



**NOTICE OF
SPECIAL MEETING OF THE PLANNING AND ZONING COMMISSION
HICKORY CREEK TOWN HALL
1075 RONALD REAGAN AVENUE, HICKORY CREEK, TEXAS 75065
TUESDAY, JULY 30, 2024, 6:00 PM**

AGENDA

Call to Order

Roll Call

Pledge of Allegiance to the U.S. And Texas Flags

Invocation

Public Comment

This item allows the public an opportunity to address the Planning and Zoning Commission. To comply with the provisions of the Open Meetings Act, the commission cannot discuss or take action on items brought before them not posted on the agenda. Please complete a request if you wish to address the commission. Comments will be limited to three minutes. Open Forum is for information only. No charges and/or complaints will be heard against any elected official, board member, the Town, or employee of the Town that are prohibited by law.

Consent Agenda

Items on the Consent Agenda are considered to be self-explanatory and will be enacted with one motion. No separate discussion of these items will occur unless so requested by at least one member of the Planning and Zoning Commission.

1. July 16, 2024 Meeting Minutes

Regular Agenda

2. Discuss, consider and act on a recommendation for a Site Plan for 800 Point Vista Road, being 5.13 acres of land situated in the Cornelius Town Center Addition, Block A, Lot 1, Town of Hickory Creek, Denton County, Texas.
3. Discuss, consider and act on a recommendation for a Preliminary Plat for the Lennon II Addition, Lots 1 - 9, Block A, being 10.22 acres of land situated in the M.E.P. and P.R.R. Co. Survey, Abstract No. 915, Town of Hickory Creek, Denton County, Texas. The property is located in the 3100 block of FM 2181.

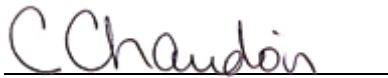
4. Discuss, consider and act on a recommendation for a Site and Landscape Plan for the Lennon II Addition, Lot 3, Block A, being 2.123 acres of land situated in the M.E.P. and P.R.R. Co. Survey, Abstract No. 915, Town of Hickory Creek, Denton County, Texas. The property is located in the 3100 block of FM 2181.
5. Discuss, consider and act on a recommendation for a Final Plat for the Lennon II Addition, Lot 3, Block A, being 2.123 acres of land situated in the M.E.P. and P.R.R. Co. Survey, Abstract No. 915, Town of Hickory Creek, Denton County, Texas. The property is located in the 3100 block of FM 2181.

Adjournment

The Planning and Zoning Commission reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by the Texas Government Code, Chapter 551.

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to the meeting. Please contact Town Hall at 940-497-2528 or by fax 940-497-3531 so that appropriate arrangements can be made.

I, Chris Chaudoir, do hereby certify, that this meeting notice was posted on the bulletin board at Town Hall, 1075 Ronald Reagan Avenue, Hickory Creek, Texas on July 25, 2024 at 10:00 a.m.



Chris Chaudoir
Town of Hickory Creek

**REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION
HICKORY CREEK TOWN HALL
1075 RONALD REAGAN, HICKORY CREEK, TEXAS
TUESDAY, JULY 16, 2024**

MINUTES

Call to Order

Meeting called to Order at 6:01 p.m. by Chairman May.

Roll Call

PRESENT

Chairman Tim May
Vice Chairman David Gilmore
Commissioner Brenda Kihl
Commissioner Tony Martinez
Commissioner Bill Nippert

ABSENT

Commissioner Dustin Jensen
Commissioner Collin Johnson

ALSO PRESENT

Trey Sargent, Town Attorney
Chris Chaudoir, Administrative Assistant

Pledge of Allegiance to the U.S. And Texas Flags

Pledge of to the U.S. And Texas Flags led by Chairman May.

Invocation

Invocation given by Vice Chairman Gilmore.

Public Comment

No Public Comment

Consent Agenda

1. June 18, 2024 Meeting Minutes

Motion to approve the minutes as presented made by Commissioner Kihl, Seconded by Commissioner Nippert.

Voting Yea: Vice Chairman Gilmore, Commissioner Kihl, Commissioner Martinez, Commissioner Nippert. Motion passed unanimously.

Regular Agenda

2. Discuss, consider and act on a recommendation for a Site Plan for 800 Point Vista Road, being 5.13 acres of land situated in the Cornelius Town Center Addition, Block A, Lot 1, Town of Hickory Creek, Denton County, Texas.

No action taken.

3. Discuss, consider and act on a recommendation for a Preliminary Plat for the Lennon II Addition, Lot 3, Block A, Being 2.123 acres of land situated in the M.E.P. and P.R.R. Co. Survey, Abstract No. 915, Town of Hickory Creek, Denton County, Texas..
4. Discuss, consider and act on a recommendation for a Final Plat for the Lennon II Addition, Lot 3, Block A, being 2.123 acres of land situated in the M.E.P. and P.R.R. Co. Survey, Abstract No. 915, Town of Hickory Creek, Denton County, Texas.
5. Discuss, consider and act on a recommendation for a Site and Landscape Plan for the Lennon II Addition, Lot 3, Block A, being 2.123 acres of land situated in the M.E.P. and P.R.R. Co. Survey, Abstract No. 915, Town of Hickory Creek, Denton County, Texas.

The applicant requested an extinction of items 3, 4, and 5 pursuant to Texas Local Government Code 212.009.

Motion to accept the extension made by Vice Chairman Gilmore, Seconded by Commissioner Kihl.

Voting Yea: Vice Chairman Gilmore, Commissioner Kihl, Commissioner Martinez, Commissioner Nippert. Motion passed unanimously.

6. Reconvene of a public hearing continued from June 18, 2024 regarding an ordinance of the Town of Hickory Creek, Texas, implementing certain revisions to the Town's zoning ordinance identified, considered, and contained within the Town's Comprehensive Plan update 2023 by amending the Town Code of Ordinances, Chapter 14 Zoning, Article 14.02 – Zoning Ordinance; Exhibit A Zoning Ordinance; Article I – Title; Article II – Purpose; Article III – Definitions; Article IV – Classification of Districts; Article V – Automobile Wrecking Yard; Article VI – Refuse and Waste Requirements; Article VII – SF-1 Residential District; Article VIII– SF-2 Residential District; Article IX – SF-3 Residential District; Article X – TH-1 Townhouse District; Article XI – SF-5ac Residential District; Article XII MF-1 - Apartment District; Article XII.5 - GMH Garth Addition Mobile Home Single-Family Residential; Article XIII - C-1 Commercial District; Article XIV - C-2 Commercial District: Article XV - LI-1 Industrial District; Article XVI - U-1 Utility District; Article XVII - PD Planned Development District; Article XVIII - Modular Home District; Article XIX - MHP Mobile Home Park District; Article XX - CL Club District; Article XXI PB-1 - Professional Building District; Article XXII - Special Area and Use Regulations; Article XXII.1 - MU-1 Mixed Use Suburban District; Article XXII.2 - MU-1 Mixed Use Regional District;

Article XXIII - Nonconforming Uses and Structures; Article XXIV - Vehicle Parking Regulations; Article XXV - Signs and Occasional Sales; Article XXVI - Creation of Building Site; Article XXVII - Site Plan Approval; Article XXVIII - Construction Requirements; Article XXIX - Office of Building Official-Engineer; Article XXX - Certificate of Occupancy and Compliance; Article XXXI – Hickory Creek Applications and Fee Schedules; Article XXXII – Board of Adjustments; Article XXXIII – Planning and Zoning; Article XXXIV – Amendments; Article XXV – Penalty and Violations; Article XXXVI – Validity; Article XXXVII – Effective Date and Emergency Declared; and Article XXXVIII – Home Occupation Regulations and discuss, consider and act on a recommendation for the same.

Public Hearing reconvened at 6:08 p.m.

The Commission, Ms. Chaudoir and Mr. Sargent held a general discussion on the changes to Chapter 14 and action needed for completion.

Public Hearing closed at 6:14 p.m.

No further action taken.

Adjournment

Meeting adjourned at 6:15 p.m.

Motion to adjourn made by Vice Chairman Gilmore, Seconded by Commissioner Nippert. Voting Yea: Vice Chairman Gilmore, Commissioner Kihl, Commissioner Martinez, Commissioner Nippert. Motion passed unanimously.

Approved:

Attest:

Tim May, Chairman
Planning and Zoning Commission

Chris Chaudoir, Administrative Assistant
Town of Hickory Creek



AGENDA INFORMATION SHEET

Project Name: Site Plan, 800 Point Vista Road

Meeting Date: July 30, 2024

Agenda Item: 2

Discuss, consider and act on a recommendation for a Site Plan for 800 Point Vista Road, being 5.13 acres of land situated in the Cornelius Town Center Addition, Block A, Lot 1, Town of Hickory Creek, Denton County, Texas.

Background:

Founder's Academy at 800 Point Vista Road has applied to add a 160 foot carport along the rear of the existing building at the southwestern corner. It would provide protection for teachers and students during student transition times. Initial submission was submitted June 13 and forwarded to Halff & Associates for review. Initial comments were returned June 21 and a new site plan provided July 1. July 9th discussions with the plans examiner and counsel affirmed the need for stamped plans addressed in the June 21st Halff comments. Completed plans provided to town and approval recommended by Halff July 24.

The site plan was provided to Lake Cities Fire Department for review. The Fire Marshall stated by email that he was fine with an 8ft awning along the fire lane, preferably with a 2 ft gap between the awning and lane.

Previous Action/Review:

Date	Request	Meeting	Result
March 22, 2025	Final Plat	Town Council	Approved
July 16, 2024	Site Plan	PnZ	No action
July 30, 2024	Site Plan	PnZ	



July 24, 2024
AVO 37638.200

Ms. Chris Chaudoir
Town of Hickory Creek
1075 Ronald Reagan Avenue
Hickory Creek, TX 75065

**Re: Founders Classical Academy of Corinth (Lot 1, Block A – Cornelius Town Center Addition)
Site Plan Addition
3rd Review**

Dear Ms. Chaudoir:

Halff received a request from the Town of Hickory Creek to review a site plan addition for Founders Classical Academy of Corinth, Lot 1, Block A of the Cornelius Town Center Addition.

First submittal received:	June 14, 2024
Second submittal received:	July 2, 2024
Third submittal received:	July 24, 2024

The owner is Founders Classical Academy Corinth PTO. The engineer is Allison Engineering Group, Inc.

Halff has reviewed the proposed site plan additions and revised submittal and offers no further comments. Halff recommends approval of the Site Plan Addition.

Key Changes from Previously Approved Site and Landscape Plan

1. Construction of a proposed 10' wide shade awning at the south end of the building in the school pick-up/drop-off area.
2. No further changes to the site plan.
3. No changes to landscaping plan.

Comments on Site Plan Addition

1. The proposed improvements will need to be reviewed by the Town Building Department to ensure any available shade awning details, elevations and/or shop drawings meet Building Code.
2. The location and dimensions of the proposed improvements will need to be reviewed and approved by the Lake Cities Fire Department in regards to their proximity to the site's fire lane. Encroachment or overhang of improvements within the Fire Lane boundary will not be permitted.
3. Please refer to the attached Town Checklist for site plan addition comments to be addressed.
4. Please refer to the attached markups for all comments not specifically included in the Town Checklist.
5. Owner/Surveyor/Engineer/Contractor shall submit annotated comment response letter indicating addressment of comments.

2nd Review: Annotated response not received.

3rd Review: Addressed. Responses Received.

6. Please verify all called dimensions on the building site plan, especially in regards to the south of the building in proximity to the proposed shade awning (See Markup).
2nd Review: Some additional dimensions added, however, at least two dimensions checked are incorrect. Please confirm dimensions shown are correct. Refer to Markup.
3rd Review: Dimensions corrected, verified and/or clarified.
7. Please indicate the Fire Lane locations/route in the site plan (See Markup).
2nd Review: Addressed.
8. Please provide structural or architectural plans/details specific to the shade awning, including any cross sections, material, color, shop drawings, and elevations that are signed/sealed by a Texas licensed professional engineer or architect (See Markup and Checklist).
2nd Review: Applicant included hand-drawn details of awning for Building Department review; however, the details are not signed/sealed by a licensed professional engineer or architect.
3rd Review: Addressed. Shade Awning Details have been signed and sealed by a licensed professional engineer.
9. Please include standard title block information as indicated (See Checklist).
2nd Review: Title block missing Addition, abstract, county. See markup.
3rd Review: Addressed.
10. Please include name, address and telephone number of the owner, applicant and/or surveyor engineer on the site plan (See Checklist).
2nd Review: Information not provided.
3rd Review: Addressed, contact information provided in latest submittal package.
11. Please provide a basic plan legend (See Checklist).
2nd Review: Legend not provided.
3rd Review: Addressed. Legend Added.
12. Please include information for existing land use, zoning, subdivision/addition name, recording information. This is needed for Planning and Zoning Board and to confirm proposed improvements meet requirements of the site's land use and zoning. (See Checklist).
2nd Review: Not addressed.
3rd Review: Addressed. Information included in latest submittal package.

