



**NOTICE OF
REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION
HICKORY CREEK TOWN HALL
1075 RONALD REAGAN AVENUE, HICKORY CREEK, TEXAS 75065
TUESDAY, FEBRUARY 21, 2023, 6:00 PM**

AGENDA

Call to Order

Roll Call

Pledge of Allegiance to the U.S. And Texas Flags

Invocation

Public Comment

This item allows the public an opportunity to address the Planning and Zoning Commission. To comply with the provisions of the Open Meetings Act, the commission cannot discuss or take action on items brought before them not posted on the agenda. Please complete a request if you wish to address the commission. Comments will be limited to three minutes. Open Forum is for information only. No charges and/or complaints will be heard against any elected official, board member, the Town, or employee of the Town that are prohibited by law.

Consent Agenda

Items on the Consent Agenda are considered to be self-explanatory and will be enacted with one motion. No separate discussion of these items will occur unless so requested by at least one member of the Planning and Zoning Commission.

1. January 24, 2023 Special Meeting Minutes

Regular Agenda

2. Discuss, consider and act on a recommendation for a site and landscape plan for The Learning Experience, located at 120 Baize Boulevard and legally described as Adams Cliffs, Lot 1, Town of Hickory Creek, Denton County, Texas..
3. Discuss, consider and act on a recommendation for the final plat of Reserve at Hickory Creek, Block A, Lots 1-20, 21X; Block B, Lots 1-15, 16X; Block C, Lots 1-12, 13X; Block D, Lots 1-12, 13X; Block E, Lots 1-12, 13X; Block F, Lots 1-14, 15X; Block G, Lots 1-12, 13X; Block H, Lots 1-12, 13X; Block I, Lots 1-12, 13X; Block J, Lots 1-12, 13X; Block K, Lots 1-12, 13X; Block L, Lot 1X; Block M, Lots 1-20, 21X; Block N, Lots 1-20, 21X; Block

O, Lots 1-20, 21X; Block P, Lots 1-20, 21X; Block Q, Lot 1X: 18.8530 acres, 225 residential lots, 17 open space lots, situated in the H.H. Swisher Survey, Abstract no. 1220, Town of Hickory Creek, Denton County, Texas.

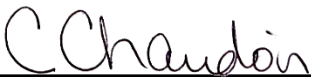
4. Discuss, Consider and Act on a recommendation for a site and landscape plan for Reserve at Hickory Creek, Block A, Lots 1-20, 21X; Block B, Lots 1-15, 16X; Block C, Lots 1-12, 13X; Block D, Lots 1-12, 13X; Block E, Lots 1-12, 13X; Block F, Lots 1-14, 15X; Block G, Lots 1-12, 13X; Block H, Lots 1-12, 13X; Block I, Lots 1-12, 13X; Block J, Lots 1-12, 13X; Block K, Lots 1-12, 13X; Block L, Lot 1X; Block M, Lots 1-20, 21X; Block N, Lots 1-20, 21X; Block O, Lots 1-20, 21X; Block P, Lots 1-20, 21X; Block Q, Lot 1X: 18.8530 acres, 225 residential lots, 17 open space lots, situated in the H.H. Swisher Survey, Abstract no. 1220, Town of Hickory Creek, Denton County, Texas.

Adjournment

The Planning and Zoning Commission reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by the Texas Government Code, Chapter 551.

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to the meeting. Please contact Town Hall at 940-497-2528 or by fax 940-497-3531 so that appropriate arrangements can be made.

I, Chris Chaudoir, do hereby certify, that this meeting notice was posted on the bulletin board at Town Hall, 1075 Ronald Reagan Avenue, Hickory Creek, Texas on February 16, 2023 at 4:00 p.m.



Chris Chaudoir
Town of Hickory Creek

**SPECIAL MEETING OF THE PLANNING AND ZONING COMMISSION
HICKORY CREEK TOWN HALL
1075 RONALD REAGAN, HICKORY CREEK, TEXAS
TUESDAY, JANUARY 24, 2023**

MINUTES

Call to Order

Meeting called to order at 6:00 p.m. by Chairman May.

Roll Call

PRESENT

Commissioner Dustin Jensen
Commissioner Rodney Barton
Commissioner Jaycee Holston
Commissioner Bryant Hawkes
Chairman Tim May
Vice-Chairman David Gilmore

ABSENT

Commissioner Don Rowell

ALSO PRESENT

Trey Sargent, Town Attorney
Randy Gibbons, Council Liaison
Lee Williams, Halff Engineering
Chris Chaudoir, Administrative Assistant

Pledge of Allegiance to the U.S. And Texas Flags

Pledge of Allegiance to the U.S. And Texas Flags led by Chairman May.

Invocation

Invocation given by Vice-Chairman Gilmore.

Public Comment

No Public Comment

Consent Agenda

1. November 15, 2022 Regular Meeting Minutes

Vice-Chairman Gilmore requested one correction to the minutes.

Motion made by Commissioner Barton to approve the minutes as corrected, Seconded by Commissioner Hawkes.

Voting Yea: Commissioner Jensen, Commissioner Barton, Commissioner Holston, Commissioner Hawkes, and Vice-Chairman Gilmore. Motion passed unanimously.

Regular Agenda

2. Discuss, consider and act on a recommendation for a final plat of Alpha-Omega Hickory Creek Addition, Lot 1, Block A, 2.895 acres, 8560 S. Stemmons Freeway, situated in the Susan O. McCarroll Survey, Abstract No. 958, Town of Hickory Creek, Denton County, Texas.

Chris Morpew, Reliant Construction, made himself available for questions.

Jackie Johnson, Alpha Omega, spoke about the added costs associated with the project including building costs and requirements, tree mitigation, etc. and asked for any possible help with mitigation.

Motion made by Vice-Commissioner Gilmore to recommend approval, Seconded by Commissioner Hawkes.

Voting Yea: Commissioner Jensen, Commissioner Barton, Commissioner Holston, Commissioner Hawkes, Vice-Chairman Gilmore. Motion passed unanimously.

3. Discuss, consider and act on a recommendation for a site and landscape plan for Alpha-Omega Hickory Creek Addition, Lot 1, Block A, 2.895 acres, 8560 S. Stemmons Freeway, situated in the Susan O. McCarroll Survey, Abstract No. 958, Town of Hickory Creek, Denton County, Texas.

Motion made to recommend approval as presented by Commissioner Hawkes, Seconded by Commissioner Jensen.

Voting Yea: Commissioner Jensen, Commissioner Barton, Commissioner Holston, Commissioner Hawkes, Vice-Commissioner Gilmore. Motion passed unanimously.

4. Discuss, consider and act on a recommendation for a final plat for The Olana at Hickory Creek, Lot 1, Block 1: being 38.8780 acres, H.H. Swisher Survey, Abstract No. 1220, Town of Hickory Creek, Denton County, Texas.

Laura Canada Lewis, 1851 Turbeville Road, was available to answer questions.

Motion to recommend approval made by Commissioner Barton, Seconded by Commissioner Holston.

Voting Yea: Commissioner Jensen, Commissioner Barton, Commissioner Holston, Commissioner Hawkes, Vice-Commissioner Gilmore. Motion passed unanimously.

5. Discuss, consider and act on a recommendation for a site and landscape plan for The Olana at Hickory Creek, Lot 1, Block 1: being 38.8780 acres, H.H. Swisher Survey, Abstract No. 1220, Town of Hickory Creek, Denton County, Texas.

Motion to recommend approval made by Commissioner Holston, Seconded by Vice-Commissioner Gilmore.

Planning and Zoning Commission Special Meeting

January 24, 2023

Page 3

Voting Yea: Commissioner Jensen, Commissioner Barton, Commissioner Holston, Commissioner Hawkes, Vice-Commissioner Gilmore. Motion passed unanimously.

Adjournment

Motion to adjourn made by Commissioner Jensen, Seconded by Commissioner Holston. Voting Yea: Commissioner Jensen, Commissioner Barton, Commissioner Holston, Commissioner Hawkes, Vice-Chairman Gilmore. Motion passed unanimously.

Meeting adjourned at 6:18 p.m.

Approved:

Attest:

Tim May, Chairman
Planning and Zoning Commission

Chris Chaudoir, Administrative Assistant
Town of Hickory Creek

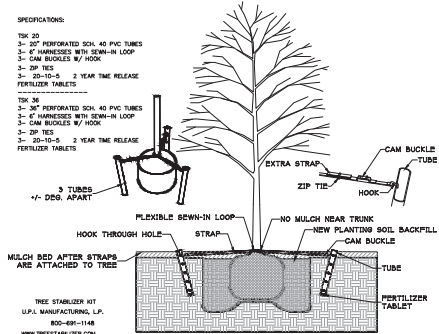


OWNER/DEVELOPER
CORNELIUS CENTER INVESTORS
PO BOX 987
LAKE DALLAS, TX 75085
Ph. 214-888-0788
Contact JOHN MALLOY

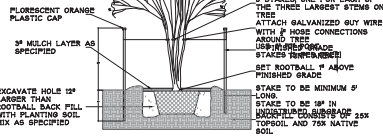
SPECIFICATIONS:

TW 30

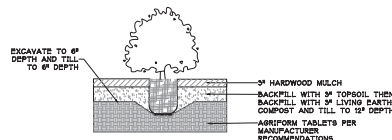
- 3- 30" PERFORATED SCH. 40 PVC TUBES
- 3- 2" HANDED WITH 3/8"-IN. LOOP
- 3- CAN BUCKLES W/ HOOK
- 3- 2" TIES
- 3- 20-10-5 2 YEAR TIME RELEASE FERTILIZER TABLETS



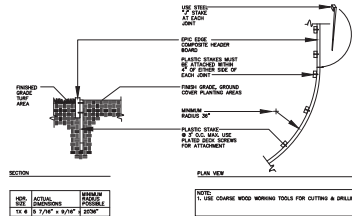
1. TREE STAKING
NOT TO SCALE



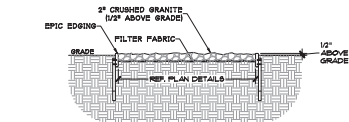
2. MULTI TRUNK TREE STAKING
NOT TO SCALE



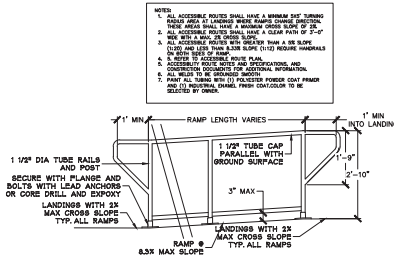
3. SHRUB DETAIL
NOT TO SCALE



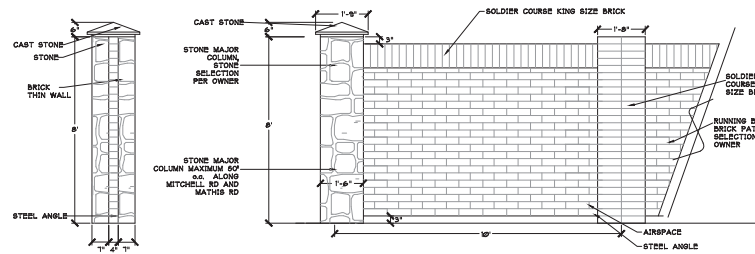
4. EPIC EDGE COMPOSITE HEADER BOARD DETAIL #210
NOT TO SCALE



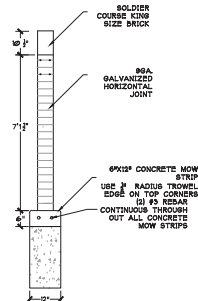
5. CRUSHED GRANITE MULCH
3/4\"/>



6. TUBE STEEL HANDRAIL AT RAMP
3/4\"/>



7. 8\"/>



* TYPICAL SCHEMATIC DETAIL, FINAL FOOTING AND WALL DESIGN MUST BE SIGNED AND SEALED BY STRUCTURAL ENGINEER.

OWNER/DEVELOPER
CORNELIUS CENTER INVESTORS
PO BOX 887
LAKE DALLAS, TX 75085
PH: 214-388-0788
Contact: JOHN MALLOY

The John R. McAdams
111 Hilda Drive
Lubbock, TX 79407
201 Country View Drive
Lubbock, TX 79407
Phone: 806.778.1313
Fax: 806.778.1313
www.mcadamslandscape.com



THE LEARNING EXPERIENCE
ADAMS CLIFF ADDITION
Lot 1 Block A
1.177 Acres
S.O. MCCARROLL SURVEY ABSTRACT NO. 968
TOWN OF HICKORY CREEK
DENTON COUNTY, TEXAS

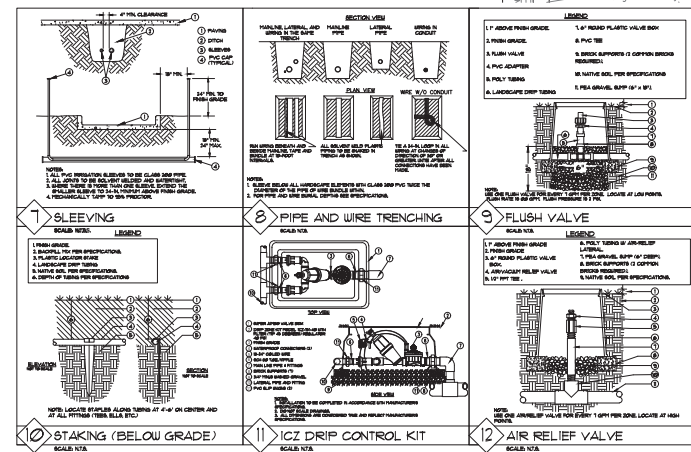
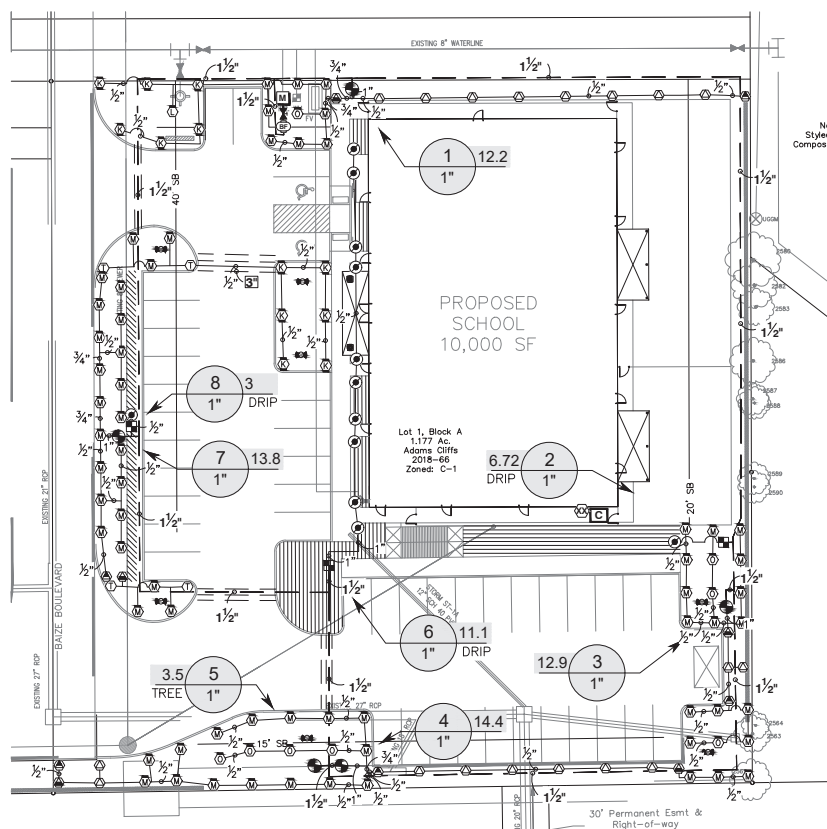
LANDSCAPE DETAILS



Drawn By: JD
Date: 1/27/2018
Scale:
Revisions:
05/18/2018
01/15/2019 - SIGNED
01/15/2023
02/10/2023
02/14/2023

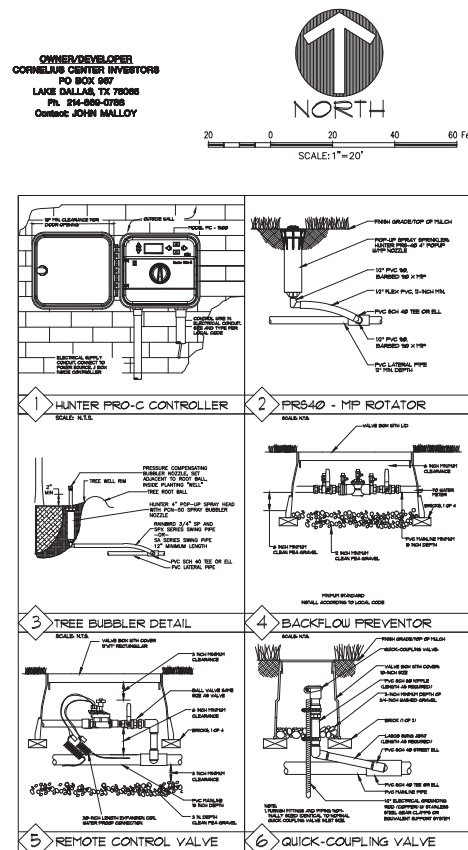
17107B

L1.1



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	EST.
①	Hunter MP Corner PROS-04-PR540-CV Turf Rotator, 4" (10.16cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle. T=Turquoise adj arc 45-105 on PR540 body.	4	40
②	Hunter MP Strip PROS-04-PR540-CV Turf Rotator, 4" (10.16 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PR540 body. LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip.	28	40
③	Hunter MP1000 PROS-04-PR540-CV Turf Rotator, 4" (10.16 cm) pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PR540 body. M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.	74	40
④	Hunter MP2000 PROS-04-PR540-CV Turf Rotator, 4" (10.16 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PR540 body. K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.	12	40
⑤	Hunter PCB Flood Bubbler, 1/2" FPT.	7	30
⑥	Hunter PCZ-101-25 Drip Control Valve Kit, 1" PGV globe valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow range: 0.5 GPM to 15 GPM. 150 mesh stainless steel screen.	3	
⑦	Pipe Transition Point in Drip Box Pipe transition point from PVC lateral to drip tubing with riser in 6" (150mm) drip box.	12	
⑧	Area to Receive Drip Rain Bird XFS-CV-06-12 XFS-CV On-Surface Landscape Drip with a Heavy-Duty 4.3 psi Check Valve, 6.0 GPH emitters at 12" O.C. Drip line laterals spaced at 12" apart, with emitters offset for triangular pattern. Specify XF Insert fittings. Available Only in California	2,085	I.F.
⑨	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability. Globe Configuration. LASCOT Fittings TUBV-SC 1", 1-1/2", 2", and 3" Plastic Full Block True Union Ball Valve. Shut Off/Isolation Valve to Eliminate Water Hammer. Install same size as mainline. Fetco 850 1" Double Check Backflow prevention, 1/2" to 2"	5	
⑩	Hunter PC-400 with (02) PCM-300 Light Commercial & Residential Controller, 10-station expanded module controller, 120 VAC, Outdoor model	1	
⑪	Hunter MWS-FR Weather Station with rain sensor, wind sensor and freeze sensor, 120 VAC, 5 amp, 5 year warranty.	1	
⑫	Irrigation Lateral Line: PVC Class 200 SDR 21	1,542	I.F.
⑬	Irrigation Mainline: PVC Class 200 SDR 21	908.4	I.F.
⑭	Pipe Sleeve: PVC Schedule 40	124.9	I.F.



