



# Hildale City Council Meeting

Wednesday, February 08, 2023 at 6:00 PM

320 East Newel Avenue, Hildale City, Utah 84784

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## Agenda

Notice is hereby given to the members of the Hildale City Council and the public, that the City Council will hold a public meeting on **Wednesday, February 8, 2023 at 6:00 p.m. (MDT)**, at 320 East Newel Avenue, Hildale City, Utah 84784.

Councilmembers may be participating electronically by video or telephone conference. The meeting will be broadcast to the public on Facebook Live under Hildale's City page. Members of the public may also watch the City of Hildale through the scheduled Zoom meeting.

Join Zoom Meeting <https://zoom.us/j/95770171318?> Meeting ID: 957 7017 1318

<https://www.facebook.com/hildalecity/live/>

Comments during the public comment or public hearing portions of the meeting may be emailed to [manager@hildalecity.com](mailto:manager@hildalecity.com) or privately messaged to Hildale City's Facebook page. All comments sent before the meeting may be read during the meeting and messages or emails sent during the meeting may be read at the Mayor's discretion.

**Welcome, Introduction and Preliminary Matters:** Mayor Jessop

**Roll Call of Council Attendees:** City Recorder

**Pledge of Allegiance:** By Invitation of Mayor Jessop

**Conflict of Interest Disclosures:** Mayor and Council Members

**Special Recognitions:**

1. City Council Community Recognition and Appreciation Award (10 minutes)

**Public Presentations:** NONE

**Approval of Minutes of Previous Meetings:** Council Members

2. Meeting Minutes to be approved for January 11, 2023.

**Public Comments:** 3 minutes each - Discretion of Mayor Jessop

**Council Comments:** For items not on the agenda (10 minutes total)

**Oversight Items:** Mayor Jessop (10 minutes)

3. Financial Report and Invoice Register approval
4. City Managers report (Department reports included)

**Public Hearing:**

5. Public hearing to receive public comment on zoning map amendment to rezone Parcel HD-SHCR-6-3, commonly addressed as 785 N Lauritzen, from Residential Agriculture-1 (RA-1) to Residential Agriculture-0.5 (RA-0.5) (No time limit)

- [6.](#) Public hearing to receive public comment on zoning map amendment to rezone Parcel HD-SHCR-6-7, commonly addressed as 780 N Lauritzen, from Residential Agriculture-1 (RA-1) to Residential Multifamily-2 (RM-2) (No time limit)
- [7.](#) Public hearing to receive public comment on a Preliminary Plat Review for Subdivision for 685 N Willow Street, 725 N Willow Street. (No time limit)

**Appointments to Boards or Commissions: NONE**

**Unfinished Council Business:**

- [8.](#) Swearing in of City Treasurer Eidenier, who was appointed to the position in the January 2023 City Council meeting, by Mayor Jessop (5 minutes)
- [9.](#) Consideration, discussion, and approval of recommendation for appointment of Sirrene Barlow as Hildale City Recorder; and, if approved, swearing in as City Recorder by Mayor Jessop. (CM Duthie 5 minutes)
- [10.](#) Discussion of the Innovation Center Grant status and update. (DCMSP Johnson, CM Duthie 5 minutes)
- [11.](#) Consideration, discussion, observations, and comments concerning the 2023 Hildale City Council Retreat; and possible approval of recommendations for future City Council Retreats. (Mayor Jessop 15 minutes)

**New Council Business:**

- [12.](#) Consideration, discussion, and possible approval of the 2023 Hildale City Council regular meeting schedule. (City Recorder 5 minutes)
- [13.](#) Consideration, discussion, and possible approval of a Zone Change Application for HD-SHCR-6-3, commonly addressed as 785 N Lauritzen, from Residential Agriculture-1 (RA-1) to Residential Agriculture-0.5 (RA-0.5) (10 minutes DCMSP Johnson)
- [14.](#) Consideration, discussion, and possible approval of a Zone Change Application for HD-SHCR-6-7, commonly addressed as 780 N Lauritzen, from Residential Agriculture-1 (RA-1) to Residential Multifamily-2 (RM-2). (DCMSP Johnson 10 minutes)
- [15.](#) Consideration, discussion and possible approval of a Preliminary Plat Review for Subdivision for 685 N Willow Street, 725 N Willow Street. (10 minutes DCMSP Johnson)
- [16.](#) Consideration, discussion, and possible action concerning a "tax holiday" of the energy and use tax for January 2023; and projection/update of natural gas availability and cost in the near future. (Utilities Director Weston Barlow 15 minutes)
- [17.](#) Consideration, discussion, and possible action concerning establishing a second Hildale City Event to be held annually. (CM Duthie 10 minutes )

**Calendar of Upcoming Events: 5 minutes - Mayor Jessop**

- [18.](#) Review or modify February 2023 City Council Calendar. (Mayor Jessop 5 minutes)

**Executive Session: As needed**

**Adjournment: Mayor Jessop**

Agenda items and any variables thereto are set for consideration, discussion, approval, or other action. Council Members may be attending by telephone. Agenda is subject to change up to 24 hours prior to the meeting. Individuals needing special accommodations should notify the City Recorder at 435-874-2323 at least three days prior to the meeting.



# Hildale City Council Meeting

Wednesday, January 11, 2023 at 6:00 PM  
320 East Newel Avenue, Hildale City, Utah 84784

## Minutes

### Welcome, Introduction and Preliminary Matters:

Mayor Jessop called meeting to order at 6:00.

### Roll Call of Council Attendees:

#### PRESENT

Mayor Donia Jessop  
Council Member Lawrence Barlow  
Council Member JVar Dutson  
Council Member Brigham Holm  
Council Member Terrill Musser  
Council Member Stacy Seay

#### Staff

Eric Duthie, Sirrene Barlow, Athena Cawley, Shanae Eidenier, Nathan Fischer, Weston Barlow, Chief Radley, Lisa Timpson, Krystal Bateman, Nathaniel Barlow, Auralee Thompson, Roger Carter, John T. Barlow

### Pledge of Allegiance:

Council Member Holm lead the pledge of allegiance.

### Conflict of Interest Disclosures:

Council Member Dutson would like to reserve the for later if he sees a need.

### Special Recognitions:

- 1. Proclamation recognizing the Water Canyon High School Volleyball team and their positive representation of the City of Hildale.**

Mayor Jessop read into the record the proclamation to the Water Canyon High School Volleyball Team.

- 2. Proclamation recognizing the Water Canyon High School Football team and their historical significance to the City of Hildale.**

Mayor Jessop read into the record the proclamation to the Water Canyon High School Football Team.

- 3. Hildale City Council Community Award presented by Councilmember JVar Dutson**

Council Member Dutson gave recognition to Washington County School District for continuing education to the community.

**Public Presentations:** NONE

### Approval of Minutes of Previous Meetings:

- 4. December 14, 2022, regular City Council minutes**

Council Members reviewed the Minutes.

Motion made by Council Member Barlow to approve minutes for December 14, 2022, Seconded by Council Member Musser.

Voting Yea: Council Member Barlow, Council Member Dutson, Council Member Holm, Council Member Musser, Council Member Seay  
Motion Carries.

**Public Comments:**

No public comments.

**Council Comments:** For items not on the agenda

Council Member Musser appreciates the road department for the roads around the school.

Council Member Dutson gave appreciation for the tree lighting.

**Oversight Items:**

**5. Financial Report and Invoice Register approval**

City Recorder Cawley presented the financial report to the Council. Council Members reviews reports presented.

Motion made by Council Member Dutson to pay bills and funds become available, Seconded by Council Member Musser.

Voting Yea: Council Member Barlow, Council Member Dutson, Council Member Holm, Council Member Musser, Council Member Seay  
Motion Carries

**6. City Managers report (Department reports included)**

Introduction to new hire part time employees. Welcoming them to the team. Announced the City now has a Notary in house. All other reports are in the packet for review.

**Public Hearing:** NONE

**Appointments to Boards or Commissions:** NONE

**Unfinished Council Business:** NONE

**New Council Business:**

**7. Consideration, discussion, and approval of recommendation for City Treasurer appointment.**

City Manager Duthie presented to Council the recommendation to fill the position for City Treasure. Shanae Eidenier has been temporarily filling this position thus it is recommended to have her fill this position.

Motion made by Council Member Dutson to approve Shanae Eidenier as Hildale City Treasure, Seconded by Council Member Holm.

Voting Yea: Council Member Barlow, Council Member Dutson, Council Member Holm, Council Member Musser, Council Member Seay  
Motion Carries

**8. Consideration, discussion, and possible action concerning utility assistance and support program options due to increased cost of natural gas and cold weather impacts for Hildale residents.**

Discussion presented by Weston Barlow the upcoming natural gas increase. Ideas and suggestions to help prepare about it.

Motion made by Council Member Holm for heater rent to own program for electric heaters, Seconded by Council Member Musser.



Voting Yea: Council Member Barlow, Council Member Dutson, Council Member Holm, Council Member Musser, Council Member Seay  
Motion Carries.

**9. Consideration, discussion, and acceptance of a Rural Communities Grant awarded in the amount of five hundred, ninety-nine thousand dollars (\$599,000) from the Utah Office of Economic Development.**

Eric presented to the Council the opportunity to except a grant with more details to come.

Motion made by Council Member Barlow for acceptance of a Rural Communities Grant awarded in the amount of five hundred, ninety-nine thousand dollars (\$599,000) from the Governor's Office of Economic Development., Seconded by Council Member Dutson.  
Voting Yea: Council Member Barlow, Council Member Dutson, Council Member Holm, Council Member Musser, Council Member Seay  
Motion Carries.

**Calendar of Upcoming Events: Mayor Jessop**  
**10. January 2023 City Council Calendar**

**Executive Session:** As needed.

**Scheduling:** As needed

**Adjournment:**  
Mayor Jessop adjourned at 7:19pm.

Agenda items and any variables thereto are set for consideration, discussion, approval, or other action. Council Members may be attending by telephone. Agenda is subject to change up to 24 hours prior to the meeting. Individuals needing special accommodations should notify the City Recorder at 435-874-2323 at least three days prior to the meeting.

I verify that a copy of the notice and agenda was delivered to the Mayor and City Council members and posted at the City Hall, 320 E. Newel Avenue, Hildale, Utah and sent to the Utah State Public Meeting Notice coordinator.

Minutes were approved at the City Council Meeting on \_\_\_\_\_.

\_\_\_\_\_  
Sirrene Barlow, City Recorder

CITY OF HILDALE  
REVENUES WITH COMPARISON TO BUDGET  
FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>TAXES</u>						
11-31-100	PROPERTY TAX - CURRENT YEAR	.00	113,313.40	103,515.00	( 9,798.40)	109.5
11-31-200	PROP TAX - DELINQUENT PR YR	.00	15,770.52	98,985.00	83,214.48	15.9
11-31-300	GENERAL SALES & USE TAX	24,711.49	164,475.78	450,800.00	286,324.22	36.5
11-31-301	RAP TAX	1,903.76	13,449.54	45,000.00	31,550.46	29.9
11-31-400	FRANCHISE TAX - ENERGY & USE	4,395.90	4,395.90	.00	( 4,395.90)	.0
11-31-401	ENERGY & USE TAX	9,560.30	53,506.05	113,868.00	60,361.95	47.0
11-31-402	TELECOM LICENSE TAX	784.93	4,053.43	5,732.00	1,678.57	70.7
11-31-403	TRANSIENT ROOM TAX	795.54	12,018.65	22,500.00	10,481.35	53.4
11-31-700	FEE-IN-LIEU TX - PERSONAL PROP	.00	9,782.69	18,500.00	8,717.31	52.9
11-31-900	PNLTY & INT ON DELINQ TAXES	.00	830.76	4,000.00	3,169.24	20.8
	<b>TOTAL TAXES</b>	<b>42,151.92</b>	<b>391,596.72</b>	<b>862,900.00</b>	<b>471,303.28</b>	<b>45.4</b>
<u>LICENSES AND PERMITS</u>						
11-32-100	BUSINESS LICENSE FEES	550.00	2,655.00	10,000.00	7,345.00	26.6
11-32-200	BUILDING PERMITS	1,385.48	23,897.89	45,000.00	21,102.11	53.1
11-32-300	LAND USE FEE'S	2,000.00	5,263.00	25,000.00	19,737.00	21.1
	<b>TOTAL LICENSES AND PERMITS</b>	<b>3,935.48</b>	<b>31,815.89</b>	<b>80,000.00</b>	<b>48,184.11</b>	<b>39.8</b>
<u>INTERGOVERNMENTAL REVENUE</u>						
11-33-411	FD BEMS GRANT	.00	.00	147,059.00	147,059.00	.0
11-33-421	FD ASSISTANCE GRANT	.00	.00	7,500.00	7,500.00	.0
11-33-433	UDOT SAFE ROUTES TO SCHOOL GRA	.00	.00	283,824.00	283,824.00	.0
11-33-436	CDBG SIDEWALK GRANT	.00	1,106.16	164,633.00	163,526.84	.7
11-33-437	CORONAVIRUS RELIEF FUNDS	.00	171,371.50	336,503.00	165,131.50	50.9
11-33-438	UDOT 2022 GRANT	.00	.00	200,000.00	200,000.00	.0
11-33-439	CDBG 2023 GRANT	.00	.00	300,000.00	300,000.00	.0
11-33-443	USEDA GRANT	.00	.00	750,000.00	750,000.00	.0
11-33-560	CLASS C ROAD FUND	14,791.83	61,928.56	209,000.00	147,071.44	29.6
11-33-565	HIGHWAY/TRANSIT TAX	2,308.86	15,002.34	42,000.00	26,997.66	35.7
11-33-580	LIQUOR FUND ALLOTMENT	.00	1,940.77	6,000.00	4,059.23	32.4
	<b>TOTAL INTERGOVERNMENTAL REVENUE</b>	<b>17,100.69</b>	<b>251,349.33</b>	<b>2,446,519.00</b>	<b>2,195,169.67</b>	<b>10.3</b>
<u>CHARGES FOR SERVICES</u>						
11-34-120	GRAMA, COPYING, ETC.	.00	4,359.26	3,000.00	( 1,359.26)	145.3
11-34-252	SRO POLICE	.00	40,985.00	30,000.00	( 10,985.00)	136.6
	<b>TOTAL CHARGES FOR SERVICES</b>	<b>.00</b>	<b>45,344.26</b>	<b>33,000.00</b>	<b>( 12,344.26)</b>	<b>137.4</b>

CITY OF HILDALE  
REVENUES WITH COMPARISON TO BUDGET  
FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>FINES AND FORFEITURES</u>						
11-35-110	COURT FINES	1,693.50	29,122.91	35,000.00	5,877.09	83.2
11-35-210	BAIL AND BOND FORFEITURE	.00	170.00	1,000.00	830.00	17.0
	<b>TOTAL FINES AND FORFEITURES</b>	<b>1,693.50</b>	<b>29,292.91</b>	<b>36,000.00</b>	<b>6,707.09</b>	<b>81.4</b>
<u>MISCELLANEOUS REVENUE</u>						
11-36-100	INTEREST EARNINGS - GEN FUND	1,963.78	8,945.19	4,000.00	( 4,945.19)	223.6
11-36-210	RENTAL - OFFICES IN CITY BLDG	.00	.00	9,000.00	9,000.00	.0
11-36-600	SUNDRY REVENUES	.00	145.00	.00	( 145.00)	.0
11-36-800	LOT LEASES	.00	23,198.92	61,500.00	38,301.08	37.7
11-36-910	SUNDRY REV - GEN FUND	53.24	25,108.12	5,000.00	( 20,108.12)	502.2
	<b>TOTAL MISCELLANEOUS REVENUE</b>	<b>2,017.02</b>	<b>57,397.23</b>	<b>79,500.00</b>	<b>22,102.77</b>	<b>72.2</b>
<u>CONTRIBUTIONS AND TRANSFERS</u>						
11-38-184	GAS FUND	.00	25.00	.00	( 25.00)	.0
11-38-247	COST SHARE WITH PUBLIC WORKS	.00	.00	30,000.00	30,000.00	.0
11-38-248	EVENT FEES	.00	3,085.14	15,000.00	11,914.86	20.6
11-38-700	CONTRIBUTIONS-PRIVATE SOURCES	.00	.00	5,000.00	5,000.00	.0
11-38-702	CONTRIBUTIONS-COMM OUTREACH	.00	.00	15,000.00	15,000.00	.0
11-38-800	APPROP - BEGINNING CLASS "C"	.00	.00	100,000.00	100,000.00	.0
11-38-910	APPROP - GEN FUND BALANCE	.00	.00	40,700.00	40,700.00	.0
	<b>TOTAL CONTRIBUTIONS AND TRANSFERS</b>	<b>.00</b>	<b>3,110.14</b>	<b>205,700.00</b>	<b>202,589.86</b>	<b>1.5</b>
	<b>TOTAL FUND REVENUE</b>	<b>66,898.61</b>	<b>809,906.48</b>	<b>3,743,619.00</b>	<b>2,933,712.52</b>	<b>21.6</b>

CITY OF HILDALE  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GEN GOVT ADMINISTRATION</u>					
11-41-110 SALARIES-PERMANENT EMPLOYEES	.00	60,238.16	126,327.00	66,088.84	47.7
11-41-111 SECRETARIAL STAFF	.00	3,882.41	.00	( 3,882.41)	.0
11-41-112 MAYOR	1,153.85	16,846.21	30,000.00	13,153.79	56.2
11-41-113 MANAGER	.00	21,319.99	86,426.00	65,106.01	24.7
11-41-114 TREASURER	.00	3,398.50	22,215.00	18,816.50	15.3
11-41-115 RECORDER	.00	22,218.72	48,875.00	26,656.28	45.5
11-41-117 ATTORNEY	5,000.00	35,000.00	60,000.00	25,000.00	58.3
11-41-130 PAYROLL TAXES	115.07	13,284.60	28,200.00	14,915.40	47.1
11-41-140 BENEFITS-OTHER	.00	31,636.00	25,000.00	( 6,636.00)	126.5
11-41-151 STIPENDS - CITY COUNCIL	350.00	2,240.00	6,860.00	4,620.00	32.7
11-41-152 STIPENDS - PLANNING COMMISSION	.00	1,750.00	4,900.00	3,150.00	35.7
11-41-210 BOOKS, SUBSCR, & MEMBERSHIPS	.00	24,289.80	5,000.00	( 19,289.80)	485.8
11-41-230 TRAVEL & TRAINING	414.90	2,825.36	19,540.00	16,714.64	14.5
11-41-235 HEALTH & HYDRATION	1,783.55	2,100.93	5,000.00	2,899.07	42.0
11-41-240 OFFICE EXPENSE & SUPPLIES	116.70	1,434.87	12,000.00	10,565.13	12.0
11-41-241 COPIER & PRINTER	.00	517.68	6,000.00	5,482.32	8.6
11-41-242 SERVICE FEES	.00	3,133.80	1,000.00	( 2,133.80)	313.4
11-41-244 PRINT & POSTAGE	721.35	2,393.65	4,600.00	2,206.35	52.0
11-41-250 EQUIPMENT SUPPLIES & MAINT	.00	850.69	3,000.00	2,149.31	28.4
11-41-257 FUEL	226.25	1,163.68	6,000.00	4,836.32	19.4
11-41-260 TOOLS & EQUIPMENT-NON CAPITAL	.00	2,135.00	.00	( 2,135.00)	.0
11-41-271 MAINT & SUPPLY - BUILDING	1,448.20	4,015.77	15,000.00	10,984.23	26.8
11-41-272 MAINT & SUPPLY - IT	2,388.00	8,238.00	1,000.00	( 7,238.00)	823.8
11-41-274 MAINT & SUPPLY EQUIPMENT	.00	50.00	.00	( 50.00)	.0
11-41-280 UTILITIES	1,251.70	2,405.16	6,000.00	3,594.84	40.1
11-41-285 POWER	.00	2,151.59	5,000.00	2,848.41	43.0
11-41-287 TELEPHONE	702.02	3,897.78	10,000.00	6,102.22	39.0
11-41-310 PROFESSIONAL & TECHNICAL	.00	.00	80,000.00	80,000.00	.0
11-41-311 ENGINEER	.00	1,812.75	1,000.00	( 812.75)	181.3
11-41-312 CONSULTANT	581.00	9,341.75	12,000.00	2,658.25	77.9
11-41-313 AUDITOR	.00	.00	40,000.00	40,000.00	.0
11-41-315 INFORMATION TECHNOLOGY - SYSTE	.00	.00	1,000.00	1,000.00	.0
11-41-317 INFORMATION TECHNOLOGY - CONS	.00	2,599.36	2,000.00	( 599.36)	130.0
11-41-318 INFORMATION TECHNOLOGY - SOFTW	109.70	5,830.02	3,000.00	( 2,830.02)	194.3
11-41-319 CONTINGENCY	.00	.00	150,903.00	150,903.00	.0
11-41-330 EDUCATION	.00	.00	5,000.00	5,000.00	.0
11-41-510 INSURANCE	5,978.62	37,454.42	40,000.00	2,545.58	93.6
11-41-521 CREDIT CARD EXPENSE	.00	.00	1,500.00	1,500.00	.0
11-41-720 BUILDINGS	525.00	677.58	150,000.00	149,322.42	.5
11-41-743 EQUIPMENT - VEHICLE	.00	.00	25,000.00	25,000.00	.0
11-41-914 TRANSFER TO FUND 63	.00	.00	48,000.00	48,000.00	.0
11-41-962 TRANSFER TO OTHER FUNDS	.00	.00	263,059.00	263,059.00	.0
<b>TOTAL GEN GOVT ADMINISTRATION</b>	<b>22,865.91</b>	<b>331,134.23</b>	<b>1,360,405.00</b>	<b>1,029,270.77</b>	<b>24.3</b>

CITY OF HILDALE  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

GENERAL FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>MUNICIPAL COURT</u>						
11-42-110	SALARIES-PERMANENT EMPLOYEES	1,371.50	15,275.21	28,718.00	13,442.79	53.2
11-42-130	PAYROLL TAXES & BENEFITS	33.17	1,928.73	2,200.00	271.27	87.7
11-42-310	PROFESSIONAL & TECHNICAL	.00	3,185.00	14,000.00	10,815.00	22.8
11-42-550	FINES, SURCHARGES - AOC	.00	5,646.44	10,000.00	4,353.56	56.5
11-42-551	RESTITUTION PAYMENTS	.00	.00	1,000.00	1,000.00	.0
11-42-552	BAIL, BOND PAYMENT RELEASE	( 500.00)	( 500.00)	2,000.00	2,500.00	( 25.0)
11-42-790	OTHER	.00	.00	7,500.00	7,500.00	.0
	<b>TOTAL MUNICIPAL COURT</b>	<b>904.67</b>	<b>25,535.38</b>	<b>65,418.00</b>	<b>39,882.62</b>	<b>39.0</b>
<u>POLICE DEPARTMENT</u>						
11-43-287	TELEPHONE	21.14	297.44	900.00	602.56	33.1
11-43-310	PROFESSIONAL & TECHNICAL	.00	3,300.00	30,000.00	26,700.00	11.0
11-43-980	INTRA-GOVT CHARGES	141,863.15	193,186.02	275,672.00	82,485.98	70.1
	<b>TOTAL POLICE DEPARTMENT</b>	<b>141,884.29</b>	<b>196,783.46</b>	<b>306,572.00</b>	<b>109,788.54</b>	<b>64.2</b>
<u>FIRE DEPARTMENT</u>						
11-44-810	FD BEMS GRANT TRANSFER	59,196.62	63,432.77	147,059.00	83,626.23	43.1
11-44-811	FD ASSISTANCE GRANT TRANSFER	.00	.00	7,500.00	7,500.00	.0
11-44-980	INTRA-GOVT CHARGES	.00	47,225.12	91,000.00	43,774.88	51.9
	<b>TOTAL FIRE DEPARTMENT</b>	<b>59,196.62</b>	<b>110,657.89</b>	<b>245,559.00</b>	<b>134,901.11</b>	<b>45.1</b>
<u>BUILDING DEPARTMENT</u>						
11-45-110	SALARIES-PERMANENT EMPLOYEES	.00	16,060.09	45,833.00	29,772.91	35.0
11-45-153	STIPENDS - PLANNING COMMISSION	.00	.00	4,200.00	4,200.00	.0
11-45-210	BOOKS, SUBSCR, & MEMBERSHIPS	.00	.00	200.00	200.00	.0
11-45-330	EDUCATION	.00	.00	2,000.00	2,000.00	.0
	<b>TOTAL BUILDING DEPARTMENT</b>	<b>.00</b>	<b>16,060.09</b>	<b>52,233.00</b>	<b>36,172.91</b>	<b>30.8</b>
<u>PUBLIC SAFETY DISPATCH</u>						
11-46-980	INTRA-GOVT CHARGES	52,540.00	64,668.00	113,130.00	48,462.00	57.2
	<b>TOTAL PUBLIC SAFETY DISPATCH</b>	<b>52,540.00</b>	<b>64,668.00</b>	<b>113,130.00</b>	<b>48,462.00</b>	<b>57.2</b>

CITY OF HILDALE  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PUBLIC WORKS - STREETS &amp; ROADS</u>					
11-47-110 SALARIES-PERMANENT EMPLOYEES	.00	63,598.09	38,424.00	( 25,174.09)	165.5
11-47-130 PAYROLL TAXES	.00	3,889.59	2,950.00	( 939.59)	131.9
11-47-210 BOOKS, SUBSCR, & MEMBERSHIPS	.00	.00	500.00	500.00	.0
11-47-230 TRAVEL	.00	24.00	1,500.00	1,476.00	1.6
11-47-250 EQUIPMENT SUPPLIES & MAINT	1,560.00	3,389.28	3,000.00	( 389.28)	113.0
11-47-255 EQUIPMENT RENT OR LEASE	.00	15,136.98	3,000.00	( 12,136.98)	504.6
11-47-257 FUEL	.00	1,894.97	17,000.00	15,105.03	11.2
11-47-258 BULK OIL	.00	192.36	15,000.00	14,807.64	1.3
11-47-260 TOOLS & EQUIPMENT-NON CAPITAL	.00	43.14	1,000.00	956.86	4.3
11-47-272 MAINT & SUPPLY - OTHER	927.84	927.84	1,000.00	72.16	92.8
11-47-274 MAINT & SUPPLY EQUIPMENT	.00	223.15	2,000.00	1,776.85	11.2
11-47-286 STREET LIGHTS	.00	2,921.82	7,000.00	4,078.18	41.7
11-47-330 EDUCATION	.00	.00	500.00	500.00	.0
11-47-410 SPEC DEPT MATERIALS & SUPPLIES	26,691.90	28,741.90	726,640.00	697,898.10	4.0
11-47-850 DEBT SERVICE	.00	.00	15,200.00	15,200.00	.0
11-47-953 SAFE ROUTES TO SCHOOL	.00	.00	283,824.00	283,824.00	.0
11-47-990 CONTINGENCY	.00	.00	251,000.00	251,000.00	.0
<b>TOTAL PUBLIC WORKS - STREETS &amp; ROADS</b>	<b>29,179.74</b>	<b>120,983.12</b>	<b>1,369,538.00</b>	<b>1,248,554.88</b>	<b>8.8</b>
<u>PUBLIC WORKS - PARKS</u>					
11-48-110 SALARIES-PERMANENT EMPLOYEES	1,417.85	23,270.49	52,093.00	28,822.51	44.7
11-48-120 SALARIES-TEMPORARY EMPLOYEES	.00	5,204.15	5,000.00	( 204.15)	104.1
11-48-130 PAYROLL TAXES	136.99	2,435.05	4,370.00	1,934.95	55.7
11-48-140 BENEFITS-OTHER	.00	487.50	7,990.00	7,502.50	6.1
11-48-240 OFFICE EXPENSE & SUPPLIES	165.00	786.95	.00	( 786.95)	.0
11-48-250 EQUIPMENT SUPPLIES & MAINT	61.03	5,197.66	5,000.00	( 197.66)	104.0
11-48-257 FUEL	274.25	1,293.34	4,000.00	2,706.66	32.3
11-48-260 TOOLS & EQUIPMENT-NON CAPITAL	.00	1,799.67	4,000.00	2,200.33	45.0
11-48-272 MAINT & SUPPLY - OTHER	52.95	4,432.07	20,000.00	15,567.93	22.2
11-48-274 MAINT & SUPPLY EQUIPMENT	100.40	1,529.16	5,000.00	3,470.84	30.6
11-48-280 UTILITIES	651.10	3,181.66	6,000.00	2,818.34	53.0
11-48-285 POWER	.00	1,267.96	8,000.00	6,732.04	15.9
11-48-287 TELEPHONE INET	211.14	1,048.28	5,000.00	3,951.72	21.0
11-48-410 SPECIAL PROJECT	2,079.32	18,408.32	25,000.00	6,591.68	73.6
11-48-790 OTHER	.00	150.00	10,000.00	9,850.00	1.5
11-48-850 DEBT SERVICE - VEHICLE & EQUIP	.00	.00	6,000.00	6,000.00	.0
<b>TOTAL PUBLIC WORKS - PARKS</b>	<b>5,150.03</b>	<b>70,492.26</b>	<b>167,453.00</b>	<b>96,960.74</b>	<b>42.1</b>

CITY OF HILDALE  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>COMMUNITY OUTREACH DEPARTMENT</u>					
11-49-110 SALARIES-PERMANENT EMPLOYEES	.00	6,921.09	20,711.00	13,789.91	33.4
11-49-130 PAYROLL TAXES	.00	521.67	1,600.00	1,078.33	32.6
11-49-230 TRAVEL, MEETINGS, AND TRAINING	.00	.00	1,000.00	1,000.00	.0
11-49-250 EQUIPMENT SUPPLIES & MAINT	.00	71.55	5,000.00	4,928.45	1.4
11-49-274 EQUIPMENT PURCHASE	.00	.00	5,000.00	5,000.00	.0
11-49-310 PROFESSIONAL & TECHNICAL	.00	.00	5,000.00	5,000.00	.0
11-49-410 SPECIAL PROJECT	.00	( 4,250.44)	25,000.00	29,250.44	( 17.0)
TOTAL COMMUNITY OUTREACH DEPARTME	.00	3,263.87	63,311.00	60,047.13	5.2
TOTAL FUND EXPENDITURES	311,721.26	939,578.30	3,743,619.00	2,804,040.70	25.1
NET REVENUE OVER EXPENDITURES	( 244,822.65)	( 129,671.82)	.00	129,671.82	.0

CITY OF HILDALE  
 REVENUES WITH COMPARISON TO BUDGET  
 FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

GF DEBT SERVICE

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>DEBT SERVICE TRANSFER REVENUE</u>					
31-34-802 TRANS FOR CIB EQUIP BOND PMT	.00	.00	79,000.00	79,000.00	.0
31-34-803 2018 CIB DETENTION POND	.00	.00	29,500.00	29,500.00	.0
TOTAL DEBT SERVICE TRANSFER REVENUE	.00	.00	108,500.00	108,500.00	.0
TOTAL FUND REVENUE	.00	.00	108,500.00	108,500.00	.0



CITY OF HILDALE  
 EXPENDITURES WITH COMPARISON TO BUDGET  
 FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

GF DEBT SERVICE

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>FIRE DEPT DEBT SERVICE</u>					
31-44-711 FIRE EQ 2015 BOND DEBT SERVICE	.00	75,000.00	73,000.00	( 2,000.00)	102.7
31-44-712 FIRE EQ 2015 BOND INTEREST	.00	4,605.00	6,000.00	1,395.00	76.8
31-44-723 2018 CIB DETENTION POND	.00	19,000.00	19,000.00	.00	100.0
31-44-724 2018 CIB DETEN POND INTEREST	.00	9,875.00	10,500.00	625.00	94.1
TOTAL FIRE DEPT DEBT SERVICE	.00	108,480.00	108,500.00	20.00	100.0
TOTAL FUND EXPENDITURES	.00	108,480.00	108,500.00	20.00	100.0
NET REVENUE OVER EXPENDITURES	.00	( 108,480.00)	.00	108,480.00	.0

CITY OF HILDALE  
 REVENUES WITH COMPARISON TO BUDGET  
 FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

WASTEWATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>OTHER REVENUE</u>					
52-38-900 WASTEWATER SUNDRY REVENUES	.00	1,900.00	.00	( 1,900.00)	.0
TOTAL OTHER REVENUE	.00	1,900.00	.00	( 1,900.00)	.0
TOTAL FUND REVENUE	.00	1,900.00	.00	( 1,900.00)	.0
NET REVENUE OVER EXPENDITURES	.00	1,900.00	.00	( 1,900.00)	.0

CITY OF HILDALE  
 REVENUES WITH COMPARISON TO BUDGET  
 FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

2017 JUDGMENT RESOLUTION FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>REVENUES</u>					
63-38-101 TRANSFER FROM GENERAL FUND	.00	.00	24,000.00	24,000.00	.0
63-38-102 TRANSFER FROM WATER FUND	.00	.00	8,000.00	8,000.00	.0
63-38-103 TRANSFER FROM WASTEWATER	.00	.00	8,000.00	8,000.00	.0
63-38-105 TRANSFER FROM GAS FUND	.00	.00	8,000.00	8,000.00	.0
<b>TOTAL REVENUES</b>	<b>.00</b>	<b>.00</b>	<b>48,000.00</b>	<b>48,000.00</b>	<b>.0</b>
<b>TOTAL FUND REVENUE</b>	<b>.00</b>	<b>.00</b>	<b>48,000.00</b>	<b>48,000.00</b>	<b>.0</b>

CITY OF HILDALE  
 EXPENDITURES WITH COMPARISON TO BUDGET  
 FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

2017 JUDGMENT RESOLUTION FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>EXPENDITURES</u>					
63-41-310 PROFESSIONAL & TECHNICAL	4,664.83	25,684.01	28,000.00	2,315.99	91.7
63-41-315 LEGAL - GENERAL	.00	1,500.00	20,000.00	18,500.00	7.5
TOTAL EXPENDITURES	4,664.83	27,184.01	48,000.00	20,815.99	56.6
TOTAL FUND EXPENDITURES	4,664.83	27,184.01	48,000.00	20,815.99	56.6
NET REVENUE OVER EXPENDITURES	( 4,664.83)	( 27,184.01)	.00	27,184.01	.0

CITY OF HILDALE  
 REVENUES WITH COMPARISON TO BUDGET  
 FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

JOINT ADMINISTRATION FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>REVENUES</u>						
65-38-102	TRANSFER FROM WATER FUND	.00	.00	515,300.00	515,300.00	.0
65-38-103	TRANSFER FROM WASTEWATER	.00	.00	687,000.00	687,000.00	.0
65-38-105	TRANSFER FROM GAS FUND	.00	.00	343,500.00	343,500.00	.0
65-38-910	LANDFILL REVENUES	.00	12,000.00	20,000.00	8,000.00	60.0
65-38-915	GARKANE SERVICES	1,167.00	8,169.00	12,000.00	3,831.00	68.1
	<b>TOTAL REVENUES</b>	1,167.00	20,169.00	1,577,800.00	1,557,631.00	1.3
	<b>TOTAL FUND REVENUE</b>	1,167.00	20,169.00	1,577,800.00	1,557,631.00	1.3

CITY OF HILDALE  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

JOINT ADMINISTRATION FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>EXPENDITURES</u>					
65-41-110 SALARIES-PERMANENT EMPLOYEES	.00	209,593.28	705,600.00	496,006.72	29.7
65-41-113 MANAGER	.00	5,234.61	.00	( 5,234.61)	.0
65-41-114 TREASURER	.00	15,174.88	.00	( 15,174.88)	.0
65-41-115 RECORDER	.00	2,670.68	.00	( 2,670.68)	.0
65-41-120 SALARIES-TEMPORARY EMPLOYEES	.00	9,261.19	66,000.00	56,738.81	14.0
65-41-130 PAYROLL TAXES	.00	18,924.86	81,600.00	62,675.14	23.2
65-41-140 BENEFITS-OTHER	4,412.68	49,103.15	123,900.00	74,796.85	39.6
65-41-144 PRINT AND POSTAGE	.00	4,653.05	19,500.00	14,846.95	23.9
65-41-150 STIPENDS - UTILITY BOARD	.00	1,000.00	12,600.00	11,600.00	7.9
65-41-160 MERCHANT PROCESSING	.00	.00	60,000.00	60,000.00	.0
65-41-165 CAPITAL BUILDING	.00	6,819.83	.00	( 6,819.83)	.0
65-41-210 BOOKS, SUBSCR, & MEMBERSHIPS	.00	.00	3,800.00	3,800.00	.0
65-41-230 TRAVEL	.00	152.00	8,200.00	8,048.00	1.9
65-41-235 FOOD & REFRESHMENT	30.00	455.48	11,600.00	11,144.52	3.9
65-41-240 OFFICE EXPENSE & SUPPLIES	.00	79.20	8,800.00	8,720.80	.9
65-41-242 SERVICE FEES	165.64	2,761.27	1,200.00	( 1,561.27)	230.1
65-41-250 EQUIPMENT SUPPLIES & MAINT	104.70	25,576.86	73,500.00	47,923.14	34.8
65-41-257 FUEL	2,815.05	22,388.32	39,700.00	17,311.68	56.4
65-41-260 TOOLS & EQUIPMENT-NON CAPITAL	129.99	5,407.94	52,800.00	47,392.06	10.2
65-41-271 MAINT & SUPPLY - OFFICE	244.20	2,378.24	8,900.00	6,521.76	26.7
65-41-280 UTILITIES	2,452.54	5,623.39	19,800.00	14,176.61	28.4
65-41-285 POWER	.00	5,642.80	15,300.00	9,657.20	36.9
65-41-287 TELEPHONE	676.41	4,044.56	12,000.00	7,955.44	33.7
65-41-310 PROFESSIONAL & TECHNICAL	14,520.06	84,934.38	8,300.00	( 76,634.38)	1023.3
65-41-313 AUDITOR	.00	.00	40,000.00	40,000.00	.0
65-41-315 LEGAL - GENERAL	.00	.00	4,000.00	4,000.00	.0
65-41-317 INFORMATION TECHNOLOGY - CONS	.00	21,110.06	15,000.00	( 6,110.06)	140.7
65-41-318 INFORMATION TECHNOLOGY - SOFTW	1,625.62	7,075.73	20,000.00	12,924.27	35.4
65-41-330 EDUCATION	.00	.00	3,600.00	3,600.00	.0
65-41-510 INSURANCE	658.82	56,152.42	85,500.00	29,347.58	65.7
65-41-580 RENT OR LEASE	.00	17,852.39	3,000.00	( 14,852.39)	595.1
65-41-720 BUILDINGS	.00	32.41	10,000.00	9,967.59	.3
65-41-741 EQUIPMENT - OFFICE	.00	27.33	12,000.00	11,972.67	.2
65-41-850 DEBT SERVICE - VEHICLE & EQUIP	.00	15,757.04	21,000.00	5,242.96	75.0
65-41-900 AUTOMATIC PAYMENT INCENTIVE	.00	5.00	300.00	295.00	1.7
65-41-901 SURVEY INCENTIVE PROGRAM	.00	160.00	100.00	( 60.00)	160.0
65-41-960 TRANSFERS TO RESERVE FUNDS	.00	.00	30,200.00	30,200.00	.0
TOTAL EXPENDITURES	27,835.71	600,052.35	1,577,800.00	977,747.65	38.0
TOTAL FUND EXPENDITURES	27,835.71	600,052.35	1,577,800.00	977,747.65	38.0
NET REVENUE OVER EXPENDITURES	( 26,668.71)	( 579,883.35)	.00	579,883.35	.0

CITY OF HILDALE  
 REVENUES WITH COMPARISON TO BUDGET  
 FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

WATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>OPERATING REVENUES</u>					
81-37-111	1.20	222,300.05	501,900.00	279,599.95	44.3
81-37-121	23.90	223,780.96	554,900.00	331,119.04	40.3
81-37-331	140.00	14,757.49	31,000.00	16,242.51	47.6
81-37-332	.00	14,910.00	89,600.00	74,690.00	16.6
81-37-351	.00	82,385.85	.00	( 82,385.85)	.0
81-37-411	3,492.96	18,746.54	5,400.00	( 13,346.54)	347.2
81-37-412	.00	23,719.46	60,000.00	36,280.54	39.5
81-37-452	.00	75.00	.00	( 75.00)	.0
<b>TOTAL OPERATING REVENUES</b>	<b>3,658.06</b>	<b>600,675.35</b>	<b>1,242,800.00</b>	<b>642,124.65</b>	<b>48.3</b>
<u>NON-OPERATING REVENUE</u>					
81-38-102	.00	.00	180,000.00	180,000.00	.0
81-38-361	.00	.00	460,000.00	460,000.00	.0
81-38-440	.00	40,000.00	20,000.00	( 20,000.00)	200.0
81-38-999	.00	.00	400,000.00	400,000.00	.0
<b>TOTAL NON-OPERATING REVENUE</b>	<b>.00</b>	<b>40,000.00</b>	<b>1,060,000.00</b>	<b>1,020,000.00</b>	<b>3.8</b>
<b>TOTAL FUND REVENUE</b>	<b>3,658.06</b>	<b>640,675.35</b>	<b>2,302,800.00</b>	<b>1,662,124.65</b>	<b>27.8</b>

CITY OF HILDALE  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

WATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>OPERATING EXPENDITURES</u>					
81-41-210 BOOKS, SUBSCR, & MEMBERSHIPS	200.00	325.00	3,000.00	2,675.00	10.8
81-41-230 TRAVEL	.00	.00	7,700.00	7,700.00	.0
81-41-235 FOOD & REFRESHMENT	.00	.00	1,000.00	1,000.00	.0
81-41-250 EQUIPMENT SUPPLIES & MAINT	.00	.00	49,000.00	49,000.00	.0
81-41-257 FUEL	.00	.00	400.00	400.00	.0
81-41-260 TOOLS & EQUIPMENT-NON CAPITAL	.00	844.47	17,000.00	16,155.53	5.0
81-41-273 MAINT & SUPPLY - SYSTEM	53.90	83,074.26	184,000.00	100,925.74	45.2
81-41-285 POWER	.00	75,389.81	160,800.00	85,410.19	46.9
81-41-311 ENGINEER	.00	16,971.88	50,000.00	33,028.12	33.9
81-41-314 LABORATORY & TESTING	.00	4,189.00	7,500.00	3,311.00	55.9
81-41-315 LEGAL - GENERAL	.00	.00	1,300.00	1,300.00	.0
81-41-330 EDUCATION	.00	.00	3,500.00	3,500.00	.0
81-41-340 SYSTEM CONSTRUCTION SERVICES	.00	34,450.00	60,000.00	25,550.00	57.4
81-41-341 CONST-CUSTOMER'S INSTALLATION	.00	.00	5,000.00	5,000.00	.0
81-41-431 COMMODITY SUPPLY	.00	4,888.35	.00	( 4,888.35)	.0
81-41-432 SPECIAL DEPT SUPPLIES	.00	11,204.66	20,000.00	8,795.34	56.0
<b>TOTAL OPERATING EXPENDITURES</b>	<b>253.90</b>	<b>231,337.43</b>	<b>570,200.00</b>	<b>338,862.57</b>	<b>40.6</b>
<u>NON-OPERATING EXPENDITURES</u>					
81-42-560 BAD DEBT EXPENSE	.00	2,898.90	8,000.00	5,101.10	36.2
81-42-730 IMPROVEMENTS OTHER THAN BLDGS	.00	.00	6,000.00	6,000.00	.0
81-42-742 EQUIPMENT - FIELD	.00	.00	15,000.00	15,000.00	.0
81-42-750 SP PROJECTS CAPITAL	.00	.00	460,000.00	460,000.00	.0
81-42-780 RESERVE PURCHASES	.00	.00	180,000.00	180,000.00	.0
81-42-815 PRINC. & INT W.RIGHTS LOAN	.00	2,020.31	61,300.00	59,279.69	3.3
81-42-911 TRANSFERS TO JOINT ADMIN FUND	.00	.00	515,300.00	515,300.00	.0
81-42-912 TRANSFERS TO LITIGATION	.00	.00	12,000.00	12,000.00	.0
81-42-914 TRANSFERS TO 2017 JMT RES FUND	.00	.00	8,000.00	8,000.00	.0
81-42-960 TRANSFERS TO RESERVE FUNDS	.00	.00	67,000.00	67,000.00	.0
81-42-999 CONTINGENCY	.00	.00	400,000.00	400,000.00	.0
<b>TOTAL NON-OPERATING EXPENDITURES</b>	<b>.00</b>	<b>4,919.21</b>	<b>1,732,600.00</b>	<b>1,727,680.79</b>	<b>.3</b>
<b>TOTAL FUND EXPENDITURES</b>	<b>253.90</b>	<b>236,256.64</b>	<b>2,302,800.00</b>	<b>2,066,543.36</b>	<b>10.3</b>
<b>NET REVENUE OVER EXPENDITURES</b>	<b>3,404.16</b>	<b>404,418.71</b>	<b>.00</b>	<b>( 404,418.71)</b>	<b>.0</b>



CITY OF HILDALE  
 REVENUES WITH COMPARISON TO BUDGET  
 FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

WASTEWATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>OPERATING REVENUES</u>					
82-37-160 CONSTRUCTION REVENUE	.00	695.00	9,000.00	8,305.00	7.7
82-37-311 SERVICE CHARGES	( 172.45)	412,442.07	885,400.00	472,957.93	46.6
82-37-312 SERVICE CHARGES - CPMCWID	.00	93,502.49	178,000.00	84,497.51	52.5
82-37-331 CONNECTION CHARGES	.00	.00	3,000.00	3,000.00	.0
82-37-332 SERVICING CUSTOMER INSTALL	150.00	4,875.00	10,000.00	5,125.00	48.8
82-37-411 INTEREST	5,538.25	27,901.74	5,000.00	( 22,901.74)	558.0
82-37-451 IMPACT FEE	6,000.00	85,350.00	120,000.00	34,650.00	71.1
82-37-452 IMPACT FEE - CPMCWID	.00	18,350.00	48,500.00	30,150.00	37.8
TOTAL OPERATING REVENUES	11,515.80	643,116.30	1,258,900.00	615,783.70	51.1
<u>NON-OPERATING REVENUES</u>					
82-38-102 TRANSFERS FROM R&R RESERVE	.00	.00	111,100.00	111,100.00	.0
82-38-361 LOAN PROCEEDS	.00	.00	500,000.00	500,000.00	.0
82-38-440 SUNDRY NON-OPERATING REVENUE	.00	.00	1,000.00	1,000.00	.0
82-38-901 APPROP - UTILITY FUND BALANCE	.00	.00	100,000.00	100,000.00	.0
82-38-999 CONTINGENCY	.00	.00	400,000.00	400,000.00	.0
TOTAL NON-OPERATING REVENUES	.00	.00	1,112,100.00	1,112,100.00	.0
TOTAL FUND REVENUE	11,515.80	643,116.30	2,371,000.00	1,727,883.70	27.1

CITY OF HILDALE  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

WASTEWATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>OPERATING EXPENDITURES</u>					
82-41-210 BOOKS, SUBSCR, & MEMBERSHIPS	.00	861.00	2,500.00	1,639.00	34.4
82-41-230 TRAVEL	.00	.00	4,600.00	4,600.00	.0
82-41-235 FOOD & REFRESHMENT	.00	.00	600.00	600.00	.0
82-41-250 EQUIPMENT SUPPLIES & MAINT	.00	84.94	19,000.00	18,915.06	.5
82-41-257 FUEL	2,257.68	3,069.26	5,400.00	2,330.74	56.8
82-41-260 TOOLS & EQUIPMENT-NON CAPITAL	.00	1,270.74	18,500.00	17,229.26	6.9
82-41-273 MAINTENANCE & SUPPLY - SYSTEM	416.40	11,487.70	158,000.00	146,512.30	7.3
82-41-285 POWER	.00	10,553.06	38,000.00	27,446.94	27.8
82-41-311 ENGINEER	.00	23,345.75	50,000.00	26,654.25	46.7
82-41-314 LABORATORY & TESTING	.00	.00	3,000.00	3,000.00	.0
82-41-315 LEGAL - GENERAL	.00	.00	1,000.00	1,000.00	.0
82-41-330 EDUCATION	.00	.00	5,300.00	5,300.00	.0
82-41-340 SYSTEM CONSTRUCTION SERVICES	5,521.47	104,119.21	520,000.00	415,880.79	20.0
82-41-341 CONST-CUSTOMER'S INSTALLATION	.00	.00	10,000.00	10,000.00	.0
TOTAL OPERATING EXPENDITURES	8,195.55	154,791.66	835,900.00	681,108.34	18.5
<u>NON-OPERATING EXPENSES</u>					
82-42-560 BAD DEBT EXPENSE	.00	2,357.01	10,000.00	7,642.99	23.6
82-42-710 LAND	.00	.00	90,000.00	90,000.00	.0
82-42-720 BUILDINGS	.00	.00	25,000.00	25,000.00	.0
82-42-742 EQUIPMENT - FIELD	.00	.00	20,000.00	20,000.00	.0
82-42-780 RESERVE PURCHASES	.00	87,288.00	73,000.00	( 14,288.00)	119.6
82-42-812 PRINCIPAL ON BONDS - RDA B	.00	.00	42,000.00	42,000.00	.0
82-42-822 INTEREST ON BONDS - RDA - B	.00	21,072.75	57,000.00	35,927.25	37.0
82-42-911 TRANSFERS TO JOINT ADMIN FUND	.00	.00	687,000.00	687,000.00	.0
82-42-912 TRANSFERS TO LITIGATION	.00	.00	12,000.00	12,000.00	.0
82-42-914 TRANSFERS TO 2017 JMT RES FUND	.00	.00	8,000.00	8,000.00	.0
82-42-960 TRANSFERS TO RESERVE FUNDS	.00	.00	111,100.00	111,100.00	.0
82-42-999 CONTINGENCY	.00	.00	400,000.00	400,000.00	.0
TOTAL NON-OPERATING EXPENSES	.00	110,717.76	1,535,100.00	1,424,382.24	7.2
TOTAL FUND EXPENDITURES	8,195.55	265,509.42	2,371,000.00	2,105,490.58	11.2
NET REVENUE OVER EXPENDITURES	3,320.25	377,606.88	.00	( 377,606.88)	.0