Sincerely,

HALFF

TBPELS Engineering Firm No. 312



Kevin Gronwaldt, PE

Consulting Engineer for the Town of Hickory Creek

C: Kristi Rogers – Town Secretary
John Smith – Town Administrator

Chris Chaudoir

From: David Rodriguez <David.Rodriguez@lakecitiesfire.com>
Sent: Monday, June 17, 2024 2:38 PM
To: Samantha Baylog; Chris Chaudoir; John Smith
Cc: Founders Corinth PTO; Raul Martinez
Subject: RE: Updated Site Plan with Fire Lane Marked

Ms. Baylog,

Per our conversation, you will be ok with an 8ft awning towards the fire lane. We would like a 2ft gap between the fire lane and the awning to avoid it being struck by the fire apparatus.

If you have any questions, please feel free to reach out.

Thank you,

David Rodriguez

Fire Marshal
Lake Cities Fire Department
3501 FM 2181 Suite B
Corinth, TX 76210
Phone: 940-279-4590
Fax: 940-497-3455
david.rodriguez@lakecitiesfire.com



“You have everything you need to be successful.
Don't be discouraged by the challenges.”

From: Samantha Baylog <founderscorinthptotreasurer@gmail.com>
Sent: Friday, June 14, 2024 9:41 AM
To: Chris Chaudoir <chris.chaudoir@hickorycreek-tx.gov>; John Smith <john.smith@hickorycreek-tx.gov>
Cc: Founders Corinth PTO <founderscorinthpto@gmail.com>; Raul Martinez <mvrconstruction07@gmail.com>; David Rodriguez <David.Rodriguez@lakecitiesfire.com>
Subject: Updated Site Plan with Fire Lane Marked

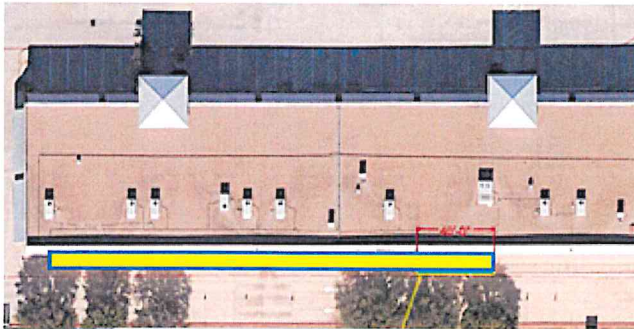
CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good Morning,

Here is an update of the site plan with the fire lane clearly marked. I hope this helps. Also, here are a couple of pictures showing the side of our building and an additional aerial view.

All the best!

Samantha Baylog



Founder's Classical Academy Corinth

Grammar Campus Shade Awning Project Proposal ~ Summer 2024

800 Point Vista Road, Hickory Creek, TX 75065



Purpose: The Founder's Classical Academy of Corinth PTO proposes to construct a shade awning along the south wall of the grammar campus to provide much needed protection from the elements along the pedestrian walkway that runs alongside our carline. The construction of an awning would not only provide daily protection from scorching sun, pouring rain, sleet and everything else Texas weather throws our way for our students and staff. Additionally, it will provide a space for covered recreation, outdoor classrooms, and vendor space for our community events.



Project Details: The metal shade awning will consist of black posts and a white corrugated metal roof extending 160 linear feet along the south wall of the building, with a width of 8 feet and a height of 9 feet. It will be affixed with 9' black metal posts along the edge of the building as well as the outer edge of the structure. Posts will be placed every 16 feet and anchored to the cement using 8 x 8 metal plates. The structure will be affixed to the façade of the building to prevent water seepage. The awning will include an integrated gutter system.

As per the Fire Marshall, David Rodriguez, the structure will not encroach within 2 feet of the fire lane. Max width 8'
Excess excavation is not anticipated for this project due to the fastening method.



Index of Pages:

Page 1: Introduction

Page 2: Site Plan

Page 3: Building Plans Front View

Page 4: Building Plans Side View

Page 5: Building Plans Top View

Page 6: Contractor description of construction methods and specifications of building supplies and materials.

Approvals:

- Town Engineer, Kevin Gronwaldt:

- Director of Public Works, Jeffrey McSpedden:

Release for Construction: Upon approval from the Planning and Zoning Board, as well as the City of Hickory Creek City Council, construction on the project may begin on July 23rd, and is anticipated to take 5 days to complete. Construction and inspections must be completed before teachers return on August 1st.

SITE PLAN

Founders Classical Academy Corinth - Shade Responsive Education Solutions

Lot 1 Block A - CORNELIUS TOWN CENTER ADDN

Address: 800 Point Vista Rd

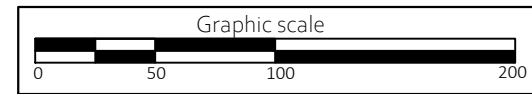
Hickory Creek, TX 75065

Parcel ID: 00-580-6047

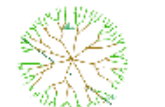


Lot area: 5.13 Acres

Plot Size: 11"x17"

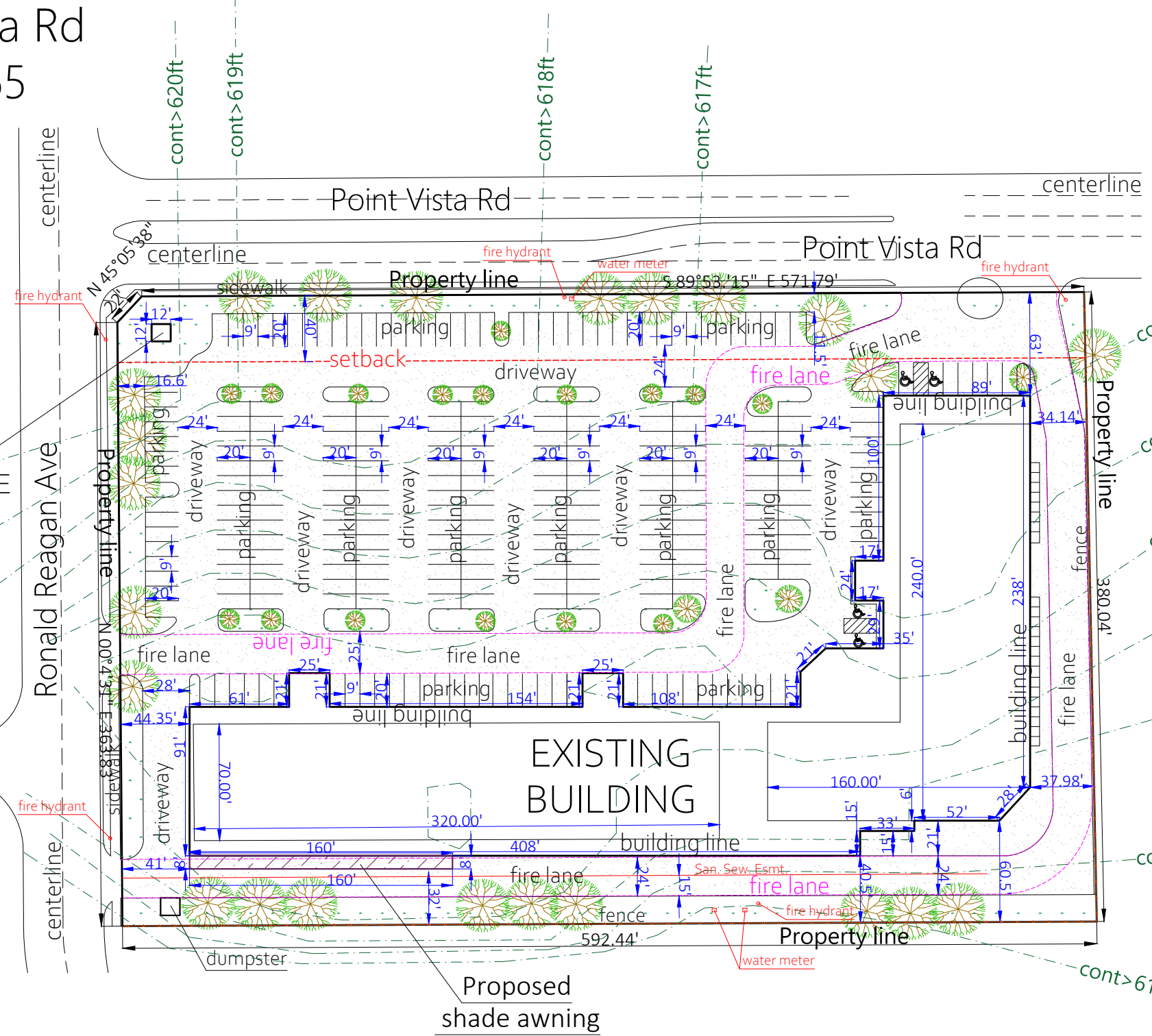
Drawing scale: 1"=80'



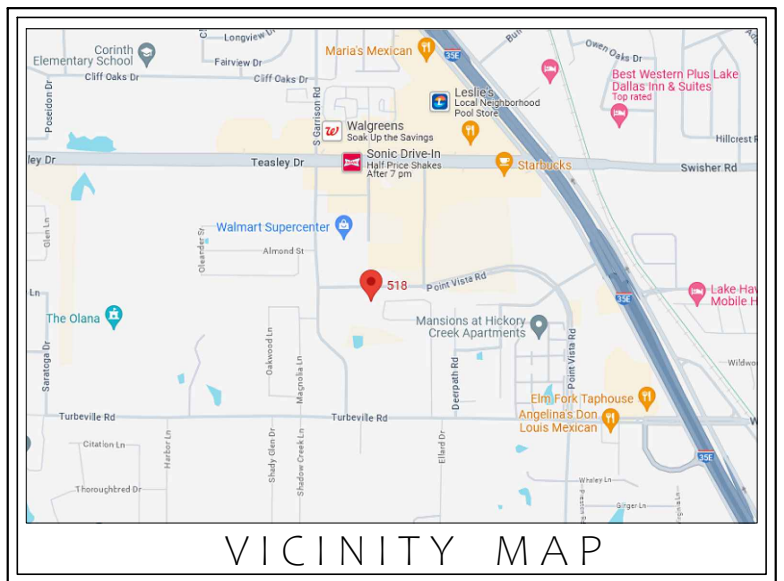
LEGEND

-  Tree
-  Building Line
-  Fire Lane

All other objects labeled on print.



* Awning - Metal; White Roof Black Posts, Height 9 feet, Width 8 feet, Length 160 feet *



Reference Original Plat

NUMBER

DRAWING NUMBER

DRAWING NUMBER

STATE OF TEXAS

STATE OF TEXAS

STATE OF TEXAS

OWNER'S CERTIFICATE AND DEDICATION

STATE OF TEXAS : WHEREAS, JADE Hickory Creek Investments, L.L.C., COUNTY OF DENTON : are the owners of all that certain lot, tract or parcel of land situated in the J. W. Simmons Survey, Abstract Number 1163, Town of Hickory Creek, Denton County, Texas, being all of that certain celled 6.21 acre tract of land described in deed to Jade Hickory Creek Investments, L.L.C., recorded in Volume 4497, Page 983 of the Real Property Records of Denton County, Texas, and being more particularly described as follows:

BEGINNING at a capped rebar found at the most northwest corner of said 6.21 acre tract, being on the east line of that certain tract of land described in deed to Ronald Edwin Brown et al. recorded in Volume 4508, Page 708 of the Real Property Records of Denton County, Texas, and being at the intersection of the west right-of-way line of Town Hall Road (now known as Ronald Reagan Avenue) and the south right-of-way line of Point Vista Road (40' R.O.W. according to the Final Plat of Wal-Mart Addition, Cabinet U, Page 105, Denton County, Texas;

THENCE S 89°53'15" E, 650.78 feet, along the south right-of-way line of Point Vista Road and the north line of said 6.21 acre tract, to an "X" in concrete found at the northeast corner thereof, being the northwest corner of that certain tract of land described as Tract 2 in deed to Ronald Reginald Furtick et al, Sims S. Furtick, dba "Yost Land Company" recorded in Volume 3415, Page 539 of the Real Property Records of Denton County, Texas;

THENCE S 00°46'35" E, 420.05 feet, along the west line of said Furtick tract and the east line of said 6.21 acre tract, to a 1/2" rebar found at the southeast corner thereof, being the northeast corner of that certain tract of land described in deed to the Town of Hickory Creek recorded in Volume 4497, Page 978 of the Real Property Records of Denton County, Texas;

THENCE S 89°46'27" W, 645.84 feet, along the south line of said 6.21 acre tract and the north line of said Town of Hickory Creek tract, to a 1/2" rebar found at the northwest corner thereof, being the southwest corner of said 6.21 acre tract and being on the east line of the Final Plat of the Wal-Mart Addition, as recorded in Cabinet W, Page 278, of the Real Property Records of Denton County, Texas;

THENCE S 00°04'31" E, along the southerly west line of said 6.21 acre tract and along the east line of said Tablot Addition, and containing a total distance of 396.88 feet, to a 1/2" rebar found at the northeast corner thereof, being an ell corner of said 6.21 acre tract;

THENCE S 88°16'43" W, 11.74 feet, along the north line of said Tablot Addition as dedicated per said plat and the westerly south line of said 6.21 acre tract, to a 1/2" rebar found at the westerly-southwest corner thereof, being the southeast corner of said Ronald Edwin Brown et al. tract;

THENCE N 01°45'07" E, 22.13 feet, along the northerly west line of said 6.21 acre tract and the east line of said Ronald Edwin Brown tract, to the POINT OF BEGINNING and containing approximately 6.194 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: That we, JADE Hickory Creek Investments, L.L.C., acting through our duly authorized representative, do hereby adopt this Final Plat designating the hereinabove described property as Cornelius Town Center Addition, an addition to the Town of Hickory Creek, Texas, and do hereby dedicate to public use forever all streets, alleys and public spaces shown hereon.

