



## BOROUGH OF HIGHLANDS LAND USE BOARD REGULAR MEETING

151 Navesink Ave. - Court Room  
Thursday, July 10, 2025 at 7:00 PM

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### AGENDA

*Please be advised that the agenda as shown may be subject to change. This meeting is a quasi-judicial proceeding. Any questions or comments must be limited to issues that are relevant to what the board may legally consider in reaching a decision and decorum appropriate to a judicial hearing must be maintained at all times.*

**CALL TO ORDER:** *The chair reserves the right to change the order of the agenda.*

#### PLEDGE OF ALLEGIANCE

**OPEN PUBLIC MEETING STATEMENT:** *As per requirement, notice is hereby given that this is a Regular Meeting of the Borough of Highlands Land Use Board and all requirements have been met. Notice has been transmitted to the Asbury Park Press and the Two River Times. Notice has been posted on the public bulletin board. Formal Action will be taken.*

#### ROLL CALL

**OPEN FOR PUBLIC COMMENTS:** *General Questions or Comments not pertaining to Applications*

#### APPROVAL OF MINUTES

1. June 12, 2025 LUB Meeting Minutes

#### RESOLUTIONS

2. Memorializing LUB25-07: 125 Bay Ave LLC – 125 Bay Ave., B46 L4 – Change of Use
3. Memorializing LUB25-08: Bay Ave. Property Management LLC – 181 Bay Ave., B59 L11.01 – Change of Use

#### HEARINGS ON NEW BUSINESS

4. LUB25-09: Pahler - 35 Miller St., B54 L13 - Variance
5. LUB24-02: Cahill – Amended Application

#### ADJOURNMENT

*Board Policy: • All meetings shall adjourn no later than 10:00 P.M. unless a majority of the quorum present at said hour vote to continue the meeting to a later hour. • No new hearing shall commence after 9:15 P.M. unless the Chairperson shall rule otherwise. • The Chair may limit repetitive comments or irrelevant testimony and may limit the time or number of questions or comments from any one citizen to*

*ensure an orderly meeting and allow adequate time for members of the public to be heard.*





Item 4.  
Borough of Hig  
151 Navesink Ave.  
Highlands, NJ 07732  
(732) 872-1224  
www.highlandsnj.gov

## LAND USE BOARD APPLICATION

### FOR OFFICIAL USE

Date Rec'd: 6/4/2015 Application #: UB25-09 Fee: ck# 1917 \$500.00  
Escrow: ck# 1918 \$1,000.00 Escrow Acct# T-03-S6-875-000 [REDACTED]

### 1. APPLICANT

Name: Edward & Lori Pahler  
Address: 30 Miller Street  
City: Highlands State: NJ Zip: 07732  
Phone: [REDACTED]  
Email: [REDACTED]  
Relation to property: owner

### 2. OWNER

Name: same as applicant  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Email: \_\_\_\_\_

### 3. TYPE OF APPLICATION (Check all that apply)

- ☐ Minor Subdivision
- ☐ Major Subdivision – Preliminary
- ☐ Major Subdivision – Final
- ☐ Minor Site Plan
- ☐ Major Site Plan – Preliminary
- ☐ Major Site Plan – Final
- ☒ Variance
- ☐ Use Variance

- ☐ Appeal – Zoning Denial date \_\_\_\_\_
- ☐ Appeal – Land Use Decision date \_\_\_\_\_
- ☐ Informal Concept Plan Review
- ☐ Extension of Approval
- ☐ Revision/Resubmission of Prior Application
- ☐ Other \_\_\_\_\_

### 4. PROPERTY INFORMATION

Block 54 Lot(s) 13 Address: 35 Miller Street  
Lot size 25' x 80' # of Existing Lots 1 # of Proposed Lots 1  
Zone R-2.02 Are there existing Deed Restrictions or Easements? ☒ No ☐ Yes – Please attach copies  
Has the property been subdivided? ☒ No ☐ Yes If yes, when? \_\_\_\_\_  
Attach copies of approved map or approved resolution  
Property taxes paid through \_\_\_\_\_ Sewer paid through \_\_\_\_\_

### 5. ATTORNEY (A corporation, LLC, Limited Partnership, or S-Corp must be represented by a NJ attorney)

Name: none  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_



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**6. APPLICANT'S OTHER PROFESSIONAL(S) – Engineer, Planner, Architect, etc.**

Name: Morgan Engineering  
Address: 130 Central Avenue  
Island Heights, NJ 08732  
Phone: 732-270-9690  
Email: daniel@morganengineering  
llc.com

Name: James T. Daley Architect  
Address: 273 First Avenue  
Keyport, NJ 07735  
Phone: 732-739-2684  
Email: gyntredaily@aol.com

**7. LAND USE**

**A. PROPERTY HISTORY** –Describe in detail, nature of prior use(s) on the site, start date of such use, any prior Land Use Board applications for this site (attach copy of resolution, if applicable), history of current ownership, etc.

Multiuse building first constructed in 1913. In 1930  
John & Angelina Azzolina opened a Deli and lived  
upstairs. The property continued mixed-use through  
the 1960's. From that time up until recently  
it was used as a (3) Family residence. During  
the past month all building improvements have been

**B. PROPOSED PLAN** –Describe in detail, proposed use for property, including, but not limited to: 1) portion to be subdivided; 2) sell lot only; 3) construct house(s) for sale; 4) how trash will be disposed; 5) landscaping; 6) hours of operation; 7) type of goods/services; 8) fire lane. Attach additional sheets if necessary. removed

Construct new house for primary residence

**C. ADDITIONAL INFORMATION:**

Existing

Proposed

**Residential:** How many dwelling units?  
How many bedrooms in each unit?  
How many on-site parking spaces?

01  
2 1/2  
3

**Commercial:** How many commercial uses on site?  
How many on-site parking spaces?





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**8. VARIANCE REQUESTS** Complete section(s) related to the relief being requested.

	Req'd	Exist.	Prop'd
<b>Minimum Lot Requirements</b>			
Lot Area	4000		2000
Frontage	50		25
Lot Depth	15		80
<b>Minimum Yard Requirements</b>			
Front Yard Setback	20		15 *
2 <sup>nd</sup> Front Yard Setback			
Rear Yard Setback	20		10 *
Side Yard Setback, right	4		3 *
Side Yard Setback, left	3		3
Building Height	32.5		32.5

	Req'd	Exist.	Prop'd
<b>Accessory Structures</b>			
Fence/Wall Height			
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			
<b>Parking Requirements</b>			
On-site Parking Spaces	2		3
<b>Other (please add)</b>			

**9. OTHER RELIEF REQUESTED** Please specify relief(s) and explain below.

Building Coverage (Required = 33%) (Proposed = 53.2%)



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## 10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this

4<sup>th</sup> day of June 2025 (year)

Signature Date 6/4/2025

Edward F. Pawler III  
Print Full Name

## 11. NOTARIZED CONSENT OF OWNER

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this

4<sup>th</sup> day of June 2025 (year)

Signature Date 6/4/2025

Edward F. Pawler III  
Print Full Name

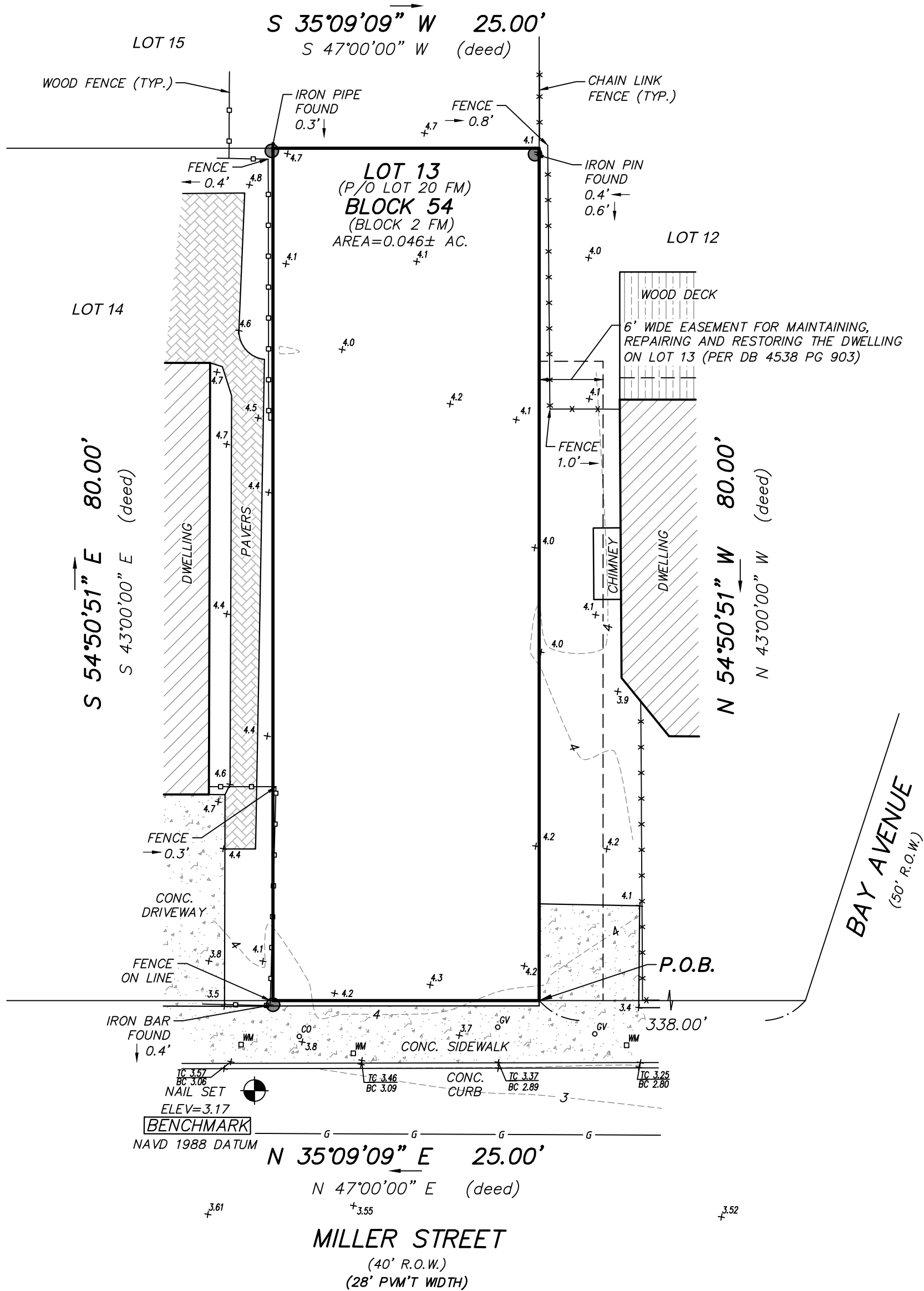
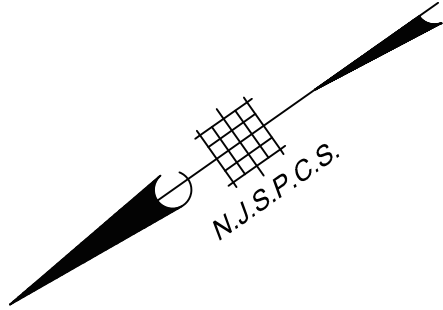
## 12A. DISCLOSURE STATEMENT

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:

Is this application to subdivide a parcel of land into six (6) or more lots?	Yes	<input checked="" type="radio"/> No
Is this application to construct a multiple dwelling of 25 or more units?	Yes	<input checked="" type="radio"/> No
Is this an application for approval of a site(s) for non-residential purposes?	Yes	<input checked="" type="radio"/> No
Is this Applicant a corporation?	Yes	<input checked="" type="radio"/> No
Is the Applicant a limited liability corporation?	Yes	<input checked="" type="radio"/> No
Is the Applicant a partnership?	Yes	<input checked="" type="radio"/> No

If you circled YES to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).

REV	DATE	DESCRIPTION	BY
1	5/13/25	UPDATED SURVEY	DAP



PREPARED FOR: EDWARD PAHLER III

NOTES:

1. PROPERTY IS LOCATED IN FLOOD ZONE AE ELEV. 11 AS SHOWN ON EFFECTIVE FIRM #34025C0088H, DATED 6/15/2022.
2. ALL ELEVATIONS ARE IN NAVD88 DATUM THROUGH GPS OBSERVATIONS USING LEICA RTK GPS NETWORK.
3. BOUNDARY AND PHYSICAL FEATURES TAKEN FROM A PLAN ENTITLED "SURVEY OF PROPERTY PREPARED FOR SOLAR POWERED LLC, 44 MILLER STREET, LOT 7.01 – BLOCK 58, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY CHARLES SURMONTE, P.E. & P.L.S., DATED 12/05/24.

Filed Map Reference:	Filed Map Block:	Filed Map Lot:	Filing Date:	Filed Map No.
MAP OF LOTS AT THE HIGHLANDS OF NAVESINK	2	P/O 20	10/16/1873	26-6

IMPORTANT NOTES, PLEASE REVIEW:

- I DECLARE THAT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THIS MAP OR PLAN MADE ON 4/3/25 BY ME OR UNDER MY DIRECT SUPERVISION IS IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
- THIS SURVEY DOES NOT PURPORT TO IDENTIFY BELOW GROUND ENCROACHMENTS, UTILITIES, SERVICES LINES OR STRUCTURES, WETLANDS, OR RIPARIAN RIGHTS. NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THE PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS, ENVIRONMENTALLY SENSITIVE AREAS, IF ANY ARE NOT LOCATED BY THIS SURVEY.
- OFFSET DIMENSIONS FROM STRUCTURES TO PROPERTY LINES SHOWN HEREON ARE NOT TO BE USED TO REESTABLISH PROPERTY LINES.
- THIS SURVEY IS SUBJECT TO CONDITIONS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE, SUBJECT TO RESTRICTIONS AND EASEMENTS RECORDED AND/OR UNRECORDED.
- PROPERTY CORNERS HAVE NOT BEEN SET AS PER CONTRACTUAL AGREEMENT. (N.J.A.C. 13:40-5.1(D))

DB OR-9393 PG 8126

LEGEND

- CO CLEANOUT
- GM GAS METER
- GV GAS VALVE
- MW MONITORING WELL
- LP LIGHT POLE
- UP UTILITY POLE
- WM WATER METER
- WV WATER VALVE
- ICV IRRIGATION CONTROL VALVE

CERTIFICATE OF AUTHORIZATION: 24GA28229800

**MORGAN**  
engineering & surveying

P.O. BOX 5232  
TOMS RIVER, N.J. 08754  
TEL: 732-270-9690  
FAX: 732-270-9691  
www.morganengineeringllc.com

*David J. Von Steenburg*

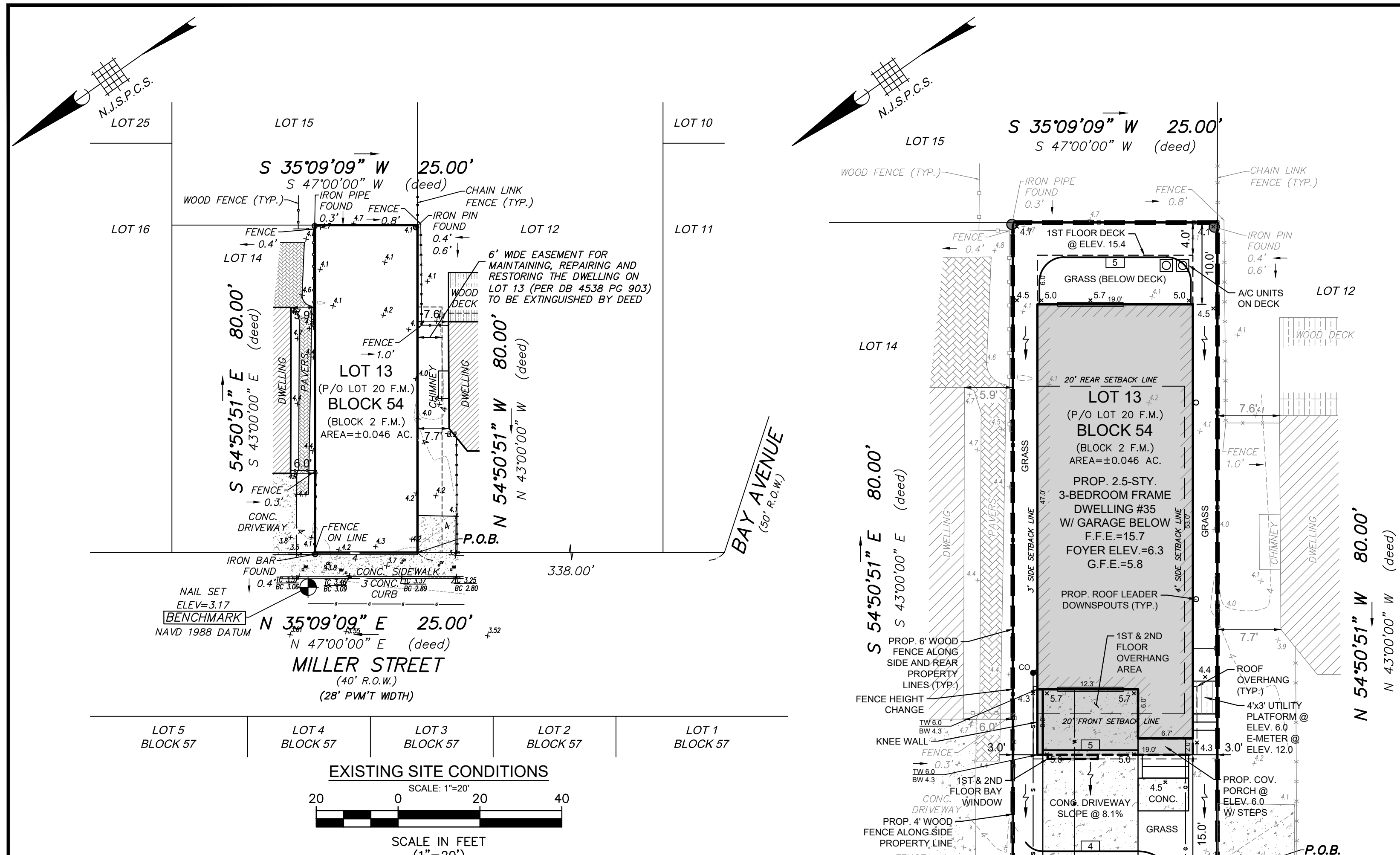
**DAVID J. VON STEENBURG**  
PROFESSIONAL LAND SURVEYOR  
N.J. LIC. No. 34500

**BOUNDARY AND  
TOPOGRAPHIC SURVEY**

**LOT 13** **BLOCK 54**  
**BOROUGH OF HIGHLANDS**  
**COUNTY OF MONMOUTH** **NEW JERSEY**

Scale:	Drawn By:	Date:	JOB #	CAD File #	Sheet #
1"=10'	DVP	4/3/25	E25-00126	TOPO	1 OF 1





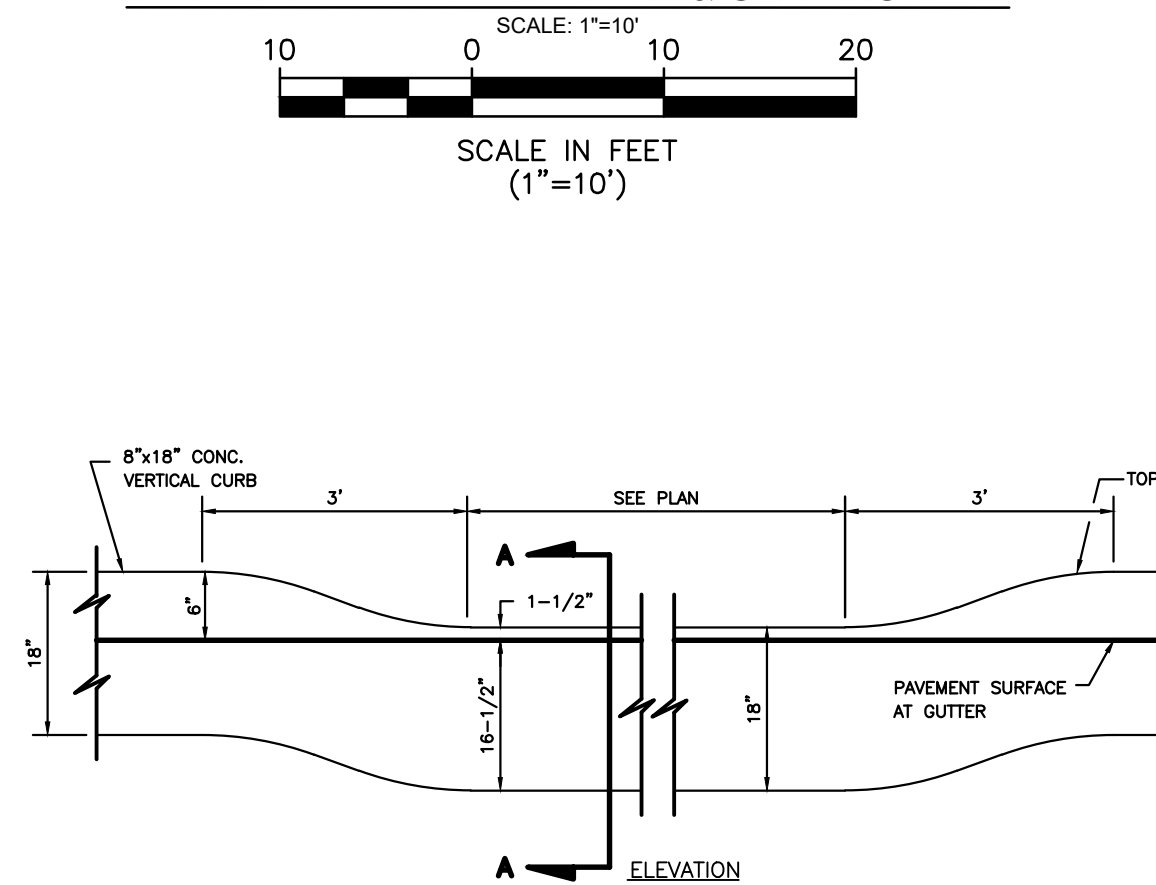
## 200' RADIUS PROPERTY OWNERS LIST

Block Lot	Owner	Mailing address	City, State, Zip	
1319-54-7.011	LDN REAL ESTATE LLC	55 MILLER STREET	HIGHLANDS NJ	07739
1319-54-7.012	LDN REAL ESTATE LLC	55 MILLER STREET	HIGHLANDS NJ	07739
1319-54-7.013	LDN REAL ESTATE LLC	55 MILLER STREET	HIGHLANDS NJ	07739
1319-54-7.014	LDN REAL ESTATE LLC	55 MILLER STREET	HIGHLANDS NJ	07739
1319-54-7.015	LDN REAL ESTATE LLC	55 MILLER STREET	HIGHLANDS NJ	07739
1319-57-12	BOROUGH OF HIGHLANDS	151 NAVESINK AVE	HIGHLANDS NJ	07732
1319-58-7.01	SOLAR POWERED 44 LLC	27 MILLER STREET	HIGHLANDS NJ	07732
1319-57-9	KIRSH KRAAT LLC	PO BOX 886	HIGHLANDS NJ	08037
1319-52-7	CAPLINGER JAMES W. (ESTATE)	50 CORNWALL STREET	HIGHLANDS NJ	07732
1319-52-15	NEW HORIZON HOME BUYERS LLC	107 MOUNTAINSIDE AVENUE	ATLANTIC HIGHLANDS NJ	07716
1319-52-9	CATCHERMAN LLC	7 SEA DRIFT AVE	HIGHLANDS NJ	07732
1319-52-11.01	DAVIS PAGE	42 CORNWALL STREET	HIGHLANDS NJ	07732
1319-52-16	MANCINELLI THERESA	28 CORNWALL STREET	HIGHLANDS NJ	07732
1319-52-8	CAPLINGER JAMES W & CATHERINE M	50 CORNWALL ST	HIGHLANDS NJ	07732
1319-54-14	CHAN TED & BENJAMIN	33 MILLER STREET	HIGHLANDS NJ	07732
1319-57-11	FITZGERALD SUZANNE	8 FOURTH STREET	HIGHLANDS NJ	07732
1319-58-8	MCKELLER BARRY & LINDA	9 FOURTH STREET	HIGHLANDS NJ	07732
1319-57-13	CAZZA WILLIAM	14 FOURTH STREET	HIGHLANDS NJ	07732
1319-57-9	MAHMOUD ISMAT	38 MILLER STREET	HIGHLANDS NJ	07732
1319-57-4	STARKE SUSAN C/O T. WILSON	P.O. BOX 63	MIDDLETOWN NJ	07748
1319-52-14	PERNACH LISA	32 CORNWALL STREET	HIGHLANDS NJ	07732
1319-57-7	SUNAMI INVESTMENT TRUST	275 ORIENT WAY	LIPOHURST NJ	07071
1319-57-2	FELDMAN MICHAEL & ANNA MARIE	12 DOGWOOD COURT	CLIFFWOOD NJ	07721
1319-57-8	KIRSH TREVOR	PO BOX 886	HAMMONTON NJ	08037
1319-54-25	HORN WILLIAM C	31 DELAWARE AVENUE	RED BANK NJ	07701
1319-56-1	WILLIAM & CANDACE DOUGLAS JR	24 MILLER STREET	HIGHLANDS NJ	07732
1319-56-2	MCMANAMA MARISA & DEMARD JOHN	123 EVERGREEN AVE	NEPTUNE NJ	07753
1319-56-3	CWO LLC	24 MILLER STREET	HIGHLANDS NJ	07732
1319-54-20.01	HIGGINS PHOEBE	415 CENTRAL PARK WEST	NEW YORK NY	10025
1319-54-21.01	SCANDAGLIA FRANK & MARIA	21 MILLER STREET	HIGHLANDS NJ	07732
1319-54-22	VAN SEVEREN MARK	122 STATERIES PLACE	RED BANK NJ	07701
1319-54-5	FLANNERY JOHN W. & DANIELLE A.	38 NORTH STREET	HIGHLANDS NJ	07732
1319-54-16	MURRAY MICHAEL S	29 MILLER STREET	HIGHLANDS NJ	07732
1319-54-10	HONOLD KRISTA & THOMAS BURKE	71 WATERMAN AVENUE	RUMSON NJ	07060
1319-54-11	CARVALHO MANOAL & MARIA	55 UNCT ST	FREEDHOLD NJ	07728
1319-54-12	DEBOLD RICHARD	231 NAVESINK AVE	HIGHLANDS NJ	07732
1319-52-6	CAPLINGER JAMES W JR	54 CORNWALL STREET	HIGHLANDS NJ	07732
1319-52-12	FELOURIS ANDREW	40 CORNWALL STREET	HIGHLANDS NJ	07732
1319-52-13	BENBERGOLI BELINDA & MESH	90 EAST MADISON AVE	CRESSKILL NJ	07626
1319-54-17	27 MILLER LLC	117 BEEKMAN STREET #38	NEW YORK NY	10038
1319-54-18	GIUFFRÉ CARMELO	25 MILLER STREET	HIGHLANDS NJ	07732
1319-54-19	CORNWALL STREET LLC	3 CORNWALL STREET	HIGHLANDS NJ	07732
1319-57-6	PAHLER EDWARD F III & LORI A.	30 MILLER STREET	HIGHLANDS NJ	07732
1319-57-1	AME REALTY LLC	42 MILLER STREET	HIGHLANDS NJ	07732
1319-57-14	CASAZZA LUCILLE	12 FOURTH STREET	HIGHLANDS NJ	07732
1319-54-9.011	SMITH SIMON	54 NORTH STREET	HIGHLANDS NJ	07732
1319-54-9.012	SEPE-CAPUTI MARIA GRACE	45 MILLER STREET	HIGHLANDS NJ	07732
1319-54-15	SHANNON ENTERPRISES LLC	300 BAY AVENUE	HIGHLANDS NJ	07732
1319-54-13	KEIRWICK THOMAS & LAURA	24 BROOKLYNE ROAD	FLORHAM PARK NJ	07932
1319-58-5.01	TOMMILLER LLC	48 MILLER ST	HIGHLANDS NJ	07732
1319-57-5	SCHIRO JOSEPH & PETRUCI MARIA A	290 BRIGHTON STREET	STATEN ISLAND NY	10307
1319-54-21.02	DUNELLO MICHAEL T.	24 NORTH STREET	HIGHLANDS NJ	07732

## UTILITIES TO BE NOTIFIED

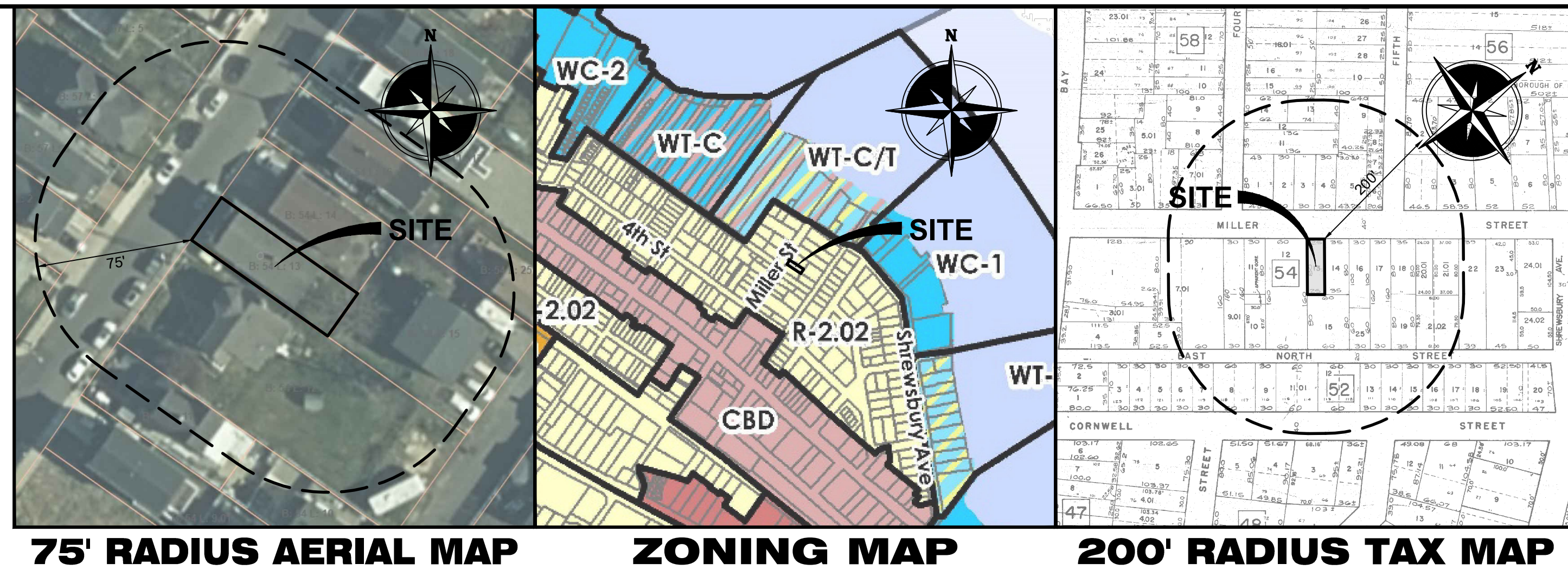
<b>JCP&amp;L</b>	300 Madison Avenue PO Box 1911 Morristown, NJ 07960
<b>NEW JERSEY AMERICAN WATER COMPANY</b>	Ron Bertrand, Construction Foreman Attn: Construction Department 661 Shrewsbury Ave Shrewsbury, NJ 07702
<b>COMCAST COMMUNICATIONS OF MONMOUTH COUNTY</b>	Ron Bertrand, Construction Foreman 403 South St Eatontown, NJ 07724
<b>VERIZON COMMUNICATIONS</b>	One Verizon Way Basking Ridge, NJ 07920
<b>TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY</b>	Raymond J. Nierstedt, P.E., Executive Director PO Box 205, 100 Beverly Way Belford, NJ 07718
<b>NEW JERSEY NATURAL GAS COMPANY</b>	Attn: Joan Purcaro PO Box 3464 1415 Wyckoff Road Wall, NJ 07719
<b>MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY</b>	Attn: Executive Director 200 Harbor Way PO Box 184 Belford, NJ 07718

## PROPOSED SITE CONDITIONS &amp; GRADING PLAN



## DEPRESSED CURB-APRON-SIDEWALK DETAIL

N.T.S.



## 75' RADIUS AERIAL MAP

SCALE: 1"=50'

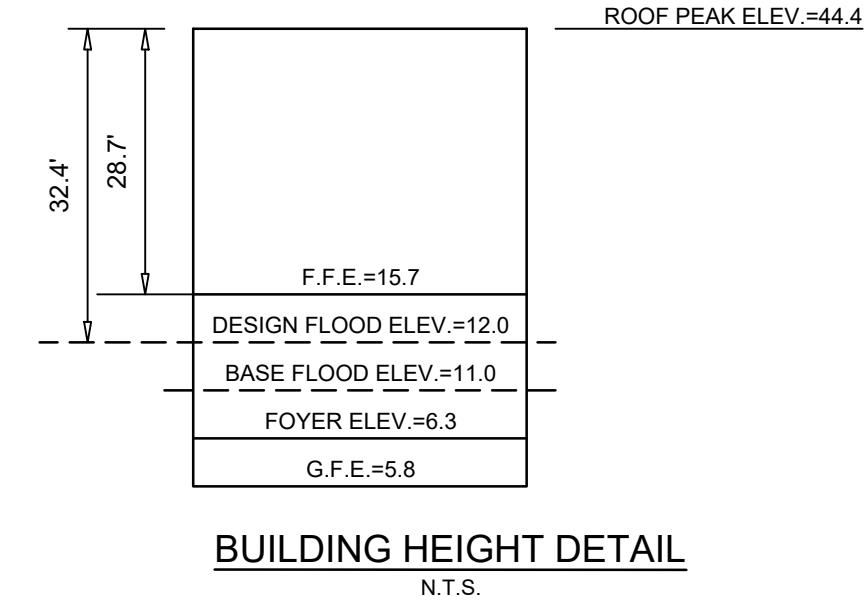
## ZONING MAP

SCALE: 1"=500'

## 200' RADIUS TAX MAP

SCALE: 1"=150'

TAX MAP INFORMATION TAKEN FROM "TAX MAP, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY" SHEET NUMBERS 13 &amp; 11



## BUILDING HEIGHT DETAIL

N.T.S.

## ZONE R-2.02 REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	4,000 S.F.	2,000 S.F.*	N.C.
MIN. LOT FRONTAGE	50 FT.	25 FT.*	N.C.
MIN. LOT WIDTH	50 FT.	25 FT.*	N.C.
MIN. LOT DEPTH	75 FT.	80 FT.	N.C.
MIN. FRONT SETBACK	20 FT.	-	15 FT.**
MIN. SIDE SETBACK:			
SINGLE	3 FT.***	-	3 FT.
COMBINED	7 FT.***	-	6 FT.**
MIN. REAR SETBACK	20 FT.	-	10 FT.**
MIN. TERRACE & DECK SETBACKS:			
SIDE SETBACK	3 FT.	-	3 FT.
REAR SETBACK	3 FT.	-	4 FT.
MAX. BUILDING COVERAGE	33%	0%	53.2%**
MAX. LOT COVERAGE	75%	0%	63.5%
MAX. BUILDING HEIGHT	32.5 FT.****	-	32.4 FT.

- \* - EXISTING NON-CONFORMING  
 \*\* - VARIANCE REQUIRED  
 \*\*\* - PER § 21-198(1F), FOR PRE-EXISTING LOTS WHICH DO NOT MEET THE LOT WIDTH REQUIREMENTS, THE SIDE YARDS MAY BE REDUCED IN THE SAME PROPORTION AS THE REDUCED WIDTH BEARS TO THE REQUIRED WIDTH, BUT IN NO CASE SHALL THE PROPOSED SIDE YARDS BE LESS THAN ONE-HALF OF THE REQUIRED SIDE YARDS (REQUIRED SIDE YARD DEPTHS IN THE R-2.02 ZONE ARE 6 FT. SINGLE AND 14 FT. COMBINED)  
 \*\*\*\* - PER CHAPTER 21 ATTACHMENT 1, WHERE A DWELLING IS CONSTRUCTED TO PROVIDE THE REQUIRED PARKING UNDER THE STRUCTURE, THE MAXIMUM HEIGHT SHALL BE INCREASED BY 2.5 FT. (MAX HEIGHT IN R-2.02 IS 30 FT. + 2.5 FT. IS 32.5 FT.)  
 N.C. - NO CHANGE

## BUILDING COVERAGE

DESCRIPTION	PROPOSED
DWELLING (INC.)	1,063 S.F.
COV. PORCHES (EXC.)	0 S.F.
BUILDING LOT COVERAGE	1,063 S.F.
LOT AREA	2,000 S.F.
TOTAL BUILDING LOT COVERAGE	53.2%

## LOT COVERAGE

DESCRIPTION	PROPOSED
DWELLING (INC.)	1,063 S.F.
COV. PORCHES & STEPS (EXC.)	13 S.F.
CONC. (EXC.)	193 S.F.
IMPERVIOUS LOT COVERAGE	1,269 S.F.
LOT AREA	2,000 S.F.
TOTAL IMPERVIOUS LOT COVERAGE	63.5%

## INC. - INCLUDES AREA UNDER ROOF/BUILDING OVERHANGS

## EXC. - EXCLUDES AREA UNDER ROOF/BUILDING OVERHANGS

## NOTES:

- THIS MAP IS NOT A SURVEY.
- THE PURPOSE OF THIS SITE PLAN IS FOR OBTAINING A BOARD OF ADJUSTMENT APPROVAL FROM THE BOROUGH OF HIGHLANDS FOR THE CONSTRUCTION OF A SINGLE-FAMILY DWELLING WITH APPURTENANT SITE IMPROVEMENTS.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM A CERTAIN PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY, LOT 13, BLOCK 54, BOROUGH OF HIGHLANDS, COUNTY OF MONMOUTH, NEW JERSEY" PREPARED BY MORGAN ENGINEERING & SURVEYING, LLC, DATED 4/3/25, REVISED 5/13/25.
- PER THE STATE OF NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF GIS' NJ-GEOVIEW INTERACTIVE MAPPING APPLICATION, WETLANDS DO NOT APPEAR TO EXIST ON THE SUBJECT PROPERTY.
- PROPERTY IS LOCATED IN FLOOD ZONE AE ELEV. 11 AS SHOWN ON CURRENT FIRM MAP #34025C0088H, DATED 6/15/2022.
- PROPERTY IS LOCATED IN FLOOD ZONE AE ELEV. 11 AS SHOWN ON PRELIMINARY FIRM MAP #34025C0088J, DATED 01/31/2014.
- EXISTING UTILITIES TO BE MARKED OUT PRIOR TO THE START OF CONSTRUCTION AND REUSED AS NECESSARY.
- ALL ELEVATIONS ARE IN NAVD 1988 DATUM THROUGH GPS OBSERVATIONS USING LEICA RTK GPS NETWORK.
- THIS PROPERTY LOCATED WITHIN THE R-2.02 SINGLE FAMILY RESIDENTIAL ZONE.
- ALL ROOF LEADERS SHALL BE DIRECTED TOWARDS MILLER STREET.
- LEAF DIVERSERS/GUTTER GUARDS TO BE INSTALLED ON PROPOSED DOWNSPOUTS.
- NO RUNOFF SHALL BE DIRECTED ONTO ADJACENT PROPERTIES.
- LIMIT OF DISTURBANCE: 2,226 S.F. / ±0.051 AC. EXEMPTION BY FREEHOLD SOIL CONSERVATION DISTRICT TO BE PROVIDED AS A CONDITION OF APPROVAL
- NO WATERCOURSES, WOODED AREAS, RIVERS, OR HIGHWAYS LOCATED WITHIN 75 FEET OF THE PROPERTY LINE.
- FOUNDATION SOIL LOGS TO BE PROVIDED AT THE TIME OF BUILDING PERMIT, IF REQUIRED.

## VARIANCE LIST:

- § 21 ATTACHMENT 1 - (ZONING AND LAND USE REGULATIONS) R-2.02 - REQUIRED: MINIMUM LOT AREA = 4,000 S.F. - EXISTING: LOT AREA = 2,000 S.F.
- § 21 ATTACHMENT 1 - (ZONING AND LAND USE REGULATIONS) R-2.02 - REQUIRED: MINIMUM LOT FRONTAGE/WIDTH = 50 FT. - EXISTING: LOT FRONTAGE/WIDTH = 25 FT.
- § 21 ATTACHMENT 1 - (ZONING AND LAND USE REGULATIONS) R-2.02 - REQUIRED: MINIMUM FRONT SETBACK = 20 FT. - PROPOSED: FRONT SETBACK = 15 FT.
- § 21 ATTACHMENT 1 - (ZONING AND LAND USE REGULATIONS) R-2.02 - REQUIRED: MINIMUM COMBINED SIDE SETBACK = 7 FT. - PROPOSED: COMBINED SIDE SETBACK = 6 FT.
- § 21 ATTACHMENT 1 - (ZONING AND LAND USE REGULATIONS) R-2.02 - REQUIRED: MINIMUM REAR SETBACK = 20 FT. - PROPOSED: REAR SETBACK = 10 FT.
- § 21 ATTACHMENT 1 - (ZONING AND LAND USE REGULATIONS) R-2.02 - REQUIRED: MAXIMUM BUILDING COVERAGE = 33% - PROPOSED: BUILDING COVERAGE = 53.2%

APPLICATION NO. \_\_\_\_\_ APPROVED/DISAPPROVED BY THE BOROUGH OF HIGHLANDS LAND USE BOARD AS A MINOR SITE PLAN ON \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

ATTEST:

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

PREPARED FOR: EDWARD &amp; LORI PAHLER

THE OWNER OR HIS/HER DESIGNATED REPRESENTATIVE SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF CONDITIONS ARE ENCOUNTERED ON-SITE CONTRARY TO THOSE SPECIFIED ON THIS PLAN. THE UNDERSIGNED PROFESSIONAL SHALL BE GRANTED ACCESS TO THE SITE AND PROVIDED ADEQUATE TIME TO REVIEW AND, IF NECESSARY, AMEND THE DESIGN BASED UPON THE OBSERVED SITE CONDITIONS.

CERTIFICATE OF AUTHORIZATION: 24GA2822800



P.O. BOX 5232  
TOMS RIVER, N.J. 08754  
TEL: 732-270-9690  
FAX: 732-270-9691  
www.morganengineeringllc.com

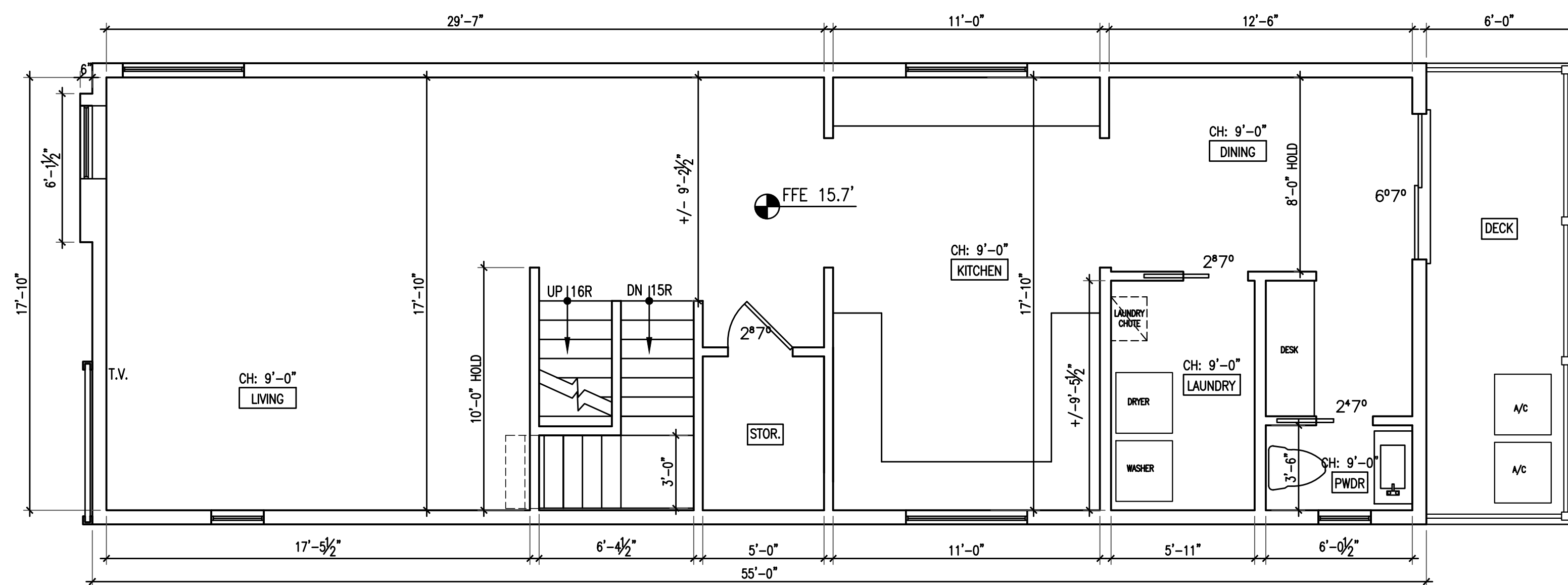
**DONNA M. BULLOCK**  
NEW JERSEY PROFESSIONAL ENGINEER  
LICENSE NO. 41931

REV	DATE	DESCRIPTION	BY
3	6/26/25	REV. PER ENGINEER LETTER DATED 6/16/25	DAP
2	6/9/25	REVISED DOWNSPOUTS PER CLIENT, ADDED 200' PROPERTY OWNERS LIST	DAP
1	5/30/25	REVISED PLAN PER CLIENT COMMENTS	DAP

<b>SITE PLAN FOR SINGLE-FAMILY DWELLING W/ BULK VARIANCES</b>	
<b>LOT 13</b>	<b>BLOCK 54</b>
<b>BOROUGH OF HIGHLANDS</b>	
<b>COUNTY OF MONMOUTH</b>	<b>NEW JERSEY</b>
Scale: 1"=10'	Drawn By: DAP
Date: 5/9/25	JOB # E25-00126
VARIANCE	CAD File #
	Sheet # 1 OF 1

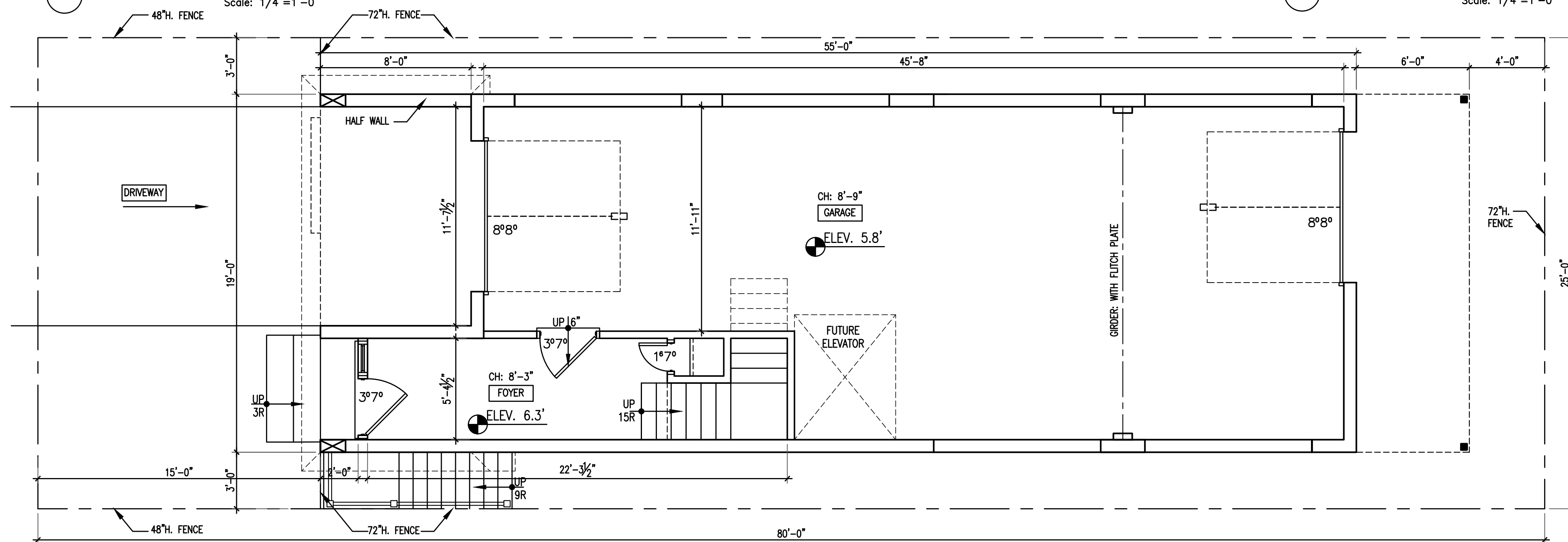






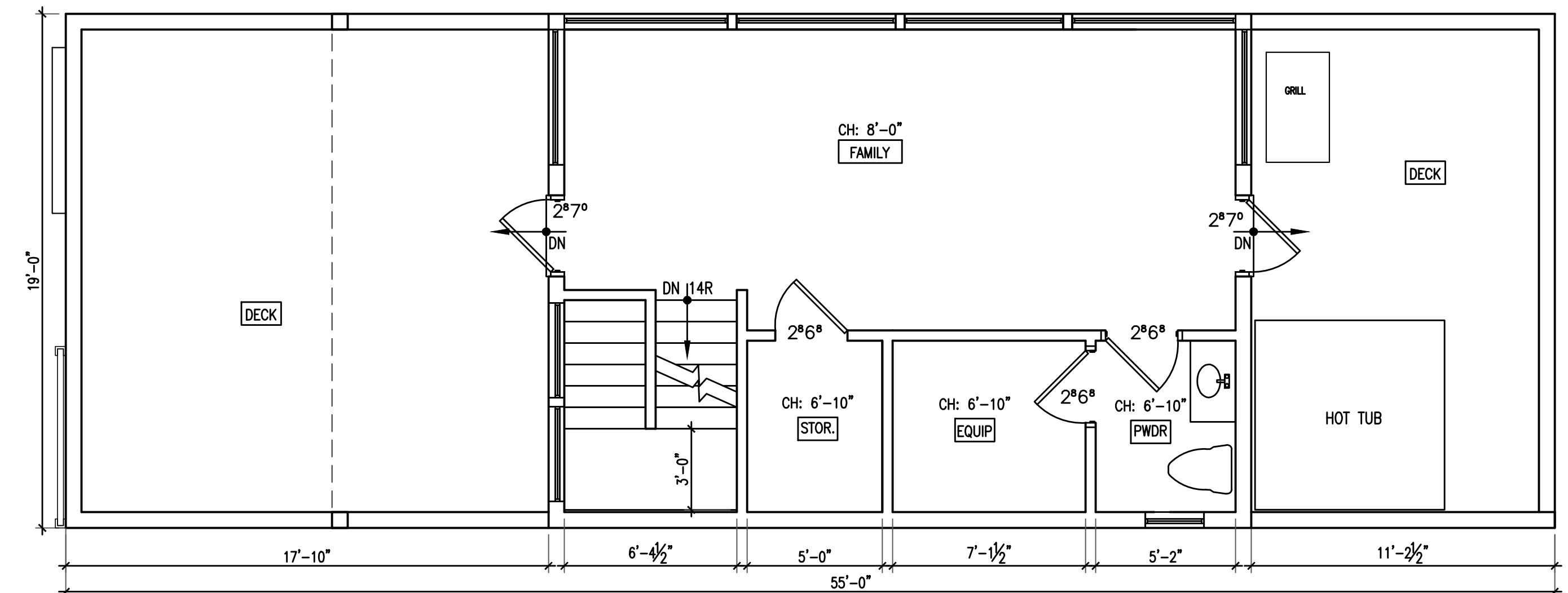
FIRST FLOOR PLAN

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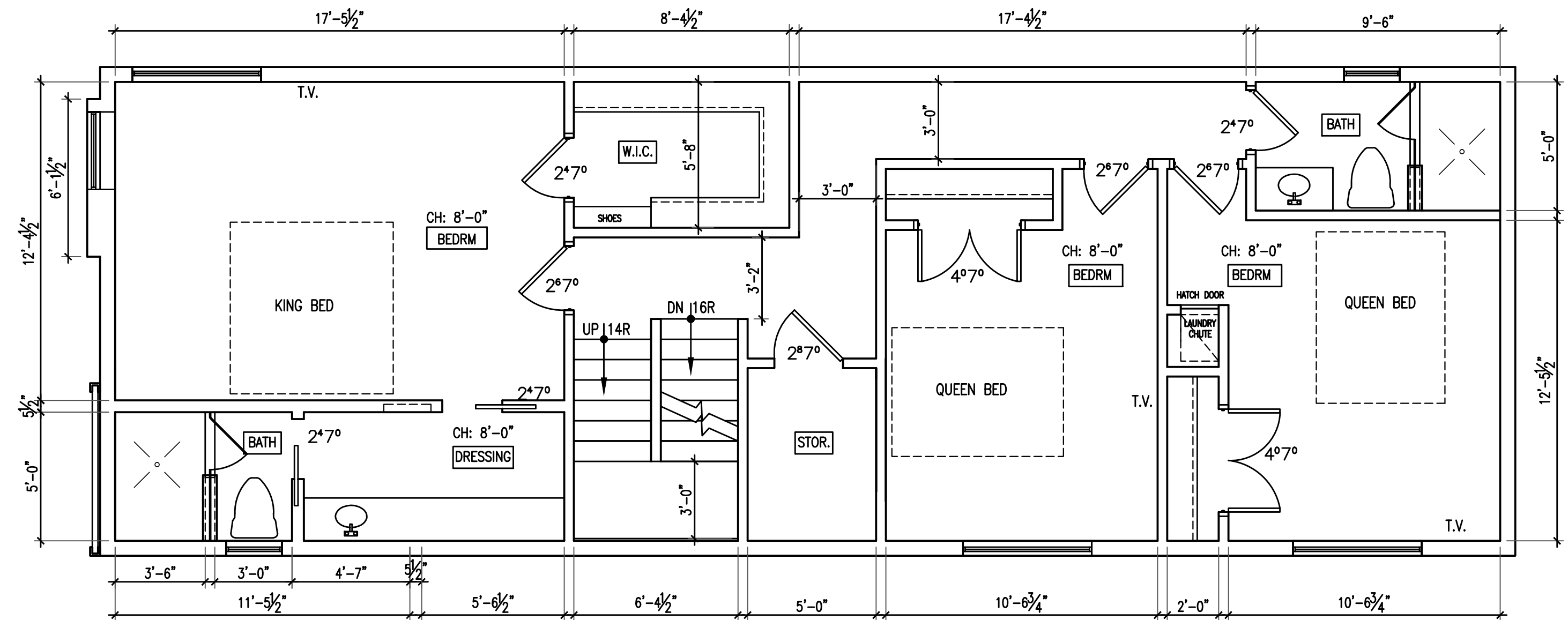
FOUNDATION PLAN

Scale: 1/4"=1'-0"



ATTIC PLAN

Scale: 1/4"=1'-0"



SECOND FLOOR PLAN

Scale: 1/4"=1'-0"

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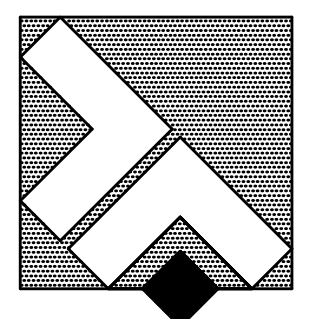
Pahler - Highlands, NJ

**JAMES T. DALEY  
ARCHITECT  
+ ASSOCIATES**  
273 FIRST STREET, KEYPORT, NJ 07735  
phone: 732-739-2684 fax: 732-739-0837

