



BOROUGH OF HIGHLANDS
LAND USE BOARD REGULAR MEETING

151 Navesink Ave. - Court Room
Thursday, December 11, 2025 at 7:00 PM

AGENDA

Please be advised that the agenda as shown may be subject to change. This meeting is a quasi-judicial proceeding. Any questions or comments must be limited to issues that are relevant to what the board may legally consider in reaching a decision and decorum appropriate to a judicial hearing must be maintained at all times.

CALL TO ORDER: *The chair reserves the right to change the order of the agenda.*

PLEDGE OF ALLEGIANCE

OPEN PUBLIC MEETING STATEMENT: *As per requirement, notice is hereby given that this is a Regular Meeting of the Borough of Highlands Land Use Board and all requirements have been met. Notice has been transmitted to the Asbury Park Press and the Two River Times. Notice has been posted on the public bulletin board. Formal Action will be taken.*

ROLL CALL

OPEN FOR PUBLIC COMMENTS: *General Questions or Comments not pertaining to Applications*

COMMUNICATION

1. LUB25-06: Highlands Landing Corp. – 326 Shore Dr., B100 L27:
Special Meeting on Dec. 18th at Community Center, 22 Snug Harbor Ave.

ACTION ON OTHER BUSINESS

2. Master Plan Planning
3. LUB2023-05 Sharkey 9 Shrewsbury B42 L2 - Interpretation & Extension Request - Section 21-17A.9 of Borough Code

APPROVAL OF MINUTES

4. 09-11-2025 LUB Minutes

RESOLUTIONS

5. Memorializing LUB Resolution 2025-26 LUB25-02: Kubis – 260 Navesink Ave., B119 L2.01

HEARINGS ON OLD BUSINESS

6. LUB25-10: Solar Powered 44 – 44 Miller St., B58 L7.01

ADJOURNMENT

Board Policy: • All meetings shall adjourn no later than 10:00 P.M. unless a majority of the quorum present at said hour vote to continue the meeting to a later hour. • No new hearing shall commence after 9:15 P.M. unless the Chairperson shall rule otherwise. • The Chair may limit repetitive comments or irrelevant testimony and may limit the time or number of questions or comments from any one citizen to ensure an orderly meeting and allow adequate time for members of the public to be heard.

Next LUB Meeting: Dec. 18, 2025 – Special Meeting for

LUB25-06: Highlands Landing Corp. – 326 Shore Dr., B100 L27

HENRY F. WOLFF, III
Attorney at Law
79 First Avenue
Atlantic Highlands, New Jersey 07716
(732) 291-9000

Facsimile (732) 291-0321

Email: paralegal@lawwoff.com

November 1, 2025

Via Hand-Delivery & Email

Borough of Highlands
Attention: Board Secretary
42 Shore Drive
Highlands, NJ 07732

Re: Sharkey- Highlands Planning Board- Application-Extension
Block 42 Lot (s) 2 – Zone: R2.02
Residence of Applicant: 68 Bay Avenue, Highlands, NJ 07732

Dear Sir/Madam:

I represent Mary Sharkey. I understand that Ms. Sharkey is the owner of 9 Shrewsbury Ave, Highlands, New Jersey. On November 9, 2023, she obtained certain variances for the purpose of constructing a two story house. The Resolution was issued on December 14, 2023. Thereafter, because of financial constraints that were entirely unexpected, she was unable to start construction within one year of the grant of the variances.

On or about September 24, 2025, believing that the property owner has up to two years to start construction, Ms. Sharkey asked the Board Secretary for a further extension. It was then that Ms. Sharkey was told that over a year had passed since the variance was granted, she must request an extension from the Board.

Thereafter, Ms Sharkey submitted a email to the Board asking to be put on the Thursday October 9 , 2025 agenda. The letter was rejected on the grounds that it did not set forth a legal reason for the request. Thereafter, I was retained. I did talk to Dustin F. Glass, Esq., Highlands, Planning Board Attorney, about this matter, and based upon my conversation with him and my review of the history of this matter and the ordinance in question, I believe the request for an extension of time should be put on the agenda for December 11 , 2025. I will be prepared to explain the reasons for the request at that time. The ordinance in question is 21-17A.9.provides as follows:

“A Variance granted by the Land Use Board shall expire in one (1) year unless an extension of the time period is granted or the variance is exercised by either the erection or alteration of structures, the commencement of use, the submission of required subdivision or site plan application, or the specific terms of the original variance. Any appeal to the Governing

Body or court of competent jurisdiction shall suspend the running time for the period of the appeal."

Under the specific terms of the ordinance the variance shall expire unless an extension of the time period is granted. The ordinance does not require that the extension be sought prior to the expiration of the one year period (as many such limitations do). Nor does it provide any guidance as to the basis for a grant of the extension. Thus, the Board has the power to grant the extension at any time even after the expiration of the one year period. Boards of adjustment have the inherent powers to construe the meaning of the zoning ordinance. It is submitted that the Board can do what it feels is fair and just as it has in the past.

Very truly yours,



HENRY E. WOLFF, III

Enclosures

Cc w/copy encs:

Dustin Glass dglass@semerarolaw.com

Ms. Nancy Tran – via e-mail: planningboard@ahnj.com

Sharkey clients- via email: msharkey.rnbsn@gmail.com;

msharkey.rnbsn@gmail.com; hsharkey@comcast.net;

HSCHARKEY@COMCAST.NET

Sharkey Extension Request Chronology

- 8/28/25 Sharkey email to Nancy Tran at LandUse@highlandsborough.org
Request 1-year extension for personal reasons.
Please add to September agenda.
Do I need to attend in person?
- 9/11/25 Nancy email to Sharkey;
Sorry for late reply. Per Board Attorney, you need to file for interpretation of NJSA 40:55D-70 od section 21-17A.9 of the Code.
Per code, your variance expired one year after the resolution date of 12/14, 2024.
- 9/16/25 Nancy email to Sharkey
LUB deemed it necessary to file application and check off "Extension of Approval" and "Other-Request for Interpretation" of 21-17A.9 of the Code.
- 9/24/25 Sharkey dropped off extension request application to Nancy.
- 9/30/25 Sharkey email to Nancy
Following up on yesterday's voicemail. Anything else is needed with the application? Please confirm we will be on the 10/9 LUB agenda.
- 9/30/25 Nancy email to Sharkey
Application was sent to LUB and I was waiting to hear back if it will be on the agenda.
Also need notarized signature but this will not hold up application.
- 9/30/25 Sharkey to Nancy – great will send notarized signature over shortly
- 9/30/25 Nancy to Sharkey – will leave application with our notary at 1st window.
- 10/1/25 Nancy to Sharkey – currently considering cancellation of October LUB meeting and if that happens, board will hear application at November meeting.
- 10/6/25 Sharkey to Nancy – I see 10/9 meeting was cancelled.
We will provide more detailed reasons for requesting the extension and notary page. Please confirm we will be on the November meeting agenda.
- 10/15/25 Sharkey went to borough hall, Lisa Natale notarized the extension request application.
Nancy reviewed the application, and Mary made two check marks bolder for clarity reasons.
It was acknowledged that all of us were working the two-year time frame.
Sharkey will bring any additional documents required.
- 10/21/25 Nancy email to Sharkey – following up on additional information for reason of extension to finalize November agenda.
- 10/22/25 Sharkey email to Nancy
Please keep us on the November Agenda.
With regard to request to elaborate on reason for extension, I have attached Mary's 8/1/25 termination letter was unforeseeable.
Mary will make a statement at the meeting. With regard to the application submitted 9/24/25, two checks under section 3 were a mistake. Mary can come down and initial.

Sharkey Extension Request Chronology

- 10/22/25 Sharkeys' meet with Nancy to review application. Nancy explained the LUB attorney strongly recommended we get our own attorney to address the legal jargon required with the application. Nancy returned the original application so we could revise per our attorney's advice.
- 10/22/25 Sharkey email to Nancy:
Follow up on in person meeting. Our attorney is going to speak with LUB attorney Dustin Glass about our application. We will return all info when we hear back from Mr. Wolff.



Mary Sharkey <msharkey.mbsn@gmail.com>

2023-12-14 LUB Resolution 2023-20; memorialized; REQUEST 1-year extension to build.

3 messages

Mary Sharkey <msharkey.mbsn@gmail.com>

Thu, Aug 28, 2025 at 8:57 PM

To: "Nancy Tran - Secretary (landuse@highlandsborough.org)" <landuse@highlandsborough.org>, Hugh Sharkey <hsharkey@comcast.net>

To: Land Use Board

On December 14, 2023, the Land Use Board memorialized Their approval of My Application and plans to build a Residential Property on 9 Shrewsbury Avenue.

For Personal reasons, I request a one-year extension to build the Residential property.

Please add this item to the September LUB Meeting Agenda. Can the LUB approve this written request, or do I have to attend the Meeting in Person?

Thank you for Your consideration and let Me know if anything else is needed.

Respectfully,
Mary T. Sharkey

Landuse Secretary <landuse@highlandsnj.gov>

Thu, Sep 11, 2025 at 5:12 PM

To: Mary Sharkey <msharkey.mbsn@gmail.com>, Hugh Sharkey <hsharkey@comcast.net>

Cc: Alicia Jones <ajones@highlandsnj.gov>

Howdy, Hugh and Mary,

I just left you a voice mail and am following up with this email. Unfortunately, the Board will NOT be able to consider your application at tonight's meeting. Per our Board Attorney, at the very least, you need to request/file for an interpretation, pursuant to NJSA 40:55D-70, of Section 21-17A.9 of the Code provides that variances "shall expire in one (1) year unless an extension of the time period is granted or the variance is exercised by either the erection or alteration of structures, the commencement of use, the submission of required subdivision or site plan application, or the specific terms of the original variance. Per this Borough Code, your variance has expired beyond your resolution date of December 14, 2024.

As such, consideration for your extension request will take more time than the Board can allot without it impacting the scheduled hearing of another application. Please feel free to call me tomorrow to further discuss if you have questions.

Sincerely,

Nancy

From: Mary Sharkey <msharkey.rnbsn@gmail.com>
Sent: Thursday, August 28, 2025 8:58 PM
To: Landuse Secretary <landuse@highlandsnj.gov>; Hugh Sharkey <hsharkey@comcast.net>
Subject: 2023-12-14 LUB Resolution 2023-20; memorialized; REQUEST 1-year extension to build. .

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

[Quoted text hidden]

Landuse Secretary <landuse@highlandsnj.gov> Tue, Sep 16, 2025 at 6:00 PM
To: Mary Sharkey <msharkey.rnbsn@gmail.com>, Hugh Sharkey <hsharkey@comcast.net>
Cc: Alicia Jones <ajones@highlandsnj.gov>

Following up. The Board has deemed that it is necessary for you to submit a LUB application and check off the following boxes: "Extension of Approval" and "Other - Request for Interpretation". Section 21-17A.9 of the Code provides that variances "shall expire in one (1) year unless an extension of the time period is granted or the variance is exercised by either the erection or alteration of structures, the commencement of use, the submission of required subdivision or site plan application, or the specific terms of the original variance.

Please submit an application at your earliest convenience to ensure its addition for consideration at the October 9th LUB meeting.

nancy

[Quoted text hidden]



Mary Sharkey <msharkey.mbsn@gmail.com>

Extension for 9-Shrewsbury - LUB meeting 10/9

5 messages

HUGH SHARKEY <hsharkey@comcast.net>

Tue, Sep 30, 2025 at 7:11 AM

To: Landuse <landuse@highlandsborough.org>

Cc: "msharkey.mbsn@gmail.com" <msharkey.mbsn@gmail.com>

Hi Nancy

I wanted to follow up with you on the message I left yesterday.

Is there any additional information required with the application?

Please confirm we will be on the 10/9 LUB agenda.

Please call Mary (732-443-7824) or myself (732-822-5194).

Respectfully,

Hugh Sharkey

Landuse Secretary <landuse@highlandsnj.gov>

Tue, Sep 30, 2025 at 12:13 PM

To: HUGH SHARKEY <hsharkey@comcast.net>

Cc: "msharkey.mbsn@gmail.com" <msharkey.mbsn@gmail.com>

Howdy, Hugh and Mary,

Please excuse my delay. Your application has been forwarded to the Board for consideration and I'm waiting to hear back to confirm next week's agenda. In the meantime, Mary's signature and notary is missing on page 4 of the application. Please be sure to correct that when you have a minute – we are not holding up your application for this missing piece.

Nancy

From: HUGH SHARKEY <hsharkey@comcast.net>**Sent:** Tuesday, September 30, 2025 7:11 AM**To:** Landuse Secretary <landuse@highlandsnj.gov>**Cc:** msharkey.mbsn@gmail.com**Subject:** Extension for 9-Shrewsbury - LUB meeting 10/9

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

[Quoted text hidden]

HUGH SHARKEY <hsharkey@comcast.net>

Tue, Sep 30, 2025 at 1:21 PM

11/6/25, 1:12 PM

Gmail - Extension for 9-Shrewsbury - LUB meeting 10/9

To: Landuse Secretary <landuse@highlandsnj.gov>
Cc: "msharkey.mbsn@gmail.com" <msharkey.mbsn@gmail.com>

Thanks Nancy. Will get notary over shortly

[Quoted text hidden]

Landuse Secretary <landuse@highlandsnj.gov>
To: HUGH SHARKEY <hsharkey@comcast.net>
Cc: "msharkey.mbsn@gmail.com" <msharkey.mbsn@gmail.com>

Tue, Sep 30, 2025 at 1:44 PM

Great! I'll leave page with our Notary at 1st window. Please be sure to reach out to her x204 to coordinate.

[Quoted text hidden]

Landuse Secretary <landuse@highlandsnj.gov>
To: HUGH SHARKEY <hsharkey@comcast.net>
Cc: "msharkey.mbsn@gmail.com" <msharkey.mbsn@gmail.com>

Wed, Oct 1, 2025 at 6:05 PM

We are currently discussing possibly cancelling next week's LUB meeting if the main applicant is not ready. If that's the case, the Board will consider your application at the November meeting.

HOWEVER, the Board Attorney quickly reviewed your application and thought that your application does not explain at all your need for an extension. Please provide more details than already provided. Additionally, while we always advise applicants to consult their own professionals, as the Board is considering the Borough Code, you may want to consult with an attorney to assess its impact to your application and request.

nancy

[Quoted text hidden]



Mary Sharkey <msharkey.rnbsn@gmail.com>

9 Shrewsbury Ave Extension

3 messages

HUGH SHARKEY <hsharkey@comcast.net>

Mon, Oct 6, 2025 at 1:21 PM

To: Landuse <landuse@highlandsborough.org>, "msharkey.rnbsn@gmail.com" <msharkey.rnbsn@gmail.com>

Hi Nancy,

I see the 10/9 meeting is cancelled.

We will provide more details regarding the reason for our extension request shortly, with the notarized signature page.

Please confirm we will be listed on the November agenda.

Regards,

Hugh & Mary Sharkey

Landuse Secretary <landuse@highlandsnj.gov>

Tue, Oct 21, 2025 at 5:07 PM

To: HUGH SHARKEY <hsharkey@comcast.net>, "msharkey.rnbsn@gmail.com" <msharkey.rnbsn@gmail.com>

Howdy, Hugh and Mary,

I'm following up for the status of the submission for additional information. I need to finalize the November LUB agenda. Please advise.

Nancy

From: HUGH SHARKEY <hsharkey@comcast.net>**Sent:** Monday, October 6, 2025 1:21 PM**To:** Landuse Secretary <landuse@highlandsnj.gov>; msharkey.rnbsn@gmail.com**Subject:** 9 Shrewsbury Ave Extension

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

[Quoted text hidden]

HUGH SHARKEY <hsharkey@comcast.net>

Wed, Oct 22, 2025 at 12:48 PM

To: Landuse Secretary <landuse@highlandsnj.gov>, "msharkey.rnbsn@gmail.com" <msharkey.rnbsn@gmail.com>

Hi Nancy

Please keep us on the agenda for the November LUB meeting.

With regard to your request to elaborate on the reason for granting the extension, I have attached the August 1, 2024 termination letter from Mary's employer which was unforeseeable.

Mary will make a statement at the meeting and answer and board member questions.

With regard to the actual application submitted on 9/24/25, the two checked boxes under section three for minor site plan and variance, are mistakes and should not be checked. Do you want Mary to come down and initial the changes?

Thank you for your kind consideration.

Mary & Hugh Sharkey

[Quoted text hidden]

 c genesis termination ltr 8-6-2024.pdf
417K



Mary Sharkey <msharkey.rnbsn@gmail.com>

Sharkey - 9 Shrewsbury Extension

1 message

Mary Sharkey <msharkey.rnbsn@gmail.com>

Wed, Oct 22, 2025 at 4:23 PM

To: "Nancy Tran - Secretary (landuse@highlandsborough.org)" <landuse@highlandsborough.org>, Hugh Sharkey <hsharkey@comcast.net>

Hi Nancy,

Thanks for Taking Your Time to discuss with Hugh and I My 9 Shrewsbury Extension Application Process and Info needed.

We respect Your Request to bring back Today no later than 4:30, All the Supporting Documents. Hugh and I spoke with Our Attorney, Henry Wolff Who said He would contact The Boards Attorney, Dustin Glass and follow up with Him regarding Our Extension Application and get back to Us after.

Hugh and I will return all necessary Info once We hear back from Mr Wolff.

We very much appreciate Your Assistance, Guidance and Patience in This Matter.

Feel Free to reach out to Us with any Questions or Concerns.

Respectfully,

Mary and Hugh Sharkey



BOROUGH OF HIGHLANDS
COUNTY OF MONMOUTH

LAND USE BOARD RESOLUTION 2025-27
MEMORIALIZATION OF BULK VARIANCE RELIEF WITH DESIGN WAIVERS

IN THE MATTER OF JAMES KUBIS
APPLICATION NO. LUB2025-02

Approved: November 13, 2025
Memorialized: December 11, 2025

WHEREAS, an application for bulk variance relief with a design waiver has been made to the Borough of Highlands Land Use Board (hereinafter referred to as the “Board”) by James Kubis (hereinafter referred to as the “Applicants”) on lands known and designated as Block 119, Lot 2.01, as depicted on the Tax Map of the Borough of Highlands (hereinafter “Borough”), and more commonly known as 260 Navesink Avenue, Highlands, New Jersey, in the R-2.03 Single-Family Residential (R-2.03) Zone District (hereinafter “Property”); and

WHEREAS, a live public hearing was held before the Board on November 13, 2025, with regard to this application; and

WHEREAS, the Board has heard testimony and comments from the Applicant, witnesses and consultants, and with the public having had an opportunity to be heard; and

WHEREAS, a complete application has been filed, the fees as required by Borough Ordinance have been paid, and it otherwise appears that the jurisdiction and powers of the Board have been properly invoked and exercised.

NOW, THEREFORE, does the Highlands Land Use Board make the following findings of fact and conclusions of law with regard to this application:

1. The subject Property is a 7,973-sf lot located in the R-2.03 Zone, improved with a one and a half (1 ½)-single-story frame dwelling with decking, a detached one-story garage, and other site improvements.

2. The subject Property is located on the northwest corner of Navesink Avenue (NJ State Highway No. 36), northbound and South Linden Avenue (one-way). Driveway access to the subject Property occurs via South Linden Avenue. The southern property line borders the Township of Middletown.

3. The subject Property is located within the X Flood Hazard zone and within the Steep Slopes Area, but the Applicant's licensed Land Surveyor has determined that the average steepest slope is 7%. Therefore, the property is not subject to the steep slope provisions (but remains subject to any and all X Flood Hazard zone provisions).

4. The Applicant proposes constructing two (2) decks and performing related site improvements.

5. More specifically, the Applicant proposes to construct a flat deck (11'-9" x 19'-9") atop the first story of the existing dwelling, located in the rear of the subject Property.

6. The Applicant also proposes to remove the existing wood deck located off the first story of the existing dwelling and construct a new lower deck (13'-9 1/2" x 19'-9") in its place.

7. The Applicant further proposes to construct staircases from the upper deck to the lower deck, and from the lower deck to the existing patio.

8. The Applicant received a Denial of Zoning Permit on February 3, 2025, for non-compliance of bulk requirements and, therefore, requires Land Use Board approval.

9. The Applicant requires two (2) bulk variances for lot depth and minimum side yard setback, and one (1) design waiver for the location of the existing air conditioning unit.

10. The nature and extent of the two (2) bulk variances is as follows:

Schedule I – Bulk and Area Requirements for R -2.03 Zone			
	Required	Existing	Proposed
Min. Lot Depth (ft.)	100	75**	75*
Min. Side Yard Setback (ft.)	6 (Navesink) 8 (South Linden)	2.8** (Navesink) 34.0 (South Linden)	2.8* (Navesink) 34.0 (South Linden)

*Proposed Variance

**Existing Variance

11. With this application, the Applicant proposes to bring an existing non-conformity, for the minimum deck setback along Navesink Avenue, into compliance as follows:

Schedule I – Bulk and Area Requirements for R -2.03 Zone			
	Required	Existing	Proposed
Min. Deck Setback (ft.) (Navesink)	3	2.3**	3

12. James Kubis, the owner of the subject Property and Applicant, was sworn in and testified about the application.

13. The Applicant summarized the application and noted that the proposed lower deck would be approximately two (2) ft. larger than the proposed upper deck.

14. The Applicant provided additional testimony that the proposed lower deck would extend two (2) feet further into the rear yard than the existing lower deck, but would not trigger any additional variance relief.

15. The Applicant further testified that his proposal would not exacerbate the existing conditions and that the side yard setback along Navesink Avenue would not be changing and would remain at 2.8ft.

16. In response to a comment by the Board Engineer, the Applicant confirmed that the existing rear deck is set back 2.3ft from Lot 3 and that the proposed lower deck is to be set back 3ft

from Lot 3, thus bringing an existing nonconformity into conformity.

17. The Applicant's Architect, Anthony M. Condouris, was sworn in and accepted as an expert in the field of architecture and testified about the application.

18. Mr. Condouris testified that the proposed upper deck would connect to the second floor of the dwelling via a doorway, with new staircases connecting the two (2) proposed decks.

19. Mr. Condouris provided additional testimony that despite the additional deck space proposed, none of the setbacks were exacerbated by the application.

20. In response to a question from the Board Engineer, Mr. Condouris confirmed that the deck setback would be brought into compliance with the proposal.

21. In response to further questions from the Board, the Applicant and Mr. Condouris testified that the Applicant's fence encroaches upon adjoining Lot 3 by three (3) feet, but that the Applicant has entered into an Encroachment Agreement with the owner of Lot 3, which Agreement permits the fence to remain in its current location.

22. In response to additional questions from the Board, the Applicant agreed to record the Encroachment Agreement with the County of Monmouth.

23. In response to further questions from the Board Professionals, the Applicant confirmed that the A/C unit existed in its current location at the time he purchased the Property and that he did not alter the same.

24. The Board Engineer advised that the existing A/C unit is too close to the property line and that a design waiver would be needed for it to remain in its present location.

25. The Applicant further testified that the A/C unit is proposed to remain in its existing location and that he was, therefore, seeking a design waiver for the same.

26. There were no members of the public expressing an interest in this application.

WHEREAS, the Highlands Land Use Board, having reviewed the proposed application and having considered the impact of the proposed application on the Borough and its residents to determine whether it is in furtherance of the Municipal Land Use Law; and having considered whether the proposal is conducive to the orderly development of the site and the general area in which it is located pursuant to the land use and zoning ordinances of the Borough of Highlands; and upon the imposition of specific conditions to be fulfilled, hereby determines that the Applicants should be granted bulk variance relief pursuant to both N.J.S.A. 40:55D-70c(1) and c(2), along with design waiver relief pursuant to N.J.S.A. 40:55D-51, in this instance.

The Board finds that the Applicant has proposed constructing two (2) decks and performing related site improvements, which requires bulk variance relief. The Municipal Land Use Law, at N.J.S.A. 40:55D-70c provides Boards with the power to grant variances from strict bulk and other non-use related issues when the Applicant satisfies certain specific proofs which are enunciated in the Statute. Specifically, the Applicant may be entitled to relief if the specific parcel is limited by exceptional narrowness, shallowness or shape. An Applicant may show that exceptional topographic conditions or physical features exist uniquely affect a specific piece of property. Further, the Applicant may also supply evidence that exceptional or extraordinary circumstances exist which uniquely affect a specific piece of property or any structure lawfully existing thereon and the strict application of any regulation contained in the Zoning Ordinance would result in a peculiar and exceptional practical difficulty or exceptional and undue hardship upon the developer of that property. Additionally, under the “c(2)” criteria, the Applicant has the option of showing that in a particular instance relating to a specific piece of property, the purpose of the Act would be advanced by allowing a deviation from the Zoning Ordinance requirements and the benefits of any deviation will substantially outweigh any detriment. In those instances, a

variance may be granted to allow departure from regulations adopted, pursuant to the Zoning Ordinance.

Those categories specifically enumerated above constitute the affirmative proofs necessary in order to obtain “bulk” or (c) variance relief. Finally, the Applicant must also show that the proposed variance relief sought will not have a substantial detriment to the public good and, further, will not substantially impair the intent and purpose of the Zone Plan and Zoning Ordinance. It is only in those instances when the Applicant has satisfied both these tests that a Board, acting pursuant to the Statute and case law, can grant relief. The burden of proof is upon the Applicant to establish these criteria.

The Board finds that the Applicant has satisfied the positive criteria. The Board finds that the proposed decks and stairways will upgrade the existing residential structure and will be consistent with neighboring development. The Board further finds that the proposed decks will be aesthetically pleasing and create a desirable visual environment which will be commensurate with other homes in the neighborhood. The Board further finds that the subject Property is unique and unusual with respect to its dimensions. Ultimately, the Board finds that the grant of variance relief will result in a visually desirable dwelling which will not only benefit the Applicant but will also advance the interests of the entire community. The Board therefore concludes that the goals of planning as enumerated in N.J.S.A. 40:55D-2 have been advanced. The Applicant has therefore satisfied the positive criteria.

The Board also finds that the negative criteria has been satisfied. The proposed decks requiring variance relief will not cause a detriment to the community in any discernible way. In fact, the Board finds that proposed decks will still be consistent and fit in seamlessly with the prevailing neighborhood residential scheme. The proposal is consistent with the Borough’s

overall goals and objectives of providing new, safe and visually attractive homes and will advance the general welfare for both the Applicant and the neighbors alike. Granting of the variance sought by the Applicant will also not result in any substantial detriment to the public welfare or impair the purpose or intent of the Zone Plan or Zoning Ordinance.

The Board further finds that the Applicant will bring the Property into further conformity with the Zoning Ordinance, by proposing to eliminate the existing variance for the minimum deck setback. Additionally, the Board finds that the Applicant and the property owner of Lot 3 have entered into an Encroachment Agreement, permitting the fence that encroaches upon Lot 3 to remain in its current location, which Agreement shall be recorded with the County. The Board therefore concludes that the negative criteria has therefore been satisfied pursuant to N.J.S.A. 40:55D-70c(2).

The Board concludes that the positive criteria substantially outweighs the negative criteria and that bulk variance relief may be granted pursuant to N.J.S.A. 40:55D-70c(2).

The proposal also requires design waiver relief from the requirements of § 21-65.27.C for the location of the existing A/C unit. The MLUL permits site plan design exceptions pursuant to N.J.S.A. 40:55D-51(b). The statute permits the Board to grant a deviation from the requirements for site plan approval if (1) doing so is “reasonable”, (2) within the general purpose and intent of the provisions for site plan review and approval of an ordinance adopted pursuant to Article 4 of the MLUL; and (3) if the literal enforcement of one or more provisions of the ordinance is impracticable or will exact undue hardship because of peculiar conditions pertaining to the land in question.

Based on the testimony provided, the Board has determined that the design the waiver, for the location of the existing air conditioning unit may be reasonably granted because it

presents a better planning alternative and safer design overall, and exists in an appropriate location with respect to the subject Property. For the foregoing reasons, the Board therefore finds that it is appropriate to grant design waiver relief pursuant to N.J.S.A. 40:55D-51.

NOW, THEREFORE, BE IT RESOLVED by the Borough of Highlands Land Use Board on this 11th day of December 2025, that the action of the Board taken on November 13, 2025, granting application no. LUB 2025-02 of James Kubis for bulk variance relief pursuant to N.J.S.A. 40:55D-70c(1) and “c(2)” and design waiver relief pursuant to N.J.S.A. 40:55D-51 is hereby memorialized as follows:

The application is granted subject to the following conditions:

1. All site improvement shall take place in strict compliance with the testimony and with the plans and drawings which have been submitted to the Board with this application, or to be revised.
2. Except where specifically modified by the terms of this Resolution, the Applicant shall comply with all recommendations contained in the Reports of the Board's Professionals.
3. The Applicant shall apply for all necessary Zoning Permit(s).
4. With respect to the Applicant's fence that encroaches upon adjoining Lot 3 by three (3) feet, the Applicant has entered into an Encroachment Agreement with the owner of Lot 3, which Agreement permits the fence to remain in its current location. The Applicant shall record the Encroachment Agreement with Monmouth County and provide proof of the same. Failure to record the Encroachment Agreement shall require the Applicant to remove the fence or seek further relief from the Land Use Board with respect to the same.
5. Any ambiguities regarding the interpretation of this Resolution related to major site plan modifications shall be resolved by the Land Use Board upon due notice to the public.
6. The Applicant shall provide a certificate that taxes are paid to date of approval.
7. This approval is subject to the Applicant's continuing payment of all fees, costs, escrows due or to become due. Any monies are to be paid within twenty (20) days of said request by the Board Secretary.
8. Prior to the issuance of building permits, the Applicant shall be responsible for

obtaining any other approvals or permits from other governmental agencies, as may be required by law, including all applicable Federal, State, County, and Municipal regulations.

9. Subject to all other applicable rules, regulations, ordinances and statutes of the Borough of Highlands, County of Monmouth, State of New Jersey, or any other jurisdiction.

BE IT FURTHER RESOLVED that the Board secretary is hereby authorized and directed to cause a notice of this decision to be published in the official newspaper at the Applicant's expense and to send a certified copy of this Resolution to the Applicant and to the Borough Clerk, Engineer, Attorney and Tax Assessor, and shall make same available to all other interested parties.

Robert Knox, Chairman
Borough of Highlands Land Use Board

ON MOTION OF:
SECONDED BY:
ROLL CALL:
YES:
NO:
ABSTAINED:
INELIGIBLE:
ABSENT:
DATED:

I hereby certify this to be a true and accurate copy of the Resolution adopted by the Borough of Highlands Land Use Board, Monmouth County, New Jersey, at a public meeting held on December 11, 2025.

Nancy Tran, Secretary
Borough of Highlands Land Use Board

BOROUGH OF HIGHLANDS LAND USE BOARD**Case No. LUB25-02/Kubis****Bulk Variance Relief****November 13, 2025****APPLICATION DOCUMENTS**

- Land Use Board Application for Variance, dated February 28, 2025.
- Denial of Zoning Permit issued on February 3, 2025, for the Borough of Highlands.
- Plan set entitled, “Kubis Residence, 260 Navesink Avenue, Highlands, New Jersey, Block 119 Lot 2.01”, prepared by Anthony M. Condouris, Architect, dated August 7, 2025, last revised September 8, 2025, signed, and consisting of 4 sheets.
- Plan set entitled, “Proposed Alterations and Addition for Kubis Residence, 260 Navesink Residence, Highlands, New Jersey, Block 119 Lot 2.01”, prepared by Anthony M. Condouris, Architect, dated April 8, 2024, signed, and consisting of 4 sheets.
- Survey for 260 Navesink Avenue, prepared by Thomas Craig Finnegan Land Surveying, LLC, dated July 30, 2025.

EXHIBITS¹

A-1 Encroachment Agreement with owner of Lot 3

A-2 Freehold Soil Conservation District letter, dated October 9, 2025

INTEROFFICE REPORTS

B-1 Board Engineer’s Completeness Review, dated March 14, 2025 (Completeness Review No. 1)

B-2 Board Engineer’s Completeness Review, dated Sept. 17, 2025 (Completeness Review No. 2)

¹ Although the exhibits were not marked during the hearing, for sake of reference, they are being marked as “A-1” and “A-2” as documented herein.



LAND USE BOARD APPLICATION

FOR OFFICIAL USE

Date Rec'd: _____ Application #: _____ Fee: _____
Escrow: _____ Escrow Acct# _____

1. APPLICANT

Name: Solar Powered 44 LLC
Address: 44 Miller Street
City: Highlands State: NJ Zip: 07732
Phone: 973-572-5007
Email: mark@unitedsolarco.com
Relation to property: property owner

2. OWNER

Name: Mark Landgrebe
Address: 27 Miller Street
City: Highlands State: NJ Zip: 07732
Phone: 973-572-5007
Email: mark@unitedsolarco.com

3. TYPE OF APPLICATION (Check all that apply)

- ☐ Minor Subdivision
- ☐ Major Subdivision – Preliminary
- ☐ Major Subdivision – Final
- ☐ Minor Site Plan
- ☐ Major Site Plan – Preliminary
- ☐ Major Site Plan – Final
- ☐ Variance
- ☒ Use Variance

- ☐ Appeal – Zoning Denial date _____
- ☐ Appeal – Land Use Decision date _____
- ☐ Informal Concept Plan Review
- ☐ Extension of Approval
- ☐ Revision/Resubmission of Prior Application
- ☐ Other _____

4. PROPERTY INFORMATION

Block 58 Lot(s) 7.01 Address: 44 Miller Street
Lot size 4,920 SF # of Existing Lots 1 # of Proposed Lots 1
Zone R-2.02 Are there existing Deed Restrictions or Easements? ☒ No ☐ Yes – Please attach copies
Has the property been subdivided? ☒ No ☐ Yes If yes, when? _____
Attach copies of approved map or approved resolution
Property taxes paid through See attached. Sewer paid through _____

5. ATTORNEY (A corporation, LLC, Limited Partnership, or S-Corp **must** be represented by a NJ attorney)

Name: Kevin Kennedy, Esq.
Address: 165 Rt. 35, #1A Red Bank, NJ 07701
Phone: 732-936-1099 Email: _____



Borough of Highlands
151 Navesink Ave.
Highlands, NJ 07732
(732) 872-1224
www.highlandsnj.gov

6. APPLICANT'S OTHER PROFESSIONAL(S) – Engineer, Planner, Architect, etc.

Name: Donna M. Bullock, PE
Address: Morgan Engineering- PO Box 5232
Toms River, New Jersey 08754
Phone: 732-270-9690
Email: donnab@morganengineeringllc.com

Name: _____
Address: _____

Phone: _____
Email: _____

7. LAND USE

A. PROPERTY HISTORY –Describe in detail, nature of prior use(s) on the site, start date of such use, any prior Land Use Board applications for this site (attach copy of resolution, if applicable), history of current ownership, etc.

Applicant purchased a 2-family dwelling in 2020 and received approval for reconstruction of new ~~two family dwelling on existing footprint with 75% of construction completed.~~ In January 2024, Highlands reestablished the Building department and a stop work order was issued. Borough is now requiring a use variance application for a two-family swelling whereas one family dwelling is permitted.

B. PROPOSED PLAN –Describe in detail, proposed use for property, including, but not limited to: 1) portion to be subdivided; 2) sell lot only; 3) construct house(s) for sale; 4) how trash will be disposed; 5) landscaping; 6) hours of operation; 7) type of goods/services; 8) fire lane. Attach additional sheets if necessary.

The Applicant/owner is seeking to obtain a use variance approval for modifications to an existing structure for a two-family dwelling, where only single family dwellings are permitted in the R-2.02 zone

C. ADDITIONAL INFORMATION:

		Existing	Proposed
Residential:	How many dwelling units?	<u>1</u>	<u>2</u>
	How many bedrooms in each unit?	<u>2</u>	<u>2</u>
	How many on-site parking spaces?	<u>2</u>	<u>4</u>
Commercial:	How many commercial uses on site?	<u>0</u>	<u>0</u>
	How many on-site parking spaces?	<u>0</u>	<u>0</u>



8. VARIANCE REQUESTS Complete section(s) related to the relief being requested.

	Req'd	Exist.	Prop'd
Minimum Lot Requirements			
Lot Area	4,000 SF	4,920 SF	N.C.
Frontage	50 ft.	141.5 ft	N.C.
Lot Depth	75 ft	70.75 ft	N.C.
Minimum Yard Requirements			
Front Yard Setback	20 ft	0.9 ft	N.C.
2 nd Front Yard Setback	20 ft	3.6 ft	N.C.
Rear Yard Setback			
Side Yard Setback, right	6 ft	7.3 ft	N.C.
Side Yard Setback, left	8 ft	29.8 ft	N.C.
Building Height	32.5 ft	<32.5 ft	N.C.

	Req'd	Exist.	Prop'd
Accessory Structures			
Fence/Wall Height			
Garage/Shed Height			
Garage/Shed Area			
Pool Setback			
Parking Requirements			
On-site Parking Spaces	2.5	2	4
Other (please add)			

9. OTHER RELIEF REQUESTED Please specify relief(s) and explain below.

Use variance required for a proposed two-family residential dwelling, which is not permitted in the R-2.02 residential zone, along with Bulk "C" variances for the following: 1. front setback (4th Street); 2. Front setback (Miller Street); 3. Maximum building coverage



Item 6.
Borough of Highlands
151 Navesink Ave.
Highlands, NJ 07732
(732) 872-1224
www.highlandsnj.gov

10. NOTARIZED SIGNATURE OF APPLICANT

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this
26th day of June 2025 (year)
Patricia A Meyer (notary)
PATRICIA A MEYER (Seal)
Notary Public
State of New Jersey
My Commission Expires Nov. 5, 2027

Signature: Mark Landgrebe Date: 6/26/25
Print Full Name: MARK LANDGREBE

11. NOTARIZED CONSENT OF OWNER

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the making of this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this
26th day of June 2025 (year)
Patricia A Meyer (notary)
PATRICIA A MEYER (Seal)
Notary Public
State of New Jersey
My Commission Expires Nov. 5, 2027

Signature: Mark Landgrebe Date: 6/26/25
Print Full Name: MARK LANDGREBE

12A. DISCLOSURE STATEMENT Circle all that apply.

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:

Is this application to subdivide a parcel of land into six (6) or more lots?	Yes	<input type="radio"/> No
Is this application to construct a multiple dwelling of 25 or more units?	Yes	<input type="radio"/> No
Is this an application for approval of a site(s) for non-residential purposes?	Yes	<input type="radio"/> No
Is this Applicant a corporation?	<input checked="" type="radio"/> Yes	No
Is the Applicant a limited liability corporation?	<input checked="" type="radio"/> Yes	No
Is the Applicant a partnership?	Yes	<input type="radio"/> No

If you circled **YES** to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).



12B. BUSINESS ORGANIZATION OWNERSHIP DISCLOSURE STATEMENT

Name of Corporation, Partnership, LLC, LLP, S-Corp:

Solar Powered 44 LLC

Listed below are the names and addresses of all owners of 10% or more of the stock/interest* in the above referenced business organization:

NAME	ADDRESS
Mark Landgrebe	27 Miller St. Highlands, NJ 07732

*If a corporation or a partnership owns 10% or more of the stock of a corporation, or 10% or great interest in a partnership, that corporation or partnership shall list the names and address of its stockholders holding 10% or more of its stock or 10% or greater interest in the partnership, and this requirement shall be followed until the names and addresses of the non-corporate stockholders and individual partners, exceeding the 10% owner ship criterion established have been listed.