- Coordinate irrigation installation with Landscape Architect and site conditions to provide complete coverage with minimum over spray. The Irrigation Contractor shall make minor adjustments to ensure proper coverage at no additional cost to the Owner.
- Confirm static water pressure of 65 PSI at least 7 days before beginning work. If static pressure is less than stated above, do not proceed until directed by the Landscape Architect.
- The Irrigation Contractor will secure all required permits and pay all associated fees unless otherwise noted. All local codes shall prevail over any discrepancies herein.
- Lateral pipe shall be installed at a minimum depth of 12 inches. Mainline pipe and wires shall be installed at a minimum depth of 18 inches. ALL IRRIGATION LINES SHOWN ON THIS PLAN ARE SCHEMATIC.
- Underlaid pipes must be shown under pavements for graphic clarity only. Install in adjacent landscape.
- Contractor to provide complete electric power and shall coordinate with utility provider.
- 24 volt wire shall be a minimum of #14 gauge. UF Approved for direct burial, single conductor "irrigation wire." Wire splices shall be enclosed in a waterproof underground direct burial connection. All field splices shall be located in a round valve box of sufficient size to allow inspection. Control wire shall be #12, looped along mainline loop route. PROPER GROUNDING IS REQUIRED PER MANUFACTURER'S SPECIFICATIONS.
- Valve boxes shall be installed flush with grade, supported by bricks, with 3 inches of clean pea gravel located below the valve. USE ARMOR ACCESS BOX #18704 AND PURPLE LIDS FOR QUICK COUPLING VALVES UNLESS OTHERWISE NOTED. O.C.V.A.s shall be bowed according to local codes.
- All nozzles are to have pressure compensating screens installed according to manufacturer's specifications.
- All spray heads shall be connected with a swing pipe or SA series swing pipe with a 12" minimum length.
- Contractor is responsible for the integrity of the installation and hydraulics of the irrigation system.
- Contractor is to contact appropriate authorities and locate all utilities prior to construction.
- All heads to be 6" from concrete edge. All rotors to be 18" from building.
- All tree bubblers and heads should be on separate zones.
- Locate irrigation valves and mainline within the property line.
- Must have Licensed Irrigator on site at all times during irrigation installation.
- CONTRACTOR TO PROVIDE POWER AND GROUNDING FOR ALL RPZ DEVICES. Heat tape to be provided.
- All irrigation in landscape beds is to be installed with drip unless otherwise noted.
- All irrigation on slopes up to 10° elevation change should be installed with a check valve for all spray heads on down stream side of slope.
- All pipe must be installed according to manufacturer's specification and/or Title 30, Chapter 344.77 (a) of the TCEQ Rules and Regulations for Landscape Irrigation.
- All wire must be installed according to manufacturer's specifications and/or Title 30, Chapter 344.77 (a) of the TCEQ Rules and Regulations for Landscape Irrigation.
- Irrigation Contractor must present the Owner with a written statement of guarantee for materials and labor furnished in the installation of the irrigation system as indicated in Title 30, Chapter 344.76 in the TCEQ Rules and Regulations. A COLOR IRRIGATION ZONING MAP SHALL BE PROVIDED TO THE OWNER.
- Irrigation Contractor must notify the Major Residents of this plan prior to installation.
- CONTRACTOR IS TO RETAIN THE INTEGRITY OF EXISTING IRRIGATION SYSTEMS AND CONTACT GSA | MCADAMS IF FIELD CONDITIONS DIFFER FROM THE DRAWINGS.
- CONTRACTOR IS TO ENSURE THAT THE APPROPRIATE SIZES AND QUANTITIES OF IRRIGATION SLEEVING ARE PROVIDED.
- ALL IRRIGATION INSTALLATION SHALL COMPLY WITH ALL STATE OF TEXAS REQUIREMENTS AS PER TCEQ CHAPTER 344 LANDSCAPE IRRIGATION TO 10% SPECIFICALLY, BUT NOT LIMITED TO 344.62.

THE LEARNING EXPERIENCE
ADAMS CLIFF ADDITION
Lot 1, Block A
1177 Acres

S.O. MCCABROLL SURVEY ABSTRACT NO. 959
TOWN OF HICKORY CREEK
DENTON COUNTY, TEXAS

OWNER/DEVELOPER
CORNELIUS CENTER INVESTORS
PO BOX 887
LAKE DALLAS, TX 75088
PH: 954-880-0788
Contact: JOHN MALLOY

17107B

L2.0



February 15, 2023
AVO 37638.200

Ms. Chris Chaudoir
Town of Hickory Creek
1075 Ronald Reagan Avenue
Hickory Creek, TX 75065

**RE: The Learning Experience – Site, Landscape, Construction Plans
3rd Review**

Dear Ms. Chaudoir:

Halff Associates received a request from the Town of Hickory Creek to review Site, Landscape, and Construction Plans for The Learning Experience on January 13, 2023. The surveyor/engineer is McAdams. The owner/applicant is Cornelius Center Investors.

2nd Review Submittal Received: February 10, 2023

3rd Review Submittal Received: February 14, 2023

Halff has reviewed the Site, Landscape, and Construction Plans and offers the following comments.

General

1. The site is located within Lot 1, Block A of the Adams Cliff Addition. The plat and overall drainage plan for the development was approved in the second half of 2018.
2. Site and Construction plans must be on 22" x 34" sheets for half size reduction to 11" x 17".
2nd Review: Addressed.
3. Update the legend to reflect symbols and line styles used on the sheet. E.g., the pavement patterns are not defined in the legend.
2nd Review: Addressed.

Site Plan

1. The Site Plan sheet must include a Vicinity Map.
2nd Review: Addressed.
2. In the Site Data Table, include the number required by zoning. Indicate the basis of required parking. The most applicable comparable use is elementary school, which requires one space per classroom plus 4 spaces per 1,000 square feet of the largest assembly space such as gym, auditorium, etc.
2nd Review: Addressed.
3. Please include the zoning for all adjacent properties.
2nd Review: Addressed.
4. Dimension the distance between the proposed driveways and the distance from each driveway to the nearest driveway or street.
2nd Review: Addressed.
5. Include the size and height of the proposed monument sign.
2nd Review: Addressed.
6. Dimension the throat widths of the driveways.
2nd Review: Addressed.
7. Dimension the overall length and width of the building.

2nd Review: Addressed.

8. What type of fence/wall is existing and remaining on the southern boundary? Demonstrate that it meets the screening requirements of C-1 zoning adjacent to residential (8-foot tall solid masonry).

2nd Review: Applicant notes the adjacent land, while zoned residential, is used for a gas well site and therefore intends to keep the existing chain link fence in place, rather than constructing a solid fence. The governing ordinance (Chapter 14, Article VIII, Section 3(2)) states, "All commercial areas adjacent to residential areas shall be separated from the residential area by the erection of a sight barrier fence which must be a minimum of eight feet in height, fully opaque, and constructed of 100 percent masonry materials." While the adjacent land is currently used for a gas well site, the zoning of the land is SF-3, making it a residential area. It is my opinion the ordinance requires the solid masonry screening fence, and any variance from that requirement would have to be appealed to the Board of Adjustment.

3rd Review: Addressed.

9. Include sizes and types of inlets and storm drain.

2nd Review: Addressed.

10. Include the height and screening material for the dumpster enclosure.

2nd Review: Addressed.

11. Delete the callout for "Furnish & Install: 1-Loading Zone and 2-ADA." Appears to be inadvertent and covering the acreage and lot number.

2nd Review: Addressed.

12. Include a standard note about the site not being located within a FEMA flood plain.

2nd Review: Note was added, but please include reference to the applicable map. Use a note similar to the example provided here:

<p>SUBJECT PROPERTY IS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR DALLAS COUNTY, TEXAS AND INCORPORATED AREAS, MAP NO. 48121C0535 G, COMMUNITY-PANEL NO. 484450 0535 G, EFFECTIVE DATE: APRIL 18, 2011. ALL OF THE SUBJECT PROPERTY IS SHOWN TO BE LOCATED IN "ZONE X" ON SAID MAP. RELEVANT ZONES ARE DEFINED ON SAID MAP AS FOLLOWS:</p> <p>"ZONE X" - OTHER AREAS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.</p>

3rd Review: Addressed.

13. The Site Plan should include a title block in the lower right corner to include the subdivision name with block and lot number, area in acres, survey name and abstract, town and county, and preparation date.

2nd Review: Applicant notes the information is provided in the right-hand title block. This is acceptable.

Landscape Plan

1. Please also cite the requirements for screening defined in 10.02.005(a)(1) and the requirement for 15% of the site to be landscaped, as defined in 10.02.004(b)(1). Demonstrate compliance for both.

2nd Review: Addressed.

Construction Plans

Title Sheet

1. In the approval block, include a line for the Town Engineer and Public Works Director.

2nd Review: Addressed.

Paving and Dimensional Control Plan

2. Dimension the driveway throat widths.

2nd Review: Addressed.

Drainage Area Maps and Grading Plan

3. Correct C value and Time of Concentration to reflect existing undeveloped conditions.
2nd Review: Addressed.
4. Provide grading for a swale at the top of the proposed retaining wall along the eastern boundary to collect and carry runoff to the south instead of falling over the face of the wall to the eastern property.
2nd Review: Addressed.
5. Add area inlet and grade to provide positive drainage in the southeast corner, and connect the inlet to the storm drain system. Area B.3 is shown to sheet flow south, but this would be concentrated flow along the eastern boundary. Also, the overall drainage plan for this development shows this area draining to the storm drain system, and not flowing to the neighboring property.
2nd Review: Addressed.
6. Include the sizes of storm drain pipes and inlets.
2nd Review: Addressed.

Sincerely,

HALFF ASSOCIATES, INC.

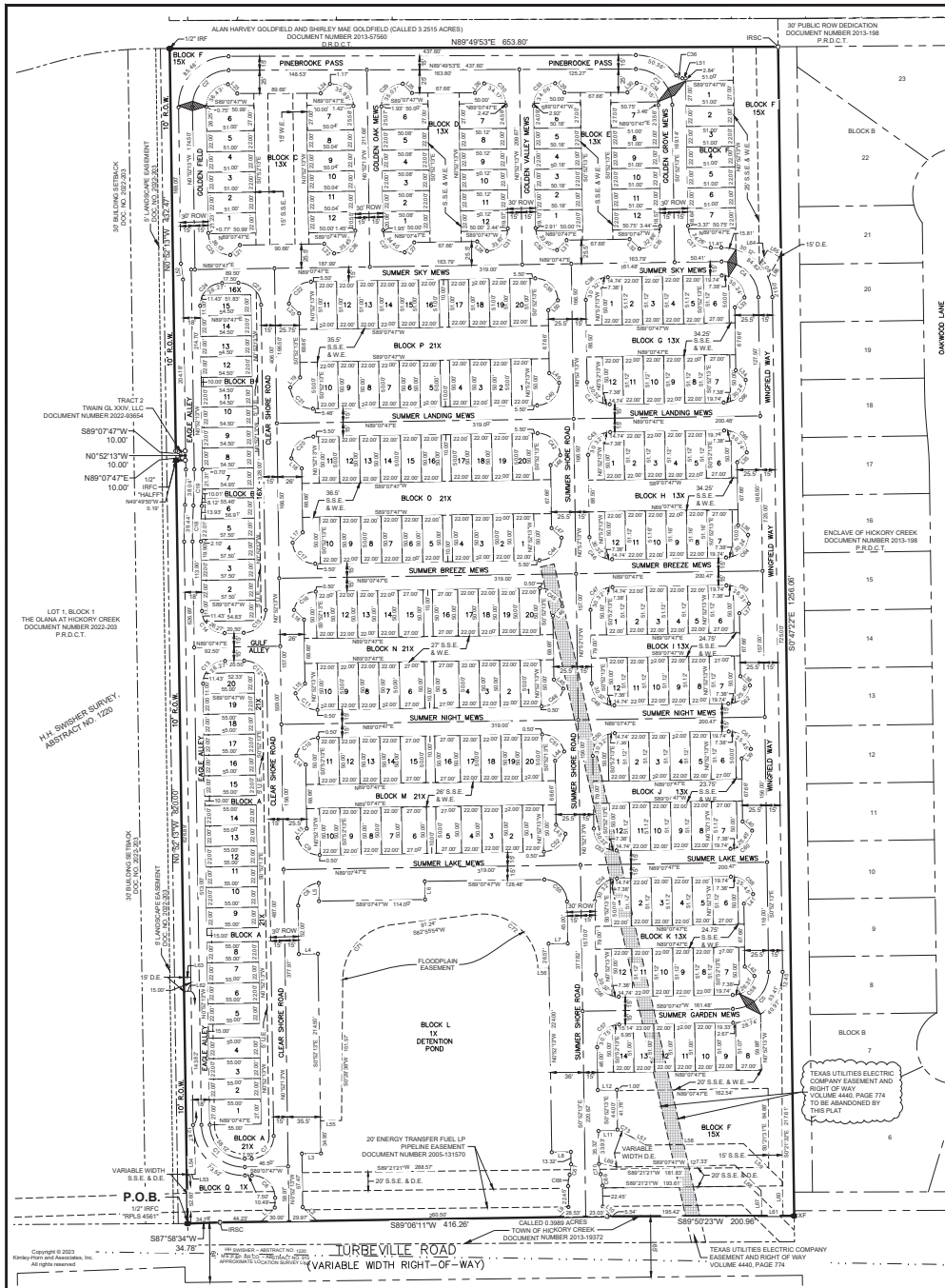
TBPELS Engineering Firm No. 312



Lee Williams, PE

Consulting Engineer for the Town of Hickory Creek

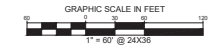
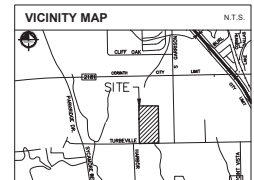
C: Kristi Rogers – Town Secretary
John Smith – Town Administrator



LINE TABLE	LINE TABLE	LINE TABLE	LINE TABLE
NO. BEARING LENGTH	NO. BEARING LENGTH	NO. BEARING LENGTH	NO. BEARING LENGTH
L1 N44°10'51"E 21.22' L20 S45°52'13"E 15.19' L39 S45°07'47"W 14.19' L59 N89°07'47"E 154.44'	L2 S45°10'23"E 21.18' L41 N44°07'47"E 14.81' L40 S45°52'13"E 14.19' L60 N41°08'54"E 37.13'	L3 S89°07'47"W 20.50' L22 S45°52'13"E 14.81' L41 N44°07'47"E 14.19' L60 N41°08'54"E 37.13'	L4 N89°07'47"E 20.50' L23 S45°10'23"E 14.12' L42 N45°52'13"W 14.38' L61 N89°02'23"W 23.00'
L5 N45°52'13"W 10.45' L34 N44°49'53"E 14.14' L43 N45°52'13"W 14.03' L62 N89°00'00"E 7.50'	L6 S05°52'13"E 19.52' L25 S45°10'23"E 14.03' L44 N44°07'47"E 14.03' L63 N89°00'00"E 7.50'	L7 N89°07'47"E 20.50' L26 N44°49'53"E 14.12' L45 N45°52'13"W 14.03' L64 N20°07'47"E 17.50'	L8 S89°07'47"W 20.50' L27 N44°07'47"E 14.73' L46 N44°07'47"E 14.27' L65 N45°52'13"E 15.00'
L9 S45°22'23"W 14.69' L28 S45°52'13"E 14.79' L47 N44°07'47"E 14.85' L66 N20°07'47"W 25.07'	L10 S44°39'53"E 14.68' L29 S45°10'23"W 14.11' L48 N44°07'47"E 14.85' L67 N01°05'04"W 27.23'	L11 S89°07'47"W 20.50' L30 S44°49'53"W 14.10' L49 S45°52'13"E 14.85' L68 N45°49'53"W 39.00'	L12 N89°07'47"E 20.50' L31 N44°07'47"E 14.79' L50 S44°07'47"W 14.85' L69 N75°52'13"E 19.49'
L13 S44°07'47"W 14.03' L32 S45°52'13"E 14.79' L51 N00°00'00"E 5.76'	L14 S45°52'13"E 14.03' L33 S44°07'47"W 14.85' L52 N07°34'18"W 17.14'	L15 S44°07'47"W 14.53' L34 S45°52'13"E 14.85' L53 S88°14'14"W 9.00'	L16 S45°52'13"E 14.02' L35 S44°07'47"W 14.85' L54 N05°52'13"W 40.20'
L17 S44°07'47"W 15.52' L36 S45°52'13"E 14.85' L55 S89°07'47"W 22.54'	L18 S45°52'13"E 15.52' L37 S44°07'47"W 14.38' L56 S89°07'47"W 11.80'	L19 S44°07'47"W 15.16' L38 S45°52'13"E 14.19' L57 S89°52'13"E 21.11'	