CITY OF HILDALE  
 REVENUES WITH COMPARISON TO BUDGET  
 FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

GAS FUND

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>OPERATING REVENUES</u>						
84-37-111	GAS SALES - METERED NAT GAS	.00	179,380.28	335,000.00	155,619.72	53.6
84-37-112	GAS SALES - METERED PROPANE	42,960.40	383,505.04	790,900.00	407,394.96	48.5
84-37-113	GAS SALES - CYLINDER	87.88	4,490.44	14,100.00	9,609.56	31.9
84-37-114	GAS SALES - CYLINDER EXCHANGE	.00	767.83	3,700.00	2,932.17	20.8
84-37-121	NATURAL GAS SALES - FLAT RATE	.00	18,150.18	26,000.00	7,849.82	69.8
84-37-122	PROPANE GAS - FLAT RATE	.00	23,413.76	34,000.00	10,586.24	68.9
84-37-160	CONSTRUCTION REVENUE	.00	67,530.50	65,000.00	( 2,530.50)	103.9
84-37-331	CONNECTION CHARGES	30.00	3,775.00	8,000.00	4,225.00	47.2
84-37-351	SUNDRY OPERATING REVENUE	.00	.00	47,000.00	47,000.00	.0
84-37-411	INTEREST	4,080.40	19,750.08	3,200.00	( 16,550.08)	617.2
84-37-412	PENALTIES	.00	7,238.60	19,000.00	11,761.40	38.1
	<b>TOTAL OPERATING REVENUES</b>	<b>47,158.68</b>	<b>708,001.71</b>	<b>1,345,900.00</b>	<b>637,898.29</b>	<b>52.6</b>
<u>NON-OPERATING REVENUES</u>						
84-38-102	TRANSFERS FROM R&R RESERVE	.00	.00	103,000.00	103,000.00	.0
84-38-316	INTRAGOVERNMENTAL GRANTS	.00	.00	250,000.00	250,000.00	.0
84-38-999	CONTINGENCY	.00	.00	400,000.00	400,000.00	.0
	<b>TOTAL NON-OPERATING REVENUES</b>	<b>.00</b>	<b>.00</b>	<b>753,000.00</b>	<b>753,000.00</b>	<b>.0</b>
	<b>TOTAL FUND REVENUE</b>	<b>47,158.68</b>	<b>708,001.71</b>	<b>2,098,900.00</b>	<b>1,390,898.29</b>	<b>33.7</b>

CITY OF HILDALE  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

GAS FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>OPERATING EXPENDITURES</u>					
84-41-140	BENEFITS-OTHER	.00	.00	3,000.00	3,000.00 .0
84-41-150	STIPENDS	.00	200.00	.00 ( 200.00)	.0
84-41-210	BOOKS, SUBSCR, & MEMBERSHIPS	900.00	5,053.00	2,000.00 ( 3,053.00)	252.7
84-41-230	TRAVEL	195.10	195.10	4,000.00	3,804.90 4.9
84-41-235	FOOD & REFRESHMENT	.00	.00	500.00	500.00 .0
84-41-250	EQUIPMENT SUPPLIES & MAINT	3,559.86	4,129.09	10,000.00	5,870.91 41.3
84-41-257	FUEL	260.82	1,521.05	3,500.00	1,978.95 43.5
84-41-260	TOOLS & EQUIPMENT-NON CAPITAL	39.97	7,708.39	11,000.00	3,291.61 70.1
84-41-273	MAINT & SUPPLY SYSTEM	16,107.20	43,262.73	47,500.00	4,237.27 91.1
84-41-280	UTILITIES	120.82	120.82	.00 ( 120.82)	.0
84-41-285	POWER	21.94	468.49	2,000.00	1,531.51 23.4
84-41-311	ENGINEER	.00	.00	1,000.00	1,000.00 .0
84-41-315	LEGAL - GENERAL	.00	.00	1,000.00	1,000.00 .0
84-41-330	EDUCATION	.00	.00	6,200.00	6,200.00 .0
84-41-340	SYSTEM CONSTRUCTION SERVICES	.00	.00	2,000.00	2,000.00 .0
84-41-341	CONST-CUSTOMER'S INSTALLATION	.00	10,273.56	.00 ( 10,273.56)	.0
84-41-431	NATURAL GAS COMMODITY SUPPLY	70,135.36	120,362.95	151,000.00	30,637.05 79.7
84-41-432	PROPANE GAS COMMODITY SUPPLY	113,227.76	343,579.95	540,000.00	196,420.05 63.6
84-41-434	NAT GAS COMMODITY TRANSPORT	14,906.29	( 21,709.67)	34,600.00	56,309.67 ( 62.7)
84-41-510	INSURANCE	2,557.42	8,476.42	.00 ( 8,476.42)	.0
84-41-580	RENT OR LEASE	.00	4,840.57	4,700.00 ( 140.57)	103.0
84-41-610	MISC. SUPPLIES	.00	.00	5,000.00	5,000.00 .0
	<b>TOTAL OPERATING EXPENDITURES</b>	<b>222,032.54</b>	<b>528,482.45</b>	<b>829,000.00</b>	<b>300,517.55 63.8</b>
<u>NON-OPERATING EXPENDITURES</u>					
84-42-560	BAD DEBT EXPENSE	.00	2,578.96	6,000.00	3,421.04 43.0
84-42-710	LAND	.00	.00	6,900.00	6,900.00 .0
84-42-750	SP PROJECTS CAPITAL	.00	48,314.75	284,000.00	235,685.25 17.0
84-42-780	RESERVE PURCHASES	6,855.13	6,855.13	103,000.00	96,144.87 6.7
84-42-911	TRANSFERS TO JOINT ADMIN FUND	.00	.00	343,500.00	343,500.00 .0
84-42-912	TRANSFERS TO LITIGATION	.00	.00	12,000.00	12,000.00 .0
84-42-914	TRANSFERS TO 2017 JMT RES FUND	.00	.00	8,000.00	8,000.00 .0
84-42-960	TRANSFERS TO RESERVE FUNDS	.00	.00	106,500.00	106,500.00 .0
84-42-999	CONTINGENCY	.00	.00	400,000.00	400,000.00 .0
	<b>TOTAL NON-OPERATING EXPENDITURES</b>	<b>6,855.13</b>	<b>57,748.84</b>	<b>1,269,900.00</b>	<b>1,212,151.16 4.6</b>
	<b>TOTAL FUND EXPENDITURES</b>	<b>228,887.67</b>	<b>586,231.29</b>	<b>2,098,900.00</b>	<b>1,512,668.71 27.9</b>
	<b>NET REVENUE OVER EXPENDITURES</b>	<b>( 181,728.99)</b>	<b>121,770.42</b>	<b>.00 ( 121,770.42)</b>	<b>.0</b>

CITY OF HILDALE  
 REVENUES WITH COMPARISON TO BUDGET  
 FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

89 FUND COLO CITY FIBER DEPT

		<u>PERIOD ACTUAL</u>	<u>YTD ACTUAL</u>	<u>BUDGET</u>	<u>UNEXPENDED</u>	<u>PCNT</u>
<u>NON-OPERATING REVENUES</u>						
89-38-101	TRANSFERS FROM OTHER FUNDS	.00	.00	5,000.00	5,000.00	.0
89-38-316	INTRAGOVERNMENTAL REVENUE	.00	.00	150,000.00	150,000.00	.0
89-38-999	CONTINGENCY	.00	.00	20,000.00	20,000.00	.0
	<b>TOTAL NON-OPERATING REVENUES</b>	<u>.00</u>	<u>.00</u>	<u>175,000.00</u>	<u>175,000.00</u>	<u>.0</u>
	<b>TOTAL FUND REVENUE</b>	<u>.00</u>	<u>.00</u>	<u>175,000.00</u>	<u>175,000.00</u>	<u>.0</u>

CITY OF HILDALE  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

89 FUND COLO CITY FIBER DEPT

		<u>PERIOD ACTUAL</u>	<u>YTD ACTUAL</u>	<u>BUDGET</u>	<u>UNEXPENDED</u>	<u>PCNT</u>
<u>OPERATING EXPENDITURES</u>						
89-41-273	MAINT & SUPPLY SYSTEM	409.95	2,105.10	5,000.00	2,894.90	42.1
89-41-340	SYSTEM CONSTRUCTION SERVICES	.00	.00	150,000.00	150,000.00	.0
	<b>TOTAL OPERATING EXPENDITURES</b>	<u>409.95</u>	<u>2,105.10</u>	<u>155,000.00</u>	<u>152,894.90</u>	<u>1.4</u>
<u>NON-OPERATING EXPENDITURES</u>						
89-42-999	CONTINGENCY	.00	.00	20,000.00	20,000.00	.0
	<b>TOTAL NON-OPERATING EXPENDITURES</b>	<u>.00</u>	<u>.00</u>	<u>20,000.00</u>	<u>20,000.00</u>	<u>.0</u>
	<b>TOTAL FUND EXPENDITURES</b>	<u>409.95</u>	<u>2,105.10</u>	<u>175,000.00</u>	<u>172,894.90</u>	<u>1.2</u>
	<b>NET REVENUE OVER EXPENDITURES</b>	<u>( 409.95)</u>	<u>( 2,105.10)</u>	<u>.00</u>	<u>2,105.10</u>	<u>.0</u>

CITY OF HILDALE  
 REVENUES WITH COMPARISON TO BUDGET  
 FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

90 FUND HILDALE CITY FIBER DEP

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>OPERATING REVENUES</u>					
90-37-111 FIBER SALES	.00	2,776.14	5,000.00	2,223.86	55.5
90-37-332 CONSTRUCTION	.00	.00	1,000.00	1,000.00	.0
90-37-412 PENALTIES	.00	6.26	.00	( 6.26)	.0
<b>TOTAL OPERATING REVENUES</b>	<b>.00</b>	<b>2,782.40</b>	<b>6,000.00</b>	<b>3,217.60</b>	<b>46.4</b>
<u>NON-OPERATING REVENUES</u>					
90-38-101 TRANSFERS FROM OTHER FUNDS	.00	.00	20,000.00	20,000.00	.0
90-38-316 INTRAGOVERNMENTAL GRANTS	.00	3,750.00	150,000.00	146,250.00	2.5
90-38-999 CONTINGENCY	.00	.00	20,000.00	20,000.00	.0
<b>TOTAL NON-OPERATING REVENUES</b>	<b>.00</b>	<b>3,750.00</b>	<b>190,000.00</b>	<b>186,250.00</b>	<b>2.0</b>
<b>TOTAL FUND REVENUE</b>	<b>.00</b>	<b>6,532.40</b>	<b>196,000.00</b>	<b>189,467.60</b>	<b>3.3</b>

CITY OF HILDALE  
EXPENDITURES WITH COMPARISON TO BUDGET  
FOR THE 7 MONTHS ENDING JANUARY 31, 2023

Item 3.

90 FUND HILDALE CITY FIBER DEP

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>OPERATING EXPENDITURES</u>					
90-41-260 TOOLS & EQUIPMENT-NON CAPITAL	.00	.00	4,000.00	4,000.00	.0
90-41-273 MAINT & SUPPLY SYSTEM	.00	8,458.84	20,000.00	11,541.16	42.3
90-41-580 RENT OR LEASE	100.00	700.00	2,000.00	1,300.00	35.0
<b>TOTAL OPERATING EXPENDITURES</b>	<b>100.00</b>	<b>9,158.84</b>	<b>26,000.00</b>	<b>16,841.16</b>	<b>35.2</b>
<u>NON-OPERATING EXPENDITURES</u>					
90-42-750 SP PROJECTS CAPITAL	.00	.00	150,000.00	150,000.00	.0
90-42-999 CONTINGENCY	.00	.00	20,000.00	20,000.00	.0
<b>TOTAL NON-OPERATING EXPENDITURES</b>	<b>.00</b>	<b>.00</b>	<b>170,000.00</b>	<b>170,000.00</b>	<b>.0</b>
<b>TOTAL FUND EXPENDITURES</b>	<b>100.00</b>	<b>9,158.84</b>	<b>196,000.00</b>	<b>186,841.16</b>	<b>4.7</b>
<b>NET REVENUE OVER EXPENDITURES</b>	<b>( 100.00)</b>	<b>( 2,626.44)</b>	<b>.00</b>	<b>2,626.44</b>	<b>.0</b>



Invoice	Seq	Type	Description	Invoice Date	Due Date	Total Cost	GL Activity	Period	GL Account
<b>1155 ARIZONA STRIP LANDFILL CORP</b>									
COLL 1222	1	Invoice	LANDFILL SERVICES	12/31/2022	01/30/2023	40,335.44	0	01/23	11-21312
Total 1155 ARIZONA STRIP LANDFILL CORP:						40,335.44			
<b>1430 CASELLE, INC.</b>									
121794	1	Invoice	MONTHLY CONTRACT FOR FEB 23 90% UTILITIES	01/01/2023	01/31/2023	987.30	0	01/23	65-41-318
121794	2	Invoice	MONTHLY CONTRACT FOR FEB 23 10% ADMIN	01/01/2023	01/31/2023	109.70	0	01/23	11-41-318
Total 1430 CASELLE, INC.:						1,097.00			
<b>1580 COLORADO CITY FIRE DEPARTMENT</b>									
CCFD1232	1	Invoice	FIRE DEPT IGA OCT, NOV, DEC 2022	12/31/2022	01/15/2023	22,749.99	0	12/22	11-44-980
CCFD915	1	Invoice	FIRE DEPT IGA JUL, AUG, SEPT 2022	09/15/2022	09/30/2022	22,749.99	0	12/22	11-44-980
Total 1580 COLORADO CITY FIRE DEPARTMENT:						45,499.98			
<b>1632 BLUE STAKES OF UTAH, INC.</b>									
UT20220363	1	Invoice	BLUE STAKING	12/31/2022	01/30/2023	44.10	0	01/23	65-41-310
Total 1632 BLUE STAKES OF UTAH, INC.:						44.10			
<b>1740 WASTEWATER OPERATOR CERT.</b>									
221129 WES	1	Invoice	Wastewater certification renewal - Weston	11/29/2022	12/29/2022	100.00	0	11/22	82-41-210
Total 1740 WASTEWATER OPERATOR CERT.:						100.00			
<b>2160 HILDALE CITY</b>									
NAT 1022	1	Invoice	NATURAL GAS ENERGY AND USE TAX	11/10/2022	11/25/2022	1,135.63	0	11/22	84-21376
NAT 1122	1	Invoice	NATURAL GAS ENERGY AND USE TAX	12/09/2022	12/24/2022	3,192.37	0	12/22	84-21376
NAT 1222	1	Invoice	NATURAL GAS ENERGY AND USE TAX	12/31/2022	01/15/2023	4,395.90	0	12/22	84-21376
Total 2160 HILDALE CITY:						8,723.90			
<b>2170 HILDALE CITY UTILITIES</b>									
3180001 DE	1	Invoice	Lab Shop Utilities	01/10/2023	01/25/2023	1,611.98	0	01/23	65-41-280
6077001 122	1	Invoice	CITY HALL UTILITIES - 33% Admin - Split Distribution	01/10/2023	01/25/2023	414.00	0	01/23	11-41-280
6077001 122	2	Invoice	CITY HALL UTILITIES - 67% Utilities - Split Distribution	01/10/2023	01/25/2023	840.56	0	01/23	65-41-280
6217001 122	1	Invoice	MAXWELL PARK UTILITIES	01/10/2023	01/25/2023	651.10	0	01/23	11-48-280
6231904 122	1	Invoice	MULBERRY ST BUILDING UTILITIES	01/10/2023	01/25/2023	837.70	0	01/23	11-41-280
7011201 122	1	Invoice	Propane VAPORIZER GAS SERVICE	01/17/2023	02/01/2023	120.82	0	01/23	84-41-280
Total 2170 HILDALE CITY UTILITIES:						4,476.16			
<b>2220 HOME DEPOT</b>									
1625534	1	Invoice	LIGHT BULB	12/29/2022	01/28/2023	17.90	0	12/22	65-41-271
3624475	1	Invoice	RATCHET SET	11/30/2022	12/30/2022	222.00	0	12/22	65-41-260
4525388	1	Invoice	BLACK TOP LOAD WATER	12/29/2022	01/28/2023	184.13	0	12/22	11-48-272
7020420	1	Invoice	PAINT SUPPLIES	11/16/2022	12/16/2022	1,387.18	0	12/22	84-41-273
7614196	1	Invoice	CAR CLEANERS	12/29/2022	01/28/2023	64.09	0	12/22	65-41-250
8022005	1	Invoice	TIE-DOWNS	12/29/2022	01/28/2023	150.39	0	12/22	65-41-250

Invoice	Seq	Type	Description	Invoice Date	Due Date	Total Cost	GL Activity	Period	GL Account
Total 2220 HOME DEPOT:						2,025.69			
<b>2671 LES OLSON COMPANY</b>									
EA1220371	1	Invoice	MAINTENANCE CONTRACT - 75% UTILITIES	12/14/2022	01/13/2023	383.14	0	12/22	65-41-144
EA1220371	2	Invoice	MAINTENANCE CONTRACT - 25% ADMIN	12/14/2022	01/13/2023	127.71	0	12/22	11-41-241
Total 2671 LES OLSON COMPANY:						510.85			
<b>2892 MOUNTAINLAND SUPPLY CO.</b>									
S105073439.	1	Invoice	METER BOX LIDS & RINGS	12/22/2022	01/01/2023	200.00	0	12/22	81-41-273
S104857342.	1	Invoice	sewer pipe	12/31/2022	01/30/2023	5,521.47	0	01/23	82-41-340
S105082345.	1	Invoice	SERVICE CHARGE	11/30/2022	12/10/2022	82.82	0	01/23	65-41-242
S105132320.	1	Invoice	SERVICE CHARGE	12/31/2022	01/10/2023	82.82	0	01/23	65-41-242
Total 2892 MOUNTAINLAND SUPPLY CO.:						5,887.11			
<b>3450 SCHOLZEN PRODUCTS COMPANY, INC.</b>									
1024518-00	1	Invoice	Chlorine	12/29/2022	01/28/2023	2,233.00	0	12/22	81-41-432
6710193-00	1	Invoice	GAS BALL VALVES	12/23/2022	01/22/2023	171.84	0	12/22	84-41-273
6710733-00	1	Invoice	C900 PVC pipe	12/28/2022	01/27/2023	3,860.00	0	12/22	81-41-273
6708463-00	1	Invoice	FITTINGS	12/15/2022	01/14/2023	103.70	0	01/23	84-41-273
6711330	1	Invoice	SUCTION HOSE	12/30/2022	01/29/2023	416.40	0	01/23	82-41-273
6711549-00	1	Invoice	FITTINGS	01/03/2023	02/02/2023	270.37	0	01/23	84-41-273
6711553-00	1	Invoice	GAUGES, BOLTS	01/03/2023	02/02/2023	160.48	0	01/23	84-41-273
6711558-00	1	Invoice	BLACK IRON FITTINGS	01/04/2023	02/03/2023	785.40	0	01/23	84-41-273
Total 3450 SCHOLZEN PRODUCTS COMPANY, INC.:						8,001.19			
<b>3560 SOUTH CENTRAL COMMUNICATIONS</b>									
16343900 01	1	Invoice	MAXWELL INTERNET	01/01/2023	01/16/2023	211.14	0	01/23	11-48-287
163443900 1	1	Invoice	MAXWELL INTERNET	12/01/2022	12/16/2022	210.74	0	12/22	11-48-287
8277200 012	1	Invoice	POLICE PHONE LINE	01/01/2023	01/16/2023	57.80	0	01/23	11-41-287
8277200 122	1	Invoice	POLICE PHONE LINE	12/01/2022	12/16/2022	57.35	0	12/22	11-41-287
8297800 012	1	Invoice	CITY HALL PHONES & FAX LINES - 33% ADMIN - Split Distribution	01/01/2023	01/16/2023	66.75	0	01/23	11-41-287
8297800 012	2	Invoice	CITY HALL PHONES & FAX LINES - 67% UTILITIES - Split Distribution	01/01/2023	01/16/2023	135.51	0	01/23	65-41-287
8297800 122	1	Invoice	CITY HALL PHONES & FAX LINES - 33% ADMIN - Split Distribution	12/01/2022	12/16/2022	66.02	0	12/22	11-41-287
8297800 122	2	Invoice	CITY HALL PHONES & FAX LINES - 67% UTILITIES - Split Distribution	12/01/2022	12/16/2022	134.05	0	12/22	65-41-287
8362600 012	1	Invoice	Hildale City Police Phone	01/01/2023	01/16/2023	21.14	0	01/23	11-43-287
8362600 122	1	Invoice	Hildale City Police Phone	12/01/2022	12/16/2022	21.14	0	12/22	11-43-287
9592500 012	1	Invoice	PRI Phone Account - 33% Admin	01/01/2023	01/16/2023	176.23	0	01/23	11-41-287
9592500 012	2	Invoice	PRI Phone Account - 67% Utilities	01/01/2023	01/16/2023	357.79	0	01/23	65-41-287
9592500 122	1	Invoice	PRI Phone Account - 33% Admin	12/01/2022	12/16/2022	175.19	0	12/22	11-41-287
9592500 122	2	Invoice	PRI Phone Account - 67% Utilities	12/01/2022	12/16/2022	355.70	0	12/22	65-41-287
Total 3560 SOUTH CENTRAL COMMUNICATIONS:						2,046.55			
<b>3740 SUNRISE ENGINEERING, INC.</b>									
129058	1	Invoice	HEADWORKS REBUILD	10/12/2022	11/11/2022	9,266.00	0	10/22	82-41-311

Invoice	Seq	Type	Description	Invoice Date	Due Date	Total Cost	GL Activity	Period	GL Account
130430	1	Invoice	HEADWORKS REBUILD	12/19/2022	01/18/2023	1,653.00	0	12/22	82-41-311
Total 3740 SUNRISE ENGINEERING, INC.:						10,919.00			
<b>3930 TOWN OF COLORADO CITY</b>									
10018	1	Invoice	GASOLINE USED FROM PW - ADMIN	11/02/2022	11/17/2022	30.75	0	11/22	11-41-257
10018	2	Invoice	GASOLINE USED FROM PW - PARKS	11/02/2022	11/17/2022	196.64	0	11/22	11-48-257
10018	3	Invoice	GASOLINE USED FROM PW - PROPANE TRUCK	11/02/2022	11/17/2022	299.36	0	11/22	84-41-257
10018	4	Invoice	GASOLINE USED FROM PW - STREETS	11/02/2022	11/17/2022	101.22	0	11/22	11-47-257
10018	5	Invoice	GASOLINE USED FROM PW - VAC TRUCK	11/02/2022	11/17/2022	201.89	0	11/22	82-41-257
10018	6	Invoice	GASOLINE USED FROM PW - UTILITIES	11/02/2022	11/17/2022	2,829.96	0	11/22	65-41-257
10018	7	Invoice	ADMIN FEE 50% SPLIT	11/02/2022	11/17/2022	36.60	0	11/22	11-41-257
10018	8	Invoice	ADMIN FEE 50% SPLIT	11/02/2022	11/17/2022	36.60	0	11/22	65-41-257
10036	1	Invoice	GENERAL PROFESSIONAL LIABILITY	11/01/2022	11/16/2022	2,155.34	0	11/22	84-41-510
10036	2	Invoice	RISK MANAGEMENT FUND	11/01/2022	11/16/2022	658.82	0	11/22	65-41-510
10036	3	Invoice	TUITION REIMBURSEMENT	11/01/2022	11/16/2022	658.82	0	11/22	65-41-140
10036	4	Invoice	PROPANE CARGO	11/01/2022	11/16/2022	402.08	0	11/22	84-41-510
10056	1	Invoice	GASOLINE USED FROM PW - ADMIN	12/01/2022	12/16/2022	64.92	0	12/22	11-41-257
10056	2	Invoice	GASOLINE USED FROM PW - PARKS	12/01/2022	12/16/2022	94.42	0	12/22	11-48-257
10056	3	Invoice	GASOLINE USED FROM PW - STREETS	12/01/2022	12/16/2022	413.87	0	12/22	11-47-257
10056	4	Invoice	GASOLINE USED FROM PW - PROPANE TRUCK	12/01/2022	12/16/2022	360.00	0	12/22	84-41-257
10056	5	Invoice	GASOLINE USED FROM PW - VAC TRUCK	12/01/2022	12/16/2022	290.81	0	12/22	82-41-257
10056	6	Invoice	GASOLINE USED FROM PW - UTILITIES	12/01/2022	12/16/2022	2,637.03	0	12/22	65-41-257
10056	7	Invoice	ADMIN FEE 50% SPLIT	12/01/2022	12/16/2022	38.61	0	12/22	11-41-257
10056	8	Invoice	ADMIN FEE 50% SPLIT	12/01/2022	12/16/2022	38.61	0	12/22	65-41-257
10090	1	Invoice	IT CONSULTING - ANC DEC 2022	12/28/2022	01/12/2023	508.89	0	12/22	65-41-317
10090	2	Invoice	IT CONSULTING - ANC DEC 2022	12/28/2022	01/12/2023	56.54	0	12/22	11-41-317
PROST 1122	1	Invoice	AZ SALES TAX PROPANE	11/30/2022	12/15/2022	6,634.61	0	11/22	84-21371
WAT1122	1	Invoice	AZ SALES TAX WATER	11/30/2022	12/15/2022	893.02	0	11/22	81-21371
10095	1	Invoice	GASOLINE USED FROM PW - ADMIN	01/04/2023	01/19/2023	169.06	0	01/23	11-41-257
10095	2	Invoice	GASOLINE USED FROM PW - PARKS	01/04/2023	01/19/2023	274.25	0	01/23	11-48-257
10095	3	Invoice	GASOLINE USED FROM PW - PROPANE TRUCKS	01/04/2023	01/19/2023	260.82	0	01/23	84-41-257
10095	4	Invoice	GASOLINE USED FROM PW - WASTEWATER/VAC TRUCK	01/04/2023	01/19/2023	2,257.68	0	01/23	82-41-257
10095	5	Invoice	GASOLINE USED FROM PW - UTILITIES	01/04/2023	01/19/2023	2,757.85	0	01/23	65-41-257
10095	6	Invoice	ADMIN FEE 50% SPLIT	01/04/2023	01/19/2023	57.19	0	01/23	11-41-257
10095	7	Invoice	ADMIN FEE 50% SPLIT	01/04/2023	01/19/2023	57.20	0	01/23	65-41-257
10117	1	Invoice	GENERAL PROFESSIONAL LIABILITY	01/01/2023	01/16/2023	2,155.34	0	01/23	84-41-510
10117	2	Invoice	RISK MANAGEMENT FUND	01/01/2023	01/16/2023	658.82	0	01/23	65-41-510
10117	3	Invoice	TUITION REIMBURSEMENT	01/01/2023	01/16/2023	658.82	0	01/23	65-41-140
10117	4	Invoice	PROPANE LIABILITY	01/01/2023	01/16/2023	402.08	0	01/23	84-41-510
10092	1	Invoice	DOJ Cost Sharing J. Keith Dec 2022	01/04/2023	01/19/2023	2,267.10	0	01/23	63-41-310
10093	1	Invoice	Verizon Wireless Bill for Dec 2022	01/04/2023	01/19/2023	158.52	0	01/23	11-41-287
10133	1	Invoice	SHANAE INSURANCE BENEFITS MAY-DEC 2022	01/10/2023	01/25/2023	3,753.86	0	01/23	65-41-140
10134	1	Invoice	DOJ Cost Sharing R CARTER DEC 2022	01/19/2023	02/03/2023	192.50	0	01/23	63-41-310

Invoice	Seq	Type	Description	Invoice Date	Due Date	Total Cost	GL Activity	Period	GL Account	
PROST1222	1	Invoice	AZ SALES TAX PROPANE	12/30/2022	01/14/2023	8,171.63	0	12/22	84-21371	
WAT1222	1	Invoice	AZ SALES TAX WATER	12/30/2022	01/14/2023	894.75	0	12/22	81-21371	
9147	1	Invoice	Road Oil- Chip Seal Maple Street, Juniper Street, Uzona Ave	01/25/2021	02/09/2021	18,562.50	0	01/23	11-47-410	
9230	1	Invoice	Annual - Propane Delivery Insurance	03/04/2021	03/19/2021	4,824.60	0	01/23	84-41-434	
9831	1	Invoice	Oil Chip Seal Uzona, Canyon St	06/15/2022	06/30/2022	8,129.40	0	01/23	11-47-410	
9979	1	Invoice	DOJ Cost Sharing J. Keith Sept 2022	10/04/2022	10/19/2022	2,205.23	0	01/23	63-41-310	
Total 3930 TOWN OF COLORADO CITY:						78,508.61				
<b>4011 USABlueBook</b>										
200872	1	Invoice	Marking flags	12/09/2022	12/19/2022	895.73	0	12/22	81-41-273	
Total 4011 USABlueBook:						895.73				
<b>4020 USPS</b>										
104	1	Invoice	RECURRING INVOICE	01/01/2023	01/01/2023	700.00	0	01/23	11-41-244	
Total 4020 USPS:						700.00				
<b>4055 UNIFIRST CORPORATION</b>										
0549670	1	Invoice	Uniforms	09/26/2022	10/26/2022	104.09	0	09/22	65-41-260	
0551692	1	Invoice	Uniforms	10/22/2022	11/21/2022	123.47	0	10/22	65-41-260	
0553215	1	Invoice	Uniforms	11/14/2022	12/14/2022	123.47	0	11/22	65-41-260	
0553717	1	Invoice	Uniforms	11/21/2022	12/21/2022	123.47	0	11/22	65-41-260	
0554245	1	Invoice	Uniforms	11/28/2022	12/28/2022	123.47	0	11/22	65-41-260	
0554744	1	Invoice	Uniforms	12/05/2022	01/04/2023	128.78	0	12/22	65-41-260	
0555265	1	Invoice	Uniforms	12/12/2022	01/11/2023	123.47	0	12/22	65-41-260	
0555774	1	Invoice	Uniforms	12/19/2022	01/18/2023	123.47	0	12/22	65-41-260	
Total 4055 UNIFIRST CORPORATION:						973.69				
<b>4202 ROCKY MOUNTAIN POWER</b>										
68511976	12	1	Invoice	Cathodic Protection Power	01/01/2023	01/31/2023	21.94	0	01/23	84-41-285
Total 4202 ROCKY MOUNTAIN POWER:						21.94				
<b>4220 UTAH STATE TREASURER</b>										
TC55 1222	1	Invoice	SURCHARGES - OCT, NOV, DEC 2022	12/20/2022	01/19/2023	4,483.36	0	12/22	11-42-550	
Total 4220 UTAH STATE TREASURER:						4,483.36				
<b>4221 UTAH STATE TAX COMMISSION</b>										
STC 1122	1	Invoice	SALES AND USE TAX	12/16/2022	01/15/2023	2,236.38	0	12/22	84-21375	
STC 1222	1	Invoice	SALES AND USE TAX	12/31/2022	01/30/2023	3,136.38	0	12/22	84-21375	
TC-941 4TH	1	Invoice	UTAH WITHHOLDING 4TH QTR 2022	12/31/2022	01/30/2023	769.00	0	12/22	11-22221	
Total 4221 UTAH STATE TAX COMMISSION:						6,141.76				
<b>4572 Codale Electric Supply Inc.</b>										
S79011020.0	1	Invoice	GREEN PEDESTALS FOR AIRPORT FIBER PROJECT	12/29/2022	01/28/2023	409.95	0	12/22	89-41-273	
S7901020.00	1	Invoice	FIBER PEDS	12/29/2022	01/28/2023	409.95	0	01/23	89-41-273	
S7991315	1	Invoice	MOTOR CONTACTOR, MOTOR OVERLOAD	01/06/2023	02/05/2023	306.24	0	01/23	84-41-273	

Invoice	Seq	Type	Description	Invoice Date	Due Date	Total Cost	GL Activity	Period	GL Account
Total 4572 Codale Electric Supply Inc.:						1,126.14			
<b>4605 SUMMIT ENERGY, LLC</b>									
1222HILD	1	Invoice	Natural Gas Commodity	01/05/2023	02/04/2023	70,135.36	0	01/23	84-41-431
Total 4605 SUMMIT ENERGY, LLC:						70,135.36			
<b>4620 VERIZON WIRELESS</b>									
9920604801	1	Invoice	WIRELESS SERVICE - OCT & NOV	11/14/2022	12/14/2022	595.94	0	11/22	11-41-287
9920604801	2	Invoice	WIRELESS SERVICE - OCT & NOV	11/14/2022	12/14/2022	449.56	0	11/22	65-41-287
9922985803	1	Invoice	WIRELESS SERVICE - DEC	12/14/2022	01/13/2023	242.68	0	12/22	11-41-287
9922985803	2	Invoice	WIRELESS SERVICE - DEC	12/14/2022	01/13/2023	183.08	0	12/22	65-41-287
9925364947	1	Invoice	WIRELESS SERVICE - Jan 2023	01/14/2023	02/06/2023	242.72	0	01/23	11-41-287
9925364947	2	Invoice	WIRELESS SERVICE - Jan 2023	01/14/2023	02/06/2023	183.11	0	01/23	65-41-287
Total 4620 VERIZON WIRELESS:						1,897.09			
<b>4624 PURCELL TIRE CO.</b>									
305058646	1	Invoice	Backo Tires	01/06/2023	02/05/2023	1,560.00	0	01/23	11-47-250
Total 4624 PURCELL TIRE CO.:						1,560.00			
<b>4694 PREFERRED PARTS</b>									
15048-12198	1	Invoice	MOTOR OIL	12/22/2022	01/22/2023	15.81	0	12/22	11-48-274
15048-12206	1	Invoice	PLIERS, ADJUSTABLE WRENCHES	12/23/2022	01/23/2023	120.27	0	12/22	65-41-260
15048-11850	1	Invoice	ANTIFREEZE	10/31/2022	12/30/2022	3.39	0	01/23	11-48-250
15048-12289	1	Invoice	WINSHIELD WIPERS	01/04/2023	01/30/2023	33.58	0	01/23	65-41-250
15048-12295	1	Invoice	OIL SERVICE FIR TRUCK 3222	01/05/2023	01/30/2023	11.57	0	01/23	65-41-250
15048-12300	1	Invoice	GLOVES	01/06/2023	01/30/2023	47.98	0	01/23	65-41-250
15048-12320	1	Invoice	DRIVE BELT	01/09/2023	01/30/2023	46.72	0	01/23	84-41-250
Total 4694 PREFERRED PARTS:						279.32			
<b>4701 ZIONS FIRST NATIONAL BANK</b>									
EFTPS 1222	1	Invoice	SOCIAL SECURITY - FICA DEPOSIT 1222	12/31/2022	01/23/2023	855.14	0	12/22	11-22211
EFTPS 1222	2	Invoice	MEDICARE - FICA DEPOSIT 1222	12/31/2022	01/23/2023	200.28	0	12/22	11-22212
EFTPS 1222	3	Invoice	TAX WITHHOLDING - FICA DEPOSIT 1222	12/31/2022	01/23/2023	294.42	0	12/22	11-22213
Total 4701 ZIONS FIRST NATIONAL BANK:						1,349.84			
<b>4750 DJB GAS SERVICES, INC.</b>									
01395702	1	Invoice	WELDER Cylinder Rental	11/30/2022	12/30/2022	29.14	0	11/22	82-41-273
Total 4750 DJB GAS SERVICES, INC.:						29.14			
<b>5288 TOWN OF COLORADO CITY DISPATCH</b>									
10114	1	Invoice	TOCC DISPATCH IGA	01/01/2023	01/30/2023	2,700.00	0	01/23	11-46-980
10114(2)	1	Invoice	TOCC DISPATCH IGA	01/01/2023	01/30/2023	6,728.00	0	01/23	11-46-980
10033	1	Invoice	TOCC DISPATCH IGA Nov 2022	11/01/2022	12/01/2022	9,428.00	0	01/23	11-46-980
9563	1	Invoice	TOCC DISPATCH IGA Dec 2021	12/01/2021	01/02/2022	2,700.00	0	01/23	11-46-980
9610	1	Invoice	TOCC DISPATCH IGA Jan						

Invoice	Seq	Type	Description	Invoice Date	Due Date	Total Cost	GL Activity	Period	GL Account
			2022	01/01/2022	01/16/2022	2,700.00	0	01/23	11-46-980
9904	1	Invoice	TOCC DISPATCH IGA Aug 2022	08/01/2022	09/01/2022	9,428.00	0	01/23	11-46-980
9948	1	Invoice	TOCC DISPATCH IGA Sep 2022	09/01/2022	10/01/2022	9,428.00	0	01/23	11-46-980
9999	1	Invoice	TOCC DISPATCH IGA Oct 2022	10/01/2022	11/01/2022	9,428.00	0	01/23	11-46-980
Total 5288 TOWN OF COLORADO CITY DISPATCH:						52,540.00			
<b>5290 TOWN OF COLORADO CITY POLICE</b>									
10115	1	Invoice	POLICE SERVICE IGA	01/01/2023	01/30/2023	22,972.63	0	01/23	11-43-980
10000	1	Invoice	POLICE SERVICE IGA Oct 2022	10/01/2022	11/01/2022	22,972.63	0	01/23	11-43-980
10034	1	Invoice	POLICE SERVICE IGA Nov2022	11/01/2022	12/01/2022	22,972.63	0	01/23	11-43-980
9564	1	Invoice	POLICE SERVICE IGA Dec 2021	12/01/2021	01/01/2022	13,500.00	0	01/23	11-43-980
9611	1	Invoice	POLICE SERVICE IGA Jan 2022	01/01/2022	02/01/2022	13,500.00	0	01/23	11-43-980
9905	1	Invoice	POLICE SERVICE IGA Aug 22	08/01/2022	08/31/2022	22,972.63	0	01/23	11-43-980
9949	1	Invoice	POLICE SERVICE IGA Sept 2022	09/01/2022	10/01/2022	22,972.63	0	01/23	11-43-980
Total 5290 TOWN OF COLORADO CITY POLICE:						141,863.15			
<b>5376 WAXIE SANITARY SUPPLY</b>									
81305795	1	Invoice	WINDEX GLASS CLEANER 4/1GAL	11/08/2022	12/08/2022	142.41	0	11/22	11-41-271
81305795	2	Invoice	Clean & Soft White Paper Towel	11/08/2022	12/08/2022	128.22	0	11/22	11-41-271
81305795	3	Invoice	Clean & Soft White Paper Towel	11/08/2022	12/08/2022	128.22	0	11/22	65-41-271
81305795	4	Invoice	1036 CLEAN & SOFT SMALL CORE TOILET PAPER	11/08/2022	12/08/2022	77.75	0	11/22	11-41-271
81305795	5	Invoice	1036 CLEAN & SOFT SMALL CORE TOILET PAPER	11/08/2022	12/08/2022	77.75	0	11/22	65-41-271
81309928	1	Invoice	WAXIE FAST ACT ALL-PURPOSE CONCENTRATED CLEANER GL 4/CS	11/09/2022	12/09/2022	90.97	0	11/22	11-41-271
Total 5376 WAXIE SANITARY SUPPLY:						645.32			
<b>5401 SHRED NORTHWEST</b>									
53347112112	1	Invoice	PAPER SHREDDING - 50% ADMIN	11/21/2022	12/21/2022	27.47	0	11/22	11-41-240
53347112112	2	Invoice	PAPER SHREDDING - 50% UTILITIES	11/21/2022	12/21/2022	27.48	0	11/22	65-41-271
5334712192	1	Invoice	PAPER SHREDDING - 50% ADMIN	12/19/2022	01/19/2023	27.47	0	12/22	11-41-240
5334712192	2	Invoice	PAPER SHREDDING - 50% UTILITIES	12/19/2022	01/19/2023	27.48	0	12/22	65-41-271
Total 5401 SHRED NORTHWEST:						109.90			
<b>5409 OLYMPUS INSURANCE AGENCY</b>									
16331	1	Invoice	AUTO POLICY	11/15/2022	12/15/2022	500.00	0	11/22	11-41-510
Total 5409 OLYMPUS INSURANCE AGENCY:						500.00			
<b>5415 ST. GEORGE WATER STORE</b>									
142719	1	Invoice	BOTTLED WATER SERVICE - 2 BOTTLES	12/19/2022	01/19/2023	12.00	0	12/22	65-41-235
141577	1	Invoice	BOTTLED WATER SERVICE - 2 BOTTLES	12/05/2022	01/05/2023	12.00	0	01/23	65-41-235
144278	1	Invoice	BOTTLED WATER SERVICE - 3 BOTTLES	01/05/2023	02/04/2023	18.00	0	01/23	65-41-235

Invoice	Seq	Type	Description	Invoice Date	Due Date	Total Cost	GL Activity	Period	GL Account
Total 5415 ST. GEORGE WATER STORE:						42.00			
<b>5457 Performance Pipe</b>									
99503484	1	Invoice	65P 04.00" SDR 11.00 0040' JT YEL NR	12/19/2022	01/18/2023	48,314.75	0	12/22	84-42-750
99521916	1	Invoice	Freight & Shipping on Gas Pipe	01/20/2023	02/19/2023	2,839.67	0	01/23	84-41-273
Total 5457 Performance Pipe:						51,154.42			
<b>5471 PINNACLE GAS PRODUCTS</b>									
150110	1	Invoice	FITTINGS	01/03/2023	01/30/2023	31.93	0	01/23	84-41-273
150260	1	Invoice	GAUGES	01/06/2023	01/30/2023	107.91	0	01/23	84-41-273
149066	1	Invoice	misc fittings	12/02/2022	01/02/2023	3,995.48	0	01/23	84-41-273
150597	1	Invoice	fittings	01/16/2023	02/15/2023	1,687.45	0	01/23	84-41-273
150640	1	Invoice	misc fittings	01/17/2023	02/16/2023	589.80	0	01/23	84-41-273
150791	1	Invoice	flex Connectors	01/19/2023	02/18/2023	363.13	0	01/23	84-41-273
150796	1	Invoice	Leak Detector, Fittings	01/19/2023	02/18/2023	226.23	0	01/23	84-41-273
150797	1	Invoice	fITTINGS	01/19/2023	02/18/2023	13.20	0	01/23	84-41-273
FC411	1	Invoice	Late Fee	01/24/2023	02/24/2023	45.32	0	01/23	84-41-273
Total 5471 PINNACLE GAS PRODUCTS:						7,060.45			
<b>5478 KEN GARFF FORD-AMERICAN FORK</b>									
2022-C1149	1	Invoice	2022 FORD F-450 (1FD0W4HTONEG15934)	01/03/2023	01/30/2023	59,196.62	0	01/23	11-44-810
Total 5478 KEN GARFF FORD-AMERICAN FORK:						59,196.62			
<b>5518 CUSTOMER DEPOSIT</b>									
3.07120.1	1	Invoice	3.07120.1 CUSTOMER DEPOSIT REFUND	12/16/2022	01/16/2023	200.00	0	12/22	81-21350
3.18201.7	1	Invoice	3.18201.7 CUSTOMER DEPOSIT REFUND	12/26/2022	01/26/2023	3.96	0	12/22	81-21350
3.37500.3	1	Invoice	3.37500.3 CUSTOMER DEPOSIT REFUND	12/26/2022	01/26/2023	728.66	0	12/22	81-21350
6.44981.4	1	Invoice	CUSTOMER DEPOSIT REFUND	12/28/2022	01/28/2023	150.97	0	12/22	81-21350
6.46800.7	1	Invoice	6.46800.7 CUSTOMER DEPOSIT REFUND	12/22/2022	01/22/2023	445.25	0	12/22	81-21350
6448602	1	Invoice	CUSTOMER DEPOSIT REFUND	12/30/2022	01/30/2023	200.00	0	01/23	81-21350
60930000	1	Invoice	CUSTOMER DEPOSIT REFUND	01/10/2023	02/10/2023	14.12	0	01/23	81-21350
Total 5518 CUSTOMER DEPOSIT:						1,742.96			
<b>5530 INKBOXZ</b>									
14	1	Invoice	SIGNS FOR TREE LIGHTING	12/07/2022	01/07/2023	317.00	0	12/22	11-49-410
Total 5530 INKBOXZ:						317.00			
<b>5535 UTAH DIVISION OF WATER RIGHTS</b>									
81-5104	1	Invoice	Water Right Change Application	01/01/2023	02/01/2023	200.00	0	01/23	81-41-210
Total 5535 UTAH DIVISION OF WATER RIGHTS:						200.00			
<b>5553 EXECUTECH UTAH, INC.</b>									
28786	1	Invoice	IT MANAGMENT	01/01/2023	01/30/2023	2,100.00	0	01/23	11-41-272
EXEC-13079	1	Invoice	IT MANAGMENT	11/01/2022	12/01/2022	2,100.00	0	11/22	11-41-272

Invoice	Seq	Type	Description	Invoice Date	Due Date	Total Cost	GL Activity	Period	GL Account
Total 5553 EXECUTECH UTAH, INC.:						4,200.00			
<b>5576 ROCKY MOUNTAIN PROPANE ASSOCIATION</b>									
3805	1	Invoice	RMPA & NPGA Membership Dues	01/16/2023	02/15/2023	900.00	0	01/23	84-41-210
Total 5576 ROCKY MOUNTAIN PROPANE ASSOCIATION:						900.00			
<b>5605 NGL SUPPLY CO. LTD</b>									
NGL445250	1	Invoice	Propane Commodity	12/13/2022	12/23/2022	46,573.18	0	12/22	84-41-432
NGL449510	1	Invoice	Propane Commodity	01/02/2023	01/12/2023	24,055.15	0	01/23	84-41-432
NGL451846	1	Invoice	Propane Commodity	01/10/2023	01/20/2023	24,554.34	0	01/23	84-41-432
NGL451847	1	Invoice	Propane Commodity	01/10/2023	01/20/2023	20,218.23	0	01/23	84-41-432
NGL454429	1	Invoice	Propane Commodity	01/19/2023	01/29/2023	44,400.04	0	01/23	84-41-432
Total 5605 NGL SUPPLY CO. LTD:						159,800.94			
<b>5607 DOMINION ENERGY</b>									
5948550000	1	Invoice	NATURAL GAS TRANSPORT	11/30/2022	12/30/2022	3,526.01	0	11/22	84-41-434
5948550000	1	Invoice	NATURAL GAS TRANSPORTATION	01/05/2023	01/30/2023	5,119.42	0	01/23	84-41-434
5948550000	1	Invoice	NATURAL GAS TRANSPORT	01/07/2023	01/30/2023	4,962.27	0	01/23	84-41-434
Total 5607 DOMINION ENERGY:						13,607.70			
<b>5637 BASIC AMERICAN SUPPLY</b>									
500793	1	Invoice	HEADLAMP, WORK LIGHT	12/29/2022	01/29/2023	103.56	0	12/22	81-41-273
500915	1	Invoice	SPRAY NOZZLE	12/29/2022	01/03/2023	18.98	0	12/22	81-41-273
492710	1	Invoice	PLIERS, STAPLES, MARKER, CABLE TRACKER, CABLETIE	11/21/2022	12/22/2022	170.98	0	12/22	11-48-272
494429	1	Invoice	BATTERY	11/29/2022	12/29/2022	99.99	0	12/22	11-48-250
494804	1	Invoice	SERVICE CHARGE	11/30/2022	12/30/2022	15.10	0	12/22	11-41-242
495824	1	Invoice	TAPE CARTON PACK	12/05/2022	12/30/2022	81.94	0	12/22	11-48-272
495924	1	Invoice	CREDIT VOUCHER	12/06/2022	12/30/2022	28.33-	0	12/22	11-48-272
496353	1	Invoice	WHITE CABLE TIE	12/08/2022	12/30/2022	23.97	0	12/22	11-48-272
496594	1	Invoice	TIE WIRE	12/09/2022	12/30/2022	10.99	0	12/22	11-48-272
496662	1	Invoice	HOLIDAY MINI LIGHTS	12/09/2022	12/30/2022	24.34	0	12/22	11-48-272
501472	1	Invoice	Service Charge	12/31/2022	12/31/2022	8.55	0	12/22	11-41-242
502277	1	Invoice	WRENCH SET	01/06/2023	01/30/2023	39.97	0	01/23	84-41-260
502823	1	Invoice	FITTINGS	01/09/2023	01/30/2023	51.97	0	01/23	84-41-273
504897	1	Invoice	Hose Adapter	01/19/2023	02/06/2023	19.56	0	01/23	81-41-273
504936	1	Invoice	Rope	01/19/2023	02/06/2023	122.39	0	01/23	84-41-273
505631	1	Invoice	Replace Poles Maxwell Bathroom Area	01/23/2023	02/23/2023	2,079.32	0	01/23	11-48-410
505934	1	Invoice	Lumber, Joist Hangers	01/25/2023	02/06/2023	52.37	0	01/23	84-41-273
505993	1	Invoice	Fittings	01/25/2023	02/06/2023	4.96	0	01/23	84-41-273
506011	1	Invoice	Nails/Lumber - Gas Yard Shed	01/25/2023	02/25/2023	179.47	0	01/23	84-41-273
506012	1	Invoice	Lumber - Gas Yard Shed	01/25/2023	02/06/2023	34.34	0	01/23	81-41-273
Total 5637 BASIC AMERICAN SUPPLY:						3,114.42			
<b>5646 XPRESS BILL PAY</b>									
70771	1	Invoice	Bill Pay Transactions and Account Maintenance	12/31/2022	01/05/2023	638.32	0	01/23	65-41-318
Total 5646 XPRESS BILL PAY:						638.32			
<b>5663 Johnson, Harrison</b>									
120622	1	Invoice	MANAGER MEETING - PER DIEM	12/06/2022	01/06/2023	12.00	0	12/22	11-41-230