WITNESS OUR HAND THIS 6 day of September 2005

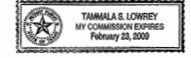
John Malloy, President
JADE Hickory Creek Investments, L.L.C.

STATE OF TEXAS : BEFORE ME, THE UNDERSIGNED AUTHORITY, COUNTY OF DENTON : personally appeared John Malloy, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged that he executed the same for the purpose and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 16 day of September 2005

Sammala S. Lowe
Notary Public
State of Texas

My commission expires the 23 day of February 2009



Cornelius Town Center Addn
R216810 R1163A Simmons
TR 408(2) 6.21 ac / ch 1/4
G01, S08, C19
SM019AA

* NOTE:

(1) Bearings based on the south line of the Wal-Mart Addition plat, said line being the north R.O.W. of Point Vista Road as recorded in Cabinet U, Page 165 of the plat records of Denton County, Texas. As shown on this plat.

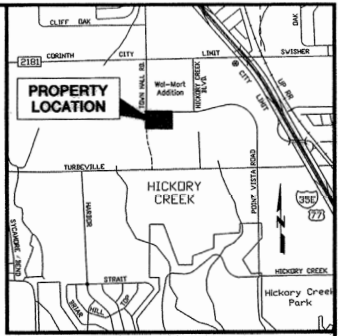
(2) Unless otherwise noted, All property corner designations to be 1/2" Capped Rebar (G&A) Set.

LEGEND

- C.R.F. Capped Rebar Found
- C.R.S. Capped Rebar (G&A) Set
- Mon. Monument
- Fnd. Foundation
- U.E. Utility Easement
- D.E. Drainage Easement
- W/L Water Line
- BL Building Line
- R.O.W. Right-of-Way
- P.O.B. Point of Beginning

OWNER/DEVELOPER
JADE Hickory Creek Investments, L.L.C.
31 Oak Circle
Lake Dallas, Texas 75065
(940) 321-5902
fax (972) 434-7782
Contact John Malloy

Filed for Record in:
Denton County
On: Sep 29, 2005 at 10:47A
As a
Plat
Document Number: 121009
Amount: 43.00
Receipt Number - 230870
By:
Jade Harris



RECOMMENDED FOR APPROVAL:

Nick Matthews Perry
Chairman, Planning and Zoning Commission
Town of Hickory Creek, Texas
Date: 9-15-05

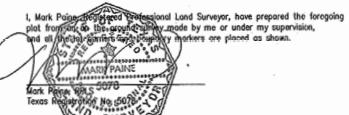
APPROVED:

John Malloy
Mayor
Town of Hickory Creek, Texas
Date: 9-15-2005

The undersigned, the City Secretary of the Town of Hickory Creek, Texas, hereby certifies that the foregoing plat of Cornelius Town Center Addition to the Town of Hickory Creek was submitted to the town council on the 22nd day of March 2005 and the council, by formal action, then and there accepted the dedication of streets, parks, easements, public places, and water and sewer lines, as shown and set forth in and upon said plat, and said council further authorized the Mayor to note the acceptance thereof by signing his/her name as hereinabove subscribed.

Witness my hand this 15th day of September 2005

Kelly Daniels
Town Secretary
Town of Hickory Creek, Texas

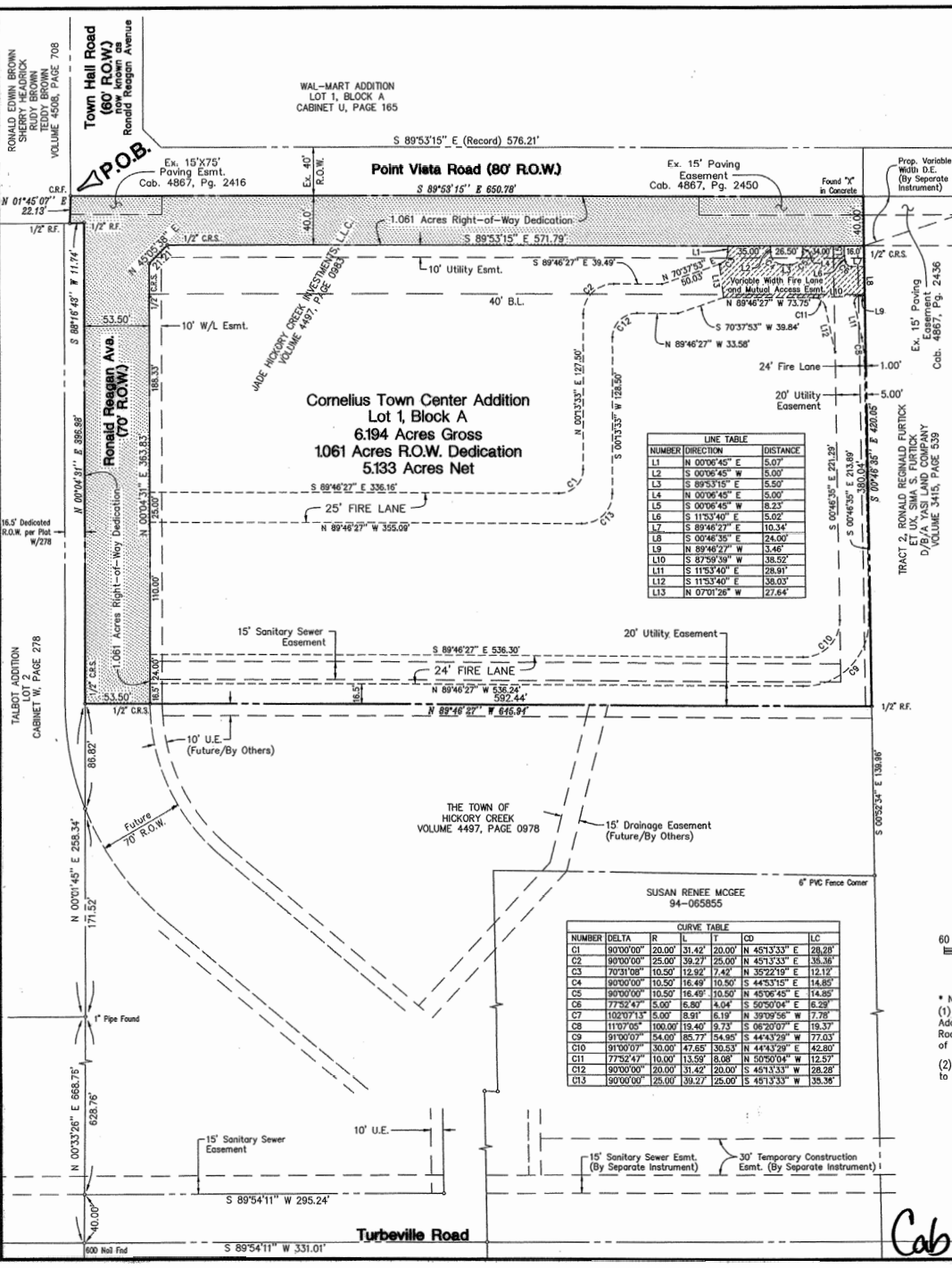


FINAL PLAT
Cornelius Town Center Addition
Lot 1, Block A
6.194 Acres
in the
J.W. SIMMONS SURVEY, ABSTRACT NO. 1163
TOWN OF HICKORY CREEK
DENTON COUNTY, TEXAS

G & A Consultants, Inc.

SITE PLANNING • FLATTING
CIVIL ENGINEERING • LAND SURVEYING
LANDSCAPE ARCHITECTURE
P.O. Box 1386 • Lewisville, Texas 75067
Phone (972) 436-9712 • Fax (972) 436-9715

DRAWN BY: I.C. DATE: 10/15/04 SCALE: 1"=60' JOB NO. 04139

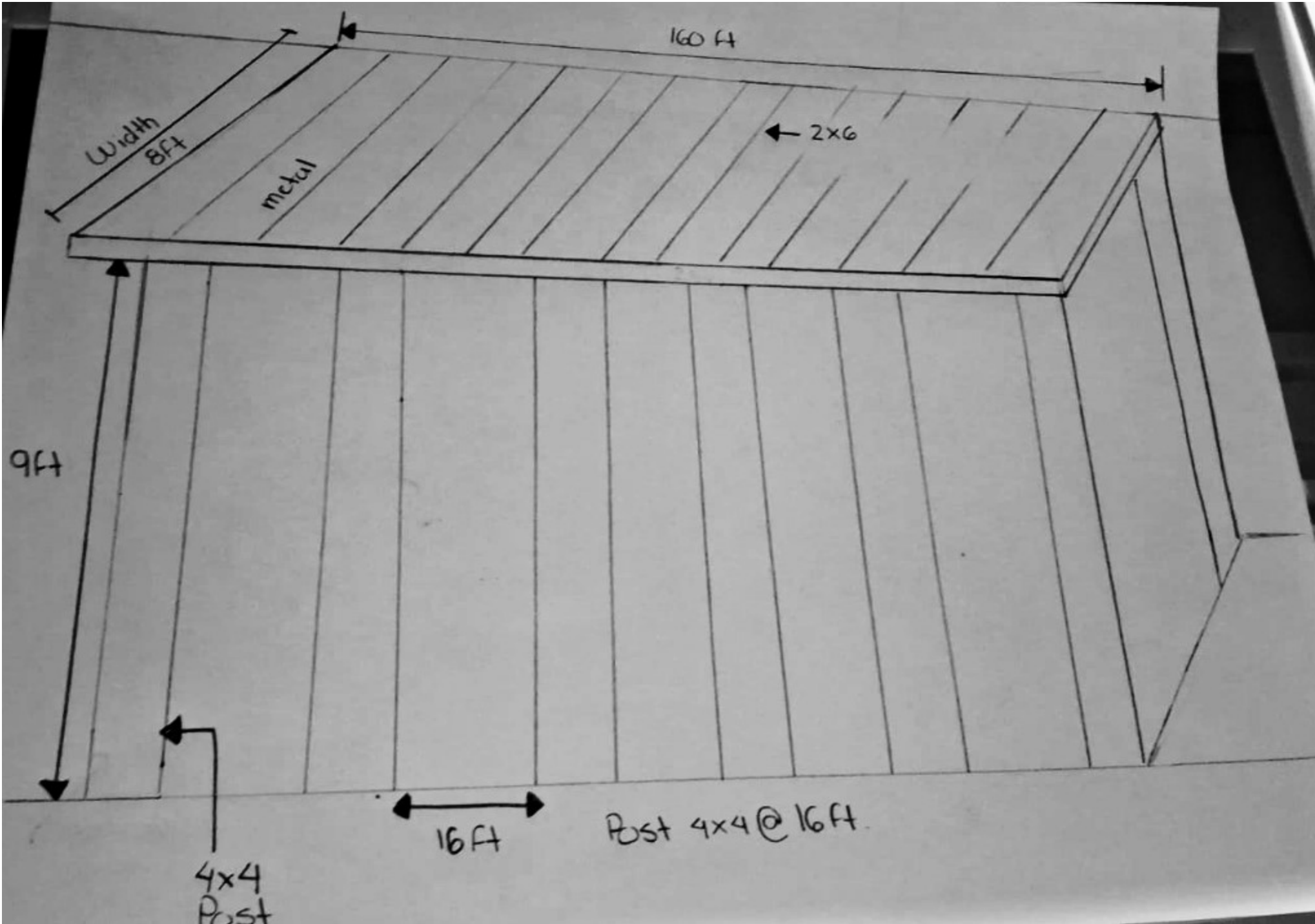


NUMBER	DIRECTION	DISTANCE
L1	N 00°46'45" E	5.07'
L2	S 00°46'45" W	5.00'
L3	S 89°53'15" E	5.50'
L4	N 00°46'45" E	5.00'
L5	S 00°46'45" W	5.23'
L6	S 11°53'40" E	5.02'
L7	S 89°46'27" E	10.34'
L8	S 00°46'35" E	24.00'
L9	N 89°46'27" W	3.46'
L10	S 87°59'30" W	38.52'
L11	S 11°53'40" E	28.61'
L12	S 11°53'40" E	38.03'
L13	N 07°01'28" W	27.64'

