because that work will be included in what you are already doing but, you will need to pay the system development fee for sewer on this home.

Because a home is already in place, the educational impact fee will be waved.

### **Development for proposed second house.**

Water- 2" PVC is believed to run to the end of this road(our maps show that it does). As long as it is within 60 feet of the property any needed new line would be included with your tap fee. A water tap fee and a water system development charge will be required.

Sewer- An 8" sewer line would have to be run and the manhole cored at the intersection of 5<sup>th</sup> street and New Oak Street. A man hole will need to be added at your end of 5<sup>th</sup> street due to the distance.

The Town engineer will need to be consulted for the depth. (it is possible that the engineer could wave the need for the new manhole and just allow the 8" pipe at the correct depth and slope but, I do not think this is likely).

Also, the educational impact fee will need to be paid.

I would ask for you to fill out the Development investigation Consultant needed application and pay the \$1000.00 deposit to allow us to begin the process of getting the engineer to give their requirements and the depths for the line and manhole. (this deposit is kept and returned to you at the conclusion of your project or used to pay the final bill, you will be invoiced any consultant fees as they arrive throughout your project.)

### **Lot split information:**

I believe that you will be on the agenda for the June 13<sup>th</sup> Planning and Zoning board meeting and on the July 6<sup>th</sup> meeting for the Town Council. A lot split required a vote from both. The Planning and Zoning Board will make a recommendation to the Town Council. The Town Council will vote for the approval.

We typically add conditions to a lot split such as,

1. The applicant shall record the lot split with the Clerk of the Court and provide the Town evidence of the recordation.
2. The applicant shall obtain real estate parcel numbers for each parcel from the Property Appraiser and provide those real estate parcel numbers to the Town.

When infrastructure is needed there are additional conditions added that would be similar to,

3. Prior to developing parcels, the applicant/developer would be responsible for the extension of 5<sup>th</sup> Street and any infrastructure required to serve the parcels. All infrastructure improvements are required to meet Town standards.

**Paving:**

Please take a look at

[https://library.municode.com/fl/hilliard/codes/code\\_of\\_ordinances?nodeId=PTIICOR\\_CH62ZOLADERE\\_ARTXPRFAARP\\_R\\_S62-562SPRETRCOREPARODE](https://library.municode.com/fl/hilliard/codes/code_of_ordinances?nodeId=PTIICOR_CH62ZOLADERE_ARTXPRFAARP_R_S62-562SPRETRCOREPARODE) This is section 62-562 and it talks about when roads need to be paved according to a common plan of development, this is a SJRWMD requirement.

This requirement can be avoided if you finish the first house (and have a CO) prior to pulling building permits for the second house.

Even if we avoid the need to pave. It is still possible that the council will ask for you to improve 5<sup>th</sup> street in some way(only the council can make the final decision on the improvement requirement).

If/when you have additional questions please call or email me.

Regards,

*Lee Anne Wollitz*

Land Use Administrator

Town of Hilliard

PO Box 249

15859 West CR 108

Hilliard, FL 32046

904.845.3555 Phone

904.845.1221 Fax

[www.townofhilliard.com](http://www.townofhilliard.com)



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that you have received this email in error and that any use, dissemination, distribution, forwarding, printing or copying of this email or any attached files is strictly prohibited. If you have received this email in error, please immediately purge it and all attachments and notify the sender by reply mail. "This institution is an equal opportunity provider and employer" If you wish to file a Civil Rights program complaint of discrimination, complete the USDA Program Discrimination Complaint Form, found online at [http://www.ascr.usda.gov/complaint\\_filing\\_cust.html](http://www.ascr.usda.gov/complaint_filing_cust.html), or at any USDA office, or call (866) 632-9992 to request the form. You may also write a letter containing all of the information requested in the form. Send your completed complaint form or letter to us by mail at U.S. Department of Agriculture, Director, Office of Adjudication, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410, by fax (202) 690-7442 or email at [program.intake@usda.gov](mailto:program.intake@usda.gov)."

**From:** Kaylee Higginbotham <kayleepneumanhomes@gmail.com>  
**Sent:** Thursday, May 11, 2023 5:19 PM  
**To:** Lee Anne Wollitz <[lwollitz@townofhilliard.com](mailto:lwollitz@townofhilliard.com)>  
**Subject:** Re: 5th street Hilliard

Yes, give me a call anytime tomorrow. Thanks

On Thu, May 11, 2023 at 5:03 PM Lee Anne Wollitz <[lwollitz@townofhilliard.com](mailto:lwollitz@townofhilliard.com)> wrote:

Kaylee,

We have your development investigation done to the point that we can without involving the engineers.