Invoice	Seq	Type	Description	Invoice Date	Due Date	Total Cost	GL Activity	Period	GL Account
120622	2	Invoice	MANAGER MEETING - MILEAGE	12/06/2022	01/06/2023	27.50	0	12/22	11-41-230
120822	1	Invoice	CDBG MEETING - MILEAGE	12/08/2022	01/08/2023	49.83	0	12/22	11-41-230
120822	2	Invoice	CDBG MEETING-PER DIEM	12/08/2022	01/08/2023	22.00	0	12/22	11-41-230
011123	1	Invoice	BTAC Meeting - Mileage & Per-diem	01/11/2023	02/20/2023	414.90	0	01/23	11-41-230
Total 5663 Johnson, Harrison:						526.23			
<b>5679 Border States Industries Inc.</b>									
925580168	1	Invoice	Electrical BREAKER	01/06/2023	01/30/2023	130.20	0	01/23	84-41-273
925642472	1	Invoice	Electrical components for propane yard	01/18/2023	02/18/2023	986.18	0	01/23	84-41-273
Total 5679 Border States Industries Inc.:						1,116.38			
<b>5695 Advanced Network Consulting</b>									
2615	1	Invoice	PROFESSIONAL IT SERVICES - WEEK DEC 11 10% ADMIN LB NB	12/28/2022	01/28/2023	13.17	0	12/22	11-41-317
2615	2	Invoice	PROFESSIONAL IT SERVICES - WEEK DEC 4 - 90% LB NB	12/28/2022	01/28/2023	118.50	0	12/22	65-41-317
2618	1	Invoice	PROFESSIONAL IT SERVICES - WEEK DEC 18 10% ADMIN LB NB	12/28/2022	01/28/2023	31.25	0	12/22	11-41-317
2618	2	Invoice	PROFESSIONAL IT SERVICES -WEEK DEC 18 - 90% LB NB	12/28/2022	01/28/2023	281.25	0	12/22	65-41-317
2621	1	Invoice	PROFESSIONAL IT SERVICES - WEEK DEC 4 10% ADMIN LB NB	12/28/2022	01/28/2023	68.00	0	12/22	11-41-317
2621	2	Invoice	PROFESSIONAL IT SERVICES -WEEKDEC 4 - 90% LB NB	12/28/2022	01/28/2023	612.01	0	12/22	65-41-317
Total 5695 Advanced Network Consulting:						1,124.18			
<b>5697 BLACK TIE PRESS</b>									
1226	1	Invoice	#10 Window Envelopes w/Postnet Code	12/30/2022	01/23/2023	1,700.00	0	12/22	65-41-144
Total 5697 BLACK TIE PRESS:						1,700.00			
<b>5712 CATALYST CONSTRUCTION</b>									
140	1	Invoice	Fiber Server Office Rent	01/01/2023	01/01/2023	100.00	0	01/23	90-41-580
Total 5712 CATALYST CONSTRUCTION:						100.00			
<b>5719 STERLING PEST CONTROL</b>									
767	1	Invoice	Sprayed for Bugs	10/08/2022	11/08/2022	180.00	0	01/23	11-41-271
Total 5719 STERLING PEST CONTROL:						180.00			
<b>5720 SUSAN STEED</b>									
43	1	Invoice	CITY OFFICE CLEANING - 25% UTILITY - SPLIT DISTRIBUTION	01/03/2023	02/03/2023	41.25	0	01/23	65-41-271
43	2	Invoice	CITY OFFICE CLEANING - 75% ADMIN - SPLIT DISTRIBUTION	01/03/2023	02/03/2023	123.75	0	01/23	11-41-271
43	3	Invoice	UTILITY OFFICE BUILDING	01/03/2023	02/03/2023	150.00	0	01/23	65-41-271
43	4	Invoice	PARK BATHROOMS	01/03/2023	02/03/2023	165.00	0	01/23	11-48-240
43	5	Invoice	MULBERRY ST. BUILDING CLEANING	01/03/2023	02/03/2023	15.00	0	01/23	11-41-271
43	6	Invoice	SUPPLIES	01/03/2023	02/03/2023	20.00	0	01/23	11-41-271

Invoice	Seq	Type	Description	Invoice Date	Due Date	Total Cost	GL Activity	Period	GL Account
Total 5720 SUSAN STEED:						515.00			
<b>5727 YSN Imports, Inc.</b>									
428023	1	Invoice	120 Gallon Cylinders	12/20/2022	01/20/2023	6,855.13	0	01/23	84-42-780
Total 5727 YSN Imports, Inc.:						6,855.13			
<b>5764 RURAL COMMUNITY CONSULTANTS</b>									
0129365	1	Invoice	PROFESSIONAL SERVICES	11/11/2022	12/11/2022	249.00	0	01/23	11-41-312
0129664	1	Invoice	PROFESSIONAL SERVICES	12/13/2022	01/13/2023	332.00	0	01/23	11-41-312
Total 5764 RURAL COMMUNITY CONSULTANTS:						581.00			
<b>5770 INTERIM PUBLIC MANAGEMENT, LLC</b>									
3041 (2)	1	Invoice	SPECIAL PROJECT MANAGER	11/15/2022	12/15/2023	2,714.25	0	11/22	65-41-310
3071	1	Invoice	SPECIAL PROJECT MANAGER	01/01/2023	01/11/2023	7,237.98	0	01/23	65-41-310
3079	1	Invoice	SPECIAL PROJECT MANAGER	01/15/2023	01/25/2023	7,237.98	0	01/23	65-41-310
Total 5770 INTERIM PUBLIC MANAGEMENT, LLC:						17,190.21			
<b>5781 ISCO INDUSTRIES, INC</b>									
17071715	1	Invoice	GAUGE FOR FUSION CLAMP	12/28/2022	01/27/2023	102.00	0	01/23	84-41-273
Total 5781 ISCO INDUSTRIES, INC:						102.00			
<b>5810 DOMAIN LISTINGS</b>									
242-1848 20	1	Invoice	Annual Website Domain Listing	01/11/2023	02/20/2023	288.00	0	01/23	11-41-272
Total 5810 DOMAIN LISTINGS:						288.00			
<b>5816 AMAZON CAPITAL SERVICES</b>									
14814	1	Invoice	Loctite Super Glue Ultra Gel, 014 fl oz, Bottle	01/01/2023	01/30/2023	4.27	0	01/23	11-41-271
14814	2	Invoice	Spectrum CP434816N HDPE Institutional Trash Can Liner, Glutton, 48" Length x 43" Width x 16 Micron Thick, Natural (Case of 200)	01/01/2023	01/30/2023	52.95	0	01/23	65-41-271
14814	3	Invoice	Spectrum CP434816N HDPE Institutional Trash Can Liner, Glutton, 48" Length x 43" Width x 16 Micron Thick, Natural (Case of 200)	01/01/2023	01/30/2023	52.95	0	01/23	11-48-272
14814	4	Invoice	Kleenex® Professional Facial Tissue for Business (21606), Flat Tissue Boxes, 48 Boxes	01/01/2023	01/30/2023	74.51	0	01/23	11-41-271
14814	5	Invoice	Cool Toner Compatible Toner Cartridge Replacement for HP 78A CE278A Toner HP Laserjet (Black, 4-Pack)	01/01/2023	01/30/2023	50.94	0	01/23	11-41-271
14814	6	Invoice	Dixie PerfectTouch 12 oz. Insulated Paper Hot Coffee Cup & Lid Set, Coffee Haze & White, 300 Cups & 300 Lids (50 Cups & Lids Per Pack, 6 Packs Per Case)	01/01/2023	01/30/2023	86.00	0	01/23	11-41-271
14814	7	Invoice	Amazon Basics Binder Paper Clip - Small, 12 Clips per Pack, 12-Pack	01/01/2023	01/30/2023	7.46	0	01/23	11-41-271
14814	8	Invoice	Amazon Basics Sheet Protector - Heavy Duty, 500- Pack	01/01/2023	01/30/2023	36.27	0	01/23	11-41-271
14814	9	Invoice	Logitech MK345 Wireless						

Invoice	Seq	Type	Description	Invoice Date	Due Date	Total Cost	GL Activity	Period	GL Account
			Combo Full-Sized Keyboard w/ Palm Rest & Comfortable Right -Handed Mouse	01/01/2023	01/30/2023	37.99	0	01/23	11-41-271
14814	10	Invoice	Sharpie Retractable Highlighters, Chisel Tip, Assorted, 8 Count	01/01/2023	01/30/2023	9.50	0	01/23	11-41-271
14814	11	Invoice	SHIPPING AND HANDLING	01/01/2023	01/30/2023	7.49	0	01/23	11-41-271
14816	1	Invoice	PRINTER RIBBON, SCISSORS, WIRELESS MOUSE	01/01/2023	01/30/2023	116.70	0	01/23	11-41-240
14805	1	Invoice	Flags	12/01/2022	01/01/2023	162.38	0	12/22	11-41-271
Total 5816 AMAZON CAPITAL SERVICES:						699.41			
<b>5822 Far West Electric</b>									
2240	1	Invoice	LIGHTING AT MAXWELL PARK	12/02/2022	01/02/2023	4,815.68	0	12/22	11-48-250
Total 5822 Far West Electric:						4,815.68			
<b>5824 CUSTOMER OVERPAYMENT</b>									
3.07120.1	1	Invoice	CUSTOMER OVERPAYMENT REFUND	12/16/2022	01/16/2023	50.00	0	12/22	01-11750
3.48470.4	1	Invoice	3.48470.4 CUSTOMER OVERPAYMENT REFUND	12/23/2022	01/23/2023	81.40	0	12/22	01-11750
OP-102522	1	Invoice	OVERPAYMENT REFUND	01/05/2022	01/30/2022	100.00	0	01/23	01-11750
Total 5824 CUSTOMER OVERPAYMENT:						231.40			
<b>5825 ZION TROPHIES AND AWARDS</b>									
561	1	Invoice	PLAQUE APPRECIATION AWARD	12/12/2022	01/12/2023	42.70	0	12/22	11-41-244
587	1	Invoice	RECOGNITION AWARDS	01/10/2023	02/10/2023	21.35	0	01/23	11-41-244
Total 5825 ZION TROPHIES AND AWARDS:						64.05			
<b>5836 FISHER ENTERPRISES</b>									
10299	1	Invoice	CATERING COUNCIL REATREAT	01/16/2023	01/30/2023	1,783.55	0	01/23	11-41-235
Total 5836 FISHER ENTERPRISES:						1,783.55			
<b>5841 WATER INFRASTRUCTURE FINANCE AUTHORITY O</b>									
920330-21 (2	1	Invoice	WELL LOAN PAYMENT	12/15/2022	01/01/2023	2,020.31	0	12/22	81-42-815
Total 5841 WATER INFRASTRUCTURE FINANCE AUTHORITY O:						2,020.31			
<b>5842 EDITH WITTWER</b>									
062322	2	Adjustmen	BAIL REFUND	06/23/2022	06/23/2022	500.00-	0	01/23	11-42-552
Total 5842 EDITH WITTWER:						500.00-			
<b>5843 SINTONIA INC</b>									
7	1	Invoice	CITY ATTORNEY	01/01/2023	01/01/2023	5,000.00	0	01/23	11-41-117
Total 5843 SINTONIA INC:						5,000.00			
<b>5866 Morgan Huntsman</b>									
COURT(1)	1	Invoice	COURT CLERK ASSISTANCE JAN 1-7 2023	01/01/2023	01/30/2023	196.00	0	01/23	11-42-110
COURT(2)	1	Invoice	COURT CLERK ASSISTANCE JAN 6 2023	01/01/2023	01/30/2023	252.00	0	01/23	11-42-110
COURT(3)	1	Invoice	COURT CLERK ASSISTANCE JAN 15-21 2023	01/15/2023	02/15/2023	490.00	0	01/23	11-42-110

Invoice	Seq	Type	Description	Invoice Date	Due Date	Total Cost	GL Activity	Period	GL Account
Total 5866 Morgan Huntsman:						938.00			
<b>5867 GORDON &amp; REES</b>									
21092078	1	Invoice	KNUDSON V. CITY OF HILDALE	01/05/2023	01/20/2023	3,530.45	0	01/23	11-41-510
21112182	1	Invoice	KNUDSON V. CITY OF HILDALE	01/05/2023	01/20/2023	1,291.40	0	01/23	11-41-510
21128345	1	Invoice	KNUDSON V. CITY OF HILDALE	01/05/2023	01/20/2023	178.15	0	01/23	11-41-510
Total 5867 GORDON & REES:						5,000.00			
<b>5868 AUNTIE ANNIES KITCHEN</b>									
10299	1	Invoice	CATERING FOR CITY COUNCIL REATREAT	01/16/2023	01/30/2023	1,783.55	0	01/23	11-41-235
10299	2	Adjustmen	CATERING FOR CITY COUNCIL REATREAT	01/16/2023	01/30/2023	1,783.55-	0	01/23	11-41-235
Total 5868 AUNTIE ANNIES KITCHEN:						.00			
<b>5869 PRIORITY CONTRACTOR, LLC</b>									
1017	1	Invoice	ROOF REPAIR ELDERBERRY BUILDING	01/05/2023	01/30/2023	525.00	0	01/23	11-41-720
Total 5869 PRIORITY CONTRACTOR, LLC:						525.00			
<b>5870 ZION LOCKSMITH</b>									
INV-0665	1	Invoice	RE-KEY CITY HALL	01/05/2023	02/05/2023	795.02	0	01/23	11-41-271
Total 5870 ZION LOCKSMITH:						795.02			
<b>5871 HUDSON INSURANCE COMPANY</b>									
EFD-000216	1	Invoice	DEDUCTIBLE RECOVER CLAIM	10/03/2022	11/03/2022	978.62	0	01/23	11-41-510
Total 5871 HUDSON INSURANCE COMPANY:						978.62			
Grand Totals:						<u>848,031.32</u>			

Report GL Period Summary

GL Period	Amount
09/22	104.09
12/22	199,989.87
11/22	27,356.92
01/23	611,190.97
10/22	9,389.47
Grand Totals:	<u>848,031.32</u>

Vendor number hash: 1002741  
 Vendor number hash - split: 1305969  
 Total number of invoices: 214  
 Total number of transactions: 280

Terms Description	Invoice Amount	Discount Amount	Net Invoice Amount
3 % 15 NET 30	5,521.47	165.64	5,355.83
Net 15	139,955.20	.00	139,955.20
NET 30	172,474.38	.00	172,474.38
Open Terms	528,818.90	.00	528,818.90
NET 10TH	1,261.37	.00	1,261.37
<b>Grand Totals:</b>	<b>848,031.32</b>	<b>165.64</b>	<b>847,865.68</b>

To: Hildale City Mayor and Council  
From: City Manager Eric Duthie  
Date: February 1, 2023  
Re: Monthly update and report

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This is a general report of actions and administrative issues addressed during the previous month and advisory of actions and issues to address during the new month. If you have a specific question, please contact me directly.

General Information:

- City offices were closed on January 2, 2023, for New Year’s Holiday
- City offices were closed on January 16, 2023, for Martin Luther King Holiday
- Reviewed and approved permit applications
- Met with various residents to discuss issues and concerns.
- Staff meeting in person and virtual training including:
  - ✓ Situational Awareness for Every Workplace
  - ✓ Preventing workplace burns
  - ✓ Personal wellbeing at work
  - ✓ Social Engineering Fraud
  - ✓ 13 Ways to Kill your Community.
  - ✓ Your Land, Your Plan
  - ✓ Power Line Safety
- Updated Facebook messaging.
- Economic Development Master Plan development continuing
- Attended a UEP meeting.
- Coordinated the rate study process with consultant.
- Economic Development meetings scheduled.

Actions taken:

- ❖ External Agency/Group interchange:
  - January Chamber meeting attended.
  - Coordinated with Upper Mesa Economic Development Group
  - Tour/reviews of Innovation Centers in Vernal and Price Utah conducted
  - Attended 2023 Utah Local Officials Day at the Legislature
  - Introduced Hildale/UMEDG to the Rural Utah Chamber Coalition
  - Engaged the SUU free tourism certificate program for staff.
  - Responded to an inquiry of flooding needs from the Governor’s office
  - Introduced Hildale/UMEDG to EDCUtah
  - Hosted a Colorado City Council visit to City Hall
  - Coordinated a public orientation meeting date with the U.S. Forest Service
  - Attended the Kane County “Raising Kane Business Summit”
  - Attended the Five County Association of Governments Steering Committee mtg.
  - Coordinated to host Utah Tech Business Outreach opportunities.
  - Attended the State-wide Economic Vision 2030 Stakeholder Workshop

- Hosted the Regional Partnership Luncheon and roundtable.
- Coordinated evaluation of the R.A.R.E. assessment with Cherish Families
- Mohave Community College advancement opportunities shared through Facebook.
- Engaged in Emergency Medical Services legislative issues.
- Coordinated a utility assistance payment “H.E.A.T.” site meet for February and March

❖ Internal interchange:

- Water Impact Fee report reviewed.
- Addressed Personnel issues.
- Address Natural Gas cost increases and public notice.
- Executed an Interim Court Clerk contract.
- Reviewed video of innovation centers success
- North Carling Street flooding repairs completed.
- Prepared Mayor Jessop intro of Hildale and Governor Cox to economic summit.
- Reviewed Economic Development Administration Grant opportunities.
- Reviewed Utility projects status with Director and Consultant
- Discussed issues with multiple vendors.
- Corrected deficiencies in accounts payable delays
- On Call Engineering Contracts reviewed and sent to City Attorney
- Innovation Coordinator position announcement finalized and released.
- Renewed Utah Department of Work Services H.E.A.T. program IGA.
- City Recorder position interest letter notice released internally.
- Executed agreement with Viewpoint Financial (expanded scope of finance services)
- Provided a media response of Council meeting follow-up.
- Met with Judge to identify improvements and court audit issues.
- Conducted a two-day Hildale City Council Planning Retreat
- Hosted City Council, Utility Board, Planning Commission to a work session
- Hosted City Council and UZONA Chamber of Commerce Board to a work session
- Administrative FTE position interest letter notice released internally.
- Utah Avenue and other streets pothole filling
- Grant contract review and signed.
- Coordinated training logistics with Utility Consultant
- Hildale Day of Hope ideas discussed.
- Room Heater Purchase policy and liability form issued.
- Utah Ave and N. Calling Street prep for weekend cultural arts event
- Scheduled preliminary review of Innovation Coordinator applications
- Utility Tax break for January discussed for Council agenda.

Future actions

- Prepare the natural gas fee tariff for Council.
- Prepare Impact Fee report for Utility Board and Council review.
- Conduct project management training with staff.



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☎ 435-874-2603  
🌐 www.hildalecity.com

# ZONE CHANGE APPLICATION

Fee: Same as original plat fee 160.00

*For Office Use Only:*  
File No. \_\_\_\_\_  
Receipt No. 134970401

*Angela  
01/04/23*

Name: John Barlow, UEP Project Manager Telephone: 801.824.4232

Address: 1155 N. Canyon Street #959, Hildale, UT 84784 Fax No. \_\_\_\_\_

Agent (If Applicable): Paul Wilson, Civil Science Telephone: 801.768.7200 ext 173

Email: john@ueptrust.com

Address/Location of Subject Property: 785 North Lauritzen

Tax ID of Subject Property: HD-SHCR-6-3 Existing Zone District: RA-1

Proposed Zoning District and reason for the request (Describe, use extra sheet if necessary)  
RA-0.5

Purpose of rezone application is to split the lot into two separate lots.

Submittal Requirements: The zone change application shall provide the following:

- X a. The name and address of every person or company the applicant represents;
- X b. An accurate property map showing the existing and proposed zoning classifications;
- X c. All abutting properties showing present zoning classifications;
- X d. An accurate legal description of the property to be rezoned;
- X e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- X f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the third Monday of each month at 6:30 p.m. The deadline date to submit the application is 10 business days prior to the scheduled meeting. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.**

\*\*\*\*\*

(Office Use Only)

Date Received: \_\_\_\_\_ Application Complete: YES  NO

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_



- F. The City Staff person will decide to either: approve the application, approve the application with conditions, or deny the application.
- G. If the lot split is approved, the property descriptions of each parcel prepared in a deed form can be recorded at the County Recorder Office.
- H. When in the opinion of City Staff, there are significant issues related to the lot split, the Staff may forward the application to the Planning Commission for the hearing and decision.
- I. The decision of the City Staff may be appealed to the Planning Commission.

**IMPROVEMENT REQUIREMENTS:**

Section 10-39-4 of the Land Use Ordinance identifies the improvements required within a subdivision. Even though a lot split is exempt from typical plat submittal requirements, it must still comply with the standards of section 10-39-4, since it is a subdivision. Typically, improvements will include the provision for sewer, water and drainage, along with the construction of curb, gutter, and sidewalk and paving as necessary to match existing paving (or entirely new paving when the street is unimproved.) Such improvements are required on all street frontages of the proposed parcels.



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☎ 435-874-2603  
🌐 www.hildalecity.com

**Fee: \$300.00**

**LOT SPLITS**

For Office Use Only:  
File No. \_\_\_\_\_  
Receipt No. 134970461

*Angeline*  
*01/04/23*

**APPLICATION & SUBMITTAL CHECKLIST**

**Owner(s) Name:** Jeff Barlow, Exec. Director for UEP Trust **Telephone:** 435-874-1126

**Address:** 1155 N Canyon St., PO Box 959, Hildale, UT 84784 **Fax No.** \_\_\_\_\_

**Agent (If applicable)** Travis Sanders; Paul Wilson **Agent's Phone:** 435-862-1211

**Address of Subject Property:** 785 N Lauritzen St.

**Tax ID of Subject Property:** HD-SHCR-6-3 **Zone District** RA-1

**Proposed Use:** (Describe, use extra sheet if necessary) Splitting the lot in two - one at 0.55 and one at 0.89 would

create an additional lot to be used as another RA-1 lot for future building.

**This application shall be accompanied by the following:**

- 1. One paper copy of plat drawn to scale (typically one-inch equals 50 feet or larger) on an 8 1/2 x 11-inch sheet. Larger if needed to show reasonable detail. One digital copy of plat emailed to [planning@hildalecity.com](mailto:planning@hildalecity.com)
- 2. The plat to show the following detail:
  - Scale, north point
  - Streets and the right of way width
  - Dimensions of proposed lots
  - Location of all buildings and distances from resulting lot lines
  - The location of any significant natural features (creeks, washes, cliffs, etc.)
  - The name, address and phone number of the person or firm who prepared the plat
- 3. Legal description of each of the resulting parcels.
- 4. A completed form from the Washington County Treasurer's office for property located within the lot split verifying that all taxes or special assessments payable on all property within the limits of the lot split are paid in full

**Note: It is important that all applicable information noted above is submitted with the application.**

\*\*\*\*\*

(Office Use Only)

Date Received: \_\_\_\_\_ Received by: \_\_\_\_\_

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

## LOT SPLITS

### PURPOSE:

A lot split is a subdivision of land creating no more than 1 new lot. This type of division may, after a public hearing, be approved by City Staff, without the necessity of preparing and filing a preliminary or final plat.

### PROCESS:

- A. After submittal of a lot split application, City Staff will review the application to determine whether the proposed lot:
- 1.) is not transverse by the mapped lines of a proposed street as shown in the general plan and does not require the dedication of any land for street or other public purposes.
  - 2.) does not impact an existing easement or right of way or, if it does have an impact, evidence that the impact will not impair the use of any such easement or right of way.
  - 3.) has been approved by the culinary water authority and sanitary sewer authority;
  - 4.) is in a zoned area and the lots will meet all the requirements of the zone and conforms to all applicable land use ordinances or has properly received a variance from the requirements of an otherwise conflicting and applicable land use ordinance.
- B. A lot or a parcel resulting from a division of agricultural land is exempt from the plat requirements of this Chapter if the lot or parcel:
- 1) meets the minimum size requirement of applicable zoning; and
  - 2) is not used and will not be used for any nonagricultural purpose.
- C. The creation of a lot under subsection A above shall not be approved until a plan for providing utilities and other required improvements to the proposed lot has been reviewed and signed by all members of the Joint Utility Committee.
- In lieu of an approved utility plan the Joint Utility Committee may approve a deed restriction stating no utilities are currently stubbed to this lot. This deed shall be recorded with the new lot.
- No building permit will be issued for a lot until the approved improvements are constructed and accepted by the City department heads.
- D. The boundaries of each lot or parcel created under subsection A or B above shall be geographically illustrated on a record of survey map submitted with the application for approval by City staff. A deed describing both parcels of ground with any necessary easements shall be prepared to be recorded at the office of the Washington County Recorder.

## **ZONE CHANGE APPLICATION (General Information)**

### **PURPOSE**

All lands within the City are zoned for a specific type of land use (single family residential, multi-family, commercial, industrial, etc.). Zoning occurs to provide for a relationship between various types of land uses which promotes the health, safety, welfare, order, economics, and aesthetics of the community. Zoning is one of the main tools used to implement the City's General Plan.

### **WHEN REQUIRED**

A zone change request is required any time a property owner desires to make a significant change to the use of his/her land. The change may be from one zone density (say 1 acre lots) to smaller lots (10,000 square foot lots). Or, it may be to an entirely different type of use, such as a change from single family zoning to multiple family or commercial zoning. Since the zone applied to your land limits what you can do, a rezoning application is typically the first step toward a change.

### **REQUIRED CONSIDERATIONS TO APPROVE A ZONE CHANGE**

When approving a zone change the following factors should be considered by the Planning Commission and City Council:

1. Whether the proposed amendment is consistent with the Goals, Objectives and Policies of the City's General Plan;
2. Whether the proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property;
3. The extent to which the proposed amendment may adversely affect adjacent property; and
4. The adequacy of facilities and services intended to serve the subject property, including, but not limited to roadways, parks and recreation facilities, police and fire protection, schools, storm water drainage systems, water supplies, and wastewater and refuse collection.

### **PROCESS**

Contact the Planning Department for when the deadline for submission is. After it is deemed complete, staff will review the request, and prepare a report and recommendation for the Planning Commission. This will be reviewed at a public hearing where the applicant should attend, present the project, and respond to questions from the Planning Commission. Since it is a public hearing, members of the public may also have questions or comments. At the public hearing the Planning Commission will review the application and staff's report and forward a recommendation to the City Council of approval, approval with modifications, or denial the zone change application.

Upon receipt of the Planning Commission recommendation, typically 1-2 weeks after the Planning Commission action, the City Council will consider and act on the Commission's recommendation. The action of the City Council is final. If denied, a similar application generally cannot be heard for a year.

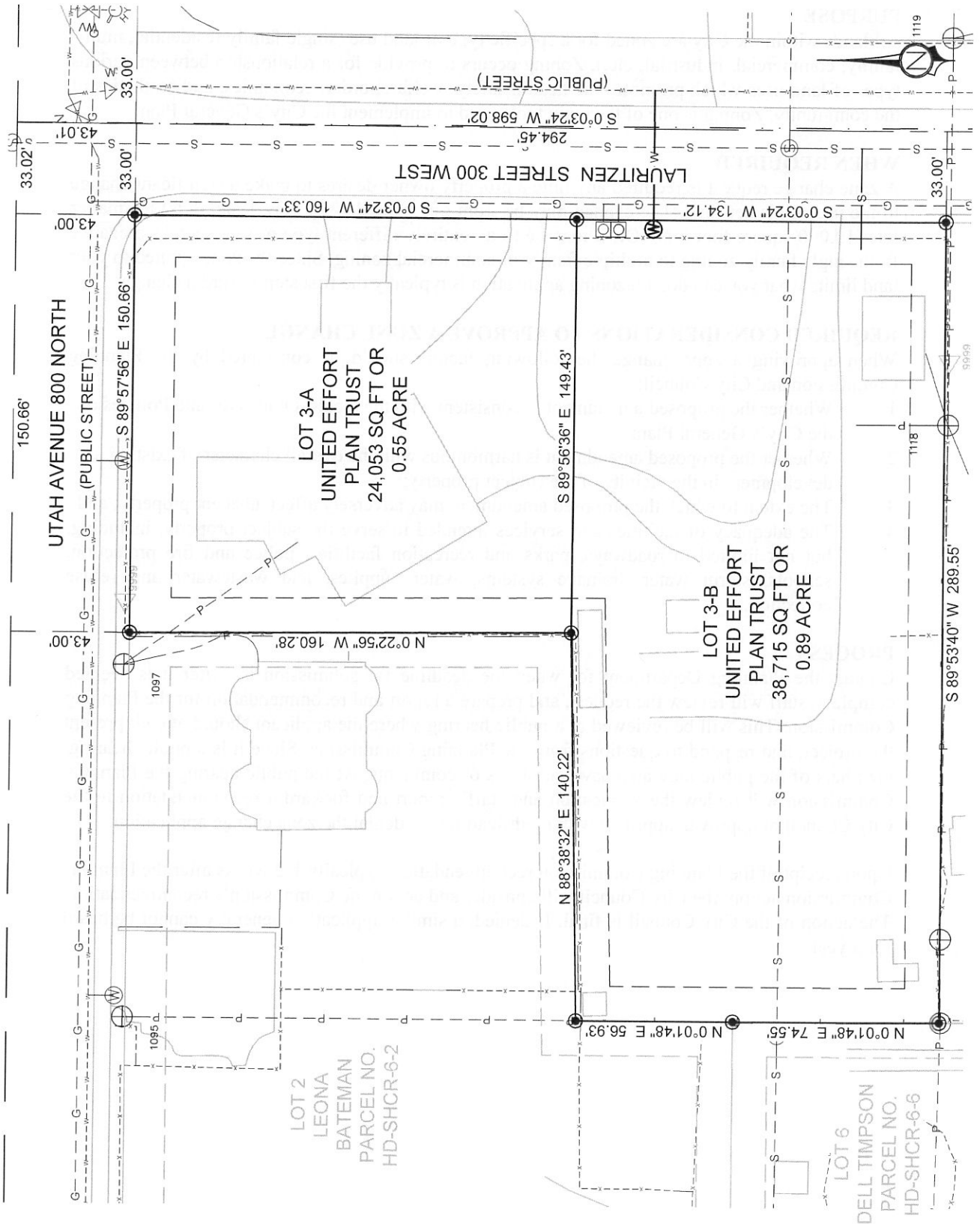


1453 S. DIXIE DRIVE, SUITE 150  
ST. GEORGE, UT 84770  
435.986.0100

PARCEL NO. HD-SHCR-6-3

PROPOSED UTILITIES

FF20068.006



# SURVEYOR'S CERTIFICATE

I, THOMAS W. SANDERS, DO HEREBY CERTIFY THAT THE BOUNDARY, AREA, POSITION AND THAT ALL OTHER MATTERS MENTIONED IN THIS SURVEY HAVE BEEN DETERMINED BY ME AND THE SURVEYOR'S OFFICE IN ACCORDANCE WITH THE RULES OF THE BOARD OF SURVEYORS OF THE STATE OF UTAH. I HEREBY CERTIFY THAT BY AUTHORITY OF THE COMMISSIONER I HAVE SURVEYED THE TRACT OF LAND SHOWN ON THIS PLAN AND DESCRIBED BELOW.

DATE \_\_\_\_\_  
 TRANS W SANDERS RLS

## BOUNDARY DESCRIPTION

LOT 3, SHORT CREEK SUBDIVISION #6 ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE WASHINGTON COUNTY COURTHOUSE RECORDS. TO BE KNOWN AS:

**PARCEL 3A**  
 BEGINNING AT THE NORTHEAST CORNER OF LOT 3, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, UTAH; THENCE SOUTH 89°09'24.18" WEST 116.50 FEET TO THE SOUTHWEST CORNER OF LOT 2 OF SUBDIVISION, THENCE ALONG LOT 2 THE NORTH 01°00'00.00" WEST 116.50 FEET TO THE WEST LINE OF SAID LOT 2, THENCE S 89°59'59.78" WEST 150.86 FEET ALONG THE NORTH LINE OF SAID LOT 13 TO THE POINT OF BEGINNING.

CONTAINS 24 833.50 FT OR 8.33 ACRES MORE OR LESS

## PARCEL 3B

BEGINNING AT THE NORTHEAST CORNER OF LOT 4, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, UTAH; THENCE SOUTH 89°09'24.18" WEST 116.50 FEET TO THE SOUTHWEST CORNER OF LOT 2 OF SUBDIVISION, THENCE ALONG LOT 2 THE NORTH 01°00'00.00" WEST 116.50 FEET TO THE WEST LINE OF SAID LOT 2, THENCE S 89°59'59.78" WEST 150.86 FEET ALONG THE NORTH LINE OF SAID LOT 13 TO THE POINT OF BEGINNING.

CONTAINS 30 715.50 FT OR 8.89 ACRES MORE OR LESS

## NARRATIVE

THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE RULES OF THE BOARD OF SURVEYORS OF THE STATE OF UTAH AND THIS PLAN IS SUBJECT TO THE SURVEYOR'S CERTIFICATE. ALL BOUNDARY AND PROPERTY (LEFT) CORNERS TO BE SET WITH S.F. BEAM AND CAP STAMPED CIVIL SCIENCE UNLESS OTHERWISE SPECIFIED. SECTIONAL MONUMENTATION NOT FOUND CALCULATED LOCATIONS. ALL BOUNDARY AND PROPERTY (LEFT) CORNERS TO BE SET WITH S.F. BEAM AND CAP STAMPED CIVIL SCIENCE UNLESS OTHERWISE SPECIFIED. ALL BOUNDARY AND PROPERTY (LEFT) CORNERS TO BE SET WITH S.F. BEAM AND CAP STAMPED CIVIL SCIENCE UNLESS OTHERWISE SPECIFIED. ALL BOUNDARY AND PROPERTY (LEFT) CORNERS TO BE SET WITH S.F. BEAM AND CAP STAMPED CIVIL SCIENCE UNLESS OTHERWISE SPECIFIED. ALL BOUNDARY AND PROPERTY (LEFT) CORNERS TO BE SET WITH S.F. BEAM AND CAP STAMPED CIVIL SCIENCE UNLESS OTHERWISE SPECIFIED.

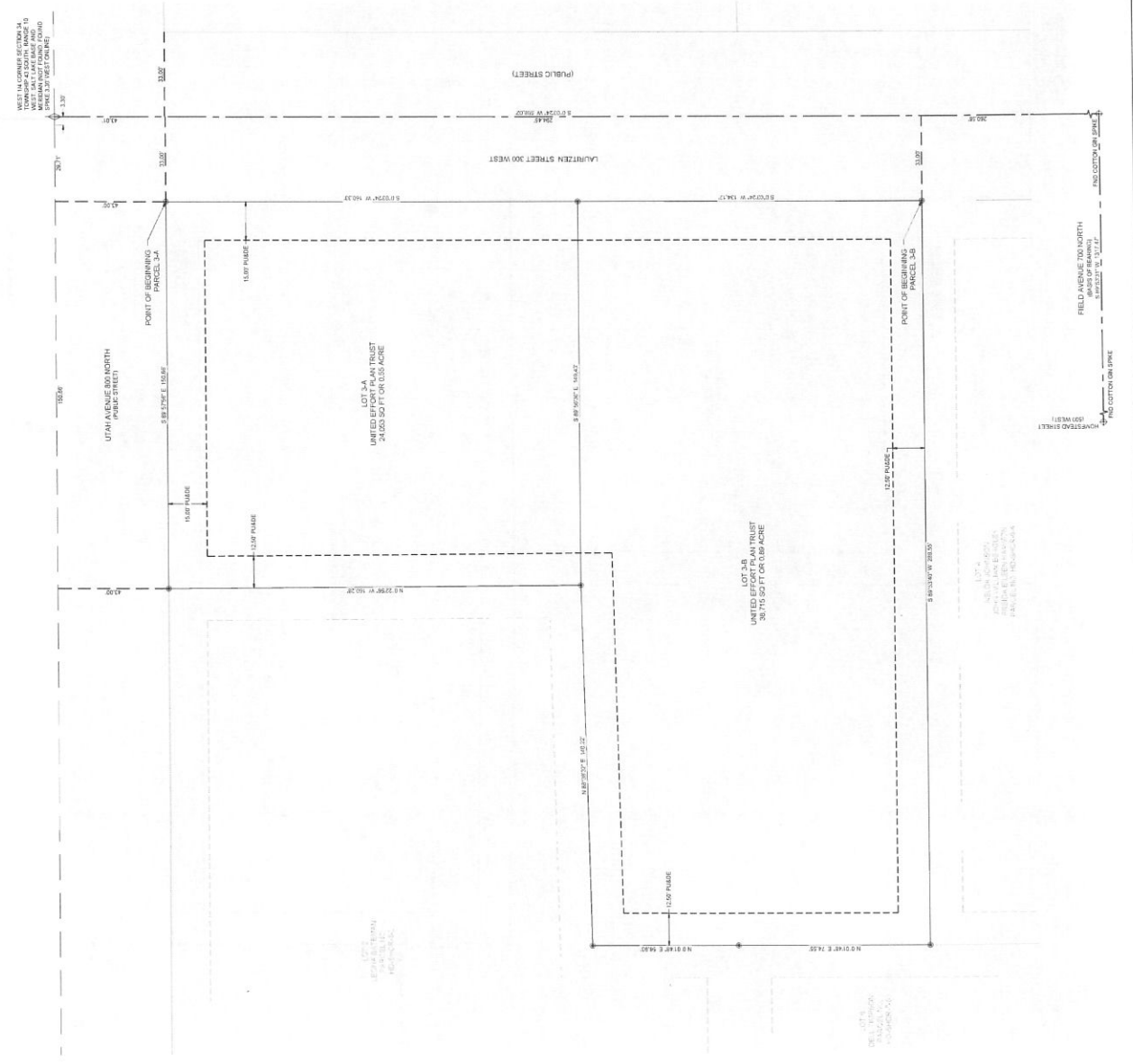
20190016028 SHORT CREEK SUBDIVISION #6, COMPLETED ON AUGUST 19, 2018. DROPPED BY ROBERT R. HERMANN-DONN

## LEGEND

- ◆ SECTIONAL MONUMENTATION NOT FOUND CALCULATED LOCATION
- ⬠ ALL BOUNDARY AND PROPERTY (LEFT) CORNERS TO BE SET WITH S.F. BEAM AND CAP STAMPED CIVIL SCIENCE UNLESS OTHERWISE SPECIFIED.
- ⊙ SECTIONAL MONUMENTATION AS SHOWN
- - - - - EASEMENT LINE (SEE NOTES)

## NOTES

1. NO ATTEMPT WAS MADE AS A PART OF THIS BOUNDARY SURVEY TO OBTAIN OR SHOW DATA TO SUPPORT THE EXISTENCE OR NON-EXISTENCE OF ANY EASEMENTS. THE SURVEYOR HAS REVIEWED THE PLAT RECORDS FOR ANY RECORDS THAT MAY AFFECT THESE UTILITIES OR OTHER RIGHTS. PLEASE CONTACT THE APPROPRIATE AGENCIES OR OTHER OWNERS OF THE UTILITIES OR OTHER RIGHTS IN ORDER TO OBTAIN THE NECESSARY PERMISSIONS FOR THESE UTILITIES OR OTHER RIGHTS.
2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OR RECORD ENCUMBRANCES. RESTRICTIVE COMMENTS CONCERNING TITLE EVIDENCE OR ANY OTHER ACTS WHICH IN ACCORDANCE AND CORRECT TITLE RECORDS MAY AFFECT THESE UTILITIES OR OTHER RIGHTS ARE NOT SHOWN.
3. ALL PLATTED EASEMENTS ON THIS PLAN ARE TO BE SET WITH S.F. BEAM AND CAP STAMPED CIVIL SCIENCE UNLESS OTHERWISE SPECIFIED. ALL EASEMENTS SHOWN ON THIS PLAN ARE TO BE SET WITH S.F. BEAM AND CAP STAMPED CIVIL SCIENCE UNLESS OTHERWISE SPECIFIED.
4. THE FIELD WORK WAS PERFORMED ON AUGUST 29, 2020.



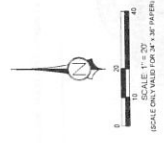
1453 S 9055 E DRIVE, SUITE 150  
 ST. GEORGE, UT 84770  
 435.988.0100

RECORD OF SURVEY PLAT  
 LOCATED IN  
 SE 1/4 OF SECTION 33 TOWNSHIP 43 SOUTH RANGE 10 WEST  
 SALT LAKE BASE & MERIDIAN

PROJECT #	22-02-001
CHECKED BY	TWS
DATE	12-22-2022
HIGH SCALE	1" = 20'
LOW SCALE	1" = 40'
SHEET	1
OF	1

## RECORD OF SURVEY PLAT

LOCATED IN  
 SE 1/4 OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST,  
 SALT LAKE BASE AND MERIDIAN  
 PREPARED FOR:  
 UNITED EFFORT PLAN TRUST



Item 5.



RECORD OF SURVEY PLAT  
LOCATED IN  
SE 1/4 OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST,  
SALT LAKE BASE & MERIDIAN

PLAT BY: F11000100  
CALCULATED BY: F11000100  
DATE: 08/28/20  
JOB SCALE: 1" = 20'  
SHEET 1 OF 1



1453 S. OAKS DRIVE, SUITE 150  
ST. GEORGE, UT 84790  
435.966.0100

**SURVEYOR'S CERTIFICATE**  
I, TRAVIS W. SANDERS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HAVE PERSONALLY REVIEWED THE PLAT AND DEEDS REFERENCED HEREIN AND I AM SURE THAT THE SAME ACCURATELY REPRESENT THE TRUTH AND FACTS OF THE SURVEY AND DEEDS REFERENCED HEREIN.



DATE: \_\_\_\_\_  
TRAVIS W. SANDERS, P.L.S.

**BOUNDARY DESCRIPTION**

ORIGINAL LEGAL DESCRIPTION:  
LOT 3, SHORT CREEK SUBDIVISION #6, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE WASHINGTON COUNTY RECORDS OF DEEDS TO BE KNOWN AS:

THE SOUTHWEST CORNER OF LOT 3, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 289 STATE STREET, SALT LAKE CITY, UTAH, 84111, BEING THE POINT OF BEGINNING OF THE EAST LINE OF LOT 3, SHORT CREEK SUBDIVISION #6, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE WASHINGTON COUNTY RECORDS OF DEEDS TO BE KNOWN AS:

CONTAINS 21,053.50 SQ FT OR 0.51 ACRE MORE OR LESS  
PARCEL 3-A  
BEING THAT THE SOUTHWEST CORNER OF LOT 3, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 289 STATE STREET, SALT LAKE CITY, UTAH, 84111, BEING THE POINT OF BEGINNING OF THE EAST LINE OF LOT 3, SHORT CREEK SUBDIVISION #6, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE WASHINGTON COUNTY RECORDS OF DEEDS TO BE KNOWN AS:

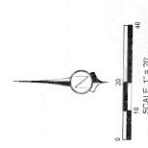
CONTAINS 24,174.50 SQ FT OR 0.55 ACRE MORE OR LESS  
PARCEL 3-B  
BEING THAT THE SOUTHWEST CORNER OF LOT 3, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 289 STATE STREET, SALT LAKE CITY, UTAH, 84111, BEING THE POINT OF BEGINNING OF THE EAST LINE OF LOT 3, SHORT CREEK SUBDIVISION #6, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE WASHINGTON COUNTY RECORDS OF DEEDS TO BE KNOWN AS:

**NARRATIVE**  
THE PURPOSE OF THIS SURVEY IS TO ESTABLISH THE BOUNDARY OF THE ABOVE DESCRIBED LOT 3, AND TO SET UP PERMANENT MONUMENTS AT THE CORNERS AND ALONG THE BOUNDARY OF THE PLAT. THE BASE OF BEARING FOR THE SURVEY IS S 89°23'11" W ALONG THE CENTER LINE OF THE EAST LINE OF LOT 3, SHORT CREEK SUBDIVISION #6, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE WASHINGTON COUNTY RECORDS OF DEEDS TO BE KNOWN AS:

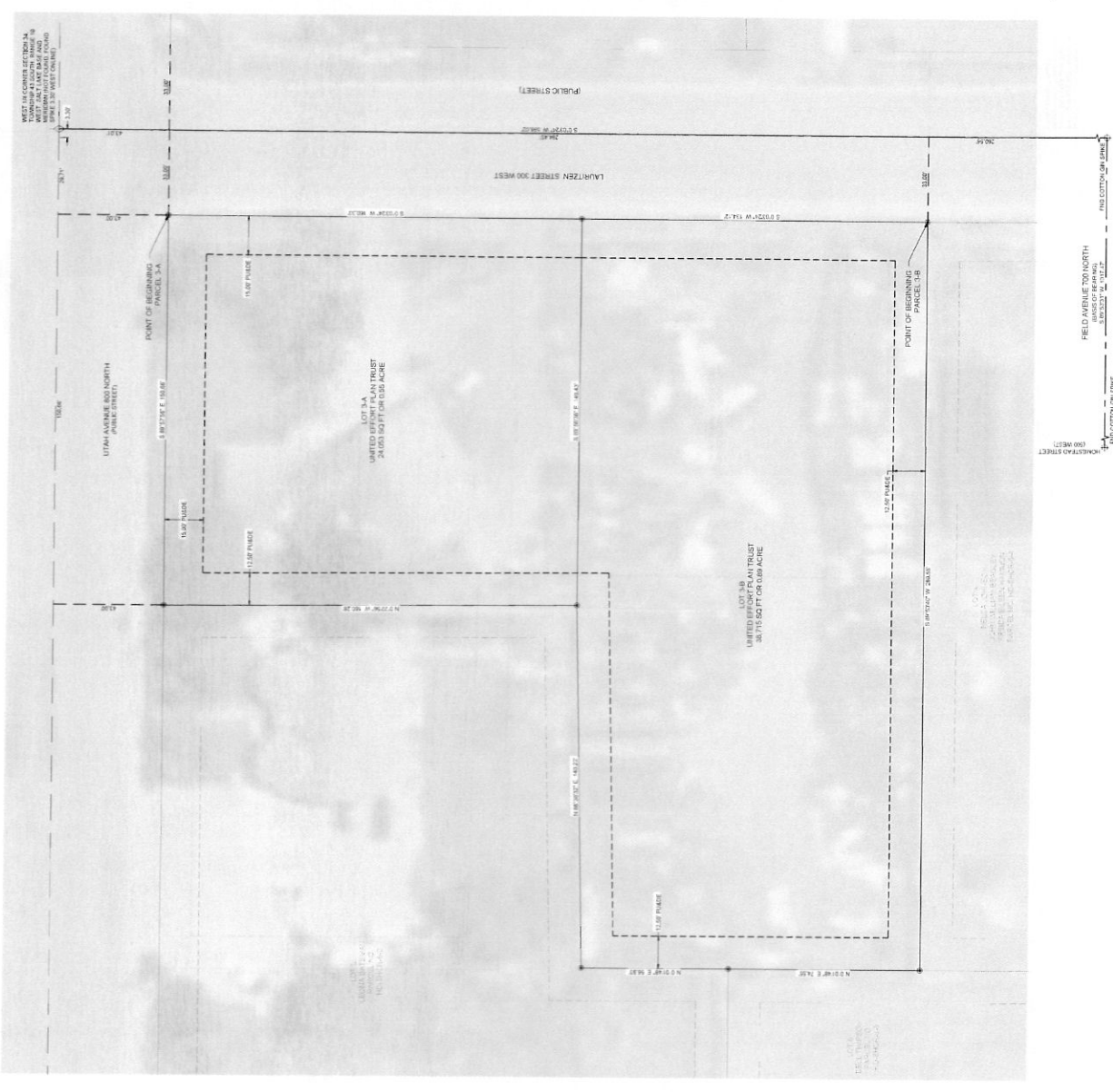
THE FOLLOWING DOCUMENTS OF RECORD WERE REVIEWED AND CONSIDERED AS A BASIS FOR THIS SURVEY: ANY INSTRUMENT CONTRADICTORY TO THE SURVEY SHOULD BE PRESENTED TO THE SURVEYOR FOR REVIEW AND CONSIDERATION.  
20190803 SHORT CREEK SUBDIVISION #6, COMPLETED ON AUGUST 11, 2014, ISSUED BY ROBERT R. HERNIMANSON.