SWORN & SUBSCRIBED to before me this

20th day of June 2025 (year)
Patricia A. Mey (notary)

PATRICIA A MEY (Seal)

Notary Public

State of New Jersey

My Commission Expires Nov. 5, 2027

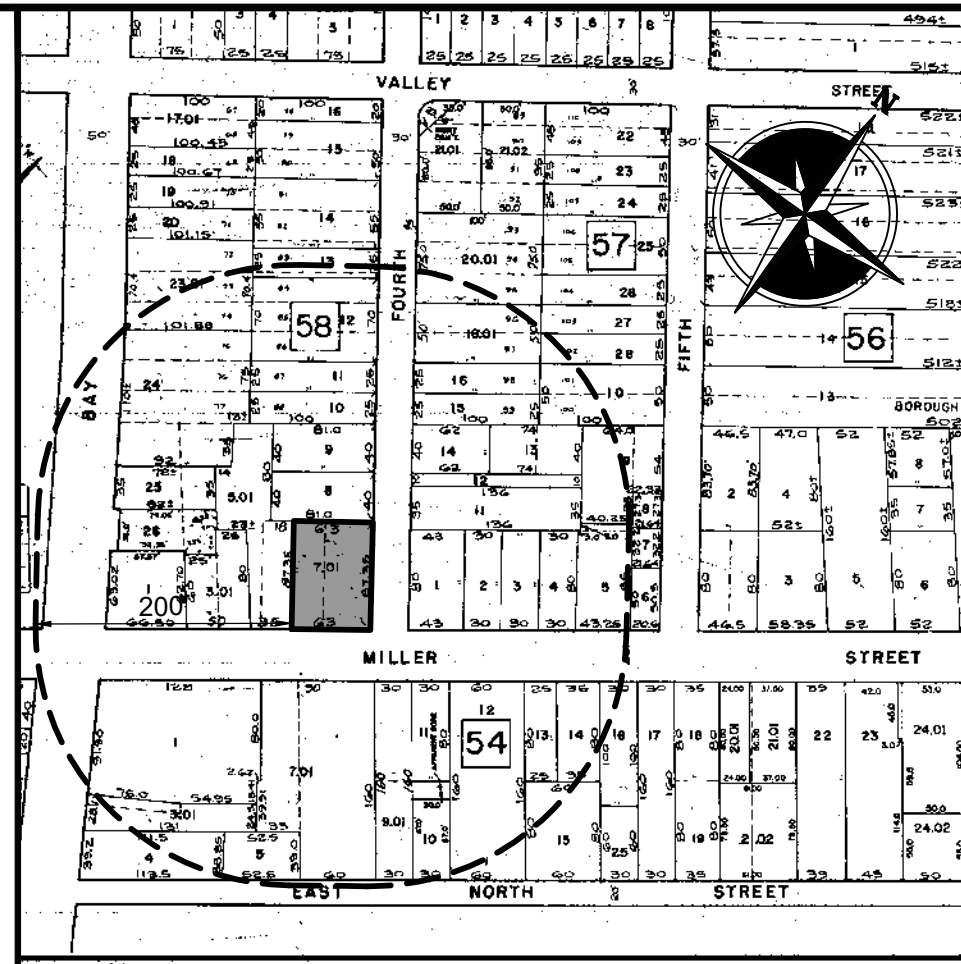
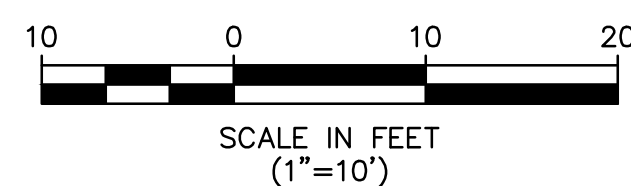
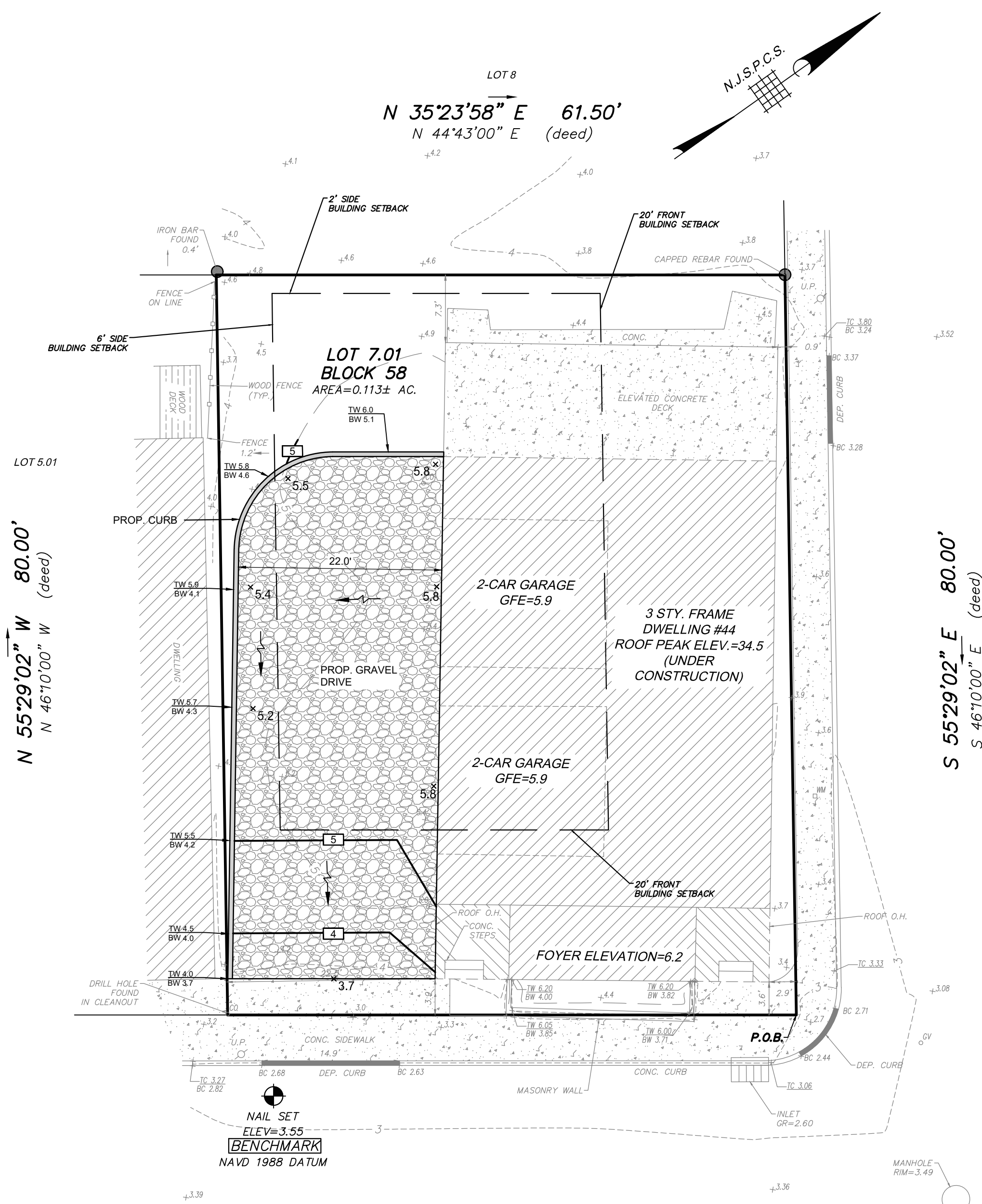
I.D.# 2206862

Signature (Officer/Partner)

Date

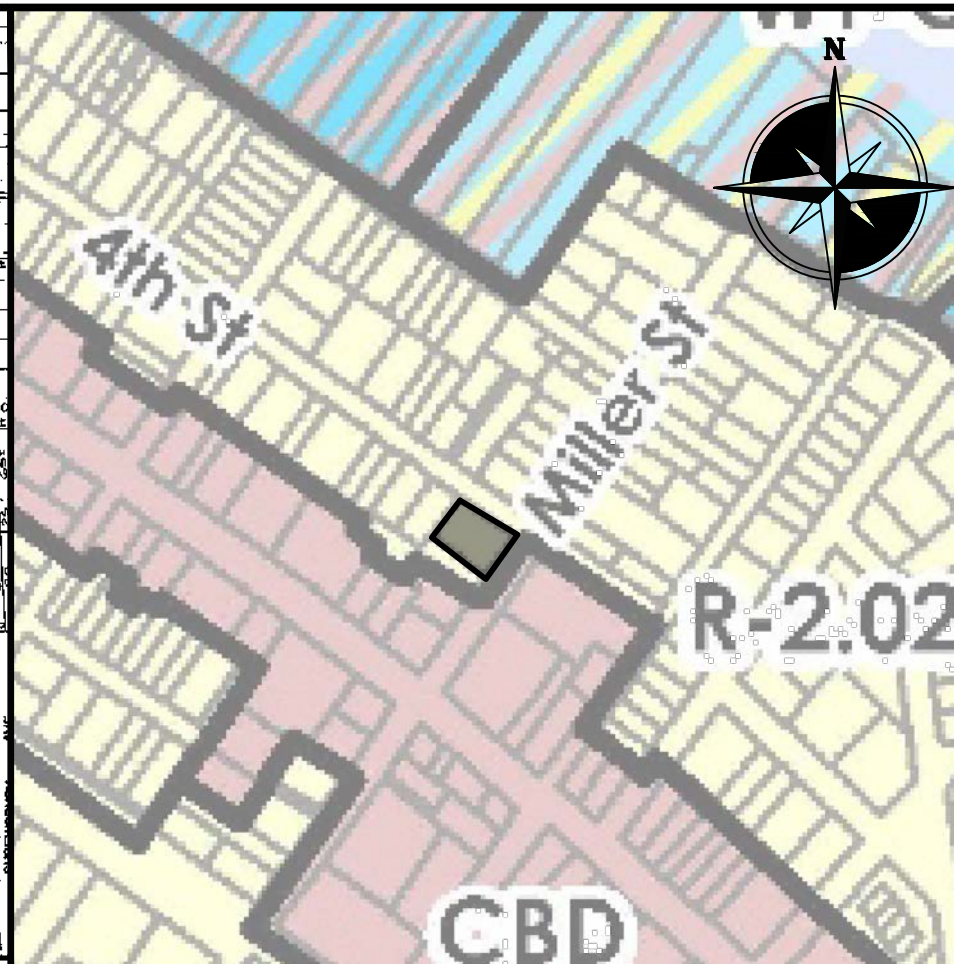
Print Full Name

Title



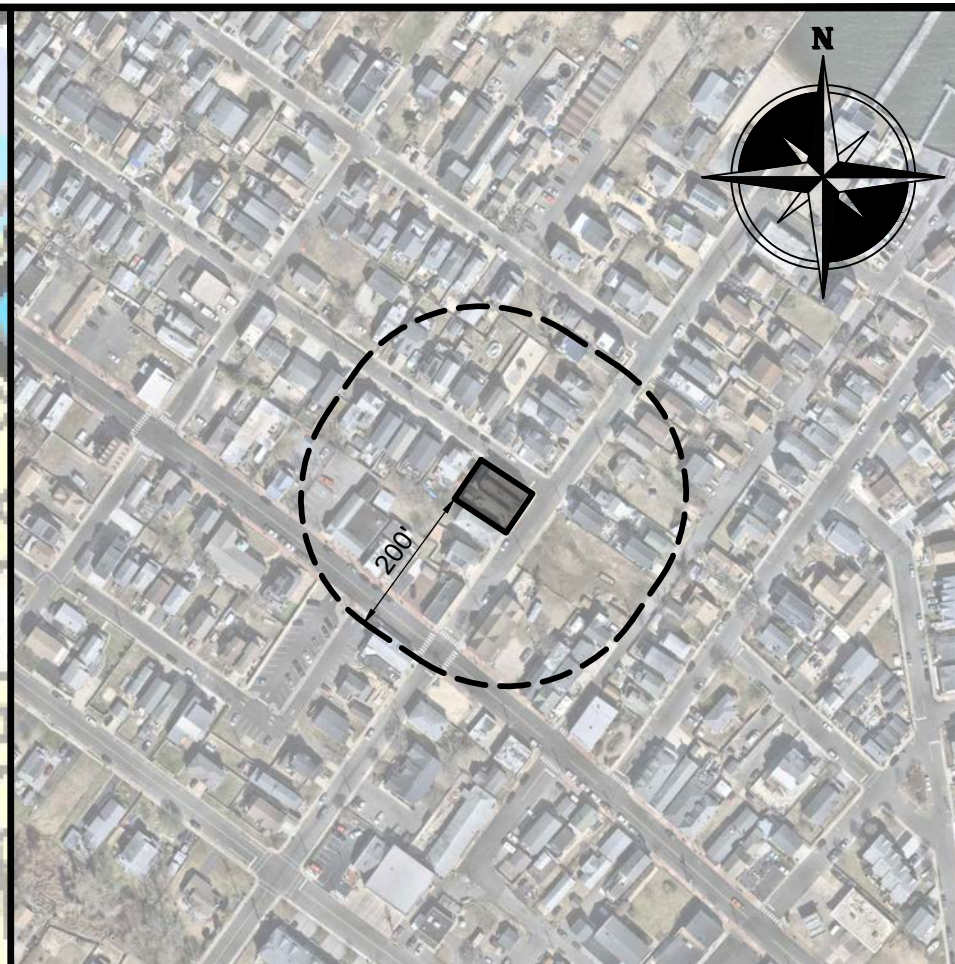
TAX MAP

SCALE: 1"=150'
TAX MAP INFORMATION TAKEN FROM "TAX MAP" BOROUGH OF
HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY SHEET
NUMBER #13



ZONING MAP

N.T.S.



KEY MAP

N.T.S.

200' PROPERTY OWNERS LIST

Block/Lot	Owner	Mailing address	City, State, Zip
200' List Block 58 Lot 7.01 44 Miller Street Highlands			
1319-54-1	SOYKA HELEN (ESTATE)	150 BAY AVENUE	HIGHLANDS NJ 07732
1319-54-7.011	LDN REAL ESTATE LLC	55 MILLER STREET	LITTLE SILVER NJ 07739
1319-54-7.012	LDN REAL ESTATE LLC	53 MILLER STREET	LITTLE SILVER NJ 07739
1319-54-7.013	LDN REAL ESTATE LLC	51 MILLER STREET	LITTLE SILVER NJ 07739
1319-54-7.014	LDN REAL ESTATE LLC	55 MILLER STREET	LITTLE SILVER NJ 07739
1319-54-7.015	LDN REAL ESTATE LLC	55 MILLER STREET	LITTLE SILVER NJ 07739
1319-54-4	CONSIGLIERE LLC	P.O. BOX 412	NAVESINK NJ 07752
1319-57-12	BOROUGH OF HIGHLANDS	151 NAVESINK AVE	HIGHLANDS NJ 07732
1319-58-7.01	SOLAR POWERED 44 LLC	27 MILLER STREET	HIGHLANDS NJ 07732
1319-58-23.01	DOCSIDE LLC	182 BAY AVENUE	HIGHLANDS NJ 07732
1319-58-24	HIGHLANDS POSTAL MANAGEMENT LLC	130 LEE AVENUE SUITE 356	BROOKLYN NY 11211
1319-58-25	YEUNG SAU WAN	29 WOODELEY AVENUE	LONG BRANCH NJ 07740
1319-59-9	165 BAY HOLDINGS LLC	1041 HWY 36 SUITE 200	ATLANTIC HIGHLANDS NJ 07716
1319-59-10	BOROUGH OF HIGHLANDS	151 NAVESINK AVE	HIGHLANDS NJ 07732
1319-57-9	KIRSH KRAFT LLC	PO BOX 886	HAMMONTON NJ 08037
1319-54-14	CHAN TED & BENJAMIN	33 MILLER STREET	HIGHLANDS NJ 07732
1319-58-1	TKB PROPERTIES LLC	12 MILLER STREET	HIGHLANDS NJ 07732
1319-57-11	FITZGERALD SUZANNE	8 FOURTH STREET	HIGHLANDS NJ 07732
1319-57-27	LIPOVCHENKO OLEG	21 FIFTH STREET	HIGHLANDS NJ 07732
1319-57-20.01	KNOX MICHAEL	49 WATERMAN AVENUE	RUMSON NJ 07760
1319-57-15	CAIZZA WILLIAM & SUSAN	14 FOURTH STREET	HIGHLANDS NJ 07732
1319-57-16	MISITA JOSEPH	16 4TH STREET	HIGHLANDS NJ 07732
1319-57-28	HARTSGROVE BARBARA A & HEATHER	19 FIFTH STREET	HIGHLANDS NJ 07732
1319-58-8	MEKELLER BARRY & LINDA	9 FOURTH STREET	HIGHLANDS NJ 07732
1319-54-10	HONNOLD KRISTIA & THOMAS BURKE	71 WATERMAN AVENUE	RUMSON NJ 07760
1319-54-11	CARVALHO MANUEL & MARIA	5 SUNSET CT	FREEDOLD NJ 07728
1319-54-12	DIEBOLD RICHARD	221 NAVESINK AVE	HIGHLANDS NJ 07732
1319-54-5	FLANNERY JOHN M. & DANIELLE A.	38 NORTH STREET	HIGHLANDS NJ 07732
1319-54-16	MURRAY MICHAEL S	29 MILLER STREET	HIGHLANDS NJ 07732
1319-57-3	MAHMOUD ESMAT	38 MILLER STREET	HIGHLANDS NJ 07732

Block/Lot	Owner	Mailing address	City, State, Zip
200' List Block 58 Lot 7.01 44 Miller Street Highlands			
1319-57-4	STARK SUSAN C/O T. WILSON	P.O. BOX 63	MIDDLETOWN NJ 07748
1319-57-2	FELDMAN MICHAEL & ANNA MARIE	12 DOGWOOD COURT	CLIFFWOOD NJ 07721
1319-57-10	HARTSGROVE REGINALD S H JR	15 FIFTH STREET	HIGHLANDS NJ 07732
1319-57-13	CAIZZA WILLIAM	14 FOURTH STREET	HIGHLANDS NJ 07732
1319-57-14	CASAZZA LUCILLE	12 FOURTH STREET	HIGHLANDS NJ 07732
1319-57-1	AME REALTY LLC	42 MILLER STREET	HIGHLANDS NJ 07732
1319-54-3.01	DIRECO STEPHEN	127 OAK STREET	WOOD RIDGE NJ 07075
1319-58-26	ANDREW APARTMENTS LLC C/O A FRANK	48 SUMMERS AVENUE	WEST LONG BRANCH NJ 07764
1319-58-3.01	ELBERT PETER & BERNADETTE	50 MILLER STREET	HIGHLANDS NJ 07732
1319-57-18.01	CALDAS MARK	20 4TH STREET	HIGHLANDS NJ 07732
1319-58-9	PAHK DAVID & GOODMAN VICTORIA	11 FOURTH STREET	HIGHLANDS NJ 07732
1319-58-10	MIOLA ERICA	15 FOURTH STREET	HIGHLANDS NJ 07732
1319-58-11	MINERVA VICTOR & BETH	17 FOURTH STREET	HIGHLANDS NJ 07732
1319-54-9.011	SMITH SIMON	34 NORTH STREET	HIGHLANDS NJ 07732
1319-54-9.012	SEPE-CAPUTI MARIA GRACE	45 MILLER STREET	HIGHLANDS NJ 07732
1319-54-15	SHANNON ENTERPRISES LLC	300 BAY AVENUE	HIGHLANDS NJ 07732
1319-57-5	SCHIRO JOSEPH & PETRUCCI MARIA A	290 BRIGHTON STREET	STATEN ISLAND NY 10307
1319-54-13	KERWICK THOMAS & LAURA	24 BROOKLAKE ROAD	FLORHAM PARK NJ 07932
1319-58-12	FISHER GARY & ELLEN	90 CLIFFEDGE WAY	RED BANK NJ 07701
1319-58-5.01	TOMMILLER LLC	48 MILLER ST	HIGHLANDS NJ 07732

200' UTILITIES TO NOTIFY LIST

JCP&L
300 Madison Avenue
PO Box 1911
Morristown, NJ 07960

NEW JERSEY AMERICAN WATER COMPANY
Attn: Construction Department
661 Shrewsbury Ave
Shrewsbury, NJ 07702

COMCAST COMMUNICATIONS OF MONMOUTH COUNTY
Ron Bertrand, Construction Foreman
403 South St
Eatontown, NJ 07724

VERIZON COMMUNICATIONS
One Verizon Way
Basking Ridge, NJ 07920

TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY
Raymond J. Nierstedt, P.E., Executive Director
PO Box 205, 100 Beverly Way
Belford, NJ 07718

NEW JERSEY NATURAL GAS COMPANY
Attn: Joan Purcuro
PO Box 1464
1415 Wyckoff Road
Wall, NJ 07719

MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY
Attn: Executive Director
200 Harbor Way
PO Box 184
Belford, NJ 07718

ZONE R-2.02 REQUIREMENTS			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	4,000 S.F.	4,920 S.F.	N.C.
MIN. LOT DEPTH	75 FT.	70.75 FT.	N.C.
MIN. LOT FRONTAGE/WIDTH	50 FT.	141.5 FT.	N.C.
MIN. FRONT SETBACK			
FOURTH STREET	20 FT.	0.9 FT.	N.C.**
MILLER STREET	20 FT.	3.6 FT.	N.C.**
MIN. SIDE SETBACK	68 FT.	7,329.8 FT.	N.C.
MIN. BUILDING COVERAGE	33%	41.3%	N.C.**
MAX. IMPERVIOUS COVERAGE	75%	55.1%	55.9%
MAX. BUILDING HEIGHT**	32.5 FT.	<32.5 FT.	N.C.

* - EXISTING NON-CONFORMING
** - VARIANCE REQUIRED
*** - PER § WHERE A DWELLING IS CONSTRUCTED OR RECONSTRUCTED TO PROVIDE THE REQUIRED PARKING UNDER THE STRUCTURE, THE MAXIMUM BUILDING HEIGHT SHALL BE INCREASED BY TWO AND ONE-HALF (2½) FEET.
N.C. - NO CHANGE

BUILDING COVERAGE		
DESCRIPTION	EXISTING	PROPOSED
DWELLING	2,032 S.F.	N.C.
BUILDING LOT COVERAGE	2,032 S.F.	N.C.
LOT AREA		4,920 S.F.
TOTAL BUILDING	41.3%	N.C.
LOT COVERAGE		

IMPERVIOUS COVERAGE		
DESCRIPTION	EXISTING	PROPOSED
BUILDING COVERAGE	2,032 S.F.	N.C.
CONCRETE	236 S.F.	N.C.
CURB	143 S.F.	37 S.F.
ELEV. CONC. DECK	443 S.F.	N.C.
IMPERVIOUS LOT COVERAGE	2,711 S.F.	2,748 S.F.
LOT AREA		4,920 S.F.
TOTAL IMPERVIOUS	55.1%	55.9%
LOT COVERAGE		

PARKING REQUIREMENT:

PER §21-65.14.C.1. - OFF-STREET PARKING:
A 4-BEDROOM TWO-FAMILY DWELLING SHALL PROVIDE A MINIMUM OF 2.5 SPACES PER UNIT.

PER NJAC 5:21-4.14. - PARKING: NUMBER OF SPACES:
ANY FRACTION OF ONE-HALF OR LESS MAY BE DISREGARDED.
PROPOSED # OF SPACES = 2 GARAGE PARKING SPACES PER UNIT

NOTES:

- THIS MAP IS NOT A SURVEY.
- THE PURPOSE OF THIS MAP IS FOR OBTAINING A USE VARIANCE FROM THE BOROUGH OF HIGHLANDS FOR THE CONSTRUCTION OF A TWO-FAMILY DWELLING WITH APPURTENANT SITE IMPROVEMENTS.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM A CERTAIN PLAN ENTITLED "TOPOGRAPHIC SURVEY, LOT NO. 7.01, BLOCK NO. 58, BOROUGH OF HIGHLANDS, COUNTY OF MONMOUTH, NEW JERSEY," PREPARED BY MORGAN ENGINEERING & SURVEYING, LLC, DATED 4/3/25.
- PER THE STATE OF NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF GIS/NGEOWEB INTERACTIVE MAPPING APPLICATION, WETLANDS DO NOT APPEAR TO EXIST ON THE SUBJECT PROPERTY.
- PROPERTY IS LOCATED IN FLOOD ZONE AE ELEV. 11 AS SHOWN ON CURRENT FIRM MAP #34025C0088H, DATED 6/15/2022.
- PROPERTY IS LOCATED IN FLOOD ZONE AE ELEV. 11 AS SHOWN ON PRELIMINARY FIRM MAP #34025C0088J, DATED 1/31/2014.
- EXISTING UTILITIES TO BE MARKED OUT PRIOR TO THE START OF CONSTRUCTION.
- ALL ELEVATIONS ARE IN NAVD 1988 DATUM THROUGH GPS OBSERVATIONS USING LEICA RTK GPS NETWORK.
- THIS PROPERTY IS LOCATED WITHIN THE R-2.02 (RESIDENTIAL) ZONE.
- MORGAN ENGINEERING HAS NOT EVALUATED THE SUBSURFACE SOIL CONDITIONS TO ASCERTAIN THE DEPTH TO GROUNDWATER OR THE SEASONAL HIGH WATER TABLE WITHIN THE FOOTPRINT OF THE DWELLING, THE HOMEOWNER, OR THEIR REPRESENTATIVE, SHALL COORDINATE WITH A QUALIFIED PROFESSIONAL TO ENSURE THE CONSTRUCTION COMPLIES WITH THE NEW JERSEY BUILDING CODE WITH RESPECT TO SEPARATION TO THE SEASONAL HIGH WATER TABLE. SHOULD THIS TESTING PRODUCE RESULTS IN CONFLICT WITH THE PROPOSED DESIGN, THE UNDERSIGNED PROFESSIONAL SHOULD BE NOTIFIED IMMEDIATELY.
- LIMIT OF DISTURBANCE = 1,500 S.F. / 0.034 AC.

VARIANCES REQUESTED:

- REQUIRED: FRONT YARD SETBACK (FOURTH STREET) = 20 FT.
EXISTING & PROPOSED: FRONT YARD SETBACK (FOURTH STREET) = 0.9 FT.
- REQUIRED: FRONT YARD SETBACK (MILLER STREET) = 20 FT.
EXISTING & PROPOSED: FRONT YARD SETBACK (MILLER STREET) = 3.6 FT.
- REQUIRED: MAXIMUM BUILDING COVERAGE IS 33%.
EXISTING & PROPOSED: BUILDING COVERAGE IS 41.3%.
- REQUIRED: TWO-FAMILY DWELLINGS ARE NOT PERMITTED IN THE R-2.02 ZONE.
EXISTING & PROPOSED: TWO-FAMILY DWELLING IN THE R-2.02 ZONE.

SUBMISSION WAIVERS REQUESTED:

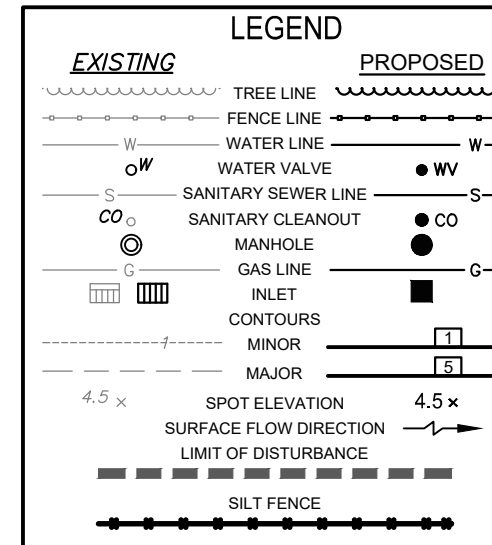
- THE LOCATION OF ALL EXISTING WATERCOURSES, WOODED AREAS, EASEMENTS, RIGHTS-OF-WAY, STREETS, ROADS, HIGHWAYS, RIVERS, BUILDINGS, STRUCTURES AND ANY OTHER FEATURE ON THE PROPERTY AND WITHIN SEVENTY-FIVE (75) FEET OF THE PROPERTY LINE. PROVIDED: LOCATION OF ALL RIGHTS-OF-WAY, STREETS, BUILDINGS AND OTHER FEATURES ON THE SUBJECT SITE AND IN THE RIGHT-OF-WAY ALONG THE FRONTAGE OF THE PROPERTY.
- LOCATION OF ALL STRUCTURES WITHIN SEVENTY-FIVE (75) FEET OF THE PROPERTY PROVIDED: LOCATION OF ALL STRUCTURES ON THE SUBJECT SITE AND THE LOCATION OF THE NORTHEASTERN WALL/BUILDING CORNERS OF THE DWELLING ON THE ADJACENT LOT (LOT 5.01).
- STORMWATER MANAGEMENT AND SANITARY SEWER REPORTS, INCLUDING PROPOSED STORM DRAINAGE AND SANITARY DISPOSAL FACILITIES. SPECIFICALLY: THE LOCATION, TYPE AND SIZE OF ALL EXISTING AND PROPOSED CATCH BASINS, STORM DRAINAGE FACILITIES, UTILITIES, PLUS ALL REQUIRED DESIGN DATA SUPPORTING THE ADEQUACY OF THE EXISTING OR PROPOSED FACILITIES TO HANDLE FUTURE STORM FLOWS PROVIDED: NONE.
- EXISTING AND PROPOSED CONTOURS OF THE PROPERTY AND FOR SEVENTY-FIVE (75) FEET OUTSIDE THE PROPERTY AT ONE (1) FOOT INTERVALS WHEN NEW BUILDINGS OR PARKING AREAS ARE PROPOSED. SPOT ELEVATIONS FOR ANY DEVELOPMENT IN A FLOOD HAZARD AREA. PROVIDED: EXISTING CONTOURS AND SPOT ELEVATIONS ON THE SUBJECT SITE.

APPLICATION NO. _____ APPROVED/DISAPPROVED BY THE HIGHLANDS BOROUGH PLANNING BOARD/BOARD OF ADJUSTMENT.

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

PREPARED FOR: SOLAR POWERED 44, LLC



ABBREVIATION
T.O. - TOP OF CURB
T.B. - TOP OF BOTTOM CURB GRADE
T.W. - TOP OF WALL
F.F.E. - FIRST FLOOR ELEVATION
B.F.E. - BASEMENT FLOOR ELEVATION
G.F.E. - GARAGE FLOOR ELEVATION
T.B.R. - TO BE REMOVED
N.T.S. - NOT TO SCALE

CERTIFICATE OF AUTHORIZATION: 24GA28229800

MORGAN
engineering & surveying

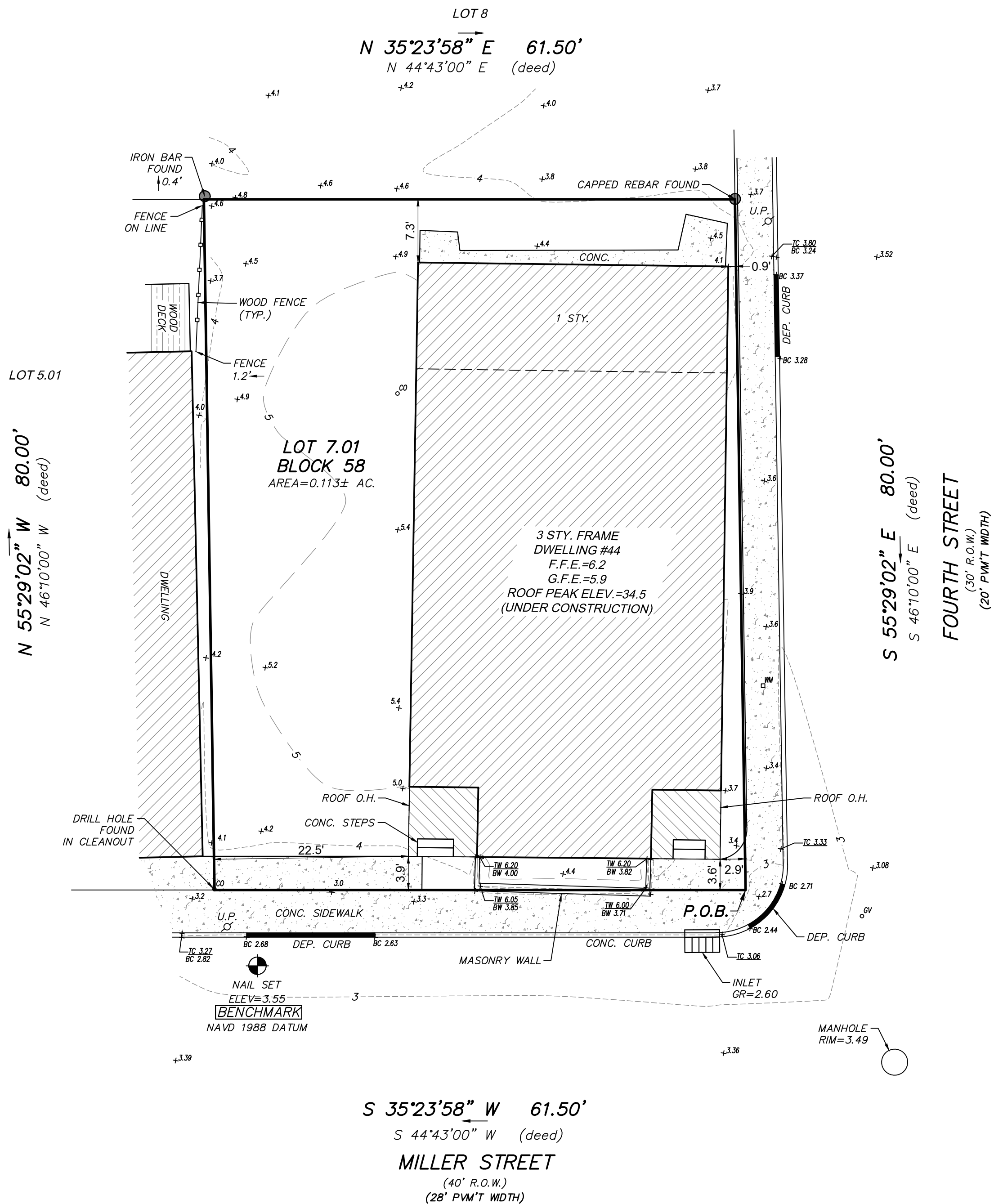
P.O. BOX 5232
TOMS RIVER, N.J. 08754
TEL: 732-270-9690
FAX: 732-270-9691
www.morganengineeringllc.com

Donna M. Bullock
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE No. 41931

VARIANCE PLAN

LOT 7.01 BLOCK 58
44 MILLER STREET
BOROUGH OF HIGHLANDS

COUNTY OF MONMOUTH NEW JERSEY
Scale: 1"=10' Drawn By: L.S. Date: 5/7/25 JOB #: E25-00271 CAD File #: VARIANCE PLAN Sheet #: 1 OF 1



PREPARED FOR: SOLAR POWERED 44 LLC

NOTES:

- PROPERTY IS LOCATED IN FLOOD ZONE AE ELEV. 11 AS SHOWN ON EFFECTIVE FIRM #34025C0088H, DATED 6/15/2022.
- PROPERTY IS LOCATED IN FLOOD ZONE AE ELEV. 11 AS SHOWN ON PRELIMINARY FIRM MAP #34025C0088J, DATED 1/31/14.
- ALL ELEVATIONS ARE IN NAVD88 DATUM THROUGH GPS OBSERVATIONS USING LEICA RTK GPS NETWORK.
- BOUNDARY AND PHYSICAL FEATURES TAKEN FROM A PLAN ENTITLED "SURVEY OF PROPERTY PREPARED FOR SOLAR POWERED LLC, 44 MILLER STREET, LOT 7.01 - BLOCK 58, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY CHARLES SURMONTE, P.E. & P.L.S., DATED 12/05/24.

IMPORTANT NOTES, PLEASE REVIEW:

- I DECLARE THAT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THIS MAP OR PLAN MADE ON 4/3/25 BY ME OR UNDER MY DIRECT SUPERVISION IS IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
- THIS SURVEY DOES NOT PURPORT TO IDENTIFY BELOW GROUND ENCROACHMENTS, UTILITIES, SERVICES LINES OR STRUCTURES, WETLANDS, OR RIPARIAN RIGHTS. NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THE PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS, ENVIRONMENTALLY SENSITIVE AREAS, IF ANY ARE NOT LOCATED BY THIS SURVEY.
- OFFSET DIMENSIONS FROM STRUCTURES TO PROPERTY LINES SHOWN HEREON ARE NOT TO BE USED TO REESTABLISH PROPERTY LINES.
- THIS SURVEY IS SUBJECT TO CONDITIONS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE, SUBJECT TO RESTRICTIONS AND EASEMENTS RECORDED AND/OR UNRECORDED.
- PROPERTY CORNERS HAVE NOT BEEN SET AS PER CONTRACTUAL AGREEMENT. (N.J.A.C. 13:40-5.1(D))

DB OR-9476 PG 1726

<p>CERTIFICATE OF AUTHORIZATION: 24GA28229800</p> <p>MORGAN engineering & surveying</p> <p>P.O. BOX 5232 TOMS RIVER, N.J. 08754 TEL: 732-270-9690 FAX: 732-270-9691 www.morganengineeringllc.com</p>		<p>TOPOGRAPHIC SURVEY</p> <p>LOT 7.01 BLOCK 58</p> <p>BOROUGH OF HIGHLANDS</p> <p>COUNTY OF MONMOUTH NEW JERSEY</p>													
<p><i>David J. Von Steenburg</i></p> <p>DAVID J. VON STEENBURG PROFESSIONAL LAND SURVEYOR N.J. LIC. No. 34500</p>		<table><tr><td>Scale:</td><td>Drawn By:</td><td>Date:</td><td>JOB #</td><td>CAD File #</td><td>Sheet #</td></tr><tr><td>1"=10'</td><td>DVP</td><td>4/3/25</td><td>E25-00271</td><td>TOPO</td><td>1 OF 1</td></tr></table>		Scale:	Drawn By:	Date:	JOB #	CAD File #	Sheet #	1"=10'	DVP	4/3/25	E25-00271	TOPO	1 OF 1
Scale:	Drawn By:	Date:	JOB #	CAD File #	Sheet #										
1"=10'	DVP	4/3/25	E25-00271	TOPO	1 OF 1										

PROJECT NOTES

GENERAL NOTES

CODES & STANDARDS: All work shall conform with the requirements of the N.J.U.C.C., IRC 2018 NJ Edition, National Electric Code, National Plumbing Code, N.F.P.A. recommendations, O.S.H.A., and all local codes and ordinances applicable to this project. Construction documents are in compliance with ASCE 24.

CLARIFICATIONS: Prior to submitting a bid, the contractor shall become familiar with the project by careful inspection of the site and construction documents. Should any error, omission, ambiguity or discrepancy exist on the drawings which the contractor might reasonably be expected to detect, the same shall be brought to the attention of the Architect for correction or clarification prior to proceeding with the work involved. Any work that proceeds otherwise shall, if incorrectly performed, be replaced or repaired at no additional cost.