CURVE TABLE					CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	
C1	89°00'00"	46.02	72.26	S45°52'13"	65.09	C37	89°50'08"	24.00	37.82	S45°52'13"
C2	90°42'02"	39.00	61.74	S44°58'59"	55.48	C38	90°00'00"	24.00	37.70	S44°07'47"
C3	89°17'54"	39.00	60.75	N45°31'07"	54.62	C39	89°48'42"	24.00	37.62	N45°52'13"
C4	90°00'00"	39.00	61.39	N45°52'13"	55.10	C40	89°48'42"	24.00	37.62	N44°32'23"
C5	90°00'00"	39.00	61.39	N44°07'47"	55.10	C41	90°00'00"	24.00	37.70	S45°52'13"
C6	90°00'00"	24.00	36.89	S45°52'13"	33.49	C42	90°00'00"	23.99	37.64	N45°51'17"
C7	90°00'00"	24.00	37.70	N44°07'47"	33.94	C43	90°00'00"	24.00	37.70	S44°07'47"
C8	89°25'02"	24.00	36.20	S42°20'17"	32.88	C44	89°48'42"	24.00	37.62	N44°32'23"
C9	77°22'11"	24.00	32.41	S82°28'41"	30.00	C45	79°23'40"	24.00	33.29	N01°02'08"
C10	77°22'11"	24.00	32.41	S82°28'41"	30.00	C46	90°00'00"	24.00	37.70	S45°52'13"
C11	79°52'54"	24.00	31.79	S25°59'44"	29.11	C47	90°00'00"	24.00	37.70	S44°07'47"
C12	90°00'00"	24.00	37.70	N45°52'13"	33.94	C48	77°22'11"	24.00	32.41	N05°20'41"
C13	90°00'00"	24.00	37.70	S44°07'47"	33.94	C49	90°00'00"	24.00	37.70	S45°52'13"
C14	90°00'00"	24.00	37.70	S45°52'13"	33.94	C50	90°00'00"	24.00	37.70	S44°07'47"
C15	90°00'00"	24.00	37.70	N44°07'47"	33.94	C51	77°22'11"	24.00	32.41	N05°20'41"
C16	79°52'54"	24.00	33.04	S49°41'30"	30.49	C52	77°22'11"	24.00	32.41	N05°20'41"
C17	87°28'47"	24.00	36.64	S47°07'50"	33.19	C53	90°00'00"	24.00	37.70	S45°52'13"
C18	4°28'21"	500.00	38.74	S01°20'57"	38.73	C54	90°00'00"	24.00	37.70	S44°07'47"
C19	4°28'21"	500.00	38.74	N01°20'57"	38.73	C55	90°02'14"	24.00	37.71	N45°53'19"
C20	87°28'47"	24.00	36.64	S47°07'50"	33.19	C56	90°00'00"	24.00	37.70	S45°52'13"
C21	89°02'23"	24.00	36.50	S46°07'50"	33.37	C57	90°00'00"	24.00	37.70	S44°07'47"
C22	89°01'17"	24.00	36.88	S45°08'59"	33.36	C58	89°25'10"	24.00	33.89	N45°50'59"
C23	90°00'00"	24.00	37.70	N45°52'13"	33.94	C59	79°22'29"	24.00	32.83	N01°49'59"
C24	90°00'00"	24.00	37.70	S44°07'47"	33.94	C60	79°22'29"	24.00	32.83	N01°49'59"
C25	89°04'52"	24.00	36.90	S44°54'39"	33.37	C61	79°22'29"	24.00	32.83	N01°49'59"
C26	89°04'52"	24.00	36.90	N41°07'13"	33.37	C62	79°22'29"	24.00	32.83	N49°54'32"
C27	89°48'42"	24.00	36.32	S44°12'34"	32.07	C63	89°25'10"	24.00	33.89	N09°39'39"
C28	89°17'54"	24.00	37.41	N45°31'07"	33.73	C64	89°48'42"	24.00	37.62	N44°32'23"
C29	89°25'02"	24.00	37.00	S45°52'13"	33.44	C65	89°48'42"	24.00	37.62	N45°52'13"
C30	87°21'12"	24.00	36.59	N42°32'09"	33.15	C66	89°48'42"	24.00	37.62	N44°32'23"
C31	89°40'17"	24.00	36.30	N42°27'50"	32.94	C67	17°03'39"	38.00	11.39	N07°38'59"
C32	89°40'17"	24.00	36.30	S44°12'17"	32.94	C68	17°03'39"	38.00	11.39	S09°22'33"
C33	89°16'48"	24.00	36.98	S45°16'11"	33.43	C69	17°03'39"	38.00	11.39	S09°22'33"
C34	87°22'21"	24.00	36.61	N41°33'54"	33.19	C70	17°03'39"	38.00	11.39	S09°22'33"
C35	89°40'17"	24.00	36.30	N42°27'50"	32.94	C71	82°27'10"	59.60	100.77	S41°42'18"
C36	S44°08'08"	7.99	7.55	S87°49'30"	7.27	C72	98°11'52"	59.60	100.77	N48°58'59"

- Notes :
- All corners are 5/8" iron rods set with a plastic cap stamped "KHA" unless otherwise noted.
 - All HOA lots are to be owned and maintained by the Homeowner's Association.
 - Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utility and building permits.
 - All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983. All dimensions shown are ground distances. To obtain a grid distance, multiply the ground distance by the Project Combined Factor (PCF) of 0.999945927.
 - According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 4812-02030N, dated June 19, 2020 & Map No. 4812-02030S, dated April 18, 2011 for Hickory Creek, Denton County, Texas and incorporated areas, the property is within ZONE X (UNSHADED) defined as "Areas determined to be outside the 0.2% annual chance floodplain". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
 - Building setback lines will not be shown because there is no minimum setback in the Planned Development Zoning according to Resolution No. 2022-0801.
 - All lots adjacent to Floodplain must meet the Minimum Finished Floor Elevation of 588.59' Block A, Lots 1-10; Block F, Lot 14; Block K, Lots 1 & 2; Block M, Lots 1-10; Block Q, Lot 1X.
 - All Open Space lots to be Sidewalk Easements



- LEGEND
- P.O.B. = POINT OF BEGINNING
 - RP = IRON ROD FOUND
 - IRBC = 5/8" IRON ROD W/ "KHA" CAP SET
 - RPFC = CAPPED IRON ROD FOUND
 - BL = BUILDING LINE
 - DE = DRAINAGE EASEMENT
 - S.E. = SANITARY SEWER EASEMENT
 - UL = UTILITY EASEMENT
 - W.E. = WATER EASEMENT
 - Vol. = VOLUME
 - XL = CUT "X" FOUND
 - PS = PILE
 - R.O.W. = RIGHT OF WAY
 - D.R.C.T. = DEED RECORDS DENTON COUNTY, TEXAS
 - P.D.C.T. = PLAT RECORDS DENTON COUNTY, TEXAS
 - = STREET NAME CHANGE
 - = EXISTING TWO EASEMENT TO BE ABANDONED BY THIS PLAT

LINE TYPE	LEGEND
Solid line	PROPERTY LINE
Dashed line	EASEMENT LINE
Dotted line	SETBACK LINE
Long dashed line	DRIVEWAY LINE
Short dashed line	SEWER LINE
Thick solid line	WATER LINE
Thin solid line	UTILITY LINE

FINAL PLAT RESERVE AT HICKORY CREEK

BLOCK A, LOTS 1-20, 21X; BLOCK B, LOTS 1-15, 16X; BLOCK C, LOTS 1-12, 13X; BLOCK D, LOTS 1-12, 13X; BLOCK E, LOTS 1-12, 13X; BLOCK F, LOTS 1-14, 15X; BLOCK G, LOTS 1-12, 13X; BLOCK H, LOTS 1-12, 13X; BLOCK I, LOTS 1-12, 13X; BLOCK J, LOTS 1-12, 13X; BLOCK K, LOTS 1-12, 13X; BLOCK L, LOT 1X; BLOCK M, LOTS 1-20, 21X; BLOCK N, LOTS 1-20, 21X; BLOCK O, LOTS 1-20, 21X; BLOCK P, LOTS 1-20, 21X; BLOCK Q, LOT 1X

18.8530 ACRES
225 RESIDENTIAL LOTS
17 OPEN SPACE LOTS

SITUATED IN THE
H.H. SWISHER SURVEY,
ABSTRACT NO. 1220
TOWN OF HICKORY CREEK,
DENTON COUNTY, TEXAS

Kimley»Horn

400 North Oklahoma Dr., Suite 105
Celina, Texas 75009
Tel. No. (469) 501-2200
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 60'	SPA	RHA	Feb. 2023	063265600	1 OF 2

OWNER/DEVELOPER:
MARKETSPACE CAPITAL, LLC
1500 Southwest Freeway,
Suite 210
Houston, TX 77074
Tel. No. (281) 776-5784
Contact: Taylor Stinnett
Email: taylor.stinnett@marketspacecapital.com

APPLICANT:
Kimley-Horn and Associates, Inc.
400 N. Oklahoma Dr., Suite 105
Celina, Texas 75009
Phone: 469-501-2200
Contact: Anthony Loeffel, P.E.

SURVEYOR:
KIMLEY-HORN AND ASSOC., INC.
400 North Oklahoma Drive, Suite 105
Celina, Texas 75009
Tel. No. (469) 501-2200
Contact: Daniel Arthur, R.P.L.S.
Email: daniel.arthur@kimley-horn.com

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS Reserve at Hickory Creek, LLC is the owner of a tract of land situated in the H.H. Swisher Survey, Abstract Number 1220, Town of Hickory Creek, Denton County, Texas, and being all of that called 18,786 acre tract of land described in deed to Reserve at Hickory Creek LLC according to the document filed of record in Document Number 2021-133395, Deed Records Denton County, Texas (D.R.D.C.T.) and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with cap stamped "RPLS 4561" found in the north line of Turbeville Road, a variable width right-of-way, for the southeast corner of Lot 1, Block 1, The Olma at Hickory Creek, an addition to the Town of Hickory Creek according to the plat filed of record in Document Number 2022-203, (D.R.D.C.T.) same being the common southwest corner of this tract;

THENCE with the east line of said Lot 1, Block 1, same being common with the west line of this tract the following five (5) courses and distances:

North 0°52'13" West, a distance of 820.00 feet to a 5/8 inch iron rod with red plastic cap stamped "KHA" set for corner;

North 89°07'47" East, a distance of 10.00 feet to a 5/8 inch iron rod with red plastic cap stamped "KHA" set for corner;

North 0°52'13" West, a distance of 10.00 feet to a 5/8 inch iron rod with red plastic cap stamped "KHA" set for corner;

South 89°07'47" West, a distance of 10.00 feet to a 5/8 inch iron rod with red plastic cap stamped "KHA" set for corner;

North 0°52'13" West, a distance of 432.47 feet to a 1/2" iron rod found in the south line of that tract of land conveyed to Alan Harvey Goldfield & Shirley Mae Goldfield according to the document filed of record in Document Number 2013-57650 (D.R.D.C.T.), for the northeast corner of said Lot 1, Block 1, same being the northwest corner of this tract;

THENCE North 89°49'53" East, with the north line of said 18,786 acre tract, a distance of 653.80 feet to a 5/8 inch iron rod with red plastic cap stamped "KHA" set for corner at the northwest corner of Enclave of Hickory Creek, an addition to the Town of Hickory Creek according to the plat filed of record in Document Number 2013-198 Plat Records Denton County, Texas and being the common northeast corner of this tract;

THENCE South 0°47'22" East, with the west line of said Enclave of Hickory Creek, same being common with the east line of this tract, a distance of 1256.06 feet to an "X" cut in concrete, set at the base of a wall, in the north line of the above-mentioned Turbeville Road for the southeast corner of this tract;

THENCE with said north line the following three (3) courses and distances:

South 89°50'23" West, a distance of 200.96 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for a corner;

South 89°06'11" West, a distance of 416.26 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for a corner;

South 87°58'34" West, a distance of 34.76 feet to the POINT OF BEGINNING and containing 821,237 square feet or 18,8530 acres of land.

OWNER'S DEDICATION

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, RESERVE AT HICKORY CREEK, LLC., acting by and through their duly authorized agents, do hereby adopt this plat, designating the herein described property as RESERVE AT HICKORY CREEK, an addition to the Town of Hickory Creek, Denton County, Texas, and do hereby dedicate, in fee simple, to the public use forever any streets, alleys, and floodway management areas shown thereon. The easements shown thereon are hereby reserved for the purposes indicated. The utility and fire lane easements shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility and fire lane easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. All, and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way may endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility).

Water main and wastewater easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Hickory Creek.

WITNESS, my hand at _____, Texas, this the _____ day of _____, 2023.

RESERVE AT HICKORY CREEK, LP.

By: _____

Name: _____

Title: _____

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2023.

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE

THAT I, Daniel Arthur, do hereby certify that I prepared this plat from an actual survey of the land and that the corner monuments shown hereon were properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the Town of Hickory Creek, Texas.

Dated this the _____ day of _____, 20____.

DANIEL ARTHUR
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5933
KIMLEY-HORN AND ASSOCIATES, INC.
400 NORTH OKLAHOMA DRIVE, SUITE 105
CELINA, TEXAS 75009
PH: 469-501-2200
daniel.arthur@kimley-horn.com

PRELIMINARY

THIS DOCUMENT SHALL
NOT BE RECORDED FOR
ANY PURPOSE AND
SHALL NOT BE USED OR
VIEWED OR RELIED
UPON AS A FINAL
SURVEY DOCUMENT

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared Daniel Arthur, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2023.

Notary Public in and for the State of Texas

FINAL PLAT
RESERVE AT HICKORY CREEK

BLOCK A, LOTS 1-20, 21X; BLOCK B, LOTS 1-15, 16X; BLOCK C, LOTS 1-12, 13X; BLOCK D, LOTS 1-12, 13X; BLOCK E, LOTS 1-12, 13X; BLOCK F, LOTS 1-14, 15X; BLOCK G, LOTS 1-12, 13X; BLOCK H, LOTS 1-12, 13X; BLOCK I, LOTS 1-12, 13X; BLOCK J, LOTS 1-12, 13X; BLOCK K, LOTS 1-12, 13X; BLOCK L, LOT 1X; BLOCK M, LOTS 1-20, 21X; BLOCK N, LOTS 1-20, 21X; BLOCK O, LOTS 1-20, 21X; BLOCK P, LOTS 1-20, 21X; BLOCK Q, LOT 1X

18.8530 ACRES
225 RESIDENTIAL LOTS
17 OPEN SPACE LOTS

SITUATED IN THE
H.H. SWISHER SURVEY,
ABSTRACT NO. 1220
TOWN OF HICKORY CREEK,
DENTON COUNTY, TEXAS

Kimley»Horn

400 North Oklahoma Dr., Suite 105 Celina, Texas 75009 FIRM # 10194503 Tel. No. (469) 501-2200 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
NA	SPA	KHA	Feb. 2023	063266500	2 OF 2

OWNER/DEVELOPER:
MARKETSPACE CAPITAL, LLC
9100 Southwest Freeway,
Suite 201
Houston, TX 77074
Tel. No. (281) 776-8784
Contact: Taylor Stinnett
Email:

APPLICANT:
Kimley-Horn and Associates, Inc.
400 N. Oklahoma Dr., Suite 105
Celina, Texas 75009
Phone: 469-501-2200
Contact : Anthony Loeffel, P.E.

SURVEYOR:
KIMLEY-HORN AND ASSOC. INC.
400 North Oklahoma Drive, Suite 105
Celina, Texas 75009
Tel. No. (469) 501-2200
Contact: Daniel Arthur, R.P. L.S.
Email: daniel.arthur@kimley-horn.com



February 16, 2023
AVO 37638.200

Ms. Chris Chaudoir
Town of Hickory Creek
1075 Ronald Reagan Avenue
Hickory Creek, TX 75065

**RE: The Reserve at Hickory Creek – Final Plat, Site and Landscape Plans
2nd Review**

Dear Ms. Chaudoir:

Halff Associates received a request from the Town of Hickory Creek to review a Final Plat application for The Reserve at Hickory Creek on January 18, 2023. The written comments contained in this letter reflect the revised plat. The surveyor/engineer is Kimley-Horn and Associates, Inc. The owner/applicant is Market Space Capital.

2nd Review Submittal Received: February 15, 2023 (including Site and Landscape Plans)

Halff has reviewed the Final Plat, Site and Landscape Plans and offers the following comments. Please note the Drainage Study and Construction Plans are under review by separate letter, and acceptance of the Final Plat should be contingent upon acceptance of the Drainage Study. Review comments from the Construction Plans should be reflected in the Final Plat.

Refer to the markup for all comments.

