



**BOROUGH OF HIGHLANDS  
LAND USE BOARD MEETING**  
22 Snug Harbor Avenue, Highlands NJ 07732  
Thursday, March 09, 2023 at 7:00 PM

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## **AGENDA**

*Please be advised that the agenda as shown may be subject to change. This meeting is a quasi-judicial proceeding. Any questions or comments must be limited to issues that are relevant to what the board may legally consider in reaching a decision and decorum appropriate to a judicial hearing must be maintained at all times.*

### **CALL TO ORDER**

*The chair reserves the right to change the order of the agenda.*

### **PLEDGE OF ALLEGIANCE**

### **OPEN PUBLIC MEETING STATEMENT**

*As per requirement, notice is hereby given that this is a Regular Meeting of the Borough of Highlands Land Use Board and all requirements have been met. Notice has been transmitted to the Asbury Park Press and the Two River Times. Notice has been posted on the public bulletin board. Formal Action will be taken.*

### **ROLL CALL**

### **OPEN FOR PUBLIC COMMENTS**

*General Questions or Comments not pertaining to Applications*

### **HEARINGS ON OLD BUSINESS**

1. Conditional Use - LUB2022-011: Sea Grass

### **APPROVAL OF MINUTES**

2. February 9, 2023 LUB Meeting Minutes

### **COMMUNICATION AND VOUCHERS**

3. LUB Annual Report 2022

*Board Policy: • All meetings shall adjourn no later than 11:00 P.M. unless a majority of the quorum present at said hour vote to continue the meeting to a later hour. • No new hearing shall commence after 10:15 P.M. unless the Chairperson shall rule otherwise. • The Chair may limit repetitive comments or irrelevant testimony and may limit the time or number of questions or comments from any one citizen to ensure an orderly meeting and allow adequate time for members of the public to be heard.*

### **ADJOURNMENT**

# FOSS, SAN FILIPPO & MILNE, LLC

*Counselors at Law*

ROGER J. FOSS  
GREGORY R. MILNE†  
JANE R. PATIWELL  
JOHN B. ANDERSON, III  
NJ & NY BARS

†CERTIFIED BY THE SUPREME  
COURT OF NEW JERSEY AS  
CIVIL TRIAL ATTORNEY

BRITTANY P. TARABOUR  
JOHN C. TASSINI  
OF COUNSEL  
MARTIN A. MCGANN, JR.

PHILIP E. SAN FILIPPO  
(RETIRED)  
JOHN W. CHRISTIE  
(RETIRED)

December 6, 2022

*Via Hand Delivery and email*

Borough of Highlands  
Land Use Board  
42 Shore Drive  
Highlands, NJ 07732  
**ATTN: NANCY TRAN, Land Use Secretary**

Re: Sea Grass NJ, LLC  
272 Bay Avenue, Block: 72, Lot: 12  
And: Seadrift Avenue, Block: 73, Lot: 2  
Highlands, New Jersey  
Our File Number: 9344.00001

Dear Ms. Tran:

This office represents Sea Grass NJ, LLC in regard to the above referenced property and the Zoning Permit approval issued by you on November 3, 2022. Please be advised that the applicant, Sea Grass NJ, LLC, is seeking to change the use of the building located on 272 Bay Avenue (Block 72, Lot 12) and to obtain a conditional use permit to allow 272 Bay Avenue (Block 72, Lot 12) to be utilized as a conditionally permitted cannabis retailer under the Highlands Borough Ordinances Section 21-91 A. 3. D. and 21-97 M. This application will involve interior improvements to the building as well as cosmetic improvements to the exterior of the existing building. This application will also involve landscaping and other enhancements to an existing gravel parking lot located on Block 73, Lot 2, which will conform to the use as parking following the change of use. In that regard, enclosed please find the following:

1. Original and one (1) copy of the completed Land Use Board Application;
2. One (1) copy of the Zoning Permit Approval, dated November 3, 2022;
3. Original Narrative of Development;



December 6, 2022

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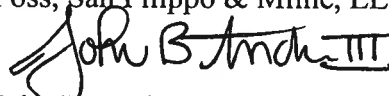
Sea Grass

4. A copy of the Owner's Consent signed by Leonel Cervantes and dated November 2, 2022;
5. Proof that 4<sup>th</sup> quarter real estate taxes have been paid;
6. Resolution 22-217 in support of Cannabis Establishment;
7. Cannabis Regulatory Commission Approval of Conditional License Application;
8. One (1) original, sealed and signed Interior Renovations/Commercial Fit-Out architectural plan prepared by Shissias Design + Development, dated December 2, 2022;
9. One (1) original, sealed and signed Preliminary and Final Major Site Plan prepared by East Point Engineering, LLC, dated November 21, 2022;
10. Check no. 1005, in the sum of \$350.00 made payable to the Borough of Highlands, representing the application filing fees; and
11. Check no. 1006, in the amount of \$750.00 made payable to the Borough of Highlands, representing the escrow deposit required by the Borough.

Kindly acknowledge receipt of the above items on the copy of this letter enclosed, and return it to the person hand delivering this submission to you. Please advise us when this application has been deemed complete, and scheduled for a public hearing before the Land Use Board of the Borough of Highlands.

Thank you for your attention to this matter.

Very truly yours,  
Foss, San Filippo & Milne, LLC



John B. Anderson, III, Esq.

For the Firm

janderson@fsfm-law.com

JBA:hs/Encs./Ltr to Borough trans application

cc: Client (via email, w/encls.)

Receipt of the above items is hereby acknowledged this \_\_\_\_\_ day of December, 2022.

Print Name: \_\_\_\_\_



Borough of Highlands  
42 Shore Drive  
Highlands, NJ 07732  
(732) 872-1224  
www.highlandsborough.org

### LAND USE BOARD APPLICATION

**FOR OFFICIAL USE**  
Date Rec'd: \_\_\_\_\_ Application #: \_\_\_\_\_ Fee: \_\_\_\_\_ Escrow: \_\_\_\_\_

#### 1. APPLICANT

Name: Sea Grass NJ, LLC  
Address: c/o S. James Whelan, 135 Maple Ave.  
City: Red Bank State: NJ Zip: 07701  
Phone: 732-595-6700  
Email: idrwhelan@gmail.com  
Relation to property: Contract purchaser

#### 2. OWNER

Name: Leonel Cervantes  
Address: [REDACTED]  
City: Asbury Park State: NJ Zip: 07712  
Phone: [REDACTED]  
Email: [REDACTED]

#### 3. TYPE OF APPLICATION (Check all that apply)

- Minor Subdivision
- Major Subdivision – Preliminary
- Major Subdivision – Final
- Minor Site Plan
- Major Site Plan – Preliminary
- Major Site Plan – Final
- Variance
- Use Variance
- Appeal – Zoning Denial date \_\_\_\_\_
- Appeal – Land Use Decision date \_\_\_\_\_
- Informal Concept Plan Review
- Extension of Approval
- Revision/Resubmission of Prior Application
- Other Change of Use with Conditional Use Permit

#### 4. PROPERTY INFORMATION

Block 72 Lot(s) 12 Address: 272 Bay Avenue (+ "Seadrift Avenue", Block 73, Lot 2)  
Lot size 2300 sq. feet # of Existing Lots 2 # of Proposed Lots 2  
Zone CBD Are there existing Deed Restrictions or Easements?  No  Yes – Please attach copies  
Has the property been subdivided?  No  Yes If yes, when? \_\_\_\_\_  
Attach copies of approved map or approved resolution  
Property taxes paid through 4th Quarter Sewer paid through 4th Quarter

#### 5. ATTORNEY (A corporation, LLC, Limited Partnership, or S-Corp must be represented by a NJ attorney)

Name: Foss, San Filippo & Milne, LLC (John B. Anderson, III, Esq.)  
Address: 225 Broad Street, PO Box 896, Red Bank, NJ 07701  
Phone: 732-741-2525 Email: janderson@fsfm-law.com



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**6. APPLICANT'S OTHER PROFESSIONAL(S) – Engineer, Planner, Architect, etc.**

Name: Shissias Design & Development  
 Address: 27 1st Ave.  
Rumson, NJ 07760  
 Phone: 908-601-2647  
 Email: kevin966@gmail.com

Name: East Point Engineering, LLC  
 Address: 11 South Main Street  
Marlboro, NJ 07746  
 Phone: 732-577-0180  
 Email: bpapi@eastpointeng.com

**7. LAND USE**

**A. PROPERTY HISTORY** –Describe in detail, nature of prior use(s) on the site, start date of such use, any prior Land Use Board applications for this site (attach copy of resolution, if applicable), history of current ownership, etc.

See attached Narrative of Development.

**B. PROPOSED PLAN** –Describe in detail, proposed use for property, including, but not limited to: 1) portion to be subdivided; 2) sell lot only; 3) construct house(s) for sale; 4) how trash will be disposed; 5) landscaping; 6) hours of operation; 7) type of goods/services; 8) fire lane. Attach additional sheets if necessary.

See attached Narrative of Development.

**C. ADDITIONAL INFORMATION:**

		Existing	Proposed
<b>Residential:</b>	How many dwelling units?	<u>1</u>	<u>0</u>
	How many bedrooms in each unit?	<u>2</u>	<u>0</u>
	How many on-site parking spaces?	<u>17 (on Block 73, Lot 2)</u>	<u>no change</u>
<b>Commercial:</b>	How many commercial uses on site?	<u>1</u>	<u>1</u>
	How many on-site parking spaces?	<u>17 (on Block 73, Lot 2)</u>	<u>no change</u>



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**8. VARIANCE REQUESTS** Complete section(s) related to the relief being requested.

	Req'd	Exist.	Prop'd
<b>Minimum Lot Requirements</b>			
Lot Area	n/a	2300	no change
Frontage	n/a	23'	no change
Lot Depth	n/a	100'	no change
<b>Minimum Yard Requirements</b>			
Front Yard Setback	2'	1.78'	no change
2 <sup>nd</sup> Front Yard Setback	0'	1.3'	no change
Rear Yard Setback	12'	10.8'	no change
Side Yard Setback, right	0'	.61'	no change
Side Yard Setback, left	0'	1.3'	no change
Building Height	40'	<40'	no change

	Req'd	Exist.	Prop'd
<b>Accessory Structures</b>			
Fence/Wall Height	n/a	n/a	n/a
Garage/Shed Height	n/a	n/a	n/a
Garage/Shed Area	n/a	n/a	n/a
Pool Setback	n/a	n/a	n/a
<b>Parking Requirements</b>			
On-site Parking Spaces	4	17	17
<b>Other (please add)</b>			

**9. OTHER RELIEF REQUESTED** Please specify relief(s) and explain below.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

See Narrative of Development.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



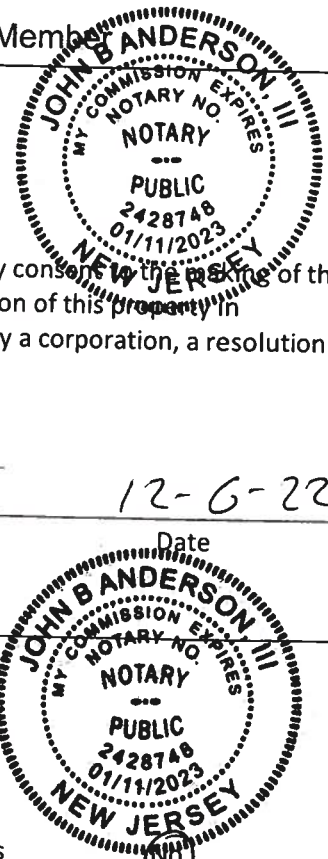
Borough of Highlands  
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**10. NOTARIZED SIGNATURE OF APPLICANT**

I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual Applicant, or that I am an Officer of the Applicant authorized to sign the application for the business organization. Additionally, I certify that the survey or plans submitted with this application shows and discloses the premises in its entirety, and I further certify that no buildings, fences, or other facilities have been constructed, installed, or otherwise located on the premises after the date of the survey with the exception of the structures shown.

SWORN & SUBSCRIBED to before me this  
6<sup>th</sup> day of December 2022 (year)  
John B. Anderson, III, Esq. (notary)  
 (Seal)

[Signature] 12-6-22  
 Signature Date  
Stephen James Whelan, Member  
 Print Full Name

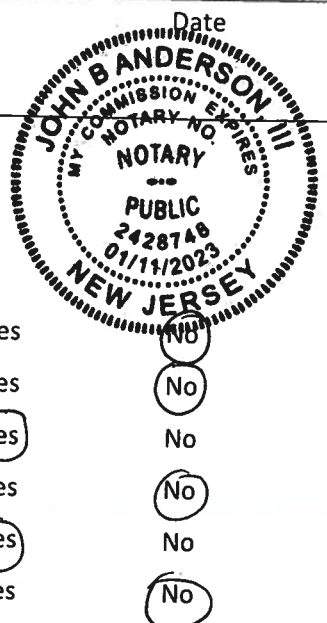


**11. NOTARIZED CONSENT OF OWNER**

I certify that I am the Owner of the property which is the subject of this application, hereby consent to the inspection of this property in connection with this application and approval of the plans submitted herewith. I further consent to the inspection of this property in connection with this application as deemed necessary by the municipal agency (if owned by a corporation, a resolution must be attached authorizing the application and officer signature).

SWORN & SUBSCRIBED to before me this  
6<sup>th</sup> day of December 2022 (year)  
John B. Anderson, III, Esq. (notary)  
 (Seal)

[Signature] 12-6-22  
 Signature Date  
Leonel Cervantes  
 Print Full Name



**12A. DISCLOSURE STATEMENT** Circle all that apply.

Pursuant to N.J.S.A. 40:55D-48.1 & 48.2, please answer the following questions:

- Is this application to subdivide a parcel of land into six (6) or more lots? Yes  No
- Is this application to construct a multiple dwelling of 25 or more units? Yes  No
- Is this an application for approval of a site(s) for non-residential purposes? Yes  No
- Is this Applicant a corporation? Yes  No
- Is the Applicant a limited liability corporation? Yes  No
- Is the Applicant a partnership? Yes  No

If you circled YES to any of the above, please complete the following Ownership Discloser Statement (use additional sheets if necessary).



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**12B. BUSINESS ORGANIZATION OWNERSHIP DISCLOSURE STATEMENT**

Name of Corporation, Partnership, LLC, LLP, S-Corp:

Sea Grass NJ, LLC

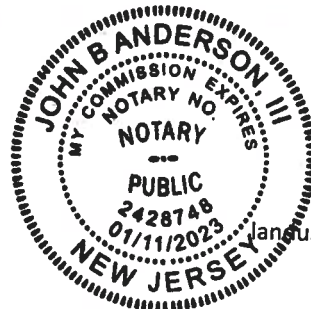
Listed below are the names and addresses of all owners of 10% or more of the stock/interest\* in the above referenced business organization:

NAME	ADDRESS
Stephen James Whelan	135 Maple Ave., Unit A, Red Bank, NJ 07701
Nicholas Frangipane, III	93 Black Point Rd., Rumson, NJ 07760

\*If a corporation or a partnership owns 10% or more of the stock of a corporation, or 10% or great interest in a partnership, that corporation or partnership shall list the names and address of its stockholders holding 10% or more of its stock or 10% or greater interest in the partnership, and this requirement shall be followed until the names and addresses of the non-corporate stockholders and individual partners, exceeding the 10% ownership criterion established have been listed.

SWORN & SUBSCRIBED to before me this  
6<sup>th</sup> day of December 2022 (year)  
John B. Anderson, III, Esq. (notary)  
 (Seal)

*Stephen James Whelan* 12-6-2022  
 Signature (Officer/Partner) Date  
Stephen James Whelan, Member  
 Print Full Name Title



Owner: Leonel Cervantes  
 Applicant: Stephen James Whelan/Sea Grass NJ, LLC  
 272 Bay Avenue (Block 72, Lot 12) and "Sea Drift Avenue" (Block 73, Lot 2)  
 CBD Zone District (C-RO-1 Overlay)  
 Highlands, New Jersey

### NARRATIVE OF DEVELOPMENT

Leonel Cervantes owns 272 Bay Avenue (Block 72, Lot 12) ("Property No. 1"). Property No. 1 is fully-developed with a two-story building (the "Building"). The first floor of the Building is a restaurant. The second floor of the Building is a residential apartment.

Leonel Cervantes also owns "Sea Drift Avenue" (Block 73, Lot 2) ("Property No. 2"). Property No. 2 is utilized as a parking lot in connection with the restaurant on Property No. 1.

Both properties are located within the CBD Zone District which conditionally permits cannabis retailers.

Stephen James Whelan/Sea Grass NJ, LLC (the "Applicant") is seeking to change the use of the Building located on Property No. 1 and to obtain a conditional use permit to allow Property No. 1 to be utilized as a conditionally permitted cannabis retailer under the Highlands Borough Ordinances Section 21-91 A. 3. D. and 21-97 M. This application will involve interior improvements to the Building as well as cosmetic improvements to the exterior of the existing Building. Applicant is **not** proposing to enlarge the existing Building or alter any setbacks or buffers.

The interior improvements the Building on Property No. 1 consist of:

- 1) Removal of the existing bar, two (2) existing bathrooms and an existing walk-in refrigerator;
- 2) Construction of a new retail sales floor accessible by means of a new ADA ramp and vestibule;
- 3) Construction of a new unisex bathroom;
- 4) Construction of a secure packing and receiving (backroom) area; and
- 5) Renovation of the existing second floor kitchen and bathroom for use with two (2) new offices on the second floor.

The exterior improvements to the Building on Property No. 1 consist of:

- 1) Installation of a barrier free ramp at the front entry on Bay Avenue;
- 2) Replacement of the existing awnings;
- 3) A new gated refuse area in place of the former walk-in refrigerator;
- 4) A fresh coat of paint; and
- 5) The installation of a new wall sign on the Bay Avenue frontage bearing the words "sea grass" and the company logo.



Property No. 1 meets the conditional use requirements for a cannabis retailer because: a) it is located in the CBD zone district; b) the proposed use will **not** contain any cannabis consumption area; and c) the property is located greater than 1,000 feet from any schools.

Applicant proposes to continue to utilize Property No. 2 as off-street parking in support of the cannabis retailer just as it is presently being used as off-street parking in connection with the existing restaurant on Property No. 1.

Property No. 2 will be improved through the removal of an existing shed and fenced in area. This will enable the lot to be striped for seventeen (17) parking spaces inclusive of one (1) ADA space nearest the corner of Bay Avenue and Sea Drift Avenue. The parking lot will also be improved through the installation of five (5) deciduous trees, twenty (20) shrubs, decorative grasses and perennial flowers. The existing parking sign will be re-faced at the same location. The existing Borough historic sign with placards for adjacent businesses will remain as well.

Applicant will comply with all prevailing hours of operation limitations for cannabis retailers. Applicant will obtain required licensure as a cannabis retailer and display the licensed at the premises.

The parking requirement in connection with the proposed use (first 1,000 square feet exempt and 1 space per 600 square feet thereafter) is less intense than required of the existing use (one per four seats or stools) and there is adequate parking on Property No. 2 to avoid any parking variance. More specifically, Property No. 2 contains seventeen (17) parking spaces where the use only requires four (4) or less parking spaces.



Borough of Highlands  
42 Shore Drive, Highlands, NJ 07732  
Phone: (82) 872-1224  
www.highlandsborough.org

# Zoning Permit Application

Note: All applications must be submitted with a property survey showing the sizes of the structure(s) and their location. Applications involving businesses must show the scope of the business and include all activities that will be a part of the business.

The following NON-REFUNDABLE fees shall apply: Residential Single & Two-Family \$25  Check #  Cash   
Commercial/Other residential \$50  Check #  Cash

APPLICANT Name: S. James Whelan / Sea Grass NJ, LLC Date: 11/3/2022  
Address: 135 Maple Ave. Red Bank, NJ 07701  
Phone# 732-595-6700 Email: JDR Whelan@gmail.com

Block: 72 Lot(s): 12 Zone: CBD (+ Block 73, Lot 2)  
Street Address: 272 Bay Ave. (+ Sea Drift Avenue)

See attached

Check one:  New\*  Addition\*  Alteration  Repair  Other

I certify the attached survey is accurate relating to existing and proposed improvements. In addition, I grant permission to the Borough of Highlands and their Agents to come onto the subject property, for the purposes of conducting inspections, relating to the application.  
YES  NO

Signature: [Signature] Date: 11/3/2022

Check applicable Flood Zone:  AE  VE  X  
All applications within the AE and VE Flood Zones, as indicated upon the most recent FEMA Flood Maps, require submission of a determination from the NJDEP.

Determination: Approved  Denied  Zoning Officer: [Signature]  
If your application has been DENIED, it is due to the following: Date: 11-3-22  
Ordinance Section Allowed/Required Proposed

Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Note: A Zoning Permit indicates that the proposed project conforms to the planning/zoning regulations of the Borough of Highlands. A building permit is required (per the requirements of the Uniform Construction Code of NJ) BEFORE beginning work. The Zoning Permit is valid for one year. If your application has been denied, you may appeal this denial to the Land Use Board as provided by the New Jersey Municipal Land Use Law. You must submit letter of appeal to the Land Use Board Secretary within 20 days.

\* Note: Applications for New and Addition require a Flood Plain Review Application to the Borough Flood Administrator upon submission of this application.

Owner: Leonel Cervantes  
 Applicant: Stephen James Whelan/Sea Grass NJ, LLC  
 272 Bay Avenue (Block 72, Lot 12) and “Sea Drift Avenue” (Block 73, Lot 2)  
 CBD Zone District (C-RO-1 Overlay)  
 Highlands, New Jersey

### NARRATIVE OF DEVELOPMENT

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Both properties are located within the CBD Zone District which conditionally permits cannabis retailers.

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FOSS SAN FILIPPO & MILNE, LLC  
 225 Broad Street  
 P.O. Box 896  
 Red Bank, New Jersey 07701-0896  
 (732)-741-2525- Phone  
 (732)-741-2192- Fax  
 janderson@fsfm-law.com  
 Attorneys for Applicant, Stephen James Whelan/Sea Grass NJ, LLC

IN THE MATTER OF THE APPLICATION

Leonel Cervantes/Highlands  
 272 Bay Avenue (and 270 Bay Avenue)  
 Block 72, Lot 12 (and Block 73, Lot 2)  
 Highlands, New Jersey 07732

OWNER'S CONSENT

STATE OF NEW JERSEY :  
 : SS  
 COUNTY OF Monmouth :

I, Leonel Cervantes, of full age, do hereby certify:

1. I am the owner of real property, located at 272 Bay Avenue, Highlands, New Jersey, and shown as Block 72, Lot 12, on the municipal Tax Map of the Borough of Highlands. I am also the owner of real property, located at 270 Bay Avenue, Highlands, New Jersey, and shown as Block 73, Lot 2, on the municipal Tax Map of the Borough of Highlands. As such, I have full knowledge of the facts contained in this Owner's Consent.