DIMENSIONS: The Contractor shall not scale off the drawings; written dimensions shall govern. Dimensions given are nominal unless indicated otherwise. All dimensions and conditions shall be verified in the field by the Contractor and any discrepancy brought to the attention of the Architect. Where a door or a window is drawn near a corner and no dimension is given, offset, the opening enough to accommodate the full width of trim, minimum 4". Where elements are drawn centered in a space or opening, they shall be centered when installed. All corridors, stairs and clearance between counters and other built-ins shall be 36" minimum. All closets, unless noted otherwise, shall be 24" deep.

QUALITY: All work shall be performed in a workman-like manner. Match and align all surfaces where applicable to afford a finished, neat appearance. All existing surfaces and equipment shall be protected and any damage to such caused by the work shall be patched/repared such that they are left as they were before the commencement of the work. Contractor shall clean all dirt and refuse caused by the work.

INFERENCE: All work that is either implied or reasonably inferable from the contract documents shall be the responsibility of the contractor and a reference to any work by mention, note, detail or implication indicates the contractor shall perform a complete installation of such work. All equipment, fixtures and other devices shall be fully installed and shall be made fully operational and warranted when the job is complete.

SAFETY: Take full precaution to protect workers, passerby and adjacent property from any hazards caused by the work. Provide all fences, barricades and security as may be required to protect life and property. The Contractor shall protect all construction and materials from weather, vandalism, and theft. The Contractor shall be solely responsible for all property and personal damage or injury resulting from the conduct of the work and shall indemnify and save the Owner and the Architect harmless from all claims for loss of or damage to property or personal injury or death of any and all persons arising out of the work of this Contract.

COORDINATION: The Contractor shall be responsible for the coordination of the work of all subcontractors. The Contractor shall be responsible for the coordination of the work of this contract with the work of any other contractors hired separately by the Owner.

MATERIALS: products and equipment shall be new, standard, and of good quality, and all workmen and subcontractors shall be skilled in their trades. All products shall be installed in accordance with the manufacturers' written directions and/or recommendations.

PERMITS: The Contractor shall obtain and pay for all permits, fees, bonds and inspections. The Contractor shall make all arrangements for inspections. The Contractor shall file all required certificates of insurance.

CLEAN-UP: At the completion of the project the Contractors shall remove all rubbish from the site and leave the building broom clean.

DEMOLITION NOTES

STRUCTURAL INTEGRITY: The Contractor shall determine the direction of framing before removing any walls. If a wall is determined to be bearing and new structural support is not indicated on the drawings, notify Architect for additional design. Where structural support is to be removed, temporary shoring/bracing or new structural elements shall be added such that the structural stability and integrity of the building is maintained at all times.

ORDER: All demolition work shall be done carefully, neatly and in a systematic manner. Debris shall be removed regularly as the job proceeds such that it does not accumulate on the site.

UTILITIES: Remove or relocate all wiring, plumbing, ductwork and mechanical equipment affected by the demolition. Pipes to be removed shall be cut to a point of concealment behind or below finished surfaces and shall be properly capped or plugged.

WEATHER: The contractor shall provide adequate weather protection for the building and its contents during the course of the work. All openings in walls and roof shall be protected from all forms of water or weather penetration.

CONSTRUCTION NOTES

MATERIAL SELECTION: Unless noted otherwise, all new finishes, doors, hardware, trim, siding, roofing, coverplates, switches and all other exposed installations shall match existing. The Contractor shall verify all material selections with the Owner. In advance of material procurement and installation, provide samples for all exposed installations to the Owner for review, selection and approval of color, texture, shape, etc.

SYSTEMS: It shall be the responsibility of the contractor to hire qualified individuals to assess the existing building systems and to design and install all modifications/upgrades to the electrical, plumbing, mechanical and fire protection systems. The heating system shall be capable of maintaining inside temperature of 75 degrees F when the outdoor temperature is 0 degrees F and the wind velocity is 15 mph. The cooling system shall capable be of maintaining 78 degrees F when the outdoor temp. is 92 degrees F. All piping shall be protected from freezing. The Contractor shall coordinate with the Owner the quantity and location of all phone jacks, cable jacks, thermostats, and speakers. Relocate all existing meters, service connections, hose bibs, and other utility features to be affected by the work.

CENTERING: Unless noted otherwise, all beams/girders/headers shall be centered on the posts/columns which support them, and all posts/columns shall be centered on their footings.

VENTILATION: All attic spaces shall be ventilated by louvers and/or vents as required with a total clear opening of not less than one-third of one percent of the horizontally projected roof area. All crawl spaces shall be vented whereby the minimum net area of ventilation openings shall not be less than 1 square foot for each 150 s.f. of crawl space area. One vent shall be within 3 feet of each corner of the building.

ROOF DRAINAGE: Connect all leaders to existing underground storm water system. If no system exists, install new system to conduct storm water to a point 15' minimum from building.

ROOFING: All roofing materials shall be provided by a single roofing manufacturer. All penetrations through roof and interruptions of roof shall be flashed and counterflushed. Asphalt shingle roofing shall be min. 235 lb per square with a UL Class A fire rating and shall be self sealing. Provide 35 year manufacturer's warrantee on roofing and underlayment. Install Ice and Water Shield at all valleys, eaves & at all roof edges: 2' inward from face of wall below.

WALL OPENINGS: All windows, doors and other wall penetrations shall be flashed and sealed as recommended by manufacturer.

STEEL COLUMNS: All new steel columns and all existing steel columns in work area shall be painted with a zinc rich rust inhibitive paint.

GYPSUM BOARD: All exposed gypsum board surfaces shall be taped, spackled, sanded, primed and painted two coats minimum.

FLOORING: Contractor shall install new floor finish to all new floor areas. Where not indicated on drawings, verify type and quality level with Owner.

CLOSETS: All closets shall be provided with a wood rod and a wood shelf.

FOUNDATION NOTES

DEPTH: Bottom of all footings shall be minimum of 3'-0" below finished grade. If footings are stepped, the line of the footing shall be sloped not more then one foot vertical to two feet horizontal. Footings shall be formed to their full depth.

SOIL: All footing design is based on a presumptive soil bearing capacity of 2000 PSF, minimum. If conditions encountered under all or part of the footings do not allow such bearing capacity, notify Architect for redesign. Footing shall be on undisturbed virgin soil, free of frost. If required, provide stone or concrete fill under the supervision of a N.J. Registered Geotechnical Engineer.

BACKFILLING: Do all interior and exterior backfilling simultaneously. Backfilling against foundation walls shall not be performed until floors or roof they support have been completely installed.

FILL SOLID with concrete all block cells below grade. Also fill solid all cells where anchors occur, and entire top course.

HORIZONTAL JOINT REINFORCING ("dur-o-wall") shall be provided for full thickness of walls as follows: at 16" o/c vertical spacing, (every other block course); and provide at every course from top of footing to top of slab or grade level, whichever is higher, and provide at every course for two courses above and below all masonry wall openings, extending 3'-0" beyond opening in each direction; and provide at every course for 5'-0" in each direction at all corners.

CONCRETE NOTES

STRENGTH: All concrete shall be controlled stone type with a minimum ultimate compressive strength of 3000 PSI for footings and 4000 PSI for slabs. All concrete shall comply with current A.C.I. requirements.

REINFORCING shall be new, high grade billet steel deformed bars in accordance with ASTM-A-615 grade 60. Intermediate grade permissible for ties. Installation shall conform to A.C.I. Manual of Standard Practices. The length of reinforcing splices be 40 bar diameters minimum.

WOOD NOTES

GRADE: All lumber for framing shall be Douglas Fir Select Structural Grade or better clearly stamped and graded.

BLOCKING: Provide solid bearing under all joists, beams and posts. Provide solid blocking above sill plate below all posts.

DOUBLE FRAMING shall be provided around all openings through walls, floors and roofs and under all tubs and partitions parallel with the direction of framing.

HEADERS: provide (2)2x10 min. header for all wall openings 6'-0" wide or less, unless otherwise noted. All headers and beams spanning 6'-0" or more shall bear on a minimum of (2) 2x members.

TJI's (I-joists or engineered joists): Use web stiffeners, squash blocks, connectors and all other accessories as recommended by manufacturer. Use rim board manufactured by joist fabricator.

DETAILS: Set all beams and joists natural camber up. No structural valleys are to be formed unless noted otherwise. Members shall not be drilled or notched excessively (see code for limitations on notching lumber and manufacture's data for limitations on notching composite wood members). The minimum distance from grade to untreated lumber is 8". Provide metal joist and beam anchors, hangers, braces and connectors at all points of flush and suspended framing (products by Simpson, Teco or equal). Use hurricane anchors at all roof-to-wall connections, all wall-to-foundation connections, and all other connections as required by code. For composite wood girders, provide bearing as per manufacture's recommendations. Where girders are noted to be "flush", the bottom of girder is to align with the bottom of adjacent joists. Size, number and location for all nailing and other connectors shall be as per building code.

SITE PLAN

Two Family Residence
for
Landgrebe
44 Miller Street
Highlands, NJ
Lot# 7.01 Block# 58

DRAWING LIST: A-1 TITLE / NOTES A-2 BASEMENT & FIRST FL. PLANS A-3 SECOND & THIRD FL. PLANS A-4 ELEVATIONS A-5 ELEVATIONS	BUILDING/SITE CHARACTERISTICS <div>1. NUMBER OF STORIES 3</div> <div>2. HEIGHT OF STRUCTURE FT.</div> <div>3. AREA - LARGEST FLOOR 1,948 SQ. FT.</div> <div>4. NEW BUILDING AREA 2,686 SQ. FT.</div> <div>5. VOLUME OF NEW STRUCTURE 24,243 CU. FT.</div> <div>6. CONSTRUCTION CLASSIFICATION VB</div> <div>7. TOTAL LAND AREA DISTURBED SQ. FT. AE-11</div> <div>8. FLOOD HAZARD ZONE</div> <div>9. BASE FLOOD ELEVATION 11.0+1.0=12.0'</div> <div>10. WETLANDS YES NO X</div> <div>11. MAX. LIVE LOAD 55 PSF.</div> <div>12. MAX. OCCUPANCY LOAD 49 PERSONS</div> <div>13. USE GROUP: RESIDENTIAL</div> <div>14. WIND SPEED (PER ICC MAPS & ASCE 7): 120 MPH UP-LIFT RATING</div> <div>15. EXPOSURE CATEGORY: 'B' IN COMPLIANCE WITH ASCE 7</div> <div>16. SNOW LOAD (PER IBC&ASCE 7025): 30 PSF.</div>	AREA CALCULATIONS <table><tr><th></th><th>EXISTING</th><th>PROPOSED</th><th>TOTAL</th></tr><tr><td>BASEMENT FLOOR</td><td></td><td></td><td></td></tr><tr><td>FIRST FLOOR</td><td>SQ.FT.</td><td>SQ.FT.</td><td>SQ.FT.</td></tr><tr><td>SECOND FLOOR</td><td></td><td></td><td></td></tr><tr><td>ATTIC FLOOR</td><td></td><td></td><td></td></tr><tr><td>C.F. 1st</td><td></td><td></td><td></td></tr><tr><td>C.F. 2nd</td><td></td><td></td><td></td></tr></table>		EXISTING	PROPOSED	TOTAL	BASEMENT FLOOR				FIRST FLOOR	SQ.FT.	SQ.FT.	SQ.FT.	SECOND FLOOR				ATTIC FLOOR				C.F. 1st				C.F. 2nd				ZONING ZONE: R-2.02 LOT: 7.01 BLOCK: 58	ISSUE DATE FEBRUARY 23, 2021 JANUARY 23, 2025	COMMENTS PRELIMINARY - FOR REVIEW ONLY PRELIMINARY/REVISED - REVIEW ONLY	SEAL NJ LIC #11519
				EXISTING	PROPOSED	TOTAL																												
			BASEMENT FLOOR																															
			FIRST FLOOR	SQ.FT.	SQ.FT.	SQ.FT.																												
			SECOND FLOOR																															
			ATTIC FLOOR																															
			C.F. 1st																															
			C.F. 2nd																															
			LOT AREA 4,000 SF	4,919 SF	4,919 SF																													
			PRIMARY LOT FRONTAGE/WIDTH 50 FT	61.5 FT	61.5 FT	MILLER STREET																												
SECONDARY LOT FRONTAGE/WIDTH 50 FT	80 FT	80 FT	FOURTH STREET																															
PRIMARY LOT DEPTH 75 FT	80 FT	80 FT	MILLER STREET																															
SECONDARY LOT DEPTH 75 FT	61.5 FT	61.5 FT	FOURTH STREET																															
PRIMARY FRONT YARD SETBACK 20 FT	3.6 FT	3.6 FT	MILLER STREET																															
SECONDARY FRONT YARD SETBACK 20 FT	2.5 FT	2.5 FT	FOURTH STREET																															
PRIMARY SIDE YARD SETBACK 6/8 FT	24.0/2.5 FT	24.0/2.5 FT	MILLER STREET																															
SECONDARY SIDE YARD SETBACK 6/8 FT	3.3/20.0 FT	3.3/20.0 FT	FOURTH STREET																															
BOTH SIDE YARD TOTAL-MIN. -	-	-																																
BUILDING COVERAGE-MAX. 33%		40.3%																																
LOT COVERAGE (IMP)-MAX. 75%		76%																																
BUILDING HT./STORIES 30'**	24.5'	32.5'	MEASURED OFF 12.0' ABFE + 2.5' GARAGE BONUS																															
STAIR SETBACK (FT) 3'																																		
ACCESSORY BUILDING: REAR YARD SETBACK -	-	-																																
ONE SIDE YARD SETBACK-MIN. -	-	-																																
BUILDING HT / STORIES-MAX. -	-	-																																

PLAN SYMBOLS LEGEND

EXISTING WALL CONSTRUCTION - TO BE REMOVED.

NEW WALL CONSTRUCTION - FOR INT. WALLS: 1/2" GYP. BD. EACH SIDE OF 2x4 STUDS @ 16" O.C. (EXCEPT AS NOTED) -

NEW FOUNDATION CONSTRUCTION - REFER TO PLANS.

EXISTING DOOR TO REMAIN

NEW DOOR - NUMBER REFERS TO DOOR SIZE

BATH

SPACE NAME.

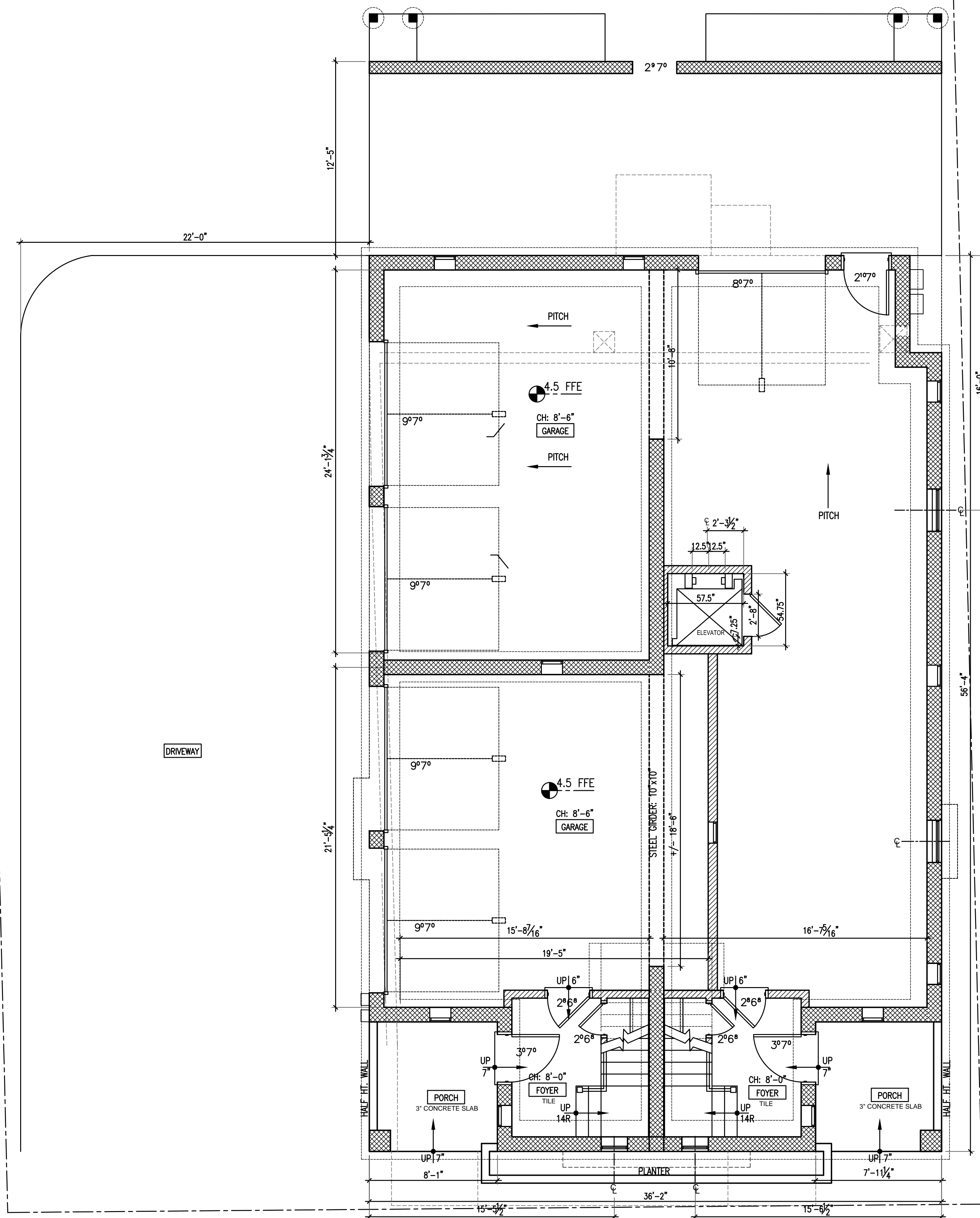
ALIGN SYMBOL.

Landgrebe- Highlands, NJ

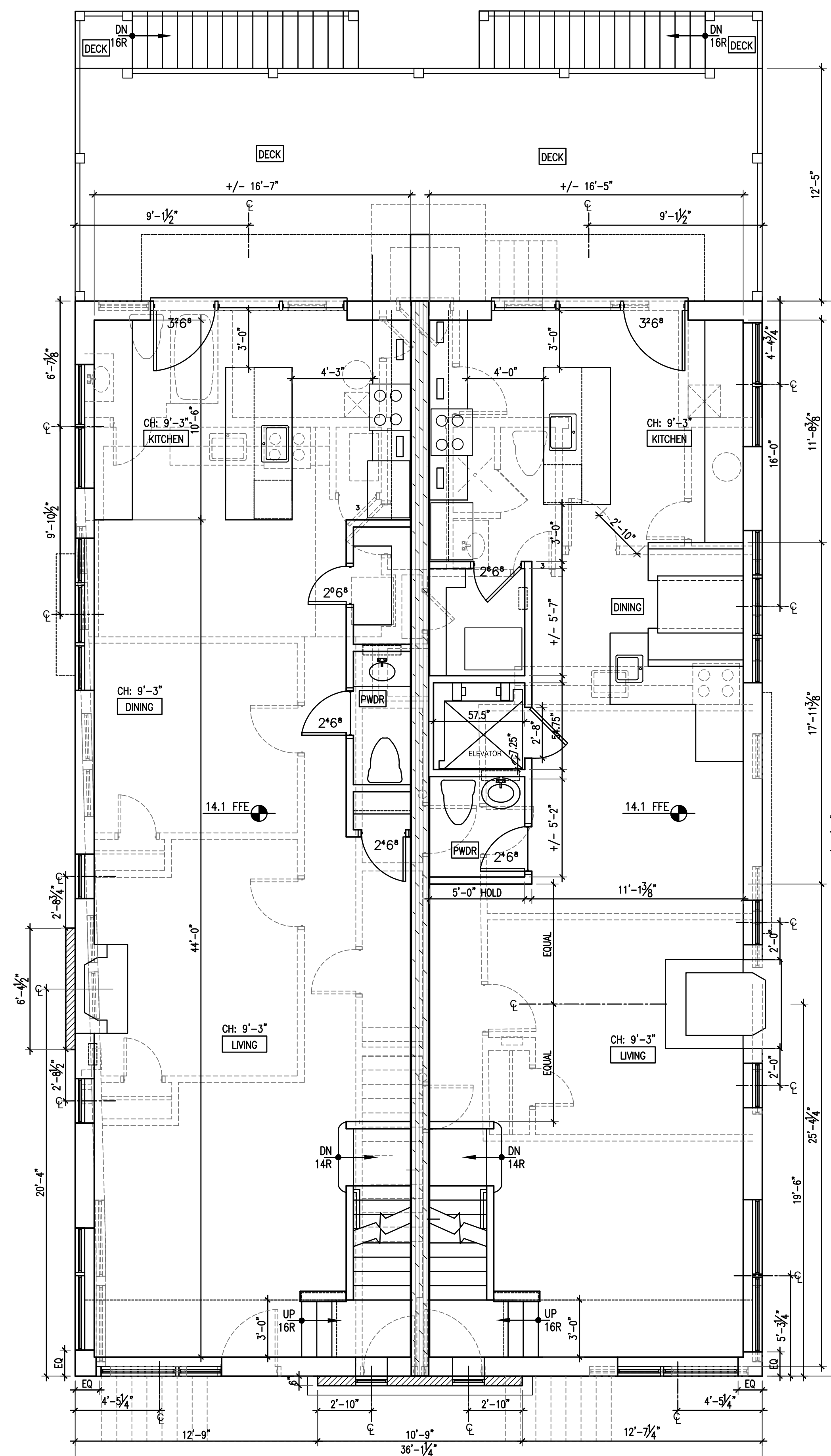
JAMES T. DALEY
ARCHITECT
+ ASSOCIATES
273 FIRST STREET, KEYPORT, NJ 07735
phone: 732-739-2684 fax: 732-739-0837

NJ LIC-
#11519
DRAWN: JP
A-1

31



FOUNDATION PLAN
Scale: 1/4"=1'-0"



FIRST FLOOR PLAN
Scale: 1/4"=1'-0"

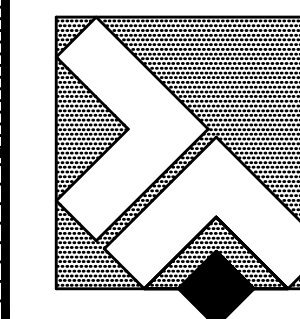
Landgrebe- Highlands, NJ

JAMES T. DALEY
A R C H I T E C T
+ A S S O C I A T E S
273 FIRST STREET, KEYPORT, NJ 07735
phone: 732-739-2684 fax: 732-739-0837

NJ LIC:
#11519

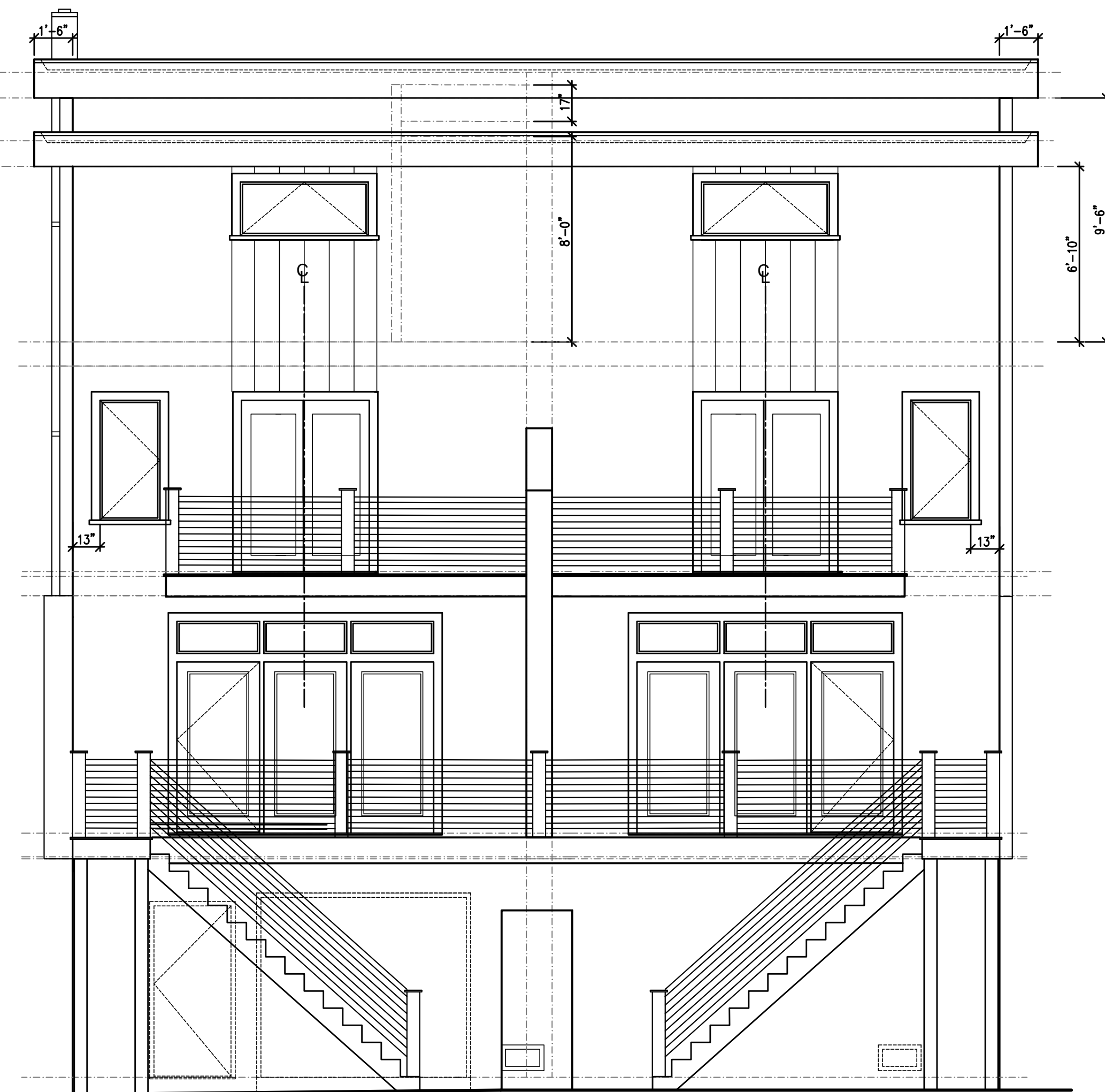
DRAWN: JP

A-2









REAR ELEVATION

Scale: 1/4"=1'-0"



SIDE ELEVATION

Scale: 1/4"=1'-0"

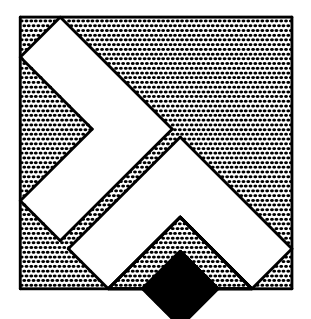
Landgrebe- Highlands, NJ

JAMES T. DALEY
ARCHITECT
+ ASSOCIATES
 273 FIRST STREET, KEYPORT, NJ 07735
 phone: 732-739-2684 fax: 732-739-0837

NJ LIC:
#11519

DRAWN: JP

A-5





Borough of Highlands

151 Navesink Ave

Highlands, NJ 07732

Phone: (732) 872-1224

Control #: Z-0099

Item 6.

Date Issued: 8/20/2024

DENIAL OF ZONING PERMIT

IDENTIFICATION

Work Site Location:	44 MILLER STREET	Block:	58	Lot:	7.01	Zone:	R202
Owner in Fee:	SOLAR POWERED 44, LLC	Contractor/Agent:					
Address:	27 MILLER STREET	Address:					
	HIGHLANDS NJ 07732						
Telephone:	973-572-5007	Telephone:					
		Contractor License No:					

For the project/work located at the above address, your application for a permit to:

CONSTRUCT NEW TWO-FAMILY DUPLEX.

has been denied for noncompliance with provisions of Sections: 21-98.A, 21-98.C of the Municipal Zoning Ordinance for the following reasons:

D(1) use variance approval is required to construct a new two-family duplex in the R-2.02 single family zone.

Information on procedures for an appeal of this decision to the Land Use Board can be obtained from the Secretary of the Land Use Board. It should be noted that under State Statute, notice of appeal of this decision must be filed with this office not later than (20) days from the date of this notice. You can also file for a variance to the Land Use Board and can obtain from the Secretary of the Land Use Board the required forms.

The permit which you submitted has been placed in the inactive files in the Zoning Department. Please contact this office to reactivate the permit.

Denied by:

Zoning

July 7, 2025

Hand-Delivery

Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, NJ 07732

**RE: Use & Bulk Variance Application –
44 Miller St, Borough of Highlands
Lot 7.01, Block 58
Applicant: Solar Powered 44 LLC**

To Whom it May Concern:

Enclosed please find the following documents in support of the above-referenced application:

- Two (2) copies of the Borough of Highlands- Denial of Zoning Permit dated August 20, 2024
- One (1) original (signed & notarized) Borough of Highlands Land Use Board Application;
- Two (2) copies of the plan entitled *Variance Plan: #44 Miller St. Borough of Highlands* prepared by Donna M. Bullock, PE, of Morgan Engineering & Surveying dated May 7, 2025;
- Two (2) copies of the survey entitled *Topographic Survey* prepared by Morgan Engineering & Surveying LLC dated April 3, 2025
- Two (2) copies of the architectural plans entitled *Addition & Renovations to the Landgebe Residence: 44 Miller Street* prepared by James T. Daley Architect & Associates dated January 23, 2025
- Current Tax and Sewer payment records for the property
- One (1) flash drive containing digital copies of the enclosed documents

The following application and escrow fees are included in this submission:

- ☐ One (1) postal money order in the amount of \$275 for the required application fee
- ☐ One (1) postal money order in the amount of \$750 for the initial escrow deposit

If you have any questions or require any additional materials, please do not hesitate to contact this office.

Respectfully submitted,



Donna M. Bullock, PE
Morgan Engineering, LLC
P.O. Box 5232
Toms River, NJ 08754
732.270.9690 office
donnab@MorganEngineeringLLC.com



Roberts
ENGINEERING GROUP LLC
Women Business Enterprise Certified

1670 Whitehorse-Hamilton Square Rd.
Hamilton, New Jersey 08690
609-586-1141 fax 609-586-1143
www.RobertsEngineeringGroup.com

August 12, 2025

Nancy Tran
Land Use Board Secretary
Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, New Jersey 07732

Re: Completeness Review No. 1
Applicant: Mark Landgrebe
Use Variance
Block 58, Lot 7.01
44 Miller Street
Borough of Highlands, Monmouth County, New Jersey
Our File No.: HLPB25-10

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The Applicant is currently submitting a new application (#25-10) for a use variance which supersedes the former application (24-07, September 27, 2024) which was not presented to the Board. The Applicant seeks to complete the construction of a three-story, two (2) unit duplex with parking on the existing lot. The partially constructed duplex is situated on a 4,920 sf (0.113 Ac) lot and is located in the R-2.02 Single-Family Residential District and in the AE Flood Hazard area.

The former duplex on the lot collapsed and was subsequently demolished. A new duplex is partially constructed on the former foundation as per the Applicant. A Stop Work Order was issued on March 4, 2024, and the following is a property history leading to the current application.

The Applicant purchased the property in 2021 with an existing attached duplex. An approved zoning permit was issued on March 31, 2021, by Middletown Township/Borough of Highlands to lift the existing duplex to meet the required BFE, over existing footprint and having no bedroom increase. The vacant dwelling collapsed and was demolished on August 10, 2021. The Applicant then began new construction (date unknown and approvals unknown).

Ms. Courtney Lopez, Zoning Officer, found a partially constructed two-family structure to be non-conforming within the R-2.02 Single-Family Residential District and issued a Notice of Zoning Violations stating a Stop Work Order on March 4, 2024 under Section 21-98.A of the Municipal Zoning Ordinance (shown at end of the section). The notice stated, "Infraction: The existing nonconforming two-family dwelling has been removed (2021) and a new two-family structure has been constructed without proper zoning. We are issuing you a Stop Work Order for any future property improvements until an application is submitted to the Land Use Board for d(1) use variance approval and all proper permits are issued from any and all required departments prior to any further work being conducted at this site.". To comply by April 3, 2024.

August 20, 2024, the applicant received a Denial of Zoning Permit and construction to halt. The denial referenced Sections 21-98.A and C of the Municipal Zoning Ordinance (shown at end of the section). The Denial of Zoning Permit stated, "Construction of New Two-Family Duplex has been denied for noncompliance with provisions of Sections 21-98.A and C of the Municipal Zoning Ordinance for the following reasons: D(1) use variance approval is required to construct a new two-family duplex in the R2.02 single family zone."

The Applicant received a Notice of Unsafe Structure on September 13, 2024, and was ordered to demolish the new two-family structure by October 4, 2024.

The Applicant received a follow up to the Notice of Unsafe Structure status on December 17, 2024, and was fined on January 12, 2025.

To summarize, the original duplex was an existing non-conforming use in the R-2.02 Single-Family Residential District. In 2021, the original duplex was approved to be raised, however the structure was vacant, collapsed and was demolished. Once the structure was demolished and removed, the former non-conforming use became invalid for the property according to Sections 21-98.A and C. The Applicant was instructed by the March 4, 2024, and August 20, 2024, denials that a use variance was required and could be submitted for approval by the Land Use Board. However, the Applicant received a Notice of Unsafe Structure on September 13, 2024, and was ordered to demolish the new two-family structure by October 4, 2024.

On September 27, 2024, an application for a Variance and an appeal for the zoning denial was submitted with Surveys and Architectural Plans. Subsequently, on February 10, 2025, sketches and architectural plans were submitted for review.

The Completeness Review letters dated October 21, 2024, and February 19, 2025, corresponding to the September and February submissions, noted Sections 21-98.A and C with the full descriptions. Both reviews noted the application as incomplete and that a D (1) Use Variance, Site Plan and checklist were required for the Board to make an informed review and decision regarding the application.

The new application (#25-10) has been submitted as a "Variance Plan" consisting of zoning information, proposed dwelling, deck, covered porch, driveway, utilities, grading and other site improvements. There are several bulk variances, and there are a number of site improvements that are required to be addressed under a Minor Site Plan as was noted in the October and February review letters. A Minor Site Plan is required for this property.

Section 21-98.A.

Continuance. Except as otherwise provided herein, nonconforming uses or structures which lawfully existed at the time of passage of this chapter may be continued even though such uses or structures do not comply with the regulations of this chapter; provided, however, that:

1. A nonconforming use shall not be expanded or changed to another nonconforming use.
2. Any addition to an existing nonconforming building may be constructed to continue the existing building setback but shall not be permitted to encroach further into the required setback than the existing structure.
3. Abandonment. A nonconforming use that has been abandoned shall not thereafter be reinstated. A nonconforming use shall be judged to have been abandoned:
 - a. When it is changed to a conforming use.
 - b. In cases where such nonconforming use is a building or structure designed for such use, when it has been voluntarily discontinued for a period of twenty-four (24) consecutive months.
 - c. In cases where such nonconforming use is of a building or structure not designed for such use or is of a lot or land whereon there is no consequential building or structure devoted to such use, when it has been voluntarily discontinued for a period of twelve (12) consecutive months.

Section 21-98.C.

*Restoration. If a nonconforming use or structure is deemed to be one hundred percent (100%) destroyed (damages equal to or greater than the full equalized value of the structure) **by any cause whatsoever**, it shall only be reestablished so as to conform to all zoning standards in the zone in which it is located.*

I. COMPLETENESS

We recommend this application be deemed COMPLETE subject to the submission of a Minor Site Plan application along with the Minor Site plan checklist. However, we have reviewed the application against the Minor Site Checklist so that the applicant knows the comments we would anticipate having for an application.

We have reviewed the following documents submitted in support of the above referenced application for completeness purposes:

1. Copy of submission letter addressed to Borough of Highlands Land Board from Donna M. Bullock, PE, Morgan Engineering, LLC. dated July 7, 2025;
2. Copy of the Land Use Board Application for Use Variance, received is undated and signed June 26, 2025;

3. Copy of the Notice of Zoning Violations issued on March 4, 2024, by Courney Lopez, Zoning Officer for the Borough of Highlands;
4. Copy of the Denial of Zoning Permit issued on August 20, 2024, by Courney Lopez, Zoning Officer for the Borough of Highlands;
5. Copy of a plan entitled, "Variance Plan, 44 Miller Street, Lot 7.01, Block 58, Borough of Highlands, Monmouth County, New Jersey", prepared by Morgan Engineering, signed and dated May 7, 2025;
6. Copy of a set of architectural plans entitled, "Two Family Residence for Landgrebe, 44 Miller Street, Highlands, NJ, Lot# 7.01, Block# 58", prepared by James T. Daley Architect + Associates, dated February 23, 2021, and last issued date January 23, 2025. 5 sheets;
7. Copy of a plan entitled, "Topographic Survey, Lot 7.01, Block 58, Borough of Highlands, Monmouth County, New Jersey", prepared by Morgan Engineering, signed and dated April 3, 2025;
8. Copy of a plan entitled "Survey of Property, 44 Miller Street, Lot 7.01, Block 58, Borough of Highlands, Monmouth County, New Jersey", prepared and signed by Charles Surmonte, PE, PLS, dated November 11, 2020. Survey provided with first and second submission;
9. Copy of Application Zoning Permit Z-2.02, 2021-21 dated March 31, 2021;
10. Copy of Notice of Unsafe Structure, No. 2024-00033, dated September 13, 2024;
11. Copy of email Unsafe Structures from Construction Official to Applicant, dated December 17, 2025;
12. Copy of Fine invoice, Ref No. 2024-00033, dated January 12, 2025;
13. Site photos from inspector on August 9 & 10, 2021.

We offer the following comments and recommendations for the Land Use Board's consideration:

II. ZONING

1. This property is a corner lot located in the R-2.02 Single-Family Residential District at the northwest corner of Miller Street and Fourth Street.
2. The Lot requires a D(1) Use Variance Use. A two-family dwelling is not permitted in the R-2.02 Single-Family Residential District.

To be entitled to use variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-70d.

The Applicant will be required to provide proof during testimony.

3. The Applicant requires five (5) bulk variances based on the current information. To be entitled to bulk "c" variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-70c for bulk variances.

The Applicant will be required to provide proof during testimony.