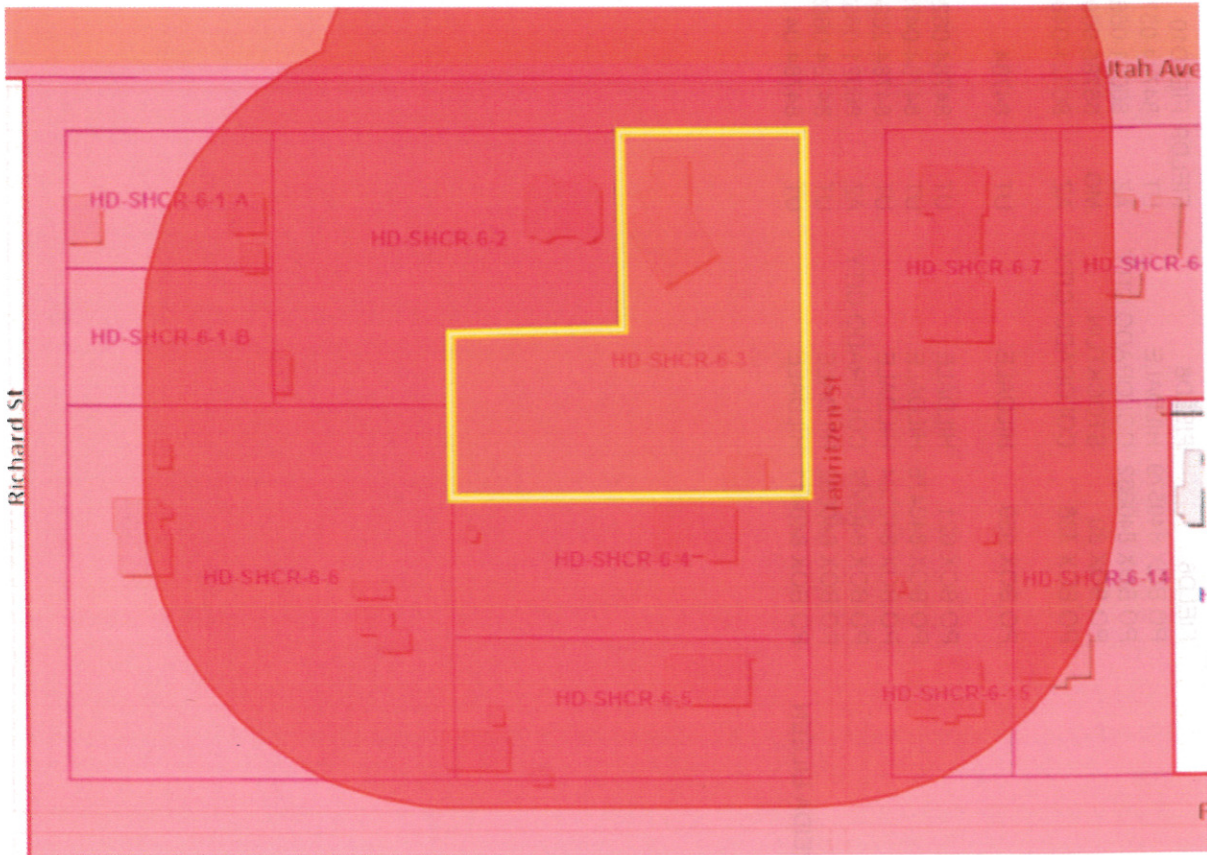
**LEGEND**  
SECTIONAL MONUMENT (NOT FOUND) CALCULATED LOCATION  
ALL BOUNDARY AND PROPERTY (LOT) CORNERS TO BE SET UP BY PERM AND CAP STAMPED CIVIL SCIENCE UNLESS OTHERWISE SPECIFIED ON THE PLAT  
SPECIFIC FOUND SURVEY CONTROL MONUMENT AS SHOWN  
EASEMENT LINE (SEE NOTES)

**NOTES**  
1. NO ATTEMPT HAS BEEN MADE AS A PART OF THIS BOUNDARY SURVEY TO VERIFY OR SHOW EXISTING UTILITIES. THE DEPTH, LOCATION, CAPACITY, OR LOCATION OF ANY UTILITY OR MUNICIPAL SERVICE FACILITY, FOR INFORMATION REGARDING THESE UTILITIES, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS WHICH MAY AFFECT THE SURVEY, IS THE RESPONSIBILITY OF THE PROPERTY OWNER.  
2. A 15.5 FOOT WIDE PUBLIC UTILITY, ROADWAY AND SIDEWALK EASEMENT EXISTS ON ALL FRONT LOT LINES, AND A 15.5 FOOT WIDE PUBLIC UTILITY EASEMENT EXISTS ON ALL SIDE AND BACK LOT LINES, AS PER RECORDED FINAL PLAT.  
3. THE FIELD WORK WAS PERFORMED ON AUGUST 28, 2020.



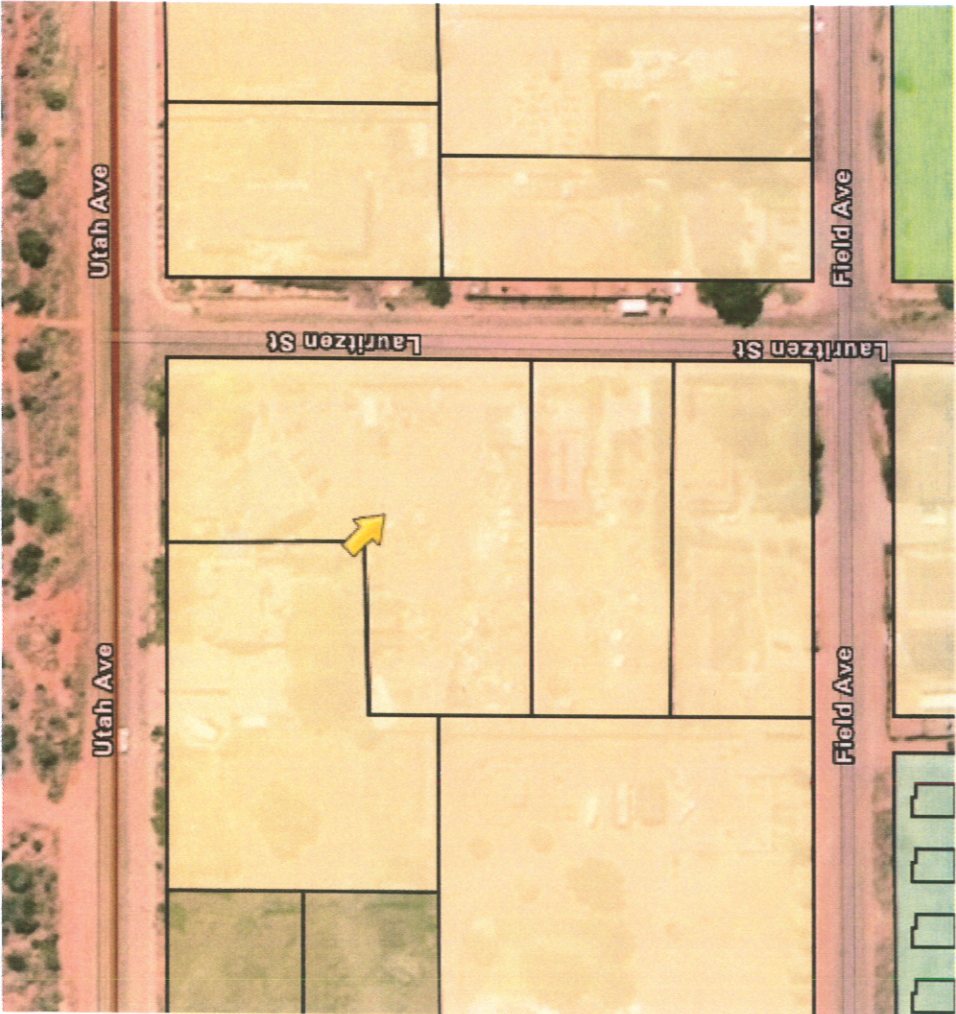
**RECORD OF SURVEY PLAT**  
LOCATED IN  
SE 1/4 OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST,  
SALT LAKE BASE AND MERIDIAN  
PREPARED FOR  
UNITED EFFORT PLAN TRUST

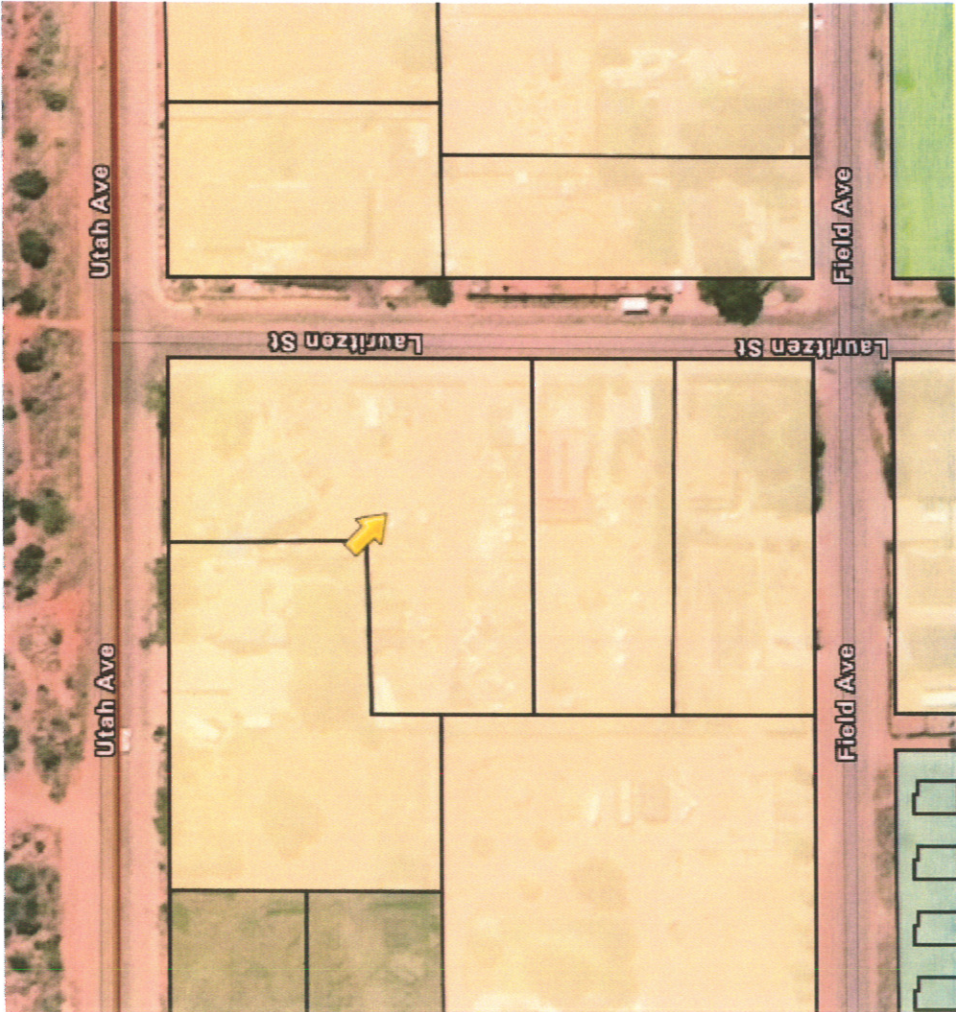


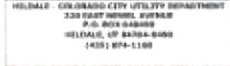




TAX_ID	FIELD5	FIELD6	FIELD8	FIELD9	FIELD10
HD-SHCR-6-5	COX KATHRYN, COX EARLENE	PO BOX 840579	HILDALE	UT	84784-0579
HD-SHCR-6-1-B	TIMPSON DELL JESSOP JR	PO BOX 840662	COLORADO CITY	AZ	86021-0662
HD-SHCR-6-7	WILLIAMS THOMAS	PO BOX 89	STOCKTON	MO	65785-0089
HD-SHCR-6-2	BATEMAN LEONA	PO BOX 486	COLORADO CITY	AZ	86021-0486
HD-SHCR-6-3	UNITED EFFORT PLAN	PO BOX 959	HILDALE	UT	84784
HD-SHCR-6-15	BARLOW THOMAS VAUGHN TR	PO BOX 621	HILDALE	UT	84784-0621
HD-SHCR-6-8	WILLIAMS ALISON P & JEROMY R, WILLIAMS THOMAS G	PO BOX 840475	HILDALE	UT	84784-0475
HD-SHCR-6-14	HOLM ALEC	PO BOX 842884	HILDALE	UT	84784-2884
HD-SHCR-6-1-A	TIMPSON DELL JESSOP JR	PO BOX 840662	COLORADO CITY	AZ	86021-0662
HD-SHCR-6-6	TIMPSON DELL	PO BOX 840662	HILDALE	UT	84784-0662
HD-SHCR-6-4	JOHNSON NELDA, BEAGLEY JOHN WILLIAM, HAMMON FREIDA EILEEN	PO BOX 840411	HILDALE	UT	84784-0411







Hildale City  
320 E.Newel Ave  
Hildale, UT 84784  
(435) 874-1160  
ar@hildalecity.com

XBP Confirmation Number: 134970461

▶ Transaction detail for payment to Hildale City.		Date: 01/04/2023 - 4:58:35 PM MT	
<b>Transaction Number: 189625067PT</b> <b>Visa — XXXX-XXXX-XXXX-8349</b> <b>Status: Successful</b>			
Account #	Item	Quantity	Item Amount
ZONE CHANGE APP	Land Use	1	\$100.00
LOT SPLIT	Land Use	1	\$300.00

**TOTAL: \$400.00**

**Billing Information**  
JOHN BARLOW  
785 NORTH LAURITZEN ST  
HILDALE, UT 84784  
(801) 824-4232

Transaction taken by: Admin AChatwin





☎ 435-874-2323  
☎ 435-874-2603  
🌐 www.hildalecity.com

# ZONE CHANGE APPLICATION

Fee: \$100

<i>For Office Use Only:</i>	
File No.	_____
Receipt No.	<u>134970567</u> <i>Angeline</i>

Name: John Barlow Telephone: 8018244232 *01/04/23*

Address: 880 North Hildale Street, Hildale, UT 84784 Fax No. \_\_\_\_\_

Agent (If Applicable): N/A Telephone: \_\_\_\_\_

Email: johnroybarlow@gmail.com

Address/Location of Subject Property: 780 North Lauritzen, Hildale, UT 84784

Tax ID of Subject Property: HD-SHCR-6-7 Existing Zone District: RA-1

Proposed Zoning District and reason for the request (Describe, use extra sheet if necessary)  
RM-2: Convert large house to multi-family long-term rental complex.

**Submittal Requirements:** The zone change application shall provide the following:

- a. The name and address of every person or company the applicant represents;
- b. An accurate property map showing the existing and proposed zoning classifications;
- c. All abutting properties showing present zoning classifications;
- d. An accurate legal description of the property to be rezoned;
- e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the third Monday of each month at 6:30 p.m. The deadline date to submit the application is 10 business days prior to the scheduled meeting. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.**

\*\*\*\*\*

(Office Use Only)

Date Received: \_\_\_\_\_ Application Complete: YES  NO



📞 435-874-2323

📠 435-874-2603

🌐 [www.hildalecity.com](http://www.hildalecity.com)

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by:

## **ZONE CHANGE APPLICATION (General Information)**

### **PURPOSE**

All lands within the City are zoned for a specific type of land use (single family residential, multi-family, commercial, industrial, etc.). Zoning occurs to provide for a relationship between various types of land uses which promotes the health, safety, welfare, order, economics, and aesthetics of the community. Zoning is one of the main tools used to implement the City's General Plan.

### **WHEN REQUIRED**

A zone change request is required any time a property owner desires to make a significant change to the use of his/her land. The change may be from one zone density (say 1 acre lots) to smaller lots (10,000 square foot lots). Or, it may be to an entirely different type of use, such as a change from single family zoning to multiple family or commercial zoning. Since the zone applied to your land limits what you can do, a rezoning application is typically the first step toward a change.

### **REQUIRED CONSIDERATIONS TO APPROVE A ZONE CHANGE**

When approving a zone change the following factors should be considered by the Planning Commission and City Council:

1. Whether the proposed amendment is consistent with the Goals, Objectives and Policies of the City's General Plan;
2. Whether the proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property;
3. The extent to which the proposed amendment may adversely affect adjacent property; and
4. The adequacy of facilities and services intended to serve the subject property, including, but not limited to roadways, parks and recreation facilities, police and fire protection, schools, storm water drainage systems, water supplies, and wastewater and refuse collection.

### **PROCESS**

Contact the Planning Department for when the deadline for submission is. After it is deemed complete, staff will review the request, and prepare a report and recommendation for the Planning Commission. This will be reviewed at a public hearing where the applicant should attend, present the project, and respond to questions from the Planning Commission. Since it is a public hearing, members of the public may also have questions or comments. At the public hearing the Planning Commission will review the application and staff's report and forward a recommendation to the City Council of approval, approval with modifications, or denial the zone change application.

Upon receipt of the Planning Commission recommendation, typically 1-2 weeks after the Planning Commission action, the City Council will consider and act on the Commission's recommendation. The action of the City Council is final. If denied, a similar application generally cannot be heard for a year.

AFFIDAVIT  
PROPERTY OWNER

STATE OF UTAH )

COUNTY OF )

I (we), \_\_\_\_\_, being duly sworn, depose and say that I (we) am (are) the owner(s) of the property identified in the attached application and that the statements herein contained and the information provided identified in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge. I (we) also acknowledge that I have received written instructions regarding the process for which I am applying, and the Hildale City Planning staff have indicated they are available to assist me in making this application.

\_\_\_\_\_  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

Subscribed and sworn to me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_.

\_\_\_\_\_  
(Notary Public)

Residing in: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Agent Authorization

I (we), \_\_\_\_\_, the owner(s) of the real property described in the attached application, do authorize as my (our) agent(s) \_\_\_\_\_ to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the City considering this application and to act in all respects as our agent in matters pertaining to the attached application.

\_\_\_\_\_  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

Subscribed and sworn to me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_.

\_\_\_\_\_  
(Notary Public)

Residing in: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_



Warranty Deed Page 1 of 3  
Gary Christensen Washington County Recorder  
11/22/2022 01:14:21 PM Fee \$40.00 By  
PROSPECT TITLE INSURANCE



Prepared By Prospect Title Insurance  
Agency  
98198-22

After Recording Mail To:  
PO Box 2742  
COLORADO CITY AZ 85002

Space Above This Line for Recorder's Use

**WARRANTY DEED**

GRANTOR(S) *Thomas Williams*

Hereby CONVEY AND WARRANT(S) to:

GRANTEE(S) *John Roy Barlow*


for the sum of Ten Dollars and other good and valuable consideration the following described tract(s) of land in Washington County, State of Utah:

**See Attached Exhibit "A"**

Tax Parcel No. **HD-SHCR-6-7**

SUBJECT TO County Taxes and Assessments not delinquent, Easements, Rights of Way Covenants, Conditions and Restrictions now of record.

WITNESS our hands on 19<sup>th</sup> day of October, 2022.

  
**Thomas Williams**

<sup>Missouri</sup>  
**STATE OF UTAH**  
**COUNTY OF WASHINGTON** <sup>Ukari</sup>

On this 1<sup>st</sup> day of <sup>November</sup> ~~October~~, 2022, before me Jeff Wall, a notary public, personally appeared Thomas Williams, proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to this instrument, and acknowledged he/she/they executed the same.

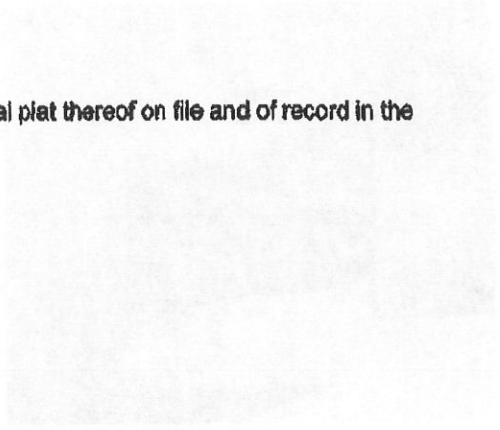
Witness my hand and official seal.

  
**Notary Public**

Property Report for Parcel HD-SHCR-6-7

**EXHIBIT A**

All of Lot 7, Short Creek Subdivision #6, according to the official plat thereof on file and of record in the Washington County Recorder's Office, State of Utah.



Subdivisor: [illegible]  
Site Address: [illegible]  
Map: [illegible]

Account Number: [illegible]  
Parcel ID: [illegible]  
Owner Name: [illegible]

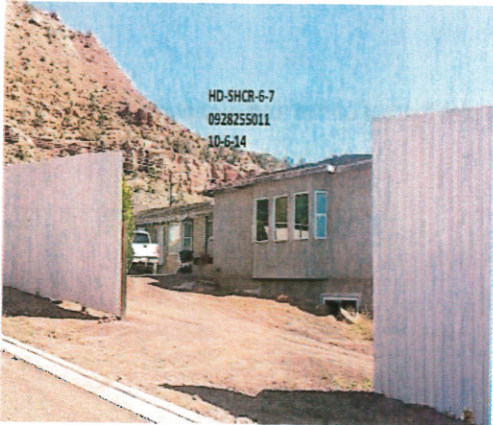
Parcel Description: [illegible]  
Subdivision: [illegible]  
County: [illegible]  
State: [illegible]

Building Number: [illegible]  
Property Type: [illegible]  
Year Built: [illegible]  
Square Feet: [illegible]

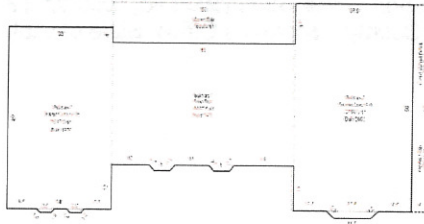
WARRANTY DEED

# Property Report for Parcel **HD-SHCR-6-7**

Data Updated: 1/1/2023



[Click here for images](#)



Sketches

[Click here for sketches](#)

## Account Summary

Account Number: 0928255  
Parcel ID: HD-SHCR-6-7  
Owner Name: Williams Thomas

Subdivision: Short Creek  
Situs Address: 780 N Lauritzen St  
Hildale, UT 84784

## Building Characteristics

Building Number: 1  
Property Type: Residential  
Year Built: 2003  
Square Feet: 5688

HVAC Desc: Central Air to Air  
Bedrooms: 2  
Bathrooms: 2  
Garage Square Feet: N/A  
Basement Sq. Ft.: 3717  
Basement Sq. Ft. Finished: N/A  
Swimming Pool: N/A  
Fireplaces: 1  
Finished Attic: N/A

Units: 1  
Exterior: Frame Masonry Veneer  
Roof Cover: Composition Shingle

## LEGAL DESCRIPTION:

Legal Subdivision: SHORT CREEK 6 (HD) Lot: 7

*NOTE: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.*

Report Generated 1/4/2023 by Washington County GIS

Washington County, Utah  
County Administration Building  
197 E. Tabernacle Street  
St. George, UT 84770-3443  
[www.washco.utah.gov](http://www.washco.utah.gov)



# Property Report for Parcel **HD-SHCR-6-7**

## Property Information

Acres: 0.73  
Zoning: Residential-Agricultural 1  
Is Property in a Special Flood Hazard Area? No  
Is Property in a 0.2% Annual Chance Flood Area? No  
Is Property in a Floodway? No

*\* Determination of flood zone information is based upon 2009 FEMA Digital Flood Insurance Rate Map Database but does not substitute for a Flood Verification letter. For more information, please visit the FEMA Flood Map Service Center website <https://msc.fema.gov/portal/home> or contact your municipal Engineering department.  
City zoning information is based on the best available information and should be independently verified by contacting each municipality directly.*

## Voting Districts

Washington County Precinct: HIL01  
U.S. Senate District: 27  
U.S. Congressional District: 2  
Utah House District: 72  
Washington County School Board District: 5

*\* Visit [Vote Utah gov](http://VoteUtah.gov) or <https://geoprodvm.washco.utah> for more voting information.*

## Utilities

Culinary Water: Hildale - Colorado City  
Sewer: Hildale  
Electricity: Garkane Energy Cooperative, Inc  
Natural Gas: N/A  
Internet Service Providers (Cable): AWI

*\* For more information on Internet services available in your area, see Decision Data.org, <https://decisiondata.org/internet-providers-by-zip-code-plus-tv/>*

## Tax Information

Tax District: Hildale Town  
Residential Classification: Primary  
Book & Page: N/A  
Reference Document: 20220050855

## Community/Public Services

Law Enforcement: Hildale  
Fire Protection: Colorado City Fire Dept  
*\* In an emergency, ALWAYS dial 9-1-1!*

Schools:  
Water Canyon Elementary  
Water Canyon High  
Water Canyon  
Water Canyon High

*\* For more information, including bus routes, visit the Washington Co. School District at <https://www.washk12.org/> or Iron Co. School District at <https://irondistrict.org/>*

Solid Waste Collection Day: N/A

*\* For more information on solid waste and recycling services, visit the Washington County Solid Waste website at <http://www.wcsw.org/>*

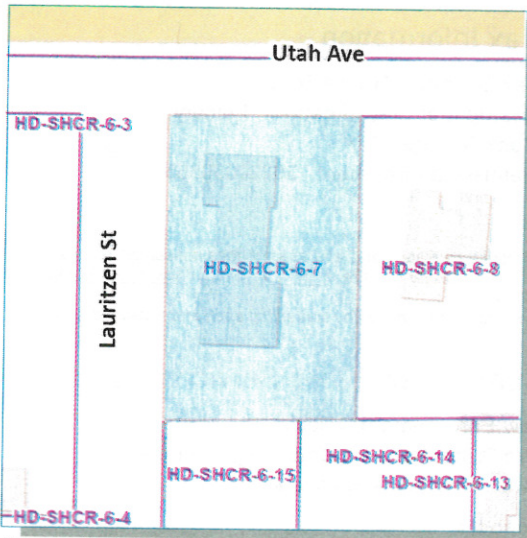
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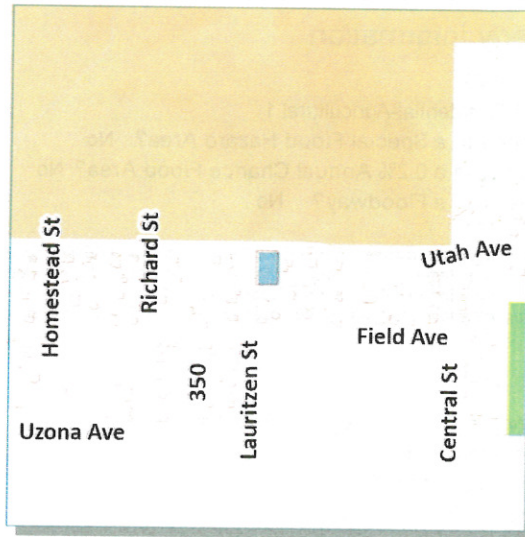
Washington County, Utah  
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St. George, UT 84770-3443  
[www.washco.utah.gov](http://www.washco.utah.gov)



# Property Report for Parcel **HD-SHCR-6-7**



Parcel highlighted in blue.



Overview Map

NOTE: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.

Report Generated 1/4/2023 by Washington County GIS

Washington County, Utah  
County Administration Building  
197 E. Tabernacle Street  
St. George, UT 84770-3443

[www.washco.utah.gov](http://www.washco.utah.gov)





### Amounts Valid Through: January 4, 2023

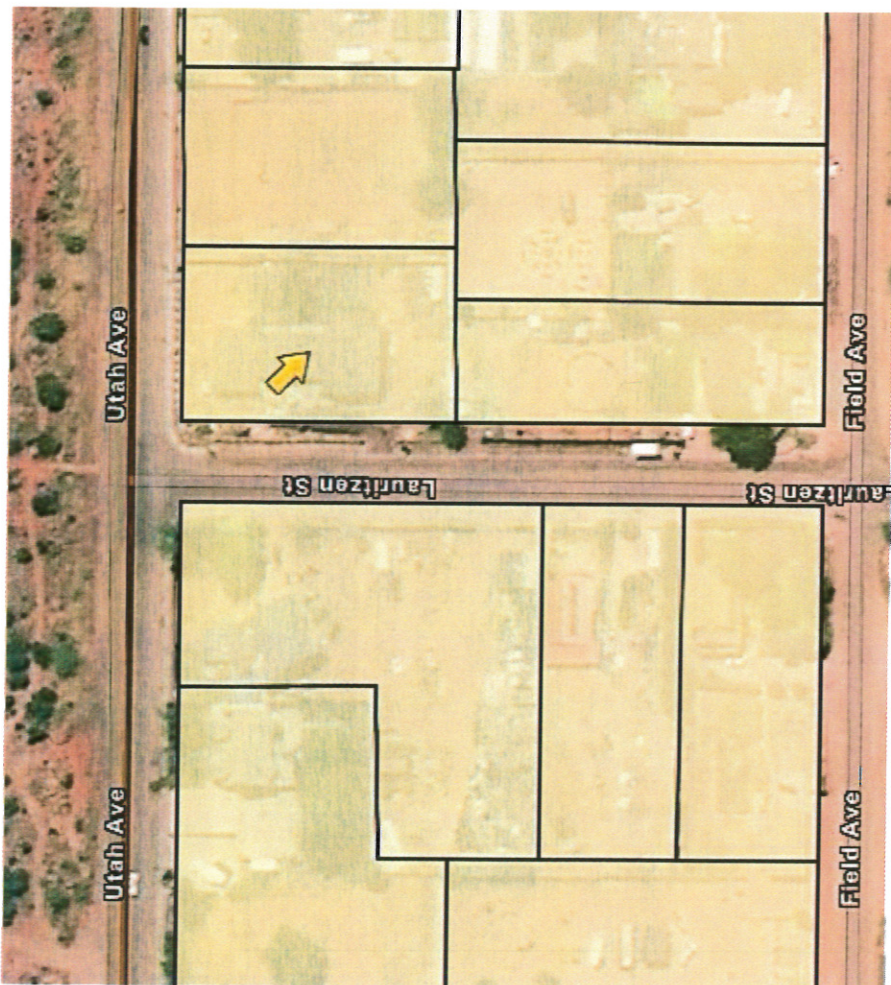
Original Tax	Year	Tax Due	Penalty Due	Interest Due	Fees Due	Total Due
	2013	0.00	0.00	0.00	0.00	0.00
	2014	0.00	0.00	0.00	0.00	0.00
\$1,769.01	2015	0.00	0.00	0.00	0.00	0.00
\$1,667.05	2016	0.00	0.00	0.00	0.00	0.00
\$1,415.75	2017	0.00	0.00	0.00	0.00	0.00
\$1,289.49	2018	0.00	0.00	0.00	0.00	0.00
\$1,392.33	2019	0.00	0.00	0.00	0.00	0.00
\$1,594.91	2020	0.00	0.00	0.00	0.00	0.00
\$1,482.50	2021	0.00	0.00	0.00	0.00	0.00
\$1,780.79	2022	0.00	0.00	0.00	0.00	0.00

Primary Owner: WILLIAMS THOMAS

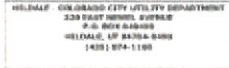
Account Number: 928255

Serial Number: HD-SHCR-6-7

Mailing Address: PO BOX 270, STOCKTON, MO 65785







Hildale City  
320 E.Newel Ave  
Hildale, UT 84784  
(435) 874-1160  
ar@hildalecity.com

**XBP Confirmation Number: 134970567**

▶ Transaction detail for payment to Hildale City.		Date: 01/04/2023 - 5:01:56 PM MT	
<b>Transaction Number: 189625172PT</b> <b>Visa — XXXX-XXXX-XXXX-8349</b> <b>Status: Successful</b>			
Account #	Item	Quantity	Item Amount
ZONE CHANGE APP	Land Use	1	\$100.00

**TOTAL: \$100.00**

**Billing Information**  
JOHN BARLOW  
780 NORTH LAURITZEN ST  
HILDALE, UT 84784  
(801) 824-4232

Transaction taken by: Admin AChatwin



☎ 435-874-2323

📠 435-874-2603

🌐 www.hildalecity.com

# PRELIMINARY PLAT APPLICATION

Fee: \$300 + \$50 per acre

<i>For Office Use Only:</i>	
File No.	_____
Receipt No.	_____

Name: Carl Timpson / NBJC, LLC Telephone: (435) 881-5886

Address: 2816 Soaring Peak Ave, Henderson, NV 89052 Fax No. \_\_\_\_\_

Email: catimpson@villagecapital.com

Agent (If Applicable): Thomas Timpson / t.c.timpson@live.com Telephone: (435) 619-6477

Address/Location of Subject Property: 685 North Willow Street & 725 North Willow Street, Hildale, Utah

Tax ID of Subject Property: HD-SHCR-1-40; \*-5-A; \*-5-B; \*-5-C Zone District: R1-8 (LOT 5 & 40)

Proposed Use: (Describe, use extra sheet if necessary. Include total number of lots) \_\_\_\_\_

Single Family Residential; 7 total lots; See attached drawings & supporting documentation

**Submittal Requirements:** The preliminary plat application shall provide the following:

- X 1. Description: In a title block located in the lower right-hand corner of the sheet the following is required:
  - X a. The proposed name of the subdivision.
  - X b. The location of the subdivision, including the address and section, township and range.
  - X c. The names and addresses of the owner or subdivider, if other than the owner.
  - X d. Date of preparation, and north point.
  - X e. Scale shall be of sufficient size to adequately describe in legible form, all required conditions of Chapter 39, City Subdivision regulations.
- X 2. Existing Conditions: The preliminary plat shall show:
  - X a. The location of the nearest monument.
  - X b. The boundary of the proposed subdivision and the acreage included.
  - NA c. All property under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing Master Street Plan or other Commission studies.)
  - X d. The location, width and names/numbers of all existing streets within two hundred (200) feet of the subdivision and of all prior streets or other public ways, utility rights of way, parks and other public open spaces, within and adjacent to the tract.
  - NA e. The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
  - X f. Existing sewers, water mains, culverts or other underground facilities within the tract, indicating the pipe sizes, grades, manholes and the exact locations.

- g. Existing Hildale Canal Company facilities; other ditches, canals, natural drainage channels and open waterways and any proposed realignments.
- h. Contours at vertical intervals not greater than five (5) feet.
- i. Identification of potential geotechnical constraints on the project site (such as expansive rock and soil, collapsible soil, shallow bedrock and caliche, gypsiferous rock and soil, potentially unstable rock or soil units including fault lines, shallow groundwater, and windblown sand) and recommendations for their mitigation.
- j. Information on whether property is located in desert tortoise take area

3. Proposed Plan: The subdivision plans shall show:

- a. The layout of streets, showing location, widths, and other dimensions of proposed streets, crosswalks, alleys and easements.
- b. The layout, numbers and typical dimensions of lots.
- c. Parcels of land intended to be dedicated or temporarily reserved for public use or set aside for use of property owners in the subdivision.
- d. Easements for water, sewers, drainage, utilities, lines and other purposes.
- e. Typical street cross sections and street grades where required by the Planning Commission. (All street grades over 5% should be noted on the preliminary plat)
- f. A tentative plan or method by which the subdivider proposes to handle the storm water drainage for the subdivision.
- g. Approximate radius of all center line curves on highways or streets.
- h. Each lot shall abut a street shown on the subdivision plat or on an existing publicly dedicated street. (Double frontage or flag lots shall be prohibited except where conditions make other design undesirable)
- i. In general, all remnants of lots below minimum size left over after subdividing of a larger tract must be added to adjacent lots, rather than allow to remain as unusable parcels.
- j. Where necessary, copies of any agreements with adjacent property owners relevant to the proposed subdivision shall be presented to the Planning Commission.
- k. A letter from both the local sanitary sewer provider and culinary water provider indicating availability of service.
- l. Will this subdivision be phased? If yes show possible phasing lines.
- m. A tentative plan or method for providing non-discriminatory access to the subdivision for purposes of placement of communications infrastructure, and for purposes of placement of utility infrastructure.

4. Required copies of plans:

- a. Three copies of all full-scale drawings
- b. One copy of each drawing on a 11 x 17-inch sheets. (8 1/2 x 11 is acceptable if the project is small and the plans are readable at that size).
- c. Electronic copies sent to [planning@hildalecity.com](mailto:planning@hildalecity.com)

5. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the third Thursday of each month at 6:30 p.m. The deadline date to submit the application is 14 days prior to the scheduled meeting. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.**

\*\*\*\*\*

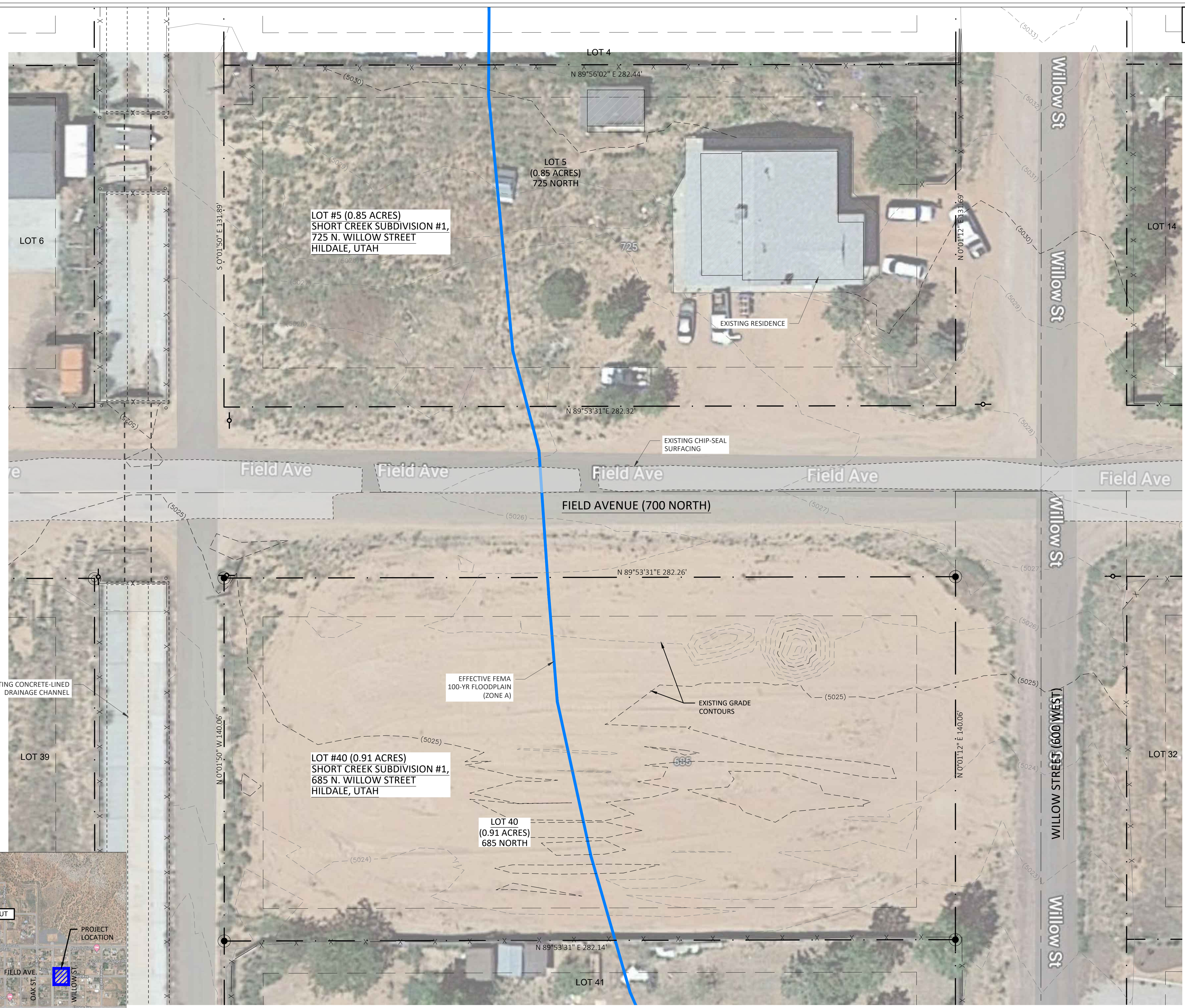
(Office Use Only)

Date Received: \_\_\_\_\_ Application Complete: YES  NO

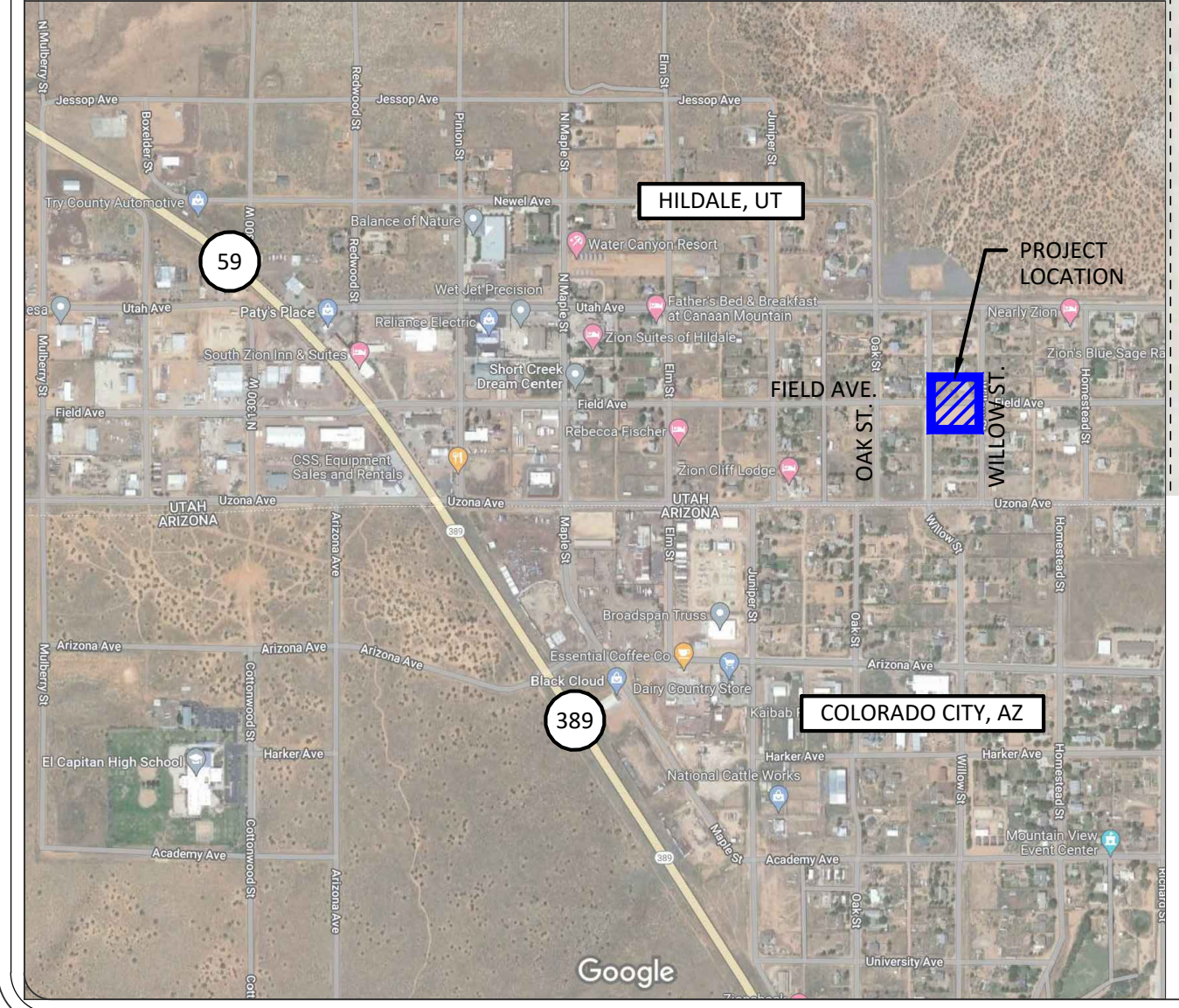
Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_



EXISTING CONDITIONS



VICINITY MAP



**TCT ENGINEERING**  
 1965 S HAMMON ST, COLORADO CITY, AZ  
 TEL: (435) 619-6477  
 E-MAIL: tctimpson@tct.com

**PRELIMINARY PLAT FOR  
 SHORT CREEK SUBDIVISION #1 PARTIAL AMENDMENT "A"  
 AMENDING LOTS 5 & 40**

LOT #5, & LOT #40, SHORT CREEK SUBDIVISION #1  
 LOCATED IN THE SE 1/4 OF SECTION 33, T43S, R10W, S18&M, HILDALE, UT

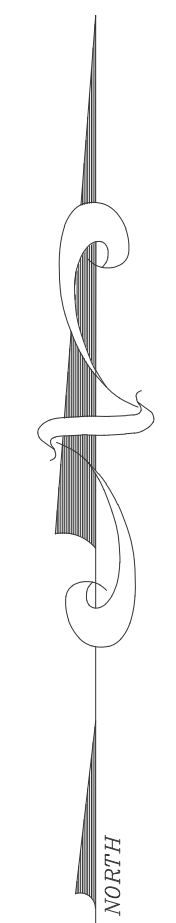
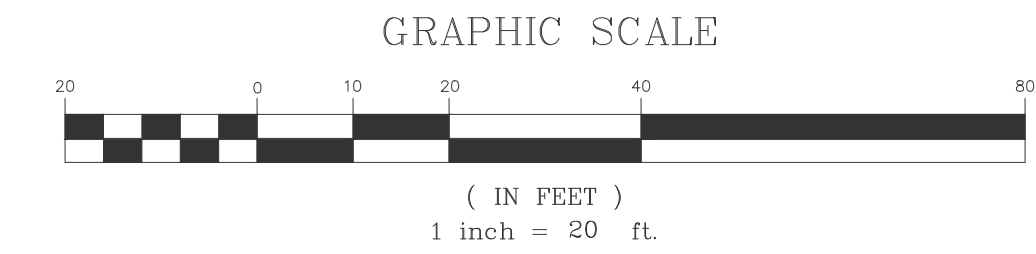
REVISIONS

REV	DATE	DESCRIPTION

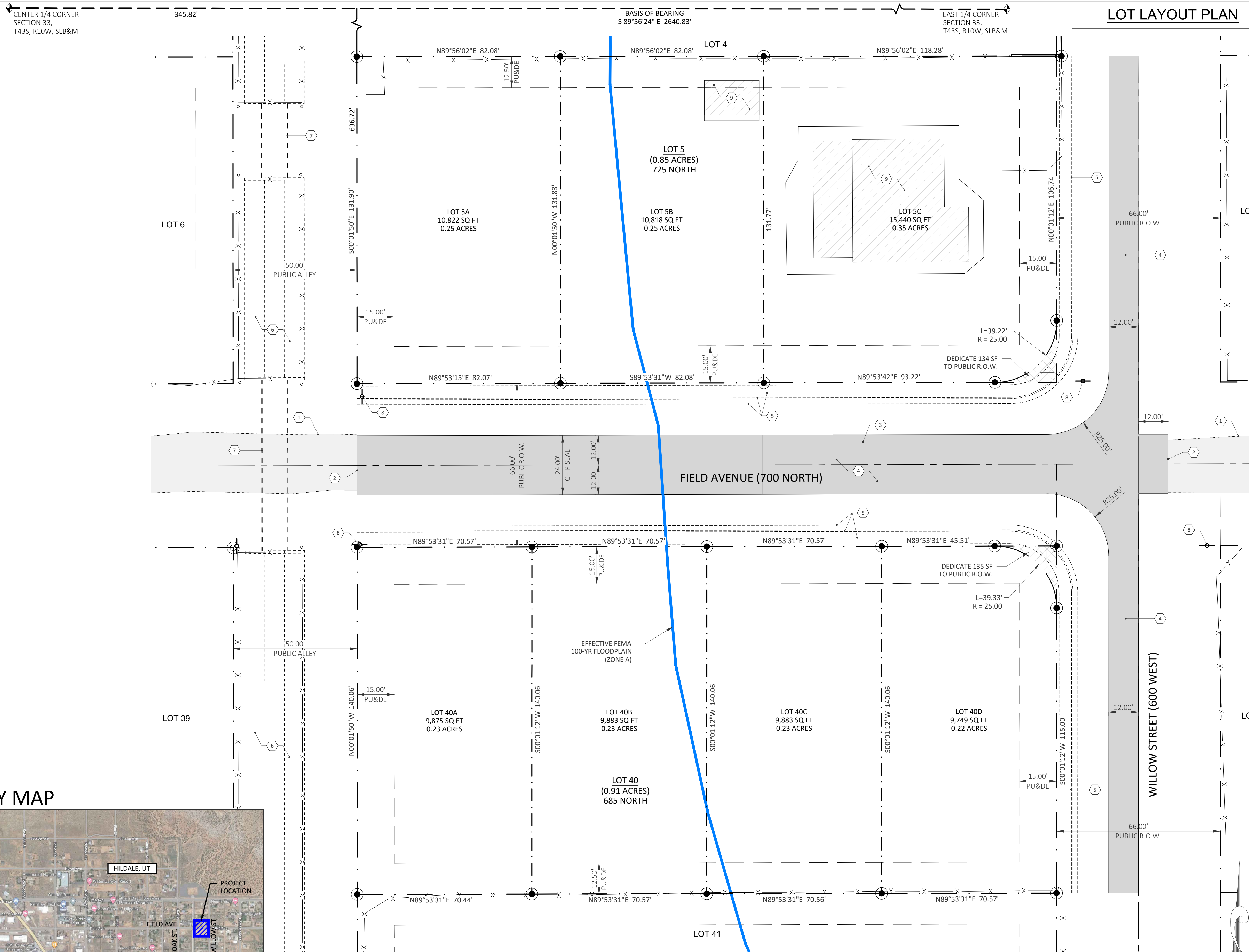
PROJECT NO: 210907  
 CAD DWG. FILE: 210907\_2\_Lot 5 & 40 SD.dwg  
 DRAWN BY: TCT  
 DESIGNED BY: TCT  
 FIELD CREW:  
 CHECKED BY:  
 DATE: 11-28-22

SHEET:  
**EXISTING  
 CONDITIONS**

**C2.1**







**SHORT CREEK SUBDIVISION #1  
PARTIAL AMENDMENT "A"  
AMENDING LOTS 5 & 40**

**KEY NOTE LEGEND**

1	EXISTING CHIP-SEAL ROADWAY SURFACE, TO REMAIN
2	SAW-CUT EXISTING CHIP-SEAL
3	EXISTING CHIP-SEAL ROADWAY SURFACE, TO BE REMOVED
4	PROPOSED CHIPSEAL ROADWAY SURFACING 0/ 6" AGGREGATE BASE
5	FUTURE CONCRETE CURB, GUTTER, & SIDEWALK, BY OTHERS
6	EXISTING CONCRETE-LINED DRAINAGE CHANNEL
7	EXISTING DRAINAGE CULVERT
8	EXISTING ROADWAY SIGN, TO REMAIN
9	EXISTING RESIDENTIAL BUILDING, TO REMAIN

**EXCEPTIONS TO ORDINANCE**

IN LIEU OF INSTALLING CONCRETE CURB, GUTTER, AND SIDEWALK, DEVELOPER WISHES TO ENTER INTO AN AGREEMENT WITH THE CITY STATING THAT IF CITY EVERY CREATES A SPECIAL ASSESSMENT DISTRICT TO DEVELOPMENT THE ADJACENT ROADWAYS, THEN PROPERTY OWNERS WILL AGREE TO THE SPECIAL ASSESSMENT DISTRICT. THIS AGREEMENT WITH GO WITH THE LAND.

