



**NOTICE OF
SPECIAL MEETING OF THE PLANNING AND ZONING COMMISSION
HICKORY CREEK TOWN HALL
1075 RONALD REAGAN AVENUE, HICKORY CREEK, TEXAS 75065
TUESDAY, MAY 05, 2026, 6:00 PM**

AGENDA

Call to Order

Roll Call

Pledge of Allegiance to the U.S. And Texas Flags

Invocation

Items of Community Interest

Pursuant to Texas Government Code Section 551.0415 the Planning and Zoning Commission may report on the following: expressions of thanks, congratulations, or condolence; an honorary or salutary recognition of an individual; a reminder about an upcoming event organized or sponsored by the governing body; and announcements involving an imminent threat to the public health and safety of people in the municipality or county that has arisen after the posting of the agenda.

Public Comment

This item allows the public an opportunity to address the Planning and Zoning Commission on both agenda and non-agenda items. To comply with the provisions of the Open Meetings Act, the commission cannot discuss or take action on items brought before them not posted on the agenda. Please complete a request if you wish to address the commission. Comments will be limited to three minutes total for any and all items being presented. Public Comment is for information only. No charges and/or complaints will be heard against any elected official, board member, the Town, or employee of the Town that are prohibited by law.

Consent Agenda

Items on the Consent Agenda are considered to be self-explanatory and will be enacted with one motion. No separate discussion of these items will occur unless so requested by at least one member of the Planning and Zoning Commission.

1. February 17, 2026 Meeting Minutes

Regular Agenda

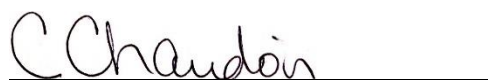
2. Discuss, consider and act on a final plat for the 104 Carlisle-Hickory Creek Addition, being 3.164 acres of land situated in the Lowry Cobb Survey, Abstract No. 284, Town of Hickory Creek, Denton County, Texas. The property is located in the 700 block of S. Lake Dallas Drive.
3. Discuss, consider and act on a final plat of Lots 2A & 2B, Block A, Lennon II Addition, being 1.258 acres out of the M.E.P. and P.R.R. Survey, Abstract No. 915, Town of Hickory Creek, Denton County, Texas. The property is located in the 3000 block of FM 2181.
4. Discuss, consider and act on a site and landscape plan for Lot 2B, Block A, Lennon II Addition, being 0.644 acres out of the M.E.P. and P.R.R. Survey, Abstract No. 915, Town of Hickory Creek, Denton County, Texas. The property is located in the 3080 block of FM 2181.
5. Conduct a Public Hearing and discuss, consider and act on a request regarding an ordinance for the issuance of a Special Use Permit requested by Take 5 Properties SPV LLC. on behalf of Victory at Hickory Creek, LLC to allow oil change, windshield wiper, air filter services and other ancillary fluid exchanges at 3080 FM 2181, otherwise known as Lennon II Addition, Blk A, Lot 2A, Town of Hickory Creek, Denton County, Texas.

Adjournment

The Planning and Zoning Commission reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by the Texas Government Code, Chapter 551.

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to the meeting. Please contact Town Hall at 940-497-2528 or by fax 940-497-3531 so that appropriate arrangements can be made.

I, Chris Chaudoir, do hereby certify, that this meeting notice was posted on the bulletin board at Town Hall, 1075 Ronald Reagan Avenue, Hickory Creek, Texas on April 29, 2026 at 4:00 p.m..



Chris Chaudoir
Town of Hickory Creek

**REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION
HICKORY CREEK TOWN HALL
1075 RONALD REAGAN, HICKORY CREEK, TEXAS
TUESDAY, FEBRUARY 17, 2026**

MINUTES

Call to Order

Meeting called to order at 6:00 p.m. by Chairman May.

Roll Call

PRESENT

Chairman Tim May

Vice Chairman David Gilmore

Commissioner Dustin Jensen in at 6:05

Commissioner Brenda Kihl in at 6:25

Commissioner Tony Martinez

Commissioner Bill Nippert

ABSENT

Commissioner Collin Johnson

ALSO PRESENT

Kaitlyn Cerney, Town Attorney

Chris Chaudoir, Administrative Assistant

Pledge of Allegiance to the U.S. And Texas Flags

Pledge of Allegiance to the U.S. And Texas Flags led by Chairman May.

Invocation

Invocation given by Commissioner Martinez.

Items of Community Interest

Early Voting location and dates discussed.

Public Comment

No Public Comment

Consent Agenda

1. January 20, 2026 Meeting Minutes

Motion to accept the minutes as submitted made by Vice Chairman Gilmore, Seconded by Commissioner Nippert.

Voting Yea: Vice Chairman Gilmore, Commissioner Jensen, Commissioner Martinez, Commissioner Nippert. Motion passed unanimously.

Regular Agenda

2. Discuss, consider and act on a recommendation for a Site and Landscape Plan for the 104 Carlisle - Hickory Creek Addition, being 3.164 acres of land situated in the Lowry Cobb Survey, Abstract No. 284, Town of Hickory Creek, Denton County, Texas. The property is located in the 700 block of S Lake Dallas Drive.

Chairman May discussed the history of the project, trees to be removed per the landscape plan, tree mitigation, and drainage to DCTA property.

The property is the "front door" to Hickory Creek and there was discussion concerning the architectural aesthetics in the elevations of the Special Use Permit presentations. Ms. Chaudoir stated she remembered the original submittal having pictures and renderings but did not remember the 2024 submittal including them. The Special Use Permit was for the zoning approval, but the site plan and any elevations were more concept and might change. Chairman May stated staff should be able to "leverage" the submittal and require the project to be built to the original SUP if it had not been amended. If that is emphasized in the recommendation motion, staff and Council could look into whether the applicant is obligated to honor the conditions of the SUP. Chairman May stated, once the motion was approved, plan submittals could be denied as an administrative denial in the building permit process. Ms. Chaudoir said, per current state law, she had to accept any building material approved by the building code. She also confirmed that the use approved by the SUP was encumbered to the land until the use was changed. Chairman May stated any conditions of the SUP, including the rendering, were tied to the property by the approval. Ms. Cerney confirmed that honoring the original conditions of the Special Use Permit could be included in the motion. Ms. Chaudoir pulled up the packet from June 18, 2024 and stated that it did not include any architectural renderings, only an application and site plan although the previous application may have included more detail.

A statement was made that the site plan may have changed. The current site plan may have more parking than the SUP submittal so there had been a modification. It was confirmed that Halff had reviewed and recommended approval of the site plan presented. Ms Chaudoir stated the SUP use was previously approved, but the site drawing was more of a concept that could change through platting and other requirements. Chairman May stated the architectural and site plan presented differed from the approved Special Use Permit.

Motion to recommend approval subject to and conditioned upon full compliance with all terms and conditions otherwise provided for in the original approved SUP and completion of the drainage study made by Vice Chairman Gilmore, Seconded by Commissioner Nippert. Voting Yea: Vice Chairman Gilmore, Commissioner Kihl, Commissioner Martinez, Commissioner Nippert.

Voting Abstaining: Commissioner Jensen. Motion passed.

Adjournment

Motion to adjourn made by Commissioner Jensen, Seconded by Vice Chairman Gilmore.

Voting Yea: Vice Chairman Gilmore, Commissioner Jensen, Commissioner Kihl, Commissioner Martinez, Commissioner Nippert. Motion passed unanimously.

Planning and Zoning Commission Regular Meeting

February 17, 2026

Page 3

Meeting adjourned at 6:36 p.m.

Approved:

Attest:

Tim May, Chairman
Planning and Zoning Commission

Chris Chaudoir, Administrative Assistant
Town of Hickory Creek



AGENDA INFORMATION SHEET

Project Name: 104 Carlisle – Hickory Creek Addition

Meeting Date: May 5, 2026

Agenda Item:

2. Discuss, consider and act on a recommendation for a Final Plat for the 104 Carlisle - Hickory Creek Addition, being 3.164 acres of land situated in the Lowry Cobb Survey, Abstract No. 284, Town of Hickory Creek, Denton County, Texas. The property is located in the 700 block of S Lake Dallas Drive.

Background:

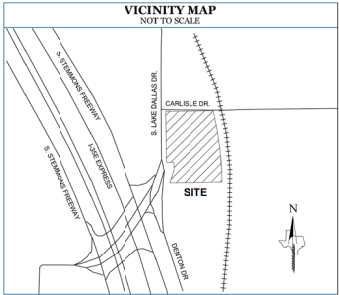
3 unplatted vacant lots at the corner of Lake Dallas Drive and Carlisle Drive, legally described as A0284A Cobb, Tracts 55, 58, 1.621 acres, A0284A Cobb, Tract 56, 1.2436 acres, and A0284A Cobb, Tract 57(pt), .4468 acres, are being platted into 1 commercial lot. Zoning is C-1 with a Special Use Permit for sales and service of automobiles and watercraft approved June 24, 2024. Preliminary plat forwarded to Council in January for approval. Site and landscape plans approved February 17, 2026.

Updated plans submitted and Halff review comments received 2/10/26.

Date	Request	Meeting	Result
6/18/24	SUP for P Bosco	PnZ	Approval recommended
6/24/24	SUP for P Bosco	Town Council	Approved
1/20/26	Preliminary Plat	PnZ	Approval recommended pending Halff comments
1/20/26	Site & Landscape plans	PnZ	Tabled by Applicant
1/29/26	Preliminary Plat	Council	Approved
2/17/26	Site & Landscape plans	PnZ	Approval recommended pending Halff comments and compliance with SUP
2/23/26	Site & Landscape plans	Council	Approved
5/5/26	Final Plat	PnZ	
5/11/26	Final Plat	Council	

Summary:

April 17, 2026 Halff letter recommends approval contingent on acceptance of the Stormwater Management Plan and the Drainage Study/Downstream Assessment.



- GENERAL NOTES**
- The purpose of this plat is to create one (1) lot of record from an unplatted tract of land and to dedicate easements.
 - This property is located in Non-shaded Zone "X" as scaled from the F.E.M.A. Flood Insurance Rate Map dated April 18, 2011 and is located in Community Number 481150 as shown on Map Number 48121 C0535G.
 - The bearings and grid coordinates shown on this plat are based on GPS observations utilizing the AirTran RTK Network, North American Datum of 1983 (Adjustment Realization 2011).
 - Selling a portion of this addition by metes and bounds is a violation of Town Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
 - Interior property corners, if present, are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.

TOWN APPROVAL BLOCK

Recommended for Approval _____ Date _____

Chairman, Planning & Zoning Commission
Town of Hickory Creek, Texas

Approved For Preparation of Final Plat _____ Date _____

Mayor
Town of Hickory Creek, Texas

TOWN APPROVAL BLOCK

The undersigned, the town secretary of Town of Hickory Creek, Texas, hereby certifies that the foregoing final plat of the 164 CARLISLE - HICKORY CREEK ADDITION to the Town of Hickory Creek was submitted to the town council on the _____ of _____, 20____, and the council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places, and water and sewer lines, as shown and set forth in and upon said plat, and said council further authorized the Mayor to execute the acceptance thereof by signing his name as hereinafter subscribed.

Witness my hand this _____ day of _____, A.D., 20____.

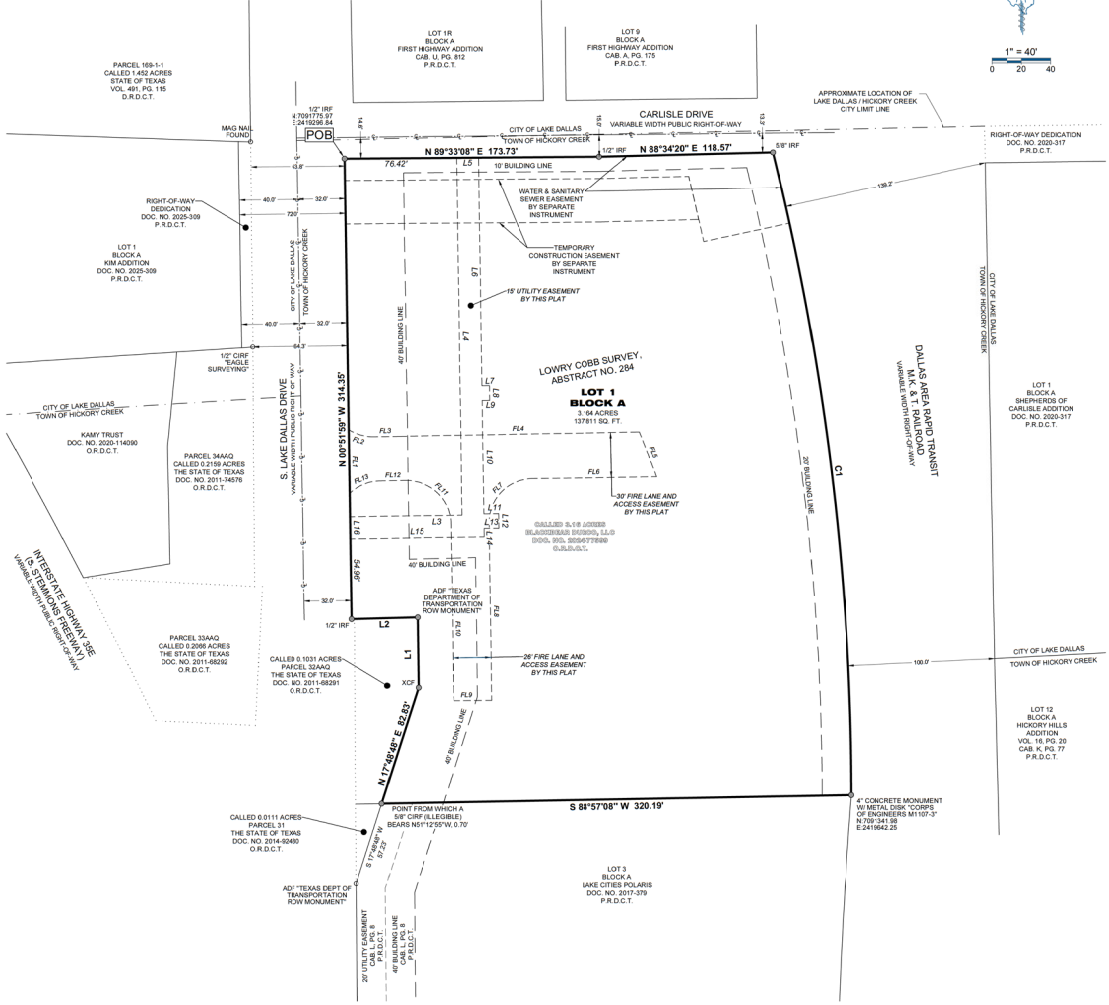
Town Secretary, Town of Hickory Creek, Texas