4. The following bulk requirement summary is provided for the Board's reference.

Schedule I – Bulk and Area Requirements				
R-2.02 Single Family Residential District				
	Required	Existing	Proposed	Variance
Min. Lot Area (sf)	4,000	4,920	4,920	No
Lot Frontage/Width (ft)	50			
Miller Street		61.50	61.50	No
Fourth Street		80.00	80.00	No
Lot Depth (ft)	75	70.75	70.75	Yes
Min. Front Yard Setback (ft)	20 ⁽²⁾			
Miller Street		3.3 ⁽⁴⁾ F	3.6	Yes
Fourth Street		1.1 ⁽⁴⁾ F	±1.1	Yes
Min. Side Yard Setback (ft)	6/8			
Miller Street		24.0 F	22.5	No
Fourth Street		20.0 F	29.8	No
Max. Building Height (ft) ⁽³⁾	30	24.5	32.0	No
Max. Lot Coverage (%)	75	Unknown	55.9%	No
Max. Building Coverage (%)	33	Unknown	41.3%	Yes
Min. Deck/Stairs Setback (ft)	3	-	0.9	Yes
On-Site Parking (spaces) ⁽⁴⁾	3	2	4	No

F = Foundation of Former Dwelling per Survey dated 11/11/20

(1) Existing non-conformity

(2) Or the average of the existing front yard setback within two hundred (200) feet in the same block and zone, per § 21-79.B

(3) Where a dwelling is constructed or reconstructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half feet

(4) 1.5 spaces per unit with 2 bedrooms x 2 units

III. CHECKLIST ITEMS

- Date, name, location of site, name of owner, scale, and reference meridian. **Provided.**
- Area of the lot and all lot line dimensions and bearings. **Provided.**
- The location of all existing watercourses, wooded areas, easements, rights-of-way, streets, roads, highways, rivers, buildings, structures, and any other feature on the property and within seventy-five (75) feet of the property line. **Applicant seeks waiver. Acceptable. However, the dwelling and driveway on adjoining Lot 8 need to be shown on the plans.**
- Location, use and ground floor area of all existing and proposed buildings, with the building setback, sideline, and rear yard distance. **Partially provided.**
- Elevations at the corners of all proposed buildings and paved areas and at property corners if new buildings or paved areas are proposed. **Provided.**
- The location and widths of existing and proposed streets servicing the site plan. **Provided.**
- Specifications for and location of proposed surface paving and curbing. **Not applicable.**
- Location of all structures within seventy-five (75) feet of the property. **Partially provided.**

Applicant seeks waiver. Need dwelling on adjoining Lot 8.
- Location of off-street parking areas, with dimensions, showing proposed parking and loading spaces, with dimensions, width of proposed access drives and aisles and traffic circulation. **Not applicable.**

10. Stormwater management and sanitary sewer reports, including proposed storm drainage and sanitary disposal facilities; specifically, the location, type and size of all existing and proposed catch basins, storm drainage facilities, utilities, plus all required design data supporting the adequacy of the existing or proposed facilities to handle future storm flows.

Applicant seeks waiver. Acceptable. Please see the General Comments below regarding existing and proposed utilities.

11. Existing and proposed contours of the property and for seventy-five (75) feet outside the property at one (1) foot intervals when new buildings or parking areas are proposed. Spot elevations for any development in a flood hazard area.

Applicant seeks waiver. The Applicant has provided sufficient information.

12. The location and treatment of proposed entrances and exits to public rights-of-way, including the possible utilization of traffic signals, channelization, acceleration and deceleration lanes, additional widths, and any other devices necessary to traffic safety and/or convenience. **Provided.**

13. The location and identification of proposed open space, parks, or other recreation areas. **Not applicable.**

14. The location and design of landscaping, buffer areas and screening areas showing size, species and spacing of trees and plants and treatment of unpaved areas. **Not applicable**

15. The location of sidewalks, walkways, traffic islands and all other areas proposed to be devoted to pedestrian use. **Provided.**

16. The nature and location of public and private utilities, including maintenance and solid waste disposal, recycling and/or storage facilities. **The Applicant has provided sufficient information.**

17. Specific location and design of traffic control devices, signs, and lighting fixtures. The Board may require of the applicant expert testimony concerning the adequacy of proposed traffic control devices, signs, and lighting fixtures. **Not applicable.**

18. Preliminary architectural plans for the proposed buildings or structures, indicating typical floor plans, elevations, heights and general design or architectural styling. **Provided.**

19. The present and past status use and contemplated use of the property and all existing buildings on the property. A cleanup plan where such is necessary because of the past or present use of the site. **Not applicable.**

20. A soil erosion and sediment control plan are required. Said plan shall be submitted to the Soil Conservation District and approval of the application shall be conditioned upon certification of the soil erosion and sediment control plan by the District. **Exempted by Freehold Soil Conservation District. To provide an exemption letter.**

21. Soil borings, when required by the Board Engineer. **Not provided and not applicable. Existing foundation in place.**

22. Certification statement for the required municipal signatures, stating:

Application No. _____ approved/disapproved by the Borough of Highlands Land Use Board as a Minor Site Plan on (date). **Provided.**

Chairman

Secretary

23. Certification statement for the County Planning Board approval/disapproval, if required. **Not provided.**
24. The Board may require any additional information which is reasonably necessary to ascertain compliance with the provisions of this chapter. **Open.**

IV. GENERAL COMMENTS

1. Please rename the plan to Minor Site Plan.
2. Please provide a complete Minor Site Plan checklist. Note and explain any waivers.
3. Please update the Certification statement on the engineering plan. Refer to Checklist Item #22.
4. The existing information shown in the zoning requirements table represents the current partially built duplex. The former 2-family dwelling was demolished with the foundation remaining on the lot. The existing information should represent the former dwelling. The former dwelling is shown on the "Survey of Property" dated November 11, 2020. The current dwelling is shown on the "Topographic Survey" dated April 3, 2025, which represents the proposed conditions.

Please update the existing front and side setbacks according to the November 11, 2020 survey prior to demolition.

Please provide a deck setback category on the zoning table.

Provide the 3 ft deck setback line along the front and side property line.

Provide the proposed front and side yard setbacks (building) for Fourth Street on the plan. The deck setbacks are shown.

Update the frontage/width.

Provide building dimensions on the proposed dwelling.

5. Please provide signed and sealed Architectural plans.
6. Please update the zoning information on the Architectural plans to be consistent with the Site Plan.
7. Please update the building height as 32'-0" and add elevations to a side section on the Architectural plans.
8. Please update the parking requirement table according to §21-65.14.C.1 Off-street parking.

One-family and two-family units with 2-bedrooms require 1.5 spaces for each unit.

According to the N.J.A.C. 5:21 Residential Site Improvement Standards Section 4.14. a Two Family (Duplex) stipulates that "Single-Family Detached" values shall apply to each unit. A 2-bedroom single-family requires 1.5 spaces. Each proposed unit has a 2-car garage.

Please remove the reference N.J.A.C. 5:21-4.14 regarding the removal of half-spaces. This pertains to developments having many spaces and not single lots.

9. Please provide the dwelling and driveway on Lot 8.
10. Please provide the front and side overhangs with offsets to Miller Street and Fourth Street rights-of-ways on the Site Plan.

Please include the first and second floor projections along Miller Street and Fourth Street.

11. Dimension the encroachments of the masonry planter to the Miller Street rights-of-way line and note any encroachments.
12. Please provide elevations for the front and rear corners of the proposed building.
13. Please indicate the BFE and FF. The roof peak elevation shown on the site plan is not consistent with the architectural plans.
14. Please clarify if the boundary of the gravel driveway is a curb or a wall. TW and BW elevations are shown, and the boundary is noted as proposed curb.

Some existing elevations are overlain by the proposed gravel hatching. Please indicate.

Please confirm that runoff is not directed from the bottom grade of the curb/wall of the gravel driveway towards the dwelling on adjoining Lot 5.01.

15. The 1-story rear and side yard concrete deck appears to be open below. Please indicate the material under the deck.
16. Please indicate the roof leaders and confirm discharge is the street and not adjoining properties.
17. Please indicate the purpose of the irregular shaped concrete area in the rear of the proposed dwelling.
18. Indicate the stairways and landings for the elevated deck.
19. Provide a concrete pad for the landing of both stairways to the elevated deck. Provide grades.
20. This application proposes a gravel driveway.
21. Indicate the grass and any landscaped areas on the plan.
22. Provide a note on the plans that the Applicant is responsible for any damage to any/all existing curb, sidewalk, roadway, and other off-site objects made during construction and must be repaired and/or replaced to the satisfaction of the Borough Engineer and costs paid by the Applicant.
23. Provide the location of existing water, sewer and gas service lines. Indicate if any changes are proposed. Will any service lines be replaced or relocated?
24. Confirm if the cleanout which is located at the common corner of Lot 7.01 and Lot 5.01 serves Lot 7.01 and indicate on the plan. Indicate if it is to remain in service or be abandoned.
25. Any water, sewer and gas utilities that are proposed to connect to existing valves and cleanout in the existing sidewalk along Miller Street and Fourth Street will require replacement of the concrete sidewalk.

The sidewalk along Fourth Street is in poor condition and we recommend full replacement.
26. According to §21-123.2 mechanical, plumbing and electrical systems should be above Local Design Flood Elevation (LDLE). Please provide a note.

27. Please provide construction details:

- a. Sidewalk according to § 21-65.17.
- b. Gravel driveway
- c. Wall
- d. Curb

e. Pavement repair according to § 21-65.15, if needed.

28. The Applicant has indicated that the proposed dwelling will be FEMA elevation compliant and within municipal flood regulations. A grading plan will be required and deferred as a condition of approval.

V. APPROVALS

Approval of this application will be conditioned upon the Applicant obtaining or providing approved documents for the following:

1. Freehold Soil Conservation Permit (exemption letter)
2. NJDEP FHA
3. Coastal Area Facilities Review Act (CAFRA) Zone, if required per NJDEP
4. Monmouth County (Bay Avenue is within 200 ft. of the site)

Should you have any questions, please do not hesitate to contact me.

Very truly yours,



Carmela Roberts, PE, CME, CPWM
Land Use Board Engineer

cc: Michael Muscillo, Borough Administrator, (mmuscillo@highlandsborough.org)
Dustin F. Glass, Esq., Land Use Board Attorney (dglass@semerarolaw.com)
Steve Winters, Construction Official, Floodplain Administrator (swinters@highlandsborough.org)
Courtney Lopez, Zoning Officer (clopez@highlandsborough.org)
Kathy Shaw, CRS Coordinator (kshaw@highlandsnj.gov)
Donna M. Bullock, PE, Applicant's Engineer (donnab@MorganEngineeringLLC.com)
James Daley, AIA, Applicant's Architect (gymteedaily@aol.com)
Cameron Corini, PE, CME, CPWM, Roberts Engineering Group, LLC
GS Bachman, EIT, Roberts Engineering Group, LLC

September 24, 2025

Hand-Delivery

Nancy Tran, Land Use Board Secretary
Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, New Jersey 07732

**Re: Completeness Review No. 1
Minor Site Plan w/ Use Variance
Applicant: Mark Landgrebe
Block 58, Lot 7.01
44 Miller Street
Borough of Highlands, Monmouth County, New Jersey
REG File No.: HLPB25-10**

To whom it may concern:

Enclosed please find the following documents in support of the above-referenced application:

- Sixteen (16) copies of the plan entitled *Variance Plan: #44 Miller St. Borough of Highlands* prepared by Donna M. Bullock, PE, of Morgan Engineering & Surveying dated May 7, 2025, September 19, 2025;
- One (1) flash drive containing digital copies of the enclosed documents

The enclosed plans and documents have been revised as necessary in accordance with Roberts Engineering Group LLC Completeness Review No. 1 dated August 12, 2025.

Roberts Engineering Group Completeness Review No. 1 dated August 12, 2025

Checklist Items

3. The location of all existing watercourses, wooded areas, easements, rights-of-way, streets, roads, highways, rivers, buildings, structures, and any other feature on the property and within seventy-five (75) feet of the property line. *Applicant seeks waiver. Acceptable. However, the dwelling and driveway on adjoining Lot 8 need to be shown on the plans.*
Response: The existing driveway and dwelling for adjacent Lot 8 have been added to the Minor Site plan set.
4. Location, use and ground floor area of all existing and proposed buildings, with the building setback, sideline, and rear yard distance. *Partially provided.*
Response: The location of garage, storage and foyer as well as elevations have been added. All building setbacks have been added.
8. Location of all structures within seventy-five (75) feet of the property. *Partially provided. Applicant seeks waiver. Need dwelling on adjoining Lot 8.*
Response: The existing driveway and dwelling for adjacent Lot 8 have been added to the Minor Site plan set.

General Comments

1. Please rename the plan to Minor Site Plan.

Response: The plans are now titled 'Minor Site Plan w/ 'D' Variance, as requested.

2. Please provide a complete Minor Site Plan checklist. Note and explain any waivers.

Response: Checklist enclosed.

3. Please update the Certification statement on the engineering plan. Refer to Checklist Item #22.

Response: Chairmen and secretary certification block has been add to the Minor Site plan set.

4. The existing information shown in the zoning requirements table represents the current partially built duplex. The former 2-family dwelling was demolished with the foundation remaining on the lot. The existing information should represent the former dwelling. The former dwelling is shown on the "Survey of Property" dated November 11, 2020. The current dwelling is shown on the "Topographic Survey" dated April 3, 2025, which represents the proposed conditions.

Response: Statement of Fact.

Please update the existing front and side setbacks according to the November 11, 2020 survey prior to demolition.

Response: The zoning schedule has been updated accordingly.

Please provide a deck setback category on the zoning table.

Response: The zoning schedule has been updated accordingly.

Provide the 3 ft deck setback line along the front and side property line.

Response: The zoning schedule has been updated accordingly.

Provide the proposed front and side yard setbacks (building) for Fourth Street on the plan. The deck setbacks are shown.

Response: The zoning schedule has been updated accordingly.

Update the frontage/width.

Response: The zoning schedule has been updated accordingly.

Provide building dimensions on the proposed dwelling.

Response: The building dimensions have been added as requested.

5. Please provide signed and sealed Architectural plans.

Response: To be provided under separate cover.

6. Please update the zoning information on the Architectural plans to be consistent with the Site Plan.

Response: Updated Architectural plans to be provided under separate cover.

7. Please update the building height as 32'-0" and add elevations to a side section on the Architectural plans.

Response: Updated Architectural plans to be provided under separate cover.

8. Please update the parking requirement table according to §21-65.14.C.1 Off-street parking.

One-family and two-family units with 2-bedrooms require 1.5 spaces for each unit.

According to the N.J.A.C. 5:21 Residential Site Improvement Standards Section 4.14. a Two Family (Duplex) stipulates that “Single-Family Detached” values shall apply to each unit. A 2-bedroom single-family requires 1.5 spaces. Each proposed unit has a 2-car garage.

Please remove the reference N.J.A.C. 5:21-4.14 regarding the removal of half-spaces. This pertains to developments having many spaces and not single lots.

Response: The parking criteria have been updated accordingly.

9. Please provide the dwelling and driveway on Lot 8.

Response: The existing driveway and dwelling for adjacent Lot 8 have been added to the Minor Site plan set.

10. Please provide the front and side overhangs with offsets to Miller Street and Fourth Street rights-of-ways on the Site Plan.

Please include the first and second floor projections along Miller Street and Fourth Street.

Response: The roof overhang has been added to the building on Fourth Street, adjacent to the 1st. story open deck. A 1.5-foot floor projection line and front yard setback distances have been added to the Minor Site Plan set.

11. Dimension the encroachments of the masonry planter to the Miller Street rights-of-way line and note any encroachments.

Response: The masonry planters offset into the R.O.W. of Miller Street has been added as requested.

12. Please provide elevations for the front and rear corners of the proposed building.

Response: Elevations have been provided at the building corners.

13. Please indicate the BFE and FF. The roof peak elevation shown on the site plan is not consistent with the architectural plans.

Response: The architectural plans proposed finish floor elevations must be revised to reflect the existing conditions/topographic information. The Minor Site Plan set provided the Finish floor elevations for garage, covered porch, foyer and first floor elevations along with a building height detail with the design flood elevation.

14. Please clarify if the boundary of the gravel driveway is a curb or a wall. TW and BW elevations are shown, and the boundary is noted as proposed curb.

Response: The gravel driveway is bounded by concrete curb.

Some existing elevations are overlain by the proposed gravel hatching. Please indicate.

Response: The gravel hatching has been removed from the Minor Site Plan set for clarity.

Please confirm that runoff is not directed from the bottom grade of the curb/wall of the gravel driveway towards the dwelling on adjoining Lot 5.01.

Response: A note stating same has been added to the Minor Site Plan set.

The 1-story rear and side yard concrete deck appears to be open below. Please indicate the material under the deck.

Response: Concrete slab is provided under the first story open deck.

15. Please indicate the roof leaders and confirm discharge is the street and not adjoining properties.

Response: A note stating same has been added to the Minor Site Plan set.

16. Please indicate the purpose of the irregular shaped concrete area in the rear of the proposed dwelling.

Response: the irregular shaped concrete is to be removed and grass in its place in the rear yard area.

17. Indicate the stairways and landings for the elevated deck.

Response: The stairs and landings have been added to the Minor Site plan set.

18. Provide a concrete pad for the landing of both stairways to the elevated deck. Provide grades.

Response: A six foot long concrete pad has been provided at the bottom of the stairs were the stairs meet grade.

19. This application proposes a gravel driveway.

Response: Statement of Fact.

20. Indicate the grass and any landscaped areas on the plan.

Response: Grass is proposed in the rear area of the site.

21. Provide a note on the plans that the Applicant is responsible for any damage to any/all existing curb, sidewalk, roadway, and other off-site objects made during construction and must be repaired and/or replaced to the satisfaction of the Borough Engineer and costs paid by the Applicant.

Response: A note stating same has been added to the Minor Site Plan set.

22. Provide the location of existing water, sewer and gas service lines. Indicate if any changes are proposed. Will any service lines be replaced or relocated?

Response: Existing utilizes located within the R.O.W. of Fourth Street and Miller street has been added to the plan. Clean outs and water valves are also shown. There are to be no proposed water and sanitary sewer connections proposed. The existing connections shall be reused.

23. Confirm if the cleanout which is located at the common corner of Lot 7.01 and Lot 5.01 serves Lot 7.01 and indicate on the plan. Indicate if it is to remain in service or be abandoned.

Response: It appears that the clean out is not associated with Lot 7.01.

24. Any water, sewer and gas utilities that are proposed to connect to existing valves and cleanout in the existing sidewalk along Miller Street and Fourth Street will require replacement of the concrete sidewalk.

Response: Statement of Fact.

The sidewalk along Fourth Street is in poor condition and we recommend full replacement.

Response: The sidewalk along Fourth Street has been called out for replacement in kind.

25. According to §21-123.2 mechanical, plumbing and electrical systems should be above Local Design Flood Elevation (LDFL). Please provide a note.

Response: A note stating same has been added to the Minor Site Plan set.

26. Please provide construction details:

- a. Sidewalk according to § 21-65.17.
- b. Gravel driveway
- a. Wall
- c. Curb

Response: Details have been provided, as requested.

If you have any questions or require any additional materials, please do not hesitate to contact this office.

Respectfully submitted,



Donna M. Bullock, PE

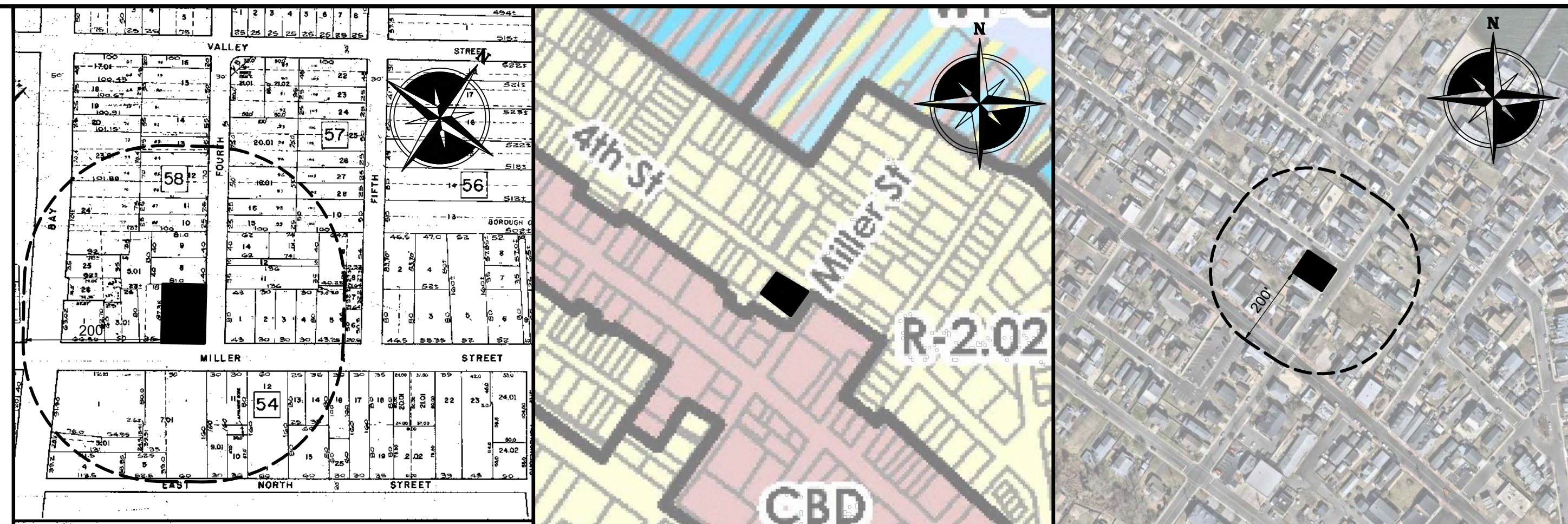
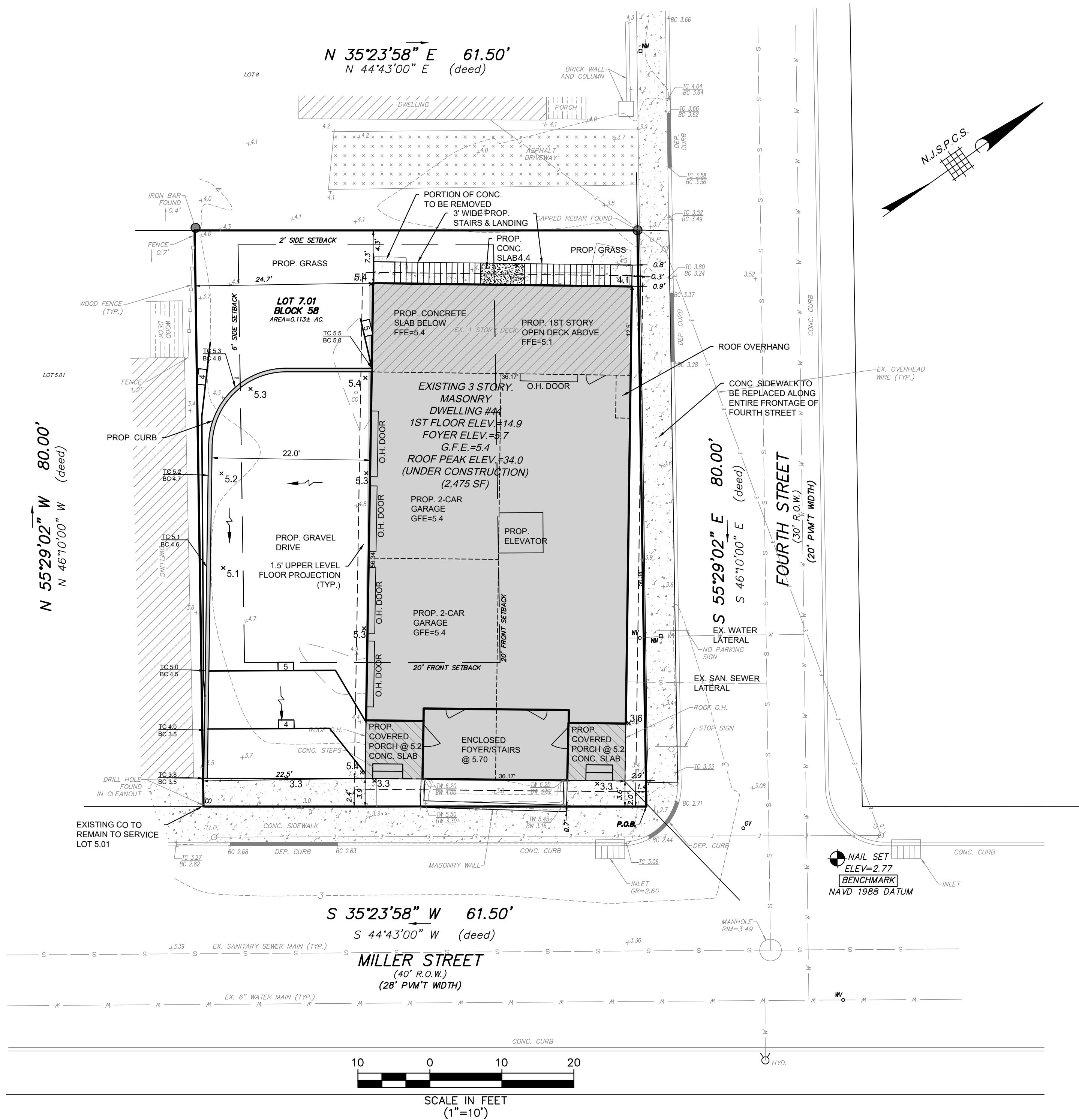
Morgan Engineering, LLC

P.O. Box 5232

Toms River, NJ 08754

732.270.9690 office

donnab@MorganEngineeringLLC.com



TAX MAP

SCALE: 1"=150'
TAX MAP INFORMATION TAKEN FROM "TAX MAP" BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY SHEET NUMBER #13

ZONE R-2.02 REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	4,000 S.F.	4,920 S.F.	4,920 S.F.
MIN. LOT DEPTH	75 FT.	70.75 FT.	70.75"
MIN. LOT FRONTAGE/WIDTH			
FOURTH STREET	50 FT.	80 FT.	80 FT.
MILLER STREET	50 FT.	61.50 FT.	61.50 FT.
MIN. FRONT SETBACK:			
FOURTH STREET	20 FT.	1.1 FT.*	0.9 FT.**
MILLER STREET	20 FT.	3.3 FT.*	3.6 FT.**
MASONRY WALL	20 FT.	-	-0.7 **
MIN. SIDE SETBACK	68 FT.	7,329.8 FT.	N.C.
FOURTH STREET	2 FT.	20 FT.	7.3 FT.
MILLER STREET	6 FT.	24 FT.	22.5 FT.
MAX. BUILDING COVERAGE	33%	-	41.3%*
MAX. LOT COVERAGE	75%	-	N.C.
MIN. DECK/STAIRS SETBACK	3	-	0.8 FT.**
BUILDING HEIGHT***	32.5 FT.	24.5 FT.	30 FT.-H.
ON-SITE PARKING	3	2	4

* - EXISTING NON-CONFORMING
* - VARIANCE REQUIRED
** - PER § WHERE A DWELLING IS CONSTRUCTED OR RECONSTRUCTED TO PROVIDE THE REQUIRED PARKING UNDER THE STRUCTURE, THE MAXIMUM BUILDING HEIGHT SHALL BE INCREASED BY TWO AND ONE-HALF (2 1/2) FEET.
N.C. - NO CHANGE

BUILDING COVERAGE

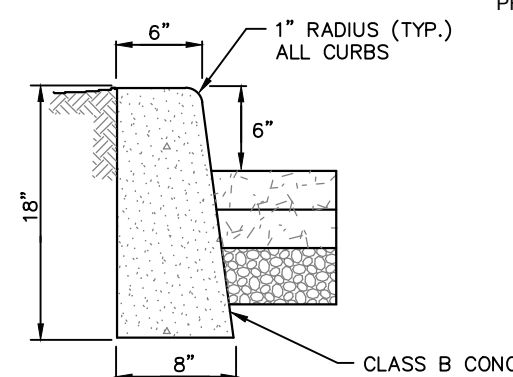
DESCRIPTION	EXISTING	PROPOSED
DWELLING	2,032 S.F.	N.C.
BUILDING/LOT COVERAGE	2,032 S.F.	N.C.
LOT AREA	4,920 S.F.	
TOTAL BUILDING	41.3%	N.C.
LOT COVERAGE		

LOT COVERAGE

DESCRIPTION	EXISTING	PROPOSED
BUILDING COVERAGE	2,032 S.F.	N.C.
CONCRETE	236 S.F.	N.C.
CURB	443 S.F.	37 S.F.
ELEV. CONC. DECK	443 S.F.	37 S.F.
IMPERVIOUS LOT COVERAGE	2,711 S.F.	2,748 S.F.
LOT AREA	4,920 S.F.	
TOTAL IMPERVIOUS	55.1%	55.9%
LOT COVERAGE		

PARKING CRITERIA:

REQUIRED: 1.5 SPACES/UNIT FOR TWO-BEDROOM UNIT
2 UNITS X 1.5 SPACES = 3.0 SPACES REQUIRED
PROVIDED: 2 GARAGE SPACES/UNIT + 4 SPACES TOTAL - COMPLIES



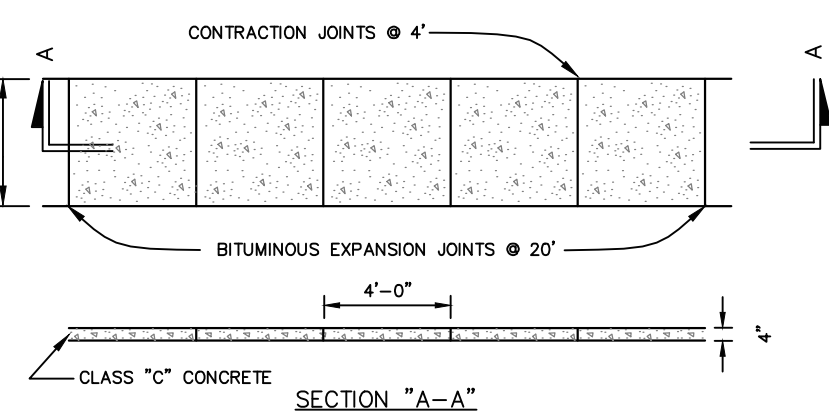
NOTES:

- EXPANSION JOINTS SHALL BE CONSTRUCTED 20' ON CENTER, AND CONTRACTION JOINTS SHALL BE CONSTRUCTED 10' ON CENTER.

TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS IMPREGNATED FIBER FILLER, COMPLYING WITH ALL OF THE REQUIREMENTS OF AASHTO SPEC. M 213, RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB. ALL JOINTS TO BE FULL DEPTH OF 18".

CONCRETE CURB DETAIL

N.T.S.



SIDEWALK DETAIL

N.T.S.

- A PREFORMED, BITUMINOUS EXPANSION JOINT 1/2" THICK, 4" WIDE, AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY 20 FEET.
- CONTRACTION JOINTS SHALL BE INSTALLED EVERY 4 FEET THE FULL WALK WIDTH.

SIDEWALK DETAIL

N.T.S.

PROPOSED STONE DRIVEWAY SECTION

N.T.S.

LEGEND

EXISTING: TREE LINE, FENCE LINE, WATER VALVE, SANITARY SEWER LINE, SANITARY CLEANOUT, MANHOLE, GAS LINE, INLET, CONTOURS, MINOR, MAJOR, SPOT ELEVATION, SURFACE FLOW DIRECTION, LIMIT OF DISTURBANCE, SILT FENCE.

PROPOSED: TREE LINE, FENCE LINE, WATER VALVE, SANITARY SEWER LINE, SANITARY CLEANOUT, MANHOLE, GAS LINE, INLET, CONTOURS, MINOR, MAJOR, SPOT ELEVATION, SURFACE FLOW DIRECTION, LIMIT OF DISTURBANCE, SILT FENCE.

ZONING MAP

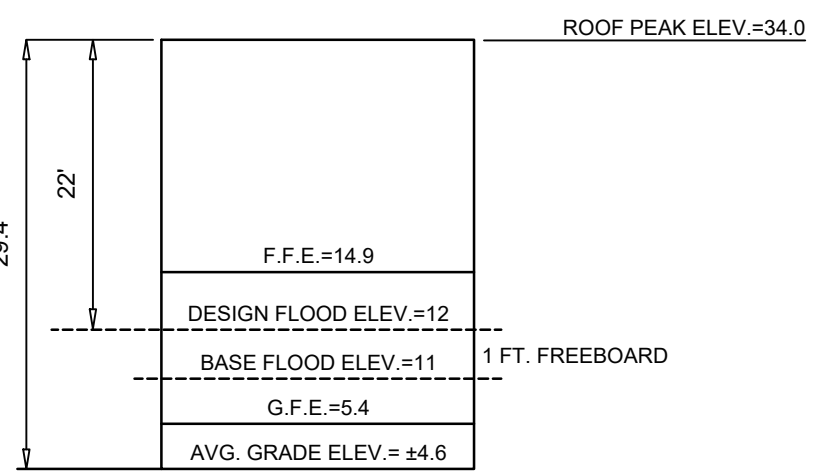
N.T.S.

VARIANCES REQUIRED:

- REQUIRED: FRONT YARD SETBACK (FOURTH STREET) = 20 FT. EXISTING & PROPOSED: FRONT YARD SETBACK (FOURTH STREET) = 0.9 FT.
- REQUIRED: FRONT YARD SETBACK (MILLER STREET) = 3.6 FT. EXISTING & PROPOSED: FRONT YARD SETBACK (MILLER STREET) = 3.6 FT.
- REQUIRED: FRONT YARD SETBACK (MILLER STREET RET. WALL) = 20 FT. EXISTING & PROPOSED: FRONT YARD SETBACK (MILLER STREET RET.) = -0.9 FT.
- REQUIRED: FRONT YARD SETBACK STEPS/LANDING (FOURTH ST) = 3 FT. EXIST. & PROPOSED: FRONT SETBACK STEPS/LANDING (FOURTH STREET) = 0.8 FT.
- REQUIRED: MAXIMUM BUILDING COVERAGE IS 33% EXISTING & PROPOSED: BUILDING COVERAGE IS 41.3%
- REQUIRED: TWO-FAMILY DWELLINGS ARE NOT PERMITTED IN THE R-2.02 ZONE. EXISTING & PROPOSED: TWO-FAMILY DWELLING IN THE R-2.02 ZONE.

SUBMISSION WAIVERS REQUESTED:

- THE LOCATION OF ALL EXISTING WATERCOURSES, WOODED AREAS, EASEMENTS, RIGHTS-OF-WAY, STREETS, ROADS, HIGHWAYS, RIVERS, BUILDINGS, STRUCTURES AND ANY OTHER FEATURE ON THE PROPERTY AND WITHIN SEVENTY-FIVE (75) FEET OF THE PROPERTY LINE.
PROVIDED: LOCATION OF ALL RIGHTS-OF-WAY, STREETS, BUILDINGS AND OTHER FEATURES ON THE SUBJECT SITE AND IN THE RIGHT-OF-WAY ALONG THE FRONTAGE OF THE PROPERTY.
- LOCATION OF ALL STRUCTURES WITHIN SEVENTY-FIVE (75) FEET OF THE PROPERTY.
PROVIDED: LOCATION OF ALL STRUCTURES ON THE SUBJECT SITE AND THE LOCATION OF THE NORTHEASTERN WALL/BUILDING CORNERS OF THE DWELLING ON THE ADJACENT LOT (LOT 5.01) AND SOUTHWESTERLY BUILDING CORNER AND DRIVEWAY OF ADJACENT LOT 8.
- STORMWATER MANAGEMENT AND SANITARY SEWER REPORTS, INCLUDING PROPOSED STORM DRAINAGE AND SANITARY DISPOSAL FACILITIES, SPECIFICALLY, THE LOCATION, TYPE AND SIZE OF ALL EXISTING AND PROPOSED CATCH BASINS, STORM DRAINAGE FACILITIES, UTILITIES, PLUS ALL REQUIRED DESIGN DATA SUPPORTING THE ADEQUACY OF THE EXISTING OR PROPOSED FACILITIES TO HANDLE FUTURE STORM FLOWS.
PROVIDED: NONE.
- EXISTING AND PROPOSED CONTOURS OF THE PROPERTY AND FOR SEVENTY-FIVE (75) FEET OUTSIDE THE PROPERTY AT ONE (1) FOOT INTERVALS WHEN NEW BUILDINGS OR PARKING ARE PROPOSED. SPOT ELEVATIONS FOR ANY DEVELOPMENT IN A FLOOD HAZARD AREA.
PROVIDED: EXISTING CONTOURS AND SPOT ELEVATIONS ON THE SUBJECT SITE.



BUILDING HEIGHT DETAIL

N.T.S.

EX. ELEVATION

SPOT I.D.	EX. ELEVATION
1.	3.6
2.	4.1
3.	5.4
4.	5.4
TOTAL	18.5

18.5 ÷ 4 = 4.6 AVERAGE GRADE

PEAK ELEV. = 34.0 - 4.6 = 29.4

BUILDING HEIGHT = 30 FT. +/-

BUILDING HEIGHT CALCULATION EXHIBIT

SCALE: 1"=40'

APPLICATION NO. 25-10 APPROVED/DISAPPROVED BY THE HIGHLANDS BOROUGH PLANNING BOARD/BOARD OF ADJUSTMENT.

CHAIRMAN

DATE

SECRETARY

DATE

APP #25-10

REV

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

BY

REVISED PER ROBERTS ENGINEERING GROUP, LLC COMPLETENESS REVIEW NO. 1 DATED 8/12/25

DATE

DESCRIPTION

L.S.

TO: Borough of Highlands Land Use Board

FROM: Susan Gruel, PP
Megan Adam, AICP Candidate, Associate Planner

RE: 44 Miller Street
Block 58, Lot 7.01
D(1) Use Variance and Minor Site Plan Approval with "C" Variances

DATE: October 3, 2025

As requested, we have reviewed the following materials:

- Borough of Highlands Land Use Board Application, dated June 26, 2025; and
- Property Survey of Block 58, Lot 7.01 in the Borough of Highlands, prepared by Morgan Engineering & Surveying, dated April 3, 2025; and
- Variance Plan for 44 Miller Street, prepared by Morgan Engineering & Surveying, dated May 7, 2025; and
- Architectural Plans for 44 Miller Street, prepared by James T. Daly Architect + Associates, dated February 23, 2021, and revised through January 23, 2025; and
- Completeness Review for Proposal at 44 Miller Street, prepared by Carmela Roberts, PE, CME, CPWM, Land Use Board Engineer, dated August 12, 2025; and
- Denial of Zoning Permit for 44 Miller Street, prepared by Courtney Lopez, Borough of Highlands Zoning Official, dated August 20, 2024.

Site Description

The subject property is an approximately 0.11-acre (4,920 square foot) corner lot with frontage along Fourth Street and Miller Street, located at 44 Miller Street. The property is located on Lot 7.01 of Block 58 in the Borough and includes approximately 61.5 feet of frontage along the west side Miller Street (two-way roadway) and 80 feet of frontage along the south side of 4th Street (one-way roadway). The property is located within the AE flood zone and has a base flood elevation of 11 feet.

The property was previously developed with a one-story duplex building, which was approved to be lifted above base flood elevation on March 31, 2021. The footprint of the existing building was not proposed to change, and its use as a duplex was to be grandfathered in as an existing non-conforming use. During this process to elevate the duplex, it collapsed and was subsequently demolished in August of 2021. Only the building's foundation remained on the site, as well as a concrete walkway along the northern property line.

At some point between the demolition of the previous structure and March 4, 2024, construction of a new three-story concrete duplex on the site had begun. On this date, the Borough's Zoning Official issued a Stop Work Order, as the site had not received zoning approval. Further, on August 20, 2024, the subject property was issued a zoning permit denial from the Zoning Official, for noncompliance with provisions of Sections: 21-98.A, 21-98.C of the Borough's Zoning Ordinance. The zoning denial reiterated that d(1) use variance approval is required to construct a new two-family duplex in the R-2.02 Single Family Zone.

The applicant then received a Notice of Unsafe Structure on September 13, 2024, and was ordered to demolish the new duplex by October 4, 2024. The Applicant received a follow up to this Notice of Unsafe Structure status on December 17, 2024, and was fined on January 12, 2025.

Beyond the partially-constructed duplex on the site, the southern and western sections of the property are undeveloped. These areas are lined with grass and gravel.

