



# Hildale City Planning Commission

Thursday, January 19, 2023 at 6:00 PM

320 East Newel Avenue, Hildale City, Utah 84784

## Agenda

Notice is hereby given to the members of the Hildale City Planning Commission and to the public, that the Planning Commission will hold a public hearing as part of the regular meeting on **January 19, 2023** at 6:00 p.m. (MDT), at 320 East Newel Avenue, Hildale City, Utah 84784.

Commission members may be participating electronically by video or telephone conference. The meeting will be broadcast to the public on Facebook Live under Hildale's City page. Members of the public may also watch the City of Hildale through the scheduled Zoom meeting.

<https://www.facebook.com/hildalecity/live/>

Join Zoom Meeting

<https://zoom.us/j/95770171318?pwd=aUVSU0hRSFFHcGQvcUIPT3ZYK0p5UT09>

Meeting ID: 957 7017 1318

Passcode: 993804

One tap mobile

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Comments during the public comment or public hearing portions of the meeting may be emailed to [manager@hildalecity.com](mailto:manager@hildalecity.com) or privately messaged to Hildale City's Facebook page. All comments sent before the meeting may be read during the meeting and messages or emails sent during the meeting may be read at the Mayor's discretion.

**Roll Call of Commission Attendees:** Deputy City Recorder

**Welcome, Introduction and Preliminary Matters:** Presiding Officer

**Pledge of Allegiance:** By Invitation of Presiding Officer

**Conflict of Interest Disclosures:** Commissioners

**Approval of Minutes of Previous Meetings:** Commissioners

1. EnterTextHere

**Public Comments:** (3 minutes each - Discretion of Presiding Officer)

**Public Hearing:**

2. Public hearing to receive public comment on zoning map amendment to rezone Parcel HD-SHCR-6-3, commonly addressed as 785 N Lauritzen, from Residential Agriculture-1 (RA-1) to Residential Agriculture-0.5 (RA-0.5) (No time limit)

3. Public hearing to receive public comment on zoning map amendment to rezone Parcel HD-SHCR-6-7, commonly addressed as 780 N Lauritzen, from Residential Agriculture-1 (RA-1) to Residential Multifamily-2 (RM-2) (No time limit)

4. Public hearing to receive public comment on a Preliminary Plat Review for Subdivision for 685 N Willow Street, 725 N Willow Street. (No time limit)

**Unfinished Commission Business:**

**New Commission Business:**

5. Consideration, discussion, and possible approval of a Zone Change Application for HD-SHCR-6-3, commonly addressed as 785 N Lauritzen, from Residential Agriculture-1 (RA-1) to Residential Agriculture-0.5 (RA-0.5) (10 minutes DCMSP Johnson)
6. Consideration, discussion, and possible approval of a Zone Change Application for HD-SHCR-6-7, commonly addressed as 780 N Lauritzen, from Residential Agriculture-1 (RA-1) to Residential Multifamily-2 (RM-2)
7. Consideration, discussion and possible approval of a Preliminary Plat Review for Subdivision for 685 N Willow Street, 725 N Willow Street

**Commissioners Comments:** (10 minutes total)

Commissioners comments of issues not previously discussed in the meeting.

**Executive Session:** As needed

**Adjournment:** Presiding Officer

Agenda items and any variables thereto are set for consideration, discussion, approval or other action. The Hildale City Planning Commission may, by motion, recess into executive session which is not open to the public, to receive legal advice from the City attorney(s) on any agenda item, or regarding sensitive personnel issues, or concerning negotiations for the purchase, sale or lease of real property. Hildale City Planning Commission Members may be attending by telephone. Agenda may be subject to change up to 24 hours prior to the meeting. Individuals needing special accommodations should notify the City Recorder at 435-874-2323 at least three days prior to the meeting.



## Hildale City Planning Commission

Thursday, September 15, 2022 at 6:00 PM  
320 East Newel Avenue, Hildale City, Utah 84784

### Minutes

#### Welcome, Introduction and Preliminary Matters: Presiding Officer

Vice Chair Wall called meeting to order at 6:02pm

#### Roll Call of Commission Attendees: Deputy City Recorder Barlow

##### PRESENT

Vice Chair Elissa Wall  
Commissioner Rex Jessop  
Commissioner Nathan Fischer  
Commissioner Lawrence Stubbs

##### ABSENT

Chair Charles Hammon  
Commissioner Tracy Barlow  
Commissioner Derick Holm

##### Staff

Harrison Johnson, Sirrene Barlow

#### Pledge of Allegiance:

Pledge lead by Vice Chair Wall.

#### Conflict of Interest Disclosures:

No conflicts at this time.

#### Approval of Minutes of Previous Meetings:

##### 1. Consideration and discussion of Minutes for Planning and Zoning Meeting August 18, 2022.

Commissioners reviewed the minutes.

Motion made by Commissioner Jessop to approve minutes for August 18, 2022, Seconded by Commissioner Stubbs.

Voting Yea: Vice Chair Wall, Commissioner Jessop, Commissioner Fischer, Commissioner Stubbs  
Motion Carries.

#### Public Comments:

No Public Comments.

**Public Hearing:**

- 2. **The Commission will receive public comment concerning consideration and possible recommendation on a proposal to amend Title XV Land Development of Hildale City Code, creating a new zoning district called the Historic Area Mixed-Use (HA-MU) Overlay.**

Public Hearing open at 6:04pm

No Public Comments.

Public Hearing closed at 6:05pm

**Unfinished Commission Business: None**

**New Commission Business:**

- 3. **Consideration, discussion, and possible recommendation on proposal to amend Title XV Land Development of Hildale City Code, creating a new zoning district called the Historic Area Mixed-Use (HA-MU) Overlay.**

Harrison Johnson presented PowerPoint to the Board. Commissions discussed and asked questions.

Motion made by Commissioner Fischer to table proposal to amend Title XV Land Development of Hildale City Code, creating a new zoning district called the Historic Area Mixed-Use (HA-MU) Overlay, Seconded by Commissioner Jessop.

Voting Yea: Vice Chair Wall, Commissioner Jessop, Commissioner Fischer, Commissioner Stubbs  
Motion Carries

**Commissioners Comments:**

Commissioners' comments of issues not previously discussed in the meeting.

**Executive Session:** As needed

**None**

**Adjournment:**

Meeting adjourned by Vice Chair Wall at 6:46pm

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Minutes were approved at the Planning Commission Meeting on \_\_\_\_\_.

\_\_\_\_\_

Athena Cawley, City Recorder





## Hildale City Planning Commission

Thursday, November 17, 2022 at 6:00 PM  
320 East Newel Avenue, Hildale City, Utah 84784

### Minutes

#### Welcome, Introduction and Preliminary Matters:

Chair Hammon called the meeting to order at 6:00pm.

#### Roll Call of Commission Attendees:

##### PRESENT

Chair Charles Hammon  
Vice Chair Elissa Wall joined at 6:14pm  
Commissioner Nathan Fischer  
Commissioner Tracy Barlow  
Commissioner Derick Holm

##### ABSENT

Commissioner Rex Jessop  
Commissioner Lawrence Stubbs

##### Staff

Harrison Johnson, Eric Duthie, Sirrene Barlow

#### Pledge of Allegiance:

Pledge lead by Commissioner Fischer.

#### Conflict of Interest Disclosures:

Not at this time.

#### Public Comments:

No public present.

#### Reports:

#### Public Hearing:

None

#### Unfinished Commission Business:

None

#### New Commission Business:

1. **Consideration, discussion, and possible approval and authorization to submit a Rural Communities Grant, in the amount of up to six hundred thousand dollars (\$600,000), to the Utah Office of Economic Development.**

Harrison Johnson presented to Council the desire to of approval for Rural Communities Grant. To hope increase wages for those seeking to have a place to start a start a business. There will be different equipment purchases included in the use of the grant money.

City Manager Duthie clarified the use of the building and future goals that would bring opportunities for the future of the community.

Commissioner discussed the what the future might look like with these opportunities.

Motion made by Chair Hammon, to approve authorization to submit a Rural Communities Grant, in the amount of up to six hundred thousand dollars (\$600,000), to the Utah Office of Economic Development. Seconded by Vice Chair Wall.

Voting Yea: Chair Hammon, Vice Chair Wall, Commissioner Fischer, Commissioner Barlow, Commissioner Holm  
Motion Carried

**Commissioners Comments:**

No Comments at this time.

**Executive Session:** As needed

**Adjournment:**

Meeting adjourned at 6:35pm

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Minutes were approved at the Planning Commission Meeting on \_\_\_\_\_.

\_\_\_\_\_  
Athena Cawley, City Recorder



## Hildale City Planning Commission

Thursday, October 20, 2022 at 6:00 PM  
320 East Newel Avenue, Hildale City, Utah 84784

### Minutes

#### Welcome, Introduction and Preliminary Matters:

Chair Hammon called the meeting to order at 6:03.

#### Roll Call of Commission Attendees:

##### PRESENT

Chair Charles Hammon  
Vice Chair Elissa Wall  
Commissioner Rex Jessop  
Commissioner Derick Holm

##### ABSENT

Commissioner Nathan Fischer  
Commissioner Tracy Barlow  
Commissioner Lawrence Stubbs

##### Staff

Harrison Johnson, Sirrene Barlow

#### Pledge of Allegiance:

Pledge lead by Chair Hammon.

#### Conflict of Interest Disclosures:

No Conflicts at this time.

#### Public Comments:

No Public present.

#### Reports:

#### Public Hearing:

No Public Present.

Chair Hammon open public hearing at 6:05.

Chair Hamon closes public hearing at 6:06.

All in favor.

2. **The Commission will receive public comment concerning consideration and possible action on Text Amendment to Sec 152-39-4 Necessity Of Plat; Exemption From Plat Requirements.**

3. **The Commission will receive public comment concerning consideration and possible action on Zone Change Petition for Parcel HD-SHCR-8-14, commonly addressed as 320 E Field Ave.**
4. **The Commission will receive public comment concerning consideration and possible action on Zone Change Petition for Parcel HD-SHCR-2-26, commonly addressed as 740 N Uzona Ave.**
5. **The Commission will receive public comment concerning consideration and possible action on Zone Change Petition for Parcel HD-SHCR-10-8, commonly addressed as 1025 N Canyon Street, Hildale**

**Unfinished Commission Business:**

None at this time.

**New Commission Business:**

6. **Consideration, discussion, and possible action on Text Amendment to Sec 152-39-4 Necessity Of Plat; Exemption From Plat Requirements.**

Harrison Johnson presented to Commissioners text amendment to Sec 152-39-4. Commissioners asked questions concerning what serves our community better.

Chair Hammon would like to see more research done before City Council Meeting.

Motion made by Commissioner Holm to denied text amendment plat. Motion fails for lack of second.

Motion made by Vice Chair Wall to approve the text amendment to Sec 152-39-4 with the special assessment dead restriction, Seconded by Commissioner Jessop.

Voting Yea: Chair Hammon, Vice Chair Wall, Commissioner Jessop

Voting Nay: Commissioner Holm

7. **Consideration, discussion, and possible action on Zone Change Petition for Parcel HD-SHCR-8-14, commonly addressed as 320 E Field Ave.**

Harrison Johnson presented to Commissioners the zone changes for parcel in question.

Eric Duthie spoke of the concern of other cities and the views from them.

Motion made by Chair Hammon that approval is recommended for zone change Petion parcel HD-SHCR-8-14, commonly addressed as 320 E Field Ave, Seconded by Vice Chair Wall.

Voting Yea: Chair Hammon, Vice Chair Wall, Commissioner Jessop, Commissioner Holm

8. **Consideration, discussion, and possible action on Zone Change Petition for Parcel HD-SHCR-2-26, commonly addressed as 740 N Uzona Ave.**

Harrison Johnson presented the application for zoning changing to one lot to three single lots.

Motion made by Chair Hammon to recommend the rezone Parcel HD-SHCR-2-26, commonly addressed as 740 N Uzona Ave, Seconded by Vice Chair Wall.

Voting Yea: Chair Hammon, Vice Chair Wall, Commissioner Jessop, Commissioner Holm

**9. Consideration, discussion, and possible action on Zone Change Petition for Parcel HD-SHCR-10-8, commonly addressed as 1025 N Canyon Street, Hildale**

Harrison Johnson presented the application for the UEP Trust to rezone with the intention to split the lot into 3.

Motion made by Vice Chair Wall to recommend approval for Parcel HD-SHCR-10-8, commonly addressed as 1025 N Canyon Street, Hildale, Seconded by Commissioner Jessop.

Voting Yea: Chair Hammon, Vice Chair Wall, Commissioner Jessop, Commissioner Holm

**Commissioners Comments:**

Commissioners comments of issues not previously discussed in the meeting.

Chair Hammon voiced appreciation for Harrison Johnson for his efforts.

**Executive Session:** As needed

**Adjournment:** Presiding Officer

Chair Hammon Adjourned meeting at 7:00pm.

Agenda items and any variables thereto are set for consideration, discussion, approval or other action. The Hildale City Planning Commission may, by motion, recess into executive session which is not open to the public, to receive legal advice from the City attorney(s) on any agenda item, or regarding sensitive personnel issues, or concerning negotiations for the purchase, sale or lease of real property. Hildale City Planning Commission Members may be attending by telephone. Agenda may be subject to change up to 24 hours prior to the meeting. Individuals needing special accommodations should notify the City Recorder at 435-874-2323 at least three days prior to the meeting.

Minutes were approved at the Planning Commission Meeting on \_\_\_\_\_.

\_\_\_\_\_  
Athena Cawley, City Recorder

From: Harrison Johnson  
 To: Hildale City Planning & Zoning Commission; Hildale City Mayor  
 Date: December 6, 2022  
 Subject: Zone Change request

**Applicant Name:** United Effort Plan Trust  
**Agent:** John Barlow  
**Application Type:** Zone Change request  
**Project Address:** RA-1  
**Requested Zoning:** RA-.05  
**Date:** January 5<sup>th</sup>, 2023  
**Prepared by:** Harrison Johnson

**Summary of Application**

The Applicant is requesting approval of a Zone Change.

Amend the zoning map to re-zone Parcel HD-SHCR-6-3, commonly addressed as 785 North Lauritzen Hildale, Utah from the current Residential Agricultural-1 (RA-1) to Residential Agriculture-.5 (RA-.5)

**Background**

The applicant submitted the application on January 4<sup>th</sup>, 2023 to the Hildale City offices and paid the fee of \$100.

The applicant submitted all required documents identified in the application.

The applicant provided addressed, stamped envelopes for all property owners within the required boundary of the subject property.

City staff prepared a Rezone Letter for Neighboring Properties and mailed the letters within the required notice time.

The Public Hearing for this zone change request was noticed, as required.

**General Plan and Zoning**

The property is bounded on the North by Utah Avenue abutting public lands and the Canaan Mountain Wilderness; On the East by Lauritzen Street On the South by a residential property addressed at 745 N Lauritzen Street; and on the West residential property addressed as 345 W Utah Ave; Surrounding properties are zoned RA-1 and Open Space.

**Analysis**

The zone change request complies with required standards for approval, as identified in Hildale Planning and Zoning ordinance, section 152-14-3 Uses allowed; and Sec 152-14-4 Development Standards In Residential Agriculture Zones, as follows:

1. Permitted And Conditional Uses:  
 Permitted and conditional uses allowed within residential agriculture zones shall be as set forth in table 152-14-1 of this section. Permitted and conditional uses are indicated by a "P" or "C", respectively, in the appropriate column. Uses not permitted are indicated by "N". Any use not shown on table 152-14-1 of this section shall be prohibited unless the zoning administrator determines the use is substantially the same as a permitted or conditional use as provided in subsection 152-7-18E4 of this chapter.

TABLE 152-14-1 PERMITTED AND CONDITIONAL USES ALLOWED IN RESIDENTIAL AGRICULTURE ZONES

PERMITTED AND CONDITIONAL USES ALLOWED IN RESIDENTIAL AGRICULTURE ZONES		
	Zones	
Agricultural uses:	RA-1	RA-.5
Agricultural business	P	N
Agricultural industry	N	N
<b>Agriculture</b>	P	<b>P</b>
<b>Animal specialties</b>	P	<b>P</b>
<b>Animals and fowl for recreation and family food production</b>	P	<b>P<sup>3</sup></b>
<b>Stable, private</b>	P	<b>P</b>
Residential uses:		

Assisted living facility	P	P
Boarding house	N	N
Building, accessory	P	P
Dwelling, earth sheltered	P	P
Dwelling, multiple-family	N	N
Dwelling, single-family	P	P
Dwelling, single-family with accessory dwelling unit	P	P
Dwelling, temporary	P	P
Dwelling, two-family	N	N
Guesthouse	P	P
Manufactured home	P	P
Manufactured/mobile home park	N	N
Manufactured/mobile home subdivision	N	N
Protective housing facility	P	P
Residential facility for elderly persons <sup>1</sup>	P	P
Residential facility for persons with a disability <sup>1</sup>	P	P
Residential facility for troubled youth	C	C
Short term rental <sup>4</sup>	P	P
Public and civic uses:		
Auditorium or stadium	N	N
Cemetery	P	P
Church or place of worship	P	P
Club or service organization	N	N
Convalescent care facility	N	N
Cultural service	P	P
Golf course	P	P
Hospital	N	N
Park	P	P
Protective service	P	P
Reception center	N	N
Stable, public	P	N
Utility, minor	P	P
Utility substation	P	P
Commercial uses:		
Agricultural sales and service	N	N

Animal hospital	P	P
Bed and breakfast, home	C	C
Bed and breakfast inn	C	C
Camping Hosting Facility	N	N
Family child daycare facility <sup>2</sup>	P	P
Licensed family child care <sup>2</sup>	C	C
Residential certificate child care <sup>2</sup>	P	P
Garden center	N	N
Kennel, residential	P	P
Media service	N	N
Off Road Recreational Vehicle Rental	C	C
Personal care service, home based <sup>2</sup>	P	P
Personal instruction service, home based <sup>2</sup>	P	P
Produce stand	P	P
Recreational vehicle park	N	N
Residential hosting facility	P	P
Temporary trailer	P	P
Veterinary service	N	N
Warehouse, self-service storage	N	N
Wireless telecommunication facility	See section 10-50-5, table 10-50-1 of this title	

2. Notes:

1. See chapter 46 of this chapter.
2. See chapter 42 of this chapter.
3. See section 152-37-15 of this chapter for permitted animals and fowl.
4. See licensing and operations requirements in title 11 of this code.

3. Accessory

Uses:

Permitted and conditional uses set forth in table 152-14-1 of this section shall be deemed to include accessory uses and activities that are necessarily and customarily associated with and incidental and subordinate to such uses.

1. Accessory uses shall be subject to the same regulations that apply to permitted and conditional uses in the same zone except as otherwise expressly provided in this chapter.
2. No accessory use, building, or structure shall be allowed on a lot unless a permitted or conditional use has been established.
3. Accessory uses in residential agriculture zones shall include, but not be limited to, the following: Garage sales, subject to applicable standards of chapter 48, "Temporary Uses", of this chapter. Garages and off street parking areas, subject to applicable standards of chapter 34, "Off Street Parking And Loading", of this chapter. Hobby activities when conducted by an occupant of the premises solely for personal enjoyment, amusement, or recreation and which does not conflict with any other city ordinance. Home based businesses, subject to applicable standards of chapter 42, "Home Based Businesses", of this chapter. Household pets. Nurseries and greenhouses. Playhouses, patios, porches, gazebos, and incidental storage buildings. Swimming pools and hot tubs for use by residents and their guests.

**Sec 152-14-4 Development Standards In Residential Agricultural Zones**

Development standards within residential agriculture zones shall be as set forth in table 152-14-2 of this section.

TABLE 152-14-2

DEVELOPMENT STANDARDS IN RESIDENTIAL AGRICULTURE ZONES		
Development Standard	Zones	
	RA-1	RA-5
Lot standards:		
Average lot area <sup>1</sup>	1 acre	0.5 acre



Minimum lot area <sup>2</sup>	0.8 acre	0.4 acre
Minimum lot width	100 feet	100 feet
Building standards:		
Maximum height, main building <sup>3</sup>	35 feet	35 feet
Maximum height, accessory building	20 feet	20 feet
Maximum size, accessory building <sup>4</sup>	2,000 square feet	2,000 square feet
Building coverage	50% of lot (see subsection 10-37-12I of this title)	
Distance between buildings	No requirement	No requirement
Setback standards - front yard:		
Any building <sup>5</sup>	25 feet	
Setback standards - rear yard:		
Main building	30 feet	30 feet
Accessory building, including private garage	If located 10 feet from main building: 2 feet. If not, same as main building	
Setback standards - interior side yard:		
Main building	10 feet one side and 20 feet other side	10 feet
Accessory building, including private garage	If located 10 feet from main building: 2 feet. If not, same as main building	
Setback standards - street side yard:		
Main building	20 feet	20 feet
Accessory building	Not permitted	Not permitted

Notes:

1. "Average size" means the total acreage devoted to lots divided by the number of lots. Net density definition shall apply.
2. The indicated number is 80 percent of average lot area requirement.
3. Except as otherwise permitted by subsection 152-14-7C of this chapter.
4. Except as otherwise permitted by subsection 152-14-7B of this chapter.
5. Except as modified by the provisions of subsection 152-37-12F, "Setback Measurement", of this chapter.

**Sec 152-14-5 Regulations Of General Applicability**

The use and development of real property in residential agriculture zones shall conform to regulations of general applicability as set forth in the following chapters of this chapter:

1. Design and compatibility standards: See chapter 33 of this chapter.
2. Landscaping and screening: See chapter 32 of this chapter.
3. Motor vehicle access: See chapter 35 of this chapter.
4. Natural resource inventory: See chapter 31 of this chapter.
5. Off street parking: See chapter 34 of this chapter.
6. Signs: See chapter 36 of this chapter.
7. Supplementary development standards: See chapter 37 of this chapter.

**Sec 152-14-6 Regulations For Specific Uses**

To the extent that use and development of real property includes any matter encompassed by a regulation for a specific use as set forth in Article VI of this chapter, such regulation shall apply in addition to the requirements of this chapter and shall prevail over any conflicting provision of this chapter.

**Sec 152-14-7 Special Regulations**

1. Animals:  
Within RA-1 and RA-.5 zones, where permitted by the zone the keeping of animals shall normally be simultaneous with occupied residential use.
2. Larger Accessory Buildings:  
Notwithstanding the maximum building size limitation shown in section 152-14-4, table 152-14-2 of this chapter, the maximum size of an accessory building may be increased pursuant to a conditional use permit.
3. Increased Height:  
Notwithstanding the height limitations shown in section 152-14-4, table 152-14-2 of this chapter a greater building height may be allowed in residential zones pursuant to a conditional use permit.

**Recommendation**

Staff recommends approval of the zone change request as it remains consistent with Hildale City' General Plan. Additionally, it may accommodate the city's goal of increased density.

**Sample Motions – ZONING CHANGE**

1. I move to recommend approval of the zoning map amendment requested for Parcel HD-SHCR-6-3 commonly addressed as 780 N Lauritzen from the current Residential Agricultural-1 (RA-1) to Residential Agriculture -.5 (RA\_.5)

**Attachments**

- a. Zone Change Application
  - a. Warranty Deed
  - b. Affidavit
  - c. Check
  - d. Zoning Map
- b. Washington County Property Report for parcel HD-SHCR-6-3
- c. Draft copy Rezone Letter for Neighboring Properties
- d. Public Hearing Notice



435-874-2323  
435-874-2603  
www.hildalecity.com

# ZONE CHANGE APPLICATION

Fee: Same as original plat fee 160.00

*For Office Use Only:*  
File No. \_\_\_\_\_  
Receipt No. 134970401

*Angela  
01/04/23*

Name: John Barlow, UEP Project Manager Telephone: 801.824.4232

Address: 1155 N. Canyon Street #959, Hildale, UT 84784 Fax No. \_\_\_\_\_

Agent (If Applicable): Paul Wilson, Civil Science Telephone: 801.768.7200 ext 173

Email: john@ueptrust.com

Address/Location of Subject Property: 785 North Lauritzen

Tax ID of Subject Property: HD-SHCR-6-3 Existing Zone District: RA-1

Proposed Zoning District and reason for the request (Describe, use extra sheet if necessary)  
RA-0.5

Purpose of rezone application is to split the lot into two seperate lots.

Submittal Requirements: The zone change application shall provide the following:

- X a. The name and address of every person or company the applicant represents;
- X b. An accurate property map showing the existing and proposed zoning classifications;
- X c. All abutting properties showing present zoning classifications;
- X d. An accurate legal description of the property to be rezoned;
- X e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- X f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the third Monday of each month at 6:30 p.m. The deadline date to submit the application is 10 business days prior to the scheduled meeting. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.**

\*\*\*\*\*

(Office Use Only)

Date Received: \_\_\_\_\_ Application Complete: YES  NO

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

- F. The City Staff person will decide to either: approve the application, approve the application with conditions, or deny the application.
- G. If the lot split is approved, the property descriptions of each parcel prepared in a deed form can be recorded at the County Recorder Office.
- H. When in the opinion of City Staff, there are significant issues related to the lot split, the Staff may forward the application to the Planning Commission for the hearing and decision.
- I. The decision of the City Staff may be appealed to the Planning Commission.

**IMPROVEMENT REQUIREMENTS:**

Section 10-39-4 of the Land Use Ordinance identifies the improvements required within a subdivision. Even though a lot split is exempt from typical plat submittal requirements, it must still comply with the standards of section 10-39-4, since it is a subdivision. Typically, improvements will include the provision for sewer, water and drainage, along with the construction of curb, gutter, and sidewalk and paving as necessary to match existing paving (or entirely new paving when the street is unimproved.) Such improvements are required on all street frontages of the proposed parcels.



☎ 435-874-2323  
☎ 435-874-2603  
🌐 www.hildalecity.com

**Fee: \$300.00**

**LOT SPLITS**

For Office Use Only:  
File No. \_\_\_\_\_  
Receipt No. 134970461

*Angeline*  
*01/04/23*

**APPLICATION & SUBMITTAL CHECKLIST**

**Owner(s) Name:** Jeff Barlow, Exec. Director for UEP Trust **Telephone:** 435-874-1126

**Address:** 1155 N Canyon St., PO Box 959, Hildale, UT 84784 **Fax No.** \_\_\_\_\_

**Agent (If applicable)** Travis Sanders; Paul Wilson **Agent's Phone:** 435-862-1211

**Address of Subject Property:** 785 N Lauritzen St.

**Tax ID of Subject Property:** HD-SHCR-6-3 **Zone District** RA-1

**Proposed Use:** (Describe, use extra sheet if necessary) Splitting the lot in two - one at 0.55 and one at 0.89 would

create an additional lot to be used as another RA-1 lot for future building.

**This application shall be accompanied by the following:**

- 1. One paper copy of plat drawn to scale (typically one-inch equals 50 feet or larger) on an 8 1/2 x 11-inch sheet. Larger if needed to show reasonable detail. One digital copy of plat emailed to [planning@hildalecity.com](mailto:planning@hildalecity.com)
- 2. The plat to show the following detail:
  - Scale, north point
  - Streets and the right of way width
  - Dimensions of proposed lots
  - Location of all buildings and distances from resulting lot lines
  - The location of any significant natural features (creeks, washes, cliffs, etc.)
  - The name, address and phone number of the person or firm who prepared the plat
- 3. Legal description of each of the resulting parcels.
- 4. A completed form from the Washington County Treasurer's office for property located within the lot split verifying that all taxes or special assessments payable on all property within the limits of the lot split are paid in full

**Note: It is important that all applicable information noted above is submitted with the application.**

\*\*\*\*\*

(Office Use Only)

Date Received: \_\_\_\_\_ Received by: \_\_\_\_\_

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_



## LOT SPLITS

### PURPOSE:

A lot split is a subdivision of land creating no more than 1 new lot. This type of division may, after a public hearing, be approved by City Staff, without the necessity of preparing and filing a preliminary or final plat.

### PROCESS:

- A. After submittal of a lot split application, City Staff will review the application to determine whether the proposed lot:
- 1.) is not transverse by the mapped lines of a proposed street as shown in the general plan and does not require the dedication of any land for street or other public purposes.
  - 2.) does not impact an existing easement or right of way or, if it does have an impact, evidence that the impact will not impair the use of any such easement or right of way.
  - 3.) has been approved by the culinary water authority and sanitary sewer authority;
  - 4.) is in a zoned area and the lots will meet all the requirements of the zone and conforms to all applicable land use ordinances or has properly received a variance from the requirements of an otherwise conflicting and applicable land use ordinance.
- B. A lot or a parcel resulting from a division of agricultural land is exempt from the plat requirements of this Chapter if the lot or parcel:
- 1) meets the minimum size requirement of applicable zoning; and
  - 2) is not used and will not be used for any nonagricultural purpose.
- C. The creation of a lot under subsection A above shall not be approved until a plan for providing utilities and other required improvements to the proposed lot has been reviewed and signed by all members of the Joint Utility Committee.
- In lieu of an approved utility plan the Joint Utility Committee may approve a deed restriction stating no utilities are currently stubbed to this lot. This deed shall be recorded with the new lot.
- No building permit will be issued for a lot until the approved improvements are constructed and accepted by the City department heads.
- D. The boundaries of each lot or parcel created under subsection A or B above shall be geographically illustrated on a record of survey map submitted with the application for approval by City staff. A deed describing both parcels of ground with any necessary easements shall be prepared to be recorded at the office of the Washington County Recorder.

## **ZONE CHANGE APPLICATION (General Information)**

### **PURPOSE**

All lands within the City are zoned for a specific type of land use (single family residential, multi-family, commercial, industrial, etc.). Zoning occurs to provide for a relationship between various types of land uses which promotes the health, safety, welfare, order, economics, and aesthetics of the community. Zoning is one of the main tools used to implement the City's General Plan.

### **WHEN REQUIRED**

A zone change request is required any time a property owner desires to make a significant change to the use of his/her land. The change may be from one zone density (say 1 acre lots) to smaller lots (10,000 square foot lots). Or, it may be to an entirely different type of use, such as a change from single family zoning to multiple family or commercial zoning. Since the zone applied to your land limits what you can do, a rezoning application is typically the first step toward a change.

### **REQUIRED CONSIDERATIONS TO APPROVE A ZONE CHANGE**

When approving a zone change the following factors should be considered by the Planning Commission and City Council:

1. Whether the proposed amendment is consistent with the Goals, Objectives and Policies of the City's General Plan;
2. Whether the proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property;
3. The extent to which the proposed amendment may adversely affect adjacent property; and
4. The adequacy of facilities and services intended to serve the subject property, including, but not limited to roadways, parks and recreation facilities, police and fire protection, schools, storm water drainage systems, water supplies, and wastewater and refuse collection.

### **PROCESS**

Contact the Planning Department for when the deadline for submission is. After it is deemed complete, staff will review the request, and prepare a report and recommendation for the Planning Commission. This will be reviewed at a public hearing where the applicant should attend, present the project, and respond to questions from the Planning Commission. Since it is a public hearing, members of the public may also have questions or comments. At the public hearing the Planning Commission will review the application and staff's report and forward a recommendation to the City Council of approval, approval with modifications, or denial the zone change application.

Upon receipt of the Planning Commission recommendation, typically 1-2 weeks after the Planning Commission action, the City Council will consider and act on the Commission's recommendation. The action of the City Council is final. If denied, a similar application generally cannot be heard for a year.

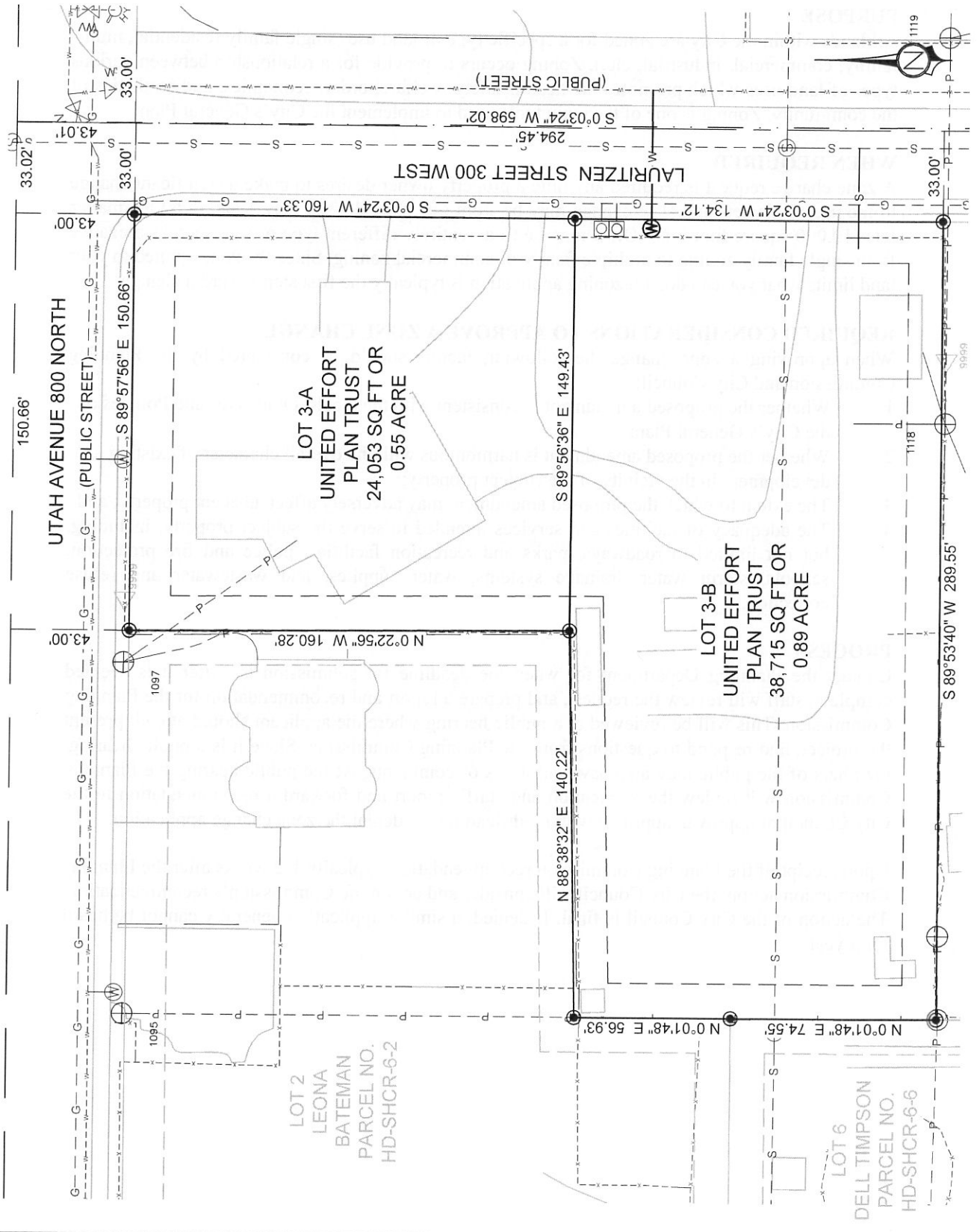


1453 S. DIXIE DRIVE, SUITE 150  
ST. GEORGE, UT 84770  
435.986.0100

PARCEL NO. HD-SHCR-6-3

PROPOSED UTILITIES

FF20068.006





**SURVEYOR'S CERTIFICATE**

I, TRAVIS W. SANDERS, DO HEREBY CERTIFY THAT THE BOUNDARY, AREA, LOCATION, AND THE NUMBER AND POSITION OF THE MONUMENTS SHOWN ON THIS PLAN AND DESCRIBED BELOW ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT I AM A LICENSED SURVEYOR IN THE STATE OF UTAH. I HEREBY CERTIFY THAT BY AUTHORITY OF THE COMMISSIONERS HAVE SURVEYED THE TRACT OF LAND SHOWN ON THIS PLAN AND DESCRIBED BELOW.



DATE \_\_\_\_\_

TRAVIS W. SANDERS, RLS

**BOUNDARY DESCRIPTION**

LOT 3, SHORT CREEK SUBDIVISION #6, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE WASHINGTON COUNTY CLERK'S OFFICE, DESCRIBED AS FOLLOWS:

PARCEL 3A  
BEGINNING AT THE NORTHEAST CORNER OF LOT 3, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, UTAH, FOR THE EAST LINE OF LOT 3, THENCE S 89° 57' 56" E 159.66 FEET TO THE POINT OF BEGINNING; THENCE S 89° 57' 56" E 159.66 FEET ALONG THE NORTH LINE OF SAID LOT 3, TO THE POINT OF BEGINNING;

CONTAINS 24,803.50 SQ FT OR 0.565 ACRES, MORE OR LESS.

