

# BOROUGH OF HIGHLANDS LAND USE BOARD REGULAR MEETING

151 Navesink Ave. - Court Room Thursday, July 10, 2025 at 7:00 PM

#### **AGENDA**

Please be advised that the agenda as shown may be subject to change. This meeting is a quasi-judicial proceeding. Any questions or comments must be limited to issues that are relevant to what the board may legally consider in reaching a decision and decorum appropriate to a judicial hearing must be maintained at all times.

**CALL TO ORDER:** The chair reserves the right to change the order of the agenda.

#### **PLEDGE OF ALLEGIANCE**

**OPEN PUBLIC MEETING STATEMENT:** As per requirement, notice is hereby given that this is a Regular Meeting of the Borough of Highlands Land Use Board and all requirements have been met. Notice has been transmitted to the Asbury Park Press and the Two River Times. Notice has been posted on the public bulletin board. Formal Action will be taken.

#### **ROLL CALL**

**OPEN FOR PUBLIC COMMENTS:** General Questions or Comments not pertaining to Applications

#### **APPROVAL OF MINUTES**

1. June 12, 2025 LUB Meeting Minutes

#### **RESOLUTIONS**

- 2. Memorializing LUB25-07: 125 Bay Ave LLC 125 Bay Ave., B46 L4 Change of Use
- 3. Memorializing LUB25-08: Bay Ave. Property Management LLC 181 Bay Ave., B59 L11.01 Change of Use

#### **HEARINGS ON NEW BUSINESS**

- 4. LUB25-09: Pahler 35 Miller St., B54 L13 Variance
- 5. LUB24-02: Cahill Amended Application

#### **ADJOURNMENT**

Board Policy: • All meetings shall adjourn no later than 10:00 P.M. unless a majority of the quorum present at said hour vote to continue the meeting to a later hour. • No new hearing shall commence after 9:15 P.M. unless the Chairperson shall rule otherwise. • The Chair may limit repetitive comments or irrelevant testimony and may limit the time or number of questions or comments from any one citizen to

ensure an orderly meeting and allow adequate time for members of the public to be heard.



Borough of Hig

151 Navesink Ave.
Highlands, NJ 07732
(732) 872-1224
www.highlandsnj.gov

## LAND USE BOARD APPLICATION

FOR OFFICIAL USE	
Date Rec'd: 64203 Application #:	UB25-09 Fee: CH 1917 500.00
Escrow: 0 1918 1000.00 Escrov	
1. APPLICANT  Name: Edward & Lovi Pahler  Address: 30 Miller Street  City: Highlands State: NJ Zip: 07737  Phone:	2. OWNER Name: Same as applicant Address:
Email: _	Email:
Relation to property: OWNEW	
3. TYPE OF APPLICATION (Check all that apply)	
<ul> <li>Minor Subdivision</li> <li>Major Subdivision – Preliminary</li> <li>Major Subdivision – Final</li> <li>Minor Site Plan</li> <li>Major Site Plan – Preliminary</li> <li>Major Site Plan – Final</li> <li>Variance</li> <li>Use Variance</li> </ul>	<ul> <li>Appeal – Zoning Denial date</li> <li>Appeal – Land Use Decision date</li> <li>Informal Concept Plan Review</li> <li>Extension of Approval</li> <li>Revision/Resubmission of Prior Application</li> <li>Other</li></ul>
4. PROPERTY INFORMATION  Block 54 Lot(s) 13	Address: 35 Miller Street
Lot size 25' x 80' # of Existing Lots	
	ons or Easements? X No
Has the property been subdivided?	
Property taxes paid through	Sewer paid through
5. ATTORNEY (A corporation, LLC, Limited Partnership,	
Address:	
Phone:	Fmail:





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6. APPLICAN	T'S OTHER PROFESSIONAL(S) – Enginee	er, Planner, Architect, etc.	
Name: Mov	gan Engineering	Name: Jame	es T. Daley Archit
Address: 13	o central Avenue		5 FIRST AVENUE
Island	Heights, NJ 0873	2 Keypa	ort, NJ 07735
Phone: 73	32-270-9690		-739-2684
Email: dan	iel@morganenginee	ring Email: 94m	reedaily@aol.com
7. LAND USE	110000		
	HISTORY –Describe in detail, nature of prions for this site (attach copy of resolution		
Multic	use building Firest	constructed	in 1913. In 1930
John &	Angelina Azzolina	opened a	Deli and lived
upstain	d. The property co	utinued Mi	xed-use through
the 1	960's. From that s used as a (3	+ time up u	util recently
it wa	s used as a (3	) Family v	esidence. During
the p	east mouth all bu	ilding improv	not limited to: 1) portion to be vewer osed; 5) landscaping; 6) hours of
B. PROPOSED (	PLAN —Describe in detail, proposed use fo	r property, including, but	not limited to: 1) portion to be
operation; 7) ty	pe of goods/services; 8) fire lane. Attach	additional sheets if neces	sary.
Const	ruct new house	For primar	y residence
47,91			
	· S and		
C. ADDITIONAL	L INFORMATION:	Existing	Proposed
Residential:	How many dwelling units?	Ø	l
	How many bedrooms in each unit?		2 /2
	How many on-site parking spaces?		3
Commercial:	How many commercial uses on site? How many on-site parking spaces?		



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## 8. VARIANCE REQUESTS Complete section(s) related to the relief being requested.

	Req'd	Exist.	Prop'd	
Minimum Lot Requirem	ents			
Lot Area	4000		2000	
Frontage	50		25	
Lot Depth	15		80	
Minimum Yard Requirer	nents			
Front Yard Setback	20		15	1
2 <sup>nd</sup> Front Yard Setback				
Rear Yard Setback	20		10	1
Side Yard Setback, right	4		3	
Side Yard Setback, left	3		3	
Building Height	32.5		32.5	

	Req'd	Exist.	Prop'd
Accessory Structures			
Fence/Wall Height			
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			-
Parking Requirements			
On-site Parking Spaces	2		3
Other (please add)		× .	
			1

9. UTHER RELIEF RE	QUESTED Please spe	city relief(s) and explain	below.	
Building	Coverage	(Required	= 33%) (Propo	SO = 53.2%

Item 4.



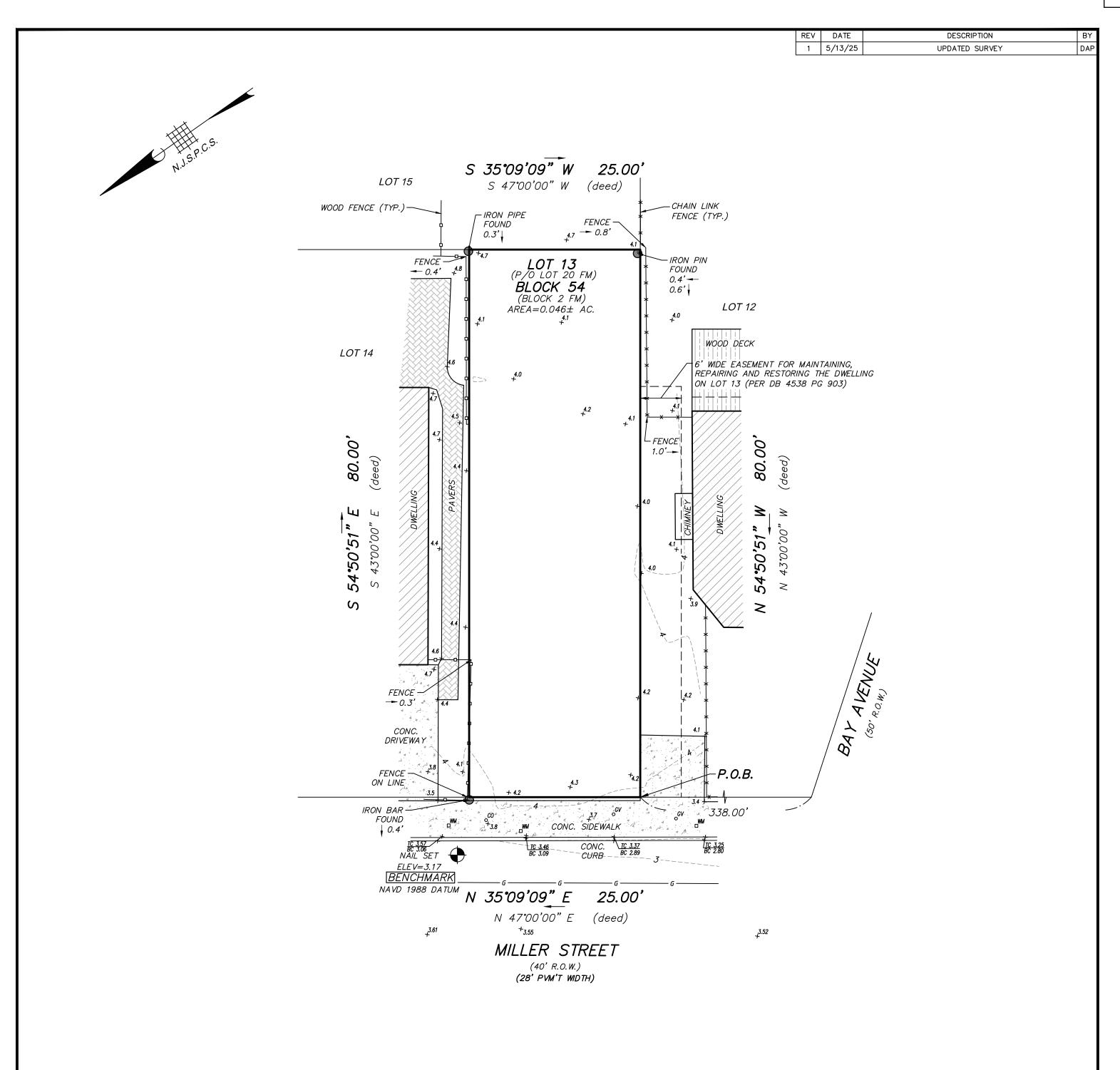
Borough of Highlanus 151 Navesink Ave. Highlands, NJ 07732 (732) 872-1224 www.highlandsnj.gov

#### 10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

	11		
SWORN & SUBSCRIBED to before me this		$\rightarrow$ , ,	_
day of June 2025 (year) Signature	e e m	Date	
Edward F. Po	Mer m		
THE SOUND IN			
11. NOTARIZED CONSENT OF OWNER			
I certify that I am the Owner of the property which is the subject of this application application and approval of the plans submitted herewith. I further consent to the connection with this application as deemed necessary by the municipal agency (if must be attached authorizing the application and officer signature).	inspection of this	property in	
	///		
SWORN & SUBSCRIBED to before me this  day of Company (year)  Signature	1160	) 6/4/20 Date	25
Print Full Name	ably M	-	
12A. DISCLOSURE STATEMENT circle at that apply.			
Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:			
Is this application to subdivide a parcel of land into six (6) or more lots?	Yes	(No)	
Is this application to construct a multiple dwelling of 25 or more units?	Yes		
Is this an application for approval of a site(s) for non-residential purposes?	Yes	No	
Is this Applicant a corporation?	Yes	No	
Is the Applicant a limited liability corporation?	Yes	222	
Is the Applicant a partnership?	Yes	No	
If you sizeled VES to any of the above please complete the following Ownership Di	-1	. /	

If you circled **YES** to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).



## PREPARED FOR: EDWARD PAHLER III

## NOTES:

- 1. PROPERTY IS LOCATED IN FLOOD ZONE AE ELEV. 11 AS SHOWN ON EFFECTIVE FIRM #34025C0088H, DATED 6/15/2022.
- 2. ALL ELEVATIONS ARE IN NAVD88 DATUM THROUGH GPS OBSERVATIONS USING LEICA RTK GPS NETWORK.
- 3. BOUNDARY AND PHYSICAL FEATURES TAKEN FROM A PLAN ENTITLED "SURVEY OF PROPERTY PREPARED FOR SOLAR POWERED LLC, 44 MILLER STREET, LOT 7.01 - BLOCK 58, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY CHARLES SURMONTE, P.E. & P.L.S., DATED 12/05/24.

Filed Map Reference:	Filed Map Block:	Filed Map Lot:	Filing Date:	Filed Map No.
MAP OF LOTS AT THE HIGHLANDS OF NAVESINK	2	P/0 20	10/16/1873	26-6

## IMPORTANT NOTES, PLEASE REVIEW:

- I DECLARE THAT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THIS MAP OR PLAN MADE ON 4/3/25 BY ME OR UNDER MY DIRECT SUPERVISION IS IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
   THIS SURVEY DOES NOT PURPORT TO IDENTIFY BELOW GROUND ENCROACHMENTS, UTILITIES, SERVICES LINES OR STRUCTURES, WETLANDS, OR RIPARIAN RIGHTS. NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THE PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS. ENVIRONMENTALLY SENSITIVE AREAS, IF ANY ARE NOT LOCATED BY THIS SURVEY.
   OFFSET DIMENSIONS FROM STRUCTURES TO PROPERTY LINES SHOWN HEREON ARE NOT TO BE USED TO REESTABLISH PROPERTY LINES.
   THIS SURVEY IS SUBJECT TO CONDITIONS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE, SUBJECT TO RESTRICTIONS AND EASEMENTS RECORDED AND/OR UNRECORDED.
   PROPERTY CORNERS HAVE NOT BEEN SET AS PER CONTRACTUAL AGREEMENT. (N.J.A.C. 13: 40-5.1(D))

DB OR-9393 PG 8126



DAVID J. VON STEENBURG

PROFESSIONAL LAND SURVEYOR N.J. LIC. No. 34500

P.O. BOX 5232 TOMS RIVER, N.J. 08754 TEL: 732-270-9690 FAX: 732-270-9691

www.morganengineeringllc.com

# **BOUNDARY AND TOPOGRAPHIC SURVEY**

**LOT 13** 

**BLOCK 54** 

**BOROUGH OF HIGHLANDS** 

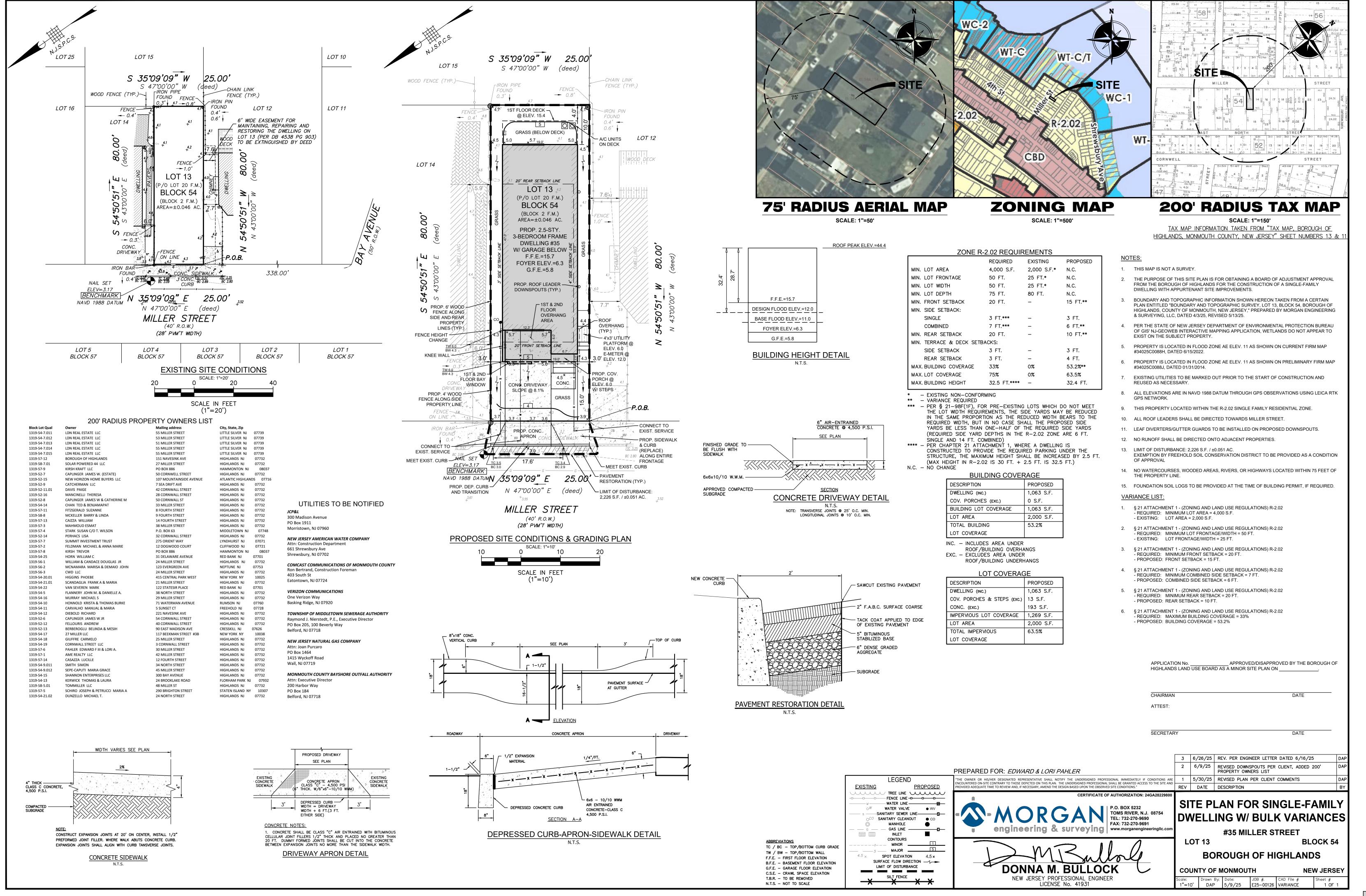
**NEW JERSEY COUNTY OF MONMOUTH** CAD File # Sheet # Drawn By: Date: JOB #. 4/3/25 DVP E25-00126 TOPO 1 OF 1

LEGEND

CO CLEANOUT GM GAS METER GV GAS VALVE

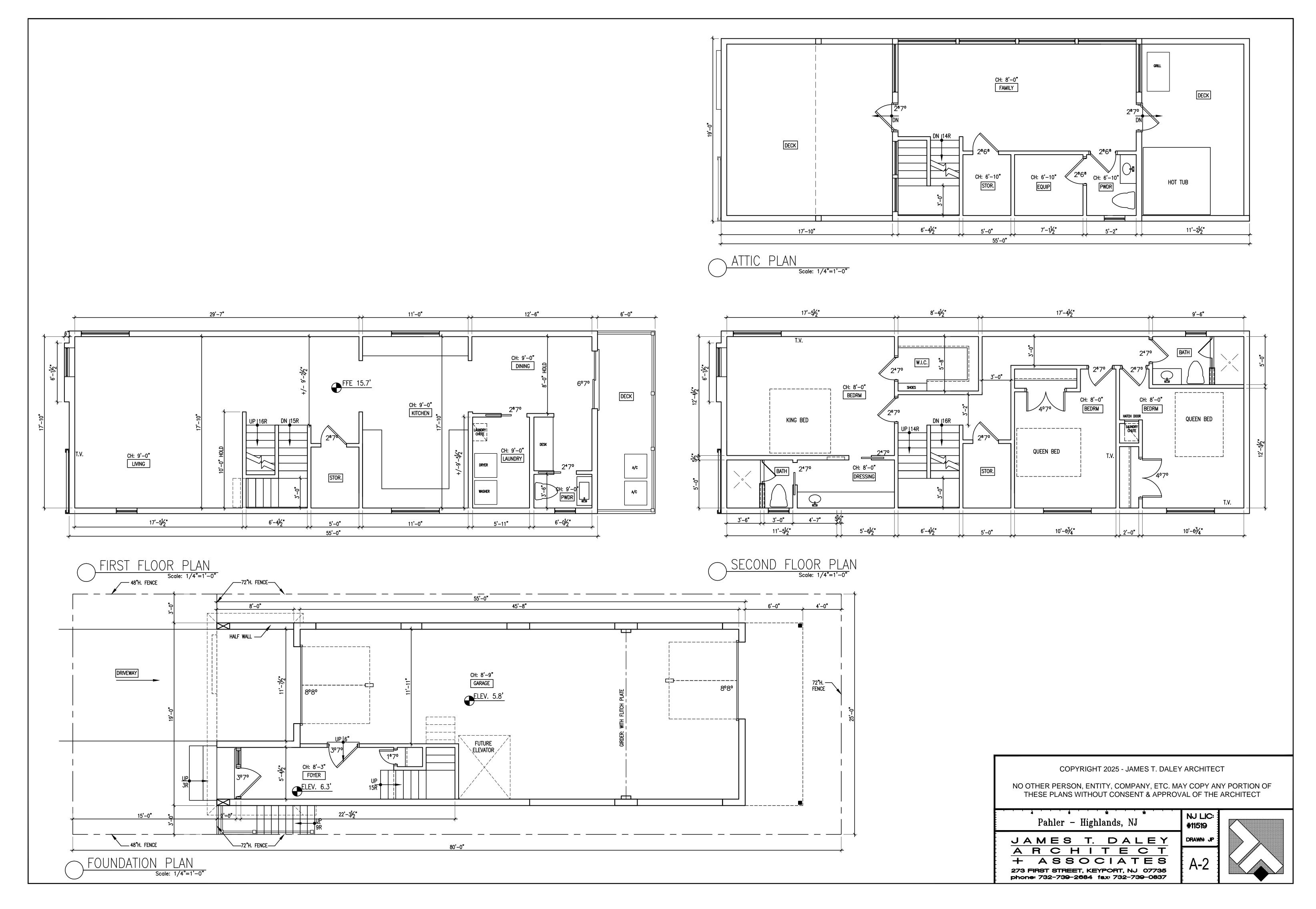
MW MONITORING WELL LIGHT POLE UTILITY POLE

WM WATER METER WV WATER VALVE ICV IRRIGATION CONTROL VALVE



9

			+				
PROJECT NOTES	All notes below apply to this project e <del>xcer</del>	ot—those sections marked with an "X": 🔀	SITE PLAN		Nota	Цоло	
GENERAL NOTES	CONSTRUCTION NOTES	CONCRETE NOTES				House ruction	
CODES & STANDARDS: All work shall conform with the requirements of the N.J.U.C.C., IRC 2021 NJ Edition, National Electric Code, National Plumbing Code, N.F.P.A. recommendations, O.S.H.A., and all local codes and ordinances applicable to this project. Construction documents are in compliance with ASCE 24.	MATERIAL SELECTION: Unless noted otherwise, all new finishes, doors, hardware, trim, siding, roofing, coverplates, switches and all other exposed installations shall match existing. The Contractor shall verify all material selections with the Owner. In advance of material procurement and installation, provide samples for all exposed	STRENGTH: All concrete shall be controlled stone type with a minimum ultimate compressive strength of 3000 PSI for footings and 4000 PSI for slabs. All concrete shall comply with current A.C.I. requirements.				or	
CLARIFICATIONS: Prior to submitting a bid, the contractor shall become familiar with the project by careful inspection of the site and construction documents. Should any error, omission, ambiguity or discrepancy exist on the drawings which the contractor might reasonable	installations to the Owner for review, selection and approval of color, texture, shape, etc.  SYSTEMS: It shall be the responsibility of the contractor to hire auglified individuals to assess the existing building systems and to	REINFORCING shall be new, high grade billet steel deformed bars in accordance with ASTM—A—615 grade 60. Intermediate grade permissible for ties. Installation shall conform to A.C.I. Manual of Standard Practices. The length of reinforcing splices be 40 bar diameters minimum.			Ed & Lc	ori Pahler	<b>7</b>
be expected to detect, the same shall be brought to the attention of the Architect for correction or clarification prior to proceeding with the work involved. Any work that proceeds otherwise shall, if incorrectly	he design and install all modifications/upgrades to the electrical, plumbing, mechanical and fire protection systems. The heating system shall be capable of maintaining inside temperature of 75 degrees F when the	WOOD NOTES					•
performed, be replaced or repaired at no additional cost.  DIMENSIONS: The Contractor shall not scale off the drawings; written dimensions shall govern. Dimensions given are nominal unless indicated otherwise. All dimensions and conditions shall be verified in the field be	outdoor temperature is 0 degrees F and the wind velocity is 15 mph.  The cooling system shall capable be of maintaining 78 degrees F when the outdoor temp. is 92 degrees F. All piping shall be protected from freezing. The Contractor shall coordinate with the Owner the quantity	GRADE: All lumber for framing shall be Douglas Fir Select Structural Grade or better clearly stamped and graded.  BLOCKING: Provide solid bearing under all joists, beams and posts.				er Street	
the Contractor and any discrepancy brought to the attention of the Architect. Where a door or a window is drawn near a corner and no dimension is given, offset the opening enough to accommodate the full	Relocate all existing meters, service connections, hose bibs, and other utility features to be affected by the work.	Provide solid blocking above sill plate below all posts.  DOUBLE FRAMING shall be provided around all openings through walls, floors and roofs and under all tubs and partitions parallel with			півшаі	nds, NJ	
width of trim, minimum 4". Where elements are drawn centered in a space or opening, they shall be centered when installed. All corridors, stairs and clearance between counters and other built—ins shall be 36" minimum. All closets, unless noted otherwise, shall be 24" deep.	CENTERING: Unless noted otherwise, all beams/girders/headers shall be centered on the posts/columns which support them, and all posts/columns shall be centered on their footings.	walls, floors and roofs and under all tubs and partitions parallel with the direction of framing.  HEADERS: provide (2)2x10 min. header for all wall openings 6'-0" wide or less, unless otherwise noted. All headers and beams spanning 6'-0"			Lot# 13	Block#	54
QUALITY: All work shall be performed in a workman—like manner.  Match and align all surfaces where applicable to afford a finished, neat appearance. All existing surfaces and equipment shall be protected and any damage to such caused by the work shall be patched/repaired suc	shall be vented whereby the minimum net area of ventilation openings	or more shall bear on a minimum of (2) 2x members.  TJI's (I—joists or engineered joists): Use web stiffeners, squash blocks,				•	
Contractor shall clean all dirt and refuse caused by the work.  INFERENCE: All work that is either implied or reasonably inferable	ROOF DRAINAGE: Connect all leaders to existing underground storm water system. If no system exists, install new system to conduct storm	DETAILS: Set all beams and joists natural camber up. No structural valleys are to be formed unless noted otherwise. Members shall not be drilled or notched excessively (see code for limitations on notching			ADDITION NO ADI		
from the contract documents shall be the responsibility of the contractor and a reference to any work by mention, note, detail or implication indicates the contractor shall perform a complete installation of such work. All equipment, fixtures and other devices shall be fully installed and shall be made fully operational and warranteed when the job is complete.	ROOFING: All roofing materials shall be provided by a single roofing manufacturer. All penetrations through roof and interruptions of roof shall be flashed and counterflashed. Asphalt shingle roofing shall be min. 235 lb per square with a UL Class A fire rating and shall be self	lumber and manufacture's data for limitations on notching composite wood members). The minimum distance from grade to untreated lumber is 8". Provide metal joist and beam anchors, hangers, braces and connectors at all points of flush and suspended framing (products by Simpson, Teco or equal). Use hurricane anchors at all roof—to—wall connections, all wall—to—foundation connections, and all other			APPLICATION NO. APP BOROUGH OF HIGHLANDS I SITE PLAN ON / /	PROVED/DISAPPROV LAND USE BOARD	
SAFETY: Take full precaution to protect workers, passerby and adjacent property from any hazards caused by the work. Provide all fences, barricades and security as may be required to protect life and property. The Contractor shall protect all construction and materials	sealing. Provide 35 year manufacturer's warrantee on roofing and underlayment. Install Ice and Water Shield at all valleys, eaves & at all roof edges: 2' inward from face of wall below.	connections as required by code. For composite wood girders, provide bearing as per manufacture's recommendations. Where girders are noted to be "flush", the bottom of girder is to align with the bottom of adjacent joists. Size, number and location for all nailing and other					
from weather, vandalism, and theft. The Contractor shall be solely responsible for all property and personal damage or injury resulting from the conduct of the work and shall indemnify and save the Owner and the Architect harmless from all claims for loss of or damage to proper	STEEL COLUMNS: All new steel columns and all existing steel columns	connectors shall be as per building code.			CHAIRPERSON		DATE
or personal injury or death of any and all persons arising out of the w of this Contract.	GYPSUM BOARD: All exposed gypsum board surfaces shall be taped, spackled, sanded, primed and painted two coats minimum.	CTAID NOTES (DESIDENTIAL)			SECRETARY		DATE
COORDINATION: The Contractor shall be responsible for the coordination of the work of all subcontractors. The Contractor shall be responsible for the coordination of the work of this contract with the work of any other contractors hired separately by the Owner.	FLOORING: Contractor shall install new floor finish to all new floor areas. Where not indicated on drawings, verify type and quality level with Owner.	STAIR NOTES (RESIDENTIAL)  1. Stair to be minimum 36" wide. 2. Adjacent treads and adjacent risers shall not vary more than 3/16" 3. Tread depths and riser heights shall not vary more than 3/8" over			SECKETART		DATE
MATERIALS, products and equipment shall be new, standard, and of good quality, and all workmen and subcontractors shall be skilled in their trades. All products shall be installed in accordance with the manufacturers' written directions and/or recommendations.	CLOSETS: All closets shall be provided with a wood rod and a wood shelf.	the entire stair. 4. Guardrails at stair openings shall be 36" high min. 5. Max. rise between floors/landings to be 12'-0". 6. Guardrail balusters to spaced as to not permit the passage of an object 4" in diameter.					
PERMITS: The Contractor shall obtain and pay for all permits, fees, bonds and inspections. The Contractor shall make all arrangements for inspections. The Contractor shall file all required certificates of insurance.	DEPTH: Bottom of all footings shall be minimum of 3'-0" below finished grade. If footings are stepped, the line of the footing shall be sloped not more then one foot vertical to two feet horizontal. Footings shall be formed to their full depth.	7. Handrails shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater then 2". Provide handrails on both sides of stairs.  8. All exterior stairs three risers or more shall have a footing					
CLEAN—UP: At the completion of the project the Contractors shall remove all rubbish from the site and leave the building broom clean.  DEMOLITION NOTES	SOIL: All footing design is based on a presumptive soil bearing capacity of 2000 PSF, minimum. If conditions encountered under all or part of the footings do not allow such bearing capacity, notify Architect for redesign. Footing shall be on undisturbed virgin soil, free of frost. If required, provide stone or concrete fill under the supervision of a N.J.	CEILING ABOVE					
STRUCTURAL INTEGRITY: The Contractor shall determine the direction of framing before removing any walls. If a wall is determined to be bearing and new structural support is not indicated on the	Registered Geotechnical Engineer.	<b>+</b>			İ		
drawings, notify Architect for additional design. Where structural support is to be removed, temporary shoring/bracing or new structural elements shall be added such that the structural stability and integrity the building is maintained at all times.	FILL SOLID with concrete all block cells below grade. Also fill solid all	HANDRAIL					
ORDER: All demolition work shall be done carefully, neatly and in a systematic manner. Debris shall be removed regularly as the job proceeds such that it does not accumulate on the site.	cells where anchors occur, and entire top course.  HORIZONTAL JOINT REINFORCING ("dur-o-wall") shall be provided for full thickness of walls as follows:	1" 0"			İ		
UTILITIES: Remove or relocate all wiring, plumbing, ductwork and mechanical equipment affected by the demolition. Pipes to be removed shall be cut to a point of concealment behind or below finished surface and shall be properly capped or plugged.	for full thickness of walls as follows: at 16" o/c vertical spacing, (every other block course); and provide at every course from top of footing to top of slab or grade level, whichever is higher; and provide at every course for two courses above and below all masonry wall openings, extending 3'-0" beyond opening in each direction; and provide at every course for 5'-0" in each direction at all corners.	MIN.   WOSING MIN.   CLOSED RISER					
WEATHER: The contractor shall provide adequate weather protection for the building and its contents during the course of the work. All openings in walls and roof shall be protected from all forms of water a weather penetration.		**************************************					
weather penetration.		' <u>TYP. STAIR DETAIL</u>			COPYRIGHT 2025 - JAI	MES T. DALEY ARCHITECT	Γ
					NO OTHER PERSON, ENTITY, COMP. THESE PLANS WITHOUT CONSE	•	
_	BUILDING/SITE CHARACTERISTICS		ZONING ZONE: R-2.02 LOT: 13	BLOCK: 54			SEAL
A-1 TITLE/NOTES  A-2 FOUNDATION THRU 3RD FL. PLANS	1.NUMBER OF STORIES2.52.HEIGHT OF STRUCTURE32.5 FT.3.AREA - LARGEST FLOOR1,063 SQ. FT.		REQUIRED EXISTING PROPOSED  LOT AREA 4,000 SF 2,000 SF N.C.  PRIMARY LOT FRONTAGE/WIDTH 50 FT 25 FT N.C.  PRIMARY LOT DEPTH 75 FT 80 FT N.C.	COMMENTS	MAY 29, 2025 FOR ZONIN	LIMINARY REVIEW ONLY ING REVIEW ING APPROVAL	NJ LIC #11519
A-3 ELEVATIONS	4. NEW BUILDING AREA 1,063 SQ. FT. 5. VOLUME OF NEW STRUCTURE 19,816 CU. FT.		PRIMARY FRONT YARD SETBACK   20 FT     15 FT		, TON ZOMI		
FOR INT. WALLS: 1/2" GYP. BD. EACH SIDE OF 2X4 STUDS @ 16" O.C. (EXCEPT AS NOTED) -	6. CONSTRUCTION CLASSIFICATION VB 7. TOTAL LAND AREA DISTURBED 1,627 SQ. FT. 8. FLOOD HAZARD ZONE AE-11 9. BASE FLOOD ELEVATION BFE 12.0 (FFE 15.7 FT.)		PRIMARY SIDE YARD SETBACK 3/4 FT 3/3 FT BOTH SIDE YARD TOTAL-MIN. 7 FT 6 FT REAR YARD SETBACK 20 FT 10 FT DECK/STAIR SETBACK - SIDE 3 FT 3 FT				
FOR EXT. WALLS SEE SECTION  NEW FOUNDATION CONSTRUCTION — REFER TO PLANS.	10. WETLANDS YES  NO X  11. MAX. LIVE LOAD 55 PSF.	_	DECK/STAIR SETBACK - REAR3 FT4 FTBUILDING COVERAGE-MAX.33%53.2%LOT COVERAGE (IMP)-MAX.75%63.5%		4 8 2	* NJ LIC:	
EXISTING DOOR TO REMAIN	12. MAX. OCCUPANCY LOAD  49 PERSONS  13. USE GROUP:  RESIDENTIAL		BUILDING HT. 32.5' 32.4'	MEASURED OFF 11.0 BFE + 1' (12) + 2.5' GARAGE BONUS	Pahler - Highlands, NJ	#11519	
NEW DOOR - NUMBER REFERS TO DOOR SIZE  BATH SPACE NAME.	14. WIND SPEED (PER ICC MAPS & ASCE 7):  120 MPH UP-LIFT RATING 15. EXPOSURE CATEGORY: 'B' IN COMPLIANCE WITH ASCE 7		ACCESSORY BUILDING: N/A		JAMES T. DAI ARCHITE + ASSOCIAT	CT	
	15. EXPOSURE CATEGORY: 'B' IN COMPLIANCE WITH ASCE 7  16. SNOW LOAD (PER IBC&ASCE 7025): 30 PSF.		REAR YARD SETBACK —  ONE SIDE YARD SETBACK—MIN. —  BUILDING HT / STORIES—MAX. —		T A S S O C I A I 273 FIRST STREET, KEYPORT, NJ phone: 732-739-2684 fax: 732-73	J 07735	







June 16, 2025

I670 Whitehorse-Hamilton Square Rd. Hamilton, New Jersey 08690 609-586-II41 fax 609-586-II43 www.RobertsEngineeringGroup.com

Nancy Tran Land Use Board Secretary Borough of Highlands Land Use Board 151 Navesink Avenue Highlands, New Jersey 07732

Re: Completeness Review No. 1

Applicants: Edward and Lori Pahler

Block 54, Lot 13 35 Miller Street

Borough of Highlands, Monmouth County, New Jersey

Our File No.: HLPB25-09

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The Applicant seeks to construct a  $2 \frac{1}{2}$  story single-family dwelling on an existing vacant lot on which a multi-family dwelling recently stood. The proposed residential building will consist of three (3) bedrooms with site improvements and 3 parking spaces (garage under (2) and driveway).

The residential building is situated on a 2,000 sf (0.046 Ac) lot in the R-2.02 Single Family Residential District and in the AE Flood Hazard area.

The Applicant has submitted a Variance Plan consisting of zoning information, proposed dwelling, deck, covered porch, driveway, utilities, grading and other site improvements. There are several bulk variances, and there are a number of site improvements that are required to be addressed under Minor Site Plan.

Minor Site Plan checklist items and some general comments have been provided below by this office.

We have reviewed the following documents submitted in support of the above referenced application for completeness purposes:

- 1. Copy of the Land Use Board Application dated June 4, 2025.
- Copy of a plan entitled, "Boundary and Topographic Survey, Lot 13, Block 54, Borough of Highlands, Monmouth County, New Jersey", prepared by Morgan Engineering, signed and dated April 3, 2025
- Copy of a plan entitled, "Variance Plan for Single-Family Dwelling, #35 Miller Street, Lot 13, Block 54, Borough of Highlands, Monmouth County, New Jersey", prepared by Morgan Engineering, signed and dated May 9, 2025
- 4. Copy of a set of architectural plans entitled, "New House Construction for Ed & Lori Pahler, 35 Miller Street, Highlands, NJ, Lot# 13, Block# 54" prepared by James T. Daley Architect + Associates, unsigned and last issued date of May 29, 2025. 3 sheets.

We offer the following comments and recommendations for the Land Use Board's consideration:

#### I. ZONING

- 1. This property is located in the R-2.02 Single Family Residential District.
- The proposed single-family residential dwelling is a permitted use.

Block 54, Lot 13 35 Miller Street

Borough of Highlands, Monmouth County, New Jersey

Our File No.: HLPB25-09

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3. The Applicant requires six (6) bulk "c" variances for lot area, lot frontage/width, minimum front setback, side yard setback, rear yard setback, and maximum building coverage. To be entitled to bulk "c" variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuance to N.J.S.A 40:55D-70c.

The Applicant will be required to provide proof during testimony.

4. The following bulk requirement summary is provided for the Board's reference.

Schedule I - Bulk and Area Requirements					
R-2.0	2 Single Fami	ly Residential Dist	rict		
	Required	Existing	Proposed	Variance	
Min. Lot Area (sf)	4,000	2,000(1)	2,000	Yes <sup>(1)</sup>	
Lot Frontage/Width (ft)	50	25.00(1)	25.00	Yes <sup>(1)</sup>	
Lot Depth (ft)	75	80.00	80.00	No	
Min. Front Yard Setback (ft)	20(2)	0	±15.0	Yes	
Min. Side Yard Setback (ft)	6/8 3/4 <sup>(3)</sup>	0	3/3(3)	Yes-1	
Min. Rear Yard Setback (ft)	20	0	10	Yes	
Max. Building Height (ft) (4)	30	0	32.4	No	
Max. Lot Coverage (%)	75	0	63.5	No	
Max. Building Coverage (%)	33	0	53.2	Yes	
Min. Deck/Stairs Setback (ft)	3	0	3	No	
On-Site Parking (spaces)	2	0	3	-	

- (1) Existing non-conformity
- (2) Or the average of the existing front yard setback within two hundred (200) feet in the same block and zone, per § 21-79.B.
- (3) Please see Comment No. 5.
- (4) Where a dwelling is constructed or reconstructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half feet.
- According to §21-98.F.1, Pre-existing nonconforming vacant lots may be used for single-family residential purposes; and single-family or two-family uses on pre-existing nonconforming lots may be enlarged, if the following requirements are met:
  - (a) The proposed use will be a new single-family dwelling or the enlargement of an existing single-or two-family use. A single-family dwelling shall not be converted to a two-family dwelling. New singlefamily dwelling.
  - (b) (Reserved)
  - (c) There is no available vacant land abutting the lot. None.
  - (d) The lot either provides off-street parking or the proposed enlargement includes the provision of off-street parking. Proposed On and Off-street parking.
  - (e) The building and lot coverage will not be exceeded. This proposal exceeds building coverage. The Applicant is requesting a variance.

Block 54, Lot 13 35 Miller Street

Borough of Highlands, Monmouth County, New Jersey

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- (f) For lots which do not meet the lot width requirements, the side yards may be reduced in the same proportion as the reduced width bears to the required width, but in no case shall the proposed side yards be less than one-half of the required side yards. This proposal does not meet the side yard. The Applicant is requesting a variance.
- (g) For lots which do not meet the lot depth requirement, the front and rear yards may be reduced in the same proportion as the reduced lot depth to the required lot depth, but in no case shall the proposed front yard be less than the smallest front yard allowed under § 21-79B nor the proposed rear yard be less than eighty (80%) percent of the required rear yard for the zone. Not applicable.

The Applicant will be required to provide proof during testimony.

#### II. CHECKLIST ITEMS

- 1. Date, name, location of site, name of owner, scale, and reference meridian. Provided.
- 2. Area of the lot and all lot line dimensions and bearings. Provided.
- The location of all existing watercourses, wooded areas, easements, rights-of-way, streets, roads, highways, rivers, buildings, structures, and any other feature on the property and within seventy-five (75) feet of the property line. Partially provided.
- 4. Location, use and ground floor area of all existing and proposed buildings, with the building setback, sideline, and rear yard distance. **Provided.**
- 5. Elevations at the corners of all proposed buildings and paved areas and at property corners if new buildings or paved areas are proposed. **Provided.**
- 6. The location and widths of existing and proposed streets servicing the site plan. **Provided.**
- 7. Specifications for and location of proposed surface paving and curbing. Partially provided.
- 8. Location of all structures within seventy-five (75) feet of the property. Partially provided.
- 9. Location of off-street parking areas, with dimensions, showing proposed parking and loading spaces, with dimensions, width of proposed access drives and aisles and traffic circulation. **Not applicable.**
- 10. Stormwater management and sanitary sewer reports, including proposed storm drainage and sanitary disposal facilities; specifically, the location, type and size of all existing and proposed catch basins, storm drainage facilities, utilities, plus all required design data supporting the adequacy of the existing or proposed facilities to handle future storm flows. Please see General Comment No. 11 below.
- 11. Existing and proposed contours of the property and for seventy-five (75) feet outside the property at one (1) foot intervals when new buildings or parking areas are proposed. Spot elevations for any development in a flood hazard area. The Applicant has provided sufficient information.
- 12. The location and treatment of proposed entrances and exits to public rights-of-way, including the possible utilization of traffic signals, channelization, acceleration and deceleration lanes, additional widths, and any other devices necessary to traffic safety and/or convenience. **Provided.**
- 13. The location and identification of proposed open space, parks, or other recreation areas. Not applicable.
- 14. The location and design of landscaping, buffer areas and screening areas showing size, species and spacing of trees and plants and treatment of unpaved areas. **Not applicable**
- The location of sidewalks, walkways, traffic islands and all other areas proposed to be devoted to pedestrian use. Provided.

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- 16. The nature and location of public and private utilities, including maintenance and solid waste disposal, recycling and/or storage facilities. The Applicant has provided sufficient information.
- 17. Specific location and design of traffic control devices, signs, and lighting fixtures. The Board may require of the applicant expert testimony concerning the adequacy of proposed traffic control devices, signs, and lighting fixtures. Not applicable.
- 18. Preliminary architectural plans for the proposed buildings or structures, indicating typical floor plans, elevations, heights and general design or architectural styling. **Provided.**
- 19. The present and past status use and contemplated use of the property and all existing buildings on the property. A cleanup plan where such is necessary because of the past or present use of the site. Not applicable.
- 20. A soil erosion and sediment control plan are required. Said plan shall be submitted to the Soil Conservation District and approval of the application shall be conditioned upon certification of the soil erosion and sediment control plan by the District. Exempted by Freehold Soil Conservation District. To provide an exemption letter.
- Soil borings, when required by the Board Engineer. Not provided. May be required for footings for construction.
- 22. Certification statement for the required municipal signatures, stating:

Application No	approved/disapproved by the Borough of Highlands Land Use Board as a Mine	or
Site Plan on (date).	Not provided.	
Chairman		
Secretary		

- 23. Certification statement for the County Planning Board approval/disapproval, if required. Not applicable.
- 24. The Board may require any additional information which is reasonably necessary to ascertain compliance with the provisions of this chapter. **Open.**

#### III. COMPLETENNESS

Adequate information has been provided to perform a technical review and we recommend the application be deemed COMPLETE.

#### IV. GENERAL COMMENTS

- 1. Please rename the plan to Site Plan.
- 2. Please provide signed and sealed Architectural plans.
- 3. The Applicant has submitted an application for a 2 ½ story dwelling, however it appears that the proposed dwelling is more than 2 ½ stories. The attic has an 8-foot ceiling height with family space and a bathroom. The dwelling appears to be three stories. Please provide testimony.
- 4. Please provide a Certification statement on the engineering plan. Refer to Checklist Item #22.
- 5. Please provide the location of all structures within seventy-five (75) feet of the property.
- 6. Please update the minimum lot depth as compliant.

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It appears that the front yard setback may not be in conformance with the prevailing setback. The lots closest to this property appear to meet the requirement, however the same determination cannot be made about the nearby newer built dwellings.

Please analyze the front setback as a prevailing setback according to § 21-79.B.

- 8. Please update the lot coverage table to show covered porches and steps, and concrete, as included items. The total percentage of lot coverage is shown correctly.
- 9. There is an existing 6 ft wide by 60 ft long easement on Lot 12 along the common line with the property. The easement is described in Deed Book 4538 Page 903 (yr. 1985) as "for the purpose of maintaining, repairing and restoring the dwelling erected upon Lot 13. This easement being necessitated because the side yards on Lot 13 are only six inches on one side and one ft. eleven inches on the other...."

The dwelling has been demolished.

It is our opinion that the easement must be legally extinguished by deed because the purpose of the easement is no longer valid. We defer to the Land Use Board Attorney.

- 10. Indicate whether the lot surfaces will be grass, gravel and/or landscaped.
- The right rear and side yard proposed elevations are directing runoff to Lot 12. Please redirect the runoff to the street.
- 12. Water, sewer and gas utilities are proposed to connect to existing valves and cleanout in the existing sidewalk. This will require replacement of full sections of the concrete sidewalk.
- 13. A proposed 4 ft x 3 ft utility platform with 6 ft high fencing and steps extends from the dwelling to the property line. The platform appears to be needed for access to the E-meter and HVAC units.
  - a. According to §21-123.2 mechanical, plumbing and electrical systems should be above Local Design Flood Elevation (LDFL). The utilities and E-Meter appear to be placed above the LDFL elevation of 12 ft high (Local Design Flood Elevation) according to the architectural elevations.
  - b. The proposed fence enclosed platform blocks direct access to the side yard leading to the rear yard without trespassing on the adjoining property.
- 14. Please provide construction details:
  - a. Pavement repair according to § 21-65.15.
  - b. Sidewalk according to § 21-65.17.
  - c. Driveway, apron and depressed curb.

#### V. APPROVALS

Approval of this application will be conditioned upon the Applicant obtaining or providing approved documents for the following:

- 1. Freehold Soil Conservation Permit (exemption letter).
- 2. NJDEP FHA
- 3. Coastal Area Facilities Review Act (CAFRA) Zone, if required per NJDEP.

Block 54, Lot 13 35 Miller Street

Borough of Highlands, Monmouth County, New Jersey

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Should you have any questions, please do not hesitate to contact me.