**CONTACT INFORMATION**

**OWNER (LOT 40, 5A, 5B):**  
NBJC, LLC  
ATTN: CARL TIMPSON  
2816 SOARING PEAK AVE  
HENDERSON, NV 89052

**OWNER (LOT 5C):**  
JOHN BARLOW  
PO BOX 2742  
COLORADO CITY, AZ 86021

**DEVELOPER:**  
NBJC, LLC  
2816 SOARING PEAK AVE.  
HENDERSON, NV 89052

**ENGINEER:**  
TCT ENGINEERING  
THOMAS TIMPSON  
1965 S HAMMON ST.  
COLORADO CITY, AZ 86021

**LINE & SYMBOLS LEGEND**

	DEVELOPMENT BOUNDARY
	PROPOSED LOT LINE
	UTILITY & DRAINAGE EASEMENT
	PROPOSED BUILDING
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	PROPOSED CURB
	EXISTING FENCE
	PROPOSED CONCRETE SIDEWALK
	PROPOSED ASPHALT PAVING
	"X" INCHES ASPHALT O/ "Y" INCHES AGGREGATE BASE
	TRAFFIC CIRCULATION PATTERN
	EXISTING TREE
	EXISTING POWER POLE W/ GUY WIRE

**TCT ENGINEERING**  
1965 S HAMMON ST, COLORADO CITY, AZ  
TEL: (435) 619-6477  
E-MAIL: tctimpson@tcteng.com

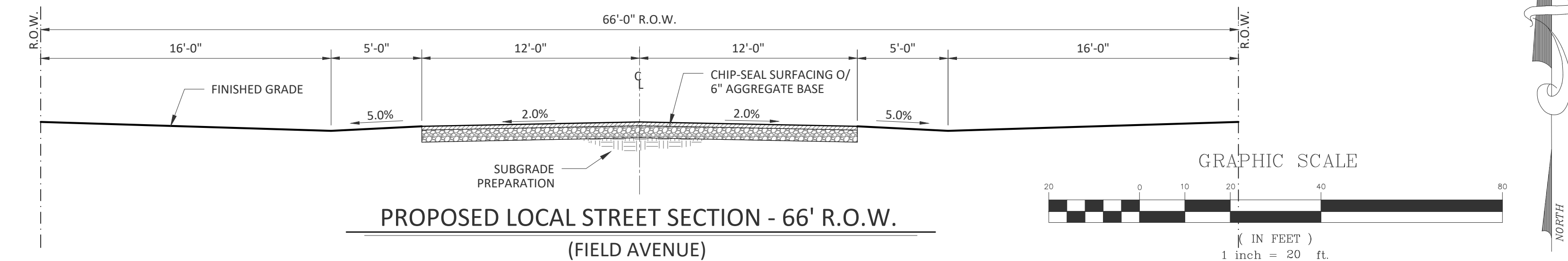
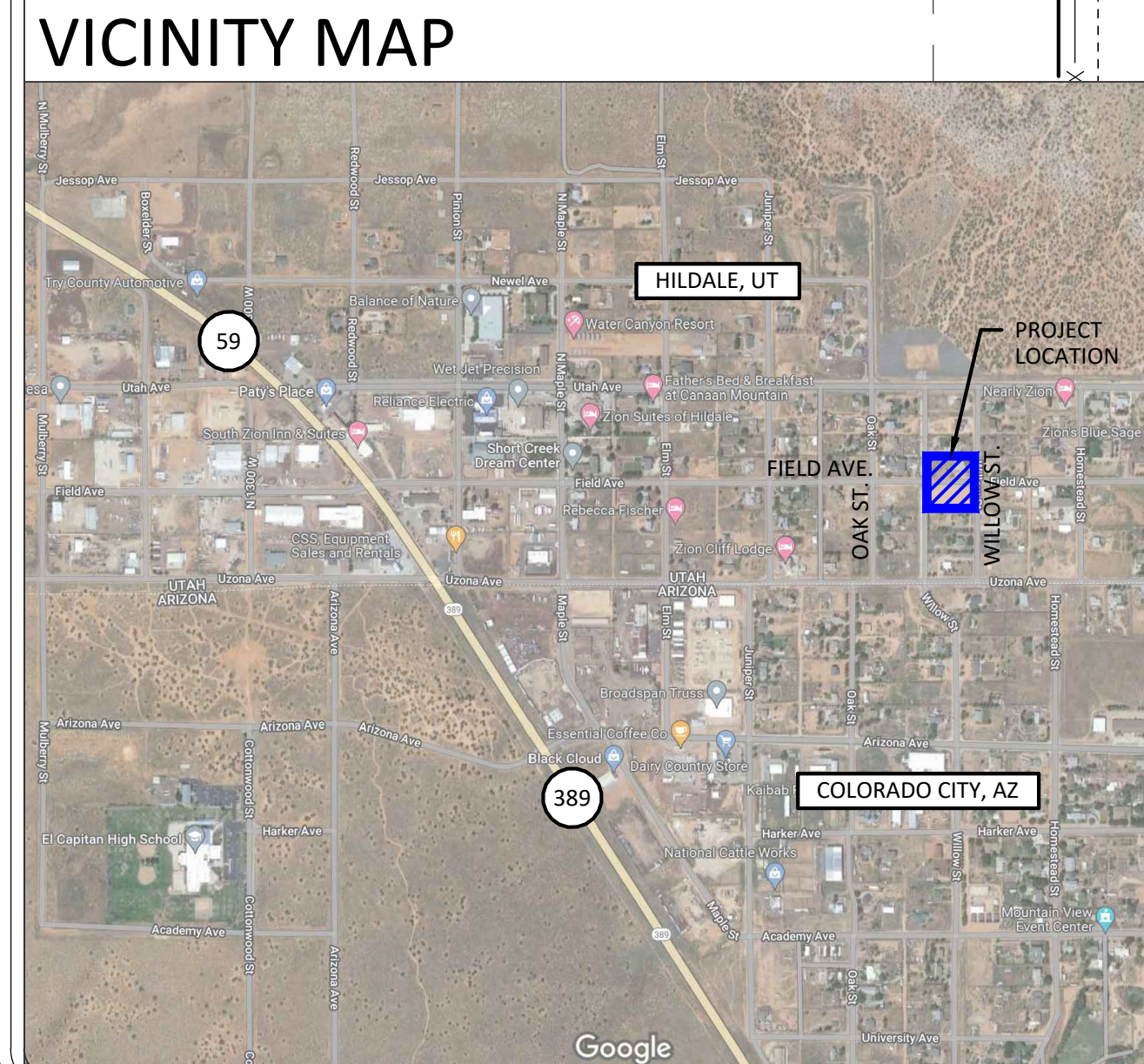
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AMENDING LOTS 5 & 40**

**LOT #5, & LOT #40, SHORT CREEK SUBDIVISION #1  
LOCATED IN THE SE 1/4 OF SECTION 33, T43S, R10W, SLB&M, HILDALE, UT**

**REVISIONS**

REV	DATE	DESCRIPTION

PROJECT NO: 210907  
CAD DWG. FILE: 210907\_2\_Lot 5 & 40 SD.dwg  
DRAWN BY: TCT  
DESIGNED BY: TCT  
FIELD CREW: TCT  
CHECKED BY: TCT  
DATE: 11-28-22  
SHEET:

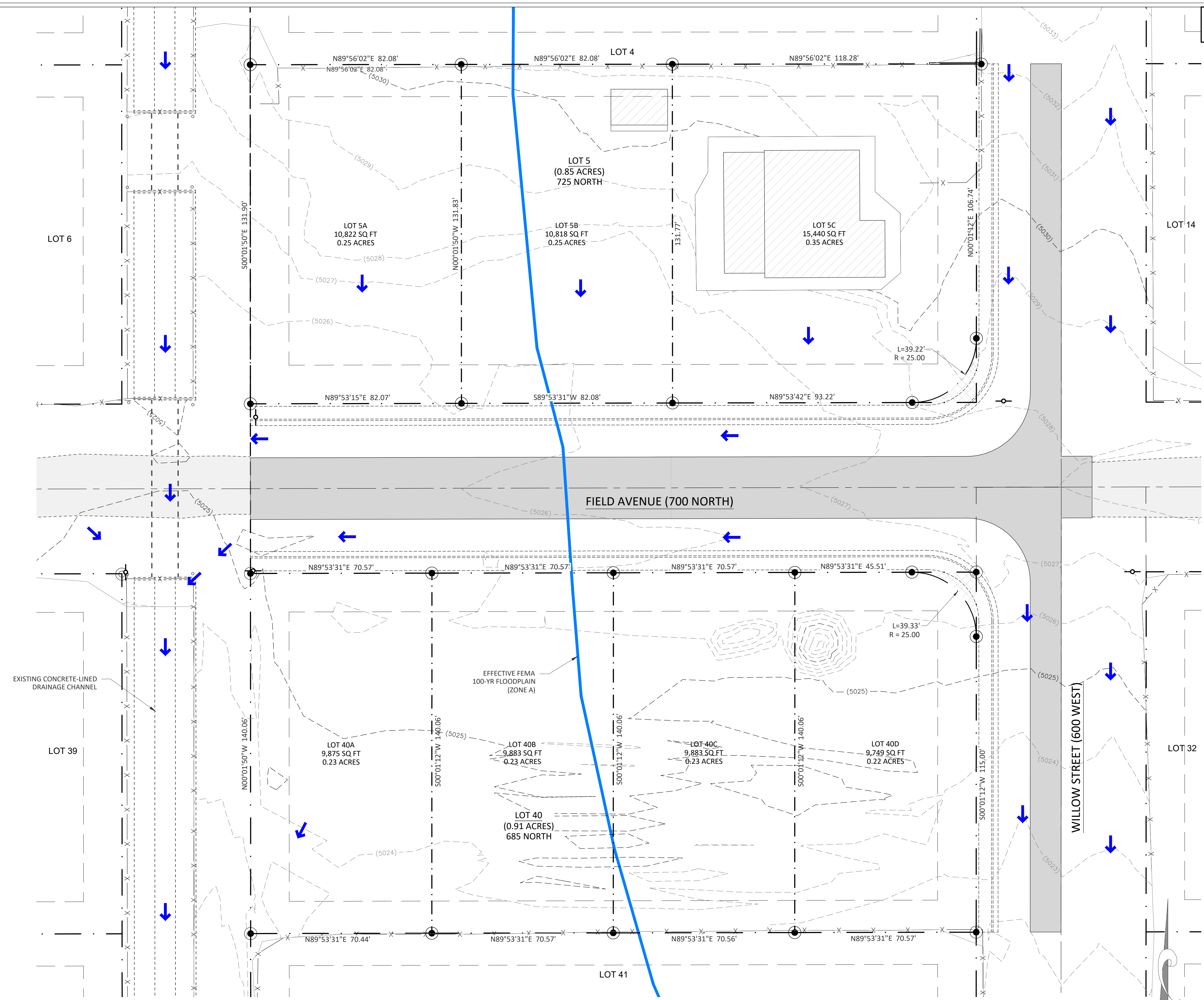


**LOT LAYOUT PLAN**

**C2.2**



# DRAINAGE PLAN

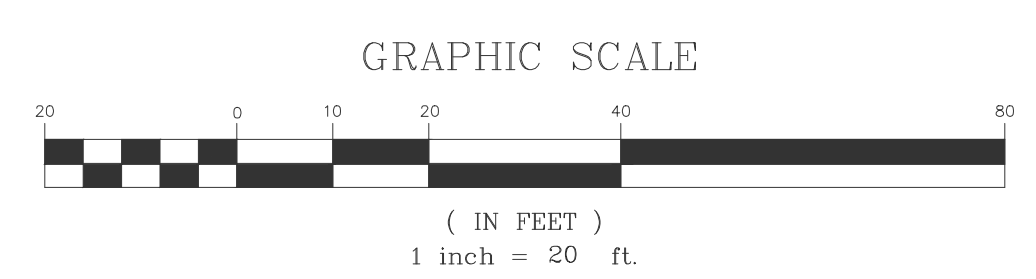


EXISTING CONCRETE-LINED DRAINAGE CHANNEL

EFFECTIVE FEMA 100-YR FLOODPLAIN (ZONE A)

WILLOW STREET (600 WEST)

FIELD AVENUE (700 NORTH)



**LINE & SYMBOLS LEGEND**

	PROPERTY BOUNDARY
	UTILITY / DRAINAGE EASEMENT
	EXISTING GRADE CONTOUR
	FINISH GRADE CONTOUR
	STORM DRAIN PIPE
	RUNOFF FLOW LINE
	RUNOFF DIRECTION
	RETAINING WALL

**TCT ENGINEERING**  
 1965 S HAMMON ST, COLORADO CITY, AZ  
 TEL: (435) 619-6477  
 E-MAIL: tctimpson@tct.com

**PRELIMINARY PLAT FOR  
 SHORT CREEK SUBDIVISION #1 PARTIAL AMENDMENT "A"  
 AMENDING LOTS 5 & 40**

LOT #5, & LOT #40, SHORT CREEK SUBDIVISION #1  
 LOCATED IN THE SE 1/4 OF SECTION 33, T48S, R10W, S18&M, HILDALE, UT

**REVISIONS**

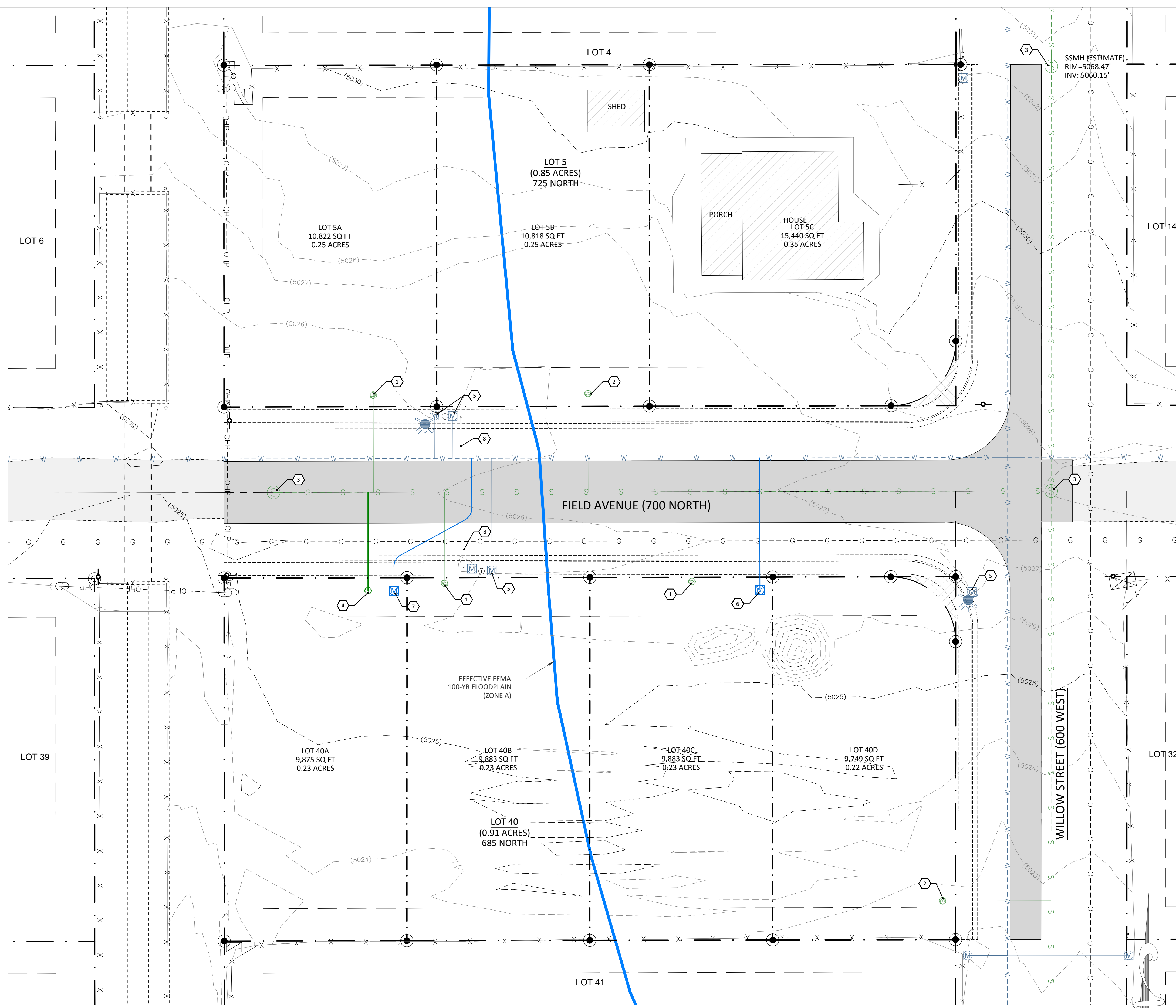
REV	DATE	DESCRIPTION

PROJECT NO: 210907  
 CAD DWG. FILE: 210907\_2\_Lot 5 & 40 SD.dwg  
 DRAWN BY: TCT  
 DESIGNED BY: TCT  
 FIELD CREW:  
 CHECKED BY:  
 DATE: 11-28-22  
 SHEET:

**DRAINAGE PLAN**

**C2.3**





UTILITIES PLAN

**KEY NOTE LEGEND**

1	EXISTING SEWER CLEANOUT TO REMAIN
2	APPROXIMATE LOCATION OF EXISTING SEWER CLEANOUT - TO REMAIN
3	APPROXIMATE LOCATION OF EXISTING SEWER MANHOLE
4	PROPOSED SEWER CLEANOUT
5	EXISTING WATER SERVICE TO REMAIN
6	PROPOSED 3/4" WATER SERVICE
7	RELOCATED EXISTING WATER SERVICE AS SHOWN
8	EXISTING GAS STUB

**UTILITY PROVIDERS**

**WATER, SEWER, AND GAS PROVIDER:**  
 HILDALE / COLORADO CITY UTILITY DEPARTMENT  
 320 EAST NEWEL AVENUE  
 PO BOX 840490  
 HILDALE UTAH, 84784  
 (435) 874-1160

**ELECTRICAL POWER PROVIDER:**  
 GARKANE ENERGY CO-OP INC.  
 1802 US-89A  
 KANAB, UT 84741  
 (435) 644-5026

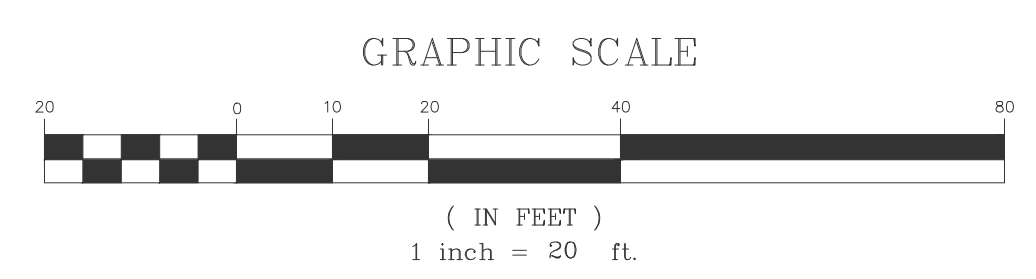
**TELECOMMUNICATIONS PROVIDER:**  
 SOUTH CENTRAL COMMUNICATIONS  
 318 N. 100 E.  
 KANAB, UT 84741  
 (888) 826-4211

**SOLID WASTE COLLECTION AND DISPOSAL:**  
 ARIZONA STRIP LANDFILL CORPORATION  
 25 S. CENTRAL ST  
 COLORADO CITY, AZ 86021  
 (928) 874-9168

**POLICE & EMERGENCY RESPONSE AGENCIES:**  
 COLORADO CITY MARSHAL'S OFFICE  
 25 S. CENTRAL ST  
 COLORADO CITY, AZ 86021  
 (928) 875-2695

**LINE & SYMBOLS LEGEND**

(Solid line)	DEVELOPMENT BOUNDARY
(Dashed line)	PROPOSED LOT LINE
(Dotted line)	UTILITY & DRAINAGE EASEMENT
(Blue line with 'W')	EXISTING WATER LINE
(Blue line with 'W')	PROPOSED WATER LINE
(Green line with 'S')	EXISTING SEWER LINE
(Green line with 'S')	PROPOSED SEWER LINE
(Green line with 'S')	EXISTING UNDERGROUND POWER LINE
(Green line with 'S')	EXISTING OVERHEAD POWER LINE
(Red line with 'OHP')	PROPOSED UNDERGROUND POWER
(Red line with 'OHP')	PROPOSED OVERHEAD POWER
(Red line with 'OHP')	EXISTING COMMUNICATIONS LINE
(Red line with 'OHP')	PROPOSED COMMUNICATIONS LINE
(Orange line with 'F/O')	EXISTING FIBER-OPTIC LINE
(Orange line with 'F/O')	EXISTING FENCE LINE
(Blue line with 'F')	EXISTING FIRE HYDRANT
(Blue line with 'F')	PROPOSED FIRE HYDRANT
(Blue line with 'F')	PROPOSED WATER VALVE
(Blue line with 'F')	PROPOSED 3/4" WATER SERVICE METER
(Blue line with 'F')	EXISTING POWER POLE / GUY WIRE
(Green circle with 'S')	EXISTING SEWER MANHOLE
(Green circle with 'S')	PROPOSED SEWER MANHOLE
(Green circle with 'S')	PROPOSED 4" SEWER LATERAL



**TCT ENGINEERING**  
 1965 S HAMMON ST, COLORADO CITY, AZ  
 TEL: (435) 634-6477  
 E-MAIL: tctimpson@tct.com

**PRELIMINARY PLAT FOR  
 SHORT CREEK SUBDIVISION #1 PARTIAL AMENDMENT "A"  
 AMENDING LOTS 5 & 40**

LOT #5, & LOT #40, SHORT CREEK SUBDIVISION #1  
 LOCATED IN THE SE 1/4 OF SECTION 33, T43S, R10W, SLB&M, HILDALE, UT

**REVISIONS**

REV	DATE	DESCRIPTION

PROJECT NO: 210907  
 CAD DWG. FILE: 210907\_2\_Lot 5 & 40.dwg  
 DRAWN BY: TCT  
 DESIGNED BY: TCT  
 FIELD CREW:  
 CHECKED BY:  
 DATE: 11-28-22

SHEET:  
**UTILITIES PLAN**

**C2.4**

Warranty Deed Page 1 of 2  
Russell Shirts Washington County Recorder  
04/23/2020 04:06:21 PM Fee \$40.00 By INVEST  
TITLE SERVICES - ST. GEORGE

WHEN RECORDED MAIL TO:  
TRACY BARLOW JR  
P O BOX 1518  
HILDALE, UT 84784

SPACE ABOVE THIS LINE FOR RECORDERS USE ONLY  
RECORDED AT THE REQUEST OF INWEST TITLE SERVICES, INC. ORDER # 267559

# WARRANTY DEED

**JEFF J. BARLOW, EXECUTIVE DIRECTOR OF THE UNITED EFFORT PLAN TRUST**  
OF HILDALE, COUNTY OF WASHINGTON, STATE OF UT  
HEREBY CONVEY AND WARRANT TO

GRANTOR(S)

**TRACY BARLOW JR., A MARRIED MAN**

GRANTEE(S)

OF HILDALE, COUNTY OF WASHINGTON, STATE OF UT  
FOR THE SUM OF TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION,  
THE FOLLOWING DESCRIBED TRACT OF LAND IN WASHINGTON COUNTY, STATE OF UT:

**(HD-SHCR-1-5)**

**LOT 5, SHORT CREEK SUBDIVISION #1, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND  
OF RECORD IN THE WASHINGTON COUNTY RECORDER'S OFFICE, STATE OF UTAH.**

**SUBJECT TO THE MATTERS SET FORTH ON EXHIBIT "A" ATTACHED HERETO AND MADE A PART  
THEREOF.**

**SUBJECT TO EASEMENTS, RESTRICTIONS, COVENANTS AND RIGHTS OF WAY OF RECORD, AND TAXES FOR  
THE YEAR 2020 AND THEREAFTER.**

WITNESS THE HAND(S) OF SAID GRANTOR(S), THIS 20 DAY OF APRIL, 2020.

THE UNITED EFFORT PLAN TRUST

  
BY: JEFF J. BARLOW, EXECUTIVE DIRECTOR

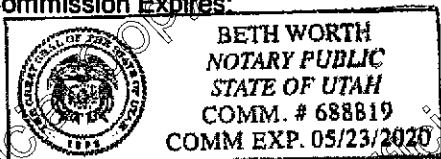
## ACKNOWLEDGMENT

STATE OF UTAH )  
(ss.  
COUNTY OF WASHINGTON )

On this 20 Day of APRIL, 2020, personally appeared before me JEFF J. BARLOW, whose identity is personally known to me, or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that he is the EXECUTIVE DIRECTOR of THE UNITED EFFORT PLAN TRUST, and that said document was signed by him/her behalf of said Trust by the authority of the Trust Agreement and any Amendments thereto, and said JEFF J. BARLOW, acknowledged to me that said Trust executed the same.

  
NOTARY PUBLIC

My Commission Expires: 5/23/2020



 **INVEST TITLE**  
444 EAST TABERNAACLE, #B202  
ST. GEORGE, UT 84770



**EXHIBIT "A"**

1. TAXES FOR THE YEAR 2020 ACCRUING AS A LIEN, BUT NOT YET DUE AND PAYABLE. PRIOR TAX INFORMATION AS FOLLOWS:

YEAR: 2019  
 AMOUNT DUE: \$1,178.08  
 SERIAL NO.: HD-SHCR-1-5

2. THE SUBJECT PROPERTY IS LOCATED WITHIN THE BOUNDARIES OF THE SPECIAL ASSESSMENT DISTRICT(S) SHOWN BELOW, AND IS SUBJECT TO ALL CHARGES AND/OR ASSESSMENTS LEVIED THEREBY:
- DISTRICT(S): WASHINGTON  
 DISTRICT(S): MULTICOUNTY ASSESSING & COLLECTING LEVY  
 DISTRICT(S): COUNTY ASSESSING & COLLECTING LEVY  
 DISTRICT(S): WASHINGTON COUNTY SCHOOL DISTRICT  
 DISTRICT(S): HILDALE CITY  
 DISTRICT(S): THE WASHINGTON COUNTY WATER CONSERVANCY DISTRICT  
 DISTRICT(S): SOUTHWEST MOSQUITO ABATEMENT & CONTROL DISTRICT  
 DISTRICT(S): SOUTH UTAH SHOOTING SPORTS PARK SPECIAL SERVICE DIST.
3. MINERALS OF WHATSOEVER KIND, SUBSURFACE AND SURFACE SUBSTANCES, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND AND GRAVEL IN, ON, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B. THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED.
4. RIPARIAN OR WATER RIGHTS, CLAIMS, OR TITLE TO WATER WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
5. NOTES, SETBACK LINES, CONDITIONS, RESTRICTIONS, EASEMENTS, REQUIREMENTS, STIPULATIONS AND ALL MATTERS AS SET FORTH ON THE RECORDED DEDICATION PLAT.
6. PUBLIC UTILITY AND DRAINAGE EASEMENTS, TOGETHER WITH INCIDENTAL RIGHTS THERETO, OVER THE EAST AND WEST 15 FEET AND OVER THE NORTH AND SOUTH 12.5 FEET OF THE LAND, ALL AS DELINEATED ON THE RECORDED PLAT.
7. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A WARRANTY DEED, RECORDED JUNE 14, 1988, AS ENTRY NO. 333931, IN BOOK 490, AT PAGE 6.
8. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A QUIT-CLAIM DEED, RECORDED MAY 3, 1994, AS ENTRY NO. 465870, IN BOOK 816, AT PAGE 648.
9. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A WARRANTY DEED, RECORDED APRIL 23, 1996, AS ENTRY NO. 530415, IN BOOK 995, AT PAGE 467.
10. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A AFFIDAVIT RECORDED JUNE 30, 2009, AS ENTRY NO. 20090025382.
11. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A QUITCLAIM DEED, RECORDED JULY 1, 2009, AS ENTRY NO. 20090025437.
12. PORTIONS OF SAID LOT LIE WITHIN A FEMA FLOOD ZONE AS SHOWN ON THE RECORDED PLAT.
13. THE RIGHTS OF PARTIES IN POSSESSION OF THE SUBJECT PROPERTY UNDER UNRECORDED LEASES, CONTRACTS, RENTAL OR OCCUPANCY AGREEMENTS AND ANY CLAIMS, RIGHTS OR INTERESTS ARISING THEREUNDER.
14. The Company reserves the right to raise exceptions and requirements or determine that it will not issue a title policy based upon the details of the transaction, the review of the closing documents, and changes in recording and title searching capabilities resulting from the COVID-19 virus.

Warranty Deed Page 1 of 2  
Gary Christensen Washington County Recorder  
08/13/2021 03:25:24 PM Fee \$40.00 By EAGLE  
GATE TITLE INSURANCE AGENCY, INC.

Recording requested by:  
Eagle Gate Title Insurance Agency, Inc.

Mail Tax Notice To:  
NBJC LLC  
2816 Souring Peak Ave  
Henderson, NV 89052

File Number: STG-93464-LH  
Parcel ID: HD-SHCR-1-40

# Warranty Deed

**RICHARD CURTIS JESSOP,**

Grantor, hereby CONVEY(S) IN WARRANTY to

**NBJC LLC, a Utah Limited Liability Company,**

Grantee, for the sum of TEN AND NO/DOLLARS and other good and valuable consideration, the following tract of land in Washington County, State of Utah, to-wit

92464

**Lot 40, SHORT CREEK SUBDIVISION #1, according to the Official Plat thereof on file and of record in the Washington County Recorder's Office.**

**APN: HD-SHCR-1-40**

Subject to easements, restrictions and rights of way appearing of record and enforceable in law and subject to 2021 taxes and thereafter.

WITNESS, the hand of said grantor, this 28 day of July, 2021

*Richard Curtis Jessop*  
Richard Curtis Jessop

STATE OF NORTH DAKOTA  
COUNTY OF WILLIAMS

On this 28<sup>th</sup> day of July, 2021, before me personally appeared Richard Curtis Jessop known to me (or proved to me on the oath of N.D. District Court) to be the person who is described in and who executed the within instrument, and acknowledged to me that that he/she/they executed the same.

*Anna Strader*  
Signature of Notarial Officer  
Title of Office

ANNA STRADER  
Notary Public  
State of North Dakota  
My Commission Expires Nov. 28, 2022

My commission expires: 11/28/2022

Warranty Deed Page 1 of 2

Gary Christensen Washington County Recorder  
09/30/2021 01:53:25 PM Fee \$40.00 By EAGLE  
GATE TITLE INSURANCE AGENCY, INC.

Recording requested by:  
Eagle Gate Title Insurance Agency, Inc.

Mail Tax Notice To:  
NBJC LLC  
2816 Soaring Peak Avenue  
Henderson, NV 89052

File Number: STG-92902-LH  
Parcel ID: HD-SHCR-1-5-A

# Warranty Deed

**JOAN BARLOW,**

Grantor, hereby CONVEY(S) IN WARRANTY to

**NBJC LLC, a Utah Limited Liability Company,**

Grantee, for the sum of TEN AND NO/DOLLARS and other good and valuable consideration, the following tract of land in Washington County, State of Utah, to-wit

**Lot 5-A, SHORT CREEK SUBDIVISION 1, according to the Official Plat thereof on file and of record in the Washington County Recorder's Office.**

**More particularly described as:**

**Beginning at the Northwest Corner of Lot 5 of Short Creek Subdivision #1, recorded and on file in the Office of the Recorder, Washington County, State of Utah, and running thence North 89°56'02" East 82.08 feet along the South line of Lot 4 of said subdivision; thence South 0°01'50" East 131.83 feet, to a point on the North Right of Way line of Field Avenue; thence South 89°53'31" West 82.08 feet along said line, to the Southwest Corner of said Lot 5; thence North 0°01'50" West 131.89 feet along the West line of said Lot 5, to the point of beginning.**

**APN: HD-SHCR-1-5-A**

Subject to easements, restrictions and rights of way appearing of record and enforceable in law and subject to 2021 taxes and thereafter.

**Deed Restriction.** Grantee, on behalf of itself, its successors and assigns, by acceptance and recording of this Warranty Deed, acknowledges that the subject lot lacks utilities and/or other improvements required by local ordinances and regulations, that the City of Hildale has approved a plan for providing utilities and other required improvements to the lot (the "Utility Plan") and that pursuant to Hildale City Code Section 152-39-4 no building permit will be issued for said lot until the approved improvements have been constructed and accepted. The approved Utility Plan for this lot is available for inspection in the office of the Hildale City Recorder at 320 E Newell Ave, PO Box 840490, Hildale, UT 84784.

92902

WITNESS, the hand of said grantor, this 23 day of September, 2021

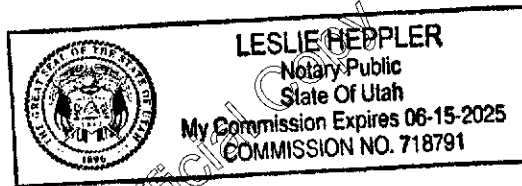
Joan Barlow  
Joan Barlow

STATE OF UTAH  
COUNTY OF WASHINGTON

On this 23 day of September, 2021, before me Leslie Hepler, a notary public, personally appeared Joan Barlow, proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to this instrument, and acknowledged he/she/they executed the same.

Witness my hand and official seal

Leslie Hepler  
Notary Public



Warranty Deed Page 1 of 2

Gary Christensen Washington County Recorder  
03/11/2022 02:37:35 PM Fee \$40.00 By EAGLE  
GATE TITLE INSURANCE AGENCY, INC.

Recording requested by:  
Eagle Gate Title Insurance Agency, Inc.

Mail Tax Notice To:  
NBIC LLC, a Utah Limited Liability Company  
2816 Soaring Peak Avenue  
Henderson, NV 89052

File Number: STG-95574-LH  
Parcel ID: HD-SHCR-1-5-B

# Warranty Deed

**JOHN BARLOW AND CANDI SHAPLEY,**

Grantors, hereby CONVEY(S) IN WARRANTY to

**NBIC LLC, a Utah Limited Liability Company,**

Grantee, for the sum of TEN AND NO/DOLLARS and other good and valuable consideration, the following tract of land in Washington County, State of Utah, to-wit

**Lot 5-B, SHORT CREEK SUBDIVISION 1, according to the Official Plat thereof on file and of record in the Washington County Recorder's Office.**

**More Particularly described as:**


**Beginning at a point being North 89°56'02" East 82.08 Feet from the Northwest Corner of Lot 5 of Short Creek Subdivision #1, recorded and on file in the Office of the Recorder, Washington County, State of Utah, and running thence North 89°56'02" East 82.08 feet along the South Line of Lot 4 of said Subdivision; thence South 0°01'50" East 131.77 feet to a point on the North Right of Way Line of Field Avenue; Thence South 89°53'31" West 82.08 feet along said line; thence North 0°01'50" West 131.83 feet, to the point of beginning.**

**ARN: HD-SHCR-1-5-B**

Subject to easements, restrictions and rights of way appearing of record and enforceable in law and subject to 2022 taxes and thereafter.


\*\*\* Deed Restriction: Grantee, on behalf of itself, its successors and assigns, by acceptance and recording of this Warranty Deed, acknowledges that the subject to lacks utilities and/or other improvements required by local ordinances and regulations, that the City of Hildale has approved a plan for providing utilities and other required Improvements to the lot(the " Utility Plan"),and that pursuant to Hildale City Code Section 152-39-4no building permit will be issued for said lot until the approved improvements have been constructed and accepted. The approved Utility Plan for this lot is available for inspection in the office of the Hildale City Recorder at 320 E Newell Ave, PO Box 840490, Hildale, UT 84784.

WITNESS, the hand of said grantors, this 11 day of March, 2022

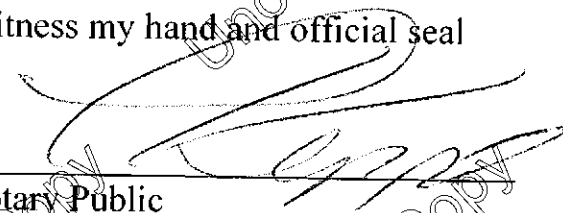
  
\_\_\_\_\_  
John Barlow

  
\_\_\_\_\_  
Candi Shapley

STATE OF UTAH  
COUNTY OF WASHINGTON

On this 11 day of March, 2022, before me  a notary public, personally appeared John Barlow and Candi Shapley, proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to this instrument, and acknowledged he/she/they executed the same.

Witness my hand and official seal

  
\_\_\_\_\_  
Notary Public





435-874-2323  
435-874-2603  
www.hildalecity.com

**From:** Eric Duthie, Hildale City Manager  
**To:** Hildale City Council; Hildale City Mayor  
**Date:** February 8, 2023  
**Subject:** Recommendation for City Recorder appointment

Recently the appointed position of City Recorder was vacated through employee reassignment. I noticed full-time staff of the vacancy and issued an Internal job posting with a closing date of January 20, 2022. This is a full-time position.

Upon review of responses, I recommend that Council appoint Sirrene Barlow to the position of City Recorder.

Sirrene currently serves as the Deputy City Recorder and has taken on the duties of the Recorder position on an interim basis.

City Recorder duties are prescribed in Utah Statute and is under the direction of the Hildale City Manager, as follows:

**STATUTORY DUTIES**

**10-6-137. City recorder -- Office -- Meetings and records -- Certified records as evidence.**

The office of the city recorder shall be located at the place of the governing body or at some other place convenient thereto as the governing body may direct. The city recorder or deputy city recorder shall attend the meetings and keep the record of the proceedings of the governing body. Copies of all papers filed in the recorder's office and transcripts from all records of the governing body, if certified by the recorder under the corporate seal, are admissible in all courts as originals.

**10-6-138. City recorder to countersign contracts -- Indexed record of contracts.**

The city recorder shall countersign all contracts made on behalf of the city and shall maintain a properly indexed record of all such contracts.

**10-6-139. City auditor or recorder -- Bookkeeping duties -- Duties with respect to payment of claims.**

- (1) The city auditor in each city of the first and second class, and the city recorder in each city of the third, fourth, or fifth class shall maintain the general books for each fund of the city and all subsidiary records relating thereto, including a list of the outstanding bonds, their purpose, amount, terms, date, and place payable.
- (2) (a) The city auditor or city recorder shall:
  - (i) keep accounts with all receiving and disbursing officers of the city;



435-874-2323  
435-874-2603  
www.hildalecity.com

**Mayor: Donia Jessop**  
**Councilmembers: Lawrence Barlow, JVar Dutson, Brigham Holm, Terrill Musser, Stacy Seay**  
**City Manager: Eric Duthie**





- (ii) preaudit all claims and demands against the city before the claims or demands are allowed; and
- (iii) prepare the necessary checks in payment.
- (b) The city auditor or city recorder shall verify that:
  - (i) a claim has been preaudited and documented;
  - (ii) a claim has been approved in one of the following ways:
    - (A) purchase order directly approved by the mayor in the council-mayor optional form of government, or the governing body or the governing body's delegate in other cities;
    - (B) claim directly approved by the governing body; or
    - (C) claim approved by the financial officer;
  - (iii) a claim is within the lawful debt limit of the city; and
  - (iv) a claim does not overexpend the appropriate departmental budget established by the governing body.

In addition, the City Recorder shall have the following duties and responsibilities, as assigned by the City Manager:

- Attend public meetings and keep the record of the proceedings.
- Securely maintain all public records.
- Maintain the general books for each fund of the city and all subsidiary records.
- Oversee the proper performance of finance contractors.
- Coordinate the completion and public notification of the annual financial audit of the city.
- Participate in budget preparation meetings.
- Oversee municipal elections.
- Serve as de facto office manager for administrative staff.
- Exercise supervisory responsibilities as assigned by the City Manager.
- Assist in the development of grant funding and distribution
- Liaison with other City Recorders.
- Improve city practices and processes for compliance with government records regulations.
- Train administrative staff of the duties and processes of the position so future transitions (temporary or permanent) may be swift and effective.
- Serve as an assistant to the City Manager.
- Performs other related duties as assigned.



**2023 Hildale City Council Retreat Notes**

**DISCUSSED**

- Personnel movement**
- Finance Contractor**
- Interim Court Clerk**
- Impact Fees**
- 2<sup>nd</sup> Annual Event**
- Natural Gas Tariff**
- Road Base Capital Project**
- Outdoor Recreation Committee status**

**BRIEFED**

- Court Audit**
- Utility IGA/Impact Fee IGA w/DOJ**
- GPS finals**
- SRTS**
- CDBG**
- Audit**
- ARPA funds**
- Annexation**



# Hildale City Council Retreat January 20 & 21, 2023 @ City Hall

☎ 435-874-2323  
☎ 435-874-2603  
🌐 www.hildalecity.com

## Friday, January 20, 2023

8:00- 9:00 **BREAKFAST**

Review agenda and Retreat logistics

9:00-11:30 **SITE VISITS:**

UEP Community Center, Water Canyon Schools, and Utah Tech site.

11:30-12:00 **Break/Refresh**

**Travel to MCC**

12:00 - 2:00 **REGIONAL PARTNERSHIP LUNCHEON**

**@ MCC**

Mayor initiates introductions

Introduce Upper Mesa Economic Development (CM Duthie)

Formal announcement of RCO Grant (Governor’s representative)

Open forum for REGIONAL collaboration

2:00 - 2:30 **Break/Refresh**

**Travel to City Hall**

3:00 - 5:00 **Council General discussion**

Summary of Friday Lunch/Dinner discussions

Grant action report

Legislative report

5:00 - 6:00 **Break/Refresh**

**Travel to home/personal time**

6:00 - 9:00 **Working Dinner @ City Hall**

*City Council, Zoning Commission, Utilities Advisory Board, and staff*

Discuss, train, strategize, and network to improve our community.



☎ 435-874-2323  
☎ 435-874-2603  
🌐 www.hildalecity.com

Mayor: Donia Jessop

Councilmembers: Lawrence Barlow, JVar Dutson, Brigham Holm, Terrill Musser, Stacy Seay

City Manager: Eric Duthie



# Hildale City Council Retreat January 20 & 21, 2023 @ City Hall

☎ 435-874-2323  
📠 435-874-2603  
🌐 www.hildalecity.com

## Saturday, January 21, 2023

### 8:00 - 10:00 **BREAKFAST AND COUNCIL TRAINING**

*City Attorney conducts topics including:*

- Ethics training
- Open Meetings Law training
- Conflict of Interest training
- DOJ visit follow-up.
- Consent Agenda option
- Property Lease parameters
- Water futures

### 10:00–10:30 **Break/Refresh**

### 10:30-12:00 **Council review of 2022 priorities**

*Council and Department Heads*  
 2022 Goals review/status  
 2023 Goals status/plan

### 12:00 - 2:00 **COUNCIL/CHAMBER OF COMMERCE BOARD LUNCH**

*Council/CofC Board and staffs*  
 Economic Development Partnership Overview:  
 Partner Priorities, Roles, and Duties  
 Strategize for business success.

### 2:00 - 2:30 **Break/Refresh**

### 2:30 - 5:00 **Council Forum**

*Council and selected staff*  
 Vision, Goals, Objectives, Strategy, Actions, Assignments

### 5:00 **Close**



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Mayor: Donia Jessop  
 Councilmembers: Lawrence Barlow, JVar Dutson, Brigham Holm, Terrill Musser, Stacy Seay  
 City Manager: Eric Duthie



## Hildale City Council Retreat January 20 & 21, 2023 @ City Hall

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### Council related calendar 2023

<i>UZONA Chamber lunch meetings</i>	<i>Wednesdays 12:00pm</i>	<i>Various</i>
<i>What's Up Down South Econ Summit</i>	<i>Wed 2/1/2023</i>	<i>St. George</i>
<i>Regular City Council Meeting</i>	<i>Wed 2/8/2023</i>	<i>City Hall</i>
<i>Presidents Day Holiday</i>	<i>Mon 2/20/ 2023</i>	<i>Office Closed</i>
<i>H.E.A.T. Program on-site</i>	<i>Wed 3/1/2023 9:00am</i>	<i>Applications</i>
<i>Regular City Council Meeting</i>	<i>Wed 3/8/2023</i>	<i>City Hall</i>
<i>Water Canyon School Spring Break</i>	<i>Mon 3/13 - Fri 3/17, 2023</i>	<i>NO SCHOOL</i>
<i>Colorado City School Spring Break</i>	<i>Wed 3/15 - Thu 3/16/2023</i>	<i>NO SCHOOL</i>
<i>Regular City Council Meeting</i>	<i>Wed 4/5/2023</i>	<i>City Hall</i>
<i>ULCT Spring Conference</i>	<i>Wed 4/19/2023 to Fri 4/21/2023</i>	<i>St. George</i>
<i>One Utah Summit</i>	<i>Mon 5/1 - Tue 5/2/2023</i>	<i>Cedar City</i>
<i>Regular City Council Meeting</i>	<i>Wed 5/10/2023</i>	<i>City Hall</i>
<i>Colorado City Schools Last Day</i>	<i>Wed 5/24/2023</i>	<i>Classes End</i>
<i>Water Canyon School Last Day</i>	<i>Thu 5/24/2023</i>	<i>Classes End</i>
<i>Memorial Day Holiday</i>	<i>Mon 5/29/2023</i>	<i>Office Closed</i>
<i>Regular City Council Meeting</i>	<i>Wed 6/7/2023</i>	<i>City Hall</i>
<i>Juneteenth Holiday</i>	<i>Mon 6/19/2023</i>	<i>Office Closed</i>
<i>Independence Day Holiday</i>	<i>Tue 7/4/2023</i>	<i>Office Closed</i>
<i>Regular City Council Meeting</i>	<i>Wed 7/5/2023</i>	<i>City Hall</i>
<i>Regular City Council Meeting</i>	<i>Wed 8/9/2023</i>	<i>City Hall</i>
<i>City Primary Election Day</i>	<i>Tue 8/15/2023</i>	<i>Mail-in ballot</i>
<i>Labor Day Holiday</i>	<i>Mon 9/4/2023</i>	<i>Office Closed</i>
<i>ULCT Conference</i>	<i>Wed 9/6 - Fri 9/8/2023</i>	<i>Salt Lake City</i>
<i>Regular City Council Meeting</i>	<i>Wed 9/13/2023</i>	<i>City Hall</i>
<i>Columbus Day Holiday</i>	<i>Mon 10/9/2023</i>	<i>Office Closed</i>
<i>Regular City Council Meeting</i>	<i>Wed 10/11/2023</i>	<i>City Hall</i>
<i>City General Election Day</i>	<i>Tue 11/7/2023</i>	<i>If Needed</i>
<i>Veterans Day Holiday</i>	<i>Fri 11/10/2023</i>	<i>Office Closed</i>
<i>Thanksgiving Day Holiday</i>	<i>Thu 11/23/2023</i>	<i>Office Closed</i>
<i>Day After Thanksgiving</i>	<i>Fri 11/24/2023</i>	<i>Office Closed</i>
<i>Regular City Council Meeting</i>	<i>Wed 12/6/2023</i>	<i>City Hall</i>
<i>Christmas Holiday</i>	<i>Mon 12/25/2023</i>	<i>Office Closed</i>



**Mayor: Donia Jessop**  
**Councilmembers: Lawrence Barlow, JVar Dutson, Brigham Holm, Terrill Musser, Stacy Seay**  
**City Manager: Eric Duthie**

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To: Hildale City Mayor and Council  
From: City Manager Eric Duthie  
Date: February 8, 2023  
Re: Memo concerning 2023 Regular City Council Meeting dates

As required through Utah statute, the following Hildale City Council Regular Meeting dates and times (All meetings at 6pm) are identified and noticed to the general public:

January 11, 2023

February 8, 2023

March 8, 2023

April 5, 2023

May 10, 2023

June 7, 2023

July 5, 2023

August 9, 2023

September 6, 2023

October 4, 2023

November 8, 2023

December 6, 2023



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**Mayor: Donia Jessop**  
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**City Manager: Eric Duthie**

From: Harrison Johnson  
 To: Hildale City Planning & Zoning Commission; Hildale City Mayor  
 Date: December 6, 2022  
 Subject: Zone Change request

**Applicant Name:** United Effort Plan Trust  
**Agent:** John Barlow  
**Application Type:** Zone Change request  
**Project Address:** RA-1  
**Requested Zoning:** RA-.05  
**Date:** January 5<sup>th</sup>, 2023  
**Prepared by:** Harrison Johnson

**Summary of Application**

The Applicant is requesting approval of a Zone Change.

Amend the zoning map to re-zone Parcel HD-SHCR-6-3, commonly addressed as 785 North Lauritzen Hildale, Utah from the current Residential Agricultural-1 (RA-1) to Residential Agriculture-.5 (RA-.5)

**Background**

The applicant submitted the application on January 4<sup>th</sup>, 2023 to the Hildale City offices and paid the fee of \$100.

The applicant submitted all required documents identified in the application.

The applicant provided addressed, stamped envelopes for all property owners within the required boundary of the subject property.

City staff prepared a Rezone Letter for Neighboring Properties and mailed the letters within the required notice time.

The Public Hearing for this zone change request was noticed, as required.

**General Plan and Zoning**

The property is bounded on the North by Utah Avenue abutting public lands and the Canaan Mountain Wilderness; On the East by Lauritzen Street On the South by a residential property addressed at 745 N Lauritzen Street; and on the West residential property addressed as 345 W Utah Ave; Surrounding properties are zoned RA-1 and Open Space.