The subject property is located within the R-2.02 Single Family Zone of the Borough. Directly west of the property, on Lot 5.01, is two-story dwelling. Properties located north of the subject property are zoned for single-family residential use, and those to the south are mainly zoned within the Borough's Central Business District. The subject property is located one (1) block north of the Bay Avenue commercial corridor.

Prior Property Submissions

On September 27, 2024, a bulk variance application for the subject property, as well as an appeal of the Zoning Official's decision, was submitted to the Borough. Subsequently, on February 10, 2025, sketches and architectural plans were submitted for review. This application was not heard before the Land Use Board, as the Board Engineer deemed the application incomplete, citing the need for d(1) Use Variance and Minor Site Plan approval. In response, the current application (LUB #25-10) has been submitted.

Aerial of Subject Property



Project Overview

The applicant is proposing to construct a new elevated three-story concrete duplex within the eastern section of the property, within the footprint of the previous dwelling. The northern section of the building will be one story, and atop it will be an elevated concrete deck.

East of the duplex building is a proposed gravel driveway along Miller Street, which will provide access to the building's two (2) two-car garages. Also at this ground level, opposite the walls of the garages, is an open space with access to an elevator. This elevator offers direct access to the living space of only one of the dwelling units. Additional residential access to this unit is located along the property's Miller Street frontage, through a private entry foyer and staircase. The sole access to the second dwelling unit will be through its private foyer and staircase, which is also located along Miller Street. A planter box will be located at these entrances along Miller Street.

The duplex's living spaces will be raised to a foot higher than the base flood elevation (i.e., 12 feet). The living spaces for each dwelling will span throughout three levels. The floor plans for the dwellings are similar, and include an open-concept kitchen, living, and dining room at the raised first level, bedrooms and a laundry room at the raised second level, and an enclosed den and attic space at the raised third level. Each dwelling will also include two (2) full bathrooms, one (1) powder room, and closet space. The dwelling unit which does not have elevator access will also include an office at the raised second level.

Each dwelling will include a series of balconies and decks along the northern and southern (i.e., along Miller Street) façades. Along the northern façade, this includes a shared concrete deck at the raised first level, and private balconies from the bedrooms at the raised second level. Further, along the southern/Miller Street façade, private decks at the raised second and third levels are to be constructed.

Zoning

The property is in the R-2.02 Single-Family Residential Zone. Per §21-85 of the Borough Ordinance, two-family dwellings are not a permitted use within this Zone. As the previously grandfathered duplex on the site was demolished, the application to construct a new duplex requires a d(1) use variance.

R-2.02 Single-Family Residential Zone (Chapter 21 Attachment 1)			
	Ordinance Requirements	Existing	Proposed
Min. Lot Area	4,000 SF	4,920 SF	No change
Min Lot Frontage/Width	50 feet	Miller Street: 61.5 feet Fourth Street: 80 feet	No change
Min. Lot Depth	75 feet	61.5 feet (ENC)	No change (V)
Min. Front Setback	20 feet	N/A	Miller Street: 3.6 feet (V) Fourth Street: 0.9 feet (V)
Min. Side Setback	6 feet / 8 feet	N/A	Relative to Miller Street: 0.9 feet / 22.5 feet (V) Relative to Fourth Street: 3.6 feet / 7.3 feet (V)
Min. Rear Setback	-	N/A – corner lot	N/A
Max. Building Height	32.5 feet*	<32.5 feet	32.5 feet
Max. Building Cover	33%	N/A	~41.3% (2,032 SF) (V)
Max. Impervious Cover	75%	N/A	Unclear; applicant to confirm.
Required Stair Setback from Property Line (§21-8)	3 feet	N/A	< 3 feet along Fourth Street (V)

*Where a dwelling is constructed or reconstructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half (2 1/2) feet. As this situation applies to the subject property, 2.5 feet above the maximum permitted 30 feet can be constructed (i.e., 32.5 feet).

ENC = Existing non-conformance

V = Bulk variance relief required

Design Standards			
	Ordinance Requirements	Existing	Proposed
Minimum Number of Parking Spaces (§21-65.14)	Two-family residences: 2-Bedroom = 1.5 spaces per unit x 2 units Total = 3 spaces	N/A	4 spaces
Driveway Location (§21-65.5)	On lots with multiple frontage, driveways should be located on the minor street, if possible. Driveways shall be a minimum of twenty-five (25) feet from any intersection, measured from the street line of the intersecting street.	> 25 feet from the intersection of Miller Street and Fourth Street	No change
Driveway Dimensions (§21-65.5)	For residential lots: 18-foot maximum at the curb 22-foot maximum at the interior	N/A	Unclear at curb; > 22 feet at certain points in the driveway (W).

W = Design Waiver required

Variances and Waivers Required

D(1) Use Variance

1. The applicant requires d(1) use variance relief to permit a two-family dwelling use within the R-2.02 Single-Family Residential Zone.

Bulk/"C" Variances

Pre-existing non-conforming conditions include:

1. **Insufficient Lot Depth (Chapter 21 Attachment 1)** – A minimum lot depth of 75 feet is required, where 61.5 feet exists, and is proposed to remain.

Newly-created conditions:

1. **Insufficient Front Setback (Chapter 21 Attachment 1)** – A minimum front setback of 20 feet is required, where 3.6 feet is proposed along Miller Street and 0.9 feet is proposed along Fourth Street.

2. **Insufficient Side Yard Setback (Chapter 21 Attachment 1)** – A minimum side yard setback of 6 feet and 8 feet are required, where 0.9 feet and 22.5 feet are proposed along Miller Street, and 3.6 feet and 7.3 feet are proposed along Fourth Street.
3. **Excessive Building Coverage (Chapter 21 Attachment 1)** – A maximum building coverage of 33% is permitted, where 41.3% is proposed.
4. **Insufficient Stair Setback from Property Line (§21-8)** – A minimum setback of 3 feet for any ingress and egress stair is required from any side or rear property line, where less than three feet is proposed along the Miller Street frontage. Further, the proposed staircases to the deck along the northern property line do not meet the minimum required 3-foot setback.

Design Waivers

1. **Excessive Driveway Width (§21-65.5)**– Where a maximum interior driveway width of 22 feet is proposed, greater than 22 feet is proposed periodically.

Planning Comments:

Variance

1. This application requires d(1) use variance relief to permit a two-family use within the R-2.02 Zone. The applicant shall provide planning testimony to justify the requested relief from the Board.
 - a. Positive Criteria - That there are “special reasons” for granting the requested variance and that the site is “particularly suitable” for the proposed use, which are often referred to as the “positive criteria”.
 - i. The “special reasons” testimony shall either demonstrate how the proposed use advances the purposes of zoning, whether there is a hardship that prevents development of the property with a permitted use, or whether the proposed use is inherently beneficial.
 - ii. The “particularly suitable” analysis should focus on why this location within the municipality or region is particularly suited to the use despite the zoning, and what unique characteristics of the site make it appropriate for the proposed use rather than a permitted use.
 - b. Negative Criteria - The applicant’s testimony must demonstrate that the requested variance can be granted without substantial detriment to the public good. This analysis should consider impacts on neighboring properties and on the general public welfare. The applicant’s testimony must demonstrate that the requested variance will not substantially impair the intent and the purpose of the Borough Master Plan and Zoning ordinance.

2. The application requires one (1) design exception. The applicant shall provide testimony demonstrating that strict compliance with the Ordinance standards is impracticable per the standard set forth at N.J.S.A. 40:55D-51.

Conformance with the Borough Master Plan

3. The 2016 Master Plan Reexamination Report for the Borough recommends that the “existing residential character of the Borough” be “preserved and protected” (p. 66). Further, it discourages construction of “new houses [out] of scale with existing development” (p.11).
 - a. The applicant shall provide testimony regarding the implications of deviating from the Reexamination Report’s vision, and constructing a two-family residence within a single-family zone.
 - b. Further, it is our opinion that the proposed construction is entirely out of character with the surrounding neighborhood (see site visit photos taken on September 30, 2025, attached to this memorandum).
 - i. Minuscule front yard setbacks are proposed for the two-family residence, creating out-of-scale masonry walls right along the streets.
 1. The concrete wall surrounding a proposed planter box encroaches onto the Miller Street sidewalk, escalating the intrusion of the construction along the property frontages.
 - ii. The proposed elevated three-story building over a parking area conforms to the Borough’s ordinance, which calculates building height for residences within a flood zone with respect to the base flood elevation plus one foot (i.e., the height measurement starts at 12 feet above average grade). As a result, the proposed building height of 32.5 feet reaches a height of 44.5 feet from the street level at its roof peak.
 1. Where an increased height creates an even greater need for enhanced setbacks, the proposed construction does not consider.
 2. Further, the decision to construct to the permitted maximum height leaves no room for a pitched roof, which is characteristic of the neighboring residences.
 - iii. It is our opinion that an appropriately-sized dwelling could be constructed on the site, and comply with the setbacks outlined in the Borough Ordinance.

Variance Plan

4. We note that there are inconsistencies between the zoning tables within the Variance Plan Architectural Plans regarding the lot's depth, width, and setbacks. These tables shall be revised to articulate consistent information, and reflect the conditions outlined in the Property Survey.

Impervious Improvements and Lot Circulation

5. The proposed lot impervious coverage is currently unclear; the architectural drawings state this value to be 76%, while the variance plan states this value to be 55.9%. The applicant shall clarify the proposed lot impervious coverage, and amend the drawings accordingly.
6. The applicant shall clarify the width of the curb cut that is proposed to remain along Miller Street, and add this to the provided variance plan. Per the standards outlined in Section 21-65.5 of the Borough Ordinance, a maximum width of 18 feet is permitted. Additional waiver relief may be required.
7. The applicant shall clarify whether the existing curb cut along Fourth Street will remain active with the proposed improvements.
 - a. The Foundation Plan on Sheet A-2 describes a fifth garage door leading to an unidentified space at grade level. Is additional parking proposed within this space?
 - i. The applicant shall confirm compliance with the following standard outlined in Section 21-82A of the Borough Ordinance: "Any residential structure may be elevated to comply with the flood regulations of Part 7, and/or provide the required off-street parking under the structure, upon issuance of flood and building permits, provided there is no increase in the building coverage or floor area of the structure other than the addition of parking under the structure."

Additional Site Improvements

8. We note that no landscaping or exterior lighting plans have been submitted. The applicant shall confirm provide these plans and confirm compliance with the additional design standards outlined in Sections 21-65.10 and 21-65.11 of the Borough Ordinance.
9. Is any fencing proposed? All fencing shall be in compliance with Section 21-65.7 of the Borough Ordinance.

Miscellaneous

10. The applicant shall provide testimony regarding any safety measures (e.g., locks, gates) to be implemented for units, particularly in relation to the staircases leading up to the elevated concrete deck.

11. The applicant shall clarify provisions for the collection of trash and recycling for the new duplex.
 - a. Where will trash be stored?
 - b. Who will be responsible for bringing trash to the curb on pickup days?

Site Visit Photos (taken September 30, 2025)



Views of the subject property along Miller Street.



View of the subject property at the intersection of Miller Street and Fourth Street.



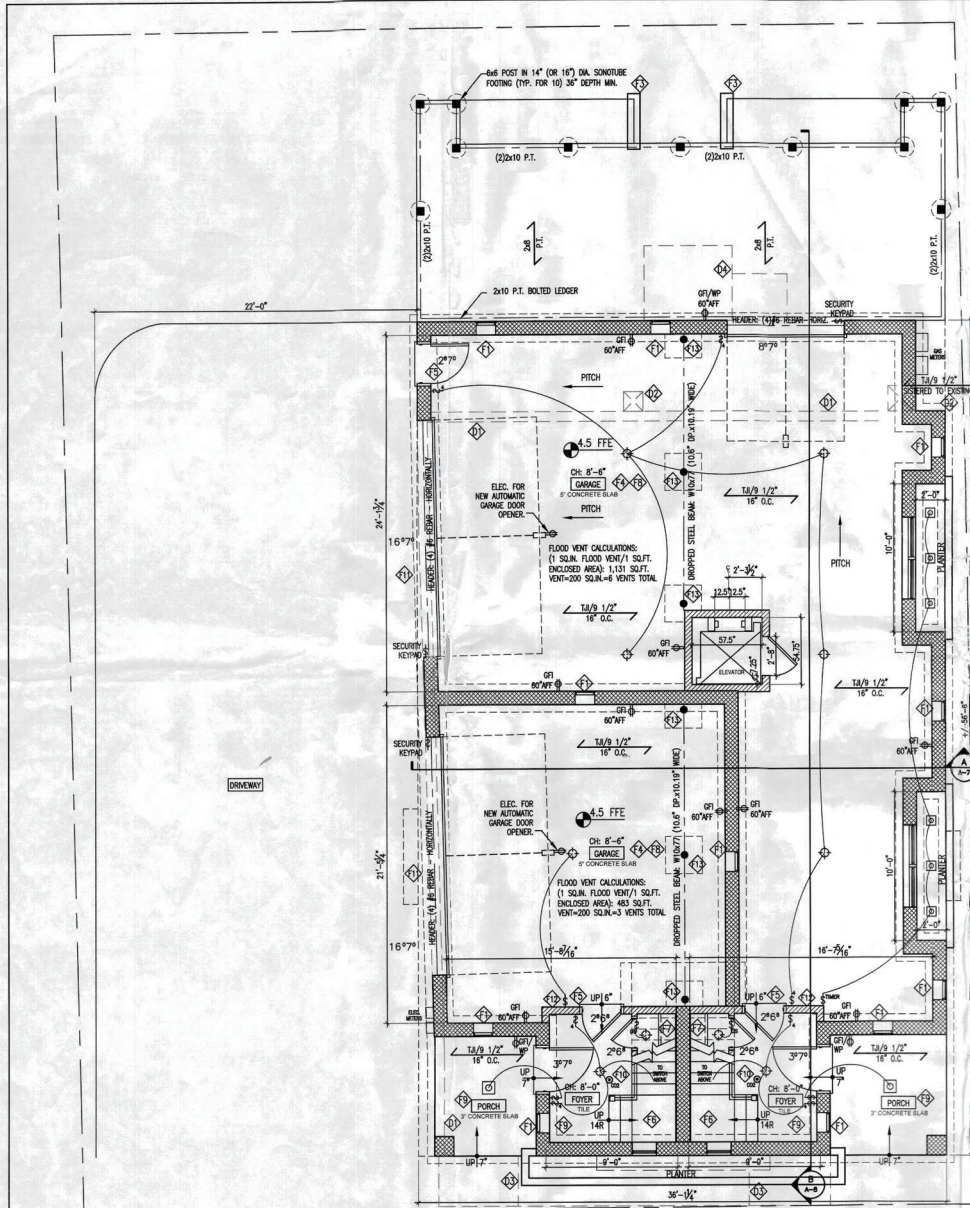
View of the subject property along Fourth Street.



Partially-constructed details along Miller Street.



View of the proposed construction within the surrounding block.



FOUNDATION PLAN
Scale: 1/4"=1'-0"

DEMOLITION KEY NOTES: FOUND./GARAGE

1. REMOVE EXISTING FOUNDATION AND ASSOCIATED FOOTINGS AS SHOWN.
2. REMOVE EXISTING CHIMNEY IN ITS ENTIRETY.
3. REMOVE EXISTING MASONRY STAIRS & LANDING IN THEIR ENTIRETY.
4. REMOVE EXISTING WOOD STAIRS & DECK IN THEIR ENTIRETY.

CONSTRUCTION KEY NOTES: FOUND./GARAGE

1. NEW INSULATED FLOOD VENT BY SMART VENT #1540-520 (OR APPROVED EQUAL).
2. INSTALL EXISTING CONCRETE ACCESS OPENING (IF USING EXISTING FOUNDATION).
3. PROVIDE CONCRETE LANDING PAD W/ FOOTING AS SHOWN.
4. FIRE RATED CEILING STRUCTURE AT GARAGE (SEE DETAIL).
5. PROVIDE NEW ONE-HOUR FIRE RATED, FIBERGLASS INSULATED DOOR WITH (3) ST. STL. HINGES.
6. NEW 36" WIDE WOOD STAIRS & RAILINGS FROM ACCESS FOYER TO FIRST FLOOR.
7. INSTALL 18" DEEP SHELF & CLOTHES ROD. PROVIDE CENTER SUPPORT ROOF IF LONGER THAN 5'.
8. 5" SLAB - W/ EXO 10/10 MIN ON RAIL VAPOR BARRIER AND 5" CRUSHED STONE ON COMPACTED DIRT.
9. 3" SLAB - W/ EXO 10/10 MIN ON RAIL VAPOR BARRIER AND 5" CRUSHED STONE ON COMPACTED DIRT.
10. INSTALL SMOKE & CO DETECTOR(S) AS REQUIRED BY CODE (TYPICAL).
11. ALT. DOOR HEADER: STEEL BEAM, W10x45 FOR SINGLE 18" DOOR OHD.
12. 1-HOUR RATED PARTITION (SEE DETAIL).
13. 5" DIA. STEEL "JALLY" COLUMN ON 36"x12" CONCRETE FOOTING.

RES-CHECK "R" VALUES USED ARE AS FOLLOWS:
WALLS R-38
FLOORS & ROOFS R-50 MIN.
TRIPLE GLAZED DOORS & WINDOWS R-5

IN COMPLIANCE W/IRC TABLE R301.2.1.2 "PROTECTION OPENINGS", ALL WINDOWS WILL USE "OPENING PROTECTIVES" AS ALLOWED UNDER THE EXEMPTION, USING 7/16" PLYWOOD AND CORROSION RESISTANT ATTACHMENT HARDWARE (SCREWS, ETC.) IN COMPLIANCE WITH ASCE 7.

PLAN SYMBOLS LEGEND

EXISTING CONSTRUCTION TO BE DEMOLISHED	SPACE NAME
EXISTING CONSTRUCTION TO REMAIN	WINDOW TAG, SEE ELEVATIONS
NEW WALL CONSTRUCTION - FOR INT. WALLS 1/2" C.P. BO. EACH SIDE OF 2x4 STUDS @ 16" O.C. (EXCEPT AS NOTED) - FOR EXT. WALLS SEE SECTION	FRAMING DESIGNATIONS
NEW FOUNDATION CONSTRUCTION - REFER TO PLAN.	number line
EXISTING DOOR TO REMAIN	number size
NEW DOOR - NUMBER REFERS TO DOOR SIZE	WF: RAFTER 4: 2x4
SPECIAL NOTE - REFER TO KEY NOTES ON SHEET	CL: CEILING JOIST 6: 2x6
ALIGN SYMBOL	F2: FLOOR JOIST 10: 2x10
SECTION SYMBOL	CL: COLLAR TIES 12: 2x12
DRAWING NUMBER	DL: DECK JOISTS
	ALL FRAMING MEMBERS DESIGNATED AS ABOVE SHALL BE SPACED AT 16" O.C. UNLESS NOTED OTHERWISE
	OTHER ABBREVIATIONS:
	PL: PARALLAM
	ML: MODULAM
	DL: GUELAM
	TL: TRUS JOIST

ELECTRICAL SYMBOLS LEGEND

SINGLE POLE SWITCH	INCANDESCENT CEILING-MOUNTED LIGHT FIXTURE
THREE WAY SWITCH	INCANDESCENT WALL-MOUNTED LIGHT FIXTURE
THREE WAY SWITCH	WET RATED FOR EXTERIOR INSTALLATIONS
DIMMER SWITCH	PENDANT LIGHT FIXTURE
DOOR SWITCH	INCANDESCENT WALL SCONCE FIXTURE
200V. 30A RECEPTACLE, UNLESS NOTED OTHERWISE	RECESSED CEILING FIXTURE
DUPLEX RECEPTACLE	INCANDESCENT WALL WASHER
GROUND FAULT INTERRUPTER DUPLEX RECEPTACLE	UNDER CABINET LIGHT FIXTURE
QUAD RECEPTACLE	EXTERIOR FLOOD LIGHT
WATERPROOF DUPLEX RECEPTACLE	FAN / INCANDESCENT LIGHT FIXTURE COMBINATION
DUPLEX RECEPTACLE ON DEDICATED CIRCUIT	EXHAUST FAN - VENT TO EXTERIOR
DUPLEX RECEPTACLE - FLOOR MOUNTED	SMOKE DETECTOR / CARBONMONOXIDE DETECTOR TO BE HARDWIRED, INTERCONNECTED W/ BATTERY BACK-UP IN EACH UNIT.
TELEPHONE JACK	
CABLE TV JACK	
DOOR BELL	

Landgrebe- Highlands, NJ

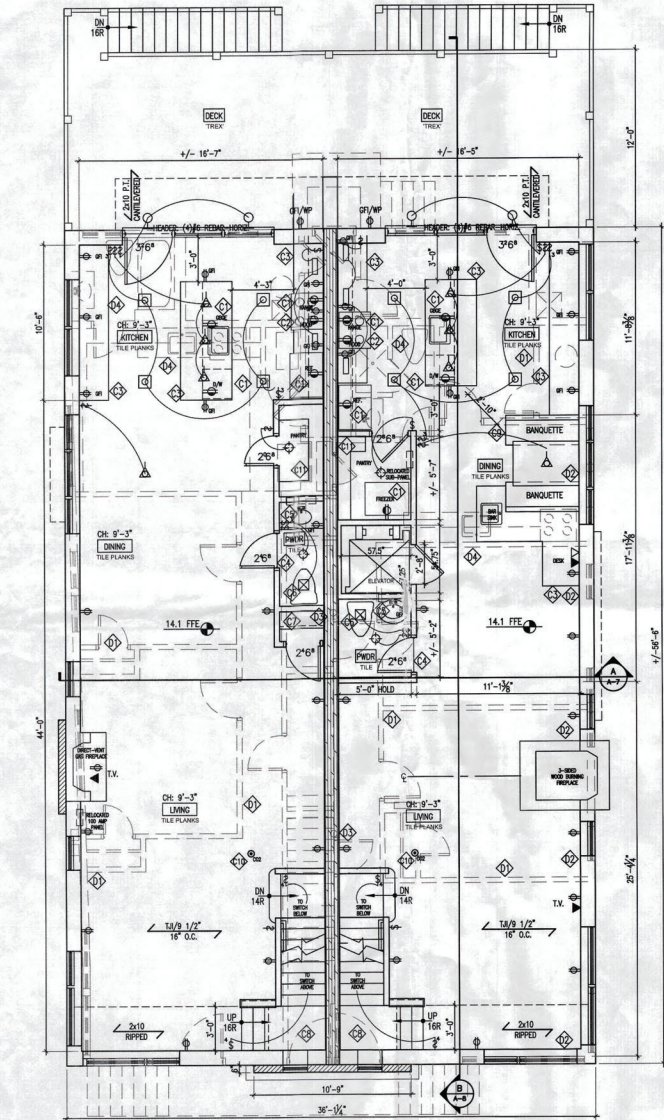
JAMES T. DALEY
ARCHITECT
+ ASSOCIATES
273 FIRST STREET, KEYPORT, NJ 07735
phone 732-739-2584 fax 732-739-0837

NJ LIC
#11519

DRAWN BY

A-2

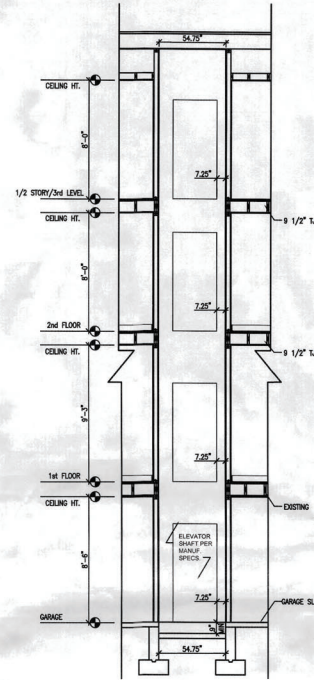




FIRST FLOOR PLAN
Scale: 1/4"=1'-0"

- DEMOLITION KEY NOTES: FIRST FLOOR**
1. REMOVE EXISTING PARTITION & ASSOCIATED DOORS, WINDOWS, MILLWORK, PLUMBING, ELECTRICAL, OUTLETS, ETC. REMAINING BRICK TO NEAREST JUNCTION BOX, DISCONNECT & TERMINATE AS REQUIRED BY CODE. SUPPORT & PROTECT BUILDING TO REMAIN AS REQUIRED. PATCH REMAINING WALLS AS REQ'D.
 2. REMOVE EXISTING WINDOW, INFILL TO MATCH EXISTING ADJACENT. PREP FOR NEW INTERIOR & EXTERIOR FINISHES.
 3. REMOVE EXISTING INTERIOR COLUMN. PATCH, PREP, & RETINISH FLOOR & CEILING AS REQUIRED.
 4. REMOVE EXISTING SINK, TOILET, ETC. REMOVE AND CAP ALL ASSOCIATED PLUMBING.

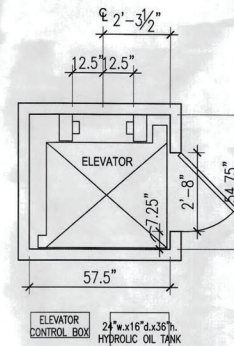
- CONSTRUCTION KEY NOTES: FIRST FLOOR**
1. SUPPLY J-BOX W/ POWER FOR APPLIANCE AS PER MANU. SPECIFICATIONS.
 2. SUPPLY J-BOX W/ POWER FOR RANGE HOOD AS PER MANU. SPECIFICATIONS.
 3. CUSTOM MILLWORK CABINETRY. PROVIDE SHOP DRAWINGS PRIOR TO CONSTRUCTION.
 4. INSTALL NEW MARBLE SADDLE W/ BEVELED EDGES @ DOOR TRANSITION FROM WOOD FLOOR TO TILE FINISH.
 5. INSTALL RECESSED MEDICINE CABINET CENTERED ON SINK.
 6. 1000 CFM EXHAUST FAN.
 7. INSTALL 18" DEEP SHELF & CLOTHES ROD. PROVIDE CENTER SUPPORT KNOBS IF LONGER THAN 9".
 8. 3/4" WIDE (O.C. TO VERRY) WOOD STAIRS AND RAILING AS SHOWN.
 9. CUSTOM BANQUETTE SEATING AS PER OWNER.
 10. INSTALL SMOKE & CO DETECTORS AS REQUIRED BY CODE. (TYPICAL)
 11. MILLWORK SHELVING, REVIEW WOOD FINISH & SPACING WITH OWNER.



ELEVATOR SECTION
Scale: 1/4"=1'-0"

ACCREDITED HOME ELEVATOR OR EQUAL

CONTRACTOR TO COMPLY WITH ELEVATOR SPECS. FROM MANUFACTURER FOR SHAFT SIZE, PIT DEPTH & CLEARANCE AT TOP.



ELEVATOR PLAN
Scale: 1/2"=1'-0"

PLAN SYMBOLS LEGEND

---	EXISTING CONSTRUCTION TO BE DEMOLISHED	SPACED NAME
---	EXISTING CONSTRUCTION TO REMAIN	WINDOW TAG, SEE ELEVATIONS
---	NEW WALL CONSTRUCTION - FOR INT. WALLS: 1/2" CYP. BD. EACH SIDE OF 2x4 STUDS @ 16" O.C. (EXCEPT AS NOTED) - FOR EXT. WALLS SEE SECTION	FRAMING DESIGNATIONS
---	NEW FOUNDATION CONSTRUCTION - REFER TO PLANS	
---	EXISTING DOOR TO REMAIN	
---	NEW DOOR - NUMBER REFERS TO DOOR SIZE	
---	SPECIAL NOTE - REFER TO KEY NOTES ON SHEET	
---	ALIGN SYMBOL	
---	SECTION SYMBOL - SECTION LETTER	
---	DRAWING NUMBER	

ELECTRICAL SYMBOLS LEGEND

⚡	SINGLE POLE SWITCH	⚡	INCANDESCENT CEILING-MOUNTED LIGHT FIXTURE
⚡	THREE WAY SWITCH	⚡	INCANDESCENT WALL-MOUNTED LIGHT FIXTURE
⚡	THREE WAY SWITCH	⚡	WET RATED FOR EXTERIOR INSTALLATIONS
⚡	DIMMER SWITCH	⚡	PENDANT LIGHT FIXTURE
⚡	DOOR SWITCH	⚡	INCANDESCENT WALL SCONCE FIXTURE
⚡	220V. 30A RECEPTACLE, UNLESS NOTED OTHERWISE	⚡	RECESSED CEILING FIXTURE
⚡	DUPLEX RECEPTACLE	⚡	INCANDESCENT WALL WASHER
⚡	GROUND FAULT INTERRUPTER DUPLEX RECEPTACLE	⚡	UNDER CABINET LIGHT FIXTURE
⚡	QUAD RECEPTACLE	⚡	EXTERIOR FLOOD LIGHT
⚡	WATERPROOF DUPLEX RECEPTACLE	⚡	FAN / INCANDESCENT LIGHT FIXTURE COMBINATION
⚡	DUPLEX RECEPTACLE ON DEDICATED CIRCUIT	⚡	EXHAUST FAN - VENT TO EXTERIOR
⚡	DUPLEX RECEPTACLE - FLOOR MOUNTED	⚡	SMOKE DETECTOR / CARBONMONOXIDE DETECTOR TO BE HARDWIRED, INTERCONNECTED W/ BATTERY BACK-UP IN EACH UNIT.
⚡	TELEPHONE JACK		
⚡	CABLE TV JACK		
⚡	DOOR BELL		

Landgrebe - Highlands, NJ

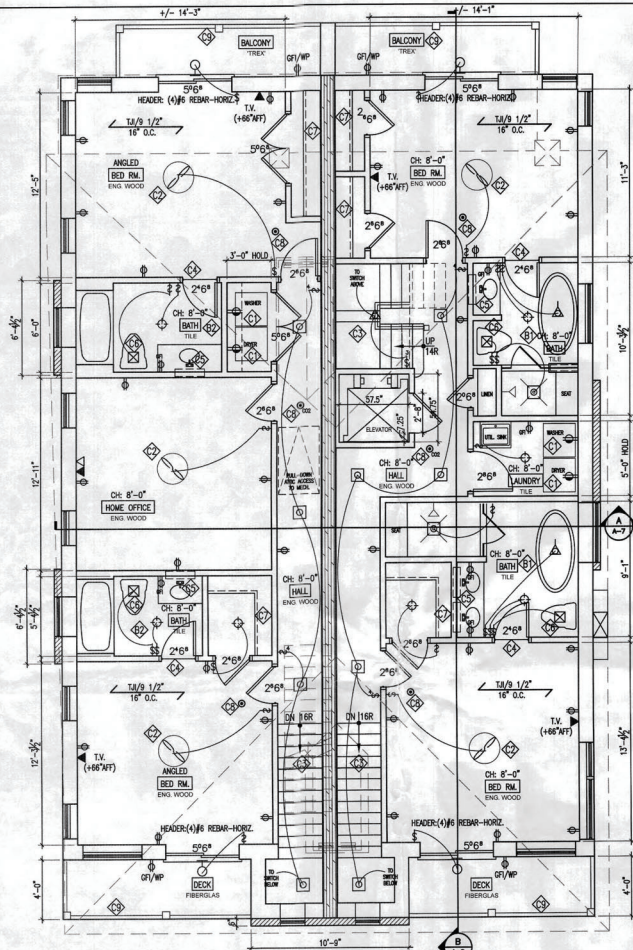
JAMES T. DALEY
ARCHITECT
+ ASSOCIATES
279 FIRST STREET, KEYPORT, NJ 07735
phone: 732-739-2584 fax: 732-739-0837

NJ LIC
#11519

DRAWN J.P.

A-3





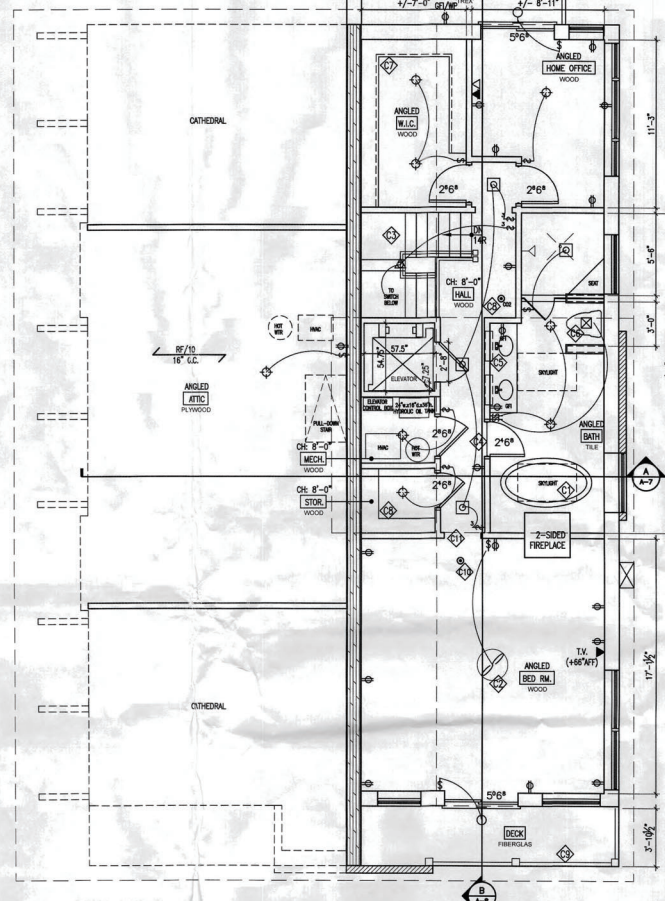
SECOND FLOOR PLAN
Scale: 1/4"=1'-0"

CONSTRUCTION KEY NOTES: SECOND FLOOR

1. SUPPLY 4-BOX W/ POWER FOR APPLANCE AS PER MANU. SPECIFICATIONS.
2. INSTALL 3/8" DIA. (MIN.) CEILING MOUNTED CEILING FAN WITH INTEGRAL LIGHT. PROVIDE SEPARATE WALL SWITCHES FOR EACH FUNCTION.
3. 3/8" WIDE (O.C. TO VERIFY) WOOD SHIMS AND RAILING AS SHOWN.
4. INSTALL NEW MARBLE SADDLE W/ BEVELED EDGES & DOOR TRANSITION FROM WOOD FLOOR TO TILE FINISH.
5. INSTALL RECESSED MEDICINE CABINET CENTERED ON VANITY.
6. 1000 CFM EXHAUST FAN.
7. INSTALL 1/8" DEEP SHOE & CLOTHES ROD. PROVIDE CENTER SUPPORT RODS IF LONGER THAN 5'.
8. INSTALL SMOKE & CO DETECTORS AS REQUIRED BY CODE (TYPICAL).
9. CABLE RAILING (SPEC. TO FOLLOW).

BATHROOM KEY NOTES:

1. DOUBLE JOISTS UNDER TUB/SHOWER.
2. CUSTOM SHOWER STALL - INSTALL 1/2" JAMES HARDBACKER 500 ON WALLS & CEILING OVER 15# FELT MOISTURE BARRIER, COVER FLOOR W/ 1/4" JAMES HARDBACKER, AS PER MANU. SPEC. INSTALL MID-BED TO SLOPE A MIN. OF 1/4" PER FOOT. EACH SUCCESSIVE LAYER SHALL MAINTAIN THIS SLOPE. INSTALL A CONTINUOUS MEMBRANE FOLDED INTO THE CORNERS & EXTENDING A MIN. 3" UP WALLS AND OVER THE CURB AT THE ENTRY. FINISH FLOOR W/ BUILT-UP WUG BED & TILE. FINISH WALLS & CEILING W/ MASTIC & TILE.
3. NEW FRAMELESS GLASS SHOWER DOOR/ENCLOSURE.
4. SHOWER ACCESSORIES INCLUDE SEAT, RECESSED SOAP DISH TWO SHAMPOO SHELVES AND A WASH CLOTH BAR. SUBMIT SHOP DRAWINGS FOR APPROVAL.
5. DOUBLE JOISTS UNDER TUB/SHOWER.
6. TUB/SHOWER STALL - INSTALL 1/2" JAMES HARDBACKER 500 ON WALLS & CEILING OVER 15# FELT MOISTURE BARRIER, AS PER MANU. SPEC. FINISH WALLS & CEILING W/ MASTIC & TILE.
7. NEW FRAMELESS GLASS TUB/SHOWER DOOR & ENCLOSURE.
8. SHOWER ACCESSORIES INCLUDE RECESSED SOAP DISH TWO SHAMPOO SHELVES AND A WASH CLOTH BAR. SUBMIT SHOP DRAWINGS FOR APPROVAL.



HALF STORY/THIRD LEVEL PLAN
Scale: 1/4"=1'-0"

CONSTRUCTION KEY NOTES: THIRD FLOOR

1. OPERABLE/ELECTRIC SKYLIGHT WITH RAIN SENSOR CLOSER.
2. INSTALL 3/8" DIA. (MIN.) CEILING MOUNTED CEILING FAN WITH INTEGRAL LIGHT. PROVIDE SEPARATE WALL SWITCHES FOR EACH FUNCTION.
3. 3/8" WIDE (O.C. TO VERIFY) WOOD SHIMS AND RAILING AS SHOWN.
4. INSTALL NEW MARBLE SADDLE W/ BEVELED EDGES & DOOR TRANSITION FROM WOOD FLOOR TO TILE FINISH.
5. INSTALL RECESSED MEDICINE CABINET CENTERED ON VANITY.
6. 1000 CFM EXHAUST FAN.
7. INSTALL 1/8" DEEP SHOE & CLOTHES ROD. PROVIDE CENTER SUPPORT RODS IF LONGER THAN 5'.
8. WALLWORK SHELVE, REVIEW WOOD FINISH & SPACING WITH OWNER.
9. CABLE RAILING (SPEC. TO FOLLOW).
10. INSTALL SMOKE & CO DETECTORS AS REQUIRED BY CODE (TYPICAL).
11. TRIM TRIMMED OPENINGS W/ 3/4" POPLAR, EXTEND TRIM 3/4" PAST OFF-BO. EACH SIDE-VERIFY FINISH W/ OWNER.

BATHROOM KEY NOTES:

1. DOUBLE JOISTS UNDER TUB/SHOWER.
2. CUSTOM SHOWER STALL - INSTALL 1/2" JAMES HARDBACKER 500 ON WALLS & CEILING OVER 15# FELT MOISTURE BARRIER, COVER FLOOR W/ 1/4" JAMES HARDBACKER, AS PER MANU. SPEC. INSTALL MID-BED TO SLOPE A MIN. OF 1/4" PER FOOT. EACH SUCCESSIVE LAYER SHALL MAINTAIN THIS SLOPE. INSTALL A CONTINUOUS MEMBRANE FOLDED INTO THE CORNERS & EXTENDING A MIN. 3" UP WALLS AND OVER THE CURB AT THE ENTRY. FINISH FLOOR W/ BUILT-UP WUG BED & TILE. FINISH WALLS & CEILING W/ MASTIC & TILE.
3. NEW FRAMELESS GLASS SHOWER DOOR/ENCLOSURE.
4. SHOWER ACCESSORIES INCLUDE SEAT, RECESSED SOAP DISH TWO SHAMPOO SHELVES AND A WASH CLOTH BAR. SUBMIT SHOP DRAWINGS FOR APPROVAL.