Very truly yours,

Carmela Roberts, PE, CME, CPWM Land Use Board Engineer

Count Roberto

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)
Dustin F. Glass, Esq., Land Use Board Attorney (dglass@semerarolaw.com)
Steve Winters, Construction Official, Floodplain Administrator (swinters@highlandsborough.org)
Courtney Lopez, Zoning Officer (clopez@highlandsborough.org)
Morgan Engineering & Surveying, Applicant's Engineer (daniel@morganengineeringllc.com)
James Daley, AIA, Applicant's Architect (gymteedaily@aol.com)
Cameron Corini, PE, CME, CPWM, Roberts Engineering Group, LLC
GS Bachman, EIT, Roberts Engineering Group, LLC





## LAND USE BOARD APPLICATION

FOR OFFICIAL USE	CK# 476437
Date Rec'd: 4 23 2025 Application #: Lubs	5-05 Fee: \$100.00 Escrow: \$2282.7
1. APPLICANT  Name: 60 Bay Ave Highlands LLC  Address: 60 Bay Avenue  City: Highlands State: NJ Zip: 07732  Phone: 732.855.6039 (Owner's Attorney)  Email: djennings@wilentz.com (Owner's Attorney)  Relation to property: Owner	Fee: PIOO.OD Escrow: 2282.77  CO Bay, BUZLI T-03-56-875-000-  2. OWNER  Name: 60 Bay Ave Highlands LLC  Address: 60 Bay Avenue Highlands LLC  City: Highlands State: NJ Zip: 07732  Phone: 732.855.6039 (Owner's Attorney)  Email: djennings@wilentz.com (Owner's Attorney)
3. TYPE OF APPLICATION (Check all that apply)	
<ul> <li>□ Minor Subdivision</li> <li>□ Major Subdivision – Preliminary</li> <li>□ Major Subdivision – Final</li> <li>□ Minor Site Plan</li> <li>☑ Major Site Plan – Preliminary</li> <li>☑ Major Site Plan – Final</li> <li>□ Variance</li> <li>□ Use Variance</li> </ul>	<ul> <li>□ Appeal – Zoning Denial date</li></ul>
4. PROPERTY INFORMATION	CO Barra Arranga
Block 42 Lot(s) 1 Add	ress: 60 Bay Avenue
	# of Proposed Lots
Has the property been subdivided? ☑ No ☐ Yes If ye	or Easements?  No  Yes – Please attach copies es, when? ach copies of approved map or approved resolution
Property taxes paid through	Sewer paid through
5. ATTORNEY (A corporation, LLC, Limited Partnership, or Name: Donna M. Jennings, Esq. (on behalf	
Address: 90 Woodbridge Center Drive Suite	
Phone: 732.855.6039 Ema	nil:_djennings@wilentz.com

<sup>\*</sup>The Property is located in the CBD Redevelopment Area in Overlay Zone 2.



6. APPLICAN	IT'S OTHER PROFESSIONAL(S) - Engine	eer, Planner, Architect, etc				
Name: Doug	Name: Douglas D. Clelland, PE (Engineer) Name: Salvatore LaFerlita, RA, AIA (Architecture)					
	55 Route 354, Suite 1A, Wall	Address: 115	University Drive, Lincroft			
NJ 077		NJ 07738				
Phone: 732	-531-7100	Phone: 732-74	1-5105			
Fmail: doug	g@insiteeng.net		rlita@aol.com			
Ellium.						
7. LAND USE						
A. PROPERTY	HISTORY -Describe in detail, nature of p	rior use(s) on the site, star	t date of such use, any prior Land Use			
Board applica	tions for this site (attach copy of resolution	on, if applicable), history of	current ownership, etc.			
1						
See attach	ned rider.					
	PLAN -Describe in detail, proposed use to sell lot only; 3) construct house(s) for sal					
	type of goods/services; 8) fire lane. Attach					
See attach	ed rider.					
C. ADDITION	AL INFORMATION:	Existing	Proposed			
		4	5			
Residential:	How many dwelling units? How many bedrooms in each unit?	1-2	2-3			
	How many on-site parking spaces?	5	5			
Commercial:	How many commercial uses on site?	None	None			
- Jimiler ciuli	How many on-site parking spaces?	N/A	N/A			



8.	VARIANCE REQUESTS Complete section(s) related to the relief being requested.	NO RELIEF	REQUIRED
	NOT APPLICABLE		

	Req'd	Exist.	Prop'd
Minimum Lot Requireme	ents		
Lot Area			
Frontage		an au	
Lot Depth			
Minimum Yard Requiren	nents	•	3
Front Yard Setback			
2 <sup>nd</sup> Front Yard Setback			,
Rear Yard Setback			2
Side Yard Setback, right			
Side Yard Setback, left			
Building Height			

	Req'd	Exist.	Prop'd
Accessory Structures			
Fence/Wall Height	- 4		
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			
Parking Requirements			
On-site Parking Spaces			
Other (please add)	1 1 2		
19	-		
- 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	200		

9. OTHER RELIEF REQUESTED Please specify relief(s) and explain below.			
See attached rider.	3		
	4		



#### 10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

anthropidone.	
SWORN & SUBSCRIBED to before me this	1/2 /2021
22rd Local 2015	4/22/2029
day of April 202) (year)	Signature Date
- De Vacah (notary)	Donna M. Jennings, Esq. (WGS on behalf of Applicant)
Lisa Haak	Donna W. Jennings, Esq. (WGS on benail of Applicant)
Notary Public, State of New Jersey I.D. No. 50163068 (Seal)	Print Full Name
My Commission Expires June 26, 2026	$\int$

#### 11. NOTARIZED CONSENT OF OWNER

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

The state of the s	$\bigcap$
SWORN & SUBSCRIBED to before me this  and day of April 2025 (year)	Signature
Lisa Haak (notary)	Donna M. Jennings, Esq. (WGS on behalf of Owner)
Notary Public, State of New Jersey(Seal)	Print Full Name
My Commission Expires June 26, 2026	_

**12A. DISCLOSURE STATEMENT** Circle all that apply.

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:

Is this application to subdivide a parcel of land into six (6) or more lots? Yes No Is this application to construct a multiple dwelling of 25 or more units? Yes No Is this an application for approval of a site(s) for non-residential purposes? Yes No Is this Applicant a corporation? Yes No Is the Applicant a limited liability corporation? Yes No Is the Applicant a partnership? Yes No

If you circled **YES** to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).



#### 12B. BUSINESS ORGANIZATION OWNERSHIP DISCLOSURE STATEMENT

Name of Corporation, Partnership, LLC, LLP, S-Corp:

## 60 Bay Ave Highlands LLC

Listed below are the names and addresses of all owners of 10% or more of the stock/interest\* in the above referenced business organization:

NAME	60 Bay Avenue Apt 3, Highlands, NJ 07732		
David Cahill			
***************************************			

stIf a corporation or a partnership owns 10% or more of the stock of a corporation, or 10% or great interest in a partnership, that corporation or partnership shall list the names and address of its stockholders holding 10% or more of its stock or 10% or greater interest in the partnership, and this requirement shall be followed until the names and addresses of the non-corporate stockholders and individual partners, exceeding the 10% owner ship criterion established have been listed.

SWORN & SUBSCRIBED to before	e me this
Did day of April	2025 (year) (notary)
Lisa Haak Notary Public, State of New Jel	(Seal)

.D. No. 50163068 My Commission Expires June 26, 2026 Signature (Officer/Partner)

Donna M. Jennings, Esq. (WGS on behalf of Applicant)

**Print Full Name** 

Title

#### RIDER

60 Bay Ave Highlands LLC 60 Bay Ave Block 42, Lot 1 Highlands Land Use Board

60 Bay Ave Highlands LLC is seeking revision of its Preliminary and Final Major Site Plan Approval memorialized by Resolution 2024-16, dated September 12, 2024, to raise and expand the existing three-story multi-family residential building on property located at 60 Bay Avenue and identified as Block 42, Lot 1 on the Borough's tax maps (the "Property"). The Property is approximately 6,425 square feet, or 0.147 acres, and is located in the Central Business District (CBD) within the CBD Redevelopment Area Overlay 2 Zone. Five multi-family units are still proposed comprising of 4-two-bedroom units and 1-three-bedroom unit.

In pursuit of resolution compliance, the applicant sought approval from the Monmouth County Planning Board, which has jurisdiction over Bay Avenue, a county road. The applicant is now seeking a revised approval from the Land Use Board because the County denied waiver requests with respect to the improvements along Bay Avenue as approved by the Land Use Board. Subsequently, the applicant redesigned the site to eliminate vehicle access to Bay Avenue—no curb cuts or driveways are proposed on Bay Avenue. Likewise, the garages on Bay Avenue are now proposed as storage areas with access doors in lieu of garage doors. Ingress to and egress from the site are proposed entirely from two garages on the Shrewsbury Avenue frontage.

Ten parking spaces are required, including electric vehicle credit. Five off-street parking spaces are now proposed, whereas seven spaces were initially proposed. Section VII.A of the Central Business District Redevelopment Plan permits residential uses to take into account the availability of on-street parking in meeting the requirement. Additional on-street parking will be

available as a result of the elimination of the driveways on Bay Avenue, and there is sufficient offsite parking near the Property to meet the requirement.



# BOROUGH OF HIGHLANDS COUNTY OF MONMOUTH

### **LAND USE BOARD RESOLUTION 2024-16**

MEMORIALIZATION OF PRELIMINARY AND FINAL SITE PLAN APPROVAL

IN THE MATTER OF 60 BAY AVE HIGHLANDS LLC APPLICATION NO. LUB 2024-02

Approved: August 8, 2024 Memorialized: September 12, 2024

WHEREAS, an application for preliminary and final site plan approval has been made to the Borough of Highlands Land Use Board (hereinafter referred to as the "Board") by 60 Bay Ave Highlands LLC (hereinafter referred to as the "Applicant") on lands known and designated as Block 42, Lot 1, as depicted on the Tax Map of the Borough of Highlands (hereinafter "Borough"), and more commonly known as 60 Bay Avenue in the CBD (Central Business) Zone and CBD Redevelopment Overlay 2 – Gateway Parcels (C-RO-2) Zone; and

WHEREAS, a public hearing was held before the Board on August 8, 2024, with regard to this application; and

WHEREAS, the Board has heard testimony and comments from the Applicant, witnesses and consultants, and with the public having had an opportunity to be heard; and

WHEREAS, a complete application has been filed, the fees as required by Borough Ordinance have been paid, and it otherwise appears that the jurisdiction and powers of the Board have been properly invoked and exercised.

**NOW, THEREFORE,** does the Highlands Land Use Board make the following findings of fact and conclusions of law with regard to this application:

1. The subject Property contains 6,625 square feet (0.147 acres) with frontage along Bay Avenue (County Route 8) South Street and Shrewsbury Avenue within the Central Business

District (CBD) Zone and the CBD Redevelopment Overlay 2 Zone – Gateway Parcels (C-RO-2) Zone. The adjacent property, Lot 15, is located within the same zone, and adjacent residential Lot 7 is located within the R-2.02 District. The subject Property is located within the AE Flood Hazard zone, partially in the Coastal A zone, and in the Limit of the Moderate Wave Action (LiMWa) delineation area.

- 2. The subject Property is improved with a three-story multi-family dwelling.
- 3. The Applicant is seeking preliminary and final major site plan approval to move and elevate the existing three-story multi-family residential building, complete renovations, provide ground floor storage and garage parking, and construct two extensions, decks, and associated site improvements. The Applicant proposes to expand the existing multi-family residential building by increasing the number of units for a total of five (5) units and will include a one (1) one-car garage, two (2) 1.5-car garages, and one (1) two-car garage.
- 4. Counsel for the Applicant, Donna Jennings, Esq., stated that the Applicant was seeking preliminary and final site plan approval with design waiver relief to elevate the existing four (4) unit residential building and add an additional residential unit. Ms. Jennings identified the subject Property as Block 42, Lot 1 with the address of 60 Bay Avenue and located within the CBD (Central Business) Zone and CBD Redevelopment Overlay 2 Gateway Parcels (C-RO-2) Zone. She stated that the ground floor would contain garages and storage.
- 5. The Applicant's Engineer, Douglas Clelland, P.E., introduced a Neighborhood Colorized Aerial dated July 26, 2024 as Exhibit A-1. Mr. Clelland identified the subject Property as Block 42, Lot 1 with the address of 60 Bay Avenue and located within the CBD (Central Business) Zone and CBD Redevelopment Overlay 2–Gateway Parcels (C-RO-2) Zone. He stated that the

Shrewsbury Avenue. Mr. Clelland further testified that other residential lots were located to the west of the subject Property and a park was located across South Street and Shrewsbury Avenue. He described the area as a mix of commercial, residential, and multi-family residential uses.

- 6. Mr. Clelland further testified that the Applicant was proposing to relocate, elevate, and expand the existing multi-family residential building. Mr. Clelland introduced a Blown-up Version of the Neighborhood Colorized Aerial dated July 26, 2024 as Exhibit A-2. He explained that the Applicant was proposing to provide a new driveway on the Bay Avenue frontage and as well as a new driveway on Shrewsbury Avenue frontage. He stated that the ground level would contain garages and storage. Mr. Clelland further testified that a multi-level deck would surround the building and that a walkway would connect to the sidewalk. He then confirmed that the structure currently had four (4) units, and that the Applicant was proposing an additional unit which would be located in the addition to the building resulting in a total of five (5) residential units.
- 7. Mr. Clelland also confirmed that the proposal did not require any variance relief. He stated that the Applicant was, however, seeking design waiver relief from the driveway width at the curb of 19.09 feet where a maximum of 18 feet at the curb was permitted. Mr. Clelland stated that the existing driveway width at the curb was 30 feet and that the proposed driveway width would be an improvement from the existing condition. He further testified that the wider driveway was necessary because of the unique shape of the subject Property. He explained that the unique shape required the driveway to be at an angle to the garage and that the wider

driveway allowed cars to maneuver into the garage while also providing two (2) parking spaces within the driveway.

- 8. Mr. Clelland further testified that the proposal complied with the EV charging space regulations. He explained that EV chargers were only required to be installed for developments with ten (10) parking spaces or greater whereas only seven (7) parking spaces were proposed. Mr. Clelland also stated that the Ordinance permitted the inclusion of on-street parking spaces in the calculation and identified three (3) on-street parking spaces provided along the frontages. He explained that the number of parking spaces might require a *de minimis* exception from the Residential Site Improvement Standards (RSIS). Mr. Clelland testified that one (1) tandem two-car garage was proposed which would be accessed from Shrewsbury Avenue. He also stated that two (2) 1.5-car garages which only equated to one (1) parking space, would be accessed from Bay Avenue, and a one (1) one-car garage would be accessed from Bay Avenue.
- 9. Mr. Clelland further testified that he had observed the available street parking within 200 feet of the subject Property on two occasions. He stated that he observed the subject Property on Friday, July 26, 2024 at 6:00 p.m. and Saturday, July 27, 2024 at 2:00 p.m. Mr. Clelland explained that he observed a total of fourteen (14) on-street parking spaces available on Friday evening, none of which were on Shrewsbury Avenue. He also stated that a total of six (6) on-street parking spaces were available on Saturday afternoon.
- 10. Mr. Clelland further testified that all new utilities would be provided to the building and that electric would be underground. He also stated that the proposal would result in an increase in impervious coverage but was not classified as a major development for

stormwater management purposes. Mr. Clelland also stated that the impervious coverage would comply with all bulk requirements. He further testified that the roof leaders would be drained to the existing stormwater inlet within South Street. Mr. Clelland explained that the proposed roof leaders would reduce the stormwater sheet flow because the existing building did not have any gutters. He further testified that the grade of the subject Property would be pitched toward the streets away from the adjacent lots.

- 11. Mr. Clelland also stated that trash cans would be located at the rear of the building and then taken out to the street for pick up. He explained that the location of the trash storage was located at the northwesterly side of the building near the existing fence.
- 12. Mr. Clelland further testified that the Applicant was proposing residential light fixtures similar to the existing light fixtures but would require design waiver relief. He stated that the proposed luminosity was the minimum necessary for safety while also providing the minimal amount of impact. Mr. Clelland also believed that the lighting would also illuminate the driveway for safe ingress and egress. Mr. Clelland further testified that the 1.7 footcandles provided a blend with the existing on-street lighting which was included within the analysis. He also confirmed that the illumination was 0.6 footcandles at the property line.
- 13. Mr. Clelland further testified that the existing street trees would remain. He stated that evergreen trees would also be planted in order to provide a screen for Lot 2. Mr. Clelland then identified an existing fence located on Lot 15 along the shared property line. He stated that the Applicant was proposing a fence that would connect to the existing Lot 15 fence at a 90-degree angle and run along the property line with Lot 2. Mr. Clelland explained that two (2) shade trees would be provided.

- 14. Mr. Clelland also stated that the Applicant would apply to the NJDEP for CAFRA permit. He believed that the proposed elevation would be compliant with all regulations. He stated that the Applicant would also apply to Monmouth County Planning Board because Bay Avenue was a county road.
- 15. In response to questions from the Board Engineer, Carmela Roberts, P.E., CME, CPWM, Mr. Clelland testified that the building was being enlarged and relocated. He also stated that the Zoning Permit denial was not based upon the Redevelopment Plan standards.
- 16. In response to further questions from the Board Engineer, Mr. Clelland testified that the tandem garage and the driveway parking space directly in front of the garage would be assigned to the three-bedroom unit which was anticipated to be owned by the owner of the building. He also stated that the three (3) of the other units have a garage space and that the fifth unit would have a parking space within the driveway. Mr. Clelland agreed to provide a turning analysis for the driveway. He then explained that the purpose of the wider driveway was to provide an additional 9 ft. x 18 ft. parking space within the driveway.
- 17. In response to further questions from the Board Engineer, Mr. Clelland testified that the Applicant was proposing three (3) curb cuts along Bay Avenue. He stated that one (1) curb cut was presently existing and was wide enough for two (2) driveways. He further testified that the third curb cut would eliminate one (1) existing on-street parking space. Mr. Clelland explained that the distance from the curb cut closest to the intersection was 26.91 feet to the property line at the intersection, therefore the distance to the curb of the intersection was a little more than 26.91 feet. He also stated that the existing curb cut was the western most curb cut.

Mr. Clelland further testified that two (2) new curb cuts were proposed. He stated that the curb cuts would be subject to review and approval by the Monmouth County Planning Board.

- 18. Ms. Roberts stated that the lighting of 1.7 footcandles on the sidewalk was excessive. She explained that it was not the responsibility of a residential building to illuminate a public sidewalk. Mr. Clelland agreed to work with the Board Engineer to reduce the lighting at the property line to become compliant, thereby eliminating need for design waiver for lighting.
- 19. In response to questions from the Board Attorney, Ms. Jennings represented that the proposal was not subject to the affordable housing requirements because only one (1) unit was being added, but the Applicant would comply with the affordable housing requirements if applicable.
- 20. In response to questions from the Board, Mr. Clelland testified that the fence along Lot 2 could transition to a four (4) foot fence within the front yard. He stated that the fence would not obstruct sight distance at the driveway. Mr. Clelland explained that the existing fence on Lot 15 transitioned from six (6) feet in height to four (4) feet in height approximately fifteen (15) feet setback from the front property line. He also stated that the fence on Lot 15 encroached slightly on the subject Property. He agreed to discuss with the owner of Lot 15 correcting the encroachment if the fence were ever to be replaced.
- 21. In response to questions from the Board, Mr. Clelland confirmed that there was one (1) driveway on Shrewsbury Avenue and three (3) driveways on Bay Avenue. He stated that drivers within the driveway on Bay Avenue would back out onto Bay Avenue. He testified that the minimum front yard setback was two (2) feet, whereas five (5) feet was proposed on Bay

Avenue, 8.3 feet was proposed on South Street, and 8.05 feet was proposed on Shrewsbury Avenue.

- 22. The Board expressed its concern with drivers backing out onto Bay Avenue, particularly considering the proximity of the nearby curve. Mr. Clelland testified that he was unaware of any issues with the current driveway on Bay Avenue.
- 23. In response to further questions from the Board, Mr. Clelland testified that the distance between the curb cuts was approximately thirty-five (35) feet, which he opined was sufficient for one (1) on-street parking space. He also stated that utilities were available within Shrewsbury Avenue and South Street if a moratorium preventing a street opening on Bay Avenue.
- 24. In response to further questions from the Board, Mr. Clelland testified that the existing building contained three (3) two-bedroom units and one (1) studio unit. He stated that the Applicant was proposing one (1) additional unit.
- 25. The hearing was then opened to the public for questions of the Applicant's Engineer, at which time Ed Sharkey, 9 Shrewsbury Avenue, asked why the commercial building setback requirements did not apply to the multi-family building. Mr. Clelland stated that the building was residential, not commercial and therefore the commercial building standards did not apply. In response to further questions from Mr. Sharkey, Mr. Clelland stated that the trash cans would be brought out to Shrewsbury Avenue and Bay Avenue. He testified that a row of eighteen (18) evergreen trees would also be planted along the property line with Lot 2 which has Mr. Sharkey's property. Mr. Clelland then confirmed that the two-car garage would be tandem. He also stated that the proposed multi-family building was compliant with the code and the zone therefore it was not necessary for the Applicant to consider alternative uses. Mr. Clelland further

testified that the maximum permitted impervious coverage was 80%, whereas 62% was proposed.

- 26. The Applicant's Architect, Salvatore LaFerlita, R.A., AIA, testified that the Applicant was proposing to lift the building, replace the foundation, and move the building eight (8) feet toward Bay Avenue. He stated that the Applicant was also proposing to construct an addition on the side of the building and along the Shrewsbury Avenue frontage. Mr. LaFerlita further testified that three (3) units would be served by a one-car garage and that the largest unit would receive the tandem two-car garage and one (1) driveway space. He also noted that one (1) unit would receive additional driveway space. Mr. LaFerlita explained that gravel could be placed within the five (5) feet between the driveway and the property line, which would eliminate the need for the wider driveway at the curb because the gravel would allow a wider turn. The Applicant agreed to provide such gravel to comply with the required driveway width at the curb, thereby eliminating the need for the design waiver. He also stated that bike racks would be located inside and outside of the building. He stated that the building would contain an elevator.
- 27. Mr. LaFerlita further testified that the first floor would contain two (2) two-bedroom units. He explained that the existing studio apartment would be expanded into the addition to make it two (2) bedrooms. Mr. LaFerlita also stated that the existing deck would be enclosed to provide living space. He explained that an additional deck area of approximately 100 square feet would also be provided. Mr. LaFerlita further testified that the second floor would include two (2) two-bedroom units similar to the first floor. He stated also located on the second floor would also have a bedroom belonging to the third floor three-bedroom unit which would be accessed by a staircase internal to the three-bedroom unit. Mr. LaFerlita testified that the

third floor contained two (2) out of three (3) of the three-bedroom unit along with decks. He also stated that the A/C equipment would be located on a roof deck near the elevator. Mr. LaFerlita stated that the main entry to a large porch would be located on the first floor. He noted that the existing yellow color would be changed. He introduced a Color Rendering of the Bay Avenue Elevation as Exhibit A-3.

- 28. In response to questions from the Board, Mr. LaFerlita testified that the floor elevation was at fourteen (14) feet and was compliant with FEMA Flood Hazard regulations. He further testified that the building would comply with the Coastal A & AE requirements by being built to VE requirements. He stated that the ground floor may require breakaway walls.
- 29. The hearing was then opened to the public, at which time Ed Sharkey, 9 Shrewsbury Avenue, asked the size of the decks. Mr. LaFerlita testified that the decks were a length of twenty-five (25) to thirty (30) feet with a depth of ten (10) feet. Mr. LaFerlita also stated that the size of the decks was compliant. Mr. Sharkey asked if the building could also be moved toward the southeast. Mr. LaFerlita stated that such reorientation would be difficult. In response to further questions from Mr. Sharkey, Mr. LaFerlita testified that an additional parking space could be provided under the deck, however, it would require an additional curb cut. Mr. LaFerlita stated that the trash cans could also be stored within the garages. He further testified that the existing square footage of the building was approximately 5,000 square feet and approximately 7,000 square feet was proposed.
- 30. Mr. Sharkey also testified that the previous owner of the subject Property had imported soil, which changed the stormwater flow pattern. He stated his property was negatively impacted by the change in stormwater flow pattern. Mr. Clelland testified that the subject

Property would be regraded when the building was lifted. He opined that the stormwater would then flow toward the streets and away from adjacent properties. Mr. Sharkey also reiterated his interpretation of the Ordinance requiring the building to have setback of twelve (12) feet as is required of commercial buildings within the CBD Zone.

31. There were no other members of the public expressing an interest in this application.

WHEREAS, the Highlands Land Use Board, having reviewed the proposed application and having considered the impact of the proposed application on the Borough and its residents to determine whether it is in furtherance of the Municipal Land Use Law; and having considered whether the proposal is conducive to the orderly development of the site and the general area in which it is located pursuant to the land use and zoning ordinances of the Borough of Highlands; and upon the imposition of specific conditions to be fulfilled, hereby determines that the Applicant's request for preliminary site plan approval pursuant to N.J.S.A. 40:55D-50 should be granted in this instance.

The Board finds that the Applicant has proposed to move and elevate and existing three-story multi-family residential building, complete renovations, provide ground floor storage and garage parking, and construct two extensions, decks, and associated site improvements. The proposal does not require any variance or design waiver relief. The Board finds that the Applicant had initially requested several design waivers, but has agreed to comply with all design standards. The proposal is therefore as of right. The Board finds that the proposal complies with all requirements of the site plan, zoning and design criteria Ordinances. A planning variance required by the MLUL to grant site plan approval when all Ordinance requirements are complied

with an ingress and egress is safe. There has not been any testimony which could lead to the conclusion that ingress and egress was unsafe. The applicant is also subject to the conditions expressed herein. The Board is therefore required to grant preliminary site plan approval pursuant to N.J.S.A. 40:55D-46 and final site plan approval pursuant to N.J.S.A. 40:55D-50.

NOW, THEREFORE, BE IT RESOLVED by the Land Use Board of the Borough of Highlands on this 12<sup>th</sup> day of September 2024, that the action of the Land Use Board taken on August 8, 2024, granting application no. LUB 2024-02, for preliminary site plan approval pursuant to N.J.S.A. 40:55D-46 and final site plan approval pursuant to N.J.S.A. 40:55D-50 is hereby memorialized as follows:

The application is granted subject to the following conditions:

- 1. All site improvements shall take place in strict compliance with the testimony and with the plans and drawings which have been submitted to the Board with this application, or to be revised.
- 2. Except where specifically modified by the terms of this resolution, the Applicant shall comply with all recommendations contained in the Reports of the Board professionals.
- 3. The Applicant shall comply with all applicable design standards and eliminate all design waiver relief pursuant to N.J.S.A. 40:55D-51.
- 4. The fence along the shared property line with Lot 2 shall not exceed a height of four (4) feet within the front yard.
- 5. The Applicant shall submit a compliant lighting plan subject to the review and approval of the Board Engineer.
- 6. The Applicant shall submit a revised plan depicting vehicles maneuvering from the garages and driveways into the roadways subject to review and approval of the Board Engineer.
- 7. The driveway width at the curb shall not exceed eighteen (18) feet and shall comply with all Ordinance requirements.
- 8. The Applicant shall provide gravel between the Shrewsbury driveway and the property line shared with Lot 2 sufficient for turning maneuver into the driveway parking space subject to review and approval by the Board Engineer.
- 9. Any future modifications to this approved plan must be submitted to the Board for approval.

- The Applicant shall apply for a CAFRA permit or FHA permit, as deemed necessary by the applicable New Jersey Department of Environmental Protection regulations.
- 11. The Applicant shall extend new utilities to the subject Property. The Applicant shall be solely responsible for securing any necessary utility easements.
- 12. The Applicant shall comply with any applicable affordable housing requirements.
- 13. The tandem parking spaces shall be for the exclusive use of the three (3) bedroom unit.
- 14. The fence encroachment shall be eliminated if the fence is replaced.
- 15. The A/C unit for the three-bedroom unit shall be located on the roof near the elevator.
- 16. The Applicant shall provide a certificate that taxes are paid to date of approval.
- 17. Payment of all fees, costs, escrows due and to become due. Any monies are to be paid within twenty (20) days of said request by the Board Secretary.
- 18. Subject to all other applicable rules, regulations, ordinances and statutes of the Borough of Highlands, County of Monmouth, State of New Jersey or any other jurisdiction.

BE IT FURTHER RESOLVED that the Board secretary is hereby authorized and directed to cause a notice of this decision to be published in the official newspaper at the Applicant's expense and to send a certified copy of this Resolution to the Applicant and to the Borough Clerk, Engineer, Attorney and Tax Assessor, and shall make same available to all other interested parties.

Robert Knox, Chairman

Borough of Highlands Land Use Board

ON MOTION OF: Chair Knox SECONDED BY: Mr. Zill

**ROLL CALL:** 

YES: Chief Burton, Mr. Kutosh, Mr. Montecalvo, Mr. Zill, Mr. Cramer, Chair Knox

NO: None

**ABSTAINED: None** 

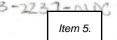
INELIGIBLE: Mayor Broullon, Ms. LaRussa, Vice Chair Tierney ABSENT: Councilmember Olszewski, Ms. Chang, Ms. Vickery

DATED: September 12, 2024

I hereby certify this to be a true and accurate copy of the Resolution adopted by the Highlands Land Use Board, Monmouth County, New Jersey at a public meeting held on September 12, 2024.

Nancy Tran, Secretary

Borough of Highlands Land Use Board





# MONMOUTH COUNTY DEVELOPMENT REVIEW COMMITTEE

### **Development Application Action**

FILE NUMBER: HSP10591

Action Taken By:	X Development Review Committee Planning Director	Approval Status: Action Date:	REQUEST INFORMATION 3/24/2025
Project Description:	Additional apartment and off-street par	king at existing multif	amily residence
Plan Date:	2/20/2025	Date Received:	3/7/2024
Design Professional:	InSite Engineering	Lot:	1
Owner:	Applicant	Block:	42
Applicant:	60 Bay Avenue Highlands, LLC	Municipal Agency:	Planning Board
Application:	60 Bay Avenue Multifamily Residence	Municipality:	Highlands

If disapproved, the reasons listed below or on the attached sheet must be rectified before approval will be issued. If conditionally approved, the conditions listed below or on the attached sheet shall be satisfactorily addressed before final approval is issued. This action does not release the applicant from obtaining a consistency determination pursuant to N.J.A.C. 7:8-1 et seq. (Monmouth County Areawide Water Quality Management Plan). Prior to commencing any work within the right-of-way of a county highway or before doing any work that affects a county bridge, the applicant is required to obtain a road opening permit from the Monmouth County Highway Department. A review of the location of subsurface utilities within county road rights-of-way will be conducted by the County Highway Department upon application for a road opening permit. Prior to planting or removal of trees or shrubs within or along the right-of-way of a county highway, the applicant is required to obtain a permit from the Monmouth County Shade Tree Commission. Note: County review is made only on items covered by statutory authority.

At its March 24, 2025 meeting, the Development Review Committee denied the following waiver requests based on a finding that the need for the waivers is created by the applicant's proposed site layout and are not related to the configuration of the property:

- §5.1-1 requires a dedication of additional right-of-way to conform to the Monmouth County Road Plan, whereas the applicant proposes an easement.
- §5.2-3.1B provides that access to a county road shall not be permitted if the site abuts a municipal road and access to the municipal road can be reasonably provided. The applicant proposes access to the site from Bay Avenue (County Route 8).
- §5.2-3.1C provides that driveways shall be designed so that vehicles are not forced to back out into a county road, whereas the
  driveway along Bay Avenue would require vehicles to back out into the county road.
- §5.2-3.1I provides that no portion of a driveway shall be located within ten feet of a side property line, whereas a setback of approximately 3.5 feet is proposed.

### The applicant shall address the following:

- 1. Address the comments in the memorandum prepared by Michael T. Brusca, dated March 24, 2025.
- The DRC suggested the applicant should meet with DRC and Borough staff to discuss the intent and requirements of the Bay Avenue Redevelopment Plan relative to this property.

Monmouth County Planning Board Hall of Records Annex 1 E. Main Street Freehold, NJ 07728-1255

Phone: 732-431-7460

Fmail: DevelopmentReview@co.monmouth.ni.u:

Page 1 of 2

Provide an itemized response. Revised plans shall be accompanied by the plan revision fee; \$300.00. Submit questions via email to <a href="mailto:DevelopmentReview@co.monmouth.nj.us">DevelopmentReview@co.monmouth.nj.us</a>.

Joseph Barris, P.P., A.I.C.P., C.F.M.

Director of Planning

For the Development Review Committee

cc:

InSite Engineering Donna M. Jennings, Esq. Mark R. Aikins, Esq.

J. Ettore; V. Cardone; T. Lombardi; V. Zabat; M. Brusca

Highway Department Construction Official HSP10591 1459 RI

# The Board of County Commissioners of the County of Monmouth

### DEPARTMENT OF PUBLIC WORKS & ENGINEERING

JOHN W. TOBIA
Director of Public Works & Engineering
Email: jwtobia@co.monmouth.nj.us



JOSEPH M. ETTORE

County Engineer
Email: engineer@co.monmouth.nj.us

DIVISION OF ENGINEERING & TRAFFIC SAFETY Hall of Records Annex Freehold, New Jersey 07728 Telephone: (732) 431-7760 Fax: (732) 431-7765

March 24, 2025

### **MEMORANDUM**

TO:

Joe Barris, Director of Planning

FROM:

Michael Brusca, Assistant Engineer, Civil

RE:

HSP10591 - 60 Bay Ave. Highlands

County Route 8 - Bay Avenue

Block 42 - Lot 1

Borough of Highlands

Mb

The following items were received by this office in connection with the above-referenced application:

 Preliminary & Final Major Site Plan for Proposed Multi-Family Residence, Block 42, Lot 1, 60 Bay Avenue, Borough of Highlands, Monmouth County, New Jersey, prepared by Douglas Clelland, P.E., of Insite, dated February 5, 2024, last revised February 20, 2025, received March 7, 2025.

The following comments/recommendations are made to the Development Review Committee (DRC) pursuant to the Design Standards set forth in the Monmouth County Development Regulations (MCDR):

\*\*NOTE TO APPLICANT/APPLICANTS ENGINEER INVOLVING RECENT CHANGES TO C.R. 8, BAY AVENUE:

In October of 2024, C.R. 8, Bay Avenue was repaved and as such is under a moratorium for 5 years. The Grading, Drainage, & Utility Plan, sheet C400 indicates sanitary, water service, natural gas, and underground electrical service connections within the C.R. 8 right of way which will require trenching. Indicate pavement repair to be the full width of Bay Avenue and 25-ft beyond the outer limits of the trenches longitudinally.

To: Joe Barris, Director of Planning 3/14/25

Page: 2 of 3 HSP10591 60 Bay Ave. Highlands

### **Review contributors:**

Vincent J. Cardone, P.E., Principal Engineer II, Traffic Safety and Operations



### **General Civil Comments:**

- GC2. Was the right-of-way established at 30-ft from the centerline of C.R. 8, Bay Avenue? If so, indicate on the site plans and provide dimension. Indicate the deed book and page. Provide the following information:
  - a. Metes and bounds of the dedication;
  - b. area of dedication, in acres and sq.ft.;
  - c. grantee of dedication;
  - d. deed of dedication, with parcel description for review.

If right-of way was not established as above, then provide a proposed dedication to 30-ft from the centerline of C.R. 8, Bay Avenue. Provide the information requested in comments

Comment from 1/13/25 memo: The applicant's engineer has responded with a request for the Development Review Committee to grant an easement in lieu of a dedication citing setback variances as a hardship. In consideration of granting the easement, the DRC should consider the location of the footing of the garage(s) wall as it overlaps the boundary of and would impact the area of the proposed easement.

PARTIALLY ADDRESSED: Building geometry shifted to no longer overlap easement which allows recommendation of granting the easement in lieu of a dedication. If approved by the Development Review Committee, provide deed of easement for review by the County surveyor.

GC5. The Site Layout Plan, sheet C300, has several discrepancies:

the driveway apron is indicated to be concrete by callout and hatching. However, the existing frontage is brick pavers and another label calls for the pavers to be removed and reset. Additionally, the flares of the driveway are not hatched as concrete.

PARTIALLY ADDRESSED: Indicate proposed full height and proposed depressed curb on the C.R. 8 frontage as concrete for clarification.

### **Traffic Comments:**

- T2. Per Monmouth County Design Regulations § 5.2-1.1D:
  - A minimum distance of at least 25' shall be provided between the closest edges of the
  - No portion of a driveway shall be located within 10' of a side property line.

The proposed width between two of the more proximate residential driveways (NW) fronting C.R. 8, Bay Avenue is 5 ft. The setback for closest (NW) access driveway is 8 ft. The proposed driveway designs do not satisfy Monmouth County Design Regulations and should be revised for compliance.

Comment from 1/13/25 memo: The revision of the driveway configurations to a shared driveway satisfies the 25' minimum between spacing between driveways. However, the 5-ft apron flare is within 10-ft of the property line. Per Monmouth County Development Regulations, vol. 2, §5.2-3.1I, driveway apron flares and corner radii are considered as portions of the driveway.

PARTIALLY ADDRESSED: The Site Layout Plan indicates the apron flares do not comply with MCDR §5.2-3.1I and will require a waiver request from the Development

To: Joe Barris, Director of Planning 3/14/25

Page: 3 of 3 HSP10591\_60 Bay Ave. Highlands

Review Committee. Support for the request can be recommended based on the applicant's modifications to the driveway fronting C.R. 8 which were requested by the County.

T3. Per Monmouth County Design Regulations § 5.2-3.1B: access to a County Road shall not be permitted if the site plan also abuts a municipal road or adjacent driveway and access to the municipal road or adjacent property can be reasonably provided.

As the site design allows for potential access to a municipal road, the three residential driveways become design nonconformities.

Comment from 1/13/25 memo: The Development Review Committee has the option to grant a waiver for access to a County road at their discretion and upon request of the applicant.

NOT ADDRESSED: Request for a waiver from Monmouth County Design Regulations § 5.2-3.1B can be recommended based on the applicant's modifications to the driveway fronting C.R. 8 which were requested by the County.

T4. Per Monmouth County Design Regulations § 5.2-3.1C, driveways on a county road shall be designed so that vehicles are not forced to back out into the County Road. Additionally, the three driveways fronting C.R. 8, Bay Avenue are not in compliance with MCDR § 5.2-1.2A, On-Site Vehicle Turn Around, all driveways to the county road on minor subdivisions must be designed with provisions for on-site vehicle turn-around (see figure 2) so that vehicles are not forced to back out into the county road. At a minimum, the driveway must be designed in accordance with the passenger vehicle turning radius templates contained in the current edition of A Policy on Geometric Design of Highways and Streets published by American Association of State Highway and Transportation Officials (AASHTO). The three driveways fronting C.R. 8, Bay Avenue were not designed with vehicle turnarounds. Revise for compliance with the above stated Monmouth County Design Regulations.

Comment from 1/13/25 memo: The Development Review Committee has the option to grant a waiver for lack of on-site vehicle turn around at their discretion and upon request of the applicant. \*\*It should be noted the existing building has on-site provisions for vehicle turnaround.

NOT ADDRESSED: Request for a waiver from Monmouth County Design Regulations § 5.2-1.2A can be recommended based on the applicant's modifications to the driveway fronting C.R. 8 which were requested by the County.

Please request the applicant and the engineer to provide an itemized response to these comments. Please advise the applicant that responses to this Request for Information may result in additional requests and / or conditions on the application.

cc: Joseph M. Ettore, County Engineer
Tom Lombardi, Supervising Engineer
Vince Cardone, Principal Engineer II
Victorino Zabat, Principal Engineer
Dave Schmetterer, Asst. Planning Director
Victor Furmanec, Principal Planner
Kyle DeGroot, Senior Planner
Jason Pene, Assistant Planner
Jeannine Smith, Planning Aide

# PRELIMINARY & FINAL MAJOR SITE PLAN **FOR**

# PROPOSED MULTI-FAMILY RESIDENCE

# BLOCK 42, LOT 1 TAX MAP SHEET #11 60 BAY AVENUE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY

### PROPERTY OWNERS WITHIN 200' (2/21/2024)

Block/Lot	Current Owner	Mailing Address		
1319-41-8	75 BAY AVENUE SWANTON LLC	75 BAY AVENUE	HIGHLANDS NJ	07732
1319-41-9	DOUTY DOUGLAS & BAYARD	88 BAY AVENUE	HIGHLANDS NJ	07732
1319-41-10	AMERICAN LEGION	BAY AVE	HIGHLANDS NJ	07732
1319-42-2	SHARKEY MARY T	68 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-13	WEST CARL & BUSICHIO KARIN	78 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-14	TRI STATE REALTY LLC	494 SYCAMORE AVE.STE.100	SHREWSBURY NJ	07702
1319-39-1.01	BOROUGH OF HIGHLANDS	171 BAY AVE	HIGHLANDS NJ	07732
1319-39-1.02	BOROUGH OF HIGHLANDS	171 BAY AVE	HIGHLANDS NJ	07732
1319-42-3	PISANO BEVERLY	11 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-41-4	61 BAY AVENUE LLC	28 ATLANTIC AVENUE	OCEAN GROVE NJ	07756
1319-41-7	KEMPSON MATTHEW	30 SECOND STREET	HIGHLANDS NJ	07732
1319-42-9	KURDES LAWRENCE J & MARY-ALISON	8 KAY ST	HIGHLANDS NJ	07732
1319-41-2.01	BASKET EUGENE J	57 BAY AVENUE	HIGHLANDS NJ	07732
1319-43-3	REMIAS ROSE MARIE	22 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-12.01	RICCIARDONE BRIAN	163 FANNING STREET	STATEN ISLAND NY	10314
1319-42-15	SHARKEY HUGH & MARY	68 BAY AVENUE	HIGHLANDS NJ	07732
1319-43-1	LAURITANO VICTOR	18 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-43-2	FRANSON LOREEN	20 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-41-3	KU WALTER & EVA L	59 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-4	HARTSGROVE TROY & JOY ANNE	13 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-42-5	STENSETH MARK D & ALECIA E	15 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-6	MAZZELLA KIM M	17 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-7	MENZA DAN & KAREN	19 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-41-5	SMITH MURRAY T.	226 PARK STREET	MONTCLAIR NJ	07042
1319-38.01-17.01	MONAHAN WILLIAM	55 A BAY AVE	HIGHLANDS NJ	07732
1319-38.01-17.02	DAVIS COREY MOLZON & JOHN A	55 BAY AVENUE	HIGHLANDS NJ	07732
1319-38.01-17.03	KEETON RANDALL E & DALE ANN	53 BAY AVENUE	HIGHLANDS NJ	07732
1319-38.01-17.04	FEGHHI ALICIA M	51 BAY AVENUE	HIGHLANDS NJ	07732
1319-38.01-17.05	ZHENG WU & OI SUM	27 SOUTH AVENUE	ATLANTIC HIGHLAND	OS NJ 07716
1319-41-6	KOEPPEL RICHARD J & JOSEPH W	P.O. BOX 810	NAVESINK NJ	07752

# **UTILITY CONTACTS**

\* If you are located within 200 feet of a State Highway, you MUST notify the NJ Department of

NJ Dept. of Transportation 1035 Pkwy Avenue PO Box 600 Trenton, NJ 08625

\*If you are within 200 feet of a County owned road, you MUST notify the Monmouth County

Monmouth County Planning Board Hall of Records Annex 2<sup>nd</sup> Floor One East Main St. PO Box 1255

300 Madison Avenue Morristown, NJ 07960

NEW JERSEY AMERICAN WATER COMPANY Attn: Construction Departme

Freehold, NJ 07728

661 Shrewsbury Ave Shrewsbury, NJ 07702

COMCAST COMMUNICATIONS OF MONMOUTH COUNTY Ron Bertrand, Construction Foreman

Eatontown, NJ 07724

VERIZON COMMUNICATIONS One Verizon Way Basking Ridge, NJ 07920

TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY Raymond J. Nierstedt, P.E., Executive Director PO Box 205, 100 Beverly Way

NEW JERSEY NATURAL GAS COMPAN Attn: Joan Purcaro PO Box 1464 1415 Wyckoff Road

Belford, NJ 07718

MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY Attn: Executive Director

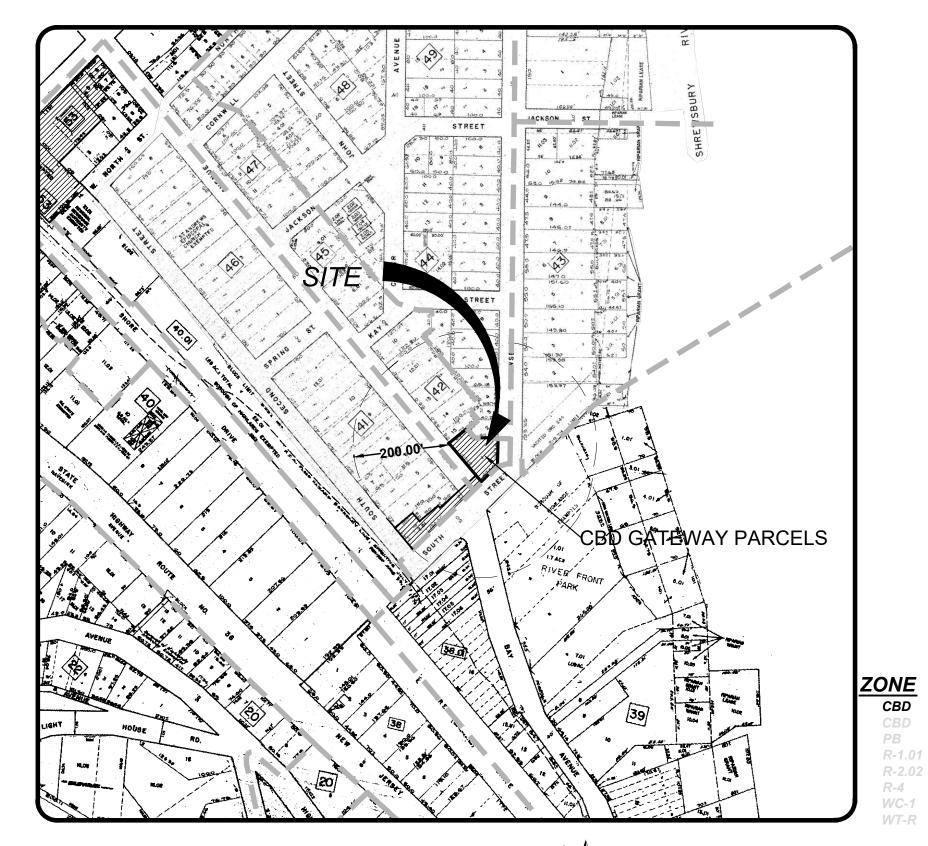
200 Harbor Way Belford, NJ 07718

BOARD ENGINEER

Wall, NJ 07719

LAND USE BOARD APPROVAL APPROVED BY THE BOROUGH OF HIGHLANDS LAND USE BOARD BOARD CHAIRPERSON DATE BOARD SECRETARY DATE

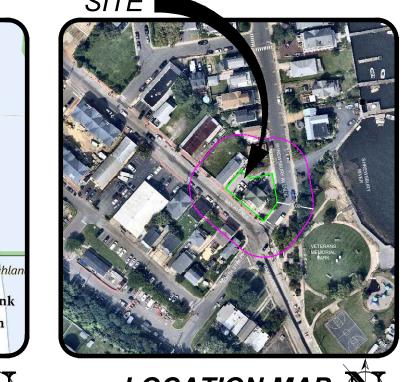
DATE



REDEVELOPMENT OVERLAY 2 ZONE (C-RO-2) REDEVELOPMENT OVERLAY 3 ZONE (C-RO-3)

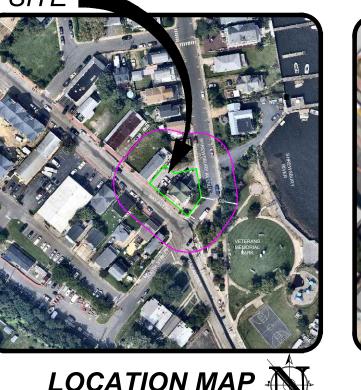
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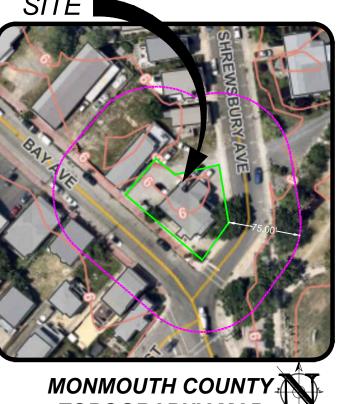
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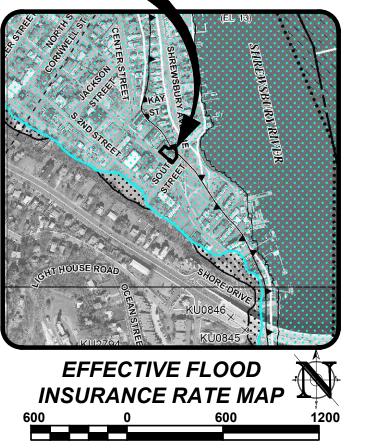
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Scale: 1"=100'



Scale: 1"=600'

OUEEI#.	J SHEEL HILE.	I INTTIAL RELEASE.	REV. DATE.
C100	TITLE SHEET	02/05/24	04/10/25
C101	PLAN NOTES	02/05/24	04/10/25
C200	EXISTING CONDITIONS & SITE PREPARATION PLAN	02/05/24	04/10/25
C300	SITE LAYOUT PLAN	02/05/24	04/10/25
C400	GRADING, DRAINAGE & UTILITY PLAN	02/05/24	04/10/25
C600	LANDSCAPE PLAN	02/05/24	04/10/25
C601	LIGHTING PLAN - EXISTING CONDITIONS R.O.W. ONLY	06/05/24	04/10/25
C602	LIGHTING PLAN - PROPOSED CONDITIONS	02/05/24	04/10/25
C603	LIGHTING DETAILS	11/20/24	04/10/25
C700	CONSTRUCTION DETAILS	02/05/24	04/10/25
C701	CONSTRUCTION DETAILS	06/05/24	04/10/25
C800	SOIL EROSION & SEDIMENT CONTROL PLAN	02/05/24	04/10/25
C801	SESC NOTES	02/05/24	04/10/25
C802	SESC DETAILS	02/05/24	04/10/25
C900	TURNING MOVEMENT PLAN	11/20/24	04/10/25
C901	TURNING MOVEMENT PLAN	11/20/24	04/10/25
C902	TURNING MOVEMENT PLAN	11/20/24	04/10/25
C903	TURNING MOVEMENT PLAN	11/20/24	04/10/25
C904	TURNING MOVEMENT PLAN	01/21/25	04/10/25
C905	TURNING MOVEMENT PLAN	01/21/25	04/10/25

PROPOSED MULTI -

FAMILY RESIDENCE

60 BAY AVENUE BOROUGH OF HIGHLANDS.

60 BAY AVE HIGHLANDS, LLC

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE

### APPLICANT'S PROFESSIONALS

90 WOODBRIDGE CENTER DRIVE, SUITE 900

WILENTZ, GOLDMAN & SPITZER, PA

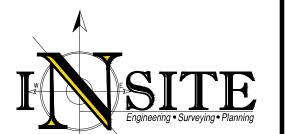
SALVATORE LA FERLITA, R.A.