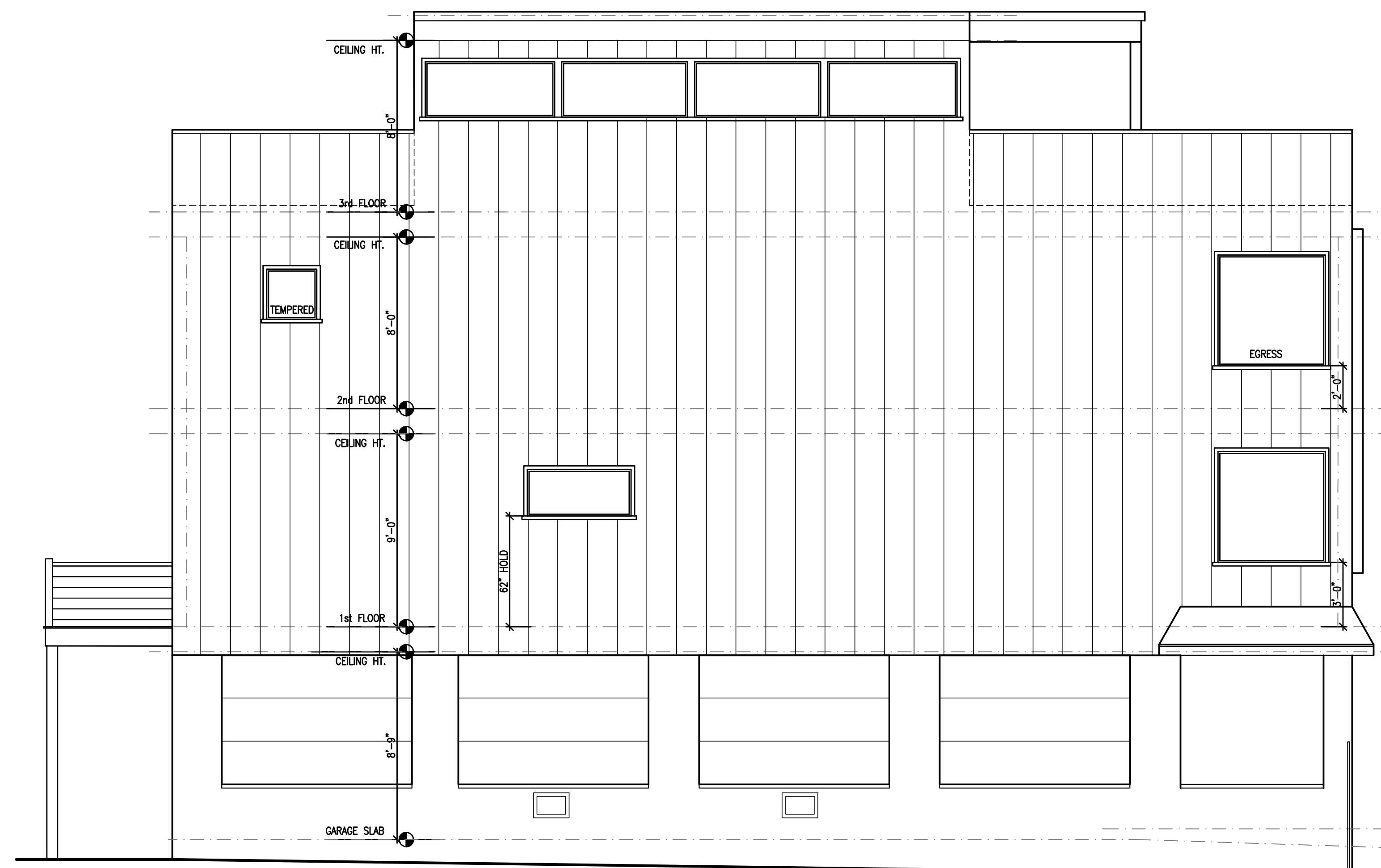
NJ LIC:  
#11519

DRAWN: JP

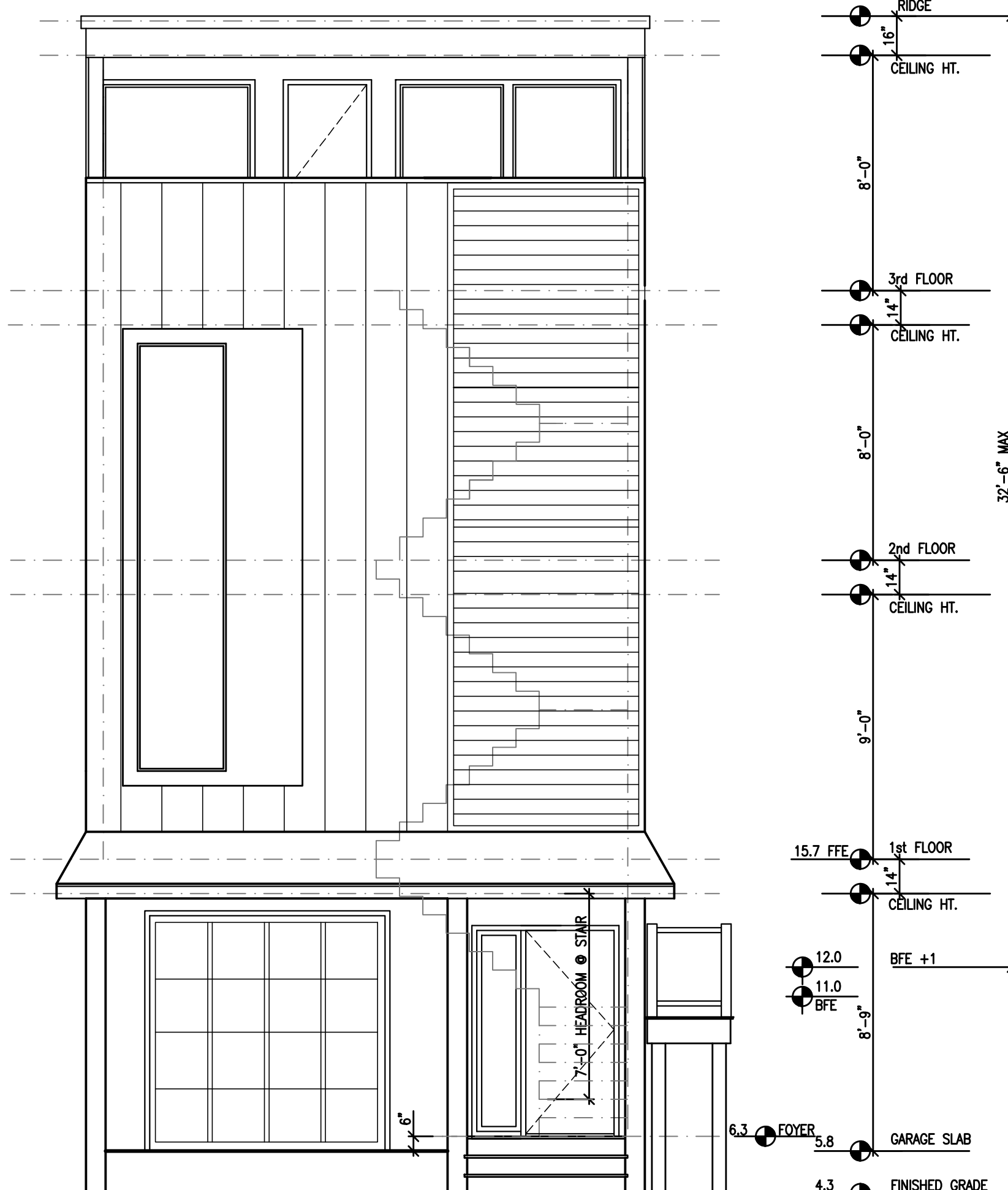
A-2



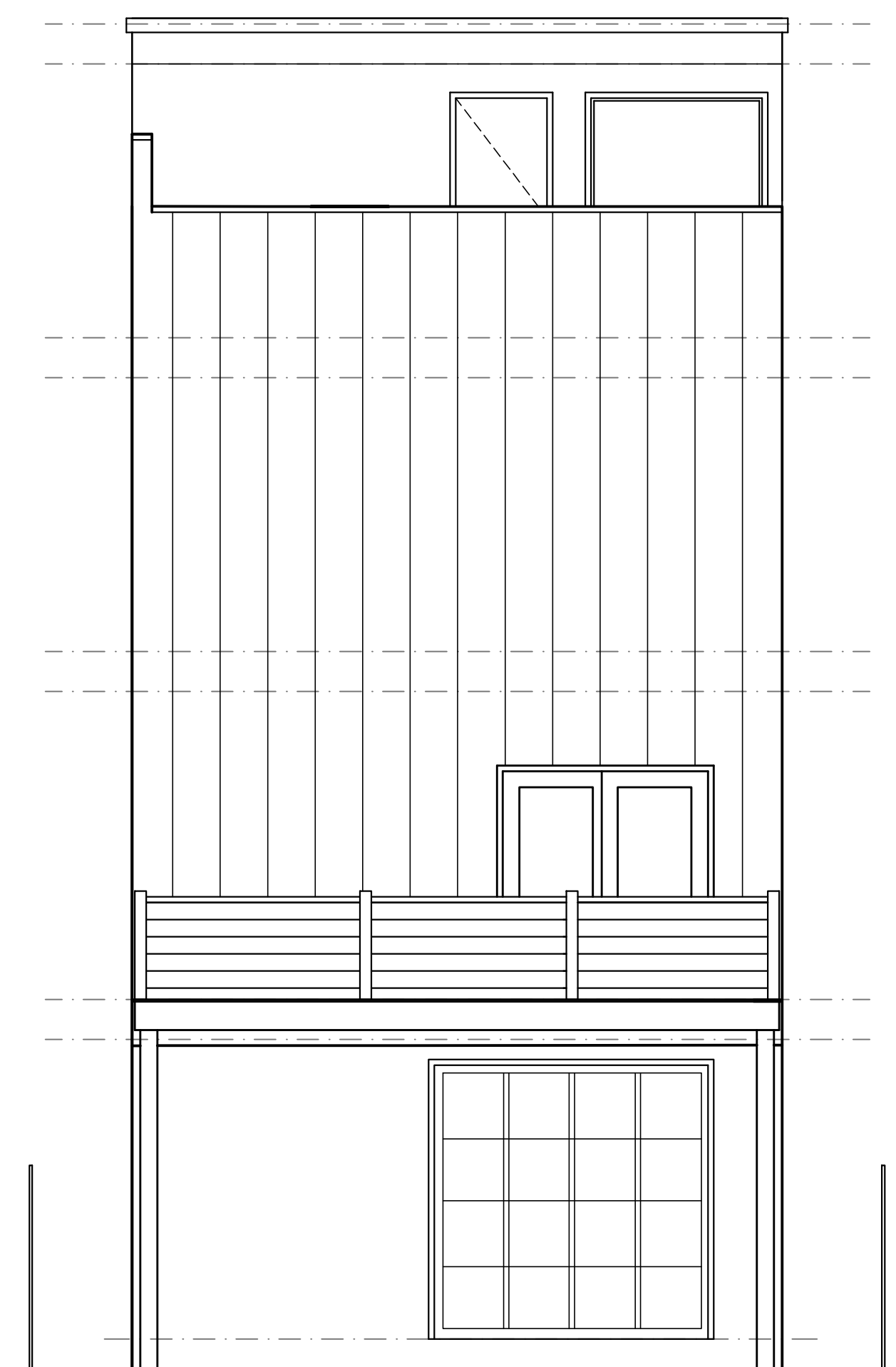




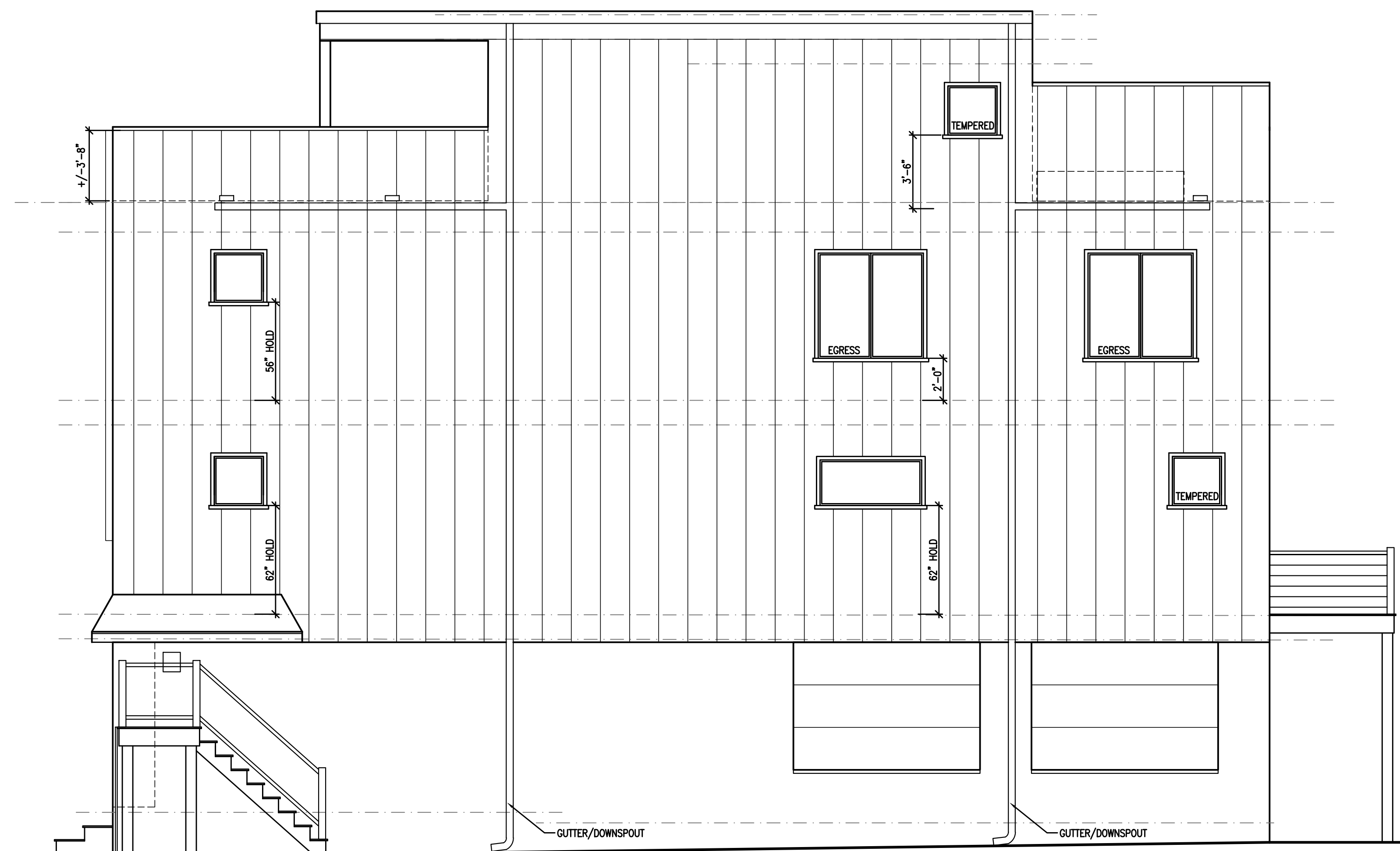
○ SIDE ELEVATION  
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○ FRONT ELEVATION  
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○ REAR ELEVATION  
Scale: 1/4"=1'-0"



○ SIDE ELEVATION  
Scale: 1/4"=1'-0"

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JAMES T. DALEY ARCHITECT + ASSOCIATES		DRAWN: JP
273 FIRST STREET, KEYPORT, NJ 07735		A-3
phone: 732-739-2684 fax: 732-739-0837		



**Roberts**  
ENGINEERING GROUP LLC  
*Women Business Enterprise Certified*

1670 Whitehorse-Hamilton Square Rd.  
Hamilton, New Jersey 08690  
609-586-1141 fax 609-586-1143  
www.RobertsEngineeringGroup.com

June 16, 2025

Nancy Tran  
Land Use Board Secretary  
Borough of Highlands Land Use Board  
151 Navesink Avenue  
Highlands, New Jersey 07732

Re: Completeness Review No. 1  
Applicants: Edward and Lori Pahler  
Block 54, Lot 13  
35 Miller Street  
Borough of Highlands, Monmouth County, New Jersey  
Our File No.: HLPB25-09

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The Applicant seeks to construct a 2 ½ story single-family dwelling on an existing vacant lot on which a multi-family dwelling recently stood. The proposed residential building will consist of three (3) bedrooms with site improvements and 3 parking spaces (garage under (2) and driveway).

The residential building is situated on a 2,000 sf (0.046 Ac) lot in the R-2.02 Single Family Residential District and in the AE Flood Hazard area.

The Applicant has submitted a Variance Plan consisting of zoning information, proposed dwelling, deck, covered porch, driveway, utilities, grading and other site improvements. There are several bulk variances, and there are a number of site improvements that are required to be addressed under Minor Site Plan.

Minor Site Plan checklist items and some general comments have been provided below by this office.

We have reviewed the following documents submitted in support of the above referenced application for completeness purposes:

1. Copy of the Land Use Board Application dated June 4, 2025.
2. Copy of a plan entitled, "Boundary and Topographic Survey, Lot 13, Block 54, Borough of Highlands, Monmouth County, New Jersey", prepared by Morgan Engineering, signed and dated April 3, 2025
3. Copy of a plan entitled, "Variance Plan for Single-Family Dwelling, #35 Miller Street, Lot 13, Block 54, Borough of Highlands, Monmouth County, New Jersey", prepared by Morgan Engineering, signed and dated May 9, 2025
4. Copy of a set of architectural plans entitled, "New House Construction for Ed & Lori Pahler, 35 Miller Street, Highlands, NJ, Lot# 13, Block# 54" prepared by James T. Daley Architect + Associates, unsigned and last issued date of May 29, 2025. 3 sheets.

We offer the following comments and recommendations for the Land Use Board's consideration:

**I. ZONING**

1. This property is located in the R-2.02 Single Family Residential District.
2. The proposed single-family residential dwelling is a permitted use.

3. The Applicant requires six (6) bulk “c” variances for lot area, lot frontage/width, minimum front setback, side yard setback, rear yard setback, and maximum building coverage. To be entitled to bulk “c” variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-70c.

The Applicant will be required to provide proof during testimony.

4. The following bulk requirement summary is provided for the Board’s reference.

Schedule I – Bulk and Area Requirements				
R-2.02 Single Family Residential District				
	Required	Existing	Proposed	Variance
Min. Lot Area (sf)	4,000	2,000 <sup>(1)</sup>	2,000	Yes <sup>(1)</sup>
Lot Frontage/Width (ft)	50	25.00 <sup>(1)</sup>	25.00	Yes <sup>(1)</sup>
Lot Depth (ft)	75	80.00	80.00	No
Min. Front Yard Setback (ft)	20 <sup>(2)</sup>	0	±15.0	Yes
Min. Side Yard Setback (ft)	6/8 3/4 <sup>(3)</sup>	0	3/3 <sup>(3)</sup>	Yes-1
Min. Rear Yard Setback (ft)	20	0	10	Yes
Max. Building Height (ft) <sup>(4)</sup>	30	0	32.4	No
Max. Lot Coverage (%)	75	0	63.5	No
Max. Building Coverage (%)	33	0	53.2	Yes
Min. Deck/Stairs Setback (ft)	3	0	3	No
On-Site Parking (spaces)	2	0	3	-

(1) Existing non-conformity

(2) Or the average of the existing front yard setback within two hundred (200) feet in the same block and zone, per § 21-79.B.

(3) Please see Comment No. 5.

(4) Where a dwelling is constructed or reconstructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half feet.

5. According to §21-98.F.1, *Pre-existing nonconforming vacant lots may be used for single-family residential purposes; and single-family or two-family uses on pre-existing nonconforming lots may be enlarged, if the following requirements are met:*

(a) *The proposed use will be a new single- family dwelling or the enlargement of an existing single-or two-family use. A single-family dwelling shall not be converted to a two-family dwelling. **New single-family dwelling.***

(b) *(Reserved)*

(c) *There is no available vacant land abutting the lot. **None.***

(d) *The lot either provides off-street parking or the proposed enlargement includes the provision of off-street parking. **Proposed On and Off-street parking.***

(e) *The building and lot coverage will not be exceeded. **This proposal exceeds building coverage. The Applicant is requesting a variance.***

- (f) *For lots which do not meet the lot width requirements, the side yards may be reduced in the same proportion as the reduced width bears to the required width, but in no case shall the proposed side yards be less than one-half of the required side yards. **This proposal does not meet the side yard. The Applicant is requesting a variance.***
- (g) *For lots which do not meet the lot depth requirement, the front and rear yards may be reduced in the same proportion as the reduced lot depth to the required lot depth, but in no case shall the proposed front yard be less than the smallest front yard allowed under § 21-79B nor the proposed rear yard be less than eighty (80%) percent of the required rear yard for the zone. **Not applicable.***

The Applicant will be required to provide proof during testimony.

## II. CHECKLIST ITEMS

1. Date, name, location of site, name of owner, scale, and reference meridian. **Provided.**
2. Area of the lot and all lot line dimensions and bearings. **Provided.**
3. The location of all existing watercourses, wooded areas, easements, rights-of-way, streets, roads, highways, rivers, buildings, structures, and any other feature on the property and within seventy-five (75) feet of the property line. **Partially provided.**
4. Location, use and ground floor area of all existing and proposed buildings, with the building setback, sideline, and rear yard distance. **Provided.**
5. Elevations at the corners of all proposed buildings and paved areas and at property corners if new buildings or paved areas are proposed. **Provided.**
6. The location and widths of existing and proposed streets servicing the site plan. **Provided.**
7. Specifications for and location of proposed surface paving and curbing. **Partially provided.**
8. Location of all structures within seventy-five (75) feet of the property. **Partially provided.**
9. Location of off-street parking areas, with dimensions, showing proposed parking and loading spaces, with dimensions, width of proposed access drives and aisles and traffic circulation. **Not applicable.**
10. Stormwater management and sanitary sewer reports, including proposed storm drainage and sanitary disposal facilities; specifically, the location, type and size of all existing and proposed catch basins, storm drainage facilities, utilities, plus all required design data supporting the adequacy of the existing or proposed facilities to handle future storm flows. **Please see General Comment No. 11 below.**
11. Existing and proposed contours of the property and for seventy-five (75) feet outside the property at one (1) foot intervals when new buildings or parking areas are proposed. Spot elevations for any development in a flood hazard area. **The Applicant has provided sufficient information.**
12. The location and treatment of proposed entrances and exits to public rights-of-way, including the possible utilization of traffic signals, channelization, acceleration and deceleration lanes, additional widths, and any other devices necessary to traffic safety and/or convenience. **Provided.**
13. The location and identification of proposed open space, parks, or other recreation areas. **Not applicable.**
14. The location and design of landscaping, buffer areas and screening areas showing size, species and spacing of trees and plants and treatment of unpaved areas. **Not applicable**
15. The location of sidewalks, walkways, traffic islands and all other areas proposed to be devoted to pedestrian use. **Provided.**

16. The nature and location of public and private utilities, including maintenance and solid waste disposal, recycling and/or storage facilities. **The Applicant has provided sufficient information.**
17. Specific location and design of traffic control devices, signs, and lighting fixtures. The Board may require of the applicant expert testimony concerning the adequacy of proposed traffic control devices, signs, and lighting fixtures. **Not applicable.**
18. Preliminary architectural plans for the proposed buildings or structures, indicating typical floor plans, elevations, heights and general design or architectural styling. **Provided.**
19. The present and past status use and contemplated use of the property and all existing buildings on the property. A cleanup plan where such is necessary because of the past or present use of the site. **Not applicable.**
20. A soil erosion and sediment control plan are required. Said plan shall be submitted to the Soil Conservation District and approval of the application shall be conditioned upon certification of the soil erosion and sediment control plan by the District. **Exempted by Freehold Soil Conservation District. To provide an exemption letter.**
21. Soil borings, when required by the Board Engineer. **Not provided. May be required for footings for construction.**
22. Certification statement for the required municipal signatures, stating:

Application No. \_\_\_\_\_ approved/disapproved by the Borough of Highlands Land Use Board as a Minor Site Plan on (date). **Not provided.**

\_\_\_\_\_  
Chairman

\_\_\_\_\_  
Secretary

23. Certification statement for the County Planning Board approval/disapproval, if required. **Not applicable.**
24. The Board may require any additional information which is reasonably necessary to ascertain compliance with the provisions of this chapter. **Open.**

### III. COMPLETENESS

Adequate information has been provided to perform a technical review and we recommend the application be deemed COMPLETE.

### IV. GENERAL COMMENTS

1. Please rename the plan to Site Plan.
2. Please provide signed and sealed Architectural plans.
3. The Applicant has submitted an application for a 2 ½ story dwelling, however it appears that the proposed dwelling is more than 2 ½ stories. The attic has an 8-foot ceiling height with family space and a bathroom. The dwelling appears to be three stories. Please provide testimony.
4. Please provide a Certification statement on the engineering plan. Refer to Checklist Item #22.
5. Please provide the location of all structures within seventy-five (75) feet of the property.
6. Please update the minimum lot depth as compliant.

7. It appears that the front yard setback may not be in conformance with the prevailing setback. The lots closest to this property appear to meet the requirement, however the same determination cannot be made about the nearby newer built dwellings.

Please analyze the front setback as a prevailing setback according to § 21-79.B.

8. Please update the lot coverage table to show covered porches and steps, and concrete, as included items. The total percentage of lot coverage is shown correctly.
9. There is an existing 6 ft wide by 60 ft long easement on Lot 12 along the common line with the property. The easement is described in Deed Book 4538 Page 903 (yr. 1985) as "for the purpose of maintaining, repairing and restoring the dwelling erected upon Lot 13. This easement being necessitated because the side yards on Lot 13 are only six inches on one side and one ft. eleven inches on the other...."

The dwelling has been demolished.

It is our opinion that the easement must be legally extinguished by deed because the purpose of the easement is no longer valid. We defer to the Land Use Board Attorney.

10. Indicate whether the lot surfaces will be grass, gravel and/or landscaped.
11. The right rear and side yard proposed elevations are directing runoff to Lot 12. Please redirect the runoff to the street.
12. Water, sewer and gas utilities are proposed to connect to existing valves and cleanout in the existing sidewalk. This will require replacement of full sections of the concrete sidewalk.
13. A proposed 4 ft x 3 ft utility platform with 6 ft high fencing and steps extends from the dwelling to the property line. The platform appears to be needed for access to the E-meter and HVAC units.
  - a. According to §21-123.2 mechanical, plumbing and electrical systems should be above Local Design Flood Elevation (LDFL). The utilities and E-Meter appear to be placed above the LDFL elevation of 12 ft high (Local Design Flood Elevation) according to the architectural elevations.
  - b. The proposed fence enclosed platform blocks direct access to the side yard leading to the rear yard without trespassing on the adjoining property.
14. Please provide construction details:
  - a. Pavement repair according to § 21-65.15.
  - b. Sidewalk according to § 21-65.17.
  - c. Driveway, apron and depressed curb.

#### V. APPROVALS

Approval of this application will be conditioned upon the Applicant obtaining or providing approved documents for the following:

1. Freehold Soil Conservation Permit (exemption letter).
2. NJDEP FHA
3. Coastal Area Facilities Review Act (CAFRA) Zone, if required per NJDEP.

Completeness Review No. 1  
Applicant: Edward and Lori Pahler  
Block 54, Lot 13  
35 Miller Street  
Borough of Highlands, Monmouth County, New Jersey  
Our File No.: HLPB25-09  
Page 6 of 6

Item 4.

Should you have any questions, please do not hesitate to contact me.

Very truly yours,



Carmela Roberts, PE, CME, CPWM  
Land Use Board Engineer

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)  
Dustin F. Glass, Esq., Land Use Board Attorney (dglass@semerarolaw.com)  
Steve Winters, Construction Official, Floodplain Administrator (swinters@highlandsborough.org)  
Courtney Lopez, Zoning Officer (clopez@highlandsborough.org)  
Morgan Engineering & Surveying, Applicant's Engineer (daniel@morganengineeringllc.com)  
James Daley, AIA, Applicant's Architect (gymteedaily@aol.com)  
Cameron Corini, PE, CME, CPWM, Roberts Engineering Group, LLC  
GS Bachman, EIT, Roberts Engineering Group, LLC



Borough of Highlands  
42 Shore Drive  
Highlands, NJ 07732  
(732) 872-1224  
www.highlandsborough.org

## LAND USE BOARD APPLICATION

### FOR OFFICIAL USE

Date Rec'd: 4/23/2025 Application #: LU825-05 Fee: \$100.00 Escrow: \$2282.77  
Cahill - 60 Bay, B42C1 T-03-56-875-000-191

#### 1. APPLICANT

Name: 60 Bay Ave Highlands LLC  
Address: 60 Bay Avenue  
City: Highlands State: NJ Zip: 07732  
Phone: 732.855.6039 (Owner's Attorney)  
Email: djennings@wilentz.com (Owner's Attorney)  
Relation to property: Owner

#### 2. OWNER

Name: 60 Bay Ave Highlands LLC  
Address: 60 Bay Avenue Highlands LLC  
City: Highlands State: NJ Zip: 07732  
Phone: 732.855.6039 (Owner's Attorney)  
Email: djennings@wilentz.com (Owner's Attorney)

#### 3. TYPE OF APPLICATION (Check all that apply)

- ☐ Minor Subdivision
- ☐ Major Subdivision – Preliminary
- ☐ Major Subdivision – Final
- ☐ Minor Site Plan
- ☒ Major Site Plan – Preliminary
- ☒ Major Site Plan – Final
- ☐ Variance
- ☐ Use Variance

- ☐ Appeal – Zoning Denial date \_\_\_\_\_
- ☐ Appeal – Land Use Decision date \_\_\_\_\_
- ☐ Informal Concept Plan Review
- ☐ Extension of Approval
- ☒ Revision/Resubmission of Prior Application
- ☐ Other \_\_\_\_\_

#### 4. PROPERTY INFORMATION

Block 42 Lot(s) 1 Address: 60 Bay Avenue  
Lot size 0.147 acres # of Existing Lots 1 # of Proposed Lots 1  
Zone CBD\* Are there existing Deed Restrictions or Easements? ☒ No ☐ Yes – Please attach copies  
Has the property been subdivided? ☒ No ☐ Yes If yes, when? \_\_\_\_\_  
Attach copies of approved map or approved resolution  
Property taxes paid through \_\_\_\_\_ Sewer paid through \_\_\_\_\_

#### 5. ATTORNEY (A corporation, LLC, Limited Partnership, or S-Corp must be represented by a NJ attorney)

Name: Donna M. Jennings, Esq. (on behalf of Applicant)  
Address: 90 Woodbridge Center Drive Suite 900 Box 10, Woodbridge, NJ 07095  
Phone: 732.855.6039 Email: djennings@wilentz.com

\*The Property is located in the CBD Redevelopment Area in Overlay Zone 2.





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**6. APPLICANT'S OTHER PROFESSIONAL(S) – Engineer, Planner, Architect, etc.**

Name: Douglas D. Clelland, PE (Engineer)  
Address: 1955 Route 354, Suite 1A, Wall  
NJ 07719  
Phone: 732-531-7100  
Email: doug@insiteeng.net

Name: Salvatore LaFerlita, RA, AIA (Architect)  
Address: 115 University Drive, Lincroft  
NJ 07738  
Phone: 732-741-5105  
Email: sallaferlita@aol.com

**7. LAND USE**

**A. PROPERTY HISTORY** –Describe in detail, nature of prior use(s) on the site, start date of such use, any prior Land Use Board applications for this site (attach copy of resolution, if applicable), history of current ownership, etc.

See attached rider.

**B. PROPOSED PLAN** –Describe in detail, proposed use for property, including, but not limited to: 1) portion to be subdivided; 2) sell lot only; 3) construct house(s) for sale; 4) how trash will be disposed; 5) landscaping; 6) hours of operation; 7) type of goods/services; 8) fire lane. Attach additional sheets if necessary.

See attached rider.

**C. ADDITIONAL INFORMATION:**

		Existing	Proposed
Residential:	How many dwelling units?	<u>4</u>	<u>5</u>
	How many bedrooms in each unit?	<u>1-2</u>	<u>2-3</u>
	How many on-site parking spaces?	<u>5</u>	<u>5</u>
Commercial:	How many commercial uses on site?	<u>None</u>	<u>None</u>
	How many on-site parking spaces?	<u>N/A</u>	<u>N/A</u>



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**8. VARIANCE REQUESTS** Complete section(s) related to the relief being requested. NO RELIEF REQUIRED

NOT APPLICABLE

	Req'd	Exist.	Prop'd
<b>Minimum Lot Requirements</b>			
Lot Area			
Frontage			
Lot Depth			
<b>Minimum Yard Requirements</b>			
Front Yard Setback			
2 <sup>nd</sup> Front Yard Setback			
Rear Yard Setback			
Side Yard Setback, right			
Side Yard Setback, left			
Building Height			

	Req'd	Exist.	Prop'd
<b>Accessory Structures</b>			
Fence/Wall Height			
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			
<b>Parking Requirements</b>			
On-site Parking Spaces			
<b>Other (please add)</b>			

**9. OTHER RELIEF REQUESTED** Please specify relief(s) and explain below.

See attached rider.





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## 10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this  
22<sup>nd</sup> day of April 2025 (year)  
Lisa Haak (notary)  
Lisa Haak  
Notary Public, State of New Jersey  
I.D. No. 50163068 (Seal)  
My Commission Expires June 26, 2026

[Signature] 4/22/2025  
Signature Date  
Donna M. Jennings, Esq. (WGS on behalf of Applicant)  
Print Full Name

## 11. NOTARIZED CONSENT OF OWNER

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this  
22<sup>nd</sup> day of April 2025 (year)  
Lisa Haak (notary)  
Lisa Haak  
Notary Public, State of New Jersey  
I.D. No. 50163068 (Seal)  
My Commission Expires June 26, 2026

[Signature] 4/22/2025  
Signature Date  
Donna M. Jennings, Esq. (WGS on behalf of Owner)  
Print Full Name

## 12A. DISCLOSURE STATEMENT Circle all that apply.

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:

Is this application to subdivide a parcel of land into six (6) or more lots?	Yes	<input type="checkbox"/> No
Is this application to construct a multiple dwelling of 25 or more units?	Yes	<input type="checkbox"/> No
Is this an application for approval of a site(s) for non-residential purposes?	Yes	<input type="checkbox"/> No
Is this Applicant a corporation?	Yes	<input type="checkbox"/> No
Is the Applicant a limited liability corporation?	<input checked="" type="checkbox"/> Yes	No
Is the Applicant a partnership?	Yes	<input type="checkbox"/> No

If you circled **YES** any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).



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(732) 872-1224  
www.highlandsborough.org

**12B. BUSINESS ORGANIZATION OWNERSHIP DISCLOSURE STATEMENT**

Name of Corporation, Partnership, LLC, LLP, S-Corp:

**60 Bay Ave Highlands LLC**

Listed below are the names and addresses of all owners of 10% or more of the stock/interest\* in the above referenced business organization:

NAME	ADDRESS
David Cahill	60 Bay Avenue Apt 3, Highlands, NJ 07732

\*If a corporation or a partnership owns 10% or more of the stock of a corporation, or 10% or great interest in a partnership, that corporation or partnership shall list the names and address of its stockholders holding 10% or more of its stock or 10% or greater interest in the partnership, and this requirement shall be followed until the names and addresses of the non-corporate stockholders and individual partners, exceeding the 10% owner ship criterion established have been listed.

SWORN & SUBSCRIBED to before me this

22<sup>nd</sup> day of April 2025 (year)

[Signature] (notary)

Lisa Haak  
Notary Public, State of New Jersey (Seal)

I.D. No. 50163068

My Commission Expires June 26, 2026

[Signature] 4/22/2025  
Signature (Officer/Partner) Date  
Donna M. Jennings, Esq. (WGS on behalf of Applicant)  
Print Full Name Title



**RIDER**

60 Bay Ave Highlands LLC  
60 Bay Ave  
Block 42, Lot 1  
Highlands Land Use Board

60 Bay Ave Highlands LLC is seeking revision of its Preliminary and Final Major Site Plan Approval memorialized by Resolution 2024-16, dated September 12, 2024, to raise and expand the existing three-story multi-family residential building on property located at 60 Bay Avenue and identified as Block 42, Lot 1 on the Borough's tax maps (the "Property"). The Property is approximately 6,425 square feet, or 0.147 acres, and is located in the Central Business District (CBD) within the CBD Redevelopment Area Overlay 2 Zone. Five multi-family units are still proposed comprising of 4-two-bedroom units and 1-three-bedroom unit.

In pursuit of resolution compliance, the applicant sought approval from the Monmouth County Planning Board, which has jurisdiction over Bay Avenue, a county road. The applicant is now seeking a revised approval from the Land Use Board because the County denied waiver requests with respect to the improvements along Bay Avenue as approved by the Land Use Board. Subsequently, the applicant redesigned the site to eliminate vehicle access to Bay Avenue—no curb cuts or driveways are proposed on Bay Avenue. Likewise, the garages on Bay Avenue are now proposed as storage areas with access doors in lieu of garage doors. Ingress to and egress from the site are proposed entirely from two garages on the Shrewsbury Avenue frontage.

Ten parking spaces are required, including electric vehicle credit. Five off-street parking spaces are now proposed, whereas seven spaces were initially proposed. Section VII.A of the Central Business District Redevelopment Plan permits residential uses to take into account the availability of on-street parking in meeting the requirement. Additional on-street parking will be

available as a result of the elimination of the driveways on Bay Avenue, and there is sufficient off-site parking near the Property to meet the requirement.



**BOROUGH OF HIGHLANDS  
COUNTY OF MONMOUTH**

## **LAND USE BOARD RESOLUTION 2024-16**

### **MEMORIALIZATION OF PRELIMINARY AND FINAL SITE PLAN APPROVAL**

**IN THE MATTER OF 60 BAY AVE HIGHLANDS LLC  
APPLICATION NO. LUB 2024-02**

**Approved: August 8, 2024  
Memorialized: September 12, 2024**

**WHEREAS**, an application for preliminary and final site plan approval has been made to the Borough of Highlands Land Use Board (hereinafter referred to as the "Board") by 60 Bay Ave Highlands LLC (hereinafter referred to as the "Applicant") on lands known and designated as Block 42, Lot 1, as depicted on the Tax Map of the Borough of Highlands (hereinafter "Borough"), and more commonly known as 60 Bay Avenue in the CBD (Central Business) Zone and CBD Redevelopment Overlay 2 – Gateway Parcels (C-RO-2) Zone; and

**WHEREAS**, a public hearing was held before the Board on August 8, 2024, with regard to this application; and

**WHEREAS**, the Board has heard testimony and comments from the Applicant, witnesses and consultants, and with the public having had an opportunity to be heard; and

**WHEREAS**, a complete application has been filed, the fees as required by Borough Ordinance have been paid, and it otherwise appears that the jurisdiction and powers of the Board have been properly invoked and exercised.

**NOW, THEREFORE**, does the Highlands Land Use Board make the following findings of fact and conclusions of law with regard to this application:

1. The subject Property contains 6,625 square feet (0.147 acres) with frontage along Bay Avenue (County Route 8) South Street and Shrewsbury Avenue within the Central Business



District (CBD) Zone and the CBD Redevelopment Overlay 2 Zone – Gateway Parcels (C-RO-2) Zone. The adjacent property, Lot 15, is located within the same zone, and adjacent residential Lot 7 is located within the R-2.02 District. The subject Property is located within the AE Flood Hazard zone, partially in the Coastal A zone, and in the Limit of the Moderate Wave Action (LiMWa) delineation area.

2. The subject Property is improved with a three-story multi-family dwelling.

3. The Applicant is seeking preliminary and final major site plan approval to move and elevate the existing three-story multi-family residential building, complete renovations, provide ground floor storage and garage parking, and construct two extensions, decks, and associated site improvements. The Applicant proposes to expand the existing multi-family residential building by increasing the number of units for a total of five (5) units and will include a one (1) one-car garage, two (2) 1.5-car garages, and one (1) two-car garage.

4. Counsel for the Applicant, Donna Jennings, Esq., stated that the Applicant was seeking preliminary and final site plan approval with design waiver relief to elevate the existing four (4) unit residential building and add an additional residential unit. Ms. Jennings identified the subject Property as Block 42, Lot 1 with the address of 60 Bay Avenue and located within the CBD (Central Business) Zone and CBD Redevelopment Overlay 2 – Gateway Parcels (C-RO-2) Zone. She stated that the ground floor would contain garages and storage.

5. The Applicant's Engineer, Douglas Clelland, P.E., introduced a Neighborhood Colorized Aerial dated July 26, 2024 as Exhibit A-1. Mr. Clelland identified the subject Property as Block 42, Lot 1 with the address of 60 Bay Avenue and located within the CBD (Central Business) Zone and CBD Redevelopment Overlay 2–Gateway Parcels (C-RO-2) Zone. He stated that the



subject Property contained three (3) frontages which included Bay Avenue, South Street, and Shrewsbury Avenue. Mr. Clelland further testified that other residential lots were located to the west of the subject Property and a park was located across South Street and Shrewsbury Avenue. He described the area as a mix of commercial, residential, and multi-family residential uses.

6. Mr. Clelland further testified that the Applicant was proposing to relocate, elevate, and expand the existing multi-family residential building. Mr. Clelland introduced a Blown-up Version of the Neighborhood Colorized Aerial dated July 26, 2024 as Exhibit A-2. He explained that the Applicant was proposing to provide a new driveway on the Bay Avenue frontage and as well as a new driveway on Shrewsbury Avenue frontage. He stated that the ground level would contain garages and storage. Mr. Clelland further testified that a multi-level deck would surround the building and that a walkway would connect to the sidewalk. He then confirmed that the structure currently had four (4) units, and that the Applicant was proposing an additional unit which would be located in the addition to the building resulting in a total of five (5) residential units.

7. Mr. Clelland also confirmed that the proposal did not require any variance relief. He stated that the Applicant was, however, seeking design waiver relief from the driveway width at the curb of 19.09 feet where a maximum of 18 feet at the curb was permitted. Mr. Clelland stated that the existing driveway width at the curb was 30 feet and that the proposed driveway width would be an improvement from the existing condition. He further testified that the wider driveway was necessary because of the unique shape of the subject Property. He explained that the unique shape required the driveway to be at an angle to the garage and that the wider

driveway allowed cars to maneuver into the garage while also providing two (2) parking spaces within the driveway.

8. Mr. Clelland further testified that the proposal complied with the EV charging space regulations. He explained that EV chargers were only required to be installed for developments with ten (10) parking spaces or greater whereas only seven (7) parking spaces were proposed. Mr. Clelland also stated that the Ordinance permitted the inclusion of on-street parking spaces in the calculation and identified three (3) on-street parking spaces provided along the frontages. He explained that the number of parking spaces might require a *de minimis* exception from the Residential Site Improvement Standards (RSIS). Mr. Clelland testified that one (1) tandem two-car garage was proposed which would be accessed from Shrewsbury Avenue. He also stated that two (2) 1.5-car garages which only equated to one (1) parking space, would be accessed from Bay Avenue, and a one (1) one-car garage would be accessed from Bay Avenue.

9. Mr. Clelland further testified that he had observed the available street parking within 200 feet of the subject Property on two occasions. He stated that he observed the subject Property on Friday, July 26, 2024 at 6:00 p.m. and Saturday, July 27, 2024 at 2:00 p.m. Mr. Clelland explained that he observed a total of fourteen (14) on-street parking spaces available on Friday evening, none of which were on Shrewsbury Avenue. He also stated that a total of six (6) on-street parking spaces were available on Saturday afternoon.

10. Mr. Clelland further testified that all new utilities would be provided to the building and that electric would be underground. He also stated that the proposal would result in an increase in impervious coverage but was not classified as a major development for

stormwater management purposes. Mr. Clelland also stated that the impervious coverage would comply with all bulk requirements. He further testified that the roof leaders would be drained to the existing stormwater inlet within South Street. Mr. Clelland explained that the proposed roof leaders would reduce the stormwater sheet flow because the existing building did not have any gutters. He further testified that the grade of the subject Property would be pitched toward the streets away from the adjacent lots.

11. Mr. Clelland also stated that trash cans would be located at the rear of the building and then taken out to the street for pick up. He explained that the location of the trash storage was located at the northwesterly side of the building near the existing fence.

12. Mr. Clelland further testified that the Applicant was proposing residential light fixtures similar to the existing light fixtures but would require design waiver relief. He stated that the proposed luminosity was the minimum necessary for safety while also providing the minimal amount of impact. Mr. Clelland also believed that the lighting would also illuminate the driveway for safe ingress and egress. Mr. Clelland further testified that the 1.7 footcandles provided a blend with the existing on-street lighting which was included within the analysis. He also confirmed that the illumination was 0.6 footcandles at the property line.

13. Mr. Clelland further testified that the existing street trees would remain. He stated that evergreen trees would also be planted in order to provide a screen for Lot 2. Mr. Clelland then identified an existing fence located on Lot 15 along the shared property line. He stated that the Applicant was proposing a fence that would connect to the existing Lot 15 fence at a 90-degree angle and run along the property line with Lot 2. Mr. Clelland explained that two (2) shade trees would be provided.



14. Mr. Clelland also stated that the Applicant would apply to the NJDEP for CAFRA permit. He believed that the proposed elevation would be compliant with all regulations. He stated that the Applicant would also apply to Monmouth County Planning Board because Bay Avenue was a county road.

15. In response to questions from the Board Engineer, Carmela Roberts, P.E., CME, CPWM, Mr. Clelland testified that the building was being enlarged and relocated. He also stated that the Zoning Permit denial was not based upon the Redevelopment Plan standards.

16. In response to further questions from the Board Engineer, Mr. Clelland testified that the tandem garage and the driveway parking space directly in front of the garage would be assigned to the three-bedroom unit which was anticipated to be owned by the owner of the building. He also stated that the three (3) of the other units have a garage space and that the fifth unit would have a parking space within the driveway. Mr. Clelland agreed to provide a turning analysis for the driveway. He then explained that the purpose of the wider driveway was to provide an additional 9 ft. x 18 ft. parking space within the driveway.

17. In response to further questions from the Board Engineer, Mr. Clelland testified that the Applicant was proposing three (3) curb cuts along Bay Avenue. He stated that one (1) curb cut was presently existing and was wide enough for two (2) driveways. He further testified that the third curb cut would eliminate one (1) existing on-street parking space. Mr. Clelland explained that the distance from the curb cut closest to the intersection was 26.91 feet to the property line at the intersection, therefore the distance to the curb of the intersection was a little more than 26.91 feet. He also stated that the existing curb cut was the western most curb cut.

Mr. Clelland further testified that two (2) new curb cuts were proposed. He stated that the curb cuts would be subject to review and approval by the Monmouth County Planning Board.

18. Ms. Roberts stated that the lighting of 1.7 footcandles on the sidewalk was excessive. She explained that it was not the responsibility of a residential building to illuminate a public sidewalk. Mr. Clelland agreed to work with the Board Engineer to reduce the lighting at the property line to become compliant, thereby eliminating need for design waiver for lighting.

19. In response to questions from the Board Attorney, Ms. Jennings represented that the proposal was not subject to the affordable housing requirements because only one (1) unit was being added, but the Applicant would comply with the affordable housing requirements if applicable.

20. In response to questions from the Board, Mr. Clelland testified that the fence along Lot 2 could transition to a four (4) foot fence within the front yard. He stated that the fence would not obstruct sight distance at the driveway. Mr. Clelland explained that the existing fence on Lot 15 transitioned from six (6) feet in height to four (4) feet in height approximately fifteen (15) feet setback from the front property line. He also stated that the fence on Lot 15 encroached slightly on the subject Property. He agreed to discuss with the owner of Lot 15 correcting the encroachment if the fence were ever to be replaced.

21. In response to questions from the Board, Mr. Clelland confirmed that there was one (1) driveway on Shrewsbury Avenue and three (3) driveways on Bay Avenue. He stated that drivers within the driveway on Bay Avenue would back out onto Bay Avenue. He testified that the minimum front yard setback was two (2) feet, whereas five (5) feet was proposed on Bay

Avenue, 8.3 feet was proposed on South Street, and 8.05 feet was proposed on Shrewsbury Avenue.

22. The Board expressed its concern with drivers backing out onto Bay Avenue, particularly considering the proximity of the nearby curve. Mr. Clelland testified that he was unaware of any issues with the current driveway on Bay Avenue.

23. In response to further questions from the Board, Mr. Clelland testified that the distance between the curb cuts was approximately thirty-five (35) feet, which he opined was sufficient for one (1) on-street parking space. He also stated that utilities were available within Shrewsbury Avenue and South Street if a moratorium preventing a street opening on Bay Avenue.

24. In response to further questions from the Board, Mr. Clelland testified that the existing building contained three (3) two-bedroom units and one (1) studio unit. He stated that the Applicant was proposing one (1) additional unit.

25. The hearing was then opened to the public for questions of the Applicant's Engineer, at which time Ed Sharkey, 9 Shrewsbury Avenue, asked why the commercial building setback requirements did not apply to the multi-family building. Mr. Clelland stated that the building was residential, not commercial and therefore the commercial building standards did not apply. In response to further questions from Mr. Sharkey, Mr. Clelland stated that the trash cans would be brought out to Shrewsbury Avenue and Bay Avenue. He testified that a row of eighteen (18) evergreen trees would also be planted along the property line with Lot 2 which has Mr. Sharkey's property. Mr. Clelland then confirmed that the two-car garage would be tandem. He also stated that the proposed multi-family building was compliant with the code and the zone therefore it was not necessary for the Applicant to consider alternative uses. Mr. Clelland further



testified that the maximum permitted impervious coverage was 80%, whereas 62% was proposed.

26. The Applicant's Architect, Salvatore LaFerlita, R.A., AIA, testified that the Applicant was proposing to lift the building, replace the foundation, and move the building eight (8) feet toward Bay Avenue. He stated that the Applicant was also proposing to construct an addition on the side of the building and along the Shrewsbury Avenue frontage. Mr. LaFerlita further testified that three (3) units would be served by a one-car garage and that the largest unit would receive the tandem two-car garage and one (1) driveway space. He also noted that one (1) unit would receive additional driveway space. Mr. LaFerlita explained that gravel could be placed within the five (5) feet between the driveway and the property line, which would eliminate the need for the wider driveway at the curb because the gravel would allow a wider turn. The Applicant agreed to provide such gravel to comply with the required driveway width at the curb, thereby eliminating the need for the design waiver. He also stated that bike racks would be located inside and outside of the building. He stated that the building would contain an elevator.

27. Mr. LaFerlita further testified that the first floor would contain two (2) two-bedroom units. He explained that the existing studio apartment would be expanded into the addition to make it two (2) bedrooms. Mr. LaFerlita also stated that the existing deck would be enclosed to provide living space. He explained that an additional deck area of approximately 100 square feet would also be provided. Mr. LaFerlita further testified that the second floor would include two (2) two-bedroom units similar to the first floor. He stated also located on the second floor would also have a bedroom belonging to the third floor three-bedroom unit which would be accessed by a staircase internal to the three-bedroom unit. Mr. LaFerlita testified that the

third floor contained two (2) out of three (3) of the three-bedroom unit along with decks. He also stated that the A/C equipment would be located on a roof deck near the elevator. Mr. LaFerlita stated that the main entry to a large porch would be located on the first floor. He noted that the existing yellow color would be changed. He introduced a Color Rendering of the Bay Avenue Elevation as Exhibit A-3.

28. In response to questions from the Board, Mr. LaFerlita testified that the floor elevation was at fourteen (14) feet and was compliant with FEMA Flood Hazard regulations. He further testified that the building would comply with the Coastal A & AE requirements by being built to VE requirements. He stated that the ground floor may require breakaway walls.

29. The hearing was then opened to the public, at which time Ed Sharkey, 9 Shrewsbury Avenue, asked the size of the decks. Mr. LaFerlita testified that the decks were a length of twenty-five (25) to thirty (30) feet with a depth of ten (10) feet. Mr. LaFerlita also stated that the size of the decks was compliant. Mr. Sharkey asked if the building could also be moved toward the southeast. Mr. LaFerlita stated that such reorientation would be difficult. In response to further questions from Mr. Sharkey, Mr. LaFerlita testified that an additional parking space could be provided under the deck, however, it would require an additional curb cut. Mr. LaFerlita stated that the trash cans could also be stored within the garages. He further testified that the existing square footage of the building was approximately 5,000 square feet and approximately 7,000 square feet was proposed.

30. Mr. Sharkey also testified that the previous owner of the subject Property had imported soil, which changed the stormwater flow pattern. He stated his property was negatively impacted by the change in stormwater flow pattern. Mr. Clelland testified that the subject



Property would be regraded when the building was lifted. He opined that the stormwater would then flow toward the streets and away from adjacent properties. Mr. Sharkey also reiterated his interpretation of the Ordinance requiring the building to have setback of twelve (12) feet as is required of commercial buildings within the CBD Zone.

31. There were no other members of the public expressing an interest in this application.

**WHEREAS**, the Highlands Land Use Board, having reviewed the proposed application and having considered the impact of the proposed application on the Borough and its residents to determine whether it is in furtherance of the Municipal Land Use Law; and having considered whether the proposal is conducive to the orderly development of the site and the general area in which it is located pursuant to the land use and zoning ordinances of the Borough of Highlands; and upon the imposition of specific conditions to be fulfilled, hereby determines that the Applicant's request for preliminary site plan approval pursuant to N.J.S.A. 40:55D-46 and final site plan approval pursuant to N.J.S.A. 40:55D-50 should be granted in this instance.

The Board finds that the Applicant has proposed to move and elevate and existing three-story multi-family residential building, complete renovations, provide ground floor storage and garage parking, and construct two extensions, decks, and associated site improvements. The proposal does not require any variance or design waiver relief. The Board finds that the Applicant had initially requested several design waivers, but has agreed to comply with all design standards. The proposal is therefore as of right. The Board finds that the proposal complies with all requirements of the site plan, zoning and design criteria Ordinances. A planning variance required by the MLUL to grant site plan approval when all Ordinance requirements are complied

with an ingress and egress is safe. There has not been any testimony which could lead to the conclusion that ingress and egress was unsafe. The applicant is also subject to the conditions expressed herein. The Board is therefore required to grant preliminary site plan approval pursuant to N.J.S.A. 40:55D-46 and final site plan approval pursuant to N.J.S.A. 40:55D-50.


**NOW, THEREFORE, BE IT RESOLVED** by the Land Use Board of the Borough of Highlands on this 12<sup>th</sup> day of September 2024, that the action of the Land Use Board taken on August 8, 2024, granting application no. LUB 2024-02, for preliminary site plan approval pursuant to N.J.S.A. 40:55D-46 and final site plan approval pursuant to N.J.S.A. 40:55D-50 is hereby memorialized as follows:

The application is granted subject to the following conditions:

1. All site improvements shall take place in strict compliance with the testimony and with the plans and drawings which have been submitted to the Board with this application, or to be revised.
2. Except where specifically modified by the terms of this resolution, the Applicant shall comply with all recommendations contained in the Reports of the Board professionals.
3. The Applicant shall comply with all applicable design standards and eliminate all design waiver relief pursuant to N.J.S.A. 40:55D-51.
4. The fence along the shared property line with Lot 2 shall not exceed a height of four (4) feet within the front yard.
5. The Applicant shall submit a compliant lighting plan subject to the review and approval of the Board Engineer.
6. The Applicant shall submit a revised plan depicting vehicles maneuvering from the garages and driveways into the roadways subject to review and approval of the Board Engineer.
7. The driveway width at the curb shall not exceed eighteen (18) feet and shall comply with all Ordinance requirements.
8. The Applicant shall provide gravel between the Shrewsbury driveway and the property line shared with Lot 2 sufficient for turning maneuver into the driveway parking space subject to review and approval by the Board Engineer.
9. Any future modifications to this approved plan must be submitted to the Board for approval.