2. As the owner of aforesaid properties, I hereby authorize Stephen James Whelan/Sea Grass NJ, LLC to file one or more applications and/or appeals to the Land Use Board of the Borough of Highlands and also to file any necessary County and State agencies applications (as applicable) for the proposed development of these properties.

3. As the owner of aforesaid properties, I hereby authorize the applicant, their duly authorized representatives, agents and all professionals or experts retained by it to advance the development application and any and all Federal, State, County or Municipal Officials to enter upon the land in order to inspect the same in furtherance of the development application of Stephen James Whelan/Sea Grass NJ, LLC. These persons include, but are not limited to, members of the Land Use Board (as applicable), engineers, health inspectors, Fire and Police Departments, Planners, Zoning Officers, County, State and Federal Officials, and their duly authorized representatives. Authorization is hereby granted to the Borough of Highlands, its agents, employees and representatives to inspect, all or any part of the above properties, whether interior or exterior, at any reasonable hour of the day with respect to any matters relating to the development application, within the judgment of the Borough of Highlands, or such representatives, related thereto. This Authorization shall permit representatives to take photographs, and to make sketches and notes with respect to the subject properties.

4. As the owner of aforesaid properties, I hereby authorize the applicant to attach a "certified to be true copy" of this Owner's Consent to any and all development applications which it is required to file as part of any federal, state, county or municipal permit applications.

5. Throughout this document and unless the context otherwise requires, the singular number shall include the plural, and vice versa.

I certify that the foregoing is true and correct to the best of my knowledge and belief; I are aware that if any of the foregoing is willfully false, I am subject to punishment.

DocuSigned by:  
  
17F7079682694CF  
LEONEL CERVANTES

Dated: 11/2/2022, 2022



CURRENT

BLOCK

72

DATE

12/6/22

LOT

12

72 Bay Ave

~~390.55~~  
DEC 6 2022  
BY

0434

BOROUGH OF HIGHLANDS - TAX OFFICE  
171 BAY AVENUE HIGHLANDS, N.J.

BLOCK 73

CURRENT

DATE 12/6/22

LOT 2

Seadrift Ave

~~DATA~~  
DEC 6 2022  
BY SEC. 20

~~0431~~

BOROUGH OF HIGHLANDS - TAX OFFICE  
171 BAY AVENUE HIGHLANDS, N.J.



BOROUGH OF HIGHLANDS  
COUNTY OF MONMOUTH

## RESOLUTION 22-217

### IN SUPPORT OF CANNABIS ESTABLISHMENT

**WHEREAS**, on January 18, 2010, Governor Jon Corzine signed the New Jersey Compassionate Use Medical Marijuana Act, N.J.S.A. 24:61-1 et seq., which provided for the legalization of medical marijuana and creation of a program to allow persons suffering from qualifying debilitating medical conditions to obtain medical marijuana in a safe, timely and compassionate manner; and

**WHEREAS**, the State of New Jersey in 2018 amended its regulatory scheme so as to expand the scope of citizens to whom medical marijuana may be prescribed and so as to make medical marijuana more accessible and available to many of the citizens who need it; and

**WHEREAS**, on November 3, 2020, the Marijuana Legalization Amendment was approved by voters in New Jersey, which legalized the possession and use of cannabis for residents twenty-one years of age or older;

**WHEREAS**, on February 22, 2021, Governor Phil Murphy signed into law the New Jersey Cannabis Regulatory, Enforcement Assistance, and Marketplace Act, which established the adult use cannabis program in the State of New Jersey.

**WHEREAS**, the Borough of Highlands endorses the adult use cannabis program in the State of New Jersey, as well as the medical use program, which provides needed relief to the many persons suffering from chronic and/or debilitating illnesses who may benefit from this program; and

**WHEREAS**, the Borough of Highlands supports the safe and appropriate siting of an adult-use cannabis dispensary within the Central Business District zone(s) of the Borough of Highlands to the extent consistent with applicable state and local statutes, rules, regulations, and ordinances, including but not limited to the cannabis retailer licensing provisions of Borough Code Section 4-18 and the conditional use zoning requirements of Section 21-97(M); and

**WHEREAS**, Sea Grass NJ LLC has expressed interest in the siting of such a facility within the Borough of Highlands.

**NOW, THEREFORE, BE IT RESOLVED**, that the Borough Council supports the safe and appropriate siting of an adult-use cannabis dispensary within the Central Business District zone(s) of the Borough of Sea Grass NJ LLC to the extent consistent with applicable state and local statutes, rules, regulations and ordinances, including but not limited to the cannabis retailer licensing provisions of Borough Code Section 4-18 and the conditional use zoning requirements of Section 21-97(M).

**BE IT FURTHER RESOLVED**, that due to the Borough's limit of a single Cannabis Retailer License, upon submission of a complete license application, the license applicant that receives Cannabis Regulatory Commission approval first in time shall be deemed approved by the Borough.

Motion to Approve R 22-217:

	INTRODUCED	SECOND	AYE	NAY	RECUSE	ABSENT
CERVANTES			X			
CHELAK			X			
MELNYK				X		
OLSZEWSKI		X	X			
BROULLON	X		X			

This is a Certified True copy of the Original Resolution on file in the Municipal Clerk's Office.

DATE OF VOTE: October 5, 2022

  
\_\_\_\_\_  
Nancy Tran, Municipal Clerk  
Borough of Highlands



State of New Jersey  
CANNABIS REGULATORY COMMISSION

P.O. BOX 216  
TRENTON, N.J. 08625-0216

PHILLIP D. MURPHY  
Governor

SHEILA Y. OLIVER  
Lt. Governor

DIANNA HOUEYOU, *Chair*  
SAMUEL DELGADO, *Vice Chair*  
KRISTA NASH, *Commissioner*  
MARIA DEL CID-KOSSO, *Commissioner*  
CHARLES BARKER, *Commissioner*  
JEFF BROWN, *Executive Director*

July 29, 2022

Sea Grass NJ  
Nicholas Frangipane  
[nick.frang@gmail.com](mailto:nick.frang@gmail.com)  
135 Maple Ave.  
Red Bank, NJ 07701

*Re: FINAL AGENCY DECISION  
APPROVAL OF CONDITIONAL LICENSE APPLICATION*

Dear Nicholas Frangipane:

Congratulations! The New Jersey Cannabis Regulatory Commission (“NJ-CRC”) has received and reviewed your application for a Class 5 Cannabis Retailer to operate an adult personal-use cannabis business in the state of New Jersey. Upon the completion of the NJ-CRC’s review, your application for a conditional license has been approved.

Pursuant to N.J.A.C. 17:30-7.2(f), the NJ-CRC shall approve a conditional license application where the applicant (1) has submitted a complete conditional license application in accordance with N.J.A.C. 17:30-7.3 and the notice of application acceptance pursuant to N.J.A.C. 17:30-6.1; (2) has scored sufficiently high to be issued a conditional license in accordance with the criteria included in the notice of application acceptance pursuant to N.J.A.C. 17:30-6.1 and 7.3; (3) is qualified to hold a conditional license pursuant to N.J.A.C. 17:30-7.4; and (4) has submitted application fees pursuant to N.J.A.C. 17:30-7.17. The above-referenced entity has satisfied all criteria.

**Following this written notice of approval, the license applicant must notify the NJ-CRC within five (5) business days whether it will accept the license, or if it will abandon the license. Acceptance or abandonment of the license can be supplied by a letter from the applicant’s listed primary contact, submitted electronically to [crc.licensing@crc.nj.gov](mailto:crc.licensing@crc.nj.gov). Pursuant to N.J.A.C. 17:30-7.5(c), failure of the applicant to notify the NJ-CRC of its decision to accept or abandon the license by the specified deadline shall result in the license being deemed abandoned.**

Should you choose to accept this license, the NJ-CRC will continue to verify information contained in your application and notify you when to submit the required conditional license application approval fee established at N.J.A.C. 17:30-7.17. Following receipt of the conditional license application approval fee,



the NJ-CRC will issue the conditional license and provide the same to the applicant.

Acceptance of the license, submission of the conditional license application approval fee, and issuance of the conditional license by the NJ-CRC to the applicant triggers the beginning of the conditional license phase as established at N.J.A.C. 17:30-7.6. During the conditional license phase, the conditional license holder must (1) establish control of the proposed site; (2) gain municipal approval; and (3) develop and submit a conditional license conversion application. The conditional license phase commences on the date the conditional license is issued to the license applicant and expires after 120 calendar days. Pursuant to N.J.S.A. 24:6I-36b.(2)(d)(i) the NJ-CRC may extend the conditional license phase of any applicant for an additional 45 calendar days at its discretion. **To create better efficiency and to support new applicants, the NJ-CRC will automatically extend the conditional license phase for the above-listed applicant for an additional 45 calendar days.** The applicant may satisfy the conditional license phase and begin the process to convert to an annual license at any time prior to the end date for the conditional license phase. The additional 45 calendar days are offered as a courtesy and to prevent the necessity of the applicant submitting a formal request for extension.

**During the conditional license phase, the conditional license holder shall not engage in purchasing, possessing, selling, cultivating, manufacturing, or selling cannabis or cannabis products.** N.J.A.C. 17:30-7.6(e). Failure to adhere to this restriction may subject the applicant to adverse action by the Commission and may expose the applicant to law enforcement action.

The following activities are permitted during the conditional license phase:

1. The conditional license holder may obtain additional funding by adding new loans or gifts from new or existing financial sources not listed in the conditional license application. Conditional license applicants are reminded, however, that during the conversion phase, the NJ-CRC may investigate and may conduct probity review of the license applicant, its owners, principals, and related entities and their finances, ownership, and control structure (See N.J.A.C. 17:30-7.7(e)), and conditional license holders are therefore advised to not execute any additional financing agreements that have not been received and reviewed by the NJ-CRC;
2. The conditional license holder may change the proposed location of the cannabis business, and such new location shall be reflected in the conditional license conversion application;
3. The conditional license holder may notify the NJ-CRC of its intention to abandon the license, which will then be returned to the Commission; and
4. The majority share of the ownership interest in the license holder shall remain the same as at the time of license issuance, however:
  - a. An owner or passive investor of the conditional license holder may transfer ownership interest to another qualified party; and
  - b. The conditional license holder may add new qualified owners and principals.

Certain businesses are subject to the following additional restrictions:

1. A Diversely-Owned Business conditional license holder shall not make any ownership interest transfer that causes the license applicant to no longer comply with the Diversely-Owned business criteria, pursuant to N.J.A.C. 17:30-6.4;
2. An Impact Zone Business conditional license holder shall not make any ownership interest transfer that causes the license applicant to no longer comply with the Impact Zone Business criteria, pursuant to N.J.A.C. 17:30-6.5;

3. A Social Equity Business conditional license holder shall not make any ownership interest transfer that causes the license applicant to no longer comply with the Social Equity Business criteria, pursuant to N.J.A.C. 17:30-6.6;
4. A Microbusiness conditional license holder shall not make any ownership interest transfer that causes the license applicant to no longer comply with the Microbusiness criteria, pursuant to N.J.A.C. 17:30-6.7; and
5. A conditional license holder shall not violate the limitations on owners and principals, pursuant to N.J.A.C. 17:30-6.8.

Prior to the end of the conditional license phase, the applicant must submit its conditional cannabis business conversion application pursuant to N.J.A.C. 17:30-7.8. If granted, the license will be converted from a conditional license to an annual license, subject to all conditions set forth in N.J.A.C. 17:30-7.9 through 7.14.

As a conditional license awardee, you are subject to the New Jersey Cannabis Regulatory, Enforcement Assistance, and Marketplace Modernization (“CREAMM”) Act as well as all regulations implementing the CREAMM Act, set forth at N.J.A.C. 17:30. The NJ-CRC recommends that you familiarize yourself with those sections of the regulation pertaining to conditional cannabis licenses, specifically N.J.A.C. 17:30-7.2 through 7.8.

Again, congratulations on your successful application and thank you for your interest in working with the NJ-CRC to establish a safe and equitable cannabis industry for the state of New Jersey. Should you have any questions regarding this correspondence, please submit your inquiry to the NJ-CRC Licensing inbox at [crc.licensing@crc.nj.gov](mailto:crc.licensing@crc.nj.gov).

Sincerely,



Dianna Houenou  
Chairperson  
New Jersey Cannabis Regulatory Commission



# Sea Grass NJ

Interior Renovations / Commercial Fit-Out  
 272 Bay Avenue, Borough of Highlands, NJ 07732  
 Block 72, Lot 12

### PROJECT DESCRIPTION

PROJECT: SEA GRASS NJ INTERIOR RENOVATIONS / COMMERCIAL FIT-OUT  
 272 BAY AVENUE, BLOCK 72, LOT 12  
 MONMOUTH COUNTY, NEW JERSEY  
 PROJECT USE: COMMERCIAL (S.B. & OCCUPANCY)  
 PROJECT DESCRIPTION: INTERIOR RENOVATIONS AND FIT-OUT INCLUDING RELOCATING AND REPAIRING EXISTING MECHANICAL AND ELECTRICAL SYSTEMS AND PROVIDING NEW MECHANICAL AND ELECTRICAL SYSTEMS TO ACCOMMODATE BEST FLOOR FINISHES.

### DRAWING LIST

- A1 COVER SHEET & DEMO
- A2 PROPOSED FLOOR PLANS
- A3 EXTERIOR ELEVATIONS

SHISSIAS  
 DESIGN + DEVELOPMENT  
 154 445 0665  
 8130 RIVER ROAD, SUITE 200  
 HIGHLANDS, NJ 07732  
 272 BAY AVENUE, BLOCK 72, LOT 12



SEA GRASS NJ  
 INTERIOR RENOVATIONS / COMMERCIAL FIT-OUT  
 272 BAY AVENUE, BLOCK 72, LOT 12  
 HIGHLANDS, NJ 07732

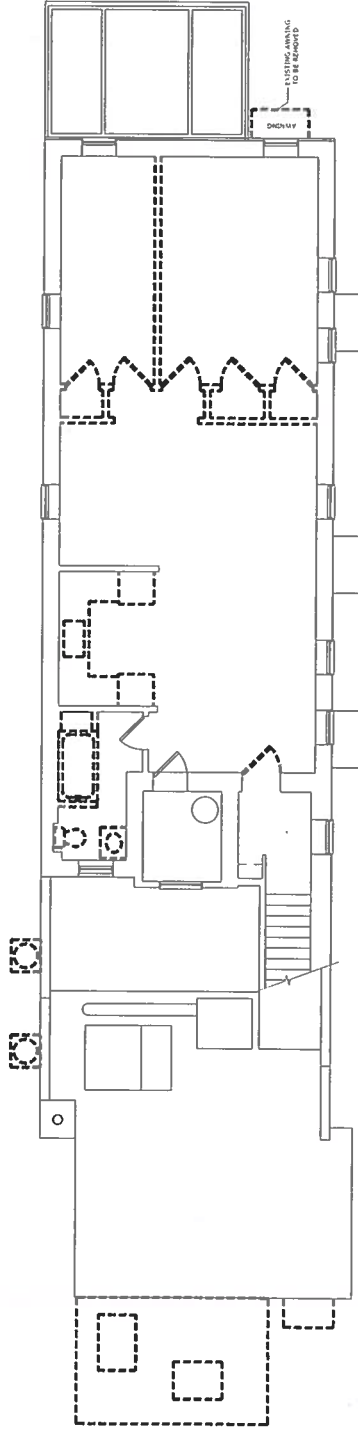
Sea Grass NJ  
 Interior Renovations / Commercial Fit-Out  
 272 Bay Avenue, Borough of Highlands, NJ 07732  
 Block 72, Lot 12

Rev. No. 2023.1  
 Issued For: Board Approval  
 Date: 12/21/2023

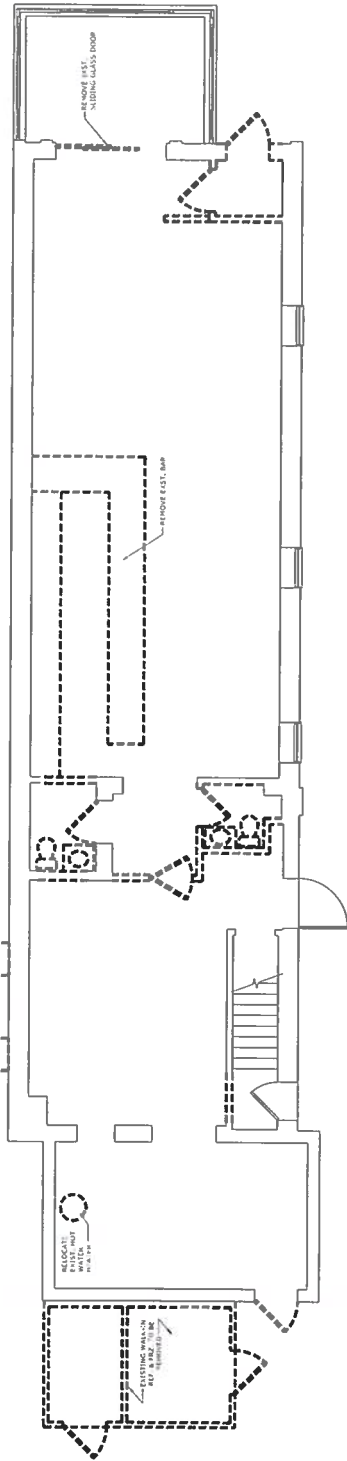
COVER SHEET & DEMO

A1  
 1 of 1

Item 1.



2 SECOND FLOOR DEMOLITION PLAN  
 1/4" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN  
 1/4" = 1'-0"

#### DEMOLITION LEGEND

- EXISTING WALL TO REMAIN
- - - EXISTING WALL TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE DEMOLISHED

#### DEMOLITION NOTES

VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION. VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EXISTING CONDITIONS WITH PROPERTY CONTRACTOR TO INCLUDE TEMPORARY SUPPORT FOR ALL STRUCTURAL BEARING MEMBERS PRIOR TO DEMOLITION. VERIFY ALL EXISTING CONDITIONS WITH PROPERTY CONTRACTOR TO INCLUDE TEMPORARY SUPPORT FOR ALL STRUCTURAL BEARING MEMBERS PRIOR TO DEMOLITION. VERIFY ALL EXISTING CONDITIONS WITH PROPERTY CONTRACTOR TO INCLUDE TEMPORARY SUPPORT FOR ALL STRUCTURAL BEARING MEMBERS PRIOR TO DEMOLITION. VERIFY ALL EXISTING CONDITIONS WITH PROPERTY CONTRACTOR TO INCLUDE TEMPORARY SUPPORT FOR ALL STRUCTURAL BEARING MEMBERS PRIOR TO DEMOLITION.





ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.

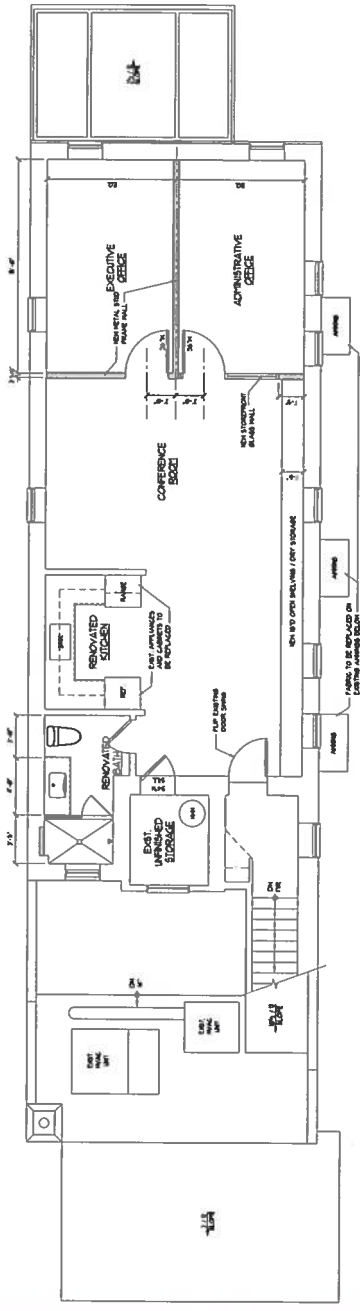
**Sea Grass NJ**  
 Interior Renovations / Comerica Fit-Out  
 272 Bay Avenue, Borough of Highlands, NJ 07732  
 Block 72, Lot 12

Proj. No. 2022.01  
 Issued For: Board Approval  
 Date: 12/2/2022

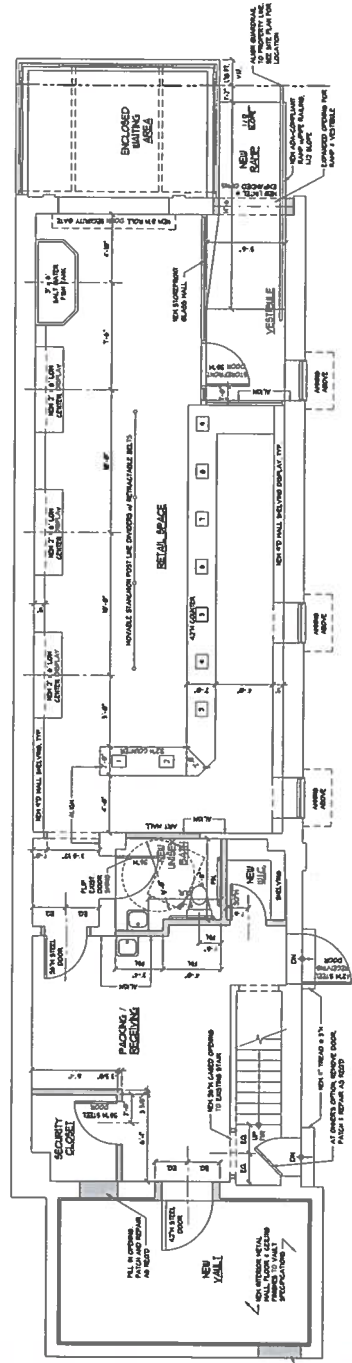
PROPOSED  
 FLOOR PLANS

**A2**  
 2 of 1

Item 1.



**2 SECOND FLOOR PLAN**  
 1/4" = 1'-0"



**1 FIRST FLOOR PLAN**  
 1/4" = 1'-0"



**SEA GRASS NJ**  
Interior Renovations / Commercial Fit-Out

272 Bay Avenue, Borough of Highlands, NJ 07732

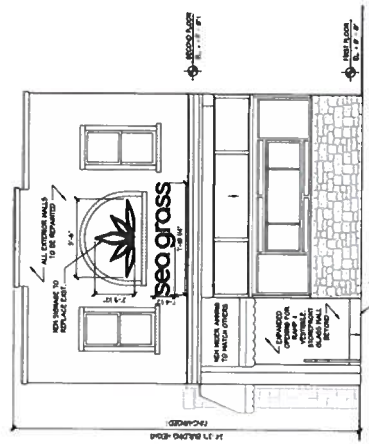
Proj. No. 2023.01  
Issued For Board Approval  
Date 12/17/2022

**EXTERIOR ELEVATIONS**

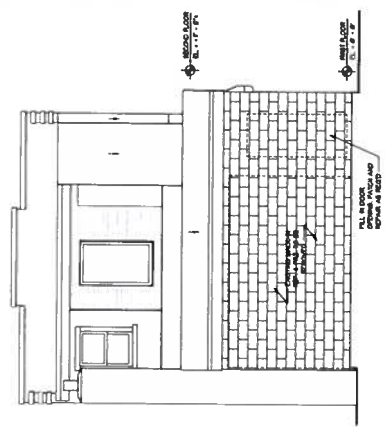
**A3**  
3 of 3  
Item 1.