LINCROFT, NJ 07738

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A



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Г	CALL BEFORE NJ ONE CALL8	
	(at least 3 days prior to	
	ELECTRIC	RED
	GAS / OIL	YELLOW
	COMMUNICATION / TV	ORANGE
	WATER	BLUE
	SEWER	GREEN
	TEMP SURVEY MARKINGS	MAGENTA



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DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA

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> DOUGLAS D. CLELLAND, PE PROFESSIONAL ENGINEER NJ PE 24GE05331000

DESIGNED BY: DDC SCALE: AS SHOWN DATE: **02/05/24** DRAWN BY: AMC JOB #: 23-2237-01 CHECKED BY: DDC

CAD ID: 23-2237-01r3

NOT FOR CONSTRUCTION FOR CONSTRUCTION

PLAN INFORMATION RAWING TITLE:

PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET NO:

TITLE SHEET

CHEMICALS.

a. CUT SLOPES: THESE SURFACES SHALL BE ROUGHENED IN A HORIZONTAL DIRECTION FOLLOWING THE CONTOUR OF THE SLOPE. THE

- ROUGHENED TEXTURE SHALL BE MADE BY HAND RAKING OR SIMILAR MECHANICAL MEANS b. FILL SLOPES: THESE SURFACES SHALL BE COMPACTED AND FINISHED AND ALSO ROUGHENED IN A HORIZONTAL DIRECTION FOLLOWING THE CONTOUR OF THE SLOPE. THE ROUGHENED TEXTURE SHALL BE MADE BY HAND RAKING OR SIMILAR MECHANICAL MEANS. WEED ERADICATION
- a. MANUALLY REMOVE EXISTING VEGETATION WHERE NOTED ON PLAN AND DISPOSE OFFSITE. b. FERTILIZE ALL PLANTING AREAS BASED UPON SOIL ANALYSIS. BEGIN WATERING PROCESS TO ACTIVATE FERTILIZER AND ADDITIVE
- c. WATER ALL PLANTING AREAS THOROUGHLY FOR A PERIOD OF TWO (2) CONSECUTIVE WEEKS. THE UNDERSIGNED SHALL APPROVE SPECIFIC WATERING DURATION AND FREQUENCY DESIGNED TO GERMINATE ALL RESIDUAL WEED SEEDS.
- d. IF PERENNIAL WEEDS APPEAR, DISCONTINUE WATERING PROCESS FOR TWO (2) DAYS, THEN APPLY RECOMMENDED HERBICIDE BY LICENSED APPLICATOR IF ANNUAL WEEDS APPEAR. USE STRAIGHT CONTACT HERBICIDE AS PER THE LICENSED APPLICATOR'S RECOMMENDATIONS. NO WATER SHALL BE APPLIED FOR A MINIMUM OF FOUR (4) DAYS FOLLOWING APPLICATION CONTACT WEED KILLER. e. ALLOW SUFFICIENT PERIOD OF TIME TO INSURE THAT ALL WEEDS ARE DEAD
- WATER ALL PLANTING AREAS THOROUGHLY FOR A PERIOD OF THREE (3) WEEKS. A SHORTER WATERING PERIOD MAY BE PERMISSIBLE AT THE DISCRETION OF THE UNDERSIGNED AND/OR THE PEST CONTROL ADVISOR. DISCONTINUE WATERING FOR ONE (1) DAY PRIOR TO THE SECOND APPLICATION OF THE HERBICIDE. RE-APPLY A STRAIGHT CONTACT WEED KILLER, AS PER THE PEST CONTROL ADVISOR'S RECOMMENDATIONS. FOR EFFECTIVE WEED ERADICATION, ALLOW A MINIMUM OF FOUR (4) DAYS WITHOUT IRRIGATION.RO a. REMOVE ALL DESICCATED WEEDS FROM SLOPES.
- PLANTING
  PLANT TREES AND SHRUBS AS INDICATED ON PLANTING PLAN AND AS DETAILED ON PLANTING DETAIL SHEET. SUBSTITUTIONS OF PLANTS WILL NOT BE ACCEPTED UNLESS APPROVED IN WRITING BY THE UNDERSIGNED. INSTALL ALL CONTAINER GROWN PLANTS ACCORDING TO TREE AND SHRUB PLANTING AND STAKING DETAIL. THOROUGHLY MIX THE SPECIFIED MATERIALS FOUND IN THE SOIL ANALYSIS AND THOSE SPECIFIED IN THE PLANTING DETAIL SHEET WITH THE SITE SOIL PRIOR TO BACKFILLING OF PLANTING PITS

### **GENERAL NOTES**

SUBJECT PROPERTY
TAX MAP 11: BLOCK 42, LOTS 1, BOROUGH HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY

S PLAN SET HAS BEEN PREPARED FOR THE PURPOSE OF PRELIMINARY/FINAL SITE PLAN MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL FINAL APPROVALS HAVE BEEN OBTAINED AND ALL THE CONDITIONS OF THE APPROVALS HAVE BEEN SATISFIED.

SURVEY DATA
SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE SURVEYING, LLC, ENTITLED

TO THE MORTH AMERICAN "BOUNDARY AND TOPOGRAPHIC SURVEY", LAST REVISED 12/20/23. ALL ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1988 (NAVD88). SEE SURVEY FOR DEED REFERENCES.

ACCORDING TO FEMA'S EFFECTIVE FIRM ENTITLED "FIRM - FLOOD INSURANCE RATE MAP (FIRM) MONMOUTH COUNTY NEW JERSEY (ALL JURISDICTIONS)." COMMUNITY PANEL #34025C00088H. DATED 6/15/22. THE SITE IS LOCATED IN ZONE AE WITH A BASE FLOOD ELEVATION OF 11. ACCORDING TO FEMA'S CURRENT PRELIMINARY FIRM ENTITLED, "PRELIMINARY FLOOD INSURANCE RATE MAP (FIRM)". COMMUNITY PANEL #34025C00088H, DATED 6/15/22. THE SITE IS LOCATED IN ZONE AE WITH A BASE FLOOD ELEVATION OF 11. BOTH FEMA MAPS REFERENCE THE NAVD88 VERTICAL DATUM.

# RCHITECTURAL INFORMATION CONTAINED HEREON IS BASED ON PLANS PREPARED BY SALVATORE LA FERLITA, R.A.

ARCHITECTURAL SERVICE CONSTRUCTION MANAGEMENT.

FOR ANY EXCAVATION IN NEW JERSEY, THE CONTRACTOR MUST CALL NEW JERSEY ONE CALL SERVICE AT 1-800-272-1000 FOR A MARKOUT REQUEST NO LESS THAN THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.

IE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CATV LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION AND ELEVATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES IMPACTED BY NEW CONSTRUCTION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING. PRIOR TO CONSTRUCTION. OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN.

UNLESS OTHERWISE NOTED HEREON. ALL SITE WORK SHALL BE CARRIED OUT IN CONFORMANCE WITH THE PROVISIONS OF THE "NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.

a. ALL CONSTRUCTION AND DEMOLITION SHALL CONFORM WITH ANY APPLICABLE FEDERAL. STATE AND LOCAL REGULATIONS CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY WAYS. MEANS AND METHODS OF CONSTRUCTION, AND SHALL CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION. b. THE CONTRACTOR SHALL PERFORM ALL WORK IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION

OF THE OWNER AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES c. THE CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL

METHODS AS MAY BE NECESSARY WITHIN THE PROJECT FOR THE PROTECTION AND THE SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION

d. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CLEANUP WITHIN THE CONSTRUCTION AREA AND SHALL DISPOSE OF DEBRIS IN ACCORDANCE WITH ANY LOCAL, STATE OR FEDERAL REGULATIONS.

e. ANY DAMAGE TO PUBLIC STREETS, CURBS, SIDEWALKS AND UTILITIES AS A RESULT OF SITE CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR.

10. <u>CONSTRUCTION PERMITS/INSPECTIONS</u>
CONTRACTOR RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS INCLUDING ROAD OPENING PERMITS, PREPARATION OF TRAFFIC CONTROL PLANS, INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL AND COORDINATION OF ALL INSPECTIONS REQUIRED BY THE BOROUGH OF HIGHLANDS, COUNTY OF MONMOUTH, TOWNSHIP OF MIDDLETOWN SA WMP SEWERAGE AUTHORITY AND ANY OTHER APPLICABLE AGENCY HAVING JURISDICTION OVER THE PROJECT

11. ADA COMPLIANCE

a. ALL SITE IMPROVEMENTS LOCATED ON THE PRIVATE PROPERTY SHALL BE IN COMPLIANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, STANDARDS FOR PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES: TITLE III. b. ALL SITE IMPROVEMENTS LOCATED WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINES.

HIS PLAN SET CONSISTS OF MULTIPLE SHEETS. INDIVIDUAL PAGES SHALL NOT BE UTILIZED FOR CONSTRUCTION ON THEIR OWN AS NOTES AND INFORMATION PROVIDED ON OTHER SHEETS MAY IMPACT WORK REQUIREMENTS. CONTRACTOR SHALL REVIEW AND UTILIZE ENTIRE PLAN SET FOR CONSTRUCTION.

13. FRESHWATER/COASTAL WETLANDS AND STREAMS
BASED UPON REVIEW OF PUBLISHED MAPPING, NO FRESHWATER/COASTAL WETLANDS OR STREAMS EXIST ON-SITE.

14. SOIL REMOVAL
ANY SOIL REMOVAL FROM THE SITE SHALL BE IN ACCORDANCE WITH BOROUGH CODE.

REGULAR MAINTENANCE OF THE PROPERTY (INCLUDING BUT NOT LIMITED TO: SNOW PLOWING, PAVEMENT / PARKING LOT

# REPAIRS, COMMON AREAS, REFUSE AREA, LANDSCAPING AND LIGHTING) SHALL BE THE RESPONSIBILITY OF THE PROPERTY

. IMPORTED FILL
ANY IMPORTED FILL SHALL MEET THE DEFINITION OF CLEAN FILL, PURSUANT TO THE TECHNICAL REQUIREMENTS OF SITE

REMEDIATION (AS FOUND AT NJAC 7:26E-1.8).

# ANY SEPTIC SYSTEMS OR UNDERGROUND STORAGE TANKS FOUND ONSITE WILL BE DECOMMISSIONED AND/OR REMOVED IN

ACCORDANCE WITH BOROUGH, COUNTY AND/OR NJDEP REQUIREMENTS.

<u>CURBS, SIDEWALKS</u>
APPLICANT IS RESPONSIBLE FOR ANY DAMAGES TO ANY/ALL EXISTING CURB, SIDEWALK, ROADWAY AND OTHER OFF-SITE OBJECTS MADE DURING CONSTRUCTION AND MUST BE REPAIRED AND/OR REPLACED TO THE PRE-EXISTING CONDITION/STATE TO THE SATISFACTION OF THE BOROUGH ENGINEER. WHICH SHALL NOT UNREASONABLY BE WITHHELD. AND COAST PAID

# BY THE APPLICANT.

SHOULD THE FENCE ALONG THE PROPERTY LINE SHARED WITH LOT 15 BE REPLACED, THE FENCE ENCROACHMENT SHALL BE

ALL AIR CONDITIONING UNITS SHALL BE LOCATED ON THE ROOF NEAR THE ELEVATOR.

### GENERAL LANDSCAPING NOTES

WITH TOPSOIL I EVELED AND REPLANTED

AFTER ALL INSTALLATION OPERATIONS HAVE BEEN COMPLETED, REMOVE ALL RUBBISH, EXCESS SOIL, EMPTY PLANT CONTAINERS AND TRASH FROM THE SITE DAILY. ALL SCARS, RUTS AND OTHER MARKS IN THE AREA CAUSED BY THIS WORK SHALL BE REPAIRED AND THE GROUND LEFT IN A NEAT, ORDERLY CONDITION. LEAVE SITE IN BROOM-CLEAN CONDITION AT THE END OF EACH DAY.

### MAINTENANCE 1. DURING INSTALLATION, THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT NUMBER OF LABORERS AND ADEQUATE EQUIPMENT TO PERFORM THE WORK HEREIN SPECIFIED, PLANT MAINTENANCE SHALL CONSIST OF WATERING, WEEDING, CARING OF PLANTS, INCLUDING GROUND COVERS. SHRUBS VINES AND TREES EDGING AND MOWING LAWNS FERTILIZING CONTROL OF PESTS AND DISEASES AND MAINTAINING WALKS FREE OF DEBRIS AND DIRT, UPON COMPLETION OF EACH AREA, THE CONTRACTOR, THE UNDERSIGNED, THE OWNER, ALONG WITH THE OWNER'S

MAINTENANCE REPRESENTATIVE SHALL CONDUCT AN INSPECTION OF COMPLETED AREA. AT THIS TIME, A LIST OF CORRECTIONS, IF ANY, SHALL BE MADE. ALL CORRECTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AFTER ALL WORK HAS BEEN COMPLETED, INSPECTED AND ACCEPTED, ALL AREAS WILL BE MAINTAINED FOR A PERIOD OF NINETY (90) CALENDAR

DAYS OR AS LONG AS IS NECESSARY TO ESTABLISH THRIVING TREES, SHRUBS, TURF AND GROUND COVER WITHOUT BARE SPOTS. KEEP ALL AREAS WEED-FREE, ADEQUATELY WATERED AND NEATLY CULTIVATED FOR THE NINETY (90) PERIOD. REMOVE ALL DEBRIS FROM SITE

AND KEEP THE ENTIRE SITE BROOM-CLEAN. TURF AREAS ARE TO BE MOWED WEEKLY. RE-SEED ALL BARE SPOTS IN TURF AREAS AT TWO (2) WEEK INTERVALS AND MAINTAIN UNTIL AN EVEN STAND OF TURF IS OBTAINED. RE-SEED ALL SLOPE AREAS THAT FAIL TO GERMINATE EVENLY. REPAIR ALL ERODED SURFACES AT NO COST TO THE OWNER. DAMAGE TO ANY PLANTED AREA SHALL BE REPAIRED IMMEDIATELY DEPRESSIONS CAUSED BY VEHICLES OR FOOT TRAFFIC SHALL BE FILLED.

6. THE PROJECT SHALL BE SO CARED FOR THAT A NEAT, CLEAN CONDITION WILL BE PRESENTED AT ALL TIMES TO THE SATISFACTION OF THE OWNER AND THE UNDERSIGNED. THE LANDSCAPE CONTRACTOR SHALL BE EXPECTED TO MAKE A MINIMUM OF ONE (1) VISIT PER WEEK FOR MAINTENANCE PURPOSES DURING THE MAINTENANCE PERIOD (90 DAYS).

AT THE END OF THE MAINTENANCE PERIOD, ALL AREAS THAT HAVE BEEN PLANTED SHALL BE FERTILIZED WITH COMMERCIAL FERTILIZER. ANALYSIS AND RATE OF APPLICATION SHALL BE PER THE SOILS REPORT THE CONTRACTOR SHALL REQUEST A FINAL SITE VISIT SEVEN (7) DAYS PRIOR TO THE END OF THE MAINTENANCE PERIOD (90 DAYS). THIS REQUEST SHALL BE WRITTEN AND DIRECTED TO THE OWNER AND THE UNDERSIGNED. UPON WRITTEN ACCEPTANCE OF THE PROJECT BY THE

## OWNER AND THE UNDERSIGNED, THE CONTRACTOR SHALL BE RELIEVED OF ANY FURTHER MAINTENANCE. ALL TURF, GROUND COVER AND SHRUBS SHALL BE GUARANTEED TO LIVE AND GROW THROUGH THE FIRST GROWING SEASON. TREES SHALL BE

# THROUGH THE SPECIFIED MAINTENANCE AND GUARANTEED

GUARANTEED FOR A PERIOD OF ONE (1) YEAR. THE CONTRACTOR, AT NO COST TO THE OWNER, SHALL REPLACE ANY MATERIAL THAT FAILS TO GROW

DBSERVATION VISITS SPECIFIED HEREIN SHALL BE MADE BY THE UNDERSIGNED OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL REQUEST OBSERVATION AT LEAST TWO (2) WORKING DAYS IN ADVANCE OF THE TIME THAT THE OBSERVATION IS REQUESTED. A 2. OBSERVATION VISITS ARE SUGGESTED FOR THE FOLLOWING PARTS OF THE WORK:

### a. UPON COMPLETION OF GRADING AND SOIL CONDITIONING PRIOR TO PLANTING NOTIFIED AND SECURITION OF THE WHEN PLANTING HOLES ARE EXCAVATED.

c. WRITTEN ACCEPTANCE OF THE PROJECT TO RELEASE THE CONTRACTOR FROM FURTHER MAINTENANCE SHALL OCCUR AFTER FINAL OBSERVATION WITH THE OWNER OR HIS REPRESENTATIVE AT THE END OF THE MAINTENANCE PERIOD. <u>VERIFICATION OF DIMENSIONS</u>
ALL SCALED DIMENSIONS ARE APPROXIMATE. PRIOR TO PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS

# AND QUANTITIES, AND SHALL IMMEDIATELY NOTIFY THE UNDERSIGNED OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS. NO WORK SHALL BE DONE IN ANY AREA WHERE THERE IS SUCH A DISCREPANCY UNTIL APPROVAL FOR SAME HAS BEEN GIVEN BY

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY CONSTRUCTION, SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DAMAGE SUCH LINES AND PLANT LOCATIONS. PROMPTLY NOTIFY THE LINDERSIGNED TO ARRANGE FOR RELOCATIONS OF UTILITIES OR PLANTING LOCATIONS. FAILURE TO FOLLOW THIS PROCEDURE PLACES UPON THE CONTRACTOR THE RESPONSIBILITY FOR. AT HIS OWN EXPENSE. MAKING ANY AND ALL REPAIRS FOR DAMAGES RESULTING FROM HIS WORK.

### EXISTING TREES CONTRACTOR IS TO TAKE CARE IN PRESERVING ANY EXISTING TREES GREATER THAN OR EQUAL TO 6" ON THE SITE. DAMAGE OR LOSS OF THESE TREES WILL RESULT IN REPLACEMENT OF EQUAL SIZE BY THE LANDSCAPE CONTRACTOR.

### THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, FTC AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION

ALL TREE AND SHRUB MATERIAL SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF UNDERSIGNED WILL NOT BE ALLOWED.

# ILL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE

INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.

### IREE PLANTINGS 1. WHENEVER FEASIBLE, TREES SHOULD BE PLANTED A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS TO SERVE SET UP TO SET UP AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE UNDERSIGNED FOR DECISION ON PLACEMENT. ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 3" MIN. THK. MULCH AT BASE OF

<u>;ROUNDCOVER</u> 3ROUNDCOVER TYPE SHOWN SHALL BE PLANTED IN ALL SHRUB AREAS AS SPECIFIED ON PLANS. GROUNDCOVER SHALL BE PLANTED AT 18"

TURE ALL TURE AREAS ARE TO BE SODDED WITH AN APPROVED GRASS MIXTURE.

\*SEE LANDSCAPING NOTES AND DETAIL SHEET FOR ADDITIONAL PLANTING NOTES

THE OWNER SHALL HAVE A SOIL ANALYSIS MADE AFTER COMPLETION OF THE ROUGH GRADING. THE CONTRACTOR SHALL INCORPORATE ALL SOIL AMENDMENTS AND FERTILIZERS DESCRIBED HEREIN. THE SOIL PREPARATION SPECIFIED BELOW SHALL BE ADJUSTED ACCORDING TO THE ANALYSIS, FOLLOWING APPROVAL FROM THE UNDERSIGNED.

ON-CENTER UNIFORM TRIANGULAR SPACING, AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.

# A. WEED CONTROL FOR LAWN, SHRUB & GROUND COVER AREAS (EXCEPT SLOPES)

IRRIGATION IS TO BE INSTALLED WHERE NOTED ON PLAN ACCORDING TO SHOP DRAWINGS.

FERTILIZE ALL SHRUB/GROUND COVER AREAS. APPLY 10LBS. OF 16-20-0 COMMERCIAL FERTILIZER PER 1,000 SQ. FT. OR AS DIRECTED BY SOILS 4. WATER ALL SHRUB/GROUND COVER AREAS FOR THREE (3) WEEKS TO GERMINATE WEED SEEDS. APPLY WATER AT LOW RATE TO AVOID

## 5. LICENSED APPLICATOR SHALL APPLY SYSTEMIC WEED KILLER TO ALL PLANTING AREAS PER MANUFACTURER'S SPECIFICATIONS. PSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED ON ALL REGARDED SURFACES. AT LEAST THREE (3) INCHES OF

### EVEN COVER SHALL BE PROVIDED TO ALL DISTRIBUTED AREAS OF THE DEVELOPMENT AND SHALL BE STABILIZED BY SEEDING OR PLANTING. IF EXCESS TOPSOIL REMAINS, THE THICKNESS SHALL BE INCREASED. IF ADDITIONAL IS REQUIRED, THE DEVELOPER SHALL PROVIDE IT. REMOVAL OF EXCESS TOPSOIL SHALL ONLY BE PERMITTED IN ACCORDANCE WITH A PLAN APPROVED BY THE MUNICIPAL AGENCY.

### SOIL PREPARATION & FINAL GRADING 1. ALL STUMPS AND OTHER TREE PARTS, LITTER, BRUSH, WEEDS, EXCESS OR SCRAP BUILDING MATERIALS, OR OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF, NO TREE STUMPS, PORTIONS OF TREE TRUNKS OR LIMBS SHALL BE BURIED ANYWHERE IN THE

- DEVELOPMENT. ALL DEAD OR DYING TREES, STANDING OR FALLEN, SHALL BE REMOVED FROM THE SITE ROUGH GRADE: SITE TO BE RECEIVED BY LANDSCAPE CONTRACTOR, TO WITHIN 1/10 FOOT PLUS OR MINUS, BY OWNER BASED UPON GRADING
- FINAL GRADE: FINAL GRADE TO CONSIST OF GRADING, RAKING AND HAND WORK NECESSARY TO ACHIEVE DESIRED CONTOUR AND FLOW LINE PATTERNS RESULTING IN EVENLY FINISHED SURFACES FREE OF DEBRIS AND LITTER.
- SPREAD OVER ALL LAWN, SHRUB AND GROUND COVER AREAS, AMENDMENTS AND FERTILIZER PRESCRIBED IN SOILS REPORT. THOROUGHLY MIX INTO SOIL TO DEPTH OF 6" OR MORE AND FINE GRADE. CONTRACTOR TO IMPORT SOIL NECESSARY TO ATTAIN DESIGN GRADES AND BERMS, ALL IMPORTED SOIL SHALL BE FREE OF WEEDS AND DEBRIS AND HAVE BALANCED PH., SMOOTH AND EVEN GRADING FOR PROPER DRAINAGE. FINAL GRADE SHALL BE 1" BELOW WALK/TOP OF CURB REMOVE FROM THE SITE ALL STONES OVER 2" IN SIZE

### D. <u>PLANTING</u> PLANT TREES, SHRUBS AND GROUND COVER AS CALLED FOR WHERE INDICATED ON PLANTING PLAN AND AS DETAILED ON PLANTING DETAIL SHEET. GROUND COVER - FLATS AND/OR CUTTINGS:

ALL PLANT MATERIALS SPECIFIED AS PLUGS OR FLAT STOCK ON PLANTING PLAN SHALL REMAIN IN THE FLATS UNTIL TIME OF TRANSPLANTING. THE FLAT SOIL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT SOIL DOES NOT FALL APART WHEN LIFTING PLANT FROM FLAT. GROUND COVER PLANTS SHALL NOT BE ALLOWED TO DRY OUT BEFORE OR DURING PLANTING. ROOTS SHALL NOT BE EXPOSED TO THE AIR EXCEPT WHILE ACTUALLY BEING PLANTED. WILTED PLANTS WILL NOT BE ACCEPTED. AT THE TIME OF PLANTING, THE SOIL AROUND EACH PLANT SHALL BE FIRMED SUFFICIENTLY TO FORCE OUT AIR POCKETS. PLANTS TO BE PLANTED IN TRIANGULAR SPACING AS SPECIFIED O.C. (ON CENTER). ALL CUTTINGS SHALL BE MINIMUM OF 6" LONG. WATER IMMEDIATELY AFTER EACH PLANTING UNTIL ONE INCH OF WATER PENETRATION IS OBTAINED. CARE SHALL BE EXERCISED AT ALL TIMES TO PROTECT THE PLANTS AFTER PLANTING. ANY DAMAGE TO PLANTS BY TRAMPLING OR OTHER OPERATIONS OF THIS CONTRACT SHALL BE REPAIRED IMMEDIATELY.

PLANT ALL CONTAINER GROWN PLANTS IN PLANTING PITS AS DIRECTED ON TREE AND SHRUB PLANTING AND STAKING DETAIL. THOROUGHLY MIX BACKFILL ACCORDING TO TREE AND SHRUB PLANTING AND STAKING DETAIL. CONTRACTOR SHALL CONSTRUCT BASINS AROUND ALL TREES; BASINS SHALL NOT EXCEED TOP OF ROOT BALL CROWN.

ALL TREES SHALL HAVE A CALIPER OF TWO AND ONE-HALF (2 ½) INCHES OR SPECIFIED CALIPER IN PLANTING SCHEDULE AND THEY SHALL BE NURSERY GROWN, OF SUBSTANTIALLY UNIFORM SIZE AND SHAPE, AND HAVE STRAIGHT TRUNKS. TREES SHALL BE PROPERLY PLANTED AND STAKED ACCORDING TO TREE AND SHRUB PLANTING AND STAKING/EVERGREEN PLANTING & STAKING DETAIL AND PROVISION MADE BY THE APPLICANT FOR REGULAR WATERING AND MAINTENANCE UNTIL THEY ARE ESTABLISHED. THE APPLICANT SHALL REPLACE DEAD OR DYING TREES DURING THE NEXT PLANTING SEASON

 TOP DRESSING TOP DRESS ALL GROUND COVER AND SHRUB AREAS WITH 2" THICK LAYER OF OGC (ORGANIC GROUND COVER) AS SPECIFIED ON PLANTING

### SOD 1. AREAS SHALL HAVE A SMOOTH CONTINUAL GRADE BETWEEN EXISTING OF FIXED CONTROLS, SUCH AS: WALKS, CURBS, CATCH BASINS. ROLL, SCARIFY, RAKE AND LEVEL AS NECESSARY TO OBTAIN TRUE, EVEN SOIL STRUCTURE.

- APPLY FERTILIZERS AS SPECIFIED BY SOIL ANALYSIS TO DEPTH OF 6". SOD SHALL BE INSTALLED THE SAME DAY AS IT IS DELIVERED. SOD SHALL NOT BE LEFT ON PALLETS IN THE HOT SUN. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO SOD NOT INSTALLED ON DAY OF DELIVERY
- 4. UNROLL SOD CAREFULLY AND PLACE IN STAGGERED PATTERN OF STRIPS. SOD SHALL BE INSTALLED AGAINST ADJACENT STRIPS TO ELIMINATE
- FOLLOWING INSTALLATION, SOD SHALL BE IRRIGATED THOROUGHLY TO PROVIDE MOISTURE PENETRATION TO AT LEAST 6" INTO PREPARED 6. ALL SOD SHALL BE HANDLED AND LAID IN A HIGH STANDARD OF WORKMANSHIP MANNER. ALL ENDS, JOINTS, AND CUTS SHALL FIT TIGHTLY SO
- THAT THERE ARE NO VOIDS. THE FINAL APPEARANCE SHALL BE ONE OF A CONTINUOUS LAWN. SECTIONS OF SOD LESS THAN 18" LONG OR 9"

7. NO SOD AREA WILL BE ACCEPTED UNTIL APPROVED BY AUTHORITY HAVING JURISDICTION OR THE UNDERSIGNED, AS REQUIRED.

**GRADING NOTES** ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CURB WITH 6" REVEAL, UNLESS OTHERWISE STATED.

- 2. ALL CURBS SHALL BE DEPRESSED AT CROSSWALKS AND CONFORM TO APPLICABLE STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.
- 3. ALL CURB INLETS TO USE 6" CASTING. TOP OF CASTING TO FOLLOW TOP OF CURB ELEVATIONS.
- FOR ALL AREAS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ACCESSIBILITY SHALL BE IN ACCORDANCE WITH THE CURRENT PUBLIC
- RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINE (PROWAG).
- a. ALL WALKING SURFACES TO HAVE A MAXIMUM RUNNING SLOPE OF 1:20 (5%)
- b. ALL WALKING SURFACES GREATER THAN 1:20 (5%) WILL REQUIRE HANDRAILS.
- c. RAMP RUNS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1:12 (8.3%).
- d. ALL WALKING SURFACES TO HAVE A MAXIMUM CROSS SLOPE OF 1:48 (2%).
- e. ALL CROSSWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1:48 (2%).
- . ALL GRADING WITHIN GRASSED AREAS TO BE A MINIMUM OF 2% AND A MAXIMUM OF 3:1 SLOPE UNLESS OTHERWISE NOTED.
- 6. POSITIVE DRAINAGE TO BE MAINTAINED FROM ALL BUILDINGS IN ACCORDANCE WITH APPLICABLE REGULATIONS AND BUILDING CODE.
- FLOOR ELEVATIONS, ADJACENT GRADE, DOORWAY LOCATIONS AND ELEVATIONS SHALL BE CONFIRMED WITH ARCHITECTURAL PLANS PRIOR TO
- ALL EXCAVATED SOIL TO BE DISPOSED SHALL BE PROPERLY CLASSIFIED, HANDLED, AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL,
- 9. ALL GRASSED AREAS TO HAVE A MINIMUM OF 4" CLEAN TOP SOIL, WHEN SOD IS BEING INSTALLED, OR 6" CLEAN TOP SOIL FOR SEEDING APPLICATIONS

### DRAINAGE NOTES

- 1. PIPE LENGTHS INDICATED ARE MEASURED CENTER TO CENTER OF EACH STRUCTURE.
- SHOP DRAWINGS AND PRODUCT CATALOG INFORMATION FOR ALL STORM DRAINAGE SEWER STRUCTURES, CONDUITS, MATERIALS, AND APPURTENANCES, TO BE PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASING
- BUILDING ROOF LEADERS AND CLEAR WASTE FROM BUILDING TO CONNECT TO SITE STORM SEWER SYSTEM. CONNECTION POINTS WILL BE
- UNLESS OTHERWISE INDICATED: a. RCP SHALL BE CLASS 3 WALL, BELL AND SPIGOT TYPE WITH O-RING GASKETS, UNLESS OTHERWISE NOTED.
- b. HDPE PIPES SHALL BE ADS N-12 WITH WATER TIGHT JOINTS OR APPROVED EQUAL. c. STORM SEWER PVC PIPES SHALL BE SCHEDULE 80 WITHIN PAVED AREAS AND SCHEDULE 40 IN LANDSCAPED AREAS, UNLESS OTHERWISE
- 5. ALL STORM PIPE TO BE CLEANED AND TELEVISED PRIOR TO ISSUANCE OF CERTIFICATES OF OCCUPANCY

RULES AND REGULATIONS. AND WITNESSED AND APPROVED BY THE AUTHORITY ENGINEER.

### **SANITARY SEWER NOTES**

- CONTRACTOR TO PERFORM TEST PITS TO VERIFY EXISTING UTILITY DEPTHS, SIZES AND LOCATIONS PRIOR TO CONNECTING PROPOSED SEWER TO EXISTING SEWER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS SO THAT DESIGN MODIFICATIONS CAN BE MADE
- 2. PIPE LENGTHS INDICATED ARE MEASURED CENTER TO CENTER OF EACH STRUCTURE.
- ALL SANITARY SEWER MAINS, SEWER LATERALS, AND APPURTENANCES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY AND NJDEP REQUIREMENTS
- SHOP DRAWINGS AND PRODUCT CATALOG INFORMATION FOR ALL SANITARY SEWER, CONDUITS, MATERIALS, AND APPURTENANCES, TO BE PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASING
- ANY DAMAGE CAUSED TO THE EXISTING SANITARY SEWER SYSTEM AS A RESULT OF CONSTRUCTION ACTIVITIES (TO BE DETERMINED BY THE SEWER OWNER) SHALL BE REPAIRED BY THE CONTRACTOR. AT THE COST OF THE CONTRACTOR AND TO THE SEWER OWNER'S SATISFACTION
- PRIOR TO ACCEPTANCE, AS-BUILT PLANS FOR THE SANITARY SEWER SYSTEM SHALL BE SUBMITTED AND APPROVED.
- PRIOR TO ACCEPTANCE, THE SANITARY SEWER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH TOWNSHIP OF MIDDLETOWN SEWAGE AUTHORITY
- 8 REFER TO TECHNICAL SPECIFICATIONS FOR SANITARY SEWER FOR MATERIAL, INSTALLATION SPECIFICATIONS AND TESTING REQUIREMENTS.
- IN ACCORDANCE WITH N.J.A.C. 7:10-11.10(E)5, ALL WATER MAINS AND SANITARY SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SLICH OTHER SEPARATION EXPRESSLY APPROVED BY THE NJDEP. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (DUCTILE IRON), WITH WATERTIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN.
- 10. UNLESS OTHERWISE INDICATED SANITARY SEWER MAINS SHALL BE PVC SDR-35
- 11. A MARKER STAKE PROTRUDING A MINIMUM OF FOUR FEET ABOVE THE GROUND SURFACE SHALL BE PLACED TO INDICATE THE END OF THE CONSTRUCTION STUBS FOR BUILDING CONNECTIONS, OR STUBS SHALL BE TURNED AND EXTENDED ABOVE GRADE BY FOUR FEET AND CAPPED.
- CIRCULAR HOLE SAWS WHICH ARE APPROPRIATELY SIZED OR HAND DRILLS MUST BE USED TO MAKE OPENINGS IN EXISTING SEWERS TO RECEIVE LATERALS. JACKHAMMERS, SLEDGEHAMMERS AND OTHER UNSUITABLE TOOLS OR MACHINERY WHICH MAY DAMAGE THE SEWER MAIN ARE NOT ALLOWED TO BE USED TO MAKE LATERAL OPENINGS. ALL DEBRIS MUST BE REMOVED AND NOT ALLOWED TO FALL INTO THE PIPE.

# **WATER NOTES**

- CONTRACTOR TO PERFORM TEST PITS TO VERIFY EXISTING UTILITY DEPTHS, SIZES AND LOCATIONS PRIOR TO CONNECTING PROPOSED WATER MAINS TO EXISTING WATER MAINS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS SO THAT DESIGN
- MODIFICATIONS CAN BE MADE IF NECESSARY SHOP DRAWINGS AND PRODUCT CATALOG INFORMATION FOR ALL WATER, CONDUITS, MATERIALS, AND APPURTENANCES, TO BE PROVIDED TO THE
- PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASING
- PRIOR TO ACCEPTANCE, AS-BUILT PLANS FOR THE WATER SYSTEM SHALL BE SUBMITTED AND APPROVED.
- 4. REFER TO TECHNICAL SPECIFICATIONS FOR WATER MATERIAL, INSTALLATION SPECIFICATIONS AND TESTING REQUIREMENTS. 5. ALL WATER MAINS, WATER SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED, TESTED AND DISINFECTED IN ACCORDANCE WITH NJAW AND NJDEP REQUIREMENTS.
- ALL WATER SERVICES TO BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS OF THE PLUMBING SUBCODE PROMULGATED BY THE NEW JERSEY DEPARTMENT OF COMMUNITY AFFAIRS PURSUANT TO THE STATE UNIFORM CONSTRUCTION CODE ACT (NJAC 5:23-3.15).
- ALL NEW WATER MAINS SHALL BE LAID WITH A MINIMUM OF 3.5 FEET OF COVER OVER THE PIPE TO PREVENT FREEZING.
- IN ACCORDANCE WITH N.J.A.C. 7:10-11.10(E)5, ALL WATER MAINS AND SANITARY SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH OTHER SEPARATION EXPRESSLY APPROVED BY THE NJDEP. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (DUCTILE IRON), WITH WATERTIGHT JOINTS
- . UNLESS OTHERWISE INDICATED DIP WATER MAIN SHALL BE CLASS 53 CEMENT LINED DUCTILE IRON PIPE. (POLYETHYLENE ENCASEMENT)
- 10. A MARKER STAKE PROTRUDING A MINIMUM OF FOUR FEET ABOVE THE GROUND SURFACE SHALL BE PLACED TO INDICATE THE END OF THE

**PUBLIC UTILITY NOTES** 

INSTALLATIONS. THESE RECORDS SHALL BE PROVIDED TO THE ENGINEER UPON REQUEST

THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN

PROJECT ENGINEER AND THE PROJECT OWNER

- . ALL PUBLIC UTILITY SERVICE CONNECTIONS TO BUILDINGS TO BE LOCATED UNDERGROUND. ELECTRICAL, TELEPHONE, CATV AND ALL OTHER WIRE-SERVED UTILITY EXTENSIONS AND SERVICES SHALL BE INSTALLED UNDERGROUND WITH
- STANDARDS ESTABLISHED BY THE SERVICING UTILITY COMPANY GAS AND ELECTRICAL SERVICE CONDUITS AND STRUCTURES MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND PROVIDED DESIGN BY JCP&L/NJNG. THE CONTRACTOR MUST PROVIDE RECORD "AS BUILT" PLANS OF ALL CONDUITS AND STRUCTURES TO JCP&L/NJN
- TELEPHONE AND CATV SERVICE CONDUIT AND STRUCTURES MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF VERIZON AND COMCAST. THE CONTRACTOR MUST PROVIDE RECORD "AS BUILT" PLANS OF ALL CONDUITS AND STRUCTURES TO VERIZON, COMCAST, PROJECT
- 5. CONTRACTOR SHALL MAINTAIN FIELD NOTES, PHOTOGRAPHS, AND REDLINE PLANS CLEARLY RECORDING THE LOCATION OF ALL UNDERGROUND

## SITE PREPARATION NOTES

- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:
- a. ENSURE COPIES OF ALL PERMITS AND APPROVALS ARE ON SITE FOR REVIEW b. THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO SITE DISTURBANCE. c. ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE CABLE FIBER OPTIC CABLE FTC WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE
- CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE AI UNDERGROUND UTILITIES. d. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES. e. FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENT AND IS RESPONSIBLE FOR ALL
- COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- f. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. g. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISIONS. CONTRACTOR IS TO PROCEED WI
- THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO INSURE PUBLIC AND
- h. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE IN ABSENCE OF SPECIFIC SPECIFICATION. THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES. DEMOLITION AND REMOVAL O

ALL FOUNDATION WALLS. FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY

- OWNER'S GEOTECHNICAL ENGINEER. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINES, WITHOUT WRITTEN PERMISSION
- USE DUST CONTROL MEASURES TO LIMIT THE AMOUNT OF AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR TO WITHIN FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL E CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESS. TO PROVIDE A SAFE WORK SITE.
- 7. ALL UTILITY CONNECTIONS TO ADJACENT BUILDINGS MUST STAY ACTIVE DURING CONSTRUCTION.

OFF-SITE UNLESS OTHERWISE NOTED.

NOT PERMITTED UNLESS NOTED OTHERWISE

RIGHT-OF-WAYS TO BE VERTICAL CONCRETE CURBING

THE CONTRACTOR IS RESPONSIBLE TO ENSURE SHUT OFF, DISCONNECT, AND/OR CAPPING OF ALL UTILITIES TO THE SITE INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, ELECTRIC, CABLE, TELEPHONE, ETC. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY SHUT OFFS AND LETTERS. OBTAINING ALL PERMITS TO COMPLETE ALL PHASES OF THE PROJECT.

ALL STREET APPURTENANCES (INCLUDING SIGNS, POLES, TREES & FENCING) WITHIN THE LIMITS SHOWN ARE TO BE REMOVED AND DISPOS

ALL UNDERGROUND UTILITIES, LINES, PIPING, STRUCTURES, FOUNDATIONS, VAULTS AND BUILDING FRAGMENTS ASSOCIATED WITH FORMER BUILDINGS, WITHIN THE PROJECT BOUNDARY, ARE TO BE REMOVED AND DISPOSED OFF SITE.

10. EXISTING LIGHTING AND UTILITY POLE REMOVALS ARE TO BE PERFORMED BY THE APPROPRIATE UTILITY COMPANY.

12. ALL STRUCTURES (CURBS, SIDEWALKS, PATIO, RETAINING WALL, FENCES, ASPHALT, CONCRETE, ETC.) WITHIN THE PROJECT'S BOUNDARY SHALL BE REMOVED AND DISPOSED OFF-SITE AT AN APPROPRIATE FACILITY.

### 13. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OFFSITE I ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES, ORDINANCES, AND LAWS.

1. ALL SIGNAGE TO BE POSTED IN ACCORDANCE WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION-FEDERAL HIGHWAY

- ADMINISTRATION, "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS (MUTCD), LATEST EDITION. 2. ALL STOP BARS SHALL BE 24" WIDE WHITE THERMO PLASTIC STRIPE. ALL OTHER STRIPING MAY BE EPOXY
- 3. ALL CURB AND SIDEWALKS SHALL CONFORM TO STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS. ALL SIDEWALK RAMPS MARKED HCR TO HAVE DETECTABLE WARNING SURFACE INSTALLED IN ACCORDANCE WITH ADA REGULATIONS. ALI DETECTABLE WARNING STRIPS SHALL BE "REPLACEABLE WET-SET" OR EQUIVALENT. SURFACE MOUNT OR "STICK ON" WARNING STRIPS AR
- ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CONCRETE CURBING. ALL PROPOSED CURBING WITHIN MUNICIPAL OR COUNTY
- ALL CONNECTIONS WITH EXISTING PAVEMENTS, CURBS, SIDEWALKS, ETC SHALL BE SAW CUT.
- RETAINING WALLS REQUIRE STRUCTURAL DESIGN BY A LICENSED PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION
- 8. SIDEWALK/WALKWAY RISERS MUST BE GREATER THAN 4" AND LESS THAN 8". 9. SEE LANDSCAPE PLANS FOR DETAILS ON HARDSCAPE AND PLANTING MATERIALS.