PARCEL 3B  
BEGINNING AT THE NORTHEAST CORNER OF LOT 4, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, UTAH, FOR THE EAST LINE OF LOT 4, THENCE S 89° 57' 56" E 159.66 FEET TO THE POINT OF BEGINNING; THENCE S 89° 57' 56" E 159.66 FEET ALONG THE NORTH LINE OF SAID LOT 4, TO THE POINT OF BEGINNING; THENCE S 89° 57' 56" E 159.66 FEET ALONG THE NORTH LINE OF SAID LOT 4, TO THE POINT OF BEGINNING;

CONTAINS 24,803.50 SQ FT OR 0.565 ACRES, MORE OR LESS.

**NARRATIVE**

THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACTS OF 1896 AND 1909, AND THE RULES AND REGULATIONS THEREOF. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACTS OF 1896 AND 1909, AND THE RULES AND REGULATIONS THEREOF. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACTS OF 1896 AND 1909, AND THE RULES AND REGULATIONS THEREOF.

THE FOLLOWING DOCUMENTS OF RECORD WERE REVIEWED AND CONSIDERED IN CONNECTION WITH THIS SURVEY: THE OFFICIAL PLAT OF SHORT CREEK SUBDIVISION #6, WASHINGTON COUNTY, UTAH, AS RECORDED IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, UTAH, ON AUGUST 19, 2014, BOOKED BY ROBERT P. HERMANNSON.

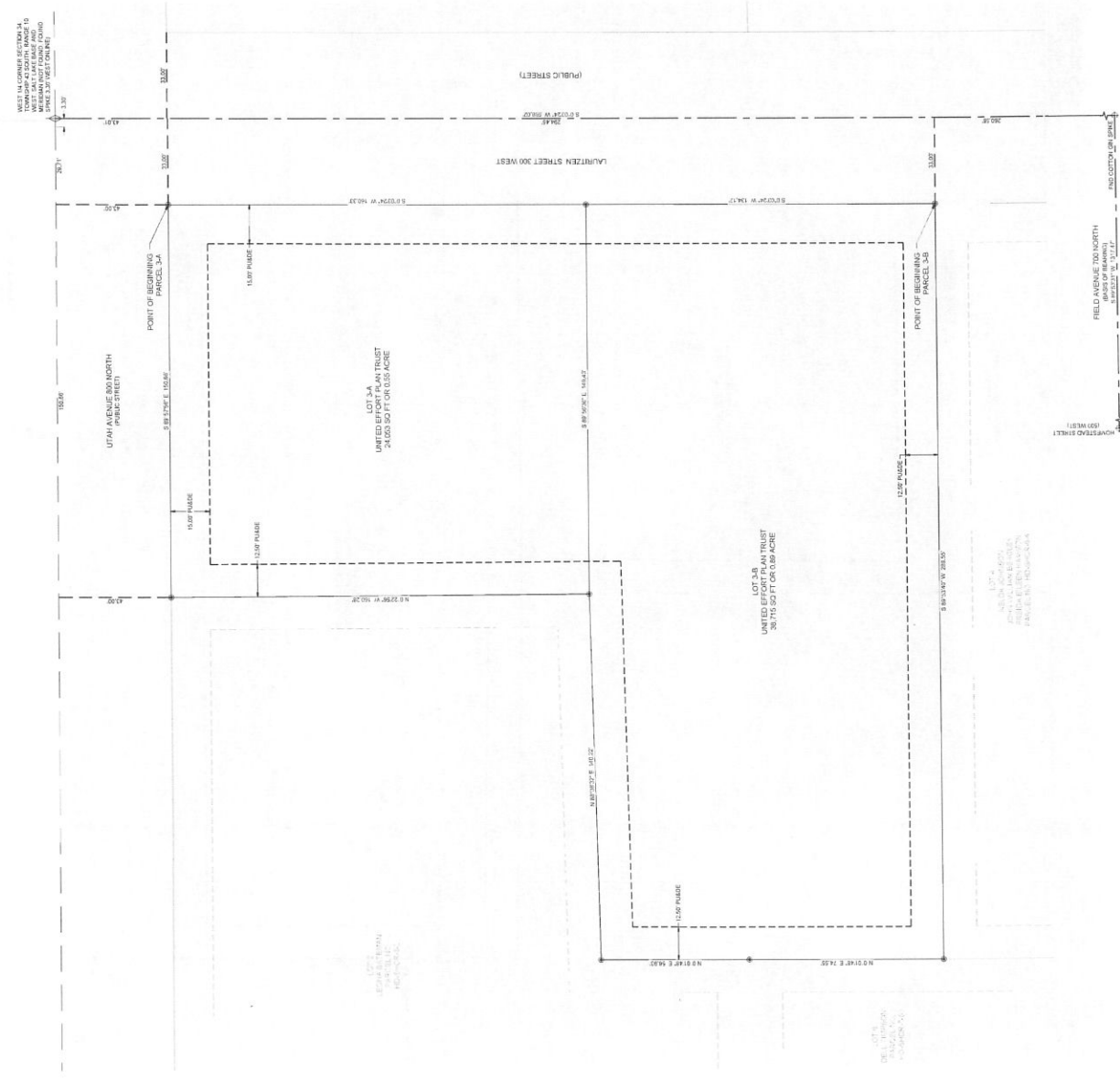
2014001928 SHORT CREEK SUBDIVISION #6, COMPLETED ON AUGUST 19, 2014, BOOKED BY ROBERT P. HERMANNSON.

**LEGEND**

- ◊ SECTIONAL MONUMENTATION NOT FOUND CALCULATED LOCATION
- \* ALL BOUNDARY AND PROPERTY (LEFT) CORNERS TO BE SET WITH 5/8" IRON AND CAP STAMPED CIVIL SCIENCE UNLESS OTHERWISE NOTED
- ⊙ SECTIONAL MONUMENTATION FOUND CALCULATED LOCATION
- EASEMENT LINE (SEE NOTES)

**NOTES**

1. NO ATTEMPT HAS BEEN MADE AS A PART OF THIS BOUNDARY SURVEY TO OBTAIN OR SHOW DATA FROM ANY PREVIOUS SURVEY OF ANY PART OF THE TRACT SURVEYED. ANY SUCH DATA WILL BE OBTAINED AND SHOWN BY THE SURVEYOR AT HIS OWN EXPENSE. THESE UTILITIES OR FACILITIES PLEASE CONTACT THE APPROPRIATE AGENCIES OR OTHER AGENCIES FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES.
2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OR OTHER RIGHTS OR INTERESTS IN THE TRACT SURVEYED. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY SUCH INVESTIGATION OR SEARCH. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OR OTHER RIGHTS OR INTERESTS IN THE TRACT SURVEYED. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY SUCH INVESTIGATION OR SEARCH.
3. THE FIELD WORK WAS PERFORMED ON AUGUST 29, 2020.



1453 S 4035 E DRIVE, SUITE 150  
ST. GEORGE, UT 84770  
435.988.0100



RECORD OF SURVEY PLAT  
LOCATED IN  
SE 1/4 OF SECTION 33 TOWNSHIP 43 SOUTH RANGE 10 WEST  
SALT LAKE BASE & MERIDIAN

PROJECT #	22000000
DATE	08/29/2020
CHECKED BY	TWS
DATE CHECKED	08/29/2020
HIGH SCALE	1" = 20'
SHEET	1
OF	1

**RECORD OF SURVEY PLAT**

LOCATED IN  
SE 1/4 OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST,  
SALT LAKE BASE AND MERIDIAN  
PREPARED FOR:  
UNITED EFFORT PLAN TRUST

**SURVEYOR'S CERTIFICATE**  
 I, TRAVIS W. SANDERS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HAVE PERSONALLY EXAMINED THE RECORD OF SURVEY AND THE PLAT AND DEEDS REFERRED TO AND DESCRIBED BELOW.



DATE: \_\_\_\_\_  
 TRAVIS W. SANDERS, P.L.S.

**BOUNDARY DESCRIPTION**

ORIGINAL LEGAL DESCRIPTION:  
 LOT 3, SHORT CREEK SUBDIVISION #6, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE WASHINGTON COUNTY RECORDS OF DEEDS TO BE KNOWN AS:

THE SOUTHWEST CORNER OF LOT 3, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER OF DEEDS IN WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 289 STATE STREET, SALT LAKE CITY, UTAH, IS A POINT ON THE EAST LINE OF LOT 2 OF SAID SUBDIVISION, THENCE IN 22°26' W 162.27 FEET TO THE NORTHEAST CORNER OF SAID LOT 2; THENCE IN 90°00'00" W 142.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2; THENCE IN 90°00'00" W 142.00 FEET TO THE POINT OF BEGINNING.

PARCEL 3-A  
 BEGINS AT THE SOUTHWEST CORNER OF LOT 3, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER OF DEEDS IN WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 289 STATE STREET, SALT LAKE CITY, UTAH, IS A POINT ON THE EAST LINE OF LOT 2 OF SAID SUBDIVISION, THENCE IN 22°26' W 162.27 FEET TO THE NORTHEAST CORNER OF SAID LOT 2; THENCE IN 90°00'00" W 142.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2; THENCE IN 90°00'00" W 142.00 FEET TO THE POINT OF BEGINNING.

PARCEL 3-B  
 BEGINS AT THE SOUTHWEST CORNER OF LOT 3, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER OF DEEDS IN WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 289 STATE STREET, SALT LAKE CITY, UTAH, IS A POINT ON THE EAST LINE OF LOT 2 OF SAID SUBDIVISION, THENCE IN 22°26' W 162.27 FEET TO THE NORTHEAST CORNER OF SAID LOT 2; THENCE IN 90°00'00" W 142.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2; THENCE IN 90°00'00" W 142.00 FEET TO THE POINT OF BEGINNING.

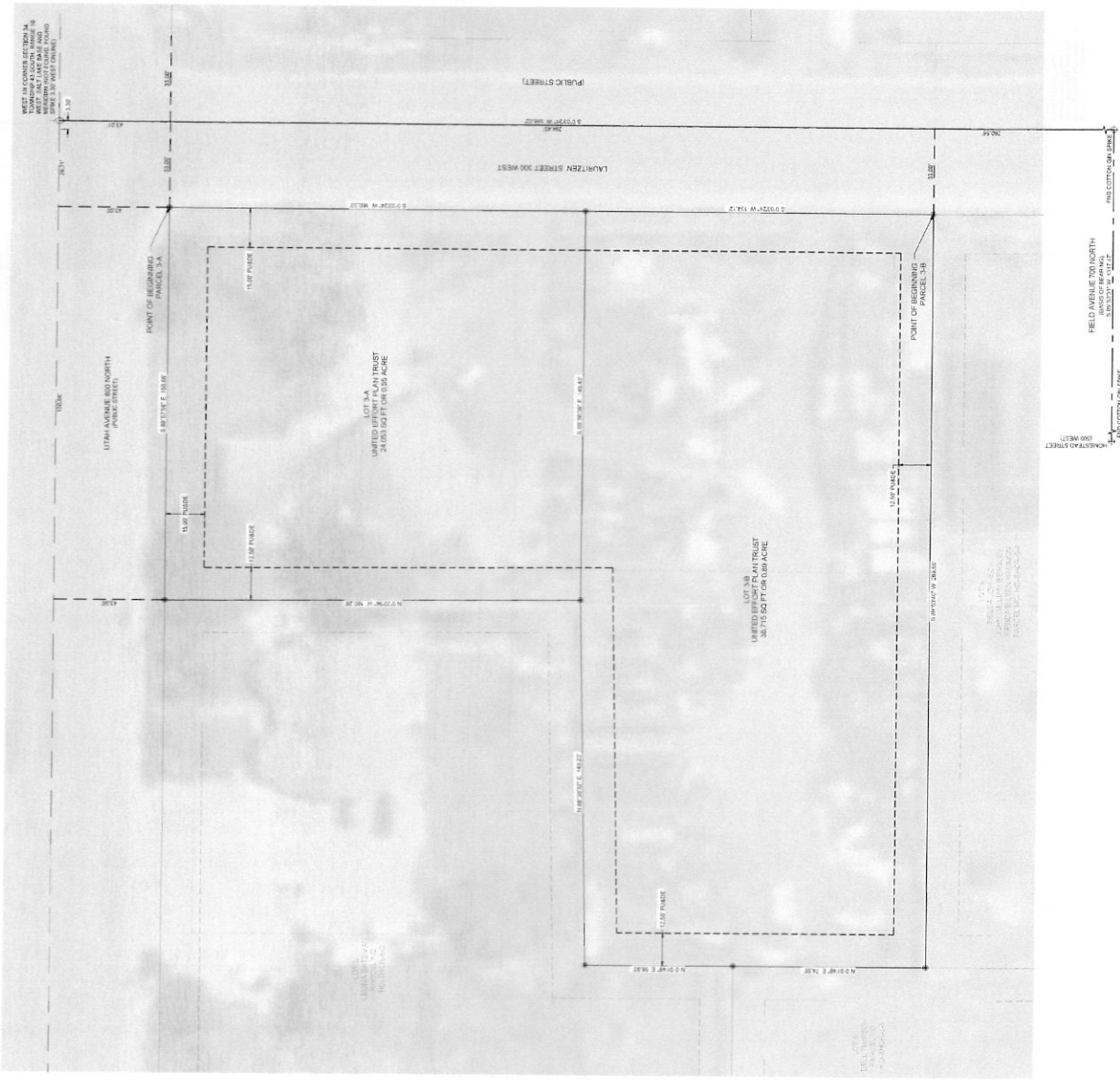
**NARRATIVE**  
 THE PURPOSE OF THIS SURVEY IS TO ESTABLISH THE BOUNDARY OF THE ABOVE DESCRIBED LOT 3 AND TO SET UP PERMANENT MONUMENTS AT THE CORNERS OF THE PLAT AND TO SET UP PERMANENT MONUMENTS AT THE CENTER LINE OF THE EAST LINE OF LOT 2 OF SAID SUBDIVISION, THENCE IN 22°26' W 162.27 FEET TO THE NORTHEAST CORNER OF SAID LOT 2. THE FOLLOWING DOCUMENTS OF RECORD WERE REVIEWED AND CONSIDERED AS A BASIS FOR THIS SURVEY: ANY AND ALL RECORDS OF RECORDS OF DEEDS IN WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 289 STATE STREET, SALT LAKE CITY, UTAH, AND ANY OTHER RECORDS OF RECORDS OF DEEDS IN WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 289 STATE STREET, SALT LAKE CITY, UTAH, THAT WOULD AFFECT THIS SURVEY. ANY AND ALL RECORDS OF RECORDS OF DEEDS IN WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 289 STATE STREET, SALT LAKE CITY, UTAH, THAT WOULD AFFECT THIS SURVEY, ANY AND ALL RECORDS OF RECORDS OF DEEDS IN WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 289 STATE STREET, SALT LAKE CITY, UTAH, THAT WOULD AFFECT THIS SURVEY, ANY AND ALL RECORDS OF RECORDS OF DEEDS IN WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 289 STATE STREET, SALT LAKE CITY, UTAH, THAT WOULD AFFECT THIS SURVEY.

**LEGEND**

- SECTIONAL MONUMENT (NOT FOUND) CALCULATED LOCATION
- ALL BOUNDARY AND PROPERTY (LOT) CORNERS TO BE SET UP BY PERM AND CAP STAMPED CIVIL ENGINE UNLESS OTHERWISE SPECIFIED ON THE PLAT
- SPECIFIC FOUND SURVEY CONTROL MONUMENT AS SHOWN
- EASEMENT LINE (SEE NOTES)

**NOTES**

1. NO ATTEMPT HAS BEEN MADE AS A PART OF THIS BOUNDARY SURVEY TO VERIFY OR SHOW EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO, THE LOCATION OF ANY UTILITY OR MUNICIPAL SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES, DEPTH, LOCATION, AND CONTACT THE APPROPRIATE AGENCIES OR OTHER.
2. THIS SURVEY IS BASED ON THE ASSUMPTION THAT THE BOUNDARY AND EASEMENT LINES SHOWN ON THIS PLAT ARE ACCURATE AND CORRECT. THE SURVEYOR HAS REVIEWED ALL RECORDS OF RECORDS OF DEEDS IN WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 289 STATE STREET, SALT LAKE CITY, UTAH, THAT WOULD AFFECT THIS SURVEY, ANY AND ALL RECORDS OF RECORDS OF DEEDS IN WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 289 STATE STREET, SALT LAKE CITY, UTAH, THAT WOULD AFFECT THIS SURVEY.
3. A 15.5 FOOT WIDE PUBLIC UTILITY, ROADWAY AND SIDEWALK EASEMENT EXISTS ON ALL FRONT LOT LINES, AND A 15.5 FOOT WIDE PUBLIC UTILITY EASEMENT EXISTS ON ALL SIDE AND BACK LOT LINES, AS PER RECORDED FINAL PLAT.
4. THE FIELD WORK WAS PERFORMED ON AUGUST 28, 2020.

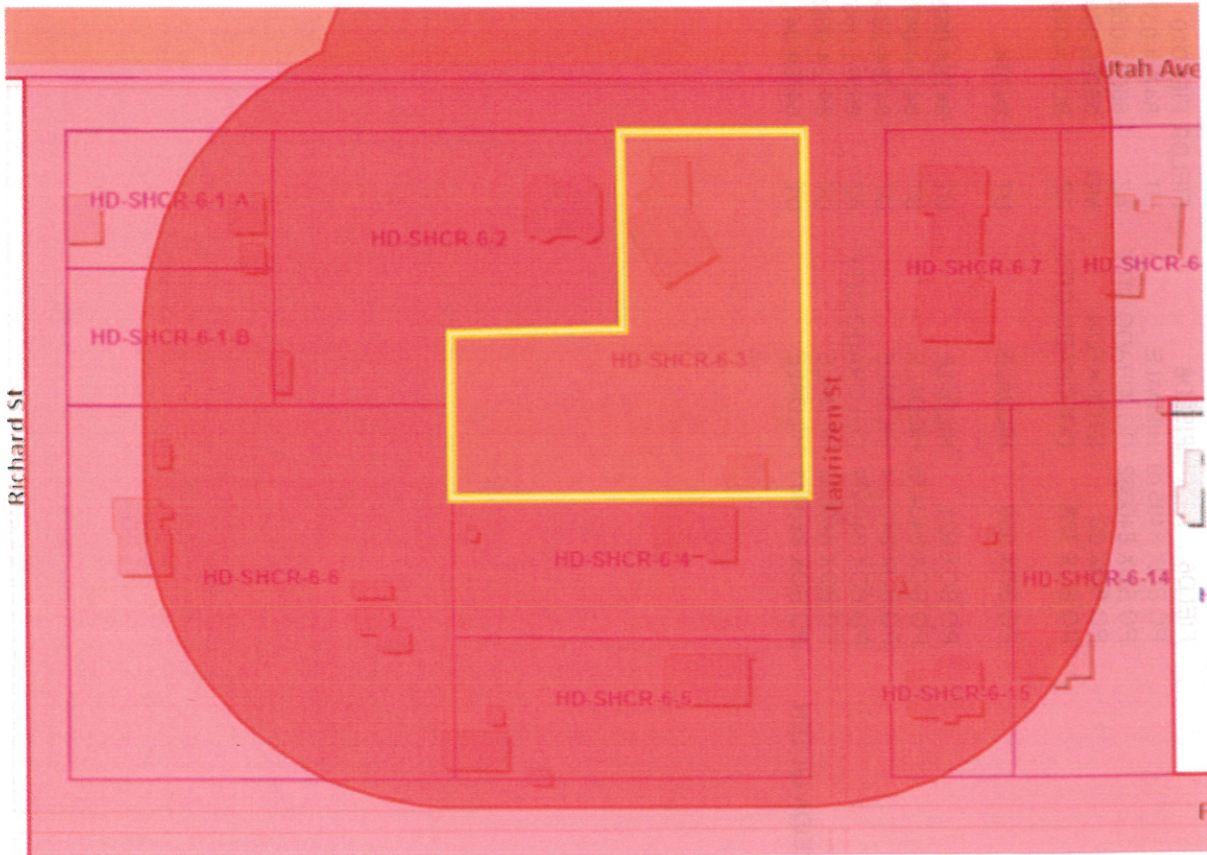


**RECORD OF SURVEY PLAT**  
 LOCATED IN  
 SE 1/4 OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST,  
 SALT LAKE BASE AND MERIDIAN  
 PREPARED FOR  
 UNITED EFFORT PLAN TRUST



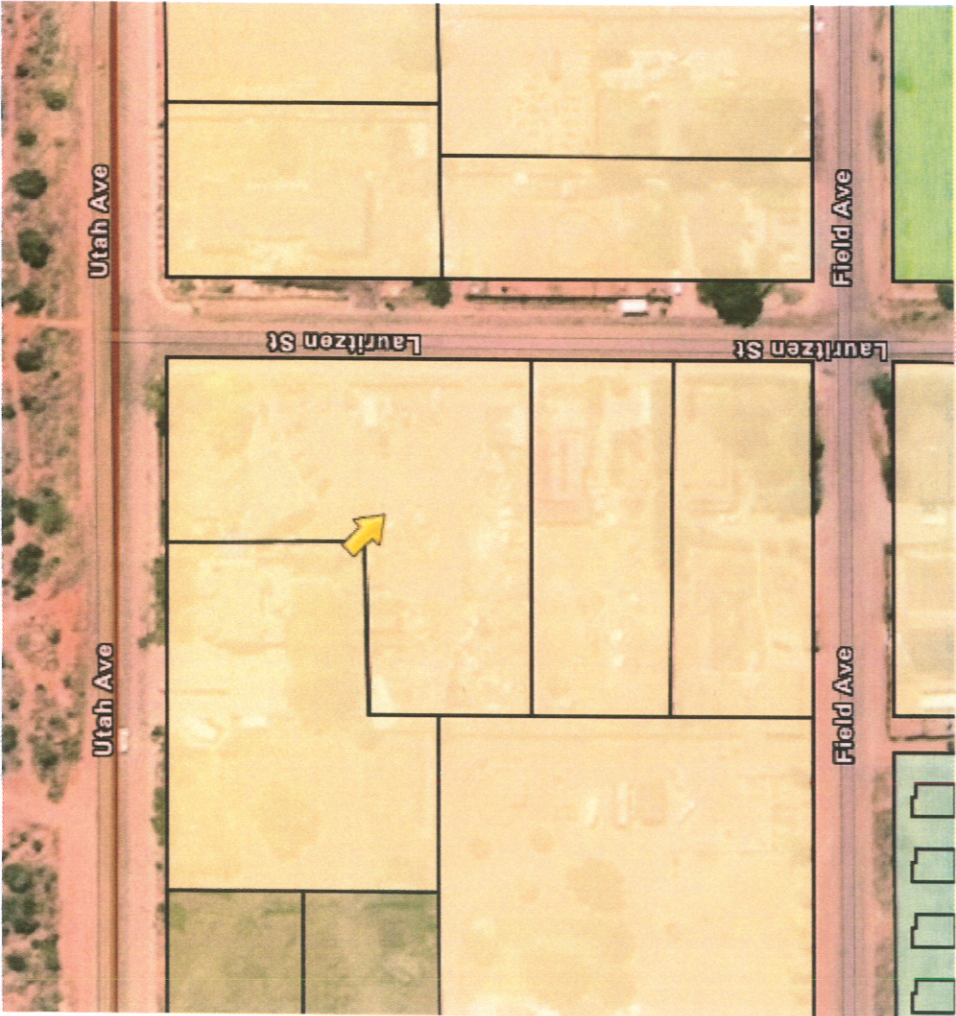
PLAT BY	TRAVIS W. SANDERS
DATE	08/28/20
CHECKED BY	TRAVIS W. SANDERS
DATE	08/28/20
ROW SCALE	1" = 20'
SHEET	1
OF	1

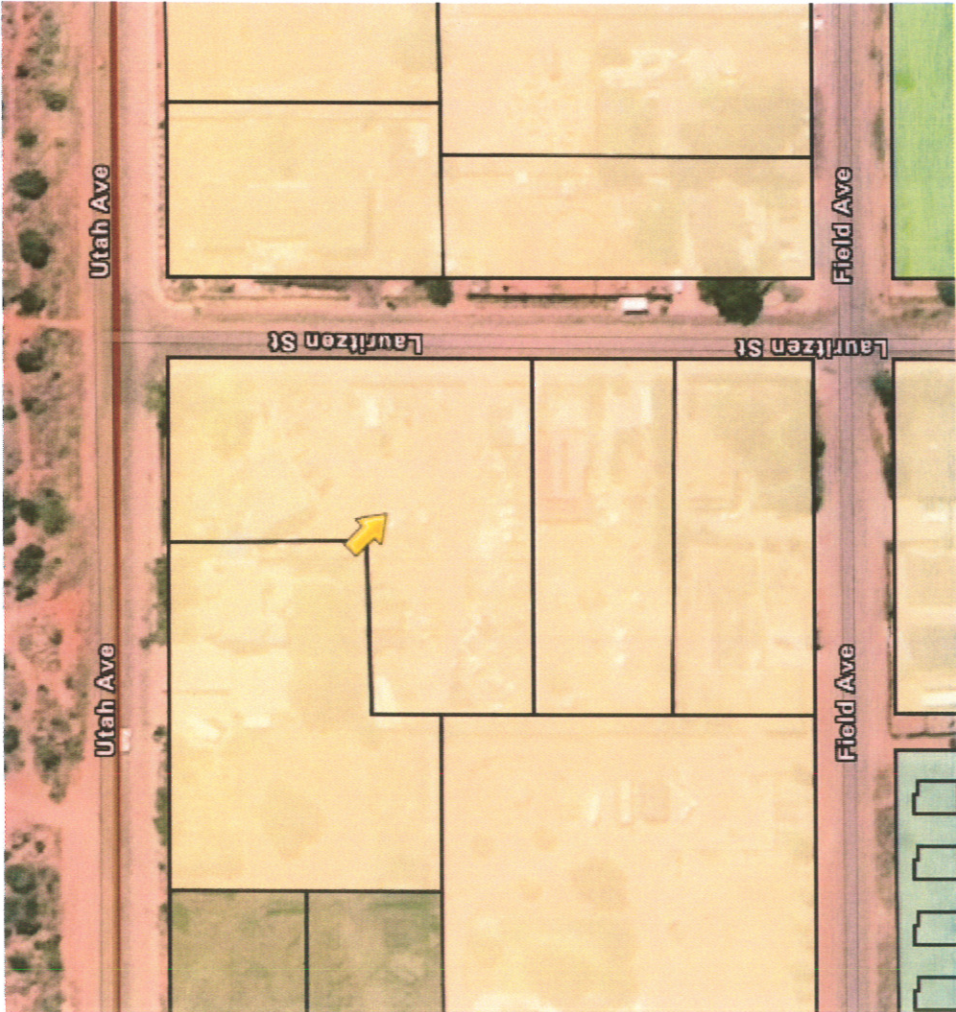
RECORD OF SURVEY PLAT  
 LOCATED IN  
 SE 1/4 OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST,  
 SALT LAKE BASE AND MERIDIAN

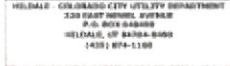


TAX_ID	FIELD5	FIELD6	FIELD8	FIELD9	FIELD10
HD-SHCR-6-5	COX KATHRYN, COX EARLENE	PO BOX 840579	HILDALE	UT	84784-0579
HD-SHCR-6-1-B	TIMPSON DELL JESSOP JR	PO BOX 840662	COLORADO CITY	AZ	86021-0662
HD-SHCR-6-7	WILLIAMS THOMAS	PO BOX 89	STOCKTON	MO	65785-0089
HD-SHCR-6-2	BATEMAN LEONA	PO BOX 486	COLORADO CITY	AZ	86021-0486
HD-SHCR-6-3	UNITED EFFORT PLAN	PO BOX 959	HILDALE	UT	84784
HD-SHCR-6-15	BARLOW THOMAS VAUGHN TR	PO BOX 621	HILDALE	UT	84784-0621
HD-SHCR-6-8	WILLIAMS ALISON P & JEROMY R, WILLIAMS THOMAS G	PO BOX 840475	HILDALE	UT	84784-0475
HD-SHCR-6-14	HOLM ALEC	PO BOX 842884	HILDALE	UT	84784-2884
HD-SHCR-6-1-A	TIMPSON DELL JESSOP JR	PO BOX 840662	COLORADO CITY	AZ	86021-0662
HD-SHCR-6-6	TIMPSON DELL	PO BOX 840662	HILDALE	UT	84784-0662
HD-SHCR-6-4	JOHNSON NELDA, BEAGLEY JOHN WILLIAM, HAMMON FREIDA EILEEN	PO BOX 840411	HILDALE	UT	84784-0411









Hildale City  
320 E.Newel Ave  
Hildale, UT 84784  
(435) 874-1160  
ar@hildalecity.com

XBP Confirmation Number: 134970461

▶ Transaction detail for payment to Hildale City.		Date: 01/04/2023 - 4:58:35 PM MT	
<b>Transaction Number: 189625067PT</b> <b>Visa — XXXX-XXXX-XXXX-8349</b> <b>Status: Successful</b>			
Account #	Item	Quantity	Item Amount
ZONE CHANGE APP	Land Use	1	\$100.00
LOT SPLIT	Land Use	1	\$300.00

**TOTAL: \$400.00**

**Billing Information**  
JOHN BARLOW  
785 NORTH LAURITZEN ST  
HILDALE, UT 84784  
(801) 824-4232

Transaction taken by: Admin AChatwin



From: Harrison Johnson  
 To: Hildale City Planning & Zoning Commission; Hildale City Mayor  
 Date: December 6, 2022  
 Subject: Zone Change request

**Applicant Name:** John Barlow  
**Agent:** N/A  
**Application Type:** Zone Change request  
**Project Address:** RA-1  
**Requested Zoning:** RM-2  
**Date:** January 5<sup>th</sup>, 2023  
**Prepared by:** Harrison Johnson

**Summary of Application**

The Applicant is requesting approval of a Zone Change.

Amend the zoning map to re-zone Parcel HD-SHCR-6-7, commonly addressed as 780 North Lauritzen Hildale, Utah from the current Residential Agricultural-1 (RA-1) to Residential Multifamily-2 (RM-2).

**Background**

The applicant submitted the application on January 4<sup>th</sup>, 2023 to the Hildale City offices and paid the fee of \$100.

The applicant submitted all required documents identified in the application.

The applicant provided addressed, stamped envelopes for all property owners within the required boundary of the subject property.

City staff prepared a Rezone Letter for Neighboring Properties and mailed the letters within the required notice time.

The Public Hearing for this zone change request was noticed, as required.

**General Plan and Zoning**

The property is bounded on the North by Utah Avenue abutting public lands and the Canaan Mountain Wilderness; On the East by residential property addressed 265 W Utah Ave; On the South by a residential property addressed at 290 W Field Ave; and on the West by Lauritzen Street; Surrounding properties are zoned RA-1 and Open Space.

**Analysis**

The zone change request complies with required standards for approval, as identified in Hildale Planning and Zoning ordinance, section 152-13-3 Uses allowed; and Sec 152-13-4 Development Standards In Residential Zones, as follows:

**Sec 152-13-3 Uses Allowed**

1. Permitted And Conditional Uses:

Permitted and conditional uses allowed within residential zones shall be as set forth in table 152-13-1 of this section. Permitted and conditional uses are indicated by a "P" or "C", respectively, in the appropriate column. Uses not permitted are indicated by "N". Any use not shown on table 152-13-1 of this section shall be prohibited unless the zoning administrator determines the use is substantially the same as a permitted or conditional use as provided in subsection 152-7-18E4 of this chapter.

TABLE 152-13-1 PERMITTED AND CONDITIONAL USES ALLOWED IN RESIDENTIAL ZONES

PERMITTED AND CONDITIONAL USES ALLOWED IN RESIDENTIAL ZONES							
	Zones						
	R1-15	R1-10	R1-8	RM-1	RM-2	RM-3	MH/RV
Agricultural uses:							
Accessory building	P	P	P	P	P	P	P
Agricultural business	N	N	N	N	N	N	N
Agricultural industry	N	N	N	N	N	N	N
Agriculture	N	N	N	N	N	N	N
Agriculture residential	P	P	P	P	P	P	P
Animal specialties	P	P	N	N	N	N	N



Animals and fowl for recreation and family food production	P <sup>3</sup> /C	P <sup>3</sup> /C	P <sup>3</sup>	N	N	N	N
Stable, private	N	N	N	N	N	N	N
Residential uses:							
Assisted living facility	C	C	C	N	N	N	N
Boarding house	N	N	N	N	N	N	N
Building, accessory	P	P	P	P	P	P	P
Dwelling, earth sheltered	P	P	P	P	P	P	N
Dwelling, multiple-family	N	N	N	P	P	P	N
Dwelling, single-family	P	P	P	P	P	P	P
Dwelling, single-family with accessory dwelling unit	P	P	P	N	N	N	N
Dwelling, temporary	P	P	P	P	P	P	P
Dwelling, two-family	N	N	N	P	P	P	N
Guesthouse or casita with direct access to main dwelling unit	P	P	P	N	N	N	N
Guesthouse or casita without direct access to main dwelling unit	C	C	C	N	N	N	N
Manufactured home	P	P	P	N	N	N	P
Manufactured/mobile home park	N	N	N	N	N	N	P
Manufactured/mobile home subdivision	N	N	N	N	N	N	P
Protective housing facility	N	N	N	N	N	N	N
Rehabilitation/treatment facility	N	N	N	N	N	N	N
Residential facility for elderly persons <sup>1</sup>	P	P	P	P	P	P	P
Residential facility for persons with a disability <sup>1</sup>	P	P	P	P	P	P	P
Residential facility for troubled youth	N	N	N	N	N	N	N
Short term rental <sup>4</sup>	P	P	P	N	N	N	N
Transitional housing facility	N	N	N	N	N	N	N
Public and civic uses:							
Airport	N	N	N	N	N	N	N
Auditorium or stadium	N	N	N	N	N	N	N
Bus terminal	N	N	N	N	N	N	N
Cemetery	P	P	P	P	P	P	P
Church or place of worship	P	P	P	P	P	P	P
Club or service organization	N	N	N	N	N	N	N
College or university	N	N	N	N	N	N	N
Convalescent care facility	N	N	N	N	N	N	N
Correctional facility	N	N	N	N	N	N	N
Cultural service	N	N	N	N	N	N	N
Golf course	P	P	P	P	P	P	P
Government service	N	N	N	N	N	N	N
Hospital	N	N	N	N	N	N	N
Operations center	N	N	N	N	N	N	N

Park	P	P	P	P	P	P	P
Post office	N	N	N	N	N	N	N
Protective service	P	P	P	P	P	P	P
Reception center	N	N	N	N	N	N	N
School, elementary, middle, high or private	P	P	P	P	P	P	P
School, vocational	N	N	N	N	N	N	N
Stable, public	N	N	N	N	N	N	N
Utility, major	N	N	N	N	N	N	N
Utility, minor	P	P	P	P	P	P	P
Commercial uses:							
Agricultural sales and service	N	N	N	N	N	N	N
Animal hospital	N	N	N	N	N	N	N
Bail bond service	N	N	N	N	N	N	N
Bank or financial institution	N	N	N	N	N	N	N
Bed and breakfast, home (Less than or Equal to 2; Owner Occupied)	C	C	C	N	N	N	C
Bed and breakfast inn (Between 3 and 10)	C	C	C	N	N	N	C
Business equipment rental, services, and supplies	N	N	N	N	N	N	N
Camping Hosting Facility	N	N	N	N	N	N	N
Car wash	N	N	N	N	N	N	N
Club, private	N	N	N	N	N	N	N
Construction sales and service	N	N	N	N	N	N	N
Convenience store	N	N	N	N	N	N	N
Family child daycare facility <sup>2</sup>	P	P	P	P	P	P	P
Licensed family child care <sup>2</sup>	C	C	C	C	C	C	C
Residential certificate child care <sup>2</sup>	P	P	P	P	P	P	P
Child care center	N	N	N	N	N	N	N
Funeral home	N	N	N	N	N	N	N
Garden center	N	N	N	N	N	N	N
Gas and fuel, storage and sales	N	N	N	N	N	N	N
Gasoline service station	N	N	N	N	N	N	N
Hostel	N	N	N	N	N	N	N
Hotel	N	N	N	N	N	N	N
Kennel, commercial	N	N	N	N	N	N	N
Kennel, residential	P	P	P	P	P	P	P
Laundry or dry cleaning, limited	N	N	N	N	N	N	N
Liquor store	N	N	N	N	N	N	N
Media service	N	N	N	N	N	N	N
Medical or dental laboratory	N	N	N	N	N	N	N

Medical service	N	N	N	N	N	N	N
Motel	N	N	N	N	N	N	N
Office, general	N	N	N	N	N	N	N
Off Road Recreational Vehicle Rental	C	C	C	N	N	N	N
Parking garage, public	N	N	N	N	N	N	N
Parking lot, public	N	N	N	N	N	N	N
Pawnshop	N	N	N	N	N	N	N
Personal care service, home based <sup>2</sup>	P	P	P	P	P	P	P
Personal instruction service, home based <sup>2</sup>	P	P	P	P	P	P	P
Printing and copying, limited	N	N	N	N	N	N	N
Printing, general	N	N	N	N	N	N	N
Produce stand	N	N	N	N	N	N	N
Recreation and entertainment, indoor	N	N	N	N	N	N	N
Recreation and entertainment, outdoor	N	N	N	N	N	N	N
Recreational vehicle park	N	N	N	N	N	N	P
Repair service	N	N	N	N	N	N	N
Research service	N	N	N	N	N	N	N
Residential hosting facility	P	P	P	N	N	N	N
Restaurant, fast food	N	N	N	N	N	N	N
Restaurant, general	N	N	N	N	N	N	N
Retail, general	N	N	N	N	N	N	N
Secondhand store	N	N	N	N	N	N	N
Shopping center	N	N	N	N	N	N	N
Tattoo establishment	N	N	N	N	N	N	N
Tavern	N	N	N	N	N	N	N
Temporary trailer	P	P	P	P	P	P	P
Transportation service	N	N	N	N	N	N	N
Vehicle and equipment rental or sale	N	N	N	N	N	N	N
Vehicle and equipment repair, general	N	N	N	N	N	N	N
Vehicle repair, limited	N	N	N	N	N	N	N
Veterinary service	N	N	N	N	N	N	N
Warehouse, self-service storage	N	N	N	N	N	N	N
Wireless telecommunication facility	See section 10-50-5, table 10-50-1 of this title						
Industrial uses:							
Automobile wrecking yard	N	N	N	N	N	N	N
Freight terminal	N	N	N	N	N	N	N
Heavy industry	N	N	N	N	N	N	N
Junk or salvage yard	N	N	N	N	N	N	N
Laundry services	N	N	N	N	N	N	N

Manufacturing, general	N	N	N	N	N	N	N
Manufacturing, limited	N	N	N	N	N	N	N
Mineral extraction	N	N	N	N	N	N	N
Wholesale and warehousing, general	N	N	N	N	N	N	N
Wholesale and warehousing, limited	N	N	N	N	N	N	N

2. Notes:

1. See chapter 46 of this chapter.
2. See chapter 42 of this chapter.
3. See section 152-37-15 of this chapter for permitted animals and fowl.
4. See licensing and operations requirements in title 11 of this code.