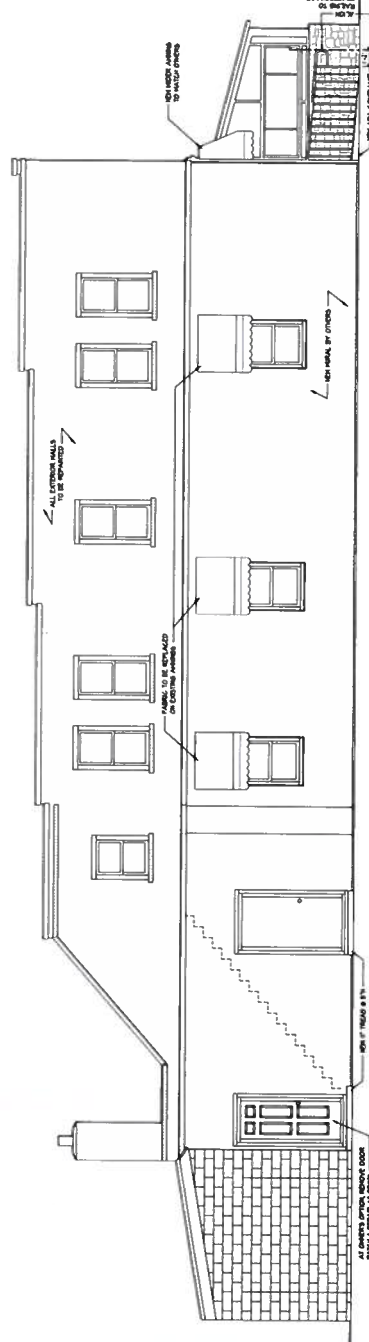
1 SIGNAGE DETAIL  
1/4" = 1'-0"



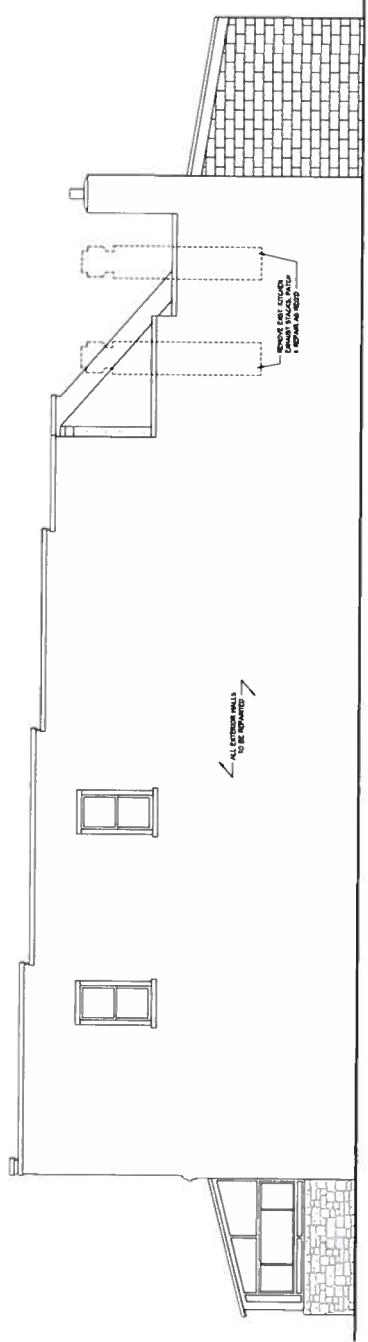
2 FRONT (BAY AVE.) ELEVATION  
1/4" = 1'-0"



3 REAR ELEVATION  
1/4" = 1'-0"



4 SIDE (SEA DRIFT AVE.) ELEVATION  
1/4" = 1'-0"



5 SIDE ELEVATION  
1/4" = 1'-0"

# PRELIMINARY & FINAL MAJOR SITE PLAN SEA GRASS NJ, LLC BLOCK 72, LOT 12 & BLOCK 73, LOT 2 BOROUGH OF HIGHLANDS MONMOUTH COUNTY, NEW JERSEY

**UTILITY COMPANY CONTACTS:**  
**AT&T**  
 PO Box 3311  
 Flemington, NJ 07832  
 (609) 835-4300  
**AMERICAN WATER SUPPLY COMPANY**  
 1000 North 10th Street  
 Flemington, NJ 07832  
**CONJUGAL COMMUNICATIONS OF MONMOUTH COUNTY**  
 200 State St., 3rd Floor  
 Freehold, NJ 07728  
**MONMOUTH COUNTY**  
 1000 North 10th Street  
 Flemington, NJ 07832  
**MONMOUTH COUNTY WATER SUPPLY AUTHORITY**  
 1000 North 10th Street  
 Flemington, NJ 07832  
**MONMOUTH COUNTY WATER SUPPLY AUTHORITY**  
 1000 North 10th Street  
 Flemington, NJ 07832

**PROPERTY OWNERS WITHIN 200' ±:**  
 [List of property owners and addresses]

**REDEVELOPMENT DISTRICT ZONE (C-RD-11) AREA, YARD & BUILDING REQUIREMENTS**  
 [Table with columns: DISTRICT ZONE, MAX. LOT AREA, MIN. LOT WIDTH, MIN. LOT DEPTH, MIN. SETBACK, MIN. FRONT YARD, MIN. SIDE YARD, MIN. REAR YARD, MAX. BUILDING COVERAGE, MAX. BUILDING HEIGHT, MAX. LOT COVERAGE, MAX. LOT COVERAGE ALL IMPROVEMENTS, MAX. FLOOR AREA, FLOOR AREA = 6,834 SF]

**KEY MAP SCALE: 1" = 200' ±**  
 [Map showing the project location within the surrounding neighborhood]

**TAX MAP #13 & #18 SCALE: 1" = 200' ±**  
 [Map showing the project location on tax maps]

**REDEVELOPMENT AREA AND ZONE DISTRICT BOUNDARIES**  
 [Map showing the boundaries of the redevelopment area and various zones]

**REDEVELOPMENT AREA AND ZONE DISTRICT BOUNDARIES**  
 [Map showing the boundaries of the redevelopment area and various zones]

**REDEVELOPMENT AREA AND ZONE DISTRICT BOUNDARIES**  
 [Map showing the boundaries of the redevelopment area and various zones]

**SITE PLAN SHEET INDEX**

NO.	DRAWING TITLE	DATE	REVISION
1	KEY MAP	11/27/22	
2	TAX MAP #13 & #18	11/27/22	
3	REDEVELOPMENT AREA AND ZONE DISTRICT BOUNDARIES	11/27/22	
4	REDEVELOPMENT AREA AND ZONE DISTRICT BOUNDARIES	11/27/22	
5	REDEVELOPMENT AREA AND ZONE DISTRICT BOUNDARIES	11/27/22	
6	REDEVELOPMENT AREA AND ZONE DISTRICT BOUNDARIES	11/27/22	
7	REDEVELOPMENT AREA AND ZONE DISTRICT BOUNDARIES	11/27/22	
8	REDEVELOPMENT AREA AND ZONE DISTRICT BOUNDARIES	11/27/22	
9	REDEVELOPMENT AREA AND ZONE DISTRICT BOUNDARIES	11/27/22	
10	REDEVELOPMENT AREA AND ZONE DISTRICT BOUNDARIES	11/27/22	

**OWNER:**  
 LEONEL CERVANTES  
 272 BAY AVENUE  
 HIGHLANDS, NJ 07732

**APPLICANT:**  
 SEA GRASS NJ, LLC  
 135 MAPLE AVENUE  
 RED BANK, NJ 07701

**OWNER** DATE APPLICANT DATE

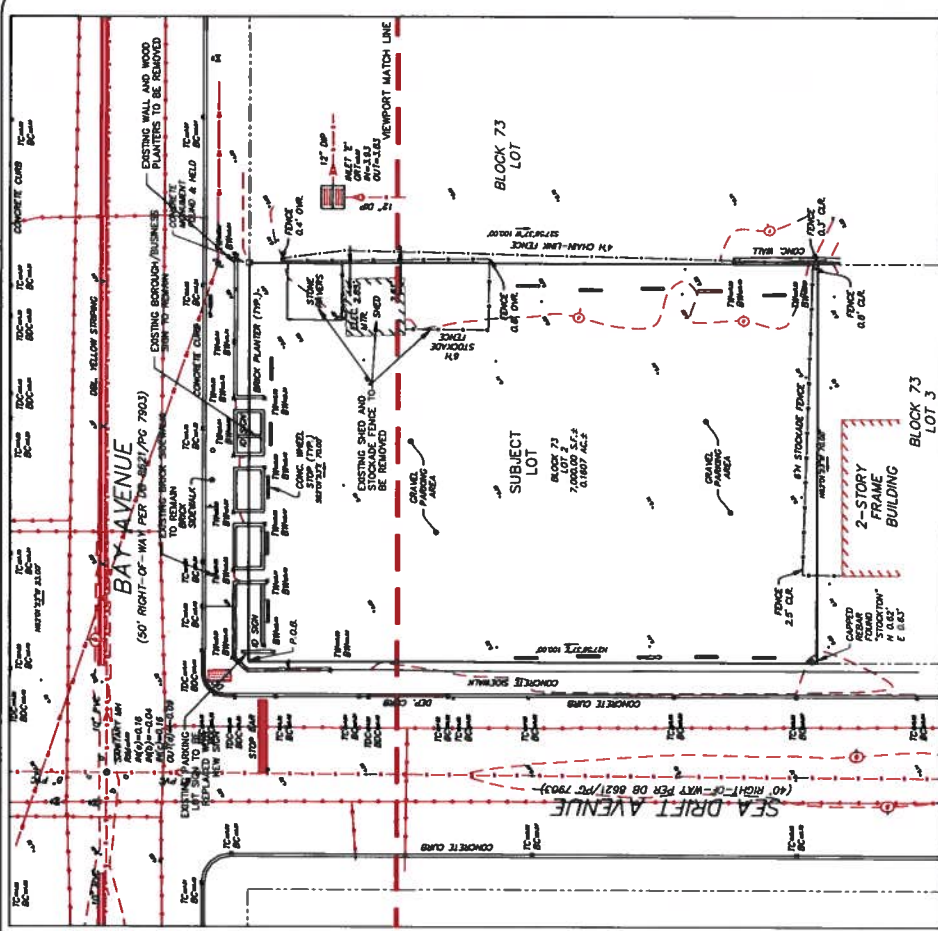
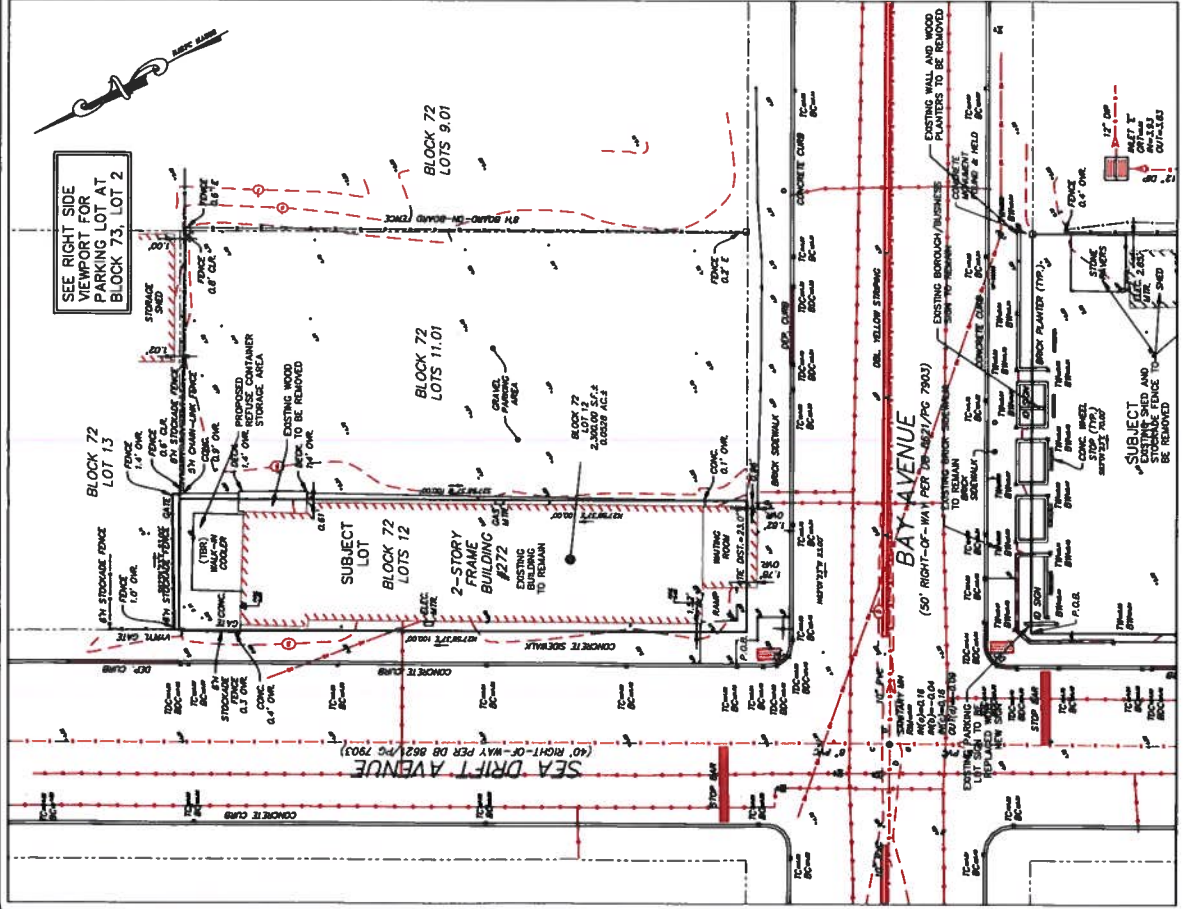
**PRELIMINARY & FINAL MAJOR SITE PLAN COVER SHEET**  
 BLOCK 72, LOT 12 & BLOCK 73, LOT 2  
 HIGHLANDS BOROUGH, NEW JERSEY  
 11/27/22

**EAST POINT ENGINEERING, P.C.**  
 11 South New Street  
 Freehold, NJ 07728  
 732.737.0100

**ZONING BOARD**  
 CASE NO. ZB-2022-001  
 SHEET NO. 1 OF 10





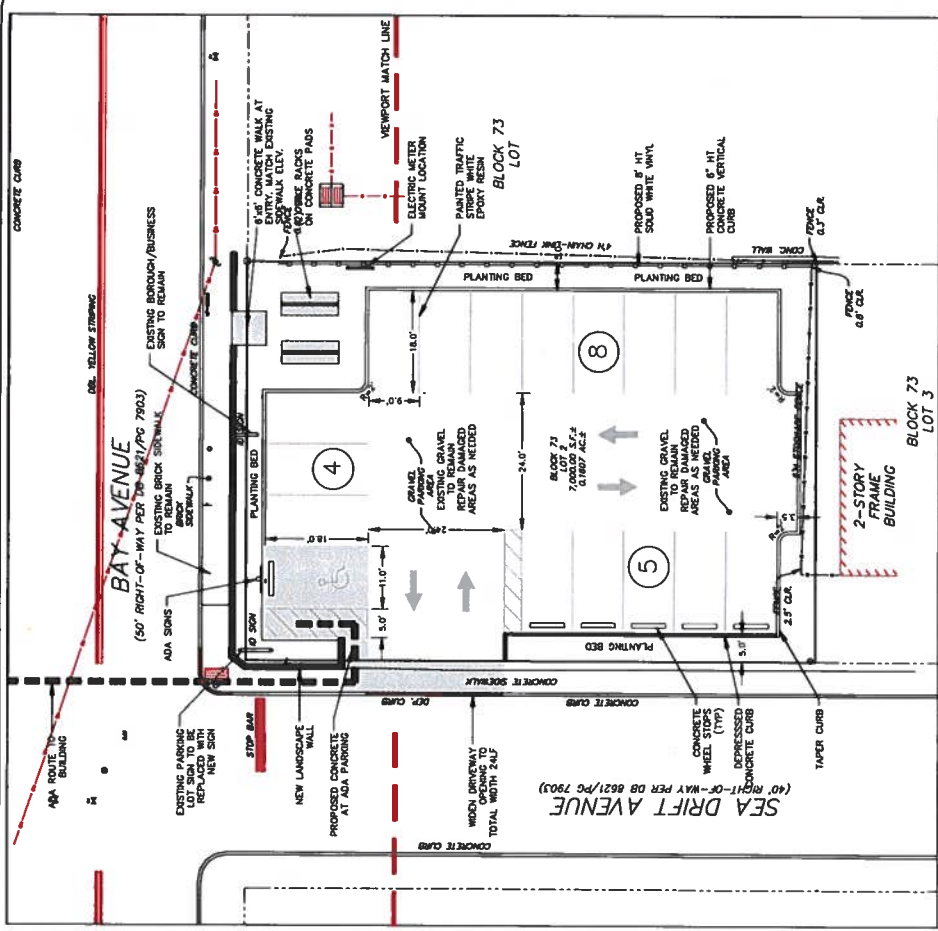


SURVEY REFERENCED:  
 "BOUNDARY & TOPOGRAPHIC SURVEY INFORMATION OBTAINED FROM PLANS ENTITLED,  
 "BOUNDARY AND TOPOGRAPHIC SURVEY FOR 272 BAY AVENUE, L.L.C. BLOCK 73, LOT 12,  
 BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY LANDMARK  
 SURVEYS, INC., DATED NOVEMBER 9, 2022.  
 AND  
 "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SEA DRIFT AVE, L.L.C. BLOCK 73, LOT 2,  
 BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY LANDMARK  
 SURVEYS, INC., DATED NOVEMBER 9, 2022.



PRELIMINARY & FINAL MAJOR SITE PLAN  
 EXISTING CONDITIONS PLAN  
 SEA BRASS NJ, LLC  
 11 South Water Street  
 HIGHLANDS, NJ 08041  
 762.727.7638  
 11/2/22  
 EAST POINT ENGINEERING, LLC  
 11 South Water Street  
 HIGHLANDS, NJ 08041  
 762.727.7638  
 SHEET NO. 3 OF 10

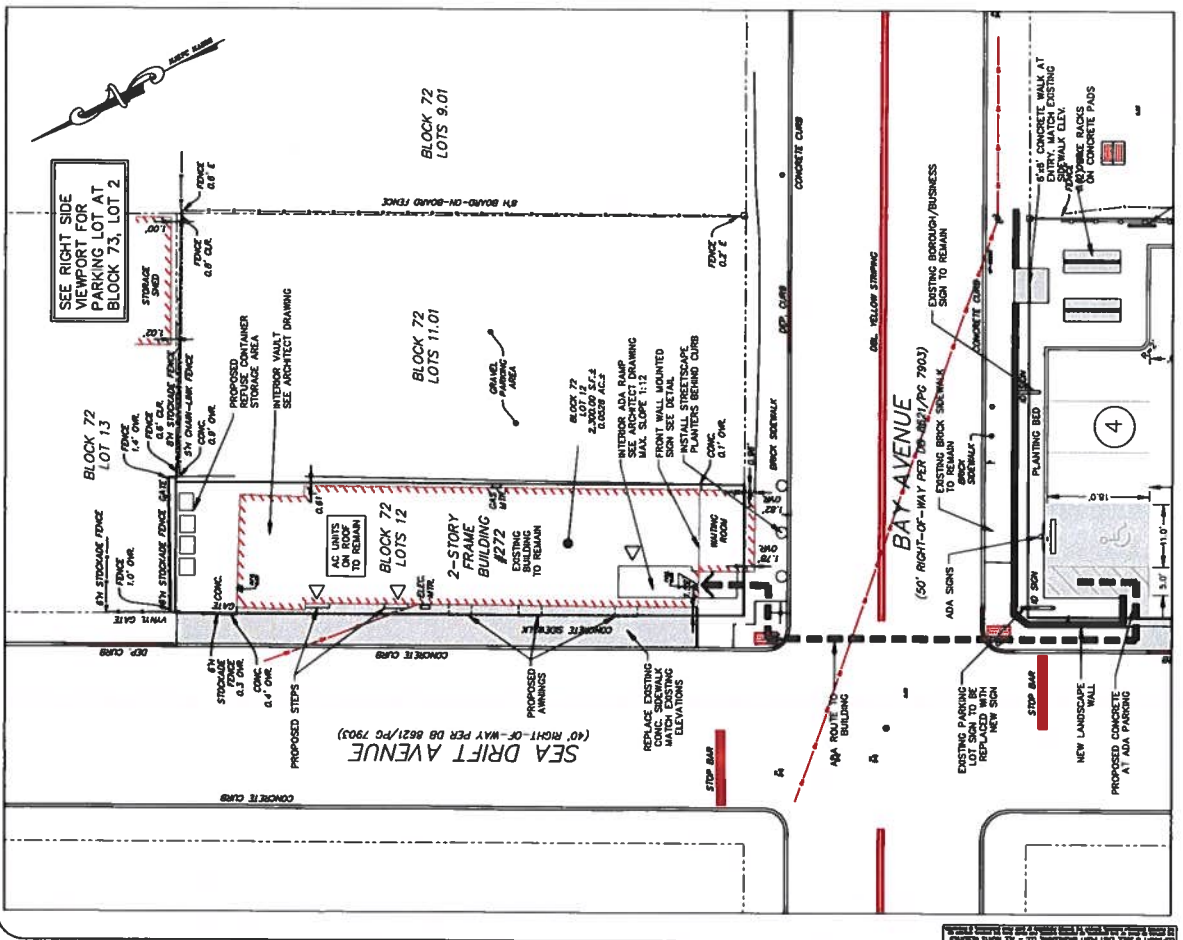




**SITE IMPROVEMENT NOTES**

1. ALL SIGN, STRIPES, AND DECALS FOR THE MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.
2. ALL SIGN SHALL BE CONSTRUCTED OF ALUMINUM OR GALVANNEED STEEL WITH A STRIPING MATERIAL PROVIDED AS AN ALTERNATE JOINT.
3. ALL SIGN SHALL BE 4' x 16' UNLESS OTHERWISE NOTED ON THE PLAN.
4. SIGNAGE, LAMP, AND CURBS TO BE CONSTRUCTED OF ADA PER CONCRETE AS SHOWN ON THE CONSTRUCTION SET.
5. CONSTRUCTION SHALL BE LIMITED TO THE ORIGINAL CONCRETE FOR SIGN AND APPROVED SIGN TO CONFORM WITH ALL CURBS SHALL BE CONSTRUCTED OUT OF CONCRETE.
6. DEPRESSIONS SHALL BE CONSTRUCTED OUT OF CONCRETE.
7. ANY CURBS OR SIGNAGE REMOVED BY THE MAJOR DURING CONSTRUCTION SHALL BE REPLACED.