10. SEE ARCHITECT'S PLANS FOR BUILDING ELEVATIONS AND FLOOR PLANS.

# PROPOSED

PROJECT INFORMATION

BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS. MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE HIGHLANDS, NJ 07732

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE HIGHLANDS, NJ 07732

# APPLICANT'S PROFESSIONALS

<u>ATTORNEY:</u> DONNA M. JENNINGS ESQ WILENTZ, GOLDMAN & SPITZER, PA

90 WOODBRIDGE CENTER DRIVE, SUITE 900

SALVATORE LA FERLITA, R.A. 115 UNIVERSITY DRIVE LINCROFT, NJ 07738

INSITE SURVEYING, LLC

WALL, NJ 07719

1955 ROUTE 37, SUITE 1A

WOODBRIDGE, NJ 07095



# NJ ONE CALL.....800-272-1000



CERTIFICATE OF AUTHORIZATION: 24GA28083200

1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

732-531-7100 (Ph) 732-531-7344 (Fax)

InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA

DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA AUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURI AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED

### DOUGLAS D. CLELLAND. PE PROFESSIONAL ENGINEER NJ PE 24GE05331000

REVISIONS

PER COUNTY
PER COUNTY
PER COUNTY
PER COUNTY REVIEW LETTER
FOR RESOLUTION COMPLIANCE
FOR RESOLUTION COMPLIANCE
PER BOROUGH COMMENTS
PER ATTORNEY
PER ATTORNEY
INITIAL RELEASE

11/20/24 06/05/24 04/09/24 03/28/24 03/12/24 02/05/24 SCALE: AS SHOWN DESIGNED BY: DDC DATE: **02/05/24** DRAWN BY: AMC

CHECKED BY: DDC

JOB #: 23-2237-01 CAD ID: 23-2237-01r3

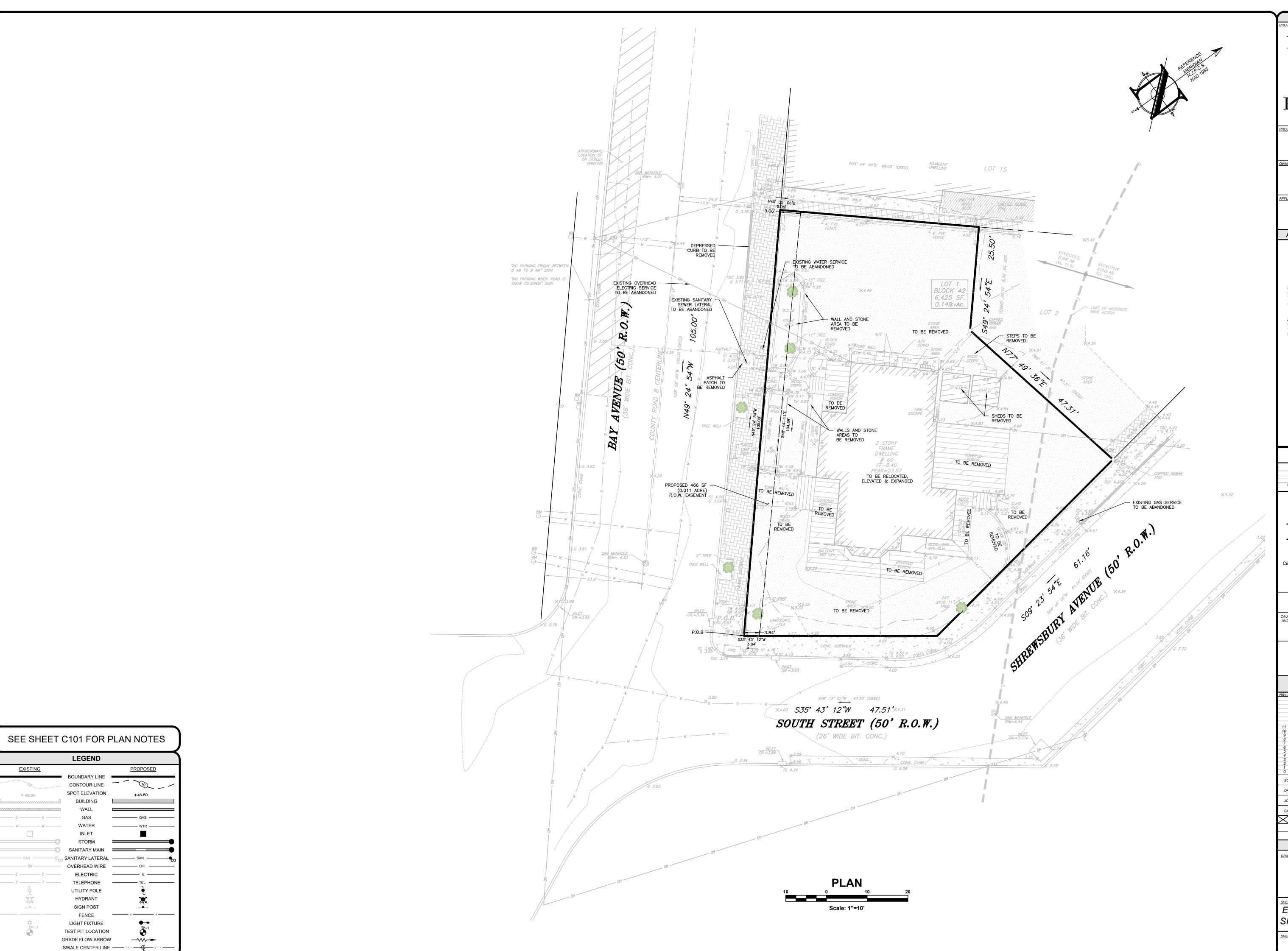
RAWING TITLE:

NOT FOR CONSTRUCTION APPROVED BY FOR CONSTRUCTION

PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

PLAN NOTES



PROPOSED MULTI -FAMILY RESIDENCE

PROJECT INFORMATION

PROJECT LOCATION:

BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE HIGHLANDS, NJ 07732

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY: DONNA M. JENNINGS ESQ. WILENTZ, GOLDMAN & SPITZER, PA 90 WOODBRIDGE CENTER DRIVE, SUITE 900 WOODBRIDGE, NJ 07095

ARCHITECT: SALVATORE LA FERLITA, R.A. 115 UNIVERSITY DRIVE LINCROFT, NJ 07738

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A WALL, NJ 07719



NJ ONE CALL.....800-272-1000

InSite Engineering, LLC CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

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DOUGLAS D. CLELLAND, PE PROFESSIONAL ENGINEER NJ PE 24GE05331000

REVISIONS

Rev.#	Date	Comment		
11	04/10/25	PER COUNTY	/	
10	04/01/25	PER COUNT		
9	02/20/25	PER COUNT		
8	01/31/25		Y REVIEW LETTER	
7	01/21/25		JTION COMPLIANCE	
6	12/05/24	FOR FSCD		
5	11/20/24		JTION COMPLIANCE	
4	06/05/24		GH COMMENTS	
3 2	04/09/24	PER ATTORN		
2	03/28/24	PER ATTORN		
1	03/12/24	PER ARCHIT		
0	02/05/24	INITIAL RELE	ASE	
SCA	SCALE: 1"=10' DESIGNED BY: DDC			
DA	DATE: 02/05/24 DRAWN BY: AMC		DRAWN BY: AMC	
JOE	JOB #: 23-2237-01 СНЕСКЕД ВУ: DDC			
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$\times$	NOT FO	OR CONST	RUCTION	

APPROVED BY: FOR CONSTRUCTION

PLAN INFORMATION

PRELIMINARY & FINAL

MAJOR SITE PLAN

SHEET TITLE:
EXISTING CONDITIONS & SITE PREPARATION PLAN



# **BUILDING HEIGHT COMPLIANCE PER MUNICIPAL ORDINANCE**

	ZONING	G COMPLIANCI	E CH	HART		
	CBD REDEVELOPMENT OVER	RLAY 2 ZONE (	C-R	O-2 - GATEWAY PARCE	ELS)	
	RESIDENTIAL ABOVE F	IRST FLOOR:	PER	MITTED (§ 21-91A.u.)	,	
ORD.SECTION		REQUIRED		EXISTING	PROPOSED	COMPLIES
ATT. 1	MIN. LOT AREA (SF)	-		6,425 (0.147 AC)	NO CHANGE	-
ATT. 1	MIN. LOT FRONTAGE (FT)	-		213.67	NO CHANGE	-
	PRINCIPAL BUILDING					
VII.A.	MIN. FRONT YARD SETBACK (FT)					
	BAY AVENUE (FT)	2		13.9	5.67	YES
	SOUTH STREET (FT)	2		13.3	8.30	YES
	SHREWSBURY AVENUE	2		8.3	7.54	YES
VII.A.	MIN. REAR YARD SETBACK (FT)	12		-	N/A	YES
VII.A.	MIN. SIDE YARD SETBACK	5	(1)	11.4	7.93	YES
VII.D.	MAX. BUILDING HEIGHT (FT)	40	(3)	11.6	29.33	YES
VII.B.	MAX. BUILDING COVERAGE (%)	80		31.9	52.7	YES
VII.B.	MAX. LOT COVERAGE (%)	80		37.0	75.28	YES
	ACCESSORY BUILDING					
§21-78A.2.	MAX. GROUND FLOOR AREA (%)	30	(2)	5.0	N/A	-
§21-78A.2.	MAX. COVERAGE OF REAR YARD (%)	40	(2)	N/A	N/A	-
§21-78A.3.	MIN. YARD SETBACK (FT)	3	, ,	3.6	N/A	-
	MIN. OUTDOOR LIVING SPACE (SF) 100 SF/UNIT	500		(a)	1,981	YES

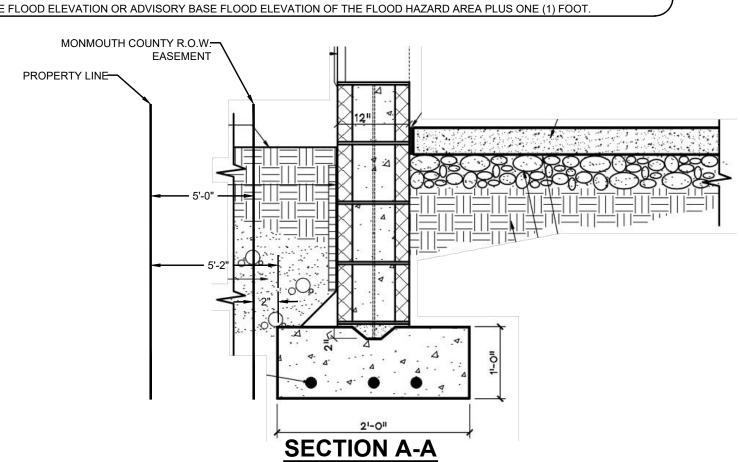
(N) EXISTING NON-CONFORMITY (I) IMPROVED CONDITION N/A - NOT APPLICABLE (X) VARIANCE / NON-CONFORMITY ELIMINATED (E) EXISTING VARIANCE

(V) PROPOSED VARIANCE (W) PROPOSED WAIVER (a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE

(1) PER \$VII.A SIDE YARDS, NO SIDE YARD IS REQUIRED ADJACENT TO THE PROPERTIES IN THE CBD ZONE, HOWEVER, IF ANY IS TO BE PROVIDED, IT SHALL BE AT LEAST FIVE (5) FEET. ANY SIDE YARD WHICH SERVES AS A BOUNDARY BETWEEN THAT LOT AND ANY RESIDENCE ZONE SHALL BE AT LEAST FIVE (5) FEET (2) NO ACCESSORY STRUCTURE(S). EXCEPT FOR SHORE FRONT PROTECTION, BULKHEADS, REVETMENTS AND OTHER SUCH STRUCTURES, SHALL HAVE AN

AGGREGATE GROUND FLOOR AREA GREATER THAN THIRTY (30%) PERCENT OF THE GROUND FLOOR AREA OF THE PRINCIPAL STRUCTURE ON THE SAME LOT (3) THE VERTICAL DISTANCE AS MEASURED FROM THE GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE. IN THE CASE OF SLOPED

ROOFS, THE AVERAGE HEIGHT IS THE MID-POINT BETWEEN THE LOWEST ROOF EAVE OF THE TOP FLOOR AND THE ROOF RIDGE. IN THE CASE OF A BUILDING THAT HAS MULTIPLE ROOF LEVELS, THE HIGHEST ROOF LEVELS MUST BE USED TO DETERMINE THE BUILDING HEIGHT GRADE PLANE: AREAS OR PORTIONS OF THE BUILDING AREA OF A LOT LOCATED WITHIN THE FLOOD HAZARD AREA: THE REFERENCE PLANE SHALL BE THE MORE RESTRICTIVE OF THE BASE FLOOD ELEVATION OR ADVISORY BASE FLOOD ELEVATION OF THE FLOOD HAZARD AREA PLUS ONE (1) FOOT.



NOT FOR CONSTRUCTION

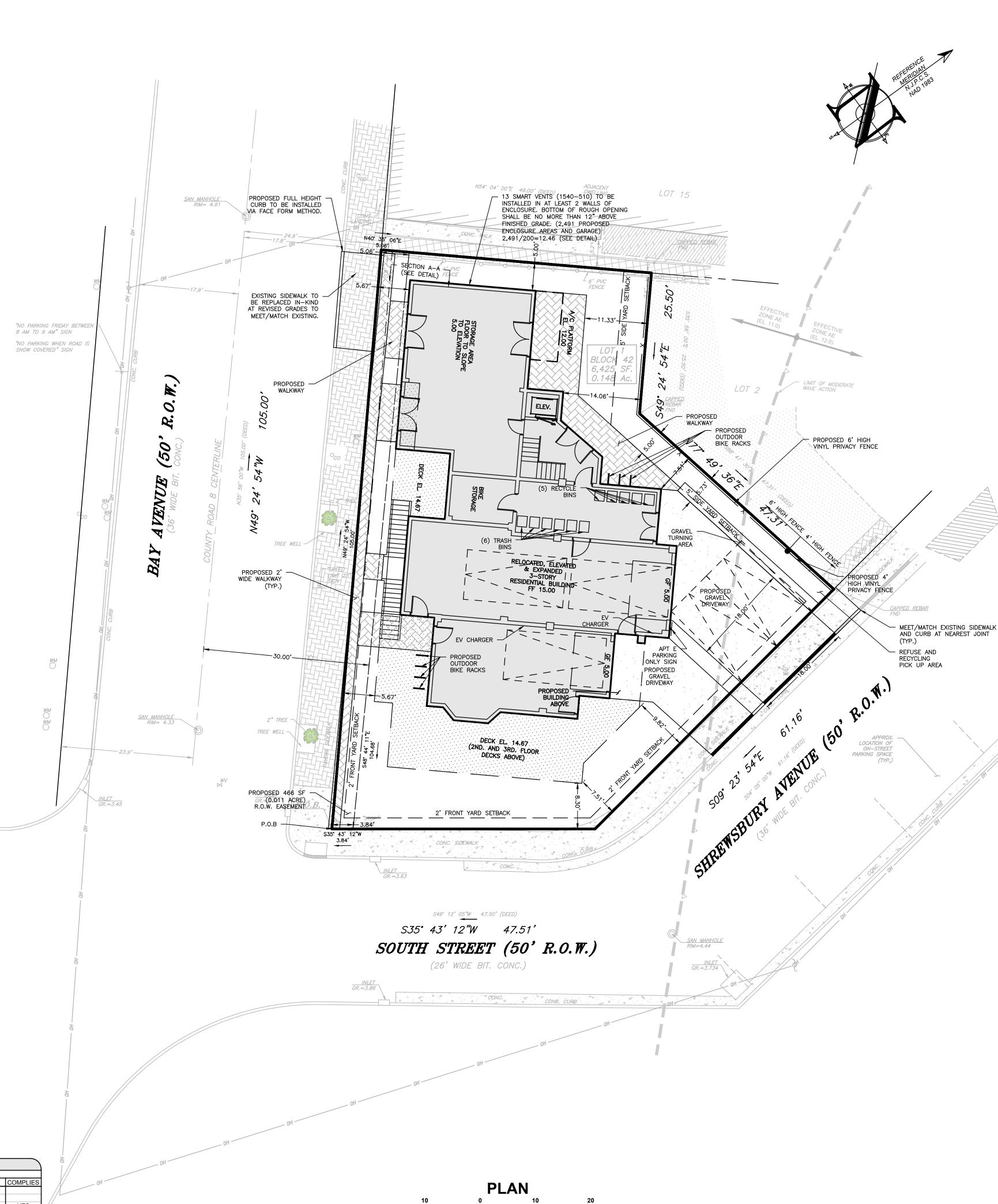
# SEE SHEET C101 FOR PLAN NOTES

	LEGEND	
EXISTING		PROPOSED
	BOUNDARY LINE	
36	CONTOUR LINE	
+ 46.80	SPOT ELEVATION	+46.80
kuummuummin ja	BUILDING	
	WALL	
G G	GAS	———— GAS ————
W W	WATER INLET	WTR —
	STORM	
9	SANITARY MAIN	
0	SANITARY LATERAL	SAN — SAN
——————————————————————————————————————	OVERHEAD WIRE	O/H
——— E ———— E ———	ELECTRIC	E
т т	TELEPHONE	TEL
}	UTILITY POLE	•
	HYDRANT	<b>X</b>
%ŸŸ♥ 	SIGN POST	%₹0 
xx	FENCE	x x
<u> </u>	LIGHT FIXTURE	••
TP-1	TEST PIT LOCATION	<b>—</b> 1
G	RADE FLOW ARROW	

	PARKING, DRIVEWAY & LOADING COM	PLIANCE CHART		
ORD.SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES
§21-65.14	STALL SIZE (FT)	9 X 18	9 X 18	YES
	NUMBER OF PARKING SPACES			
RSIS TABLE 4.4	RESIDENTIAL USES (2 FAMILY & MULTIFAMILY UNITS)			
ROIO TABLE 4.4	· · · · · · · · · · · · · · · · · · ·			
	1.8 SPACES PER (1 BR UNITS)			
	2.0 SPACES PER (2 BR UNITS)			
	2.1 SPACES PER (3 BR UNITS)			
	1ST. FLOOR - 2 UNITS 2 BEDROOMS EACH	4		
	2ND. FLOOR - 2 UNITS 2 BEDROOMS EACH	4		
	3RD. FLOOR - 1 UNIT 3 BEDROOMS	2.1		
	TOTAL PARKING SPACES (INCLUDING EV CREDIT OF 1 SPACE)	9.1	5 (1)	YES
	MAX. DRIVEWAY WIDTH AT CURB (FT)	18	18.00	YES
§21-65.5C.	MAX. DRIVEWAY WIDTH AT INTERIOR (FT)	22	18.00	YES
§21-65.5A.	MIN. DRIVEWAY DISTANCE TO STREET INTERSECTION (FT)	25	>25	YES
82 1-00.0A.	WIN. DITVENAT DISTANCE TO STREET INTERSECTION (TT)		-25	120
(N) EXISTING NO		N/A - NOT A		
(V) PROPOSED V	ARIANCE (W) PROPOSED WAIVER	N/S - NOT S	PECIFIED	

PROPOSED VARIANCE	(W) PROPOSED WAIVER	N/S - NOT SPECIFIED
PURSUANT TO THE BOROUGH OF HIGHL	LANDS, NJ CENTRAL BUSINESS DISTRICT REDEVE	LOPMENT PLAN §VII.A
VEHICULAR PARKING: RESIDENTIAL USE	ES ARE PERMITTED TO COUNT FIRST ANY AVAILAI	BLE ON-STREET PARKING SPACES
BEFORE DETERMINING THE NUMBER OF	F PARKING SPACES THAT MUST BE PROVIDED OF	F-STREET. THERE ARE MORE THAN
5 EXISTING ON-STREET PARKING SPACE	ES WITHIN THE IMMEDIATE VICINITY, THEREFORE	THE PROJECT COMPLIES.

TELEPHONE —	TEL		ELECTRIC VEHIC	LE PARKING SUMMARY (P.L. 1975, c. 291)		
UTILITY POLE	• I		RESIDENTIAL ABOVE FIRST FLOOR	CBD REDEVELOPMENT OVERLAY 2 ZONE (C.40:55D-66.20.	3.a.(1))	
HYDRANT	×	SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES
SIGN POST	- <b>→</b>	3.a.(1)(a)	MIN. NUMBER OF MAKE-READY (MR) PARKING SPACES	15% OF REQUIRED OFF-STREET SPACES		
FENCE —	x x		( )	10 x 15% = 1.5 SPACES = 2	2 SPACES	YES
LIGHT FIXTURE	<b>—</b> → TD_1		MIN. # OF INSTALLED VEHICLE SUPPLY EQUIPMENT			
TEST PIT LOCATION	<u> </u>	3.a.(1)(a)	@ INITIAL CONSTRUCTION	$\frac{1}{3}$ x MAKE-READY = 1 SPACES	1 EV SPACES	YES //
GRADE FLOW ARROW		3.a.(1)(b)	@ 3 YEARS AFTER CERT. OF OCCUPANCY	$\frac{2}{3}$ x MAKE-READY = 2 SPACES	2 EV SPACES	YES '
SWALE CENTER LINE —	-··· <del>-</del>	3.a.(1)(c)	@ 6 YEARS AFTER CERT. OF OCCUPANCY	3/3 x MAKE-READY = 2 SPACES	2 EV SPACES	YES



PROPOSED MULTI -FAMILY RESIDENCE

PROJECT INFORMATION<sup>L</sup>

ROJECT LOCATION:

BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS. MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE

HIGHLANDS, NJ 07732

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE

HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

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ARCHITECT: SALVATORE LA FERLITA, R.A. 115 UNIVERSITY DRIVE LINCROFT, NJ 07738

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A

WALL, NJ 07719



NJ ONE CALL....800-272-1000



CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net

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JOB #: 23-2237-01 CHECKED BY: DDC CAD ID: 23-2237-01r3

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PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

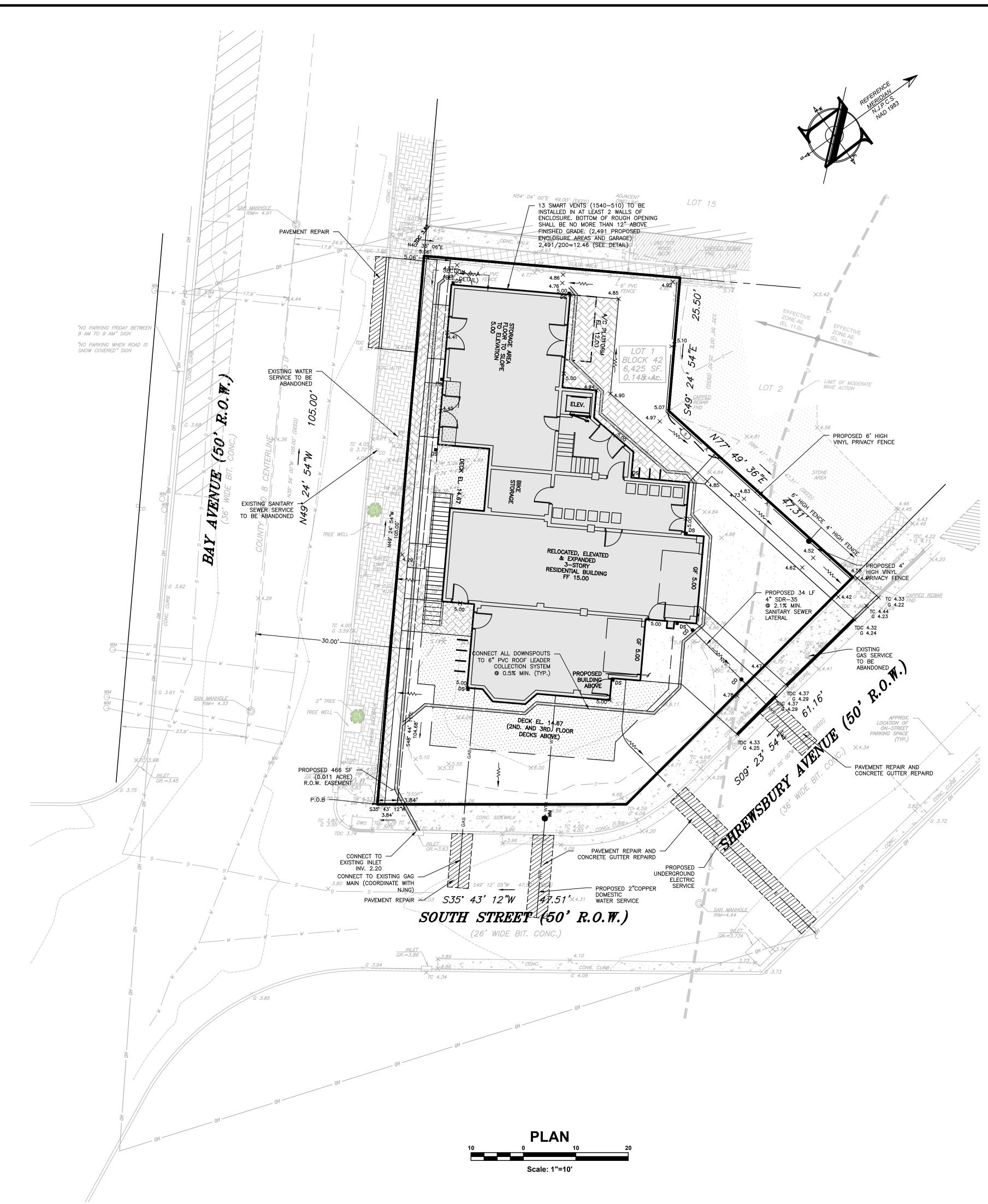
SITE LAYOUT PLAN

WATER FLOW CALCULATIONS EXISTING AVERAGE DAILY DEMAND (PER N.J.A.C. 5:21-5.2) TWO-BEDROOM APARTMENT (UNIT) = 3 UNITS TWO-BEDROOM APARTMENT (140 GPD/UNIT: Q<sub>AVG</sub> = 140 GPD/UNIT X 3 UNITS = 420 GPD) STUDIO-BEDROOM APARTMENT (UNIT) = 1 UNITS STUDIO APARTMENT (120 GPD/UNIT: Q<sub>AVG</sub>. = 120 GPD/UNIT X 1 UNITS = 120 GP<u>D)</u> TOTAL EXISTING AVERAGE DAILY DEMAND: = 540 GPD ≈ 0.0005 MGD PROPOSED AVERAGE DAILY DEMAND (PER N.J.A.C. 5:21-5.2): TWO-BEDROOM APARTMENT (UNIT) = 4 UNITS TWO-BEDROOM APARTMENT (140 GPD/UNIT: Q<sub>AVG.</sub> = 140 GPD/UNIT X 4 UNITS = 560 GPD THREE-BEDROOM APARTMENT (UNIT) = 1 UNITS THREE-BEDROOM APARTMENT (200 GPD/UNIT: Q<sub>AVG</sub>. = 200 GPD/UNIT X 1 UNITS = 200 GPD TOTAL PROPOSED AVERAGE DAILY DEMAND: = 560 GPD + 200 GPD= 760 GPD ≈ 0.0006 MGD SANITARY SEWER FLOW CALCULATIONS
EXISTING AVERAGE DAILY DEMAND (PER N.J.A.C. 7:14A-23.3) PAVEMENT REPAIR TWO-BEDROOM APARTMENT (UNIT) = 3 UNITS TWO-BEDROOM APARTMENT (225 GPD/UNIT: Q<sub>AVG.</sub> = 225 GPD/UNIT X 3 UNITS = 675 GPD) STUDIO-BEDROOM APARTMENT (UNIT) = 1 UNITS STUDIO APARTMENT (150 GPD/UNIT: Q<sub>AVG</sub>. = 150 GPD/UNIT X 1 UNITS = 150 GPD) TOTAL EXISTING AVERAGE DAILY DEMAND: = 675 GPD + 150 GPD= 825 GPD ≈ 0.0009 MGD PROPOSED AVERAGE DAILY DEMAND (PER N.J.A.C. 7:14A-23.3) TWO-BEDROOM APARTMENT (UNIT) = 4 UNITS "NO PARKING FRIDAY BETWEEN 8 AM TO 9 AM" SIGN TWO-BEDROOM APARTMENT (225 GPD/UNIT: Q<sub>AVG.</sub> = 225 GPD/UNIT X 4 UNITS = 900 GPD "NO PARKING WHEN ROAD IS THREE-BEDROOM APARTMENT (UNIT) = 1 UNITS SNOW COVERED" SIGN THREE-BEDROOM APARTMENT (300 GPD/UNIT: Q<sub>AVG</sub>. = 300 GPD/UNIT X 1 UNITS = 300 GPD TOTAL PROPOSED AVERAGE DAILY DEMAND: = 900 GPD + 300 GPD= 1,200 GPD ≈ 0.0012 MGD EXISTING SANITARY SEWER SERVICE TO BE ABANDONED

# SEE SHEET C101 FOR PLAN NOTES

	LEGEND	
EXISTING		PROPOSED
	BOUNDARY LINE	×
58	_ CONTOUR LINE	
+ 46.80	SPOT ELEVATION	+46.80
<u> </u>	BUILDING	
	WALL	
G G	- GAS	GAS —
W W	WATER	WTR
	INLET	
	STORM	
	SANITARY MAIN	
SANC	CO SANITARY LATERAL	SAN
——————————————————————————————————————	OVERHEAD WIRE	O/H
E E	ELECTRIC	E
	TELEPHONE	
ę	UTILITY POLE	•
200	HYDRANT	<b>X</b>
	SIGN POST	
xx	FENCE	x x -
<b>\$</b>	LIGHT FIXTURE	<b>—</b>
1P-1	TEST PIT LOCATION	<b>Д</b> -1

SWALE CENTER LINE -----



PROPOSED
MULTI FAMILY
RESIDENCE

PROJECT INFORMATION L

ROJECT LOCATION:

BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE

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WILENTZ, GOLDMAN & SPITZER, PA
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WOODBRIDGE, NJ 07095

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115 UNIVERSITY DRIVE
LINCROFT, NJ 07738

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A WALL, NJ 07719



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(at least 3 days prior to excavation)

MSITE

InSite Engineering, LLC

CERTIFICATE OF AUTHORIZATION: 24GA28083200

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	PER COUNT	02/20/25	9
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	FOR FSCD	12/05/24	6
ITION COMPLIANCE		11/20/24	5
GH COMMENTS		06/05/24	4
	PER ATTORN	04/09/24	3
IEY	PER ATTORN	03/28/24	2
ECT	PER ARCHIT	03/12/24	1
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 02/05/24
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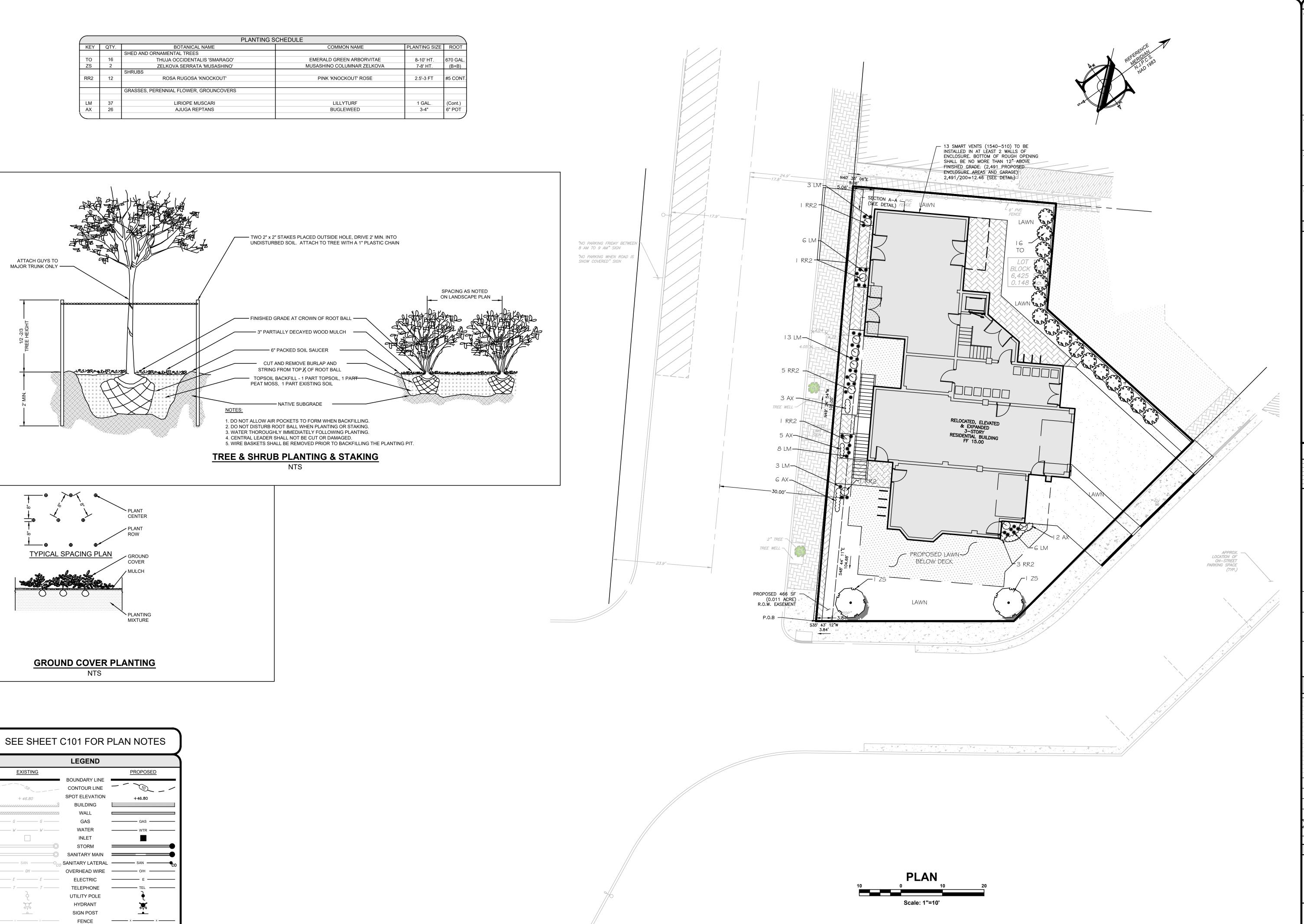
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PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

GRADING, DRAINAGE &
UTILITY PLAN

SHEET NO:



ATTACH GUYS TO

**EXISTING** 

LIGHT FIXTURE TEST PIT LOCATION

GRADE FLOW ARROW

PROPOSED MULTI -FAMILY RESIDENCE

PROJECT INFORMATION<sup>L</sup>

PROJECT LOCATION:

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PLAN INFORMATION

RAWING TITLE:

PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE:

LANDSCAPE PLAN

SHEET NO:



PROPOSED

MULTI -FAMILY RESIDENCE

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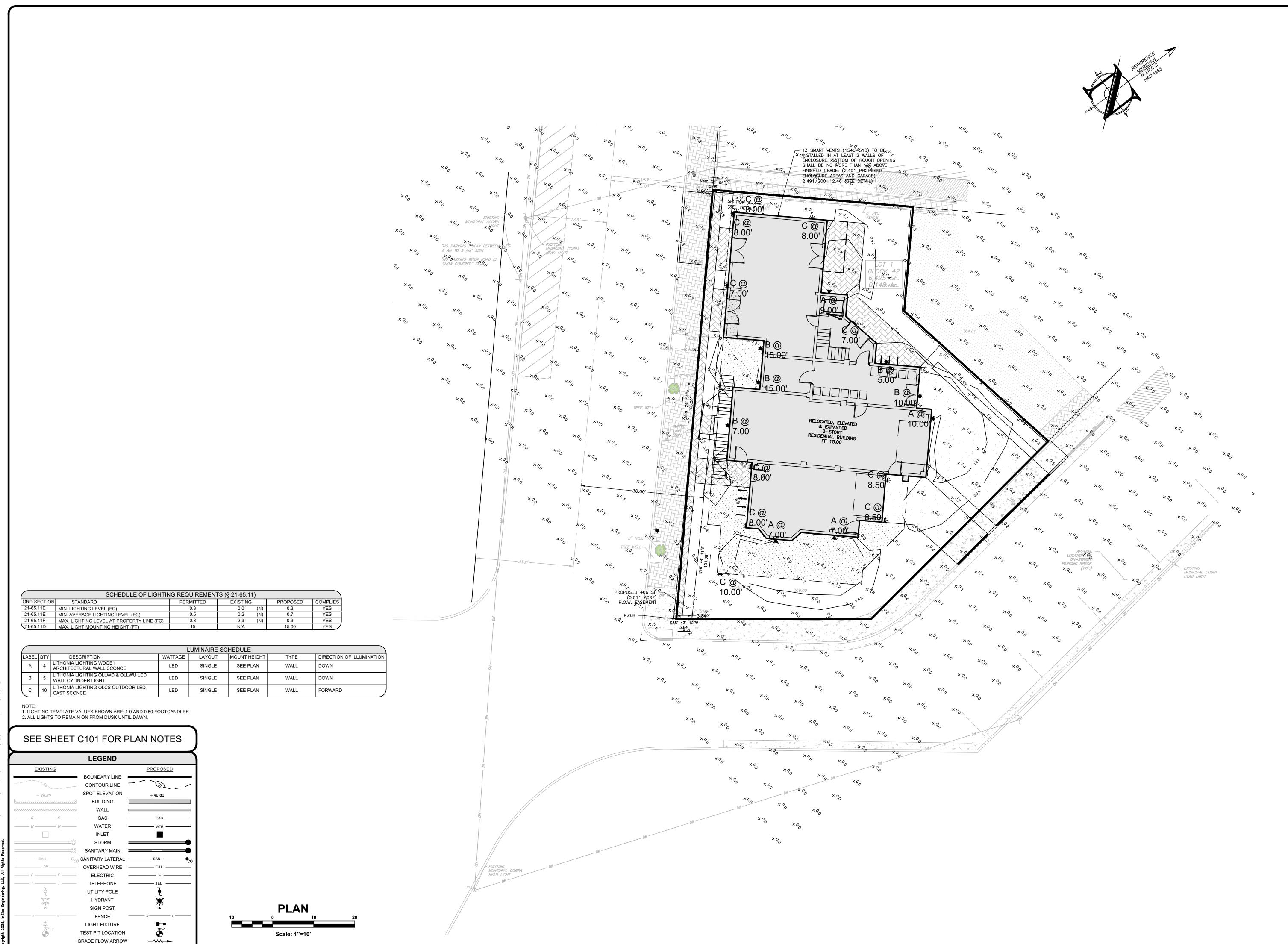
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FOR CONSTRUCTION PLAN INFORMATION

MAJOR SITE PLAN

LIGHTING PLAN - EXISTING CONDITIONS R.O.W. ONLY



PROPOSED

MULTI 
FAMILY

PROJECT INFORMATION L

PROJECT LOCATION:

BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ

RESIDENCE

60 BAY AVE HIGHLANDS, LLC

HIGHLANDS, NJ 07732

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SITE

Fraincering \* Surveying \* Planning

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NJ PE 24GE05331000

	REVISIONS
Date	Comment

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5 11/20/24 FOR RESOLUTION COMPLI
4 06/05/24 PER BOROUGH COMMENT
3 04/09/24 PER ATTORNEY
2 02/09/24 PER ATTORNEY

2 03/28/24 PER ATTORNEY
1 03/12/24 PER ARCHITECT
0 02/05/24 INITIAL RELEASE

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PLAN INFORMATION

TITIE:

PRELIMINARY & FINAL MAJOR SITE PLAN

LIGHTING PLAN -PROPOSED CONDITIONS

SHEET NO:

BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.

BAA Buy America(n) Act Compliant DSLE Dual Switching (1 Driver, 2 Light Engines)

**Specifications** 

Depth (D1):

Depth (D2):

Height:

Width:

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

DSSTXD Textured sandstone

VDGE L	ED Family C	verview	A						
NAME OF TAXABLE PARTY.	CANADA EN MAC					Lumens	(4800K)		
Luminaire	Standard EM, 0°C	Cold EM, 20°C	Sensor	P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	550		1,200	2,000	7.5	377.5	575.6	0.550
WDGEZ LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	(+
WDGE3-LEO	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	25	325
WDGE4 LED	-		Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Series Series	g Informa	Color Temperature	CRI	Distribution	APLE: V	VDGE1 L	Mounting	K 80CRI	VF MVOLT SRM PE DDI
(WDGFTLED)	P1 P2	27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	BOCRI 90CRI	VF Visual comfort forw VW Visual comfort wide		MVOIT 347 <sup>2</sup>	Shipped se AWS PBBW	Surface mounting Indirect Canopy/Ce parately 3/8inch Architectu	elling Washer bracket (dry/damp locations only) iral wall spacer back box (top, left, right conduit entry) Use whe
Options					Finish				
PE+ Phot DS Dual	ocell, Button Type switching (comes w	up, Certified in CA Title 20 MAE ith 2 drivers and 2 light engine	s; see page 3 for	details)	DDBXD DBLXD DNAXD	Dark bronze Black Natural alun		DDBTXD DBLBXD DNATXD	Textured dark bronze Textured black Textured natural aluminum

LITHONIA
LIGHTING.

COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.inhonia.com
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# WALL MOUNTED LIGHTS TYPE A

**LITHONIA LIGHTING** 

FEATURES & SPECIFICATIONS

Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

CONSTRUCTION Cast-aluminum housing with corrosion-resistant paint in either dark bronze or white finish.

ADA compliant. OPTICS

4000K CCT LEDs. Polycarbonate lens protects the LED from moisture, dirt and other contaminants. LUMEN MAINTENANCE: The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details.

ELECTRICAL MVOLT driver operates on any line voltage from 120-277V Operating temperature -30 C to 40 C.

1KV surge protection standard. INSTALLATION Surface mounts to universal junction box (provided by others).

UL Listed to U.S. and Canadian safety standards for wet locations.

Specifications subject to change without notice.

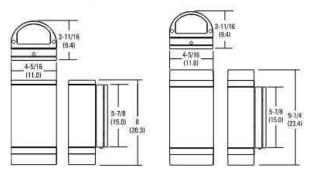
Tested in accordance with IESNA LM-79 and LM-80 standards. WARRANTY - 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are

disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

	Outdoo	r General Purpos
Туре		
Notes		
Catalog Number		







ORDERING INFORMATION	For shortest lead times, configure p		Example: OLLWD LED P1 40K MVOLT DD	
Series	Performance Package	Color temperature (CCT)	Voltage	Finish
OLLWO LED Downlight OLLWO LED Up & downlight	PI	40K 4000K	<b>MVOLT</b> 120V-277V 120 120V <sup>-</sup>	DDB Dark bronze WH White <sup>2</sup>

1. Only available with OLLWU and in DDB. 2. Only available with OLLWU.

DECORATIVE INDOOR & OUTDOOR OLLWD-OLLWU

# WALL MOUNTED LIGHTS TYPE B



OLCS				
Series	Light engines	Color temperature (CCT) <sup>1</sup>	Voltage	Finish
OLCS	8	(blank) 4000K	(blank) 120V	DDB Dark bronze WH White

Nominal Correlated Color Temperature (CCT) per ANSI C78.377-2008.

DECORATIVE INDOOR & DUTDOOR

# WALL MOUNTED LIGHTS TYPE C

PROPOSED MULTI -FAMILY RESIDENCE

PROJECT INFORMATION L

PROJECT LOCATION:

BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS. MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE HIGHLANDS, NJ 07732

PPLICANT:

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE

HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS ATTORNEY: DONNA M. JENNINGS ESQ.

WOODBRIDGE, NJ 07095 ARCHITECT: SALVATORE LA FERLITA, R.A.

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732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA

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> **DOUGLAS D. CLELLAND, PE** PROFESSIONAL ENGINEER NJ PE 24GE05331000

REVISIONS						
Rev.#	Date	Comment				
11	04/10/25	PER COUNT				
10	04/01/25	PER COUNT				
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PLAN INFORMATION

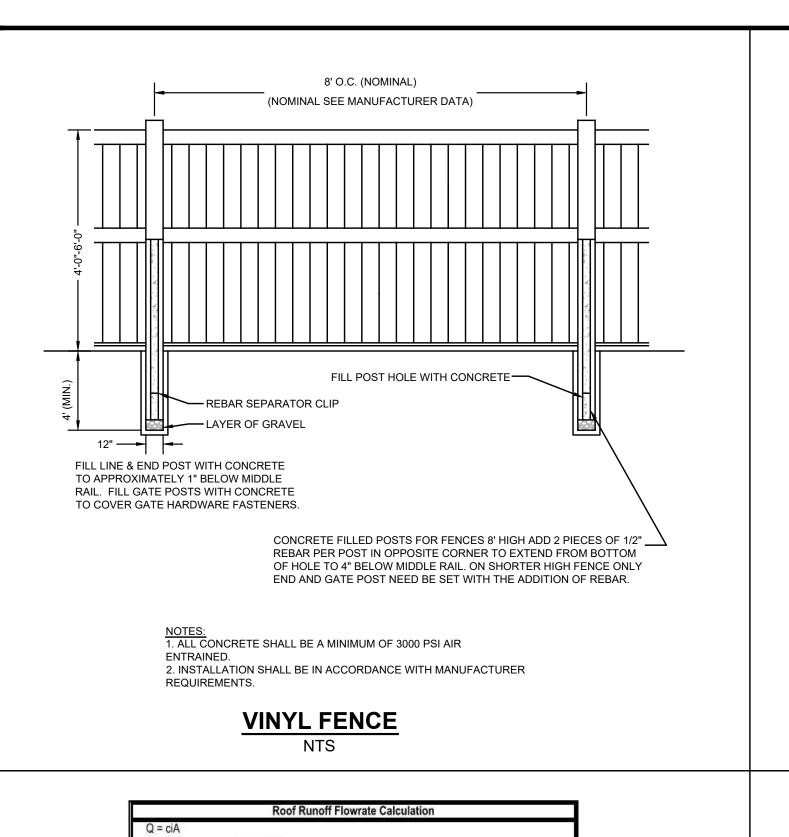
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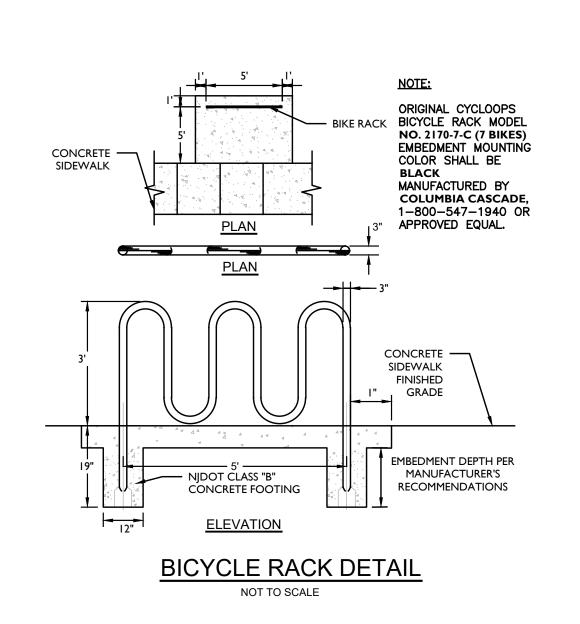
PRELIMINARY & FINAL MAJOR SITE PLAN

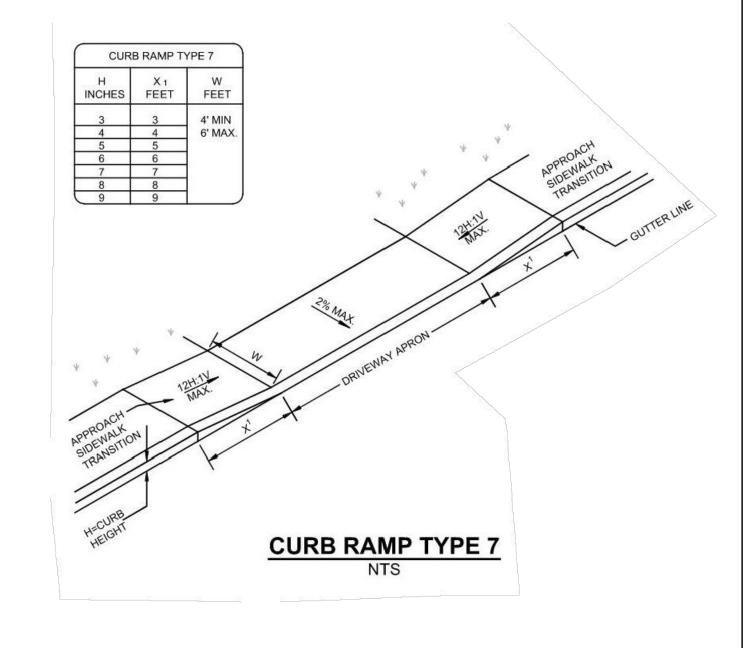
LIGHTING DETAILS

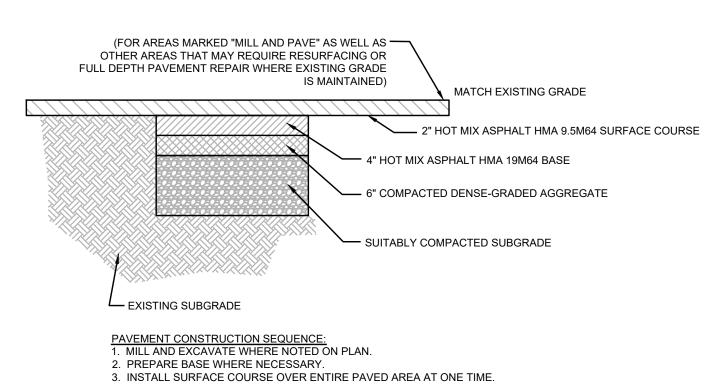
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APPROVED BY:



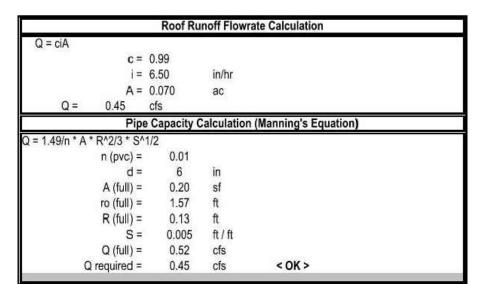






MATERIALS FOR ASPHALT SURFACE SHALL CONFORM TO SECTION 404.02 OF APPLICANT'S PROFESSIONALS THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION). MATERIALS FOR ASPHALT BASE SHALL CONFORM TO ATTORNEY: DONNA M. JENNINGS ESQ. SECTIONS 301.02 AND 304.02 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).

**PAVEMENT REPAIR** 



# **ROOF LEADER COLLECTION SYSTEM CAPACITY CALCULATIONS**



- WYE BRANCH

& RISER

PLUG OR TEAROUT—

EXISTING BUILDING —

FUTURE BUILDING—

PLUG OR TEAROUT —

SEWER

STOPPER

SEWER

BRASS PLUG

EDGE OF PAVEMENT / CURBLINE

- VARIABLE LENGTH OF LATERAL CONNECTION -

EDGE OF PAVEMENT / CURBLINE

CONCRETE CURB

"PIPE BEDDING DETAIL"

<u>PLAN</u>

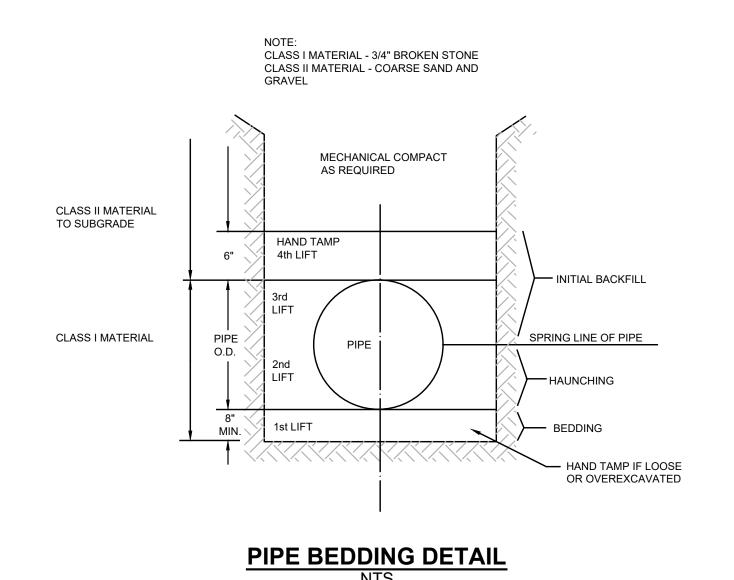
— WYE BRANCH FOR PIPE BEDDING, REFER TO THE

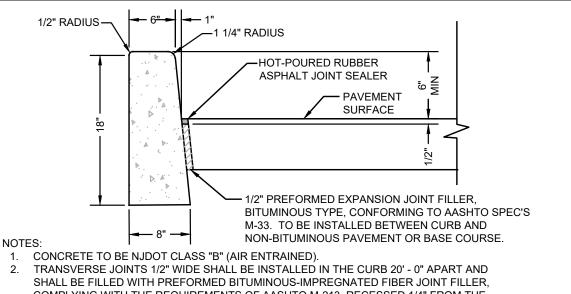
SLOPE AS REQUIRED MIN. 1/4'

PER FOOT

FLOW ---

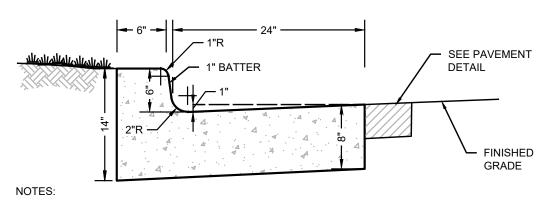
45° BEND \_\_\_\_\_





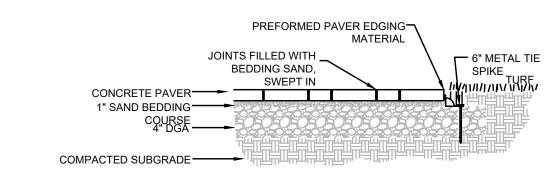
- 2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20' 0" APART AND COMPLYING WITH THE REQUIREMENTS OF AASHTO M-213, RECESSED 1/4" FROM THE FRONT FACE AND TOP OF THE CURB.
- 3. DUMMY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS. 4. WIDTH OF JOINT FILLER STRIP EQUAL TO THE THICKNESS OF THE PAVEMENT LESS 1/2".