**Analysis**

The zone change request complies with required standards for approval, as identified in Hildale Planning and Zoning ordinance, section 152-14-3 Uses allowed; and Sec 152-14-4 Development Standards In Residential Agriculture Zones, as follows:

1. Permitted And Conditional Uses:  
 Permitted and conditional uses allowed within residential agriculture zones shall be as set forth in table 152-14-1 of this section. Permitted and conditional uses are indicated by a "P" or "C", respectively, in the appropriate column. Uses not permitted are indicated by "N". Any use not shown on table 152-14-1 of this section shall be prohibited unless the zoning administrator determines the use is substantially the same as a permitted or conditional use as provided in subsection 152-7-18E4 of this chapter.

TABLE 152-14-1 PERMITTED AND CONDITIONAL USES ALLOWED IN RESIDENTIAL AGRICULTURE ZONES

PERMITTED AND CONDITIONAL USES ALLOWED IN RESIDENTIAL AGRICULTURE ZONES		
	Zones	
Agricultural uses:	RA-1	RA-.5
Agricultural business	P	N
Agricultural industry	N	N
<b>Agriculture</b>	P	<b>P</b>
<b>Animal specialties</b>	P	<b>P</b>
<b>Animals and fowl for recreation and family food production</b>	P	<b>P<sup>3</sup></b>
<b>Stable, private</b>	P	<b>P</b>
Residential uses:		

Assisted living facility	P	P
Boarding house	N	N
Building, accessory	P	P
Dwelling, earth sheltered	P	P
Dwelling, multiple-family	N	N
Dwelling, single-family	P	P
Dwelling, single-family with accessory dwelling unit	P	P
Dwelling, temporary	P	P
Dwelling, two-family	N	N
Guesthouse	P	P
Manufactured home	P	P
Manufactured/mobile home park	N	N
Manufactured/mobile home subdivision	N	N
Protective housing facility	P	P
Residential facility for elderly persons <sup>1</sup>	P	P
Residential facility for persons with a disability <sup>1</sup>	P	P
Residential facility for troubled youth	C	C
Short term rental <sup>4</sup>	P	P
Public and civic uses:		
Auditorium or stadium	N	N
Cemetery	P	P
Church or place of worship	P	P
Club or service organization	N	N
Convalescent care facility	N	N
Cultural service	P	P
Golf course	P	P
Hospital	N	N
Park	P	P
Protective service	P	P
Reception center	N	N
Stable, public	P	N
Utility, minor	P	P
Utility substation	P	P
Commercial uses:		
Agricultural sales and service	N	N



Animal hospital	P	P
Bed and breakfast, home	C	C
Bed and breakfast inn	C	C
Camping Hosting Facility	N	N
Family child daycare facility <sup>2</sup>	P	P
Licensed family child care <sup>2</sup>	C	C
Residential certificate child care <sup>2</sup>	P	P
Garden center	N	N
Kennel, residential	P	P
Media service	N	N
Off Road Recreational Vehicle Rental	C	C
Personal care service, home based <sup>2</sup>	P	P
Personal instruction service, home based <sup>2</sup>	P	P
Produce stand	P	P
Recreational vehicle park	N	N
Residential hosting facility	P	P
Temporary trailer	P	P
Veterinary service	N	N
Warehouse, self-service storage	N	N
Wireless telecommunication facility	See section 10-50-5, table 10-50-1 of this title	

2. Notes:

1. See chapter 46 of this chapter.
2. See chapter 42 of this chapter.
3. See section 152-37-15 of this chapter for permitted animals and fowl.
4. See licensing and operations requirements in title 11 of this code.

3. Accessory

Uses:

Permitted and conditional uses set forth in table 152-14-1 of this section shall be deemed to include accessory uses and activities that are necessarily and customarily associated with and incidental and subordinate to such uses.

1. Accessory uses shall be subject to the same regulations that apply to permitted and conditional uses in the same zone except as otherwise expressly provided in this chapter.
2. No accessory use, building, or structure shall be allowed on a lot unless a permitted or conditional use has been established.
3. Accessory uses in residential agriculture zones shall include, but not be limited to, the following: Garage sales, subject to applicable standards of chapter 48, "Temporary Uses", of this chapter. Garages and off street parking areas, subject to applicable standards of chapter 34, "Off Street Parking And Loading", of this chapter. Hobby activities when conducted by an occupant of the premises solely for personal enjoyment, amusement, or recreation and which does not conflict with any other city ordinance. Home based businesses, subject to applicable standards of chapter 42, "Home Based Businesses", of this chapter. Household pets. Nurseries and greenhouses. Playhouses, patios, porches, gazebos, and incidental storage buildings. Swimming pools and hot tubs for use by residents and their guests.

**Sec 152-14-4 Development Standards In Residential Agricultural Zones**

Development standards within residential agriculture zones shall be as set forth in table 152-14-2 of this section.

TABLE 152-14-2

DEVELOPMENT STANDARDS IN RESIDENTIAL AGRICULTURE ZONES		
Development Standard	Zones	
	RA-1	RA-5
Lot standards:		
Average lot area <sup>1</sup>	1 acre	0.5 acre

Minimum lot area <sup>2</sup>	0.8 acre	0.4 acre
Minimum lot width	100 feet	100 feet
Building standards:		
Maximum height, main building <sup>3</sup>	35 feet	35 feet
Maximum height, accessory building	20 feet	20 feet
Maximum size, accessory building <sup>4</sup>	2,000 square feet	2,000 square feet
Building coverage	50% of lot (see subsection 10-37-12I of this title)	
Distance between buildings	No requirement	No requirement
Setback standards - front yard:		
Any building <sup>5</sup>	25 feet	
Setback standards - rear yard:		
Main building	30 feet	30 feet
Accessory building, including private garage	If located 10 feet from main building: 2 feet. If not, same as main building	
Setback standards - interior side yard:		
Main building	10 feet one side and 20 feet other side	10 feet
Accessory building, including private garage	If located 10 feet from main building: 2 feet. If not, same as main building	
Setback standards - street side yard:		
Main building	20 feet	20 feet
Accessory building	Not permitted	Not permitted

Notes:

1. "Average size" means the total acreage devoted to lots divided by the number of lots. Net density definition shall apply.
2. The indicated number is 80 percent of average lot area requirement.
3. Except as otherwise permitted by subsection 152-14-7C of this chapter.
4. Except as otherwise permitted by subsection 152-14-7B of this chapter.
5. Except as modified by the provisions of subsection 152-37-12F, "Setback Measurement", of this chapter.

**Sec 152-14-5 Regulations Of General Applicability**

The use and development of real property in residential agriculture zones shall conform to regulations of general applicability as set forth in the following chapters of this chapter:

1. Design and compatibility standards: See chapter 33 of this chapter.
2. Landscaping and screening: See chapter 32 of this chapter.
3. Motor vehicle access: See chapter 35 of this chapter.
4. Natural resource inventory: See chapter 31 of this chapter.
5. Off street parking: See chapter 34 of this chapter.
6. Signs: See chapter 36 of this chapter.
7. Supplementary development standards: See chapter 37 of this chapter.

**Sec 152-14-6 Regulations For Specific Uses**

To the extent that use and development of real property includes any matter encompassed by a regulation for a specific use as set forth in Article VI of this chapter, such regulation shall apply in addition to the requirements of this chapter and shall prevail over any conflicting provision of this chapter.

**Sec 152-14-7 Special Regulations**

1. Animals:  
Within RA-1 and RA-.5 zones, where permitted by the zone the keeping of animals shall normally be simultaneous with occupied residential use.
2. Larger Accessory Buildings:  
Notwithstanding the maximum building size limitation shown in section 152-14-4, table 152-14-2 of this chapter, the maximum size of an accessory building may be increased pursuant to a conditional use permit.
3. Increased Height:  
Notwithstanding the height limitations shown in section 152-14-4, table 152-14-2 of this chapter a greater building height may be allowed in residential zones pursuant to a conditional use permit.

**Recommendation**

Staff recommends approval of the zone change request as it remains consistent with Hildale City' General Plan. Additionally, it may accommodate the city's goal of increased density.

**Sample Motions – ZONING CHANGE**

1. I move to recommend approval of the zoning map amendment requested for Parcel HD-SHCR-6-3 commonly addressed as 780 N Lauritzen from the current Residential Agricultural-1 (RA-1) to Residential Agriculture -.5 (RA\_.5)

**Attachments**

- a. Zone Change Application
  - a. Warranty Deed
  - b. Affidavit
  - c. Check
  - d. Zoning Map
- b. Washington County Property Report for parcel HD-SHCR-6-3
- c. Draft copy Rezone Letter for Neighboring Properties
- d. Public Hearing Notice



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# ZONE CHANGE APPLICATION

Fee: Same as original plat fee 160.00

*For Office Use Only:*  
File No. \_\_\_\_\_  
Receipt No. 134970401

*Angela*  
*01/04/23*

Name: John Barlow, UEP Project Manager Telephone: 801.824.4232

Address: 1155 N. Canyon Street #959, Hildale, UT 84784 Fax No. \_\_\_\_\_

Agent (If Applicable): Paul Wilson, Civil Science Telephone: 801.768.7200 ext 173

Email: john@ueptrust.com

Address/Location of Subject Property: 785 North Lauritzen

Tax ID of Subject Property: HD-SHCR-6-3 Existing Zone District: RA-1

Proposed Zoning District and reason for the request (Describe, use extra sheet if necessary)  
RA-0.5

Purpose of rezone application is to split the lot into two separate lots.

Submittal Requirements: The zone change application shall provide the following:

- X a. The name and address of every person or company the applicant represents;
- X b. An accurate property map showing the existing and proposed zoning classifications;
- X c. All abutting properties showing present zoning classifications;
- X d. An accurate legal description of the property to be rezoned;
- X e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- X f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the third Monday of each month at 6:30 p.m. The deadline date to submit the application is 10 business days prior to the scheduled meeting. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.**

\*\*\*\*\*

(Office Use Only)

Date Received: \_\_\_\_\_ Application Complete: YES  NO

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

- F. The City Staff person will decide to either: approve the application, approve the application with conditions, or deny the application.
- G. If the lot split is approved, the property descriptions of each parcel prepared in a deed form can be recorded at the County Recorder Office.
- H. When in the opinion of City Staff, there are significant issues related to the lot split, the Staff may forward the application to the Planning Commission for the hearing and decision.
- I. The decision of the City Staff may be appealed to the Planning Commission.

**IMPROVEMENT REQUIREMENTS:**

Section 10-39-4 of the Land Use Ordinance identifies the improvements required within a subdivision. Even though a lot split is exempt from typical plat submittal requirements, it must still comply with the standards of section 10-39-4, since it is a subdivision. Typically, improvements will include the provision for sewer, water and drainage, along with the construction of curb, gutter, and sidewalk and paving as necessary to match existing paving (or entirely new paving when the street is unimproved.) Such improvements are required on all street frontages of the proposed parcels.





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**Fee: \$300.00**

**LOT SPLITS**

For Office Use Only:  
File No. \_\_\_\_\_  
Receipt No. 134970461

*Angelene*  
*01/04/23*

**APPLICATION & SUBMITTAL CHECKLIST**

**Owner(s) Name:** Jeff Barlow, Exec. Director for UEP Trust **Telephone:** 435-874-1126

**Address:** 1155 N Canyon St., PO Box 959, Hildale, UT 84784 **Fax No.** \_\_\_\_\_

**Agent (If applicable)** Travis Sanders; Paul Wilson **Agent's Phone:** 435-862-1211

**Address of Subject Property:** 785 N Lauritzen St.

**Tax ID of Subject Property:** HD-SHCR-6-3 **Zone District** RA-1

**Proposed Use:** (Describe, use extra sheet if necessary) Splitting the lot in two - one at 0.55 and one at 0.89 would

create an additional lot to be used as another RA-1 lot for future building.

**This application shall be accompanied by the following:**

- 1. One paper copy of plat drawn to scale (typically one-inch equals 50 feet or larger) on an 8 1/2 x 11-inch sheet. Larger if needed to show reasonable detail. One digital copy of plat emailed to [planning@hildalecity.com](mailto:planning@hildalecity.com)
- 2. The plat to show the following detail:
  - Scale, north point
  - Streets and the right of way width
  - Dimensions of proposed lots
  - Location of all buildings and distances from resulting lot lines
  - The location of any significant natural features (creeks, washes, cliffs, etc.)
  - The name, address and phone number of the person or firm who prepared the plat
- 3. Legal description of each of the resulting parcels.
- 4. A completed form from the Washington County Treasurer's office for property located within the lot split verifying that all taxes or special assessments payable on all property within the limits of the lot split are paid in full

**Note: It is important that all applicable information noted above is submitted with the application.**

\*\*\*\*\*

(Office Use Only)

Date Received: \_\_\_\_\_ Received by: \_\_\_\_\_

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

## LOT SPLITS

### PURPOSE:

A lot split is a subdivision of land creating no more than 1 new lot. This type of division may, after a public hearing, be approved by City Staff, without the necessity of preparing and filing a preliminary or final plat.

### PROCESS:

- A. After submittal of a lot split application, City Staff will review the application to determine whether the proposed lot:
- 1.) is not transverse by the mapped lines of a proposed street as shown in the general plan and does not require the dedication of any land for street or other public purposes.
  - 2.) does not impact an existing easement or right of way or, if it does have an impact, evidence that the impact will not impair the use of any such easement or right of way.
  - 3.) has been approved by the culinary water authority and sanitary sewer authority;
  - 4.) is in a zoned area and the lots will meet all the requirements of the zone and conforms to all applicable land use ordinances or has properly received a variance from the requirements of an otherwise conflicting and applicable land use ordinance.
- B. A lot or a parcel resulting from a division of agricultural land is exempt from the plat requirements of this Chapter if the lot or parcel:
- 1) meets the minimum size requirement of applicable zoning; and
  - 2) is not used and will not be used for any nonagricultural purpose.
- C. The creation of a lot under subsection A above shall not be approved until a plan for providing utilities and other required improvements to the proposed lot has been reviewed and signed by all members of the Joint Utility Committee.
- In lieu of an approved utility plan the Joint Utility Committee may approve a deed restriction stating no utilities are currently stubbed to this lot. This deed shall be recorded with the new lot.
- No building permit will be issued for a lot until the approved improvements are constructed and accepted by the City department heads.
- D. The boundaries of each lot or parcel created under subsection A or B above shall be geographically illustrated on a record of survey map submitted with the application for approval by City staff. A deed describing both parcels of ground with any necessary easements shall be prepared to be recorded at the office of the Washington County Recorder.

## **ZONE CHANGE APPLICATION (General Information)**

### **PURPOSE**

All lands within the City are zoned for a specific type of land use (single family residential, multi-family, commercial, industrial, etc.). Zoning occurs to provide for a relationship between various types of land uses which promotes the health, safety, welfare, order, economics, and aesthetics of the community. Zoning is one of the main tools used to implement the City's General Plan.

### **WHEN REQUIRED**

A zone change request is required any time a property owner desires to make a significant change to the use of his/her land. The change may be from one zone density (say 1 acre lots) to smaller lots (10,000 square foot lots). Or, it may be to an entirely different type of use, such as a change from single family zoning to multiple family or commercial zoning. Since the zone applied to your land limits what you can do, a rezoning application is typically the first step toward a change.

### **REQUIRED CONSIDERATIONS TO APPROVE A ZONE CHANGE**

When approving a zone change the following factors should be considered by the Planning Commission and City Council:

1. Whether the proposed amendment is consistent with the Goals, Objectives and Policies of the City's General Plan;
2. Whether the proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property;
3. The extent to which the proposed amendment may adversely affect adjacent property; and
4. The adequacy of facilities and services intended to serve the subject property, including, but not limited to roadways, parks and recreation facilities, police and fire protection, schools, storm water drainage systems, water supplies, and wastewater and refuse collection.

### **PROCESS**

Contact the Planning Department for when the deadline for submission is. After it is deemed complete, staff will review the request, and prepare a report and recommendation for the Planning Commission. This will be reviewed at a public hearing where the applicant should attend, present the project, and respond to questions from the Planning Commission. Since it is a public hearing, members of the public may also have questions or comments. At the public hearing the Planning Commission will review the application and staff's report and forward a recommendation to the City Council of approval, approval with modifications, or denial the zone change application.

Upon receipt of the Planning Commission recommendation, typically 1-2 weeks after the Planning Commission action, the City Council will consider and act on the Commission's recommendation. The action of the City Council is final. If denied, a similar application generally cannot be heard for a year.



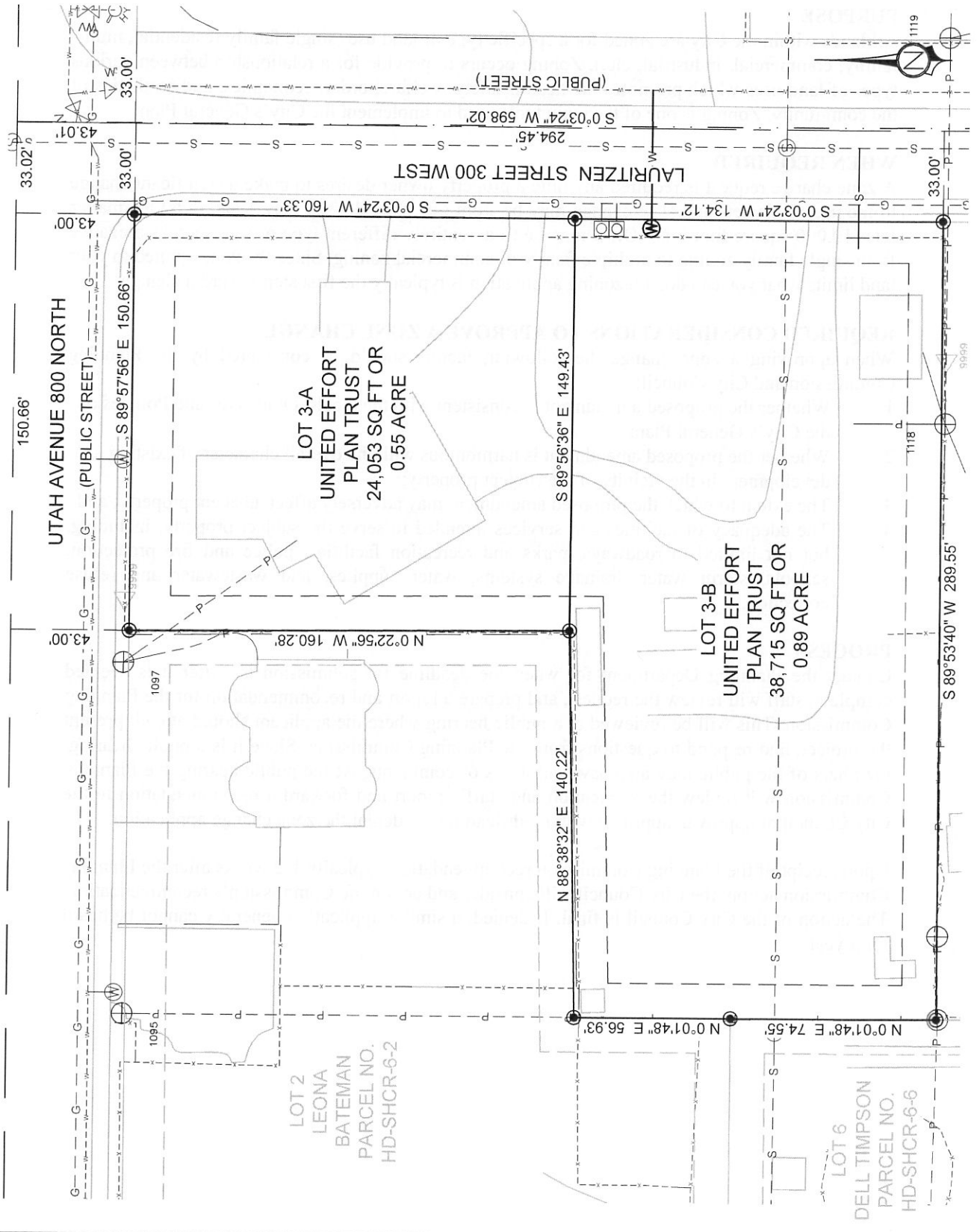


1453 S. DIXIE DRIVE, SUITE 150  
ST. GEORGE, UT 84770  
435.986.0100

PARCEL NO. HD-SHCR-6-3

PROPOSED UTILITIES

FF20068.006



**SURVEYOR'S CERTIFICATE**

I, TRAVIS W. SANDERS, DO HEREBY CERTIFY THAT I HAVE PERSONALLY EXAMINED THE INSTRUMENTS AND THAT I HAVE PERSONALLY SURVEYED THE TRACT OF LAND SHOWN ON THIS PLAN AND DESCRIBED BELOW.



DATE \_\_\_\_\_  
 TRAVIS W. SANDERS, RLS

**BOUNDARY DESCRIPTION**

LOT 3, SHORT CREEK SUBDIVISION #8, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE WASHINGTON COUNTY CLERK'S OFFICE.  
 TO BE KNOWN AS

PARCEL 3A

BEGINNING AT THE NORTHEAST CORNER OF LOT 3, SHORT CREEK SUBDIVISION #8, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, AND THE EAST LINE OF SAID LOT 3, THENCE S 89° 57' 56" E 109.66 FEET ALONG THE NORTH LINE OF SAID LOT 3, TO THE POINT OF BEGINNING.

CONTAINS 24.933 SQ FT OR 0.572 ACRES, MORE OR LESS

PARCEL 3B

BEGINNING AT THE NORTHEAST CORNER OF LOT 4, SHORT CREEK SUBDIVISION #8, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, AND THE EAST LINE TO THE SOUTHWEST CORNER OF LOT 2 OF SUBDIVISION, THENCE S 19° 07' 58" E 143.93 FEET ALONG THE EAST LINE OF SAID LOT 4, TO THE POINT OF BEGINNING.

CONTAINS 34.715 SQ FT OR 0.800 ACRES, MORE OR LESS

**NARRATIVE**

THIS SURVEY WAS CONDUCTED TO DETERMINE THE BOUNDS OF THE SHORT CREEK SUBDIVISION #8, AND THIS TRACT HAS LOT 3 AND LOT 4. PARCELS 3A AND 3B. PARCEL 3A WAS PERFORMED AT THE REQUEST OF THE CLIENT. THE BASIS OF BEARING FOR THIS SURVEY IS S 89° 57' 56" E ALONG THE CENTER LINE OF FIELD AVENUE BETWEEN TWO CENTER LINE MONUMENTS. THE LOCATION OF WHICH ARE SHOWN ON THIS PLAN.

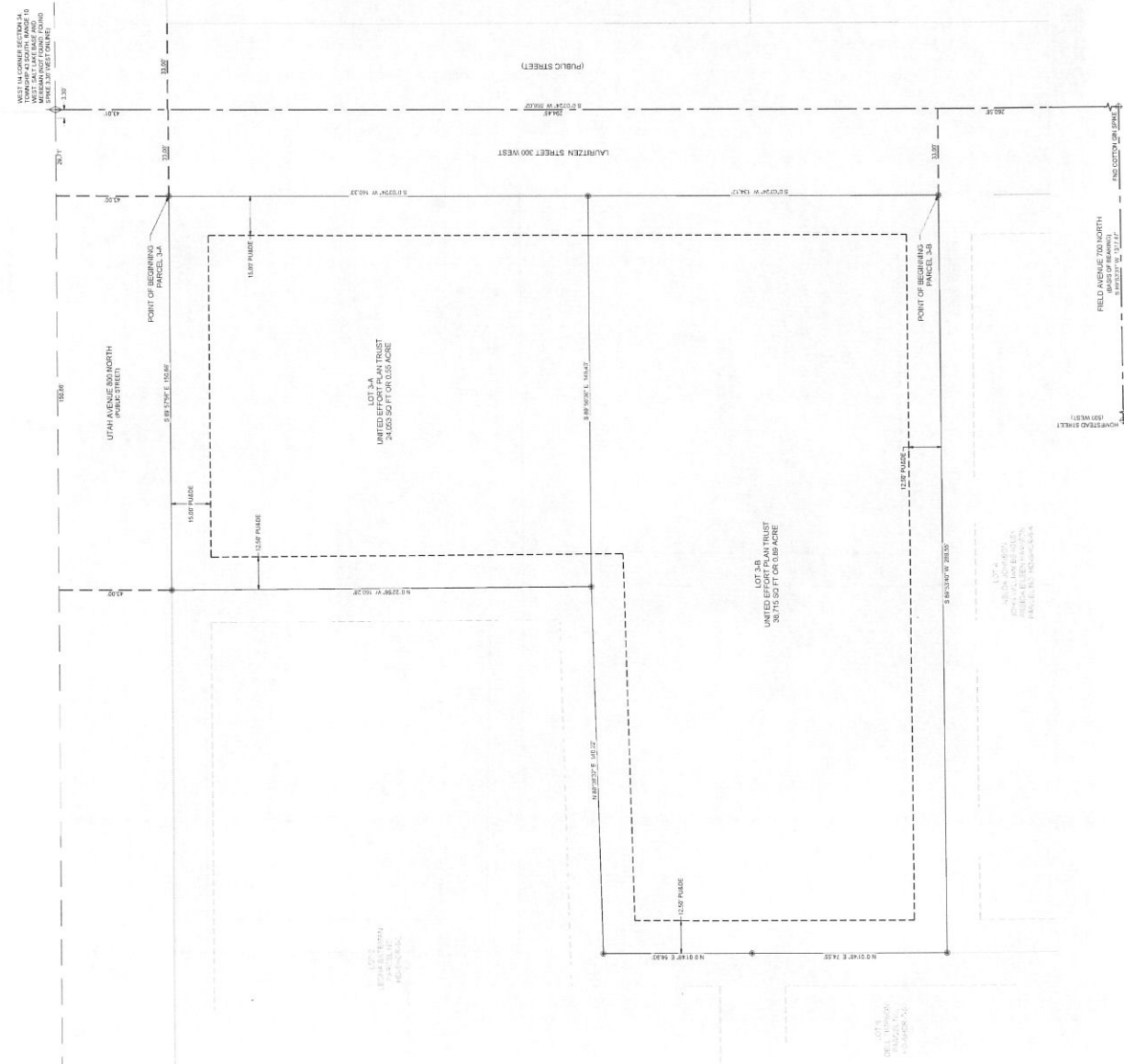
THE FOLLOWING DOCUMENTS OF RECORD WERE REVIEWED AND CONSIDERED IN THE PREPARATION OF THIS SURVEY: THE OFFICIAL PLAT OF SHORT CREEK SUBDIVISION #8, WASHINGTON COUNTY, WY, FILED AND OF RECORD IN THE OFFICE OF THE RECORDER, WASHINGTON COUNTY, ON AUGUST 19, 2014, OWNED BY ROBERT P. HERMANNDSON.

**LEGEND**

- SECTIONAL MONUMENTATION NOT FOUND CALCULATED LOCATION
- ALL BOUNDARY AND PROPERTY (LEFT) CORNERS TO BE SET WITH 5/8" IRON AND CAP STAMPED CIVIL SCIENCE UNLESS OTHERWISE SPECIFIED
- SECTIONS FOUND SURVEY CONTROL MONUMENT AS SHOWN
- ESTABLISHMENT LINE (SEE NOTES)

**NOTES**

- NO ATTEMPT HAS BEEN MADE AS PART OF THIS BOUNDARY SURVEY TO OBTAIN OR SHOW DATA FOR ADJACENT PARCELS. ADJACENT PARCELS ARE IDENTIFIED BY PARCEL NUMBER AND OWNER'S NAME. PLEASE CONTACT THE APPROPRIATE AGENCIES OR OTHER PARTIES FOR NECESSARY INFORMATION REGARDING THESE UTILITIES OR RECORDS.
- SURVEYOR HAS MADE NO INVESTIGATION OR SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIONS, COVENANTS, OR OTHER RIGHTS OR INTERESTS IN THE SUBJECT PROPERTY. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY SUCH RIGHTS OR INTERESTS.
- ALL POINTS OF BEGINNING AND ALL POINTS OF ENDING ARE SHOWN ON THIS PLAN AND RECORDED PLAT.
- THE FIELD WORK WAS PERFORMED ON AUGUST 20, 2020.



**RECORD OF SURVEY PLAT**

LOCATED IN  
 SE 1/4 OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST,  
 SALT LAKE BASE AND MERIDIAN  
 PREPARED FOR:  
 UNITED EFFORT PLAN TRUST

PROJECT NUMBER	1
CHECKED BY	
DATED	08/20/20
DATE	
SCALE	1" = 20'
SHEET	1 OF 1

RECORD OF SURVEY PLAT  
 LOCATED IN  
 SE 1/4 OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST,  
 SALT LAKE BASE & MERIDIAN

1453 S 4035 E DRIVE, SUITE 150  
 ST. GEORGE, UT 84770  
 435.968.0100



**SURVEYOR'S CERTIFICATE**  
 I, TRAVIS W. SANDERS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HAVE PERSONALLY EXAMINED THE RECORD OF SURVEY AND THE PLAT AND DEEDS REFERRED TO AND DESCRIBED BELOW.



DATE: \_\_\_\_\_  
 TRAVIS W. SANDERS, P.L.S.

**BOUNDARY DESCRIPTION**

ORIGINAL LEGAL DESCRIPTION:  
 LOT 3, SHORT CREEK SUBDIVISION #6, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND OF RECORD IN THE WASHINGTON COUNTY RECORDS OF DEEDS TO BE KNOWN AS:  
 PARCEL 3.4  
 THE SOUTHWEST CORNER OF LOT 3, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER OF DEEDS IN WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 289 STAMPED WITH THE SURVEYOR'S SEAL, BEING THE POINT OF BEGINNING TO THE EAST LINE OF LOT 2 OF SAID SUBDIVISION, THENCE IN 22°26' W 162.27 FEET TO THE NORTHEAST CORNER OF SAID LOT 2, THENCE IN 90°00'00" W 142.12 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2, THENCE IN 90°00'00" W 142.12 FEET TO THE POINT OF BEGINNING.  
 PARCEL 3.4  
 BEGINS AT THE SOUTHWEST CORNER OF LOT 3, SHORT CREEK SUBDIVISION #6, ON FILE AND OF RECORD IN THE OFFICE OF THE RECORDER OF DEEDS IN WASHINGTON COUNTY, STATE OF UTAH, AND RABBIT HOLE, 289 STAMPED WITH THE SURVEYOR'S SEAL, BEING THE POINT OF BEGINNING TO THE EAST LINE OF LOT 2 OF SAID SUBDIVISION, THENCE IN 22°26' W 162.27 FEET TO THE NORTHEAST CORNER OF SAID LOT 2, THENCE IN 90°00'00" W 142.12 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2, THENCE IN 90°00'00" W 142.12 FEET TO THE POINT OF BEGINNING.  
 CONTAINS 24,093.50 SQ FT OR 0.55 ACRE MORE OR LESS

**NARRATIVE**

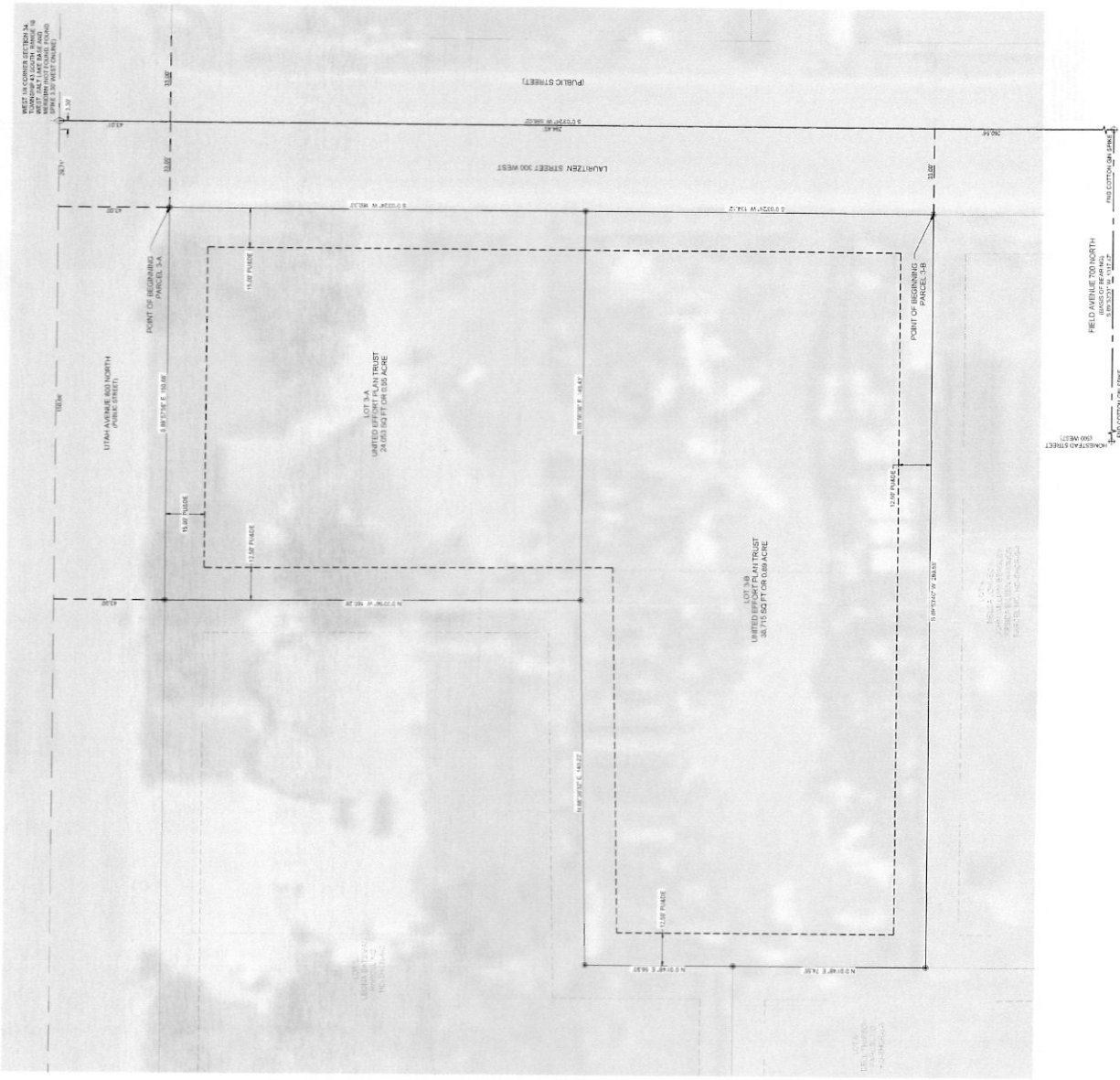
THE PURPOSE OF THIS SURVEY IS TO ESTABLISH THE BOUNDARY OF THE ABOVE DESCRIBED LOT 3 AND TO SET THE POINT OF BEGINNING OF THE SURVEY AT THE SOUTHWEST CORNER OF LOT 2 OF SAID SUBDIVISION. THE BASE OF BEARING FOR THE SURVEY IS S 22°26'11" W ALONG THE CENTER LINE OF THE EAST LINE OF LOT 2 OF SAID SUBDIVISION. THE POINT OF BEGINNING OF THE SURVEY IS THE SOUTHWEST CORNER OF LOT 2 OF SAID SUBDIVISION. THE FOLLOWING DOCUMENTS OF RECORD WERE REVIEWED AND CONSIDERED AS A BASIS FOR THIS SURVEY: ANY INSTRUMENT CONTRADICTORY TO THIS SURVEY SHOULD BE PRESENTED TO THE SURVEYOR FOR REVIEW AND CONSIDERATION.  
 20180803 SHORT CREEK SUBDIVISION #6, COMPLETED ON AUGUST 11, 2018, ISSUED BY ROBERT R. HERNIMANSON.

**LEGEND**

- SECTIONAL MONUMENTATION (NOT FOUND) CALCULATED LOCATION
- ALL BOUNDARY AND PROPERTY (LOT) CORNERS TO BE SET WITH WIRE AND CAP STAMPED CIVIL SCIENCE UNLESS OTHERWISE SPECIFIED ON THE PLAT
- SPECIFIC FOUND SURVEY CONTROL MONUMENT AS SHOWN
- EASEMENT LINE (SEE NOTES)

**NOTES**

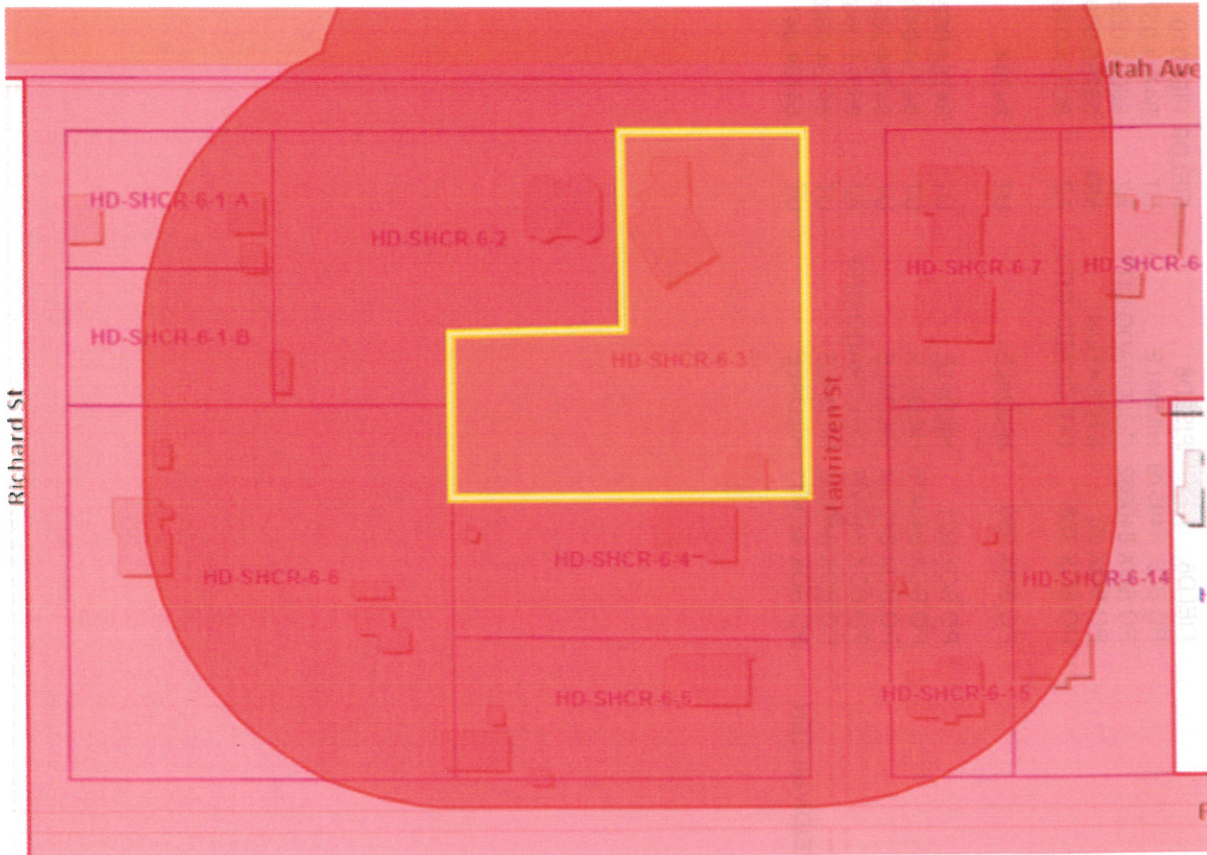
1. NO ATTEMPT HAS BEEN MADE AS A PART OF THIS BOUNDARY SURVEY TO VERIFY OR SHOW EXISTING UTILITIES. THE DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY OR MUNICIPAL SERVICE FACILITY, FOR INFORMATION REGARDING THESE UTILITIES, OWNERS SHOULD CONTACT THE APPROPRIATE AGENCIES OR OTHERS.
2. THIS SURVEY IS BASED ON THE ASSUMPTION THAT THE BOUNDARY OF THE SURVEYED PROPERTY IS AS SHOWN ON THE PLAT AND THAT THE OWNERS HAVE NO OTHER FACTS WHICH WOULD AFFECT THE LOCATION OF THE BOUNDARY OR THE LOCATION OF THE POINT OF BEGINNING.
3. A 15.5 FOOT WIDE PUBLIC UTILITY, ROADWAY AND SIDEWALK EASEMENT EXISTS ON ALL FRONT LOT LINES, AND A 15.5 FOOT WIDE PUBLIC UTILITY EASEMENT EXISTS ON ALL SIDE AND BACK LOT LINES, AS PER RECORDED FINAL PLAT.
4. THE FIELD WORK WAS PERFORMED ON AUGUST 29, 2020.



**RECORD OF SURVEY PLAT**  
 LOCATED IN  
 SE 1/4 OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST,  
 SALT LAKE BASE AND MERIDIAN  
 PREPARED FOR  
 UNITED EFFORT PLAN TRUST

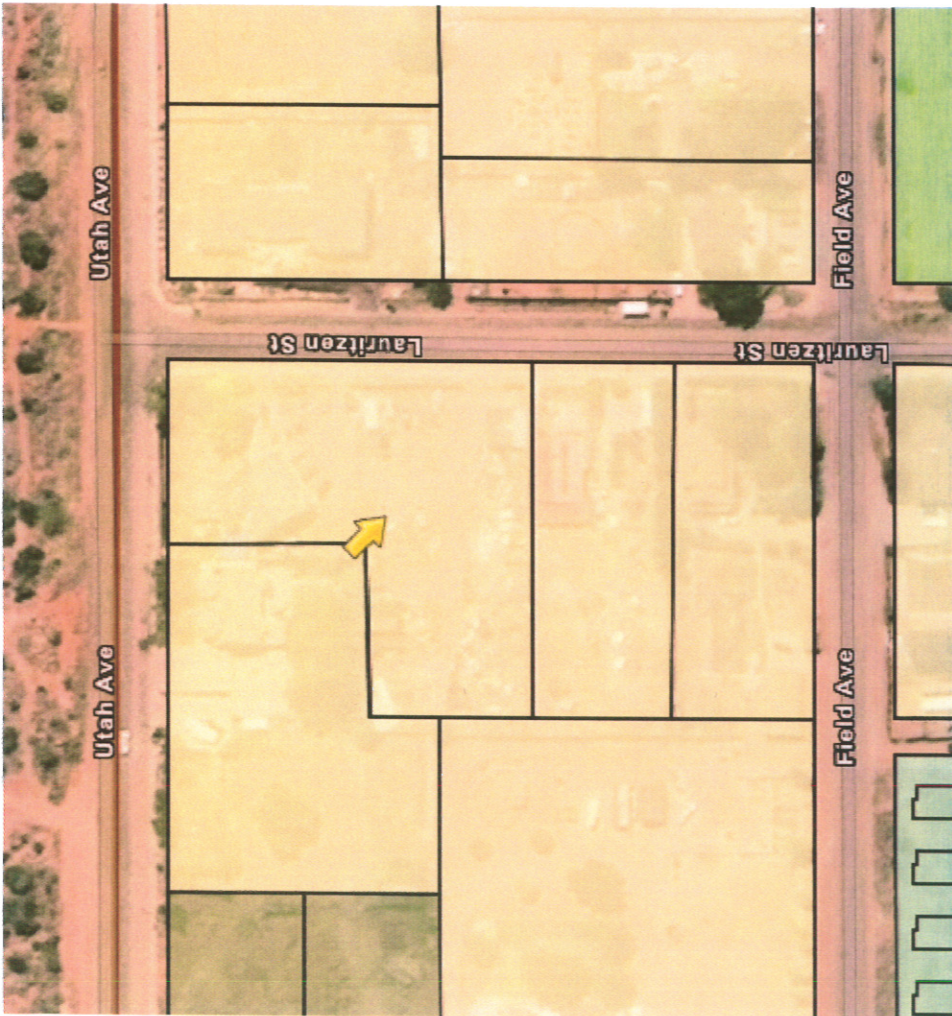
PLAT #	171000100
DATE	08/29/2020
CALCULATED BY	TWS
FOR SCALE	1" = 20'
SHEET	1
OF	1

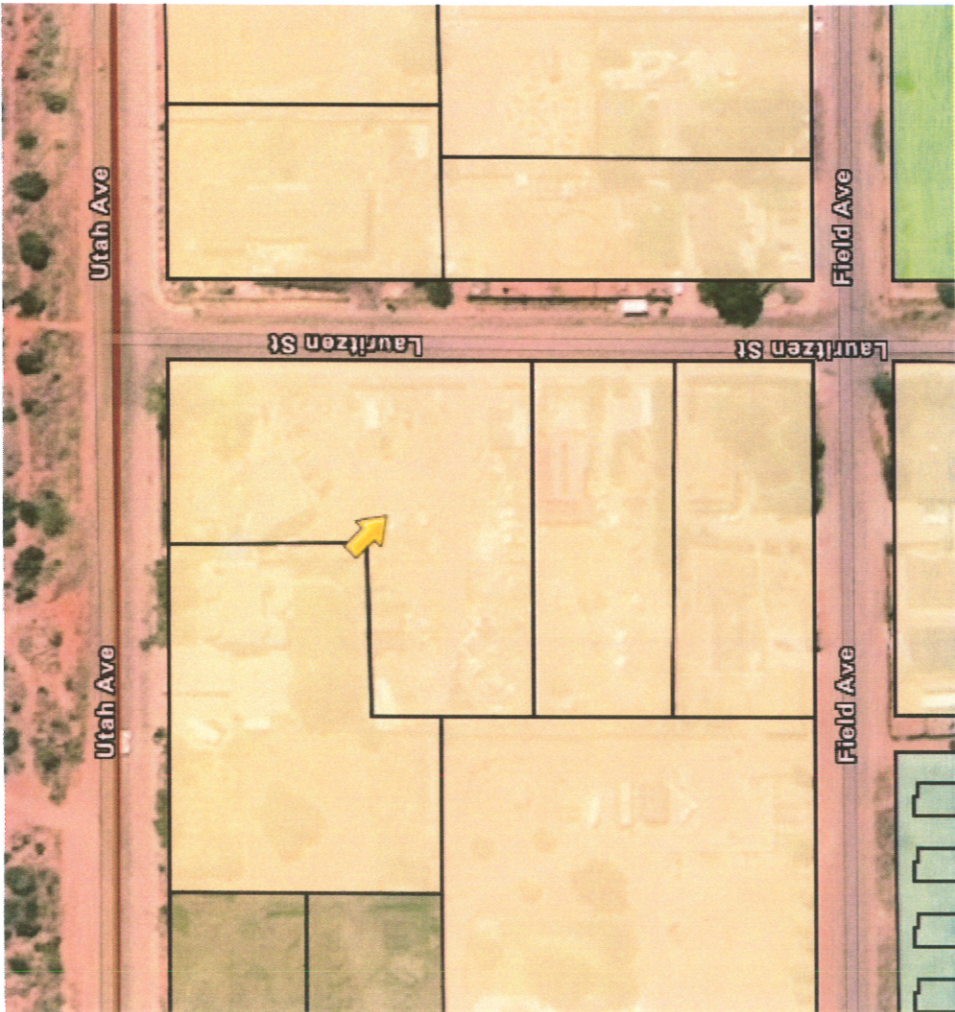
RECORD OF SURVEY PLAT  
 LOCATED IN  
 SE 1/4 OF SECTION 33, TOWNSHIP 43 SOUTH, RANGE 10 WEST,  
 SALT LAKE BASE AND MERIDIAN

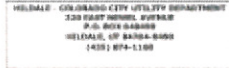


TAX_ID	FIELD5	FIELD6	FIELD8	FIELD9	FIELD10
HD-SHCR-6-5	COX KATHRYN, COX EARLENE	PO BOX 840579	HILDALE	UT	84784-0579
HD-SHCR-6-1-B	TIMPSON DELL JESSOP JR	PO BOX 840662	COLORADO CITY	AZ	86021-0662
HD-SHCR-6-7	WILLIAMS THOMAS	PO BOX 89	STOCKTON	MO	65785-0089
HD-SHCR-6-2	BATEMAN LEONA	PO BOX 486	COLORADO CITY	AZ	86021-0486
HD-SHCR-6-3	UNITED EFFORT PLAN	PO BOX 959	HILDALE	UT	84784
HD-SHCR-6-15	BARLOW THOMAS VAUGHN TR	PO BOX 621	HILDALE	UT	84784-0621
HD-SHCR-6-8	WILLIAMS ALISON P & JEROMY R, WILLIAMS THOMAS G	PO BOX 840475	HILDALE	UT	84784-0475
HD-SHCR-6-14	HOLM ALEC	PO BOX 842884	HILDALE	UT	84784-2884
HD-SHCR-6-1-A	TIMPSON DELL JESSOP JR	PO BOX 840662	COLORADO CITY	AZ	86021-0662
HD-SHCR-6-6	TIMPSON DELL	PO BOX 840662	HILDALE	UT	84784-0662
HD-SHCR-6-4	JOHNSON NELDA, BEAGLEY JOHN WILLIAM, HAMMON FREIDA EILEEN	PO BOX 840411	HILDALE	UT	84784-0411









Hildale City  
320 E.Newel Ave  
Hildale, UT 84784  
(435) 874-1160  
ar@hildalecity.com

XBP Confirmation Number: 134970461

▶ Transaction detail for payment to Hildale City.		Date: 01/04/2023 - 4:58:35 PM MT	
<b>Transaction Number: 189625067PT</b> <b>Visa — XXXX-XXXX-XXXX-8349</b> <b>Status: Successful</b>			
Account #	Item	Quantity	Item Amount
ZONE CHANGE APP	Land Use	1	\$100.00
LOT SPLIT	Land Use	1	\$300.00

**TOTAL: \$400.00**

**Billing Information**

JOHN BARLOW  
785 NORTH LAURITZEN ST  
HILDALE, UT 84784  
(801) 824-4232

Transaction taken by: Admin AChatwin



From: Harrison Johnson  
 To: Hildale City Planning & Zoning Commission; Hildale City Mayor  
 Date: December 6, 2022  
 Subject: Zone Change request

**Applicant Name:** John Barlow  
**Agent:** N/A  
**Application Type:** Zone Change request  
**Project Address:** RA-1  
**Requested Zoning:** RM-2  
**Date:** January 5<sup>th</sup>, 2023  
**Prepared by:** Harrison Johnson

**Summary of Application**

The Applicant is requesting approval of a Zone Change.