**PRELIMINARY & FINAL MAJOR SITE PLAN**  
**SITE LAYOUT / SIGNAGE & STRIPING PLAN**  
 SEA GRAB & CO., LLC  
 1100 WEST 10TH STREET, SUITE 100  
 ANCHORAGE, ALASKA 99501-1000  
 PHONE: (907) 562-1100  
 FAX: (907) 562-1101  
 1/12/22  
 1/12/22  
 EAST POINT ENGINEERING LLC  
 1100 WEST 10TH STREET, SUITE 100  
 ANCHORAGE, ALASKA 99501-1000  
 PHONE: (907) 562-1100  
 FAX: (907) 562-1101  
 SHEET NO. 4 OF 10

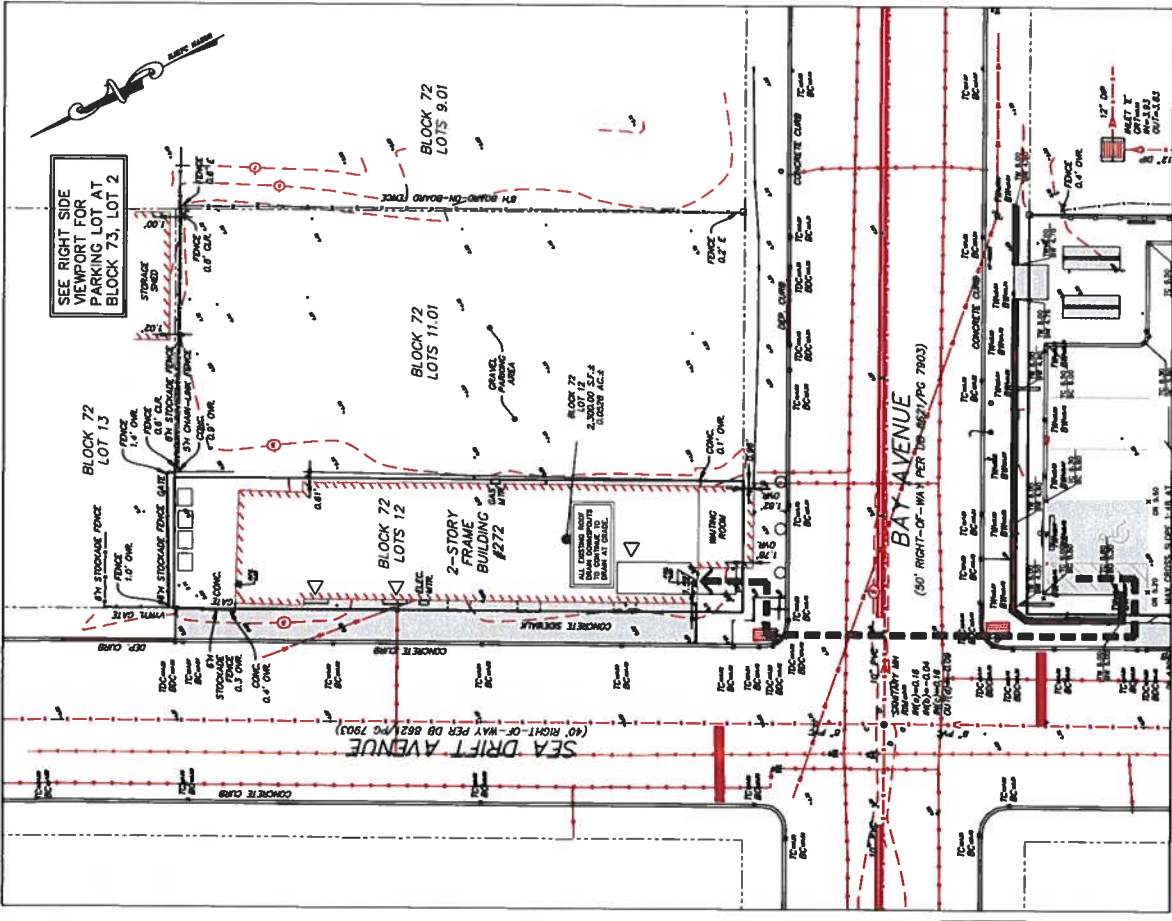
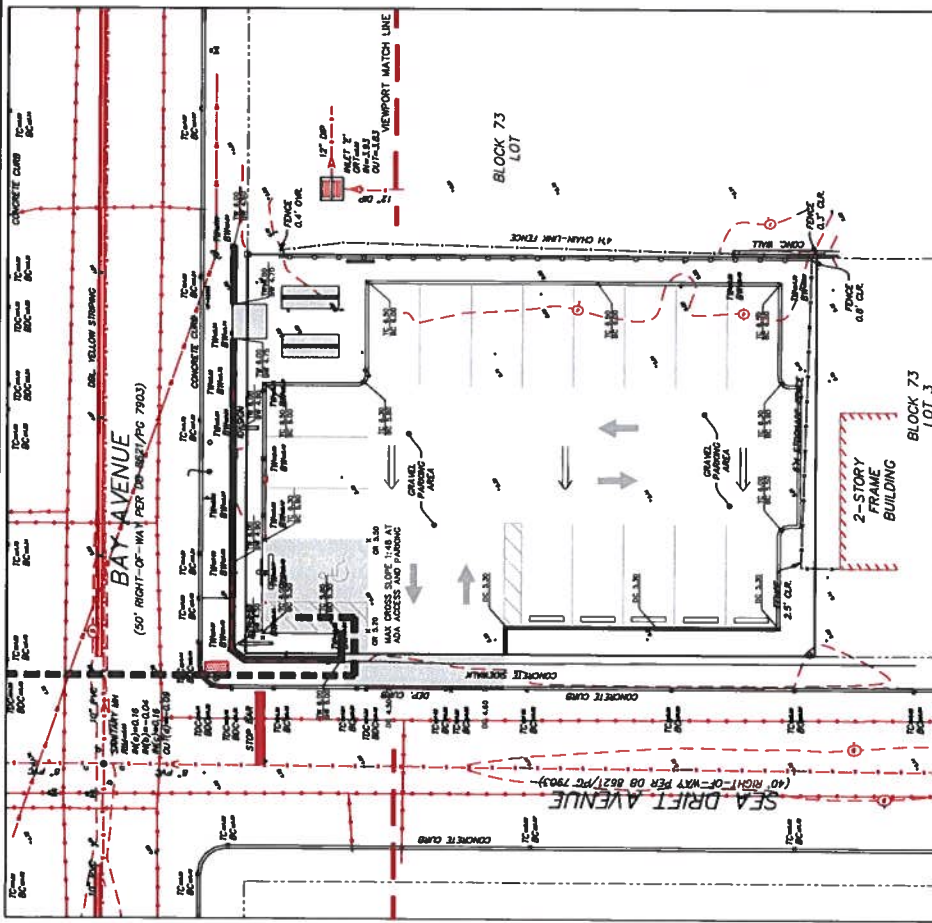


**SITE IMPROVEMENT NOTES**

1. ALL SIGN, STRIPES, AND DECALS FOR THE MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.
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**PRELIMINARY & FINAL MAJOR SITE PLAN**  
**SITE LAYOUT / SIGNAGE & STRIPING PLAN**  
 SEA GRAB & CO., LLC  
 1100 WEST 10TH STREET, SUITE 100  
 ANCHORAGE, ALASKA 99501-1000  
 PHONE: (907) 562-1100  
 FAX: (907) 562-1101  
 1/12/22  
 1/12/22  
 EAST POINT ENGINEERING LLC  
 1100 WEST 10TH STREET, SUITE 100  
 ANCHORAGE, ALASKA 99501-1000  
 PHONE: (907) 562-1100  
 FAX: (907) 562-1101  
 SHEET NO. 4 OF 10

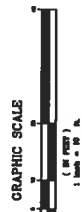


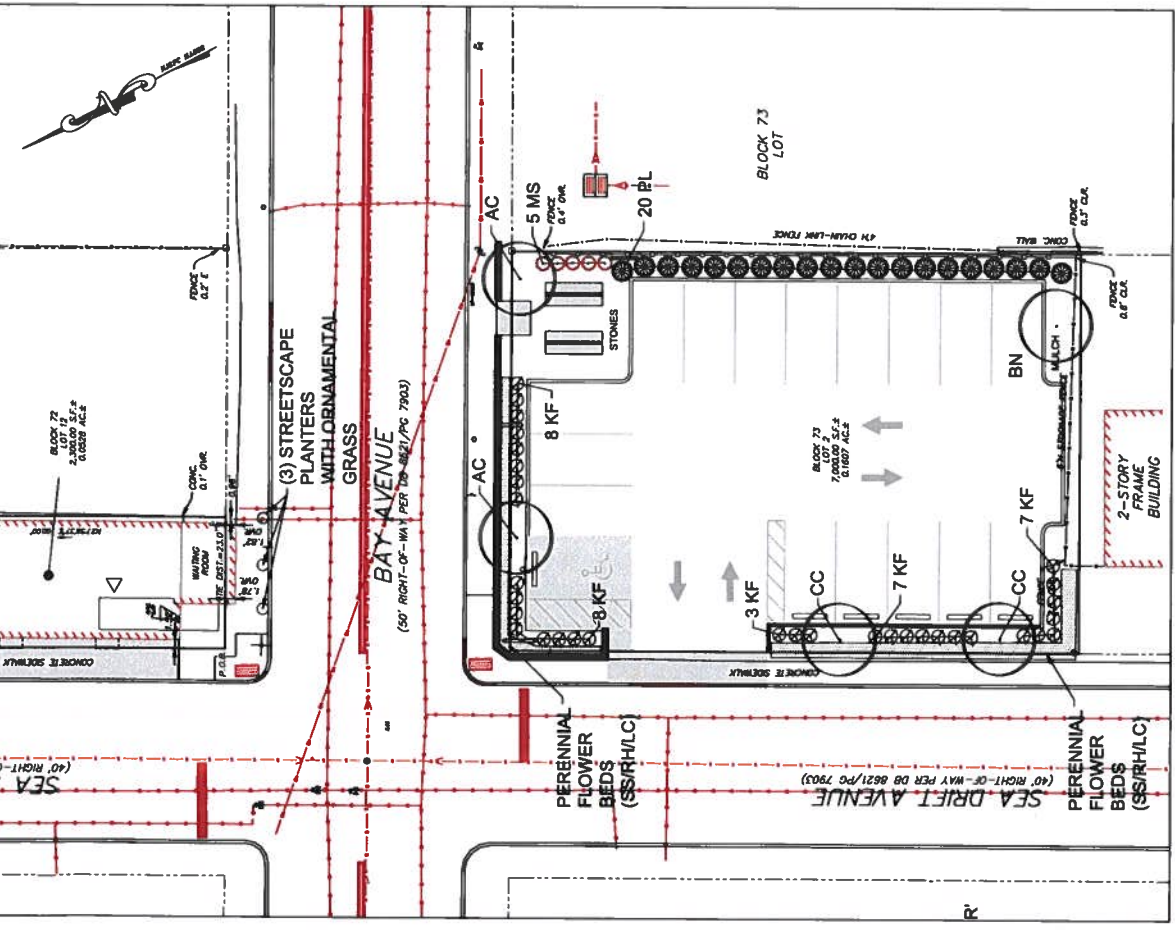


PRELIMINARY & FINAL MAJOR SITE PLAN  
SEA HARBOR MARINA  
GRADING PLAN  
BLOCK 72, LOT 13 & BLOCK 73, LOT 3  
HIGHLAND COUNTY, NEW JERSEY  
UNINCORPORATED, U.S.A.

**EAST POINT ENGINEERING, LLC**  
11 South High Street  
Highland County, New Jersey  
08520  
Tel: 732.277.8338  
Fax: 732.277.8339  
www.eastpointeng.com

DATE: 11/21/22  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: AS SHOWN  
SHEET NO. 5 OF 10

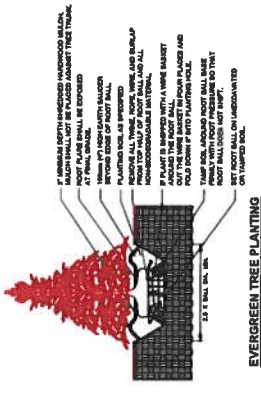
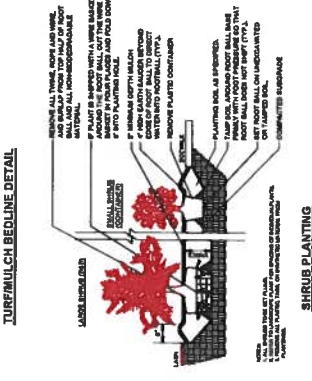
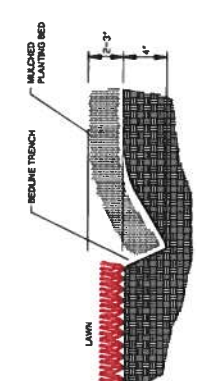
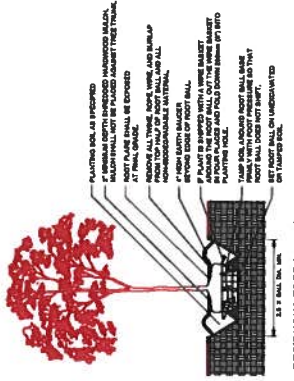




KEY	QTY	BOTANICAL NAME	COMMON NAME	HT./CONTAINER SIZE	REMARKS
<b>Deciduous Trees:</b>					
BN	1	Betula Nigra 'Culm'	Hellgate Blue Birch	2.5" - 3.0' cal.	B&B, Straight Central Leader
CC	2	Cercis Canadensis	Eastern Redbud	4-5' Ht.	B&B, Straight Central Leader
AC	2	Ampelancher Canadensis	Shoebow Sen-Asabery	4-5' Ht.	B&B, Straight Central Leader
<b>Shrubs:</b>					
PL	20	Punus Laurocarpa 'Schubertiana'	Slip Cherry Laurel	3 Gal.	
<b>Ornamental Grasses:</b>					
MS	5	Miscanthus Sinensis 'Silchus'	Parrotail Grass	3 Gal.	
KF	33	Calamagrostis x Acutiflora	Karl Foerster's Feathered Reed Grass	3 Gal.	
<b>Perennial Flowers (M/S):</b>					
SS		Solidago Semper-Virens	Scallop Goldenrod	3 Gal.	
RH		Rubusida Hirta	Black-eyed Susan	3 Gal.	
LC		Labelia Canadensis	Candidal Flower	3 Gal.	

**PLANTING NOTES:**

1. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT REVISED DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASIDE, CALIFORNIA, AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES. THE CONTRACTOR SHALL CONTACT UTILITY ENTITIES FOR MARK-OUT OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION ACTIVITIES. THE PROJECT MANAGER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASIDE, CALIFORNIA, AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASIDE, CALIFORNIA, AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
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3. SHRUBS AND EVERGREEN TREES SHALL BE FIELD ADJUSTED TO BE PLANTED AT THE CORRECT PLANTING DEPTH AND LOCATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASIDE, CALIFORNIA, AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASIDE, CALIFORNIA, AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
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5. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT REVISED DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASIDE, CALIFORNIA, AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASIDE, CALIFORNIA, AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
6. ANY LANDSCAPING WHICH IS NOT RESISTANT TO THE ENVIRONMENT OR THAT DIES WITHIN TWO YEARS OF PLANTING, SHALL BE REPLACED BY THE DEVELOPER, PLANTER AND CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASIDE, CALIFORNIA, AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASIDE, CALIFORNIA, AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
7. THE CONTRACTOR SHALL KEEP THE AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. ALL EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASIDE, CALIFORNIA, AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASIDE, CALIFORNIA, AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.
8. IN THE EVENT THAT PLANT QUANTITY, DISCREPANCIES OR MATERIAL DEFICIENCIES OCCUR IN THE PLANTING SCHEDULE, THE PLANTER SHALL SUPPLEMENT.



**PRELIMINARY & FINAL MAJOR SITE PLAN LANDSCAPE PLAN**

Block 73, Lot 2, Sea Drift Avenue, Seaside, CA 94138

**EAST POINT ENGINEERING, LLC**  
 11 South Beach Blvd, Seaside, CA 94138  
 (530) 325-1111  
 www.eastpointeng.com

DATE: 11/21/22  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 PROJECT NUMBER: [Number]  
 SHEET NO. 6 OF 10



Luminaire Data - DB Lighting Consultation	Description	LLF	Watts	LMH
Label Qty Symbol	SSVP-SPS-SVI-20V-400K IESNA2002	0.850	18,909	2721
VA	SMT4040-14-wrth_black_side_shield	0.850	74,244	4764
SL4s	Above All Lighting			

Calculation Values - DB Lighting Consultation	Units	Min	Avg/Min	Max/Min
All Values Project Area	FC	6.3	0.0	N.A.
Parading	FC	1.65	6.3	5.50
				21.00

- NOTES:**
- The calculated results of the lighting simulation represent a prediction of performance and are subject to change based on actual site conditions.
  - Actual measured results may vary from the anticipated performance and are subject to change based on actual site conditions.
  - Calculations are based on a 0.75 foot mounting height.
  - Calculations are based on a 0.75 foot mounting height.
  - Calculations are based on a 0.75 foot mounting height.

**LIGHTING NOTES**

- ALL SITE LIGHTING SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
- THE CLIENT SHALL PROVIDE ALL NECESSARY ELECTRICAL SERVICE.
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**ABOVE ALL**

SELECTABLE SUB WALL PACK

Customer controls the environment

**ABOVE ALL LIGHTING**

POLE MOUNTED EXTURE (S-44)

PRODUCT DESCRIPTION

PERFORMANCE

ELECTRICAL SYSTEM

FEATURES

DIMENSIONS

**ABOVE ALL**

SELECTABLE SUB WALL PACK

Customer controls the environment

**ABOVE ALL LIGHTING**

POLE MOUNTED EXTURE (S-44)

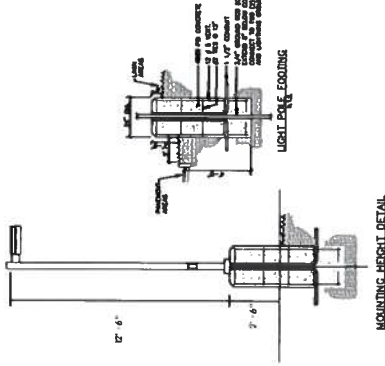
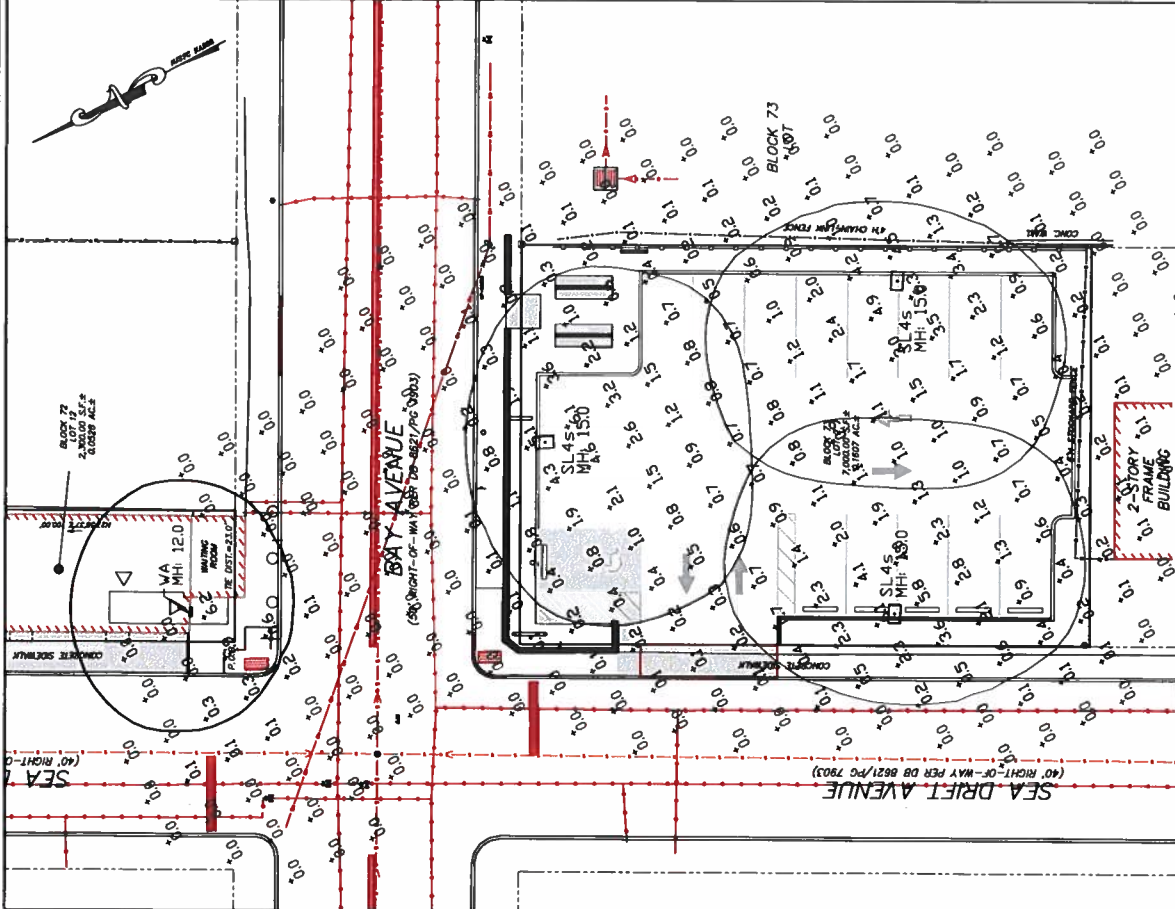
PRODUCT DESCRIPTION

PERFORMANCE

ELECTRICAL SYSTEM

FEATURES

DIMENSIONS



PRELIMINARY & FINAL MAJOR SITE PLAN  
SEA GRABB MALIBU  
LIGHTING PLAN

11 South Point Street  
Malibu, CA 90263  
Tel: 310.316.1111  
Fax: 310.316.1112

**EAST POINT ENGINEERING, LLC**

11/21/22

SHEET NO. 7 OF 10

**EMPIRE LIGHTING**

GRAPHIC SCALE

1" = 10' - 0"

1" = 6' - 0"