SURVEYOR
Eagle Surveying, LLC
Contact: Michael Feschak
222 S. Elm Street, Suite: 200
Denton, TX 76201
(840) 222-3009

OWNER/DEVELOPER
Blackbear Durco, LLC
Contact: Paul Bosco Jr
4500 Mabogary Lane
Copper Canyon, TX 75077
(972) 441-7206

ENGINEER
EJ Environmental
Contact: Kevin Ware
560 Moseley Road
Cross Roads, TX 76227
(840) 387-0805

Eagle Surveying, LLC
222 South Elm Street
Suite: 200
Denton, TX 76201
940.222.3009
www.eaglesurveying.com
TX Firm # 10194177



LEGEND

- IRF = IRON ROD FOUND
- CRF = CAPPED IRON ROD FOUND
- XOF = "X" CUT FOUND
- ADF = ALUMINUM DISK FOUND
- POB = POINT OF BEGINNING
- SO IT = SQUARE FEET
- DOC NO. = DOCUMENT NUMBER
- PR.D.C.T. = PLAT RECORDS
- L14 = S. 00°5'15"99" E. DENNISON COUNTY, TEXAS
- O.R.D.C.T. = OFFICIAL RECORDS, DENNISON COUNTY, TEXAS
- = SUBJECT PLAT BOUNDARY
- - - = ADJACENT PROPERTY LINE

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 00°46'49" W	47.95
L2	S 88°29'58" W	45.22
L3	N 89°08'01" E	76.42
L4	N 00°51'59" W	243.83
L6	N 89°33'05" E	15.07
L8	S 00°5'15"99" E	165.92
L7	N 89°08'01" E	5.07
L8	S 00°5'15"99" E	10.07
L9	S 89°08'01" W	5.07
L10	S 00°51'59" W	77.17
L11	N 89°08'01" E	10.07
L12	S 00°51'59" E	10.07
L13	S 89°08'01" W	10.07
L14	S 00°51'59" E	5.63
L15	S 89°08'01" W	91.42
L16	N 00°51'59" W	15.07

LINE TABLE

LINE	BEARING	DISTANCE
FL1	N 00°53'18" W	43.34
FL3	N 89°08'12" E	17.22
FL4	N 88°57'34" E	164.50
FL5	S 21°13'39" E	32.53
FL6	S 89°08'11" W	84.07
FL8	S 00°51'13" E	121.45
FL9	S 89°14'29" W	26.00
FL10	N 00°52'40" W	120.92
FL12	S 89°08'11" W	18.98

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
FL2	30.65'	17.31'	32°28'17"	S 73°27'39" E	17.08'
FL7	30.00'	46.67'	89°09'01"	S 44°34'00" W	42.10'
FL11	30.00'	77.15'	90°03'31"	N 45°50'15" W	42.40'
FL13	30.00'	22.78'	43°28'30"	S 67°23'46" W	22.22'

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1860.00'	442.65'	013°38'05"	S 06°54'48" E	441.60'



OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DENTON §

WHEREAS, BLACKBEAR DURCO, LLC is the owner of a 3.164 acre tract of land out of L.L. Cobb Survey, Abstract No. 284, situated in the Town of Hickory Creek, Denton County, Texas, being a part of a called 3.16 acre tract of land conveyed to said Blackbear Durco, LLC by deed of record in Document Number 2001-233756 of the Official Records of Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found at the intersection of the east right-of-way line of S. Lake Dallas Drive and the south right-of-way line of Carlisle Drive, being the northwest corner of said 3.16 acre tract;

THENCE, along the south right-of-way line of Carlisle Drive and the common north line of said 3.16 acre tract, the following two (2) courses and distances:

- N89°33'08"E, a distance of 173.73 feet to a 1/2 inch iron rod found;
- N88°34'20"E, a distance of 118.57 feet to a 5/8 inch iron rod found at the intersection of the south right-of-way line of Carlisle Drive and the west M.K. & T. Railroad right-of-way line, being the northeast corner of said 3.16 acre tract.

THENCE, along the west M.K. & T. Railroad right-of-way line and the common east line of said 3.16 acre tract, along a non-tangent curve to the right, having a radius of 1,860.00 feet, a chord bearing of S06°54'48"E, a chord length of 441.60 feet, a delta angle of 13°38'05", an arc length of 442.65 feet to a 4 inch square concrete monument with metal disk stamped "CORPUS OF ENGINEERS M1107-3" found at the northeast corner of Lot 3, Block A, of the Lake Dallas Drive, a subdivision of record in Document Number 2011-1715 of the Plat Record of Denton County, Texas, being the southeast corner of said 3.16 acre tract.

THENCE, S88°57'06"W, along the north line of said Lot 3 and the common south line of said 3.16 acre tract, a distance of 520.19 feet to a point in the east right-of-way line of S. Lake Dallas Drive, being the northwest corner of said Lot 3, also being the northeast corner of a called Parcel 31 covered by The State of Texas by deed of record in Document Number 2014-24280 of said Official Records, also being the southeast corner of a called Parcel 32A40 covered by The State of Texas by deed of record in Document Number 2011-45291 of said Official Records, and being the southwest corner of said 3.16 acre tract, from which a 5/8 inch iron rod with illegible red plastic cap found bears 451°12'55"W, a distance of 0.70 feet;

THENCE, along the east right-of-way line of S. Lake Dallas Drive and the common west line of said 3.16 acre tract, the following four (4) courses and distances:

- N17°48'48"E, a distance of 82.83 feet to an "X" out found;
- N00°46'49"W, a distance of 47.95 feet to a 5/8 inch iron rod with aluminum disk stamped "TEXAS DEPARTMENT OF TRANSPORTATION ROW MONUMENT" found;
- S88°29'58"W, a distance of 45.22 feet to the POINT OF BEGINNING;
- N00°51'59"W, a distance of 314.35 feet to the POINT OF BEGINNING, and containing an area of 3.164 acres (137,811 square feet) of land.

OWNER'S DEDICATION

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, BLACKBEAR DURCO, LLC, do hereby adopt this plat designating the heretofore described property as 164 CARLISLE - HICKORY CREEK ADDITION, an addition to the Town of Hickory Creek, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets and easements shown thereon. The streets are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the Town of Hickory Creek. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public and Town of Hickory Creek's use thereof. The Town of Hickory Creek and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The Town of Hickory Creek and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, painting, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all planning ordinances, rules, regulations and resolutions of the Town of Hickory Creek, Texas

WITNESS, my hand, this _____ day of _____, 20____.

OWNER: BLACKBEAR DURCO, LLC

PRELIMINARY

This document shall not be recorded for any purpose and shall not be used of view or rely upon as a final survey document.

Clare McCanniles, R.P.L.S. # 7036 Date _____

STATE OF TEXAS §
COUNTY OF DENTON §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20____.

Notary Public in and for the State of Texas

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
COUNTY OF DENTON §

That I, CALER MCCANNILES, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Development Ordinance of the Town of Hickory Creek, Texas.

PRELIMINARY

This document shall not be recorded for any purpose and shall not be used of view or rely upon as a final survey document.

Clare McCanniles, R.P.L.S. # 7036 Date _____

STATE OF TEXAS §
COUNTY OF DENTON §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared CALER MCCANNILES, Registered Professional Land Surveyor, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 20____.

Notary Public in and for the State of Texas

FINAL PLAT
104 CARLISLE - HICKORY CREEK ADDITION
LOT 1, BLOCK A

BEING 3.164 ACRES OF LAND SITUATED IN THE LOWRY COBB SURVEY, ABSTRACT NO. 284 TOWN OF HICKORY CREEK, DENTON COUNTY, TEXAS



April 17, 2026
AVO 37638.200

Ms. Chris Chaudoir
Town of Hickory Creek
1075 Ronald Reagan Avenue
Hickory Creek, TX 75065

**Re: 104 Carlisle Drive (Lot 1, Block A – Hickory Creek Addition)
Final Plat
2nd Review**

Dear Ms. Chaudoir:

Halff received a request from the Town of Hickory Creek to review a Final Plat application for 104 Carlisle Drive, Lot 1, Block A Hickory Creek Addition on March 16, 2026. The surveyor is Eagle Surveying, LLC and the engineer is KJ Environmental. The owner is Blackbear DurCo, LLC.

2nd Submittal Received: April 13, 2026

Halff has reviewed the Final Plat and recommends Town Council approval of the Final Plat. Please note the Preliminary Plat, Site Plan and Landscape Plane were approved as of February 23, 2026. Please also note the Drainage Study/Downstream Assessment was reviewed and comments provided by separate letter on April 7, 2026 and is pending approval. Acceptance of Final Plat should be contingent upon acceptance of the Stormwater Management Plan and Drainage Study/Downstream Assessment.

General

1. Refer to attached Town checklist markups for additional comments.
1st Review Response: Revised
2nd Review: All markups/comments addressed.
2. Refer to attached plat markup for all additional comments.
1st Review Response: Revised
2nd Review: All markups/comments addressed.
3. Please revise “City” to “Town” for all mentions of Hickory Creek throughout plat descriptions and labels.
1st Review Response: Revised
2nd Review: Town now shown.
4. Please address comments and markups on the attached markups and provide annotated responses.
1st Review Response: Revised
2nd Review: Response Letter and Annotated Markups provided.

Final Plat

1. Please revise minimum building setback lines for side lot to 10 feet per Town Zoning Ordinance requirements and zoning designation for corner C-1 lots. (Chapter 14, Article XIII, Section 4.2.a)
1st Review Response: Revised
2nd Review: Building Setback Line has been updated, comment addressed.
2. Please coordinate with Lake Cities Municipal Utility Authority (LCMUA) on the inclusion of future, by separate instrument, water and wastewater easements proposed on the northeast corner of the property, as needed.
1st Review Response: Revised
2nd Review: LCMUA easements included, comment addressed.

The comments provided herein are based on available information provided to Halff by the Town of Hickory Creek and the private development owner/engineer and are a 3rd party review of the plat/plans. The review provided is in conformance with the Town of Hickory Creek's set standards and guidelines on engineering design and ordinances at the time of the review. The Surveyor or Engineer of Record for the applicable project/design, not Halff as the 3rd party reviewer, is ultimately responsible for the plat/plans and impacts before, during and after construction.

Sincerely,

HALFF

TBPELS Engineering Firm No. 312



Kevin Gronwaldt, PE, LGPP
Consulting Engineer for the Town of Hickory Creek

C: Kristi Rogers – Town Secretary
John Smith – Town Manager

Attachment: Town Checklist markup
Comment Response Letter and Annotated Markups
Final Plat



AGENDA INFORMATION SHEET

Project Name: Lots 2A & 2B, block A, Lennon II Addition

Meeting Date: May 5, 2026

Agenda Item: 3

Discuss, consider and act on a final plat of Lots 2A & 2B, Block A, Lennon II Addition, being 1.258 acres out of the M.E.P. and P.R.R. Survey, Abstract No. 915, Town of Hickory Creek, Denton County, Texas. The property is located in the 3000 block of FM 2181.

Background: Lot 2 of the preliminary Lennon II Addition plat, approved August 5, 2024, is proposed to be divided into Lots 2A & 2B for individual commercial development. Lennon II Addition is zoned C-1 Commercial per ordinance 2020-08-857, Lennon Family PD Ordinance.

Documents received April 1, 2026. Comments returned April 28, 2026

Previous Action/Review:

Date	Request	Meeting	Result
8/24/20	Lennon Family PD Ordinance	Town Council	Approved
7/24/24	Lennon II Preliminary Plat	PnZ	Approval recommended
8/5/24	Lennon II Preliminary Plat	Town Council	Approved
5/5/26	Final Plat Lot 2A & 2B	PnZ	
5/11/26	Final Plat Lot 2A & 2B	Town Council	

Summary:

Halff recommends approval contingent on comments being addressed.

Plat is being considered under Texas Local Government Code 212.009.



April 28, 2026
AVO 37638.200

Ms. Chris Chaudoir
Town of Hickory Creek
1075 Ronald Reagan Avenue
Hickory Creek, TX 75065

**Re: HTeaO Store #395 – 3080 FM 2181 (Lot 2B, Block A – Lennon II Addition)
Final Plat
1st Review**

Dear Ms. Chaudoir:

Halff received a request from the Town of Hickory Creek to review a Final Plat application for HTeaO located at 3080 FM 2181, Lot 2B, Block A Lennon II Addition on April 1, 2026, with corrected submittals received on April 13, 2026. The surveyor is Traverse Land Surveying, LLC and the engineer is Excel Engineering, LLC. The owner is Victory Real Estate Group.

Halff has reviewed the Final Plat recommends Town Council approval contingent upon addressing the following comments provided below. Please note the Stormwater Management Plan and Drainage/Downstream Assessment is under review by separate letter, and acceptance of Site Plan and Landscape Plan should be contingent upon acceptance of a Preliminary Stormwater Management Plan.

General

1. Refer to Town checklist markup for additional comments.
2. Refer to attached markups for all additional comments.
3. Please revise all callouts/labels of “City” to “Town” throughout.
4. Please address comments and markups on the attached markups and provide response letter and annotated responses on plans.

Preliminary Plat

1. Preliminary Plat was approved on July 25, 2024.

Final Plat

1. Please provide property information for the western Lot 1
2. Please provide basis for alterations from the approved preliminary plat and confirm replat will not be required by the Town.
3. With the subdivision of this lot by this plat, please verify there is no intention of lot-to-lot drainage occurring. All of Lot 2B drainage must be conveyed to a drainage system without any pass-through conveyance to Lot 2A, and vice versa.

The comments provided herein are based on available information provided to Halff by the Town of Hickory Creek and the private development owner/engineer and are a 3rd party review of the plat/plans. The review provided is in conformance with the Town of Hickory Creek's set standards and guidelines on engineering design and ordinances at the time of the review. The Surveyor or Engineer of Record for the applicable project/design, not Halff as the 3rd party reviewer, is ultimately responsible for the plat/plans and impacts before, during and after construction.

Sincerely,

HALFF

TBPELS Engineering Firm No. 312

A handwritten signature in black ink, appearing to read "Kevin Gronwaldt".

