



**BOROUGH OF HIGHLANDS
LAND USE BOARD MEETING**
151 Navesink Ave. - Court Room
Thursday, July 11, 2024 at 7:00 PM

AGENDA

Please be advised that the agenda as shown may be subject to change. This meeting is a quasi-judicial proceeding. Any questions or comments must be limited to issues that are relevant to what the board may legally consider in reaching a decision and decorum appropriate to a judicial hearing must be maintained at all times.

CALL TO ORDER: *The chair reserves the right to change the order of the agenda.*

PLEDGE OF ALLEGIANCE

OPEN PUBLIC MEETING STATEMENT: *As per requirement, notice is hereby given that this is a Regular Meeting of the Borough of Highlands Land Use Board and all requirements have been met. Notice has been transmitted to the Asbury Park Press and the Two River Times. Notice has been posted on the public bulletin board. Formal Action will be taken.*

ROLL CALL

OPEN FOR PUBLIC COMMENTS: *General Questions or Comments not pertaining to Applications*

APPROVAL OF MINUTES

1. June 13, 2024 LUB Meeting Minutes

HEARINGS ON OLD BUSINESS

2. LUB2022-04: Kirsh - 9 Fifth St., B57 Ls8 & 9
3. LUB2022-10: Home & Land - 14 & 32 North Peak, B35 Ls 8 & 9

ADJOURNMENT

Board Policy: • All meetings shall adjourn no later than 10:00 P.M. unless a majority of the quorum present at said hour vote to continue the meeting to a later hour. • No new hearing shall commence after 9:15 P.M. unless the Chairperson shall rule otherwise. • The Chair may limit repetitive comments or irrelevant testimony and may limit the time or number of questions or comments from any one citizen to ensure an orderly meeting and allow adequate time for members of the public to be heard.



Roberts
ENGINEERING GROUP LLC
Women Business Enterprise Certified

1670 Whitehorse-Hamilton Square Rd.
Hamilton, New Jersey 08690
609-586-1141 fax 609-586-1143
www.RobertsEngineeringGroup.com

June 14, 2024

Nancy Tran
Land Use Board Secretary
Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, New Jersey 07732

Re: Completeness Review No. 4
Applicant: Kirsh Kraft, LLC
Nine 5th Street
Block 57, Lots 8 & 9
Borough of Highlands, Monmouth County, New Jersey
Our File No.: HLPB2022-04

Dear Ms. Tran:

I am following up on the above referenced application and the testimony provided by the applicant at the Board meeting held on June 13, 2024.

The Applicant seeks a Minor Subdivision to reconfigure existing Lot 8 and Lot 9 in the R-2.02 Single Family Residential District. Existing Lot 8 and Lot 9 consist of 603.60 sf and 4,827.70 sf, respectively. Lot 8 has an empty unlivable dwelling; Lot 9 has a shed and both buildings are to be removed from the lots. Utility services are available for both lots. Proposed Lot 8.01 and Lot 9.01 are 2,913 sf and 2,618 sf, respectively. The existing lots are non-conforming, and the proposed lots will require bulk variances. The Applicant received a Zoning Denial Letter, dated May 13, 2022. A Notice of Unsafe Structure was issued on April 12, 2024, for Lot 8, by the Construction Department.

The Applicant has satisfied many of the comments outlined within our previous review letters dated February 20, 2024 and May 9, 2024. I am specifically writing in regard to two outstanding issues as follows that are the result of the Board hearing and testimony provided on June 13, 2024:

1. CHECKLIST ITEMS

As you know, my office notified the Board on June 13, 2024, prior to the hearing, that the applicant did not satisfy the checklist item related to a wetlands statement by a qualified expert. As noted in my May 9, 2024 letter:

A wetlands statement provided by a qualified expert.

It has been recommended by Mr. Herrman during the application process that a simple letter stating, "We have reviewed the State's GeoWeb mapping and performed a site review to confirm that there are no regulated freshwater wetlands or buffers impacting the property," would suffice in completing this checklist item.

A signed letter by a qualified expert is required.

- a. **The Applicant has indicated that a signed letter from a wetland expert will be provided prior to the hearing.**

This is acceptable and the letter is a condition of approval.

- b. **The Applicant has provided General Note No 8 on the plan and is stated, "Pursuant to NJDEP Geo-Web, no wetlands exist onsite."**

The plan note is incomplete. Please follow the statement provided by Mr. Herrman.

As discussed during the hearing, submission of the required letter by a qualified wetlands expert must be submitted prior to the next hearing. The Board agreed that a vote will not be held until this item is submitted and approved.

2. ADDITIONAL COMMENTS

Additional testimony was provided during the June 13, 2024 hearing in regard to the encroachment of the existing structure on adjoining Lot 5.

As previously noted, a survey by Seneca Survey Co., Inc. dated August 15, 2016 found that the dwelling on Lot 5 had a maximum encroachment of 1.5-ft. The Minor Subdivision Plan prepared by WJH Engineering, last revised April 5, 2024 indicates a maximum encroachment of approximately 7.2-ft.

During the testimony provided on June 13, the applicant proposed an easement to encompass the encroachment which would include a condition that future improvements/development on Lot 5 be relocated off of proposed Lot 8.01.

While this appears to be a reasonable method for dealing with the encroachment, I recommend that a condition of approval be included which requires an agreement being made between the property owner at Lot 5 and the applicant prior to filing the subdivision.

Should you have any questions, please do not hesitate to contact me.

Very truly yours,

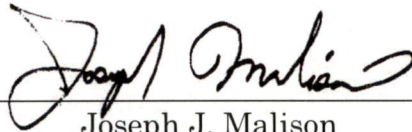


Carmela Roberts, P.E., C.M.E., C.P.W.M.
Land Use Board Engineer

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)
Austin P. Mueller, Assoc., Land Use Board Attorney (amueller@weiner.law)
Courtney Lopez, Zoning Officer (clopez@highlandsborough.org)
Walt Hopkin, P.E., Applicant's Engineer (whopkin@wjhengineering.com)
Henry F. Wolff, III, Esq., Applicant's Attorney (hfw@lawwolff.com)
Cameron Corini, P.E., C.M.E., C.P.W.M., Roberts Engineering Group, LLC
GS Bachman, E.I.T., Roberts Engineering Group, LLC

WETLANDS STATEMENT
FOR
LOT 8 & 9 - BLOCK 57
BOROUGH OF HIGHLANDS
MONMOUTH COUNTY, NEW JERSEY
June 24, 2024

Prepared by:



Joseph J. Malison
Project Manager

RECEIVED
JUN 27 2024
By _____

WJH Engineering was retained to perform a field inspection of Block 57 Lots 8 & 9 located within the Borough of Highlands in order to determine if there is the presence of wetlands on the subject lot that would require a NJDEP Permit for any proposed disturbances.

Wetlands regulated by the N.J.D.E.P. are defined as follows:

“Freshwater wetland or wetland means an area that is inundated or saturated by surface water or groundwater at a frequency and duration sufficient to support, and that under normal circumstances does support, a prevalence of vegetation typically adapted for life in saturated soil conditions, commonly known as hydrophytic vegetation; provided, however, that the Department, in designating a wetland, shall use the three-parameter approach (that is, hydrology, soils and vegetation) enumerated in the April 1, 1987 interim-final draft “Wetland Identification and Delineation Manual” developed by the United States Environmental Protection Agency (U.S.E.P.A.) and any subsequent amendments thereto” (New Jersey Register June 6, 1988 R.1988d.267 N.J.A.C. 7:7A).

Pursuant to this definition, wetlands are identified as areas that exhibit all three (3) of the following parameters:

1. *Wetland Vegetation* (Hydrophytes)
2. *Hydric Soils*
3. *Hydrology* - the degree of flooding or soil saturation as described below.

1. **Vegetation** - First, wetlands are sites that have hydrophyte species as their predominant plants. U.S. Fish and Wildlife Service (U.S.F.W.S.) has developed a classification scheme that assigns species to habitat classes according to the following rules:

<i>PLANT AFFINITY FOR WETLAND CONDITIONS</i>	
Classification	% Occurrence in Wetlands
Obligate (OBL)	> 95
Facultative Wet (FACW)	66-95
Facultative (FAC)	33-66
Facultative Upland (FACU)	1-33

Wetlands are identified as those areas that are dominated by obligate (OBL), facultative wet (FACW), and facultative (FAC+ and FAC) species.

The following plants and affinity to wetlands were noted: Four (4) 12” to 18” Dia. Sugar Maples (*Acer saccharum*) Uplands, English Ivy (*Hedera helix*) (FACU), Plantain, (FACU), Carrot Grass (Uplands), Crab Grass, (FACU), Greenbriar, (FAC), Aster, (FAC), Honeysuckle, (FACU), Virginia creeper (UP), Fescues, (Uplands), Clover, (FACU). The plant species identified on site do not correspond to a wetlands affinity condition therefore not addressing the wetland parameter.

2. **Soils:** Second, sites must have as their predominant substrates soils that exhibit hydric characteristics, as defined by the N.J.D.E.P. as follows:

“Hydric Soils” means a soil that in it’s undrained condition is saturated, flooded, or ponded long enough during the growing season to develop anaerobic conditions that favor the growth and regeneration of hydrophytic vegetation. The soil mapped onsite by the Monmouth County Soil Survey is a Tinton Loamy Sand soil with a Seasonal High Water Table of six (6) feet or greater. Wetlands have to occur in the layers from the surface to within 12 inches, therefore this wetlands condition or parameter does not exist.

3. **Hydrology:** Third, wetland areas must also meet the criteria for wetland hydrology. The sites must have a seasonal high water table within twelve (12) inches of the soil surface and/or be seasonally saturated or inundated at least

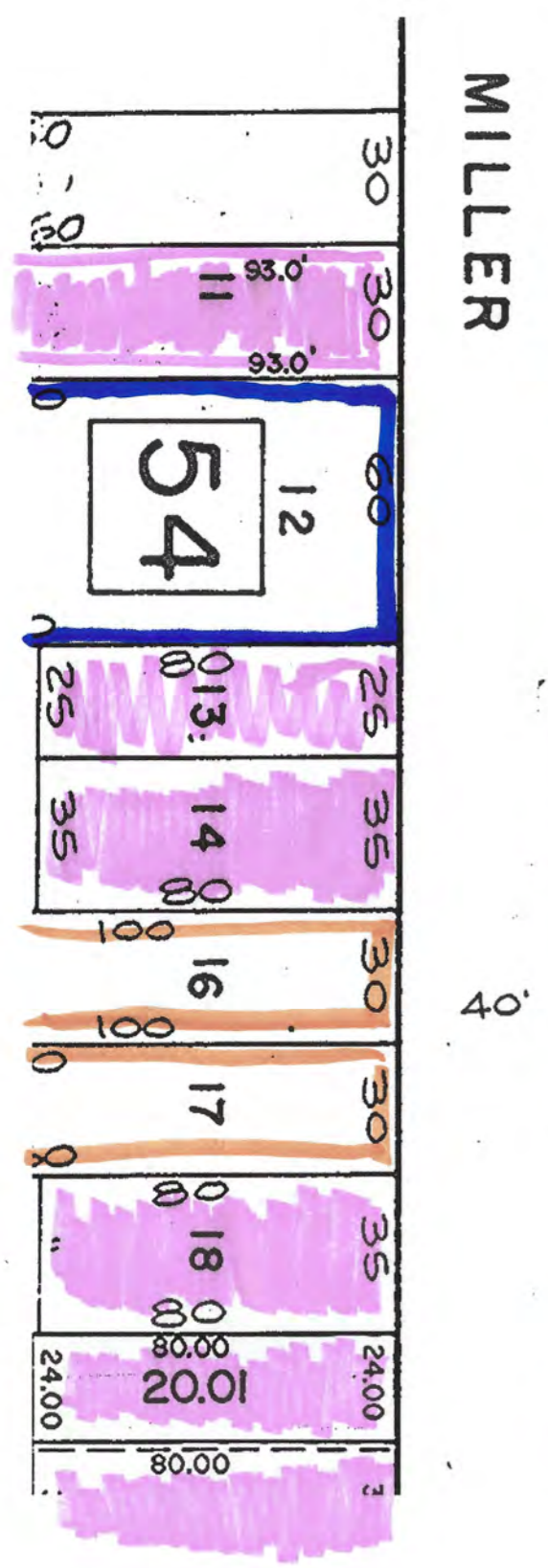
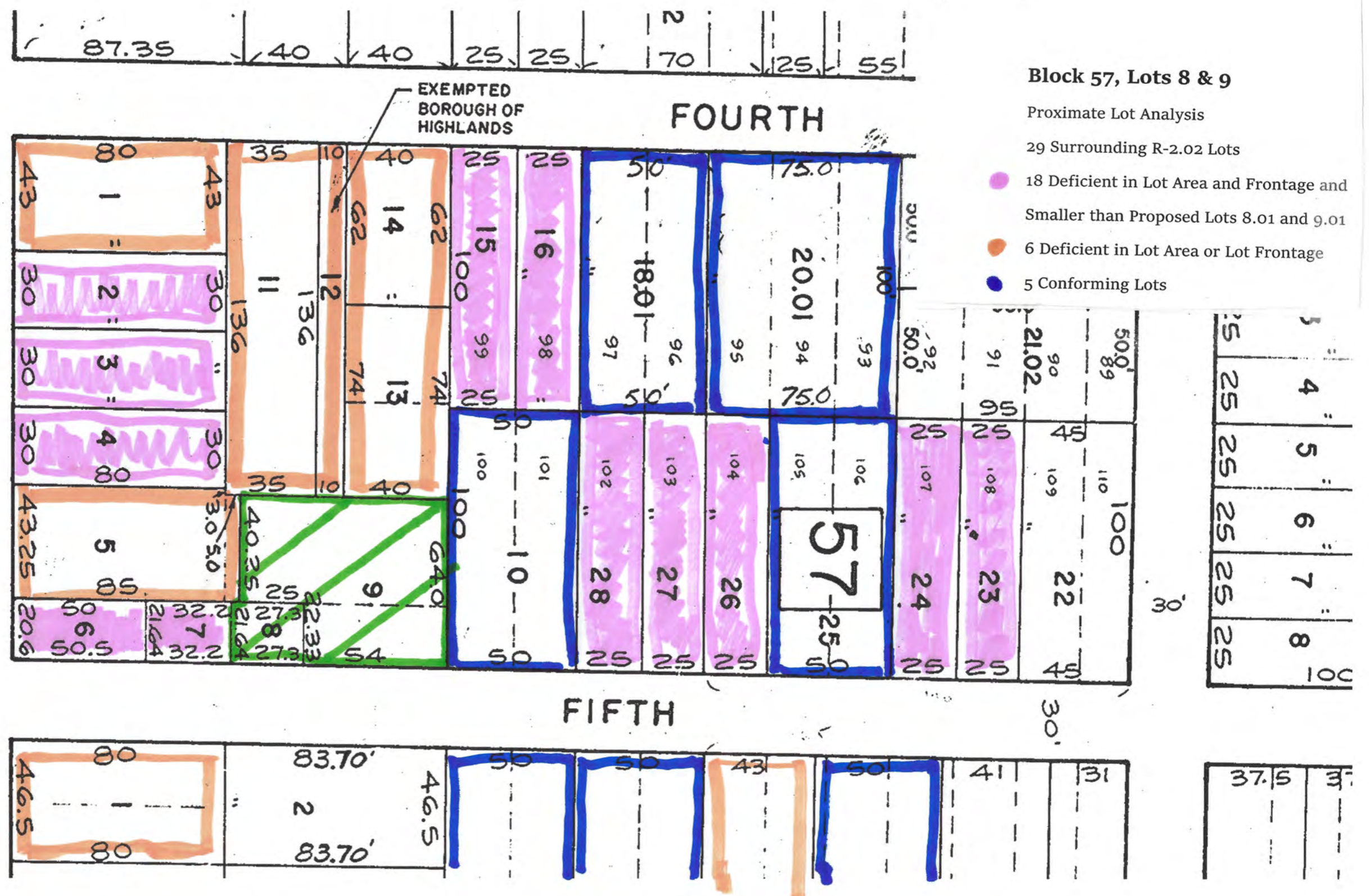
12.5 percent of the growing season. Wetland indicator characteristics for hydrology may also be used and they include drainage patterns, depressions, ponding, drift lines, watermarks, surface water or streams, etc. The site has adequate slopes that conveys any surface water from the curblineline to the rear of the site which is approximately two (2) feet lower in elevation and continues to slope toward 2nd street. The site does not address the hydrological parameter for wetlands.

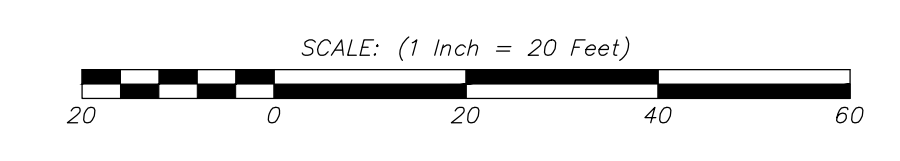
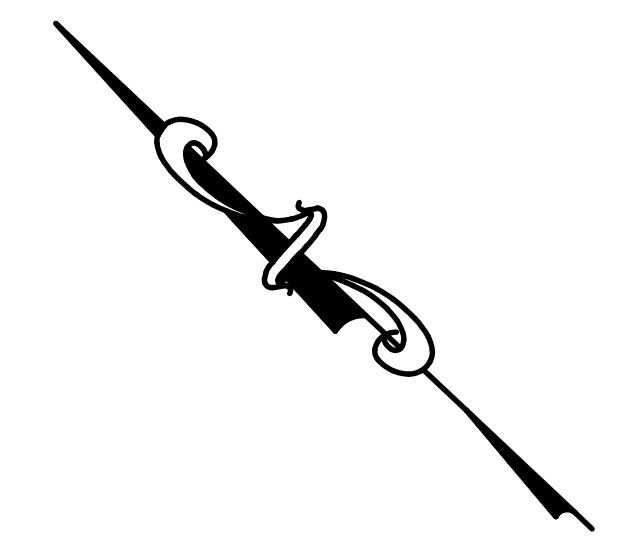
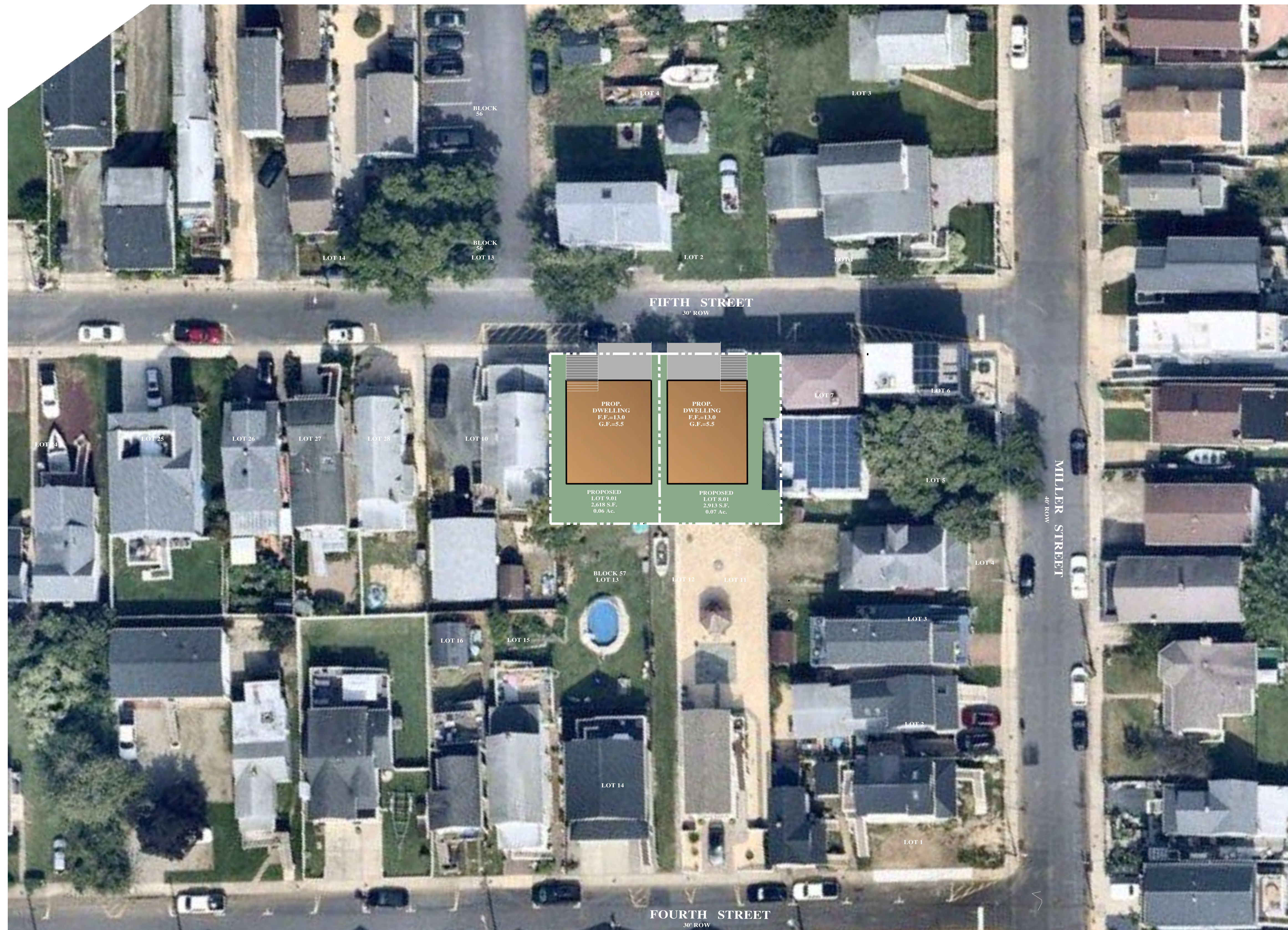
In summary the wetlands investigation presented in this statement is a preliminary study of the soils, vegetation and hydrology of the site, performed on June 24, 2024. It is the opinion of this office that a wetlands condition does not exist on the subject parcel since none of the three (3) required parameters were noted and a NJDEP Permit would not be required for any future site disturbances.

Block 57, Lots 8 & 9

Proximate Lot Analysis
29 Surrounding R-2.02 Lots

- 18 Deficient in Lot Area and Frontage and Smaller than Proposed Lots 8.01 and 9.01
- 6 Deficient in Lot Area or Lot Frontage
- 5 Conforming Lots



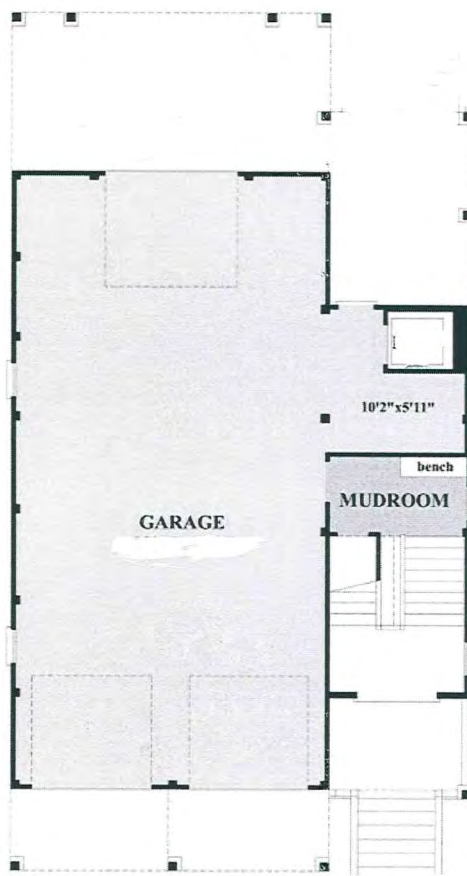
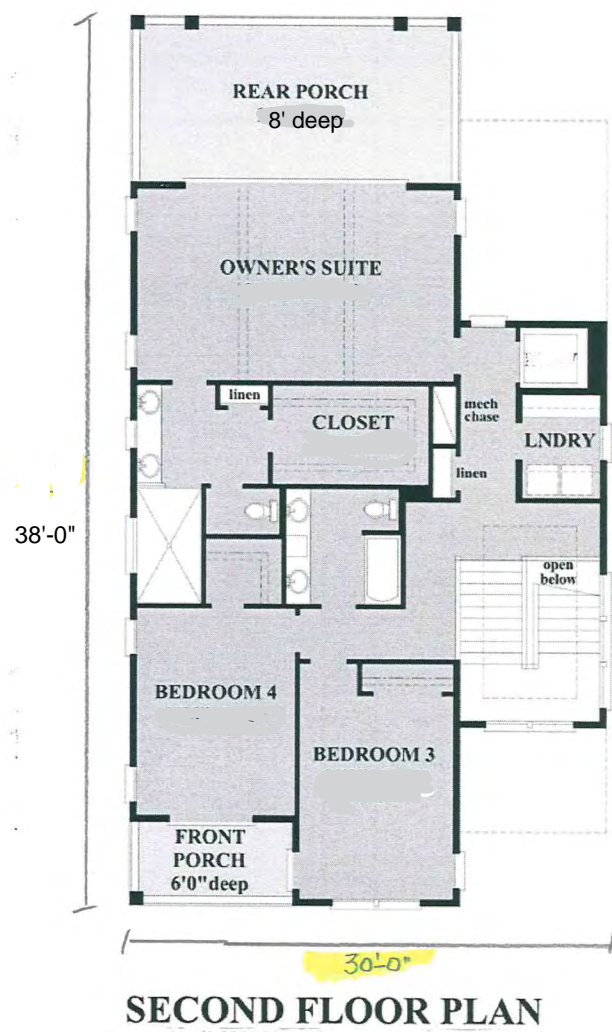
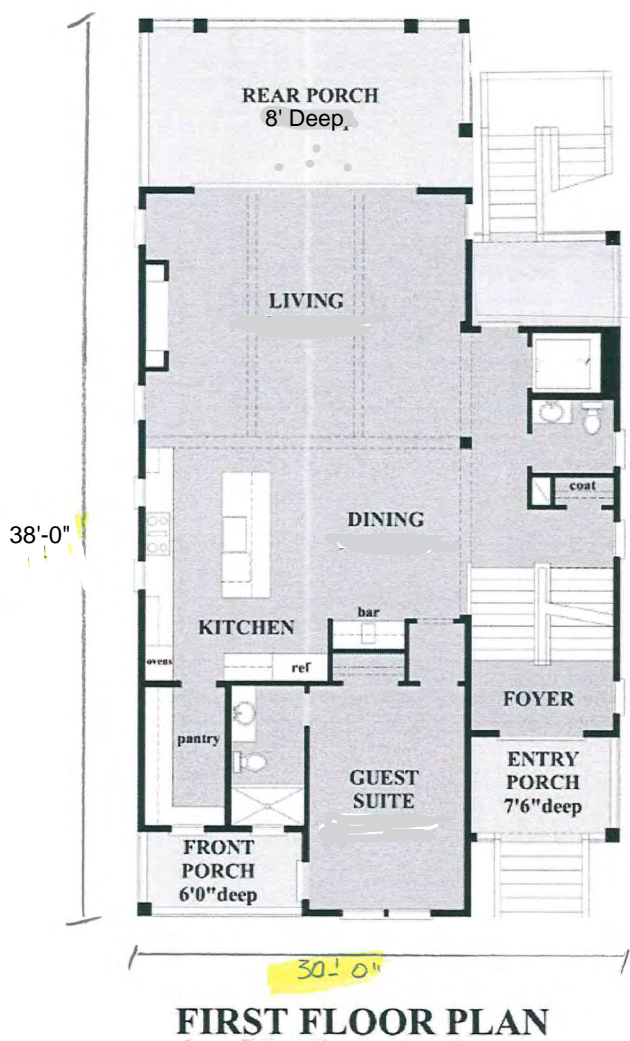


**MINOR SUBDIVISION PLAN
OF
LOTS 8 - 9 BLOCK 57
BOROUGH OF HIGHLANDS
MONMOUTH COUNTY, NJ**



CERT. OF AUTH. NO. 24GA28117300
257 MONMOUTH ROAD, BLDG. A, STE. 7, OAKHURST, NJ 07755
PHONE - 732-223-1313

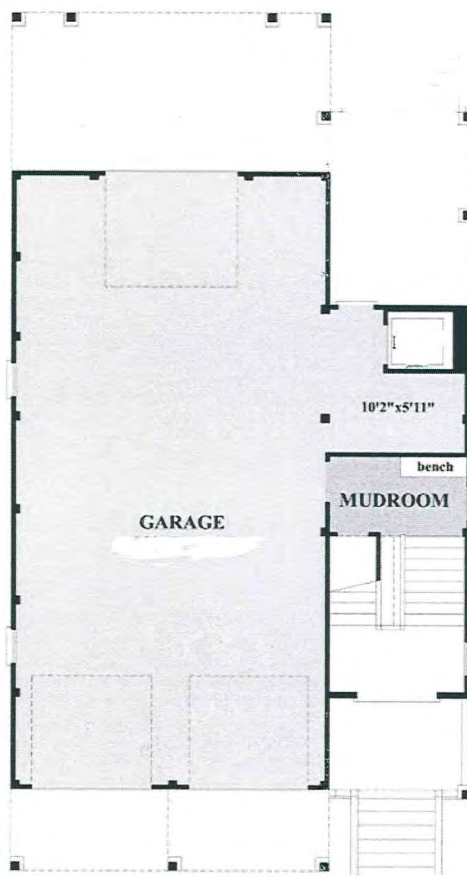
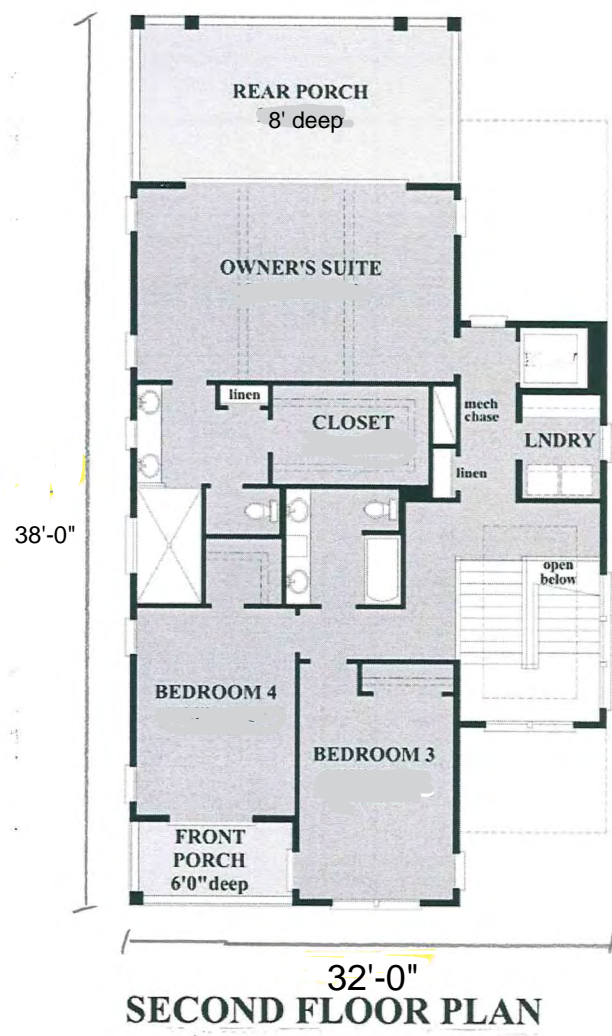
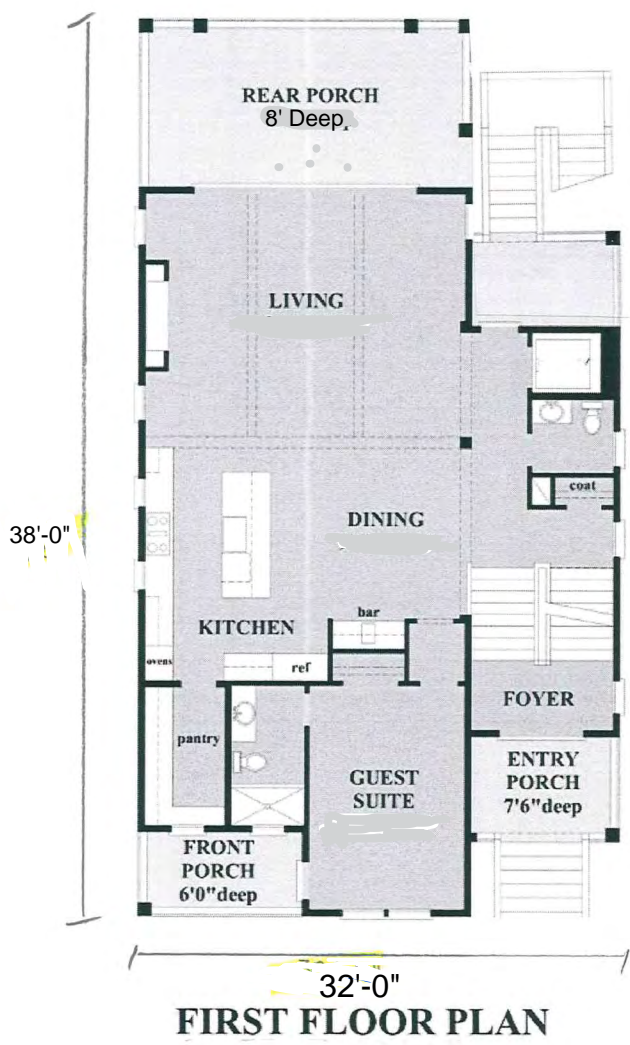
DRAWN BY: JFB DATE: 1/29/24 JOB NO.: 23203 SHEET NO.: 1 OF 1



Kirsh Kraft, LLC
Nine 5th Street
Borough of Highlands

Block 57, Lots 8 & 9
Minor Subdivision
Proposed Two Story 30'-0" x 38'-0"

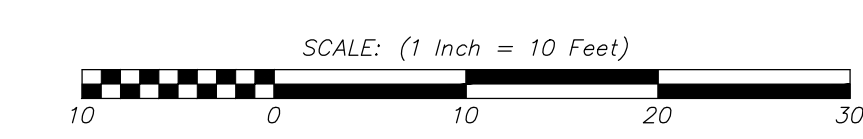
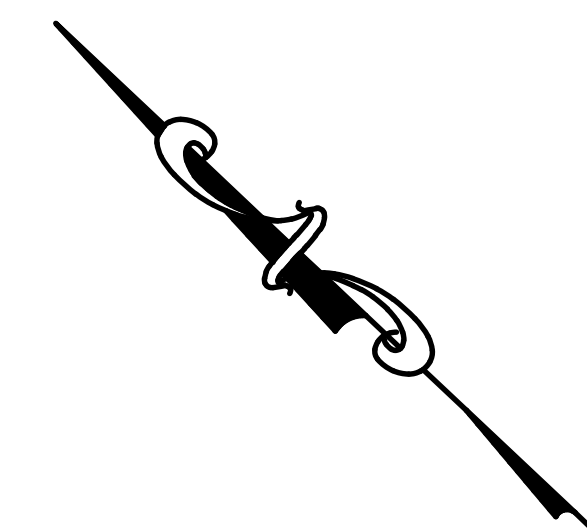
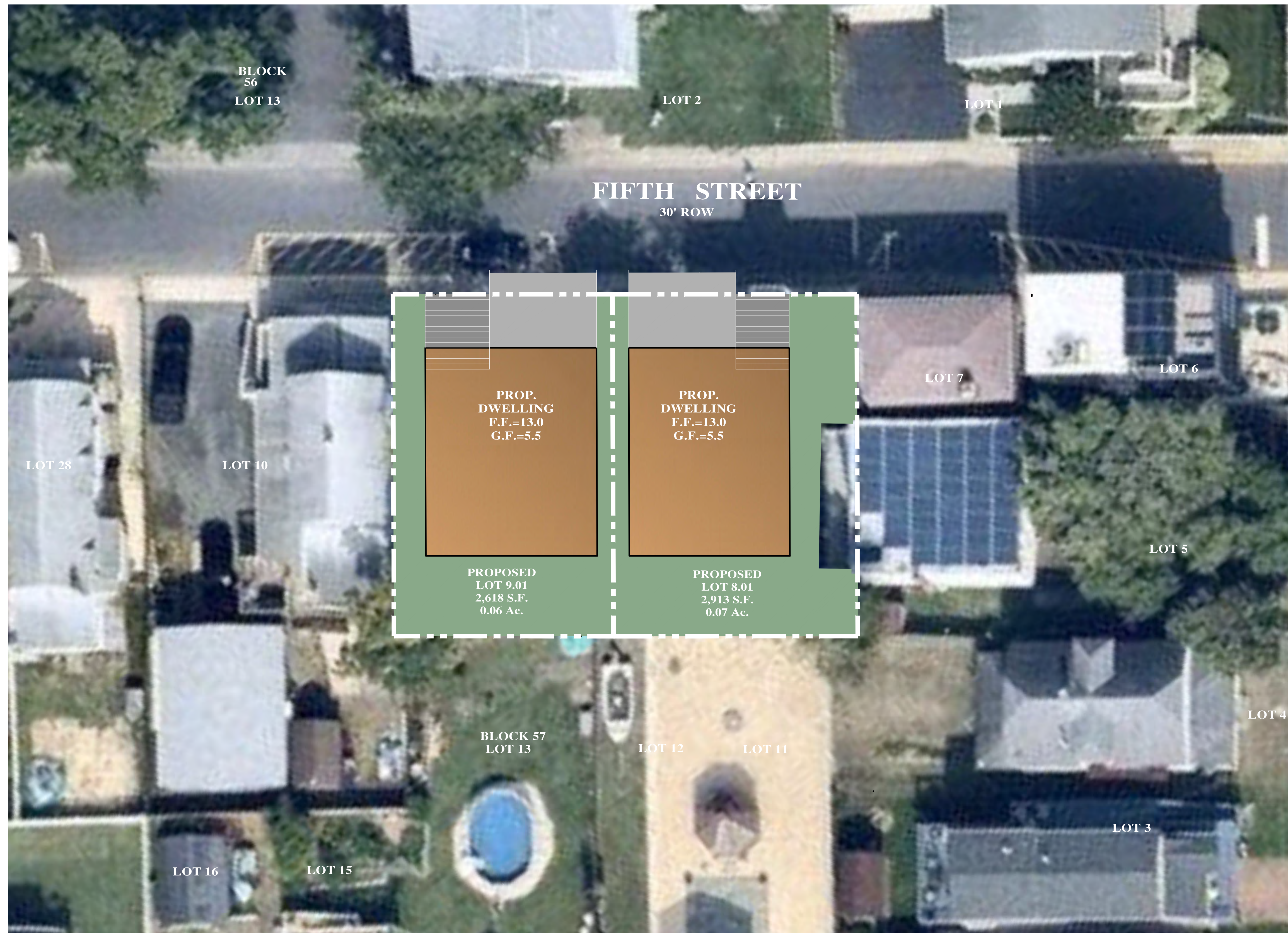
GROUND FLOOR PLAN



Kirsh Kraft, LLC
Nine 5th Street
Borough of Highlands

Block 57, Lots 8 & 9
Minor Subdivision
Proposed Two Story: 32'-0" - 38'-0"

GROUND FLOOR PLAN



**MINOR SUBDIVISION PLAN
OF
LOTS 8 - 9 BLOCK 57
BOROUGH OF HIGHLANDS
MONMOUTH COUNTY, NJ**



CERT. OF AUTH. NO. 24GA28117300
257 MONMOUTH ROAD, BLDG. A, STE. 7, OAKHURST, NJ 07755
PHONE - 732.223-1313

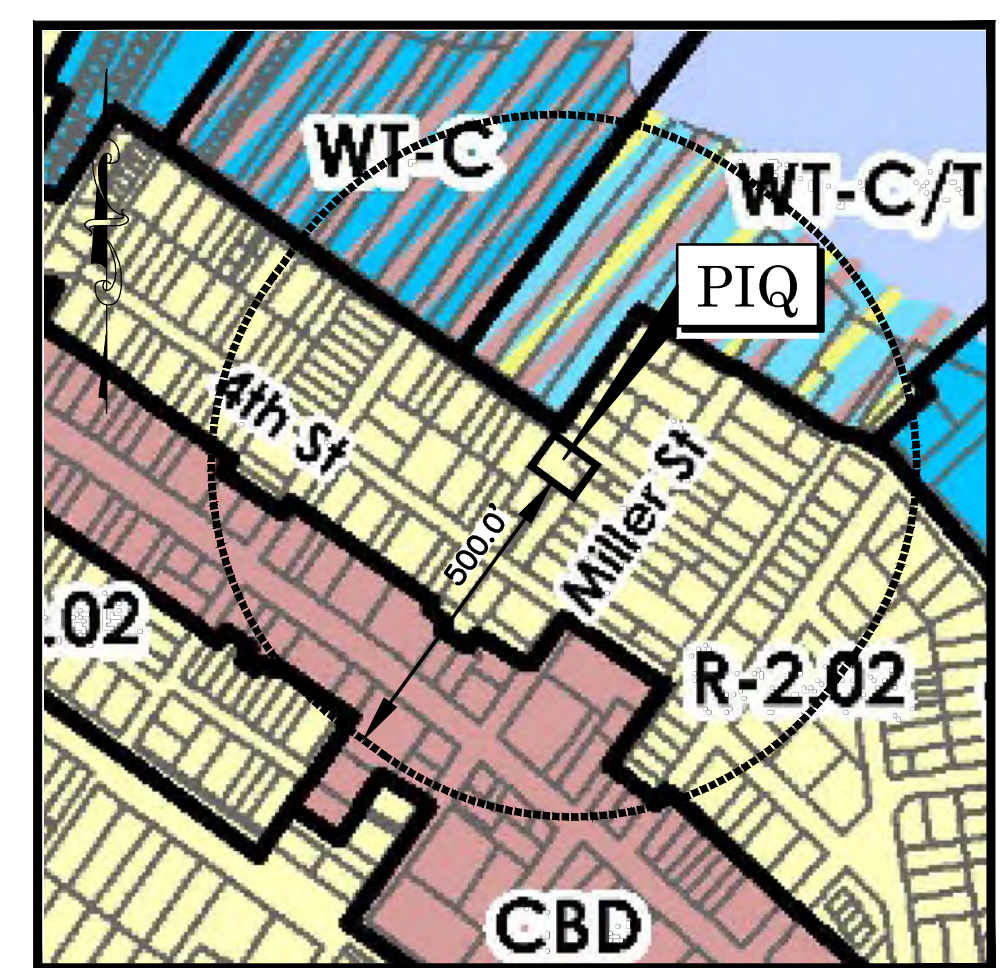
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200' ADJOINING OWNERS

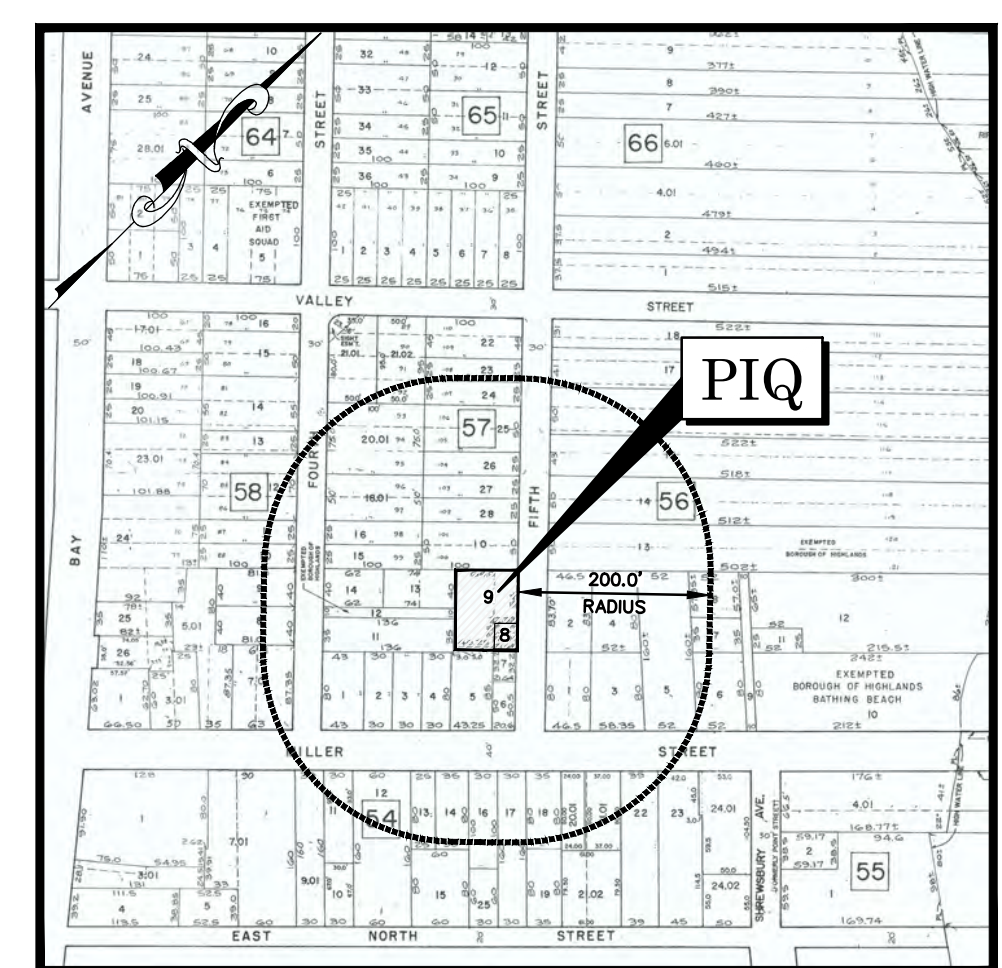
Table listing adjacent owners with columns for Block/Lot, Current Owner, Mailing Address, and Township/City. Includes names like GOOD NEIGHBORS LLC, BOROUSH OF HIGHLANDS, etc.

GENERAL NOTES:

- OWNER (LOT 8) - TREVOR KIRSH
OWNER (LOT 9) - KIRSH KRAFT, LLC
APPLICANT - KIRSH KRAFT, LLC
1. THE PROPERTY IS KNOWN AS LOTS 8 & 9, BLOCK 57 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY.



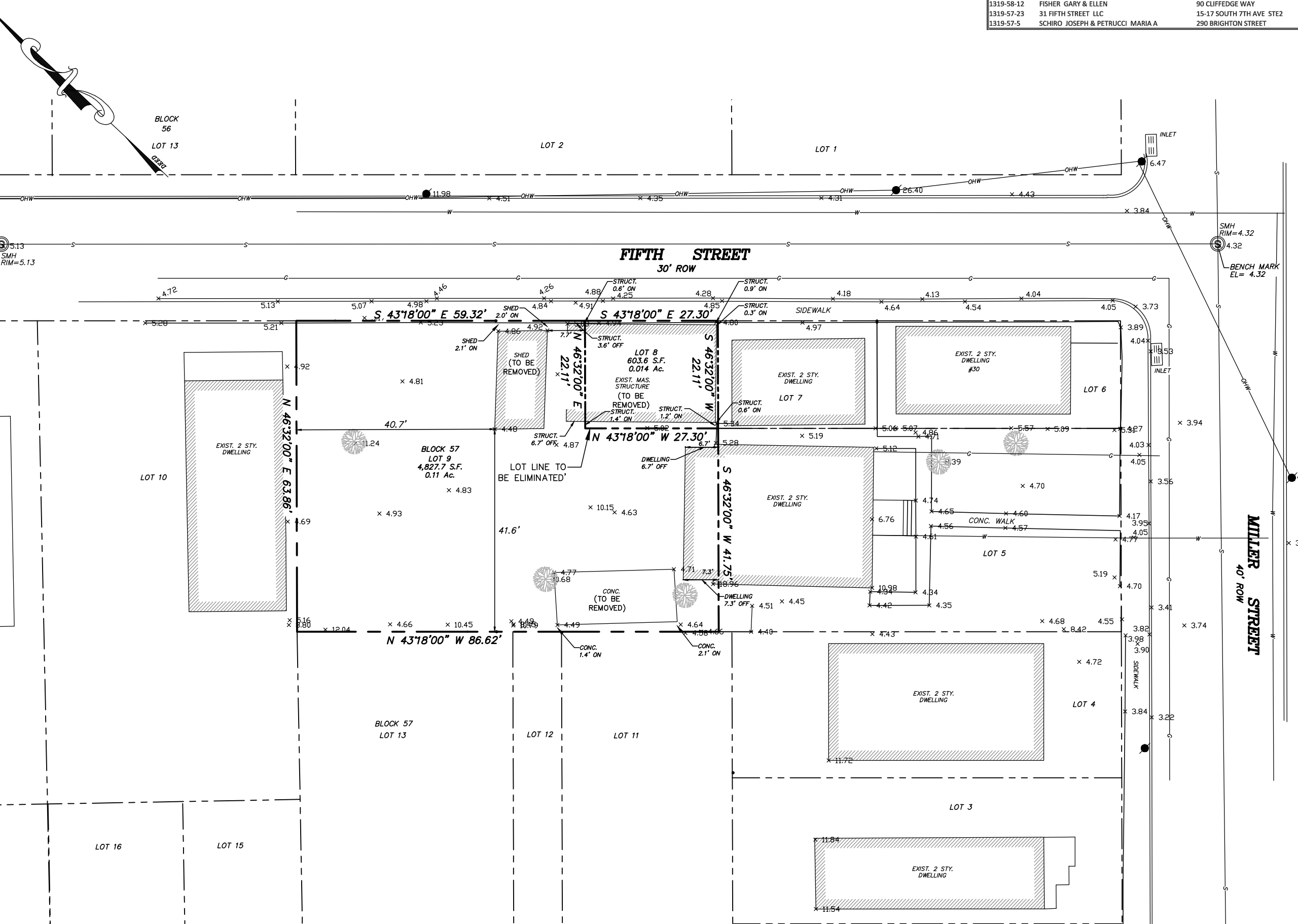
ZONE MAP
SCALE: 1"=300'



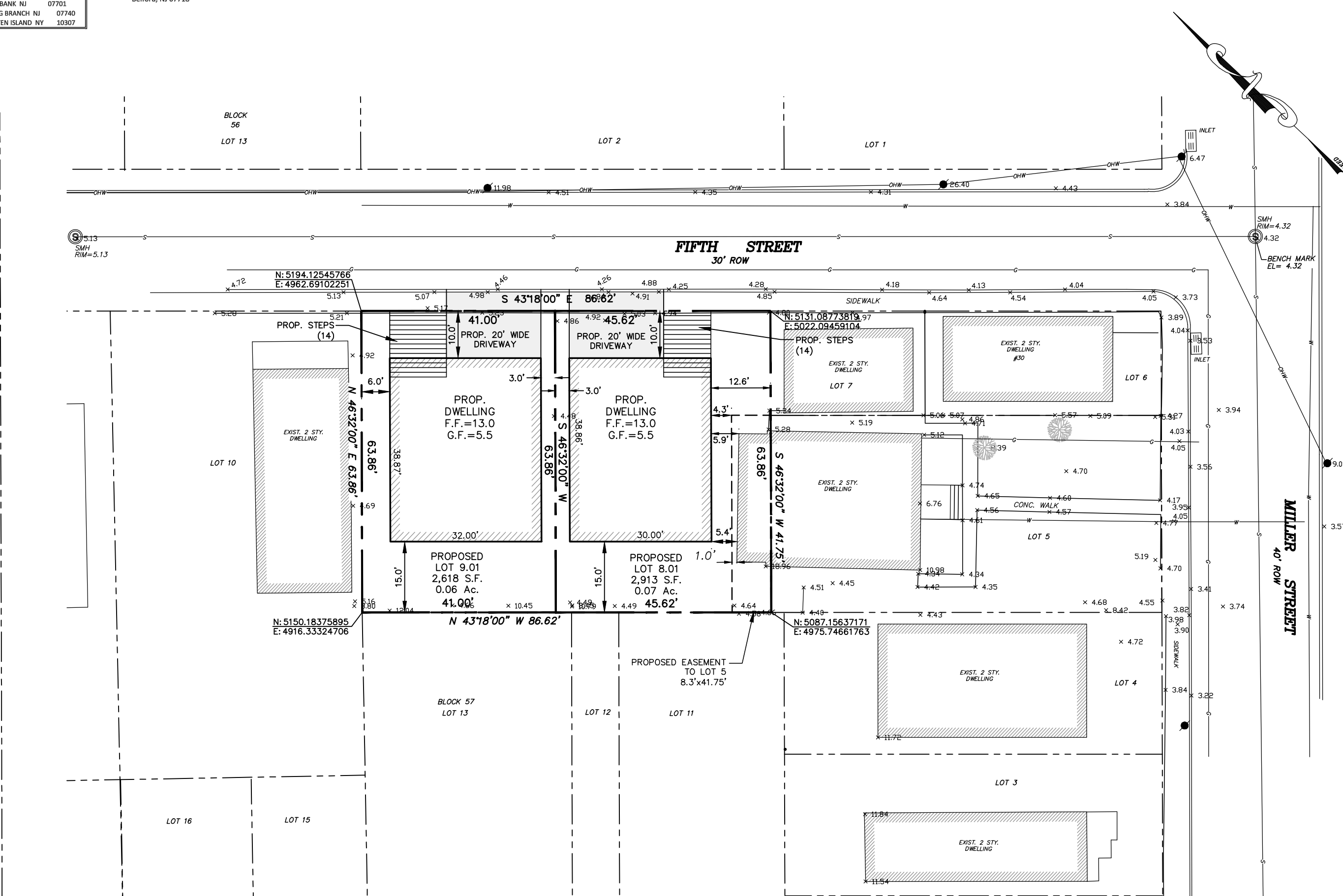
TAX MAP
SCALE: 1"=200'

ZONING TABLE
R-2.02 SINGLE FAMILY RESIDENTIAL ZONE DISTRICT
Columns: REQUIRED, EXISTING LOT 8, EXISTING LOT 9, PROPOSED LOT 8.01, PROPOSED LOT 9.01

** PRE-EXISTING NON-CONFORMITY
* PROPOSED VARIANCE CONDITION



EXISTING CONDITIONS

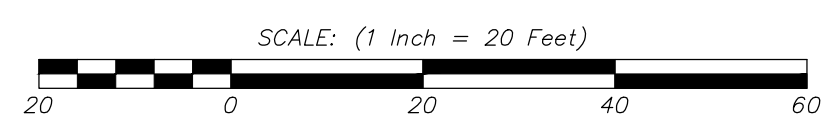


MINOR SUBDIVISION

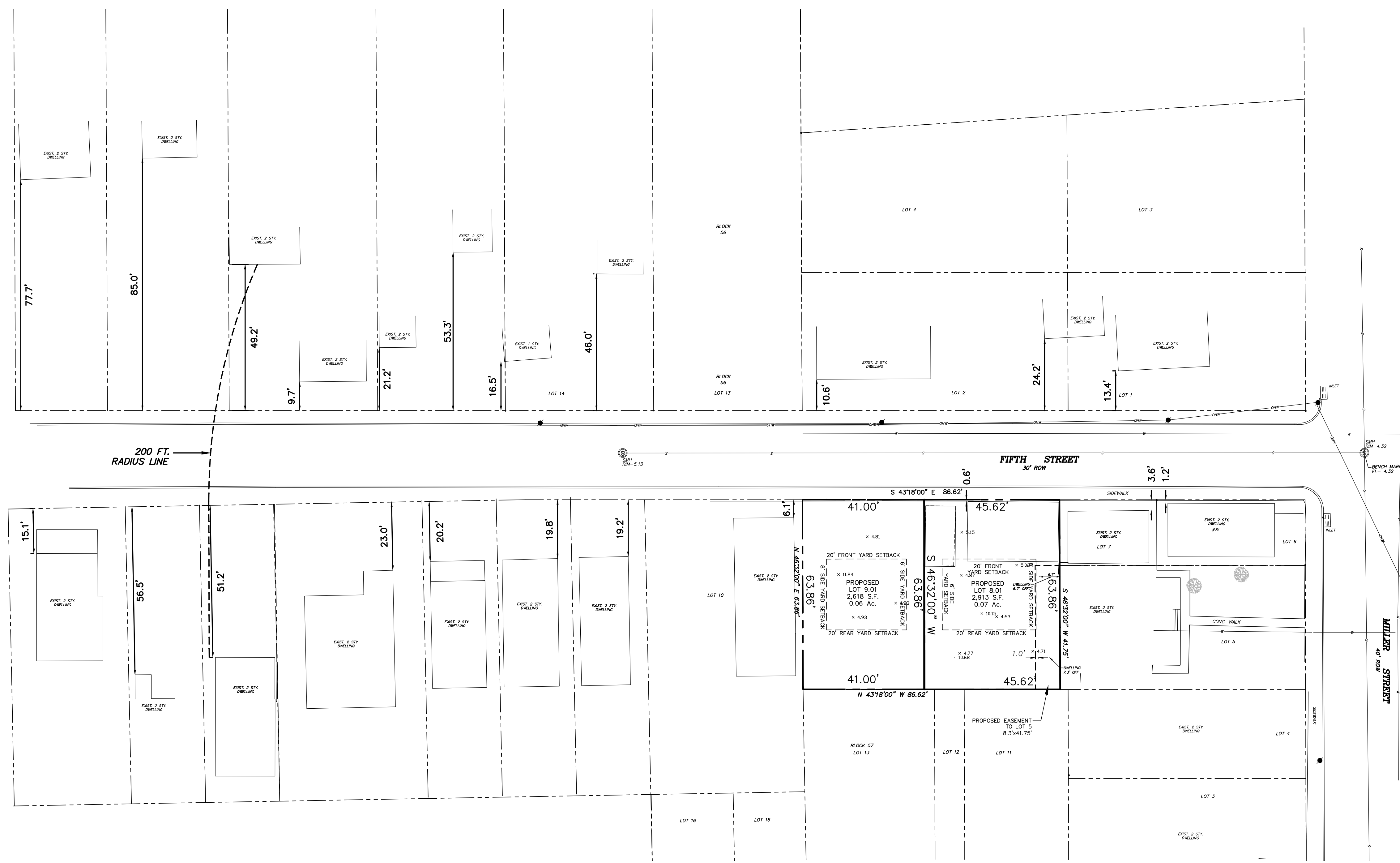
LEGEND
OWNER (LOT 8) DATE
OWNER (LOT 9) DATE
NOTARY PUBLIC DATE
MUNICIPAL CLERK DATE
BOROUGH ENGINEER DATE

THE UNDERSIGNED INDIVIDUAL HEREBY DECLARES THAT HE IS THE OWNER OF THE LAND DELINEATED HEREON, AND HEREBY CONSENTS TO THE FILING OF THE OFFICE OF THE CLERK IN THE COUNTY OF MONMOUTH.
I CERTIFY THAT THIS MAP COMPLIES WITH THE PROVISIONS OF P.L. 1960, c.141...

CHAIRMAN
SECRETARY
I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND MINOR SUBDIVISION PREPARED BY RICHARD E. STOCKTON & ASSOC., INC. DATED 1/12/21, LAST REVISED 8/3/21 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS...



MINOR SUBDIVISION PLAN
LOTS 8 & 9, BLOCK 57
BOROUGH OF HIGHLANDS MONMOUTH COUNTY NEW JERSEY
WJ ENGINEERING
PETER P. BENNETT III
N.J. PROFESSIONAL LAND SURVEYOR, LIC. No. 40651

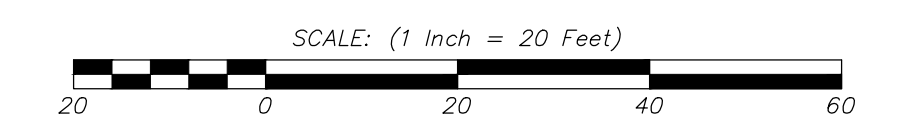


GENERAL NOTES:

- OWNER/APPLICANT- HENRY F. WOLFF, III
79 FIRST AVENUE
ATLANTIC HIGHLANDS, NJ 07716
1. THE PROPERTY IS KNOWN AS LOTS 8 & 9, BLOCK 57 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY.
 2. OUTBOUND AND EXISTING CONDITIONS INFORMATION DEPICTED HEREON TAKEN FROM A PLAN ENTITLED "MINOR SUBDIVISION PLAN FOR LOT LINE ADJUSTMENT" PREPARED BY RICHARD E. STOCKTON & ASSOC., INC., DATED 1/12/21, LAST REVISED 8/3/21.
 3. EXISTING USE: SINGLE FAMILY RESIDENTIAL.
 4. PROPOSED USE: SINGLE FAMILY RESIDENTIAL.
 5. THIS SITE IS LOCATED WITHIN FLOOD ZONE AE, EL. 11, SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY 1% ANNUAL CHANCE FLOOD, PER FLOOD INSURANCE RATE MAP (FIRM) #34025C0088H, EFFECTIVE DATE JUNE 15, 2022.
 6. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC.. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
 7. THIS PLAN HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS PLAN SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
 8. PURSUANT TO N.J.E.P. GEOWEB, NO WETLANDS EXIST ONSITE.

ZONING TABLE					
R-2.02 SINGLE FAMILY RESIDENTIAL ZONE DISTRICT					
	REQUIRED	EXISTING LOT 8	EXISTING LOT 9	PROPOSED LOT 8.01	PROPOSED LOT 9.01
MIN. LOT AREA	4,000 S.F.	**603.60 S.F.	4,827.70 S.F.	*2,913 S.F.	*2,618 S.F.
MIN. LOT FRONTAGE	50 FT.	**27.30 FT.	59.52 FT.	*45.62 FT.	*41.00 FT.
MIN. LOT WIDTH	50 FT.	**27.30 FT.	59.52 FT.	*45.62 FT.	*41.00 FT.
MIN. LOT DEPTH	75 FT.	**22.11 FT.	**63.86 FT.	*63.86 FT.	*63.86 FT.
MIN. FRONT YARD SETBACK	20 FT.	**0.6 FT.	**2.0 FT.	N/A	N/A
MIN. SIDE YARD SETBACK	6/8 FT.	**0.3/-3.6 FT.	7.3/40.7 FT.	N/A	N/A
MIN. REAR YARD SETBACK	20 FT.	**1.2 FT.	41.6 FT.	N/A	N/A
MAX. BUILDING HEIGHT	30 FT.	< 35 FT.	< 35 FT.	N/A	N/A
MAX. BUILDING COVERAGE	33%	**89.28%	9.74%	N/A	N/A
MAX. LOT COVERAGE	75%	**89.28%	15.25%	N/A	N/A

** PRE-EXISTING NON-CONFORMITY
* PROPOSED VARIANCE CONDITION



- LEGEND**
- GAS VALVE
 - WATER VALVE
 - WATER METER
 - UTILITY MANHOLE
 - DRAINAGE MANHOLE
 - ELECTRICAL MANHOLE
 - SANITARY MANHOLE
 - TELEPHONE MANHOLE
 - TRAFFIC SIGN
 - STREET SIGN (2 POST)
 - STREET SIGN
 - LIGHT POST
 - UTILITY POLE
 - FIRE HYDRANT
 - DRAINAGE INLET (TYPE "A")
 - DRAINAGE INLET (TYPE "B")
 - DRAINAGE INLET (TYPE "C")
 - DRAINAGE LINE
 - ELECTRIC LINE
 - GAS LINE
 - SANITARY SEWER LINE
 - TELEPHONE LINE
 - WATER LINE
 - OVERHEAD WIRES
 - MONITORING WELL
 - IRON PIPE FOUND
 - CAPPED REBAR FOUND
 - CONCRETE MONUMENT FOUND
 - SURVEY
 - FILE MAP
 - GAS METER
 - DEPRESSED CURB
 - FLUSH CURB
 - SOIL BORING LOCATION
 - PHOTOGRAPH LOCATION

NO.	DATE	DESCRIPTION	DRAWN BY

MINOR SUBDIVISION PLAN
OF
LOTS 8 & 9, BLOCK 57
BOROUGH OF HIGHLANDS MONMOUTH COUNTY NEW JERSEY

PREVAILING SETBACK EXHIBIT

PETER P. BENNETT III
N.J. PROFESSIONAL LAND SURVEYOR, LIC. No. 40651

WJH ENGINEERING
CERT. OF AUTH. NO. 246A28117300
257 MONMOUTH ROAD,
BLDG. A, STE. 7,
OAKHURST, NJ 07755
PHONE: 732-223-1313
WWW.WJHENGINEERING.COM

SCALE: 1"=20'	DRAWN BY: JFB	DATE: 1/29/24	JOB No.: 23203	SHEET No.: 1 of 1
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Borough of Highlands
42 Shore Drive
Highlands, NJ 07732
(732) 872-1224
www.highlandsborough.org

LAND USE BOARD APPLICATION

FOR OFFICIAL USE
Date Rec'd: 06/01/2022 Application #: LUB2022-04 Fee: _____ Escrow: \$2,700

1. APPLICANT

Name: Kirsh Kraft, LLC
Address: 11 Marine Place, B
City: Long Branch State: NJ Zip: 07740
Phone: 732-291-9000
Email: hfw@lawwolf.com
Relation to property: _____

2. OWNER

Name: Kirsh Kraft, LLC
Address: 11 Marine Place
City: Long Branch State: NJ Zip: 07740
Phone: 732-291-9000
Email: hfw@lawwolf.com

3. TYPE OF APPLICATION (Check all that apply)

- Minor Subdivision
- Major Subdivision – Preliminary
- Major Subdivision – Final
- Minor Site Plan
- Major Site Plan – Preliminary
- Major Site Plan – Final
- Variance
- Use Variance
- Appeal – Zoning Denial date _____
- Appeal – Land Use Decision date _____
- Informal Concept Plan Review
- Extension of Approval
- Revision/Resubmission of Prior Application
- Other _____

4. PROPERTY INFORMATION

Block 57 Lot(s) 8+9 Address: 9 Fifth Street
Lot size _____ # of Existing Lots 2 # of Proposed Lots 2
Zone _____ Are there existing Deed Restrictions or Easements? No Yes – Please attach copies
Has the property been subdivided? No Yes If yes, when? _____
Attach copies of approved map or approved resolution
Property taxes paid through _____ Sewer paid through _____

5. ATTORNEY (A corporation, LLC, Limited Partnership, or S-Corp **must** be represented by a NJ attorney)

Name: Henry E. Wolff III
Address: 79 First Avenue Atlantic Highlands, NJ 07716
Phone: 732 291 9000 Email: hfw@lawwolf.com



Borough of Highlands
42 Shore Drive
Highlands, NJ 07732
(732) 872-1224
www.highlandsborough.org

6. APPLICANT'S OTHER PROFESSIONAL(S) – Engineer, Planner, Architect, etc.

Name: Stockton
Address: 31 Grand Tour
Highlands NJ 07732
Phone: 732 996 5281
Email: arstockton@gmail.com

Name: _____
Address: _____

Phone: _____
Email: _____

7. LAND USE

A. PROPERTY HISTORY –Describe in detail, nature of prior use(s) on the site, start date of such use, any prior Land Use Board applications for this site (attach copy of resolution, if applicable), history of current ownership, etc.

It is the applicants understanding that #13 which is the current empty lot used to have a house on it up until/ about 2003/2004 when the owners last name Seminsky had it knocked down and the lot has been empty ever since. #9 still has an empty/non livable house on it.

B. PROPOSED PLAN –Describe in detail, proposed use for property, including, but not limited to: 1) portion to be subdivided; 2) sell lot only; 3) construct house(s) for sale; 4) how trash will be disposed; 5) landscaping; 6) hours of operation; 7) type of goods/services; 8) fire lane. Attach additional sheets if necessary.

See plans

C. ADDITIONAL INFORMATION:

	Existing	Proposed
Residential: How many dwelling units?	_____	_____
How many bedrooms in each unit?	_____	_____
How many on-site parking spaces?	_____	_____
Commercial: How many commercial uses on site?	_____	_____
How many on-site parking spaces?	_____	_____



Borough of Highlands
42 Shore Drive
Highlands, NJ 07732
(732) 872-1224
www.highlandsborough.org

Lot 8 - LOT 8.01

8. VARIANCE REQUESTS Complete section(s) related to the relief being requested.

	Req'd	Exist.	Prop'd
Minimum Lot Requirements			
Lot Area	4000	604	2913
Frontage	50	27.30	45.62
Lot Depth	75	22.1	63.9
Minimum Yard Requirements			
Front Yard Setback	20	1.0	N/A
2 nd Front Yard Setback	20		
Rear Yard Setback	20	1.4	N/A
Side Yard Setback, right	4.5/6	0.0	N/A
Side Yard Setback, left	4.5/6	0.0	N/A
Building Height	30	N/A	N/A

	Req'd	Exist.	Prop'd
Accessory Structures			
Fence/Wall Height			
Garage/Shed Height			
Garage/Shed Area	N	N/A	
Pool Setback			
Parking Requirements			
On-site Parking Spaces	2	2	2
Other (please add)			

9. OTHER RELIEF REQUESTED Please specify relief(s) and explain below.

The applicant intends to construct 2 new homes, on Lots 8.01 and 9.01 that will be FEMA elevation compliant and in accordance with municipal flood regulations.



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Lot 9

8. VARIANCE REQUESTS Complete section(s) related to the relief being requested.

	Req'd	Exist.	Prop'd
Minimum Lot Requirements			
Lot Area	4058	4928	2618
Frontage	50	58.33	41.00
Lot Depth	75	63.9	63.9
Minimum Yard Requirements			
Front Yard Setback	20	N/A	N/A
2 nd Front Yard Setback	20	N/A	N/A
Rear Yard Setback	20	N/A	N/A
Side Yard Setback, right	4.5/6	N/A	N/A
Side Yard Setback, left	4.5/6	N/A	N/A
Building Height	30	N/A	N/A

	Req'd	Exist.	Prop'd
Accessory Structures			
Fence/Wall Height			
Garage/Shed Height			
Garage/Shed Area	N/A		
Pool Setback			
Parking Requirements			
On-site Parking Spaces	2	2	2
Other (please add)			

9. OTHER RELIEF REQUESTED Please specify relief(s) and explain below.



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10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this <u>19</u> day of <u>May</u> 20 <u>22</u> (year) <u>Stephanie D. Gross</u> (notary) (Seal)

<u>[Signature]</u> Signature	<u>5/19/22</u> Date
<u>Trevor Kirsh</u> Print Full Name	

11. NOTARIZED CONSENT OF OWNER

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this <u>19</u> day of <u>May</u> 20 <u>22</u> (year) <u>Stephanie D. Gross</u> (notary) (Seal)

<u>[Signature]</u> Signature	<u>5/19/22</u> Date
<u>Trevor Kirsh</u> Print Full Name	

12A. DISCLOSURE STATEMENT Circle all that apply.

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:

- | | | |
|--------------------------------------------------------------------------------|-----|----|
| Is this application to subdivide a parcel of land into six (6) or more lots? | Yes | No |
| Is this application to construct a multiple dwelling of 25 or more units? | Yes | No |
| Is this an application for approval of a site(s) for non-residential purposes? | Yes | No |
| Is this Applicant a corporation? | Yes | No |
| Is the Applicant a limited liability corporation? | Yes | No |
| Is the Applicant a partnership? | Yes | No |

If you circled YES to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).

landuse@highlandsborough.org | 4



Borough of Highlands
42 Shore Drive
Highlands, NJ 07732
(732) 872-1224
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12B. BUSINESS ORGANIZATION OWNERSHIP DISCLOSURE STATEMENT

Name of Corporation, Partnership, LLC, LLP, S-Corp:

Kirsh Kraft, LLC

Listed below are the names and addresses of all owners of 10% or more of the stock/interest* in the above referenced business organization:

NAME	ADDRESS
Trewer Kirsh	PO Box 886, Hammonton, NJ 08037

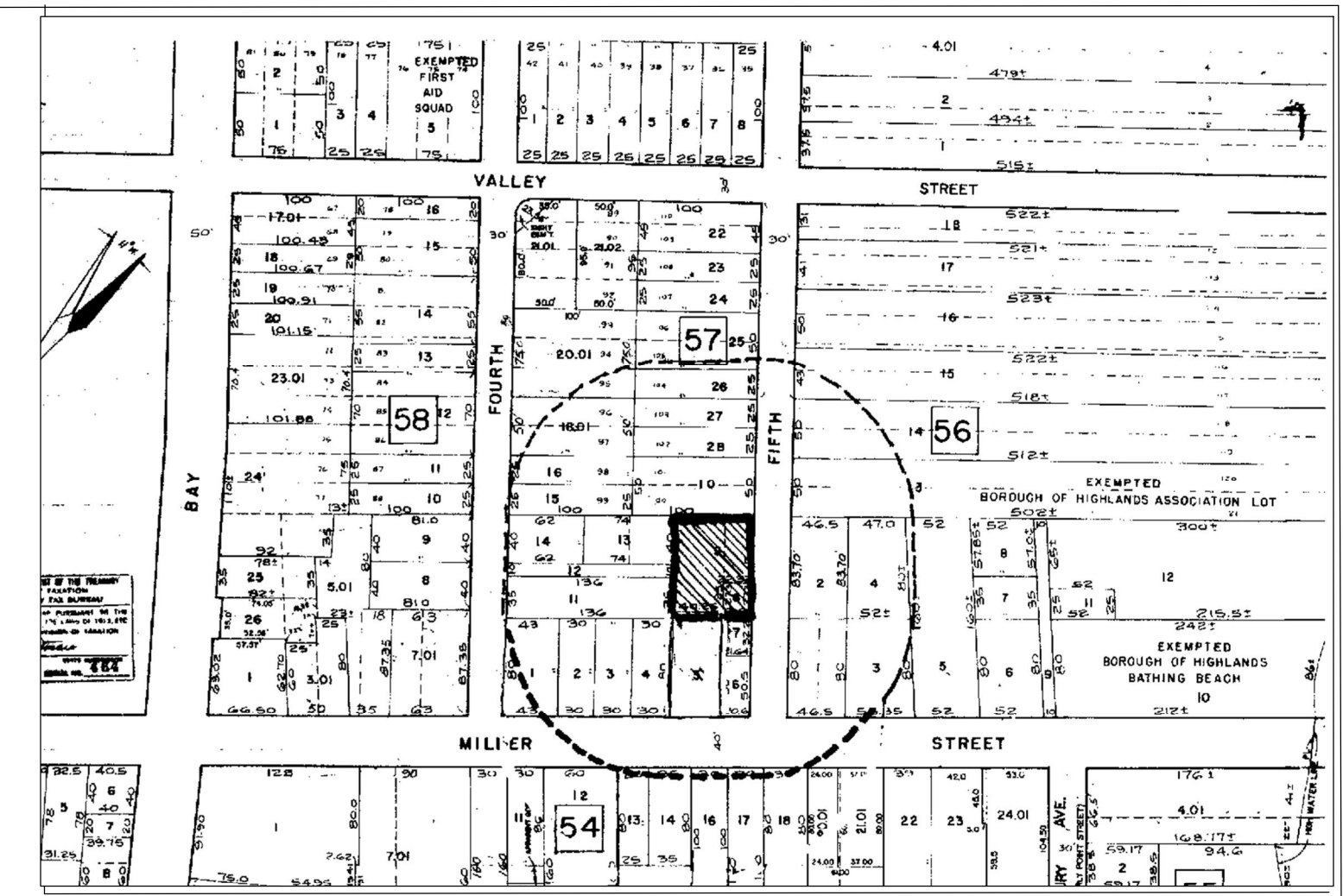
*If a corporation or a partnership owns 10% or more of the stock of a corporation, or 10% or great interest in a partnership, that corporation or partnership shall list the names and address of its stockholders holding 10% or more of its stock or 10% or greater interest in the partnership, and this requirement shall be followed until the names and addresses of the non-corporate stockholders and individual partners, exceeding the 10% owner ship criterion established have been listed.

SWORN & SUBSCRIBED to before me this
19 day of May 2022 (year)
Stephanie D. Gross (notary)
 (Seal)

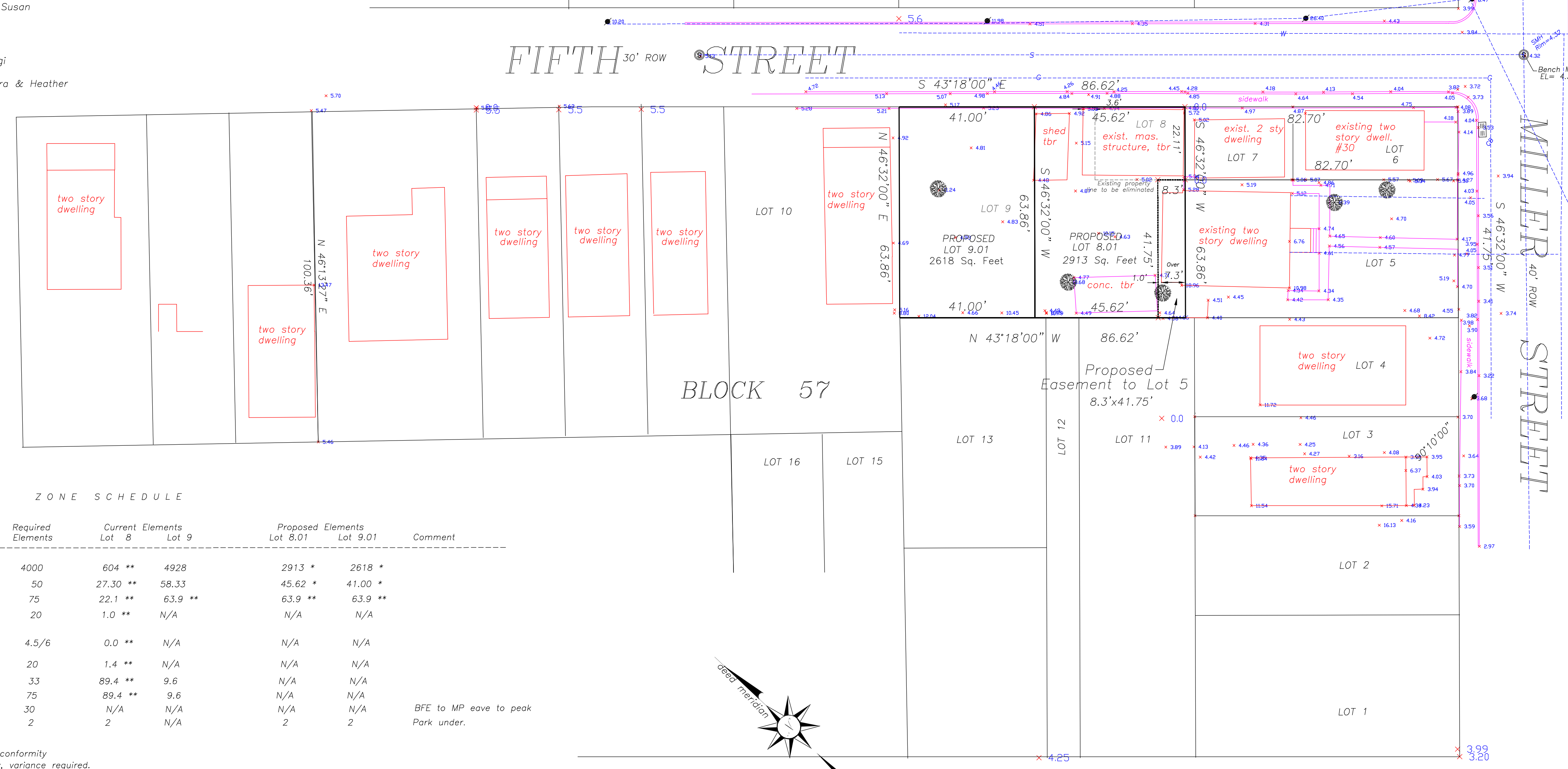
[Signature]
 Signature (Officer/Partner) 5/19/22
 Date
Trewer Kirsh
 Print Full Name Title

- OWNERS WITHIN 200 FT.
- Block 54
 Lot 11 Carvalho, Manuel & Maria
 Lot 12 Diebold, Richard
 Lot 13 Kerwick, Thomas & Laura
 Lot 14 Chan, Ted & Benjama
 Lot 15 Shannon Enterprises, LLC
 Lot 16 Murray, Michael
 Lot 17 27 Miller, LLC
 Lot 18 Hrdalo, Robert
 Lot 20.01 Higgins, Phoebe
 Lot 21.01 Scandaglia, Frank & Maria.
- Block 56
 Lot 1 Douglas, William & Candace
 Lot 2 KL 5th Street, LLC
 Lot 3 CWD, LLC
 Lot 4 Tetelborn, Miriam & Labanco, Loenard
 Lot 5 Five Star Real Estate Group, LLC
- Block 57
 Lot 1 Bananno, Joseph & Maryann
 Lot 2 Feldman, Michael
 Lot 3 Mahmoud, Esmat
 Lot 4 Stark, Susan
 Lot 6 Pahler, Edward & Lori
 Lot 7 Dilalla, Edward & Rosalia
 Lot 10 Hartsgrove, Reginald
 Lot 11 Fitzgerald, Suzanne
 Lot 12 Boro of Highlands
 Lot 13 Caizza, Richard & William
 Lot 14 Arjika Property, Inc.
 Lot 15 Caizza, William & Susan
 Lot 16 Misita, Joseph
 Lot 20.01 Knox, Michael
 Lot 25 Czerney, Kevin
 Lot 26 Craig, Glen & Jorgi
 Lot 27 Lipovchenko, Oleg
 Lot 28 Hartsgrove, Barbara & Heather

- SITE SPECIFIC NOTES
- All utilities servicing the new homes shall be placed underground per RSIS standards.
 - The applicant intends to construct 2 new homes, on Lots 8.01 and 9.01 that will be FEMA elevation compliant, and in accordance with municipal flood regulations.
 - A fully executed grading plan and building plans will be submitted to the Municipality for review and approval of the building permit application.
 - Property is Located in Flood Zone AE with a Base Flood Elevation 11.0
 - Any municipal infrastructure damaged during construction, shall be replaced or repaired to the satisfaction of the Borough Engineer.
 - Any Object beneath the surface of the Ground has not been located, and no Guarantee as to existence or location is expressed or implied.
 - Elevations refer to North American Vertical Datum of 1988 (NAVD-88)
 - THIS SURVEY HAS BEEN PREPARED WITHOUT A FULL TITLE SEARCH AND IS SUCH FACTS FACTS THAT MIGHT BE REVEALED BY SAID TITLE SEARCH.



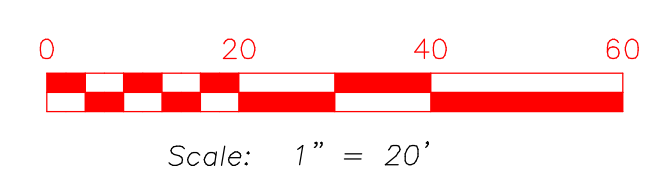
KEY MAP
1" = 135'



- GENERAL NOTES
- The Applicant proposes to: subdivide Lots 8 and 9 Block 57, adjusting the common boundary creating Lots more in conformance with the neighborhood and eliminating building encroachments.
 - Known and designated as Lots 8 and 9 Block 57, Sheet 13, as shown on the current tax assessment map of the Borough of Highlands, Monmouth Co., N.J.
 - Current Data:

	Lot 8	Lot 9
Total Lot area	604 SF	4928 SF
total bldg area	540 SF	473 SF
Impervious cover	540 SF	740 SF
Greenscape area	64 SF	4188 SF
 - Developmental Data:

	LOT 8.01	LOT 9.01
Proposed Lot area	2913 SF	2618 SF
Proposed building area	N/A	N/A
Proposed Lot coverage	N/A	N/A
Proposed greenscape	N/A	N/A
Parking spaces, off street	2	2
 - Utilities are from various sources, and location and/or size is not guaranteed. It is advised to contact the appropriate utility company before construction.
 - The Entire tract is within a Coastal Flood Hazard Zone. Elevations refer to NAVD-88 datum. All New Construction must be in conformance with the Borough's requirements for construction in a flood zone, and FEMA Flood Zone AE 11.0, Community 345297 Panel 34025C0088G dated 6-20-18.
 - Elevations refer to North American Vertical datum of 1988 (NAVD-88)
 - Owner & Applicant:
Kirsh Kraft, LLC
11 Marine Court
Lang Branch, NJ 07740



ZONE SCHEDULE

	R-2.02 Single Family Residential Zone District	Required Elements		Current Elements		Proposed Elements		Comment
		Lot 8	Lot 9	Lot 8	Lot 9	Lot 8.01	Lot 9.01	
Lot Area, min.	SF	4000		604 **	4928	2913 *	2618 *	
Lot frontage	Ft	50		27.30 **	58.33	45.62 *	41.00 *	
Lot Depth, min	FT	75		22.1 **	63.9 **	63.9 **	63.9 **	
Front yard, min	FT	20		1.0 **	N/A	N/A	N/A	
Side yard, min	FT	4.5/6		0.0 **	N/A	N/A	N/A	
Rear Yard, min	FT	20		1.4 **	N/A	N/A	N/A	
Coverage, Bldg	%	33		89.4 **	9.6	N/A	N/A	
Lot Coverage	%	75		89.4 **	9.6	N/A	N/A	
Building Height	FT	30		N/A	N/A	N/A	N/A	BFE to MP eave to peak
Parking, off street	Spc	2		2	N/A	2	2	Park under.

** Pre-existing non conformity
* Created deficiency, variance required.

THIS IS TO CERTIFY THAT THE UNIFIED PLANNING BOARD OF THE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY NEW JERSEY, IS THE PROPER AUTHORITY TO APPROVE AND HAS APPROVED THIS MAP ON THIS _____ DAY OF _____ 20____.

CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____

I (WE) HEREBY CERTIFY TO BE THE OWNER(S) OF THE LAND DELINEATED ON THIS MAP AND DO HEREBY CONSENT TO THE FILING OF THE MAP WITH THE MUNICIPALITY and/or COUNTY..

SIGNATURE(S) _____ DATE _____

I HEREBY CERTIFY THAT I HAVE CAREFULLY EXAMINED THIS MAP AND FIND IT CONFORMS WITH THE PROVISIONS OF THE ORDINANCES AND RESOLUTION CONDITIONS APPLICABLE THERETO.

BOARD ENGINEER _____ DATE _____

I HEREBY CERTIFY THAT THE ABOVE MAP AND SURVEY HAVE BEEN MADE UNDER MY IMMEDIATE SUPERVISION, FROM ACTUAL MEASUREMENTS TAKEN AT THE SITE. Date of Survey: 01-12-21

RICHARD E. STOCKTON
PROFESSIONAL LAND SURVEYOR
N.J. LICENSE 15102

HS 1	8-03-21	Lots 8 & 9 only	HS	RES
REV	DATE	DESCRIPTION	BY	CHK
MINOR SUBDIVISION PLAN FOR: LOT LINE ADJUSTMENT KIRSH KRAFT, LLC LOTS 8, and 9 BLOCK 57 SHEET 13 BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY RICHARD E. STOCKTON & ASSOC., INC. SURVEYING & MAPPING-> CONSTRUCTION SURVEYING PO BOX 124, ATLANTIC HIGHLANDS, NJ 07716, 732-872-2827 Certificate of Authorization No. 24GA27987100				
RICHARD STOCKTON, PROFESSIONAL LAND SURVEYOR & PLANNER LS15102 PP2267				
DATE: 01/12/21	FILE: 4217	DRAWN: RLT	JOB NO: 8077	
SCALE: 1"=20'	CAD#: K-8077A.dwg	CHK: RES	DWG NO: D- 1044	

NOTE: NO ATTEMPT WAS MADE OR LIABILITY IS ASSUMED TO DETERMINE IF ANY PORTION OF THIS PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS. ENVIRONMENTALLY SENSITIVE AREAS ARE NOT LOCATED BY THIS SURVEY.

THIS SURVEY IS NOT FOR CONSTRUCTION PURPOSES!

NOTES: PROPERTY CORNERS TO BE SET UNLESS A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003,c14 (C45: 8-36.3) AND N.J.A.C. 13: 40-5.1(D)."

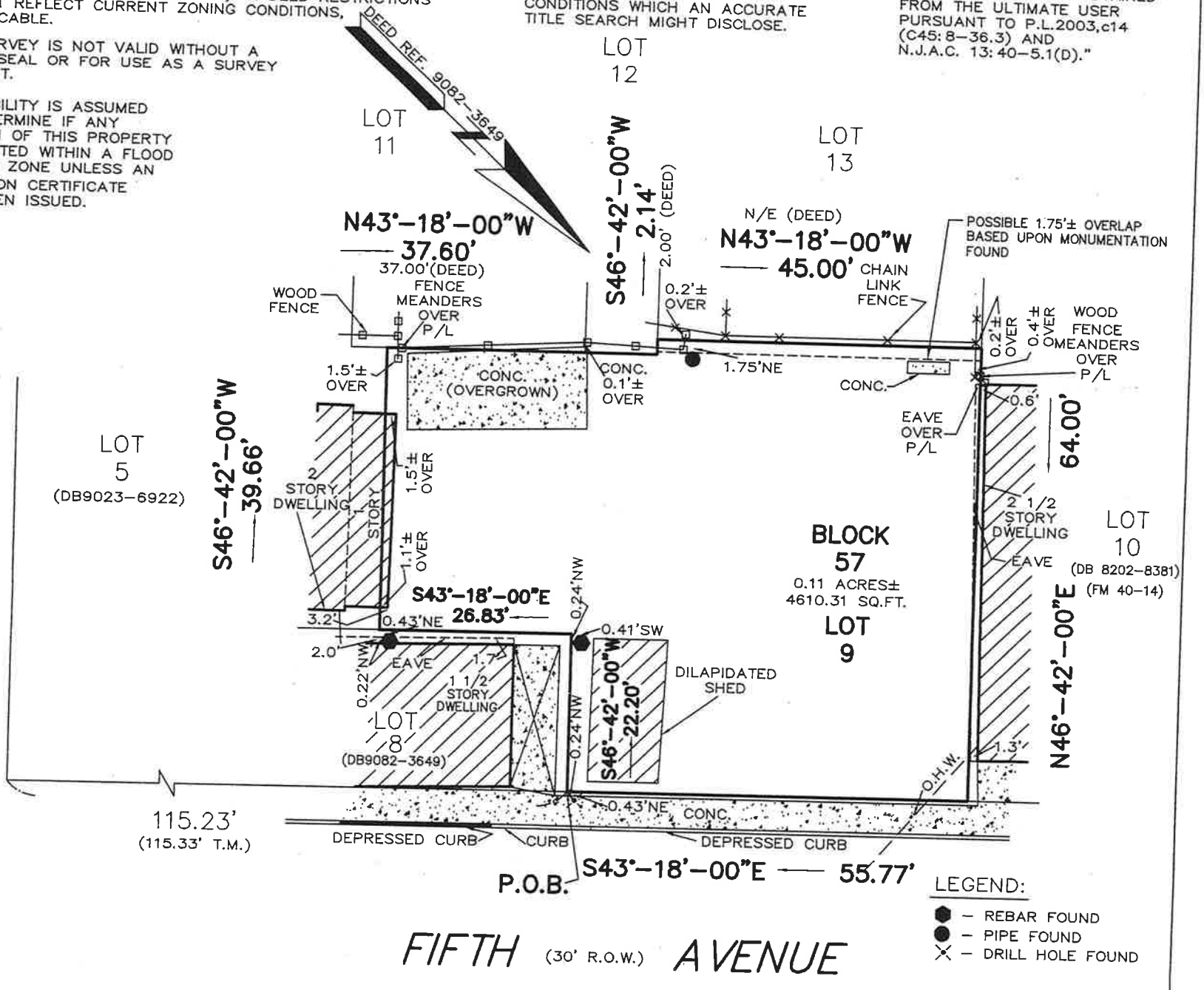
SETBACKS AS PER FILED MAP AND/OR DEED RESTRICTIONS MAY NOT REFLECT CURRENT ZONING CONDITIONS, IF APPLICABLE.

THIS SURVEY IS SUBJECT TO CONDITIONS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE.

THIS SURVEY IS NOT VALID WITHOUT A RAISED SEAL OR FOR USE AS A SURVEY AFFIDAVIT.

NO LIABILITY IS ASSUMED TO DETERMINE IF ANY PORTION OF THIS PROPERTY IS LOCATED WITHIN A FLOOD HAZARD ZONE UNLESS AN ELEVATION CERTIFICATE HAS BEEN ISSUED.

MILLER STREET (40' R.O.W.)



LEGEND:
 ● - REBAR FOUND
 ○ - PIPE FOUND
 X - DRILL HOLE FOUND

- NOTES:
1. ZONING SHOULD BE VERIFIED & CONFIRMED THAT LOT MEETS CURRENT & LOCAL ZONING REQUIREMENTS & IS BUILDABLE.
 2. UTILITIES SERVICING THE PREMISES SHOULD BE VERIFIED & CONFIRMED.

THIS SURVEY IS PREPARED FOR ONLY:
 KRISH KRAFT, LLC.
 TWO RIVERS TITLE COMPANY, LLC (TRT9252)
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 JAMES M. ALMASY, ESQUIRE

BEING KNOWN AS LOT 9 IN BLOCK 57, AS SHOWN ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY.

DEED REFERENCE(S):
 BOOK 9082-3673 CONTAINS MISCLOSURE
 BOOK 8011-4435 (LOT 1)
 BOOK 8641-5528 (LOT 2)
 BOOK 4467-543 (LOT 6)
 BOOK 4766-792 (LOT 7)
 FILED MAP REF. 40-14

TAX MAP SHOULD BE REVISED TO COINCIDE WITH SURVEY

RECEIVED
 MAY 16 2022

"TO ANY INSURER OF TITLE RELYING HEREON AND ANY PARTIES OF INTEREST HEREIN," IN CONSIDERATION OF THE FEE PAID FOR MAKING THIS SURVEY, I HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND IN ACCORDANCE WITH THE LAWS IN THE STATE OF NEW JERSEY UNDER MY SUPERVISION. (EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS OR ON THE SURFACE OF THE LANDS THAT ARE NOT VISIBLE) AS AN INDUCEMENT FOR ANY INSURER OF TITLE TO INSURE THE TITLE TO THE LANDS AND PREMISES SHOWN HEREON. THIS RESPONSIBILITY AND LIABILITY SHALL BE LIMITED TO THE CURRENT MATTER AS OF THE DATE OF THIS SURVEY AND SHALL BE LIMITED TO ONLY THE PARTIES OF INTEREST AS SHOWN ON THE CERTIFICATION HEREIN. IF THIS SURVEY IS USED IN CONJUNCTION WITH A SURVEY AFFIDAVIT FOR THE TRANSFER OF TITLE, ALL LIABILITY SHALL BE WAIVED AND ALL RIGHTS TO ALL PARTIES OF INTEREST SHALL BECOME NULL AND VOID. NO LIABILITY SHALL BE ASSUMED FOR ANY EASEMENTS, DEDICATIONS AND OR INSTRUMENTS NOT SUPPLIED PRIOR TO CLOSING. THE RIGHT SHALL BE RESERVED TO REVIEW ANY SUCH INSTRUMENTS AND TO MAKE SUCH EXCEPTIONS AND OR REVISIONS AS A REVIEW MAY WARRANT.

OFFSETS AS SHOWN HEREON ARE NOT TO BE USED AS A BASIS FOR CONSTRUCTION OF FENCES OR OTHER PERMANENT STRUCTURES.

DATE	REVISIONS

8/15/16
 DATE

ROBERT W. SMITH, JR.
 PROFESSIONAL LAND SURVEYOR N.J. LIC. NO. 023934

LAND USE BOARD

PLAN OF SURVEY
 SITUATE

BOROUGH OF HIGHLANDS
 MONMOUTH COUNTY, NEW JERSEY
 BLOCK 57 LOT 9

SENECA SURVEY CO., INC.
 SURVEYORS & PLANNERS
 1470 ROUTE No. 88 WEST
 BRICK, NEW JERSEY, 08724
 CERTIFICATE # 24GA27973900
 (732)840-8040 FAX (732)840-8044
 EMAIL: SENECACO@COMCAST.NET

Survey Date: 8/4/16 Drawn by: ACU-PLAT
 Scale: 1" = 20' Proj. No.: 16-60587

1

May 13, 2022

Kirsh Kraft LLC
11 Marcia Place
Long Branch, NJ 07740

RE: 9 Fifth Street
Block 57, Lots 8 & 9

Please be advised that the above referenced application to subdivide the property, creating three building lots, has been reviewed for compliance with the Borough of Highlands Zoning Ordinance. The property is located in the R-202 zone.

The following approvals will be necessary:

#21-55 Minor subdivision approval
#21-86 Minimum lot area: 4,000 s.f. is required, 3,799 s.f.; 2,567 s.f.; 2,618 s.f. are proposed - 3 variances
Lot frontage: 50' is required, 41.75'; 56.62'; 41' is proposed - 3 variances
Lot depth: 75' is required, 63.9' is proposed – 2 variances
Rear setback: 20' is required; 1' is proposed

In addition, proposed lot 5.01 is proposing 0 parking spaces.

To proceed with an application/appeal of this decision to the Land Use Board, please contact the Nancy Tran, Board Secretary at 732-872-1224. Should you have any questions, feel free to contact me at 732-615-2278.

Sincerely,

Marianne Dunn
Zoning Officer

C:  Land Use Board

RECEIVED

MAY 16 2022

LAND USE BOARD



Zoning Permit Application

42 Shore Drive
Highlands, N.J. 07732
732-872-1224 Ext. 202

Item 2.

#50
CH 568
12-1-16

APPLICATION FOR ZONING PERMIT — Z _____

Note: All applications must be accompanied by a property survey showing the sizes of the structure(s) and their location. Applications involving businesses must show the scope of the business and include all activities that will be a part of the business.

The Following Fees Shall Apply:

Residential Applications: New Construction single or two-family - \$50 Fence - \$15.00
Renovations/Additions/Alterations/Repairs - \$10, Other Residential - \$100/unit Shed - \$25.00
Non-Residential Applications - New Construction - \$100, Renovations/Additions - \$25

OWNER/APPLICANT

Name: Trevor Kirsh
Address: 11 Marine Place, Long Branch, NJ 07740
Telephone: Home: 732-539-7940 Work: 732-222-7879
Date: 12/1/16 Fee: \$ 50.00 Check Cash

LOCATION OF THE WORK

Block: 57 Lot(s): 8 Zone _____ Street Address: 9 5th Street

DESCRIPTION OF THE WORK TO BE PERFORMED (OR USE PROPOSED)

Demolish + remove existing structure. Replace with new modular home/custom home on pilings in exact same footprint

CHECK ONE: New Addition: _____ Alteration _____ Repair _____ Other _____

To the applicants knowledge, has this property ever been the subject of any prior application to the Planning Board of the Borough of Highlands? Yes _____ No

Signature: [Signature] Date: 12/1/16

FLOOD HAZARD AREA DETERMINATION

Check Applicable Flood Zone:: AE: VE: _____ X: _____
All applications within the AE and VE Flood Zoned, as indicated upon the most recent FEMA Flood Maps, require submission to an applicability determination from the NJDEP.

FOR BOROUGH USE ONLY

Determination: APPROVED _____ DENIED

If your application has been DENIED, it is due to the following:

Ordinance Section	Allowed/Required	Proposed
<u>Bulk Sign</u>		
<u>Front</u>	<u>20'</u>	
<u>Side</u>	<u>20'</u>	<u>5' min min</u>
<u>Back</u>	<u>6/8</u>	<u>2'</u>
Remarks:		
<u>Side</u>	<u>33%</u>	<u>1.02/1.5</u>
<u>Lot</u>	<u>75%</u>	<u>8.12%</u>
		<u>81.6%</u>

Zoning Officer: [Signature] Date: 12-20-16

NOTE: A Zoning Permit indicates that the proposed project conforms to the planning/zoning regulations of the Borough of Highlands; A building permit is required (per the requirements of the Uniform Construction Code of N.J.) BEFORE beginning work. The zoning permit is valid for one year, and may be extended for three years by action of the Planning Board.

If your application has been denied, you may appeal this denial to the Planning Board as provided by the New Jersey Municipal Land Use Law. You must submit letter of appeal to Planning Board secretary within 20 days.

If your application has been denied, you may seek relief from the Highlands Planning Board.
Note: If the following box is checked, you must submit a Flood Review Application to the Borough Flood Administrator prior to submitting to the Planning Board.

Local Flood Review Required

Kirshlaw@verizon.net

HENRY F. WOLFF, III
Attorney at Law
79 First Avenue
Atlantic Highlands, New Jersey 07716
(732) 291-9000

Facsimile (732) 291-0321

Email: hfw@lawwolff.com

July 14, 2020

Via e-mail: Mdunn@middletownnj.org

Borough of Highlands, Building Department
Attention: Zoning Officer- Marianne Dunn
Highlands, NJ

Re: Block 57, Lots 8 & 9, Highlands, NJ

Dear Ms. Dunn:

On February 19, 2020 I submitted an application for a development permit in connection with the above property. This involves the merger of Lots 8 and 9 and subdivides the combined lot. I submitted a site plan prepared by Thomas Santry's office.

You and I met and have discussed the fact that the side setbacks for the proposed dwellings as shown on the site plan are inconsistent with the schedule on Mr. Santry's plans. I had communicated with Mr. Santry's offices pre Covid-19 to request that the plans be amended. However, his office has not responded.

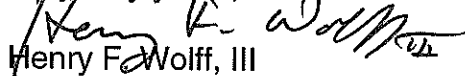
Accordingly, I would ask you to issue your denial without an amended plan from Mr. Santry as it is clear that side setbacks variances will be required.

Of course, I will have new plans with the correct side setbacks when this application is presented to the Board.

If you have any questions, please contact me.

Thank you for your assistance.

Very truly yours,


Henry F. Wolff, III

HFW:lat

Cc: T. Santry via E-mail: Office@ThomasPSantry.com
Client via E-mail

JOHN H. ALLGAIR, PE, PP, LS (1983-2001)
DAVID J. SAMUEL, PE, PP, CME
JOHN J. STEFANI, PE, LS, PP, CME
JAY B. CORNELL, PE, PP, CME
MICHAEL J. McCLELLAND, PE, PP, CME
GREGORY R. VALES, PE, PP, CME



TIMOTHY W. GILLEN, PE, PP, CME
BRUCE M. KOCH, PE, PP, CME
LOUIS J. PLOSKONKA, PE, CME
TREVOR J. TAYLOR, PE, PP, CME
BEHRAM TURAN, PE, LSRP
LAURA J. NEUMANN, PE, PP
DOUGLAS ROHMEYER, PE, CFM, CME
ROBERT J. RUSSO, PE, PP, CME
JOHN J. HESS, PE, PP, CME

October 18, 2019

Borough of Highlands
Code Enforcement Office
42 Shore Drive
Highlands, NJ 07732

Attn: Mr. William F. Brunt, Jr.
Code Enforcement Official

Re: **Structural Evaluation Report for
9 5th Street
Highlands, New Jersey 07732
Our File No. HHI00003.19**

Dear Mr. Brunt:

This Structural Evaluation Report presents our findings, conclusions and recommendations to the Borough of Highlands for the building located at 9 5th Street in Highlands, New Jersey. It has been prepared at your request to evaluate the structural integrity of this building in its existing condition.

If you require any further assistance, or if you have any questions or concerns regarding this report, please do not hesitate to call our office. Thank you!

Very truly yours,
CME ASSOCIATES

Nelson Hernández, PE, LEED® AP
Structural Engineering Department
Manager

cc: Ms. Kim Gonzales (Borough Administrator)
Mr. Zachary Williams, PE (CME Associates)
Mr. Douglas Rohmeyer, PE, CFM, CME (CME Associates)



Borough of Highlands
Code Enforcement Office
Re: Structural Evaluation Report for
9 5th Street

October 18, 2019
Our File No. HH100003.19
Page 2 of 16

INTRODUCTION

General Description of the Project

This Structural Evaluation Report contains our preliminary findings, conclusions and recommendations for the building located at 9 5th Street in Highlands, New Jersey. It has been prepared at the request of the Borough of Highlands ("the Borough") to evaluate the structural integrity of this building.

Background

The two-story structure located at 9 5th Street in Highlands, New Jersey was originally constructed in 1923 and has been reported as uninhabited since 2011. All windows and doors at the first floor have been removed, leaving the ground floor open to unauthorized activity. The second floor was accessible via a partially damaged staircase located at the northern face of the building. All doors and windows of the second floor and attic were observed to be in place, with some windows left in an open position.

As a result of the building being neglected since 2011, and the unsafe conditions present throughout the building due to said neglect, the Borough of Highlands asked CME to perform a Structural Evaluation to determine the structural integrity of the structure in its current condition. On September 10, 2019, CME sent Structural Engineer Zachary C. Williams, PE to the property to meet with Code Enforcement Officer William F. Brunt, Jr., to review the background information regarding the building structure. Our Engineer performed a cursory, visual review of the two-story structure, including the attic area and detached shed, and documented findings with photographs. Access to the structure was provided by the Borough, with help from the property owner. However, portions of the structure were not accessible due to potential damage and unsafe conditions present throughout. No destructive testing or investigation was performed to open walls, floors or ceilings. As a result, the recommendations in this report are based on our best professional judgment and opinion as to the overall condition of the visible structural elements of this building at the time of the site visit.

Purpose and Scope

The purpose of our services was to evaluate the visible condition of the building, to advise the Borough as to requirements, if necessary, for demolition and to provide preliminary recommendations for emergency repair or reinforcement, if necessary. We performed the following Scope of Work to accomplish this purpose:



Borough of Highlands
Code Enforcement Office
Re: Structural Evaluation Report for
9 5th Street

October 18, 2019
Our File No. HHI00003.19
Page 3 of 16

1. Performed an initial visual evaluation of the building on September 10, 2019.
2. Performed a structural evaluation based on all of the visual observations made and photographs taken. No testing, calculations or detailed structural analysis was performed. Our conclusions and recommendations represent our best professional judgment.
3. Prepared a Structural Evaluation Report for this building which contains our preliminary findings, conclusions and recommendations.

LOCATION MAP





Borough of Highlands
Code Enforcement Office
Re: Structural Evaluation Report for
9 5th Street

October 18, 2019
Our File No. HHI00003.19
Page 4 of 16

GENERAL DESCRIPTION OF THE BUILDING

The existing building located at 9 5th Street in Highlands, New Jersey is a two-story structure (including the attic, second floor and first floor) constructed in 1923 comprised of structural terra cotta brick exterior walls, wood frame interior walls, floors and roof (see Photo No. 1). The foundation construction could not be ascertained during the site visit. The existing building is situated on the south side of 5th street, near the east end, in the Borough of Highlands. The building has an asphalt shingle hip roof. The first floor consists of a two car garage and the second floor and attic comprise the living area. A detached steel shed is located to the east of the existing building.

STRUCTURAL EVALUATION FINDINGS

Roof

The asphalt shingle hip roof is in poor condition, as observed from the sidewalks at the exterior of the building. Missing and deteriorated rafters were observed at the soffits (see Photo No. 2). Due to lack of access to the roof and the presence of ceiling coverings in the attic, the current condition of the roof could not be ascertained within the structure from the underside at the attic.

Attic

Access to the attic was available by means of an attic drop down ladder. The condition of the walls and flooring of the attic could not be ascertained due to the presence of wall and floor coverings. Evidence of water damage to the wall and floor coverings was observed throughout the attic (see Photo No. 3) and throughout the underside as viewed from the second floor below.

Second Floor

The second floor was observed to have the interior wall coverings removed, thereby exposing the interior face of the exterior walls and remaining wood framed interior rooms (see Photo No. 4). A large opening in the timber floor, located at the southwest corner of the second floor, was observed to be covered by an unsecured sheet of plywood (see Photo No. 5). Exterior walls at the second floor exhibited cracks and evidence of movement throughout, as viewed from the building exterior. A staircase and second floor porch are located on the northern face of the building and were observed to be in poor condition. The timber columns supporting the roof over the porch and half-



Borough of Highlands
Code Enforcement Office
Re: Structural Evaluation Report for
9 5th Street

October 18, 2019
Our File No. HHI00003.19
Page 5 of 16

wall enclosure showed signs of deterioration and separation from the building (see Photo No. 6).

First Floor

The first floor consists of a two car garage and a partially damaged staircase leading to the second floor (see Photo No. 7). The walls are constructed of structural terra cotta brick and the floor consists of a concrete slab on grade of unknown thickness. All windows and doors have been removed at the second floor. Visual inspections of the first floor joists, from the underside, were observed to be in poor condition. Deterioration and water staining around a large hole in the flooring was observed, along with sistered floor joists at the southwest corner (see Photo No. 8). A timber column located at the center of the garage area supporting the floor girder above was observed to be out-of-plumb with a failing connection to the girder (see Photo No. 9). At the exterior of the building, several vertical cracks were observed throughout the exterior walls (see Photo No. 10) with evidence of movement and bulging. The header beams above the garage doors were observed to be sagging and partially deteriorated (See Photo No. 11).

Detached Shed

Access to the shed was not provided. Exterior conditions of the shed walls, angled roof, doors, and windows, were observed to be in poor condition. (See Photo No. 12). The structure is severely deteriorated and was observed to be leaning away from the existing building. Conditions are based on an exterior visual inspection, only.



Borough of Highlands
Code Enforcement Office
Re: Structural Evaluation Report for
9 5th Street

October 18, 2019
Our File No. HHI00003.19
Page 6 of 16

CONCLUSIONS AND RECOMMENDATIONS

Conclusions

Rating Criteria

Our evaluation was performed in accordance with general guidelines for structural condition assessment of buildings, as published by the American Society of Civil Engineers. Terms used to generally describe the condition of a building structural system or component are listed and defined below. When the term is applied to an overall structure or system, this does not necessarily indicate that all elements of the building structure or system are in the same condition.

- **Excellent** "As New" condition.
- **Good** The structural system is sound and performing its function, although it shows signs of wear and may require some minor repairs, mostly routine.
- **Fair** The structural system is still performing adequately at this time, but needs "priority" and/or "routine" repairs to prevent future deterioration and to restore it to good condition.
- **Poor** The structural system cannot be relied upon to continue to perform its original function without "immediate" and/or "priority" repairs.

General Structural Assessment

The following structural assessment is based on our experience in structure repair and rehabilitation and in the general condition evaluation of structures. The principal conclusions of the study are summarized below:

1. The structural condition of **the roof** is, in our opinion, **Poor**.
2. The structural condition of **the attic** is, in our opinion, **Poor**.
3. The structural condition of **the second floor** is, in our opinion, **Poor**.
4. The structural condition of **the first floor** is, in our opinion, **Poor**.
5. The structural condition of **the detached shed** is, in our opinion, **Poor**.



Borough of Highlands
Code Enforcement Office
Re: Structural Evaluation Report for
9 5th Street

October 18, 2019
Our File No. HHI00003.19
Page 7 of 16

6. **The current overall structural condition of 9 5th Street is, in our opinion, Poor, since the building has been uninhabited since 2011 and the condition has continued to deteriorate as a result of abandonment and neglect.**

Recommendations

Roof

The rafters and roof framing were, in our opinion, in an irreparable condition. **Therefore, we recommend that the roof be demolished.**

Attic

The attic floor joists and framing were, in our opinion, in an irreparable condition. Also, the wall and floor coverings showed signs of water damage. **Therefore, we recommend that the attic be demolished.**

Second Floor

The second floor floor joists, framing and walls were, in our opinion, in an irreparable condition. The wall and floor coverings showed signs of water damage. Exterior walls showed evidence of cracks and movement throughout. **Therefore, we recommend that the second floor be demolished.**

First Floor

The first floor walls, stairs, garage door header, and timber column supporting the second floor girder were, in our opinion, in an irreparable condition. Exterior walls showed evidence of cracks and movement throughout. **Therefore, we recommend that the first floor be demolished.**

Detached Shed

The detached shed was, in our opinion, in poor condition. Due to the observed external conditions of the severe rusting and the leaning of the structure, **we recommend that the detached shed be demolished.**



Borough of Highlands
Code Enforcement Office
Re: Structural Evaluation Report for
9 5th Street

October 18, 2019
Our File No. HHI00003.19
Page 8 of 16

Summary Recommendations

The building was observed to be in overall Poor condition. Therefore, after reviewing all of this information and considering the costs required to adequately abate the current unsafe condition at the building, we are recommending the demolition of the building and the detached shed in their entirety at this time. This would eliminate the potential safety hazards this structure currently poses to the surrounding neighborhood. All doors and windows should be secured to prevent unauthorized access to the property prior to demolition.



Borough of Highlands
Code Enforcement Office
Re: Structural Evaluation Report for
9 5th Street

October 18, 2019
Our File No. HHI00003.19
Page 9 of 16

LIMITATIONS OF STUDY

The scope of our services has been limited to Structural Engineering consultation to the Borough of Highlands regarding only the visible structural condition of the structure located at 9 5th Street. Our evaluation was in accordance with current American Society of Civil Engineers published guidelines for a Phase 1 Structural Engineering Condition Assessment of Existing Buildings within the limitations of scope and budget established by the Borough. No other warranty is made, either expressed or implied.

The observations made to date are based solely on visible areas of each structural element. Conditions may exist within the structure and/or below the ground surface that may affect the structural integrity or stability of the structure and that may require additional repair or reinforcement for continued use of the structure. However, such conditions may not have been apparent at the time of our limited assessment, or access may not have been granted to particular areas. No warranty is made, either expressed or implied, that our review detected all conditions that may exist within the building that would affect its structural integrity or suitability for continued use. More detailed review and analysis can be provided under a supplementary authorization, if requested.

No materials testing, calculations, detailed structural analysis or detailed quantitative review of the capacity of the building's framing was performed. More detailed review and analysis can be provided under a supplementary authorization, if requested. Our conclusions and preliminary recommendations are based on our best professional judgment regarding our review of the site conditions and observed structural distress and the need to repair, replace, remove or partially demolish any portion of the damaged structure. No warranty is made, either expressed or implied, that any portion of the structure is suitable in its present condition for continued use without repair.

The evaluation contained herein is limited to structural conditions and does not cover considerable damage to the wall paneling, flooring, entry doors and appliances, as well as to the mechanical, electrical and plumbing systems, other than the information provided to us during the site visit. In addition, the effects of intrusion of water into the building will require evaluation for mold conditions within the building, if continued use is required.

Our scope of work did not include an environmental or architectural assessment of the building.



Borough of Highlands
Code Enforcement Office
Re: Structural Evaluation Report for
9 5th Street

October 18, 2019
Our File No. HHI00003.19
Page 10 of 16

APPENDIX A – PHOTOGRAPHS



Borough of Highlands
Code Enforcement Office
Re: Structural Evaluation Report for
9 5th Street

October 18, 2019
Our File No. HHI00003.19
Page 11 of 16

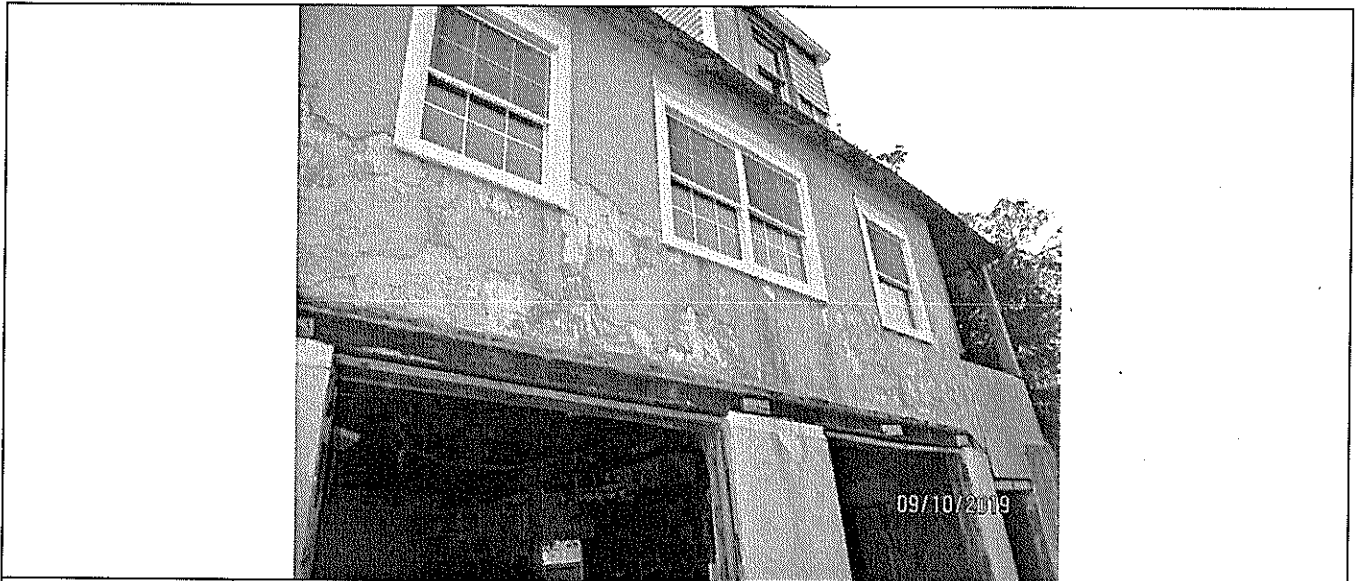


Photo No.:	1 (facing South)
Description:	General exterior view of 9 5 th Street. Note doors and windows at first floor have been removed.

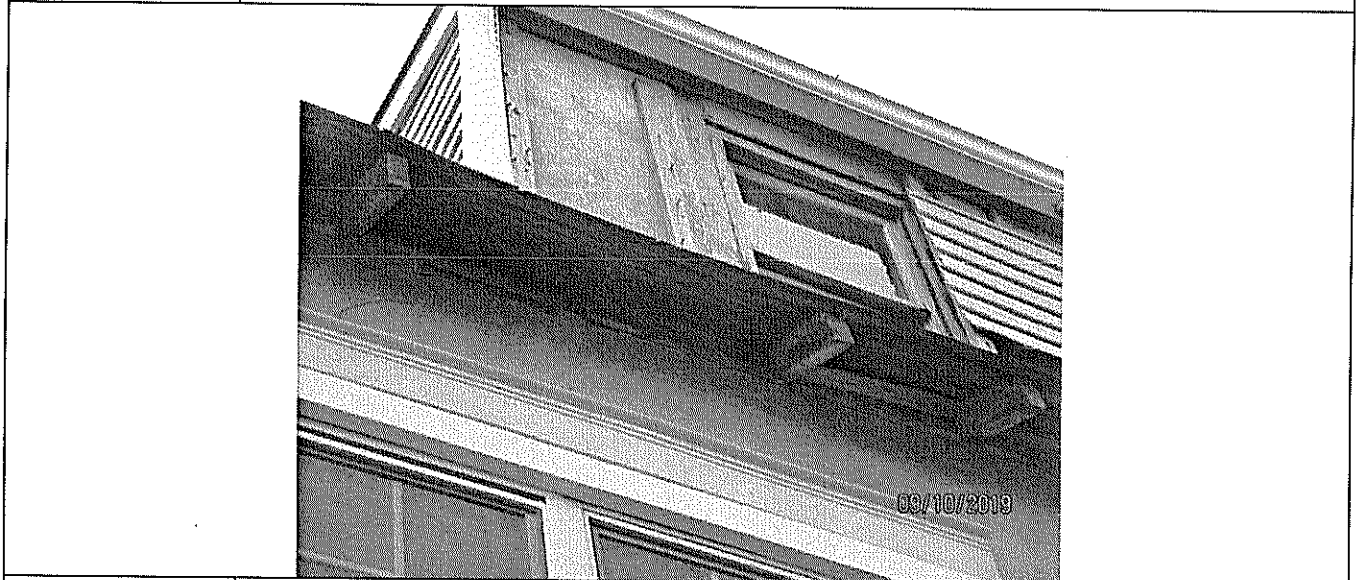


Photo No.:	2 (facing South)
Description:	View of deteriorated rafters at soffit from exterior of building.



Borough of Highlands
Code Enforcement Office
Re: Structural Evaluation Report for
9 5th Street

October 18, 2019
Our File No. HHI00003.19
Page 12 of 16

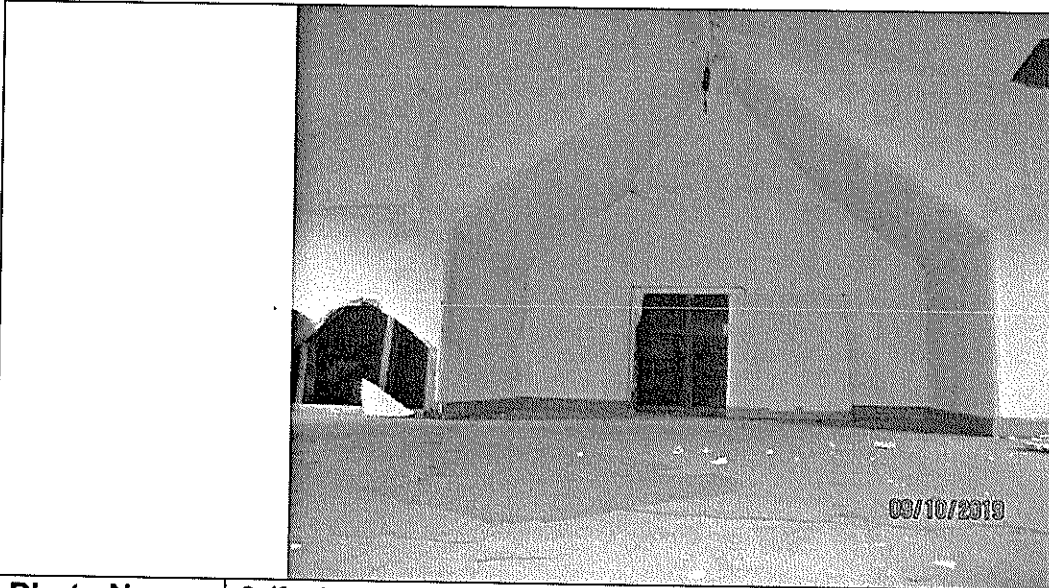


Photo No.: 3 (facing East)
Description: General view of attic with evidence of water damage to the wall and floor coverings.

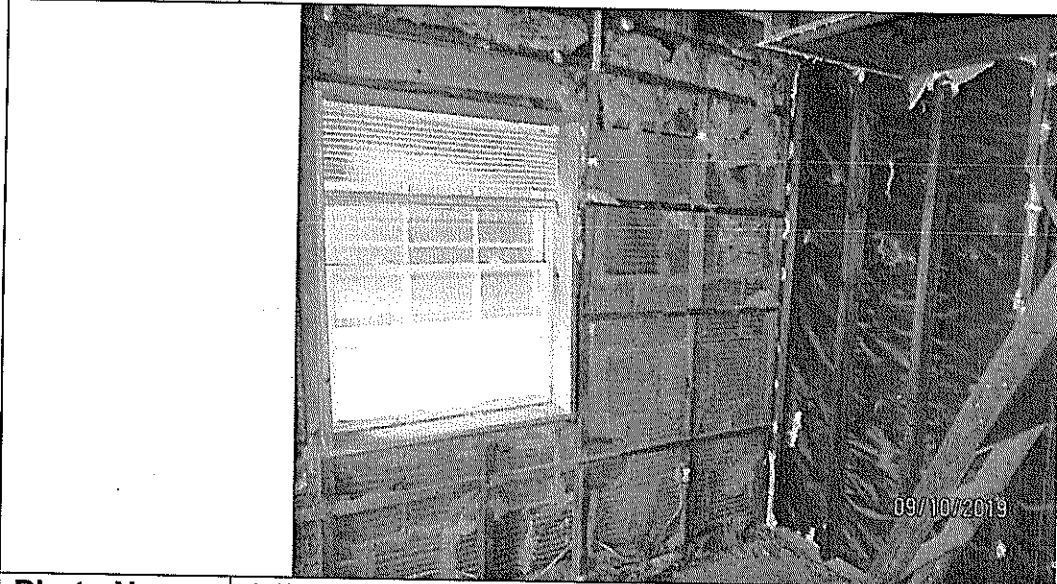


Photo No.: 4 (facing East)
Description: General view of second floor. Interior wall coverings removed in view.



Borough of Highlands
Code Enforcement Office
Re: Structural Evaluation Report for
9 5th Street

October 18, 2019
Our File No. HHI00003.19
Page 13 of 16



Photo No.:	5 (facing South)
Description:	General view of second floor timber flooring with plywood covering large opening in view.

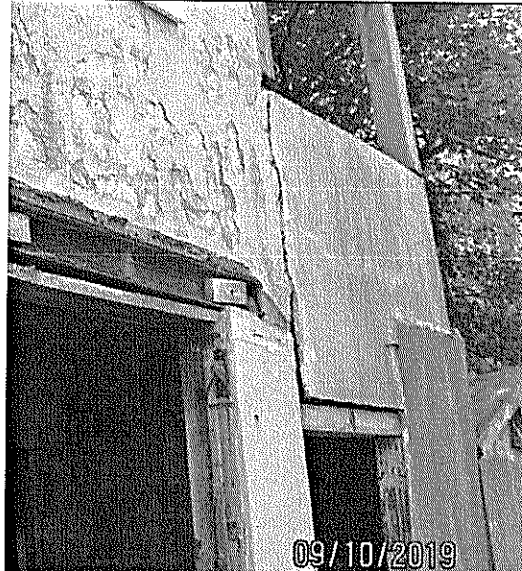


Photo No.:	6 (facing southeast)
Description:	General view of second floor porch and staircase separation from building as observed from sidewalk at exterior.



Borough of Highlands
Code Enforcement Office
Re: Structural Evaluation Report for
9 5th Street

October 18, 2019
Our File No. HHI00003.19
Page 14 of 16



Photo No.:	7 (facing South)
Description:	View of partially damaged staircase located at northern face of building.



Photo No.:	8 (looking upward)
Description:	View of underside of second floor joists and flooring as seen from the first floor.



Borough of Highlands
Code Enforcement Office
Re: Structural Evaluation Report for
9 5th Street

October 18, 2019
Our File No. HHI00003.19
Page 15 of 16

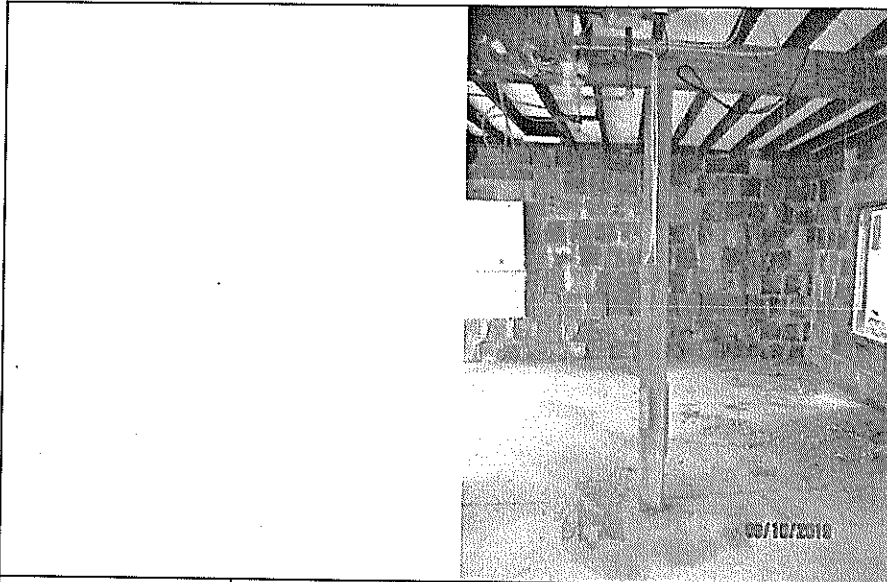


Photo No.:	9 (facing East)
Description:	View of timber column supporting second floor girder.

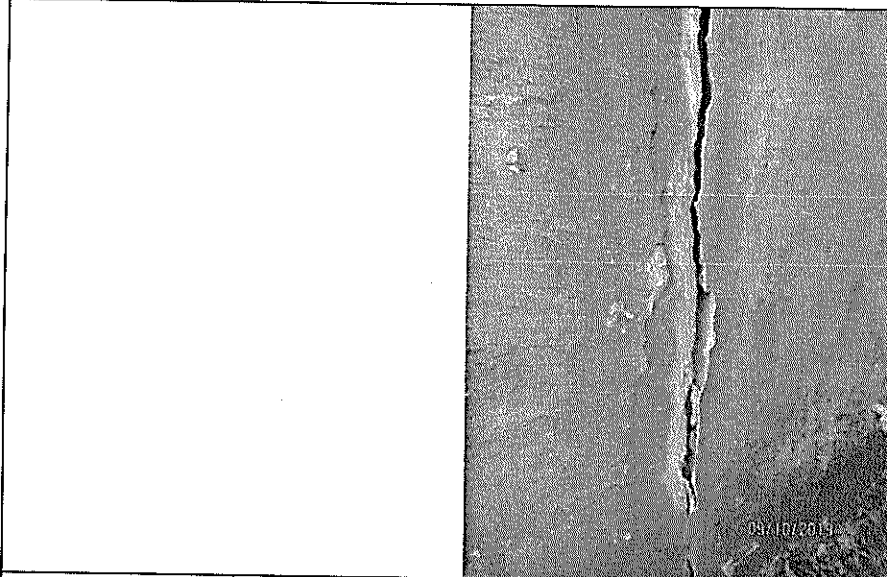


Photo No.:	10 (facing East)
Description:	General view of vertical cracks at exterior wall, typical throughout building.



Borough of Highlands
Code Enforcement Office
Re: Structural Evaluation Report for
9 5th Street

October 18, 2019
Our File No. HHI00003.19
Page 16 of 16

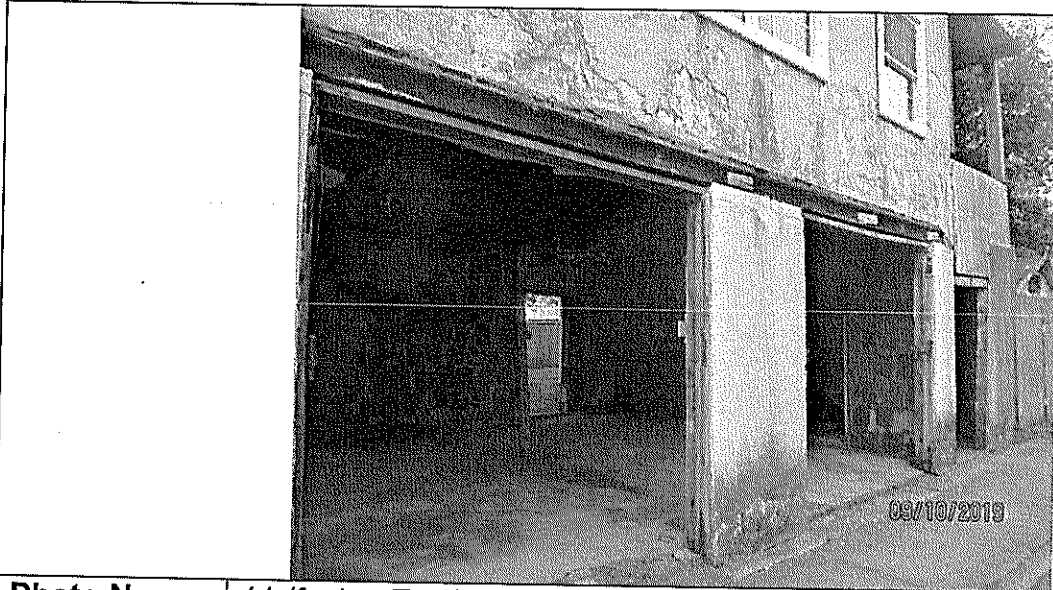


Photo No.: 11 (facing East)
Description: View of deterioration and sagging in headers above garage doors at the first floor.

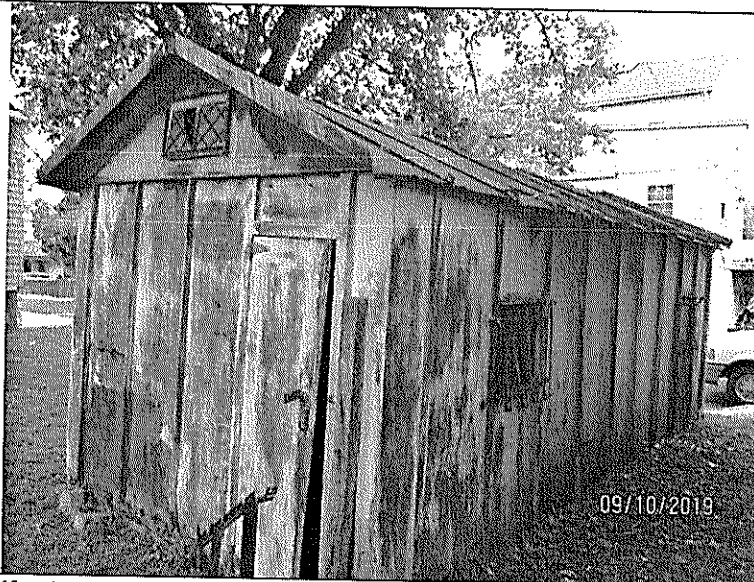


Photo No.: 12 (facing North)
Description: General view of severe rusting and leaning of detached shed.



HGPB- R1930

June 23, 2022

Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board
42 Shore Drive
Highlands, New Jersey 07732

Via Email (ntran@highlandsborough.org)

**Re: Kirsh Kraft, LLC
Nine 5th Street
Block 57, Lots 8 & 9
R-2.02 Zone
Minor Subdivision
First Completeness Review**

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations section entitled Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure, and Article VIII, Plat and Plan Details, section 21-58.A – Minor Subdivision Plat.

The applicant submitted the following documents in support of this application:

1. Land Use Board Application for Subdivision, dated May 19, 2022.
2. Zoning Denial Letter, dated May 13, 2022.
3. Minor Subdivision Plan prepared by Richard E. Stockton, P.L.S., P.P., of Richard E. Stockton & Associates, Inc., dated January 12, 2021, last revised August 3, 2021, consisting of one (1) sheet.
4. Plan of Survey prepared by Robert W. Smith, Jr., P.L.S., of Seneca Survey Co., Inc., dated August 4, 2016, consisting of one (1) sheet.

The following information was reviewed for completeness purposes pursuant to Ordinance Section 21-58.A:

Minor Subdivision Plat: The plat shall be prepared to scale, based on a current survey or some other similarly accurate base, at a scale of not less than one (1) inch equals one hundred (100) feet, to enable the entire tract to be shown on one (1) sheet. The plat shall be signed and sealed by a licensed New Jersey Land Surveyor and shall show or include the following information:

1. A key map at a scale of not less than 1" = 400' showing the location of that portion which is to be subdivided in relation to the entire tract and the surrounding area. **Provided.**
2. All existing structures, wooded areas and topographical features, such as slump blocks, within the portion to be subdivided and within seventy-five (75) feet thereof. **Provided.**
3. The name of the owner and all adjoining property owners and owners of property directly across the street as disclosed by the most recent municipal tax record. If there is no positive evidence of ownership of any parcel of adjoining property within two hundred (200) feet, a certificate will be presented from the custodian of tax records to that effect. **Provided.**
4. The Tax Map sheet, block and lot numbers. **Provided.**
5. All streets or roads and streams within seventy-five (75) feet of the subdivision. **Provided.**



**Le: Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board**

**Re: Kirsh Kraft, LLC
Nine 5th Street
Block 57, Lots 8 & 9
R-2.02 Zone
Minor Subdivision
First Completeness Review**

- 6. Location of existing streets, and existing and proposed property lines, lot sizes, and areas. **Provided.**
- 7. Metes and bounds descriptions of all new lot and property lines. **Not provided. Metes and bounds descriptions for the new lots shall be provided if the application is approved.**
- 8. Existence and location of any utility or other easement. **Provided.**
- 9. Setback, side line and rear yard distances and existing structures. **Provided.**
- 10. The name and address of the person preparing the plat, the graphic scale, date of preparation and reference meridian. **Provided.**
- 11. Certification from the Tax Collector that all taxes and assessments for local improvements on the property have been paid up to date. **Not provided.**
- 12. Certification statement for the required municipal signatures, stating: **Provided.**
 - o Application No. _____ approved/disapproved by the Highlands Borough Planning Board/Board of Adjustment as a Minor Subdivision on _____.
(date)

Chairman

Secretary

- 13. Certification statement for the County Planning Board approval / disapproval, if required. **Not applicable.**
- 14. Zone district boundary lines, if any, on or adjoining the property to be subdivided and a schedule indicating the required minimum lot area, lot width, lot depth and front, rear and side yards of each zone district located on the property. **Provided.**
- 15. A wetlands statement provided by a qualified expert. **Not provided.**
- 16. The Board reserves the right to require a feasible sketch plan layout of remaining land not being subdivided if it is deemed necessary. **The applicant shall provide at least generic house and driveway layouts to demonstrate the sizes of proposed homes and the need for any additional setback relief.**
- 17. A lot grading plan, to be reviewed by the Borough Engineer, if required. **Not provided but can be deferred as a condition of approval.**



**Le: Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board**

**Re: Kirsh Kraft, LLC
Nine 5th Street
Block 57, Lots 8 & 9
R-2.02 Zone
Minor Subdivision
First Completeness Review**

At this point, adequate information has not been provided for us to perform a technical review and fee calculation for the application, and therefore the application is deemed **INCOMPLETE**.

The applicant shall address the comments noted in this letter and resubmit accordingly. Should you have any questions or require any additional information, please call.