# **CONCRETE VERTICAL CURB**



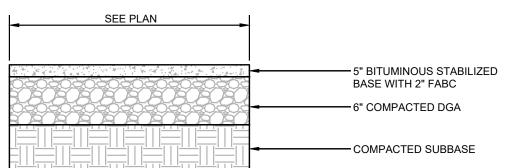
- PREFORMED BITUMINOUS EXPANSION JOINTS, 1/2" THICK SHALL BE INSTALLED EVERY 20 FEET. CONTRACTION JOINTS SHALL BE INSTALLED AT 10 FT. INTERVALS ON CENTER ALL JOINT TO BE
- 2. CONCRETE SHALL BE CLASS "B" PORTLAND CEMENT HAVING A 28 DAY STRENGTH OF 4,000 PSI.

# **ROLLED CONCRETE CURB & GUTTER**

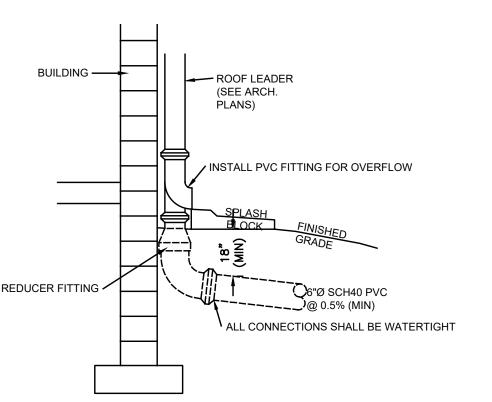


# **CONCRETE PAVER WALKWAY**

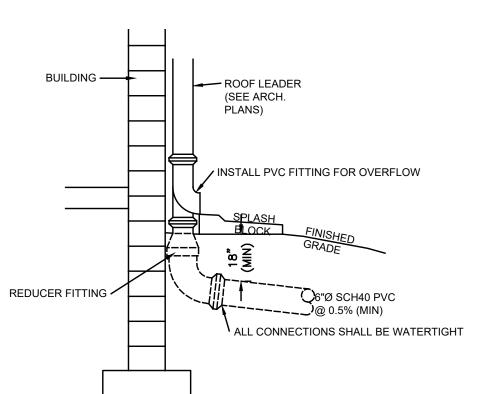
NOTE: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE CITY ENGINEER'S OFFICE FOR PAVER COLOR AND PATTERN PRIOR TO INSTALLATION.



# **PAVEMENT SECTION**



**EXTERIOR DOWNSPOUT COLLECTOR** 



PRELIMINARY & FINAL MAJOR SITE PLAN

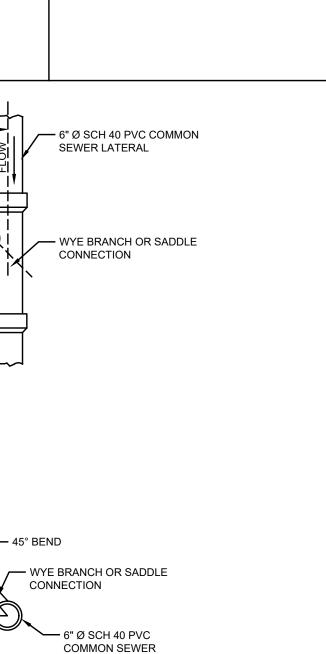
> CONSTRUCTION **DETAILS**

SEE PLAN ---FINISHED STREET GRADE —3/4" X 3/4" METER APPROVED BY M.T.M.U.A. - FORD KV13-332W FORD BA13-232W -20" FORD PLASTIC VALVE - 3/4" PVC SUPPORT BAR -HOUSE SERVICE HOUSE SERVICE AS APPROVED BY THE M.T.M.U.A. CONC. BLOCKS OR BRICK SUPPORTS ( 4 REQ'D.) -12" SUMP FILLED WITH 1" STONE NOTE: THIS DWG. IS INTENDED TO REPRESENT A FORD PSBV-388-20-48

TYPICAL SERVICE CONNECTION WITH FORD METER PIT

# **ELEVATION** STANDARD LATERAL CONNECTION WITH CLEANOUT - SEWER DEPTH 10' OR LESS IN ACCORDANCE WITH NJAC 7:10-11.10(E)5, ALL WATER MAINS AND SANITARY LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAI (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE. THE SEWER

LINE SHALL BE OF WATERTIGHT CONSTRCUTION (DUCTILE IRON), WITH WATERTIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN.



METER PIT COVER & LID FORD A3-T =  $20^{\circ}$  SINGLE LID COVER.

CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net

NJ ONE CALL....800-272-1000

PROJECT INFORMATION<sup>L</sup>

PROPOSED

MULTI -

FAMILY

RESIDENCE

BLOCK 42, LOT 1

60 BAY AVENUE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC

60 BAY AVENUE HIGHLANDS, NJ 07732

60 BAY AVE HIGHLANDS, LLC

60 BAY AVENUE

HIGHLANDS, NJ 07732

WILENTZ, GOLDMAN & SPITZER, PA 90 WOODBRIDGE CENTER DRIVE, SUITE 900

WOODBRIDGE, NJ 07095

115 UNIVERSITY DRIVE LINCROFT, NJ 07738

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A

WALL, NJ 07719

ARCHITECT: SALVATORE LA FERLITA, R.A.

PROJECT LOCATION:

PLICANT:

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA AUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE

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> **DOUGLAS D. CLELLAND, PE** PROFESSIONAL ENGINEER NJ PE 24GE05331000

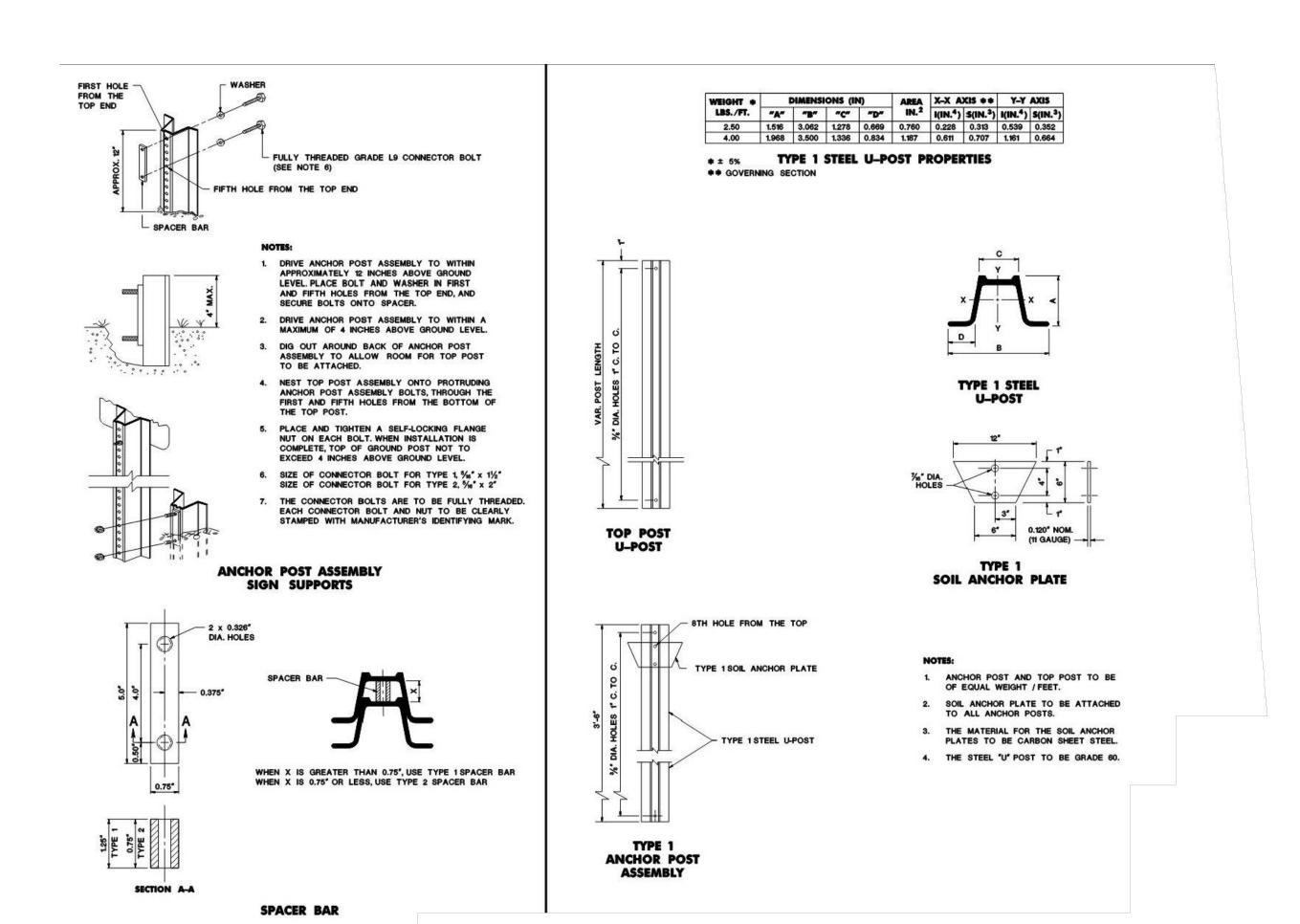
> > REVISIONS

25 PER COUNTY
25 PER COUNTY
3/25 PER COUNTY
3/125 PER COUNTY REVIEW LETTER
21/25 FOR RESOLUTION COMPLIANCE
2/05/24 FOR FSCD
1/20/24 FOR RESOLUTION COMPLIANCE
06/05/24 PER BOROUGH COMMENTS
04/09/24 PER ATTORNEY
03/12/24 PER ATTORNEY
03/12/24 PER ARCHITECT
0 02/05/24 INITIAL RELEASE SCALE: AS SHOWN DESIGNED BY: DDC DATE: 02/05/24 DRAWN BY: AMC JOB #: 23-2237-01 CHECKED BY: DDC CAD ID: 23-2237-01r3 NOT FOR CONSTRUCTION APPROVED BY FOR CONSTRUCTION PLAN INFORMATION

SHEET TITLE:

RAWING TITLE:

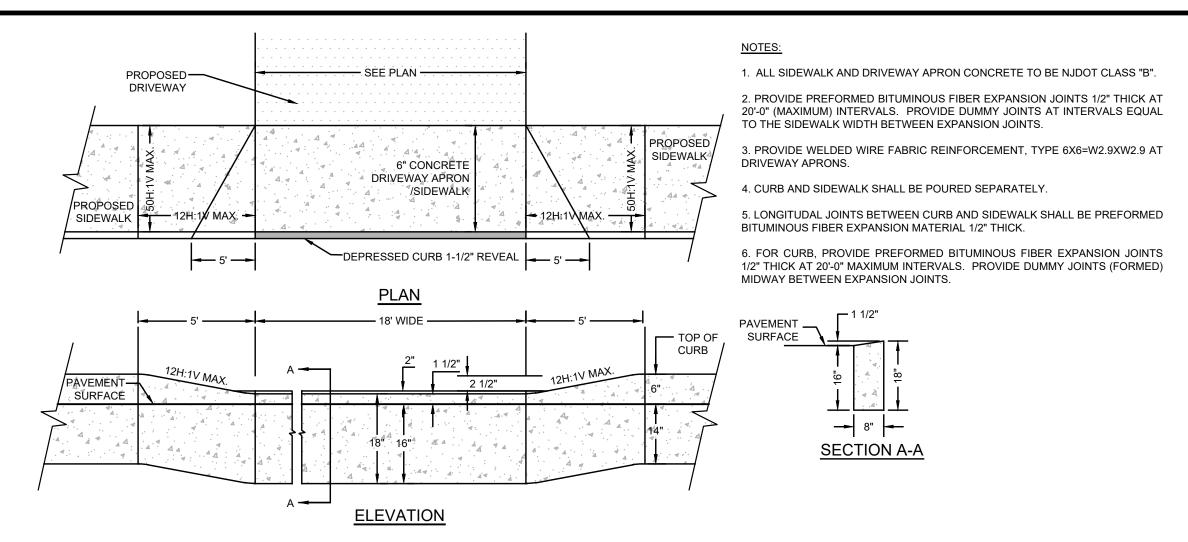
SHEET NO: C700



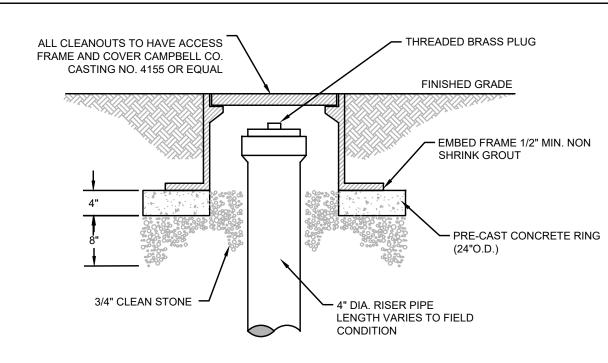
**STEEL U-POST SIGN SUPPORTS** 

NOTES:

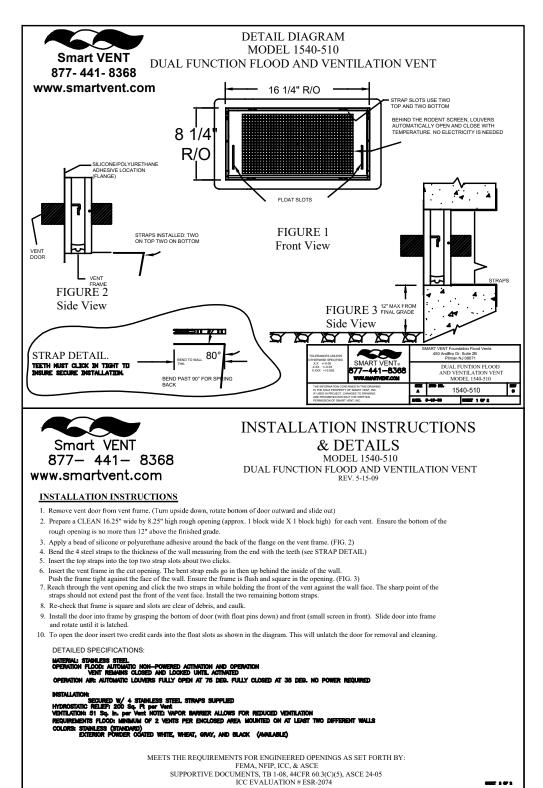
1. FOR SIGNS SET IS CONCRETE, AND 8" DIAMETER SLEEVE IS REQUIRED.



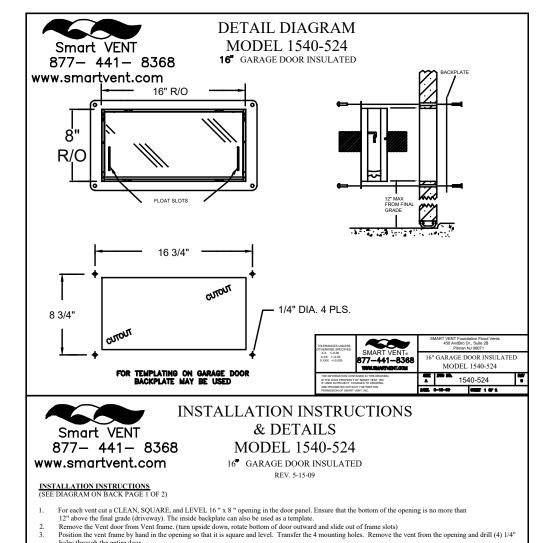
# **DEPRESSED CURB, DRIVEWAY APRON & SIDEWALK**



# SANITARY SEWER CLEANOUT FRAME AND COVER



**SMART VENT (1540-510)** 



DETAL SPECIFICATIONS:
MATERAL: STRIALESS STEEL
OPERATION FLOOR AUTOMATIC NON-POWERED ACTIVATION AND OPERATION
NSTALATION:
W/ 4 STAINLESS STEEL GROUND BARRELS
SET 1/\* 80.10 AND LOCKING NUT WHERE
ENDING BARREL RUT (SWEYS) CAN NOT SE USED.
HYDROSTATIO RELIEF: 200 3Q FL Per "WALLS"
REQUIREMENTS FLOOD: MANMUM OF 2 VENTS PER ENCLOSED AREA MOUNTED ON AT LEAST TWO DIFFERENT WALLS COLORS: WHITE (STANDARD) STANLESS STEEL, WHEAT, GRAY AND BLACK (AWALABLE) MEETS THE REQUIREMENTS FOR ENGINEERED OPENINGS AS SET FORTH BY:
FEMA, NFIP, ICC, & ASCE
SUPPORTIVE DOCUMENTS, TB 1-08, 44CPR 60.3(C)(5), ASCE 24-05
ICC EVALUATION # ESR-2074

Position the vent frame by hand in the opening so that it is square and level. Transfer the 4 mounting holes. Remove the vent from the opening and drill (4) 1/4" holes through the entire door.

Ensure that these holes are square so the Vent frame and Backplate line up.

Clean any and all loose or sharp metal burns from the door panel. The front Vent frame must sit flush to the door panel.

Insert the Vent frame into OH Door Panel with SERIAL NUMBER LABEL on the BOTTOM. Install backplate over inside of door frame. Check alignment of pre-drilled holes in Vent frame,

door and backplate. Make sure Frame sits LEVEL and front flange is FLUSH with the front of OH Door Panel. Apply

small bead of polyurethane adhesive behind Vent front frame flange to seal Vent frame to face of Door Panel. SEE DIAGRAM.

Secure with 4 Stainless Steel sex nuts and bolts through door to backplate with female section on outside.

If overhead door thickness is too thin, use the self locking nuts and washers in lieu of the sex nuts and bolts.

Insert the door back into the Vent frame. Check that the Vent door is latched on both sides. To open the vent insert two credit cards into the front float slots as shown in the diagram.

shown in the diagram.

Vent door should not open when OH door opens. Vent door only opens when in contact with flood water and OH Door is fully closed.

**SMART VENT (1540-524)** 

PROPOSED MULTI -FAMILY RESIDENCE

PROJECT INFORMATION<sup>L</sup>

ROJECT LOCATION:

BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE

HIGHLANDS, NJ 07732

PLICANT: 60 BAY AVE HIGHLANDS, LLC

60 BAY AVENUE HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

DONNA M. JENNINGS ESQ. WILENTZ. GOLDMAN & SPITZER. PA 90 WOODBRIDGE CENTER DRIVE, SUITE 900 WOODBRIDGE, NJ 07095

SALVATORE LA FERLITA, R.A. 115 UNIVERSITY DRIVE LINCROFT, NJ 07738

SURVEYOR: **INSITE SURVEYING, LLC** 1955 ROUTE 37, SUITE 1A WALL, NJ 07719



NJ ONE CALL....800-272-1000

TEMP. SURVEY MARKINGS

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> > REVISIONS

ev.# Date Comment

SCALE: AS SHOWN DESIGNED BY: DDC DATE: 02/05/24 DRAWN BY: AMC CHECKED BY: DDC JOB #: 23-2237-01 CAD ID: 23-2237-01r3 NOT FOR CONSTRUCTION APPROVED BY

FOR CONSTRUCTION

PLAN INFORMATION

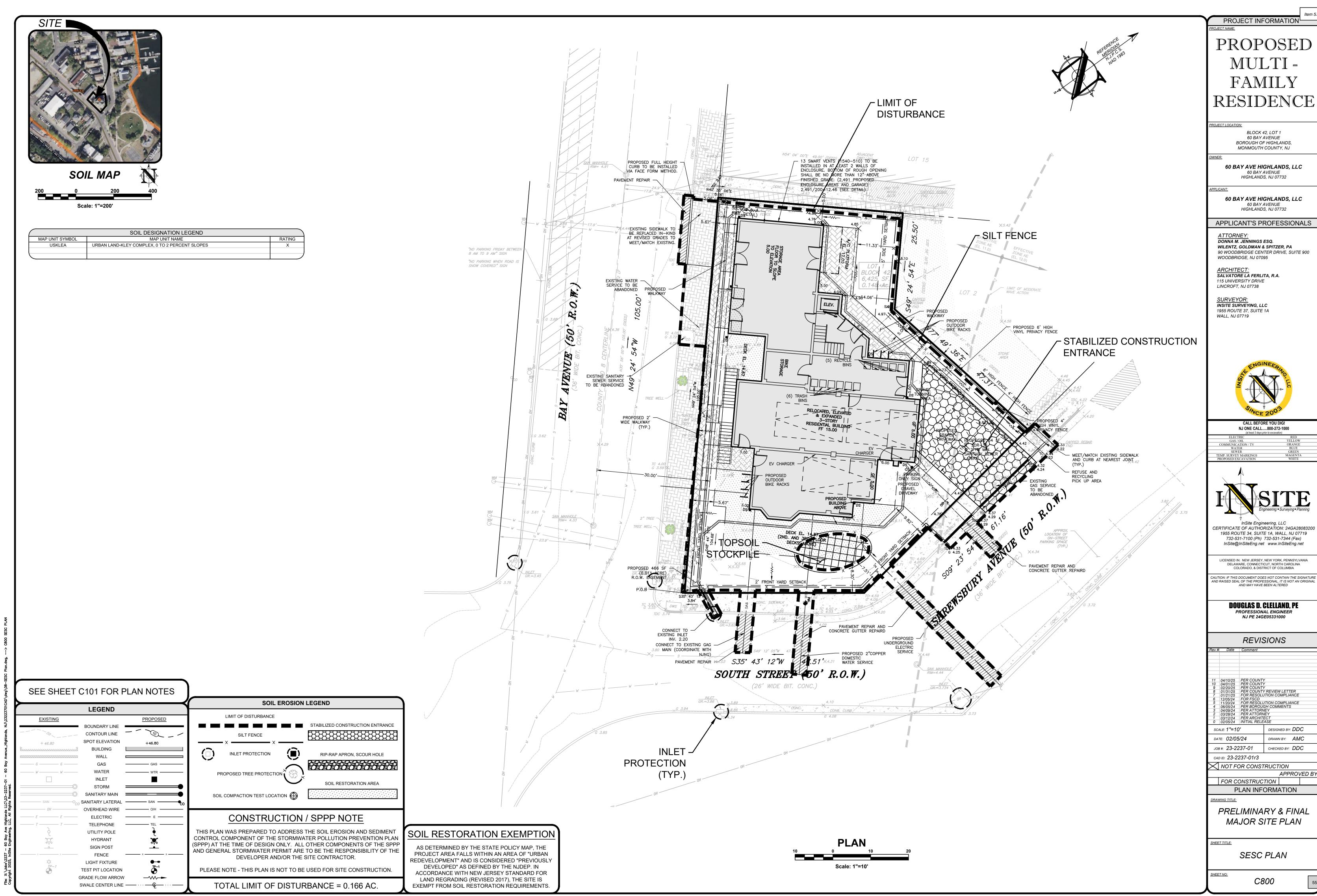
RAWING TITLE: PRELIMINARY & FINAL

MAJOR SITE PLAN

HEET TITLE:

SHEET NO:

CONSTRUCTION **DETAILS** 



PROPOSED MULTI -FAMILY

BOROUGH OF HIGHLANDS,

60 BAY AVE HIGHLANDS, LLC

60 BAY AVE HIGHLANDS, LLC

HIGHLANDS, NJ 07732

WILENTZ, GOLDMAN & SPITZER, PA 90 WOODBRIDGE CENTER DRIVE, SUITE 900



NJ ONE CALL.....800-272-1000

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DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA

DOUGLAS D. CLELLAND, PE PROFESSIONAL ENGINEER

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2	03/28/24	PER ATTORN	IEY
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0	02/05/24	INITIAL RELE	ASE
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JOB #: 23-2237-01 | CHECKED BY: DDC

PLAN INFORMATION

MAJOR SITE PLAN

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY CHANGES TO THE CERTIFIED SOIL FROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS. N.J.S.A 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND
- SEDIMENT CONTROL IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER. THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 ½ TONS PER ACRE, ACCORDING TO
- STATE STANDARD FOR STABILIZATION WITH MULCH ONLY. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROLIGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS. ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
- THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF
- TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF 9. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE
- 10. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. 11. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF
- PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED. 12. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE, (OR
- 450 LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED 13. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING
- **OPERATIONAL** 14. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING
- 15. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL. 16. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO
- THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6. 18 THF PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

### TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

### 1. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1.
- B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
- C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).

### 2. SEEDBED PREPARATION

- A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES, FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1 000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. LIMING RATES SHALL BE ESTABLISHED VIA SOIL TESTING. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND
- B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC. SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR, CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED
- C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED IN ACCORDANCE WITH THE ABOVE.
- D. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, PG. 1-1.

# A. TEMPORARY VEGETATIVE SEEDING COVER SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF

1 POUND PER 1,000 SF (100 LBS/AC) WITH AN OPTIMUM SEED DEPTH OF 0.5" (TWICE THE DEPTH IF SANDY SOILS), IN

### ACCORDANCE WITH TABLE 7-2, PAGE 7-3. \*SEEDING DATES: 2/15-5/1 AND 8/15-10/15

- B, CONVENTIONAL SEEDING, APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL, TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.
- C. HYDROSEFDING IS A BROADCAST SEEDING METHOD LISHALLY INVOLVING A TRUCK OR TRAILER MOLINTED TANK WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED. WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MUI CH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MUI CH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION IV MULCHING) HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH, HYDROSEEDING MAY BE USED.
- FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVERSE OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC. D. AFTER SEEDING, FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR. SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT

- A. STRAW OR HAY. UNNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED
- APPLICATION. SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 95% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
- ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS,
- 1. PEG AND TWINE. DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH, SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRIS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
- 2. MULCH NETTINGS. STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE
- 3 CRIMPER (MULICH ANCHORING TOOL) A TRACTOR-DRAWN IMPLEMENT SOMEWHAT LIKE A DISC HARROW ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
- 4. LIQUID MULCH-BINDERS. MAY BE USED TO ANCHOR HAY OR STRAW MULCH.
  - a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH. IN VALLEYS. AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE

# b. USE ONE OF THE FOLLOWING:

- (1) ORGANIC AND VEGETABLE BASED BINDERS NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE
- (2) SYNTHETIC BINDERS HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH. DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.
- NOTE: ALL NAMES GIVE ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A COMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.
- B. WOOD-FIBER OR PAPER-FIBER MULCH. SHALL BE MADE FROM WOOD. PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 PONDS PER ACRE (OR AS RECOMMENDED BY THE PROJECT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. THIS MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS

LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FAL

- C. PELLETIZED MULCH, COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN. CO-POLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORMA MULCH MAT. PELLETIZED MULCH SHALL BE APPLIES IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS./1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEE FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE.
- APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

### PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

### 1. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, EDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN
- ACCORDANCE WITH THE STANDARD FOR LAND GRADING. C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A

UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED

WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING. D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

# 2. SEEDBED PREPARATION

- A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY/). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5
- B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC. SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON
- C. HIGH ACID PRODUCING SOIL. SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.

## 3. SEEDING

SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED

### SEED MIXTURE #13 FOR LAWN AREAS HARD FESCUE AND/OR CHEWING FESCUE AND/OR STRONG CREEPING RED FESCUE PERENNIAL RYEGRASS KENTUCKY BLUEGRASS (BLEND)

THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.

\*ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14\*\* \*OPTIMAL SEEDING DATES: 8/15-10/30 \*\*SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED

SEED MIXTURE #7 FOR BASIN, SIDE SLOPES, AND SWALES

	LBS/ 2,000 (LBS/AC
STRONG CREEPING RED FESCUE	3 (130)
KENTUCKY BLUEGRASS	1 (50)
PERENNIAL RYEGRASS	0.5 (20)
OR REDTOP	0.25 (10)
PLUS WHITE CLOVER	0.10 (5)

- \*ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14\*\* \*OPTIMAL SEEDING DATES: 8/15-10/30
- SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF
- PERMANENT VEGETATION. UP TO 50% REDUCTION IN RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVERAGE WITH THE SPECIFIED SEED MIXTURE FOR THE SEEDED AREA AND MOWED ONCE

4 (175)

- 4. WARM-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES. GENERALLY 850 F AND ABOVE. SEE TABLE 4-3 MIXTURES 1 TO 7. PLANTING RATES FOR WARM-SEASON GRASSES SHALL BE THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY GERMINATION TESTING RESULTS.
- 5. COOL-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT TEMPERATURES BELOW 8 MANY GRASSES BECOME ACTIVE AT 650F. SEE TABLE 4-3, MIXTURES 8-20. ADJUSTMENT OF PLANTING RATE COMPENSATE FOR THE AMOUNT OF PLS IS NOT REQUIRED FOR COOL SEASON GRASSES.
- B. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING
- C. AFTER SEEDING, FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE

INTO THE SOIL. WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH

OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.

CONTOUR. SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED D. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED. WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4-MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

- A. STRAW OR HAY, UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR
- APPLICATION SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
- ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES,

### 1. PEG AND TWINE. DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.

- 2. MULCH NETTINGS STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE
- 3 CRIMPER (MUI CH ANCHORING COULTER TOOL) A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE

BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER

# 4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH.

- a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE
- b. USE ONE OF THE FOLLOWING:

ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED

LAWNS DUE TO THE PRESENCE OF WEED SEED.

- (1) ORGANIC AND VEGETABLE BASED BINDERS NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTOXIC EFFECT OR IMPEDE GROWTH OF TURE GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE. SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
- (2) SYNTHETIC BINDERS HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND. FOLLOWING APPLICATION OF MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS
- NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.
- B. WOOD-FIBER OR PAPER-FIBER MULCH SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY JANUARY 2014GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. <u>MULCH SHALL NOT BEMIXEDIN THE TANK WITH SEED</u>. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

C.PELLETIZED MULCH-COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAYECTI CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO AW SEEDED AREA AND WATERED. FORM A MULCHMAT. PELLETIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MULCH AND TACKIFIERAGENT ARE NOT PRACTICAL OR DESIRABLE. APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEEDBED IS EXTREMELY IMPORTANT

# 5. IRRIGATION (WHERE FEASIBLE)

IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON

SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED INSECTION 2A-SEEDBED PREPARATION IN THIS STANDARD. NO FOLLOW-UP OF TOP DRESSING IS MANDATORY. AN EXCEPTION MAYBE MADE WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. IN THAT INSTANCE, TOP DRESS WITH 10-10-10 OR EQUIVALENT AT 300 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS

# 7.ESTABLISHING PERMANENT VEGETATIVE STABILIZATION

THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN TABLE 4-3 ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN APPLICATION RATES MAY D WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A <u>REPORT OF COMPLIANCE</u> FROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER (OF THE SEEDED SPECIES) AND MOWED ONCE. NOTE THIS DESIGNATION OF MOWED ONCE DOES NOT GUARANTEE THE PERMANENCY OF THE TURF SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

## STANDARD FOR DUST CONTROL

# PURPOSE TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCED ON-SITE AND OFF-SITE DAMAGE AND HEALTH

<u>WATER QUALITY ENHANCEMENT</u> SEDIMENTS DEPOSITED AS "DUST" ARE OFTEN FINE COLLOIDAL MATERIAL WHICH IS EXTREMELY DIFFICULT TO REMOVE FROM WATER ONCE IT BECOMES SUSPENDED. USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SUITES AND

SUBSEQUENT BLOWING AND DEPOSITION INTO LOCAL SURFACE WATER RESOURCES.

# PLANNING CRITERIA THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

# MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG 5-1

<u>VEGETATIVE COVER</u> - SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1, AND

### PERMANENT STABILIZATION WITH SOD, PG. 6-1 SPRAY ON ADHESIVE - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

DUST CONTROL MATERIALS			
MATERIALS	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIGN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPREAD	APPLY ACCORDINGLY TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD PG. 26:		
ACIDULATED SOY BEAM SOAP STICK	NONE	COARSE SPRAY	1200

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, THIS IS A TEMPORARY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEING PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACES ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT

<u>SPRINKLING</u> - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

<u>BARRIERS</u> - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEE THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE, IS USED ON STEEPER SLOPES THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCLIMATION AROUND PLANTS. SLOPE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

STANDARD FOR STABILIZATION WITH MULCH ONLY

# <u>DEFINITION</u> STABILIZING EXPOSED SOILS WITH NON-VEGETATIVE MATERIALS EXPOSED FOR PERIODS LONGER THAN 14 DAYS.

PURPOSE TO PROTECT EXPOSED SOIL SURFACES FROM EROSION DAMAGE AND TO REDUCE OFFSITE ENVIRONMENTAL DAMAGE.

CONDITION WHERE PRACTICE APPLIES
THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTION.

WATER QUALITY ENHANCEMENT
PROVIDES TEMPORARY MECHANICAL PROTECTION AGAINST WIND OR RAINFALL INDUCED SOIL EROSION UNTIL PERMANENT VEGETATIVE COVER

# <u>WHERE APPLICABLE</u> THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO EROSION, WHERE THE SEASON AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR

# METHODS AND MATERIALS

### SITE PREPARATION A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH

- APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42. PROTECTIVE MATERIALS
- A. UNROTTED SMALL-GRAIN STRAW, AT 2.0 TO 2.5 TONS PER ACRE, IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE GROUND COMPLETELY UPON VISUAL INSPECTION, I.E. THE SOIL CANNOT BE SEEN BELOW THE MULCH.
- C. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS
- RECOMMENDED BY THE MANUFACTURER. D. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S
- REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER. E. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED.
- F. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT
- G. GRAVEL, CRUSHED STONE, OR SLAG AT THE RATE OF 9 CUBIC YARDS PER 1,000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED 3. MULCH ANCHORING - SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS
- OF SLOPES A. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
- B. MULCH NETTINGS STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER MULCH. USE DEGRADABLE NETTING IN AREAS TO BE MOWED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG. CRIMPER MULCH ANCHORING COULTER TOOL - A TRACTOR-DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH

INTO THE SOIL SURFACE. THIS PRACTICE AFFORDS MAXIMUM EROSION CONTROL, BUT ITS USE IS LIMITED TO THOSE SLOPES UPON WHICH

THE TRACTOR CAN OPERATE SAFELY. SOIL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES. ON SLOPING LAND, THE OPERATION SHOULD

- BE ON THE CONTOUR.
- 1. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
- USE ONE OF THE FOLLOWING:
- ORGANIC AND VEGETABLE BASED BINDERS NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS THAT MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANE NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTO-TOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS, VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.
- SYNTHETIC BINDERS HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILLITED AND FOLLOWING APPLICATION TO MULCH. DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF

### CONSTRUCTION SEQUENCE

EXACT TIMING FOR DEVELOPMENT OF THIS PROJECT IS NOT KNOWN AT THIS TIME. HOWEVER, IT IS ANTICIPATED THAT CONSTRUCTION WILL COMMENCE IN THE SPRING OF 2025 AND WILL PROCEED IMMEDIATELY AND CONTINUOUSLY ONCE THE REQUIRED APPROVALS ARE SECURED. ITEMS AND DURATIONS OF CONSTRUCTION WILL OCCUR APPROXIMATELY AS FOLLOWS: PHASE DURATION

PHAS	DURATION	
(C	STALL TEMPORARY SOIL EROSION FACILITIES ONSTRUCT STABILIZED CONSTRUCTION ENTRANCE, INSTALL SILT FENCE, STALL TREE PROTECTION FENCING)	IMMEDIATELY
2. SI	TE DEMOLITION	1 WEEK
	DUGH CLEARING AND GRADING ASINS SHALL BE EXCAVATED NO FURTHER THAN 1 FOOT ABOVE FINAL GRADE)	2 WEEKS
4. TE	MPORARY SEEDING	IMMEDIATELY
5. UT	TILITY INSTALLATION	2 WEEKS
6. IN	STALL INLET PROTECTION	IMMEDIATELY
7. DF	RAINAGE INSTALLATION	1 WEEK
8. CL	JRB AND SIDEWALK CONSTRUCTION	1 WEEK
9. PA	AVEMENT SUB-BASE	1 WEEK
10. CC	DNSTRUCTION OF BUILDING(S)	9 MONTHS
11. MA	AINTENANCE OF TEMPORARY EROSION CONTROL MEASURES	CONTINUOUSL
12. PR	RELIMINARY INSTALLATION OF LANDSCAPING	1 WEEK
13. FIN	NAL PAVEMENT COURSE	1 WEEK
14. FIN	NAL CONSTRUCTION/STABILIZATION OF SITE	1 WEEK

\*TEMPORARY SEEDING SHALL ALSO BE PERFORMED WHEN NECESSARY IN ACCORDANCE WITH NOTES #5 AND #6 OF THE SOIL EROSION AND

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. THE PROPERTY OWNERS SHALL ASSUME THIS RESPONSIBILITY AFTER CONSTRUCTION IS COMPLETED AND CERTIFICATES OF

THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ROADWAYS CLEAN AT ALL TIMES, ANY SEDIMENT SPILLED OR TRACKED ON THE ROADWAY WILL BE CLEANED UP IMMEDIATELY, OR AT MINIMUM, BY THE END OF EACH WORK DAY.

DUST GENERATION SHALL BE CONTROLLED ON A CONSTANT BASIS BY WETTING THE SURFACE AND/OR APPLICATION OF CALCIUM CHLORIDE.

STEEP SLOPES SHALL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUAL. (SEE ANCHORING NOTES & NOTE NO. 6 OF SOIL EROSION & SEDIMENT CONTROL NOTES.)

## ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON INDIVIDUAL SITES SHALL APPLY TO ANY SUBSEQUENT OWNERS.

### STANDARD FOR TOPSOILING

### . MATERIALS

- A. TOPSOIL SHOULD BE FRIABLE1, LOAMY2, FREE OF DEBRIS, OBJECTIONABLE WEEDS AND STONES, AND CONTAIN NO TOXIC SUBSTANCE OR ADVERSE CHEMICAL OR PHYSICAL CONDITION THAT MAY BE HARMFUL TO PLANT GROWTH. SOLUBLE SALTS SHOULD NOT BE EXCESSIVE (CONDUCTIVITY LESS THAN 0.5 MILLIMHOS PER CENTIMETER. MORE THAN 0.5 MILLIMHOS MAY DESICCATE SEEDLINGS AND ADVERSELY IMPACT GROWTH). IMPORTED TOPSOIL SHALL HAVE A MINIMUM ORGANIC MATTER CONTENT OF 2.75 PERCENT. ORGANIC MATTER CONTENT MAY BE RAISED BY ADDITIVES.
- B. TOPSOIL SUBSTITUTE IS A SOIL MATERIAL WHICH MAY HAVE BEEN AMENDED WITH SAND, SILT, CLAY, ORGANIC MATTER, FERTILIZER OR LIME AND HAS THE APPEARANCE OF TOPSOIL. TOPSOIL SUBSTITUTES MAY BE UTILIZED ON SITES WITH INSUFFICIENT TOPSOIL FOR ESTABLISHING PERMANENT VEGETATION. ALL TOPSOIL SUBSTITUTE MATERIALS SHALL MEET THE REQUIREMENTS OF TOPSOIL NOTED ABOVE. SOIL TESTS SHALL BE PERFORMED TO DETERMINE THE COMPONENTS OF SAND, SILT, CLAY, ORGANIC MATTER, SOLUBLE SALTS

- . <u>STRIPPING AND STOCKPILING</u>
  A. FIELD EXPLORATION SHOULD BE MADE TO DETERMINE WHETHER QUANTITY AND OR QUALITY OF SURFACE SOIL JUSTIFIES STRIPPING. STRIPPING SHALL BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA. WHERE FEASIBLE, LIME MAY BE APPLIED BEFORE STRIPPING AT A RATE DETERMINED BY SOIL TESTS TO BRING THE SOIL PH TO
- APPROXIMATELY 6.5 A 4-6 INCH STRIPPING DEPTH IS COMMON. BUT MAY VARY DEPENDING ON THE PARTICULAR SOIL STOCKPILES OF TOPSOIL SHOULD BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL

STOCKPILES SHOULD BE VEGETATED IN ACCORDANCE WITH STANDARDS PREVIOUSLY DESCRIBED HEREIN; SEE STANDARDS FOR

- SITE PREPARATION

  A. GRADE AT THE ONSET OF THE OPTIMAL SEEDING PERIOD SO AS TO MINIMIZE THE DURATION AND AREA OF EXPOSURE OF DISTURBED

  THE SPECIFIC SEED MIXTURE SOIL TO EROSION. IMMEDIATELY PROCEED TO ESTABLISH VEGETATIVE COVER IN ACCORDANCE WITH THE SPECIFIED SEED MIXTURE.
- GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE. SEE THE STANDARD FOR LAND GRADING, PG. 19-1. C. AS GUIDANCE FOR IDEAL CONDITIONS, SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT. LIMESTONE IF NEEDED, SHOULD BE
- APPLIED TO BRING SOIL TO A PH OF APPROXIMATELY 6.5 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF PRIOR TO TOPSOILING, THE SUBSOIL SHALL BE IN COMPLIANCE WITH THE STANDARD FOR LAND GRADING, PG. 19-1. EMPLOY NEEDED EROSION CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION

# MEASURES SEDIMENTATION BASINS AND WATERWAYS. SEE STANDARDS 11 THROUGH 42

- 4. <u>APPLYING TOPSOIL</u>
  A. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE; I.E., LESS THAN FIELD B. A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5.0 INCHES, MINIMUM OF 4 INCHES, FIRMED IN PLACE IS REQUIRED. ALTERNATIVE DEPTHS MAY BE CONSIDERED WHERE SPECIAL REGULATORY AND/OR INDUSTRY DESIGN STANDARDS ARE APPROPRIATE SUCH AS ON GOLF COURSES, SPORTS FIELDS, LANDFILL CAPPING, ETC.. SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE SHALL BE
- COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE, IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOIL (PG. 1-1). PURSUANT TO THE REQUIREMENTS IN SECTION 7 OF THE STANDARD FOR PERMANENT VEGETATIVE STABILIZATION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT PERMANENT VEGETATIVE COVER BECOMES ESTABLISHED ON AT LEAST 80% OF THE SOILS TO BE STABILIZED WITH VEGETATION. FAILURE TO ACHIEVE THE MINIMUM COVERAGE MAY REQUIRE ADDITIONAL WORK TO BE PERFORMED BY THE CONTRACTOR TO INCLUDE SOME OR ALL OF THE FOLLOWING: SUPPLEMENTAL SEEDING, RE-APPLICATION OF LIME AND FERTILIZERS, AND/OR THE ADDITION OF ORGANIC MATTER (I.E. COMPOST) AS A TOP DRESSING. SUCH ADDITIONAL MEASURES SHALL BE BASED ON SOIL TESTS SUCH AS THOSE OFFERED BY RUTGERS COOPERATIVE EXTENSION SERVICE OR OTHER APPROVED LABORATORY FACILITIES QUALIFIED TO TEST SOIL SAMPLES FOR AGRONOMIC PROPERTIES.

# HIGH-ACID PRODUCING SOILS- METHODS AND MATERIALS 1. LIMIT THE EXCAVATION AREA AND EXPOSURE TIME WHEN HIGH ACID-PRODUCING SOILS ARE ENCOUNTERED.

- 2. TOPSOIL STRIPPED FROM THE SITE SHALL BE STORED SEPARATELY FROM TEMPORARILY STOCKPILED HIGH ACID-PRODUCING SOILS 3. STOCKPILES OF HIGH ACID-PRODUCING SOIL SHOULD BE LOCATED ON LEVEL LAND TO MINIMIZE ITS MOVEMENT, ESPECIALLY WHEN
- 4. TEMPORARILY STOCKPILED HIGH ACID-PRODUCING SOIL MATERIAL TO BE STORED MORE THAN 48 HOURS SHOULD BE COVERED WITH PROPERLY ANCHORED, HEAVY GRADE SHEETS OF POLYETHYLENE WHERE POSSIBLE, IF NOT POSSIBLE, STOCKPILES SHALL BE COVERED WITH A MINIMUM OF 3 TO 6 INCHES OF WOOD CHIPS TO MINIMIZE EROSION OF THE STOCKPILE. SILT FENCE SHALL BE INSTALLED AT THE TOE OF THE SLOPE TO CONTAIN MOVEMENT OF THE STOCKPILED MATERIAL. TOPSOIL SHALL NOT BE APPLIED TO THE STOCKPILES TO PREVENT TOPSOIL CONTAMINATION WITH HIGH ACID-PRODUCING SOIL
- 5 HIGH ACID-PRODUCING SOILS WITH A PH OF 4 0 OR LESS OR CONTAINING IRON SUI FIDE (INCLUDING BORROW FROM CUTS OR DREDGED SEDIMENT) SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS PER ACRE (OR 450 POUNDS PER 1,000 SQUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF SETTLED SOIL WITH A PH OF 5.0 OR MORE a) AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF 24 INCHES OF SOIL WITH A PH OR 5 OR MORE
- BANKS, DITCHES, AND OTHERS, TO PREVENT POTENTIAL LATERAL LEACHING DAMAGES. 6. EQUIPMENT USED FOR MOVEMENT OF HIGH ACID-PRODUCING SOILS SHOULD BE CLEANED AT THE END OF EACH DAY TO PREVENT SPREADING OF HIGH ACID-PRODUCING SOIL MATERIALS TO OTHER PARTS OF THE SITE, INTO STREAMS OR STORMWATER

b) DISPOSAL AREAS SHALL NOT BE LOCATED WITHIN 24 INCHES OF ANY SURFACE OF A SLOPE OR BANK, SUCH AS BERMS, STREAM

- CONVEYANCES, AND TO PROTECT MACHINERY FROM ACCELERATED RUSTING. 7. NON-VEGETATIVE EROSION CONTROL PRACTICES (STONE TRACKING PADS, STRATEGICALLY PLACED LIMESTONE CHECK DAM, SEDIMENT BARRIER, WOOD CHIPS) SHOULD BE INSTALLED TO LIMIT THE MOVEMENT OF HIGH ACID-PRODUCING SOILS FROM, AROUND,
- 8 FOLLOWING BURIAL OR REMOVAL OF HIGH ACID-PRODUCING SOIL TOPSOILING AND SEEDING OF THE SITE (SEE TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, AND TOPSOILING), MONITORING MUST CONTINUE FOR A MINIMUM OF 6 MONTHS TO ENSURE THERE IS ADEQUATE STABILIZATION AND THAT NO HIGH ACID-PRODUCING SOIL PROBLEMS EMERGE. IF PROBLEMS STILL EXIST, THE AFFECTED AREA MUST BE TREATED AS INDICATED ABOVE TO CORRECT THE PROBLEM.