Kevin Gronwaldt, PE, LGPP
Consulting Engineer for the Town of Hickory Creek

C: Kristi Rogers – Town Secretary
John Smith – Town Administrator

Attachment: Development Application
Final Plat markup
Town Checklist markup



AGENDA INFORMATION SHEET

Project Name: Lot 2B, Block A, Site & Landscape

Meeting Date: May 5, 2026

Agenda Item: 4

Discuss, consider and act on a site and landscape plan for Lot 2B, Block A, Lennon II Addition, being 0.644 acres out of the M.E.P. and P.R.R. Survey, Abstract No. 915, Town of Hickory Creek, Denton County, Texas. The property is located in the 3080 block of FM 2181. Background: Lot 2 of the preliminary Lennon II plat approved August 5, 2024 is to be platted into Lots 2A & 2B for individual commercial development.

Background: Lot 2B to be developed into an independent lot containing a standalone Food Establishment with drive through service. Lot zoned as C-1 Commercial per ordinance 2020-08-857, Lennon Family PD Ordinance.

Lot 2A will be developed separately.

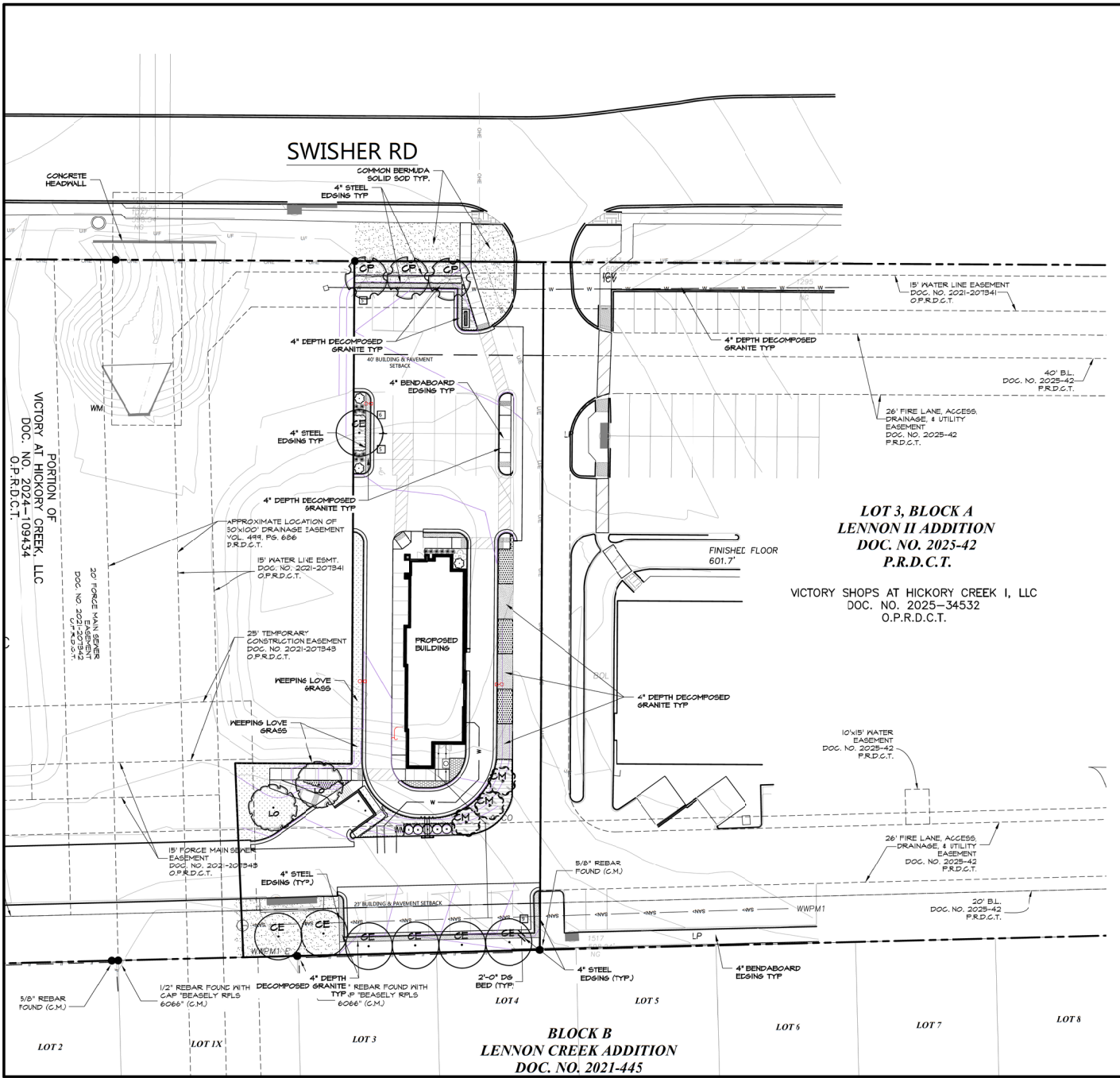
Documents received April 1, 2026. Review comments returned April 28, 2026

Previous Action/Review:

Date	Request	Meeting	Result
8/24/20	Lennon Family PD Ordinance	Town Council	Approved
8/5/24	Lennon II Preliminary Plat	Town Council	Approved
9/15/25	Zoning Ordinance Change	Town Council	Denied
5/5/26	Final Plat Lot 2A & 2B	PnZ	
5/11/26	Final Plat Lot 2 A & 2B Commercial	Town Council	
5/5/26	Site & Landscaping	PnZ	
5/11/26	Final Plat Lot 2	Town Council	

Summary:

Half recommends approval contingent on comments being addressed.



LANDSCAPE LEGEND

- LIVE OAK / QUERCUS VIRGINIANA (8" CALIPER)
- CHINESE PISTACHE / PISTACIA CHINENSIS (8" CALIPER)
- CEDAR ELM / ULMUS CRASSIFOLIA (8" CALIPER, MIN. 8' HEIGHT)
- MULTI-TRUNK RED ROCKET GRAPEMYRTLE / LAURUSTROKIA INDICA RED ROCKET (2" CALIPER, MIN. 6' HEIGHT)
- DWARF BURFORD HOLLY / ILEX CORNUTA BURFORDIANA (10 GALLON)
- TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS (7 GALLON)
- INDIAN HAWTHORNE / RAPHIDOLEPIS INDICA (7 GALLON)
- COLOR GUARD YUCCA / YUCCA FILAMENTOSA COLOR GUARD (8 GALLON)
- PURPLE PIXIE FRINGE FLOWER / LOROPETALUM CHINENSE PURPLE PIXIE (8 GALLON PLANTS SPACED 36" O.C.)
- SEASONAL COLOR (TYP) 4" POTS AT 8' O.C.
- MEXICAN FEATHER GRASS / STIPA TENNISIMMA (1 GALLON PLANTS SPACED 18" O.C.)
- DWARF FOUNTAIN GRASS / PENNISTEMUM ALOPECUROIDES HAMELII (1 GALLON PLANTS SPACED 24" O.C.)
- KEEPING LOVE GRASS / ERAGROSTIS CURVULA HYDROMULCH
- COMMON BERBERIDA GRASS SOLID SOD (MINIMUM 100% COVERAGE)
- 4" DEPTH DECOMPOSED GRANITE

IRRIGATION

1. ALL LANDSCAPE AREAS WILL INCLUDE AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
2. ALL PROPOSED TREES WILL BE EQUIPPED WITH BUBBLERS. ALL TREE BUBBLERS WILL BE ON A SEPARATE INDEPENDENT VALVE.
3. ALL LANDSCAPE AREAS LESS THAN 4'-0" IN WIDTH WILL BE ON INDEPENDENT ZONES.
4. IRRIGATION CONTROLLER WILL BE EQUIPPED WITH A RAIN / FREEZE SENSOR.

STUDIO DESIGN GROUP
 Studio 13 Design Group, P.L.L.C.
 116 W. Main Street
 Lewisville, Texas 75057
 469-432-1900
 TRAC Firm #08843

****WARNING****
 EXISTS UNDERGROUND UTILITIES. FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION OR EXCAVATION.

ACCESSIBILITY GENERAL NOTES

1. ALL ACCESSIBLE ROUTES AND RAMPS SHALL CONFORM TO THE TEXAS ACCESSIBILITY STANDARDS (T.A.S.)
2. PUBLIC ACCESSIBLE ROUTES SHALL NOT HAVE A RUNNING SLOPE GREATER THAN 1:20 AND CROSS SLOPE GREATER THAN 1:50.
3. RAMPS SHALL NOT HAVE A RUNNING SLOPE GREATER THAN 1:12 AND A CROSS SLOPE GREATER THAN 1:50.
4. HANDRAILS WILL BE REQUIRED IF RAMP IS LONGER THAN 72 INCHES WITH A MAXIMUM RUNNING SLOPE OF 1:12.

EXCEL
 Always a Better Plan
 100 Camelot Drive
 Fonic du Lac, WI 54955
 920-925-9900
 excelengineer.com

PROJECT INFORMATION

PROPOSED BUILDING FOR:
SWEETX TEA LLC - HTEAO #395
 3080 FM 2181 • HICKORY CREEK, TX 75065

STUDIO DESIGN GROUP
 March 30, 2025

NORTH

1" = 20' - 0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

JOB NUMBER
1

SHEET NUMBER
LS1.00

LANDSCAPE NOTES:

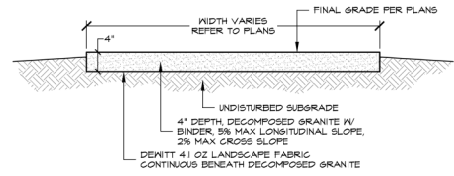
1. A TREE PERMIT IS REQUIRED FOR ALL REMOVAL OF ALL TREES, PROTECTED AND UNPROTECTED.
2. PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE TEXAS NURSERY & LANDSCAPE ASSOCIATION (TNA) SPECIFICATIONS, GRADES AND STANDARDS.
3. ALL PLANT SUBSTITUTIONS ARE SUBJECT TO CITY OF HICKORY CREEK APPROVAL AND MUST BE SPECIFIED ON THE APPROVED LANDSCAPE PLAN.
4. GROUND COVERS USED IN LIEU OF TURF GRASS MUST PROVIDE COMPLETE COVERAGE WITHIN ONE (1) YEAR OF PLANTING AND MAINTAIN ADEQUATE COVERAGE AS APPROVED BY THE CITY OF HICKORY CREEK.
5. TREES MUST BE PLANTED FOUR FEET (4') OR GREATER FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND/OR OTHER STRUCTURES. THE CITY OF HICKORY CREEK HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
6. TREE PITS SHALL HAVE ROUGHENED SIDES AND BE TWO TO THREE TIMES DEEPER THAN THE ROOT BALL OF THE TREE IN ORDER TO FACILITATE HEALTHY ROOT GROWTH.
7. TREES SHALL NOT BE PLANTED DEEPER THAN THE BASE OF THE TRUNK FLARE.
8. THE TREE PIT SHALL BE BACKFILLED WITH NATIVE TOPSOIL, FREE OF ROCK AND OTHER DEBRIS.
9. BURLAP, TWINE AND NINE BASKETS SHALL BE LOOSELY AND PULLED BACK FROM THE TRUNK OF TREE AS MUCH AS POSSIBLE.
10. TREES SHALL NOT BE WATERED TO EXCESS THAT RESULTS IN SOIL SATURATION. IF SOIL BECOMES SATURATED, THE WATERING SCHEDULE SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE AND ABSORPTION OF THE EXCESS WATER.
11. A 3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
12. NO PERSONS OR ENTITY MAY USE IMPROPER OR MALICIOUS MAINTENANCE OR PRUNING TECHNIQUES WHICH WOULD LEAD TO THE DEATH OF THE TREE. IMPROPER OR MALICIOUS TECHNIQUES INCLUDE, BUT ARE NOT LIMITED TO, TOPPING OR OTHER UNUSUAL TRIMMING OF TREES, TRIMMING TREES WITH A BACKSIC, OR USE OF FIRE OR POISON TO CAUSE THE DEATH OF A TREE.
13. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY OR APPROVED EQUAL TO A DEPTH OF 8" MINIMUM.
14. ALL FINISH BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD OR OTHER MULCH.
15. TREES OVERHANGING WALKS AND PARKING SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET. TREES OVERHANGING PUBLIC STREET PAVEMENT DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET.
16. A VISIBILITY TRIANGLE MUST BE PROVIDED AT ALL INTERSECTIONS. SHRUBS ARE NOT TO EXCEED 30 INCHES IN HEIGHT. TREES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET AT TIME OF PLANTING.
17. TREES PLANTED ON A SLOPE SHALL HAVE THE SOIL 5" IN AT THE AVERAGE GRADE OF SLOPE.
18. NO SHRUBS SHALL BE PERMITTED WITHIN AREAS LESS THAN 3 FEET IN WIDTH. ALL BEDS LESS THAN 3 FEET IN WIDTH SHALL BE GRASS, GROUNDCOVER OR SOME TYPE OF FIXED PAVING.
19. THE OWNER, TENANT, AND/OR THEIR AGENTS, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERMANENCE OF PLANT MATERIAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, AND OTHER ACTIVITIES NECESSARY FOR THE MAINTENANCE OF LANDSCAPED AREAS.
20. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT IS DAMAGED, DESTROYED, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY WITHIN 30 DAYS UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY OF HICKORY CREEK.
21. LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OF TRASH, LITTER AND WEEDS.
22. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM.
23. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUSH ON RIGHT-OF-WAY, SIDEWALKS OR EASEMENTS TO THE EXTENT THAT THE VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
24. NO PLANTING AREAS SHALL EXCEED 5% SLOPE. 3" HORIZONTAL TO 1" VERTICAL.
25. EARTHEN BERMS SHALL NOT INCLUDE CONSTRUCTION DEBRIS. CONTRACTOR MUST CORRECT SLIPPAGE OR DAMAGE TO THE SMOOTH FINISH GRADE OF THE BERM PRIOR TO ACCEPTANCE.
26. ALL WALKWAYS SHALL MEET A.D.A. AND T.A.S. REQUIREMENTS.
27. CONTACT CITY OF HICKORY CREEK'S PLANNING DEPARTMENT AT FOR LANDSCAPE INSPECTION. NOTE LANDSCAPE INSTALLATION MUST COMPLY WITH APPROVED LANDSCAPE PLANS PRIOR FINAL ACCEPTANCE BY THE CITY OF HICKORY CREEK AND/OR OBTAINING A CERTIFICATE OF OCCUPANCY.
28. FINAL INSPECTION AND APPROVAL OF SCREENING WALLS, IRRIGATION AND LANDSCAPE IS SUBJECT TO ALL PUBLIC UTILITIES, INCLUDING BUT NOT LIMITED TO MANKINDS, VALVES, WATER METERS, CLEANOUTS AND OTHER APPURTENANCES TO BE ACCESSIBLE, ADJUSTED TO GRADE AND TO THE CITY OF HICKORY CREEK'S PUBLIC WORKS DEPARTMENT STANDARDS.
29. PRIOR TO CALLING FOR A LANDSCAPE INSPECTION CONTRACTOR IS RESPONSIBLE FOR MARKING ALL MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER UTILITY APPURTENANCES WITH FLAGGING FOR FIELD VERIFICATION BY THE PUBLIC WORKS DEPARTMENT.