PLAN SYMBOLS LEGEND

---	EXISTING CONSTRUCTION TO BE DEMOLISHED	SPACE NAME
---	EXISTING CONSTRUCTION TO REMAIN	WINDOW TAG, SEE ELEVATIONS
---	NEW WALL CONSTRUCTION FOR INT. WALLS 1/2" O.P. 80, EACH SIDE OF 204 STUDS @ 16" O.C. (EXCEPT AS NOTED) - FOR EXT. WALLS SEE SECTION	FRAMING DESIGNATIONS
---	NEW FOUNDATION CONSTRUCTION - REFER TO PLANS	BRIDGE JOIST: 4. 2x4
---	EXISTING DOOR TO REMAIN	BT: BUTTER
---	NEW DOOR - NUMBER REFERS TO DOOR SIZE	CA: CEILING JOIST 6. 2x6
---	SPECIAL NOTE - REFER TO KEY NOTES ON SHEET	FL: FLOOR JOIST 8. 2x6
---	ALIGN SYMBOL	CT: COLLAR TIES 10. 2x10
---	SECTION SYMBOL - SECTION LETTER	DA: DECK JOISTS 12. 2x12
---	DRAWING NUMBER	ALL FRAMING MEMBERS DESIGNATED AS ABOVE SHALL BE SPACED AT 16" O.C. UNLESS NOTED OTHERWISE
		OTHER ABBREVIATIONS:
		PL: PARALLEL
		GL: GLUE LAM
		ML: MUD LAM
		TL: TRUSS JOIST

ELECTRICAL SYMBOLS LEGEND

⚡	SINGLE POLE SWITCH	⬢	INCANDESCENT CEILING-MOUNTED LIGHT FIXTURE
⚡	THREE WAY SWITCH	⬢	INCANDESCENT WALL-MOUNTED LIGHT FIXTURE
⚡	THREE WAY SWITCH	⬢	INCANDESCENT WALL-MOUNTED LIGHT FIXTURE
⚡	DIMMER SWITCH	⬢	PENDANT LIGHT FIXTURE
⚡	DOOR SWITCH	⬢	INCANDESCENT WALL SOURCE FIXTURE
⚡	220V, 30A RECEPTACLE, UNLESS NOTED OTHERWISE	⬢	RECESSED CEILING FIXTURE
⚡	DUPLEX RECEPTACLE	⬢	INCANDESCENT WALL WASHER
⚡	GROUND FAULT INTERRUPTER DUPLEX RECEPTACLE	⬢	UNDER CABINET LIGHT FIXTURE
⚡	QUAD RECEPTACLE	⬢	EXTERIOR FLOOD LIGHT
⚡	WATERPROOF DUPLEX RECEPTACLE	⬢	FAN / INCANDESCENT LIGHT FIXTURE COMBINATION
⚡	DUPLEX RECEPTACLE ON DEDICATED CIRCUIT	⬢	EXHAUST FAN - VENT TO EXTERIOR
⚡	DUPLEX RECEPTACLE - FLOOR MOUNTED	⬢	SMOKE DETECTOR/CARBONMONOXIDE DETECTOR TO BE HARDWIRED, INTERCONNECTED W/ BATTERY BACK-UP IN EACH UNIT.
⚡	TELEPHONE JACK	⬢	
⚡	CABLE TV JACK	⬢	
⚡	DOOR BELL	⬢	

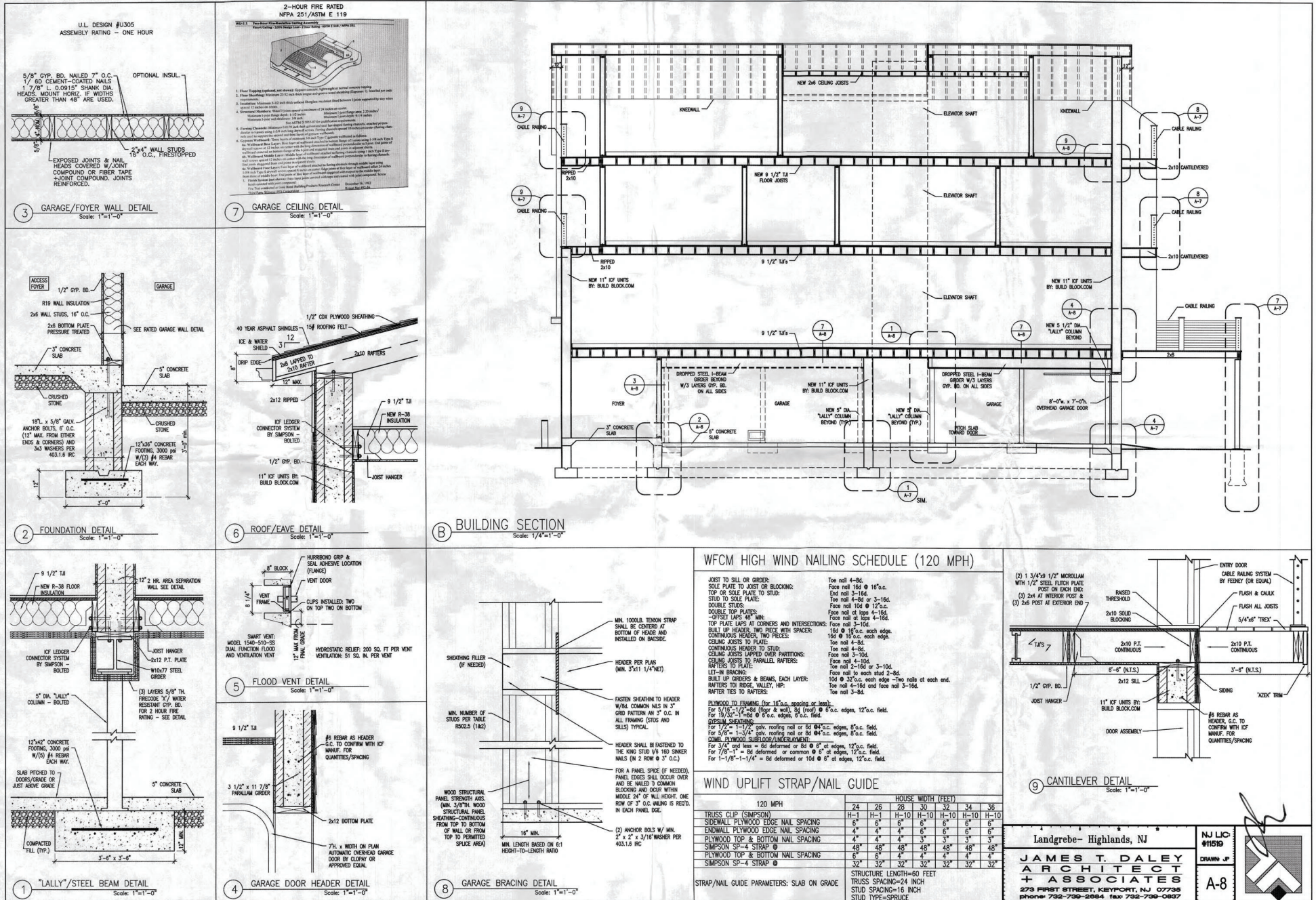
Landgrebe Highlands, NJ

JAMES T. DALEY
ARCHITECT
+ ASSOCIATES
273 FIRST STREET, KEYPORT, NJ 07735
phone: 732-739-2884 fax: 732-739-0837

NJ LIC
#15159

DRAWN: JP

A-4

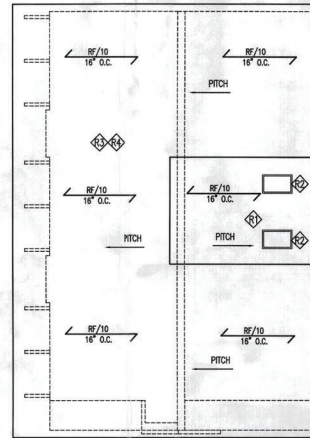






REAR ELEVATION

Scale: 1/4"=1'-0"

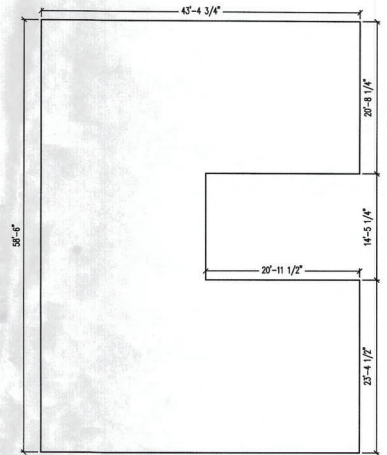


ROOF PLAN

Scale: 1/8"=1'-0"

ROOFING GENERAL/KEY NOTES:

- VERIFY ALL DEMOLITION DIMENSIONS WITH CONSTRUCTION DIMENSIONS ON FLOOR PLANS, COORDINATE AS REQUIRED.
PROTECT ALL EXISTING CONSTRUCTION & MATERIALS AS REQUIRED DURING ALL PHASES OF CONSTRUCTION, COORDINATE WITH OWNER.
INSTALL NEW EXTERIOR ROOFING (40 YEAR ASPHALT, COLOR TO FOLLOW), WITH NEW UNDERLAMENT & GUTTERS THROUGHOUT.
1. NEW METAL STANDING SEAM ROOF - FINISH SPEC. TO FOLLOW.
 2. NEW SKYLIGHTS AS SHOWN.
 3. REFER TO SOLAR PANEL DRAWING FOR LAYOUT: COULBERN EDO X
 4. REFER TO SOLAR PANEL DRAWING FOR LAYOUT: SONENHOT HOT WATER SYSTEM



SOLAR PANEL PLAN

Scale: 1/8"=1'-0"



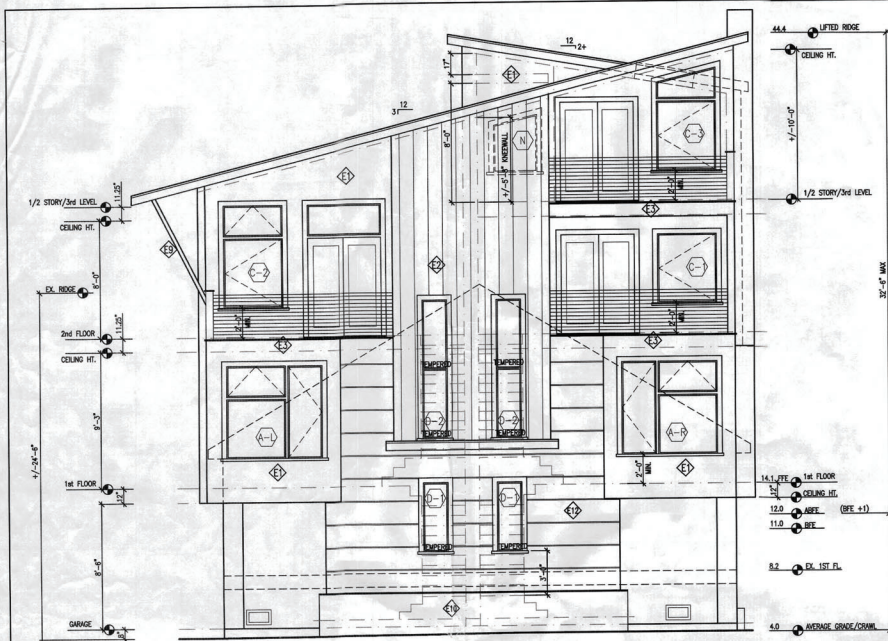
SIDE ELEVATION

Scale: 1/4"=1'-0"

ELEVATION KEY NOTES:

- GENERAL:
VERIFY ALL DEMOLITION DIMENSIONS WITH CONSTRUCTION DIMENSIONS ON FLOOR PLANS, COORDINATE AS REQUIRED.
1. 1/2" COURSE SIDING: FIBER CEMENT OR COMPOSITE BY HARVE, INCHES OR EQUAL.
 2. CORRUGATED VERTICAL METAL (ALUM./STEEL) SIDING IN EXTERIOR ACCENTED VERTICAL AREAS AS SHOWN (SPEC. TO FOLLOW).
 3. FIBERGLASS BALCONY WITH METAL CABLE RAIL SYSTEM (SEE DETAIL).
 4. WOOD BALCONY WITH METAL CABLE RAIL SYSTEM (SEE DETAIL).
 5. WOOD DECK & 36" WIDE WOOD STAIRS W/METAL CABLE RAIL SYSTEM (SEE DETAIL).
 6. 16" WIDE OHD GARAGE DOORS BY CLOPAY OR APPROVED EQUAL.
 7. OPERABLE/ELECTRIC SKYLIGHT WITH RAIN SENSOR CLOSER.
 8. NEW METAL STANDING SEAM ROOF - FINISH SPEC. TO FOLLOW.
 9. 2 1/2"x2 1/2" TUBE STEEL BRACKETS AS SHOWN (FINISH T.B.D.)-TYPICAL FOR 9
 10. CONCRETE PLASTER AS SHOWN.
 11. 50 YEAR ASPHALT ROOF - SEE SOLAR PANEL LAYOUT BY OWNER.
 12. 18" COURSE SIDING: FIBER CEMENT OR COMPOSITE BY HARVE, INCHES OR EQUAL.

Landgrebe- Highlands, NJ		NJ LIC #11519
JAMES T. DALEY ARCHITECT + ASSOCIATES		DRAWN J.P.
273 FIRST STREET, KEYPORT, NJ 07735 phone 732-739-2984 fax 732-739-0637		A-6



FRONT ELEVATION
Scale: 1/4"=1'-0"



SIDE ELEVATION
Scale: 1/4"=1'-0"

WINDOW SCHEDULE

Window No.	Unit Size (NOM.)	Width	Height	Rough Opening	Model Number	Qty.	Window Sides	Grill	Remarks & Options
A	4'-0" x 2'-1"	4'-0"	2'-1"	4'-0" x 6'-3"		1	AWNING FIXED	**	MILLED TOGETHER (FIXED ON RIGHT SIDE) O.A.: 4'-2 1/2" x 6'-3 1/2"
A-L	2'-4" x 6'-3"	2'-4"	6'-3"	4'-0" x 2'-1"		1	CASEMENT AWNING FIXED	**	MILLED TOGETHER (FIXED ON LEFT SIDE) O.A.: 6'-6" x 6'-3 1/2"
A-R	2'-4" x 6'-3"	2'-4"	6'-3"	4'-0" x 2'-1"		2	CASEMENT AWNING FIXED	**	MILLED TOGETHER (FIXED ON RIGHT SIDE) O.A.: 6'-6" x 6'-3 1/2"
B	4'-0" x 2'-1"	4'-0"	2'-1"	4'-0" x 6'-3"		1	AWNING FIXED	**	MILLED TOGETHER (FIXED ON LEFT SIDE) O.A.: 6'-6" x 6'-11 1/2"
C	4'-0" x 4'-8"	4'-0"	4'-8"	4'-0" x 2'-1"		1	CASEMENT CASEMENT	**	MILLED TOGETHER (FIXED ON RIGHT SIDE) O.A.: 6'-6" x 4'-8 1/2"
C-1	4'-0" x 4'-8"	4'-0"	4'-8"	4'-0" x 2'-1"		4	CASEMENT	**	(3) TEMPERED
C-2	4'-0" x 4'-8"	4'-0"	4'-8"	4'-0" x 2'-1"		1	CASEMENT AWNING	**	MILLED TOGETHER O.A.: 4'-0" x 6'-11 1/2"
C-3	4'-0" x 4'-8"	4'-0"	4'-8"	4'-0" x 2'-1"		1	CASEMENT CUST./FIX	**	MILLED TOGETHER O.A.: 4'-0" x 6'-11 1/2"
D-1	1'-8" x 4'-8"	1'-8"	4'-8"	1'-8" x 4'-8"		2	FIXED	**	TEMPERED
D-2	1'-8" x 4'-8"	1'-8"	4'-8"	1'-8" x 4'-8"		2	FIXED	**	MILLED TOGETHER-TEMPERED O.A.: 3'-4" x 9'-4 1/2"
E	2'-4" x 2'-1"	2'-4"	2'-1"	2'-4" x 4'-0"		4	AWNING FIXED	**	MILLED TOGETHER O.A.: 2'-4" x 6'-3 1/2"
F	(2) 2'-4" x 6'-3"	2'-4"	6'-3"	3'-0" x 3'-6"		2	CASEMENT AWNING FIXED	**	MILLED TOGETHER O.A.: 6'-0" x 5'-0"
G	3'-2" x 2'-1"	3'-2"	2'-1"	3'-2" x 2'-1"		4	AWNING	**	
H	2'-4" x 4'-8"	2'-4"	4'-8"	2'-4" x 4'-8"		8	CASEMENT	**	
H-1	2'-4" x 4'-8"	2'-4"	4'-8"	2'-4" x 2'-1"		1	CASEMENT CUST./FIX	**	MILLED TOGETHER O.A.: 2'-4" x 6'-11 1/2"
H-2	2'-4" x 4'-8"	2'-4"	4'-8"	2'-4" x 2'-1"		1	CASEMENT FIXED	**	MILLED TOGETHER O.A.: 3'-0" x 6'-11 1/2"
J	2'-8" x 1'-10"	2'-8"	1'-10"	2'-8" x 1'-10"		2	AWNING	**	TEMPERED
K	3'-0" x 1'-10"	3'-0"	1'-10"	3'-0" x 1'-10"		4	AWNING	**	
L	4'-0" x 1'-10"	4'-0"	1'-10"	4'-0" x 1'-10"		1	AWNING	**	TEMPERED
M	3'-0" x 3'-10"	3'-0"	3'-10"	3'-0" x 3'-10"		1	FIXED	**	CUSTOM ANGLED
N	(2) 2'-4" x 6'-3"	2'-4"	6'-3"	3'-0" x 3'-6"		1	CASEMENT AWNING FIXED	**	MILLED TOGETHER O.A.: 6'-0" x 6'-11 1/2"

ANDERSEN WINDOWS - 400 SERIES - WHITE FINISH INTERIOR/EXTERIOR.
** GRILLE PATTERN AS SHOWN.

ELEVATION KEY NOTES:

- GENERAL:
- VERIFY ALL DIMENSIONAL DIMENSIONS WITH CONSTRUCTION DIMENSIONS ON FLOOR PLANS, COORDINATE AS REQUIRED.
 - 12" COURSE SIDING: FIBER CEMENT OR COMPOSITE BY HARDIE, NICHIA OR EQUAL.
 - CORRUGATED VERTICAL METAL (ALUM./STEEL) SIDING IN EXTERIOR VERTICAL AREAS AS SHOWN (SPEC. TO FOLLOW).
 - FIBERGLASS BALCONY WITH METAL CABLE RAIL SYSTEM (SEE DETAIL).
 - WOOD BALCONY WITH METAL CABLE RAIL SYSTEM (SEE DETAIL).
 - WOOD DECK & 36" WIDE WOOD STAIRS W/METAL CABLE RAIL SYSTEM (SEE DETAIL).
 - 16" WIDE CHD GARAGE DOORS BY CLOPAY OR APPROVED EQUAL.
 - OPERABLE/ELECTRIC SKYLIGHT WITH RAIN SENSOR CLOSER.
 - NEW METAL STANDING SEAM ROOF - FINISH SPEC. TO FOLLOW.
 - 2 1/2" x 1/2" TUBE STEEL BRACKETS AS SHOWN (FINISH I.B.S.) - TYPICAL FOR 8
 - CONCRETE PLANTER AS SHOWN.
 - 50 YEAR ASPHALT ROOF - SEE SOLAR PANEL LAYOUT BY OWNER.
 - 12" COURSE SIDING: FIBER CEMENT OR COMPOSITE BY HARDIE, NICHIA OR EQUAL.

Landgrebe- Highlands, NJ		NJ LIC #11519
JAMES T. DALEY ARCHITECT + ASSOCIATES		DRAWN BY
273 FIRST STREET, KEYPORT, NJ 07705 phone 732-739-2554 fax 732-739-0837		A-5

BANK OF AMERICA

UNITED SOLAR LLC | Account # 3810 5219 3875 | July 1, 2021 to July 31, 2021

Check images

Account number: 3810 5219 3875

Check number: 1121 | Amount: \$378.00

Check number: 1132 | Amount: \$700.00

Check number: 1133 | Amount: \$4,000.00

Check number: 1134 | Amount: \$1,000.00

Check number: 1136 | Amount: \$4,000.00

Check number: 1137 | Amount: \$1,183.63

Check number: 1138 | Amount: \$1,300.00

Check number: 1140 | Amount: \$4,000.00

Check number: 1142 | Amount: \$32.45

Check number: 1143 | Amount: \$1,210.00

Withdrawals and other debits - continued

Date	Description	Amount
07/30/21	CHECKCARD 0729 WESTGUARD INS CO 800-673-2465 PA 24493981210206110204058 CKCD 6300 XXXXXXXXXXXX1792 XXXX XXXX XXXX 1792	-5,880.40
07/30/21	CHECKCARD 0729 WAWA 8302 00083022 PARSIPPANY NJ 24164071210637000521870 CKCD 5542 XXXXXXXXXXXX1792 XXXX XXXX XXXX 1792	-34.46
07/30/21	CHECKCARD 0729 POINT WWW.POINT.APPCA 24492161210000018296526 CKCD 4829 XXXXXXXXXXXX1792 XXXX XXXX XXXX 1792	-2,000.00
Subtotal for card account # XXXX XXXX XXXX 1792		- \$39,661.82
Total withdrawals and other debits		- \$60,180.82

Checks

Date	Check #	Amount
07/08/21	1121	-378.00
07/02/21	1132*	-700.00
07/02/21	1133	-4,000.00
07/02/21	1134	-1,000.00
07/06/21	1136*	-4,000.00
07/09/21	1137	-1,183.63
07/08/21	1138	-1,300.00
07/12/21	1140*	-4,000.00

Date	Check #	Amount
07/21/21	1142*	-32.45
07/15/21	1143	-1,210.00
07/15/21	1144	-500.00
07/23/21	1145	-4,250.00
07/23/21	1146	-2,000.00
07/26/21	1147	-3,900.00
07/27/21	1148	-3,000.00
07/29/21	1150*	-3,250.00
Total checks		- \$34,704.08
Total # of checks		16

* There is a gap in sequential check numbers

Service fees**Your Overdraft and NSF: Returned Item fees for this statement period and year to date are shown below.**

	Total for this period	Total year-to-date
Total Overdraft fees	\$0.00	\$35.00
Total NSF: Returned Item fees	\$0.00	\$0.00

We want to help you avoid overdraft and returned item fees. Here are a few ways to manage your account and stay on top of your balance:

- Set up Overdraft Protection in Online Banking to avoid declined transactions and save on overdraft fees
- Sign up for Alerts (footnote 1) to get an email or text message when your balance becomes low

Please call us or visit us if you have any questions or to discuss your options.

(footnote 1) You may elect to receive alerts via text or email. Bank of America does not charge for this service but your mobile carrier's message and data rates may apply. Delivery of alerts may be affected or delayed by your mobile carrier's coverage.

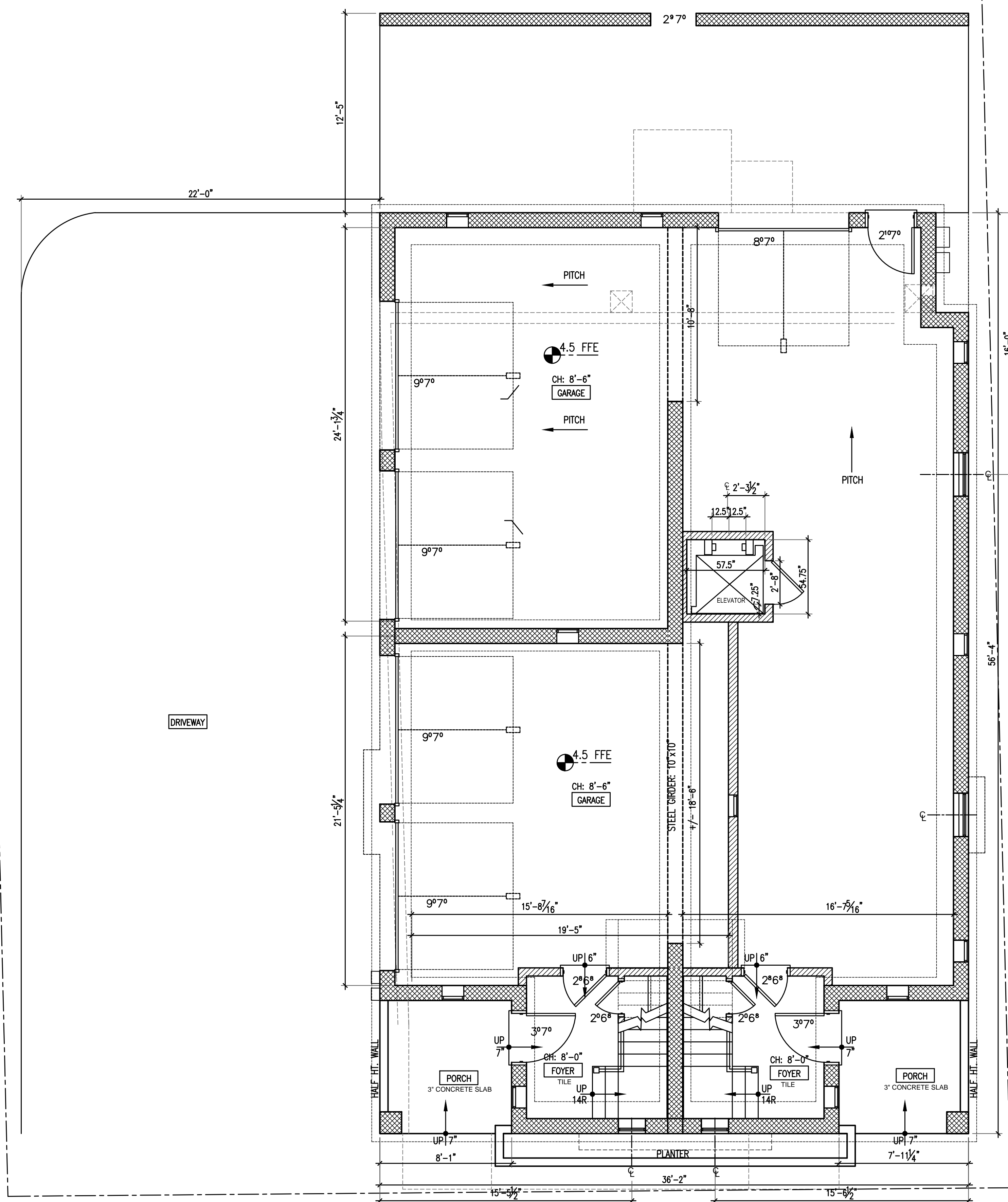
The Monthly Fee on your primary Business Advantage Relationship Banking account was waived for the statement period ending 06/30/21. A check mark below indicates the requirement(s) you have met to qualify for the Monthly Fee waiver on the account.

- ✓ \$15,000+ combined average monthly balance in linked business accounts has been met
- ✓ Become a member of Preferred Rewards for Business has been met

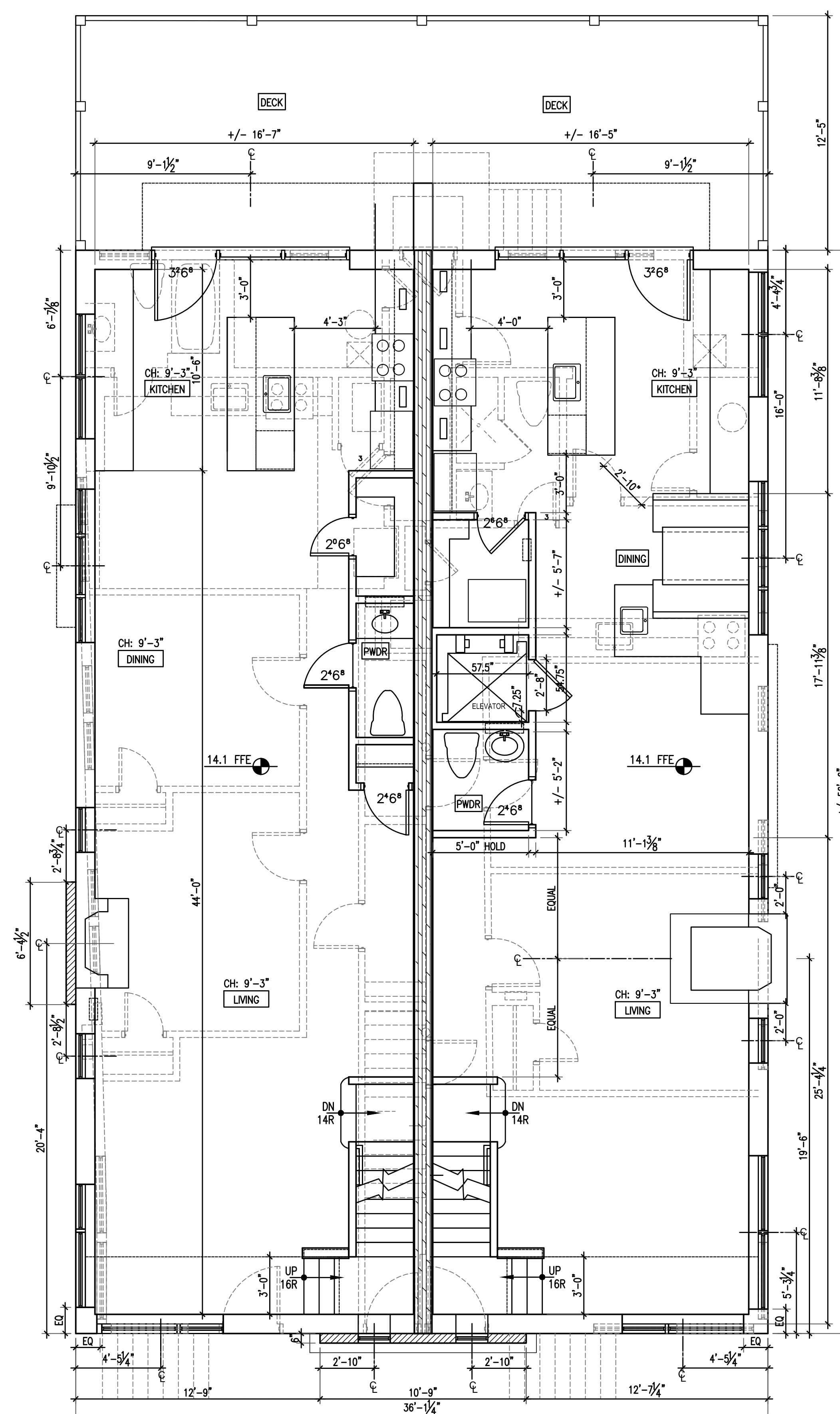
For information on how to open a new product, link an existing service to your account, or about Preferred Rewards for Business please call 1.888.BUSINESS or visit bankofamerica.com/smallbusiness.

continued on the next page

75



FOUNDATION PLAN
Scale: 1/4"=1'-0"



FIRST FLOOR PLAN
Scale: 1/4"=1'-0"

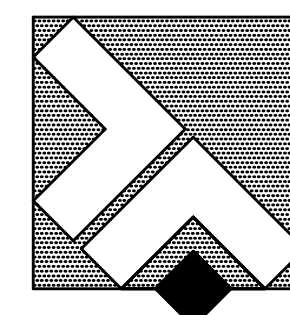
Landgrebe- Highlands, NJ

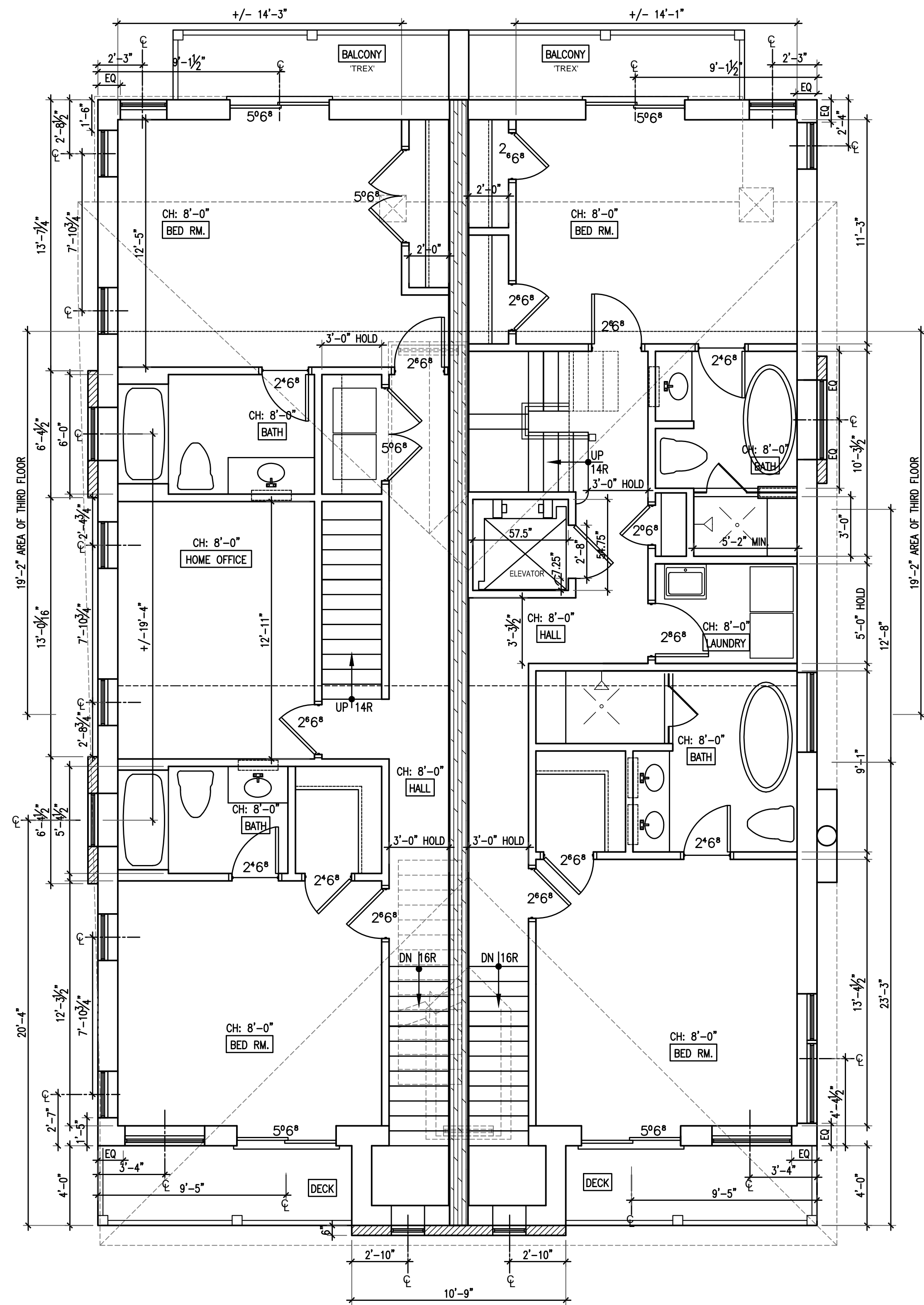
JAMES T. DALEY
ARCHITECT
+ ASSOCIATES
273 FIRST STREET, KEYPORT, NJ 07735
phone: 732-739-2684 fax: 732-739-0837

NJ LIC.
#11519

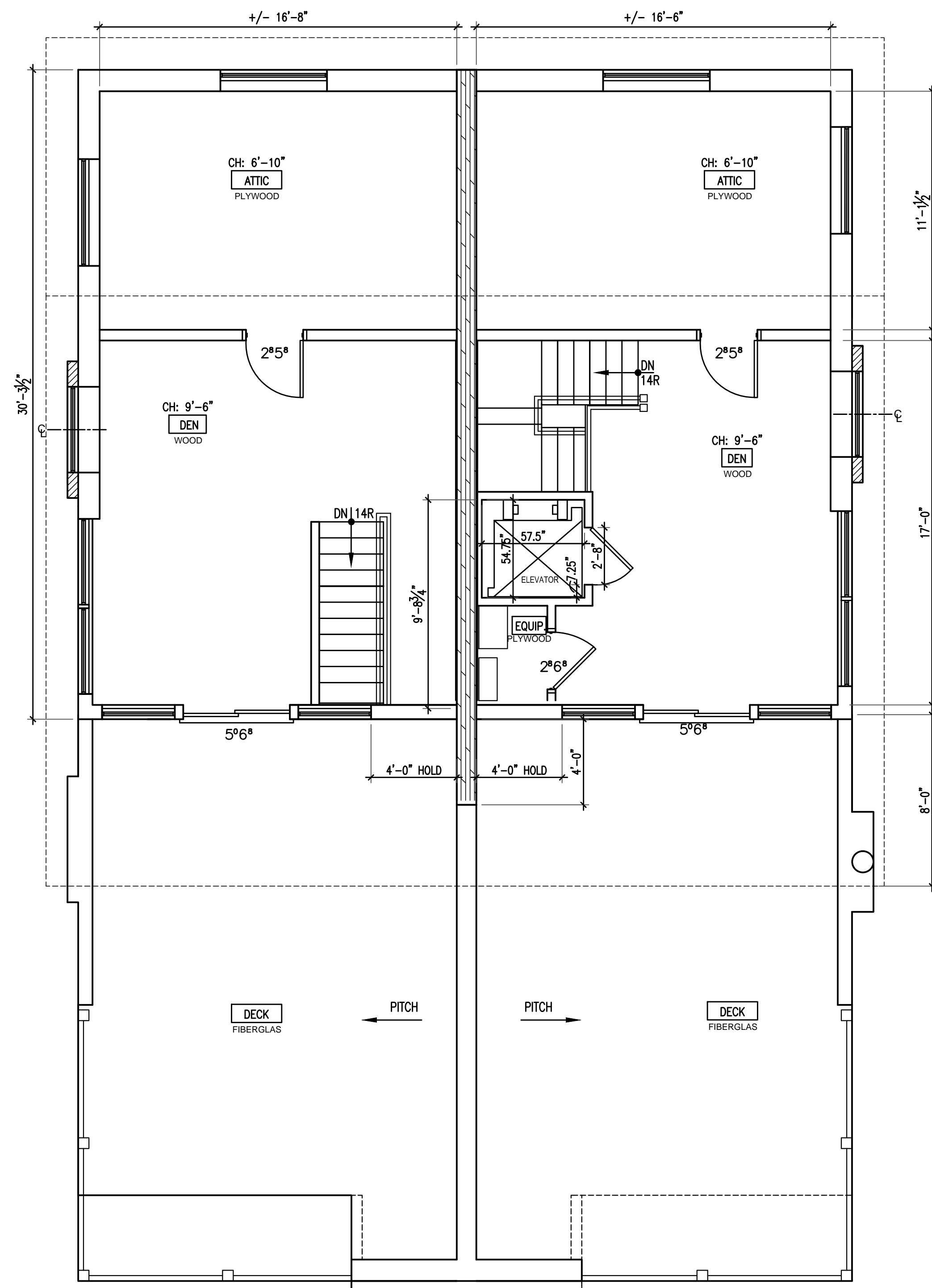
DRAWN: JP

A-2





SECOND FLOOR PLAN
Scale: 1/4"=1'-0"



1/3 FLOOR PLAN
Scale: 1/4"=1'-0"

Landgrebe- Highlands, NJ		NJ LIC: #11519	
JAMES T. DALEY ARCHITECT + ASSOCIATES		DRAWN: JP	
273 FIRST STREET, KEYPORT, NJ 07735		A-3	
phone: 732-739-2684 fax: 732-739-0837			



FRONT ELEVATION
Scale: 1/4"=1'-0"