PROJECT INFORMATION

### ROJECT LOCATION:

BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE HIGHLANDS, NJ 07732

PLICANT: 60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE

# APPLICANT'S PROFESSIONALS

HIGHLANDS, NJ 07732

DONNA M. JENNINGS ESQ. WILENTZ, GOLDMAN & SPITZER, PA 90 WOODBRIDGE CENTER DRIVE, SUITE 900 WOODBRIDGE, NJ 07095

SALVATORE LA FERLITA, R.A. 115 UNIVERSITY DRIVE LINCROFT, NJ 07738

INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A WALL, NJ 07719



## NJ ONE CALL.....800-272-1000

PERMANENT (PG. 4-1) OR TEMPORARY (PG.7-1) VEGETATIVE COVER FOR SOIL STABILIZATION. WEEDS SHOULD NOT BE ALLOWED TO

CERTIFICATE OF AUTHORIZATION: 24GA28083200

1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

732-531-7100 (Ph) 732-531-7344 (Fax)

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PROFESSIONAL ENGINEER

NJ PE 24GE05331000

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# REVISIONS

PER COUNTY
PER COUNTY
PER COUNTY
PER COUNTY
PER COUNTY REVIEW LETTER
FOR RESOLUTION COMPLIANCE
FOR FSCD
FOR RESOLUTION COMPLIANCE
PER BOROUGH COMMENTS
PER ATTORNEY
PER ATTORNEY
PER ARCHITECT

CHECKED BY: DDC

APPROVED BY

### SCALE: AS SHOWN DESIGNED BY: DDC DATE: 02/05/24 DRAWN BY: AMC

CAD ID: 23-2237-01r3 NOT FOR CONSTRUCTION

JOB #: 23-2237-01

FOR CONSTRUCTION PLAN INFORMATION

PRELIMINARY & FINAL

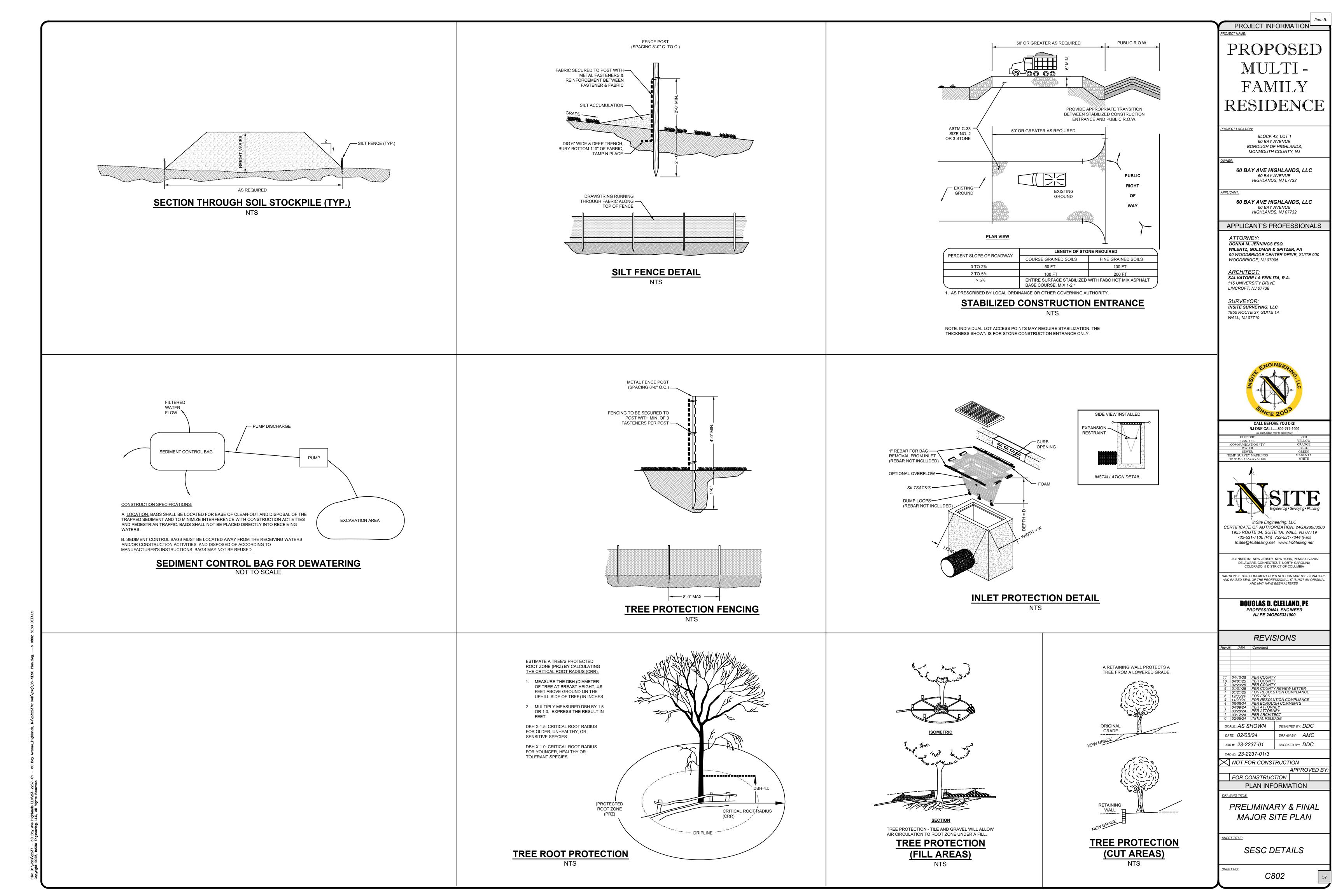
MAJOR SITE PLAN

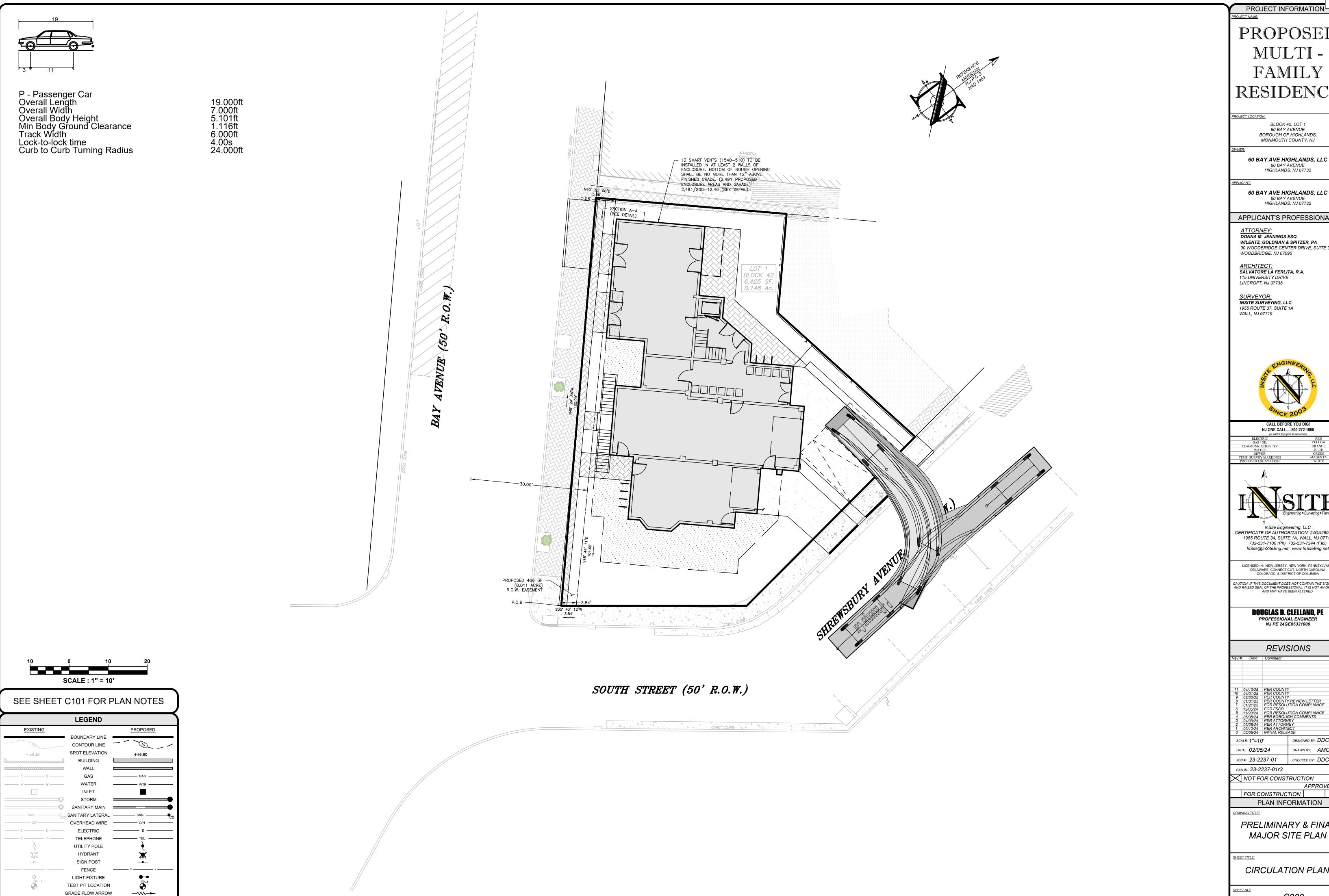
SESC NOTES

C801

THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS.

CONDITION WHERE PRACTICE APPLIES
THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTION.





SWALE CENTER LINE ------

PROPOSED MULTI -FAMILY RESIDENCE

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APPLICANT'S PROFESSIONALS

ATTORNEY:

DONNA M. JENNINGS ESQ.

WILENTZ, GOLDMAN & SPITZER, PA

90 WOODBRIDE CENTER DRIVE, SUITE 900

ARCHITECT: SALVATORE LA FERLITA, R.A. 115 UNIVERSITY DRIVE LINCROFT, NJ 07738

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A WALL, NJ 07719



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Rev.#	Date	Comment
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	01/21/25	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR FSCD
5	11/20/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	PER BOROUGH COMMENTS
3	04/09/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY

DESIGNED BY: DDC DATE: 02/05/24 DRAWN BY: AMC JOB #: 23-2237-01 CHECKED BY: DDC

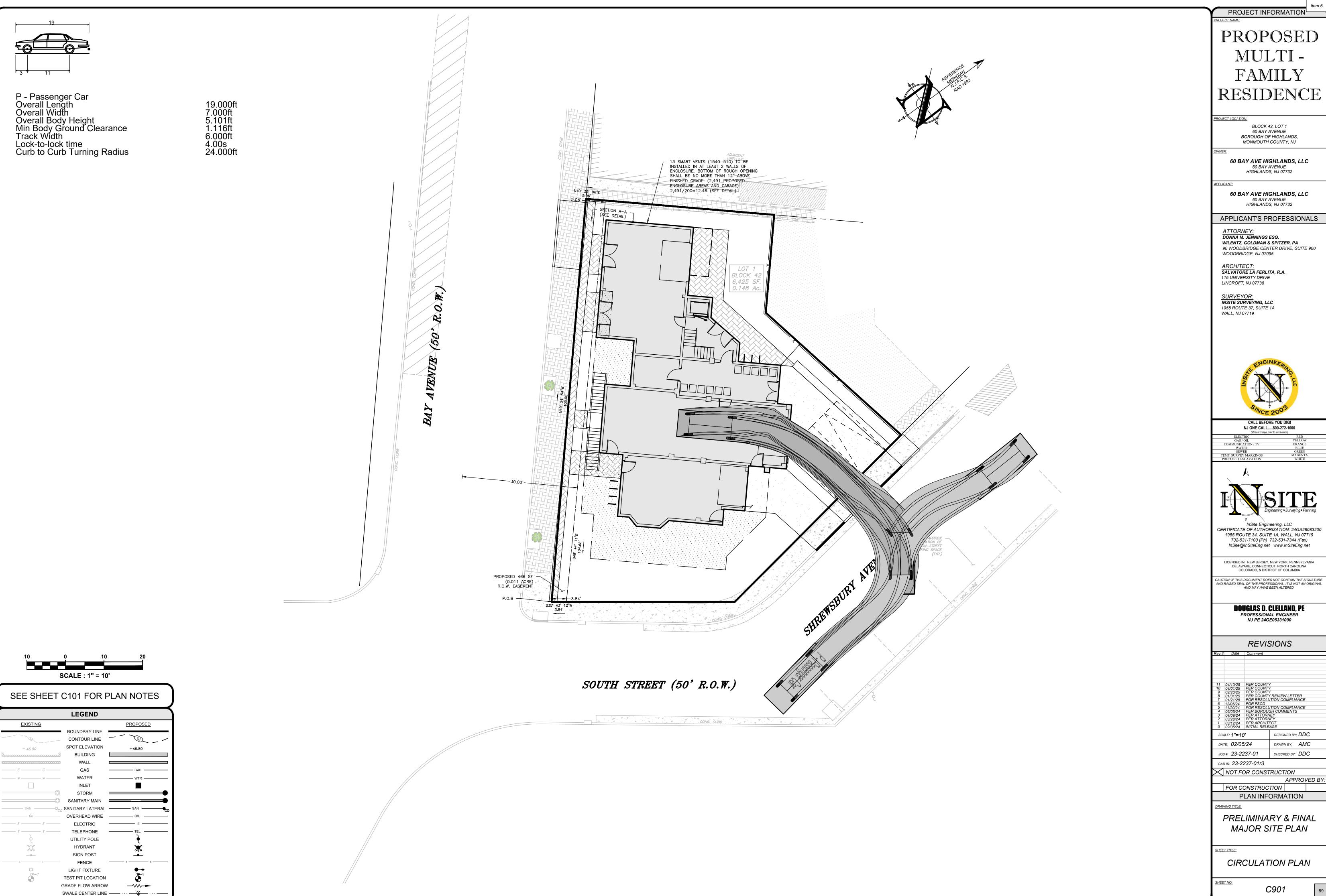
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PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

CIRCULATION PLAN



PROPOSED MULTI -FAMILY

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)	02/05/24	INITIAL RELEASE

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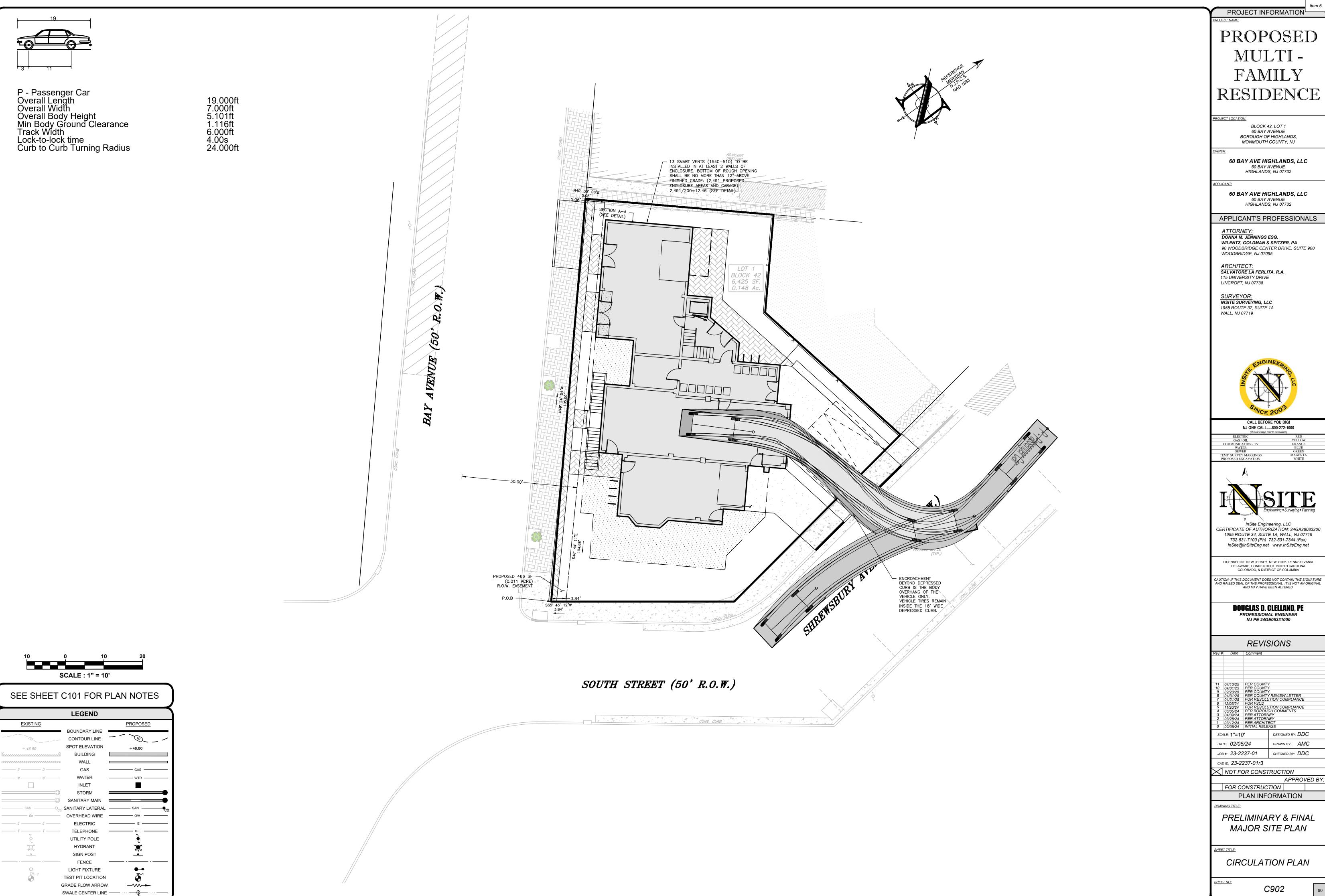
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FOR CONSTRUCTION

PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

CIRCULATION PLAN



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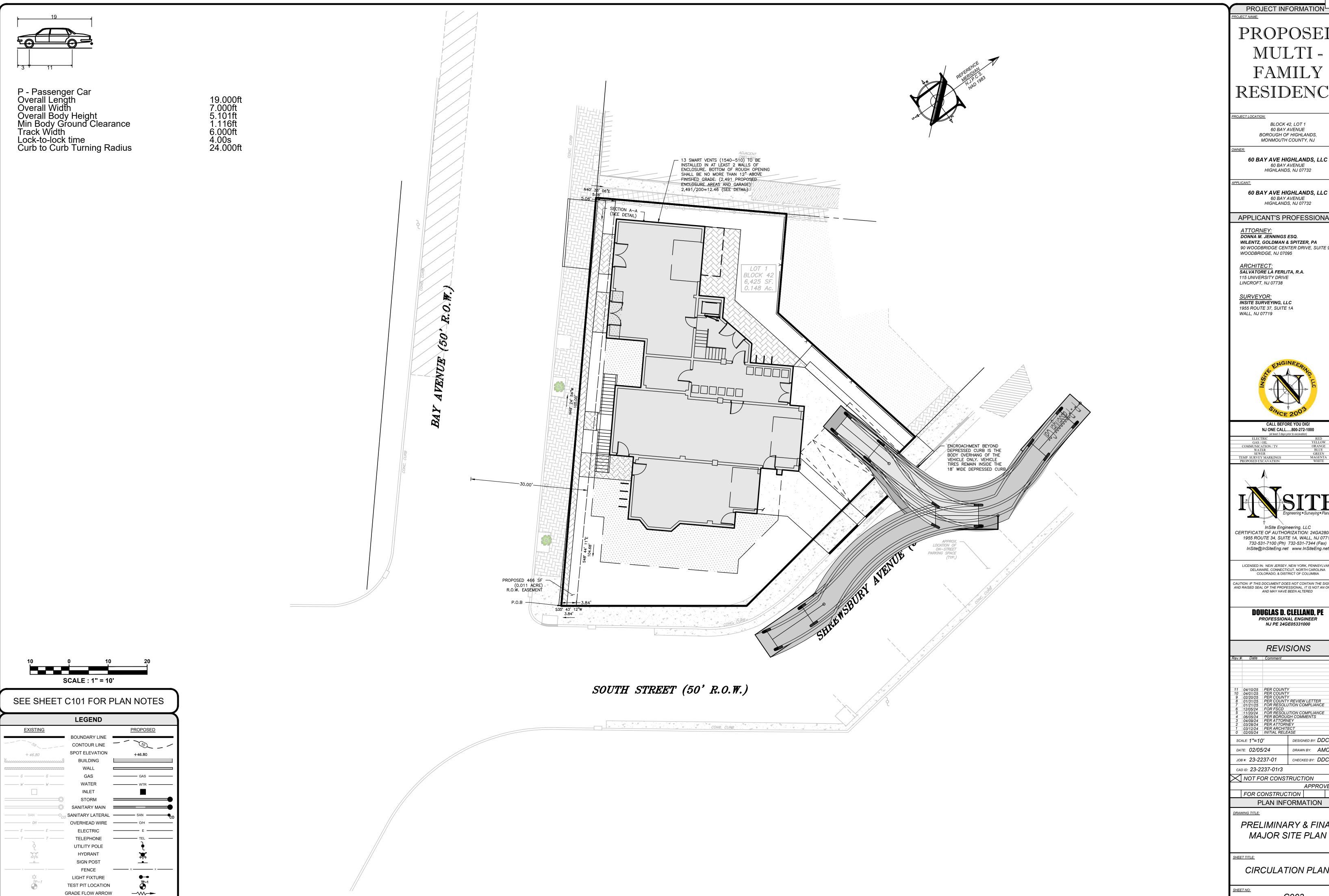
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CIRCULATION PLAN



SWALE CENTER LINE -----

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DOUGLAS D. CLELLAND, PE PROFESSIONAL ENGINEER NJ PE 24GE05331000

	REVISIONS					
v.#	Date	Comment				
1	04/10/25	PER COUNTY	/			
5	04/01/25	PER COUNTY				
)	02/20/25	PER COUNTY				
3	01/31/25	PER COUNTY	' REVIEW LETTER			
,	01/21/25	FOR RESOLU	ITION COMPLIANCE			
6	12/05/24	FOR FSCD				
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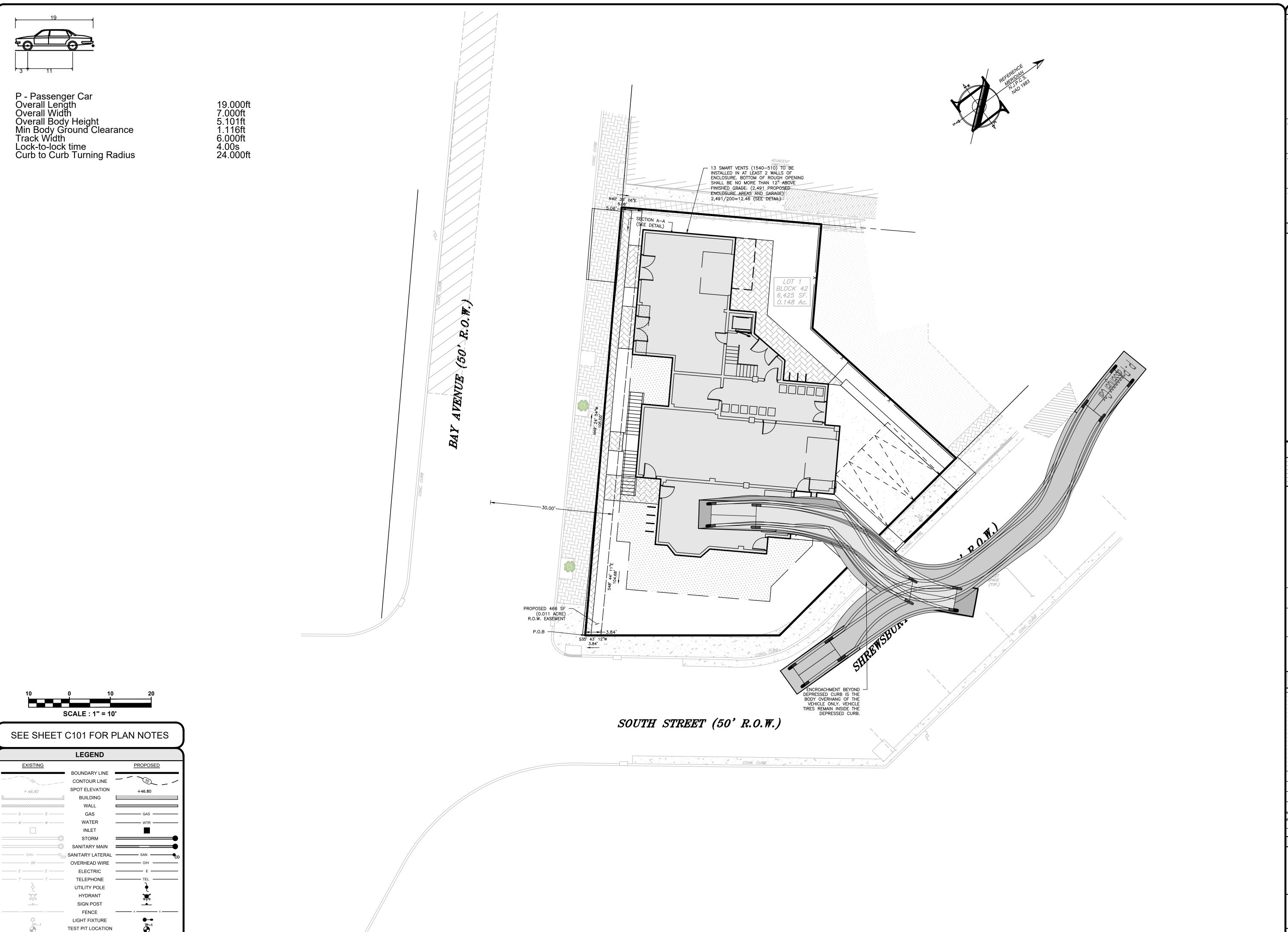
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PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

CIRCULATION PLAN



GRADE FLOW ARROW

**-**

SWALE CENTER LINE -----

PROPOSED

MULTI =

FAMILY

RESIDENCE

PROJECT INFORMATION L

PROJECT LOCATION:

BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ

60 BAY AVE HIGHLANDS, LLC

HIGHLANDS, NJ 07732

60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY:
DONNA M. JENNINGS ESQ.
WILENTZ, GOLDMAN & SPITZER, PA
90 WOODBRIDGE CENTER DRIVE, SUITE 900
WOODBRIDGE, NJ 07095

ARCHITECT:
SALVATORE LA FERLITA, R.A.
115 UNIVERSITY DRIVE
LINCROFT, NJ 07738

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A WALL, NJ 07719



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 ELECTRIC
 RED

 GAS / OIL
 YELLOW

 COMMUNICATION / TV
 ORANGE

 WATER
 BLUE

 SEWER
 GREEN

 TEMP. SURVEY MARKINGS
 MAGENTA

 PROPOSED EXCAVATION
 WHITE

SITE
Engineering • Surveying • Planning

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FOR CONSTRUCTION PLAN INFORMATION

TLAIN INFORMATION

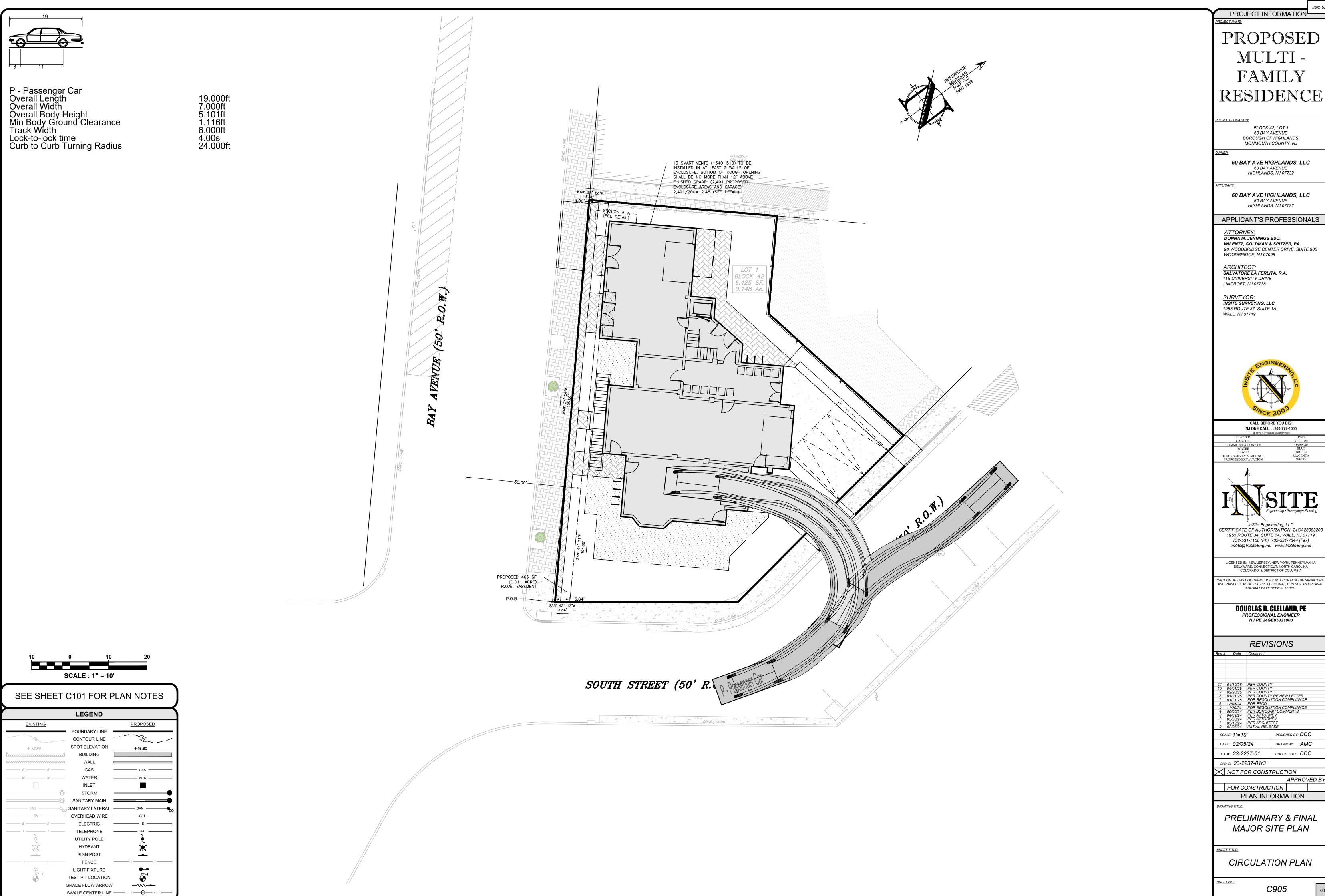
MAJOR SITE PLAN

PRELIMINARY & FINAL

SHEET TITLE:

CIRCULATION PLAN

SHEET NO:



PROPOSED MULTI -

FAMILY RESIDENCE

PROJECT LOCATION:

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60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE

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PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

CIRCULATION PLAN

# **GENERAL NOTES GENERAL CONDITIONS:**

THE PROVISIONS OF THESE CONSTRUCTION DOCUMENTS, IN WHOLE AND IN PART INCLUDING THESE NOTES AND DRAWINGS APPLY TO ALL PARTIES PERFORMING WORK FOR THE PROJECT. IT IS RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONVEY, COORDINATE, AND ENSURE PERFORMANCE OF THESE PROVISIONS.

ALL SUBCONTRACTORS SHALL COOPERATE IN THE COORDINATION AND PERFORMANCE OF THE WORK.

THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT,

BONDS, INSURANCE, PERMITS, AND INSPECTIONS FOR COMPLETING THE WORK. THESE CONSTRUCTION DOCUMENTS ARE INSTRUMENTS OF SERVICE FOR THIS PARTICULAR PROJECT. THEY ARE THE SOLE PROPERTY OF THIS FIRM AND SHALL NOT BE OTHERWISE USED IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION AND DUE COMPENSATION.

THE CONTRACTOR AND OWNER SHALL HOLD HARMLESS THE ARCHITECT FROM DAMAGES OR EXPENSES INCLUDING LEGAL FEES ARISING OUT OF THE CONTRACTORS PERFORMANCE OF WORK.

THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATION AS TO THE SUITABILITY OF SOIL CONDITIONS, SUCH A REPRESENTATION OF WOULD REQUIRED TESTING AND PROFESSIONAL ENGINEERING REVIEW OF THE

THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATION AS TO THE CONDITIONS OR SUITABILITY OF CONCEALED STRUCTURAL OR FOUNDATION

THIS WORK OF THIS PROJECT SHALL BE PERFORMED AND/OR COORDINATED BY AN EXPERIENCED GENERAL CONTRACTOR OR CONSTRUCTION MANAGER, WITH AT LEAST THREE YEARS OF EXPERIENCE IN AT LEAST THREE PROJECTS OF SIMILAR SCOPE AND TYPE.

# SCOPE OF THE WORK:

ARE FOUND NOTIFY THE ARCHITECT IMMEDIATELY.

THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE CARRIED OUT THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS

WHERE DRAWINGS, SPECIFICATIONS, OR OTHER CONSTRUCTION DOCUMENTS DISAGREE OR CONFLICT WITH EACH OTHER NOTIFY ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL PERFORM ALL INDICATED WORK AND RELATED WORK EVEN IF NOT CLEARLY INDICATED THAT MAY BE REASONABLY

BEFORE STARTING THE WORK OF THIS CONTRACT, WHERE DISCREPANCIES

CONSIDERED AS NECESSARY FOR COMPLETION. THE CONTRACTOR SHALL PROTECT AGAINST DAMAGE OR THEFT TO ALL NEW AND EXISTING CONSTRUCTION, SITE DEVELOPMENT AND SERVICES.

THE CONTRACTOR SHALL REPAIR DAMAGE TO THE EXISTING AND/OR NEIGHBORING CONSTRUCTION OR SITES CAUSED BY NEW CONSTRUCTION AT

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER AND LEGAL DISPOSAL OF ALL REFUSE AND FOR MAINTAINING THE WORK PLACE IN A SAFE AND ORDERLY CONDITION AT ALL TIMES.

. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SERVICES AND ASSOCIATED HOOK-UPS, COORDINATION AND PERMISSIONS AT HIS OWN

THE CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATIONS OF THE EXISTING STRUCTURE DURING PERFORMANCE OF HIS WORK. SHOULD HE BECOME AWARE OF ANY INVESTIGATION OR STUDY (SUCH AS CRACKS IN MASONRY AND PARTITIONS, ADDITIONAL DEFLECTIONS, ETC.) AND NOTIFY THE ARCHITECT IMMEDIATELY.

10. FIREPROOF GARAGE AND UTILITY ROOM AS REQUIRED BY LOCAL CODES WITH

5/8" FIRE CODE "X" GYPSUM BOARD OR EQUAL. 11. CRAWL SPACE ACCESS AND VENTILATION SHALL COMPLY WITH SECTION R 408.1 AND R 408.4 OF 2021 RESIDENTIAL CODE N.J. EDITION

# PERFORMANCE OF THE WORK:

ALL MATERIALS AND PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND CODE REQUIREMENTS, AND AS OTHERWISE INDICATED IN CONTRACT DOCUMENTS.

ALL MATERIAL AND PRODUCTS SHALL BE NEW AND IN GOOD CONDITION. WHERE APPLICABLE THE CONTRACTOR SHALL PROVIDE THE OWNER WITH COPIES AND ASSIGNMENTS OF ALL GUARANTEES PROVIDED BY THE

CONSTRUCTION DOCUMENTS AT THE WORK SITE AT ALL TIMES. DO NOT SCALE DRAWINGS, DIMENSIONS ARE FACE OF STUD OR TO FACE OF MASONRY UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS CLEAR OR CLEAR SHALL BE USED AS FINISHED SURFACE TO FINISHED SURFACE

THE CONTRACTOR SHALL MAINTAIN THE MOST CURRENT SET OF

# **DEMOLITION NOTES:**

TERMINATION OF ALL WIRES.

ALL INDICATED DEMOLITION INCLUDES REQUIRED PATCHING, REPAIR AND MODIFICATIONS AS NECESSARY TO PREPARE FOR NEW WORK AND/OR MATCH

DEMOLITION WORK INCLUDES REMOVING ALL DEMOLITION DEBRIS FROM THE SITE IN A LEGAL AND TIMELY MANNER. NOTIFY ARCHITECT IMMEDIATELY IF DEMOLITION REVEALS EXISTING CONDITIONS DIFFERENT FROM THOSE ASSUMED ON DRAWINGS.

REMOVAL OF PLUMBING FIXTURES OR PIPES INCLUDES CAPPING OFF ALL SUPPLY AND WASTE LINES. REMOVAL OF ELECTRICAL FIXTURES OR WORK, INCLUDES PROPER

. COORDINATE WITH PLUMBING FOR RELOCATION OF ALL EXISTING PLUMBING AND/OR GAS PIPING REQUIRED BY DEMOLITION AND/OR NEW WORK INDICATED. COORDINATE WITH ELECTRICAL FOR RELOCATION OF ALL EXISTING WIRE AND/OR OTHER ELECTRICAL WORK REQUIRED BY DEMOLITION AND/OR NEW

COORDINATE WITH HVAC FOR RELOCATION OF ALL EXISTING DUCTS AND/OR OTHER SYSTEM COMPONENTS AS WORK REQUIRED BY DEMOLITION AND/OR

SHORE UP ALL EXISTING FRAMING BEFORE TOTAL REMOVAL OF THE BEARING WALLS AND BEFORE NEW BEAMS ARE INSTALLED.

# SITEWORK/EARTHWORK:

SITE WORK INCLUDES ALL ASPECTS OF SOIL MOVEMENT, PREPARATION, SOIL CONDITIONS, PAVING, AND GRASS SEEDING ASSOCIATED WITH THE PROJECT. SITE WORK INCLUDES ALL REGULATORY ASPECTS OF THE WORK INCLUDING SOIL RETENTION PROCEDURES, EXCAVATION APPROVALS, AND PERMITS AS

3. SITE WORK INCLUDES ALL SOIL WORK RELATED TO FOUNDATION, SLABS, COMPACTION AND REQUIRED RETAINING WALLS. TREAT SOIL WITH APPROVED INSECTICIDES AT FOUNDATION AND CRAWL SPACE AREAS. USE MANUFACTURES DISTRIBUTION RECOMMENDATIONS OF A TYPE APPROVED BY OWNER.

. STRIP OFF AND CONSERVE ALL TOP SOIL IN AREAS TO BE DISTURBED PROVIDE A STABILIZED STONE SUB-BASE FOR CONSTRUCTION ACCESS IN THE LOCATION OF PROPOSED DRIVE WAY SEED WITH QUALITY MIX GRASS SEED (APPROVED BY OWNER) AND MAINTAIN ALL DISTURBED AREAS TO

PROMOTE NEW LAWN FOR A PERIOD NOT LESS THAN 30 DAYS. CONTRACTOR SHALL INSTALL NEW 2" BITUMINOUS DRIVEWAY OVER 3" CRUSHED STONE WITH BELGIUM BLOCK CURBING AND SLATE SIDEWALK AS PER SITE PLAN, PROVIDE ALTERNATE PRICE.

# **MASONRY AND CONCRETE NOTES:**

STONE, BRICK, CONCRETE MASONRY UNITS AND POURED CONCRETE AND INCLUDES ALL ASSOCIATED MATERIALS LABOR AND EQUIPMENT FOR THE

MASONRY AND CONCRETE WORK INCLUDES ALL CONSTRUCTION INVOLVING

2. CONCRETE AND MASONRY WORK INCLUDES ALL GARAGE, CRAWL SPACE AND BASEMENT SLABS, PATIOS, FOUNDATIONS, AND BUILDING WALLS, RETAINING WALLS, WALKWAYS OR OTHER WORK AS APPROPRIATE TO THE TRADE INCLUDING ALL COORDINATION WITH OTHER TRADES AS TO EXCAVATION, GRADING, UTILITIES, ETC.

3. MASONRY AND CONCRETE WORK INCLUDES ALL REINFORCING CALLED FOR AS NORMALLY PROVIDED, INCLUDING ALL REBAR, STEEL LINTELS, AND WIRE

4. ALL CONCRETE SHALL BE MIN. STRENGTH 3,000 psi AT 28 DAYS UNLESS OTHERWISE INDICATED.

5. ALL CONCRETE MASONRY UNITS AND BRICK ARE TO BE RUNNING BOND UNLESS OTHERWISE INDICATED.

6. PROVIDE FOUNDATION DAMP-PROOFING (2) LAYER HOT ASPHALTIC COATING OR OTHER APPROVED SYSTEMS.

7. PROVIDE RADON MITIGATION MEASURES AS REQUIRED BY LOCAL CODE AND AS CALLED FOR IN THE DRAWINGS. 8. PROVIDE #4 VERTICAL REBAR AT 8'-O" O.C. AT ALL CORNERS AND ON BOTH

SIDES OF ALL MASONRY WALL OPENINGS. POUR SOLID AT ALL REBAR LOCATIONS FOR MIN. 16". 9. THE BOTTOM OF ALL EXTERIOR WALLS, COLUMNS AND FOOTINGS SHALL BE

A MINIMUM OF 3'-O" BELOW FINISHED GRADE UNLESS OTHERWISE INDICATED ON THE WORKING DRAWINGS. 10. WHEN FINISHED FLOOR IS 2'-O" OR GREATER ABOVE FINISHED GRADE, THE FOUNDATION WALL SHALL BE REINFORCED FROM TOP OF FOOTING TO 12"

ABOVE FLOOR SLAB. FILL BLOCK SOLID WITH CONCRETE AND PROVIDE

VERTICAL ROD REINFORCING AT 12" O.C. 11. PROVIDE HORIZONTAL TRUSS-TYPE REINFORCING EVERY OTHER BLOCK

12. ALL FOOTING SHALL BEAR ON VIRGIN SOIL OF 3,000 P.S.F. BEARING

(2) 3 1/2"  $\times$  3 1/2"  $\times$  1/2" UNLESS OTHERWISE NOTED. 14. DO NOT ERECT MASONRY WALLS WHEN TEMPERATURE IS BELOW 25 DEGREES WITHOUT RECEIVING WRITTEN PERMISSION AND SPECIAL REQUIREMENTS FROM THE ARCHITECT. FOR TEMPERATURES LESS THAN 40 DEGREES BUT MORE THAN 25 DEGREES MAINTAIN MORTAR TEMPERATURE BETWEEN 40 AND 120 DEGREES, HEATING MIXING WATER AS NECESSARY, MASONRY UNITS SHALL BE HEATED TO A MINIMUM TEMPERATURE OF 40 DEGREES.

13. PROVIDE LINTELS OVER MASONRY OPENINGS. STEEL LINTELS SHALL BE TWO

15. WHERE EXPOSED MASONRY MUST BE TRIMMED, SAWCUT ALL EXPOSED JOINTS

# **ENERGY NOTES:**

THE CONSTRUCTION SHALL MEET OR EXCEED ALL STATE ENERGY CODE

2. ALL FRAMED EXTERIOR WALLS, OR WALLS ADJACENT TO UNHEATED SPACES; SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF 2021 IECC 402.1.1 MINIMUM R-39 INSULATION IN FLOOR/CEILING ASSEMBLIES, MINIMUM R-19 IN FLOOR ASSEMBLIES. REFER TO CHART BELOW FOR ALL OTHER AREAS.

> 2021 IECC FOR CLIMATE ZONE 4 & 5 CEILING R-VALUE R-49 MIN. WOOD FRAME WALL R-VALUE MASONRY WALL R-VALUE R-19 FLOOR R-VALUE BASEMENT WALL R-VALUE R-10/13 SLAB R-VALUE R-10 @ 2 ft CRAWL SPACE R-VALUE FENESTRATION U-VALUE SKYLIGHT U-VALUE

3. ALL SLABS ON GRADE SHALL HAVE PERIMETER INSTALLATION 2" x 24" RIGID BOARD; HORIZONTAL AND VERTICAL (NOT IN BASEMENT UNLESS OTHERWISE

4. INSULATE ALL PIPES, DUCTS, AND TANKS AS REQUIRED BY BOCA INTERNATIONAL ENERGY CODE.

5. SUPPLY ALL WINDOWS AND DOORS WITH STOPS AND SEALS FOR A MAX INFILTRATION OF 0.5 CFM PER FOOT OR SASH CRACK.

6. CAULK OR WEATHER STRIP ALL EXTERIOR JOINTS AROUND DOORS AND WINDOWS TO MINIMIZE INFILTRATION.

# **GLAZING NOTES:**

WINDOWS NOTED AS EGRESS PROVIDE MINIMUM CLEAR OPENING OF 5.7 SQ. FT. WITH MIN. 20" WIDTH AND 24" HEIGHT EGRESS WINDOWS ON THE FIRST FLOOR SHALL HAVE A MINIMUM CLEAR OPENING OF 5.0 SQ. FT.

2. SILL HEIGHT FOR WINDOWS INDICATED AS EGRESS WINDOWS SHALL NOT EXCEED 44" ABOVE THE FLOOR.

3. PROVIDE TEMPERED GLASS AS INDICATED ON DRAWINGS IN ALL GLASS AT BATH AND SHOWER AREAS LESS THAN 72" A.F.F., IN ALL GLASS IN DOORS, AND AS OTHERWISE REQUIRED.

# WOOD, FRAMING AND CARPENTRY:

. ALL STRUCTURAL WOOD MEMBERS SHALL BE No.2 DOUGLAS FIR OR SOUTHERN

2. ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED UNLESS OTHERWISE NOTED ON THE DRAWINGS. (OF A TYPE APPROVED BY OWNER).

3. ALL INTERIOR TRIM SHALL BE PAINT-GRADE PINE AND/OR STAIN-GRADE PINE, VERIFY FINAL SELECTION WITH OWNER.

4. PROVIDE DOUBLE MEMBERS AROUND ALL FRAMED OPENING

5. PROVIDE SOLID BLOCKING AT ALL CANTILEVERS PERPENDICULAR WALLS ABOVE, AND OTHER CONCENTRATED LOADS. PROVIDE DOUBLE JOISTS RUNNING PARALLEL TO PARTITIONS ABOVE.

6. PROVIDE BRIDGING AT 8'-O" O.C. MAXIMUM.

7. PROVIDE ALL WORK INDICATED AS CABINETRY, VANITIES, SHELVES, OR MANTELS, AND/OR COORDINATE CARPENTRY WITH TILE OR GRANITE WORK AS

8. SILL PLATE SHALL BE (2) 2" x 6" TREATED LUMBER, FASTEN TO FOUNDATION WALL MINIMUM 8'-0" O.C. WITH A 1/2" DIAMETER x 18" MINIMUM LENGTH SOLIDLY EMBEDDED IN CONCRETE.

9. ALL FRAMING LUMBER SHALL BE No.2 DOUGLAS FIR OR SOUTHERN PINE WITH MINIMUM Fb OF 1450 P.S.I. AND MINIMUM E OF 1,700,000.

10. ALL NAILING SHALL BE IN ACCORDANCE WITH 2021 INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITION.

11. PROVIDE CATS AS REQUIRED, MINIMUM 8'-O" O.C.

12. WOOD HEADERS (2) 2"  $\times$  8" FOR OPENINGS UP TO 5'-0" AND (2) 2"  $\times$  10" FOR OPENINGS UP TO 8'-O" UNLESS OTHERWISE NOTED ON THE PLANS.

13. STAIR, GUARD RAILS AND HAND RAILS AT DECKS, BALCONIES OR STAIRCASES SHALL COMPLY WITH THE SECTION OF 2018 INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITION.

FLOORS: 40 PSF LIVE LOAD 10 PSF DEAD LOAD

> 10 PSF LIVE LOAD 10 PSF DEAD LOAD

WIND LOAD: MINIMUM DESIGN WIND LOAD = 110 MPH BASIC WIND SPEED EXPOSURE B IN ACCORDANCE WITH AF & PA WOOD CONSTRUCTION MANUAL FOR 1 AND 2 FAMILY DWELLINGS

# FINISH NOTES:

IN THE GARAGE.

DO NOT START THE APPLICATION OR INSTALLATION OF ANY FINISHED MATERIAL WITHOUT INSURING THE SUBSTRATE IS ACCEPTABLE AND PROPERLY PREPARED.

2. WHERE APPROPRIATE FOR PROPER INSTALLATION OR APPLICATION FINISH WORK INCLUDES ALL REMOVAL OF EXISTING FINISHES INCLUDING WALL COVERING, PAINT AND OTHER COATINGS, AND FLOORING MATERIALS.