NUMBER	DELTA	R	L	T	CD	LC
C1	90°00'00"	20.00'	31.42'	20.00'	N 45°33'33" E	28.28'
C2	90°00'00"	25.00'	39.27'	25.00'	N 45°33'33" E	33.36'
C3	70°31'08"	10.50'	12.92'	7.42'	N 35°22'19" E	12.12'
C4	80°08'00"	10.50'	16.49'	10.50'	S 44°33'15" E	14.85'
C5	90°00'00"	10.50'	16.49'	10.50'	N 45°36'45" E	14.85'
C6	77°52'47"	5.00'	6.80'	4.04'	S 50°52'04" E	6.29'
C7	102°07'13"	5.00'	8.91'	6.19'	N 39°09'56" W	7.78'
C8	110°7'05"	100.00'	19.40'	9.73'	S 06°20'07" E	19.37'
C9	91°00'07"	54.00'	85.77'	54.95'	S 44°43'29" W	77.03'
C10	91°00'07"	30.00'	47.55'	30.53'	N 44°43'29" E	42.80'
C11	77°52'47"	10.00'	13.59'	8.08'	N 50°50'04" W	12.57'
C12	90°00'00"	20.00'	31.42'	20.00'	S 45°13'33" W	28.28'
C13	90°00'00"	25.00'	39.27'	25.00'	S 45°13'33" W	33.36'

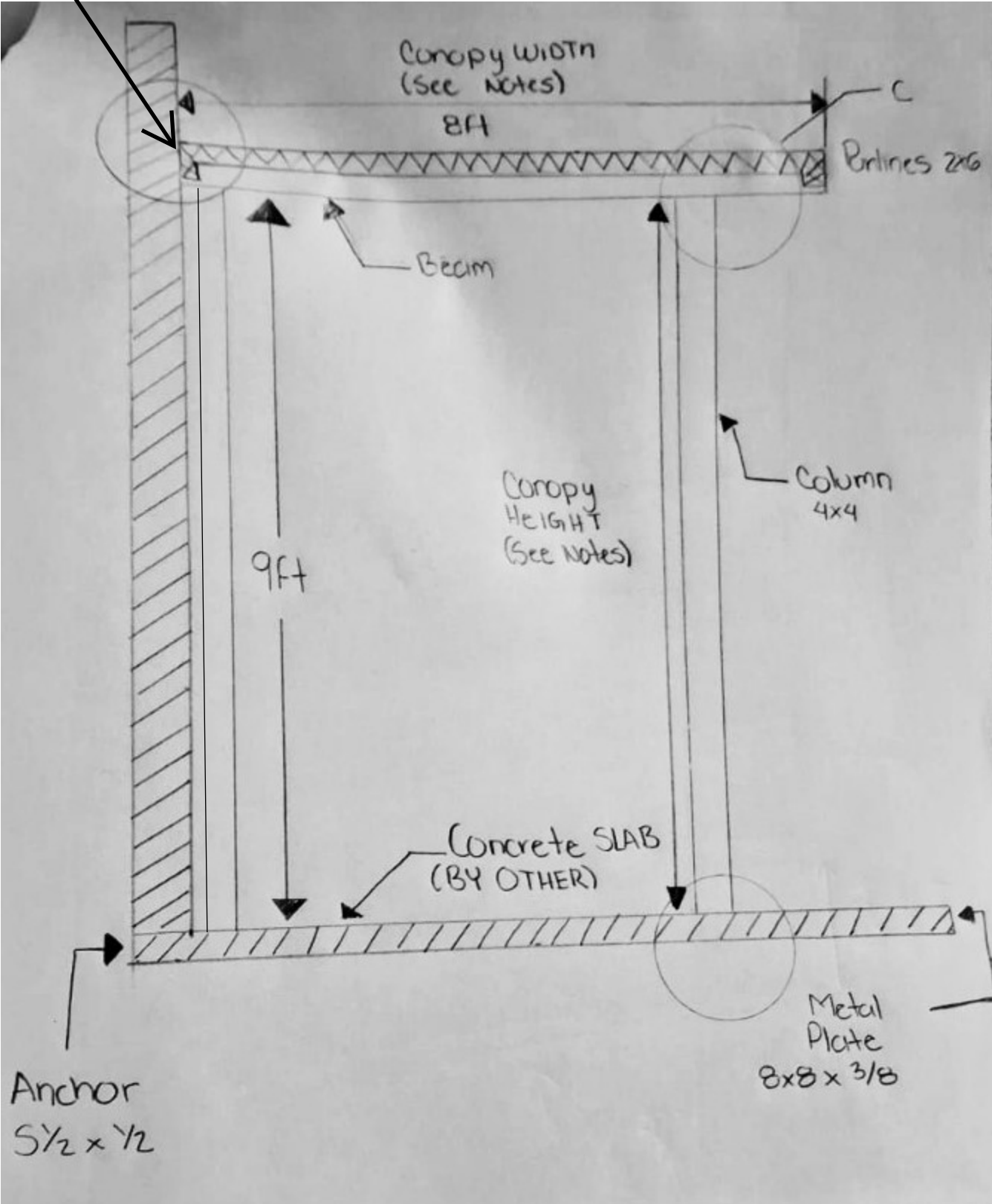
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Front View

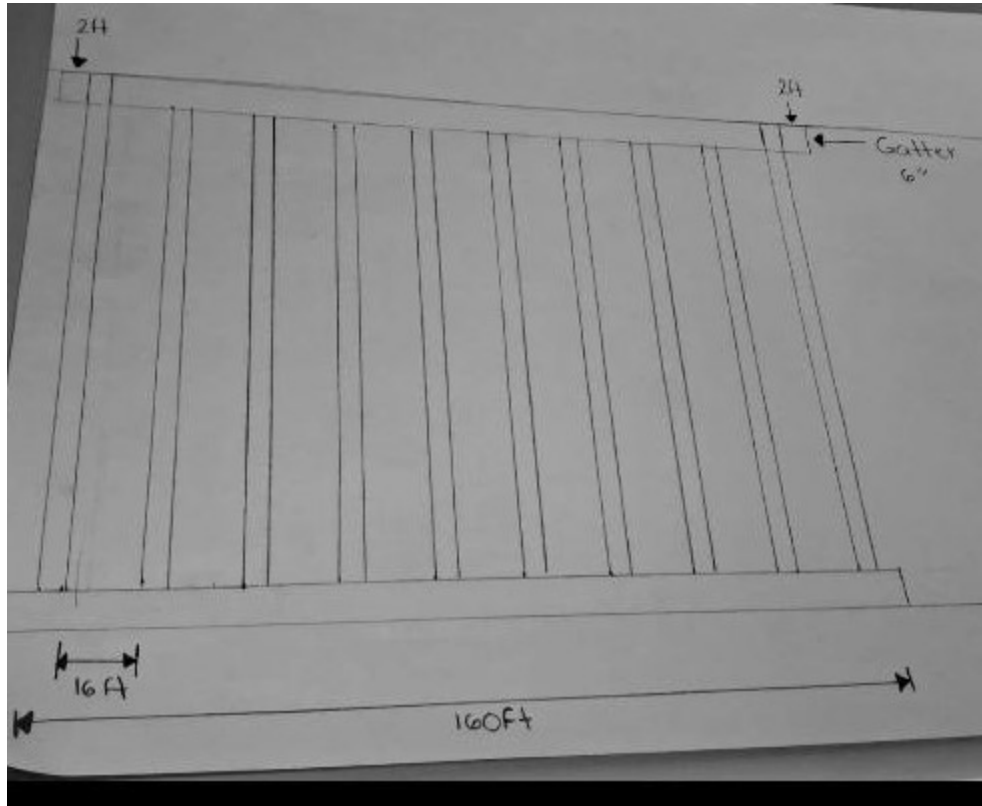


Side View

Flashing only, Structure is freestanding from building



Top View



Building plan- Hickory Creek

The structure would be installed on sections of 16ft from center of post. The post are 4x4 gauge 11. The post would be anchored onto floor concrete plates 8x8 x 3/8. The post would have anchors 5 1/2 x 1/2 . The top construction would be purlines 2x6 gauge 14 and receivers 2x6 gauge 14. Metal sheet R panel gauge 26. Gutter would run all along the length of the awning width 6". The downspouts would be placed every 40ft. The downspouts bottom would have no curve to avoid trip hazard and be compliant to the 2 ft from firelane. The roof color would be white and metal post color black. Screws and bolts/fastener would be used as well gaskets where applicable. Along the top connection between the roof and building there would be a light weight flashing placed to avoid water seepage into the ground. No weight would be added to the existing building. The shade awning would be self sustainable in weight and durability. The roof would have a 2 pitch slope to accommodate water run off into gutter system. From the building to the edge of the awning would be 8ft to respect two feet from fire lane.

CONSTRUCTION NOTES:

- METAL POST "SQUARE" 4 x 4 GAUGE 11
- RECEIVERS 2 x 6 GAUGE 14
- PURLINES 2 x 6 GAUGE 14
- METAL SHEETS 12 PANELS GAUGE 26
- GUTTER 6"
- OVERHANG BASED OFF CODE
- ROOF WILL NOT CROSS FIRELANE



DESIGN NOTES:

1. This design is based on wind, rain, and snow loads calculated using ASCE 7-22, which exceeds the requirements of ASCE 7-10.

2. All materials and construction methods shall conform to Mitchell Metals specification 107300 for a stand alone aluminum walkway structure with the following exceptions:

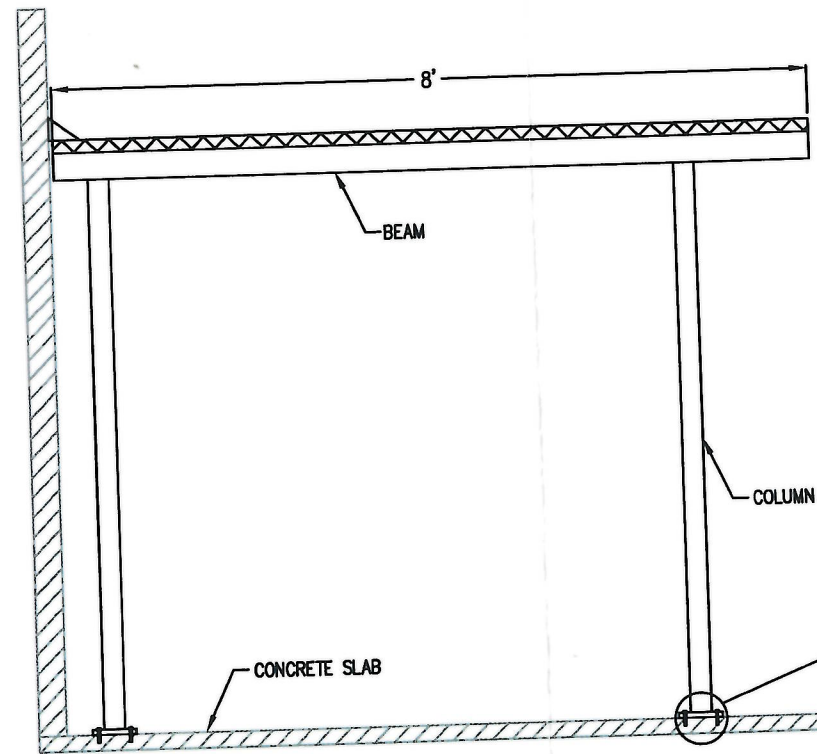
- a. The columns supporting the canopy will be welded directly to 10" square 1/2" thick steel plates with four (4) 5/8" diameter holes in each corner of the plate. Each hole shall be 1-1/2" offset from each adjacent side (see detail on this sheet).
- b. Steel plates shall be affixed to the existing concrete pavement using Hilti HIT-HY 200-R-V3 adhesive anchoring system using 1/2" HIT-Z-R anchor rods. Rods shall be embedded a minimum of 4-1/2" in the concrete slab. Contractor shall install this adhesive system per specifications supplied by Hilti.

3. The canopy shall not be affixed to the building, but utilize flashing between the building and the canopy roof to prevent water runoff seeping between both structures.