SOIL EROSION & SEDIMENT CONTROL NOTES

1. THE EROSION & SEDIMENT CONTROL PLAN SHALL BE REVISED TO REFLECT ANY CHANGES TO THE PROJECT.
2. ALL SOIL EXPOSURE AREAS SHALL BE PROTECTED WITH EROSION CONTROL MEASURES AS SHOWN ON THE PLAN.
3. ALL EXPOSED AREAS SHALL BE PROTECTED WITH EROSION CONTROL MEASURES AS SHOWN ON THE PLAN.
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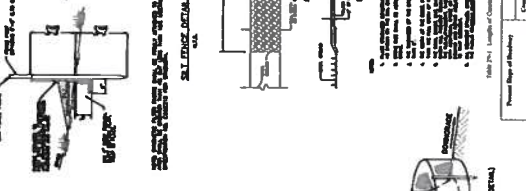
STANDARDS FOR TOPSOILING

1. ALL TOPSOIL SHALL BE STORED IN A PROTECTED AREA TO PREVENT EROSION AND SEDIMENTATION.
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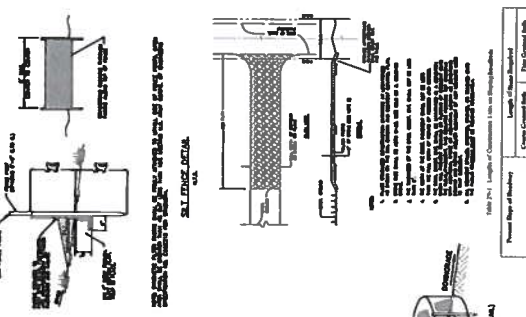
MULCH AND MULCH ANCHORING SPECIFICATIONS

1. ALL MULCH SHALL BE STORED IN A PROTECTED AREA TO PREVENT EROSION AND SEDIMENTATION.
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ROOT PROTECTION DURING CONSTRUCTION GUIDE



STABILIZED CONSTRUCTION ENTRANCE



Item No.	Description	Quantity	Unit
1	Concrete Curb	100	Linear Feet
2	Gravel	100	Cubic Yards

STABILIZED CONSTRUCTION ENTRANCE

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STABILIZED CONSTRUCTION ENTRANCE

PRELIMINARY & FINAL MAJOR SITE PLAN  
SOIL EROSION PLAN  
11 South Main Street  
Rochester, NY 14620  
Tel: 716.233.4400  
Fax: 716.233.4401  
www.eastpointeng.com

DATE: 1/21/22  
SCALE: AS SHOWN  
SHEET NO. 8 OF 10

GRAPHIC SCALE  
1" = 50' (IF PART)  
1" = 100' (IF PART)

TOTAL AREA OF DISTURBANCE:  
3,400 S.F. (0.08 ACRES)

STABILIZED CONSTRUCTION ENTRANCE

STABILIZED CONSTRUCTION ENTRANCE

STABILIZED CONSTRUCTION ENTRANCE





**BUILDING WALL MOUNTED SIGN AT LOT 12, BLOCK 72**



SIGN REQUIREMENTS — ORD. SEC. 21-102

BUILDING WALL MOUNTED SIGN — REPLACE EXISTING

MAX 15% OF FRONT BUILDING FACADE —

PERMITTED 460 SF x 15% = 69 SF — PROPOSED 28.2 SF

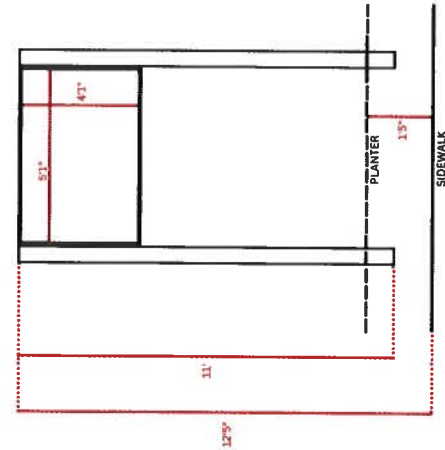
OFF-PREMISE GROUND MOUNTED SIGNS TO REPLACE EXISTING

MAX PERMITTED SIZE 24 SF

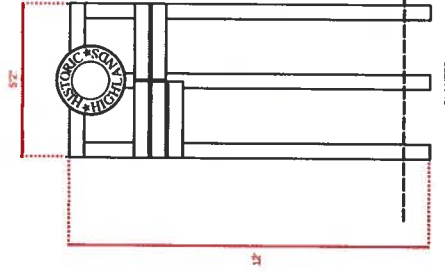
PARKING LOT SIGN = 20.8 SF (COMPLIES)

BOROUGH HISTORIC SIGN = 20.7 SF (COMPLIES)

**OFF-PREMISE GROUND MOUNTED PARKING LOT SIGNS AT LOT 2, BLOCK 73**



**PARKING LOT SIGN**



**BOROUGH HISTORIC SIGN**

PRELIMINARY & FINAL SIGN SITE PLAN  
SEA BEACH NJ, LLC  
SIGN PLAN  
BLOCK 72, LOT 8 & BLOCK 73, LOT 8  
MONMOUTH COUNTY, NEW JERSEY  
PLANNING DEPARTMENT, U.S.A. INC.

**EAST POINT**  
11 South High Street  
PO Box 100  
New Hope, NJ 07270-0100  
Tel: 908.861.1111  
Fax: 908.861.1112  
www.eastpointnj.com

DATE OF PLAN: 11/21/22  
BY: MICHAEL J. GIBLIN, P.E., L.L.M., L.S., L.P.E.  
SCALE: AS SHOWN  
SHEET NO. 10 OF 10





### BOROUGH OF HIGHLANDS CANNABIS RETAILER LICENSE APPLICATION

Date of initial submission \_\_\_\_\_

Date of approval by Borough Administrator \_\_\_\_\_

Applicant Business Name Sea Grass NJ LLC

**Contact Information**

Contact Name Stephen James Whelan

Phone No: 732-595-6700 E-Mail: idrwhelan@gmail.com

**1. Business Entity Type**

A. ( ) Individual

List name, address and interest in business \_\_\_\_\_

\_\_\_\_\_

B. ( ) Partnership

List name, address and percentage of interest in Partnership \_\_\_\_\_

\_\_\_\_\_

C.  Corporation/LLC

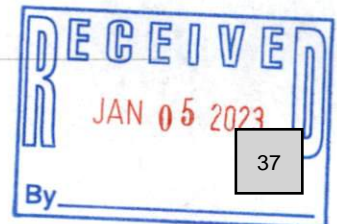
List name, address and interest of all stockholders Nicholas Frangipane 51%

James Whelan 44%, Hannah LaRose 2%, Anthony Locascio 3%

2. Name as it will appear on the State License Sea Grass NJ LLC

3. N.J. Sales Tax Certificate of Authority No: 88-2250376

4. Trade names under which the business is to be conducted. Each and every trade name



must be listed and registered with the N.J. Secretary of State (if a corporation) or the Monmouth County Clerk (if a partnership or sole proprietor) \_\_\_\_\_

5. Business Marketing Information

- a. Business phone number \_\_\_\_\_
- b. Cell phone number of chief operating officer or executive of the business that will be the principal contact with the Borough 704-956-7807
- c. E-mail for business seagrassnj@gmail.com
- d. Website for business (if any) www.njseagrass.com

6. Business location where cannabis will be sold to consumers

Street address: 272 Bay Avenue

Block 72 Lot 12

Zone:  Central Business District or ( ) Highway Oriented Business Zone

7. Does the applicant have Conditional Use Approval from the Land Use Board? ( ) Yes  No

- a. If yes, attach copy of the Resolution of Approval.
- b. If no, provide the status of any application to the Land Use Board:  
Application is submitted hearing date is January 12, 2023

8. Describe building and attach a picture Two story, CBD zoned on corner lot  
Approximately 2,373sf retail level

9. Does the applicant own the building? ( ) Yes  No Property is under contract for purchase Owner's Consent is attached to DPA

- a. If yes, attach a copy of the deed to the premises.
- b. If no, attach a copy of the lease agreement. It is the duty of the applicant to advise the landlord that if the license is issued to the applicant, it is not transferable.

10. Fully describe the business operation with an emphasis on:

a. Will there be non-cannabis uses on site? No



b. How will the operations remain separate from non-cannabis operations?  
Under no circumstance shall another operation be permitted.

c. How will cannabis be secured? In a DEA cage inside of an access controlled vault.

11. Explain how the Highlands Police Department is to be advised of all security measures.  
~~Highlands Police Department will have 24 hour access to our security~~

12. Provide the location of all surveillance cameras on site. \_\_\_\_\_  
Please see attached security overlay

13. Will there be any special fire suppression equipment? No, unless the town requires

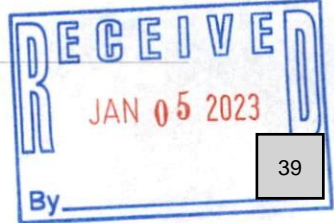
14. Will there be any exhausting of cannabis odors or particulate and how will they be eliminated?  
~~Class 5 retailers do not typically have odor issues, but as a precaution we will.~~

15. Will there be business offices in addition to the retail operations? If so, describe their size and location. \_\_\_\_\_  
~~Management offices and employee break area will be located on the second floor~~

16. Does the applicant have a New Jersey Conditional or Annual Cannabis Retailer License?  
a. If yes, please provide your license number: RE000107

b. If no, please provide the documents attached to your New Jersey Conditional or Annual Cannabis Retailer License Application.

17. Provide a signed and notarized Affidavit in Support of Cannabis License Application.





**AFFIDAVIT IN SUPPORT OF CANNABIS LICENSE APPLICATION**

STATE OF NEW JERSEY:

SS:

COUNTY OF MONMOUTH:

( ) Individual Applicant      ( ) Members of Partnership Applicant      (✓) Pres./V.P.

Nicholas Frangipane of Sea Grass NJ LLC (name of business)

Consent(s) that the licensed premises and all portion of the building constituting the licensed premises, including all rooms, cellars, closets, out-buildings, passageways, vaults, yards, attics and every part of the structure of which the licensed premises are a part and all buildings used in connection therewith which are in his/her/their possession or under his/her/their control, may be inspected and searched without warrant at all hours by the N.J. Cannabis Regulatory, Enforcement, Assistance and Marketplace Modernization Act, his or her duly authorized deputies, inspectors or investigators and all other sworn law enforcement officers, and being duly sworn according to law, upon his/her/their oath(s), depose(s) and say(s) that he/she is (they are) the person(s) duly authorized to sign the application, that in stance of corporate ownership, the signator is authorized by corporate resolution to sign on behalf of the corporations; and that the contents of this application represent complete disclosure of the fact, and that the contents of this application are true.

[Signature]  
Signature of Individual Agent/Sole Prop.

Sea Grass NJ LLC  
Partnership Name

**CORPORATIONS ONLY**  
Attestation by Corporate Secretary

[Signature]  
Signature of Partner

Attest: Sea Grass NJ LLC  
Corporate Name

[Signature]  
Signature of Partner

Secretary signature: [Signature]

SWORN and SUBSCRIBED to before me this 5 day of Jan, 2023

[Signature]  
Signature of Officer Administering Oath  
Duly Authorized by Notary Public or Attorney at Law

**MELISSA INDIVIGLIO**  
Notary Public, State of New Jersey  
Commission # 50048224  
My Commission Expires 10/24/2026

Melissa Indiviglio  
Printed Name of Officer Administering Oath

10/24/26  
Date of expiration of Commission





HGPB- R2000

January 16, 2023

Nancy Tran, Land Use Board Secretary  
Borough of Highlands Land Use Board  
42 Shore Drive  
Highlands, New Jersey 07732

*Via Email (ntran@highlandsborough.org)*

**Re: Sea Grass NJ, LLC  
272 Bay Avenue  
Block 78, Lot 12 & Block 73, Lot 3  
Central Business District (CBD) Zone  
Redevelopment Zone C-RO-1  
Minor Site Plan  
& Conditional Use  
First Completeness Review**

Dear Ms. Tran:

As requested, we have reviewed the above-referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations section entitled Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure, and Article VIII, Plat and Plan Details, Section 21-58.E – Preliminary Site Plan.

The applicant submitted the following documents in support of this application:

1. Preliminary & Final Major Site Plans prepared by Brent N. Papi, Jr., PE, of East Point Engineering, LLC, dated November 21, 2022, consisting of ten (10) sheets.
2. Architectural Plans prepared Shissias Design + Development, dated December 2, 2022, consisting of three (3) sheets.
3. Land Use Board Application and supporting documents, dated December 6, 2022.
4. Zoning Permit Application and supporting documents, dated November 3, 2022.

The following information was reviewed for completeness purposes pursuant to Ordinance Section 21-58.D – Minor Site Plan:

**Preliminary Site Plan (Minor):** The preliminary site plan shall be drawn at a scale of not more than one hundred (100) feet to the inch and shall include such details as may be necessary to properly evaluate the application and determine compliance with this chapter. The site plan shall be drawn by a licensed New Jersey professional engineer and land surveyor and, where applicable to the proposed use or construction, the following information shall be clearly shown.

1. Date, name, location of site, name of owner, scale and reference meridian. **Provided.**
2. Area of the lot and all lot line dimensions and bearings. **Provided.**
3. The location of all existing watercourses, wooded areas, easements, rights-of-way, streets, roads, highways, rivers, buildings, structures and any other feature on the property and within seventy-five (75) feet of the property line. **Provided.**



**Le:** Nancy Tran, Land Use Board Secretary  
Borough of Highlands Land Use Board

**Re:** Sea Grass NJ, LLC  
272 Bay Avenue  
Block 78, Lot 12 & Block 73, Lot 3  
Central Business District (CBD) Zone  
Redevelopment Zone C-RO-1  
Minor Site Plan  
& Conditional Use  
First Completeness Review

4. Location, use and ground floor area of all existing and proposed buildings, with the building setback, side line and rear yard distance. **Provided.**
5. Elevations at the corners of all proposed buildings and paved areas and at property corners if new buildings or paved areas are proposed. **Provided. It should be noted that no new buildings are proposed as the applicant intends to renovate the existing building.**
6. The location and widths of existing and proposed streets servicing the site plan. **Provided.**
7. Specifications for and location of proposed surface paving and curbing. **Provided. It should be noted that the applicant proposes to retain the existing gravel parking lot and repair as needed.**
8. Location of all structures within seventy-five (75) feet of the property. **Provided.**
9. Location of off-street parking areas, with dimensions, showing proposed parking and loading spaces, with dimensions, width of proposed access drives and aisles and traffic circulation. **Provided.**
10. Storm water management and sanitary sewer reports, including proposed storm drainage and sanitary disposal facilities; specifically, the location, type and size of all existing and proposed catch basins, storm drainage facilities, utilities plus all required design data supporting the adequacy of the existing or proposed facilities to handle future storm flows. **Not applicable. No storm water management features are proposed.**
11. Existing and proposed contours of the property and for seventy-five (75) feet outside the property at one (1) foot intervals when new buildings or parking areas are proposed. Spot elevations for any development in a flood hazard area. **Provided.**
12. The location and treatment of proposed entrances and exits to the public rights-of-way, including the possible utilization of traffic signals, channelization, acceleration, and deceleration lanes, additional widths and any other devices necessary to traffic safety and/or convenience. **Provided.**
13. The location and identification of proposed open space, parks or other recreation areas. **Not applicable.**
14. The location and design of landscaping, buffer areas and screening areas showing size, species and spacing of trees and plants and treatment of unpaved areas. **Provided.**
15. The location of sidewalks, walkways, traffic islands and all other areas proposed to be devoted to pedestrian use. **Provided.**





**Le: Nancy Tran, Land Use Board Secretary  
Borough of Highlands Land Use Board**

**Re: Sea Grass NJ, LLC  
272 Bay Avenue  
Block 78, Lot 12 & Block 73, Lot 3  
Central Business District (CBD) Zone  
Redevelopment Zone C-RO-1  
Minor Site Plan  
& Conditional Use  
First Completeness Review**

- 16. The nature and location of public and private utilities, including maintenance and solid waste disposal, recycling and/or storage facilities. **Provided. A trash enclosure area is shown. The applicant intends to utilize the existing building and retain all utility connections.**
- 17. Specific location and design of traffic control devices, signs and lighting fixtures. The Board may require of the applicant expert testimony concerning the adequacy of proposed traffic control devices, signs and lighting fixtures. **Provided.**
- 18. Preliminary architectural plans for the proposed buildings or structures indicating typical floor plans, elevations, heights and general design or architectural styling. **Partially provided. The existing building's first floor elevation is approximately elevation 6.0. The existing building is located within flood zone AE-11. Therefore, the building renovation plans should be designed in accordance with FEMA standards and the Borough of Highlands Flood Damage Prevention Ordinance requirements. I defer to the Borough Floodplain Manager for further review.**
- 19. The present and past status and use and contemplated use of the property and all existing buildings on the property. A cleanup plan where such is necessary because of the past or present use of the site. **Provided.**
- 20. A soil erosion and sediment control plan is required. Said plan shall be submitted to the Soil Conservation District and approval of the application shall be conditioned upon certification of the soil erosion and sediment control plan by the District. **Provided.**
- 21. Soil Borings, when required by the Board Engineer. **Not required.**
- 22. Certification statement for the required municipal signatures, stating: **Provided.**
  - o Application No. \_\_\_\_\_ approved/disapproved by the Highlands Land Use Board as a Minor Site Plan on \_\_\_\_\_.

(date)

\_\_\_\_\_  
Chairman

\_\_\_\_\_  
Secretary
- 23. Certification statement for the County Planning Board approval / disapproval, if required. **Project fronts on a County Road, therefore approval or letter of no interest will ultimately be required from the County Planning Board.**
- 24. The Board may require any additional information which is reasonably necessary to ascertain compliance with the provisions of this chapter. **Informational.**



**Le:** Nancy Tran, Land Use Board Secretary  
Borough of Highlands Land Use Board

**Re:** Sea Grass NJ, LLC  
272 Bay Avenue  
Block 78, Lot 12 & Block 73, Lot 3  
Central Business District (CBD) Zone  
Redevelopment Zone C-RO-1  
Minor Site Plan  
& Conditional Use  
First Completeness Review

Per Section 21-97.M of the Ordinance, **one** cannabis retailer may be permitted in the Central Business District (CBD) Zone provided that applicable Article XI Design Standards are met together with any other requirements deemed necessary by the Land Use Board and applicable requirements of this chapter. **Prior to the public hearing the applicant shall provide a narrative outlining compliance with all Article XI Design Standards, and any applicable relief required/requested.**

**In addition, the cannabis retailer shall not be located within 1,000 feet of any school. As discussed in the technical review meeting, a legal determination will be required as the proposed parking lot supporting the retail operation may be within 1,000 feet of the Highlands Elementary School property. If the Article XI Design Standards cannot be met, or the determination that the parking lot falls within 1,000 feet of the school (and counts as part of the cannabis retailer operation), then a d(3) conditional use variance may be required.**

**It should be noted that this project is located within the Central Business District (CBD) Zone. The property is also located within the CBD Redevelopment Overlay 1 (C-RO-1) Zone. The applicant may elect to prepare the application in accordance with either the CBD Zone or C-RO-1 Zone criteria, but one or the other shall be identified.**

Adequate information has been provided in order to perform a technical review of the application. **The application shall therefore be deemed COMPLETE, pending confirmation from the Board Secretary that the balance of fees and escrows have been posted.**

**We will also commence technical review upon same notification.**

The application fee and escrow fee calculation letter will be provided under separate cover.

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.  
LAND USE BOARD ENGINEER



**Le: Nancy Tran, Land Use Board Secretary  
Borough of Highlands Land Use Board**

**Re: Sea Grass NJ, LLC  
272 Bay Avenue  
Block 78, Lot 12 & Block 73, Lot 3  
Central Business District (CBD) Zone  
Redevelopment Zone C-RO-1  
Minor Site Plan  
& Conditional Use  
First Completeness Review**

EWB:KJO:KFJ

cc: Michael Muscillo, Borough Administrator (mmuscillo@highlandsborough.org)  
Ron Cucchiaro, Esq., Land Use Board Attorney (RCucchiaro@Weiner.law)  
Brian O'Callahan, Zoning Officer (bcallahan@middletownnj.org)  
Sea Grass NJ, LLC, Applicant (idrwhelan@gmail.com)  
Leonel Cervantes, Owner (leocervantes@hotmail.com)  
John B. Anderson, III, Esq., Applicant's Attorney (janderson@fsfm-law.com)  
Brent N. Papi, Jr., PE, Applicant's Engineer (bpapi@eastpointeng.com)  
Shissias Design & Development, Applicant's Architect (kevin966@gmail.com)

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HGPB- R2000

January 16, 2023

Nancy Tran, Land Use Board Secretary  
Borough of Highlands Land Use Board  
42 Shore Drive  
Highlands, New Jersey 07732

*Via Email (ntran@highlandsborough.org)*

**Re: Sea Grass NJ, LLC  
272 Bay Avenue  
Block 78, Lot 12 & Block 73, Lot 3  
Central Business District (CBD) Zone  
Redevelopment Zone C-RO-1  
Minor Site Plan  
& Conditional Use  
Fee and Escrow Calculation**

Dear Ms. Tran:

As requested, we have reviewed the above-referenced application in accordance with the Borough of Highlands Land Use Regulations Part 6 - Fee Schedule.

The applicant submitted the following documents in support of this application:

1. Preliminary & Final Major Site Plans prepared by Brent N. Papi, Jr., PE, of East Point Engineering, LLC, dated November 21, 2022, consisting of ten (10) sheets.
2. Architectural Plans prepared Shissias Design + Development, dated December 2, 2022, consisting of three (3) sheets.
3. Land Use Board Application and supporting documents, dated December 6, 2022.
4. Zoning Permit Application and supporting documents, dated November 3, 2022.

Please note the following fee calculations:

- 1. Application fee: \$1,600.00**
- 2. Escrow fee: \$3,200.00**

Please note that the initial application deposits shall be deducted from the total fees shown.

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.  
LAND USE BOARD ENGINEER

EWH:KJO:KFJ  
Att.