I would like to speak to you about those results and your next steps on this as well as your lot split application.

Is there a time on Friday before 2pm that we can speak on the phone?

*Regards,  
Lee Anne Wollitz*

Land Use Administrator

Town of Hilliard

PO Box 249

15859 West CR 108

Hilliard, FL 32046



904.845.3555 Phone

904.845.1221 Fax

[www.townofhilliard.com](http://www.townofhilliard.com)



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"Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing." This email and any files transmitted with it may contain privileged or confidential information and may be read or used only by the intended recipient. If you are not the intended recipient of the email or any of its attachments, please be advised that you have received this email in error and that any use, dissemination, distribution, forwarding, printing or copying of this email or any attached files is strictly prohibited. If you have received this email in error, please immediately purge it and all attachments and notify the sender by reply mail. "This institution is an equal opportunity provider and employer" If you wish to file a Civil Rights program complaint of discrimination, complete the USDA Program Discrimination Complaint Form, found online at [http://www.ascr.usda.gov/complaint\\_filing\\_cust.html](http://www.ascr.usda.gov/complaint_filing_cust.html), or at any USDA office, or call (866) 632-9992 to request the form. You may also write a letter containing all of the information requested in the form. Send your completed complaint form or letter to us by mail at U.S. Department of Agriculture, Director, Office of Adjudication, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410, by fax (202) 690-7442 or email at [program.intake@usda.gov](mailto:program.intake@usda.gov)."

--  
Thanks,  
Kaylee Higginbotham  
Pneuman Homes, LLC  
Cell: 904-507-9827  
Website: [www.PneumanHomesLLC.com](http://www.PneumanHomesLLC.com)

**Build Strong**  
**Build with Craftsmanship**  
**Build with Integrity**

**Office Locations:**

**Callahan:** 541669 US-1 S Callahan, FL

**Amelia Island:** 1890 S. 14th St. Suite 316 Fernandina Beach, FL



# AGENDA ITEM REPORT

## TOWN OF HILLIARD, FLORIDA

---

TO: Planning and Zoning Regular Meeting Meeting Date: June 13, 2023

FROM: *Lee Anne Wollitz- Land Use Administrator*

SUBJECT: Planning and Zoning Board acceptance to withdraw applications by Christopher Goodin for Variance application numbers 20220927.10, 20220927.11, 20220927.12, and 20220927.13.

---

**BACKGROUND:**

In September of 2022, Christopher Goodin placed Variance applications for several Properties within the Town limits. In January of 2023, Mr. Goodin requested a 6-month deferral of decision for the four (4) remaining applications, and it was granted by the Planning and Zoning Board at the January 10<sup>th</sup> meeting.

In a recent email exchange, Mr. Goodin requested the withdrawal of the remaining four (4) variance applications.

**FINANCIAL IMPACT:**

None

**RECOMMENDATION:**

Planning and Zoning Board acceptance of withdrawal for Variance application No. 20220927.10, 20220927.11, 20220927.12, and 20220927.13

## Lee Anne Wollitz

---

**From:** Christopher Goodin <cgoodin@coastlandgroup.com>  
**Sent:** Friday, June 2, 2023 9:23 AM  
**To:** Lee Anne Wollitz; Nick Powell  
**Cc:** Hannah Martinez  
**Subject:** RE: LDR and Variances

Please withdraw our applications from the public hearing.

Thanks,

Chris Goodin  
 919-671-5825

**From:** Lee Anne Wollitz <lwollitz@townofhilliard.com>  
**Sent:** Friday, June 2, 2023 9:15 AM  
**To:** Nick Powell <npowell@rpdevelopmentgroup.com>; Christopher Goodin <cgoodin@coastlandgroup.com>; Timothy Williams <Timothy.Williams@centurycommunities.com>; Marcus Medlock <Marcus.Medlock@centurycommunities.com>  
**Cc:** Hannah Martinez <hmartinez@townofhilliard.com>  
**Subject:** LDR and Variances

Good Morning,

I wanted to reach out to your team and be sure that I have communicated clearly.

I have a time line for the finish of the LDRs. Due to the extent of the changes our legal team has determined that it will be necessary to go back through Planning and Zoning.

The Ordinance will be on the Planning and Zoning Agenda on July 11. (Please note that this is the date that your deferral comes back onto the agenda unless the 4 applications are withdrawn)

There will be 2 public hearings with the Town Council, they are scheduled for July 20 and September 7. Adoption should happen at the second Public Hearing.

If we are going to move forward with your applications we will need to advertise again. I will need a final answer from you by Wednesday the 7<sup>th</sup> in order for us to make the advertising deadline.