10. The Applicant shall apply for a CAFRA permit or FHA permit, as deemed necessary by the applicable New Jersey Department of Environmental Protection regulations.
11. The Applicant shall extend new utilities to the subject Property. The Applicant shall be solely responsible for securing any necessary utility easements.
12. The Applicant shall comply with any applicable affordable housing requirements.
13. The tandem parking spaces shall be for the exclusive use of the three (3) bedroom unit.
14. The fence encroachment shall be eliminated if the fence is replaced.
15. The A/C unit for the three-bedroom unit shall be located on the roof near the elevator.
16. The Applicant shall provide a certificate that taxes are paid to date of approval.
17. Payment of all fees, costs, escrows due and to become due. Any monies are to be paid within twenty (20) days of said request by the Board Secretary.
18. Subject to all other applicable rules, regulations, ordinances and statutes of the Borough of Highlands, County of Monmouth, State of New Jersey or any other jurisdiction.

**BE IT FURTHER RESOLVED** that the Board secretary is hereby authorized and directed to cause a notice of this decision to be published in the official newspaper at the Applicant's expense and to send a certified copy of this Resolution to the Applicant and to the Borough Clerk, Engineer, Attorney and Tax Assessor, and shall make same available to all other interested parties.



Robert Knox, Chairman  
Borough of Highlands Land Use Board



ON MOTION OF: Chair Knox

SECONDED BY: Mr. Zill

ROLL CALL:

YES: Chief Burton, Mr. Kutosh, Mr. Montecalvo, Mr. Zill, Mr. Cramer, Chair Knox

NO: None

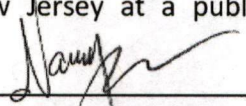
ABSTAINED: None

INELIGIBLE: Mayor Broullon, Ms. LaRussa, Vice Chair Tierney

ABSENT: Councilmember Olszewski, Ms. Chang, Ms. Vickery

DATED: September 12, 2024

I hereby certify this to be a true and accurate copy of the Resolution adopted by the Highlands Land Use Board, Monmouth County, New Jersey at a public meeting held on September 12, 2024.

  
\_\_\_\_\_  
Nancy Tran, Secretary  
Borough of Highlands Land Use Board





## MONMOUTH COUNTY DEVELOPMENT REVIEW COMMITTEE

### Development Application Action

FILE NUMBER: HSP10591

Application:	60 Bay Avenue Multifamily Residence	Municipality:	Highlands
Applicant:	60 Bay Avenue Highlands, LLC	Municipal Agency:	Planning Board
Owner:	Applicant	Block:	42
Design Professional:	InSite Engineering	Lot:	1
Plan Date:	2/20/2025	Date Received:	3/7/2024
Project Description:	Additional apartment and off-street parking at existing multifamily residence		
Action Taken By:	X Development Review Committee Planning Director	Approval Status:	REQUEST INFORMATION
		Action Date:	3/24/2025

If disapproved, the reasons listed below or on the attached sheet must be rectified before approval will be issued. If conditionally approved, the conditions listed below or on the attached sheet shall be satisfactorily addressed before final approval is issued. This action does not release the applicant from obtaining a consistency determination pursuant to N.J.A.C. 7:8-1 et seq. (Monmouth County Areawide Water Quality Management Plan). Prior to commencing any work within the right-of-way of a county highway or before doing any work that affects a county bridge, the applicant is required to obtain a road opening permit from the Monmouth County Highway Department. A review of the location of subsurface utilities within county road rights-of-way will be conducted by the County Highway Department upon application for a road opening permit. Prior to planting or removal of trees or shrubs within or along the right-of-way of a county highway, the applicant is required to obtain a permit from the Monmouth County Shade Tree Commission. Note: County review is made only on items covered by statutory authority.

At its March 24, 2025 meeting, the Development Review Committee denied the following waiver requests based on a finding that the need for the waivers is created by the applicant's proposed site layout and are not related to the configuration of the property:

- §5.1-1 requires a dedication of additional right-of-way to conform to the Monmouth County Road Plan, whereas the applicant proposes an easement.
- §5.2-3.1B provides that access to a county road shall not be permitted if the site abuts a municipal road and access to the municipal road can be reasonably provided. The applicant proposes access to the site from Bay Avenue (County Route 8).
- §5.2-3.1C provides that driveways shall be designed so that vehicles are not forced to back out into a county road, whereas the driveway along Bay Avenue would require vehicles to back out into the county road.
- §5.2-3.1I provides that no portion of a driveway shall be located within ten feet of a side property line, whereas a setback of approximately 3.5 feet is proposed.

**The applicant shall address the following:**

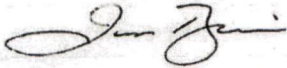
1. Address the comments in the memorandum prepared by Michael T. Brusca, dated March 24, 2025.
- The DRC suggested the applicant should meet with DRC and Borough staff to discuss the intent and requirements of the Bay Avenue Redevelopment Plan relative to this property.

Monmouth County Planning Board  
Hall of Records Annex  
1 E. Main Street  
Freehold, NJ 07728-1255

Phone: 732-431-7460  
Email: DevelopmentReview@co.monmouth.nj.us

Docusign Envelope ID: 1FBAAEE9F-C41F-42F7-801C-48C6D96A7958

Provide an itemized response. Revised plans shall be accompanied by the plan revision fee; **\$300.00**.  
Submit questions via email to [DevelopmentReview@co.monmouth.nj.us](mailto:DevelopmentReview@co.monmouth.nj.us).



Joseph Barris, P.P., A.I.C.P., C.F.M.  
Director of Planning  
For the Development Review Committee

cc: InSite Engineering  
Donna M. Jennings, Esq.  
Mark R. Aikins, Esq.  
J. Ettore; V. Cardone; T. Lombardi; V. Zabat; M. Brusca  
Highway Department  
Construction Official  
HSP10591 1459 RI

Monmouth County Planning Board  
Hall of Records Annex  
1 E. Main Street  
Freehold, NJ 07728-1255

Phone: 732-431-7460  
Email: [DevelopmentReview@co.monmouth.nj.us](mailto:DevelopmentReview@co.monmouth.nj.us)

Page 2 of 2



# The Board of County Commissioners of the County of Monmouth

## DEPARTMENT OF PUBLIC WORKS & ENGINEERING

**JOHN W. TOBIA**  
Director of Public Works & Engineering  
Email: jwtochia@co.monmouth.nj.us



**JOSEPH M. ETTORE**  
County Engineer  
Email: engineer@co.monmouth.nj.us

**DIVISION OF ENGINEERING  
& TRAFFIC SAFETY**  
Hall of Records Annex  
Freehold, New Jersey 07728  
Telephone: (732) 431-7760  
Fax: (732) 431-7765

March 24, 2025

### MEMORANDUM

**TO:** Joe Barris, Director of Planning

**FROM:** Michael Brusca, Assistant Engineer, Civil

**RE:** HSP10591 - 60 Bay Ave. Highlands  
County Route 8 - Bay Avenue  
Block 42 - Lot 1  
Borough of Highlands

MB

The following items were received by this office in connection with the above-referenced application:

- Preliminary & Final Major Site Plan for Proposed Multi-Family Residence, Block 42, Lot 1, 60 Bay Avenue, Borough of Highlands, Monmouth County, New Jersey, prepared by Douglas Clelland, P.E., of Insite, dated February 5, 2024, last revised February 20, 2025, received March 7, 2025.

The following comments/recommendations are made to the Development Review Committee (DRC) pursuant to the Design Standards set forth in the Monmouth County Development Regulations (MCDR):

**\*\*NOTE TO APPLICANT/APPLICANTS ENGINEER INVOLVING RECENT CHANGES TO C.R. 8, BAY AVENUE:**

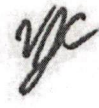
In October of 2024, C.R. 8, Bay Avenue was repaved and as such is under a moratorium for 5 years. The Grading, Drainage, & Utility Plan, sheet C400 indicates sanitary, water service, natural gas, and underground electrical service connections within the C.R. 8 right of way which will require trenching. Indicate pavement repair to be the full width of Bay Avenue and 25-ft beyond the outer limits of the trenches longitudinally.



To: Joe Barris, Director of Planning  
3/14/25

Page: 2 of 3  
HSP10591\_60 Bay Ave. Highlands

**Review contributors:**

Vincent J. Cardone, P.E., Principal Engineer II, Traffic Safety and Operations 

**General Civil Comments:**

GC2. Was the right-of-way established at 30-ft from the centerline of C.R. 8, Bay Avenue? If so, indicate on the site plans and provide dimension. Indicate the deed book and page. Provide the following information:

- a. Metes and bounds of the dedication;
- b. area of dedication, in acres and sq.ft.;
- c. grantee of dedication;
- d. deed of dedication, with parcel description for review.

If right-of way was not established as above, then provide a proposed dedication to 30-ft from the centerline of C.R. 8, Bay Avenue. Provide the information requested in comments 3a – 3d

*Comment from 1/13/25 memo: The applicant's engineer has responded with a request for the Development Review Committee to grant an easement in lieu of a dedication citing setback variances as a hardship. In consideration of granting the easement, the DRC should consider the location of the footing of the garage(s) wall as it overlaps the boundary of and would impact the area of the proposed easement.*

**PARTIALLY ADDRESSED:** Building geometry shifted to no longer overlap easement which allows recommendation of granting the easement in lieu of a dedication. If approved by the Development Review Committee, provide deed of easement for review by the County surveyor.

GC5. The Site Layout Plan, sheet C300, has several discrepancies:

- b. the driveway apron is indicated to be concrete by callout and hatching. However, the existing frontage is brick pavers and another label calls for the pavers to be removed and reset. Additionally, the flares of the driveway are not hatched as concrete.

**PARTIALLY ADDRESSED:** Indicate proposed full height and proposed depressed curb on the C.R. 8 frontage as concrete for clarification.

**Traffic Comments:**

T2. Per Monmouth County Design Regulations § 5.2-1.1D:

- *A minimum distance of at least 25' shall be provided between the closest edges of the driveways.*
- *No portion of a driveway shall be located within 10' of a side property line.*

The proposed width between two of the more proximate residential driveways (NW) fronting C.R. 8, Bay Avenue is 5 ft. The setback for closest (NW) access driveway is 8 ft. The proposed driveway designs do not satisfy Monmouth County Design Regulations and should be revised for compliance.

*Comment from 1/13/25 memo: The revision of the driveway configurations to a shared driveway satisfies the 25' minimum between spacing between driveways. However, the 5-ft apron flare is within 10-ft of the property line. Per Monmouth County Development Regulations, vol. 2, §5.2-3.1I, driveway apron flares and corner radii are considered as portions of the driveway.*

**PARTIALLY ADDRESSED:** The Site Layout Plan indicates the apron flares do not comply with MCDR §5.2-3.1I and will require a waiver request from the Development



To: Joe Barris, Director of Planning  
3/14/25

Page: 3 of 3  
HSP10591\_60 Bay Ave. Highlands

**Review Committee.** Support for the request can be recommended based on the applicant's modifications to the driveway fronting C.R. 8 which were requested by the County.

- T3. Per Monmouth County Design Regulations § 5.2-3.1B: *access to a County Road shall not be permitted if the site plan also abuts a municipal road or adjacent driveway and access to the municipal road or adjacent property can be reasonably provided.*  
As the site design allows for potential access to a municipal road, the three residential driveways become design nonconformities.  
*Comment from 1/13/25 memo: The Development Review Committee has the option to grant a waiver for access to a County road at their discretion and upon request of the applicant.*  
**NOT ADDRESSED:** Request for a waiver from Monmouth County Design Regulations § 5.2-3.1B can be recommended based on the applicant's modifications to the driveway fronting C.R. 8 which were requested by the County.
- T4. Per Monmouth County Design Regulations § 5.2-3.1C, *driveways on a county road shall be designed so that vehicles are not forced to back out into the County Road.* Additionally, the three driveways fronting C.R. 8, Bay Avenue are not in compliance with MCDR § 5.2-1.2A, On-Site Vehicle Turn Around, *all driveways to the county road on minor subdivisions must be designed with provisions for on-site vehicle turn-around (see figure 2) so that vehicles are not forced to back out into the county road. At a minimum, the driveway must be designed in accordance with the passenger vehicle turning radius templates contained in the current edition of A Policy on Geometric Design of Highways and Streets published by American Association of State Highway and Transportation Officials (AASHTO).* The three driveways fronting C.R. 8, Bay Avenue were not designed with vehicle turnarounds. Revise for compliance with the above stated Monmouth County Design Regulations.  
*Comment from 1/13/25 memo: The Development Review Committee has the option to grant a waiver for lack of on-site vehicle turn around at their discretion and upon request of the applicant. \*\*It should be noted the existing building has on-site provisions for vehicle turn-around.*  
**NOT ADDRESSED:** Request for a waiver from Monmouth County Design Regulations § 5.2-1.2A can be recommended based on the applicant's modifications to the driveway fronting C.R. 8 which were requested by the County.

Please request the applicant and the engineer to provide an itemized response to these comments. Please advise the applicant that responses to this Request for Information may result in additional requests and / or conditions on the application.

cc: Joseph M. Ettore, County Engineer  
Tom Lombardi, Supervising Engineer  
Vince Cardone, Principal Engineer II  
Victorino Zabat, Principal Engineer  
Dave Schmetterer, Asst. Planning Director  
Victor Furmanec, Principal Planner  
Kyle DeGroot, Senior Planner  
Jason Pene, Assistant Planner  
Jeannine Smith, Planning Aide



# PRELIMINARY & FINAL MAJOR SITE PLAN FOR PROPOSED MULTI-FAMILY RESIDENCE

## BLOCK 42, LOT 1 TAX MAP SHEET #11 60 BAY AVENUE

## BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY

### PROPERTY OWNERS WITHIN 200' (2/21/2024)

Block/Lot	Current Owner	Mailing Address		
1319-41-8	75 BAY AVENUE SWANTON LLC	75 BAY AVENUE	HIGHLANDS NJ	07732
1319-41-9	DOUITY DOUGLAS & BAYARD	88 BAY AVENUE	HIGHLANDS NJ	07732
1319-41-10	AMERICAN LEGION	BAY AVE	HIGHLANDS NJ	07732
1319-42-2	SHARKEY MARY T	68 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-13	WEST CARL & BUSICHIO KARIN	78 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-14	TRI STATE REALTY LLC	484 SICHAMORE AVE STE 100	SHREWSBURY NJ	07702
1319-39-1.01	BOROUGH OF HIGHLANDS	171 BAY AVE	HIGHLANDS NJ	07732
1319-39-1.02	BOROUGH OF HIGHLANDS	171 BAY AVE	HIGHLANDS NJ	07732
1319-42-3	PISANO BEVERLY	11 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-41-4	61 BAY AVENUE LLC	28 ATLANTIC AVENUE	OCEAN GROVE NJ	07756
1319-41-7	KEMPSON MATTHEW	30 SECOND STREET	HIGHLANDS NJ	07732
1319-42-9	KURDES LAWRENCE J & MARY-ALISON	8 BAY ST	HIGHLANDS NJ	07732
1319-41-2.01	BASKET EUGENE J	57 BAY AVENUE	HIGHLANDS NJ	07732
1319-43-3	REMIAS ROSE MARIE	22 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-12.01	RICCIARDONE BRIAN	163 FANNING STREET	STATEN ISLAND NY	10314
1319-42-15	SHARKEY HUGH & MARY	68 BAY AVENUE	HIGHLANDS NJ	07732
1319-43-1	LAURITANO VICTOR	18 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-43-2	FRANSON LOREEN	20 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-41-3	KU WALTER & EVA L	59 BAY AVENUE	HIGHLANDS NJ	07732
1319-42-4	HARTSGROVE TROY & JOY ANNE	13 SHREWSBURY AVE	HIGHLANDS NJ	07732
1319-42-5	STENSETH MARK D & ALECIA E	15 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-6	MAZZELLA KIM M	17 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-42-7	MENZA DAN & KAREN	19 SHREWSBURY AVENUE	HIGHLANDS NJ	07732
1319-41-5	SMITH MURRAY T	226 PARK STREET	MONTCLAIR NJ	07040
1319-38-01-17.01	MONAHAN WILLIAM	55 A BAY AVE	HIGHLANDS NJ	07732
1319-38-01-17.02	DAVIS COREY MOLZON & JOHN A	55 BAY AVENUE	HIGHLANDS NJ	07732
1319-38-01-17.03	KEETON RANDALL E & DALE ANN	53 BAY AVENUE	HIGHLANDS NJ	07732
1319-38-01-17.04	FEIGH ALICIA M	51 BAY AVENUE	HIGHLANDS NJ	07732
1319-38-01-17.05	ZHENG WU & QI SUM	27 SOUTH AVENUE	ATLANTIC HIGHLANDS NJ	07716
1319-41-6	KOEPEL RICHARD J & JOSEPH W	P.O. BOX 810	NAVESINK NJ	07752

### UTILITY CONTACTS

\* If you are located within 200 feet of a State Highway, you **MUST** notify the NJ Department of Transportation:

NJ Dept. of Transportation  
1035 Hwy Avenue  
PO Box 600  
Trenton, NJ 08625

\* If you are within 200 feet of a County owned road, you **MUST** notify the Monmouth County Planning Board:

Monmouth County Planning Board  
Hall of Records Annex 2<sup>nd</sup> Floor  
One East Main St.  
PO Box 1255  
Freehold, NJ 07728

JCP&L  
300 Madison Avenue  
PO Box 1911  
Morristown, NJ 07960

NEW JERSEY AMERICAN WATER COMPANY  
Attn: Construction Department  
661 Shrewsbury Ave  
Shrewsbury, NJ 07702

COMCAST COMMUNICATIONS OF MONMOUTH COUNTY  
Ron Bertrand, Construction Foreman  
403 South St.  
Eatontown, NJ 07724

VERIZON COMMUNICATIONS  
One Verizon Way  
Basking Ridge, NJ 07920

TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY  
Raymond J. Nierstoft, P.E., Executive Director  
PO Box 205, 100 Beverly Way  
Belford, NJ 07718

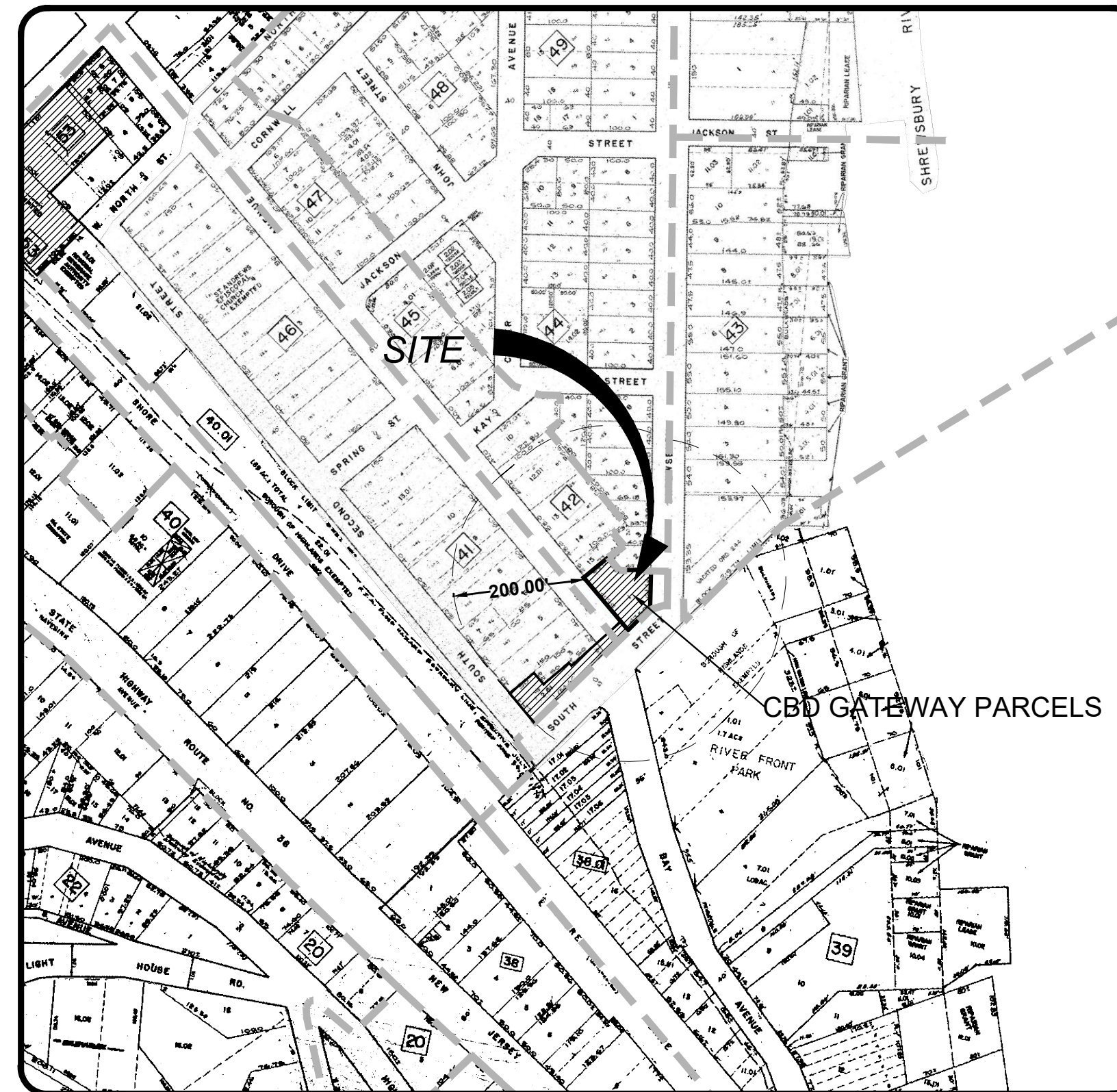
NEW JERSEY NATURAL GAS COMPANY  
Attn: Joan Purcaro  
PO Box 1464  
1415 Wyckoff Road  
Wall, NJ 07719

MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY  
Attn: Executive Director  
200 Harbor Way  
PO Box 184  
Belford, NJ 07718

### LAND USE BOARD APPROVAL

APPROVED BY THE BOROUGH OF HIGHLANDS LAND USE BOARD

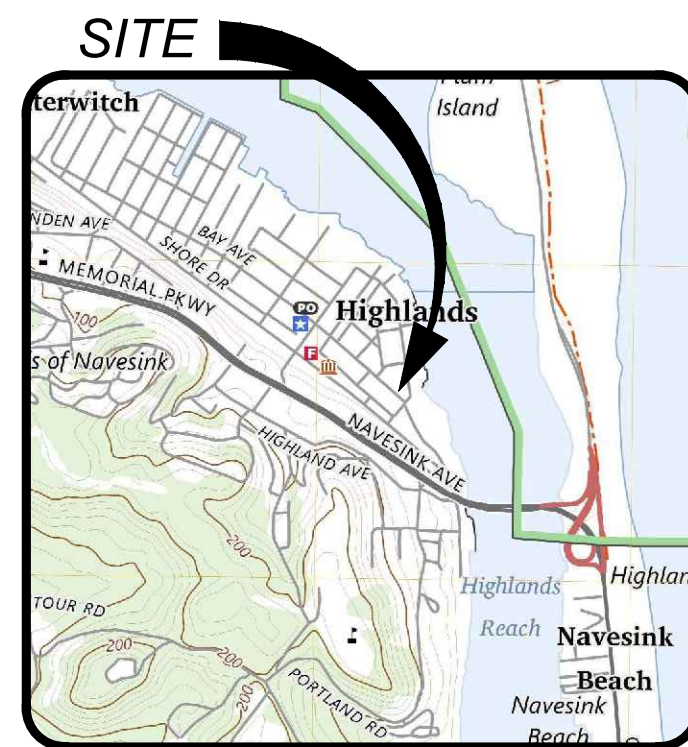
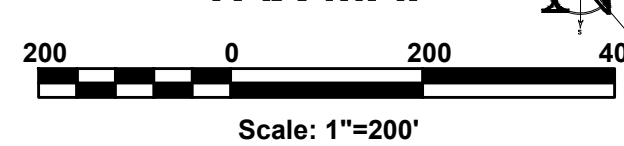
BOARD CHAIRPERSON	DATE
BOARD SECRETARY	DATE
BOARD ENGINEER	DATE



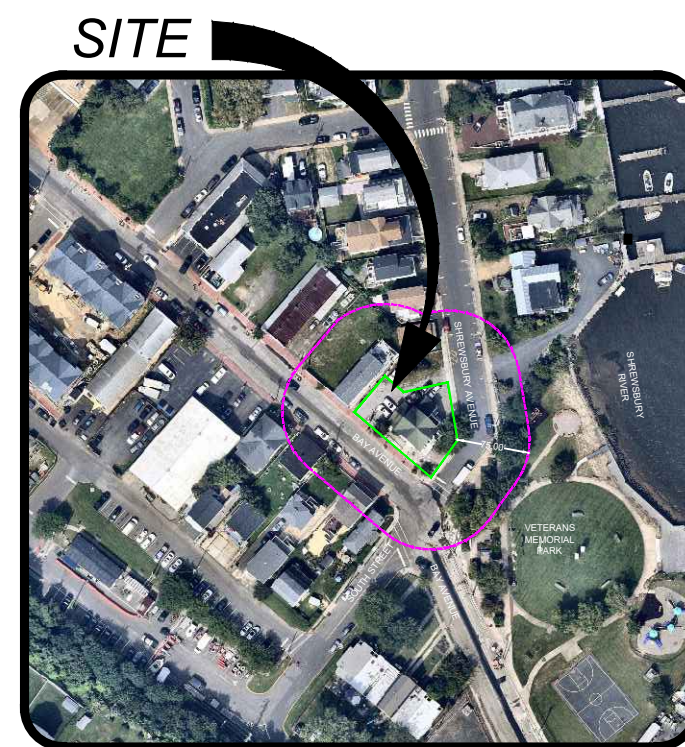
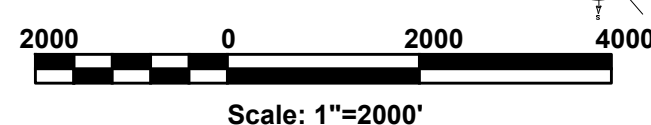
### ZONE

CBD	REDEVELOPMENT OVERLAY 2 ZONE (C-RO-2)
CBU	REDEVELOPMENT OVERLAY 3 ZONE (C-RO-3)
PB	PROFESSIONAL BUSINESS
R-1.01	SINGLE FAMILY RESIDENTIAL
R-2.02	SINGLE FAMILY RESIDENTIAL
R-4	ONE-FAMILY RESIDENTIAL
WC-1	WATERFRONT COMMERCIAL
WT-R	WATERFRONT TRANSITION RESIDENTIAL

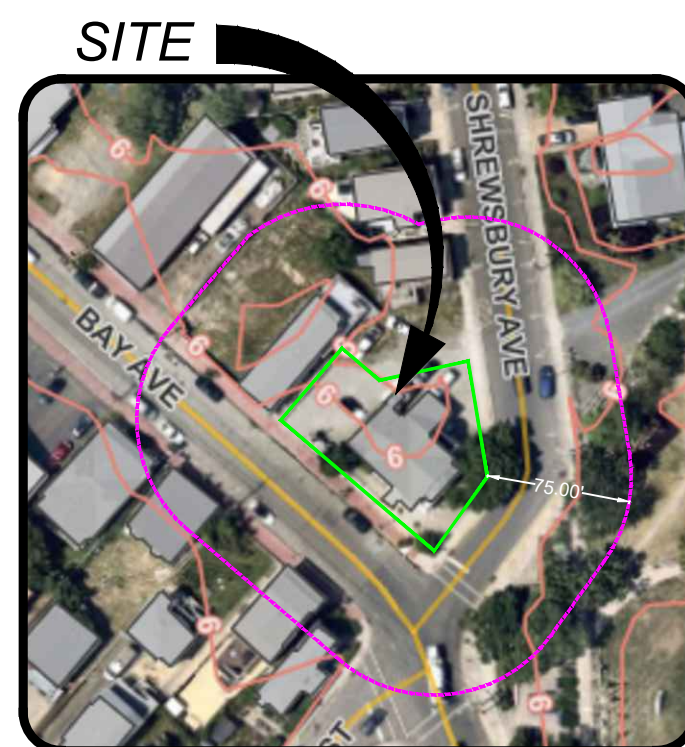
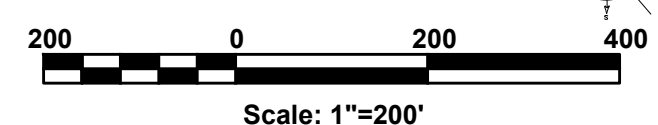
### TAX MAP



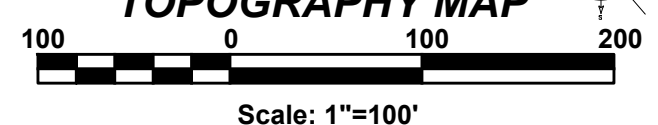
### USGS MAP



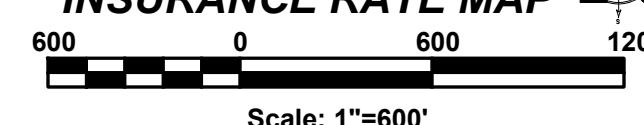
### LOCATION MAP



### MONMOUTH COUNTY TOPOGRAPHY MAP



### EFFECTIVE FLOOD INSURANCE RATE MAP



SHEET #	SHEET TITLE	INITIAL RELEASE	REV. DATE
C100	TITLE SHEET	02/05/24	04/10/25
C101	PLAN NOTES	02/05/24	04/10/25
C200	EXISTING CONDITIONS & SITE PREPARATION PLAN	02/05/24	04/10/25
C300	SITE LAYOUT PLAN	02/05/24	04/10/25
C400	GRADING, DRAINAGE & UTILITY PLAN	02/05/24	04/10/25
C600	LANDSCAPE PLAN	02/05/24	04/10/25
C601	LIGHTING PLAN - EXISTING CONDITIONS R.O.W. ONLY	06/05/24	04/10/25
C602	LIGHTING PLAN - PROPOSED CONDITIONS	02/05/24	04/10/25
C700	CONSTRUCTION DETAILS	11/20/24	04/10/25
C701	CONSTRUCTION DETAILS	02/05/24	04/10/25
C800	SOIL EROSION & SEDIMENT CONTROL PLAN	06/05/24	04/10/25
C801	SESC NOTES	02/05/24	04/10/25
C802	SESC DETAILS	02/05/24	04/10/25
C900	TURNING MOVEMENT PLAN	11/20/24	04/10/25
C901	TURNING MOVEMENT PLAN	11/20/24	04/10/25
C902	TURNING MOVEMENT PLAN	11/20/24	04/10/25
C903	TURNING MOVEMENT PLAN	11/20/24	04/10/25
C904	TURNING MOVEMENT PLAN	01/21/25	04/10/25
C905	TURNING MOVEMENT PLAN	01/21/25	04/10/25

### PROJECT INFORMATION

PROJECT NAME:

PROPOSED  
MULTI -  
FAMILY  
RESIDENCE

PROJECT LOCATION:

BLOCK 42, LOT 1  
60 BAY AVENUE  
BOROUGH OF HIGHLANDS,  
MONMOUTH COUNTY, NJ

OWNER:

60 BAY AVE HIGHLANDS, LLC  
60 BAY AVENUE  
HIGHLANDS, NJ 07732

APPLICANT:

60 BAY AVE HIGHLANDS, LLC  
60 BAY AVENUE  
HIGHLANDS, NJ 07732

### APPLICANT'S PROFESSIONALS

#### ATTORNEY:

DONNA M. JENNINGS ESQ.  
WILENTZ, GOLDMAN & SPITZER, PA  
90 WOODBRIDGE CENTER DRIVE, SUITE 900  
WOODBRIDGE, NJ 07095

#### ARCHITECT:

SALVATORE LA FERLITA, R.A.  
115 UNIVERSITY DRIVE  
LINCROFT, NJ 07738

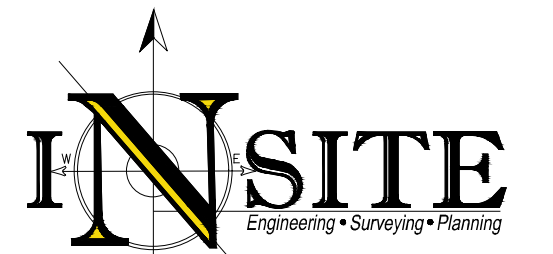
#### SURVEYOR:

INSITE SURVEYING, LLC  
1955 ROUTE 34, SUITE 1A  
WALL, NJ 07719



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COMMUNICATION, TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKERS	MAGENTA
PROPOSED EXCAVATION	WHITE



INSITE Engineering, LLC  
CERTIFICATE OF AUTHORIZATION: 24GA28083200  
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719  
732-531-7100 (PH) 732-531-7344 (FAX)  
InSite@InSiteEng.net www.InSiteEng.net

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PROFESSIONAL ENGINEER  
NJ PE 24GE05331000

### REVISIONS

Rev.#	Date	Comment
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/05/24	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
7	02/05/24	FOR RESOLUTION COMPLIANCE
6	12/05/24	FOR FSCD
5	11/20/24	FOR RESOLUTION COMPLIANCE
4	08/05/24	PER ATTORNEY
3	04/09/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: AS SHOWN DESIGNED BY: DDC

DATE: 02/05/24 DRAWN BY: AMC

JOB #: 23-2237-01 CHECKED BY: DDC

CAD ID: 23-2237-01/3

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PLAN INFORMATION

DRAWING TITLE:

PRELIMINARY & FINAL  
MAJOR SITE PLAN

SHEET TITLE:

TITLE SHEET

SHEET NO.

C100

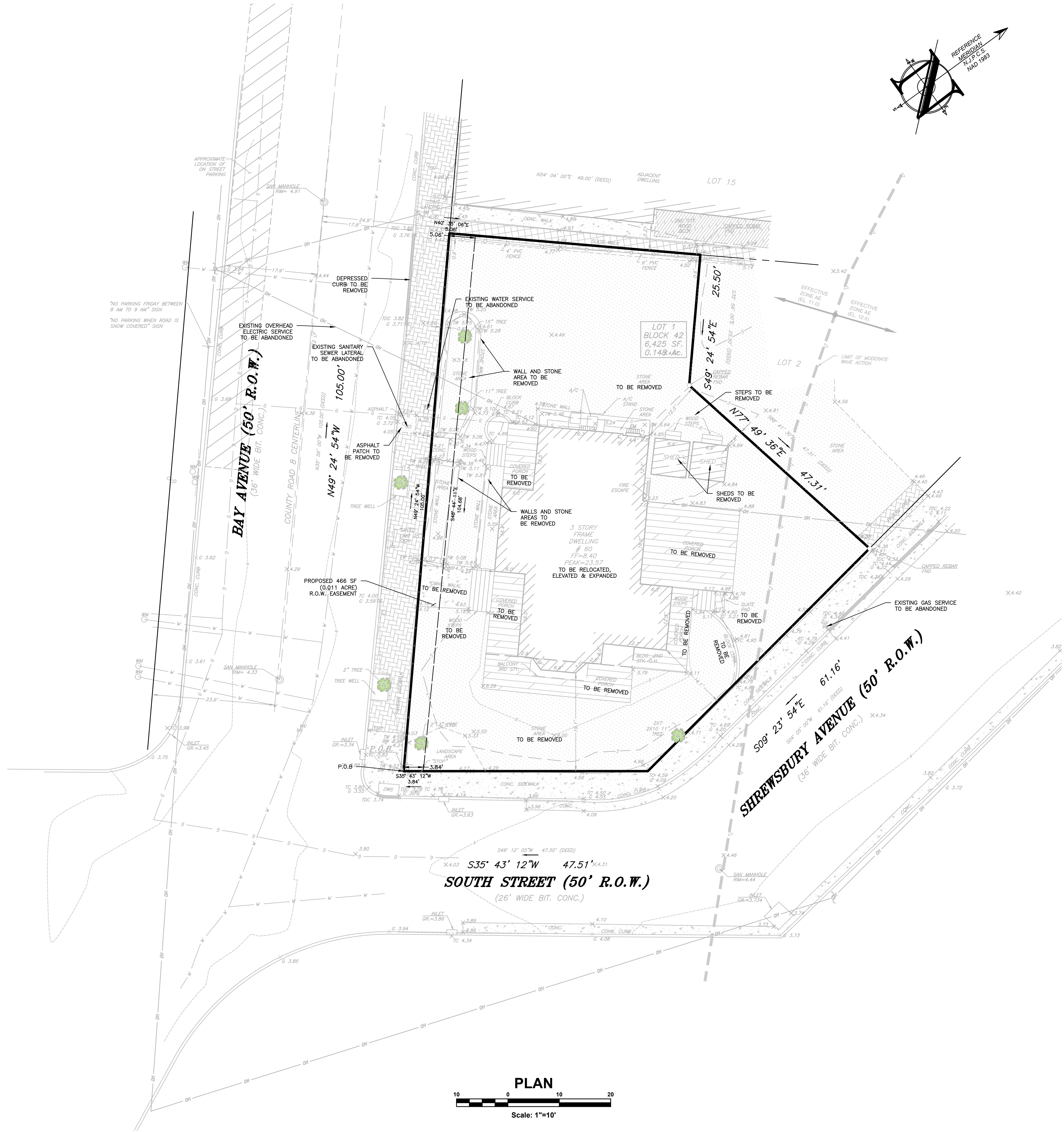






SEE SHEET C101 FOR PLAN NOTES

LEGEND	
EXISTING	PROPOSED



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PROPOSED EXCAVATION	WHITE



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732-531-7100 (Ph) 732-531-7344 (Fax)  
InSite@InSiteEng.net www.InSiteEng.net

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PROFESSIONAL ENGINEER  
NJ PE 24605331000

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DATE: 02/05/24	DRAWN BY: AMC
JOB #: 23-2237-01	CHECKED BY: DDC
CAD ID: 23-2237-01r3	

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**PLAN INFORMATION**

DRAWING TITLE:  
**PRELIMINARY & FINAL  
MAJOR SITE PLAN**

SHEET TITLE:  
**EXISTING CONDITIONS &  
SITE PREPARATION PLAN**

SHEET NO.:  
**C200**



## PROJECT INFORMATION

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MULTI-  
FAMILY  
RESIDENCE

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60 BAY AVENUE  
HIGHLANDS, NJ 07732

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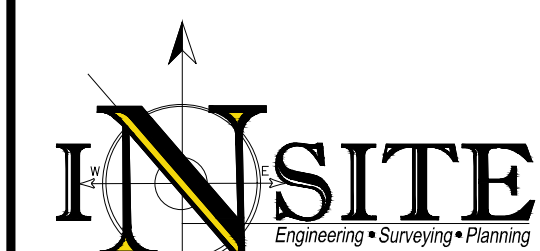
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WALL, NJ 07719

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1-800-272-1000 (NJ ONE CALL)

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COMMUNICATION	ORANGE
SEWER	GREEN
TEMP. SENSING	MAGENTA
PROPOSED EXCAVATION	WHITE

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732-531-7100 (PH) 732-531-7344 (FAX)  
InSite@InSiteEng.net www.InSiteEng.netLICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA  
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COLORADO, & DISTRICT OF COLUMBIACAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE  
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**DOUGLAS D. CLELLAND, PE**  
PROFESSIONAL ENGINEER  
NJ PE 24GE0331000

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MAJOR SITE PLAN

SHEET TITLE:

SITE LAYOUT PLAN

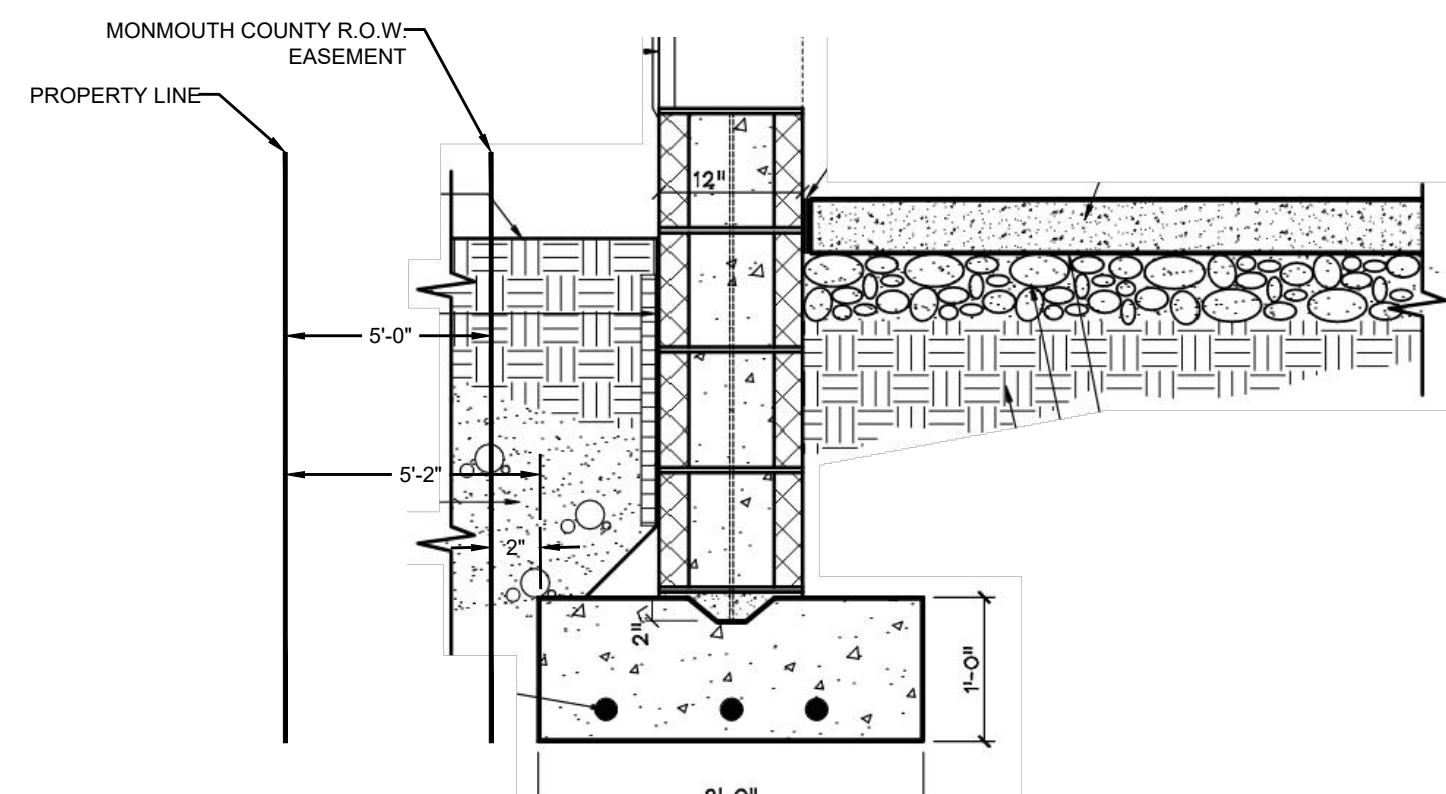
SHEET NO. C300

BUILDING HEIGHT COMPLIANCE PER MUNICIPAL ORDINANCE  
NTS

ZONING COMPLIANCE CHART					
CBD REDEVELOPMENT OVERLAY 2 ZONE (C-RO-2 - GATEWAY PARCELS)					
RESIDENTIAL ABOVE FIRST FLOOR: PERMITTED (§ 21-91A.U.)					
ORD. SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
ATT. 1	MIN. LOT AREA (SF)	-	6,425 (0.147 AC)	NO CHANGE	-
ATT. 1	MIN. LOT FRONTAGE (FT)	-	213.67	NO CHANGE	-
PRINCIPAL BUILDING					
VII.A.	MIN. FRONT YARD SETBACK (FT)	2	13.9	5.67	YES
	BAY AVENUE (FT)	2	13.3	8.30	YES
	SHREWSBURY AVENUE	2	8.3	7.54	YES
VII.A.	MIN. REAR YARD SETBACK (FT)	12	-	N/A	YES
VII.A.	MIN. SIDE YARD SETBACK (FT)	5	(1)	11.4	YES
VII.D.	MAX. BUILDING HEIGHT (FT)	40	(3)	29.33	YES
VII.B.	MAX. BUILDING COVERAGE (%)	80	31.9	52.7	YES
VII.B.	MAX. LOT COVERAGE (%)	80	37.0	75.28	YES
ACCESSORY BUILDING					
\$21-78A.2	MAX. GROUND FLOOR AREA (%)	30	(2)	N/A	-
\$21-78A.2	MAX. COVERAGE OF REAR YARD (%)	40	(2)	N/A	-
\$21-78A.3	MIN. YARD SETBACK (FT)	3	-	N/A	-
	MIN. OUTDOOR LIVING SPACE (SF)	500	(a)	1,981	YES

(N) EXISTING NON-COMFORMITY (I) IMPROVED CONDITION N/A - NOT APPLICABLE  
(E) EXISTING VARIANCE (X) VARIANCE / NON-COMFORMITY ELIMINATED N/S - NOT SPECIFIED  
(V) PROPOSED VARIANCE (W) PROPOSED WAIVER

(a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE  
(1) PER §VII.A SIDE YARDS: NO SIDE YARD IS REQUIRED ADJACENT TO THE PROPERTIES IN THE CBD ZONE, HOWEVER, IF ANY IS TO BE PROVIDED, IT SHALL BE AT LEAST FIVE (5) FEET, ANY SIDE YARD WHICH SERVES AS A BOUNDARY BETWEEN THAT LOT AND ANY RESIDENCE ZONE SHALL BE AT LEAST FIVE (5) FEET AND SHALL CONTAIN BUFFERING IN ACCORDANCE WITH THE REQUIREMENTS OF THIS SECTION.  
(2) NO ACCESSORY STRUCTURE(S), EXCEPT FOR SHORE FRONT PROTECTION, BULKHEADS, REVETMENTS AND OTHER SUCH STRUCTURES, SHALL HAVE AN AGGREGATE GROUND FLOOR AREA GREATER THAN THIRTY (30%) PERCENT OF THE GROUND FLOOR AREA OF THE PRINCIPAL STRUCTURE ON THE SAME LOT. ALL ACCESSORY STRUCTURES SHALL OCCUPY NO MORE THAN FORTY (40%) PERCENT OF THE REAR YARD AREA.  
(3) THE VERTICAL DISTANCE AS MEASURED FROM THE GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE. IN THE CASE OF SLOPED ROOFS, THE AVERAGE HEIGHT IS THE MID-POINT BETWEEN THE LOWEST ROOF EAVE OF THE TOP FLOOR AND THE ROOF RIDGE. IN THE CASE OF A BUILDING THAT HAS MULTIPLE ROOF LEVELS, THE HIGHEST ROOF LEVELS MUST BE USED TO DETERMINE THE BUILDING HEIGHT.  
**GRADE PLANE:** AREAS OR PORTIONS OF THE BUILDING AREA OF A LOT LOCATED WITHIN THE FLOOD HAZARD AREA. THE REFERENCE PLANE SHALL BE THE MORE RESTRICTIVE OF THE BASE FLOOD ELEVATION OR ADVISORY BASE FLOOD ELEVATION OF THE FLOOD HAZARD AREA PLUS ONE (1) FOOT.

SECTION A-A  
NTS  
NOT FOR CONSTRUCTION

## SEE SHEET C101 FOR PLAN NOTES

## LEGEND

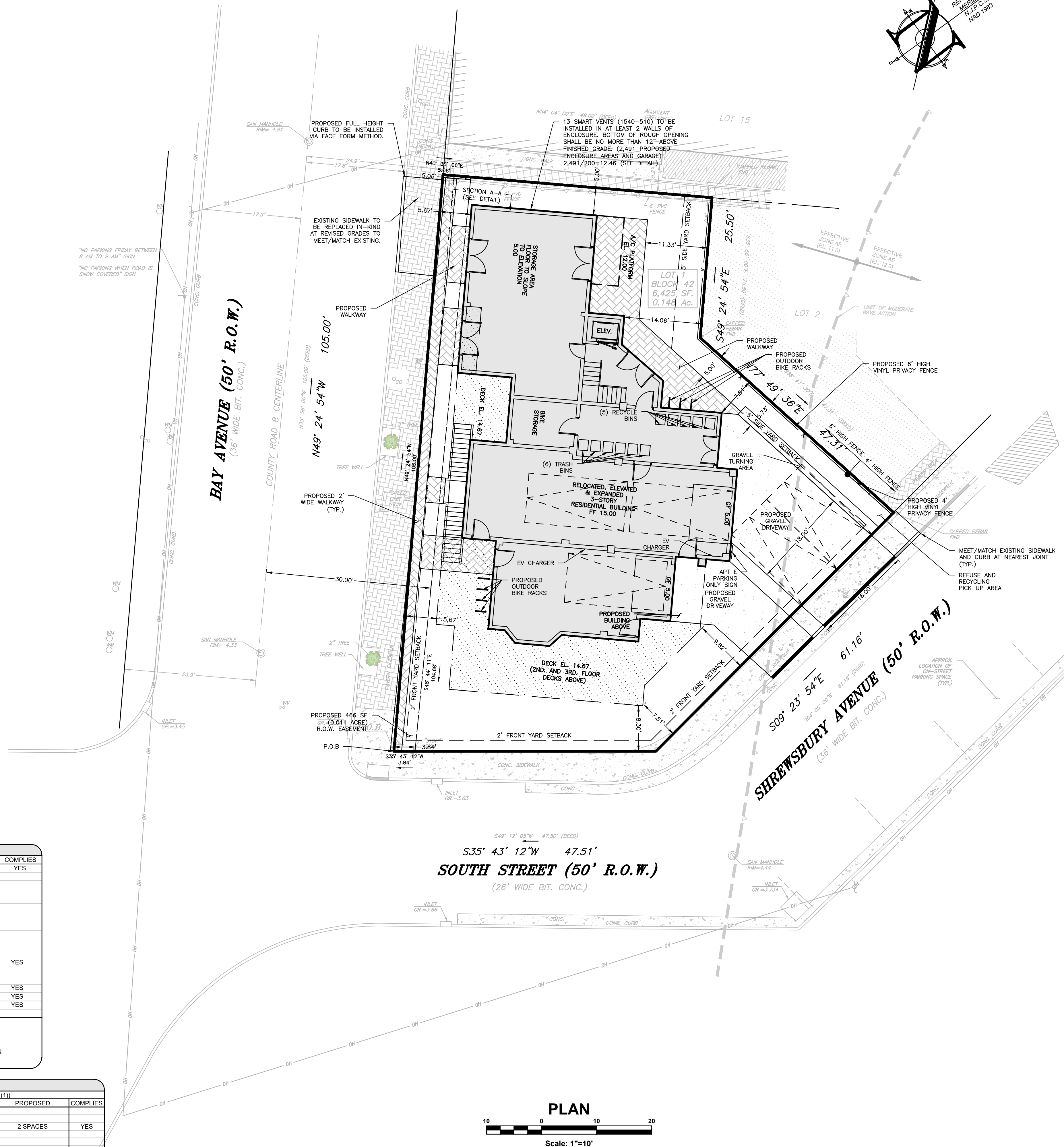
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

PARKING, DRIVEWAY & LOADING COMPLIANCE CHART				
ORD. SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES
\$21-65.14	STALL SIZE (FT)	9 X 18	9 X 18	YES
	NUMBER OF PARKING SPACES			
RSIS TABLE 4.4				
	RESIDENTIAL USES (2 FAMILY & MULTIFAMILY UNITS)			
	1.8 SPACES PER (1 BR UNITS)			
	2.0 SPACES PER (2 BR UNITS)			
	2.1 SPACES PER (3 BR UNITS)			
	1ST. FLOOR - 2 UNITS 2 BEDROOMS EACH	4		
	2ND. FLOOR - 2 UNITS 2 BEDROOMS EACH	4		
	3RD. FLOOR - 1 UNIT 3 BEDROOMS	2.1		
	TOTAL PARKING SPACES (INCLUDING EV CREDIT OF 1 SPACE)	9.1	5 (1)	YES
\$21-65.5C	MAX. DRIVEWAY WIDTH AT CURB (FT)	18	18.00	YES
\$21-65.5A	MAX. DRIVEWAY WIDTH AT INTERIOR (FT)	22	18.00	YES
\$21-65.5A	MIN. DRIVEWAY DISTANCE TO STREET INTERSECTION (FT)	25	>25	YES

(N) EXISTING NON-COMFORMITY (I) IMPROVED CONDITION N/A - NOT APPLICABLE  
(V) PROPOSED VARIANCE (W) PROPOSED WAIVER N/S - NOT SPECIFIED

(1) PURSUANT TO THE BOROUGH OF HIGHLANDS, NJ CENTRAL BUSINESS DISTRICT REDEVELOPMENT PLAN §VII.A  
VEHICULAR PARKING: RESIDENTIAL USES ARE PERMITTED TO COUNT FIRST ANY AVAILABLE ON-STREET PARKING SPACES BEFORE DETERMINING THE NUMBER OF PARKING SPACES THAT MUST BE PROVIDED OFF-STREET. THERE ARE MORE THAN 5 EXISTING ON-STREET PARKING SPACES WITHIN THE IMMEDIATE VICINITY, THEREFORE THE PROJECT COMPLIES.