3. Accessory Uses:

Permitted and conditional uses set forth in table 152-13-1 of this section shall be deemed to include accessory uses and activities that are necessarily and customarily associated with and incidental and subordinate to such uses.

1. Accessory uses shall be subject to the same regulations that apply to permitted and conditional uses in the same zone except as otherwise expressly provided in this chapter.
2. No accessory use, building, or structure shall be allowed on a lot unless a permitted or conditional use has been established.
3. Accessory uses in residential zones shall include, but not be limited to, the following: Garage sales, subject to applicable standards of chapter 48, "Temporary Uses", of this chapter. Garages and off street parking areas, subject to applicable standards of chapter 34, "Off Street Parking And Loading", of this chapter. Hobby activities when conducted by an occupant of the premises solely for personal enjoyment, amusement, or recreation and which does not conflict with any other city ordinance. Home based businesses, subject to applicable standards of chapter 42, "Home Based Businesses", of this chapter. Household pets. Nurseries and greenhouses, when used for family food production. Playhouses, patios, porches, gazebos, and incidental storage buildings. Swimming pools and hot tubs for use by residents and their guests.

4.

**Sec 152-13-4 Development Standards In Residential Zones**

Development standards within residential zones shall be as set forth in table 152-13-2 of this section.

TABLE 152-13-2

DEVELOPMENT STANDARDS IN RESIDENTIAL ZONES							
	Zones						
Development Standard	R1-25	R1-15	R1-10	R1-8	RM-1	RM-2	RM-3
Lot standards:							
Average lot area <sup>2</sup>	15,000 sq. ft.	15,000 sq. ft.	10,000 sq. ft.	8,000 sq. ft.	n/a	n/a	n/a
Minimum lot area or acreage	12,000 sq. ft.	12,000 sq. ft.	8,000 sq. ft.	6,400 sq. ft.	10,000 sq. ft.	1 acre	1 acre
Minimum lot width and/or project frontage	89 ft.	90 ft.	80 ft.	70 ft.	80 ft. project	100 ft. project	200 ft. project
					30 ft. unit	30 ft. unit	30 ft. unit
/	n/a	n/a	n/a	n/a	6 units/lots	10 units/lots	15 units/lots
Building standards:							
Maximum height, main building <sup>3</sup>	34 ft.	35 ft.	35 ft.	35 ft.	35 ft.	35 ft.	35 ft.
Maximum height, accessory building <sup>4</sup>	19 ft.	20 ft.	20 ft.	20 ft.	20 ft.	20 ft.	20 ft.
Maximum size, accessory building	1,200 sq. ft.	1,200 sq. ft.	1,200 sq. ft.	500 sq. ft.	1,000 sq. ft.	1,000 sq. ft.	500 sq. ft.
Building coverage: See subsection 10-37-121 of this title	50% of lot	50% of lot	50% of lot	50% of lot	50% of lot	50% of lot	50% of lot
Distance between buildings	No requirement	No requirement	No requirement	No requirement	20 ft.	20 ft.	20 ft.
Setback standards - front yard:							
Any building <sup>5</sup>	24 ft.	25 ft.	25 ft.	25 ft.	25 ft.	25 ft.	25 ft.
Setback standards - rear yard:							

Main building	19 ft.	20 ft.	20 ft.	10 ft.	10 ft.	10 ft.	10 ft.
Accessory building, including private garage <sup>6</sup>	19 ft.	20 ft.	20 ft.	10 ft.	10 ft.	10 ft.	10 ft.
Setback standards - interior side yard:							
Main building	9 ft.	10 ft.	10 ft.	10 ft.	10 ft.	10 ft.	10 ft.
Accessory building, including private garage	See note 6	See note 6	See note 6	See note 6	See note 6	See note 6	See note 6
Setback standards - street side yard:							
Main building <sup>7</sup>	19 ft.	20 ft.	20 ft.	20 ft.	20 ft.	20 ft.	20 ft.
Accessory building	See note 6	See note 6	See note 6	See note 6	See note 6	See note 6	See note 6

Notes:

1. Duplex only permitted on first 10,000 square feet. Any additional units must meet density per acre standards.
2. "Average size" means the total acreage devoted to lots divided by the number of lots. Net density definition shall apply.
3. Except as otherwise permitted by subsection 152-13-7C of this chapter.
4. Except as otherwise permitted by subsection 152-13-7B of this chapter.
5. Except as modified by the provisions of subsection 152-37-12F, "Setback Measurement", of this chapter.
6. If located at least 10 feet from main building, 2 feet from the dripline of the roof. Otherwise, same as for main building.
7. When this side setback is required, rear setback may be reduced to 10 feet.

**Sec 152-13-5 Regulations Of General Applicability**

The use and development of real property in residential zones shall conform to regulations of general applicability as set forth in the following chapters of this chapter:

1. Design and compatibility standards:  
See chapter 33 of this title.
2. Landscaping and screening:  
See chapter 32 of this title.
3. Motor vehicle access:  
See chapter 35 of this title.
4. Natural resource inventory:  
See chapter 31 of this title.
5. Off street parking:  
See chapter 34 of this title.
6. Signs:  
See chapter 36 of this title.
7. Supplementary development standards:  
See chapter 37 of this title.

**Sec 152-13-6 Regulations For Specific Uses**

To the extent that use and development of real property includes any matter encompassed by a regulation for a specific use as set forth in Article VI of this chapter, such regulation shall apply in addition to the requirements of this chapter and shall prevail over any conflicting provision of this chapter.

**Sec 152-13-7 Special Regulations**

1. Animals:  
Within R1, RM, and MH/RV zones, where permitted by the zone, the keeping of animals shall normally be simultaneous with occupied residential use.
2. Larger Accessory Buildings:  
Notwithstanding the maximum building size limitation shown on table 152-13-2 in section 152-13-4 of this chapter, the maximum size of an accessory building may be increased pursuant to a conditional use permit.
3. Increased Height:  
Notwithstanding the height limitations shown on table 152-13-2 in section 152-13-4 of this chapter a greater building height may be allowed in residential zones pursuant to a conditional use permit.
4. Visual Barriers:  
Fencing or other method of providing privacy and a visual barrier to adjacent property shall be constructed around the perimeter of a multiple-family development.
  1. The height of such barrier shall be at least six feet (6').
  2. The barrier material and location shall be identified on an approved site plan.
5. Open Space:  
In multiple-family residential zones, common open space should equal or exceed the ground floor area of all buildings on site. Projects greater than one story should provide common open space equivalent to the ground floor area plus fifty percent (50%) of all additional floor area.

**Recommendation**

Staff recommends approval of the zone change request as it remains consistent with Hildale City' General Plan. Additionally, it may accommodate the city's goal of increased density.

**Sample Motions – ZONING CHANGE**

1. I move to recommend approval of the zoning map amendment requested for Parcel HD-SHCR-6-7 commonly addressed as 780 N Lauritzen from the current Residential Agricultural-1 (RA-1) to Residential Mulitfamily-2 (RM-2).

**Attachments**

- a. Zone Change Application
  - a. Warranty Deed
  - b. Affidavit
  - c. Check
  - d. Zoning Map
- b. Washington County Property Report for parcel HD-SHCR-1-17
- c. Draft copy Rezone Letter for Neighboring Properties
- d. Public Hearing Notice





☎ 435-874-2323  
☎ 435-874-2603  
🌐 www.hildalecity.com

# ZONE CHANGE APPLICATION

Fee: \$100

<i>For Office Use Only:</i>	
File No.	_____
Receipt No.	<u>134970567</u> <i>Angeline</i>

Name: John Barlow Telephone: 8018244232 *01/04/23*

Address: 880 North Hildale Street, Hildale, UT 84784 Fax No. \_\_\_\_\_

Agent (If Applicable): N/A Telephone: \_\_\_\_\_

Email: johnroybarlow@gmail.com

Address/Location of Subject Property: 780 North Lauritzen, Hildale, UT 84784

Tax ID of Subject Property: HD-SHCR-6-7 Existing Zone District: RA-1

**Proposed Zoning District and reason for the request** (Describe, use extra sheet if necessary)

RM-2: Convert large house to multi-family long-term rental complex.

**Submittal Requirements:** The zone change application shall provide the following:

- a. The name and address of every person or company the applicant represents;
- b. An accurate property map showing the existing and proposed zoning classifications;
- c. All abutting properties showing present zoning classifications;
- d. An accurate legal description of the property to be rezoned;
- e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the third Monday of each month at 6:30 p.m. The deadline date to submit the application is 10 business days prior to the scheduled meeting. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.**

\*\*\*\*\*

(Office Use Only)

Date Received: \_\_\_\_\_ Application Complete: YES  NO



📞 435-874-2323

📠 435-874-2603

🌐 [www.hildalecity.com](http://www.hildalecity.com)

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by:



## **ZONE CHANGE APPLICATION (General Information)**

### **PURPOSE**

All lands within the City are zoned for a specific type of land use (single family residential, multi-family, commercial, industrial, etc.). Zoning occurs to provide for a relationship between various types of land uses which promotes the health, safety, welfare, order, economics, and aesthetics of the community. Zoning is one of the main tools used to implement the City's General Plan.

### **WHEN REQUIRED**

A zone change request is required any time a property owner desires to make a significant change to the use of his/her land. The change may be from one zone density (say 1 acre lots) to smaller lots (10,000 square foot lots). Or, it may be to an entirely different type of use, such as a change from single family zoning to multiple family or commercial zoning. Since the zone applied to your land limits what you can do, a rezoning application is typically the first step toward a change.

### **REQUIRED CONSIDERATIONS TO APPROVE A ZONE CHANGE**

When approving a zone change the following factors should be considered by the Planning Commission and City Council:

1. Whether the proposed amendment is consistent with the Goals, Objectives and Policies of the City's General Plan;
2. Whether the proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property;
3. The extent to which the proposed amendment may adversely affect adjacent property; and
4. The adequacy of facilities and services intended to serve the subject property, including, but not limited to roadways, parks and recreation facilities, police and fire protection, schools, storm water drainage systems, water supplies, and wastewater and refuse collection.

### **PROCESS**

Contact the Planning Department for when the deadline for submission is. After it is deemed complete, staff will review the request, and prepare a report and recommendation for the Planning Commission. This will be reviewed at a public hearing where the applicant should attend, present the project, and respond to questions from the Planning Commission. Since it is a public hearing, members of the public may also have questions or comments. At the public hearing the Planning Commission will review the application and staff's report and forward a recommendation to the City Council of approval, approval with modifications, or denial the zone change application.

Upon receipt of the Planning Commission recommendation, typically 1-2 weeks after the Planning Commission action, the City Council will consider and act on the Commission's recommendation. The action of the City Council is final. If denied, a similar application generally cannot be heard for a year.

AFFIDAVIT  
PROPERTY OWNER

STATE OF UTAH )

COUNTY OF )

I (we), \_\_\_\_\_, being duly sworn, depose and say that I (we) am (are) the owner(s) of the property identified in the attached application and that the statements herein contained and the information provided identified in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge. I (we) also acknowledge that I have received written instructions regarding the process for which I am applying, and the Hildale City Planning staff have indicated they are available to assist me in making this application.

\_\_\_\_\_  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

Subscribed and sworn to me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_.

\_\_\_\_\_  
(Notary Public)

Residing in: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Agent Authorization

I (we), \_\_\_\_\_, the owner(s) of the real property described in the attached application, do authorize as my (our) agent(s) \_\_\_\_\_ to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the City considering this application and to act in all respects as our agent in matters pertaining to the attached application.

\_\_\_\_\_  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

Subscribed and sworn to me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_.

\_\_\_\_\_  
(Notary Public)

Residing in: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Warranty Deed Page 1 of 3  
Gary Christensen Washington County Recorder  
11/22/2022 01:14:21 PM Fee \$40.00 By  
PROSPECT TITLE INSURANCE



Prepared By Prospect Title Insurance  
Agency  
98198-22

After Recording Mail To:  
PO Box 2742  
COLORADO CITY AZ 85002

Space Above This Line for Recorder's Use

**WARRANTY DEED**

GRANTOR(S) *Thomas Williams*

Hereby CONVEY AND WARRANT(S) to:

GRANTEE(S) *John Roy Barlow*

for the sum of Ten Dollars and other good and valuable consideration the following described tract(s) of land in Washington County, State of Utah:

**See Attached Exhibit "A"**

Tax Parcel No. **HD-SHCR-6-7**

SUBJECT TO County Taxes and Assessments not delinquent, Easements, Rights of Way Covenants, Conditions and Restrictions now of record.

WITNESS our hands on 19<sup>th</sup> day of October, 2022.

Thomas Williams  
Thomas Williams

<sup>Missouri</sup>  
STATE OF UTAH <sup>Charger</sup>  
COUNTY OF WASHINGTON

On this 1<sup>st</sup> day of <sup>November</sup> October, 2022, before me Jeff Wall, a notary public, personally appeared Thomas Williams, proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to this instrument, and acknowledged he/she/they executed the same.

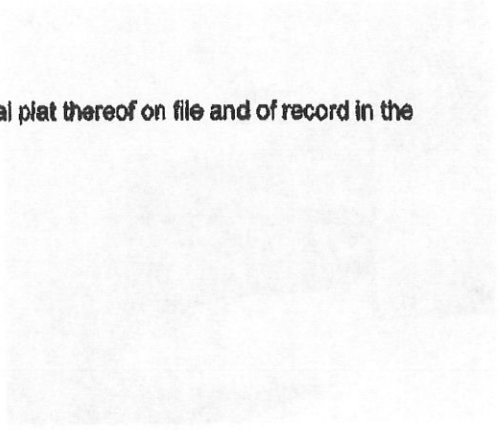
Witness my hand and official seal.

Jeff Wall  
Notary Public

Property Report for Parcel HD-SHCR-6-7

**EXHIBIT A**

All of Lot 7, Short Creek Subdivision #6, according to the official plat thereof on file and of record in the Washington County Recorder's Office, State of Utah.



Subdivision Name: Short Creek  
Site Address: 700 N. ...  
Map No. ...

Account Number: ...  
Parcel ID: ...  
Owner Name: ...

Map Date: ...  
Section: ...  
Township: ...  
Range: ...  
County: ...

Building Number: ...  
Property Type: ...  
Year Built: ...  
Square Feet: ...

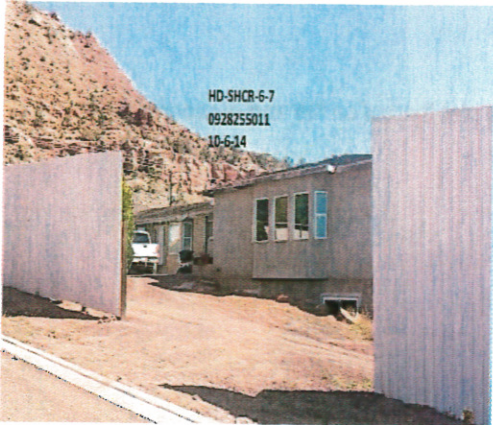
WASHINGTON COUNTY

Short Creek Subdivision #6

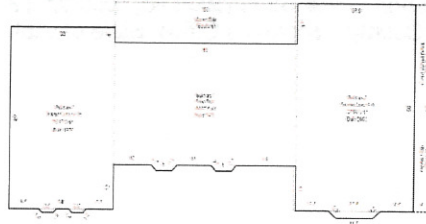


# Property Report for Parcel **HD-SHCR-6-7**

Data Updated: 1/1/2023



[Click here for images](#)



[Click here for sketches](#)

## Account Summary

Account Number: 0928255  
Parcel ID: HD-SHCR-6-7  
Owner Name: Williams Thomas

Subdivision: Short Creek  
Situs Address: 780 N Lauritzen St  
Hildale, UT 84784

## Building Characteristics

Building Number: 1  
Property Type: Residential  
Year Built: 2003  
Square Feet: 5688

HVAC Desc: Central Air to Air  
Bedrooms: 2  
Bathrooms: 2  
Garage Square Feet: N/A  
Basement Sq. Ft.: 3717  
Basement Sq. Ft. Finished: N/A  
Swimming Pool: N/A  
Fireplaces: 1  
Finished Attic: N/A

Units: 1  
Exterior: Frame Masonry Veneer  
Roof Cover: Composition Shingle

### LEGAL DESCRIPTION:

Legal Subdivision: SHORT CREEK 6 (HD) Lot: 7

*NOTE: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.*

Report Generated 1/4/2023 by Washington County GIS

Washington County, Utah  
County Administration Building  
197 E. Tabernacle Street  
St. George, UT 84770-3443  
[www.washco.utah.gov](http://www.washco.utah.gov)





# Property Report for Parcel **HD-SHCR-6-7**

## Property Information

Acres: 0.73  
Zoning: Residential-Agricultural 1  
Is Property in a Special Flood Hazard Area? No  
Is Property in a 0.2% Annual Chance Flood Area? No  
Is Property in a Floodway? No

## Tax Information

Tax District: Hildale Town  
Residential Classification: Primary  
Book & Page: N/A  
Reference Document: 20220050855

*\* Determination of flood zone information is based upon 2009 FEMA Digital Flood Insurance Rate Map Database but does not substitute for a Flood Verification letter. For more information, please visit the FEMA Flood Map Service Center website <https://msc.fema.gov/portal/home> or contact your municipal Engineering department.  
City zoning information is based on the best available information and should be independently verified by contacting each municipality directly.*

## Voting Districts

Washington County Precinct: HIL01  
U.S. Senate District: 27  
U.S. Congressional District: 2  
Utah House District: 72  
Washington County School Board District: 5

*\* Visit [Vote Utah gov](http://VoteUtah.gov) or <https://geoprodvm.washco.utah> for more voting information.*

## Community/Public Services

Law Enforcement: Hildale  
Fire Protection: Colorado City Fire Dept  
*\* In an emergency, ALWAYS dial 9-1-1!*

Schools:  
Water Canyon Elementary  
Water Canyon High  
Water Canyon  
Water Canyon High

*\* For more information, including bus routes, visit the Washington Co. School District at <https://www.washk12.org/> or Iron Co. School District at <https://irondistrict.org/>*

## Utilities

Culinary Water: Hildale - Colorado City  
Sewer: Hildale  
Electricity: Garkane Energy Cooperative, Inc  
Natural Gas: N/A  
Internet Service Providers (Cable): AWI

Solid Waste Collection Day: N/A

*\* For more information on solid waste and recycling services, visit the Washington County Solid Waste website at <http://www.wcsw.org/>*

*\* For more information on Internet services available in your area, see Decision Data.org, <https://decisiondata.org/internet-providers-by-zip-code-plus-tv/>*

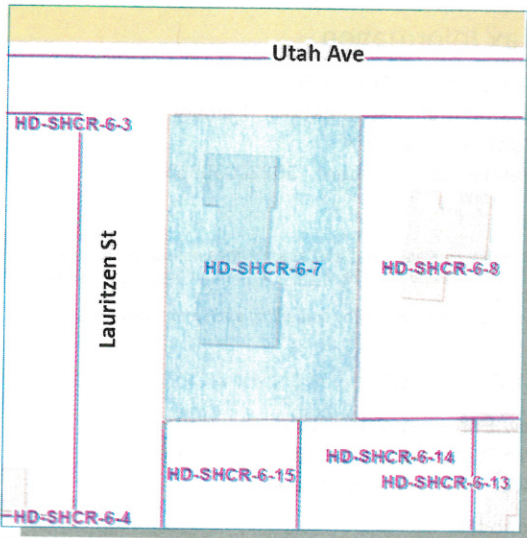
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Report Generated 1/4/2023 by Washington County GIS

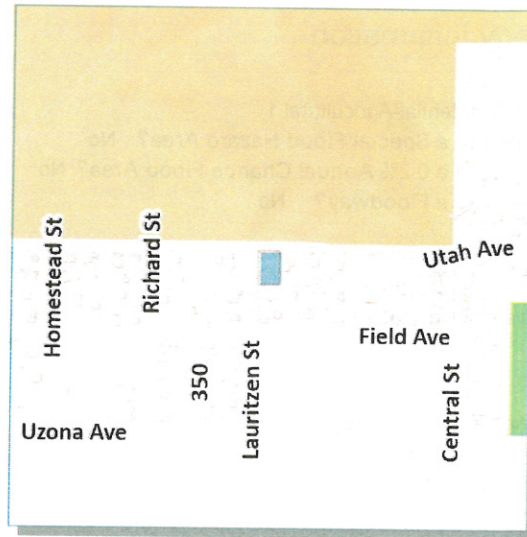
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St. George, UT 84770-3443  
[www.washco.utah.gov](http://www.washco.utah.gov)



### Property Report for Parcel **HD-SHCR-6-7**



Parcel highlighted in blue.



Overview Map

*NOTE: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.*

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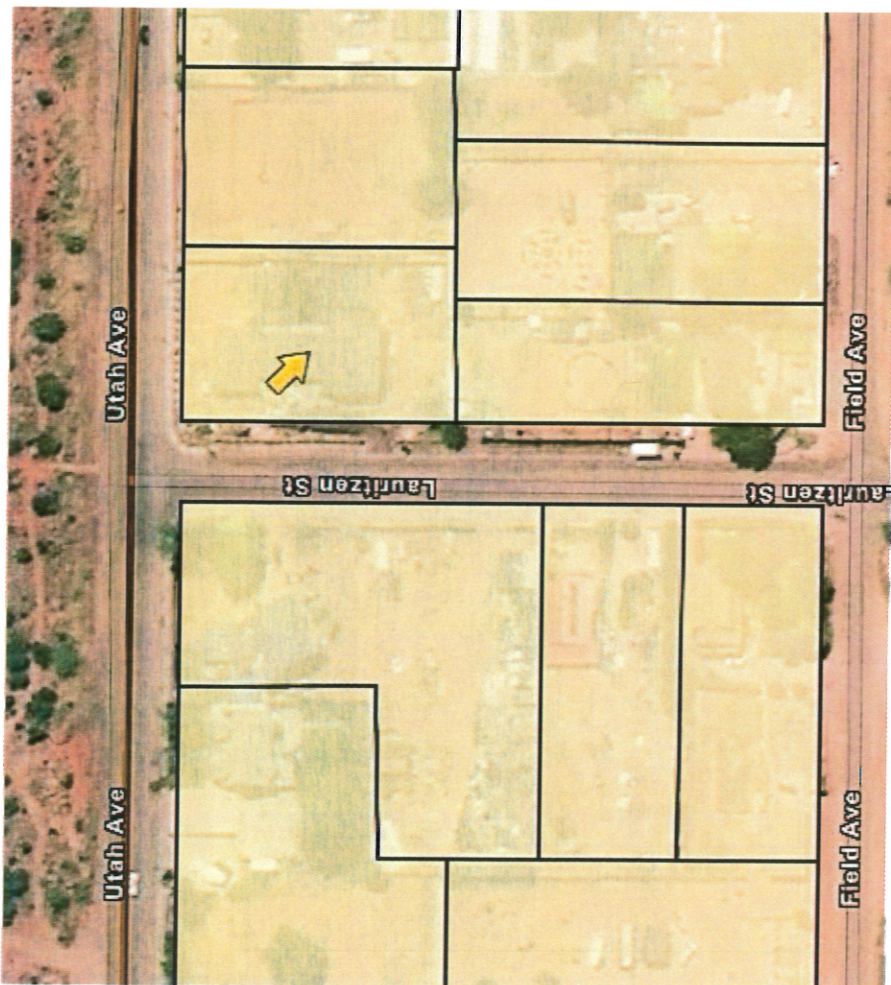
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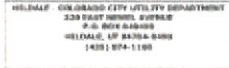
### Amounts Valid Through: January 4, 2023

Original Tax	Year	Tax Due	Penalty Due	Interest Due	Fees Due	Total Due
	2013	0.00	0.00	0.00	0.00	0.00
	2014	0.00	0.00	0.00	0.00	0.00
\$1,769.01	2015	0.00	0.00	0.00	0.00	0.00
\$1,667.05	2016	0.00	0.00	0.00	0.00	0.00
\$1,415.75	2017	0.00	0.00	0.00	0.00	0.00
\$1,289.49	2018	0.00	0.00	0.00	0.00	0.00
\$1,392.33	2019	0.00	0.00	0.00	0.00	0.00
\$1,594.91	2020	0.00	0.00	0.00	0.00	0.00
\$1,482.50	2021	0.00	0.00	0.00	0.00	0.00
\$1,780.79	2022	0.00	0.00	0.00	0.00	0.00

Primary Owner: WILLIAMS THOMAS  
Account Number: 928255  
Serial Number: HD-SHCR-6-7  
Mailing Address: PO BOX 270, STOCKTON, MO 65785







Hildale City  
320 E.Newel Ave  
Hildale, UT 84784  
(435) 874-1160  
ar@hildalecity.com

**XBP Confirmation Number: 134970567**

▶ Transaction detail for payment to Hildale City.		Date: 01/04/2023 - 5:01:56 PM MT	
<b>Transaction Number: 189625172PT</b> <b>Visa — XXXX-XXXX-XXXX-8349</b> <b>Status: Successful</b>			
Account #	Item	Quantity	Item Amount
ZONE CHANGE APP	Land Use	1	\$100.00

**TOTAL: \$100.00**

**Billing Information**  
JOHN BARLOW  
780 NORTH LAURITZEN ST  
HILDALE, UT 84784  
(801) 824-4232

Transaction taken by: Admin AChatwin

## Preliminary Plat Staff Report

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**Applicant Name:** Carl Timpson  
**Agent:** Thomas Timpson  
**Application Type:** Preliminary Plat for Subdivision  
**Project Address:** 685 N Willow Street & 725 N Willow Street  
**Date:** January 11, 2023  
**Prepared by:** Harrison Johnson

### Sec 152-39-7 Preliminary Plat Requirements

The preliminary plat shall include or be accompanied by the following:

1. Description:

In a title block located in the lower right hand corner of the sheet the following is required:

1. The proposed name of the subdivision.
2. The location of the subdivision, including the address and the section, township and range.
3. The names and addresses of the owner or subdivider if other than the owner.
4. Date of preparation and north point.
5. Scale shall be of sufficient size to adequately describe in legible form all required elements.

2. Existing Conditions:

The preliminary plat shall show:

1. The location of the nearest monument.
2. The boundary of the proposed subdivision and the acreage included.
3. All property contiguous to the property to be subdivided and under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing master street plan or other commission studies.) And all property contiguous to the proposed subdivision.
4. The location, width and names/numbers of all existing streets within two hundred feet (200') of the subdivision and of all prior streets or other public

**Chairperson:** Charles Hammon

**Vice-Chairperson:** Elyssa Wall

**Commissioners:** Lawrence Stubbs, Derick Holm, Nathan Fischer, Tracy Barlow, Rex Jessop



ways, easements, utility rights of way, parks and other public open spaces, within and adjacent to the tract.

5. The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
6. Existing ditches, canals, natural drainage channels and open waterways and proposed realignments.
7. Contours at vertical intervals not greater than five feet (5').
8. Identification of potential geotechnical constraints on the project site (such as expansive rock and soil, collapsible soil, shallow bedrock and caliche, gypsiferous rock and soil, potentially unstable rock or soil units including fault lines, shallow groundwater, and windblown sand) and recommendations for their mitigation.

3. Proposed Plan:

The subdivision plans shall show:

1. The layout of streets, showing location, widths and other dimensions of proposed streets, crosswalks, alleys and easements.
2. The layout, numbers and typical dimensions of lots. Designation of buildable area is required for each lot.
3. Parcels of land intended to be dedicated or temporarily reserved for public use or set aside for use of property owners in the subdivision.
4. Easements for water, sewers, drainage, utilities, lines and other purposes.
5. Typical street cross sections and street grades where required by the planning commission.
6. A tentative plan or method by which the subdivider proposes to handle the stormwater drainage for the subdivision.
7. Approximate radius of all centerline curves on highways or streets.
8. Each lot shall abut a street shown on the subdivision plat or on an existing publicly dedicated street. (Double frontage or flag lots shall be prohibited except where conditions make other design undesirable.)
9. All remnants of lots below minimum size left over after subdividing of a larger tract shall be added to adjacent lots or common areas, rather than allowed to remain as unusable parcels.
10. Where necessary, copies of any agreements with adjacent property owners relevant to the proposed subdivision shall be presented to the planning commission.

**Chairperson: Charles Hammon**

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11. A letter from both the local sanitary sewer provider and culinary water provider indicating availability of service.
  12. If the subdivision is to be built in phases, the plat shall show possible phasing lines.
  13. A tentative plan or method for providing nondiscriminatory access to the subdivision for purposes of placement of communications infrastructure, and for purposes of placement of utility infrastructure.
4. Required Copies Of Plans:
1. Two (2) copies of all full scale drawings.
  2. One copy of each drawing on eleven inch by seventeen inch (11" x 17") sheets or eight and one-half by eleven (8 1/2 x 11) if the project is small and the plans are legible at that size.

#### **Sec 152-39-8 Construction Drawings**

After preliminary plat approval by city council, the applicant shall have construction drawings prepared by a licensed engineer for all on site and required off site improvements in accordance with the following:

1. Final plan and profile must be prepared in accordance with:
  1. Current Hildale City standards and specifications;
  2. Requirements of the Southwest Utah Public Health Department and the state department of environmental quality or other appropriate state agencies; and
  5. Applicable fire codes.
2. Specific geotechnical recommendations for the design and construction of the proposed subdivision shall include the following if applicable:
  1. A general assessment of the requirements needed to develop on the site.
  2. Site preparation and grading and the suitability of on site soils for use as structural fill.
  3. Stable cut and fill slopes including recommendations concerning the effects of material removal and the introduction of water.
  4. Recommendations for foundation type and design criteria, including, but not limited to, bearing capacity of natural or compacted soils, provisions to mitigate the effects of expansive, compressible, or collapsible soils, differential settlement and varying soil strength, and the effects of adjacent loads.
  5. Anticipated total and differential settlement.
  6. Special design and construction considerations, as necessary, such as the excavation and replacement of unsuitable materials, excavation difficulties, stabilization, or special foundation provisions for problem soil conditions.

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7. Design criteria for restrained and unrestrained retaining or rockery wall.
8. Moisture protection and surface drainage.
3. Eleven (11) sets of complete drawings must be submitted to the Public Works Director. Construction drawings must contain a signature block for all required utility, City, and Ash Creek Special Service District representatives. Drawings shall be a minimum of twenty two inches by thirty four inches (22" x 34") (full size).
4. Applicant shall request placement on a Joint Utility Committee agenda for initial review of the plans.
5. Applicant or applicant's authorized representative shall attend the Joint Utility Committee meeting when the item is on the agenda. Utility, franchisee, City, and Ash Creek representatives will take copies of plans to redline.
6. All street grades over five percent (5%) shall be noted on the preliminary plat.
7. When redlines are completed, Public Works Director shall prepare a summary of the needed changes and return redlined plans to applicant.
8. Applicant shall then submit three (3) copies of the corrected construction drawings, addressing all redlined items, to the City Engineer for review and possible signature. After City Engineer signs, applicant must obtain all required signatures and return signed plans to Public Works Director for final signature.
9. Construction drawings are valid for twenty four (24) months after final signature. Construction drawings signed more than twenty four (24) months prior to construction of improvements shall be considered expired. For a project where construction has started and all improvements shown on the plan will be constructed, the Public Works Director may permit construction to continue. Construction drawings showing multiple phases of a project are valid only for those improvements constructed within the first twenty four (24) months of approval. New approvals must be obtained and any new standards shall apply for future phases or delayed projects.

### **Summary of Application**

This application for subdivision is part of the preliminary plat process and seeks to create six (6) new lots from an existing two lots from which to build single family residential homes.

### **Zoning Compliance Notes**

The zoning of the property is R1-8 and the proposed subdivision lot dimensions are compliant with Residential Zoning Chapter 13.

### **General Plan Compliance Notes**

The proposed subdivision is currently zoned as residential, and the project's objective is to build housing which aligns with the Hildale City General Plan.

**Chairperson: Charles Hammon**

**Vice-Chairperson: Elyssa Wall**

**Commissioners: Lawrence Stubbs, Derick Holm, Nathan Fischer, Tracy Barlow, Rex Jessop**

### **Joint Utilities Comments**

The JUC was sent the application on December 7<sup>th</sup>, 2022 and no negative comments received from any the participating departments or agencies.

### **Engineering Review**

Currently underway but no obvious issues.

### **Staff Recommendation**

This subdivision represents a relatively small number of lots which has a low impact on facilities and aligns with the general plan, therefore, the staff supports approval of this application.