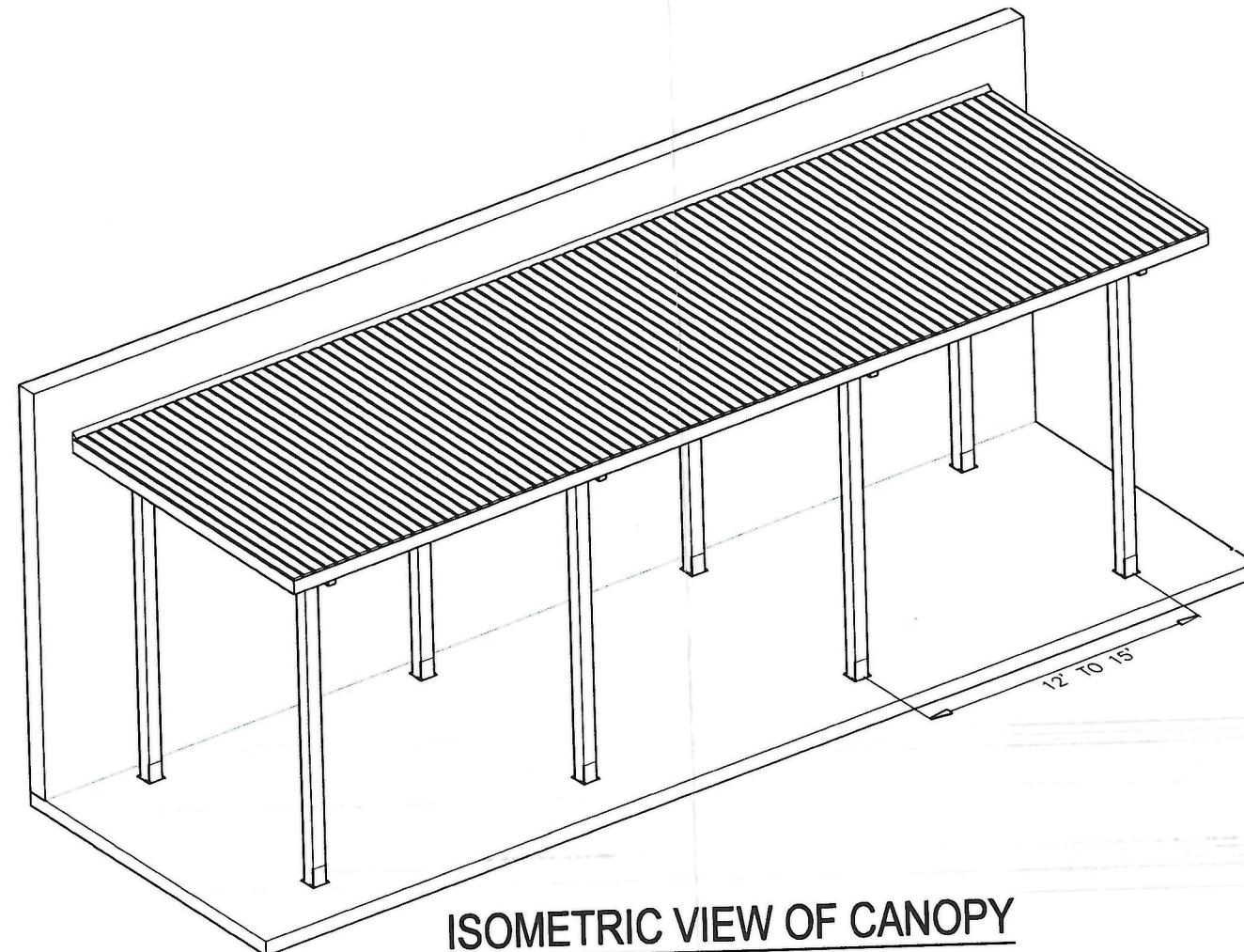
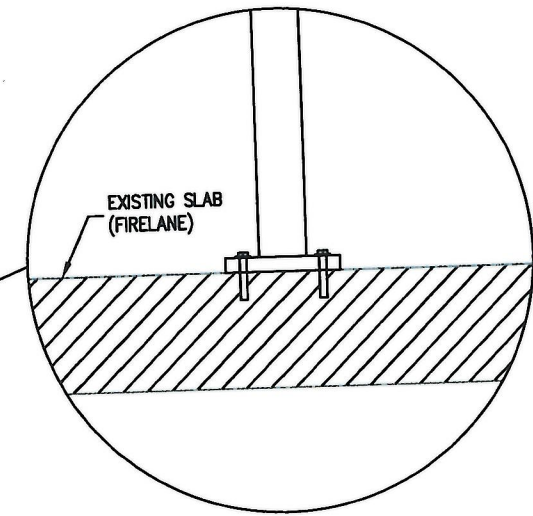
4. Canopy shall maintain a minimum slope away from the building of 1%, but shall not exceed 7.5%.

5. Contractor shall core and repair one concrete test hole to determine concrete pavement thickness. If thickness is less than 6" in depth, contractor shall contact engineer of record for alternative Hilti specification.

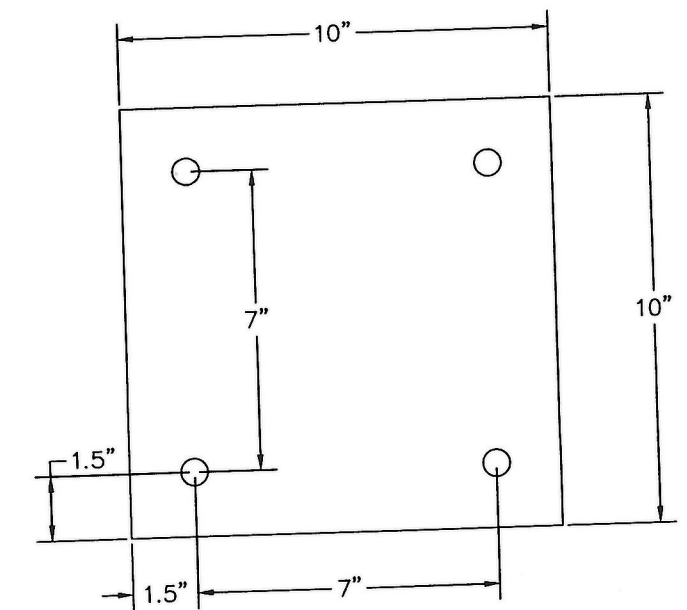
6. Columns nearest building shall not be closer than 6" to the outside of the column, but no further than 12" measured from the face of the building face.



SECTION VIEW OF CANOPY



ISOMETRIC VIEW OF CANOPY



STEEL PLATE DETAIL

Allison Engineering Group, Inc.

2415 N Elm Street
Denton, TX 76201
940.380.9453 (o)

131 Degan, Suite 101
Lewisville, TX 75057

info@ae-grp.com

Civil Engineers | Land Development Consultants



Original Equipment Specification to be Followed:

Aluminum Canopies • Walkway Covers • Metal Awnings

SPECIFICATIONS

Section 107300 – Aluminum Walkway Covers

Part 1: General

1.1 Related Documents

- A. The requirements of Division 1 specifications shall apply to work specified in the section.

1.2 Engineering Design Criteria

- A. International Building Code 2021
- B. ASCE 7-10, Minimum Design Loads for Buildings and Other Structures
- C. Aluminum Design Manual 2020
- D. AWS D1.2 – 2014, Structural Welding Code - Aluminum
- E. Local governing codes and standards for site location

1.3 General Description of Work

- A. Work in this section shall include design, fabrication, and installation of pre-engineered, pre-finished aluminum protective covers. All work shall be in accordance with the shop drawings and this specification section.

1.4 Submittals

- A. Shop Drawings – Submit complete shop drawings including:
 - 1) Overall canopy layout dimensions
 - 2) Cut section details including elevation, bent layout dimensions, canopy connection details, and wall connection details
 - 3) Flashing details pertaining to aluminum canopy
 - 4) Concrete footing and/or canopy anchorage details
- B. Product Data – Submit manufacturer's product information, specifications, and installation instructions for the aluminum canopy.
- C. Samples – Submit color selection samples of actual coated aluminum material or actual anodized aluminum material.
- D. Certification – Provide Professional Engineer certification that the proposed canopy design and layout meets or exceeds all applicable loadings (ex: wind load, rain live load, dead load, snow load) for the job location (city & state) in accordance with IBC 2021 and ASCE 7-10.

1.5 Quality Assurance

- A. Manufacturer Qualifications: Minimum five years experience in design, fabrication, and production of aluminum protective covers.
- B. Components shall be assembled in shop to greatest extent possible to minimize field assembly.
- C. Aluminum protective cover, including material and workmanship, shall be warranted from defects for a period of one year from date of completion of aluminum protective cover installation.

Part 2: Products and Materials

2.1 Acceptable Manufacturers

A. **Mitchell Metals, LLC**
1761 McCoba Drive
Smyrna, GA 30080
Phone: 770.431.7300
www.mitchellmetals.net

B. **Dittmer Architectural Aluminum**
1006 Shepard Road
Winter Springs, FL 32708
Phone: 407.699.1755
www.dittdeck.com

- C. Equivalent systems by other manufacturers will be approved for substitution by addendum if the following conditions are met:
 - 1) Other material meets criteria outlined within this document.

2.2 Design & Assembly

- A. Aluminum protective cover shall be mechanically fastened using internally welded brackets and concealed 300 series stainless steel fasteners. Welded connections can be used if shipping allows.

- B. Canopy shall use perimeter extruded gutter and extruded decking running perpendicular to length of sidewalk. Beams are to be notched to receive the extruded gutter to allow decking to sit flush to the top of the beam. Extruded Decking shall be a roll-locked design where the extruded cap and pan shall interlock to make a rigid structure. Crimped decking is not allowed.
- C. False fascia and extruded decking running parallel to length of sidewalk will be allowed if canopy spans exceed limitations of perpendicular decking and perimeter gutter. If used, pans are to be welded at ends to prevent water leakage. Standard T-flashing shall be used where decking is separated at a drain beam. The false fascia is to be secured using a rivet every 4'-0" on center connecting the fascia to the edge pans. Tie back straps are to be installed connecting the top of the fascia to the decking at 8'-0" on center.
- D. Canopies shall drain from the decking to the perimeter gutter, into the drain beam (if applicable) and discharge at the bottom of the column. For canopies where decking is run parallel to sidewalk, the canopies shall drain from the decking into the drain beam and discharge at the bottom of the column.
- E. Deflector plates are to be installed at the bottom of the column to discharge the water away from the column. The deflector plates are to be caulked inside the column and fastened to the column using a single rivet.
- F. Columns are to be locked into the column foundation using a single piece of ½" rebar, approximately 7" long, running through the bottom of the column below finished floor.

2.3 Materials

- A. Columns
 - 1) Columns are to be radius cornered aluminum tubular extrusions. Size of column used shall exceed loading requirements in section 1.2 – Engineering Design Criteria. Minimum column size shall be 4"x 4" at 0.125" thick.
 - 2) Provide clear acrylic protection or bituminous paint protection between the aluminum column and the concrete foundation.
 - 3) Tombstone shaped water outlet holes are to be cut at the bottom of all draining columns with deflector plates installed inside. Circular drain holes are not allowed.
- B. Beams
 - 1) Beams are to be open topped aluminum tubular extrusions.
 - 2) Size of beam used shall exceed loading requirements in section 1.2 – Engineering Design Criteria. Minimum beam size shall be 4"x 6" at 0.125" thick.
- C. Decking

- 1) Decking shall be a rigid roll-locked design that is self flashing and utilizes interlocking sections.
 - 2) Extruded decking shall exceed loading requirements in section 1.2 – Engineering Design Criteria. Minimum 3” x 6” cap and pan.
 - 3) Where decking is run parallel to walkway, the ends of the pans shall be welded closed where decking does not terminate into a drain beam.
- D. Gutter
- 1) Gutter shall be radius cornered aluminum extrusion that exceeds loading requirements in section 1.2 – Engineering Design Criteria. Minimum gutter size shall be 4”x 6” at 0.093” thick.
- E. False Fascia
- 1) False Fascia shall be aluminum extrusion that exceeds loading requirements in section 1.2 – Engineering Design Criteria. Minimum fascia size shall be 1”x 6” at 0.070” thick.
- F. Flashing
- 1) Flashing shall be made of aluminum sheet painted to match the color of the canopy. Minimum flashing thickness shall be 0.040” thick.

2.4 Fasteners

- A. All framing fasteners shall be 300 series stainless steel with neoprene washers. All rivets are 3/16” aluminum. All decking fasteners shall be long life coated steel with a 300 series stainless steel cap and neoprene washer.

2.5 Finishes

- A. Factory applied baked enamel
- 1) Enamel is to comply with AAMA 2603.
 - 2) Color is to be as selected by architect from manufacturer’s standard color chart.

Part 3: Installation and Execution

3.1 Erection

- A. Canopies are to be installed according to approved shop drawings and plans.
- B. The entire structure shall be installed straight, true, and plumb according to standard construction procedures.
- C. Canopies shall be installed with minimal slope to allow water flow from top of canopy to draining columns and eliminate ponding.
- D. Non-draining columns shall have weep holes installed at top of concrete to remove condensation from post. Minimum weep hole size shall be ¼” in diameter.

- E. All joints, corners, and connections shall be tight and clean.
- F. All exposed fasteners are to be painted to match the canopy color.

- G. Decking is to be aligned and secured to aluminum frame structure.