PLANT LIST

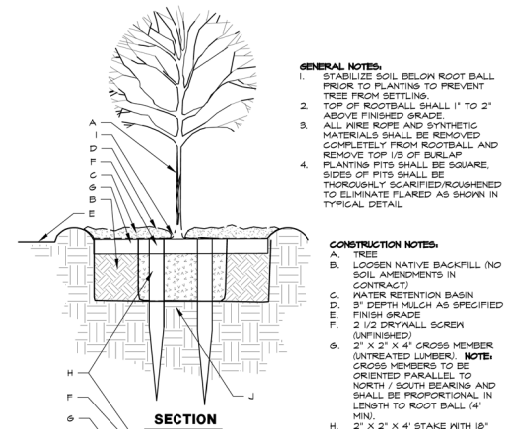
SYMBOL	COMMON/BOTANICAL NAME	SIZE	SPACING	QUANTITY	REMARKS
LO	LIVE OAK / QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	2	6" MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6" MINIMUM BRANCHING HEIGHT; NURSERY GROWN PROVIDED 16 - 18" HEIGHT SHRUBS
CP	CHINESE PISTACHIA / PISTACIA CHINENSIS	3" CALIPER	AS SHOWN	3	6" MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6" MINIMUM BRANCHING HEIGHT; NURSERY GROWN
CE	CEDAR ELM / ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	7	6" MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6" MINIMUM BRANCHING HEIGHT; NURSERY GROWN
CM	MULTI-TRUNK RED ROCKET GRAPENUT / LASERSTROEMIA INDICA RED ROCKET	2" CALIPER	AS SHOWN	4	5' MINIMUM SPREAD; MINIMUM 8' HEIGHT; 2" MIN. CAL.; FULL HEAD NURSERY GROWN
	DWARF BURFORD HOLLY / ILEX CORNUTA BURFORDII NANA	10 GALLON	AS SHOWN	27	FULL PLANTS
	TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS	7 GALLON	AS SHOWN	3	FULL PLANTS
	INDIAN HAWTHORN / RHAPHIOLEPIS INDICA	7 GALLON	AS SHOWN	13	FULL PLANTS
	COLOR GUARD YUCCA / YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	AS SHOWN	10	FULL PLANTS
	PURPLE PIXIE FRINSE FLOER / LOROPETALUM CHINENSE PURPLE PIXIE	3 GALLON	AS SHOWN	7	FULL PLANTS
	SEASONAL COLOR	4" POTS	8" O.C.	246	FULL PLANTS
	MEXICAN FEATHER GRASS / STIPA TENUISSIMA	1 GALLON	18" O.C.	168	FULL PLANTS
	DWARF FOUNTAIN GRASS / PENNISTEM ALOPEGRADOIS HAMELI	1 GALLON	24" O.C.	20	FULL PLANTS
	KEEPIES LOVE GRASS / ERAGROSTIS CURVULA	SOLID SOD	SQUARE FEET	1,268	MINIMUM 100% COVERAGE
	COMMON BERBERDA GRASS SOLID SOD	SOLID SOD	SQUARE FEET	1,660	MINIMUM 100% COVERAGE
	DECOMPOSED GRANITE	4" DEPTH	SQUARE FEET	768	REFER TO DETAIL 4/L2
	BENDBOARD EDGING	4" HEIGHT	LINEAR FEET	240	REFER TO DETAIL 3/L2

LANDSCAPE PROVIDED

- STREET BUFFER**
- A. 1-1/2" HEIGHT SHRUB / 4 LF
46 LF / 4 LF = 12 - 12" HEIGHT SHRUBS REQUIRED, PROVIDED 16 - 18" HEIGHT SHRUBS
- PARKING LOT**
- B. 1 - 3" CALIPER SHADE TREE / 15 PARKING SPACES
25 PARKING SPACES / 15 SPACES = 2 - 3" CALIPER SHADE TREES PROVIDED, 12 - 3" CALIPER SHADE TREES
1 - 3 GAL SHRUBS / 5 PARKING SPACES
25 / 5 SPACES = 5 - 3 GAL SHRUBS PROVIDED, 15 - 3 GAL SHRUBS
- C. 1 - 3" CALIPER SHADE TREE / 4,500 SF OF VEHICULAR SURFACE AREA
16,800 SF / 4,500 SF = 4 - 3" CALIPER SHADE TREES PROVIDED, 12 - 3" CALIPER SHADE TREES
1 - 3 GAL SHRUBS / 1,500 SF OF VEHICULAR SURFACE AREA
16,800 / 1,500 SF = 12 - 3 GAL SHRUBS PROVIDED, 15 - 3 GAL SHRUBS
- STORAGE AREA SCREENING**
- D. 1-1/2" HEIGHT SHRUB / 3 LF
26 LF / 3 LF = 9 - 12" HEIGHT SHRUBS REQUIRED, PROVIDED, 11 - 18" HEIGHT SHRUBS



4 DECOMPOSED GRANITE SECTION
SCALE: 1" = 1'-0"



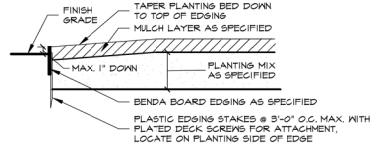
- GENERAL NOTES:**
1. STABILIZE SOIL BELOW ROOT BALL PRIOR TO PLANTING TO PREVENT TREE FROM SETTLING.
 2. TOP OF ROOTBALL SHALL 1" TO 2" ABOVE FINISH GRADE.
 3. ALL NINE HOLE AND SYNTHETIC MATERIALS SHALL BE REMOVED COMPLETELY FROM ROOTBALL AND REMOVE TOP 1/3 OF BURLAP.
 4. PLANTING PITS SHALL BE SQUARE, SIDES OF PITS SHALL BE THOROUGHLY SCARIFIED/ROUGHENED TO ELIMINATE FLARED AS SHOWN IN TYPICAL DETAIL.

- CONSTRUCTION NOTES:**
- A. TREE
 - B. LOOSEN NATIVE BACKFILL (NO SOIL AMENDMENTS IN CONTRACT)
 - C. WATER RETENTION BASIN
 - D. 3" DEPTH MULCH AS SPECIFIED
 - E. FINISH GRADE
 - F. 2 1/2 DRYWALL SCREEN (UNFINISHED)
 - G. 2" X 2" X 4" CROSS MEMBER (UNTREATED LUMBER) NOTE: CROSS MEMBERS TO BE ORIENTED PARALLEL TO NORTH / SOUTH BEARINGS AND SHALL BE PROPORTIONAL IN LENGTH TO ROOT BALL (4" MIN).
 - H. 2" X 2" X 4" STAKE WITH 18" MIN. TAPER (UNTREATED LUMBER)
 - I. REMOVE TOP 1/3 OF BURLAP SURROUNDING ROOTBALL AFTER INSTALLATION (TO PREVENT WICKING OF MOISTURE). X, Y DIMENSION EQUAL TO "X", "Y" DIMENSION EQUAL TO "X"
 - J. ROOTBALL SHALL BE PLACED ON UNDISTURBED NATIVE SOIL.

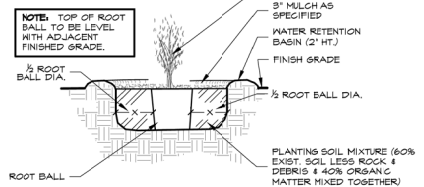
SECTION

PLAN VIEW

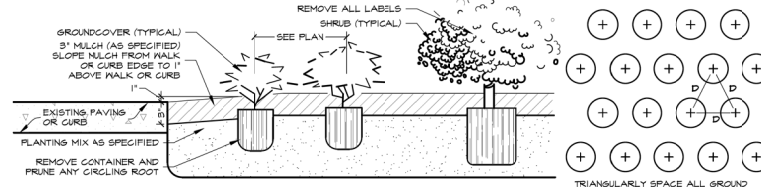
5 TREE PLANTING
SCALE: NOT TO SCALE



3 TYPICAL BED EDGING DETAIL
SCALE: NOT TO SCALE



1 POCKET PLANTING ORNAMENTAL GRASS DETAIL
SCALE: NOT TO SCALE



2 SHRUB AND GROUNDCOVER PLANTING DETAIL
SCALE: NOT TO SCALE

EXCEL
Always a Better Plan
100 Camelot Drive
Fonc du Lac, WI 54955
920-825-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED BUILDING FOR:
SWEETX TEA LLC - HTEAO #395
3080 FM 2181 • HICKORY CREEK, TX 75065

SEAL OF THE CITY OF HICKORY CREEK, TEXAS
MAY 17 1977
March 30, 2026

NORTH

20 10 0 20
1" = 20' - 0"
Has 1/8 inch on original drawing. If not one inch on this sheet, adjust scale as necessary.
One Inch

JOB NUMBER
1

SHEET NUMBER
LS1.01



April 28, 2026
AVO 37638.200

Ms. Chris Chaudoir
Town of Hickory Creek
1075 Ronald Reagan Avenue
Hickory Creek, TX 75065

**Re: HTeaO Store #395 – 3080 FM 2181 (Lot 2B, Block A – Lennon II Addition)
Site Plan and Landscape Plan
1st Review**

Dear Ms. Chaudoir:

Halff received a request from the Town of Hickory Creek to review a Site Plan and Landscape Plan application for HTeaO located at 3080 FM 2181, Lot 2B, Block A Lennon II Addition on April 1, 2026, with corrected submittals received on April 13, 2026. The surveyor is Traverse Land Surveying, LLC and the engineer is Excel Engineering, LLC. The owner is Victory Real Estate Group.

Halff has reviewed the Site Plan and Landscape Plan recommends Town Council approval contingent upon addressing the following comments provided below. Please note the Stormwater Management Plan and Drainage/Downstream Assessment is under review by separate letter, and acceptance of Site Plan and Landscape Plan should be contingent upon acceptance of a Preliminary Stormwater Management Plan.

General

1. Refer to Town checklist markup for additional comments.
2. Refer to attached markups for all additional comments.
3. Please revise all callouts/labels of “City” to “Town” throughout.
4. Please address comments and markups on the attached markups and provide response letter and annotated responses on plans.

Preliminary Plat

1. Preliminary Plat was approved on July 25, 2024.

Site Plan

1. For the Title Block, please include the Addition name with Lot and Block number, Acreage, Survey Name and Abstract, and County as appropriate.
2. Please include the contact information for the Owner/Developer on the Site Plan.
3. Please include the FEMA Floodplain standard note, typically shown on platting.
4. Please show or verify intent for screening wall at the back of the lot given proximity to residential zoning and as required of the other commercial lots on this Block.

5. Please show or verify intent for water line, sewer services, fire hydrants, and drainage on site.
6. Please add a Vicinity Map on the Site Plan.

Landscape Plan

1. Please show and label all screening walls, fences, retaining walls, headlight screens and service area screens, including heights and types, as needed on the Landscape Plan. Refer to Site Plan comment regarding required masonry screen wall along southern boundary.

The comments provided herein are based on available information provided to Halff by the Town of Hickory Creek and the private development owner/engineer and are a 3rd party review of the plat/plans. The review provided is in conformance with the Town of Hickory Creek's set standards and guidelines on engineering design and ordinances at the time of the review. The Surveyor or Engineer of Record for the applicable project/design, not Halff as the 3rd party reviewer, is ultimately responsible for the plat/plans and impacts before, during and after construction.

Sincerely,

HALFF

TBPELS Engineering Firm No. 312



Kevin Gronwaldt, PE, LGPP
Consulting Engineer for the Town of Hickory Creek

C: Kristi Rogers – Town Secretary
John Smith – Town Administrator

Attachment: Development Application
Site and Landscape Plan markups
Town Checklist markup
Building and Dumpster Elevations

Missing
Vicinity Map

Add acreage
to title block

Revise street
label to mark
as FM 2181
given the site
address

Missing Information on:
-Water Lines
-Sewer Services
-Fire Hydrants
-Storm Drain
Or provide clarification

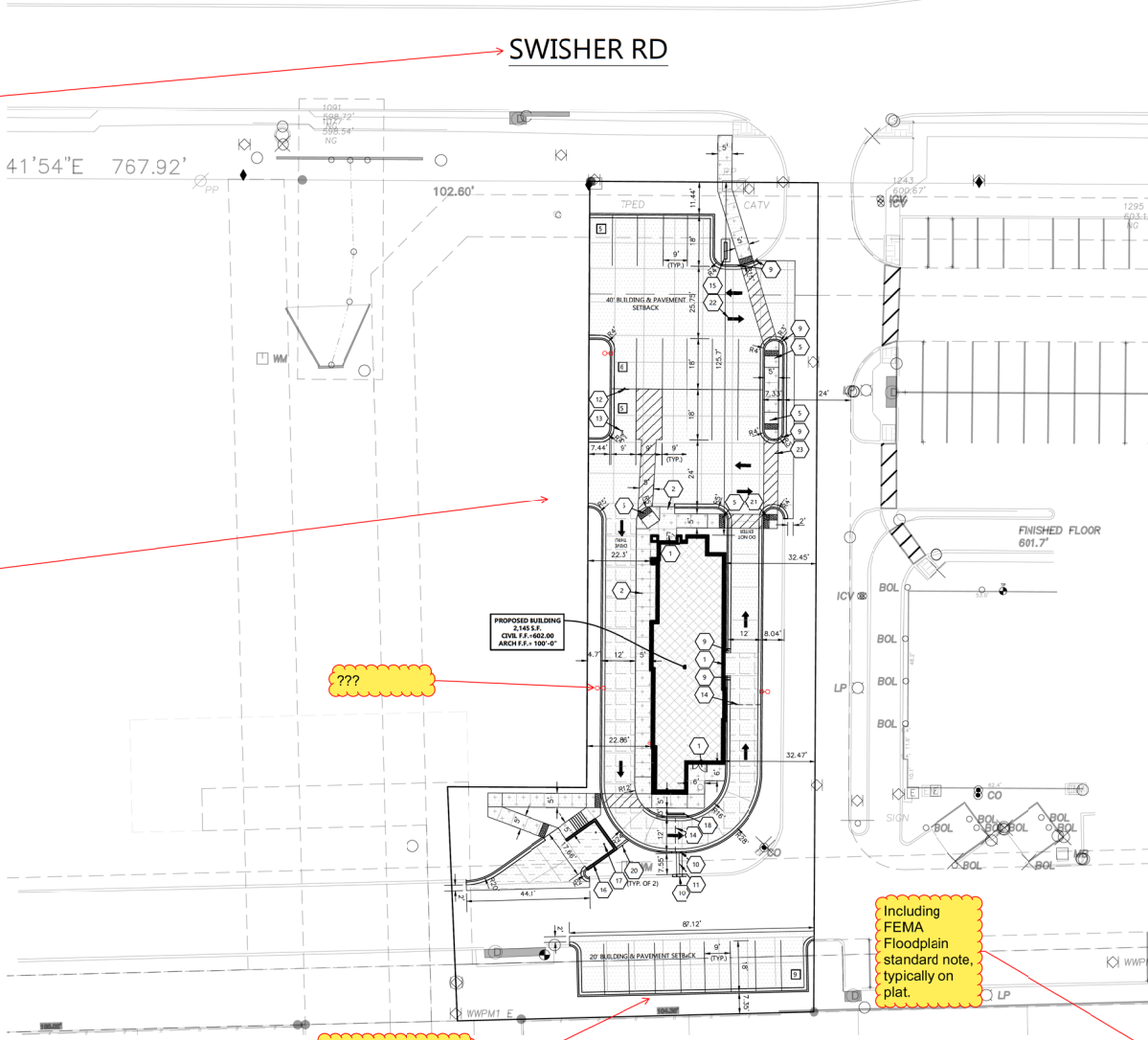
???