Final Plat

1. Please note the proposed detention ponds will require a Stormwater Facilities Maintenance Agreement (to also include the retaining walls). This will not be executed until acceptance of Construction Plans.
2nd Review: Applicant has acknowledged and an example is included herewith.
2. Label the dimension and purpose of all easements.
2nd Review: Addressed.
3. A floodplain easement will be required to encompass the fully developed 100-year water surface elevation plus one foot of freeboard or 10 feet of horizontal distance, whichever is greater.
2nd Review: Addressed.
4. The planned detention ponds will require an emergency spillway encompassed by a drainage easement that directs overflow either to the stream or to ROW.
2nd Review: Drainage easement was added to cover the storm drain line and outfall but does not extend to cover the channel to the ROW line. The drainage easement must extend to the ROW line.
5. The location and width of sidewalks are required. Sidewalks are required to connect each lot to a public sidewalk within ROW or easement. Sidewalk easements must cover the sidewalk plus 2 feet each side.
2nd Review: Note added to the plat to designate sidewalk easements across all open space lots.
6. Modify the approval block to reflect the Final Plat approval block in accordance with Town ordinance.
2nd Review: Please modify the approval block for Final Plat. The approval block shown is still for Preliminary Plat.

7. Include note about building setback lines not being shown because there is no minimum setback in the Planned Development zoning. Refer to the ordinance number.
2nd Review: Note added. Please add a reference to Resolution No. 2022-0801.
8. Check all dimensions of ROW for accuracy and consistency. Some dimensions don't match what is shown in the construction plans.
2nd Review: Addressed.
9. All streets must be named in the Final Plat per Town Subdivision Ordinance. Please name "Street H."
2nd Review: Addressed.
10. Please rename "Summer Shore Loop" to something more distinguishable from Summer Shore Road. These are too similar, and Summer Shore Loop is not a loop road.
2nd Review: Addressed.
11. Summer Sky, Golden Oak, Golder Valley, and Golden Grove should be Mews.
2nd Review: Addressed.
12. Summer Lake Mews shows a 29-foot ROW. The minimum is 30 feet.
2nd Review: Addressed.
13. Provide the finished floor elevations for all lots surrounding the detention pond.
2nd Review: Addressed.
14. Provide the name and dimensions of "Alley A-1."
2nd Review: Addressed.

Site Plan

1. No additional comments.

Landscape Plan

1. Show and label fences, screening walls, etc.
2. Please include an irrigation plan.
3. Please include the tree survey as part of the landscape plan.
4. Show or note that for single-family lots, and prior to any occupancy of the dwelling, a minimum of one (1) tree with a minimum caliper of three (3) inches, measured at a point six (6) feet above ground level shall be required for all lots and shall be located within the front of the lot, or nearby common area. Trees may be ornamental or shade tree.
5. Please include Notes 2 through 7 and the Fencing and Lot Notes from the approved Preliminary Landscape Plan. See below.

NOTES:

1. THE CLOUDED AREAS DESIGNATE TREES TO BE REMOVED, TREES ALONG PROPERTY LINES ARE APPROXIMATE.
2. FENCING, SCREENING, PARKS, OPEN SPACE IMPROVEMENTS, AND TRAILS SHALL BE CONSISTENT WITH THE DEVELOPMENT AGREEMENT.
3. THERE IS NOT FLOODPLAIN ON SITE PER FEMA PANEL NO. 48121C0535G WITH THE EFFECTIVE DATE OF 4/18/2011.
4. ALL EXISTING TREES ONSITE ARE PROPOSED TO BE REMOVED & MITIGATED FOR BY THE DEVELOPER/OWNER. SPECIES, SIZE, & HEALTH SHOWN ON SHEET 2 OF THE LANDSCAPE PLAN.
5. OPEN SPACE HATCHING SHOWN ON SITE SHALL BE LANDSCAPED & IRRIGATED PER THE TOWN STANDARDS. FINAL MATERIALS TO BE SELECTED DURING THE CONSTRUCTION PLAN REVIEW PROCESS
6. SINGLE FAMILY LOTS, AND PRIOR TO ANY OCCUPANCY OF THE DWELLING, A MINIMUM OF ONE (1) TREE WITH A MINIMUM CALIPER OF THREE (3) INCHES, MEASURED AT A POINT SIX (6) FEET ABOVE GROUND LEVEL SHALL BE REQUIRED FOR ALL LOTS AND SHALL BE LOCATED WITHIN THE FRONT OF THE LOT, OR NEARBY COMMON AREA. THERE MAY BE ORNAMENTAL TREE OR SHADE.
7. ALL PROPOSED FENCING SHALL BE ALONG THE COMMON PROPOSED LINE. THE LINES ARE SHOWN OFFSET FROM THE PROPOSED LINE FOR VISUAL PURPOSES.

FENCING AND LOT NOTES:

FENCING FOR THE CHILDREN'S PLAYGROUND CAN BE WROUGHT IRON

FENCING FOR NORTHERN DETENTION POND SHALL BE WROUGHT IRON

THE WESTERN PROPERTY LINE SHALL BE 8 FOOT TALL BOARD ON BOARD WOOD FENCING

THE EXISTING FENCING ALONG THE NORTHERN, EASTERN, AND SOUTHERN PROPERTY LINES SHALL REMAIN WITH MINOR MODIFICATIONS DUE TO THE PROPOSED DRIVEWAY CONNECTIONS.

ALL REAR YARD RESIDENTIAL LOT FENCING SHALL BE A MINIMUM OF 6 FOOT BOARD ON BOARD WOOD FENCING WITH A MAXIMUM HEIGHT BEING 8 FEET.

ALL FRONT YARD RESIDENTIAL LOT FENCING THAT FACES AN OPEN SPACE SHALL BE 5 FOOT ORNAMENTAL METAL FENCING.

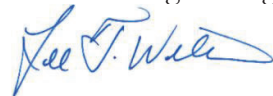
ALL PROPOSED RESIDENTIAL STRUCTURES SHALL BE 100% MASONRY WITH REAR ENTRY GARAGE ACCESS FROM A DEDICATED PUBLIC STREET OR ALLEY.

ALL OPEN SPACE LOTS SHALL BE LANDSCAPED PER THE DEVELOPMENT AGREEMENT AND TOWN ORDINANCES

Sincerely,

HALFF ASSOCIATES, INC.

TBPELS Engineering Firm No. 312

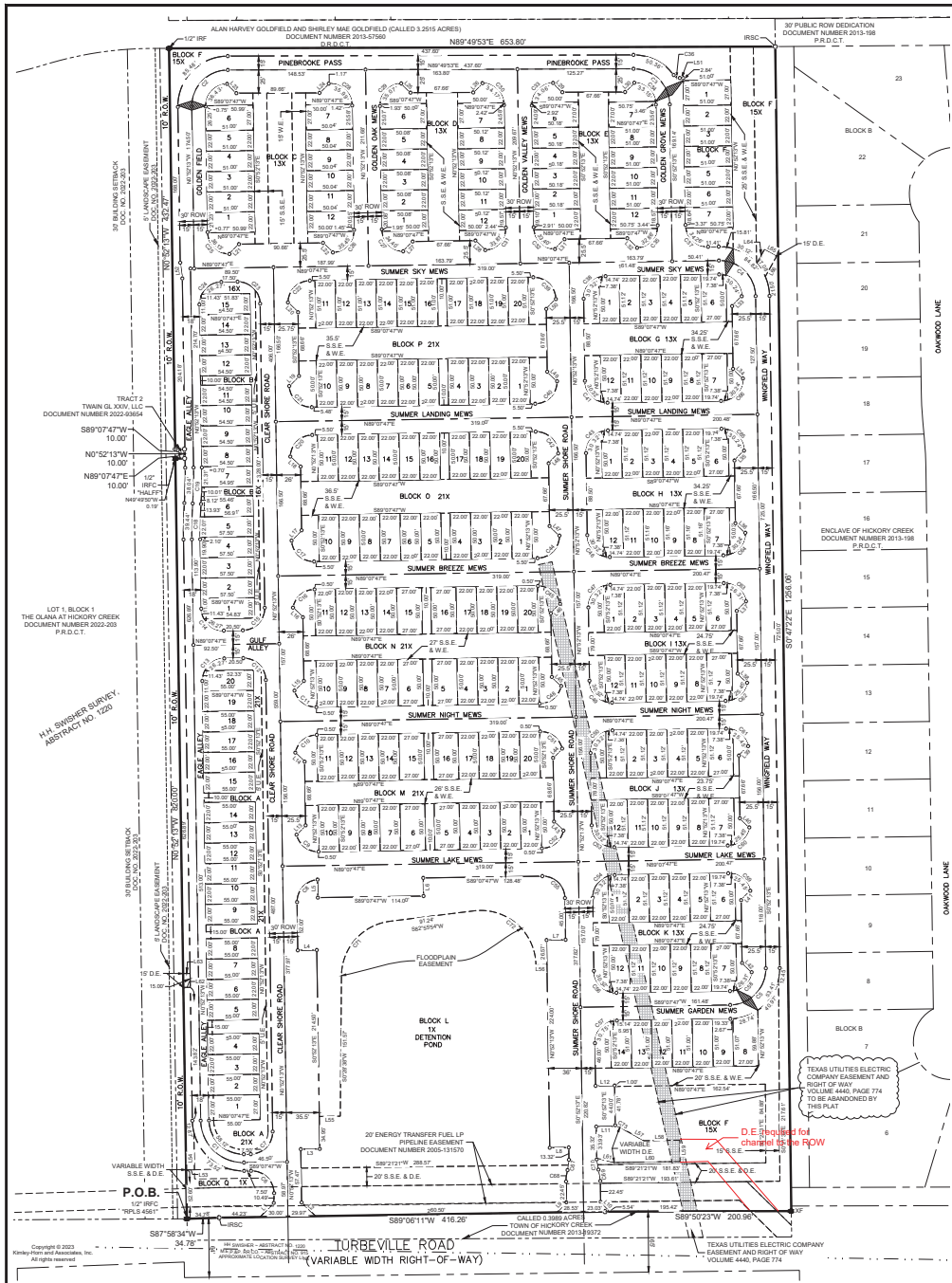


Lee Williams, PE

Consulting Engineer for the Town of Hickory Creek

C: Kristi Rogers – Town Secretary
John Smith – Town Administrator

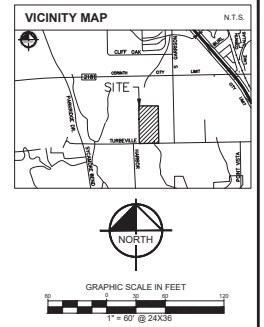
Attachments: Final Plat Markup



LINE TABLE	LINE TABLE	LINE TABLE
NO. BEARING LENGTH	NO. BEARING LENGTH	NO. BEARING LENGTH
L1 N44°10'12"E 21.22' L20 S45°52'13"E 15.15' L38 S45°07'47"W 14.15'	L1 N44°10'12"E 21.22' L20 S45°52'13"E 15.15' L38 S45°07'47"W 14.15'	L1 N44°10'12"E 21.22' L20 S45°52'13"E 15.15' L38 S45°07'47"W 14.15'
L3 S45°12'02"E 21.18' L41 N44°07'47"E 14.81' L43 S45°52'13"E 14.15'	L3 S45°12'02"E 21.18' L41 N44°07'47"E 14.81' L43 S45°52'13"E 14.15'	L3 S45°12'02"E 21.18' L41 N44°07'47"E 14.81' L43 S45°52'13"E 14.15'
L4 N89°07'47"E 20.50' L23 S45°10'07"E 14.12' L42 S45°02'13"W 14.38'	L4 N89°07'47"E 20.50' L23 S45°10'07"E 14.12' L42 S45°02'13"W 14.38'	L4 N89°07'47"E 20.50' L23 S45°10'07"E 14.12' L42 S45°02'13"W 14.38'
L5 N89°02'13"W 19.45' L34 N44°49'53"E 14.14' L43 S45°02'13"W 14.03'	L5 N89°02'13"W 19.45' L34 N44°49'53"E 14.14' L43 S45°02'13"W 14.03'	L5 N89°02'13"W 19.45' L34 N44°49'53"E 14.14' L43 S45°02'13"W 14.03'
L6 S89°52'13"E 19.50' L25 S45°10'07"E 14.09' L44 N44°07'47"E 14.03'	L6 S89°52'13"E 19.50' L25 S45°10'07"E 14.09' L44 N44°07'47"E 14.03'	L6 S89°52'13"E 19.50' L25 S45°10'07"E 14.09' L44 N44°07'47"E 14.03'
L7 N89°07'47"E 20.50' L26 N44°49'53"E 14.12' L45 S45°02'13"W 14.03'	L7 N89°07'47"E 20.50' L26 N44°49'53"E 14.12' L45 S45°02'13"W 14.03'	L7 N89°07'47"E 20.50' L26 N44°49'53"E 14.12' L45 S45°02'13"W 14.03'
L8 S89°07'47"W 20.50' L27 N44°07'47"E 14.73' L46 N44°07'47"E 14.27'	L8 S89°07'47"W 20.50' L27 N44°07'47"E 14.73' L46 N44°07'47"E 14.27'	L8 S89°07'47"W 20.50' L27 N44°07'47"E 14.73' L46 N44°07'47"E 14.27'
L9 S45°22'23"W 14.69' L28 S45°52'13"E 14.73' L47 N44°07'47"E 14.85'	L9 S45°22'23"W 14.69' L28 S45°52'13"E 14.73' L47 N44°07'47"E 14.85'	L9 S45°22'23"W 14.69' L28 S45°52'13"E 14.73' L47 N44°07'47"E 14.85'
L10 S44°59'53"E 14.68' L29 S45°10'07"E 14.11' L48 N44°07'47"E 14.85'	L10 S44°59'53"E 14.68' L29 S45°10'07"E 14.11' L48 N44°07'47"E 14.85'	L10 S44°59'53"E 14.68' L29 S45°10'07"E 14.11' L48 N44°07'47"E 14.85'
L11 S89°07'47"W 20.50' L30 S44°49'53"W 14.10' L49 S45°52'13"E 14.85'	L11 S89°07'47"W 20.50' L30 S44°49'53"W 14.10' L49 S45°52'13"E 14.85'	L11 S89°07'47"W 20.50' L30 S44°49'53"W 14.10' L49 S45°52'13"E 14.85'
L12 N89°07'47"E 20.50' L31 N44°07'47"E 14.79' L50 S44°07'47"W 14.85'	L12 N89°07'47"E 20.50' L31 N44°07'47"E 14.79' L50 S44°07'47"W 14.85'	L12 N89°07'47"E 20.50' L31 N44°07'47"E 14.79' L50 S44°07'47"W 14.85'
L13 S44°07'47"W 14.03' L32 S45°52'13"E 14.79' L51 N89°00'00"E 5.76'	L13 S44°07'47"W 14.03' L32 S45°52'13"E 14.79' L51 N89°00'00"E 5.76'	L13 S44°07'47"W 14.03' L32 S45°52'13"E 14.79' L51 N89°00'00"E 5.76'
L14 S45°52'13"E 14.03' L33 S44°07'47"W 14.85' L52 N89°34'18"W 17.14'	L14 S45°52'13"E 14.03' L33 S44°07'47"W 14.85' L52 N89°34'18"W 17.14'	L14 S45°52'13"E 14.03' L33 S44°07'47"W 14.85' L52 N89°34'18"W 17.14'
L15 S44°07'47"W 14.53' L34 S45°52'13"E 14.85' L53 S88°14'14"W 9.00'	L15 S44°07'47"W 14.53' L34 S45°52'13"E 14.85' L53 S88°14'14"W 9.00'	L15 S44°07'47"W 14.53' L34 S45°52'13"E 14.85' L53 S88°14'14"W 9.00'
L16 S45°52'13"E 14.92' L35 S44°07'47"W 14.85' L54 N89°52'13"W 40.20'	L16 S45°52'13"E 14.92' L35 S44°07'47"W 14.85' L54 N89°52'13"W 40.20'	L16 S45°52'13"E 14.92' L35 S44°07'47"W 14.85' L54 N89°52'13"W 40.20'
L17 S44°07'47"W 15.52' L36 S45°52'13"E 14.85' L55 S89°07'47"W 22.84'	L17 S44°07'47"W 15.52' L36 S45°52'13"E 14.85' L55 S89°07'47"W 22.84'	L17 S44°07'47"W 15.52' L36 S45°52'13"E 14.85' L55 S89°07'47"W 22.84'
L18 S45°52'13"E 15.52' L37 S44°07'47"W 14.38' L56 S89°07'47"W 11.90'	L18 S45°52'13"E 15.52' L37 S44°07'47"W 14.38' L56 S89°07'47"W 11.90'	L18 S45°52'13"E 15.52' L37 S44°07'47"W 14.38' L56 S89°07'47"W 11.90'
L19 S44°07'47"W 15.15' L38 S45°52'13"E 14.15'	L19 S44°07'47"W 15.15' L38 S45°52'13"E 14.15'	L19 S44°07'47"W 15.15' L38 S45°52'13"E 14.15'