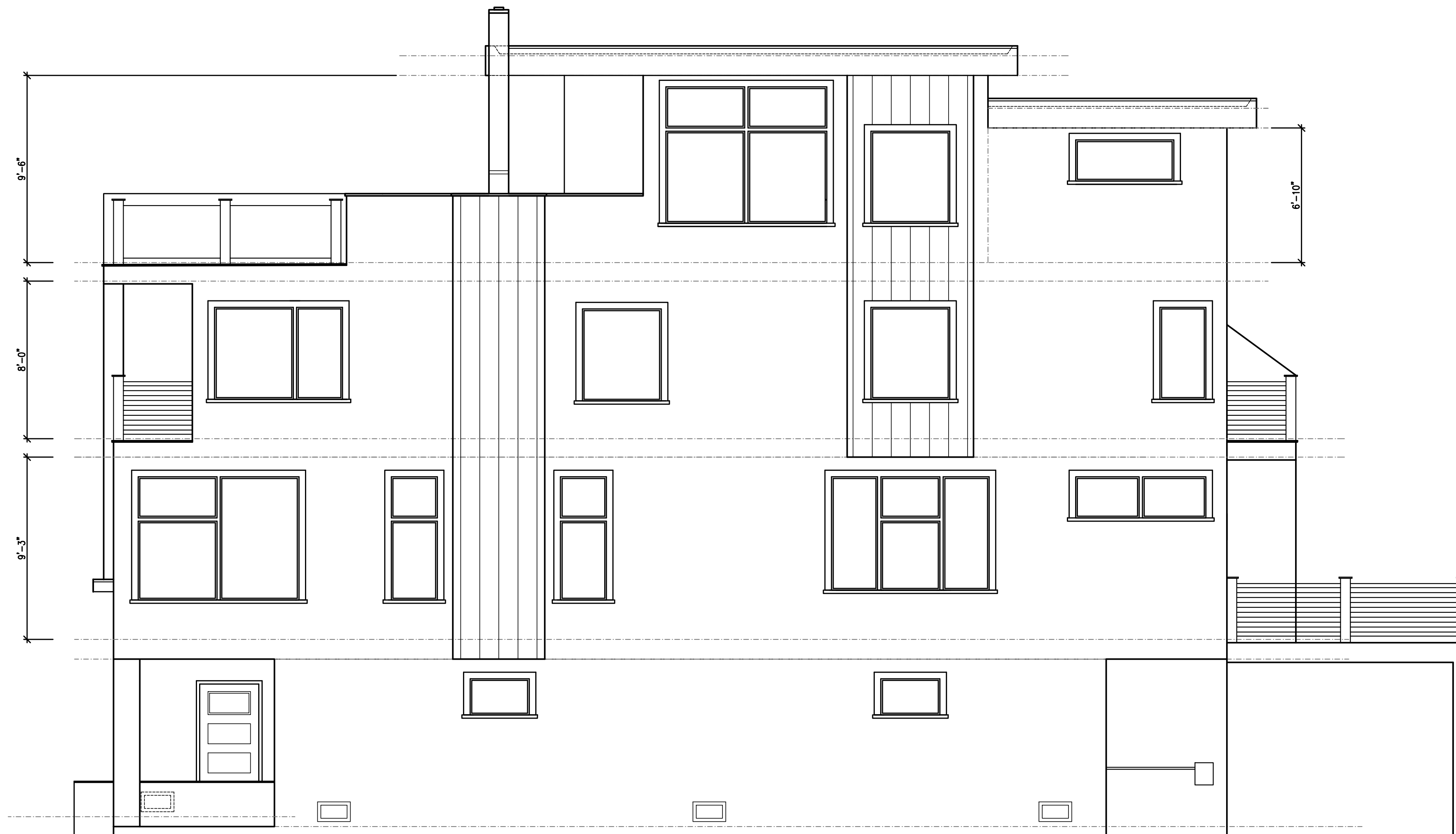


SIDE ELEVATION
Scale: 1/4"=1'-0"

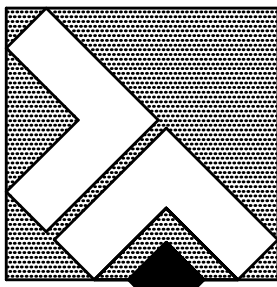
Landgrebe- Highlands, NJ		NJ LIC: #11519	
JAMES T. DALEY ARCHITECT + ASSOCIATES		DRAWN: JP	
273 FIRST STREET, KEYPORT, NJ 07735 phone: 732-739-2684 fax: 732-739-0837		A-4	

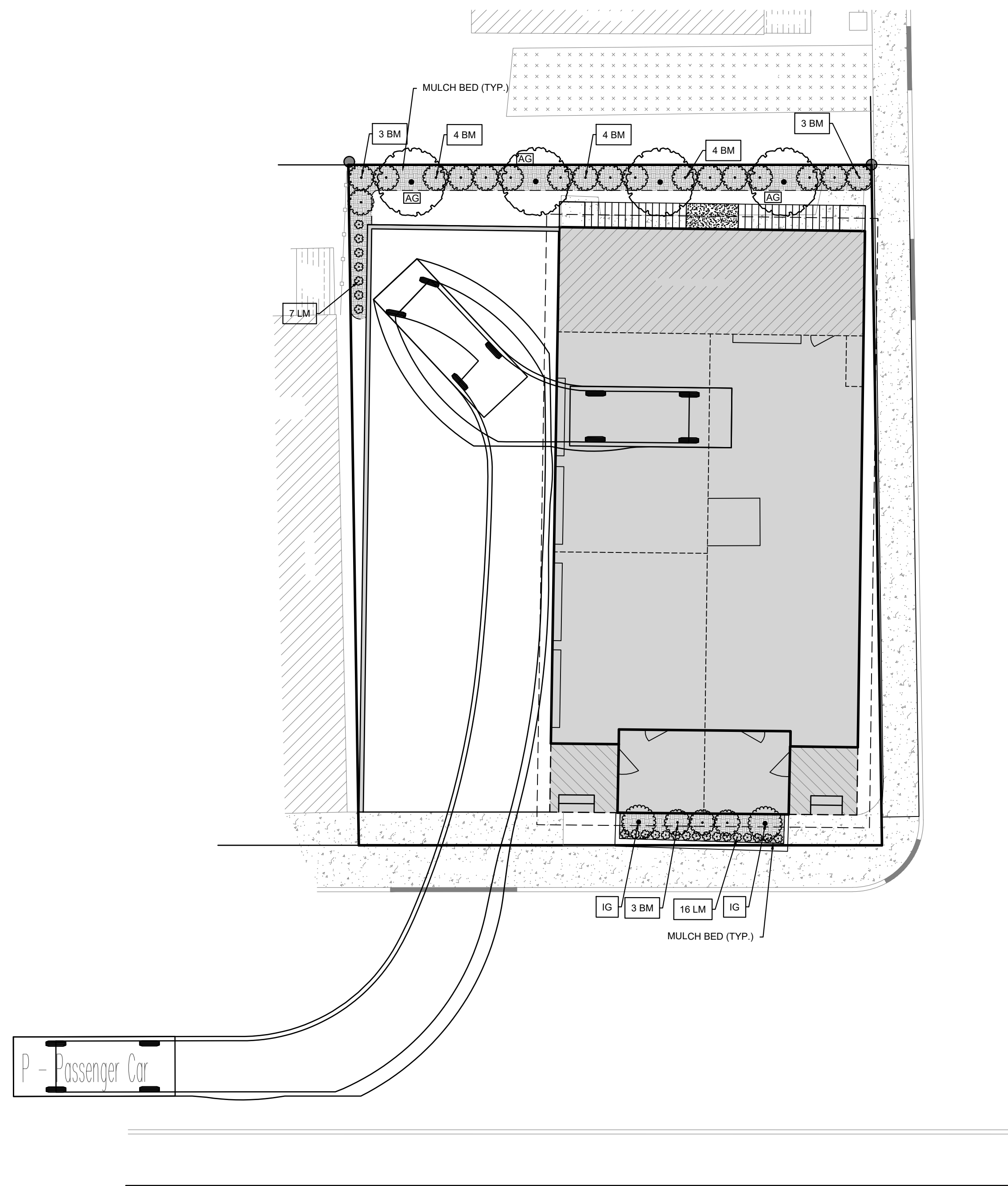


REAR ELEVATION
Scale: 1/4"=1'-0"



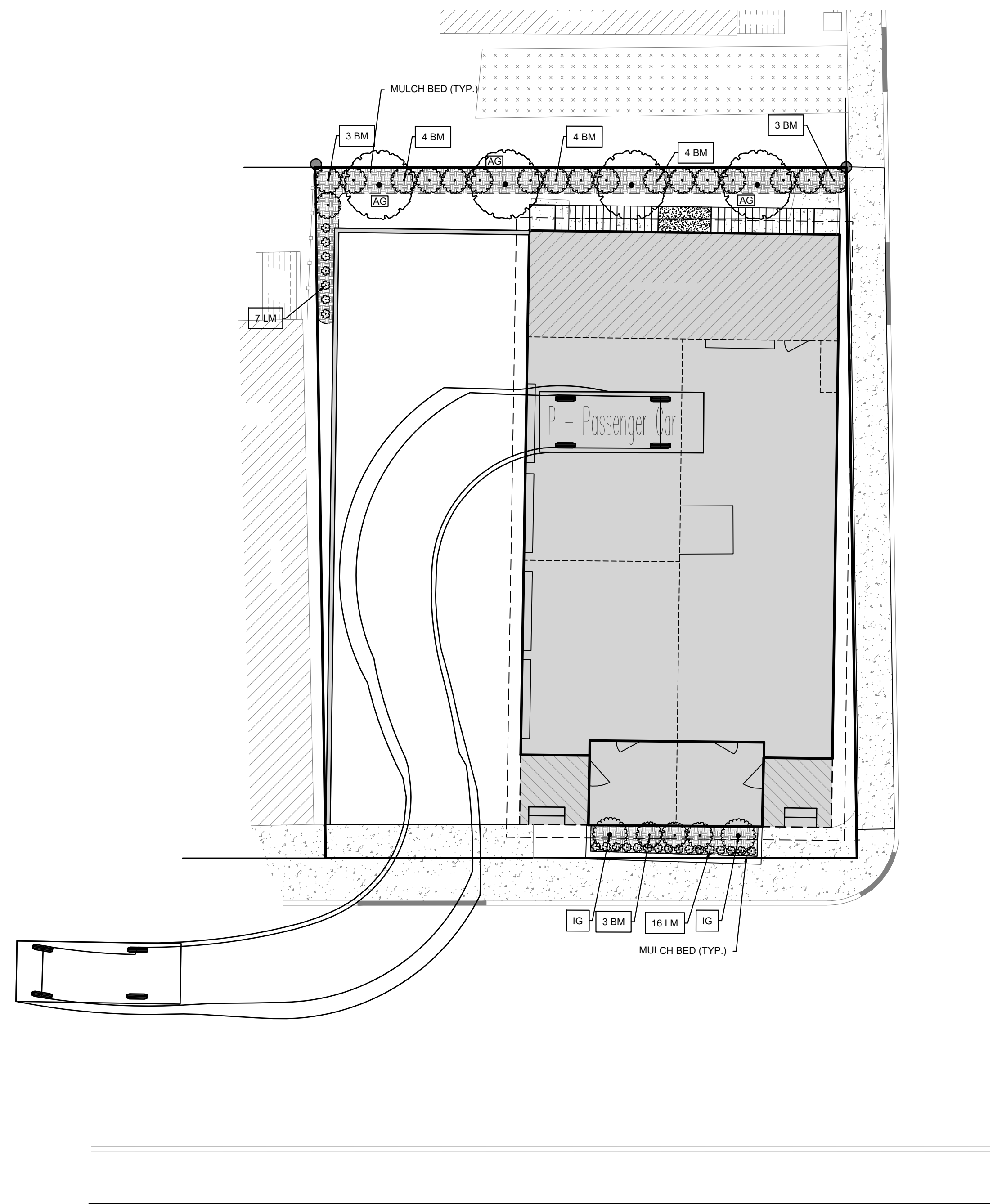
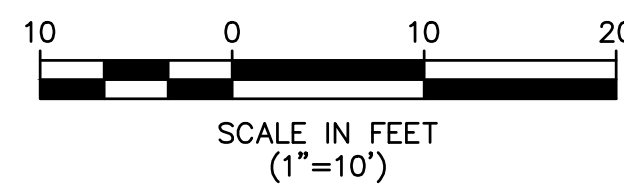
SIDE ELEVATION
Scale: 1/4"=1'-0"

Landgrebe- Highlands, NJ		NJ LIC: #11519	
JAMES T. DALEY ARCHITECT + ASSOCIATES		DRAWN: JP	
273 FIRST STREET, KEYPORT, NJ 07735 phone: 732-739-2684 fax: 732-739-0837		A-5	



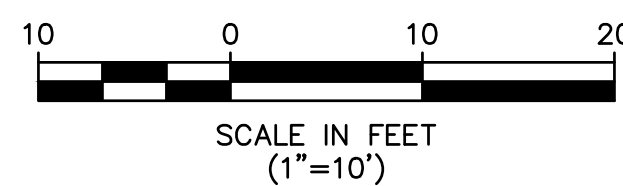
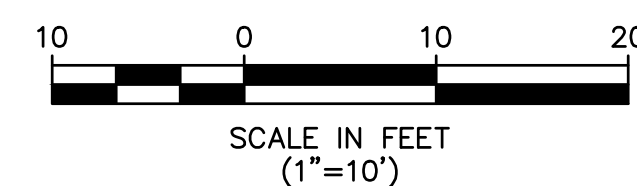
STANDARD VEHICLE

SCALE: 1"=10'



STANDARD VEHICLE

SCALE: 1"=10'



ABBREVIATION
T.C./B.C. - TOP/BOTTOM CURB GRADE
T.W./B.W. - TOP/BOTTOM WALL
F.F.E. - FIRST FLOOR ELEVATION
B.F.E. - BASEMENT FLOOR ELEVATION
G.F.E. - GARAGE FLOOR ELEVATION
T.B.R. - TO BE REMOVED
N.T.S. - NOT TO SCALE

LEGEND	
EXISTING	PROPOSED
--- TREE LINE	--- TREE LINE
--- FENCE LINE	--- FENCE LINE
--- WATER LINE	--- WATER LINE
--- SANITARY SEWER LINE	--- SANITARY SEWER LINE
--- SANITARY CLEANOUT	--- SANITARY CLEANOUT
--- MANHOLE	--- MANHOLE
--- GAS LINE	--- GAS LINE
--- INLET	--- INLET
--- CONTOURS	--- CONTOURS
--- MINOR	--- MINOR
--- MAJOR	--- MAJOR
--- SPOT ELEVATION	--- SPOT ELEVATION
--- SURFACE FLOW DIRECTION	--- SURFACE FLOW DIRECTION
--- LIMIT OF DISTURBANCE	--- LIMIT OF DISTURBANCE
--- SILT FENCE	--- SILT FENCE

PREPARED FOR: SOLAR POWERED 44, LLC

APP #25-10

MORGAN
engineering & surveying

P.O. BOX 5232
TOMS RIVER, N.J. 08754
TEL: 732-270-9690
FAX: 732-270-9691
www.morganengineeringllc.com

DONNA M. BULLOCK
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE No. 41931

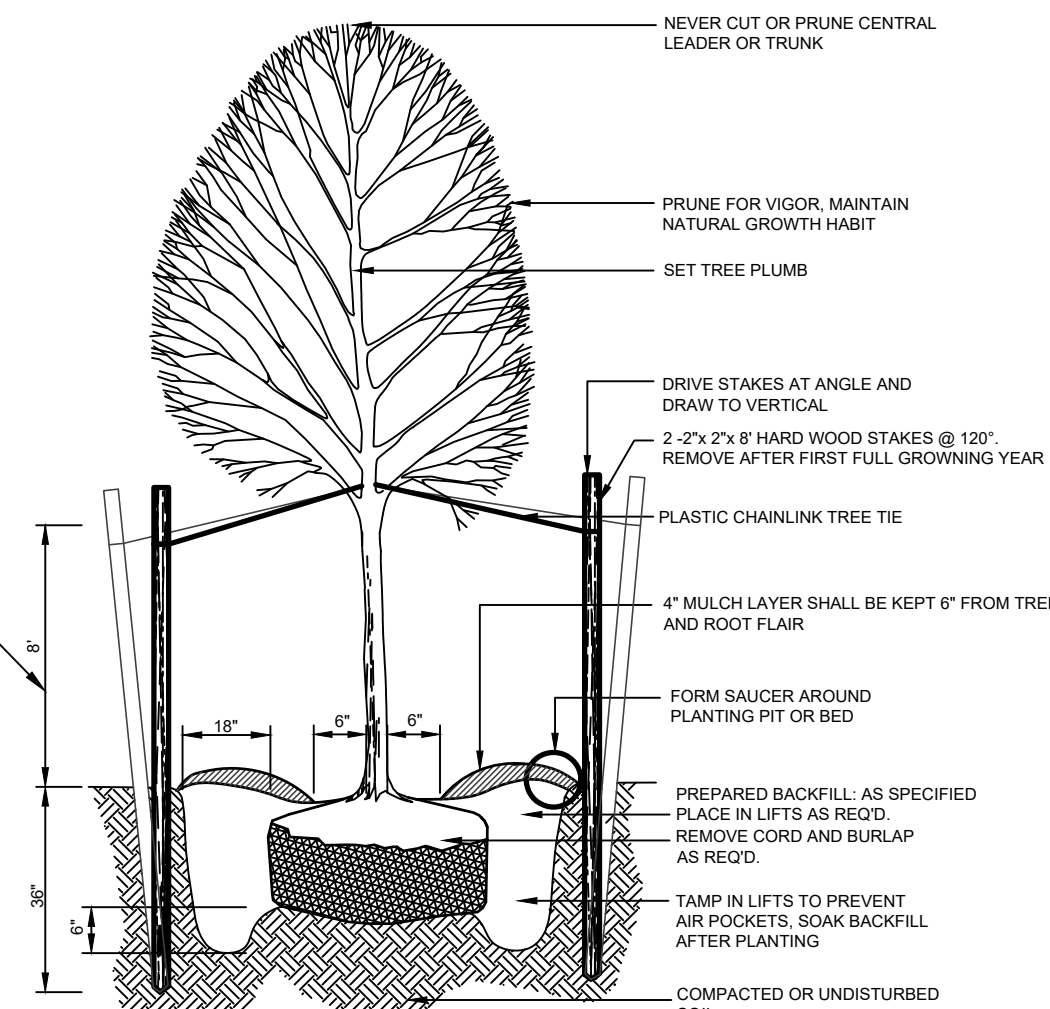
REV	DATE	DESCRIPTION	BY
VEHICLE CIRCULATION PLAN			
44 MILLER STREET			
LOT 7.01		BLOCK 58	
BOROUGH OF HIGHLANDS			
COUNTY OF MONMOUTH		NEW JERSEY	
Scale: 1"=10'	Drawn By: DTP	Date: 11/17/25	Job #: E25-00271
VARIANCE PLAN		Sheet #: 2	OF 3

LANDSCAPING AND PLANTING NOTES:

- THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANT MATERIALS SHOWN ON THE DRAWINGS, AS SPECIFIED, AND IN QUANTITIES INDICATED ON THE PLANT LIST. THE OWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.
- STANDARDS: ALL PLANTS SHALL BE IN CONFORMANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. WITH REGARD TO SIZING AND DESCRIPTION.
- QUALITY: ALL PLANTS SHALL BE NURSERY GROWN AND HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE LOCALITY OF THE PROJECT. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH. THEY SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE AND INSECT PESTS, EGGS, LARVAE. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS.
- SUBSTITUTIONS: WHEN PLANTS OF A SPECIFIED KIND OR SIZE ARE NOT AVAILABLE WITHIN REASONABLE DISTANCE, SUBSTITUTIONS MAY BE MADE UPON REQUEST BY THE CONTRACTOR, IF APPROVED BY THE TOWNSHIP ENGINEER.
- SIZE: ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED ON THE PLANT LIST UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE TOWNSHIP ENGINEER.
- PRUNING: EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSERYMEN, INC. STANDARDS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED.
- ROOT SYSTEMS: BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH OF DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS. CONTAINER GROWN STOCK SHALL HAVE BEEN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER FIRM AND WHOLE. NO PLANTS SHALL BE LOOSE IN THE CONTAINER OR BALL.
- PROTECTOR: ROOTBALLS, TRUNKS, BRANCHES AND FOLIAGE OF PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS OR FROST. PLANTS WITH BROKEN ROOT BALLS OR EXCESS DAMAGE TO THE CROWN SHALL BE REPLACED, IN KIND, PRIOR TO INSTALLATION.
- MULCH/LOOSE STONE: IMMEDIATELY FOLLOWING PLANT INSTALLATION ALL TREE AND SHRUB PLANTING PITS SHALL BE COVERED WITH SHREDED HARDWOOD MULCH OR OTHER MATERIAL APPROVED BY THE TOWNSHIP ENGINEER. THE LIMITS OF THIS MULCH FOR DECIDUOUS TREES AND SINGLE EVERGREEN TREES SHALL BE THE AREA OF THE PIT. FOR EVERGREEN TREES CLUSTER OR SHRUB MASSES.
- ANTI-DESICCANT SPRAY: TREES AND WHEN PLANTED IN LEAF SHALL BE TREATED WITH ANTI-DESICCANT SUCH AS "WILT PROOF".
- PLANTING MIX BEFORE BACKFILLING: THE TOPSOIL BACKFILL MIXTURE SHALL BE PREPARED AND MIXED TO THE FOLLOWING PROPORTIONS: DECIDUOUS PLANTS - TWO PARTS BY VOLUME OF TOPSOIL, ONE PART ORGANIC FERTILIZER, ONE PART BONE MEAL, PER CUBIC YARD. EVERGREEN PLANTS - THREE PARTS BY VOLUME OF TOPSOIL AND ONE PART ORGANIC COMPOST. FERTILIZER - TO THE ABOVE MIXTURES, ADD THREE POUNDS OF SPECIFIED COMMERCIAL FERTILIZER FOR TREES UP TO THREE INCHES IN CALIPER AND ONE POUND PER INCH OF CALIPER FOR LARGER TREES. SHRUBS SHALL BE FERTILIZED WITH SIX (6) OUNCES OF FERTILIZER FOR SHRUBS FOUR FEET (4') AND OVER.
- STAKING AND GUYING: ALL TREES SHALL BE STAKED AND GUYED ACCORDING TO ACCEPTED INDUSTRY PRACTICE.
- LAYOUT: THE CONTRACTOR SHALL LAY OUT WITH IDENTIFIABLE STAKES. THE LOCATION OF ALL PLANTS AND THE ARRANGEMENT OF PLANTING BEDS AS INDICATED ON THE DRAWINGS. THE LAYOUT OF PLANTING SHALL BE APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO ANY EXCAVATION OF PLANTING PITS OR PREPARATION OF PLANTING BEDS. ALL PLANTING SHALL BE THE LOCATIONS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT THE CORRECT GRADES, ALIGNMENT AND LAYOUT OF PLANTING BEDS. MINOR ADJUSTMENTS TO TREE LOCATIONS MAY BE NECESSARY DUE TO FIELD CONDITIONS AND FINAL GRADING. THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP ENGINEER IF MAJOR ADJUSTMENTS ARE ANTICIPATED.
- ADVERSE CONDITIONS: THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP ENGINEER IN WRITING OF ANY SOIL OR DRAINAGE CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO PLANT GROWTH. THE DOCUMENTED CONDITIONS SHALL INCLUDE A PROPOSAL FOR CORRECTING THE SITUATION, INCLUDING ANY CHANGE IN COST FOR REVIEW AND ACCEPTANCE BY THE TOWNSHIP ENGINEER.
- QUANTITY: THE QUANTITY OF PLANTS INDICATED IN THE PLANT SCHEDULE IS FOR GENERAL REFERENCE ONLY. THE CONTRACTOR SHALL OBTAIN QUANTITIES FOR PRICING BY COMPILING NUMBERS FROM THE PLANTS ILLUSTRATED ON THE DRAWINGS. SHOULD THERE BE A DISCREPANCY BETWEEN THE DRAWINGS AND THE PLANT SCHEDULE, THE QUANTITIES ILLUSTRATED ON THE DRAWINGS SHALL TAKE PRECEDENCE.
- GUARANTEE: ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR FOR A TWO (2) YEARS FROM THE DATE OF INSTALLATION. THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE UNLESS OTHERWISE AGREED BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MONITOR THE PROJECT DURING THE GUARANTEE PERIOD AND NOTIFY THE OWNER IN WRITING IF PROBLEMS ARE OCCURRING OR SITUATIONS DEVELOP THAT APPEAR DETRIMENTAL TO THE PLANT MATERIAL. ANY PLANT MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE TO THE OWNER. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK OR THERE IS 25% OF THE CROWN DEAD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND MAINTAINING ALL LANDSCAPING AND VEGETATION DURING THE DURATION OF CONSTRUCTION AND UNTIL FINAL PAYMENT.
- ROOT BALLS SHALL BE PLACED ATOP UNDISTURBED SUBGRADE.
- NO CHEMICAL FERTILIZER SHALL BE ADDED UNTIL THE TREE HAS BEEN PLANTED FOR ONE(1) YEAR.
- NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS SPOIL, EXCEPT AS MAY BE PROVIDED FOR IN A SOIL REMOVAL PERMIT. ALL TOPSOIL SHALL BE REDISTRIBUTED ON-SITE. ALL REGARDED AREAS AND LAWN AREAS SHALL BE COVERED BY A FOUR (5) INCH MINIMUM THICKNESS OF TOPSOIL PER SOIL EROSION REGULATIONS. SHEET 7-8.
- NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN PROTECTED ROOT ZONE OF ANY TREE OR SHRUB PER SOIL EROSION REGULATIONS.
- ALL TREE STUMPS AND OTHER TREE PARTS ARE TO BE REMOVED FROM THE SITE. NO TREE STUMPS, PORTIONS OF A TREE TRUNKS OR LIMBS SHALL BE BURIED ANYWHERE IN THE DEVELOPMENT.
- THE DEVELOPER SHALL SELECTIVELY THIN AND REMOVE ALL DEAD AND DYING VEGETATION.
- THE HOLE IN WHICH THE TREE IS TO BE PLANTED MUST BE 1/2" LARGER IN WIDTH AND DEPTH THAN THE ROOT BALL.
- THE NURSERY SHALL ATTACH IDENTIFICATION TAGS OF THE EXACT VARIETY OF VEGETATION TO AT LEAST ONE PLANT OF EACH VARIETY.
- TREE PROTECTION SHALL BE IN CONFORMANCE WITH SOIL EROSION STANDARDS AND APPROVED SOIL EROSION PLANS AS PART OF THIS SET.
- SHADE TREES SHALL HAVE NO BRANCHES LOWER THAN 7 FEET ABOVE GRADE.
- ALL DEAD OR SEVERELY DECLINING PLANTS SHALL BE REPLANTED WITHIN THE NEXT GROWING SEASON FOR 1 YEAR FROM THE TIME OF PLANTING.
- ALL STAKES AND GUYS SHALL BE REMOVED AFTER ONE GROWING SEASON.
- BURLAP AND TWINE SHALL BE REMOVED FROM THE TOP OF THE ROOT BALL.
- ADDITIONAL PLANTINGS MAY BE PROPOSED IN THE BUFFER AREAS IF THE TOWNSHIP ENGINEER REQUIRES AFTER CLEARING AND CONSTRUCTION OF THE BUILDING.
- A TREE REMOVAL PERMIT SHALL BE OBTAINED PRIOR TO THE REMOVAL OF ANY TREES.

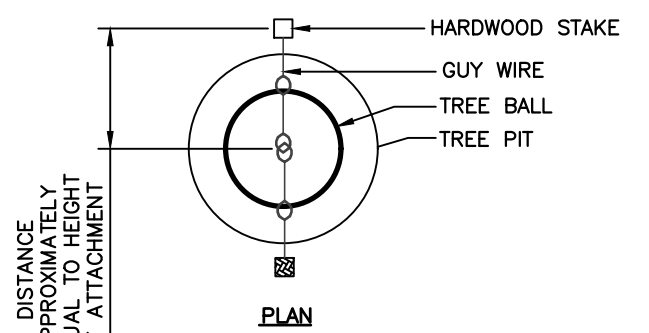
LANDSCAPE SCHEDULE

QUANTITY	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENT
4	AG	4	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	3'-4" B & B
18	BM	18	BUXUS MICROPHYLLA	LITTLELEAF BOXWOOD	12"-18" CONT.
2	IG	2	ILEX GLABRA	INKBERRY HOLLY	21"-24" CONT.
7	LM	7	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	21"-24" CONT.



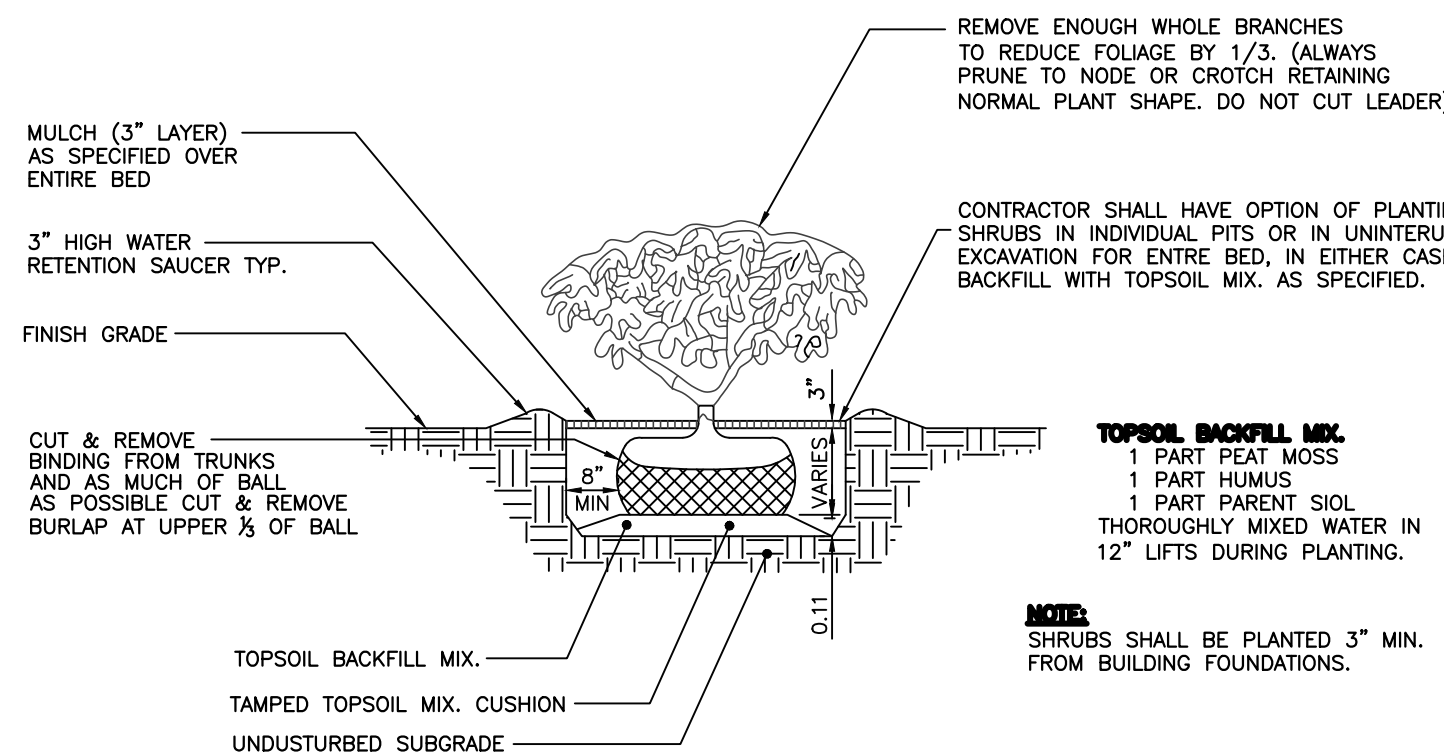
DECIDUOUS TREE PLANTING

N.T.S.



NOTE:

- CENTRAL LEADER SHALL NOT BE CUT
- ON SLOPES, PLACE SINGLE STAKE DOWNHILL
- CONTRACTOR SHALL PARTIALLY FILL W/ WATER A REPRESENTATIVE # OF PITS IN EACH AREA OF THE PROJECT PRIOR TO PLANTING TO DETERMINE IF THERE IS ADEQUATE PERCOLATION. IF THE PIT DOESN'T PERCOLATE, MEASURE MUST BE TAKEN TO ASSURE PROPER DRAINAGE BEFORE PLANTING.
- CONTRACTOR SHALL REMOVE STAKING, GUYING, & WRAP AT END OF GUARANTEE PERIOD. ALL PLANTING MUST BE GUARANTEED FOR ONE FULL GROWING SEASON FROM THE TIME OF FINAL ACCEPT. BY THE TOWNSHIP ENGINEER.



SHRUB PLANTING

N.T.S.

PREPARED FOR: SOLAR POWERED 44, LLC

APP #25-10

CERTIFICATE OF AUTHORIZATION: 24GA28229800



P.O. BOX 5232
TOMS RIVER, N.J. 08754
TEL: 732-270-9690
FAX: 732-270-9691
www.morganengineeringllc.com

Donna M. Bullock
DONNA M. BULLOCK
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE NO. 41931

REV	DATE	DESCRIPTION	BY

LANDSCAPE PLAN & DETAILS

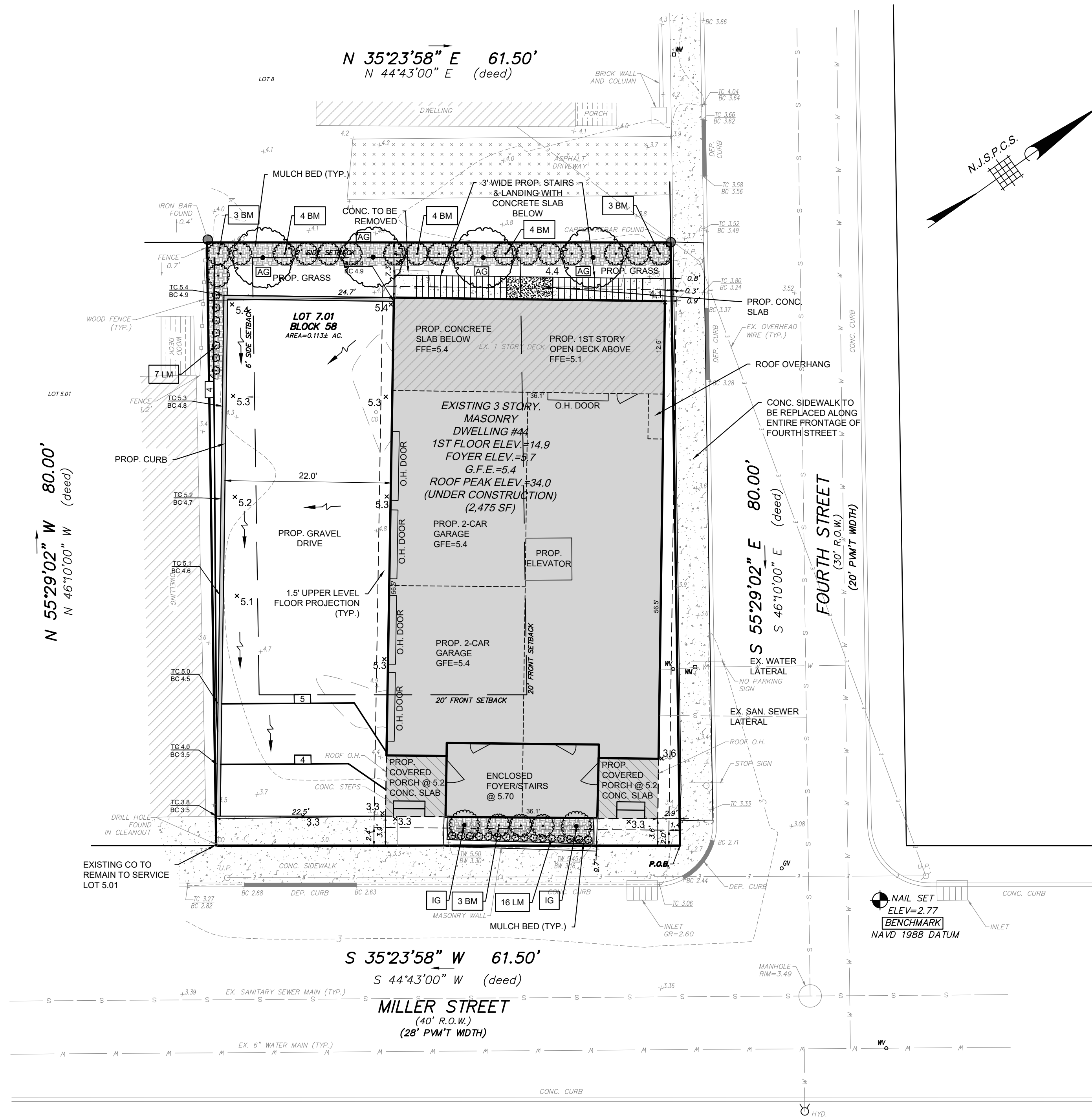
LOT 7.01 BLOCK 58

44 MILLER STREET

BOROUGH OF HIGHLANDS

COUNTY OF MONMOUTH NEW JERSEY

Scale: 1"=10' Drawn By: Date: 11/17/25 JOB #: E25-0027D CAD File #: Sheet #: 3 OF 3
VARIANCE PLAN



NOTES:

- EXPANSION JOINTS SHALL BE CONSTRUCTED 20' ON CENTER, AND CONTRACTION JOINTS SHALL BE CONSTRUCTED 10' ON CENTER.

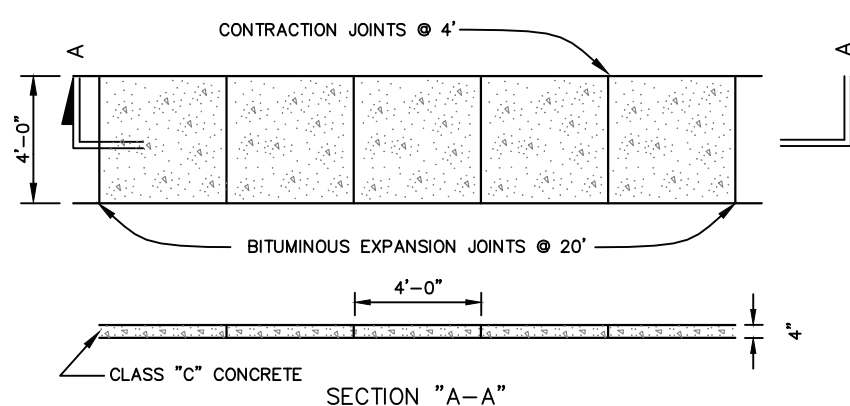
TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS IMPREGNATED FIBER FILLER, COMPLYING WITH ALL OF THE REQUIREMENTS OF AASHTO SPEC. M 213, RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB. ALL JOINTS TO BE FULL DEPTH OF 18".

CONCRETE CURB DETAIL

N.T.S.

PROPOSED STONE DRIVEWAY SECTION

N.T.S.