**Le: Nancy Tran, Land Use Board Secretary  
Borough of Highlands Land Use Board**

**Re: Sea Grass NJ, LLC  
272 Bay Avenue  
Block 46, Lot 3  
Central Business District (CBD) Zone  
Minor Site Plan & Conditional Use  
Fee Determination**

**cc: Michael Muscillo, Borough Administrator (mmuscillo@highlandsborough.org)  
Ron Cucchiaro, Esq., Land Use Board Attorney (RCucchiaro@Weiner.law)  
Brian O'Callahan, Zoning Officer (bcallahan@middletownnj.org)  
Sea Grass NJ, LLC, Applicant (idrwhelan@gmail.com)  
Leonel Cervantes, Owner (leocervantes@hotmail.com)  
John B. Anderson, III, Esq., Applicant's Attorney (janderson@fsfm-law.com)  
Brent N. Papi, Jr., PE, Applicant's Engineer (bpapi@eastpointeng.com)  
Shissias Design & Development, Applicant's Architect (kevin966@gmail.com)**

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HGPB-R2000

DETERMINATION OF FEES\*  
Sea Grass, LLC - 272 Bay Avenue  
Block 78, Lot 12 & Block 73, Lot 3

**A. APPLICATION FEES (Ord. 21-107)**

A. Variances

3. Nonresidential "c" (front yard setback)	1	EA	\$	250.00	\$	250.00
3. Nonresidential "c" (side yard setback per 21-91.A.4)	1	EA	\$	250.00	\$	250.00
3. Nonresidential "c" (lot coverage)	1	EA	\$	250.00	\$	250.00
4. Nonresidential "d3" (Section 21-97.M)	1	EA	\$	500.00	\$	500.00

C. Site Plans

1. Minor	1	LS	\$	100.00	\$	100.00
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E. Conditional Use Applications	1	EA	\$	250.00	\$	250.00
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**B. ESCROW FEES (Ord. 21-108)**

B. Escrow Deposits (twice Application Fee; Minimum \$750)	1	LS	\$	3,200.00	\$	3,200.00
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**Application fees subtotal** \$ 1,600.00

**Escrow fee subtotal** \$ 3,200.00

**Total** \$ 4,800.00

\*It should be noted that this application is being reviewed under the Central Business District (CBD) Zone criteria. The property is also located within the CBD Redevelopment Overlay 1 (C-RO-1) Zone. The applicant may elect to prepare the application in accordance with either the CBD Zone or C-RO-1 Zone criteria, but one or the other shall be identified.



# KLEIN

TRAFFIC CONSULTING, LLC

156 Walker Road  
West Orange, NJ 07052  
973-985-3464  
leekleintraffic@gmail.com

January 27, 2023

Nick Frangipane  
Jim Whelan  
Hannah LaRose  
C/O Sea Grass NJ LLC  
135 Maple Avenue  
Red Bank, NJ 07701

VIA EMAIL: [nick.frang@gmail.com](mailto:nick.frang@gmail.com)

**Re: Traffic Engineering and Parking Evaluation  
Proposed Cannabis Retailer  
272 Bay Avenue, Highlands, Monmouth County, NJ**

Dear Mr. Frangipane:

This Traffic Engineering and Parking Evaluation (TEPE) report outlines our findings and recommendations for the proposed change of use from a 1,575 square foot restaurant and 1 apartment dwelling to a 1,525 square foot cannabis retailer and 848 square foot small office.

### **Familiarization with the Application**

We have reviewed the architectural plan set dated 12/2/2022, prepared by Shissias Design + Development. We reviewed the site plan set dated 11/21/22, prepared by East Point Engineering, LLC. We referenced Google street view and aerial photographs to become familiar with the area.

**Bay Avenue (County Route 8)** is under the jurisdiction of Monmouth County. Bay Avenue is relatively flat, level, and straight near the subject site. Bay Avenue extends from S. Bay Avenue and Shore Drive in the east to Gravelly Point Road in the west. Bay Avenue runs parallel to and connects with Shore Drive at several intersecting streets. Near the subject site, Bay Avenue has one travel lane in each direction, with a posted speed limit of 25 MPH. Parking is permitted on both sides of the street with restrictions of “No Parking Friday between 7 AM and 8 AM” and “No Parking When Road is Snow Covered”. There are sidewalks on both sides of the street. There are curb ramps at the intersection of Bay Avenue with Sea Drift Avenue. In the Google street view images from September and October 2019, there are no painted crosswalks across Bay Avenue at the intersection of Bay Avenue with Sea Drift Avenue.

**Sea Drift Avenue** is a local roadway under the jurisdiction of Highlands Borough. Sea Drift Avenue extends from Shore Drive in the south to Marine Place in the north. Sea Drift Avenue is STOP-controlled at Bay Avenue with a northbound and southbound, single lane approach to Bay Avenue. Parking is permitted on both sides of the street. The statutory speed limit is 25 MPH. There are sidewalks on both sides of the street with no posted restrictions. In the Google street view images from September and October 2019, there are no painted crosswalks across Sea Drift Avenue at the intersection with Bay Avenue.

Mass Transportation

The number 834 bus line runs along Bay Avenue and stops at Washington Avenue and at Atlantic Street. The number 834 bus provides service between Highlands, Atlantic Highlands, Leonardo, New Monmouth, Middletown, and portions of Red Bank including the NJ Transit Rail Station. The available mass transportation provides a potential option for employees or customers to access the facility.

**Trip Generation Calculations**

According to the Trip Generation Manual, 11<sup>th</sup> Edition published by the Institute of Transportation Engineers (ITE), a High-Turnover (Sit-Down) Restaurant “*use consists of sit-down, full-service eating establishments with a typical duration of stay of 60 minutes or less. This type of restaurant is usually moderately priced, frequently belongs to a restaurant chain, and is commonly referred to as casual dining. Generally, these restaurants serve lunch and dinner; they may also be open for breakfast and are sometimes open 24 hours a day. These restaurants typically do not accept reservations. A patron commonly waits to be seated, is served by wait staff, orders from a menu, and pays after the meal. Some facilities offer carry-out for a small proportion of its customers. Some facilities within this land use may also contain a bar area for serving food and alcoholic drinks.*” Trip generation for the existing High-Turnover (Sit-Down) Restaurant was calculated using the current ITE Trip Generation, 11<sup>th</sup> Edition based on square footage and number of seats, as well as based on the “Peak of the Generator” and the “Peak of the Adjacent Street” (on a weekday the highest one hour of adjacent street traffic between 7-9 AM and 4-6 PM, and the highest one hour of street traffic a Saturday). We chose the larger of the trip generation values, “Peak of Generator” for 1,525 square feet.

According to the Trip Generation Manual, 11<sup>th</sup> Edition published by the ITE, Multifamily Housing (Low-Rise) *includes apartments, townhouses, and condominium located within the same building with at least three other dwelling units and that have two or three (floors) levels.* Trip generation for the existing 1-unit of multifamily housing (low-rise) was calculated using the current ITE Trip Generation, 11<sup>th</sup> Edition.

According to the Trip Generation Manual, 11<sup>th</sup> Edition published by the ITE, “*a Marijuana Dispensary is a stand-alone facility where cannabis is sold to patients or retail consumers in a legal manner.*” Trip generation for the proposed 1,525 square foot cannabis retailer was calculated using the current ITE Trip Generation, 11<sup>th</sup> Edition based on square footage for the

“Peak of the Generator” and the “Peak of the Adjacent Street”. We chose the larger of the trip generation values, “Peak of Generator” for 1,525 square feet.

According to the *Trip Generation Manual, 11<sup>th</sup> Edition* published by the ITE, a Small Office Building “is the same as a general office building (Land Use 710) but with less than or equal to 10,000 square feet of gross floor area. The building typically houses a single tenant. It is a location where affairs of a business, commercial or industrial organization, or professional person or firm are conducted.” Trip Generation for the proposed 848 square foot small office was calculated using the current ITE *Trip Generation, 11<sup>th</sup> Edition*.

We calculated the trip generation for the existing restaurant and apartment and for the proposed cannabis retailer and supporting office space. The attached Table 1 – Trip Generation Comparison and Summary tabulates the trip generation of the former restaurant and apartment and the proposed cannabis retailer. The existing restaurant and one apartment would generate 22 vehicle trips during the weekday AM peak hour, 26 vehicle trips during the weekday PM peak hour, and 18 vehicle trips during a Saturday peak hour. The proposed cannabis retailer and small office would generate 27 vehicle trips during the weekday AM peak hour, 39 vehicle trips during the weekday PM peak hour, and 46 vehicle trips during the Saturday peak hour.

Table 1 also shows the change in the number of weekday AM and PM peak hour trips and Saturday peak hour trips. The increase in the number of peak hour trips is 5 vehicle trips during weekday AM peak hour trips, 13 vehicle trips during the weekday PM peak hour, and 28 vehicle trips during the Saturday peak hour.

According to Transportation Impact Analysis for Site Development, published by the Institute of Transportation Engineers (ITE), an increase of less than 100 vehicle trips would not change the level of service of the local street network nor appreciably increase the volume-to-capacity ratio of an intersection approach. Also, NJDOT Access Management Code considers a significant increase in trips greater than 100 peak hour trips AND greater than a 10 percent increase in previously anticipated daily trips. Therefore, the proposed development is not anticipated to significantly impact the operations of the local streets. Based on industry guidelines from the Institute of Transportation Engineers (ITE) as well as the NJDOT Access Code, the new vehicle trips generated by the proposed change of use from a restaurant and apartment to a cannabis retailer would not have a significant impact on traffic operations. Furthermore, the traffic generated to and from the property’s parking lot would be distributed on Sea Drift Avenue to Bay Avenue and to Shore Drive, further lessening any potential traffic impacts.

We were able to research the NJDOT website and find traffic volumes on Bay Avenue between Sea Drift Avenue and Atlantic Street from Monday, June 25 to Thursday, June 28, 2018. These traffic volumes show the two-way traffic volumes on Bay Avenue as between 250 and 325

vehicles per hour during the AM peak period and between 375 and 450 vehicles per hour during the PM peak hour. If all the trips generated by the proposed cannabis retailer were to use Bay Avenue only, those trips would be about 16 percent of the total traffic along Bay Avenue. The restaurant and apartment traffic were about 9 percent of the total traffic volumes on Bay Avenue. But again, the traffic to and from the parking lot would be distributed to Bay Avenue and Shore Drive, further lessening the traffic impacts generated by the property. Typically, traffic volumes can vary from day to day by more than 10 percent. The traffic volumes collected from the NJDOT website show that the traffic volumes during the AM and PM peak period fluctuate by 10 percent to 15 percent between Tuesday, June 26, 2018, and Wednesday, June 27, 2018. Therefore, the increase in traffic volumes generated by the change of use from a restaurant and apartment to a cannabis retailer would be insignificant and not noticed by drivers in the area.

### **Parking Requirements**

The total space within the building is 2,373 square feet. Based on the local parking requirement of 1 parking space per 600 square feet pursuant to the Borough's Ordinance 21-65.14.D(7a), the 2,373 square feet of business/commercial/retail store use would require 4 parking spaces. The parking lot provides 17 parking spaces, including 1 ADA parking space, more than 4 times the required parking.

### **Conclusion**

Based on the number of trips that would be generated during the weekday AM and PM peak hours being less than the industry standard of 100 peak hour trips, and the fact that there are two main roadways, Bay Avenue and Shore Drive, to distribute the traffic generated by the proposed cannabis retailer, the traffic generated by the proposed cannabis retailer would not have a significant impact on the operation of the surrounding streets.

Using the local Ordinance requirements for parking for the currently proposed cannabis retailer, the total parking requirement is 4 parking spaces, whereas 17 parking spaces are provided. The proposed parking supply of 17 parking spaces is over 4 times more than required by the local Ordinance.

Please contact me if you have any questions.

Sincerely,



Lee D. Klein, P.E., PTOE  
NJPE 24GE03710400  
PTOE Certification 1627

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**Table 1 - Trip Generation Comparison and Summary  
272 Bay Avenue, Highlands, Monmouth County, NJ**

CODE	LAND USE	AMOUNT	WEEKDAY						SATURDAY		
			AM PEAK HOUR			PM PEAK HOUR			PEAK HOUR		
			IN	OUT	TOTAL	IN	OUT	TOTAL	IN	OUT	TOTAL
<b>EXISTING</b>											
932	H-T (Sit-Down) Restaurant (Peak of Generator)	1,525 SF	12	9	21	13	12	8	9	8	17
932	H-T (Sit-Down) Restaurant (Street Peak)	1,525 SF	8	7	15	8	5	8	9	8	17
932	H-T (Sit-Down) Restaurant (Peak of Generator)	30 Seats	11	7	18	12	11	8	8	8	16
932	H-T (Sit-Down) Restaurant (Street Peak)	30 Seats	7	6	14	7	5	8	8	8	16
220	Low-Rise Apartment (Average Rate)	1 units	0	1	1	1	0	1	0	1	1
<b>TOTAL EXISTING TRIP GENERATION</b>			<b>12</b>	<b>10</b>	<b>22</b>	<b>14</b>	<b>12</b>	<b>9</b>	<b>9</b>	<b>9</b>	<b>18</b>
<b>PROPOSED</b>											
882	Marijuana Dispensary (Peak of Generator)	1,525 SF	14	12	26	18	19	22	22	22	44
882	Marijuana Dispensary (Street Peak)	1,525 SF	8	8	16	14	15	22	22	22	44
712	Small Office Building (General Urban/Suburban)	848 SF	1	0	1	1	1	1	1	1	2
<b>TOTAL EXISTING TRIP GENERATION</b>			<b>15</b>	<b>12</b>	<b>27</b>	<b>19</b>	<b>20</b>	<b>23</b>	<b>23</b>	<b>24</b>	<b>46</b>
<b>CHANGE IN NUMBER OF VEHICLE TRIPS</b>			<b>3</b>	<b>2</b>	<b>5</b>	<b>5</b>	<b>8</b>	<b>13</b>	<b>13</b>	<b>14</b>	<b>28</b>

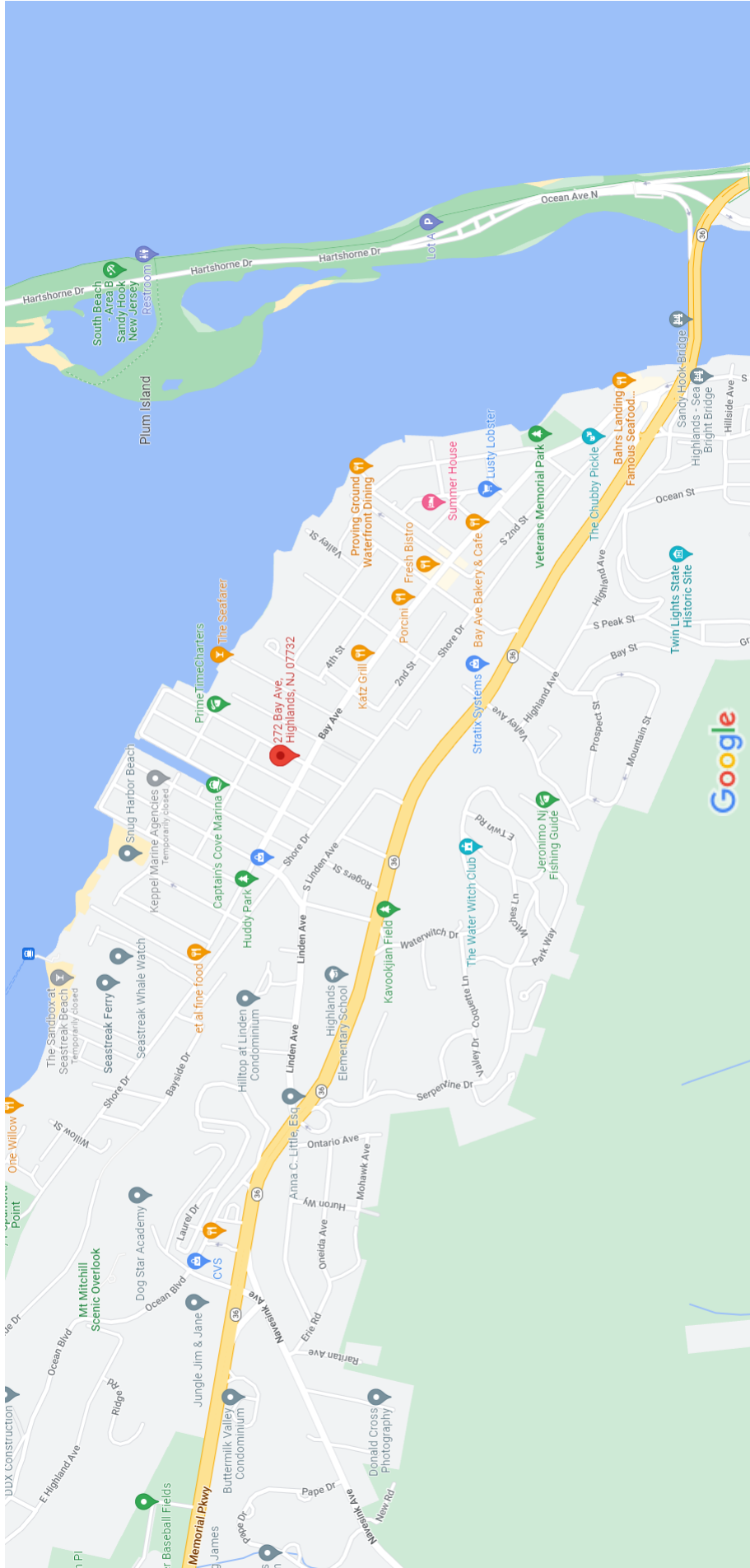
SOURCE: *Trip Generation, 11th Edition*, published by the Institute of Transportation Engineers (ITE)

NOTE: ## - Indicates an INCREASE in the number of trips from existing to proposed

# Google Maps

## 272 Bay Ave

LOCATION MAP



Map data ©2023 Google 500 ft



**PROJECT DESCRIPTION**

PROJECT: SEA GRASS NJ DISPENSARY  
 INTERIOR RENOVATIONS / COMMERCIAL FIT-OUT

272 BAY AVENUE  
 BOROUGH OF HIGHLANDS, NEW JERSEY  
 MONMOUTH COUNTY  
 BLOCK 72 - LOT 12

PROPOSED USE: COMMERCIAL (B & M OCCUPANCY)

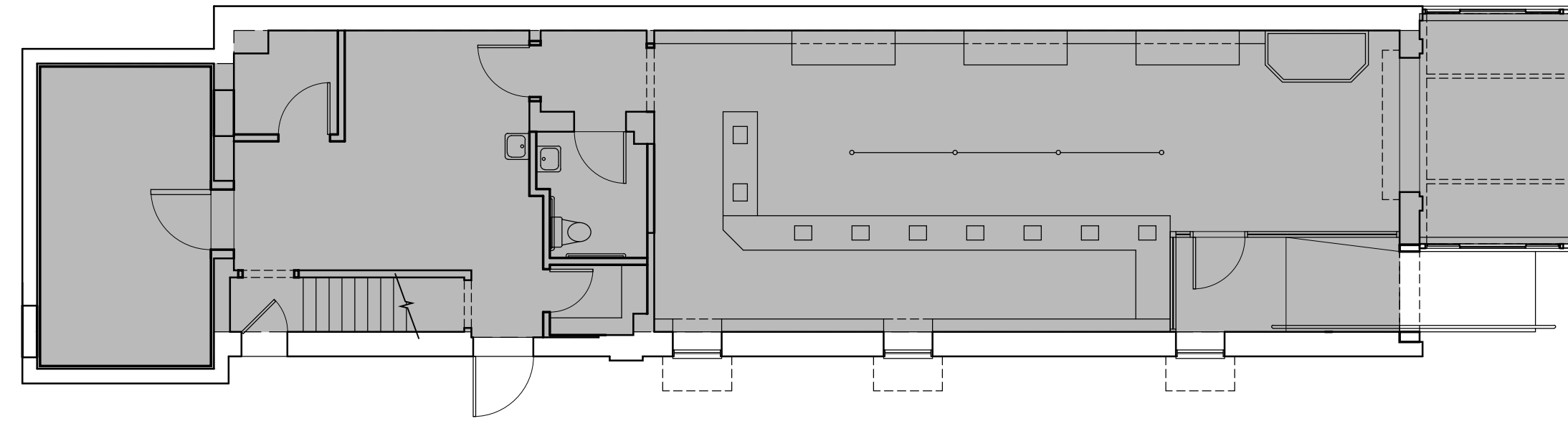
PROJECT DESCRIPTION: INTERIOR RENOVATION OF EXISTING FIRST FLOOR RESTAURANT INTO  
 MERCHANTILE SPACE AND INTERIOR RENOVATION OF EXISTING SECOND FLOOR  
 RESIDENTIAL APARTMENT INTO A TYPICAL USE (NON-HIGH-CONCENTRATION)  
 OFFICE SPACE TO ACCOMPANY FIRST FLOOR BUSINESS.