ELECTRIC VEHICLE PARKING SUMMARY (P.L. 1975, c. 291)				
RESIDENTIAL ABOVE FIRST FLOOR / CBD REDEVELOPMENT OVERLAY 2 ZONE (C.40:55D-56.20.3.a.(1))				
SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES
3.a.(1)(a)	MIN. NUMBER OF MAKE-READY (MR) PARKING SPACES	15% OF REQUIRED OFF-STREET SPACES 10 x 15% = 1.5 SPACES = 2	2 SPACES	YES
	MIN. # OF INSTALLED VEHICLE SUPPLY EQUIPMENT			
3.a.(1)(a)	@ INITIAL CONSTRUCTION	1 x MAKE-READY = 1 SPACES	1 EV SPACES	YES
3.a.(1)(b)	@ 3 YEARS AFTER CERT. OF OCCUPANCY	1 x MAKE-READY = 2 SPACES	2 EV SPACES	YES
3.a.(1)(c)	@ 6 YEARS AFTER CERT. OF OCCUPANCY	1 x MAKE-READY = 2 SPACES	2 EV SPACES	YES



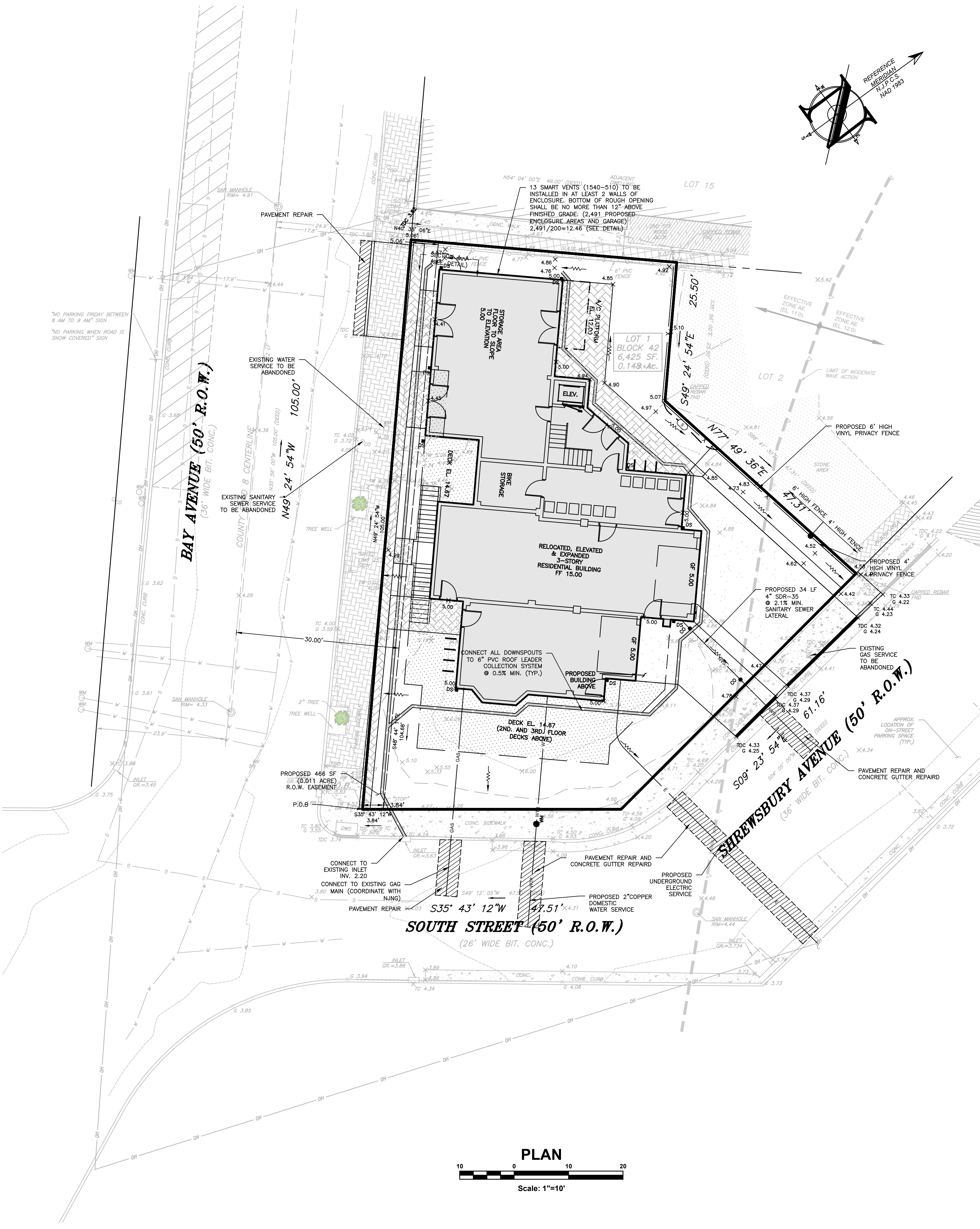


**WATER FLOW CALCULATIONS**  
EXISTING AVERAGE DAILY DEMAND (PER N.J.A.C. 5:21-5.2)  
**TWO-BEDROOM APARTMENT (UNIT) = 3 UNITS**  
TWO-BEDROOM APARTMENT (140 GPD/UNIT: Q<sub>AVG</sub> = 140 GPD/UNIT X 3 UNITS = 420 GPD)  
**STUDIO-BEDROOM APARTMENT (UNIT) = 1 UNITS**  
STUDIO APARTMENT (120 GPD/UNIT: Q<sub>AVG</sub> = 120 GPD/UNIT X 1 UNITS = 120 GPD)  
**TOTAL EXISTING AVERAGE DAILY DEMAND: = 540 GPD = 0.0005 MGD**  
  
**PROPOSED AVERAGE DAILY DEMAND (PER N.J.A.C. 5:21-5.2):**  
**TWO-BEDROOM APARTMENT (UNIT) = 4 UNITS**  
TWO-BEDROOM APARTMENT (140 GPD/UNIT: Q<sub>AVG</sub> = 140 GPD/UNIT X 4 UNITS = 560 GPD  
**THREE-BEDROOM APARTMENT (UNIT) = 1 UNITS**  
THREE-BEDROOM APARTMENT (200 GPD/UNIT: Q<sub>AVG</sub> = 200 GPD/UNIT X 1 UNITS = 200 GPD  
**TOTAL PROPOSED AVERAGE DAILY DEMAND: = 560 GPD + 200 GPD = 760 GPD = 0.0006 MGD**

**SANITARY SEWER FLOW CALCULATIONS**  
EXISTING AVERAGE DAILY DEMAND (PER N.J.A.C. 7:14A-23.3)  
**TWO-BEDROOM APARTMENT (UNIT) = 3 UNITS**  
TWO-BEDROOM APARTMENT (225 GPD/UNIT: Q<sub>AVG</sub> = 225 GPD/UNIT X 3 UNITS = 675 GPD)  
**STUDIO-BEDROOM APARTMENT (UNIT) = 1 UNITS**  
STUDIO APARTMENT (150 GPD/UNIT: Q<sub>AVG</sub> = 150 GPD/UNIT X 1 UNITS = 150 GPD)  
**TOTAL EXISTING AVERAGE DAILY DEMAND: = 675 GPD + 150 GPD = 825 GPD = 0.0009 MGD**  
  
**PROPOSED AVERAGE DAILY DEMAND (PER N.J.A.C. 7:14A-23.3)**  
**TWO-BEDROOM APARTMENT (UNIT) = 4 UNITS**  
TWO-BEDROOM APARTMENT (225 GPD/UNIT: Q<sub>AVG</sub> = 225 GPD/UNIT X 4 UNITS = 900 GPD  
**THREE-BEDROOM APARTMENT (UNIT) = 1 UNITS**  
THREE-BEDROOM APARTMENT (300 GPD/UNIT: Q<sub>AVG</sub> = 300 GPD/UNIT X 1 UNITS = 300 GPD  
**TOTAL PROPOSED AVERAGE DAILY DEMAND: = 900 GPD + 300 GPD = 1,200 GPD = 0.0012 MGD**

SEE SHEET C101 FOR PLAN NOTES

LEGEND	
EXISTING	PROPOSED
	BOUNDARY LINE
	CONTOUR LINE
	SPOT ELEVATION
	BUILDING
	WALL
	GAS
	WATER
	INLET
	STORM
	SANITARY MAIN
	SANITARY LATERAL
	OVERHEAD WIRE
	ELECTRIC
	TELEPHONE
	UTILITY POLE
	HYDRANT
	SIGN POST
	FENCE
	LIGHT FIXTURE
	TEST PIT LOCATION
	GRADE FLOW ARROW
	SWALE CENTER LINE



PROJECT INFORMATION

Item 5.

PROJECT NAME

PROPOSED  
MULTI -  
FAMILY  
RESIDENCE

PROJECT LOCATION

BLOCK 42, LOT 1  
80 BAY AVENUE  
BOROUGH OF HIGHLANDS,  
MONMOUTH COUNTY, NJ

OWNER

60 BAY AVE HIGHLANDS, LLC  
80 BAY AVENUE  
HIGHLANDS, NJ 07732

APPLICANT

60 BAY AVE HIGHLANDS, LLC  
80 BAY AVENUE  
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY:  
DONNA M. JENNINGS ESQ.  
WILENTZ, GOLDMAN & SPITZER, PA  
90 WOODBRIDGE CENTER DRIVE, SUITE 900  
WOODBIDGE, NJ 07095

ARCHITECT:  
SALVATORE LA FERLITA, R.A.  
115 UNIVERSITY DRIVE  
LINCOLN, NJ 07738

SURVEYOR:  
INSITE SURVEYING, LLC  
1955 ROUTE 37, SUITE 1A  
WALL, NJ 07719

INSITE ENGINEERING, LLC  
SINCE 2003

CALL BEFORE YOU DIG!  
NJ ONE CALL... 800-272-1000  
(NJ One Call logo)

ELECTRIC: RED  
GAS: ORANGE  
COMMUNICATION: BLUE  
WATER: BLUE  
SEWER: GREEN  
TEMP. SURVEY MARKING: MAGENTA  
PROPOSED EXCAVATION: WHITE

INSITE  
Engineering • Surveying • Planning

InSite Engineering, LLC  
CERTIFICATE OF AUTHORIZATION: 24GA28083200  
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719  
732-531-7100 (Ph) 732-531-7344 (Fax)  
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA  
DELAWARE, CONNECTICUT, NORTH CAROLINA  
COLORADO, & DISTRICT OF COLUMBIA

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DOUGLAS D. CLELAND, PE  
PROFESSIONAL ENGINEER  
NJ PE 24GE0331000

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2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL RELEASE

SCALE: 1"=10'

DESIGNED BY: DDC

DATE: 02/05/24

DRAWN BY: AMC

JOB #: 23-2237-01

CHECKED BY: DDC

CAD ID: 23-2237-01r3

NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

PRELIMINARY & FINAL  
MAJOR SITE PLAN

SHEET TITLE:

GRADING, DRAINAGE &  
UTILITY PLAN

SHEET NO.:

C400

48



## PROJECT INFORMATION

PROJECT NAME:

PROPOSED  
MULTI -  
FAMILY  
RESIDENCE

PROJECT LOCATION:

BLOCK 42, LOT 1  
60 BAY AVENUE  
BOROUGH OF HIGHLANDS,  
MONMOUTH COUNTY, NJ

OWNER:

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60 BAY AVENUE  
HIGHLANDS, NJ 07732

APPLICANT:

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HIGHLANDS, NJ 07732

## APPLICANT'S PROFESSIONALS

## ATTORNEY:

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90 WOODBRIDGE CENTER DRIVE, SUITE 900  
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## ARCHITECT:

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LINCOLN, NJ 07738

## SURVEYOR:

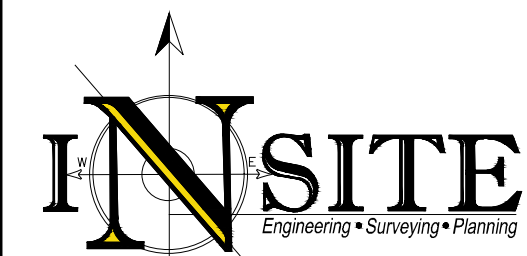
INSITE SURVEYING, LLC  
1955 ROUTE 37, SUITE 1A  
WALL, NJ 07719

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(NJ One Call is a service)

ELECTRIC	RED
GAS OIL	YELLOW
COMMUNICATION TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC

CERTIFICATE OF AUTHORIZATION: 24GA28083200  
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732-531-7100 (Ph) 732-531-7344 (Fax)  
InSite@InSiteEng.net www.InSiteEng.netLICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA  
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PROFESSIONAL ENGINEER  
NJ PE 24GE0331000

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SCALE: 1"=10'

DATE: 02/05/24

JOB #: 23-2237-01

CAD ID: 23-2237-01r3

DESIGNED BY: DDC

DRAWN BY: AMC

CHECKED BY: DDC

NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

PRELIMINARY & FINAL  
MAJOR SITE PLAN

SHEET TITLE:

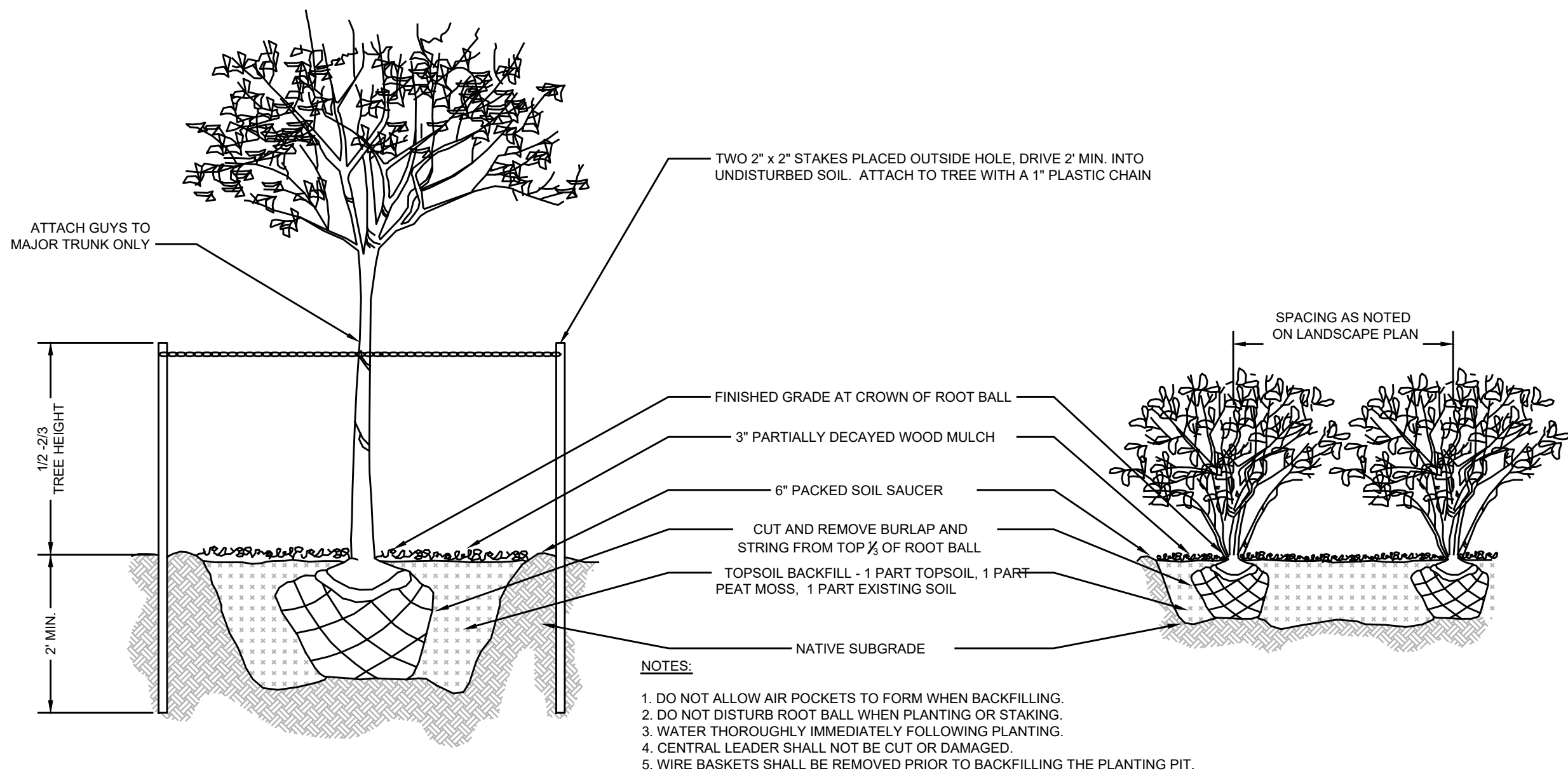
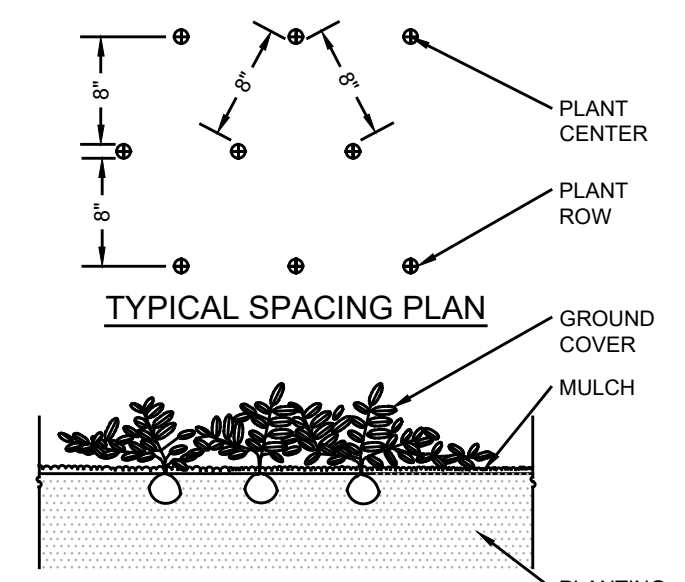
LANDSCAPE PLAN

SHEET NO.:

C600

49

PLANTING SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	ROOT
TO	16	SHED AND ORNAMENTAL TREES	EMERALD GREEN ARBORVITAE	8-10' HT.	670 GAL.
ZS	2	THULIA OCCIDENTALIS 'SMARAGO'	MUSASHINO COLUMNAR ZELKOVA	7-8' HT.	(B+B)
RR2	12	SHRUBS	PINK 'KNOCKOUT' ROSE	2.5'-3 FT	#5 CONT.
		GRASSES, PERENNIAL FLOWER, GROUNDCOVERS			
LM	37	LIRIOPE MUSCARI	LILLYTURF	1 GAL.	(Cont.)
AX	26	AJUGA REPTANS	BUGLEWEED	3-4"	6" POT

TREE & SHRUB PLANTING & STAKING  
NTSGROUND COVER PLANTING  
NTS

## SEE SHEET C101 FOR PLAN NOTES

EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

PLAN

Scale: 1"=10'



### PROJECT LOCATION

OWNER:

**APPLICANT:**

## APPLICANT'S PROFESSIONALS

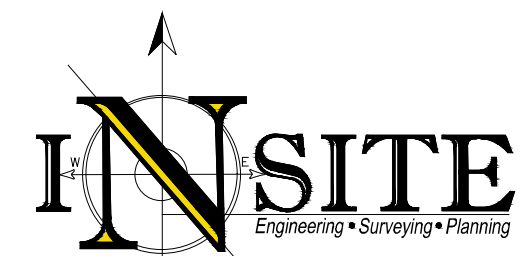
ATTORNEY:

ARCHITECT:

**SURVEYOR:**

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ELECTRIC	RED
GAS / OIL	YELLOW
COMMUNICATION / TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



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PROFESSIONAL ENGINEER  
NJ PE 24GE05331000

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0	02/05/24	INITIAL RELEASE

SCALE: 1"=10'

DATE: 02/05/

JOB #: 23-223

CAD ID: 23-223

☒ NOT FOR

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	FOR CO
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PL

DRAWING TITLE:

PREL

MA.

10/10

DOI: 10.1002/for

SHEET TITLE:  
**LIGHTING**

LIGHTING  
CONDIT

CONDIT

SHEET NO:

**C601**

50



SCHEDULE OF LIGHTING REQUIREMENTS (§ 21-65.11)				
ORD. SECTION	STANDARD	PERMITTED	EXISTING	COMPLIES
21-65.11E	MIN. LIGHTING LEVEL (FC)	0.3	0.0 (N)	NO
21-65.11E	MIN. AVERAGE LIGHTING LEVEL (FC)	0.5	0.2 (N)	NO
21-65.11F	MAX. LIGHTING LEVEL AT PROPERTY LINE (FC)	0.3	2.3 (N)	NO
21-65.11D	MAX. LIGHT MOUNTING HEIGHT (FT)	15	N/A	YES

SEE SHEET C101 FOR PLAN NOTES

### LEGEND

EXISTING		PROPOSED
	BOUNDARY LINE	
	CONTOUR LINE	
	SPOT ELEVATION	
	BUILDING	
	WALL	
	GAS	
	WATER	
	INLET	
	STORM	
	SANITARY MAIN	
	SANITARY LATERAL	
	OVERHEAD WIRE	
	ELECTRIC	
	TELEPHONE	
	UTILITY POLE	
	HYDRANT	
	SIGN POST	
	FENCE	
	LIGHT FIXTURE	
	TEST PIT LOCATION	
	GRADE FLOW ARROW	
	SWALE CENTER LINE	

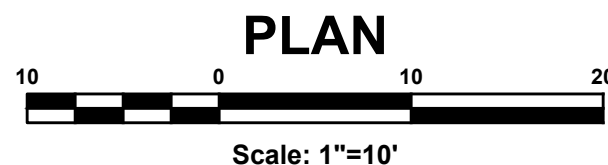
## PLAN

Scale: 1"=10'



SEE SHEET C101 FOR PLAN NOTES

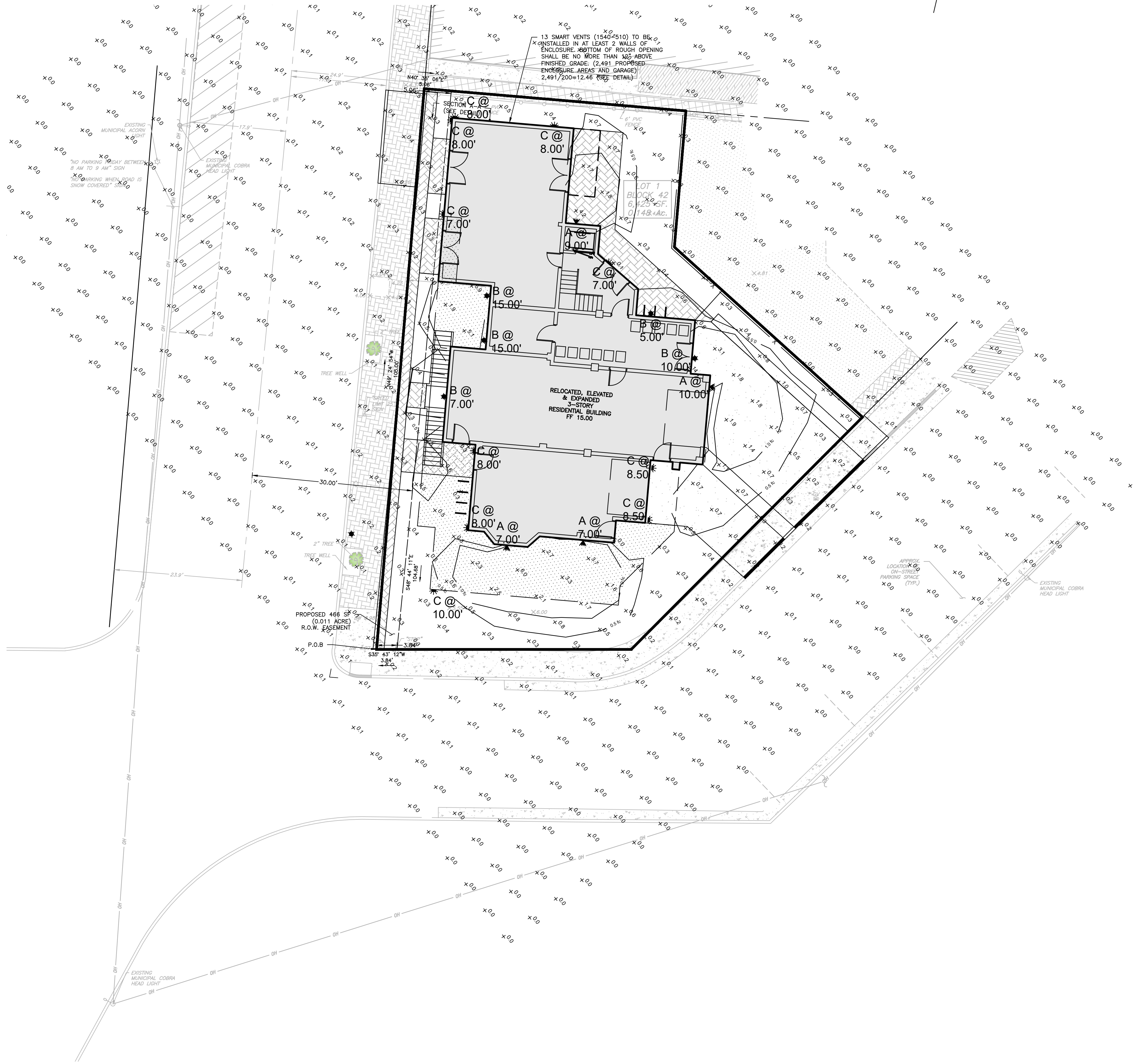
LEGEND	
EXISTING	PROPOSED
	BOUNDARY LINE
	CONTOUR LINE
	SPOT ELEVATION
	BUILDING
	WALL
	GAS
	WATER
	INLET
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	UTILITY POLE
	HYDRANT
	SIGN POST
	FENCE
	LIGHT FIXTURE
	TEST PIT LOCATION
	GRADE FLOW ARROW
	SWALE CENTER LINE



SCHEDULE OF LIGHTING REQUIREMENTS (§ 21-65.11)					
ORD SECTION	STANDARD	PERMITTED	EXISTING	PROPOSED	COMPLIES
21-65.11E	MIN. LIGHTING LEVEL (FC)	0.3	0.0 (N)	0.3	YES
21-65.11E	MIN. AVERAGE LIGHTING LEVEL (FC)	0.5	0.2 (N)	0.7	YES
21-65.11F	MAX. LIGHTING LEVEL AT PROPERTY LINE (FC)	0.3	2.3 (N)	0.3	YES
21-65.11D	MAX. LIGHT MOUNTING HEIGHT (FT)	15	N/A	15.00	YES

LUMINAIRE SCHEDULE						
LABEL	QTY	DESCRIPTION	WATTAGE	LAYOUT	MOUNT HEIGHT	DIRECTION OF ILLUMINATION
A	4	LITHONIA LIGHTING WDG1 ARCHITECTURAL WALL SCONCE	LED	SINGLE	SEE PLAN	DOWN
B	5	LITHONIA LIGHTING OLLWD & OLLWJ LED WALL CYLINDER LIGHT	LED	SINGLE	SEE PLAN	DOWN
C	10	LITHONIA LIGHTING OLCs OUTDOOR LED CAST SCONCE	LED	SINGLE	SEE PLAN	FORWARD

NOTE:  
1. LIGHTING TEMPLATE VALUES SHOWN ARE: 1.0 AND 0.50 FOOT CANDLES.  
2. ALL LIGHTS TO REMAIN ON FROM DUSK UNTIL DAWN.



PROJECT INFORMATION

PROJECT NAME:  
PROJECT LOCATION:  
OWNER:  
APPLICANT:  
APPLICANT'S PROFESSIONALS:

PROPOSED  
MULTI -  
FAMILY  
RESIDENCE

BLOCK 42, LOT 1  
60 BAY AVENUE  
BOROUGH OF HIGHLANDS,  
MONMOUTH COUNTY, NJ

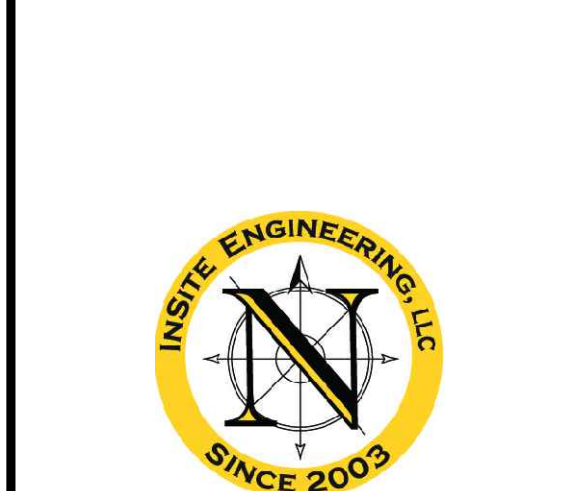
60 BAY AVE HIGHLANDS, LLC  
60 BAY AVENUE  
HIGHLANDS, NJ 07732

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HIGHLANDS, NJ 07732

ATTORNEY:  
DONNA M. JENNINGS ESQ.  
WILENTZ, GOLDMAN & SPITZER, PA  
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115 UNIVERSITY DRIVE  
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1955 ROUTE 37, SUITE 1A  
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(NJ One Call is a service)

ELECTRIC	RED
GAS	YELLOW
COMMUNICATION, TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

INSITE  
Engineering • Surveying • Planning  
InSite Engineering, LLC  
CERTIFICATE OF AUTHORIZATION: 24GA28083200  
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719  
732-531-7100 (Ph) 732-531-7344 (Fax)  
InSite@InSiteEng.net www.InSiteEng.net

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DOUGLAS D. CLELAND, PE  
PROFESSIONAL ENGINEER  
NJ PE 24GE0331000

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SCALE: 1"=10'  
DATE: 02/05/24  
JOB #: 23-2237-01  
CAD ID: 23-2237-01r3

DESIGNED BY: DDC  
DRAWN BY: AMC  
CHECKED BY: DDC

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FOR CONSTRUCTION


PLAN INFORMATION

DRAWING TITLE:  
PRELIMINARY & FINAL  
MAJOR SITE PLAN

SHEET TITLE:  
LIGHTING PLAN -  
PROPOSED CONDITIONS

SHEET NO.:  
C602

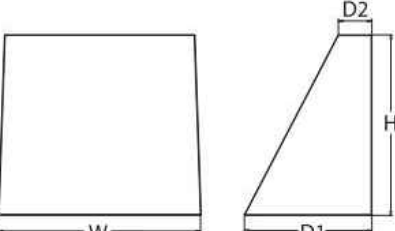




### WDGE1 LED Architectural Wall Sconce

**Specifications**

**Depth (D1):** 5.5"  
**Depth (D2):** 1.5"  
**Height:** 8"  
**Width:** 9"  
**Weight:** 9 lbs (without options)



**WDGE LED Family Overview**

Luminaire	Standard 40K, 4°C	Color Temp. 40°C	Series	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	---	---	1,200	2,000	---	---	---	---
WDGE1 LED	10W	10W	Standard / height	1,200	2,000	3,000	4,500	6,000	---
WDGE1 LED	15W	15W	Standard / height	2,500	8,500	10,000	12,000	---	---
WDGE1 LED	---	---	Standard / height	12,000	16,000	18,000	20,000	22,000	25,000

**Introduction**

The WDGE1 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

**Ordering Information**

**EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DOBXD**

Series	Package	Color Temperature	CR	Description	Voltage	Mounting
DOBXD	P1	27K 2700K	80	VF	MVOLT	SRM
	P2	40K 4000K	90	VF		

**Shipped included**

SRM Surface-mounting bracket  
ICW Insect Canopy/Glazing Wallbar bracket (by lamp locations only)

**Shipped separately**

AMS 3-Track Architectural wall spacer  
PBRW Surface-mounting wall bar (top left, right, center, entry) (see when there is no junction box available)

**Options**

Option	Finish
EMBT Emergency battery backup, Certified in CA Title 20 MARSBS (VRL, VFC, mini)	DOBKD Dark bronze
PE Photocell, Button Type	DBLDD Black
DS Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	DNVDD Natural aluminum
DWC 0-10V dimming when pulsed outside fixture (for use with an external control, ordered separately)	DNWDD White
RCE System controls easy for back box (0-10Vdc), Total of 4 entry points.	DSLDD Sandstone
BAA Bay Area Accredited A/C Compliant	DSSTD
DSE Dual Switching (1 Driver, 2 Light Engines)	DSSTD

**WDGE1 LED**  
Rev. 11/16/23

**INTENDED USE**

Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

**CONSTRUCTION**

Cast aluminum housing with corrosion-resistant paint in either dark bronze or white finish.  
ADA compliant.

**OPTICS**

8000K CCT LEDs.  
Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

**LUMENS MAINTENANCE:** The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details.

**ELECTRICAL**

MVOLT driver operates on any line voltage from 120-277V  
Operating temperature: -30 °C to 40 °C.  
10V surge protection standard.

**INSTALLATION**

Surface mounts to universal junction box (provided by others).

**LISTINGS**

UL Listed to U.S. and Canadian safety standards for wet locations.  
Tested in accordance with IESNA LM-79 and LM-80 standards.


**WARRANTY** — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.inalighting.com/support/customer-support/terms-and-conditions](http://www.inalighting.com/support/customer-support/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application.  
All values are design or typical values, measured under laboratory conditions at 25 °C.  
Specifications subject to change without notice.

**Outdoor General Purpose**

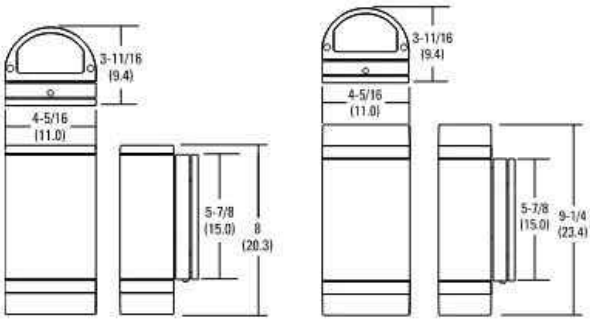
## OLLWD & OLLWU

LED WALL CYLINDER LIGHT



**Specifications**

All dimensions are inches (centimeters)



**Notes**

- Only available with OLLWU and in DBK.
- Only available with OLLWU.

**ORDERING INFORMATION**

For shortest lead times, configure products using **bolded options**.

**Example: OLLWD LED P1 40K MVOLT DOB**

Series	Performance Package	Color temperature (CCT)	Voltage	Finish
<b>OLLWD LED</b> Downlight	<b>P1</b>	<b>40K 4000K</b>	<b>MVOLT 120V-277V</b>	<b>DOB</b> Dark bronze
<b>OLLWU LED</b> Up & downlight			<b>T20 120V</b>	<b>WH</b> White

**Notes**

- Only available with OLLWU and in DOB.
- Only available with OLLWU.

**ORDERING INFORMATION**

All configurations of this product are considered "standard" and have short lead times.

**Example: OLCS R DOB**

Series	Light engines	Color temperature (CCT)	Voltage	Finish
<b>OLCS</b>	<b>R</b>	(blank) <b>4000K</b>	(blank) <b>120V</b>	<b>DOB</b> Dark bronze <b>WH</b> White

**Notes**

- Nominal Correlated Color Temperature (CCT) per ANSI C78.371-2008.

### WALL MOUNTED LIGHTS TYPE A

NTS

### WALL MOUNTED LIGHTS TYPE B

NTS

### WALL MOUNTED LIGHTS TYPE C

NTS

Item 5.

**PROJECT INFORMATION**

**PROJECT NAME:**

# PROPOSED MULTI-FAMILY RESIDENCE

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TEMP. SENSITIVE MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



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NJ PE 24GE0331000

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SCALE: AS SHOWN DESIGNED BY: DDC  
DATE: 02/05/24 DRAWN BY: AMC  
JOB #: 23-2237-01 CHECKED BY: DDC  
CAD ID: 23-2237-01r3

☒ NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION	
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**PLAN INFORMATION**

**DRAWING TITLE:**

## PRELIMINARY & FINAL MAJOR SITE PLAN

**SHEET TITLE:**

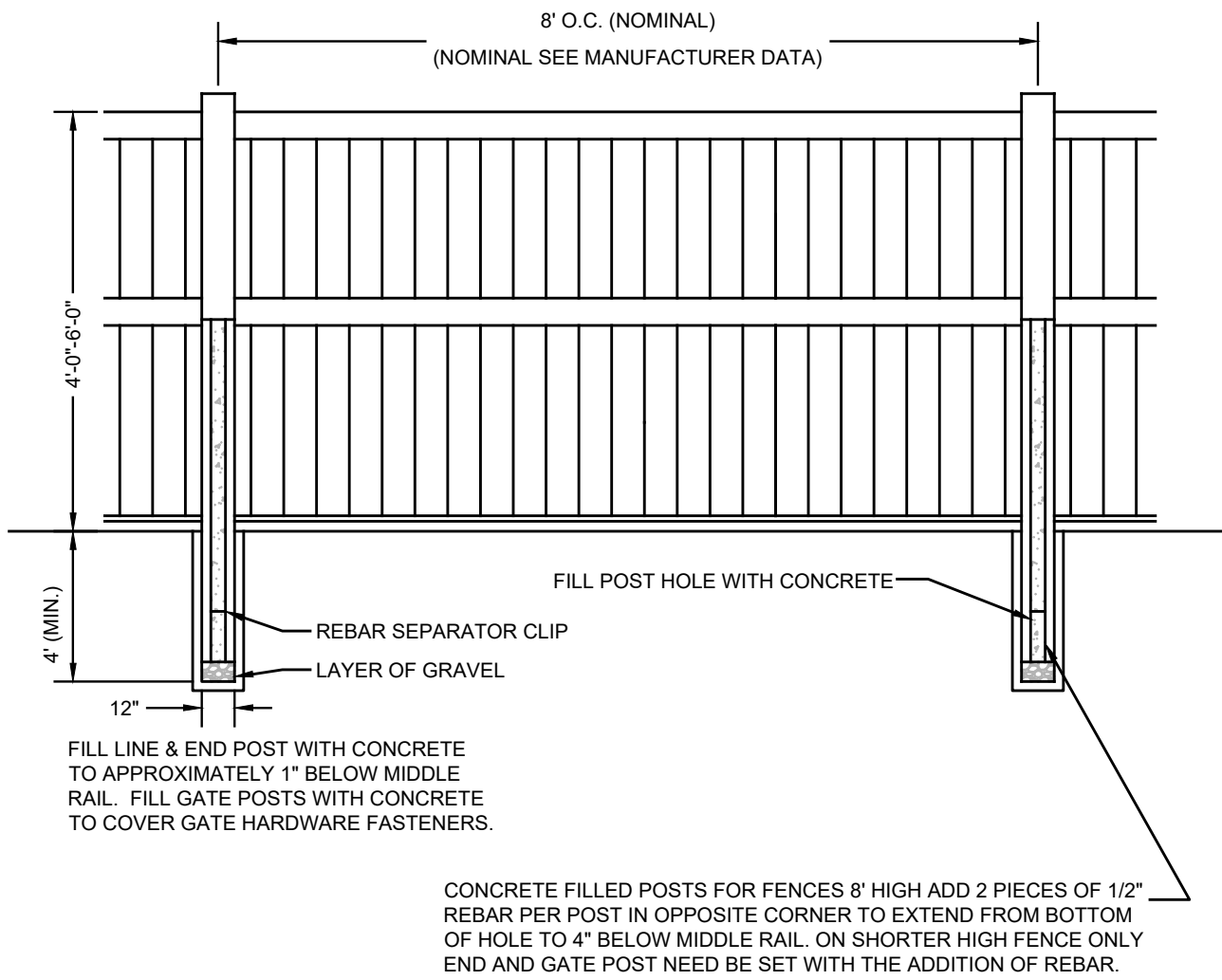
## LIGHTING DETAILS

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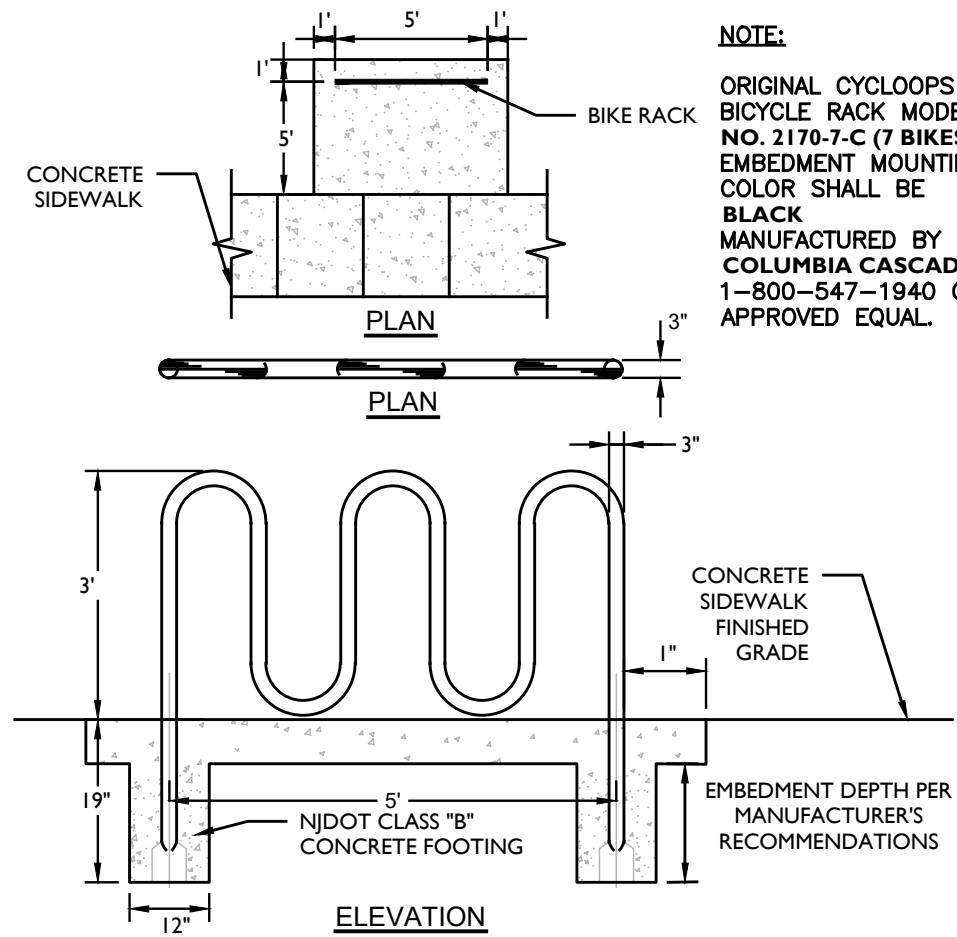
C603

52

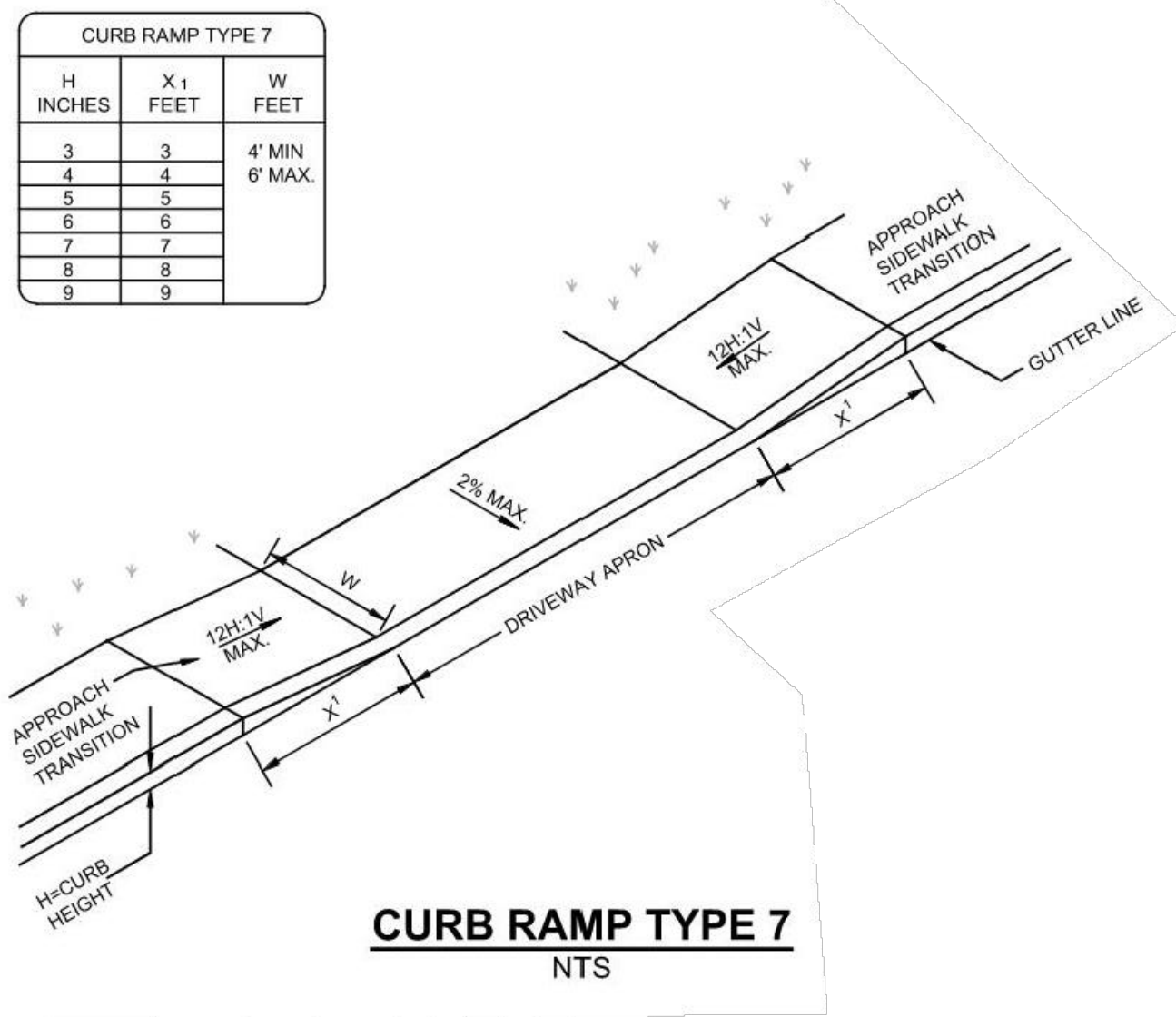




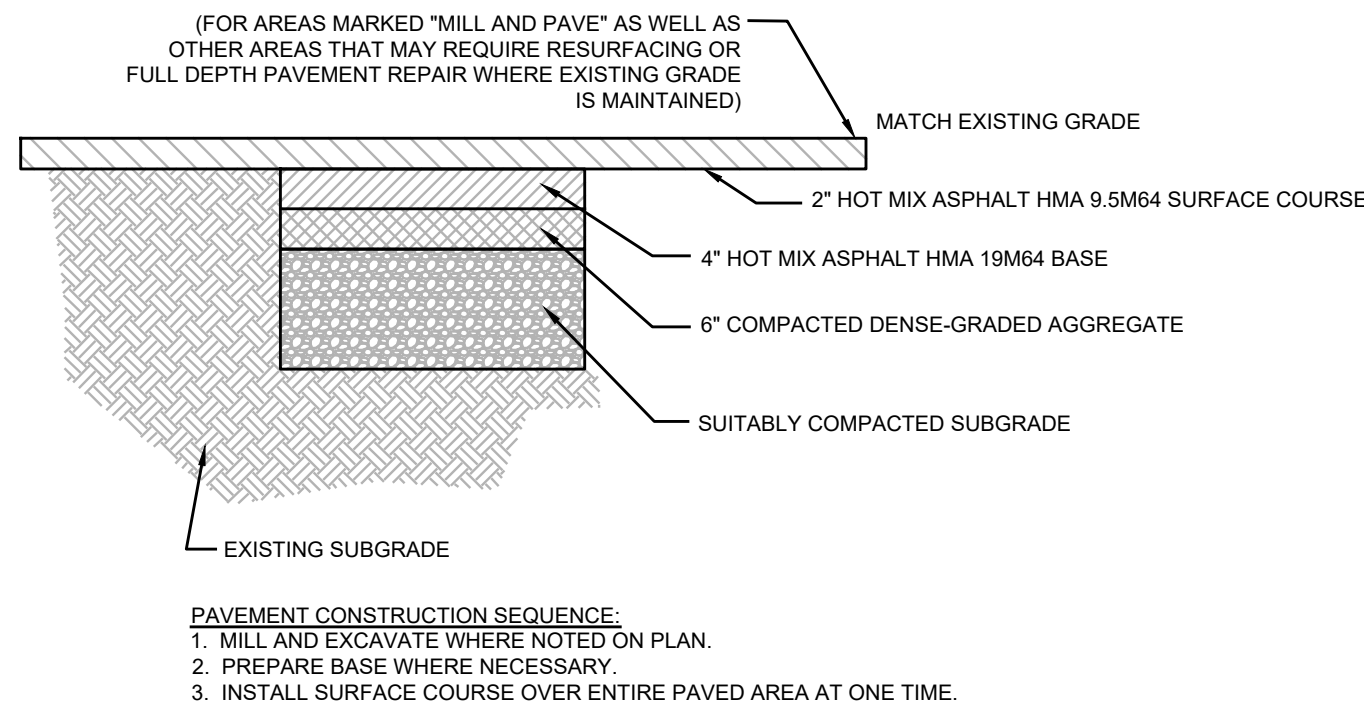
**VINYL FENCE**  
NTS



**BICYCLE RACK DETAIL**  
NOT TO SCALE



**CURB RAMP TYPE 7**  
NTS



**PAVEMENT REPAIR**  
NTS

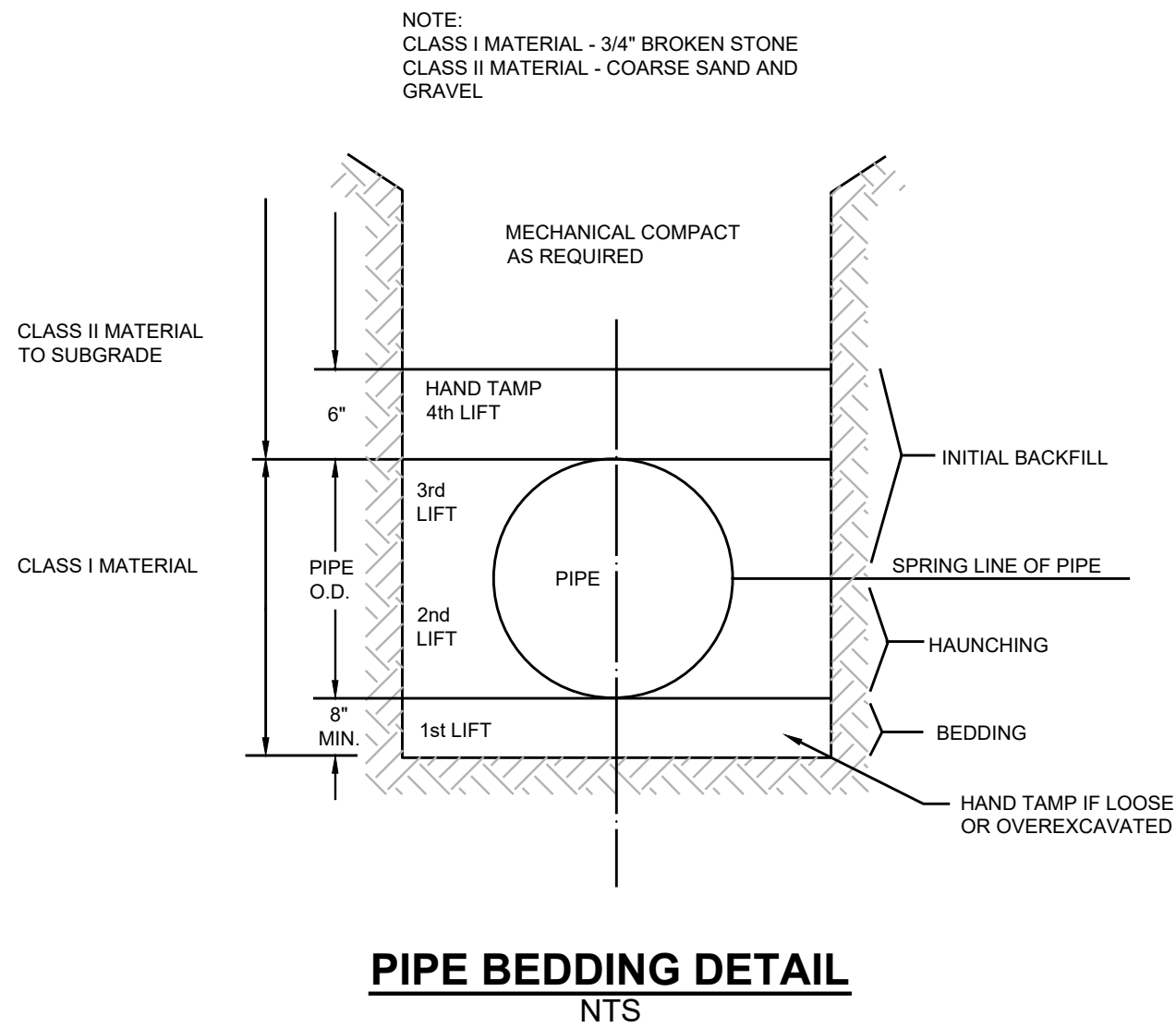
Roof Runoff Flowrate Calculation	
$Q = c i A$	
$c = 0.99$	
$i = 6.50$	in/hr
$A = 0.070$	ac
$Q = 0.45$	cfs

Pipe Capacity Calculation (Manning's Equation)	
$Q = 1.49 n^{-1} A^{5/3} S^{1/2}$	
$n (pvc) = 0.01$	
$d = 6$	in
$A (full) = 0.20$	sf
$r_o (full) = 1.57$	ft
$R (full) = 0.13$	ft
$S = 0.005$	ft/ft
$Q (full) = 0.52$	cfs
$Q_{required} = 0.45$	cfs
<OK>	

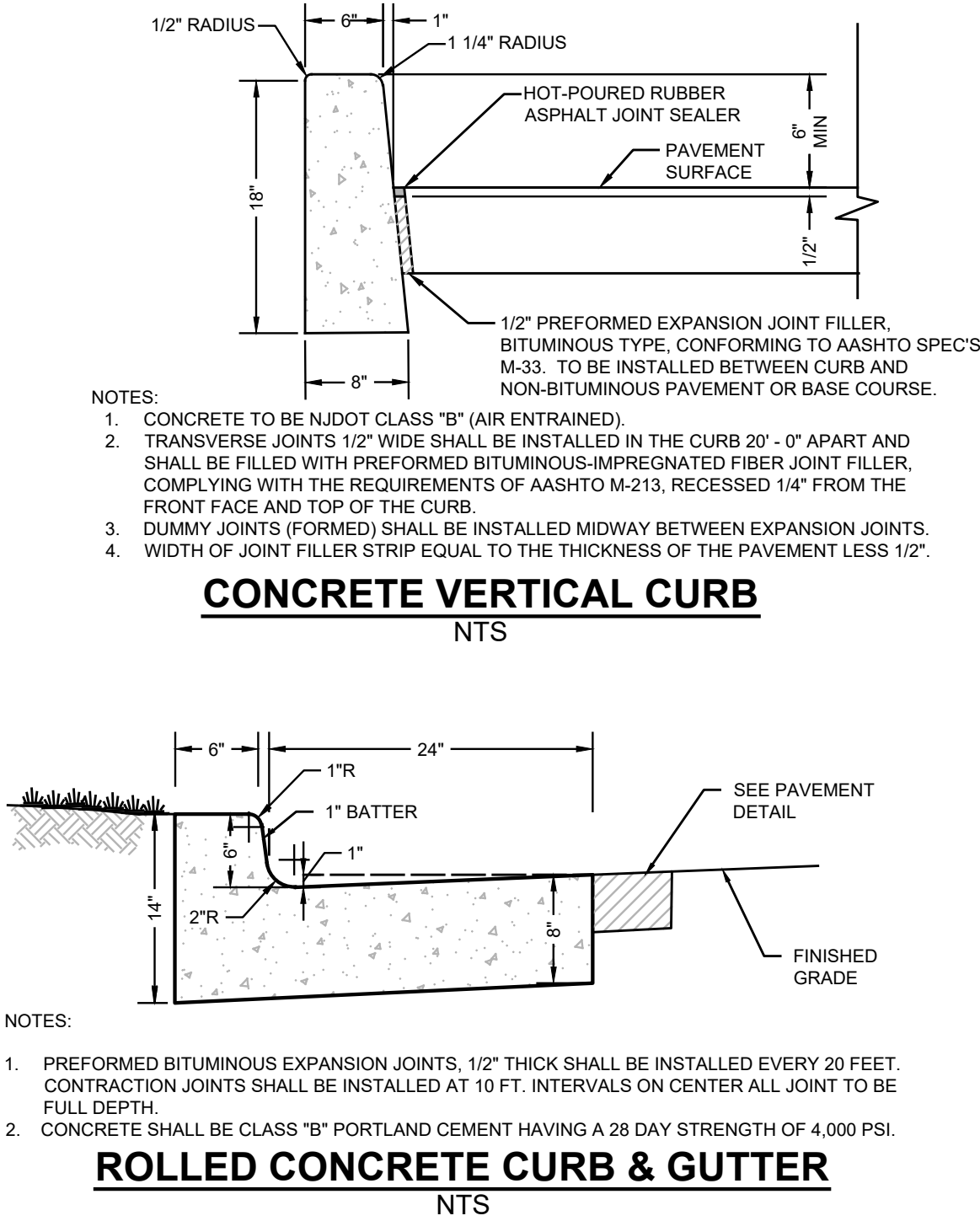
**ROOF LEADER COLLECTION SYSTEM**  
**CAPACITY CALCULATIONS**



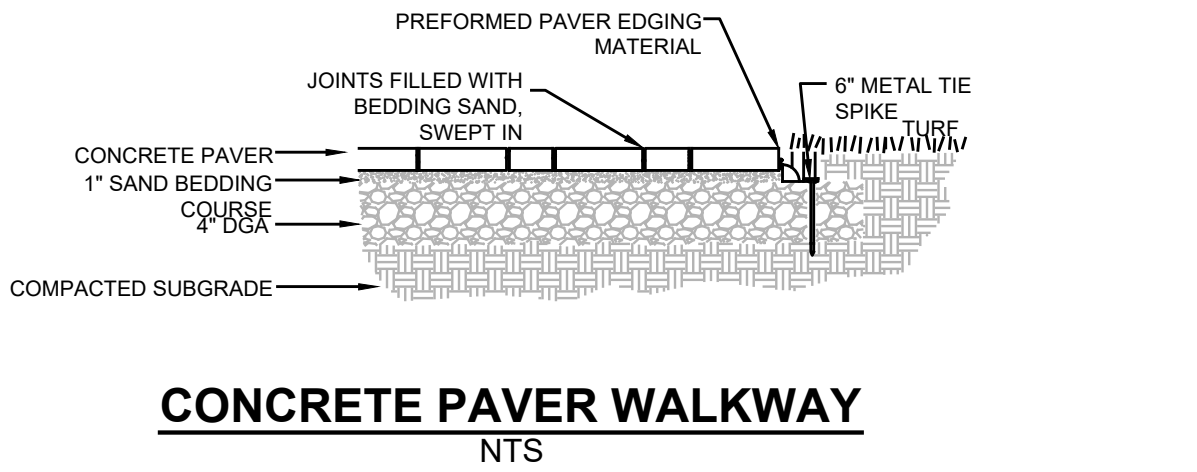
**RETAIL AND RESIDENT**  
**PARKING ONLY SIGN**  
NTS