3. ALL FINISHED WORK INCLUDES LEVELING BETWEEN FLOORS. 4. PROVIDE OWNER WITH SAMPLES OF ALL INTERIOR AND EXTERIOR FINISH

MATERIALS FOR ACCEPTANCE BEFORE ORDERING. 5. INSTALLATION OF FINISHES, INTERIOR AND EXTERIOR SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. 6. GYPSUM BOARD INSTALLATION INCLUDES TAPING AND SPACKLING (THREE

COATS) ALL WALLS IN THE HOUSE, TWO COATS IN CLOSETS, AND ONE COAT

7. PAINTING CONTRACTOR SHALL PROVIDE (1) COAT PRIMER AND (2) COAT FINISH WITH 'BENJAMIN MOORE' PAINT OR EQUAL.

8. ALL BATHROOMS SHALL HAVE TILE FLOORS AND WALLS, TILES ARE SELECTED BY OWNER.

9. ALL TUBS AND SHOWERS SHALL HAVE MOLDED ENCLOSURES AS SELECTED 10. ALL HARDWARE SHALL BE SELECTED BY OWNER.

11. ALL WOOD FLOORS (WHERE INDICATED ON THE PLANS) SHALL BE #1 OAK FINISHED NATURAL WITH (2) COATS OF POLYURETHANE. 12. ALL TRIMS SHALL BE 3" CASING AND 5" BASE (SATIN GRADE AND/OR PAINT

# **ELECTRICAL NOTES:**

GRADE) AS SELECTED BY OWNER.

ALL WORK PERFORMED TO CONFIRM TO ALL STATE, COUNTY, TOWN AND

2. CONTRACTOR SHALL BE LICENSED BY THE STATE AND TO PROVIDE ALL NECESSARY DESIGN WORK NECESSARY TO OBTAIN ALL PERMITS. HARDWIRE CONNECTIONS, FIXTURES, BULBS, PLATES, ETC.

3. ALL ELECTRICAL WORK IS THROUGH TO COMPLETE INSTALLATION INCLUDING ALL LABOR, EQUIPMENT, AND ALL MATERIALS FOR DISTRIBUTION SYSTEM AND PANEL BOARDS, WIRING, HARDWIRE CONNECTIONS, FIXTURES, BULBS, PLATES, ETC.

4. PROVIDE GROUND FAULT INTERRUPT OUTLETS WITHIN SIX FEET OF ANY WATER SOURCE, IN GARAGES, BASEMENTS AND AS INDICATED ON PLAN

. SMOKE DETECTORS TO BE INSTALLED TO MEET ALL UPDATED LOCAL AND STATE CODES. ALL ALARMS TO SOUND SIMULTANEOUSLY. 6. THE CONTRACTOR WILL PROVIDE ALL ELECTRICAL WORK NECESSARY TO

COMPLETE THE PROJECT, GENERAL CONTRACTOR TO FURNISH AND INSTALL

7. ALL BATHROOMS TO HAVE FAIL-SAFE CIRCUITS.

# PLUMBING NOTES:

ALL PLUMBING WORK SHALL BE BY A LICENSED PLUMBER.

2. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENT.

3. PLUMBING WORK INCLUDES ALL SUPPLY, WASTE, AND VENT PIPING PROVISIONS AND COMPLETE INSTALLATION FOR FIXTURE SHUTOFF VALVES FOR EACH FIXTURE GROUP. PROVISION AND COMPLETE INSTALLATION OF ANY REQUIRED HOT-WATER HEATER.

4. PLUMBING WORK INCLUDES ALL NATURAL GAS AND PROPANE PIPING. INCLUDING SERVICE CONNECTION TO ALL GAS APPLIANCES AND FURNACES. 5. WASTE PIPING SHALL BE APPROVED PVC, SUPPLY PIPING SHALL BE TYPE "L"

6. PROVIDE CLEANOUTS AS REQUIRED BY CODE, NOT MORE THAN 75'-O" APART,

7. ALL PLUMBING FIXTURES SHALL BE SELECTED BY OWNER, (REFER TO PLUMBING FIXTURE SCHEDULE).

# **HVAC/MECHANICAL NOTES:**

AT ALL TURNS OF 45 DEGREES OR MORE.

ALL HEATING, COOLING AND VENTILATION SHALL BE PERFORMED BY A QUALIFIED MECH. SUBCONTRACTOR ACCORDING TO ALL CODES. 2. WORK OF THE CONTRACTOR INCLUDES ALL WORK REQUIRED FOR A COMPLETELY INSTALLED FUNCTIONING, BALANCED AND TESTED HVAC

NECESSARY BY THE WORK OF THIS CONTRACT INCLUDING ALL RELOCATIONS, MODIFICATIONS, OF EXTENSIONS TO THE EXISTING SYSTEM, AS WELL AS NEW OR SUPPLEMENTAL SYSTEMS. . SUBCONTRACTOR SHALL CHECK AND VERIFY UNIT CAPACITIES AND DEMAND LOADS FOR BOTH NEW AND EXISTING UNITS. CONTRACTOR SHALL REVIEW WITH THE OWNER THE ENTIRE HVAC LAYOUT. INCLUDING ZONES AND

THERMOSTAT LOCATIONS, AND THE LOCATIONS OF ALL RADIATORS,

REGISTERS AND RETURNS. MARK LOCATIONS FOR REVIEW BY OWNER.

RADIATORS, REGISTERS DUCTWORK AND ANY OTHER ACCESSORIES MADE

SYSTEM. WORK OF THIS CONTRACT ALSO INCLUDES PROVIDING ALL HEATERS,

# 2021 INTERNATIONAL RESIDENTIAL CODE

THIS COMPREHENSIVE CODE COMPRISES ALL BUILDING, PLUMBING, MECHANICAL, FUEL GAS AND ELECTRICAL REQUIREMENTS FOR ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES UP TO THREE STORIES. FOR THE MOST CURRENT ADOPTIONS DETAILS GO TO INTERNATIONAL CODE ADOPTIONS THE IRC CONTAINS MANY IMPORTANT CHANGES SUCH AS: AN UPDATED SEISMIC MAP REFLECTS THE MOST CONSERVATIVE SEISMIC DESIGN CATEGORY (SDC) BASED ON ANY SOIL TYPE AND A NEW MAP REFLECTS LESS CONSERVATIVE SDCS WHEN SITE CLASS A, B OR D IS APPLICABLE. THE TOWNHOUSE SEPARATION PROVISIONS NOW INCLUDE OPTIONS FOR USING TWO SEPARATE FIRE-RESISTANT-RATED WALLS OR A COMMON WALL. AN EMERGENCY ESCAPE AND RESCUE OPENING IS NO LONGER REQUIRED IN BASEMENT SLEEPING ROOMS WHERE THE DWELLING HAS AN AUTOMATIC FIRE SPRINKLER SYSTEM AND THE BASEMENT HAS A SECOND MEANS OF EGRESS OR AN EMERGENCY ESCAPE OPENING. THE EXEMPTION FOR INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS HAS BEEN DELETED. NEW GIRDER/HEADER TABLES HAVE BEEN REVISED TO INCORPORATE THE USE OF #2 SOUTHERN PINE IN LIEU OF #1 SOUTHERN PINE. NEW TABLES ADDRESS ALTERNATIVE WOOD STUD HEIGHTS

# **ENERGY CALCULATIONS:**

PER THE UNIFORM CONSTRUCTION CODE N.J.A.C. 5.23-2.15 (f) i.vi (ENERGY CALCULATIONS) APPLICANTS ARE REQUIRED TO DEMONSTRATE COMPLIANCE WITH THE ENERGY SUBCODE & 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IEC) AS PART OF THE PERMIT APPLICATION PROCESS FOR NEWLY CONSTRUCTED BUILDING OR ADDITION. THE PROJECT LOCATED IN CLIMATE ZONE 4 COMPLIES WITH THE PERSCRIPTIVE PACKAGE OPTION No. 4 BULLETIN No. 11-1, AS FOLLOWS: WOOD FRAME CONSTRUCTION 2018 IEC CODE CHAPTER 4

AND THE REQUIRED NUMBER OF FULL HEIGHT STUDS IN HIGH WIND AREAS.

</=0.32 49 / 38\* CEILING (R) 38\*

\*402.2.1 ALLOWS R-38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES.

# SITE INFORMATION

APPLICABLE CODES INTERNATIONAL RESIDENTIAL CODE (N.J. EDITION) INTERNATIONAL MECHANICAL CODE NATIONAL STANDARD PLUMBING CODE NATIONAL ELECTRICAL CODE INTERNATIONAL FIRE CODE INTERNATIONAL ENERGY CONSERVATION CODE

	ZONE: CBD	BLOCK: 42	LOT: 1
ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA			6,408 S.F.
MINIMUM LOT FRONTAGE			105.001
MINIMUM FRONT SETBACK ACCESSORY		AL AL	2.001
MINIMUM SIDE SETBACK ACCESSORY	1	42 OK	5.00' / 8.00'
MINIMUM STREET SIDE SETBACK ACCESSORY	40	No	
MINIMUM REAR SETBACK ACCESSORY	ERCER		5.00' / 8.00'
MINIMUM REAR STREET SIDE SETBACK ACCESSORY	REFERE		
MAXIMUM BUILDING COVERAGE	E		2,681 S.F.
* MAXIMUM LOT COVERAGE			2,681 / 6,408 = .42%
MAXIMUM BUILDING HEIGHT ACCESSORY			46'-10"

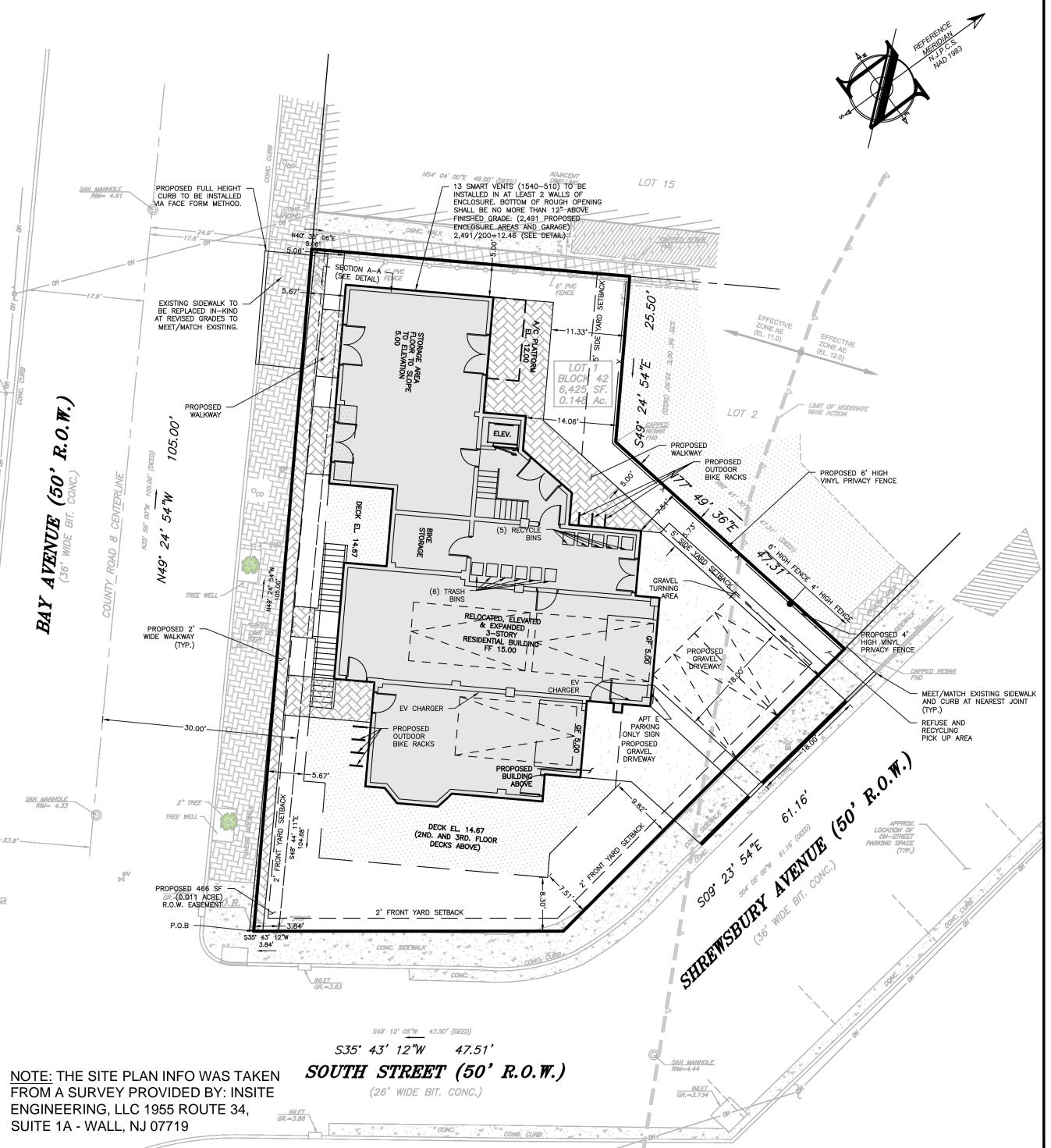
ZONING DATA

BUILDING STATISTICS CONSTRUCTION CLASS: 5A USE GROUP CLASSIFICATION: R3 RESIDENTIAL FOUNDATION PLAN & DETAILS ARE DRAWN IN ACCORDANCE WITH ASSCE24 110 MPH EXPOSURE 'B' WIND ZONE

BUILDING DATA

BOILDING DATA				
HABITABLE AREA	EXISTING AREA	NEW AREA	TOTAL AREA	
ROUND FLOOR	0	0	0	
FIRST FLOOR	1,200 SF	1,268 SF	2,468 SF	
SECOND FLOOR	900 SF	1,686 SF	2,586 SF	
HIRD FLOOR	900 SF	1,534 SF	2,434 SF	
TOTAL	3,000 SF	4,488 SF	7,488 SF	
HABITABLE AREA	EXISTING VOLUME	NEW VOLUME	TOTAL VOLUME	
ROUND FLOOR	0	22,419 CF	22,419 CF	
FIRST FLOOR	9,600 CF	11,412 CF	21,012 CF	
SECOND FLOOR	7,200 CF	13,488 CF	20,688 CF	
HIRD FLOOR	7,200 CF	12,272 CF	19,472 CF	
OTAL	24,000 CF	59,591 CF	83,591 CF	

# SITE PLAN



ROOF FRAMING PLANS A-103 FRONT AND REAR EXTERIOR **ELEVATIONS** 

A-101 FIRST AND SECOND FLOOR

FLOOR PLANS

DRAWING LIST

A-100 GROUND FLOOR DEMOLITION AND

CONSTRUCTION FLOOR PLAN

A-102 THIRD FLOOR CONSTRUCTION AND

**DEMOLITION AND CONSTRUCTION** 

T-100 TITLE SHEET

A-104 LEFT AND RIGHT SIDE EXTERIOR

A-105 FASTENING SCHEDULE AND DETAILS

**ELEVATIONS** 

PROGRESS SET ISSUED: 4/11/2025

SALVATORE LA FERLITA, R.A. Architectural Services Construction Management 115 University Drive Lincroft, N.J. 07738

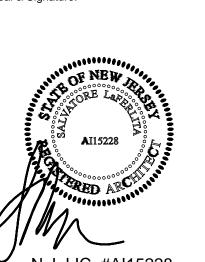
No. | DATE | REVISION No. | DATE | DESCRIPTION

732-741-5105

Sallaferlita@aol.com

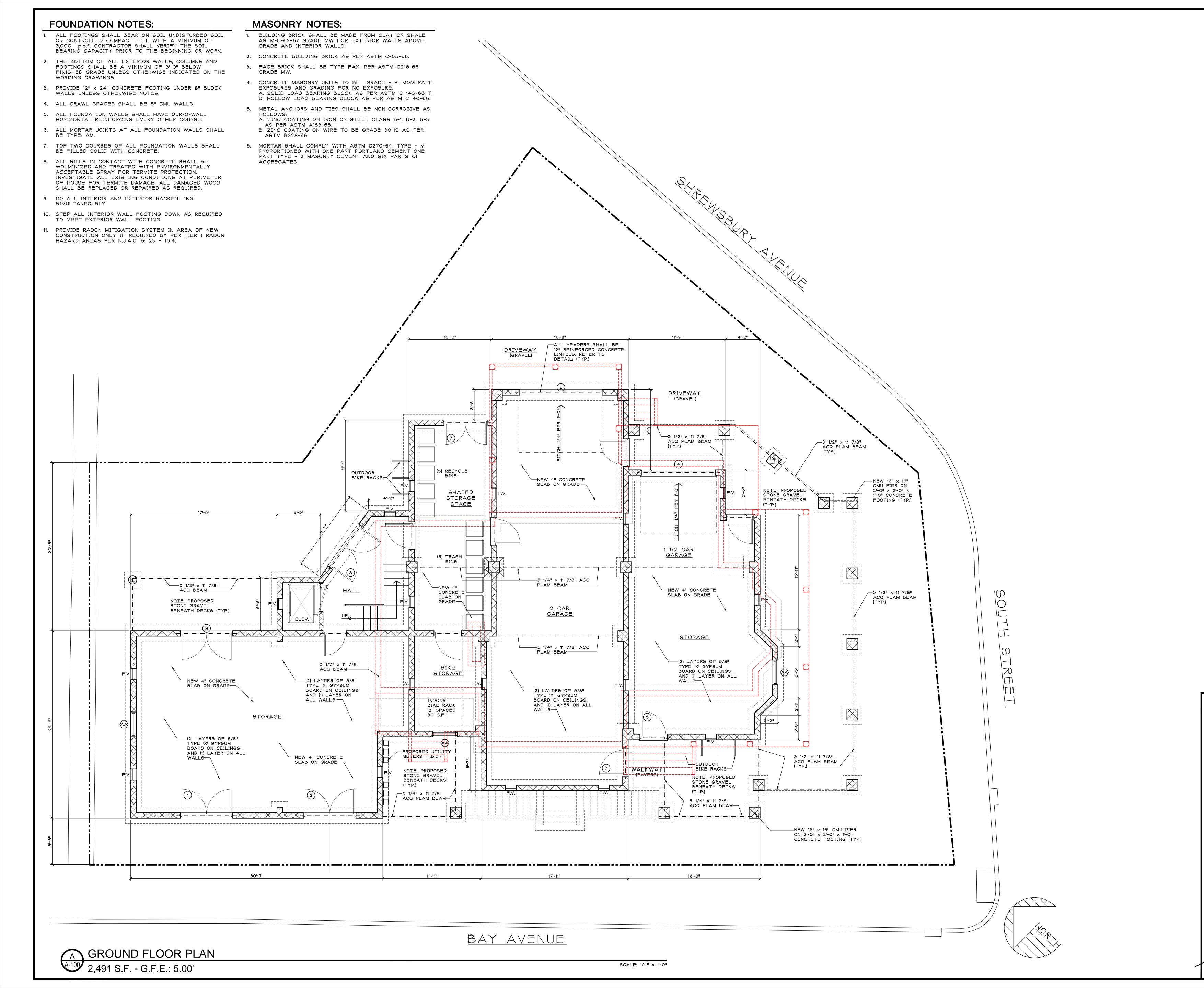
60 BAY AVE HIGHLAND LLC **MULTI- FAMILY RESIDENCE 60 BAY AVENUE** HIGHLANDS, NEW JERSEY

TITLE SHEET



T-100

MULTI - FAMILY RESIDENCE PROPOSED NEW FOUR STORY DWELLING



- SECTION NUMBER - DRAWING NUMBER - ELEVATION LETTER - DRAWING NUMBER ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED V.I.F. VERIFY IN FIELD PROGRESS SET ISSUED: 4/11/2025 SALVATORE LA FERLITA, R.A. Architectural Services Construction Management 115 University Drive Lincroft, N.J. 07738 732-741-5105 Sallaferlita@aol.com No. DATE DESCRIPTION No. DATE REVISION 60 BAY AVE HIGHLAND LLC **MULTI- FAMILY RESIDENCE** 60 BAY AVENUE HIGHLANDS, NEW JERSEY

GROUND FLOOR DEMOLITION

N.J. LIC. #AI15228

& CONSTRUCTION PLAN

A-100

Item 5.

LEGEND

EXISTING INTERIOR PARTITION

NEW 2" x 4" WOOD STUD INTERIOR

NEW 2" x 6" WOOD STUD EXTERIOR

NEW 12" CONCRETE BLOCK FOUNDATION WALL

DOOR NUMBER, REFER TO DOOR

NEW 'SMART VENT' AUTOMATIC

OR APPROVED EQUAL, 12" ABOVE

GRADE MAX (1) PER 200 S.F. MIN.

WINDOW NUMBER, REFER TO WINDOW

NON-POWERED, 8" x 16" FLOOD VENTS

WALL CONSTRUCTION

WALL CONSTRUCTION

EXISTING TO BE REMOVED

TO REMAIN

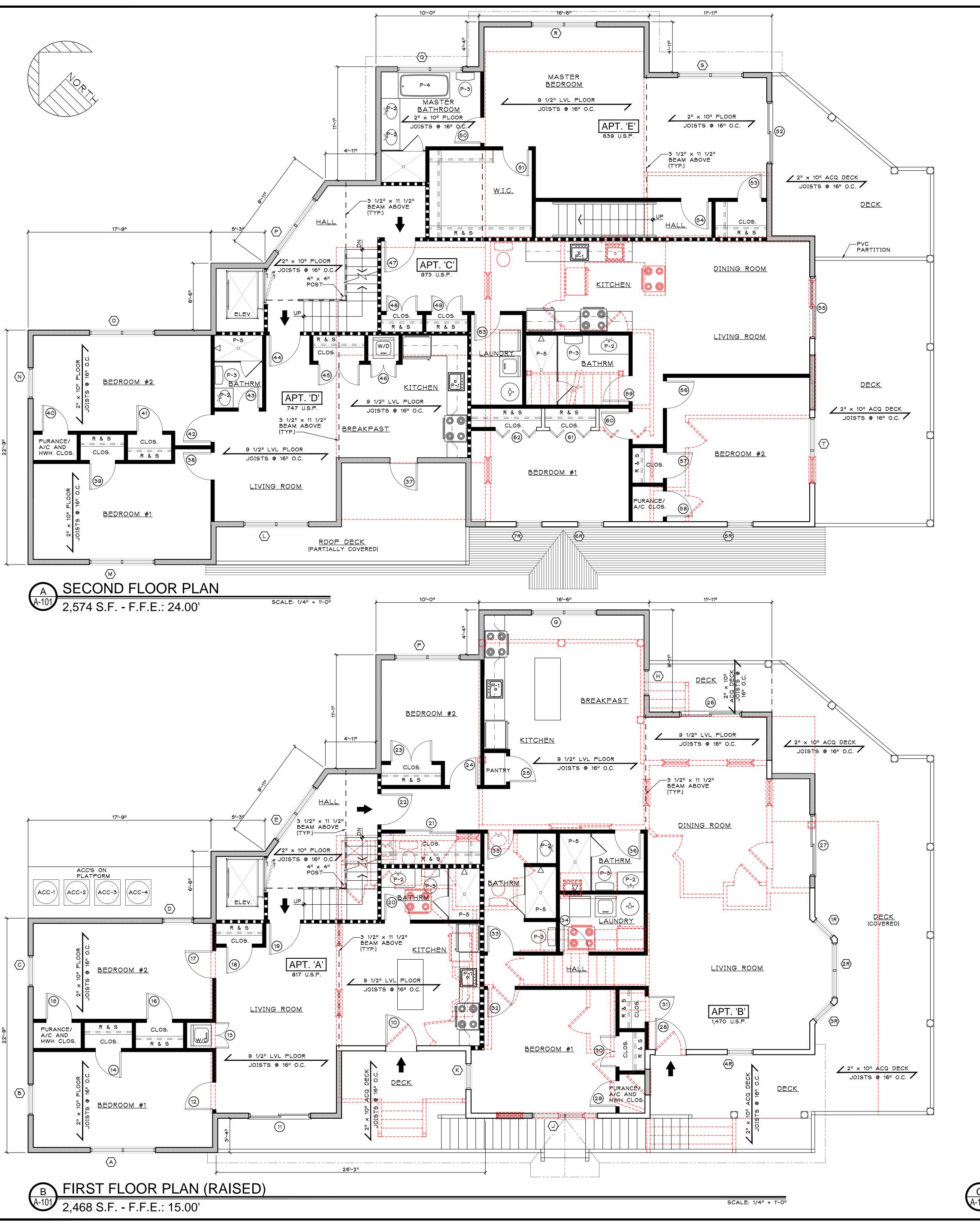
NEW TWO HOUR RATED WALL

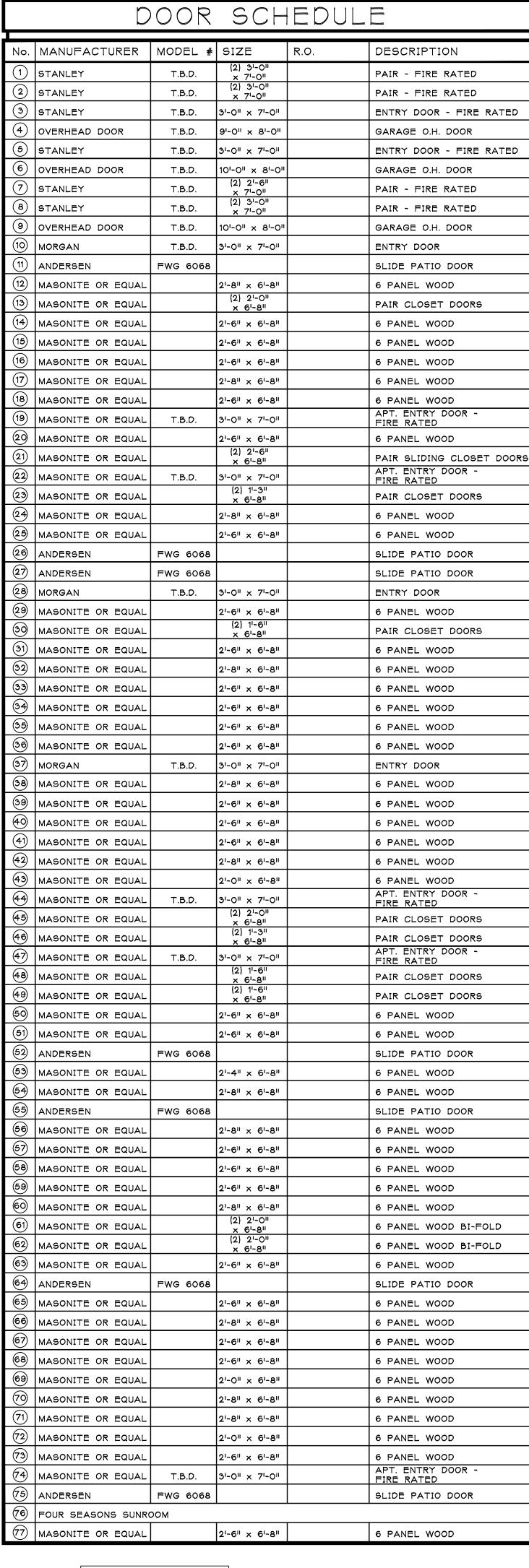
SCHEDULE

SCHEDULE

NEW HOSE BIBB

CONSTRUCTION





THIS DRAWING IS FOR PLANNING PURPOSES ONLY DO NOT USE FOR CONSTRUCTION  NOSSUME TO THE PROPERTY OF THE PROPERT	NITE OR EQUAL	21-611 × 61-811	6 PANEL WOOD
	PLANNING PURPOS DO NOT USE F	ES ONLY OR DIN 3" - 32 - 32	36/4"  30/2"  10"  10"  10"  10"  55/2" OUTSIDE  54" INSIDE  58" CLR  43"  34"  43"  34"  44"

SCALE: N.T.S.

© ELEVATOR FRAMING PLAN

o. M <i>A</i>	ANUFACTURER	MODEL #	R.O. (W × H)	DESCRIPTION
AN AN	DERSEN	AW 351		AWNING
AN	DERSEN	TW 3046-2		♦ DH COMBO
B) AN	DERSEN	TW 3046		DH
E) AN	DERSEN	TW 3046		DH
) AN	DERSEN	TW 3046		DH
AN	DERSEN	TW 3046-2		рн сомво
■ AN	DERSEN	TW 3046-2		♦ DH COMBO
AN	DERSEN	TW 30210		рн сомво
AN	DERSEN	TW 3046		DH
J) AN	DERSEN	TW 3046-2		♦ DH COMBO
AN	DERSEN	TW 3046		DH
- AN	DERSEN	TW 3046-2		рн сомво
AN	DERSEN	TW 3046-2		♦ DH COMBO
NA (v	DERSEN	TW 3046		DH
) AN	DERSEN	TW 3046-2		♦ DH COMBO
AN	DERSEN	TW 3446-2		рн сомво
AN	DERSEN	AW 31-2		AWNING COMBO - TEMPERED GLASS
R) AN	DERSEN	TW 3046-2		♦ DH COMBO
AN	DERSEN	TW 3046-2		рн сомво
AN	DERSEN	TW 3046-2		♦ DH COMBO
J) AN	DERSEN	TW 3046-2		рн сомво
Z) AN	DERSEN	TW 3046-2		♦ DH COMBO
V) AN	DERSEN	TW 3046-2		♦ DH COMBO
AN	DERSEN	TW 3446-2		рн сомво
r) AN	DERSEN	TW 3046		рн сомво
Z) AN	DERSEN	TW 30210		DH COMBO
R AN	DERSEN	VERIFY IN FIELD		
R AN	DERSEN	VERIFY IN FIELD		
R AN	DERSEN	VERIFY IN FIELD		
R AN	DERSEN	VERIFY IN FIELD		
2	DERSEN	VERIFY IN FIELD		
$\overline{}$	LUX	2246	25 1/2" × 49 1/2"	OPTIONAL SKYLIGHT
2 VEI	LUX	2246	25 1/2" × 49 1/2"	OPTIONAL SKYLIGHT
EMAR	KS	-		
	DOM WINDOWS MUS REMENTS.	T COMPLY WITH LO	OCAL CODES REGARDIN	NG FIRE EGRESS

NJIRC 2018 SECTION R312.2 WINDOW OPENING CONTROL DEVICES.

) ALL NEW WINDOWS SHALL BE 'ANDERSEN' 400 SERIES WITH THE WINDOW SCREEN SYSTEM REQUIREMENTS.

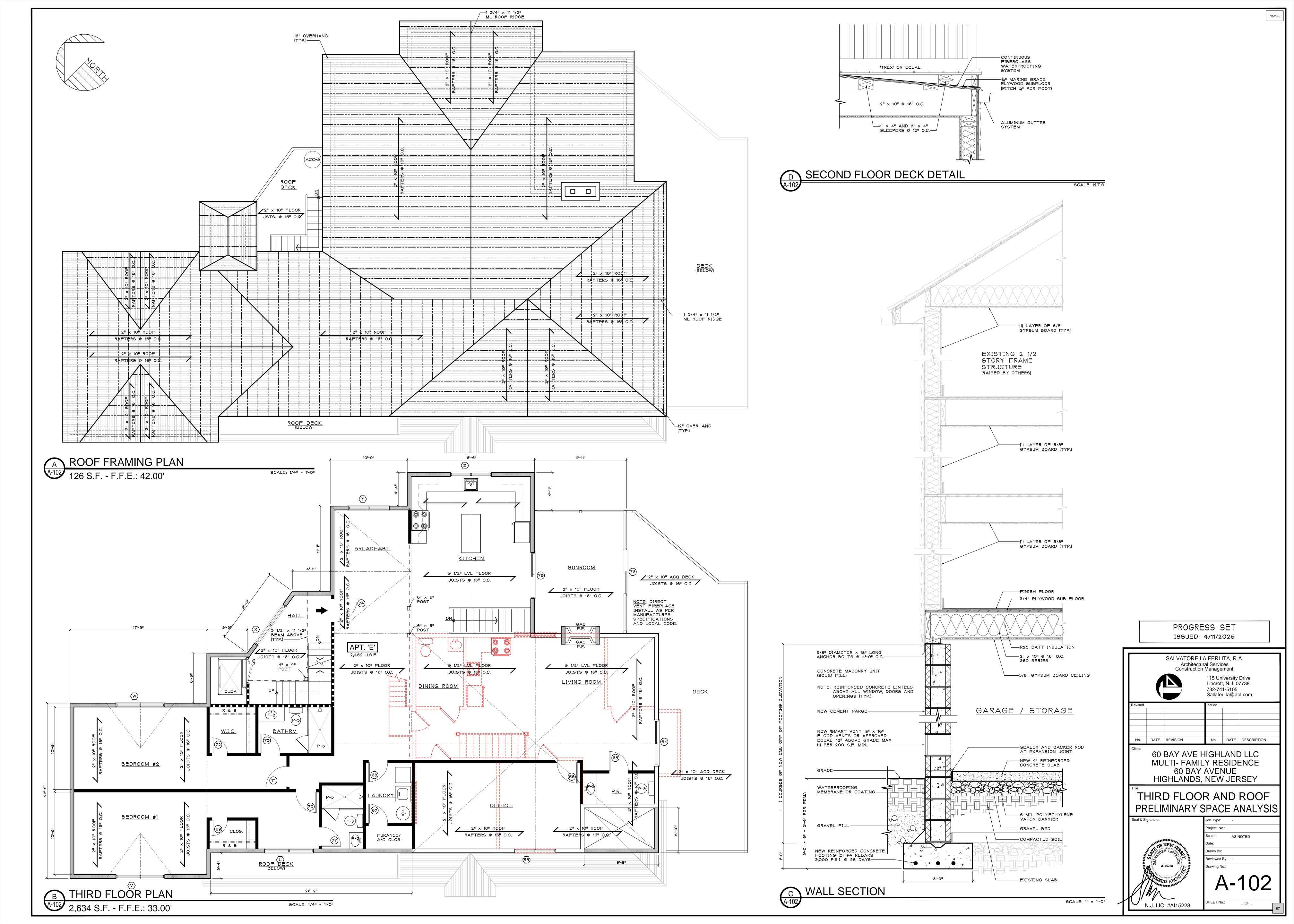
VERIFY WINDOW TRIM DETAILS PRIOR TO INSTALLATION.

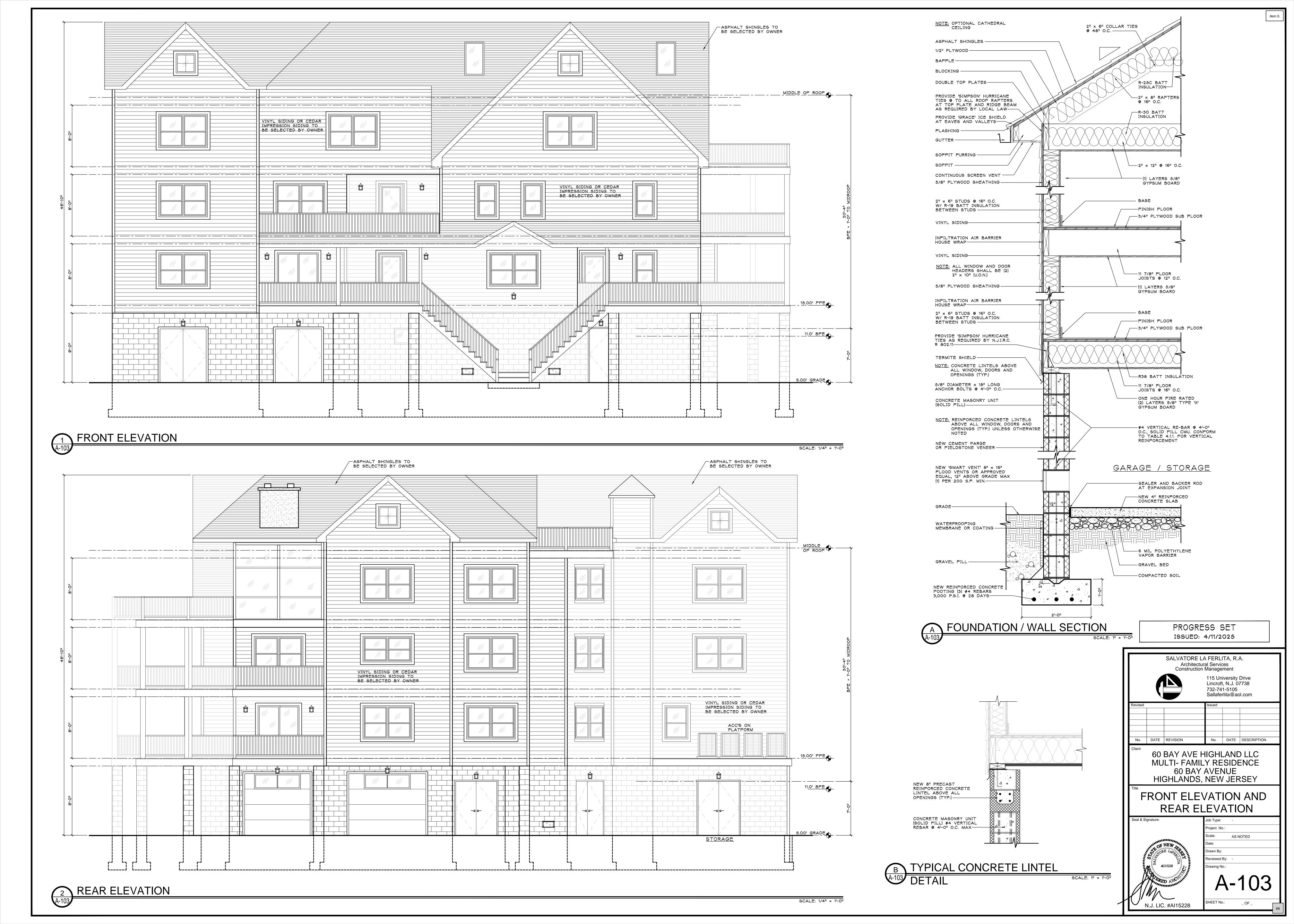
5) G.C. SHALL SUBMIT A DOOR AND HARDWARE SCHEDULE FOR OWNERS REVIEW AND APPROVAL PRIOR TO ORDERING AND MATERIAL.

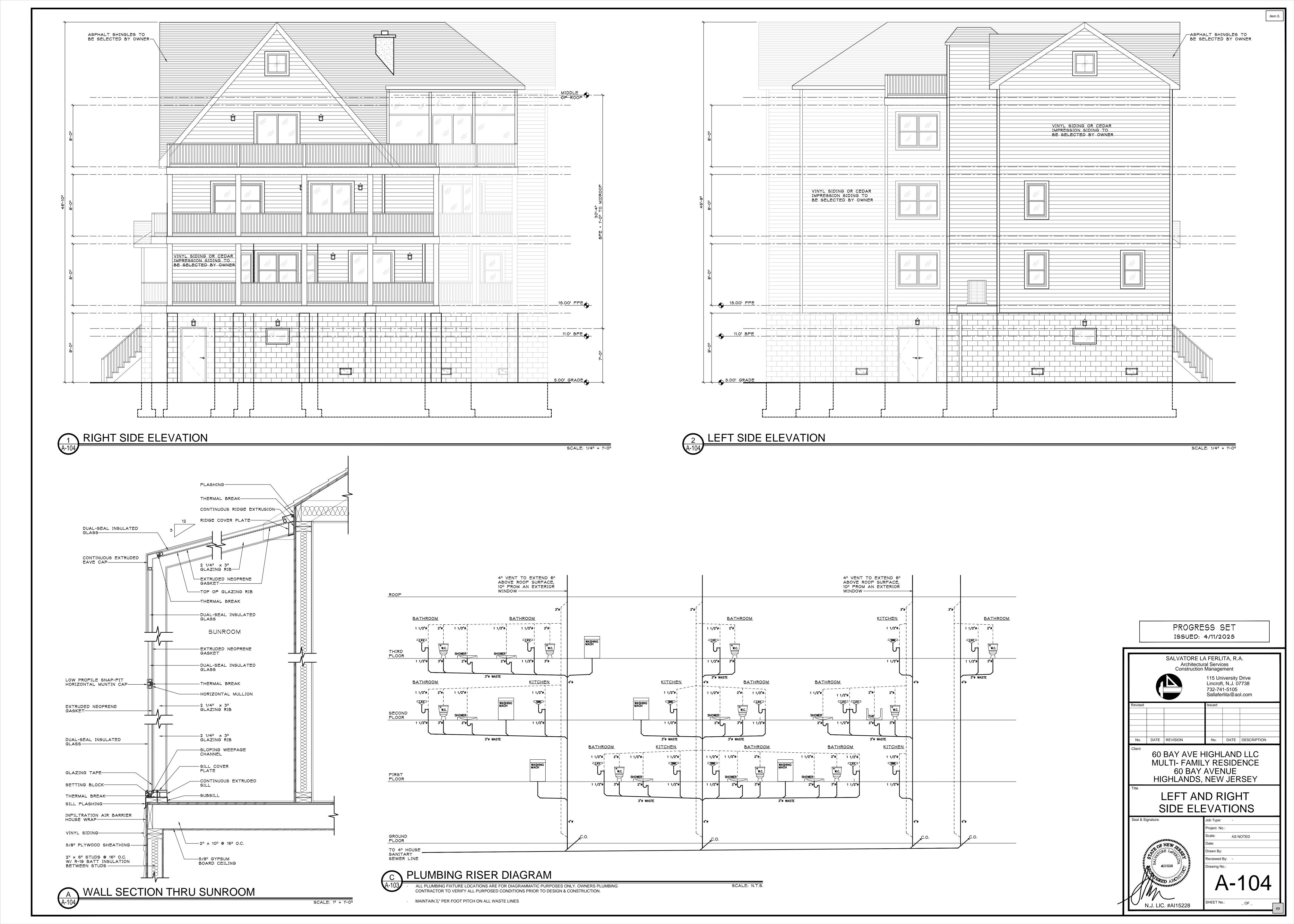
	PLUMBING SCHEDULE				
NO.	DESCRIPTION	MANUFACTURER	MODEL #	REMARKS	
P-1	KITCHEN SINK	T.B.D.		TO BE SELECTED BY OWNER	
P-2	LAVATORY SINK	T.B.D.		TO BE SELECTED BY OWNER	
P-3	WATER CLOSET	T.B.D.		TO BE SELECTED BY OWNER	
P-4	TUB	T.B.D.		TO BE SELECTED BY OWNER	
P-5	SHOWER	T.B.D.		TO BE SELECTED BY OWNER	
P-6	JACUZZI	T.B.D.		TO BE SELECTED BY OWNER	
P-7	BAR SINK	T.B.D.		TO BE SELECTED BY OWNER	

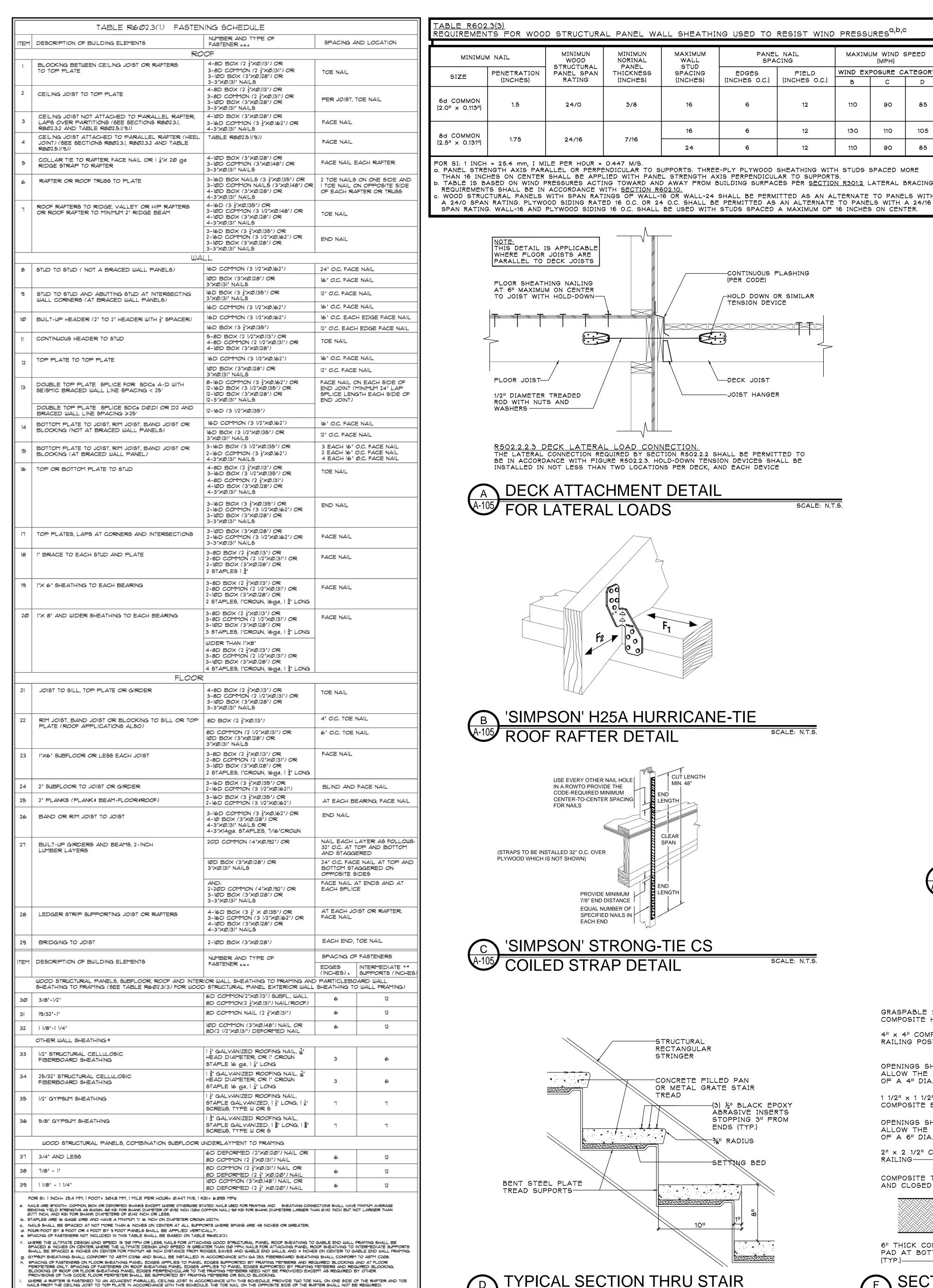
PROGRESS SET ISSUED: 4/11/2025



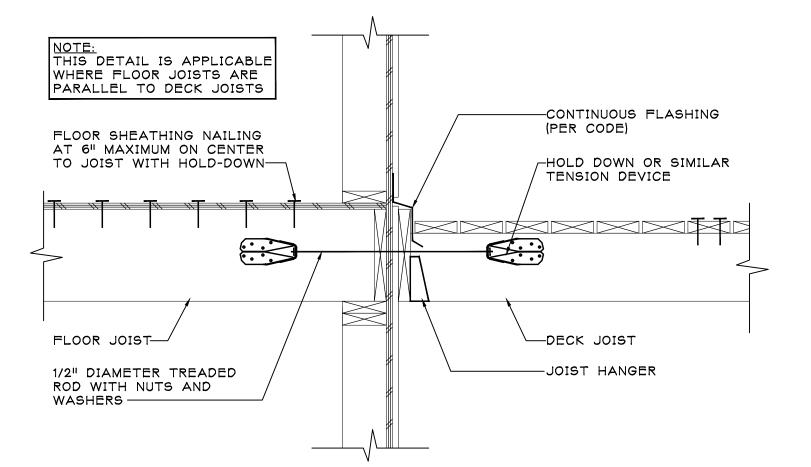






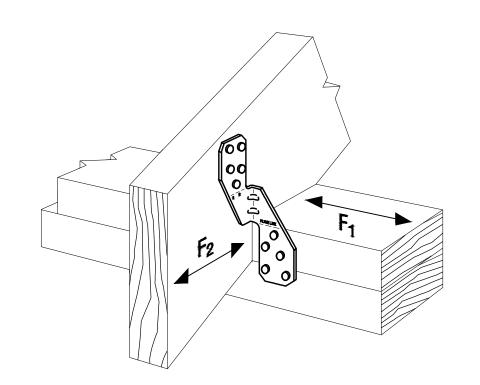


MINIMUM NAIL		MINIMUN WOOD	MINIMUN NORINAL PANEL	MAXIMUM WALL STUD	PANEL NAIL SPACING		MAXIMUM WIND SPEED (MPH)		
SIZE	PENETRATION (INCHES)	STRUCTURAL PANEL SPAN RATING	THICKNESS (INCHES)	SPACING (INCHES)	EDGES (INCHES O.C.)	FIELD (INCHES O.C.)	WIND EXPOSURE CATEGOR		
							В	С	D
6d COMMON (2.0" × 0.113")	1.5	24/0	3/8	16	6	12	110	90	85
8d COMMON (2.5" × 0.131")	1.75	24/16	7/16	16	6	12	130	110	105
				24	6	12	110	90	85

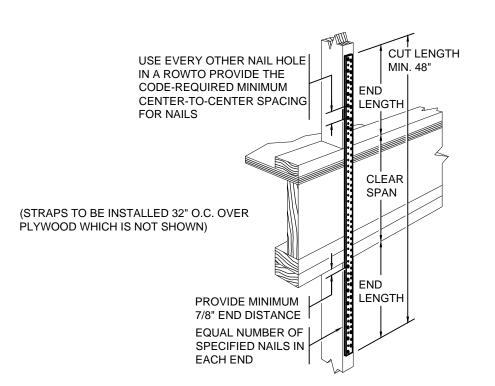


R502.2.2.3 DECK LATERAL LOAD CONNECTION.
THE LATERAL CONNECTION REQUIRED BY SECTION R502.2.2 SHALL BE PERMITTED TO BE IN ACCORDANCE WITH FIGURE R502.2.3. HOLD-DOWN TENSION DEVICES SHALL BE INSTALLED IN NOT LESS THAN TWO LOCATIONS PER DECK, AND EACH DEVICE

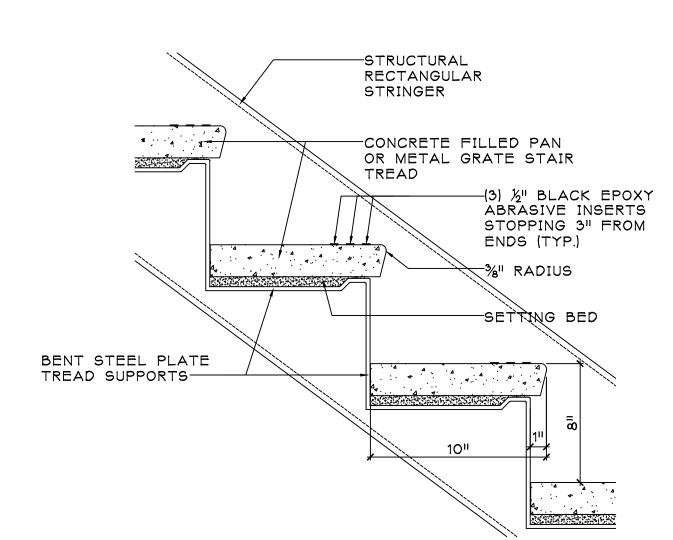
A DECK ATTACHMENT DETAIL



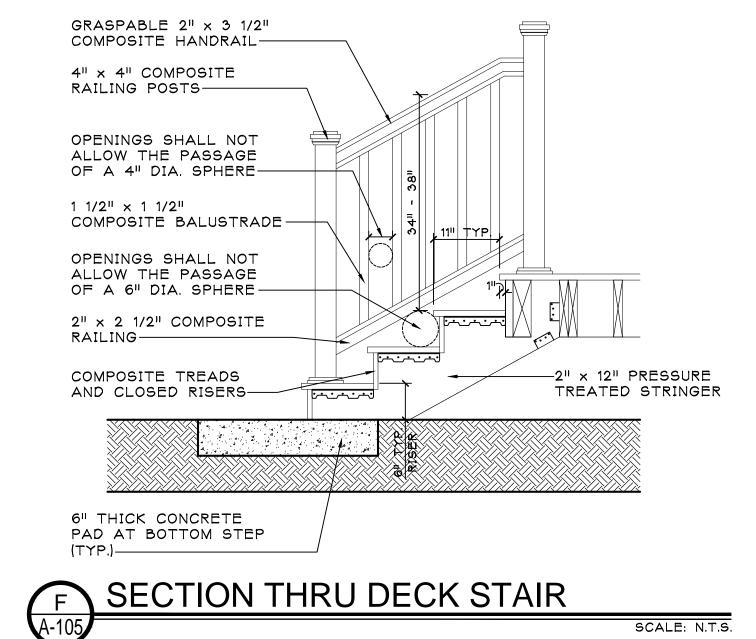
'SIMPSON' H25A HURRICANE-TIE

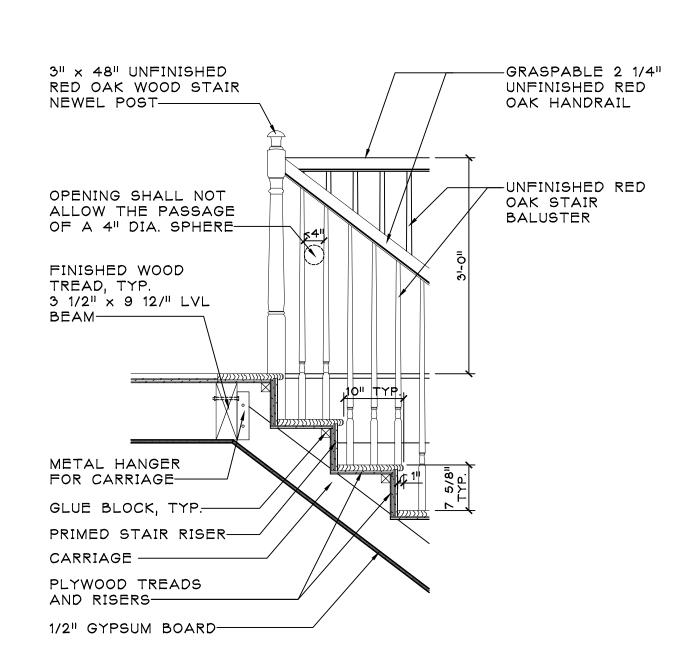


SCALE: N.T.S.