Very truly yours,

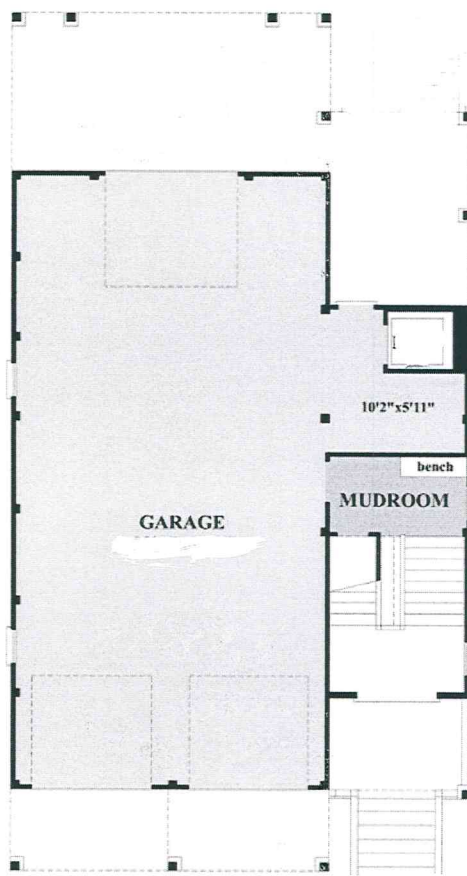
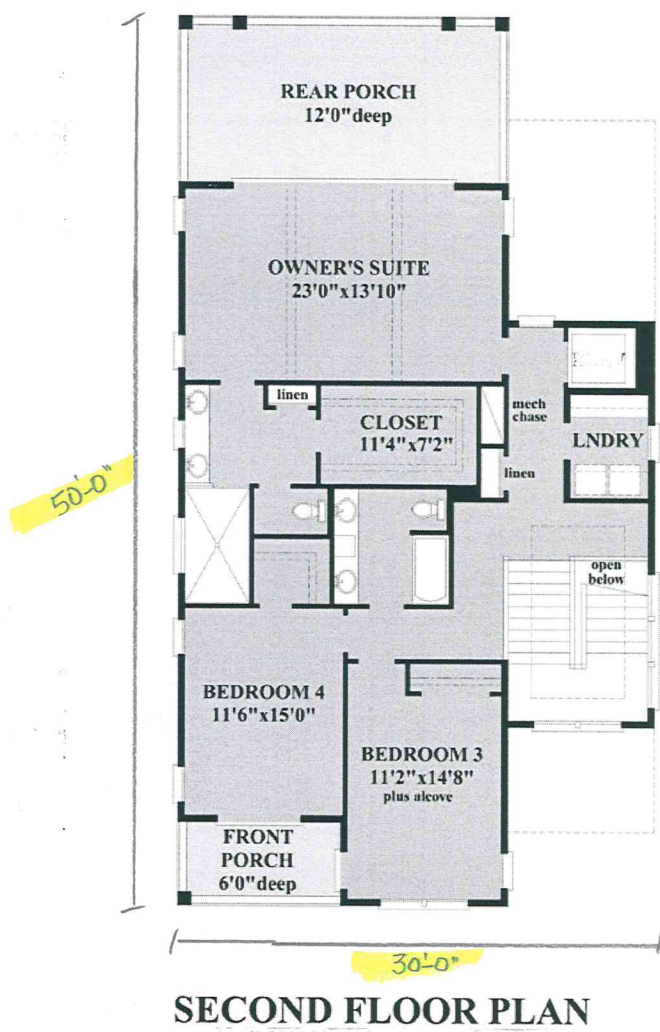
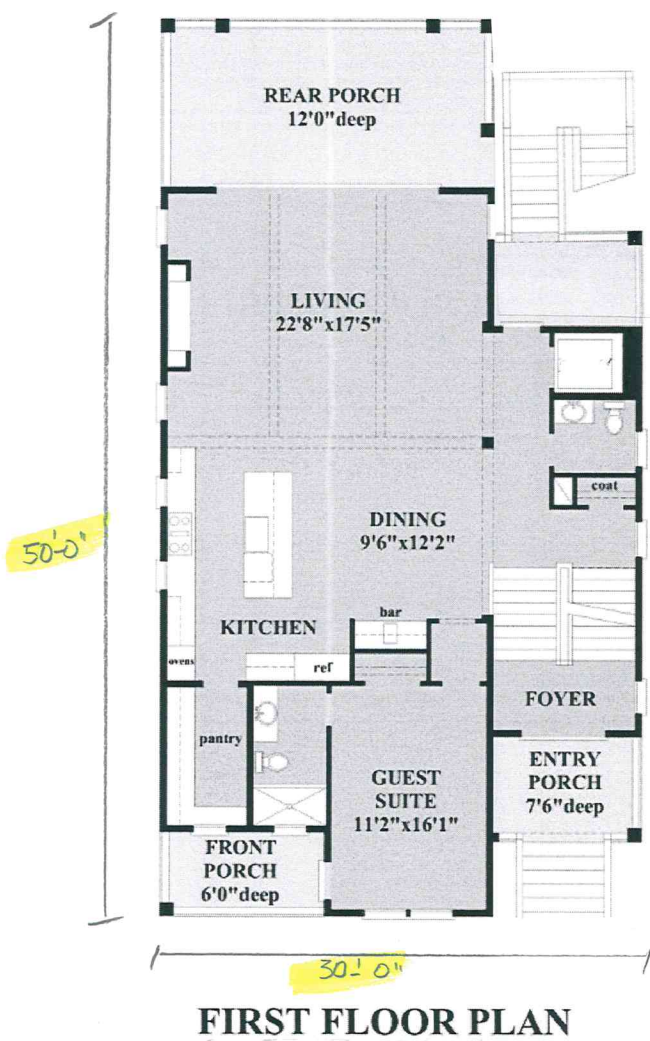
T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

EWH:KJO:DV

cc: Michael Muscillo, Borough Administrator (mmuscillo@highlandsborough.org)
Ron Cucchiaro, Esq., Land Use Board Attorney (RCucchiaro@weiner.law)
Kirsh Kraft, LLC, Applicant (hfw@lawwolff.com)

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Kirsh Kraft, LLC
 Nine 5th Street
 Borough of Highlands

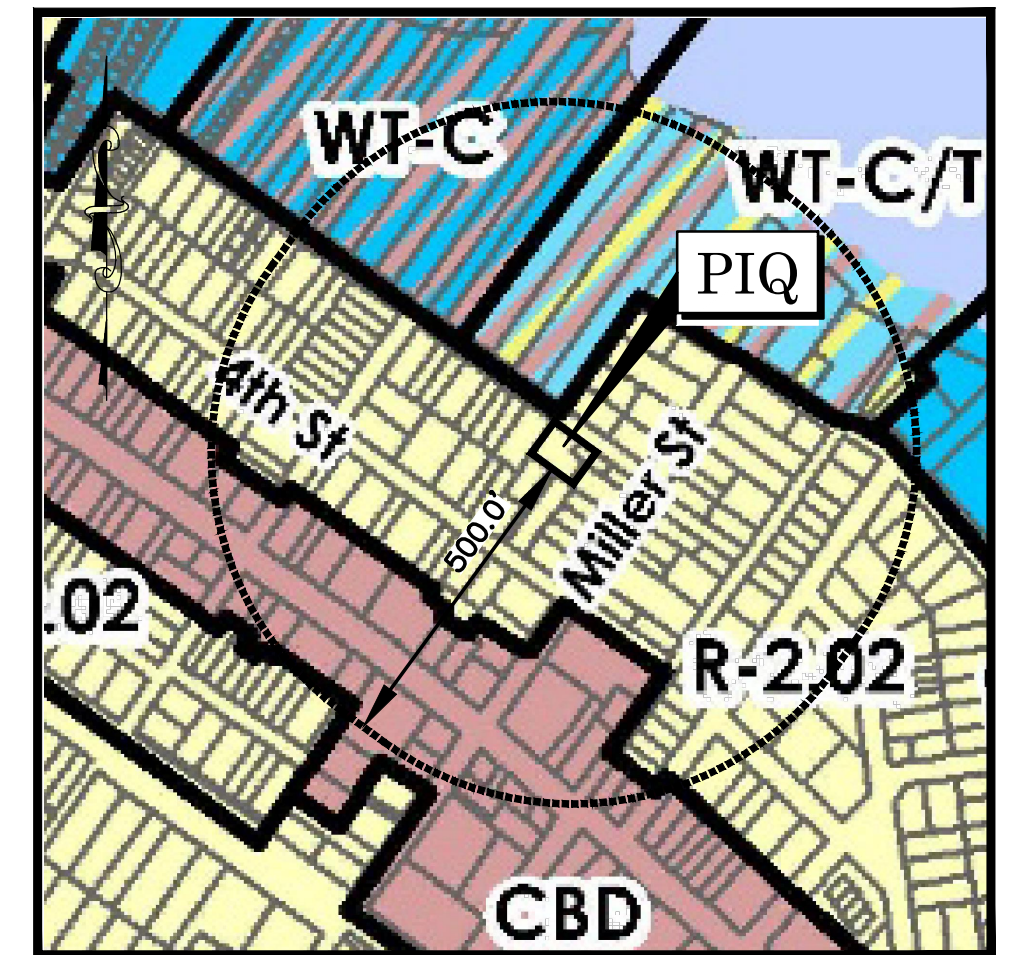
Block 57, Lots 8 & 9
 Minor Subdivision
 Proposed Two Story 30'-0" x 50'-0"

200' ADJOINING OWNERS

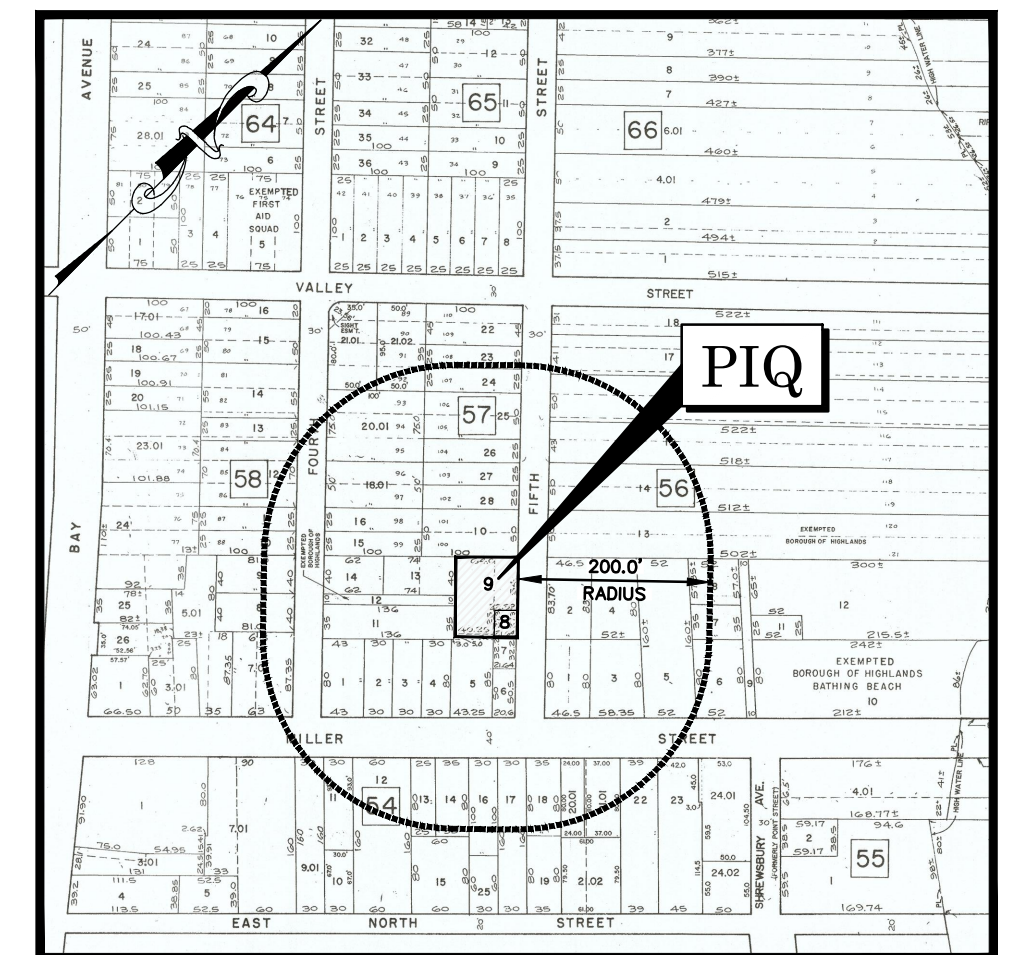
GENERAL NOTES:

OWNER/APPLICANT- HENRY F. WOLFF, III
79 FIRST AVENUE
ATLANTIC HIGHLANDS, NJ 07716

- 1. THE PROPERTY IS KNOWN AS LOTS 8 & 9, BLOCK 57 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY.
2. THIS SITE IS LOCATED WITHIN FLOOD ZONE AE, EL. 11, SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY 1% ANNUAL CHANCE FLOOD, PER FLOOD INSURANCE RATE MAP (FIRM) #34025C0088B, EFFECTIVE DATE JUNE 15, 2022.
3. EXISTING USE: SINGLE FAMILY RESIDENTIAL.
4. PROPOSED USE: SINGLE FAMILY RESIDENTIAL.
5. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
6. THIS PLAN HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS PLAN SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".



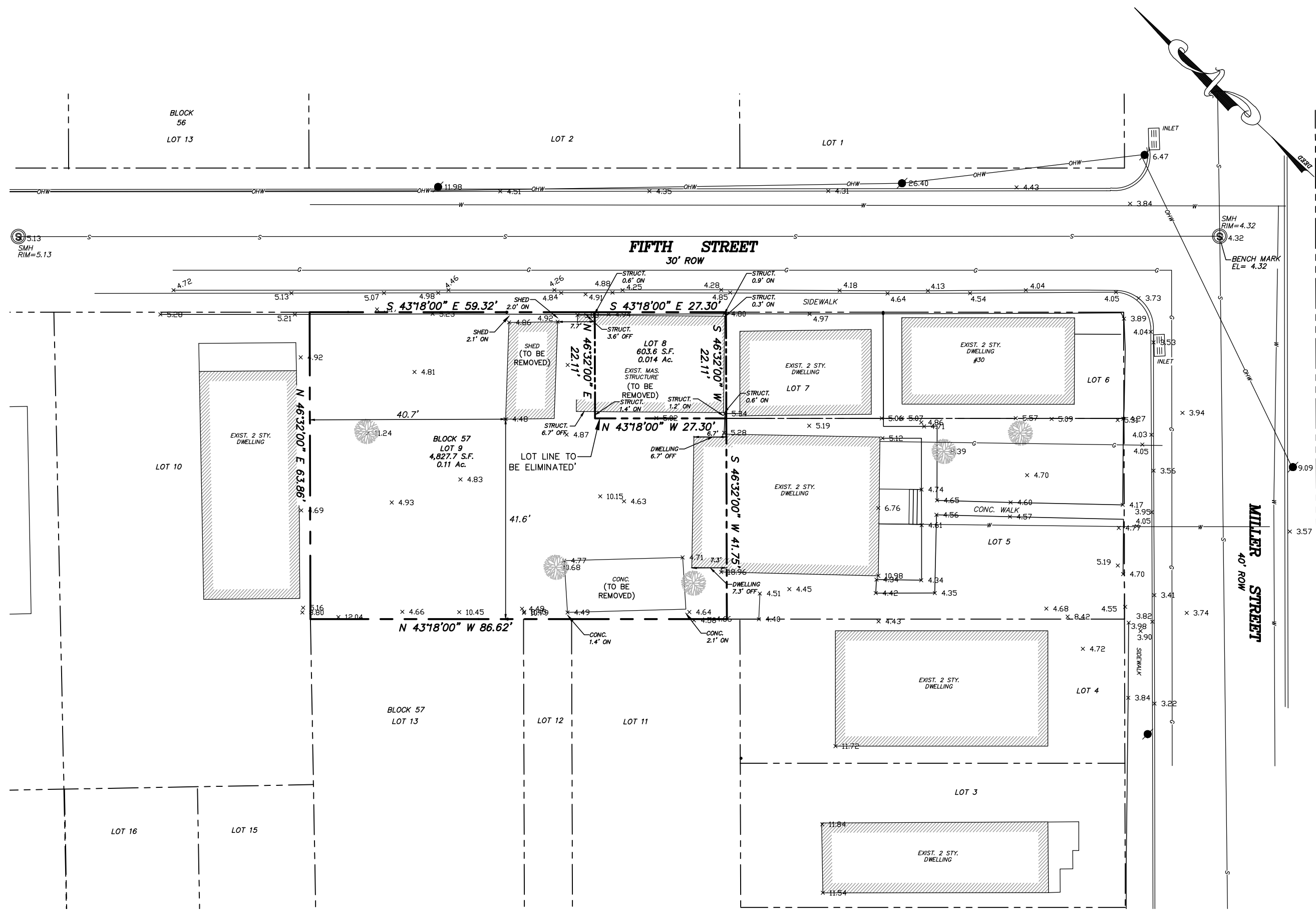
ZONE MAP
SCALE: 1"=300'



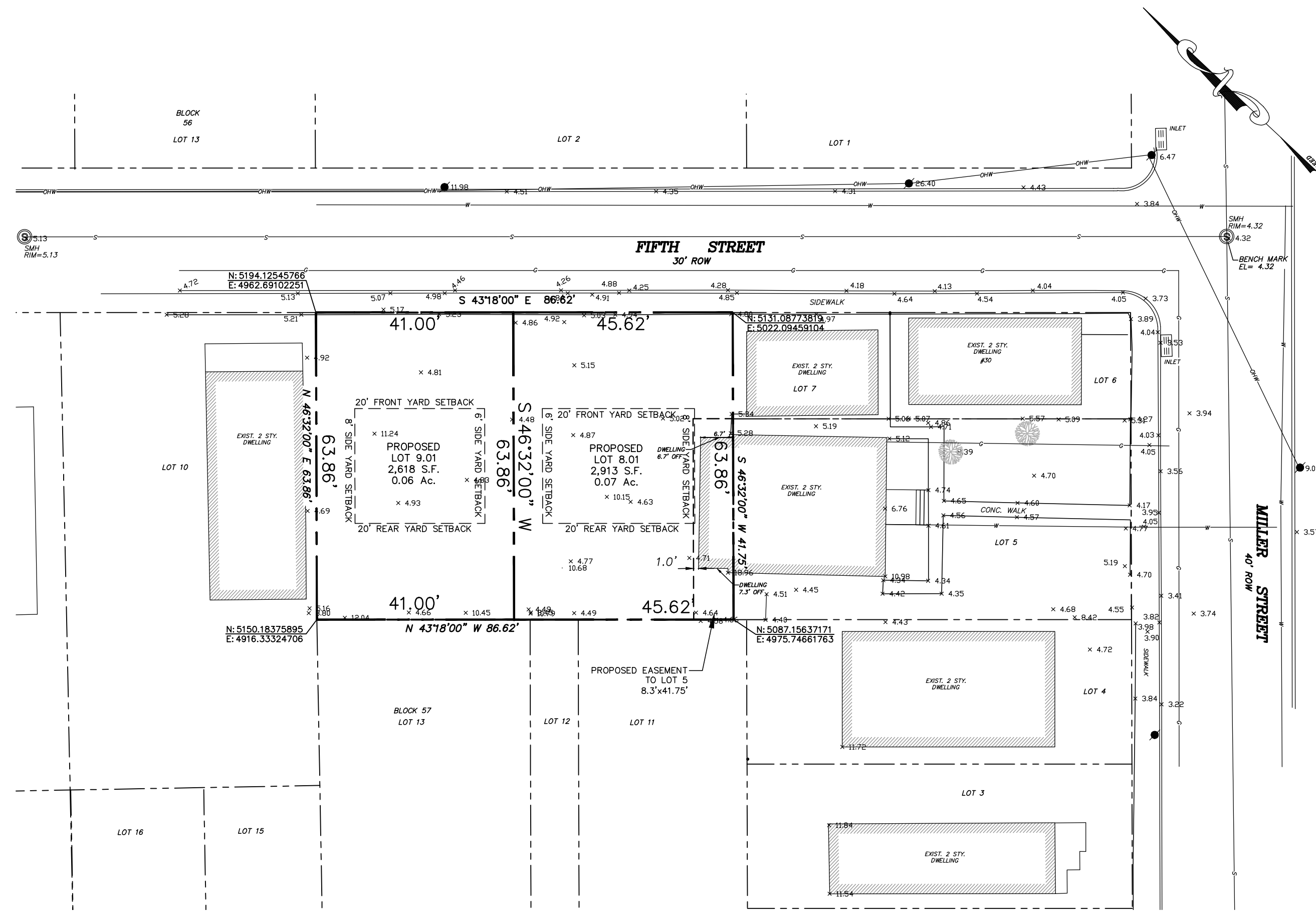
TAX MAP
SCALE: 1"=200'

ZONING TABLE R-2.02 SINGLE FAMILY RESIDENTIAL ZONE DISTRICT. Table with columns: REQUIRED, EXISTING LOT 8, EXISTING LOT 9, PROPOSED LOT 8.01, PROPOSED LOT 9.01. Rows include: MIN. LOT AREA, MIN. LOT FRONTAGE, MIN. LOT WIDTH, MIN. LOT DEPTH, MIN. FRONT YARD SETBACK, MIN. SIDE YARD SETBACK, MIN. REAR YARD SETBACK, MAX. BUILDING HEIGHT, MAX. BUILDING COVERAGE, MAX. LOT COVERAGE.

** PRE-EXISTING NON-CONFORMITY
* PROPOSED VARIANCE CONDITION



EXISTING CONDITIONS



MINOR SUBDIVISION

LEGEND

- Gas Valve, Water Valve, Water Meter, Utility Manhole, Drainage Manhole, Electrical Manhole, Sanitary Manhole, Telephone Manhole, Traffic Sign, Street Sign, Light Post, Utility Pole, Fire Hydrant, Drainage Inlet, Drainage Line, Electric Line, Gas Line, Sanitary Sewer Line, Telephone Line, Water Line, Overhead Wires, Monitoring Well, Iron Pipe Found, Caped Rebar Found, Concrete Monument Found, Survey, File Meter, Gas Meter, Dimension Lines, F.C. (Flood Curve), Soil Boring Location, Photograph Location.

THE UNDERSIGNED INDIVIDUAL HEREBY DECLARES THAT HE IS THE OWNER OF THE LAND DELINEATED HEREON, AND HEREBY CONSENTS TO THE FILING OF THE OFFICE OF THE CLERK IN THE COUNTY OF MONMOUTH.

OWNER (LOT 8) DATE

BE IT REMEMBERED THAT ON THIS DAY OF 20, BEFORE ME, A NOTARY PUBLIC OF THE STATE OF NEW JERSEY, APPEARED, WHO BY BEING DULY SWORN ON HIS/HER OATH, DID DEPOSE AND ACKNOWLEDGE THAT HE/SHE IS THE OWNER OF THE PROPERTY SHOWN ON THIS MAP AND THAT THE FOREGOING CONSENT WAS EXECUTED BY HIM/HER AS AND FOR HIS VOLUNTARY ACT AND DEED.

NOTARY PUBLIC DATE

THE UNDERSIGNED INDIVIDUAL HEREBY DECLARES THAT HE IS THE OWNER OF THE LAND DELINEATED HEREON, AND HEREBY CONSENTS TO THE FILING OF THE OFFICE OF THE CLERK IN THE COUNTY OF MONMOUTH.

OWNER DATE

BE IT REMEMBERED THAT ON THIS DAY OF 20, BEFORE ME, A NOTARY PUBLIC OF THE STATE OF NEW JERSEY, APPEARED, WHO BY BEING DULY SWORN ON HIS/HER OATH, DID DEPOSE AND ACKNOWLEDGE THAT HE/SHE IS THE OWNER OF THE PROPERTY SHOWN ON THIS MAP AND THAT THE FOREGOING CONSENT WAS EXECUTED BY HIM/HER AS AND FOR HIS VOLUNTARY ACT AND DEED.

NOTARY PUBLIC DATE

THE UNDERSIGNED INDIVIDUAL HEREBY DECLARES THAT HE IS THE OWNER OF THE LAND DELINEATED HEREON, AND HEREBY CONSENTS TO THE FILING OF THE OFFICE OF THE CLERK IN THE COUNTY OF MONMOUTH.

OWNER (LOT 9) DATE

BE IT REMEMBERED THAT ON THIS DAY OF 20, BEFORE ME, A NOTARY PUBLIC OF THE STATE OF NEW JERSEY, APPEARED, WHO BY BEING DULY SWORN ON HIS/HER OATH, DID DEPOSE AND ACKNOWLEDGE THAT HE/SHE IS THE OWNER OF THE PROPERTY SHOWN ON THIS MAP AND THAT THE FOREGOING CONSENT WAS EXECUTED BY HIM/HER AS AND FOR HIS VOLUNTARY ACT AND DEED.

NOTARY PUBLIC DATE

THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME LIMIT PROVIDED IN THE "MUNICIPAL LAND USE LAW" P.L. 1975 c.291 (C.40:55D-1 et seq.) OR LOCAL ORDINANCE.

I CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY, GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS AS DESIGNATED AND SHOWN ON THIS PLAN.

MUNICIPAL CLERK DATE

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF THE "MAP FILING LAW" RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

BOROUGH ENGINEER DATE

THIS IS TO CERTIFY THAT THIS MAP COMPLIES WITH THE PROVISIONS OF P.L. 1960, c.141 (c.46-23-9.9 et seq.) KNOWN AS THE "MAP FILING LAW" AND FURTHER CERTIFIES THAT THE MAP HAS BEEN APPROVED BY THE PLANNING BOARD OF FREEHOLD TOWNSHIP, THE PROPER AUTHORITY FOR SUCH APPROVAL. THIS MAP SHALL BE FILED IN MONMOUTH COUNTY CLERK'S OFFICE ON OR BEFORE THE DAY OF 20, WHICH IS 180 DAYS FROM THE DATE OF FINAL APPROVAL.

SECRETARY OF THE PLANNING BOARD DATE
CHAIRMAN OF THE PLANNING BOARD DATE

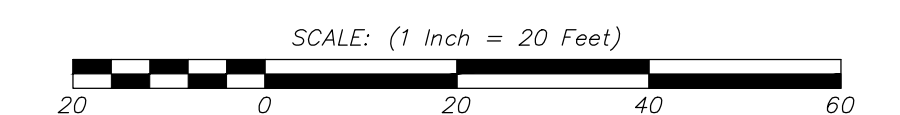
I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND MINOR SUBDIVISION PREPARED BY RICHARD E. STOCKTON & ASSOC., INC. DATED 1/12/21, LAST REVISED 8/03/21 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE "MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

I CERTIFY THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION AND COMPLIES WITH APPLICABLE SECTIONS OF TITLE 46 OF THE REVISED STATUTES (N.J.S.A. 46:26A-1 THROUGH N.J.S.A. 46:26B-8 ET SEQ.)

THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE SURFACE AND NOT VISIBLE.

Peter P. Bennett III
PETER P. BENNETT III - N.J. PROFESSIONAL LAND SURVEYOR, LIC. No. 24G504065100

- NOTES:
1. ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD-88)
2. ERROR OF CLOSURE MEETS OR EXCEEDS ACCURACY STANDARDS FOR THIRD ORDER CLASS I = 1:10,000.



MINOR SUBDIVISION PLAN OF LOTS 8 & 9, BLOCK 57, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY. Includes drawing details: SCALE 1"=20', DRAWN BY JFB, DATE 1/XX/24, JOB No. 23203, SHEET No. 1 of 1. Also includes the Professional Land Surveyor seal for Peter P. Bennett III.



Roberts
 ENGINEERING GROUP LLC
 Women Business Enterprise Certified

1670 Whitehorse-Hamilton Square Rd.
 Hamilton, New Jersey 08690
 609-586-1141 fax 609-586-1143
 www.RobertsEngineeringGroup.com

February 20, 2024

Nancy Tran
 Land Use Board Secretary
 Borough of Highlands Land Use Board
 151 Navesink Avenue
 Highlands, New Jersey 07732

Re: Completeness Review No. 2
 Applicant: Kirsh Kraft, LLC
 Nine 5th Street
 Block 57, Lots 8 & 9
 Borough of Highlands, Monmouth County, New Jersey
 Our File No.: HLPB2022-04

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The Applicant seeks a Minor Subdivision to reconfigure existing Lot 8 and Lot 9 in the R-2.02 Single Family Residential District. Existing Lot 8 and Lot 9 consist of 603.60 sf and 4,827.70 sf, respectively. Lot 8 has an empty unlivable dwelling; Lot 9 has a shed and both buildings are to be removed from the lots. Utility services are available for both lots. Proposed Lot 8.01 and Lot 9.01 are 2,913 sf and 2,618 sf, respectively. The existing lots are non-conforming, and the proposed lots will require bulk variances. The Applicant received a Zoning Denial Letter, dated May 13, 2022.

We have reviewed the following documents submitted in support of the above referenced application for completeness purposes:

1. Copy of the Land Use Board Application for Subdivision, dated May 19, 2022.
2. Copy of letter entitled "First Completeness Review", addressed to Ms. Nancy Tran, Land Use Board Secretary from Edward W. Herrman, P.E., P.P., C.M.E., C.F.M., Land Use Board Engineer, dated June 23, 2022.
3. Copy of plan entitled, "Minor Subdivision Plan of Lots 8 & 9, Block 57, Borough of Highlands, Monmouth County, New Jersey", prepared by WJH Engineering, no date, and signed by Peter P. Bennett III, LPLS, consisting of 4 sheets (Minor Subdivision, Architectural Floor Plans (unsigned), and uncertified tax payment list).

The first completeness review was provided by Mr. Herrman on June 23, 2022, for plans prepared by Richard E. Stockton & Associates. The Applicant notified the Borough of Highlands on October 24, 2023, that WJH Engineering would be providing engineering services. This review letter will address the current submission provided by WJH Engineering. It is noted that Mr. Bennett is certifying the plans prepared by Richard E. Stockton & Assoc.

We are requesting background information regarding Existing Lot 9. Please explain the history of the existing dwelling on adjoining Lot 5 and how an encroachment was developed between the existing lots. Has the Applicant approached the owners of Lot 5 and discussed selling the property?

The existing dwelling on Lot 5 encroaches upon existing Lot 9 with a maximum encroachment of 7.3 ft. according to the Minor Subdivision. However, a survey prepared by Seneca Survey Co., Inc. for Lot 9, dated August 15, 2016, as found in the submission packet, notes a maximum encroachment of 1.5 ft Please explain the difference.

Completeness Review No. 2
 Applicant: Kirsch Kraft, LLC
 Nine 5th Street
 Block 57, Lots 8 & 9
 Borough of Highlands, Monmouth County, New Jersey
 Our File No.: HLPB2024-01
 Page 2 of 5

Proposed Lot 8.01 may require a Use Variance to allow two principal uses on one lot.

We offer the following comments and recommendations for the Planning Board’s consideration:

I. ZONING

1. This property is located in the R-2.02 Single Family Residential District.
2. The Applicant requires six (6) bulk variances. To be entitled to bulk “c” variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-70c for bulk variances.

The Applicant will be required to provide proof during testimony.

3. The following bulk requirement summary is provided for the Board’s reference. In accordance with Ordinance §21-85, existing and proposed bulk deficiencies which require bulk “c” variances have been noted:

Schedule I – Bulk and Area Requirements					
R-2.02 Residential Zone	Required	Existing Lot 8	Existing Lot 9	Proposed Lot 8.01	Proposed Lot 9.01
Min. Lot Area (sf)	4,000	**603.60	4,827.7	*2,913	*2,618
Lot Frontage/Width (ft)***	50	**27.30	59.52	*45.62	*41.00
Min. Lot Depth (ft)	75	**22.11	**63.86	*63.86	*63.86
Min. Front Yard Setback (ft)	20	**0.6	**2.0		
Min. Side Yard Setback (ft)	6/8	**0.3/-3.6	7.7/40.7		
Min. Rear Yard Setback (ft)	20	**1.2	41.6		
Max. Building Height (ft)	30	<35	<35		
Max Lot Coverage	75%	**89.28%	15.25%		
Max Building Coverage	33%	**89.28%	9.74%		
On-Site Parking (spaces)	TBD	Not provided	Not provided		

* Proposed Variance
 ** Existing non-conformity
 ***Or average of the existing front yard setback within 200 ft of same block and zone.

II. CHECKLIST ITEMS

The following information was reviewed for completeness purposes pursuant to Ordinance Section 21-58.A:

Minor Subdivision Plat: The plat shall be prepared to scale, based on a current survey or some other similarly accurate base, at a scale of not less than one (1) inch equals one hundred (100) feet, to enable the entire tract to be shown on one (1) sheet. The plat shall be signed and sealed by a licensed New Jersey Land Surveyor and shall show or include the following information:

1. A key map at a scale of not less than 1” = 400’ showing the location of that portion which is to be subdivided in relation to the entire tract and the surrounding area. **Provided.**

2. All existing structures, wooded areas, and topographical features, such as slump blocks, within the portion to be subdivided and within seventy-five (75) feet thereof. **Provided.**
3. The name of the owner and all adjoining property owners and owners of property directly across the street as disclosed by the most recent municipal tax record. If there is no positive evidence of ownership of any parcel of adjoining property within two hundred (200) feet, a certificate will be presented from the custodian of tax records to that effect. **Not Provided.**

Please provide a list on the plan.

4. The Tax Map sheet, block, and lot numbers. **Provided.**
5. All streets or roads and streams within seventy-five (75) feet of the subdivision. **Provided.**
6. Location of existing streets, and existing and proposed property lines, lot sizes, and areas. **Provided.**
7. Metes and bounds descriptions of all new lot and property lines. **Not provided.**

Metes and bounds descriptions for the new lots shall be provided if the application is approved.

8. The existence and location of any utility or other easement. **Provided.**
9. Setback, side line and rear yard distances and existing structures. **Provided.**
10. The name and address of the person preparing the plat, the graphic scale, date of preparation and reference meridian. **Partially provided.**

Plan and signature are not dated.

11. Certification from the Tax Collector that all taxes and assessments for local improvements on the property have been paid up to date. **Not provided.**

A certified list is required.

12. Certification statement for the required municipal signatures, stating: **Provided.**

Application No. _____ approved/disapproved by the Highlands Borough Planning Board/Board of Adjustment as a Minor Subdivision on _____.
(date)

Chairman

Secretary

13. Certification statement for the County Planning Board approval / disapproval, if required. **Not applicable.**
14. Zone district boundary lines, if any, on or adjoining the property to be subdivided and a schedule indicating the required minimum lot area, lot width, lot depth and front, rear and side yards of each zone district located on the property. **Provided.**
15. A wetlands statement provided by a qualified expert. **Not provided.**

It has been recommended by Mr. Herrman during the application process that a simple letter stating, "We have reviewed the State's GeoWeb mapping and performed a site review to confirm that there are no regulated freshwater wetlands or buffers impacting the property," would suffice in completing this checklist item.

A signed letter by a qualified expert is required.

16. The Board reserves the right to require a feasible sketch plan layout of remaining land not being subdivided if it is deemed necessary. **Partially provided.**

According to the previous review, "The applicant shall provide at least generic house and driveway layouts to demonstrate the sizes of proposed homes and the need for any additional setback relief."

Please refer to General Comments.

17. A lot grading plan, to be reviewed by the Borough Engineer, if required. **Not provided.**

Can be deferred as a condition of approval.

III. COMPLETENESS

Adequate information has not been provided to perform a technical review and fee calculation for the application, and therefore the application is deemed INCOMPLETE.

IV. GENERAL COMMENTS

1. The Minor Subdivision is signed; however, the plan and signature are not dated.
2. The Application's Part 8 Variance requests for Lot 8 and Lot 9 are not consistent with Schedule I – Bulk and Area Requirements and the Zoning Table shown on the Minor Subdivision Plan. Bulk and area requirements do not match, and existing areas and dimensions are not consistent with the plan.
3. Proposed building footprints and floor plans have been included with the submission of the Minor Subdivision plan in response to Checklist item 16. Please position the proposed dwelling and the driveway configuration for both lots. Provide the building coverage and lot coverage percentage in the chart to confirm that a variance(s) will or will not be required.
4. The plan indicates the existing dwelling on adjoining Lot 5 encroaching 7.3 ft upon proposed Lot 8.01 within a proposed 8.3 ft x 41.75 ft easement. According to the provided floor plans, the proposed dwelling is 30 ft x 50 ft.

Proposed Lot 8.01 is 45.62 ft wide and appears will not provide sufficient building clearance for fire and utilities between the existing encroachment and proposed dwelling.

The proposed 30' x 50' house will not fit on the lot with the required setbacks because of the encroachment by Lot 5.

Please provide information regarding this potential conflict. The roof and other overhangs for both dwellings will need to be considered for clearance.

5. Proposed Lot 9.01 will not accommodate the proposed 30 ft. x 50 ft house shown on the provided floor plans without requiring variances.

Lot width 41.00 ft. – 14 ft. total side yard setbacks = 27.0 ft. remaining width.

The proposed 30' dwelling will create a variance condition.

6. The Applicant is requested to provide a response letter to comments upon submission of revised plans.
7. The Applicant has noted in the application that the proposed dwellings will be FEMA elevation compliant and within municipal flood regulations. A grading plan will be required and deferred as a condition of approval.

Completeness Review No. 2
Applicant: Kirsch Kraft, LLC
Nine 5th Street
Block 57, Lots 8 & 9
Borough of Highlands, Monmouth County, New Jersey
Our File No.: HLPB2024-01
Page 5 of 5

We will continue our review upon submission of revised plans.

Should you have any questions, please do not hesitate to contact me.

Very truly yours,



Carmela Roberts, P.E., C.M.E., C.P.W.M.
Land Use Board Engineer

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)
Austin P. Mueller, Assoc., Land Use Board Attorney (amueller@weiner.law)
Courtney Lopez, Zoning Officer (clopez@highlandsborough.org)
Henry F. Wolff, III, Esq., Applicant's Attorney (hfw@lawwolff.com.com)
Cameron Corini, P.E., C.M.E., C.P.W.M., Roberts Engineering Group, LLC
GS Bachman, E.I.T., Roberts Engineering Group, LLC



April 15, 2024

Nancy Tran
Land Use Board Secretary
Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, New Jersey 07732

Re: **Applicant: Kirsh Kraft, LLC**
Nine 5th Street
Block 57, Lots 8 & 9
Borough of Highlands, Monmouth County, New Jersey

Dear Ms. Tran,

Kirsh Kraft, LLC is the applicant for the referenced application seeking Minor Subdivision approval with bulk variances. The following information is enclosed for your review.

1. Minor Subdivision Plan, Lots 8 & 9, Block 57, prepared by WJH Engineering, last revised to 4/5/24.
2. Prevailing Setback Exhibit, prepared by WJH Engineering, dated January 29, 2024.
3. Architectural Floor Plan and Elevations (2), prepared by the applicant, undated.

The following is in response to an engineering review letter, prepared by Roberts Engineering Group, dated February 20, 2024.

The applicant does not know the origin of the encroachment. It has been present in aerial photography well back into the 1960's. The applicant has not spoken with the owner of lot 5 to discuss a sale. An easement/license for the encroachment to remain is indicated on the subdivision plan.

The current survey information is accurate depicting the 7.3-foot, one story encroachment.

The applicant will provide the requisite testimony for the variances cited. It is noted a prevailing setback exhibit has been prepared and indicates a prevailing setback within 200 feet of the property at 16.1 feet.

The 200-foot list has been provided on the plan.

Metes and bounds are provided for all proposed lot lines on the plan. Descriptions would be provided with any approval.

The Minor Subdivision Plan has been signed and sealed.

30 NEWMAN ROAD, KENDALL PARK, NJ 08824

T 732.421.5675

WWW.ALLTHINGSPD.COM

The tax certification will be provided prior to the hearing.

A signed letter from a wetlands expert will be provided prior to the hearing. The NJDEP Geo-Web indicates not wetlands present.

The applicant has included generic house plans indicating a 30-foot-wide home on lot 8.01 and a 32-foot-wide home on lot 9.01.

A lot grading plan will be provided as a condition of approval.

1. The Minor Subdivision Plan is signed and revised to April 5, 2024.
2. The variance requests have been updated in the Zoning Table.
3. The proposed building floor plans have been provided to match the subdivision plan.
4. The proposed home on lot 8.01 will provide a minimum of 5.4 feet of clearance to the encroachment, sufficient so extraordinary measures are not necessary for either dwelling.
5. The applicant acknowledges there are variances sought as part of the application and will provide the necessary testimony to support same.
6. This is the response letter.
7. The applicant acknowledges the site is within a flood zone AE, Elevation 11.0. A grading plan will be provided as a condition of any approval and address the base flood elevation, building access, and building height for homes with parking on the ground level.

Thank you for the opportunity to provide revised plans. We believe with the revision sufficient information has been provided to declare the application complete and schedule for the May meeting.

Thank you for your cooperation. Please contact me with any questions or concerns.

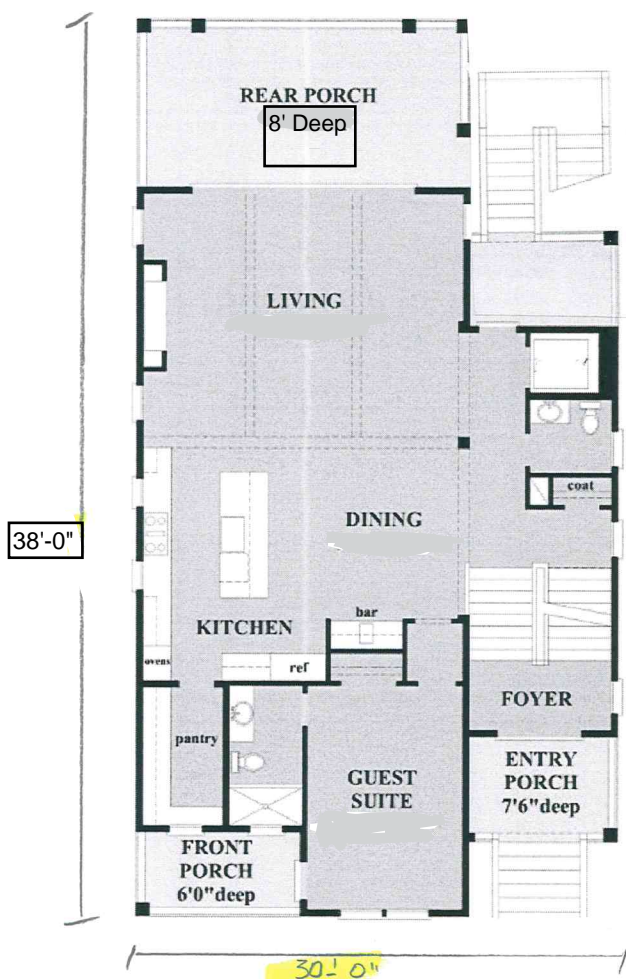
Very truly yours,

ALL THINGS PLANNING & DEVELOPMENT

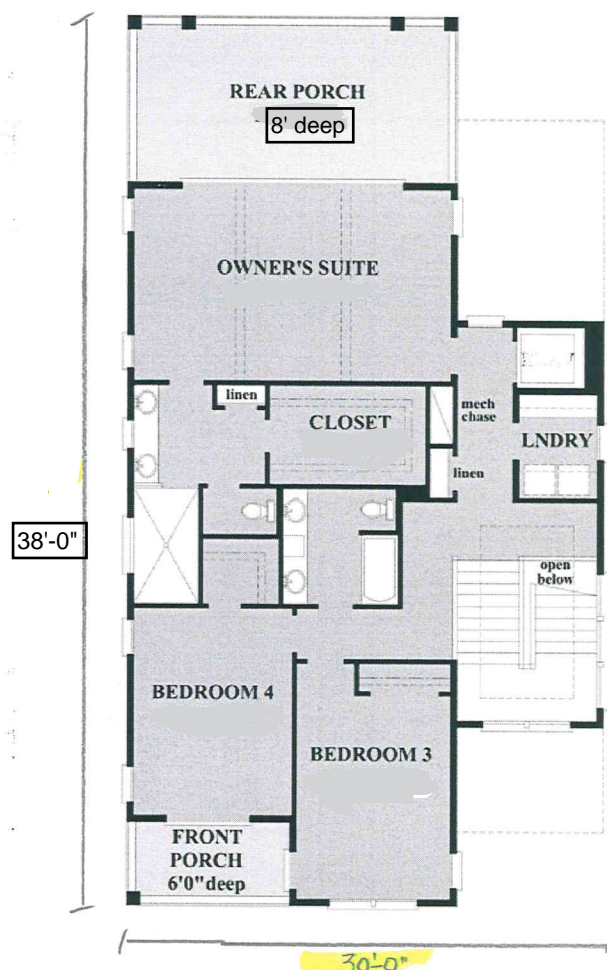
John E. Taikina

John E. Taikina, PP, AICP
Managing Member

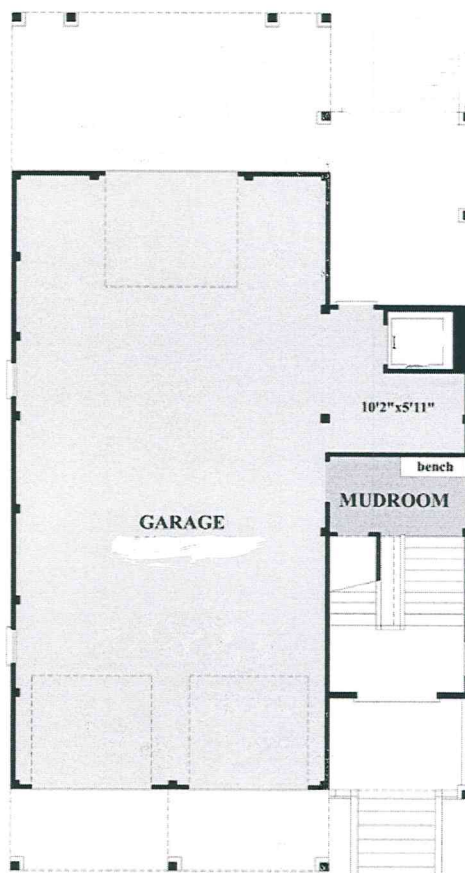
- c. Trevor Kirsh, Applicant
Walter Hopkin, PE, WJH Engineering, Applicant's Engineer
Henry Wolff, III, Applicant's Attorney



FIRST FLOOR PLAN



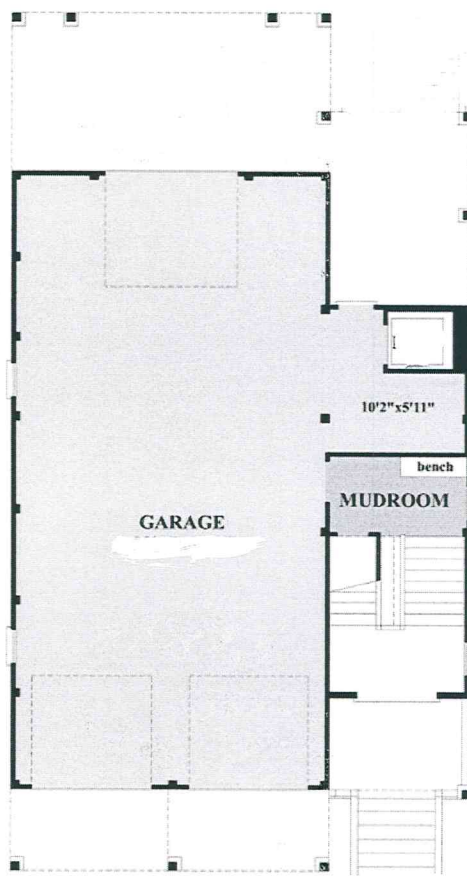
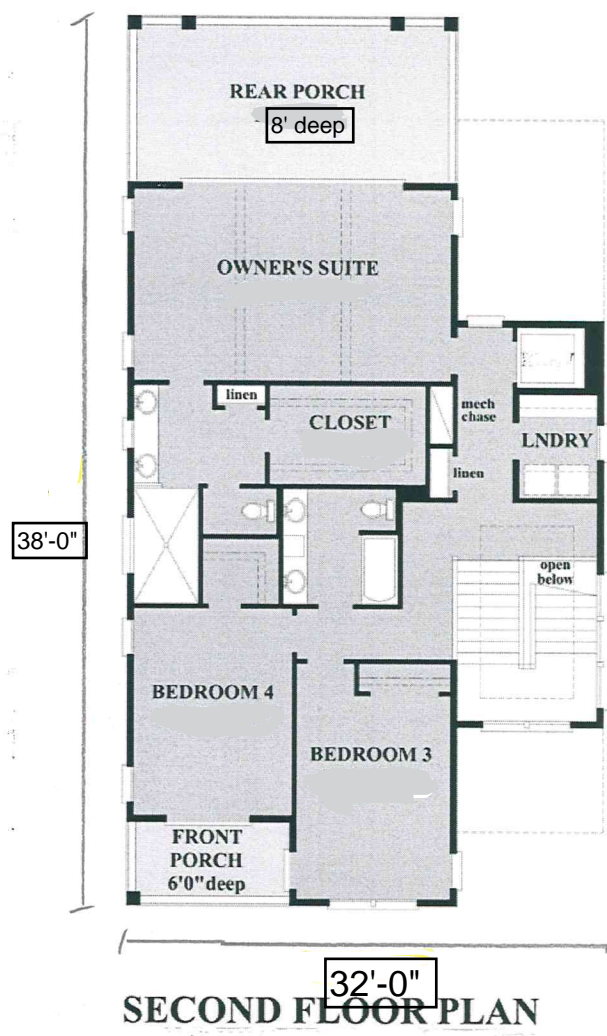
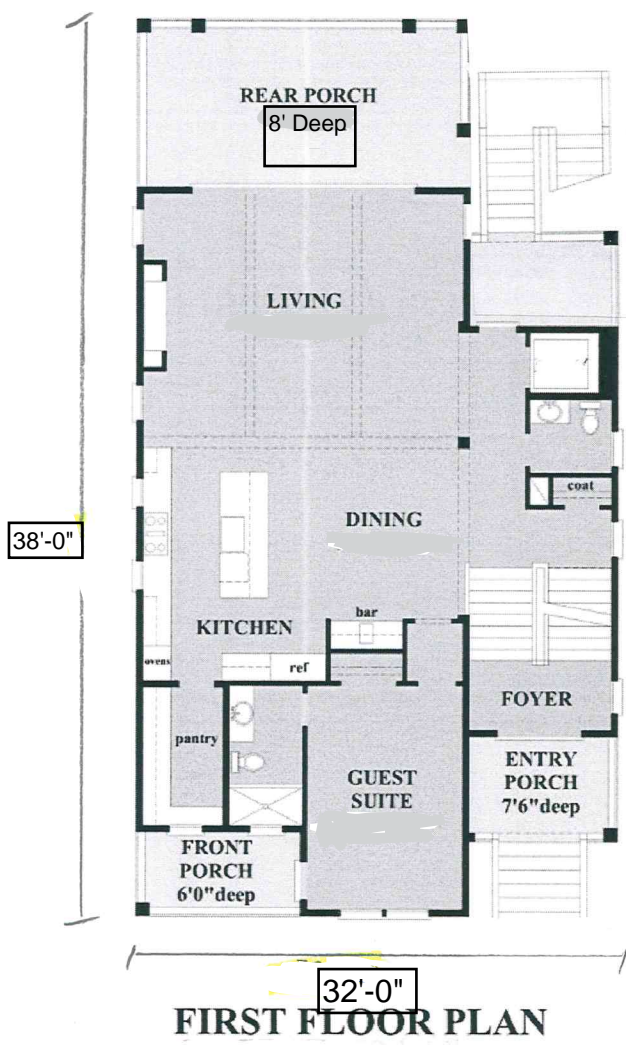
SECOND FLOOR PLAN



GROUND FLOOR PLAN

Kirsh Kraft, LLC
 Nine 5th Street
 Borough of Highlands

Block 57, Lots 8 & 9
 Minor Subdivision
 Proposed Two Story 30'-0" x 38'-0"



Kirsh Kraft, LLC
 Nine 5th Street
 Borough of Highlands

Block 57, Lots 8 & 9
 Minor Subdivision
 Proposed Two Story:

32'-0" x 38'-0"

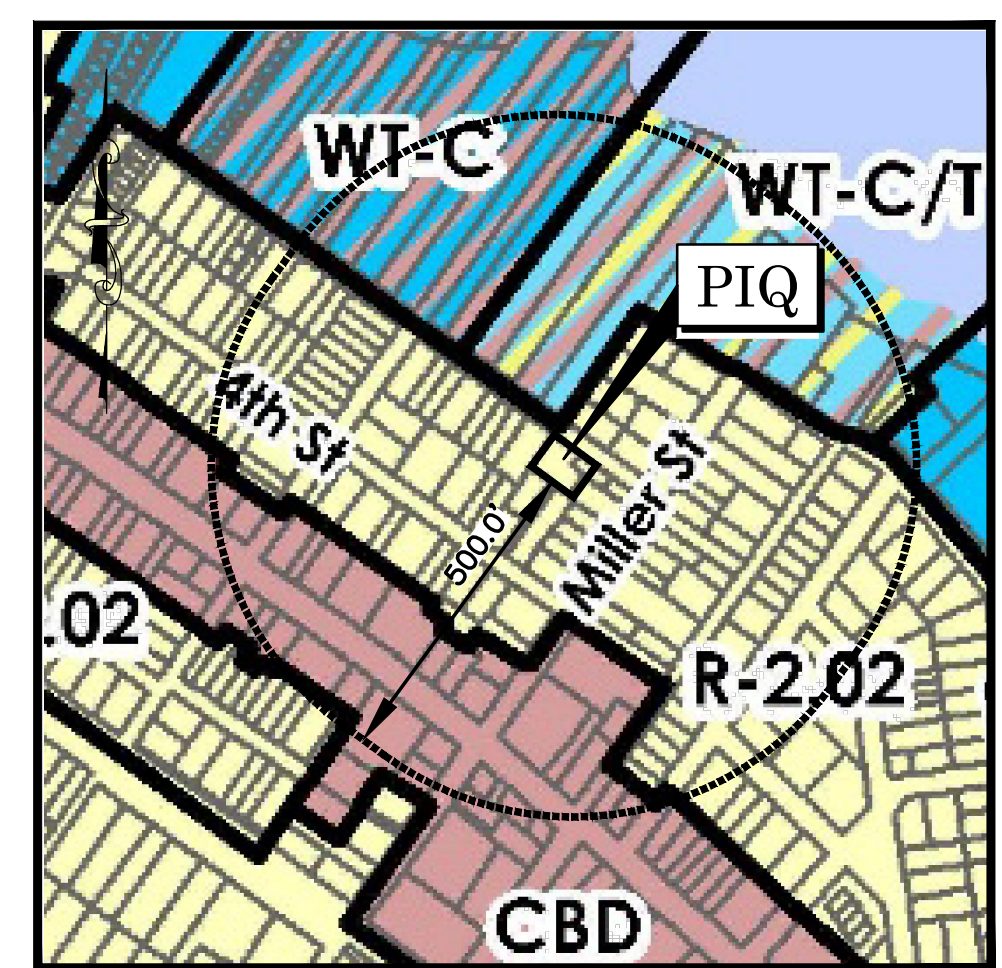
GROUND FLOOR PLAN

200' ADJOINING OWNERS

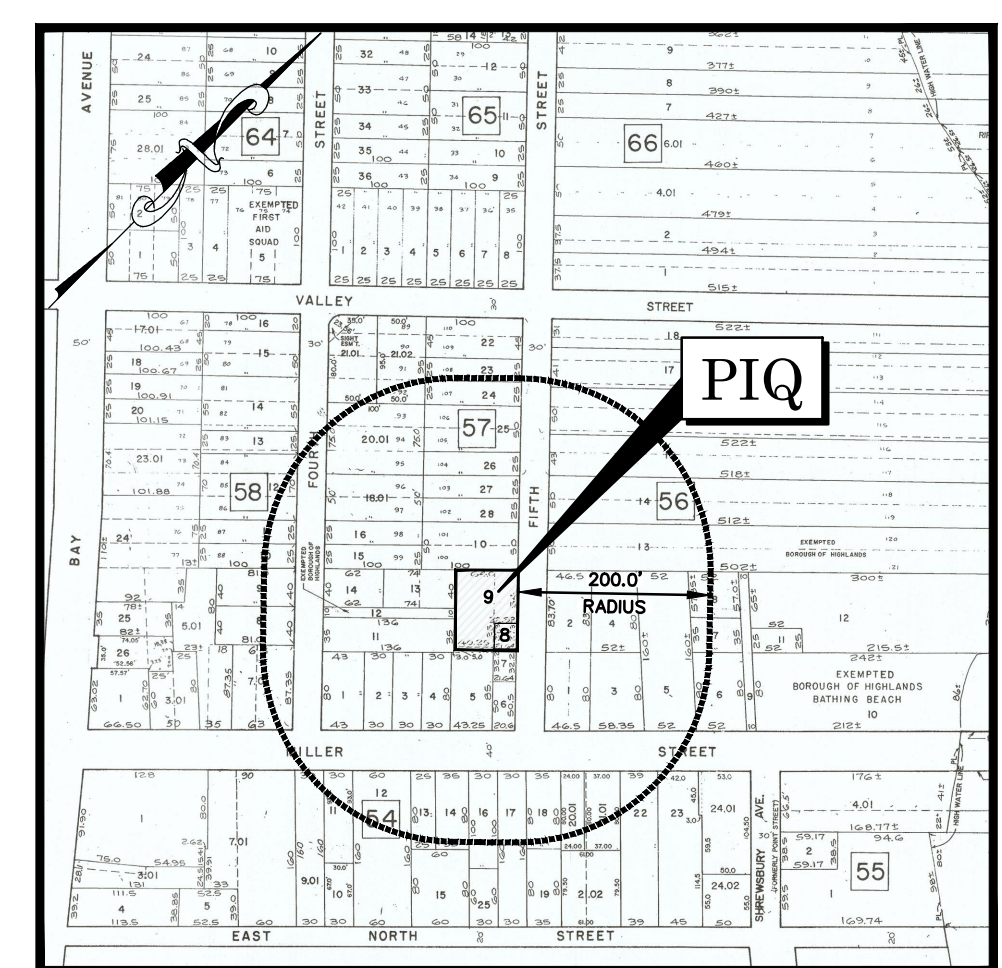
Table listing adjacent owners with columns for Block/Lot, Current Owner, Mailing Address, and Highlands NJ ZIP code.

GENERAL NOTES:

- OWNER (LOT 8) - TREVOR KIRSH
OWNER (LOT 9) - KIRSH KRAFT, LLC
APPLICANT - KIRSH KRAFT, LLC
1. THE PROPERTY IS KNOWN AS LOTS 8 & 9, BLOCK 57 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY.

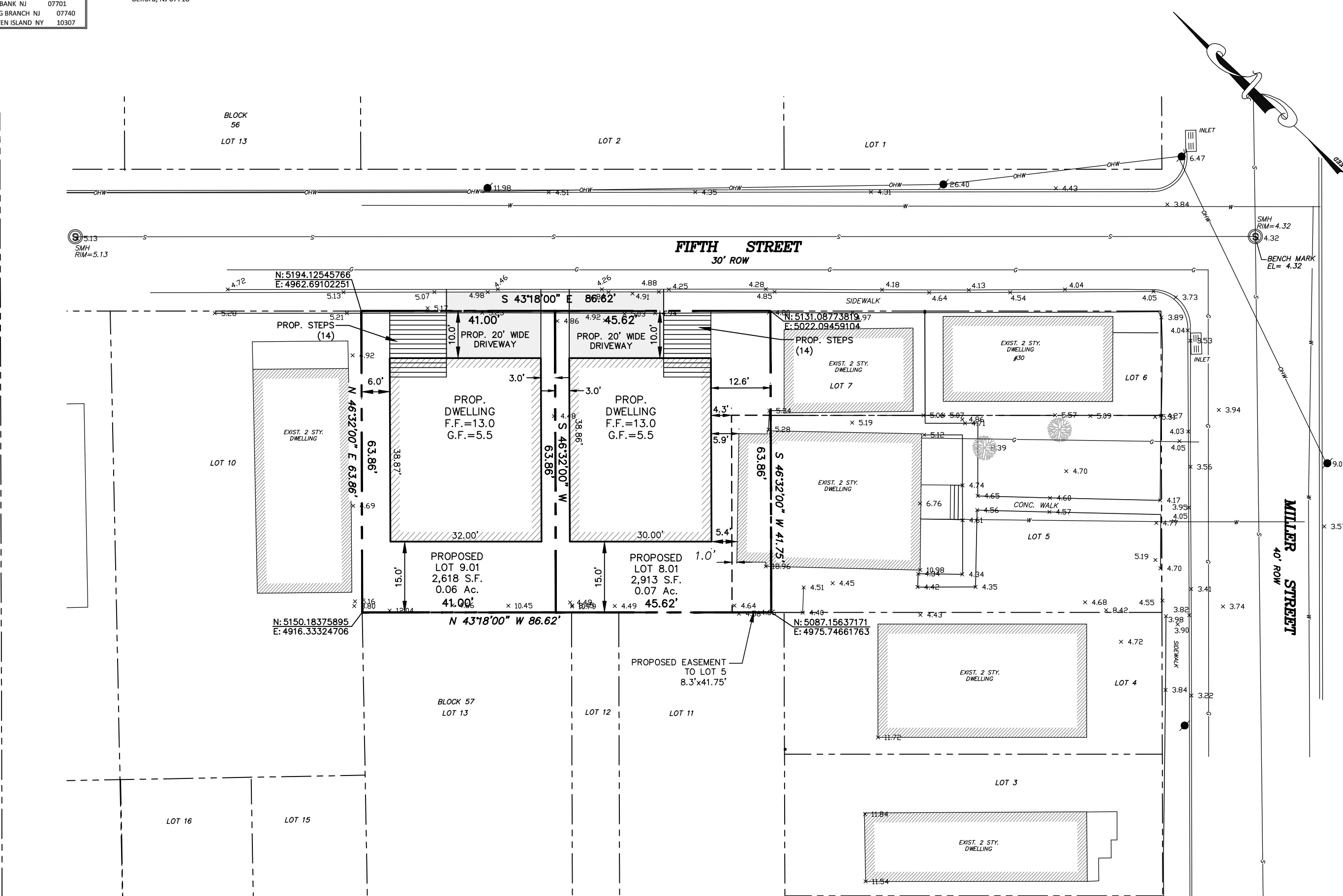
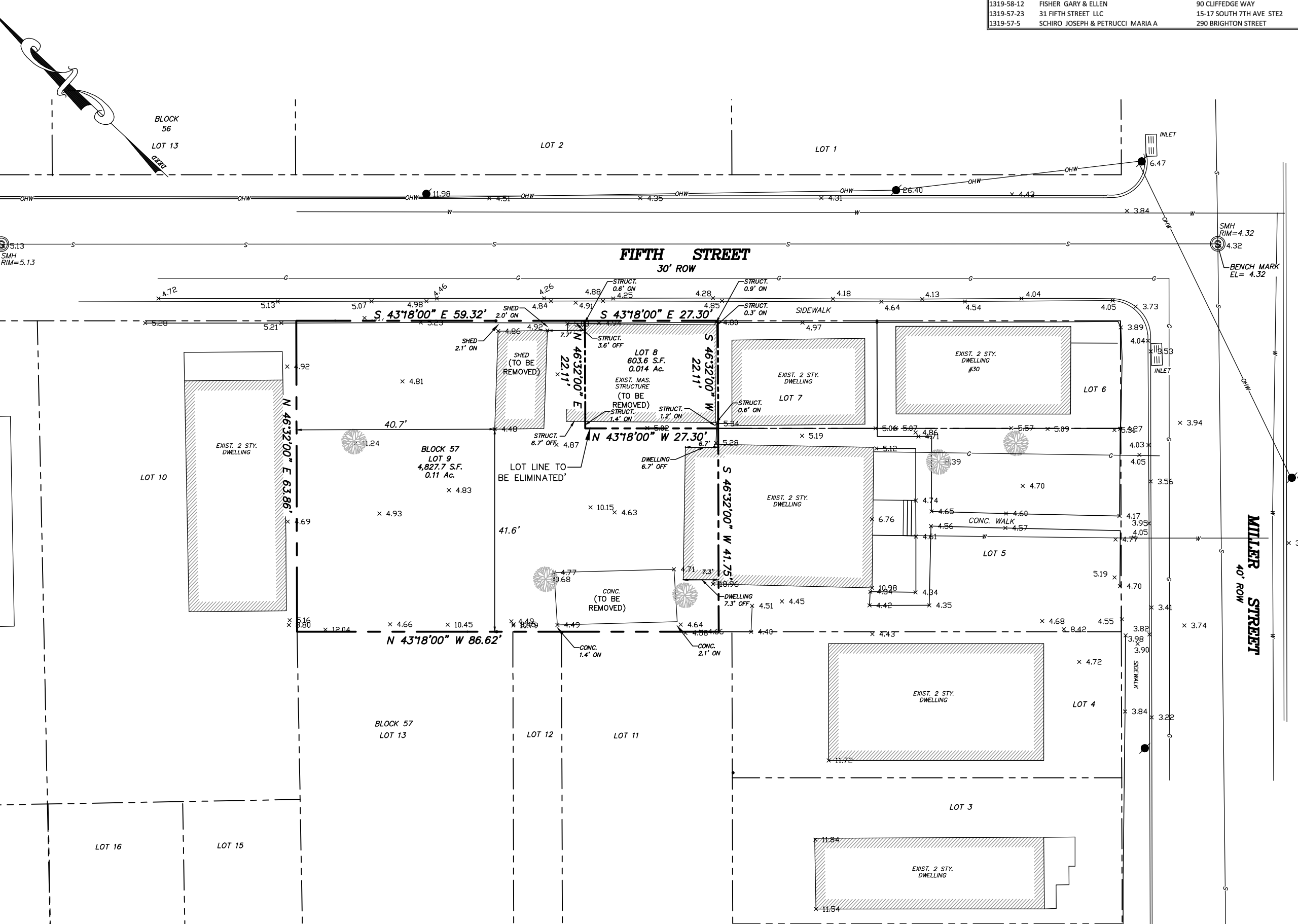


ZONE MAP
SCALE: 1"=300'



TAX MAP
SCALE: 1"=200'

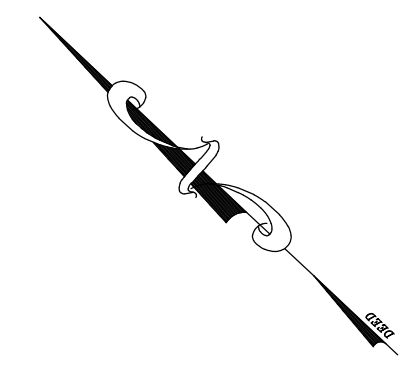
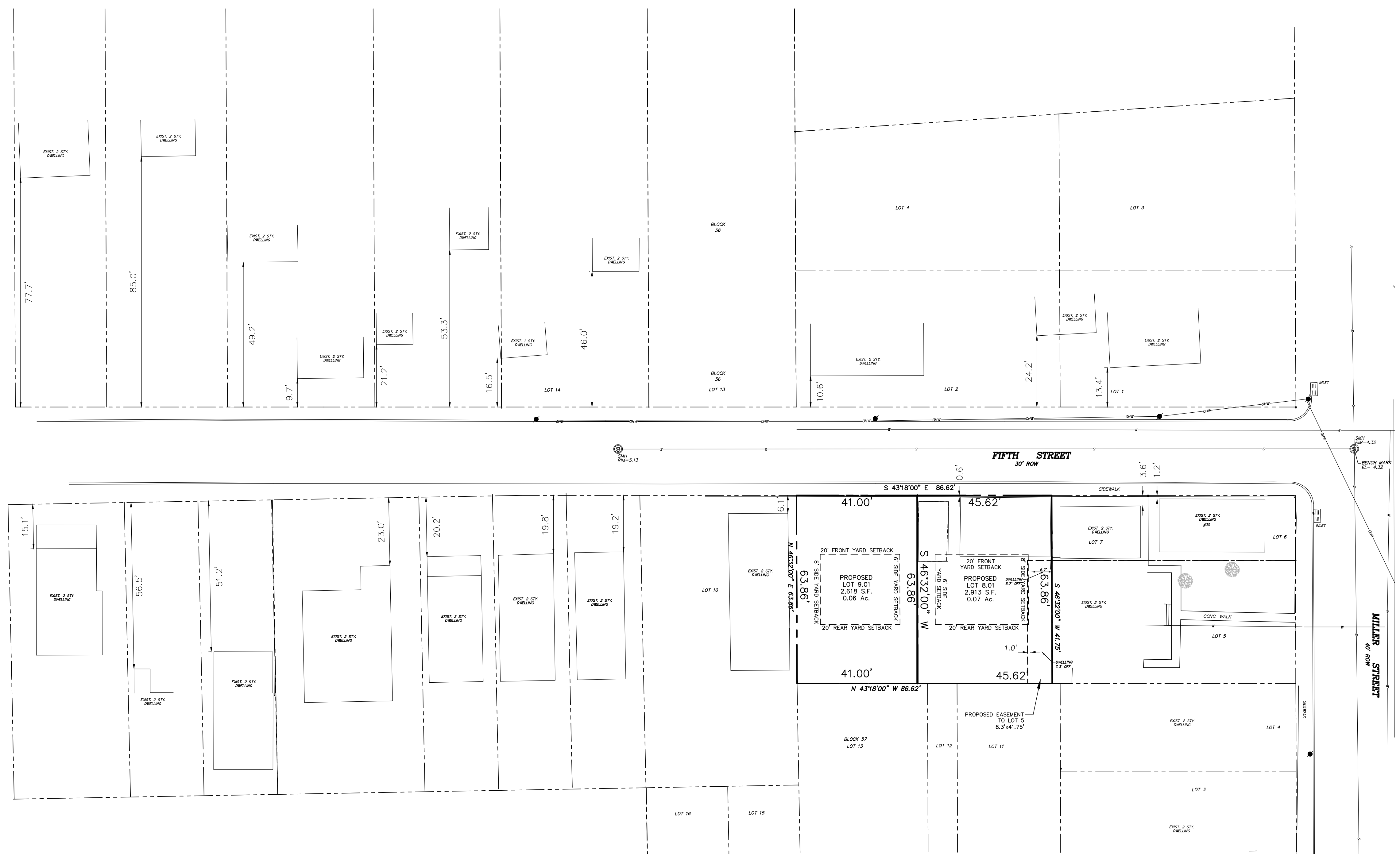
ZONING TABLE
R-2.02 SINGLE FAMILY RESIDENTIAL ZONE DISTRICT
Table with columns: REQUIRED, EXISTING LOT 8, EXISTING LOT 9, PROPOSED LOT 8.01, PROPOSED LOT 9.01



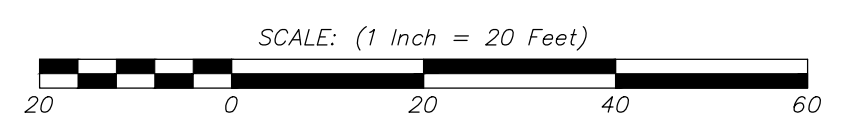
LEGEND
OWNER (LOT 8) DATE
OWNER (LOT 9) DATE
NOTARY PUBLIC DATE
MUNICIPAL CLERK DATE
BOROUGH ENGINEER DATE

EXISTING CONDITIONS
MINOR SUBDIVISION
I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND MINOR SUBDIVISION PREPARED BY RICHARD E. STOCKTON & ASSOC., INC. DATED 1/12/21, LAST REVISED 8/3/21 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION AND COMPLES WITH THE 'MAP FILING LAW' AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

MINOR SUBDIVISION PLAN
LOTS 8 & 9, BLOCK 57
BOROUGH OF HIGHLANDS MONMOUTH COUNTY NEW JERSEY
PETER P. BENNETT III
N.J. PROFESSIONAL LAND SURVEYOR, LIC. No. 40651
SCALE: 1"=20'
DRAWN BY: JFB
DATE: 1/29/24
JOB No.: 23203
SHEET No.: 1 of 1



- LEGEND**
- GAS VALVE
 - WATER VALVE
 - WATER METER
 - UTILITY MANHOLE
 - DRAINAGE MANHOLE
 - ELECTRICAL MANHOLE
 - SANITARY MANHOLE
 - TELEPHONE MANHOLE
 - TRAFFIC SIGN
 - STREET SIGN
 - LIGHT POST
 - UTILITY POLE
 - FIRE HYDRANT
 - DRAINAGE INLET (TYPE "A")
 - DRAINAGE INLET (TYPE "B")
 - DRAINAGE INLET (TYPE "C")
 - DRAINAGE LINE
 - ELECTRIC LINE
 - GAS LINE
 - SANITARY SEWER LINE
 - TELEPHONE LINE
 - WATER LINE
 - OVERHEAD WIRES
 - MONITORING WELL
 - IRON PIPE FOUND
 - CAPPED REBAR FOUND
 - CONCRETE MONUMENT FOUND
 - SURVEY
 - FILE MAP
 - G.O. METER
 - DEPRESSED CURB
 - FLUSH CURB
 - SOIL BORING LOCATION
 - PHOTOGRAPH LOCATION



NO.	DATE	DESCRIPTION	DRAWN BY

MINOR SUBDIVISION PLAN
OF
LOTS 8 & 9, BLOCK 57
BOROUGH OF HIGHLANDS MONMOUTH COUNTY NEW JERSEY

WJH
ENGINEERING

CERT. OF AUTH. NO. 246A28117300
257 MONMOUTH ROAD,
BLDG. A, STE. 7,
ORANJURET, NJ 07755
PHONE - 732.223.1313
WWW.WJHENGINEERING.COM

**PREVAILING SETBACK
EXHIBIT**

PETER P. BENNETT III
N.J. PROFESSIONAL LAND SURVEYOR, LIC. No. 40651

SCALE: 1"=20'	DRAWN BY: JFB	DATE: 1/29/24	JOB No.: 23203	SHEET No.: 1 of 1
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H:\Projects\123123203 - BH\1 - B57_1808 - Highlands Survey\Drawings\PRELIM\SETBACKS.dwg - 4/9/2024 1:05:06 PM



Roberts
 ENGINEERING GROUP LLC
 Women Business Enterprise Certified

1670 Whitehorse-Hamilton Square Rd.
 Hamilton, New Jersey 08690
 609-586-1141 fax 609-586-1143
 www.RobertsEngineeringGroup.com

May 9, 2024

Nancy Tran
 Land Use Board Secretary
 Borough of Highlands Land Use Board
 151 Navesink Avenue
 Highlands, New Jersey 07732

Re: Completeness Review No. 3
 Applicant: Kirsh Kraft, LLC
 Nine 5th Street
 Block 57, Lots 8 & 9
 Borough of Highlands, Monmouth County, New Jersey
 Our File No.: HLPB2022-04

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The Applicant seeks a Minor Subdivision to reconfigure existing Lot 8 and Lot 9 in the R-2.02 Single Family Residential District. Existing Lot 8 and Lot 9 consist of 603.60 sf and 4,827.70 sf, respectively. Lot 8 has an empty unlivable dwelling; Lot 9 has a shed and both buildings are to be removed from the lots. Utility services are available for both lots. Proposed Lot 8.01 and Lot 9.01 are 2,913 sf and 2,618 sf, respectively. The existing lots are non-conforming, and the proposed lots will require bulk variances. The Applicant received a Zoning Denial Letter, dated May 13, 2022. A Notice of Unsafe Structure was issued on April 12, 2024, for Lot 8, by the Construction Department.

We have reviewed the following documents submitted in support of the above referenced application for completeness purposes:

1. Copy of a response letter to Review No. 1 from John E. Taikina, P.P., A.I.C.P., All Things Planning & Development, dated April 15, 2024.
2. Copy of plan entitled, "Minor Subdivision Plan of Lots 8 & 9, Block 57, Borough of Highlands, Monmouth County, New Jersey", prepared by WJH Engineering, dated January 29, 2024, and last revised April 5, 2024, and signed by Peter P. Bennett III.
3. Copy of plan entitled, "Minor Subdivision Plan of Lots 8 & 9, Block 57, Prevailing Setback Exhibit, Borough of Highlands, Monmouth County, New Jersey", prepared by WJH Engineering, dated January 29, 2024, and unsigned.
4. Copy each of two Architectural Floor Plans and Elevations. Prepared by unknown and undated.

The first completeness review was provided by Mr. Herrman on June 23, 2022, for plans prepared by Richard E. Stockton & Associates. The Applicant notified the Borough of Highlands on October 24, 2023, that WJH Engineering would be providing engineering services. This review letter will address the current submission provided by WJH Engineering. It is noted that Mr. Bennett is certifying the plans prepared by Richard E. Stockton & Assoc.

The Applicant has satisfied many of the comments (*italic*) outlined within our previous review letter dated February 20, 2023; however, the following comments (**bold**) are offered including items to be completed.

We offer the following comments:

Completeness Review No. 3
 Applicant: Kirsch Kraft, LLC
 Nine 5th Street
 Block 57, Lots 8 & 9
 Borough of Highlands, Monmouth County, New Jersey
 Our File No.: HLPB2024-01
 Page 2 of 5

We are requesting background information regarding Existing Lot 9. Please explain the history of the existing dwelling on adjoining Lot 5 and how an encroachment was developed between the existing lots. Has the Applicant approached the owners of Lot 5 and discussed selling the property?

The existing dwelling on Lot 5 encroaches upon existing Lot 9 with a maximum encroachment of 7.3 ft. according to the Minor Subdivision. However, a survey prepared by Seneca Survey Co., Inc. for Lot 9, dated August 15, 2016, as found in the submission packet, notes a maximum encroachment of 1.5 ft Please explain the difference.

The Applicant’s response letter states, “The applicant does not know the origin of the encroachment. It has been present in aerial photography well back into the 1960’s. The applicant has not spoken with the owner of lot 5 to discuss a sale. An easement/license for the encroachment to remain is indicated on the subdivision plan.”

Proposed Lot 8.01 may require a Use Variance to allow two principal uses on one lot.

We defer to the Planning Board’s Legal counsel regarding the building encroachment and the introduction of a Use Variance. Please see the General comments regarding setback variances.

We offer the following comments and recommendations for the Planning Board’s consideration:

I. ZONING

1. This property is located in the R-2.02 Single Family Residential District.
2. The Application requires fifteen (15) bulk variances. To be entitled to bulk “c” variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-70c for bulk variances.

The Applicant will be required to provide proof during testimony.

3. The following bulk requirement summary is provided for the Board’s reference. In accordance with Ordinance §21-85, existing and proposed bulk deficiencies which require bulk “c” variances have been noted:

Schedule I – Bulk and Area Requirements					
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Min. Lot Depth (ft)	75	**22.11	**63.86	*63.86	*63.86
Min. Front Yard Setback (ft)**	20	**0.6	**2.0	*10.0	*10.0
Min. Side Yard Setback (ft)	6/8	**0.3/-3.6	7.7/40.7	*3/*4.3 (1)	*3/6
Min. Rear Yard Setback (ft)	20	**1.2	41.6	*15.0	*15.0
Max. Building Height (ft)	30	<35	<35	TBD	TBD
Max Lot Coverage	75%	**89.28%	15.25%	50.33	59.74
Max Building Coverage	33%	**89.28%	9.74%	*40.03	*47.52
On-Site Parking (spaces)	TBD	Not provided	Not provided	TBD	TBD

Completeness Review No. 3
Applicant: Kirsch Kraft, LLC
Nine 5th Street
Block 57, Lots 8 & 9
Borough of Highlands, Monmouth County, New Jersey
Our File No.: HLPB2024-01
Page 3 of 5

- * Proposed Variance
- ** Existing non-conformity
- ***Or average of the existing front yard setback within 200 ft of same block and zone
- (1) Potential lot line

II. APPLICATION FEES (PART 6 FEE SCHEDULE ARTICLE XXIII, ORD. 21-107)

1. Variances			
Residential "c" (minimum lot area) x2	1 EA	\$ 125.00	\$ 250.00
Residential "c" (minimum lot frontage/width) x2	1 EA	\$ 125.00	\$ 250.00
Residential "c" (minimum lot depth) x2	1 EA	\$ 125.00	\$ 250.00
Residential "c" (minimum front yard setback) x2	1 EA	\$ 125.00	\$ 250.00
Residential "c" (minimum side yard setback) x3	1 EA	\$ 125.00	\$ 375.00
Residential "c" (minimum rear yard setback) x2	1 EA	\$ 125.00	\$ 250.00
Residential "c" (maximum building coverage) x2	1 EA	\$ 125.00	\$ 250.00
Subtotal			\$1,875.00
2. B. Subdivisions			
Minor	1 EA	\$ 400.00	\$ 400.00
Total			\$2,275.00

III. CHECKLIST ITEMS

The following information was reviewed for completeness pursuant to Ordinance Section 21-58.A:

1. Metes and bounds descriptions of all new lot and property lines.

The Applicant has provided metes and bounds for all proposed lot lines on the plan. The Applicant has responded that descriptions would be provided with any approval.

We find this acceptable.

2. Setback, sideline and rear yard distances and existing structures.

Proposed setback distances are shown on the Minor Subdivision plan.

We find this acceptable.

3. Certification from the Tax Collector that all taxes and assessments for local improvements on the property have been paid up to date.

The Applicant has indicated that a tax certification will be provided prior to the hearing.

We find this acceptable.

4. A wetlands statement provided by a qualified expert.

It has been recommended by Mr. Herrman during the application process that a simple letter stating, "We have reviewed the State's GeoWeb mapping and performed a site review to confirm that there are no regulated freshwater wetlands or buffers impacting the property," would suffice in completing this checklist item.

A signed letter by a qualified expert is required.

- a. **The Applicant has indicated that a signed letter from a wetland expert will be provided prior to the hearing.**

This is acceptable and the letter is a condition of approval.

- b. The Applicant has provided General Note No 8 on the plan and is stated, "Pursuant to NJDEP Geo-Web, no wetlands exist onsite."**

The plan note is incomplete. Please follow the statement provided by Mr. Herrman.

5. *The Board reserves the right to require a feasible sketch plan layout of remaining land not being subdivided if it is deemed necessary.*

The Applicant has provided a dwelling and driveway layout and associated bulk requirement values.

We find this acceptable and please refer to the General comments section.

6. *A lot grading plan, to be reviewed by the Borough Engineer, if required. Can be deferred as a condition of approval.*

The Applicant has indicated that a grading plan will be provided as a condition of approval.

We find this acceptable.

IV. COMPLETENESS

The application may be deemed complete based on checklist items to be addressed by the applicant during testimony at the hearing.

V. GENERAL COMMENTS

1. *Proposed building footprints and floor plans have been included with the submission of the Minor Subdivision plan in response to Checklist item 16. The applicant has positioned the proposed dwelling and the driveway configuration for both lots.*

- a. **The Applicant has provided generic Architectural Floor Plans and Elevations indicating dimensions.**
- b. **The proposed dwelling and driveways are shown on the plan and the Zone Table has been updated with the associated bulk requirement values.**

The Prevailing Setback Exhibit plan indicates the front yard dimensions for many dwellings within a 200 ft radius of the Minor Subdivision. However, the plan does not explain how the prevailing front setback was determined for Lots 8.01 and 9.01.

Please review the ordinance and provide the prevailing setback information in the Zoning Table and in testimony.

2. *The plan indicates the existing dwelling on adjoining Lot 5 encroaching 7.3 ft upon proposed Lot 8.01. According to the provided floor plans, the proposed dwellings are 30 x 38 and 32 x 38.*

Proposed Lot 8.01 is 45.62 ft wide and appears will not provide sufficient building clearance for fire and utilities between the existing house encroachment and the proposed dwelling.

Please provide information regarding this potential conflict. The roof and other overhangs for both dwellings will need to be considered for clearance.

- a. **The Applicant indicates "The proposed home on lot 8.01 will provide a minimum of 5.4 feet of clearance to the existing house encroachment, sufficient so extraordinary measures are not necessary for either dwelling."**

Please provide testimony.

- b. **The side yard setback for Lot 8.01 must consider both the distance to the property line and to the proposed easement.**

The side setback would be 12.6' to the property line however the setback to the proposed easement is 4.3'. A variance is applicable to this condition. The proposed easement can potentially be a lot line.

- c. **Please update the Zoning Table and include variances on the plan submitted.**

3. *Proposed Lot 9.01 proposes a 32 ft. x 38 ft dwelling which requires a variance for side yard setback.*

The Applicant acknowledges there are variances and will provide testimony.

4. *The Applicant has noted that the proposed dwellings will be FEMA elevation compliant and within municipal flood regulations. A grading plan will be required as a condition of approval.*

The Applicant has indicated that a grading plan will be provided as a condition of approval.

Should you have any questions, please do not hesitate to contact me.

Very truly yours,



Carmela Roberts, P.E., C.M.E., C.P.W.M.
Land Use Board Engineer

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)
Austin P. Mueller, Assoc., Land Use Board Attorney (amueller@weiner.law)
Courtney Lopez, Zoning Officer (clopez@highlandsborough.org)
Walt Hopkin, P.E., Applicant's Engineer (whopkin@wjhengineering.com)
Henry F. Wolff, III, Esq., Applicant's Attorney (hfw@lawwolff.com)
Cameron Corini, P.E., C.M.E., C.P.W.M., Roberts Engineering Group, LLC
GS Bachman, E.I.T., Roberts Engineering Group, LLC

GIORDANO, HALLERAN & CIESLA, P.C.

A PROFESSIONAL CORPORATION
ATTORNEYS AT LAW
WWW.GHCLAW.COM

EVAN P. ZIMMERMAN, ESQ.
SHAREHOLDER
EZIMMERMAN@GHCLAW.COM
DIRECT DIAL: (732) 219-5496

(732) 741-3900
FAX: (732) 224-6599

www.ghclaw.com

July 2, 2024

Client/Matter No. 13551-0023

Via Email

Nancy Tran, Land Use Board Secretary
Borough of Highlands
42 Shore Drive
Highlands, New Jersey 07732

**RE: Home & Land Development Corp
Pending Application for Subdivision and Bulk Variance Relief
14 North Peak and 32 North Peak
Block 35, Lots 8 & 9 (the "Property")**

Dear Ms. Tran:

This law firm represents Home & Land Development Corp with respect to the above referenced application pending before the Land Use Board and scheduled to proceed at the Board's meeting on July 11, 2024.

In response to the Board's direction at the first public hearing on May 9, 2024, the Applicant has submitted the proposed plans to the Borough engineer and attorney for review of the proposed improvements within adjoining rights-of-way. We are in receipt of a review letter dated June 19, 2024 issued by Joseph J. Raftery, P.E., C.M.E., the Borough Engineer, a copy of which is enclosed. The Applicant's civil engineer and other design professionals are currently working to revise the plans and materials to address the comments received. Once the plans are revised, Applicant intends to seek a meeting with the Borough Engineer and the Land Use Board Engineer to discuss and efficiently finalize any remaining comments on the plans. Once complete, the Applicant intends to return to the Board to continue the public hearing.

As such, please accept this letter as Applicant's requests to be carried without further notice to the Board's next available hearing date. This letter further confirms that Applicant consents to an extension of time for which the Board must act through such next available hearing date.

GIORDANO, HALLERAN & CIESLA
A Professional Corporation
ATTORNEYS-AT-LAW

Nancy Tran, Land Use Board Secretary
July 2, 2024
Page 2

Please confirm that the application has been carried at your earliest convenience.

Thank you for your continued courtesies in this matter.

Very truly yours,



EVAN P. ZIMMERMAN

EPZ/dw

Encls.

cc: *Via Email (all with enclosures)*

Ronald Cucchiaro, Esq.

Joseph Raftery, Borough Engineer

Carmela Roberts, Land Use Engineer

Charles Farkouh

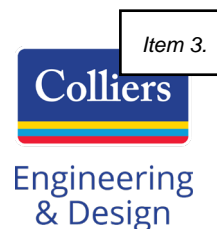
Frank Farrell, P.E.

Thomas P. Santry, P.L.S.

Michael Bruno, Esq.

Denise Wegryniak

101 Crawfords Corner Road
Suite 3400
Holmdel, New Jersey 07733
Main: 877 627 3772



June 19, 2024

VIA EMAIL

Courtney Lopez, Zoning Officer
Borough of Highlands
151 Navesink Avenue
Highlands, New Jersey 07732

Right-of Way Review
42 North Peak Street - Block 35, Lot 8 & 9
Borough of Highlands, Monmouth County, New Jersey
Colliers Engineering & Design Project No. HIBC-0001

Dear Ms. Lopez,

As requested, this office has completed a review of the above application, consisting of the following:

- Plot Plans prepared by Frank W. Farrell, P.E., C.M.E., of Gratto Engineering Associates, LLC, dated April 5, 2024, and revised April 25, 2024, consisting of eight (8) sheets; and,
- Steep Slope Permit Application Report, prepared by Frank W. Farrell, P.E., C.M.E., of Gratto Engineering Associates, LLC, dated April 26, 2024.

The Applicant seeks approval for improvements within the Borough Right-of Way (ROW), extending N. Peak Street along the frontage of the subject property, installation of retaining walls and new sanitary sewer pipe within the Borough's ROW, and connecting to the existing sanitary main within Valley Avenue to accommodate further development of Lots 8 & 9. The following shall apply:

1. The Plan proposes ½" gas and 2" water service connections, from each proposed dwelling to the existing mains located within North Peak Street ROW. The plans shall be revised to indicate the proposed electric service connection.
2. The plan proposes 4" sanitary sewer laterals, from each dwelling, connecting to a proposed 6" sanitary sewer pipe located rear of the subject property, within the Borough's ROW., connecting to the existing sanitary sewer manhole on Valley Avenue. The following shall apply;
 - a. Additional information shall be provided at the existing manhole within Valley Avenue, including, rim elevation, pipe size of the existing sewer main, existing and proposed invert elevations, etc.;
 - b. Provide the proposed rim and pipe invert elevations at proposed MH-1 & MH-2; and,

- c. The applicant is proposing cleanouts to stagger the proposed 6" sanitary sewer pipe, proposed within the rear unnamed ROW., dropping each pipe section approximately 7.5 ft. Manholes are recommended at each drop for accessibility and maintenance.
3. The plans shall be revised to indicate pavement trench repair within Valley Avenue.
4. Section 21-65.5.C.1 allows a maximum driveway width of 18 ft. at the curb and 22 ft. at the interior, whereas the applicant proposes a driveway width of 24 ft. at the curb on both lots. The plans should be revised for compliance, or a design waiver is required.
5. The plans shall be revised to provide additional information at the proposed manhole and new pipe section located at the northern corner of N. Peak St. Please clarify the connection at the gutter and the direction of flow along the existing 12" CMP.
6. A detail for the proposed roadway gutter shall be provided.
7. The Applicant is proposing retaining walls along the extended portion of N. Peak Street (varying in height between 5-10'); along the rear of the subject property (11.5' in height) and along a portion of the unnamed ROW (varying between 0-6' in height). The following shall apply;
 - a. Per ordinance section §21-65.16.B, for retaining walls over an aggregate height of 3.5 feet, structural calculations must be submitted for review and approved by the Borough Engineer prior to construction.
 - b. Based on the soil survey, the existing on-site soil consists of phalanx loamy sand. The applicant shall confirm that groundwater infiltration at the proposed drywells shall not compromise the integrity of the proposed walls.
 - c. Per ordinance section §21-65.16.D, retaining walls over five (5) feet in height shall be provided with a fence or other approved barrier at the top of the wall to avoid accidental falls. The plans shall be revised to indicate the type of barrier and proposed height.
 - d. Details shall be provided for the proposed retaining walls, including a safety fence.
 - e. We defer further review of the proposed retaining walls to the Building Department.
8. The Applicant shall demonstrate that there will be no increases in peak runoff rates toward the rear and adjacent residential lots.

Should you have any questions or require any additional information relative to the above-referenced matter, please do not hesitate to contact our office.

Sincerely,

Colliers Engineering & Design, Inc.
(DBA Maser Consulting)



Joseph J. Raftery, P.E., C.M.E.
Highlands Borough Engineer

JJR/NV/rb

cc: Land Use Board (via email)
Nancy Tran, Borough Clerk (via email)
Steven Winters, Borough CFM (via email)
Spencer Carpenter, Superintendent of Public Works (via email)
Michael Muscillo, Borough Administrator (via email)
Andrew Ball, Borough Attorney (via email)
Nevien Valenzuela, P.E., Colliers Engineering & Design (via email)

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PLANS FOR 2017 CAPITAL ROAD IMPROVEMENTS

HIGHLANDS BOROUGH MONMOUTH COUNTY, NEW JERSEY

UTILITY OWNERS

GAS
NJ NATURAL GAS
1415 WYCKOFF ROAD
WALL, NJ 07719
ATTN: RODNEY AU, PROJECT ENGINEER
(732) 938-1179

ELECTRIC
JERSEY CENTRAL POWER & LIGHT
331 NEWMAN SPRINGS ROAD-- BLDG 3
RED BANK, NJ 07701
ATTN: WILLIAM UELLNER
(732) 212-4246

WATER
NJ AMERICAN WATER
661 SHREWSBURY AVENUE
SHREWSBURY, NJ 07702
ATTN: JOE PAVLEK
(800) 987-5325

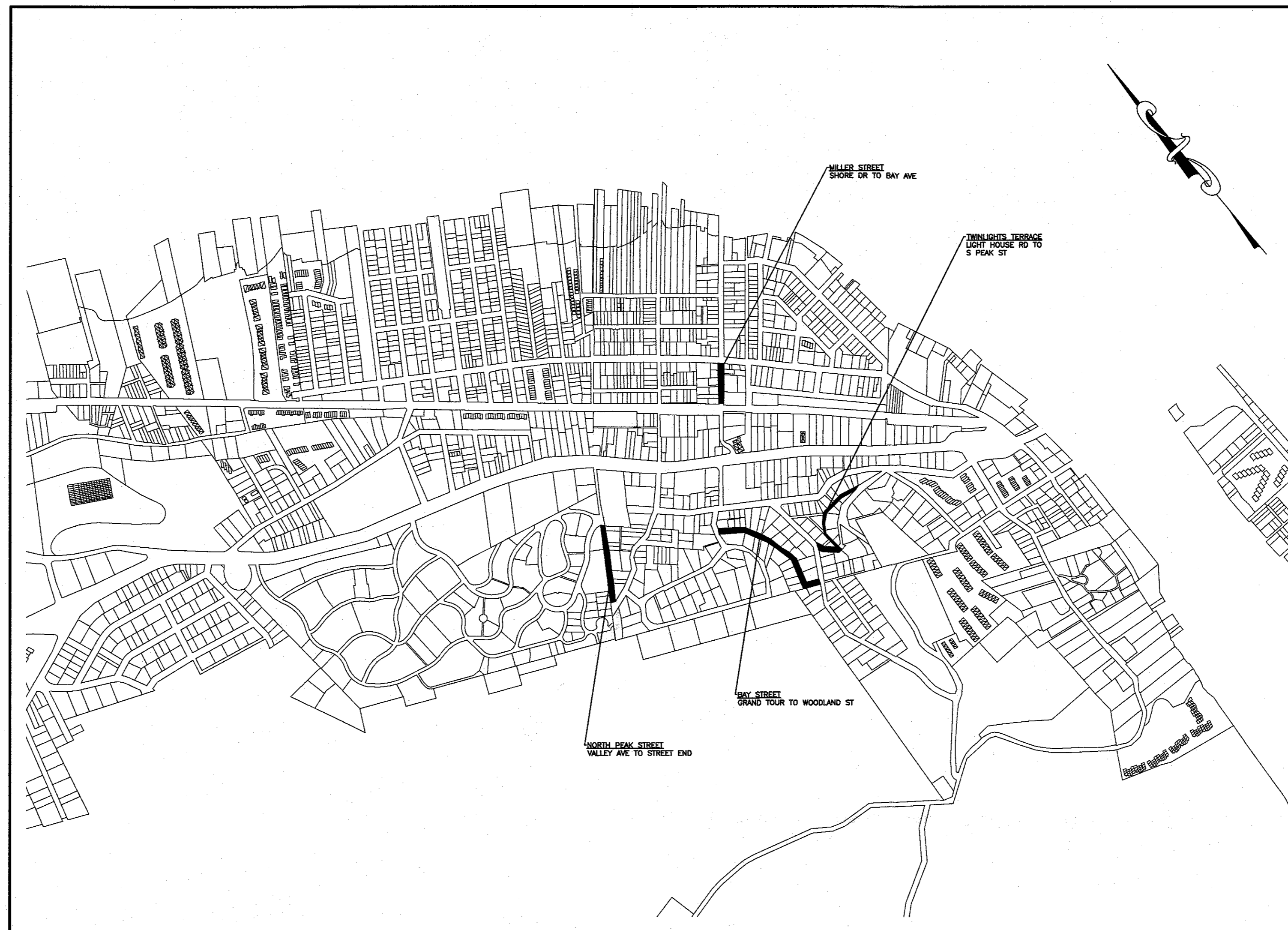
TELEPHONE
VERIZON COMMUNICATIONS
145 WEST MAIN STREET, FLR. 1
FREEHOLD, NJ 07728
ATTN: GREG WECKHERLEN
(732) 751-8742

CABLE
COMCAST CABLE CO.
571 BRICK BLVD.
BRICK, NJ 08723
ATTN: LAWRENCE FARY
(732) 380-7145

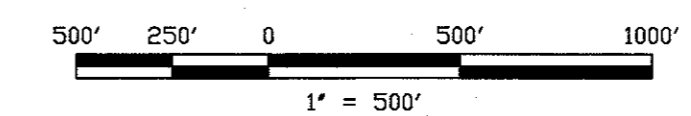
SEWER
BOROUGH OF HIGHLANDS
DEPARTMENT OF PUBLIC WORKS
42 SHORE DRIVE
HIGHLANDS, NJ 07732
ATTN: MARK PHILPOT, CPWM

LOCATION OF UTILITIES SHOWN ON THESE PLANS ARE NOT WARRANTED AS TO EXACTNESS. CONTRACTOR SHALL DETERMINE EXACT LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND OTHER APPLICABLE LAWS.

PRIOR TO DIGGING CALL 1-800-272-1000



KEY MAP



SHEET LIST TABLE	
SHEET NO.	SHEET TITLE
1	COVER SHEET
2	LEGEND AND GENERAL NOTES
MILLER STREET	
3	CONSTRUCTION PLAN
TWIN LIGHTS TERRACE	
4	EXISTING CONDITIONS
5	CONSTRUCTION PLAN
6	GRADING PLAN
7	PROFILE
NORTH PEAK STREET	
8	EXISTING CONDITIONS
9	CONSTRUCTION PLAN
10	GRADING PLAN
11	PROFILE
BAY STREET	
12	EXISTING CONDITIONS
13	CONSTRUCTION PLAN
14	GRADING PLAN STA. 10+00 - 15+75
15	GRADING PLAN STA. 15+75 - 19+79
CONSTRUCTION DETAILS	
16	CONSTRUCTION DETAILS
17	CONSTRUCTION DETAILS
18	CONSTRUCTION DETAILS
19	CONSTRUCTION DETAILS
20	CONSTRUCTION DETAILS
SOIL EROSION AND SEDIMENT CONTROL	
21	SOIL EROSION AND SEDIMENT CONTROL
22	SOIL EROSION AND SEDIMENT CONTROL
MAINTENANCE AND PROTECTION OF TRAFFIC	
23	MAINTENANCE AND PROTECTION OF TRAFFIC
24	MAINTENANCE AND PROTECTION OF TRAFFIC

ROBERT R. KEADY, P.E., C.M.E.
HIGHLANDS BOROUGH ENGINEER



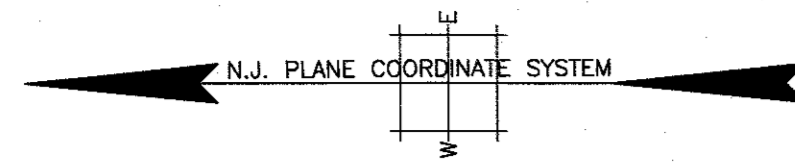
11 TINDALL ROAD
MIDDLETOWN, NJ 07748
TEL 732-671-6400
FAX 732-671-7365

NEW JERSEY BOARD OF PROFESSIONAL ENGINEERS
AND LAND SURVEYORS
CERTIFICATE OF AUTHORIZATION 246A27987600

PROJECT INFORMATION:
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DATE: 10 Aug 2017, 3:25PM
LAST SAVE BY: ADRobbb

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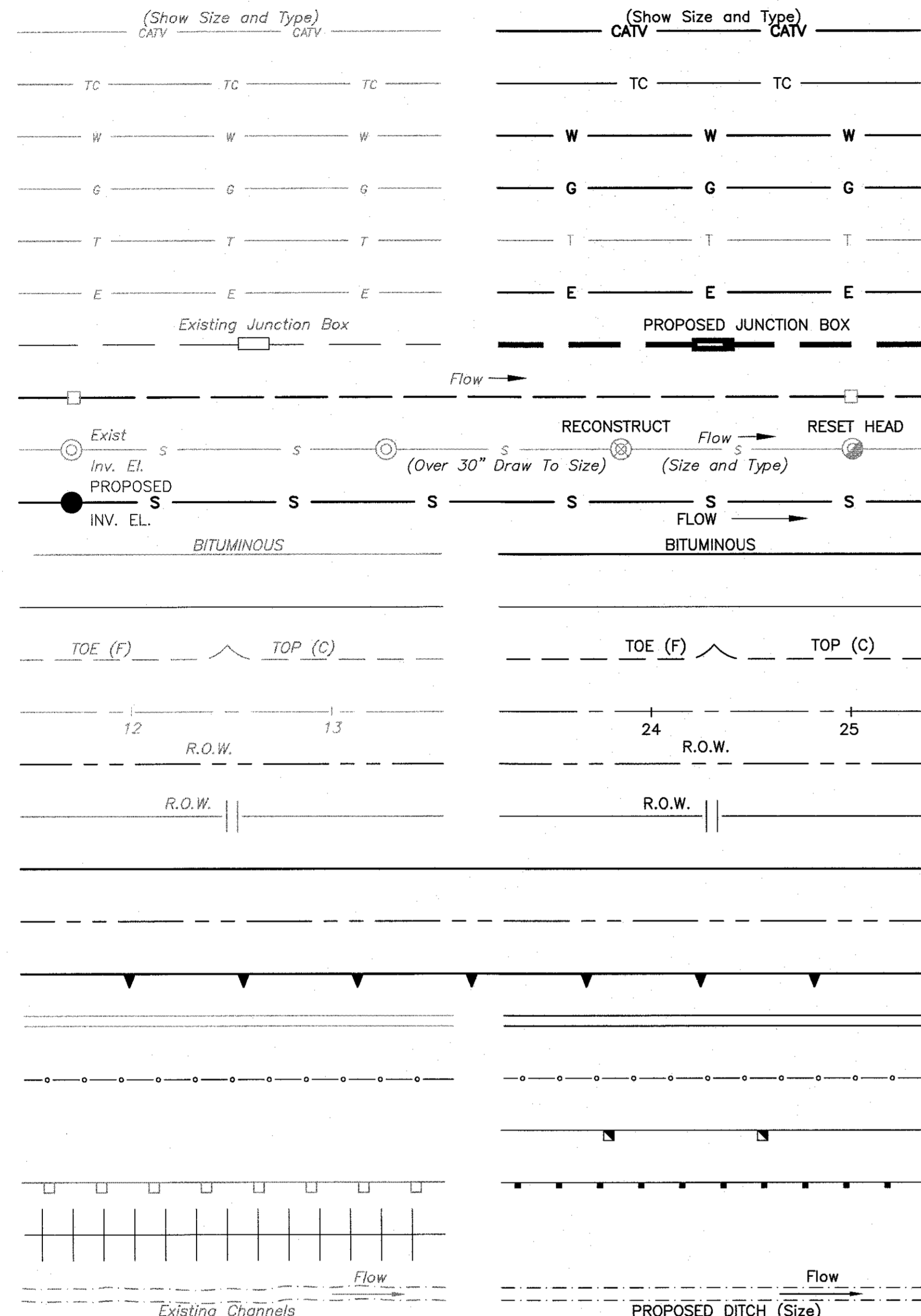
STANDARD LEGEND



NORTH ARROW

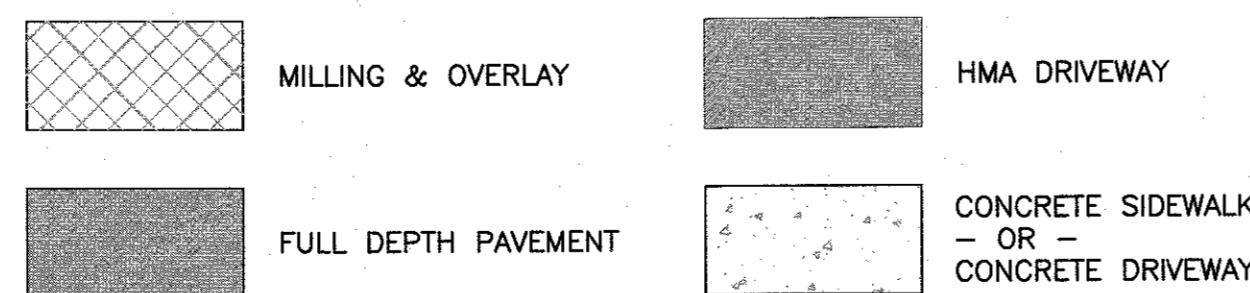
EXISTING

PROPOSED



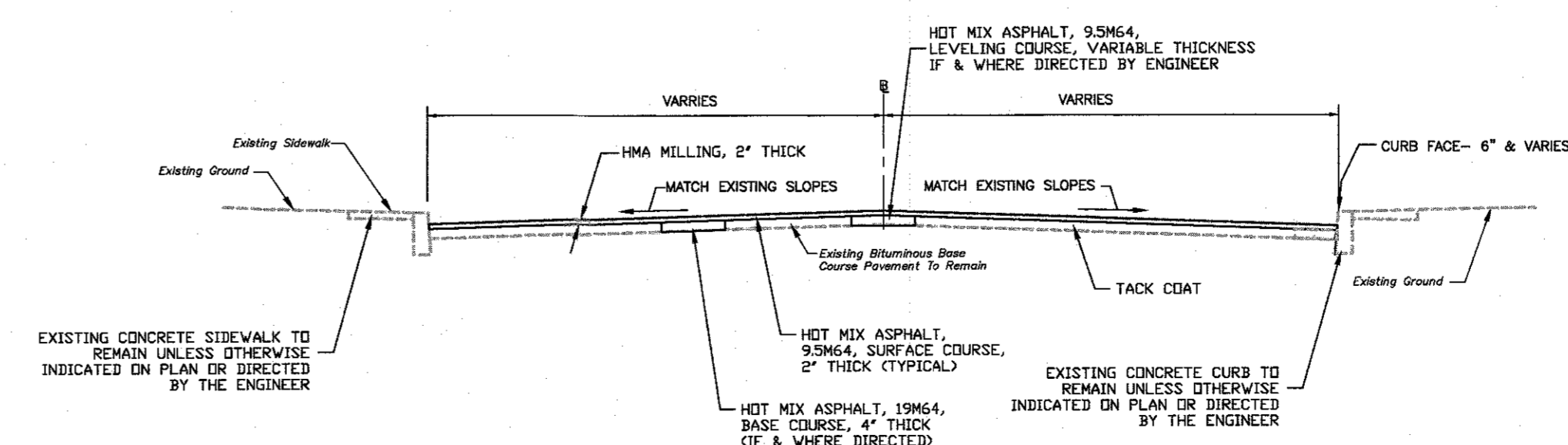
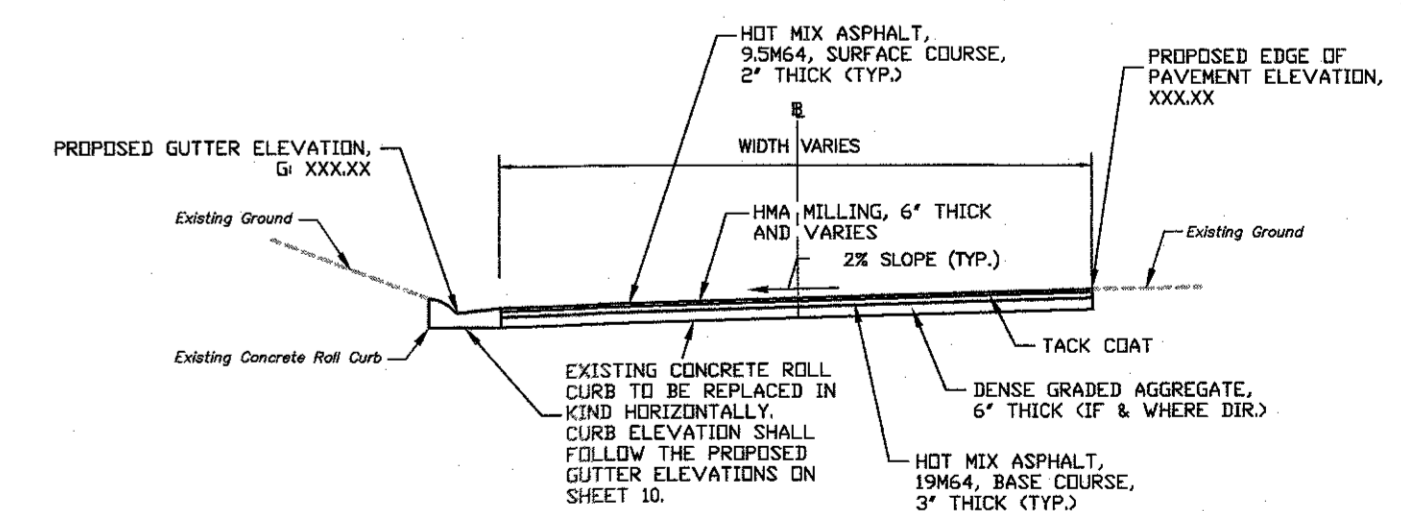
- | | | |
|------------------------------------------------------------------|------------------------------------------------------------------------------|-------------------------------|
| <input type="checkbox"/> Exist | <input checked="" type="checkbox"/> PROPOSED | PROFILE LINE |
| <input type="checkbox"/> Existing Monument | <input checked="" type="checkbox"/> RESET EXISTING CASTING | LEVEL LINE |
| <input type="checkbox"/> Sign | <input type="checkbox"/> NEW INLET CASTING (TYPE AS SPECIFIED) | <input type="checkbox"/> SIGN |
| <input type="checkbox"/> Exist. Light | <input checked="" type="checkbox"/> RECONSTRUCT | |
| <input type="checkbox"/> WV--Water Gate Valve | <input checked="" type="checkbox"/> INLETS CONVERTED TO MANHOLE | |
| <input type="checkbox"/> Pole No. & Type (Guy, Light, Etc.) | <input type="checkbox"/> NEW MONUMENT | |
| <input type="checkbox"/> GV--Gas Gate Valve | <input checked="" type="checkbox"/> PROPOSED R.C. END SECT. OR C.M. HEADWALL | |
| <input type="checkbox"/> Hydrant | <input checked="" type="checkbox"/> PROPOSED HEADWALL & APRON | |
| <input type="checkbox"/> Traffic Light | <input checked="" type="checkbox"/> PROPOSED HEADWALL | |
| <input type="checkbox"/> Traffic Control Box | <input checked="" type="checkbox"/> TREE TO BE REMOVED (T.B.R.) | |
| <input type="checkbox"/> Exist R.C. End Section Or C.M. Headwall | <input checked="" type="checkbox"/> PROPOSED UTILITY POLE | |
| <input type="checkbox"/> Bush or Brush | <input checked="" type="checkbox"/> BORING TEST LOCATION | |
| <input type="checkbox"/> Deciduous Trees (size, kind) | | |

HATCH PATTERNS



GENERAL NOTES

- HORIZONTAL DATUM IS IN THE NEW JERSEY PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM, 1988. NGVD 1929 = NAVD 1988 + 1.08'
- ALL DIMENSIONS, UNITS, ETC. ARE IN THE U.S. CUSTOMARY SYSTEM.
- THE CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL POINT MARKS FROM DAMAGE AND SHALL ESTABLISH OFFSET POINTS AS REQUIRED FOR ITS WORK.
- LOCATIONS OF EXISTING AND PROPOSED UTILITIES ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO EXCAVATION.
- ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO GROUND DISTURBANCE.
- DEPRESSED CURBS AT HANDICAPPED RAMPS/CROSSWALKS SHALL BE FLUSH WITH THE PAVEMENT SURFACE. DEPRESSED CURBS AT DRIVEWAYS SHALL HAVE A 1 1/2" CURB FACE.
- ALL TRAFFIC CONTROL DEVICES SHALL CONFORM WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ONLY PAY ITEMS LISTED IN THE PROPOSAL ARE APPLICABLE TO THIS PROJECT. PAY ITEMS NOT IN THE PROPOSAL WILL NOT BE USED.
- WHERE CONCRETE CURB IS BEING REPLACED, CONTRACTOR SHALL SURVEY EXISTING TOP OF CURB ELEVATIONS. CUT SHEETS FOR PROPOSED TOP OF CURB ELEVATIONS MAY BE REQUIRED AS DIRECTED BY THE ENGINEER FOR REVIEW AT LEAST 2 WEEKS PRIOR TO CONSTRUCTION. THE INTENT IS TO MAINTAIN EXISTING TOP OF CURB ELEVATION UNLESS OTHERWISE DIRECTED BY THE ENGINEER. ALL COSTS SHALL BE INCLUDED IN THE COSTS OF THE VARIOUS ITEMS LISTED IN THE BID PROPOSAL.
- THE CONTRACTOR IS ADVISED THAT THE QUANTITIES SHOWN ON THE PLANS ARE ONLY APPROXIMATE AND THE OWNER RESERVES THE RIGHT TO OMIT, INCREASE OR DECREASE THE QUANTITIES. PAYMENT WILL BE MADE FOR THE ACTUAL AMOUNT OF WORK PERFORMED UNDER EACH ITEM AS MEASURED IN THE FIELD BY THE ENGINEER.
- NO CONSTRUCTION ACTIVITY IS TO TAKE PLACE OUTSIDE THE LIMIT OF DISTURBANCE UNLESS DIRECTED BY THE ENGINEER. THE LIMIT OF DISTURBANCE IS WITHIN 2' OF THE LIMIT OF CONSTRUCTION.
- AT THE END OF EACH WORKDAY, THE CONTRACTOR SHALL CLEAN AND REMOVE ALL CONSTRUCTION DEBRIS FROM ROADWAYS AND MAINTAIN SAFE ACCESS TO ALL HOMES AND BUSINESSES FOR PEDESTRIANS AND VEHICLES.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL CONTACT THE SAFE DIG HOTLINE (1-800-272-1000) AND VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO ANY EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO THE ORDERING OF DRAINAGE PIPE AND STRUCTURES TO PERMIT ADJUSTMENTS AS MAY BE REQUIRED TO AVOID UTILITY CONFLICTS.
- DENSE GRADED AGGREGATE BASE COURSE SHALL BE INSTALLED AS DIRECTED BY ENGINEER.
- IF APPLICABLE, CONTRACTOR SHALL, AT LIMIT OF PAVING, MILL 6" WIDE KEY 1 1/2" AVERAGE DEPTH OR SAWCUT EXISTING PAVEMENT FOR NEAT STRAIGHT LINE UNLESS OTHERWISE DIRECTED. CONTRACTOR SHALL PAY CLOSE ATTENTION TO DETAIL 'END TREATMENT FOR MILLING OPERATIONS' ON DRAWING CSD-1, IF APPLICABLE. ALL KEYWAYS SHALL HAVE A SAWCUT, VERTICAL EDGE. MEET EXISTING GRADE AT OUTER LIMIT OF MILLING.
- THE HMA MILLING, 2" DEPTH OPERATION SHOWN ON THE PLANS SHALL BE PAID FOR UNDER THE BID ITEM "MILLING, 2" VARIABLE DEPTH".
- TACK COAT SHALL BE IN ACCORDANCE WITH SECTION 401.03.02.
- CONTRACTOR SHALL CLEAN AND SWEEP AND TACK THE PAVEMENT IMMEDIATELY PRIOR TO OVERLAY.
- INSTALLATION OF HOT MIX ASPHALT SURFACE COURSE SHALL NOT BE PERMITTED UNTIL THE BASE COURSE IS APPROVED BY THE ENGINEER. THE ENGINEER MAY DIRECT THE CONTRACTOR TO MAKE CORRECTIVE MEASURES, INCLUDING LEVELING, TO THE BASE COURSE PRIOR TO THE INSTALLATION OF THE SURFACE COURSE. ALL COSTS TO BE PAID UNDER BID ITEMS "HOT MIX ASPHALT 19M64 BASE COURSE, 4" THICK," & "HOT MIX ASPHALT 9.5M64 LEVELING COURSE, VARIABLE THICKNESS (IF & WHERE DIRECTED)
- JOINTS RESULTING FROM THE PAVING OPERATIONS SHALL BE TREATED WITH AN APPLICATION OF POLYMERIZED JOINT ADHESIVE IN ACCORDANCE WITH THE NJDOT STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE PATTERNS WHEN RECONSTRUCTING OR OVERLAYING UNLESS OTHERWISE DIRECTED BY THE ENGINEER. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY QUESTIONABLE DRAINAGE AREAS SO THAT FIELD ADJUSTMENTS CAN BE MADE TO ELIMINATE PONDING.
- THE EDGES OF THE HOT MIX ASPHALT BASE COURSE SHALL BE PARALLEL TO THE ROADWAY CENTERLINE AND RECTANGULAR IN SHAPE. ALL EDGES SHALL BE VERTICAL.
- THE LIMIT OF EXCAVATION AND HOT MIX ASPHALT BASE COURSE AT PAVEMENT RECONSTRUCTION AREAS MAY VARY AS DIRECTED BY ENGINEER IN FIELD.
- CONTRACTOR IS RESPONSIBLE FOR SUPPORTING UTILITY POLES AS RECOMMENDED BY THE UTILITY COMPANY WHEN EXCAVATING FOR DRAINAGE PIPE OR STRUCTURES. NO ADDITIONAL PAYMENT SHALL BE MADE.
- THE CONTRACTOR SHALL VERIFY AND DOCUMENT THE LOCATION OF ALL EXISTING TRAFFIC LINES AND MARKINGS AND SHALL REPLACE ALL TRAFFIC STRIPING IN KIND UPON COMPLETION OF THE PAVING, OR AS DIRECTED BY THE ENGINEER.
- LOCATIONS OF GAS AND WATER VALVES SHOWN ARE APPROXIMATE. THERE MAY BE MORE THAN SHOWN ON CONSTRUCTION PLANS. CONTRACTOR IS RESPONSIBLE FOR RESETTING ALL VALVE CASTINGS, REGARDLESS OF WHAT IS SHOWN ON PLANS. INCLUDE COSTS IN VARIOUS ITEMS IN THE BID PROPOSAL.
- RESTORE TURF AREAS WITH 4" THICK BORROW TOPSOILING, FERTILIZING & SEEDING, TYPE 'G,' & STRAW MULCHING.
- THE TOPSOIL USED FOR THIS PROJECT SHALL BE IN STRICT CONFORMANCE TO THE PROJECT SPECIFICATIONS. ANY TOPSOIL NOT MEETING THE REQUIREMENTS OF THE SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL SUBMIT SEED BAG TICKETS TO THE ENGINEER FOR APPROVAL PRIOR TO PLACING SEED.
- CONTRACTOR SHALL ESTABLISH A FULL STAND OF GRASS WITH NO BARE PATCHES, CRABGRASS OR WEEDS.
- HOT MIX ASPHALT TO BE INSTALLED IN CURB TRENCHES WITHIN 72 HOURS OF CURB INSTALLATION.
- HOT MIX ASPHALT TO BE INSTALLED IN ALL OPEN TRENCHES, EXCEPT CURB, AT THE END OF EACH WORKING DAY. NO ADDITIONAL PAYMENT WILL BE MADE.
- THE CONTRACTOR WILL BE RESPONSIBLE TO APPLY FOR AND OBTAIN ANY AND ALL COUNTY AND STATE ROAD OPENING PERMITS.
- CONTRACTOR IS ADVISED THAT THERE IS GAS MAIN, WATER MAIN, AND UTILITY SERVICE REPLACEMENTS ANTICIPATED FOR BAY STREET AND TWINLIGHTS TERRACE. ALL WORK IS SCHEDULED TO BE COMPLETED PRIOR TO ROADWAY CONSTRUCTION. CONTRACTOR SHALL COORDINATE HIS WORK WITH NEW JERSEY AMERICAN WATER COMPANY AND NEW JERSEY NATURAL GAS COMPANY.



PROJECT INFORMATION: C:\Projects\10763\10763 Plans\10763.dwg
 FILE PATH: C:\Projects\10763\10763 Plans\10763.dwg
 LAST SAVED DATE AND TIME: 15-Aug-2017, 2:28PM
 LAST SAVE BY: Aderbigh

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Item 3	CHG	BY	REVISIONS	DATE	NO.

08/16/2017
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENSE NO. 2462419100

BOROUGH OF HIGHLANDS
 2017 CAPITAL ROAD IMPROVEMENTS
 HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY
 LEGEND AND GENERAL NOTES

AND
YOUR GOALS. OUR MISSION.

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FAX 732-671-7365

NEW JERSEY BOARD OF PROFESSIONAL ENGINEERS
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DESIGNED BY	DMD	DRAWING	LEG-1
CHECKED BY	RRK	SHEET	2
DRAWN BY	AWD	DATE	7-10-2017
DATE	7-10-2017	SCALE	AS SHOWN
SCALE	AS SHOWN	PROJ. NO.	HGHL-10763
PROJ. NO.	HGHL-10763	OF	24

NO.	
DATE	
REVISIONS	
BY	
CHK	

09/16/2017
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENSE NO. 24864185100

BOROUGH OF HIGHLANDS
 2017 CAPITAL ROAD IMPROVEMENTS
 HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY
 MILLER STREET
 CONSTRUCTION PLAN

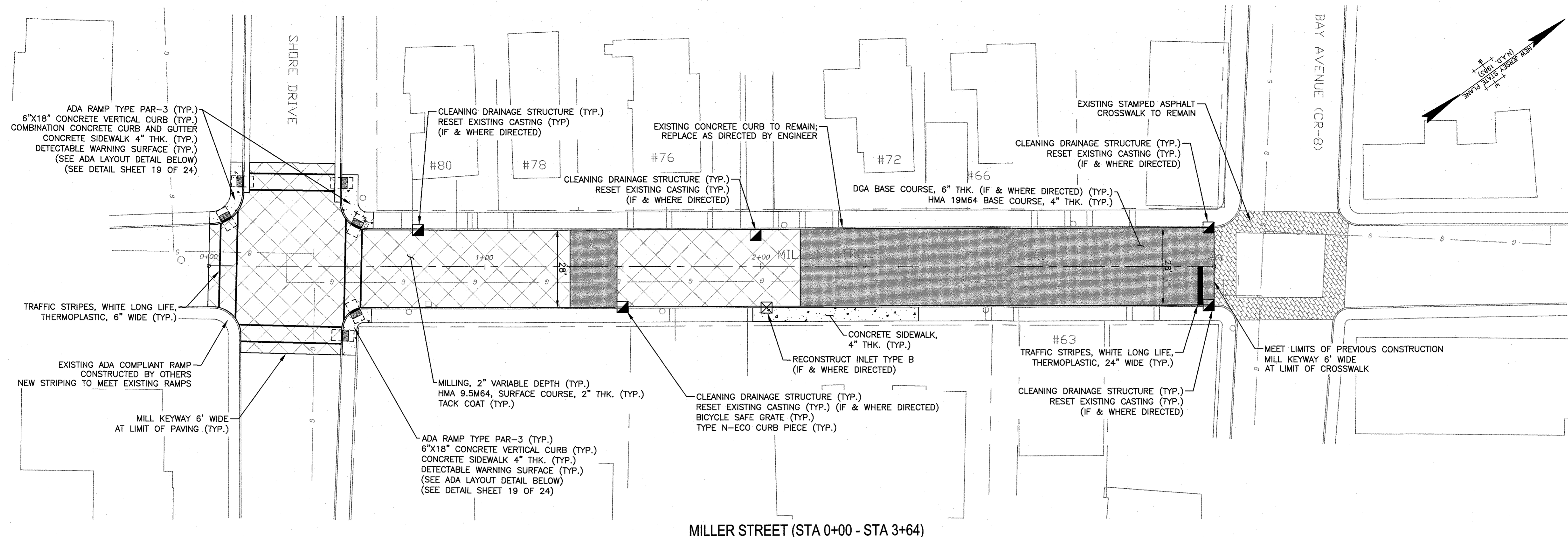
AND
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DESIGNED BY	DMD	DRAWING	CSP-1
CHECKED BY	RRK	SHEET	3
DRAWN BY	JLS	DATE	06-21-2017
DATE	06-21-2017	SCALE	AS SHOWN
PROJ. NO.	HGL-10763	OF	24



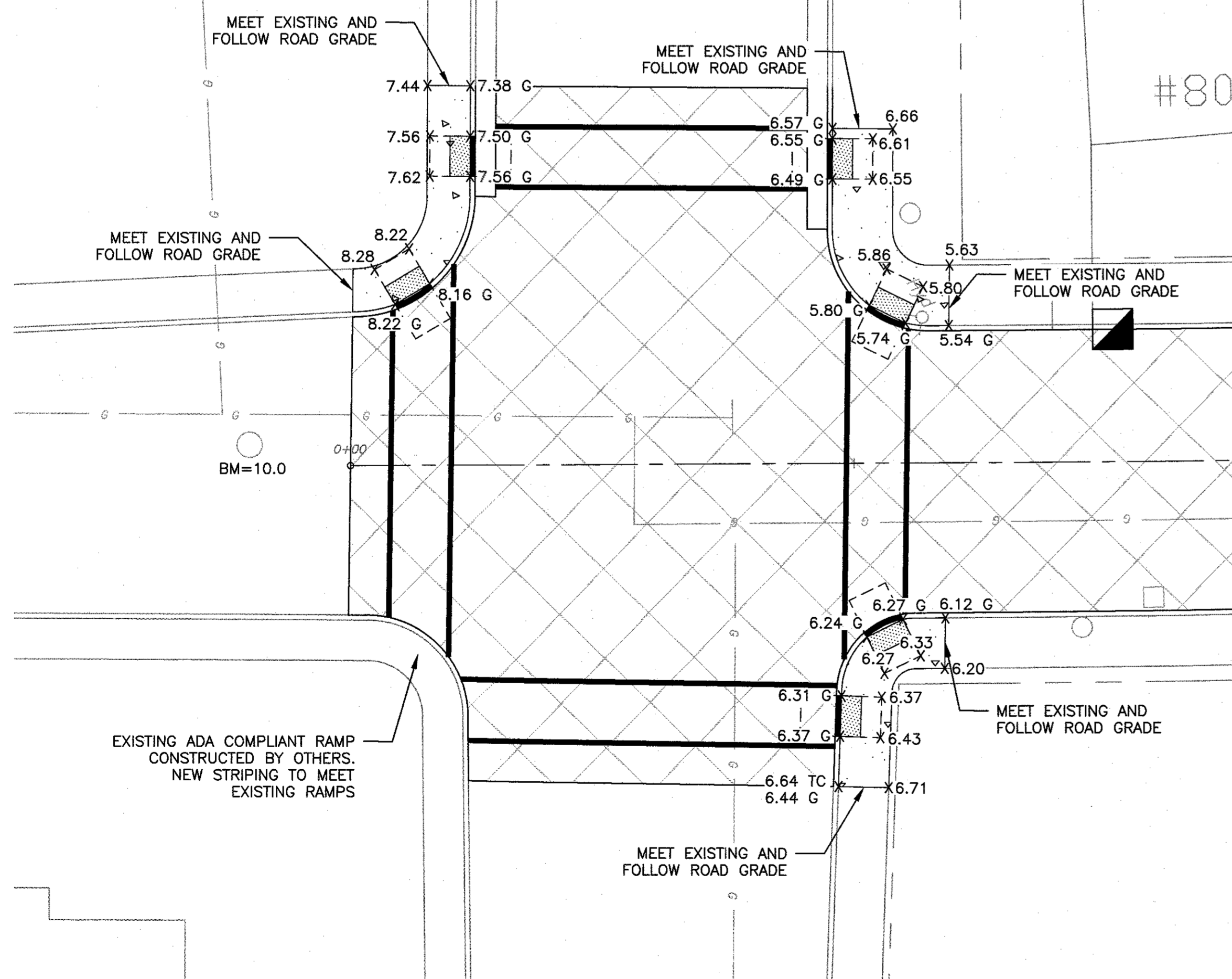
MILLER STREET (STA 0+00 - STA 3+64)

CONSTRUCT ITEMS:

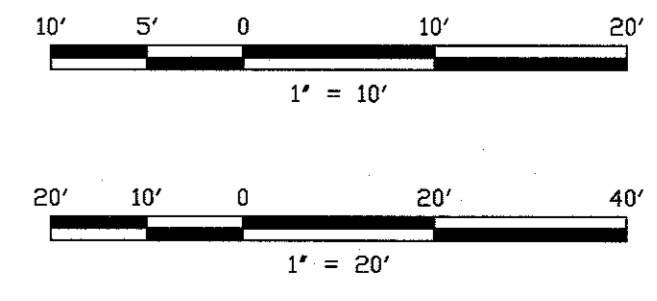
- 865 SY MILLING, 2" VARIABLE DEPTH
- 605 SY MILLING, 6" VARIABLE DEPTH
- 305 SY DGA BASE COURSE, 6" THK., (IF & WHERE DIRECTED)
- 265 TON HOT MIX ASPHALT 19M64 BASE COURSE, 4" THK., (IF & WHERE DIRECTED)
- 50 TON HOT MIX ASPHALT 9.5 M64, LEVELING COURSE, VARIABLE THICKNESS (IF & WHERE DIRECTED)
- 180 TON HOT MIX ASPHALT 9.5M64 SURFACE COURSE, 2" THK.
- 165 GAL TACK COAT
- 6 UN CLEAN DRAINAGE STRUCTURE
- 1 UN RECONSTRUCT INLET, TYPE B (IF & WHERE DIRECTED)
- 2 UN BICYCLE SAFE GRATE
- 2 UN TYPE N-ECO CURB PIECE
- 5 UN RESET EXISTING CASTING (IF & WHERE DIRECTED)
- 190 LF 6"x18" CONCRETE CURB (IF & WHERE DIRECTED)
- 30 LF COMBINATION CONCRETE CURB AND GUTTER
- 80 SY CONCRETE SIDEWALK, 4" THK.
- 110 LF TRAFFIC STRIPES, LONG LIFE EPOXY RESIN, 4" WIDE
- 305 LF TRAFFIC STRIPES, WHITE LONG LIFE, THERMOPLASTIC, 6" WIDE
- 55 LF TRAFFIC STRIPES, WHITE LONG LIFE, THERMOPLASTIC, 24" WIDE
- 6 SY DETECTABLE WARNING SURFACE

CONSTRUCTION NOTES:

1. CONTRACTOR SHALL TAKE CARE TO ENSURE POSITIVE FLOW TOWARDS ALL INLETS
2. LIMITS OF CONCRETE CURB AND SIDEWALK REPLACEMENT TO BE DETERMINED IN THE FIELD BY THE ENGINEER.
3. BASELINE INFORMATION PROVIDED IS FOR REFERENCE ONLY.
4. APPROXIMATE LIMIT OF MILLING/PAVING SHALL MEET THE EXISTING PAVEMENT USING A MILLING LINE ACROSS THE EXISTING PAVEMENT TO ALIGN WITH THE PREVIOUS CONSTRUCTION.
5. THESE PLANS ARE SCHEMATIC, DO NOT SCALE FROM DRAWING. THE CONTRACTOR IS ADVISED TO MEASURE ACTUAL ROADWAY DIMENSIONS IN FIELD.
6. CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND RECORD ALL TRAFFIC STRIPING PRIOR TO CONSTRUCTION AND REPLACE ALL TRAFFIC STRIPING IN-KIND, UNLESS OTHERWISE SPECIFIED.
7. ACTUAL LIMITS OF HMA BASE REPAIRS TO BE DETERMINED IN THE FIELD BY THE ENGINEER AFTER MILLING.
8. ALL EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD.



ADA LAYOUT: 1" = 10'



PROJECT INFORMATION: G:\PROJECTS\2017\201706\20170613\20170613_CSP\20170613_CSP.dwg
 FILE NAME: G:\PROJECTS\2017\201706\20170613\20170613_CSP\20170613_CSP.dwg
 LAST SAVED DATE AND TIME: 15 Aug 2017, 4:24PM
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NO.	DATE	REVISIONS

06/16/2017

REGISTERED PROFESSIONAL ENGINEER
STATE OF NJ LICENSE NO. E-000145100

ROBERT R. KEADY, P.E., C.M.E.
HIGHLANDS BOROUGH ENGINEER

BOROUGH OF HIGHLANDS

2017 CAPITAL ROAD IMPROVEMENTS

HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY

TWIN LIGHTS TERRACE

EXISTING CONDITIONS

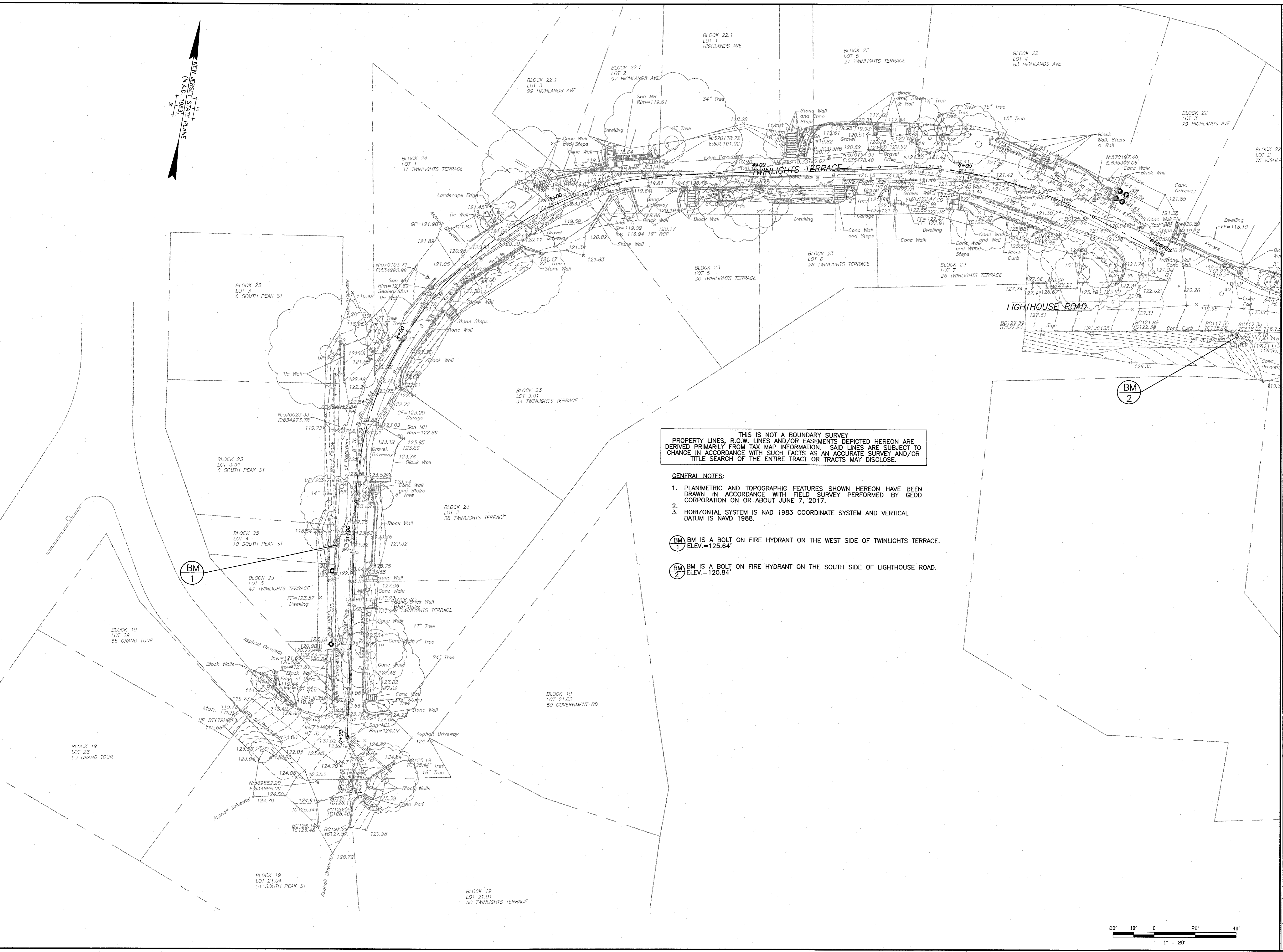
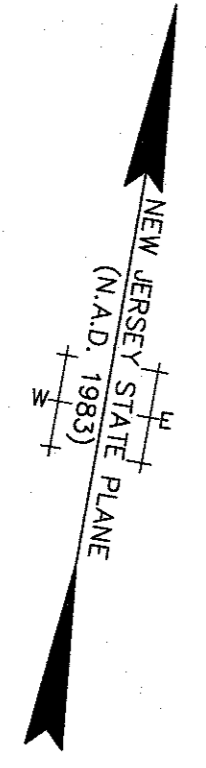


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www.tandmassassociates.com

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DESIGNED BY	DMD	DRAWING	EXC-1
CHECKED BY	RRK	SHEET	4
DRAWN BY	AWD	PROJ. NO.	HGH-10763
DATE	7-10-2017	OF	2
SCALE	AS SHOWN		

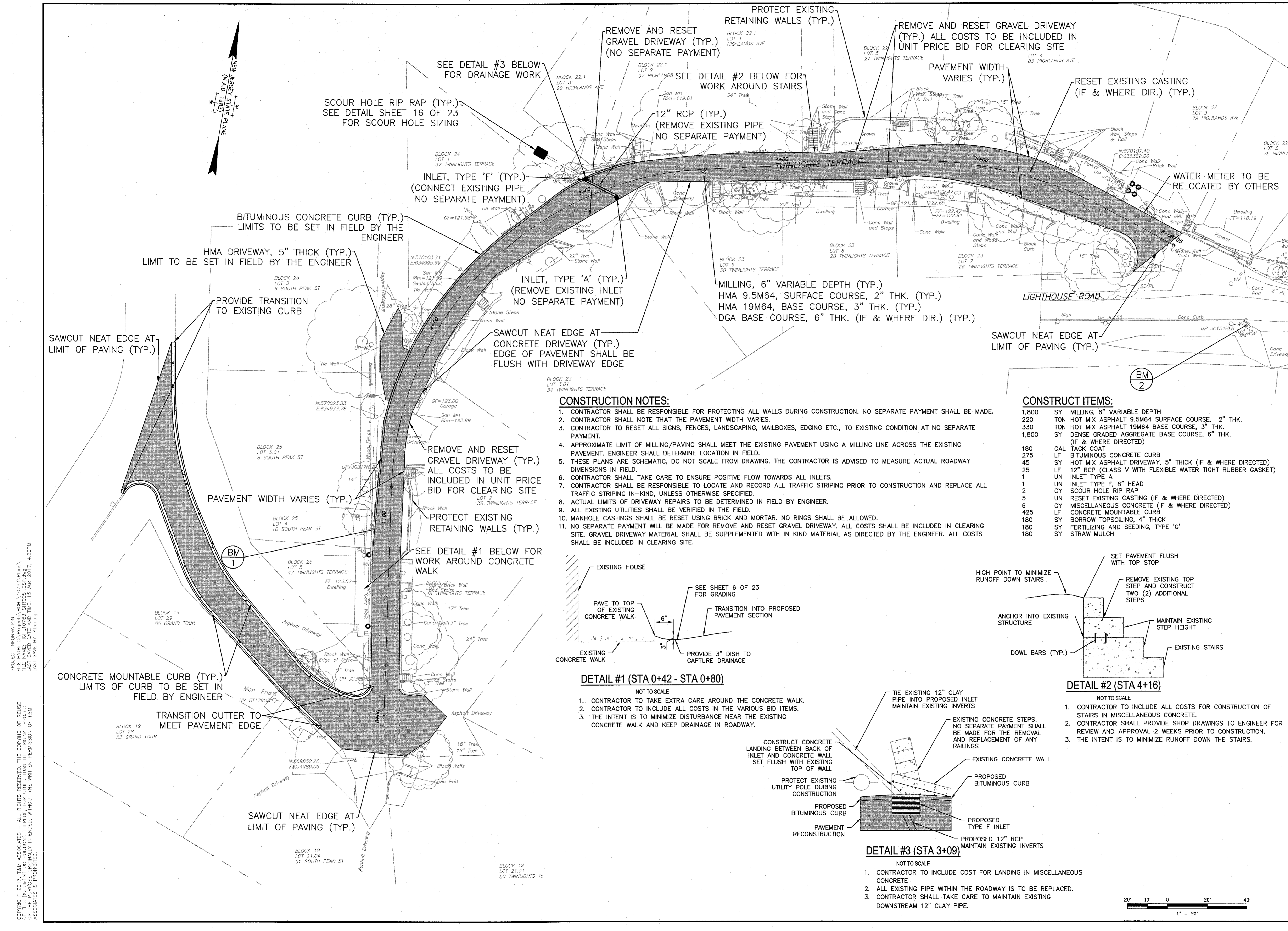


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CHANGE IN ACCORDANCE WITH SUCH FACTS AS AN ACCURATE SURVEY AND/OR
TITLE SEARCH OF THE ENTIRE TRACT OR TRACTS MAY DISCLOSE.