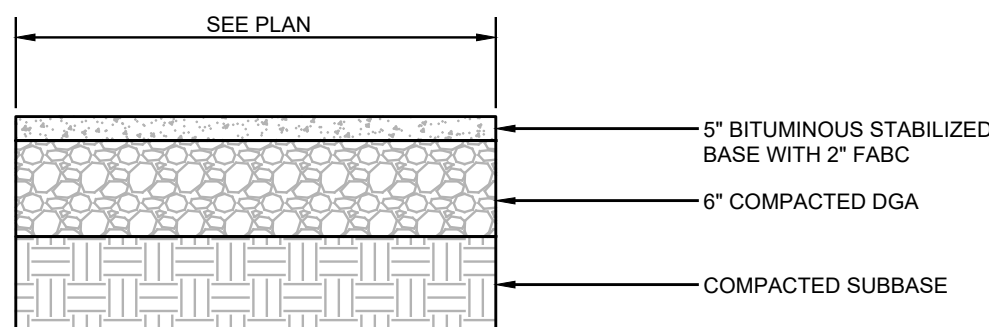
**PIPE BEDDING DETAIL**  
NTS



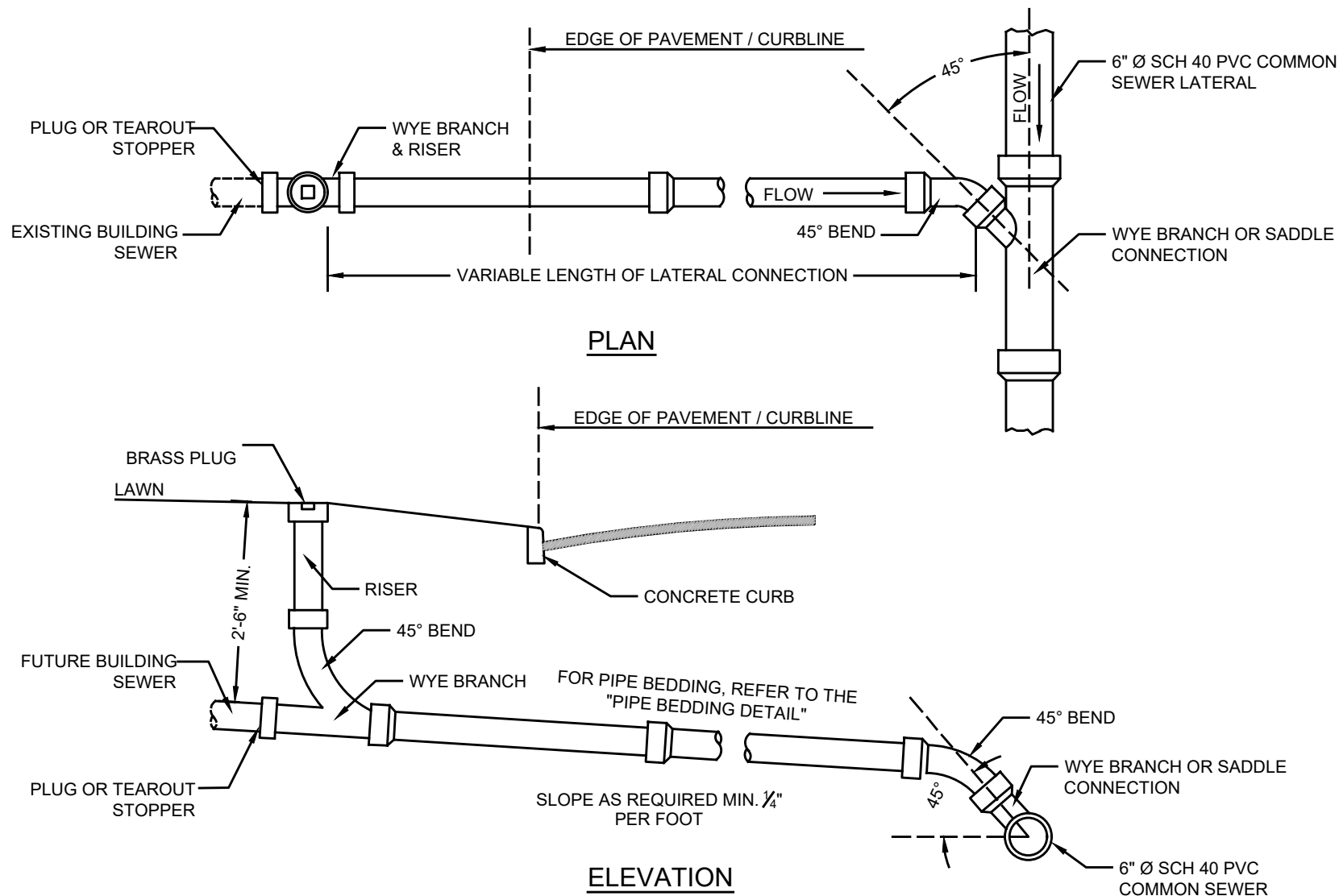
**ROLLED CONCRETE CURB & GUTTER**  
NTS



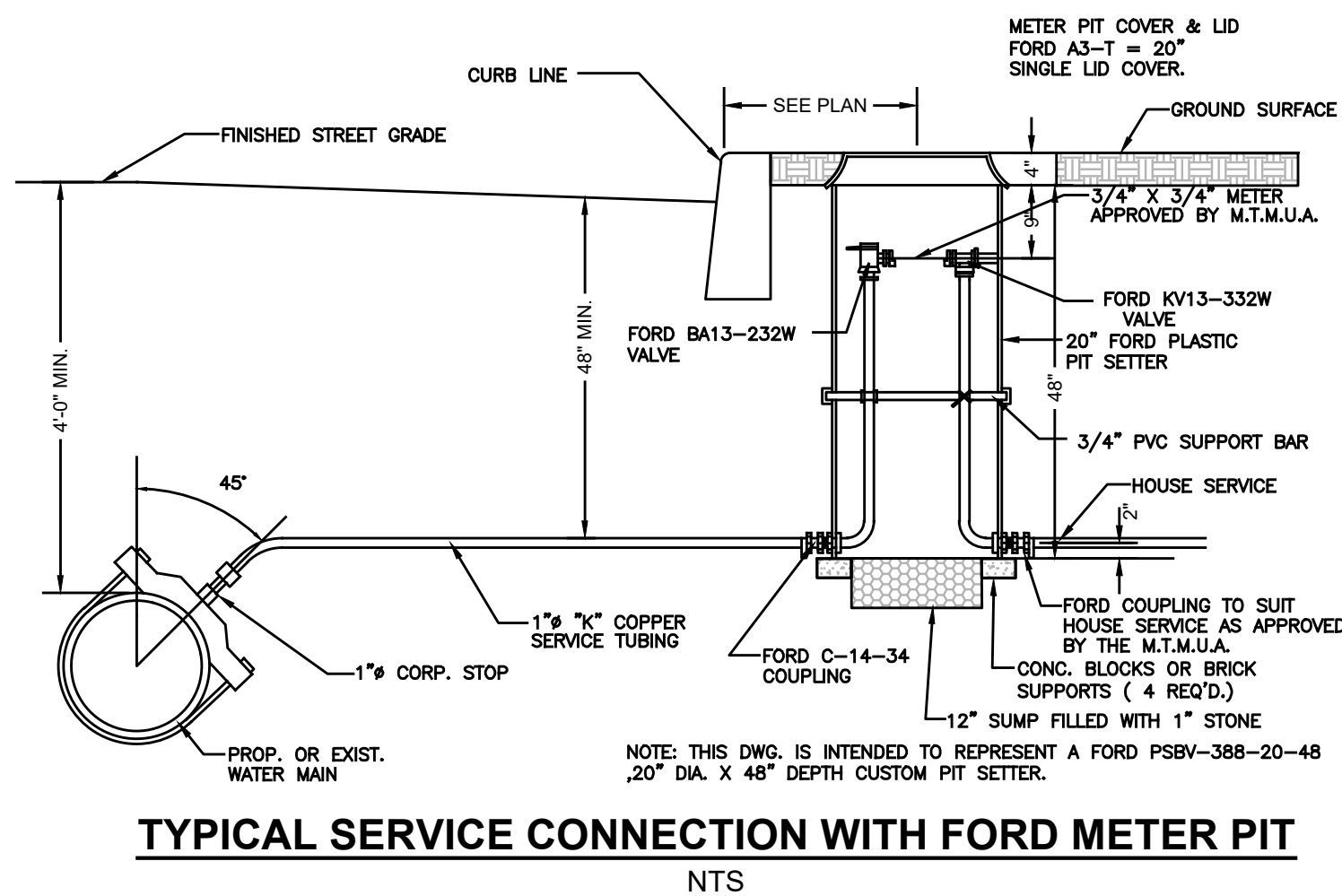
**CONCRETE PAVER WALKWAY**  
NTS



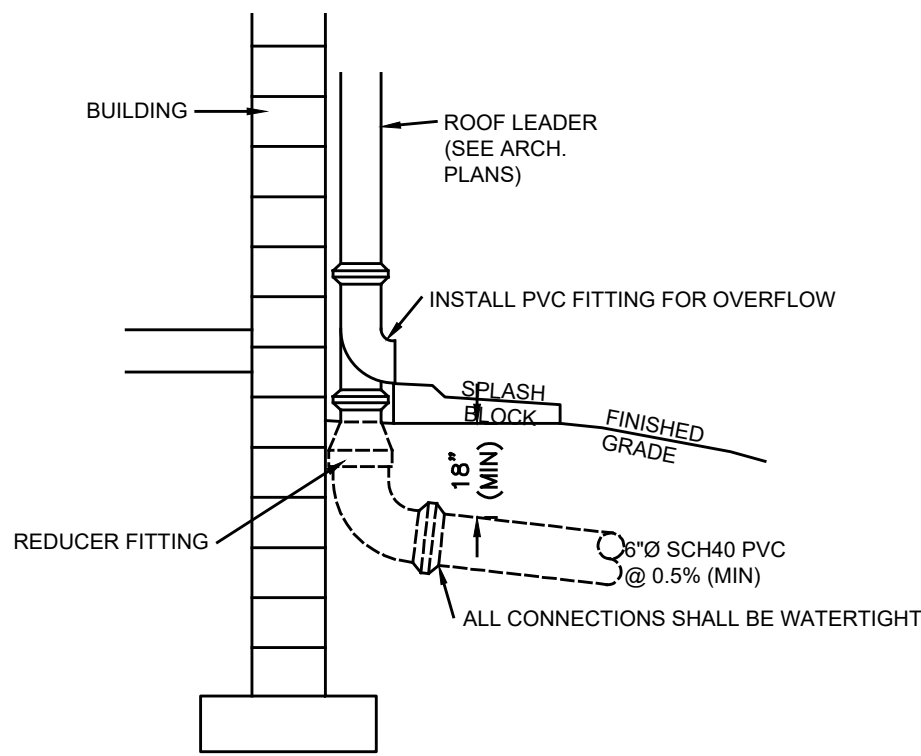
**PAVEMENT SECTION**  
NTS



**STANDARD LATERAL CONNECTION WITH CLEANOUT - SEWER DEPTH 10' OR LESS**  
NTS



**TYPICAL SERVICE CONNECTION WITH FORD METER PIT**  
NTS



**EXTERIOR DOWNSPOUT COLLECTOR**  
NTS

**PROJECT INFORMATION**

**PROPOSED MULTI-FAMILY RESIDENCE**

**PROJECT LOCATION:** BLOCK 42, LOT 1  
80 BAY AVENUE  
BOROUGH OF HIGHLANDS,  
MONMOUTH COUNTY, NJ

**OWNER:** 60 BAY AVE HIGHLANDS, LLC  
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HIGHLANDS, NJ 07732

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LINCOLN, NJ 07738

**SURVEYOR:** INSITE SURVEYING, LLC  
1955 ROUTE 34, SUITE 1A  
WALL, NJ 07719

**INSITE ENGINEERING, LLC**  
SINCE 2003

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GAS	YELLOW
COMMUNICATION	ORANGE
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SEWER	GREEN
TEMP. SENS. MARKING	MAGENTA
PROPOSED EXCAVATION	WHITE

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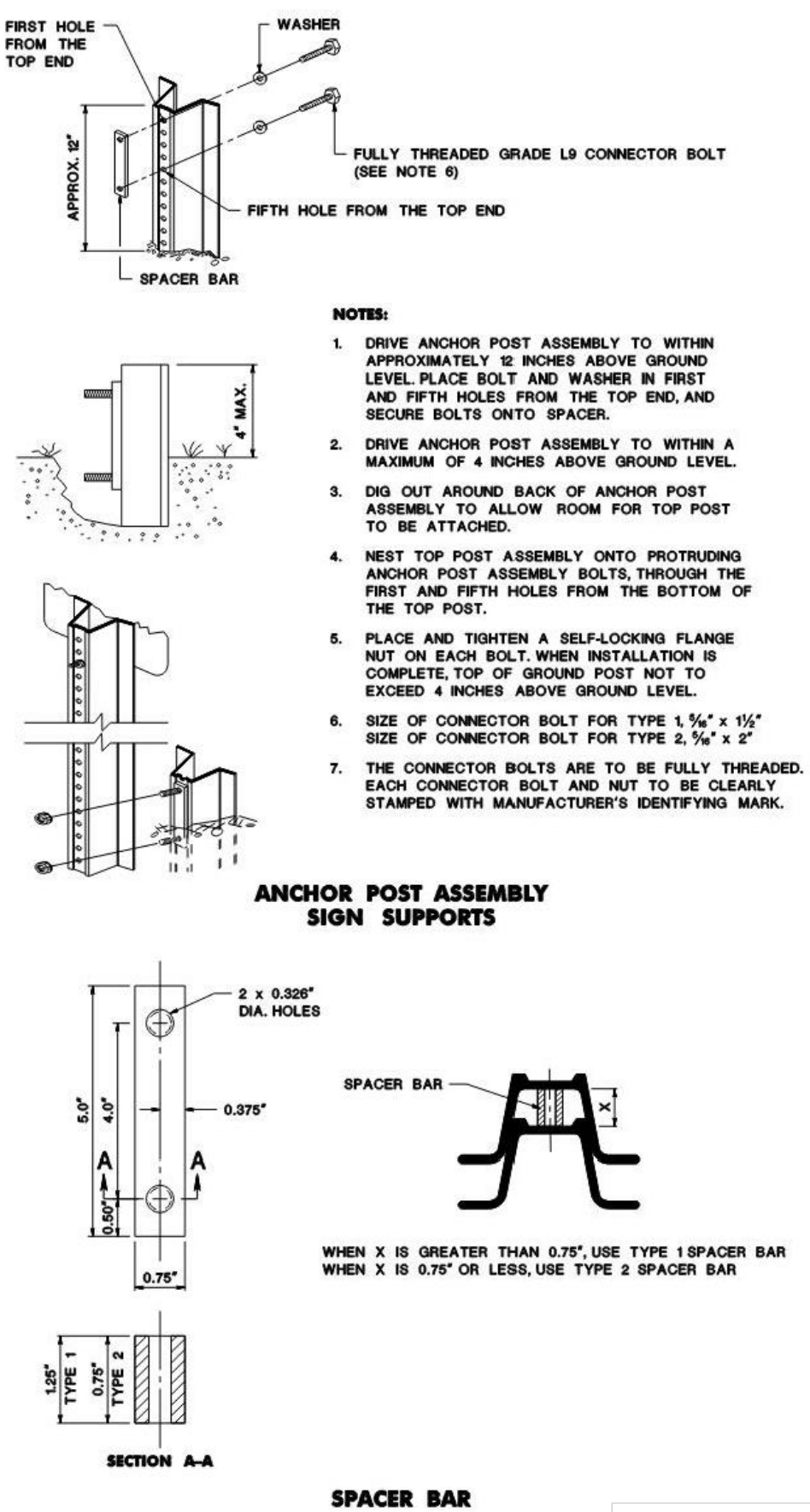
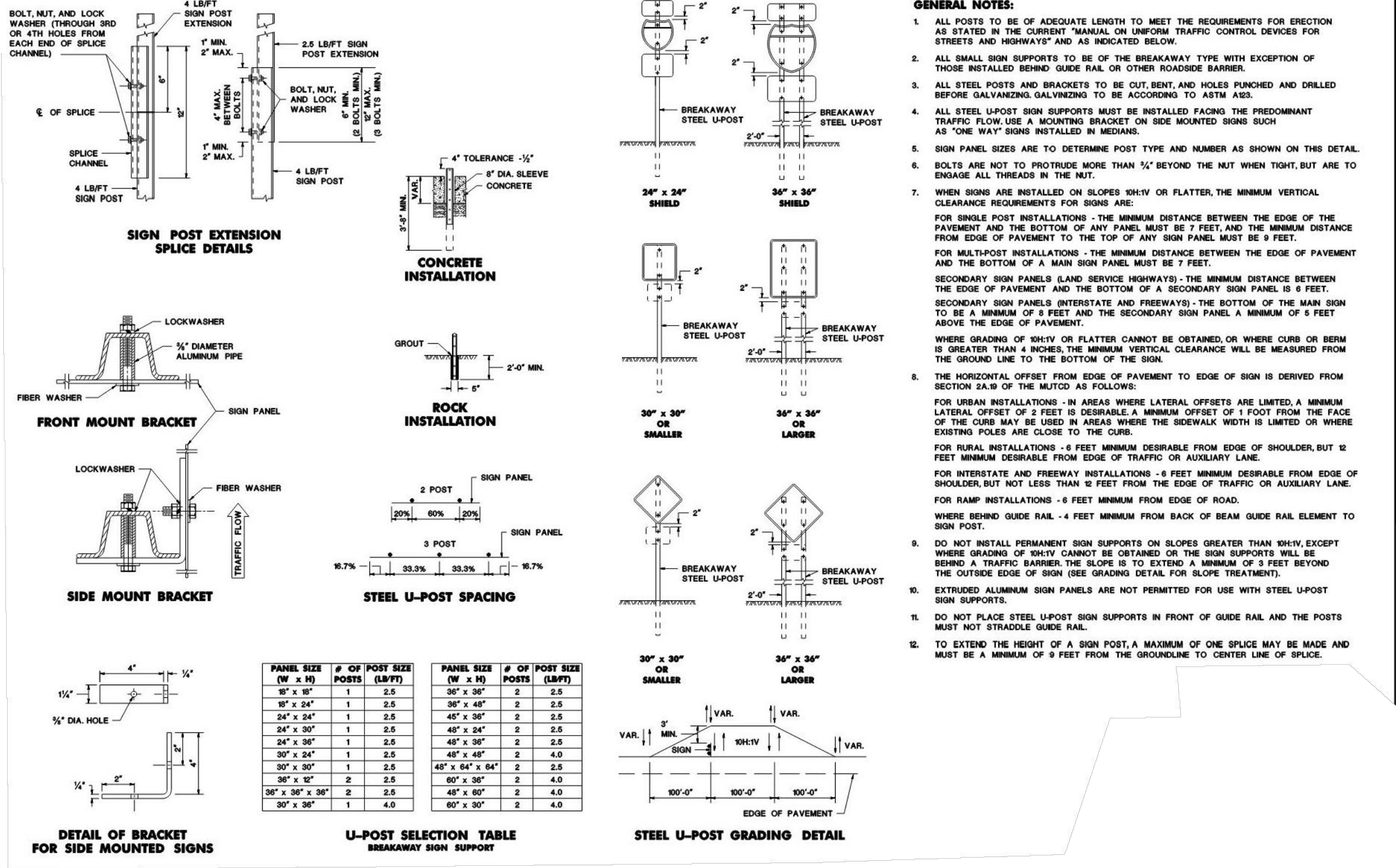
**DOUGLAS D. CLELAND, PE**  
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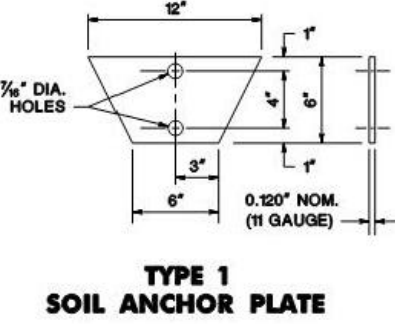
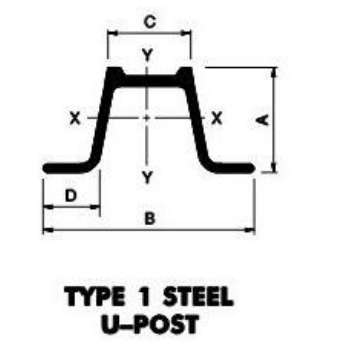
SCALE: AS SHOWN DESIGNED BY: DDC  
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JOB #: 23-2237-01 CHECKED BY: DDC  
CAD ID: 23-2237-01/3  
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FOR CONSTRUCTION  
PLAN INFORMATION  
PRELIMINARY & FINAL  
MAJOR SITE PLAN  
SHEET TITLE:  
CONSTRUCTION  
DETAILS  
SHEET NO.: C700





WEIGHT * LBS./FT.	DIMENSIONS (IN)				AREA		X-X AXIS **		Y-Y AXIS	
"A"	"B"	"C"	"D"	"E"	IN. <sup>2</sup>	IN. <sup>2</sup>	IN. <sup>2</sup>	IN. <sup>2</sup>	IN. <sup>2</sup>	IN. <sup>2</sup>
2.55	1.968	3.500	1.536	0.834	1.97	0.81	0.707	1.97	0.864	0.864

\* 2%  
 \*\* GOVERNING SECTION

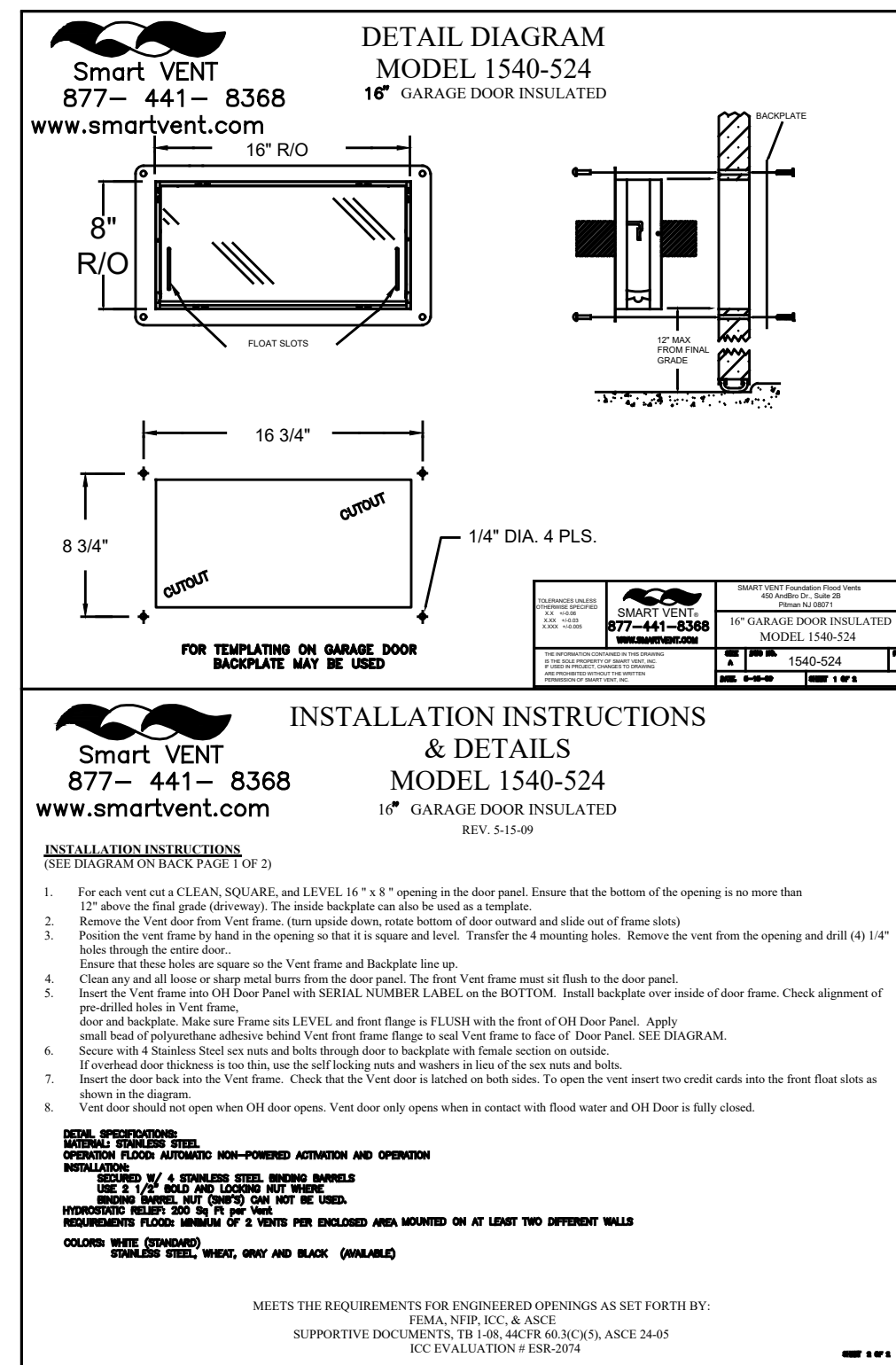
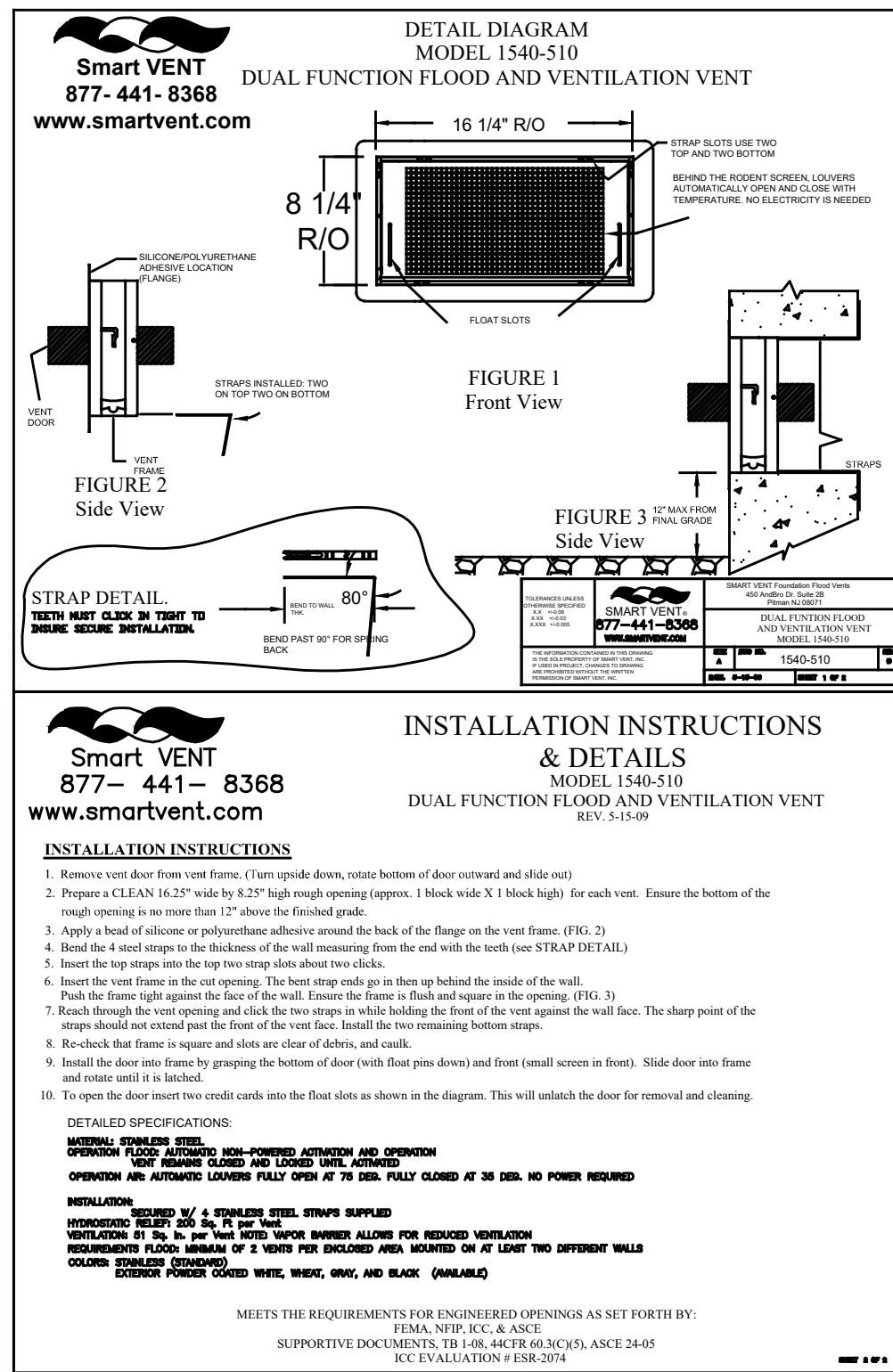
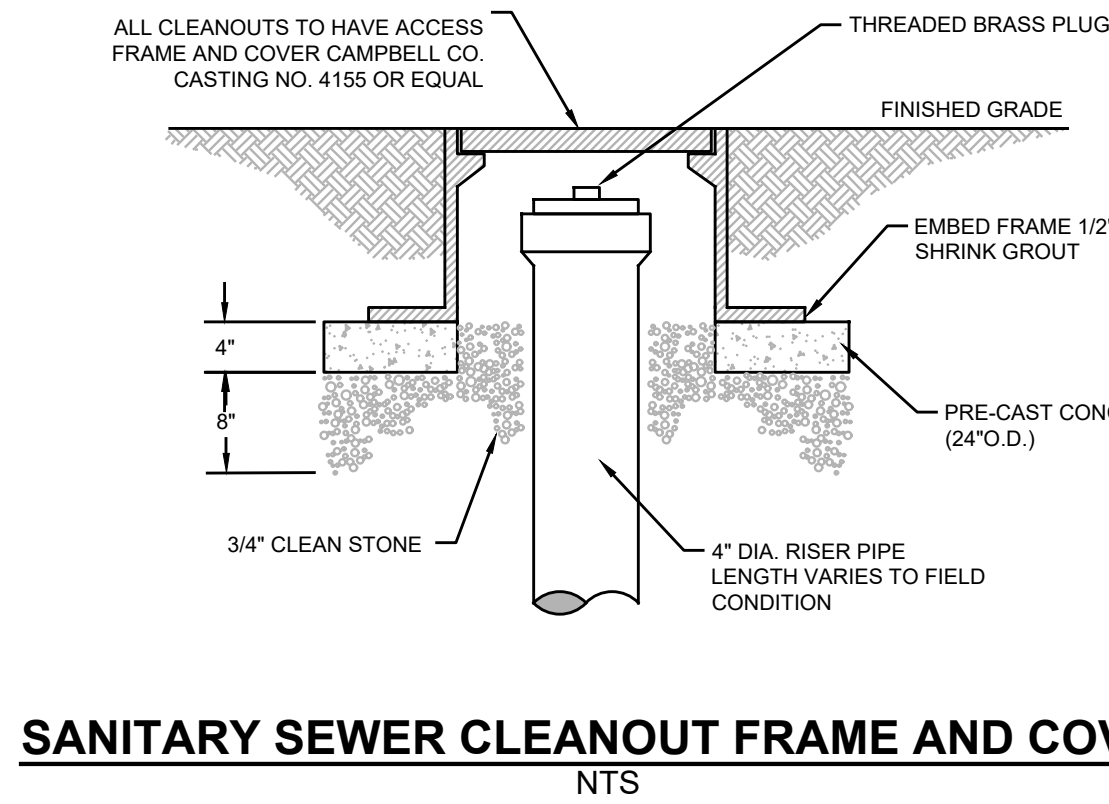
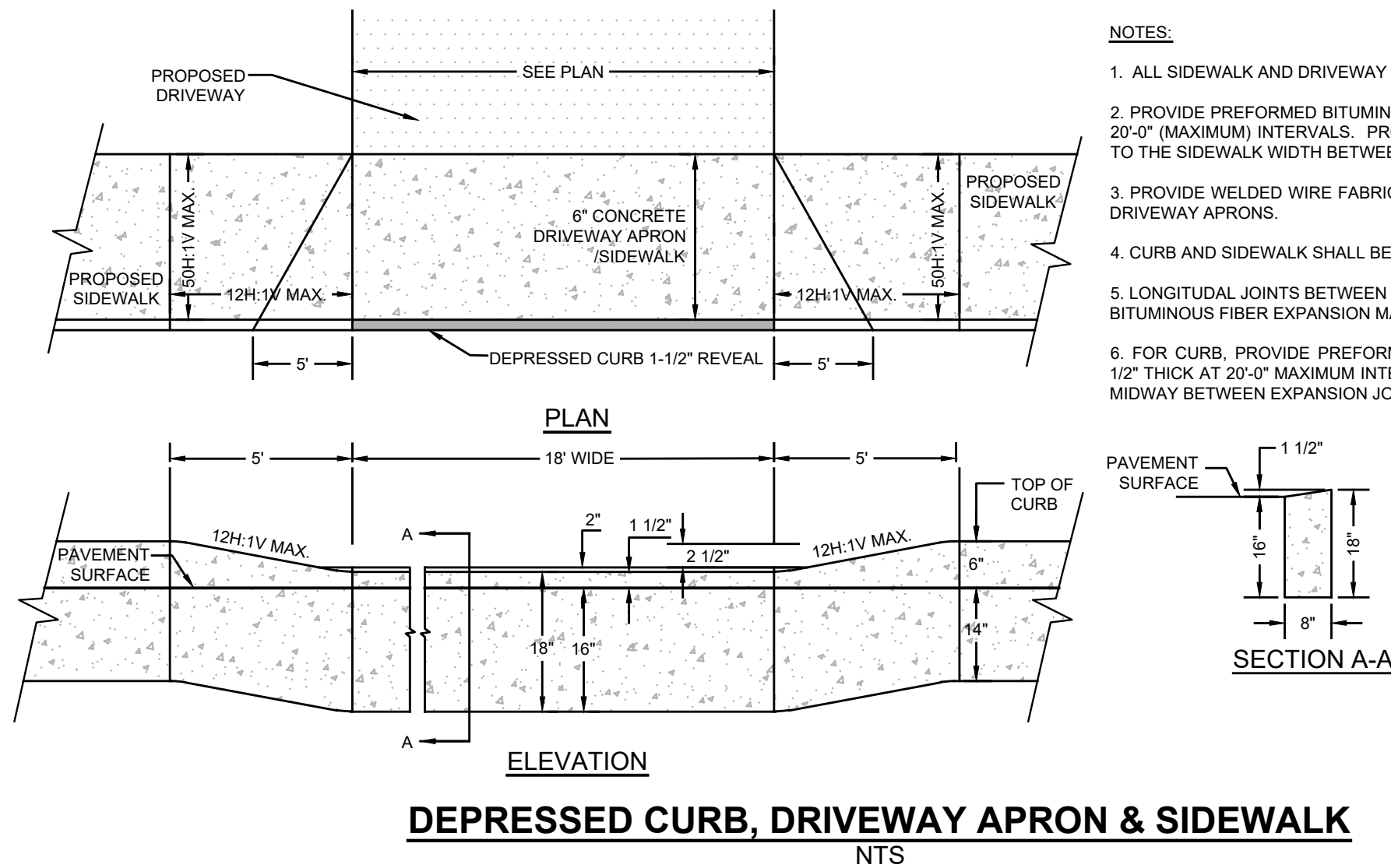


- NOTES:**
- ANCHOR POST AND TOP POST TO BE OF EQUAL WEIGHT / FEET.
  - SOIL ANCHOR PLATE TO BE ATTACHED TO ALL ANCHOR POSTS.
  - THE MATERIAL FOR THE SOIL ANCHOR PLATES TO BE CARBON STEEL.
  - THE STEEL "U" POST TO BE GRADE 60.

NOTES:  
 1. FOR SIGNS SET IN CONCRETE, AND 6" DIAMETER SLEEVE IS REQUIRED.

## STEEL U-POST SIGN SUPPORTS

NTS



## SMART VENT (1540-510)

NTS

## SMART VENT (1540-524)

NTS

Item 5.

PROJECT INFORMATION

PROJECT NAME:

PROPOSED MULTI-FAMILY RESIDENCE

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COMMUNICATION TV

ORANGE

WATER

BLUE

SEWER

GREEN

TEMP. WATER MARKINGS

MAGENTA

PROPOSED EXCAVATION

WHITE

INSITE

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DELAWARE, CONNECTICUT, NORTH CAROLINA,  
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DOUGLAS D. CLELAND, PE  
PROFESSIONAL ENGINEER  
NJ PE 24605331000

REVISIONS

Rev. #

Date

Comment

11

04/01/25

PER COUNTY

10

04/01/25

PER COUNTY

9

02/20/25

PER COUNTY

8

01/31/25

PER COUNTY REVIEW LETTER

7

01/01/25

FOR RESOLUTION COMPLIANCE

6

12/05/24

FOR PSD

5

11/05/24

FOR RESOLUTION COMPLIANCE

4

06/05/24

FOR BOROUGH COMMENTS

3

04/08/24

PER ATTORNEY

2

02/28/24

PER ATTORNEY

1

02/22/24

INITIAL RELEASE

SCALE: AS SHOWN

DESIGNED BY: DDC

DATE: 02/05/24

DRAWN BY: AMC

JOB #: 23-2237-013

CHECKED BY: DDC

CAD ID: 23-2237-013

NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE:

CONSTRUCTION DETAILS

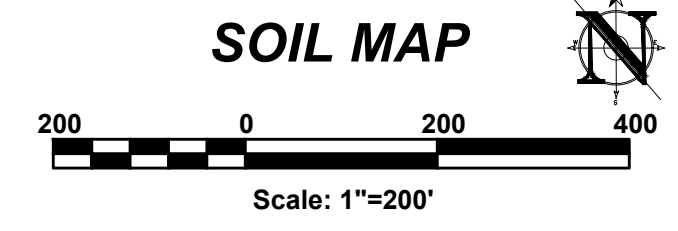
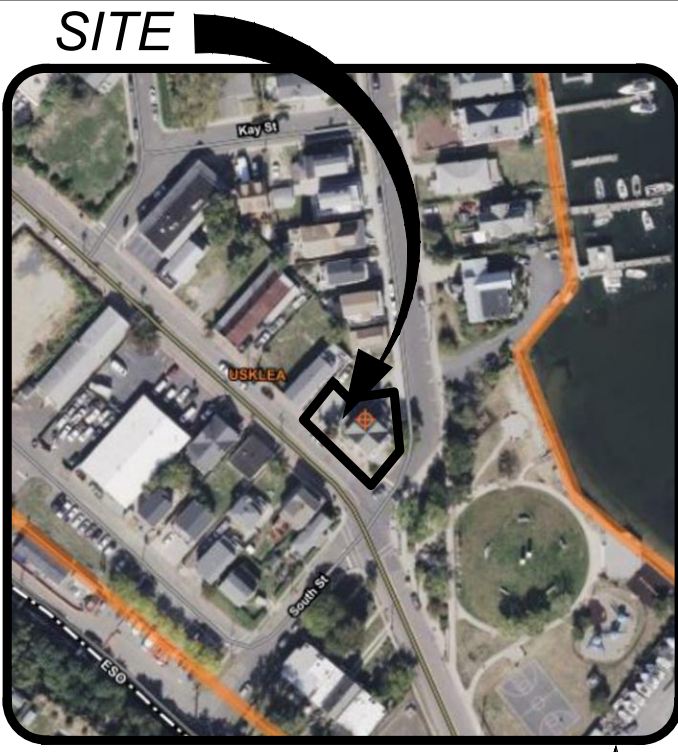
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C701

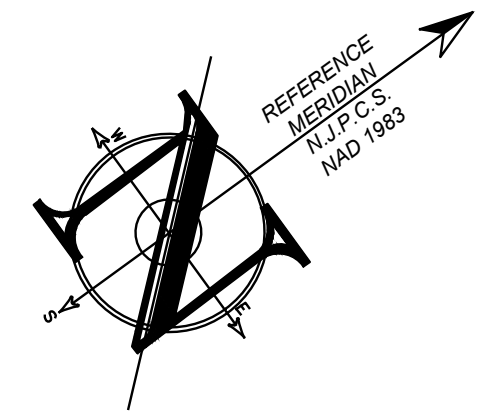
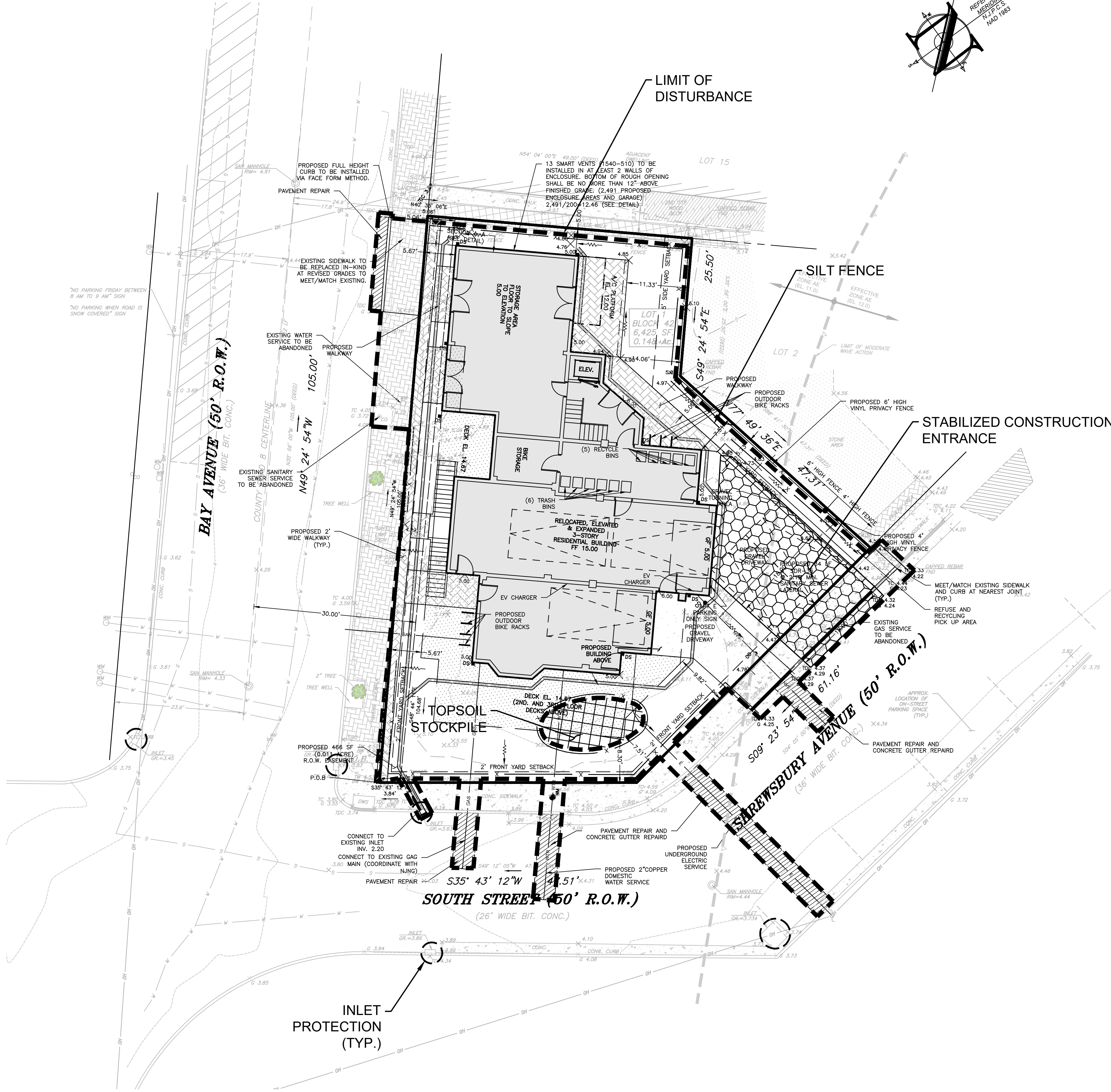
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File: X:\InSite\2025 - 60 Bay Ave Highlands, LLC\23-2237-01 - 60 Bay Ave Highlands, LLC\23-2237-01.dwg - 60 Bay Ave Highlands, LLC\23-2237-01.dwg - 60 Bay Ave Highlands, LLC\23-2237-01.dwg  
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SOIL DESIGNATION LEGEND		
MAP UNIT SYMBOL	MAP UNIT NAME	RATING
USKLEA	URBAN LAND-KLEY COMPLEX, 0 TO 2 PERCENT SLOPES	X



**LEGEND**

EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

**SOIL EROSION LEGEND**

LIMIT OF DISTURBANCE	STABILIZED CONSTRUCTION ENTRANCE
SILT FENCE	RIP-RAP APRON, SCOUR HOLE
INLET PROTECTION	SOIL RESTORATION AREA
PROPOSED TREE PROTECTION	
SOIL COMPACTION TEST LOCATION	

**CONSTRUCTION / SPPP NOTE**

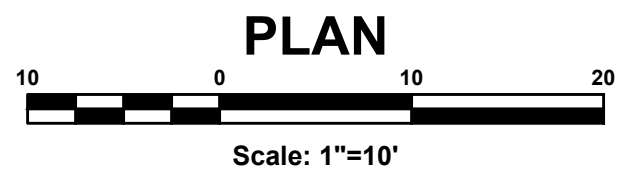
THIS PLAN WAS PREPARED TO ADDRESS THE SOIL EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT THE TIME OF DESIGN ONLY. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT ARE TO BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE SITE CONTRACTOR.

PLEASE NOTE - THIS PLAN IS NOT TO BE USED FOR SITE CONSTRUCTION.

**TOTAL LIMIT OF DISTURBANCE = 0.166 AC.**

**SOIL RESTORATION EXEMPTION**

AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN AN AREA OF "URBAN REDEVELOPMENT" AND IS CONSIDERED "PREVIOUSLY DEVELOPED" AS DEFINED BY THE NJDEP IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND REGRADING (REVISED 2017). THE SITE IS EXEMPT FROM SOIL RESTORATION REQUIREMENTS.



PROJECT INFORMATION

PROJECT NAME: **PROPOSED MULTI-FAMILY RESIDENCE**

PROJECT LOCATION: BLOCK 42, LOT 1  
60 BAY AVENUE  
BOROUGH OF HIGHLANDS,  
MONMOUTH COUNTY, NJ

OWNER: **60 BAY AVE HIGHLANDS, LLC**  
60 BAY AVENUE  
HIGHLANDS, NJ 07732

APPLICANT: **60 BAY AVE HIGHLANDS, LLC**  
60 BAY AVENUE  
HIGHLANDS, NJ 07732

APPLICANT'S PROFESSIONALS

ATTORNEY: **DONNA M. JENNINGS ESQ.**  
**WILENTZ, GOLDMAN & SPITZER, PA**  
90 WOODBRIDGE CENTER DRIVE, SUITE 900  
WOODBRIDGE, NJ 07095

ARCHITECT: **SALVATORE LA FERLITA, R.A.**  
115 UNIVERSITY DRIVE  
LINCROFT, NJ 07738

SURVEYOR: **INSITE SURVEYING, LLC**  
1955 ROUTE 37, SUITE 1A  
WALL, NJ 07719

**INSITE ENGINEERING, LLC**  
SINCE 2003

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ELECTRIC	RED
GAS/OIL	YELLOW
COMMUNICATION, TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKERS	MAGENTA
PROPOSED EXCAVATION	WHITE

**INSITE**  
Engineering • Surveying • Planning

InSite Engineering, LLC  
CERTIFICATE OF AUTHORIZATION: 24GA28083200  
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719  
732-531-7100 (Ph) 732-531-7344 (Fax)  
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA  
DELAWARE, CONNECTICUT, NORTH CAROLINA  
COLORADO, & DISTRICT OF COLUMBIA

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**DOUGLAS D. CLELAND, PE**  
PROFESSIONAL ENGINEER  
NJ PE 24605331000

**REVISIONS**

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SCALE: 1"=10'

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JOB #: 23-2237-01

CAD ID: 23-2237-01r3

DESIGNED BY: DDC

DRAWN BY: AMC

CHECKED BY: DDC

NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION

**PLAN INFORMATION**

DRAWING TITLE: **PRELIMINARY & FINAL MAJOR SITE PLAN**

SHEET TITLE: **SESC PLAN**

SHEET NO.: **C800**



#### SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE FRESHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
3. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
4. N.J.S.A. 24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. IN NEW JERSEY AND A CERTIFICATE OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL, HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STOCKPILES, STEEP SLOPES AND ROADWAY EMPALEMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
7. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION ZONE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
9. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
10. PERMANENT VEGETATION IS TO BE SEEDS OR SOODED IN ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT THE SOIL CONDITIONS FOR VEGETATIVE GROUND COVER WILL BE MINIMIZED AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVEL OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.
11. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY SEEDING IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
12. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

#### TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

##### 1. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1.
  - B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
  - C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
- ##### 2. SEEDED PREPARATION
- A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 50 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. LIMEING RATES SHALL BE ESTABLISHED VIA SOIL TESTING. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
  - B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
  - C. INSPECT SEEDED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE SURFACE MUST BE RETILLED IN ACCORDANCE WITH THE ABOVE.
  - D. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, PG. 1-1.

##### 3. SEEDING

A. TEMPORARY VEGETATIVE SEEDING COVER SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1 POUND PER 1,000 SF (100 LBS/AI) WITH AN OPTIMUM SEED DEPTH OF 0.5" (TWICE THE DEPTH IF SANDY SOILS), IN ACCORDANCE WITH TABLE 7-2, PAGE 7-3.

\*SEEDING DATES: 2/15-5/1 AND 8/15-10/15

- A. CONVENTIONAL SEEDING: APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL, OR CULPICKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULPICKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL, TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.
- B. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION IV MULCHING) HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVEL OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.
- D. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD, WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

##### 4. MULCHING

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

- A. STRAW OR HAY, UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CRIMPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

APPLICATION: SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 95% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE TO 90 POUNDS WITH EACH SECTION.

ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.

1. PEG AND TWINE: DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRIS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
2. MULCH NETTINGS: STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOVED.
3. CRIMPER (MULCH ANCHORING TOOL): A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL, SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.

4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR HAY OR STRAW MULCH.

- a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.

- b. USE ONE OF THE FOLLOWING:

- (1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOXIC EFFECT ON TURFGRASSES. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
- (2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION OF MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

- B. WOOD-FIBER OR PAPER-FIBER MULCH SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, IN NEW JERSEY JANUARY 2016GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE OR AS RECOMMENDED BY THE PROJECT MANUFACTURER AND MAY BE APPLIED BY A HYDROSEEDER. THIS MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

- C. PELLETED MULCH, COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS, THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORM A MULCHMATT. PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR ROSEATION AREAS. SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE.

APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

- B. WOOD-FIBER OR PAPER-FIBER MULCH SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE OR AS RECOMMENDED BY THE PROJECT MANUFACTURER AND MAY BE APPLIED BY A HYDROSEEDER. THIS MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

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#### PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

##### 1. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
- C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
- D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

##### 2. SEEDED PREPARATION

- A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL, WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://NAJES.RUTGERS.EDU/CULMAY). FERTILIZER SHALL BE APPLIED AT THE RATE OF 50 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
- B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL, TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
- C. HIGH ACID PRODUCING SOIL, SOILS HAVING A PH OF 4 OR LESS OR CONTAININGIRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL, HAVING A PH OF 5 OR MORE, BEFORE INITIATING SEEDED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH-ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.

##### 3. SEEDING

###### (ZONE 7A)

- A. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED.

###### SEED MIXTURE #13 FOR LAWN AREAS

PLANTING RATE LBS/1,000 (LBS/ACRE)	
HARD FESCUE AND/OR CHEWING FESCUE	4 (11%)
PERENNIAL RYEGRASS	1 (4%)
KENTUCKY BLUEGRASS (BLENDED)	1 (4%)

\*ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14\*

\*OPTIMAL SEEDING DATES: 8/15-10/15

\*SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED

###### SEED MIXTURE #7 FOR BASIN, SLOPE SLOPES, AND SWALES

PLANTING RATE LBS/2,000 (LBS/ACRE)	
STRONG CREEPING RED FESCUE	3 (13%)
KENTUCKY BLUEGRASS	1 (5%)
PERENNIAL RYEGRASS	0.5 (2%)
OR REDTOP	0.25 (1%)
PLUS WHITE CLOVER	0.1 (0.5%)

\*ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14\*

\*OPTIMAL SEEDING DATES: 8/15-10/15

\*SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED

3. SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION UP TO 50% REDUCTION IN RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING, ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER WITH THE SPECIFIED SEED MIXTURE FOR THE SEEDED AREA AND MOVED ONECE.

4. WARM-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES, GENERALLY 850 F AND ABOVE. SEE CONTINGENT 1107. PLANTING RATES FOR WARM-SEASON GRASSES SHALL BE THE AMOUNT OF PURE LINE SEED (PLS) AS DETERMINED BY GERMINATION TESTING RESULTS.

5. COOL-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT TEMPERATURES BELOW 80. MANY GRASSES BECOME ACTIVE AT 650F. SEE TABLE 4.3. MIXTURES 8-20. ADJUSTMENT OF PLANTING RATE COMPENSATES FOR THE AMOUNT OF PLS IS NOT REQUIRED FOR COOL SEASON GRASSES.

- B. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULPICKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULPICKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.
- C. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD, WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.
- D. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION IV MULCHING) HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.

##### 4. MULCHING

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

- A. STRAW OR HAY, UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CRIMPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

APPLICATION: SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE TO 90 POUNDS WITH EACH SECTION.

ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.

1. PEG AND TWINE: DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRIS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
2. MULCH NETTINGS: STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOVED.
3. CRIMPER (MULCH ANCHORING COUNTER TOOL): A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL, SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.

4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR HAY OR STRAW MULCH.

- a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.

- b. USE ONE OF THE FOLLOWING:

- (1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOXIC EFFECT ON TURFGRASSES. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
- (2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION OF MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A COMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

- B. WOOD-FIBER OR PAPER-FIBER MULCH SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, IN NEW JERSEY JANUARY 2016GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER AND MAY BE APPLIED BY A HYDROSEEDER. THIS MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

- C. PELLETED MULCH, COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS, THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORM A MULCHMATT. PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR ROSEATION AREAS. SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE.

APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETED MULCH ON THE SEEDBED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

##### 5. IRRIGATION (WHERE FEASIBLE)

IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.

##### 6. TOP DRESSING

SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED IN SECTION 2A, SEEDED PREPARATION IN THIS STANDARD, NO FOLLOW-UP OF TOP DRESSING IS MANDATORY. AN EXCEPTION MAYBE MADE WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. IN THAT INSTANCE, TOP DRESS WITH 10-10-10 OR EQUIVALENT AT 300 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS MELIORATED.

##### 7. ESTABLISHING PERMANENT VEGETATIVE STABILIZATION

THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEEDING DATES IN TABLE 4.3 ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER (OF THE SEEDED SPACES) AND MOVED ONECE. NOTE THIS DESIGNATION OF MOVED ONECE DOES NOT GUARANTEE THE PERMANENCY OF THE TURF SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

#### STANDARD FOR DUST CONTROL

##### DEFINITION

THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS.

##### PURPOSE

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCED ON-SITE AND OFF-SITE DAMAGE AND HEALTH HAZARDS AND IMPROVE TRAFFIC SAFETY.

##### CONDITION WHERE PRACTICE APPLIES

THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTION.