CURVE TABLE	CURVE TABLE
NO. DELTA RADIUS LENGTH CHORD BEARING CHORD	NO. DELTA RADIUS LENGTH CHORD BEARING CHORD
C1 89°00'00" 46.02 72.26 S45°52'13"E 65.69 C37 89°50'00" 24.00 37.82 S45°07'47"E 33.89	C1 89°00'00" 46.02 72.26 S45°52'13"E 65.69 C37 89°50'00" 24.00 37.82 S45°07'47"E 33.89
C2 90°42'00" 39.00 61.74 S44°59'53"W 55.48 C38 89°00'00" 24.00 37.79 S44°07'47"W 33.94	C2 90°42'00" 39.00 61.74 S44°59'53"W 55.48 C38 89°00'00" 24.00 37.79 S44°07'47"W 33.94
C3 89°17'54" 39.00 60.75 N45°31'07"W 54.62 C39 89°48'40" 24.00 37.62 N45°52'13"W 33.89	C3 89°17'54" 39.00 60.75 N45°31'07"W 54.62 C39 89°48'40" 24.00 37.62 N45°52'13"W 33.89
C4 90°00'00" 39.00 61.39 N45°52'13"W 55.10 C40 89°48'40" 24.00 37.62 N44°13'24"E 33.89	C4 90°00'00" 39.00 61.39 N45°52'13"W 55.10 C40 89°48'40" 24.00 37.62 N44°13'24"E 33.89
C5 90°00'00" 39.00 61.39 N44°07'47"E 55.10 C41 90°00'00" 24.00 37.70 S45°52'13"E 33.94	C5 90°00'00" 39.00 61.39 N44°07'47"E 55.10 C41 90°00'00" 24.00 37.70 S45°52'13"E 33.94
C6 90°00'00" 24.00 38.48 N45°52'13"W 34.62 C42 90°00'00" 23.99 37.64 N45°52'13"W 33.89	C6 90°00'00" 24.00 38.48 N45°52'13"W 34.62 C42 90°00'00" 23.99 37.64 N45°52'13"W 33.89
C7 90°00'00" 24.00 37.70 N44°07'47"E 33.94 C43 90°00'00" 24.00 37.70 S44°07'47"W 33.94	C7 90°00'00" 24.00 37.70 N44°07'47"E 33.94 C43 90°00'00" 24.00 37.70 S44°07'47"W 33.94
C8 88°25'00" 24.00 36.20 S42°20'17"W 32.88 C44 89°48'40" 24.00 37.62 N44°13'24"E 33.89	C8 88°25'00" 24.00 36.20 S42°20'17"W 32.88 C44 89°48'40" 24.00 37.62 N44°13'24"E 33.89
C9 77°22'11" 24.00 32.41 S82°11'08"W 30.00 C45 79°23'00" 24.00 33.29 N51°10'28"W 30.66	C9 77°22'11" 24.00 32.41 S82°11'08"W 30.00 C45 79°23'00" 24.00 33.29 N51°10'28"W 30.66
C10 77°22'11" 24.00 32.41 S82°28'47"W 30.00 C46 90°00'00" 24.00 37.70 S45°52'13"E 33.94	C10 77°22'11" 24.00 32.41 S82°28'47"W 30.00 C46 90°00'00" 24.00 37.70 S45°52'13"E 33.94
C11 79°52'54" 24.00 31.75 S82°59'44"E 29.18 C47 90°00'00" 24.00 37.70 S44°07'47"W 33.94	C11 79°52'54" 24.00 31.75 S82°59'44"E 29.18 C47 90°00'00" 24.00 37.70 S44°07'47"W 33.94
C12 90°00'00" 24.00 37.70 S45°52'13"W 33.94 C48 77°22'11" 24.00 32.41 N50°29'41"E 30.00	C12 90°00'00" 24.00 37.70 S45°52'13"W 33.94 C48 77°22'11" 24.00 32.41 N50°29'41"E 30.00
C13 90°00'00" 24.00 37.70 S44°07'47"W 33.94 C49 90°00'00" 24.00 37.70 S45°52'13"E 33.94	C13 90°00'00" 24.00 37.70 S44°07'47"W 33.94 C49 90°00'00" 24.00 37.70 S45°52'13"E 33.94
C14 90°00'00" 24.00 37.70 S45°52'13"E 33.94 C50 90°00'00" 24.00 37.70 S44°07'47"W 33.94	C14 90°00'00" 24.00 37.70 S45°52'13"E 33.94 C50 90°00'00" 24.00 37.70 S44°07'47"W 33.94
C15 90°00'00" 24.00 37.70 N44°07'47"E 33.94 C51 77°22'11" 24.00 32.41 N52°11'08"W 30.00	C15 90°00'00" 24.00 37.70 N44°07'47"E 33.94 C51 77°22'11" 24.00 32.41 N52°11'08"W 30.00
C16 78°52'54" 24.00 33.04 S49°41'30"W 30.49 C52 77°22'11" 24.00 32.41 N50°29'41"E 30.00	C16 78°52'54" 24.00 33.04 S49°41'30"W 30.49 C52 77°22'11" 24.00 32.41 N50°29'41"E 30.00
C17 87°28'47" 24.00 36.64 S47°07'50"E 33.19 C53 90°00'00" 24.00 37.70 S45°52'13"E 33.94	C17 87°28'47" 24.00 36.64 S47°07'50"E 33.19 C53 90°00'00" 24.00 37.70 S45°52'13"E 33.94
C18 4°28'21" 500.00 38.74 S61°20'57"W 38.73 C54 90°00'00" 24.00 37.70 S44°07'47"W 33.94	C18 4°28'21" 500.00 38.74 S61°20'57"W 38.73 C54 90°00'00" 24.00 37.70 S44°07'47"W 33.94
C19 4°28'21" 500.00 38.74 N01°20'57"E 38.73 C55 90°02'14" 24.00 37.71 N45°59'19"W 33.89	C19 4°28'21" 500.00 38.74 N01°20'57"E 38.73 C55 90°02'14" 24.00 37.71 N45°59'19"W 33.89
C20 87°28'47" 24.00 36.64 S47°07'50"E 33.19 C56 90°00'00" 24.00 37.70 S45°52'13"E 33.94	C20 87°28'47" 24.00 36.64 S47°07'50"E 33.19 C56 90°00'00" 24.00 37.70 S45°52'13"E 33.94
C21 88°02'21" 24.00 36.50 S47°07'50"E 33.17 C57 90°00'00" 24.00 37.70 S44°07'47"W 33.94	C21 88°02'21" 24.00 36.50 S47°07'50"E 33.17 C57 90°00'00" 24.00 37.70 S44°07'47"W 33.94
C22 88°03'11" 24.00 36.88 S45°59'59"W 33.36 C58 88°25'10" 24.00 33.89 N48°50'59"E 30.99	C22 88°03'11" 24.00 36.88 S45°59'59"W 33.36 C58 88°25'10" 24.00 33.89 N48°50'59"E 30.99
C23 90°00'00" 24.00 37.70 N45°52'13"W 33.94 C59 78°22'29" 24.00 32.83 N51°40'59"W 30.33	C23 90°00'00" 24.00 37.70 N45°52'13"W 33.94 C59 78°22'29" 24.00 32.83 N51°40'59"W 30.33
C24 90°00'00" 24.00 37.70 N44°07'47"W 33.94 C60 78°22'29" 24.00 32.83 N49°58'32"E 30.33	C24 90°00'00" 24.00 37.70 N44°07'47"W 33.94 C60 78°22'29" 24.00 32.83 N49°58'32"E 30.33
C25 88°04'52" 24.00 36.90 S44°54'39"E 33.37 C61 78°22'29" 24.00 32.83 N51°40'59"W 30.33	C25 88°04'52" 24.00 36.90 S44°54'39"E 33.37 C61 78°22'29" 24.00 32.83 N51°40'59"W 30.33
C26 88°04'52" 24.00 36.90 N41°10'13"E 33.37 C62 78°22'29" 24.00 32.83 N49°58'32"E 30.33	C26 88°04'52" 24.00 36.90 N41°10'13"E 33.37 C62 78°22'29" 24.00 32.83 N49°58'32"E 30.33
C27 88°48'41" 24.00 36.30 S44°13'34"E 32.07 C63 88°25'10" 24.00 33.89 N50°39'39"W 30.99	C27 88°48'41" 24.00 36.30 S44°13'34"E 32.07 C63 88°25'10" 24.00 33.89 N50°39'39"W 30.99
C28 88°17'54" 24.00 37.41 N45°31'07"W 33.73 C64 89°48'40" 24.00 37.62 N44°13'24"E 33.89	C28 88°17'54" 24.00 37.41 N45°31'07"W 33.73 C64 89°48'40" 24.00 37.62 N44°13'24"E 33.89
C29 89°25'00" 24.00 37.00 S45°10'07"W 33.44 C65 89°48'40" 24.00 37.62 N45°52'13"E 33.89	C29 89°25'00" 24.00 37.00 S45°10'07"W 33.44 C65 89°48'40" 24.00 37.62 N45°52'13"E 33.89
C30 87°21'12" 24.00 36.50 N43°32'09"W 33.10 C66 89°48'40" 24.00 37.62 N44°13'24"E 33.89	C30 87°21'12" 24.00 36.50 N43°32'09"W 33.10 C66 89°48'40" 24.00 37.62 N44°13'24"E 33.89
C31 88°40'00" 24.00 36.30 N42°27'50"E 32.94 C67 17°03'39" 38.00 11.28 N67°38'59"E 11.24	C31 88°40'00" 24.00 36.30 N42°27'50"E 32.94 C67 17°03'39" 38.00 11.28 N67°38'59"E 11.24
C32 88°40'00" 24.00 36.30 S44°12'17"E 32.94 C68 17°03'39" 38.00 11.28 S67°38'59"W 12.42	C32 88°40'00" 24.00 36.30 S44°12'17"E 32.94 C68 17°03'39" 38.00 11.28 S67°38'59"W 12.42
C33 88°16'48" 24.00 36.98 S45°18'17"W 33.43 C69 17°03'39" 38.00 12.47 N59°22'33"W 12.42	C33 88°16'48" 24.00 36.98 S45°18'17"W 33.43 C69 17°03'39" 38.00 12.47 N59°22'33"W 12.42
C34 87°23'21" 24.00 36.61 N44°33'54"W 33.16 C70 17°03'39" 38.00 11.28 S67°22'33"E 11.24	C34 87°23'21" 24.00 36.61 N44°33'54"W 33.16 C70 17°03'39" 38.00 11.28 S67°22'33"E 11.24
C35 88°40'00" 24.00 36.30 N42°27'50"E 32.94 C71 82°27'16" 59.60 65.77 S41°42'18"W 78.56	C35 88°40'00" 24.00 36.30 N42°27'50"E 32.94 C71 82°27'16" 59.60 65.77 S41°42'18"W 78.56
C36 S45°08'00" 7.99 7.55 S67°40'30"E 7.27 C72 98°11'52" 59.60 100.07 N48°58'59"W 88.72	C36 S45°08'00" 7.99 7.55 S67°40'30"E 7.27 C72 98°11'52" 59.60 100.07 N48°58'59"W 88.72

- Notes :
- All corners are 5/8" iron rods set with a plastic cap stamped "KHA" unless otherwise noted.
 - All HOA lots are to be owned and maintained by the Homeowner's Association.
 - Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utility and building permits.
 - All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983. All dimensions shown are ground distances. To obtain a grid distance, multiply the ground distance by the Project Combined Factor (PCF) of 0.999945927.
 - According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 4812-02030B, dated June 19, 2020 & Map No. 4812-02030B, dated April 18, 2011 for Hickory Creek, Denton County, Texas and incorporated areas, the property is within ZONE X (UNSHADED) defined as "Areas determined to be outside the 0.2% annual chance floodplain" if this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
 - Building setback lines will not be shown because there is no minimum setback in the Planned Development Zoning.
 - All lots adjacent to Floodplain must meet the Minimum Finished Floor Elevation of 588.59' Block A, Lots 1-10; Block F, Lot 14; Block K, Lots 1 & 2; Block M, Lots 1-10.
 - All Open Space lots to be Sidewalk Easements



LEGEND

P.O.B. = POINT OF BEGINNING
 HP = IRON ROD FOUND
 IRSC = 5/8" IRON ROD W/ "KHA" CAP SET
 HPFC = CAPPED IRON ROD FOUND
 BL = BUILDING LINE
 DE = DRAINAGE EASEMENT
 S.E. = SANITARY SEWER EASEMENT
 U.E. = UTILITY EASEMENT
 W.E. = WATER EASEMENT
 VOL. = VOLUME
 XF = CUT "X" FOUND
 RS = FENCE
 R.O.W. = RIGHT OF WAY
 D.R.C.T. = DEED RECORDS DENTON COUNTY, TEXAS
 P.D.C.T. = PLAT RECORDS DENTON COUNTY, TEXAS

— STREET NAME CHANGE
 — EXISTING TWO EASEMENT TO BE ABANDONED BY THIS PLAT

LINE TYPE	LEGEND
PROPERTY LINE	PROPERTY LINE
BOUNDARY LINE	BOUNDARY LINE
SETBACK LINE	SETBACK LINE
DRIVEWAY LINE	DRIVEWAY LINE
SEWER LINE	SEWER LINE
WATER LINE	WATER LINE
UTILITY LINE	UTILITY LINE
RIGHT-OF-WAY LINE	RIGHT-OF-WAY LINE

FINAL PLAT RESERVE AT HICKORY CREEK

BLOCK A, LOTS 1-20, 21X; BLOCK B, LOTS 1-15, 16X; BLOCK C, LOTS 1-12, 13X; BLOCK D, LOTS 1-12, 13X; BLOCK E, LOTS 1-12, 13X; BLOCK F, LOTS 1-14, 15X; BLOCK G, LOTS 1-12, 13X; BLOCK H, LOTS 1-12, 13X; BLOCK I, LOTS 1-12, 13X; BLOCK J, LOTS 1-12, 13X; BLOCK K, LOTS 1-12, 13X; BLOCK L, LOT 1X; BLOCK M, LOTS 1-20, 21X; BLOCK N, LOTS 1-20, 21X; BLOCK O, LOTS 1-20, 21X; BLOCK P, LOTS 1-20, 21X; BLOCK Q, LOT 1X

18.8530 ACRES
225 RESIDENTIAL LOTS
17 OPEN SPACE LOTS

SITUATED IN THE
H.H. SWISHER SURVEY,
ABSTRACT NO. 1220
TOWN OF HICKORY CREEK,
DENTON COUNTY, TEXAS

Kimley»Horn

400 North Oklahoma Dr., Suite 105
Celina, Texas 75009
FIRM # 10194503
Tel. No. (469) 501-2200
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 60'	SPA	KHA	Feb. 2023	06326500	1 OF 2

OWNER/DEVELOPER:
MARKETSPACE CAPITAL, LLC
1900 Southwest Freeway,
Suite 201
Houston, TX 77074
Tel. No. (281) 776-5784
Contact: Taylor Stinnett
Email:

APPLICANT:
Kimley-Horn and Associates, Inc.
400 N. Oklahoma Dr., Suite 105
Celina, Texas 75009
Phone: 469-501-2200
Contact: Anthony Loeffel, P.E.

SURVEYOR:
KIMLEY-HORN AND ASSOC. INC.
400 North Oklahoma Drive, Suite 105
Celina, Texas 75009
Tel. No. (469) 501-2200
Contact: Daniel Arthur, R.P.L.S.
Email: daniel.arthur@kimley-horn.com

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS Reserve at Hickory Creek, LLC is the owner of a tract of land situated in the H.H. Swisher Survey, Abstract Number 1220, Town of Hickory Creek, Denton County, Texas, and being all of that called 18,786 acre tract of land described in deed to Reserve at Hickory Creek LLC according to the document filed of record in Document Number 2021-133395, Deed Records Denton County, Texas (D.R.D.C.T.) and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with cap stamped "RPLS 4561" found in the north line of Turbeville Road, a variable width right-of-way, for the southeast corner of Lot 1, Block 1, The Olma at Hickory Creek, an addition to the Town of Hickory Creek according to the plat filed of record in Document Number 2022-203, (D.R.D.C.T.) same being the common southwest corner of this tract;

THENCE with the east line of said Lot 1, Block 1, same being common with the west line of this tract the following five (5) courses and distances:

North 0°52'13" West, a distance of 820.00 feet to a 5/8 inch iron rod with red plastic cap stamped "KH4" set for corner;

North 89°07'47" East, a distance of 10.00 feet to a 5/8 inch iron rod with red plastic cap stamped "KH4" set for corner;

North 0°52'13" West, a distance of 10.00 feet to a 5/8 inch iron rod with red plastic cap stamped "KH4" set for corner;

South 89°07'47" West, a distance of 10.00 feet to a 5/8 inch iron rod with red plastic cap stamped "KH4" set for corner;

North 0°52'13" West, a distance of 432.47 feet to a 1/2" iron rod found in the south line of that tract of land conveyed to Alan Harvey Goldfield & Shirley Mae Goldfield according to the document filed of record in Document Number 2013-57560 (D.R.D.C.T.), for the northeast corner of said Lot 1, Block 1, same being the northwest corner of this tract;

THENCE North 89°49'53" East, with the north line of said 18,786 acre tract, a distance of 653.80 feet to a 5/8 inch iron rod with red plastic cap stamped "KH4" set for corner at the northwest corner of Enclave of Hickory Creek, an addition to the Town of Hickory Creek according to the plat filed of record in Document Number 2013-198 Plat Records Denton County, Texas and being the common northeast corner of this tract;

THENCE South 0°47'22" East, with the west line of said Enclave of Hickory Creek, same being common with the east line of this tract, a distance of 1256.06 feet to an "X" cut in concrete, set at the base of a wall, in the north line of the above-mentioned Turbeville Road for the southeast corner of this tract;

THENCE with said north line the following three (3) courses and distances:

South 89°50'23" West, a distance of 200.96 feet to a 5/8" iron rod with plastic cap stamped "KH4" set for a corner;

South 89°00'11" West, a distance of 416.26 feet to a 5/8" iron rod with plastic cap stamped "KH4" set for a corner;

South 87°58'34" West, a distance of 34.76 feet to the POINT OF BEGINNING and containing 821,237 square feet or 18,8530 acres of land.

OWNER'S DEDICATION

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, **RESERVE AT HICKORY CREEK, LLC**, acting by and through their duly authorized agents, do hereby adopt this plat, designating the herein described property as **RESERVE AT HICKORY CREEK**, an addition to the Town of Hickory Creek, Denton County, Texas, and do hereby dedicate, in fee simple, to the public use forever any streets, alleys, and floodway management areas shown thereon. The easements shown thereon are hereby reserved for the purposes indicated. The utility and fire lane easements shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility and fire lane easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. All, and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way may endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility).