Amend the zoning map to re-zone Parcel HD-SHCR-6-7, commonly addressed as 780 North Lauritzen Hildale, Utah from the current Residential Agricultural-1 (RA-1) to Residential Multifamily-2 (RM-2).

**Background**

The applicant submitted the application on January 4<sup>th</sup>, 2023 to the Hildale City offices and paid the fee of \$100.

The applicant submitted all required documents identified in the application.

The applicant provided addressed, stamped envelopes for all property owners within the required boundary of the subject property.

City staff prepared a Rezone Letter for Neighboring Properties and mailed the letters within the required notice time.

The Public Hearing for this zone change request was noticed, as required.

**General Plan and Zoning**

The property is bounded on the North by Utah Avenue abutting public lands and the Canaan Mountain Wilderness; On the East by residential property addressed 265 W Utah Ave; On the South by a residential property addressed at 290 W Field Ave; and on the West by Lauritzen Street; Surrounding properties are zoned RA-1 and Open Space.

**Analysis**

The zone change request complies with required standards for approval, as identified in Hildale Planning and Zoning ordinance, section 152-13-3 Uses allowed; and Sec 152-13-4 Development Standards In Residential Zones, as follows:

**Sec 152-13-3 Uses Allowed**

1. Permitted And Conditional Uses:

Permitted and conditional uses allowed within residential zones shall be as set forth in table 152-13-1 of this section. Permitted and conditional uses are indicated by a "P" or "C", respectively, in the appropriate column. Uses not permitted are indicated by "N". Any use not shown on table 152-13-1 of this section shall be prohibited unless the zoning administrator determines the use is substantially the same as a permitted or conditional use as provided in subsection 152-7-18E4 of this chapter.

TABLE 152-13-1 PERMITTED AND CONDITIONAL USES ALLOWED IN RESIDENTIAL ZONES

PERMITTED AND CONDITIONAL USES ALLOWED IN RESIDENTIAL ZONES							
	Zones						
	R1-15	R1-10	R1-8	RM-1	RM-2	RM-3	MH/RV
Agricultural uses:							
Accessory building	P	P	P	P	P	P	P
Agricultural business	N	N	N	N	N	N	N
Agricultural industry	N	N	N	N	N	N	N
Agriculture	N	N	N	N	N	N	N
Agriculture residential	P	P	P	P	P	P	P
Animal specialties	P	P	N	N	N	N	N

Animals and fowl for recreation and family food production	P <sup>3</sup> /C	P <sup>3</sup> /C	P <sup>3</sup>	N	N	N	N
Stable, private	N	N	N	N	N	N	N
Residential uses:							
Assisted living facility	C	C	C	N	N	N	N
Boarding house	N	N	N	N	N	N	N
Building, accessory	P	P	P	P	P	P	P
Dwelling, earth sheltered	P	P	P	P	P	P	N
Dwelling, multiple-family	N	N	N	P	P	P	N
Dwelling, single-family	P	P	P	P	P	P	P
Dwelling, single-family with accessory dwelling unit	P	P	P	N	N	N	N
Dwelling, temporary	P	P	P	P	P	P	P
Dwelling, two-family	N	N	N	P	P	P	N
Guesthouse or casita with direct access to main dwelling unit	P	P	P	N	N	N	N
Guesthouse or casita without direct access to main dwelling unit	C	C	C	N	N	N	N
Manufactured home	P	P	P	N	N	N	P
Manufactured/mobile home park	N	N	N	N	N	N	P
Manufactured/mobile home subdivision	N	N	N	N	N	N	P
Protective housing facility	N	N	N	N	N	N	N
Rehabilitation/treatment facility	N	N	N	N	N	N	N
Residential facility for elderly persons <sup>1</sup>	P	P	P	P	P	P	P
Residential facility for persons with a disability <sup>1</sup>	P	P	P	P	P	P	P
Residential facility for troubled youth	N	N	N	N	N	N	N
Short term rental <sup>4</sup>	P	P	P	N	N	N	N
Transitional housing facility	N	N	N	N	N	N	N
Public and civic uses:							
Airport	N	N	N	N	N	N	N
Auditorium or stadium	N	N	N	N	N	N	N
Bus terminal	N	N	N	N	N	N	N
Cemetery	P	P	P	P	P	P	P
Church or place of worship	P	P	P	P	P	P	P
Club or service organization	N	N	N	N	N	N	N
College or university	N	N	N	N	N	N	N
Convalescent care facility	N	N	N	N	N	N	N
Correctional facility	N	N	N	N	N	N	N
Cultural service	N	N	N	N	N	N	N
Golf course	P	P	P	P	P	P	P
Government service	N	N	N	N	N	N	N
Hospital	N	N	N	N	N	N	N
Operations center	N	N	N	N	N	N	N

Park	P	P	P	P	P	P	P
Post office	N	N	N	N	N	N	N
Protective service	P	P	P	P	P	P	P
Reception center	N	N	N	N	N	N	N
School, elementary, middle, high or private	P	P	P	P	P	P	P
School, vocational	N	N	N	N	N	N	N
Stable, public	N	N	N	N	N	N	N
Utility, major	N	N	N	N	N	N	N
Utility, minor	P	P	P	P	P	P	P
Commercial uses:							
Agricultural sales and service	N	N	N	N	N	N	N
Animal hospital	N	N	N	N	N	N	N
Bail bond service	N	N	N	N	N	N	N
Bank or financial institution	N	N	N	N	N	N	N
Bed and breakfast, home (Less than or Equal to 2; Owner Occupied)	C	C	C	N	N	N	C
Bed and breakfast inn (Between 3 and 10)	C	C	C	N	N	N	C
Business equipment rental, services, and supplies	N	N	N	N	N	N	N
Camping Hosting Facility	N	N	N	N	N	N	N
Car wash	N	N	N	N	N	N	N
Club, private	N	N	N	N	N	N	N
Construction sales and service	N	N	N	N	N	N	N
Convenience store	N	N	N	N	N	N	N
Family child daycare facility <sup>2</sup>	P	P	P	P	P	P	P
Licensed family child care <sup>2</sup>	C	C	C	C	C	C	C
Residential certificate child care <sup>2</sup>	P	P	P	P	P	P	P
Child care center	N	N	N	N	N	N	N
Funeral home	N	N	N	N	N	N	N
Garden center	N	N	N	N	N	N	N
Gas and fuel, storage and sales	N	N	N	N	N	N	N
Gasoline service station	N	N	N	N	N	N	N
Hostel	N	N	N	N	N	N	N
Hotel	N	N	N	N	N	N	N
Kennel, commercial	N	N	N	N	N	N	N
Kennel, residential	P	P	P	P	P	P	P
Laundry or dry cleaning, limited	N	N	N	N	N	N	N
Liquor store	N	N	N	N	N	N	N
Media service	N	N	N	N	N	N	N
Medical or dental laboratory	N	N	N	N	N	N	N

Medical service	N	N	N	N	N	N	N
Motel	N	N	N	N	N	N	N
Office, general	N	N	N	N	N	N	N
Off Road Recreational Vehicle Rental	C	C	C	N	N	N	N
Parking garage, public	N	N	N	N	N	N	N
Parking lot, public	N	N	N	N	N	N	N
Pawnshop	N	N	N	N	N	N	N
Personal care service, home based <sup>2</sup>	P	P	P	P	P	P	P
Personal instruction service, home based <sup>2</sup>	P	P	P	P	P	P	P
Printing and copying, limited	N	N	N	N	N	N	N
Printing, general	N	N	N	N	N	N	N
Produce stand	N	N	N	N	N	N	N
Recreation and entertainment, indoor	N	N	N	N	N	N	N
Recreation and entertainment, outdoor	N	N	N	N	N	N	N
Recreational vehicle park	N	N	N	N	N	N	P
Repair service	N	N	N	N	N	N	N
Research service	N	N	N	N	N	N	N
Residential hosting facility	P	P	P	N	N	N	N
Restaurant, fast food	N	N	N	N	N	N	N
Restaurant, general	N	N	N	N	N	N	N
Retail, general	N	N	N	N	N	N	N
Secondhand store	N	N	N	N	N	N	N
Shopping center	N	N	N	N	N	N	N
Tattoo establishment	N	N	N	N	N	N	N
Tavern	N	N	N	N	N	N	N
Temporary trailer	P	P	P	P	P	P	P
Transportation service	N	N	N	N	N	N	N
Vehicle and equipment rental or sale	N	N	N	N	N	N	N
Vehicle and equipment repair, general	N	N	N	N	N	N	N
Vehicle repair, limited	N	N	N	N	N	N	N
Veterinary service	N	N	N	N	N	N	N
Warehouse, self-service storage	N	N	N	N	N	N	N
Wireless telecommunication facility	See section 10-50-5, table 10-50-1 of this title						
Industrial uses:							
Automobile wrecking yard	N	N	N	N	N	N	N
Freight terminal	N	N	N	N	N	N	N
Heavy industry	N	N	N	N	N	N	N
Junk or salvage yard	N	N	N	N	N	N	N
Laundry services	N	N	N	N	N	N	N

Manufacturing, general	N	N	N	N	N	N	N
Manufacturing, limited	N	N	N	N	N	N	N
Mineral extraction	N	N	N	N	N	N	N
Wholesale and warehousing, general	N	N	N	N	N	N	N
Wholesale and warehousing, limited	N	N	N	N	N	N	N

2. Notes:

1. See chapter 46 of this chapter.
2. See chapter 42 of this chapter.
3. See section 152-37-15 of this chapter for permitted animals and fowl.
4. See licensing and operations requirements in title 11 of this code.

3. Accessory Uses:

Permitted and conditional uses set forth in table 152-13-1 of this section shall be deemed to include accessory uses and activities that are necessarily and customarily associated with and incidental and subordinate to such uses.

1. Accessory uses shall be subject to the same regulations that apply to permitted and conditional uses in the same zone except as otherwise expressly provided in this chapter.
2. No accessory use, building, or structure shall be allowed on a lot unless a permitted or conditional use has been established.
3. Accessory uses in residential zones shall include, but not be limited to, the following: Garage sales, subject to applicable standards of chapter 48, "Temporary Uses", of this chapter. Garages and off street parking areas, subject to applicable standards of chapter 34, "Off Street Parking And Loading", of this chapter. Hobby activities when conducted by an occupant of the premises solely for personal enjoyment, amusement, or recreation and which does not conflict with any other city ordinance. Home based businesses, subject to applicable standards of chapter 42, "Home Based Businesses", of this chapter. Household pets. Nurseries and greenhouses, when used for family food production. Playhouses, patios, porches, gazebos, and incidental storage buildings. Swimming pools and hot tubs for use by residents and their guests.

4.

**Sec 152-13-4 Development Standards In Residential Zones**

Development standards within residential zones shall be as set forth in table 152-13-2 of this section.

TABLE 152-13-2

DEVELOPMENT STANDARDS IN RESIDENTIAL ZONES							
	Zones						
Development Standard	R1-25	R1-15	R1-10	R1-8	RM-1	RM-2	RM-3
Lot standards:							
Average lot area <sup>2</sup>	15,000 sq. ft.	15,000 sq. ft.	10,000 sq. ft.	8,000 sq. ft.	n/a	n/a	n/a
Minimum lot area or acreage	12,000 sq. ft.	12,000 sq. ft.	8,000 sq. ft.	6,400 sq. ft.	10,000 sq. ft.	1 acre	1 acre
Minimum lot width and/or project frontage	89 ft.	90 ft.	80 ft.	70 ft.	80 ft. project	100 ft. project	200 ft. project
					30 ft. unit	30 ft. unit	30 ft. unit
/	n/a	n/a	n/a	n/a	6 units/lots	10 units/lots	15 units/lots
Building standards:							
Maximum height, main building <sup>3</sup>	34 ft.	35 ft.	35 ft.	35 ft.	35 ft.	35 ft.	35 ft.
Maximum height, accessory building <sup>4</sup>	19 ft.	20 ft.	20 ft.	20 ft.	20 ft.	20 ft.	20 ft.
Maximum size, accessory building	1,200 sq. ft.	1,200 sq. ft.	1,200 sq. ft.	500 sq. ft.	1,000 sq. ft.	1,000 sq. ft.	500 sq. ft.
Building coverage: See subsection 10-37-121 of this title	50% of lot	50% of lot	50% of lot	50% of lot	50% of lot	50% of lot	50% of lot
Distance between buildings	No requirement	No requirement	No requirement	No requirement	20 ft.	20 ft.	20 ft.
Setback standards - front yard:							
Any building <sup>5</sup>	24 ft.	25 ft.	25 ft.	25 ft.	25 ft.	25 ft.	25 ft.
Setback standards - rear yard:							

Main building	19 ft.	20 ft.	20 ft.	10 ft.	10 ft.	10 ft.	10 ft.
Accessory building, including private garage <sup>6</sup>	19 ft.	20 ft.	20 ft.	10 ft.	10 ft.	10 ft.	10 ft.
Setback standards - interior side yard:							
Main building	9 ft.	10 ft.	10 ft.	10 ft.	10 ft.	10 ft.	10 ft.
Accessory building, including private garage	See note 6	See note 6	See note 6	See note 6	See note 6	See note 6	See note 6
Setback standards - street side yard:							
Main building <sup>7</sup>	19 ft.	20 ft.	20 ft.	20 ft.	20 ft.	20 ft.	20 ft.
Accessory building	See note 6	See note 6	See note 6	See note 6	See note 6	See note 6	See note 6

Notes:

1. Duplex only permitted on first 10,000 square feet. Any additional units must meet density per acre standards.
2. "Average size" means the total acreage devoted to lots divided by the number of lots. Net density definition shall apply.
3. Except as otherwise permitted by subsection 152-13-7C of this chapter.
4. Except as otherwise permitted by subsection 152-13-7B of this chapter.
5. Except as modified by the provisions of subsection 152-37-12F, "Setback Measurement", of this chapter.
6. If located at least 10 feet from main building, 2 feet from the dripline of the roof. Otherwise, same as for main building.
7. When this side setback is required, rear setback may be reduced to 10 feet.

**Sec 152-13-5 Regulations Of General Applicability**

The use and development of real property in residential zones shall conform to regulations of general applicability as set forth in the following chapters of this chapter:

1. Design and compatibility standards:  
See chapter 33 of this title.
2. Landscaping and screening:  
See chapter 32 of this title.
3. Motor vehicle access:  
See chapter 35 of this title.
4. Natural resource inventory:  
See chapter 31 of this title.
5. Off street parking:  
See chapter 34 of this title.
6. Signs:  
See chapter 36 of this title.
7. Supplementary development standards:  
See chapter 37 of this title.

**Sec 152-13-6 Regulations For Specific Uses**

To the extent that use and development of real property includes any matter encompassed by a regulation for a specific use as set forth in Article VI of this chapter, such regulation shall apply in addition to the requirements of this chapter and shall prevail over any conflicting provision of this chapter.

**Sec 152-13-7 Special Regulations**

1. Animals:  
Within R1, RM, and MH/RV zones, where permitted by the zone, the keeping of animals shall normally be simultaneous with occupied residential use.
2. Larger Accessory Buildings:  
Notwithstanding the maximum building size limitation shown on table 152-13-2 in section 152-13-4 of this chapter, the maximum size of an accessory building may be increased pursuant to a conditional use permit.
3. Increased Height:  
Notwithstanding the height limitations shown on table 152-13-2 in section 152-13-4 of this chapter a greater building height may be allowed in residential zones pursuant to a conditional use permit.
4. Visual Barriers:  
Fencing or other method of providing privacy and a visual barrier to adjacent property shall be constructed around the perimeter of a multiple-family development.
  1. The height of such barrier shall be at least six feet (6').
  2. The barrier material and location shall be identified on an approved site plan.
5. Open Space:  
In multiple-family residential zones, common open space should equal or exceed the ground floor area of all buildings on site. Projects greater than one story should provide common open space equivalent to the ground floor area plus fifty percent (50%) of all additional floor area.

**Recommendation**

Staff recommends approval of the zone change request as it remains consistent with Hildale City' General Plan. Additionally, it may accommodate the city's goal of increased density.

**Sample Motions – ZONING CHANGE**

1. I move to recommend approval of the zoning map amendment requested for Parcel HD-SHCR-6-7 commonly addressed as 780 N Lauritzen from the current Residential Agricultural-1 (RA-1) to Residential Mulitfamily-2 (RM-2).

**Attachments**

- a. Zone Change Application
  - a. Warranty Deed
  - b. Affidavit
  - c. Check
  - d. Zoning Map
- b. Washington County Property Report for parcel HD-SHCR-1-17
- c. Draft copy Rezone Letter for Neighboring Properties
- d. Public Hearing Notice





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☎ 435-874-2603  
🌐 www.hildalecity.com

# ZONE CHANGE APPLICATION

Fee: \$100

<i>For Office Use Only:</i>	
File No.	_____
Receipt No.	<u>134970567</u> <i>Angeline</i>

*01/04/23*

Name: John Barlow Telephone: 8018244232

Address: 880 North Hildale Street, Hildale, UT 84784 Fax No. \_\_\_\_\_

Agent (If Applicable): N/A Telephone: \_\_\_\_\_

Email: johnroybarlow@gmail.com

Address/Location of Subject Property: 780 North Lauritzen, Hildale, UT 84784

Tax ID of Subject Property: HD-SHCR-6-7 Existing Zone District: RA-1

**Proposed Zoning District and reason for the request** (Describe, use extra sheet if necessary)

RM-2: Convert large house to multi-family long-term rental complex.

**Submittal Requirements:** The zone change application shall provide the following:

- a. The name and address of every person or company the applicant represents;
- b. An accurate property map showing the existing and proposed zoning classifications;
- c. All abutting properties showing present zoning classifications;
- d. An accurate legal description of the property to be rezoned;
- e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the third Monday of each month at 6:30 p.m. The deadline date to submit the application is 10 business days prior to the scheduled meeting. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.**

\*\*\*\*\*

(Office Use Only)

Date Received: \_\_\_\_\_ Application Complete: YES  NO





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📠 435-874-2603

🌐 [www.hildalecity.com](http://www.hildalecity.com)

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by:

## **ZONE CHANGE APPLICATION (General Information)**

### **PURPOSE**

All lands within the City are zoned for a specific type of land use (single family residential, multi-family, commercial, industrial, etc.). Zoning occurs to provide for a relationship between various types of land uses which promotes the health, safety, welfare, order, economics, and aesthetics of the community. Zoning is one of the main tools used to implement the City's General Plan.

### **WHEN REQUIRED**

A zone change request is required any time a property owner desires to make a significant change to the use of his/her land. The change may be from one zone density (say 1 acre lots) to smaller lots (10,000 square foot lots). Or, it may be to an entirely different type of use, such as a change from single family zoning to multiple family or commercial zoning. Since the zone applied to your land limits what you can do, a rezoning application is typically the first step toward a change.

### **REQUIRED CONSIDERATIONS TO APPROVE A ZONE CHANGE**

When approving a zone change the following factors should be considered by the Planning Commission and City Council:

1. Whether the proposed amendment is consistent with the Goals, Objectives and Policies of the City's General Plan;
2. Whether the proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property;
3. The extent to which the proposed amendment may adversely affect adjacent property; and
4. The adequacy of facilities and services intended to serve the subject property, including, but not limited to roadways, parks and recreation facilities, police and fire protection, schools, storm water drainage systems, water supplies, and wastewater and refuse collection.

### **PROCESS**

Contact the Planning Department for when the deadline for submission is. After it is deemed complete, staff will review the request, and prepare a report and recommendation for the Planning Commission. This will be reviewed at a public hearing where the applicant should attend, present the project, and respond to questions from the Planning Commission. Since it is a public hearing, members of the public may also have questions or comments. At the public hearing the Planning Commission will review the application and staff's report and forward a recommendation to the City Council of approval, approval with modifications, or denial the zone change application.

Upon receipt of the Planning Commission recommendation, typically 1-2 weeks after the Planning Commission action, the City Council will consider and act on the Commission's recommendation. The action of the City Council is final. If denied, a similar application generally cannot be heard for a year.

AFFIDAVIT  
PROPERTY OWNER

STATE OF UTAH )

COUNTY OF )

I (we), \_\_\_\_\_, being duly sworn, depose and say that I (we) am (are) the owner(s) of the property identified in the attached application and that the statements herein contained and the information provided identified in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge. I (we) also acknowledge that I have received written instructions regarding the process for which I am applying, and the Hildale City Planning staff have indicated they are available to assist me in making this application.

\_\_\_\_\_  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

Subscribed and sworn to me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_.

\_\_\_\_\_  
(Notary Public)

Residing in: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Agent Authorization

I (we), \_\_\_\_\_, the owner(s) of the real property described in the attached application, do authorize as my (our) agent(s) \_\_\_\_\_ to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the City considering this application and to act in all respects as our agent in matters pertaining to the attached application.

\_\_\_\_\_  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

Subscribed and sworn to me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_.

\_\_\_\_\_  
(Notary Public)

Residing in: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Warranty Deed Page 1 of 3  
Gary Christensen Washington County Recorder  
11/22/2022 01:14:21 PM Fee \$40.00 By  
PROSPECT TITLE INSURANCE



Prepared By Prospect Title Insurance  
Agency  
98198-22

After Recording Mail To:  
PO Box 2742  
Colorado City AZ 85002

Space Above This Line for Recorder's Use

**WARRANTY DEED**

GRANTOR(S) Thomas Williams

Hereby CONVEY AND WARRANT(S) to:

GRANTEE(S) John Roy Barlow

for the sum of Ten Dollars and other good and valuable consideration the following described tract(s) of land in Washington County, State of Utah:

**See Attached Exhibit "A"**

Tax Parcel No. HD-SHCR-6-7

SUBJECT TO County Taxes and Assessments not delinquent, Easements, Rights of Way Covenants, Conditions and Restrictions now of record.

WITNESS our hands on 19<sup>th</sup> day of October, 2022.

  
**Thomas Williams**

<sup>Missouri</sup>  
**STATE OF UTAH**  
**COUNTY OF WASHINGTON**

On this 1<sup>st</sup> day of <sup>November</sup> ~~October~~, 2022, before me Jeff Wall, a notary public, personally appeared Thomas Williams, proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to this instrument, and acknowledged he/she/they executed the same.

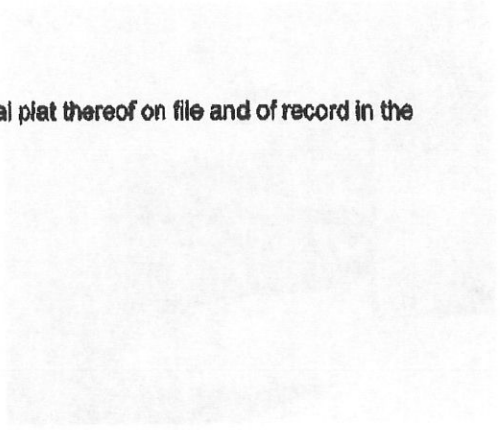
Witness my hand and official seal.

  
**Notary Public**

Property Report for Parcel HD-SHCR-6-7

**EXHIBIT A**

All of Lot 7, Short Creek Subdivision #6, according to the official plat thereof on file and of record in the Washington County Recorder's Office, State of Utah.



Subdivision Name: Short Creek  
Site Address: 700 N. ...  
Map No. ...

Account Number: ...  
Parcel ID: ...  
Owner Name: ...

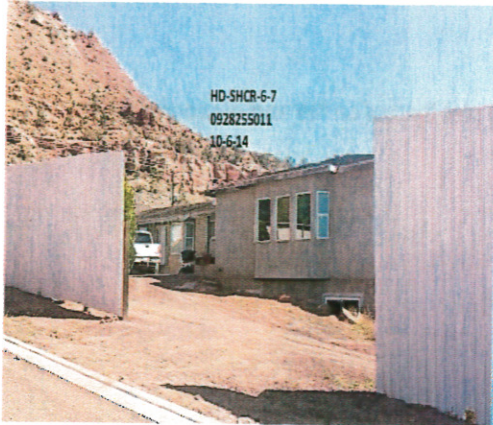
Map Date: ...  
Section: ...  
Township: ...  
Range: ...  
County: ...

Building Number: ...  
Property Type: ...  
Year Built: ...  
Square Feet: ...

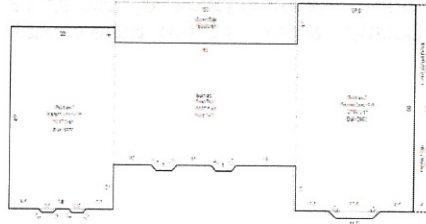
WARRANTY DEED

# Property Report for Parcel **HD-SHCR-6-7**

Data Updated: 1/1/2023



[Click here for images](#)



[Click here for sketches](#)

## Account Summary

Account Number: 0928255  
Parcel ID: HD-SHCR-6-7  
Owner Name: Williams Thomas

Subdivision: Short Creek  
Situs Address: 780 N Lauritzen St  
Hildale, UT 84784

## Building Characteristics

Building Number: 1  
Property Type: Residential  
Year Built: 2003  
Square Feet: 5688

HVAC Desc: Central Air to Air  
Bedrooms: 2  
Bathrooms: 2  
Garage Square Feet: N/A  
Basement Sq. Ft.: 3717  
Basement Sq. Ft. Finished: N/A  
Swimming Pool: N/A  
Fireplaces: 1  
Finished Attic: N/A

Units: 1  
Exterior: Frame Masonry Veneer  
Roof Cover: Composition Shingle

## LEGAL DESCRIPTION:

Legal Subdivision: SHORT CREEK 6 (HD) Lot: 7

*NOTE: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.*

Report Generated 1/4/2023 by Washington County GIS

Washington County, Utah  
County Administration Building  
197 E. Tabernacle Street  
St. George, UT 84770-3443  
[www.washco.utah.gov](http://www.washco.utah.gov)





## Property Report for Parcel **HD-SHCR-6-7**

### Property Information

Acres: 0.73  
 Zoning: Residential-Agricultural 1  
 Is Property in a Special Flood Hazard Area? No  
 Is Property in a 0.2% Annual Chance Flood Area? No  
 Is Property in a Floodway? No

*\* Determination of flood zone information is based upon 2009 FEMA Digital Flood Insurance Rate Map Database but does not substitute for a Flood Verification letter. For more information, please visit the FEMA Flood Map Service Center website <https://msc.fema.gov/portal/home> or contact your municipal Engineering department.  
 City zoning information is based on the best available information and should be independently verified by contacting each municipality directly.*

### Voting Districts

Washington County Precinct: HIL01  
 U.S. Senate District: 27  
 U.S. Congressional District: 2  
 Utah House District: 72  
 Washington County School  
 Board District: 5

*\* Visit [Vote Utah gov](http://VoteUtah.gov) or <https://geoprodvm.washco.utah> for more voting information.*

### Utilities

Culinary Water: Hildale - Colorado City  
 Sewer: Hildale  
 Electricity: Garkane Energy Cooperative, Inc  
 Natural Gas: N/A  
 Internet Service Providers (Cable): AWI

*\* For more information on Internet services available in your area, see Decision Data.org.  
<https://decisiondata.org/internet-providers-by-zip-code-plus-tv/>*

### Tax Information

Tax District: Hildale Town  
 Residential Classification: Primary  
 Book & Page: N/A  
 Reference Document: 20220050855

### Community/Public Services

Law Enforcement: Hildale  
 Fire Protection: Colorado City Fire Dept  
*\* In an emergency, ALWAYS dial 9-1-1!*

Schools:  
 Water Canyon Elementary  
 Water Canyon High  
 Water Canyon  
 Water Canyon High

*\* For more information, including bus routes, visit the Washington Co. School District at <https://www.washk12.org/> or Iron Co. School District at <https://irondistrict.org/>*

Solid Waste Collection Day: N/A

*\* For more information on solid waste and recycling services, visit the Washington County Solid Waste website at <http://www.wcsw.org/>*

*NOTE: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.*

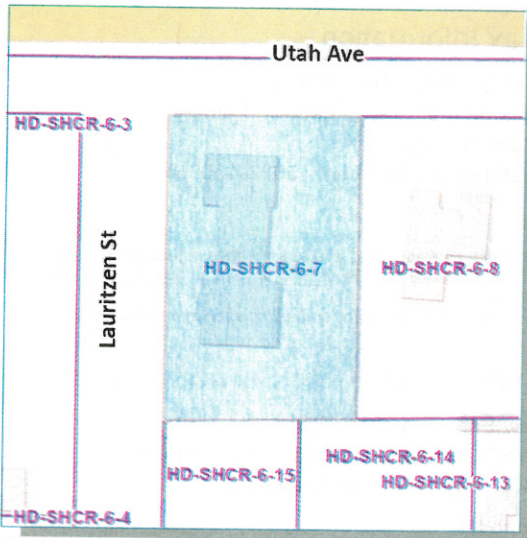
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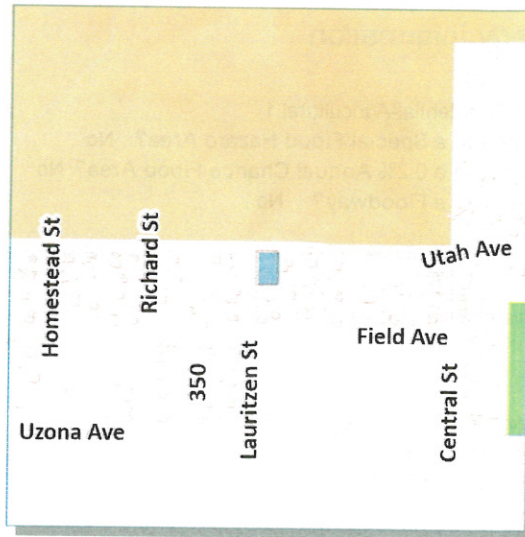




# Property Report for Parcel **HD-SHCR-6-7**



Parcel highlighted in blue.



Overview Map

*NOTE: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.*

Report Generated 1/4/2023 by Washington County GIS

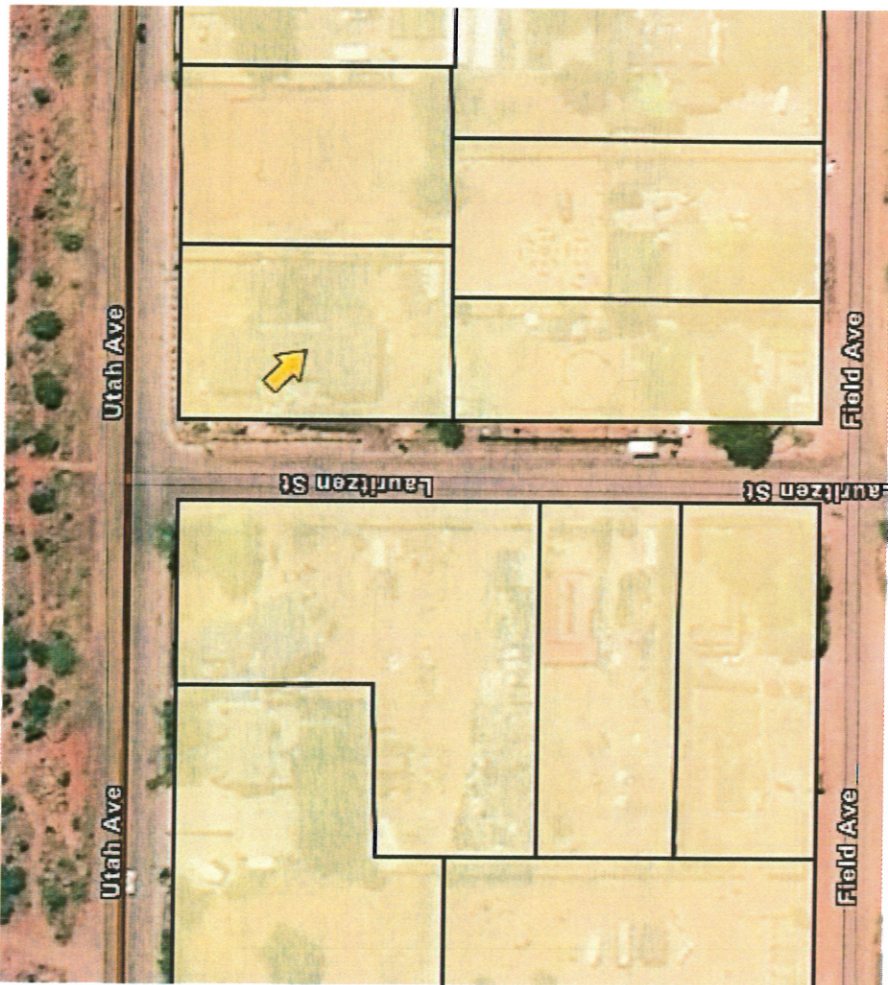
Washington County, Utah  
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[www.washco.utah.gov](http://www.washco.utah.gov)

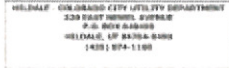


### Amounts Valid Through: January 4, 2023

Original Tax	Year	Tax Due	Penalty Due	Interest Due	Fees Due	Total Due
	2013	0.00	0.00	0.00	0.00	0.00
	2014	0.00	0.00	0.00	0.00	0.00
\$1,769.01	2015	0.00	0.00	0.00	0.00	0.00
\$1,667.05	2016	0.00	0.00	0.00	0.00	0.00
\$1,415.75	2017	0.00	0.00	0.00	0.00	0.00
\$1,289.49	2018	0.00	0.00	0.00	0.00	0.00
\$1,392.33	2019	0.00	0.00	0.00	0.00	0.00
\$1,594.91	2020	0.00	0.00	0.00	0.00	0.00
\$1,482.50	2021	0.00	0.00	0.00	0.00	0.00
\$1,780.79	2022	0.00	0.00	0.00	0.00	0.00

Primary Owner: WILLIAMS THOMAS  
Account Number: 928255  
Serial Number: HD-SHCR-6-7  
Mailing Address: PO BOX 270, STOCKTON, MO 65785





Hildale City  
320 E.Newel Ave  
Hildale, UT 84784  
(435) 874-1160  
ar@hildalecity.com

XBP Confirmation Number: 134970567

▶ Transaction detail for payment to Hildale City.		Date: 01/04/2023 - 5:01:56 PM MT	
<b>Transaction Number: 189625172PT</b> <b>Visa — XXXX-XXXX-XXXX-8349</b> <b>Status: Successful</b>			
Account #	Item	Quantity	Item Amount
ZONE CHANGE APP	Land Use	1	\$100.00

**TOTAL: \$100.00**

**Billing Information**  
JOHN BARLOW  
780 NORTH LAURITZEN ST  
HILDALE, UT 84784  
(801) 824-4232

Transaction taken by: Admin AChatwin

## Preliminary Plat Staff Report

---

**Applicant Name:** Carl Timpson  
**Agent:** Thomas Timpson  
**Application Type:** Preliminary Plat for Subdivision  
**Project Address:** 685 N Willow Street & 725 N Willow Street  
**Date:** January 11, 2023  
**Prepared by:** Harrison Johnson

### Sec 152-39-7 Preliminary Plat Requirements

The preliminary plat shall include or be accompanied by the following:

1. Description:

In a title block located in the lower right hand corner of the sheet the following is required:

1. The proposed name of the subdivision.
2. The location of the subdivision, including the address and the section, township and range.
3. The names and addresses of the owner or subdivider if other than the owner.
4. Date of preparation and north point.
5. Scale shall be of sufficient size to adequately describe in legible form all required elements.

2. Existing Conditions:

The preliminary plat shall show:

1. The location of the nearest monument.
2. The boundary of the proposed subdivision and the acreage included.
3. All property contiguous to the property to be subdivided and under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing master street plan or other commission studies.) And all property contiguous to the proposed subdivision.
4. The location, width and names/numbers of all existing streets within two hundred feet (200') of the subdivision and of all prior streets or other public

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**Vice-Chairperson: Elyssa Wall**

**Commissioners: Lawrence Stubbs, Derick Holm, Nathan Fischer, Tracy Barlow, Rex Jessop**



ways, easements, utility rights of way, parks and other public open spaces, within and adjacent to the tract.

5. The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
6. Existing ditches, canals, natural drainage channels and open waterways and proposed realignments.
7. Contours at vertical intervals not greater than five feet (5').
8. Identification of potential geotechnical constraints on the project site (such as expansive rock and soil, collapsible soil, shallow bedrock and caliche, gypsiferous rock and soil, potentially unstable rock or soil units including fault lines, shallow groundwater, and windblown sand) and recommendations for their mitigation.

3. Proposed Plan:

The subdivision plans shall show:

1. The layout of streets, showing location, widths and other dimensions of proposed streets, crosswalks, alleys and easements.
2. The layout, numbers and typical dimensions of lots. Designation of buildable area is required for each lot.
3. Parcels of land intended to be dedicated or temporarily reserved for public use or set aside for use of property owners in the subdivision.
4. Easements for water, sewers, drainage, utilities, lines and other purposes.
5. Typical street cross sections and street grades where required by the planning commission.
6. A tentative plan or method by which the subdivider proposes to handle the stormwater drainage for the subdivision.
7. Approximate radius of all centerline curves on highways or streets.
8. Each lot shall abut a street shown on the subdivision plat or on an existing publicly dedicated street. (Double frontage or flag lots shall be prohibited except where conditions make other design undesirable.)
9. All remnants of lots below minimum size left over after subdividing of a larger tract shall be added to adjacent lots or common areas, rather than allowed to remain as unusable parcels.
10. Where necessary, copies of any agreements with adjacent property owners relevant to the proposed subdivision shall be presented to the planning commission.

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11. A letter from both the local sanitary sewer provider and culinary water provider indicating availability of service.
  12. If the subdivision is to be built in phases, the plat shall show possible phasing lines.
  13. A tentative plan or method for providing nondiscriminatory access to the subdivision for purposes of placement of communications infrastructure, and for purposes of placement of utility infrastructure.
4. Required Copies Of Plans:
1. Two (2) copies of all full scale drawings.
  2. One copy of each drawing on eleven inch by seventeen inch (11" x 17") sheets or eight and one-half by eleven (8 1/2 x 11) if the project is small and the plans are legible at that size.

#### **Sec 152-39-8 Construction Drawings**

After preliminary plat approval by city council, the applicant shall have construction drawings prepared by a licensed engineer for all on site and required off site improvements in accordance with the following:

1. Final plan and profile must be prepared in accordance with:
  1. Current Hildale City standards and specifications;
  2. Requirements of the Southwest Utah Public Health Department and the state department of environmental quality or other appropriate state agencies; and
  5. Applicable fire codes.
2. Specific geotechnical recommendations for the design and construction of the proposed subdivision shall include the following if applicable:
  1. A general assessment of the requirements needed to develop on the site.
  2. Site preparation and grading and the suitability of on site soils for use as structural fill.
  3. Stable cut and fill slopes including recommendations concerning the effects of material removal and the introduction of water.
  4. Recommendations for foundation type and design criteria, including, but not limited to, bearing capacity of natural or compacted soils, provisions to mitigate the effects of expansive, compressible, or collapsible soils, differential settlement and varying soil strength, and the effects of adjacent loads.
  5. Anticipated total and differential settlement.
  6. Special design and construction considerations, as necessary, such as the excavation and replacement of unsuitable materials, excavation difficulties, stabilization, or special foundation provisions for problem soil conditions.

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7. Design criteria for restrained and unrestrained retaining or rockery wall.
8. Moisture protection and surface drainage.
3. Eleven (11) sets of complete drawings must be submitted to the Public Works Director. Construction drawings must contain a signature block for all required utility, City, and Ash Creek Special Service District representatives. Drawings shall be a minimum of twenty two inches by thirty four inches (22" x 34") (full size).
4. Applicant shall request placement on a Joint Utility Committee agenda for initial review of the plans.
5. Applicant or applicant's authorized representative shall attend the Joint Utility Committee meeting when the item is on the agenda. Utility, franchisee, City, and Ash Creek representatives will take copies of plans to redline.
6. All street grades over five percent (5%) shall be noted on the preliminary plat.
7. When redlines are completed, Public Works Director shall prepare a summary of the needed changes and return redlined plans to applicant.
8. Applicant shall then submit three (3) copies of the corrected construction drawings, addressing all redlined items, to the City Engineer for review and possible signature. After City Engineer signs, applicant must obtain all required signatures and return signed plans to Public Works Director for final signature.
9. Construction drawings are valid for twenty four (24) months after final signature. Construction drawings signed more than twenty four (24) months prior to construction of improvements shall be considered expired. For a project where construction has started and all improvements shown on the plan will be constructed, the Public Works Director may permit construction to continue. Construction drawings showing multiple phases of a project are valid only for those improvements constructed within the first twenty four (24) months of approval. New approvals must be obtained and any new standards shall apply for future phases or delayed projects.

### **Summary of Application**

This application for subdivision is part of the preliminary plat process and seeks to create six (6) new lots from an existing two lots from which to build single family residential homes.

### **Zoning Compliance Notes**

The zoning of the property is R1-8 and the proposed subdivision lot dimensions are compliant with Residential Zoning Chapter 13.

### **General Plan Compliance Notes**

The proposed subdivision is currently zoned as residential, and the project's objective is to build housing which aligns with the Hildale City General Plan.

**Chairperson: Charles Hammon**

**Vice-Chairperson: Elyssa Wall**

**Commissioners: Lawrence Stubbs, Derick Holm, Nathan Fischer, Tracy Barlow, Rex Jessop**



### **Joint Utilities Comments**

The JUC was sent the application on December 7<sup>th</sup>, 2022 and no negative comments received from any the participating departments or agencies.

### **Engineering Review**

Currently underway but no obvious issues.

### **Staff Recommendation**

This subdivision represents a relatively small number of lots which has a low impact on facilities and aligns with the general plan, therefore, the staff supports approval of this application.



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📠 435-874-2603

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# PRELIMINARY PLAT APPLICATION

Fee: \$300 + \$50 per acre

<i>For Office Use Only:</i>	
File No.	_____
Receipt No.	_____

Name: Carl Timpson / NBJC, LLC Telephone: (435) 881-5886

Address: 2816 Soaring Peak Ave, Henderson, NV 89052 Fax No. \_\_\_\_\_

Email: catimpson@villagecapital.com

Agent (If Applicable): Thomas Timpson / t.c.timpson@live.com Telephone: (435) 619-6477

Address/Location of Subject Property: 685 North Willow Street & 725 North Willow Street, Hildale, Utah

Tax ID of Subject Property: HD-SHCR-1-40; \*-5-A; \*-5-B; \*-5-C Zone District: R1-8 (LOT 5 & 40)

Proposed Use: (Describe, use extra sheet if necessary. Include total number of lots) \_\_\_\_\_

Single Family Residential; 7 total lots; See attached drawings & supporting documentation

Submittal Requirements: The preliminary plat application shall provide the following:

- X 1. Description: In a title block located in the lower right-hand corner of the sheet the following is required:
  - X a. The proposed name of the subdivision.
  - X b. The location of the subdivision, including the address and section, township and range.
  - X c. The names and addresses of the owner or subdivider, if other than the owner.
  - X d. Date of preparation, and north point.
  - X e. Scale shall be of sufficient size to adequately describe in legible form, all required conditions of Chapter 39, City Subdivision regulations.
- X 2. Existing Conditions: The preliminary plat shall show:
  - X a. The location of the nearest monument.
  - X b. The boundary of the proposed subdivision and the acreage included.
  - NA c. All property under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing Master Street Plan or other Commission studies.)
  - X d. The location, width and names/numbers of all existing streets within two hundred (200) feet of the subdivision and of all prior streets or other public ways, utility rights of way, parks and other public open spaces, within and adjacent to the tract.
  - NA e. The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
  - X f. Existing sewers, water mains, culverts or other underground facilities within the tract, indicating the pipe sizes, grades, manholes and the exact locations.

- g. Existing Hildale Canal Company facilities; other ditches, canals, natural drainage channels and open waterways and any proposed realignments.
- h. Contours at vertical intervals not greater than five (5) feet.
- i. Identification of potential geotechnical constraints on the project site (such as expansive rock and soil, collapsible soil, shallow bedrock and caliche, gypsiferous rock and soil, potentially unstable rock or soil units including fault lines, shallow groundwater, and windblown sand) and recommendations for their mitigation.
- j. Information on whether property is located in desert tortoise take area

3. Proposed Plan: The subdivision plans shall show:

- a. The layout of streets, showing location, widths, and other dimensions of proposed streets, crosswalks, alleys and easements.
- b. The layout, numbers and typical dimensions of lots.
- c. Parcels of land intended to be dedicated or temporarily reserved for public use or set aside for use of property owners in the subdivision.
- d. Easements for water, sewers, drainage, utilities, lines and other purposes.
- e. Typical street cross sections and street grades where required by the Planning Commission. (All street grades over 5% should be noted on the preliminary plat)
- f. A tentative plan or method by which the subdivider proposes to handle the storm water drainage for the subdivision.
- g. Approximate radius of all center line curves on highways or streets.
- h. Each lot shall abut a street shown on the subdivision plat or on an existing publicly dedicated street. (Double frontage or flag lots shall be prohibited except where conditions make other design undesirable)
- i. In general, all remnants of lots below minimum size left over after subdividing of a larger tract must be added to adjacent lots, rather than allow to remain as unusable parcels.
- j. Where necessary, copies of any agreements with adjacent property owners relevant to the proposed subdivision shall be presented to the Planning Commission.
- k. A letter from both the local sanitary sewer provider and culinary water provider indicating availability of service.
- l. Will this subdivision be phased? If yes show possible phasing lines.
- m. A tentative plan or method for providing non-discriminatory access to the subdivision for purposes of placement of communications infrastructure, and for purposes of placement of utility infrastructure.