Including
FEMA
Floodplain
standard note,
typically on
plat.

Missing:
-Lot and Block
number of
addition
-Survey Name
and Abstract
-County

Will require site
barrier/screening wall
same as other lots
along this
neighborhooc

Missing
contact
information for
Owner/
Developer



GENERAL NOTES:
• LOT LINES TO BE CREATED BY FINAL PLAT BY OTHERS. PRIOR TO CONSTRUCTION CONTRACTOR TO OBTAIN PERMISSION FROM ADJACENT PROPERTY OWNERS FOR ANY NECESSARY OFF-SITE WORK.

SITE INFORMATION:
PROPERTY AREA: 28,046 SQ. (654 ACRES)
EXISTING ZONING: C-1 COMMERCIAL DISTRICT
PROPOSED ZONING: C-1 COMMERCIAL DISTRICT
PROPOSED USE: QUICK SERVICE RESTAURANT WITH DRIVE THRU
AREA OF SITE DISTURBANCE: 21,096 S.F. (0.48 ACRES)
SETBACKS:
BUILDING: FRONT(NORTH) = 40'
SIDE(EAST/WEST) = 0'
REAR(SOUTH) = 20'
PAVEMENT: FRONT(NORTH) = 40'
SIDE(EAST/WEST) = 0'
REAR(SOUTH) = 20'
PROPOSED BUILDING HEIGHT: 21.5 (MAX. HEIGHT ALLOWED: 30')
PARKING REQUIRED: 1 SPACE PER 200 S.F. (11 SPACES REQ.)
PARKING PROVIDED: 25 SPACES (1 H.C. ACCESSIBLE)
HANDICAP STALLS REQUIRED: 1. HANDICAP STALLS PROVIDED: 1
LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 15% (20.8% PROVIDED)

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC)	0.20	8,502	30.3%
TOTAL IMPERVIOUS	0.20	8,502	30.3%
LANDSCAPE/ OPEN SPACE	0.45	19,544	69.7%
PROJECT SITE	0.64	28,046	100.0%

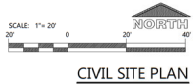
PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.05	2,145	7.6%
PAVEMENT (ASP. & CONC)	0.46	20,075	71.6%
TOTAL IMPERVIOUS	0.51	22,220	79.2%
LANDSCAPE/ OPEN SPACE	0.13	5,826	20.8%
PROJECT SITE	0.64	28,046	100.0%

- KEYNOTES**
- 1 CONCRETE STOOP (SEE STRUCTURAL PLANS FOR DETAILS)
 - 2 RAISED WALK (SEE DETAILS)
 - 5 CURB RAMP (SEE DETAILS)
 - 9 CURB TAPER (SEE DETAILS)
 - 10 CURB CUT (SEE DETAILS)
 - 11 CONCRETE FULM (SEE DETAILS)
 - 12 HANDICAP SIGN PER STATE CODE (SEE DETAILS)
 - 13 HANDICAP STALLS & STRIPPING PER STATE CODES
 - 14 COORDINATE LOOP INSTALLATION AND FINAL LOCATIONS WITH FRANCHISEE
 - 15 MONUMENT SIGN (DETAILS, FINAL LOCATION, & APPROVAL BY SIGN VENDOR)
 - 16 DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
 - 17 6" CONCRETE BOLLARDS (TYP) (SEE ARCH PLANS FOR DETAILS)
 - 18 MENU BOARD & SPEAKER POST (DETAILS, FINAL LOCATION, AND APPROVAL BY SIGN VENDOR)
 - 20 5' LONG BLOCK RETAINING WALL (DETAILS BY SUPPLIER)
 - 21 DETECTABLE WARNING PLATE PER STATE CODE
 - 22 TRAFFIC FLOW ARROWS (TYP, COLOR TO MATCH PARKING STALL STRIPING)
 - 23 PAINT STRIPING (TYP, COLOR TO MATCH PARKING STALL STRIPING)

LEGEND:

HATCH	PAVEMENT SECTION
[Symbol]	SIDEWALK CONCRETE
[Symbol]	LIGHT DUTY CONCRETE
[Symbol]	HEAVY DUTY CONCRETE
[Symbol]	DUMPSTER PAD/ APRON CONCRETE
[Symbol]	18" CURB & GUTTER (SEE DETAILS)



EXCEL
TX REG # F-10167
Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54905
920-926-9800
excelengineer.com

PROJECT INFORMATION

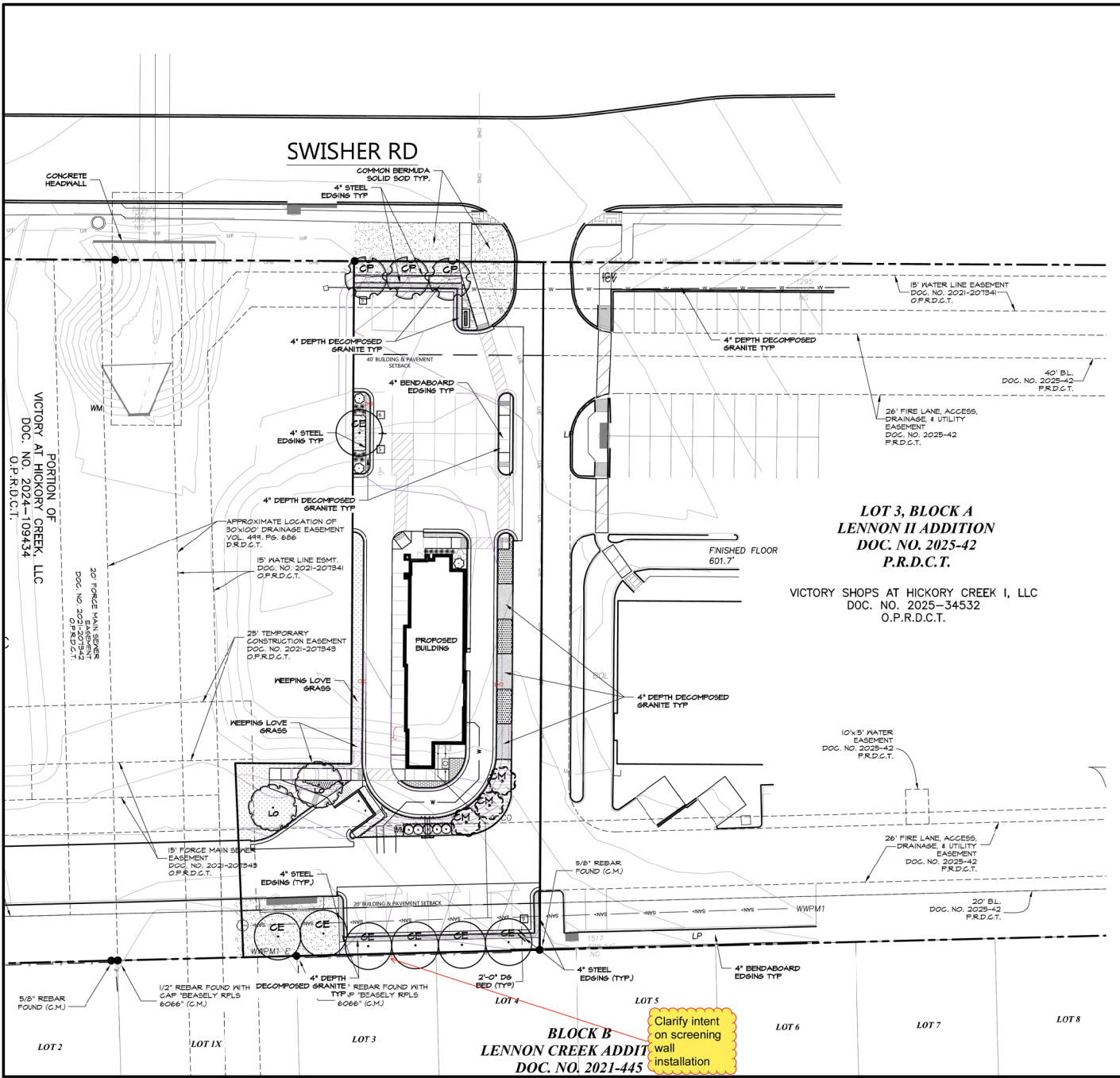
PROPOSED BUILDING FOR:
SWEETX TEA LLC - HTEAO #395
3080 FM 2181 • HICKORY CREEK, TX 75065

PROFESSIONAL SEAL

SHEET DATES
ISSUED FOR CONSTRUCTION
IFC MAR. 31, 2026

JOB NUMBER
260035700

SHEET NUMBER
C1.1



LANDSCAPE LEGEND

- LIVE OAK / QUERCUS VIRGINIANA (8" CALIPER)
- CHINESE PISTACHE / PISTACIA CHINENSIS (8" CALIPER)
- CEDAR ELM / ULMUS CRASSIFOLIA (8" CALIPER, MIN. 6' HEIGHT)
- MULTI-TRUNK 'RED ROCKET' GRAPEMYRTLE / LAURUSTROBILIA INDICA 'RED ROCKET' (2" CALIPER, MIN. 6' HEIGHT)
- DWARF BURFORD HOLLY / ILEX CORNUTA 'BURFORDI NANA' (10 GALLON)
- TEKAS SAGE / LEUCOPHYLLUM FRUTESCENS (7 SALLON)
- INDIAN HAWTHORNE / RAMPHOLEPIS INDICA (7 SALLON)
- COLOR GUARD YUCCA / YUCCA FILAMENTOSA 'COLOR GUARD' (8 SALLON)
- 'PURPLE PIXIE' FRINSE FLOWER / LOROPETALUM CHINENSE 'PURPLE PIXIE' (8 SALLON, PLANTS SPACED 36" O.C.)
- SEASONAL COLOR (TBD) 4' POTS AT 8' O.C.
- MEXICAN FEATHER GRASS / STIPA TENNISIMMA (1 GALLON, PLANTS SPACED 18" O.C.)
- DWARF FOUNTAIN GRASS / PENNISTEM ALOPREGIROIDES 'HAMELI' (1 GALLON, PLANTS SPACED 24" O.C.)
- KEEPING LOVE GRASS / ERAGROSTIS CURVULA HYDRIMULGH
- COMMON BERBERIDA GRASS SOLID SOD (MINIMUM 100% COVERAGE)
- 4' DEPTH DECOMPOSED GRANITE

IRRIGATION

1. ALL LANDSCAPE AREAS WILL INCLUDE AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM.
2. ALL PROPOSED TREES WILL BE EQUIPPED WITH BUBBLERS. ALL TREE BUBBLERS WILL BE ON A SEPARATE, INDEPENDENT VALVE.
3. ALL LANDSCAPE AREAS LESS THAN 4'-0" IN WIDTH WILL BE ON INDEPENDENT ZONES.
4. IRRIGATION CONTROLLER WILL BE EQUIPPED WITH A RAIN / FREEZE SENSOR.

STUDIO DESIGN GROUP
 Studio 13 Design Group, P.L.L.C.
 116 W. Main Street
 Littlefield, Texas 79707
 409-432-1900
 TRAE Firm #08843

****WARNING****
 EXISTING UNDERGROUND UTILITIES. FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION OR EXCAVATION.

ACCESSIBILITY GENERAL NOTES

1. ALL ACCESSIBLE ROUTES AND RAMPS SHALL CONFORM TO THE TEXAS ACCESSIBILITY STANDARDS (T.A.S.).
2. PUBLIC ACCESSIBLE ROUTES SHALL NOT HAVE A RUNNING SLOPE GREATER THAN 1:20 AND CROSS SLOPE GREATER THAN 1:80.
3. RAMPS SHALL NOT HAVE A RUNNING SLOPE GREATER THAN 1:12 AND A CROSS SLOPE GREATER THAN 1:50.
4. HANDRAILS WILL BE REQUIRED IF RAMP IS LONGER THAN 72 INCHES WITH A MAXIMUM RUNNING SLOPE OF 1:12.