3.2 Column Foundations

- A. Styrofoam blockouts shall be provided by the canopy manufacturer and installed by the General Contractor.
- B. General Contractor shall pour the required concrete foundation size around the Styrofoam blockouts provided by the manufacturer.
- C. Canopy installer is to remove the Styrofoam after concrete foundation has cured, set column in cavity, and fill with minimum 2000 psi grout to level of finished concrete slab.
- D. Slab mounting of aluminum columns is allowed upon the architect's approval (if slab mounting resists applicable loading). ½" x 4 ½" Stainless Steel wedge anchors shall be used when slab mounting aluminum columns. Design of attachment surfaces for slab mounting is not covered in this specification and scope of work.
- E. Foundation/Footing design and installation is not covered in this specification and scope of work.

3.3 Cleaning

- A. All canopy surfaces exposed are to be cleaned after installation is complete.
- B. Surplus materials and debris shall be removed from the jobsite after installation is complete.

3.4 Protection

- A. General Contractor shall ensure protection of installed aluminum canopies from other construction so that canopies are without damage at time of substantial completion of project.



AGENDA INFORMATION SHEET

Project Name: Victory Hickory Creek Development

Meeting Date: July 30, 2024

Agenda Item:

3. Discuss, consider and act on a recommendation for a Preliminary Plat for the Lennon II Addition, Lots 1 - 9, Block A, being 10.22 acres of land situated in the M.E.P. and P.R.R. Co. Survey, Abstract No. 915, Town of Hickory Creek, Denton County, Texas. The property is located in the 3100 block of FM 2181.

4. Discuss, consider and act on a recommendation for a Site and Landscape Plan for the Lennon II Addition, Lot 3, Block A, being 2.123 acres of land situated in the M.E.P. and P.R.R. Co. Survey, Abstract No. 915, Town of Hickory Creek, Denton County, Texas. The property is located in the 3100 block of FM 2181.

5. Discuss, consider and act on a recommendation for a Final Plat for the Lennon II Addition, Lot 3, Block A, being 2.123 acres of land situated in the M.E.P. and P.R.R. Co. Survey, Abstract No. 915, Town of Hickory Creek, Denton County, Texas. The property is located in the 3100 block of FM 2181.

Previous Action/Review:

Date	Request	Meeting	Result
7/21/20	Zoning Designation	PnZ	Denial Recommended (lot density)
7/21/24	Preliminary Plat	PnZ	Approval Recommended
7/27/20	Zoning Designation	Town Council	Continued
7/27/20	Preliminary Plat	Town Council	Continued
8/24/20	Annexation	Town Council	Approved Ordinance 20-08-856
8/24/20	Zoning Designation	Town Council	Approved Ordinance 20-08-857
8/24/20	Preliminary Plat	Town Council	Approved
3/16/21	Lennon Creek Final Plat	PnZ	Recommended Approval
3/29/21	Lennon Creek Final Plat	Town Council	Approved
7/16/24	Lennon Creek II Preliminary / Final Plats, Site & Landscaping Plans	PnZ	Extension granted per LGC 212.009
7/30/24	Lennon Creek II Preliminary Plat	PnZ	
7/30/24	Lennon Creek II Final Plat	PnZ	

7/30/24	Lennon Creek II Site & Landscape Plans	PnZ	

Summary:

The properties in the ETJ north of Steeplechase North and south of FM 2181 were annexed into the town in 2019 & 2020. Per the zoning designation adopted in August 2020, 28.448 acres were zoned as the Lennon Creek Planned Development. The remaining 10.2 acres were designated Commercial-1 under the current zoning regulations with the following contingencies:

- (a) Southeast corner of Teasley Drive and Parkridge Drive zoned C-1 as a single lot with a maximum area of 60,000 square feet.
- (b) Balance of the Tract zoned C-1 proposed to subdivided into a maximum of 10 lots.

A Preliminary Plat was approved in 2020 for the 28 acres as part of the Lennon Creek Plat. Both the residential and commercial tracts were included in the Concept Plan with the Zoning Ordinance, but the Final Lennon Creek Plat did not include the commercial tract, leaving it with the legal description of A0915A MEP & PRR, Tract 15(pt), 10.0013 acres.

Submissions for the Lennon II Preliminary and Final plats and Site and Landscaping Plans were received June 17, 2024 and 1st comments were returned by Halff on June 26th .

On July 11, 2024, the applicants requested an extension of the Preliminary and Final plats and site and landscaping submission per Texas Local Government Code 212.009.

Victory Hickory Creek Development was proposing to develop the tract in sections starting with Lot 3, however, the Preliminary and Final Plats were revised on the July 19, 2024 submission to include Lots 1 – 9. Subsequent submissions on July 24th revised the lot dimension size on Lot 1 on the Preliminary Plat. The Final Plat was revised to only include Lot 3. Final revisions and the reasons for a variance of the Landscaping coverage percentage for the lot (Halff Letter, Tree Preservation and Landscape Plan (4)) were received July 25th.

After review, Halff recommends approval of the Preliminary Plat, Site Plan, and Landscape Plan contingent on the acceptance of the Stormwater Management Plan, and Drainage Study/Downstream Assessment. They also recommend acceptance of the Final Plat contingent on the acceptance of the Preliminary Plat, Site & Landscape Plan, and Stormwater Management Plan and Drainage Study/Downstream Assessment.

The Lake Cities Fire Marshall has reviewed the fire lanes and stated they may need to be reviewed again for compliance once a building has been proposed.



July 25, 2024
AVO 37638.200

Ms. Chris Chaudoir
Town of Hickory Creek
1075 Ronald Reagan Avenue
Hickory Creek, TX 75065

**Re: Victory Hickory Creek (Lots 1-9, Block A – Lennon II Addition)
Preliminary Plat, Site Plan and Landscape Plan
4th Review**

Dear Ms. Chaudoir:

Halff received a request from the Town of Hickory Creek to review a Preliminary Plat, Site Plan and Landscape Plan application for Victory Hickory Creek, Lot 1-9, Block A Lennon II Addition on June 17, 2024. The surveyor is Eagle Surveying, LLC and the engineer is Claymoore Engineering. The owner is Victory Real Estate Group.

2nd Submittal Received: July 22, 2024

3rd Submittal Received: July 24, 2024

4th Submittal Received: July 25, 2024

Halff has reviewed the Preliminary Plat, Site Plan, and Landscape Plan and comments responses and has no further comments. Halff recommends approval of the Preliminary Plat, Site Plan, and Landscape Plan. Please note the Stormwater Management Plan and Drainage Study/Downstream Assessment has been given conditional approval, but is under review by separate letter, and acceptance of Preliminary Plat, Site Plan and Landscape Plan should be contingent upon final acceptance of the Stormwater Management Plan and Drainage Study/Downstream Assessment.

General

1. Please update any callouts, titles, labels, etc. from “City” to “Town.”
1st Review Response: Updated.
2nd Review: Not Completely Addressed on Site Plan.
2nd Review Response: Addressed.
3rd Review: Addressed.
2. Refer to Town checklist markup for additional comments.
1st Review Response: Noted.
3. Refer to attached markups for all additional comments.
1st Review Response: Noted.
4. Please address comments and markups on the attached markups and provide annotated responses and/or comment response letter.
1st Review Response: Included in resubmittal.
2nd Review: Addressed/Included.

Preliminary Plat

1. Please include, at minimum, the telephone number contact of the Owner.
1st Review Response: Added.
2nd Review: Not addressed. Contact info added for developer, engineer and surveyor, not for Owner. Please add for Owner.
2nd Review Response: Addressed.
3rd Review: Addressed.
2. Please provide minimum building setback lines for specified zoning designation per Town Ordinances.
1st Review Response: Added.
2nd Review: Addressed.
3. Please refer to Drainage Study Review comment regarding required Drainage Easement between Lots 1 and 2. If no recording information can be found, the Drainage Easement must be platted.
1st Review Response: Drainage Easement has been added to plat.
2nd Review: Addressed.

Site Plan

1. Please include minimum building setback lines for front, side and rear lot per Zoning Ordinance requirements.
1st Review Response: Added.
2nd Review: Addressed.
2. Please include the area of impervious surface in the Site Data Summary table.
1st Review Response: Added.
2nd Review: Addressed. But please confirm 87.7% coverage in relation to landscaping coverage as commented on landscape plans below.
3. Please include note indicating property is not within or adjacent to a FEMA floodplain.
1st Review Response: Added.
2nd Review: Addressed.
4. Please clarify or specify the designated loading and unloading area (i.e. delivery/freight trucks).
1st Review Response: Added.
2nd Review: Addressed. Note added specifying delivery/loading location on site.
5. Please specify material proposed for the screening wall at dumpster location (i.e. masonry).
1st Review Response: Added.
2nd Review: Not addressed. Please specify material of the wall.
2nd Review Response: Addressed.
3rd Review: Addressed.
6. Please provide the size, location, dimensions and details of all signs and exterior lighting of signs, including type of standards, locations and radius of light and intensity of foot-candles. All signage is subject to approval by the Building Inspections Department.
1st Review Response: Added.
2nd Review: Not addressed. Please confirm, either by locational label callouts or adding a note, if any signage or lighting is proposed with this site/construction.

2nd Review Response: Added Wayfinding signage. Tenant Signage TBD. Lighting TBD.

3rd Review: Addressed. Lighting Plans/Details will be provided with future Civil Plan Sets.

7. Provide an elevation of all four sides of the building including materials, colors, and dimensions at an architectural scale of 1"=20'.

1st Review Response: Included

2nd Review: Addressed. Town Building Inspector to Review/Comment.

8. Per Article XIII, Section 3(2), "all commercial areas adjacent to residential areas shall be separated from the residential area by the erection of a sight barrier fence which must be a minimum of eight feet in height, fully opaque, and constructed of 100 percent masonry materials." Please include such barrier along the southern site boundary to at least the extent of proposed construction (including fire lane/access drives). Refer to markup.

1st Review Response: Added. Only the wall behind Phase 1 (Lots 1-4) will be constructed for now. Each [remaining] lot will be responsible for their section.

2nd Review: Addressed. See height clarifier comment in markups.

9. The number of parking spaces adjacent to the south side of the proposed building is missing. Refer to markup.

1st Review Response: Added.

2nd Review: Addressed.

10. All work within TxDOT right-of-way (ROW) will require a permit from TxDOT. The proposed relocation of the westernmost driveway may require a TxDOT driveway permit and additional study. Please consult the Denton Area Office for permit requirements.

1st Review Response: Noted. Understood and working with TxDOT.

2nd Review: Addressed. TxDOT Permit set has been submitted by developer/engineer for TxDOT review/comment.

11. Town Engineer expresses concern to having dual, drive-thru restaurants on either side of the building, which may create a cyclical queuing effect in busy hours or for high-demand restaurants. Best practice is to locate drive-in/drive-thru lane facilities that do not impede vehicular traffic flow or pedestrian movement and safety. Current layout may force cars to queue in front of parking spaces (front lot), including possible blocking of handicap spaces, and along the fire lane (back lot) and potentially impede traffic flow and pedestrian movement/safety. Request developer/engineer address this concern, show data on queue lanes provided being sufficient or provide example of this site layout working in other locales based on the restaurant user/business popularity.

2nd Review Response: Noted. Developer requests as proposed.

3rd Review: Addressed. Per email received from developer on 7/23, 2nd drive-thru is being added based on tenant/user interest that do not have high volume drive-thru lanes. Developer's plan is to utilize lower volume users on the second (northern), shorter drive-thru lane.

12. Please update the site plan to show the latest property, lot and easement boundary calls as per the preliminary plat submitted on 7/24/2024.

3rd Review Response: Updated

4th Review: Addressed.

Tree Preservation and Landscape Plan

1. Please show and label all screening walls, fences, retaining walls, headlight screens and service area screens, including heights and types, as needed on the Landscape Plan. Refer to Site Plan comment regarding required masonry screen wall along southern boundary.

1st Review Response: Updated.

2nd Review: Addressed.

2. Please correct discrepancy in dumpster enclosure height between the site plan and landscape plan.

1st Review Response: Updated

2nd Review: Addressed.

3. Please correct the label indicating the required number of parking spaces to match the site plan. Refer to markup.

1st Review Response: Updated

2nd Review: Addressed.

4. Please check the "Landscape Area Provided" in the Landscape Calculations table. There does not appear to be 23,548 square feet of landscaping provided.

1st Review Response: Updated.

2nd Review: Original comment addressed but request clarification on the % coverage for impervious and landscape area. Square footage is not adding up. Since there is some impervious and landscape area on the adjacent lot, that may be causing the discrepancy between lot area and site area calculations. 15% minimum landscape coverage needs to be achieved in gross lot area.

2nd Review Response: Addressed.

3rd Review: Correct Landscape SF coverage is being shown within the lot area. However, only 12.3% coverage for the gross lot area. There is a 2,500 SF landscape coverage shortage that the developer is requesting/applying for a variance per landscape plans. Developer/Engineer shall provide reason, in writing, as to why a variance is being requested as per Article 10.02 Section 1 of the Town Subdivision Regulations.

3rd Review Response: Variance Request and Written Reasoning Provided.