TYPICAL SECTION THRU STAIR





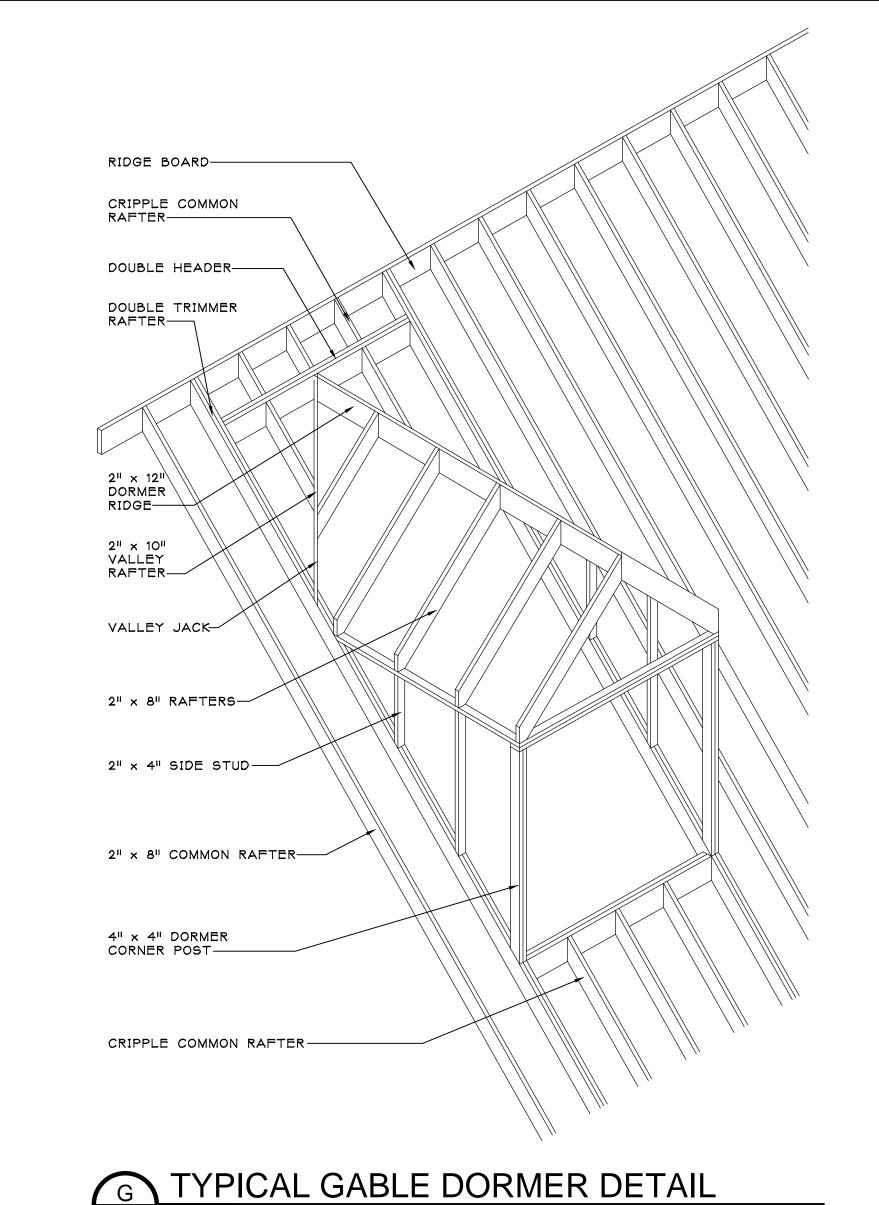
SECTION THRU INTERIOR STAIR

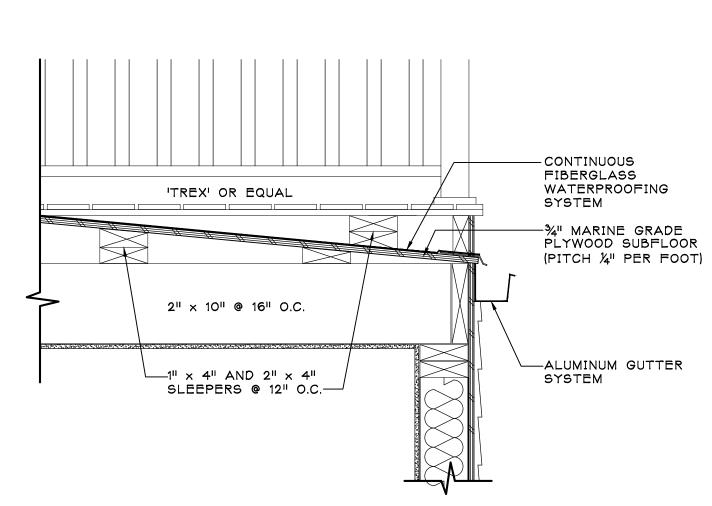
SCALE: N.T.S

-2" × 10" RIM

-HURRICANE TIES

AND STRAPS





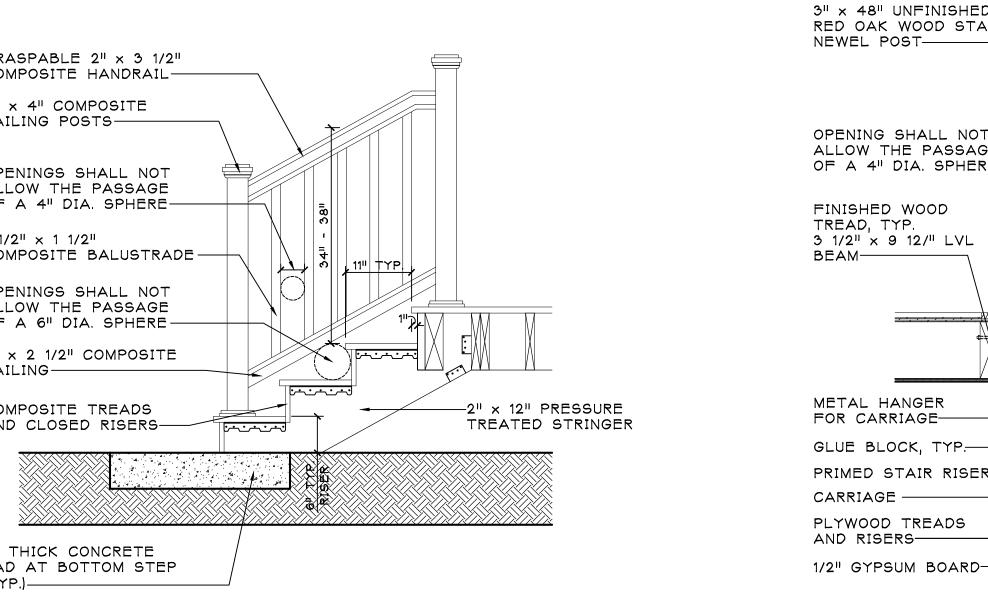
SECOND FLOOR DECK DETAIL

PROGRESS SET ISSUED: 4/11/2025

SCALE: N.T.S



N.J. LIC. #AI15228



--- VINYL COMPOSITE RAILING (36" MIN.)

JOISTS @ 16" O.C.

JOISTS @ 16" O.C.

(REFER TO PLAN)

5 1/2" x 5 1/2" POST

'KANT SAG' UPB POST BASE WITH BOLTS

14" DIAMETER CONCRETE PIERS-

2'-0" × 2'-0" × 1'-0" CONCRETE FOOTING——

· · · -

3 1/2" × 9 1/2" ACQ----

(REFER TO PLAN) ------

3 1/2" × 9 1/2"

ACQ BEAM ---

2" × 10" RIM

\_\_\_VINYL COMPOSITE RAILING (36" MIN.)

6" x 6" POST------

TREX OR EQUAL

TREX OR EQUAL

-2" x 12" SECURED

—BOLT THRU NEW HEADER JOIST REFER TO

COMPOSITE POST &

POST RAIL

RAILING -

WOOD DECK DETAILS

DETAIL 'B'

TO BUILDING

2" x 12" SECURED

TO BUILDING



May 21, 2025

I670 Whitehorse-Hamilton Square Rd. Hamilton, New Jersey 08690 609-586-II41 fax 609-586-II43 www.RobertsEngineeringGroup.com

Nancy Tran Land Use Board Secretary Borough of Highlands Land Use Board 151 Navesink Avenue Highlands, New Jersey 07732

Re: Amended Preliminary and Final Site Plan

60 Bay Ave Highlands, LLC

60 Bay Avenue Block 42, Lot 1

Borough of Highlands, Monmouth County, New Jersey

Our File No.: HLPB25-05

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations. section entitled, "Part III, Subdivision and Site Plan Review, Article VI, Application Procedure", and "Article VIII, Plat and Plan Details, section 21-58.E & F – Preliminary Site Plan and Final Site Plan" and the Borough of Highlands, NJ Central Business District Redevelopment Plan May 2018.

The residential building is situated on a 6,625 SF (0.147 Ac) lot in the Central Business District (CBD). It is located within the CDB Redevelopment Area Overlay 2 Zone - Gateway Parcels and is bounded by Bay Avenue, South Street, and Shrewsbury Avenue, Lot 15 in the same zone and residential Lot 7 within the R-2.02 District. The property is located within the AE Flood Hazard zone, partially in the Coastal A zone, and in the Limit of the Moderate Wave Action (LiMWa) delineation area.

The Applicant is seeking an amended approval.

The Applicant recently received approval to move and elevate an existing 3-story multi-family residential building (4 units), renovate, construct two extensions, decks, provide ground floor storage and garage parking and associated site improvements. The proposed multi-family residential building will consist of 5 units having 4-two-bedroom units and 1-three-bedroom unit, one-1 car garage, and one-2 car garage.

Roberts Engineering Group, LLC has received revised plans for an amendment to plans approved under Land Use Board Resolution 2024-16 Memorialization of Preliminary and Final Site Plan Approval, approved August 8, 2024, and memorialized September 12, 2024, regarding the above referenced project.

Prior submissions sought driveway access along Bay Avenue. The Applicant filed an application and sought approval from the Monmouth County Planning Board (MCPB), which has jurisdiction over Bay Avenue (Monmouth County Route No. 8). MCPB approval is required per the Resolution.

The current submission has eliminated the proposed and existing driveway access on Bay Avenue. The former garages have been replaced with storage units with access doors in lieu of garage doors. However, the Applicant remains subject to approval for a proposed 466 sf right-of-way dedication or easement along Bay Avenue from MCPB.

Amended Preliminary and Final Site Plan 60 Bay Avenue Block 42, Lot 1 Borough of Highlands, Monmouth County, New Jersey Our File No.: HLPB2025-05 Page 2 of 6

Proposed access to driveways and proposed utility connections will be only to South Street and Shrewsbury Ave.

The Applicant is required to provide testimony and demonstrate the proposed driveway functionality, visibility and safety to traffic on the public street, driveway parking layout, building repositioning, etc. The building and driveway use have created additional modifications that need to be addressed by the Applicant.

This review was prepared in accordance with the following documents:

- Copy of Land Use Board Application Preliminary and Final Major Site Plan and Revision/Resubmission of Prior Application, signed April 22, 2025, and received April 23, 2025. Noted as "Amended" per Land Use Board on May 5, 2025, email.
- Copy of an internal memorandum to Joe Barris, Director of Planning under the Board of County Commissioners of the County of Monmouth Department of Public Works & Engineering, HSP10591, dated March 24, 2025.
- 3. Copy of Development Application Action, File No. HSP10591 prepared by the Monmouth County Development Review Committee, date received March 7, 2024, and Action Date: March 24, 2025, Approval Status: Request information
- 4. Copy of plans entitled, "Preliminary & Final Major Site Plan for Proposed Multi-family Residence, Block 42, Lot 1, 60 Bay Avenue, Borough of Highlands, Monmouth County, New Jersey", prepared by InSite Engineering, LLC., dated February 5, 2024, and last revised April 10, 2025, as "Per County". The set consists of 20 sheets.
- 5. Copy of Architectural plans entitled, "60 Bay Ave Highland LLC, Multi-family Residence, 60 Bay Avenue, Highlands, New Jersey, prepared by Salvatore La Ferlita, R.A. issued April 11, 2025, consisting of 7 sheets.
- 6. Copy of the Borough of Highlands, County of Monmouth, Land Use Land Use Board Resolution 2024-16 Memorialization of Preliminary and Final Site Plan Approval. Approved: August 8, 2024, and Memorialized: September 12, 2024.
- Copy of Rider, 60 Bay Ave Highlands LLC, 60 Bay Ave, Block 42, Lot 1, Highlands Land Use Board

The following comments are offered:

### I. COMMENTS - DRIVEWAY ACCESS, PARKING AND BUILDING REPOSITIONED

1. The proposed driveways along Bay Avenue have been removed from this application. The garage doors have been replaced with swing doors. Provide the overall opening dimension of the double doors and confirm no vehicle access is possible.

The proposed 0.011 Ac right-of-way dedication or easement along the frontage of Bay Avenue remains for this application.

The Applicant is to obtain final approval for the right-of-way dedication or easement and removal of the existing and proposed driveway access to Bay Avenue from the Monmouth County Planning Board.

Amended Preliminary and Final Site Plan 60 Bay Avenue Block 42, Lot 1 Borough of Highlands, Monmouth County, New Jersey Our File No.: HLPB2025-05 Page 3 of 6

2. The Applicant's modified site improvements have increased the impervious coverage to 75.8%. The amended plans dated April 1, 2024, and the Resolution compliance plans dated February 20, 2025, consisted of 74.6% and 74.3%, respectively.

The proposed impervious coverage is below the allowable 80%.

3. The building coverage of 52.7% had no change in comparison to the amended plans but was reduced from 54.5% from that of the Resolution compliance plans.

The proposed building coverage is below the allowable 80%.

4. The approved plan had the relocation of the existing/proposed dwelling to be 5.00 ft from the Bay Avenue right-of-way. The dwelling has been repositioned to 5.67 ft from the right-of-way.

Consequently, to the additional offset of 0.67 ft, the driveways along Shrewsbury Avenue may no longer meet the minimum 18 ft length for residential driveways (garage face to the right-ofway). Vehicles are not permitted to overhang the sidewalk.

Please confirm whether the required minimum 18 ft. length has been maintained for each driveway.

5. Eleven parking spaces are required per RSIS bedroom count. The EV charger counts as one space, leaving 10 required parking spaces.

Please indicate on the plan the individual number of proposed parking spaces dedicated to each unit, based on the bedrooms, for each garage and driveway. Indicate the existing off-street parking as noted in the parking calculation table.

Please dimension (length and width) the driveways.

- 6. It appears that sections of the existing sidewalk, apron and curbing are to be replaced. Please clearly indicate the areas and types of replacement.
- 7. Provide the apron flares on the plans.
- 8. The Depressed Curb, Driveway Apron & Sidewalk construction detail indicates a 6 ft. wide sidewalk and apron. The plan appears to have a 5 ft. wide sidewalk. Please update the detail accordingly.

Dimension the concrete sidewalk along Shrewsbury Avenue on the plan.

Provide an apron section detail.

Confirm that the proposed *rolled* concrete curb and gutter is replacing the same type of existing curb and gutter on Shrewsbury. Provide note.

9. One of the parking spaces shown on the east side of Shrewsbury Avenue is not a parking space but a yellow striped no parking area designating driveway access to 18 Shrewsbury Avenue. Please indicate on the plan.

The existing yellow-stripped no parking area along the west side of Shrewsbury Avenue appears to be in the wrong location and may impact turning maneuvers. Please correct.

Amended Preliminary and Final Site Plan 60 Bay Avenue Block 42, Lot 1 Borough of Highlands, Monmouth County, New Jersey Our File No.: HLPB2025-05 Page 4 of 6

Indicate the no parking area (painted curb) along the west side of Shrewsbury Avenue.

Provide parking and no parking spaces along both sides of Bay Avenue. Show the locations of the proposed parking to be used for this site.

10. The Applicant has provided six (6) circulation plans indicating the existing parking spaces along Shrewsbury Avenue. The circulation plans demonstrate vehicles maneuvering Shrewsbury Avenue by accessing the driveways and garages. These maneuvers are of great concern and appear so difficult as to be questionable.

We question the size and location of the driveways. The turning templates provided for maneuvers in and out of the garages require turns, starts and stops. Some of the turning templates indicate that vehicles must drive into opposing traffic to be able to enter the driveways and garages.

In addition, garages on Shrewsbury Avenue appear to show that cars cannot enter and exit without sideswiping the door opening. When a car is parked in the space near the rear property line, the vehicle entering and exiting the garage on to Shrewsbury Avenue seems to sideswipe the parked car. Please explain.

The proposed dwelling has a small projection into the driveway area. The vehicle entering the garage does not appear to sufficiently clear the projection. Additionally, the sample 19 ft long vehicle in the turning maneuvers and parked in the driveway will not clear the sidewalk.

The Applicant is to provide specific testimony and presentation to clearly show how all driveways will be accessed from Shrewsbury Avenue, and how all garages will be entered, without driving into opposing traffic. The applicant must provide details of how these driveways will allow for proper and safe operation for entering and exiting.

#### II. COMMENTS - OTHER

- The building heights are different between the site plan and the architectural plans. Please confirm and update the schematic, zoning compliance chart and the architectural plans accordingly.
- 2. The proposed building has been elevated from the approved FF 14.00 (shown on the plans for the meeting) to FF 15.00.

Please provide testimony for the purpose of elevating the building an additional foot.

3. The building height needs to be updated based on the raised FF elevation.

The building height is taken from the BFE + 1 ft. to the middle of the roof.

If the building was raised one foot, the middle of the roof's elevation would also be an additional one foot in elevation.

Please confirm and update the zoning compliance chart accordingly.

4. A proposed sanitary sewer lateral extends from the rear of the proposed dwelling and connects to an existing sanitary sewer main in Shrewsbury Avenue.

Amended Preliminary and Final Site Plan 60 Bay Avenue Block 42, Lot 1 Borough of Highlands, Monmouth County, New Jersey Our File No.: HLPB2025-05 Page 5 of 6

More information is needed. Provide the location of the existing sanitary sewer main including up and downstream manholes, pipe material, size, rim elevations and inverts. Provide proposed invert connection.

Indicate all utility crossings (storm, sanitary and water) with elevations on the plan. Maintain regulated clearances.

The sanitary sewer main is located approximately within the center of Shrewsbury Avenue. The sanitary lateral appears to not extend to the approximate location. Please confirm. Update the proposed lateral information. Update area of restoration.

The cleanouts are located within the proposed gravel driveway and subjected to vehicle load. The protection cap shall be Campbell pattern #4153 or approved equal.

- 5. Installation of proposed utilities will require trenching within South Street and Shrewsbury Avenue. Indicate pavement milling and paving to be the full width of South Street and Shrewsbury Avenue and 25-ft beyond the outer limits of the trenches longitudinally. Restripe the roadway in the area disturbed and repaved. The Applicant is responsible for the cost of pavement milling and paving as well as restriping.
- 6. Coordinate the water service size between the plan and the detail.
- 7. The lighting plan needs to be updated based on the additional 1 foot in FF elevation which may affect the mounting height of the proposed lighting units placed along the walls of the building relative to the ground.

The Applicant is required to maintain:

- a. § 21-65(11)(E) Minimum Lighting Level. 0.3 fc and average of 0.5 fc
- b. § 21-65(11)(F) Maximum Lighting Level at property line. 0.3 fc
- c. § 21-65(11)(D) Maximum Mounting Height at 15 ft.
- 8. The proposed roof leader system will be connected to an existing inlet on Shrewsbury Ave and no sidewalk is shown to be disturbed and replaced.

Please provide a plan note on the Grading, Drainage & Utility Plan as to how the system will be connected and that the sidewalk shall not be disturbed. Please confirm that a 6-inch header pipe will be adequately sized for all gutters to connect to.

9. Provide the material type and size of the sanitary lateral on the "Standard Lateral Connection with Cleanout..." detail.

On same detail, there is a reference to a detail entitled, "Bedding and Initial Backfill Detail for PVC Sewer Pipe", however it is missing on the sheet. There is a Pipe Bedding Detail. Please update the detail.

10. The Applicant shall comply with any applicable affordable housing requirements.

According to XI.E General Administrative Requirements Affordable Housing Provisions, the mandatory set-aside requirements in Section 26-2 of the Borough of Highlands Affordable

Amended Preliminary and Final Site Plan 60 Bay Avenue Block 42, Lot 1 Borough of Highlands, Monmouth County, New Jersey Our File No.: HLPB2025-05 Page 6 of 6

Housing Ordinance apply to any multifamily residential development of five (5) dwelling units or more, including the residential portion of a mixed-use project The Applicant has agreed in a previous submission.

#### V. APPROVALS

Approval of this application will be conditioned upon the Applicant obtaining or providing approved documents for the following:

- 1. Monmouth County Planning Board. Pending
- 2. Freehold Soil Conservation Service Received certification
- 3. NJDEP FHA
- 4. Coastal Area Facilities Review Act (CAFRA) Zone, if required per NJDEP.

Should you have any questions, please do not hesitate to contact me.

Very truly yours,

Carmela Roberts, PE, CME, CPWM Land Use Board Engineer

Carmt Roberts

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)
Dustin F. Glass, Esq., Land Use Board Attorney (dglass@semerarolaw.com)
Courtney Lopez, Zoning Officer (clopez@highlandsborough.org)
Donna M. Jennings, Esq., Applicant's Attorney (djennings@wilentz.com)
Douglas D. Clelland, P.E., Applicant's Engineer (doug@insiteeng.net)
Salvatore LaFerlita, R.A., A.I.A. Applicant's Architect (sallaferlita@aol.com)
Cameron Corini, P.E., C.M.E., C.P.W.M., Roberts Engineering Group, LLC
GS Bachman, E.I.T., Roberts Engineering Group, LLC

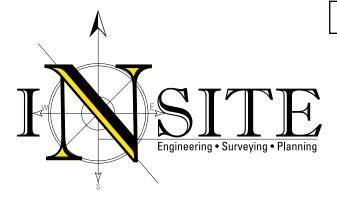
Land Use Board
Borough of Atlantic Highlands

Attn: Nancy Tran

Land Use Board Secretary

151 Navesink Avenue

Highlands, New Jersey 07732



May 30, 2025

Via Email

RE: 60 BAY AVE HIGHLANDS, LLC

Response Letter (HLPB2024-02)

Block 42, Lot 1; 60 Bay Avenue

Borough of Highlands, Monmouth County, New Jersey

Ms. Tran:

We are submitting this letter on behalf of the Owner/Applicant in response to Roberts Engineering Group LLC's Review Letter dated May 21, 2025. Each comment and response are numbered in accordance with the aforementioned review memo. *Italicized text is taken from the review memo for your ease of reference;* non-italicized text represents our responses.

Review Letter, dated May 21, 2025

Section I. Comments – Driveway Access, Parking and Building Repositioned

1. The proposed driveways along Bay Avenue have been removed from this application. The garage doors have been replaced with swing doors. Provide the overall opening dimension of the double doors and confirm no vehicle access is possible.

The proposed 0.011 Ac right-of-way dedication or easement along the frontage of Bay Avenue remains for this application.

The Applicant is to obtain final approval for the right-of-way dedication or easement and removal of the existing and proposed driveway access to Bay Avenue from the Monmouth County Planning Board.

The project architect will provide testimony accordingly. The doors will not be wide enough for vehicle access. We have submitted the revised plans to the Monmouth County Planning Board, and will provide their approval upon receipt.

2. The Applicant's modified site improvements have increased the impervious coverage to 75.8%. The amended plans dated April 1, 2024, and the Resolution compliance plans dated February 20, 2025, consisted of 74.6% and 74.3%, respectively.

The proposed impervious coverage is below the allowable 80%.

Informational.

#### **InSite Engineering, LLC**

Page 2 of 6 May 30, 2025 Block 42, Lot 1 Item 5.

3. The building coverage of 52.7% had no change in comparison to the amended plans but was reduced from 54.5% from that of the Resolution compliance plans

The proposed building coverage is below the allowable 80%.

#### Informational.

4. The approved plan had the relocation of the existing/proposed dwelling to be 5.00 ft from the Bay Avenue right-of-way.

The dwelling has been repositioned to 5.67 ft from the right-of-way. Consequently, to the additional offset of 0.67 ft, the driveways along Shrewsbury Avenue may no longer meet the minimum 18 ft length for residential driveways (garage face to the right-of-way). Vehicles are not permitted to overhang the sidewalk.

Please confirm whether the required minimum 18 ft. length has been maintained for each driveway.

The repositioning of the dwelling was necessitated by the County to avoid any structures, including footings, from encroaching in the requested dedication. Testimony will be provided regarding the lengths of the proposed driveways accordingly.

5. Eleven parking spaces are required per RSIS bedroom count. The EV charger counts as one space, leaving 10 required parking spaces.

Please indicate on the plan the individual number of proposed parking spaces dedicated to each unit, based on the bedrooms, for each garage and driveway. Indicate the existing off-street parking as noted in the parking calculation table.

Please dimension (length and width) the driveways.

The plans will be revised accordingly, and testimony provided to clarify which unit each parking space is for. An exhibit along with testimony will be provided to indicate the existing off-street parking. The dimensions of the driveway will be revised accordingly.

6. It appears that sections of the existing sidewalk, apron and curbing are to be replaced. Please clearly indicate the areas and types of replacement.

The plans will be revised accordingly.

7. Provide the apron flares on the plans.

The plans will be revised accordingly.

8. The Depressed Curb, Driveway Apron & Sidewalk construction detail indicates a 6 ft. wide sidewalk and apron. The plan appears to have a 5 ft. wide sidewalk. Please update the detail accordingly.

Page 3 of 6 May 30, 2025 Block 42, Lot 1 Item 5.

Dimension the concrete sidewalk along Shrewsbury Avenue on the plan.

Provide an apron section detail.

Confirm that the proposed rolled concrete curb and gutter is replacing the same type of existing curb and gutter on Shrewsbury. Provide note.

#### The plans will be revised accordingly.

9. One of the parking spaces shown on the east side of Shrewsbury Avenue is not a parking space but a yellow striped no parking area designating driveway access to 18 Shrewsbury Avenue. Please indicate on the plan.

The existing yellow-stripped no parking area along the west side of Shrewsbury Avenue appears to be in the wrong location and may impact turning maneuvers. Please correct

Indicate the no parking area (painted curb) along the west side of Shrewsbury Avenue.

Provide parking and no parking spaces along both sides of Bay Avenue. Show the locations of the proposed parking to be used for this site.

#### The plans will be revised accordingly. The exhibits presented at the hearing will also reflect these items.

10. The Applicant has provided six (6) circulation plans indicating the existing parking spaces along Shrewsbury Avenue. The circulation plans demonstrate vehicles maneuvering Shrewsbury Avenue by accessing the driveways and garages. These maneuvers are of great concern and appear so difficult as to be questionable.

We question the size and location of the driveways. The turning templates provided for maneuvers in and out of the garages require turns, starts and stops. Some of the turning templates indicate that vehicles must drive into opposing traffic to be able to enter the driveways and garages.

In addition, garages on Shrewsbury Avenue appear to show that cars cannot enter and exit without sideswiping the door opening. When a car is parked in the space near the rear property line, the vehicle entering and exiting the garage on to Shrewsbury Avenue seems to sideswipe the parked car. Please explain.

The proposed dwelling has a small projection into the driveway area. The vehicle entering the garage does not appear to sufficiently clear the projection. Additionally, the sample 19 ft long vehicle in the turning maneuvers and parked in the driveway will not clear the sidewalk.

The Applicant is to provide specific testimony and presentation to clearly show how all driveways will be accessed from Shrewsbury Avenue, and how all garages will be entered, without driving into opposing traffic. The applicant must provide details of how these driveways will allow for proper and safe operation for entering and exiting.

Testimony and exhibits will be presented accordingly.

#### **InSite Engineering, LLC**

May 30, 2025

Block 42, Lot 1

Borough of Highlands 60 Bay Avenue, LLC Land Use Board (HLPB 2024-02)

#### Section II. Comments - Other

1. The building heights are different between the site plan and the architectural plans. Please confirm and update the schematic, zoning compliance chart and the architectural plans accordingly.

#### The building height on the site plans will be updated to match the architectural plans accordingly.

2. The proposed building has been elevated from the approved FF 14.00 (shown on the plans for the meeting) to FF 15.00.

Please provide testimony for the purpose of elevating the building an additional foot.

#### Testimony will be provided accordingly.

3. The building height needs to be updated based on the raised FF elevation.

The building height is taken from the BFE + 1 ft. to the middle of the roof.

If the building was raised one foot, the middle of the roof's elevation would also be an additional one foot in elevation.

Please confirm and update the zoning compliance chart accordingly.

### The site plans will be revised to add the additional foot to the building height accordingly. The proposed building will still comply with the required building height for the zone.

4. A proposed sanitary sewer lateral extends from the rear of the proposed dwelling and connects to an existing sanitary sewer main in Shrewsbury Avenue.

More information is needed. Provide the location of the existing sanitary sewer main including up and downstream manholes, pipe material, size, rim elevations and inverts. Provide proposed invert connection.

Indicate all utility crossings (storm, sanitary and water) with elevations on the plan. Maintain regulated clearances.

The sanitary sewer main is located approximately within the center of Shrewsbury Avenue. The sanitary lateral appears to not extend to the approximate location. Please confirm. Update the proposed lateral information. Update area of restoration.

The cleanouts are located within the proposed gravel driveway and subjected to vehicle load. The protection cap shall be Campbell pattern #4153 or approved equal.

#### The plans will be revised accordingly.

5. Installation of proposed utilities will require trenching within South Street and Shrewsbury Avenue. Indicate pavement milling and paving to be the full width of South Street and

#### **InSite Engineering. LLC**

Page 5 of 6 May 30, 2025 Block 42, Lot 1 Item 5.

Shrewsbury Avenue and 25-ft beyond the outer limits of the trenches longitudinally. Restripe the roadway in the area disturbed and repaved. The Applicant is responsible for the cost of pavement milling and paving as well as restriping.

#### The plans will be revised accordingly.

6. Coordinate the water service size between the plan and the detail.

#### The plans will be revised accordingly.

7. The lighting plan needs to be updated based on the additional 1 foot in FF elevation which may affect the mounting height of the proposed lighting units placed along the walls of the building relative to the ground.

The Applicant is required to maintain:

- a. § 21-65(11)(E) Minimum Lighting Level. 0.3 fc and average of 0.5 fc
- b. § 21-65(11)(F) Maximum Lighting Level at property line. 0.3 fc
- c. § 21-65(11)(D) Maximum Mounting Height at 15 ft.

#### The plans will be revised as needed and testimony will be provided accordingly.

8. The proposed roof leader system will be connected to an existing inlet on Shrewsbury Ave and no sidewalk is shown to be disturbed and replaced.

Please provide a plan note on the Grading, Drainage & Utility Plan as to how the system will be connected and that the sidewalk shall not be disturbed. Please confirm that a 6-inch header pipe will be adequately sized for all gutters to connect to.

#### The plans will be revised accordingly.

9. Provide the material type and size of the sanitary lateral on the "Standard Lateral Connection with Cleanout..." detail.

On same detail, there is a reference to a detail entitled, "Bedding and Initial Backfill Detail for PVC Sewer Pipe", however it is missing on the sheet. There is a Pipe Bedding Detail. Please update the detail.

#### The plans will be revised accordingly.

10. The Applicant shall comply with any applicable affordable housing requirements.

According to XI.E General Administrative Requirements Affordable Housing Provisions, the mandatory set-aside requirements in Section 26-2 of the Borough of Highlands Affordable Housing Ordinance apply to any multifamily residential development of five (5) dwelling units or more, including the residential portion of a mixed-use project The Applicant has agreed in a previous submission.

#### Testimony will be provided accordingly.

#### **InSite Engineering. LLC**

Borough of Highlands 60 Bay Avenue, LLC Land Use Board (HLPB 2024-02) Page 6 of 6 May 30, 2025 Block 42, Lot 1 Item 5.

Thank you for your continued courtesies regarding this application. If you have any questions or require further information, please feel free to contact this office anytime.

Sincerely,

**InSite Engineering, LLC** 

Douglas D. Clelland, PE

23-2237-01 DDC/htm

Cc: David Cahill

Luke Policastro Donna Jennings Salvatore La Ferlita (via electronic mail w/o attachments)

ough D allul



## MONMOUTH COUNTY DEVELOPMENT REVIEW COMMITTEE

#### **Development Application Action**

FILE NUMBER: HSP10591

Action Taken By:	Development Review Committee	Approval Status:	Conditional Approval
Project Description: A	Addition and off-street parking at existing multifamily residence		
Plan Date: 4	/10/2025	Date Received:	5/30/2025
Design Professional: In	nSite Engineering	Lot:	1
Owner: A	pplicant	Block:	42
Applicant: 6	0 Bay Avenue Highlands, LLC	Municipal Agency:	Planning Board
Application: 6	0 Bay Avenue Multifamily Residence	Municipality:	Highlands

If conditionally approved, the conditions listed below or on the attached sheet shall be satisfactorily addressed before final approval is issued. This action does not release the applicant from obtaining a consistency determination pursuant to N.J.A.C. 7:8-1 et seq. (Monmouth County Areawide Water Quality Management Plan). Prior to commencing any work within the right-of-way of a county highway or before doing any work that affects a county bridge, the applicant is required to obtain a road opening permit from the Monmouth County Highway Department. A review of the location of subsurface utilities within county road rights-of-way will be conducted by the County Highway Department upon application for a road opening permit. Prior to planting or removal of trees or shrubs within or along the right-of-way of a county highway, the applicant is required to obtain a permit from the Monmouth County Shade Tree Commission. Note: County review is made only on items covered by statutory authority.

On 6/23/2025, a waiver was granted from §5.1-1 to accept an easement instead of a dedication, to avoid creating new bulk variances.

#### Conditions:

- 1. Address the comments in the memorandum prepared by Michael T. Brusca, dated June 23, 2025.
- 2. Receipt of an easement to widen the Bay Avenue (County Route 8) right-of-way to a distance of 30 feet from the centerline. The only format acceptable to the County of Monmouth is provided on the Division of Planning webpage at www.visitmonmouth.com. The draft deed shall be submitted to the Division of Planning for review and approval. Following approval, submit the executed deed directly to this office for filing with the Monmouth County Clerk.
- 3. Receipt of a performance guarantee to ensure the satisfactory installation of required improvements in the Bay Avenue (County Route 8) right-of-way. The performance guarantee may be in the form of a bond, letter of credit, or bank/certified check. Sample formats for bonds and letters of credit acceptable to the County of Monmouth may be found at the Division of Planning webpage at www.visitmonmouth.com. This application has been referred to Engineering for the preparation of a bond estimate.

Submit questions via email to DevelopmentReview@co.monmouth.nj.us.

Joseph Barris, P.P., A.I.C.P., C.F.M.

Director of Planning

For the Development Review Committee

cc: InSite Engineering

Donna M. Jennings, Esq.

Mark R. Aikins, Esq.

J. Ettore; V. Cardone; T. Lombardi; V. Zabat; M. Brusca

Highway Department/Construction Official

HSP10591 1470 CA

Monmouth County Planning Board Hall of Records Annex 1 E. Main Street Freehold, NJ 07728-1255

Phone: 732-431-7460

Email: DevelopmentReview@co.monmouth.nj.us

Page 1 of 1

## The Board of County Commissioners of the County of Monmouth

#### DEPARTMENT OF ENGINEERING & TRAFFIC SAFETY

#### JOSEPH M. ETTORE, P.E.

County Engineer Email: engineer@co.monmouth.nj.us



Hall of Records Annex 1 East Main Street Freehold, New Jersey 07728 Telephone: (732) 431-7760 Fax: (732) 431-7765

June 23, 2025

#### **MEMORANDUM**

TO: Joe Barris, Director of Planning

FROM: Michael Brusca, Assistant Engineer

RE: HSP10591 - 60 Bay Ave. Highlands

County Route 8 – Bay Avenue

Block 42 - Lot 1 Borough of Highlands

The following items were received by this office in connection with the above-referenced application:

 Preliminary & Final Major Site Plan for Proposed Multi-Family Residence, Block 42, Lot 1, 60 Bay Avenue, Borough of Highlands, Monmouth County, New Jersey, prepared by Douglas Clelland, P.E., of Insite, dated February 5, 2024, last revised April 1, 2025, received May 30, 2025.

The following comments/recommendations are made to the Development Review Committee (DRC) pursuant to the Design Standards set forth in the Monmouth County Development Regulations (MCDR):

#### **General Civil Comments:**

- GC2. Was the right-of-way established at 30-ft from the centerline of C.R. 8, Bay Avenue? If so, indicate on the site plans and provide dimension. Indicate the deed book and page. Provide the following information:
  - a. Metes and bounds of the dedication;
  - b. area of dedication, in acres and sq.ft.;
  - c. grantee of dedication;
  - d. deed of dedication, with parcel description for review.

If right-of way was not established as above, then provide a proposed dedication to 30-ft from the centerline of C.R. 8, Bay Avenue. Provide the information requested in comments 3a-3d

To: Joe Barris, Director of Planning 6/23/25

Page: 2 of 2 HSP10591 60 Bay Ave. Highlands

Comment from 1/13/25 memo: The applicant's engineer has responded with a request for the Development Review Committee to grant an easement in lieu of a dedication citing setback variances as a hardship. In consideration of granting the easement, the DRC should consider the location of the footing of the garage(s) wall as it overlaps the boundary of and would impact the area of the proposed easement.

Comment from 3/24/25 memo: Building geometry shifted to no longer overlap easement which allows recommendation of granting the easement in lieu of a dedication. If approved by the Development Review Committee, provide deed of easement for review by the County surveyor.

PARTIALLY ADDRESSED: The Development Review Committee will review the easement request at their June 23, 2025 meeting. In addition, the updated site plans indicate a 6" PVC roof leader collection system which runs along the C.R. 8, Bay Avenue frontage within the proposed easement. Relocate the 6" PVC outside of the easement boundary.

Please request the applicant and the engineer to provide an itemized response to these comments. Please advise the applicant that responses to this Request for Information may result in additional requests and / or conditions on the application.

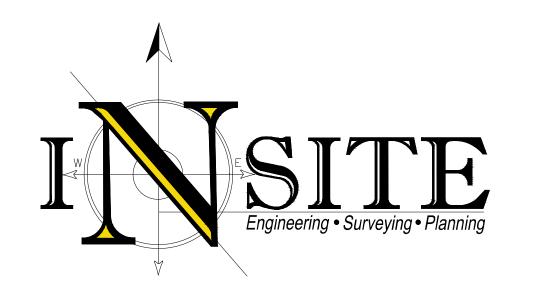
cc: Joseph M. Ettore, County Engineer
Tom Lombardi, Supervising Engineer
Vince Cardone, Principal Engineer II
Victorino Zabat, Principal Engineer
Dave Schmetterer, Asst. Planning Director
Victor Furmanec, Principal Planner
Kyle DeGroot, Senior Planner
Jeannine Smith, Planning Aide

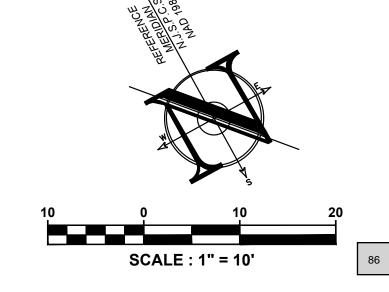


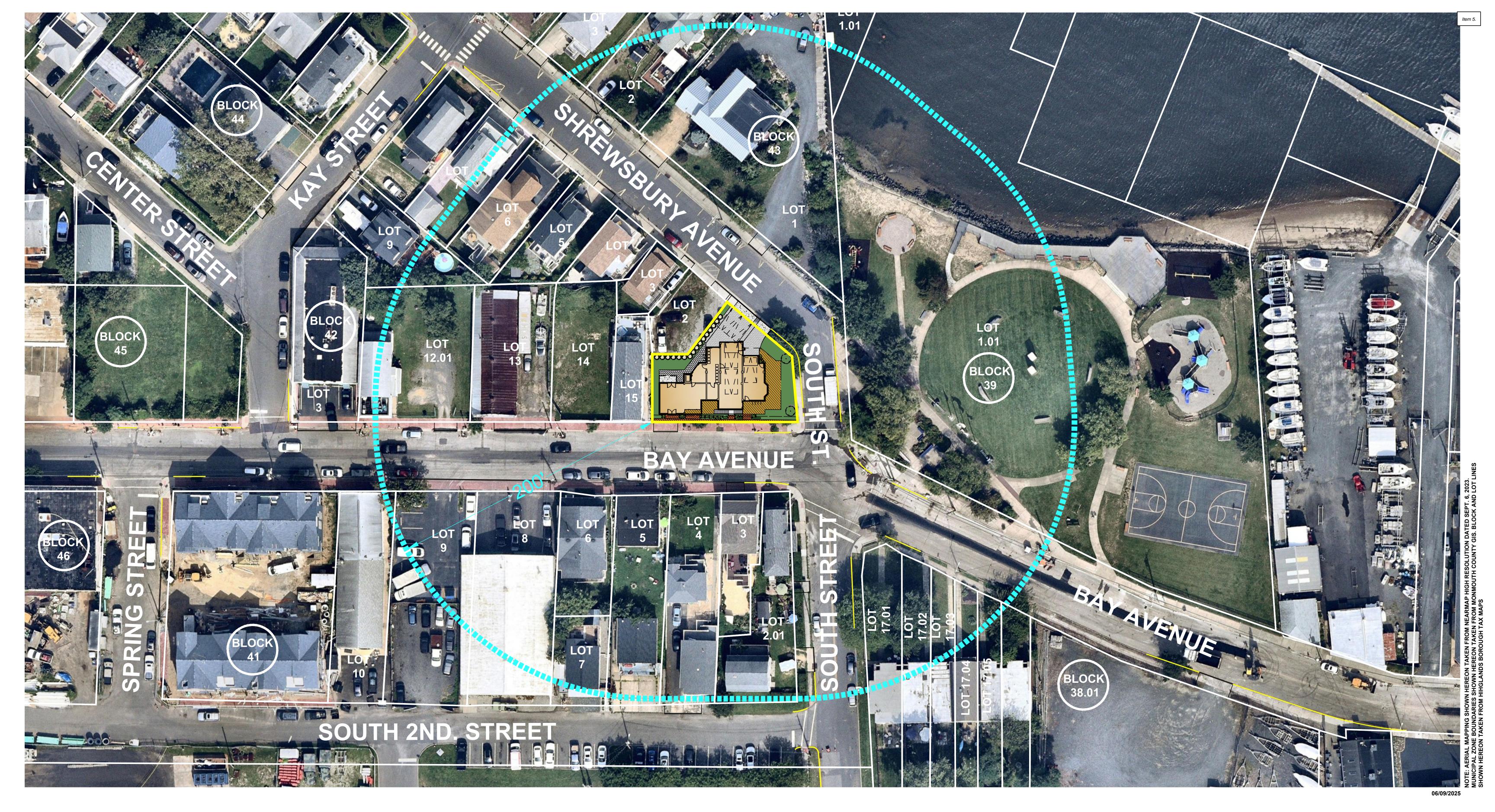
## PROPOSED MULTI-FAMILY RESIDENCE



Borough of Highlands, Monmouth County, New Jersey







# PROPOSED MULTI-FAMILY RESIDENCE



Borough of Highlands, Monmouth County, New Jersey