- GENERAL NOTES:**
- PLANIMETRIC AND TOPOGRAPHIC FEATURES SHOWN HEREON HAVE BEEN DRAWN IN ACCORDANCE WITH FIELD SURVEY PERFORMED BY GEO D CORPORATION ON OR ABOUT JUNE 7, 2017.
 - HORIZONTAL SYSTEM IS NAD 1983 COORDINATE SYSTEM AND VERTICAL DATUM IS NAVD 1988.
- BM 1 BM IS A BOLT ON FIRE HYDRANT ON THE WEST SIDE OF TWINLIGHTS TERRACE. ELEV.=125.64'
- BM 2 BM IS A BOLT ON FIRE HYDRANT ON THE SOUTH SIDE OF LIGHTHOUSE ROAD. ELEV.=120.84'

PROJECT INFORMATION:
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FILE NAME: HGH-10763_SHT04-LXC.dwg
LAST SAVED DATE AND TIME: 15 Aug 2017, 11:16AM
LAST SAVE BY: rmm@geod.com

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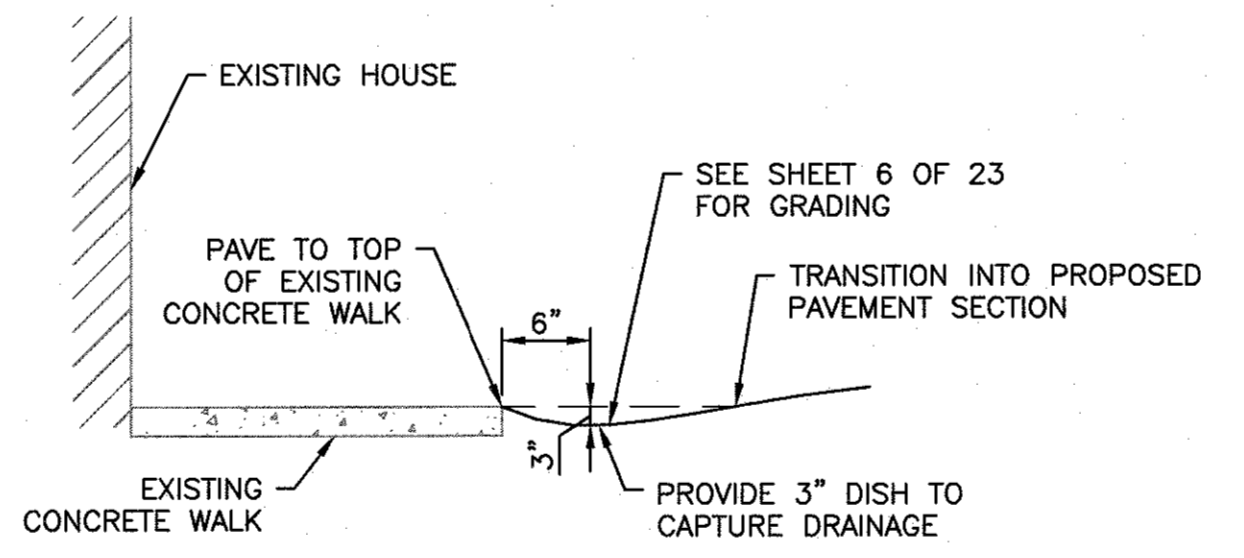
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 LAST SAVE BY: Apenhagh
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CONSTRUCTION NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL WALLS DURING CONSTRUCTION. NO SEPARATE PAYMENT SHALL BE MADE.
- CONTRACTOR SHALL NOTE THAT THE PAVEMENT WIDTH VARIES.
- CONTRACTOR TO RESET ALL SIGNS, FENCES, LANDSCAPING, MAILBOXES, EDGING ETC., TO EXISTING CONDITION AT NO SEPARATE PAYMENT.
- APPROXIMATE LIMIT OF MILLING/PAVING SHALL MEET THE EXISTING PAVEMENT USING A MILLING LINE ACROSS THE EXISTING PAVEMENT. ENGINEER SHALL DETERMINE LOCATION IN FIELD.
- THESE PLANS ARE SCHEMATIC, DO NOT SCALE FROM DRAWING. THE CONTRACTOR IS ADVISED TO MEASURE ACTUAL ROADWAY DIMENSIONS IN FIELD.
- CONTRACTOR SHALL TAKE CARE TO ENSURE POSITIVE FLOW TOWARDS ALL INLETS.
- CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE AND RECORD ALL TRAFFIC STRIPING PRIOR TO CONSTRUCTION AND REPLACE ALL TRAFFIC STRIPING IN-KIND, UNLESS OTHERWISE SPECIFIED.
- ACTUAL LIMITS OF DRIVEWAY REPAIRS TO BE DETERMINED IN FIELD BY ENGINEER.
- ALL EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD.
- MANHOLE CASTINGS SHALL BE RESET USING BRICK AND MORTAR. NO RINGS SHALL BE ALLOWED.
- NO SEPARATE PAYMENT WILL BE MADE FOR REMOVE AND RESET GRAVEL DRIVEWAY. ALL COSTS SHALL BE INCLUDED IN CLEARING SITE. GRAVEL DRIVEWAY MATERIAL SHALL BE SUPPLEMENTED WITH IN KIND MATERIAL AS DIRECTED BY THE ENGINEER. ALL COSTS SHALL BE INCLUDED IN CLEARING SITE.

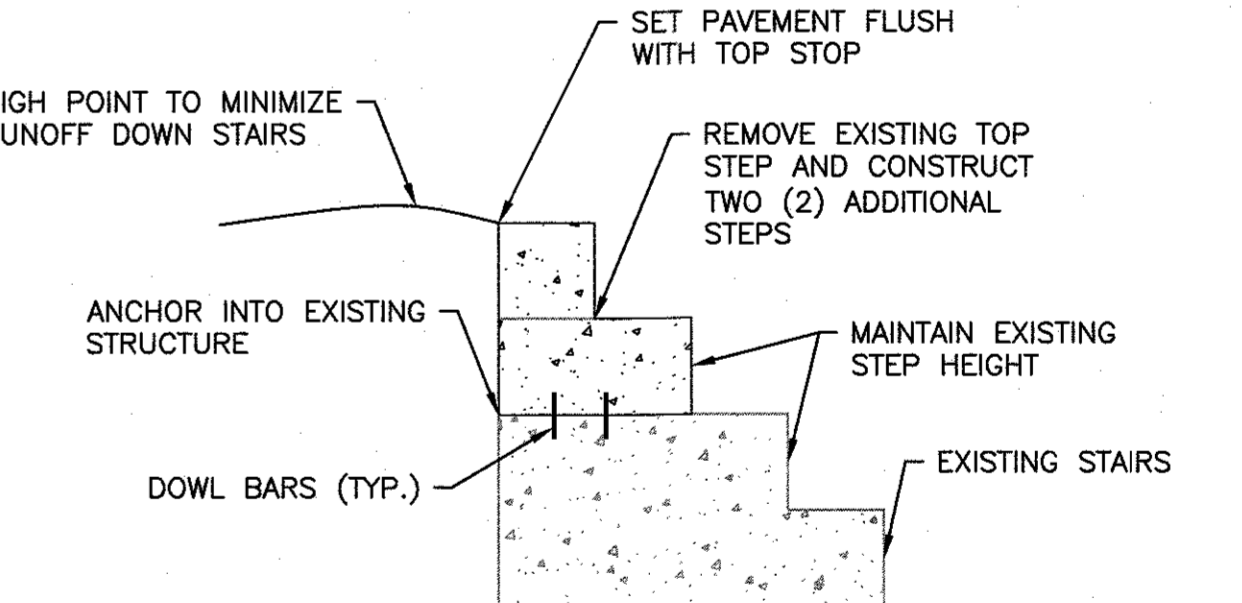
CONSTRUCT ITEMS:

1,800	SY	MILLING, 6" VARIABLE DEPTH
220	TON	HOT MIX ASPHALT 9.5M64 SURFACE COURSE, 2" THK.
330	TON	HOT MIX ASPHALT 19M64 BASE COURSE, 3" THK.
1,800	SY	DENSE GRADED AGGREGATE BASE COURSE, 6" THK. (IF & WHERE DIRECTED)
180	GAL	TACK COAT
275	LF	BITUMINOUS CONCRETE CURB
45	SY	HOT MIX ASPHALT DRIVEWAY, 5" THICK (IF & WHERE DIRECTED)
25	LF	12" RCP (CLASS V WITH FLEXIBLE WATER TIGHT RUBBER GASKET)
1	UN	INLET TYPE A
1	UN	INLET TYPE F, 6" HEAD
2	CY	SCOUR HOLE RIP RAP
5	UN	RESET EXISTING CASTING (IF & WHERE DIRECTED)
6	CY	MISCELLANEOUS CONCRETE (IF & WHERE DIRECTED)
425	LF	CONCRETE MOUNTABLE CURB
180	SY	BORROW TOPSOILING, 4" THICK
180	SY	FERTILIZING AND SEEDING, TYPE 'c'
180	SY	STRAW MULCH



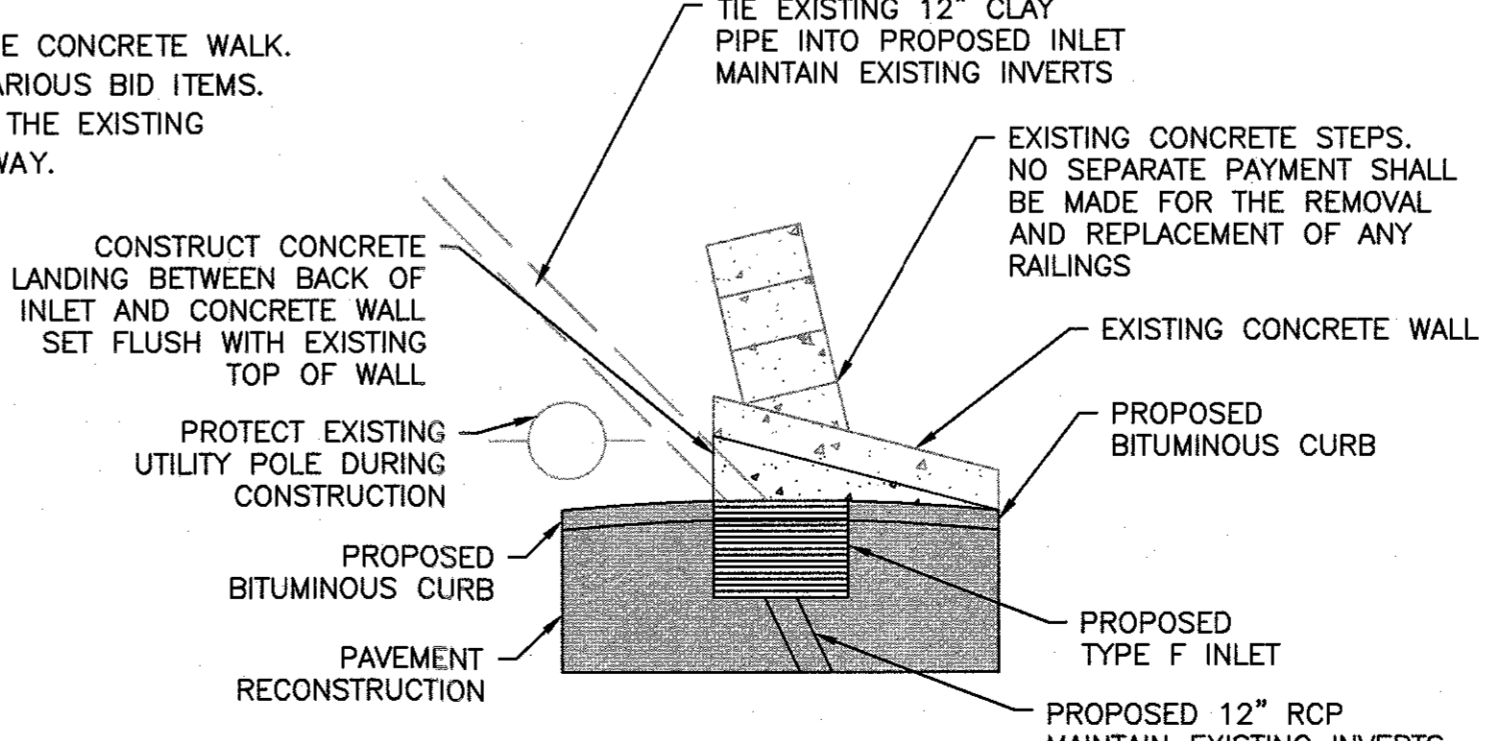
DETAIL #1 (STA 0+42 - STA 0+80)

- NOT TO SCALE
- CONTRACTOR TO TAKE EXTRA CARE AROUND THE CONCRETE WALK.
 - CONTRACTOR TO INCLUDE ALL COSTS IN THE VARIOUS BID ITEMS.
 - THE INTENT IS TO MINIMIZE DISTURBANCE NEAR THE EXISTING CONCRETE WALK AND KEEP DRAINAGE IN ROADWAY.



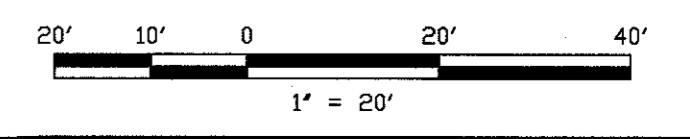
DETAIL #2 (STA 4+16)

- NOT TO SCALE
- CONTRACTOR TO INCLUDE ALL COSTS FOR CONSTRUCTION OF STAIRS IN MISCELLANEOUS CONCRETE.
 - CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO ENGINEER FOR REVIEW AND APPROVAL 2 WEEKS PRIOR TO CONSTRUCTION.
 - THE INTENT IS TO MINIMIZE RUNOFF DOWN THE STAIRS.



DETAIL #3 (STA 3+09)

- NOT TO SCALE
- CONTRACTOR TO INCLUDE COST FOR LANDING IN MISCELLANEOUS CONCRETE
 - ALL EXISTING PIPE WITHIN THE ROADWAY IS TO BE REPLACED.
 - CONTRACTOR SHALL TAKE CARE TO MAINTAIN EXISTING DOWNSTREAM 12" CLAY PIPE.




Item 3 BY REVISIONS DATE NO.	08/16/2017 LICENSED PROFESSIONAL ENGINEER STATE OF NJ LICENSE NO. 24604195100
ROBERT R. KEADY, P.E., C.M.E. HIGHLANDS BOROUGH ENGINEER	
2017 CAPITAL ROAD IMPROVEMENTS HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY TWIN LIGHTS TERRACE CONSTRUCTION PLAN	
YOUR GOALS. OUR MISSION. 11 TINDALL ROAD MIDDLETOWN, NJ 07748 TEL 732-671-6400 FAX 732-671-7365 www.tandmassociates.com NEW JERSEY BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS CERTIFICATE OF AUTHORIZATION 24027987900 OFFICES LOCATED IN: DELAWARE, INDIANA, KENTUCKY, MASSACHUSETTS, MICHIGAN, NEW JERSEY, OHIO AND PENNSYLVANIA	
DESIGNED BY DMD CHECKED BY RRK DRAWN BY AWD DATE 7-30-2017 SCALE AS SHOWN PROJ. NO. HGL-10763	DRAWING CSP-2 SHEET 5 OF 24

Item 3
CHRG
BY
REVISIONS
DATE
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09/16/2017
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENSE No. 246204195100

ROBERT R. KEADY, P.E., C.M.E.
 HIGHLANDS BOROUGH ENGINEER

BOROUGH OF HIGHLANDS
2017 CAPITAL ROAD IMPROVEMENTS
 HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY
TWIN LIGHTS TERRACE
GRADING PLAN



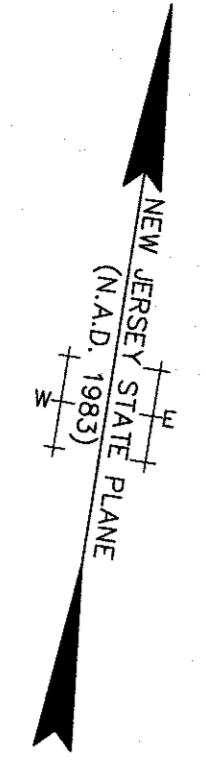
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DESIGNED BY	DMD	DRAWING	LGP-1
CHECKED BY	RRK	SHEET	
DRAWN BY	AWD	6	24
DATE	7-10-2017	OF	
SCALE	AS SHOWN		
PROJ. NO.	HGH-10763		



GRADE AREA FROM STA 2+82 TO STA 3+19 TO MINIMIZE RUNOFF ON ADJACENT PROPERTIES.

SEE SHEET 5 OF 24 FOR DETAIL OF DRAINAGE WORK

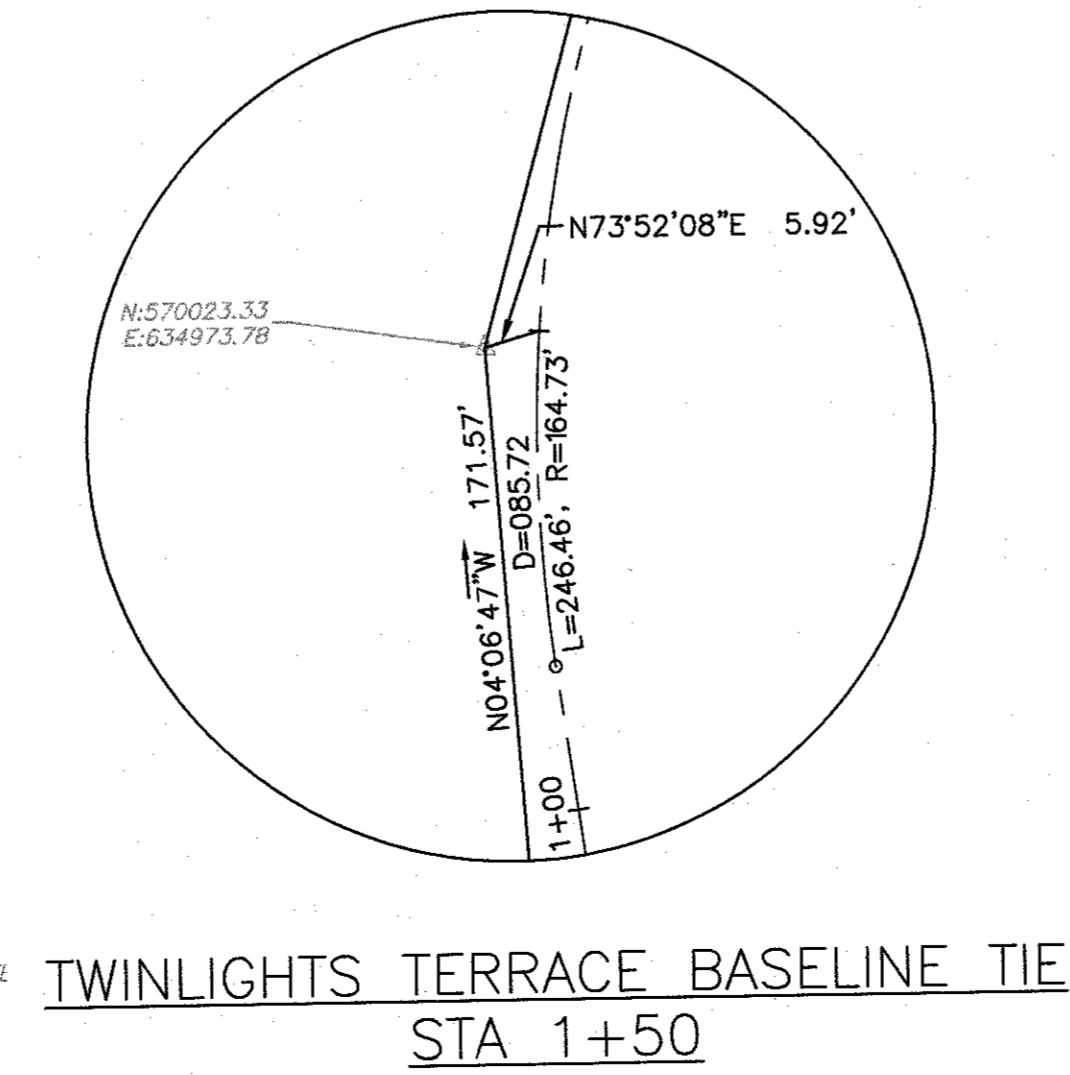
SEE SHEET 5 OF 24 FOR DETAIL OF WORK AROUND CONCRETE STAIRS

PROVIDE BERM TO MINIMIZE RUNOFF INTO DRIVEWAY. MAINTAIN ACCESS TO ALL DRIVEWAYS.

MEET EXISTING GRADES

SEE SHEET 5 OF 24 FOR DETAIL OF WORK AROUND CONCRETE WALK

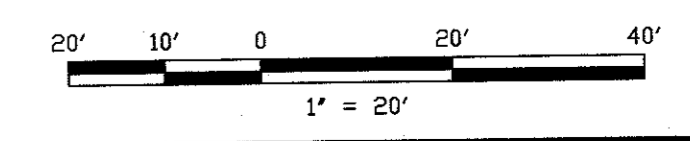
TWINLIGHTS TERRACE BASELINE TIE
 STA 0+00



GRADING NEAR INLETS
 1" = 5'

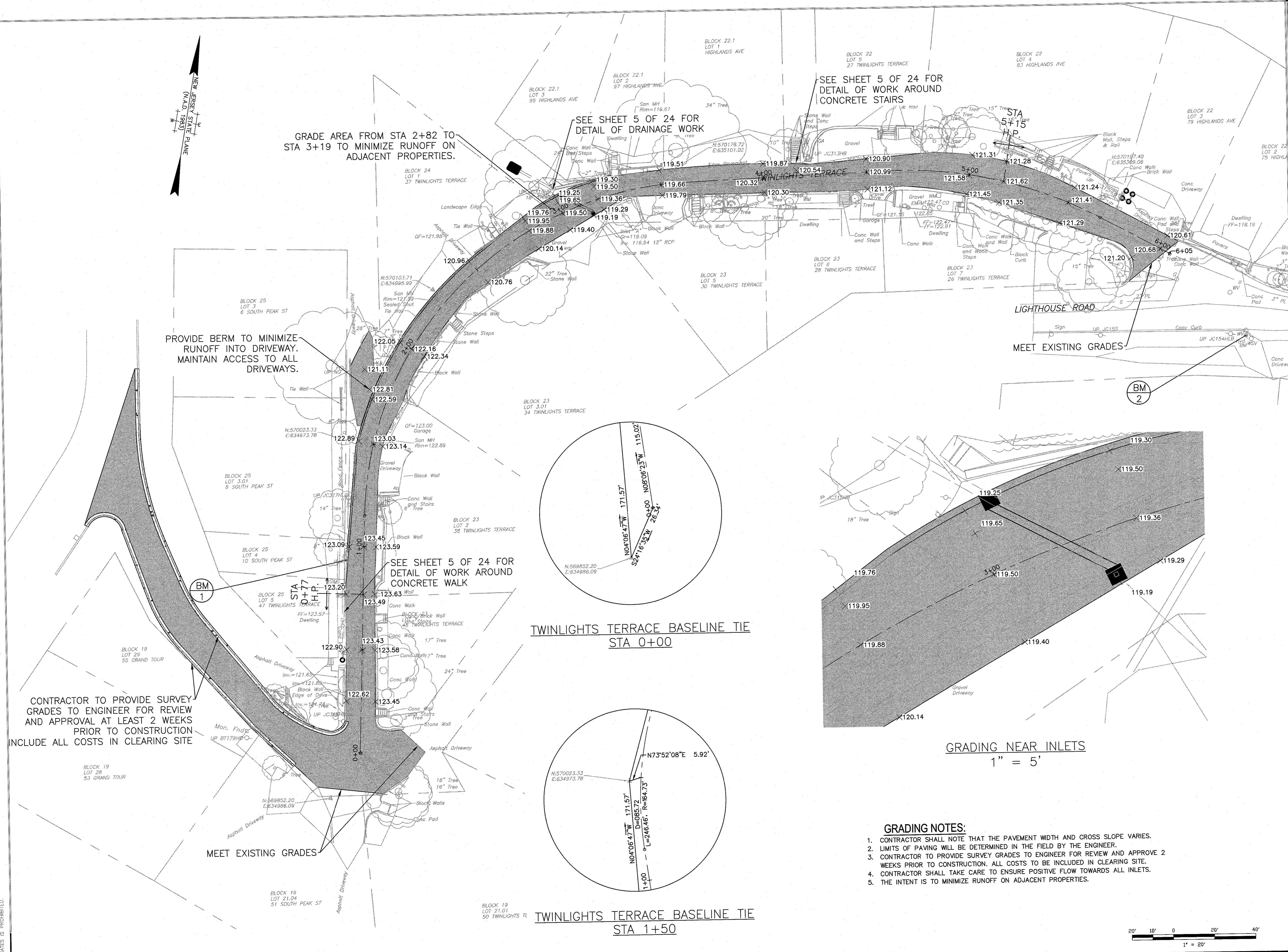
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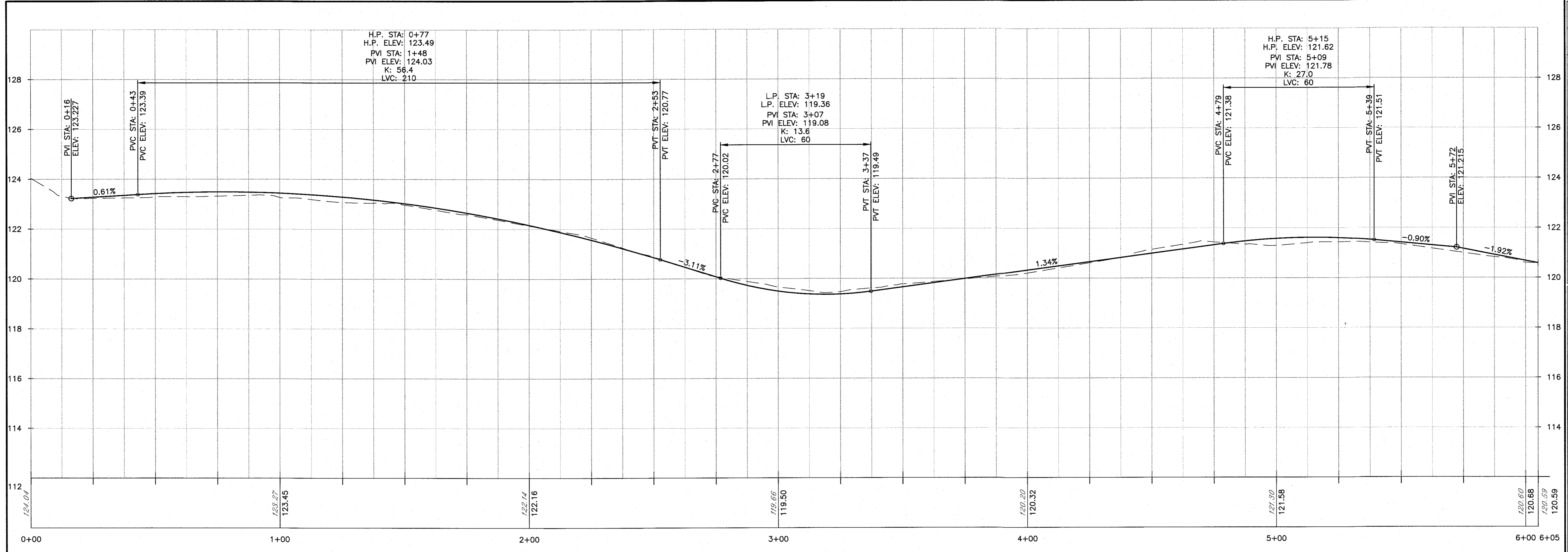
- CONTRACTOR SHALL NOTE THAT THE PAVEMENT WIDTH AND CROSS SLOPE VARIES.
- LIMITS OF PAVING WILL BE DETERMINED IN THE FIELD BY THE ENGINEER.
- CONTRACTOR TO PROVIDE SURVEY GRADES TO ENGINEER FOR REVIEW AND APPROVE 2 WEEKS PRIOR TO CONSTRUCTION. ALL COSTS TO BE INCLUDED IN CLEARING SITE.
- CONTRACTOR SHALL TAKE CARE TO ENSURE POSITIVE FLOW TOWARDS ALL INLETS.
- THE INTENT IS TO MINIMIZE RUNOFF ON ADJACENT PROPERTIES.



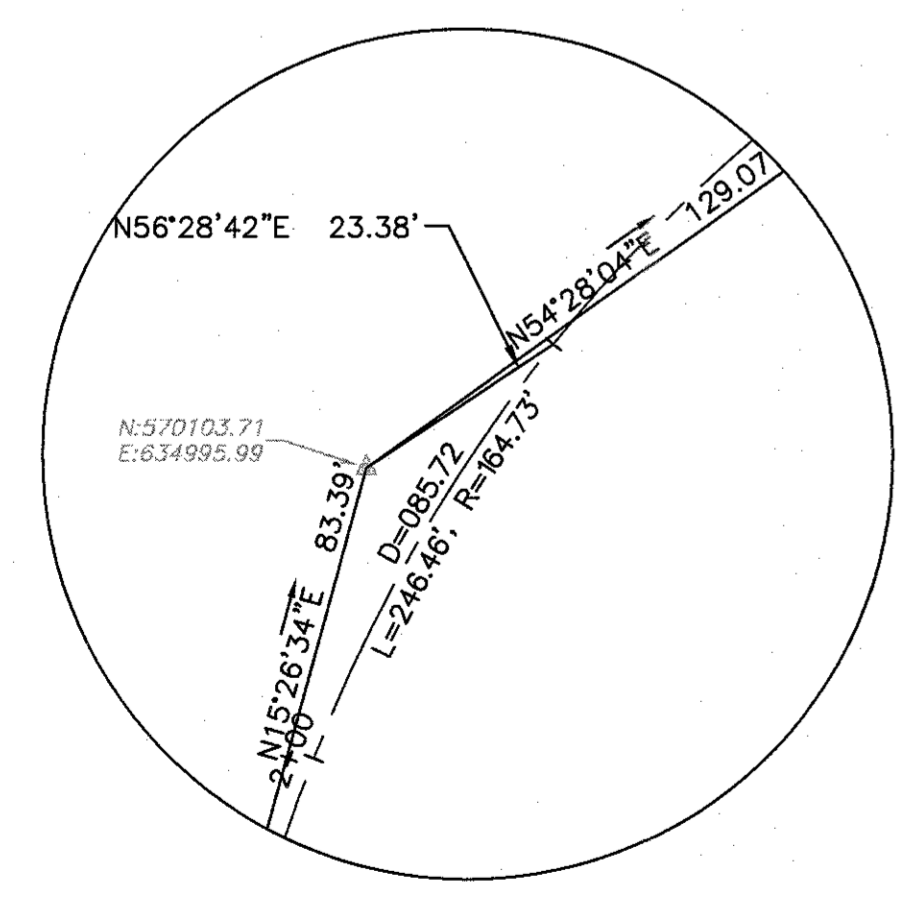
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 FILE NAME: HGH10763_SHT009-SHT007_LGP.dwg
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CONTRACTOR TO PROVIDE SURVEY GRADES TO ENGINEER FOR REVIEW AND APPROVAL AT LEAST 2 WEEKS PRIOR TO CONSTRUCTION INCLUDE ALL COSTS IN CLEARING SITE

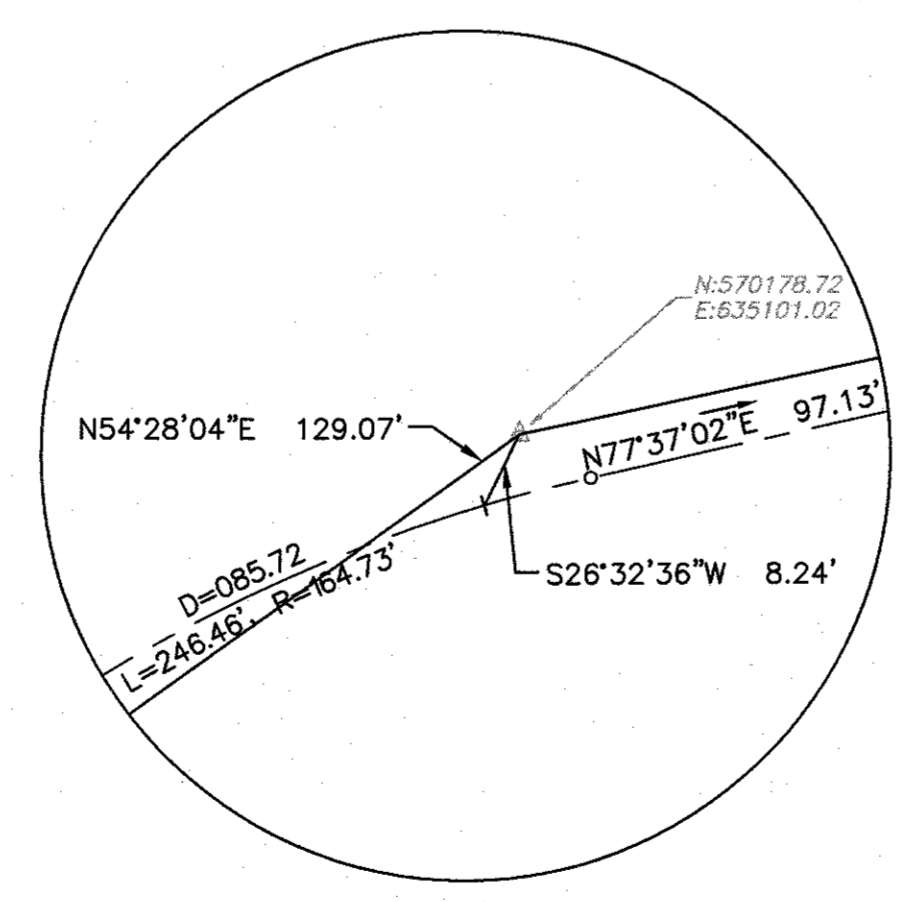




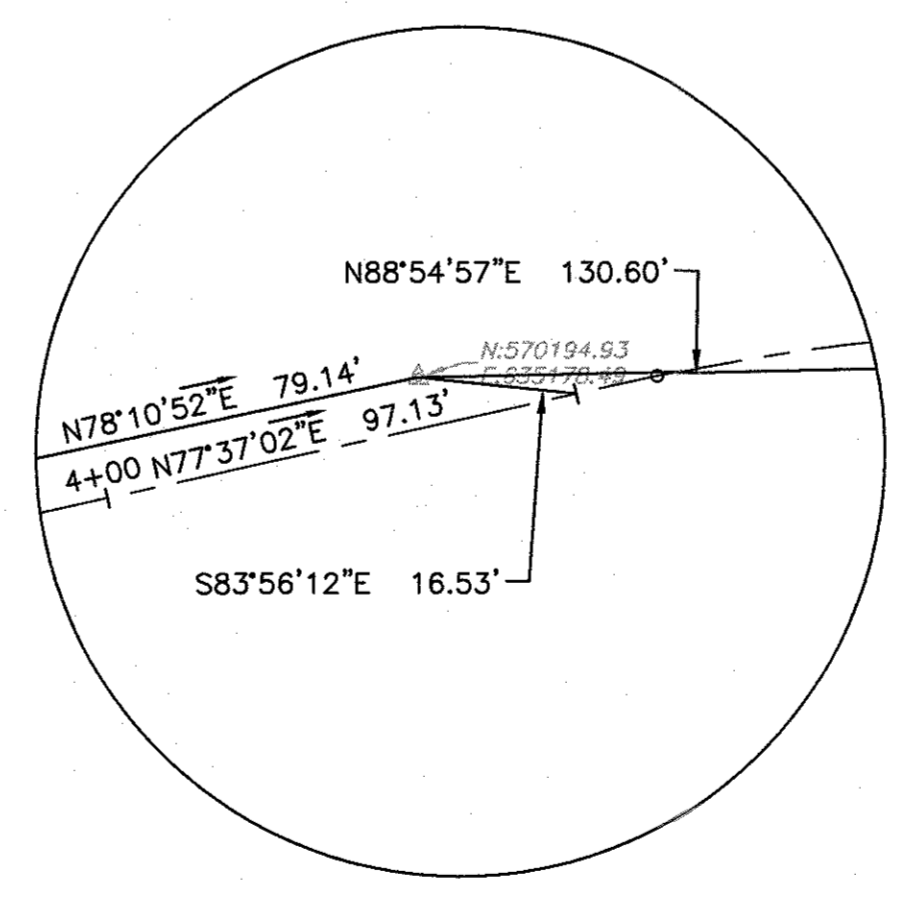
TWINLIGHTS TERRACE CENTERLINE
 HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 2'



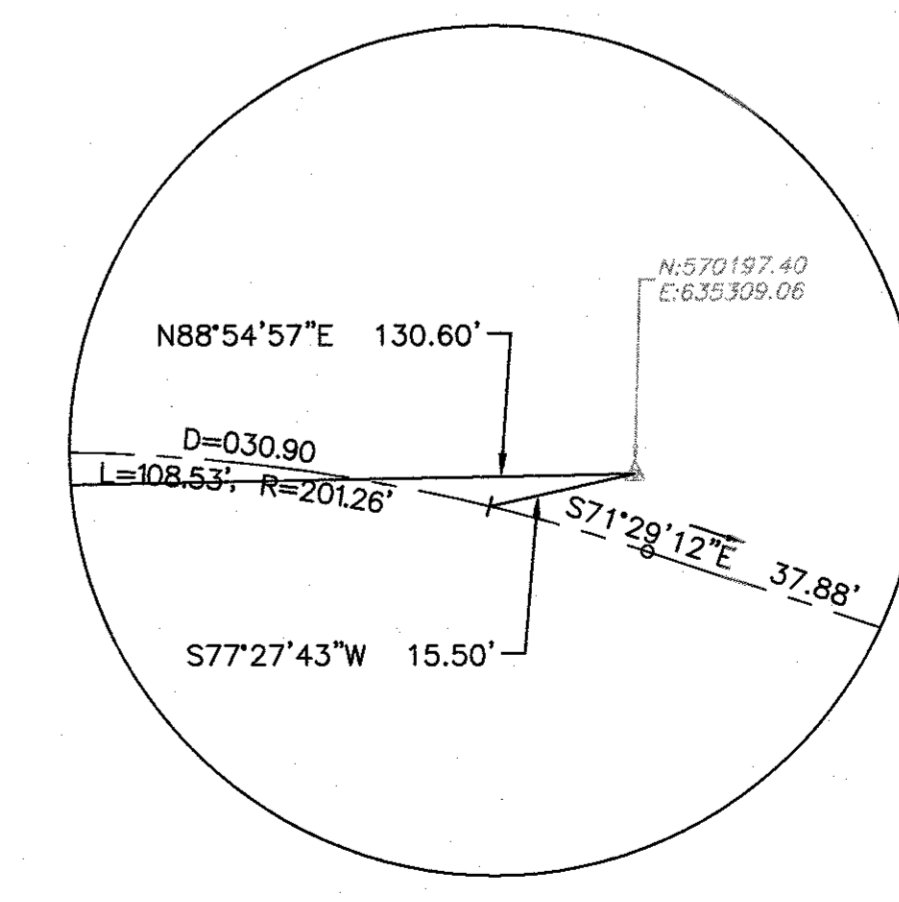
TWINLIGHTS TERRACE BASELINE TIE
 STA 2+50



TWINLIGHTS TERRACE BASELINE TIE
 STA 3+50



TWINLIGHTS TERRACE BASELINE TIE
 STA 4+50



TWINLIGHTS TERRACE BASELINE TIE
 STA 5+50

PROJECT INFORMATION:
 FILE NAME: HIGH10763_SHT000-SHT007.LGP.dwg
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 LAST SAVE BY: AdamBigh

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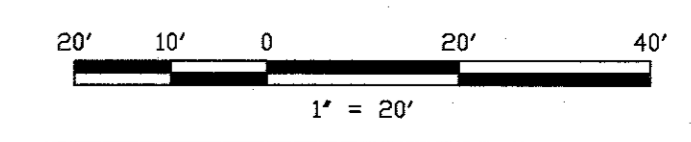
NO.	DATE	REVISIONS	BY	CHKD

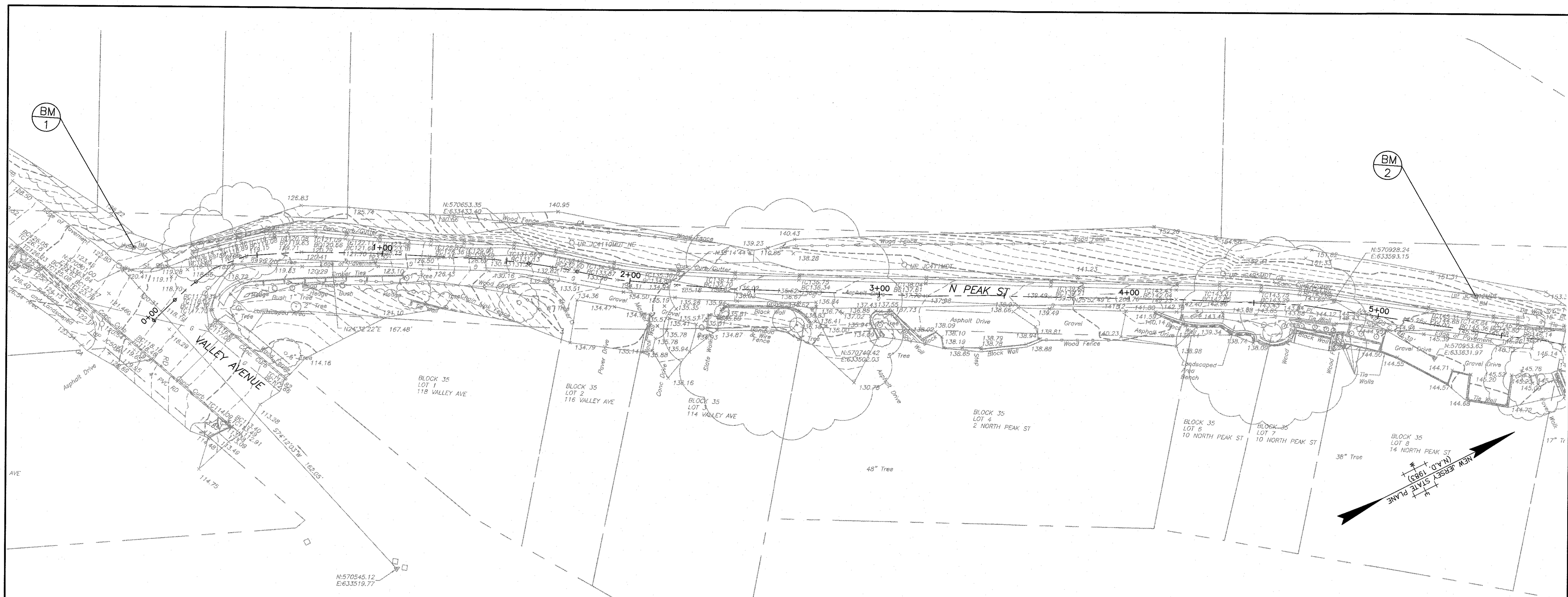
08/16/2017
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENSE NO. 24601495.100
 ROBERT R. KEADY, P.E., C.M.E.
 HIGHLANDS BOROUGH ENGINEER

BOROUGH OF HIGHLANDS
 2017 CAPITAL ROAD IMPROVEMENTS
 HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY
 TWINLIGHTS TERRACE
 PROFILE

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DESIGNED BY	DMD	DRAWING	LGP-2
CHECKED BY	RRK	SHEET	7
DRAWN BY	AWD	SCALE	AS SHOWN
DATE	7-10-2017	PROJ. NO.	HGL-10763
SCALE	1" = 20'	OF	24





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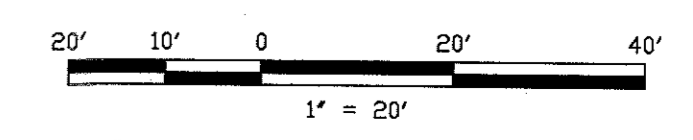
GENERAL NOTES:

1. PLANIMETRIC AND TOPOGRAPHIC FEATURES SHOWN HEREON HAVE BEEN DRAWN IN ACCORDANCE WITH FIELD SURVEY PERFORMED BY GEOD CORPORATION ON OR ABOUT MAY 17, 2017.
2. HORIZONTAL SYSTEM IS NAD 1983 COORDINATE SYSTEM AND VERTICAL DATUM IS NAVD 1988.

- BM 1 IS A BOLT ON FIRE HYDRANT AT THE INTERSECTION OF THE NORTH SIDE OF VALLEY AVENUE AND THE WEST SIDE OF N PEAK STREET. ELEV.=124.35'
- BM 2 IS A NAIL ON AN UTILITY POLE #JC4112M2T ON THE WEST SIDE OF N PEAK STREET. ELEV.=150.67'

PROJECT INFORMATION: Project: HGH-10763 (Plans)
 FILE NAME: C:\Users\jg\OneDrive\Documents\10763\10763.dwg
 LAST SAVED DATE AND TIME: 10 Jul 2017, 10:41AM
 LAST SAVE BY: 99880

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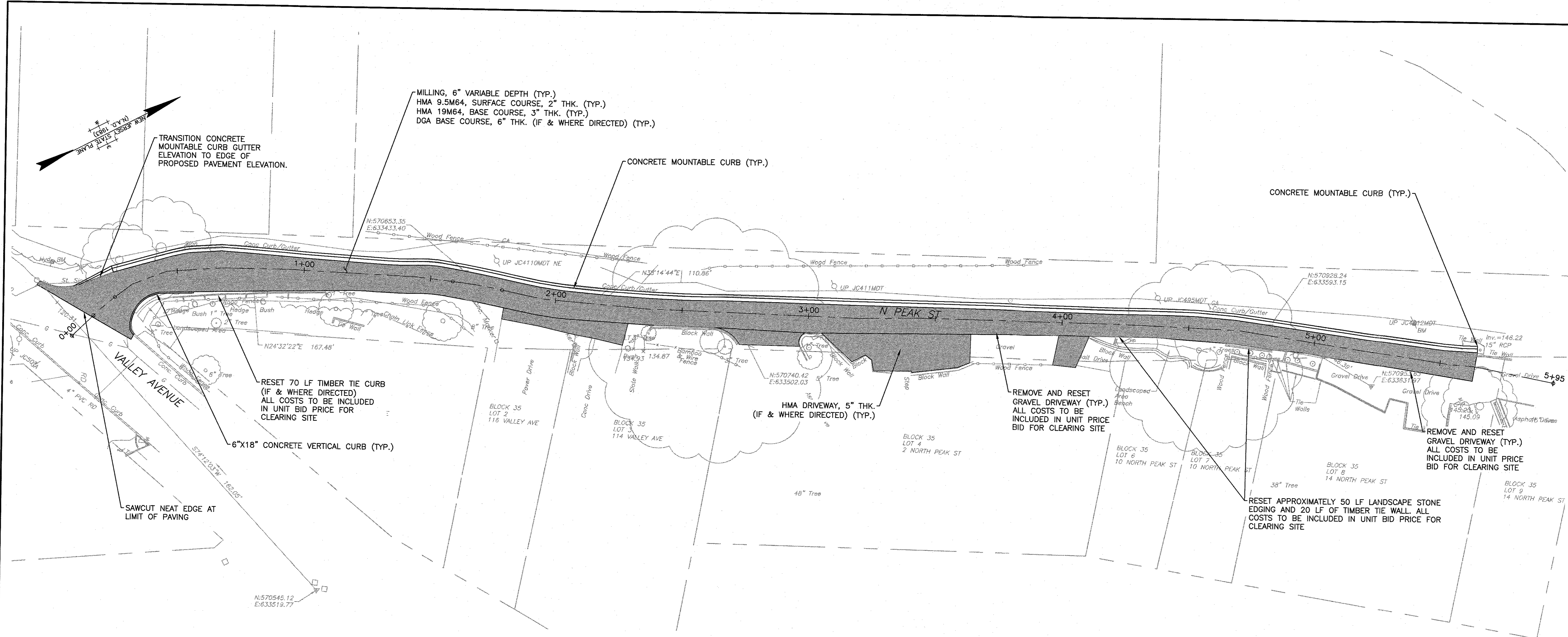
NO.	DATE	REVISIONS	BY	CHKD

08/16/2017
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENSE NO. 24604195100
ROBERT R. KEADY, P.E., C.M.I.E.
 HIGHLANDS BOROUGH ENGINEER

BOROUGH OF HIGHLANDS
2017 CAPITAL ROAD IMPROVEMENTS
 HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY
NORTH PEAK STREET
 EXISTING CONDITIONS

11 TINDALL ROAD
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DESIGNED BY	DMD	DRAWING	EXC-2
CHECKED BY	RRK	SHEET	
DRAWN BY	GTG	8	OF 24
DATE	7-10-2017		
SCALE	AS SHOWN		
PROJ. NO.	HGH-10763		



CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND RESET ANY EXISTING SIGNS. ANY SIGNS DAMAGED AS A RESULT OF THE CONTRACTOR'S ACTIVITY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. PVC SLEEVES SHALL BE PROVIDED IN THE CONCRETE SIDEWALK WHEN INSTALLING SIGNS. ALL COSTS TO BE INCLUDED IN THE LUMP SUM BID PRICE FOR CLEARING SITE.
2. CONTRACTOR SHALL TAKE CARE TO ENSURE POSITIVE FLOW TOWARDS ALL INLETS
3. FINAL LIMITS OF PAVING TO BE DETERMINED IN THE FIELD BY THE ENGINEER.
4. CONTRACTOR TO RESET ALL SIGNS, FENCES, LANDSCAPING, MAILBOXES, EDGING, LOOP DETECTORS, ETC. TO EXISTING CONDITION AT NO SEPARATE PAYMENT.
5. CONTRACTOR IS ADVISED THAT THERE ARE AREAS WHERE THERE ARE WALLS BEHIND THE EXISTING EDGE OF PAVEMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE WALLS DURING CONSTRUCTION. NO SEPARATE PAYMENT SHALL BE MADE. ALL COSTS FOR REMOVAL AND RESETTING OF EXISTING WALLS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CLEARING SITE.
6. ALL EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD.

CONSTRUCT ITEMS

770	SY	MILLING, 6" VARIABLE DEPTH
770	SY	DENSE GRADED AGGREGATE BASE COURSE, 6" THICK (IF & WHERE DIRECTED)
140	TON	HOT MIX ASPHALT 19M64, BASE COURSE, 3" THICK
100	TON	HOT MIX ASPHALT 9.5M64, SURFACE COURSE, 2" THICK
80	GAL	TACK COAT
110	LF	6"x18" CONCRETE VERTICAL CURB (IF & WHERE DIRECTED)
630	LF	CONCRETE MOUNTABLE CURB
165	SY	HOT MIX ASPHALT DRIVEWAY, 5" THICK (IF & WHERE DIRECTED)
110	SY	BORROW TOPSOILING, 4" THICK
110	SY	FERTILIZING AND SEEDING, TYPE 'G'
110	SY	STRAW MULCH

PROJECT INFORMATION:
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 FILE NAME: HIGHLANDS_SHT009_CSP.dwg
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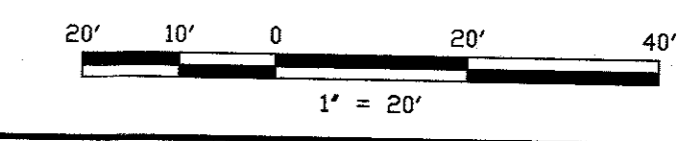
NO.	DATE	BY	CHKD

08/16/2017
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENSE NO. 24604195100
ROBERT R. KEADY, P.E., C.M.E.
 HIGHLANDS BOROUGH ENGINEER

BOROUGH OF HIGHLANDS
2017 CAPITAL ROAD IMPROVEMENTS
 HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY
NORTH PEAK STREET
CONSTRUCTION PLAN


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DESIGNED BY	DMD	DRAWING	CSP-3
CHECKED BY	RRK	SHEET	9
DRAWN BY	AWD	PROJ. NO.	HGHL-10763
DATE	7-10-2017	OF	24
SCALE	AS SHOWN		



Item 3
CHIEF
BY
REVISIONS
DATE
NO.

08/16/2017
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 STATE OF NJ LICENSE NO. 24GE04195100

ROBERT R. KEADY, P.E., C.M.E.
 HIGHLANDS BOROUGH ENGINEER

BOROUGH OF HIGHLANDS
 2017 CAPITAL ROAD IMPROVEMENTS
 HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY
 NORTH PEAK STREET
 GRADING PLAN

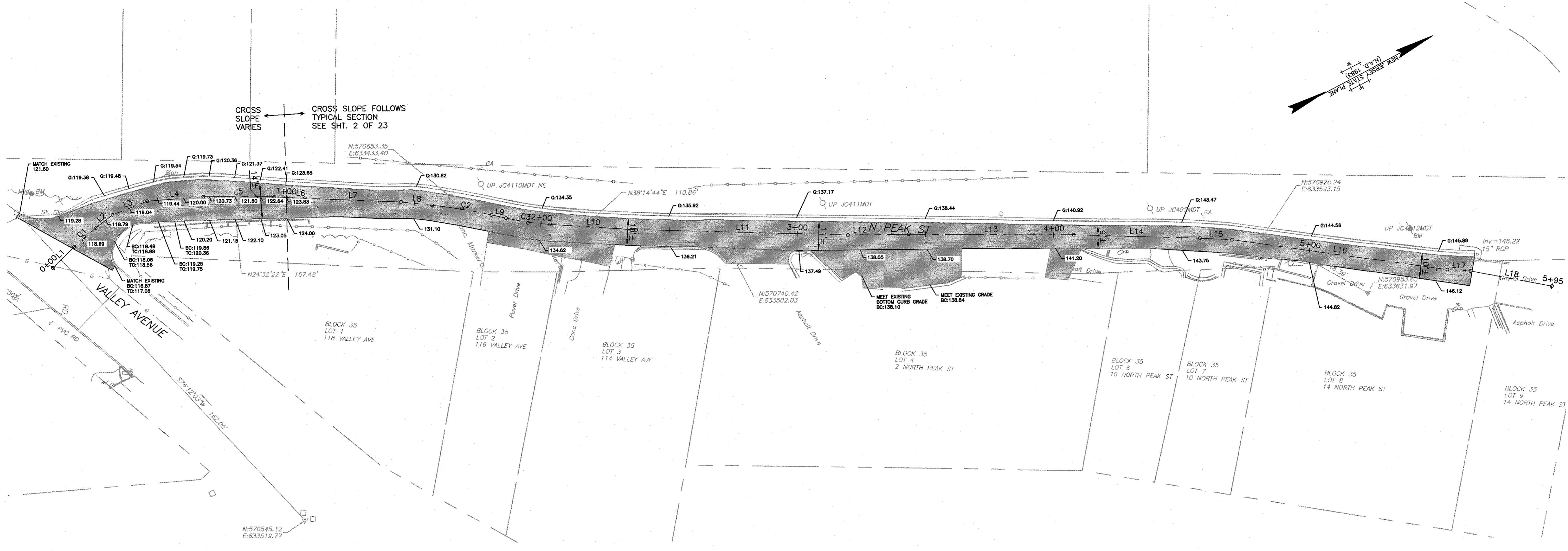


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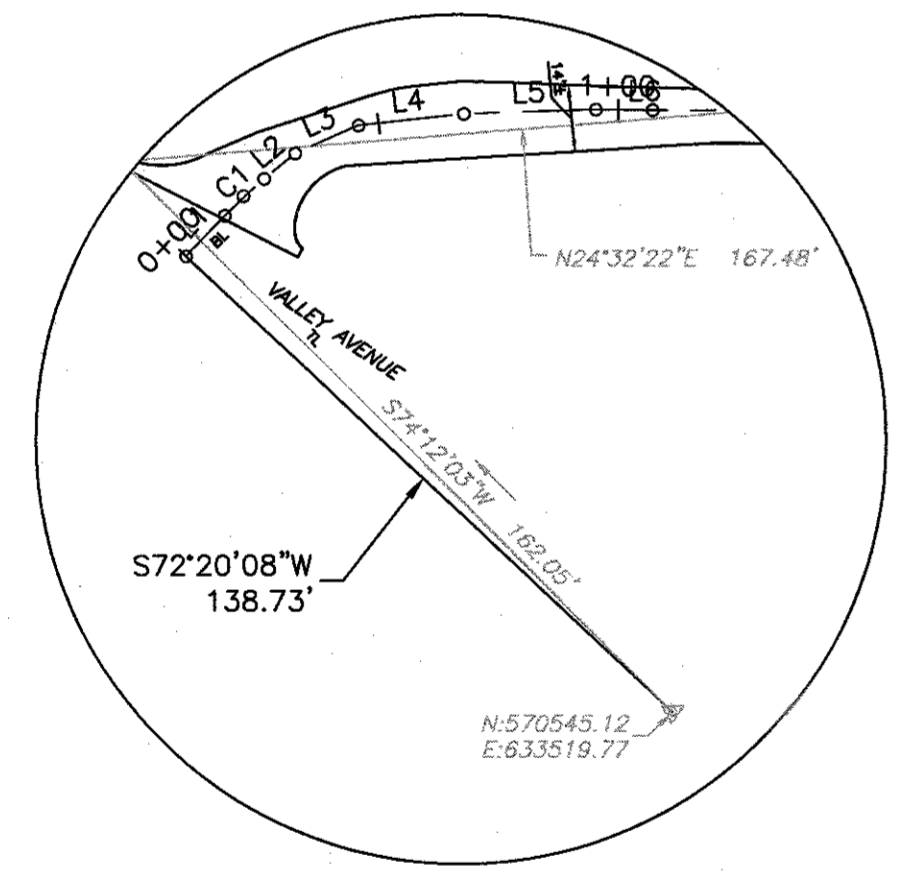
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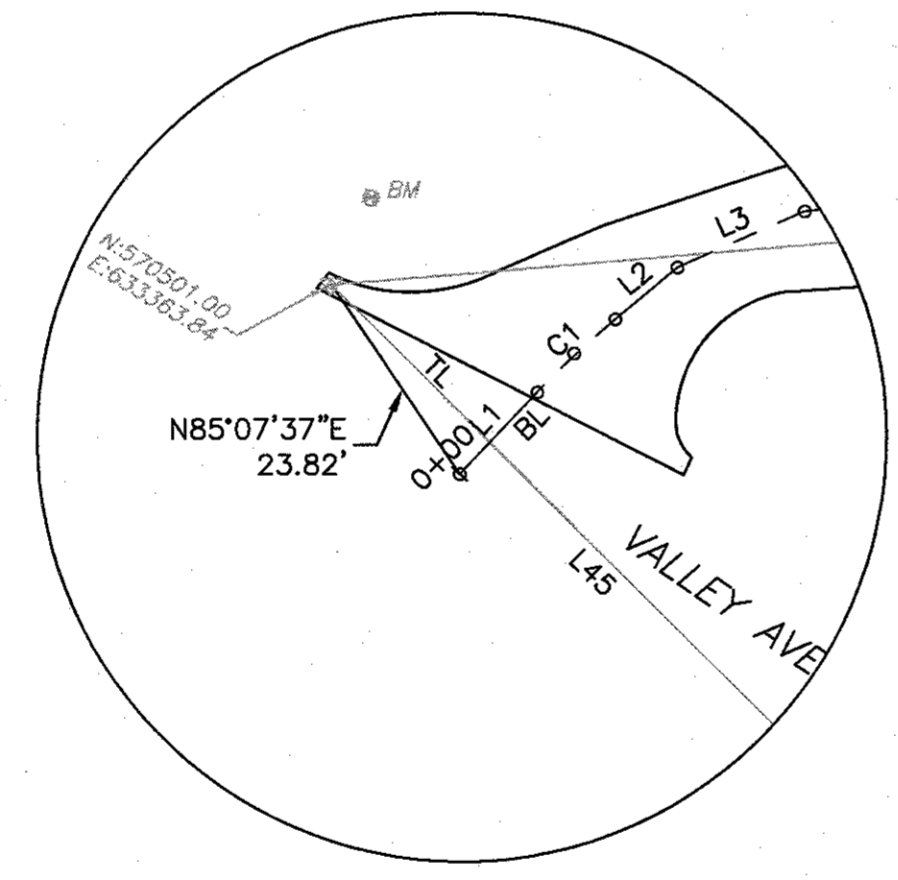
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DATE	7-7-2017		
SCALE	AS SHOWN		
PROJ. NO.	HGH-10763		



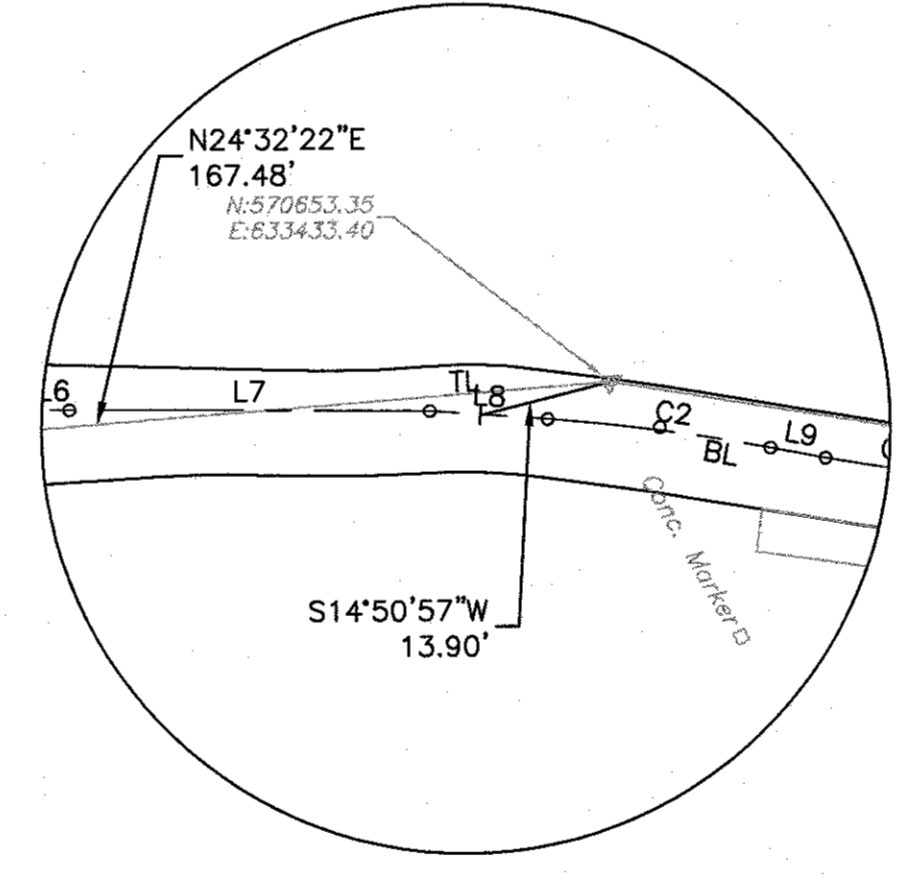
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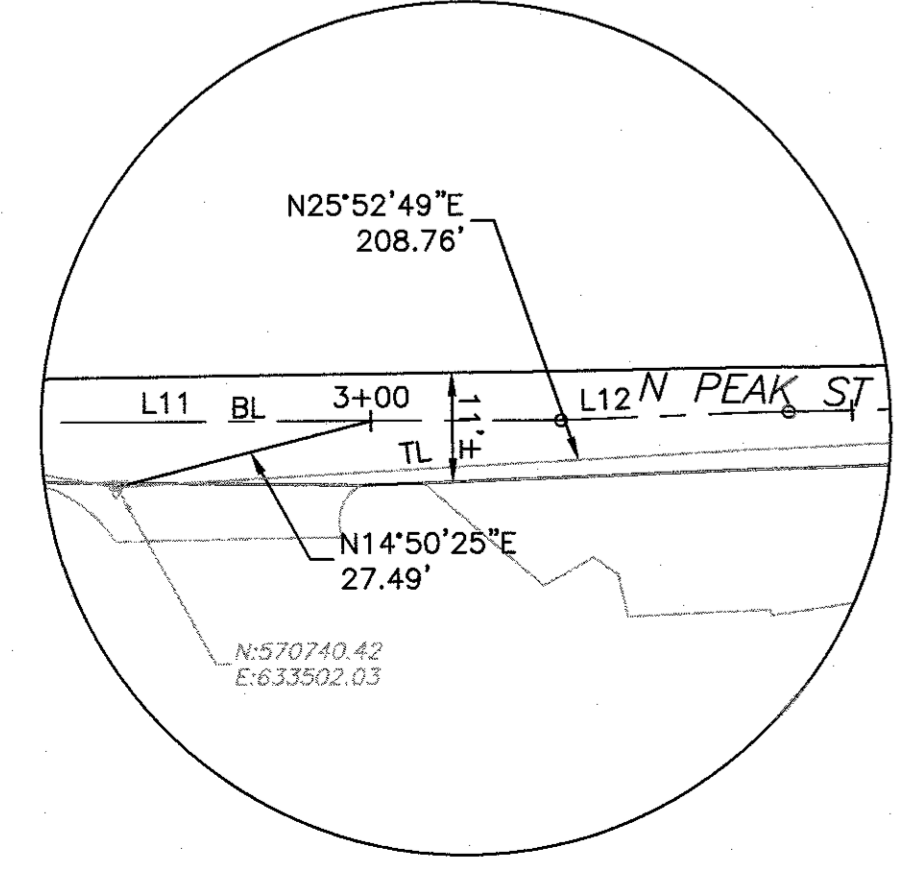
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 STA 0+00



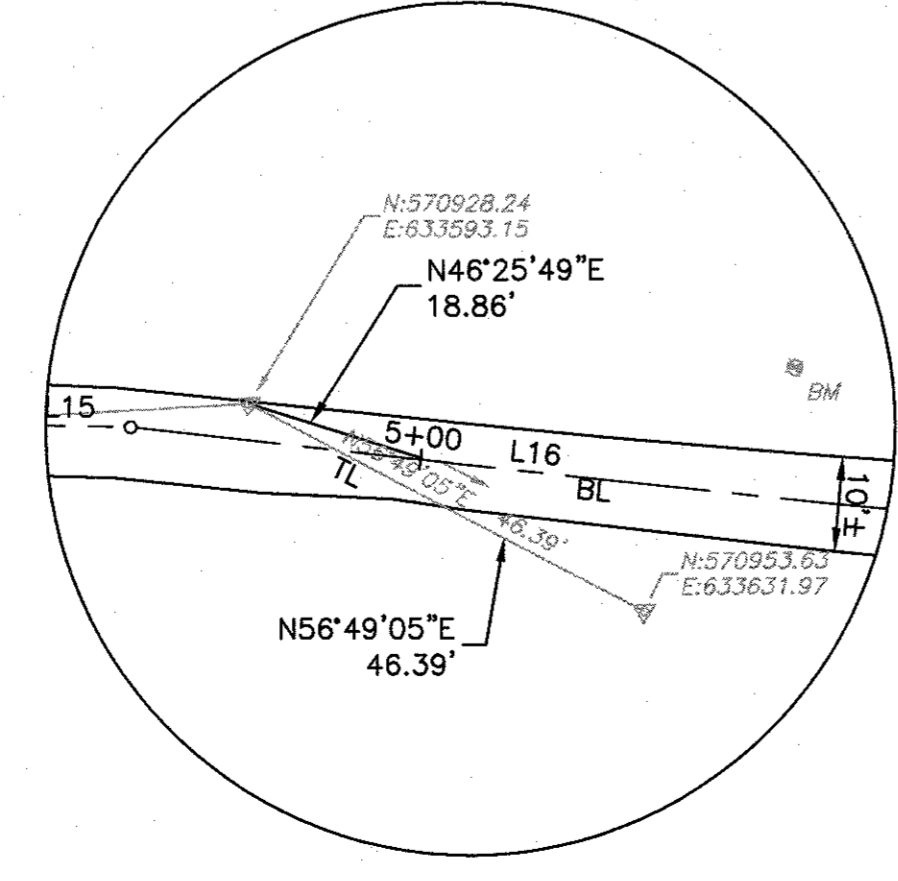
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 STA 0+00



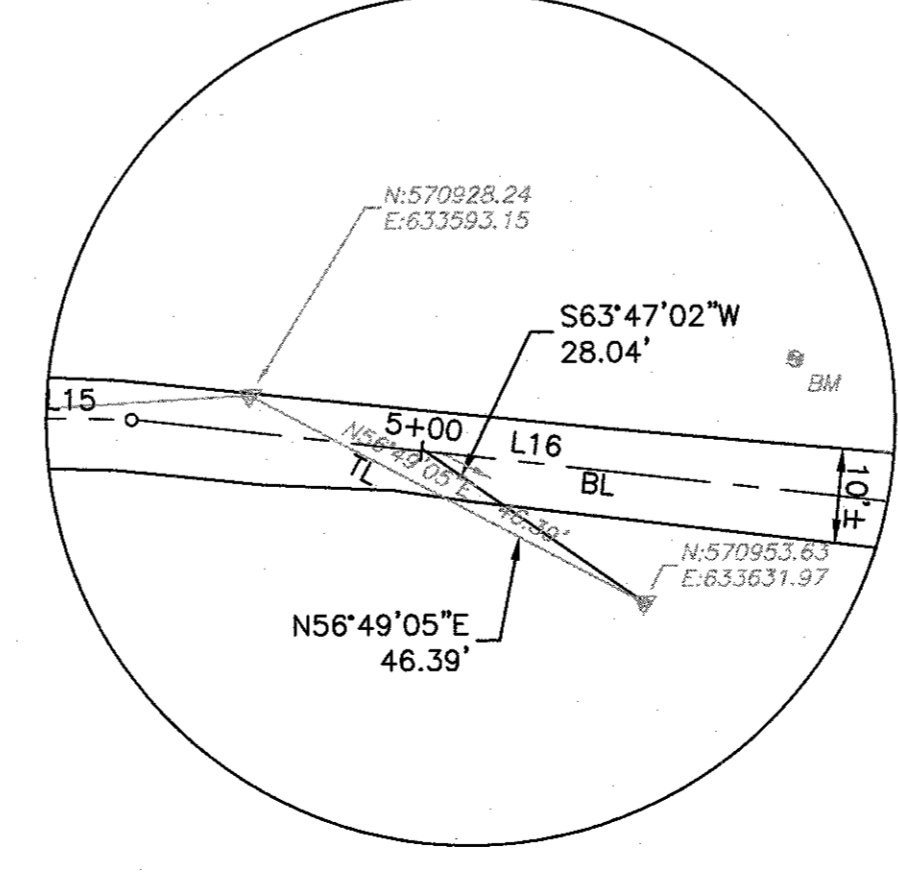
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 STA 1+50



NORTH PEAK ST BASELINE TIE
 STA 3+00



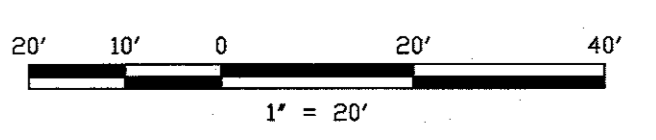
NORTH PEAK ST BASELINE TIE
 STA 5+00



NORTH PEAK ST BASELINE TIE
 STA 5+00

CL ALIGNMENT LINE DATA		
NUMBER	LENGTH	LINE DIRECTION
L1	11.69'	N17°11'30"W
L2	8.39'	N10°38'31"W
L3	14.48'	N5°30'24"E
L4	22.03'	N22°47'09"E
L5	27.54'	N27°18'56"E
L6	11.86'	N29°47'56"E
L7	37.51'	N29°27'54"E
L8	12.31'	N33°17'57"E
L9	5.85'	N39°48'31"E
L10	33.64'	N31°02'26"E
L11	82.61'	N28°58'36"E
L12	23.68'	N26°55'37"E
L13	64.31'	N27°30'31"E
L14	49.20'	N29°01'59"E
L15	12.64'	N30°04'24"E
L16	84.50'	N35°27'10"E
L17	9.08'	N30°40'53"E
L18	32.28'	N37°53'27"E

CL ALIGNMENT CURVE DATA					
NUMBER	RADIUS	LENGTH	DELTA	CHORD LENGTH	CHORD DIRECTION
C1	97.80'	11.18'	006.55	11.17	N13°55'00"W
C2	206.20'	23.43'	006.51	23.41	N36°33'14"E
C3	112.79'	17.26'	008.77	17.24	N35°25'29"E

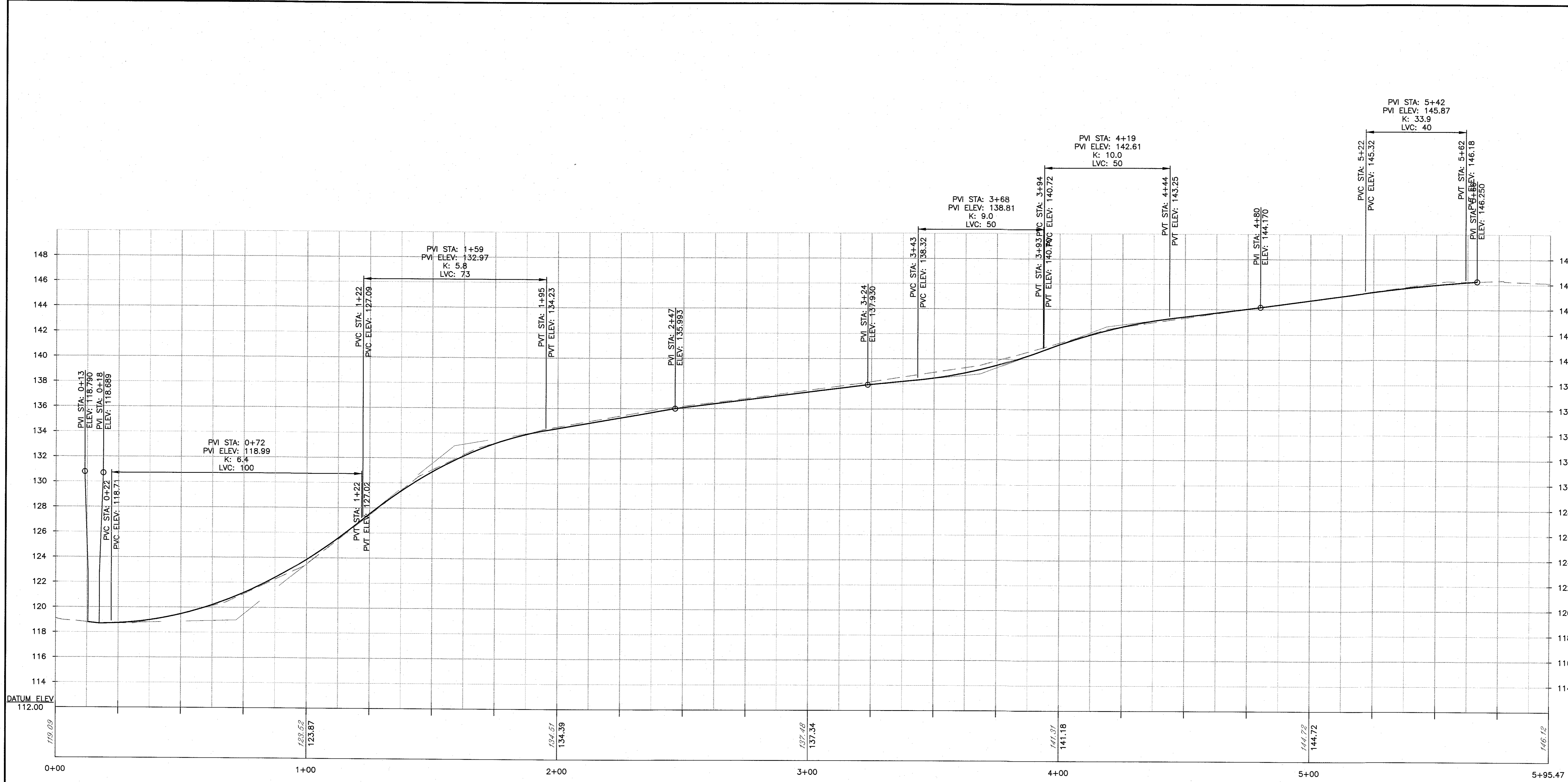


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ROBERT R. KEADY, JR., P.E., C.M.E.
BOROUGH ENGINEER

08/16/2017

LICENSED PROFESSIONAL ENGINEER
STATE OF NEW JERSEY
LICENSE NO. Z4684-130-100

BOROUGH OF HIGHLANDS

2017 CAPITAL ROAD IMPROVEMENTS

HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY

NORTH PEAK STREET

PROPOSED CENTERLINE PROFILE

DESIGNED BY: DMD

CHECKED BY: RRK

DRAWN BY: GTG

DATE: 7-7-2017

SCALE: AS SHOWN

PROJ. NO.: HGL-10763

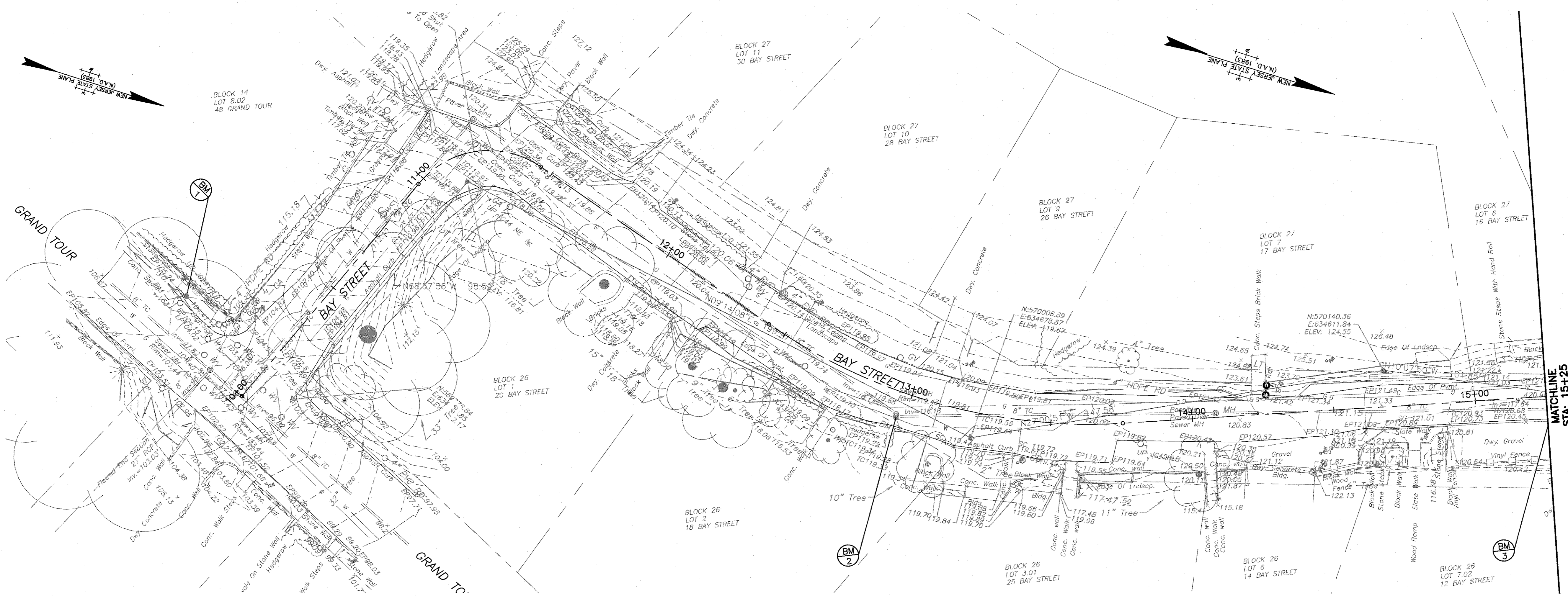
VERTICAL SCALE
1" = 2'

HORIZONTAL SCALE
1" = 20'

DRAWING: **LGP-4**

SHEET: **11**

OF 24



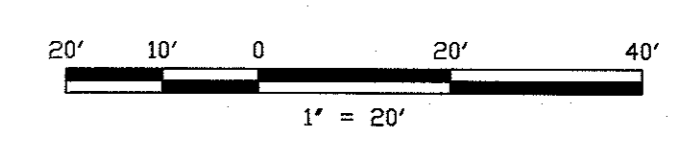
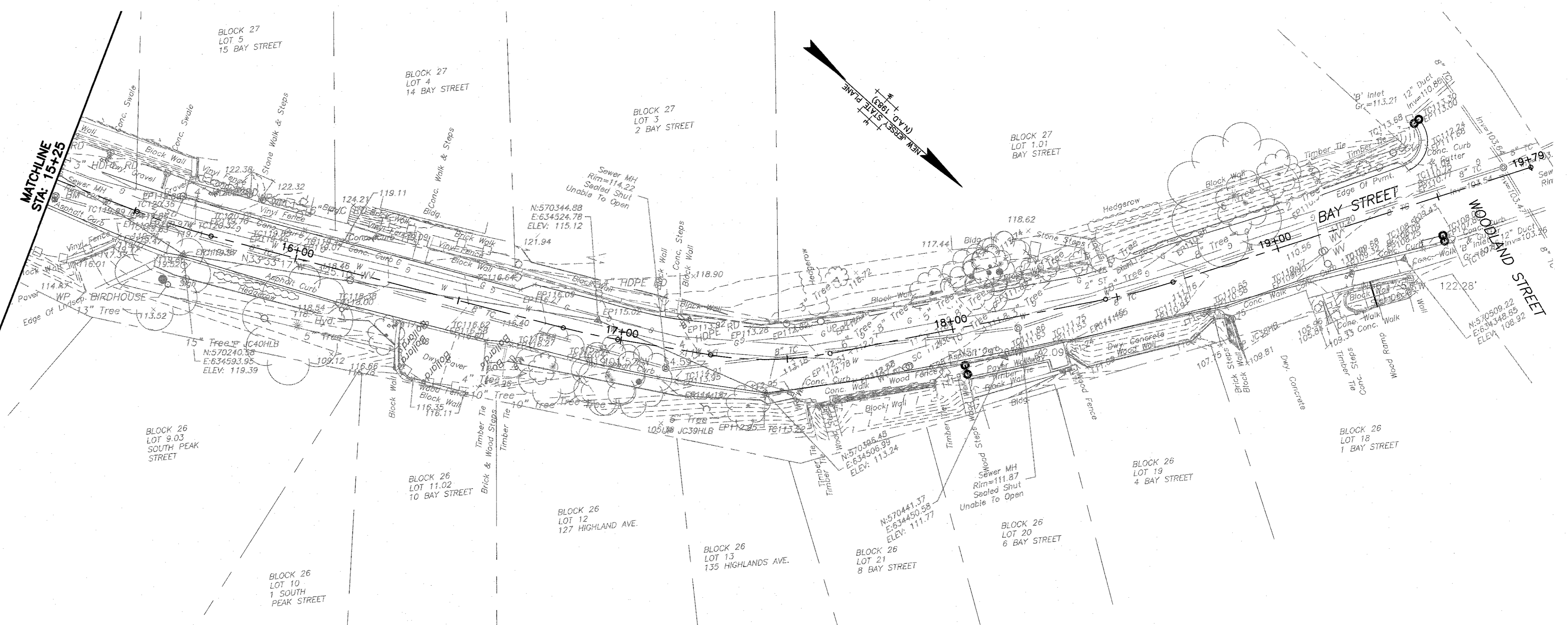
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 TITLE SEARCH OF THE ENTIRE TRACT OR TRACTS MAY DISCLOSE.

GENERAL NOTES:

1. PLANIMETRIC AND TOPOGRAPHIC FEATURES SHOWN HEREON HAVE BEEN DRAWN IN ACCORDANCE WITH FIELD SURVEY PERFORMED BY GEOD CORPORATION ON OR ABOUT JULY 13, THROUGH JULY 17, 2015.
2. HORIZONTAL SYSTEM IS NAD 1983 COORDINATE SYSTEM AND VERTICAL DATUM IS NAVD 1988.

- EP EDGE OF CURB
- TC TOP OF CURB
- BC BOTTOM OF CURB
- FCW FRONT CONCRETE WALK
- GD GROUND
- D DROP
- C CURB
- G GUTTER CURB AT EDGE OF PAVEMENT
- BB BELGIAN BLOCK CURB
- CC CONCRETE CURB

- BM 1** BM IS A "M" IN MUELLER SOUTH WEST SIDE CORNER OF BAY STREET AND SOUTH PEAK STREET. ELEV.=107.15'
- BM 2** BM IS AN X-CUT ON SEWER MANHOLE ON BAY STREET ABOUT 300' NORTH FROM SOUTH PEAK STREET. ELEV.=119.43'
- BM 3** BM IS AN X-CUT ON SEWER MANHOLE ON BAY STREET ABOUT MID WAY BETWEEN WOODLAND STREET AND SOUTH PEAK STREET. ELEV.=120.56'



PROJECT INFORMATION:
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 FILE NAME: HIGH10763_SHT01_2_EXC.dwg
 DATE AND TIME: 15 Aug 2017, 3:56PM
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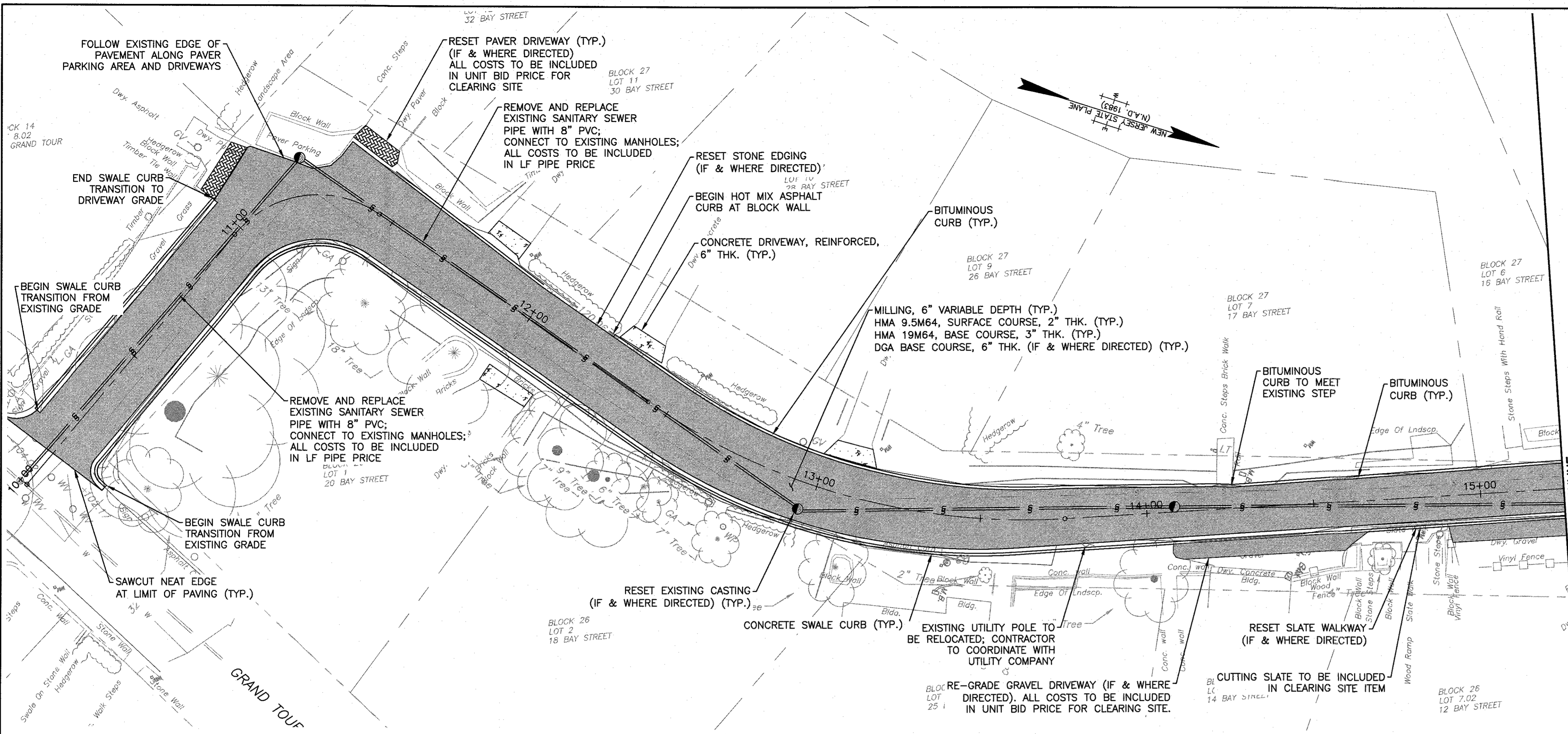
ROBERT R. KEADY, P.E., C.M.E.
 HIGHLANDS BOROUGH ENGINEER
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENSE NO. 24604185100
 08/16/2017

BOROUGH OF HIGHLANDS
2017 CAPITAL ROAD IMPROVEMENTS
 HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY
BAY STREET
 EXISTING CONDITIONS

11 TINDALL ROAD
 MIDDLETOWN, NJ 07748
 TEL 732-671-6400
 FAX 732-671-7365

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CHECKED BY	RRK	SHEET	
DRAWN BY	AWD		
DATE	7-10-2017		12
SCALE	AS SHOWN		
PROJ. NO.	HGL-10763		OF 2

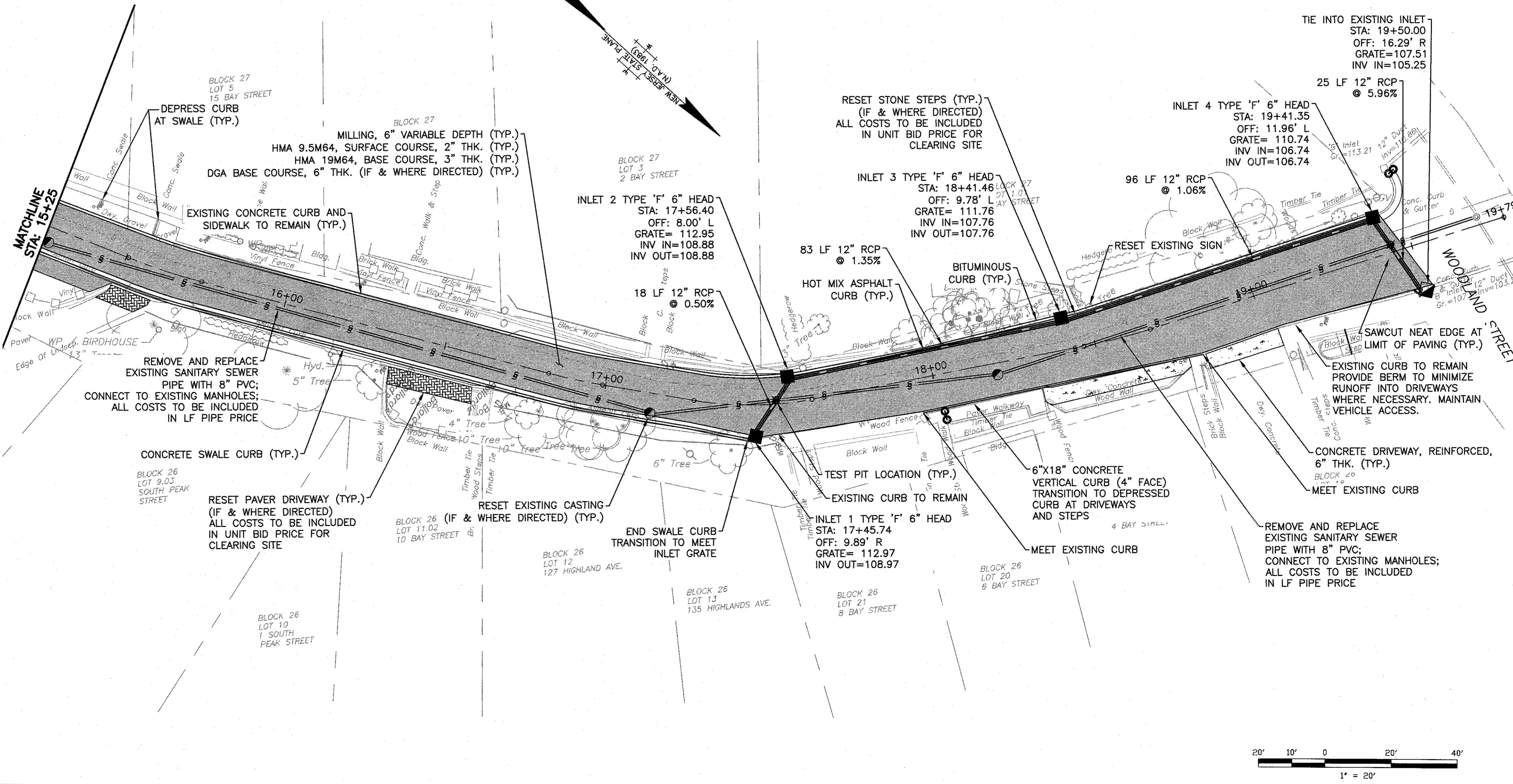


CONSTRUCT ITEMS

10	CY	EXCAVATION, TEST PITS (IF & WHERE DIRECTED)
2,125	SY	MILLING, 6" VARIABLE DEPTH
260	TON	HOT MIX ASPHALT 9.5M64, SURFACE COURSE, 2" THICK
385	TON	HOT MIX ASPHALT 19M64, BASE COURSE, 3" THICK
1,065	SY	DENSE GRADED AGGREGATE BASE COURSE, 6" THICK (IF & WHERE DIRECTED)
170	GAL	TACK COAT
1,070	LF	8" PVC SANITARY SEWER PIPE
250	LF	12" RCP PIPE (CLASS V WITH FLEXIBLE WATER TIGHT RUBBER GASKET)
4	UN	INLET TYPE F, 6" HEAD
5	UN	RESET EXISTING CASTING (IF & WHERE DIRECTED)
1	UN	RECONSTRUCTED INLET, TYPE 'B', USING EXISTING CASTING
890	LF	CONCRETE SWALE CURB
100	LF	6"x18" CONCRETE VERTICAL CURB
775	LF	BITUMINOUS CURB
80	SY	CONCRETE DRIVEWAY, REINFORCED, 6" THICK
275	SY	BORROW TOPSOILING, 4" THICK
275	SY	FERTILIZING AND SEEDING, TYPE 'G'
275	SY	STRAW MULCH

CONSTRUCTION NOTES

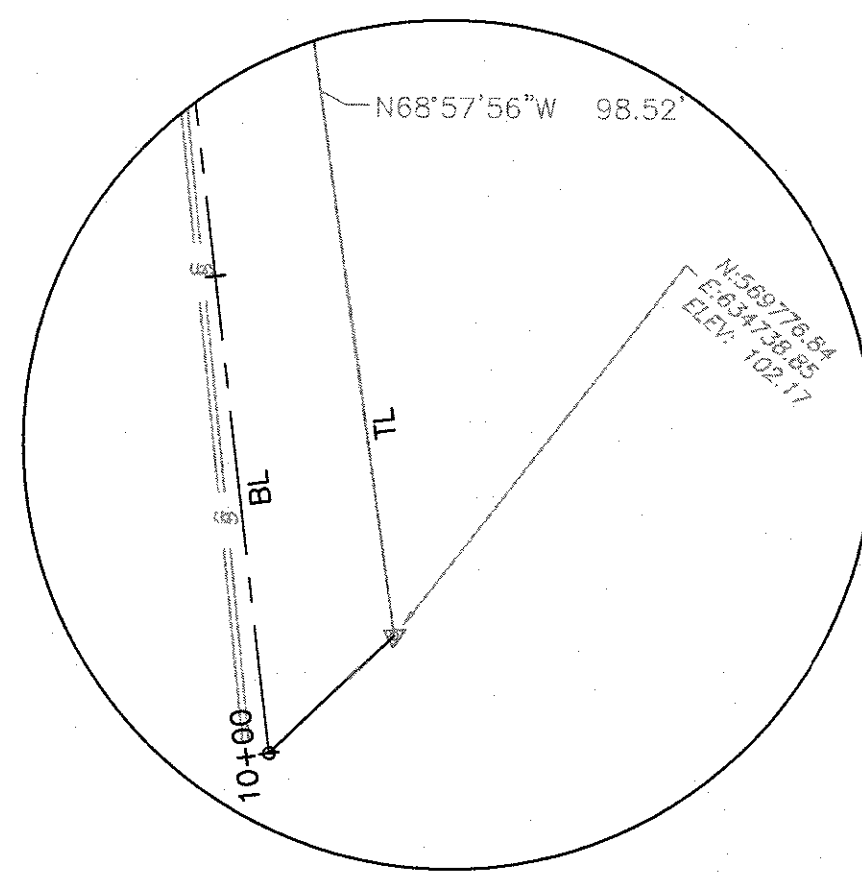
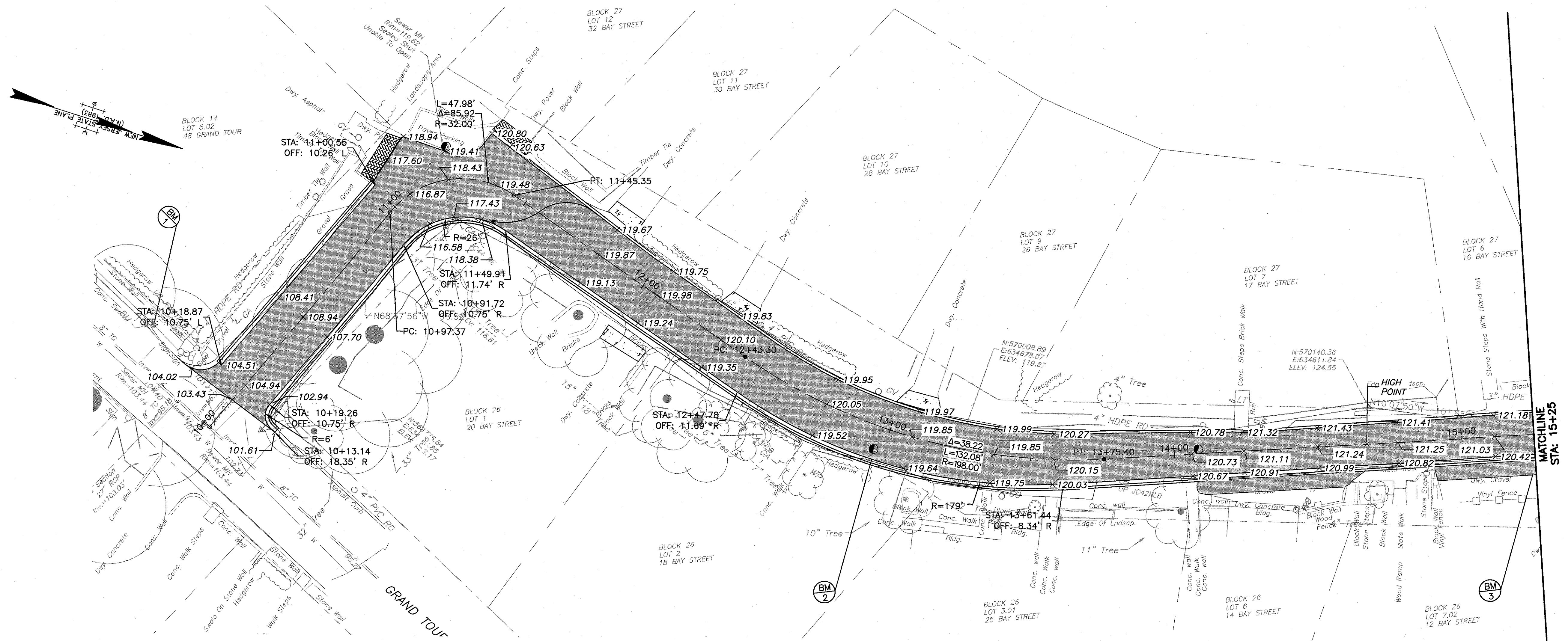
1. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND RESET ANY EXISTING SIGNS. ANY SIGNS DAMAGED AS A RESULT OF THE CONTRACTOR'S ACTIVITY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL COSTS TO BE INCLUDED IN THE LUMP SUM BID PRICE FOR CLEARING SITE.
2. CONTRACTOR SHALL TAKE CARE TO ENSURE POSITIVE FLOW TOWARDS ALL INLETS.
3. FINAL LIMITS OF PAVING TO BE DETERMINED IN THE FIELD BY THE ENGINEER.
4. CONTRACTOR TO RESET ALL SIGNS, FENCES, LANDSCAPING, MAILBOXES, EDGING, ETC. TO EXISTING CONDITION AT NO SEPARATE PAYMENT.
5. CONTRACTOR IS ADVISED THAT THERE ARE AREAS WHERE THERE ARE WALLS BEHIND THE EXISTING EDGE OF PAVEMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE WALLS DURING CONSTRUCTION. NO SEPARATE PAYMENT SHALL BE MADE. ALL COSTS FOR REMOVAL AND RESETTING OF EXISTING WALLS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CLEARING SITE.
6. ALL EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD.
7. MANHOLE CASTINGS SHALL BE RESET USING BRICK AND MORTAR. NO RINGS SHALL BE ALLOWED.
8. LIMITS OF HOT MIX ASPHALT CURB TO BE DETERMINED IN THE FIELD BY ENGINEER.
9. SANITARY SEWER MAIN IS TO BE REPLACED IN KIND WITH 8" PVC PIPE AND CONNECTED TO EXISTING MANHOLES. ALL DETAILS FOR INSTALLATION CAN BE FOUND ON THE DETAIL SHEET 17 OF 24. ALL COSTS ASSOCIATED WITH THE INSTALLATION OF THE NEW SANITARY SEWER MAIN INCLUDING EXCAVATION, INSTALLATION, CONNECTION TO EXISTING MANHOLES, PAVEMENT REPAIR, AND TIE IN OF EXISTING LATERALS SHALL BE INCLUDED IN THE LINEAR FOOT PRICE BID FOR 8" PVC PIPE.



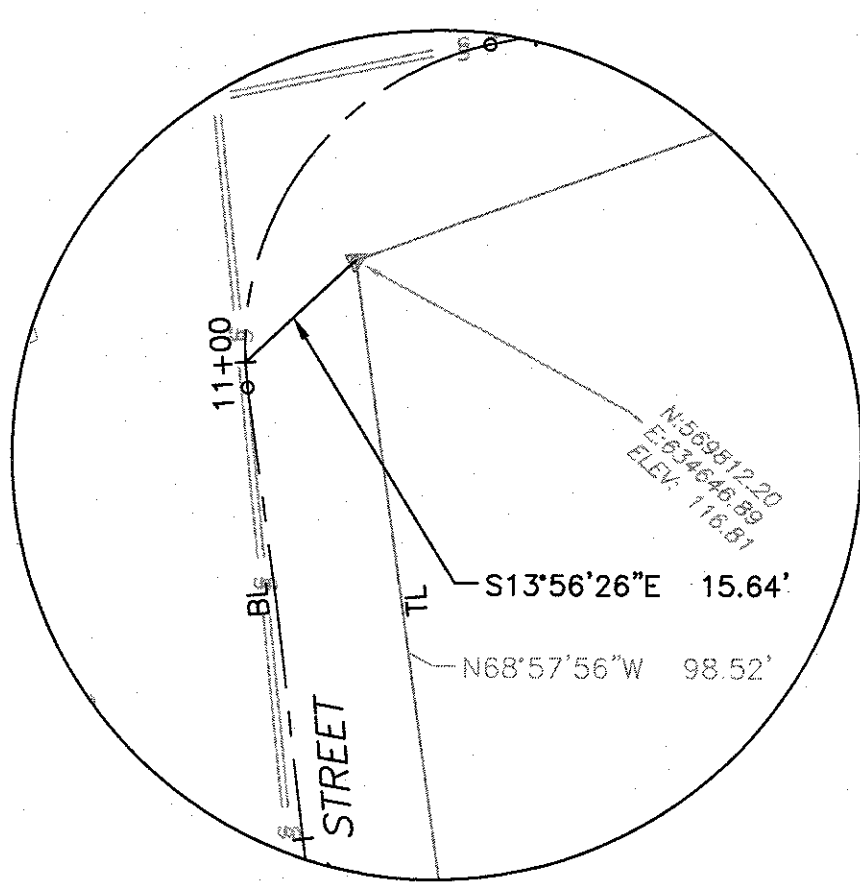
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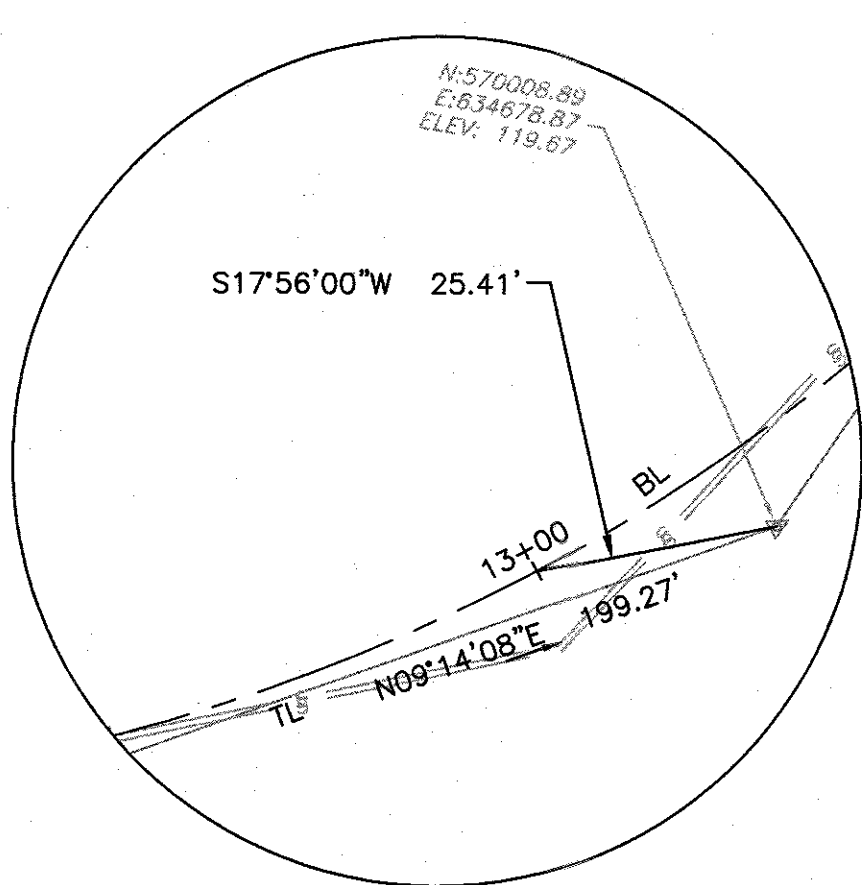
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<p>BOROUGH OF HIGHLANDS</p> <p>BAY STREET</p>	<p>8/18/2017</p> <p>08/18/2017</p> <p>LICENSED PROFESSIONAL ENGINEER STATE OF NJ LICENSE NO. 24604195.100</p>
<p>YOUR GOALS. OUR MISSION.</p> <p>11 TINDALL ROAD MIDDLETOWN, NJ 07748 TEL 732-671-6400 FAX 732-671-7365 www.tandmassociates.com</p> <p>NEW JERSEY BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS CERTIFICATE OF AUTHORIZATION #06A2767900</p> <p>OFFICES LOCATED IN: DELAWARE, INDIANA, KENTUCKY, MASSACHUSETTS, MICHIGAN, NEW JERSEY, OHIO AND PENNSYLVANIA</p>	<p>DESIGNED BY: DMD</p> <p>CHECKED BY: RRK</p> <p>DRAWN BY: AWD</p> <p>DATE: 7-10-2017</p> <p>SCALE: AS SHOWN</p> <p>PROJ. NO.: HGLH-10763</p>
<p>DRAWING: CSP-4</p> <p>SHEET: 13</p> <p>OF 24</p>	<p>1" = 20'</p>



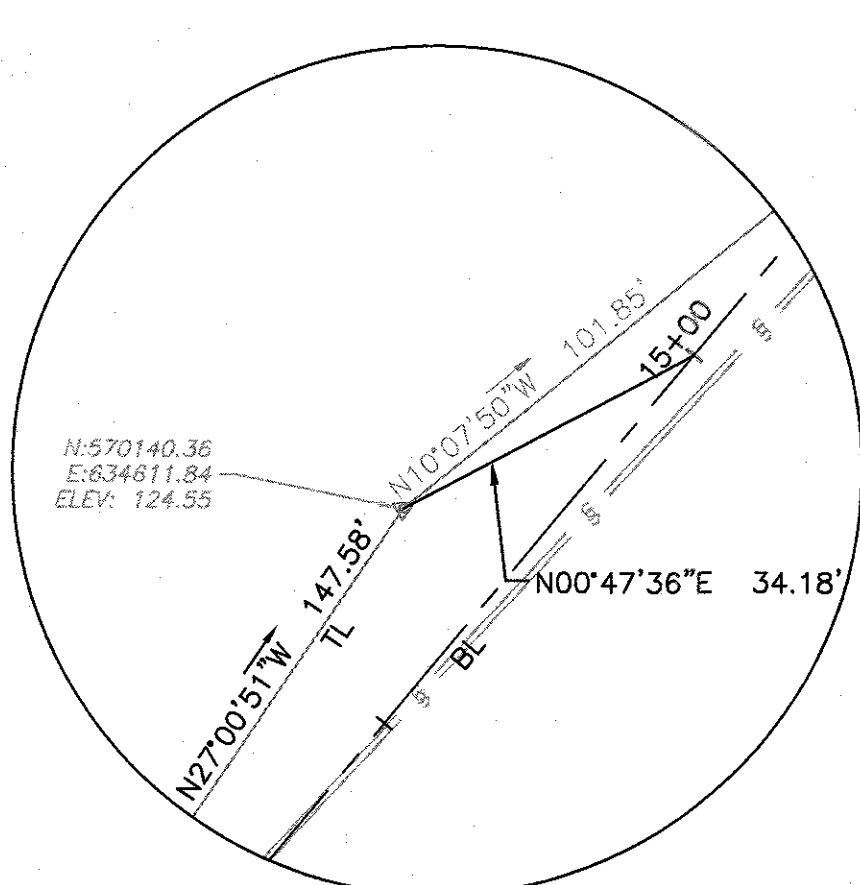
BAY AVE BASELINE TIE
STA 10+00



BAY AVE BASELINE TIE
STA 11+00



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STA 13+00



BAY AVE BASELINE TIE
STA 15+00

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HIGHLANDS BOROUGHING ENGINEER

09/16/2017

REGISTERED PROFESSIONAL ENGINEER
STATE OF NJ LICENSE NO. 24680485100

BOROUGH OF HIGHLANDS

2017 CAPITAL ROAD IMPROVEMENTS
HIGHLANDS BOROUG, MONMOUTH COUNTY, NEW JERSEY

BAY STREET

GRADING PLAN STA. 10+00 - 15+75

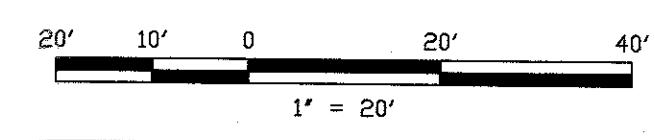
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MIDDLETOWN, NJ 07748
TEL 732-671-6400
FAX 732-671-7365

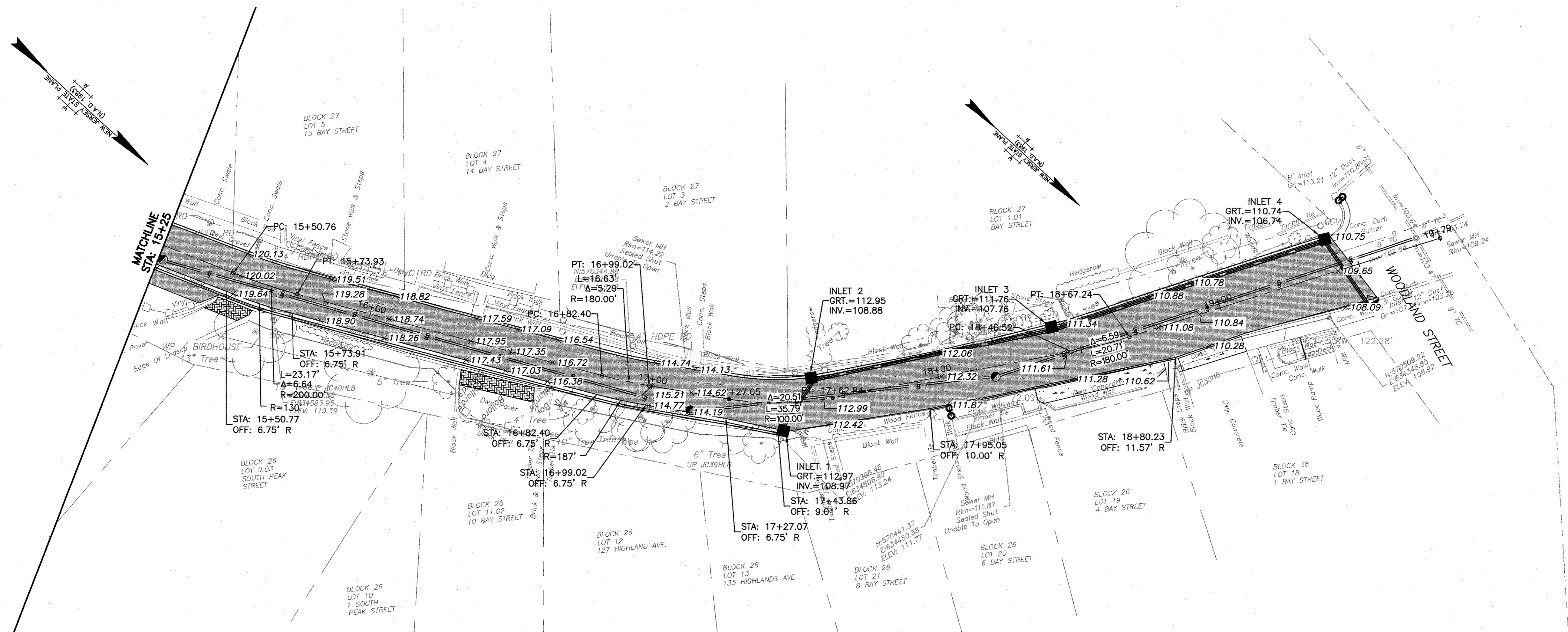
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CERTIFICATE OF AUTHORIZATION 26042767950

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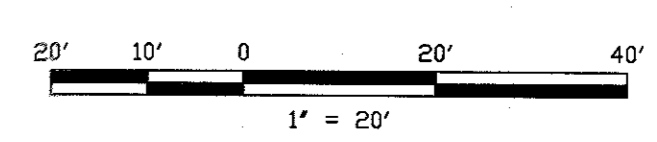
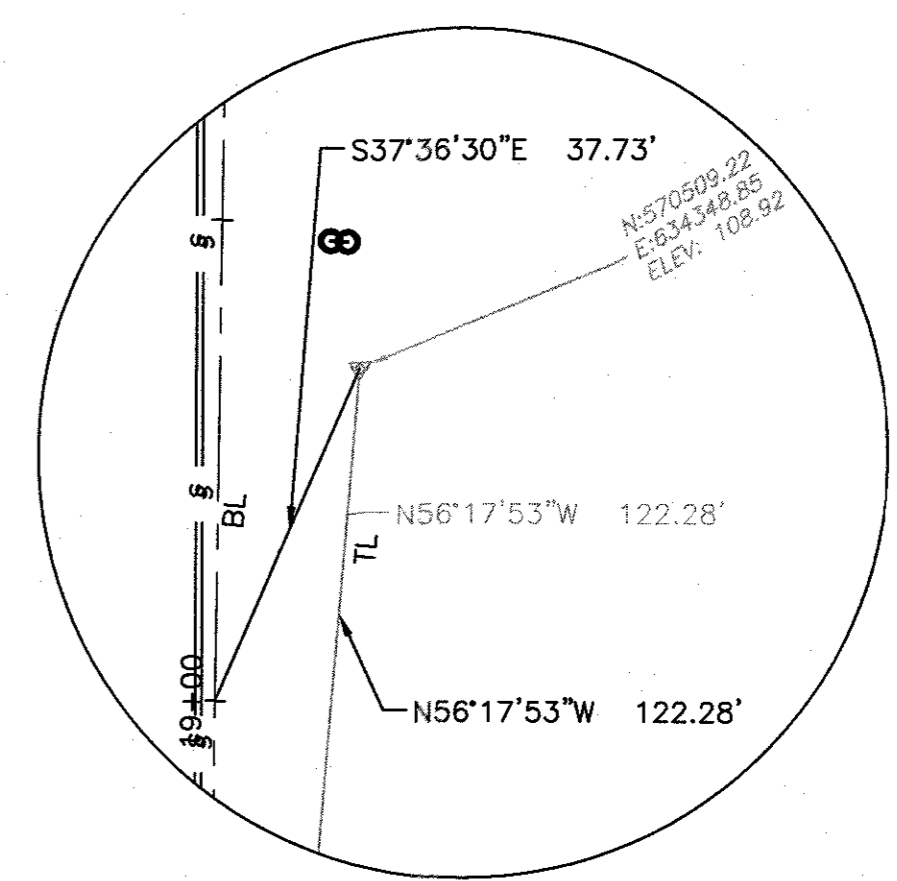
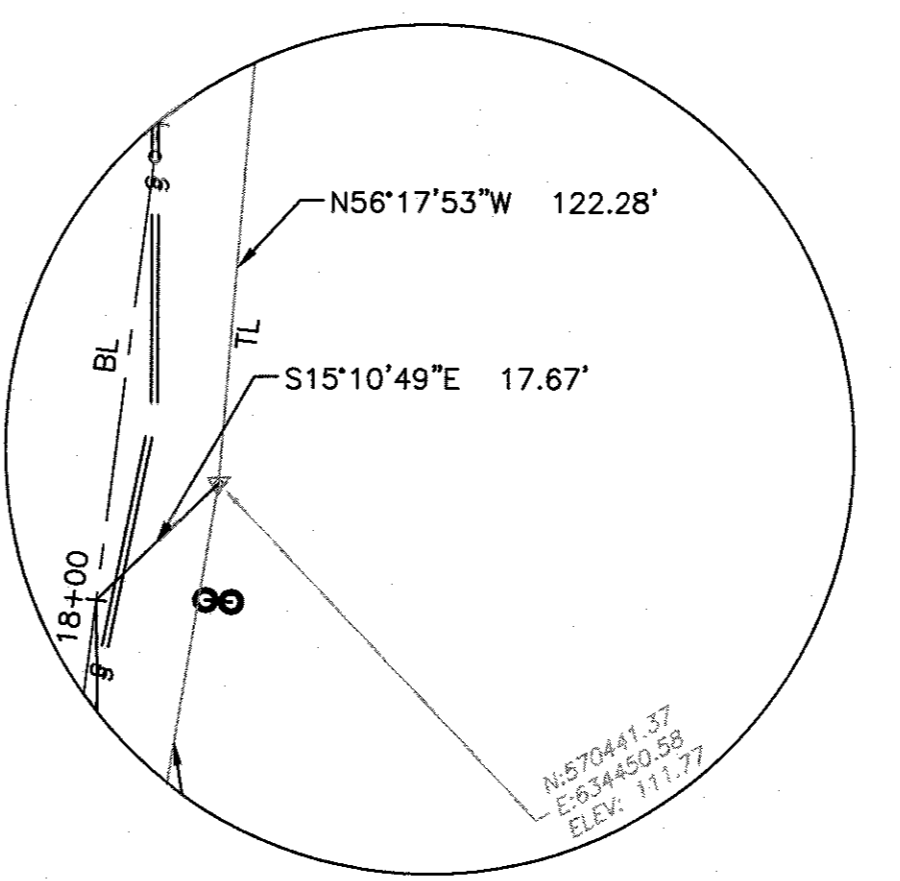
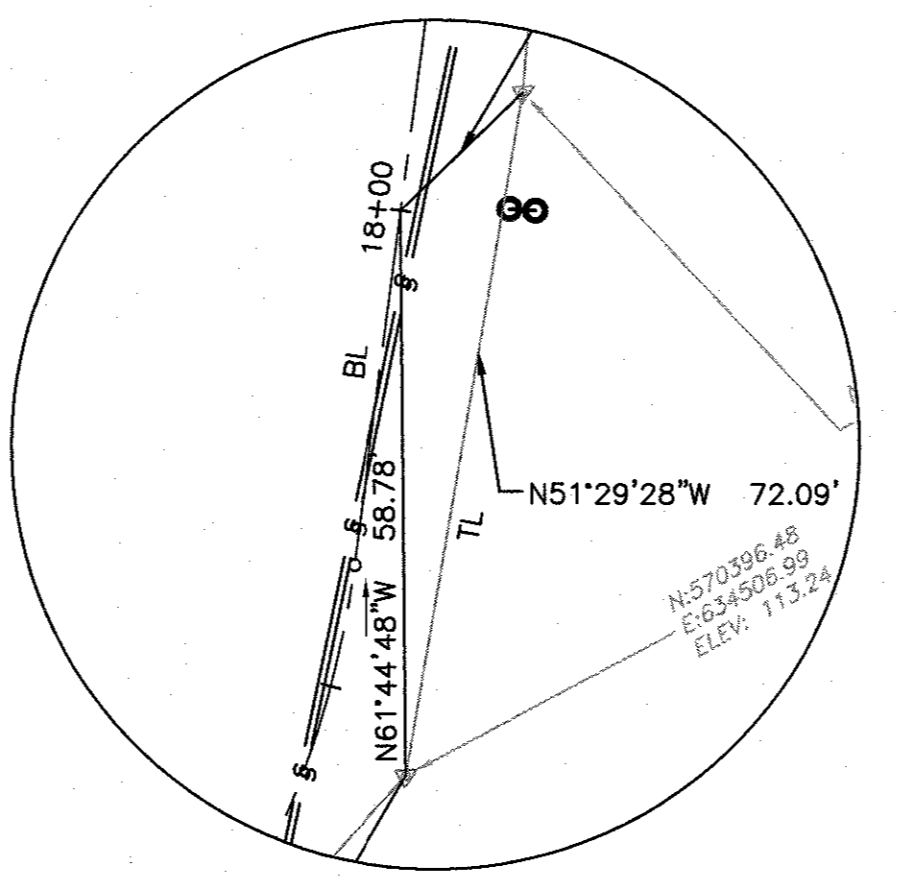
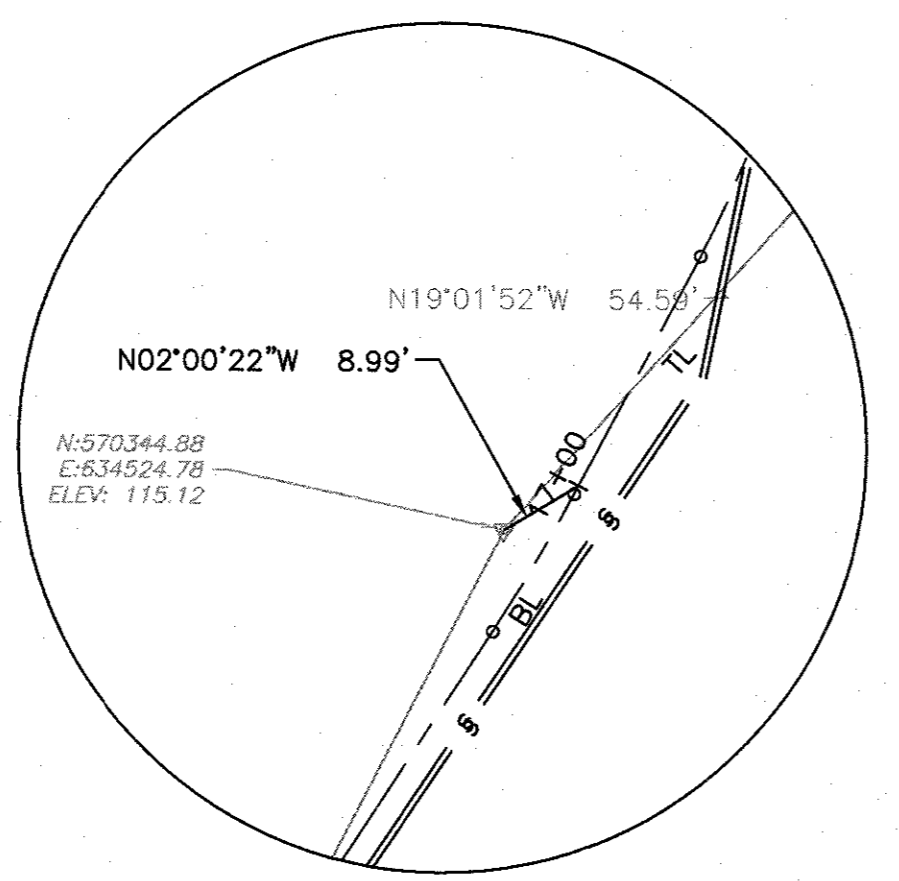
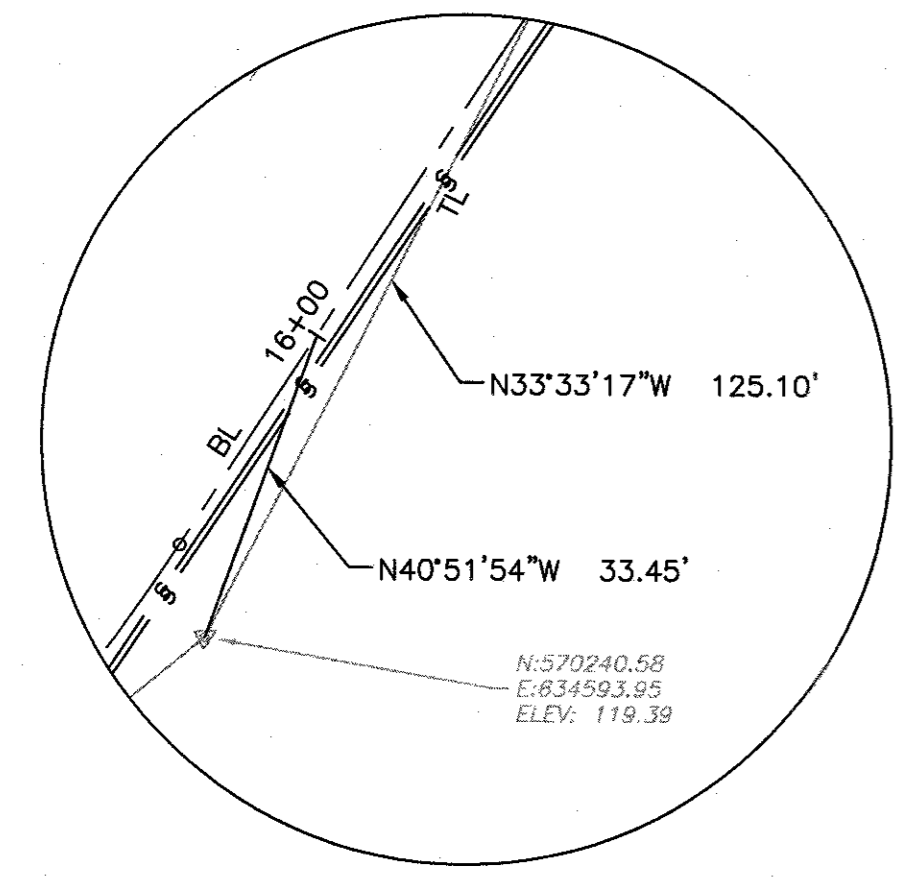
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DRAWN BY	AWD	DATE	7-10-2017
SCALE	AS SHOWN	PROJ. NO.	HGL-10763
			OF 2





PROJECT INFORMATION:
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 STATE OF NJ LICENSE NO. 24604135100

BOROUGH OF HIGHLANDS
 2017 CAPITAL ROAD IMPROVEMENTS
 HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY
 BAY STREET
 GRADING PLAN STA. 15+75 - 19+79

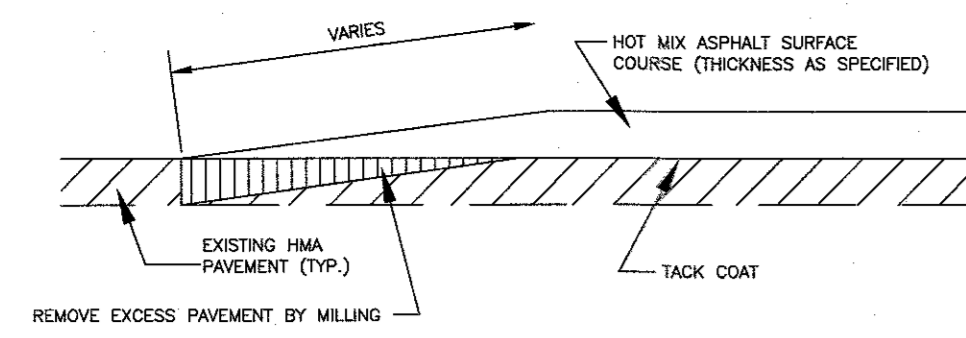
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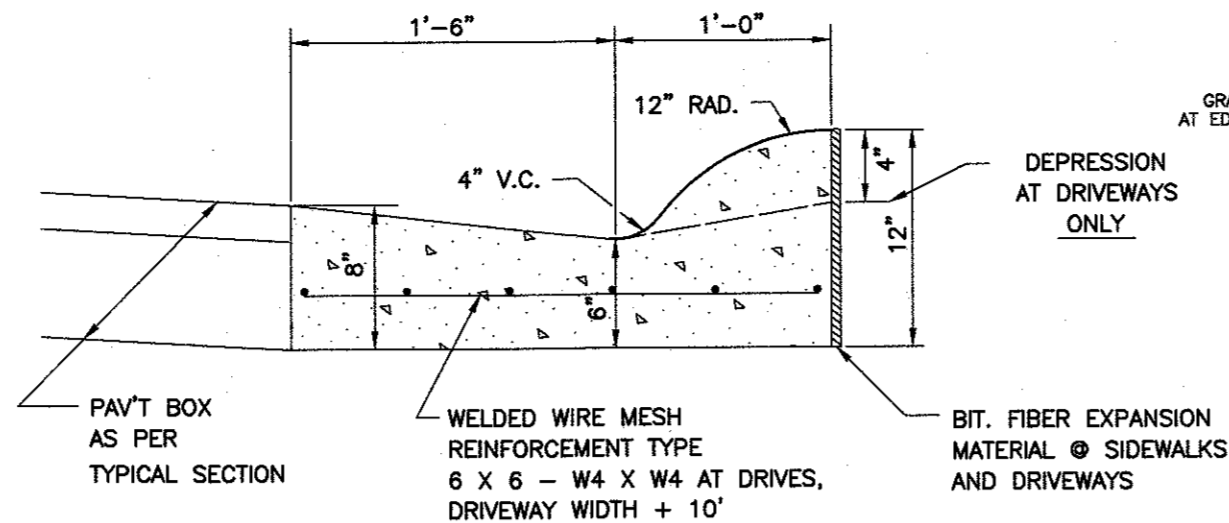
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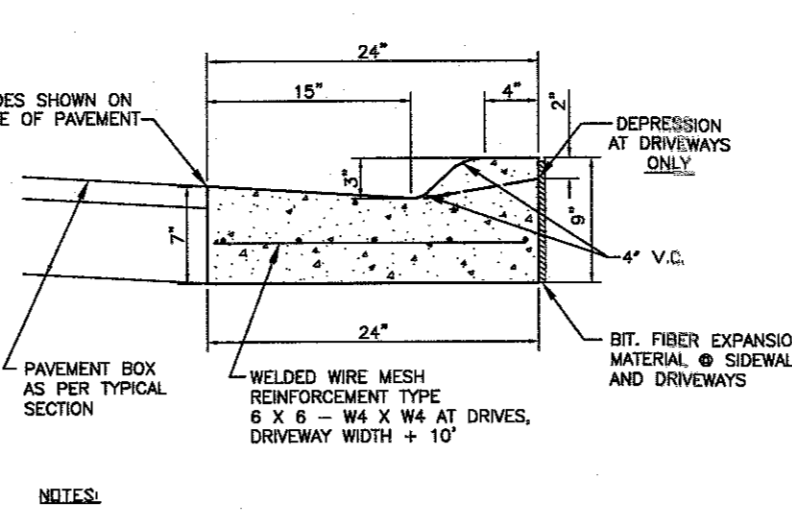
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DRAWN BY	AWD	PROJ. NO.	HGH-10763
DATE	7-10-2017	OF	24
SCALE	AS SHOWN		



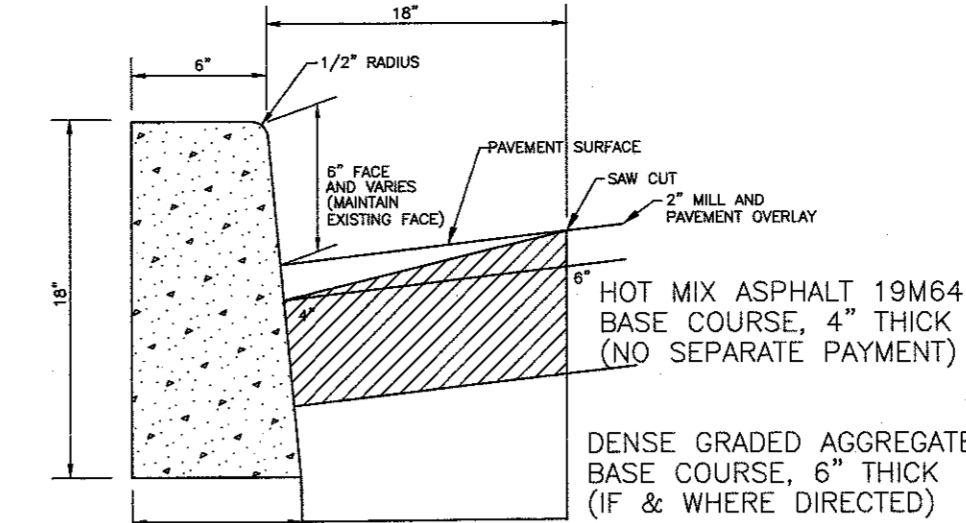
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NOT TO SCALE



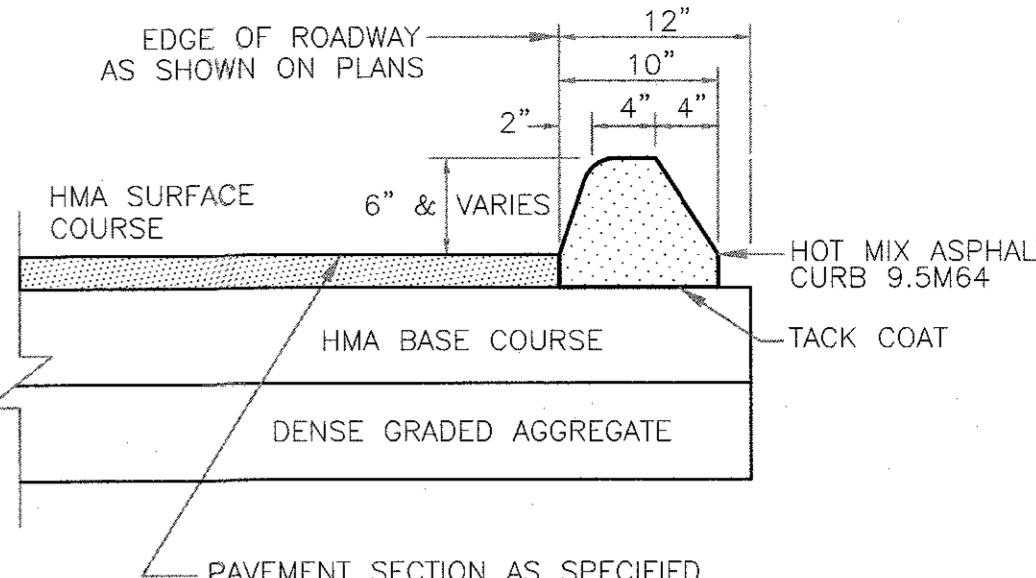
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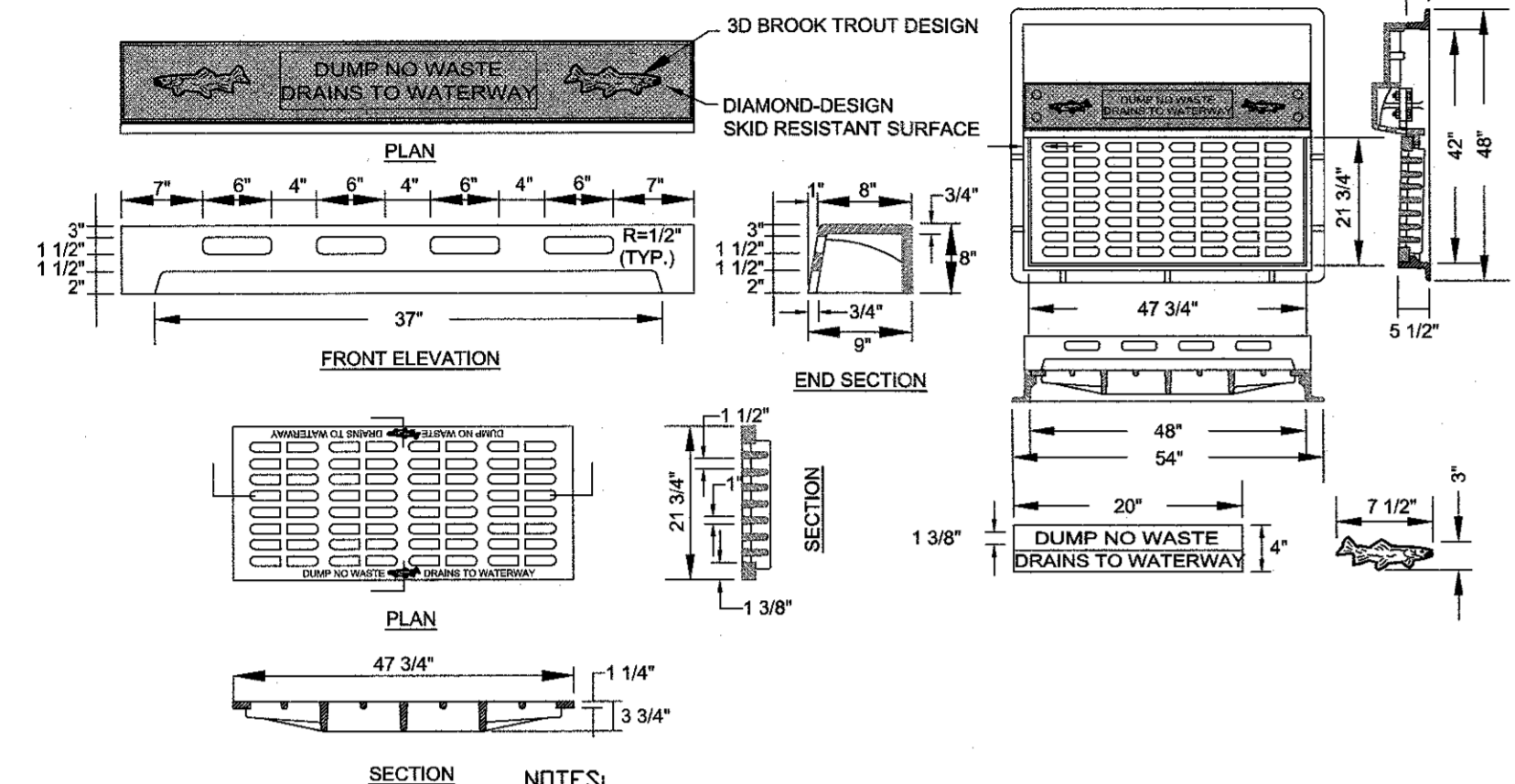
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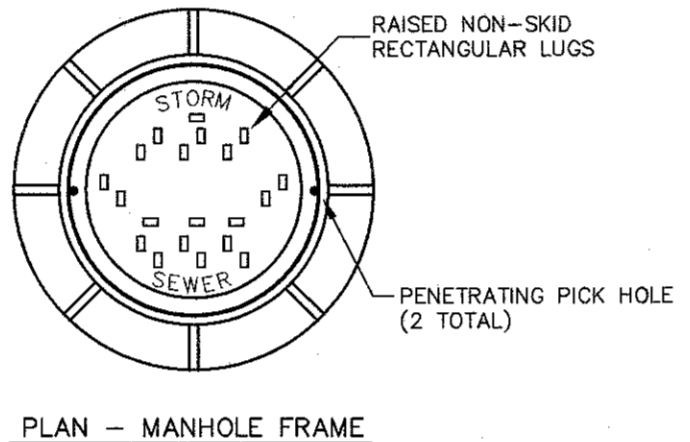
6"x8"x18" CONCRETE CURB
NOT TO SCALE



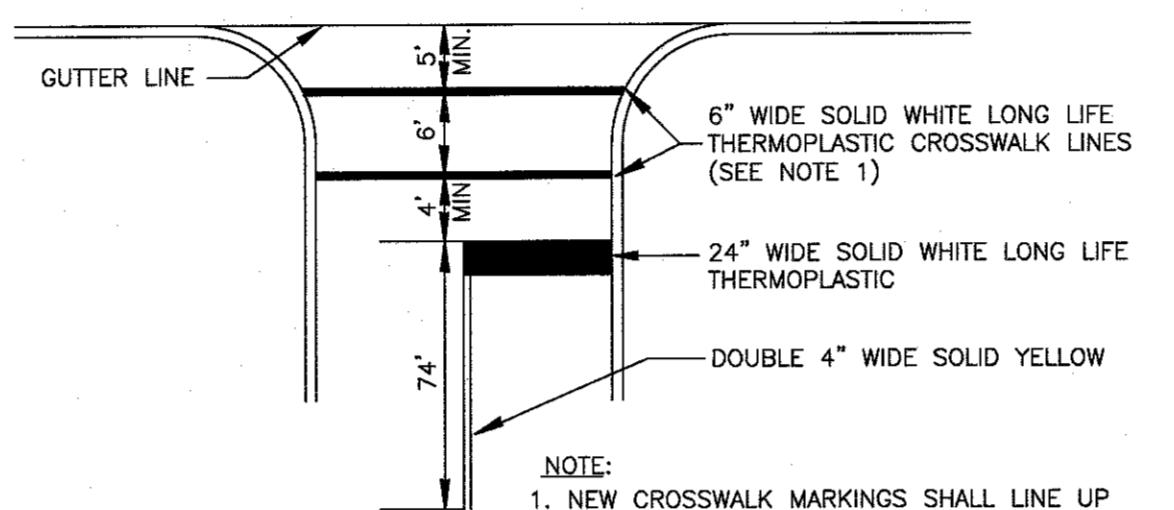
HOT MIX ASPHALT CURB
NOT TO SCALE



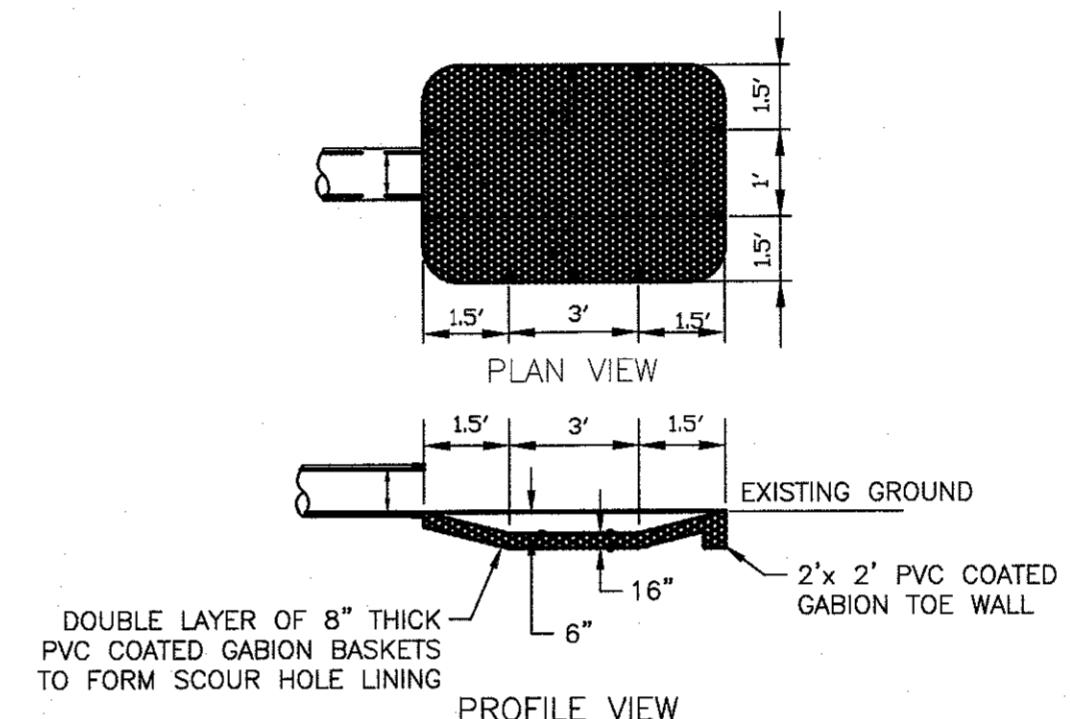
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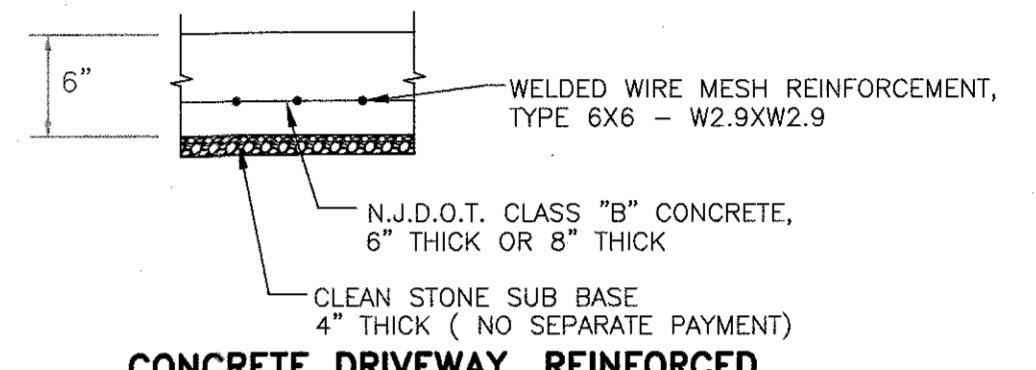
PLAN - MANHOLE FRAME



CROSSWALK AND STOP LINE STRIPING DETAIL
NOT TO SCALE

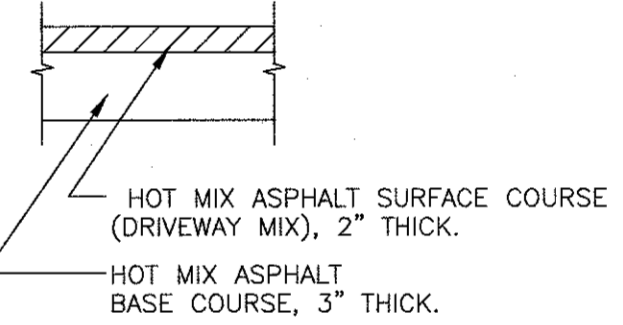


SCOUR HOLE AT HEADWALL
N.T.S.