4th Review: Addressed. Town Engineer has no further comment and takes no exceptions to granting landscape variance based on written request provided 7/25. Approval and Acceptance of Variance pending Planning and Zoning Review.

Sincerely,

HALFF

TBPELS Engineering Firm No. 312



Kevin Gronwaldt, PE

Consulting Engineer for the Town of Hickory Creek

C: Kristi Rogers – Town Secretary
John Smith – Town Administrator

Attachment: Town Checklist markup
Landscape Variance Request

Kevin Gronwaldt

From: Chris Chaudoir <Chris.Chaudoir@hickorycreek-tx.gov>
Sent: Thursday, July 25, 2024 8:42 AM
To: Kevin Gronwaldt
Subject: FW: Lennon PD
Attachments: Site Plan.pdf

New site plan and landscape variance below

Chris Chaudoir
Community Development / Code Enforcement
940/497-2528 ext. 225
940/279-7047 (direct)



PUBLIC OFFICIALS: A "Reply to All" of this email may lead to violations of the Texas Open Meetings Act. Please reply to only one sender.

ATTENTION: Please note any correspondence, such as email or letters, sent to Town Staff or Town Officials may become a public record and made available for Public/Media review.

From: Drew Donosky <drew@claymooreeng.com>
Sent: Thursday, July 25, 2024 8:38 AM
To: Chris Chaudoir <Chris.Chaudoir@hickorycreek-tx.gov>
Subject: RE: Lennon PD

Chris –

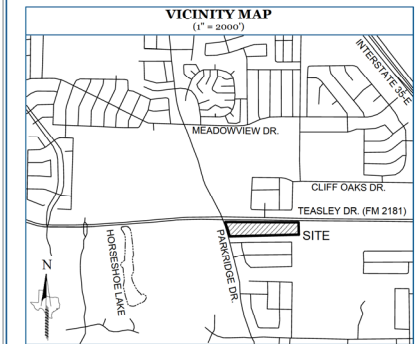
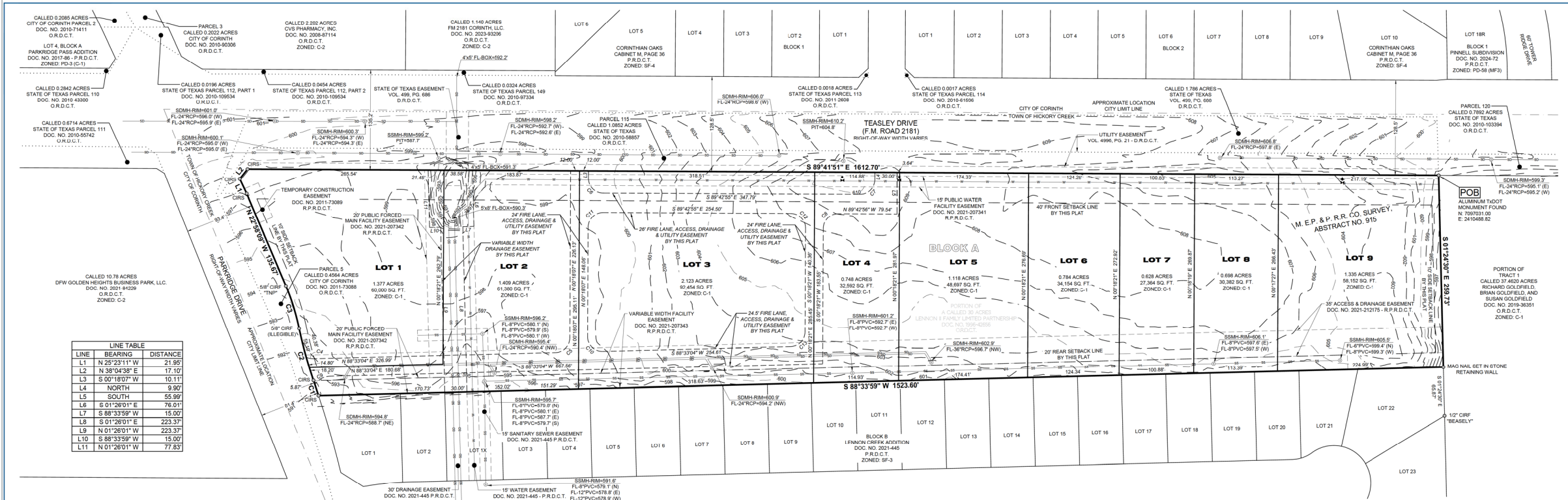
Please find the updated site plan attached that shows the revised lot areas adjacent per the latest preliminary plat.

Also please find our reasoning below for the landscape variance request.

Landscape Variance Justification: We respectfully request a variance to the landscape minimum requirements for the first phase of this project. In order to financially support the project in this first phase we must be able to develop a larger building with enough parking to support restaurant and retail. This first phase is an initial investment that will allow our team to purchase the entire property which will open the corridor for development of future projects. We are committed to ensuring the overall development will meet the minimum landscape requirements. Meaning this first lot may have a little less than the required however future lots will provide more than the required so as to balance out the overall development with the requirements.

Drew

Drew Donosky, PE (TX | OK | KS | IN | MO | TN)
1903 Central Drive, Suite #406



GENERAL NOTES

- The purpose of this plat is to create nine lots of record from an unplatted tract of land and dedicate easements.
- This property is located in Non-shaded Zone "X" as scaled from the F.E.M.A. Flood Insurance Rate Map dated June 19, 2020 and is located in Community Number 480774 as shown on Map Number 4812C0393H.
- The bearings and grid coordinates shown on this plat are based on GPS observations utilizing the AITerra RTK Network, North American Datum of 1983 (Adjustment Realization 2011).
- Selling a portion of this addition by metes and bounds is a violation of Town Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
- All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.

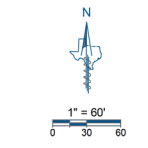
Eagle Surveying, LLC
 222 South Elm Street
 Suite: 200
 Denton, TX 76201
 940.222.3009
 www.eaglesurveying.com
 TX Firm # 10194177

SURVEYOR
 Eagle Surveying, LLC
 Contact: Brad Eubanks
 222 S. Elm Street, Suite: 200
 Denton, TX 76201
 (940) 222-3009

ENGINEER
 Claymore Engineering
 Contact: Drew Donosky
 1903 Central Dr. Ste. 406
 Bedford, Texas 76021
 (817) 281-0572

OWNER
 Lennon II Family, L.P.
 4300 MacArthur Ave. Suite: 200
 Dallas, TX 75209
 Phone: (214) 880-0380

DEVELOPER
 Victory Real Estate Group
 Contact: Brad Deveau
 2911 Turtle Creek Blvd. Suite: 700
 Dallas, TX 75219
 (972) 707-9555



OWNER'S CERTIFICATE

STATE OF TEXAS
 COUNTY OF DENTON

WHEREAS, **LENNON II FAMILY LIMITED PARTNERSHIP**, is the owners of a 10.22 acre tract of land out of the M. E. P. & P. R. R. Co. Survey, Abstract No. 915, situated in the Town of Hickory Creek, Denton County, Texas, being a portion of a 30 acre tract of land conveyed to Lennon II Family Limited Partnership by deed of record in Document Number 1996-42556 of the Official Records of Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at an aluminum TxDOT monument found in the south right-of-way line of Teasley Drive (F.M. Road 2181 - right-of-way width varies), being the southwest corner of a called 1.0802 acre tract of land conveyed as Parcel 115 to State of Texas by deed of record in Document Number 2010-58857 of said Official Records, also being the southwest corner of a called 0.7882 acre tract of land conveyed as Parcel 120 to State of Texas by deed of record in Document Number 2010-102394 of said Official Records;

THENCE, S01°24'30"E, leaving the south right-of-way line of Teasley Drive, along the east line of said 30 acre tract, a distance of 259.73 feet to a mag nail set in a stone retaining wall at the northeast corner of Block B of Lennon Creek Addition, a subdivision of record in Document Number 2021-445 of the Plat Records of Denton County, Texas;

THENCE, S88°33'59"W, along the north line of said Block B of Lennon Creek Addition, a distance of 1,523.60 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the east right-of-way line of Parkridge Drive (right-of-way width varies), being the common east line of a called 0.4564 acre tract of land conveyed as Parcel 5 to City of Corinth by deed of record in Document Number 2011-73088 of said Official Records, being the northwest corner of said Block B of Lennon Creek Addition;

THENCE, along the east right-of-way line of Parkridge Drive, in part being the common east line of said Parcel 5, and in part being the common east line of said Parcel 115, the following five (5) courses and distances:

- Along a non-tangent curve to the left, having a radius of 1,530.00 feet, a chord bearing of N18°32'53"W, a chord length of 21.34 feet, a delta angle of 00°47'56", an arc length of 21.34 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- Along a reverse curve to the right, having a radius of 560.50 feet, a chord bearing of N15°23'14"W, a chord length of 73.34 feet, a delta angle of 07°07'15", an arc length of 73.39 feet to a 5/8 inch iron rod with illegible yellow plastic cap found;
- Along a reverse curve to the left, having a radius of 309.50 feet, a chord bearing of N17°24'07"W, a chord length of 59.87 feet, a delta angle of 11°03'03", an arc length of 59.96 feet to a 5/8 inch iron rod with yellow plastic cap stamped "TNP" found;
- N22°58'03"W, a distance of 135.61 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- N25°23'11"W, a distance of 219.95 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the southwest end of a setback line at the intersection of the east right-of-way line of Parkridge Drive and the south right-of-way line of Teasley Drive;
- N38°04'38"E, along said setback line, a distance of 17.10 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the northeast end of said setback line;
- S88°41'51"E, along the south right-of-way line of Teasley Drive and the common south line of said Parcel 115, a distance of 1,612.70 feet to the **POINT OF BEGINNING**, containing an area of 10.22 acres (445,175 square feet) of land.

LEGEND

P.G. = PAGE	P.R.D.C.T. = PLAT RECORDS, DENTON COUNTY, TEXAS
VL = VOLUME	R.P.R.D.C.T. = REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS
CAB = CABINET	O.P.R.D.C.T. = OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS
IRF = IRON ROD FOUND	IRF = EASEMENT
CIRS = CAPPED IRON ROD SET	IRF = POINT OF BEGINNING
CIRF = CAPPED IRON ROD FOUND	IRF = POINT OF BEGINNING
ADP = ALUMINUM DISK FOUND	IRF = POINT OF BEGINNING
ESMT = EASEMENT	IRF = POINT OF BEGINNING
POB = POINT OF BEGINNING	IRF = POINT OF BEGINNING
SQ. FT. = SQUARE FEET	IRF = POINT OF BEGINNING
DOC. NO. = DOCUMENT NUMBER	IRF = POINT OF BEGINNING
○ = STORM SEWER MANHOLE	IRF = POINT OF BEGINNING
○ = SANITARY SEWER MANHOLE	IRF = POINT OF BEGINNING

OWNER'S DEDICATION

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, **LENNON II FAMILY LIMITED PARTNERSHIP**, do hereby adopt this plat designating the hereinabove described property as **LENNON II ADDITION, LOTS 1-9, BLOCK A**, an addition to the Town of Hickory Creek, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets and easements shown thereon. The streets are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the Town of Hickory Creek. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and Town of Hickory Creek's use thereof. The Town of Hickory Creek and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The Town of Hickory Creek and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity of any prior procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Hickory Creek, Texas

WITNESS, my hand, this _____ day of _____, 2024.

OWNER: _____

By: _____ Date _____

STATE OF TEXAS
 COUNTY OF _____

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____ Owner, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 2024.

Notary Public in and for the State of Texas

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1530.00	21.34	0°47'56"	N 18°32'53" W	21.34
C2	590.50	73.39	7°07'15"	S 15°23'14" E	73.34
C3	309.50	59.96	11°03'03"	N 17°24'07" W	59.87
C4	25.00	10.80	24°45'07"	S 79°04'22" E	10.72
C5	20.00	30.80	88°14'57"	N 44°25'36" E	27.85
C6	20.00	31.42	90°01'02"	S 44°42'24" E	28.29
C7	20.00	31.52	90°17'05"	N 45°08'32" E	28.35
C8	20.00	31.41	89°58'44"	S 45°17'43" W	28.28
C9	25.00	23.86	54°40'44"	S 61°12'43" W	22.96
C10	20.00	32.03	91°45'03"	N 45°34'24" W	28.71
C11	20.00	31.41	89°58'58"	N 45°17'36" E	28.28
C12	20.00	31.42	90°01'16"	S 44°42'17" E	28.29
C13	20.00	30.80	88°14'44"	S 44°25'43" W	27.85

CERTIFICATE OF SURVEYOR

STATE OF TEXAS
 COUNTY OF DENTON

That I, **MATTHEW RAABE**, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Development Ordinance of the Town of Hickory Creek, Texas.

PRELIMINARY
 This document shall not be relied upon for any purpose and shall not be used or viewed or relied upon as a final survey document

Matthew Raabe, R.P.L.S. # 6402 _____ Date _____

STATE OF TEXAS
 COUNTY OF DENTON

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared **MATTHEW RAABE**, Registered Professional Land Surveyor, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 2024.