##### WATER QUALITY ENHANCEMENT

SEDIMENTS DEPOSITED AS "DUST" ARE OFTEN FINE COLLOIDAL MATERIAL, WHICH IS EXTREMELY DIFFICULT TO REMOVE FROM WATER ONCE IT BECOMES SUSPENDED. USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SITES AND SUBSEQUENT BLOWING AND DEPOSITION INTO LAND, SURFACE WATER RESOURCES.

##### PLANNING CRITERIA

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1

##### VEGETATIVE COVER

TEMPORARY VEGETATIVE COVER, PG. 7-1  
PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1, AND  
PERMANENT STABILIZATION WITH SOO, PG. 6-1

SPRAY ON ADHESIVE - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

#### DUST CONTROL MATERIALS

MATERIALS	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12:5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON			
POLYACRYLAMIDE (PAM) - DRY SPREAD			
ADJULATED SOY BEAM SOAP STICK	NONE	COARSE SPRAY	1200

APPLY ACCORDINGLY TO MANUFACTURER'S INSTRUCTIONS, MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD PG. 26-1

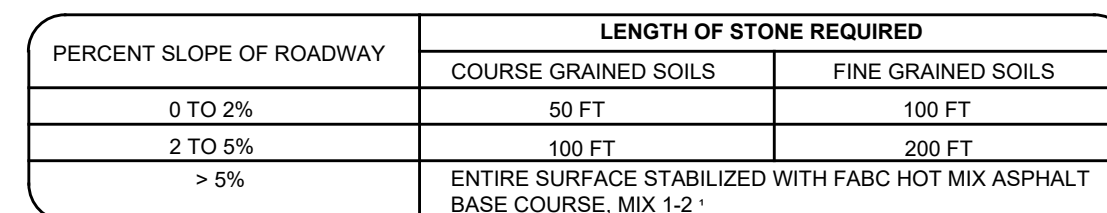
TOILAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEING PLOWING ON VINDWARD SIDE OF SITE. CHISEL-TYPE PLOW SIZES ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEEL THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IS USED ON STEEPER SLOPES THEN OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND





1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY

**STABILIZED CONSTRUCTION ENTRANCE**  
NTS

NOTE: INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION. THE THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY.



A. LOCATION. BAGS SHALL BE LOCATED FOR EASE OF CLEAN-OUT AND DISPOSAL OF THE TRAPPED SEDIMENT AND TO MINIMIZE INTERFERENCE WITH CONSTRUCTION ACTIVITIES AND PEDESTRIAN TRAFFIC. BAGS SHALL NOT BE PLACED DIRECTLY INTO RECEIVING WATERS.

B. SEDIMENT CONTROL BAGS MUST BE LOCATED AWAY FROM THE RECEIVING WATERS AND/OR CONSTRUCTION ACTIVITIES, AND DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS. BAGS MAY NOT BE REUSED.

**SEDIMENT CONTROL BAG FOR DEWATERING**  
NOT TO SCALE

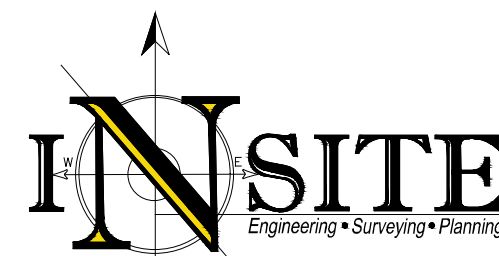


<div>PROJECT INFORMATION</div> <div>Item 3</div>	
<div>PROJECT NAME:</div> <div>PROPOSED MULTI - FAMILY RESIDENCE</div>	
<div>PROJECT LOCATION:</div> <div>BLOCK 42, LOT 1 60 BAY AVENUE BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NJ</div>	
<div>OWNER:</div> <div>60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE HIGHLANDS, NJ 07732</div>	
<div>APPLICANT:</div> <div>60 BAY AVE HIGHLANDS, LLC 60 BAY AVENUE HIGHLANDS, NJ 07732</div>	
<div>APPLICANT'S PROFESSIONALS</div> <div><div>ATTORNEY: DONNA M. JENNINGS ESQ. WILENTZ, GOLDMAN &amp; SPITZER, PA 90 WOODBRIDGE CENTER DRIVE, SUITE 900 WOODBRIIDGE, NJ 07095</div><div>ARCHITECT: SALVATORE LA FERLITA, R.A. 115 UNIVERSITY DRIVE LINCOLN, NJ 07738</div><div>SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 37, SUITE 1A WALL, NJ 07719</div></div>	



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(at least 3 days prior to excavation)	
ELECTRIC	RED
GAS / OIL	YELLOW
COMMUNICATION / TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC  
 CERTIFICATE OF AUTHORIZATION: 24GA28083  
 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719  
 732-531-7100 (Ph) 732-531-7344 (Fax)  
 InSite@InSiteEng.net www.InSiteEng.net

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**DOUGLAS D. CLELLAND, PE**  
PROFESSIONAL ENGINEER  
NJ PE 24GE05331000

## REVISIONS

<u>Rev.#</u>	<u>Date</u>	<u>Comment</u>
11	04/10/25	PER COUNTY
10	04/01/25	PER COUNTY
9	02/20/25	PER COUNTY
8	01/31/25	PER COUNTY REVIEW LETTER
6	01/21/25	FOR RESOLUTION COMPLIANCE
7	12/05/24	FOR FSCD
5	11/20/24	FOR RESOLUTION COMPLIANCE
4	06/05/24	PER BOROUGH COMMENTS
3	04/09/24	PER ATTORNEY
2	03/28/24	PER ATTORNEY
1	03/12/24	PER ARCHITECT
0	02/05/24	INITIAL DISEASE

SCALE: AS SHOWN	DESIGNED BY: DDC
DATE: 02/05/24	DRAWN BY: AMC
JOB #: 23-2237-01	CHECKED BY: DDC
CAD ID: 23-2237-01r3	

	NOT FOR CONSTRUCTION
	APPROVED BY

FOR CONSTRUCTION		
PLAN INFORMATION		

DRAWING TITLE:

**PRELIMINARY & FINAL  
MAJOR SITE PLAN**

SHEET TITLE:

**SESC DETAILS**

SHEET NO: C802



## PROJECT INFORMATION

PROJECT NAME:

PROPOSED  
MULTI -  
FAMILY  
RESIDENCE

PROJECT LOCATION:

BLOCK 42, LOT 1  
60 BAY AVENUE  
BOROUGH OF HIGHLANDS,  
MONMOUTH COUNTY, NJ

OWNER:

60 BAY AVE HIGHLANDS, LLC  
60 BAY AVENUE  
HIGHLANDS, NJ 07732

APPLICANT:

60 BAY AVE HIGHLANDS, LLC  
60 BAY AVENUE  
HIGHLANDS, NJ 07732

## APPLICANT'S PROFESSIONALS

## ATTORNEY:

DONNA M. JENNINGS ESQ.  
WILENTZ, GOLDMAN & SPITZER, PA  
90 WOODBRIDGE CENTER DRIVE, SUITE 900  
WOODBRIDGE, NJ 07095

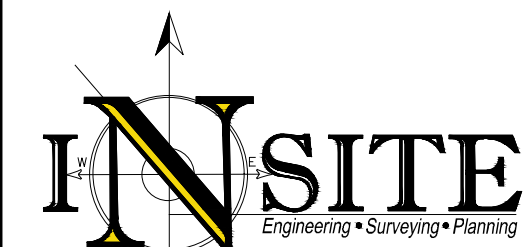
## ARCHITECT:

SALVATORE LA FERLITA, R.A.  
115 UNIVERSITY DRIVE  
LINCROFT, NJ 07738

## SURVEYOR:

INSITE SURVEYING, LLC  
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ELECTRIC	RED
GAS OIL	YELLOW
COMMUNICATION, TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

InSite Engineering, LLC  
CERTIFICATE OF AUTHORIZATION: 24GA28083200  
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719  
732-531-7100 (Ph) 732-531-7344 (Fax)  
InSite@InSiteEng.net www.InSiteEng.netLICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA  
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PROFESSIONAL ENGINEER  
NJ PE 24GE0331000

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SCALE: 1"=10'

DESIGNED BY: DDC

DATE: 02/05/24

DRAWN BY: AMC

JOB #: 23-2237-01

CHECKED BY: DDC

CAD ID: 23-2237-01r3

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APPROVED BY:

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## PLAN INFORMATION

DRAWING TITLE:

PRELIMINARY & FINAL  
MAJOR SITE PLAN

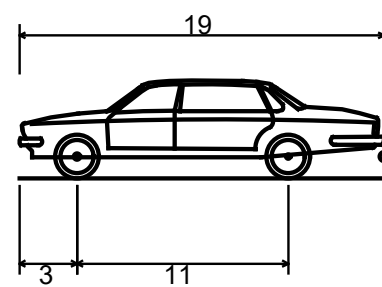
SHEET TITLE:

CIRCULATION PLAN

SHEET NO.:

C900

58



P - Passenger Car  
Overall Length 19.000ft  
Overall Width 7.000ft  
Overall Body Height 5.101ft  
Min Body Ground Clearance 1.116ft  
Track Width 6.000ft  
Lock-to-lock time 4.00s  
Curb to Curb Turning Radius 24.000ft



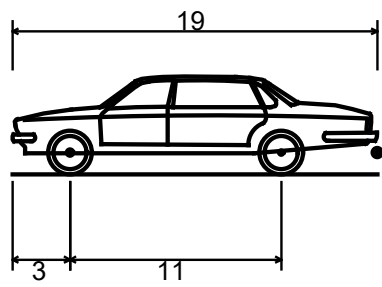
SCALE : 1" = 10'

## SEE SHEET C101 FOR PLAN NOTES

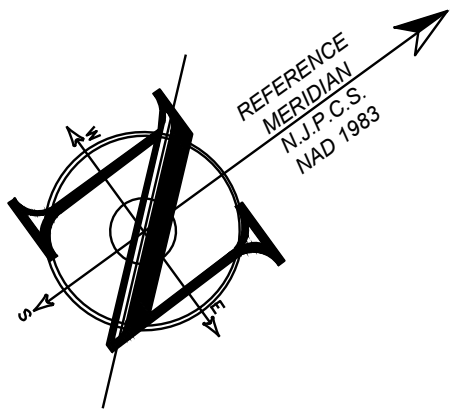
## LEGEND

EXISTING		PROPOSED
	BOUNDARY LINE	
	CONTOUR LINE	
	SPOT ELEVATION	
	BUILDING	
	WALL	
	GAS	
	WATER	
	INLET	
	STORM	
	SANITARY MAIN	
	SANITARY LATERAL	
	OVERHEAD WIRE	
	ELECTRIC	
	TELEPHONE	
	UTILITY POLE	
	HYDRANT	
	SIGN POST	
	FENCE	
	LIGHT FIXTURE	
	TEST PIT LOCATION	
	GRADE FLOW ARROW	
	SWALE CENTER LINE	





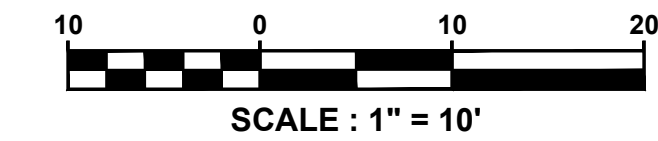
P - Passenger Car  
Overall Length 19.000ft  
Overall Width 7.000ft  
Overall Body Height 5.101ft  
Min Body Ground Clearance 1.116ft  
Track Width 6.000ft  
Lock-to-lock time 4.00s  
Curb to Curb Turning Radius 24.000ft



BAY AVENUE (50' R.O.W.)

SHREWSBURY AVENUE

SOUTH STREET (50' R.O.W.)



SEE SHEET C101 FOR PLAN NOTES

LEGEND	
EXISTING	PROPOSED

# PROPOSED MULTI - FAMILY RESIDENCE

PROJECT LOCATION:  
BLOCK 42, LOT 1  
60 BAY AVENUE  
BOROUGH OF HIGHLANDS,  
MONMOUTH COUNTY, NJ

OWNER:  
**60 BAY AVE HIGHLANDS, LLC**  
60 BAY AVENUE  
HIGHLANDS, NJ 07732

APPLICANT:  
**60 BAY AVE HIGHLANDS, LLC**  
60 BAY AVENUE  
HIGHLANDS, NJ 07732

## APPLICANT'S PROFESSIONALS

ATTORNEY:  
DONNA M. JENNINGS ESQ.  
WILENTZ, GOLDMAN & SPITZER, PA  
90 WOODBRIDGE CENTER DRIVE, SUITE 900  
WOODBRIDGE, NJ 07095

ARCHITECT:  
SALVATORE LA FERLITA, R.A.  
115 UNIVERSITY DRIVE  
LINCROFT, NJ 07738

SURVEYOR:  
INSITE SURVEYING, LLC  
1955 ROUTE 37, SUITE 1A  
WALL, NJ 07719



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ELECTRIC	RED
GAS	YELLOW
COMMUNICATION, TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKERS	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC  
CERTIFICATE OF AUTHORIZATION: 24GA28083200  
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719  
732-531-7100 (Ph) 732-531-7344 (Fax)  
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA  
DELAWARE, CONNECTICUT, NORTH CAROLINA  
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**DOUGLAS D. CLELAND, PE**  
PROFESSIONAL ENGINEER  
NJ PE 24GE0331000

## REVISIONS

Rev.#	Date	Comment
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SCALE: 1"=10'	DESIGNED BY: DDC
DATE: 02/05/24	DRAWN BY: AMC
JOB #: 23-2237-01	CHECKED BY: DDC
CAD ID: 23-2237-01r3	

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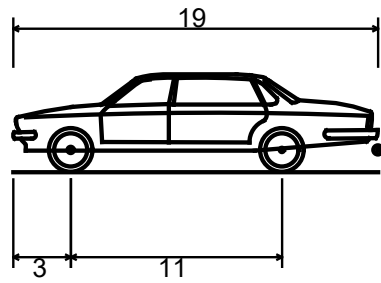
FOR CONSTRUCTION

## PLAN INFORMATION

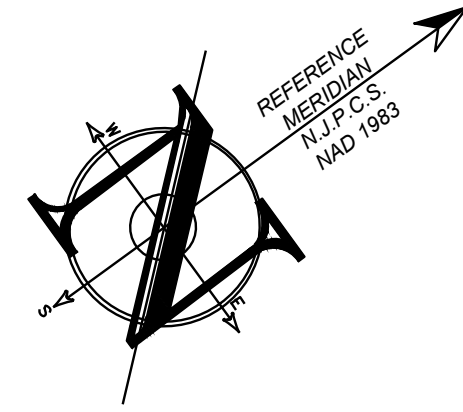
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**PRELIMINARY & FINAL  
MAJOR SITE PLAN**

SHEET TITLE:  
**CIRCULATION PLAN**



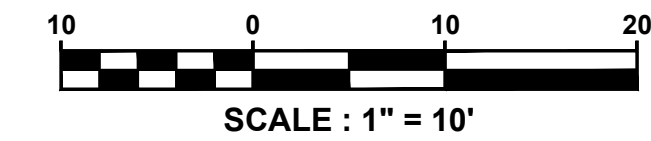


P - Passenger Car  
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Overall Width 7.000ft  
Overall Body Height 5.101ft  
Min Body Ground Clearance 1.116ft  
Track Width 6.000ft  
Lock-to-lock time 4.00s  
Curb to Curb Turning Radius 24.000ft



BAY AVENUE (50' R.O.W.)

SOUTH STREET (50' R.O.W.)



SEE SHEET C101 FOR PLAN NOTES

LEGEND

EXISTING	PROPOSED

File: X:\data\2237 - 60 Bay Ave Highlands, LLC\23-2237-01 - 60 Bay Avenue Highlands, NJ\23232370100.dwg\10-Turning Movement.dwg -> 0302 ATR03 ATR06  
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Item 5.

PROJECT INFORMATION

PROJECT NAME:

PROPOSED  
MULTI -  
FAMILY  
RESIDENCE

PROJECT LOCATION:

BLOCK 42, LOT 1  
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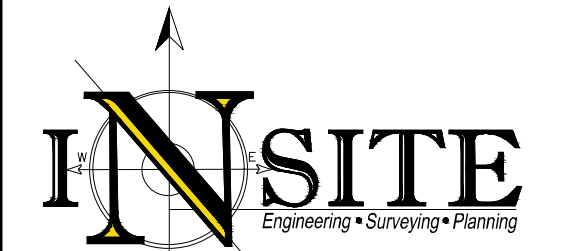
ARCHITECT:  
SALVATORE LA FERLITA, R.A.  
115 UNIVERSITY DRIVE  
LINCROFT, NJ 07738

SURVEYOR:  
INSITE SURVEYING, LLC  
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SEWER	GREEN
TEMP. SURVEY MARKERS	MAGENTA
PROPOSED EXCAVATION	WHITE



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SCALE: 1"=10'

DATE: 02/05/24

JOB #: 23-2237-01

CAD ID: 23-2237-01r3

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APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

PRELIMINARY & FINAL  
MAJOR SITE PLAN

SHEET TITLE:

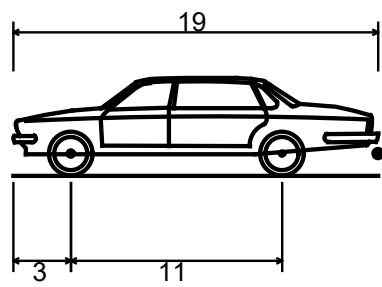
CIRCULATION PLAN

SHEET NO.:

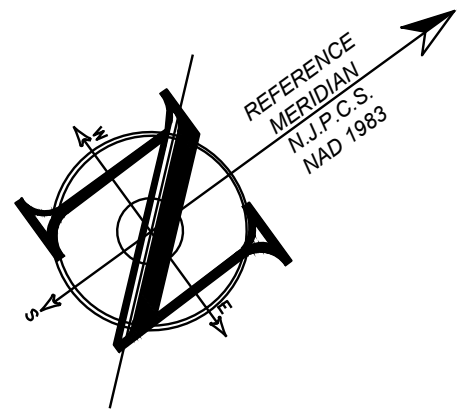
C902

60





P - Passenger Car  
Overall Length 19.000ft  
Overall Width 7.000ft  
Overall Body Height 5.101ft  
Min Body Ground Clearance 1.116ft  
Track Width 6.000ft  
Lock-to-lock time 4.00s  
Curb to Curb Turning Radius 24.000ft



BAY AVENUE (50' R.O.W.)

SOUTH STREET (50' R.O.W.)

SHREWSBURY AVENUE



SCALE : 1" = 10'

SEE SHEET C101 FOR PLAN NOTES

#### LEGEND

EXISTING		PROPOSED
BOUNDARY LINE		BOUNDARY LINE
CONTOUR LINE		CONTOUR LINE
SPOT ELEVATION		SPOT ELEVATION
BUILDING		BUILDING
WALL		WALL
GAS		GAS
WATER		WATER
INLET		INLET
STORM		STORM
SANITARY MAIN		SANITARY MAIN
SANITARY LATERAL		SANITARY LATERAL
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ELECTRIC		ELECTRIC
TELEPHONE		TELEPHONE
UTILITY POLE		UTILITY POLE
HYDRANT		HYDRANT
SIGN POST		SIGN POST
FENCE		FENCE
LIGHT FIXTURE		LIGHT FIXTURE
TEST PIT LOCATION		TEST PIT LOCATION
GRADE FLOW ARROW		GRADE FLOW ARROW
SWALE CENTER LINE		SWALE CENTER LINE

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#### PROJECT INFORMATION

PROJECT NAME:

**PROPOSED  
MULTI -  
FAMILY  
RESIDENCE**

PROJECT LOCATION:

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##### ARCHITECT:

**SALVATORE LA FERLITA, R.A.**  
115 UNIVERSITY DRIVE  
LINCROFT, NJ 07738

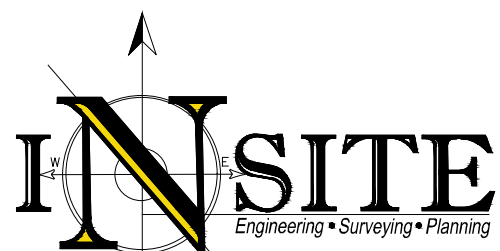
##### SURVEYOR:

**INSITE SURVEYING, LLC**  
1955 ROUTE 37, SUITE 1A  
WALL, NJ 07719



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GAS	YELLOW
COMMUNICATION, TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SENTRY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



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NJ PE 24GE0331000

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0	02/05/24	INITIAL RELEASE

SCALE: 1"=10'

DESIGNED BY: DDC

DATE: 02/05/24

DRAWN BY: AMC

JOB #: 23-2237-01

CHECKED BY: DDC

CAD ID: 23-2237-01r3

☒ NOT FOR CONSTRUCTION

APPROVED BY:

☐ FOR CONSTRUCTION

#### PLAN INFORMATION

DRAWING TITLE:

**PRELIMINARY & FINAL  
MAJOR SITE PLAN**

SHEET TITLE:

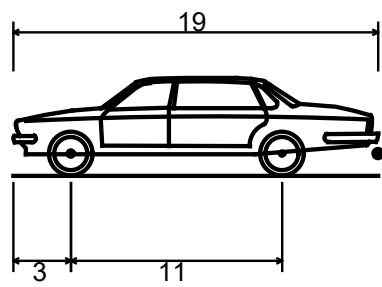
**CIRCULATION PLAN**

SHEET NO.:

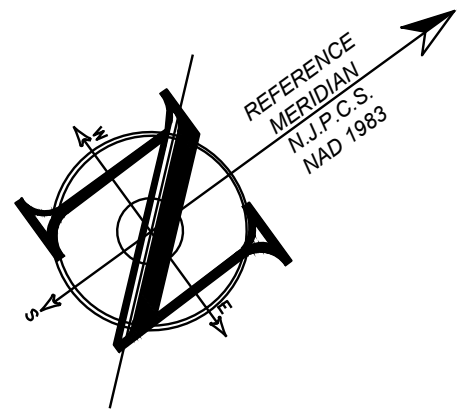
C903

61





P - Passenger Car  
Overall Length 19.000ft  
Overall Width 7.000ft  
Overall Body Height 5.101ft  
Min Body Ground Clearance 1.116ft  
Track Width 6.000ft  
Lock-to-lock time 4.00s  
Curb to Curb Turning Radius 24.000ft



BAY AVENUE (50' R.O.W.)

SOUTH STREET (50' R.O.W.)



SCALE : 1" = 10'

SEE SHEET C101 FOR PLAN NOTES

#### LEGEND

EXISTING		PROPOSED
BOUNDARY LINE		BOUNDARY LINE
CONTOUR LINE		CONTOUR LINE
SPOT ELEVATION		SPOT ELEVATION
BUILDING		BUILDING
WALL		WALL
GAS		GAS
WATER		WATER
INLET		INLET
STORM		STORM
SANITARY MAIN		SANITARY MAIN
SANITARY LATERAL		SANITARY LATERAL
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HYDRANT		HYDRANT
SIGN POST		SIGN POST
FENCE		FENCE
LIGHT FIXTURE		LIGHT FIXTURE
TEST PIT LOCATION		TEST PIT LOCATION
GRADE FLOW ARROW		GRADE FLOW ARROW
SWALE CENTER LINE		SWALE CENTER LINE

PROJECT INFORMATION

PROJECT NAME:

**PROPOSED  
MULTI -  
FAMILY  
RESIDENCE**

PROJECT LOCATION:

BLOCK 42, LOT 1  
60 BAY AVENUE  
BOROUGH OF HIGHLANDS,  
MONMOUTH COUNTY, NJ

OWNER:

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60 BAY AVENUE  
HIGHLANDS, NJ 07732

APPLICANT:

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60 BAY AVENUE  
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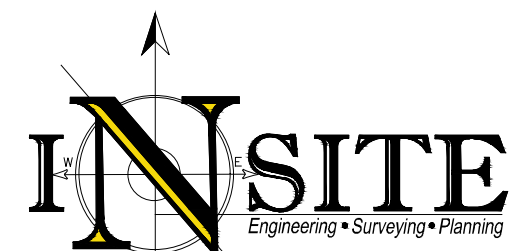
SURVEYOR:

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PROPOSED EXCAVATION	WHITE



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NJ PE 24GE0331000

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SCALE: 1"=10'

DESIGNED BY: DDC

DATE: 02/05/24

DRAWN BY: AMC

JOB #: 23-2237-01

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CAD ID: 23-2237-01r3

☒ NOT FOR CONSTRUCTION

APPROVED BY:

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#### PLAN INFORMATION

DRAWING TITLE:

**PRELIMINARY & FINAL  
MAJOR SITE PLAN**

SHEET TITLE:

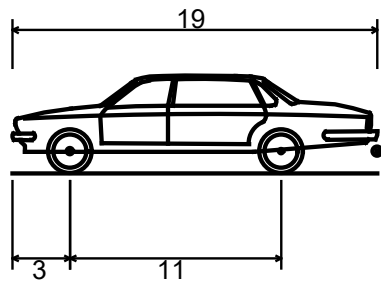
**CIRCULATION PLAN**

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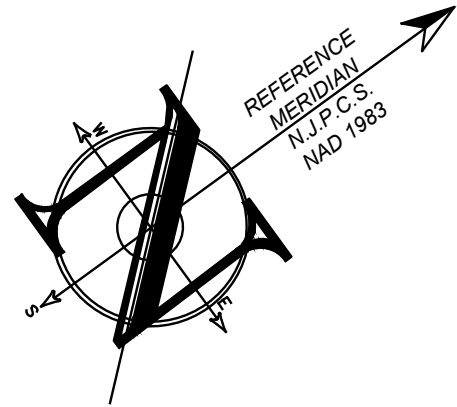
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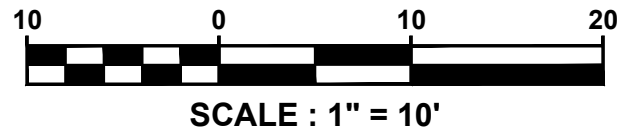


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BAY AVENUE (50' R.O.W.)

SOUTH STREET (50' R.O.W.)



SEE SHEET C101 FOR PLAN NOTES

LEGEND

EXISTING		PROPOSED
	BOUNDARY LINE	
	CONTOUR LINE	
	SPOT ELEVATION	
	BUILDING	
	WALL	
	GAS	
	WATER	
	INLET	
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	TEST PIT LOCATION	
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PROJECT NAME:

# PROPOSED MULTI - FAMILY RESIDENCE

PROJECT LOCATION:

BLOCK 42, LOT 1  
60 BAY AVENUE  
BOROUGH OF HIGHLANDS,  
MONMOUTH COUNTY, NJ

OWNER:

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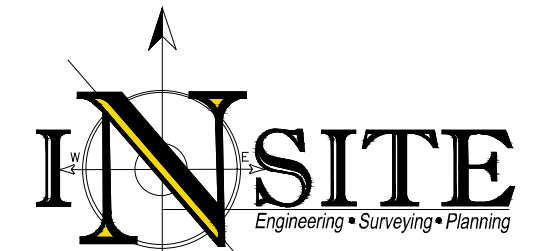
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SURVEYOR:  
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SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



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JOB #: 23-2237-01	CHECKED BY: DDC

CAD ID: 23-2237-01r3

☒ NOT FOR CONSTRUCTION

APPROVED BY:

☐ FOR CONSTRUCTION

## PLAN INFORMATION

DRAWING TITLE:

PRELIMINARY & FINAL  
MAJOR SITE PLAN

SHEET TITLE:

CIRCULATION PLAN

SHEET NO.:

C905

63



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- THE PROVISIONS OF THESE CONSTRUCTION DOCUMENTS, IN WHOLE AND IN PART INCLUDING THESE NOTES AND DRAWINGS APPLY TO ALL PARTIES PERFORMING WORK FOR THE PROJECT. IT IS RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONVEY, COORDINATE, AND ENSURE PERFORMANCE OF THESE PROVISIONS.
- ALL SUBCONTRACTORS SHALL COOPERATE IN THE COORDINATION AND PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, BONDS, INSURANCE, PERMITS, AND INSPECTIONS FOR COMPLETING THE WORK.
- THESE CONSTRUCTION DOCUMENTS ARE INSTRUMENTS OF SERVICE FOR THIS PARTICULAR PROJECT. THEY ARE THE SOLE PROPERTY OF THIS FIRM AND SHALL NOT BE OTHERWISE USED IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION AND DUE COMPENSATION.
- THE CONTRACTOR AND OWNER SHALL HOLD HARMLESS THE ARCHITECT FROM DAMAGES OR EXPENSES INCLUDING LEGAL FEES ARISING OUT OF THE CONTRACTORS PERFORMANCE OF WORK.
- THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATION AS TO THE SUITABILITY OF SOIL CONDITIONS, SUCH A REPRESENTATION OF WOULD REQUIRED TESTING AND PROFESSIONAL ENGINEERING REVIEW OF THE RESULTS.
- THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATION AS TO THE CONDITIONS OR SUITABILITY OF CONCEALED STRUCTURAL OR FOUNDATION ELEMENTS.
- THIS WORK OF THIS PROJECT SHALL BE PERFORMED AND/OR COORDINATED BY AN EXPERIENCED GENERAL CONTRACTOR OR CONSTRUCTION MANAGER, WITH AT LEAST THREE YEARS OF EXPERIENCE IN AT LEAST THREE PROJECTS OF SIMILAR SCOPE AND TYPE.

SCOPE OF THE WORK:

- THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE CARRIED OUT.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING THE WORK OF THIS CONTRACT, WHERE DISCREPANCIES ARE FOUND NOTIFY THE ARCHITECT IMMEDIATELY.
- WHERE DRAWINGS, SPECIFICATIONS, OR OTHER CONSTRUCTION DOCUMENTS DISAGREE OR CONFLICT WITH EACH OTHER NOTIFY ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL PERFORM ALL INDICATED WORK AND RELATED WORK EVEN IF NOT CLEARLY INDICATED THAT MAY BE REASONABLY CONSIDERED AS NECESSARY FOR COMPLETION.
- THE CONTRACTOR SHALL PROTECT AGAINST DAMAGE OR THEFT TO ALL NEW AND EXISTING CONSTRUCTION, SITE DEVELOPMENT AND SERVICES.
- THE CONTRACTOR SHALL REPAIR DAMAGE TO THE EXISTING AND/OR NEIGHBORING CONSTRUCTION OR SITES CAUSED BY NEW CONSTRUCTION AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER AND LEGAL DISPOSAL OF ALL REFUSE AND FOR MAINTAINING THE WORK PLACE IN A SAFE AND ORDERLY CONDITION AT ALL TIMES.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SERVICES AND ASSOCIATED HOOR-UPS, COORDINATION AND PERMISSIONS AT HIS OWN COST.
- THE CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATIONS OF THE EXISTING STRUCTURE DURING PERFORMANCE OF HIS WORK. SHOULD HE BECOME AWARE OF ANY INVESTIGATION OR STUDY (SUCH AS CRACKS IN MASONRY AND PARTITIONS, ADDITIONAL DEFLECTIONS, ETC) AND NOTIFY THE ARCHITECT IMMEDIATELY.
- FIREPROOF GARAGE AND UTILITY ROOM AS REQUIRED BY LOCAL CODES WITH 5/8" FIRE CODE "X" GYPSUM BOARD OR EQUAL.
- CRAWL SPACE ACCESS AND VENTILATION SHALL COMPLY WITH SECTION R 408.1 AND R 408.4 OF 2021 RESIDENTIAL CODE N.J. EDITION.

PERFORMANCE OF THE WORK:

- ALL WORK SHALL BE TO THE HIGHEST STANDARDS OF THE TRADE.
- ALL MATERIALS AND PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND CODE REQUIREMENTS, AND AS OTHERWISE INDICATED IN CONTRACT DOCUMENTS.
- ALL MATERIAL AND PRODUCTS SHALL BE NEW AND IN GOOD CONDITION. WHEN APPLICABLE, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH COPIES AND ASSIGNMENTS OF ALL GUARANTEES PROVIDED BY THE MANUFACTURER.
- THE CONTRACTOR SHALL MAINTAIN THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS AT THE WORK SITE AT ALL TIMES.
- DO NOT SCALE DRAWINGS. DIMENSIONS ARE FACE OF STUD OR TO FACE OF MASONRY UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS CLEAR OR CLEAR SHALL BE USED AS FINISHED SURFACE TO FINISHED SURFACE DIMENSION.

DEMOLITION NOTES:

- ALL INDICATED DEMOLITION INCLUDES REQUIRED PATCHING, REPAIR AND MODIFICATIONS AS NECESSARY TO PREPARE FOR NEW WORK AND/OR MATCH EXISTING.
- DEMOLITION WORK INCLUDES REMOVING ALL DEMOLITION DEBRIS FROM THE SITE IN A LEGAL AND TIMELY MANNER.
- NOTIFY ARCHITECT IMMEDIATELY IF DEMOLITION REVEALS EXISTING CONDITIONS DIFFERENT FROM THOSE ASSUMED ON DRAWINGS.
- REMOVAL OF PLUMBING FIXTURES OR PIPES INCLUDES CAPPING OFF ALL SUPPLY AND WASTE LINES.
- REMOVAL OF ELECTRICAL FIXTURES OR WORK, INCLUDES PROPER TERMINATION OF ALL WIRES.
- COORDINATE WITH PLUMBING FOR RELOCATION OF ALL EXISTING PLUMBING AND/OR GAS PIPING REQUIRED BY DEMOLITION AND/OR NEW WORK INDICATED.
- COORDINATE WITH ELECTRICAL FOR RELOCATION OF ALL EXISTING WIRE AND/OR OTHER ELECTRICAL WORK REQUIRED BY DEMOLITION AND/OR NEW WORK INDICATED.
- COORDINATE WITH HVAC FOR RELOCATION OF ALL EXISTING DUCTS AND/OR OTHER SYSTEM COMPONENTS AS WORK REQUIRED BY DEMOLITION AND/OR NEW WORK INDICATED.
- SHORE UP ALL EXISTING FRAMING BEFORE TOTAL REMOVAL OF THE BEARING WALLS AND BEFORE NEW BEAMS ARE INSTALLED.

SITWORK/EARTHWORK:

- SITE WORK INCLUDES ALL ASPECTS OF SOIL MOVEMENT, PREPARATION, SOIL CONDITIONS, PAVING, AND GRASS SEEDING ASSOCIATED WITH THE PROJECT.
- SITE WORK INCLUDES ALL REGULATORY ASPECTS OF THE WORK INCLUDING SOIL RETENTION PROCEDURES, EXCAVATION APPROVALS, AND PERMITS AS MAY BE REQUIRED.
- SITE WORK INCLUDES ALL SOIL WORK RELATED TO FOUNDATION, SLABS, COMPACTION AND REQUIRED RETAINING WALLS.
- TREAT SOIL WITH APPROVED INSECTICIDES AT FOUNDATION AND CRAWL SPACE AREAS. USE MANUFACTURERS DISTRIBUTION RECOMMENDATIONS OF A TYPE APPROVED BY OWNER.
- STRIP OFF AND CONSERVE ALL TOP SOIL IN AREAS TO BE DISTURBED.
- PROVIDE A STABILIZED STONE SUB-BASE FOR CONSTRUCTION ACCESS IN THE LOCATION OF PROPOSED DRIVE WAY BED WITH QUALITY MIX GRASS SEED (APPROVED BY OWNER) AND MAINTAIN ALL DISTURBED AREAS TO PROMOTE NEW LAWN FOR A PERIOD NOT LESS THAN 30 DAYS.
- CONTRACTOR SHALL INSTALL NEW 2" BITUMINOUS DRIVEWAY OVER 3" CRUSHED STONE WITH BELGIUM BLOCK CURBING AND SLATE SIDEWALK AS PER SITE PLAN, PROVIDE ALTERNATE PRICE.

MASONRY AND CONCRETE NOTES:

- MASONRY AND CONCRETE WORK INCLUDES ALL CONSTRUCTION INVOLVING STONE, BRICK, CONCRETE MASONRY UNITS AND POURED CONCRETE AND INCLUDES ALL ASSOCIATED MATERIALS LABOR AND EQUIPMENT FOR THE WORK.
- CONCRETE AND MASONRY WORK INCLUDES ALL GARAGE, CRAWL SPACE AND BASEMENT SLABS, PATIOS, FOUNDATIONS, AND BUILDING WALLS, RETAINING WALLS, WALKWAYS OR OTHER WORK AS APPROPRIATE TO THE TRADE INCLUDING ALL COORDINATION WITH OTHER TRADES AS TO EXCAVATION, GRADING, UTILITIES, ETC.
- MASONRY AND CONCRETE WORK INCLUDES ALL REINFORCING CALLED FOR AS NORMALLY PROVIDED, INCLUDING ALL REBAR, STEEL LINTELS, AND WIRE MESH.
- ALL CONCRETE SHALL BE MIN. STRENGTH 3,000 psi AT 28 DAYS UNLESS OTHERWISE INDICATED.
- ALL CONCRETE MASONRY UNITS AND BRICK ARE TO BE RUNNING BOND UNLESS OTHERWISE INDICATED.
- PROVIDE FOUNDATION DAMP-PROOFING (2) LAYER HOT ASPHALTIC COATING OR OTHER APPROVED SYSTEMS.
- PROVIDE RADON MITIGATION MEASURES AS REQUIRED BY LOCAL CODE AND AS CALLED FOR IN THE DRAWINGS.
- PROVIDE #4 VERTICAL REBAR AT 8'-0" O.C. AT ALL CORNERS AND ON BOTH SIDES OF ALL MASONRY WALL OPENINGS. POUR SOLID AT ALL REBAR LOCATIONS FOR MIN. 16".
- THE BOTTOM OF ALL EXTERIOR WALLS, COLUMNS AND FOOTINGS SHALL BE A MINIMUM OF 3'-0" BELOW FINISHED GRADE UNLESS OTHERWISE INDICATED ON THE WORKING DRAWINGS.
- WHEN FINISHED FLOOR IS 2'-0" OR GREATER ABOVE FINISHED GRADE, THE FOUNDATION WALL SHALL BE REINFORCED FROM TOP OF FOOTING TO 12" ABOVE FLOOR SLAB, FILL BLOCK SOLID WITH CONCRETE AND PROVIDE VERTICAL ROD REINFORCING AT 12" O.C.
- PROVIDE HORIZONTAL TRUSS-TYPE REINFORCING EVERY OTHER BLOCK COURSE.
- ALL FOOTING SHALL BEAR ON VIRGIN SOIL OF 3,000 P.S.F. BEARING CAPACITY.
- PROVIDE LINTELS OVER MASONRY OPENINGS. STEEL LINTELS SHALL BE TWO (2) 3 1/2" x 3 1/2" x 1/2" UNLESS OTHERWISE NOTED.
- DO NOT ERECT MASONRY WALLS WHEN TEMPERATURE IS BELOW 25 DEGREES WITHOUT RECEIVING WRITTEN PERMISSION AND SPECIAL REQUIREMENTS FROM THE ARCHITECT. FOR TEMPERATURES LESS THAN 40 DEGREES BUT MORE THAN 25 DEGREES MAINTAIN MORTAR TEMPERATURE BETWEEN 40 AND 120 DEGREES, HEATING MIXING WATER AS NECESSARY. MASONRY UNITS SHALL BE HEATED TO A MINIMUM TEMPERATURE OF 40 DEGREES.
- WHERE EXPOSED MASONRY MUST BE TRIMMED, SAWCUT ALL EXPOSED JOINTS.

ENERGY NOTES:

- THE CONSTRUCTION SHALL MEET OR EXCEED ALL STATE ENERGY CODE REQUIREMENTS.
  - ALL FRAMED EXTERIOR WALLS OR WALLS ADJACENT TO UNHEATED SPACES, SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF 2021 IECC 402.1.1 MINIMUM R-38 INSULATION IN FLOOR/CEILING ASSEMBLIES, MINIMUM R-19 IN FLOOR ASSEMBLIES. REFER TO CHART BELOW FOR ALL OTHER AREAS.
- |                                  |           |
|----------------------------------|-----------|
| 2021 IECC FOR CLIMATE ZONE 4 & 5 |           |
| CEILING R-VALUE                  | R-49 MIN. |
| WOOD FRAME WALL R-VALUE          | R-19      |
| MASONRY WALL R-VALUE             | R-19      |
| FLOOR R-VALUE                    | R-49      |
| BASEMENT WALL R-VALUE            | R-10/13   |
| SLAB R-VALUE                     | R-10      |
| CRAWL SPACE R-VALUE              | R-10/13   |
| PENESTRATION U-VALUE             | 0.35      |
| SKYLIGHT U-VALUE                 | 0.60      |

- ALL SLABS ON GRADE SHALL HAVE PERIMETER INSTALLATION 2" x 24" RIGID BOARD; HORIZONTAL AND VERTICAL (NOT IN BASEMENT UNLESS OTHERWISE NOTED).
- INSULATE ALL PIPES, DUCTS, AND TANKS AS REQUIRED BY BOCA INTERNATIONAL ENERGY CODE.
- SUPPLY ALL WINDOWS AND DOORS WITH STOPS AND SEALS FOR A MAX INFILTRATION OF 0.5 CFM PER FOOT OF GASH CRACK.
- CAULK OR WEATHER STRIP ALL EXTERIOR JOINTS AROUND DOORS AND WINDOWS TO MINIMIZE INFILTRATION.

GLAZING NOTES:

- WINDOWS NOTED AS EGRESS PROVIDE MINIMUM CLEAR OPENING OF 5.7 SQ. FT. WITH MIN. 20" WIDTH AND 24" HEIGHT EGRESS WINDOWS ON THE FIRST FLOOR SHALL HAVE A MINIMUM CLEAR OPENING OF 5.0 SQ. FT.
- SILL HEIGHT FOR WINDOWS INDICATED AS EGRESS WINDOWS SHALL NOT EXCEED 44" ABOVE THE FLOOR.
- PROVIDE TEMPERED GLASS AS INDICATED ON DRAWINGS IN ALL GLASS AT BATH AND SHOWER AREAS LESS THAN 72" A.F.F., IN ALL GLASS IN DOORS, AND AS OTHERWISE REQUIRED.

WOOD, FRAMING AND CARPENTRY:

- ALL STRUCTURAL WOOD MEMBERS SHALL BE NO.2 DOUGLAS FIR OR SOUTHERN PINE.
- ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED UNLESS OTHERWISE NOTED ON THE DRAWINGS. (OF A TYPE APPROVED BY OWNER).
- ALL INTERIOR TRIM SHALL BE PAINT-GRADE PINE AND/OR STAIN-GRADE PINE, VERIFY FINAL SELECTION WITH OWNER.
- PROVIDE DOUBLE MEMBERS AROUND ALL FRAMED OPENING.
- PROVIDE SOLID BLOCKING AT ALL CANTILEVERS PERPENDICULAR WALLS ABOVE, AND OTHER CONCENTRATED LOADS. PROVIDE DOUBLE JOISTS RUNNING PARALLEL TO PARTITIONS ABOVE.
- PROVIDE BRIDGING AT 8'-0" O.C. MAXIMUM.
- PROVIDE ALL WORK INDICATED AS CABINETRY, VANITIES, SHELVES, OR MANTELS, AND/OR COORDINATE CARPENTRY WITH TILE OR GRANITE WORK AS APPROPRIATE.
- SILL PLATE SHALL BE (2) 2" x 6" TREATED LUMBER, FASTEN TO FOUNDATION WALL. MINIMUM 8'-0" O.C. WITH A 1/2" DIAMETER x 18" MINIMUM LENGTH SOLIDLY EMBEDDED IN CONCRETE.
- ALL FRAMING LUMBER SHALL BE NO.2 DOUGLAS FIR OR SOUTHERN PINE WITH MINIMUM Fb OF 1450 P.S.I. AND MINIMUM E OF 1,700,000.
- ALL NAILING SHALL BE IN ACCORDANCE WITH 2021 INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITION.
- PROVIDE CATS AS REQUIRED, MINIMUM 8'-0" O.C.
- WOOD HEADERS (2) 2" x 8" FOR OPENINGS UP TO 5'-0" AND (2) 2" x 10" FOR OPENINGS UP TO 8'-0" UNLESS OTHERWISE NOTED ON THE PLANS.
- STAIR, GUARD RAILS AND HAND RAILS AT DECKS, BALCONIES OR STAIRCASES SHALL COMPLY WITH THE SECTION OF 2018 INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITION.
- DESIGN LOADS:

	FLOORS:	40 PSF LIVE LOAD
		10 PSF DEAD LOAD
	ROOF:	10 PSF LIVE LOAD
		10 PSF DEAD LOAD

WIND LOAD: MINIMUM DESIGN WIND LOAD = 110 MPH BASIC WIND SPEED - EXPOSURE B IN ACCORDANCE WITH AF & PA WOOD CONSTRUCTION MANUAL FOR 1 AND 2 FAMILY DWELLINGS "WFCM".

FINISH NOTES:

- DO NOT START THE APPLICATION OR INSTALLATION OF ANY FINISHED MATERIAL WITHOUT INSURING THE SUBSTRATE IS ACCEPTABLE AND PROPERLY PREPARED.
- WHERE APPROPRIATE FOR PROPER INSTALLATION OR APPLICATION FINISH WORK INCLUDES ALL REMOVAL OF EXISTING FINISHES INCLUDING WALL COVERING, PAINT AND OTHER COATINGS, AND FLOORING MATERIALS.
- ALL FINISHED WORK INCLUDES LEVELING BETWEEN FLOORS.
- PROVIDE OWNER WITH SAMPLES OF ALL INTERIOR AND EXTERIOR FINISH MATERIALS FOR ACCEPTANCE BEFORE ORDERING.
- INSTALLATION OF FINISHES, INTERIOR AND EXTERIOR SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- GYPSUM BOARD INSTALLATION INCLUDES TAPING AND SPACKLING (THREE COATS) ALL WALLS IN THE HOUSE, TWO COATS IN CLOSETS, AND ONE COAT IN THE GARAGE.
- PAINTING CONTRACTOR SHALL PROVIDE (1) COAT PRIMER AND (2) COAT FINISH WITH BENJAMIN MOORE PAINT OR EQUAL.
- ALL BATHROOMS SHALL HAVE TILE FLOORS AND WALLS, TILES ARE SELECTED BY OWNER.
- ALL TUBS AND SHOWERS SHALL HAVE MOLDED ENCLOSURES AS SELECTED BY OWNER.
- ALL HARDWARE SHALL BE SELECTED BY OWNER.
- ALL WOOD FLOORS (WHERE INDICATED ON THE PLANS) SHALL BE #1 OAK FINISHED NATURAL WITH (2) COATS OF POLYURETHANE.
- ALL TRIMS SHALL BE 3" CASING AND 5" BASE (SATIN GRADE AND/OR PAINT GRADE) AS SELECTED BY OWNER.

ELECTRICAL NOTES:

- ALL WORK PERFORMED TO CONFIRM TO ALL STATE, COUNTY, TOWN AND LOCAL CODES.
- CONTRACTOR SHALL BE LICENSED BY THE STATE AND TO PROVIDE ALL NECESSARY DESIGN WORK NECESSARY TO OBTAIN ALL PERMITS, HARDWARE CONNECTIONS, FIXTURES, BULBS, PLATES, ETC.
- ALL ELECTRICAL WORK IS THROUGH TO COMPLETE INSTALLATION INCLUDING ALL LABOR, EQUIPMENT, AND ALL MATERIALS FOR DISTRIBUTION SYSTEM AND PANEL, BOARDS, WIRING, HARDWARE CONNECTIONS, FIXTURES, BULBS, PLATES, ETC.
- PROVIDE GROUND FAULT INTERRUPT OUTLETS WITHIN SIX FEET OF ANY WATER SOURCE, IN GARAGES, BASEMENTS AND AS INDICATED ON PLAN (G.F.I.).
- SMOKE DETECTORS TO BE INSTALLED TO MEET ALL UPDATED LOCAL AND STATE CODES. ALL ALARMS TO SOUND SIMULTANEOUSLY.
- THE CONTRACTOR WILL PROVIDE ALL ELECTRICAL WORK NECESSARY TO COMPLETE THE PROJECT, GENERAL CONTRACTOR TO FURNISH AND INSTALL LIGHTING FIXTURES.
- ALL BATHROOMS TO HAVE FAIL-SAFE CIRCUITS.

PLUMBING NOTES:

- ALL PLUMBING WORK SHALL BE BY A LICENSED PLUMBER.
- ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENT.
- PLUMBING WORK INCLUDES ALL SUPPLY, WASTE, AND VENT PIPING, PROVISIONS AND COMPLETE INSTALLATION FOR FIXTURE SHUTOFF VALVES FOR EACH FIXTURE GROUP. PROVISION AND COMPLETE INSTALLATION OF ANY REQUIRED HOT-WATER HEATER.
- PLUMBING WORK INCLUDES ALL NATURAL GAS AND PROPANE PIPING INCLUDING SERVICE CONNECTION TO ALL GAS APPLIANCES AND PURNACES.
- WASTE PIPING SHALL BE APPROVED PVC, SUPPLY PIPING SHALL BE TYPE "L" COPPER PIPE.
- PROVIDE CLEANOUTS AS REQUIRED BY CODE, NOT MORE THAN 75'-0" APART, AT ALL TURNS OF 45 DEGREES OR MORE.
- ALL PLUMBING FIXTURES SHALL BE SELECTED BY OWNER, (REFER TO PLUMBING FIXTURE SCHEDULE).

HVAC/MECHANICAL NOTES:

- ALL HEATING, COOLING AND VENTILATION SHALL BE PERFORMED BY A QUALIFIED MECH. SUBCONTRACTOR ACCORDING TO ALL CODES.
- WORK OF THE CONTRACTOR INCLUDES ALL WORK REQUIRED FOR A COMPLETELY INSTALLED FUNCTIONING, BALANCED AND TESTED HVAC SYSTEM. WORK OF THIS CONTRACT ALSO INCLUDES PROVIDING ALL HEATERS, RADIATORS, REGISTERS DUCTWORK AND ANY OTHER ACCESSORIES MADE NECESSARY BY THE WORK OF THIS CONTRACT INCLUDING ALL RELOCATIONS, MODIFICATIONS OF EXTENSIONS TO THE EXISTING SYSTEM, AS WELL AS NEW OR SUPPLEMENTAL SYSTEMS.
- SUBCONTRACTOR SHALL CHECK AND VERIFY UNIT CAPACITIES AND DEMAND LOADS FOR BOTH NEW AND EXISTING UNITS. CONTRACTOR SHALL REVIEW WITH THE OWNER THE ENTIRE HVAC LAYOUT INCLUDING ZONES AND THERMOSTAT LOCATIONS, AND THE LOCATIONS OF ALL RADIATORS, REGISTERS AND RETURNS. MARK LOCATIONS FOR REVIEW BY OWNER.

2021 INTERNATIONAL RESIDENTIAL CODE CHAPTER 6

THIS COMPREHENSIVE CODE COMPRISES ALL BUILDING, PLUMBING, MECHANICAL, FUEL GAS AND ELECTRICAL REQUIREMENTS FOR ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES UP TO THREE STORIES. FOR THE MOST CURRENT ADOPTIONS DETAILS GO TO INTERNATIONAL CODE ADOPTIONS THE IRC CONTAINS MANY IMPORTANT CHANGES SUCH AS: AN UPDATED SEISMIC MAP REFLECTS THE MOST CONSERVATIVE SEISMIC DESIGN CATEGORY (SDC) BASED ON ANY SOIL TYPE AND A NEW MAP REFLECTS LESS CONSERVATIVE SDCs WHEN SITE CLASS A, B OR D IS APPLICABLE. THE TOWNHOUSE SEPARATION PROVISIONS NOW INCLUDE OPTIONS FOR USING TWO SEPARATE FIRE-RESISTANT-RATED WALLS OR A COMMON WALL. AN EMERGENCY ESCAPE AND RESCUE OPENING IS NO LONGER REQUIRED IN BASEMENT SLEEPING ROOMS WHERE THE DWELLING HAS AN AUTOMATIC FIRE SPRINKLER SYSTEM AND THE BASEMENT HAS A SECOND MEANS OF EGRESS OR AN EMERGENCY ESCAPE OPENING. THE EXEMPTION FOR INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS HAS BEEN DELETED. NEW GIRDER/HEADER TABLES HAVE BEEN REVISED TO INCORPORATE THE USE OF #2 SOUTHERN PINE IN LIEU OF #1 SOUTHERN PINE. TABLES ADDRESS ALTERNATIVE WOOD STUD HEIGHTS AND THE REQUIRED NUMBER OF FULL HEIGHT STUDS IN HIGH WIND AREAS.

ENERGY CALCULATIONS:

PER THE UNIFORM CONSTRUCTION CODE N.J.A.C. 5:23-2.15 (I) (vi) (ENERGY CALCULATIONS) APPLICANTS ARE REQUIRED TO DEMONSTRATE COMPLIANCE WITH THE ENERGY SUBCODE & 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AS PART OF THE PERMIT APPLICATION PROCESS FOR NEWLY CONSTRUCTED BUILDING OR ADDITION. THE PROJECT LOCATED IN CLIMATE ZONE 4 COMPLIES WITH THE PRESCRIPTIVE PACKAGE OPTION NO. 4 BULLETIN NO. 11-1, AS FOLLOWS:

WOOD FRAME CONSTRUCTION 2018 IECC CODE CHAPTER 4

	REQUIRED	PROPOSED
PENESTRATION (U)	0.35	<0.35
CEILING (R)	49 / 38*	38*
WALL (R)	20	21
FLOOR (R)	19	19

\*40x21" ALLOWS R-38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES.