CONCRETE DRIVEWAY, REINFORCED

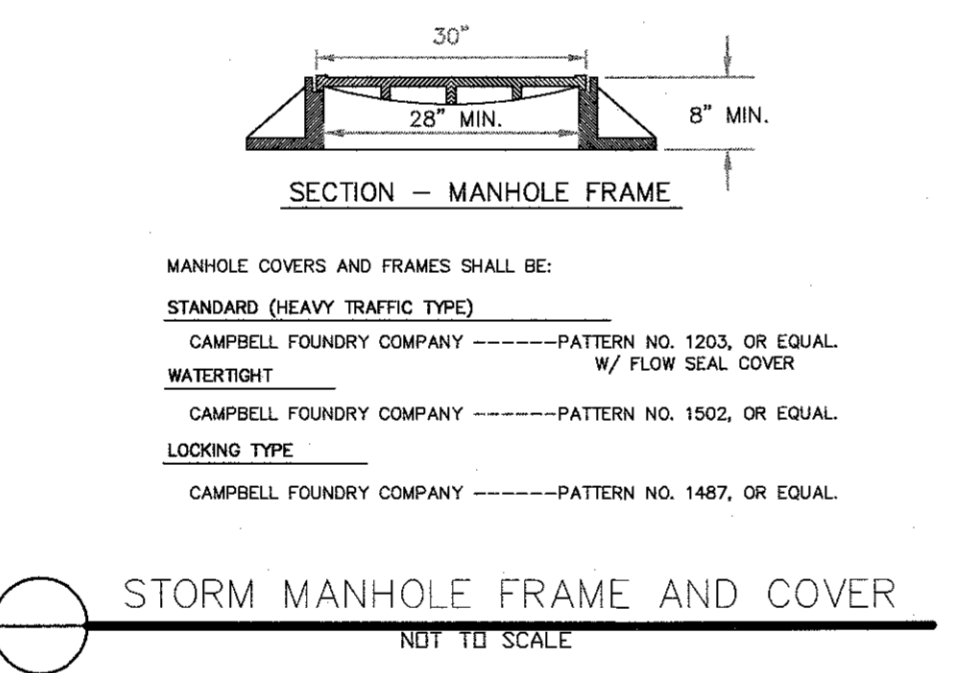
DECORATIVE STONE DRIVEWAY



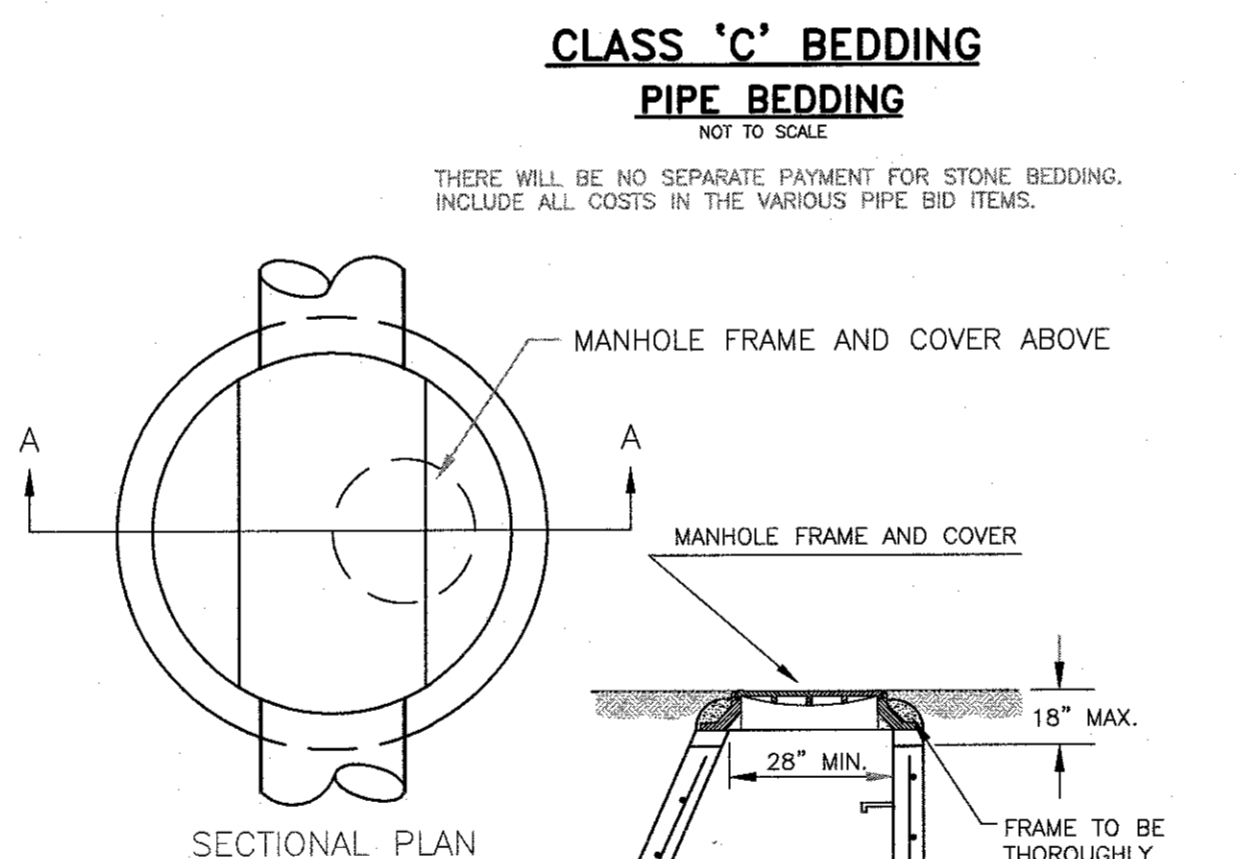
HOT MIX ASPHALT DRIVEWAY

DRIVEWAYS
NOT TO SCALE

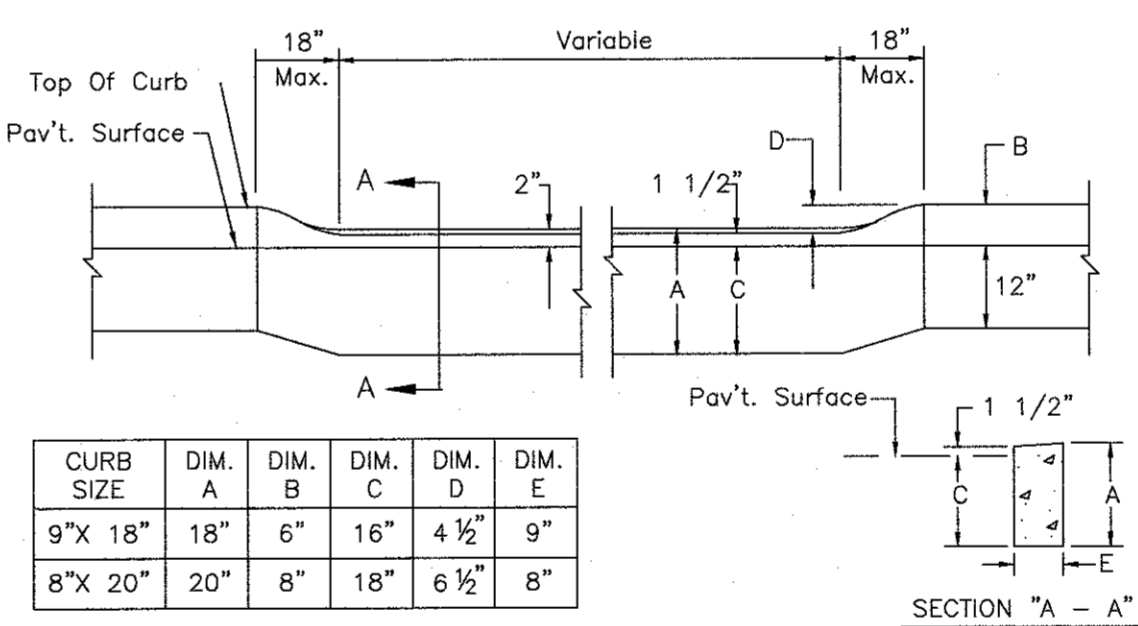
- GENERAL NOTES**
- MANHOLE FRAME AND COVER CASTINGS SHALL CONFORM TO THE LATEST ASTM A-48 CLASS 30 SPECIFICATION AND BE SUITABLE FOR HJ-20 LOADING CAPACITY.
 - FRAME AND COVERS SHALL BE COATED WITH TWO COATS OF ASPHALTUM VARNISH.
 - THE MANHOLE FRAME SHALL HAVE A MINIMUM OVERALL HEIGHT OF 8"
 - THE MANHOLE COVER THICKNESS SHALL BE A MINIMUM OF 2"



STORM MANHOLE FRAME AND COVER
NOT TO SCALE



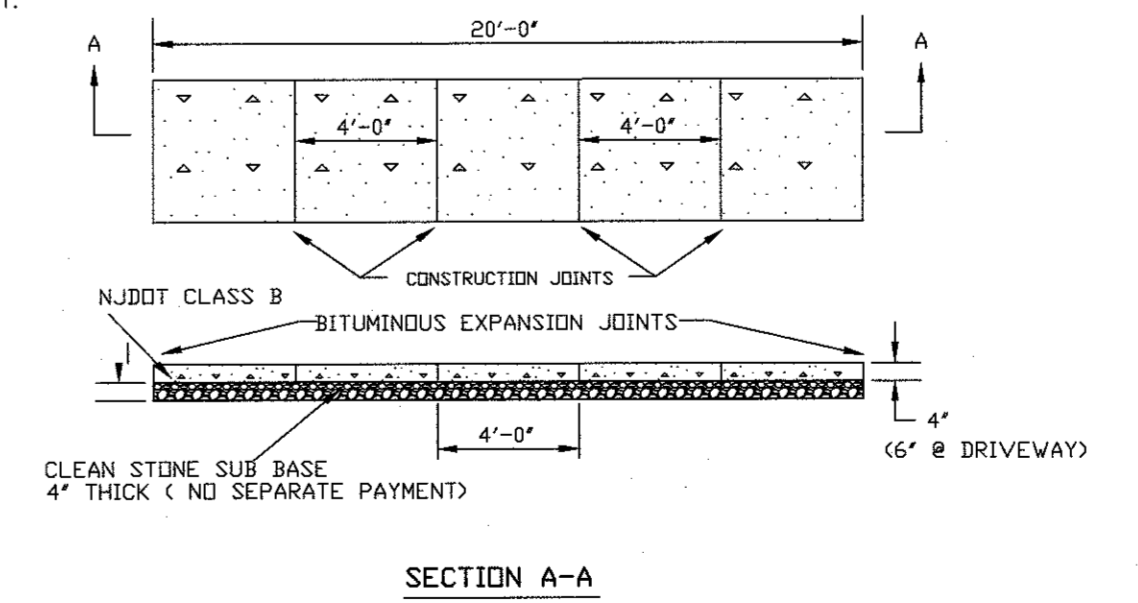
PRECAST DRAINAGE MANHOLE
NOT TO SCALE



METHOD OF DEPRESSING CURB AT DRIVEWAYS
NOT TO SCALE

CURB SIZE	DIM. A	DIM. B	DIM. C	DIM. D	DIM. E
9"X 18"	18"	6"	16"	4 1/2"	9"
8"X 20"	20"	8"	18"	6 1/2"	8"

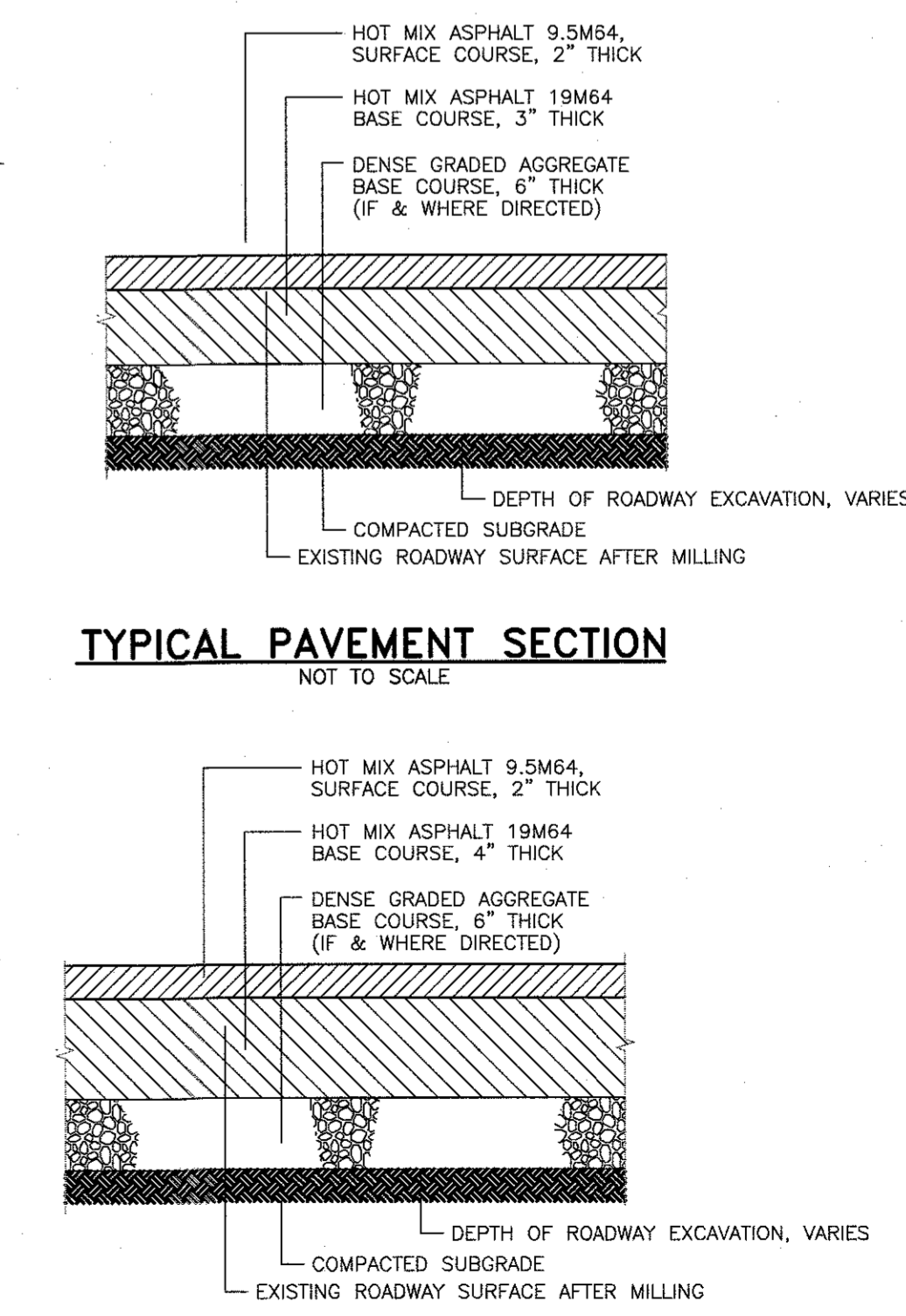
SECTION "A-A"



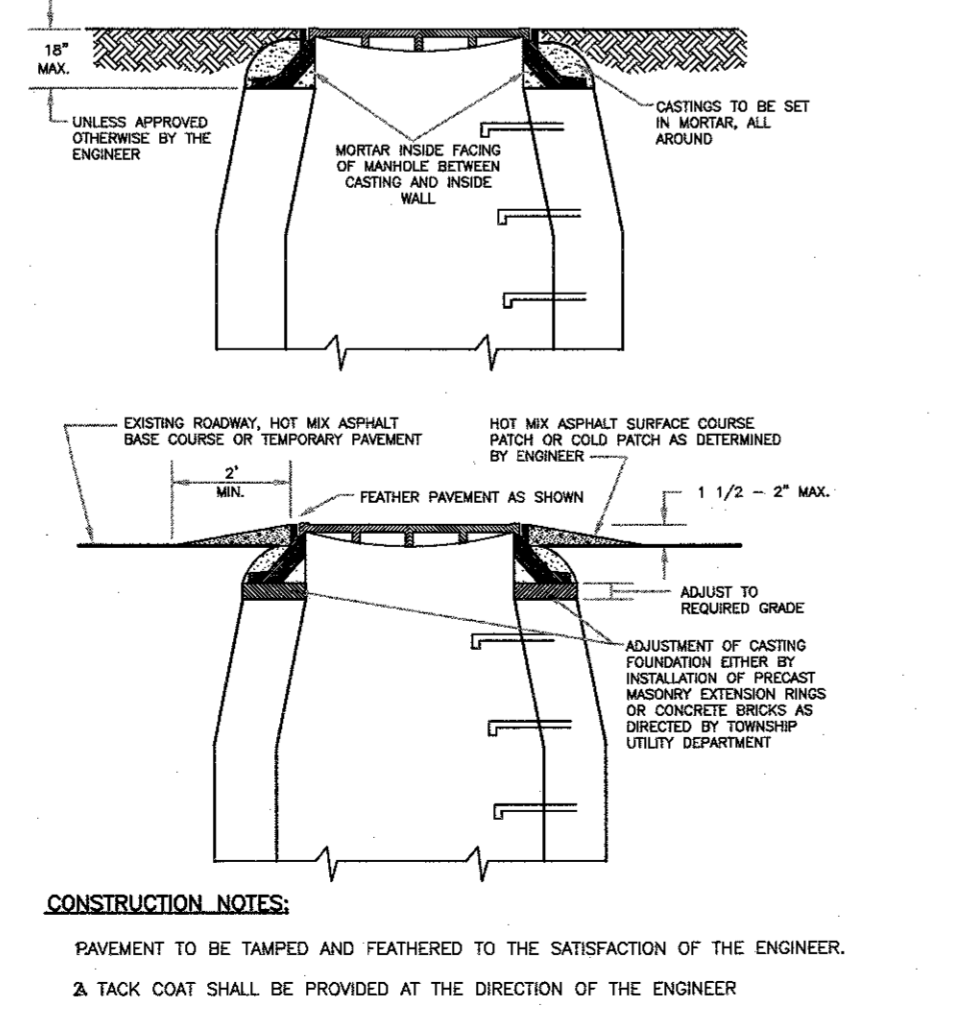
TYPICAL PAVEMENT SECTION
NOT TO SCALE

- CONSTRUCTION NOTES:**
- A PREFORMED, BITUMINOUS EXPANSION JOINT 1/2" THICK, 4" WIDE, AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY TWENTY (20) FEET.
 - CONSTRUCTION JOINTS SHALL BE INSTALLED EVERY FOUR (4) FEET THE FULL WALK WIDTH.
 - THERE SHALL BE A FLAT FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL.
 - SUB BASE SHALL BE 4" THICK CLEAN STONE. NO SEPARATE PAYMENT TO BE PROVIDED.

CONCRETE SIDEWALK
NOT TO SCALE



PAVEMENT SECTION- MILLER ST
NOT TO SCALE



RESET EXISTING CASTING (SETTING/RESETTING MANHOLE CASTING TO GRADE)
NOT TO SCALE

- CONSTRUCTION NOTES:**
- PAVEMENT TO BE TAMPED AND FEATHERED TO THE SATISFACTION OF THE ENGINEER.
 - TACK COAT SHALL BE PROVIDED AT THE DIRECTION OF THE ENGINEER.

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2017 CAPITAL ROAD IMPROVEMENTS
HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY

CONSTRUCTION DETAILS

ROBERT R. KEADY, P.E., C.M.E.
HIGHLANDS BOROUGH ENGINEER

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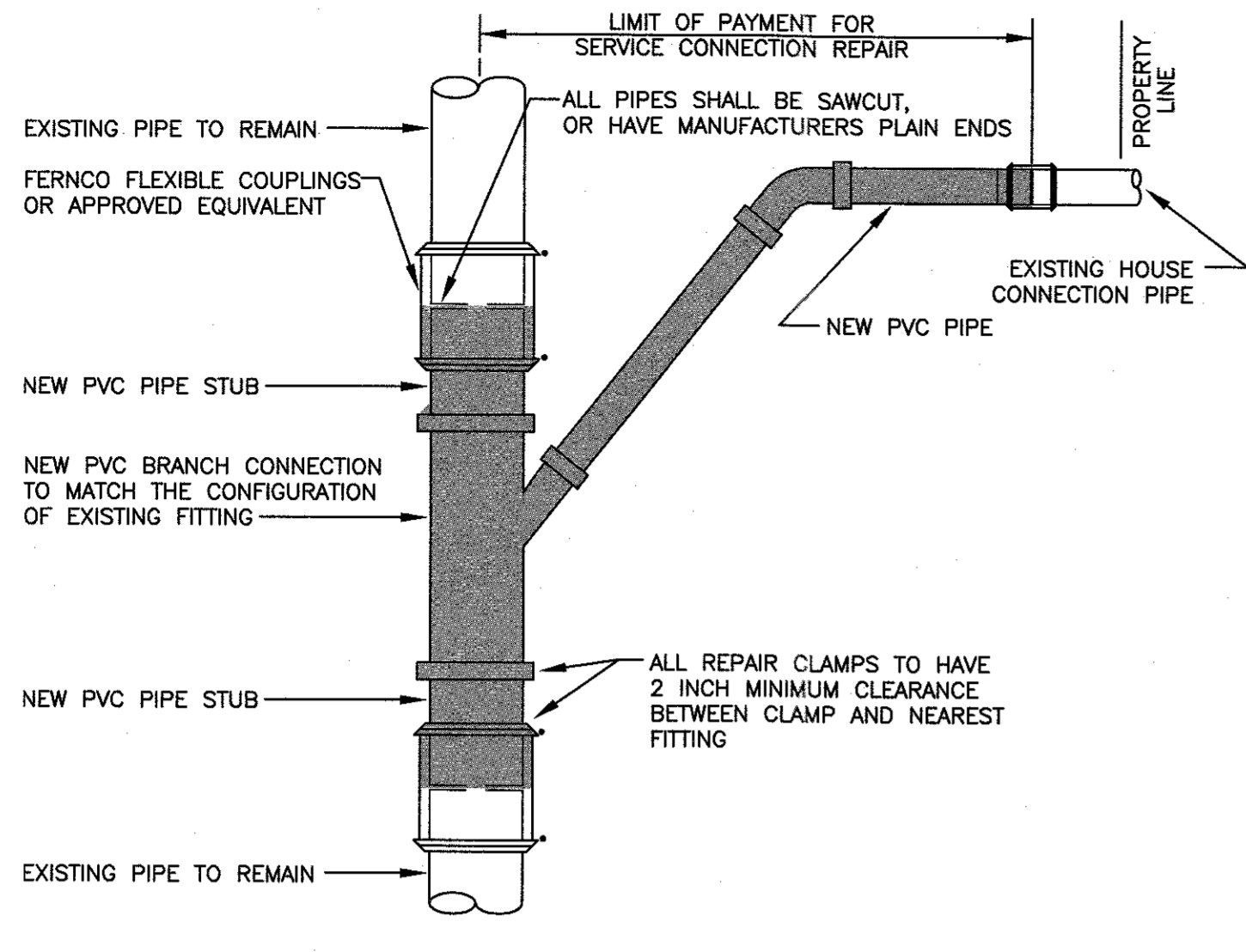
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PROJ. NO.: HGHL-10763

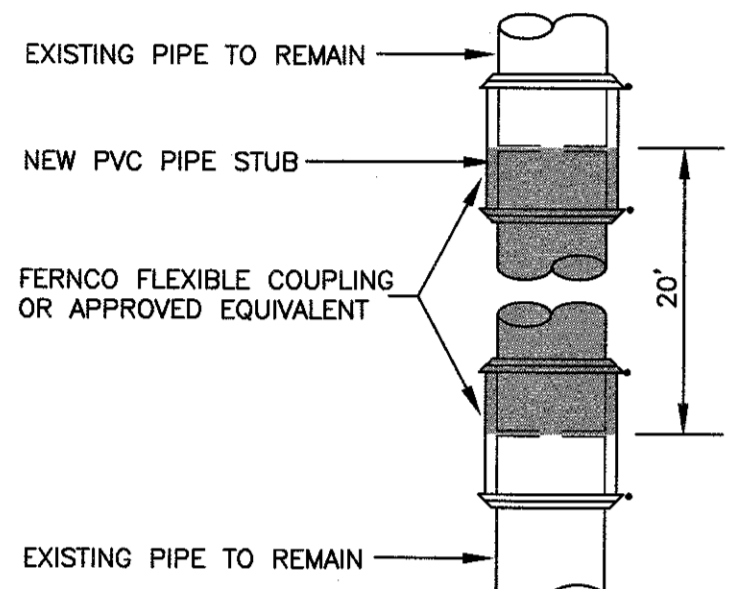
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SHEET: 16
OF: 24

08/16/2017

NO. DATE BY: CHD



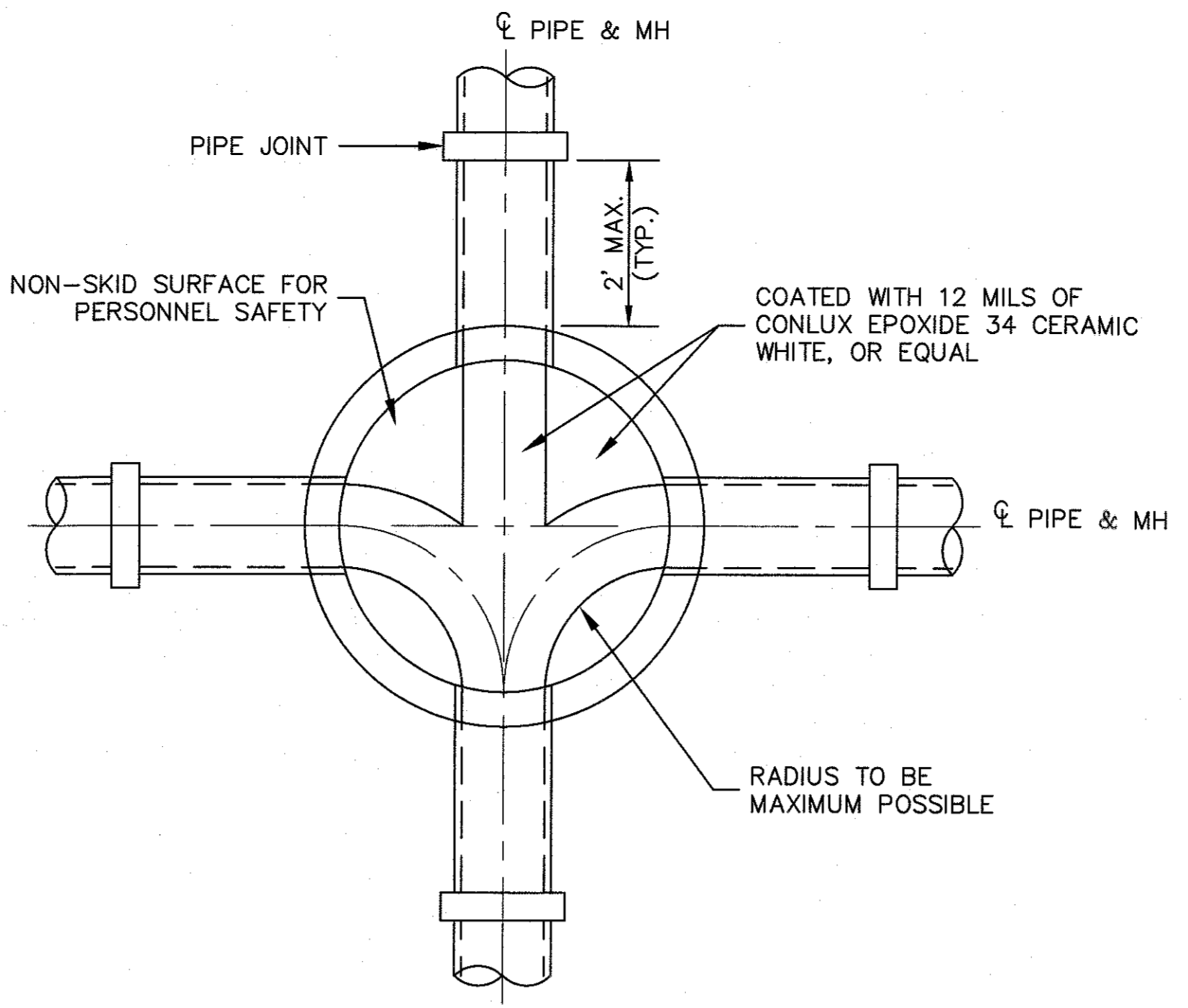
SERVICE CONNECTION REPAIR



SEWER MAIN REPAIR

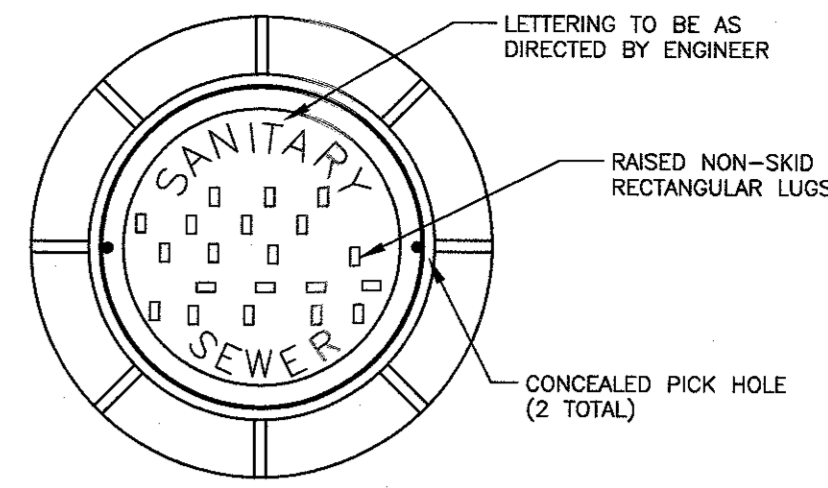
CONSTRUCTION NOTES:

1. REPAIR CLAMPS SHALL BE OF THE PROPER SERIES TO MATCH THE OUTSIDE DIAMETERS OF THE PIPES BEING JOINED.
2. ALL REPLACEMENT PIPES AND FITTINGS SHALL BE OF THE SAME NOMINAL DIAMETERS AS THE EXISTING PIPE AND/OR FITTING.
3. ANY ADDITIONAL ADAPTERS OR FITTINGS REQUIRED TO CONNECT NEW PIPE TO EXISTING MANHOLES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION "SANITARY SEWERS".



TYPICAL CHANNELING OF MANHOLE BOTTOM

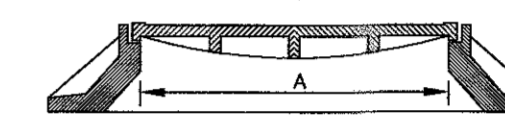
NOT TO SCALE



PLAN - MANHOLE FRAME

CONSTRUCTION NOTES:

1. MANHOLE FRAME AND COVER CASTINGS SHALL CONFORM TO THE LATEST ASTM A-48 CLASS 30 SPECIFICATION.
2. FRAME AND COVERS SHALL BE COATED WITH TWO COATS OF ASPHALTUM VARNISH.



SECTION - MANHOLE FRAME

MANHOLE COVERS AND FRAMES SHALL BE:

STANDARD (HEAVY TRAFFIC TYPE)
CAMPBELL FOUNDRY COMPANY - WATERTIGHT PATTERN NO. 1203

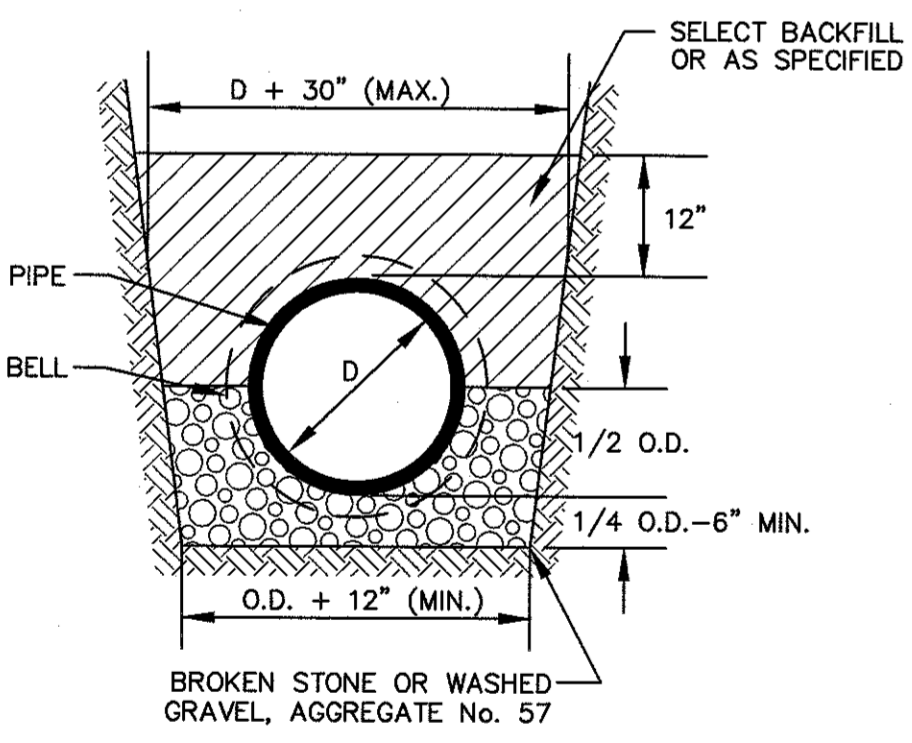
DIMENSIONS:
NO. 1203
A=24"

WATERTIGHT MANHOLE FRAME AND COVER

NOT TO SCALE

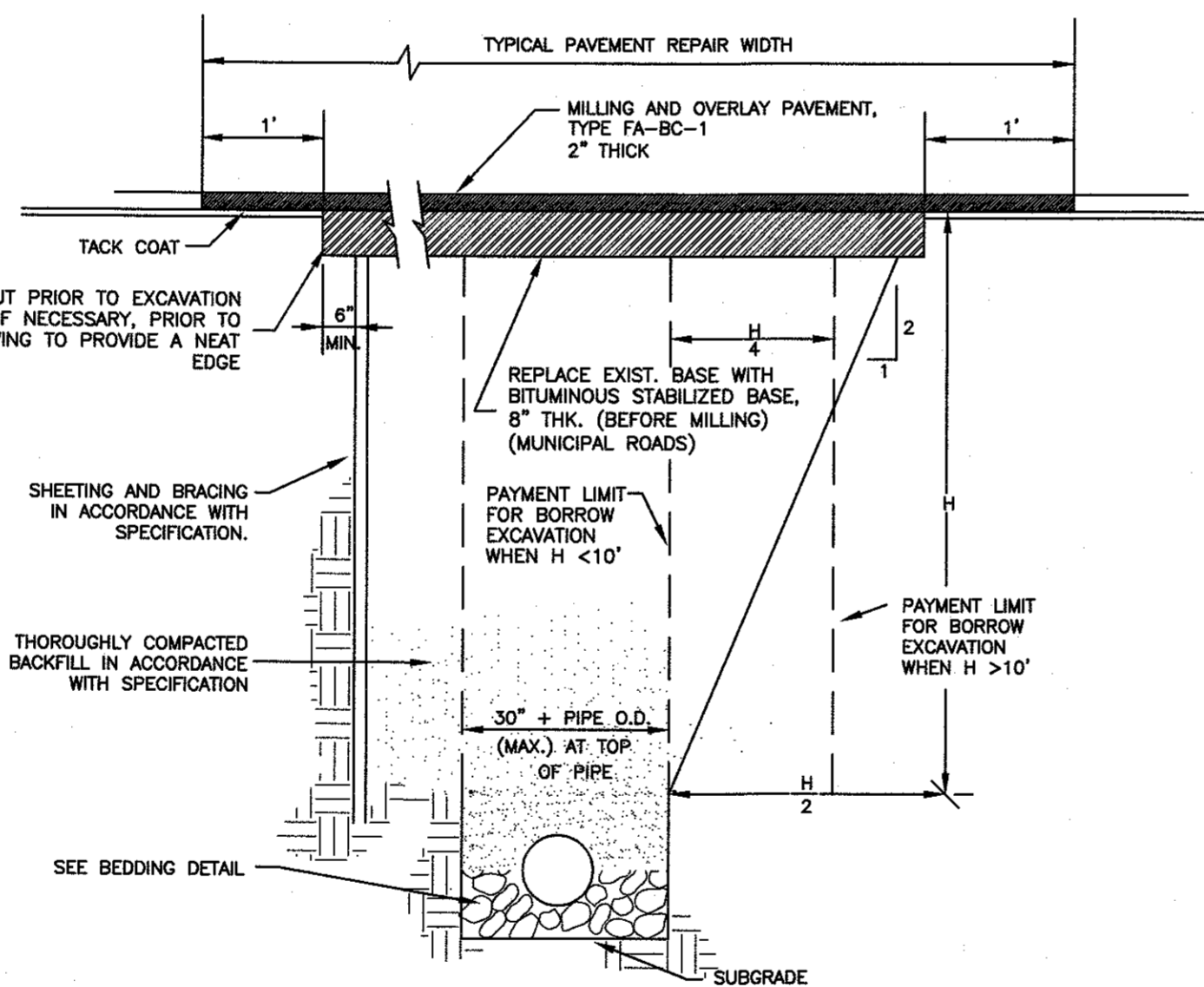
TYPICAL SEWER AND SERVICE CONNECTION REPAIR

NOT TO SCALE



CLASS 'B' BEDDING

NOT TO SCALE

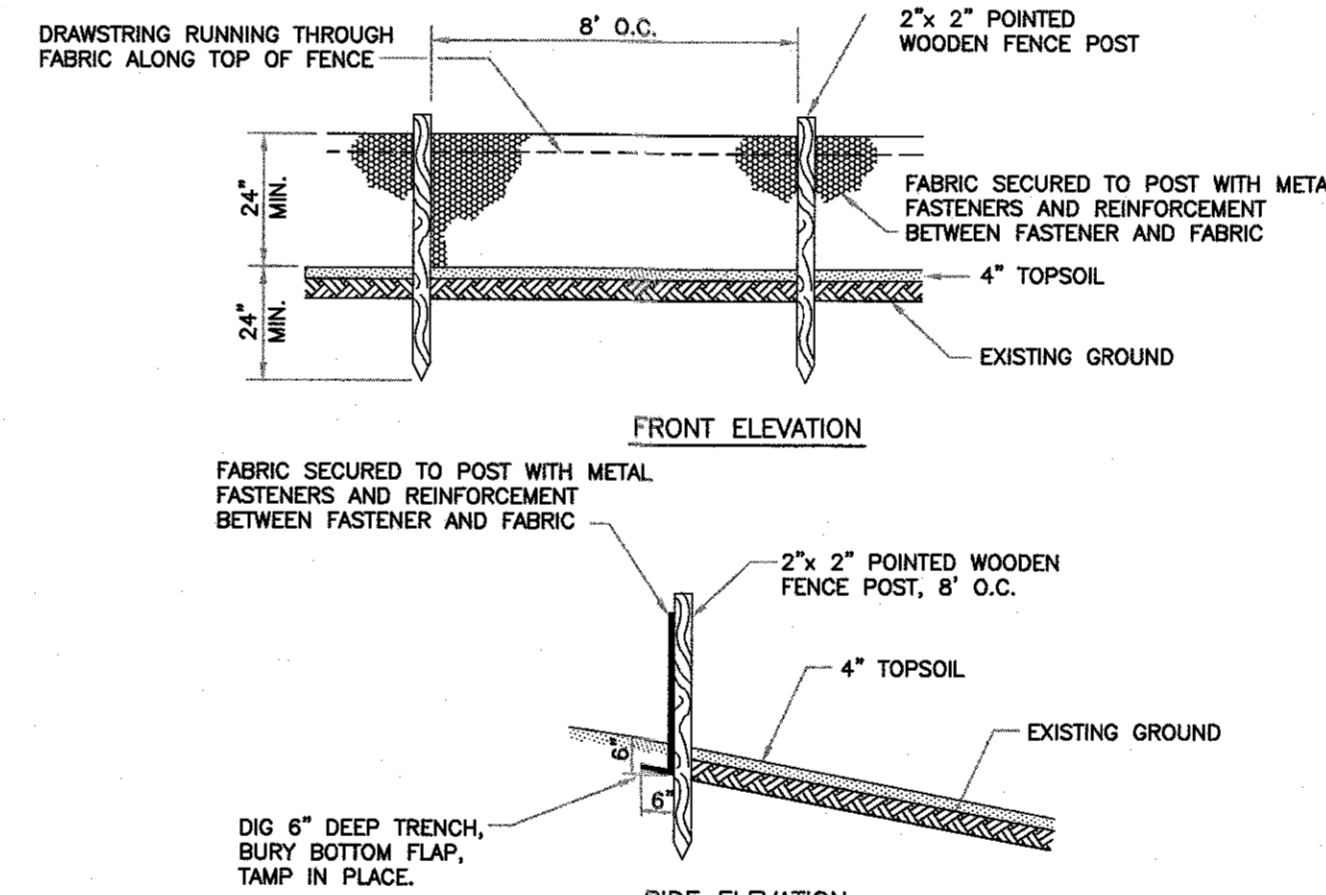


CONSTRUCTION NOTES:

1. MAXIMUM PAYMENT WIDTH FOR BORROW EXCAVATION SHALL BE 30" + PIPE O.D. WHEN PLACED IN A TRENCH WITH DEPTH OF 10' OR LESS TO THE TOP OF THE PIPE. FOR TRENCHES OF GREATER DEPTH, THE MAXIMUM PAYMENT WIDTH FOR BORROW EXCAVATION SHALL BE 30" + PIPE O.D. + H/2.
2. AT MANHOLES BITUMINOUS STABILIZED BASE IS TO BE PLACED 6" BEYOND THE TRENCH LIMIT OR 6" BEYOND DAMAGED PAVEMENT BASE COURSE WHICHEVER IS GREATER.
3. SERVICE CONNECTION TRENCHES ARE TO BE REPAIRED AS ABOVE EXCEPT MAXIMUM OVERLAY PAY WIDTH SHALL BE 6'.
4. ANY SUPERFICIAL SURFACE DAMAGE CAUSED BY THE CONTRACTOR OUTSIDE THE LIMIT SHOWN, SHALL BE PAVED WITH SURFACE COURSE. WHEN THE BASE COURSE OF THE EXISTING PAVEMENT IS DAMAGED BEYOND THE LIMIT SHOWN THE CONTRACTOR SHALL EXCAVATE 6" BEYOND THE DAMAGED AREA AND REPLACE IT WITH BITUMINOUS STABILIZED BASE COURSE. NO ADDITIONAL PAYMENT WILL BE MADE FOR THIS EXTRA PAVEMENT.

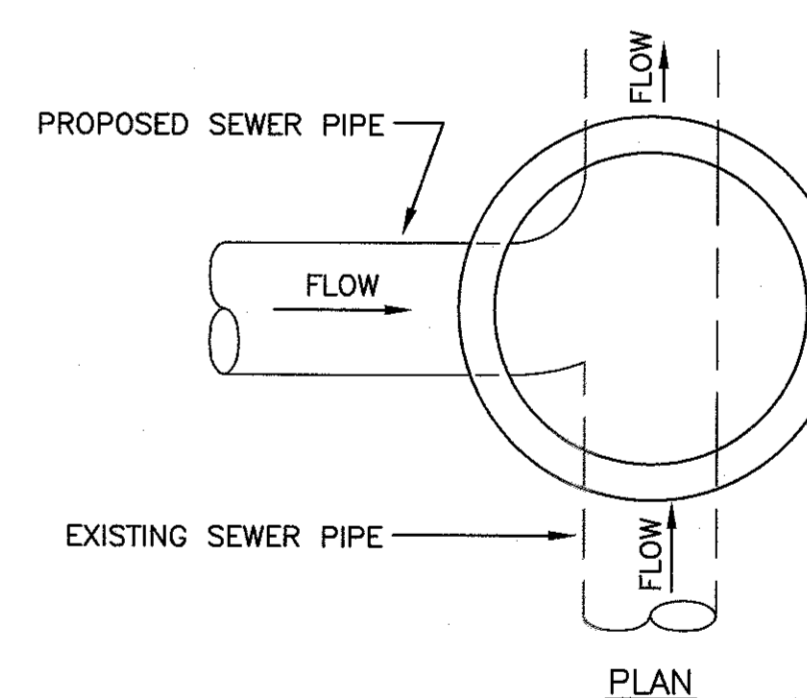
TYPICAL TRENCH & PAVEMENT REPAIR DETAIL

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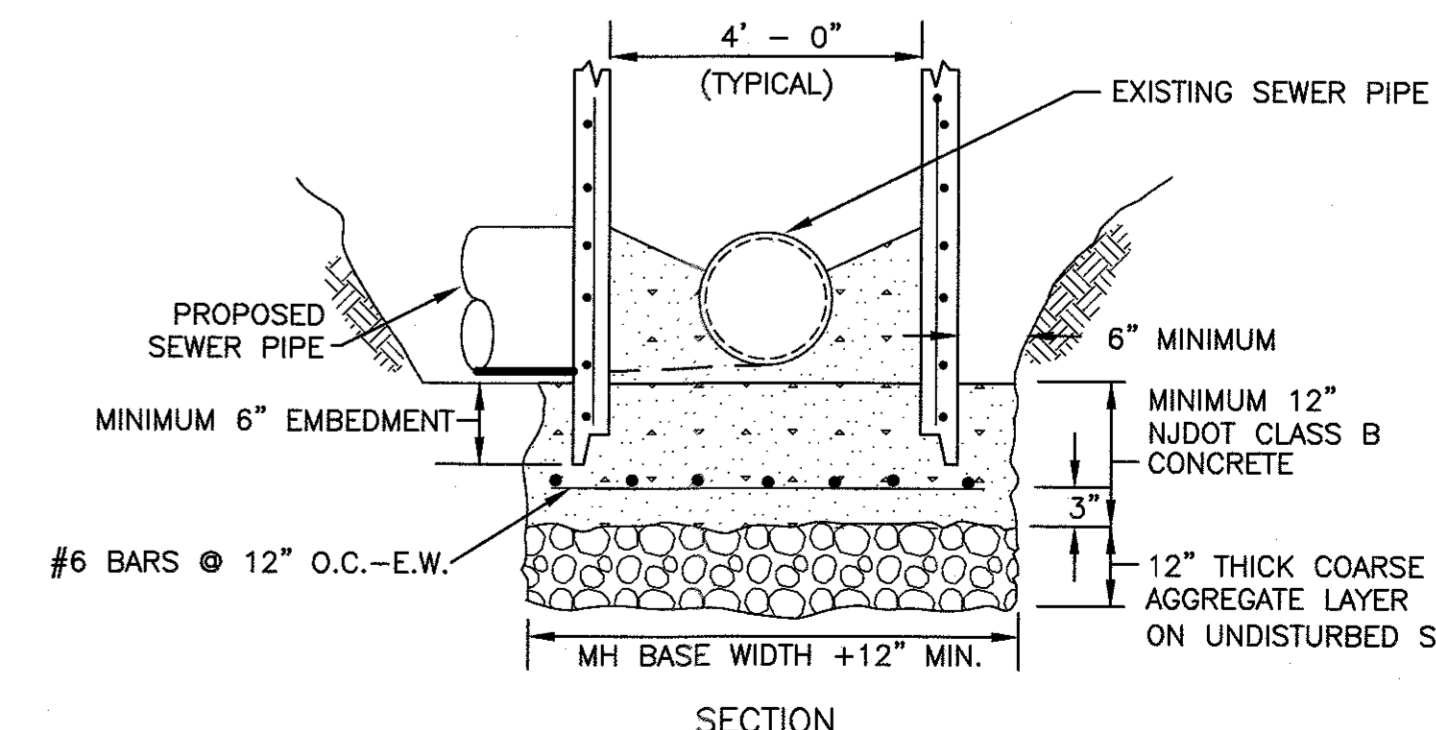


SILT FENCE

NOT TO SCALE



PLAN



SECTION

CONSTRUCTION NOTES:

1. PRECAST MANHOLE SECTION TO BE IN ACCORDANCE WITH ASTM DESIGNATION C-478.

DOGHOUSE MANHOLE

N.T.S.

PROJECT INFORMATION: CA\Projects\HIGH\10763\Drawn... LAST SAVER DATE AND TIME: 15 Aug 2017, 3:22PM LAST SAVER BY: Avonbigh

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HIGHLANDS BOROUGH ENGINEER

LICENSED PROFESSIONAL ENGINEER
STATE OF NJ LICENSE NO. 24GED0195100

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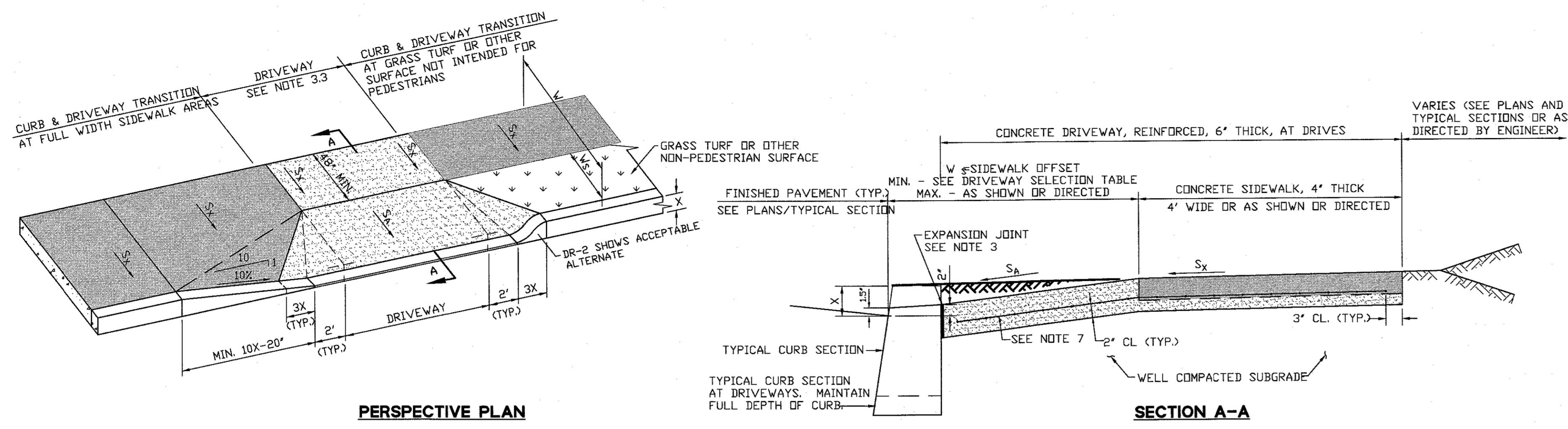
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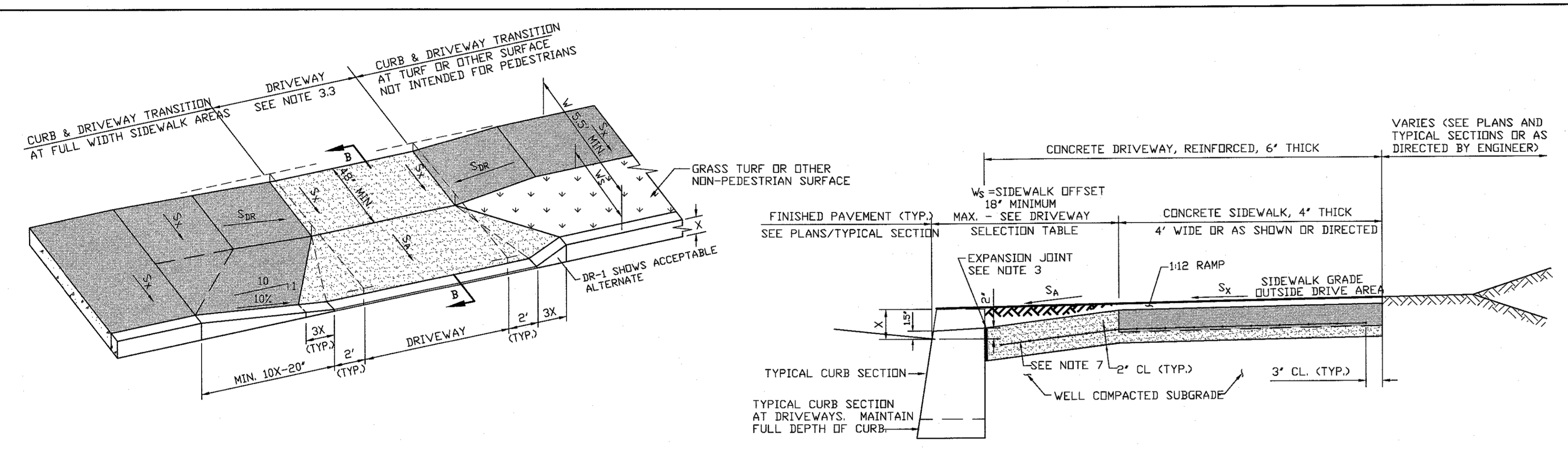
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DATE	7-10-2017	PROJ. NO.	HGH-10763
SCALE	AS SHOWN		OF 2



PERSPECTIVE PLAN

**DETAIL DR-1
CONCRETE DRIVEWAY TYPE 1 - LARGE SIDEWALK OFFSET**

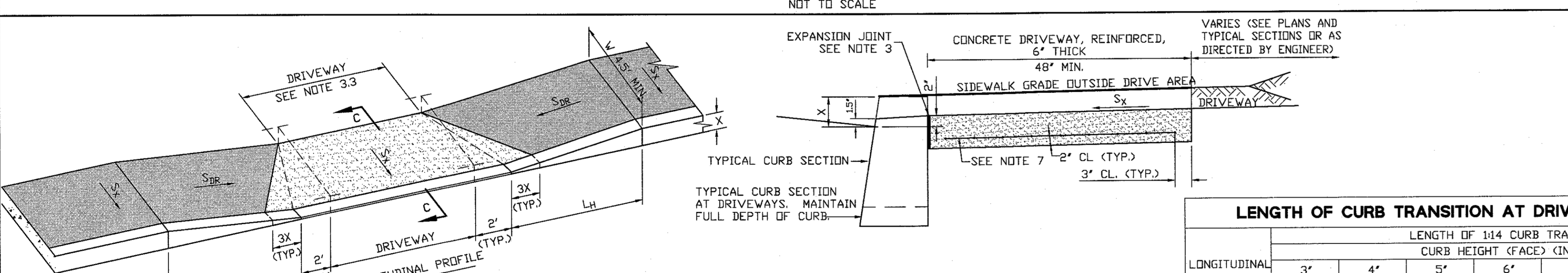
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PERSPECTIVE PLAN

**DETAIL DR-2
CONCRETE DRIVEWAY TYPE 2 - INTERMEDIATE SIDEWALK OFFSET**

NOT TO SCALE



PERSPECTIVE PLAN

**DETAIL DR-3
CONCRETE DRIVEWAY TYPE 3 - MINIMUM SIDEWALK OFFSET**

NOT TO SCALE

LENGTH OF CURB TRANSITION AT DRIVEWAY TABLE (FOR DR-3)

LONGITUDINAL PROFILE (Sp %)	LENGTH OF 14\"/>																			
	3'		4'		5'		6'		7'		8'		9'		10'					
	HIGH SIDE (L _H)	LOW SIDE (L _L)	HIGH SIDE (L _H)	LOW SIDE (L _L)	HIGH SIDE (L _H)	LOW SIDE (L _L)	HIGH SIDE (L _H)	LOW SIDE (L _L)	HIGH SIDE (L _H)	LOW SIDE (L _L)	HIGH SIDE (L _H)	LOW SIDE (L _L)	HIGH SIDE (L _H)	LOW SIDE (L _L)	HIGH SIDE (L _H)	LOW SIDE (L _L)				

NOTES:
1. INTERPOLATE BETWEEN SLOPES SHOWN AS REQUIRED.
2. NO ADJUSTMENT FOR PROFILE SLOPES LESS THAN 0.2%.
3. CONSULT ENGINEER FOR PROFILE SLOPES GREATER THAN 5.5%.

GENERAL NOTES:

- CONCRETE FOR CURBS, DRIVEWAYS AND SIDEWALKS SHALL BE NJDOT CLASS B. DRIVEWAY CONCRETE SHALL ATTAIN A STRENGTH OF NOT LESS THAN 3000 PSI WITHIN 3 DAYS OF PLACEMENT.
- CURB, DRIVEWAYS AND SIDEWALKS SHALL BE CAST IN SEPARATE OPERATIONS UNLESS OTHERWISE PERMITTED BY THE ENGINEER.
- EXPANSION JOINTS WITH PREFORMED EXPANSION JOINT FILLER CONFORMING TO AASHTO M33, PREFORMED EXPANSION JOINT FILLER FOR CONCRETE (BITUMINOUS TYPE), SHALL BE PROVIDED AS FOLLOWS:
 - 1/2" THICK AT LONGITUDINAL INTERVALS OF APPROXIMATELY TWENTY FEET (20');
 - 1/4" THICK BETWEEN CURB AND SIDEWALK OR DRIVEWAYS, AROUND ALL STRUCTURES OR APPURTENANCES, SUCH AS MANHOLES, JUNCTION BOXES AND UTILITY POLES, AND ADJACENT TO ANY FIXED STRUCTURE;
 - AT LONGITUDINAL CENTERLINE OF ANY DRIVE WHICH EXCEEDS TWELVE FEET (12') IN WIDTH OR AS DIRECTED BY ENGINEER.
- EXPANSION JOINT MATERIAL SHALL BE TRIMMED AS TO BE SLIGHTLY BELOW THE SURFACE OF THE CONCRETE.
- TOOLED JOINTS SHALL BE PROVIDED WITH A GROOVING TOOL SO AS TO DIVIDE THE CONCRETE SURFACE INTO BLOCKS AS CLOSELY APPROACHING A SQUARE AS PRACTICABLE. GROOVES SHALL BE CUT TO A DEPTH OF AT LEAST 1/2 INCH AND SHALL BE FINISHED WITH AN EDGING TOOL HAVING A RADIUS OF 1/4 INCH.
- UNLESS OTHERWISE DIRECTED BY THE ENGINEER, EXPANSION AND TOOLED JOINTS IN CONCRETE SURFACES SHALL BE ALIGNED WITH JOINTS IN CURBS.
- WELDED WIRE FABRIC IN DRIVEWAYS SHALL BE 6X6-6X6 (OLD DESIGNATION), 6X6-W2.9XW2.9 (NEW DESIGNATION) IN ACCORDANCE WITH ASTM A-185.

DRIVEWAY DESIGN SLOPE AND TOLERANCES TABLE

SYMBOL	DESCRIPTION	SLOPES (NOTE 1)		
		DESIGN (NOMINAL)	MINIMUM	MAXIMUM
S _x	CROSS SLOPE OF PUBLIC SIDEWALK	1:60 1.67% 3/4" PER 4' 3/16" PER 1'	1:72 1.4% 5/8" PER 4' 3/16" PER 1'	1:50 2% 2%
S _{DR}	LONGITUDINAL (RUNNING) SLOPE OF DRIVEWAY TRANSITION RAMP	NORMAL RANGE MINIMUM 1:36 2.8% 1 1/4" PER 4' 5/16" PER 1' NORMAL RANGE MAXIMUM 1:14 7.1% 3/4" PER 4' APPROX 7/8" PER 1' (NOTE 2)	1:50 2%	1:12 8.3% (NOTE 2)
S _A	LONGITUDINAL (RUNNING) SLOPE OF DRIVEWAY APRON	1:10 10% 1 1/4" PER 1'	1:50 2%	1:8 12.5% 1 1/2" PER 1'

NOTES:

- UNLESS OTHERWISE DIRECTED BY THE ENGINEER, CONSTRUCTION WHICH DOES NOT CONFORM TO THE TOLERANCES SPECIFIED (i.e. WHICH EXCEEDS THE MAXIMUM OR IS LESS THAN THE MINIMUM) WILL BE REMOVED AND REPLACED WITHOUT COST TO THE OWNER.
- IF S_{DR} EXCEEDS 1:20 (5%), THE MAXIMUM VERTICAL RISE PERMITTED IS 6". WHEN THIS CANNOT BE ACHIEVED IN THE ALTERATION OF EXISTING FACILITIES, CONSULT THE ENGINEER.

DRIVEWAY SELECTION TABLE

CURB FACE (X) (INCHES)	W LESS THAN (INCHES)	W _s (FEET)												
		1.0	2.0	3.0	4.0	5.0	6.0	7.0	8.0	9.0	10.0			
3	5.5'	1'8"												
4		2'8"												
5			3'8"											
6				4'8"										
7					5'8"									
8						6'8"								
9							7'8"							
10								8'8"						

AT DESIGN (NOMINAL) APRON SLOPE (S_A)

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Item 3
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REVISIONS
DATE
NO.

08/16/2017
LICENSED PROFESSIONAL ENGINEER
STATE OF NJ LICENSE NO. 24604193.100

ROBERT R. KEADY, P.E., C.M.E.
 HIGHLANDS BOROUGH ENGINEER

BOROUGH OF HIGHLANDS
 2017 CAPITAL ROAD IMPROVEMENTS
 HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY
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DRAWN BY	AWD	SHEET	
DATE	7-10-2017	18	
SCALE	AS SHOWN		
PROJ. NO.	HGHL-10763	OF	24

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ROBERT R. KEADY, P.E., C.M.E.
 HIGHLANDS BOROUGH ENGINEER

08/16/2017
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENSE NO. 24624195.00

BOROUGH OF HIGHLANDS

2017 CAPITAL ROAD IMPROVEMENTS
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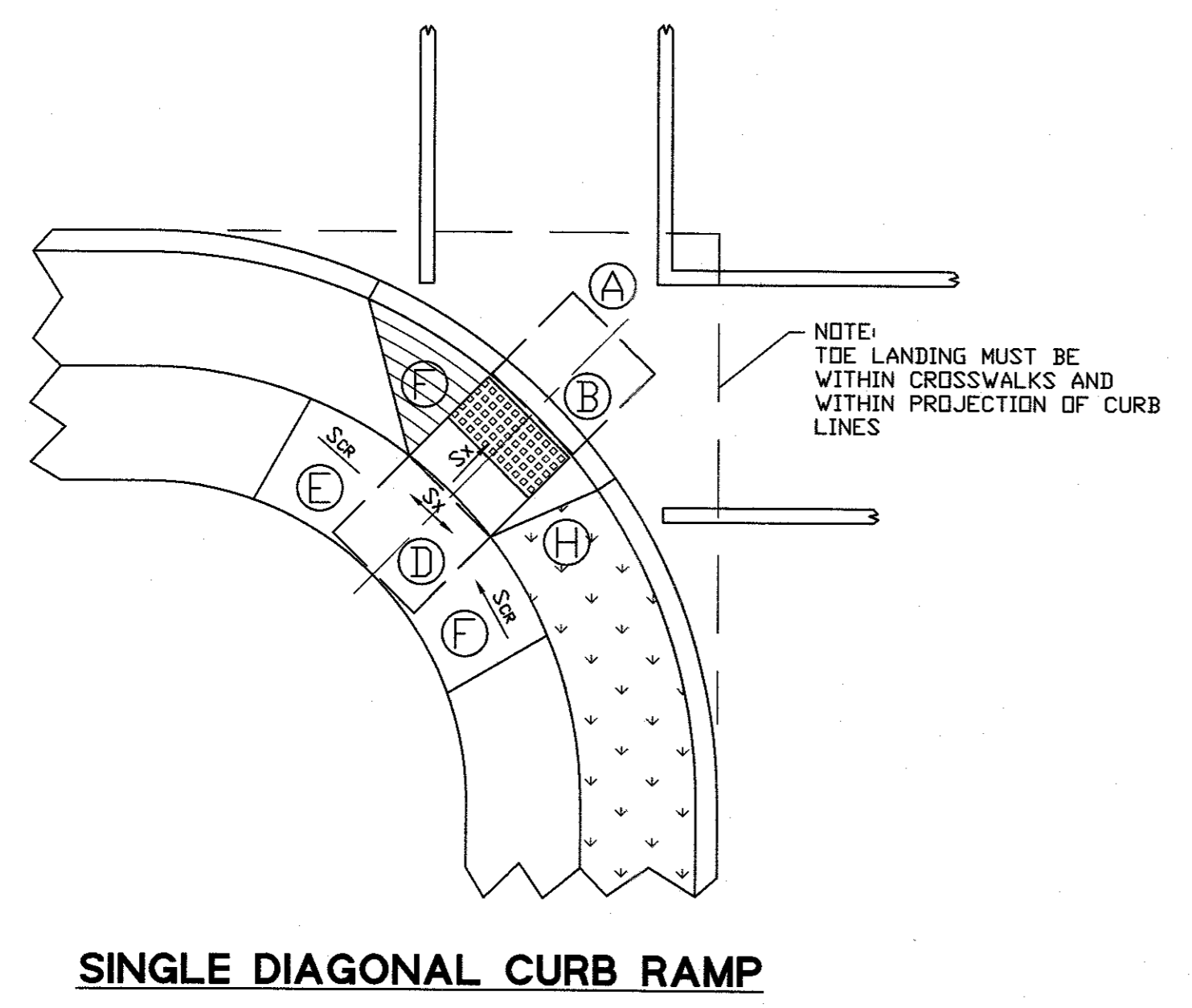
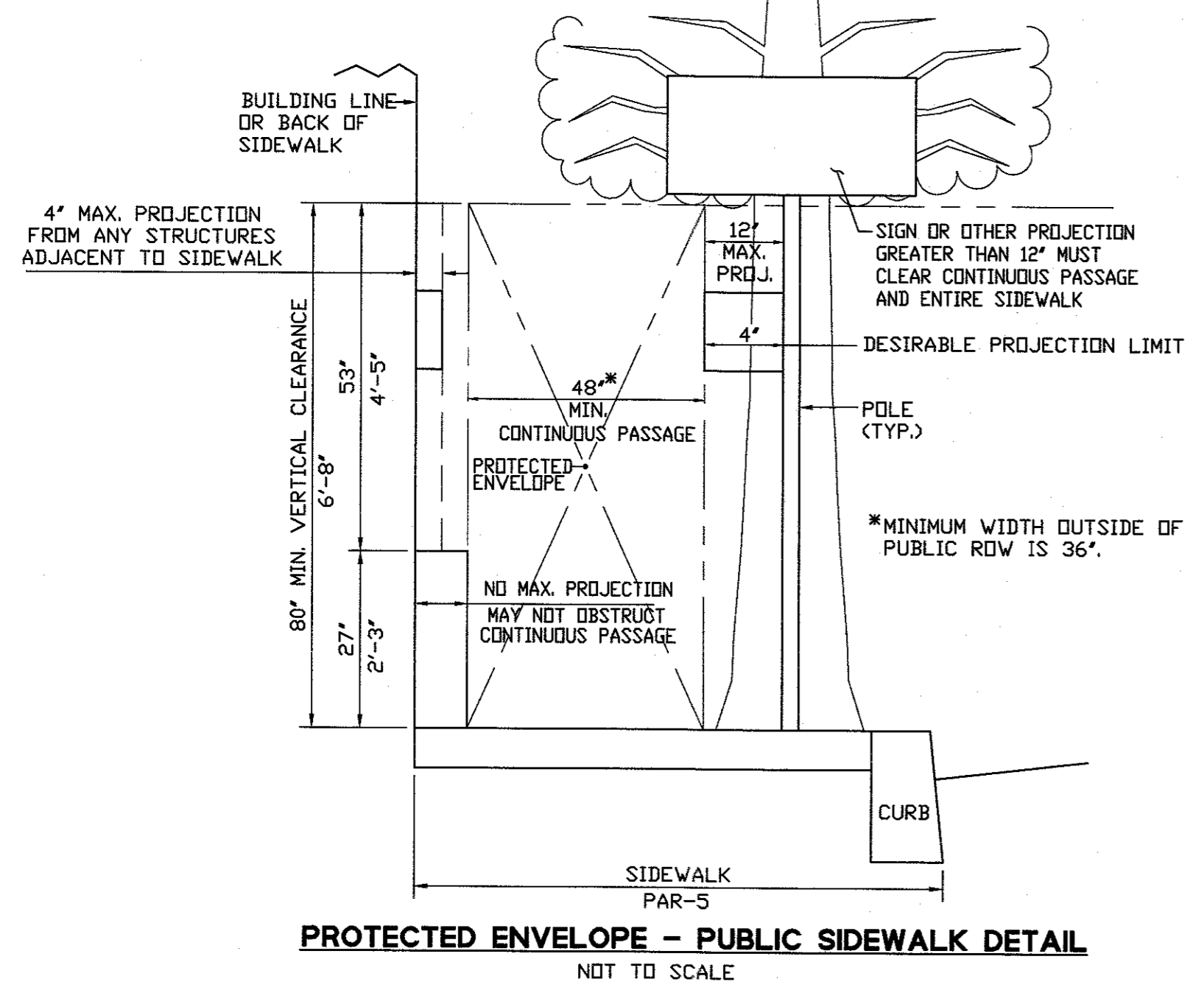
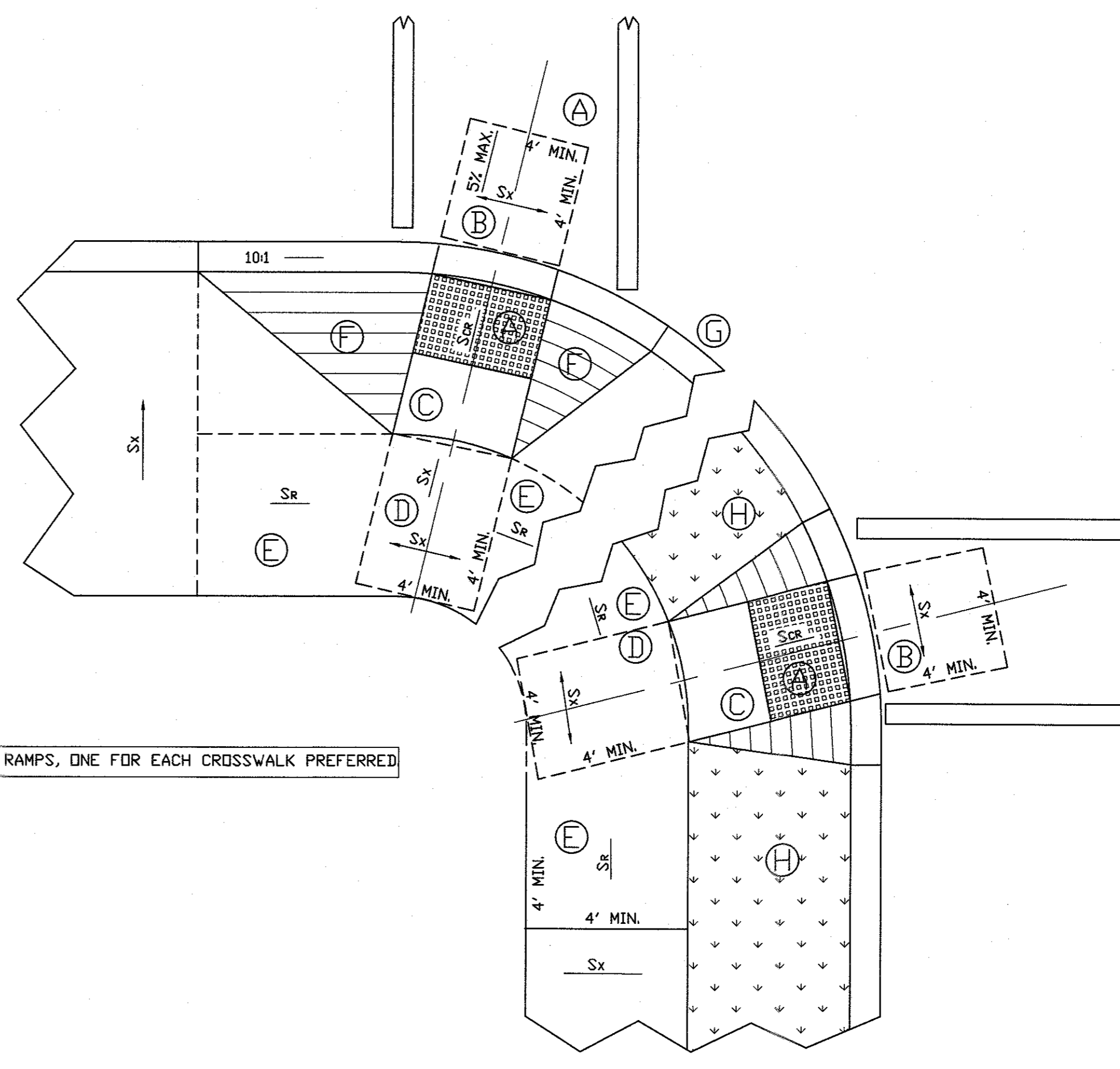
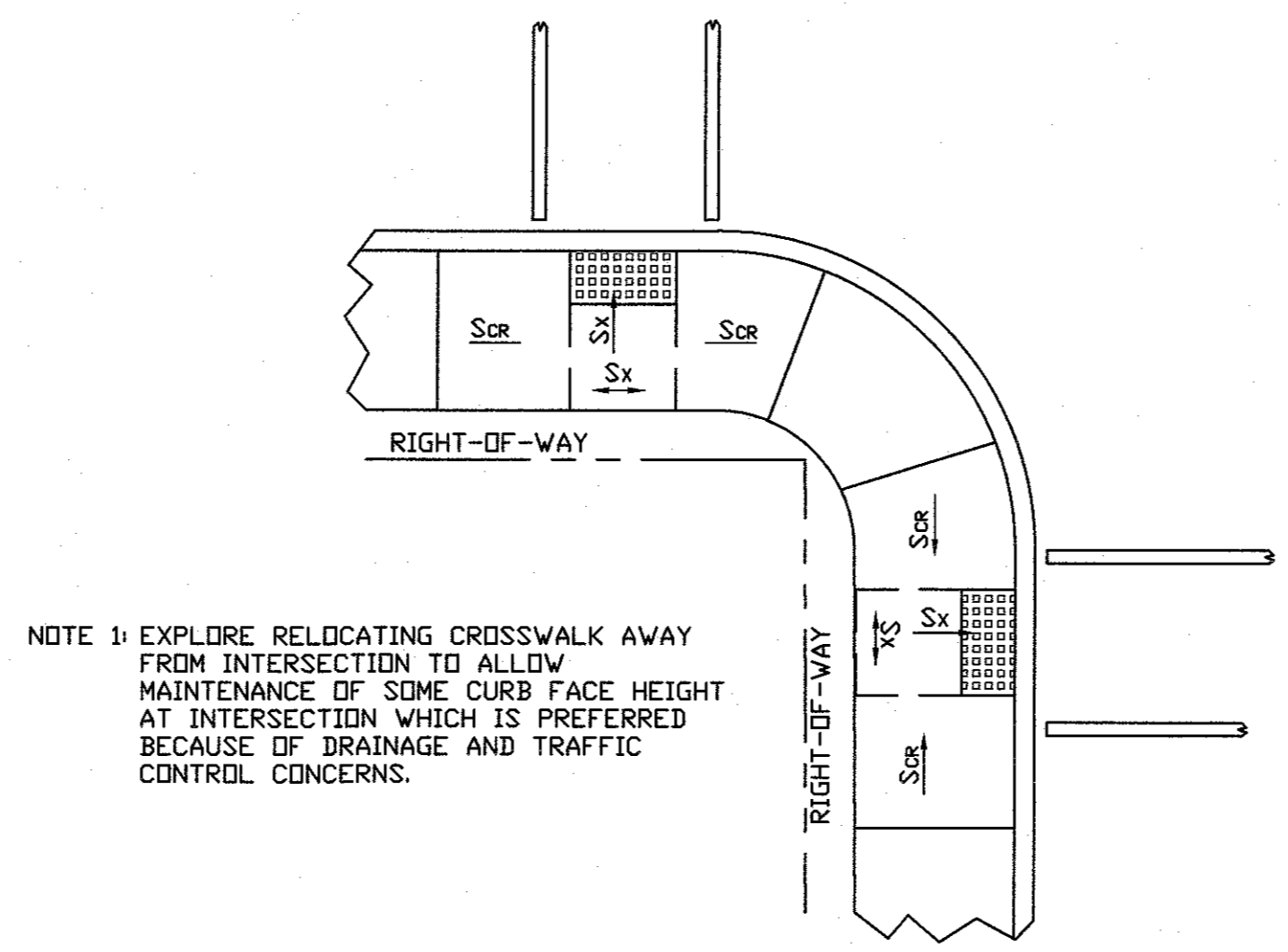
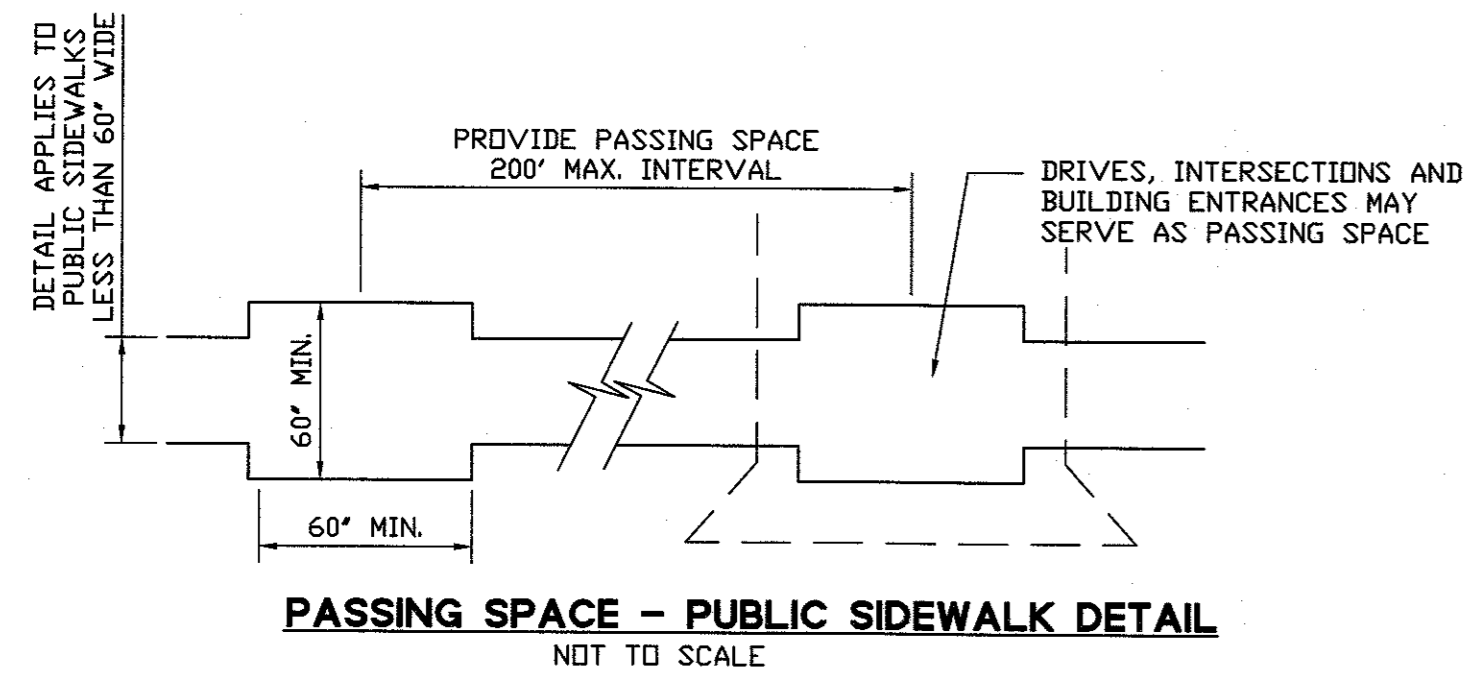
CONSTRUCTION DETAILS

11 TINDALL ROAD
 MIDDLETOWN, NJ 07748
 TEL 732-671-6400
 FAX 732-671-7365

NEW JERSEY BOARD OF PROFESSIONAL ENGINEERS
 AND LAND SURVEYORS
 CERTIFICATE OF AUTHORIZATION 36A27987500

OFFICES LOCATED IN:
 DELAWARE, INDIANA, KENTUCKY,
 MASSACHUSETTS, MICHIGAN, NEW JERSEY,
 OHIO AND PENNSYLVANIA

DESIGNED BY DMD	DRAWING CSD-5
CHECKED BY RRK	SHEET
DRAWN BY AWD	20
DATE 7-10-2017	OF 2
SCALE AS SHOWN	
PROJ. NO. HGL-10763	



PUBLIC SIDEWALK CURB RAMP LAYOUT PRINCIPLES

CONTRACTOR SHALL CONSTRUCT ALL PUBLIC SIDEWALK CURB RAMPS IN ACCORDANCE WITH THESE PRINCIPLES. WHEN CONDITIONS DO NOT PERMIT COMPLIANCE, CONSULT ENGINEER.

- (A) LOCATE A 4' X 4' CLEAR SPACE WITHIN CROSSWALK AT TOE OF RAMP CROSS SLOPE: 5:10 (2%); MAXIMUM COUNTERSLOPE S_{cr} AT TOE OF RAMP 1:20 (5%) MAXIMUM.
- (B) RAMP TO BE PERPENDICULAR (RADIAL) TO CURB LINE (OR ROADWAY EDGE), NO LIP AT STREET - CURB TOP TO SLOPE WITH RAMP.
- (C) OBSERVE S_{r} LIMITS: 1:50 (2%) MINIMUM, (8.3%) MAXIMUM IN NEW CONSTRUCTION. OBSERVE S_{r} LIMITS: 1:50 (2%) MAXIMUM. SEE SIDEWALK DESIGN SLOPE AND TOLERANCES TABLE. PROVIDE DETECTABLE WARNING SURFACE.
- (D) PROVIDE A 4' X 4' TURNING SPACE AT TOP. OBSERVE S_{r} LIMITS: 1:50 (2%) MAXIMUM IN ANY DIRECTION. SEE SIDEWALK DESIGN SLOPE AND TOLERANCES TABLE.
- (E) PROVIDE TRANSITION RAMPS AS REQUIRED. OBSERVE S_{r} LIMITS. SEE SIDEWALK DESIGN SLOPE AND TOLERANCES TABLE.
- (F) WHEN PEDESTRIAN TRAVEL ACROSS RAMP IS POSSIBLE, PROVIDE 10:1 MAXIMUM TRANSITION AT CURB LINE (OR ROADWAY EDGE).
- (G) PROVIDE CURB FACE ON RADIUS AT INTERSECTION TO THE EXTENT POSSIBLE IN PREFERENCE TO DEPRESSING ENTIRE RADIUS.
- (H) WHEN PEDESTRIAN TRAVEL ACROSS RAMP IS OBSTRUCTED BY TURF OR OTHER ELEMENTS, PROVIDE 18' LONG CURB TRANSITION. SEE DETAIL PAR-2.

PROJECT INFORMATION: C:\WORK\10763\Drawings
 FILE NAME: HGL10763_SPT020_CSD.dwg
 LAST SAVED DATE AND TIME: 15 Aug 2017, 3:51 PM
 LAST SAVE BY: Awdesign

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NO.	DATE	REVISIONS	BY	CHKD

09/16/2017
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENSE NO. 246064195100

ROBERT R. KEADY, P.E., C.M.E.
 HIGHLANDS BOROUGH ENGINEER

BOROUGH OF HIGHLANDS
 2017 CAPITAL ROAD IMPROVEMENTS
 HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY
 MAINTENANCE AND PROTECTION OF TRAFFIC

11 TINDALL ROAD
 MIDDLETOWN, NJ 07748
 TEL. 732-871-8400
 FAX 732-871-7365

NEW JERSEY BOARD OF PROFESSIONAL ENGINEERS
 AND LAND SURVEYORS
 CERTIFICATE OF AUTHORIZATION 245427867500

OFFICES LOCATED IN:
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DESIGNED BY	DMD	DRAWING	MPT-1
CHECKED BY	RRK	SHEET	23
DRAWN BY	AWD	SCALE	AS SHOWN
DATE	7-10-2017	PROJ. NO.	HGNL-10763

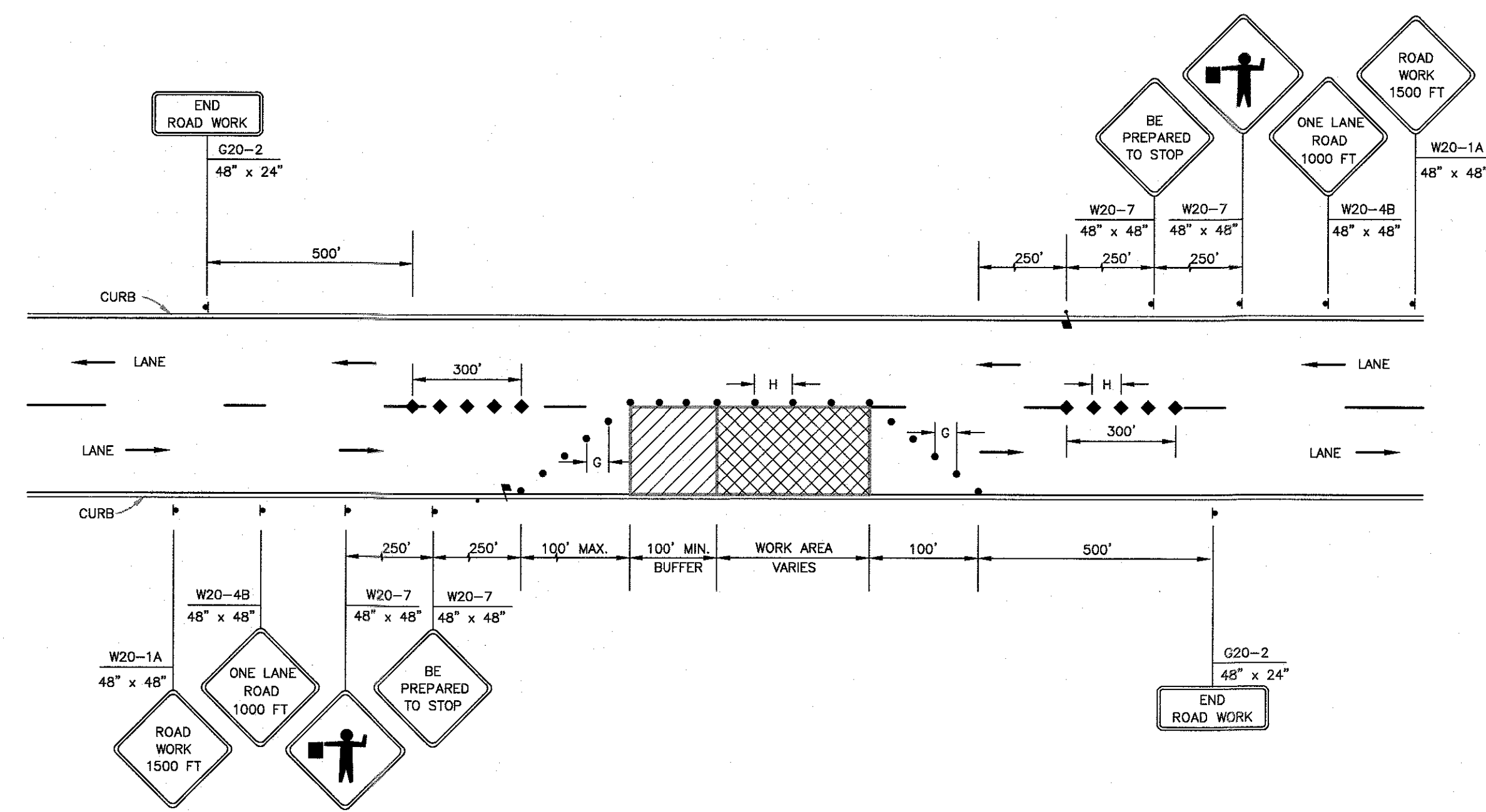
NOTES:

1. THE INFORMATION SHOWN ON THIS SHEET IS DESIGNED TO GUIDE AND ASSIST THE CONTRACTOR IN PREPARATION OF A PROJECT TRAFFIC CONTROL PLAN (TCP) CONSISTENT WITH SECTION 159 OF THE STANDARD SPECIFICATIONS. THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE FINAL TRAFFIC CONTROL PLAN. THE INFORMATION SHOWN IS NOT WARRANTED TO BE COMPLETE AND NEITHER THE SCOPE OR DETAILS SHOWN NOR THE FAILURE TO PROVIDE INFORMATION RELIEVES THE CONTRACTOR FROM RESPONSIBILITY FOR THE PROJECT TCP.
2. THE CONTRACTOR SHALL NOTIFY THE POLICE DEPARTMENT AND ENGINEER 72 HOURS IN ADVANCE OF CONSTRUCTION.
3. ALL CONSTRUCTION SIGNS SHALL BE BLACK ON ORANGE AS PER THE SPECIFICATIONS AND AS REQUIRED IN THE LATEST EDITION OF THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
4. ALL CONSTRUCTION SIGNS AND SAFETY EQUIPMENT SHALL BE IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITY.
5. TEMPORARY TRAFFIC TAPE, DETOUR GRADE SHALL BE USED OUTSIDE OF THE LIMITS OF CONSTRUCTION AND ON FINAL PAVEMENT. OTHER TEMPORARY TRAFFIC STRIPES SHALL BE STANDARD PAINT.
6. PAVEMENT MARKINGS NO LONGER APPLICABLE WHICH MIGHT CREATE CONFUSION TO VEHICLE OPERATORS SHALL BE REMOVED BY GRINDING OR OBLITERATED AS SOON AS PRACTICABLE.
7. ACCESS TO DRIVEWAYS AND SIDE STREETS FROM BOTH APPROACHES SHALL BE MAINTAINED AT ALL TIMES.
8. TRENCHES ARE TO BE COVERED AT THE END OF EACH DAY OF WORK.
9. STREETS INTERSECTING THE ROADWAY AFTER THE FIRST ADVANCE WARNING SIGN SHALL BE PROVIDED WITH AT LEAST ONE "ROAD WORK AHEAD" SIGN AS A MINIMUM.
10. POLICE TRAFFIC DIRECTORS MAY BE USED TO ASSIST IN CONTROLLING TRAFFIC AT INTERSECTIONS.
11. 100' BEYOND EACH INTERSECTION OR MAIN ACCESS POINT WITHIN THE AREA OF A LANE OR SHOULDER CLOSURE THERE SHALL BE A W1-6 MOUNTED ON A BREAKAWAY BARRICADE CENTERED ON THE CLOSED WIDTH.
12. ADVANCE WARNING SIGNS AND TAPERS MAY BE EXTENDED AS SIGHT DISTANCES REQUIRE TO ADJUST FOR REDUCED VISIBILITY DUE TO THE HORIZONTAL AND VERTICAL CURVATURE OF THE ROADWAY.
13. ALL METHODS SHALL COMPLY WITH THE LATEST EDITION OF THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".

DISTANCE LEGEND

SIGN NUMBER FOLLOWED BY

LETTER	DISTANCE
A	1500'
B	1000'
C	500'
D	1/2 MILE
E	1/4 MILE
F	MILES AHEAD



TYPICAL LANE CLOSURE WITH FLAGGING
 (LESS THAN 45 MPH)
 NOT TO SCALE

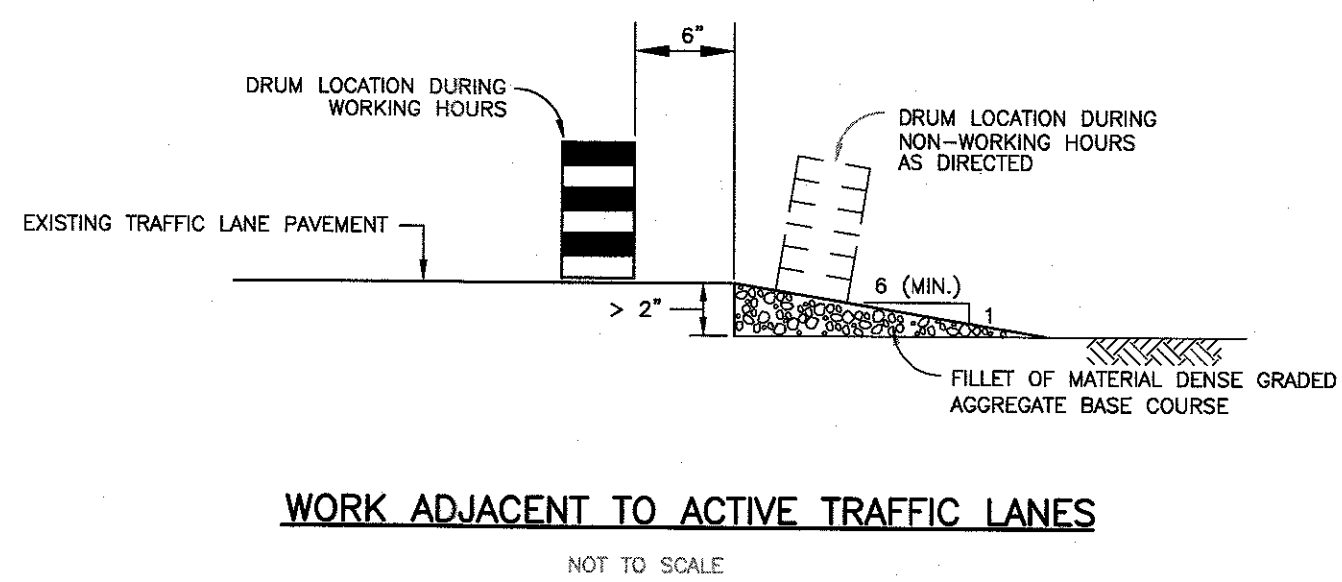
DURING CONSTRUCTION THE LENGTH OF LANE SHIFT AND SPACING OF TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE TABLE LISTED BELOW.

APPROACH SPEED OF TRAFFIC IN MILES/HOUR	*MINIMUM TAPER RATIO IN LENGTH PER FOOT OF WIDTH	*MINIMUM TAPER LENGTH FOR LATERAL SHIFT OF			MAXIMUM DEVICE SPACING ALONG TAPER IN FEET (G)	RECOMMENDED SPACING ALONG TANGENTS
		10 FT	11 FT	12 FT		
25	10 1/2:1	105	115	125	25	50
30	15:1	150	165	180	30	60
35	20 1/2:1	205	225	245	35	70
40	27 1/2:1	275	300	330	40	80
45	45:1	450	495	540	45	90
50	50:1	500	550	600	50	100
55	55:1	550	605	660	55	110

LANE SHIFT LENGTHS AND CONTROL DEVICE SPACING TABLE
 NOTE: DEVICES AND LANE SHIFT LENGTH SHOWN ALSO APPLY TO LANE CLOSURE REQUIREMENTS
 *NOT TO BE USED IN CONJUNCTION WITH FLAGGERS.

NOTES:

1. THE CONTRACTOR SHALL PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE ENGINEER AND THE TOWNSHIP OF FREEHOLD POLICE DEPARTMENT FOR REVIEW AND APPROVAL BY THE TRAFFIC SAFETY OFFICER PRIOR TO THE START OF ANY CONSTRUCTION. NO SEPARATE PAYMENT SHALL BE MADE FOR COSTS ASSOCIATED WITH THE PREPARATION OF THE TRAFFIC CONTROL PLAN, ALL COSTS SHALL BE INCLUDED IN THE LUMP SUM ITEM BID FOR MAINTENANCE AND PROTECTION OF TRAFFIC.
2. NO SEPARATE PAYMENT SHALL BE MADE FOR ITEMS ASSOCIATED WITH THE MAINTENANCE AND PROTECTION OF TRAFFIC, UNLESS APPROPRIATE SEPARATE ITEMS ARE SCHEDULED IN THE PROPOSAL. IF NO SUCH ITEMS ARE SCHEDULED, THE COST SHALL BE INCLUDED IN THE VARIOUS ITEMS WHICH ARE SCHEDULED IN THE PROPOSAL.
3. BASED ON THE CONTRACTOR'S SCHEDULE AND MEANS OF COMPLETING THE WORK, THE FREEHOLD TOWNSHIP POLICE DEPARTMENT MAY REQUIRE A DETOUR PLAN WHICH WILL BE REVIEWED AND APPROVED BY THE FREEHOLD TOWNSHIP POLICE DEPARTMENT. NO SEPARATE PAYMENT WILL BE MADE FOR COSTS ASSOCIATED WITH DETOUR OPERATIONS INCLUDING ALL ASSOCIATED TRAFFIC CONTROL DEVICES.



WORK ADJACENT TO ACTIVE TRAFFIC LANES
 NOT TO SCALE

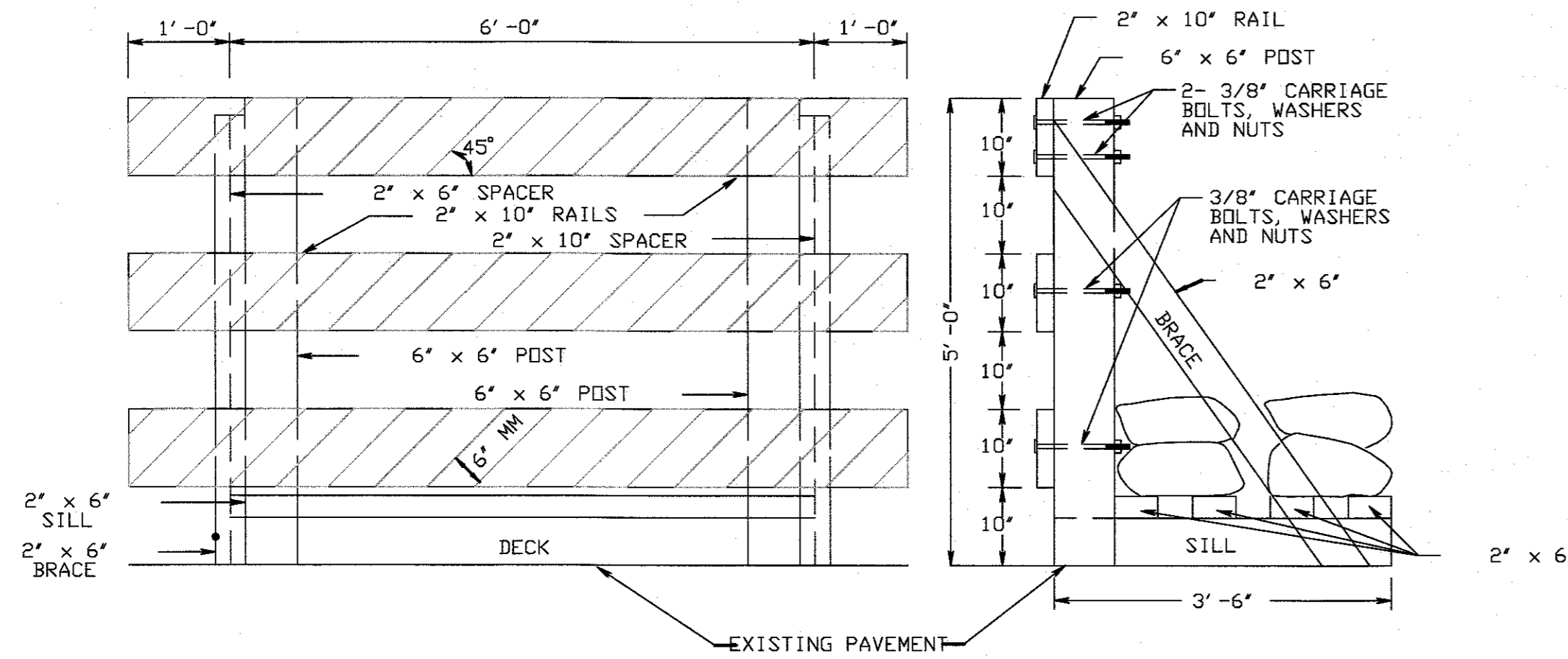
LEGEND

	WORK AREA
	BUFFER AREA
	BREAKAWAY BARRICADE
	BREAKAWAY BARRICADE WITH SIGN
	SIGN
	DRUM
	CONE
	DIRECTION OF TRAFFIC
	FLAGGER
	ILLUMINATED FLASHING ARROW
	ILLUMINATED FLASHING BAR
	TRUCK MOUNTED IMPACT ATTENUATOR

MAY BE MOUNTED ON THE TRAFFIC CONTROL TRUCK

PROJECT INFORMATION:
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 FILE NAME: HGNL10763_SHT023.MPT.dwg
 LAST SAVE BY: Admin@...
 LAST SAVE TIME: 15 Aug 2017, 3:53PM

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BARRICADE, TYPE III A

NOTES:

1. LUMBER USED SHALL BE YELLOW PINE OR FIR NO. 1 COMMON S4S, EXCEPT 12" x 12" TIMBERS.
2. RAILS ARE TO BE PAINTED ALTERNATE ORANGE AND SILVER (WHITE) STRIPES 6" WIDE OR RETROREFLECTIVE SHEETING, TYPE II, OR III A MAY BE UTILIZED MEETING REQUIREMENTS SPECIFIED FOR CONSTRUCTION SIGNS. OTHER PARTS TO BE PAINTED WHITE, 3 COATS.
3. THE ORANGE AND WHITE STRIPES SHALL BE REFLECTORIZED SO AS TO BE VISIBLE UNDER NORMAL ATMOSPHERIC CONDITIONS FROM A MINIMUM DISTANCE OF 1000 FEET WHEN ILLUMINATED BY THE LOW BEAMS OF STANDARD AUTOMOBILE HEADLIGHTS.
4. THE 18" x 24" SANDBAGS SHALL BE FABRICATED FROM POLYPROPYLENE AND SHALL HAVE A CAPACITY OF 1 CU. FT. SANDBAG PLACEMENT MAY BE ADJUSTED AT THE DIRECTION OF THE ENGINEER.
5. BARRICADE, TYPE III A SHALL BE FABRICATED OF WOOD OR METAL. RAILS MAY BE CONSTRUCTED OF WOOD, METAL OR PLASTIC. IF WOOD IS USED, SPACERS, BRACES, SILL AND DECK TO BE FASTENED WITH 40 SPIKES. HOLES TO BE BORED IN PLANKS FOR ALL SPIKES.

IMPORTANT

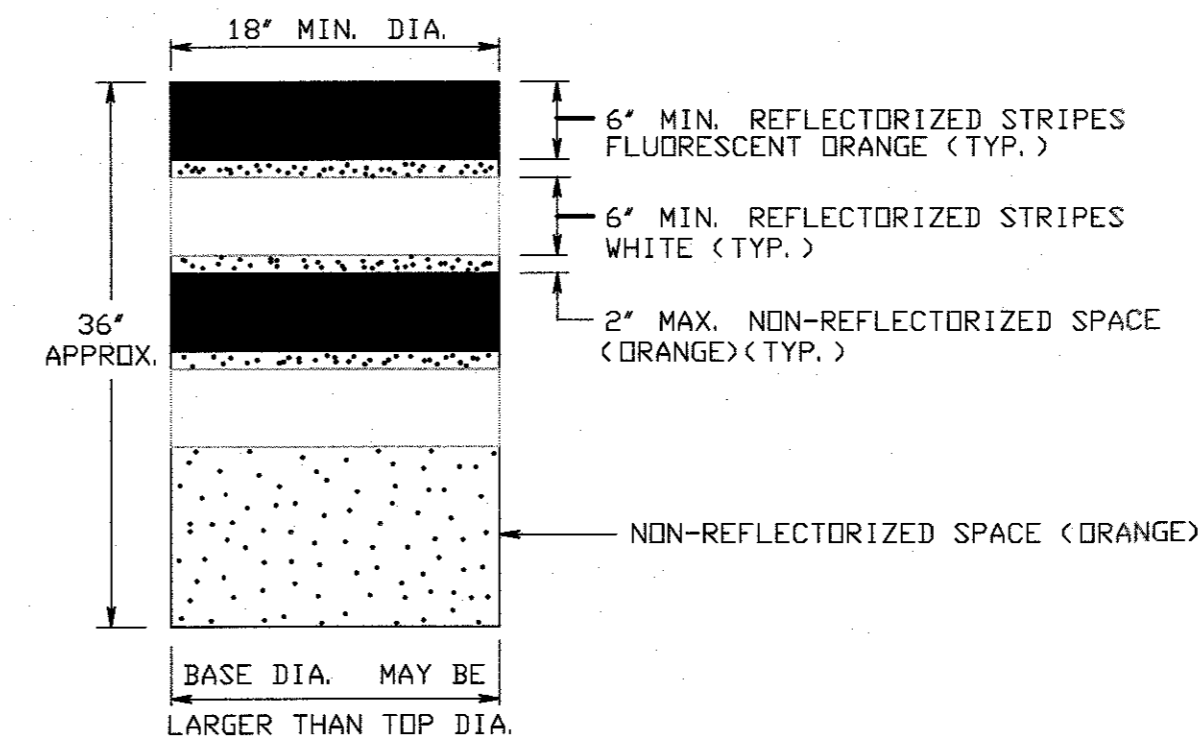
NOTE: BARRICADE TYPE III A SHALL NOT BE USED IN ANY AREA WHERE CONTACT WITH PUBLIC VEHICULAR TRAFFIC IS POSSIBLE. OPEN EXCAVATION AREAS AND OTHER SIMILAR SITUATIONS MAY REQUIRE BARRICADES TYPE III A AND THEIR USE SHALL BE ONLY UPON DIRECTION.

CD-617-1.1

DRUMS SHALL BE MADE OF ORANGE PLASTIC WITH A MINIMUM OF FOUR ALTERNATE FLUORESCENT ORANGE AND WHITE RETROREFLECTIVE STRIPES. IF THERE ARE NON-REFLECTORIZED SPACES BETWEEN THE STRIPES, THEY SHALL BE NO MORE THAN 2" WIDE. RETROREFLECTIVE SHEETING FOR STRIPES SHALL CONFORM WITH ASTM D 4956 TYPE VII OR VIII WITH S2 REQUIREMENTS.

THE TOP OF THE DRUM SHALL NOT BE OPEN. DRUMS SHALL BE CONSTRUCTED TO INHIBIT ROLLING IF KNOCKED OVER.

THE REFLECTORIZED AREA OF DRUMS SHALL BE ROUND EXCEPT THAT OTHER SHAPES, WHICH PROVIDE THE SAME VISIBILITY AS A 18" DIAMETER ROUND DRUM REGARDLESS OF ORIENTATION, MAY BE USED IF APPROVED BY THE BUREAU OF MATERIALS.

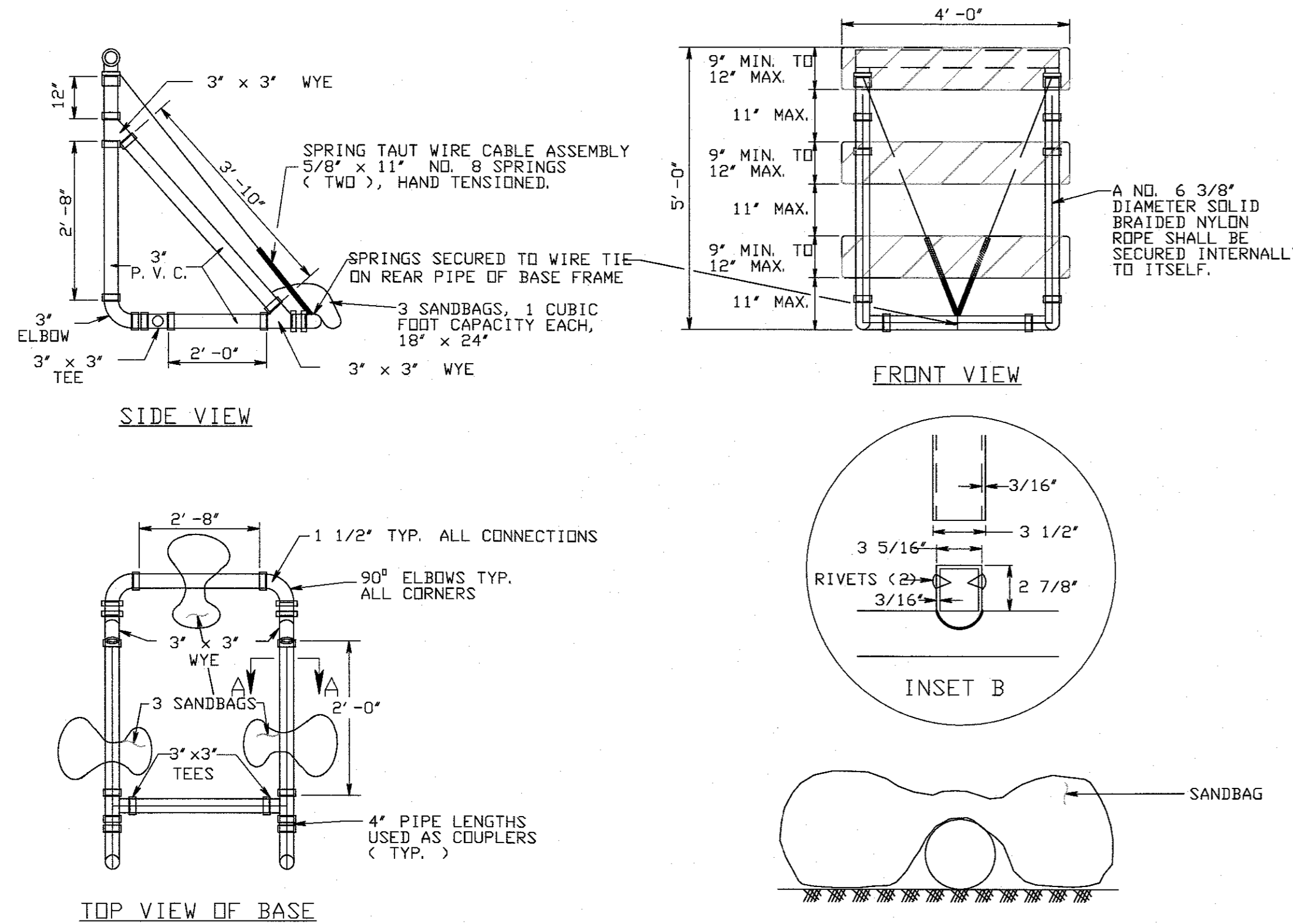


WHEN BALLAST IS REQUIRED BY THE R. E. SAND SHALL BE USED. THE MAXIMUM WEIGHT OF THE BALLAST SHALL BE 50 LBS. AND BE LOCATED APPROXIMATELY AT GROUND LEVEL. ALTERNATE TYPES OF BALLAST SHALL BE APPROVED BY THE R. E.

DRUMS

N. T. S.

CD-159-1.1



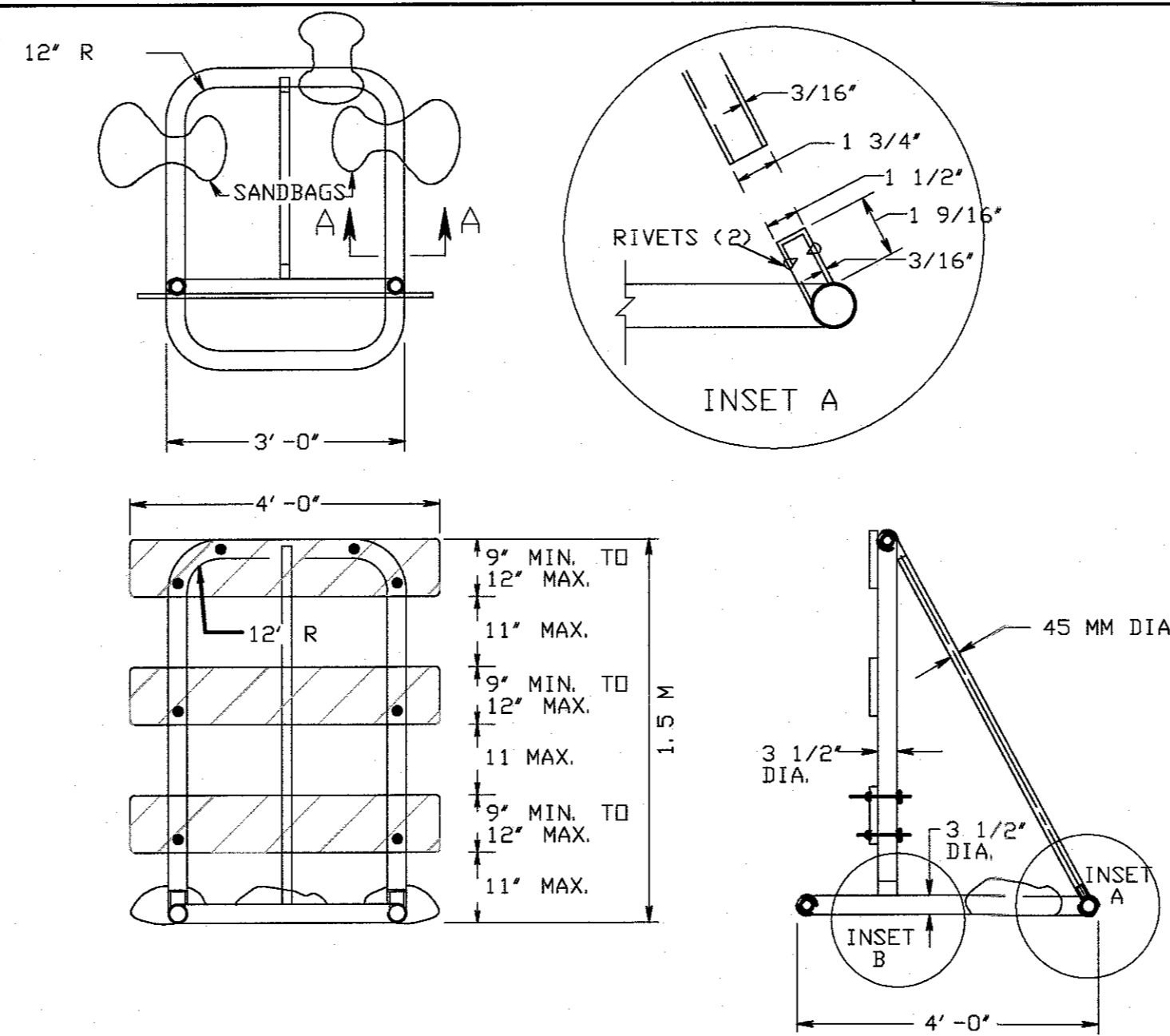
TYPE III, PVC

PIPE SHALL BE WHITE PVC SCHEDULE 40 ASTM D 1785 OR PVC, SDR-26 ASTM D 2241. FITTINGS SHALL BE WHITE PVC OR ABS OF MATCHING WALL THICKNESS AND INSIDE DIAMETER AND MEETING THE MATERIALS, REQUIREMENTS AND TESTING SECTIONS OF ASTM D 2466 FOR PVC AND ASTM D 2468 FOR ABS. ALL JOINTS SHALL BE SLIP FIT AND NOT THREADED OR CEMENTED. PVC FITTINGS MEETING ASTM D 2665 WILL ALSO BE ACCEPTABLE. PVC OR ABS MATERIAL SHALL BE ULTRAVIOLET LIGHT STABILIZED.

BREAKAWAY BARRICADES

N. T. S.

CD-617-1.3



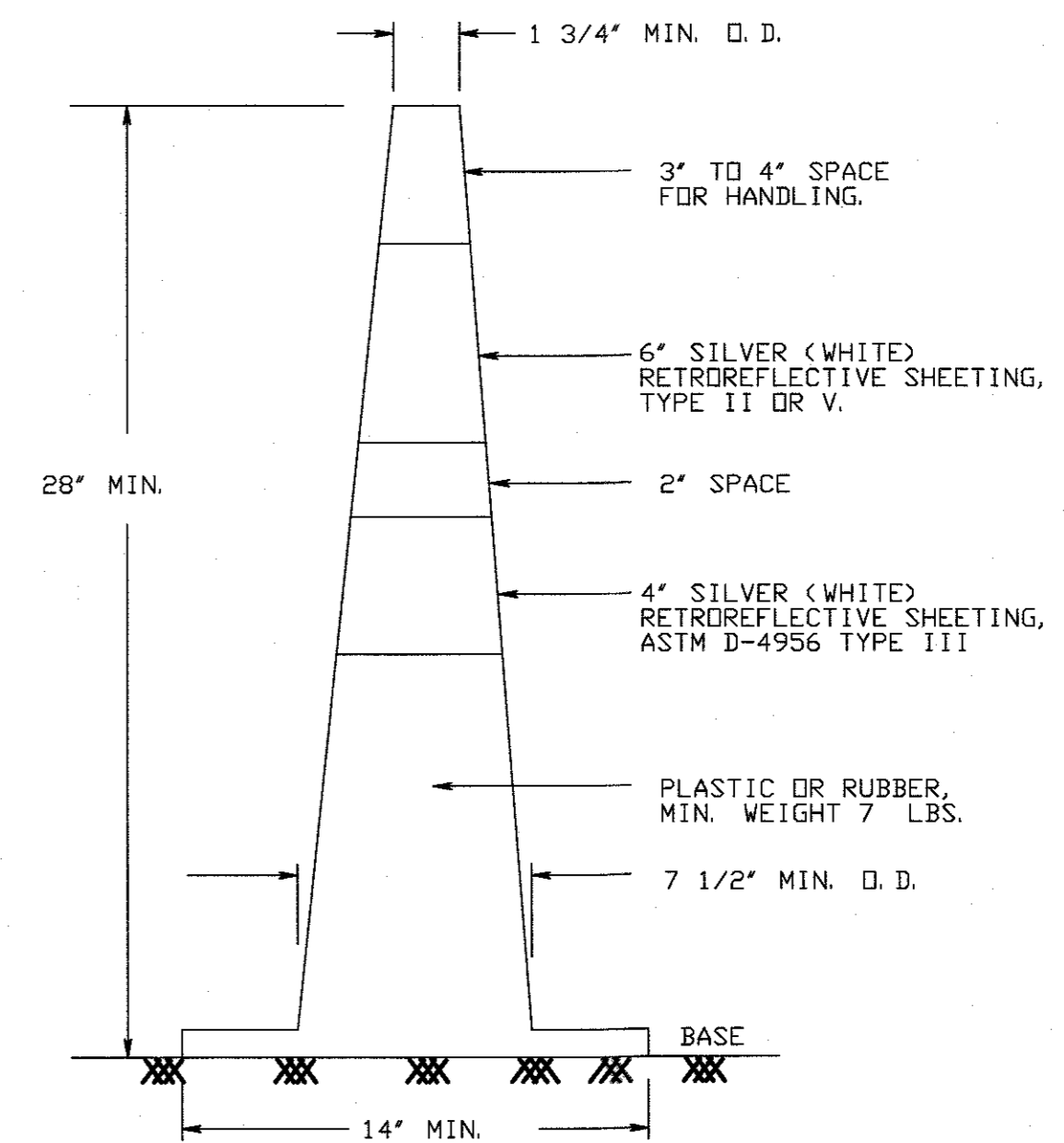
TYPE III, PE

THE BASE AND UPRIGHT SHALL BE 3 1/2" DIA. ROTATIONALLY MOLDED POLYETHYLENE PLASTIC CONFORMING TO ASTM D 1248-11 A3-E4. THE BRACE SHALL BE 1 3/4" DIA. EXTRUDED POLYETHYLENE PLASTIC CONFORMING TO ASTM D 1248-11 A4. POLYETHYLENE PLASTIC SHALL BE WHITE AND SHALL BE ULTRAVIOLET LIGHT STABILIZED.

NOTES:

1. THE 8" x 48", OR 9" MIN. x 48" BARRICADE RAILS SHALL BE FABRICATED FROM 0.024" ANODIZED ALUMINUM OR 0.125" MAX. PLASTIC SHEETING AND SHALL BE ATTACHED, 4 PER RAIL WITH 1" NO. 14 PAN HEAD METAL SCREWS OR PLASTIC RIVETS. ALL CORNERS SHALL BE ROUNDED.
2. ORANGE AND SILVER (WHITE) STRIPES SHALL BE RETROREFLECTIVE SHEETING, TYPE II OR III-A, AS SHOWN FOR CONSTRUCTION SIGNS. ALTERNATE ORANGE AND SILVER (WHITE) STRIPES 150 MM WIDE SLOPING DOWNWARD AT AN ANGLE OF 45 DEGREES IN THE DIRECTION TRAFFIC IS TO PASS.
3. THE 18" x 24" SANDBAGS SHALL BE FABRICATED FROM POLYPROPYLENE AND SHALL HAVE A CAPACITY OF 1 CUBIC FOOT. PLACEMENT OF SANDBAGS SHALL BE AS SHOWN ABOVE.
4. SANDBAG PLACEMENT MAY BE ADJUSTED AT THE DIRECTION OF THE ENGINEER. ALL DIMENSIONS ON FULL PIPE LENGTH.
5. EITHER TYPE III, PE OR TYPE III, PVC CAN BE USED AT THE OPTION OF THE CONTRACTOR.

TRAFFIC CONES SHALL BE PREDDMINATELY ORANGE IN COLOR.



BASES MAY BE OF BREAKAWAY BALLASTED TYPE. MINOR MANUFACTURER'S VARIATIONS MAY BE ACCEPTABLE UPON APPROVAL OF THE ENGINEER.

TRAFFIC CONES

N. T. S.

CD-159-1.2

PROJECT INFORMATION: HGH-10763 (Rev. 08/16/2017)
 FILE NAME: HGH-10763-SHT024_MPT.dwg
 LAST SAVED DATE AND TIME: 15 Aug 2017, 3:52PM
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NO.	DATE	REVISIONS	BY	CHK

08/16/2017
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NJ LICENSE NO. 248E04195100

ROBERT R. KEADY, P.E., C.M.E.
 HIGHLANDS BOROUGH ENGINEER

BOROUGH OF HIGHLANDS

2017 CAPITAL ROAD IMPROVEMENTS

HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY

MAINTENANCE AND PROTECTION OF TRAFFIC

11 TINDALL ROAD
 MIDDLETOWN, NJ 07748
 TEL 732-671-8400
 FAX 732-671-7955

NEW JERSEY BOARD OF PROFESSIONAL ENGINEERS
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CHECKED BY	RRK	SHEET	24
DRAWN BY	AWD	SCALE	AS SHOWN
DATE	7-10-2017	PROJ. NO.	HGH-10763
OF	24		



Borough of Highlands
42 Shore Drive
Highlands, NJ 07732
(732) 872-1224
www.highlandsborough.org

LAND USE BOARD APPLICATION

FOR OFFICIAL USE
Date Rec'd: 11/18/2022 Application #: 2022-10 Fee: \$525 Escrow: \$1050
ck# 210519 ck# 210520

1. APPLICANT

Name: Home & Land Development Corp
Address: 88-1 Portland Road
City: Highlands State: NJ Zip: 07732
Phone: 917-686-4111
Email: GNF718@aol.com
Relation to property: Owner of Block 35, Lots 8 & 9

2. OWNER

Name: Home & Land Development Corp - Block 35, Lots 8 & 9
Address: 88-1 Portland Road
City: Highlands State: NJ Zip: 07732
Phone: 917-686-4111
Email: GNF718@aol.com

3. TYPE OF APPLICATION (Check all that apply)

- Minor Subdivision
- Major Subdivision – Preliminary
- Major Subdivision – Final
- Minor Site Plan
- Major Site Plan – Preliminary
- Major Site Plan – Final
- Variance
- Use Variance
- Appeal – Zoning Denial date _____
- Appeal – Land Use Decision date _____
- Informal Concept Plan Review
- Extension of Approval
- Revision/Resubmission of Prior Application
- Other _____

4. PROPERTY INFORMATION

Block 35 Lot(s) 8 & 9 Address: 14 North Peak and 32 North Peak
Lot size _____ # of Existing Lots 2 # of Proposed Lots 2
Zone R101 Are there existing Deed Restrictions or Easements? No Yes – Please attach copies
Has the property been subdivided? No Yes If yes, when? _____
Attach copies of approved map or approved resolution
Property taxes paid through _____ Sewer paid through _____

5. ATTORNEY (A corporation, LLC, Limited Partnership, or S-Corp must be represented by a NJ attorney)

Name: Michael A. Bruno, Esq.; Giordano Halleran & Ciesla
Address: 125 Half Mile Road, Suite 300, Red Bank, NJ 07701
Phone: 732-741-3900 Email: mbruno@ghclaw.com



Borough of Highlands
42 Shore Drive
Highlands, NJ 07732
(732) 872-1224
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6. APPLICANT'S OTHER PROFESSIONAL(S) – Engineer, Planner, Architect, etc.

Name: Thomas Santry, P.A.
Address: 128 E. River Road
Rumson, New Jersey 07760
Phone: 732-741-4800
Email: _____

Name: _____
Address: _____

Phone: _____
Email: _____

7. LAND USE

A. PROPERTY HISTORY –Describe in detail, nature of prior use(s) on the site, start date of such use, any prior Land Use Board applications for this site (attach copy of resolution, if applicable), history of current ownership, etc.

The property is presently used for single-family residence.

B. PROPOSED PLAN –Describe in detail, proposed use for property, including, but not limited to: 1) portion to be subdivided; 2) sell lot only; 3) construct house(s) for sale; 4) how trash will be disposed; 5) landscaping; 6) hours of operation; 7) type of goods/services; 8) fire lane. Attach additional sheets if necessary.

Applicant purposes to subdivide the property into two conforming building lots and will construct two retaining walls at the property prior to constructing two (2) residential homes. Applicant seeks variance relief from the Borough's Steep Slope requirements.

C. ADDITIONAL INFORMATION:

		Existing	Proposed
Residential:	How many dwelling units?	<u>1</u>	<u>2</u>
	How many bedrooms in each unit?	_____	<u>tbd</u>
	How many on-site parking spaces?	_____	<u>tbd</u>
Commercial:	How many commercial uses on site?	<u>N/A</u>	<u>N/A</u>
	How many on-site parking spaces?	_____	_____



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 www.highlandsborough.org

8. VARIANCE REQUESTS Complete section(s) related to the relief being requested. **

	Req'd	Exist.	Prop'd
Minimum Lot Requirements			
Lot Area			
Frontage			
Lot Depth			
Minimum Yard Requirements			
Front Yard Setback			
2 nd Front Yard Setback			
Rear Yard Setback			
Side Yard Setback, right			
Side Yard Setback, left			
Building Height			

	Req'd	Exist.	Prop'd
Accessory Structures			
Fence/Wall Height			
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			
Parking Requirements			
On-site Parking Spaces			
Other (please add)			

**See zoning table on sheet 3 of the minor subdivision plans

9. OTHER RELIEF REQUESTED Please specify relief(s) and explain below.

Applicant seeks variance relief from the Borough's Steep Slope requirements



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(732) 872-1224
www.highlandsborough.org

10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this
23 day of September 2022 (year)
Carrie Lenahan (notary)
CARRIE LENAHAN (Seal)
A NOTARY PUBLIC OF NEW JERSEY
MY COMMISSION EXPIRES FEBRUARY 8, 2027

Home & Land Development Corp
[Signature] 9/23/22
Signature Date
Charles Farkouh, President
Print Full Name

11. NOTARIZED CONSENT OF OWNER

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this
_____ day of _____ 20____ (year)

(notary)
(Seal)

Signature Date

Print Full Name

12A. DISCLOSURE STATEMENT Circle all that apply.