# Sea Grass NJ

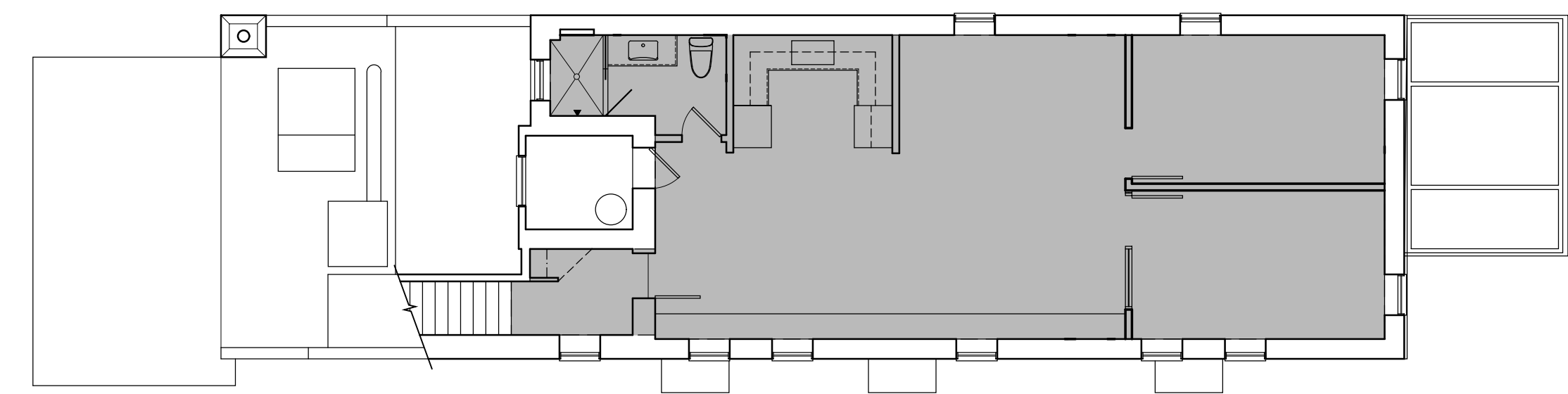
Interior Renovations / Commercial Fit-Out  
 272 Bay Avenue, Borough of Highlands, NJ 07732  
 Block 72, Lot 12

**DRAWING LIST**

- A1 COVER SHEET & DEMO
- A2 PROPOSED FLOOR PLANS
- A3 EXTERIOR ELEVATIONS

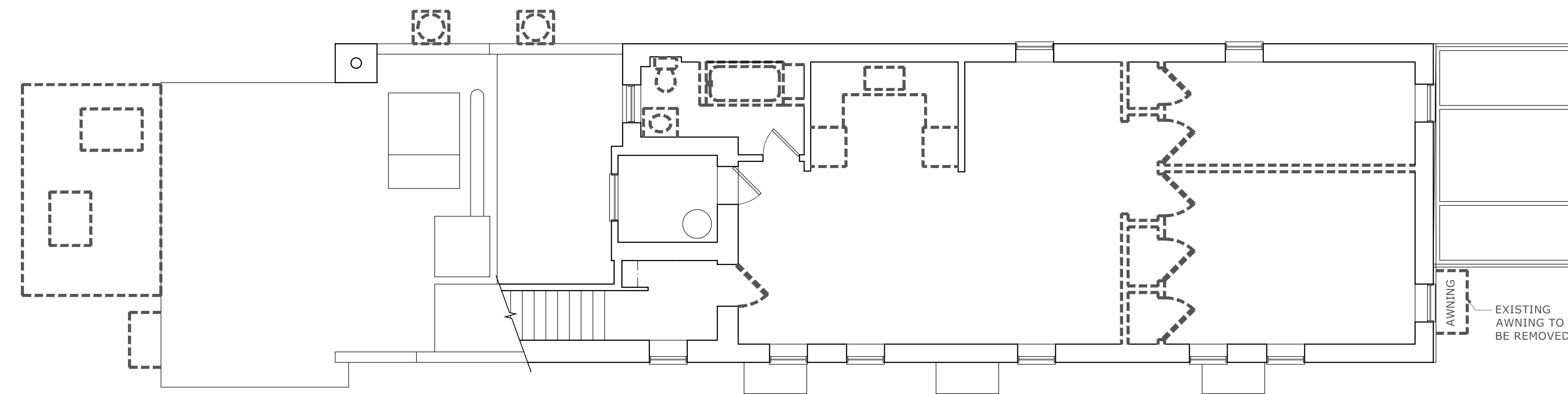


3 1ST FLOOR GROSS FLOOR AREA DIAGRAM  
 A2 1/8" = 1'-0"

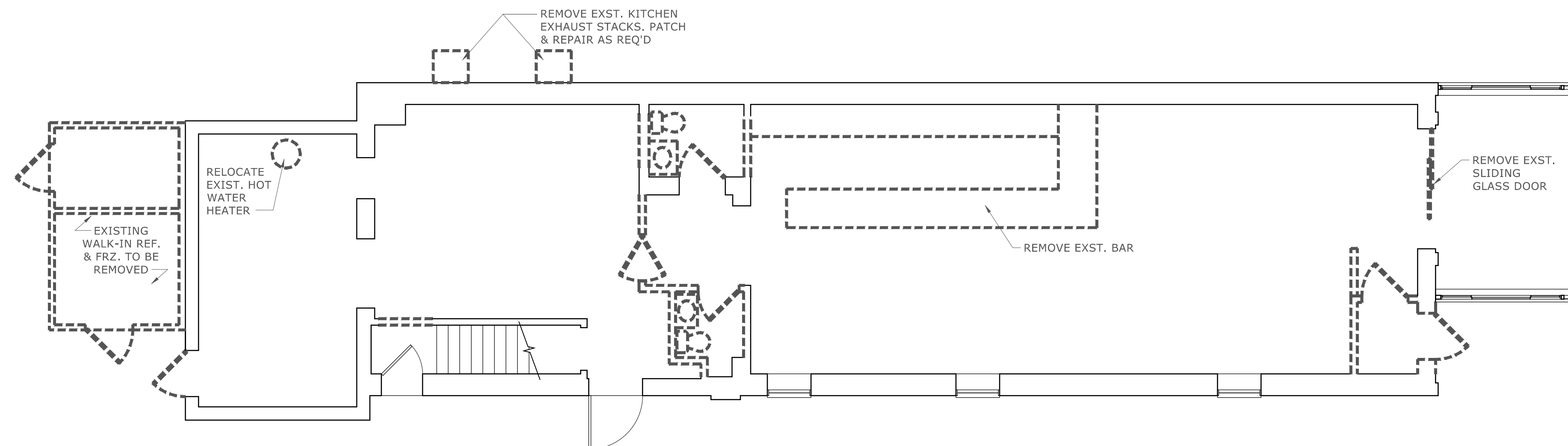


4 2ND FLOOR GROSS FLOOR AREA DIAGRAM  
 A2 1/8" = 1'-0"

1ST FL.	1,525 SF
2ND FL.	848 SF
<b>TOTAL G.F.A.</b>	<b>2,373 SF</b>



2 SECOND FLOOR DEMOLITION PLAN  
 A2 3/16" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN  
 A2 3/16" = 1'-0"

**DEMOLITION LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE DEMOLISHED

**DEMOLITION NOTES**

VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION. CONTRACTOR TO NOTIFY ARCHITECT IF EXISTING CONDITIONS VARY FROM DRAWINGS.

CONFIRM EXISTING STRUCTURE WITH ARCHITECT

CONTRACTOR TO PROVIDE TEMPORARY SUPPORT FOR ALL STRUCTURAL BEARING MEMBERS PRIOR TO ANY DEMOLITION.

CONTRACTOR TO REMOVE & CAP ALL EXISTING ELECTRICAL & PLUMBING AS REQUIRED FOR DEMOLITION AND NEW WORK.

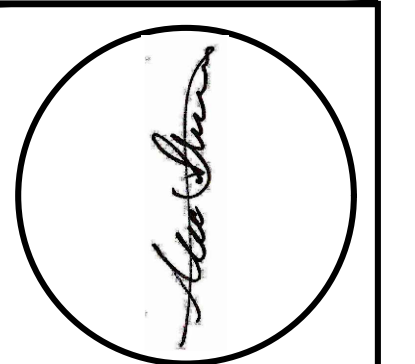
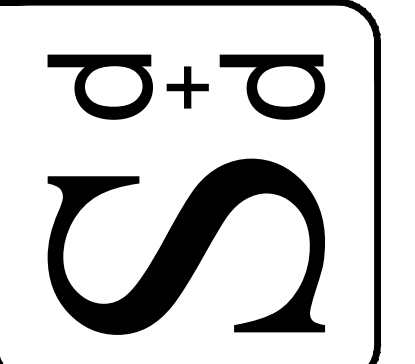
PATCH AND REPAIR EXISTING TO MATCH ADJACENT AS NECESSARY.

EXISTING WINDOWS TO REMAIN UNLESS NOTED OTHERWISE.

CONTRACTOR TO CONDUCT A WALK-THROUGH WITH THE OWNER PRIOR TO COMMENCING DEMOLITION TO CONFIRM WHAT IS TO BE DEMOLISHED, REMOVED, SALVAGED, ETC.

SEE PROPOSED PLANS AND ELEVATIONS TO HELP DETERMINE THE EXTENT OF DEMOLITION THAT IS REQUIRED.

**SHISSIAS**  
 DESIGN + DEVELOPMENT  
 Alex P. Shissias, P.A., R.A.  
 956.448.0665  
 www.shissias.com  
 ashissias@gmail.com  
 27 1st St. Rumson, NJ 07764  
 NJ Landscape Architect # 21A50017900



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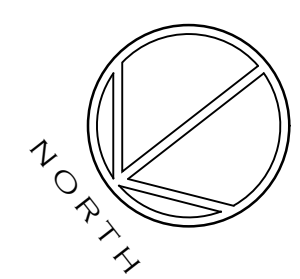
ISSUE	REVISIONS

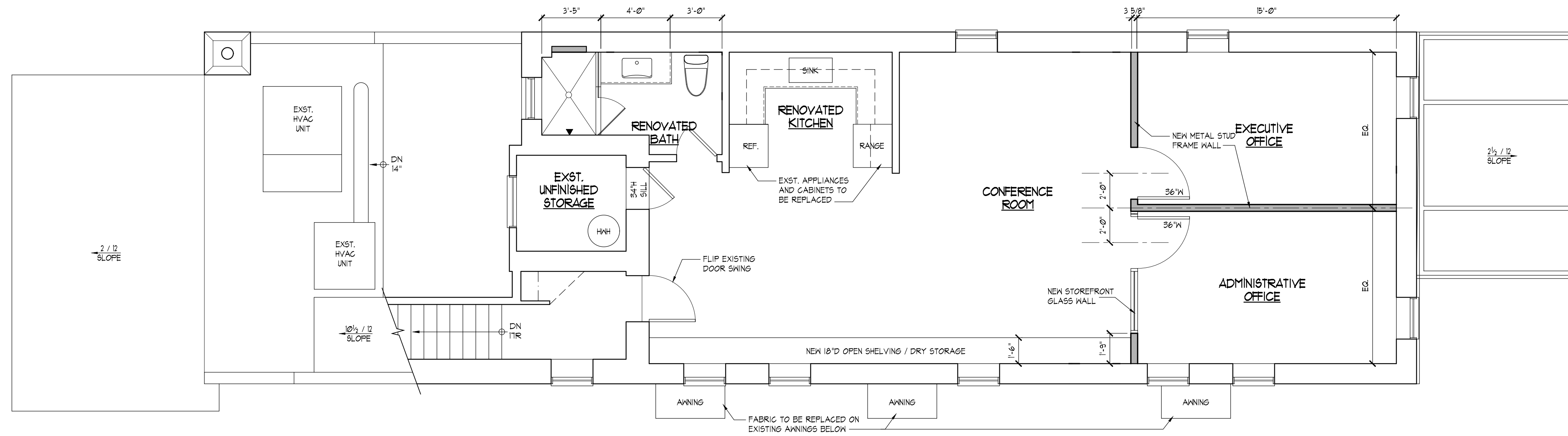
**Sea Grass NJ**  
 Interior Renovations / Commercial Fit-Out  
 272 Bay Avenue, Borough of Highlands, NJ 07732  
 Block 72, Lot 12

Proj. No: 2022.81  
 Issued For: Board Approval  
 Date: 1 / 25 / 2023

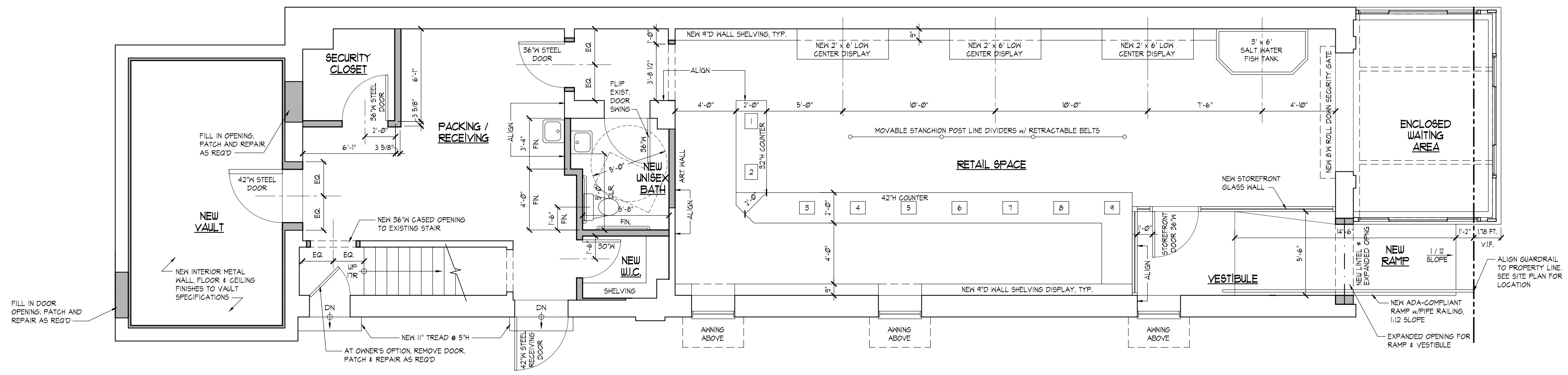
**COVER SHEET & DEMO**

**A1**

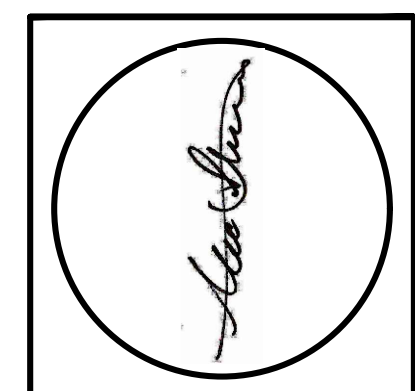
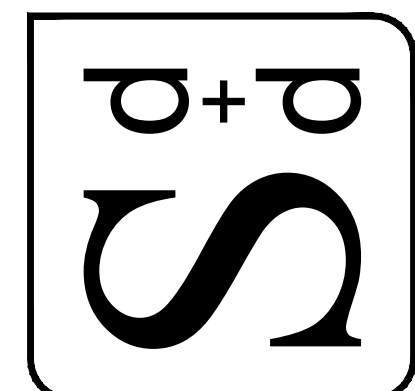




2 SECOND FLOOR PLAN  
A3 1/4" = 1'-0"



1 FIRST FLOOR PLAN  
A3 1/4" = 1'-0"



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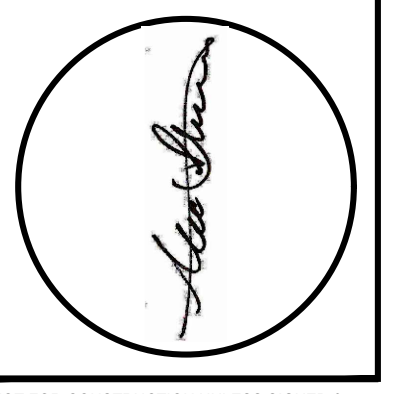
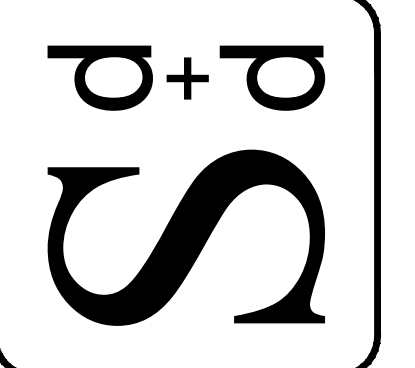
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PROPOSED FLOOR PLANS







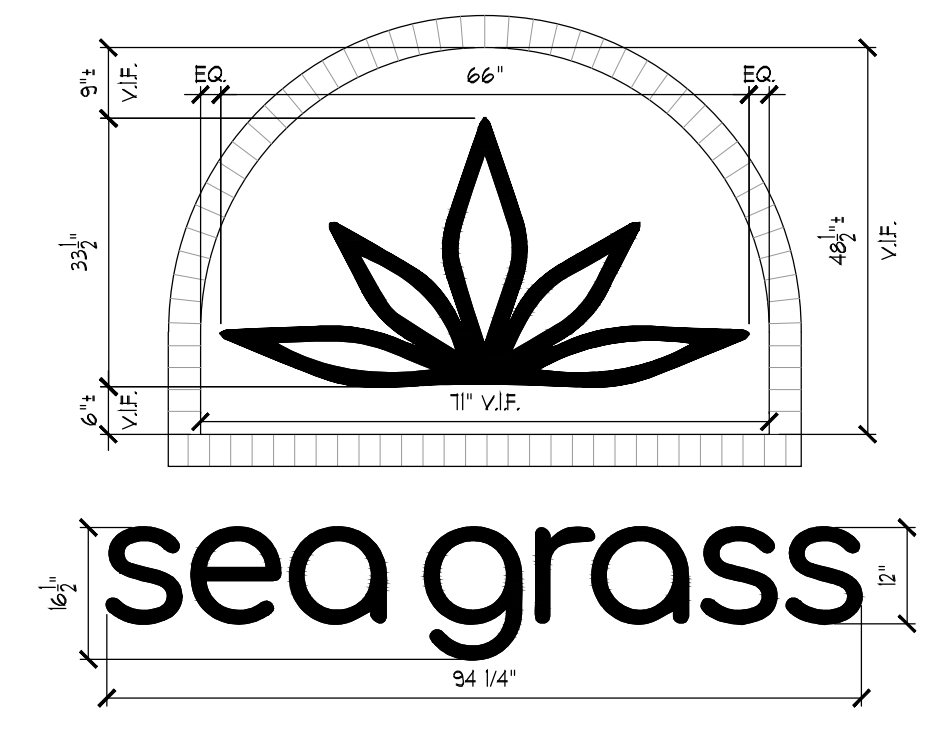
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ISSUE	REVISIONS

**Sea Grass NJ**  
 Interior Renovations / Commercial Fit-Out  
 272 Bay Avenue, Borough of Highlands, NJ 07732  
 Block 72, Lot 12

Proj. No: 2022.81  
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 Date: 1 / 25 / 2023

EXTERIOR ELEVATIONS



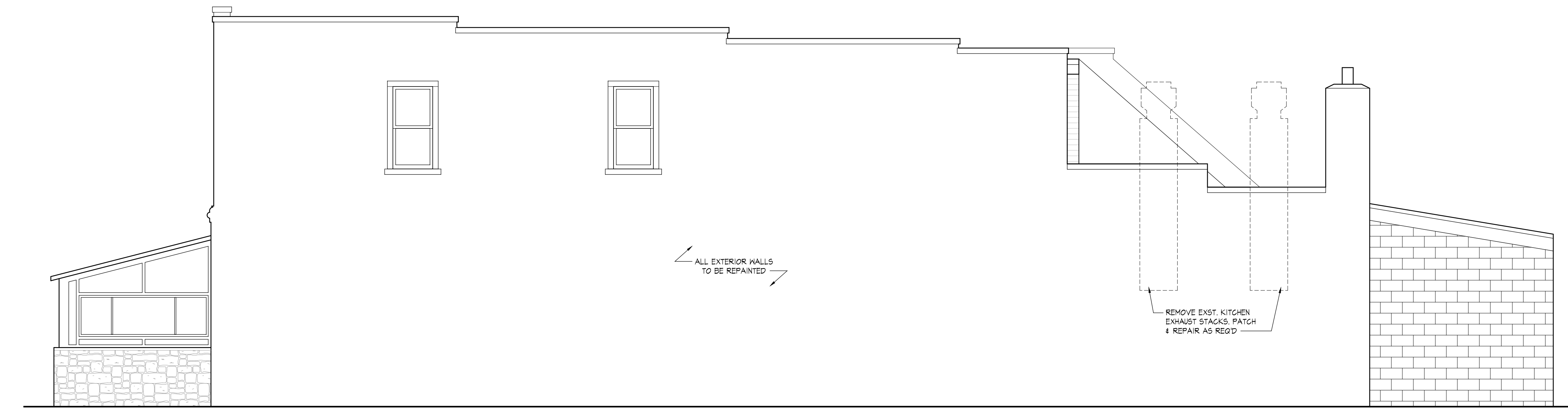
5 SIGNAGE DETAIL  
 A4 1/2" = 1'-0"



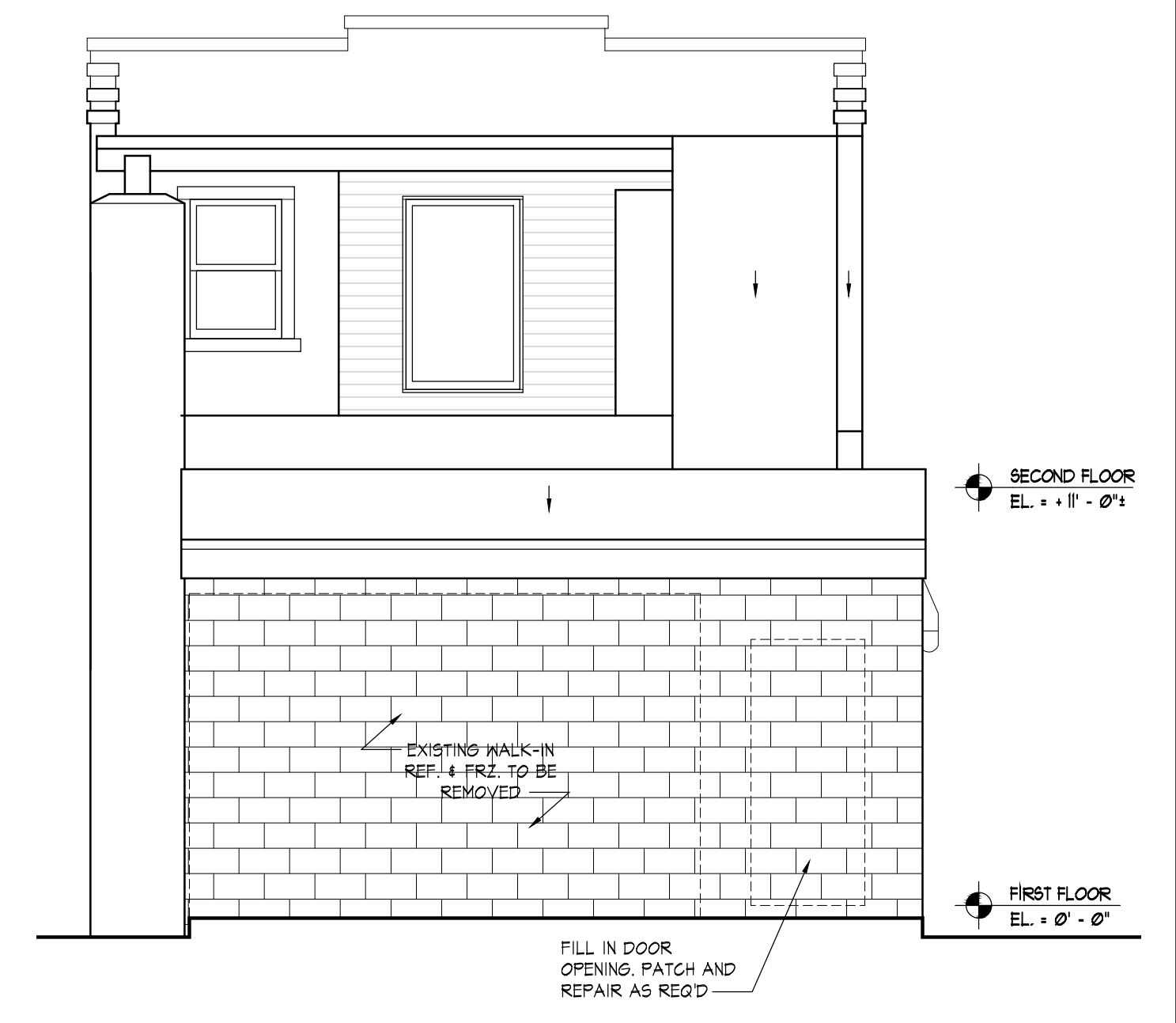
2 SIDE (SEA DRIFT AVE.) ELEVATION  
 A4 1/4" = 1'-0"



1 FRONT (BAY AVE.) ELEVATION  
 A4 1/4" = 1'-0"



4 SIDE ELEVATION  
 A4 1/4" = 1'-0"



3 REAR ELEVATION  
 A4 1/4" = 1'-0"

# KLEIN

TRAFFIC CONSULTING, LLC

156 Walker Road  
West Orange, NJ 07052  
973-985-3464  
leekleintraffic@gmail.com

January 27, 2023

Nick Frangipane  
Jim Whelan  
Hannah LaRose  
C/O Sea Grass NJ LLC  
135 Maple Avenue  
Red Bank, NJ 07701

VIA EMAIL: [nick.frang@gmail.com](mailto:nick.frang@gmail.com)

**Re: Traffic Engineering and Parking Evaluation  
Proposed Cannabis Retailer  
272 Bay Avenue, Highlands, Monmouth County, NJ**

Dear Mr. Frangipane:

This Traffic Engineering and Parking Evaluation (TEPE) report outlines our findings and recommendations for the proposed change of use from a 1,575 square foot restaurant and 1 apartment dwelling to a 1,525 square foot cannabis retailer and 848 square foot small office.