SITE INFORMATION

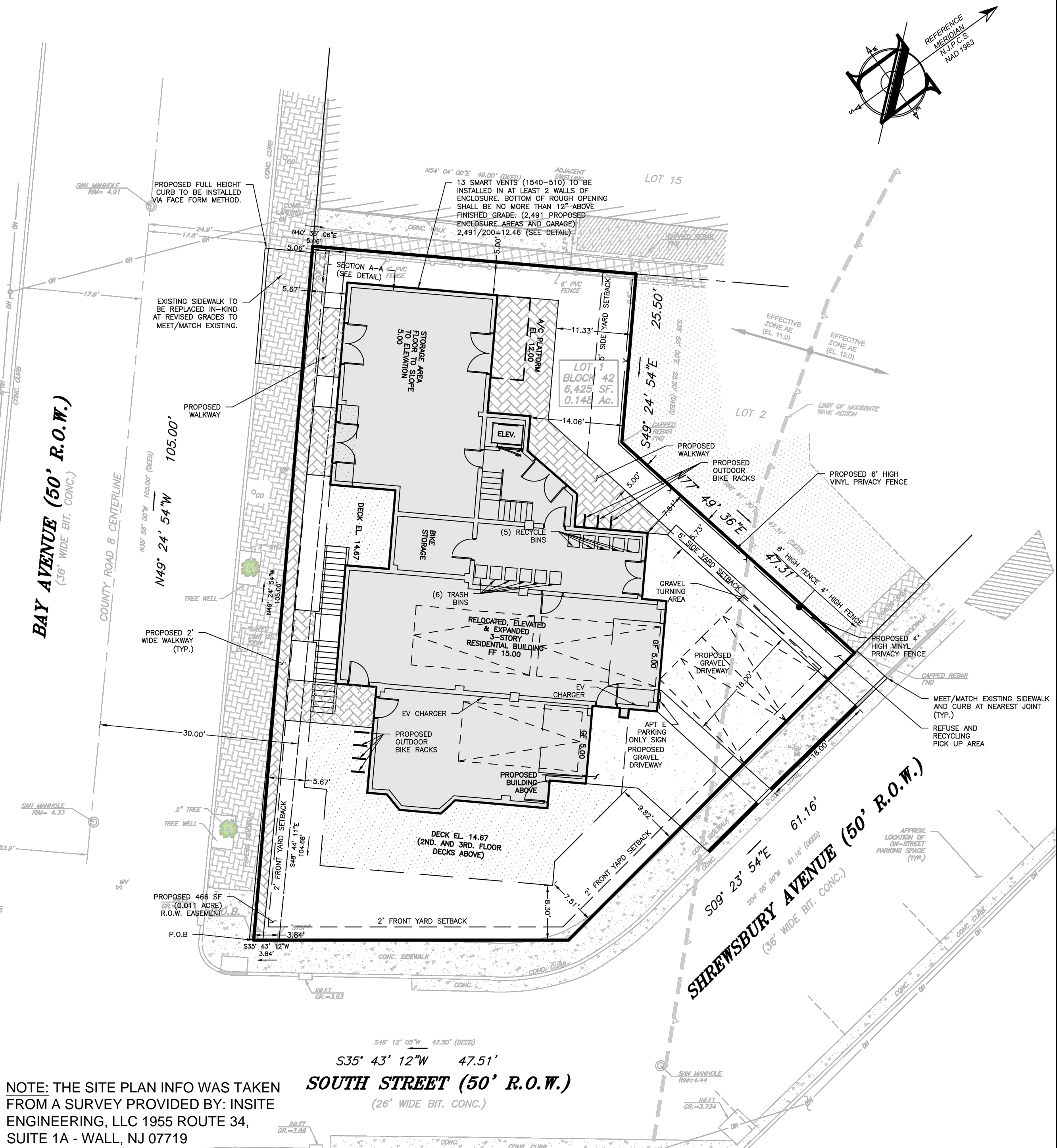
APPLICABLE CODES			
INTERNATIONAL RESIDENTIAL CODE (N.J. EDITION)	2021		
INTERNATIONAL MECHANICAL CODE	2021		
NATIONAL STANDARD PLUMBING CODE	2021		
NATIONAL ELECTRICAL CODE	2020		
INTERNATIONAL FIRE CODE	2021		
INTERNATIONAL ENERGY CONSERVATION CODE	2021		

ZONING DATA			
ITEM	ZONE: CBD	BLOCK: 42	LOT: 1
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA			6,408 S.F.
MINIMUM LOT FRONTAGE			105.00'
MINIMUM FRONT SETBACK ACCESSORY			2.00'
MINIMUM SIDE SETBACK ACCESSORY			5.00' / 8.00'
MINIMUM STREET SIDE SETBACK ACCESSORY			5.00' / 8.00'
MINIMUM REAR SETBACK ACCESSORY			5.00' / 8.00'
MINIMUM REAR STREET SIDE SETBACK ACCESSORY			5.00' / 8.00'
MAXIMUM BUILDING COVERAGE			2,681 S.F.
* MAXIMUM LOT COVERAGE			2,681 / 6,408 = .42%
MAXIMUM BUILDING HEIGHT ACCESSORY			46'-10"

BUILDING STATISTICS			
CONSTRUCTION CLASS: 5A USE GROUP CLASSIFICATION: R3 RESIDENTIAL FOUNDATION PLAN & DETAILS ARE DRAWN IN ACCORDANCE WITH ABSCE24 110 MPH EXPOSURE B' WIND ZONE			

BUILDING DATA			
HABITABLE AREA	EXISTING AREA	NEW AREA	TOTAL AREA
GROUND FLOOR	0	0	0
FIRST FLOOR	1,200 SF	1,268 SF	2,468 SF
SECOND FLOOR	900 SF	1,686 SF	2,586 SF
THIRD FLOOR	900 SF	1,534 SF	2,434 SF
TOTAL	3,000 SF	4,488 SF	7,488 SF
HABITABLE AREA	EXISTING VOLUME	NEW VOLUME	TOTAL VOLUME
GROUND FLOOR	0	22,419 CF	22,419 CF
FIRST FLOOR	9,600 CF	11,412 CF	21,012 CF
SECOND FLOOR	7,200 CF	13,488 CF	20,688 CF
THIRD FLOOR	7,200 CF	12,272 CF	19,472 CF
TOTAL	24,000 CF	59,591 CF	83,591 CF

SITE PLAN



DRAWING LIST

- T-100 TITLE SHEET
- A-100 GROUND FLOOR DEMOLITION AND CONSTRUCTION FLOOR PLAN
- A-101 FIRST AND SECOND FLOOR DEMOLITION AND CONSTRUCTION FLOOR PLANS
- A-102 THIRD FLOOR CONSTRUCTION AND ROOF FRAMING PLANS
- A-103 FRONT AND REAR EXTERIOR ELEVATIONS
- A-104 LEFT AND RIGHT SIDE EXTERIOR ELEVATIONS
- A-105 FASTENING SCHEDULE AND DETAILS

PROGRESS SET  
ISSUED: 4/11/2025

Salvatore La Ferlita, R.A.  
Architectural Services  
Construction Management

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Lincroft, N.J. 07738  
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Revised

Issued

No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client

60 BAY AVE HIGHLAND LLC  
MULTI- FAMILY RESIDENCE  
60 BAY AVENUE  
HIGHLANDS, NEW JERSEY

Title

TITLE SHEET

Seal & Signature:

Seal

Signature

Job Type:

-

Project No.:

AS NOTED

Scale:

AS NOTED

Date:

Drawn By:

Reviewed By:

-

Drawing No.:

T-100

SHEET No: 1 OF 1

MULTI - FAMILY RESIDENCE  
PROPOSED NEW FOUR STORY DWELLING



FOUNDATION NOTES:

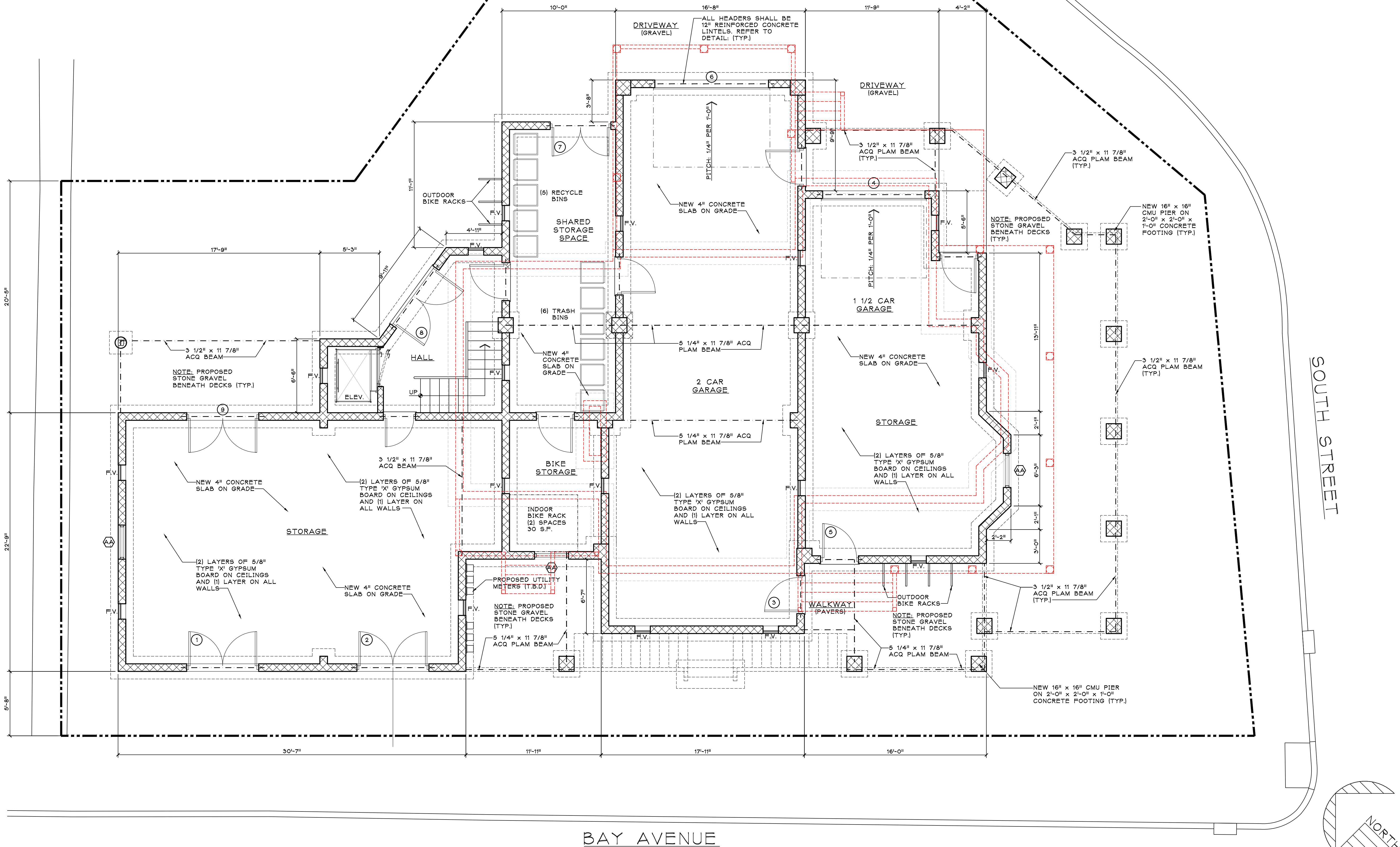
- ALL FOOTINGS SHALL BEAR ON SOIL UNDISTURBED SOIL OR CONTROLLED COMPACT FILL WITH A MINIMUM OF 3000 p.s.f. CONTRACTOR SHALL VERIFY THE SOIL BEARING CAPACITY PRIOR TO THE BEGINNING OF WORK.
- THE BOTTOM OF ALL EXTERIOR WALLS, COLUMNS AND FOOTINGS SHALL BE A MINIMUM OF 3'-0" BELOW FINISHED GRADE UNLESS OTHERWISE INDICATED ON THE WORKING DRAWINGS.
- PROVIDE 12" x 24" CONCRETE FOOTING UNDER 8" BLOCK WALLS UNLESS OTHERWISE NOTES.
- ALL CRAWL SPACES SHALL BE 8" CMU WALLS.
- ALL FOUNDATION WALLS SHALL HAVE DUR-O-WALL HORIZONTAL REINFORCING EVERY OTHER COURSE.
- ALL MORTAR JOINTS AT ALL FOUNDATION WALLS SHALL BE TYPE: AM.
- TOP TWO COURSES OF ALL FOUNDATION WALLS SHALL BE FILLED SOLID WITH CONCRETE.
- ALL SILLS IN CONTACT WITH CONCRETE SHALL BE WOLMINIZED AND TREATED WITH ENVIRONMENTALLY ACCEPTABLE SPRAY FOR TERMITE PROTECTION. INVESTIGATE ALL EXISTING CONDITIONS AT PERIMETER OF HOUSE FOR TERMITE DAMAGE. ALL DAMAGED WOOD SHALL BE REPLACED OR REPAIRED AS REQUIRED.
- DO ALL INTERIOR AND EXTERIOR BACKFILLING SIMULTANEOUSLY.
- STEP ALL INTERIOR WALL FOOTING DOWN AS REQUIRED TO MEET EXTERIOR WALL FOOTING.
- PROVIDE RADON MITIGATION SYSTEM IN AREA OF NEW CONSTRUCTION ONLY IF REQUIRED BY PER TIER 1 RADON HAZARD AREAS PER N.J.A.C. 5: 23 - 10.4.

MASONRY NOTES:

- BUILDING BRICK SHALL BE MADE FROM CLAY OR SHALE ASTM-C-62-67 GRADE MW FOR EXTERIOR WALLS ABOVE GRADE AND INTERIOR WALLS.
- CONCRETE BUILDING BRICK AS PER ASTM C-55-66.
- FACE BRICK SHALL BE TYPE FAX. PER ASTM C216-66 GRADE MW.
- CONCRETE MASONRY UNITS TO BE GRADE - P. MODERATE EXPOSURES AND GRADING FOR NO EXPOSURE. A. SOLID LOAD BEARING BLOCK AS PER ASTM C 145-66 T. B. HOLLOW LOAD BEARING BLOCK AS PER ASTM C 40-66.
- METAL ANCHORS AND TIES SHALL BE NON-CORROSIVE AS FOLLOWS: A. ZINC COATING ON IRON OR STEEL CLASS B-1, B-2, B-3 AS PER ASTM A153-65. B. ZINC COATING ON WIRE TO BE GRADE 30HS AS PER ASTM B228-65.
- MORTAR SHALL COMPLY WITH ASTM C270-64. TYPE - M PROPORTIONED WITH ONE PART PORTLAND CEMENT ONE PART TYPE - 2 MASONRY CEMENT AND SIX PARTS OF AGGREGATES.

LEGEND

- EXISTING TO BE REMOVED
- ===== EXISTING INTERIOR PARTITION TO REMAIN
- ===== NEW 2" x 4" WOOD STUD INTERIOR WALL CONSTRUCTION
- ===== NEW TWO HOUR RATED WALL CONSTRUCTION
- ===== NEW 2" x 6" WOOD STUD EXTERIOR WALL CONSTRUCTION
- ===== NEW 12" CONCRETE BLOCK FOUNDATION WALL
- ⊙ DOOR NUMBER, REFER TO DOOR SCHEDULE
- ⊙ WINDOW NUMBER, REFER TO WINDOW SCHEDULE
- FV NEW 'SMART VENT' AUTOMATIC NON-POWERED, 8" x 16" FLOOD VENTS OR APPROVED EQUAL, 12" ABOVE GRADE MAX (1) PER 200 S.F. MIN.
- H<sup>10</sup> NEW HOSE BIBB
- ↔ SECTION NUMBER DRAWING NUMBER
- ↔ ELEVATION LETTER DRAWING NUMBER
- A.F.F. ABOVE FINISHED FLOOR
- U.O.N. UNLESS OTHERWISE NOTED
- V.I.F. VERIFY IN FIELD

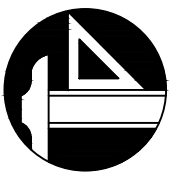


A-100 GROUND FLOOR PLAN  
2,491 S.F. - G.F.E.: 5.00'

SCALE: 1/4" = 1'-0"

PROGRESS SET  
ISSUED: 4/11/2025

SALVATORE LA FERLITA, R.A.  
Architectural Services  
Construction Management



115 University Drive  
Lincroft, N.J. 07738  
732-741-5105  
Sallafelita@aol.com

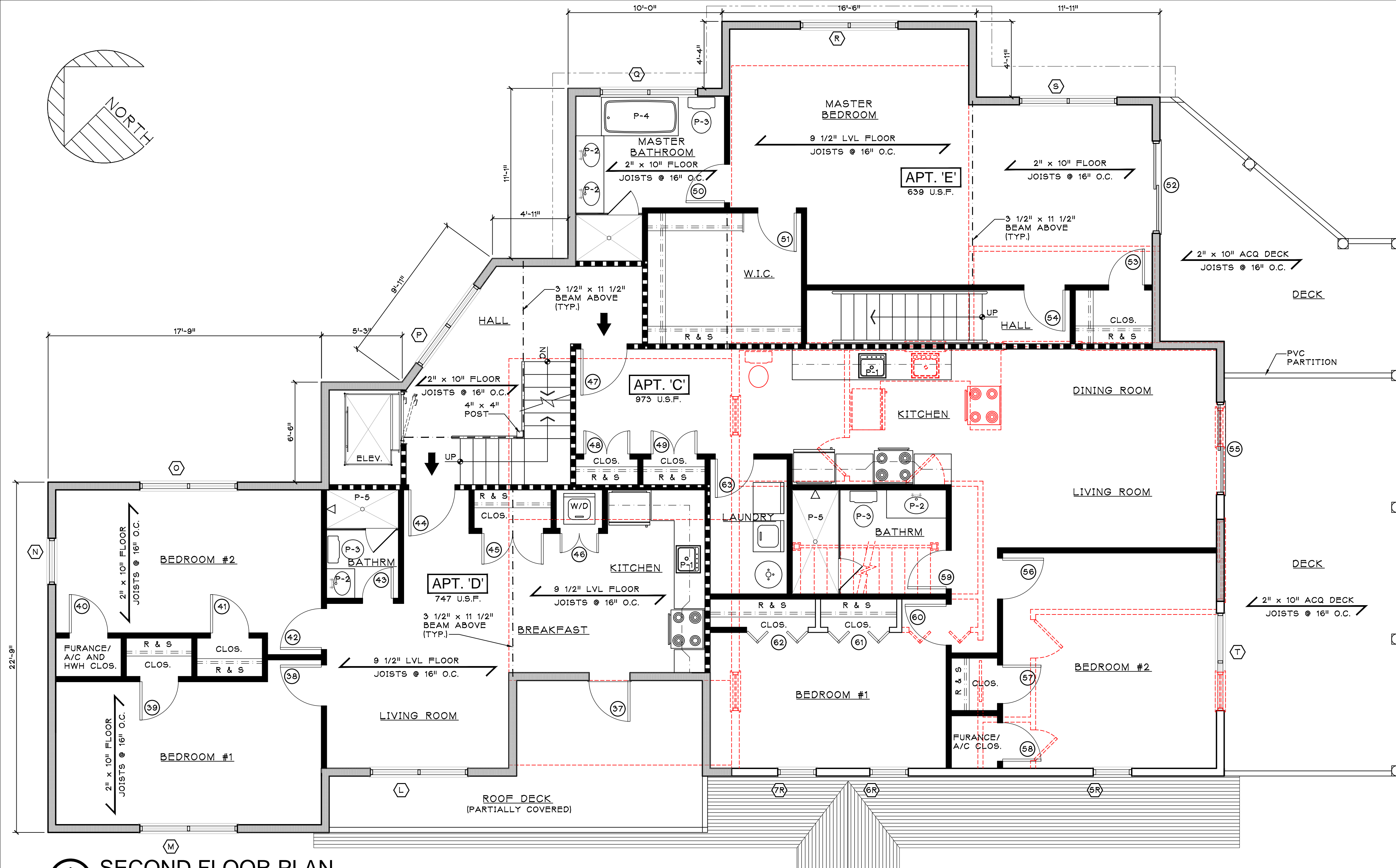
Revised			Issued		
No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client: 60 BAY AVE HIGHLAND LLC  
MULTI- FAMILY RESIDENCE  
60 BAY AVENUE  
HIGHLANDS, NEW JERSEY

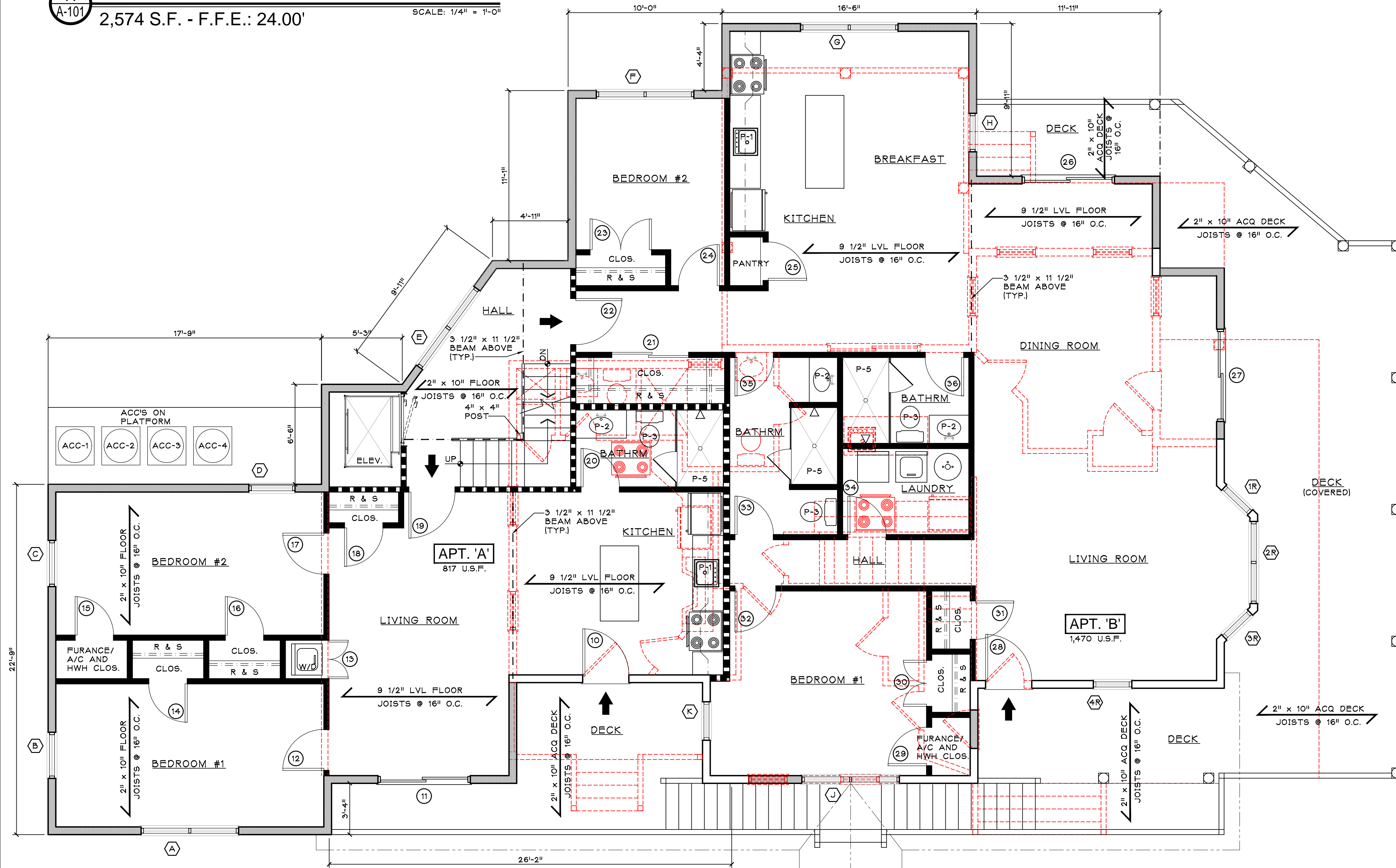
Title: GROUND FLOOR DEMOLITION  
& CONSTRUCTION PLAN

Seal & Signature: 	Job Type: -
	Project No.: -
N.J. LIC. #A115228	Scale: AS NOTED
	Date: -
	Drawn By: -
	Reviewed By: -
A-100	Drawing No.: -
	SHEET No.: - OF -



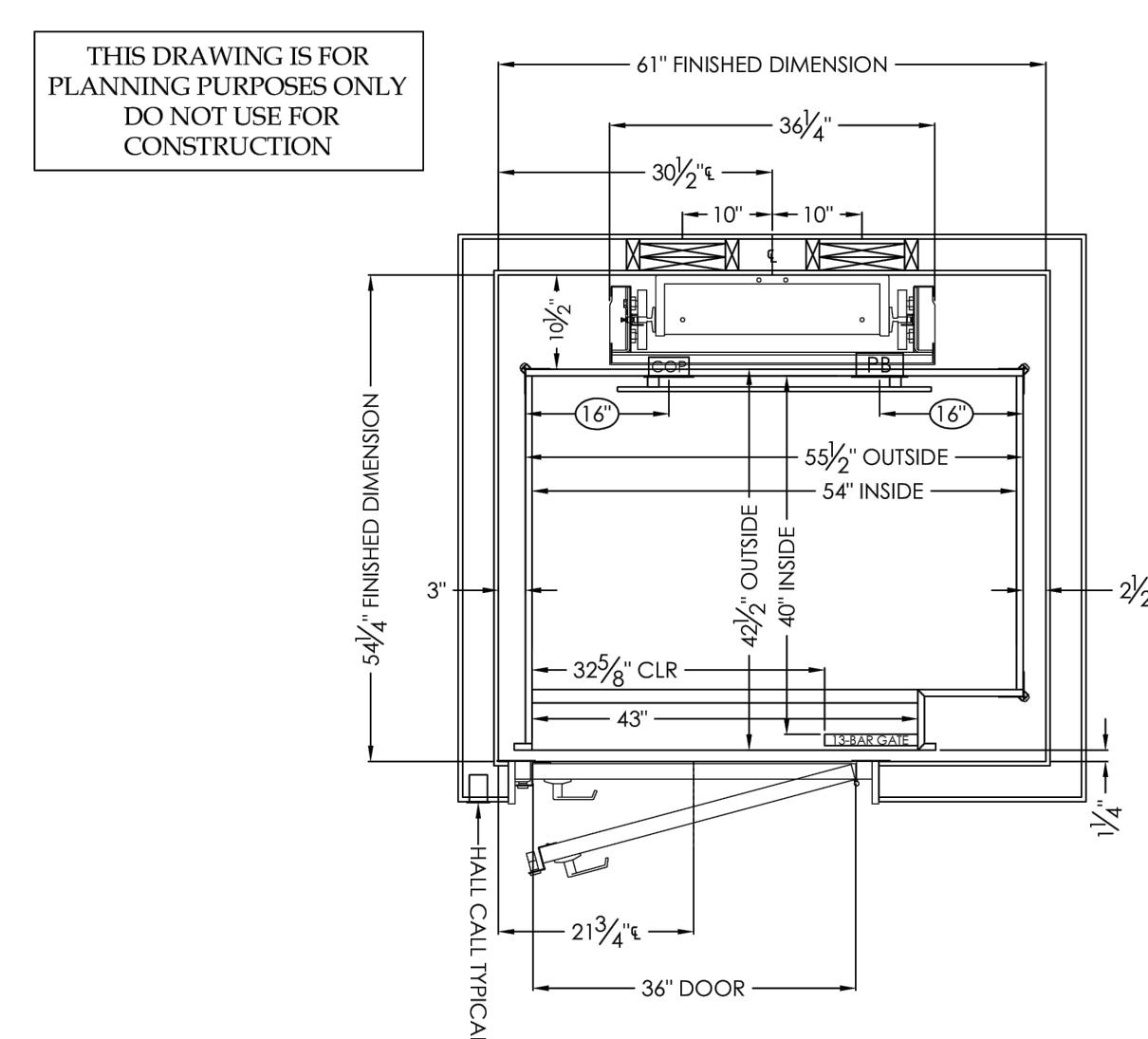


**A SECOND FLOOR PLAN**  
2,574 S.F. - F.F.E.: 24.00'  
SCALE: 1/4" = 1'-0"



**B FIRST FLOOR PLAN (RAISED)**  
2,468 S.F. - F.F.E.: 15.00'  
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE				
No.	MANUFACTURER	MODEL #	SIZE	DESCRIPTION
1	STANLEY	T.B.D.	(2) 3'-0" x 7'-0"	PAIR - FIRE RATED
2	STANLEY	T.B.D.	(2) 3'-0" x 7'-0"	PAIR - FIRE RATED
3	STANLEY	T.B.D.	3'-0" x 7'-0"	ENTRY DOOR - FIRE RATED
4	OVERHEAD DOOR	T.B.D.	8'-0" x 8'-0"	GARAGE O.H. DOOR
5	STANLEY	T.B.D.	3'-0" x 7'-0"	ENTRY DOOR - FIRE RATED
6	OVERHEAD DOOR	T.B.D.	10'-0" x 8'-0"	GARAGE O.H. DOOR
7	STANLEY	T.B.D.	(2) 3'-0" x 7'-0"	PAIR - FIRE RATED
8	STANLEY	T.B.D.	(2) 3'-0" x 7'-0"	PAIR - FIRE RATED
9	OVERHEAD DOOR	T.B.D.	10'-0" x 8'-0"	GARAGE O.H. DOOR
10	MORGAN	T.B.D.	3'-0" x 7'-0"	ENTRY DOOR
11	ANDERSEN	FWG 6068		SLIDE PATIO DOOR
12	MASONITE OR EQUAL		2'-8" x 6'-8"	6 PANEL WOOD
13	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR CLOSET DOORS
14	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
15	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
16	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
17	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
18	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
19	MASONITE OR EQUAL	T.B.D.	3'-0" x 7'-0"	APT. ENTRY DOOR - FIRE RATED
20	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
21	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR SLIDING CLOSET DOORS
22	MASONITE OR EQUAL	T.B.D.	3'-0" x 7'-0"	APT. ENTRY DOOR - FIRE RATED
23	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR CLOSET DOORS
24	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
25	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
26	ANDERSEN	FWG 6068		SLIDE PATIO DOOR
27	ANDERSEN	FWG 6068		SLIDE PATIO DOOR
28	MORGAN	T.B.D.	3'-0" x 7'-0"	ENTRY DOOR
29	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
30	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR CLOSET DOORS
31	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
32	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
33	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
34	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
35	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
36	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
37	MORGAN	T.B.D.	3'-0" x 7'-0"	ENTRY DOOR
38	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
39	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
40	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
41	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
42	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
43	MASONITE OR EQUAL		2'-0" x 6'-8"	6 PANEL WOOD
44	MASONITE OR EQUAL	T.B.D.	3'-0" x 7'-0"	APT. ENTRY DOOR - FIRE RATED
45	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR CLOSET DOORS
46	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR CLOSET DOORS
47	MASONITE OR EQUAL	T.B.D.	3'-0" x 7'-0"	APT. ENTRY DOOR - FIRE RATED
48	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR CLOSET DOORS
49	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR CLOSET DOORS
50	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
51	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
52	ANDERSEN	FWG 6068		SLIDE PATIO DOOR
53	MASONITE OR EQUAL		2'-4" x 6'-8"	6 PANEL WOOD
54	MASONITE OR EQUAL		2'-8" x 6'-8"	6 PANEL WOOD
55	ANDERSEN	FWG 6068		SLIDE PATIO DOOR
56	MASONITE OR EQUAL		2'-8" x 6'-8"	6 PANEL WOOD
57	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
58	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
59	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
60	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
61	MASONITE OR EQUAL		2'-0" x 6'-8"	6 PANEL WOOD
62	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR CLOSET DOORS
63	MASONITE OR EQUAL		(2) 2'-0" x 6'-8"	PAIR CLOSET DOORS
64	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
65	ANDERSEN	FWG 6068		SLIDE PATIO DOOR
66	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
67	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
68	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
69	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD
70	MASONITE OR EQUAL		2'-0" x 6'-8"	6 PANEL WOOD
71	MASONITE OR EQUAL		2'-8" x 6'-8"	6 PANEL WOOD
72	MASONITE OR EQUAL		2'-8" x 6'-8"	6 PANEL WOOD
73	MASONITE OR EQUAL		2'-0" x 6'-8"	6 PANEL WOOD
74	MASONITE OR EQUAL	T.B.D.	3'-0" x 7'-0"	APT. ENTRY DOOR - FIRE RATED
75	ANDERSEN	FWG 6068		SLIDE PATIO DOOR
76	FOUR SEASONS SUNROOM			
77	MASONITE OR EQUAL		2'-6" x 6'-8"	6 PANEL WOOD



**C ELEVATOR FRAMING PLAN**  
SCALE: N.T.S.

WINDOW SCHEDULE				
No.	MANUFACTURER	MODEL #	R.O. (W x H)	DESCRIPTION
A	ANDERSEN	AW 351		AWNING
B	ANDERSEN	TW 3046-2		DH COMBO
C	ANDERSEN	TW 3046		DH
D	ANDERSEN	TW 3046		DH
E	ANDERSEN	TW 3046		DH
F	ANDERSEN	TW 3046-2		DH COMBO
G	ANDERSEN	TW 30210		DH COMBO
H	ANDERSEN	TW 3046		DH
I	ANDERSEN	TW 3046-2		DH COMBO
J	ANDERSEN	TW 3046		DH
K	ANDERSEN	TW 3046		DH COMBO
L	ANDERSEN	TW 3046-2		DH COMBO
M	ANDERSEN	TW 3046-2		DH COMBO
N	ANDERSEN	TW 3046		DH
O	ANDERSEN	TW 3046-2		DH COMBO
P	ANDERSEN	TW 3446-2		AWNING COMBO - TEMPERED GLASS
Q	ANDERSEN	AW 31-2		DH COMBO
R	ANDERSEN	TW 3046-2		DH COMBO
S	ANDERSEN	TW 3046-2		DH COMBO
T	ANDERSEN	TW 3046-2		DH COMBO
U	ANDERSEN	TW 3046-2		DH COMBO
V	ANDERSEN	TW 3046-2		DH COMBO
W	ANDERSEN	TW 3046-2		DH COMBO
X	ANDERSEN	TW 3446-2		DH COMBO
Y	ANDERSEN	TW 3046		DH COMBO
Z	ANDERSEN	TW 30210		DH COMBO
1	ANDERSEN	VERIFY IN FIELD		
2	ANDERSEN	VERIFY IN FIELD		
3	ANDERSEN	VERIFY IN FIELD		
4	ANDERSEN	VERIFY IN FIELD		
5	VELUX	2246	25 1/2" x 49 1/2"	OPTIONAL SKYLIGHT
6	VELUX	2246	25 1/2" x 49 1/2"	OPTIONAL SKYLIGHT

**REMARKS**

1) BEDROOM WINDOWS MUST COMPLY WITH LOCAL CODES REGARDING FIRE EGRESS REQUIREMENTS.

2) ♦ DENOTES BEDROOM EGRESS WINDOW. (NOTE: ALL WINDOWS WITH A MINIMUM SILL HEIGHT FROM FINISH FLOOR OF (24" FOR 1-2 FAMILY) TO (36" FOR MULTI-FAMILY) SHALL COMPLY WITH ASTM F2090 (WOOD) PER NJIRC 2018 SECTION K312.2 WINDOW OPENING CONTROL DEVICES.

3) ALL NEW WINDOWS SHALL BE 'ANDERSEN' 400 SERIES WITH THE WINDOW SCREEN SYSTEM REQUIREMENTS.

4) VERIFY WINDOW TRIM DETAILS PRIOR TO INSTALLATION.

5) G.C. SHALL SUBMIT A DOOR AND HARDWARE SCHEDULE FOR OWNERS REVIEW AND APPROVAL PRIOR TO ORDERING AND MATERIAL.

PLUMBING SCHEDULE				
NO.	DESCRIPTION	MANUFACTURER	MODEL #	REMARKS
P-1	KITCHEN SINK	T.B.D.		TO BE SELECTED BY OWNER
P-2	LAVATORY SINK	T.B.D.		TO BE SELECTED BY OWNER
P-3	WATER CLOSET	T.B.D.		TO BE SELECTED BY OWNER
P-4	TUB	T.B.D.		TO BE SELECTED BY OWNER
P-5	SHOWER	T.B.D.		TO BE SELECTED BY OWNER
P-6	JACUZZI	T.B.D.		TO BE SELECTED BY OWNER
P-7	BAR SINK	T.B.D.		TO BE SELECTED BY OWNER

**PROGRESS SET**  
ISSUED: 4/11/2025

**SALVATORE LA FERLITA, R.A.**  
Architectural Services  
Construction Management

115 University Drive  
Lincroft, N.J. 07738  
732-741-5105  
Sallafelita@aol.com

Revised: \_\_\_\_\_ Issued: \_\_\_\_\_

No.	DATE	REVISION	No.	DATE	DESCRIPTION

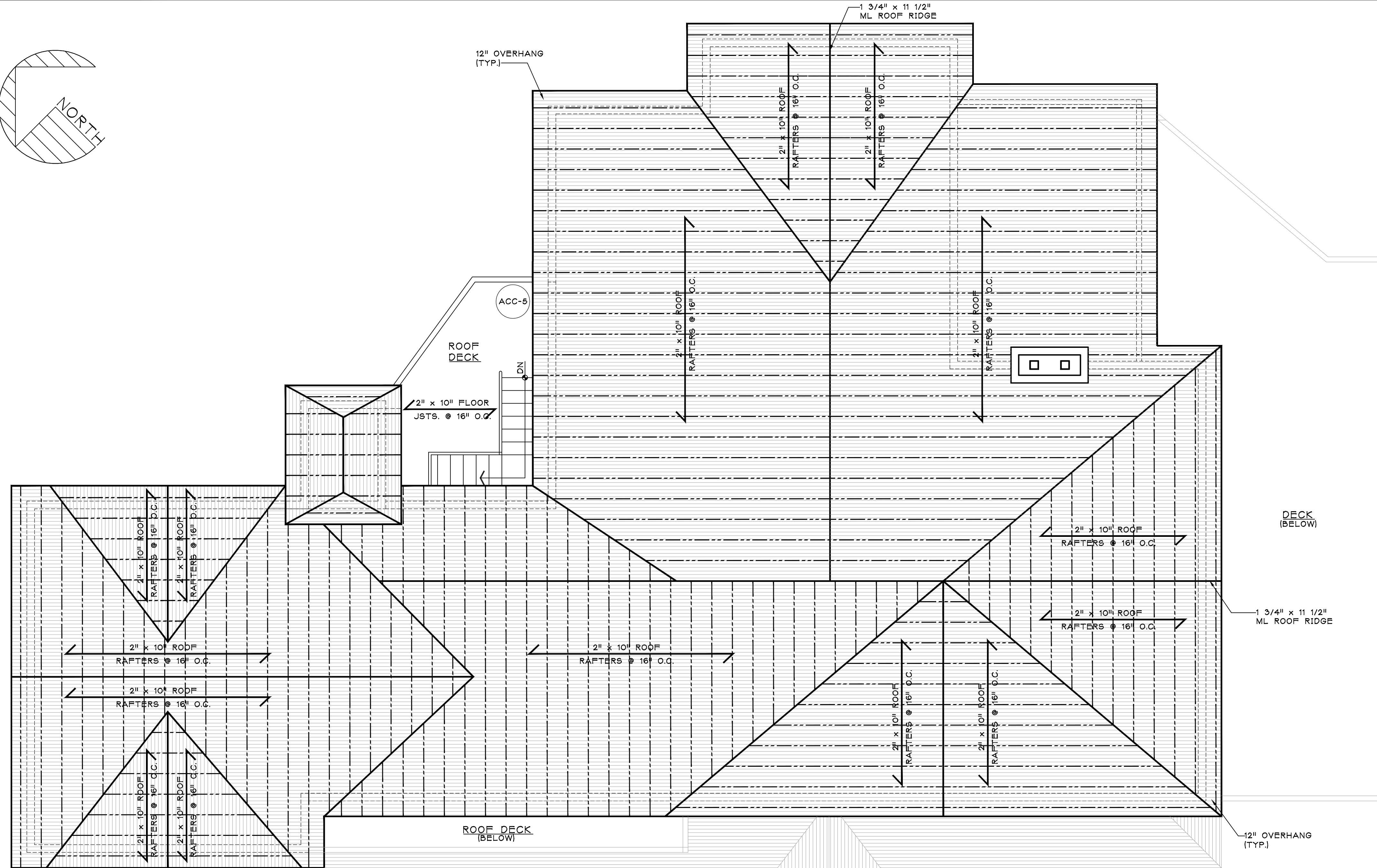
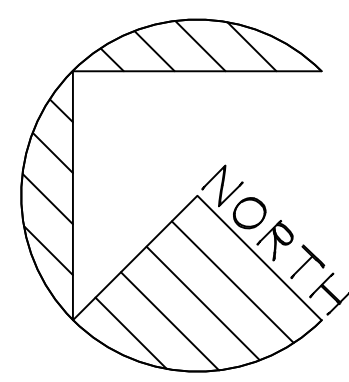
Client: **60 BAY AVE HIGHLAND LLC  
MULTI-FAMILY RESIDENCE  
60 BAY AVENUE  
HIGHLANDS, NEW JERSEY**

Title: **FIRST AND SECOND FLOOR  
PRELIMINARY LAYOUT**

Seal & Signature: \_\_\_\_\_ Job Type: \_\_\_\_\_  
Project No.: \_\_\_\_\_  
Scale: AS NOTED  
Date: \_\_\_\_\_  
Drawn By: \_\_\_\_\_  
Reviewed By: \_\_\_\_\_  
Drawing No.: \_\_\_\_\_

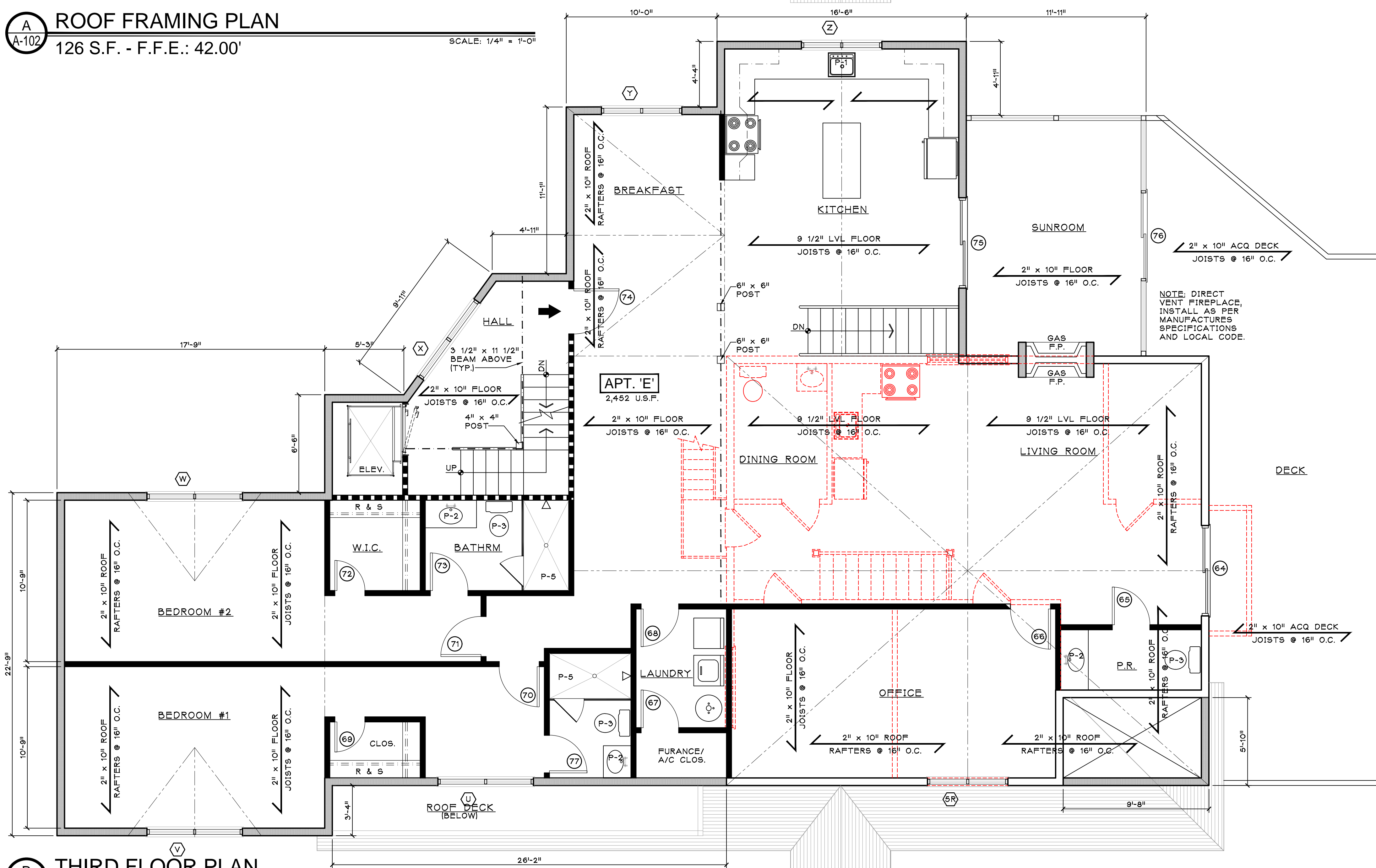
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SHEET No: \_\_\_\_\_ OF \_\_\_\_\_  
N.J. LIC. #A115228





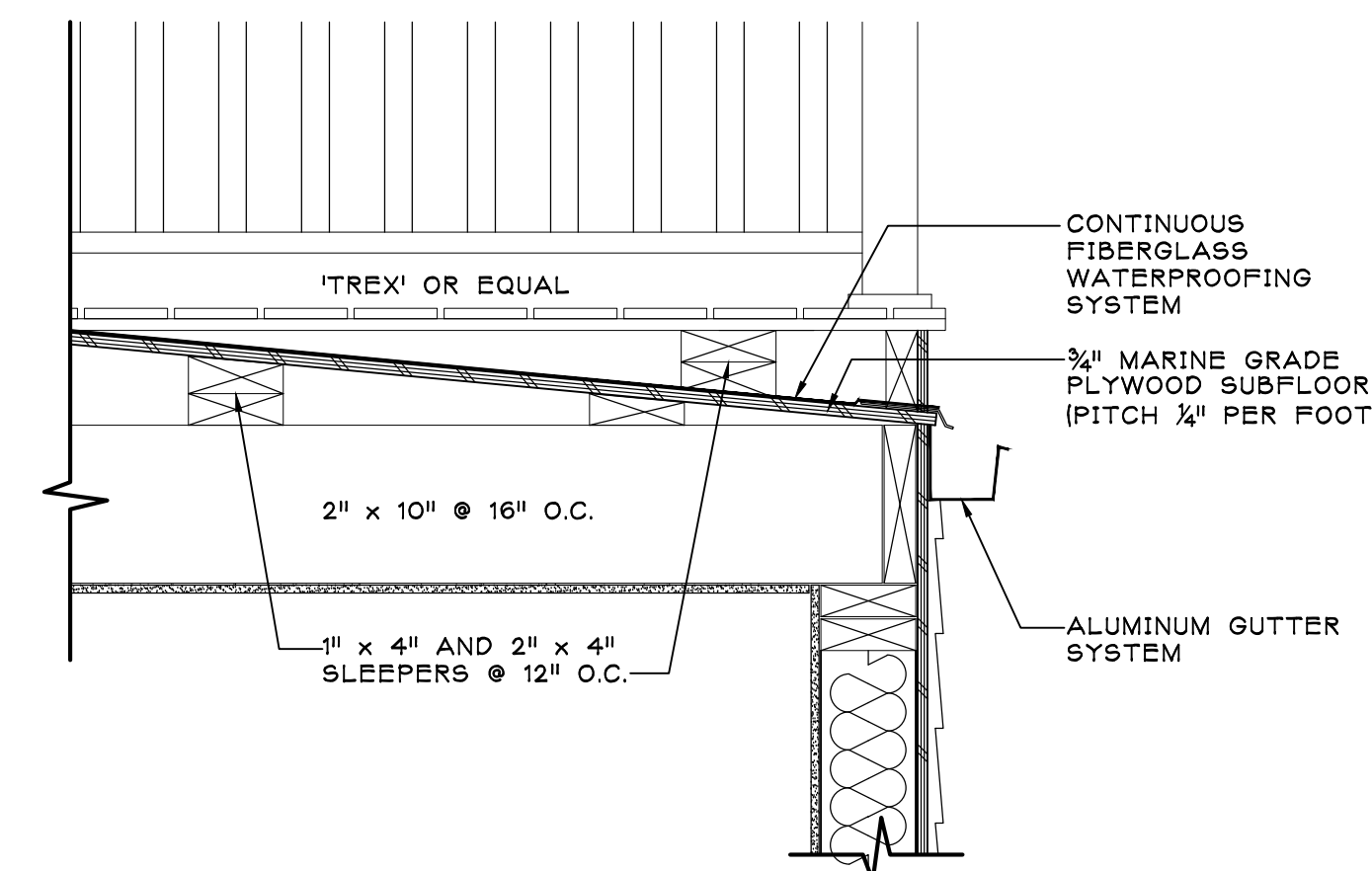
**A**  
A-102  
**ROOF FRAMING PLAN**  
126 S.F. - F.F.E.: 42.00'

SCALE: 1/4" = 1'-0"



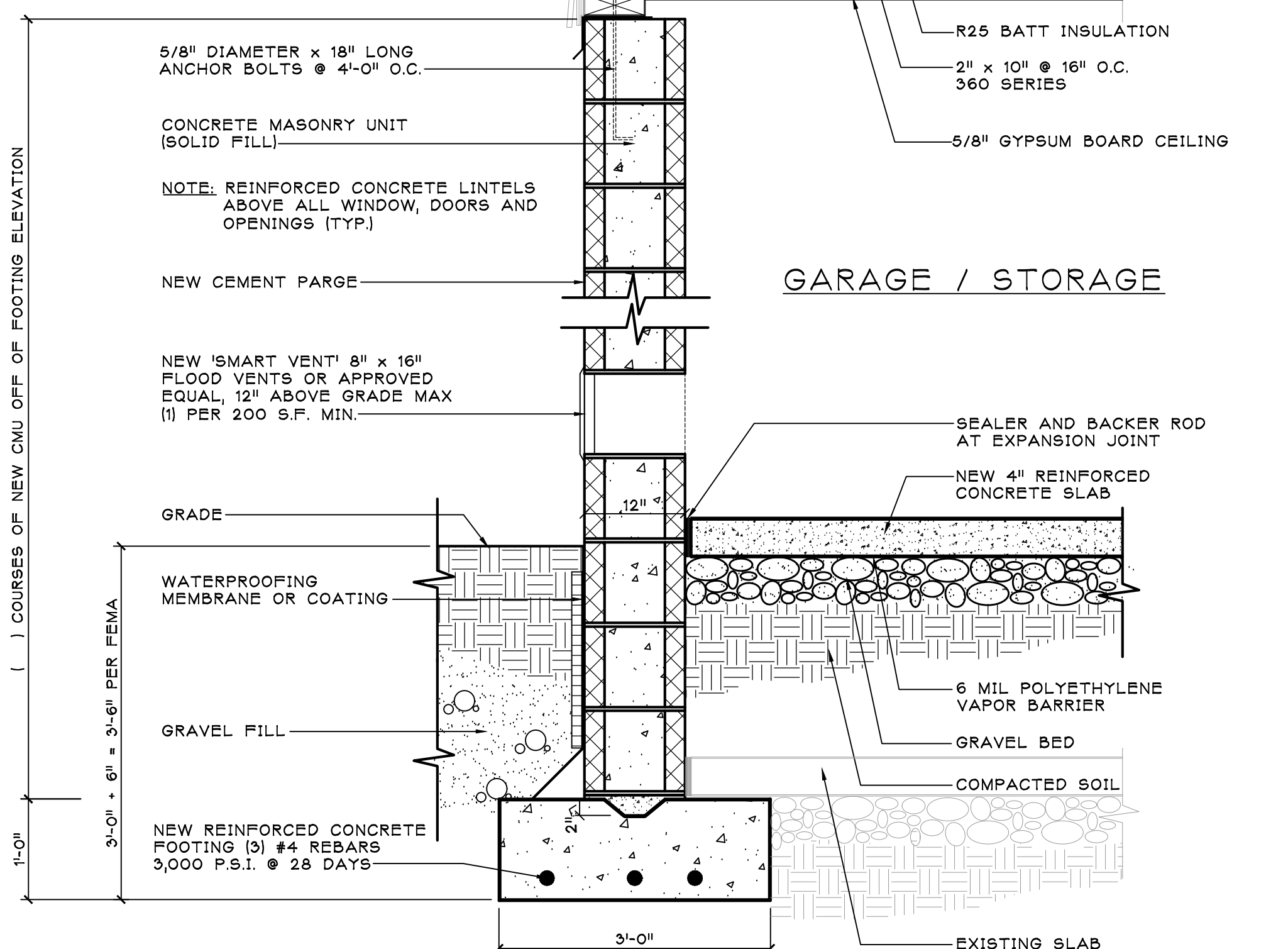
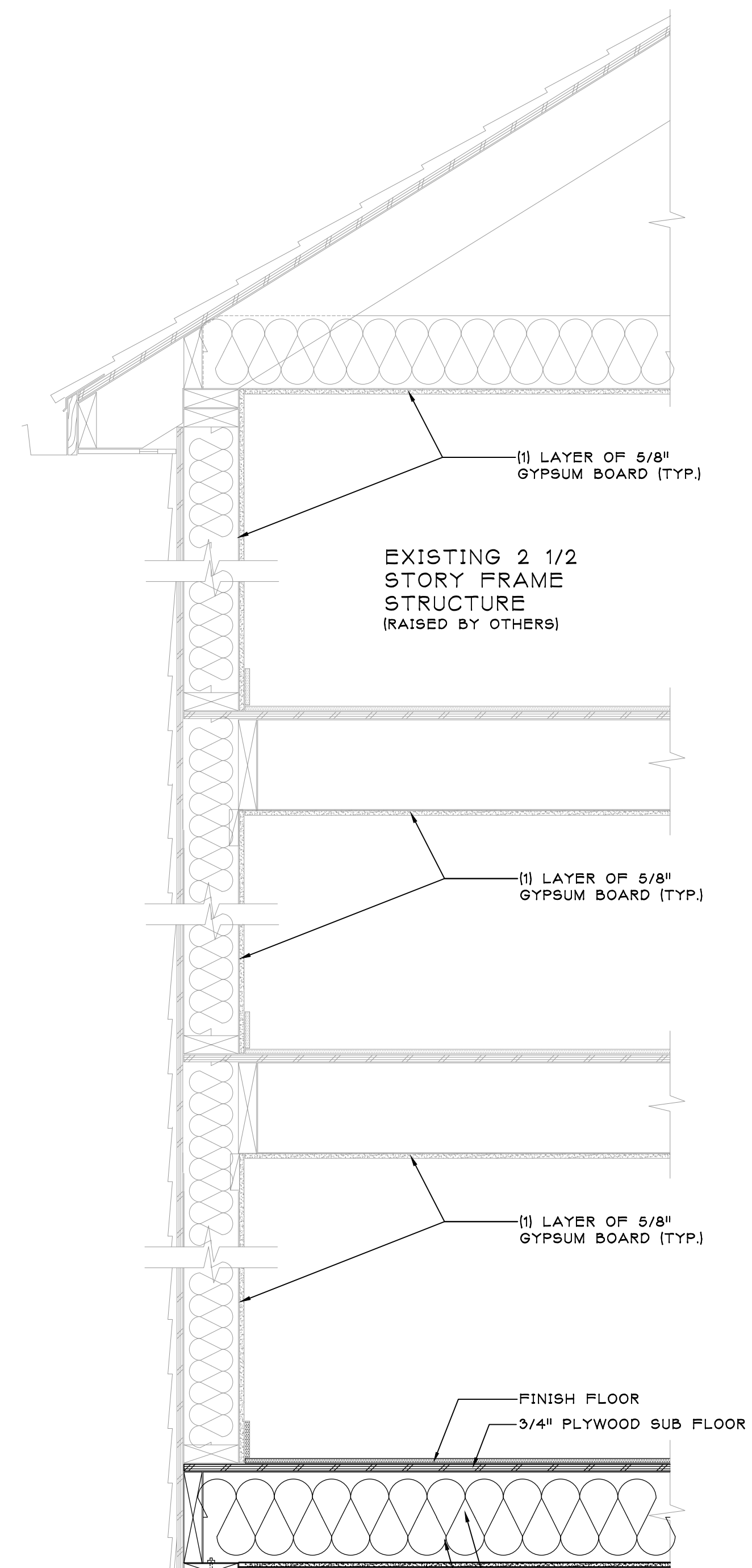
**B**  
A-102  
**THIRD FLOOR PLAN**  
2,634 S.F. - F.F.E.: 33.00'

SCALE: 1/4" = 1'-0"



**D**  
A-102  
**SECOND FLOOR DECK DETAIL**

SCALE: N.T.S.