4. Required copies of plans:

- a. Three copies of all full-scale drawings
- b. One copy of each drawing on a 11 x 17-inch sheets. (8 1/2 x 11 is acceptable if the project is small and the plans are readable at that size).
- c. Electronic copies sent to [planning@hildalecity.com](mailto:planning@hildalecity.com)

5. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the third Thursday of each month at 6:30 p.m. The deadline date to submit the application is 14 days prior to the scheduled meeting. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.**

\*\*\*\*\*

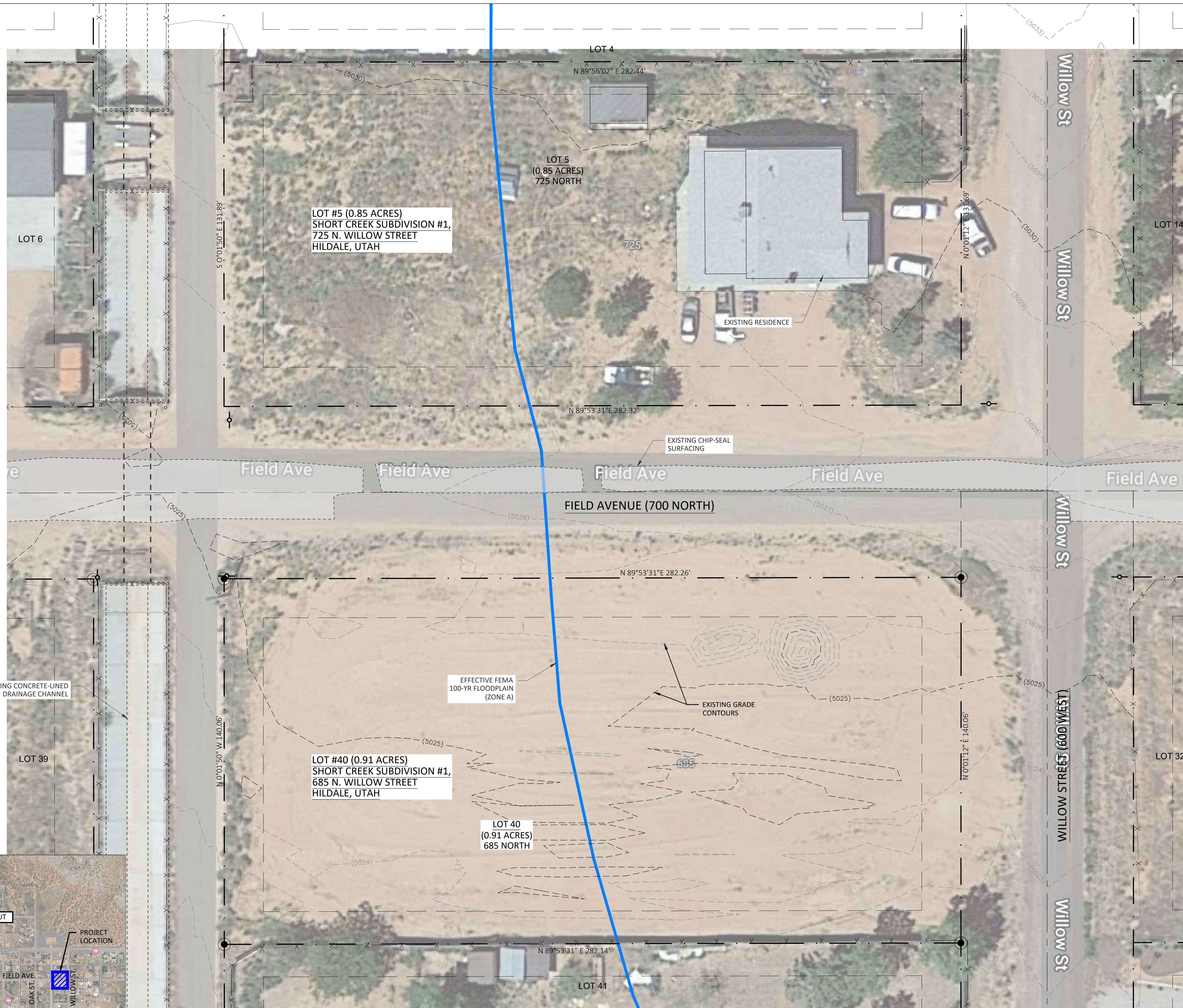
(Office Use Only)

Date Received: \_\_\_\_\_ Application Complete: YES  NO

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_



EXISTING CONDITIONS



VICINITY MAP



TCT ENGINEERING

1965 S HAMMON ST, COLORADO CITY, AZ  
TEL: (435) 639-6477  
E-MAIL: tctimpson@tct.com

PRELIMINARY PLAT FOR  
SHORT CREEK SUBDIVISION #1 PARTIAL AMENDMENT "A"  
AMENDING LOTS 5 & 40

LOT #5, & LOT #40, SHORT CREEK SUBDIVISION #1  
LOCATED IN THE SE 1/4 OF SECTION 33, T43S, R10W, SLB&M, HILDALE, UT

REVISIONS

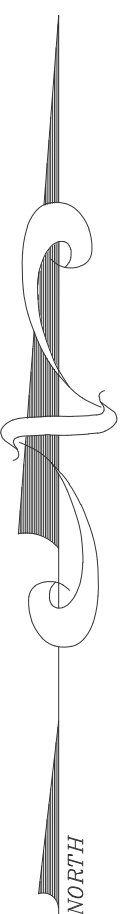
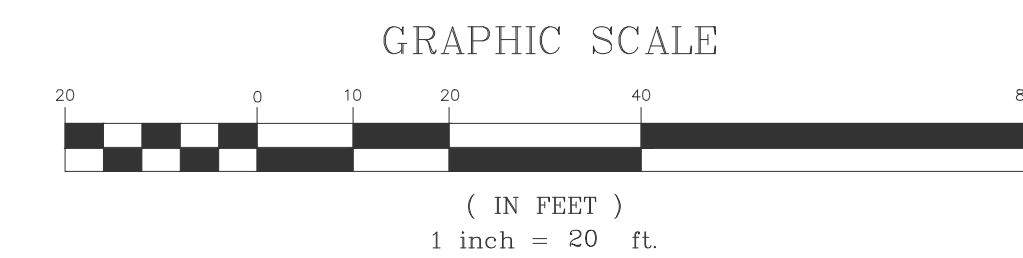
REV	DATE	DESCRIPTION

PROJECT NO: 210907  
 CAD DWG. FILE: 210907\_2\_Lot 5 & 40 SD.dwg  
 DRAWN BY: TCT  
 DESIGNED BY: TCT  
 FIELD CREW:  
 CHECKED BY:  
 DATE: 11-28-22

SHEET:

EXISTING CONDITIONS

C2.1





CENTER 1/4 CORNER SECTION 33, T43S, R10W, SLB&M

EAST 1/4 CORNER SECTION 33, T43S, R10W, SLB&M

### LOT LAYOUT PLAN

### SHORT CREEK SUBDIVISION #1 PARTIAL AMENDMENT "A" AMENDING LOTS 5 & 40

#### KEY NOTE LEGEND

- 1 EXISTING CHIP-SEAL ROADWAY SURFACE, TO REMAIN
- 2 SAW-CUT EXISTING CHIP-SEAL
- 3 EXISTING CHIP-SEAL ROADWAY SURFACE, TO BE REMOVED
- 4 PROPOSED CHIPSEAL ROADWAY SURFACING 0/ 6" AGGREGATE BASE
- 5 FUTURE CONCRETE CURB, GUTTER, & SIDEWALK, BY OTHERS
- 6 EXISTING CONCRETE-LINED DRAINAGE CHANNEL
- 7 EXISTING DRAINAGE CULVERT
- 8 EXISTING ROADWAY SIGN, TO REMAIN
- 9 EXISTING RESIDENTIAL BUILDING, TO REMAIN

#### EXCEPTIONS TO ORDINANCE

IN LIEU OF INSTALLING CONCRETE CURB, GUTTER, AND SIDEWALK, DEVELOPER WISHES TO ENTER INTO AN AGREEMENT WITH THE CITY STATING THAT IF CITY EVERY CREATES A SPECIAL ASSESSMENT DISTRICT TO DEVELOPMENT THE ADJACENT ROADWAYS, THEN PROPERTY OWNERS WILL AGREE TO THE SPECIAL ASSESSMENT DISTRICT. THIS AGREEMENT WITH GO WITH THE LAND.

#### CONTACT INFORMATION

**OWNER (LOT 40, 5A, 5B):**  
NBJC, LLC  
ATTN: CARL TIMPSON  
2816 SOARING PEAK AVE  
HENDERSON, NV 89052

**OWNER (LOT 5C):**  
JOHN BARLOW  
PO BOX 2742  
COLORADO CITY, AZ 86021

**DEVELOPER:**  
NBJC, LLC  
2816 SOARING PEAK AVE.  
HENDERSON, NV 89052

**ENGINEER:**  
TCT ENGINEERING  
THOMAS TIMPSON  
1965 S HAMMON ST.  
COLORADO CITY, AZ 86021

#### LINE & SYMBOLS LEGEND

- DEVELOPMENT BOUNDARY
- - - PROPOSED LOT LINE
- UTILITY & DRAINAGE EASEMENT
- PROPOSED BUILDING
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED CURB
- - - EXISTING FENCE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ASPHALT PAVING
- X X "X" INCHES ASPHALT O/
- X X "Y" INCHES AGGREGATE BASE
- TRAFFIC CIRCULATION PATTERN
- EXISTING TREE
- EXISTING POWER POLE W/ GUY WIRE

TCT ENGINEERING  
1965 S HAMMON ST, COLORADO CITY, AZ  
TEL: (435) 619-6477  
E-MAIL: tctimpson@tcteng.com

PRELIMINARY PLAT FOR  
SHORT CREEK SUBDIVISION #1 PARTIAL AMENDMENT "A"  
AMENDING LOTS 5 & 40  
LOT #5, & LOT #40, SHORT CREEK SUBDIVISION #1  
LOCATED IN THE SE 1/4 OF SECTION 33, T43S, R10W, SLB&M, HILDALE, UT

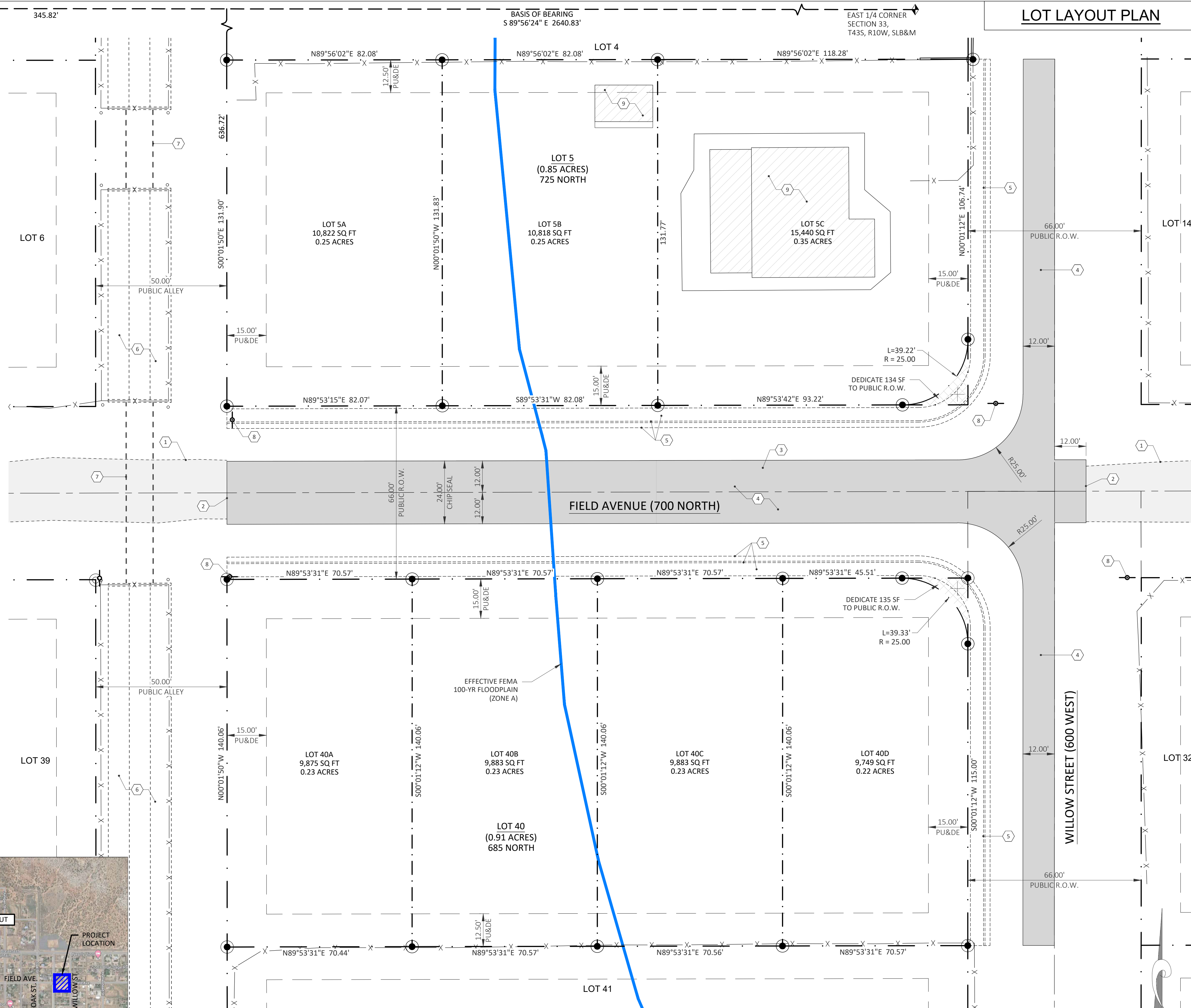
#### REVISIONS

REV	DATE	DESCRIPTION

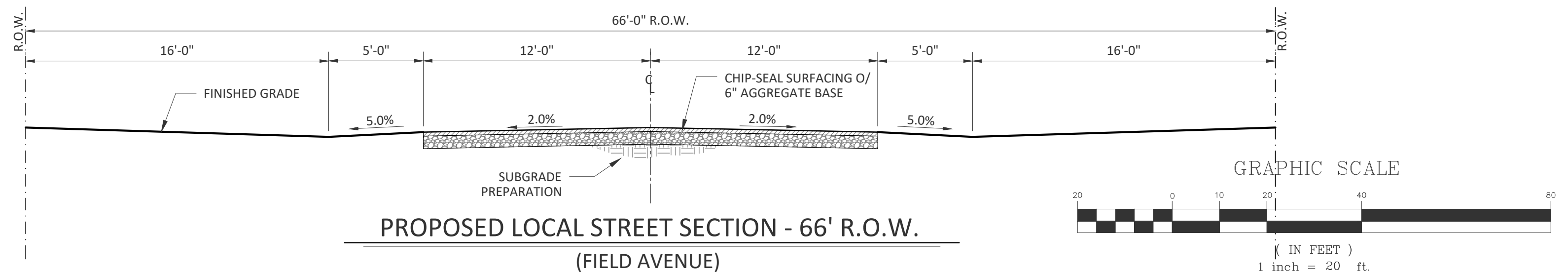
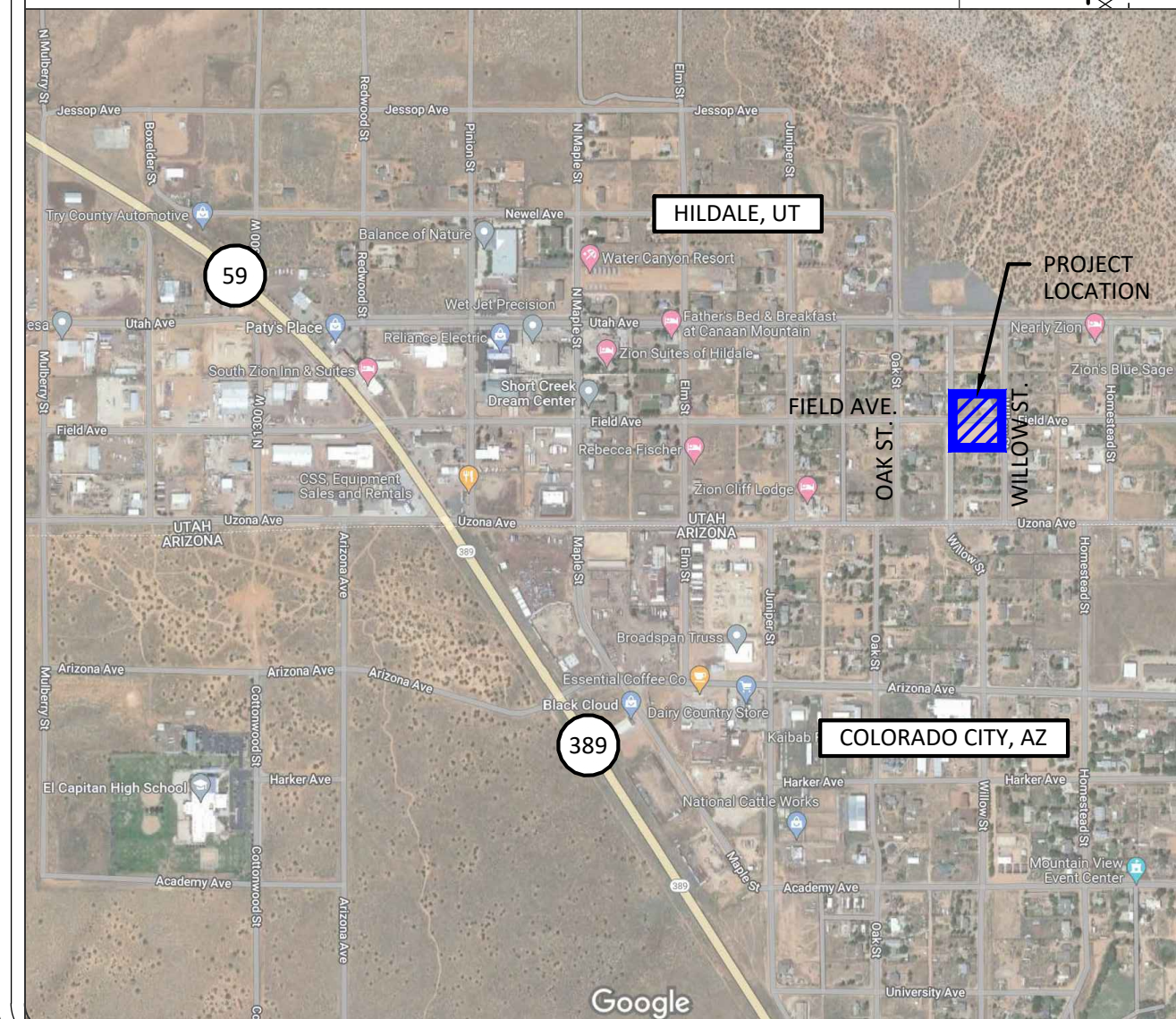
PROJECT NO: 210907  
 CAD DWG. FILE: 210907\_2\_Lot 5 & 40 SD.dwg  
 DRAWN BY: TCT  
 DESIGNED BY: TCT  
 FIELD CREW:  
 CHECKED BY:  
 DATE: 11-28-22  
 SHEET:

LOT LAYOUT PLAN

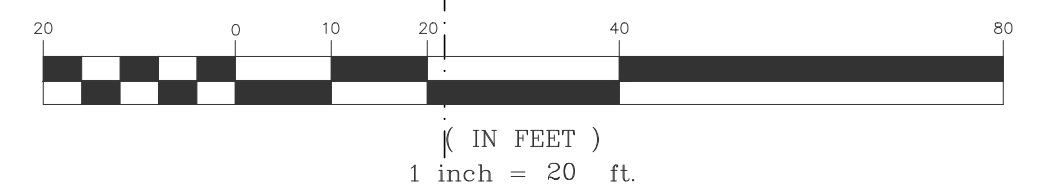
C2.2



#### VICINITY MAP

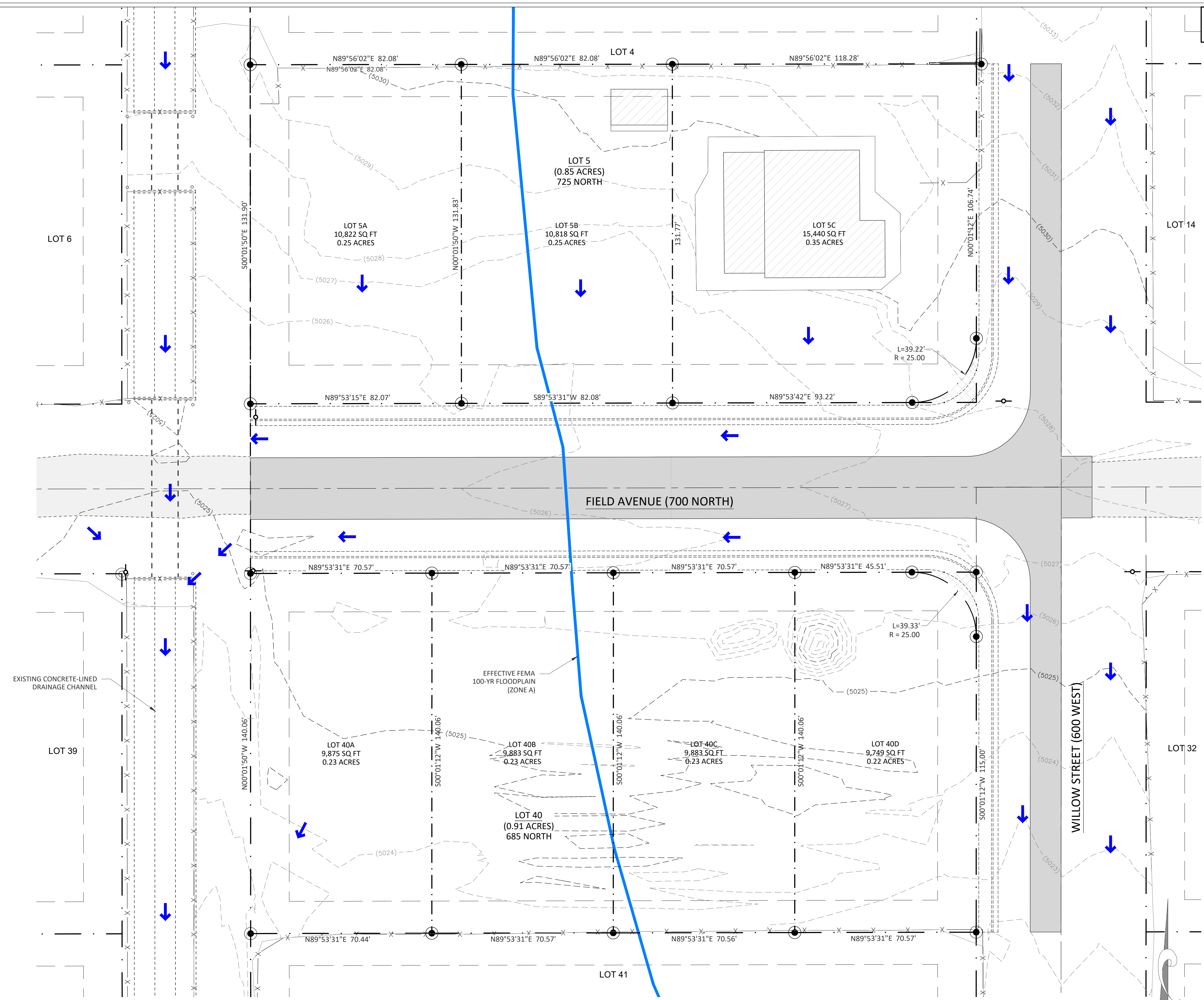


#### GRAPHIC SCALE





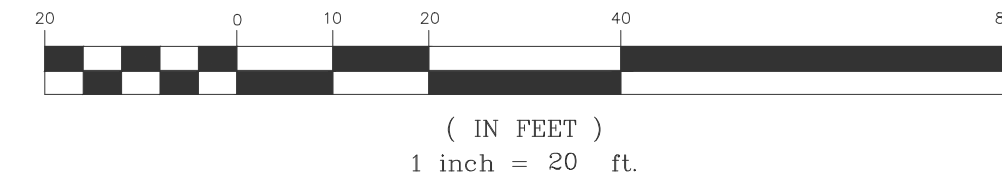
### DRAINAGE PLAN



EXISTING CONCRETE-LINED DRAINAGE CHANNEL

EFFECTIVE FEMA 100-YR FLOODPLAIN (ZONE A)

GRAPHIC SCALE



#### LINE & SYMBOLS LEGEND

- PROPERTY BOUNDARY
- UTILITY / DRAINAGE EASEMENT
- EXISTING GRADE CONTOUR
- FINISH GRADE CONTOUR
- STORM DRAIN PIPE
- RUNOFF FLOW LINE
- RUNOFF DIRECTION
- RETAINING WALL

**TCT ENGINEERING**  
 1965 S HAMMON ST, COLORADO CITY, AZ  
 TEL: (435) 619-6477  
 E-MAIL: tctimpson@tct.com

**PRELIMINARY PLAT FOR  
 SHORT CREEK SUBDIVISION #1 PARTIAL AMENDMENT "A"  
 AMENDING LOTS 5 & 40**

LOT #5, & LOT #40, SHORT CREEK SUBDIVISION #1  
 LOCATED IN THE SE 1/4 OF SECTION 33, T48S, R10W, S18&M, HILDALE, UT

#### REVISIONS

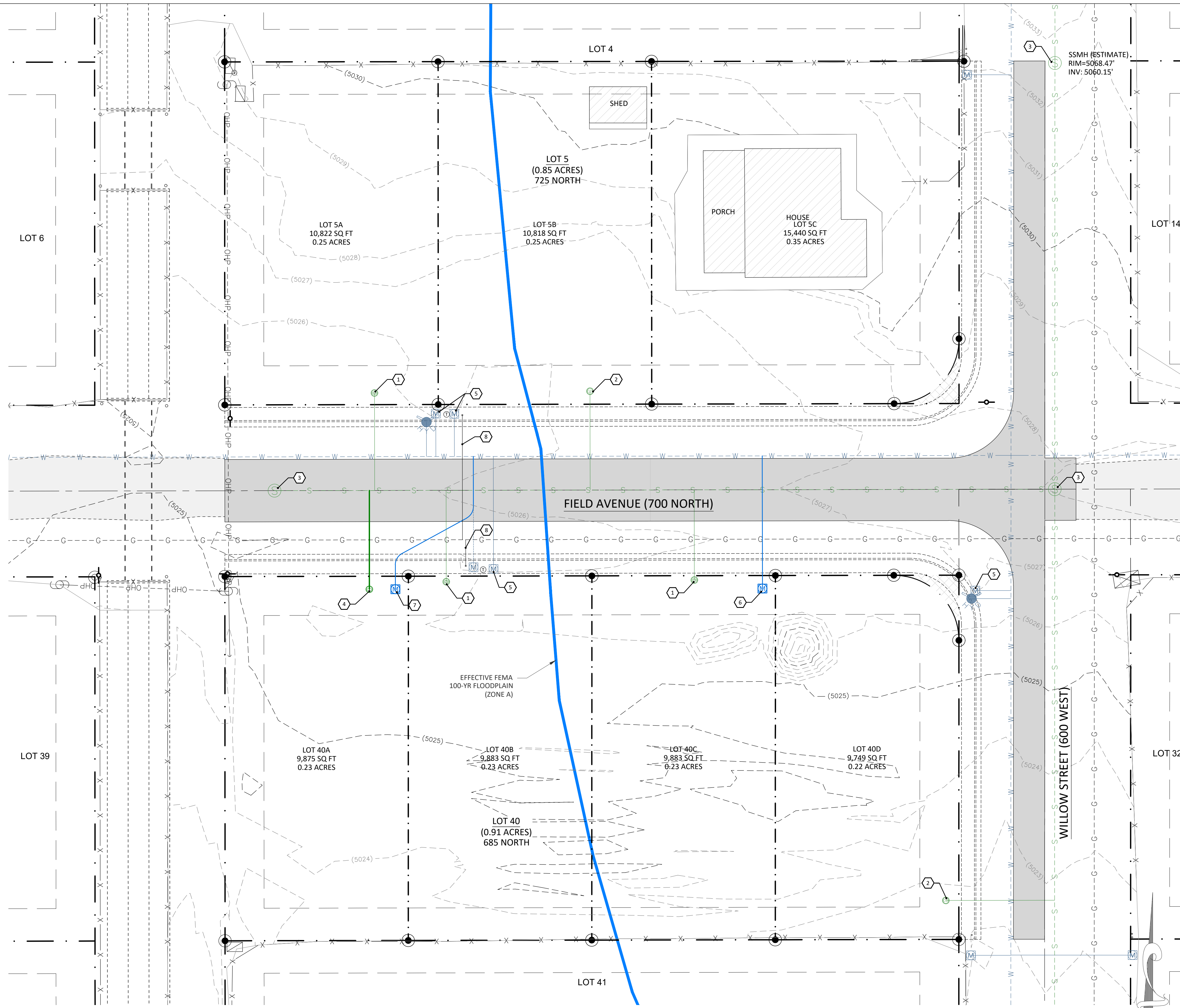
REV	DATE	DESCRIPTION

PROJECT NO: 210907  
 CAD DWG. FILE: 210907\_2\_Lot 5 & 40\_S0.dwg  
 DRAWN BY: TCT  
 DESIGNED BY: TCT  
 FIELD CREW:  
 CHECKED BY:  
 DATE: 11-28-22

#### DRAINAGE PLAN

### C2.3





### UTILITIES PLAN

#### KEY NOTE LEGEND

1	EXISTING SEWER CLEANOUT TO REMAIN
2	APPROXIMATE LOCATION OF EXISTING SEWER CLEANOUT - TO REMAIN
3	APPROXIMATE LOCATION OF EXISTING SEWER MANHOLE
4	PROPOSED SEWER CLEANOUT
5	EXISTING WATER SERVICE TO REMAIN
6	PROPOSED 3/4" WATER SERVICE
7	RELOCATED EXISTING WATER SERVICE AS SHOWN
8	EXISTING GAS STUB

#### UTILITY PROVIDERS

**WATER, SEWER, AND GAS PROVIDER:**  
 HILDALE / COLORADO CITY UTILITY DEPARTMENT  
 320 EAST NEWEL AVENUE  
 PO BOX 840490  
 HILDALE UTAH, 84784  
 (435) 874-1160

**ELECTRICAL POWER PROVIDER:**  
 GARKANE ENERGY CO-OP INC.  
 1802 US-89A  
 KANAB, UT 84741  
 (435) 644-5026

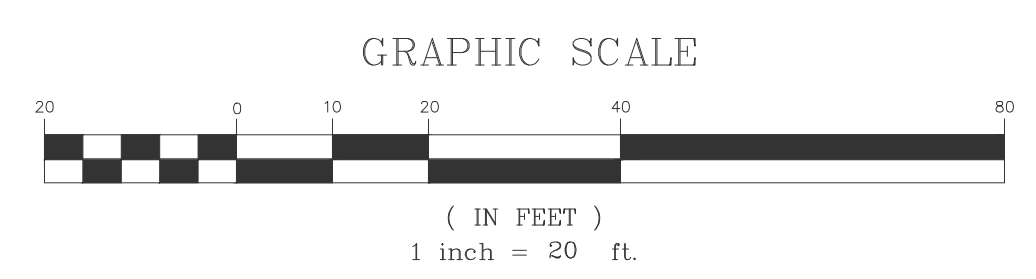
**TELECOMMUNICATIONS PROVIDER:**  
 SOUTH CENTRAL COMMUNICATIONS  
 318 N. 100 E.  
 KANAB, UT 84741  
 (888) 826-4211

**SOLID WASTE COLLECTION AND DISPOSAL:**  
 ARIZONA STRIP LANDFILL CORPORATION  
 25 S. CENTRAL ST  
 COLORADO CITY, AZ 86021  
 (928) 874-9168

**POLICE & EMERGENCY RESPONSE AGENCIES:**  
 COLORADO CITY MARSHAL'S OFFICE  
 25 S. CENTRAL ST  
 COLORADO CITY, AZ 86021  
 (928) 875-2695

#### LINE & SYMBOLS LEGEND

	DEVELOPMENT BOUNDARY
	PROPOSED LOT LINE
	UTILITY & DRAINAGE EASEMENT
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SEWER LINE
	PROPOSED SEWER LINE
	EXISTING UNDERGROUND POWER LINE
	EXISTING OVERHEAD POWER LINE
	PROPOSED UNDERGROUND POWER
	PROPOSED OVERHEAD POWER
	EXISTING COMMUNICATIONS LINE
	PROPOSED COMMUNICATIONS LINE
	EXISTING FIBER-OPTIC LINE
	EXISTING FENCE LINE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPOSED 3/4" WATER SERVICE METER
	EXISTING POWER POLE / GUY WIRE
	EXISTING SEWER MANHOLE
	PROPOSED SEWER MANHOLE
	PROPOSED 4" SEWER LATERAL



**TCT ENGINEERING**  
 1965 S HAMMON ST, COLORADO CITY, AZ  
 TEL: (435) 634-6477  
 E-MAIL: tctimpson@tct.com

**PRELIMINARY PLAT FOR  
 SHORT CREEK SUBDIVISION #1 PARTIAL AMENDMENT "A"  
 AMENDING LOTS 5 & 40**

LOT #5, & LOT #40, SHORT CREEK SUBDIVISION #1  
 LOCATED IN THE SE 1/4 OF SECTION 33, T43S, R10W, S1B&M, HILDALE, UT

#### REVISIONS

REV	DATE	DESCRIPTION

PROJECT NO: 210907  
 CAD DWG. FILE: 210907\_2\_Lot 5 & 40\_S0.dwg  
 DRAWN BY: TCT  
 DESIGNED BY: TCT  
 FIELD CREW:  
 CHECKED BY:  
 DATE: 11-28-22

**UTILITIES PLAN**

**C2.4**

Warranty Deed Page 1 of 2  
Russell Shirts Washington County Recorder  
04/23/2020 04:06:21 PM Fee \$40.00 By INVEST  
TITLE SERVICES - ST. GEORGE

WHEN RECORDED MAIL TO:  
TRACY BARLOW JR  
P O BOX 1518  
HILDALE, UT 84784

SPACE ABOVE THIS LINE FOR RECORDERS USE ONLY  
RECORDED AT THE REQUEST OF INWEST TITLE SERVICES, INC. ORDER # 267559

# WARRANTY DEED

**JEFF J. BARLOW, EXECUTIVE DIRECTOR OF THE UNITED EFFORT PLAN TRUST**  
OF HILDALE, COUNTY OF WASHINGTON, STATE OF UT  
HEREBY CONVEY AND WARRANT TO

GRANTOR(S)

**TRACY BARLOW JR., A MARRIED MAN**

GRANTEE(S)

OF HILDALE, COUNTY OF WASHINGTON, STATE OF UT  
FOR THE SUM OF TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION,  
THE FOLLOWING DESCRIBED TRACT OF LAND IN WASHINGTON COUNTY, STATE OF UT:

**(HD-SHCR-1-5)**

**LOT 5, SHORT CREEK SUBDIVISION #1, ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AND  
OF RECORD IN THE WASHINGTON COUNTY RECORDER'S OFFICE, STATE OF UTAH.**

**SUBJECT TO THE MATTERS SET FORTH ON EXHIBIT "A" ATTACHED HERETO AND MADE A PART  
THEREOF.**

**SUBJECT TO EASEMENTS, RESTRICTIONS, COVENANTS AND RIGHTS OF WAY OF RECORD, AND TAXES FOR  
THE YEAR 2020 AND THEREAFTER.**

WITNESS THE HAND(S) OF SAID GRANTOR(S), THIS 20 DAY OF APRIL, 2020.

THE UNITED EFFORT PLAN TRUST

  
BY: JEFF J. BARLOW, EXECUTIVE DIRECTOR

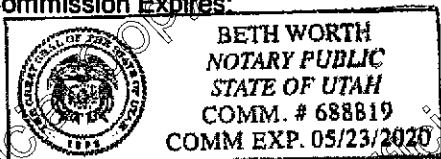
### ACKNOWLEDGMENT

STATE OF UTAH )  
(ss.  
COUNTY OF WASHINGTON )

On this 20 Day of APRIL, 2020, personally appeared before me JEFF J. BARLOW, whose identity is personally known to me, or proven on the basis of satisfactory evidence, and who by me duly sworn/affirmed, did say that he is the EXECUTIVE DIRECTOR of THE UNITED EFFORT PLAN TRUST, and that said document was signed by him/her behalf of said Trust by the authority of the Trust Agreement and any Amendments thereto, and said JEFF J. BARLOW, acknowledged to me that said Trust executed the same.

  
NOTARY PUBLIC

My Commission Expires: 5/23/2020



 **INVEST TITLE**  
444 EAST TABERNAACLE, #B202  
ST. GEORGE, UT 84770

**EXHIBIT "A"**

1. TAXES FOR THE YEAR 2020 ACCRUING AS A LIEN, BUT NOT YET DUE AND PAYABLE. PRIOR TAX INFORMATION AS FOLLOWS:

YEAR: 2019  
 AMOUNT DUE: \$1,178.08  
 SERIAL NO.: HD-SHCR-1-5

2. THE SUBJECT PROPERTY IS LOCATED WITHIN THE BOUNDARIES OF THE SPECIAL ASSESSMENT DISTRICT(S) SHOWN BELOW, AND IS SUBJECT TO ALL CHARGES AND/OR ASSESSMENTS LEVIED THEREBY:
- DISTRICT(S): WASHINGTON  
 DISTRICT(S): MULTICOUNTY ASSESSING & COLLECTING LEVY  
 DISTRICT(S): COUNTY ASSESSING & COLLECTING LEVY  
 DISTRICT(S): WASHINGTON COUNTY SCHOOL DISTRICT  
 DISTRICT(S): HILDALE CITY  
 DISTRICT(S): THE WASHINGTON COUNTY WATER CONSERVANCY DISTRICT  
 DISTRICT(S): SOUTHWEST MOSQUITO ABATEMENT & CONTROL DISTRICT  
 DISTRICT(S): SOUTH UTAH SHOOTING SPORTS PARK SPECIAL SERVICE DIST.
3. MINERALS OF WHATSOEVER KIND, SUBSURFACE AND SURFACE SUBSTANCES, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND AND GRAVEL IN, ON, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B. THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED.
4. RIPARIAN OR WATER RIGHTS, CLAIMS, OR TITLE TO WATER WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
5. NOTES, SETBACK LINES, CONDITIONS, RESTRICTIONS, EASEMENTS, REQUIREMENTS, STIPULATIONS AND ALL MATTERS AS SET FORTH ON THE RECORDED DEDICATION PLAT.
6. PUBLIC UTILITY AND DRAINAGE EASEMENTS, TOGETHER WITH INCIDENTAL RIGHTS THERETO, OVER THE EAST AND WEST 15 FEET AND OVER THE NORTH AND SOUTH 12.5 FEET OF THE LAND, ALL AS DELINEATED ON THE RECORDED PLAT.
7. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A WARRANTY DEED, RECORDED JUNE 14, 1988, AS ENTRY NO. 333931, IN BOOK 490, AT PAGE 6.
8. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A QUIT-CLAIM DEED, RECORDED MAY 3, 1994, AS ENTRY NO. 465870, IN BOOK 816, AT PAGE 648.
9. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A WARRANTY DEED, RECORDED APRIL 23, 1996, AS ENTRY NO. 530415, IN BOOK 995, AT PAGE 467.
10. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A AFFIDAVIT RECORDED JUNE 30, 2009, AS ENTRY NO. 20090025382.
11. EASEMENTS, AS EVIDENCED BY MESNE DOCUMENTS OF RECORD, INCLUDING, BUT NOT LIMITED TO A QUITCLAIM DEED, RECORDED JULY 1, 2009, AS ENTRY NO. 20090025437.
12. PORTIONS OF SAID LOT LIE WITHIN A FEMA FLOOD ZONE AS SHOWN ON THE RECORDED PLAT.
13. THE RIGHTS OF PARTIES IN POSSESSION OF THE SUBJECT PROPERTY UNDER UNRECORDED LEASES, CONTRACTS, RENTAL OR OCCUPANCY AGREEMENTS AND ANY CLAIMS, RIGHTS OR INTERESTS ARISING THEREUNDER.
14. The Company reserves the right to raise exceptions and requirements or determine that it will not issue a title policy based upon the details of the transaction, the review of the closing documents, and changes in recording and title searching capabilities resulting from the COVID-19 virus.

Warranty Deed Page 1 of 2

Gary Christensen Washington County Recorder  
08/13/2021 03:25:24 PM Fee \$40.00 By EAGLE  
GATE TITLE INSURANCE AGENCY, INC.

Recording requested by:  
Eagle Gate Title Insurance Agency, Inc.

Mail Tax Notice To:  
NBJC LLC  
2816 Sourcing Peak Ave  
Henderson, NV 89052

File Number: STG-93464-LH  
Parcel ID: HD-SHCR-1-40

# Warranty Deed

**RICHARD CURTIS JESSOP,**

Grantor, hereby CONVEY(S) IN WARRANTY to

**NBJC LLC, a Utah Limited Liability Company,**

Grantee, for the sum of TEN AND NO/DOLLARS and other good and valuable consideration, the following tract of land in Washington County, State of Utah, to-wit

**Lot 40, SHORT CREEK SUBDIVISION #1, according to the Official Plat thereof on file and of record in the Washington County Recorder's Office.**

**APN: HD-SHCR-1-40**

Subject to easements, restrictions and rights of way appearing of record and enforceable in law and subject to 2021 taxes and thereafter.

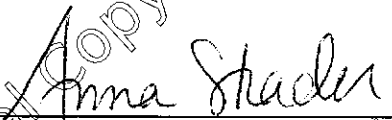
92464

WITNESS, the hand of said grantor, this 28 day of July, 2021

  
Richard Curtis Jessop

STATE OF NORTH DAKOTA  
COUNTY OF WILLIAMS

On this 28<sup>th</sup> day of July, 2021, before me personally appeared Richard Curtis Jessop known to me (or proved to me on the oath of N.D. District Court) to be the person who is described in and who executed the within instrument, and acknowledged to me that that he/she/they executed the same.

  
Signature of Notarial Officer  
Title of Office

ANNA STRADER  
Notary Public  
State of North Dakota  
My Commission Expires Nov. 28, 2022

My commission expires: 11/28/2022



Warranty Deed Page 1 of 2

Gary Christensen Washington County Recorder  
 09/30/2021 01:53:25 PM Fee \$40.00 By EAGLE  
 GATE TITLE INSURANCE AGENCY, INC.

Recording requested by:  
 Eagle Gate Title Insurance Agency, Inc.

Mail Tax Notice To:  
 NBJC LLC  
 2816 Soaring Peak Avenue  
 Henderson, NV 89052

File Number: STG-92902-LH  
 Parcel ID: HD-SHCR-1-5-A

## Warranty Deed

**JOAN BARLOW,**

Grantor, hereby CONVEY(S) IN WARRANTY to

**NBJC LLC, a Utah Limited Liability Company,**

Grantee, for the sum of TEN AND NO/DOLLARS and other good and valuable consideration, the following tract of land in Washington County, State of Utah, to-wit

**Lot 5-A, SHORT CREEK SUBDIVISION 1, according to the Official Plat thereof on file and of record in the Washington County Recorder's Office.**

**More particularly described as:**

**Beginning at the Northwest Corner of Lot 5 of Short Creek Subdivision #1, recorded and on file in the Office of the Recorder, Washington County, State of Utah, and running thence North 89°56'02" East 82.08 feet along the South line of Lot 4 of said subdivision; thence South 0°01'50" East 131.83 feet, to a point on the North Right of Way line of Field Avenue; thence South 89°53'31" West 82.08 feet along said line, to the Southwest Corner of said Lot 5; thence North 0°01'50" West 131.89 feet along the West line of said Lot 5, to the point of beginning.**

**APN: HD-SHCR-1-5-A**

Subject to easements, restrictions and rights of way appearing of record and enforceable in law and subject to 2021 taxes and thereafter.

**Deed Restriction.** Grantee, on behalf of itself, its successors and assigns, by acceptance and recording of this Warranty Deed, acknowledges that the subject lot lacks utilities and/or other improvements required by local ordinances and regulations, that the City of Hildale has approved a plan for providing utilities and other required improvements to the lot (the "Utility Plan") and that pursuant to Hildale City Code Section 152-39-4 no building permit will be issued for said lot until the approved improvements have been constructed and accepted. The approved Utility Plan for this lot is available for inspection in the office of the Hildale City Recorder at 320 E Newell Ave, PO Box 840490, Hildale, UT 84784.

WITNESS, the hand of said grantor, this 23 day of September, 2021

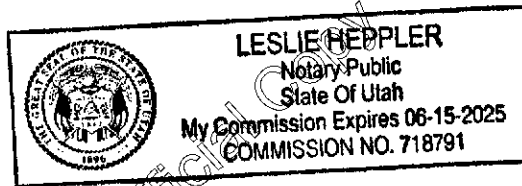
Joan Barlow  
Joan Barlow

STATE OF UTAH  
COUNTY OF WASHINGTON

On this 23 day of September, 2021, before me Leslie Hepler, a notary public, personally appeared Joan Barlow, proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to this instrument, and acknowledged he/she/they executed the same.

Witness my hand and official seal

Leslie Hepler  
Notary Public



Warranty Deed Page 1 of 2

Gary Christensen Washington County Recorder  
03/11/2022 02:37:35 PM Fee \$40.00 By EAGLE  
GATE TITLE INSURANCE AGENCY, INC.

Recording requested by:  
Eagle Gate Title Insurance Agency, Inc.

Mail Tax Notice To:  
NBIC LLC, a Utah Limited Liability Company  
2816 Soaring Peak Avenue  
Henderson, NV 89052

File Number: STG-95574-LH  
Parcel ID: HD-SHCR-1-5-B

# Warranty Deed

**JOHN BARLOW AND CANDI SHAPLEY,**

Grantors, hereby CONVEY(S) IN WARRANTY to

**NBIC LLC, a Utah Limited Liability Company,**

Grantee, for the sum of TEN AND NO/DOLLARS and other good and valuable consideration, the following tract of land in Washington County, State of Utah, to-wit

**Lot 5-B, SHORT CREEK SUBDIVISION 1, according to the Official Plat thereof on file and of record in the Washington County Recorder's Office.**

**More Particularly described as:**

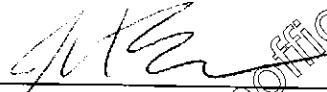
**Beginning at a point being North 89°56'02" East 82.08 Feet from the Northwest Corner of Lot 5 of Short Creek Subdivision #1, recorded and on file in the Office of the Recorder, Washington County, State of Utah, and running thence North 89°56'02" East 82.08 feet along the South Line of Lot 4 of said Subdivision; thence South 0°01'50" East 131.77 feet to a point on the North Right of Way Line of Field Avenue; Thence South 89°53'31" West 82.08 feet along said line; thence North 0°01'50" West 131.83 feet, to the point of beginning.**

**ARN: HD-SHCR-1-5-B**

Subject to easements, restrictions and rights of way appearing of record and enforceable in law and subject to 2022 taxes and thereafter.


\*\*\* Deed Restriction: Grantee, on behalf of itself, its successors and assigns, by acceptance and recording of this Warranty Deed, acknowledges that the subject to lacks utilities and/or other improvements required by local ordinances and regulations, that the City of Hildale has approved a plan for providing utilities and other required Improvements to the lot(the " Utility Plan"),and that pursuant to Hildale City Code Section 152-39-4 no building permit will be issued for said lot until the approved improvements have been constructed and accepted. The approved Utility Plan for this lot is available for inspection in the office of the Hildale City Recorder at 320 E Newell Ave, PO Box 840490, Hildale, UT 84784.

WITNESS, the hand of said grantors, this 11 day of March, 2022

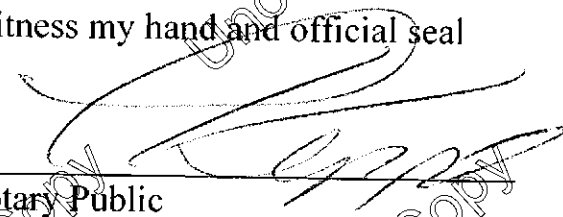
  
\_\_\_\_\_  
John Barlow

  
\_\_\_\_\_  
Candi Shapley

STATE OF UTAH  
COUNTY OF WASHINGTON

On this 11 day of March, 2022, before me  a notary public, personally appeared John Barlow and Candi Shapley, proved on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to this instrument, and acknowledged he/she/they executed the same.

Witness my hand and official seal

  
\_\_\_\_\_  
Notary Public





**From:** Eric Duthie, Hildale City Manager  
**To:** Hildale City Council; Hildale City Mayor  
**Date:** February 8, 2023  
**Subject:** Second annual city event

As a goal set by City Council in 2022, a second annual city event is desired. The first annual event was the Community Christmas Tree Lighting in 2021, improved in 2022. However, after much discussion, brainstorming, consideration, and thought, we still have not formally established a second event.

During the recent “What’s Up Down South Economic Summit” in St. George last week, Mayor Jessop presented a brief overview of Hildales status and future opportunities. The following is an excerpt from that presentation which will, hopefully, spur our decision for a second annual event.

*“We take pride in the slogan “Welcome Home”, and we show it by hosting many events in our city, such as:*

1. *The annual Public/Private Regional Partnership luncheon attended by more than 60 decision makers in the region.*
2. *The Hildale Day of Hope of community support and encouragement.*
3. *Several cultural arts event with nationally and internationally recognized performers.*
4. *A Mother’s Day Flag raising and community breakfast.*
5. *Independence Day activities with Colorado City.*
6. *A Veteran’ Day Flag Raising.*
7. *An annual Christmas Tree Lighting with a new location and community donations of the new mechanical tree.”*

The full text of the presentation, and Mayor Jessop’s personal introduction of Governor Cox is on page two.







☎ 435-874-2323  
📠 435-874-2603  
🌐 www.hildalecity.com

Mayor Jessop presentation and Governor introduction  
February 1, 2023

Hildale has undergone a seismic shift in community, politics, private property ownership, inclusivity, outreach, and cooperation over the last several years. 2022 was no exception and 2023 appears brighter than ever. We take pride in the slogan “Welcome Home”, and we show it by hosting many events in our city, such as the annual Public/Private Regional Partnership luncheon attended by more than 60 decision makers in the region; the Hildale Day of Hope of community support and encouragement; Several cultural arts event with nationally and internationally recognized performers; A Mother’s Day Flag raising and community breakfast; Independence Day activities with Colorado City; A Veteran’ Day Flag Raising; a Renaissance Fair in the fall; and an annual Christmas Tree Lighting with a new location and community donations of the new mechanical tree.

Hildale businesses are strong and growing. Some of these businesses are more than just locally recognized, such as Finney Farms, Water Canyon Winery. Camping, Glamping, Hiking, Leisure Resorts, and outdoor recreation areas are excellent.

Balance of Nature warehousing production facility came to town a few years ago and Plus One Companies have broken ground on a new multi-million-dollar facility. Entrepreneurship is a common quality amongst our residents, and we have recently been awarded a Grant from the Utah Governor’s Office of Economic Opportunity to establish an Innovation Center and entrepreneurial incubator with fully prepared, state of the art, Plug and Play office rentals; A prototype creation area with a 3D printer and fabricating equipment; a training and business education center, as well as tourist information.

Free market land is now available within the city, as our boundaries were extended to the west by almost 2 miles. This provides greater opportunity for housing and commercial development.

We are especially grateful for the strong support from our educational partners Washington County School District’s investment of millions into Water Canyon Schools; Mohave Community College satellite campus as a steadfast presence in our communities for secondary education and skills development; Utah Tech for opening a dual enrollment center at Water Canyon High School; and Dixie Tech and Southern Utah University for becoming regional partners.

Our message of hope for 2023 is simple:  
We’ve learned from where we’ve been, Love where we are, and look forward to where we’re going.  
We all will do great things together!

With that.... It is my sincere honor to introduce to you the man who 5 years ago as Lieutenant Governor assisted in Hildale’s first democratic election through education, mentorship, and support. As Governor he has been first at the table to help our community whether it be attending our first high school graduation or supporting our most recent economic development vision. He has continued reaching out and supporting us all in the State of Utah to be a place we are all proud to call “home” .... my friend, Gov Spencer Cox.



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**Mayor: Donia Jessop**  
**Councilmembers: Lawrence Barlow, JVar Dutson, Brigham Holm, Terrill Musser, Stacy Seay**  
**City Manager: Eric Duthie**

# Hildale Council Events

## February 2023

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
			1 Whats Up Down South ED Conference @ SG	2	3	4
5	6	7 Innovation Coordinator Application review gam  Dixie Regional Transportation Expo @ SG 12pm	8 Hildale City Council Work session 2pm  Hildale City Council meeting 6pm	9 Court Monitor Outreach Stakeholder mtg 10am	10	11
12 Hildale Day Of Hope	13	14	15 H. E. A. T. Utility Assistance gam  UZONA Chamber luncheon 12pm	16 Hildale Planning and Zoning mtg. 6pm	17	18
19	20 <b>Presidents Day Holiday (OFFICE CLOSED)</b>	21	22 Utility Advisory Board mtg. 6pm	23	24	25
26	27	28	<b>March 1</b> H. E. L. P. Utility Assistance gam	<b>March 2</b>	<b>March 3</b>	<b>March 4</b>
<b>March 5</b>	<b>March 6</b>	<b>March 7</b>	<b>March 8</b> Hildale City Council meeting 6pm	<b>March 9</b>	<b>March 10</b>	<b>March 11</b>