☎ 435-874-2323

📠 435-874-2603

🌐 www.hildalecity.com

# PRELIMINARY PLAT APPLICATION

Fee: \$300 + \$50 per acre

<p><i>For Office Use Only:</i></p> <p><b>File No.</b> _____</p> <p><b>Receipt No.</b> _____</p>
---

**Name:** Carl Timpson / NBJC, LLC **Telephone:** (435) 881-5886

**Address:** 2816 Soaring Peak Ave, Henderson, NV 89052 **Fax No.** \_\_\_\_\_

**Email:** catimpson@villagecapital.com

**Agent (If Applicable):** Thomas Timpson / t.c.timpson@live.com **Telephone:** (435) 619-6477

**Address/Location of Subject Property:** 685 North Willow Street & 725 North Willow Street, Hildale, Utah

**Tax ID of Subject Property:** HD-SHCR-1-40; \*-5-A; \*-5-B; \*-5-C **Zone District:** R1-8 (LOT 5 & 40)

**Proposed Use:** (Describe, use extra sheet if necessary. Include total number of lots) \_\_\_\_\_

Single Family Residential; 7 total lots; See attached drawings & supporting documentation

**Submittal Requirements:** The preliminary plat application shall provide the following:

- X 1. Description: In a title block located in the lower right-hand corner of the sheet the following is required:
  - X a. The proposed name of the subdivision.
  - X b. The location of the subdivision, including the address and section, township and range.
  - X c. The names and addresses of the owner or subdivider, if other than the owner.
  - X d. Date of preparation, and north point.
  - X e. Scale shall be of sufficient size to adequately describe in legible form, all required conditions of Chapter 39, City Subdivision regulations.
- X 2. Existing Conditions: The preliminary plat shall show:
  - X a. The location of the nearest monument.
  - X b. The boundary of the proposed subdivision and the acreage included.
  - NA c. All property under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing Master Street Plan or other Commission studies.)
  - X d. The location, width and names/numbers of all existing streets within two hundred (200) feet of the subdivision and of all prior streets or other public ways, utility rights of way, parks and other public open spaces, within and adjacent to the tract.
  - NA e. The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
  - X f. Existing sewers, water mains, culverts or other underground facilities within the tract, indicating the pipe sizes, grades, manholes and the exact locations.

- g. Existing Hildale Canal Company facilities; other ditches, canals, natural drainage channels and open waterways and any proposed realignments.
- h. Contours at vertical intervals not greater than five (5) feet.
- i. Identification of potential geotechnical constraints on the project site (such as expansive rock and soil, collapsible soil, shallow bedrock and caliche, gypsiferous rock and soil, potentially unstable rock or soil units including fault lines, shallow groundwater, and windblown sand) and recommendations for their mitigation.
- j. Information on whether property is located in desert tortoise take area

3. Proposed Plan: The subdivision plans shall show:

- a. The layout of streets, showing location, widths, and other dimensions of proposed streets, crosswalks, alleys and easements.
- b. The layout, numbers and typical dimensions of lots.
- c. Parcels of land intended to be dedicated or temporarily reserved for public use or set aside for use of property owners in the subdivision.
- d. Easements for water, sewers, drainage, utilities, lines and other purposes.
- e. Typical street cross sections and street grades where required by the Planning Commission. (All street grades over 5% should be noted on the preliminary plat)
- f. A tentative plan or method by which the subdivider proposes to handle the storm water drainage for the subdivision.
- g. Approximate radius of all center line curves on highways or streets.
- h. Each lot shall abut a street shown on the subdivision plat or on an existing publicly dedicated street. (Double frontage or flag lots shall be prohibited except where conditions make other design undesirable)
- i. In general, all remnants of lots below minimum size left over after subdividing of a larger tract must be added to adjacent lots, rather than allow to remain as unusable parcels.
- j. Where necessary, copies of any agreements with adjacent property owners relevant to the proposed subdivision shall be presented to the Planning Commission.
- k. A letter from both the local sanitary sewer provider and culinary water provider indicating availability of service.
- l. Will this subdivision be phased? If yes show possible phasing lines.
- m. A tentative plan or method for providing non-discriminatory access to the subdivision for purposes of placement of communications infrastructure, and for purposes of placement of utility infrastructure.

4. Required copies of plans:

- a. Three copies of all full-scale drawings
- b. One copy of each drawing on a 11 x 17-inch sheets. (8 1/2 x 11 is acceptable if the project is small and the plans are readable at that size).
- c. Electronic copies sent to [planning@hildalecity.com](mailto:planning@hildalecity.com)

5. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the third Thursday of each month at 6:30 p.m. The deadline date to submit the application is 14 days prior to the scheduled meeting. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.**

\*\*\*\*\*

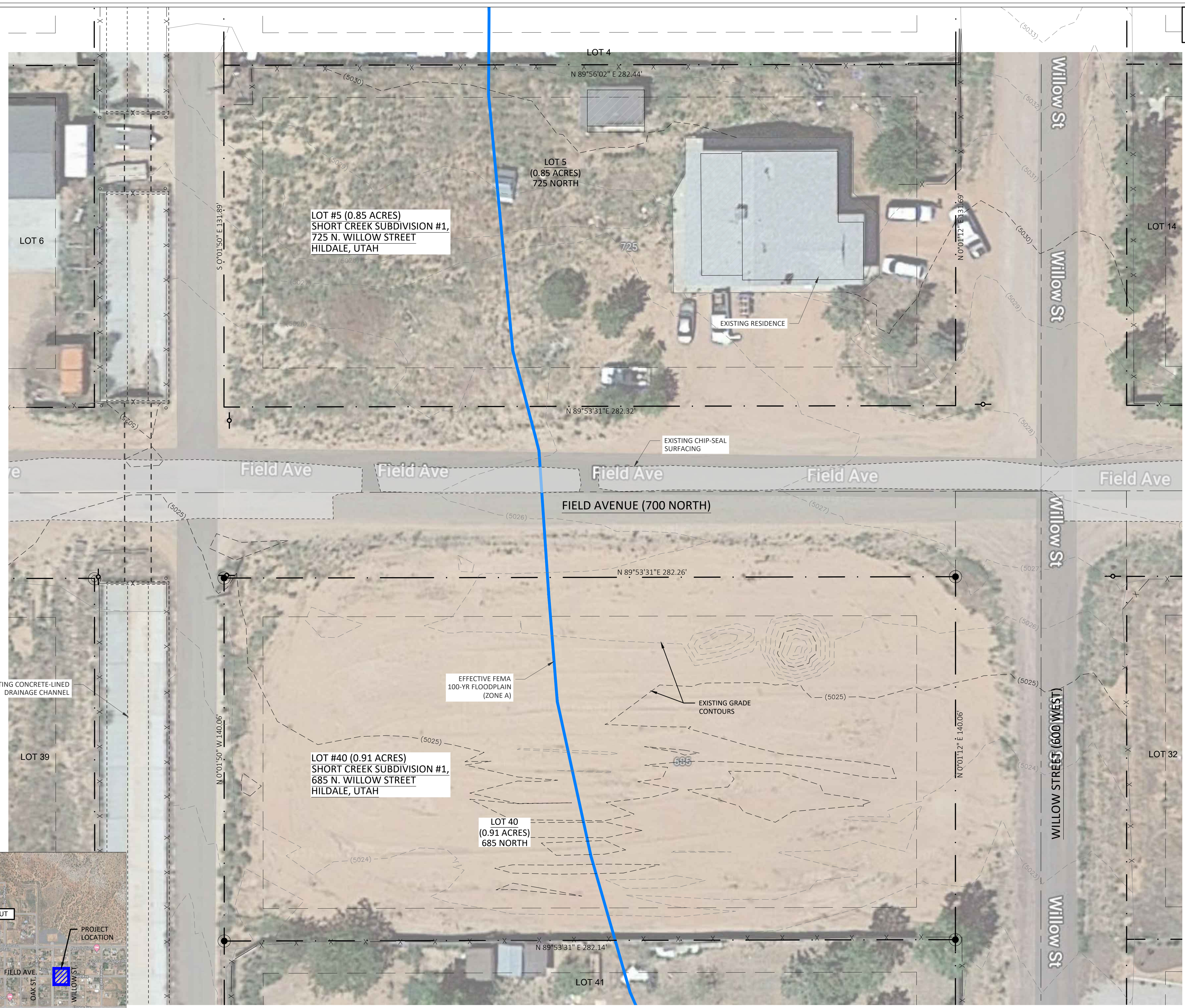
(Office Use Only)

Date Received: \_\_\_\_\_ Application Complete: YES  NO

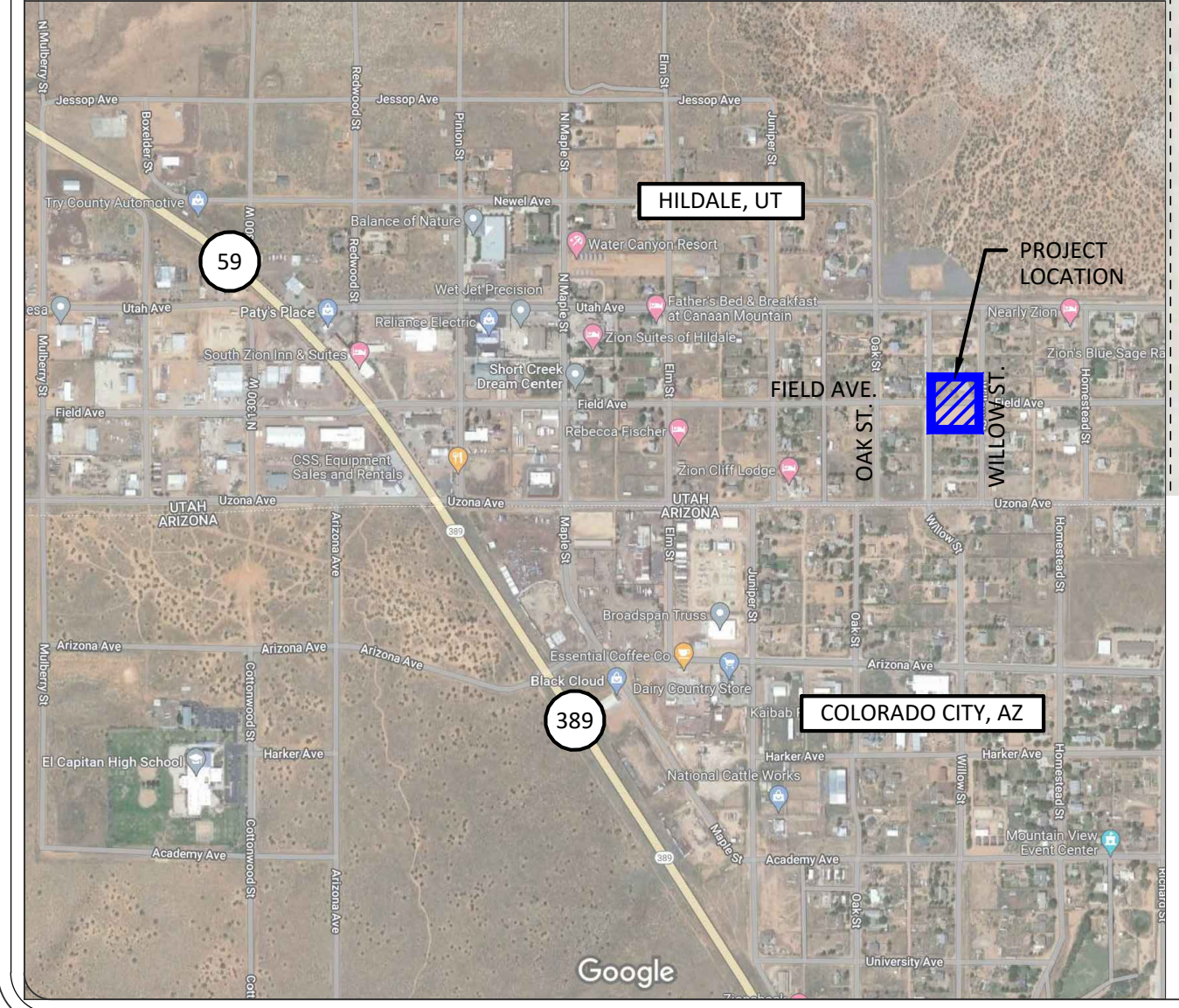
Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_



EXISTING CONDITIONS



VICINITY MAP



**TCT ENGINEERING**  
 1965 S HAMMON ST, COLORADO CITY, AZ  
 TEL: (435) 619-6477  
 E-MAIL: tctimpson@tct.com

**PRELIMINARY PLAT FOR  
 SHORT CREEK SUBDIVISION #1 PARTIAL AMENDMENT "A"  
 AMENDING LOTS 5 & 40**

LOT #5, & LOT #40, SHORT CREEK SUBDIVISION #1  
 LOCATED IN THE SE 1/4 OF SECTION 33, T43S, R10W, SLB&M, HILDALE, UT

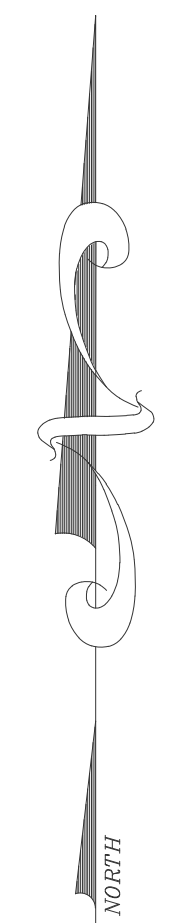
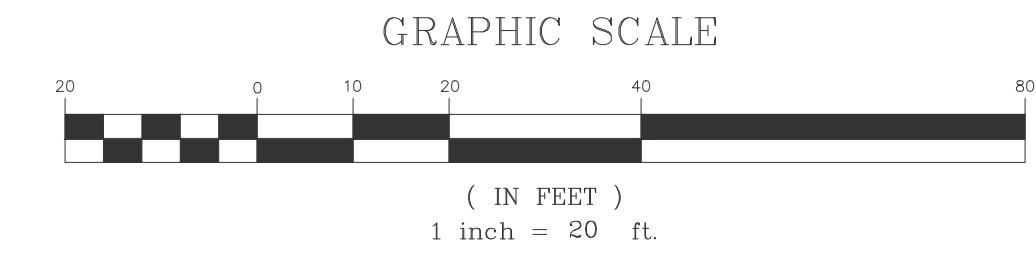
REVISIONS

REV	DATE	DESCRIPTION

PROJECT NO: 210907  
 CAD DWG. FILE: 210907\_2\_Lot 5 & 40 SD.dwg  
 DRAWN BY: TCT  
 DESIGNED BY: TCT  
 FIELD CREW:  
 CHECKED BY:  
 DATE: 11-28-22

EXISTING CONDITIONS

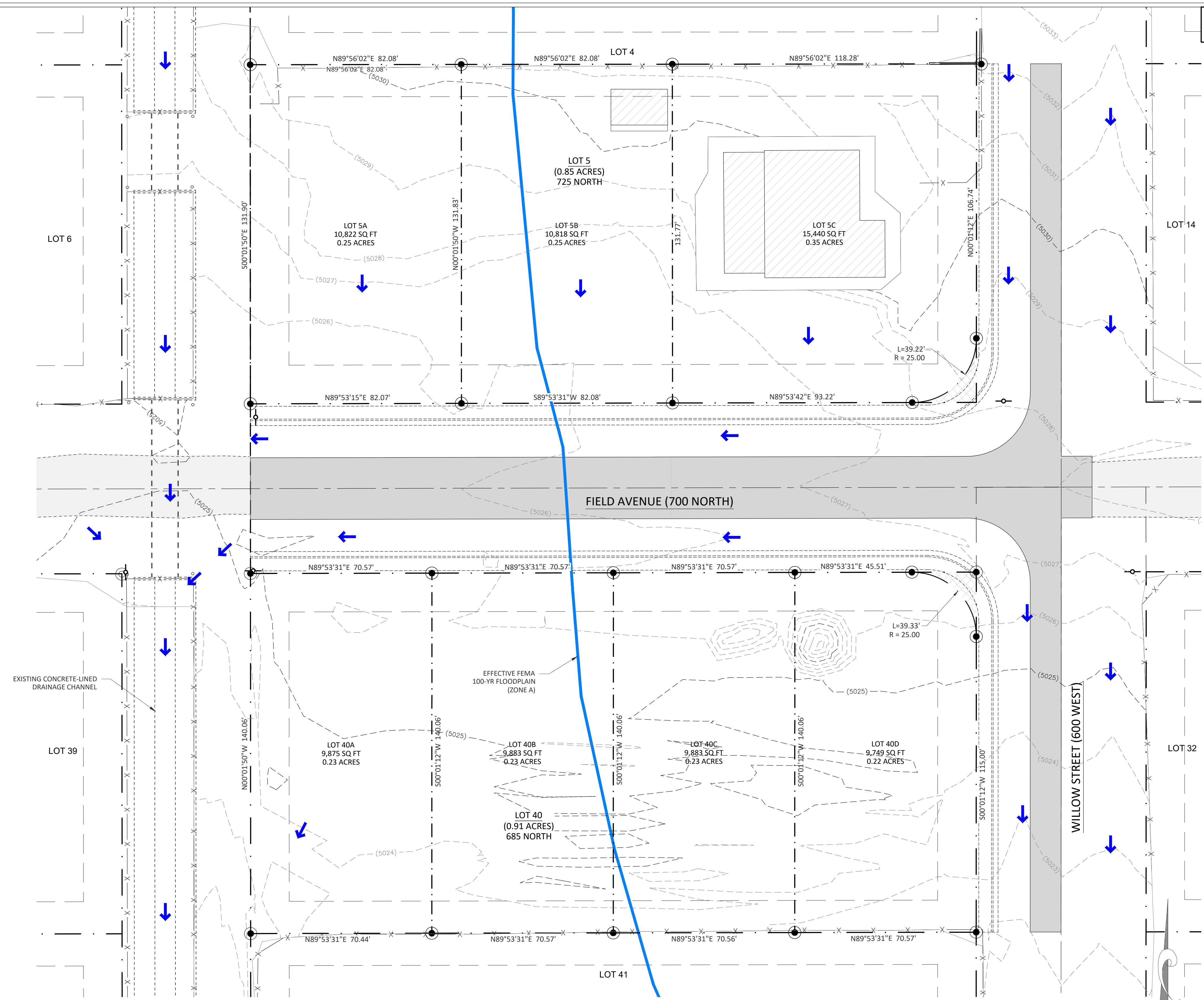
C2.1











### DRAINAGE PLAN

**TCT ENGINEERING**  
 1965 S HAMMON ST, COLORADO CITY, AZ  
 TEL: (435) 619-6477  
 E-MAIL: tctimpson@tct.com

**PRELIMINARY PLAT FOR  
 SHORT CREEK SUBDIVISION #1 PARTIAL AMENDMENT "A"  
 AMENDING LOTS 5 & 40**

LOT #5, & LOT #40, SHORT CREEK SUBDIVISION #1  
 LOCATED IN THE SE 1/4 OF SECTION 33, T48S, R10W, S18&M, HILDALE, UT

REVISIONS		
REV.	DATE	DESCRIPTION

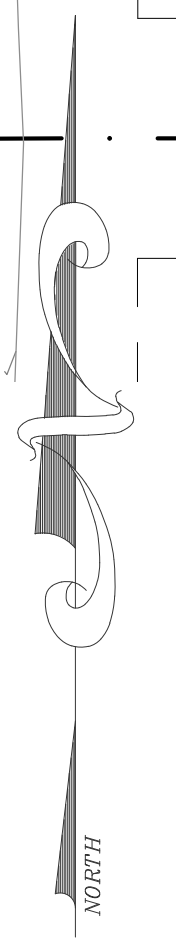
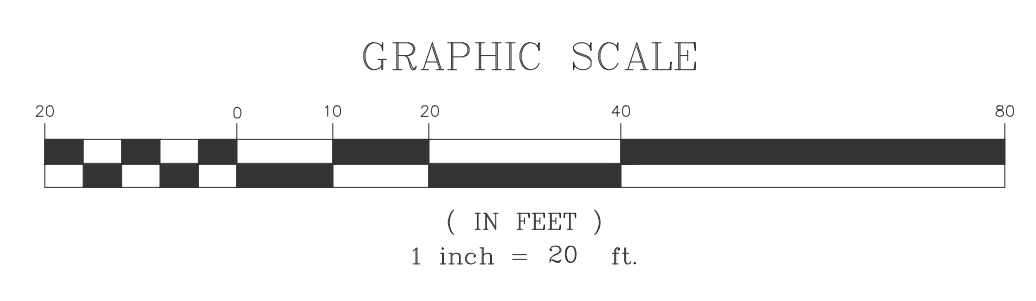
PROJECT NO: 210907  
 CAD DWG. FILE: 210907\_2\_Lot 5 & 40 SD.dwg  
 DRAWN BY: TCT  
 DESIGNED BY: TCT  
 FIELD CREW:  
 CHECKED BY:  
 DATE: 11-28-22  
 SHEET:

### DRAINAGE PLAN

# C2.3

#### LINE & SYMBOLS LEGEND

- — — — — PROPERTY BOUNDARY
- - - - - UTILITY / DRAINAGE EASEMENT
- - - - - EXISTING GRADE CONTOUR
- - - - - FINISH GRADE CONTOUR
- - - - - STORM DRAIN PIPE
- - - - - RUNOFF FLOW LINE
- ← ← ← ← ← RUNOFF DIRECTION
- - - - - RETAINING WALL



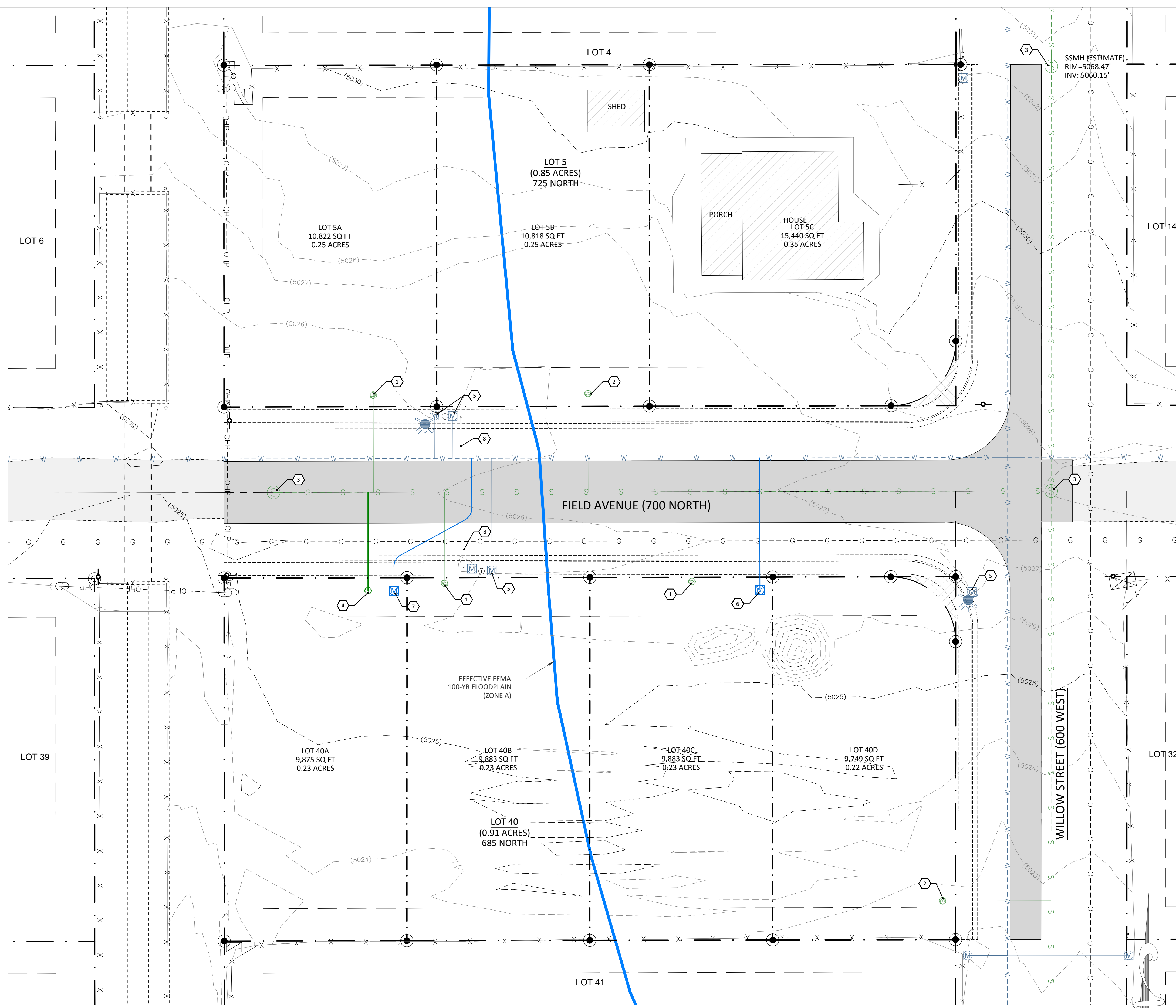
EXISTING CONCRETE-LINED DRAINAGE CHANNEL

EFFECTIVE FEMA 100-YR FLOODPLAIN (ZONE A)

WILLOW STREET (600 WEST)

FIELD AVENUE (700 NORTH)





### UTILITIES PLAN

#### KEY NOTE LEGEND

1	EXISTING SEWER CLEANOUT TO REMAIN
2	APPROXIMATE LOCATION OF EXISTING SEWER CLEANOUT - TO REMAIN
3	APPROXIMATE LOCATION OF EXISTING SEWER MANHOLE
4	PROPOSED SEWER CLEANOUT
5	EXISTING WATER SERVICE TO REMAIN
6	PROPOSED 3/4" WATER SERVICE
7	RELOCATED EXISTING WATER SERVICE AS SHOWN
8	EXISTING GAS STUB

#### UTILITY PROVIDERS

**WATER, SEWER, AND GAS PROVIDER:**  
 HILDALE / COLORADO CITY UTILITY DEPARTMENT  
 320 EAST NEWEL AVENUE  
 PO BOX 840490  
 HILDALE UTAH, 84784  
 (435) 874-1160

**ELECTRICAL POWER PROVIDER:**  
 GARKANE ENERGY CO-OP INC.  
 1802 US-89A  
 KANAB, UT 84741  
 (435) 644-5026

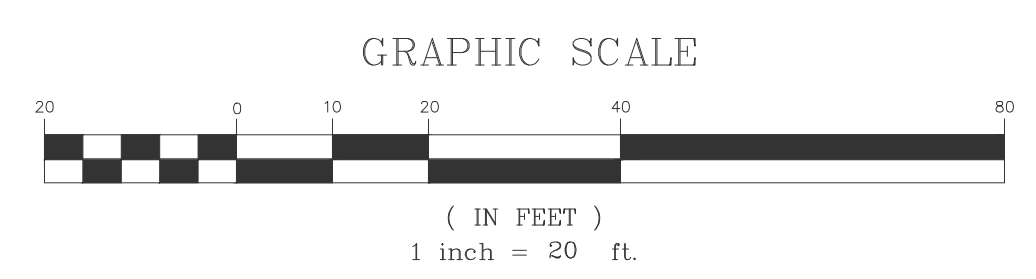
**TELECOMMUNICATIONS PROVIDER:**  
 SOUTH CENTRAL COMMUNICATIONS  
 318 N. 100 E.  
 KANAB, UT 84741  
 (888) 826-4211

**SOLID WASTE COLLECTION AND DISPOSAL:**  
 ARIZONA STRIP LANDFILL CORPORATION  
 25 S. CENTRAL ST  
 COLORADO CITY, AZ 86021  
 (928) 874-9168

**POLICE & EMERGENCY RESPONSE AGENCIES:**  
 COLORADO CITY MARSHAL'S OFFICE  
 25 S. CENTRAL ST  
 COLORADO CITY, AZ 86021  
 (928) 875-2695

#### LINE & SYMBOLS LEGEND

	DEVELOPMENT BOUNDARY
	PROPOSED LOT LINE
	UTILITY & DRAINAGE EASEMENT
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SEWER LINE
	PROPOSED SEWER LINE
	EXISTING UNDERGROUND POWER LINE
	EXISTING OVERHEAD POWER LINE
	PROPOSED UNDERGROUND POWER
	PROPOSED OVERHEAD POWER
	EXISTING COMMUNICATIONS LINE
	PROPOSED COMMUNICATIONS LINE
	EXISTING FIBER-OPTIC LINE
	EXISTING FENCE LINE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPOSED 3/4" WATER SERVICE METER
	EXISTING POWER POLE / GUY WIRE
	EXISTING SEWER MANHOLE
	PROPOSED SEWER MANHOLE
	PROPOSED 4" SEWER LATERAL



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**PRELIMINARY PLAT FOR  
 SHORT CREEK SUBDIVISION #1 PARTIAL AMENDMENT "A"  
 AMENDING LOTS 5 & 40**

LOT #5, & LOT #40, SHORT CREEK SUBDIVISION #1  
 LOCATED IN THE SE 1/4 OF SECTION 33, T43S, R10W, S18&M, HILDALE, UT

#### REVISIONS

REV	DATE	DESCRIPTION

PROJECT NO:	210907
CAD DWG. FILE:	210907_2_Lot 5 & 40_S0.dwg
DRAWN BY:	TCT
DESIGNED BY:	TCT
FIELD CREW:	
CHECKED BY:	
DATE:	11-28-22

SHEET:  
**UTILITIES PLAN**

**C2.4**

Warranty Deed Page 1 of 2  
Russell Shirts Washington County Recorder  
04/23/2020 04:06:21 PM Fee \$40.00 By INVEST  
TITLE SERVICES - ST. GEORGE

WHEN RECORDED MAIL TO:  
TRACY BARLOW JR  
P O BOX 1518  
HILDALE, UT 84784

SPACE ABOVE THIS LINE FOR RECORDERS USE ONLY  
RECORDED AT THE REQUEST OF INWEST TITLE SERVICES, INC. ORDER # 267559

# WARRANTY DEED

**JEFF J. BARLOW, EXECUTIVE DIRECTOR OF THE UNITED EFFORT PLAN TRUST**  
OF HILDALE, COUNTY OF WASHINGTON, STATE OF UT  
HEREBY CONVEY AND WARRANT TO

GRANTOR(S)

**TRACY BARLOW JR., A MARRIED MAN**

GRANTEE(S)

OF HILDALE, COUNTY OF WASHINGTON, STATE OF UT  
FOR THE SUM OF TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION,  
THE FOLLOWING DESCRIBED TRACT OF LAND IN WASHINGTON COUNTY, STATE OF UT:

**(HD-SHCR-1-5)**

**LOT 5, SHORT CREEK SUBDIVISION #1, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND  
OF RECORD IN THE WASHINGTON COUNTY RECORDER'S OFFICE, STATE OF UTAH.**

**SUBJECT TO THE MATTERS SET FORTH ON EXHIBIT "A" ATTACHED HERETO AND MADE A PART  
THEREOF.**

**SUBJECT TO EASEMENTS, RESTRICTIONS, COVENANTS AND RIGHTS OF WAY OF RECORD, AND TAXES FOR  
THE YEAR 2020 AND THEREAFTER.**

WITNESS THE HAND(S) OF SAID GRANTOR(S), THIS 20 DAY OF APRIL, 2020.

THE UNITED EFFORT PLAN TRUST

  
BY: JEFF J. BARLOW, EXECUTIVE DIRECTOR

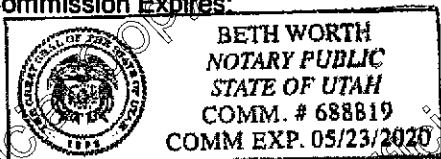
### ACKNOWLEDGMENT

STATE OF UTAH )  
(ss.  
COUNTY OF WASHINGTON )

On this 20 Day of APRIL, 2020, personally appeared before me JEFF J. BARLOW, whose identity is personally known to me, or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that he is the EXECUTIVE DIRECTOR of THE UNITED EFFORT PLAN TRUST, and that said document was signed by him/her behalf of said Trust by the authority of the Trust Agreement and any Amendments thereto, and said JEFF J. BARLOW, acknowledged to me that said Trust executed the same.

  
NOTARY PUBLIC

My Commission Expires: 5/23/2020



 **INVEST TITLE**  
444 EAST TABERNAACLE, #B202  
ST. GEORGE, UT 84770

**EXHIBIT "A"**

1. TAXES FOR THE YEAR 2020 ACCRUING AS A LIEN, BUT NOT YET DUE AND PAYABLE. PRIOR TAX INFORMATION AS FOLLOWS:

YEAR: 2019  
 AMOUNT DUE: \$1,178.08  
 SERIAL NO.: HD-SHCR-1-5

2. THE SUBJECT PROPERTY IS LOCATED WITHIN THE BOUNDARIES OF THE SPECIAL ASSESSMENT DISTRICT(S) SHOWN BELOW, AND IS SUBJECT TO ALL CHARGES AND/OR ASSESSMENTS LEVIED THEREBY:
- DISTRICT(S): WASHINGTON  
 DISTRICT(S): MULTICOUNTY ASSESSING & COLLECTING LEVY  
 DISTRICT(S): COUNTY ASSESSING & COLLECTING LEVY  
 DISTRICT(S): WASHINGTON COUNTY SCHOOL DISTRICT  
 DISTRICT(S): HILDALE CITY  
 DISTRICT(S): THE WASHINGTON COUNTY WATER CONSERVANCY DISTRICT  
 DISTRICT(S): SOUTHWEST MOSQUITO ABATEMENT & CONTROL DISTRICT  
 DISTRICT(S): SOUTH UTAH SHOOTING SPORTS PARK SPECIAL SERVICE DIST.
3. MINERALS OF WHATSOEVER KIND, SUBSURFACE AND SURFACE SUBSTANCES, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND AND GRAVEL IN, ON, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B. THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED.
4. RIPARIAN OR WATER RIGHTS, CLAIMS, OR TITLE TO WATER WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
5. NOTES, SETBACK LINES, CONDITIONS, RESTRICTIONS, EASEMENTS, REQUIREMENTS, STIPULATIONS AND ALL MATTERS AS SET FORTH ON THE RECORDED DEDICATION PLAT.
6. PUBLIC UTILITY AND DRAINAGE EASEMENTS, TOGETHER WITH INCIDENTAL RIGHTS THERETO, OVER THE EAST AND WEST 15 FEET AND OVER THE NORTH AND SOUTH 12.5 FEET OF THE LAND, ALL AS DELINEATED ON THE RECORDED PLAT.
7. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A WARRANTY DEED, RECORDED JUNE 14, 1988, AS ENTRY NO. 333931, IN BOOK 490, AT PAGE 6.
8. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A QUIT-CLAIM DEED, RECORDED MAY 3, 1994, AS ENTRY NO. 465870, IN BOOK 816, AT PAGE 648.
9. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A WARRANTY DEED, RECORDED APRIL 23, 1996, AS ENTRY NO. 530415, IN BOOK 995, AT PAGE 467.
10. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A AFFIDAVIT RECORDED JUNE 30, 2009, AS ENTRY NO. 20090025382.
11. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A QUITCLAIM DEED, RECORDED JULY 1, 2009, AS ENTRY NO. 20090025437.
12. PORTIONS OF SAID LOT LIE WITHIN A FEMA FLOOD ZONE AS SHOWN ON THE RECORDED PLAT.
13. THE RIGHTS OF PARTIES IN POSSESSION OF THE SUBJECT PROPERTY UNDER UNRECORDED LEASES, CONTRACTS, RENTAL OR OCCUPANCY AGREEMENTS AND ANY CLAIMS, RIGHTS OR INTERESTS ARISING THEREUNDER.
14. The Company reserves the right to raise exceptions and requirements or determine that it will not issue a title policy based upon the details of the transaction, the review of the closing documents, and changes in recording and title searching capabilities resulting from the COVID-19 virus.



Warranty Deed Page 1 of 2  
Gary Christensen Washington County Recorder  
08/13/2021 03:25:24 PM Fee \$40.00 By EAGLE  
GATE TITLE INSURANCE AGENCY, INC.

Recording requested by:  
Eagle Gate Title Insurance Agency, Inc.

Mail Tax Notice To:  
NBJC LLC  
2816 Souring Peak Ave  
Henderson, NV 89052

File Number: STG-93464-LH  
Parcel ID: HD-SHCR-1-40

# Warranty Deed

**RICHARD CURTIS JESSOP,**

Grantor, hereby CONVEY(S) IN WARRANTY to

**NBJC LLC, a Utah Limited Liability Company,**

Grantee, for the sum of TEN AND NO/DOLLARS and other good and valuable consideration, the following tract of land in Washington County, State of Utah, to-wit

92464

**Lot 40, SHORT CREEK SUBDIVISION #1, according to the Official Plat thereof on file and of record in the Washington County Recorder's Office.**

**APN: HD-SHCR-1-40**

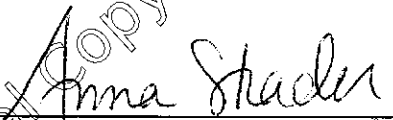
Subject to easements, restrictions and rights of way appearing of record and enforceable in law and subject to 2021 taxes and thereafter.