EXCEL
 Always a Better Plan
 100 Camelot Drive
 Fond du Lac, WI 54935
 920-925-8800
 excelengineer.com

PROJECT INFORMATION

PROPOSED BUILDING FOR:
SWEETX TEA LLC - HTEAO #395
 3080 FM 2181 • HICKORY CREEK, TX 75065



NORTH

1" = 20' - 0"

One Inch

JOB NUMBER
1

SHEET NUMBER
LS1.00

- a. Metes and bounds description. Yes ___ No ___ N/A ___
 - b. Representation that dedicators own the property. Yes ___ No ___ N/A ___
 - c. Dedication statement. Yes ___ No ___ N/A ___
 - d. Reference and identification or name of final plat. Yes ___ No ___ N/A ___
 - e. Surveyor certification in the form prescribed by the Subdivision Regulation Ordinance. Yes ___ No ___ N/A ___
22. Certificate showing all taxes have been paid. Yes ___ No ___ N/A ___
23. A letter fully outlining and alterations from the approved Preliminary Plat. Yes ___ No ___ N/A ___

SITE AND LANDSCAPING PLAN – Each Engineering Site Plan shall include:

- 1. Site and landscaping plans shall be placed on maximum 22" x 34" sheets and drawn to a scale of 1" = 100' or 1" = 50' unless approved in advance by the Town. Yes X No ___ N/A ___
- 2. Title block in lower right hand corner including:
 - a. Subdivision name with lot and block number. Yes ___ No X N/A ___
 - b. Area in acres. [On Site Table, not on title Block](#) Yes ___ No X N/A ___
 - c. Metes and bounds description including survey name and abstract number. Yes ___ No X N/A ___
 - d. Town and County. [Town shown, not County](#) Yes ___ No X N/A ___
 - e. Preparation Date. Yes X No ___ N/A ___
- 3. Name, address and telephone number of the owner, developer, and surveyor/engineer. [Missing owner/developer](#) Yes ___ No X N/A ___
- 4. Vicinity map and key map, if multiple sheets are needed. Yes ___ No X N/A ___
- 5. Written scale, graphic scale and north arrow. Yes X No ___ N/A ___
- 6. Approximate distance to the nearest street. Yes X No ___ N/A ___
- 7. Site boundaries, dimensions, lot lines and lot areas. Yes X No ___ N/A ___
- 8. Legend. Yes X No ___ N/A ___
- 9. Site data summary table including:
 - a. Zoning. Yes X No ___ N/A ___
 - b. Proposed use. Yes X No ___ N/A ___
 - c. Building area (gross square footage). Yes X No ___ N/A ___
 - d. Building height (feet and inches). Yes X No ___ N/A ___

- e. Area of impervious surface. Yes No N/A
- f. Total Parking: Required and provided. Yes No N/A
- g. Number of handicap parking spaces. Yes No N/A
- h. Number of dwelling units and number of bedrooms (multifamily). Yes No N/A
10. Existing improvements within 75' of the subject property. Yes No N/A
11. Land use, zoning, subdivision name, recording information and adjacent owners. [Missing addition name, recording information, and no adjacent owner labels](#) Yes No N/A
12. Building locations, sizes, and dimensions. Yes No N/A
13. Distance between buildings on the same lot. Yes No N/A
14. Building lines and setbacks. Yes No N/A
15. Dimensions of all drive lanes and traffic flow arrows. Yes No N/A
16. FEMA floodplains with elevations, and minimum finished floor elevations (include the floodplain note shown on the final plat). Yes No N/A
17. Lake Flowage Easement Boundary (537' contour) Yes No N/A
18. Public streets, private drives, and fire lanes with pavement widths and include rights-of-way, median openings, turn lanes, existing driveways, adjacent existing driveways with dimensions, radii, and surface. Yes No N/A
19. Distances between existing and proposed driveways. Yes No N/A
20. Loading and unloading areas. Yes No N/A
21. Ramps, crosswalks, sidewalks and barrier-free ramps with dimensions. Yes No N/A
22. Locations of dumpsters and trash compactors with height and material of screening. Yes No N/A
23. For Commercial areas adjacent to or abutting residential areas, show location, height and material of sight barrier wall to be along all areas of area adjacency. Wall to be fully opaque, minimum 8-feet in height, and made of 100% masonry materials. Yes No N/A
24. Size, location, dimensions and details of all signs and exterior lighting of signs, including type of standards, locations and radius of light and intensity of foot-candles. All signage are subject to approval by the Building Inspections Department. Yes No N/A
25. Location and sizes of existing and proposed water and sewer mains. Yes No N/A
26. Location of existing and proposed fire hydrants. Yes No N/A

27. Location and sizes of existing and proposed storm drains, culverts, inlets and other drainage features on or adjacent to the site. Yes ___ No X N/A ___
28. Locations, widths, and types of existing and proposed easements. Yes ___ No X N/A ___
29. For work within TxDOT Right-of-Way, provide proof of TxDOT permit or letter of approval for improvements installation from TxDOT. Yes ___ No ___ N/A X
30. Provide an elevation of all four sides of the building including materials, colors and dimensions at an architectural scale of 1"=20'. Yes X No ___ N/A ___
31. Landscape plan provided on separate sheet to show the following:
- a. Minimum % Landscape coverage per Town Ordinances
Landscaped Area % provided on Site Plan Yes X No ___ N/A ___
 - b. Natural features including tree masses and anticipated tree loss. Yes ___ No ___ N/A X
 - c. Floodplains, drainageways and creeks. Yes X No ___ N/A ___
 - d. Screening walls and fences, retaining walls, headlight screens, and service area screens including height and type of construction. Need to include intent for screening wall at back of lot Yes ___ No X N/A ___
 - e. Existing and preserved trees including location, size, and species. Provide Tree Mitigation calculations and proposed plantings. Yes ___ No ___ N/A X
 - f. Landscaping materials including location and size. Yes X No ___ N/A ___
 - g. Proposed plant materials. Yes X No ___ N/A ___
 - h. Note to indicate type and placement of irrigation system. Yes X No ___ N/A ___
32. 2" x 3" blank box in lower right corner for Town use. Yes X No ___ N/A ___
33. Additional information as requested to clarify the proposed development. Yes X No ___ N/A ___

SITE CONSTRUCTION PLAN – Site Construction Plan shall include:

COVER SHEET * - The cover sheet shall include:

- 1. Project title, type of project and date of plans. Yes ___ No ___ N/A ___
- 2. Location map. Yes ___ No ___ N/A ___
- 3. Disposal site for excess excavation and staging area clearly labeled. Yes ___ No ___ N/A ___
- 4. Index of Sheets (if not included on its own sheet). Yes ___ No ___ N/A ___
- 5. Approval blocks for Town including Town Engineer and Director of Public Works. Approval block for LCMUA, in a format approved by LCMUA Yes ___ No ___ N/A ___
- 6. Professional Engineer’s seal, signature and date. Yes ___ No ___ N/A ___

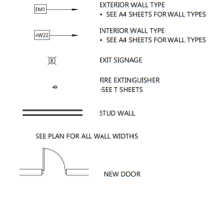
FLOOR PLAN KEYNOTES

- 1 ALIGN PER PLAN
- 2 FLOOR DRAIN & FLOOR SINKS. SEE PLUMBING.
- 3 PRE-FINISHED METAL DOWNPOUT
- 4 ELECTRICAL PANELS. SEE ELECTRICAL
- 5 ELECTRICAL SWITCHGEAR. SEE ELECTRICAL
- 6 GAS METERS. SEE MECHANICAL
- 7 HOSE BIB. SEE PLUMBING
- 8 BOOSTER PUMP FOR FILTERED WATER SYSTEM. SEE ELECTRICAL AND PLUMBING
- 9 WATER FILTRATION SYSTEM. SEE PLUMBING
- 10 WALK-IN COOLER (WIC) DOOR PROVIDED BY THE WIC VENDOR. CONTRACTOR SHALL COORDINATE THE DOOR HEIGHT, OPENING SIZE AND ELECTRICAL REQUIREMENTS OF ANY WIC WITH THE WIC VENDOR. NOTE: WIC DOOR SHALL HAVE MINIMUM CLEAR OPENING DIMENSIONS OF 48" W X 84" H, MEASURED FROM THE FACE OF THE DOOR AND IN THE STOP WITH THE DOOR OPEN 90 DEGREES. IF ANY GLAZING IS PROVIDED IN THE DOOR, IT SHALL BE SAFETY GLAZING. THE DOOR SHALL INCLUDE LEVER HARDWARE THAT COMPLIES WITH THE REQUIREMENTS.
- 11 SURFACE MOUNTED POST AROUND THE COOLER.
- 12 MOP SINK. SEE PLUMBING.
- 13 PRE-FABRICATED METAL CANOPY, REF. EXTERIOR FINISH SCHEDULE.
- 14 WATER HEATER ON SHELF ABOVE MOP SINK. HOLD/RITE PLATFORM OR SHIP-WAY OR EQUAL. SEE PLUMBING.
- 15 DIGITAL MENU BOARDS. CONTRACTOR SHALL ROUGH-IN ELECTRICAL POWER, AND DATA IF APPLICABLE, VERIFY AND COORDINATE EXACT REQUIREMENTS AND LOCATION WITH FRANCHISEE.

GENERAL NOTES

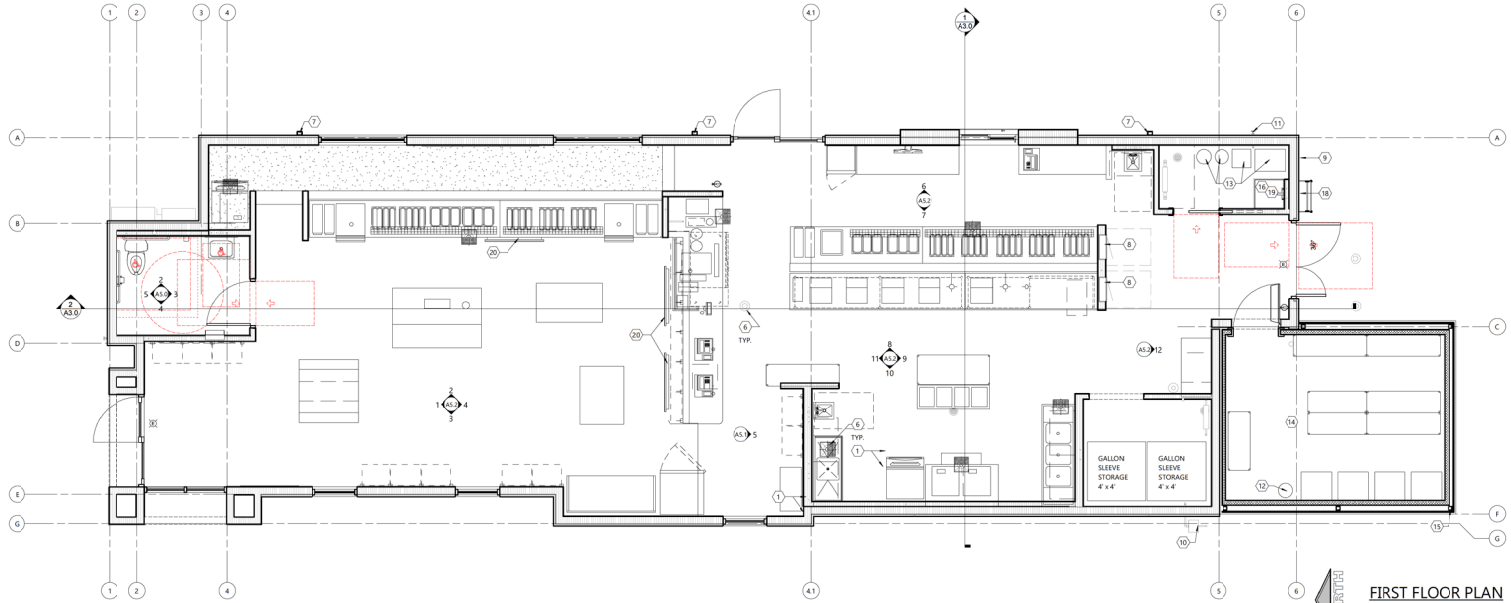
- NOT ALL INFILL OF OPENINGS AND PATCHING ARE SHOWN. INFILL ALL WALL OPENINGS TO MATCH EXISTING WALL CONSTRUCTION. PATCH TO MATCH ADJACENT SURFACES AND FINISH. WIPES, PIPES, CONDUIT, DUCTWORK, RECEPTACLES, SWITCHES, ETC. ARE REMOVED.
- SEE SPECIFICATIONS FOR WORK BY OWNER. WORK BY OWNER SHOWN ON PLANS IS SUBJECT TO CHANGE. CONTRACTOR TO COORDINATE SPECIFIC INSTALLATION REQUIREMENTS WITH OWNER/OWNER'S VENDOR.
- LOCATE ALL DOORS IN METAL STUD 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- INSTALL WOOD BLOCKING FOR OWNER AND CONTRACTOR PROVIDED FURNISHINGS, EQUIPMENT AND WINDOW TREATMENTS. VERIFY LOCATIONS.
- INSTALL GYPSUM BOARD CONTROL JOINT WITH 1/4" V-REVEAL IN ANY WALL GREATER THAN 8' IN LENGTH. POSITION ABOVE JAMB OF WALL OPENING.
- COMPLETELY CONCEAL ALL SPRAY FOAM AT INTERIOR SIDE OF EXTERIOR WALLS WITH GYPSUM BOARD OR INTUMESCENT COATING (CODE REQUIRED THERMAL BARRIER).
- CLEAN, REPAIR, TAP AND SAND SMOOTH ALL GYPSUM BOARD WALLS AS NECESSARY TO ENSURE PROPER PREPARATION FOR NEW FINISHES. ALL OUTSIDE CORNERS SHALL RECEIVE METAL CORNER BEADS AND SHALL BE PREPARED FOR THE SPECIFIED FINISH. SEE FINISH SCHEDULE.
- BUTYLS UNAPPLIED GYP BOARD JOINTS IN BUILDING AND UNEVEN WALLS WILL NOT BE ACCEPTED. FULL HEIGHT GYP BOARD SHEETS SHALL BE UTILIZED FOR FULL HEIGHT CONSTRUCTION. CEILING BOARD SHALL BE PROVIDED IN ALL WET AREAS. WET AREAS SHALL INCLUDE ALL RESTROOMS AND ON ALL WALLS WITH A SINK OR WITH MILLWORK INCLUDING A SINK.
- ALL NON-BEARING INTERIOR PARTITIONS TO BE DESIGNED BY FRAMING CONTRACTOR FOR A LATERAL LIME LOAD OF 5 PSF AND A DEFLECTION OF L/240. GYP BOARD PARTITIONS TO BE INSTALLED PER OGP/SP ASSOCIATED STANDARDS.
- ALL JUNCTURES BETWEEN WALLS AND FLOORS SHALL BE COVERED AND SEALED.
- CONTRACTOR SHALL PROVIDE SEALANT AT ALL JOINTS AND INTERFACES OF COUNTERTOPS, EQUIPMENT & WALLS. EXPOSED SCREW HEADS AND BOLTS ARE NOT PERMITTED.