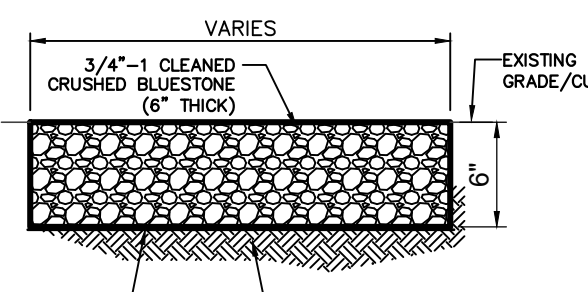
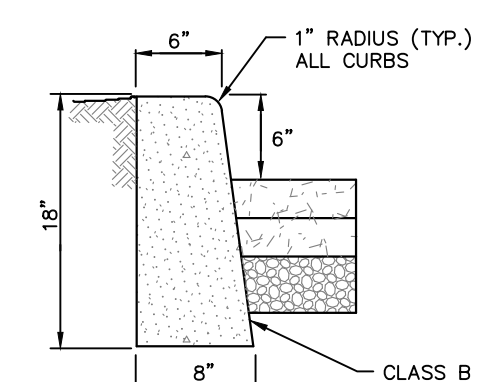


SIDEWALK NOTES:

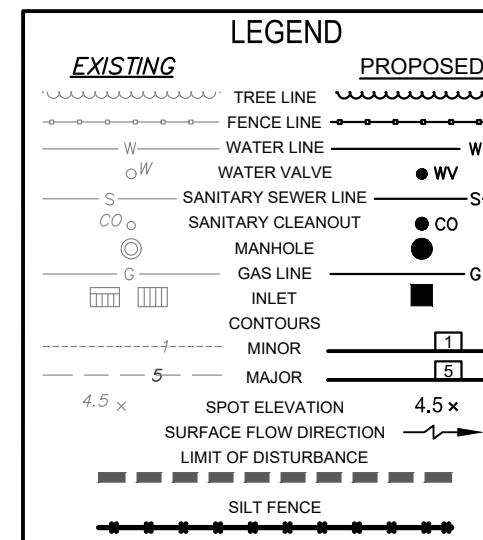
- A PREFORMED, BITUMINOUS EXPANSION JOINT 1/2" THICK, 4" WIDE, AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY 20 FEET. CONTRACTION JOINTS SHALL BE INSTALLED EVERY 4 FEET THE FULL WALK WIDTH.
- THERE SHALL BE A FLOAT FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL.

SIDEWALK DETAIL

N.T.S.



ABBREVIATION
T.O.B. - TOP/BOTTOM CURB GRADE
T.W. / B.W. - TOP/BOTTOM WALL
F.F.E. - FIRST FLOOR ELEVATION
B.F.E. - BASEMENT FLOOR ELEVATION
G.F.E. - GARAGE FLOOR ELEVATION
T.B.R. - TO BE REMOVED
N.T.S. - NOT TO SCALE

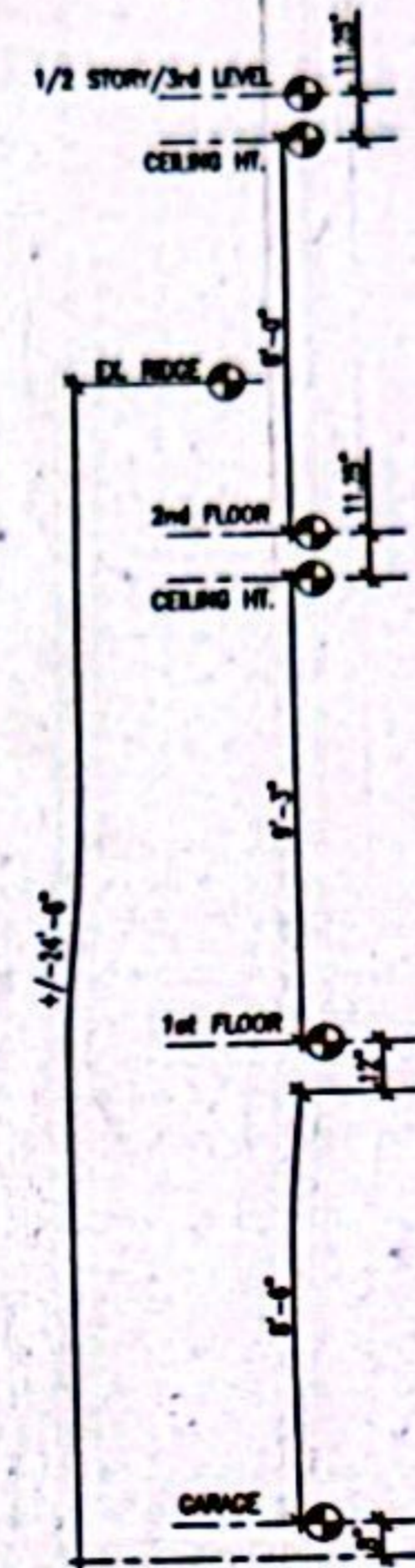




FRONT ELEVATION
Scale: 1/4"=1'-0"

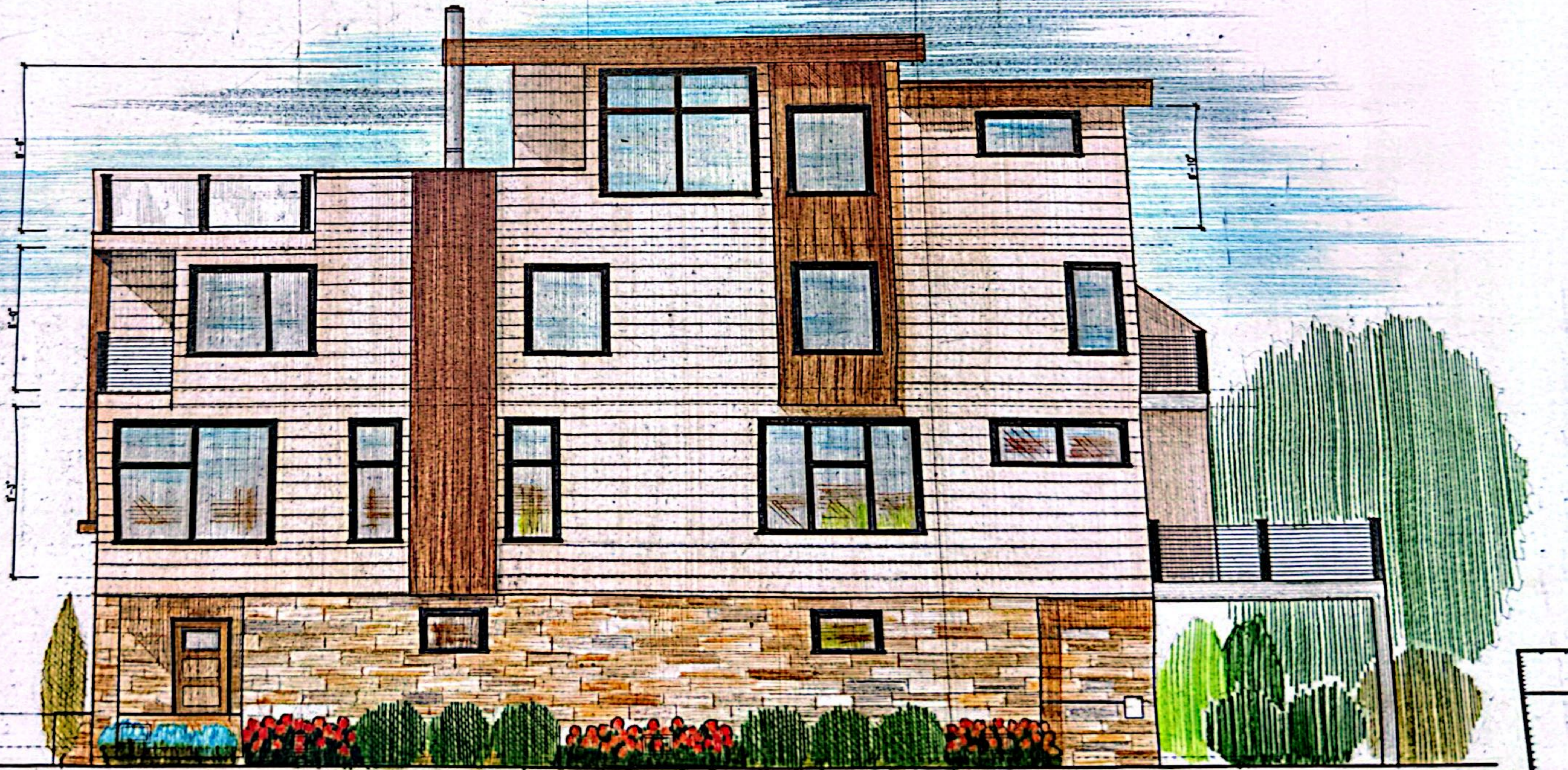


ELEVATION
Scale: 1/4"=1'-0"



REAR ELEVATION

Scale: 1/4"=1'-0"



ELEVATION

Scale: 1/4"=1'-0"





Application for Zoning Permit --- Z-2.02

Borough of Highlands

Item 6.

42 Shore Drive, Highlands, NJ 07732

Phone: 732-872-1224

Fax: 732-872-0670

2021-21

Note: All applications must be accompanied by a property survey showing the sizes of the structure(s) and their location.
Applications involving businesses must show the scope of the business and include all activities that will be a part of the business.

The Following Fees Shall Apply:

Residential Applications: New Construction single or two-family- \$50

Fence - \$15

Renovations/Additions/Alterations/Repairs- \$10, Other Residential - \$100/unit

Shed - \$25

Non-Residential Applications - New Construction - \$100, Renovations/Additions - \$25

OWNER/APPLICANT

Name: MARK LANDIGERSO Solar Powered 89.
Address: 27 MILLER ST HIGHLANDS NJ 07732
Telephone: Home: 973-572-5007 Work: 973-572-5007
Date: _____ Fee: \$ _____ Check # _____ Cash _____

LOCATION OF THE WORK

Block: 58 Lot(s): 7.01 Zone: 2.02
Street Address: 44 MILLER ST HIGHLANDS NJ 07732

DESCRIPTION OF THE WORK TO BE PERFORMED (OR USE PROPOSED)

LIFT EXISTING DUPLEX - RENOVATE AND ADD 1-2
STORIES TO EXISTING 1 STORY - MAINTAIN EXISTING
BUILDING FOOTPRINT

Check one: ☐ New ☒ Addition ☐ Alteration ☐ Repair ☐ Other _____

I certify the attached survey is accurate relating to existing and proposed improvements. In addition, I grant permission to the Borough of Highlands and their Agents to come onto the subject property, for the purposes of conduction inspections, relating to the application.

☒ Yes ☐ NoSignature: Mark Landigerso Date: 3/14/2021

FLOOD HAZARD AREA DETERMINATION

Check Applicable Flood Zone: ☒ AE ☐ VE ☐ X

All applications within the AE and VE Flood Zoned, as indication upon the most recent FEMA Flood Maps, require submission to an applicably determination from the NJDEP.

FOR BOROUGH USE ONLY

Determination: ☒ APPROVED ☐ DENIED

If your application has been DENIED, it is due to the following:

Ordinance Section _____ Allowed/Required _____ Proposed _____

Remarks:

Lift to meet required BFE, over existing
footprint - no bedroom increase -

OBTAIN CONSTRUCTION PERMIT

Zoning Officer: M. Glenn Date: 3/31/21

Note: A Zoning Permit indicates that the proposed project conforms to the planning/zoning regulations of the Borough of Highlands; A building permit is required (per the requirements of the Uniform Construction Code of NJ) BEFORE beginning work. The Zoning Permit is valid for one year. If your application has been denied, you may appeal this denial to the Land Use Board as provided by the New Jersey Municipal Land Use Law. You must submit letter of appeal to Land Use Board secretary within 20 days.

Note: If the following box is checked, you must submit a Flood Review Application to the Borough Flood Administrator,

☐ Local Flood Review Required

<p align="center">SURVEY OF PROPERTY</p> <p align="center">44 MILLER STREET</p> <p align="center">LOT 7.01 BLOCK 58</p>			
<p>BOROUGH OF HIGHLANDS</p>		<p>MONMOUTH COUNTY</p>	
<p>NEW JERSEY</p>			
<p>Charles Surmonte P.E. & P.L.S.</p> <p>New Jersey Professional Engineer and Land Surveyor</p> <p>License No. 35885</p>		<p>301 Main Street, 2nd Floor</p> <p>Allenhurst, New Jersey, 07711</p> <p>Phone 732-660-0606</p> <p>Fax 732-660-0404</p>	
<p>PROJECT No.</p> <p>20-1495</p>	<p>DATE:</p> <p>11-11-20</p>	<p>SCALE:</p> <p>1"=10'</p>	<p>SHEET:</p> <p>1 OF 1</p>

NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THE PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS, ENVIRONMENTALLY SENSITIVE AREAS, IF ANY ARE NOT LOCATED BY THIS SURVEY.

THIS SURVEY IS SUBJECT TO CONDITIONS WHICH MIGHT BE DISCLOSED BY AN ACCURATE TITLE SEARCH.

OFFSETS AS SHOWN HEREON ARE NOT TO BE
USED TO ESTABLISH PROPERTY LINES.

<h1 style="text-align: center;">SURVEY OF PROPERTY</h1> <p style="text-align: center;">44 MILLER STREET LOT 7.01 BLOCK 58</p>			
BOROUGH OF HIGHLANDS		MONMOUTH COUNTY	
<p>Charles Surmonte P.E. & P.L.S. New Jersey Professional Engineer and Land Surveyor License No. 35885</p>		<p>301 Main Street, 2nd Floor Allenhurst, New Jersey, 07711 Phone 732-660-0606 Fax 732-660-0404</p>	
PROJECT No. 20-1495	DATE: 11-11-20	SCALE: 1"=10'	SHEET: 1 OF 1

OFFSETS AS SHOWN HEREON ARE NOT TO BE
USED TO ESTABLISH PROPERTY LINES.



Roberts
ENGINEERING GROUP LLC
Women Business Enterprise Certified

1670 Whitehorse-Hamilton Square Rd.
Hamilton, New Jersey 08690
609-586-1141 fax 609-586-1143
www.RobertsEngineeringGroup.com

December 11, 2025

Nancy Tran
Land Use Board Secretary
Borough of Highlands Land Use Board
151 Navesink Avenue
Highlands, New Jersey 07732

Re: Completeness Review No. 2
Applicant: Mark Landgrebe
Minor Site Plan with Use Variance
Block 58, Lot 7.01
44 Miller Street
Borough of Highlands, Monmouth County, New Jersey
Our File No.: HLPB25-10

Dear Ms. Tran:

As requested, we have reviewed the above referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The Applicant is currently submitting updated plans for a Minor Site Plan with 'D' Variance. The Applicant seeks to complete the construction of a three-story, two (2) unit duplex with parking on the existing lot. The partially constructed duplex is situated on a 4,920 sf (0.113 Ac) lot and is located in the R-2.02 Single-Family Residential District and in the AE Flood Hazard area.

The former duplex on the lot collapsed and was subsequently demolished. A new duplex is partially constructed on the former foundation as per the Applicant. A Stop Work Order was issued on March 4, 2024, and the following is a property history leading to the current application.

The Applicant purchased the property in 2021 with an existing attached duplex. An approved zoning permit was issued on March 31, 2021, by Middletown Township/Borough of Highlands to lift the existing duplex to meet the required BFE, over existing footprint and having no bedroom increase. The vacant dwelling collapsed and was demolished on August 10, 2021. The Applicant then began new construction (date unknown and approvals unknown).

Ms. Courtney Lopez, Zoning Officer, found a partially constructed two-family structure to be non-conforming within the R-2.02 Single-Family Residential District and issued a Notice of Zoning Violations stating a Stop Work Order on March 4, 2024 under Section 21-98.A of the Municipal Zoning Ordinance (shown at end of the section). The notice stated, "Infraction: The existing nonconforming two-family dwelling has been removed (2021) and a new two-family structure has been constructed without proper zoning. We are issuing you a Stop Work Order for any future property improvements until an application is submitted to the Land Use Board for d(1) use variance approval and all proper permits are issued from any and all required departments prior to any further work being conducted at this site.". To comply by April 3, 2024.

August 20, 2024, the applicant received a Denial of Zoning Permit and construction to halt. The denial referenced Sections 21-98.A and C of the Municipal Zoning Ordinance (shown at end of the section). The Denial of Zoning Permit stated, "Construction of New Two-Family Duplex has been denied for noncompliance with provisions of Sections 21-98.A and C of the Municipal Zoning Ordinance for the following reasons: D(1) use variance approval is required to construct a new two-family duplex in the R2.02 single family zone."

The Applicant received a Notice of Unsafe Structure on September 13, 2024, and was ordered to demolish the new two-family structure by October 4, 2024.

The Applicant received a follow up to the Notice of Unsafe Structure status on December 17, 2024, and was fined on January 12, 2025.

To summarize, the original duplex was an existing non-conforming use in the R-2.02 Single-Family Residential District. In 2021, the original duplex was approved to be raised, however the structure was vacant, collapsed and

was demolished. Once the structure was demolished and removed, the former non-conforming use became invalid for the property according to Sections 21-98.A and C. The Applicant was instructed by the March 4, 2024, and August 20, 2024, denials that a use variance was required and could be submitted for approval by the Land Use Board. However, the Applicant received a Notice of Unsafe Structure on September 13, 2024, and was ordered to demolish the new two-family structure by October 4, 2024.

On September 27, 2024, an application for a Variance and an appeal for the zoning denial was submitted with Surveys and Architectural Plans. Subsequently, on February 10, 2025, sketches and architectural plans were submitted for review.

The Completeness Review letters dated October 21, 2024, and February 19, 2025, noted Sections 21-98.A and C with the full descriptions. Both reviews noted the application as incomplete and that a D (1) Use Variance, Site Plan and checklist were required for the Board to make an informed review and decision regarding the application.

Section 21-98.A.

Continuance. Except as otherwise provided herein, nonconforming uses or structures which lawfully existed at the time of passage of this chapter may be continued even though such uses or structures do not comply with the regulations of this chapter; provided, however, that:

1. *A nonconforming use shall not be expanded or changed to another nonconforming use.*
2. *Any addition to an existing nonconforming building may be constructed to continue the existing building setback but shall not be permitted to encroach further into the required setback than the existing structure.*
3. *Abandonment. A nonconforming use that has been abandoned shall not thereafter be reinstated. A nonconforming use shall be judged to have been abandoned:*
 - a. *When it is changed to a conforming use.*
 - b. *In cases where such nonconforming use is a building or structure designed for such use, when it has been voluntarily discontinued for a period of twenty-four (24) consecutive months.*
 - c. *In cases where such nonconforming use is of a building or structure not designed for such use or is of a lot or land whereon there is no consequential building or structure devoted to such use, when it has been voluntarily discontinued for a period of twelve (12) consecutive months.*

Section 21-98.C.

*Restoration. If a nonconforming use or structure is deemed to be one hundred percent (100%) destroyed (damages equal to or greater than the full equalized value of the structure) **by any cause whatsoever**, it shall only be reestablished so as to conform to all zoning standards in the zone in which it is located.*

We have reviewed the following documents submitted in support of the above referenced application for completeness purposes:

1. Copy of a plans entitled, "Minor Site Plan w/ 'D' Variance, 44 Miller Street, Lot 7.01, Block 58, Borough of Highlands, Monmouth County, New Jersey", prepared by Morgan Engineering, signed and dated May 7, 2025, revised September 19, 2025 and last revised November 17, 2025, 3 sheets;
2. Copy of a set of architectural plans entitled, "Two Family Residence for Landgrebe, 44 Miller Street, Highlands, NJ, Lot# 7.01, Block# 58", prepared by James T. Daley Architect + Associates, dated February 23, 2021, and last issued date January 23, 2025 and last revised November 22, 2025, 5 sheets;
3. Copy of a plan entitled "Survey of Property, 44 Miller Street, Lot 7.01, Block 58, Borough of Highlands, Monmouth County, New Jersey", prepared and signed by Charles Surmonte, PE, PLS, dated November 11, 2020. Survey provided with first and second submission; under initial submission and review dated August 12, 2025.

The Applicant has satisfied many of the comments as outlined within the previous Completeness Review Letter No. 1 dated August 12, 2025, however, we offer the following comments and recommendations for a Minor Site with Use Variance for the Land Use Board's consideration:

ZONING

1. This property is a corner lot located in the R-2.02 Single-Family Residential District at the northwest corner of Miller Street and Fourth Street.

2. The Lot requires a D Use Variance. A two-family dwelling is not permitted in the R-2.02 Single-Family Residential District.

To be entitled to use variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-70d.

The Applicant will be required to provide proof during testimony.

3. The Applicant requires six (6) bulk variances based on the current information. To be entitled to bulk "c" variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A 40:55D-70c for bulk variances.

The Applicant will be required to provide proof during testimony.

4. The following bulk requirement summary is provided for the Board's reference.

Schedule I – Bulk and Area Requirements				
R-2.02 Single Family Residential District				
	Required	Existing	Proposed	Variance
Min. Lot Area (sf)	4,000	4,920	4,920	No
Lot Frontage/Width (ft)	50			
Miller Street		61.50	61.50	No
Fourth Street		80.00	80.00	No
Lot Depth (ft)	75	70.75	70.75	Yes
Min. Front Yard Setback (ft)	20 ⁽²⁾			
Miller Street		3.3 ⁽¹⁾ F	3.6	Yes
Fourth Street		1.1 ⁽¹⁾ F	±1.1 (confirm)	Yes
Miller Street masonry wall			-0.7	Yes
Min. Side Yard Setback (ft)	6/8			
Miller Street		24.0 F	22.5	No
Fourth Street		20.0 F	29.8	No
Max. Building Height (ft) ⁽³⁾	30	24.5	32.5 (confirm)	No
Max. Lot Coverage (%)	75	Unknown	54.6% (confirm)	No
Max. Building Coverage (%)	33	Unknown	41.3% (confirm)	Yes
Min. Deck/Stairs Setback (ft)	3	-	0.8	Yes
On-Site Parking (spaces) ⁽⁴⁾	3	2	4	No

F = Foundation of Former Dwelling per Survey dated 11/11/20

(1) Existing non-conformity

(2) Or the average of the existing front yard setback within two hundred (200) feet in the same block and zone, per § 21-79.B

(3) Where a dwelling is constructed or reconstructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half feet

(4) 1.5 spaces per unit with 2 bedrooms x 2 units

II. CHECKLIST ITEMS

1. A complete checklist was not provided
2. Update the "Submission Waivers Requested:" list on the plan and provide the corresponding checklist item number. Provide reason for request.

III. GENERAL COMMENTS

1. Please update the Certification statement on the engineering plan. Replace Planning Board with Land Use.
2. Indicate Bulk 'c' and 'D' variances in the variances requested list.
3. Add the variance for the lot depth in the variances requested list.
4. Masonry wall (variance) should be -0.7 in variance required list. The wall extends over the front property line.
5. Provide the 3 ft deck setback line along the front and side property lines.
6. Building square footage is not consistent between the plan, the coverage table and architectural plan which are 2,475 sf, 2032 sf, and 1,988 respectively. Please confirm the correct area.
7. There is a mathematical error in calculating the percentage in the Lot Coverage Table. Please correct.
8. Provide the proposed front and side yard setbacks (building) for Fourth Street on the plan. The deck setbacks are shown.
9. The zoning side yards of 6 ft and 2 ft. on the plan are incorrect. The required side yard setbacks of 6 ft and 8 ft. are applicable to each side.

Provide the side yard setback dimensions (to the dwelling) on the plan and update the zoning chart.

10. Building heights on the site plan and architectural section do not match the floor elevations and peak roof elevation.

Building height detail does not match architectural dimensions or is calculated incorrectly.

Determine the correct building height.

Revise the Building Height Detail and Calculation Exhibit. Both are incorrect. Refer to the Architectural plans for Roof Peak and grade elevations. Grade elevations are not consistent with the plan.

Refer to §21-8 Definitions for Building Height and Grade Plan part B.

Areas or Portions of the Building Area of a Lot Located Within the Flood Hazard Area: The reference plane shall be the more restrictive of the base flood elevation or advisory base flood elevation of the flood hazard area plus one (1) foot.

11. Provide all building dimensions of the proposed dwelling on the site plan.
12. Confirm building elevations with architectural plans.
13. Please update the zoning information on the Architectural and Site plans to be consistent.
14. The Upper floors project 0.3' over the Fourth Street Right-of-Way. We recommend the overhang be reduced or removed.

15. The existing contours and spot grades are different than the plan dated May 7, 2025. Contour 4 on the previous plan was much closer to the existing concrete apron. Contours 4 and 5 have different configurations. Please explain.
16. The garage elevations are different between the site plan and the architectural plan – please correct.
17. Revise the grading leading to the first garage door. The slope appears to be 20 – 25 percent.
18. Provide dimensions from the proposed driveway curbing to the property line.
19. Confirm the existing elevations of the sidewalk and depressed curb at the proposed gravel driveway. Delineate driveway and apron flares along the sidewalk. Dimension the existing depressed curb.
20. Confirm ADA compliance for the existing apron and sidewalks. Replace as needed.
21. Continue the concrete pad from the steps of the south unit to the existing sidewalk. Update the impervious coverage accordingly.
22. Indicate walls or railings along the porches adjacent to the driveway and sidewalk for the drop in grade.
23. The sidewalk along Fourth Street is in poor condition and will be replaced per plan note.

Label the junction where proposed meets existing. Provide elevations. Indicate grade breaks.
24. We recommend the depressed curb along Fourth Street be replaced with full face curb matching existing curb.
25. Provide additional grades and slope for proposed concrete pad at deck stairways
26. Utilities-

Please indicate the proposed sanitary connection on the plan.

Please indicate the existing and proposed gas service. An existing gas valve is shown in the roadway.

Please indicate the proposed electric service.
27. What is the purpose of the existing cleanout in the driveway near the proposed dwelling and concrete slab?
28. Label the dashed line on the plan as landscaping border.
29. Landscaping plan has been provided for this submission. We defer to the planner for comments.
30. A Vehicle Circulation Plan has been provided for this submission. Please include a demonstration for the other garages.
31. General notes:

Update Note 2 for c and d variances.

Update Note 15. Limit of disturbance is greater than 1,500 sf. The entire site has been disturbed.
32. Please update construction details:
 - a. Sidewalk according to § 21-65.17.

Add 6" – ¾" clean crushed stone and compacted subgrade.

b. Curb Provided

Update concrete curb to be consistent with a gravel driveway and paved road.

33. Provide Applicant/Owner signature(s):

I HEREBY CERTIFY THAT I AM THE APPLICANT/OWNER OF RECORD OF THE SITE HEREIN DEPICTED AND THAT I CONCUR WITH THE PLAN.

APPLICANT/OWNER

DATE

NAME
STREET
CITY/TOWN ZIP CODE

V. **APPROVALS**

Approval of this application will be conditioned upon the Applicant obtaining or providing approved documents for the following:

1. Freehold Soil Conservation Permit (exemption letter provided)
2. Coastal Area Facilities Review Act (CAFRA) Zone, if required per NJDEP
3. Monmouth County (Bay Avenue is within 200 ft. of the site)

Should you have any questions, please do not hesitate to contact me.

Very truly yours,



Carmela Roberts, PE, CME, CPWM
Land Use Board Engineer

cc: Michael Muscillo, Borough Administrator, mmuscillo@highlandsnj.gov
Dustin F. Glass, Esq., Land Use Board Attorney, dglass@padulalawgroup.com
Courtney Lopez, Zoning Officer, clopez@highlandsnj.gov
Steven Winters, CFM, Floodplain Administrator, swinters@highlandsnj.gov
Kathy Shaw, CRS Coordinator, kshaw@highlandsnj.gov
Donna M. Bullock, PE, Applicant's Engineer, DonnaB@morganengineeringllc.com
James T. Daley, AIA, Applicant's Architect, gymteedaily@aol.com
Cameron Corini, PE, CME, CPWM, Roberts Engineering Group, LLC
GS Bachman, EIT, Roberts Engineering Group, LLC









7

44 Miller St 8-10-21.pdf



8

44 Miller St 8-10-21.pdf

Borough of Highlands

Municipal Building

151 Navesink Avenue

Highlands, NJ 07732

(732)872-1224 FAX (000)000-0000

Registration No.

Inspection No.

Block/Lot

8898

58/7.01

Item 6.

Inspection Failure Report 44 MILLER ST

Respondent

Co-Respondent

SOLAR POWERED 44, LLC
27 MILLER STREET
HIGHLANDS, NJ, 07732

Date of Notice 8/05/2025 Abate By 8/19/2025 Date of Inspection 8/04/2025

Local Comments To avoid summonses, abate immediately and in no case later than the above "abate by" date. Violations are a daily offense with fines of up to \$2000.00 for each day the violation continues. Photos attached.

Specific Violations

<u>Code</u>	<u>Code Description</u>	<u>OK if Abated</u>	<u>Date Abated</u>
Ord 10-10	Removal of Brush, Weeds, Trash, and Debris. Notwithstanding the provisions of the International Property Maintenance Code, and without superseding its incorporation into Borough ordinance, every owner or tenant of lands or dwellings in the Borough shall keep the lands or dwellings free of fire hazards, brush, weeds, including ragweed, dead and dying trees, stumps, roots, obnoxious growths, filth and garbage (trash and debris in cans, bags and/or in bulk), and shall maintain the land or dwellings in a clean and sanitary condition.		

Photo# 1287, 8/05/25, 44 MILLER ST,



Photo# 1288, 8/05/25, 44 MILLER ST,



If you have any questions, please call William F. Brunt, Jr., Code Enforcement at (732)872-1224

W. Brunt

Official(at time of notice)

8/05/25

Date

Official (When all items are abated)

Date



1

44 Miller ST 12-26-23.pdf



44 Miller ST 12-26-23.pdf



3

44 Miller ST 12-26-23.pdf



4

44 Miller ST 12-26-23.pdf



5

44 Miller ST 12-26-23.pdf



6

44 Miller ST 12-26-23.pdf





44 Miller St 3-5-24.pdf



44 Miller St 3-5-24.pdf





7

44 Miller St 3-5-24.pdf



8

44 Miller St 3-5-24.pdf



9

44 Miller St 3-5-24.pdf



10

44 Miller St 3-5-24.pdf



11

44 Miller St 3-5-24.pdf



1

44 Miller ST 8-10-21 Roxby.pdf

2

44 Miller ST 8-10-21 Roxby.pdf



3

44 Miller ST 8-10-21 Roxby.pdf



4

44 Miller ST 8-10-21 Roxby.pdf



5

44 Miller ST 8-10-21 Roxby.pdf



6

44 Miller ST 8-10-21 Roxby.pdf



7

44 Miller ST 8-10-21 Roxby.pdf



8

44 Miller ST 8-10-21 Roxby.pdf

9

44 Miller ST 8-10-21 Roxby.pdf



10

44 Miller ST 8-10-21 Roxby.pdf



11

44 Miller ST 8-10-21 Roxby.pdf



12

44 Miller ST 8-10-21 Roxby.pdf



13

44 Miller ST 8-10-21 Roxby.pdf



14

44 Miller ST 8-10-21 Roxby.pdf



15

44 Miller ST 8-10-21 Roxby.pdf





3

44 Miller St 8-25-25.pdf

COURT I.D.

PREFIX

COMPLAINT NUMBER

1317

SC

007950

HIGHLANDS BOROUGH

MUNICIPAL COURT

Item 6.

Atlantic Highlands, NJ 07716

Complaint

The State of New Jersey

(Please Print)

VS.

Defendant's Name: First

Initial

Last

Solar Powered 44 LLC

Address

City

27 Miller St. Highlands

State

Zip Code

Telephone:

Check if cell phone ☐

NJ 07732

Birth Date:

Mo.

Day

Yr.

Sex

Eyes

Ears

Weight

Height

Restrictions

Email Address

Ethnicity

Race

Driver's

Lic. No.

State

Exp. Date

STATE OF NEW JERSEY

COUNTY OF

MONMOUTH

Complaining Witness:

William F. Brust Jr.

(Name)

of

Code Enforcement

(Identify Dept./Agency Represented)

(Badge No.)

Residing at

151 Navesink Ave Highlands

by certification or on oath, says that to the best of his/her knowledge or information and belief, the named defendant on or about the

2/12/24

10:50 AM

Month

Day

Year

Time

in

HIGHLANDS

County of

MONMOUTH

NJ

did commit the following offense:

Construction site accumulation

(DESCRIPTION OF OFFENSE)

in violation of (one charge only)

Ord 3-1.7

(Statute, Regulation or Ordinance Number)

LOCATION
OF OFFENSE

C 3 D 7

Describe Location

44 Miller St

OATH: Subscribed and sworn to before

me this ____ day of ____, yr. ____

CERTIFICATION: I certify that the foregoing statements made by me are true. I am aware that if any of the foregoing statements made by me are willfully false, I am subject to punishment.

OR

2/12/24

(Date)

(Signature of Complaining Witness)

(Signature of Person Administering Oath)

(Signature of Complaining Witness)

PROBABLE CAUSE DETERMINATION FOR ISSUANCE OF PROCESS:

COURT USE ONLY

LAW / CODE ENFORCEMENT USE ONLY

Probable cause is found for the issuance of this Complaint-Summons

Yes

No

(Signature of Judicial Officer)

Yes

No

(Signature of Judge)



The complaining witness is a law enforcement officer or a code enforcement officer with territorial and subject matter jurisdiction and a judicial probable cause determination is not required prior to the issuance of this Complaint-Summons.

YOU ARE HEREBY SUMMONED TO APPEAR

BEFORE THIS COURT TO ANSWER THIS COMPLAINT. IF YOU FAIL TO APPEAR ON THE DATE AND AT THE TIME STATED, A FINANCIAL SANCTION MAY BE IMPOSED, A WARRANT MAY BE ISSUED FOR YOUR ARREST, OR BOTH.

NOTICE TO APPEAR

COURT APPEARANCE
REQUIREDCOURT
DATE

Month

Day

Year

Time

3 5 24

127

2/12/24

(Date Summons Issued)

Mr. Brust

(Signature of Person Issuing Summons)

1317

SC

007951

HIGHLANDS BOROUGH

MUNI

Item 6.

Atlantic Highlands, No. 07716

Complaint

The State of New Jersey

(Please Print)

VS.

Defendant's Name: First

Initial

Last

Solar Powered 44 L.L.C.

Address

City

27 Miller St. Highlands

State

Zip Code

Telephone:

Check if cell phone ☐

NJ 07732

Birth Date:

Mo.

Day

Yr.

Sex

Eyes

MOOC

Weight

Height

Restrictions

MOOC

Email Address

Ethnicity

Race

MOOC

Driver's Lic. No.

State

Exp. Date

STATE OF NEW JERSEY

COUNTY OF

MONMOUTH

Complaining Witness:

William F. Brunt Jr.

(Name)

of

Code Enforcement

(Identify Dept./Agency Represented)

(Badge No.)

Residing at

151 Navesink Ave Highlands

by certification or on oath, says that to the best of his/her knowledge or information and belief, the named defendant on or about the

2/12/24

Month

Day

Year

10:50 AM

Time

in

HIGHLANDS

County of

MONMOUTH

NJ

did commit the following offense:

spill/dump/disposal of other than stormwater into municipal separate storm sewer system

(DESCRIPTION OF OFFENSE)

in violation of (one charge only)

9-13.3

(Statute, Regulation or Ordinance Number)

LOCATION OF OFFENSE

0307

Describe Location

44 Miller St.

OATH: Subscribed and sworn to before me this ___ day of ___, yr. ___

CERTIFICATION: I certify that the foregoing statements made by me are true. I am aware that if any of the foregoing statements made by me are willfully false, I am subject to punishment.

OR

2/12/24

(Date)

(Signature of Complaining Witness)

M. R.

(Signature of Complaining Witness)

(Signature of Person Administering Oath)

PROBABLE CAUSE DETERMINATION FOR ISSUANCE OF PROCESS:

COURT USE ONLY

LAW / CODE ENFORCEMENT USE ONLY

Probable cause is found for the issuance of this Complaint-Summons

Yes

No

(Signature of Judicial Officer)

Yes

No

(Signature of Judge)



The complaining witness is a law enforcement officer or a code enforcement officer with territorial and subject matter jurisdiction and a judicial probable cause determination is not required prior to the issuance of this Complaint-Summons.

YOU ARE HEREBY SUMMONED TO APPEAR

BEFORE THIS COURT TO ANSWER THIS COMPLAINT. IF YOU FAIL TO APPEAR ON THE DATE AND AT THE TIME STATED, A FINANCIAL SANCTION MAY BE IMPOSED, A WARRANT MAY BE ISSUED FOR YOUR ARREST, OR BOTH.

NOTICE TO APPEAR



COURT APPEARANCE REQUIRED

COURT DATE

Month

Day

Year

Time

3 5 24 3

128

2/12/24

(Date Summons Issued)

M. R.

(Signature of Person Issuing Summons)

COMPLAINT

COMPLAINT

SUMMONS

SUMMONS

Borough of Highlands

Municipal Building

42 Shore Drive

Highlands, NJ 07732

(732)872-1224 FAX (732)872-0670

Registration No.

Inspection No.

Block/Lot

8448**58/7.01**

Item 6.

Violation
44 MILLER ST

Respondent

Co-Respondent

SOLAR POWERED 44, LLC
27 MILLER STREET
HIGHLANDS, NJ, 07732Date of Notice 2/12/2024 Abate By 2/25/2024 Date of Inspection 2/12/2024**Local Comments** To avoid further summonses, abate immediately and in no case later than the above "abate by" date. Violations are a daily offense with fines of up to \$2000.00 for each day the violation continues. Photos attached.**Specific Violations**

<u>Code</u>	<u>Code Description</u>	<u>OK if</u> <u>Abated</u>	<u>Date</u> <u>Abated</u>
9-13.3	Stormwater (spill - dump - disposal) The spilling, dumping, or disposal of materials other than stormwater to the municipal separate storm sewer system operated by the Borough of Highlands is prohibited. The spilling, dumping, or disposal of materials other than stormwater in such a manner as to cause the discharge of pollutants to the municipal separate storm sewer system is also prohibited.		
Ord 3-1.7	Construction sites (accumulation) It shall be unlawful for any owner, agent or contractor in charge of a construction or demolition site to permit the accumulation of litter before, during or after completion of any construction or demolition project. It shall be the duty of the owner, agent or contractor in charge of a construction site to furnish containers adequate to accommodate flyable or non-flyable debris or trash at areas convenient to construction areas, and to maintain and empty the receptacle in such a manner and with such a frequency as to prevent spillage of refuse.		

If you have any questions, please call William F. Brunt, Jr., Code Enforcement at (732)872-1224

2/12/24

Official(at time of notice)

Date

Official (When all items are abated)

Date













11

44 Miller St 2-12-24.pdf



12

44 Miller St 2-12-24.pdf



Item 6.

13

44 Miller St 2-12-24.pdf



136

14

44 Miller St 2-12-24.pdf





Item 6.

44 Miller St 2-12-24.pdf

17



138

18

44 Miller St 2-12-24.pdf



19

44 Miller St 2-12-24.pdf



20

44 Miller St 2-12-24.pdf



21

44 Miller St 2-12-24.pdf



22

44 Miller St 2-12-24.pdf





Item 6.

25

44 Miller St 2-12-24.pdf



142

26

44 Miller St 2-12-24.pdf





29

44 Miller St 2-12-24.pdf