WITNESS, the hand of said grantor, this 28 day of July, 2021

  
Richard Curtis Jessop

STATE OF NORTH DAKOTA  
COUNTY OF WILLIAMS

On this 28<sup>th</sup> day of July, 2021, before me personally appeared Richard Curtis Jessop known to me (or proved to me on the oath of N.D. District Court) to be the person who is described in and who executed the within instrument, and acknowledged to me that that he/she/they executed the same.

  
Signature of Notarial Officer  
Title of Office

ANNA STRADER  
Notary Public  
State of North Dakota  
My Commission Expires Nov. 28, 2022

My commission expires: 11/28/2022

Warranty Deed Page 1 of 2

Gary Christensen Washington County Recorder  
 09/30/2021 01:53:25 PM Fee \$40.00 By EAGLE  
 GATE TITLE INSURANCE AGENCY, INC.

Recording requested by:  
 Eagle Gate Title Insurance Agency, Inc.

Mail Tax Notice To:  
 NBJC LLC  
 2816 Soaring Peak Avenue  
 Henderson, NV 89052

File Number: STG-92902-LH  
 Parcel ID: HD-SHCR-1-5-A

## Warranty Deed

**JOAN BARLOW,**

Grantor, hereby CONVEY(S) IN WARRANTY to

**NBJC LLC, a Utah Limited Liability Company,**

Grantee, for the sum of TEN AND NO/DOLLARS and other good and valuable consideration, the following tract of land in Washington County, State of Utah, to-wit

**Lot 5-A, SHORT CREEK SUBDIVISION 1, according to the Official Plat thereof on file and of record in the Washington County Recorder's Office.**

**More particularly described as:**

**Beginning at the Northwest Corner of Lot 5 of Short Creek Subdivision #1, recorded and on file in the Office of the Recorder, Washington County, State of Utah, and running thence North 89°56'02" East 82.08 feet along the South line of Lot 4 of said subdivision; thence South 0°01'50" East 131.83 feet, to a point on the North Right of Way line of Field Avenue; thence South 89°53'31" West 82.08 feet along said line, to the Southwest Corner of said Lot 5; thence North 0°01'50" West 131.89 feet along the West line of said Lot 5, to the point of beginning.**

**APN: HD-SHCR-1-5-A**

Subject to easements, restrictions and rights of way appearing of record and enforceable in law and subject to 2021 taxes and thereafter.

**Deed Restriction.** Grantee, on behalf of itself, its successors and assigns, by acceptance and recording of this Warranty Deed, acknowledges that the subject lot lacks utilities and/or other improvements required by local ordinances and regulations, that the City of Hildale has approved a plan for providing utilities and other required improvements to the lot (the "Utility Plan") and that pursuant to Hildale City Code Section 152-39-4 no building permit will be issued for said lot until the approved improvements have been constructed and accepted. The approved Utility Plan for this lot is available for inspection in the office of the Hildale City Recorder at 320 E Newell Ave, PO Box 840490, Hildale, UT 84784.

WITNESS, the hand of said grantor, this 23 day of September, 2021

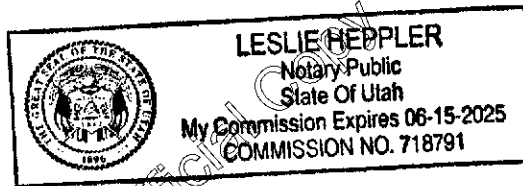
Joan Barlow  
Joan Barlow

STATE OF UTAH  
COUNTY OF WASHINGTON

On this 23 day of September, 2021, before me Leslie Hepler, a notary public, personally appeared Joan Barlow, proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to this instrument, and acknowledged he/she/they executed the same.

Witness my hand and official seal

Leslie Hepler  
Notary Public



Warranty Deed Page 1 of 2

Gary Christensen Washington County Recorder  
03/11/2022 02:37:35 PM Fee \$40.00 By EAGLE  
GATE TITLE INSURANCE AGENCY, INC.

Recording requested by:  
Eagle Gate Title Insurance Agency, Inc.

Mail Tax Notice To:  
NBIC LLC, a Utah Limited Liability Company  
2816 Soaring Peak Avenue  
Henderson, NV 89052

File Number: STG-95574-LH  
Parcel ID: HD-SHCR-1-5-B

# Warranty Deed

**JOHN BARLOW AND CANDI SHAPLEY,**

Grantors, hereby CONVEY(S) IN WARRANTY to

**NBIC LLC, a Utah Limited Liability Company,**

Grantee, for the sum of TEN AND NO/DOLLARS and other good and valuable consideration, the following tract of land in Washington County, State of Utah, to-wit

**Lot 5-B, SHORT CREEK SUBDIVISION 1, according to the Official Plat thereof on file and of record in the Washington County Recorder's Office.**

**More Particularly described as:**

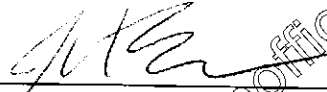
**Beginning at a point being North 89°56'02" East 82.08 Feet from the Northwest Corner of Lot 5 of Short Creek Subdivision #1, recorded and on file in the Office of the Recorder, Washington County, State of Utah, and running thence North 89°56'02" East 82.08 feet along the South Line of Lot 4 of said Subdivision; thence South 0°01'50" East 131.77 feet to a point on the North Right of Way Line of Field Avenue; Thence South 89°53'31" West 82.08 feet along said line; thence North 0°01'50" West 131.83 feet, to the point of beginning.**

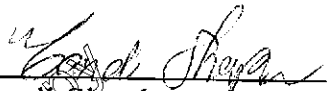
**ARN: HD-SHCR-1-5-B**

Subject to easements, restrictions and rights of way appearing of record and enforceable in law and subject to 2022 taxes and thereafter.


\*\*\* Deed Restriction: Grantee, on behalf of itself, its successors and assigns, by acceptance and recording of this Warranty Deed, acknowledges that the subject to lacks utilities and/or other improvements required by local ordinances and regulations, that the City of Hildale has approved a plan for providing utilities and other required Improvements to the lot(the" Utility Plan"),and that pursuant to Hildale City Code Section 152-39-4 no building permit will be issued for said lot until the approved improvements have been constructed and accepted. The approved Utility Plan for this lot is available for inspection in the office of the Hildale City Recorder at 320 E Newell Ave, PO Box 840490, Hildale, UT 84784.

WITNESS, the hand of said grantors, this 11 day of March, 2022


  
\_\_\_\_\_  
John Barlow

  
\_\_\_\_\_  
Candi Shapley

STATE OF UTAH  
COUNTY OF WASHINGTON

On this 11 day of March, 2022, before me  a notary public, personally appeared John Barlow and Candi Shapley, proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to this instrument, and acknowledged he/she/they executed the same.

Witness my hand and official seal

  
\_\_\_\_\_  
Notary Public





From: Harrison Johnson  
 To: Hildale City Planning & Zoning Commission; Hildale City Mayor  
 Date: December 6, 2022  
 Subject: Zone Change request

**Applicant Name:** United Effort Plan Trust  
**Agent:** John Barlow  
**Application Type:** Zone Change request  
**Project Address:** RA-1  
**Requested Zoning:** RA-.05  
**Date:** January 5<sup>th</sup>, 2023  
**Prepared by:** Harrison Johnson

**Summary of Application**

The Applicant is requesting approval of a Zone Change.

Amend the zoning map to re-zone Parcel HD-SHCR-6-3, commonly addressed as 785 North Lauritzen Hildale, Utah from the current Residential Agricultural-1 (RA-1) to Residential Agriculture-.5 (RA-.5)

**Background**

The applicant submitted the application on January 4<sup>th</sup>, 2023 to the Hildale City offices and paid the fee of \$100.

The applicant submitted all required documents identified in the application.

The applicant provided addressed, stamped envelopes for all property owners within the required boundary of the subject property.

City staff prepared a Rezone Letter for Neighboring Properties and mailed the letters within the required notice time.

The Public Hearing for this zone change request was noticed, as required.

**General Plan and Zoning**

The property is bounded on the North by Utah Avenue abutting public lands and the Canaan Mountain Wilderness; On the East by Lauritzen Street On the South by a residential property addressed at 745 N Lauritzen Street; and on the West residential property addressed as 345 W Utah Ave; Surrounding properties are zoned RA-1 and Open Space.

**Analysis**

The zone change request complies with required standards for approval, as identified in Hildale Planning and Zoning ordinance, section 152-14-3 Uses allowed; and Sec 152-14-4 Development Standards In Residential Agriculture Zones, as follows:

1. Permitted And Conditional Uses:  
 Permitted and conditional uses allowed within residential agriculture zones shall be as set forth in table 152-14-1 of this section. Permitted and conditional uses are indicated by a "P" or "C", respectively, in the appropriate column. Uses not permitted are indicated by "N". Any use not shown on table 152-14-1 of this section shall be prohibited unless the zoning administrator determines the use is substantially the same as a permitted or conditional use as provided in subsection 152-7-18E4 of this chapter.

TABLE 152-14-1 PERMITTED AND CONDITIONAL USES ALLOWED IN RESIDENTIAL AGRICULTURE ZONES

PERMITTED AND CONDITIONAL USES ALLOWED IN RESIDENTIAL AGRICULTURE ZONES		
	Zones	
	RA-1	RA-.5
Agricultural uses:		
Agricultural business	P	N
Agricultural industry	N	N
<b>Agriculture</b>	P	<b>P</b>
<b>Animal specialties</b>	P	<b>P</b>
<b>Animals and fowl for recreation and family food production</b>	P	<b>P<sup>3</sup></b>
<b>Stable, private</b>	P	<b>P</b>
Residential uses:		

Assisted living facility	P	P
Boarding house	N	N
Building, accessory	P	P
Dwelling, earth sheltered	P	P
Dwelling, multiple-family	N	N
Dwelling, single-family	P	P
Dwelling, single-family with accessory dwelling unit	P	P
Dwelling, temporary	P	P
Dwelling, two-family	N	N
Guesthouse	P	P
Manufactured home	P	P
Manufactured/mobile home park	N	N
Manufactured/mobile home subdivision	N	N
Protective housing facility	P	P
Residential facility for elderly persons <sup>1</sup>	P	P
Residential facility for persons with a disability <sup>1</sup>	P	P
Residential facility for troubled youth	C	C
Short term rental <sup>4</sup>	P	P
Public and civic uses:		
Auditorium or stadium	N	N
Cemetery	P	P
Church or place of worship	P	P
Club or service organization	N	N
Convalescent care facility	N	N
Cultural service	P	P
Golf course	P	P
Hospital	N	N
Park	P	P
Protective service	P	P
Reception center	N	N
Stable, public	P	N
Utility, minor	P	P
Utility substation	P	P
Commercial uses:		
Agricultural sales and service	N	N

Animal hospital	P	P
Bed and breakfast, home	C	C
Bed and breakfast inn	C	C
Camping Hosting Facility	N	N
Family child daycare facility <sup>2</sup>	P	P
Licensed family child care <sup>2</sup>	C	C
Residential certificate child care <sup>2</sup>	P	P
Garden center	N	N
Kennel, residential	P	P
Media service	N	N
Off Road Recreational Vehicle Rental	C	C
Personal care service, home based <sup>2</sup>	P	P
Personal instruction service, home based <sup>2</sup>	P	P
Produce stand	P	P
Recreational vehicle park	N	N
Residential hosting facility	P	P
Temporary trailer	P	P
Veterinary service	N	N
Warehouse, self-service storage	N	N
Wireless telecommunication facility	See section 10-50-5, table 10-50-1 of this title	

2. Notes:

1. See chapter 46 of this chapter.
2. See chapter 42 of this chapter.
3. See section 152-37-15 of this chapter for permitted animals and fowl.
4. See licensing and operations requirements in title 11 of this code.

3. Accessory

Uses:

Permitted and conditional uses set forth in table 152-14-1 of this section shall be deemed to include accessory uses and activities that are necessarily and customarily associated with and incidental and subordinate to such uses.

1. Accessory uses shall be subject to the same regulations that apply to permitted and conditional uses in the same zone except as otherwise expressly provided in this chapter.
2. No accessory use, building, or structure shall be allowed on a lot unless a permitted or conditional use has been established.
3. Accessory uses in residential agriculture zones shall include, but not be limited to, the following: Garage sales, subject to applicable standards of chapter 48, "Temporary Uses", of this chapter. Garages and off street parking areas, subject to applicable standards of chapter 34, "Off Street Parking And Loading", of this chapter. Hobby activities when conducted by an occupant of the premises solely for personal enjoyment, amusement, or recreation and which does not conflict with any other city ordinance. Home based businesses, subject to applicable standards of chapter 42, "Home Based Businesses", of this chapter. Household pets. Nurseries and greenhouses. Playhouses, patios, porches, gazebos, and incidental storage buildings. Swimming pools and hot tubs for use by residents and their guests.

**Sec 152-14-4 Development Standards In Residential Agricultural Zones**

Development standards within residential agriculture zones shall be as set forth in table 152-14-2 of this section.

TABLE 152-14-2

DEVELOPMENT STANDARDS IN RESIDENTIAL AGRICULTURE ZONES		
Development Standard	Zones	
	RA-1	RA-5
Lot standards:		
Average lot area <sup>1</sup>	1 acre	0.5 acre

Minimum lot area <sup>2</sup>	0.8 acre	0.4 acre
Minimum lot width	100 feet	100 feet
Building standards:		
Maximum height, main building <sup>3</sup>	35 feet	35 feet
Maximum height, accessory building	20 feet	20 feet
Maximum size, accessory building <sup>4</sup>	2,000 square feet	2,000 square feet
Building coverage	50% of lot (see subsection 10-37-12I of this title)	
Distance between buildings	No requirement	No requirement
Setback standards - front yard:		
Any building <sup>5</sup>	25 feet	
Setback standards - rear yard:		
Main building	30 feet	30 feet
Accessory building, including private garage	If located 10 feet from main building: 2 feet. If not, same as main building	
Setback standards - interior side yard:		
Main building	10 feet one side and 20 feet other side	10 feet
Accessory building, including private garage	If located 10 feet from main building: 2 feet. If not, same as main building	
Setback standards - street side yard:		
Main building	20 feet	20 feet
Accessory building	Not permitted	Not permitted

Notes:

1. "Average size" means the total acreage devoted to lots divided by the number of lots. Net density definition shall apply.
2. The indicated number is 80 percent of average lot area requirement.
3. Except as otherwise permitted by subsection 152-14-7C of this chapter.
4. Except as otherwise permitted by subsection 152-14-7B of this chapter.
5. Except as modified by the provisions of subsection 152-37-12F, "Setback Measurement", of this chapter.

**Sec 152-14-5 Regulations Of General Applicability**

The use and development of real property in residential agriculture zones shall conform to regulations of general applicability as set forth in the following chapters of this chapter:

1. Design and compatibility standards: See chapter 33 of this chapter.
2. Landscaping and screening: See chapter 32 of this chapter.
3. Motor vehicle access: See chapter 35 of this chapter.
4. Natural resource inventory: See chapter 31 of this chapter.
5. Off street parking: See chapter 34 of this chapter.
6. Signs: See chapter 36 of this chapter.
7. Supplementary development standards: See chapter 37 of this chapter.

**Sec 152-14-6 Regulations For Specific Uses**

To the extent that use and development of real property includes any matter encompassed by a regulation for a specific use as set forth in Article VI of this chapter, such regulation shall apply in addition to the requirements of this chapter and shall prevail over any conflicting provision of this chapter.

**Sec 152-14-7 Special Regulations**

1. Animals:  
Within RA-1 and RA-.5 zones, where permitted by the zone the keeping of animals shall normally be simultaneous with occupied residential use.
2. Larger Accessory Buildings:  
Notwithstanding the maximum building size limitation shown in section 152-14-4, table 152-14-2 of this chapter, the maximum size of an accessory building may be increased pursuant to a conditional use permit.
3. Increased Height:  
Notwithstanding the height limitations shown in section 152-14-4, table 152-14-2 of this chapter a greater building height may be allowed in residential zones pursuant to a conditional use permit.

**Recommendation**

Staff recommends approval of the zone change request as it remains consistent with Hildale City' General Plan. Additionally, it may accommodate the city's goal of increased density.

**Sample Motions – ZONING CHANGE**

1. I move to recommend approval of the zoning map amendment requested for Parcel HD-SHCR-6-3 commonly addressed as 780 N Lauritzen from the current Residential Agricultural-1 (RA-1) to Residential Agriculture -.5 (RA\_.5)

**Attachments**

- a. Zone Change Application
  - a. Warranty Deed
  - b. Affidavit
  - c. Check
  - d. Zoning Map
- b. Washington County Property Report for parcel HD-SHCR-6-3
- c. Draft copy Rezone Letter for Neighboring Properties
- d. Public Hearing Notice



☎ 435-874-2323  
☎ 435-874-2603  
🌐 www.hildalecity.com

# ZONE CHANGE APPLICATION

Fee: Same as original plat fee 160.00

*For Office Use Only:*  
File No. \_\_\_\_\_  
Receipt No. 134970401

*Angela  
01/04/23*

Name: John Barlow, UEP Project Manager Telephone: 801.824.4232

Address: 1155 N. Canyon Street #959, Hildale, UT 84784 Fax No. \_\_\_\_\_

Agent (If Applicable): Paul Wilson, Civil Science Telephone: 801.768.7200 ext 173

Email: john@ueptrust.com

Address/Location of Subject Property: 785 North Lauritzen

Tax ID of Subject Property: HD-SHCR-6-3 Existing Zone District: RA-1

Proposed Zoning District and reason for the request (Describe, use extra sheet if necessary)  
RA-0.5

Purpose of rezone application is to split the lot into two separate lots.

Submittal Requirements: The zone change application shall provide the following:

- X a. The name and address of every person or company the applicant represents;
- X b. An accurate property map showing the existing and proposed zoning classifications;
- X c. All abutting properties showing present zoning classifications;
- X d. An accurate legal description of the property to be rezoned;
- X e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- X f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the third Monday of each month at 6:30 p.m. The deadline date to submit the application is 10 business days prior to the scheduled meeting. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.**

\*\*\*\*\*

(Office Use Only)

Date Received: \_\_\_\_\_ Application Complete: YES  NO

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_



- F. The City Staff person will decide to either: approve the application, approve the application with conditions, or deny the application.
- G. If the lot split is approved, the property descriptions of each parcel prepared in a deed form can be recorded at the County Recorder Office.
- H. When in the opinion of City Staff, there are significant issues related to the lot split, the Staff may forward the application to the Planning Commission for the hearing and decision.
- I. The decision of the City Staff may be appealed to the Planning Commission.

**IMPROVEMENT REQUIREMENTS:**

Section 10-39-4 of the Land Use Ordinance identifies the improvements required within a subdivision. Even though a lot split is exempt from typical plat submittal requirements, it must still comply with the standards of section 10-39-4, since it is a subdivision. Typically, improvements will include the provision for sewer, water and drainage, along with the construction of curb, gutter, and sidewalk and paving as necessary to match existing paving (or entirely new paving when the street is unimproved.) Such improvements are required on all street frontages of the proposed parcels.



☎ 435-874-2323  
☎ 435-874-2603  
🌐 www.hildalecity.com

**Fee: \$300.00**

**LOT SPLITS**

For Office Use Only:  
File No. \_\_\_\_\_  
Receipt No. 134970461

*Angeline*  
*01/04/23*

**APPLICATION & SUBMITTAL CHECKLIST**

**Owner(s) Name:** Jeff Barlow, Exec. Director for UEP Trust **Telephone:** 435-874-1126

**Address:** 1155 N Canyon St., PO Box 959, Hildale, UT 84784 **Fax No.** \_\_\_\_\_

**Agent (If applicable)** Travis Sanders; Paul Wilson **Agent's Phone:** 435-862-1211

**Address of Subject Property:** 785 N Lauritzen St.

**Tax ID of Subject Property:** HD-SHCR-6-3 **Zone District** RA-1

**Proposed Use:** (Describe, use extra sheet if necessary) Splitting the lot in two - one at 0.55 and one at 0.89 would

create an additional lot to be used as another RA-1 lot for future building.

**This application shall be accompanied by the following:**

- 1. One paper copy of plat drawn to scale (typically one-inch equals 50 feet or larger) on an 8 1/2 x 11-inch sheet. Larger if needed to show reasonable detail. One digital copy of plat emailed to [planning@hildalecity.com](mailto:planning@hildalecity.com)
- 2. The plat to show the following detail:
  - Scale, north point
  - Streets and the right of way width
  - Dimensions of proposed lots
  - Location of all buildings and distances from resulting lot lines
  - The location of any significant natural features (creeks, washes, cliffs, etc.)
  - The name, address and phone number of the person or firm who prepared the plat
- 3. Legal description of each of the resulting parcels.
- 4. A completed form from the Washington County Treasurer's office for property located within the lot split verifying that all taxes or special assessments payable on all property within the limits of the lot split are paid in full

**Note: It is important that all applicable information noted above is submitted with the application.**

\*\*\*\*\*

(Office Use Only)

Date Received: \_\_\_\_\_ Received by: \_\_\_\_\_

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

## LOT SPLITS

### PURPOSE:

A lot split is a subdivision of land creating no more than 1 new lot. This type of division may, after a public hearing, be approved by City Staff, without the necessity of preparing and filing a preliminary or final plat.

### PROCESS:

- A. After submittal of a lot split application, City Staff will review the application to determine whether the proposed lot:
- 1.) is not transverse by the mapped lines of a proposed street as shown in the general plan and does not require the dedication of any land for street or other public purposes.
  - 2.) does not impact an existing easement or right of way or, if it does have an impact, evidence that the impact will not impair the use of any such easement or right of way.
  - 3.) has been approved by the culinary water authority and sanitary sewer authority;
  - 4.) is in a zoned area and the lots will meet all the requirements of the zone and conforms to all applicable land use ordinances or has properly received a variance from the requirements of an otherwise conflicting and applicable land use ordinance.
- B. A lot or a parcel resulting from a division of agricultural land is exempt from the plat requirements of this Chapter if the lot or parcel:
- 1) meets the minimum size requirement of applicable zoning; and
  - 2) is not used and will not be used for any nonagricultural purpose.
- C. The creation of a lot under subsection A above shall not be approved until a plan for providing utilities and other required improvements to the proposed lot has been reviewed and signed by all members of the Joint Utility Committee.
- In lieu of an approved utility plan the Joint Utility Committee may approve a deed restriction stating no utilities are currently stubbed to this lot. This deed shall be recorded with the new lot.
- No building permit will be issued for a lot until the approved improvements are constructed and accepted by the City department heads.
- D. The boundaries of each lot or parcel created under subsection A or B above shall be geographically illustrated on a record of survey map submitted with the application for approval by City staff. A deed describing both parcels of ground with any necessary easements shall be prepared to be recorded at the office of the Washington County Recorder.

## **ZONE CHANGE APPLICATION (General Information)**

### **PURPOSE**

All lands within the City are zoned for a specific type of land use (single family residential, multi-family, commercial, industrial, etc.). Zoning occurs to provide for a relationship between various types of land uses which promotes the health, safety, welfare, order, economics, and aesthetics of the community. Zoning is one of the main tools used to implement the City's General Plan.

### **WHEN REQUIRED**

A zone change request is required any time a property owner desires to make a significant change to the use of his/her land. The change may be from one zone density (say 1 acre lots) to smaller lots (10,000 square foot lots). Or, it may be to an entirely different type of use, such as a change from single family zoning to multiple family or commercial zoning. Since the zone applied to your land limits what you can do, a rezoning application is typically the first step toward a change.

### **REQUIRED CONSIDERATIONS TO APPROVE A ZONE CHANGE**

When approving a zone change the following factors should be considered by the Planning Commission and City Council:

1. Whether the proposed amendment is consistent with the Goals, Objectives and Policies of the City's General Plan;
2. Whether the proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property;
3. The extent to which the proposed amendment may adversely affect adjacent property; and
4. The adequacy of facilities and services intended to serve the subject property, including, but not limited to roadways, parks and recreation facilities, police and fire protection, schools, storm water drainage systems, water supplies, and wastewater and refuse collection.

### **PROCESS**

Contact the Planning Department for when the deadline for submission is. After it is deemed complete, staff will review the request, and prepare a report and recommendation for the Planning Commission. This will be reviewed at a public hearing where the applicant should attend, present the project, and respond to questions from the Planning Commission. Since it is a public hearing, members of the public may also have questions or comments. At the public hearing the Planning Commission will review the application and staff's report and forward a recommendation to the City Council of approval, approval with modifications, or denial the zone change application.

Upon receipt of the Planning Commission recommendation, typically 1-2 weeks after the Planning Commission action, the City Council will consider and act on the Commission's recommendation. The action of the City Council is final. If denied, a similar application generally cannot be heard for a year.

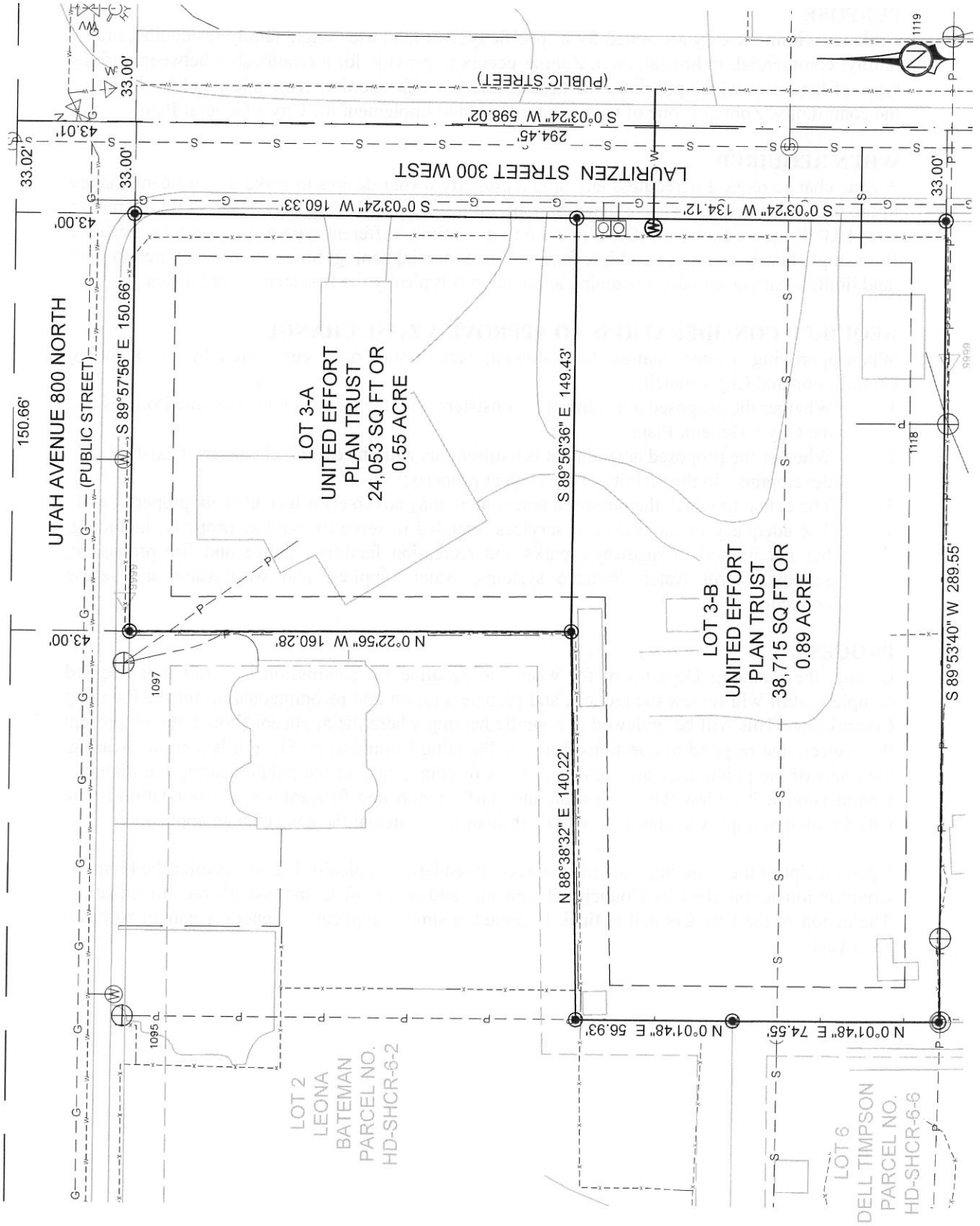


1453 S. DIXIE DRIVE, SUITE 150  
ST. GEORGE, UT 84770  
435.986.0100

PARCEL NO. HD-SHCR-6-3

PROPOSED UTILITIES

FF20068.006



**SURVEYOR'S CERTIFICATE**

I, TRAVIS W. SANDERS, DO HEREBY CERTIFY THAT THE BOUNDARY, AREA, DIMENSIONS AND THE LOCATION OF THE CORNERS AND POINTS SHOWN ON THIS PLAN AND DESCRIBED BELOW ARE THE RESULT OF A SURVEY MADE BY ME OR UNDER MY SUPERVISION AND THAT I AM A LICENSED SURVEYOR IN THE STATE OF UTAH. I HEREBY CERTIFY THAT BY AUTHORITY OF THE CONVEYERS I HAVE SURVEYED THE TRACT OF LAND SHOWN ON THIS PLAN AND DESCRIBED BELOW.

DATE \_\_\_\_\_

TRAVIS W. SANDERS, RLS



**BOUNDARY DESCRIPTION**

LOT 3, SHORT CREEK SUBDIVISION #6, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE WASHINGTON COUNTY CLERK'S OFFICE, DESCRIBED AS FOLLOWS:

PARCEL 3A  
 BEGINNING AT THE NORTHEAST CORNER OF LOT 3, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, UTAH, FOR THE EAST LINE TO THE SOUTHWEST CORNER OF LOT 2 OF SUBDIVISION, THENCE ALONG LOT 2 THE NORTH LINE TO THE EAST LINE OF SAID LOT 2, THENCE S 89°57'56" E 159.66 FEET ALONG THE NORTH LINE OF SAID LOT 2 TO THE POINT OF BEGINNING.

PARCEL 3B  
 BEGINNING AT THE NORTHEAST CORNER OF LOT 4, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, UTAH, FOR THE EAST LINE TO THE SOUTHWEST CORNER OF LOT 2 OF SUBDIVISION, THENCE ALONG LOT 2 THE NORTH LINE TO THE EAST LINE OF SAID LOT 2, THENCE S 89°57'56" E 159.66 FEET ALONG THE NORTH LINE OF SAID LOT 2 TO THE POINT OF BEGINNING.

PARCEL 3C  
 BEGINNING AT THE NORTHEAST CORNER OF LOT 4, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, UTAH, FOR THE EAST LINE TO THE SOUTHWEST CORNER OF LOT 2 OF SUBDIVISION, THENCE ALONG LOT 2 THE NORTH LINE TO THE EAST LINE OF SAID LOT 2, THENCE S 89°57'56" E 159.66 FEET ALONG THE NORTH LINE OF SAID LOT 2 TO THE POINT OF BEGINNING.

**NARRATIVE**

THESE PARCELS WERE SURVEYED FOR THE PURPOSE OF THE SHORT SUBDIVISIONS LOT 2, AND THIS TRACT HAS LOT TWO PARCELS 3A, 3B, AND 3C. THE SURVEY WAS PERFORMED AT THE REQUEST OF MY CLIENT, THE BASIS OF BEARING FOR THIS SURVEY IS S 89°57'56" E ALONG THE CENTER LINE OF FIELD AVENUE BETWEEN TWO CENTER LINE MONUMENTS 1.114 AND 1.115, WHICH ARE SHOWN ON THIS PLAT.

THE FOLLOWING DIMENSIONS OF RECORD WERE REVIEWED AND FOUND TO BE CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE DIMENSIONS OF RECORD WERE REVIEWED AND FOUND TO BE CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE DIMENSIONS OF RECORD WERE REVIEWED AND FOUND TO BE CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE DIMENSIONS OF RECORD WERE REVIEWED AND FOUND TO BE CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

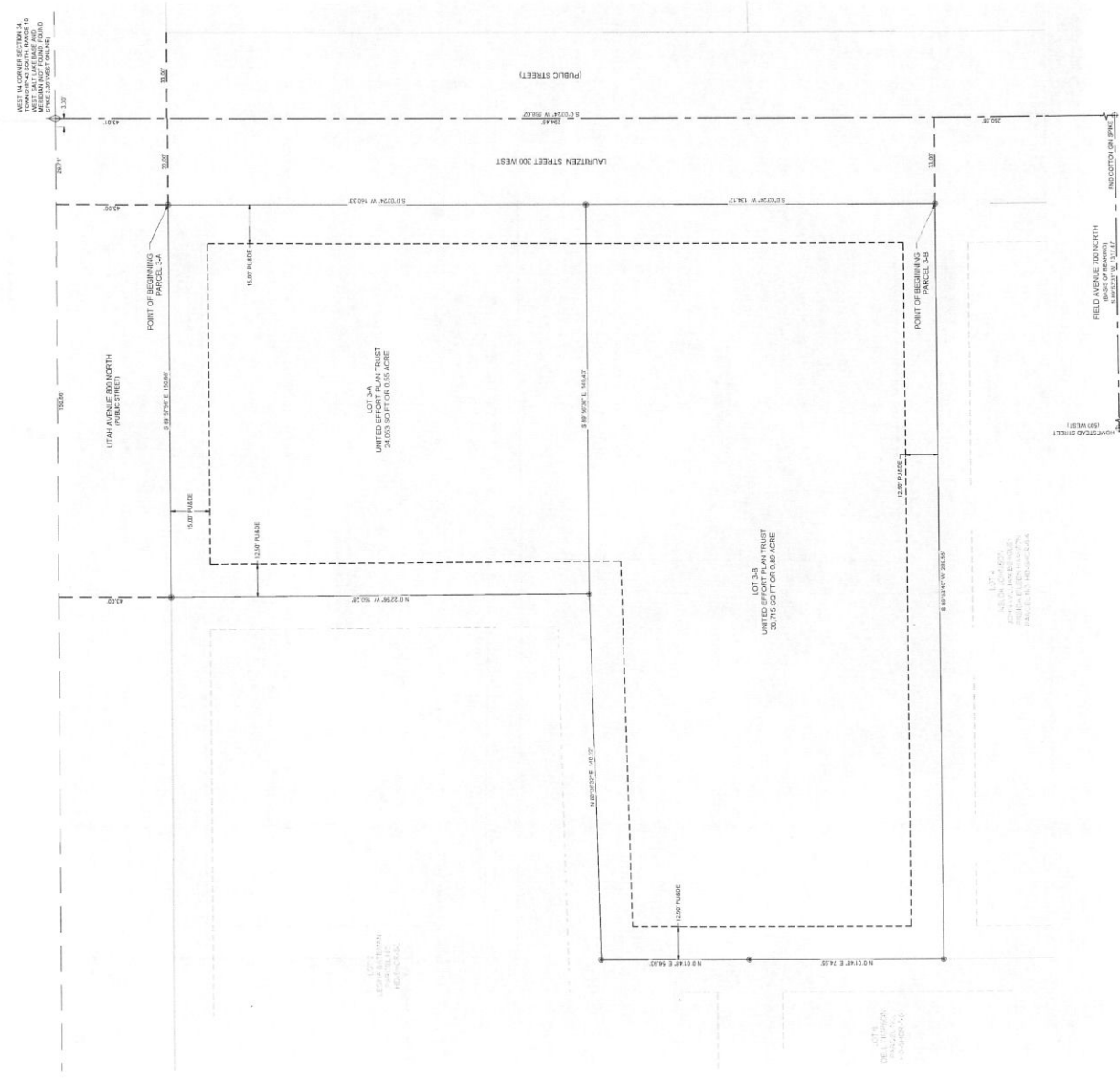
2014001928 SHORT CREEK SUBDIVISION #6, COMPLETED ON AUGUST 19, 2014, ISSUED BY ROBERT P. HERMANNSON

**LEGEND**

- ◊ SECTION MONUMENT NOT FOUND CALCULATED LOCATION
- \* ALL BOUNDARY AND PROPERTY (LOT) CORNERS TO BE SET WITH 3/4" IRON AND CAP STAMPED CIVIL SCIENCE UNLESS OTHERWISE NOTED
- ⊕ SECTION MONUMENT FOUND CALCULATED LOCATION
- ⊖ SECTION MONUMENT FOUND CALCULATED LOCATION
- EASEMENT LINE (SEE NOTES)

**NOTES**

1. NO ATTEMPT HAS BEEN MADE AS A PART OF THIS BOUNDARY SURVEY TO OBTAIN OR SHOW DATA FROM ANY PREVIOUS SURVEY OF ANY OF THE PARCELS. PLEASE CONTACT THE APPROPRIATE AGENCIES OR OTHER PARTIES FOR ANY INFORMATION REGARDING THESE UTILITIES OR RECORDS.
2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OR OTHER FACTS WHICH MAY AFFECT OR CORRECT THIS RECORD. EACH PARTY TO THIS SURVEY IS ADVISED THAT THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OR OTHER FACTS WHICH MAY AFFECT OR CORRECT THIS RECORD.
3. ALL POINTS OF BEGINNING AND ALL POINTS OF ENDING ARE SHOWN ON THIS PLAT AND ARE TO BE SET WITH 3/4" IRON AND CAP STAMPED CIVIL SCIENCE UNLESS OTHERWISE NOTED.
4. THE FIELD WORK WAS PERFORMED ON AUGUST 20, 2020.