Water main and wastewater easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Hickory Creek.

WITNESS, my hand at _____, Texas, this the _____ day of _____, 2023.

RESERVE AT HICKORY CREEK, LP.

By: _____

Name: _____

Title: _____

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2023.

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE

THAT I, Daniel Arthur, do hereby certify that I prepared this plat from an actual survey of the land and that the corner monuments shown hereon were properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the Town of Hickory Creek, Texas.

Dated this the _____ day of _____, 20____.

DANIEL ARTHUR
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5933
KIMLEY-HORN AND ASSOCIATES, INC.
400 NORTH OKLAHOMA DRIVE, SUITE 105
CELINA, TEXAS 75009
PH: 469-501-2200
daniel.arthur@kimley-horn.com

PRELIMINARY

THIS DOCUMENT SHALL
NOT BE RECORDED FOR
ANY PURPOSE AND
SHALL NOT BE USED OR
VIEWED OR RELIED
UPON AS A FINAL
SURVEY DOCUMENT

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared Daniel Arthur, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2023.

Notary Public in and for the State of Texas

FINAL PLAT RESERVE AT HICKORY CREEK

BLOCK A, LOTS 1-20, 21X; BLOCK B, LOTS 1-15, 16X; BLOCK C, LOTS 1-12, 13X; BLOCK D, LOTS 1-12, 13X; BLOCK E, LOTS 1-12, 13X; BLOCK F, LOTS 1-14, 15X; BLOCK G, LOTS 1-12, 13X; BLOCK H, LOTS 1-12, 13X; BLOCK I, LOTS 1-12, 13X; BLOCK J, LOTS 1-12, 13X; BLOCK K, LOTS 1-12, 13X; BLOCK L, LOT 1X; BLOCK M, LOTS 1-20, 21X; BLOCK N, LOTS 1-20, 21X; BLOCK O, LOTS 1-20, 21X; BLOCK P, LOTS 1-20, 21X; BLOCK Q, LOT 1X

18.8530 ACRES
225 RESIDENTIAL LOTS
17 OPEN SPACE LOTS

SITUATED IN THE
H.H. SWISHER SURVEY,
ABSTRACT NO. 1220
TOWN OF HICKORY CREEK,
DENTON COUNTY, TEXAS

Kimley»Horn

400 North Oklahoma Dr., Suite 105
Celina, Texas 75009

FIRM # 10194503
Tel. No. (469) 501-2200
www.kimley-horn.com

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NA	SPA	KHA	Feb. 2023	063266500	2 OF 2

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9100 Southwest Freeway,
Suite 201
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February 16, 2023

Ms. Chris Chaudoir
Town of Hickory Creek
1075 Ronald Reagan Avenue
Hickory Creek, TX 75065

**RE: *The Reserve at Hickory Creek – Final Plat
2nd Review***

Ms. Chaudoir:

This letter is in response to your team's comments, dated February 16, 2023. Comments are listed first followed by Kimley-Horn and Associates, Inc.'s response in bold italics. We hope these responses address your review comments.

Final Plat

4. The planned detention ponds will require an emergency spillway encompassed by a drainage easement that directs overflow either to the stream or to ROW.

2nd Review: Drainage easement was added to cover the storm drain line and outfall but does not extend to cover the channel to the ROW line. The drainage easement must extend to the ROW line.

Response: Revised easement line to extend to the ROW at the southeast corner of the project site.

6. Modify the approval block to reflect the Final Plat approval block in accordance with Town ordinance.

2nd Review: Please modify the approval block for Final Plat. The approval block shown is still for Preliminary Plat.

Response: Revised to match email correspondence.

7. Include note about building setback lines not being shown because there is no minimum setback in the Planned Development zoning. Refer to the ordinance number.

2nd Review: Note added. Please add a reference to Resolution No. 2022-0801.

Response: Revised note to include resolution number.

Please contact me at (469-301-2581) or Anthony.Loeffel@kimley-horn.com should you have any questions or need any additional information.

Sincerely,

Anthony Loeffel, P.E.

RESERVE AT HICKORY CREEK AMENITIES AND PLANTING LAYOUT

DENTON COUNTY, TEXAS

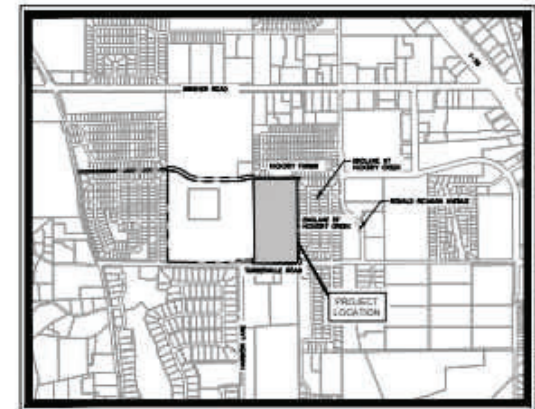
Landscape Architect:



P.O. Box 751
Rosenberg, Texas 77471
tel: 281.341.9975.
fax: 281.341.5419
www.greenscapeassociates.com

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION

L1.00-L1.02	HARDSCAPE LAYOUT
L1.03-L1.05	HARDSCAPE DETAILS
L2.01-L2.04	PLANTING PLAN & DETAILS
L2.05	MATERIAL EXAMPLES



VICINITY MAP
SCALE: 1" = 1000'

SITE LEGEND

CONCRETE DETAILS

- 1) 5' Wide Concrete Walk, & 4" Conc Pad - (tie in flush and even w/ ex parking curb) RE: A-E/L1.03
- 2) Conc Walk w/ Play Curb RE: H/L1.03
- 3) 1' Conc Play Curb RE: H/L1.03
- 4) Conc Walk w/ Bench at Playcurb RE: G/L1.03
- 5) ADA Ramp RE: F/L1.03
- 6) Conc Band at Dog Park RE: I/L1.03

SITE FURNITURE AND FENCING

- 2.1 Trash Receptacle - RE: A/L1.04
- 2.2 Bench - RE: B/L1.04
- 2.3 Table - RE: C/L1.04
- 2.4 4' Steel Fence - RE: D/L1.04
- 2.5 6' Steel Fence and Gate - RE: D-E/L1.04
- 2.6 Dog Waste Station - G/L1.04

EQUIPMENT

- 3.1 Burke Playground NU-3191 - RE: A/L1.05
- 3.2 Octagon Shade Pavilion RE: B/L1.05
- 3.3 Hip Flex - RE: F/L1.04
- 3.4 Body Pull Up- RE: F/L1.04
- 3.5 Heel Flex - RE: F/L1.04
- 3.6 Leg Flex - RE: F/L1.04
- 3.7 Arm Walk- RE: F/L1.04
- 3.8 Pickle Ball Court - RE: J/L1.03

general construction notes:

1) CONTRACTOR SHALL BE FAMILIAR WITH EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY LOSS INCURRED DUE TO BODILY INJURY AND/OR DAMAGE TO OWNER'S PROPERTY OR SAID UTILITIES. CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES BEFORE EXCAVATION.

2) LOCATE AND VERIFY CONDITION OF UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING PUBLIC OR PRIVATE UTILITY LINES, INCLUDING BUT NOT LIMITED TO WATER LINES, WASTEWATER COLLECTION SYSTEMS AND STORM SEWERS. DURING CONSTRUCTION, EXTREME CARE SHALL BE EXERCISED IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. CONTRACTOR SHALL HAND DO PLANTING ITS AND HAND HAVE LANE AREAS AS REQUIRED.

3) CONTRACTOR SHALL PROTECT ALL ADJACENT TREES TO WORK AREA. NO TREES OR PLANT MATERIAL SHALL BE REMOVED WITHOUT PERMISSION OF OWNER.

4) CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING IRRIGATION AND LANDSCAPE ON SITE FROM ANY DAMAGE. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS IMMEDIATELY.

5) CONTRACTOR SHALL NOTIFY OWNER AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.

6) ANY CONFLICTING INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR IT WILL BE ASSUMED THE CONTRACTOR HAS INCORPORATED THE COSTLEST IDEA.

7) DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY HAVE NOT BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.

8) THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK AS SHOWN AND NOTED ON THE DRAWINGS UNLESS OTHERWISE NOTED.

9) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH HIS SUBCONTRACTORS TO ACCOMPLISH HIS SCOPE OF WORK. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES WORKING ON THE SITE SIMULTANEOUSLY.

10) THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS, AND SHALL PERFORM FIELD MEASUREMENTS PRIOR TO FABRICATION AND/OR PURCHASE OF ANY MATERIAL AND SHALL CONTACT THE LANDSCAPE ARCHITECT SHOULD EXISTING CONDITIONS BE DIFFERENT FROM THE DESIGN DRAWINGS FOR THIS PROJECT. CONFLICTS ARISING DUE TO LACK OF COORDINATION SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR.

11) ANY REQUIRED CHANGES TO THE DRAWINGS RESULTING FROM THE ACCEPTANCE OF CONTRACTOR'S ALTERNATES AND/OR SUBSTITUTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT AND THE OWNER FOR APPROVAL.

12) CONTRACTOR SHALL PROVIDE UNIT PRICES BASED ON QUANTITIES ON DOCUMENTS. FIELD CONDITIONS MAY REVEAL ACTUAL LOCATION, INCREASING OR DECREASING THE EXTENT OF WORK PERFORMED. CHANGES TO THE EXTENT OF WORK RESULTING IN AN INCREASE OR DECREASE WILL BE BASED ON UNIT PRICES AND PERFORMED SUBJECT TO APPROVAL OF THE OWNER AND THE LANDSCAPE ARCHITECT IN THE FORM OF A CHANGE ORDER.

13) UNIT PRICES SHALL NOT ONLY INCLUDE THE COST OF THE ITEM BUT ALSO ALL LABOR, EQUIPMENT, AND OTHER MATERIALS (E.G. BACKFILL, MIX, MULCH, STEEL EDGING, ETC.) ASSOCIATED WITH AND NECESSARY TO DELIVER THE ITEM COMPLETE AS DOCUMENTED IN THE SPECIFICATIONS.

14) THE CONTRACTOR SHALL COORDINATE THE STORING OF MATERIALS, PARKING OF VEHICLES AND RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS OR PARK VEHICLES UNDER THE CANOPY OF EXISTING TREES.

15) CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE ORDINANCES AND LOCAL CODES. CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION PERMITS PRIOR TO STARTING CONSTRUCTION. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY THE REGULATION OF HARRIS COUNTY, TEXAS FOR FLOOD PLAIN MANAGEMENT PRIOR TO STARTING CONSTRUCTION.

16) ALL CONSTRUCTION COVERED BY THESE CONTRACT DOCUMENTS SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF ALL APPLICABLE CITY AND STATE CODES AND STANDARDS INCLUDING BUT NOT LIMITED TO THE UNIFORM BUILDING CODE, ENACTED BY THE CONFERENCE OF BUILDING OFFICIALS, MOST RECENT EDITION, AND AMENDMENTS AS ADOPTED BY LOCAL GOVERNMENT.

17) CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND ALL REGULATIONS OF UTILITY COMPANIES CONCERNING SAFETY AND HEALTH PRACTICES.

18) THESE PLANS PREPARED BY GREENSCAPE ASSOCIATES DO NOT EXTEND TO OR INCLUDE DESIGN OR SYSTEMS PERTAINING TO THE SAFETY OF THE CONTRACTOR OR ITS EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF WORK. THE SEAL OF GREENSCAPE ASSOCIATES OR THEIR CONSULTANTS SEALS HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW HEREAFTER BE INCORPORATED IN THESE PLANS. THE CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEM (S).

19) CONTRACTOR SHALL REMOVE ALL MUD, DIRT AND DEBRIS DEPOSITED OR DROPPED ON EXISTING PAVEMENT DUE TO HIS CONSTRUCTION ACTIVITY DAILY. MATERIAL THAT IS HAZARDOUS TO TRAFFIC SHALL BE REMOVED IMMEDIATELY.

20) CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR REMOVAL OF TRASH AND REPAIR OF HAZARDOUS CONDITIONS (E.G. TOOLS, OPEN HOLES, ETC.) ON A DAILY BASIS BY END OF WORK DAY.

21) UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL, CONTRACTOR SHALL THOROUGHLY CLEAN UP THE PROJECT SITE OF ALL TRASH, SCRAPS, BRICK, ROCKS, MORTAR, ETC. REPAIR ALL DAMAGE TO FINISH GRADE INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS, OR ANY SETTLING OR EROSION OCCURRING PRIOR TO COMPLETION.

WALK LAYOUT & NOTES:

1) THESE PLANS INDICATE APPROXIMATE LOCATIONS OF THE CONCRETE WALKS. CONTRACTOR IS TO STAKE CENTERLINE OF PROPOSED WALKS USING 1"x2"x18" STAKES AT SPECIFIED ON CENTERS FOR APPROVAL PRIOR TO ANY CONSTRUCTION PROCEDURE. OWNER AND LANDSCAPE ARCHITECT SHALL MAKE FINAL APPROVAL AND/OR LAYOUT OF WALK IN THE FIELD PRIOR TO PLACEMENT OF FORMS BY CONTRACTOR.

2) FINISH ELEVATION OF WALK SYSTEM IS TO FOLLOW EXISTING CONTOURS OF SURROUNDING AREA UNLESS OTHERWISE NOTED. SET ELEVATIONS OF WALKS FOR POSITIVE DRAINAGE. THE WALK SYSTEM IS NOT TO IMPIDE EXISTING SURFACE DRAINAGE IN ANY MANNER.

3) CONTRACTOR'S WALKS AND WHEELCHAIR RAMP WORK SHALL MEET THE TITLE II PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT FOR PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES. SIDEWALK RUNNING SLOPES NOT TO EXCEED 1:20, CROSS SLOPES NOT TO EXCEED 1:50.

4) CONTRACTOR SHALL USE FIBERGLASS OR THIN WOOD FORMS TO CREATE SMOOTH AND UNIFORM CURVES ON MEANDERING SIDEWALKS UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.

5) CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI. CONCRETE AND REINFORCING SHALL MEET ALL OTHER APPLICABLE CRITERIA AS PER DETAILS.00 & NOTES.

6) CONTRACTOR TO TIE ALL SIDEWALKS INTO EXISTING WALKS WITH A SMOOTH TRANSITION AND TO MATCH EXISTING WALKS IN COLOR AND FINISH. DOWEL INTO EXISTING WALK BY INSTALLING 12" LONG, #5 REBAR DOWEL.00, AT 12" O.C. DRILL INTO EXISTING CONCRETE WALK AND EPOXY #5 REBAR IN PLACE.

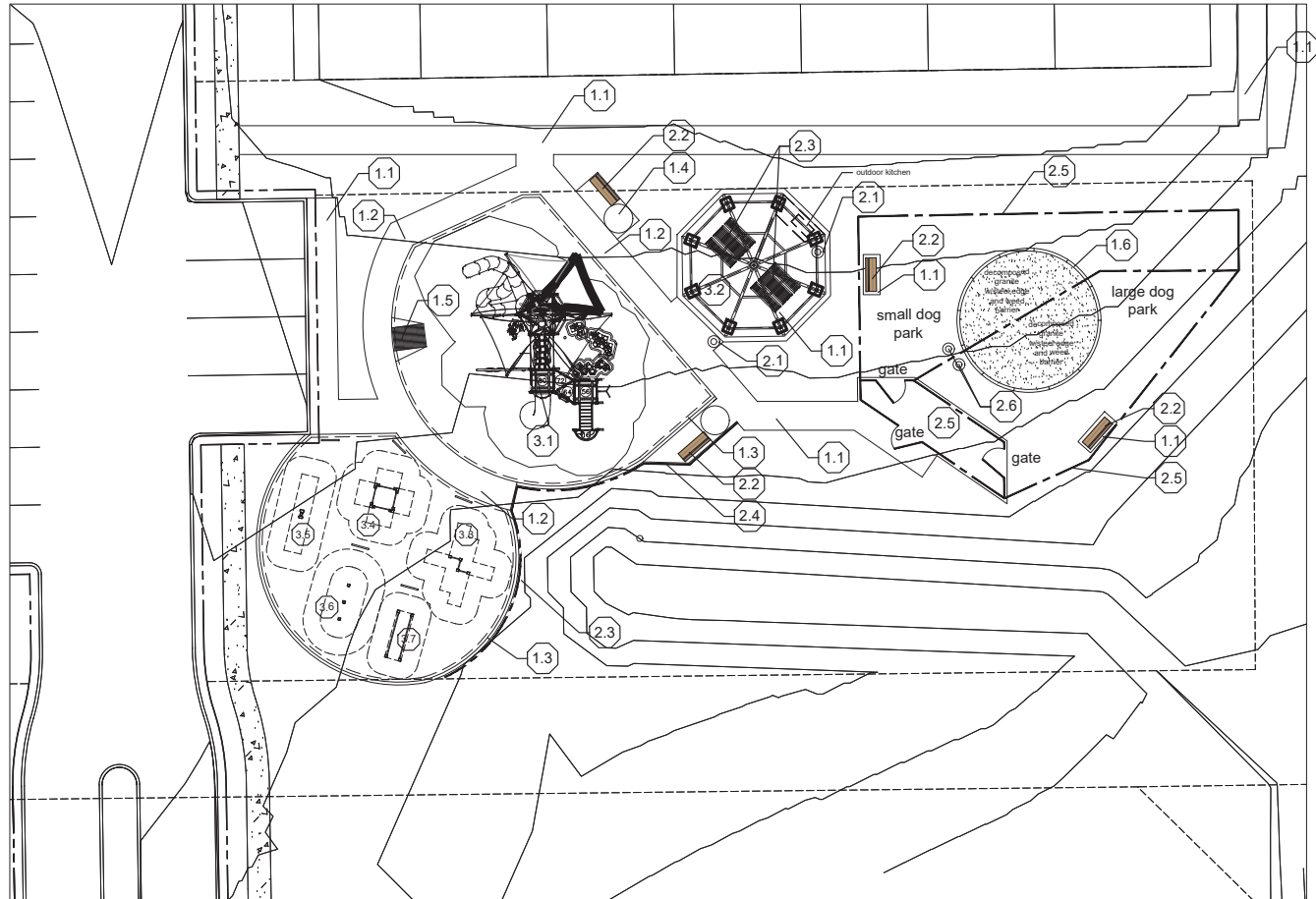
7) CONSTRUCTION JOINT LAYOUT AT WALK INTERSECTIONS HAS BEEN SHOWN DIAGRAMMATICALLY ON PLANS AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO POURING. WALKS SHALL BE POURED IN SECTIONS WITH NO CORNERS LESS THAN 45 DEGREES TO AVOID FUTURE CRACKING.