Notary Public in and for the State of Texas

TOWN APPROVAL BLOCK

Recommended for Approval _____

Chairman, Planning & Zoning Commission _____ Date _____
 Town of Hickory Creek, Texas

Approved For Preparation of Final Plat _____

Mayor _____ Date _____
 Town of Hickory Creek, Texas

PRELIMINARY PLAT
LENNON II ADDITION
 LOTS 1-9, BLOCK A

BEING 10.22 ACRES OF LAND SITUATED IN THE M.E.P. & P. R. R. CO. SURVEY, ABSTRACT NO. 915 TOWN OF HICKORY CREEK, DENTON COUNTY, TEXAS



July 24, 2024
AVO 37638.200

Ms. Chris Chaudoir
Town of Hickory Creek
1075 Ronald Reagan Avenue
Hickory Creek, TX 75065

**Re: Victory Hickory Creek (Lot 3, Block A – Lennon II Addition)
Final Plat
2nd Review**

Dear Ms. Chaudoir:

Halff received a request from the Town of Hickory Creek to review a Final Plat application for Victory Hickory Creek, Lot 3, Block A Lennon II Addition on June 17, 2024. The surveyor is Eagle Surveying, LLC and the engineer is Claymoore Engineering. The owner is Victory Real Estate Group.

2nd Submittal Received: July 22, 2024

3rd Submittal Received: July 24, 2024

Halff has reviewed the Final Plat and offers no further comments. Halff recommends approval of the Final Plat. Please note the Preliminary Plat and Preliminary Site & Landscape Plan was reviewed and comments provided by separate letters on 7/10/2024 and 7/23/2024. Please also note the Stormwater Management Plan and Drainage Study/Downstream Assessment has been given conditional approval, but is under review by separate letter. Acceptance of Final Plat should be contingent upon acceptance of the Preliminary Plat, Site & Landscape Plan, and Stormwater Management Plan and Drainage Study/Downstream Assessment.

General

1. Refer to attached Town checklist markups for additional comments.
2. Refer to attached plat markup for all additional comments.

Final Plat

1. At minimum, please include the phone number of the Owner (Lennon II Family, LP) for contact information purposes.
2nd Review: Addressed.
2. Please submit tax certificates or tax statement(s) proving payment of taxes on property.
2nd Review: Addressed.



Sincerely,

HALFF

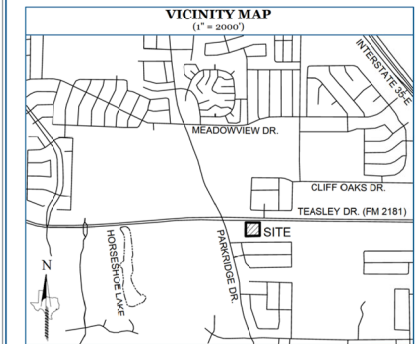
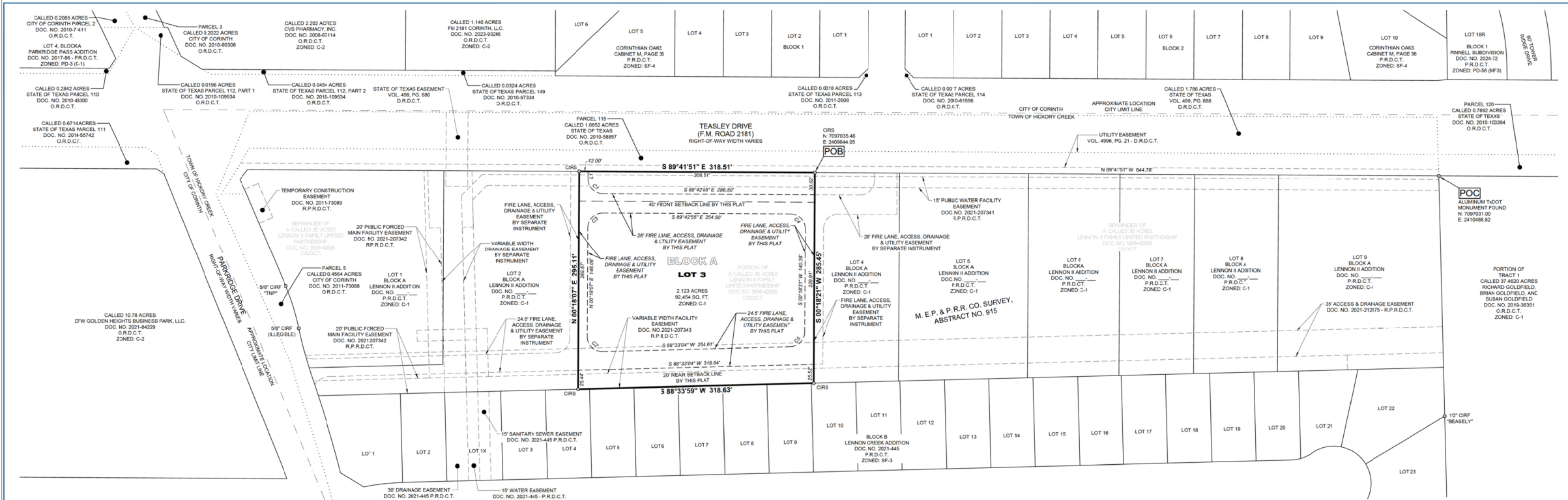
TBPELS Engineering Firm No. 312

A handwritten signature in black ink, appearing to read "K. J. Gronwaldt".

Kevin Gronwaldt, PE
Consulting Engineer for the Town of Hickory Creek

C: Kristi Rogers – Town Secretary
John Smith – Town Administrator

Attachment: Town Checklist markup



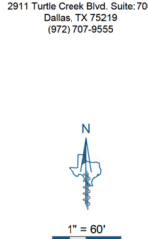
SURVEYOR
Eagle Surveying, LLC
Contact: Brad Eubanks
222 S. Elm Street, Suite: 200
Denton, TX 76201
(940) 222-3009

ENGINEER
Claymonts Engineering
Contact: Drew Donosky
1903 Central Dr, Ste. 406
Bedford, Texas 76021
(817) 281-0572

OWNER
Lennon II Family, L.P.
4300 MacArthur Ave. Suite: 200
Dallas, TX 75209
Phone: (214) 890-0380

DEVELOPER
Victory Real Estate Group
Contact: Brad Deneault
2911 Turtle Creek Blvd. Suite: 700
Dallas, TX 75219
(972) 707-9555

- GENERAL NOTES**
- The purpose of this final plat is to create one lot of record from an unplatted tract of land and to dedicate easements.
 - This property is located in Non-shaded Zone "X" as scaled from the F.E.M.A. Flood Insurance Rate Map dated June 19, 2020 and is located in Community Number 480774 as shown on Map Number 4812C03934.
 - The bearings and grid coordinates shown on this plat are based on GPS observations utilizing the AITerra RTK Network, North American Datum of 1983 (Adjustment Reorganization 2011).
 - Selling a portion of this addition by metes and bounds is a violation of Town Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
 - All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.



OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS, LENNON II FAMILY LIMITED PARTNERSHIP, is the owners of a 2.123 acre tract of land out of the M. E.P. & P. R.R. Co. Survey, Abstract No. 915, situated in the Town of Hickory Creek, Denton County, Texas, being a portion of a 30 acre tract of land conveyed to Lennon II Family Limited Partnership by deed of record in Document Number 1998-42556 of the Official Records of Denton County, Texas, and being more particularly described by metes and bounds as follows:

COMMENCING at an aluminum TXDOT monument found in the south right-of-way line of Teasley Drive (F.M. Road 2181 - right-of-way width varies), being the southeast corner of a called 1.0852 acre tract of land conveyed as Parcel 115 to State of Texas by deed of record in Document Number 2010-58857 of said Official Records, also being the southwest corner of a called 0.7892 acre tract of land conveyed as Parcel 120 to State of Texas by deed of record in Document Number 2010-10394 of said Official Records.

THENCE, N89°41'51"W, along the south right-of-way line of Teasley Drive and the common south line of said Parcel 115, a distance of 844.73 feet to a 1/2 inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" set in same, being the **POINT OF BEGINNING** of this herein-described subject tract;

THENCE, S00°18'21"W, leaving the south right-of-way line of Teasley Drive, traversing over and across said 30 acre tract, a distance of 285.45 feet to a 1/2 inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" set in same, being the **POINT OF BEGINNING** of a 2.123 acre tract of land conveyed as Parcel 120 to State of Texas by deed of record in Document Number 2021-445 of the Official Records of Denton County, Texas;

THENCE, S88°33'59"W, along the north line of said Block B of Lennon Creek Addition, a distance of 318.61 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in same;

THENCE, N00°18'07"E, leaving the north line of said Block B, traversing over and across said 30 acre tract a distance of 296.11 feet to a 1/2 inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" set in the south right-of-way line of Teasley Drive and the common south line of said Parcel 115

THENCE, S89°41'51"E, along the south right-of-way line of Teasley Drive and the common south line of said Parcel 115, a distance of 318.51 feet to the **POINT OF BEGINNING**, and containing an area of 2.123 acres (92,454 square feet) of land.

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	20.00'	31.42'	90°01'02"	S 44°42'24" E	28.29'
C2	20.00'	32.03'	91°45'03"	N 45°34'24" W	28.71'
C3	20.00'	31.41'	89°58'58"	N 45°17'36" E	28.28'
C4	20.00'	33.00'	90°01'18"	S 44°42'17" E	28.29'
C5	20.00'	39.80'	88°14'44"	S 44°25'43" W	27.85'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 00°18'07" W	19.11'

LEGEND

PG = PAGE
VOL. = VOLUME
CAB. = CABINET
IRF = IRON ROD FOUND
CRS. = CAPPED IRON ROD SET
CIRF = CAPPED IRON ROD FOUND
ADF = ALUMINUM DISK FOUND
ESMT. = EASEMENT
POB = POINT OF BEGINNING
SQ. FT. = SQUARE FEET
DOC. NO. = DOCUMENT NUMBER

P.R.D.C.T. = PLAT RECORDS, DENTON COUNTY, TEXAS
R.P.R.D.C.T. = REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS
O.P.R.D.C.T. = OFFICIAL PUBLIC RECORDS, DENTON COUNTY, TEXAS
E.A.S.M.T. = EASEMENT ANNOTATION / DEDICATION TEXT
--- = PLAT BOUNDARY
--- = EASMENTS
--- = PLAT LOT LINE
--- = ADJOINING PROPERTY LINE

OWNER'S DEDICATION

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, LENNON II FAMILY LIMITED PARTNERSHIP, do hereby adopt this plat designating the hereinabove described property as LENNON II ADDITION, LOT 3, BLOCK A, an addition to the Town of Hickory Creek, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets and easements shown thereon. The streets are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the Town of Hickory Creek. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and Town of Hickory Creek's use thereof. The Town of Hickory Creek and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The Town of Hickory Creek and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Hickory Creek, Texas

WITNESS, my hand, this _____ day of _____, 2024.

OWNER: _____

By: _____ Date _____

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
COUNTY OF DENTON §

THAT I, MATTHEW RAABE, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Development Ordinance of the Town of Hickory Creek, Texas.

PRELIMINARY
This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

Matthew Raabe, R.P.L.S. # 6402 _____ Date _____

STATE OF TEXAS §
COUNTY OF DENTON §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared **MATTHEW RAABE**, Registered Professional Land Surveyor, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 2024.

Notary Public in and for the State of Texas _____

TOWN APPROVAL BLOCK

The undersigned, the town secretary of Town of Hickory Creek, Texas, hereby certifies that the foregoing final plat of the LENNON II ADDITION, LOT 3, BLOCK A to the Town of Hickory Creek was submitted to the town council on the _____ of _____, 2024, and the council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places, and water and sewer lines, as shown and set forth in and upon said plat, and said council further authorized the Mayor to note the acceptance thereof by signing his/her name as hereinabove subscribed.

Witness my hand this _____ day of _____ A.D., 2024.

Town Secretary, Town of Hickory Creek, Texas

TOWN APPROVAL BLOCK

Recommended for Approval _____

Chairman, Planning & Zoning Commission _____ Date _____
Town of Hickory Creek, Texas

Approved For Preparation of Final Plat _____

Mayor _____ Date _____
Town of Hickory Creek, Texas

FINAL PLAT
LENNON II ADDITION
LOT 3, BLOCK A

BEING 2.123 ACRES OF LAND SITUATED IN THE M.E.P. & P. R.R. CO. SURVEY, ABSTRACT NO. 915 TOWN OF HICKORY CREEK, DENTON COUNTY, TEXAS

JOB NUMBER
2404.089

DATE
07/24/2024

DRAWN BY
DJJ

Eagle Surveying, LLC
222 South Elm Street
Suite: 200
Denton, TX 76201
940.222.3009
www.eaglesurveying.com
TX Firm # 10194177