**RECORD OF SURVEY PLAT**  
 LOCATED IN  
 SE 1/4 OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST,  
 SALT LAKE BASE AND MERIDIAN  
 PREPARED FOR:  
 UNITED EFFORT PLAN TRUST

FROM # 17700000	
CHECKED BY TWS	
DATED: 02-26-2022	
HIGH SCALE 1" = 20'	
SHEET 1	OF 1

RECORD OF SURVEY PLAT  
 LOCATED IN  
 SE 1/4 OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST,  
 SALT LAKE BASE & MERIDIAN

1453 S 1035 E DRIVE, SUITE 150  
 ST. GEORGE, UT 84770  
 435.988.0100





**SURVEYOR'S CERTIFICATE**  
 I, TRAVIS W. SANDERS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HAVE PERSONALLY EXAMINED THE RECORD OF SURVEY AND THE PLAT AND DEEDS REFERRED TO AND DESCRIBED BELOW.



DATE: \_\_\_\_\_  
 TRAVIS W. SANDERS, P.L.S.

**BOUNDARY DESCRIPTION**

**ORIGINAL LEGAL DESCRIPTION:**  
 LOT 3, SHORT CREEK SUBDIVISION #6, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE WASHINGTON COUNTY RECORDS OF DEEDS TO BE KNOWN AS:  
 PARCEL 3.4  
 THE NORTHERLY CORNER OF LOT 3, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER OF WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 2.89 STAMPS, 1/4 SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST, IS SET TO A POINT ON THE EAST LINE OF LOT 2 OF SAID SUBDIVISION, THENCE IN 22°26' W 162.27 FEET TO THE NORTHERN CORNER OF SAID LOT 2, THENCE IN 11°28' P 11.28 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2, THENCE IN 11°28' P 11.28 FEET TO THE POINT OF BEGINNING.  
 CONTAINS 21,053.50 SQ FT OR 0.51 ACRE MORE OR LESS.  
 PARCEL 3.4  
 BEGINS AT THE SOUTHWEST CORNER OF LOT 3, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER OF WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 2.89 STAMPS, 1/4 SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST, IS SET TO A POINT ON THE EAST LINE OF LOT 2 OF SAID SUBDIVISION, THENCE IN 22°26' W 162.27 FEET TO THE NORTHERN CORNER OF SAID LOT 2, THENCE IN 11°28' P 11.28 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2, THENCE IN 11°28' P 11.28 FEET TO THE POINT OF BEGINNING.  
 CONTAINS 21,115.50 SQ FT OR 0.49 ACRE MORE OR LESS.

**NARRATIVE**

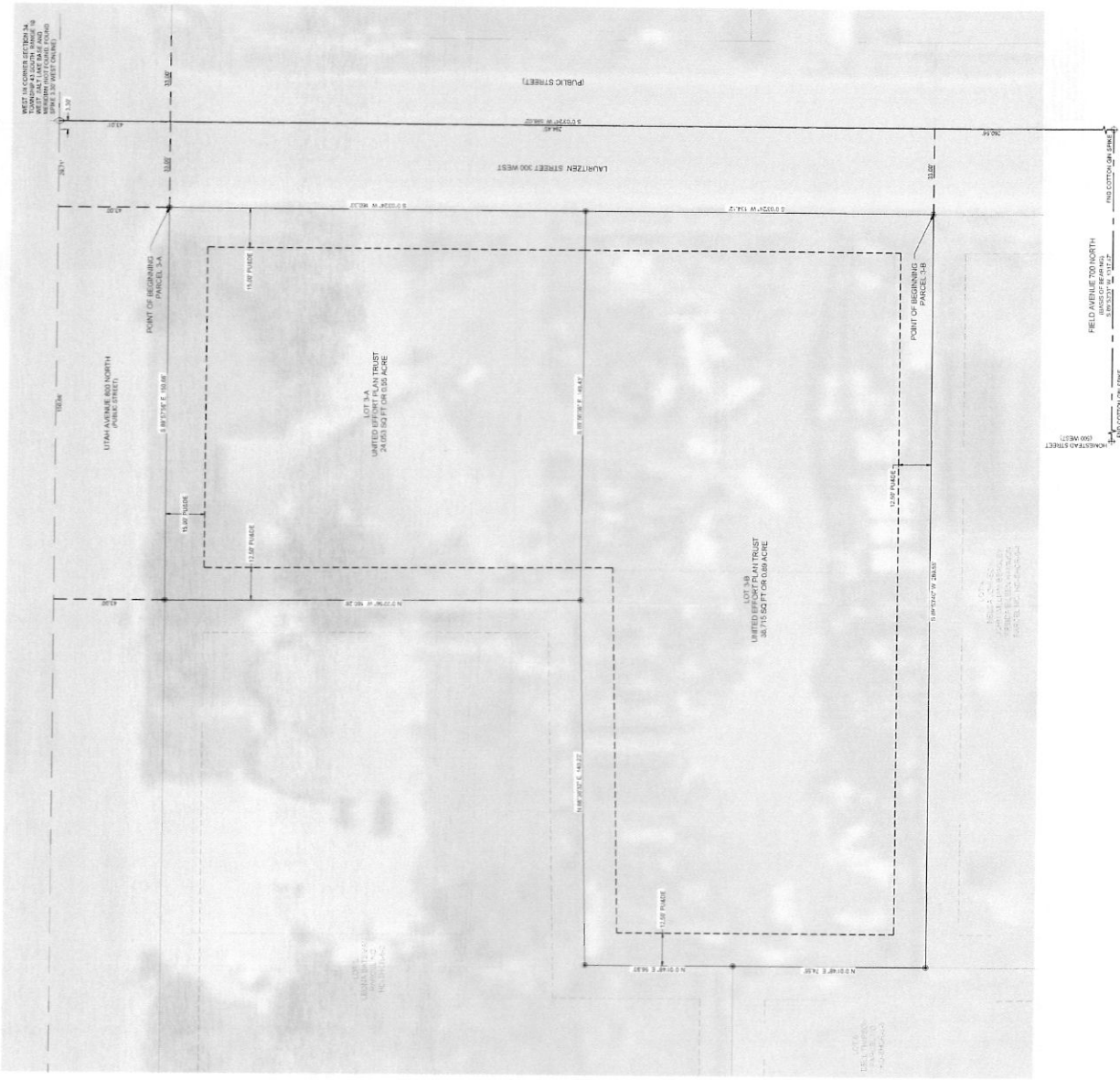
THE PURPOSE OF THIS SURVEY IS TO ESTABLISH THE BOUNDARY OF THE ABOVE DESCRIBED LOT 3 AND TO SET THE POINT OF BEGINNING AT THE CENTER LINE OF THE EAST LINE OF LOT 2 OF SAID SUBDIVISION. THE BOUNDARY OF THE SURVEY IS 21,115.50 SQ FT ALONG THE CENTER LINE OF THE EAST LINE OF LOT 2 OF SAID SUBDIVISION, THENCE IN 22°26' W 162.27 FEET TO THE NORTHERN CORNER OF SAID LOT 2, THENCE IN 11°28' P 11.28 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2, THENCE IN 11°28' P 11.28 FEET TO THE POINT OF BEGINNING. THE FOLLOWING DOCUMENTS OF RECORD WERE REVIEWED AND CONSIDERED AS A BASIS FOR THE SURVEY: ANY AND ALL RECORDS OF RECORDS OF WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 2.89 STAMPS, 1/4 SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST, AND ANY OTHER RECORDS THAT WOULD AFFECT THIS SURVEY. ANY AND ALL EVIDENCE CONTRADICTORY TO THE SURVEY SHOULD BE PRESENTED TO THE SURVEYOR FOR HIS REVIEW AND CONSIDERATION.  
 21,115.50 SQ FT OR 0.49 ACRE MORE OR LESS.

**LEGEND**

- SECTIONAL MONUMENT (NOT FOUND) CALCULATED LOCATION
- ALL BOUNDARY AND PROPERTY (LOT) CORNERS TO BE SET WITH W/IRB AND CAP STAMPED CIVIL ENGINE UNLESS OTHERWISE SPECIFIED ON THE PLAT
- SPECIES FOUND SURVEY CONTROL MONUMENT AS SHOWN
- EASEMENT LINE (SEE NOTES)

**NOTES**

1. NO ATTEMPT HAS BEEN MADE AS A PART OF THIS BOUNDARY SURVEY TO VERIFY OR SHOW ANY UTILITIES, INCLUDING BUT NOT LIMITED TO, THE LOCATION OF ANY UTILITY OR MUNICIPAL SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES, DEPTH, LOCATION, AND CONTACT THE APPROPRIATE AGENCIES OR OTHER.
2. THIS SURVEY IS BASED ON THE ASSUMPTION THAT THE BOUNDARY OF THE SURVEY IS 21,115.50 SQ FT ALONG THE CENTER LINE OF THE EAST LINE OF LOT 2 OF SAID SUBDIVISION. ANY AND ALL EVIDENCE CONTRADICTORY TO THE SURVEY SHOULD BE PRESENTED TO THE SURVEYOR FOR HIS REVIEW AND CONSIDERATION.
3. A 15.5 FOOT WIDE PUBLIC UTILITY, ROADWAY AND SIDEWALK EASEMENT EXISTS ON ALL FRONT LOT LINES, AND A 15.5 FOOT WIDE PUBLIC UTILITY EASEMENT EXISTS ON ALL SIDE AND BACK LOT LINES, AS PER RECORDED FINAL PLAT.
4. THE FIELD WORK WAS PERFORMED ON AUGUST 28, 2020.

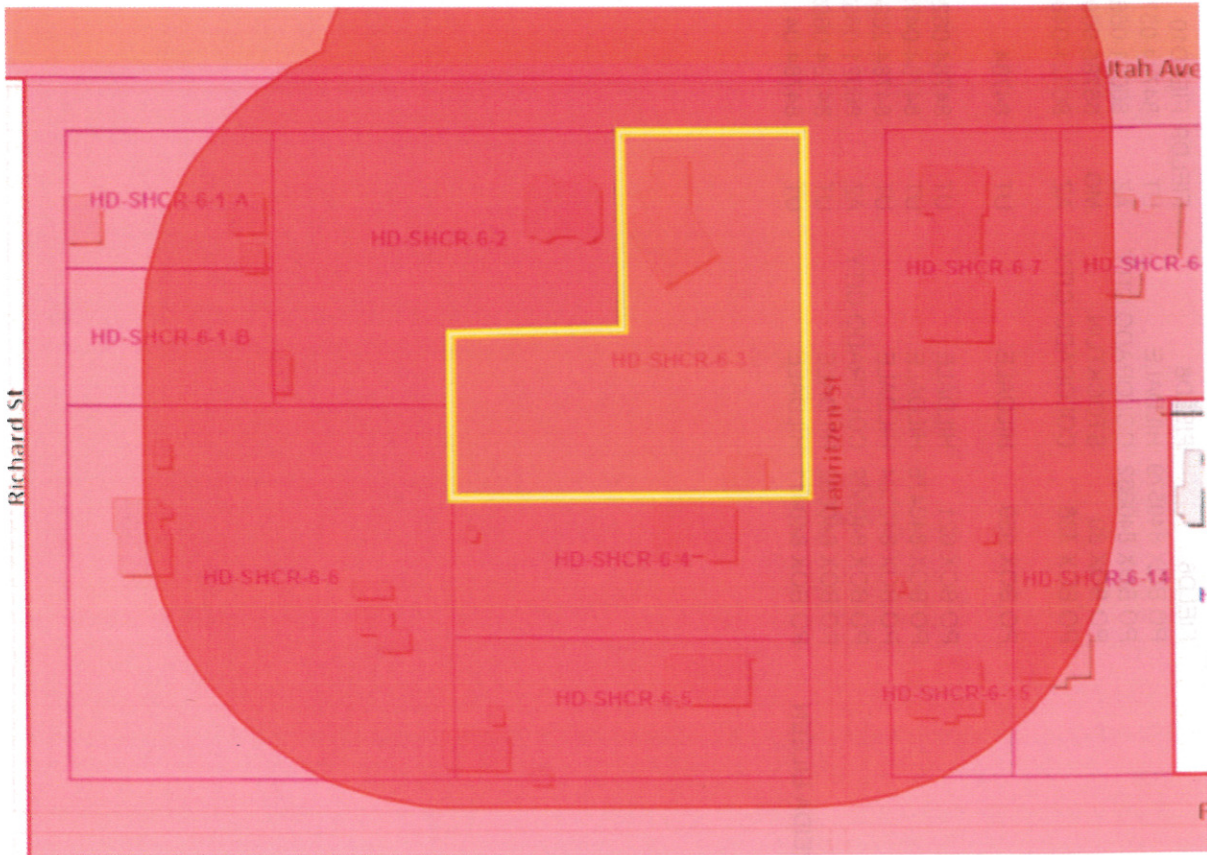


**RECORD OF SURVEY PLAT**

LOCATED IN  
 SE 1/4 OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST,  
 SALT LAKE BASE AND MERIDIAN  
 PREPARED FOR  
 UNITED EFFORT PLAN TRUST

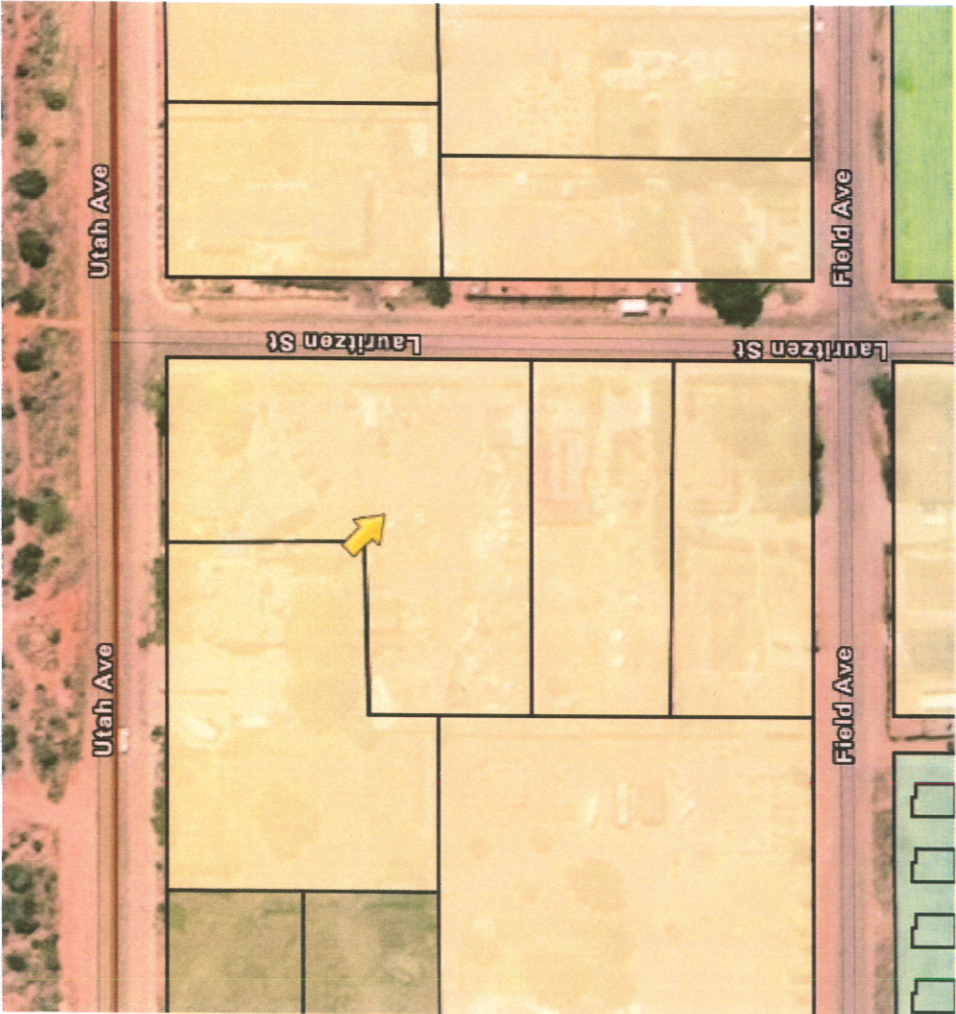
PLAT BY	TRAVIS W. SANDERS
DATE	08/28/20
CHECKED BY	TRAVIS W. SANDERS
DATE	08/28/20
PLAT SCALE	1" = 20'
SHEET	1
OF	1

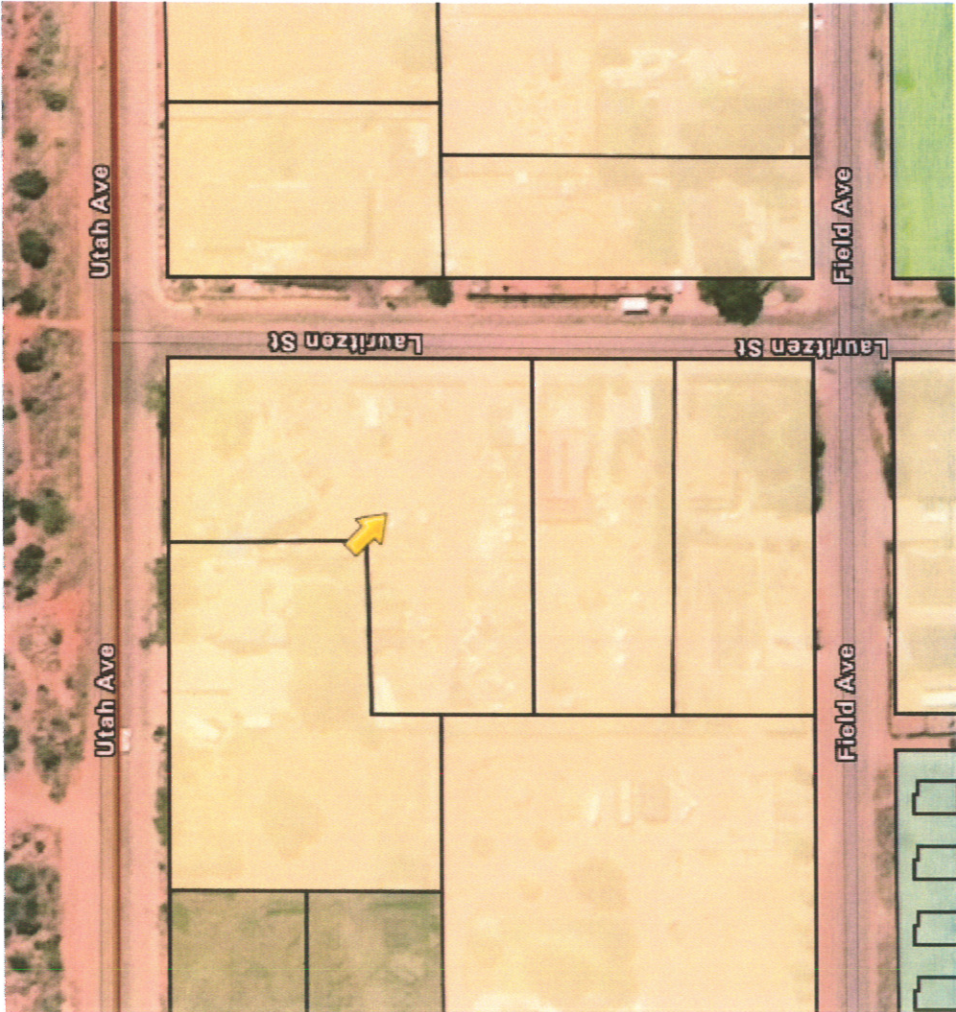
RECORD OF SURVEY PLAT  
 LOCATED IN  
 SE 1/4 OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST,  
 SALT LAKE BASE AND MERIDIAN

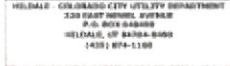


TAX_ID	FIELD5	FIELD6	FIELD8	FIELD9	FIELD10
HD-SHCR-6-5	COX KATHRYN, COX EARLENE	PO BOX 840579	HILDALE	UT	84784-0579
HD-SHCR-6-1-B	TIMPSON DELL JESSOP JR	PO BOX 840662	COLORADO CITY	AZ	86021-0662
HD-SHCR-6-7	WILLIAMS THOMAS	PO BOX 89	STOCKTON	MO	65785-0089
HD-SHCR-6-2	BATEMAN LEONA	PO BOX 486	COLORADO CITY	AZ	86021-0486
HD-SHCR-6-3	UNITED EFFORT PLAN	PO BOX 959	HILDALE	UT	84784
HD-SHCR-6-15	BARLOW THOMAS VAUGHN TR	PO BOX 621	HILDALE	UT	84784-0621
HD-SHCR-6-8	WILLIAMS ALISON P & JEROMY R, WILLIAMS THOMAS G	PO BOX 840475	HILDALE	UT	84784-0475
HD-SHCR-6-14	HOLM ALEC	PO BOX 842884	HILDALE	UT	84784-2884
HD-SHCR-6-1-A	TIMPSON DELL JESSOP JR	PO BOX 840662	COLORADO CITY	AZ	86021-0662
HD-SHCR-6-6	TIMPSON DELL	PO BOX 840662	HILDALE	UT	84784-0662
HD-SHCR-6-4	JOHNSON NELDA, BEAGLEY JOHN WILLIAM, HAMMON FREIDA EILEEN	PO BOX 840411	HILDALE	UT	84784-0411









Hildale City  
320 E.Newel Ave  
Hildale, UT 84784  
(435) 874-1160  
ar@hildalecity.com

XBP Confirmation Number: 134970461

▶ Transaction detail for payment to Hildale City.		Date: 01/04/2023 - 4:58:35 PM MT	
<b>Transaction Number: 189625067PT</b> <b>Visa — XXXX-XXXX-XXXX-8349</b> <b>Status: Successful</b>			
Account #	Item	Quantity	Item Amount
ZONE CHANGE APP	Land Use	1	\$100.00
LOT SPLIT	Land Use	1	\$300.00

**TOTAL: \$400.00**

**Billing Information**  
JOHN BARLOW  
785 NORTH LAURITZEN ST  
HILDALE, UT 84784  
(801) 824-4232

Transaction taken by: Admin AChatwin



From: Harrison Johnson  
 To: Hildale City Planning & Zoning Commission; Hildale City Mayor  
 Date: December 6, 2022  
 Subject: Zone Change request

**Applicant Name:** John Barlow  
**Agent:** N/A  
**Application Type:** Zone Change request  
**Project Address:** RA-1  
**Requested Zoning:** RM-2  
**Date:** January 5<sup>th</sup>, 2023  
**Prepared by:** Harrison Johnson

**Summary of Application**

The Applicant is requesting approval of a Zone Change.

Amend the zoning map to re-zone Parcel HD-SHCR-6-7, commonly addressed as 780 North Lauritzen Hildale, Utah from the current Residential Agricultural-1 (RA-1) to Residential Multifamily-2 (RM-2).

**Background**

The applicant submitted the application on January 4<sup>th</sup>, 2023 to the Hildale City offices and paid the fee of \$100.

The applicant submitted all required documents identified in the application.

The applicant provided addressed, stamped envelopes for all property owners within the required boundary of the subject property.

City staff prepared a Rezone Letter for Neighboring Properties and mailed the letters within the required notice time.

The Public Hearing for this zone change request was noticed, as required.

**General Plan and Zoning**

The property is bounded on the North by Utah Avenue abutting public lands and the Canaan Mountain Wilderness; On the East by residential property addressed 265 W Utah Ave; On the South by a residential property addressed at 290 W Field Ave; and on the West by Lauritzen Street; Surrounding properties are zoned RA-1 and Open Space.

**Analysis**

The zone change request complies with required standards for approval, as identified in Hildale Planning and Zoning ordinance, section 152-13-3 Uses allowed; and Sec 152-13-4 Development Standards In Residential Zones, as follows:

**Sec 152-13-3 Uses Allowed**

1. Permitted And Conditional Uses:

Permitted and conditional uses allowed within residential zones shall be as set forth in table 152-13-1 of this section. Permitted and conditional uses are indicated by a "P" or "C", respectively, in the appropriate column. Uses not permitted are indicated by "N". Any use not shown on table 152-13-1 of this section shall be prohibited unless the zoning administrator determines the use is substantially the same as a permitted or conditional use as provided in subsection 152-7-18E4 of this chapter.

TABLE 152-13-1 PERMITTED AND CONDITIONAL USES ALLOWED IN RESIDENTIAL ZONES

PERMITTED AND CONDITIONAL USES ALLOWED IN RESIDENTIAL ZONES							
	Zones						
	R1-15	R1-10	R1-8	RM-1	RM-2	RM-3	MH/RV
Agricultural uses:							
Accessory building	P	P	P	P	P	P	P
Agricultural business	N	N	N	N	N	N	N
Agricultural industry	N	N	N	N	N	N	N
Agriculture	N	N	N	N	N	N	N
Agriculture residential	P	P	P	P	P	P	P
Animal specialties	P	P	N	N	N	N	N

Animals and fowl for recreation and family food production	P <sup>3</sup> /C	P <sup>3</sup> /C	P <sup>3</sup>	N	N	N	N
Stable, private	N	N	N	N	N	N	N
Residential uses:							
Assisted living facility	C	C	C	N	N	N	N
Boarding house	N	N	N	N	N	N	N
Building, accessory	P	P	P	P	P	P	P
Dwelling, earth sheltered	P	P	P	P	P	P	N
Dwelling, multiple-family	N	N	N	P	P	P	N
Dwelling, single-family	P	P	P	P	P	P	P
Dwelling, single-family with accessory dwelling unit	P	P	P	N	N	N	N
Dwelling, temporary	P	P	P	P	P	P	P
Dwelling, two-family	N	N	N	P	P	P	N
Guesthouse or casita with direct access to main dwelling unit	P	P	P	N	N	N	N
Guesthouse or casita without direct access to main dwelling unit	C	C	C	N	N	N	N
Manufactured home	P	P	P	N	N	N	P
Manufactured/mobile home park	N	N	N	N	N	N	P
Manufactured/mobile home subdivision	N	N	N	N	N	N	P
Protective housing facility	N	N	N	N	N	N	N
Rehabilitation/treatment facility	N	N	N	N	N	N	N
Residential facility for elderly persons <sup>1</sup>	P	P	P	P	P	P	P
Residential facility for persons with a disability <sup>1</sup>	P	P	P	P	P	P	P
Residential facility for troubled youth	N	N	N	N	N	N	N
Short term rental <sup>4</sup>	P	P	P	N	N	N	N
Transitional housing facility	N	N	N	N	N	N	N
Public and civic uses:							
Airport	N	N	N	N	N	N	N
Auditorium or stadium	N	N	N	N	N	N	N
Bus terminal	N	N	N	N	N	N	N
Cemetery	P	P	P	P	P	P	P
Church or place of worship	P	P	P	P	P	P	P
Club or service organization	N	N	N	N	N	N	N
College or university	N	N	N	N	N	N	N
Convalescent care facility	N	N	N	N	N	N	N
Correctional facility	N	N	N	N	N	N	N
Cultural service	N	N	N	N	N	N	N
Golf course	P	P	P	P	P	P	P
Government service	N	N	N	N	N	N	N
Hospital	N	N	N	N	N	N	N
Operations center	N	N	N	N	N	N	N

Park	P	P	P	P	P	P	P
Post office	N	N	N	N	N	N	N
Protective service	P	P	P	P	P	P	P
Reception center	N	N	N	N	N	N	N
School, elementary, middle, high or private	P	P	P	P	P	P	P
School, vocational	N	N	N	N	N	N	N
Stable, public	N	N	N	N	N	N	N
Utility, major	N	N	N	N	N	N	N
Utility, minor	P	P	P	P	P	P	P
Commercial uses:							
Agricultural sales and service	N	N	N	N	N	N	N
Animal hospital	N	N	N	N	N	N	N
Bail bond service	N	N	N	N	N	N	N
Bank or financial institution	N	N	N	N	N	N	N
Bed and breakfast, home (Less than or Equal to 2; Owner Occupied)	C	C	C	N	N	N	C
Bed and breakfast inn (Between 3 and 10)	C	C	C	N	N	N	C
Business equipment rental, services, and supplies	N	N	N	N	N	N	N
Camping Hosting Facility	N	N	N	N	N	N	N
Car wash	N	N	N	N	N	N	N
Club, private	N	N	N	N	N	N	N
Construction sales and service	N	N	N	N	N	N	N
Convenience store	N	N	N	N	N	N	N
Family child daycare facility <sup>2</sup>	P	P	P	P	P	P	P
Licensed family child care <sup>2</sup>	C	C	C	C	C	C	C
Residential certificate child care <sup>2</sup>	P	P	P	P	P	P	P
Child care center	N	N	N	N	N	N	N
Funeral home	N	N	N	N	N	N	N
Garden center	N	N	N	N	N	N	N
Gas and fuel, storage and sales	N	N	N	N	N	N	N
Gasoline service station	N	N	N	N	N	N	N
Hostel	N	N	N	N	N	N	N
Hotel	N	N	N	N	N	N	N
Kennel, commercial	N	N	N	N	N	N	N
Kennel, residential	P	P	P	P	P	P	P
Laundry or dry cleaning, limited	N	N	N	N	N	N	N
Liquor store	N	N	N	N	N	N	N
Media service	N	N	N	N	N	N	N
Medical or dental laboratory	N	N	N	N	N	N	N

Medical service	N	N	N	N	N	N	N
Motel	N	N	N	N	N	N	N
Office, general	N	N	N	N	N	N	N
Off Road Recreational Vehicle Rental	C	C	C	N	N	N	N
Parking garage, public	N	N	N	N	N	N	N
Parking lot, public	N	N	N	N	N	N	N
Pawnshop	N	N	N	N	N	N	N
Personal care service, home based <sup>2</sup>	P	P	P	P	P	P	P
Personal instruction service, home based <sup>2</sup>	P	P	P	P	P	P	P
Printing and copying, limited	N	N	N	N	N	N	N
Printing, general	N	N	N	N	N	N	N
Produce stand	N	N	N	N	N	N	N
Recreation and entertainment, indoor	N	N	N	N	N	N	N
Recreation and entertainment, outdoor	N	N	N	N	N	N	N
Recreational vehicle park	N	N	N	N	N	N	P
Repair service	N	N	N	N	N	N	N
Research service	N	N	N	N	N	N	N
Residential hosting facility	P	P	P	N	N	N	N
Restaurant, fast food	N	N	N	N	N	N	N
Restaurant, general	N	N	N	N	N	N	N
Retail, general	N	N	N	N	N	N	N
Secondhand store	N	N	N	N	N	N	N
Shopping center	N	N	N	N	N	N	N
Tattoo establishment	N	N	N	N	N	N	N
Tavern	N	N	N	N	N	N	N
Temporary trailer	P	P	P	P	P	P	P
Transportation service	N	N	N	N	N	N	N
Vehicle and equipment rental or sale	N	N	N	N	N	N	N
Vehicle and equipment repair, general	N	N	N	N	N	N	N
Vehicle repair, limited	N	N	N	N	N	N	N
Veterinary service	N	N	N	N	N	N	N
Warehouse, self-service storage	N	N	N	N	N	N	N
Wireless telecommunication facility	See section 10-50-5, table 10-50-1 of this title						
Industrial uses:							
Automobile wrecking yard	N	N	N	N	N	N	N
Freight terminal	N	N	N	N	N	N	N
Heavy industry	N	N	N	N	N	N	N
Junk or salvage yard	N	N	N	N	N	N	N
Laundry services	N	N	N	N	N	N	N

Manufacturing, general	N	N	N	N	N	N	N
Manufacturing, limited	N	N	N	N	N	N	N
Mineral extraction	N	N	N	N	N	N	N
Wholesale and warehousing, general	N	N	N	N	N	N	N
Wholesale and warehousing, limited	N	N	N	N	N	N	N

2. Notes:

1. See chapter 46 of this chapter.
2. See chapter 42 of this chapter.
3. See section 152-37-15 of this chapter for permitted animals and fowl.
4. See licensing and operations requirements in title 11 of this code.

3. Accessory Uses:

Permitted and conditional uses set forth in table 152-13-1 of this section shall be deemed to include accessory uses and activities that are necessarily and customarily associated with and incidental and subordinate to such uses.

1. Accessory uses shall be subject to the same regulations that apply to permitted and conditional uses in the same zone except as otherwise expressly provided in this chapter.
2. No accessory use, building, or structure shall be allowed on a lot unless a permitted or conditional use has been established.
3. Accessory uses in residential zones shall include, but not be limited to, the following: Garage sales, subject to applicable standards of chapter 48, "Temporary Uses", of this chapter. Garages and off street parking areas, subject to applicable standards of chapter 34, "Off Street Parking And Loading", of this chapter. Hobby activities when conducted by an occupant of the premises solely for personal enjoyment, amusement, or recreation and which does not conflict with any other city ordinance. Home based businesses, subject to applicable standards of chapter 42, "Home Based Businesses", of this chapter. Household pets. Nurseries and greenhouses, when used for family food production. Playhouses, patios, porches, gazebos, and incidental storage buildings. Swimming pools and hot tubs for use by residents and their guests.

4.

**Sec 152-13-4 Development Standards In Residential Zones**

Development standards within residential zones shall be as set forth in table 152-13-2 of this section.

TABLE 152-13-2

DEVELOPMENT STANDARDS IN RESIDENTIAL ZONES							
	Zones						
Development Standard	R1-25	R1-15	R1-10	R1-8	RM-1	RM-2	RM-3
Lot standards:							
Average lot area <sup>2</sup>	15,000 sq. ft.	15,000 sq. ft.	10,000 sq. ft.	8,000 sq. ft.	n/a	n/a	n/a
Minimum lot area or acreage	12,000 sq. ft.	12,000 sq. ft.	8,000 sq. ft.	6,400 sq. ft.	10,000 sq. ft.	1 acre	1 acre
Minimum lot width and/or project frontage	89 ft.	90 ft.	80 ft.	70 ft.	80 ft. project	100 ft. project	200 ft. project
					30 ft. unit	30 ft. unit	30 ft. unit
/	n/a	n/a	n/a	n/a	6 units/lots	10 units/lots	15 units/lots
Building standards:							
Maximum height, main building <sup>3</sup>	34 ft.	35 ft.	35 ft.	35 ft.	35 ft.	35 ft.	35 ft.
Maximum height, accessory building <sup>4</sup>	19 ft.	20 ft.	20 ft.	20 ft.	20 ft.	20 ft.	20 ft.
Maximum size, accessory building	1,200 sq. ft.	1,200 sq. ft.	1,200 sq. ft.	500 sq. ft.	1,000 sq. ft.	1,000 sq. ft.	500 sq. ft.
Building coverage: See subsection 10-37-12I of this title	50% of lot	50% of lot	50% of lot	50% of lot	50% of lot	50% of lot	50% of lot
Distance between buildings	No requirement	No requirement	No requirement	No requirement	20 ft.	20 ft.	20 ft.
Setback standards - front yard:							
Any building <sup>5</sup>	24 ft.	25 ft.	25 ft.	25 ft.	25 ft.	25 ft.	25 ft.
Setback standards - rear yard:							

Main building	19 ft.	20 ft.	20 ft.	10 ft.	10 ft.	10 ft.	10 ft.
Accessory building, including private garage <sup>6</sup>	19 ft.	20 ft.	20 ft.	10 ft.	10 ft.	10 ft.	10 ft.
Setback standards - interior side yard:							
Main building	9 ft.	10 ft.	10 ft.	10 ft.	10 ft.	10 ft.	10 ft.
Accessory building, including private garage	See note 6	See note 6	See note 6	See note 6	See note 6	See note 6	See note 6
Setback standards - street side yard:							
Main building <sup>7</sup>	19 ft.	20 ft.	20 ft.	20 ft.	20 ft.	20 ft.	20 ft.
Accessory building	See note 6	See note 6	See note 6	See note 6	See note 6	See note 6	See note 6

Notes:

1. Duplex only permitted on first 10,000 square feet. Any additional units must meet density per acre standards.
2. "Average size" means the total acreage devoted to lots divided by the number of lots. Net density definition shall apply.
3. Except as otherwise permitted by subsection 152-13-7C of this chapter.
4. Except as otherwise permitted by subsection 152-13-7B of this chapter.
5. Except as modified by the provisions of subsection 152-37-12F, "Setback Measurement", of this chapter.
6. If located at least 10 feet from main building, 2 feet from the dripline of the roof. Otherwise, same as for main building.
7. When this side setback is required, rear setback may be reduced to 10 feet.