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:

- Is this application to subdivide a parcel of land into six (6) or more lots? Yes No
- Is this application to construct a multiple dwelling of 25 or more units? Yes No
- Is this an application for approval of a site(s) for non-residential purposes? Yes No
- Is this Applicant a corporation? Yes No
- Is the Applicant a limited liability corporation? Yes No
- Is the Applicant a partnership? Yes No

If you circled **YES** to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).



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12B. BUSINESS ORGANIZATION OWNERSHIP DISCLOSURE STATEMENT

Name of Corporation, Partnership, LLC, LLP, S-Corp:

Home & Land Development Corp

Listed below are the names and addresses of all owners of 10% or more of the stock/interest* in the above referenced business organization:

NAME	ADDRESS
Charles Farkouh, President	88-1 Portland Road, Highlands, NJ 07732

*If a corporation or a partnership owns 10% or more of the stock of a corporation, or 10% or great interest in a partnership, that corporation or partnership shall list the names and address of its stockholders holding 10% or more of its stock or 10% or greater interest in the partnership, and this requirement shall be followed until the names and addresses of the non-corporate stockholders and individual partners, exceeding the 10% owner ship criterion established have been listed.

SWORN & SUBSCRIBED to before me this
23 day of September 20 22 (year)
Carrie Lenahan (notary)
 (Seal)

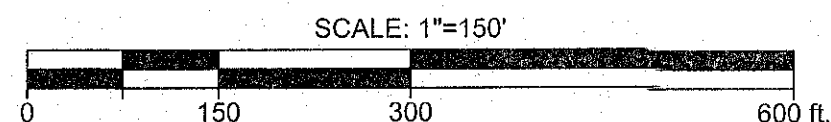
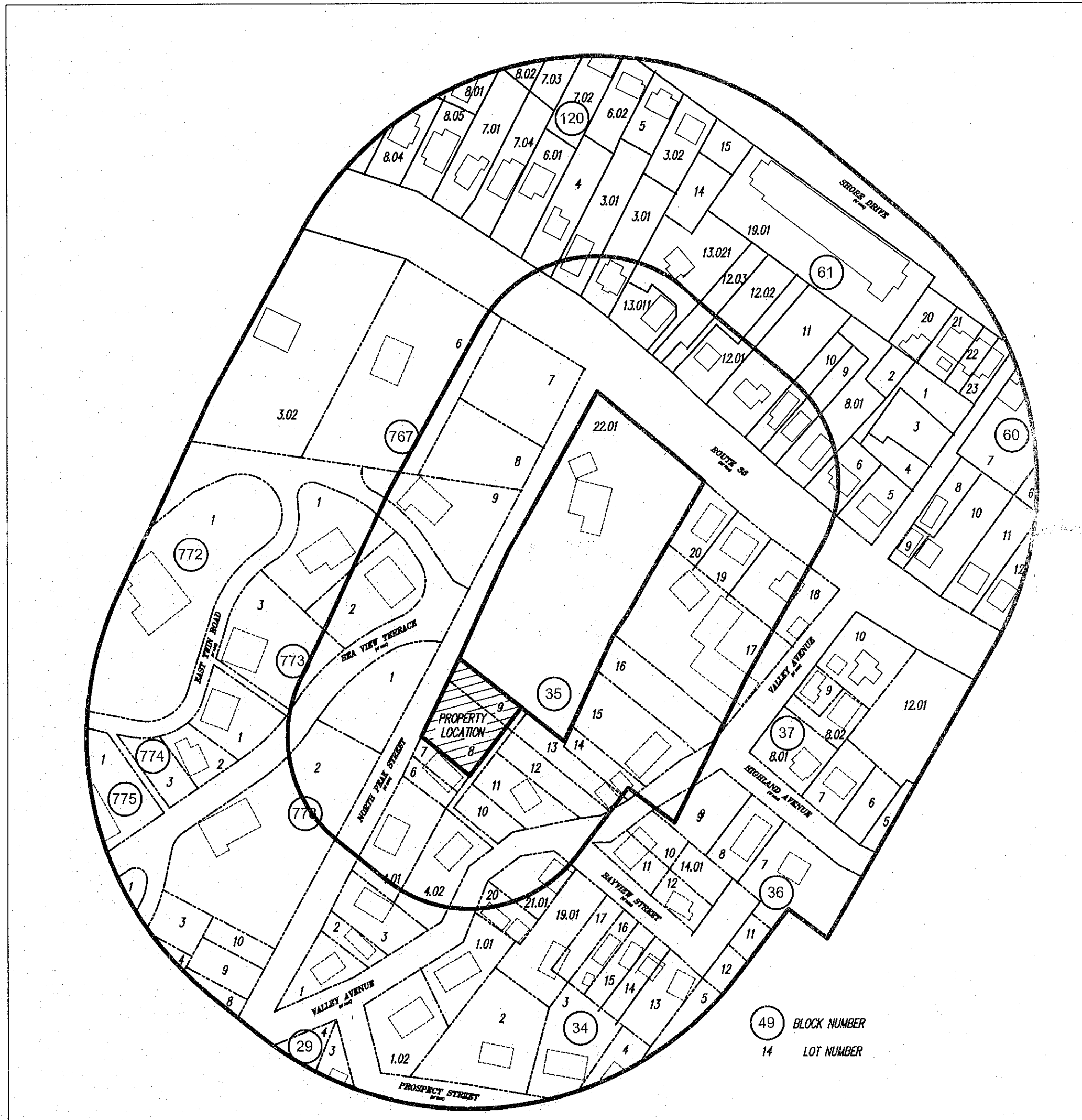
CARRIE LENAHAN
A NOTARY PUBLIC OF NEW JERSEY
MY COMMISSION EXPIRES FEBRUARY 8, 2027

Home & Land Development Corp
[Signature] 9/23/22
 Signature (Officer/Partner) Date
Charles Farkouh, President
 Print Full Name Title

NOTE: A WRITTEN "WAIVER AND DIRECTION NOT TO SET CORNER MARKERS" HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO N.J.A.C. 13:40-5.1(d).

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THIS SURVEY IS SUBJECT TO CHANGE ACCORDING TO THE FACTS THAT A CURRENT TITLE REPORT MAY DISCLOSE



LIST OF OWNERS WITHIN 200 FEET			LIST OF OWNERS WITHIN 200 FEET (CONTINUED)			LIST OF OWNERS WITHIN 200 FEET (CONTINUED)		
BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER
758	1.01	MONMOUTH HILLS INC. ACCESS PROP MGMT 1090 KING GEORGES POST RD EDISON, NJ 08837	35	22.01	DIEBOLD RICHARD & MISCHELE 221 NAVESINK AVENUE HIGHLANDS, NJ 07732	36	10	BRANIN GARY & PAMELA J 97 VALLEY AVENUE HIGHLANDS NJ 07732
778	1	MONMOUTH HILLS INC. ACCESS PROP MGMT 1090 KING GEORGES POST RD EDISON, NJ 08837	35	4.02	MALONE PATRICK FRANCIS & PAULA ANN 110 VALLEY AVENUE HIGHLANDS, NJ 07732	36	9	JERSEY CENTRAL P & L ATTN. TAX DEP 800 CABIN HILL DR. GREENSBURG PA 15601
35	6	ALVATOR DONNA 10 NORTH PEAK STREET HIGHLANDS, NJ 07732	35	15	AKER EDWARD W & EVELYN 92 VALLEY AVENUE HIGHLANDS, NJ 07732	61	6	TAYLOR TIFFANY 188 NAVESINK AVENUE HIGHLANDS NJ 07732
35	10	DORIN JOSEPH & JOSEPH DORIN LM 102 VALLEY AVENUE HIGHLANDS, NJ 07732	767	9	FARROW LEONILDA A & CECIL W PO BOX 646 NAVESINK, NJ 07752	61	12.02	RILE ELIZABETH A & MCCOLGAN CATHE 214 NAVESINK AVENUE HIGHLANDS NJ 07732
35	12	DORIN JOSEPH & JOSEPH DORIN LM 102 VALLEY AVENUE HIGHLANDS, NJ 07732	778	2	ONEIL MICHAEL & KATHY 34 SEAWAY TERR HIGHLANDS, NJ 07732	34	19.01	AZZOLINA GREGG 2 BAYMEW STREET HIGHLANDS, NJ 07732
35	8	FELICIANO JERRY 202 N BROUGHTON SQUARE BOYNTON BEACH, FL 33436	774	1	MCALLEY COLLEEN FLINN 38 E TWIN RD HIGHLANDS, NJ 07732	35	19	BOLGER MARY CATHERINE 1500 S PENNSULA DRIVE DAYTON BEACH FL 32118
35	14	NEWMAN SR. RONALD & NANCY 94 VALLEY AVENUE HIGHLANDS, NJ 07732	773	2	REINHAUER CRAIG 32 SEAWAY TERR HIGHLANDS, NJ 07732	35	20	STEGNER DAWN 193 STATE HIGHWAY 36 HIGHLANDS, NJ 07732
34	20	109 VALLEY AVE LLC 13 JARED LANE LITTLE EGG HARBOR, NJ 08087	773	3	GLASS KEITH 37 E TWIN RD HIGHLANDS, NJ 07750	120	3.01	FERRERA JOSEPH & MARIA 222 NAVESINK AVENUE HIGHLANDS NJ 07732
35	7	ALVATOR DONNA 10 NORTH PEAK STREET HIGHLANDS, NJ 07732	35	16	FENDICK KERRY & VALENCIA ENRIQUE 78 VALLEY AVE HIGHLANDS, NJ 07732	61	8.01	GRIESER HENRY 190 NAVESINK AVENUE HIGHLANDS, NJ 07732
34	1.01	LEMEGA JERRY & NADIYA 111 VALLEY AVE HIGHLANDS, NJ 07732	35	17	VALLEY AVENUE MANAGEMENT LLC 82 VALLEY AVENUE HIGHLANDS, NJ 07732	61	12.03	RILE ELIZABETH 214-A NAVESINK AVENUE HIGHLANDS NJ 07732
34	21.01	WAGNER PETER 101 VALLEY AVENUE HIGHLANDS, NJ 07732	35	4.01	JOHNSON EDWARD W 2 NORTH PEAK STREET HIGHLANDS, NJ	61	13.011	HAMLIN ANTHONY M & JOHNSON BRIANA 216 NAVESINK AVENUE HIGHLANDS NJ 07732
35	11	DORIN JOSEPH & JOSEPH DORIN 102 VALLEY AVENUE HIGHLANDS, NJ 07732	773	1	PHAIR ARTHUR H & KUGELMANN 36 E TWIN ROAD HIGHLANDS, NJ 07732	61	13.021	ELSON JEROME & BARBRA 294 SLOCUM WAY FORT LEE NJ 07024
35	9	HOME & LAND DEVELOPMENT CORP 88-1 PORTLAND ROAD HIGHLANDS, NJ 07732	767	6	STRUSE ANDREW E & SASSOLA STEPHANIE PO BOX 245 NAVESINK NJ	35	18	NAVESINK AVE PROPERTIES LLC 40 CARRAGE WAY MILLSTONE, NJ 08510
36	11	BRANIN GARY & PAMELA 97 VALLEY AVE HIGHLANDS, NJ 07732	61	10	BOCCO NICOLE E 206 NAVESINK AVENUE HIGHLANDS, NJ 07732	61	9	ROBERTSON RICHARD M 194 NAVESINK AVENUE HIGHLANDS NJ 07732
35	13	SERGHIS DEMETRIOS 96 VALLEY AVENUE HIGHLANDS, NJ 07732	61	12.01	BREITHOFF CHARLES & REGINA MCGRATH 212 NAVESINK AVENUE HIGHLANDS, NJ 07732	61	11	CHRISTOPHER WALDEMAR & POPOWSKI B 376 BROOK AVE PASSAIC, NJ 07055
						120	4	O NEIL RICHARD W & NANCY L 224 NAVESINK AVENUE HIGHLANDS NJ 07732

UTILITY AND GOVERNMENTAL AGENCY TO BE NOTIFIED

JCP&L
300 MADISON AVENUE
PO BOX 1911
MORRISTOWN, NJ 07960

NEW JERSEY AMERICAN WATER COMPANY
ATTN: CONSTRUCTION DEPARTMENT
661 SHREWSBURY AVE
SHREWSBURY, NJ 07702

COMCAST COMMUNICATIONS OF MONMOUTH COUNTY
RON BERTRAND, CONSTRUCTION FOREMAN
403 SOUTH ST
EATONTOWN, NJ 07724

VERIZON COMMUNICATIONS
ONE VERIZON WAY
BASKING RIDGE, NJ 07920

TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY
RAYMOND J. NIERSTEDT, P.E., EXECUTIVE DIRECTOR
PO BOX 205, 100 BEVERLY WAY
BELFORD, NJ 07718

NJ NATURAL GAS COMPANY
PO BOX 1464, 1415 WYCKOFF ROAD
WALL, NJ 07719

MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY
ATTN: EXECUTIVE DIRECTOR
PO BOX 184, 200 HARBOR WAY
BELFORD, NJ 07718

NO DETERMINATION HAS BEEN MADE AS TO THE PRESENCE OR ABSENCE OF WETLANDS ON THIS PROPERTY. NO STATEMENT IS BEING MADE OR IMPLIED HEREIN, NOR SHOULD IT BE CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF THE SAME IS PORTRAYED HEREIN.

I HEREBY CERTIFY THAT THIS IS A TRUE AND ACCURATE SURVEY MADE ON THE GROUND. THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN

IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL IT IS NOT AN ORIGINAL

Thomas P. Santry, Jr.
RESPONSIBLE PROFESSIONAL'S SIGNATURE DATE: _____
THOMAS P. SANTRY, JR., P.L.S.
PROFESSIONAL LAND SURVEYOR
P.L.S. LIC. No. 24GS3540000

MINOR SUBDIVISION OF
LOTS 8, 9 ~ BLOCK 35
32 & 14 North Peak Street
Borough of Highlands
Monmouth County, New Jersey

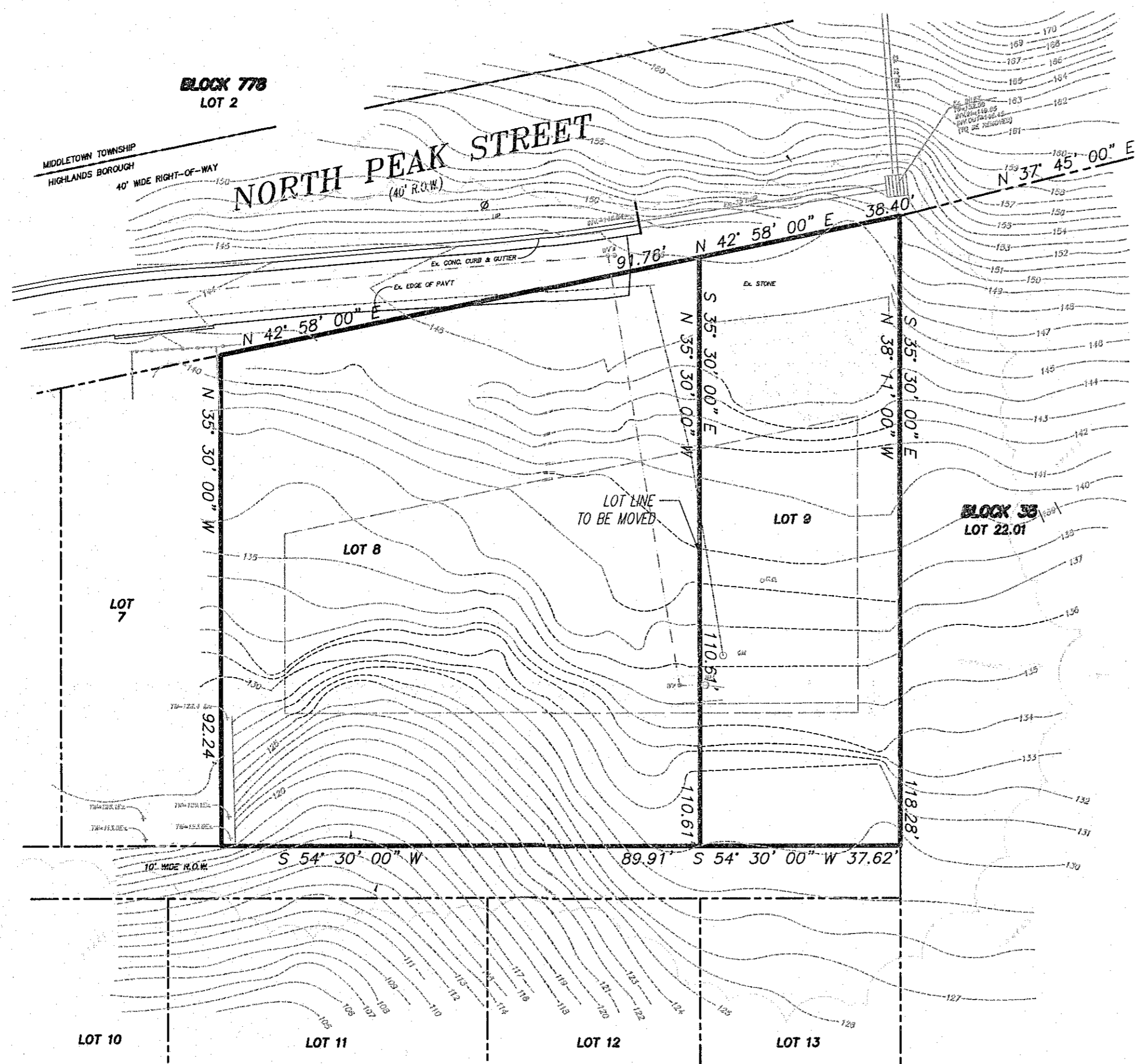
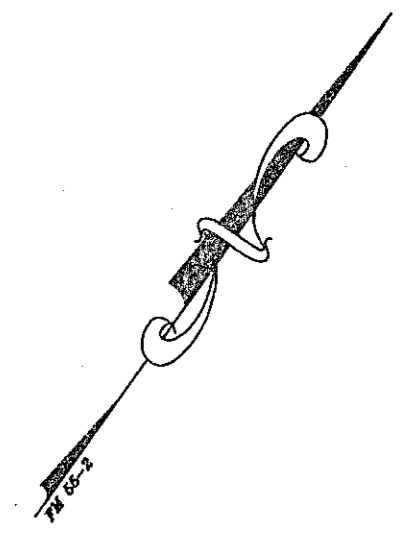
THOMAS P. SANTRY, P.A.
ENGINEERS AND SURVEYORS
ONE HUNDRED TWENTY EIGHT EAST RIVER ROAD
RUMSON, NEW JERSEY 07760
PHONE (732) 741-4800 FAX (732) 741-0084

PROJ. No. 22-074
SCALE 1" = 20'
DATE 7/29/22
DRAWN BY MGB
TAX MAP SHEET # 10
SHEET 1 OF 3
DRAWING No. HL25

NOTE: A WRITTEN "WAIVER AND DIRECTION NOT TO SET CORNER MARKERS" HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO N.J.A.C. 13:40-5.1(d).

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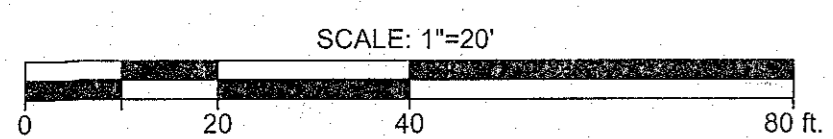
LOT 22.01

EXISTING

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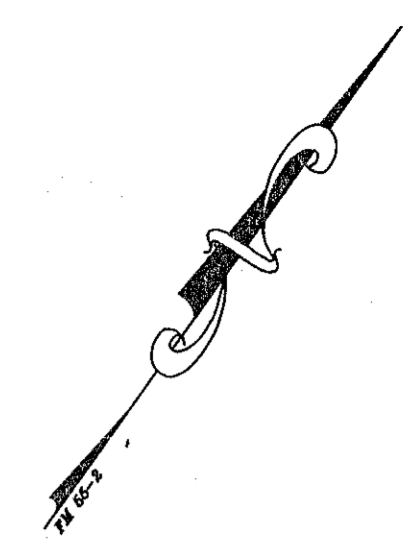
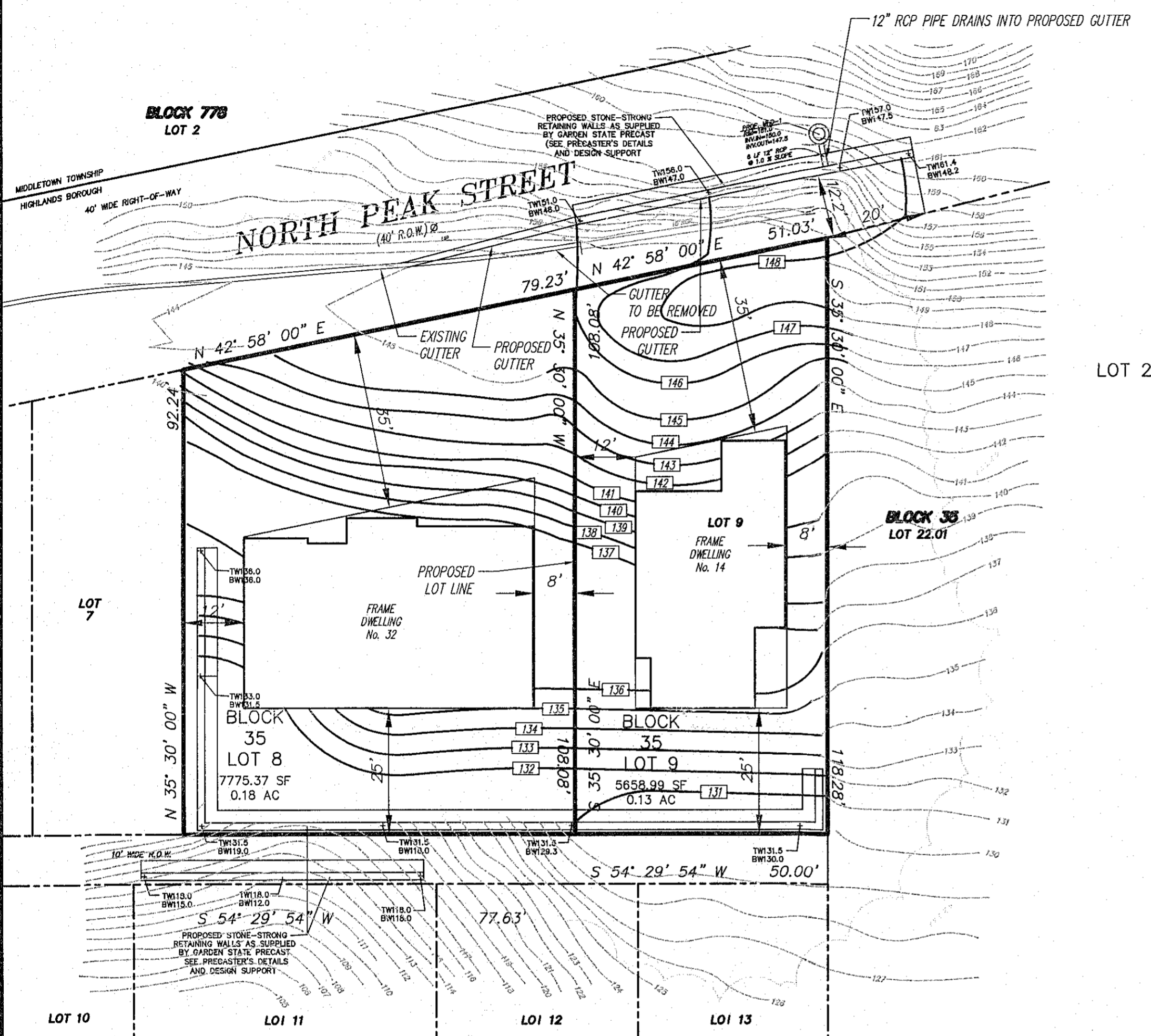
RESPONSIBLE PROFESSIONAL'S SIGNATURE DATE: *Thomas P. Santry, Jr.*
THOMAS P. SANTRY, JR. P.L.S.
PROFESSIONAL LAND SURVEYOR
P.L.S. LIC. No. 24GS3540000

PROJ. No.	22-074
SCALE	1" = 20'
DATE	7/29/22
DRAWN BY	MGB
TAX MAP SHEET #	10
SHEET	2 OF 3
DRAWING No.	HL25

**MINOR SUBDIVISION OF
LOTS 8, 9 ~ BLOCK 35**
32 & 14 North Peak Street
Borough of Highlands
Monmouth County, New Jersey

THOMAS P. SANTRY, P.A.
ENGINEERS AND SURVEYORS
ONE HUNDRED TWENTY EIGHT EAST RIVER ROAD
RUMSON, NEW JERSEY 07760
PHONE (732) 741-4800 FAX (732) 741-0084

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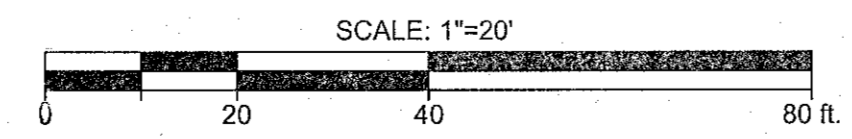


LOT 22.01

- NOTES:
1. TOPOGRAPHY AND GRADING OBTAINED FROM A CERTAIN MAP ENTITLED "GRADING PLAN FOR HOME & LAND. DEVELOPMENT CORP. BLOCK 35 LOT 9" SAID MAP WAS DRAWN BY EASTERN CIVIL ENGINEERING, LLC ON 2/10/22. PROJECT NO. 2101980
 2. SILT FENCE SHALL BE PLACED AROUND THE PERIMETER OF THE LIMITS OF DISTURBANCE AND REMAIN UNTIL SOIL IS STABILIZED
 3. APPLICANT TO REPAIR ANY DAMAGED CURB OR PAVEMENT AS PART OF CONSTRUCTION
 4. ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988
 5. VARIANCE REQUESTED STEEP SLOPES ANALYSIS

**BOROUGH OF HIGHLANDS
 SCHEDULE OF LIMITATIONS
 ZONE "R-1.01"**

		PROPOSED	
PERMITTED USE		LOT 8	LOT 9
MINIMUM LOT AREA	5,000 SF	7,775.37 SF	5,658.99 SF
MINIMUM LOT DEPTH	100 FT	108.08'	118.28'
MINIMUM LOT FRONTAGE	50 FT	79.23'	51.03'
PRINCIPAL STRUCTURE			
MINIMUM FRONT SETBACK	35 FEET	35 FEET	35 FEET
MINIMUM REAR SETBACK	25 FEET	25 FEET	25 FEET
MINIMUM SIDE SETBACK	8/12 FEET	8/12 FEET	8/12 FEET
MAX LOT COVERAGE	70%	N/A	N/A
MAX BUILDING COVERAGE	30%	26.1%	22.6%
MAX BUILDING HEIGHT	30 FEET	N/A	N/A



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Thomas P. Santry, Jr.
 RESPONSIBLE PROFESSIONAL'S SIGNATURE DATE:
THOMAS P. SANTRY, JR. P.L.S.
 PROFESSIONAL LAND SURVEYOR
 P.L.S. LIC. No. 24GS3540000

PROPOSED

**MINOR SUBDIVISION OF
 LOTS 8, 9 ~ BLOCK 35**
 32 & 14 North Peak Street
 Borough of Highlands
 Monmouth County, New Jersey

THOMAS P. SANTRY, P.A.
 ENGINEERS AND SURVEYORS
 ONE HUNDRED TWENTY EIGHT EAST RIVER ROAD
 RUMSON, NEW JERSEY 07760
 PHONE (732) 741-4800 FAX (732) 741-0084

PROJ. No. 22-074
 SCALE 1" = 20'
 DATE 7/29/22
 DRAWN BY MGB
 TAX MAP SHEET # 10
 SHEET 3 OF 3
 DRAWING No. HL2

GIORDANO, HALLERAN & CIESLAA PROFESSIONAL CORPORATION
ATTORNEYS AT LAWEVAN P. ZIMMERMAN, ESQ.
SHAREHOLDER
EZIMMERMAN@GHCLAW.COM
DIRECT DIAL: (732) 219-5496(732) 741-3900
FAX: (732) 224-6599

www.ghclaw.com

November 1, 2022

Client/Matter No. 13551-0023

LAWYERS SERVICENancy Tran, Land Use Board Secretary
Borough of Highlands
42 Shore Drive
Highlands, New Jersey 07732**RE: Home & Land Development Corp
14 North Peak and 32 North Peak
Block 35, Lots 8 & 9 (the "Property")**

Dear Ms. Tran:

This firm represents Home & Land Development Corp ("Applicant") with regard to an application for minor subdivision approval and bulk variance relief regarding the above-referenced Property. In connection with this Application, the Applicant proposes to subdivide the property into two (2) conforming building lots ("Application"). The property is located at 14 North and 32 North Peak, Highlands, NJ and designated as Block 35, Lots 8 & 9 on the Borough's Tax Map ("Property"). The Property is located in the R101 Zone.

In support of the application please find the following:

1. Original and five (5) copies of the completed application;
2. Five (5) full size copies of the Minor Site Plan prepared by Thomas P. Santry, P.L.S. of Thomas P. Santry, P.A., Engineers and Surveyors dated July 29, 2022 consisting of three (3) sheets
3. Original signed W-9;
4. Copy of the 200' property owner list dated April 20, 2022;
5. Check in the amount of \$525.00 made payable to the Borough of Highlands representing the application fee;

Page 2

6. Check in the amount of \$1,050.00 made payable to the Borough of Highlands representing the escrow fee

Please review the enclosed and advise the undersigned if you require any additional information, and the earliest this matter can be scheduled for public hearing.

Kindly acknowledge receipt of the enclosed submission by signing a copy of this letter enclosed and return same to my attention. Thank you.

JAG/dw

cc: via email

Charles Farkouh

Thomas P. Santry, P.L.S.

Michael Bruno, Esq.

Denise Wegryniak

Evan P. Zimmerman, Esq.

The undersigned hereby acknowledges receipt of the within documents this _____ day of _____, 2022

Docs #5976549-v1

GIORDANO, HALLERAN & CIESLAA PROFESSIONAL CORPORATION
ATTORNEYS AT LAWEVAN P. ZIMMERMAN, ESQ.
SHAREHOLDER
EZIMMERMAN@GHCLAW.COM
DIRECT DIAL: (732) 219-5496(732) 741-3900
FAX: (732) 224-6599

www.ghclaw.com

November 21, 2022

Client/Matter No. 13551-0023

Via Lawyers ServiceNancy Tran, Land Use Board Secretary
Borough of Highlands
42 Shore Drive
Highlands, New Jersey 07732**RE: Home & Land Development Corp
14 North Peak and 32 North Peak
Block 35, Lots 8 & 9 (the "Property")**

Dear Ms. Tran:

This firm represents Home & Land Development Corp ("Applicant") with regard to an application for minor subdivision approval and bulk variance relief regarding the above-referenced Property. Pursuant to your request, enclosed please find the following:

1. Check in the amount of \$525.00 representing the application fee
2. Check in the amount of \$1,050.00 representing the escrow fee

Please advise the undersigned if you require any additional information.

Very truly yours,



EVAN P. ZIMMERMAN

EVP/dw
Enclosures

Docs #6036547-v1

RECEIVED
NOV 22 2022
LAND USE BOARD



Borough of Highlands
42 Shore Drive, Highlands, NJ 07732
Phone: (732) 872-1224
www.highlandsborough.org

Zoning Permit Application

Note: All applications must be submitted with a property survey showing the sizes of the structure(s) and their location. Applications involving businesses must show the scope of the business and include all activities that will be a part of the business.

The following **NON-REFUNDABLE** fees shall apply: Residential Single & Two-Family \$25 Check # _____ Cash _____
Commercial/Other residential \$50 _____ Check # _____ Cash _____

APPLICANT Name: Home & Land Development Corp Date: November 4, 2022
Address: 88-1 Portland Road, Highlands, NJ 07732
Phone# 917-686-4111 Email: _____

LOCATION OF THE WORK

Block: 35 Lot(s): 8 & 9 Zone: R101
Street Address: 14 North Peak and 32 North Peak

DESCRIPTION OF THE WORK TO BE PERFORMED (OR USE PROPOSED)

Applicant proposes to subdivide the property into two conforming building lots and will construct two retaining walls at the property prior to constructing (2) residential homes

Check one: New* Addition* Alteration Repair Other

I certify the attached survey is accurate relating to existing and proposed improvements. In addition, I grant permission to the Borough of Highlands and their Agents to come onto the subject property, for the purposes of conducting inspections, relating to the application.

YES NO
Signature: [Signature] *Attorney for Applicant* Date: 11/4/22

FLOOD HAZARD AREA DETERMINATION

Check applicable Flood Zone: AE VE X
All applications within the AE and VE Flood Zones, as indicated upon the most recent FEMA Flood Maps, require submission of a determination from the NJDEP.

BOROUGH HALL USE ONLY

Determination: Approved Denied Zoning Officer: [Signature] (NGP)
If your application has been DENIED, it is due to the following: Date: 11-14-22
Ordinance Section Allowed/Required Proposed

Remarks: _____

Note: A Zoning Permit indicates that the proposed project conforms to the planning/zoning regulations of the Borough of Highlands. A building permit is required (per the requirements of the Uniform Construction Code of NJ) BEFORE beginning work. The Zoning Permit is valid for one year. If your application has been denied, you may appeal this denial to the Land Use Board as provided by the New Jersey Municipal Land Use Law. You must submit letter of appeal to the Land Use Board Secretary **within 20 days**.

* Note: Applications for New and Addition require a Flood Plain Review Application to the Borough Flood Administrator upon submission of this application.





HGPB- R1990

January 3, 2023

Nancy Tran, Land Use Board Secretary
 Borough of Highlands Land Use Board
 42 Shore Drive
 Highlands, New Jersey 07732

Via Email (ntran@highlandsborough.org)

**Re: Home & Land Development Corp
 14 North Peak and 32 North Peak
 Block 35, Lots 8 & 9
 Single Family Residential (R-101) Zone
 Minor Subdivision, Variance
 First Completeness Review**

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations section entitled Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure, and Article VIII, Plat and Plan Details, section 21-58.A – Minor Subdivision Plat.

The applicant submitted the following documents in support of this application:

1. Land Use Board Application for Subdivision and Variance dated November 18, 2022.
2. Minor Subdivision Plan prepared by Thomas P. Santry, Jr., P.L.S., dated July 29, 2022, consisting of one (1) sheet.

The following information was reviewed for completeness purposes pursuant to Ordinance Section 21-58.A:

Minor Subdivision Plat: The plat shall be prepared to scale, based on a current survey or some other similarly accurate base, at a scale of not less than one (1) inch equals one hundred (100) feet, to enable the entire tract to be shown on one (1) sheet. The plat shall be signed and sealed by a licensed New Jersey Land Surveyor and shall show or include the following information:

1. A key map at a scale of not less than 1" = 400' showing the location of that portion which is to be subdivided in relation to the entire tract and the surrounding area. **Provided.**
2. All existing structures, wooded areas and topographical features, such as slump blocks, within the portion to be subdivided and within seventy-five (75) feet thereof. **Partially provided.**
3. The name of the owner and all adjoining property owners and owners of property directly across the street as disclosed by the most recent municipal tax record. If there is no positive evidence of ownership of any parcel of adjoining property within two hundred (200) feet, a certificate will be presented from the custodian of tax records to that effect. **Provided.**
4. The Tax Map sheet, block and lot numbers. **Provided.**
5. All streets or roads and streams within seventy-five (75) feet of the subdivision. **Provided.**
6. Location of existing streets, and existing and proposed property lines, lot sizes, and areas. **Provided.**
7. Metes and bounds descriptions of all new lot and property lines. **Provided.**



Le: Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board

Re: Home & Land Development Corp
14 North Peak and 32 North Peak
Block 35, Lots 8 & 9
Single Family Residential (R-101) Zone
Minor Subdivision, Variance
First Completeness Review

- 8. Existence and location of any utility or other easement. **Not provided.**
- 9. Setback, sideline and rear yard distances and existing structures. **Provided.**
- 10. The name and address of the person preparing the plat, the graphic scale, date of preparation and reference meridian. **Provided.**
- 11. Certification from the Tax Collector that all taxes and assessments for local improvements on the property have been paid up to date. **Not provided.**
- 12. Certification statement for the required municipal signatures, stating: **Not Provided.**
 - o Application No. _____ approved/disapproved by the Highlands Borough Planning Board/Board of Adjustment as a Minor Subdivision on _____.
(date)

Chairman

Secretary

- 13. Certification statement for the County Planning Board approval / disapproval, if required. **Not applicable.**
- 14. Zone district boundary lines, if any, on or adjoining the property to be subdivided and a schedule indicating the required minimum lot area, lot width, lot depth and front, rear and side yards of each zone district located on the property. **Provided.**
- 15. A wetlands statement provided by a qualified expert. **Not provided.**
- 16. The Board reserves the right to require a feasible sketch plan layout of remaining land not being subdivided if it is deemed necessary. **The applicant has provided a generic house layout that demonstrates the sizes of proposed homes and the need for any additional setback relief.**
- 17. A lot grading plan, to be reviewed by the Borough Engineer, if required. **Provided.**

Several items noted above have not been submitted to the Board, and adequate information has not been provided in order to perform a technical review of the application. Therefore, this application is hereby deemed **INCOMPLETE** pending the submission of information to adequately address the above-referenced items noted as “partially provided” or “not provided”, along with the following:

- a. The plans show adjustments to the existing gutter and roadway within North Peak Street, including installation of a retaining wall and storm drainage improvements within the existing cartway area. It is unclear how the proposed lots will provide the required parking and access to the dwellings from the street. The layout as proposed may require variance relief and approval from the Governing Body.
- b. It appears that the applicant has previously demolished structures on both lots and performed clearing and some grading. The limit of disturbance already performed should be shown on the plans.



**Le: Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board**

**Re: Home & Land Development Corp
14 North Peak and 32 North Peak
Block 35, Lots 8 & 9
Single Family Residential (R-101) Zone
Minor Subdivision, Variance
First Completeness Review**

- c. The limit of grading/disturbance for the proposed improvements appears to comprise the entire property limits, including some off-tract elements.
- d. The applicant also notes the installation of a retaining wall within the unnamed 10' right of way to the south of the tracts, with no limit of disturbance or grading shown. The applicant shall provide evidence regarding title to this right of way, and under what authority they propose to install said improvements.
- e. It is my understanding that the prior dwelling on lot 9 utilized a septic system. The location and disposition of this should be shown on the plans.
- f. It is presumed that the proposed dwellings will have to connect into the Borough's sanitary sewer system located in Valley Avenue. The applicant shall review and identify their proposed method of connection, which may involve use of the 10' right of way previously mentioned.
- g. In addition to the above, the applicant shall identify means of utility connections for water and electric at a minimum, and identify their locations on the plans.
- h. The applicant shall document compliance with the Steep Slope Ordinance found at 21-84.B and provide calculations as required therein. In addition, means and methods for controlling velocity and rate of stormwater runoff shall be documented.

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

EWH:KJO:KFJ

cc: Michael Muscillo, Borough Administrator (mmuscillo@highlandsborough.org)
Ron Cucchiaro, Esq., Land Use Board Attorney (RCucchiaro@weiner.law)
Dustin Glass, Esq., Land Use Board Attorney (dglass@weiner.law)
Brian O'Callahan, Zoning Officer (bocallahan@middletownnj.org)
Home & Land Development Corp., Applicant (GNF718@aol.com)
Michael A. Bruno, Esq., Applicant's Attorney (mbruno@ghclaw.com)



HGPB- R1990
Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board
42 Shore Drive
Highlands, New Jersey 07732

January 5, 2023
Via Email (ntran@highlandsborough.org)

**Re: Home & Land Development Corp
14 North Peak and 32 North Peak
Block 35, Lots 8 & 9
Single Family Residential (R-101) Zone
Minor Subdivision, Variance
Fee Determination**

Dear Ms. Tran,

As requested, we have reviewed the above-referenced application in accordance with the Borough of Highlands Land Use Regulations Part 6 - Fee Schedule.

The applicant submitted the following documents in support of this application:

1. Land Use Board Application for Subdivision and Variance dated November 18, 2022.
2. Minor Subdivision Plan prepared by Thomas P. Santry, Jr., P.L.S., dated July 29, 2022, consisting of one (1) sheet.

Please note the following fee calculations:

- 1. Application fee: \$525.00**
- 2. Escrow fee: \$1,050.00**

The applicant shall post the balance of fees.

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

EWH:KJO:KFJ

cc: Michael Muscillo, Borough Administrator (mmuscillo@highlandsborough.org)
Ron Cucchiaro, Esq., Land Use Board Attorney (RCucchiaro@weiner.law)
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Home & Land Development Corp., Applicant (GNF718@aol.com)
Michael A. Bruno, Esq., Applicant's Attorney (mbruno@ghclaw.com)



HGPB-R1990

DETERMINATION OF FEES
Home & Land Development Corp - 14 North Peak and 32 North Peak
Block 35, Lot 8 & 9

A. APPLICATION FEES (Ord. 21-107)

A. Variances

3. Ord. 21-84.B (Steep Slopes & Slump Blocks) 1 EA \$ 125.00 \$ 125.00

B. Subdivisions

2. Minor 1 EA \$ 400.00 \$ 400.00

B. ESCROW FEES (Ord. 21-108)

B. Escrow Deposits (twice Application Fee; Minimum \$750) 1 LS \$ 1,050.00 \$ 1,050.00

Application fees subtotal \$ 525.00

Escrow fee subtotal \$ 1,050.00

Total \$ 1,575.00

GIORDANO, HALLERAN & CIESLAA PROFESSIONAL CORPORATION
ATTORNEYS AT LAWEVAN P. ZIMMERMAN, ESQ.
SHAREHOLDER
EZIMMERMAN@GHCLAW.COM
DIRECT DIAL: (732) 219-5496(732) 741-3900
FAX: (732) 224-6599

www.ghclaw.com

May 4, 2023

Client/Matter No. 13551-0023

Via Lawyers ServiceNancy Tran, Land Use Board Secretary
Borough of Highlands
42 Shore Drive
Highlands, New Jersey 07732**RE: Home & Land Development Corp
Minor Subdivision and Bulk Variance Relief
14 North Peak and 32 North Peak
Block 35, Lots 8 & 9 (the "Property")**

Dear Ms. Tran:

This firm represents the applicant, Home & Land Development Corp with regard to the above application submitted on November 1, 2022.

In response to the first completeness review letter prepared by T & M Associates dated January 3, 2023, we hereby supplement our application to include the following:

1. Five (5) full size copies of the Minor Site Plan prepared by Thomas P. Santry, P.L.S. of Thomas P. Santry, P.A., Engineers and Surveyors dated July 29, 2022 consisting of three (3) sheets which now include the plans from Garden State Precast entitled "Stone Strong System – Gravity Retaining Wall Profile/Elevation/Plan Review" consisting of eight (8) sheets.
2. Tax Certifications for Block 35, Lots 8 and 9 dated May 4, 2023.
3. Tree Permit Application dated September 21, 2021 (Block 35, Lot 8) approved on September 27, 2021
4. Tree Permit Application dated September 21, 2021 (Block 35, Lot 9) approved on September 27, 2021
5. Application for Street Excavation Permit dated October 7, 2021
6. Freehold Soil Conservation District Project Exempt letter dated October 12, 2021

Page 2

Please advise the undersigned if you require any additional information.

Very truly yours,



EVAN P. ZIMMERMAN

EVP/dw

Enclosures

cc: Charles Farkouh

Thomas P. Santry, P.L.S.

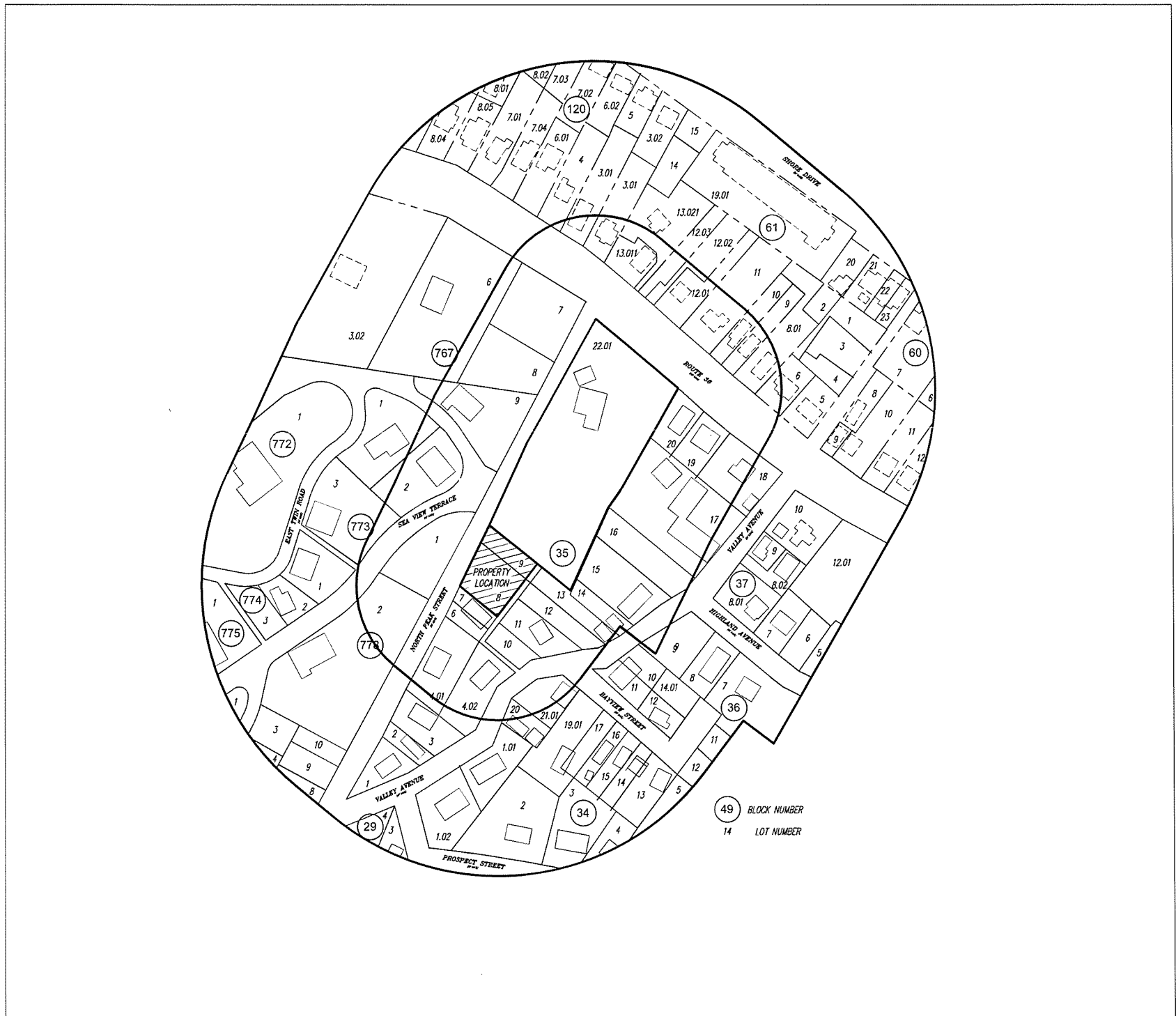
Michael Bruno, Esq.

Denise Wegryniak

Evan P. Zimmerman, Esq.

Docs #6234319-v1

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LIST OF OWNERS WITHIN 200 FEET		LIST OF OWNERS WITHIN 200 FEET (CONTINUED)			
BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER
758	1.01	MONMOUTH HILLS INC. ACCESS PROP MGMT 1050 KING GEORGES POST RD EDISON, NJ 08837	35	22.01	DEBOLD PROVED & WISSELE 271 MADISON AVENUE HIGHLANDS, NJ 07732
770	1	MONMOUTH HILLS INC. ACCESS PROP MGMT 1050 KING GEORGES POST RD EDISON, NJ 08837	35	4.02	MALONE PATRICK FRANCES & PAULA ANN 110 VALLEY AVENUE HIGHLANDS, NJ 07732
35	6	ALVATOR DONNA 10 NORTH PEAK STREET HIGHLANDS, NJ 07732	35	15	AUER EDWARD W & EVELYN 82 VALLEY AVENUE HIGHLANDS, NJ 07732
35	10	DORN JOSEPH & JOSEPH DORN LW 102 VALLEY AVENUE HIGHLANDS, NJ 07732	767	9	FARRON LEONORA A & GEOR W PO BOX 646 HAWESKING, NJ 07732
35	12	DORN JOSEPH & JOSEPH DORN LW 102 VALLEY AVENUE HIGHLANDS, NJ 07732	770	2	ONEZ MICHAEL & KATHY 34 SEAWAY TERR HIGHLANDS, NJ 07732
35	8	FELICIANO JERRY 202 N BROUGHTON SQUARE BOYNTON BEACH, FL 33438	774	1	MAGLIUFF COLLEEN FLOREN 38 E TWIN RD HIGHLANDS, NJ 07732
35	14	HEWMAN SR RONALD & NANCY 84 VALLEY AVENUE HIGHLANDS, NJ 07732	773	2	REINHAUER ODAC 32 SEAWAY TERR HIGHLANDS, NJ 07732
34	20	109 VALLEY AVE LLC 13 JARED LANE LITTLE EGG HARBOR, NJ 08087	773	3	GLASS KEVIN 37 E TWIN RD HIGHLANDS, NJ 07732
35	7	ALVATOR DONNA 10 NORTH PEAK STREET HIGHLANDS, NJ 07732	35	16	FEDAKO KERRY & VALERIA ENRIQUE 75 VALLEY AVE HIGHLANDS, NJ 07732
34	1.01	LEWIS JERRY & MADYA 111 VALLEY AVE HIGHLANDS, NJ 07732	35	17	VALLEY AVENUE MANAGEMENT LLC 82 VALLEY AVENUE HIGHLANDS, NJ 07732
34	24.01	WAGNER PETER 101 VALLEY AVENUE HIGHLANDS, NJ 07732	35	4.01	JOHNSON EDWARD W 2 NORTH PEAK STREET HIGHLANDS, NJ
35	11	DORN JOSEPH & JOSEPH DORN 102 VALLEY AVENUE HIGHLANDS, NJ 07732	773	1	PHAR ARTHUR H & RUCKELMANN 38 E TWIN ROAD HIGHLANDS, NJ 07732
35	9	HOME & LAND DEVELOPMENT CORP 83-1 PORTLAND ROAD HIGHLANDS, NJ 07732	767	6	
36	11	BROWN GARY & PAWELA 87 VALLEY AVE HIGHLANDS, NJ 07732	61	10	
35	13	SEROKS DEMETRIOS 86 VALLEY AVENUE HIGHLANDS, NJ 07732	61	12.01	

UTILITY AND GOVERNMENTAL AGENCY TO BE NOTIFIED

JCP&L
JOD MADISON AVENUE
PO BOX 1911
MORRISTOWN, NJ 07960

NEW JERSEY AMERICAN WATER COMPANY
ATTN: CONSTRUCTION DEPARTMENT
661 SHREWSBURY AVE
SHREWSBURY, NJ 07702

COMCAST COMMUNICATIONS OF MONMOUTH COUNTY
RON BERTRAND, CONSTRUCTION FOREMAN
403 SOUTH ST
EATONTOWN, NJ 07724

VERIZON COMMUNICATIONS
ONE VERIZON WAY
BASKING RIDGE, NJ 07920

TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY
RAYMOND J. NIERSTEDT, P.E., EXECUTIVE DIRECTOR
PO BOX 205, 100 BEVERLY WAY
BELFORD, NJ 07718

NJ NATURAL GAS COMPANY
PO BOX 1464, 1415 WYCKOFF ROAD
WALL, NJ 07719

MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY
ATTN: EXECUTIVE DIRECTOR
PO BOX 184, 200 HARBOR WAY
BELFORD, NJ 07718

Application No. _____ approved/disapproved by the Highlands Borough Planning Board/Board of Adjustment as a Minor Subdivision on _____ (date)

Chairman _____

Secretary _____

NO WETLANDS EXIST ON THIS PROPERTY.

I HEREBY CERTIFY THAT THIS IS A TRUE AND ACCURATE SURVEY MADE ON THE GROUND. THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN.

IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL IT IS NOT AN ORIGINAL.

Rev. 5/1/23 Add Cert.

**MINOR SUBDIVISION OF
LOTS 8 & 9 ~ BLOCK 35
32 & 14 North Peak Street
Borough of Highlands
Monmouth County, New Jersey**

RESPONSIBLE PROFESSIONAL'S SIGNATURE DATE:
THOMAS P. SANTRY, JR., P.L.S.
PROFESSIONAL LAND SURVEYOR
P.L.S. LIC. No. 24GS3540000

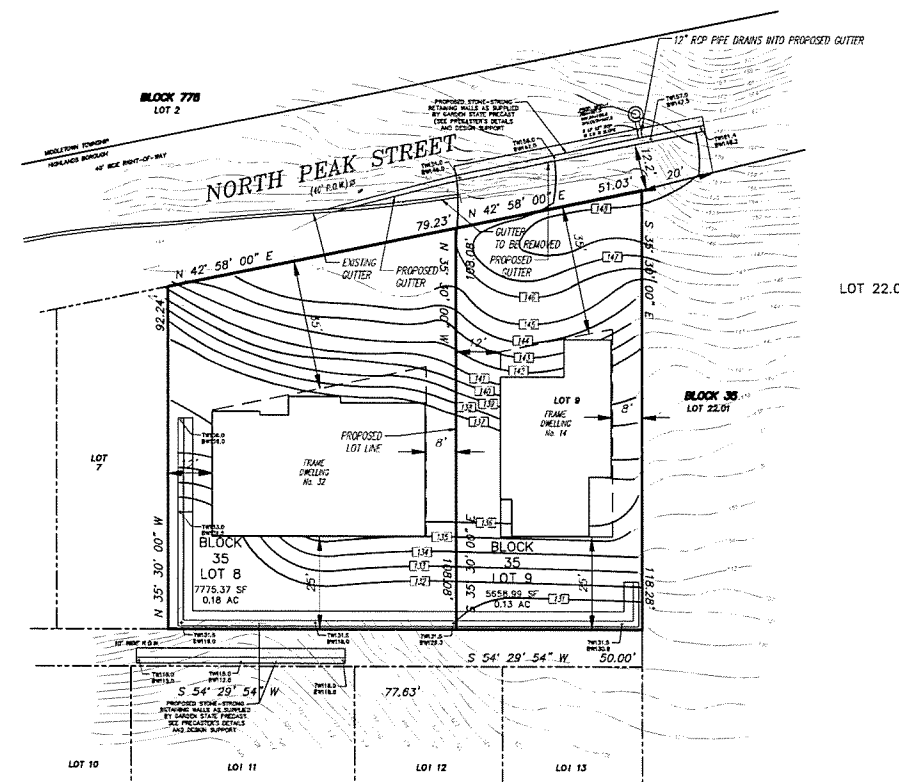
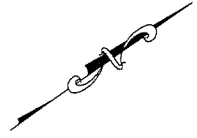
THOMAS P. SANTRY, P.A.
ENGINEERS AND SURVEYORS
ONE HUNDRED TWENTY EIGHT EAST RIVER ROAD
RUMSON, NEW JERSEY 07760
PHONE (732) 741-4800 FAX (732) 741-0084

SCALE: 1" = 100'

22-074
1" = 100'
7/29/22
MGB
10
1
3
HL254

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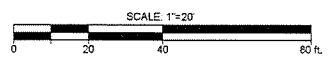
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- NOTES:
1. TOPOGRAPHY AND GRADING OBTAINED FROM A CERTAIN MAP ENTITLED "GRADING PLAN FOR HOME & LAND DEVELOPMENT CORP. BLOCK 35 LOT 9" SAID MAP WAS DRAWN BY EASTERN CIVIL ENGINEERING, LLC ON 2/10/22. PROJECT NO. 2101980
 2. SILT FENCE SHALL BE PLACED AROUND THE PERIMETER OF THE LIMITS OF DISTURBANCE AND REMAIN UNTIL SOIL IS STABILIZED
 3. APPLICANT TO REPAIR ANY DAMAGED CURB OR PAVEMENT AS PART OF CONSTRUCTION
 4. ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988
 5. VARIANCE REQUESTED STEEP SLOPES ANALYSIS

BOROUGH OF HIGHLANDS
 SCHEDULE OF LIMITATIONS
 ZONE "R-1.01"

	PROPOSED	
	LOT 8	LOT 9
PERMITTED USE		
MINIMUM LOT AREA	5,000 SF	7,775.37 SF
MINIMUM LOT DEPTH	100 FT	108.08'
MINIMUM LOT FRONTAGE	50 FT	79.23'
PRINCIPAL STRUCTURE		
MINIMUM FRONT SETBACK	35 FEET	35 FEET
MINIMUM REAR SETBACK	25 FEET	25 FEET
MINIMUM SIDE SETBACK	8/12 FEET	8/12 FEET
MAX LOT COVERAGE	70%	N/A
MAX BUILDING COVERAGE	30%	26.1%
MAX BUILDING HEIGHT	30 FEET	N/A



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Rev. 5/1/23

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Thomas P. Santry
 RESPONSIBLE PROFESSIONAL'S SIGNATURE DATE:
 THOMAS P. SANTRY, P.L.S.
 PROFESSIONAL LAND SURVEYOR
 P.L.S. LIC. NO. 24633540000

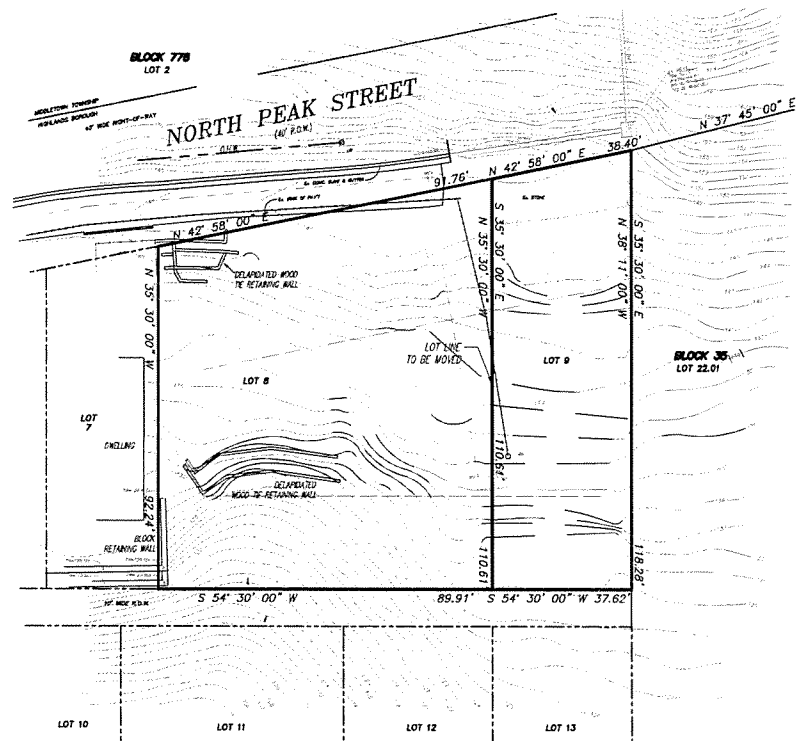
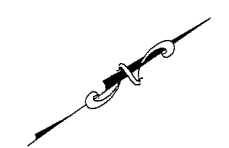
MINOR SUBDIVISION OF
 LOTS 8 & 9 ~ BLOCK 35
 32 & 14 North Peak Street
 Borough of Highlands
 Monmouth County, New Jersey

THOMAS P. SANTRY, P.A.
 ENGINEERS AND SURVEYORS
 ONE HUNDRED TWENTY EIGHT EAST RIVER ROAD
 RUMSON, NEW JERSEY 07760
 PHONE (732) 741-4800 FAX (732) 741-0084

22-074
 1" = 20'
 7/29/22
 MGB
 10
 3
 3
 HL 254

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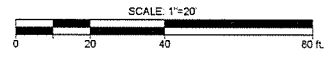
LOT 22.01

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Rev. 5/1/23 Add Wall

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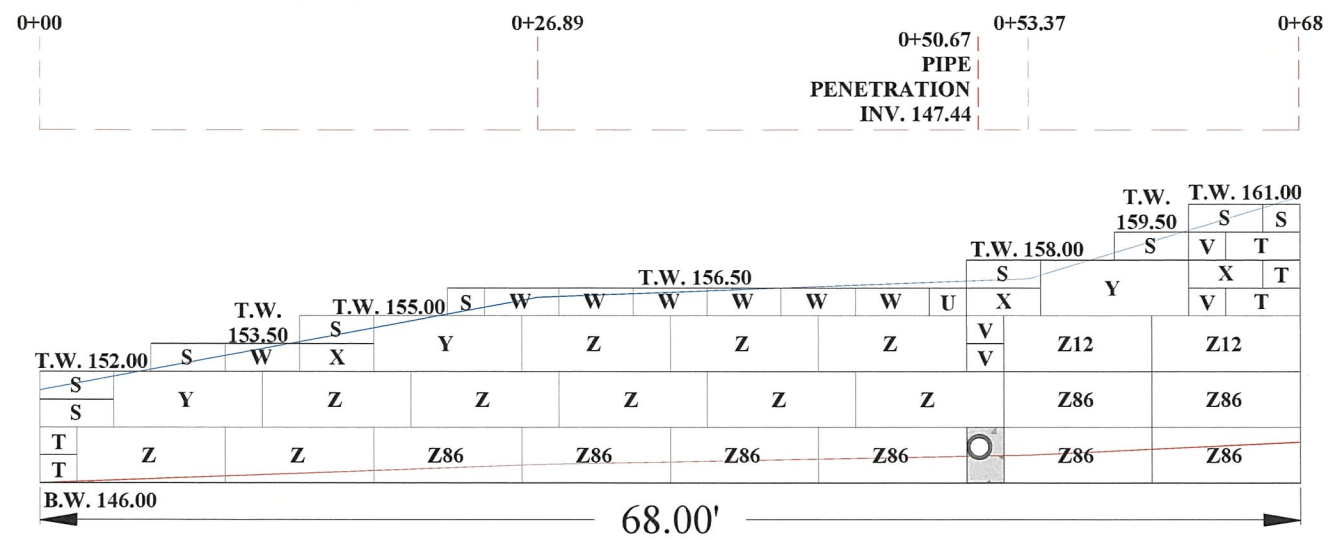
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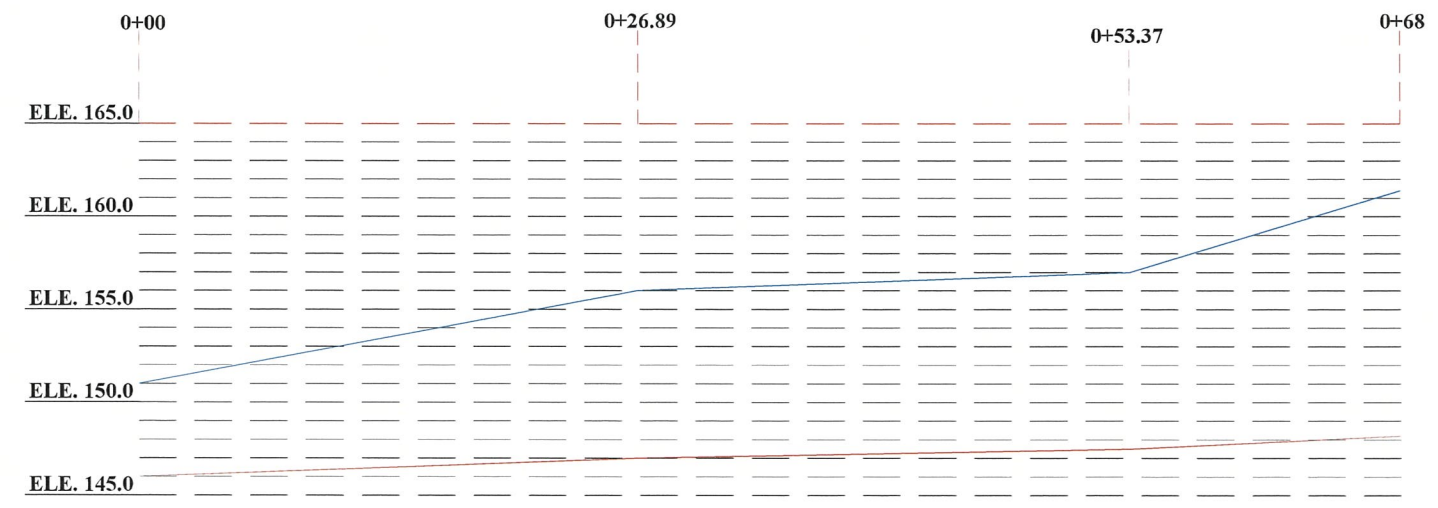
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RESPONSIBLE PROFESSIONAL'S SIGNATURE DATE:
THOMAS P. SANTRY, JR., P.L.S.
 PROFESSIONAL LAND SURVEYOR
 P.L.S. LIC. No. 24GSJ540000

MINOR SUBDIVISION OF LOTS 8 & 9 ~ BLOCK 35 32 & 14 North Peak Street Borough of Highlands Monmouth County, New Jersey		FILE NO. 22-074 SCALE 1" = 20' DATE 7/29/22 TYPED BY MGB NO. OF SHEETS 10 SHEET 2 OF 3 DRAWING NO. HL254
THOMAS P. SANTRY, P.A. ENGINEERS AND SURVEYORS ONE HUNDRED TWENTY EIGHT EAST RIVER ROAD RUMSON, NEW JERSEY 07760 PHONE (732) 741-4800 FAX (732) 741-0084		

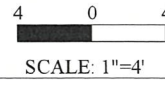
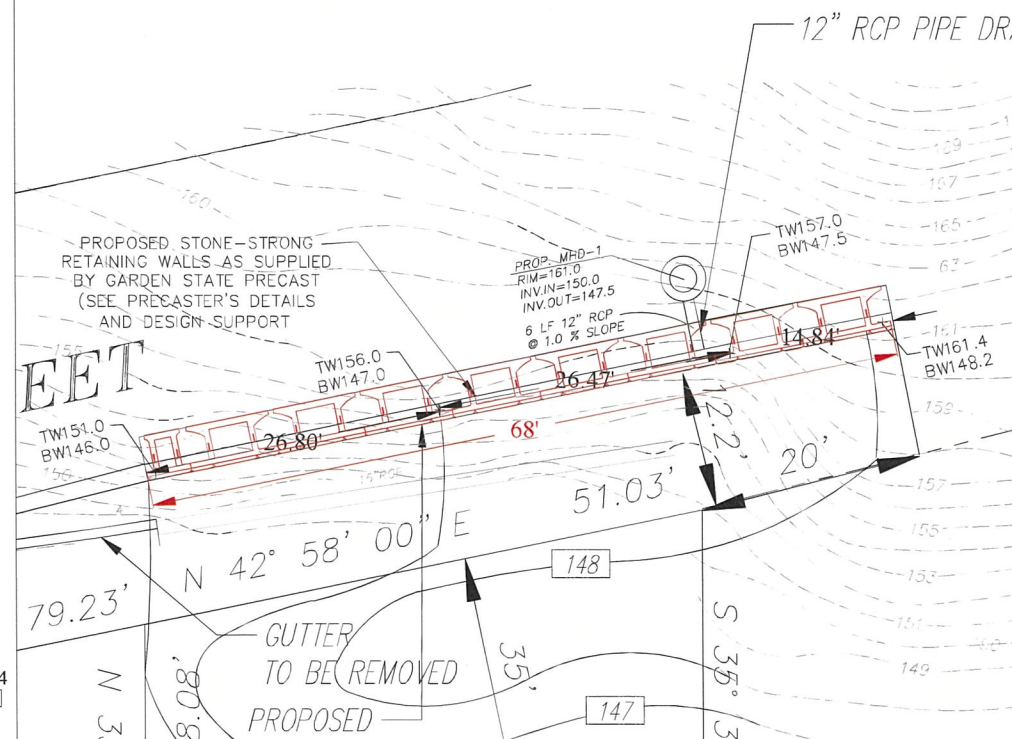


PROFILE VIEW-WALL 1



ELEVATION VIEW-WALL 1

WALL 1 -BLOCK TABLE		
BLOCK	SF	QUANTITY
Z	24	10
Z12	24	2
Z86	24	8
Y	24	3
X	6	3
W	6	7
S	9	9
T	6	5
V	3	4
U	3	1



PLEASE NOTE DRAWING IS STAMPED BY PE AND SLIGHT MODIFICATIONS MAY OCCUR IN PE REVIEW

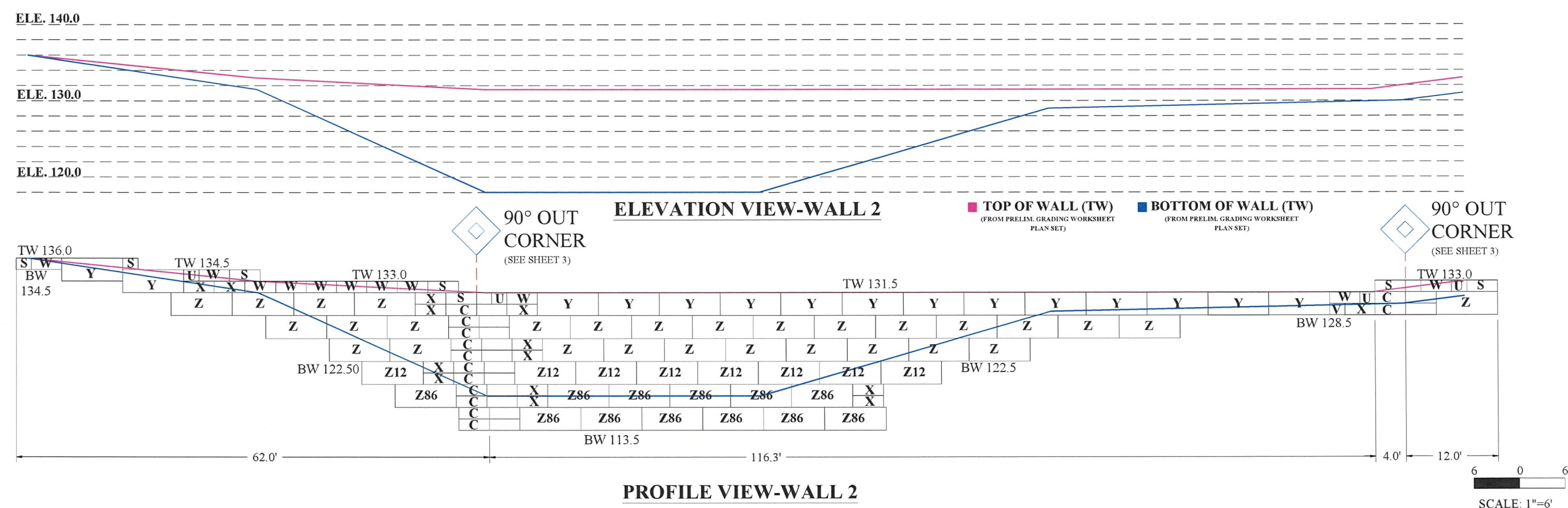
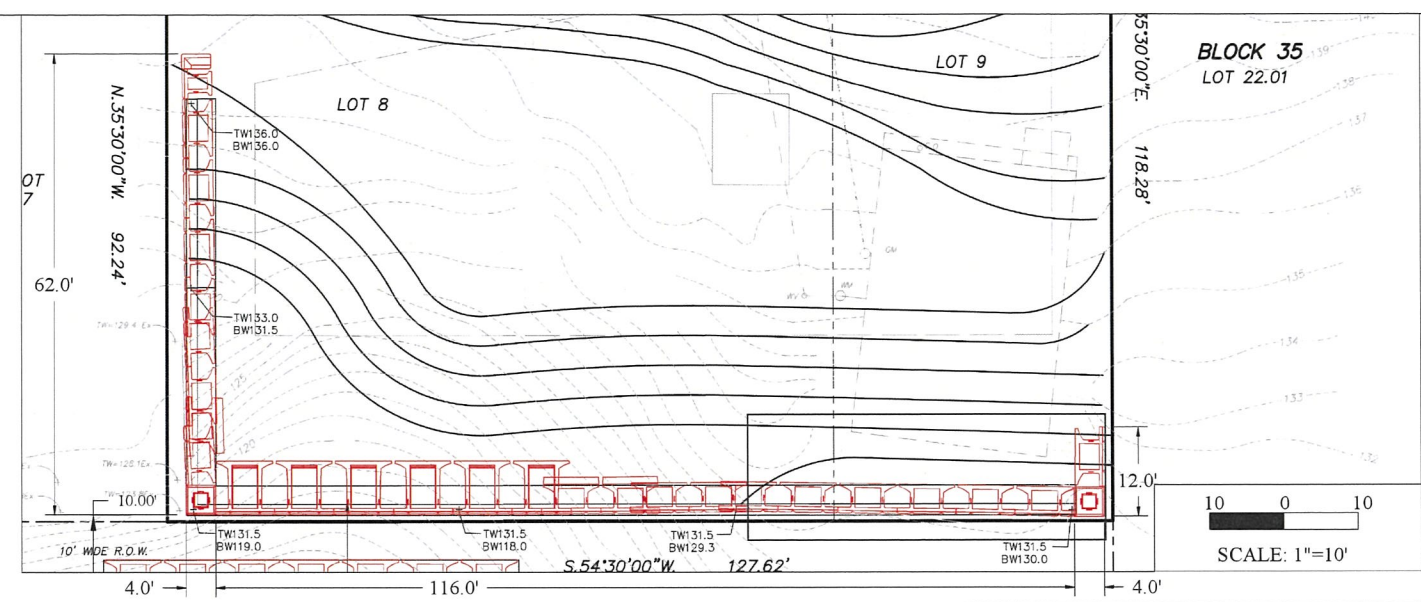
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NEW SURVEY DATA	R4	12/15/21
COMPILED DRAWINGS	R3	11/15/21
CONFIRMED LAYOUT	R2	11/12/21
REVISION TO DRAWINGS		

STONE STRONG SYSTEM - GRAVITY RETAINING WALL
 PROFILE / ELEVATION / PLAN VIEW - WALL 1
 HOME & LAND DEVELOPMENT
 NORTH PEAK STREET
 #21-54385

GARDEN STATE PRECAST
 P.O. BOX 702
 FARMINGDALE, NJ 07727
 732-938-4436
 732-938-7096 - FAX

SHEET 1 OF 8

WALL 2 - BLOCK TABLE		
BLOCK	SF	QUANTITY
Y	24	15
Z	24	29
X	6	14
W	6	11
Z12	24	8
Z86	24	12
S	9	7
U	3	4
C	6	13
V	3	1



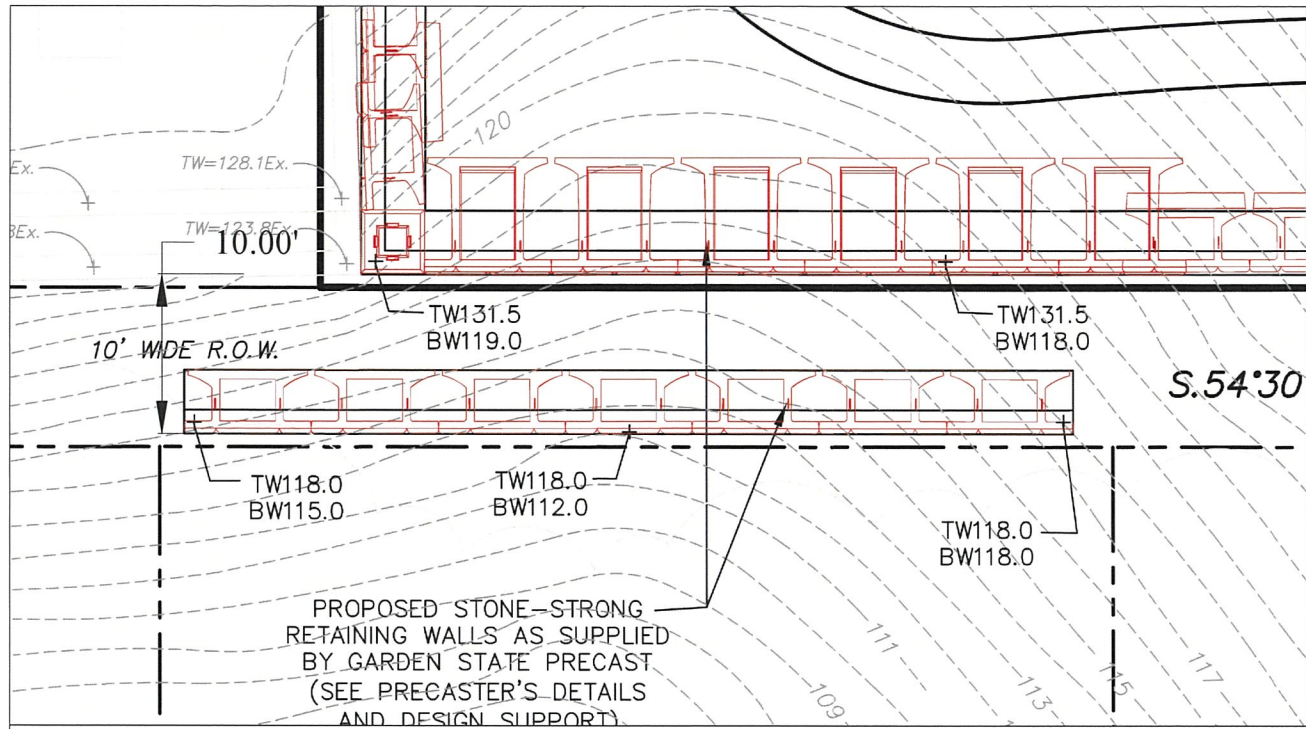
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DESCRIPTION	DWG. NO.	APP. DATE
NEW SURVEY DATA	R5	01/16/23
NEW SURVEY DATA	R4	12/15/21
COMPILED DRAWINGS	R3	11/15/21
CONFIRMED LAYOUT	R2	11/12/21
EXTENDED WALL	R1	11/5/21
REVISION TO DRAWINGS		

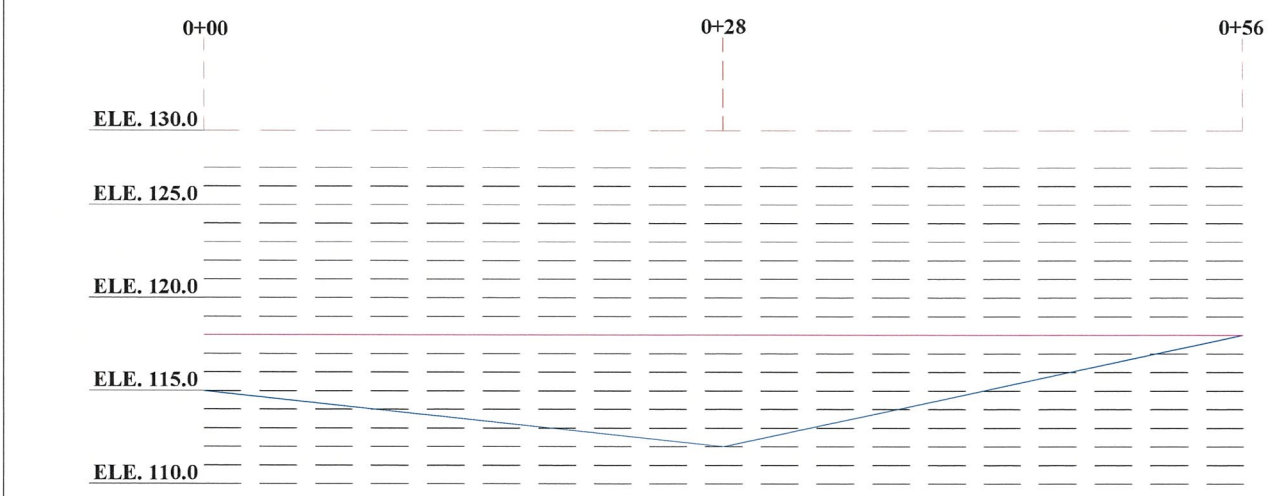
STONE STRONG SYSTEM - GRAVITY RETAINING WALL
 PROFILE / ELEVATION / PLAN VIEW - WALL 2
 HOME & LAND DEVELOPMENT
 NORTH PEAK STREET
 #21-54385

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 P.O. BOX 702
 FARMINGDALE, NJ 07727
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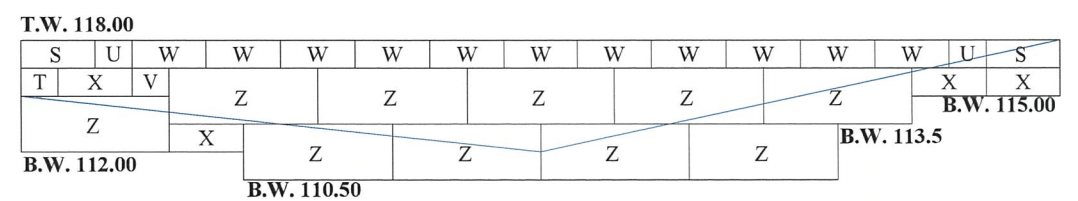
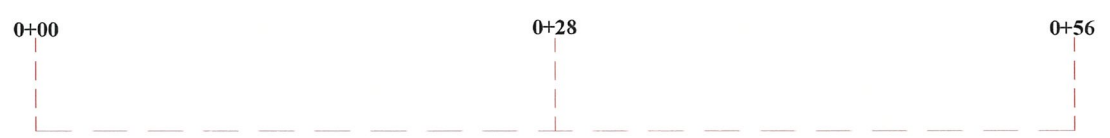
SHEET 2 OF 8



WALL 3 -BLOCK TABLE		
BLOCK	SF	QUANTITY
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X	6	4
S	9	2
T	6	1
V	3	1
W	6	11
U	3	2

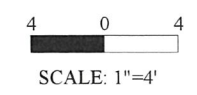


ELEVATION VIEW-WALL 1



PROFILE VIEW-WALL 1

- TOP OF WALL (TW)
(FROM PRELIM. GRADING WORKSHEET PLAN SET)
- BOTTOM OF WALL (TW)
(FROM PRELIM. GRADING WORKSHEET PLAN SET)



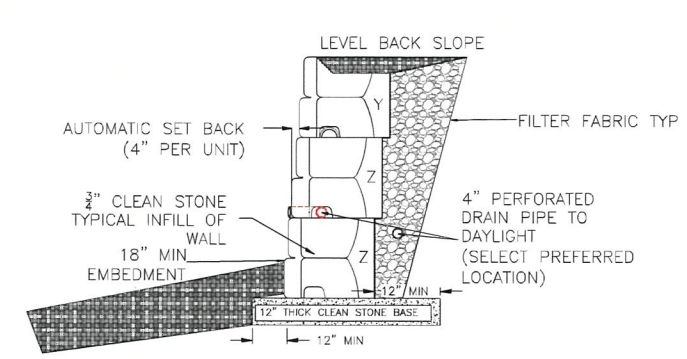
PLEASE NOTE DRAWING IS STAMPED BY PE AND SLIGHT MODIFICATIONS MAY OCCUR IN PE REVIEW

NEW SURVEY DATA	R5	1/16/23
NEW SURVEY DATA	R4	12/15/21
COMPILED DRAWINGS	R3	11/15/21
CONFIRMED LAYOUT	R2	11/12/21
DESCRIPTION	DWG. NO.	APP. DATE
REVISION TO DRAWINGS		

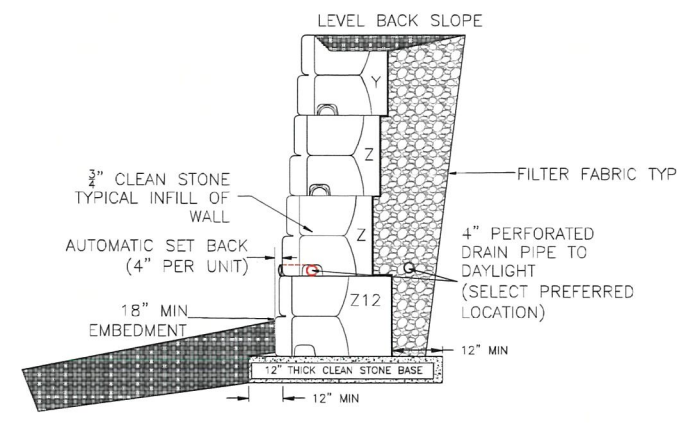
STONE STRONG SYSTEM - GRAVITY RETAINING WALL
PROFILE / ELEVATION/ PLAN VIEW- WALL 3
HOME & LAND DEVELOPMENT
NORTH PEAK STREET
#21-54385

GARDEN STATE PRECAST
P.O. BOX 702
FARMINGDALE, NJ 07727
732-938-4436
732-938-7096 - FAX

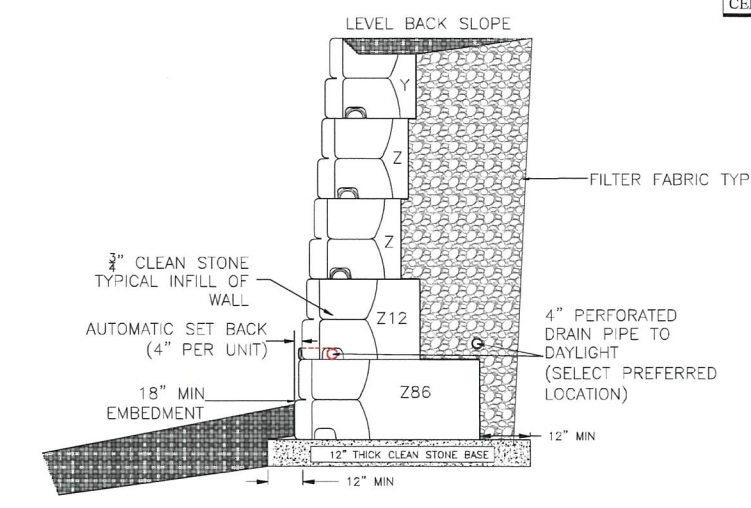
SHEET 3 OF 8



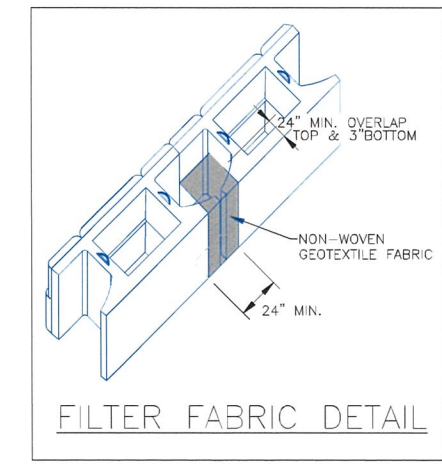
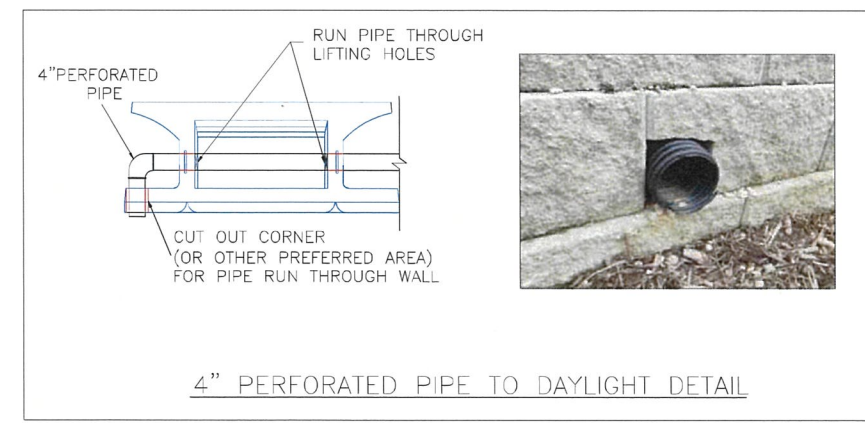
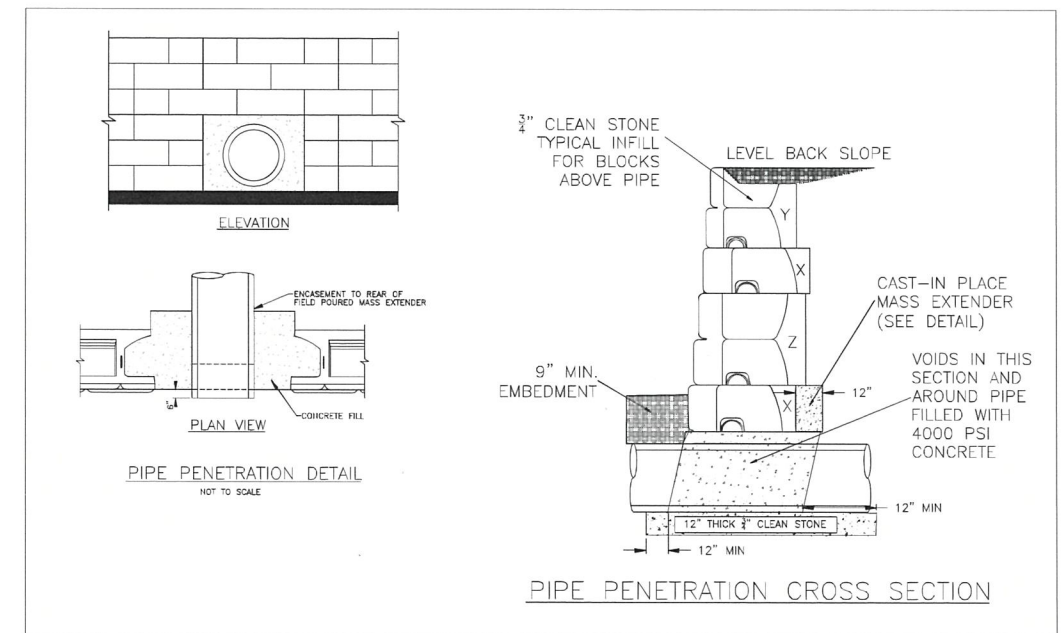
1.5-9.0 VF GRAVITY WALL
CROSS SECTION



10.5-12.0 VF GRAVITY WALL
CROSS SECTION



13.5-15.0 VF GRAVITY WALL
CROSS SECTION



FILTER FABRIC DETAIL



PLEASE NOTE DRAWING IS STAMPED BY PE AND SLIGHT MODIFICATIONS MAY OCCUR IN PE REVIEW

SCALE: NTS

DESCRIPTION	DWG. NO.	APP. DATE
NEW SURVEY DATA	R5	01/16/23
NEW SURVEY DATA	R4	12/15/21
COMPILED DRAWINGS	R3	11/15/21
CONFIRMED LAYOUT	R2	11/12/21
EXTENDED WALL	R1	11/5/21
REVISION TO DRAWINGS		

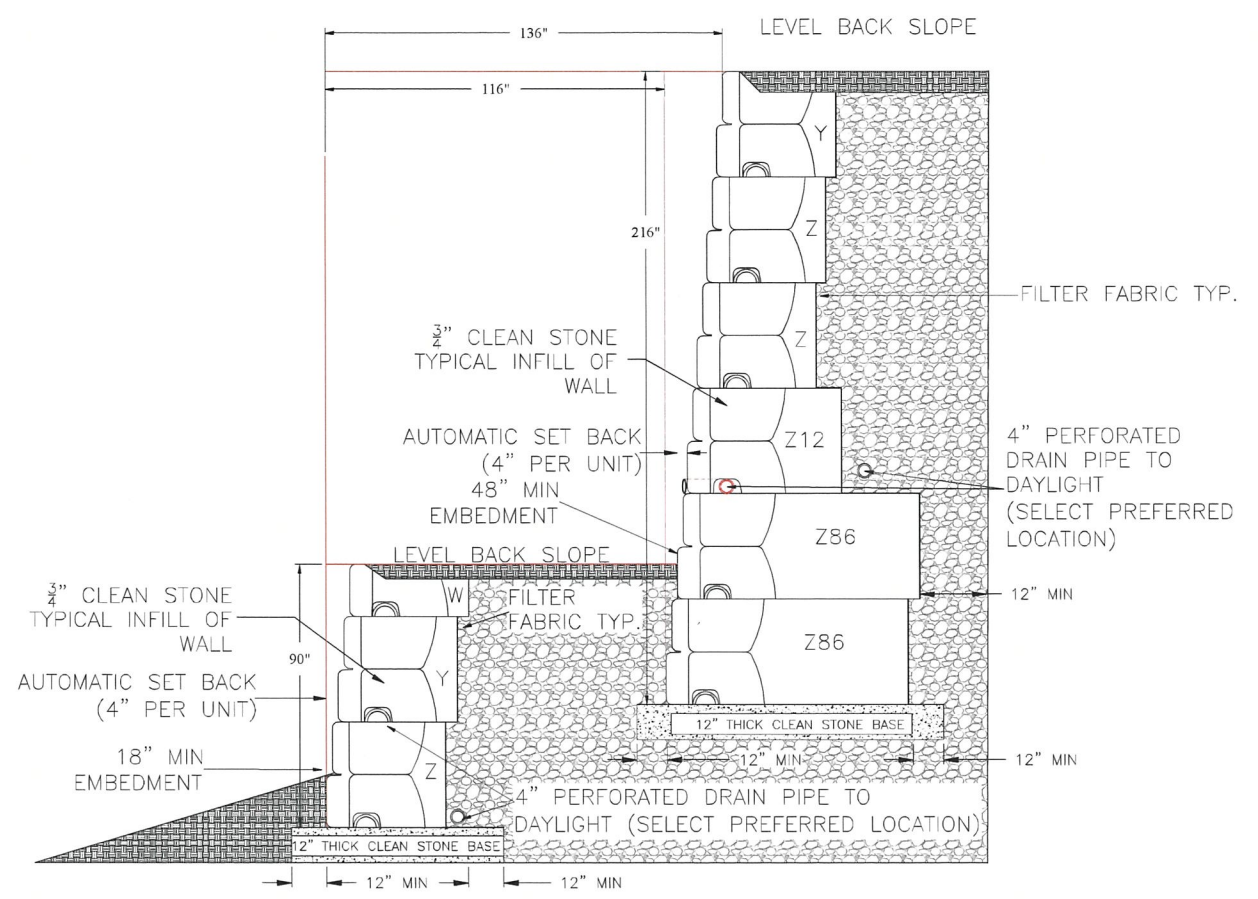
SECTION DETAILS FOR WALL 1 AND WALL 2

STONE STRONG SYSTEM - GRAVITY RETAINING WALL

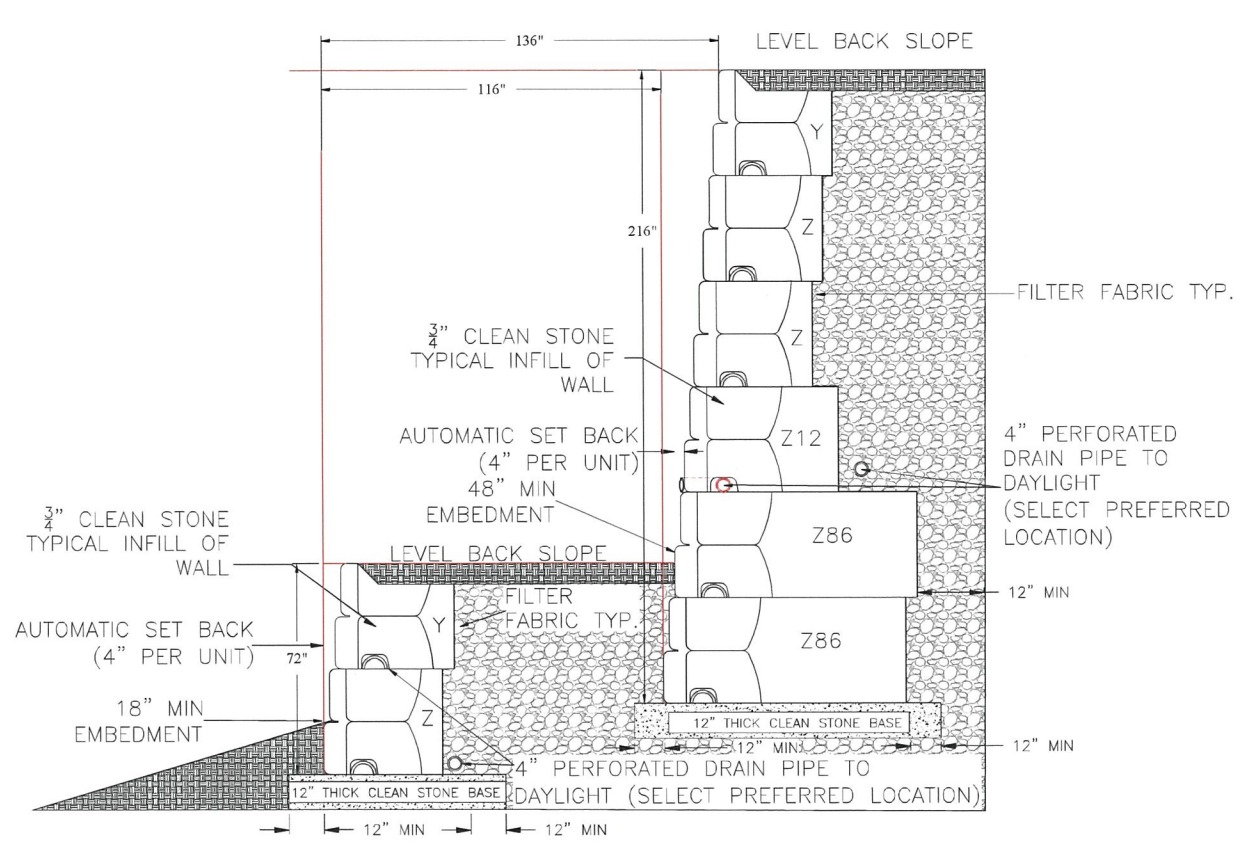
HOME & LAND DEVELOPMENT
NORTH PEAK STREET
#21-54385

GARDEN STATE PRECAST
P.O. BOX 702
FARMINGDALE, NJ 07727
732-938-4436
732-938-7096 - FAX

SHEET 4 OF 8



7.5 TO 18.0 VF TIERED GRAVITY WALL
CROSS SECTION



6 TO 18.0 VF TIERED GRAVITY WALL
CROSS SECTION



PLEASE NOTE DRAWING IS STAMPED BY PE AND SLIGHT
MODIFICATIONS MAY OCCUR IN PE REVIEW

SCALE: NTS

DESCRIPTION	DWG. NO.	APP. DATE
NEW SURVEY DATA	R5	01/16/23
NEW SURVEY DATA	R4	12/15/21
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CONFIRMED LAYOUT	R2	11/12/21
EXTENDED WALL	R1	11/5/21
REVISION TO DRAWINGS		

SECTION DETAILS FOR WALL 2 AND WALL 3

STONE STRONG SYSTEM - GRAVITY RETAINING WALL

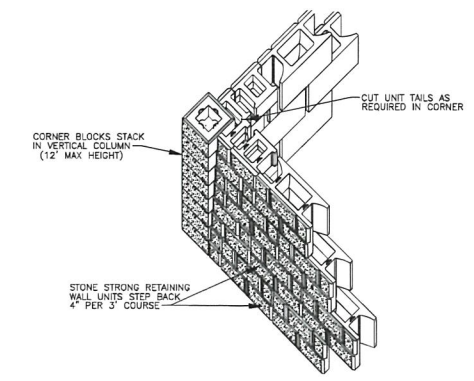
HOME & LAND DEVELOPMENT
NORTH PEAK STREET
#21-54385

GARDEN STATE PRECAST
P.O. BOX 702
FARMINGDALE, NJ 07727
732-938-4436
732-938-7096 - FAX

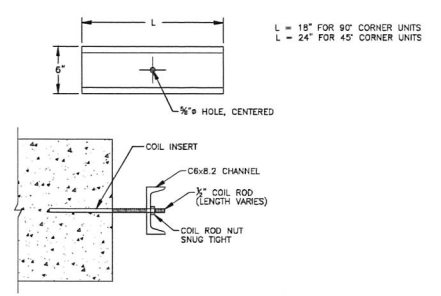
SHEET 5 OF 8



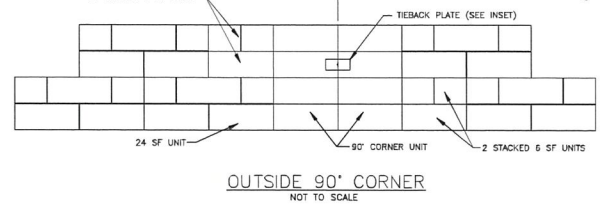
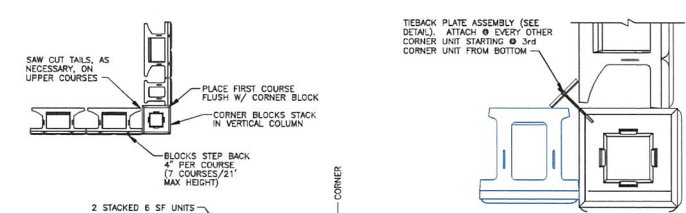
NOTE: TIEBACK RECOMMENDED FOR CORNERS 12' AND TALLER,
INSTALL TIE BACK EVERY 3' VERTICALLY
STARTING AT 3' ABOVE THE BASE.



OUTSIDE 90° CORNER—PERSPECTIVE VIEW
NOT TO SCALE



TIEBACK PLATE ASSEMBLY
NOT TO SCALE



OUTSIDE 45°/90° CORNER DETAIL



PLEASE NOTE DRAWING IS STAMPED BY PE AND SLIGHT MODIFICATIONS MAY OCCUR IN PE REVIEW

SCALE: NTS

DESCRIPTION	DWG. NO.	APP. DATE
NEW SURVEY DATA	R5	01/16/23
NEW SURVEY DATA	R4	12/15/21
COMPILED DRAWINGS	R3	11/15/21
CONFIRMED LAYOUT	R2	11/12/21
EXTENDED WALL	R1	11/5/21
REVISION TO DRAWINGS		

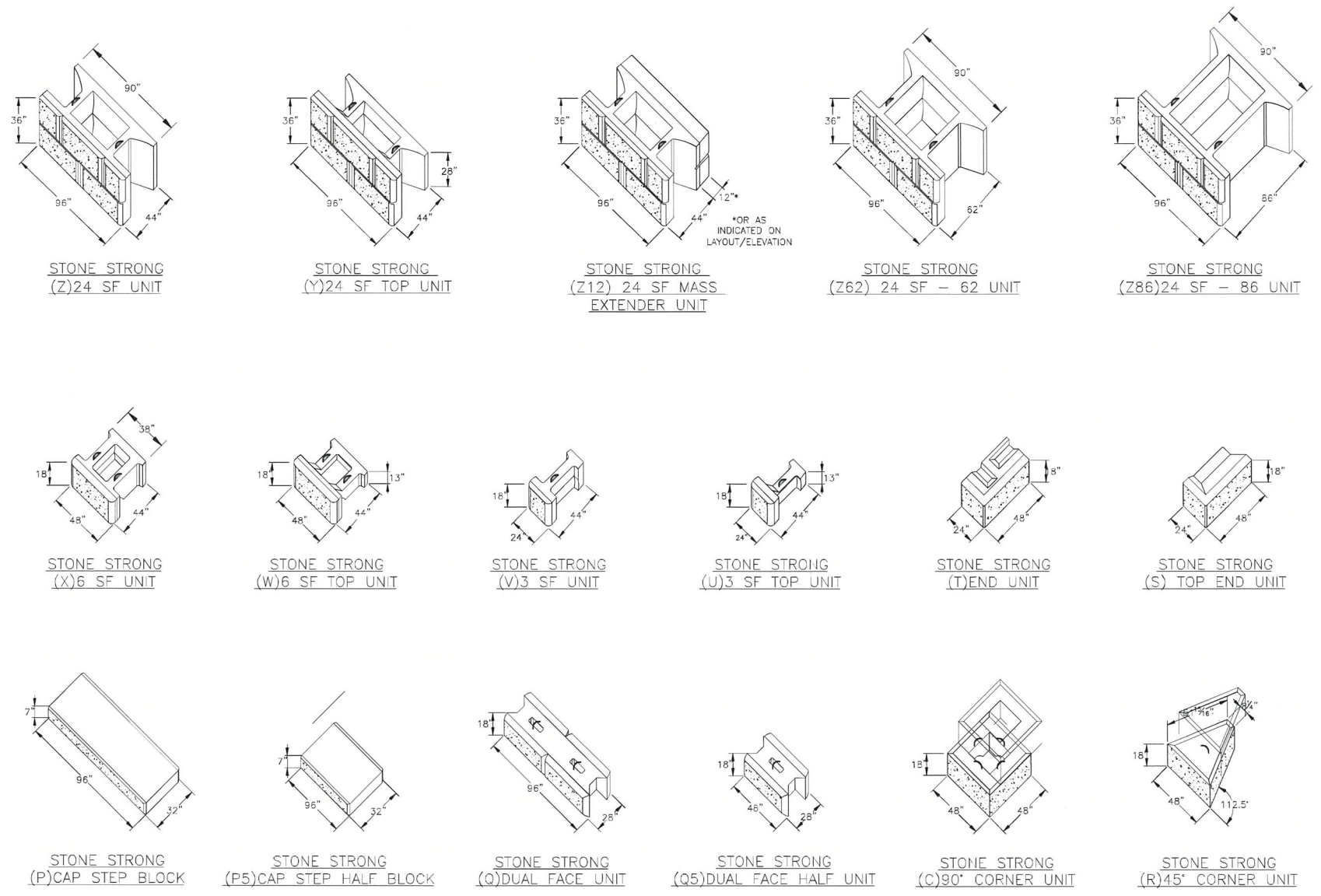
MISC. DETAILS FOR WALL 1/2

STONE STRONG SYSTEM - GRAVITY RETAINING WALL

HOME & LAND DEVELOPMENT
NORTH PEAK STREET
#21-54385

GARDEN STATE PRECAST
P.O. BOX 702
FARMINGDALE, NJ 07727
732-938-4436
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SHEET 6 OF 8



COMPONENT DATA			
COMPONENT	BLOCK WEIGHT	CONCRETE VOLUME	ROCK IN-FILL
24 SF(Z)	6000 LB	1.50 CU YARDS	1.70 CU YARDS
24 SF TOP(Y)	5,400 LB	1.35 CU YARDS	1.50 CU YARDS
24 SF MASS EXTENDER(Z12)	10,000 LB	2.5 CU YARDS	1.70 CU YARDS
24 SF -62 UNIT(Z62)	6,600 LB	1.65 CU YARDS	2.81 CU YARDS
24 SF -86 UNIT(Z86)	7,400 LB	1.85 CU YARDS	4.27 CU YARDS
6 SF(X)	1,600 LB	0.37 CU YARDS	0.33 CU YARDS
6 SF TOP (W)	1,400 LB	0.35 CU YARDS	0.31 CU YARDS
3 SF(V)	800 LB	0.20 CU YARDS	0.17 CU YARDS
3 SF TOP(U)	720 LB	0.18 CU YARDS	0.16 CU YARDS
END UNIT(T)	1,500 LB	0.37 CU YARDS	0.00 CU YARDS
END UNIT TOP(S)	1,412 LB	0.35 CU YARDS	0.00 CU YARDS
CAP/STEP UNIT(P)	1,600 LB	0.40 CU YARDS	0.00 CU YARDS
CAP/STEP HALF UNIT(P5)	800 LB	0.20 CU YARDS	0.00 CU YARDS
DUAL FACE UNIT(Q)	3,520 LB	0.88 CU YARDS	0.00 CU YARDS
DUAL FACE HALF UNIT(Q5)	1,760 LB	0.44 CU YARDS	0.00 CU YARDS
90 DEGREE CORNER UNIT(C)	2,600 LB	0.65 CU YARDS	0.10 CU YARDS
45 DEGREE CORNER UNIT(R)	2,000 LB	0.50 CU YARDS	0.00 CU YARDS



PLEASE NOTE DRAWING IS STAMPED BY PE AND SLIGHT MODIFICATIONS MAY OCCUR IN PE REVIEW

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NEW SURVEY DATA	R4	12/15/21
COMPILED DRAWINGS	R3	11/15/21
CONFIRMED LAYOUT	R2	11/12/21
EXTENDED WALL	R1	11/5/21

SUPPLEMENTAL DRAWINGS

BLOCK REFERENCE

STONE STRONG SYSTEM - GRAVITY RETAINING WALL

HOME & LAND DEVELOPMENT
NORTH PEAK STREET
#21-54385

GARDEN STATE PRECAST
P.O. BOX 702
FARMINGDALE, NJ 07727
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SHEET 7 OF 8

STONE STRONG SYSTEMS
SPECIFICATIONS FOR PRECAST MODULAR BLOCK RETAINING WALL SYSTEM



PART 1: GENERAL
1.01 DESCRIPTION

- A. WORK INCLUDES FURNISHING AND INSTALLING PRECAST MODULAR BLOCKS (PMB) TO THE LINES AND GRADES SHOWN ON THE PLANS AND AS SPECIFIED HEREIN. ALSO INCLUDED IS FURNISHING AND INSTALLING APPURTENANT MATERIALS REQUIRED FOR CONSTRUCTION OF THE COMPLETE SYSTEM.
 - B. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY. THE ARCHITECT/ENGINEER AND OWNER SHALL NOT BE RESPONSIBLE FOR MEANS OR METHODS OF CONSTRUCTION OR FOR SAFETY OF WORKERS OR OF THE PUBLIC.
- 1.02 REFERENCES**
- A. ASTM C39 - STANDARD TEST METHOD FOR COMPRESSIVE STRENGTH OF CYLINDRICAL CONCRETE SPECIMENS.
 - B. ASTM C136 - STANDARD TEST METHOD FOR SIEVE ANALYSIS OF FINE AND COARSE AGGREGATE.
 - C. ASTM D4318 - STANDARD TEST METHOD FOR LIQUID LIMIT, PLASTIC LIMIT, AND PLASTICITY INDEX OF SOILS.
 - D. ASTM D698 - STANDARD TEST METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING STANDARD EFFORT.
 - E. ASTM D4595 - STANDARD TEST METHOD FOR TENSILE PROPERTIES OF GEOTEXTILES BY THE WIDE-WIDTH STRIP METHOD.
 - F. ASTM D5262 - STANDARD TEST METHOD FOR EVALUATING THE UNCONFINED CREEP BEHAVIOR OF GEOSYNTHETICS.
 - G. ASTM D4632 - STANDARD TEST METHOD FOR GRAB BREAKING LOAD AND ELONGATION OF GEOTEXTILES.
 - H. ASTM D6638 - STANDARD TEST METHOD FOR DETERMINING CONNECTION STRENGTH BETWEEN GEOSYNTHETIC REINFORCEMENT AND SEGMENTAL CONCRETE UNITS (MODULAR CONCRETE BLOCKS).
 - I. ASTM D6918 - STANDARD TEST METHOD FOR DETERMINING THE SHEAR STRENGTH BETWEEN SEGMENTAL CONCRETE UNITS.
 - J. AASHTO - STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES.
 - K. NCMA - "DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS".
- 1.04 DELIVERY, STORAGE, AND HANDLING**
- A. CONTRACTOR SHALL CHECK THE MATERIALS UPON DELIVERY TO ASSURE THAT PROPER MATERIALS HAVE BEEN RECEIVED.
 - B. CONTRACTOR SHALL PROTECT THE MATERIALS FROM DAMAGE. DAMAGED MATERIAL SHALL NOT BE INCORPORATED INTO THE WALL OR THE REINFORCED SOIL EMBANKMENTS.
 - C. CONTRACTOR SHALL PREVENT EXCESSIVE MUD, CONCRETE, ADHESIVES AND OTHER SUBSTANCES THAT MAY ADHERE FROM COMING IN CONTACT WITH THE MATERIALS.
 - D. EXPOSED FACES OF SEGMENTAL UNITS SHALL BE REASONABLY FREE OF CHIPS, CRACKS, OR STAINS.
- 1.05 QUALITY ASSURANCE**
- A. OWNER SHALL EMPLOY SERVICES OF A MATERIAL ENGINEERING FIRM TO PROVIDE QUALITY CONTROL TESTING DURING EMBANKMENT CONSTRUCTION.

- 1.06 DESIGN SPECIFICATIONS FOR THE STONE STRONG RETAINING WALL SYSTEM**
- A. THE STONE STRONG RETAINING WALL SYSTEM DESIGN CONSULTANT TAKES RESPONSIBILITY FOR THE ENGINEERING THEORY, CALCULATIONS, AND ENSURING ALL DESIGN ASSUMPTIONS ARE VALIDATED IN THE CONTRACT DOCUMENTS: EITHER BY NEEDED DETAILS OR CONSTRUCTION SPECIFICATIONS.
 - B. THE PROJECT ENGINEER OF RECORD FOR THE PROJECT IS RESPONSIBLE FOR VERIFYING SOIL ASSUMPTIONS USED IN DESIGN PRIOR TO PRODUCTION.

GENERAL

PROVIDE THE FOLLOWING FACTORS OF SAFETY:

SLIDING	> OR EQUAL TO 1.5
OVERTURNING	> OR EQUAL TO 1.5
BEARING CAPACITY	> OR EQUAL TO 2.0
ALLOWABLE DIFFERENTIAL SETTLEMENT	

THE STONE STRONG RETAINING WALL SYSTEM MINIMUM RADIUS AND SPECIAL TURNING BLOCKS4:

CONCAVE APPLICATIONS	16' RADIUS
CONVEX APPLICATIONS	20' RADIUS
45 DEGREE BLOCK	45 DEGREES
90 DEGREE BLOCK	90 DEGREES

PART 2: MATERIALS
2.01 WALL UNITS

- A. PRECAST MODULAR BLOCKS SHALL BE STONE STRONG UNITS MANUFACTURED UNDER LICENSE FROM STONE STRONG, LLC.
- B. CONCRETE FOR PRECAST MODULAR BLOCKS SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI. ENTRAINED AIR CONTENT SHALL BE BETWEEN 5 AND 7%.
- C. REINFORCING STEEL (IF USED) SHALL BE GRADE 60. MINIMUM CLEAR COVER TO REINFORCEMENT SHALL BE 1 1/2 INCHES.
- D. THE FACE PATTERN SHALL BE SELECTED FROM THE MANUFACTURER'S STANDARD MOLDS. THE COLOR OF THE UNITS SHALL BE NATURAL GRAY. A CONCRETE STAIN MAY BE FIELD APPLIED TO COLOR THE UNITS IF SPECIFIED BY THE ARCHITECT/ENGINEER OR OWNER.

2.02 GEOGRID

- A. IF GEOGRID REINFORCEMENT IS REQUIRED, IT SHALL BE AS SHOWN IN THE PLANS OR AS DETAILED IN THE SHOP DRAWINGS. SUBSTITUTION OF A DIFFERENT TYPE OF GEOGRID SHALL NOT BE ALLOWED UNLESS APPROVED OF THE ARCHITECT/ENGINEER OR OWNER AFTER SUBMITTAL OF SHOP DRAWINGS AND TEST DATA.

2.03 WALL BASE

3/4" CLEAN STONE MATERIAL FOR WALL BASE

2.04 UNIT FILL

- A. UNIT FILL SHALL BE A CLEAN COARSE AGGREGATE WITH HIGH ANGULARITY. THE UNIT FILL SHALL BE SCREENED 100 PERCENT CRUSHED AGGREGATE MEETING THE FOLLOWING GRADATION:
- | | |
|------------------------|-----------------|
| US STANDARD SIEVE SIZE | PERCENT PASSING |
| 1-1/2" | 100 |
| 3/4" | 60-100 |
| #4 | 0-40 |
| #200 | 0-5 |

2.05 BACKFILL

- A. PROVIDE BACKFILL PER PHI ANGLE IN DESIGN CALCULATIONS

2.06 DRAIN TILE

- A. DRAIN TILE SHALL BE USED IF SHOWN ON THE PLANS OR IF INDICATED BY LOCAL PRACTICES AND CONDITIONS. IF USED, THE DRAIN TILE SHOULD BE A PERFORATED OR SLOTTED PVC OR CORRUGATED HDPE PIPE. THE DRAIN TILE SHOULD BE CONNECTED TO STORM DRAINS OR DAYLIGHTED AT LOW POINTS AND/OR PERIODICALLY ALONG THE WALL ALIGNMENT.

2.07 GEOTEXTILE FABRIC

- A. IF SHOWN ON THE PLANS OR THE SHOP DRAWINGS, PROVIDE A GEOTEXTILE FILTER FOR SEPARATION FROM BACKFILL AT THE TAILS OF THE BLOCKS. THE GEOTEXTILE SHALL BE A NEEDLE PUNCHED NONWOVEN FABRIC WITH A MINIMUM GRAB TENSILE STRENGTH OF 120 POUNDS ACCORDING TO ASTM D4632. IF USED, THE GEOTEXTILE MAY COVER THE ENTIRE BACK FACE OF THE BLOCKS OR MAY BE CUT IN STRIPS TO COVER THE GAPS BETWEEN TAIL UNITS WITH A MINIMUM OF 6 INCHES OF OVERLAP OVER THE CONCRETE TAIL ON BOTH SIDES.

PART 3: EXECUTION
3.01 EXCAVATION

- A. EXCAVATE AS REQUIRED FOR INSTALLATION OF THE RETAINING WALL SYSTEM. EXCAVATE TO THE BASE LEVEL FOR A SUFFICIENT DISTANCE BEHIND THE FACE TO PERMIT INSTALLATION OF THE BASE AND GEOGRID REINFORCEMENT (IF ANY).
 - B. SLOPE OR SHORE EXCAVATION AS NECESSARY FOR SAFETY AND FOR CONFORMANCE WITH APPLICABLE OSHA REQUIREMENTS.
- 3.02 WALL BASE**
- A. FOUNDATION SOILS SHALL BE EXCAVATED TO THE DIMENSIONS SHOWN ON THE PLANS. FOUNDATION SOIL SHALL BE OBSERVED BY THE GEOTECHNICAL ENGINEER TO CONFIRM THAT THE BEARING SOILS ARE SIMILAR TO THE DESIGN CONDITIONS OR ASSUMPTIONS.
- 3.03 UNIT INSTALLATION**
- A. PLACE THE FIRST COURSE OF UNITS DIRECTLY ON THE WALL BASE. CHECK UNITS FOR LEVEL AND ALIGNMENT. ADJACENT UNITS SHOULD BE IN CONTACT. IF POSSIBLE, BEGIN PLACING UNITS AT THE LOWEST SECTION OF THE WALL.
 - B. FILL ALL VOIDS BETWEEN AND WITHIN THE BLOCKS WITH GRANULAR UNIT FILL. ADDITIONAL UNIT FILL IS NOT REQUIRED BEHIND THE UNITS, BUT MAY BE PLACED FOR THE CONVENIENCE OF THE CONTRACTOR.
 - C. PLACE BACKFILL BEHIND THE UNITS IN MAXIMUM LOOSE LIFTS OF 8 INCHES AND COMPACT. IF SELECT GRANULAR FILL IS REQUIRED, IT SHOULD EXTEND THE FULL LENGTH OF THE GEOGRID REINFORCEMENT. COMPACT ALL BACKFILL TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY (ASTM D698, STANDARD PROCTOR). FOR COHESIVE SOILS, THE MOISTURE CONTENT AT THE TIME OF COMPACTION SHOULD BE ADJUSTED TO WITHIN -3 AND +4 PERCENT OF OPTIMUM. PLACE BACKFILL IN SUCCESSIVE LIFTS UNTIL LEVEL WITH THE TOP OF THE FACING UNIT.
 - D. REMOVE ALL EXCESS AGGREGATE AND OTHER MATERIALS FROM THE TOP OF THE UNITS BEFORE LAYING UP THE NEXT COURSE.
 - E. FOR GEOGRID REINFORCED WALLS, PLACE THE CORRECT GEOGRID AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE PLANS OR THE SHOP DRAWINGS. GEOGRID REINFORCEMENT SHALL BE PLACED HORIZONTALLY ON COMPACTED BACKFILL. THE LENGTH OF THE GEOGRID IS MEASURED FROM THE FRONT FACE OF THE WALL. EXTEND THE GRID ONTO THE FRONT FACE FLANGE OF THE FACING UNIT. ORIENT THE GEOGRID WITH THE STRONG AXIS (MACHINE DIRECTION) PLACED PERPENDICULAR TO THE WALL FACE. GEOGRID SHALL NOT BE SPLICED BY ANY MEANS IN THE ROLL DIRECTION.
 - F. GEOGRIDS SHALL BE PLACED SIDE BY SIDE TO PROVIDE COMPLETE COVERAGE ALONG THE WALL FACE. NO OVERLAP IS REQUIRED BETWEEN ADJACENT GRIDS ON STRAIGHT SECTIONS OF THE WALL. ON CONVEX CURVES, PLACE A MINIMUM OF 3 INCHES OF BACKFILL MATERIAL BETWEEN OVERLAPPING GEOGRID LAYERS.
 - G. PLACE THE NEXT COURSE OF SEGMENTAL UNITS IN RUNNING BOND WITH THE PREVIOUS COURSE. PLACE THE WEB NOTCH OVER THE ALIGNMENT HOOP PROTRUDING FROM THE UNIT BELOW, AND PULL THE UNIT FORWARD TO CONTACT THE HOOP.
 - H. FOR GEOGRID REINFORCED WALLS, PULL GEOGRIDS TAUGHT AND STAKE THE LOOSE END BEFORE PLACING THE NEXT COURSE OF BACKFILL. BACKFILL SHALL BE PLACED, SPREAD, AND COMPACTED IN SUCH A MANNER THAT MINIMIZES THE DEVELOPMENT OF WRINKLES IN THE GEOGRID AND/OR MOVEMENT OF THE GEOGRID. DO NOT OPERATE EQUIPMENT DIRECTLY ON THE GEOGRID. A MINIMUM BACKFILL DEPTH OF 6 INCHES SHOULD BE PLACED BEFORE OPERATING EQUIPMENT OVER THE GRIDS.
 - I. CONTINUE PLACING SUCCESSIVE COURSES TO THE ELEVATIONS SHOWN ON THE PLANS. CONSTRUCT WALL IN LEVEL STAGES, PLACING THE UNITS AT EACH COURSE FOR THE ENTIRE LENGTH OF THE WALL. IF POSSIBLE, UNIT FILL AND BACKFILL SHOULD BE PLACED TO THE LEVEL OF THE TOP OF THE FACING UNIT BEFORE PLACING THE NEXT COURSE.
 - J. PROVIDE TEMPORARY SWALES TO DIVERT RUNOFF AWAY FROM WALL EXCAVATION AND AWAY FROM FACE.
 - K. FINAL GRADE ABOVE AND BELOW THE RETAINING WALL SHALL PROVIDE FOR POSITIVE DRAINAGE AND PREVENT PONDING. PROTECT COMPLETED WALL FROM OTHER CONSTRUCTION. DO NOT OPERATE LARGE EQUIPMENT OR STORE MATERIALS ABOVE THE WALL THAT EXCEED THE DESIGN SURCHARGE LOADS.

PLEASE NOTE DRAWING IS STAMPED BY PE AND SLIGHT MODIFICATIONS MAY OCCUR IN PE REVIEW

DESCRIPTION	DWG. NO.	APP. DATE
NEW SURVEY DATA	R5	01/16/23
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EXTENDED WALL	R1	11/5/21

SUPPLEMENTAL DRAWINGS

NOTES

STONE STRONG SYSTEM - GRAVITY RETAINING WALL
 HOME & LAND DEVELOPMENT
 NORTH PEAK STREET
 #21-54385

GARDEN STATE PRECAST
 P.O. BOX 702
 FARMINGDALE, NJ 07727
 732-938-4436
 732-938-7096 - FAX

SHEET 8 OF 8



Borough of Highlands
42 Shore Drive, Highlands, NJ 07732
Phone: (732) 872-1224
www.highlandsborough.org

Tree Permit Application

APPLICANT Name: Home & Land Develop Corp Date: 9/21/21
Phone# 917 684111 Email: GW718@AOL.COM
Address: 32 NORTH PEAK Block 35 Lot 8

TREE INFORMATION

Tree #	Type	Diameter	Height
Tree #1	SOFT MAPLE	6"	25'
Tree #2	HICKORY	12"	50'
Tree #3	HICKORY	8"	40'
Tree #4	HICKORY	12"	50'
Tree #5	DEAD WILLOW	15"	60'
Tree #6	MAPLE "DEAD" Hollow	16"	60'
Tree #7	"Broken up Hickory"	16"	60'
Tree #8	DEAD CHERRY	6"	30'
Tree #9	Hickory 4"	4"	35'
Tree #10	Hickory 4"	4"	30'

Reason for removal: Prep for new Home & Build

INSTRUCTIONS

Are you the owner of the property? YES NO
If no, we need a letter signed from your landlord with permission to do so.

If more than ten (10) trees are to be removed, you must see the Building Department secretary.

Must be accompanied by a survey or tax map showing tree location(s) to be removed.

Tree must be marked by having a red ribbon tied around it -supplied by Borough upon application. ✓

Application Fee \$25.00 per tree -NON-REFUNDABLE

Amount paid \$ _____ Check # _____ Cash _____

BOROUGH HALL USE ONLY

Applicant is hereby: Approved Denied Date September 27, 2021

Applicant is hereby required to replace removed tree(s) as follows:

Type of tree to be planted landscape project on completion

Location of replacement tree(s) project site

Applicant is not required to replace tree(s) but must pay \$ X in lieu of replacing the tree(s).

Work to be done by a licensed tree service and all debris to be removed.

Christian Lee
Official Signature



Borough of Highlands
42 Shore Drive, Highlands, NJ 07732
Phone: (732) 872-1224
www.highlandsborough.org

Tree Permit Application

APPLICANT Name: Aaron & Land DeLup Corp Date: 9/22/21
Phone# 907 686 4111 Email: lndup@aol.com
Address: 14 North Peak Block 35 Lot 9

TREE INFORMATION

Tree #	Type	Diameter	Height
Tree #1	White Oak	24"	35'
Tree #2	Black Cherry Dead	10"	12'
Tree #3	North Maple	14"	50'
Tree #4	White Oak Leafless	24"	35'
Tree #5	Sliver Cherry	8"	30'
Tree #6	Black Oak	8"	50'
Tree #7	Hickory	14"	55'
Tree #8	Swamp Maple	6"	35'
Tree #9	Red Tree	14"	70'
Tree #10	Compound Near Tree	20"	70'

Reason for removal: new home & build new entrance where to

INSTRUCTIONS

Are you the owner of the property? YES NO
If no, we need a letter signed from your landlord with permission to do so.

If more than ten (10) trees are to be removed, you must see the Building Department secretary.

Must be accompanied by a survey or tax map showing tree location(s) to be removed.

Tree must be marked by having a red ribbon tied around it -supplied by Borough upon application.

Application Fee \$25.00 per tree -NON-REFUNDABLE

Amount paid \$ _____ Check # _____ Cash _____

BOROUGH HALL USE ONLY

Applicant is hereby: Approved Denied Date September 27, 2021

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Type of tree to be planted landscape project upon completion

Location of replacement tree(s) project site

Applicant is not required to replace tree(s) but must pay \$ X in lieu of replacing the tree(s).

Christian Lee

Official Signature

Work to be done by a licensed tree service and all debris to be removed.



S/O 2021-04

42 SHORE DRIVE
HIGHLANDS, NJ 07732
P: 732-872-1224 X 250
F: 732-872-0670

Borough of Highlands
APPLICATION FOR STREET EXCAVATION PERMIT
Permit Fee \$190 / Deposit \$500

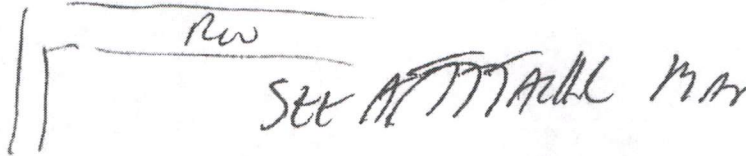
gnf718@aol.com

MUST BE 2 SEPARATE CHECKS

SECTION A: TO BE COMPLETED BY APPLICANT

Applicant's Name Home & Land Dev Co Telephone # 917 688 414
 Address: 88-1 Portial RD
 Contractor: Home & Land Dev Co
If other than applicant
 Address: 88-1 Portial RD Highlands NJ 07732
 Location of excavation: Valley Ave

Show location on sketch below – road names, distances, etc. If space is not sufficient, attach detailed drawing



Nature, purpose, and extent of excavation work:

32 NORTH PEARL ST
BLK 35 LOT 8

For trenches only: Length: _____ FT Width: _____ FT Depth: _____ FT

Are street Closures or traffic rerouting required? () Yes () No
(if yes, attach sketch and description of proposed traffic control devices)

Proposed date of commencement: _____ Proposed completion: _____

Statement: The undersigned applicant for a street excavation permit hereby warrants that the information herein is correct and that he is familiar with, and agrees to abide by the requirement of the "Street Excavation Ordinance" if the Borough of Highlands.

Insurance Company: _____ Policy Number: _____

Insurance Cert: _____ Expiration Date: _____

NOTE: APPLICANT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AT 732-872-1224 EXT 250 PRIOR TO COMMENCEMENT OF WORK.



42 SHORE DRIVE
HIGHLANDS, NJ 07732
P: 732-872-1224 X 250
F: 732-872-0670

Borough of Highlands
APPLICATION FOR STREET EXCAVATION PERMIT

SECTION B: TO BE COMPLETED BY PUBLIC WORKS SUPERINTENDENT*

*Or Borough Engineer if applicable

Estimated excavation size: _____
Deposit amount required: \$ 500 Permit Fee \$ 170

Surety Bond Recommendation:
Required? Yes No

Provisions (if any):

Approval: Yes () No

Disapproval Reason:

[Signature]
Public Works Superintendent Signature

10/7/21
Date

SECTION C: TO BE COMPLETED BY POLICE CHIEF*

WHEN STREET CLOSURES OR TRAFFIC REROUTING IS PROPOSED

Approved: Yes () No

Conditions of Approval (if any): ADVANCED NOTICE, TRAFFIC CONTROL
NOTICE TO NEIGHBORHOOD

Reason for disapproval:

[Signature]
Police Chief Signature

10-7-21
Date



42 SHORE DRIVE
HIGHLANDS, NJ 07732
P: 732-872-1224 X 250
F: 732-872-0670

Borough of Highlands
APPLICATION FOR STREET EXCAVATION PERMIT

Section D: TO BE COMPLETED BY CASHIER

Permit Fee:
Amount Paid: 190 Date received: 10/1/2021

Surety Bond:
Amount Paid: _____ Date received: _____

Deposit:
Amount Paid: 500 Date received: 10/1/2021

[Signature] _____ Date 10/1/2021
Cashier Signature

Section E: TO BE COMPLETED BY BOROUGH CLERK *IF APPLICABLE*

Surety Bond # _____ Date Received: _____

Clerk Signature Date

Section F: TO BE COMPLETED BY THE BOROUGH ADMINISTRATOR

[Signature] _____ Date 10.8.2021
Signature Date

Section G: TO BE COMPLETED UPON COMPLETION OF WORK*

To be completed by the DPW Superintendent

Date work finished: _____

Date of inspection: _____

Approval: () Yes () No

Authorized to release deposit () Yes () No

Authorized to release bond () Yes () No

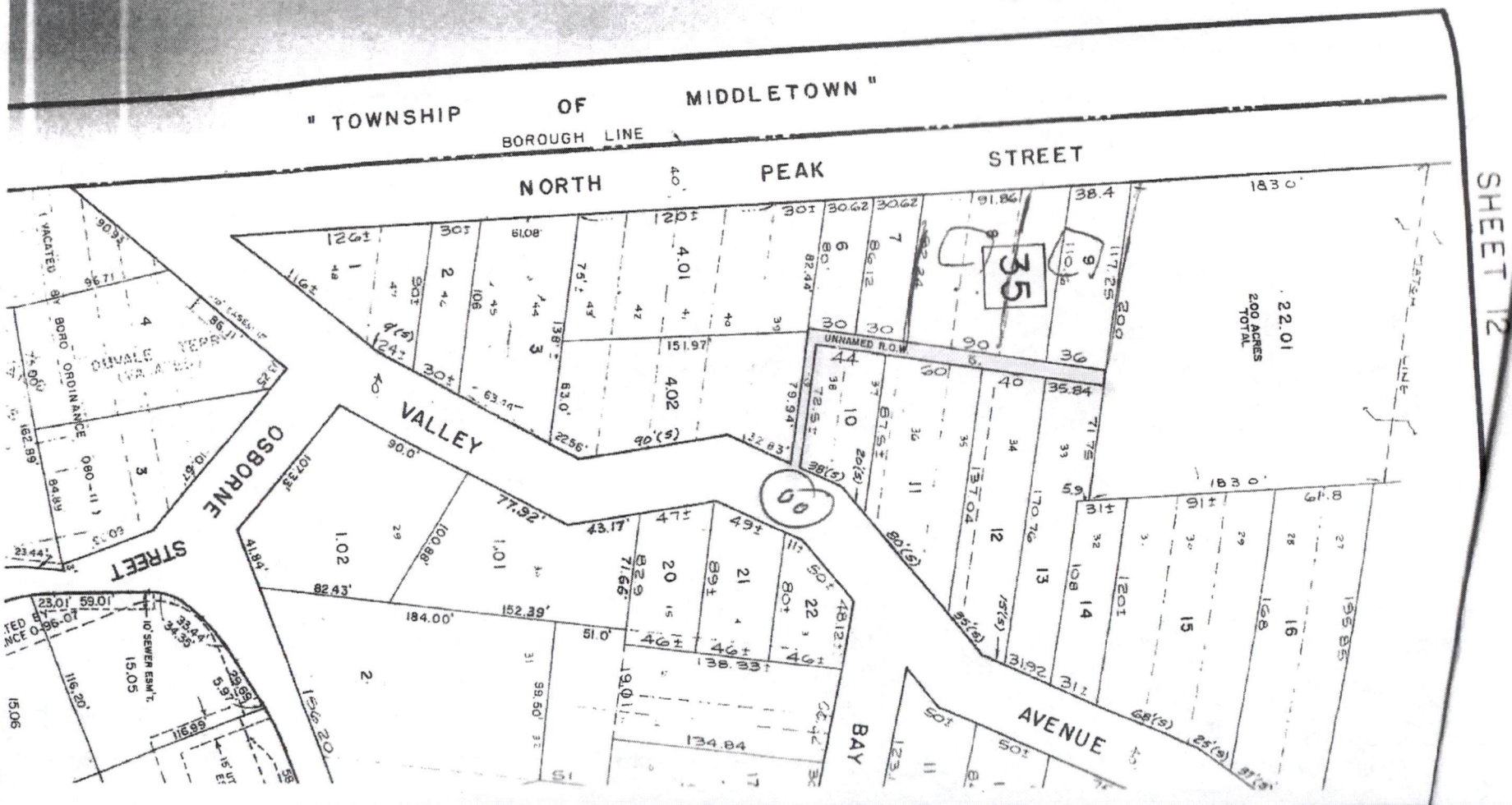
Signature Date

Section H: TO BE COMPLETED BY BOROUGH CLERK UPON COMPLETION

Bond released: Yes No

Signature Date

Sewer connection
 \$ 5,142
 Street excavation
 \$ 190 fee
 \$ 500 deposit



SHEET 12



CERTIFICATE OF LIABILITY INSURANCE

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Holmes & McDowell PO Box 348 Holmdel NJ 07733 INSURED Home & Land Development Corp. 16a Bellevue Ave Rumson NJ 07760	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2">CONTACT NAME: Anthony DiMeglio (Partner)</td> </tr> <tr> <td>PHONE (A/C, No, Ext): (732) 946-4800</td> <td>FAX (A/C, No): (732) 946-4940</td> </tr> <tr> <td colspan="2">E-MAIL ADDRESS: A.Dimeglio@holmesmcdowell.com</td> </tr> <tr> <td colspan="2" style="text-align: center;">INSURER(S) AFFORDING COVERAGE</td> </tr> <tr> <td>INSURER A: Kinsale Insurance Company</td> <td style="text-align: center;">NAIC #</td> </tr> <tr> <td>INSURER B: AmGUARD Insurance Company</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> </tr> </table>	CONTACT NAME: Anthony DiMeglio (Partner)		PHONE (A/C, No, Ext): (732) 946-4800	FAX (A/C, No): (732) 946-4940	E-MAIL ADDRESS: A.Dimeglio@holmesmcdowell.com		INSURER(S) AFFORDING COVERAGE		INSURER A: Kinsale Insurance Company	NAIC #	INSURER B: AmGUARD Insurance Company		INSURER C:		INSURER D:		INSURER E:		INSURER F:	
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INSURER F:																					

COVERAGES **CERTIFICATE NUMBER: 2021-2022** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS														
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			0100041455-5	8/09/2021	8/09/2022	<table style="width: 100%; border-collapse: collapse;"> <tr><td>EACH OCCURRENCE</td><td style="text-align: right;">\$ 1,000,000</td></tr> <tr><td>DAMAGE TO RENTED PREMISES (Ea occurrence)</td><td style="text-align: right;">\$ 100,000</td></tr> <tr><td>MED EXP (Any one person)</td><td style="text-align: right;">\$ N/A</td></tr> <tr><td>PERSONAL & ADV INJURY</td><td style="text-align: right;">\$ 1,000,000</td></tr> <tr><td>GENERAL AGGREGATE</td><td style="text-align: right;">\$ 2,000,000</td></tr> <tr><td>PRODUCTS - COMP/OP AGG</td><td style="text-align: right;">\$ 2,000,000</td></tr> <tr><td></td><td style="text-align: right;">\$</td></tr> </table>	EACH OCCURRENCE	\$ 1,000,000	DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000	MED EXP (Any one person)	\$ N/A	PERSONAL & ADV INJURY	\$ 1,000,000	GENERAL AGGREGATE	\$ 2,000,000	PRODUCTS - COMP/OP AGG	\$ 2,000,000		\$
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	\$																				
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> NON-OWNED AUTOS <input type="checkbox"/> HIRED AUTOS						<table style="width: 100%; border-collapse: collapse;"> <tr><td>COMBINED SINGLE LIMIT (Ea accident)</td><td style="text-align: right;">\$</td></tr> <tr><td>BODILY INJURY (Per person)</td><td style="text-align: right;">\$</td></tr> <tr><td>BODILY INJURY (Per accident)</td><td style="text-align: right;">\$</td></tr> <tr><td>PROPERTY DAMAGE (Per accident)</td><td style="text-align: right;">\$</td></tr> <tr><td></td><td style="text-align: right;">\$</td></tr> </table>	COMBINED SINGLE LIMIT (Ea accident)	\$	BODILY INJURY (Per person)	\$	BODILY INJURY (Per accident)	\$	PROPERTY DAMAGE (Per accident)	\$		\$				
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	\$																				
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED \$ RETENTION \$						<table style="width: 100%; border-collapse: collapse;"> <tr><td>EACH OCCURRENCE</td><td style="text-align: right;">\$</td></tr> <tr><td>AGGREGATE</td><td style="text-align: right;">\$</td></tr> <tr><td></td><td style="text-align: right;">\$</td></tr> </table>	EACH OCCURRENCE	\$	AGGREGATE	\$		\$								
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	\$																				
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A	R2WC242420	1/11/2021	1/11/2022	<table style="width: 100%; border-collapse: collapse;"> <tr> <td><input checked="" type="checkbox"/> PER STATUTE</td> <td><input type="checkbox"/> OTH-ER</td> <td></td> </tr> <tr><td>E.L. EACH ACCIDENT</td><td style="text-align: right;">\$</td><td style="text-align: right;">1,000,000</td></tr> <tr><td>E.L. DISEASE - EA EMPLOYEE</td><td style="text-align: right;">\$</td><td style="text-align: right;">1,000,000</td></tr> <tr><td>E.L. DISEASE - POLICY LIMIT</td><td style="text-align: right;">\$</td><td style="text-align: right;">1,000,000</td></tr> </table>	<input checked="" type="checkbox"/> PER STATUTE	<input type="checkbox"/> OTH-ER		E.L. EACH ACCIDENT	\$	1,000,000	E.L. DISEASE - EA EMPLOYEE	\$	1,000,000	E.L. DISEASE - POLICY LIMIT	\$	1,000,000		
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E.L. EACH ACCIDENT	\$	1,000,000																			
E.L. DISEASE - EA EMPLOYEE	\$	1,000,000																			
E.L. DISEASE - POLICY LIMIT	\$	1,000,000																			

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER Borough of Highlands 14 & 32 N. Peak Street Highlands, NJ 07732	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE Anthony DiMeglio (Partner)
--------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------



FREEHOLD SOIL CONSERVATION DISTRICT
(Serving Middlesex and Monmouth Counties)

4000 Kozloski Road, P.O. Box 5033
Freehold, New Jersey 07728-5033

Tel: (732) 683-8500

Fax: (732) 683-9140

E-mail: info@freeholdscd.org

Website: www.freeholdsoil.org

10/12/2021

HOME & LAND DEVELOPMENT CORP
88-1 PORTLAND ROAD
HIGHLANDS NJ 07732

Ref.#: 0012-C726
Proj.: 32 NORTH PEAR STREET
Twp.: HIGHLANDS
Block: 35
Lots: 8

PROJECT EXEMPT

DEMOLITION ONLY, LESS THAN 5,000 SQUARE FEET OF DISTURBANCE PROPOSED

Dear HOME & LAND DEVELOPMENT CORP,

This is to inform you that in accordance with the New Jersey Soil Erosion and Sediment Control Act; N.J.S.A. 4:24-39 et. seq., Chapter 251, P.L. 1975 and as amended by C. 264, P.L. 77 and C. 459, P.L. 79, anyone disturbing more than 5,000 square feet of surface area of land for demolition of existing structures must file an application along with soil erosion and sediment control plans with the local District office for review and certification.