8) ALL UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO DIGGING.

9) NOTE: CONTRACTOR IS RESPONSIBLE FOR PROTECTING HIS WORK FROM VANDALISM OR GRAFFITI PRIOR TO CURING. CONTRACTOR SHALL REPLACE AS NECESSARY ANY SECTIONS OF DAMAGED WALK AT NO ADDITIONAL COST TO THE OWNER.

10) ALL RUTS, DEPRESSIONS AND OTHER DAMAGE TO EXISTING GRADE AS A RESULT OF WALK CONSTRUCTION IS TO BE FILLED, REGRADED AND RE-SEEDED BY CONTRACTOR TO SATISFACTION OF LANDSCAPE ARCHITECT.

11) ANY DAMAGE TO EXISTING IRRIGATION SYSTEM IS TO BE REPAIRED (USING SAME TYPE OF EXISTING IRRIGATION PRODUCT) BY CONTRACTOR TO SATISFACTION OF THE LANDSCAPE ARCHITECT.



A Landscape Plan
Scale: 1" = 10'

RESERVE AT HICKORY CREEK
Town of Hickory Creek
Denton County, Texas

GREENSCAPE
ASSOCIATES

P.O. Box 78
Rosenberg, Texas 77471
tel: 281.541.4978
fax: 281.541.5414
www.greenscapeassociates.com



Copyright, 2023
Greenscape Associates, LLC
All Rights Reserved

Project #: 2.10.23
Date:
Drawn:
Checked:

Revisions:

Sheet:

L1.01
Hardscape Layout

SITE LEGEND

CONCRETE DETAILS

- 1) 5' Wide Concrete Walk -
(tie in flush and even w/ ex parking curb) RE:
A-E/L1.03
- 2) Conc Walk w/ Play Curb RE: H/L1.03
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EQUIPMENT

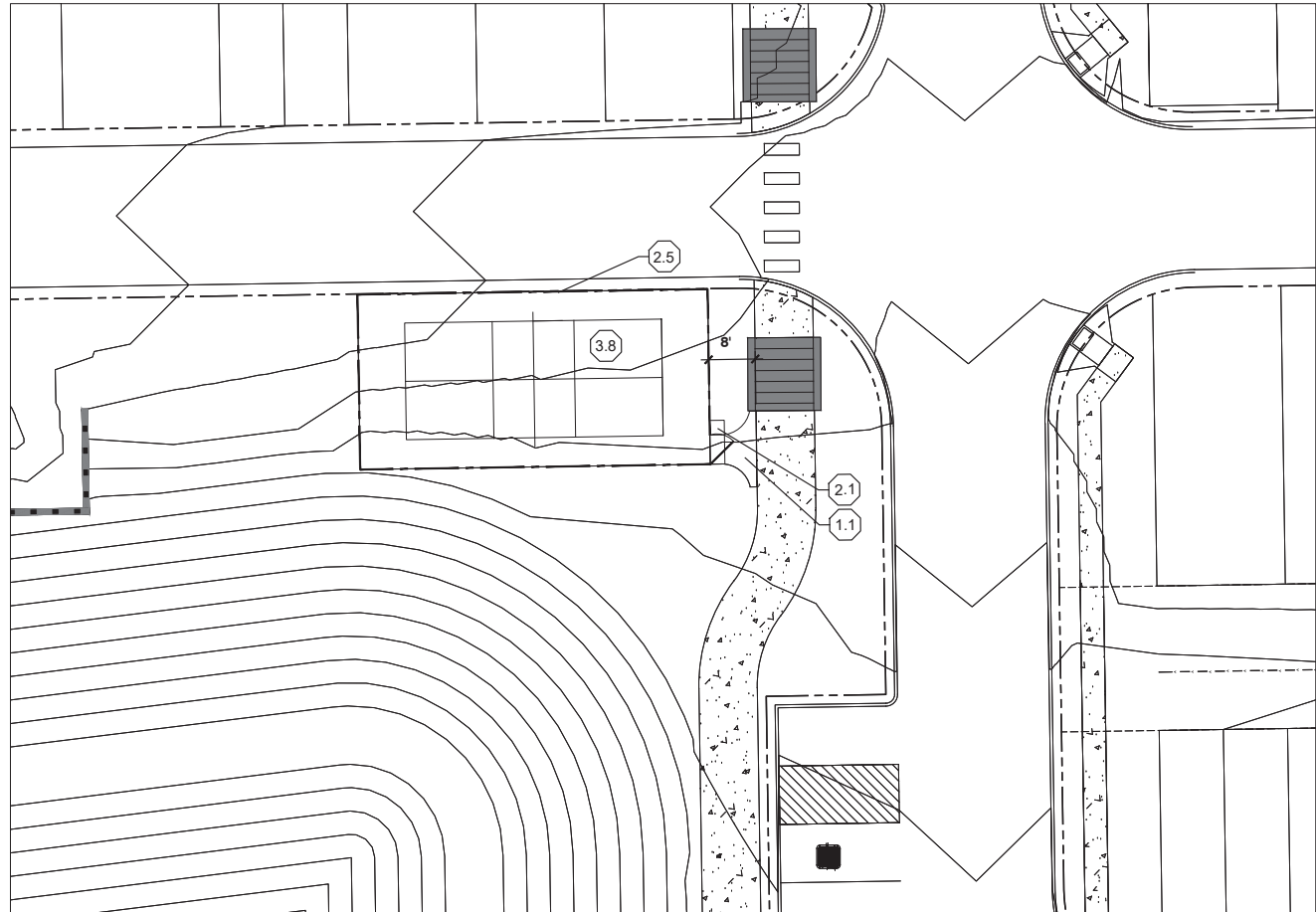
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- 9) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH HIS SUBCONTRACTORS TO ACCOMPLISH HIS SCOPE OF WORK. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES WORKING ON THE SITE SIMULTANEOUSLY.
- 10) THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS, AND SHALL PERFORM FIELD MEASUREMENTS PRIOR TO FABRICATION AND/OR PURCHASE OF ANY MATERIAL AND SHALL CONTACT THE LANDSCAPE ARCHITECT SHOULD EXISTING CONDITIONS BE DIFFERENT FROM THE DESIGN DRAWINGS FOR THIS PROJECT. CONFLICTS ARISING DUE TO LACK OF COORDINATION SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR.
- 11) ANY REQUIRED CHANGES TO THE DRAWINGS RESULTING FROM THE ACCEPTANCE OF CONTRACTOR'S ALTERNATES AND/OR SUBSTITUTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT AND THE OWNER FOR APPROVAL.
- 12) CONTRACTOR SHALL PROVIDE UNIT PRICES BASED ON QUANTITIES ON DOCUMENTS. FIELD CONDITIONS MAY REVEAL ACTUAL LOCATION, INCREASING OR DECREASING THE EXTENT OF WORK PERFORMED. CHANGES TO THE EXTENT OF WORK RESULTING IN AN INCREASE OR DECREASE WILL BE BASED ON UNIT PRICES AND PERFORMED SUBJECT TO APPROVAL OF THE OWNER AND THE LANDSCAPE ARCHITECT IN THE FORM OF A CHANGE ORDER.
- 13) UNIT PRICES SHALL NOT ONLY INCLUDE THE COST OF THE ITEM BUT ALSO ALL LABOR, EQUIPMENT, AND OTHER MATERIALS (E.G. BACKFILL, MULCH, STEEL EDGING, ETC.) ASSOCIATED WITH AND NECESSARY TO DELIVER THE ITEM COMPLETE AS DOCUMENTED IN THE SPECIFICATIONS.
- 14) THE CONTRACTOR SHALL COORDINATE THE STORING OF MATERIALS, PARKING OF VEHICLES AND RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS OR PARK VEHICLES UNDER THE CANOPY OF EXISTING TREES.
- 15) CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE ORDINANCES AND LOCAL CODES. CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION PERMITS PRIOR TO STARTING CONSTRUCTION. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY THE REGULATION OF HARRIS COUNTY, TEXAS FOR FLOOD PLAIN MANAGEMENT PRIOR TO STARTING CONSTRUCTION.
- 16) ALL CONSTRUCTION COVERED BY THESE CONTRACT DOCUMENTS SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF ALL APPLICABLE CITY AND TOWNSHIP CODES AND STANDARDS INCLUDING BUT NOT LIMITED TO THE UNIFORM BUILDING CODE, ENACTED BY THE CONFERENCE OF BUILDING OFFICIALS, MOST RECENT EDITION, AND AMENDMENTS AS ADOPTED BY LOCAL GOVERNMENT.
- 17) CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND ALL REGULATIONS OF UTILITY COMPANIES CONCERNING SAFETY AND HEALTH PRACTICES.
- 18) THESE PLANS PREPARED BY GREENSCAPE ASSOCIATES DO NOT EXTEND TO OR INCLUDE DESIGNING OR SYSTEMS PERTAINING TO THE SAFETY OF THE CONTRACTOR OR ITS EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF WORK. THE SEAL OF GREENSCAPE ASSOCIATES OR THEIR CONSULTANTS SEALS HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW HEREAFTER BE INCORPORATED IN THESE PLANS. THE CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEM (S).
- 19) CONTRACTOR SHALL REMOVE ALL MUD, DIRT AND DEBRIS DEPOSITED OR DROPPED ON EXISTING PAVEMENT DUE TO HIS CONSTRUCTION ACTIVITY DAILY. MATERIAL THAT IS HAZARDOUS TO TRAFFIC SHALL BE REMOVED IMMEDIATELY.
- 20) CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR REMOVAL OF TRASH AND REPAIR OF HAZARDOUS CONDITIONS (E.G. TOOLS, OPEN HOLES, ETC.) ON A DAILY BASIS BY END OF WORK DAY.
- 21) UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL, CONTRACTOR SHALL THOROUGHLY CLEAN UP THE PROJECT SITE OF ALL TRASH, SCRAPS, BRICK, ROCKS, MORTAR, ETC. REPAIR ALL DAMAGE TO FINISH GRADE INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS, OR ANY SETTLING OR EROSION OCCURRING PRIOR TO COMPLETION.

WALK LAYOUT & NOTES:

- 1) THESE PLANS INDICATE APPROXIMATE LOCATIONS OF THE CONCRETE WALKS. CONTRACTOR IS TO STAKE CENTERLINE OF PROPOSED WALKS USING 1/2"x1/8" STAKES AT SPECIFIED ON CENTERS FOR APPROVAL PRIOR TO ANY CONSTRUCTION PROCEDURE. OWNER AND LANDSCAPE ARCHITECT SHALL MAKE FINAL APPROVAL AND/OR LAYOUT OF WALK IN THE FIELD PRIOR TO PLACEMENT OF FORMS BY CONTRACTOR.
- 2) FINISH ELEVATION OF WALK SYSTEM IS TO FOLLOW EXISTING CONTOURS OF SURROUNDING AREA UNLESS OTHERWISE NOTED. SET ELEVATIONS OF WALKS FOR POSITIVE DRAINAGE. THE WALK SYSTEM IS NOT TO IMPED EXISTING SURFACE DRAINAGE IN ANY MANNER.
- 3) CONTRACTOR'S WALKS AND WHEELCHAIR RAMP WORK SHALL MEET THE TITLE II PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT FOR PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES. SIDEWALK RUNNING SLOPES NOT TO EXCEED 1:20, CROSS SLOPES NOT TO EXCEED 1:50.
- 4) CONTRACTOR SHALL USE FIBERGLASS OR THIN WOOD FORMS TO CREATE SMOOTH AND UNIFORM CURVES ON MEANDERING SIDEWALKS UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
- 5) CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI. CONCRETE AND REINFORCING SHALL MEET ALL OTHER APPLICABLE CRITERIA AS PER DETAILS.00 & NOTES.
- 6) CONTRACTOR TO TIE ALL SIDEWALKS INTO EXISTING WALKS WITH A SMOOTH TRANSITION AND TO MATCH EXISTING WALKS IN COLOR AND FINISH. DOWEL INTO EXISTING WALK BY INSTALLING 12" LONG, #5 REBAR DOWEL.00, AT 12" O.C. DRILL INTO EXISTING CONCRETE WALK AND EPOXY #5 REBAR IN PLACE.
- 7) CONSTRUCTION JOINT LAYOUT AT WALK INTERSECTIONS HAS BEEN SHOWN DIAGRAMMATICALLY ON PLANS AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO POURING. WALKS SHALL BE POURED IN SECTIONS WITH NO CORNERS LESS THAN 45 DEGREES TO AVOID FUTURE CRACKING.
- 8) ALL UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO DIGGING.
- 9) NOTE: CONTRACTOR IS RESPONSIBLE FOR PROTECTING HIS WORK FROM VANDALISM OR GRAFFITI PRIOR TO CURING. CONTRACTOR SHALL REPLACE AS NECESSARY ANY SECTIONS OF DAMAGED WALK AT NO ADDITIONAL COST TO THE OWNER.
- 10) ALL RUTS, DEPRESSIONS AND OTHER DAMAGE TO EXISTING GRADE AS A RESULT OF WALK CONSTRUCTION IS TO BE FILLED, REGRADED AND RE-SEEDED BY CONTRACTOR TO SATISFACTION OF LANDSCAPE ARCHITECT.
- 11) ANY DAMAGE TO EXISTING IRRIGATION SYSTEM IS TO BE REPAIRED (USING SAME TYPE OF EXISTING IRRIGATION PRODUCT) BY CONTRACTOR TO SATISFACTION OF THE LANDSCAPE ARCHITECT.



A

Landscape Plan

Scale: 1" = 10'



RESERVE AT HICKORY CREEK
Town of Hickory Creek
Denton County, Texas

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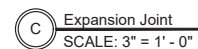
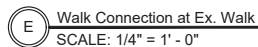
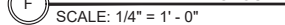
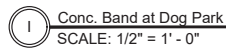
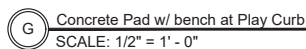
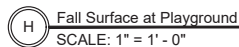
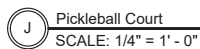
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L1.02

Hardscape Layout



Project #:
Date: 2.10.23
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Revisions:
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L1.03
Hardscape Detail:



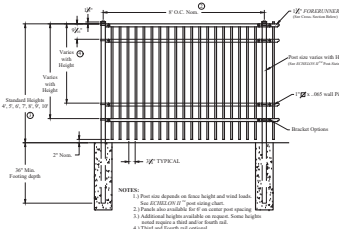
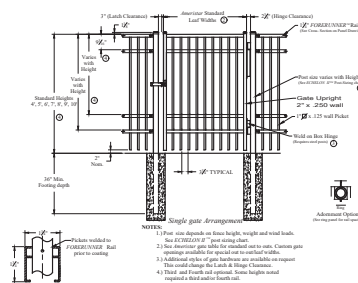
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G Dog Waste Station
SCALE: N.T.S.

E AMERISTAR STEEL FENCE GATE
SCALE: N.T.S.

D AMERISTAR STEEL FENCE
SCALE: N.T.S.



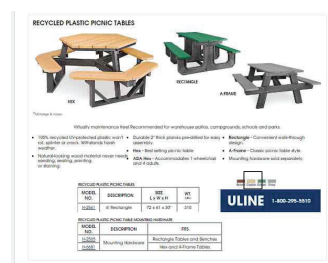
HIP FLEX



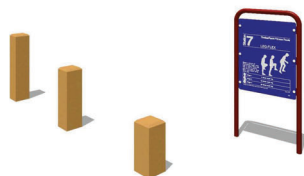
BODY PULL UP



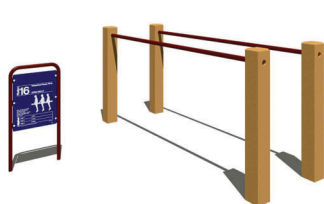
HEEL FLEX



C Table
SCALE: N.T.S.



LEG FLEX



ARM WALK

F Workout Stations
SCALE: N.T.S.

MANUFACTURER — Workout Stations

Timberform Fitness Route
Hip Flex Model No. 5117 Timberform Station 17
Body-Pull Model No. 5110 Timberform Station 10
Heel Flex Model No. 5101 Timberform Station 1
Leg Flex Model No. 5107 Timberform Station 7
Arm Walk Model No. 5116 Timberform Station 16

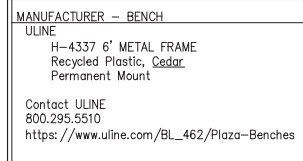
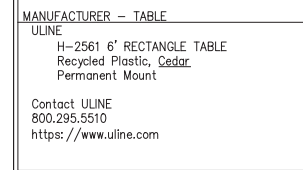
Contact Paul E. Allen Co. Inc.
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https://www.pauleallen.com



B Bench
SCALE: N.T.S.