Please note that two of your parcels are on the FLUM in MSC. This district is proposed to allow for a 75 feet wide lot. Please see the agenda packet from the last workshop. You can see the video on our website. The Workshop date was Feb. 28<sup>th</sup>.

[MEET-Packet-66cf15de93974e0ba5c8d4fadca32389.pdf \(usgovcloudapi.net\)](https://usgovcloudapi.net/MEET-Packet-66cf15de93974e0ba5c8d4fadca32389.pdf)

Regards,  
 Lee Anne Wollitz  
 Land Use Administrator  
 Town of Hilliard

# HILLIARD PLANNING AND ZONING BOARD MEETING

Hilliard Town Hall / Council Chambers  
15859 West County Road 108  
Post Office Box 249  
Hilliard, FL 32046

## BOARD MEMBERS

Herold "Skip" Frey, Chair  
Wendy Prather, Vice Chair  
Charles A. Reed, Board Member  
Josetta Lawson, Board Member  
Kevin Webb, Board Member

## ADMINISTRATIVE STAFF

Lee Anne Wollitz  
Land Use Administrator

## PLANNING AND ZONING ATTORNEY

Mary Norberg

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## MINUTES

**TUESDAY, MAY 09, 2023, 7:00 PM**

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### NOTICE TO PUBLIC

*Anyone wishing to address the Planning & Zoning Board regarding any item on this agenda is requested to complete an agenda item sheet in advance and give it to the Land Use Administrator. The sheets are located next to the printed agendas in the back of the Council Chambers. Speakers are respectfully requested to limit their comments to three (3) minutes. A speaker's time may not be allocated to others.*

### PLEDGE OF CIVILITY

WE WILL BE RESPECTFUL OF ONE ANOTHER  
EVEN WHEN WE DISAGREE.  
WE WILL DIRECT ALL COMMENTS TO THE ISSUES.  
WE WILL AVOID PERSONAL ATTACKS.  
***"Politeness costs so little." – ABRAHAM LINCOLN***

## CALL TO ORDER

## PRAYER & PLEDGE OF ALLEGIANCE

## ROLL CALL

### PRESENT

Vice Chair Wendy Prather  
Planning and Zoning Board Member Charles A. Reed  
Planning and Zoning Board Member Josetta Lawson

### ABSENT

Chair Harold "Skip" Frey  
Planning and Zoning Board Member Kevin Webb

### CHAIR

**To call on members of the audience wishing to address the Board on matters not on the Agenda.**

## REGULAR MEETING

ITEM-1 Additions/Deletions to Agenda

A motion is made to add Item 3- Revision of Minutes from 3.14.2023

Motion made by Planning and Zoning Board Member Reed, Seconded by Planning and Zoning Board Member Lawson.

Voting Yea: Vice Chair Prather, Planning and Zoning Board Member Reed, Planning and Zoning Board Member Lawson

ITEM-2 Planning and Zoning Board approval of the Minutes from the April 11, 2023, Regular Meeting.

Motion made by Planning and Zoning Board Member Lawson, Seconded by Planning and Zoning Board Member Reed.

Voting Yea: Vice Chair Prather, Planning and Zoning Board Member Reed, Planning and Zoning Board Member Lawson

ITEM-3 Planning and Zoning Board Revision and approval of the Minutes from the March 14, 2023, Public Hearing and Regular Meeting.

**Land Use Administrator Lee Anne Wollitz** states the need to update the minutes and clarify the conditions requested along with the Dayspring Commons PUD recommendation.

Motion made by Planning and Zoning Board Member Reed, Seconded by Planning and Zoning Board Member Lawson.

Voting Yea: Vice Chair Prather, Planning and Zoning Board Member Reed, Planning and Zoning Board Member Lawson

## **ADDITIONAL COMMENTS**

### **PUBLIC**

No Public wish to address the Board.

### **BOARD MEMBERS**

No Board Members have additional comments.

### **LAND USE ADMINISTRATOR**

Land Use Administrator gives updates on current and ongoing projects to the Board.

### **PLANNING AND ZONING ATTORNEY**

No additional comments from the Planning and Zoning Attorney.

## **ADJOURNMENT**

Motion to adjourn at 7:13pm.

Motion made by Planning and Zoning Board Member Reed, Seconded by Planning and Zoning Board Member Lawson.

Voting Yea: Vice Chair Prather, Planning and Zoning Board Member Reed, Planning and Zoning Board Member Lawson

Approved this 13<sup>th</sup> day of June 2023, by the Hilliard Planning & Zoning Board, Hilliard, Florida

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Skip Frey, Chair  
Hilliard Planning & Zoning Board