In reference to the above project, the area of land to be disturbed for demolition only is less than 5,000 square feet; therefore, does not require certification of a Soil Erosion and Sediment Control plan.

However, should new construction be proposed which will exceed 5,000 square feet, submission and certification of Soil Erosion and Sediment Control plans would be required.

If you should have any questions, please feel free to contact our office.

Sincerely,


Ben Shotland
Resource Conservationist II

cc: Planning Board
Construction Official
Municipal Engineer
Applicant's Engineer



HGPB- R1990

August 15, 2023

Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board
42 Shore Drive
Highlands, New Jersey 07732

Via Email (ntran@highlandsborough.org)

**Re: Home & Land Development Corp
14 North Peak and 32 North Peak
Block 35, Lots 8 & 9
Single Family Residential (R-101) Zone
Minor Subdivision, Variance
Second Completeness Review**

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations section entitled Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure, and Article VIII, Plat and Plan Details, section 21-58.A – Minor Subdivision Plat.

The applicant submitted the following documents in support of this application:

1. Land Use Board Application for Subdivision and Variance dated November 18, 2022.
2. Minor Subdivision Plan prepared by Thomas P. Santry, Jr., P.L.S., dated July 29, 2022, **last revised May 1, 2023**, consisting of three (3) sheets.
3. **Stone Strong System – Gravity Retaining Wall, prepared by Garden State Precast, last revised December 15, 2021, consisting of eight (8) sheets.**

The following information was reviewed for completeness purposes pursuant to Ordinance Section 21-58.A:

Minor Subdivision Plat: The plat shall be prepared to scale, based on a current survey or some other similarly accurate base, at a scale of not less than one (1) inch equals one hundred (100) feet, to enable the entire tract to be shown on one (1) sheet. The plat shall be signed and sealed by a licensed New Jersey Land Surveyor and shall show or include the following information:

1. A key map at a scale of not less than 1" = 400' showing the location of that portion which is to be subdivided in relation to the entire tract and the surrounding area. **Provided.**
2. All existing structures, wooded areas and topographical features, such as slump blocks, within the portion to be subdivided and within seventy-five (75) feet thereof. **Partially provided. Existing wooded areas shall be indicated on the plan.**
3. The name of the owner and all adjoining property owners and owners of property directly across the street as disclosed by the most recent municipal tax record. If there is no positive evidence of ownership of any parcel of adjoining property within two hundred (200) feet, a certificate will be presented from the custodian of tax records to that effect. **Provided.**
4. The Tax Map sheet, block and lot numbers. **Provided.**
5. All streets or roads and streams within seventy-five (75) feet of the subdivision. **Provided.**



Le: Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board

Re: Home & Land Development Corp
14 North Peak and 32 North Peak
Block 35, Lots 8 & 9
Single Family Residential (R-101) Zone
Minor Subdivision, Variance
Second Completeness Review

- 6. Location of existing streets, and existing and proposed property lines, lot sizes, and areas. **Provided.**
- 7. Metes and bounds descriptions of all new lot and property lines. **Provided.**
- 8. Existence and location of any utility or other easement. **Not provided. Dwellings which have recently been demolished existed on site. The applicant shall confirm the existence and location of any utilities or other easements.**
- 9. Setback, sideline and rear yard distances and existing structures. **Provided.**
- 10. The name and address of the person preparing the plat, the graphic scale, date of preparation and reference meridian. **Provided.**
- 11. Certification from the Tax Collector that all taxes and assessments for local improvements on the property have been paid up to date. **Not provided. The Applicant's transmittal letter has indicated this item was provided, however was not included as part of the submission to this office. We have no objection to the Board deeming this item complete, provided the Borough confirms receipt of the certification.**
- 12. Certification statement for the required municipal signatures, stating: **Provided.**
 - o Application No. _____ approved/disapproved by the Highlands Borough Planning Board/Board of Adjustment as a Minor Subdivision on _____.
(date)

Chairman

Secretary

- 13. Certification statement for the County Planning Board approval / disapproval, if required. **Not applicable.**
- 14. Zone district boundary lines, if any, on or adjoining the property to be subdivided and a schedule indicating the required minimum lot area, lot width, lot depth and front, rear and side yards of each zone district located on the property. **Provided.**
- 15. A wetlands statement provided by a qualified expert. **Not provided. We have no objection to the Board deeming this item complete pending confirmation from applicant prior to hearing.**
- 16. The Board reserves the right to require a feasible sketch plan layout of remaining land not being subdivided if it is deemed necessary. **The applicant has provided a generic house layout that demonstrates the sizes of proposed homes and the need for any additional setback relief.**
- 17. A lot grading plan, to be reviewed by the Borough Engineer, if required. **Provided.**



Le: Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board

Re: Home & Land Development Corp
14 North Peak and 32 North Peak
Block 35, Lots 8 & 9
Single Family Residential (R-101) Zone
Minor Subdivision, Variance
Second Completeness Review

Several items noted above have not been submitted to the Board, and adequate information has not been provided in order to perform a technical review of the application. Therefore, this application is hereby deemed **INCOMPLETE** pending the submission of information to adequately address the above-referenced items noted as “partially provided” or “not provided”, along with the following:

- a. The plans show adjustments to the existing gutter and roadway within North Peak Street, including installation of a retaining wall and storm drainage improvements within the existing cartway area. It is unclear how the proposed lots will provide the required parking and access to the dwellings from the street. The layout as proposed may require variance relief and approval from the Governing Body.
- b. It appears that the applicant has previously demolished structures on both lots and performed clearing and some grading. The limit of disturbance already performed should be shown on the plans.
- c. The limit of grading/disturbance for the proposed improvements appears to comprise the entire property limits, including some off-tract elements.
- d. The applicant also notes the installation of a retaining wall within the unnamed 10’ right of way to the south of the tracts, with no limit of disturbance or grading shown. The applicant shall provide evidence regarding title to this right of way, and under what authority they propose to install said improvements.
- e. It is my understanding that the prior dwelling on lot 9 utilized a septic system. The location and disposition of this should be shown on the plans.
- f. It is presumed that the proposed dwellings will have to connect into the Borough’s sanitary sewer system located in Valley Avenue. The applicant shall review and identify their proposed method of connection, which may involve use of the 10’ right of way previously mentioned.
- g. In addition to the above, the applicant shall identify means of utility connections for water and electric at a minimum, and identify their locations on the plans.
- h. The applicant shall document compliance with the Steep Slope Ordinance found at 21-84.B and provide calculations as required therein. In addition, means and methods for controlling velocity and rate of stormwater runoff shall be documented.

Continuing Comment – The applicant is requesting variance relief from the Steep Slope Ordinance. The property contains slopes greater than 20%. Considering this factor and the extent of improvements proposed, I recommend the applicant demonstrate compliance with all requirements of 21-84B prior to being deemed complete.

The applicant shall provide a point-by-point response addressing the comments contained within this completeness letter.



**Le: Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board**

**Re: Home & Land Development Corp
14 North Peak and 32 North Peak
Block 35, Lots 8 & 9
Single Family Residential (R-101) Zone
Minor Subdivision, Variance
Second Completeness Review**

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

EWH

cc: Michael Muscillo, Borough Administrator (mmuscillo@highlandsborough.org)
Ron Cucchiaro, Esq., Land Use Board Attorney (RCucchiaro@weiner.law)
Erin Uriarte, Zoning Officer (euriarte@middletownnj.org)
Home & Land Development Corp., Applicant (gnf718@aol.com)
Michael A. Bruno, Esq., Applicant's Attorney (mbruno@ghclaw.com)

G:\Projects\HGPB\R1990\Correspondence\Tran_EWH_Home and Land Development Corp_Second Completeness Review.docx

THOMAS P. SANTRY, P.A.

LAND SURVEYORS
ONE TWENTY EIGHT EAST RIVER ROAD
RUMSON, NJ 07760

PHONE: (732) 741-4800
FAX: (732) 741-0084

November 30, 2023

**Re: Home & Land Development Corp
14 North Peak and 32 North Peak
Block 35, Lots 8 & 9
Single Family Residential (R-101) Zone
Minor Subdivision, Variance
Response Letter to Second Completeness Review**

Dear Ms. Tran,

In response to the Second Completeness Review letter dated August 15, 2023, prepared by Edward Herman, Highlands Land Use Board Engineer, following revisions have been made to the plans for the above referenced application:

Minor Subdivision Plat:

Comment 2. All existing structures, wooded areas and topographical features, such as slump blocks, within the portion to be subdivided and within seventy-five (75) feet thereof. **Partially provided. Existing wooded areas shall be indicated on the plan.**

THE LIMITS OF THE WOODED AREA HAVE BEEN FIELD VERIFIED AND ARE NOW LABELED ON THE PLANS.

Comment 8. Existence and location of any utility or other easement. **Not provided. Dwellings which have recently been demolished existed on site. The applicant shall confirm the existence and location of any utilities or other easements.**

THE PLANS SHOW UTILITY POLES (FOR ELECTRIC) LOCATED ON THE NORTHERLY SIDE OF NORTH PEAK STREET. THE GAS AND WATER LINE ARE LOCATED ON NORTH PEAK STREET. AN ADDITIONAL WATER METER HAS BEEN LOCATED ON LOT 9 AND IS SHOWN ON THE PLAN.

Comment a. The plans show adjustments to the existing gutter and roadway within North Peak Street, including installation of a retaining wall and storm drainage improvements within the existing cartway area. It is unclear how the proposed lots will provide the required parking and access to the dwellings from the street. The layout as proposed may require variance relief and approval from the Governing Body.

EACH DWELLING WILL HAVE A ONE CAR GARAGE AND 10' WIDE DRIVEWAY PROVIDING REQUIRED PARKING AND ACCESS TO NORTH PEAK STREET. THE GARAGES HAVE BEEN LABELED AND THE DRIVES ARE INDICATED.

Comment b. It appears that the applicant has previously demolished structures on both lots and performed clearing and some grading. The limit of disturbance already performed should be shown on the plans.

THE LIMIT OF CLEARING / DISTUBANCE CAUSED BY THE DEMOLITION OF THE EXISTING STRUCTURES ON BOTH LOTS HAS BEEN INDICATED ON THE PLANS AS THE WOODS LINE.

Comment c. The limit of grading/disturbance for the proposed improvements appears to comprise the entire property limits, including some off-tract elements.

THE LIMIT OF CLEARING / DISTUBANCE FOR THE PROPOSED IMPROVEMENTS IS INDICATED ON THE PLANS.

Comment d. The applicant also notes the installation of a retaining wall within the unnamed 10' right of way to the south of the tracts, with no limit of disturbance or grading shown. The applicant shall provide evidence regarding title to this right of way, and under what authority they propose to install said improvements.

THE APPLICANT WILL ADDRESS THIS DURING TESTIMONY.

Comment e. It is my understanding that the prior dwelling on lot 9 utilized a septic system. The location and disposition of this should be shown on the plans.

THE APPROXIMATE LOCATING OF THE EXISTING SEPTIC TANK ON LOT 9 IS NOW SHOWN ON THE PLANS.

Comment f. It is presumed that the proposed dwellings will have to connect into the Borough's sanitary sewer system located in Valley Avenue. The applicant shall review and identify their proposed method of connection, which may involve use of the 10' right of way previously mentioned.

A PROPOSED 4" SEWER LATERAL CONNECTION WILL BE TO THE REAR OF THE DWELLINGS TO THE 10 FT R.O.W. A 6" SEWER LINE WILL BE CONSTRUCTED WITHIN THE R.O.W. AND BE CONNECTED TO AN EXSITING SEWER MANHOLE LOCATED ON VALLEY AVENUE.

Comment g. In addition to the above, the applicant shall identify means of utility connections for water and electric at a minimum, and identify their locations on the plans.

THE REMAINING UTILITY CONNECTIONS (WATER, GAS, AND ELEC) WILL BE FROM NORTH PEAK STREET AS INDICATED ON THE PLANS.

Comment h. The applicant shall document compliance with the Steep Slope Ordinance found at 21-84.B and provide calculations as required therein. In addition, means and methods for controlling velocity and rate of stormwater runoff shall be documented.

Continuing Comment – The applicant is requesting variance relief from the Steep Slope Ordinance. The property contains slopes greater than 20%. Considering this factor and the extent of improvements proposed, I recommend the applicant demonstrate compliance with all requirements of 21-84B prior to being deemed complete.

The applicant shall provide a point-by-point response addressing the comments

THE GRADING SHOWN ON THIS PLAN WAS OBTAINED FROM A PLAN PREPARED BY EASTERN CIVIL ENGINEERING. THE APPLICANT IS REQUESTING A WAIVER FROM COMPLIANCE TO THE STEEP SLOPE ORDINANCE SINCE THE PROPOSED GRADING ELIMATATES ALL SLOPES GREATER THAN 15%.

STORMTECH CHAMBERS WILL BE INSTALLED IN THE REAR YARDS OF EACH PROPERTY. THE CHAMBERS WILL TEMORARILY STORE ROOF RUNOFF DURING A STORM EVENT TO CONTROL THE STORMWATER RUNOFF. THE BOTTOM OF THE CHAMBERS ARE OPEN AND ARE INSTALLED ON CLEAN STONE WHICH ALLOWS THE STORED WATER TO PERCOLATE INTO THE GROUND. ROOF LEADERS WILL BE HARD PIPED DIRECTLY TO THE CHAMBERS. DETAILS, SIZE AND SPECIFICATIONS WILL BE PROVIDED BY THE APPLICANT.

Should you have any questions, please feel free to call.

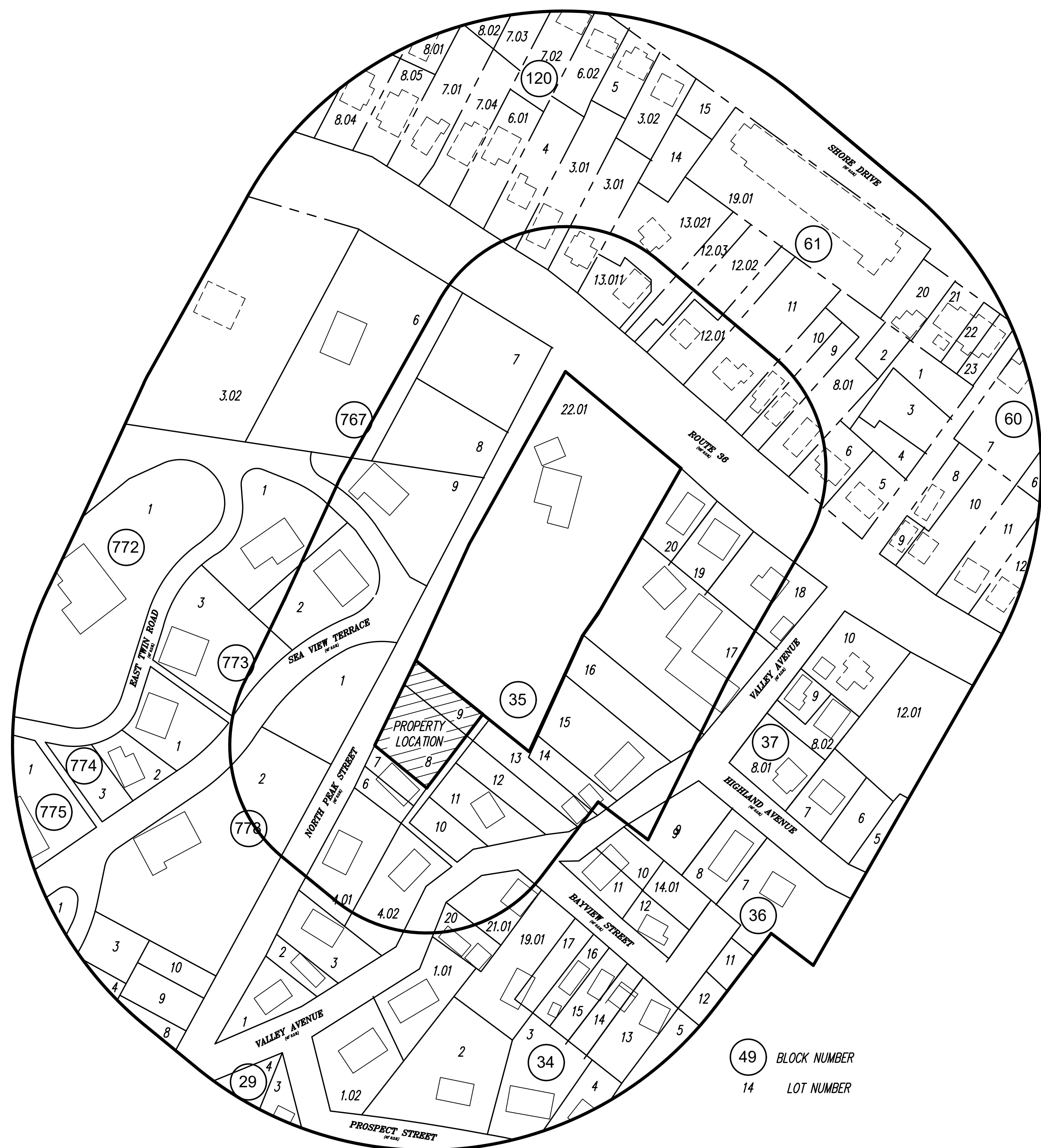
Very truly yours,

Thomas P. Santry, Jr.

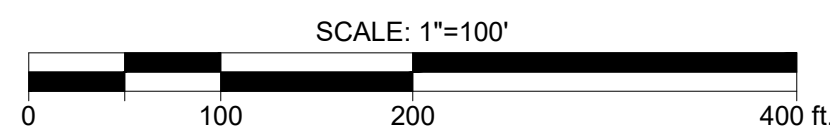
NOTE: A WRITTEN "WAIVER AND DIRECTION NOT TO SET CORNER MARKERS" HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO N.J.A.C. 13:40-5.1(4).

THE INFORMATION SHOWN HEREIN CORRECTLY REPRESENTS THE CONDITIONS FOUND AT, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE SURFACE AND NOT VISIBLE.

THIS SURVEY IS SUBJECT TO CHANGE ACCORDING TO THE FACTS THAT A CURRENT TITLE REPORT MAY DISCLOSE.



49 BLOCK NUMBER
14 LOT NUMBER



LIST OF OWNERS WITHIN 200 FEET			LIST OF OWNERS WITHIN 200 FEET (CONTINUED)		
BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER
758	1.01	MONMOUTH HILLS INC. ACCESS PROP MGMT 1030 KING GEORGES POST RD EDISON, NJ 08837	35	22.01	DIEROLD RICHARD & MISCHELE 221 NAVESINK AVENUE HIGHLANDS, NJ 07732
778	1	MONMOUTH HILLS INC. ACCESS PROP MGMT 1030 KING GEORGES POST RD EDISON, NJ 08837	35	4.02	MALONE PATRICK FRANCIS & PAULA ANN 110 VALLEY AVENUE HIGHLANDS, NJ 07732
35	6	ALVATOR DONNA 10 NORTH PEAK STREET HIGHLANDS, NJ 07732	35	15	AKER EDWARD W & EVELYN 92 VALLEY AVENUE HIGHLANDS, NJ 07732
35	10	DORN JOSEPH & JOSEPH DORN LM 102 VALLEY AVENUE HIGHLANDS, NJ 07732	767	9	FARROW LEONILDA A & CEOL W PO BOX 646 NAVESINK, NJ 07752
35	12	DORN JOSEPH & JOSEPH DORN LM 102 VALLEY AVENUE HIGHLANDS, NJ 07732	778	2	ONEIL MICHAEL & KATHY 34 SEAVIEW TERR HIGHLANDS, NJ 07732
35	8	FELICIANO JERRY 202 N BROUGHTON SQUARE BOYNTON BEACH, FL 33436	774	1	MCALLEY COLLEEN FLINN 38 E TWIN RD HIGHLANDS, NJ 07732
35	14	NEWMAN SR. RONALD & NANCY 94 VALLEY AVENUE HIGHLANDS, NJ 07732	773	2	REINAUER CRAIG 32 SEAVIEW TERR HIGHLANDS, NJ 07732
34	20	109 VALLEY AVE LLC 13 JARED LANE LITTLE EGG HARBOR, NJ 08087	773	3	GLASS KEITH 37 E TWIN RD HIGHLANDS, NJ 07750
35	7	ALVATOR DONNA 10 NORTH PEAK STREET HIGHLANDS, NJ 07732	35	16	FENDICK KERRY & VALENCIA ENRIQUE 78 VALLEY AVE HIGHLANDS, NJ 07732
34	1.01	LEHEGA JERRY & NADYA 111 VALLEY AVE HIGHLANDS, NJ 07732	35	17	VALLEY AVENUE MANAGEMENT LLC 82 VALLEY AVENUE HIGHLANDS, NJ 07732
34	21.01	WAGNER PETER 101 VALLEY AVENUE HIGHLANDS, NJ 07732	35	4.01	JOHNSON EDWARD W 2 NORTH PEAK STREET HIGHLANDS, NJ
35	11	DORN JOSEPH & JOSEPH DORN 102 VALLEY AVENUE HIGHLANDS, NJ 07732	773	1	PHAR ARTHUR H & KUGELMANN 36 E TWIN ROAD HIGHLANDS, NJ 07732
35	9	HOME & LAND DEVELOPMENT CORP 88-1 PORTLAND ROAD HIGHLANDS, NJ 07732	767	6	
36	11	BRANNIN GARY & PAMELA 97 VALLEY AVE HIGHLANDS, NJ 07732	61	10	
35	13	SERCHIS DEMETRIOS 96 VALLEY AVENUE HIGHLANDS, NJ 07732	61	12.01	

UTILITY AND GOVERNMENTAL AGENCY TO BE NOTIFIED

JCP&L
300 MADISON AVENUE
PO BOX 1911
MORRISTOWN, NJ 07960

NEW JERSEY AMERICAN WATER COMPANY
ATTN: CONSTRUCTION DEPARTMENT
661 SHREWSBURY AVE
SHREWSBURY, NJ 07702

COMCAST COMMUNICATIONS OF MONMOUTH COUNTY
RON BERTRAND, CONSTRUCTION FOREMAN
403 SOUTH ST
EATONTOWN, NJ 07724

VERIZON COMMUNICATIONS
ONE VERIZON WAY
BASKING RIDGE, NJ 07920

TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY
RAYMOND J. NIERSTEDT, P.E., EXECUTIVE DIRECTOR
PO BOX 205, 100 BEVERLY WAY
BELFORD, NJ 07718

NJ NATURAL GAS COMPANY
PO BOX 1464, 1415 WYCKOFF ROAD
WALL, NJ 07719

MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY
ATTN: EXECUTIVE DIRECTOR
PO BOX 184, 200 HARBOR WAY
BELFORD, NJ 07718

Application No. _____ approved/disapproved by the Highlands Borough Planning Board/Board of Adjustment as a Minor Subdivision on _____ (date)

Chairman _____

Secretary _____

NO WETLANDS EXIST ON THIS PROPERTY.

I HEREBY CERTIFY THAT THIS IS A TRUE AND ACCURATE SURVEY MADE ON THE GROUND. THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN.

IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL IT IS NOT AN ORIGINAL.

Rev. 11/30/23 - PER ENGINEERING REVIEW COMMENTS
Rev. 5/1/23 Add Cert.

**MINOR SUBDIVISION OF
LOTS 8 & 9 ~ BLOCK 35**
32 & 14 North Peak Street
Borough of Highlands
Monmouth County, New Jersey

THOMAS P. SANTRY, P.A.
LAND SURVEYORS
ONE HUNDRED TWENTY EIGHT EAST RIVER ROAD
RUMSON, NEW JERSEY 07760
PHONE (732) 741-4800 FAX (732) 741-0084

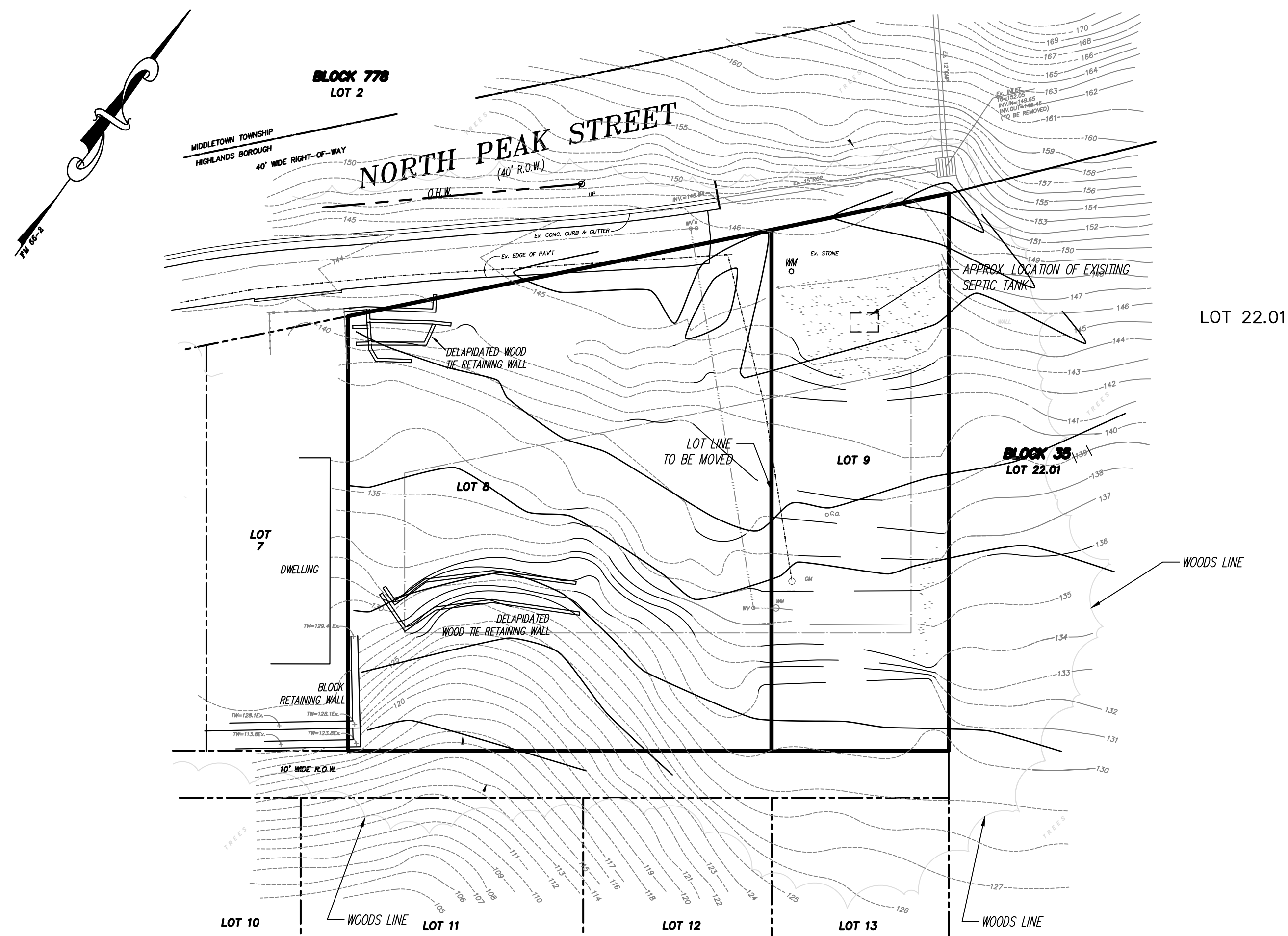
RESPONSIBLE PROFESSIONAL'S SIGNATURE DATE:
THOMAS P. SANTRY, JR., P.L.S.
PROFESSIONAL LAND SURVEYOR
P.L.S. LIC. No. 24GS3540000

PROJ. No. 22-074
SCALE 1" = 100'
DATE 7/29/22
DRAWN BY MGB
TAX MAP SHEET # 10
SHEET 1 OF 3
DRAWING No. HL254

NOTE: A WRITTEN "WAIVER AND DIRECTION NOT TO SET CORNER MARKERS" HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO N.J.A.C. 13:40-5.1(4).

THE INFORMATION SHOWN HEREIN CORRECTLY REPRESENTS THE CONDITIONS FOUND AT, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE SURFACE AND NOT VISIBLE.

THIS SURVEY IS SUBJECT TO CHANGE ACCORDING TO THE FACTS THAT A CURRENT TITLE REPORT MAY DISCLOSE.



NO DETERMINATION HAS BEEN MADE AS TO THE PRESENCE OR ABSENCE OF WETLANDS ON THIS PROPERTY. NO STATEMENT IS BEING MADE OR IMPLIED HEREIN, NOR SHOULD IT BE CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF THE SAME IS PORTRAYED HEREIN.

Rev. 11/30/23 - PER ENGINEERING REVIEW COMMENTS
Rev. 5/1/23 Add Wall

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RESPONSIBLE PROFESSIONAL'S SIGNATURE DATE:
THOMAS P. SANTRY, JR., P.L.S.
 PROFESSIONAL LAND SURVEYOR
 P.L.S. LIC. No. 24GS3540000

PROJ. No. 22-074
 SCALE 1" = 20'
 DATE 7/29/22
 DRAWN BY MGB
 TAX MAP SHEET # 10
 SHEET 2 OF 3
 DRAWING No. HL254

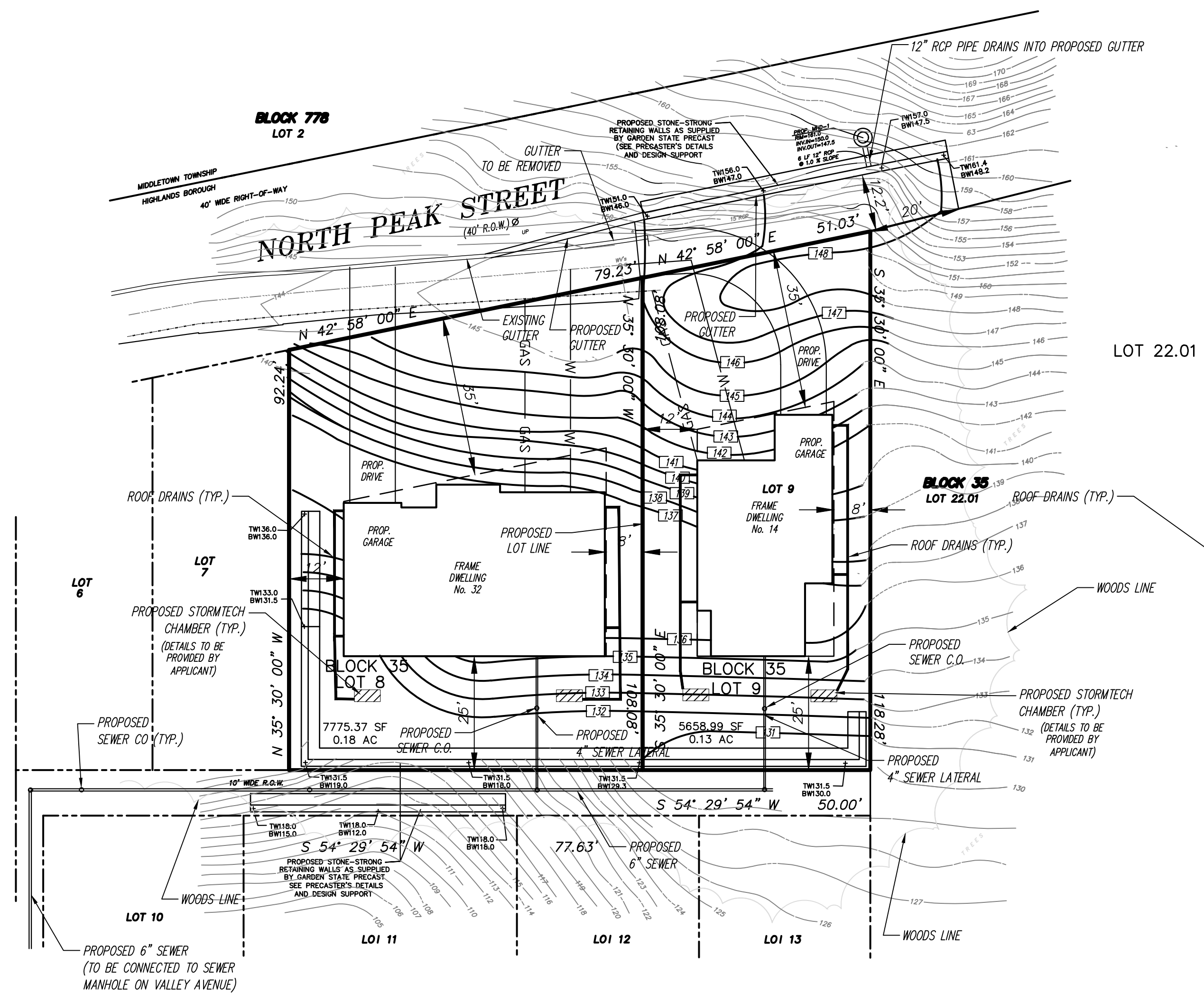
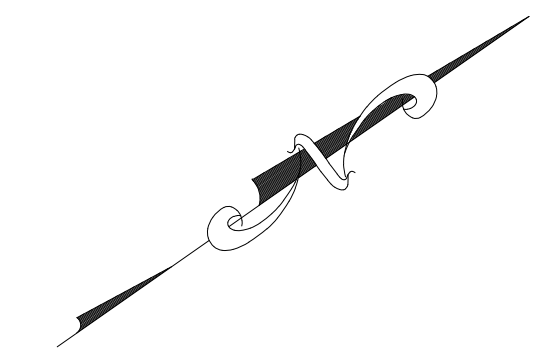
**MINOR SUBDIVISION OF
 LOTS 8 & 9 ~ BLOCK 35**
 32 & 14 North Peak Street
 Borough of Highlands
 Monmouth County, New Jersey

THOMAS P. SANTRY, P.A.
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 ONE HUNDRED TWENTY EIGHT EAST RIVER ROAD
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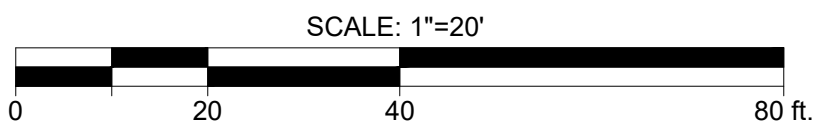


NOTES:

1. TOPOGRAPHY AND GRADING OBTAINED FROM A CERTAIN MAP ENTITLED "GRADING PLAN FOR HOME & LAND. DEVELOPMENT CORP. BLOCK 35 LOT 9" SAID MAP WAS DRAWN BY EASTERN CIVIL ENGINEERING, LLC ON 2/10/22. PROJECT NO. 2101980
2. SILT FENCE SHALL BE PLACED AROUND THE PERIMETER OF THE LIMITS OF DISTURBANCE AND REMAIN UNTIL SOIL IS STABILIZED
3. APPLICANT TO REPAIR ANY DAMAGED CURB OR PAVEMENT AS PART OF CONSTRUCTION
4. ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988
5. VARIANCE REQUESTED STEEP SLOPES ANALYSIS

**BOROUGH OF HIGHLANDS
SCHEDULE OF LIMITATIONS
ZONE "R-1.01"**

	PROPOSED	
	LOT 8	LOT 9
PERMITTED USE		
MINIMUM LOT AREA	5,000 SF	7,775.37 SF
MINIMUM LOT DEPTH	100 FT	108.08'
MINIMUM LOT FRONTAGE	50 FT	79.23'
PRINCIPAL STRUCTURE		
MINIMUM FRONT SETBACK	35 FEET	35 FEET
MINIMUM REAR SETBACK	25 FEET	25 FEET
MINIMUM SIDE SETBACK	8/12 FEET	8/12 FEET
MAX LOT COVERAGE	70%	N/A
MAX BUILDING COVERAGE	30%	26.1%
MAX BUILDING HEIGHT	30 FEET	N/A



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Rev. 11/30/23 - PER ENGINEERING REVIEW COMMENTS
Rev. 5/1/23

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Thomas P. Santry
RESPONSIBLE PROFESSIONAL'S SIGNATURE DATE:
THOMAS P. SANTRY, P.L.S.
PROFESSIONAL LAND SURVEYOR
P.L.S. LIC. No. 24GS3540000

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PROJ. No. 22-074
SCALE 1" = 20'
DATE 7/29/22
DRAWN BY MGB
TAX MAP SHEET # 10
SHEET 3 OF 3
DRAWING No. HL254



Roberts
 ENGINEERING GROUP LLC
 Women Business Enterprise Certified

1670 Whitehorse-Hamilton Square Rd.
 Hamilton, New Jersey 08690
 609-586-1141 fax 609-586-1143
 www.RobertsEngineeringGroup.com

February 20, 2024

Nancy Tran
 Land Use Board Secretary
 Borough of Highlands Land Use Board
 151 Navesink Avenue
 Highlands, New Jersey 07732

Re: Completeness Review No. 3
 Home & Land Development Corp.
 14 & 32 North Peak Street
 Block 35, Lots 8 & 9
 Borough of Highlands, Monmouth County, New Jersey
 Our File No.: HLPB2022-10

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations, section entitled, "Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure", and "Article VIII, Plat and Plan Details, section 21-58.A – Minor Subdivision Plat".

Below is our Resolution Compliance Review and comments for the above referenced project. This review was prepared in accordance with the following documents received:

1. Response Letter to Second Completeness Review to Ms. Tran from Thomas P. Santry, P.A. dated November 30, 2023, unsigned.
2. Second Completeness Review to Ms. Tran from Edward W. Herrman, P.E., P.P., C.M.E., C.F.M., Land Use Engineer dated August 15, 2023.
3. Land Use Board Application for Subdivision and Variance dated November 18, 2022.
4. Minor Subdivision Plan prepared by Thomas P. Santry, Jr., P.L.S., dated July 29, 2022, last revised November 30, 2023, consisting of three (3) sheets.
5. Stone Strong System – Gravity Retaining Wall, prepared by Garden State Precast, last revised December 15, 2021, consisting of eight (8) sheets.

The Applicant has satisfied many of the comments as outlined within the Second Completeness Review dated, August 15, 2023, in pursuant to Ordinance Section 21-58.A Minor Subdivision Plat.

The application has been submitted as a Minor Subdivision and signed by a licensed land surveyor. There are multiple engineering issues such as grading, utilities, encroachments, stormwater management, steep slopes and retaining walls on the proposed lots and within an existing right-of-way. A Minor Site plan is required for these properties.

The Applicant must update the application as a Minor Subdivision and a Minor Site Plan and resubmit. The Applicant must provide a checklist for each and address all engineering issues affecting the property and adjoining properties.

All Checklist items and the comments noted below must be addressed in the resubmission.

A licensed surveyor is responsible for the Minor Subdivision. A licensed professional engineer is responsible for the Minor Site Plan which must address all engineering issues upon the resubmission of the application.

We offer the following comments and recommendations for the Planning Board's consideration:

I. ZONING

1. This property is located in the R-1.01 Residential District.
2. The Applicant requires no variances based on the current application.
3. The following bulk requirement summary is provided for the Board's reference.

R-1.01 Residential Zone	Required	Existing Lot 8	Existing Lot 9	Proposed Lot 8	Proposed Lot 9
Min. Lot Area (sf)	5,000	Not provided	Not provided	7,77.37	5658.99
Lot Frontage/Width (ft)	50	Not provided	Not provided	79.23	51.03
Min. Lot Depth (ft)	100	Not provided	Not provided	108.08	118.28
Min. Front Yard Setback (ft)	35	Not provided	Not provided	35	35
Min. Side Yard Setback (ft)	8/12	Not provided	Not provided	8/12	8/12
Min. Rear Yard Setback (ft)	25	Not provided	Not provided	25	25
Max. Building Height (ft)	30			Not provided -	Not provided -
Max Lot Coverage	70%			Not provided	Not provided
Max Building Coverage	30%			26.1%	22.6%
On-Site Parking (spaces)	TBD			0	0

II. CHECKLIST ITEMS

The Second Completeness comments are shown in italic font. The current comments are in bold text and are requested to be completed.

1. A key map at a scale of not less than 1" = 400' showing the location of that portion which is to be subdivided in relation to the entire tract and the surrounding area.

Provided.

A key map has been provided but it is unclear why adjoining Lot 22.01 is included within the scope of interest. Please provide an explanation and/or update the list for the 200 ft radius of property owners on the plan.

Please indicate the Borough Municipal Line with the Township of Middletown. Please confirm 200 ft. property owners list within the Township of Middletown.

2. All existing structures, wooded areas, and topographical features, such as slump blocks, within the portion to be subdivided and within seventy-five (75) feet thereof.

Partially provided. Existing wooded areas shall be indicated on the plan.

The Applicant has indicated the limit of wooded areas have been field verified and labeled on the plan. Noted in Applicant's response letter.

The existing dwellings and retaining walls within 75 feet of the subject properties are not shown on the plans. Please provide.

3. The name of the owner and all adjoining property owners and owners of property directly across the street as disclosed by the most recent municipal tax record. If there is no positive evidence of ownership of any parcel of adjoining property within two hundred (200) feet, a certificate will be presented from the custodian of tax records to that effect.

Provided.

Please refer to Comment No. 1

4. The Tax Map sheet, block and lot numbers.

Provided.

5. All streets or roads and streams within seventy-five (75) feet of the subdivision.

Provided.

6. Location of existing streets, and existing and proposed property lines, lot sizes, and areas.

Provided.

The Applicant is requested to provide on the plans. Sheet 2 is not complete for this submission.

7. Metes and bounds descriptions of all new lot and property lines.

Provided.

8. The existence and location of any utility or other easement.

Not provided. Dwellings which have recently been demolished existed on site. The applicant shall confirm the existence and location of any utilities or other easements.

The 10 ft wide right-of-way adjacent to the southeasterly property line of both lots is not dimensioned or labeled on the Minor Subdivision.

The Applicant has updated the plans to indicated utility poles (for electric) on the northerly side of North Peak Street, gas and water line on North Peak Street and an additional water meter on Lot 9.

The existing water and gas lines extending into the lots including any meters and cleanouts must be shown on the Minor Subdivision and potential grading plan.

Confirm that there are no utility easements on the existing lots. A portion of the existing pavement and utilities are not within the North Peak Street 40 ft. wide R.O.W.

9. Setback, sideline and rear yard distances and existing structures.

Provided.

10. The name and address of the person preparing the plat, the graphic scale, date of preparation and reference meridian.

Provided.

11. Certification from the Tax Collector that all taxes and assessments for local improvements on the property have been paid up to date.

Not provided. The Applicant's transmittal letter has indicated this item was provided, however was not included as part of the submission to this office. We have no objection to the Board deeming this item complete, provided the Borough confirms receipt of the certification.

Acceptable.

12. Certification statement for the required municipal signatures, stating:

Provided.

Provided on Sheet 1. Please add to the Minor Subdivision Plan.

Application No. _____ approved/disapproved by the Highlands Borough Planning Board/Board of Adjustment as a Minor Subdivision on _____.
(date)

Chairman

Secretary

13. Certification statement for the County Planning Board approval / disapproval, if required.

Not applicable.

14. Zone district boundary lines, if any, on or adjoining the property to be subdivided and a schedule indicating the required minimum lot area, lot width, lot depth and front, rear and side yards of each zone district located on the property.

Provided.

Incomplete. The latest submission does not provide existing bulk requirements and proposed lot coverage. Refer to plan sheet 3 of 3.

15. A wetlands statement provided by a qualified expert.

Not provided. We have no objection to the Board deeming this item complete pending confirmation from applicant prior to hearing.

Provide a statement by a licensed engineer or other authority indicating that wetlands are or are not present on the property.

16. The Board reserves the right to require a feasible sketch plan layout of remaining land not being subdivided if it is deemed necessary.

The applicant has provided a generic house layout that demonstrates the sizes of proposed homes and the need for any additional setback relief.

Not acceptable. The proposed lots have many engineering issues that must be addressed by a licensed civil engineer. A licensed engineer is required that the developed sites are designed and will be constructed under the appropriate standard of engineering practices and the safety of the homeowner and adjoining properties.

17. A lot grading plan, to be reviewed by the Borough Engineer, if required.

Provided.

As a condition of approval, it is recommended that the Applicant provide plot plans for review and approval at the time of obtaining building permits and as stated in Comment 16.

III. COMPLETENESS

The application is deemed incomplete for board review. As discussed in the beginning narrative and the following Conclusion section, a Minor Site Plan is required for this application.

More information is also needed to perform a proper technical review of the minor subdivision application as discussed within the Checklist Items and the General Comments sections.

IV. GENERAL COMMENTS

Additional Second Completeness Review comments are shown in regular font. Current review comments are in bold text including the Applicant's responses when addressing a previous review comment.

- a. The plans show adjustments to the existing gutter and roadway within North Peak Street, including installation of a retaining wall and storm drainage improvements within the existing cartway area. It is unclear how the proposed lots will provide the required parking and access to the dwellings from the street. The layout as proposed may require variance relief and approval from the Governing Body.

Partially Provided by Applicant.

The Applicant states, "Each dwelling will have one car garage and 10' wide driveway providing required parking and access to North Peak Street."

Off-street parking is determined by the number of bedrooms, which is unknown.

- b. It appears that the applicant has previously demolished structures on both lots and performed clearing and some grading. The limit of disturbance already performed should be shown on the plans.

Partially Provided by Applicant. Refer to comment c.

- c. The limit of grading/disturbance for the proposed improvements appears to comprise the entire property limits, including some off-tract elements.

Partially Provided by Applicant.

The plan indicates a wood line to the north and east of the property. The extent of disturbance is unknown without knowing the wood line before clearing.

Please indicate the previous wood line or provide a note on the plans.

Testimony should be provided to address any concerns with adjoining property owners pertaining to off-tract disturbance.

The current purpose of Sheet 2 is unclear and is not as complete as the previous submission.

- d. The applicant also notes the installation of a retaining wall within the unnamed 10' right of way to the south of the tracts, with no limit of disturbance or grading shown. The applicant shall provide evidence regarding title to this right of way, and under what authority they propose to install said improvements.

The Applicant has noted in their response letter that it will be addressed during testimony.

Acceptable.

- e. It is my understanding that the prior dwelling on lot 9 utilized a septic system. The location and disposition of this should be shown on the plans.

Partially provided by Applicant.

Sheet 2 indicates the septic tank and one cleanout on existing Lot 9. The disposal bed and service lateral, as part of the system, is requested to be shown. Please provide documentation from the Health Department that the system has been or will be properly removed.

- f. It is presumed that the proposed dwellings will have to connect into the Borough's sanitary sewer system located in Valley Avenue. The applicant shall review and identify their proposed method of connection, which may involve use of the 10' right of way previously mentioned.

The Applicant proposes to provide 4-inch lateral connections to the rear of the dwellings to the 10 ft right-of-way. A 6-inch sanitary sewer line will be constructed within the 10 ft wide right of way and connect to an existing sewer manhole located on Valley Avenue.

A profile of the lateral connection from the proposed dwelling to the manhole connection on Valley Avenue is required to demonstrate acceptable coverage, depths, and slopes.

As noted in Comment D, the applicant shall provide evidence regarding title to the 40 ft. wide right of way, and under what authority they propose to install said improvements.

- g. In addition to the above, the applicant shall identify means of utility connections for water and electric at a minimum and identify their locations on the plans.

Provided by Applicant.

Water, gas, and electric service connections are shown within North Peak Street on the plan.

A utility easement may be required for the existing gas service on Proposed Lot 8, which extends to Proposed Lot 9.

- h. The applicant shall document compliance with the Steep Slope Ordinance found at 21-84.B and provide calculations as required therein. In addition, means and methods for controlling velocity and rate of stormwater runoff shall be documented.

Continuing Comment – The applicant is requesting variance relief from the Steep Slope Ordinance. The property contains slopes greater than 20%. Considering this factor and the extent of improvements proposed, I recommend the applicant demonstrate compliance with all requirements of 21-84B prior to being deemed complete.

Not provided by Applicant.

This review agrees with the continuing comment.

Applicant continues to request variance relief or a waiver from the Steep Slope Ordinance.

Applicant states, in their response letter, "The grading shown on the plan was obtained from a plan prepared by Eastern Civil Engineering. The Applicant is requesting a waiver from compliance to the steep slope ordinance since the proposed grading eliminates all slopes greater than 15%."

Applicant also states, in their response letter, "Stormtech Chambers will be installed in the rear yards of each property. The chamber will temporarily store roof runoff during a storm event to control the stormwater runoff. The bottom of the chambers are open and are installed on clean stone which allow the stored water to percolate into the ground. Roof leaders will be hard piped directly to the chambers. Details, size, and specification will be provided by the applicant."

The Applicant is requested to provide a slope area calculation table noting existing and proposed areas of slopes per criteria. The analysis for the Slope Ordinance not only pertains to the subject property but also 100 ft from the boundary of the property. There are slopes greater than 15% as shown on Sheet 2 and the proposed front yard grading on Sheet 3.

- i. The proposed grading will need to be revised. The proposed contours slope down towards the dwelling, garage, and rear yards. Runoff needs to be redirected away from the dwelling and garage. No runoff is permitted on adjoining properties.

The proposed retaining wall may impede runoff. Provide information on how the runoff will be addressed in the rear yards and without any impact on the adjoining lots.

- j. The proposed retaining wall is very close to the existing retaining walls for Lot 7. The proposed height of the retaining wall in the south corner of Lot 8 is 7.7 ft higher than that of the existing retaining wall on Lot 7.

There are also significant retaining wall heights up to 13.5 ft.

More information is required to determine the impact the new retaining walls will have on the existing dwellings and walls.

- k. Please explain the purpose of the proposed retaining wall located in the existing 10 ft. wide right-of-way.
- l. It is recommended that a performance bond be required for improvements within North Peak Street and the sanitary sewer extension along the 10 ft wide right-of-way.

V. CONCLUSION

This application remains incomplete.

In addition, there are multiple important engineering issues that cannot be disconnected from the minor subdivision. The licensed land surveyor is inappropriately including engineering items on the plan and providing engineering review responses to the Borough.

It is required that a Minor Site Plan application and plans be prepared by a licensed professional engineer and submitted.

Should you have any questions, please do not hesitate to contact me.

Very truly yours,



Carmela Roberts, P.E., C.M.E., C.P.W.M.
Land Use Board Engineer

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)
Austin Mueller, Esq., Land Use Board Attorney (amueller@weiner.law)
Courtney Lopez, Zoning Officer (clopez@highlandsborough.org)
Charles Farkouh, Applicant (GNF718@aol.com)
Michael A. Bruno, Esq., Applicant's Attorney (mbruno@ghclaw.com)
Cameron Corini, P.E., C.M.E., C.P.W.M., Roberts Engineering Group, LLC
GS Bachman, E.I.T., Roberts Engineering Group, LLC

ENGINEER'S REPORT

FOR

14 & 32 NORTH PEAK STREET

*Borough of Highlands
Monmouth County, New Jersey*

Prepared by:

CME ASSOCIATES
1460 Route 9 South
Howell, New Jersey 07731



Bennett A. Matlack, PE, CME, CFM
Professional Engineer
NJ License No. 49346

March 30, 2023
File: HHI00520.01



CONSULTING AND MUNICIPAL ENGINEERS

TABLE OF CONTENTS

	<u>PAGE</u>
1. PROJECT BACKGROUND AND EXISTING CONDITIONS	1
2. SOIL EROSION AND SEDIMENT CONTROL STANDARDS	2
3. PROJECT OVERVIEW AND DESCRIPTION	3

APPENDICES

- A PHOTO EXHIBIT
- B GRADING PLAN REVIEWS
- C TREE REMOVAL PERMITS
- D VIOLATIONS, SUMMONS & STOP CONSTRUCTION ORDERS
- E CONSTRUCTION PERMITS & MISCELLANEOUS

1. PROJECT BACKGROUND AND EXISTING CONDITIONS

The subject property discussed within this report is, Block 35, Lots 8 & 9, known as 14 & 32 North Peak Street located in Highlands, New Jersey. This property is owned by Home and Land Development Corp. Home and Land Development Corp demolished all existing structures on site in anticipation of residential development on the property. The Property is situated at the north end of North Peak Street, a narrow road only approximately 14 feet wide situated within a 40-foot-wide right-of-way. The subject property has an elevation of 146 on the north side and slopes to the south to an elevation of 111. A "Preliminary Grading Worksheet: prepared by Andrew R. Stockton, PE dated December 2, 2021, showing existing topography for the site can be found in Appendix B.

2. PROJECT OVERVIEW AND DESCRIPTION

Home and Land Development Corp received two tree removal permits (Appendix C) from Highlands Borough on September 27, 2021. There was 10 trees listed for removal on each permit. Home and Land Development did not submit a site plan or markup indicating which trees were designated to be removed from the property. The site was cleared of all existing trees upon approval of the permit by the Borough. It is unclear if there were any trees removed that were not indicated on the permit application.

Home and Land Development Corp received a construction permit on November 16, 2021 from the Borough of Highlands for the demolition of a single family dwelling located at 14 North Peak Street. Home and Land Development Corp submitted a grading review application to the Borough on April 10, 2021. Proposed improvements included constructing a series of retaining walls prior to the construction of two new homes on the property. CME Associates issued a letter on December 14, 2021 (Appendix B) stating that the grading review was not acceptable due to the following:

1. *Retaining walls are proposed in Borough right-of-way to the South of the property and at North Peak Street to the North. Wall is also proposed on adjacent property to the East. No construction will be permitted on Borough Property or property unowned by applicant.*
2. *According to §21-848 of the Highlands Municipal Code, no disturbance of slopes exceeding 35% is permitted.*
3. *Grading Plan must be signed and sealed by a NJ licensed professional engineer.*
4. *Applicant does not provide spot elevations along property lines, at property corners or onto adjacent properties.*

On April 11, 2022 William F. Brunt, Code Enforcement Officer for the Borough of Highlands issued a violation notice and summons to Home and Land Development Corp (Appendix D). The violation specifically noted the following violation:

1. *Code 301.3 - Vacant structures and land.*
 - i. *All vacant structures and premises thereof or vacant land shall be maintained in a clean, safe, secure and sanitary condition as provided hereto so as not to cause a blighting problem or adversely affect the public health or safety.*
2. *Ord 10-10.1 Removal of Brush, Weeds, Trash, and Debris.*
 - i. *Notwithstanding the provisions of the International Property Maintenance Code, and without superseding its incorporation into Borough ordinance, every owner or tenant of lands or dwellings in the Borough shall keep the lands or dwellings free of fire hazards, brush, weeds, including ragweed, dead and dying trees, stumps, roots, obnoxious growths, filth and garbage (trash and debris in cans, bags and/or in bulk), and shall maintain the land or dwellings in a clean and sanitary condition.*

Following, the summons issued to Home and Land Development, a stop construction order (Appendix D) was issued by the Highlands Building Department dated May 5, 2022. The stop work order was a result of “failure to obtain prior approvals engineering/zoning”. The order indicated that permission to resume construction would be granted after Home and Land Development obtained such approvals.

Over the next several months, there continued to be erosion identified on the adjoining properties due to the un-stabilized fill that was placed on site. The developer was ordered to remove the fill until the proper approvals were obtained by the appropriate parties.

A notice of violation and order to terminate was served to Home and Land Development Corp on June 9, 2022. This notice was in response to violating the original stop work order which was issued on May 5, 2022 for performing work without required permits. Home and Land Development Corp was ordered to terminate the said violation on or before June 14, 2022. Specific violations can be found below:

1. *On 6/8/2022, you were found to be in violation of the State Uniform Construction Code Act and Regulations promulgated thereunder, in that you [] made a false or misleading written statement, or omitted required information in an application or request for approval; or [X] failed to obtain a construction permit; or [] failed to request required inspections; or [] allowed occupancy prior to receiving a certificate of occupancy.*
2. *On 6/8/2022, you were found to be in violation of the State Uniform Construction Code Act and Regulations promulgated thereunder. A Stop Construction Order was issued. Re-inspection of the work site on 6/8/2022 revealed a failure to comply with that Stop Construction Order.*

In addition to the above, our office issued a letter recommending stabilization measures being installed due to erosion issues and complaints from the neighboring property at 102 Valley Avenue (Appendix D).

3. CURRENT CONDITIONS

Current conditions on site can be seen in Appendix A with various site photos from April 11, 2022 and March 3, 2023. The site appears to have not been altered since the stop construction order on June 9, 2022. The site remains mostly un-vegetated so the potential for erosions should be considered.

APPENDIX A

SITE PHOTOS

1. Photos from April 11, 2022.
2. Photos from March 3, 2023.



1

14 & 32 North Peak ST 4-11-22.pdf



2

14 & 32 North Peak ST 4-11-22.pdf



3

14 & 32 North Peak ST 4-11-22.pdf



4

14 & 32 North Peak ST 4-11-22.pdf

Item 3.

155



5

14 & 32 North Peak ST 4-11-22.pdf



6

14 & 32 North Peak ST 4-11-22.pdf



7

14 & 32 North Peak ST 4-11-22.pdf



8

14 & 32 North Peak ST 4-11-22.pdf



9

14 & 32 North Peak ST 4-11-22.pdf



10

14 & 32 North Peak ST 4-11-22.pdf



11

14 & 32 North Peak ST 4-11-22.pdf



12

14 & 32 North Peak ST 4-11-22.pdf



13

14 & 32 North Peak ST 4-11-22.pdf



14

14 & 32 North Peak ST 4-11-22.pdf



15

14 & 32 North Peak ST 4-11-22.pdf

PHOTO #1:



PHOTO #2:



PHOTOGRAPHS

LOCATION: 14 & 32 North Peak Street
MUNICIPALITY: Holmdel Township
COUNTY: Monmouth County
FILE NO: HHI00520.01



PHOTO #3:



PHOTO #4:



PHOTOGRAPHS

LOCATION: 14 & 32 North Peak Street
MUNICIPALITY: Holmdel Township
COUNTY: Monmouth County
FILE NO: HH100520.01



PHOTO #5:



PHOTO #6:



PHOTOGRAPHS



LOCATION: 14 & 32 North Peak Street
MUNICIPALITY: Holmdel Township
COUNTY: Monmouth County
FILE NO: HHI00520.01

PHOTO #7:



PHOTO #8:



PHOTOGRAPHS

LOCATION: 14 & 32 North Peak Street
MUNICIPALITY: Holmdel Township
COUNTY: Monmouth County
FILE NO: HHI00520.01



APPENDIX B

GRADING PLAN REVIEWS

1. Grading Plan Review #1, Prepared by CME Associates dated December 14, 2021.
2. Grading Review Application dated April 10, 2021.

JOHN H. ALLGAIR, PE, PP, LS (19
 DAVID J. SAMUEL, PE, PP, CME
 JOHN J. STEFANI, PE, LS, PP, CME
 JAY B. CORNELL, PE, PP, CME
 MICHAEL J. McCLELLAND, PE, PP, CME
 GREGORY R. VALES, PE, PP, CME



TIM W. GILLEN, PE, PP, CME (1991-2019)
 BRUCE M. KOCH, PE, PP, CME
 LOUIS J. PLOSKONKA, PE, CME
 TREVOR J. TAYLOR, PE, PP, CME
 BEHRAM TURAN, PE, LSRP
 LAURA J. NEUMANN, PE, PP
 DOUGLAS ROHMEYER, PE, CFM, CME
 ROBERT J. RUSSO, PE, PP, CME
 JOHN J. HESS, PE, PP, CME

December 14, 2021

Sent via Electronic & Regular Mail

Borough of Highlands
 42 Shore Drive
 Highlands, NJ 07732

Attn: Joseph Kachinsky – Construction Official

**Re: Grading Plan Review #1
 14 & 32 North Peak Street – Block 35, Lots 8 & 9
 Borough of Highlands, Monmouth County, NJ
 Our File: HHIE0035.01**

Dear Mr. Kachinsky:

Our office is in receipt of and has reviewed the following for the above referenced property:

- Plan entitled “Preliminary Grading Worksheet for Home and Land Development Corp, Block 35 Lots 8 and 9, Highlands Borough, Monmouth County, New Jersey”, consisting of one (1) sheet, prepared by Eastern Civil Engineering, LLC, dated December 2, 2021, unrevised; and
- Plan entitled “Stone Strong System – Gravity Retaining Wall – Home & Land Development North Peak Street” consisting of six (6) sheets, prepared by Garden State Precast Inc, dated November 15, 2021.
- Completed Grading Review Application, dated April 10, 2021.

The Applicant is proposing to construct a series retaining walls prior to the construction of two new homes on the properties. It appears the existing topography of the property is generally sloped towards the Southwesterly corner of the lot. The plan generally depicts drainage patterns on the property are proposed to remain consistent with the existing conditions. As depicted on the FEMA Preliminary Flood Insurance Rate Map (FIRM), the property lies in Zone X, an area of minimal flood hazard. Based upon the NJDEP NJ-GeoWeb online resource, the property is located in a CAFRA zone but no wetlands are identified on or in the immediate proximity of the site.

In accordance with your request, our office has reviewed the submitted items for compliance with the applicable Borough requirements. Based upon our review, we find the Preliminary Grading Worksheet Plan dated December 2, 2021, **not acceptable** from a grading standpoint, due to the following conditions:

1. Retaining walls are proposed in Borough right-of-way to the South of the property and at North Peak Street to the North. Wall is also proposed on adjacent property to the East. No construction will be permitted on Borough Property or property unowned by applicant.



Borough of Highlands
 Re: Grading Plan Review #1
 14 & 32 North Peak Street – Block 35 Lots 8 & 9

December 14, 2021
 Our File No. HHIE0035.01
 Page 2

2. According to §21-84B of the Highlands Municipal Code, no disturbance of slopes exceeding 35% is permitted.
3. Grading Plan must be signed and sealed by a NJ licensed professional engineer.
4. Applicant does not provide spot elevations along property lines, at property corners or onto adjacent properties.

Please note this review includes only grading and drainage elements. We defer review of lot coverage and other applicable zoning requirements to the Borough Zoning Department.

The scope of this review is limited to grading and does not include a full zoning review of any other sections of the Highlands development regulations. Additionally, the structural stability of any existing or proposed improvements were not evaluated as part of this review. Please note the granting of any permit or approval in any slope area shall not constitute a representation, guarantee, or warranty of any kind by the Borough or by any official or employee thereof of the practicability or safety of any structure, use or other plan proposed, and shall create no liability upon, or cause any action against, such public body, official or employee for any damages that may result pursuant hereto.

We trust that this is all the information you require at this time. However, should you have any questions or require any additional information regarding the above, please feel free to contact this office.

Very truly yours,

CME Associates

Drew E. Pavlick, PE, PP, CME, CFM
 Borough Engineer's Office

DEP/PMK

cc: Michael Muscillo – Borough Administrator
 Michelle Hutchinson, CMR – Municipal Clerk
 Marianne Dunn – Zoning Officer
 Bennett A. Matlack, PE – Borough Engineer
 Patti Merse – Building Dept.
 Home & Land Development Corp – Applicant
 Andrew R. Stockton, PE – Applicant's Engineer



Item 3.

RECEIVED DEC 13 2021

Borough of Highlands
42 Shore Drive
Highlands, NJ 07732
(732) 872-1224
www.highlandsborough.org

Grading Review Application

GRADING PLAN REVIEW APPLICATION

DATE: 4/10/21

NOTE: Please allow a minimum of 3-4 weeks for review and processing of application.

APPLICANT NAME: HOME & LAND DEVELOPMENT CORP

MAILING ADDRESS: 88-1 PORTLAND RD

ZIP CODE: 07732

PHONE: 917 686 4111

EMAIL: GNF718@AOL.COM

PROJECT SITE DETAILS:

BLOCK: 35 LOT(S): 8 & 9

PROPERTY ADDRESS: 14 NORTH PEAK 32 NORTH PEAK
(Include zip code)

PROPOSED DESCRIPTION OF DEVELOPMENT / IMPROVEMENTS:

(Example: New dwelling, swimming pool, retaining walls, etc.)

~~RETAINING WALL PRIOR TO BUILD TWO NEW HOMES~~

THE FOLLOWING MUST BE SUBMITTED WITH THE APPLICATION:

- TWO (2) COPIES OF THIS COMPLETED REQUEST FORM
- TWO (2) COPIES OF ...

210195

SECURED BY B2BFIELD

55-138/212

HOME & LAND DEVELOPMENT CORP
88-1 PORTLAND RD
HIGHLANDS, NJ 07732

Date: 12/10/21

Pay to the order of Borough of Highlands \$ 425.00
Four Hundred Twenty Five Dollars

VALLEY BANK
WWW.VALLEY.COM

For 14-32 N PEAK ST

⑈ 210195 ⑆ ⑆ 021201383 ⑆ ⑆ 000041300130 ⑆ ⑆

SECURITY FEATURES
Details on Back



Item 3.

Borough of Highlands
42 Shore Drive
Highlands, NJ 07732
(732) 872-1224
www.highlandsborough.org

RECEIVED DEC 13 2021

Grading Review Application

GRADING PLAN REVIEW APPLICATION

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PHONE: 917 686 4111 EMAIL: GNF718@AOL.COM

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PROPERTY ADDRESS: 14 NORTH PEAK 32 NORTH PEAK
(Include zip code)

PROPOSED DESCRIPTION OF DEVELOPMENT / IMPROVEMENTS:

(Example: New dwelling, swimming pool, retaining walls, etc.)

~~RETAINING WALL PRIOR TO BUILD TWO NEW HOMES~~

THE FOLLOWING MUST BE SUBMITTED WITH THE APPLICATION:

- TWO (2) COPIES OF THIS COMPLETED REQUEST FORM
- TWO (2) COPIES OF ENGINEERED GRADING PLAN WITH TOPOGRAPHY & APPLICABLE DETAILS
- EMAIL DIGITAL FILE (PDF) OF PLAN TO CASHIER@HIGHLANDSBOROUGH.ORG
- TWO (2) COPIES OF ARCHITECTURAL PLANS (FOUNDATION & 1st FLOOR PLANS, APPLICABLE DETAILS)
- TWO (2) COPIES OF COMPLETED GRADING PLAN PREPARATION CHECKLIST
- \$425.00 ENGINEERING REVIEW FEE, RESUBMITTALS REQUIRE A \$175.00 REVIEW FEE.
(NOTE: COMMERCIAL GRADING PLAN REVIEW FEES BASED ON SUBDIVISION & SITE PLAN FEE SCHEDULE)
(Checks made payable to the "Borough of Highlands")
- SUPPORTING DOCUMENTATION PER CHECKLIST
- TWO (2) COPIES OF TOPOGRAPHIC AS-BUILT SURVEY AT COMPLETION OF PROJECT
- NOTE THAT COLOR PHOTOGRAPHS OF ENTIRE INFILTRATION SYSTEM INSTALLATION ARE REQUIRED

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PLEASE ANSWER THE FOLLOWING:

Yes ___ or No Was the subject lot/property created by Subdivision Approval within the last 20 years?

If yes, provide copies of the Board Resolution and set of approved mappings.

Yes ___ or No Has the proposed work required approval from the Land Use Board for a variance, site plan, subdivision?

If yes, provide copies of the Board Resolution and set of approved mappings

Yes ___ or No Does the property contain any easements, right-of-way or other restrictions?

Yes ___ or No Is the property located in the 100-year floodplain?

If yes, approval from the Building Department is required prior to issuance of construction permits. Additionally, a NJDEP Flood Hazard Permit may be required.

Yes ___ or No Is the property situated within 50' of any ponds, streams, brooks, marshes, river, lakes, bogs, ditches, creeks, swamps, etc. or other low lying areas?

If you answered yes, you must contact the NJDEP to obtain clearance/approval. If you are unsure you should contact the NJDEP to clarify applicability. Violations of wetlands and other environmentally sensitive areas could result in fines imposed by the State of NJ. The phone number for the NJDEP is (609) 777-0454.

Yes ___ or No Is the property located within 300 ft. of the mean high water line or any area regulated by the NJ Department of Environmental Protection?

If you answered yes, you must contact the NJDEP to obtain clearance/approval. If you are unsure you should contact the NJDEP to clarify applicability. Violations in environmentally sensitive areas could result in fines imposed by the State of NJ. The phone number for the NJDEP is (609) 777-0454.

Yes ___ or No Is the property located within a Special Flood Hazard Zone?

Prior to issuance of any building permits, the applicant must comply with N.J.A.C. Title Chapter 13, Flood Hazard Area (FHA) Control Rules, where applicable. The applicant may obtain an Applicability Determination from the NJDEP if it is not clear what FHA permit is required, if any. If the project is subject to a General or Individual Permit from the New Jersey Department of Environmental Protection or the applicant obtains an Applicability Determination or issues a permit-By-Rule Notice, the applicant must provide the Borough with copies of the documents with the grading plan application. If the applicant believes the project is subject to a Permit-By-Rule, the applicant must provide a letter documenting the basis for that relief.

NOTES TO APPLICANT:

ALLOW MINIMUM THREE TO FOUR WEEKS FOR REVIEW AND PROCESSING OF APPLICATION ONCE COMPLETE.

AN APPLICATION THAT IS NOT COMPLETE WILL NOT BE ACCEPTED AND MAY RESULT IN A PERMIT DENIAL.

IT IS YOUR RESPONSIBILITY TO COMPLY WITH ANY CONDITIONS OF THE REVIEW LETTER.

IF A REVISION TO THE PLAN IS REQUIRED AND / OR APPLICATION IS DENIED, AN ADDITIONAL \$175.00 FEE MUST BE SUBMITTED WITH THE REVISED PLAN. REVISED PLANS MUST HAVE REVISION DATE ACCORDINGLY.

HIGHLANDS BOROUGH GRADING PLAN PREPARATION CHECKLIST

*** THIS CHECKLIST MUST BE COMPLETED AND ATTACHED TO THE GRADING PLAN ***



Existing boundary, location and topographic survey information is prepared by a NJ Licensed Land Surveyor and duly referenced on the grading plan.



Grading plan is entitled "Grading Plan" and prepared by a NJ Licensed Professional Engineer.



Sufficient existing and proposed spot elevations and contours are provided for the subject property as well as adjacent properties (minimum 25 ft. overlap) to identify existing drainage patterns. Spot elevations are provided on the property, at building corners, along property lines, at property corners, 25 ft. overlap onto adjacent properties, curb, gutters, top and bottom wall, etc. Failure to provide overlapping topographic data including spot elevations may result in the denial of the application. Contours at 1 (one) foot intervals are provided and vertical datum indicated on plan.



Indicated existing and proposed utility connections, including water, gas, sewer & electric.

A minimum of 2% pitch away from all building foundations is provided. Swales are labeled and include spot elevations and highpoints. Proposed site grading will not negatively affect adjacent properties.

Finished floor elevation, garage floor elevation (at overhead doors & at rear of garage), crawlspace floor elevation, and basement floor elevation are provided where applicable.

Limit of disturbance, silt fence location, and a silt fence detail are provided on the plan. Notes provided regarding seeding and stabilization. Limit of disturbance line includes utility trenching in roadway.

Note is placed on plans stating that "silt fencing to be placed around the area of disturbance and left in place until the property is permanently stabilized."

A copy of the Freehold Soil Conservation District approval, (for projects disturbing 5,000 sq. ft. or more) or exemption letter is provided.

Architectural plans are provided (at a minimum, the foundation and first floor plans need to be provided, along with elevation views). Dimensions of buildings must be shown on the Grading Plan.

Zoning chart providing bulk zoning requirements provided on the plan indicating required, existing and proposed information, including lot area and existing & proposed impervious coverage in square feet. Each impervious coverage item must be listed separately in square feet. **Impervious cover includes all walks, driveways, buildings, patios, walls, pads, decks and stone areas for grading plans and drywell sizing.**

Provide construction details for sidewalk, curb, driveway, driveway apron, retaining walls and drywells, where applicable.

A drywell must be provided for all projects to mitigate increases in **impervious cover**. Roof leaders must be piped to proposed drywell or runoff collected via yard grates and piping per applicable design. Locations of drywells, downspouts, pipe sizes, pipe slopes and inverts, and grates must be provided. A drywell detail must be provided along with supporting drainage calculations and a permeability test to confirm proper sizing. Drywell must be sufficiently sized to store 1.25 inches times the net-increased impervious area. Clean stone has an acceptable void ratio of 0.30. Locations of yard grates must also be shown on the plan, where applicable.

For construction of in-ground swimming pools the grading plan must include:

- _____ Location of Pool filters and equipment, and screened from view. Location of Pool backwash discharge.
- _____ Spot elevations along edges of pool (corners) and patio.
- _____ Delineation of pool fence enclosure, including type, height, and provide safety latch.
- _____ Drywell provided to mitigate net-increase in impervious coverage.

Copies of approvals from all relevant outside agencies have been provided (Land Use Board, NJDEP, Monmouth County Planning Board, Freehold Soil Conservation District, etc.). Resolutions of approval and related engineering/planning letters and approved plans referenced are attached with submittal.

**FAILURE TO PROVIDE THE ABOVE LISTED ITEMS MAY RESULT IN GRADING APPLICATION DENIAL.
PREPARER'S CERTIFICATION OF SUBMITTALS:**

I hereby certify that (circle one) 1) I am the owner of the property;

or

2) I have permission from the property owner to submit the application for Grading Plan review.

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Furthermore, I certify to the best of my knowledge all information contained within this application is correct; and the survey/grading plan provided is accurate and shows all existing and proposed improvements drawn to scale and with setbacks indicated; In addition, I grant permission to the Borough of Highlands and their agents to come onto the subject property for the purposes of conducting inspections related to this application.

CHARLES FARKOUH PRES

[Printed Name & Title]


[Signature and Date] 12/10/21

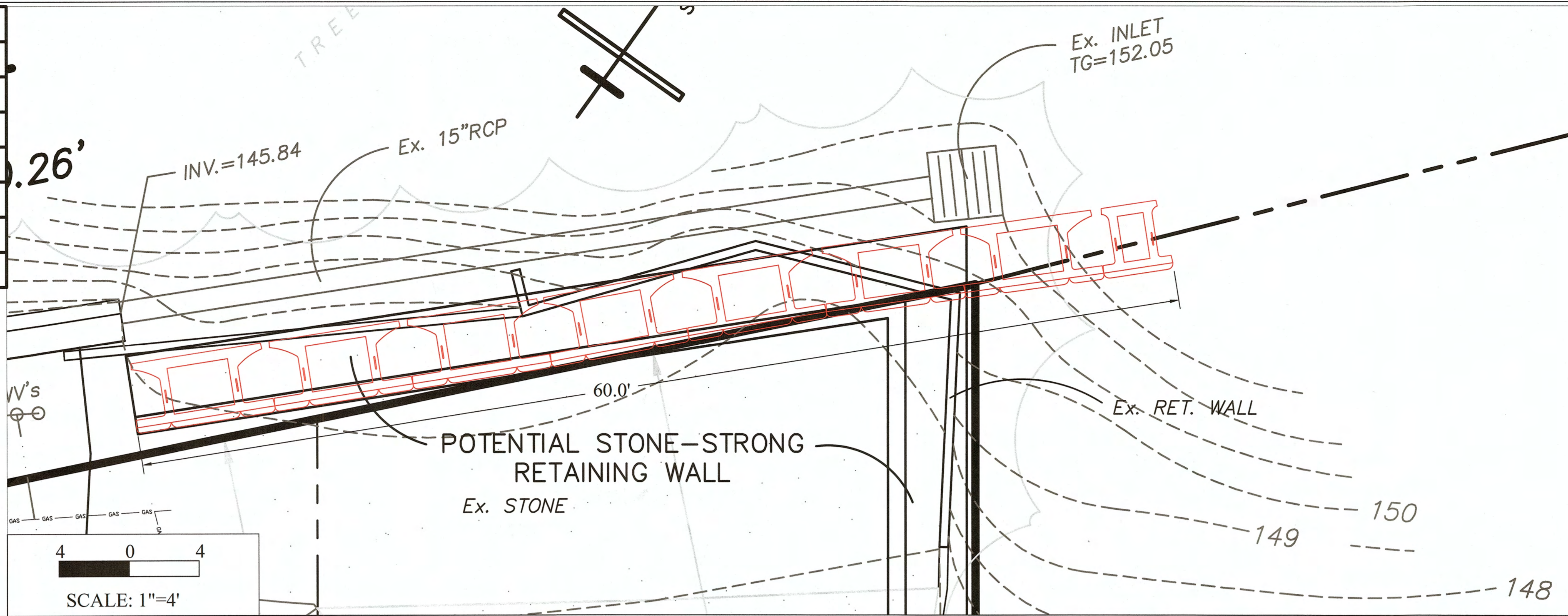
ADDITIONAL NOTE TO APPLICANT / OWNER:

The Following Mapping is Required for all Grading Plan & Swimming Pool Projects:

- An As-Built Topographic Survey is required to be submitted at completion of site-work and prior to receiving a Certificate of Occupancy. A minimum of three (3) sealed copies must be provided.
- The As-built Topographic Survey must depict, at a minimum, the following information:

As-built contours provided at a one-foot contour interval with vertical datum indicated. **Topographic As-built survey is required to be prepared and submitted to the Borough Engineer for review and approval prior to receiving a Certificate of Occupancy.** If necessary the applicant will be required to correct any deficiencies at the discretion of the Borough Engineer. As-Built Survey must be in conformance with requirements as listed on Request for Grading Plan Review Application & Checklist. As-built survey must include contours and spot elevations on the property, along property lines, top and bottom curb elevations, with 25 ft. overlap onto adjacent properties and sufficient spot elevations to determine slope of driveway, apron, sidewalks, swales, and pitch away from building foundations. Recharge system and related yard drains and piping must be shown on the As-built survey. Additionally, extensive spot elevations must be shown to confirm runoff patterns, elevations and that no runoff flows toward adjacent lots. Spot elevations must be provided at building corners, swales, swale highpoint, driveway, downspouts, driveway apron, and along curb. Location of all downspouts and yard drain piping to drywells must be shown on the plan. Any septic tank, subsurface disposal field and wells must be shown. If necessary the applicant will be required to correct any deficiencies at the discretion of the Borough Engineer. Failure to provide sufficient spot elevations may result in denial. Additionally, footprint of disturbance must be shown. Allow minimum ten (10) days for review and processing of As-built mappings and supporting documents. The Survey must be prepared by a NJ Licensed Land Surveyor.

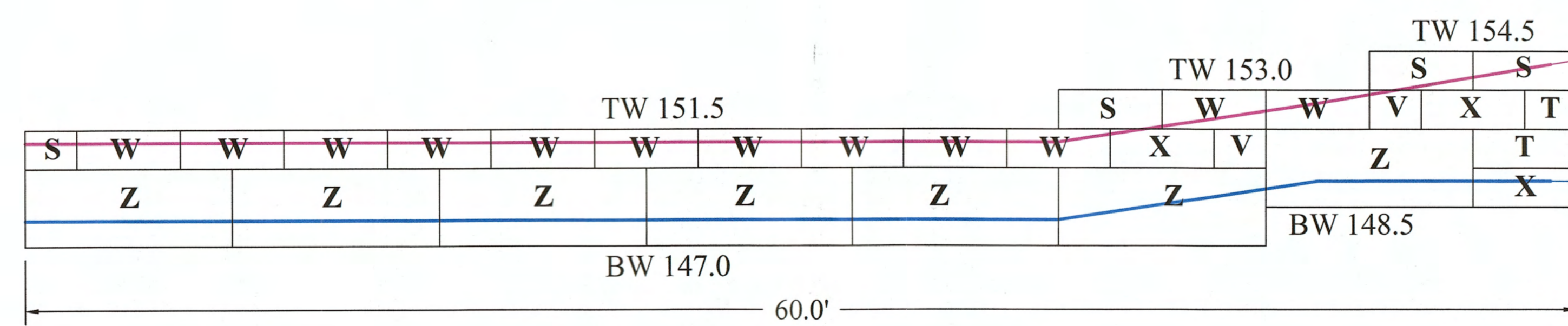
WALL 1 -BLOCK TABLE		
BLOCK	SF	QUANTITY
Z	24	7
X	6	3
W	6	12
S	9	4
T	6	2
V	3	2



■ **TOP OF WALL (TW)**
(ESTIMATED FROM PRELIM. GRADING WORKSHEET PLAN SET)

■ **BOTTOM OF WALL (TW)**
(ESTIMATED FROM PRELIM. GRADING WORKSHEET PLAN SET)

ELEVATION VIEW-WALL1



PROFILE VIEW-WALL 1

4 0 4
SCALE: 1"=4'



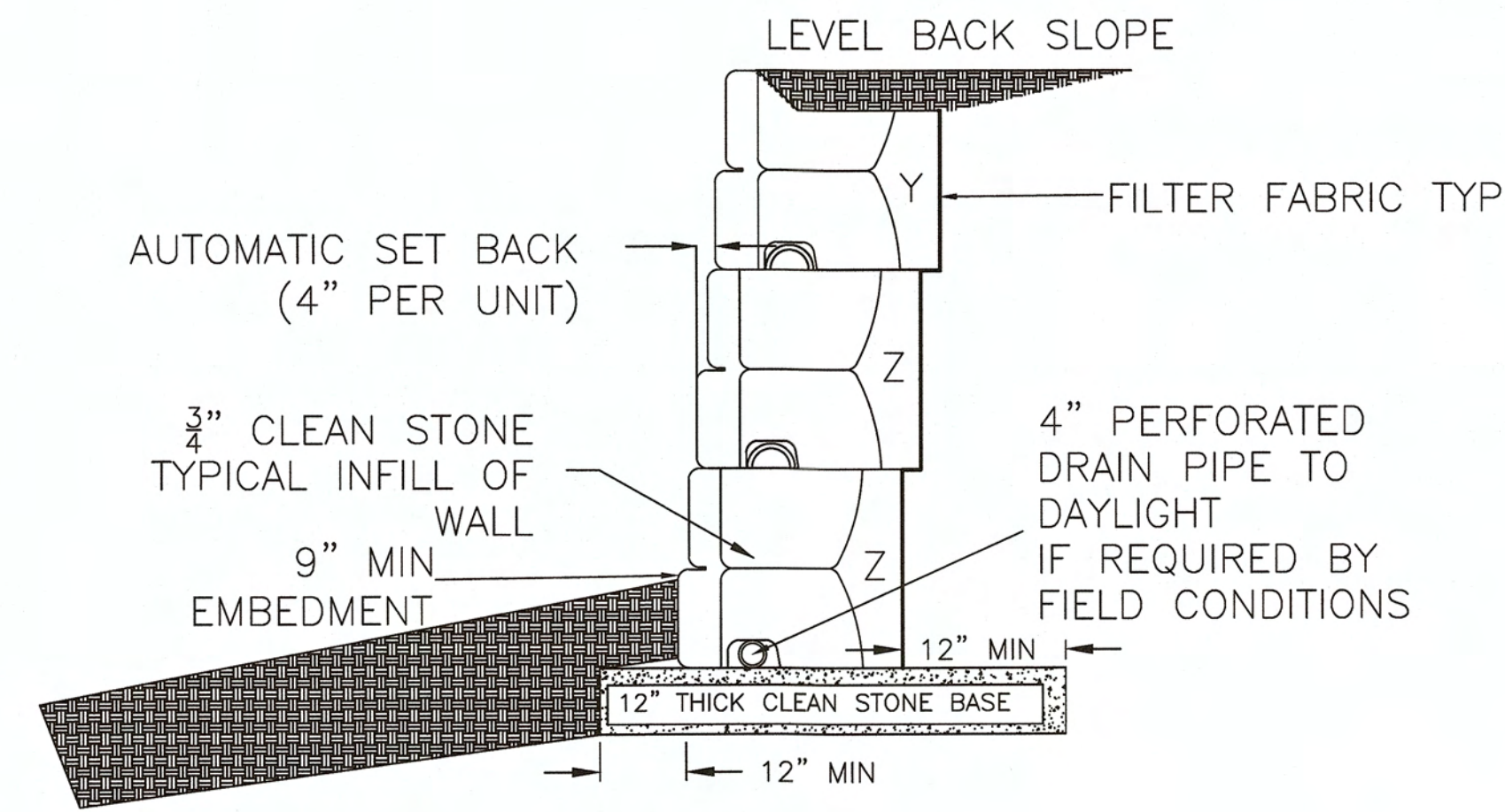
DESCRIPTION	DWG. NO.	APP. DATE
COMPILED DRAWINGS	R3	11/15/21
CONFIRMED LAYOUT	R2	11/12/21
REVISION TO DRAWINGS		

STONE STRONG SYSTEM - GRAVITY RETAINING WALL
PROFILE / ELEVATION/ PLAN VIEW - WALL 1
HOME & LAND DEVELOPMENT
NORTH PEAK STREET
#21-54385

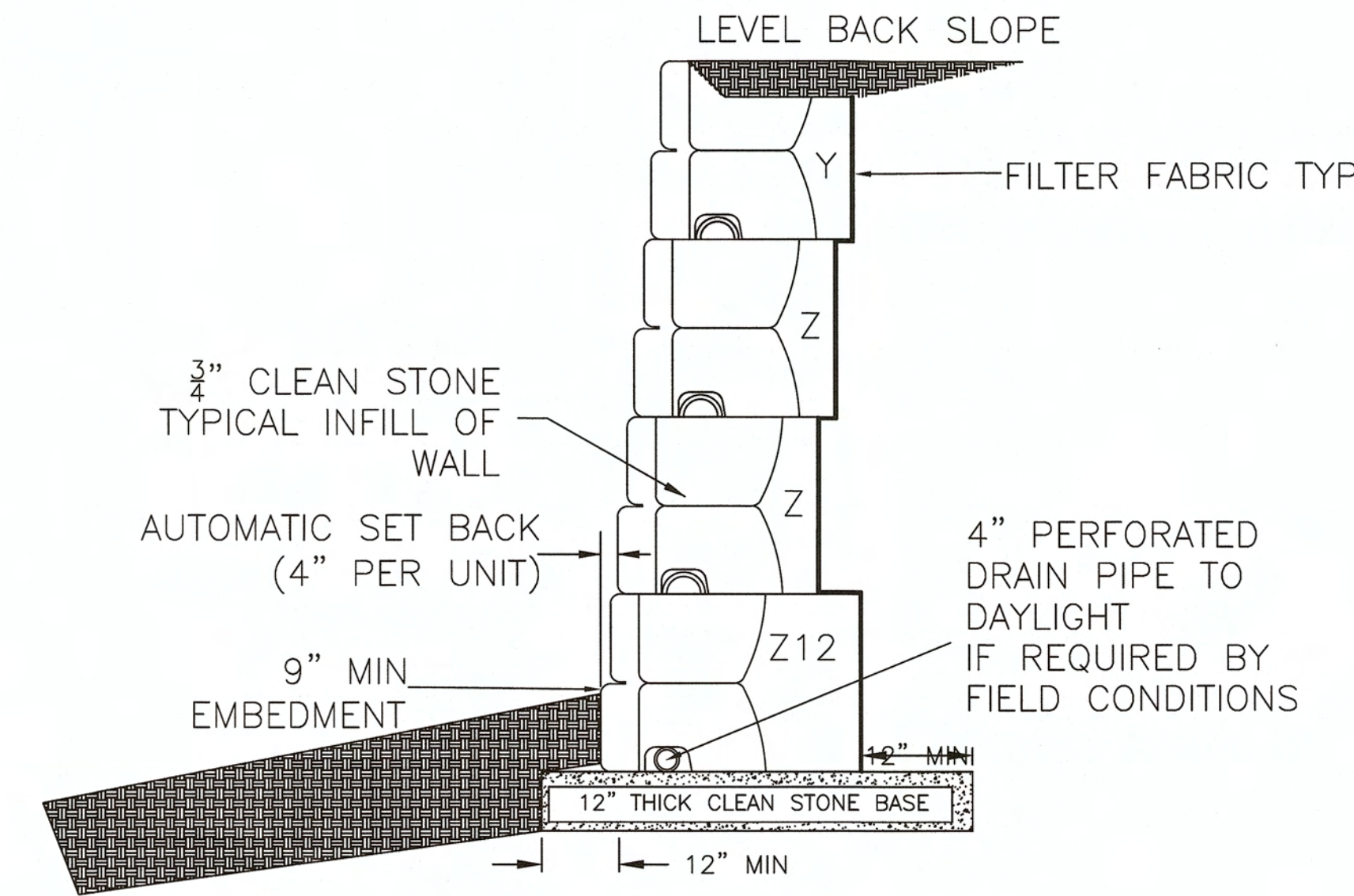
RECEIVED DEC 18 2021

GARDEN STATE PRECAST
P.O. BOX 702
FARMINGDALE, NJ 07727
732-938-4436
732-938-7096 - FAX

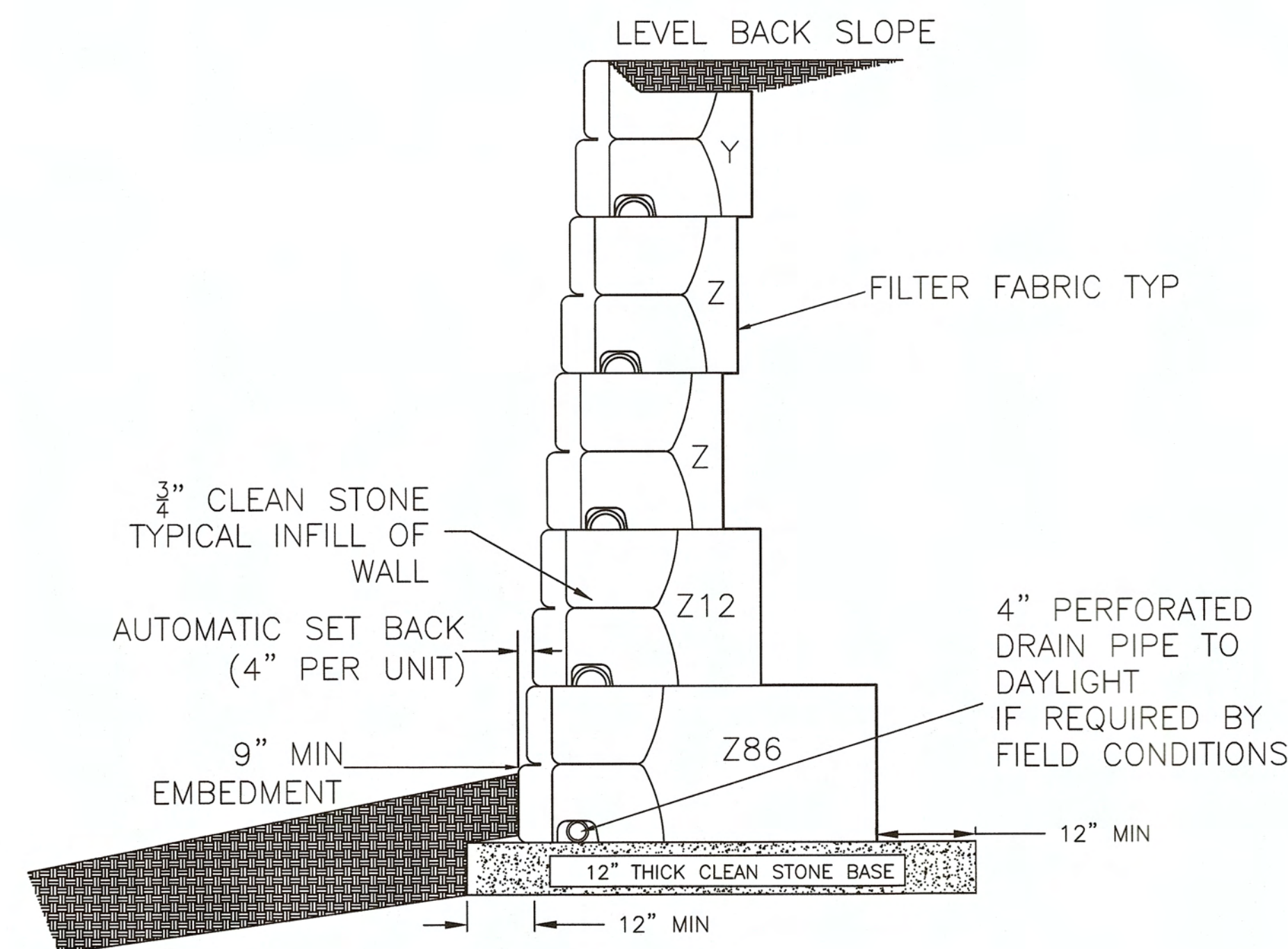
SHEET 1 OF 6



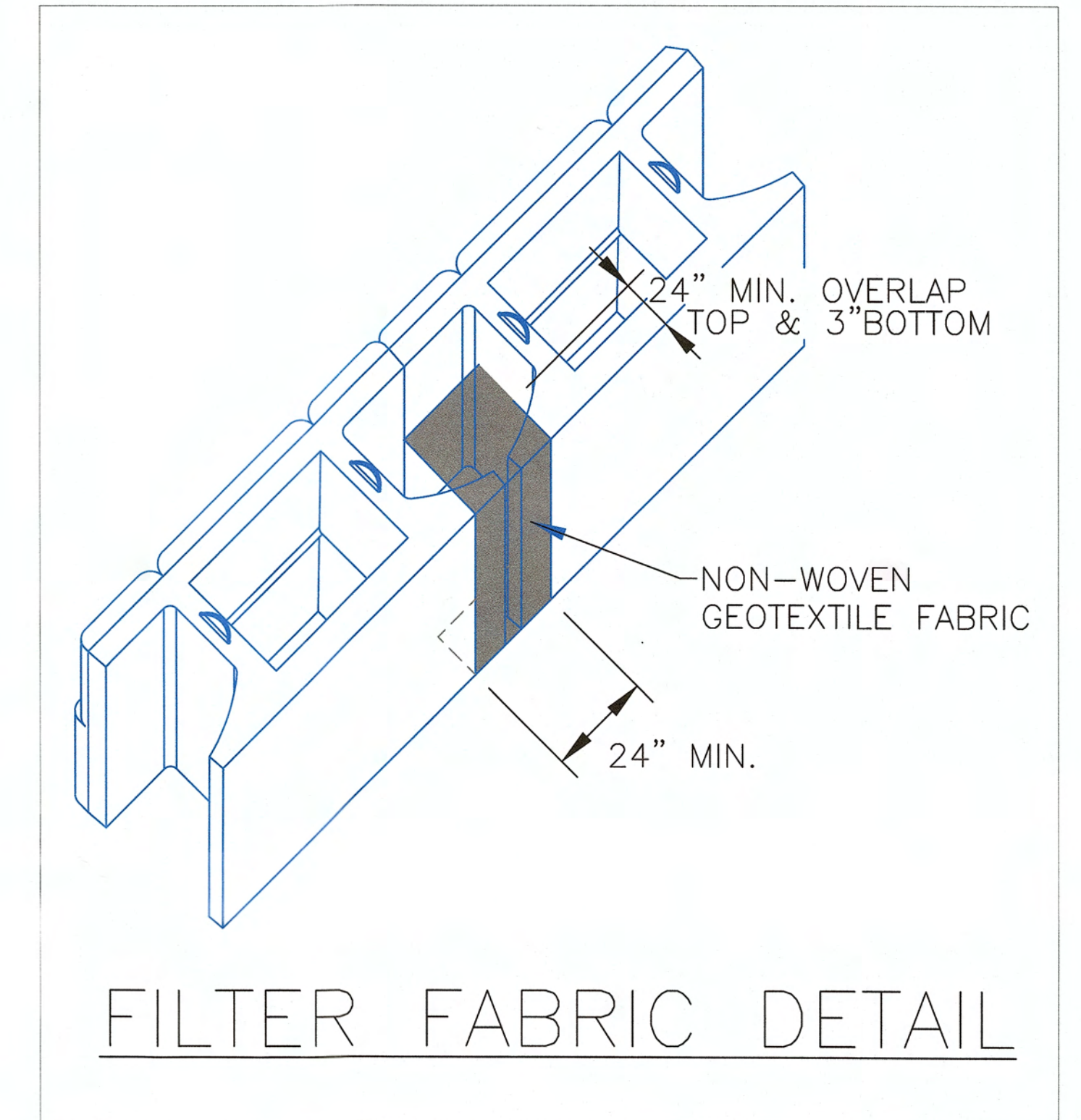
1.5-9.0 VF GRAVITY WALL
CROSS SECTION



10.5-12.0 VF GRAVITY WALL
CROSS SECTION



13.5-15.0 VF GRAVITY WALL
CROSS SECTION



FILTER FABRIC DETAIL



SCALE: NTS

DESCRIPTION	DWG. NO.	APP. DATE
COMPILED DRAWINGS	R3	11/15/21
CONFIRMED LAYOUT	R2	11/12/21
EXTENDED WALL	R1	11/5/21

REVISION TO DRAWINGS

SECTION DETAILS FOR WALL 1 AND WALL 2

STONE STRONG SYSTEM - GRAVITY RETAINING WALL

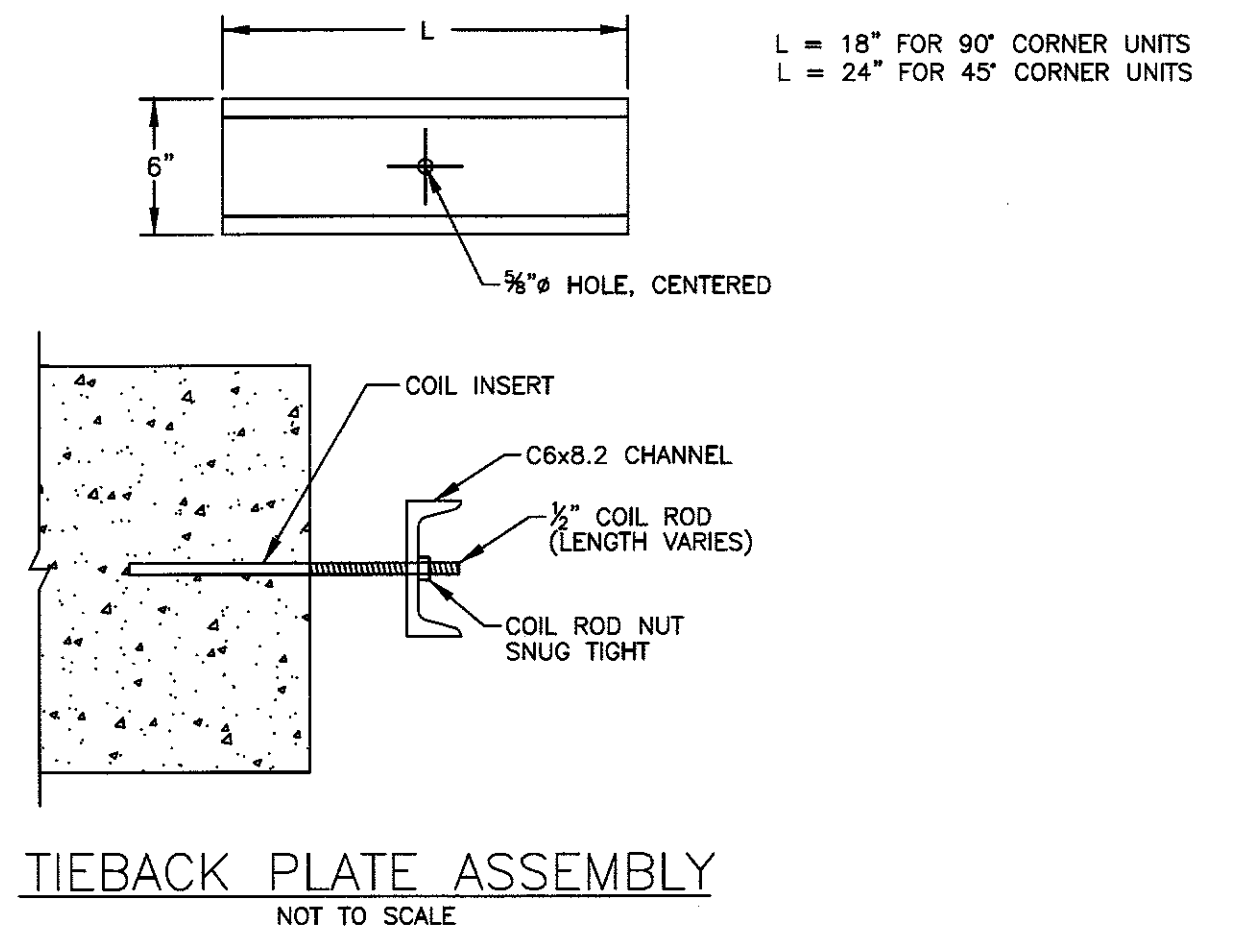
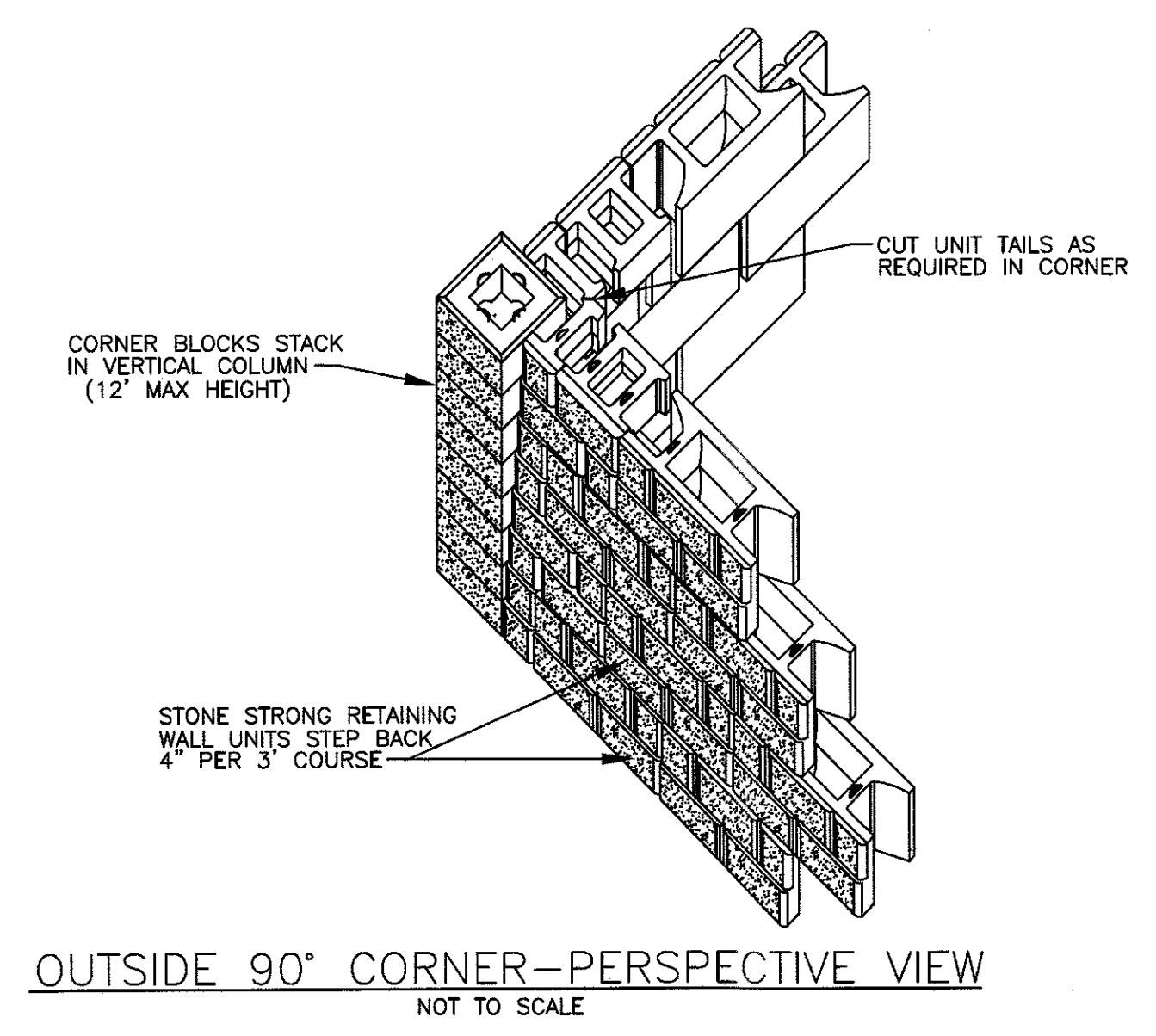
HOME & LAND DEVELOPMENT
NORTH PEAK STREET
#21-54385

GARDEN STATE PRECAST
P.O. BOX 702
FARMINGDALE, NJ 07727
732-938-4436
732-938-7096 - FAX

RECEIVED DEC 18 2021

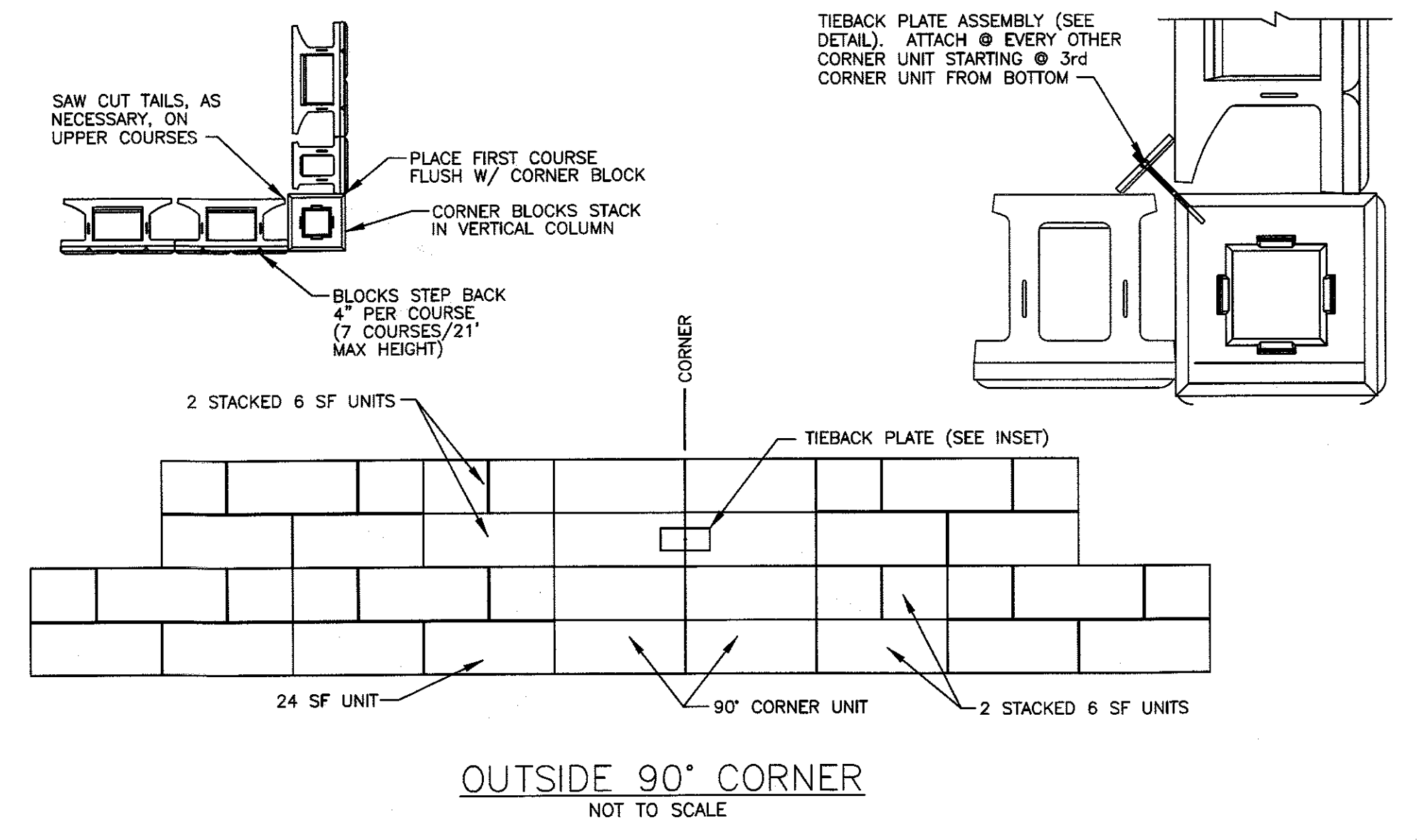
SHEET 3 OF 6

NOTE:
TIEBACK RECOMMENDED FOR CORNERS 12' AND TALLER,
INSTALL TIE BACK EVERY 3' VERTICALLY
STARTING AT 3' ABOVE THE BASE.



OUTSIDE 90° CORNER-PERSPECTIVE VIEW
NOT TO SCALE

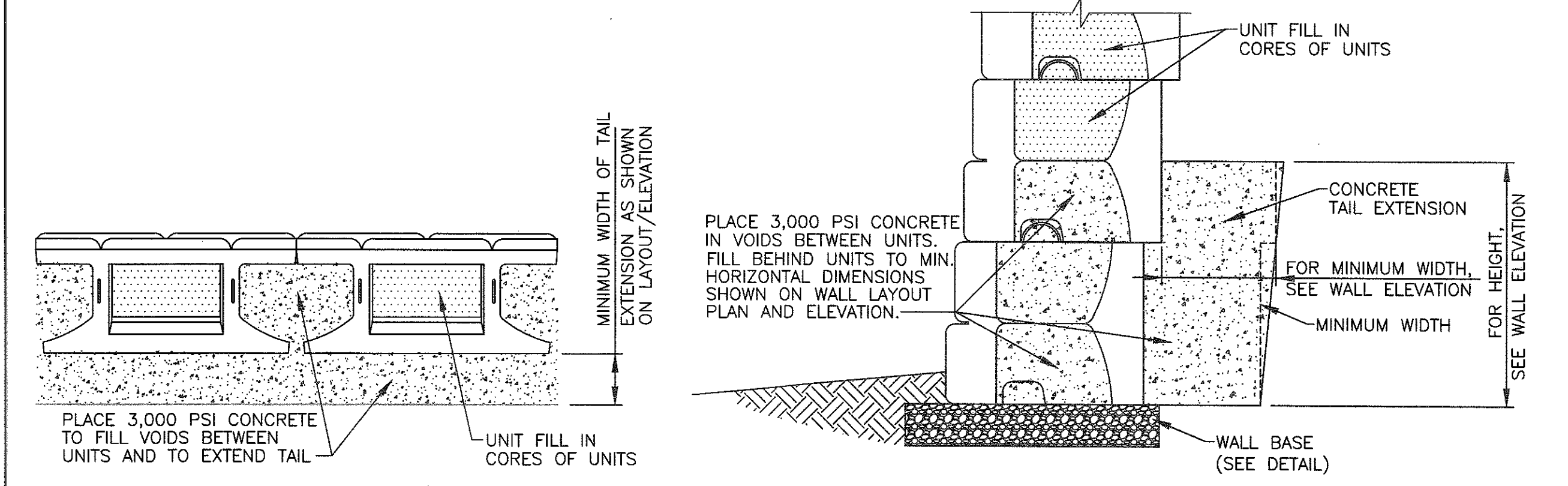
TIEBACK PLATE ASSEMBLY
NOT TO SCALE



OUTSIDE 90° CORNER
NOT TO SCALE

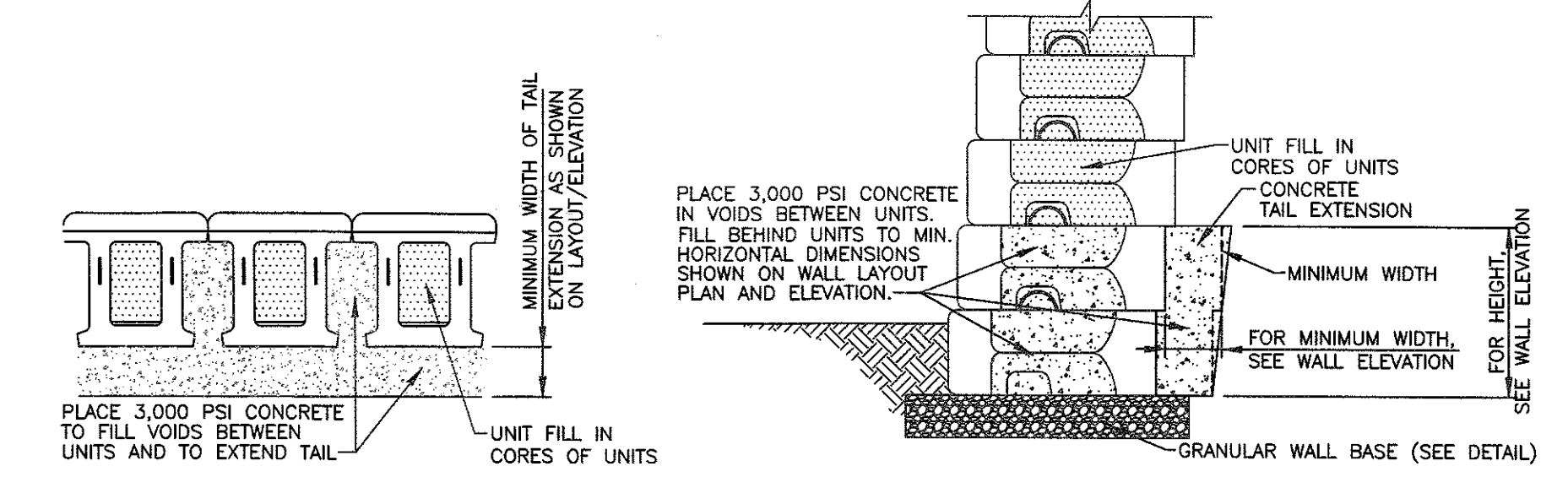
OUTSIDE 90° CORNER DETAIL

NOTE:
ON CONVEX CURVES, PROVIDE REINFORCEMENT TO
ATTACH EXTENSION DUE TO REDUCED OPENING
WIDTH BETWEEN TAILS.



24SF CONCRETE TAIL EXTENSION DETAIL (CAST-IN-PLACE)
NOT TO SCALE

CAST-IN PLACE CONCRETE BACKFILL TO A DEPTH
MINIMUM OF ADJACENT BLOCK



6SF CONCRETE TAIL EXTENSION DETAIL (CAST-IN-PLACE)
NOT TO SCALE

CAST-IN PLACE CONCRETE BACKFILL TO A DEPTH
MINIMUM OF ADJACENT BLOCK

CAST-IN PLACE TAIL EXTENSION
DETAILS

MISC. DETAILS FOR WALL 2

STONE STRONG SYSTEM - GRAVITY RETAINING WALL

HOME & LAND DEVELOPMENT
NORTH PEAK STREET
#21-54385

GARDEN STATE PRECAST
P.O. BOX 702
FARMINGDALE, NJ 07727
732-938-4436
732-938-7096 - FAX

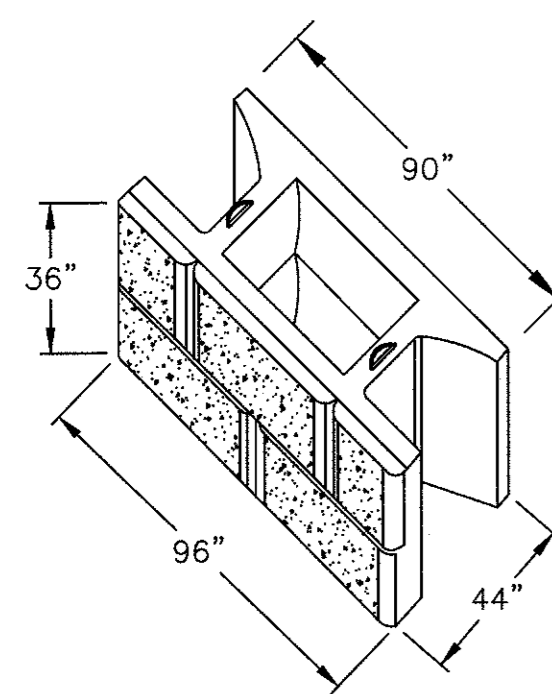
RECEIVED DEC 13 2021

SHEET 4 OF 6

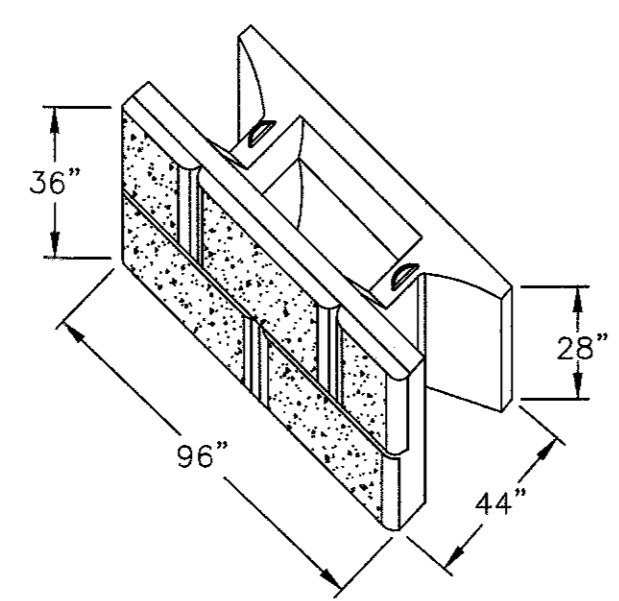


SCALE: NTS

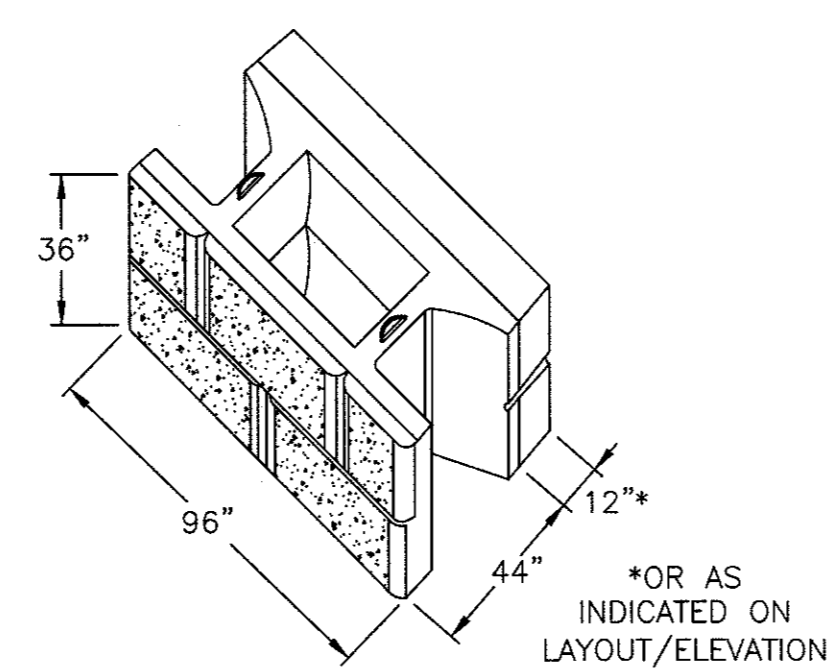
REVISION TO DRAWINGS	DESCRIPTION	DWG. NO.	APP. DATE
1	COMPILED DRAWINGS	R3	11/15/21
2	CONFIRMED LAYOUT	R2	11/12/21
3	EXTENDED WALL	R1	11/5/21



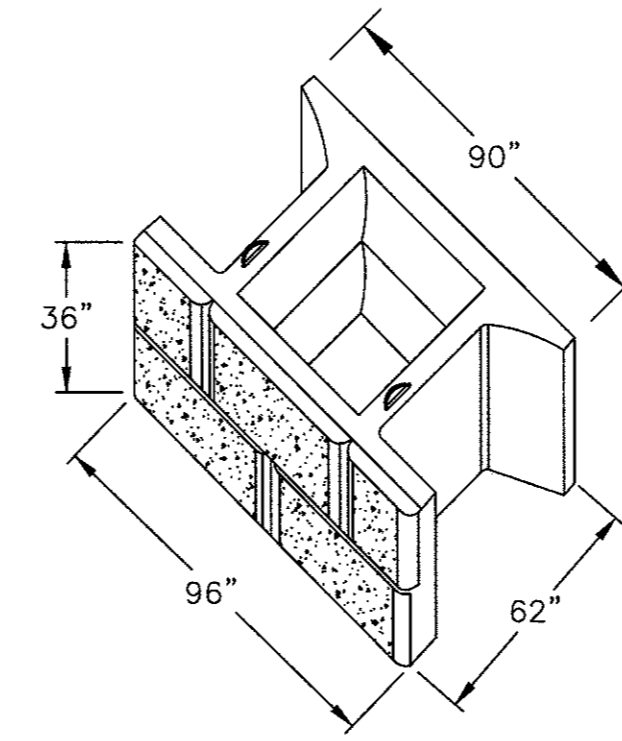
STONE STRONG
(Z) 24 SF UNIT



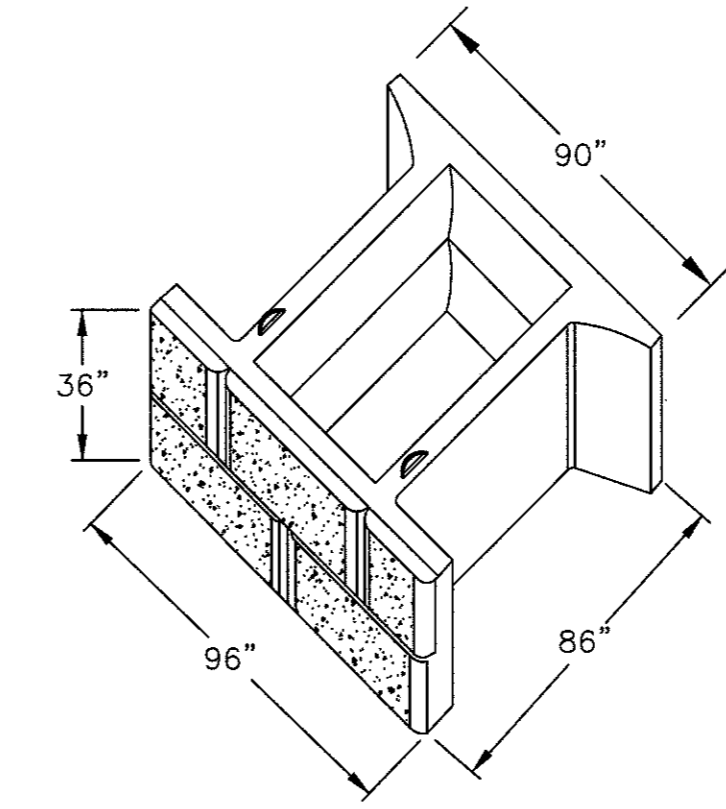
STONE STRONG
(Y) 24 SF TOP UNIT



STONE STRONG
(Z12) 24 SF MASS
EXTENDER UNIT



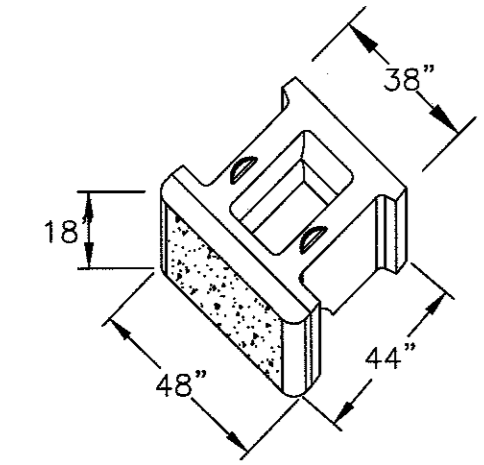
STONE STRONG
(Z62) 24 SF - 62 UNIT



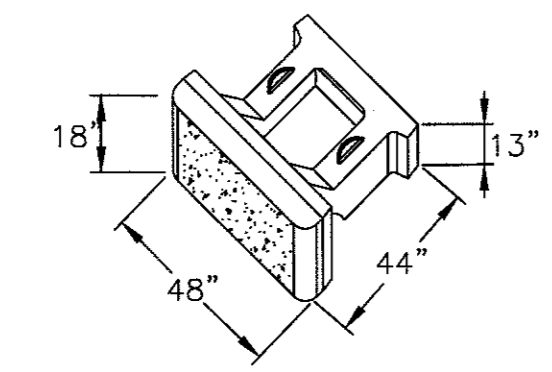
STONE STRONG
(Z86) 24 SF - 86 UNIT

COMPONENT DATA

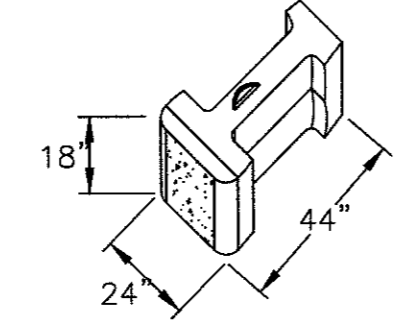
COMPONENT	BLOCK WEIGHT	CONCRETE VOLUME	ROCK IN-FILL
24 SF(Z)	6000 LB	1.50 CU YARDS	1.70 CU YARDS
24 SF TOP(Y)	5,400 LB	1.35 CU YARDS	1.50 CU YARDS
24 SF MASS EXTENDER(Z12)	10,000 LB	2.5 CU YARDS	1.70 CU YARDS
24 SF -62 UNIT(Z62)	6,600 LB	1.65 CU YARDS	2.81 CU YARDS
24 SF -86 UNIT(Z86)	7,400 LB	1.85 CU YARDS	4.27 CU YARDS
6 SF(X)	1,600 LB	0.37 CU YARDS	0.33 CU YARDS
6 SF TOP (W)	1,400 LB	0.35 CU YARDS	0.31 CU YARDS
3 SF(V)	800 LB	0.20 CU YARDS	0.17 CU YARDS
3 SF TOP(U)	720 LB	0.18 CU YARDS	0.16 CU YARDS
END UNIT(T)	1,500 LB	0.37 CU YARDS	0.00 CU YARDS
END UNIT TOP(S)	1,412 LB	0.35 CU YARDS	0.00 CU YARDS
CAP/STEP UNIT(P)	1,600 LB	0.40 CU YARDS	0.00 CU YARDS
CAP/STEP HALF UNIT(P5)	800 LB	0.20 CU YARDS	0.00 CU YARDS
DUAL FACE UNIT(Q)	3,520 LB	0.88 CU YARDS	0.00 CU YARDS
DUAL FACE HALF UNIT(Q5)	1,760 LB	0.44 CU YARDS	0.00 CU YARDS
90 DEGREE CORNER UNIT(C)	2,600 LB	0.65 CU YARDS	0.10 CU YARDS
45 DEGREE CORNER UNIT(R)	2,000 LB	0.50 CU YARDS	0.00 CU YARDS



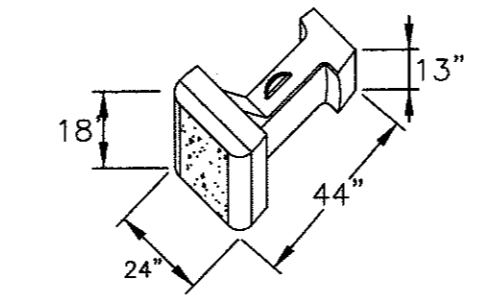
STONE STRONG
(X) 6 SF UNIT



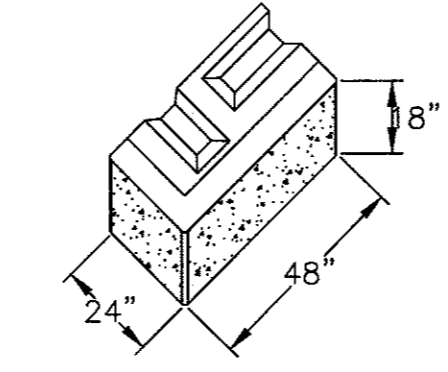
STONE STRONG
(W) 6 SF TOP UNIT



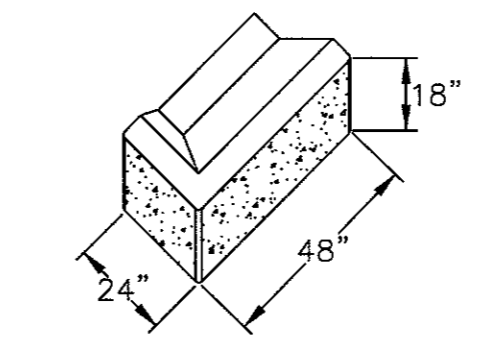
STONE STRONG
(V) 3 SF UNIT



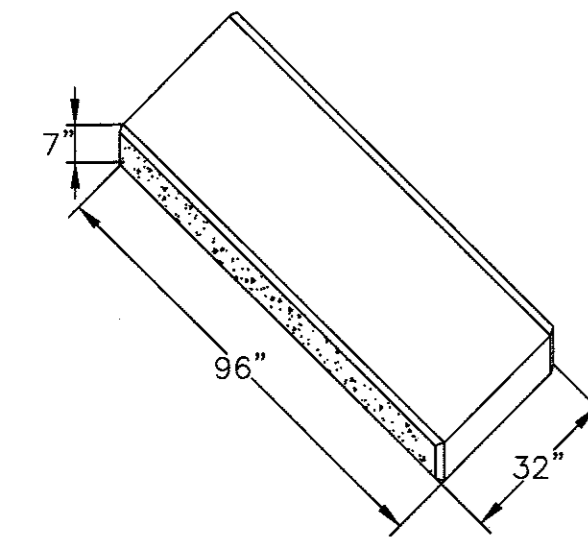
STONE STRONG
(U) 3 SF TOP UNIT



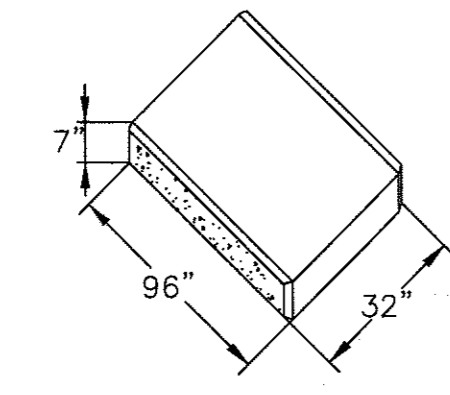
STONE STRONG
(T) END UNIT



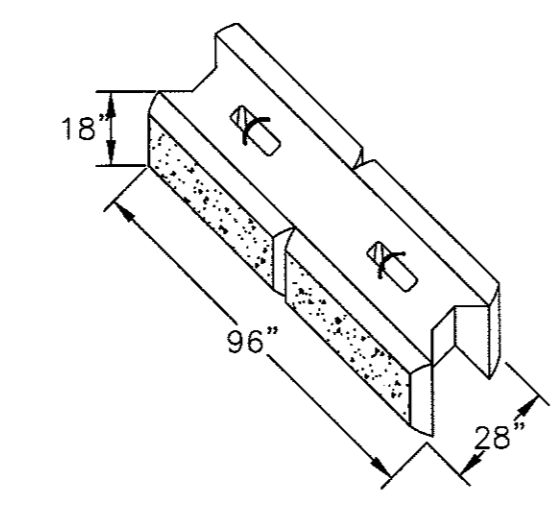
STONE STRONG
(S) TOP END UNIT



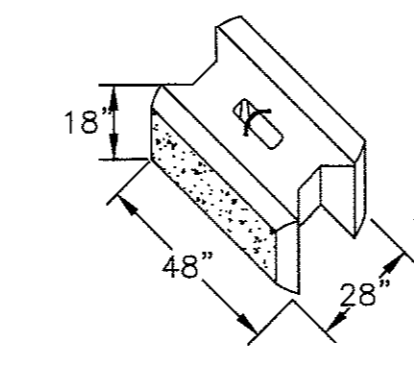
STONE STRONG
(P) CAP STEP BLOCK



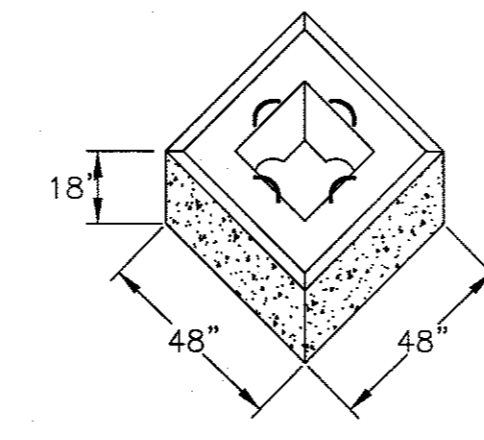
STONE STRONG
(P5) CAP STEP HALF BLOCK



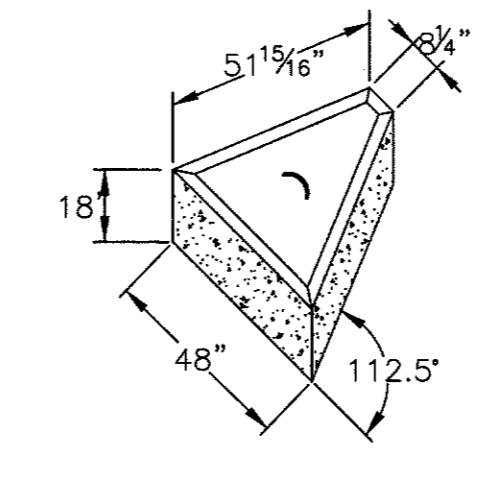
STONE STRONG
(Q) DUAL FACE UNIT



STONE STRONG
(Q5) DUAL FACE HALF UNIT



STONE STRONG
(C) 90° CORNER UNIT



STONE STRONG
(R) 45° CORNER UNIT



DESCRIPTION	DWG. NO.	APP. DATE
COMPILED DRAWINGS	R3	11/15/21
CONFIRMED LAYOUT	R2	11/12/21
EXTENDED WALL	R1	11/5/21
SUPPLEMENTAL DRAWINGS		

BLOCK REFERENCE

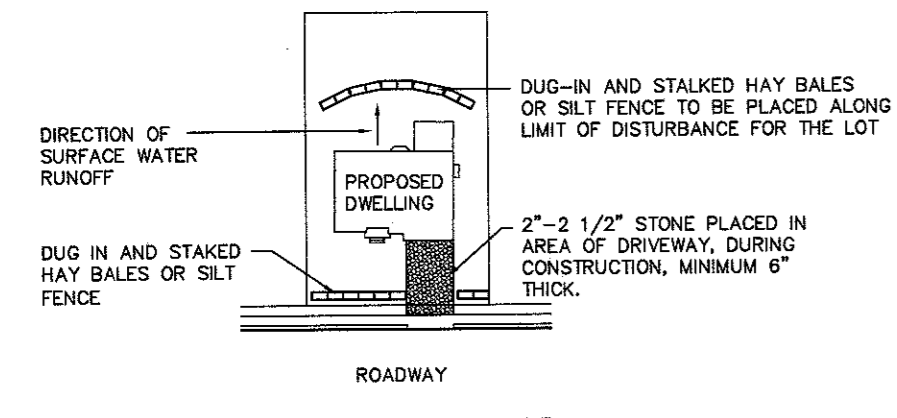
STONE STRONG SYSTEM - GRAVITY RETAINING WALL

HOME & LAND DEVELOPMENT
NORTH PEAK STREET
#21-54385

GARDEN STATE PRECAST
P.O. BOX 702
FARMINGDALE, NJ 07727
732-938-4436
732-938-7096 - FAX

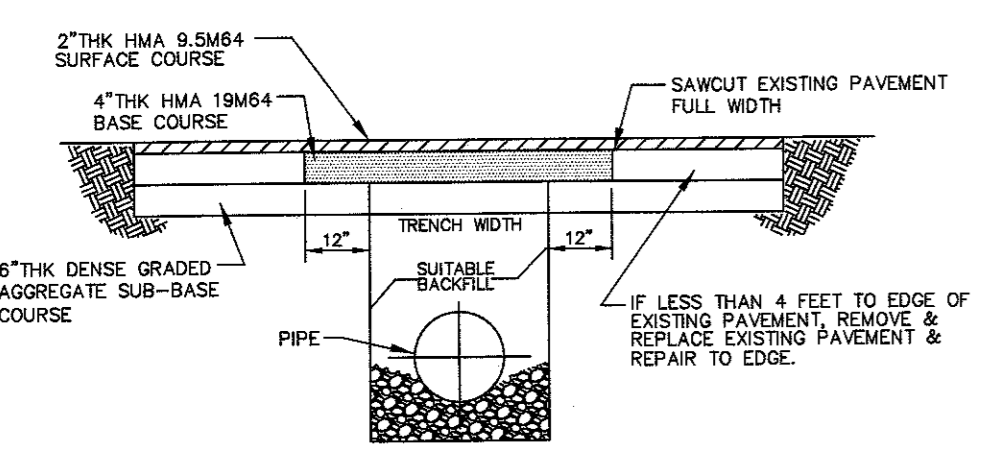
RECEIVED DEC 13 2021

SHEET 5 OF 6



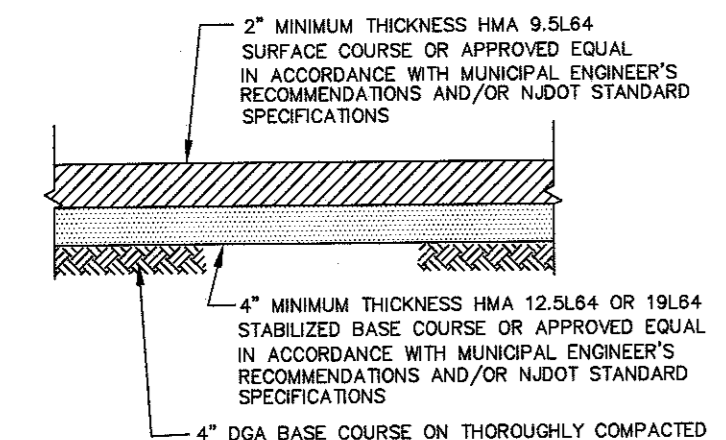
TYPICAL LOT DETAIL
N.T.S.