[Sec 152-13-5 Regulations Of General Applicability](#)

The use and development of real property in residential zones shall conform to regulations of general applicability as set forth in the following chapters of this chapter:

1. Design and compatibility standards:  
See chapter 33 of this title.
2. Landscaping and screening:  
See chapter 32 of this title.
3. Motor vehicle access:  
See chapter 35 of this title.
4. Natural resource inventory:  
See chapter 31 of this title.
5. Off street parking:  
See chapter 34 of this title.
6. Signs:  
See chapter 36 of this title.
7. Supplementary development standards:  
See chapter 37 of this title.

[Sec 152-13-6 Regulations For Specific Uses](#)

To the extent that use and development of real property includes any matter encompassed by a regulation for a specific use as set forth in Article VI of this chapter, such regulation shall apply in addition to the requirements of this chapter and shall prevail over any conflicting provision of this chapter.

[Sec 152-13-7 Special Regulations](#)

1. Animals:  
Within R1, RM, and MH/RV zones, where permitted by the zone, the keeping of animals shall normally be simultaneous with occupied residential use.
2. Larger Accessory Buildings:  
Notwithstanding the maximum building size limitation shown on table 152-13-2 in section 152-13-4 of this chapter, the maximum size of an accessory building may be increased pursuant to a conditional use permit.
3. Increased Height:  
Notwithstanding the height limitations shown on table 152-13-2 in section 152-13-4 of this chapter a greater building height may be allowed in residential zones pursuant to a conditional use permit.
4. Visual Barriers:  
Fencing or other method of providing privacy and a visual barrier to adjacent property shall be constructed around the perimeter of a multiple-family development.
  1. The height of such barrier shall be at least six feet (6').
  2. The barrier material and location shall be identified on an approved site plan.
5. Open Space:  
In multiple-family residential zones, common open space should equal or exceed the ground floor area of all buildings on site. Projects greater than one story should provide common open space equivalent to the ground floor area plus fifty percent (50%) of all additional floor area.



**Recommendation**

Staff recommends approval of the zone change request as it remains consistent with Hildale City' General Plan. Additionally, it may accommodate the city's goal of increased density.

**Sample Motions – ZONING CHANGE**

1. I move to recommend approval of the zoning map amendment requested for Parcel HD-SHCR-6-7 commonly addressed as 780 N Lauritzen from the current Residential Agricultural-1 (RA-1) to Residential Mulitfamily-2 (RM-2).

**Attachments**

- a. Zone Change Application
  - a. Warranty Deed
  - b. Affidavit
  - c. Check
  - d. Zoning Map
- b. Washington County Property Report for parcel HD-SHCR-1-17
- c. Draft copy Rezone Letter for Neighboring Properties
- d. Public Hearing Notice



☎ 435-874-2323  
☎ 435-874-2603  
🌐 www.hildalecity.com

# ZONE CHANGE APPLICATION

Fee: \$100

<i>For Office Use Only:</i>	
File No.	_____
Receipt No.	<u>134970567</u> <i>Angeline</i>

Name: John Barlow Telephone: 8018244232 *01/04/23*

Address: 880 North Hildale Street, Hildale, UT 84784 Fax No. \_\_\_\_\_

Agent (If Applicable): N/A Telephone: \_\_\_\_\_

Email: johnroybarlow@gmail.com

Address/Location of Subject Property: 780 North Lauritzen, Hildale, UT 84784

Tax ID of Subject Property: HD-SHCR-6-7 Existing Zone District: RA-1

**Proposed Zoning District and reason for the request** (Describe, use extra sheet if necessary)

RM-2: Convert large house to multi-family long-term rental complex.

**Submittal Requirements:** The zone change application shall provide the following:

- a. The name and address of every person or company the applicant represents;
- b. An accurate property map showing the existing and proposed zoning classifications;
- c. All abutting properties showing present zoning classifications;
- d. An accurate legal description of the property to be rezoned;
- e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the third Monday of each month at 6:30 p.m. The deadline date to submit the application is 10 business days prior to the scheduled meeting. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.**

\*\*\*\*\*

(Office Use Only)

Date Received: \_\_\_\_\_ Application Complete: YES  NO



📞 435-874-2323

📠 435-874-2603

🌐 [www.hildalecity.com](http://www.hildalecity.com)

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by:

## **ZONE CHANGE APPLICATION (General Information)**

### **PURPOSE**

All lands within the City are zoned for a specific type of land use (single family residential, multi-family, commercial, industrial, etc.). Zoning occurs to provide for a relationship between various types of land uses which promotes the health, safety, welfare, order, economics, and aesthetics of the community. Zoning is one of the main tools used to implement the City's General Plan.

### **WHEN REQUIRED**

A zone change request is required any time a property owner desires to make a significant change to the use of his/her land. The change may be from one zone density (say 1 acre lots) to smaller lots (10,000 square foot lots). Or, it may be to an entirely different type of use, such as a change from single family zoning to multiple family or commercial zoning. Since the zone applied to your land limits what you can do, a rezoning application is typically the first step toward a change.

### **REQUIRED CONSIDERATIONS TO APPROVE A ZONE CHANGE**

When approving a zone change the following factors should be considered by the Planning Commission and City Council:

1. Whether the proposed amendment is consistent with the Goals, Objectives and Policies of the City's General Plan;
2. Whether the proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property;
3. The extent to which the proposed amendment may adversely affect adjacent property; and
4. The adequacy of facilities and services intended to serve the subject property, including, but not limited to roadways, parks and recreation facilities, police and fire protection, schools, storm water drainage systems, water supplies, and wastewater and refuse collection.

### **PROCESS**

Contact the Planning Department for when the deadline for submission is. After it is deemed complete, staff will review the request, and prepare a report and recommendation for the Planning Commission. This will be reviewed at a public hearing where the applicant should attend, present the project, and respond to questions from the Planning Commission. Since it is a public hearing, members of the public may also have questions or comments. At the public hearing the Planning Commission will review the application and staff's report and forward a recommendation to the City Council of approval, approval with modifications, or denial the zone change application.

Upon receipt of the Planning Commission recommendation, typically 1-2 weeks after the Planning Commission action, the City Council will consider and act on the Commission's recommendation. The action of the City Council is final. If denied, a similar application generally cannot be heard for a year.

AFFIDAVIT  
PROPERTY OWNER

STATE OF UTAH )

COUNTY OF )

I (we), \_\_\_\_\_, being duly sworn, depose and say that I (we) am (are) the owner(s) of the property identified in the attached application and that the statements herein contained and the information provided identified in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge. I (we) also acknowledge that I have received written instructions regarding the process for which I am applying, and the Hildale City Planning staff have indicated they are available to assist me in making this application.

\_\_\_\_\_  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

Subscribed and sworn to me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_.

\_\_\_\_\_  
(Notary Public)

Residing in: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Agent Authorization

I (we), \_\_\_\_\_, the owner(s) of the real property described in the attached application, do authorize as my (our) agent(s) \_\_\_\_\_ to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the City considering this application and to act in all respects as our agent in matters pertaining to the attached application.

\_\_\_\_\_  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

Subscribed and sworn to me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_.

\_\_\_\_\_  
(Notary Public)

Residing in: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Warranty Deed Page 1 of 3  
Gary Christensen Washington County Recorder  
11/22/2022 01:14:21 PM Fee \$40.00 By  
PROSPECT TITLE INSURANCE



Prepared By Prospect Title Insurance  
Agency  
98198-22

After Recording Mail To:

PO Box 2742  
Colorado City AZ 85002

Space Above This Line for Recorder's Use

**WARRANTY DEED**

GRANTOR(S) Thomas Williams

Hereby CONVEY AND WARRANT(S) to:

GRANTEE(S) John Roy Barlow

for the sum of Ten Dollars and other good and valuable consideration the following described tract(s) of land in Washington County, State of Utah:


**See Attached Exhibit "A"**

Tax Parcel No. HD-SHCR-6-7

SUBJECT TO County Taxes and Assessments not delinquent, Easements, Rights of Way Covenants, Conditions and Restrictions now of record.

WITNESS our hands on 19<sup>th</sup> day of October, 2022.



  
**Thomas Williams**

<sup>Missouri</sup>  
**STATE OF UTAH**  
**COUNTY OF WASHINGTON** <sup>Ukiah</sup>

On this 1<sup>st</sup> day of <sup>November</sup> ~~October~~, 2022, before me Jeff Wall, a notary public, personally appeared Thomas Williams, proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to this instrument, and acknowledged he/she/they executed the same.

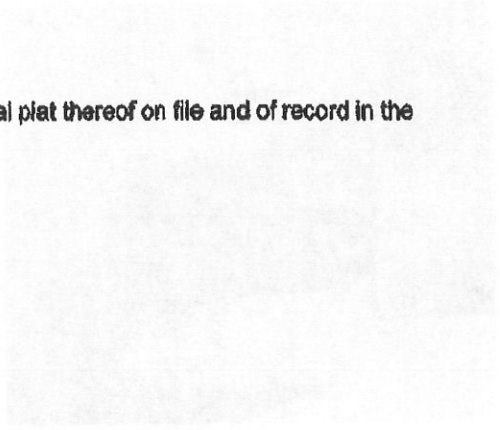
Witness my hand and official seal.

  
**Notary Public**

Property Report for Parcel HD-SHCR-6-7

**EXHIBIT A**

All of Lot 7, Short Creek Subdivision #6, according to the official plat thereof on file and of record in the Washington County Recorder's Office, State of Utah.



Subdivision Name: Short Creek  
Site Address: 700 N. ...  
Map: ...

Account Number: ...  
Parcel ID: ...  
Owner Name: ...

Parcel Description: ...  
Subdivision: ...  
County: ...

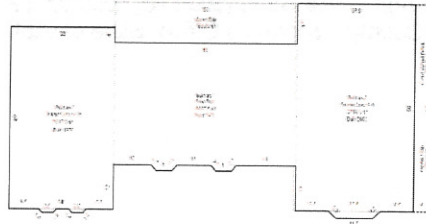
Building Number: ...  
Property Type: ...  
Year Built: ...  
Square Feet: ...

# Property Report for Parcel **HD-SHCR-6-7**

Data Updated: 1/1/2023



[Click here for images](#)



[Click here for sketches](#)

## Account Summary

Account Number: 0928255  
Parcel ID: HD-SHCR-6-7  
Owner Name: Williams Thomas

Subdivision: Short Creek  
Situs Address: 780 N Lauritzen St  
Hildale, UT 84784

## Building Characteristics

Building Number: 1  
Property Type: Residential  
Year Built: 2003  
Square Feet: 5688

HVAC Desc: Central Air to Air  
Bedrooms: 2  
Bathrooms: 2  
Garage Square Feet: N/A  
Basement Sq. Ft.: 3717  
Basement Sq. Ft. Finished: N/A  
Swimming Pool: N/A  
Fireplaces: 1  
Finished Attic: N/A

Units: 1  
Exterior: Frame Masonry Veneer  
Roof Cover: Composition Shingle

### LEGAL DESCRIPTION:

Legal Subdivision: SHORT CREEK 6 (HD) Lot: 7

*NOTE: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.*

Report Generated 1/4/2023 by Washington County GIS

Washington County, Utah  
County Administration Building  
197 E. Tabernacle Street  
St. George, UT 84770-3443  
[www.washco.utah.gov](http://www.washco.utah.gov)



## Property Report for Parcel **HD-SHCR-6-7**

### Property Information

Acres: 0.73  
 Zoning: Residential-Agricultural 1  
 Is Property in a Special Flood Hazard Area? No  
 Is Property in a 0.2% Annual Chance Flood Area? No  
 Is Property in a Floodway? No

*\* Determination of flood zone information is based upon 2009 FEMA Digital Flood Insurance Rate Map Database but does not substitute for a Flood Verification letter. For more information, please visit the FEMA Flood Map Service Center website <https://msc.fema.gov/portal/home> or contact your municipal Engineering department.  
 City zoning information is based on the best available information and should be independently verified by contacting each municipality directly.*

### Voting Districts

Washington County Precinct: HIL01  
 U.S. Senate District: 27  
 U.S. Congressional District: 2  
 Utah House District: 72  
 Washington County School  
 Board District: 5

*\* Visit [Vote Utah gov](http://VoteUtah.gov) or <https://geoprodvm.washco.utah> for more voting information.*

### Utilities

Culinary Water: Hildale - Colorado City  
 Sewer: Hildale  
 Electricity: Garkane Energy Cooperative, Inc  
 Natural Gas: N/A  
 Internet Service Providers (Cable): AWI

*\* For more information on Internet services available in your area, see Decision Data.org.  
<https://decisiondata.org/internet-providers-by-zip-code-plus-tv/>*

### Tax Information

Tax District: Hildale Town  
 Residential Classification: Primary  
 Book & Page: N/A  
 Reference Document: 20220050855

### Community/Public Services

Law Enforcement: Hildale  
 Fire Protection: Colorado City Fire Dept  
*\* In an emergency, ALWAYS dial 9-1-1!*

Schools:  
 Water Canyon Elementary  
 Water Canyon High  
 Water Canyon  
 Water Canyon High

*\* For more information, including bus routes, visit the Washington Co. School District at <https://www.washk12.org/> or Iron Co. School District at <https://irondistrict.org/>*

Solid Waste Collection Day: N/A

*\* For more information on solid waste and recycling services, visit the Washington County Solid Waste website at <http://www.wcsw.org/>*

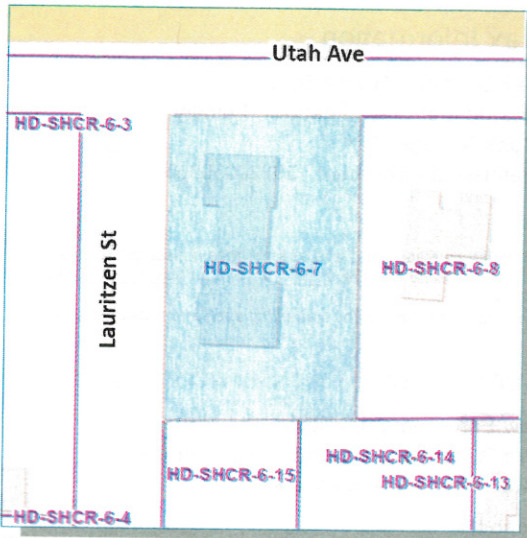
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Report Generated 1/4/2023 by Washington County GIS

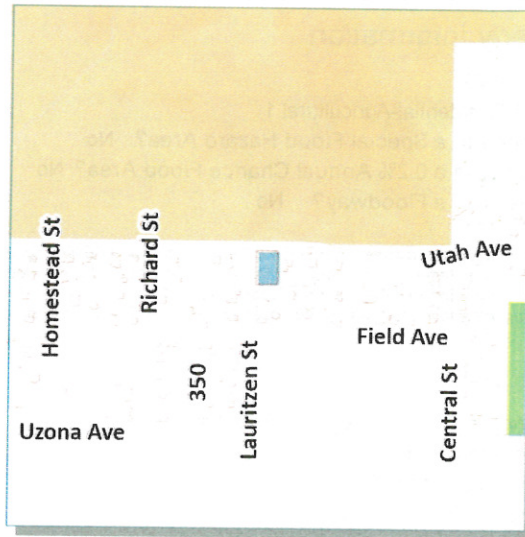
Washington County, Utah  
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 St. George, UT 84770-3443  
[www.washco.utah.gov](http://www.washco.utah.gov)



# Property Report for Parcel **HD-SHCR-6-7**



Parcel highlighted in blue.



Overview Map

*NOTE: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.*

Report Generated 1/4/2023 by Washington County GIS

Washington County, Utah  
County Administration Building  
197 E. Tabernacle Street  
St. George, UT 84770-3443  
[www.washco.utah.gov](http://www.washco.utah.gov)



### Amounts Valid Through: January 4, 2023

Original Tax	Year	Tax Due	Penalty Due	Interest Due	Fees Due	Total Due
	2013	0.00	0.00	0.00	0.00	0.00
	2014	0.00	0.00	0.00	0.00	0.00
\$1,769.01	2015	0.00	0.00	0.00	0.00	0.00
\$1,667.05	2016	0.00	0.00	0.00	0.00	0.00
\$1,415.75	2017	0.00	0.00	0.00	0.00	0.00
\$1,289.49	2018	0.00	0.00	0.00	0.00	0.00
\$1,392.33	2019	0.00	0.00	0.00	0.00	0.00
\$1,594.91	2020	0.00	0.00	0.00	0.00	0.00
\$1,482.50	2021	0.00	0.00	0.00	0.00	0.00
\$1,780.79	2022	0.00	0.00	0.00	0.00	0.00

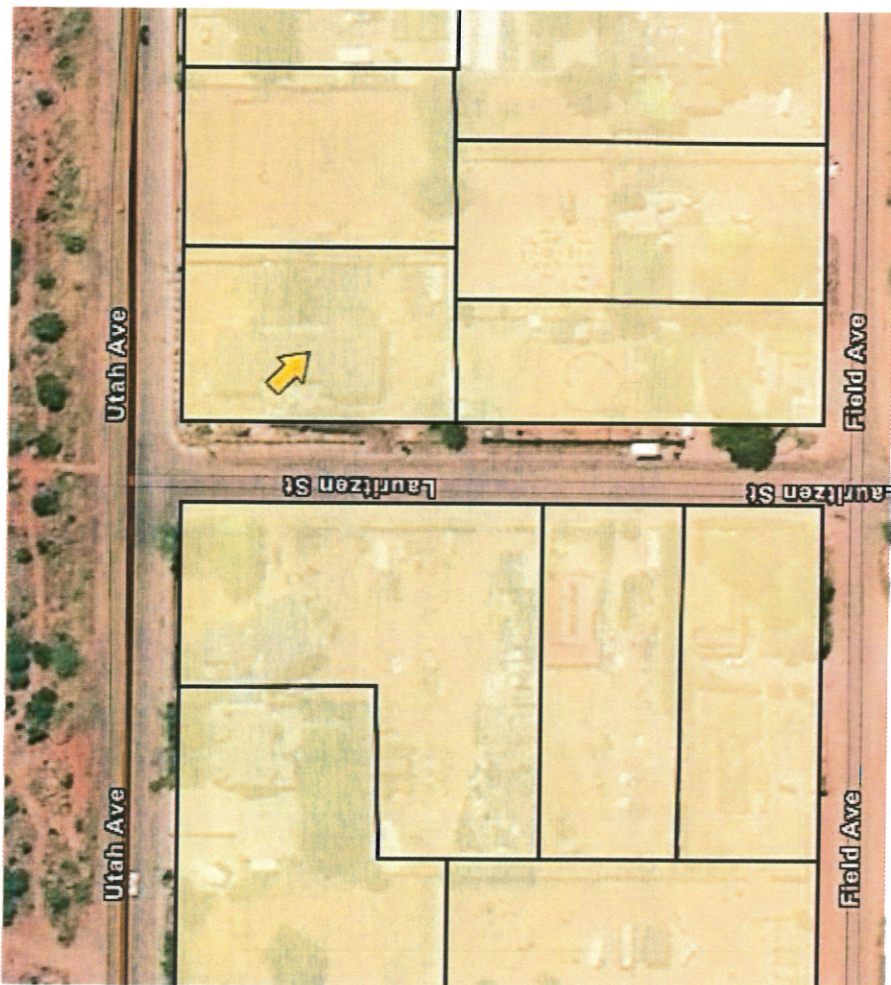
Primary Owner: WILLIAMS THOMAS

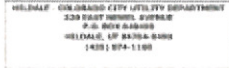
Account Number: 928255

Serial Number: HD-SHCR-6-7

Mailing Address: PO BOX 270, STOCKTON, MO 65785







Hildale City  
320 E.Newel Ave  
Hildale, UT 84784  
(435) 874-1160  
ar@hildalecity.com

XBP Confirmation Number: 134970567

▶ Transaction detail for payment to Hildale City.		Date: 01/04/2023 - 5:01:56 PM MT	
<b>Transaction Number: 189625172PT</b> <b>Visa — XXXX-XXXX-XXXX-8349</b> <b>Status: Successful</b>			
Account #	Item	Quantity	Item Amount
ZONE CHANGE APP	Land Use	1	\$100.00

**TOTAL: \$100.00**

**Billing Information**

JOHN BARLOW  
780 NORTH LAURITZEN ST  
HILDALE, UT 84784  
(801) 824-4232

Transaction taken by: Admin AChatwin

## Preliminary Plat Staff Report

---

**Applicant Name:** Carl Timpson  
**Agent:** Thomas Timpson  
**Application Type:** Preliminary Plat for Subdivision  
**Project Address:** 685 N Willow Street & 725 N Willow Street  
**Date:** January 11, 2023  
**Prepared by:** Harrison Johnson

### Sec 152-39-7 Preliminary Plat Requirements

The preliminary plat shall include or be accompanied by the following:

1. Description:

In a title block located in the lower right hand corner of the sheet the following is required:

1. The proposed name of the subdivision.
2. The location of the subdivision, including the address and the section, township and range.
3. The names and addresses of the owner or subdivider if other than the owner.
4. Date of preparation and north point.
5. Scale shall be of sufficient size to adequately describe in legible form all required elements.

2. Existing Conditions:

The preliminary plat shall show:

1. The location of the nearest monument.
2. The boundary of the proposed subdivision and the acreage included.
3. All property contiguous to the property to be subdivided and under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing master street plan or other commission studies.) And all property contiguous to the proposed subdivision.
4. The location, width and names/numbers of all existing streets within two hundred feet (200') of the subdivision and of all prior streets or other public

**Chairperson:** Charles Hammon

**Vice-Chairperson:** Elyssa Wall

**Commissioners:** Lawrence Stubbs, Derick Holm, Nathan Fischer, Tracy Barlow, Rex Jessop

ways, easements, utility rights of way, parks and other public open spaces, within and adjacent to the tract.

5. The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
6. Existing ditches, canals, natural drainage channels and open waterways and proposed realignments.
7. Contours at vertical intervals not greater than five feet (5').
8. Identification of potential geotechnical constraints on the project site (such as expansive rock and soil, collapsible soil, shallow bedrock and caliche, gypsiferous rock and soil, potentially unstable rock or soil units including fault lines, shallow groundwater, and windblown sand) and recommendations for their mitigation.

3. Proposed Plan:

The subdivision plans shall show:

1. The layout of streets, showing location, widths and other dimensions of proposed streets, crosswalks, alleys and easements.
2. The layout, numbers and typical dimensions of lots. Designation of buildable area is required for each lot.
3. Parcels of land intended to be dedicated or temporarily reserved for public use or set aside for use of property owners in the subdivision.
4. Easements for water, sewers, drainage, utilities, lines and other purposes.
5. Typical street cross sections and street grades where required by the planning commission.
6. A tentative plan or method by which the subdivider proposes to handle the stormwater drainage for the subdivision.
7. Approximate radius of all centerline curves on highways or streets.
8. Each lot shall abut a street shown on the subdivision plat or on an existing publicly dedicated street. (Double frontage or flag lots shall be prohibited except where conditions make other design undesirable.)
9. All remnants of lots below minimum size left over after subdividing of a larger tract shall be added to adjacent lots or common areas, rather than allowed to remain as unusable parcels.
10. Where necessary, copies of any agreements with adjacent property owners relevant to the proposed subdivision shall be presented to the planning commission.

**Chairperson: Charles Hammon**

**Vice-Chairperson: Elyssa Wall**

**Commissioners: Lawrence Stubbs, Derick Holm, Nathan Fischer, Tracy Barlow, Rex Jessop**

11. A letter from both the local sanitary sewer provider and culinary water provider indicating availability of service.
  12. If the subdivision is to be built in phases, the plat shall show possible phasing lines.
  13. A tentative plan or method for providing nondiscriminatory access to the subdivision for purposes of placement of communications infrastructure, and for purposes of placement of utility infrastructure.
4. Required Copies Of Plans:
1. Two (2) copies of all full scale drawings.
  2. One copy of each drawing on eleven inch by seventeen inch (11" x 17") sheets or eight and one-half by eleven (8 1/2 x 11) if the project is small and the plans are legible at that size.

#### **Sec 152-39-8 Construction Drawings**

After preliminary plat approval by city council, the applicant shall have construction drawings prepared by a licensed engineer for all on site and required off site improvements in accordance with the following:

1. Final plan and profile must be prepared in accordance with:
  1. Current Hildale City standards and specifications;
  2. Requirements of the Southwest Utah Public Health Department and the state department of environmental quality or other appropriate state agencies; and
  5. Applicable fire codes.
2. Specific geotechnical recommendations for the design and construction of the proposed subdivision shall include the following if applicable:
  1. A general assessment of the requirements needed to develop on the site.
  2. Site preparation and grading and the suitability of on site soils for use as structural fill.
  3. Stable cut and fill slopes including recommendations concerning the effects of material removal and the introduction of water.
  4. Recommendations for foundation type and design criteria, including, but not limited to, bearing capacity of natural or compacted soils, provisions to mitigate the effects of expansive, compressible, or collapsible soils, differential settlement and varying soil strength, and the effects of adjacent loads.
  5. Anticipated total and differential settlement.
  6. Special design and construction considerations, as necessary, such as the excavation and replacement of unsuitable materials, excavation difficulties, stabilization, or special foundation provisions for problem soil conditions.

**Chairperson: Charles Hammon**

**Vice-Chairperson: Elyssa Wall**

**Commissioners: Lawrence Stubbs, Derick Holm, Nathan Fischer, Tracy Barlow, Rex Jessop**



7. Design criteria for restrained and unrestrained retaining or rockery wall.
8. Moisture protection and surface drainage.
3. Eleven (11) sets of complete drawings must be submitted to the Public Works Director. Construction drawings must contain a signature block for all required utility, City, and Ash Creek Special Service District representatives. Drawings shall be a minimum of twenty two inches by thirty four inches (22" x 34") (full size).
4. Applicant shall request placement on a Joint Utility Committee agenda for initial review of the plans.
5. Applicant or applicant's authorized representative shall attend the Joint Utility Committee meeting when the item is on the agenda. Utility, franchisee, City, and Ash Creek representatives will take copies of plans to redline.
6. All street grades over five percent (5%) shall be noted on the preliminary plat.
7. When redlines are completed, Public Works Director shall prepare a summary of the needed changes and return redlined plans to applicant.
8. Applicant shall then submit three (3) copies of the corrected construction drawings, addressing all redlined items, to the City Engineer for review and possible signature. After City Engineer signs, applicant must obtain all required signatures and return signed plans to Public Works Director for final signature.
9. Construction drawings are valid for twenty four (24) months after final signature. Construction drawings signed more than twenty four (24) months prior to construction of improvements shall be considered expired. For a project where construction has started and all improvements shown on the plan will be constructed, the Public Works Director may permit construction to continue. Construction drawings showing multiple phases of a project are valid only for those improvements constructed within the first twenty four (24) months of approval. New approvals must be obtained and any new standards shall apply for future phases or delayed projects.

### **Summary of Application**

This application for subdivision is part of the preliminary plat process and seeks to create six (6) new lots from an existing two lots from which to build single family residential homes.

### **Zoning Compliance Notes**

The zoning of the property is R1-8 and the proposed subdivision lot dimensions are compliant with Residential Zoning Chapter 13.

### **General Plan Compliance Notes**

The proposed subdivision is currently zoned as residential, and the project's objective is to build housing which aligns with the Hildale City General Plan.

**Chairperson: Charles Hammon**

**Vice-Chairperson: Elyssa Wall**

**Commissioners: Lawrence Stubbs, Derick Holm, Nathan Fischer, Tracy Barlow, Rex Jessop**



### **Joint Utilities Comments**

The JUC was sent the application on December 7<sup>th</sup>, 2022 and no negative comments received from any the participating departments or agencies.

### **Engineering Review**

Currently underway but no obvious issues.

### **Staff Recommendation**

This subdivision represents a relatively small number of lots which has a low impact on facilities and aligns with the general plan, therefore, the staff supports approval of this application.



☎ 435-874-2323

📠 435-874-2603

🌐 www.hildalecity.com

# PRELIMINARY PLAT APPLICATION

Fee: \$300 + \$50 per acre

<i>For Office Use Only:</i>	
File No.	_____
Receipt No.	_____

Name: Carl Timpson / NBJC, LLC Telephone: (435) 881-5886

Address: 2816 Soaring Peak Ave, Henderson, NV 89052 Fax No. \_\_\_\_\_

Email: catimpson@villagecapital.com

Agent (If Applicable): Thomas Timpson / t.c.timpson@live.com Telephone: (435) 619-6477

Address/Location of Subject Property: 685 North Willow Street & 725 North Willow Street, Hildale, Utah

Tax ID of Subject Property: HD-SHCR-1-40; \*-5-A; \*-5-B; \*-5-C Zone District: R1-8 (LOT 5 & 40)

Proposed Use: (Describe, use extra sheet if necessary. Include total number of lots) \_\_\_\_\_

Single Family Residential; 7 total lots; See attached drawings & supporting documentation

**Submittal Requirements:** The preliminary plat application shall provide the following:

- X 1. Description: In a title block located in the lower right-hand corner of the sheet the following is required:
  - X a. The proposed name of the subdivision.
  - X b. The location of the subdivision, including the address and section, township and range.
  - X c. The names and addresses of the owner or subdivider, if other than the owner.
  - X d. Date of preparation, and north point.
  - X e. Scale shall be of sufficient size to adequately describe in legible form, all required conditions of Chapter 39, City Subdivision regulations.
- X 2. Existing Conditions: The preliminary plat shall show:
  - X a. The location of the nearest monument.
  - X b. The boundary of the proposed subdivision and the acreage included.
  - NA c. All property under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing Master Street Plan or other Commission studies.)
  - X d. The location, width and names/numbers of all existing streets within two hundred (200) feet of the subdivision and of all prior streets or other public ways, utility rights of way, parks and other public open spaces, within and adjacent to the tract.
  - NA e. The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
  - X f. Existing sewers, water mains, culverts or other underground facilities within the tract, indicating the pipe sizes, grades, manholes and the exact locations.

- g. Existing Hildale Canal Company facilities; other ditches, canals, natural drainage channels and open waterways and any proposed realignments.
- h. Contours at vertical intervals not greater than five (5) feet.
- i. Identification of potential geotechnical constraints on the project site (such as expansive rock and soil, collapsible soil, shallow bedrock and caliche, gypsiferous rock and soil, potentially unstable rock or soil units including fault lines, shallow groundwater, and windblown sand) and recommendations for their mitigation.
- j. Information on whether property is located in desert tortoise take area

3. Proposed Plan: The subdivision plans shall show:

- a. The layout of streets, showing location, widths, and other dimensions of proposed streets, crosswalks, alleys and easements.
- b. The layout, numbers and typical dimensions of lots.
- c. Parcels of land intended to be dedicated or temporarily reserved for public use or set aside for use of property owners in the subdivision.
- d. Easements for water, sewers, drainage, utilities, lines and other purposes.
- e. Typical street cross sections and street grades where required by the Planning Commission. (All street grades over 5% should be noted on the preliminary plat)
- f. A tentative plan or method by which the subdivider proposes to handle the storm water drainage for the subdivision.
- g. Approximate radius of all center line curves on highways or streets.
- h. Each lot shall abut a street shown on the subdivision plat or on an existing publicly dedicated street. (Double frontage or flag lots shall be prohibited except where conditions make other design undesirable)
- i. In general, all remnants of lots below minimum size left over after subdividing of a larger tract must be added to adjacent lots, rather than allow to remain as unusable parcels.
- j. Where necessary, copies of any agreements with adjacent property owners relevant to the proposed subdivision shall be presented to the Planning Commission.
- k. A letter from both the local sanitary sewer provider and culinary water provider indicating availability of service.
- l. Will this subdivision be phased? If yes show possible phasing lines.
- m. A tentative plan or method for providing non-discriminatory access to the subdivision for purposes of placement of communications infrastructure, and for purposes of placement of utility infrastructure.