**C**  
A-102  
**WALL SECTION**

SCALE: 1\"/>

**PROGRESS SET**  
ISSUED: 4/11/2025

**SALVATORE LA FERLITA, R.A.**  
Architectural Services  
Construction Management  
115 University Drive  
Lincroft, N.J. 07738  
732-741-5105  
Sallaferlita@aol.com

Revised			Issued		
No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client: **60 BAY AVE HIGHLAND LLC**  
**MULTI- FAMILY RESIDENCE**  
**60 BAY AVENUE**  
**HIGHLANDS, NEW JERSEY**

Title: **THIRD FLOOR AND ROOF**  
**PRELIMINARY SPACE ANALYSIS**

Seal & Signature:   
Job Type:   
Project No.:   
Scale: AS NOTED  
Date:   
Drawn By:   
Reviewed By:   
Drawing No.:   
**A-102**  
SHEET No.: \_ OF \_  
N.J. LIC. #A115228

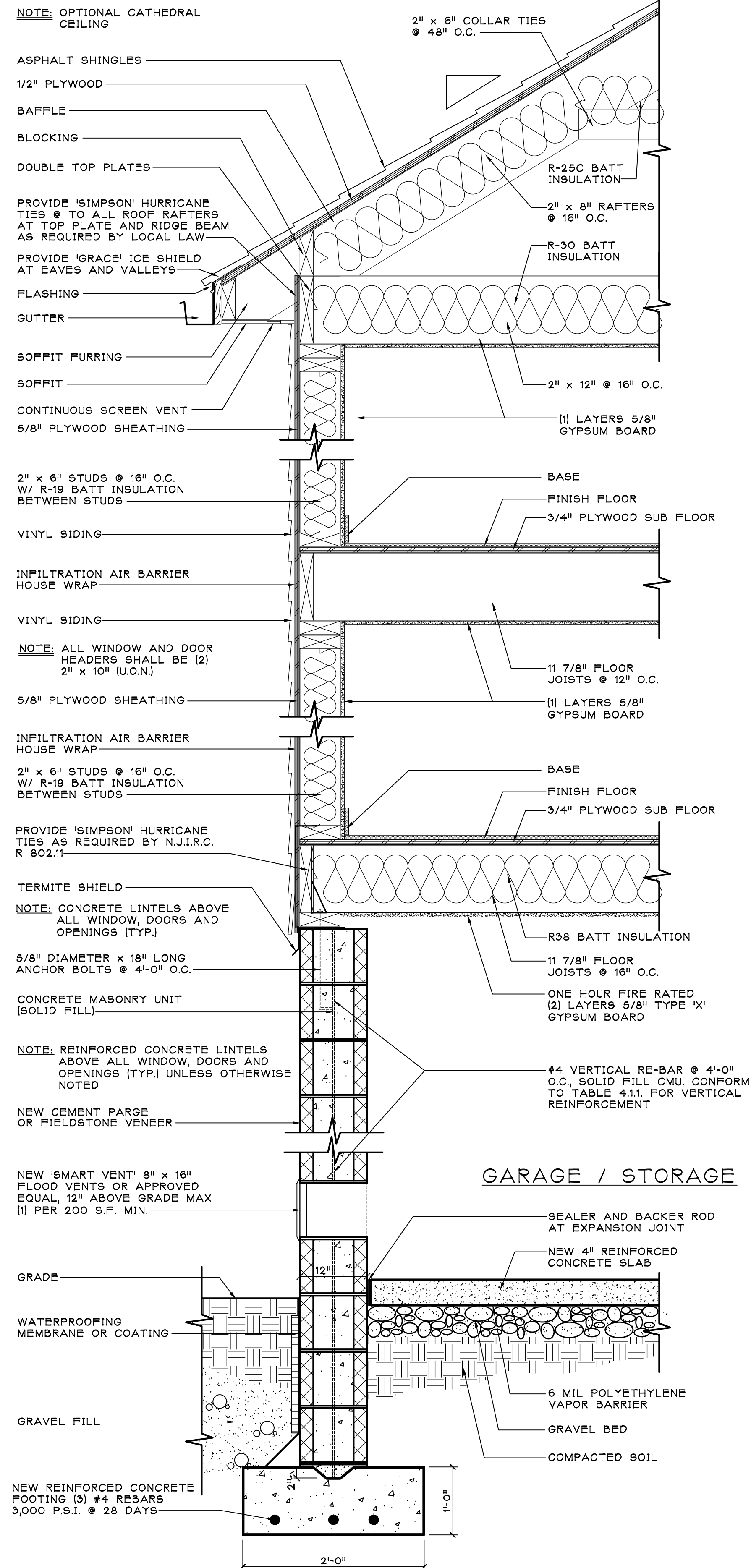




1 FRONT ELEVATION

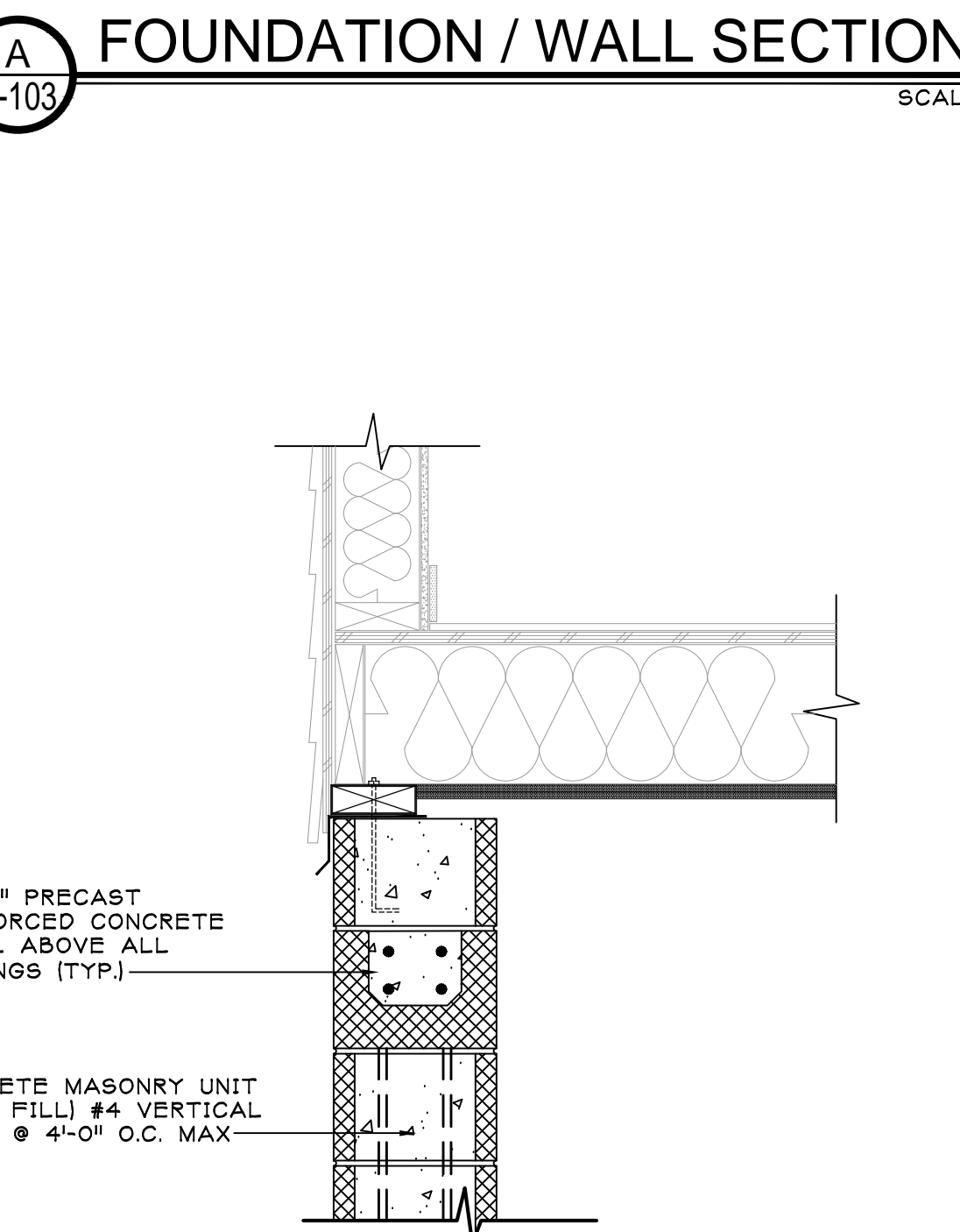


2 REAR ELEVATION



A FOUNDATION / WALL SECTION

GARAGE / STORAGE



B TYPICAL CONCRETE LINTEL DETAIL

PROGRESS SET  
ISSUED: 4/11/2025

SALVATORE LA FERLITA, R.A.  
Architectural Services  
Construction Management  
115 University Drive  
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Sallafelita@aol.com

Revised			Issued		
No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client  
60 BAY AVE HIGHLAND LLC  
MULTI- FAMILY RESIDENCE  
60 BAY AVENUE  
HIGHLANDS, NEW JERSEY

Title  
FRONT ELEVATION AND  
REAR ELEVATION

Seal & Signature:  
  
Job Type:  
Project No.:  
Scale: AS NOTED  
Date:  
Drawn By:  
Reviewed By:  
Drawing No.:  
A-103  
SHEET No.: \_ OF \_  
N.J. LIC. #A115228





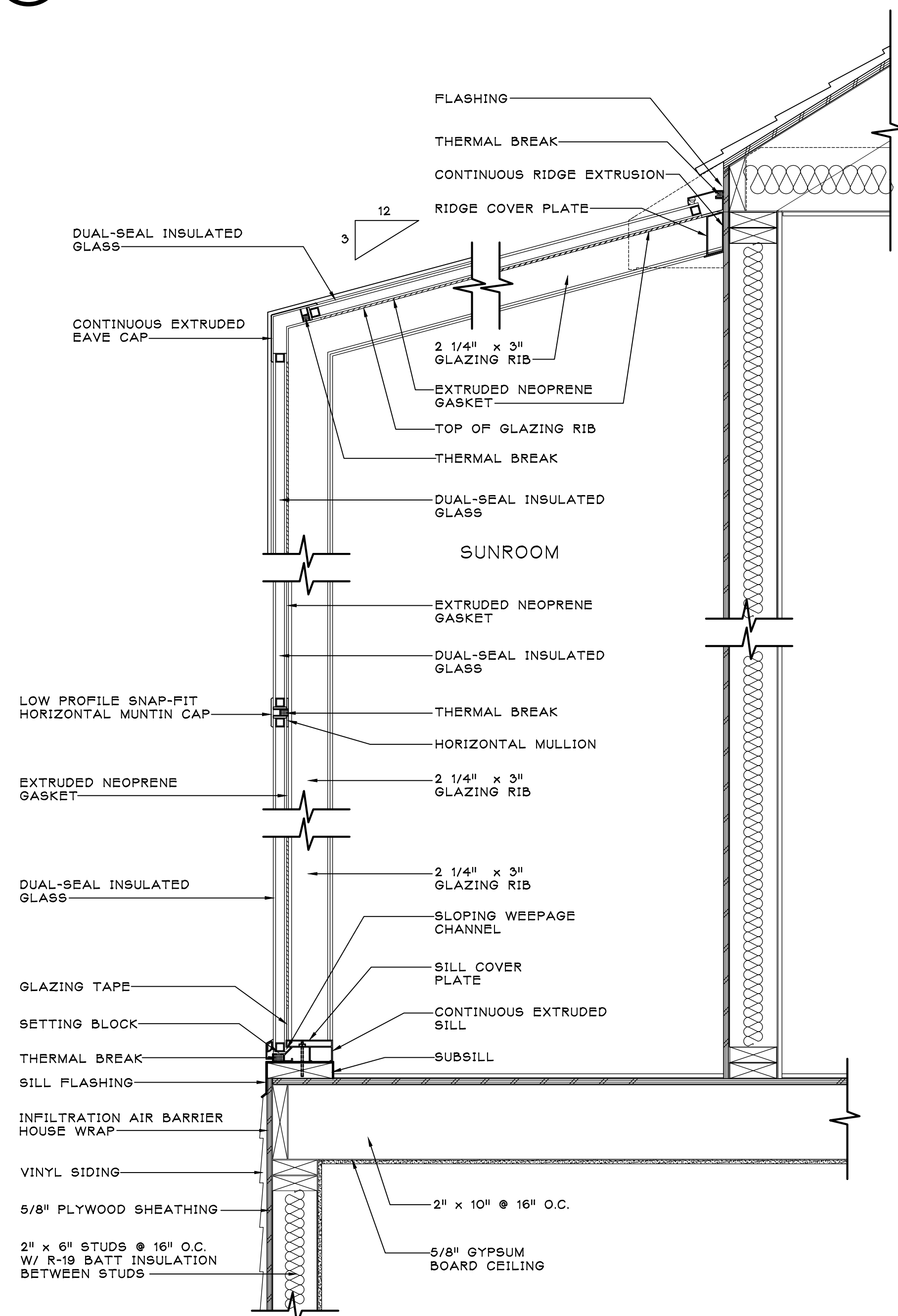
1 RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



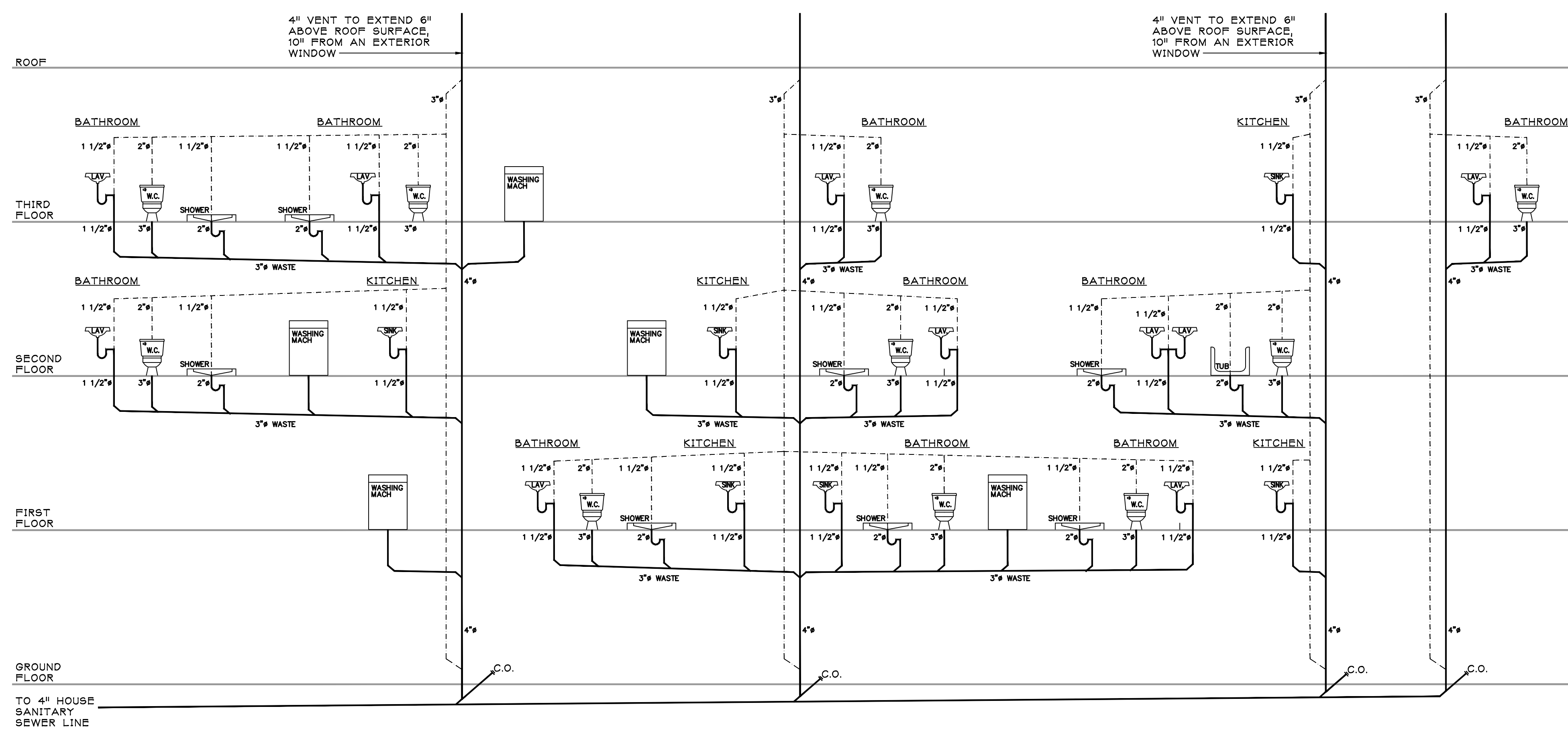
2 LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



A WALL SECTION THRU SUNROOM

SCALE: 1" = 1'-0"



C PLUMBING RISER DIAGRAM

ALL PLUMBING FIXTURE LOCATIONS ARE FOR DIAGRAMMATIC PURPOSES ONLY. OWNERS PLUMBING CONTRACTOR TO VERIFY ALL PURPOSED CONDITIONS PRIOR TO DESIGN & CONSTRUCTION.  
MAINTAIN 1/2" PER FOOT PITCH ON ALL WASTE LINES

SCALE: N.T.S.

PROGRESS SET  
ISSUED: 4/11/2025

SALVATORE LA FERLITA, R.A.  
Architectural Services  
Construction Management  
115 University Drive  
Lincroft, N.J. 07738  
732-741-5105  
Sallafelita@aol.com

No.	DATE	REVISION	No.	DATE	DESCRIPTION

Client  
**60 BAY AVE HIGHLAND LLC  
MULTI- FAMILY RESIDENCE  
60 BAY AVENUE  
HIGHLANDS, NEW JERSEY**

Title  
**LEFT AND RIGHT  
SIDE ELEVATIONS**

Seal & Signature:  
  
Job Type: -  
Project No.: -  
Scale: AS NOTED  
Date: -  
Drawn By: -  
Reviewed By: -  
Drawing No.: **A-104**  
SHEET No.: \_ OF \_  
N.J. LIC. #A115228









**Roberts**  
ENGINEERING GROUP LLC  
*Women Business Enterprise Certified*

1670 Whitehorse-Hamilton Square Rd.  
Hamilton, New Jersey 08690  
609-586-1141 fax 609-586-1143  
www.RobertsEngineeringGroup.com

May 21, 2025

Nancy Tran  
Land Use Board Secretary  
Borough of Highlands Land Use Board  
151 Navesink Avenue  
Highlands, New Jersey 07732

Re: Amended Preliminary and Final Site Plan  
60 Bay Ave Highlands, LLC  
60 Bay Avenue  
Block 42, Lot 1  
Borough of Highlands, Monmouth County, New Jersey  
Our File No.: HLPB25-05

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations. section entitled, "Part III, Subdivision and Site Plan Review, Article VI, Application Procedure", and "Article VIII, Plat and Plan Details, section 21-58.E & F – Preliminary Site Plan and Final Site Plan" and the Borough of Highlands, NJ Central Business District Redevelopment Plan May 2018.

The residential building is situated on a 6,625 SF (0.147 Ac) lot in the Central Business District (CBD). It is located within the CDB Redevelopment Area Overlay 2 Zone - Gateway Parcels and is bounded by Bay Avenue, South Street, and Shrewsbury Avenue, Lot 15 in the same zone and residential Lot 7 within the R-2.02 District. The property is located within the AE Flood Hazard zone, partially in the Coastal A zone, and in the Limit of the Moderate Wave Action (LiMWa) delineation area.

The Applicant is seeking an amended approval.

The Applicant recently received approval to move and elevate an existing 3-story multi-family residential building (4 units), renovate, construct two extensions, decks, provide ground floor storage and garage parking and associated site improvements. The proposed multi-family residential building will consist of 5 units having 4-two-bedroom units and 1-three-bedroom unit, one-1 car garage, and one-2 car garage.

Roberts Engineering Group, LLC has received revised plans for an amendment to plans approved under Land Use Board Resolution 2024-16 Memorialization of Preliminary and Final Site Plan Approval, approved August 8, 2024, and memorialized September 12, 2024, regarding the above referenced project.

Prior submissions sought driveway access along Bay Avenue. The Applicant filed an application and sought approval from the Monmouth County Planning Board (MCPB), which has jurisdiction over Bay Avenue (Monmouth County Route No. 8). MCPB approval is required per the Resolution.

The current submission has eliminated the proposed and existing driveway access on Bay Avenue. The former garages have been replaced with storage units with access doors in lieu of garage doors. However, the Applicant remains subject to approval for a proposed 466 sf right-of-way dedication or easement along Bay Avenue from MCPB.



Proposed access to driveways and proposed utility connections will be only to South Street and Shrewsbury Ave.

The Applicant is required to provide testimony and demonstrate the proposed driveway functionality, visibility and safety to traffic on the public street, driveway parking layout, building repositioning, etc. The building and driveway use have created additional modifications that need to be addressed by the Applicant.

This review was prepared in accordance with the following documents:

1. Copy of Land Use Board Application Preliminary and Final Major Site Plan and Revision/Resubmission of Prior Application, signed April 22, 2025, and received April 23, 2025. Noted as "Amended" per Land Use Board on May 5, 2025, email.
2. Copy of an internal memorandum to Joe Barris, Director of Planning under the Board of County Commissioners of the County of Monmouth Department of Public Works & Engineering, HSP10591, dated March 24, 2025.
3. Copy of Development Application Action, File No. HSP10591 prepared by the Monmouth County Development Review Committee, date received March 7, 2024, and Action Date: March 24, 2025, Approval Status: Request information
4. Copy of plans entitled, "Preliminary & Final Major Site Plan for Proposed Multi-family Residence, Block 42, Lot 1, 60 Bay Avenue, Borough of Highlands, Monmouth County, New Jersey", prepared by InSite Engineering, LLC., dated February 5, 2024, and last revised April 10, 2025, as "Per County". The set consists of 20 sheets.
5. Copy of Architectural plans entitled, "60 Bay Ave Highland LLC, Multi-family Residence, 60 Bay Avenue, Highlands, New Jersey, prepared by Salvatore La Ferlita, R.A. issued April 11, 2025, consisting of 7 sheets.
6. Copy of the Borough of Highlands, County of Monmouth, Land Use Land Use Board Resolution 2024-16 Memorialization of Preliminary and Final Site Plan Approval. Approved: August 8, 2024, and Memorialized: September 12, 2024.
7. Copy of Rider, 60 Bay Ave Highlands LLC, 60 Bay Ave, Block 42, Lot 1, Highlands Land Use Board

The following comments are offered:

**I. COMMENTS – DRIVEWAY ACCESS, PARKING AND BUILDING REPOSITIONED**

1. The proposed driveways along Bay Avenue have been removed from this application. The garage doors have been replaced with swing doors. Provide the overall opening dimension of the double doors and confirm no vehicle access is possible.

The proposed 0.011 Ac right-of-way dedication or easement along the frontage of Bay Avenue remains for this application.

The Applicant is to obtain final approval for the right-of-way dedication or easement and removal of the existing and proposed driveway access to Bay Avenue from the Monmouth County Planning Board.



2. The Applicant's modified site improvements have increased the impervious coverage to 75.8%. The amended plans dated April 1, 2024, and the Resolution compliance plans dated February 20, 2025, consisted of 74.6% and 74.3%, respectively.

The proposed impervious coverage is below the allowable 80%.

3. The building coverage of 52.7% had no change in comparison to the amended plans but was reduced from 54.5% from that of the Resolution compliance plans.

The proposed building coverage is below the allowable 80%.

4. The approved plan had the relocation of the existing/proposed dwelling to be 5.00 ft from the Bay Avenue right-of-way. The dwelling has been repositioned to 5.67 ft from the right-of-way.

Consequently, to the additional offset of 0.67 ft, the driveways along Shrewsbury Avenue may no longer meet the minimum 18 ft length for residential driveways (garage face to the right-of-way). Vehicles are not permitted to overhang the sidewalk.

Please confirm whether the required minimum 18 ft. length has been maintained for each driveway.

5. Eleven parking spaces are required per RSIS bedroom count. The EV charger counts as one space, leaving 10 required parking spaces.

Please indicate on the plan the individual number of proposed parking spaces dedicated to each unit, based on the bedrooms, for each garage and driveway. Indicate the existing off-street parking as noted in the parking calculation table.

Please dimension (length and width) the driveways.

6. It appears that sections of the existing sidewalk, apron and curbing are to be replaced. Please clearly indicate the areas and types of replacement.

7. Provide the apron flares on the plans.

8. The Depressed Curb, Driveway Apron & Sidewalk construction detail indicates a 6 ft. wide sidewalk and apron. The plan appears to have a 5 ft. wide sidewalk. Please update the detail accordingly.

Dimension the concrete sidewalk along Shrewsbury Avenue on the plan.

Provide an apron section detail.

Confirm that the proposed *rolled* concrete curb and gutter is replacing the same type of existing curb and gutter on Shrewsbury. Provide note.

9. One of the parking spaces shown on the east side of Shrewsbury Avenue is not a parking space but a yellow striped no parking area designating driveway access to 18 Shrewsbury Avenue. Please indicate on the plan.

The existing yellow-striped no parking area along the west side of Shrewsbury Avenue appears to be in the wrong location and may impact turning maneuvers. Please correct.



Indicate the no parking area (painted curb) along the west side of Shrewsbury Avenue.

Provide parking and no parking spaces along both sides of Bay Avenue. Show the locations of the proposed parking to be used for this site.

10. The Applicant has provided six (6) circulation plans indicating the existing parking spaces along Shrewsbury Avenue. The circulation plans demonstrate vehicles maneuvering Shrewsbury Avenue by accessing the driveways and garages. These maneuvers are of great concern and appear so difficult as to be questionable.

We question the size and location of the driveways. The turning templates provided for maneuvers in and out of the garages require turns, starts and stops. Some of the turning templates indicate that vehicles must drive into opposing traffic to be able to enter the driveways and garages.

In addition, garages on Shrewsbury Avenue appear to show that cars cannot enter and exit without sideswiping the door opening. When a car is parked in the space near the rear property line, the vehicle entering and exiting the garage on to Shrewsbury Avenue seems to sideswipe the parked car. Please explain.

The proposed dwelling has a small projection into the driveway area. The vehicle entering the garage does not appear to sufficiently clear the projection. Additionally, the sample 19 ft long vehicle in the turning maneuvers and parked in the driveway will not clear the sidewalk.

The Applicant is to provide specific testimony and presentation to clearly show how all driveways will be accessed from Shrewsbury Avenue, and how all garages will be entered, *without driving into opposing traffic*. The applicant must provide details of how these driveways will allow for proper and safe operation for entering and exiting.

## II. COMMENTS – OTHER

1. The building heights are different between the site plan and the architectural plans. Please confirm and update the schematic, zoning compliance chart and the architectural plans accordingly.
2. The proposed building has been elevated from the approved FF 14.00 (shown on the plans for the meeting) to FF 15.00.

Please provide testimony for the purpose of elevating the building an additional foot.

3. The building height needs to be updated based on the raised FF elevation.

The building height is taken from the BFE + 1 ft. to the middle of the roof.

If the building was raised one foot, the middle of the roof's elevation would also be an additional one foot in elevation.

Please confirm and update the zoning compliance chart accordingly.

4. A proposed sanitary sewer lateral extends from the rear of the proposed dwelling and connects to an existing sanitary sewer main in Shrewsbury Avenue.



More information is needed. Provide the location of the existing sanitary sewer main including up and downstream manholes, pipe material, size, rim elevations and inverts. Provide proposed invert connection.

Indicate all utility crossings (storm, sanitary and water) with elevations on the plan. Maintain regulated clearances.

The sanitary sewer main is located approximately within the center of Shrewsbury Avenue. The sanitary lateral appears to not extend to the approximate location. Please confirm. Update the proposed lateral information. Update area of restoration.

The cleanouts are located within the proposed gravel driveway and subjected to vehicle load. The protection cap shall be Campbell pattern #4153 or approved equal.

5. Installation of proposed utilities will require trenching within South Street and Shrewsbury Avenue. Indicate pavement milling and paving to be the full width of South Street and Shrewsbury Avenue and 25-ft beyond the outer limits of the trenches longitudinally. Restripe the roadway in the area disturbed and repaved. The Applicant is responsible for the cost of pavement milling and paving as well as restriping.
6. Coordinate the water service size between the plan and the detail.
7. The lighting plan needs to be updated based on the additional 1 foot in FF elevation which may affect the mounting height of the proposed lighting units placed along the walls of the building relative to the ground.

The Applicant is required to maintain:

- a. § 21-65(11)(E) Minimum Lighting Level. 0.3 fc and average of 0.5 fc
  - b. § 21-65(11)(F) Maximum Lighting Level at property line. 0.3 fc
  - c. § 21-65(11)(D) Maximum Mounting Height at 15 ft.
8. The proposed roof leader system will be connected to an existing inlet on Shrewsbury Ave and no sidewalk is shown to be disturbed and replaced.

Please provide a plan note on the Grading, Drainage & Utility Plan as to how the system will be connected and that the sidewalk shall not be disturbed. Please confirm that a 6-inch header pipe will be adequately sized for all gutters to connect to.

9. Provide the material type and size of the sanitary lateral on the "Standard Lateral Connection with Cleanout..." detail.

On same detail, there is a reference to a detail entitled, "Bedding and Initial Backfill Detail for PVC Sewer Pipe", however it is missing on the sheet. There is a Pipe Bedding Detail. Please update the detail.

10. The Applicant shall comply with any applicable affordable housing requirements.

According to XI.E General Administrative Requirements Affordable Housing Provisions, the mandatory set-aside requirements in Section 26-2 of the Borough of Highlands Affordable



Housing Ordinance apply to any multifamily residential development of five (5) dwelling units or more, including the residential portion of a mixed-use project  
The Applicant has agreed in a previous submission.

**V. APPROVALS**

Approval of this application will be conditioned upon the Applicant obtaining or providing approved documents for the following:

1. Monmouth County Planning Board. - Pending
2. Freehold Soil Conservation Service – Received certification
3. NJDEP FHA
4. Coastal Area Facilities Review Act (CAFRA) Zone, if required per NJDEP.

Should you have any questions, please do not hesitate to contact me.

Very truly yours,

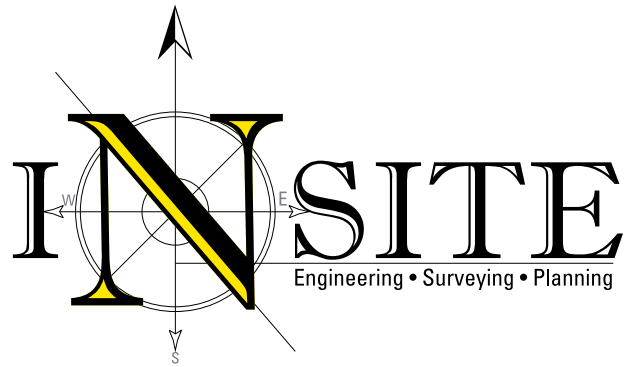


Carmela Roberts, PE, CME, CPWM  
Land Use Board Engineer

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)  
Dustin F. Glass, Esq., Land Use Board Attorney (dglass@semerarolaw.com)  
Courtney Lopez, Zoning Officer (clopez@highlandsborough.org)  
Donna M. Jennings, Esq., Applicant's Attorney (djennings@wilentz.com)  
Douglas D. Clelland, P.E., Applicant's Engineer (doug@insiteeng.net)  
Salvatore LaFerlita, R.A., A.I.A. Applicant's Architect (sallaferlita@aol.com)  
Cameron Corini, P.E., C.M.E., C.P.W.M., Roberts Engineering Group, LLC  
GS Bachman, E.I.T., Roberts Engineering Group, LLC



Land Use Board  
 Borough of Atlantic Highlands  
 Attn: Nancy Tran  
 Land Use Board Secretary  
 151 Navesink Avenue  
 Highlands, New Jersey 07732



May 30, 2025

*Via Email*

RE: **60 BAY AVE HIGHLANDS, LLC**  
**Response Letter (HLPB2024-02)**  
 Block 42, Lot 1;  
 60 Bay Avenue  
 Borough of Highlands, Monmouth County, New Jersey

Ms. Tran:

We are submitting this letter on behalf of the Owner/Applicant in response to Roberts Engineering Group LLC's Review Letter dated May 21, 2025. Each comment and response are numbered in accordance with the aforementioned review memo. *Italicized text is taken from the review memo for your ease of reference;* non-italicized text represents our responses.

Review Letter, dated May 21, 2025

Section I. Comments – Driveway Access, Parking and Building Repositioned

1. *The proposed driveways along Bay Avenue have been removed from this application. The garage doors have been replaced with swing doors. Provide the overall opening dimension of the double doors and confirm no vehicle access is possible.*

*The proposed 0.011 Ac right-of-way dedication or easement along the frontage of Bay Avenue remains for this application.*

*The Applicant is to obtain final approval for the right-of-way dedication or easement and removal of the existing and proposed driveway access to Bay Avenue from the Monmouth County Planning Board.*

**The project architect will provide testimony accordingly. The doors will not be wide enough for vehicle access. We have submitted the revised plans to the Monmouth County Planning Board, and will provide their approval upon receipt.**

2. *The Applicant's modified site improvements have increased the impervious coverage to 75.8%. The amended plans dated April 1, 2024, and the Resolution compliance plans dated February 20, 2025, consisted of 74.6% and 74.3%, respectively.*

*The proposed impervious coverage is below the allowable 80%.*

**Informational.**

**InSite Engineering, LLC**

1955 Route 34, Suite 1A • Wall, NJ 07719  
 732-531-7100 (ph) • 732-531-7344 (fx) • InSite@InSiteEng.net • www.InSiteEng.net  
 Licensed in NJ, PA, DE, NY, CT, NC, DC, & CO



3. *The building coverage of 52.7% had no change in comparison to the amended plans but was reduced from 54.5% from that of the Resolution compliance plans*

*The proposed building coverage is below the allowable 80%.*

**Informational.**

4. *The approved plan had the relocation of the existing/proposed dwelling to be 5.00 ft from the Bay Avenue right-of-way.*

*The dwelling has been repositioned to 5.67 ft from the right-of-way. Consequently, to the additional offset of 0.67 ft, the driveways along Shrewsbury Avenue may no longer meet the minimum 18 ft length for residential driveways (garage face to the right-of-way). Vehicles are not permitted to overhang the sidewalk.*

*Please confirm whether the required minimum 18 ft. length has been maintained for each driveway.*

**The repositioning of the dwelling was necessitated by the County to avoid any structures, including footings, from encroaching in the requested dedication. Testimony will be provided regarding the lengths of the proposed driveways accordingly.**

5. *Eleven parking spaces are required per RSIS bedroom count. The EV charger counts as one space, leaving 10 required parking spaces.*

*Please indicate on the plan the individual number of proposed parking spaces dedicated to each unit, based on the bedrooms, for each garage and driveway. Indicate the existing off-street parking as noted in the parking calculation table.*

*Please dimension (length and width) the driveways.*

**The plans will be revised accordingly, and testimony provided to clarify which unit each parking space is for. An exhibit along with testimony will be provided to indicate the existing off-street parking. The dimensions of the driveway will be revised accordingly.**

6. *It appears that sections of the existing sidewalk, apron and curbing are to be replaced. Please clearly indicate the areas and types of replacement.*

**The plans will be revised accordingly.**

7. *Provide the apron flares on the plans.*

**The plans will be revised accordingly.**

8. *The Depressed Curb, Driveway Apron & Sidewalk construction detail indicates a 6 ft. wide sidewalk and apron. The plan appears to have a 5 ft. wide sidewalk. Please update the detail accordingly.*



*Dimension the concrete sidewalk along Shrewsbury Avenue on the plan.*

*Provide an apron section detail.*

*Confirm that the proposed rolled concrete curb and gutter is replacing the same type of existing curb and gutter on Shrewsbury. Provide note.*

**The plans will be revised accordingly.**

9. *One of the parking spaces shown on the east side of Shrewsbury Avenue is not a parking space but a yellow striped no parking area designating driveway access to 18 Shrewsbury Avenue. Please indicate on the plan.*

*The existing yellow-stripped no parking area along the west side of Shrewsbury Avenue appears to be in the wrong location and may impact turning maneuvers. Please correct*

*Indicate the no parking area (painted curb) along the west side of Shrewsbury Avenue.*

*Provide parking and no parking spaces along both sides of Bay Avenue. Show the locations of the proposed parking to be used for this site.*

**The plans will be revised accordingly. The exhibits presented at the hearing will also reflect these items.**

10. *The Applicant has provided six (6) circulation plans indicating the existing parking spaces along Shrewsbury Avenue. The circulation plans demonstrate vehicles maneuvering Shrewsbury Avenue by accessing the driveways and garages. These maneuvers are of great concern and appear so difficult as to be questionable.*

*We question the size and location of the driveways. The turning templates provided for maneuvers in and out of the garages require turns, starts and stops. Some of the turning templates indicate that vehicles must drive into opposing traffic to be able to enter the driveways and garages.*

*In addition, garages on Shrewsbury Avenue appear to show that cars cannot enter and exit without sideswiping the door opening. When a car is parked in the space near the rear property line, the vehicle entering and exiting the garage on to Shrewsbury Avenue seems to sideswipe the parked car. Please explain.*

*The proposed dwelling has a small projection into the driveway area. The vehicle entering the garage does not appear to sufficiently clear the projection. Additionally, the sample 19 ft long vehicle in the turning maneuvers and parked in the driveway will not clear the sidewalk.*

*The Applicant is to provide specific testimony and presentation to clearly show how all driveways will be accessed from Shrewsbury Avenue, and how all garages will be entered, without driving into opposing traffic. The applicant must provide details of how these driveways will allow for proper and safe operation for entering and exiting.*

**Testimony and exhibits will be presented accordingly.**



Section II. Comments – Other

1. *The building heights are different between the site plan and the architectural plans. Please confirm and update the schematic, zoning compliance chart and the architectural plans accordingly.*

**The building height on the site plans will be updated to match the architectural plans accordingly.**

2. *The proposed building has been elevated from the approved FF 14.00 (shown on the plans for the meeting) to FF 15.00.*

*Please provide testimony for the purpose of elevating the building an additional foot.*

**Testimony will be provided accordingly.**

3. *The building height needs to be updated based on the raised FF elevation.*

*The building height is taken from the BFE + 1 ft. to the middle of the roof.*

*If the building was raised one foot, the middle of the roof's elevation would also be an additional one foot in elevation.*

*Please confirm and update the zoning compliance chart accordingly.*

**The site plans will be revised to add the additional foot to the building height accordingly. The proposed building will still comply with the required building height for the zone.**

4. *A proposed sanitary sewer lateral extends from the rear of the proposed dwelling and connects to an existing sanitary sewer main in Shrewsbury Avenue.*

*More information is needed. Provide the location of the existing sanitary sewer main including up and downstream manholes, pipe material, size, rim elevations and inverts. Provide proposed invert connection.*

*Indicate all utility crossings (storm, sanitary and water) with elevations on the plan. Maintain regulated clearances.*

*The sanitary sewer main is located approximately within the center of Shrewsbury Avenue. The sanitary lateral appears to not extend to the approximate location. Please confirm. Update the proposed lateral information. Update area of restoration.*

*The cleanouts are located within the proposed gravel driveway and subjected to vehicle load. The protection cap shall be Campbell pattern #4153 or approved equal.*

**The plans will be revised accordingly.**

5. *Installation of proposed utilities will require trenching within South Street and Shrewsbury Avenue. Indicate pavement milling and paving to be the full width of South Street and*



*Shrewsbury Avenue and 25-ft beyond the outer limits of the trenches longitudinally. Restripe the roadway in the area disturbed and repaved. The Applicant is responsible for the cost of pavement milling and paving as well as restriping.*

**The plans will be revised accordingly.**

6. *Coordinate the water service size between the plan and the detail.*

**The plans will be revised accordingly.**

7. *The lighting plan needs to be updated based on the additional 1 foot in FF elevation which may affect the mounting height of the proposed lighting units placed along the walls of the building relative to the ground.*

*The Applicant is required to maintain:*

- a. § 21-65(11)(E) Minimum Lighting Level. 0.3 fc and average of 0.5 fc*
- b. § 21-65(11)(F) Maximum Lighting Level at property line. 0.3 fc*
- c. § 21-65(11)(D) Maximum Mounting Height at 15 ft.*

**The plans will be revised as needed and testimony will be provided accordingly.**

8. *The proposed roof leader system will be connected to an existing inlet on Shrewsbury Ave and no sidewalk is shown to be disturbed and replaced.*

*Please provide a plan note on the Grading, Drainage & Utility Plan as to how the system will be connected and that the sidewalk shall not be disturbed. Please confirm that a 6-inch header pipe will be adequately sized for all gutters to connect to.*

**The plans will be revised accordingly.**

9. *Provide the material type and size of the sanitary lateral on the “Standard Lateral Connection with Cleanout...” detail.*

*On same detail, there is a reference to a detail entitled, “Bedding and Initial Backfill Detail for PVC Sewer Pipe”, however it is missing on the sheet. There is a Pipe Bedding Detail. Please update the detail.*

**The plans will be revised accordingly.**

10. *The Applicant shall comply with any applicable affordable housing requirements.*

*According to XLE General Administrative Requirements Affordable Housing Provisions, the mandatory set-aside requirements in Section 26-2 of the Borough of Highlands Affordable Housing Ordinance apply to any multifamily residential development of five (5) dwelling units or more, including the residential portion of a mixed-use project. The Applicant has agreed in a previous submission.*

**Testimony will be provided accordingly.**



Thank you for your continued courtesies regarding this application. If you have any questions or require further information, please feel free to contact this office anytime.

Sincerely,  
**InSite Engineering, LLC**



Douglas D. Clelland, PE

23-2237-01  
DDC/htm

Cc: David Cahill  
Luke Policastro  
Donna Jennings  
Salvatore La Ferlita

(via electronic mail w/o attachments)





## MONMOUTH COUNTY DEVELOPMENT REVIEW COMMITTEE

### Development Application Action

FILE NUMBER: HSP10591

Application:	60 Bay Avenue Multifamily Residence	Municipality:	Highlands
Applicant:	60 Bay Avenue Highlands, LLC	Municipal Agency:	Planning Board
Owner:	Applicant	Block:	42
Design Professional:	InSite Engineering	Lot:	1
Plan Date:	4/10/2025	Date Received:	5/30/2025
Project Description:	Addition and off-street parking at existing multifamily residence		
Action Taken By:	X Development Review Committee Planning Director		Approval Status: Conditional Approval Action Date: 6/23/2025

If conditionally approved, the conditions listed below or on the attached sheet shall be satisfactorily addressed before final approval is issued. This action does not release the applicant from obtaining a consistency determination pursuant to N.J.A.C. 7:8-1 et seq. (Monmouth County Areawide Water Quality Management Plan). Prior to commencing any work within the right-of-way of a county highway or before doing any work that affects a county bridge, the applicant is required to obtain a road opening permit from the Monmouth County Highway Department. A review of the location of subsurface utilities within county road rights-of-way will be conducted by the County Highway Department upon application for a road opening permit. Prior to planting or removal of trees or shrubs within or along the right-of-way of a county highway, the applicant is required to obtain a permit from the Monmouth County Shade Tree Commission. Note: County review is made only on items covered by statutory authority.

On 6/23/2025, a waiver was granted from §5.1-1 to accept an easement instead of a dedication, to avoid creating new bulk variances.

#### Conditions:

1. Address the comments in the memorandum prepared by Michael T. Brusca, dated June 23, 2025.
2. Receipt of an easement to widen the Bay Avenue (County Route 8) right-of-way to a distance of 30 feet from the centerline. The only format acceptable to the County of Monmouth is provided on the Division of Planning webpage at [www.visitmonmouth.com](http://www.visitmonmouth.com). The draft deed shall be submitted to the Division of Planning for review and approval. Following approval, submit the executed deed directly to this office for filing with the Monmouth County Clerk.
3. Receipt of a performance guarantee to ensure the satisfactory installation of required improvements in the Bay Avenue (County Route 8) right-of-way. The performance guarantee may be in the form of a bond, letter of credit, or bank/certified check. Sample formats for bonds and letters of credit acceptable to the County of Monmouth may be found at the Division of Planning webpage at [www.visitmonmouth.com](http://www.visitmonmouth.com). This application has been referred to Engineering for the preparation of a bond estimate.

Submit questions via email to [DevelopmentReview@co.monmouth.nj.us](mailto:DevelopmentReview@co.monmouth.nj.us).

Joseph Barris, P.P., A.I.C.P., C.F.M.

Director of Planning

For the Development Review Committee

cc: InSite Engineering  
Donna M. Jennings, Esq.  
Mark R. Aikins, Esq.  
J. Ettore; V. Cardone; T. Lombardi; V. Zabat; M. Brusca  
Highway Department/Construction Official  
HSP10591 1470 CA

Monmouth County Planning Board  
Hall of Records Annex  
1 E. Main Street  
Freehold, NJ 07728-1255

Phone: 732-431-7460

Email: [DevelopmentReview@co.monmouth.nj.us](mailto:DevelopmentReview@co.monmouth.nj.us)



# The Board of County Commissioners of the County of Monmouth

## DEPARTMENT OF ENGINEERING & TRAFFIC SAFETY

**JOSEPH M. ETTORE, P.E.**  
County Engineer  
Email: engineer@co.monmouth.nj.us



Hall of Records Annex  
1 East Main Street  
Freehold, New Jersey 07728  
Telephone: (732) 431-7760  
Fax: (732) 431-7765

June 23, 2025

### MEMORANDUM

**TO:** Joe Barris, Director of Planning

**FROM:** Michael Brusca, Assistant Engineer

**RE:** HSP10591 - 60 Bay Ave. Highlands  
County Route 8 – Bay Avenue  
Block 42 - Lot 1  
Borough of Highlands

The following items were received by this office in connection with the above-referenced application:

- Preliminary & Final Major Site Plan for Proposed Multi-Family Residence, Block 42, Lot 1, 60 Bay Avenue, Borough of Highlands, Monmouth County, New Jersey, prepared by Douglas Clelland, P.E., of Insite, dated February 5, 2024, last revised April 1, 2025, received May 30, 2025.

The following comments/recommendations are made to the Development Review Committee (DRC) pursuant to the Design Standards set forth in the Monmouth County Development Regulations (MCDR):

#### General Civil Comments:

GC2. Was the right-of-way established at 30-ft from the centerline of C.R. 8, Bay Avenue? If so, indicate on the site plans and provide dimension. Indicate the deed book and page. Provide the following information:

- a. Metes and bounds of the dedication;
- b. area of dedication, in acres and sq.ft.;
- c. grantee of dedication;
- d. deed of dedication, with parcel description for review.

If right-of way was not established as above, then provide a proposed dedication to 30-ft from the centerline of C.R. 8, Bay Avenue. Provide the information requested in comments 3a – 3d



To: Joe Barris, Director of Planning  
6/23/25

Page: 2 of 2  
HSP10591\_60 Bay Ave. Highlands

*Comment from 1/13/25 memo: The applicant's engineer has responded with a request for the Development Review Committee to grant an easement in lieu of a dedication citing setback variances as a hardship. In consideration of granting the easement, the DRC should consider the location of the footing of the garage(s) wall as it overlaps the boundary of and would impact the area of the proposed easement.*

*Comment from 3/24/25 memo: Building geometry shifted to no longer overlap easement which allows recommendation of granting the easement in lieu of a dedication. If approved by the Development Review Committee, provide deed of easement for review by the County surveyor.*

**PARTIALLY ADDRESSED:** The Development Review Committee will review the easement request at their June 23, 2025 meeting. In addition, the updated site plans indicate a 6" PVC roof leader collection system which runs along the C.R. 8, Bay Avenue frontage within the proposed easement. Relocate the 6" PVC outside of the easement boundary.

Please request the applicant and the engineer to provide an itemized response to these comments. Please advise the applicant that responses to this Request for Information may result in additional requests and / or conditions on the application.

cc: Joseph M. Ettore, County Engineer  
Tom Lombardi, Supervising Engineer  
Vince Cardone, Principal Engineer II  
Victorino Zabat, Principal Engineer  
Dave Schmetterer, Asst. Planning Director  
Victor Furmanec, Principal Planner  
Kyle DeGroot, Senior Planner  
Jeannine Smith, Planning Aide

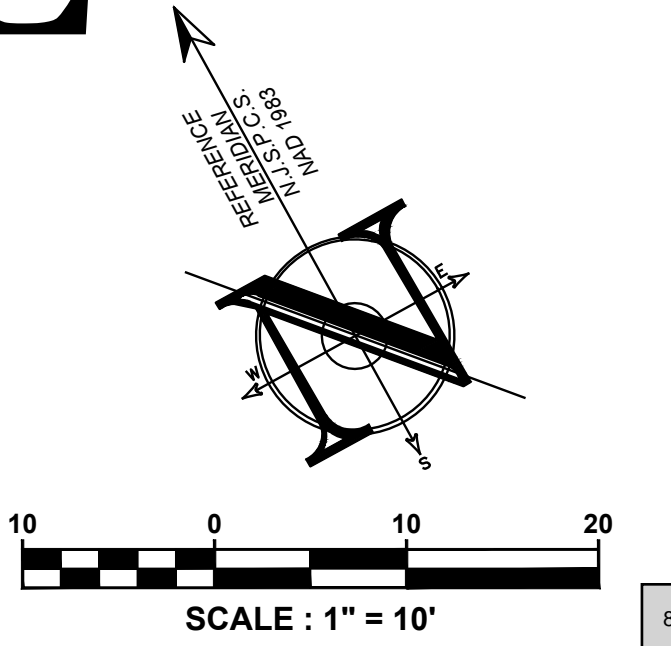
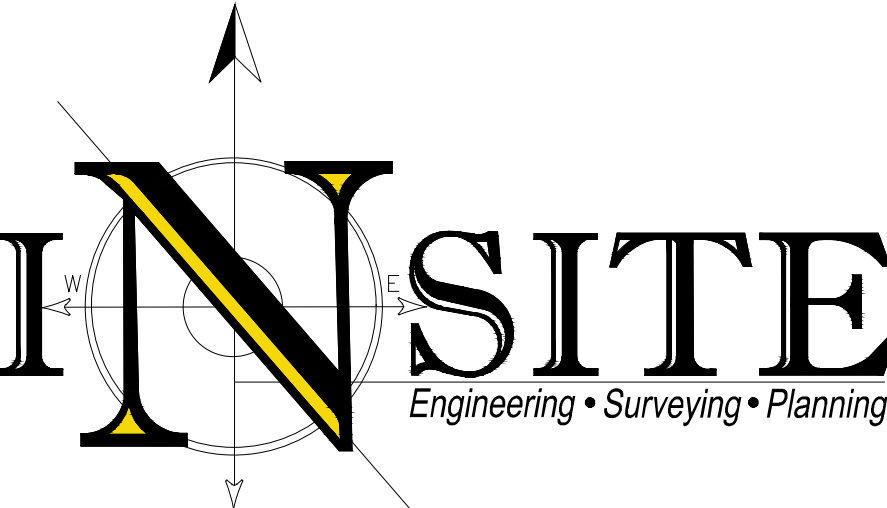




# PROPOSED MULTI-FAMILY RESIDENCE

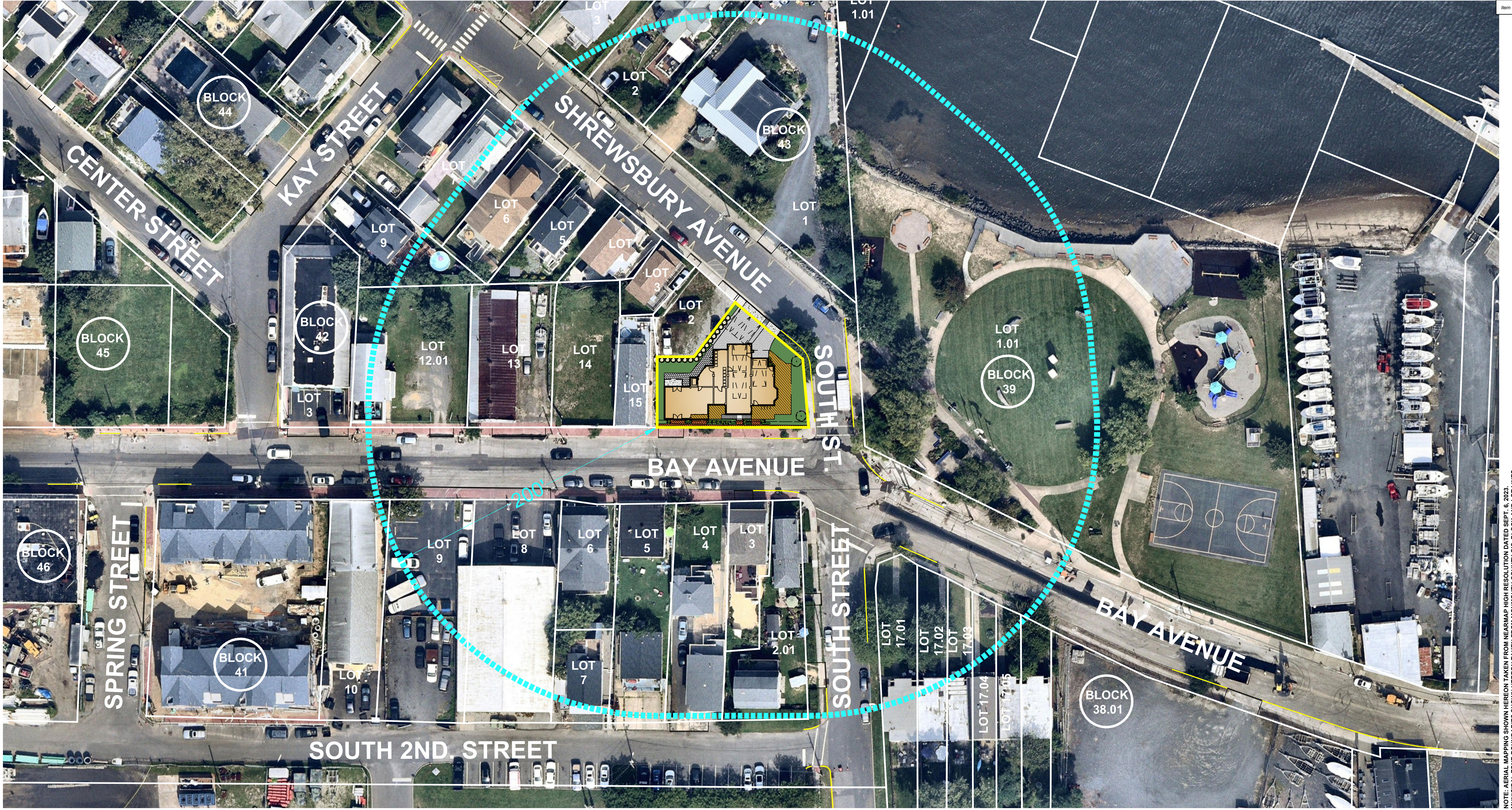
## Site Layout Exhibit

*Borough of Highlands, Monmouth County, New Jersey*



NOTE: AERIAL MAPPING SHOWN HEREON TAKEN FROM NEARMAP HIGH RESOLUTION DATED SEPT. 6, 2023.  
MUNICIPAL ZONE BOUNDARIES SHOWN HEREON TAKEN FROM MONMOUTH COUNTY GIS. BLOCK AND LOT LINES  
SHOWN HEREON TAKEN FROM HIGHLANDS BOROUGH TAX MAPS

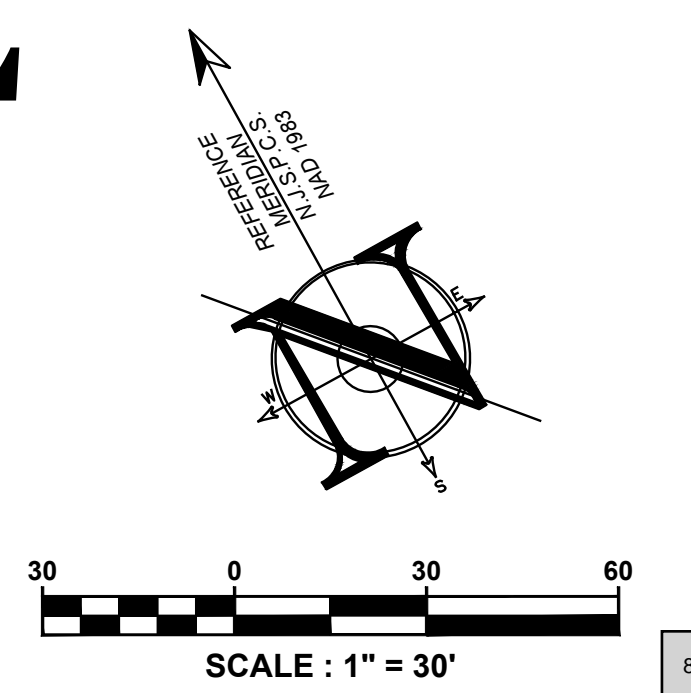




# PROPOSED MULTI-FAMILY RESIDENCE

## Neighborhood Aerial Exhibit

*Borough of Highlands, Monmouth County, New Jersey*



NOTE: AERIAL MAPPING SHOWN HEREON TAKEN FROM NEARMAP HIGH RESOLUTION DATED SEPT. 6, 2023. MUNICIPAL ZONE BOUNDARIES SHOWN HEREON TAKEN FROM MONMOUTH COUNTY GIS. BLOCK AND LOT LINES SHOWN HEREON TAKEN FROM HIGHLANDS BOROUGH TAX MAPS.

06/09/2025