NOTE: RESPONSIBILITY FOR PLACEMENT AND MAINTENANCE OF SOIL EROSION MEASURES ON ANY GIVEN LOT BELONGS TO THE PERSON(S) DOING THE DISTURBANCE OR CONSTRUCTION.



MUNICIPAL PAVEMENT REPAIR
N.T.S.

SUPERFICIAL SURFACE DAMAGE CAUSED BY THE CONTRACTOR OUTSIDE THE LIMIT SHOWN, SHALL BE PAVED WITH SURFACE COURSE. IF THE BASE COURSE OF THE EXISTING PAVEMENT IS DAMAGED BEYOND THE LIMIT SHOWN, THE CONTRACTOR SHALL EXCAVATE 6" BEYOND THE DAMAGED AREA AND REPLACE IT WITH BITUMINOUS STABILIZED BASE COURSE.



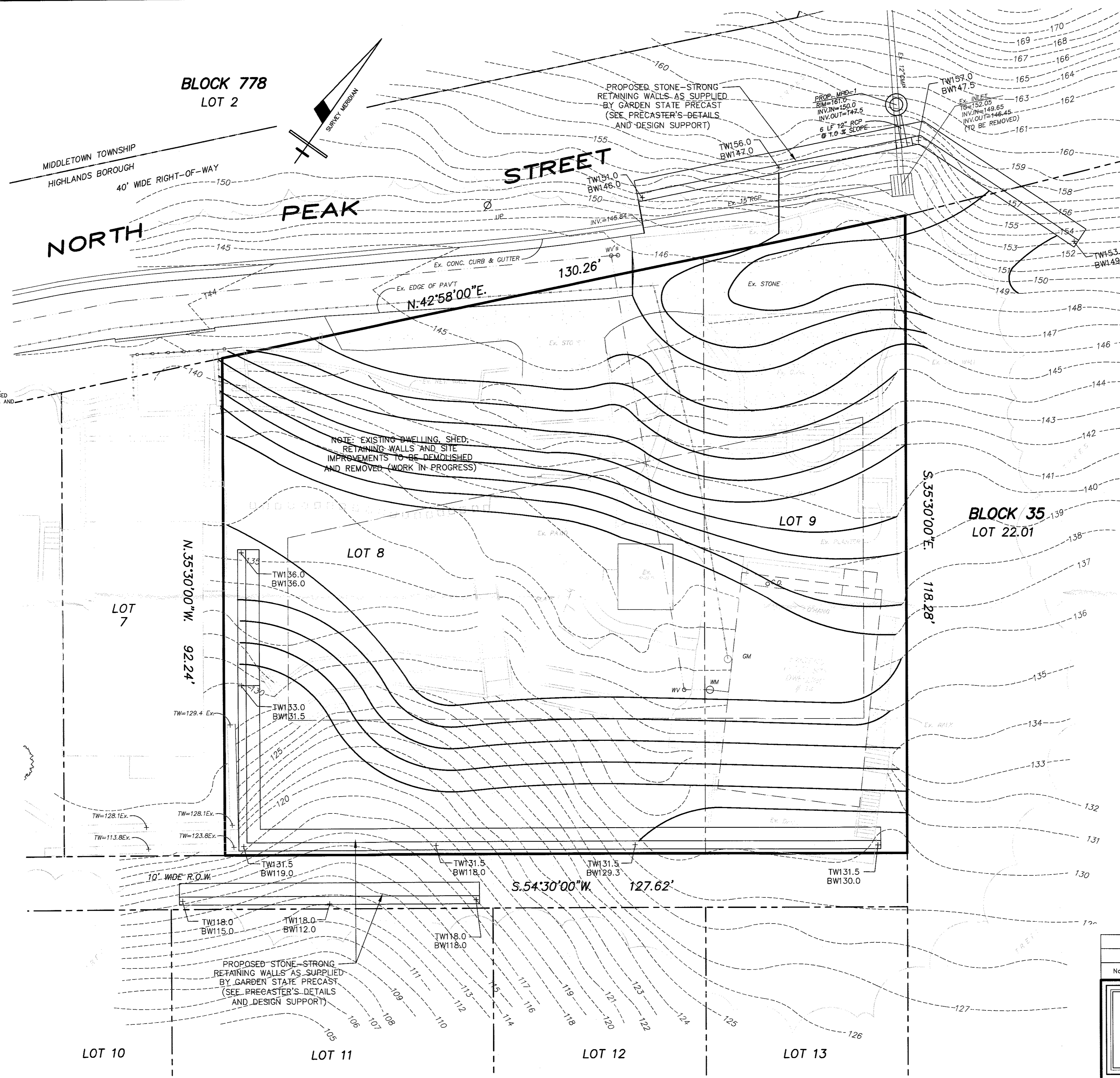
DRIVEWAY PAVEMENT SECTION
N.T.S.

ZONE DATA

R-1.01 RESIDENTIAL ZONE DISTRICT REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	5,000 SF	13,423 SF	N/A
MINIMUM LOT FRONTAGE	50 FT	130.26 FT	N/A
MINIMUM LOT WIDTH	50 FT	127.62 FT	N/A
MINIMUM LOT DEPTH	100 FT	105.26 FT	N/A
PRINCIPAL BUILDING			
MINIMUM FRONT YARD SETBACK	35 FT*	60.6 FT	N/A
MINIMUM SIDE YARD SETBACK	8 FT	4.7 FT(E)	N/A
TOTAL TWO SIDE YARD SETBACKS	20 FT	96.9	N/A
MINIMUM REAR YARD SETBACK	25 FT	8.6 FT(E)	N/A
MAXIMUM BUILDING HEIGHT	30 FT**	TBD	N/A
MAXIMUM BUILDING COVERAGE	30 %	TBD	N/A
MAXIMUM LOT COVERAGE	70 %	N/A	N/A

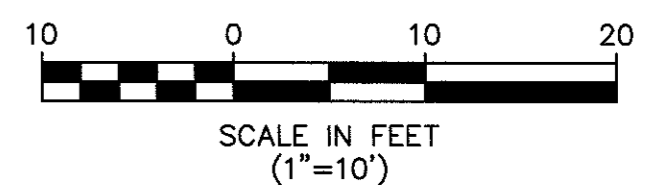
(E) = PRE-EXISTING NON-CONFORMING CONDITION
(V) = REQUIRED VARIANCE
* = 35 FT OR AVERAGE OF EXISTING FRONT YARD SETBACKS WITHIN 200 FT



GENERAL NOTES

- THE SUBJECT PROPERTY IS KNOWN AS LOT 8 AND LOT 9 IN BLOCK 35 AS SHOWN ON SHEET 10 OF THE CURRENT TAX MAP FOR HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY. TOTAL TRACT AREA = 13,423 SF = 0.308 AC.
- TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS BASED ON FIELD SURVEY MADE ON THE GROUND BY EASTERN CIVIL ENGINEERING, LLC DATED 9-22-21. ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988.
- THE SUBJECT PROPERTY IS SITUATED IN THE R-1.01 RESIDENTIAL ZONE DISTRICT. APPLICANT PROPOSES TO DEMOLISH AND REMOVE EXISTING DWELLING, EXISTING RETAINING WALLS, PARKING AREAS AND EXISTING SITE IMPROVEMENTS. THEN CONSTRUCT A NEW RETAINING WALL AND YARD GRADING IN PREPARATION FOR FUTURE DEVELOPMENT.
- PROPERTY OWNER'S GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE GRADING AND CONSTRUCTION ACTIVITY. CONTRACTOR SHALL CONTACT NJ ONE CALL SYSTEM AT (800)272-1000 FOR UTILITY MARK-OUT PRIOR TO EXCAVATION ON-SITE OR WITHIN MUNICIPAL RIGHT-OF-WAY.
- ATTENTION OF THE CONTRACTOR IS DIRECTED TO THE FACT THAT APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES THAT MAY BE ENCOUNTERED WITHIN OR ADJACENT TO THE SUBJECT PROPERTY OR LIMITS OF WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER. CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION AND GRADE OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES PRIOR TO STARTING WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES THAT MAY AFFECT THE PROJECT DESIGN.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, INCLUDING PROVISIONS FOR APPROPRIATE SAFETY DEVICES AND REQUIRED TRAINING.
- SILT FENCE SHALL BE PLACED AROUND THE PERIMETER OF THE LIMITS OF WORK AS SHOWN ON THE PLAN AND SHALL REMAIN IN PLACE UNTIL THE LIMITS OF WORK ARE PERMANENTLY STABILIZED.
- SOIL SHALL BE PERMANENTLY STABILIZED (SEEDED/SODDED) IN ACCORDANCE WITH CURRENT NJ SOIL EROSION AND SEDIMENT CONTROL STANDARDS PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ROOF LEADER DOWNSPOUTS SHALL DISCHARGE TO SPLASH BLOCKS AT GRADE TO DIRECT RUNOFF TOWARD THE STREET, SO AS TO NOT IMPACT ADJACENT PROPERTIES.
- SPECIAL ATTENTION SHALL BE GIVEN TO SWALES TO ENSURE POSITIVE RUNOFF AND NO PONDING ON PROPERTY.
- A MINIMUM 2% SLOPE SHALL BE MAINTAINED AWAY FROM BUILDING FOUNDATION.
- ANY EXISTING CURB, SIDEWALK, PAVEMENT, UTILITY LINES AND/OR STORM DRAINAGE INFRASTRUCTURE DAMAGED AS A RESULT OF THIS PROJECT SHALL BE REPLACED AT THE DIRECTION OF THE MUNICIPAL ENGINEER PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- A ROAD OPENING PERMIT IS REQUIRED FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO STARTING WORK IN THE RIGHT-OF-WAY, INCLUDING CURB, DRIVEWAY APRON, AND/OR SIDEWALK IMPROVEMENTS.
- IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE ADHERENCE TO MUNICIPAL ORDINANCES AND TO FREEHOLD SOIL CONSERVATION DISTRICT REGULATIONS REGARDING SOIL EROSION AND SEDIMENT CONTROL MEASURES. APPLICANT SHALL COMPLY WITH FEDERAL, STATE, COUNTY, NJDEP AND LOCAL REGULATIONS PRIOR TO ANY CONSTRUCTION ON THE PROPERTY.
- SHOULD ANY PORTION OF THE POST-DEVELOPMENT IMPROVEMENTS IMPACT DRAINAGE CONDITIONS ON THE LOT OR ADJACENT PROPERTIES, THE APPLICANT WILL BE REQUIRED TO SUBMIT ADDITIONAL AS-BUILT SURVEYS AND SUBSEQUENTLY CORRECT ANY DEFICIENCIES AT THE DIRECTION OF THE BOROUGH ENGINEER.
- ANY DEVIATIONS FROM THE APPROVED GRADING PLAN, INCLUDING FLIPPING HOUSE AND DRIVEWAY MODIFICATIONS, REQUIRE WRITTEN NOTICE TO THE BOROUGH ENGINEER'S OFFICE AND ARE SUBJECT TO REVIEW.
- ALL CONSTRUCTION APPROVALS AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY ARE SUBJECT TO FINAL INSPECTION BY THE BOROUGH ENGINEER AND BUILDING DEPARTMENT OFFICIALS.

OWNER / APPLICANT:
HOME & LAND DEVELOPMENT CORP.
88-1 PORTLAND ROAD
HIGHLANDS, NJ 07732



RECEIVED DEC 13 2021

No.	DATE	REVISION	BY

EASTERN CIVIL ENGINEERING, LLC
CIVIL ENGINEERING - SURVEYING & MAPPING - LAND USE PLANNING - SITE DESIGN

31 GRAND TOUR, HIGHLANDS NJ 07732 PHONE: 732.872.7736

PRELIMINARY GRADING WORKSHEET FOR
HOME & LAND DEVELOPMENT CORP.
BLOCK 35 LOTS 8 AND 9
TAX MAP SHEET No. 10

HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY

ANDREW R. STOCKTON
PROFESSIONAL ENGINEER & LAND SURVEYOR
NEW JERSEY LIC. NO. 35405

DATE:	SCALE:	DESIGN BY:	PROJECT NO.:	SHEET NO.:
12-02-21	1" = 20'	ARS	2101980	1 of 1

APPENDIX C

TREE REMOVAL PERMITS

1. Email correspondence regarding Tree Permit Applications dated September 27, 2021.
2. Tree Permit Application dated September 21, 2021.
3. Tree Permit Application dated September 22, 2021.



Christian Lee <christian.r.lee@gmail.com>

Tree Permit applications for 14 and 32 North Peak Street

2 messages

Nancy Tran <ntran@highlandsborough.org>

Mon, Sep 27, 2021 at 10:52 AM

To: CHRISTIAN LEE <christian.r.lee@gmail.com>

Cc: "gnf718@aol.com" <gnf718@aol.com>, "Kevin Rooney, Cashier" <cashier@highlandsborough.org>, "William F. Brunt, Jr." <code@highlandsborough.org>

Hi Christian,

Attached are the 2 tree permit applications that we just received. Please let me know if you need anything else.

Nancy Tran

Borough of Highlands

42 Shore Dr.

Highlands, NJ 07732

(732) 872-1224 x202

www.highlandsborough.org

2 attachments **Block 35 Lot 8 32 North Peak TreePermit 20210927.pdf**
212K **Block 35 Lot 9 14 North Peak TreePermit 20210927.pdf**
499K**Christian Lee** <christian.r.lee@gmail.com>

Mon, Sep 27, 2021 at 8:18 PM

To: "gnf718@aol.com" <gnf718@aol.com>

Cc: "Kevin Rooney, Cashier" <cashier@highlandsborough.org>, "William F. Brunt, Jr." <code@highlandsborough.org>, Nancy Tran <ntran@highlandsborough.org>

Hello Mr. Farkouh,

Please find your approved tree permits attached.

Thank you

Christian Lee, Ph.D.
Shade Tree Commissioner
Borough of Highlands
732-582-4203

CONFIDENTIALITY NOTICE: This communication, together with any attachments hereto or links contained herein, is for the sole use of the intended recipient(s) and may contain information that is confidential or legally protected. If you are not the intended recipient, you should not disseminate, distribute or copy this e-mail. Please notify the sender immediately by e-mail if you have received this e-mail by mistake. If you are the intended recipient, you should not disseminate, distribute or copy this e-mail. If you are not the intended recipient, you should not disseminate, distribute or copy this e-mail. If you are not the intended recipient, you should not disseminate, distribute or copy this e-mail.

the intended recipient, you are hereby notified that any review, disclosure, copying, dissemination, distribution or use of this communication is STRICTLY PROHIBITED. Unauthorized interception, review, use or disclosure is prohibited and may violate applicable laws including the Electronic Communications Privacy Act. If you have received this communication in error, please notify the sender immediately by return e-mail message and delete the original and all copies of the communication, along with any attachments hereto or links herein, from your system.

Item 3.

[Quoted text hidden]

2 attachments

 **Block 35 Lot 8 32 North Peak TreePermit 20210927_approved.pdf**
212K

 **Block 35 Lot 9 14 North Peak TreePermit 20210927_approved.pdf**
497K



Borough of Highlands
42 Shore Drive, Highlands, NJ 07732
Phone: (732) 872-1224
www.highlandsborough.org

Tree Permit Application

APPLICANT Name: Home & Land Develop Corp Date: 9/21/21
Phone# 967 684411 Email: GWFW18@ADL.com
Address: 32 NORTH PEAK Block 35 Lot 8

TREE INFORMATION

Tree #	Type	Diameter	Height
Tree #1	SOFT MAPLE	6"	25'
Tree #2	HICKORY	12"	50'
Tree #3	HICKORY	8"	40'
Tree #4	HICKORY	12"	50'
Tree #5	DEAD WILLOW	15"	60'
Tree #6	MAPLE "DEAD" Hollow	16"	60'
Tree #7	"Broken up Hickory"	16"	60'
Tree #8	DEAD Cherry	6"	20'
Tree #9	Hickory 4"	4"	25'
Tree #10	Hickory 4"	4"	30'

Reason for removal: Prep work for new home & build

INSTRUCTIONS

Employment will to stop earnings

Are you the owner of the property? YES NO

If no, we need a letter signed from your landlord with permission to do so.

If more than ten (10) trees are to be removed, you must see the Building Department secretary.

Must be accompanied by a survey or tax map showing tree location(s) to be removed.

Tree must be marked by having a red ribbon tied around it –supplied by Borough upon application. ✓

Application Fee \$25.00 per tree –NON-REFUNDABLE

Amount paid \$ _____ Check # _____ Cash _____

BOROUGH HALL USE ONLY

Applicant is hereby: Approved Denied Date September 27, 2021

Applicant is hereby required to replace removed tree(s) as follows:

Type of tree to be planted landscape project on completion

Location of replacement tree(s) project site

Applicant is not required to replace tree(s) buy must pay \$ X in lieu of replacing the tree(s).

Work to be done by a licensed tree service and all debris to be removed.

Christian Lee

Official Signature



BRUNSWICK WEST, INC.

LICENSED LAND SURVEYORS

219 1/2 SOUTH MAIN STREET FLEMINGTON, NEW JERSEY 08822
PHONE: (908) 284-0888 FAX: (908) 284-2818
EMAIL: BRUNSWICKWEST@EMBARQMAIL.COM

Item 3.

Legal Description

N/F Thomas Walsh & Olivia Horton

Block 35, Lot 8

Borough of Highlands-Monmouth County, NJ

Beginning at an iron pipe in the southeasterly line of North Peak Street (40' R.O.W.), where the same is intersected by the common line dividing Lots 8 & 9 in Block 35, said point also being the most westerly corner of Lot 9, Lands N/F Jerry Feliciano (Deed Book 8893, Page 8039) and thence,

- 1. Along the southeasterly line of North Peak Street, S. 42 degrees 58 minutes 00 seconds W. 91.86' to an iron pin and thence,*
- 2. S. 35 degrees 30 minutes 00 seconds E. 92.24' to a point in the northwesterly line of an unnamed right-of-way and thence,*
- 3. Along the same, N. 54 degrees 30 minutes 00 seconds E. 90.00' to an iron pin and thence,*
- 4. N. 35 degrees 30 minutes 00 seconds W. 110.60' to the point or place of beginning.*

The above described lands are known as Lot 8 in Block 35 as shown on the current Official Tax Maps of the Borough of Highlands.

Premises more commonly known as 32 North Peak Street.

The above description is in accordance with a survey prepared by Brunswick West, Inc. dated 5/17/2021 as File No. 21.1249.

*Richard S. Zinn, NJLS
License #34888*

**RICHARD S. ZINN
N.J.L.S. 34888**



HOME & LAND DEVELOPMENT CORP
88-1 PORTLAND RD
HIGHLANDS, NJ 07732

210129



55-138/212

Date 9/24/21

Pay to the order of

Pay to the order of (Lil' Home)
two hundred fifty dollars

\$ 250.00

Dollars



VALLEY BANK
WWW.VALLEY.COM

For 32 N. PEAK

⑈ 210129 ⑆ ⑆ 021201383 ⑆ ⑆ 000044300130 ⑆

©CHECKS UNLIMITED™ BLUE SAFETY



Borough of Highlands
42 Shore Drive, Highlands, NJ 07732
Phone: (732) 872-1224
www.highlandsborough.org

Tree Permit Application

APPLICANT Name: Hong Island Dulap Corp Date: 9/22/21
Phone# 917 686 4111 Email: lucifer@dulap.com
Address: 14 North Peak Block 35 Lot 9

TREE INFORMATION

Tree #	Type	Diameter	Height
Tree #1	White Oak	24"	35'
Tree #2	Black Cherry Dead	10"	12'
Tree #3	North Maple	14"	50'
Tree #4	White Oak Beam	24"	35'
Tree #5	Sliver Cherry	8"	30'
Tree #6	Black Oak	8"	50'
Tree #7	Hickory	14"	55'
Tree #8	Norway Maple	6"	35'
Tree #9	Other tree	14"	70'
Tree #10	Compound Maple Tree	20"	70'

Reason for removal: new home + build new entrance walkway

Fix entrance.

INSTRUCTIONS

Are you the owner of the property? YES NO

If no, we need a letter signed from your landlord with permission to do so.

If more than ten (10) trees are to be removed, you must see the Building Department secretary.

Must be accompanied by a survey or tax map showing tree location(s) to be removed.

Tree must be marked by having a red ribbon tied around it –supplied by Borough upon application.

Application Fee \$25.00 per tree –**NON-REFUNDABLE**

Amount paid \$ _____ Check # _____ Cash _____

BOROUGH HALL USE ONLY

Applicant is hereby: Approved Denied Date September 27, 2021

Applicant is hereby required to replace removed tree(s) as follows:

Type of tree to be planted landscape project upon completion

Location of replacement tree(s) project site

Applicant is not required to replace tree(s) buy must pay \$ X in lieu of replacing the tree(s).

Christian Lee

Official Signature

Work to be done by a licensed tree service and all debris to be removed.



LOT 22.01
N/F SANDY HOOK INTERIORS, INC.

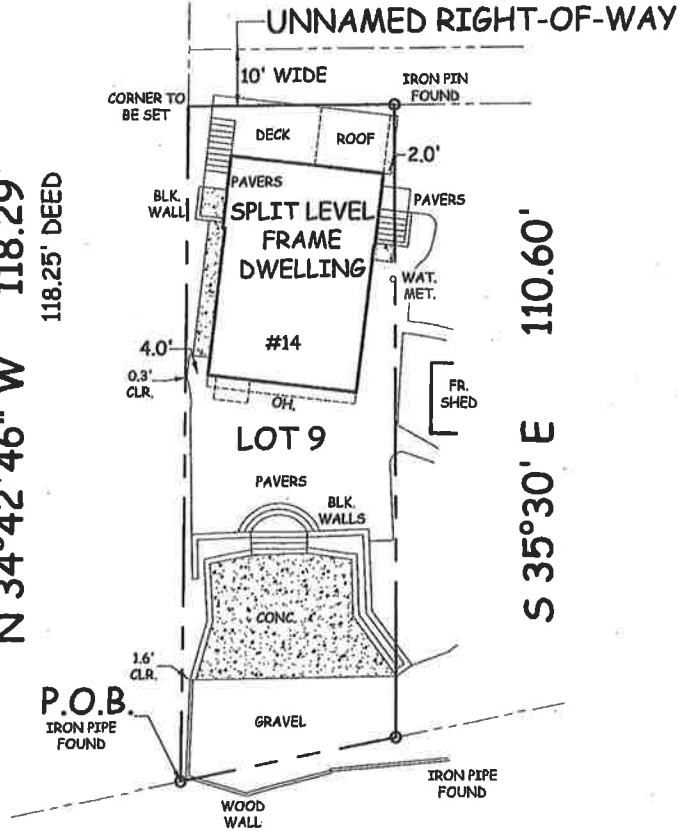
N 34°42'46" W 118.29'
118.25' DEED

P.O.B.
IRON PIPE FOUND

WOOD WALL

S 42°58' W 38.40'

NORTH PEAK STREET
40' R.O.W.



S 35°30' E 110.60'

REFERENCES:

DEED BOOK 8893, PAGE 8039; BOROUGH OF HIGHLANDS TAX MAP SHEET 10.

CORNER MARKERS TO BE SET AT A LATER DATE.

	BRUNSWICK WEST, INC. <small>LICENSED LAND SURVEYORS</small> 219 1/2 SOUTH MAIN STREET FLEMINGTON, NEW JERSEY 08822-1703 PHONE (908) 284-0988 FAX (908) 284-2018	I HEREBY CERTIFY THIS SURVEY TO: THOMAS WALSH AND OLIVIA HORTON; CHAMLIN, ULIANO AND WALSH; ANDREW WALSH, ESQUIRE; FOUNDATION TITLE, LLC - EATONTOWN; FIDELITY NATIONAL TITLE INSURANCE COMPANY. 	
	PLAN OF SURVEY THOMAS WALSH AND OLIVIA HORTON BOROUGH OF HIGHLANDS MONMOUTH, NEW JERSEY BLOCK 35, LOT 9 C.A. #246/A28022700		
	Drawn by <u>RSZ</u> Job No. <u>21.1250</u> Date <u>01/17/2021</u> Checked by <u>HP</u> Drawing No. _____ Scale <u>1"=20'</u>		RICHARD S. ZINN N.J.L.S. 34888

TITLE #315-174444



BRUNSWICK WEST, INC.

LICENSED LAND SURVEYORS

219 1/2 SOUTH MAIN STREET FLEMINGTON, NEW JERSEY 08822

PHONE: (908) 284-0888 FAX: (908) 284-2818

EMAIL: BRUNSWICKWEST@EMBARQMAIL.COM

Item 3.

Legal Description

N/F Thomas Walsh & Olivia Horton

Block 35, Lot 9

Borough of Highlands-Monmouth County, NJ

Beginning at an iron pipe in the southeasterly line of North Peak Street (40' R.O.W.), where the same is intersected by the common line dividing Lots 9 & 22.01 in Block 35, said point also being the most westerly corner of Lot 22.01, Lands N/F Sandy Hook Interiors, Inc. and thence,

- 1. Along the southeasterly line of North Peak Street, S. 42 degrees 58 minutes 00 seconds W. 38.40' to an iron pipe and thence,*
- 2. S. 35 degrees 50 minutes 00 seconds E. 110.60' to an iron pin in the northwesterly line of an unnamed right-of-way and thence,*
- 3. Along the same, N. 54 degrees 30 minutes 00 seconds E. 36.00' to a point and thence,*
- 4. N. 34 degrees 42 minutes 46 seconds W. 118.29' to the point or place of beginning.*

The above described lands are known as Lot 9 in Block 35 as shown on the current Official Tax Maps of the Borough of Highlands.

Premises more commonly known as 14 North Peak Street.

The above description is in accordance with a survey prepared by Brunswick West, Inc. dated 5/17/2021 as File No. 21.1250.

*Richard S. Zinn, NJLS
License #34888*

**RICHARD S. ZINN
N.J.L.S. 34888**

BLOCK 778

LOT 2

MIDDLETOWN TOWNSHIP
HIGHLANDS BOROUGH

NORTH

40' WIDE RIGHT-OF-WAY N.42.58'00"E. ϕ UP

PEAK

130.26'

ST

432.20' TO THE NORTHERLY
LINE OF VALLEY AVENUE

(P.O.B.)

1. ROD FD

CONC. CURB & GUTTER
EDGE OF PAV'T

91.86'

WV'S

15" ROP

38.4'

PIN FD

STONE

RET. WALL

STONE

WALK

F.P.

PATTO

SLATE

110.6'

SHED

WV'S

WALK

C.O.
OHANG

PATTO
PLANTER

CONC.

60.6'

68.9'

TOTAL TRACT AREA:
13,423 SF OR
0.308 Ac.

LOT 8

PATH

LOT 6

LOT 7

N.35.30'00"W. 92.24'

90.0'

DECK 2.1'
CLEAR

10' WIDE R.O.W.

S.54.30'00"W.

127.62'

6' WIDE R.O.W.

LOT 10

LOT 11

LOT 12

LOT 13

DECK 2.0'
OVER

DECK 37.62'

EXISTING
1-1/2 STY
DWELLING
14

NEW TRACE

MUNICIPAL BOUNDARY

SHEET

- GENERAL NOTES**
1. SUBJECT PROPERTY IS KNOWN AS LOTS 8 AND 9 IN BLOCK 35 AS SHOWN ON SHEET 10 OF THE CURRENT MUNICIPAL TAX MAPS FOR HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY.
 2. OFFSET DISTANCES SHOWN FROM BUILDINGS TO TRACT BOUNDARIES SHALL NOT BE USED TO RE-ESTABLISH PROPERTY LINES.
 3. UNDERGROUND UTILITY LINES, UNDERGROUND STORM DRAINAGE LINES, AND/OR UNDERGROUND ENCROACHMENTS, IF ANY, ARE SCHEMATIC REPRESENTATIONS ONLY.
 4. THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO MAKE ANY DETERMINATION AS TO THE EXISTENCE OR NON-EXISTENCE OF FRESHWATER WETLANDS AND/OR TOXIC WASTES. NO STATEMENT IS BEING MADE OR IMPLIED HEREON, NOR SHOULD IT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE, WITH REGARD TO THE PRESENCE OR ABSENCE OF FRESHWATER WETLANDS AND/OR TOXIC WASTES. CLIENT IS ADVISED TO PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS SURVEY.

PIPE FD
RET. WALL

RET. WALL

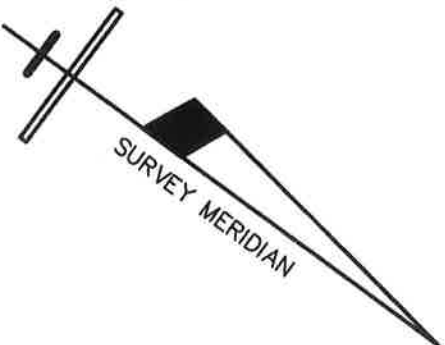
S. 35° 30' 00" E.

4.7'

118.28'

WALK

8.9'



BLOCK 35
LOT 22.01

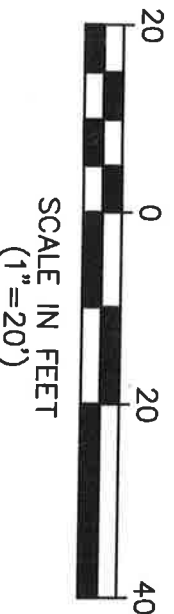
GENERAL NOTES

SURVEY CERTIFICATION:

CERTIFIED TO: CHARLES FARKOUH; AND
 HOME AND LAND DEVELOPMENT CORP. (PURCHASERS); AND
 XXXXXXXXXXXX TITLE AGENCY, LLC;
 XXXXXXXXXXXX TITLE INSURANCE COMPANY; AND
 XXXXXXXXXXXX, ESQ.; THEIR SUCCESSORS AND/OR ASSIGNS AS THEIR
 INTERESTS MAY APPEAR FOR THE ABOVE NAMED PURCHASERS, ONLY

THIS IS TO CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS MAP OR PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED ON SEPTEMBER 22, 2021 BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE "STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS". THE INFORMATION DEPICTED HEREON, REPRESENTS THE CONDITIONS FOUND AT THE SITE, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY BELOW THE SURFACE AND NOT VISIBLE. ACCORDINGLY THE UNDERSIGNED PROFESSIONAL IS NOT RESPONSIBLE FOR THE PRESENCE OF UNDERGROUND UTILITIES OR STRUCTURES, IF SAME ARE NOT VISIBLE OR OTHERWISE DISCLOSED.

THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS THAT ARE THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE, INFORMATION, AND BELIEF, AND IN ACCORDANCE WITH COMMONLY ACCEPTED PROCEDURES, CONSISTENT WITH APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED.



No.	DATE	REVISION	BY

EASTERN CIVIL ENGINEERING, LLC
 CIVIL ENGINEERING - SURVEYING & MAPPING - LAND USE PLANNING - SITE DESIGN
 31 GRAND TOUR, HIGHLANDS NJ 07732 PHONE: 732.872.7736

SURVEY OF PROPERTY FOR

**HOME & LAND.
 DEVELOPMENT CORP.**
 BLOCK 35 LOTS 8 AND 9
 TAX MAP SHEET No. 10

HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY

ANDREW R. STOCKTON
 PROFESSIONAL ENGINEER & LAND SURVEYOR
 NEW JERSEY LIC. NO. 35405

DATE: 9-23-21 SCALE: 1" = 20' DESIGN BY: ARS PROJECT NO.: 2101980 SHEET NO. 1 of 1



HOME & LAND DEVELOPMENT CORP
88-1 PORTLAND RD
HIGHLANDS, NJ 07732

210125



55-138/212

Date 9/22/21

Pay to the order of

Borough of Highlands
two hundred sixty dollars

\$200.00

Dollars Security Features Inside. Details on Back.

VALLEY BANK
WWW.VALLEY.COM

For 19 N. Pt

⑈ 210125⑈ ⑆ 021201383⑆ ⑆ 000041300130⑈

©CHECKS UNLIMITED™ - BLUE SAFETY

APPENDIX D

VIOLATIONS, SUMMONS & STOP CONSTRUCTION ORDERS

1. Violation Notice dated April 11, 2022.
2. Stop Construction Order dated May 9, 2022.
3. Notice of Violation and Order to Terminate dated June 9, 2022.
4. Notice of Order of Penalty to Terminate dated June 9, 2022.
5. Letter from CME Associates regarding violations dated June 17, 2022.

Borough of Highlands

Municipal Building

42 Shore Drive

Highlands, NJ 07732

(732)872-1224 FAX (732)872-0670

Registration No.

Inspection No.

Block/Lot

7881

35/8

Item 3.

Violation
32 NORTH PEAK ST

Respondent

Co-Respondent

Home and Land Development Corp
88-1 Portland Rd
Highlands, NJ 07732

Date of Notice 4/11/2022 Abate By _____ Date of Inspection 4/11/2022

Local Comments Summons issued.
Photos attached.
To avoid further summonses, abate immediately.

Specific Violations

<u>Code</u>	<u>Code Description</u>	<u>OK if Abated</u>	<u>Date Abated</u>
301.3	Vacant structures and land. All vacant structures and premises thereof or vacant land shall be maintained in a clean, safe, secure and sanitary condition as provided hereto so as not to cause a blighting problem or adversely affect the public health or safety.		
Ord 10-10.1	Removal of Brush, Weeds, Trash, and Debris. Notwithstanding the provisions of the International Property Maintenance Code, and without superseding its incorporation into Borough ordinance, every owner or tenant of lands or dwellings in the Borough shall keep the lands or dwellings free of fire hazards, brush, weeds, including ragweed, dead and dying trees, stumps, roots, obnoxious growths, filth and garbage (trash and debris in cans, bags and/or in bulk), and shall maintain the land or dwellings in a clean and sanitary condition.		

If you have any questions, please call William F. Brunt, Jr., Code Enforcement at (732)872-1224

Official(at time of notice) 4/11/22 _____ _____
Date Official (When all items are abated) Date



STOP CONSTRUCTION ORDER

Building & Inspection
1 Kings Highway
Middletown, NJ 07748
732-615-2106

Application Date:
Application ID:
Permit Number:
Date Permit Issued:
Notice Date: 5/5/2022
Violation Number: 2022-00004

Item 3.

IDENTIFICATION

Work Site Location: 14 NORTH PEAK STREET Block: 35 Lot: 9 Qual: _____

Owner in Fee: HOME & LAND DEVELOPMENT Contractor/Agent: _____

Address: 88-1 PORTLAND RD. Address: _____

HIGHLANDS NJ 07732 Address: _____

Telephone: _____ Telephone: _____

To: Owner Other

Contractor/Agent

Date of Inspection: 5/2/2022 Date of Notice: 5/5/2022

CCNY

ACTION

You are hereby **ORDERED** to STOP

Building Electrical Plumbing Fire Protection Mechanical Elevator All CONSTRUCTION

at the above Location as of 5/2/2022 until further notice from this enforcing agency.

This **ORDER** is entered pursuant to N.J.A.C. 5:23-2.31(d) for violation of 5:23 2.16(j)2 Failure to obtain prior approvals which provides: **FAILURE TO OBTAIN PRIOR APPROVALS (ENGINEERING/ZONING)**

Permission to resume construction may be obtained from this enforcing agency after the following conditions are met: **OBTAIN ENGINEERING AND ZONING APPROVALS**

Further, take **NOTICE** that failure to comply with this **ORDER** may result in the assessment of penalties up to \$2,000.00 per day per violation, and a certificate of occupancy will *not* be issued until such penalty has been paid.

If necessary, the enforcing agency will concurrently seek the Order of a court of competent jurisdiction restraining further work at the above location.

If you wish to contest this **ORDER**, you may request a hearing before the Construction Board of Appeals of the Monmouth County Construction Board of Appeals within 15 days of receipt of this **ORDER** as provided by N.J.A.C. 5:23A-2.1. The Application to the Construction Board of Appeals may be used for this purpose.

Your application for appeal must be in writing, setting forth your name and address, the address of the building or site in question, the permit number, the specific sections of the Regulations in question, and the extent and nature of the relief sought by you. You may append any documents that you consider useful.

The fee for an appeal is \$100.00 and should be forwarded with your application to the Construction Board of Appeals Office at: P.O. Box 1255 Freehold NJ 07728

If you have any questions concerning this matter, please call: .

By Order of: _____

Construction Official

Date: 5/9/2022

Sent by Certified Mail: _____

U.C.C. F250



NOTICE OF VIOLATION AND ORDER TO TERMINATE

Building & Inspection
1 Kings Highway
Middletown, NJ 07748
732-615-2106

Application Date:
Application ID:
Permit Number:
Date Permit Issued:
Notice Date: 6/9/2022
Violation Number: 2022-00006

Item 3.

IDENTIFICATION

Work Site Location: 14 NORTH PEAK STREET
Owner in Fee: Home & Land Development
Address: 88-1 Portland Rd.
Highlands NJ 07732
Telephone: _____

Block: 35 Lot: 9 Qual: _____
Contractor/Agent: _____
Address: _____
Telephone: _____

To: Owner Other
 Contractor/Agent

Date of Inspection: 6/8/2022 Date of Notice: 6/9/2022 Compliance Due Date: 6/14/2022

ACTION

Take **NOTICE** that you have been found to be in violation of the State Uniform Construction Code Act and Regulation promulgated thereunder in that:

Violation of Stop Work Order
In violation of: N.J.A.C. 5:23-2.14(a) WORK PERFORMED WITHOUT REQUIRED PERMIT

You are hereby **ORDERED** to terminate the said violations on or before 6/14/2022.

No Certificate of Occupancy or Approval will be issued unless the said violations are corrected.

Further, take **NOTICE** that failure to comply with this **ORDER** may result in the assessment of penalties of up to \$2,000.00 per week per violation, and a certificate of occupancy will not be issued until such penalty has been paid.

If you wish to contest the **ORDER**, you may request a hearing before the Construction Board of Appeals of the

Monmouth County Construction Board of Appeals

within 15 days of receipt of this **ORDER** as provided by N.J.A.C. 5:23A-2.1. The application to the Construction Board of Appeals may be used for this purpose.

Your application for appeal must be in writing, setting forth your address and name, the address of the building or site in question, the permit number, the specific sections of the Regulations in question, and the extent and the nature of your reliance on them. You may include a brief statement setting forth your position and the nature of relief sought by you. You may also append any documents that you consider useful.

The Fee for an Appeal is \$100.00 and should be forwarded with your application to the Construction Board Of Appeals Office at:
P.O. Box 1255 Freehold NJ 07728

If you have any questions concerning this matter, please call: .

Notice of Violation and Order to Terminate: _____

Construction Official

Date: 6/9/2022

Sent by Certified Mail: _____

UCC F211



000 12

NOTICE AND ORDER OF PENALTY

Application Date:

Application ID:

Permit Number:

Date Permit Issued:

Notice Date: 6/9/2022

Violation Number: 2022-00006

Item 3.

Building & Inspection

1 Kings Highway

Middletown, NJ 07748

732-615-2106

IDENTIFICATION

Work Site Location: 14 NORTH PEAK STREET

Block: 35 Lot: 9 Qual: _____

Owner in Fee: Home & Land Development

Contractor/Agent: _____

Address: 88-1 Portland Rd.

Address: _____

Highlands NJ 07732

Telephone: _____

Telephone: _____

To: Owner

Other

Contractor/Agent

ACTION

On 6/8/2022, you were found to be in violation of the State Uniform Construction Code Act and Regulations promulgated thereunder. A Notice of Violation and Order to Terminate Notice of Unsafe Structure Notice of Imminent Hazard was issued. Reinspection of the work site on 6/8/2022 revealed the following violation(s) remain: 5:23-2.14 Construction permits--when required

Violation of Stop Work Order

On 6/8/2022, you were found to be in violation of the State Uniform Construction Code Act and Regulations promulgated thereunder, in that you made a false or misleading written statement, or omitted required information in an application or request for approval; or failed to obtain a construction permit; or failed to request required inspections; or allowed occupancy prior to receiving a certificate of occupancy.

On 6/8/2022, you were found to be in violation of the State Uniform Construction Code Act and Regulations promulgated thereunder. A Stop Construction Order was issued. Reinspection of the work site on 6/8/2022 revealed a failure to comply with that Stop Construction Order.

PENALTY

Therefore, you are hereby **ORDERED** to pay a penalty in the amount of \$2,000.00 for each violation for a total penalty of \$2,000.00.

Further, take **NOTICE** that for each day that any of the said violations remain outstanding after 6/14/2022, an additional penalty of \$100.00 per day shall result.

If you wish to contest this **ORDER**, you may request a hearing before the Construction Board of Appeals of the Monmouth County Construction Board of Appeals within 15 days of receipt of this **ORDER** as provided by N.J.A.C. 5:23A-2.1. The Application to the Construction Board of Appeals may be used for this purpose.

Your application for appeal must be in writing, setting forth your name and address, the address of the building or site in question, the permit number, the specific sections of the Regulations in question, and the extent and nature of the relief sought by you. You may append any documents that you consider useful.

The fee for an appeal is \$100.00 and should be forwarded with your application to the Construction Board of Appeals Office at: P.O. Box 1255 Freehold NJ 07728

If you have any questions concerning this matter, please call: .

Notice and Order of Penalty:

Construction Official

Date:

6/9/2022

Sent by Certified Mail: _____

U.C.C. F212

1317

SC

007578

HIGHLANDS BOROUGH
MUNICIPAL COURT
Atlantic Highlands, NJ 07716

Item 3.

Complaint

The State of New Jersey

(Please Print)

VS.

Defendant's Name: First initial Last
Home + Land Development Corp

Address City
88-1 Portland Rd Highlands

State Zip Code Telephone: Check if cell phone
NJ 07732

Birth Mo. Day Yr. Sex Eyes Weight Height Restrictions
Date:

Email Address Ethnicity Race

Driver's Lic. No.

State Exp. Date

STATE OF NEW JERSEY
COUNTY OF

MONMOUTH

Complaining Witness: William F. Bryant Jr (Name)

of Highlands Code Enforcement (Identify Dept./Agency Represented) (Badge No.)

Residing at 42 Shore Dr Highlands NJ

by certification or on oath, says that to the best of his/her knowledge or information and belief, the named defendant on or about the

4/11/22 2:03pm
Month Day Year Time

in HIGHLANDS County of MONMOUTH NJ

did commit the following offense:

Vacant land to be kept clean
safe, secure + sanitary

in violation of (one charge only) IPMC 301.3
(Statute, Regulation or Ordinance Number)

LOCATION OF OFFENSE 4307 Describe Location 14+32 N. Pearl Fl

OATH: Subscribed and sworn to before me this ___ day of ___, yr. ___

CERTIFICATION: I certify that the foregoing statements made by me are true. I am aware that if any of the foregoing statements made by me are willfully false, I am subject to punishment.

OR

(Signature of Complaining Witness)

4/11/22 (Date)

(Signature of Person Administering Oath)

(Signature of Complaining Witness)

PROBABLE CAUSE DETERMINATION FOR ISSUANCE OF PROCESS:

COURT USE ONLY

LAW / CODE ENFORCEMENT USE ONLY

Probable cause is found for the issuance of this Complaint-Summons

The complaining witness is a law enforcement officer or a code enforcement officer with territorial and subject matter jurisdiction and a judicial probable cause determination is not required prior to the issuance of this Complaint-Summons.

Yes

No

(Signature of Judicial Officer)

Yes

No

(Signature of Judge)

YOU ARE HEREBY SUMMONED TO APPEAR

BEFORE THIS COURT TO ANSWER THIS COMPLAINT. IF YOU FAIL TO APPEAR ON THE DATE AND AT THE TIME STATED, A FINANCIAL SANCTION MAY BE IMPOSED, A WARRANT MAY BE ISSUED FOR YOUR ARREST, OR BOTH.

NOTICE TO APPEAR

COURT APPEARANCE REQUIRED COURT DATE Month Day Year Time 5 17 22 3

199

4/11/22
(Date Summons Issued)

W. F. Bryant Jr
(Signature of Person Issuing Summons)

COMPLAINT

COMPLAINT

SUMMONS

SUMMONS

1317

SC

007576

HIGHLANDS BOROUGH
MUNICIPAL COURT
Atlantic Highlands, NJ 07716

Item 3.

Complaint

The State of New Jersey

(Please Print)

VS.

Defendant's Name: First Initial Last
Home and Land Development Corp.

Address 88-1 Portland Rd Highlands City

State NJ Zip Code 07732 Telephone: _____ Check if cell phone

Birth Date: Mo. Day Yr. Sex Eyes MOOD Weight Height Restrictions MOOD

Email Address _____ Ethnicity MOOD Race MOOD

Driver's Lic. No. _____ State _____ Exp. Date _____

STATE OF NEW JERSEY
COUNTY OF

MONMOUTH

Complaining Witness: William F. Brunt Jr (Name)

of Highlands Code Enforcement (Identity Dept./Agency Represented) (Badge No.)

Residing at 42 Stone Dr Highlands

by certification or on oath, says that to the best of his/her knowledge or information and belief, the named defendant on or about the

4/11/22 2:03 pm
Month Day Year Time

in HIGHLANDS County of MONMOUTH NJ

did commit the following offense:

Weeds/Brush/Trash/Debris Removal
(DESCRIPTION OF OFFENSE)

in violation of (one charge only) Ord 10-10

(Statute, Regulation or Ordinance Number)

LOCATION OF OFFENSE 130 E 14+32 N. Penn St Describe Location

OATH: Subscribed and sworn to before me this _____ day of _____, yr. _____

CERTIFICATION: I certify that the foregoing statements made by me are true. I am aware that if any of the foregoing statements made by me are willfully false, I am subject to punishment.

OR

(Signature of Complaining Witness)

(Date)

(Signature of Person Administering Oath)

(Signature of Complaining Witness)

PROBABLE CAUSE DETERMINATION FOR ISSUANCE OF PROCESS:

COURT USE ONLY

LAW / CODE ENFORCEMENT USE ONLY

Probable cause is found for the issuance of this Complaint-Summons

The complaining witness is a law enforcement officer or a code enforcement officer with territorial and subject matter jurisdiction and a judicial probable cause determination is not required prior to the issuance of this Complaint-Summons.

Yes

No

(Signature of Judicial Officer)

Yes

No

(Signature of Judge)

YOU ARE HEREBY SUMMONED TO APPEAR

BEFORE THIS COURT TO ANSWER THIS COMPLAINT. IF YOU FAIL TO APPEAR ON THE DATE AND AT THE TIME STATED, A FINANCIAL SANCTION MAY BE IMPOSED, A WARRANT MAY BE ISSUED FOR YOUR ARREST, OR BOTH.

NOTICE TO APPEAR

COURT APPEARANCE REQUIRED

COURT DATE

Month 5 Day 17 Year 22 Time 3

200

(Date Summons Issued)

(Signature of Person Issuing Summons)

COMPLAINT

COMPLAINT

SUMMONS

SUMMONS



June 17, 2022

TIM W. GILLEN, PE, PP, CME (1991-2019)
BRUCE M. KOCH, PE, PP, CME
LOUIS J. PLOSKONKA, PE, CME
TREVOR J. TAYLOR, PE, PP, CME
BEHRAM TURAN, PE, LSRP
LAURA J. NEUMANN, PE, PP
DOUGLAS ROHMEYER, PE, CFM, CME
ROBERT J. RUSSO, PE, PP, CME
JOHN J. HESS, PE, PP, CME

Sent via Electronic Mail (gnf718@aol.com)

Mr. Charles Farkouh
Home & Land Development Corp.
88-1 Portland Road
Highlands, NJ 07732

**Re: 14 North Peak Street – Block 35, Lot 8
Borough of Highlands, Monmouth County, NJ
Our File No. HHIE0035.01**

Dear Mr. Farkouh:

As you are aware, our office prepared a Grading Plan Review #1 for the above property dated December 14, 2021 which was found to be not acceptable. It was brought to our attention that your property at 14 North Peak Street has been cleared and grading work has begun without grading plan approval. It is our understanding that the Township has issued a stop work order due to lack of proper approvals and work within a steep slope area. Additionally, it is our understanding that the Freehold Soil Conservation District has also issued violations for non-compliance with their requirements.

There have been several reported erosion issues by the neighboring property at 102 Valley Avenue. The below photos show un-stabilized soil and missing silt fence.





Borough of Highlands
 Re: 14 North Peak Street – Block 35, Lot 8

June 16, 2022
 Our File No. HHIE0035.01
 Page 2

Additionally, due to the size of un-stabilized area and the slopes involved, the single layer of silt fence has not been able to hold back all sediment from the site. The area behind the silt fence, where it appears a utility easement was excavated is unprotected by silt fence.



It is our recommendation that immediate action is required to install silt fence around all areas of disturbance. We also recommend haybales along the rear property line to provide additional protection measures. Additionally, any disturbed area should be stabilized with vegetation in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey until proper approvals are secured.

Should you have any questions or require any additional information, please do not hesitate to contact this office.

Very truly yours,

CME Associates

Bennett A. Matlack, PE, CME, CFM
 Borough Engineer's Office

BAM/JM

cc: Mayor Carolyn Broullon
 Michael Muscillo – Borough Administrator
 Joseph Kachinsky – Construction Official
 Brian Chabarek, Esq. – Borough Attorney

APPENDIX E

CONSTRUCTION PERMITS & MISCELLANEOUS

1. Various emails regarding the subject property.
2. Construction Application Permit dated November 9, 2021.
3. Letter from Comcast dated October 11, 2021.
4. Letter from JCP&L dated November 3, 2021 and October 29, 2021.
5. Exemption Letter from Freehold County Soil Conservation District dated October 12, 2021.
6. Letter from NJNG dated October 25, 2021.
7. Various Licenses for Home & Land Development Corp.
8. Construction Permit issued by Borough of Highlands dated November 16, 2021.
9. Sewer Connection Permit application dated October 7, 2021.
10. Application for Street Excavation Permit dated October 17, 2021.

William F. Brunt, Jr.

From: gnf718@aol.com
Sent: Tuesday, May 3, 2022 6:47 AM
To: William F. Brunt, Jr.
Subject: Fwd: Highlands

I HIRED GIORDANO HALLERAN AND CIESLA TO DO THIS
THEY ALREADY GOT PAPERWORK FROM TOWN
SEE NEXT ATTACHED

From: MBruno@ghclaw.com
To: gnf718@aol.com
Cc: ezimmerman@ghclaw.com
Sent: 3/29/2022 2:21:54 PM Eastern Standard Time
Subject: FW: Highlands

Charlie, following up on our call, the 14 and 32 North Peak Steet, Highlands’s property application for subdivision and variance relief related to the steep slopes will also require the municipal approval to permit the proposed retaining wall within the municipal right of way. You will also need the property owner to the east to consent to the application as a portion of the retaining wall is on that property also. We recommend that you speak with the municipality to make sure that subject to Planning Boar approval, they will be willing to allow the improvements within the right of way. Best scenario would be for the municipality to approve or consent to the application by Resolution at this time. Otherwise we can request that the Planning Board make it a condition of any action they take. In any event, you want to make sure the municipality is willing to allow the retaining wall as proposed. Let’s discuss.

Giordano Halleran & Ciesla <i>Attorneys at Law</i>	Michael A. Bruno, Esq. vcard Shareholder	website biography
	Co-chairman, Real Estate, Redevelopment and Planned Real Estate Department www.ghclaw.com Direct Dial: (732) 219-5498 • F: (732) 224-6599 125 Half Mile Road • Suite 300 • Red Bank, NJ 07701- 6777	

From: gnf718@aol.com
To: Kowaleski, Paul; construction@highlandsborough.org; jkachins@middletownnj.org
Cc: Matlack, Bennett; Pavlick, Drew; Michael Muscillo; Michelle Hutchinson, Municipal Clerk; mdunn@middletownnj.org; pmerse@middletownnj.org; arstockton@gmail.com
Subject: Re: Grading Plan Review - 14 & 32 North Peak Street
Date: Wednesday, December 15, 2021 6:54:12 AM

Good. Morning. Everyone. Is it. Possible the. Engineers can meet at the site. To see why I put the wall. That location. Someone in prior past. Installed roadway. Way. Off course. Of the easement. Right across. 4. Homes. So. They encroached. On all propert lines by 20. Foot. We need to rectify that so by placing wall. Where we show it allows the easement. To be in its proper location. So basically. Fixing. A. Error from past. Engineering. At my cost.

Won't. Be the first time

Snd the Neighbor asked me if. I could extend. On his property to solve the issue he has been trying hsve. Town rectify years ago. So I told him I would assist.

He lives. In the home next door. He would like to be at the site. When we all meet.

Charles. Farkouh.

[Sent from the all new AOL app for iOS](#)

On Tuesday, December 14, 2021, 2:24 PM, Kowaleski, Paul <pkowaleski@cmeusa1.com> wrote:

Good Afternoon,

Please see attached for Grading Plan Review #1 for 14 & 32 North Peak Street (Block 35, Lots 8 & 9). Please reach out if you have any further questions.

Thanks,

Paul

PAUL KOWALESKI, E.I.T.

Design Engineer



**Consulting & Municipal
ENGINEERS**

1460 Rt. 9 South, Howell, NJ 07731

P:732.462.7400 F:732.409.0756

pkowaleski@cmeusa1.com

www.cmeusa1.com



Like us on
Facebook!



Follow us on
Twitter!



Follow us on
Instagram!

From: [William F. Brunt, Jr.](#)
To: [Matlack, Bennett](#)
Subject: FW: 14 N. Peak
Date: Friday, June 24, 2022 3:07:42 PM
Attachments: [14 N Peak Farkouh atty advice.pdf](#)
[Violation.pdf](#)

Hi Ben,

Below is the email from Joe Kachinsky regarding the work @ 14 N. Peak. I have also attached my report and tickets regarding this. Also attached is Charlie's own attorney telling him to get Land Use Board approval.

I thought that I sent him a letter also, but I am mistaken the letter that I was thinking of was to Michael Antico at Charlies other project at 88-6 Portland Rd.

Thank you.

Bill

William F. Brunt, Jr.
Code Enforcement Officer
Borough of Highlands
732-872-1224 ext. 215

From: Kachinsky, Joseph <jkachins@middletownnj.org>
Sent: Wednesday, May 25, 2022 12:09 PM
To: gnf718@aol.com
Cc: Michael Muscillo <mmuscillo@highlandsborough.org>; William F. Brunt, Jr. <code@highlandsborough.org>; Merse, Patti <pmerse@middletownnj.org>; O'Callahan, Brian <bocallahan@middletownnj.org>
Subject: 14 N. Peak

Good morning Charlie, can you please contact this office ASAP. Your voicemail has been full. There continues to be severe erosion to adjoining properties due to the fill that was placed at this site without the proper approvals. You have failed to adequately address this situation on several occasions despite contact from this office as well as Highlands Officials. Due to the fact no grading plan was submitted or approved this fill is to be removed immediately until such approvals are obtained. Failure to address this matter in a timely fashion will result in severe monetary penalties. Your cooperation on this matter is both anticipated and appreciated. Joe Kachinsky, Construction Official

CERTIFICATION IN LIEU OF OATH

I. OWNER SECTION (to be completed if the applicant is the owner in fee)

I hereby certify that I am the owner in fee of the property listed on Page 1.

Mark the following applicable boxes:

A. () I further certify that a new home (private residence) will be constructed on this property for my own use and occupancy. This dwelling is to be occupied by myself and is not to be used for any purpose other than single family residential use. I attest that all construction, plumbing, or electrical work will be done, in whole or in part, by me or by subcontractors under my supervision, in accordance with all applicable laws; and, I further acknowledge that said new home is not covered under the New Home Warranty and Builders Registration Act (N.J.S.A. 46:3B-1 et seq.) and that such fact shall be disclosed to any person purchasing this property within ten years of the date of issuance of a certificate of occupancy.

I UNDERSTAND THAT IN MARKING BOX A, I ACKNOWLEDGE THAT I AM ASSUMING RESPONSIBILITY FOR THE WORK DONE ON SAID PROPERTY, THE CONDITION OF THE PROPERTY PRIOR TO, DURING, AND AFTER ANY WORK PERFORMED, AND FOR THE PERFORMANCE OF THE SUBCONTRACTORS I HIRE, EMPLOY, OR OTHERWISE CONTRACT OR WITH WHOM I MAKE AGREEMENTS TO PERFORM WORK. I AM VOLUNTARILY AND KNOWINGLY ASSUMING THIS RESPONSIBILITY.

B. () I further certify the following as required by the New Jersey Uniform Construction Code, N.J.A.C. 5:23-2.15(f)1.ix:

I personally prepared the plans submitted for: 1) the new home referred to in A.; or, 2) an addition, alteration, renovation, or repair to an existing single family residence owned and occupied by myself and located on the property listed on Page 1; or, 3) a new structure that will be physically separate from, but that will be deemed part of, an existing single family residence that is owned and occupied by myself and located on the property listed on Page 1.

C. () I further certify that I will perform or supervise the following work:

- C.1. () Building
- C.2. () Fire Protection

I further certify that I will perform the following work:

- C.3. () Electrical
- C.4. () Plumbing

D. () I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I understand that if any of the above statements are willfully false, I am subject to punishment.

Signature _____ Date _____

II. AGENT SECTION (to be completed if the applicant is not the owner in fee)

I hereby certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(d): the proposed work is authorized by the owner in fee; and I have been authorized by the owner in fee to make this application as his agent.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I understand that if any of the above statements are willfully false, I am subject to punishment.

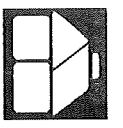
(X) Check if contractor.

Agent Name Charles Frankel
Address 884 Portland Rd
Highland, NJ 07732
Telephone (917) 686-4111
Signature _____

III. () LEAD HAZARD ABATEMENT: Include Homeowner or Building Owner Affidavit as per N.J.A.C. 5:17.



BUILDING SUBCODE TECHNICAL SECTION



Item 3.

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO. 1-800-272-1000.

Block 3 Lot 14 N. Beach Qualification Code _____

Work Site Location Hillsboro RD Dept Ave

Owner In Fee: 917 676 4111 e-mail gms71v@pan1.c

Tel. 917 676 4111 e-mail _____

Address 85-1 Porthall RD zip code 07732

Contractor: Steve's Land Devel incorporated Tel. 917 676 4111

Address Hillsboro RD e-mail _____

Contractor License No. or Builder Registration No. 13VH110671 Exp. Date _____

Home Improvement Contractor Registration No. or Exemption Reason _____

Federal Emp. ID No. 470575322 FAX: 732 272 2029

JOB SUMMARY (Office Use Only)

PLAN REVIEW No Plans Required 11/3/12 Date Initial MS

All _____ Inspections _____

Footings/Foundations _____ Footing _____

Structural/Framework _____ Foundation _____

Exterior _____ Slab _____

Interior _____ Frame _____

Joint Plan Review Required: _____ Truss Sys./Bracing _____

Elec. Plumb. Fire Elevator _____ Barrier-Free _____

SUBCODE APPROVAL FOR PERMIT _____ Insulation _____

Date: 11/3/12 _____ Finishes -Base Layer _____

Approved by: Michael... _____ Finishes -Final _____

SUBCODE APPROVAL FOR CERTIFICATE _____ Energy _____

Date: _____ Mechanical _____

Approved by: _____ TCO _____

Other _____

Barrier-Free _____

Final _____

C. CERTIFICATION IN LIEU OF OATH
I hereby certify that I am the (agent of) owner of record and am authorized to make this application.

Sign here: Charles Frankel

Print name here: _____

D. TECHNICAL SITE DATA

DESCRIPTION OF WORK

Demolition Sunkle Family
HP Inc

Blank area for technical site data description.

TYPE OF WORK:

New Building

Addition

Rehabilitation

Roofing

Siding

Fence _____ Height (exceeds 6')

Sign _____ Sq. Ft.

Pool

Retaining Wall _____ Sq. Ft.

Asbestos Abatement Subchapter 8

Lead Haz. Abatement NJAC 5:17

Radon Remediation

Other _____

Demolition

FEE (Office Use Only) table with columns for Administrative Surcharge, Minimum Fee, State Permit Surcharge Fee, and TOTAL FEE.

Use Group Present _____ Proposed _____

Constr. Class Present _____ Proposed _____

If Industrialized Building: State Approved _____ HUD _____

Height of Structure _____ ft.

Area — Largest Floor _____ sq. ft.

New Bldg. Area/All Floors _____ sq. ft.

Volume of New Structure _____ cu. ft.

Max. Live Load _____

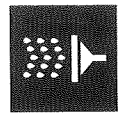
Max. Occupancy Load _____

U.C.C. F110 (rev. 11/09)
Internet version

Applicant: When submitting this form to your Local Construction Code Enforcement Office, please provide one original plus three photocopies.



PLUMBING SUBCODE TECHNICAL SECTION



Item 3.

A. IDENTIFICATION - APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 35 Lot 14 N. Peak St Qualification Code _____

Work Site Location Hotel, 25 0732

Owner in Fee: Ante Land Bldg. Corp

Tel. (117) 658 4111 e-mail _____

Address 1031 Sheela Dr Municipality _____

Contractor: Tom's Plumb NT Exp. Date 7.23

Home Improvement Contractor Registration No. or Exemption Reason (if applicable): _____

Federal Emp. ID No. 203921971 FAX: () _____

B. PLUMBING CHARACTERISTICS

Use Group 4 Present _____ Proposed _____

Building Sewer Size 4" Public Sewer _____ Private Septic _____

Water Service Size 1" Public Water 660- Private Well _____

Est. Cost of Plumbing Work \$ _____

JOB SUMMARY (Office Use Only)

PLAN REVIEW No Plans Required

Partial - Under-slab Utilities Approved _____

Date: _____ Approved by: _____

Plumbing Plans Approved _____

Date: _____ Approved by: _____

Joint Plan Review Required: _____

[] Bldg. [] Elec. [] Fire. [] Elev. _____

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.

Applicant sign/Contractor [Signature]

Print name here: Thomas Bonitua

[X] Licensed Plumbing Contractor [] Exempt Applicant

D. TECHNICAL SITE DATA

FIXTURE/EQUIPMENT

Water Closet _____

Urinal/Bidet _____

Bath Tub _____

Lavatory _____

Shower _____

Floor Drain _____

Sink _____

Dishwasher _____

Drinking Fountain _____

Washing Machine _____

Hose Bibb _____

Water Heater _____

Fuel Oil Piping _____

Gas Piping _____

LP Gas Tank _____

Date Received 11/9/21
Control # 2021-013
Date Issued _____
Permit # 2100184

U.C.C. F130 Rev. 11/09

*JSM 9/13/22
NO CUT CAP OR TEMP WATER VISIBLE*

Administrative Surcharge	\$
Minimum Fee	\$
State Permit Surcharge Fee	\$
TOTAL FEE	\$



*403 South Street
Eatontown, NJ 07724
(732)299-2958*

*LOCATION: 14 N PEAK ST
HIGHLANDS, NJ 07732*

RE: REMOVAL OF CABLE 10/11/2021

All Comcast cables that were attached to the building have been removed.

Sincerely,

GARY M EICKEN

*Gary M Eicken
Specialist 2, Construction*

DEMOLITION/SERVICE REMOVAL/RELOCATION LETTER

11/3/2021

Home & Land Development Corp
1 Portland Rd
Highlands, NJ 07732

RE: 14 N Peak St, Highlands, NJ 07732

Dear Customer:

This letter confirms and gives notice that, effective as of the above date, Jersey Central Power & Light Company ("JCP&L" or "Company") has (1) removed or relocated its electric service cable(s) and meter(s) (the "Company Facilities") from, at, or on, the above referenced service location (the "Service Location") as you requested in order to accommodate proposed demolition and/or other construction activity; and (2) inspected to confirm that the requested removal or relocation of the Company Facilities at the Service Location has been completed. Please note that there may be other structures located around, at, or on the Service Location that continue to have electric service.

PLEASE REMEMBER: notwithstanding this confirmation and notice, you and your contractors are responsible to conduct all demolition and/or construction activities safely and in compliance with all applicable permits, laws and regulations governing such activity at the above-referenced Service Location including, but not limited to, demolition and/or construction activities undertaken around any other structures with an active electric service.

JCP&L would also like to take this opportunity to further remind you of the need to maintain proper clearance distance between buildings and power lines. The minimum clearance distances are set forth in the National Electrical Safety Code ("NESC"), which is the standard to which New Jersey electric public utilities, such as JCP&L, build and maintain their electric systems. Depending on the circumstances, construction and/or demolition activities may also be subject to additional standards such as, among other things, those found in the National Electrical Code ("NEC") and the Occupational Safety and Health Act ("OSHA").

Involving JCP&L early in the construction planning process may, where practicable, avoid the need for relocating and/or removing electrical facilities. Failing to plan for these clearance requirements early in the planning process may result in increased additional costs to the property owner in order to address later identified safety concerns. After construction is completed, the practicability of relocating utility facilities may be compromised or eliminated. This can lead, among other things, to (1) increased costs to the property owner, (2) the possible need for modifications (including demolition) to the newly constructed structure, and/or (3) the possible loss of electric service at the property until such conditions are rectified. Reviewing available options in advance of construction provides the property owner with the best opportunity to potentially avoid or reduce the risk of personal injury, property damage and/or increased costs.

JCP&L seeks to promote public safety and encourage close cooperation in addressing these issues efficiently and effectively prior to construction. Please contact JCP&L at 1-800-662-3115 in order to discuss the proximity of any future project to nearby power lines. The Company will schedule a field appointment with you so that the site and the proposed project can be reviewed with respect to the NESC minimum clearance requirements. Thank you for your prompt attention to this very important matter.

Yours truly,

Jersey Central Power and Light Company
Union Beach Operations

DEMOLITION/SERVICE REMOVAL/RELOCATION LETTER

10/29/2021

Jerry Feliciano
14 N Peak St
Highlands NJ 07732

RE: 14 N Peak St, Highlands NJ 07732 – DR# 349944508

Dear Customer:

This letter confirms and gives notice that, effective as of the above date, Jersey Central Power & Light Company ("JCP&L" or "Company") has (1) removed or relocated its electric service cable(s) and meter(s) (the "Company Facilities") from, at, or on, the above referenced service location (the "Service Location") as you requested in order to accommodate proposed demolition and/or other construction activity; and (2) inspected to confirm that the requested removal or relocation of the Company Facilities at the Service Location has been completed. Please note that there may be other structures located around, at, or on the Service Location that continue to have electric service.

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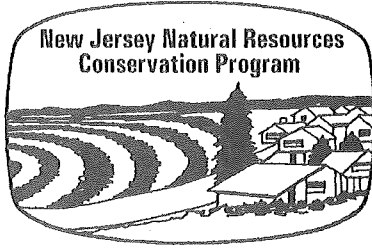
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Yours truly,

Jersey Central Power and Light Company
Union Beach Operations



FREEHOLD SOIL CONSERVATION DISTRICT
(Serving Middlesex and Monmouth Counties)

4000 Kozloski Road, P.O. Box 5033
Freehold, New Jersey 07728-5033
Tel: (732) 683-8500
Fax: (732) 683-9140
E-mail: info@freeholdscd.org
Website: www.freeholdsoil.org

10/12/2021

HOME & LAND DEVELOPMENT CORP
88-1 PORTLAND ROAD
HIGHLANDS NJ 07732

Ref.#: 0012-C725
Proj.: 14 NORTH PEAK STREET
Twp. : HIGHLANDS
Block: 35
Lots : 9

PROJECT EXEMPT

DEMOLITION ONLY, LESS THAN 5,000 SQUARE FEET OF DISTURBANCE PROPOSED

Dear HOME & LAND DEVELOPMENT CORP,

This is to inform you that in accordance with the New Jersey Soil Erosion and Sediment Control Act; N.J.S.A. 4:24-39 et. seq., Chapter 251, P.L. 1975 and as amended by C. 264, P.L. 77 and C. 459, P.L. 79, anyone disturbing more than 5,000 square feet of surface area of land for demolition of existing structures must file an application along with soil erosion and sediment control plans with the local District office for review and certification.

In reference to the above project, the area of land to be disturbed for demolition only is less than 5,000 square feet; therefore, does not require certification of a Soil Erosion and Sediment Control plan.

However, should new construction be proposed which will exceed 5,000 square feet, submission and certification of Soil Erosion and Sediment Control plans would be required.

If you should have any questions, please feel free to contact our office.

Sincerely,

Ben Shotland
Resource Conservationist II

cc: Planning Board
Construction Official
Municipal Engineer
Applicant's Engineer

NOT AN ELECTRICIAN'S OR PLUMBER'S LICENSE

State Of New Jersey
New Jersey Office of the Attorney General
Division of Consumer Affairs

THIS IS TO CERTIFY THAT THE
Home Improvement Contractors

HAS REGISTERED

HOME & LAND DEVELOPEMENT CORP.
Charles Farkouh
16A Bellevue Ave
Rumson NJ 07760

FOR PRACTICE IN NEW JERSEY AS A(N): Home Improvement Contractor

New Jersey Office of the Attorney General
Division of Consumer Affairs
THIS IS TO CERTIFY THAT THE
Home Improvement Contractors
HAS REGISTERED
HOME & LAND DEVELOPEMENT CORP.
Home Improvement Contractor

NOT AN ELECTRICIAN'S OR PLUMBER'S LICENSE
01/05/2021 TO 03/31/2022
VALID

SIGNATURE

Paul Rodriguez
DIRECTOR

13VH01106800
License/Registration/Certificate #

01/05/2021 TO 03/31/2022
VALID

13VH01106800
LICENSE/REGISTRATION/CERTIFICATION #

Paul Rodriguez
DIRECTOR

Signature of Licensee/Registrant/Certificate Holder

PLEASE DETACH HERE
IF YOUR LICENSE/REGISTRATION/
CERTIFICATE ID CARD IS LOST
PLEASE NOTIFY:
Home Improvement Contractors
P.O. Box 45016
Newark, NJ 07101

PLEASE DETACH HERE

HOME & LAND DEVELOPEMENT CORP.
YOUR LICENSE/REGISTRATION/CERTIFICATE NUMBER IS 13VH 01106800 EXPIRATION DATE 2022
CORRESPONDENCE TO THE DIVISION OF CONSUMER AFFAIRS. PLEASE USE IT IN ALL
CHANGES. YOU ARE REQUIRED TO REPORT ANY ADDRESS CHANGES IMMEDIATELY TO THE ADDRESS NOTED
BELOW.

Home Improvement Contractors
P.O. Box 45016
Newark, NJ 07101

PRINT YOUR NEW ADDRESS OF RECORD BELOW.
YOUR ADDRESS OF RECORD IS THE ADDRESS THAT WILL PRINT ON
YOUR LICENSE/REGISTRATION/CERTIFICATE AND IT MAY BE MADE
AVAILABLE TO THE PUBLIC.

HOME
BUSINESS

TELEPHONE
INCLUDE AREA CODE

PRINT YOUR NEW MAILING ADDRESS BELOW.
YOUR MAILING ADDRESS IS THE ADDRESS THAT WILL BE USED BY
THE DIVISION OF CONSUMER AFFAIRS TO SEND YOU ALL
CORRESPONDENCE.

HOME
BUSINESS

TELEPHONE
INCLUDE AREA CODE

If the law governing your profession requires the current license/registration/certificate to be displayed, it should be within reasonable proximity of your original license/registration/certificate at your principal office or place of business.



October 25, 2021

MR. CHARLES G. FARKOUH
88 PORTLAND RD APT 1
HIGHLANDS, NJ 07732
GNF718@AOL.COM

Re: Gas Facility Removal Demolition Request
14 PEAK ST, HIGHLANDS (12531337)

Dear MR. FARKOUH,

Per your request, New Jersey Natural Gas Company has investigated the above referenced property for the presence of natural gas facilities. The facilities (if any) have been permanently retired at the main, which may be in the road or behind the curb.

*******IMPORTANT*******
PLEASE READ CAREFULLY

SHOULD YOU REQUIRE GAS SERVICE RESTORED, PLEASE FOLLOW THE DIRECTIONS BELOW:

1. Call 1-800-221-0051, a minimum of 6 weeks prior to the estimated reconnection date. This is necessary for us to obtain permits required to restore your service.
2. When you call, ask to speak to a **MARKETING REPRESENTATIVE**, who will assist you to have a new gas service line run.
3. Please be advised that the new service line must be installed according to the current company installation standards.

NEW JERSEY NATURAL GAS COMPANY
1420 Wyckoff Road
Wall, New Jersey 07719

- c. NBPT (12531337)
File - Operations Dept.

DEMOLITION/SERVICE REMOVAL/RELOCATION LETTER

10/29/2021

Jerry Feliciano
14 N Peak St
Highlands NJ 07732

RE: 14 N Peak St, Highlands NJ 07732 – DR# 349944508

Dear Customer:

This letter confirms and gives notice that, effective as of the above date, Jersey Central Power & Light Company ("JCP&L" or "Company") has (1) removed or relocated its electric service cable(s) and meter(s) (the "Company Facilities") from, at, or on, the above referenced service location (the "Service Location") as you requested in order to accommodate proposed demolition and/or other construction activity; and (2) inspected to confirm that the requested removal or relocation of the Company Facilities at the Service Location has been completed. Please note that there may be other structures located around, at, or on the Service Location that continue to have electric service.

PLEASE REMEMBER: notwithstanding this confirmation and notice, you and your contractors are responsible to conduct all demolition and/or construction activities safely and in compliance with all applicable permits, laws and regulations governing such activity at the above-referenced Service Location including, but not limited to, demolition and/or construction activities undertaken around any other structures with an active electric service.

JCP&L would also like to take this opportunity to further remind you of the need to maintain proper clearance distance between buildings and power lines. The minimum clearance distances are set forth in the National Electrical Safety Code ("NESC"), which is the standard to which New Jersey electric public utilities, such as JCP&L, build and maintain their electric systems. Depending on the circumstances, construction and/or demolition activities may also be subject to additional standards such as, among other things, those found in the National Electrical Code ("NEC") and the Occupational Safety and Health Act ("OSHA").

Involving JCP&L early in the construction planning process may, where practicable, avoid the need for relocating and/or removing electrical facilities. Failing to plan for these clearance requirements early in the planning process may result in increased additional costs to the property owner in order to address later identified safety concerns. After construction is completed, the practicability of relocating utility facilities may be compromised or eliminated. This can lead, among other things, to (1) increased costs to the property owner, (2) the possible need for modifications (including demolition) to the newly constructed structure, and/or (3) the possible loss of electric service at the property until such conditions are rectified. Reviewing available options in advance of construction provides the property owner with the best opportunity to potentially avoid or reduce the risk of personal injury, property damage and/or increased costs.

JCP&L seeks to promote public safety and encourage close cooperation in addressing these issues efficiently and effectively prior to construction. Please contact JCP&L at 1-800-662-3115 in order to discuss the proximity of any future project to nearby power lines. The Company will schedule a field appointment with you so that the site and the proposed project can be reviewed with respect to the NESC minimum clearance requirements. Thank you for your prompt attention to this very important matter.

Yours truly,

Jersey Central Power and Light Company
Union Beach Operations



Borough of Highlands
1 Kings Highway
Middletown, NJ 07748
 Phone: 732-615-2106
 Fax: 732-671-2576

Permit Number: **2100184**
 Update Number:
 Control Number: **2021-0137**
 Application Date: **11/6/2021**
 Permit Date: **11/16/2021**

Item 3.

CONSTRUCTION PERMIT

IDENTIFICATION

OWNER/ PROPERTY DETAILS

Block: **35** Lot: **9** Qualifier:
 Work Site Location **14 NORTH PEAK STREET** Contractor **HOME & LAND DEVELOPEMENT**
HIGHLANDS NJ 07732 Telephone **(732)460-0692**
 Owner in Fee **FELICIANO, JERRY** Address **16A BELLEVUE AV**
 Telephone **RUMSON NJ 07760**
 Address **14 NORTH PEAK ST** Lic. No. / Bldrs. Reg. No
HIGHLANDS NJ 07732 Federal Emp. No.
 Use Group(s): **R-5**

is hereby granted permission to perform the following work:

Demolition **Building** **Plumbing**

DESCRIPTION OF WORK:
Demo Single Family Dwelling

ESTIMATED COST OF WORK:

Cost of Construction: **\$0.00**
 Cost of Alteration: **\$0.00**
 Cost of Demolition: **\$3,600.00**
 Total Cost: **\$3,600.00**

If construction does not commence within one year of date of issuance,
 or if construction ceases for a period of six months, this permit is void

 Joseph Kachinsky
 Construction Official

Date: **11/16/2021**

- :: Failure to obtain all required inspections may result in administrative action
- :: Final inspections are required before final payment is to be made to contractor
- :: An approved set of plans must be kept at the worksite at all times

Notes:

PAYMENTS (Office Use Only)

Building	\$85.00
Electrical	
Plumbing	\$85.00
Fire Protection	
Elevator Devices	
Mechanical	
VolFee (DCA)	
AltFee (DCA)	
DCA Minimum Fee	
Other Fees	
CO Fee	
CCO Fee	
Minimum Fee	
Total	\$170.00
No Fees Waived	

Amount to be Paid: \$0.00

Check Amount: \$170.00
 Payment Date: 11/16/2021
 Collected By: Patti Merse
 Reference No: 210185

Total Check Amount **\$170.00**

Grand Total: \$170.00



Sewer Connection Permit Application

Account # 1970-0

Date: 9/21/21

The undersigned, being the owner of the property located at 14 North Peak, Block 35 Lot 89

does hereby request a permit to install and connect a building sewer to serve the above location, which is owned by Home & Land Development whose address is 88-1 Portland RD Highlands

The proposed building connection will be installed on the rear side of the street, now approximately n/a feet from n/a street.

The name and address of the Plumbing Contractor who will perform the work is Bonide Plumber License No.

The proposed size of the building sewer is 4 inch The proposed pipe material to be used is 4 inch

Drawings showing the plan and profile of the building sewer are shown on the next page. The plan shall show the location of the building to be served, the alignment of the building sewer, clean-outs, distances from the house to the curb, location of water supply lines, and the minimum distance between the water supply line and the building sewer.

In consideration of the granting of this permit, the undersigned agrees to all the terms and conditions set forth on the reverse side of this application.

Signed [Signature] (Applicant) 88-1 Portland RD Highlands (Address of Applicant) Phone 917 686 4111

RECEIVED SEP 27 2021

HIGHLANDS SEWER DEPARTMENT:

Street excavation permit fee paid as follows: \$190, \$500 deposit Sewer connection fee paid as follows: \$5,142 Check # 210133 Received by: Nancy Tran Date: 10/1/2021 Street excavation permit # 80 2021-03

Application approved and permit issued:

Signed: [Signature] (DPW Inspector) Date: 10/7/21

INSPECTION:

Connection completed, inspected, and approved Date (DPW Inspector) First Billing Date Date Keyed in Computer First Billing Amount Connection Date



HOME & LAND DEVELOPMENT CORP
88-1 PORTLAND RD
HIGHLANDS, NJ 07732

210133



55-138/212

Date 9/25/21

Pay to the order of

Borough of Highlands

\$ 5142⁰⁰

Five thousand one hundred forty two dollars

Dollars Security Features including: Deter on Bank.

VALLEY BANK
WWW.VALLEY.COM

For Stone Cottage 14 PEARL

⑈ 210133 ⑈ ⑆ 021201383 ⑆ ⑈ 000041300130 ⑈

RECEIVED SEP 27 2021

Subject: RE: new project in highlands north peak st blk 35 lot 8 and 9
Date: 9/15/2021 3:10:35 PM Eastern Standard Time
From: dpavlick@cmeusa1.com
To: gnf718@aol.com
Cc: BMatlack@cmeusa1.com

Hi Charlie- please see attached for the tax map for this area. It appears Boro ROW exists to the rear of Block 35, Lots 8 & 9. Unfortunately as Boro Engineer we can't consult on private development in town, you would have to speak with your engineer about this. Here is the link to the municipal ordinance:
<https://ecode360.com/HI4100>

-Drew

From: gnf718@aol.com <gnf718@aol.com>
Sent: Wednesday, September 15, 2021 12:12 AM
To: Pavlick, Drew <dpavlick@cmeusa1.com>
Subject: new project in highlands north peak st blk 35 lot 8 and 9

Drew,

Sorry for late email but Im headin to pa back thursday. I am purchasing these two lots and would like to install this wall sysem the entire length of both lots and fix the grade . I used this system w t& m in redbank on a bluff and it went very well. Can you give me your thoughts and also there is a right of way behind those lots and i would like to run two sewer laterlas to valley . The home presently has a septic system..

<http://www.stonestrong.com/galleries/view/112-residential>

I would like to meet you at the lots.

Charlie Farkouh

Home & Land Development Corp

RECEIVED SEP 27 2021

BOROUGH OF HIGHLANDS, N. J.



Sewer Connection Permit Application

Account # 1971-0

Date: 9/21/21

The undersigned, being the Owner / authorized agent of the property located at 32 North Peak Ave, Block 35 Lot 28

does hereby request a permit to install and connect a building sewer to serve the above location, which is owned by Honolulu Development Corp whose address is 88-1 Portland RD Highlands

The proposed building connection will be installed on the NE side of the street, approximately 200 feet from 200 street.

The name and address of the Plumbing Contractor who will perform the work is Dumble Plumbing & Drain License No.

The proposed size of the building sewer is 4" SCH 40

The proposed pipe material to be used is 4" SCH 40

Drawings showing the plan and profile of the building sewer are shown on the next page. The plan shall show the location of the building to be served, the alignment of the building sewer, clean-outs, distances from the house to the curb, location of water supply lines, and the minimum distance between the water supply line and the building sewer.

In consideration of the granting of this permit, the undersigned agrees to all the terms and conditions set forth on the reverse side of this application.

Signed [Signature] (Applicant) 88-1 Portland RD Highlands 07722 Phone 917 626 4111

RECEIVED SEP 27 2021

HIGHLANDS SEWER DEPARTMENT:

Street excavation permit fee paid as follows: \$190, \$500 deposit

Sewer connection fee paid as follows: \$5,142 Check # 210134

Received by: Nancy Tran Date: 10/1/2021

Street excavation permit # S/O 2021-04

Application approved and permit issued:

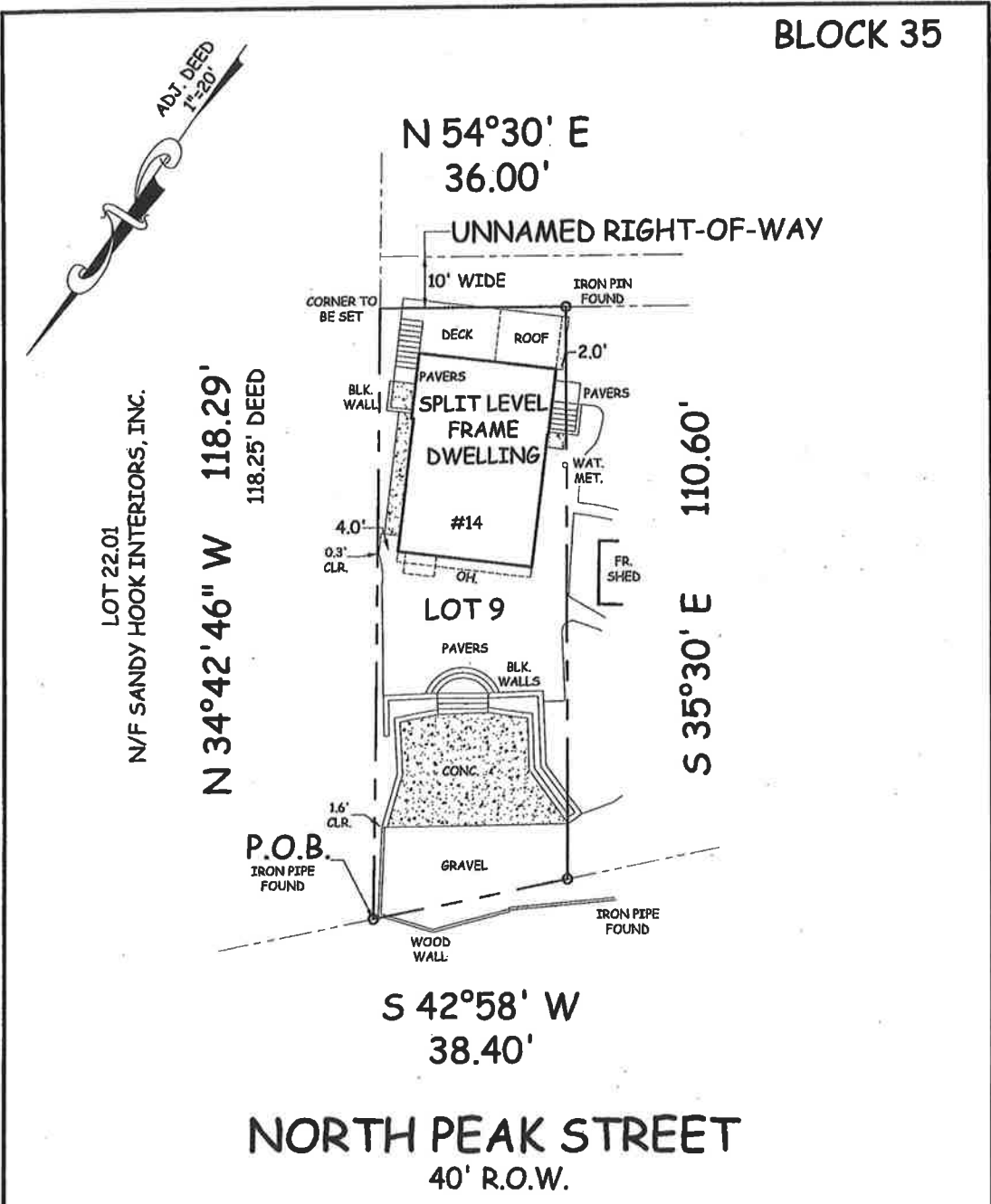
Signed [Signature] (DPW Inspector) Date: 10/7/21

INSPECTION:

Connection completed, inspected, and approved (DPW Inspector) Date

First Billing Date Date Keyed in Computer

First Billing Amount Connection Date



REFERENCES:

DEED BOOK 8893, PAGE 8039; BOROUGH OF HIGHLANDS TAX MAP SHEET 10.

CORNER MARKERS TO BE SET AT A LATER DATE.

	<p>BRUNSWICK WEST, INC. <small>LICENSED LAND SURVEYORS 219 1/2 SOUTH MAIN STREET FLEMINGTON, NEW JERSEY 08822-1763 PHONE (908) 284-0886 FAX (908) 284-2818</small></p>	<p>I HEREBY CERTIFY THIS SURVEY TO: THOMAS WALSH AND OLIVIA HORTON; CHAMLIN, ULIANO AND WALSH; ANDREW WALSH, ESQUIRE; FOUNDATION TITLE, LLC - EATONTOWN; FIDELITY NATIONAL TITLE INSURANCE COMPANY.</p> <p style="text-align: center;"><i>[Signature]</i></p> <p>RICHARD S. ZINN N.J.L.S. 34888</p>	
	<p>PLAN OF SURVEY THOMAS WALSH AND OLIVIA HORTON BOROUGH OF HIGHLANDS MONMOUTH, NEW JERSEY BLOCK 35, LOT 9</p>		
	<p>C.A. #246A28022700</p> <p>Drawn by <u>RSZ</u> Job No. <u>21.1250</u> Date <u>5/17/2021</u> Checked by <u>HP</u> Drawing No. _____ Scale <u>1"=20'</u></p>		

TITLE #315-174444

RECEIVED SEP 27 2021



HOME & LAND DEVELOPMENT CORP
88-1 PORTLAND RD
HIGHLANDS, NJ 07732

210134



55-138/212

Date 9/21/21

Pay to the order of Borough of Highlands \$ 5192⁰⁰
Five thousand one hundred forty two and 00/100 Dollars

VALLEY BANK
WWW.VALLEY.COM

For Star Lunch 32 Park

[Signature]

⑈ 210134 ⑆ ⑆ 021201383 ⑆ ⑆ 000041300130 ⑆ ⑆

©2005 UNITECH - BLUE SAFETY

Security Features
Included.
Details on this C.

RECEIVED SEP 27 2021



8/0 2021-03

Item 3.

42 SHORE DRIVE
HIGHLANDS, NJ 07732
P: 732-872-1224 X 250
F: 732-872-0670

Borough of Highlands
APPLICATION FOR STREET EXCAVATION PERMIT
Permit Fee \$190 / Deposit \$500
MUST BE 2 SEPARATE CHECKS

gnfr18@aol.com

SECTION A: TO BE COMPLETED BY APPLICANT

Applicant's Name: Highland Deep Corp Telephone #: (917) 686-4111

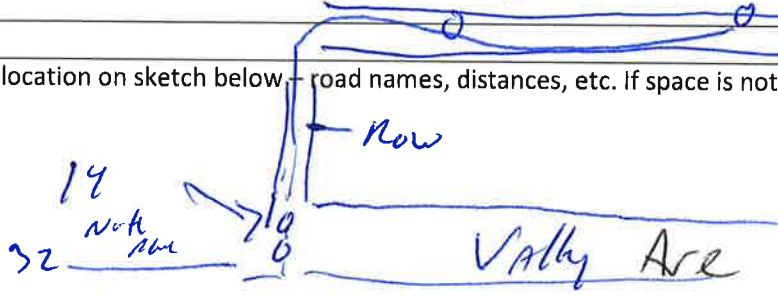
Address: 88-1 Pentland RD Highlands NJ 07732

Contractor: Highland Deep Corp
If other than applicant

Address: 88-1 Pentland RD Highlands NJ 07732

Location of excavation: Valley RD

Show location on sketch below - road names, distances, etc. If space is not sufficient, attach detailed drawing



Nature, purpose, and extent of excavation work:
Shower Curbs for 14 North St. peak B3569

For trenches only: Length: _____ FT Width: _____ FT Depth: _____ FT
Are street Closures or traffic rerouting required? () Yes () No
(if yes, attach sketch and description of proposed traffic control devices)
Proposed date of commencement: 10/15/21 Proposed completion: 10/17/21

Statement: The undersigned applicant for a street excavation permit hereby warrants that the information herein is correct and that he is familiar with, and agrees to abide by the requirement of the "Street Excavation Ordinance" if the Borough of Highlands.
Insurance Company: SEE ATTACH Policy Number: _____
Insurance Cert: _____ Expiration Date: _____

NOTE: APPLICANT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AT 732-872-1224 EXT 250 PRIOR TO COMMENCEMENT OF WORK.



42 SHORE DRIVE
HIGHLANDS, NJ 07732
P: 732-872-1224 X 250
F: 732-872-0670

Borough of Highlands
APPLICATION FOR STREET EXCAVATION PERMIT

SECTION B: TO BE COMPLETED BY PUBLIC WORKS SUPERINTENDENT*

*Or Borough Engineer if applicable

Estimated excavation size: _____
Deposit amount required: \$ 500 Permit Fee \$ 190

Surety Bond Recommendation:
Required? Yes No

Provisions (if any):

Approval: Yes () No

Disapproval Reason:


Public Works Superintendent Signature

10/7/21
Date

SECTION C: TO BE COMPLETED BY POLICE CHIEF*

WHEN STREET CLOSURES OR TRAFFIC REROUTING IS PROPOSED

Approved: Yes () No

Conditions of Approval (if any): PROPER SIGNS, ADVANCED NOTICE
TRAFFIC CONTROL

Reason for disapproval:


Police Chief Signature

10-7-21
Date



42 SHORE DRIVE
HIGHLANDS, NJ 07732
P: 732-872-1224 X 250
F: 732-872-0670

Borough of Highlands
APPLICATION FOR STREET EXCAVATION PERMIT

Section D: TO BE COMPLETED BY CASHIER

Permit Fee: \$190
Amount Paid: _____

Date received: 10/11/2021

Surety Bond:
Amount Paid: _____

Date received: _____

Deposit: \$500
Amount Paid: _____

Date received: 10/11/2021

[Signature]
Cashier Signature

10/11/2021
Date

Section E: TO BE COMPLETED BY BOROUGH CLERK *IF APPLICABLE*

Surety Bond # _____

Date Received: _____

Clerk Signature

Date

Section F: TO BE COMPLETED BY THE BOROUGH ADMINISTRATOR

[Signature]
Signature

10.8.2021
Date

Section G: TO BE COMPLETED UPON COMPLETION OF WORK*

To be completed by the DPW Superintendent

Date work finished: _____

Date of inspection: _____

Approval: () Yes () No

Authorized to release deposit () Yes () No

Authorized to release bond () Yes () No

Signature

Date

Section H: TO BE COMPLETED BY BOROUGH CLERK UPON COMPLETION

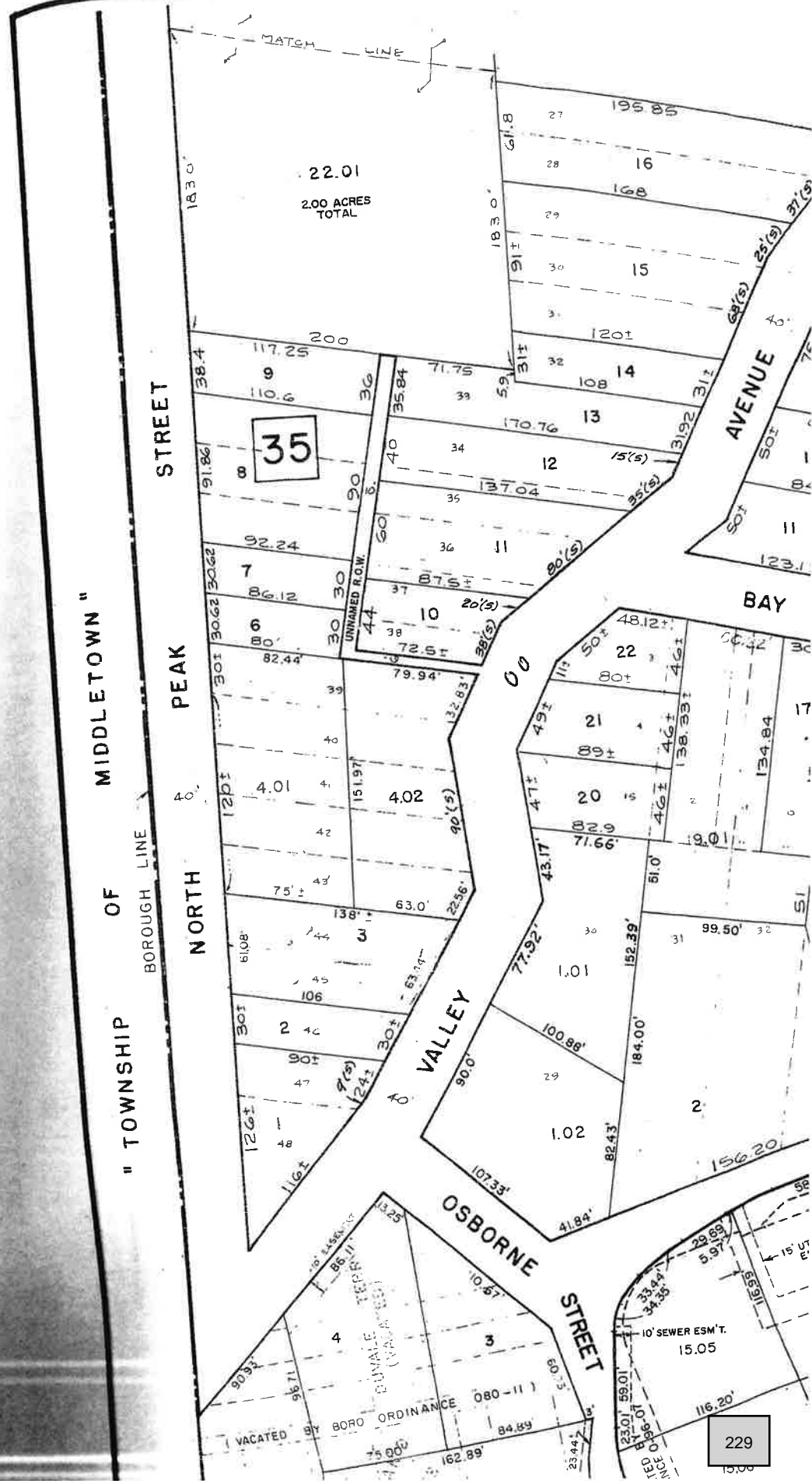
Bond released: Yes No

Signature

Date

Sewer connection
\$ 5,142

Street excavation
\$190 fee
\$500 deposit





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
10/1/2021

Item 3.

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Holmes & McDowell PO Box 348 Holmdel NJ 07733	CONTACT NAME: Anthony DiMeglio (Partner)
	PHONE (A/C, No, Ext): (732) 946-4800 FAX (A/C, No): (732) 946-4940
	E-MAIL ADDRESS: A.Dimeglio@holmesmcowell.com
	INSURER(S) AFFORDING COVERAGE
	INSURER A: Kinsale Insurance Company
	INSURER B: AmGUARD Insurance Company
	INSURER C:
	INSURER D:
	INSURER E:
	INSURER F:

COVERAGES CERTIFICATE NUMBER: 2021-2022 REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			0100041455-5	8/09/2021	8/09/2022	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ N/A PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$						<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE EACH OCCURRENCE \$ AGGREGATE \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below			R2WC242420	1/11/2021	1/11/2022	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER Borough of Highlands 14 & 32 N. Peak Street Highlands, NJ 07732	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE Anthony DiMeglio (Partner)

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HOME & LAND DEVELOPMENT CORP

88-1 PORTLAND RD
HIGHLANDS, NJ 07732

21
Item 3.

55-138/212

Date 9/28/14

Pay to the order of

Borough of Highlands
One Third of

\$ 1,000

Dollars Security Features Included. Details on Back.

VALLEY BANK
WWW.VALLEY.COM

For ESKews Holdings
Some

⑈ 210103 ⑈ ⑆ 021201383 ⑆ ⑈ 000041300130 ⑈

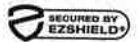
CHECKS UNLIMITED® - BLUE SAFETY



HOME & LAND DEVELOPMENT CORP

88-1 PORTLAND RD
HIGHLANDS, NJ 07732

210104



55-138/212

Date 9/30/14

Pay to the order of

Borough of Highlands
Three hundred eighty Dollars

\$ 380.00

Dollars Security Features Included. Details on Back.

VALLEY BANK
WWW.VALLEY.COM

For Street Example Holdings

⑈ 210104 ⑈ ⑆ 021201383 ⑆ ⑈ 000041300130 ⑈

CHECKS UNLIMITED® - BLUE SAFETY



S/O 2021-04

Item 3.

42 SHORE DRIVE
HIGHLANDS, NJ 07732
P: 732-872-1224 X 250
F: 732-872-0670

Borough of Highlands
APPLICATION FOR STREET EXCAVATION PERMIT
Permit Fee \$190 / Deposit \$500
MUST BE 2 SEPARATE CHECKS

gnf718@aol.com

SECTION A: TO BE COMPLETED BY APPLICANT

Applicant's Name Home & Land Dev Co Telephone # 917 688 414
 Address: 88-1 Portals RD
 Contractor: Home & Land Dev Co
 If other than applicant
 Address: 88-1 Portals RD Highlands NJ 07732
 Location of excavation: Valley Ave

Show location on sketch below – road names, distances, etc. If space is not sufficient, attach detailed drawing



Nature, purpose, and extent of excavation work:
32 NORTH PEARL ST
BLK 35 LOT 8

For trenches only: Length: _____ FT Width: _____ FT Depth: _____ FT
 Are street Closures or traffic rerouting required? () Yes () No
 (if yes, attach sketch and description of proposed traffic control devices)
 Proposed date of commencement: _____ Proposed completion: _____

Statement: The undersigned applicant for a street excavation permit hereby warrants that the information herein is correct and that he is familiar with, and agrees to abide by the requirement of the "Street Excavation Ordinance" if the Borough of Highlands.
 Insurance Company: _____ Policy Number: _____
 Insurance Cert: _____ Expiration Date: _____

NOTE: APPLICANT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AT 732-872-1224 EXT 250 PRIOR TO COMMENCEMENT OF WORK.



42 SHORE DRIVE
HIGHLANDS, NJ 07732
P: 732-872-1224 X 250
F: 732-872-0670

Borough of Highlands
APPLICATION FOR STREET EXCAVATION PERMIT

SECTION B: TO BE COMPLETED BY PUBLIC WORKS SUPERINTENDENT*

*Or Borough Engineer if applicable

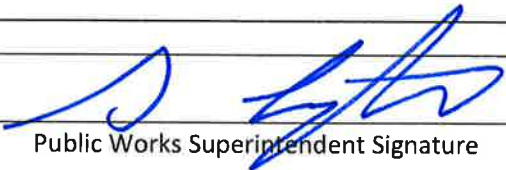
Estimated excavation size: _____
Deposit amount required: \$ 500 Permit Fee \$ 190

Surety Bond Recommendation:
Required? Yes No

Provisions (if any):

Approval: Yes () No

Disapproval Reason:


Public Works Superintendent Signature

10/7/21
Date

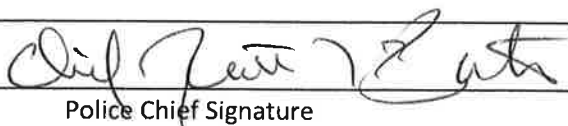
SECTION C: TO BE COMPLETED BY POLICE CHIEF*

WHEN STREET CLOSURES OR TRAFFIC REROUTING IS PROPOSED

Approved: Yes () No

Conditions of Approval (if any): ADVANCED NOTICE, TRAFFIC CONTROL
NOTICE TO NEIGHBORHOOD

Reason for disapproval:


Police Chief Signature

10-7-21
Date



42 SHORE DRIVE
HIGHLANDS, NJ 07732
P: 732-872-1224 X 250
F: 732-872-0670

Borough of Highlands
APPLICATION FOR STREET EXCAVATION PERMIT

Section D: TO BE COMPLETED BY CASHIER

Permit Fee:
Amount Paid: 190 Date received: 10/1/2021

Surety Bond:
Amount Paid: _____ Date received: _____

Deposit:
Amount Paid: 500 Date received: 10/1/2021

[Signature] _____ 10/1/2021
Cashier Signature Date

Section E: TO BE COMPLETED BY BOROUGH CLERK *IF APPLICABLE*

Surety Bond # _____ Date Received: _____

Clerk Signature Date

Section F: TO BE COMPLETED BY THE BOROUGH ADMINISTRATOR

[Signature] _____ 10.8.2021
Signature Date

Section G: TO BE COMPLETED UPON COMPLETION OF WORK*

To be completed by the DPW Superintendent

Date work finished: _____

Date of inspection: _____

Approval: () Yes () No

Authorized to release deposit () Yes () No

Authorized to release bond () Yes () No

Signature Date

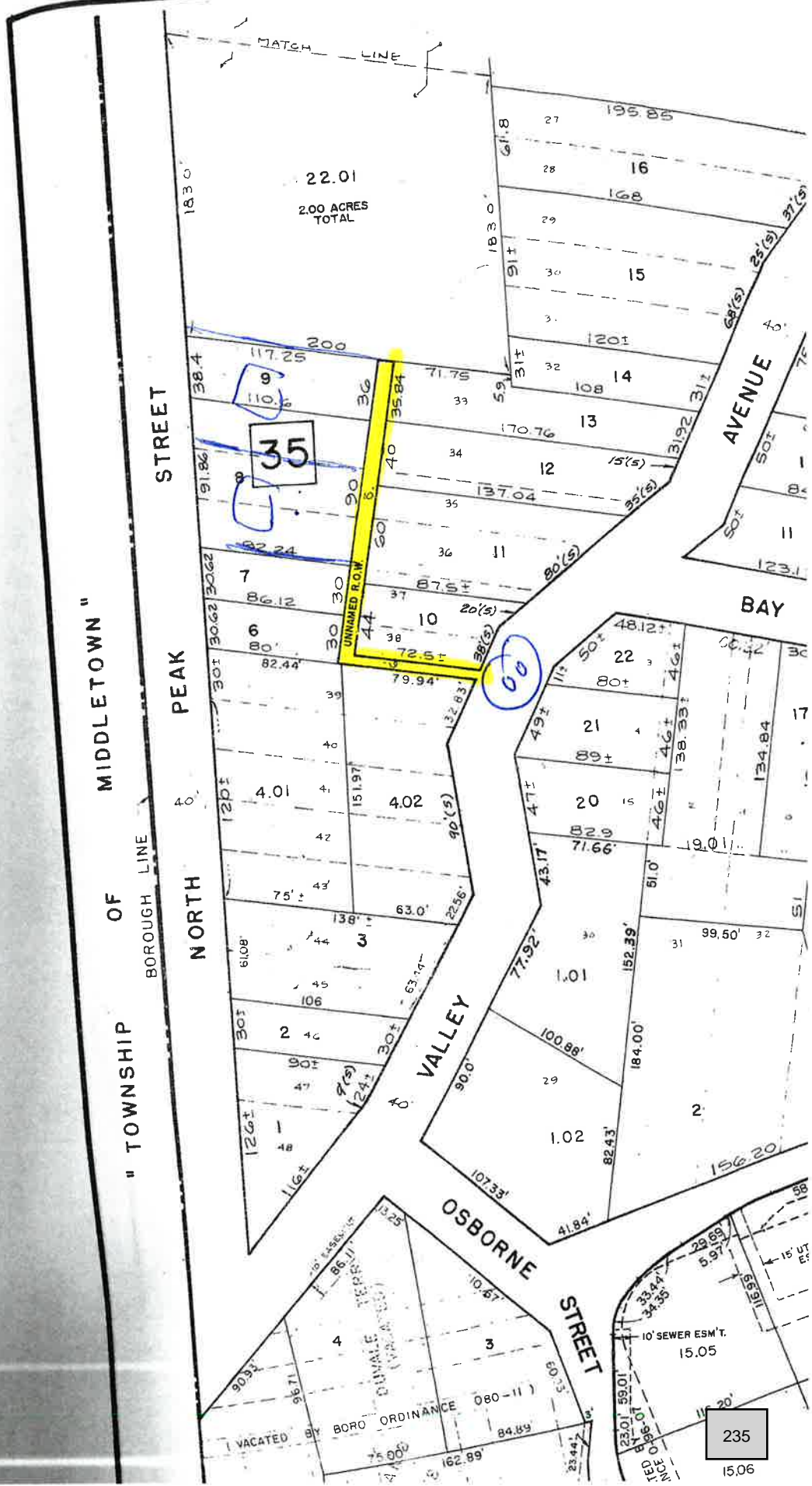
Section H: TO BE COMPLETED BY BOROUGH CLERK UPON COMPLETION

Bond released: Yes No

Signature Date

Sewer connection
\$ 5,142

Street excavation
\$190 fee
\$500 deposit





CERTIFICATE OF LIABILITY INSURANCE

Item 3.

DATE (MM/DD/YYYY)
10/1/2021

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PRODUCER Holmes & McDowell PO Box 348 Holmdel NJ 07733	CONTACT NAME: Anthony DiMeglio (Partner) PHONE (A/C, No, Ext): (732) 946-4800 E-MAIL ADDRESS: A.Dimeglio@holmesmcdowell.com	FAX (A/C, No): (732) 946-4940
	INSURER(S) AFFORDING COVERAGE	
INSURED Home & Land Development Corp. 16a Bellevue Ave Rumson NJ 07760	INSURER A: Kinsale Insurance Company	
	INSURER B: AmGUARD Insurance Company	
	INSURER C:	
	INSURER D:	
	INSURER E:	
	INSURER F:	

COVERAGES **CERTIFICATE NUMBER: 2021-2022** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			0100041455-5	8/09/2021	8/09/2022	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ N/A PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below			R2WC242420	1/11/2021	1/11/2022	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER Borough of Highlands 14 & 32 N. Peak Street Highlands, NJ 07732	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE Anthony DiMeglio (Partner)
--------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

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HOME & LAND DEVELOPMENT CORP

88-1 PORTLAND RD
HIGHLANDS, NJ 07732

21
Item 3.

55-138/212

Date 9/28/14

Pay to the order of

Borough of Highlands
One Third ct

\$ 1,000

Dollars Security Features Included. Details on Back.

VALLEY BANK
WWW.VALLEY.COM

For ESKews HSLMS
Son

⑈ 210103⑈ ⑆ 021201383⑆ ⑆ 080041300130⑈

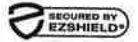
©CHECKS UNLIMITED™ • BLUE SAFETY



HOME & LAND DEVELOPMENT CORP

88-1 PORTLAND RD
HIGHLANDS, NJ 07732

210104



55-138/212

Date 9/30/14

Pay to the order of

Borough of Highlands
Three Level Every Del h

\$ 380.00

Dollars Security Features Included. Details on Back.

VALLEY BANK
WWW.VALLEY.COM

For Stout Example HSLMS

⑈ 210104⑈ ⑆ 021201383⑆ ⑆ 000041300130⑈

©CHECKS UNLIMITED™ • BLUE SAFETY



GROTTO ENGINEERING ASSOCIATES, LLC

77 Brant Avenue • Suite 105
Clark, NJ 07066
(908) 272-8901

Richard O'Connor, P.E., P.P., C.M.E.
Frank W. Farrell, P.E., C.M.E.

April 26, 2024

Nancy Tran
Land Use Board Secretary
Borough of Highlands Land Use Board
151 Navesink Ave.
Highlands, New Jersey 07732

Subject: Completeness Review No. 3
Home & Land Development Corp.
14 & 32 North Peak Street
Block 35, Lots 8 & 9
Borough of Highlands, Monmouth County, New Jersey
Our File No.: PR-0290

To whom it may concern:

This letter-report has been prepared to address comments issued in the following reports:

1. HLPB2022-10 - COMPLETENESS REVIEW #3 – (February 20, 2024) – Carmela Roberts, P.E., C.M.E., C.P.W.M., Land Use Board Engineer

The comments included in the aforementioned report are repeated below followed by our response in **bold** typeface. Items identified as “Provided” or “Not applicable” in the report have been omitted for brevity.

➤ **COMPLETENESS REVIEW #3 – (February 20, 2024)**

II. CHECKLIST ITEMS:

2. All existing structures, wooded areas, and topographical features, such as slump blocks, within the portion to be subdivided and within seventy-five (75) feet thereof.

Partially provided. Existing wooded areas shall be indicated on the plan.

The Applicant has indicated the limit of wooded areas have been field verified and labeled on the plan. Noted in Applicant’s response letter.

The existing dwellings and retaining walls within 75 feet of the subject properties are not shown on the plans. Please provide.

This office has reviewed aerial imagery and other data in an attempt to provide the “existing dwellings and retaining walls within 75’ of the subject project.

8. The existence and location of any utility or other easement.

Not provided. Dwellings which have recently been demolished existed on site. The applicant shall confirm the existence and location of any utilities or other easements.

The 10 ft wide right-of-way adjacent to the southeasterly property line of both lots is not dimensioned or labeled on the Minor Subdivision.

The Applicant has updated the plans to indicate utility poles (for electric) on the northerly side of North Peak Street, gas and water line on North Peak Street and an additional water meter on Lot 9.

The existing water and gas lines extending into the lots including any meters and cleanouts must be shown on the Minor Subdivision and potential grading plan.

Confirm that there are no utility easements on the existing lots. A portion of the existing pavement and utilities are not within the North Peak Street 40 ft. wide R.O.W.

The 10 ft wide right-of-way has been dimensioned and labeled.

Proposed water and gas connections have been added to the utility plan.

Existing water and gas lines have been shown on the plans and shall be field verified by the contractor prior to construction.

There are currently no utility easements on the existing lots. Proposed pavement and utilities are located within the North Peak Street 40 ft. wide R.O.W.

11. Certification from the Tax Collector that all taxes and assessments for local improvements on the property have been paid up to date.

Not provided. The Applicant's transmittal letter has indicated this item was provided, however was not included as part of the submission to this office. We have no objection to the Board deeming this item complete, provided the Borough confirms receipt of the certification.

Acceptable

Comment noted.

14. Zone district boundary lines, if any, on or adjoining the property to be subdivided and a schedule indicating the required minimum lot area, lot width, lot depth and front, rear and side yards of each zone district located on the property.

Provided.

Incomplete. The latest submission does not provide existing bulk requirements and proposed lot coverage. Refer to plan sheet 3 of 3.

This office has calculated and shown various bulk requirements and proposed conditions, including lot coverage. Refer to plan sheet 1 of 8.

15. A wetlands statement provided by a qualified expert.

Not provided. We have no objection to the Board deeming this item complete pending confirmation from applicant prior to hearing.

Provide a statement by a licensed engineer or other authority indicating that wetlands are or are not present on the property.

This office has reviewed available state mapping, which does not depict wetlands being present on this site.

16. The Board reserves the right to require a feasible sketch plan layout of remaining land not being subdivided if it is deemed necessary.

The applicant has provided a generic house layout that demonstrates the sizes of proposed homes and the need for any additional setback relief.

Not acceptable. The proposed lots have many engineering issues that must be addressed by a licensed civil engineer. A licensed engineer is required to certify that the developed sites are designed and will be constructed under the appropriate standard of engineering practices and the safety of the homeowner and adjoining properties.

This office has prepared and provided plot plans for the development of the proposed lots. Changes have been made to the plan to bring the site design into conformance with applicable engineering practices and standards of care.

IV. GENERAL COMMENTS

- a. The plans show adjustments to the existing gutter and roadway within North Peak Street, including installation of a retaining wall and storm drainage improvements within the existing cartway area. It is unclear how the proposed lots will provide the required parking and access to the dwellings from the street. The layout as proposed may require variance relief and approval from the Governing Body.

Partially Provided by Applicant.

The Applicant states, "Each dwelling will have one car garage and 10' wide driveway providing required parking and access to North Peak Steet."

Off-street parking is determined by the number of bedrooms, which is unknown.

The proposed driveways will provide adequate access to each site. Each lot shall have two parking spaces; one at the bottom of the driveway, and the other in the garage.

- b. It appears that the applicant has previously demolished structures on both lots and performed clearing and some grading. The limit of disturbance already performed should be shown on the plans.

Partially Provided by Applicant. Refer to comment c.

An existing one-and-a-half story dwelling, deck, shed, retaining walls, various patios, walkways, and other concrete surfaces were demolished. The limit of disturbance was no greater than is being proposed and shown on the Soil Erosion and Sediment Control Plan (sheet 7 of 8).

- c. The limit of grading/disturbance for the proposed improvements appears to comprise the entire property limits, including some off-tract elements.

Partially Provided by Applicant.

The plan indicates a wood line to the north and east of the property. The extent of disturbance is unknown without knowing the wood line before clearing.

Please indicate the previous wood line or provide a note on the plans.

Testimony should be provided to address any concerns with adjoining property owners pertaining to off-tract disturbance.

The current purpose of Sheet 2 is unclear and is not as complete as the previous submission.

A proposed limit of disturbance has been added to the plan. The limit of disturbance was no greater than is being proposed.

Proposed disturbance to adjoining property owners has been eliminated. Disturbance shall only occur on Lots 8 & 9 and within the Borough's right-of-way.

- d. The applicant also notes the installation of a retaining wall within the unnamed 10' right of way to the south of the tracts, with no limit of disturbance or grading shown. The applicant shall provide evidence regarding title to this right of way, and under what authority they propose to install said improvements.

The Applicant has noted in their response letter that it will be addressed during testimony.

Acceptable.

Comment noted. Testimony to be provided.

- e. It is my understanding that the prior dwelling on lot 9 utilized a septic system. The location and disposition of this should be shown on the plans.

Partially provided by Applicant.

Sheet 2 indicates the septic tank and one cleanout on existing Lot 9. The disposal bed and service lateral, as part of the system, is requested to be shown. Please provide documentation from the Health Department that the system has been or will be properly removed.

This office defers to the Applicant regarding the necessary documentation.

- f. It is presumed that the proposed dwellings will have to connect into the Borough's sanitary sewer system located in Valley Avenue. The applicant shall review and identify their proposed method of connection, which may involve use of the 10' right of way previously mentioned.

The Applicant proposes to provide 4-inch lateral connections to the rear of the dwellings to the 10 ft right-of-way. A 6-inch sanitary sewer line will be constructed within the 10 ft wide right of way and connect to an existing sewer manhole located on Valley Avenue. A profile of the lateral connection from the proposed dwelling to the manhole connection on Valley Avenue is required to demonstrate acceptable coverage, depths, and slopes. As noted in Comment D, the applicant shall provide evidence regarding title to the 40 ft. wide right of way, and under what authority they propose to install said improvements.

A profile of the lateral connection from the proposed dwelling to the manhole connection on Valley Avenue has been provided on sheet 4 of 8. Monmouth county 2' contours were used for areas not within the surveyed information.

- g. In addition to the above, the applicant shall identify means of utility connections for water and electric at a minimum and identify their locations on the plans.

Provided by Applicant.

Water, gas, and electric service connections are shown within North Peak Street on the plan.

A utility easement may be required for the existing gas service on Proposed Lot 8, which extends to Proposed Lot 9.

Comment noted.

- h. The applicant shall document compliance with the Steep Slope Ordinance found at 21-84.B and provide calculations as required therein. In addition, means and methods for controlling velocity and rate of stormwater runoff shall be documented.

Continuing Comment – The applicant is requesting variance relief from the Steep Slope Ordinance. The property contains slopes greater than 20%. Considering this factor and the extent of improvements proposed, I recommend the applicant demonstrate compliance with all requirements of 21-84B prior to being deemed complete.

Not provided by Applicant.

This review agrees with the continuing comment.

Applicant continues to request variance relief or a waiver from the Steep Slope Ordinance.

Applicant states, in their response letter, "The grading shown on the plan was obtained from a plan prepared by Eastern Civil Engineering. The Applicant is requesting a waiver from compliance to the steep slope ordinance since the proposed grading eliminates all slopes greater than 15%."

Applicant also states, in their response letter, "Stormtech Chambers will be installed in the rear yards of each property. The chamber will temporarily store roof runoff during a storm event to control the stormwater runoff. The bottom of the chambers are open and are installed on clean stone which allow the stored water to percolate into the ground. Roof leaders will be hard piped directly to the chambers. Details, size, and specification will be provided by the applicant."

The Applicant is requested to provide a slope area calculation table noting existing and proposed areas of slopes per criteria. The analysis for the Slope Ordinance not only pertains to the subject property but also 100 ft from the boundary of the property. There are slopes greater than 15% as shown on Sheet 2 and the proposed front yard grading on Sheet 3.

This office has prepared a slope analysis plan, see sheet 5 of 8. Additionally, Stormtech (SC-740) Chamber Systems will be installed in the rear yards of each property. The chambers will temporarily store roof runoff during a storm event to control the stormwater runoff. The bottom of the chambers are open and are installed on clean stone which allows the stored water to percolate into the ground. Roof leaders will be hard piped directly to the chambers. Details, size, and specification may be provided upon request.

- i. The proposed grading will need to be revised. The proposed contours slope down towards the dwelling, garage, and rear yards. Runoff needs to be redirected away from the dwelling and garage. No runoff is permitted on adjoining properties.

The proposed retaining wall may impede runoff. Provide information on how the runoff will be addressed in the rear yards and without any impact on the adjoining lots.

The grading plan has been revised. Proposed contours demonstrate that the ground surface will slope down from the street and into a swale at the front and between both yards. Driveway runoff is directed towards the same swale. The proposed retaining walls should not impede runoff. No significant increase in runoff is anticipated, and no negative impacts to downstream facilities or property are expected.

- j. The proposed retaining wall is very close to the existing retaining walls for Lot 7. The proposed height of the retaining wall in the south corner of Lot 8 is 7.7 ft higher than that of the existing retaining wall on Lot 7.

There are also significant retaining wall heights up to 13.5 ft.

More information is required to determine the impact the new retaining walls will have on the existing dwellings and walls.

Final retaining walls will be coordinated and designed per applicable standards.

- k. Please explain the purpose of the proposed retaining wall located in the existing 10 ft. wide right-of- way.

The proposed retaining wall facilitates the installation of the 6" sanitary sewer. By leveling the grade along that portion of the 10' R.O.W., adequate pipe cover is maintained. This will also result in less disturbance to existing grade and safer conditions during the installation process.

- l. It is recommended that a performance bond be required for improvements within North Peak Street and the sanitary sewer extension along the 10 ft wide right-of-way.

This office defers to the Applicant or Applicant's attorney regarding the posting of bonds.

END OF REVIEW COMMENTS & RECOMMENDATIONS

If I can be of assistance during the review of the plans or this report, please do not hesitate to contact me.

Very truly yours,

GROTTO ENGINEERING ASSOCIATES, L.L.C.



Frank W. Farrell, P.E., C.M.E.
Principal

STEEP SLOPE AND SLUMP BLOCK PERMIT APPLICATION REPORT

FOR

**HOME & LAND DEVELOPMENT CORP.
14 & 32 North Peak Street**

**BLOCK 35, LOTS 8 & 9
BOROUGH OF HIGHLANDS
MONMOUTH COUNTY, NEW JERSEY**

April 26, 2024



GROTTO ENGINEERING ASSOCIATES, L.L.C.
77 Brant Avenue – Suite 105
Clark, New Jersey 07066
Phone (908) 272 – 8901 Fax (908) 272 – 8902

A handwritten signature in black ink, appearing to read 'Frank W. Farrell', is written over a horizontal line.

Frank W. Farrell, P.E., C.M.E.
New Jersey Professional Engineer, License No. GE51556

INTRODUCTION

This report has been prepared pursuant to the Borough Of Highlands, Monmouth County, New Jersey, Ordinance Section 21-84B – Steep Slopes and Slump Blocks (Ordinance), for the development of properties identified as 14 and 32 North Peak Street, Lots 8 & 9, of Block 35. The Ordinance is included herein below followed by a corresponding compliance statement or calculation in **bold typeface**.

APPLICATION

§ 21-84B. STEEP SLOPES AND SLUMP BLOCKS. [Ord. #O-09-23 § 6; amended 6-15-2022 by Ord. No. O-22-09]

- A. **Areas Covered.** The areas of Highlands covered by this section (referred to hereafter as "slope area") are any properties south of Shore Drive and the Highlands-Sea Bright Bridge, including Blocks 1 through 29, inclusive, Blocks 34 through 38, inclusive, Blocks 40, 60, and 61, and Blocks 103 through 120, inclusive, as described by the Tax Assessment Map of the Borough of Highlands.

Site is within Block 35; this ordinance shall apply.

- B. **Permit requirement exceptions.** A slope area permit is required for any work or disturbance affecting a slope area, except when the area of the proposed work or disturbance:

Does not apply. Application for a slope area permit is required.

- C. **Application for permit.** An application for a slope area permit shall be made to the Highlands Construction Official. The application shall include at least:
1. Property description by Tax Map block and lot, and by street address if available.

Tax Map sheet 10, Block 35, Lots 8 & 9, 32 & 14 North Peak Street.

2. Scalable drawing of location of proposed work or disturbance along with existing and proposed topography. This drawing shall also include a delineation of the proposed limit of disturbance with area calculation.

Provided in plan set, sheet 6.

3. Areas clearly identified showing the following, as measured between ten-foot contour lines: Area 1, 30% or greater; Area 2, 20% but less than 30%; Area 3, 15% but less than 20%; Area 4, less than 15%.

Provided on sheet 4, slope analysis. Ten-foot contour lines have been used, starting from elevation 122' and ending at elevation 162'.

- 4. Calculation, in square footage and acres, of amount of area in the various slope categories listed above. All applications shall contain calculations demonstrating compliance with Subsections E1 through E4 of this section.

	1	2	3
	Slopes	Existing Areas (sf)	
		Lot 8	Lot 9
A	30% or greater	2,651	52
B	20% but less than 30%	3,371	2,222
C	15% but less than 20%	1,535	3,197
D	Less than 15%	219	178

Areas of various slope categories have been acquired using the surface analysis tools provided in Autodesk Civil 3D 2024.

- 5. Statement of proposed work or disturbance.

The applicant wishes to construct two single-family dwellings on two adjacent lots.

- 6. Any other additional information as is reasonably necessary to make an informed decision, including, but not limited to, the items listed below and in Subsection F:

All information as is reasonably necessary to make an informed decision is included herein and shown on the accompanying drawings.

- 7. Where site plan or subdivision approval is required, the following exhibits shall also be submitted:
 - a. Topographic map showing existing contours at two-foot intervals.

Topographic mapping is provided and includes existing and proposed contours at one-foot intervals.

- b. Extent and erosion potential of exposed soils.
- c. Length, steepness and surface roughness of exposed slopes.
- d. Resistance of soil to compaction and stability of soil aggregates.
- e. High water table, water infiltration capacity and capacity of soil profile.
- f. Chemical, physical and biological nature of subsurface soils.

The USDA Web Soil Survey Soil Map and Map Unit Description showing the site and the soil type (PhbE—Phalanx loamy sand, 10 to 25 percent slopes) are included in this report to satisfy items 7b thru 7f.

- g. Type and location of construction activity, including the amount of site grading, and depth of such grading.

See submitted Soil Erosion and Sediment Control Plans

- h. The time period of exposure of erodible soils during construction.

See submitted Soil Erosion and Sediment Control Plans

- i. The area and density of woodlands and forest, within the construction site and on contiguous lands for a distance of 200 feet, or such other distance as deemed appropriate by the Borough Engineer. All significant tree specimens four inches or greater in diameter, measured at four feet above the ground; all dogwood, American holly, and mountain laurel; and all other vegetation on slopes 15% or greater shall be indicated on the application plans as well as physically marked on the construction site.

Approximate tree line has been shown on plans per survey/subdivision by others.

- j. The extent of impervious surface to be constructed.

Lot 8: 3,036 sf (39.0%) proposed

Lot 9: 1,936 sf (34.2%) proposed

- k. Location of construction access roads.

Not applicable, proposed driveways shall serve as construction access. No additional roads are required, see Soil Erosion and Sediment Control Plan.

- l. Calculation of amount of site grading, to include a cut-and-fill balance sheet, including cross sections, and indicating, where applicable, the volume of and source of off-site fill.

Cut-and-fill cross sections and calculations are provided on sheet 6 of the accompanying plans. Source of fill is to be determined.

- m. Extent of on-site erosion sediment control measures, during and after construction and until any affected area is stabilized.

See Soil Erosion and Sediment Control Plan.

- n. Any other information as is reasonably necessary to make an informed decision.

The information supplied herein is considered to be sufficient.

D. Application review and standards of approval.

1. The Borough Engineer shall review every slope area application to determine whether the proposed work or disturbance may have a detrimental impact upon any slope area. Such review shall include at least an on-site inspection.

Comment noted. This office defers to the applicant to provide permission to access the property for the purpose of performing an on-site inspection.

2. The Borough Engineer shall thereafter approve only those applications where the proposed work or disturbance will:
 - a. Have no detrimental impacts.

The proposed development plans include soil erosion and stormwater management provisions and will improve the area by reducing the extent of steeply sloped areas, mitigating stormwater runoff to neighboring properties. No adverse impacts to downstream properties or facilities is anticipated.

- b. Control velocity and rate of water runoff so that such velocity and rate are no greater after construction and development than before, and are within tolerances deemed safe by the Borough Engineer, and the project or site plan complies with all other provisions of the Borough Code and Article XXIV of the Land Use Volume of the Borough Code, Flood Damage Prevention.

In the existing condition, stormwater runoff is conveyed across the existing site and is not controlled. Grading and stormwater management measures such as Stormtech chambers are proposed to control capture the roof runoff from the proposed dwellings. The velocity and rate of stormwater runoff will be controlled such that they are no greater after construction than in the predevelopment condition.

- c. Minimize stream turbidity and changes in flow.

The existing site has no controls to minimize the effects of stormwater runoff or erosion. Grading and stormwater management measures such as Stormtech chambers are proposed to control capture the roof runoff from the proposed dwellings.

- d. Protect environmentally vulnerable areas.

No environmentally vulnerable areas have been identified on site. The proposed development will minimize impacts to neighboring and downstream areas thereby protecting any existing environmentally vulnerable areas, should they exist.

- e. Stabilize exposed soils both during and after construction and development.

See submitted Soil Erosion and Sediment Control Plans

- f. Prevent soil slippage.

See submitted Soil Erosion and Sediment Control Plans. The plans for the proposed retaining walls will be designed by others to the appropriate geotechnical standards for same.

- g. Minimize number and extent of cuts to prevent groundwater discharge areas to underlying soils.

The extent to which cuts are proposed is limited to those areas necessary to facilitate the construction of the proposed dwellings.

- h. Preserve the maximum number of trees and other vegetation on the site and avoid disturbance of the critical hillside, slope and forest areas.

There are no significant existing trees or vegetation on the site. No forest area is being disturbed.

- i. Control water infiltration at the top of the slope and thus decrease the tendency for shear failure and erosion.

No changes to the top of slope are proposed.

- j. Control the growth of vegetation, which is detrimental to slope stability and promote the establishment of plant species which add to the stabilization of the slope.

See submitted Soil Erosion and Sediment Control Plans

- k. Control construction techniques to mitigate damage to steep slopes at the time of greatest vulnerability.

The proposed development plans have been designed with appropriate soil erosion and sediment control measures in accordance with Ordinance provisions D2.c through k above.

- 3. The Borough Engineer may impose such conditions upon any approval as said Engineer deems necessary to achieve the purposes of this section. All permanent improvements necessary to achieve the purposes of this section shall require performance and maintenance bonds in forms and amounts to be reviewed and approved by the Borough Engineer and Borough Attorney. Said maintenance bond shall continue for two years after complete stabilization.

This office defers to the applicant as it pertains to the payment of fees and posting of bonds.

- 4. Any approval may be subject to the condition that, for safety reasons, the applicant provides and adheres to a detailed construction and inspection schedule, copies of which shall be supplied to the Borough Construction Official for the purpose of monitoring the progress of the work and compliance with the construction schedule. Said approval may be further conditioned upon submission of periodic certifications by the applicant as to compliance with the construction schedule, and, in the event of noncompliance, written assurance as to the nature and time when steps will be taken to achieve compliance with the construction schedule.

A construction schedule is included on the Soil Erosion and Sediment Control Plans.

5. If the applicant does not comply with the construction schedule or any other requirements or conditions attached to the approval of the application, and the Borough Engineer or the Borough Construction Official certifies such lack of compliance, the Borough Construction Official shall thereupon revoke approval of the application, after notice to the applicant, and no further work may be performed on such site, with the exception for temporary measures necessary to stabilize the soil and to protect the site from stormwater damage or other hazards created by construction activity on the site.

Condition noted; informational only.

- E. Lot size, development density, lot coverage and disturbance. To meet the purposes, goals and standards set forth in this section, in areas of slopes greater than 15%, the applicable provisions of this chapter relating to minimum lot sizes and density of development, and maximum percentage of lot coverage, shall be modified, and limitations including maximum impervious surfaces and maximum lot disturbance shall be added as follows:
 - 1. Minimum lot size; density.

Does not apply, zone requirements do not include or impose a restriction on density.

- 2. Determination of maximum lot coverage [1].
 - a. The maximum lot coverage area shall be determined by multiplying the total land area in various slope categories by the following factors, totaling the results and multiplying the result by the maximum lot coverage percentage allowed for the appropriate zone. Slope calculations shall be based on elevation intervals of 10 feet.

Slopes	Factor
30% or greater	0.25
20% but less than 30%	0.50
15% but less than 20%	0.75
Less than 15%	1.00

	1	2	3	4	5	6
	Slopes	Existing Areas (sf)		Factor	Maximum Lot Coverage (sf)	
		Lot 8	Lot 9		Lot 8	Lot 9
A	30% or greater	2,651	52	0.25	663	13
B	20% but less than 30%	3,371	2,222	0.50	1,686	1,111
C	15% but less than 20%	1,535	3,197	0.75	1,151	2,398
D	Less than 15%	219	178	1.00	219	178
E	TOTAL				3,719^[1]	3,700^[1]

The areas for the various slope categories were found using surface analysis tools provided in Autodesk Civil 3D, using 10' contour intervals from elevation 112' to 162'.

The existing land areas per lot for the various slope categories (columns 2 and 3) were multiplied by the factors provided (column 4) to determine the maximum lot coverages (columns 5 and 6).

The maximum lot coverage allowed for the appropriate zone (R-1.01) as found on Schedule I – Bulk and Area Requirements is 70%.

The total areas for Lot 8 and Lot 9 are 7,775 sf and 5,649 sf, respectively.

Therefore, the maximum lot coverage percentages allowed for Lots 8 and 9 are calculated as follows:

Maximum Lot Coverage for Lot 8:

$$\begin{aligned}
 3,719 \text{ sf} \times 70\% &= 2,603 \text{ sf} \\
 2,603 \text{ sf} / 7,775 \text{ sf} &= 33.4\% \text{ Maximum Lot Coverage} \\
 \text{Proposed:} & 39.0\%; \text{ Variance Required.}
 \end{aligned}$$

Maximum Lot Coverage for Lot 9:

$$\begin{aligned}
 3,700 \text{ sf} \times 70\% &= 2,590 \text{ sf} \\
 2,590 / 5,649 \text{ sf} &= 45.8\% \text{ Maximum Lot Coverage} \\
 \text{Proposed:} & 34.2\%; \text{ complies.}
 \end{aligned}$$

- b. Where the modified maximum lot coverage area is less than the minimum gross floor area required for the proposed building, the minimum gross floor area required shall be the modified maximum lot coverage area.

Does not apply. No minimum gross floor area is required per “Schedule I – Bulk and Area Requirements” or found in Borough Ordinance §21-85 “R-1.01 District...”

- 3. The maximum impervious surface area permitted in slope areas shall be determined by multiplying the total land area in various slope categories by the following percentages and totaling the results:

Slopes	Percentage
30% or greater	10%
20% but less than 30%	15%
15% but less than 20%	25%
Less than 15%	35%

	1	2	3	4	5	6
	Slopes	Existing Areas (sf)		Percentage	Max. Impervious Surface (sf)	
		Lot 8	Lot 9		Lot 8	Lot 9
A	30% or greater	2,651	52	10%	265	5
B	20% but less than 30%	3,371	2,222	15%	506	333
C	15% but less than 20%	1,535	3,197	25%	384	799
D	Less than 15%	219	178	35%	77	62
E	TOTAL				1,232	1,199

The existing land areas per lot for the various slope categories (columns 2 and 3) were multiplied by the percentages provided (column 4) to determine the maximum impervious surface area permitted in the various slope categories for each lot (columns 5 and 6).

Totaling the result provides 1,232 sf for Lot 8 and 1,199 sf for Lot 9.

The total areas for Lot 8 and Lot 9 are 7,775 sf and 5,649 sf, respectively.

Maximum Impervious Surface Area for Lot 8:
 $1,232 \text{ sf} / 7,775 \text{ sf} =$ **Permitted: 15.8% (maximum)**
Proposed: 39.0%; variance required.

Maximum Impervious Surface Area for Lot 9:
 $1,199 \text{ sf} / 5,649 \text{ sf} =$ **Permitted: 21.2% (maximum)**
Proposed: 34.2%; variance required.

- 4. The maximum lot disturbance shall be no greater than 130% of the maximum impervious surface permitted for the lot.