SYMBOLS LEGEND



SALES & SERVICE COUNTERS

IN RETAIL STORES WHERE COUNTERS HAVE CASH REGISTERS AND ARE PROVIDED FOR SALES OR DISTRIBUTION OF GOODS OR SERVICES TO THE PUBLIC, AT LEAST ONE OF EACH TYPE SHALL HAVE A PORTION OF THE COUNTER WHICH IS AT LEAST 36" IN LENGTH WITH A MAXIMUM HEIGHT OF 36" ABOVE THE FINISH FLOOR. COUNTER SHALL BE ON AN ACCESSIBLE ROUTE COMPLYING WITH A.D.A. GUIDELINE 4.8.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
ARCHITECTURAL FIRST FLOOR PLAN

EXCEL
Always a Better Plan
100 Camarot Drive
Fond du Lac, WI 54955
920-926-0800
excel@excel.com
EXCEL ENGINEERING, INC.
TX FIRM # 10567

PROJECT INFORMATION

PROPOSED BUILDING FOR:
SWEETX TEA LLC - HTEAO #395
3080 FM 2181 • HICKORY CREEK, TX 75065

PROFESSIONAL SEAL

PRELIMINARY DATES

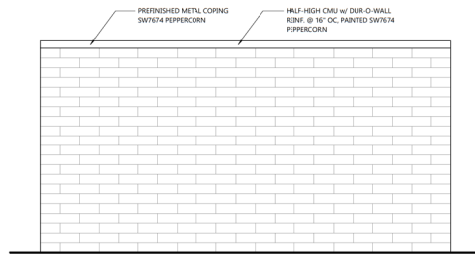
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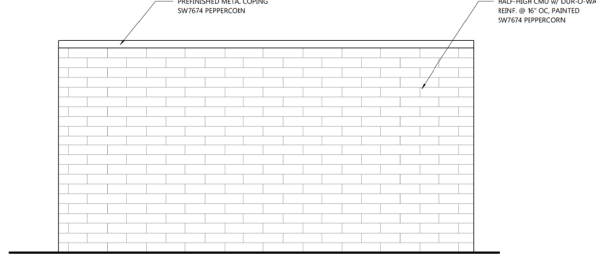
SHEET NUMBER
A1.2

NOT FOR CONSTRUCTION

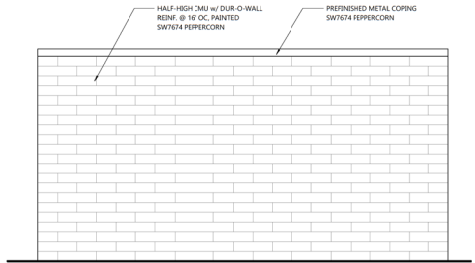
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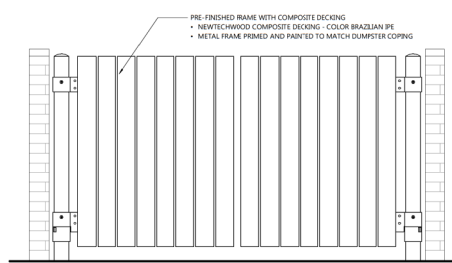
1 RIGHT ELEVATION
A1.4 SCALE: 1/2" = 1'-0"



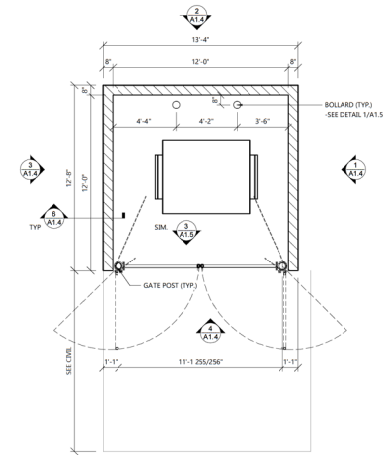
2 BACK ELEVATION
A1.4 SCALE: 1/2" = 1'-0"



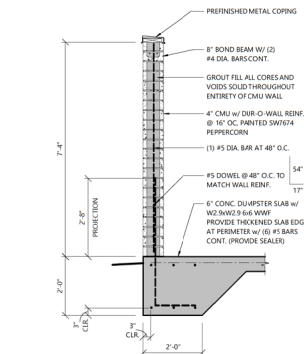
3 LEFT ELEVATION
A1.4 SCALE: 1/2" = 1'-0"



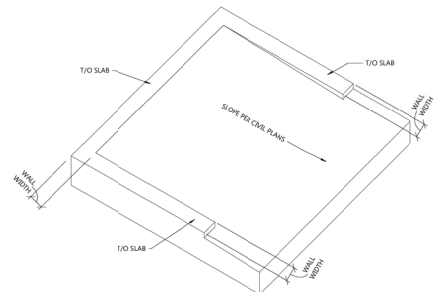
4 FRONT ELEVATIONS
A1.4 SCALE: 1/2" = 1'-0"



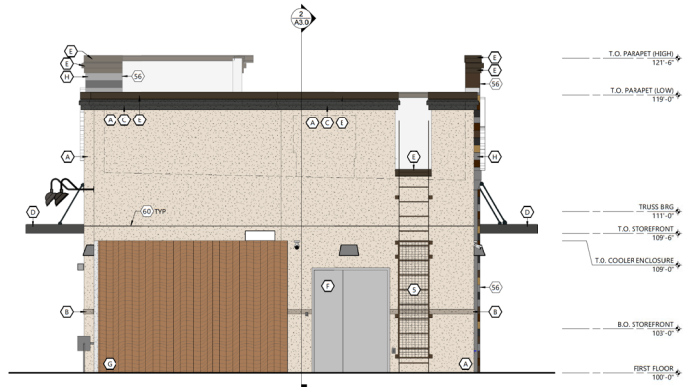
5 DUMPSTER PLAN
A1.4 SCALE: 1/4" = 1'-0"



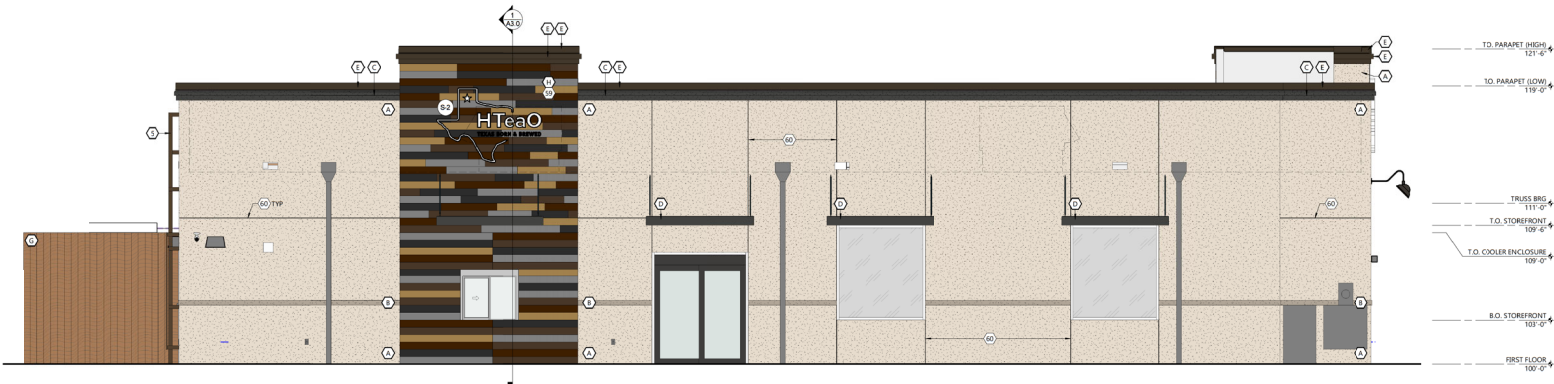
6 DUMPSTER WALL SECTION
A1.4 SCALE: 1/2" = 1'-0"



7 DUMPSTER PAD DETAIL
A1.4 SCALE: 1/2" = 1'-0"



4 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

ENLARGED PLAN KEYNOTES

66 NO-T RETURN WALL INSTALL HORIZONTALLY PER SCHEDULE
 69 S.C. TO INSTALL A COMBINATION OF FULL AND STAGGERED PLANKS TO AVOID REPETITIVE JOINTS OR STACKED APPEARANCE
 60 BS SCORE JOINT

SIGN SCHEDULE

(S-1) LOCATION: DRILE THRU SIDE FACADE EXTERIOR SIGNAGE
 SIZE: 7'-10" LENGTH X 5'-5 1/2" HEIGHT

(S-2) LOCATION: FRONT FACADE EXTERIOR SIGNAGE
 SIZE: 9'-0" LENGTH X 6'-4" HEIGHT

NOTE:
 SIGNAGE SHOWN IS FOR REFERENCE ONLY - SIGN SELECTION BY OWNER - SIGN PERMITTING & INSTALLATION BY SIGN VENDOR

GENERAL NOTES

113 SEE WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION

- REFERENCE EXTERIOR ELEVATIONS FOR VENEER CONTROL JOINTS. SEE STRUCTURAL PLANS FOR CMU CONTROL, JOINT LOCATIONS, VENEER CONTROL JOINTS AND CMU CONTROL JOINTS ARE NOT REQUIRED TO ALIGN.
- METAL FLASHING AND CLOSURE SHALL BE COLORED SW7002 "DOWNY"

EXTERIOR MATERIAL KEY

1	EXTERIOR INSULATION & FINISH SYSTEM MANUF: DRIVIT COLOR: "BIELE WHITE" (ALT: SHERWIN WILLIAMS SW 7002 "DOWNY") TEXTURE: FINE PEBBLE FINISH
2	EXTERIOR INSULATION & FINISH SYSTEM MANUF: DRIVIT COLOR: "SHER" (ALT: SHERWIN WILLIAMS SW 7038 "TONY TAUPÉ") TEXTURE: FINE PEBBLE FINISH
3	EXTERIOR INSULATION FINISH SYSTEM MANUF: DRIVIT COLOR: IRON ORE (SW 7069) TEXTURE: FINE PEBBLE FINISH
4	PBI-FABRICATED METAL CANOPIES MANUF: HANDESLY METAL WORKS PROFILE: STAG STANGONE CANOPY COLOR: IRON ORE (SW7069) POWDER COATING
5	METAL TRIM, CAP/ROOF LADDIE/DOWNSPOUT COLOR: DARK BRONZE
6	EXTERIOR METAL DOOR & DOOR FRAME COLOR: SW 7002 "DOWNY"
7	CEDAR PLANK FENCE COOLER ENCLOSURE WOOD TYPE: CEDAR CLEAR SEALER: SHERWIN WILLIAMS - EXTERIOR SEALER
8	COMPOSITE WOOD SIDING MANUF: NORTHCROCK - ALL WEATHER SIDING PROFILE: TONGUE & GROOVE US69 (SIZE: 5 1/2" x 1/2") COLOR: AN EQUAL MIX OF THE FOLLOWING - • SMOKE/SLATE/BLACK CHARRED WOOD (SSG) • SPANISH WALNUT (W9) • ARGENTINEAN SILVER GRAY (S) • BRAZILIAN IPE (P) • PERUVIAN TEAK (TK) TRIM: BRAZILIAN IPE (P)



COMPOSITE WOOD SIDING
 RANGE OR REFERENCE ONLY - CONTRACTOR TO SUBMIT PROPOSED COMPOSITE PATTERN TO CONSTRUCTION MANAGER AND FRANCHISE PARTNER FOR APPROVAL

EXCEL
 Always a Better Plan
 100 Camelot Drive
 Fond du Lac, WI 54955
 920-926-8800
 excel@excel.com
 EXCEL ENGINEERING, INC.
 TX FIRM # 10567

PROJECT INFORMATION

PROPOSED BUILDING FOR:
SWEETX TEA LLC - HTEAO #395
 3080 FM 2181 • HICKORY CREEK, TX 75065

PROFESSIONAL SEAL

PRELIMINARY DATES
 MAR. 23, 2026

NOT FOR CONSTRUCTION

JOB NUMBER
 260035700

SHEET NUMBER
A2.0

ENLARGED PLAN KEYNOTES

WE-1 RETURN WALL INSTALL HORIZONTALLY PER SCHEDULE.

WE-2 MURAL SIGNS PROVIDED BY VENDOR.

WE-3 THIS IS SHOWN FOR GRAPHICAL REPRESENTATION ONLY. ACTUAL AIRWORK WILL BE DESIGNED SPECIFICALLY FOR THIS LOCATION.

WE-4 GC TO INSTALL A COMBINATION OF FULL AND STAGGERED PLANK TO MATCH REFERENCE PHOTO ON STAGED APPEARANCE.

SIGN SCHEDULE

S-1 LOCATION: DRIVE THRU SIDE FACADE EXTERIOR SIGNAGE
SIZE: 7'-10" LENGTH X 5'-3 1/2" HEIGHT

S-2 LOCATION: FRONT FACADE EXTERIOR SIGNAGE
SIZE: 9'-0" LENGTH X 6'-4" HEIGHT

NOTE: SIGNAGE SHOWN IS FOR REFERENCE ONLY - SIGN SELECTION BY OWNER - SIGN PERMITTING & INSTALLATION BY SIGN VENDOR

GENERAL NOTES

SEE WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION

REFERENCE EXTERIOR ELEVATIONS FOR VENER CONTROL JOINTS. SEE STRUCTURAL PLANS FOR ONLY CONTROL JOINT LOCATIONS. VENER CONTROL JOINTS AND CMU CONTROL JOINTS ARE NOT REQUIRED TO ALIGN.