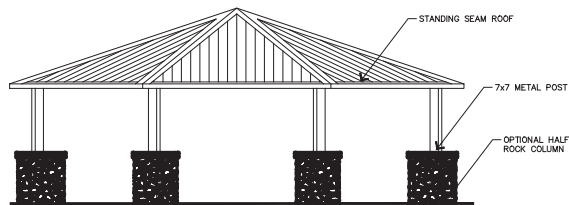
A Trash Receptacle with Bonnet Lid H-5154
SCALE: N.T.S.



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Denton County, Texas



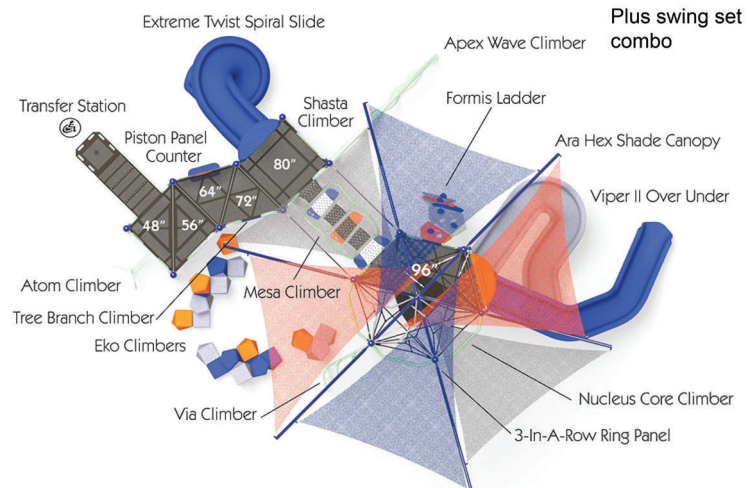
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(B) Octagon Shade Pavilion
SCALE: N.T.S.



(B) Octagon Shade Pavilion
SCALE: N.T.S.



(A) Burke Playground NU-3191
SCALE: N.T.S.

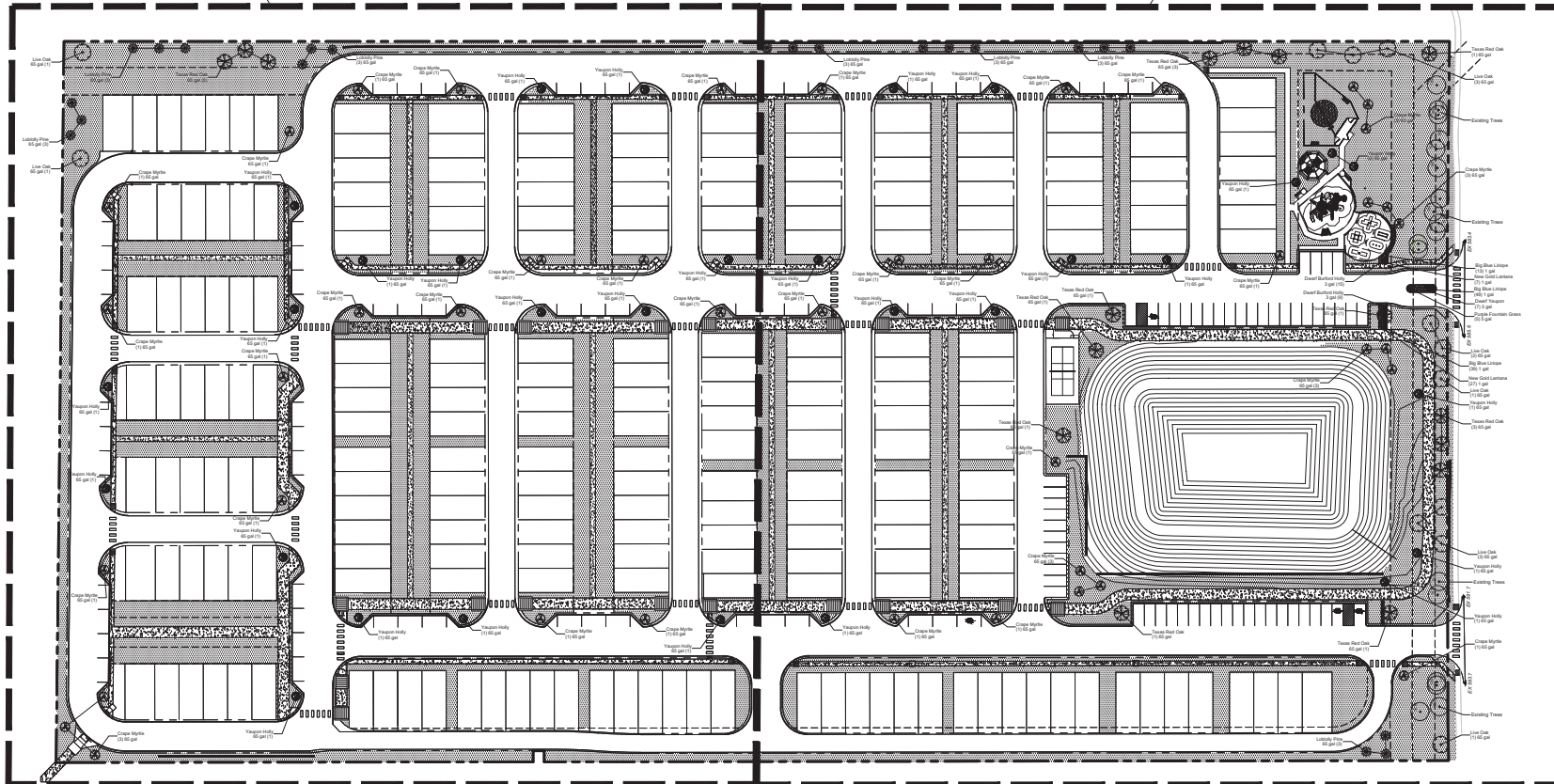
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Town of Hickory Creek
Denton County, Texas



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RE: A/L2.03

RE: A/L2.02



RESERVE AT HICKORY CREEK
Town of Hickory Creek
Denton County, Texas

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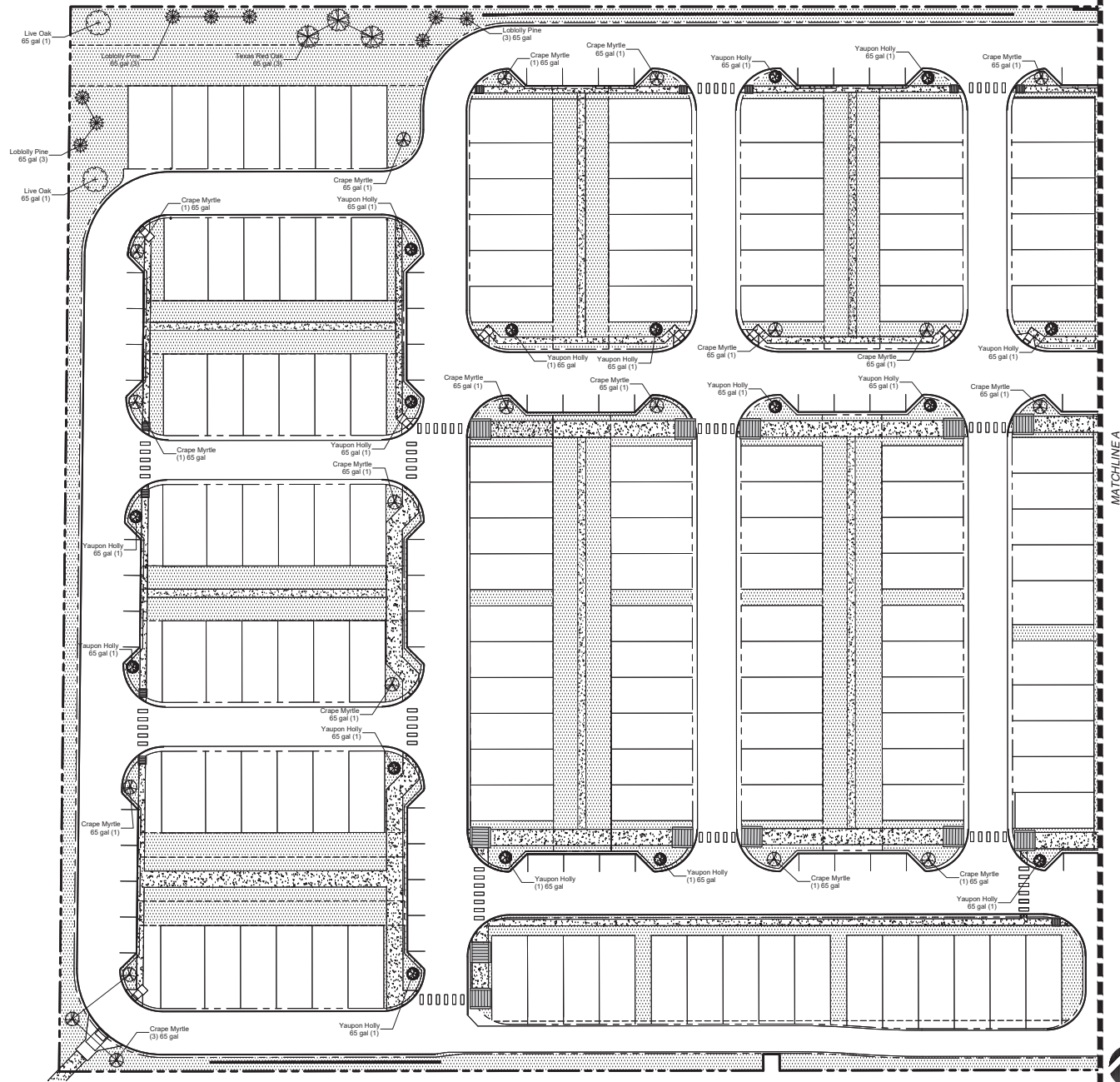
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L2.01
Planting Plan

A Landscape Plan
Scale: 1" = 50'





RESERVE AT HICKORY CREEK
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Planting Plan

A Landscape Plan
Scale: 1" = 30'

LANDSCAPE NOTES

GENERAL

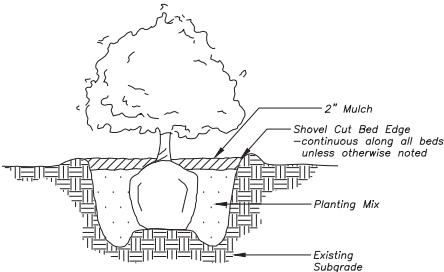
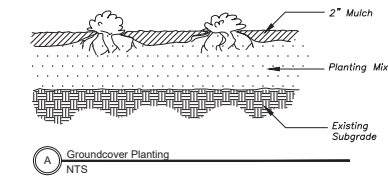
- Contractor shall obtain all required permits prior to starting construction.
- Contractor shall comply with all applicable codes, laws, and regulations required by any authorities having jurisdiction over project site.
- All underground utility locations shall be verified by Contractor prior to any site excavation.
- The Contractor shall verify all material measurements and plant quantities.
- Contractor to attend pre-installation meeting and participate in an installation meeting with Owner's Representative.

MATERIALS

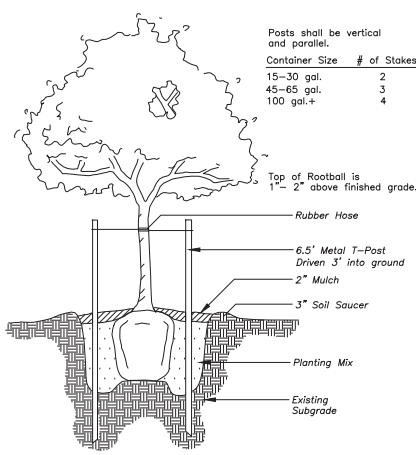
- TOPSOIL**
Provide topsoil which is fertile, friable, natural loam, surface soil, free of subsoil, clay lumps, brush, weeds and other litter, and free of roots, stumps, stones larger than 2 inches in any dimension and other extraneous or toxic matter harmful to plant growth.
- PLANTING BEDS**
a. All Planting bed areas shall be prepared with 6" depth planting mix consisting of: 50% topsoil, 25% compost, 25% sand (not bank sand); 6" planting mix shall be tilled into existing soil.
b. All planting beds shall have continuous shovel-cut bed edge when steel edge is not specified.
- PLANT MATERIAL**
a. Planting shall be of normal growth, free of disease, insects, insect eggs and larva, and have strong root systems. Plant material shall be typical for variety and species and conform to size specified in plant list.
b. All plant material shall meet or exceed the size specified in the plant list.
- MULCH**
All mulch shall be shredded hardwood mulch.
- TREE STAKING**
a. Hose shall be 2 ply reinforced rubber hose.
b. Wire shall be no.10 or 12 gauge twisted taunt with one wire per hose.
c. Stakes shall be metal.

PLANT INSTALLATION

- Excavation for container trees shall be twice the width of the container (with angled sides) and the depth shall be the container depth.
- Set plants at the same relationship to finish grade as they bore to the ground from which they were in their container.
- Utilities, rock, tree roots, or obstructions encountered in site inspection or excavation of tree or shrub pits shall be brought to the attention of the Owner. Proceed with work after alternate planting locations have been designated or approved by the Owner's Representative.
- When plant pits have been backfilled approximately $\frac{2}{3}$ full with soil mixture, water thoroughly before installing remaining soil, allowing soil to settle. After water has been absorbed, fill pit with soil mix.
- Form an earth saucer around the perimeter of plant pits.
- Water all plant material immediately after planting.
- Mulch all plant material 2"-3" deep after planting.
- When staking plants, plants shall stand plumb after staking and all trees shall be staked within 24 hours of planting. Stakes shall be driven into ground outside of excavated hole.



B Shrub Planting
NTS



C Tree Planting
NTS

GRASS PLANTING

SURFACE PREPARATION

- Clean all areas of weeds and debris prior to any soil preparation or grading work.
- Remove all core plugs, debris, roots, rocks, clods, and construction debris and dispose off site.

SOLID SOD:

- See plant list for type of sod to be used.
- Add 1" minimum, or as-needed, of final grade material as a setting bed for sod.
- Sod areas to be graded to achieve proper final elevations and allowing smooth drainage.
- Grades to be approved before sodding.
- Lay sod in rows with staggered joints. Butt sections tightly without overlapping or leaving gaps between sections. Joints to be sand filled.
- Roll sodded areas in two directions perpendicular to each other.
- Repair and re-roll areas with lump, depressions, or other irregularities.
- Water sodded areas immediately after planting to provide minimum of four (4) inches of penetration into soil below sod.

CLEANUP

- The site shall be kept as clean as possible at all times.
- As planting operations proceed, all rope, wire, empty containers, rocks, clods and any other debris shall not be allowed to accumulate and should be removed daily.
- After planting operations are complete, all paved surfaces shall be swept and washed if necessary.

MAINTENANCE

- Contractor shall begin maintenance upon starting any portion of work and shall continue 60 days beyond Substantial Completion.
- Maintenance of all new planting shall consist of watering, weeding, mulching, tightening and repairing guys, resetting plants to proper grades or upright position, and keeping plants free of insects and disease.
- New lawn maintenance shall consist of mowing, watering, weeding, repairing all erosion, and reseeding as necessary to establish a uniform stand of the specified grass.

WARRANTY

- Contractor shall warrant that all trees, shrubs, and groundcover planted under this contract will remain healthy and alive for one (1) year after Substantial Completion.

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	Ilex vomitoria / Yaupon Holly	65 gal	3"Cal	30
	Lagerstroemia indica / Crape Myrtle	65 gal	3"Cal	42
	Pinus taeda / Loblolly Pine	65 gal	3"Cal	21
	Quercus texana / Texas Red Oak	65 gal	3"Cal	16
	Quercus virginiana / Live Oak	65 gal	3"Cal	12
SHRUBS	BOTANICAL / COMMON NAME	SIZE	HT.	QTY
	Ilex cornuta 'Burfordii' Nana' / Dwarf Burford Holly	3 gal		32
	Ilex vomitoria 'Nana' / Dwarf Yaupon	3 gal		7
	Lantana x 'New Gold' / New Gold Lantana	1 gal		34
	Liriope muscari 'Big Blue' / Big Blue Liriope	1 gal		100
	Pennisetum setaceum 'Rubrum' / Purple Fountain Grass	5 gal		5
	Existing Tree			
	Common Bermuda Solid Sod			

Tree Requirements:

Site = 18.9 acres. 10 trees required per acre

19 x 10 = 190 trees

Tree credits: 71

190 - 71 = 119 trees required PROVIDED: 121

EXISTING TREE CREDITS

#	Caliper Size	Species	Credit
1019	7"	Eastern Red Cedar	3
1020	9"	Eastern Red Cedar	3
1021	9"	Eastern Red Cedar	3
1022	8"	Eastern Red Cedar	3
1027	9"	Eastern Red Cedar	3
1029	9"	Eastern Red Cedar	3
1045	26"	Post Oak	8
1046	7"	Eastern Red Cedar	3
1047	23"	Post Oak	6
1048	27"	Post Oak	8
1049	10"	Eastern Red Cedar	4
1051	8"	Eastern Red Cedar	3
1052	6"	Eastern Red Cedar	3
1053	9"	Eastern Red Cedar	3
1054	8"	Eastern Red Cedar	3
1055	8"	Eastern Red Cedar	3
1056	7"	Eastern Red Cedar	3
1104	23"	Post Oak	6

TOTAL CREDITS 71

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Town of Hickory Creek
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YAUPON HOLLY TREE



CREPE MYRTLE



LOBLOLLY PINE



TEXAS RED OAK



LIVE OAK



BIG BLUE LIRIOPE



DWARF BURFORD
HOLLY



PURPLE FOUNTAIN
GRASS



DWARF YAUPON



LANTANA

RESERVE AT HICKORY CREEK
Town of Hickory Creek
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Material Examples