Maximum Lot Disturbance for Lot 8:
 $7,775 \text{ sf} \times 70\% =$ **5,442 sf**
 $5,442 \text{ sf} \times 130\% =$ **Permitted: 7,075 sf (maximum)**
Proposed: 7,775 sf; variance required.

Maximum Lot Disturbance for Lot 9:
 $5,649 \text{ sf} \times 70\% =$ **3,954 sf**
 $3,954 \text{ sf} \times 130\% =$ **Permitted: 5,140 sf (maximum)**
Proposed: 5,649 sf; variance required.

- 5. No disturbance or improvements shall be permitted in the areas within 15 feet of the top of slope and no structures shall be located within 25 feet of the top of slope; nor shall there be any disturbance within 10 feet of the toe of the slope or any structures located within 15 feet of the toes of the slope.

There is no clear top or bottom of slope boundary on the site or proximate thereto. Therefore this subsection is not applicable.

- 6. Setbacks of all structures necessary for slope area stabilization shall be sufficient to allow for any future maintenance that may be necessary.

Retaining walls shall comply with § 21-65.9.B: Wherever a change in final grade results in slopes in excess of 3:1... or wherever it is determined that slopes will not be stable or that erosion will occur, retaining walls shall be used which shall be of a permanent, maintenance-free design.

As the walls shall be designed to be maintenance-free, future maintenance of same shall not be necessary. However, a 10 foot unnamed easement exists along the rear lot line, allowing access up from Valley Avenue. The slopes will also be reduced in the unnamed easement as a result of this project to increase the accessibility/usability of same.

7. All land required to be maintained as permanent open space shall be indicated as such on any approved plans.

Does not apply.

- F. Environmental appraisal and applicability.
 1. When site plan or subdivision is required, an environmental impact report or request for waiver shall be prepared. The Borough Engineer shall review and approve the report in accordance with specifications and procedures required by this section.

A waiver is requested for the Environmental Impact Report.

2. No application for slope area permit shall be approved unless it has been affirmatively determined, after an environmental appraisal, that the proposed project:
 - a. Will not result in a detrimental impact on the environment; and
 - b. Has been conceived and designed in such a manner that it will not significantly impair natural processes.

The proposed development plan has been designed such that the proposed construction shall not result in detrimental impact on the environment, nor will it significantly impair natural processes.

- G. Review and inspections fees. The applicant shall deposit an initial application filing fee of \$425 with the Chief Financial Officer. If additional escrow fees are required, the applicant shall deposit with the Chief Financial Officer an amount equal to the estimated review fee, as determined by the Borough Engineer. Inspections shall be required before, during stabilization and upon completion of the work or disturbance, during and for two years after complete stabilization, or for any other reasonable time, as determined by the Borough Engineer, to insure the purposes of this section are met. No permit will be issued until a deposit is placed with the Chief Financial Officer, equal to the estimated inspection fee, as determined by the Borough Engineer. If additional inspection fees are required, the applicant shall deposit with the Chief Financial Officer an amount equal to the new estimated inspection fee before any work can continue. The inspection fee deposit account shall remain for two years after complete stabilization. Any deposit accounts shall be maintained at levels sufficient at all times to cover all estimated fees or work may be halted. The Chief Financial Officer will keep the Borough Engineer aware of account balances as necessary.

This office defers to the applicant as it pertains to the payment of fees and posting of bonds.

- H. Municipal liability. The granting of any permit or approval in any slope area shall not constitute a representation, guarantee or warranty of any kind by the Borough, Borough Engineer, Borough Attorney, Construction Official, or by any other official, employee or representative thereof of the practicability or safety of any structure, use or other plan proposed, and shall create no liability upon, or a cause of action against, such public body, official or employee for any damage that may result pursuant thereto.

Condition noted; informational only.

- I. Penalties. In addition to penalties already provided in Section 1-5 of the Borough Code, the Court may order any person convicted of violating this section to pay the Borough all costs for and associated with necessary stabilization or corrective measures, as determined by the Borough Engineer.

Condition noted; informational only.

- J. Appeal. The Land Use Board shall have the power to hear and decide appeals where it is alleged by the applicant that there is error in any order, requirement, decision (including review and inspection fees under Subsection G) or refusal made by the Borough Engineer based on or made in the enforcement of this section. All such appeals under this section from the decisions of the Borough Engineer shall be taken within 20 days by filing a notice of appeal with the Borough Engineer specifying the grounds of such appeal. The Borough Engineer shall immediately transmit to the Land Use Board all papers constituting the record upon which the action appealed from was taken. All such appeals shall be heard by the Land Use Board upon notice given by the applicant as required by Section 21-11 of the Land Use Volume of the Borough Code. The Land Use Board may permit, or require, the record on appeal to be supplemented with such documents or other evidence or information as are reasonably necessary to make an informed decision as to whether the requirements of this section have been met.

Condition noted; informational only.

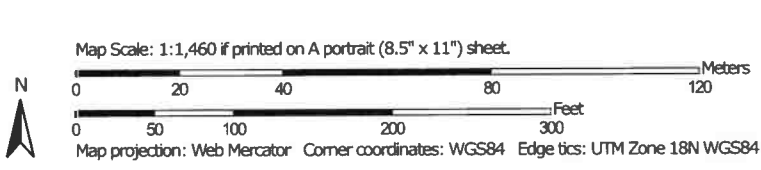
CONCLUSION

The proposed development has been designed to comply with the Borough's Ordinance Section 21-84B – Steep Slopes and Slump Blocks to the maximum extent practicable. Variances identified hereinabove are requested. It is our opinion that said variances can be granted without significant impact to public health, safety, and welfare; without detriment to the environment; and without adverse impacts to downstream properties or facilities.

Soil Map—Monmouth County, New Jersey



Soil Map may not be valid at this scale.



MAP LEGEND

- Area of Interest (AOI)
- Area of Interest (AOI)
- Soils**
- Soil Map Unit Polygons
- Soil Map Unit Lines
- Soil Map Unit Points
- Special Point Features**
- Blowout
- Borrow Pit
- Clay Spot
- Closed Depression
- Gravel Pit
- Gravelly Spot
- Landfill
- Lava Flow
- Marsh or swamp
- Mine or Quarry
- Miscellaneous Water
- Perennial Water
- Rock Outcrop
- Saline Spot
- Sandy Spot
- Severely Eroded Spot
- Sinkhole
- Slide or Slip
- Sodic Spot
- Spoil Area
- Stony Spot
- Very Stony Spot
- Wet Spot
- Other
- Special Line Features
- Water Features**
- Streams and Canals
- Transportation**
- Rails
- Interstate Highways
- US Routes
- Major Roads
- Local Roads
- Background**
- Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Monmouth County, New Jersey
 Survey Area Data: Version 17, Aug 29, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 9, 2022—Oct 16, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
PhbC	Phalanx loamy sand, 5 to 10 percent slopes	0.8	8.4%
PhbE	Phalanx loamy sand, 10 to 25 percent slopes	8.3	91.6%
Totals for Area of Interest		9.1	100.0%

Monmouth County, New Jersey

PhbE—Phalanx loamy sand, 10 to 25 percent slopes

Map Unit Setting

National map unit symbol: 4j8h
Elevation: 0 to 360 feet
Mean annual precipitation: 28 to 59 inches
Mean annual air temperature: 46 to 79 degrees F
Frost-free period: 161 to 231 days
Farmland classification: Not prime farmland

Map Unit Composition

Phalanx and similar soils: 85 percent
Minor components: 15 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Phalanx

Setting

Landform: Hillslopes
Landform position (two-dimensional): Backslope
Landform position (three-dimensional): Side slope
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Sandy and/or loamy fluviomarine deposits

Typical profile

A - 0 to 2 inches: loamy sand
E - 2 to 7 inches: loamy sand
BA - 7 to 17 inches: loamy sand
Bt - 17 to 21 inches: sandy loam
Bm - 21 to 29 inches: sandy loam
BC - 29 to 38 inches: sandy loam
C - 38 to 60 inches: very flaggy loamy sand

Properties and qualities

Slope: 10 to 25 percent
Depth to restrictive feature: 12 to 30 inches to petroferric
Drainage class: Well drained
Runoff class: Low
Capacity of the most limiting layer to transmit water (Ksat): High to very high (2.00 to 20.00 in/hr)
Depth to water table: About 48 to 118 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: Very low (about 1.4 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 7e

Hydrologic Soil Group: A
Ecological site: F149AY140NJ - Well Drained Petroferric Upland
Hydric soil rating: No

Minor Components

Evesboro

Percent of map unit: 5 percent
Landform: Low hills
Landform position (three-dimensional): Interfluve, side slope
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: F153DY170NJ - Sandy, Excessively Drained Upland
Hydric soil rating: No

Tinton

Percent of map unit: 5 percent
Landform: Hillslopes, ridges
Landform position (two-dimensional): Backslope, summit
Landform position (three-dimensional): Side slope, interfluve
Down-slope shape: Linear, convex
Across-slope shape: Linear
Ecological site: F153DY160NJ - Well Drained Coarse-Loamy Upland
Hydric soil rating: No

Sassafras

Percent of map unit: 5 percent
Landform: Hillslopes, knolls
Landform position (two-dimensional): Backslope, summit
Landform position (three-dimensional): Side slope, interfluve
Down-slope shape: Linear, convex
Across-slope shape: Linear
Ecological site: F149AY170MD - Well Drained Fine-Loamy Upland
Hydric soil rating: No

Data Source Information

Soil Survey Area: Monmouth County, New Jersey
Survey Area Data: Version 17, Aug 29, 2023

PLOT PLAN

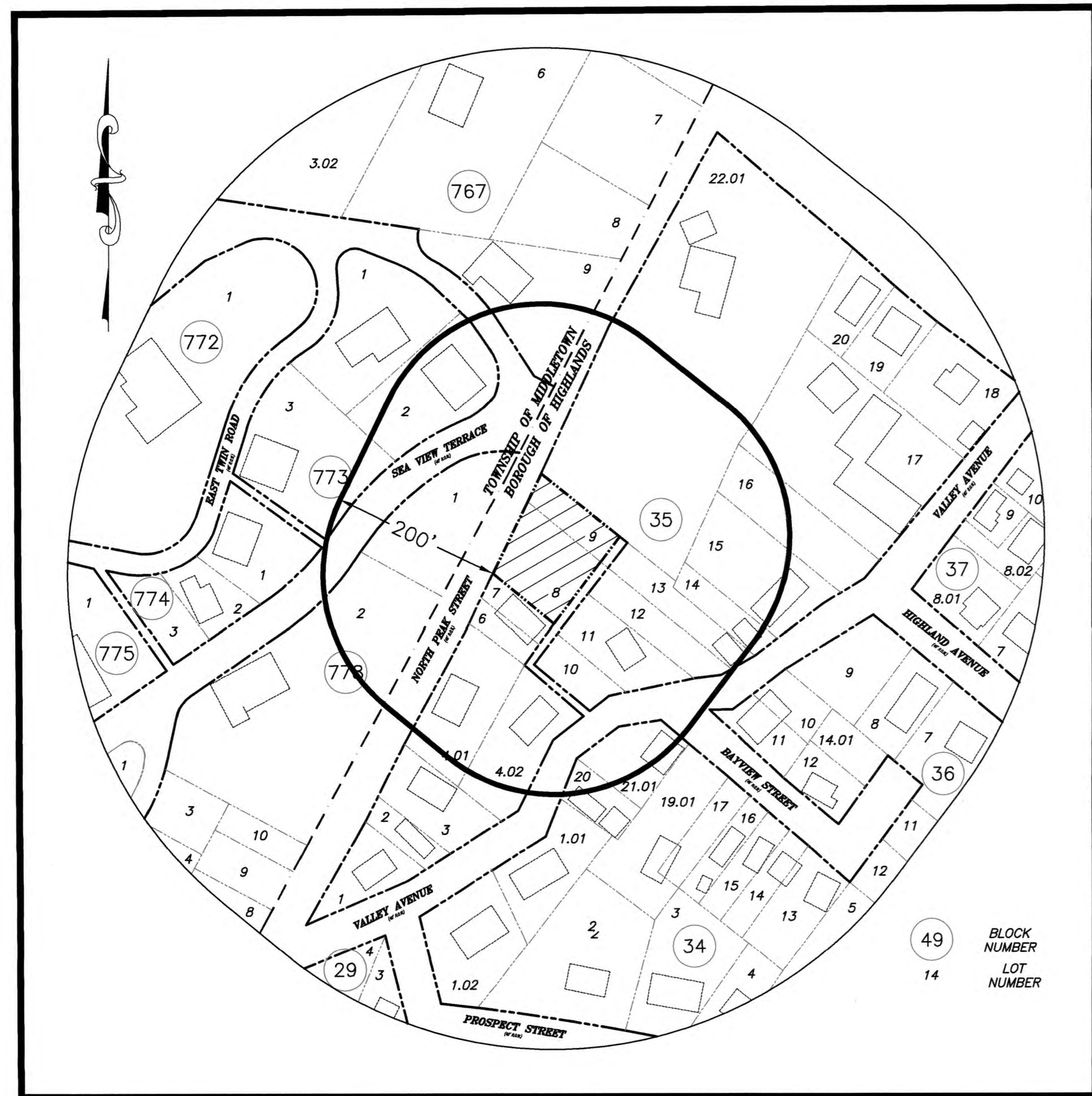
FOR

32 NORTH PEAK STREET

BLOCK 35, LOTS 8 & 9

SITUATED IN

BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY



KEY MAP
SCALE: 1"=100'

PROPERTY OWNERS WITHIN 200 LF

LIST OF OWNERS WITHIN 200 FEET			LIST OF OWNERS WITHIN 200 FEET (CONTINUED)		
BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER
758	1.01	MONMOUTH HILLS INC. ACCESS PROP MGMT 1090 KING GEORGES POST RD EDISON, NJ 08837	35	22.01	DEBOLD RICHARD & MISCHELE 221 NAVESINK AVENUE HIGHLANDS, NJ 07732
778	1	MONMOUTH HILLS INC. ACCESS PROP MGMT 1090 KING GEORGES POST RD EDISON, NJ 08837	35	4.02	MALONE PATRICK FRANCIS & PAULA ANN 110 VALLEY AVENUE HIGHLANDS, NJ 07732
35	6	ALVATOR DONNA 10 NORTH PEAK STREET HIGHLANDS, NJ 07732	35	15	AKER EDWARD W & EVELYN 92 VALLEY AVENUE HIGHLANDS, NJ 07732
35	10	DORIN JOSEPH & JOSEPH DORIN LM 102 VALLEY AVENUE HIGHLANDS, NJ 07732	767	9	FARROW LEONILDA A & CECIL W PO BOX 646 NAVESINK, NJ 07752
35	12	DORIN JOSEPH & JOSEPH DORIN LM 102 VALLEY AVENUE HIGHLANDS, NJ 07732	778	2	ONEIL MICHAEL & KATHY 34 SEAWAY TERR HIGHLANDS, NJ 07732
35	8	FELICIANO JERRY 202 N BROUGHTON SQUARE BOYNTON BEACH, FL 33436	774	1	MCALLEY COLLEEN FLINN 38 E TWIN RD HIGHLANDS, NJ 07732
35	14	NEWMAN SR. RONALD & NANCY 94 VALLEY AVENUE HIGHLANDS, NJ 07732	773	2	REINALER CRAIG 32 SEAWAY TERR HIGHLANDS, NJ 07732
34	20	109 VALLEY AVE LLC 13 JARED LANE LITTLE EGG HARBOR, NJ 08087	773	3	GLASS KEITH 37 E TWIN RD HIGHLANDS, NJ 07750
35	7	ALVATOR DONNA 10 NORTH PEAK STREET HIGHLANDS, NJ 07732	35	18	FENDOCK KERRY & VALENCIA ENRIQUE 78 VALLEY AVE HIGHLANDS, NJ 07732
34	1.01	LEMCEA JERRY & NADYA 111 VALLEY AVE HIGHLANDS, NJ 07732	35	17	VALLEY AVENUE MANAGEMENT LLC 82 VALLEY AVENUE HIGHLANDS, NJ 07732
34	21.01	WAGNER PETER 101 VALLEY AVENUE HIGHLANDS, NJ 07732	35	4.01	JOHNSON EDWARD W 2 NORTH PEAK STREET HIGHLANDS, NJ
35	11	DORIN JOSEPH & JOSEPH DORIN 102 VALLEY AVENUE HIGHLANDS, NJ 07732	773	1	PHAIR ARTHUR H & KUGELMANN 36 E TWIN ROAD HIGHLANDS, NJ 07732
35	9	HOME & LAND DEVELOPMENT CORP 88-1 PORTLAND ROAD HIGHLANDS, NJ 07732	767	6	
36	11	BRANNI GARY & PAMELA 97 VALLEY AVE HIGHLANDS, NJ 07732	61	10	
35	13	SERGHIS DEMETRIOS 96 VALLEY AVENUE HIGHLANDS, NJ 07732	61	12.01	

INDEX OF UTILITIES

- UTILITY AND GOVERNMENTAL AGENCY TO BE NOTIFIED
- JCP&L
300 MADISON AVENUE
PO BOX 1911
MORRISTOWN, NJ 07960
 - NEW JERSEY AMERICAN WATER COMPANY
ATTN: CONSTRUCTION DEPARTMENT
651 SHREWSBURY AVE
SHREWSBURY, NJ 07702
 - COMCAST COMMUNICATIONS OF MONMOUTH COUNTY
RON BERTRAND, CONSTRUCTION FOREMAN
403 SOUTH ST
EATONTOWN, NJ 07724
 - VERIZON COMMUNICATIONS
ONE VERIZON WAY
BASKING RIDGE, NJ 07920
 - TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY
RAYMOND J. NIERSTEDT, P.E., EXECUTIVE DIRECTOR
PO BOX 205, 100 BEVERLY WAY
BELFORD, NJ 07718
 - NJ NATURAL GAS COMPANY
PO BOX 1464, 1415 WYCKOFF ROAD
WALL, NJ 07719
 - MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY
ATTN: EXECUTIVE DIRECTOR
PO BOX 184, 200 HARBOR WAY
BELFORD, NJ 07718

SURVEY/SUBDIVISION REFERENCES:

- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED "MINOR SUBDIVISION OF LOTS 8 & 9 - BLOCK 35, 32 & 14 NORTH PEAK STREET, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY THOMAS P. SANTRY, P.A., SIGNED THOMAS P. SANTRY, JR., P.L.S., LICENSE NO. 24653540000, DATED 07-29-2022, REVISED THROUGH 11-30-2023.
- ADDITIONAL INFORMATION TAKEN FROM A SURVEY ENTITLED "SURVEY OF LOTS 8 & 9 - BLOCK 35, 32 & 14 NORTH PEAK STREET, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY THOMAS P. SANTRY, P.A., ENGINEERS AND SURVEYORS, DATED 07-08-2022.

SUBDIVISION NOTES:

- TOPOGRAPHY AND GRADING OBTAINED FROM A CERTAIN MAP ENTITLED "GRADING PLAN FOR HOME & LAND DEVELOPMENT CORP. BLOCK 35 LOT 9" SAID MAP WAS DRAWN BY EASTERN CIVIL ENGINEERING, LLC ON 2/10/22. PROJECT NO. 2101980
- SILT FENCE SHALL BE PLACED AROUND THE PERMETER OF THE LIMITS OF DISTURBANCE AND REMAIN UNTIL SOIL IS STABILIZED
- APPLICANT TO REPAIR ANY DAMAGED CURB OR PAVEMENT AS PART OF CONSTRUCTION
- ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988
- VARIANCE REQUESTED STEEP SLOPES ANALYSIS
- NO WETLANDS EXIST ON THIS PROPERTY (SUBDIVISION SHEET 1 OF 3)

SURVEY NOTES:

- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED "PRELIMINARY GRADING WORKSHEET FOR HOME & LAND DEVELOPMENT CORP. BLOCK 35 LOTS 8 AND 9, TAX MAP SHEET NO. 10, HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY EASTERN CIVIL ENGINEERING, LLC, SIGNED ANDREW R. STOCKTON, P.E., N.J.P.L.S., LICENSE NO. 35405, DATED 12-02-2021.
- ELEVATIONS ARE BASED ON NAVD83 DATUM.

INDEX OF SHEETS	
SHEET No.	TITLE
1	COVER SHEET
2	PLOT PLAN
3	UTILITY PLAN
4	SANITARY PLAN AND PROFILE
5	SLOPE ANALYSIS PLAN
6	CUT/FILL CROSS SECTIONS AND CALCULATIONS
7	SOIL EROSION AND SEDIMENT CONTROL PLAN
8	SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

ZONE REQUIREMENTS

R-1.01 ZONE	BULK ZONE REQUIREMENTS	EXISTING LOTS 8 & 9	PROPOSED LOT 8	PROPOSED LOT 9
SINGLE-FAMILY RESIDENTIAL				
MINIMUM LOT SIZE (SF)	5,000 S.F.	13,423 S.F.	7,775.37 S.F.	5,658.99 S.F.
MINIMUM LOT FRONTAGE/WIDTH (FT)	50 FT.	130.26/127.62	79.23 FT.	50.93 FT.
MINIMUM LOT DEPTH (FT)	100 FT.	105.26	108.08 FT.	118.28 FT.
MINIMUM FRONT SETBACK (FT)	35 FT.	60.6 FT.	35.3 FT.	*31.9 FT.
MINIMUM SIDE SETBACK (FT)	8/12 FT.	**4.7/92.2 FT.	8.3/12 FT.	8.2/12 FT.
MINIMUM REAR SETBACK (FT)	25 FT.	**8.6 FT.	25 FT.	25 FT.
MAXIMUM BUILDING HEIGHT (FT)	30 FT.	-	<30 FT.	<30 FT.
MAXIMUM LOT COVER (%)	70%	+41.9%	39.0%	34.2%
MAXIMUM BUILDING COVERAGE (%)	30%	+8.0%	26.1%	22.5%
*** MAXIMUM LOT COVERAGE (%)	33.4%, 45.8%	**+41.9%	*39.0%	34.2%
*** MAXIMUM IMPERVIOUS COVERAGE (%)	15.8%, 21.2%	**+41.9%	*39.0%	*34.2%

- * VARIANCE REQUIRED
- ** EXISTING NONCONFORMING CONDITION
- *** PER STEEP SLOPES ORDINANCE AND CALCULATIONS

COVER SHEET

32 NORTH PEAK STREET
BLOCK 35, LOTS 8 & 9

SITUATED IN
BOROUGH OF HIGHLANDS
MONMOUTH COUNTY, NEW JERSEY

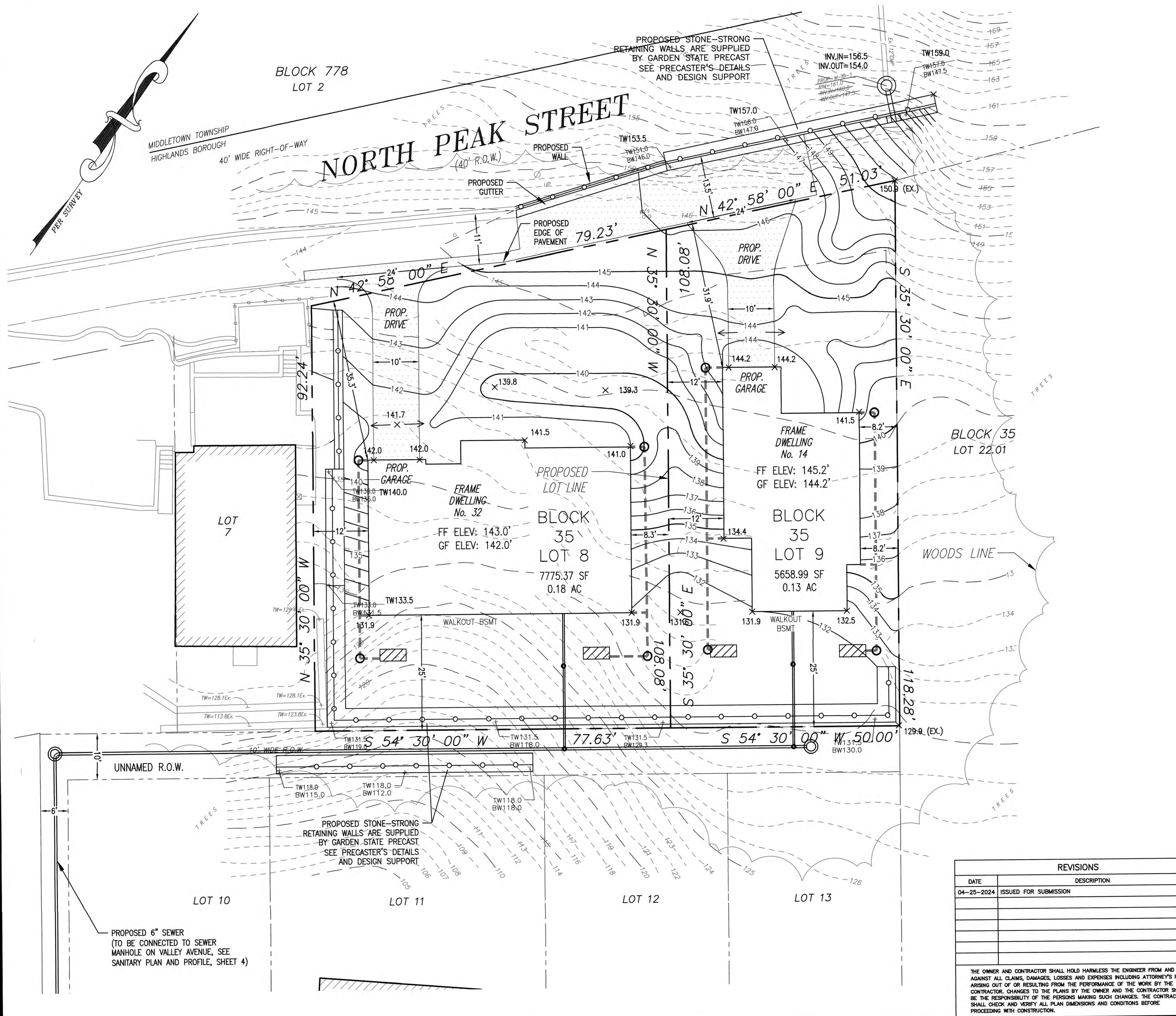
GROTTO ENGINEERING ASSOCIATES, LLC
ENGINEERS • PLANNERS • SURVEYORS
Certificate of Authorization No. 24GA27818300
77 BRANT AVENUE - SUITE 105
CLARK, NEW JERSEY 07066
908-272-8901 (F) 908-272-8902

FRANK W. FARRELL
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE51556

DATE: 04-05-2024 SCALE: AS SHOWN DRAWN: AJC CHECKED: FF SHEET: 1 OF 8 JOB: PR-0290

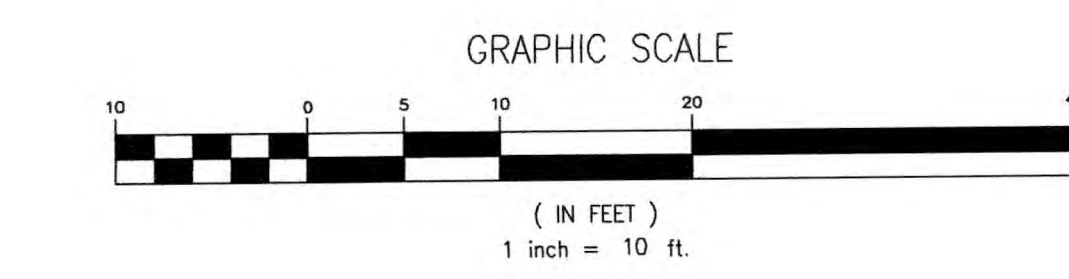
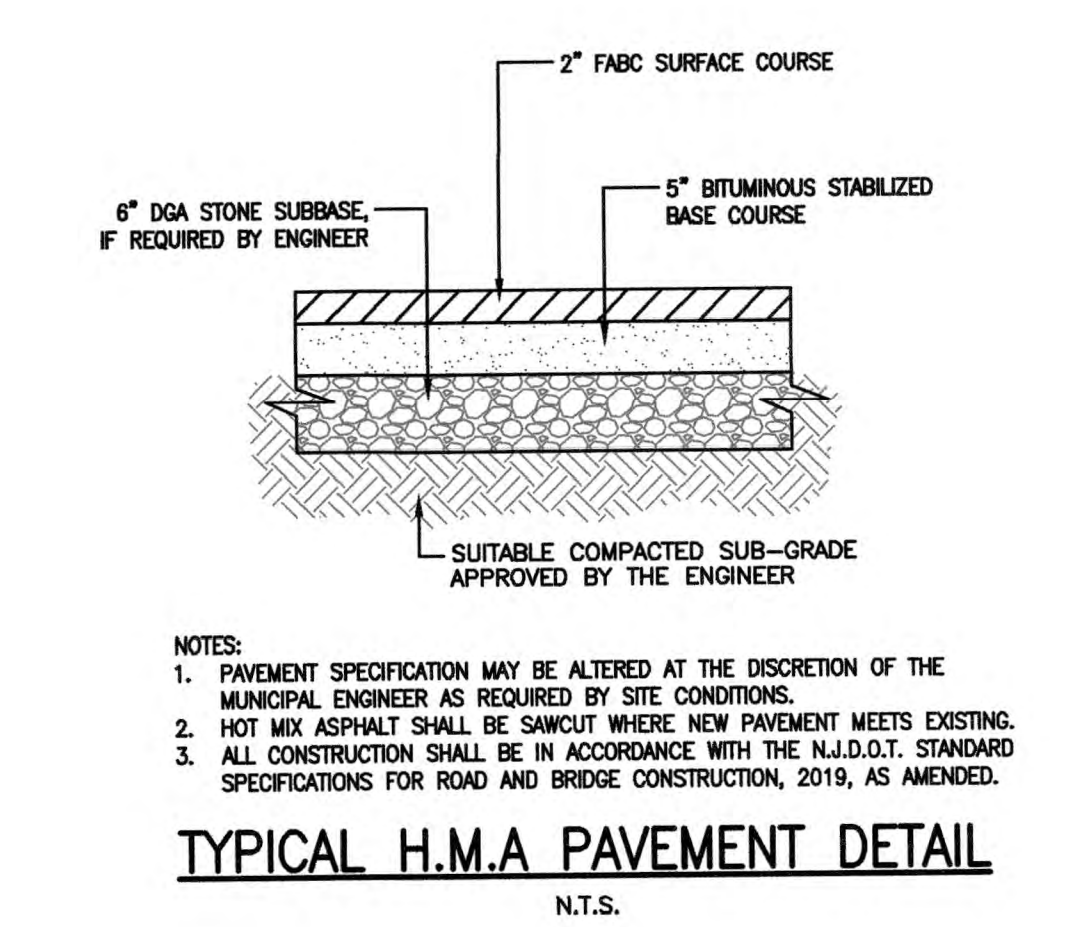
REVISIONS	
DATE	DESCRIPTION
04-25-2024	ISSUED FOR SUBMISSION

THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. CHANGES TO THE PLANS BY THE OWNER AND THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.



GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE REPRESENTED HEREON AND/OR IF IN THE OPINION OF THE CONTRACTOR SUCH CONDITIONS SHOULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
2. THE CONTRACTOR IS TO CONTACT THE "CALL BEFORE YOU DIG" TOLL FREE NUMBER AT 1-800-272-1000 THREE (3) BUSINESS DAYS BUT NO MORE THAN TEN (10) BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY DAMAGE CAUSED OR DISCOVERED DURING CONSTRUCTION TO THE APPROPRIATE UTILITY AGENCY.
3. ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
4. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 - A. CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - B. CURRENT PREVAILING UTILITY COMPANY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - C. STATE OF NEW JERSEY B.O.C.A. CODE AND BARRIER-FREE DESIGN REGULATIONS AS CURRENTLY AMENDED. BARRIER-FREE FACILITIES, INCLUDING PARKING SPACES AND RAMPS, SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT OF 1991.
 - D. DO NOT SCALE DRAWINGS ADJACENT AND SURROUNDING PHYSICAL CONDITIONS. BUILDINGS, STRUCTURES, ETC. ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
5. THIS IS A SITE PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON IS NOT A SURVEY.
6. THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL AND SHALL NOT BE UTILIZED AS A CONSTRUCTION DOCUMENT UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
7. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS MAY BE REQUIRED TO AVOID CONFLICTS.
8. DISTURBED AREAS TO BE RESTORED TO SATISFACTION OF THE CITY ENGINEER.
9. ALL CONSTRUCTION MATERIALS AND MISCELLANEOUS DEBRIS SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
10. BEFORE CONSTRUCTION, TEST PITS WILL BE DONE TO ASCERTAIN THE LEVEL OF THE EXISTING WATER TABLE. TEST RESULTS SHALL BE SUBMITTED TO THE CITY ENGINEER.
11. AT THE TIME OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE EXISTING GAS, WATER, AND SANITARY MAINS, AND PROVIDE THE CITY ENGINEER WITH THE LOCATIONS, SIZES AND PIPE MATERIAL FOR SAME.
12. ALL EXISTING SERVICES SHALL BE CAPPED AND ABANDONED IN ACCORDANCE WITH APPLICABLE STANDARDS. REUSE OF EXISTING CONNECTIONS WILL NOT BE ACCEPTED.



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PLOT PLAN

32 NORTH PEAK STREET
BLOCK 35, LOTS 8 & 9

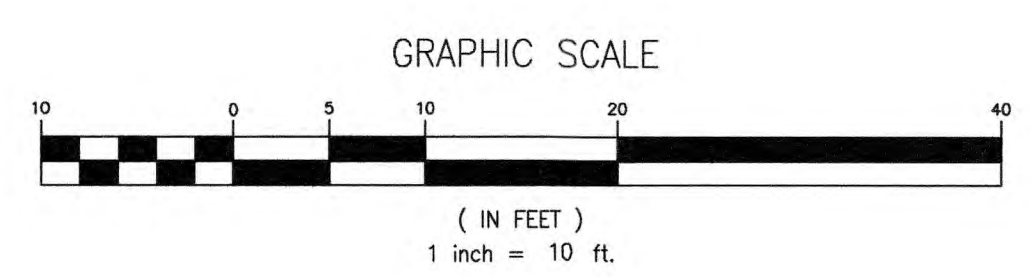
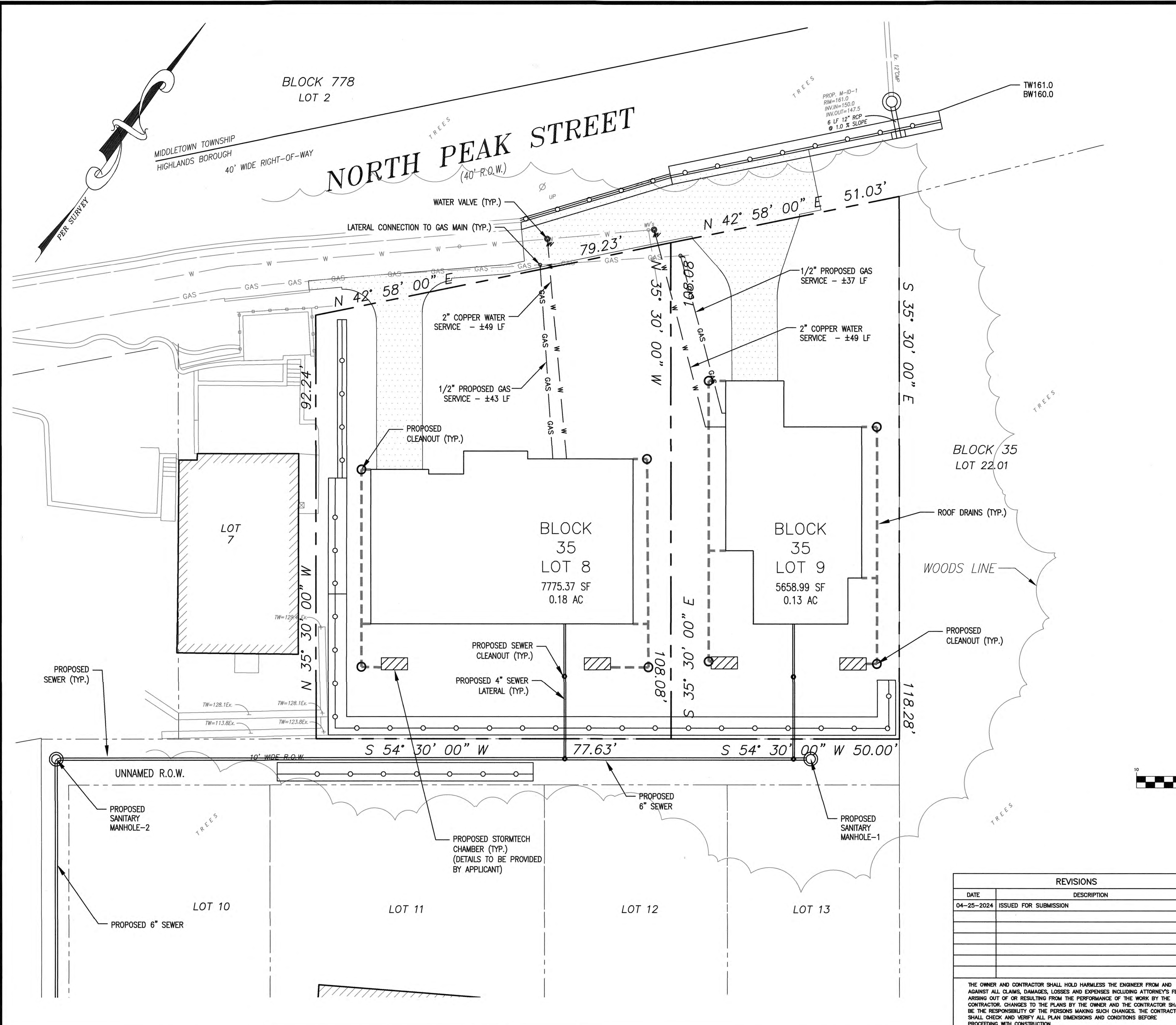
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FRANK W. FARRELL
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE51556

DATE: 04-05-2024 SCALE: 1"=10' DRAWN: AJC CHECKED: FF SHEET: 2 OF 8 JOB: PR-0290

C:\Users\jfarrell\OneDrive\Desktop\Projects\32 North Peak St., Highlands (Charles Farwell)\PLOT PLAN\PR-0290 - 32 North Peak St., Highlands (Charles Farwell)\PLOT PLAN\PR-0290 - 32 North Peak St., Highlands (Charles Farwell) - 4.13.24.dwg 4/25/2024



REVISIONS	
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UTILITY PLAN

**32 NORTH PEAK STREET
BLOCK 35, LOTS 8 & 9**

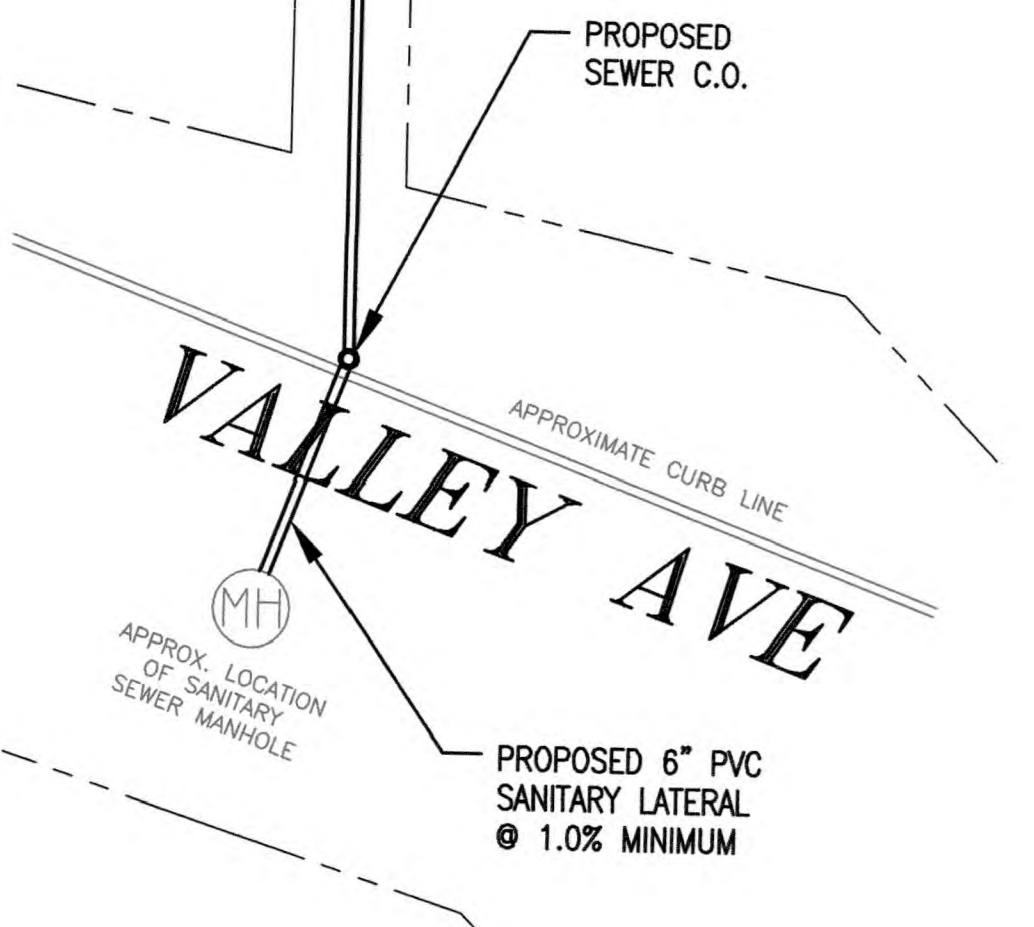
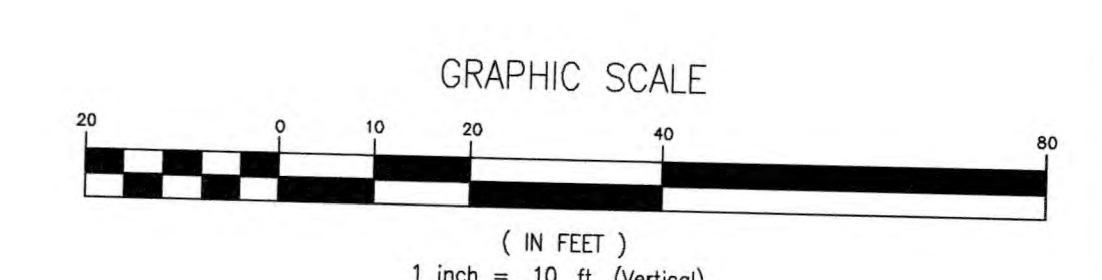
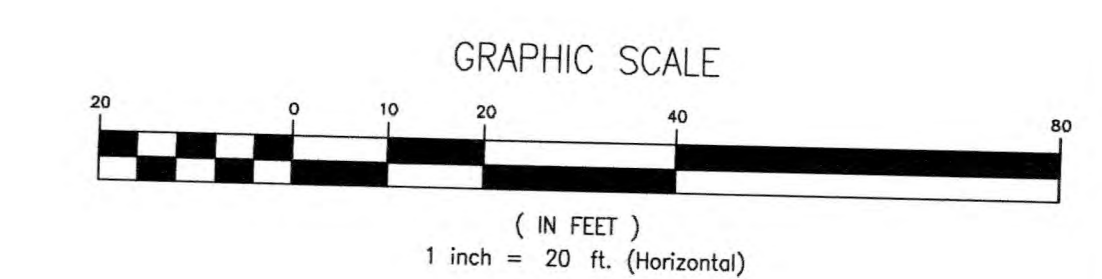
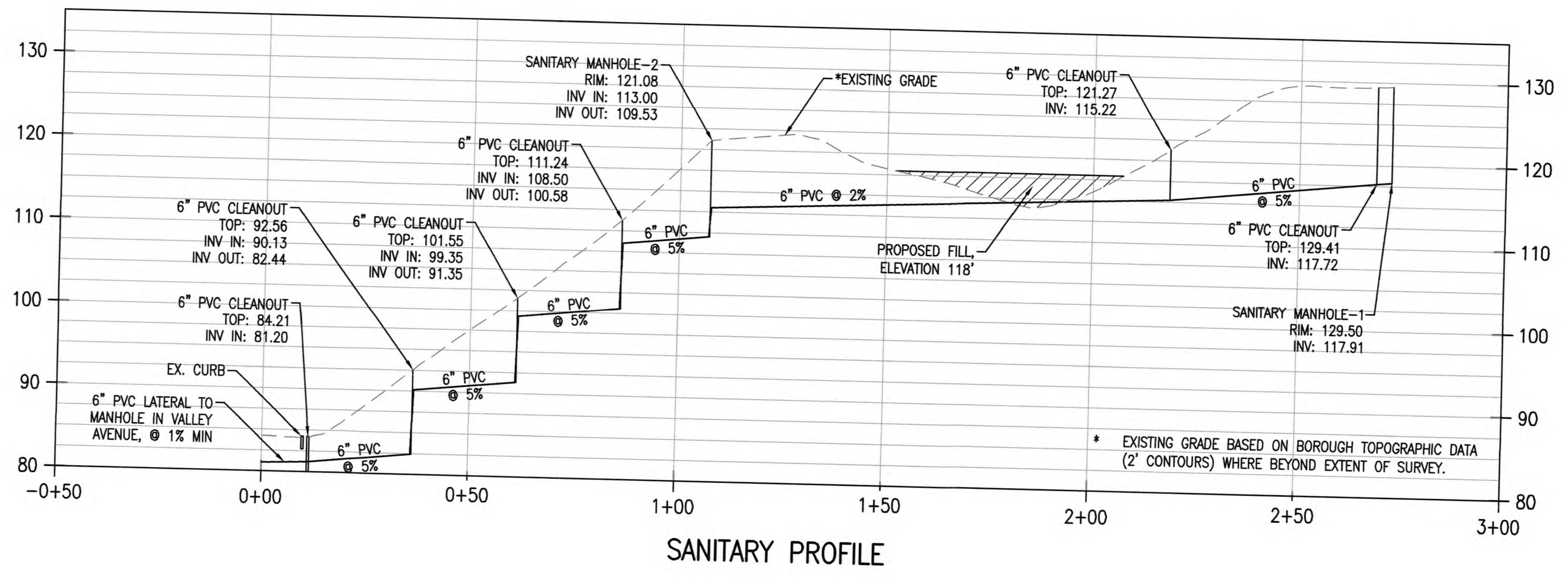
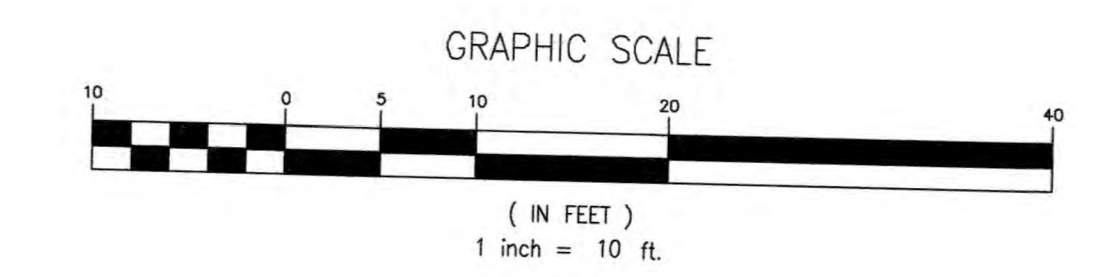
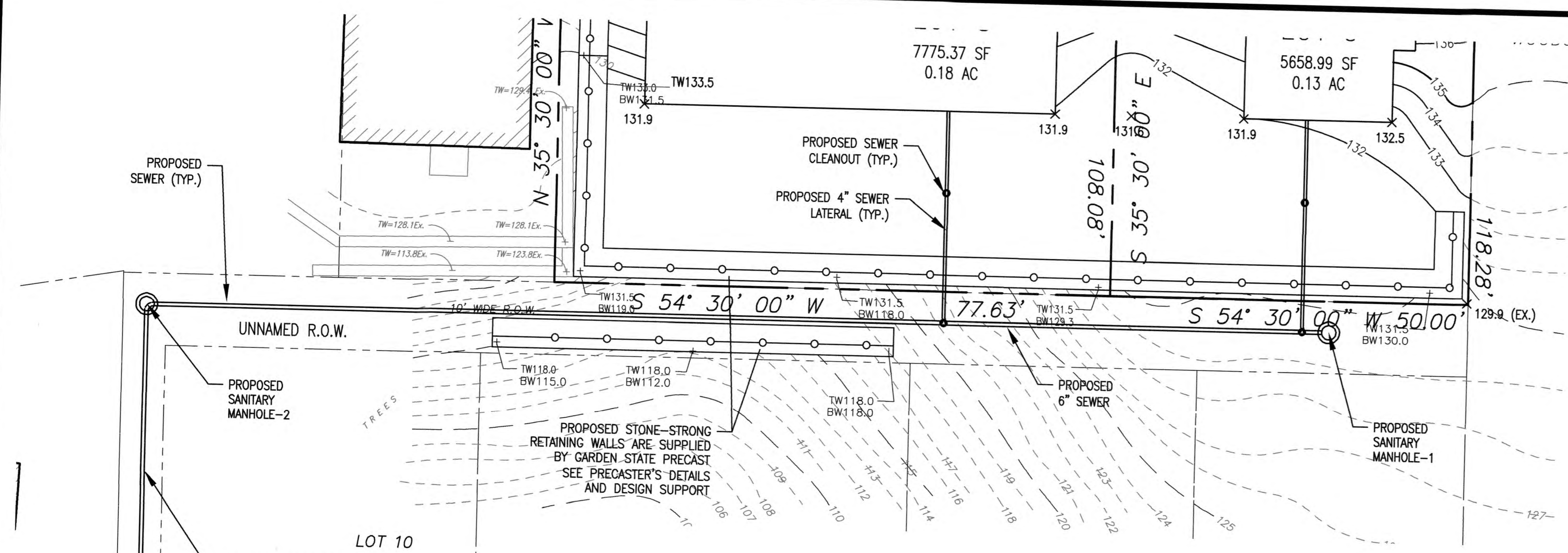
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FRANK W. FARRELL
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE51556

DATE: 04-05-2024 | SCALE: 1"=10' | DRAWN: AJC | CHECKED: FF | SHEET: 3 OF 8 | JOB: PR-0280

© Grotto Engineering Associates, LLC - 32 North Peak St., Highlands (Cedar Fork) NJ 07033 - 433.34.000 4/25/2024



SEWER REQUIREMENTS

SEWER FLOW CALCULATIONS:

EXISTING:

- SEPTIC TANK
- TOTAL EXISTING FLOW 0 GALLONS PER DAY

PROPOSED:

- 2 TWO-BEDROOM UNITS @ 225 GALLONS PER DAY 450 GALLONS PER DAY
- TOTAL PROPOSED FLOW 450 GALLONS PER DAY
- FLOW CHANGE = INCREASE 450 GALLONS PER DAY
- PEAK FLOW = 450 X 3 = 1,350 GPD = 0.9375 GPM OR 0.0021 CFS

SEWER FLOW VELOCITY

SANITARY SEWER FLOW VELOCITY:

PEAK FLOW = 0.9375 GPM OR 0.0021 CFS
 MANNING ROUGHNESS COEFFICIENT, N = 0.009

PROPOSED 6" PVC PIPE @ 2.0% (1V:50H) - VELOCITY = 1.12 FT/S
 DEPTH OF FLUID IN PIPE = 0.191 INCHES

PROPOSED 6" PVC PIPE @ 5.0% (1V:20H) - VELOCITY = 1.54 FT/S
 DEPTH OF FLUID IN PIPE = 0.155 INCHES

MAXIMUM SLOPE FOR VELOCITY < 5.0 FT/S = 150.0% (3v:2h)

REVISIONS

DATE	DESCRIPTION
04-25-2024	ISSUED FOR SUBMISSION

THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. CHANGES TO THE PERFORMANCE OF THE WORK BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.

SANITARY PLAN AND PROFILE

32 NORTH PEAK STREET
 BLOCK 35, LOTS 8 & 9

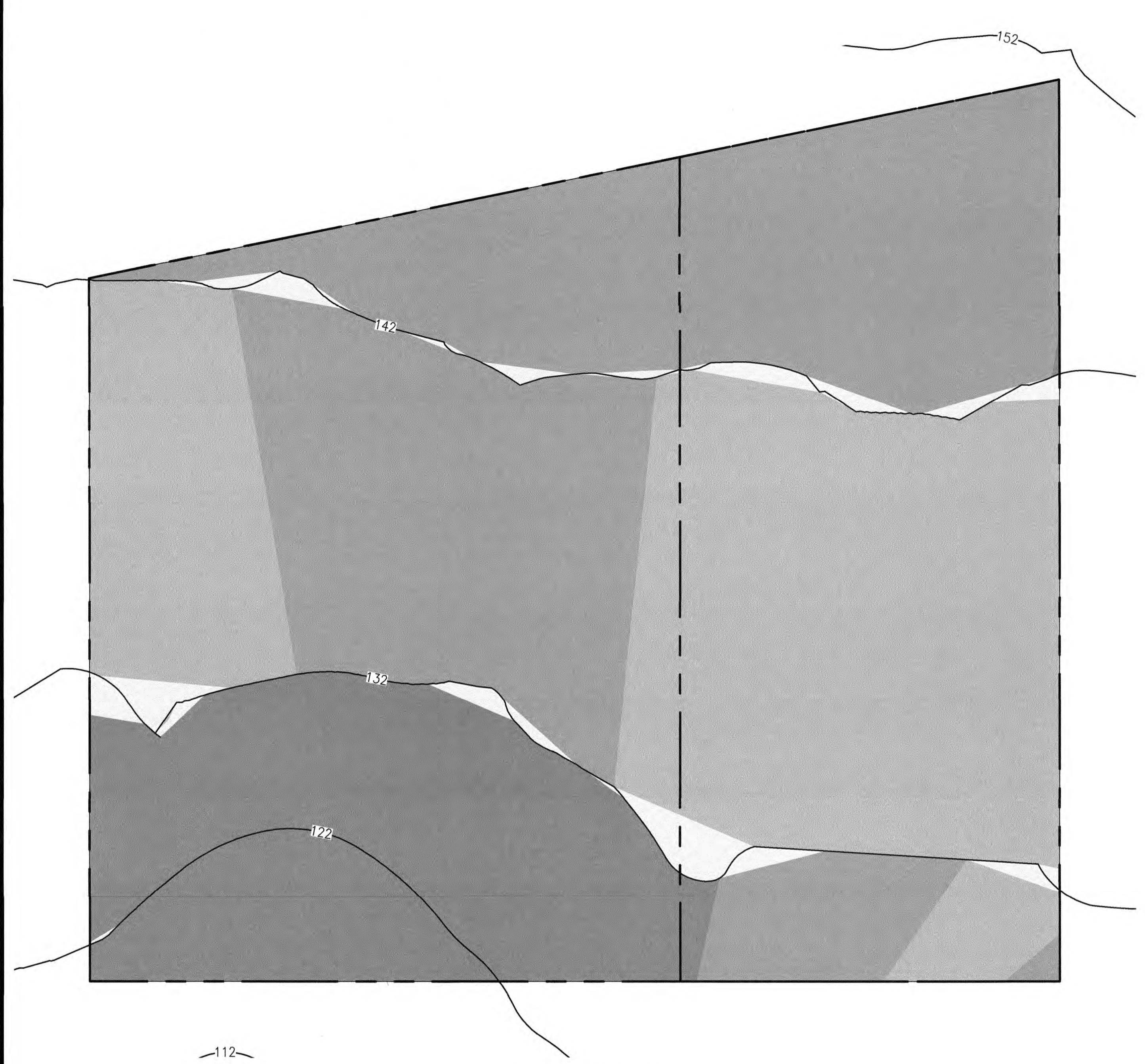
SITUATED IN
 BOROUGH OF HIGHLANDS
 MONMOUTH COUNTY, NEW JERSEY

GROTTO ENGINEERING ASSOCIATES, LLC
 ENGINEERS • PLANNERS • SURVEYORS
 Certificate of Authorization No. 24GA27918300
 77 BRANT AVENUE - SUITE 105
 CLARK, NEW JERSEY 07066
 908-272-8901 (F) 908-272-8902

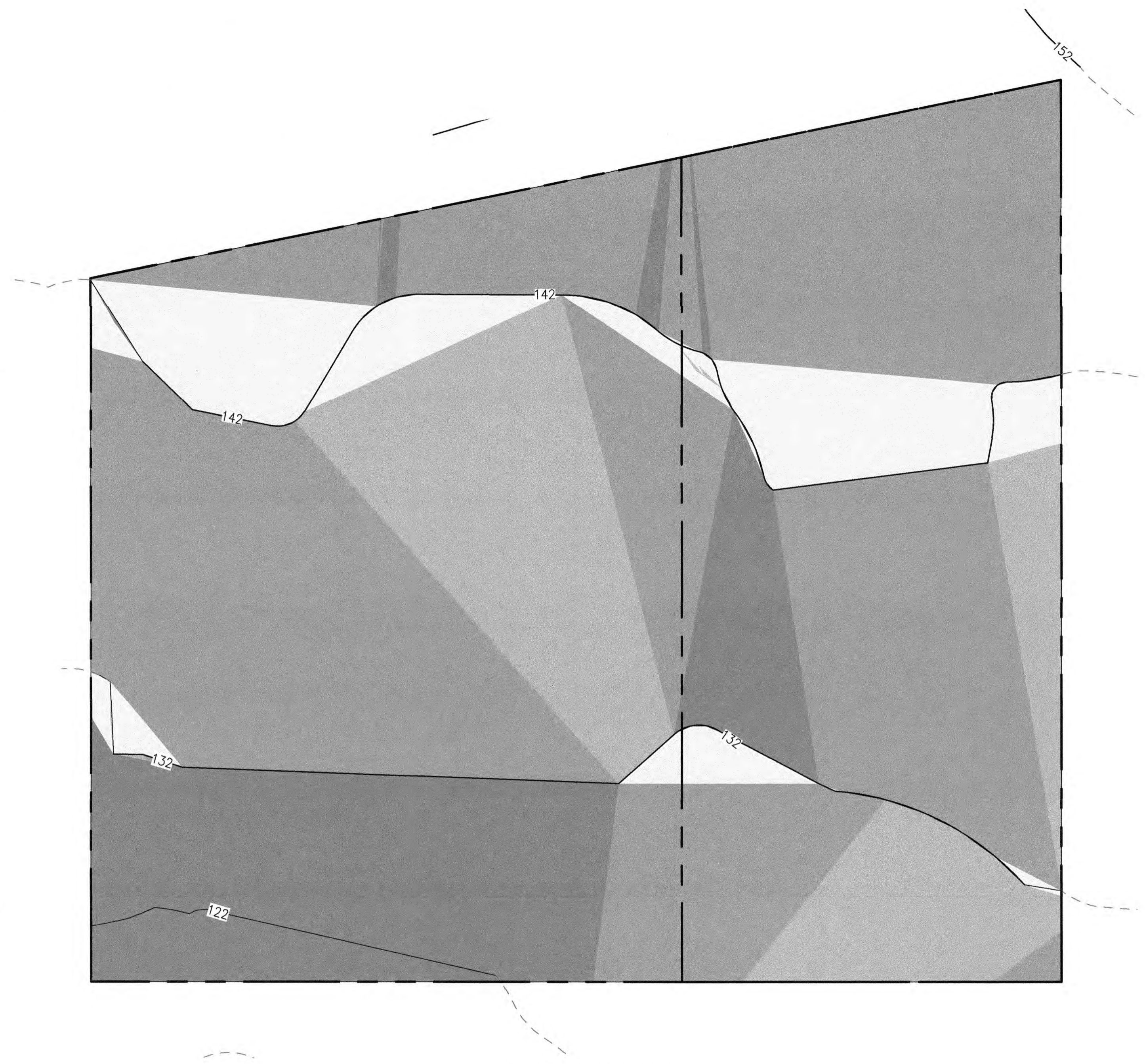
FRANK W. FARRELL
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. GE51556

DATE: 04-05-2024 SCALE: AS SHOWN DRAWN: AJC CHECKED: FF SHEET: 4 OF 6 JOB: PR-0290

G:\Projects\PR-0290 - 32 North Peak St., Highlands (Chesler Farm)\PR-0290 - 32 North Peak St., Highlands (Chesler Farm)\PR-0290 - 32 North Peak St., Highlands (Chesler Farm) - 133.24.dwg (1/25/2024)



EXISTING SLOPES



PROPOSED SLOPES

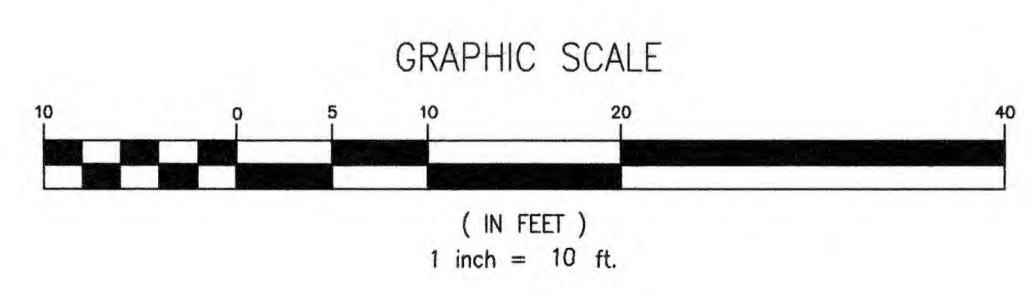
EXISTING SLOPE TABLE (BASED ON 10' CONTOURS, ELEV. 112' TO 162')					
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	COLOR	AREA (SF)	AREA (AC)
1	30.00%	1000.00%	Dark Gray	2,703	0.062
2	20.00%	30.00%	Medium Gray	5,593	0.128
3	15.00%	20.00%	Light Gray	4,732	0.109
4	0.00%	15.00%	White	397	0.009

PROPOSED SLOPE TABLE (BASED ON 10' CONTOURS, ELEV. 112' TO 162')					
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	COLOR	AREA (SF)	AREA (AC)
1	30.00%	1000.00%	Dark Gray	2,438	0.056
2	20.00%	30.00%	Medium Gray	7,206	0.165
3	15.00%	20.00%	Light Gray	2,350	0.054
4	0.00%	15.00%	White	1,429	0.033

SURVEY NOTES

1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED "PRELIMINARY GRADING WORKSHEET FOR HOME & LAND DEVELOPMENT CORP. BLOCK 35 LOTS 8 AND 9, TAX MAP SHEET NO. 10, HIGHLANDS BOROUGH, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY EASTERN CIVIL ENGINEERING, LLC, SIGNED ANDREW R. STOCKTON, P.E., N.J.P.L.S., LICENSE No. 35405, DATED 12-02-2021.

2. ELEVATIONS ARE BASED ON NAVD83 DATUM.



REVISIONS	
DATE	DESCRIPTION
04-25-2024	ISSUED FOR SUBMISSION

THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. CHANGES TO THE PLANS BY THE OWNER AND THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.

SLOPE ANALYSIS PLAN

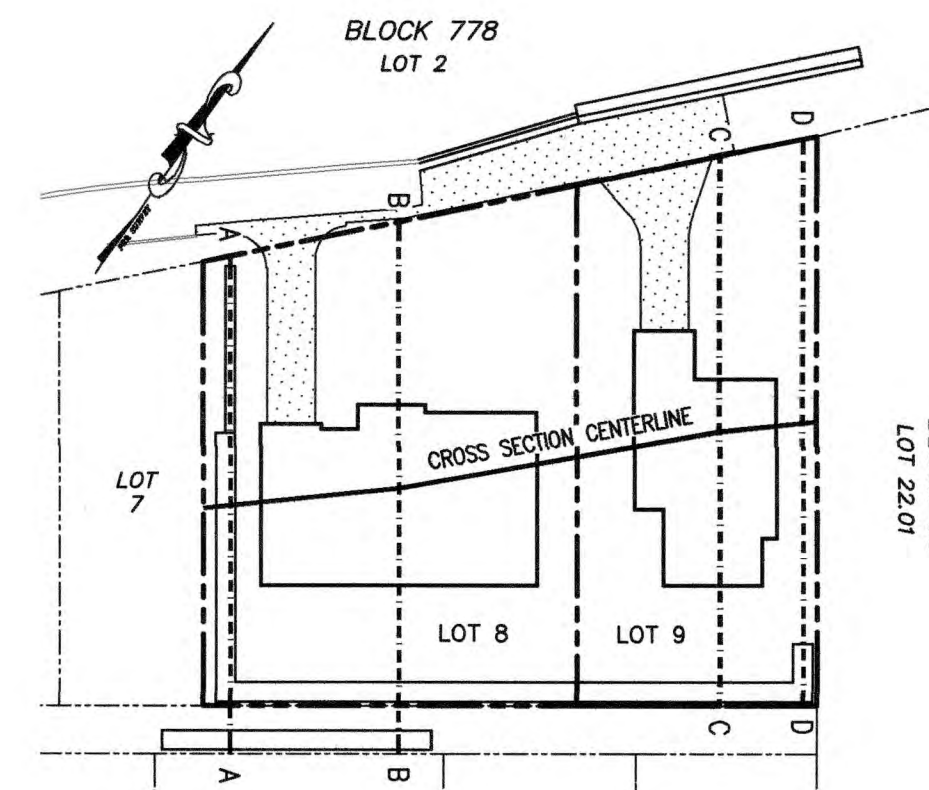
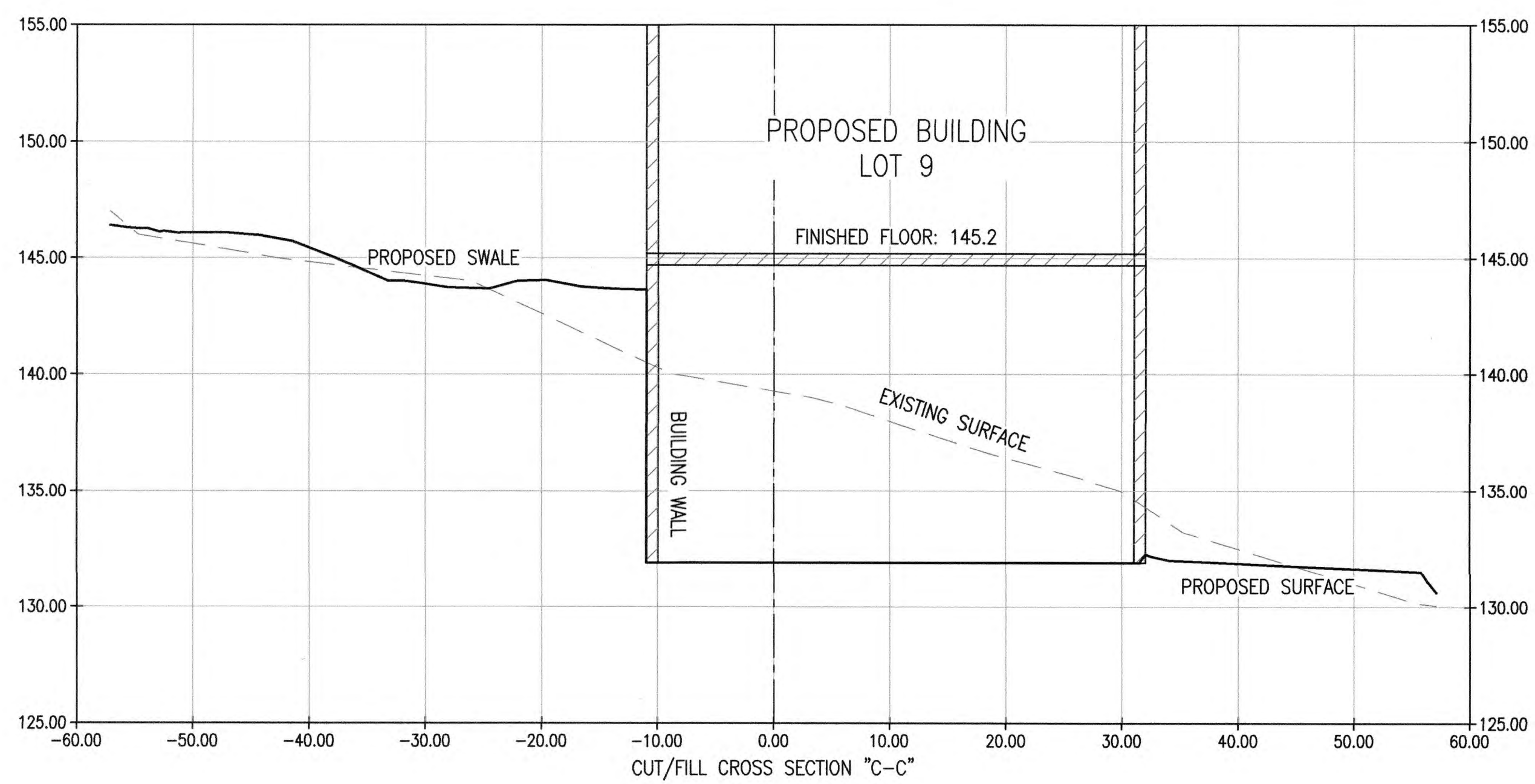
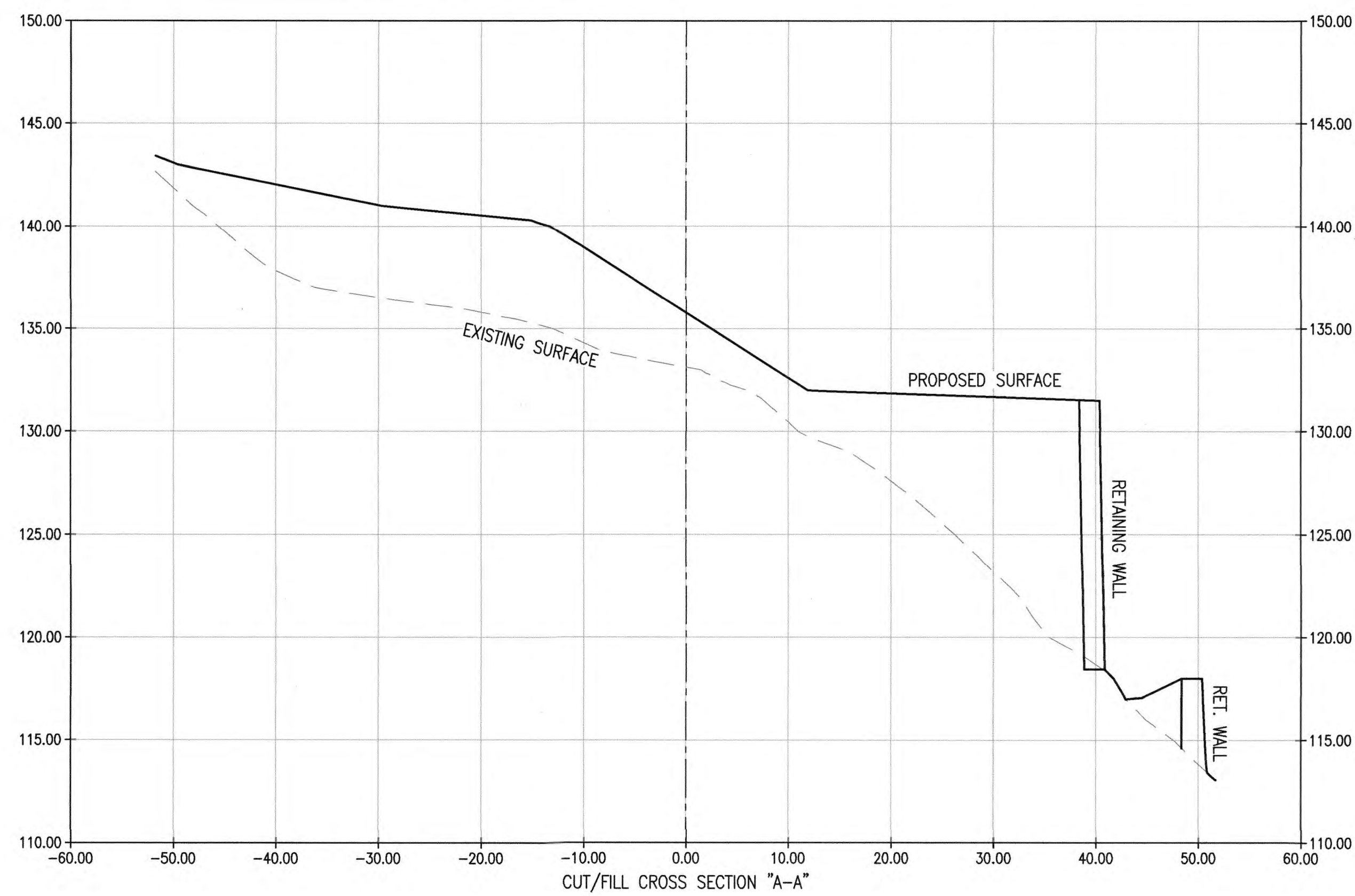
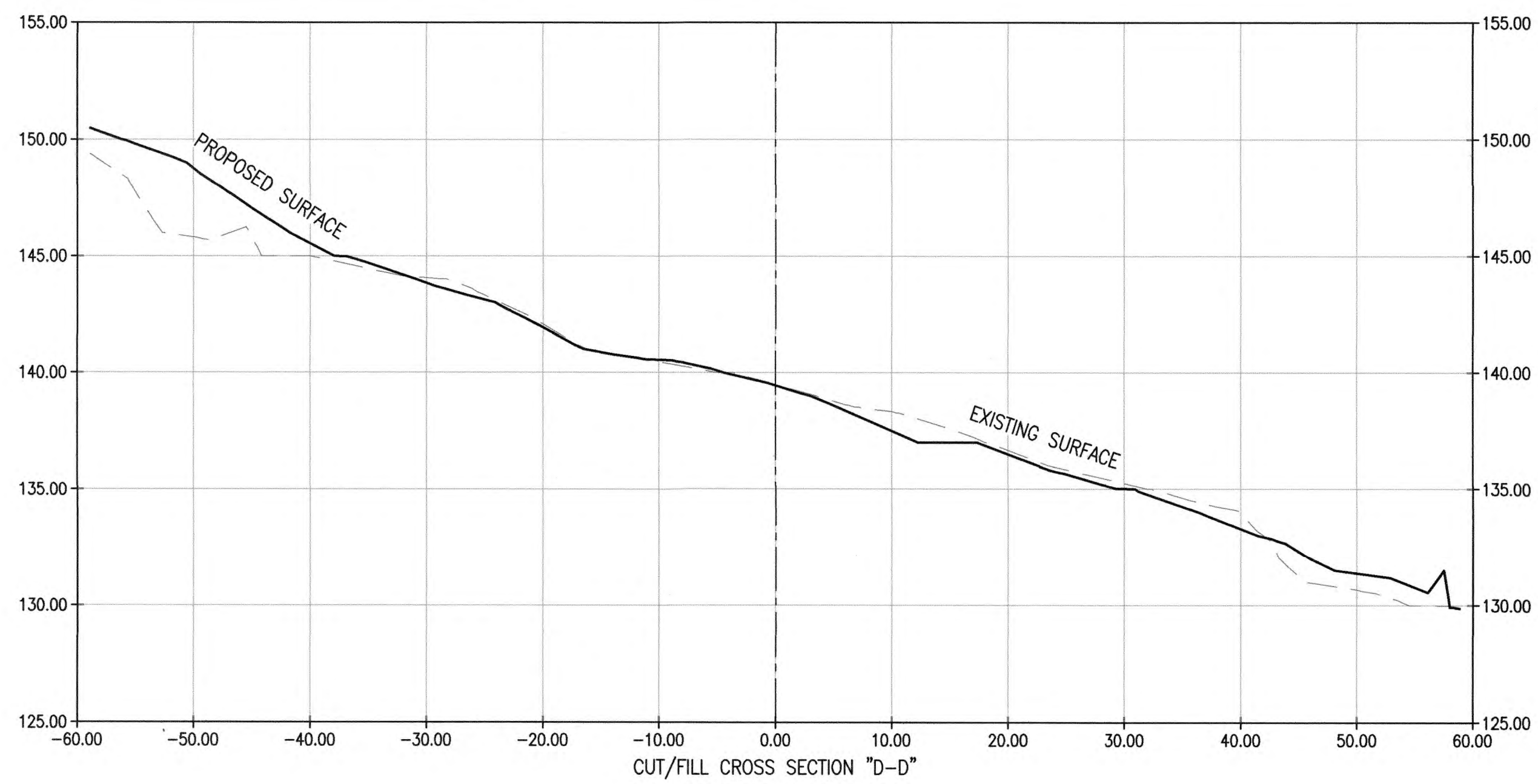
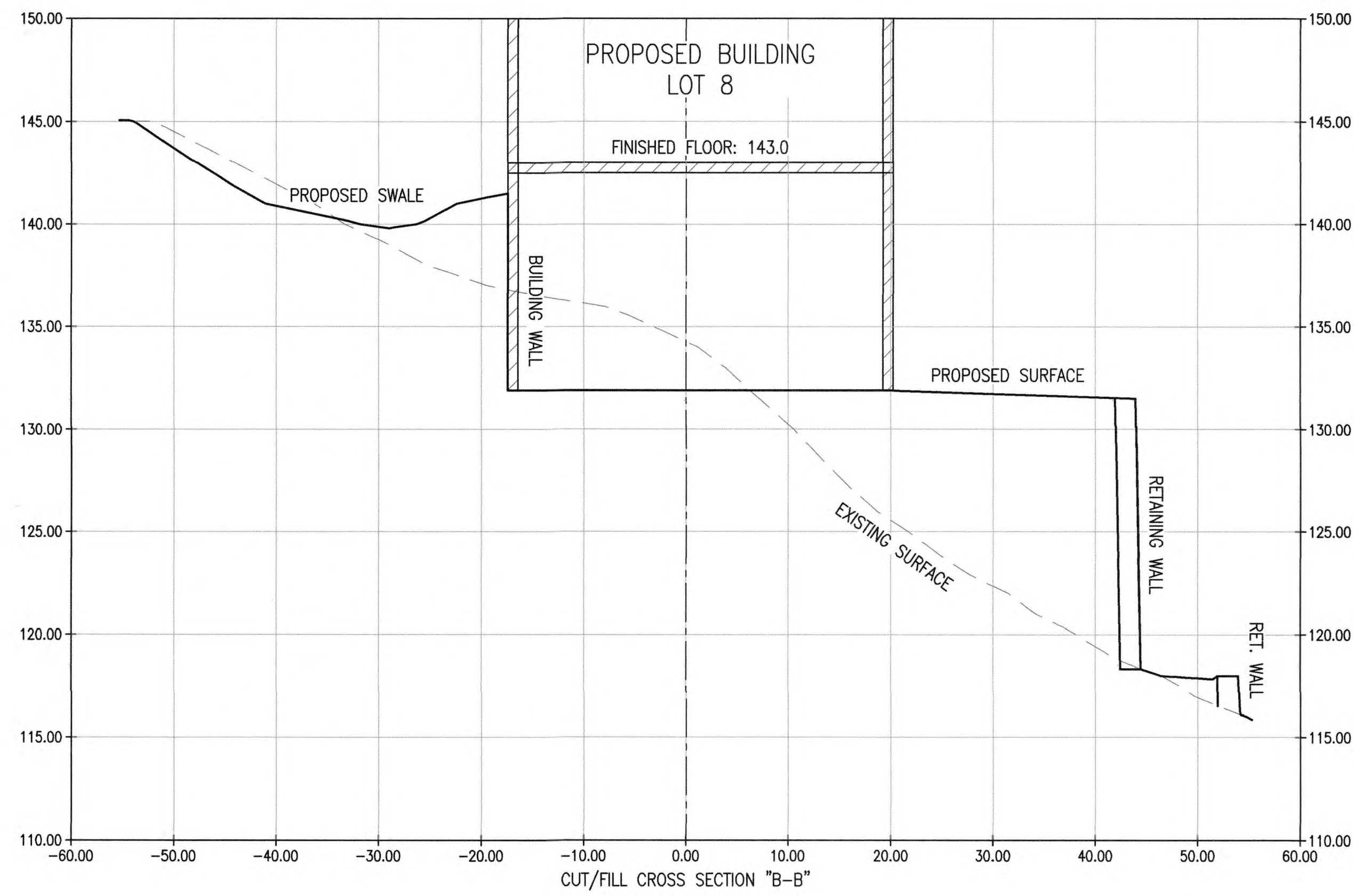
**32 NORTH PEAK STREET
BLOCK 35, LOTS 8 & 9**

**SITUATED IN
BOROUGH OF HIGHLANDS
MONMOUTH COUNTY, NEW JERSEY**

GROTTO ENGINEERING ASSOCIATES, LLC
ENGINEERS • PLANNERS • SURVEYORS
Certificate of Authorization No. 24GA27918300
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CLARK, NEW JERSEY 07066
908-272-8901 (F) 908-272-8902

FRANK W. FARRELL
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE51556

DATE: 04-05-2024 SCALE: 1"=20' DRAWN: AJC CHECKED: FF SHEET: 5 OF 8 JOB: PR-0290



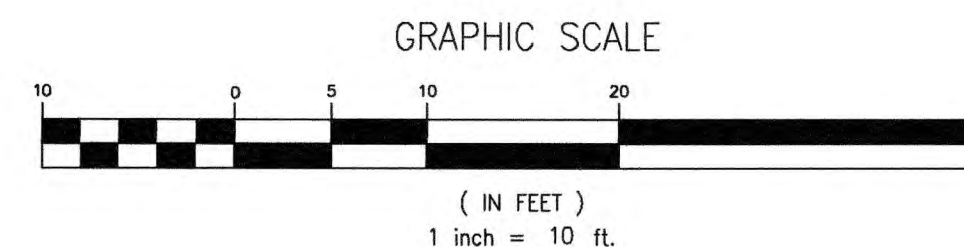
CROSS SECTION KEY MAP

CUT FILL CALCULATIONS:

THE FOLLOWING NUMBERS WERE GENERATED BY COMPARING THE EXISTING AND PROPOSED SURFACES IN AUTODESK CIVIL 3D USING THE "IN VOLUME SURFACE" FEATURE:

TOTAL CUT = 691.60 CUBIC YARDS
 TOTAL FILL = 952.46 CUBIC YARDS
 RESULT: NET FILL = 260.86 CUBIC YARDS

THE PROPOSED DEVELOPMENT RESULTS IN A NET FILL OF 261 CY.



CUT/FILL CROSS SECTIONS AND CALCULATIONS

32 NORTH PEAK STREET
 BLOCK 35, LOTS 8 & 9

SITUATED IN
 BOROUGH OF HIGHLANDS
 MONMOUTH COUNTY, NEW JERSEY

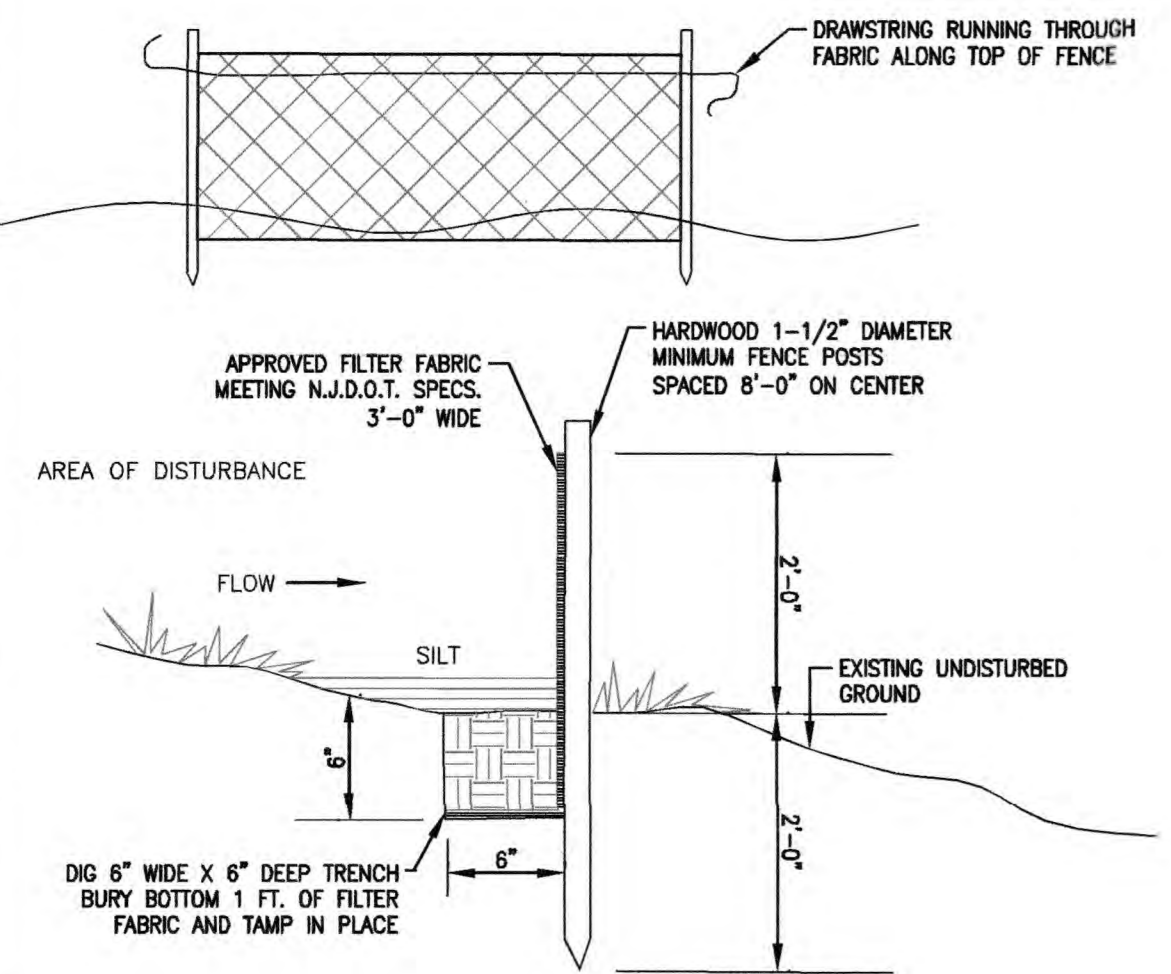
GROTTO ENGINEERING ASSOCIATES, LLC
 ENGINEERS - PLANNERS - SURVEYORS
 Certificate of Authorization No. 240A27919300
 77 BRANT AVENUE - SUITE 105
 CLARK, NEW JERSEY 07066
 908-272-8901 (F) 908-272-8902

FRANK W. FARRELL

PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. GE51556

REVISIONS	
DATE	DESCRIPTION
04-25-2024	ISSUED FOR SUBMISSION

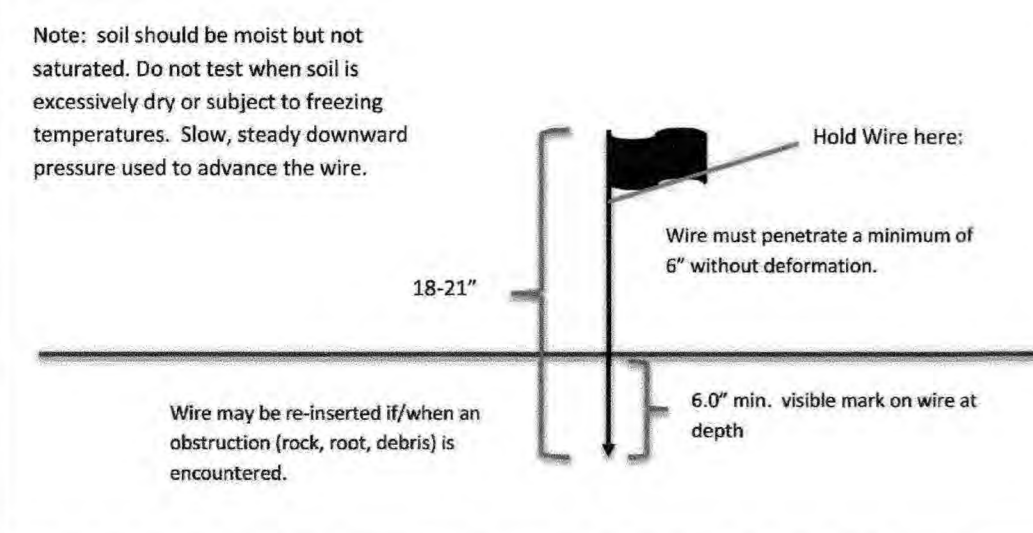
THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. CHANGES TO THE PLANS BY THE OWNER AND THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.



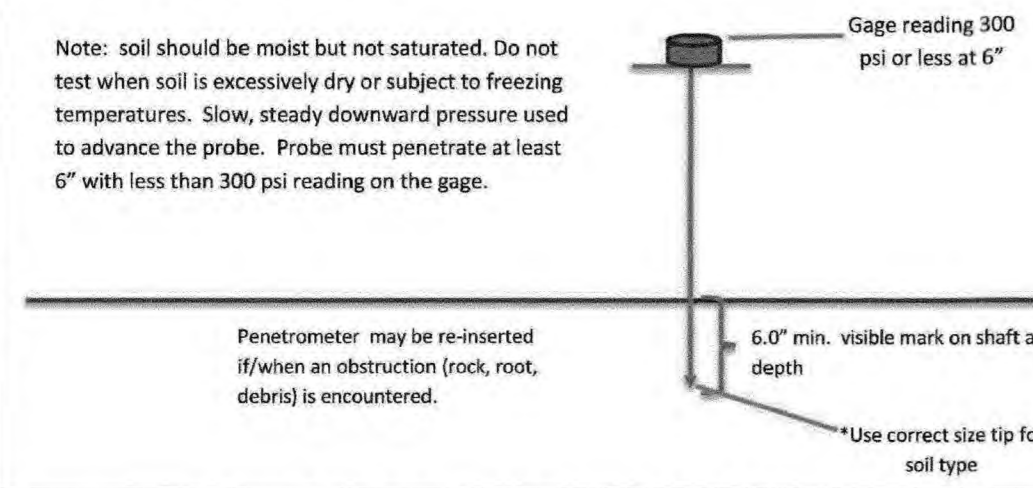
1. PLACE SILT FENCE AT LOCATIONS SHOWN ON THE SOIL EROSION PLAN.
2. THE SLOPE OF LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5%.
3. SILT FENCE SHALL BE INSTALLED SO THAT WATER CAN NOT BYPASS THE FENCE AROUND ITS ENDS.
4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS POSSIBLE.
5. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE DIRECTED BY THE TOWNSHIP ENGINEER.

SILT FENCE
N.T.S.

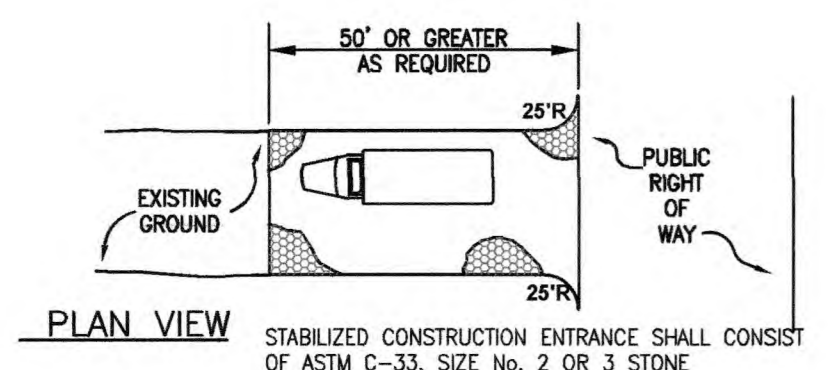
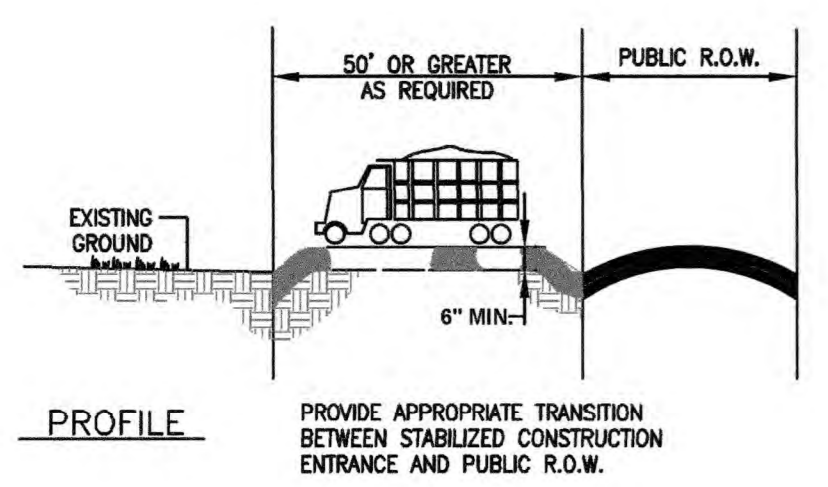
Probing Wire Test- 15.5 ga steel wire (survey flag)



Handheld Soil Penetrometer Test



SIMPLIFIED COMPACTION TESTING METHODS



TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

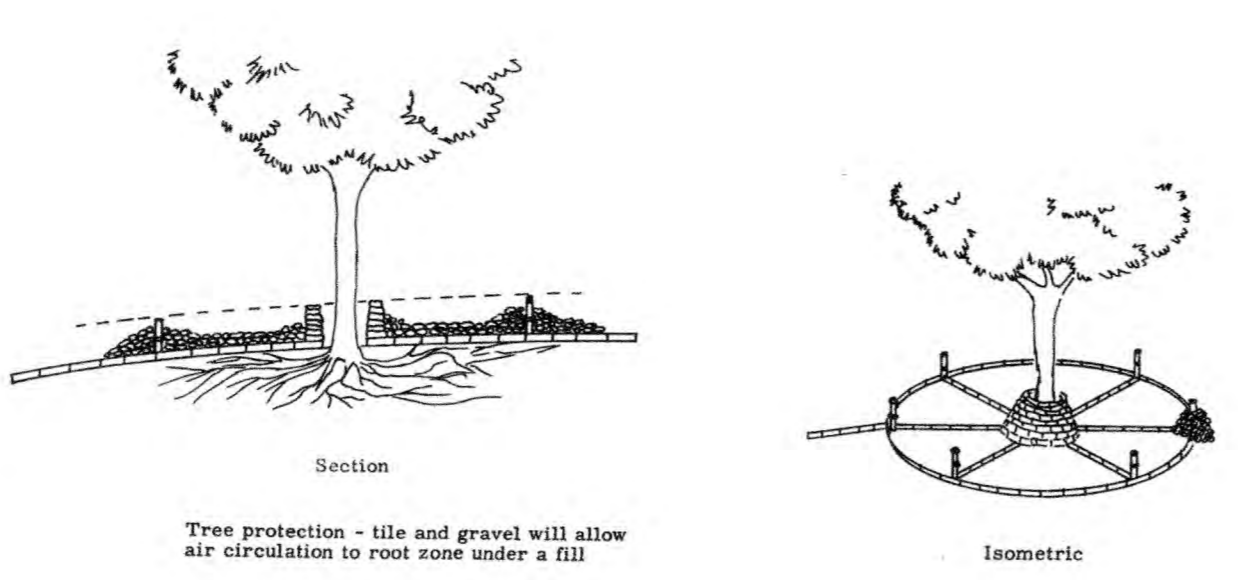
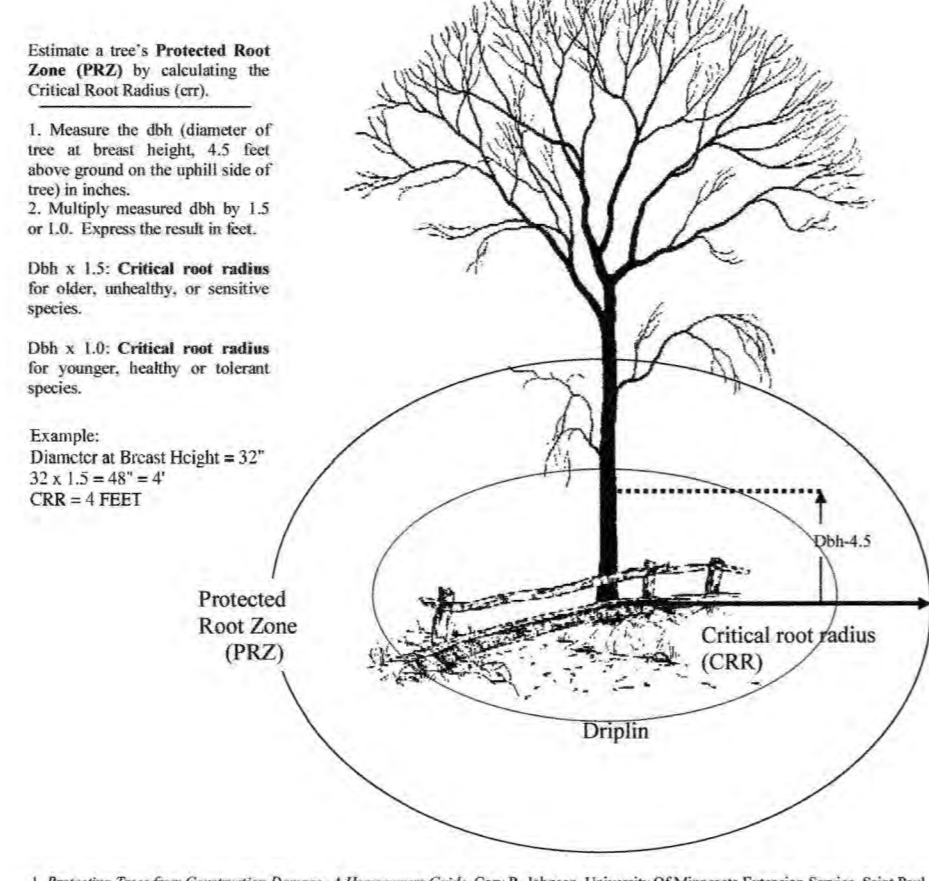
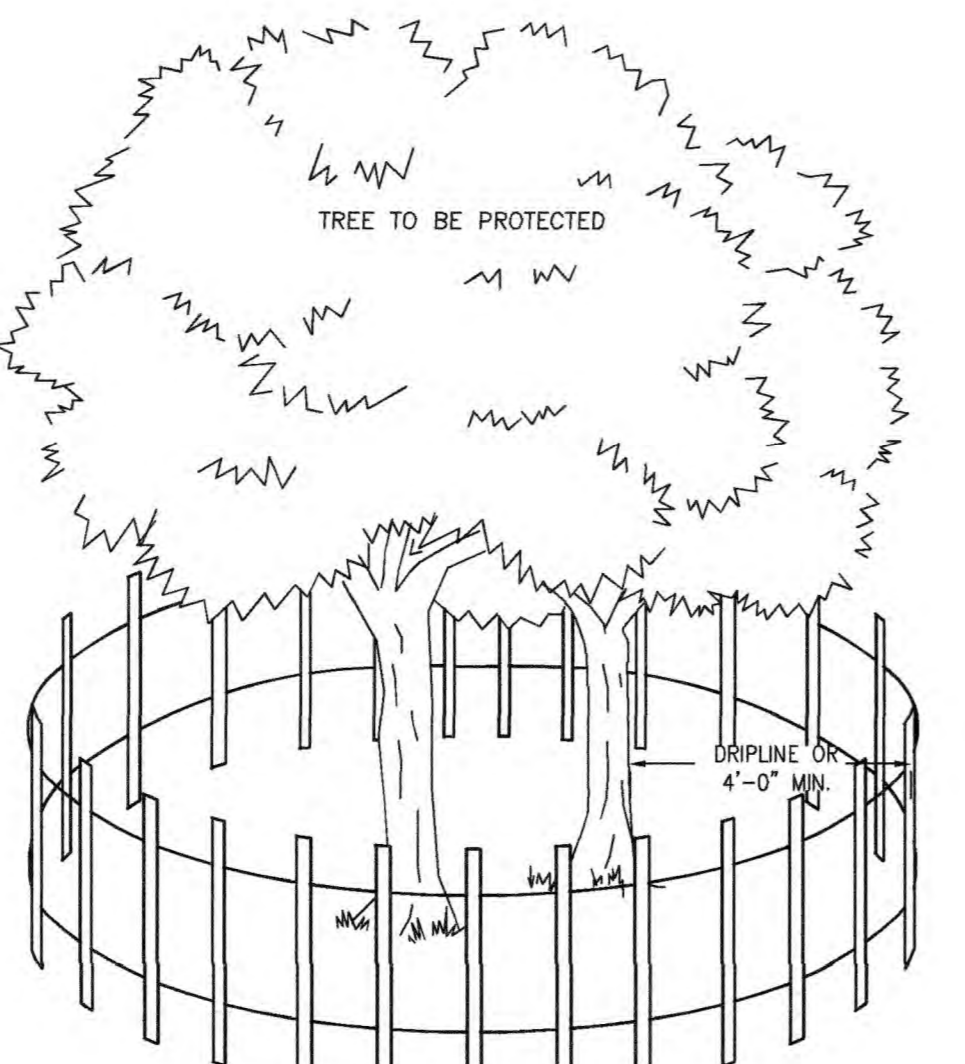


Figure 9-3: Root Protection During Construction Guide

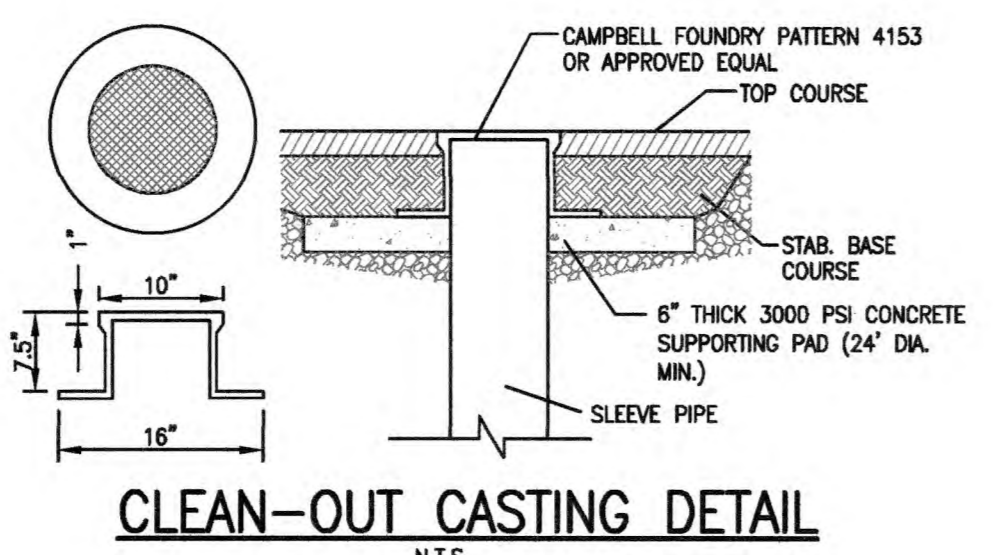


1. Protecting Trees from Construction Damage - A Homeowner's Guide, Gary R. Johnson, University Of Minnesota Extension Service, Saint Paul, MN, 1996.



1. TREE PROTECTION SHALL BE PROVIDED FOR ANY AND ALL TREES TO BE PROTECTED DURING AND AFTER CONSTRUCTION.
2. 4 FOOT HIGH SNOW FENCE SHALL BE PLACED AT THE DRIP LINE OF THE TREE AND ENIRCLE THE ENTIRE TREE.
3. BOARDS SHALL NOT BE NAILED TO TREES DURING CONSTRUCTION.
4. ROOTS SHALL NOT BE CUT IN AN AREA INSIDE THE DRIP LINE OF THE BRANCHES.
5. DAMAGED TRUNKS OR ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT.
6. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH WITH TRUNK OR MAIN LIMB. PAINT IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT AND BE PERFORMED UNDER THE SUPERVISION OF A LICENSED NURSERYMAN.

TREE PROTECTION DETAIL
N.T.S.



CLEAN-OUT CASTING DETAIL
N.T.S.

SEEDING SCHEDULE

1. TEMPORARY SEEDING SHALL CONSIST OF SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1,000 SF, OR PERENNIAL RYEGRASS APPLIED AT A RATE OF 1.0 LB PER 1,000 SF. TEMPORARY SEEDING TO BE MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING. IF ANY SERIOUS EROSION PROBLEMS OCCUR, THE ERODED AREAS SHALL BE REPAIRED AND STABILIZED WITH A MULCH AS INDICATED IN NOTE NO. 6. THE OPTIMUM SEEDING DATE IS MARCH 1 THROUGH MAY 15 AND AUGUST 15 THROUGH OCTOBER 1 FOR PERENNIAL RYE AND SPRING OATS.
2. PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL. OPTIMAL PLANTING DATE IS AUGUST 15 THROUGH OCTOBER 15. THE ACCEPTABLE PLANTING DATE IS MARCH 1 THROUGH APRIL 30.

- WELL TO MODERATELY WELL DRAINED LOTS (MIXTURE #14):**
- TALL FESCUE ● 6.0 LBS/1,000 SF
 - KENTUCKY BLUEGRASS (BLEND) ● 0.5 LBS/1,000 SF
 - PERENNIAL RYEGRASS (BLEND) ● 0.5 LBS/1,000 SF

3. FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER SHALL BE 10-20-10 APPLIED AT A RATE OF 11 LBS PER 1,000 SF OR AS DETERMINED BY SOIL TESTS. FERTILIZER FOR THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER SHALL BE 10-10-10 APPLIED AT A RATE OF 11 LBS PER 1,000 SF OR AS DETERMINED BY SOIL TESTS. LIMESTONE FOR TEMPORARY AND PERMANENT SEEDING SHALL BE APPLIED AT A RATE OF 90 LBS PER 1,000 SF.
4. MULCHING IS REQUIRED ON ALL SEEDINGS. SEE MULCHING NOTES, THIS SHEET.
5. IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREAS TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE NO. 6.
6. MULCH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MULCH WILL BE SPREAD AT A RATE OF 90 TO 115 LBS PER 1,000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL OR LIQUID MULCH BINDER.
7. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISS. SPRING-TOOTHED HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED, ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
8. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLOUDS, LUMPS OR OTHER UNSUITABLE MATERIALS.
9. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE.

SOIL DECOMPACTION AND TESTING REQUIREMENTS

SOIL COMPACTION TESTING REQUIREMENTS

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

- COMPACTION TESTING METHODS**
- A. PROBING WIRE TEST (SEE DETAIL)
 - B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
 - C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
 - D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

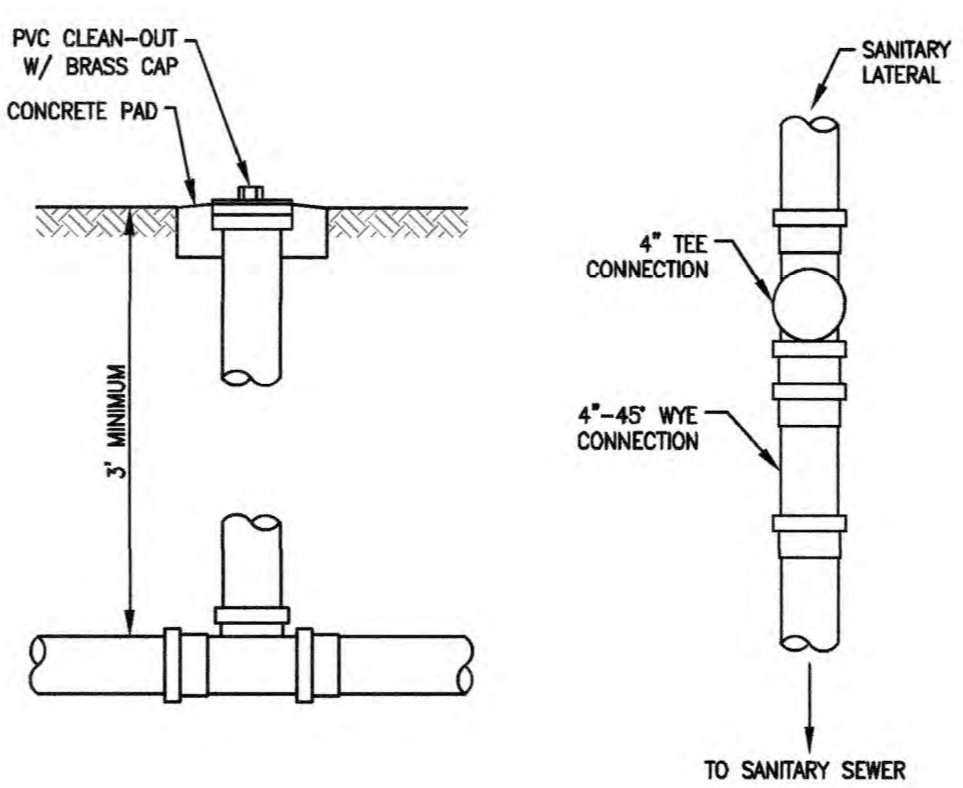
NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES FOR SOIL COMPACTION MITIGATION

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.



SANITARY CLEANOUT DETAIL
N.T.S.

SLOPE STABILIZATION NOTES

1. GRADE SLOPES AS PER PLAN.
2. APPLY FERTILIZER AT A RATE OF APPROXIMATELY 500 POUNDS PER ACRE (10-10-10 OR EQUAL).
3. WORK FERTILIZER INTO SOIL TO A DEPTH OF 4 INCHES.
4. APPLY SEED ACCORDING TO SEEDING SCHEDULE ON THIS SHEET.
5. AFTER SEEDING, FIRM SOIL WITH CORRUGATED ROLLER TO ASSURE GOOD SEEDING-SOIL CONTACT.
6. MULCH AND STABILIZE AS PER MULCHING AND TACKING SPECIFICATIONS ON THIS SHEET.
7. STEEP SLOPES TO BE STABILIZED WITH JUTE MATTING (3:1 OR STEEPER).

CONSTRUCTION SCHEDULE

1. CLEAR PROPOSED ENTRANCE AND PLACE STABILIZED CONSTRUCTION ENTRANCE PAD AS NOTED	3 DAYS
2. INSTALL SEDIMENT CONTROL STRUCTURES (I.E. HAY BALES AND/OR SILT FENCE) ADJACENT TO THE LIMIT OF SOIL DISTURBANCE AS SHOWN.	2 DAYS
3. DEMOLISH EXISTING STRUCTURES	1 WEEK
4. CLEAR LAND AREAS TO BE DEVELOPED. TREES SHALL REMAIN WHEREVER POSSIBLE.	1 WEEK
5. ROUGH GRADE THE SITE.	2 WEEKS
6. CONSTRUCT STORM SEWERS AND DETENTION SYSTEM.	1 WEEK
7. INSTALL SEDIMENT CONTROL MEASURES AROUND INLETS.	1 DAY
8. BEGIN BUILDING CONSTRUCTION AND CURBING.	4 DAYS
9. BEGIN FINE GRADING.	3 DAYS
10. STABILIZE ALL AREAS NOT SUBJECT TO CONSTRUCTION TRAFFIC THAT WILL REMAIN EXPOSED FOR MORE THAN 30 DAYS.	1 DAY
11. CONSTRUCT LIGHTING AND REMAINING UNDERGROUND UTILITIES.	1 WEEK
12. CONSTRUCT DRIVEWAY AND PARKING LOT PAVEMENT.	1 WEEK
13. FINISH BUILDING CONSTRUCTION.	6 MONTHS
14. INSTALL LANDSCAPING.	1 WEEK
15. STABILIZE ALL DISTURBED AREAS IN ACCORDANCE WITH APPLICABLE TEMPORARY OR PERMANENT SEEDING SPECIFICATIONS.	1 WEEK
16. REMOVE SEDIMENT AROUND SILT FENCES AND/OR HAY BALES.	1 WEEK
17. WHEN AREA IS STABILIZED, SEDIMENT CONTROL STRUCTURES CAN BE REMOVED.	2 DAYS

MULCHING NOTES

1. GRADING SHALL BE PERFORMED AS PER STANDARDS FOR LAND GRADING IN THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY", SECTION 19.1.
2. PERMANENT SEED SHALL BE APPLIED AS PER STANDARD OF THIS SHEET.
3. STRAW OR HAY MULCHING IS REQUIRED ON ALL SEEDING AND SHALL CONSIST OF THE FOLLOWING: UNROOTED SMALL GRASS STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET).
4. SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 85% OF THE SOIL SURFACE IS COVERED.
5. LIQUID MULCH BINDER (TACKIFIER) SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

DUST CONTROL NOTES

- ANY OF THE FOLLOWING METHODS SHALL BE USED FOR DUST CONTROL:
1. MULCHES: SEE STABILIZATION SPECIFICATION.
 2. TILLAGE: TO ROUGHEN THE SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED APPROXIMATELY 12" APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
 3. SPRINKLING: SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
 4. BARRIERS: BALES OF HAY AND/OR SILT FENCE CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

VEGETATIVE COVER MAINTENANCE NOTES

1. MAINTENANCE SHOULD OCCUR ON A REGULAR BASIS, CONSISTENT WITH FAVORABLE PLANT GROWTH, SOIL AND CLIMATIC CONDITIONS. THIS INVOLVES REGULAR SEASONAL WORK FOR MOWING, FERTILIZING, LIMING, WATER, PRUNING, FIRE CONTROL, WEED AND PEST CONTROL, RE-SEEDING AND TIMELY REPAIRS.
2. MOWING ON IMPROVED AREAS, SUCH AS LAWNS, CERTAIN RECREATION FIELDS AND PICNIC AREAS SHALL BE FREQUENT. ON SEM-IMPROVED AREAS, MOWING WILL BE INFREQUENT. UNIMPROVED AREAS MAY BE LEFT UNMOWED TO PERMIT NATURAL SUCCESSION.
3. FERTILIZER SHOULD BE APPLIED AS NEEDED TO MAINTAIN A DENSE STAND OR DESIRABLE SPECIES. FREQUENTLY MOWED AREAS AND THOSE AREAS ON SANDY SOILS WILL REQUIRE MORE FERTILIZATION.
4. LIME REQUIREMENT SHOULD BE DETERMINED BY SOIL TESTING TO BE DONE EVERY 2 OR 3 YEARS. FERTILIZATION WILL INCREASE THE NEED FOR LIMING.
5. WEED INVASION MAY RESULT FROM ABUSIVE MOWING AND INADEQUATE FERTILIZATION AND LIMING. BRUSH INVASION IS A COMMON CONSEQUENCE OF LACK OF MOWING. CONTROL OF WEEDS OR BRUSH SHALL BE ACCOMPLISHED BY USING HERBICIDES OR MECHANICAL METHODS.
6. THE PROPERTY OWNER OR TENANT BY CONTRACT SHALL BE RESPONSIBLE FOR MAINTENANCE DURING AND AFTER CONSTRUCTION.

SOIL EROSION NOTES

- FREEHOLD SOIL CONSERVATION DISTRICT**
1. THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
 2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
 3. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
 4. N.J.S.A. 4:24-39 et. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.

5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY ENHANCEMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
7. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
9. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
10. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
11. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
12. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A pH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE (OR 450 LBS/1,000 SQ. FT. OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A pH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
13. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
14. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
15. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
16. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.
17. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
18. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

GENERAL SOIL EROSION NOTES:

1. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50 FEET OF A FLOOD PLAN, SLOPE, ROADWAY, OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT CONTROL FENCE.
2. THE SITE SHALL AT ALL TIMES, BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
3. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS.
4. THE SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON-SITE OR OFF-SITE SOIL EROSION PROBLEMS DURING CONSTRUCTION.
5. ANY CONVEYANCE OF THIS PROJECT OR PORTION THEREOF PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNER.
6. THE CONTRACTOR SHALL MAINTAIN PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. THE OWNER SHALL MAINTAIN SAID MEASURES THEREAFTER.
7. THE SOIL EROSION AND SEDIMENT CONTROL PLAN IS TO BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY.

SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

32 NORTH PEAK STREET
BLOCK 35, LOTS 8 & 9

SITUATED IN
BOROUGH OF HIGHLANDS
MONMOUTH COUNTY, NEW JERSEY



Grotto Engineering Associates, LLC

ENGINEERS • PLANNERS • SURVEYORS
Certificate of Authorization No. 24GA27918300
77 BRANT AVENUE - SUITE 105
CLARK, NEW JERSEY 07066
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Frank W. Farrell
FRANK W. FARRELL

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE51556

REVISIONS	
DATE	DESCRIPTION
04-25-2024	ISSUED FOR SUBMISSION

THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. CHANGES TO THE PLANS BY THE OWNER AND THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.



Roberts
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May 8, 2024

Nancy Tran
 Land Use Board Secretary
 Borough of Highlands Land Use Board
 151 Navesink Avenue
 Highlands, New Jersey 07732

Re: Completeness Review No. 4
 Home & Land Development Corp.
 14 & 32 North Peak Street
 Block 35, Lots 8 & 9
 Minor Subdivision and Variances
 Borough of Highlands, Monmouth County, New Jersey
 Our File No.: HLPB2022-10

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations. section entitled, "Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure", and "Article VIII, Plat and Plan Details, section 21-58.A – Minor Subdivision Plat".

Below is our Completeness Review along with comments for the above referenced project. This review was prepared in accordance with the following documents received:

1. Response Letter to Third Completeness Review to Ms. Tran from Frank W. Farrell, P.E., C.M.E, Principal, dated April 26, 2024.
2. Second Completeness Review to Ms. Tran from Edward W. Herrman, P.E., P.P., C.M.E., C.F.M., Land Use Engineer, dated August 15, 2023.
3. Land Use Board Application for Subdivision and Variance, dated November 18, 2022.
4. Copy of a plan set entitled, "Plot Plan For 32 North Peak Street, Block 35, Lots 8 & 9, situated in Borough of Highlands, Monmouth County, New Jersey", prepared by Grotto Engineering Associates, LLC., Clark New Jersey, dated April 5, 2024, and revised April 25, 2024, signed by Frank W. Farrell, P.E., C.M.E, Principal, consisting of 8 sheets.
5. Copy of a report entitled, "Steep Slope and Sump Block Permit Application Report for Home & Land Development Corp., 14 & 32 North Peak Street, Block 35, Lots 8 & 9, Borough of Highlands, Monmouth County, New Jersey, prepared by Grotto Engineering Associates, LLC., Clark New Jersey, dated April 26, 2024, and by Frank W. Farrell, P.E., C.M.E, Principal.
6. Minor Subdivision Plan prepared by Thomas P. Santry, Jr., P.L.S., dated July 29, 2022, last revised November 30, 2023, consisting of three (3) sheets.
7. Stone Strong System – Gravity Retaining Wall, prepared by Garden State Precast, last revised December 15, 2021, consisting of eight (8) sheets.

It is understood that the application will be heard at the May 9th Planning Board meeting.

Completeness Review No. 4
 Home & Land Development Corp.
 14 & 32 North Peak Street
 Block 35, Lots 8 & 9
 Borough of Highlands, Monmouth County, New Jersey
 Our File No.: HLPB2022-10
 Page 2 of 10

The Applicant has satisfied many of the comments as outlined within the Third Completeness Review dated, February 20, 2024, pursuant to Ordinance Section 21-58.A as a Minor Subdivision Plat, however, the following comments are offered for the Planning Board's consideration:

This review has determined that the Application is deemed a Major Subdivision, Major Site Plan and a NJDEP Treatment Works Approval (TWA) is required for Lots 8 & 9 based on the proposed sanitary sewer extension.

The application was originally submitted as a Minor Subdivision and signed by a licensed land surveyor. Multiple engineering issues such as grading, utilities, encroachments, stormwater management, steep slopes and retaining walls on the proposed lots and within an existing right-of-way were found on the Minor Subdivision plan.

A licensed surveyor is responsible for the Minor Subdivision. A licensed professional engineer is responsible for the Minor Site Plan which must address all engineering issues upon the resubmission of the application.

The Applicant's Engineer resubmitted a plan set entitled, "Plot Plan" as referenced above and along with the proposed sewer design as previously proposed by the land surveyor's design.

According to the *Municipal Land Use Law, Chapter 291*, a Minor Subdivision is defined under Section 40:55D-5 as:

"Minor subdivision" means a subdivision of land for the creation of a number of lots specifically permitted by ordinance as a minor subdivision; provided that such subdivision does not involve (1) a planned development, (2) any new street or (3) the extension of any off-tract improvement,

The Applicant's Engineer has proposed a sanitary sewer extension from an existing sanitary sewer main located in Valley Avenue. The proposed extension consists of approximately 270 feet of 6" PVC piping with 2 manholes and multiple cleanouts within a 10-foot and 6-foot unnamed right-of-way located south of and west of Lots 8 & 9 and along Lots 4.02 and 10 in Block 35 terminating at Valley Avenue.

Based on the "minor subdivision definition as indicated above, the proposed Minor Subdivision must be submitted as a Major Subdivision and follow the Borough of Highlands Municipal Code §21-57 and associated sections. Please note there are additional checklist items.

A Major Site Plan is required based on the same criteria found under §21-8 Definitions for a Major Site Plan.

According to N.J.A.C. 7:14A-22, proposed Lots 8 and 9 must apply for a TWA for the installation of the sanitary sewer pipeline and manholes.

Our comments are provided below:

I. ZONING

1. This property is located in the R-1.01 Residential District.
2. The Applicant requires six (6) variances based on the resubmission of the Plot Plan set.
3. The following bulk requirement summary is provided for the Board's reference:

R-1.01 Residential Zone	Required	Existing Lots 8 & 9 (Provided by Applicant)	Existing Lot 8 (Ref: Santry Minor Subdivision)	Existing Lot 9 (Ref: Santry Minor Subdivision)	Proposed Lot 8	Proposed Lot 9
Min. Lot Area (sf)	5,000	13,423	Not provided	Not provided	7,775.37	5,658.99
Lot Frontage/Width (ft)	50	130.26/127.62	91.76	38.40	79.23	50.03 (51.03)
Min. Lot Depth (ft)	100	105.26	(101.42)	(114.44)	108.08 (100.16)	118.28 (113.18)
Min. Front Yard Setback (ft)	35	60.6	-	-	35.3	*31.9
Min. Side Yard Setback (ft)	8/12	**4.7/92.2	-	-	8.3/12	8.2/12
Min. Rear Yard Setback (ft)	25	**8.6	-	-	25	25
Max. Building Height (ft)	30	-	-	-	<30	<30
Max Lot Coverage	70%	±41.9%	-	-	39.0%	34.2%
Max Building Coverage	30%	±8.0%	-	-	26.1%	22.5%
***Max Lot Coverage	33.4%(8) 45.8%(9)	**41.9%	-	-	*39.0%	34.2%
***Max Impervious Surface Area	15.8%(8) 21.2%(9)	**41.9%	-	-	*39.0%	*34.2%
***Max Lot Disturbance (sf)	7,075(8) 5,140(9)		-	-	*7,775	*5,649
On-Site Parking (spaces)	2	Not provided	-	-	2	2

* VARIANCE REQUIRED

** EXISTING NON-CONFORMING CONDITION

*** PER STEEP SLOPES ORDINANCE AND CALCULATIONS § 21-84-B

[Ord. #0-09-23 § 6; amended 6-15-2022 by Ord. No. 0-22-09] These calculations are per the applicant.

Note; Items in the Table above shown in () reflect our calculations and are to be confirmed by the Applicant.

II. APPLICATION FEES (PART 6 FEE SCHEDULE ARTICLE XXIII, ORD. 21-107)

1. Variances			
Residential "c" (minimum front yard setback) x1	1 EA	\$ 125.00	\$ 125.00
Steep slope maximum lot coverage x1	1 EA	\$ 125.00	\$ 125.00
Steep slope maximum impervious coverage x2	1 EA	\$ 125.00	\$ 250.00
Steep slope maximum lot disturbance x2	1 EA	\$ 125.00	\$ 250.00
Subtotal			\$ 750.00
2. Subdivisions			
Major			
Preliminary Plat		\$500 plus \$50 per lot x2	\$ 600.00
Final approval		50% preliminary fee	\$ 300.00
Subtotal			\$ 900.00
3. Site Plans			
Major (approx. 3,350 sf total footprint)			
Preliminary approval		\$1000 plus \$50 per acre or Part thereof and \$20 per 1,000 Square foot of building floor area or part thereof or \$20 per dwelling unit	\$ 1,117.00
Final approval		50% preliminary fee	\$ 558.50
Subtotal			\$ 1,675.50
Total			\$ 3,325.50

III. CHECKLIST ITEMS

1. All existing structures, wooded areas, and topographical features, such as slump blocks, within the portion to be subdivided and within seventy-five (75) feet thereof.

Provide additional information for roadways and wooded areas.

2. Metes and bounds descriptions of all new lot and property lines.

The Applicant has provided metes and bounds for all proposed lot lines on the plan, and descriptions remain outstanding.

3. The existence and location of any utility or other easement.

The Applicant has updated the plans to indicate utility poles (for electric) on the northerly side of North Peak Street, gas and water lines on North Peak Street and an additional water meter on Lot 9.

4. A wetlands statement provided by a qualified expert.

Provide a statement by a licensed engineer or other authority indicating that wetlands are or are not present on the property.

The Applicant has stated, "This office has reviewed available state mapping, which does not depict wetlands being present on this site."

A review of the NJDEP GeoWeb does not definitively establish that there are no wetlands present on a property. Field observations are necessary to determine the presence or absence of wetland.

A signed letter by a qualified expert is required.

A letter stating, "We have reviewed the State's GeoWeb mapping and performed a site review to confirm that there are no regulated freshwater wetlands or buffers impacting the property," would suffice in completing this checklist item.

5. The Board reserves the right to require a feasible sketch plan layout of remaining land not being subdivided if it is deemed necessary.

The applicant has provided a generic house layout that demonstrates the sizes of proposed homes and the need for any additional setback relief.

The proposed lots have many engineering issues that must be addressed by a licensed civil engineer. A licensed engineer is required to certify that the developed sites are designed and will be constructed under the appropriate standard of engineering practices and the safety of the homeowner and adjoining properties.

A Plot Plan set has been provided by the Applicant's engineer.

6. A lot grading plan, to be reviewed by the Borough Engineer, if required. As a condition of approval, the Applicant must provide plot plans for review and approval at the time of obtaining building permits.

A grading plan is included with the Plot Plan set.

A Major Site plan with additional checklist items is required as discussed above.

IV. COMPLETENESS

The application has been scheduled for the May 9th Planning Board meeting.

V. GENERAL COMMENTS

1. Lot areas shown in the bulk requirement summary are not consistent with the previous Minor Subdivision plan prepared by Santry Minor Subdivision Plan prepared by Thomas P. Santry, Jr., P.L.S., last revised November 30, 2023. Please explain.
2. Please explain how all the zone requirements were calculated for "Existing Lots 8 & 9" as shown on the Cover sheet of the plan set and also shown in the bulk requirements summary.
3. The Applicant provided a Plot Plan however they must provide a Minor Site Plan. Based on comments above, the Applicant must provide a Major Site Plan submission.
4. The floor area of the proposed dwellings is unknown. No architectural plans have been provided or square footage noted by the Applicant. The floor area is needed to determine the Major Site Plan preliminary and final approval fees and the total approval fee for the project. The Applicant is requested to provide floor areas per the architectural plans.

5. Confirm that all reference maps for topographic information are consistent and use the same datum.
6. The General notes reference to the "City Engineer". Please revise.
7. The plans show adjustments to the existing gutter and roadway within North Peak Street, including installation of a retaining wall and storm drainage improvements within the existing cartway area.
 - a. The Borough Council must approve the construction of a retaining wall within North Peak Street right-of-way, *prior* to approval by the Planning Board. The Planning Board may not condition an approval upon a subsequent Borough Council approval.
 - b. The proposed retaining wall is provided so that access to Lot 9 is possible. The retaining wall is over 10 feet high and is used to extend North Peak Street so that Lot 9 can access the proposed driveway. This extension of North Peak Street and installation of the retaining wall must be pre-approved by Borough Council.
 - c. An existing inlet with 12" and 15" pipes was previously shown on the Minor Subdivision dated May 1, 2023, with the inlet noted to be removed. The proposed plans appear to have removed the 15-inch pipe and installed the proposed 10 ft high retaining wall over that area. The 12-inch pipe remaining is shown to be extended through the retaining wall. Explain how this will work and so as not to disrupt the drainage in the area.
 - d. A proposed manhole and the 12-inch pipe are shown north of the proposed retaining wall and daylight at the wall. It appears this pipe begins in Middletown Township and discharges in Highlands. The applicant is proposing to extend the pipe through the retaining wall on North Peak Street but there is no information on where the water originates and how much will be discharged through the retaining wall and onto Lots 8 and 9.
 - e. There is a wall-like feature at the end of the paved portion of North Peak Street. This must be shown on the plans and included in the proposed roadway and drainage improvements.
 - f. The proposed retaining wall elevations are not consistent with the existing grades and more information is needed. All retaining walls are large and insufficient information is provided to evaluate these.
 - g. Proposed grading is not shown on the north side of the proposed retaining wall on North Peak Street.
 - h. Off-street parking is determined by the number of bedrooms. Please provide.
 - i. We question vehicle access to Lot 9 by way of the proposed driveway, narrow roadway, and the proposed 10+ft high adjacent retaining wall. Access to Lot 9 will be in a space approximately 10 feet wide and next to a 10+ft. retaining wall.
8. The applicant previously demolished structures on both lots and performed clearing and some grading. The limit of grading/disturbance for the proposed improvements appears to comprise the entire property limits, including some off-tract elements.

The Applicant states, “The limit of disturbance was no greater than is being proposed and shown on the Soil Erosion and Sediment Control Plan. Proposed disturbance to adjoining property owners has been eliminated. Disturbance shall only occur on Lots 8 & 9 and within the Borough’s right-of-way.”

It appears the proposed limit of disturbance is no greater than the actual clearing line of what was previously removed. The limit of disturbance and tree clearing for the installation of the sanitary sewer extension is not fully shown on the plans. Please provide.

9. The applicant may not construct improvements in the rights-of-way without prior approval from Borough Council. The right-of-way at the rear of the site is 10-feet wide and within that area, the applicant is proposing a 6-inch sanitary sewer plus a retaining wall on the south side, plus a larger retaining wall on the north side which is needed to support the new dwelling. Between these two retaining walls is a sanitary pipe that is as shallow as 3.5 feet and as deep at 13 feet. The plans are not clear as to depth. Maintenance of the proposed sewer main is extremely difficult under these deep and narrow conditions.
10. The prior dwelling utilized a septic system. The location and disposition of this should be shown on the plans. The septic tank is shown on the Minor Subdivision Plan prepared by Thomas P. Santry, PLS. The Applicant must provide documentation from the Health Department that the system has been or will be properly removed.
11. An Existing Conditions Plan is requested to provide clarity for the site. Existing features are missing on the plans and the proposed plans are complex and difficult to differentiate the proposed and existing features.
12. The Applicant proposes to provide 4-inch sewer lateral connections at the rear of the dwellings to a 6-inch sanitary sewer line that is proposed to be constructed within the 10 ft right-of-way that decreases to a 6 ft wide right of way as it turns toward Valley Avenue, and then connects to an existing sewer manhole located in Valley Avenue. The Applicant has provided a plan and profile of the approximate 270 linear foot 6-inch sanitary sewer line with many cleanouts and two manholes.
 - a. The proposed sewer line is an off-tract improvement and therefore, a Major Subdivision, Major Site Plan and NJDEP TWA application are required.
 - b. The proposed sanitary sewer line is recommended to be an 8-inch diameter pipe, as we do not recommend that two dwellings share a 6-inch sewer line.
 - c. According to a note on the plan and profile sheet, the sewer extension route is based on Borough Topographic information (2’ contours) to an “approximately located” manhole. This route must be surveyed, with metes and bounds, to verify the locations of both R.O.W.’s and determine exactly where to connect to the manhole.
 - d. The retaining walls, including footings and other features, are to be shown on a profile to confirm clearances for the dwellings’ 4-inch service laterals. The laterals must pass through the proposed retaining wall in order to connect to the proposed sanitary pipeline. The top of the retaining wall on the house side is at elevation 131.5 and the bottom is at elevation 118.0. The wall is 13.5 feet high in the area of the sanitary sewer main. We find this unacceptable.

- e. There is a slope change shown on the profile between the lateral connections to the pipeline. Any change in slope must be provided by way of a manhole or the slope of the full length of the pipe must change.
 - f. The sanitary profile shows a series of cleanouts and pipe drops from the last manhole to the connection point in Valley Avenue. These cleanouts and drops are not acceptable and do not follow standard engineering practice. This entire length must be replaced with manholes.
 - g. The full extent, width and depth of the retaining walls must be provided to determine the full impact of the large and deep structure.
 - h. The plan indicates cleanouts for Lots 8 & 9 connecting directly to the sewer line. A service lateral connection is required.
 - i. Existing and proposed (fill) grading, although shown on the profile is not completely shown on the plan view. The plan also lacks grading between Lot 7 and the proposed retaining wall.
13. Cross sections C-C and D-D on Plan Sheet 6 of 8, Cut/Fill Cross Sections and Calculations should include both retaining walls (rear yard and North Peak Street). All cross sections are to show property lines so that a clear evaluation may be made of the impact of the walls.
14. The rear retaining wall is set at elevation 131.5 and supports the new houses which have first floor elevations of 143 and 145.2.
15. The Applicant has indicated the existing and proposed water, gas, and electric service connections for Lots 8 & 9.
- a. The existing water valve shown on the minor subdivision is not shown on Lot 9.
 - b. The proposed water and gas services for Lot 9 cross Lot 8. The water and gas services will need to be relocated or an easement placed on Lot 8.
 - c. The water service is proposed at 2 inches and is oversized for a single-family home. Why is the service line greater than 1 inch?
 - d. The electric service needs to be shown on the plans.
16. The Applicant is requested to document compliance with the Steep Slope Ordinance found at 21-84.B and provide calculations as required therein. In addition, means and methods for controlling velocity and rate of stormwater runoff shall be documented.

The Applicant has prepared a Steep Slope and Slump Block Permit Application report pursuant to Ordinance § 21-84.B.

- a. The report indicates that Lot 8 will require variances for the maximum lot coverage, maximum impervious surface area and maximum lot disturbance according to the steep slope requirements. Lot 9 will require variances for the maximum impervious surface area and maximum lot disturbance according to the steep slope requirements.
- b. The report refers to the 10-foot right-of-way as an easement. Please clarify or correct.

- c. Please indicate the project site on the Soil Map.
- d. The method for controlling velocity and rate of stormwater runoff is describe by the Applicant's Engineer's statement:

"Stormtech (SC-740) Chamber Systems will be installed in the rear yards of each property. The chambers will temporarily store roof runoff during a storm event to control the stormwater runoff. The bottom of the chambers are open and are installed on clean stone which allows the stored water to percolate into the ground, Roof leaders will be hard piped directly to the chambers. Details, size, and specifications may be provided upon request.

- e. The stormtech chambers will infiltrate water into the ground in an area of fill which is adjacent to the retaining wall that is 10 to 13 feet high. It is possible that the water infiltrated into the ground will cause hydrostatic forces on the adjacent retaining wall and may even follow the soil line between in situ soils and the fill soil needed to raise the rear yards 10+ feet. It is recommended that soil testing be conducted to verify that the water will not travel along the old ground surface (under the fill) and undermine the retaining walls.
- f. No storm analysis was provided for the stormtech chambers. There is no stormwater analysis or storm event size provided for the site. It is unknown what storm event can be handled by the chambers and what the extent of overflow will be. Any overflow will be toward the retaining wall at the rear.
- g. The applicant must provide soil testing and a geotechnical analysis and design of the retaining walls and the stormtech chambers and determine how all these improvements impact each other and the surrounding area.
- h. There is an elevation change of 50 feet between the first-floor elevation of Lot 8 and the bottom of the sanitary lateral in the right of way. The slopes and elevations and proposed conditions on this site are of concern and the applicant must provide specialized engineering and analysis to assure proper stability.
- i. The grading at the front of the lots is toward the houses. Of particular concern is the existing pipe discharging from Middletown Township and through the proposed 10 ft. high retaining wall in the North Peak Street right-of-way. The water from the pipe flows toward the houses and the proposed grading is also toward the houses. It then is diverted to a swale between the two houses and flows toward and over the 13.5 ft high retaining wall at the rear of the site.
- j. In regard to the retaining walls, we note that walls provided by Garden State Precast are proposed. Generally, these walls are masses of weight which use a wide base to provide the needed stability. Therefore, these walls are very wide and will use a lot of area underground. This is of particular concern in the area of the sanitary sewer main. Per the plans, about 2 feet of space is available between the sewer main and the outer edge of the retaining wall.
- k. The above concerns, although directed at the two proposed lots, are also of concern to the surrounding lots. The applicant must analyze the impact of uncontrolled surface runoff from this site onto all surrounding and downstream properties.

Completeness Review No. 4
 Home & Land Development Corp.
 14 & 32 North Peak Street
 Block 35, Lots 8 & 9
 Borough of Highlands, Monmouth County, New Jersey
 Our File No.: HLPB2022-10
 Page 10 of 10

17. The Applicant is seeking a waiver for an Environmental Impact Report as required in §21-84B Steep Slope and Slump Block. We do not recommend a waiver based on our many concerns commented upon above.
18. We also note that the proposed retaining wall is very close to the existing retaining walls for Lot 7. The proposed height of the retaining wall in the south corner of Lot 8 is 7.7 ft higher than that of the existing retaining wall on Lot 7.

 More information is required to determine the impact the new retaining walls will have on the existing dwellings and walls.
19. Should this application be approved, a performance guarantee will be required for all improvements in the right of ways. Additionally, detailed engineering designs are required, and fully designed and detailed plot plans are required prior to issuance of any building permits.
20. Additional construction details are required. Construction details should be placed together for easier reference.
21. It is understood that the site was cleared. Tree permits were approved in September 2021. Tree replacement may be required according to § 22.1.8 Tree Replacement Requirements, Ordinance O-24-04. Tree clearing will be necessary for the proposed installation of the sewer extension.
22. Approval of this application will be conditioned upon the Applicant obtaining approved documents from the Freehold Soil Conservation District.

VI. CONCLUSION

The Applicant requires a Major Subdivision Plan, Major Site Plan and an NJDEP Treatment Works Approval, and revised plans and reports must be submitted.

Should you have any questions, please do not hesitate to contact me.

Very truly yours,



Carmela Roberts, P.E., C.M.E., C.P.W.M.
 Land Use Board Engineer

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