4. Required copies of plans:

- a. Three copies of all full-scale drawings
- b. One copy of each drawing on a 11 x 17-inch sheets. (8 1/2 x 11 is acceptable if the project is small and the plans are readable at that size).
- c. Electronic copies sent to [planning@hildalecity.com](mailto:planning@hildalecity.com)

5. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the third Thursday of each month at 6:30 p.m. The deadline date to submit the application is 14 days prior to the scheduled meeting. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.**

\*\*\*\*\*

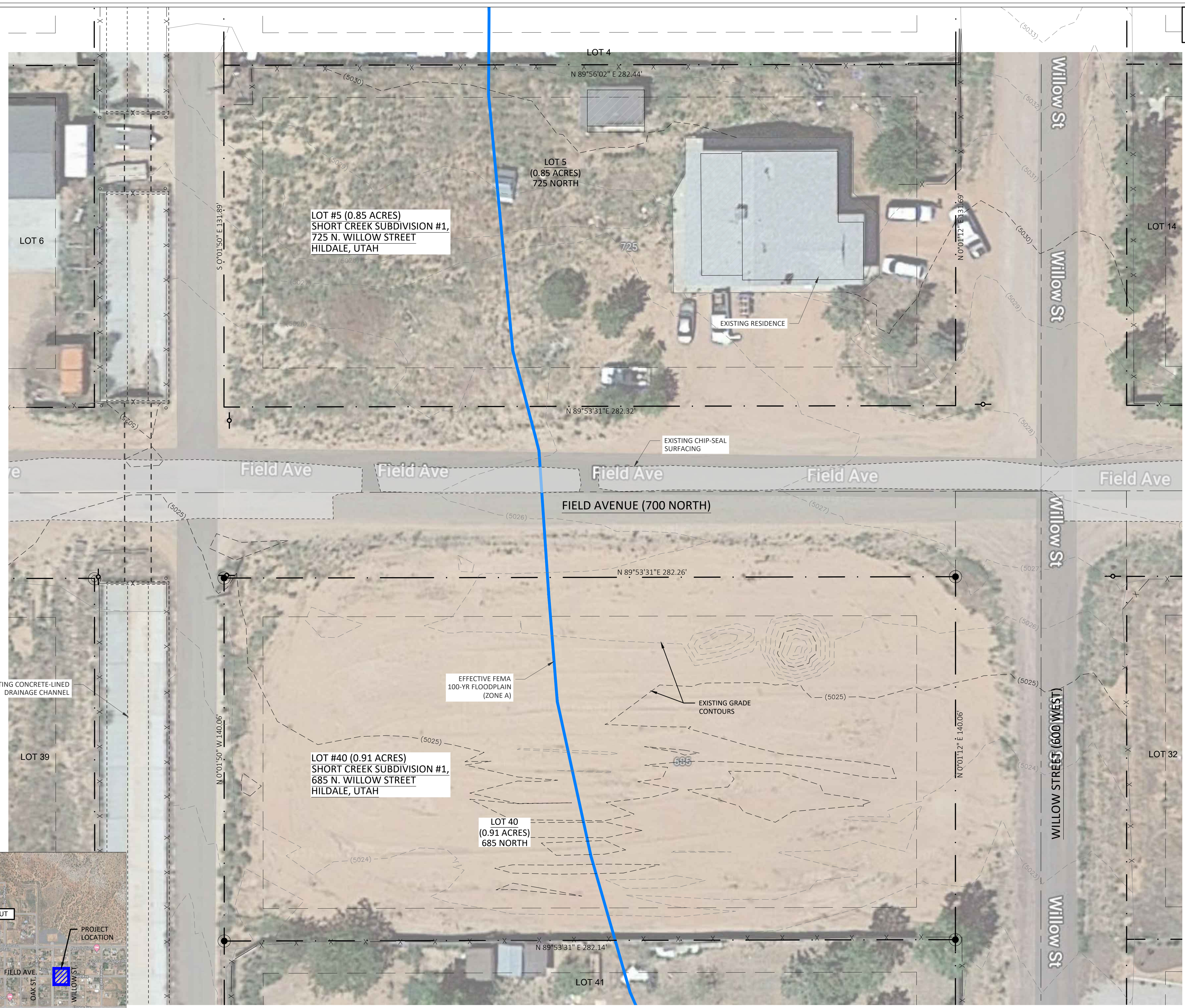
(Office Use Only)

Date Received: \_\_\_\_\_ Application Complete: YES  NO

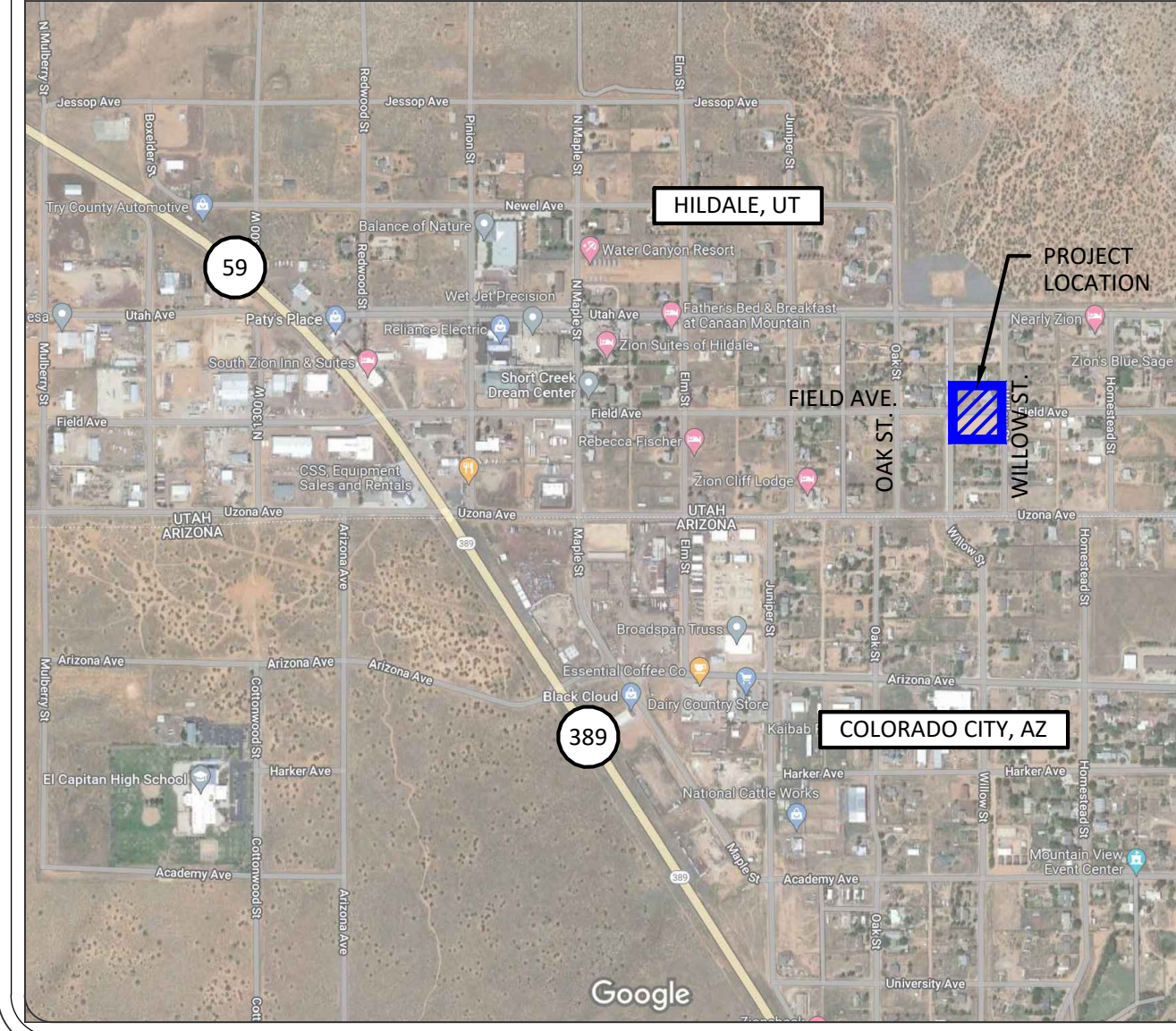
Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_



EXISTING CONDITIONS



VICINITY MAP



**TCT ENGINEERING**  
 1965 S HAMMON ST, COLORADO CITY, AZ  
 TEL: (435) 619-6477  
 E-MAIL: tctimpson@tct.com

**PRELIMINARY PLAT FOR  
 SHORT CREEK SUBDIVISION #1 PARTIAL AMENDMENT "A"  
 AMENDING LOTS 5 & 40**

LOT #5, & LOT #40, SHORT CREEK SUBDIVISION #1  
 LOCATED IN THE SE 1/4 OF SECTION 33, T43S, R10W, SLB&M, HILDALE, UT

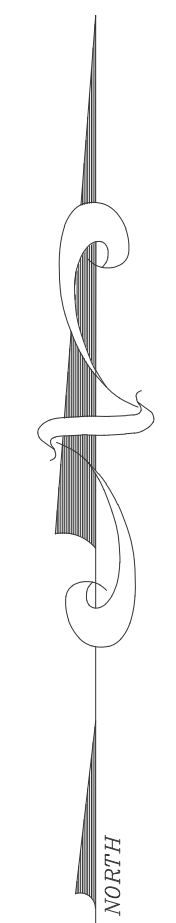
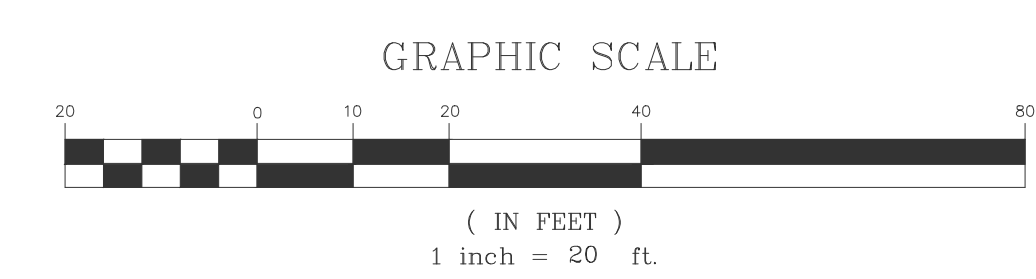
REVISIONS

REV	DATE	DESCRIPTION

PROJECT NO: 210907  
 CAD DWG. FILE: 210907\_2\_Lot 5 & 40 SD.dwg  
 DRAWN BY: TCT  
 DESIGNED BY: TCT  
 FIELD CREW:  
 CHECKED BY:  
 DATE: 11-28-22

SHEET:  
**EXISTING  
 CONDITIONS**

**C2.1**

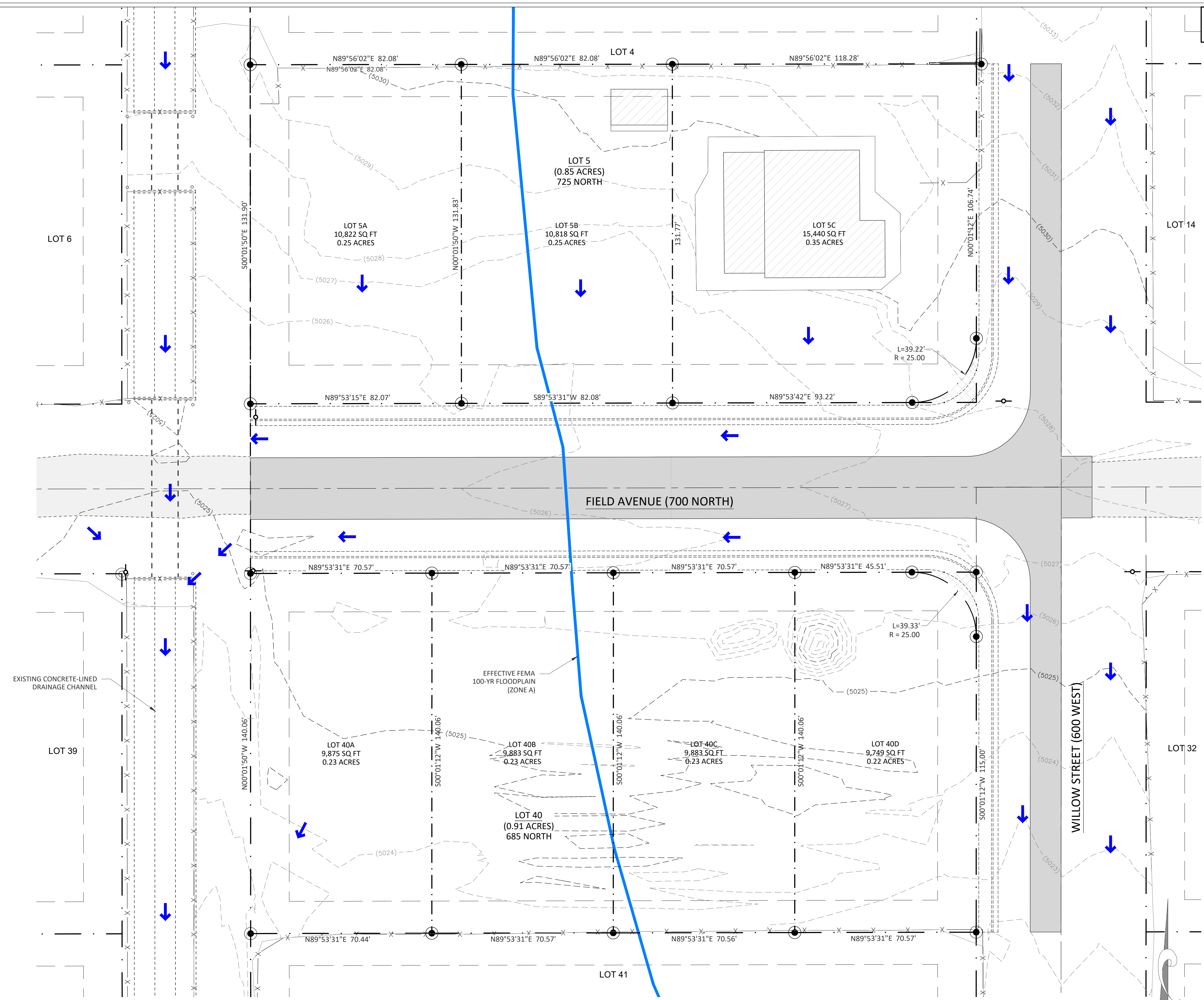








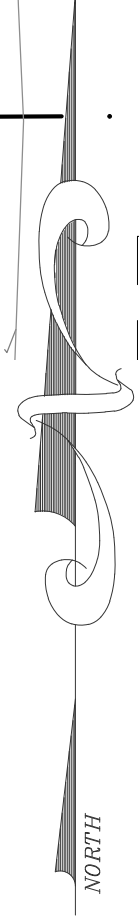
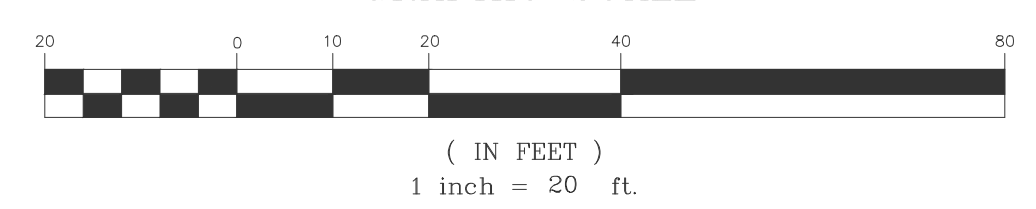
### DRAINAGE PLAN



EXISTING CONCRETE-LINED DRAINAGE CHANNEL

EFFECTIVE FEMA 100-YR FLOODPLAIN (ZONE A)

#### GRAPHIC SCALE



#### LINE & SYMBOLS LEGEND

- PROPERTY BOUNDARY
- UTILITY / DRAINAGE EASEMENT
- EXISTING GRADE CONTOUR
- FINISH GRADE CONTOUR
- STORM DRAIN PIPE
- RUNOFF FLOW LINE
- RUNOFF DIRECTION
- RETAINING WALL

**TCT ENGINEERING**  
 1965 S HAMMON ST, COLORADO CITY, AZ  
 TEL: (435) 619-6477  
 E-MAIL: tctimpson@tct.com

**PRELIMINARY PLAT FOR  
 SHORT CREEK SUBDIVISION #1 PARTIAL AMENDMENT "A"  
 AMENDING LOTS 5 & 40**

LOT #5, & LOT #40, SHORT CREEK SUBDIVISION #1  
 LOCATED IN THE SE 1/4 OF SECTION 33, T49S, R10W, S18&M, HILDALE, UT

#### REVISIONS

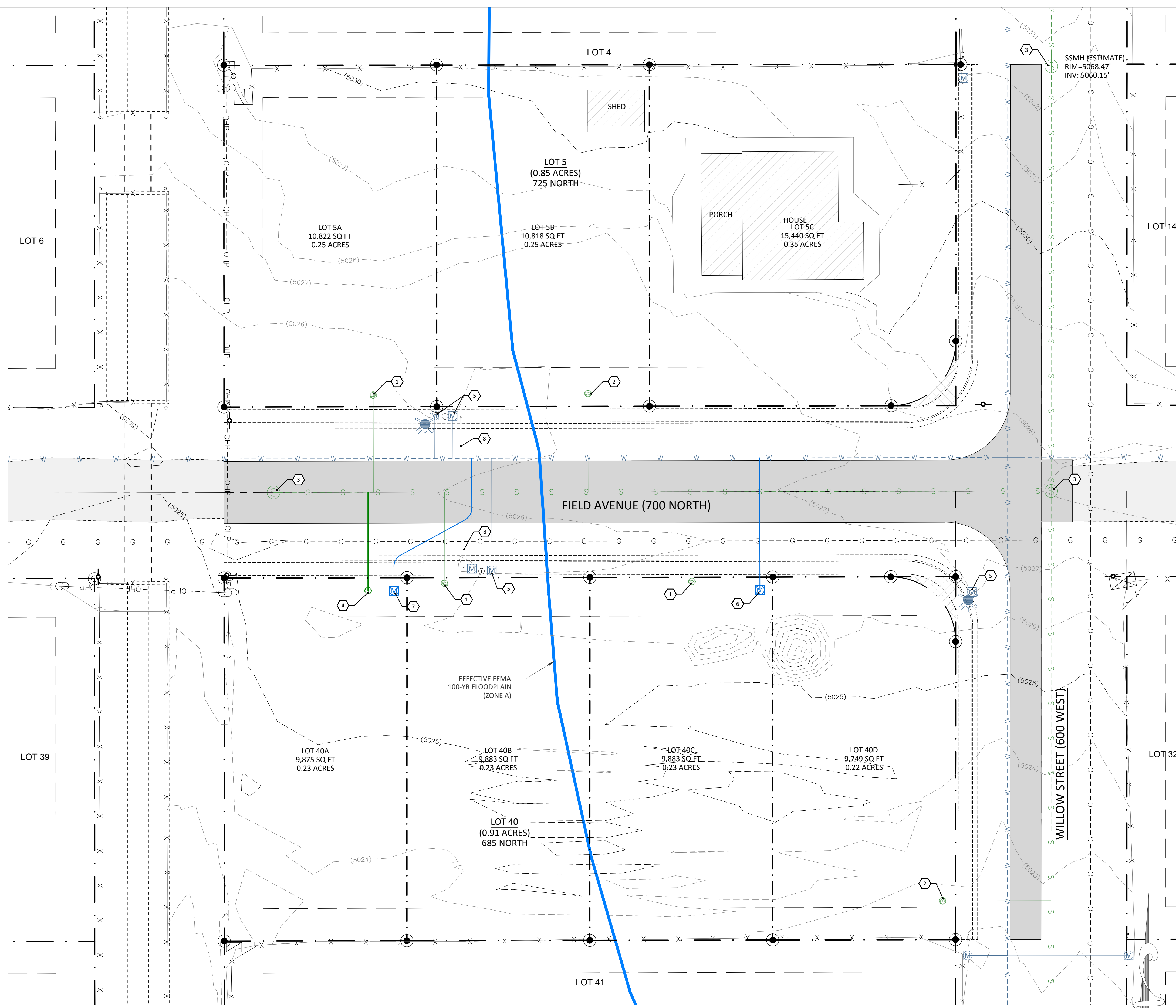
REV.	DATE	DESCRIPTION

PROJECT NO: 210907  
 CAD DWG. FILE: 210907\_2\_Lot 5 & 40 SD.dwg  
 DRAWN BY: TCT  
 DESIGNED BY: TCT  
 FIELD CREW:  
 CHECKED BY:  
 DATE: 11-28-22

SHEET:  
**DRAINAGE PLAN**

**C2.3**





### UTILITIES PLAN

#### KEY NOTE LEGEND

1	EXISTING SEWER CLEANOUT TO REMAIN
2	APPROXIMATE LOCATION OF EXISTING SEWER CLEANOUT - TO REMAIN
3	APPROXIMATE LOCATION OF EXISTING SEWER MANHOLE
4	PROPOSED SEWER CLEANOUT
5	EXISTING WATER SERVICE TO REMAIN
6	PROPOSED 3/4" WATER SERVICE
7	RELOCATED EXISTING WATER SERVICE AS SHOWN
8	EXISTING GAS STUB

#### UTILITY PROVIDERS

**WATER, SEWER, AND GAS PROVIDER:**  
 HILDALE / COLORADO CITY UTILITY DEPARTMENT  
 320 EAST NEWEL AVENUE  
 PO BOX 840490  
 HILDALE UTAH, 84784  
 (435) 874-1160

**ELECTRICAL POWER PROVIDER:**  
 GARKANE ENERGY CO-OP INC.  
 1802 US-89A  
 KANAB, UT 84741  
 (435) 644-5026

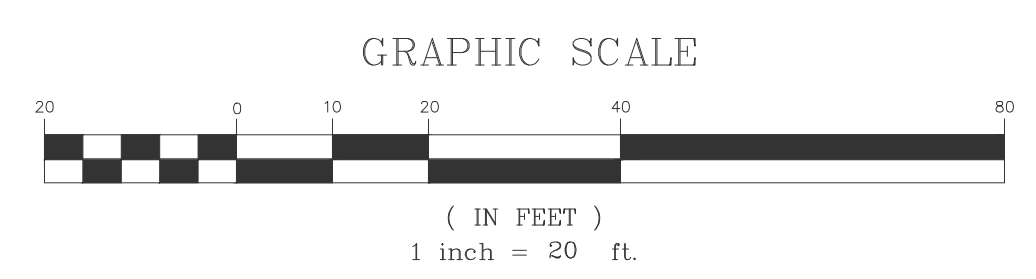
**TELECOMMUNICATIONS PROVIDER:**  
 SOUTH CENTRAL COMMUNICATIONS  
 318 N. 100 E.  
 KANAB, UT 84741  
 (888) 826-4211

**SOLID WASTE COLLECTION AND DISPOSAL:**  
 ARIZONA STRIP LANDFILL CORPORATION  
 25 S. CENTRAL ST  
 COLORADO CITY, AZ 86021  
 (928) 874-9168

**POLICE & EMERGENCY RESPONSE AGENCIES:**  
 COLORADO CITY MARSHAL'S OFFICE  
 25 S. CENTRAL ST  
 COLORADO CITY, AZ 86021  
 (928) 875-2695

#### LINE & SYMBOLS LEGEND

(Solid line)	DEVELOPMENT BOUNDARY
(Dashed line)	PROPOSED LOT LINE
(Dotted line)	UTILITY & DRAINAGE EASEMENT
(Blue line with 'W')	EXISTING WATER LINE
(Blue line with 'W')	PROPOSED WATER LINE
(Green line with 'S')	EXISTING SEWER LINE
(Green line with 'S')	PROPOSED SEWER LINE
(Green line with 'S')	EXISTING UNDERGROUND POWER LINE
(Green line with 'S')	EXISTING OVERHEAD POWER LINE
(Red line with 'OHP')	PROPOSED UNDERGROUND POWER
(Red line with 'OHP')	PROPOSED OVERHEAD POWER
(Orange line with 'T')	EXISTING COMMUNICATIONS LINE
(Orange line with 'T')	PROPOSED COMMUNICATIONS LINE
(Orange line with 'F/O')	EXISTING FIBER-OPTIC LINE
(Orange line with 'F/O')	EXISTING FENCE LINE
(Blue circle with 'M')	EXISTING FIRE HYDRANT
(Blue circle with 'M')	PROPOSED FIRE HYDRANT
(Blue circle with 'M')	PROPOSED WATER VALVE
(Blue circle with 'M')	PROPOSED 3/4" WATER SERVICE METER
(Blue circle with 'M')	EXISTING POWER POLE / GUY WIRE
(Green circle with 'M')	EXISTING SEWER MANHOLE
(Green circle with 'M')	PROPOSED SEWER MANHOLE
(Green circle with 'M')	PROPOSED 4" SEWER LATERAL



**TCT ENGINEERING**  
 1965 S HAMMON ST, COLORADO CITY, AZ  
 TEL: (435) 639-6477  
 E-MAIL: tctimpson@tcteng.com

**PRELIMINARY PLAT FOR  
 SHORT CREEK SUBDIVISION #1 PARTIAL AMENDMENT "A"  
 AMENDING LOTS 5 & 40**

LOT #5, & LOT #40, SHORT CREEK SUBDIVISION #1  
 LOCATED IN THE SE 1/4 OF SECTION 33, T43S, R10W, SLB&M, HILDALE, UT

#### REVISIONS

REV	DATE	DESCRIPTION

PROJECT NO:	210907
CAD DWG. FILE:	210907_2_Lot 5 & 40_S0.dwg
DRAWN BY:	TCT
DESIGNED BY:	TCT
FIELD CREW:	
CHECKED BY:	
DATE:	11-28-22

SHEET:  
**UTILITIES PLAN**

**C2.4**

Warranty Deed Page 1 of 2  
Russell Shirts Washington County Recorder  
04/23/2020 04:06:21 PM Fee \$40.00 By INVEST  
TITLE SERVICES - ST. GEORGE

WHEN RECORDED MAIL TO:  
TRACY BARLOW JR  
P O BOX 1518  
HILDALE, UT 84784

SPACE ABOVE THIS LINE FOR RECORDERS USE ONLY  
RECORDED AT THE REQUEST OF INWEST TITLE SERVICES, INC. ORDER # 267559

# WARRANTY DEED

**JEFF J. BARLOW, EXECUTIVE DIRECTOR OF THE UNITED EFFORT PLAN TRUST**  
OF HILDALE, COUNTY OF WASHINGTON, STATE OF UT  
HEREBY CONVEY AND WARRANT TO

GRANTOR(S)

**TRACY BARLOW JR., A MARRIED MAN**

GRANTEE(S)

OF HILDALE, COUNTY OF WASHINGTON, STATE OF UT  
FOR THE SUM OF TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION,  
THE FOLLOWING DESCRIBED TRACT OF LAND IN WASHINGTON COUNTY, STATE OF UT:

**(HD-SHCR-1-5)**

**LOT 5, SHORT CREEK SUBDIVISION #1, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND  
OF RECORD IN THE WASHINGTON COUNTY RECORDER'S OFFICE, STATE OF UTAH.**

**SUBJECT TO THE MATTERS SET FORTH ON EXHIBIT "A" ATTACHED HERETO AND MADE A PART  
THEREOF.**

**SUBJECT TO EASEMENTS, RESTRICTIONS, COVENANTS AND RIGHTS OF WAY OF RECORD, AND TAXES FOR  
THE YEAR 2020 AND THEREAFTER.**

WITNESS THE HAND(S) OF SAID GRANTOR(S), THIS 20 DAY OF APRIL, 2020.

THE UNITED EFFORT PLAN TRUST

  
BY: JEFF J. BARLOW, EXECUTIVE DIRECTOR

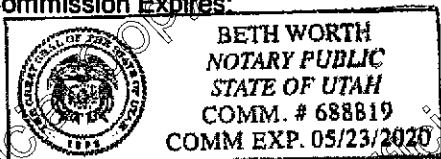
### ACKNOWLEDGMENT

STATE OF UTAH )  
(ss.  
COUNTY OF WASHINGTON )

On this 20 Day of APRIL, 2020, personally appeared before me JEFF J. BARLOW, whose identity is personally known to me, or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that he is the EXECUTIVE DIRECTOR of THE UNITED EFFORT PLAN TRUST, and that said document was signed by him/her behalf of said Trust by the authority of the Trust Agreement and any Amendments thereto, and said JEFF J. BARLOW, acknowledged to me that said Trust executed the same.

  
NOTARY PUBLIC

My Commission Expires: 5/23/2020



 **INVEST TITLE**  
444 EAST TABERNAACLE, #B202  
ST. GEORGE, UT 84770

**EXHIBIT "A"**

1. TAXES FOR THE YEAR 2020 ACCRUING AS A LIEN, BUT NOT YET DUE AND PAYABLE. PRIOR TAX INFORMATION AS FOLLOWS:

YEAR: 2019  
 AMOUNT DUE: \$1,178.08  
 SERIAL NO.: HD-SHCR-1-5

2. THE SUBJECT PROPERTY IS LOCATED WITHIN THE BOUNDARIES OF THE SPECIAL ASSESSMENT DISTRICT(S) SHOWN BELOW, AND IS SUBJECT TO ALL CHARGES AND/OR ASSESSMENTS LEVIED THEREBY:
- DISTRICT(S): WASHINGTON  
 DISTRICT(S): MULTICOUNTY ASSESSING & COLLECTING LEVY  
 DISTRICT(S): COUNTY ASSESSING & COLLECTING LEVY  
 DISTRICT(S): WASHINGTON COUNTY SCHOOL DISTRICT  
 DISTRICT(S): HILDALE CITY  
 DISTRICT(S): THE WASHINGTON COUNTY WATER CONSERVANCY DISTRICT  
 DISTRICT(S): SOUTHWEST MOSQUITO ABATEMENT & CONTROL DISTRICT  
 DISTRICT(S): SOUTH UTAH SHOOTING SPORTS PARK SPECIAL SERVICE DIST.
3. MINERALS OF WHATSOEVER KIND, SUBSURFACE AND SURFACE SUBSTANCES, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND AND GRAVEL IN, ON, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B. THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED.
4. RIPARIAN OR WATER RIGHTS, CLAIMS, OR TITLE TO WATER WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
5. NOTES, SETBACK LINES, CONDITIONS, RESTRICTIONS, EASEMENTS, REQUIREMENTS, STIPULATIONS AND ALL MATTERS AS SET FORTH ON THE RECORDED DEDICATION PLAT.
6. PUBLIC UTILITY AND DRAINAGE EASEMENTS, TOGETHER WITH INCIDENTAL RIGHTS THERETO, OVER THE EAST AND WEST 15 FEET AND OVER THE NORTH AND SOUTH 12.5 FEET OF THE LAND, ALL AS DELINEATED ON THE RECORDED PLAT.
7. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A WARRANTY DEED, RECORDED JUNE 14, 1988, AS ENTRY NO. 333931, IN BOOK 490, AT PAGE 6.
8. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A QUIT-CLAIM DEED, RECORDED MAY 3, 1994, AS ENTRY NO. 465870, IN BOOK 816, AT PAGE 648.
9. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A WARRANTY DEED, RECORDED APRIL 23, 1996, AS ENTRY NO. 530415, IN BOOK 995, AT PAGE 467.
10. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A AFFIDAVIT RECORDED JUNE 30, 2009, AS ENTRY NO. 20090025382.
11. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A QUITCLAIM DEED, RECORDED JULY 1, 2009, AS ENTRY NO. 20090025437.
12. PORTIONS OF SAID LOT LIE WITHIN A FEMA FLOOD ZONE AS SHOWN ON THE RECORDED PLAT.
13. THE RIGHTS OF PARTIES IN POSSESSION OF THE SUBJECT PROPERTY UNDER UNRECORDED LEASES, CONTRACTS, RENTAL OR OCCUPANCY AGREEMENTS AND ANY CLAIMS, RIGHTS OR INTERESTS ARISING THEREUNDER.
14. The Company reserves the right to raise exceptions and requirements or determine that it will not issue a title policy based upon the details of the transaction, the review of the closing documents, and changes in recording and title searching capabilities resulting from the COVID-19 virus.

Warranty Deed Page 1 of 2

Gary Christensen Washington County Recorder  
08/13/2021 03:25:24 PM Fee \$40.00 By EAGLE  
GATE TITLE INSURANCE AGENCY, INC.

Recording requested by:  
Eagle Gate Title Insurance Agency, Inc.

Mail Tax Notice To:  
NBJC LLC  
2816 Sourcing Peak Ave  
Henderson, NV 89052

File Number: STG-93464-LH  
Parcel ID: HD-SHCR-1-40

# Warranty Deed

**RICHARD CURTIS JESSOP,**

Grantor, hereby CONVEY(S) IN WARRANTY to

**NBJC LLC, a Utah Limited Liability Company,**

Grantee, for the sum of TEN AND NO/DOLLARS and other good and valuable consideration, the following tract of land in Washington County, State of Utah, to-wit

92464

**Lot 40, SHORT CREEK SUBDIVISION #1, according to the Official Plat thereof on file and of record in the Washington County Recorder's Office.**

**APN: HD-SHCR-1-40**

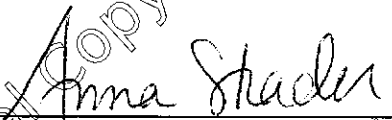
Subject to easements, restrictions and rights of way appearing of record and enforceable in law and subject to 2021 taxes and thereafter.

WITNESS, the hand of said grantor, this 28 day of July, 2021

  
Richard Curtis Jessop

STATE OF NORTH DAKOTA  
COUNTY OF WILLIAMS

On this 28<sup>th</sup> day of July, 2021, before me personally appeared Richard Curtis Jessop known to me (or proved to me on the oath of N.D. District Court) to be the person who is described in and who executed the within instrument, and acknowledged to me that that he/she/they executed the same.

  
Signature of Notarial Officer  
Title of Office

ANNA STRADER  
Notary Public  
State of North Dakota  
My Commission Expires Nov. 28, 2022

My commission expires: 11/28/2022

Warranty Deed Page 1 of 2

Gary Christensen Washington County Recorder  
 09/30/2021 01:53:25 PM Fee \$40.00 By EAGLE  
 GATE TITLE INSURANCE AGENCY, INC.

Recording requested by:  
 Eagle Gate Title Insurance Agency, Inc.

Mail Tax Notice To:  
 NBJC LLC  
 2816 Soaring Peak Avenue  
 Henderson, NV 89052

File Number: STG-92902-LH  
 Parcel ID: HD-SHCR-1-5-A

## Warranty Deed

**JOAN BARLOW,**

Grantor, hereby CONVEY(S) IN WARRANTY to

**NBJC LLC, a Utah Limited Liability Company,**

Grantee, for the sum of TEN AND NO/DOLLARS and other good and valuable consideration, the following tract of land in Washington County, State of Utah, to-wit

**Lot 5-A, SHORT CREEK SUBDIVISION 1, according to the Official Plat thereof on file and of record in the Washington County Recorder's Office.**

**More particularly described as:**

**Beginning at the Northwest Corner of Lot 5 of Short Creek Subdivision #1, recorded and on file in the Office of the Recorder, Washington County, State of Utah, and running thence North 89°56'02" East 82.08 feet along the South line of Lot 4 of said subdivision; thence South 0°01'50" East 131.83 feet, to a point on the North Right of Way line of Field Avenue; thence South 89°53'31" West 82.08 feet along said line, to the Southwest Corner of said Lot 5; thence North 0°01'50" West 131.89 feet along the West line of said Lot 5, to the point of beginning.**

**APN: HD-SHCR-1-5-A**

Subject to easements, restrictions and rights of way appearing of record and enforceable in law and subject to 2021 taxes and thereafter.

**Deed Restriction.** Grantee, on behalf of itself, its successors and assigns, by acceptance and recording of this Warranty Deed, acknowledges that the subject lot lacks utilities and/or other improvements required by local ordinances and regulations, that the City of Hildale has approved a plan for providing utilities and other required improvements to the lot (the "Utility Plan") and that pursuant to Hildale City Code Section 152-39-4 no building permit will be issued for said lot until the approved improvements have been constructed and accepted. The approved Utility Plan for this lot is available for inspection in the office of the Hildale City Recorder at 320 E Newell Ave, PO Box 840490, Hildale, UT 84784.



WITNESS, the hand of said grantor, this 23 day of September, 2021

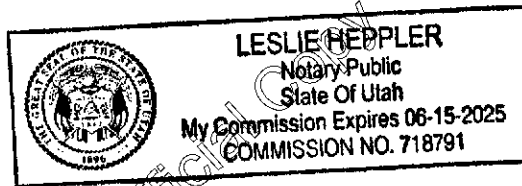
Joan Barlow  
Joan Barlow

STATE OF UTAH  
COUNTY OF WASHINGTON

On this 23 day of September, 2021, before me Leslie Hepler, a notary public, personally appeared Joan Barlow, proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to this instrument, and acknowledged he/she/they executed the same.

Witness my hand and official seal

Leslie Hepler  
Notary Public



Warranty Deed Page 1 of 2

Gary Christensen Washington County Recorder  
03/11/2022 02:37:35 PM Fee \$40.00 By EAGLE  
GATE TITLE INSURANCE AGENCY, INC.

Recording requested by:  
Eagle Gate Title Insurance Agency, Inc.

Mail Tax Notice To:  
NBIC LLC, a Utah Limited Liability Company  
2816 Soaring Peak Avenue  
Henderson, NV 89052

File Number: STG-95574-LH  
Parcel ID: HD-SHCR-1-5-B

# Warranty Deed

**JOHN BARLOW AND CANDI SHAPLEY,**

Grantors, hereby CONVEY(S) IN WARRANTY to

**NBIC LLC, a Utah Limited Liability Company,**

Grantee, for the sum of TEN AND NO/DOLLARS and other good and valuable consideration, the following tract of land in Washington County, State of Utah, to-wit

**Lot 5-B, SHORT CREEK SUBDIVISION 1, according to the Official Plat thereof on file and of record in the Washington County Recorder's Office.**

**More Particularly described as:**


**Beginning at a point being North 89°56'02" East 82.08 Feet from the Northwest Corner of Lot 5 of Short Creek Subdivision #1, recorded and on file in the Office of the Recorder, Washington County, State of Utah, and running thence North 89°56'02" East 82.08 feet along the South Line of Lot 4 of said Subdivision; thence South 0°01'50" East 131.77 feet to a point on the North Right of Way Line of Field Avenue; Thence South 89°53'31" West 82.08 feet along said line; thence North 0°01'50" West 131.83 feet, to the point of beginning.**

**ARN: HD-SHCR-1-5-B**

Subject to easements, restrictions and rights of way appearing of record and enforceable in law and subject to 2022 taxes and thereafter.


\*\*\* Deed Restriction: Grantee, on behalf of itself, its successors and assigns, by acceptance and recording of this Warranty Deed, acknowledges that the subject to lacks utilities and/or other improvements required by local ordinances and regulations, that the City of Hildale has approved a plan for providing utilities and other required Improvements to the lot(the" Utility Plan"),and that pursuant to Hildale City Code Section 152-39-4 no building permit will be issued for said lot until the approved improvements have been constructed and accepted. The approved Utility Plan for this lot is available for inspection in the office of the Hildale City Recorder at 320 E Newell Ave, PO Box 840490, Hildale, UT 84784.

WITNESS, the hand of said grantors, this 11 day of March, 2022

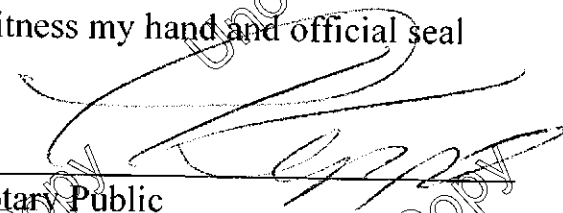
  
\_\_\_\_\_  
John Barlow

  
\_\_\_\_\_  
Candi Shapley

STATE OF UTAH  
COUNTY OF WASHINGTON

On this 11 day of March, 2022, before me  a notary public, personally appeared John Barlow and Candi Shapley, proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to this instrument, and acknowledged he/she/they executed the same.

Witness my hand and official seal

  
\_\_\_\_\_  
Notary Public