METAL FLASHING AND CLOSURE SHALL BE COLORED SW7002 "DOWNY"

EXTERIOR MATERIAL KEY

EXTERIOR INSULATION & FINISH SYSTEM
MANUF: DRYVIT
COLOR: "BRITE WHITE" (ALT: SHERWIN WILLIAMS SW 7002 "DOWNY")
TEXTURE: FINE PEBBLE FINISH

EXTERIOR INSULATION & FINISH SYSTEM
MANUF: DRYVIT
COLOR: "SHUDE" (ALT: SHERWIN WILLIAMS SW 7038 "TOWN TAUPE")
TEXTURE: FINE PEBBLE FINISH

EXTERIOR INSULATION FINISH SYSTEM
MANUF: DRYVIT
COLOR: IRON ORE (SW 7065)
TEXTURE: FINE PEBBLE FINISH

PRE-FABRICATED METAL CANOPIES
MANUF: HAMEGSLY METAL WORKS
PROFILE: HTEAO STANDARD CANOPY
COLOR: IRON ORE (SW7065) POWDER COATING

METAL TRIM CANOPY LADDER/DOWNSPOUT
COLOR: DARK BRONZE

EXTERIOR METAL DOOR & DOOR FRAME
COLOR: SW 7002 "DOWNY"

CEDAR PLANK FENCE COOLER ENCLOSURE
WOOD TYPE: CEDAR
CLEAR SEALER: SHERWIN WILLIAMS - EXTERIOR SEALER

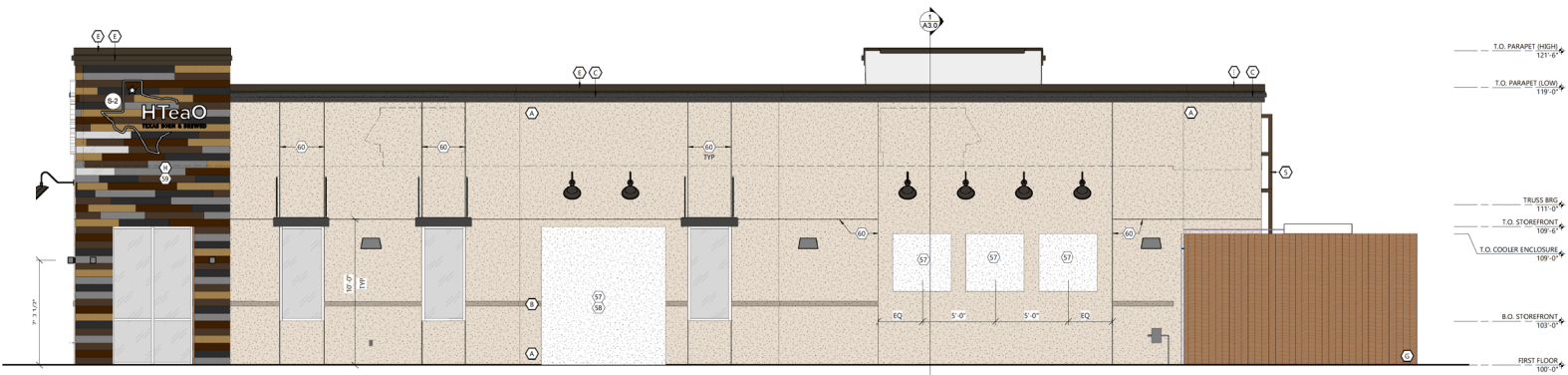
COMPOSITE WOOD SIDING
MANUF: NEWTECHWOOD - ALL WEATHER SIDING
PROFILE: TONGUE & GROOVE US09 (SIZE: 5 1/2" X 1/2")
COLOR: AN EQUAL MIX OF THE FOLLOWING:
• SHOU SUGI BAN JAPANESE CHARRED WOOD (SSG)
• SPANISH WALNUT (SN)
• ARGENTINIAN SILVER GRAY (S)
• BRZILIAN IVY (P)
• PEUYAN TIK (TK)
TRIM BRAZILIAN PE (P)



COMPOSITE WOOD SIDING
RANGE OR REFERENCE ONLY - CONTRACTOR TO SUBMIT PROPOSED COMPOSITE PATTERN TO CONSTRUCTION MANAGER AND FRANCHISE PARTNER FOR APPROVAL



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



AGENDA INFORMATION SHEET

Project Name:

Meeting Date: May 5, 2026

Agenda Item: 5

Conduct a Public Hearing and discuss, consider and act on a request regarding an ordinance for the issuance of a Special Use Permit requested by Take 5 Properties SPV LLC. on behalf of Victory at Hickory Creek, LLC to allow oil change, windshield wiper, air filter services and other ancillary fluid exchanges at 3080 FM 2181, otherwise known as Lennon II Addition, Blk A, Lot 2A, Town of Hickory Creek, Denton County, Texas.

Background:

Take 5 Properties LLC is proposing the issuance of a Special Use Permit for Lot 2A of the Lennon II Addition to be developed into a standalone 1817 square foot business offering oil change and related services. The lot is currently zoned as C-1 Commercial per Ordinance 2020-08-857, Lennon Family PD Ordinance. A previous amendment to Ordinance 2020-08-857 allowing minor repair businesses and other parking and green space conditions in the Lennon II Addition was denied on September 15, 2025. Letters to property owners within 200 feet of lot 2A, Lennon II Addition were mailed April 12th and a sign was placed on the property in accordance with the Code of Ordinances, Chapter 14, Article XXII, Section 5(3) and Article XXXIV Section 2.

Previous Action/Review:

Date	Request	Meeting	Result
8/24/20	Lennon Family PD Ordinance	Town Council	Approved
8/5/24	Lennon II Preliminary Plat	Town Council	Approved
9/15/25	Amendment to ordinance 2020-08-857	Town Council	Denied
5/5/26	Final Plat Lot 2A & 2B	PnZ	
5/11/26	Final Plat Lot 2A & 2B	Town Council	
5/5/26	Special Use Ordinance for Lot 2A	PnZ	
5/11/26	Special Use Ordinance for Lot 2A	Town Council	



Town of Hickory Creek Community Development Services
Development Application

(Incomplete applications will be rejected)

- Amending Plat, Preliminary Plat, Final Plat, Replat, Variance, Zoning Change, Special Use Permit, Site Plan, Preliminary, Final, Landscaping Plan, Other (Specify)

PROJECT INFORMATION (Please complete each field)

- Residential, Commercial, ETJ

Project Name: Take 5 Oil Change Facility Hickory Creek Parcel(s) Tax ID (required) 62461

Project Address: Total Acres: .61

Brief Description of Project: New construction Oil change Facility

Existing Zoning: C-1 # Existing Lots: 1 # Existing Units: 0

Proposed Zoning: C-1/AMEND PD # Proposed Lots: 2 # Proposed Units: 1

APPLICANT / CONTACT INFORMATION

Name: Jamie Ostenson Company: Take 5 Properties SPV LLC

Address: 440 South Church St. Ste. 600 City, State: Charlotte, NC Zip: 28202

Phone: 970-670-0362 Cell #: Fax:

E-Mail Address: jamie.ostenson@drivenbrands.com

PROPERTY OWNER INFORMATION

Name: Company: Victory at Hickory Creek, LLC

Address: 610 S Sherman Street City, State: Richardson, TX Zip: 75081

Phone: 972-707-9555 Cell #: Fax:

E-Mail Address:

- Developer, Engineer, Surveyor

Name: James Glascott Company: WTGroup AEC, LLC

Address: 2000 Center Drive Suite B411 City, State: Hoffman Estates, IL Zip: 60192

Phone: 224-293-6333 Cell #: Fax:

E-Mail Address: jglascott@wtgroupaec.com

By signing this application, Town of Hickory Creek staff or the town's designee is granted access to your property to perform work related to your application. I waive the statutory Time Limits in accordance with Section 212.009 of the Texas Local Government Code. All applicable fees must be paid to the Town of Hickory Creek at the time this application is submitted. I understand the requirements and have read them thoroughly and my statements are true and correct. All submissions must be made a minimum of 21 days prior to the scheduled Planning and Zoning Commission meeting.

Take 5 Properties SPV LLC By: Anthony Winchester, VP-Legal, Real Estate Anthony Winchester See below

Feb 6, 2026

Applicant's Signature

Owner's Signature (notarized)

Date

To the Applicant:

I, Tony Romo (owner), understand the above requirements and have read them thoroughly and my statements are true and correct.

Applicant *[Signature]*

Date 1/29/26

Lien holders (if any) _____

STATE OF TEXAS:

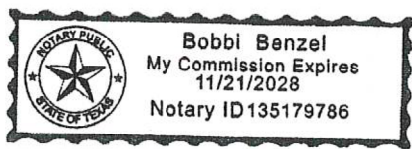
COUNTY OF DENTON:

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Tony Romo, Owner, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this 29 day of January, 2026

[Signature]
Notary Public, in and for the State of Texas

11/21/2028
My Commission Expires On:



TOWN OF HICKORY CREEK, TEXAS
ORDINANCE NO. 2026-05-_____

AN ORDINANCE OF THE TOWN COUNCIL OF HICKORY CREEK, TEXAS, GRANTING A SPECIAL USE PERMIT TO ALLOW OIL CHANGE, WINDSHIELD WIPER, AIR FILTER SERVICES AND OTHER ANCILLARY FLUID EXCHANGES AT 3080 FM 2181, A CERTAIN TRACT OF LAND LEGALLY DESCRIBED AS LENNON II ADDITION, BLK A, LOT 2A, TOWN OF HICKORY CREEK, DENTON COUNTY, TEXAS; PROVIDING THAT SUCH TRACT OF LAND SHALL BE USED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE COMPREHENSIVE ZONING ORDINANCE AND ALL OTHER APPLICABLE ORDINANCES OF THE TOWN AS PROVIDED FOR HEREIN; PROVIDING A CUMULATIVE CLAUSE; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED EACH DAY DURING OR ON WHICH A VIOLATION OCCURS OR CONTINUES; PROVIDING FOR THE TOWN OF HICKORY CREEK TO BRING SUIT IN DISTRICT COURT TO ENJOIN THE PERSON, FIRM, PARTNERSHIP, CORPORATION, OR ASSOCIATION FROM ENGAGING IN THE PROHIBITED ACTIVITY; PROVIDING FOR PUBLICATION; PROVIDING FOR ENGROSSMENT AND ENROLLMENT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Hickory Creek is a Type A General Law Municipality located in Denton County, Texas created in accordance with the provisions of the Texas Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

WHEREAS, Title 7, Chapter 211.003 of the Texas Local Government Code empowers a municipality to, among other things, establish and amend zoning districts, classifications of land use, adopt a comprehensive plan to regulate the use of land and open spaces, adopt and amend zoning regulations, regulate population density, and regulate the use and location of buildings; and

WHEREAS, after public notices were given, legal notices and other requirements were satisfied, and a public hearing was conducted, all in accordance with State law and the Comprehensive Zoning Ordinance of the Town, and after considering the information submitted at that public hearing and all other relevant information and materials, the Planning and Zoning Commission of the Town has forwarded to the Town Council its favorable recommendation regarding the approval of the application for Special Use Permit as set forth in this Ordinance; and

WHEREAS, after public notices were given, legal notices and other requirements were satisfied, and a public hearing was conducted, all in accordance with State law and the Comprehensive Zoning Ordinance of this Town, and after considering the information submitted at that public hearing and all other relevant information and materials, the Town Council finds that such Special Use Permit should be granted; and

WHEREAS, the Town Council deems the adoption of this ordinance in the best interests of the health, safety, and welfare of the public; and

WHEREAS, all constitutional and statutory requirements and prerequisites for the approval of this ordinance have been met, including but not limited to Chapter 211 of the Local Government Code and the Open Meetings Act.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF HICKORY CREEK, TEXAS:

SECTION 1
INCORPORATION OF PREMISES

The above and foregoing premises are true and correct and are incorporated herein and made a part hereof for all purposes.

SECTION 2
FINDINGS

After due deliberations and consideration of the recommendation of the Planning and Zoning Commission and the information and other materials received at the public hearing, the Town Council has concluded that the adoption of this Ordinance is in the best interest of the Town of Hickory Creek, Texas, and of the public health, safety, and welfare.

SECTION 3
SPECIAL USE PERMIT

The Special Use Permit is issued to allow oil change, windshield wiper, air filter services and other ancillary fluid exchanges at 3080 FM 2181, otherwise known as Lennon II Addition, Blk A, Lot 2A, Town of Hickory Creek, Denton County, Texas. If the above-described Special Use Permit is revoked for any reason, the applicant must re-submit an Application for Special Use Permit and obtain approval for same. Furthermore, that the Special Use Permit approved herein shall be issued pursuant to the existing terms, fees, and conditions for Special Use Permits issued by the City of Hickory Creek, Texas.

SECTION 4
APPLICABLE REGULATIONS

Except as otherwise provided in this Ordinance, the Property shall be subject to the applicable regulations contained in the Comprehensive Zoning Ordinance and all other applicable and pertinent ordinances and regulations of the Town, including, but not limited to, the Town's subdivision ordinance, building codes, requirements concerning preliminary and comprehensive site plans, landscape plans, and tree preservation.

SECTION 5
CUMULATIVE

This Ordinance shall be cumulative of all other Ordinances and shall not repeal any of the provisions of such Ordinances except for those instances where there are direct conflicts with the provisions of this Ordinance.

SECTION 6
SAVINGS

All rights and remedies of the Town of Hickory Creek, Texas, are expressly saved as to any and all violations of the provisions of any other Ordinance affecting regulations governing and regulating the zoning of land which have secured at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such Ordinances same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

SECTION 7
SEVERABILITY

If any section, article, paragraph, sentence, clause, phrase, or word in this Ordinance or application thereof to any person or circumstance is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of this Ordinance, and the Town Council hereby declares it would have passed such remaining portions of this Ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

SECTION 8
PENALTY

It shall be unlawful for any person to violate any provision of this Ordinance, and any person violating or failing to comply with any provision hereof shall be fined, upon conviction, in an amount not more than Two Thousand Dollars (\$2,000.00), and a separate offense shall be deemed committed each day during or on which a violation occurs or continues. If the governing body of the Town of Hickory Creek determines that a violation of this Ordinance has occurred, the Town of Hickory Creek may bring suit in district court to enjoin the person, firm, partnership, corporation, or association from engaging in the prohibited activity.

SECTION 9
PUBLICATION

The Town Secretary of the Town of Hickory Creek is hereby directed to publish the Caption, Penalty, and Effective Date of this Ordinance as required by Section 52.011 of the Texas Local Government Code.

SECTION 10
ENGROSSMENT AND ENROLLMENT

The Town Secretary of the Town of Hickory Creek is hereby directed to engross and enroll this Ordinance by copying the exact Caption, Penalty, and Effective Date of this Ordinance in the minutes of the Town Council and by filing this Ordinance in the ordinance records of the Town.

SECTION 11
EFFECTIVE DATE

This ordinance shall become effective from and after its date of adoption and publication as provided by law, and it is so ordained.

PASSED AND APPROVED by the Town Council of the Town of Hickory Creek,
Texas, this 11th day of May, 2026.

Lynn C. Clark, Mayor
Town of Hickory Creek, Texas

ATTEST:

Kristi K. Rogers, Town Secretary
Town of Hickory Creek, Texas

APPROVED AS TO FORM:

Matthew C.G. Boyle, Town Attorney
Town of Hickory Creek, Texas