### **Familiarization with the Application**

We have reviewed the architectural plan set dated 12/2/2022, prepared by Shissias Design + Development. We reviewed the site plan set dated 11/21/22, prepared by East Point Engineering, LLC. We referenced Google street view and aerial photographs to become familiar with the area.

**Bay Avenue (County Route 8)** is under the jurisdiction of Monmouth County. Bay Avenue is relatively flat, level, and straight near the subject site. Bay Avenue extends from S. Bay Avenue and Shore Drive in the east to Gravelly Point Road in the west. Bay Avenue runs parallel to and connects with Shore Drive at several intersecting streets. Near the subject site, Bay Avenue has one travel lane in each direction, with a posted speed limit of 25 MPH. Parking is permitted on both sides of the street with restrictions of “No Parking Friday between 7 AM and 8 AM” and “No Parking When Road is Snow Covered”. There are sidewalks on both sides of the street. There are curb ramps at the intersection of Bay Avenue with Sea Drift Avenue. In the Google street view images from September and October 2019, there are no painted crosswalks across Bay Avenue at the intersection of Bay Avenue with Sea Drift Avenue.

**Sea Drift Avenue** is a local roadway under the jurisdiction of Highlands Borough. Sea Drift Avenue extends from Shore Drive in the south to Marine Place in the north. Sea Drift Avenue is STOP-controlled at Bay Avenue with a northbound and southbound, single lane approach to Bay Avenue. Parking is permitted on both sides of the street. The statutory speed limit is 25 MPH. There are sidewalks on both sides of the street with no posted restrictions. In the Google street view images from September and October 2019, there are no painted crosswalks across Sea Drift Avenue at the intersection with Bay Avenue.

Mass Transportation

The number 834 bus line runs along Bay Avenue and stops at Washington Avenue and at Atlantic Street. The number 834 bus provides service between Highlands, Atlantic Highlands, Leonardo, New Monmouth, Middletown, and portions of Red Bank including the NJ Transit Rail Station. The available mass transportation provides a potential option for employees or customers to access the facility.

**Trip Generation Calculations**

According to the Trip Generation Manual, 11<sup>th</sup> Edition published by the Institute of Transportation Engineers (ITE), a High-Turnover (Sit-Down) Restaurant “*use consists of sit-down, full-service eating establishments with a typical duration of stay of 60 minutes or less. This type of restaurant is usually moderately priced, frequently belongs to a restaurant chain, and is commonly referred to as casual dining. Generally, these restaurants serve lunch and dinner; they may also be open for breakfast and are sometimes open 24 hours a day. These restaurants typically do not accept reservations. A patron commonly waits to be seated, is served by wait staff, orders from a menu, and pays after the meal. Some facilities offer carry-out for a small proportion of its customers. Some facilities within this land use may also contain a bar area for serving food and alcoholic drinks.*” Trip generation for the existing High-Turnover (Sit-Down) Restaurant was calculated using the current ITE Trip Generation, 11<sup>th</sup> Edition based on square footage and number of seats, as well as based on the “Peak of the Generator” and the “Peak of the Adjacent Street” (on a weekday the highest one hour of adjacent street traffic between 7-9 AM and 4-6 PM, and the highest one hour of street traffic a Saturday). We chose the larger of the trip generation values, “Peak of Generator” for 1,525 square feet.

According to the Trip Generation Manual, 11<sup>th</sup> Edition published by the ITE, Multifamily Housing (Low-Rise) *includes apartments, townhouses, and condominium located within the same building with at least three other dwelling units and that have two or three (floors) levels.* Trip generation for the existing 1-unit of multifamily housing (low-rise) was calculated using the current ITE Trip Generation, 11<sup>th</sup> Edition.

According to the Trip Generation Manual, 11<sup>th</sup> Edition published by the ITE, “*a Marijuana Dispensary is a stand-alone facility where cannabis is sold to patients or retail consumers in a legal manner.*” Trip generation for the proposed 1,525 square foot cannabis retailer was calculated using the current ITE Trip Generation, 11<sup>th</sup> Edition based on square footage for the



“Peak of the Generator” and the “Peak of the Adjacent Street”. We chose the larger of the trip generation values, “Peak of Generator” for 1,525 square feet.

According to the *Trip Generation Manual, 11<sup>th</sup> Edition* published by the ITE, a Small Office Building “is the same as a general office building (Land Use 710) but with less than or equal to 10,000 square feet of gross floor area. The building typically houses a single tenant. It is a location where affairs of a business, commercial or industrial organization, or professional person or firm are conducted.” Trip Generation for the proposed 848 square foot small office was calculated using the current ITE *Trip Generation, 11<sup>th</sup> Edition*.

We calculated the trip generation for the existing restaurant and apartment and for the proposed cannabis retailer and supporting office space. The attached Table 1 – Trip Generation Comparison and Summary tabulates the trip generation of the former restaurant and apartment and the proposed cannabis retailer. The existing restaurant and one apartment would generate 22 vehicle trips during the weekday AM peak hour, 26 vehicle trips during the weekday PM peak hour, and 18 vehicle trips during a Saturday peak hour. The proposed cannabis retailer and small office would generate 27 vehicle trips during the weekday AM peak hour, 39 vehicle trips during the weekday PM peak hour, and 46 vehicle trips during the Saturday peak hour.

Table 1 also shows the change in the number of weekday AM and PM peak hour trips and Saturday peak hour trips. The increase in the number of peak hour trips is 5 vehicle trips during weekday AM peak hour trips, 13 vehicle trips during the weekday PM peak hour, and 28 vehicle trips during the Saturday peak hour.

According to Transportation Impact Analysis for Site Development, published by the Institute of Transportation Engineers (ITE), an increase of less than 100 vehicle trips would not change the level of service of the local street network nor appreciably increase the volume-to-capacity ratio of an intersection approach. Also, NJDOT Access Management Code considers a significant increase in trips greater than 100 peak hour trips AND greater than a 10 percent increase in previously anticipated daily trips. Therefore, the proposed development is not anticipated to significantly impact the operations of the local streets. Based on industry guidelines from the Institute of Transportation Engineers (ITE) as well as the NJDOT Access Code, the new vehicle trips generated by the proposed change of use from a restaurant and apartment to a cannabis retailer would not have a significant impact on traffic operations. Furthermore, the traffic generated to and from the property’s parking lot would be distributed on Sea Drift Avenue to Bay Avenue and to Shore Drive, further lessening any potential traffic impacts.

We were able to research the NJDOT website and find traffic volumes on Bay Avenue between Sea Drift Avenue and Atlantic Street from Monday, June 25 to Thursday, June 28, 2018. These traffic volumes show the two-way traffic volumes on Bay Avenue as between 250 and 325

vehicles per hour during the AM peak period and between 375 and 450 vehicles per hour during the PM peak hour. If all the trips generated by the proposed cannabis retailer were to use Bay Avenue only, those trips would be about 16 percent of the total traffic along Bay Avenue. The restaurant and apartment traffic were about 9 percent of the total traffic volumes on Bay Avenue. But again, the traffic to and from the parking lot would be distributed to Bay Avenue and Shore Drive, further lessening the traffic impacts generated by the property. Typically, traffic volumes can vary from day to day by more than 10 percent. The traffic volumes collected from the NJDOT website show that the traffic volumes during the AM and PM peak period fluctuate by 10 percent to 15 percent between Tuesday, June 26, 2018, and Wednesday, June 27, 2018. Therefore, the increase in traffic volumes generated by the change of use from a restaurant and apartment to a cannabis retailer would be insignificant and not noticed by drivers in the area.

### **Parking Requirements**

The total space within the building is 2,373 square feet. Based on the local parking requirement of 1 parking space per 600 square feet pursuant to the Borough's Ordinance 21-65.14.D(7a), the 2,373 square feet of business/commercial/retail store use would require 4 parking spaces. The parking lot provides 17 parking spaces, including 1 ADA parking space, more than 4 times the required parking.

### **Conclusion**

Based on the number of trips that would be generated during the weekday AM and PM peak hours being less than the industry standard of 100 peak hour trips, and the fact that there are two main roadways, Bay Avenue and Shore Drive, to distribute the traffic generated by the proposed cannabis retailer, the traffic generated by the proposed cannabis retailer would not have a significant impact on the operation of the surrounding streets.

Using the local Ordinance requirements for parking for the currently proposed cannabis retailer, the total parking requirement is 4 parking spaces, whereas 17 parking spaces are provided. The proposed parking supply of 17 parking spaces is over 4 times more than required by the local Ordinance.

Please contact me if you have any questions.

Sincerely,



Lee D. Klein, P.E., PTOE  
NJPE 24GE03710400  
PTOE Certification 1627

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**Table 1 - Trip Generation Comparison and Summary  
272 Bay Avenue, Highlands, Monmouth County, NJ**

CODE	LAND USE	AMOUNT	WEEKDAY						SATURDAY		
			AM PEAK HOUR			PM PEAK HOUR			PEAK HOUR		
			IN	OUT	TOTAL	IN	OUT	TOTAL	IN	OUT	TOTAL
<b>EXISTING</b>											
932	H-T (Sit-Down) Restaurant (Peak of Generator)	1,525 SF	12	9	21	13	12	8	9	8	17
932	H-T (Sit-Down) Restaurant (Street Peak)	1,525 SF	8	7	15	8	5	8	9	8	17
932	H-T (Sit-Down) Restaurant (Peak of Generator)	30 Seats	11	7	18	12	11	8	8	8	16
932	H-T (Sit-Down) Restaurant (Street Peak)	30 Seats	7	6	14	7	5	8	8	8	16
220	Low-Rise Apartment (Average Rate)	1 units	0	1	1	1	0	0	0	1	1
<b>TOTAL EXISTING TRIP GENERATION</b>			<b>12</b>	<b>10</b>	<b>22</b>	<b>14</b>	<b>12</b>	<b>9</b>	<b>9</b>	<b>9</b>	<b>18</b>
<b>PROPOSED</b>											
882	Marijuana Dispensary (Peak of Generator)	1,525 SF	14	12	26	18	19	22	22	22	44
882	Marijuana Dispensary (Street Peak)	1,525 SF	8	8	16	14	15	22	22	22	44
712	Small Office Building (General Urban/Suburban)	848 SF	1	0	1	1	1	1	1	1	2
<b>TOTAL EXISTING TRIP GENERATION</b>			<b>15</b>	<b>12</b>	<b>27</b>	<b>19</b>	<b>20</b>	<b>23</b>	<b>23</b>	<b>24</b>	<b>46</b>
<b>CHANGE IN NUMBER OF VEHICLE TRIPS</b>			<b>3</b>	<b>2</b>	<b>5</b>	<b>5</b>	<b>8</b>	<b>13</b>	<b>13</b>	<b>14</b>	<b>28</b>

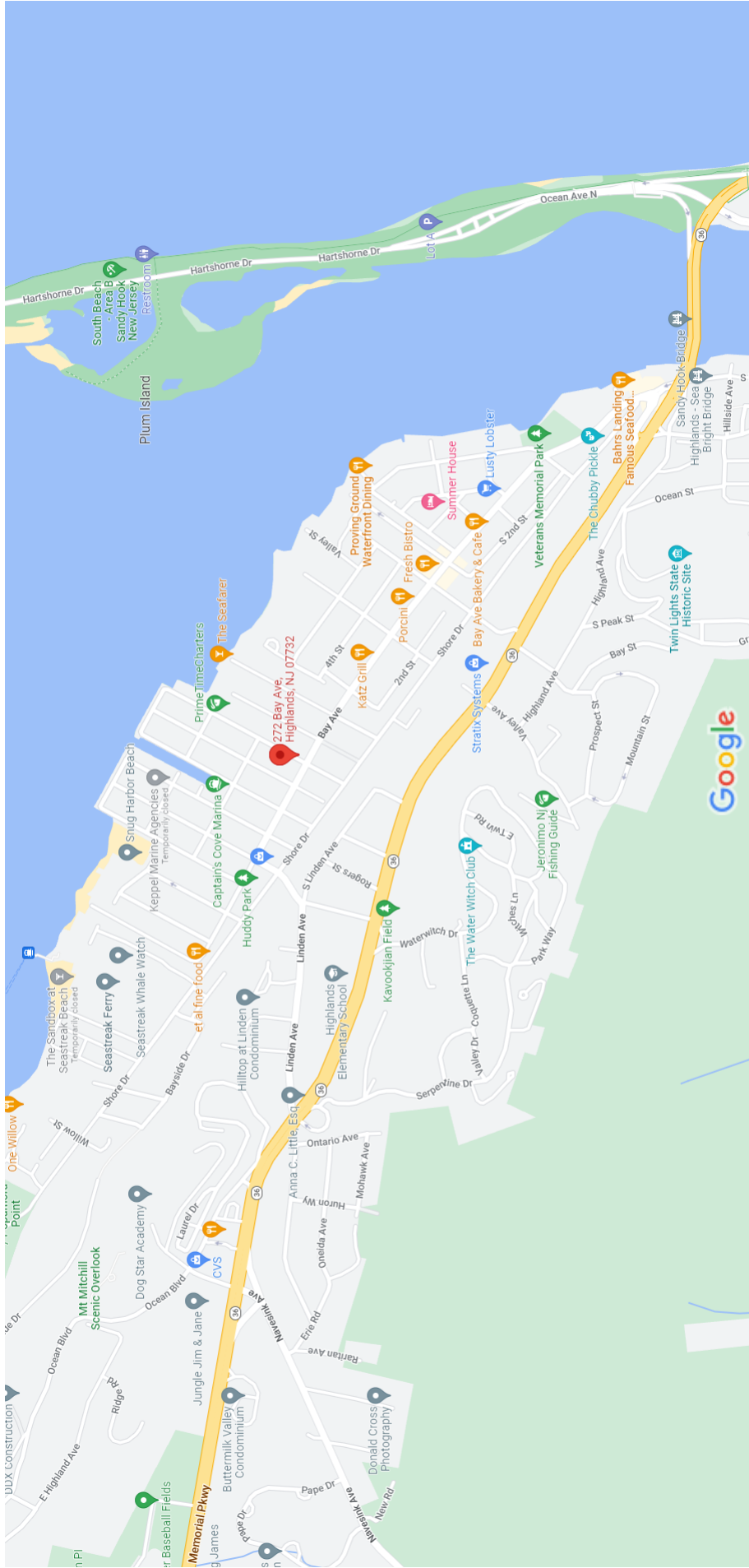
SOURCE: *Trip Generation, 11th Edition*, published by the Institute of Transportation Engineers (ITE)

NOTE: ## - Indicates an INCREASE in the number of trips from existing to proposed

# Google Maps

## 272 Bay Ave

LOCATION MAP



Map data ©2023 Google 500 ft



HGPB- R2000

February 3, 2023

Nancy Tran, Land Use Board Secretary  
 Borough of Highlands Land Use Board  
 42 Shore Drive  
 Highlands, New Jersey 07732

*Via Email (ntran@highlandsborough.org)*

**Re: Sea Grass NJ, LLC  
 272 Bay Avenue  
 Block 72, Lot 12 & Block 73, Lot 2  
 Central Business District (CBD) Zone  
 Redevelopment Zone C-RO-1  
 Minor Site Plan  
 & Conditional Use Variance  
 First Engineering Review**

Dear Ms. Tran:

As requested, we have reviewed the above-referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations section entitled Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure, and Article VIII, Plat and Plan Details, Section 21-58.E – Preliminary Site Plan.

The applicant submitted the following documents in support of this application:

1. Preliminary & Final Major Site Plans prepared by Brent N. Papi, Jr., PE, of East Point Engineering, LLC, dated November 21, 2022, and last revised January 23, 2023, consisting of ten (10) sheets.
2. Architectural Plans prepared Shissias Design + Development, dated January 25, 2023, consisting of three (3) sheets.
3. Land Use Board Application and supporting documents, dated December 6, 2022.
4. Zoning Permit Application and supporting documents, dated November 3, 2022.
5. Statement of Design Waivers, dated January 25, 2023.
6. Traffic Report prepared by Klein Traffic Consulting, LLC, dated January 27, 2023, consisting of six (6) sheets.

Based on our review of the submitted documents, we offer the following comments for the Board's consideration:

**A. Project Description**

The 2,300 square foot property is currently a developed corner lot with an existing commercial building (restaurant/bar) and a 7,000 square foot existing parking lot across the street. The site is located in the Central Business District (CBD) Zone of the Borough with frontage along Bay Avenue (County Route 8). With this application, the applicant is seeking minor site plan and conditional use (variance) approval and is proposing to renovate and convert the existing commercial building into a cannabis retail store and improve the existing parking lot across the street. The proposed cannabis retail use is a permitted conditional use in the CBD Zone.





**Le: Nancy Tran, Land Use Board Secretary  
Borough of Highlands Land Use Board**

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**B. Planning and Zoning**

1. The subject property is located within the CBD Zone. The applicant has elected to prepare the application in accordance with the CBD Zone requirements and is not seeking approval under the Redevelopment Plan.
  
2. In accordance with Section 21-91 of the Ordinance regarding CBD Zone criteria, existing/proposed bulk criteria are noted as follows:

CBD Zone	Required	Existing	Proposed
Minimum Lot Size (Lot 12, Block 72)	NA	2,300 SF	2,300 SF
Minimum Lot Size (Lot 2, Block 73)	NA	7,000 SF	7,000 SF
Minimum Lot Frontage – (Lot 12, Block 72)	NA	23’	23’
Minimum Lot Frontage – (Lot 2, Block 73)	NA	70’	70’
Minimum Lot Depth – (Lot 12, Block 72)	NA	100’	100’
Minimum Lot Depth – (Lot 2, Block 73)	NA	100’	100’
Minimum Front Yard Setback – Bay Avenue (County Route 8)	0’	-1.78’ <sup>(E)</sup>	-1.78’ <sup>(E)</sup>
Minimum Rear Yard Setback	12’	10.8’	10.8’
Minimum Side Yard Setback*	0’ or 5’ min.	0.61’ <sup>(E)</sup>	<b>0.61’</b> <sup>(E,V)</sup>
Maximum Building Height	36’	<36’	<36’
Maximum Building Coverage**	35%	83.0% <sup>(E)</sup>	<b>77.9%</b> <sup>(V)</sup>
Maximum Lot Coverage (Lot 12, Block 72)	80%	100% <sup>(E)</sup>	<b>100%</b> <sup>(E,V)</sup>
Maximum Lot Coverage (Lot 2, Block 73)	80%	2.8%	2.8%



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Borough of Highlands Land Use Board**

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CBD Zone	Required	Existing	Proposed
Floor Area Ratio	0.65	1.31 <sup>(E)</sup>	<b>1.26<sup>(V)</sup></b>

- (E) – Existing Non-conformity
- (C) – Calculated
- (W) – Waiver
- (V) – Variance
- NA – Not Applicable

3. It is noted that the CBD zone considers principal use parking as a “conditional use.”
4. It is also noted that accessory uses are defined in the Ordinance as clearly incidental or subordinate to the principal building or use and *generally* located on the same lot with such principal building or use. In this proposal, the applicant is providing for parking on a separate lot. The Board shall determine the implications accordingly in conjunction with the Board Attorney.
5. Although cannabis retail is a conditionally permitted use in the CBD Zone, the development does not meet the following requirements of Section 21-97.M of the Ordinance:
  - a. Section 21-97.M of the Ordinance permits one (1) cannabis retailer in the CBD Zone provided that applicable Article XI Design Standards are met, whereas the applicant does not meet several applicable design standards.
  - b. It is noted that per Section 21-97.M.2 of the Ordinance, “the cannabis retailer shall not be located within 1,000 feet of any school”. The proposed retail building property appears to be greater than 1,000 feet from the elementary school. The separate parking lot may be within 1,000 feet. It is unclear whether the separate parking lot would count in this respect. The Board should determine if this requires any additional consideration under a d(3) conditional use variance.

**Since all of the conditional use requirements are not met, a “d(3)” use variance is therefore required.**

6. The following design waivers are required for the building lot:
  - a. Section 21-65.1.A of the Ordinance requires that he provisions of the zoning regulations with respect to height, minimum lot area, yard requirements, and the like



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shall be complied with. The existing building does not comply with multiple bulk standards.

- b. Section 21-65.5.C.1 of the Ordinance requires that commercial driveways be a minimum of 15' wide. The applicant proposes 10.8'.
- c. Section 21-65.10.C.1-2 of the Ordinance indicates that in non-residential zones landscape plans shall specify the location of the planting material, their minimum size at time of planting and size at full growth, quantity, variety, species (common name) and method of planting, and that a minimum of 10% of the area of the site shall be landscaped. The applicant cannot provide landscaping accordingly given that the balance of the site is pre-existing building and parking area.
- d. Section 21-65.11 of the Ordinance speaks to lighting requirements for drives, aisles, and parking areas. The applicant did not provide any explicit lighting evaluation for the rear driveway of the building nor documentation of compliance with the Ordinance standards there.

7. The following design waivers are required for the Sea Drift parking lot:

- a. Section 21-65.5.A of the Ordinance requires that driveways be located a minimum of 25' from any intersection, whereas the existing driveway entrance is less than 25'.
- b. Section 21-65.14.A of the Ordinance indicates that in conjunction with any principal building or any use of land, there shall be provided sufficient parking spaces to meet the minimum requirements specified herein. The required parking may either be provided on- or off-site. **Any part of the parking requirement located on a private lot other than the one on which the use is located shall be subject to a cross easement or agreements noted on the deed and recorded at the County Clerk's Office.** The applicant shall confirm how they plan to address this matter.
- c. Section 21-65.14.D.1 of the Ordinance indicates that all parking areas shall be paved, or constructed in accordance with CAFRA regulations with gravel or porous pavers, subject to the review and approval of the Borough or Board Engineer; shall be suitably drained and maintained in good condition; and all spaces and directional instructions shall be clearly marked and maintained so as to be clearly visible. The Sea Drift parking lot is currently gravel. The applicant's proposal is to add hard surface for ADA purposes, but to maintain the balance as gravel. The Board should determine if gravel is acceptable, or whether paving is required. If paving is required, the lot coverage by definition would increase and may require additional relief.



**Le: Nancy Tran, Land Use Board Secretary  
Borough of Highlands Land Use Board**

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- d. Section 21-65.14.D.2 of the Ordinance requires that parking spaces or access aisles shall have a minimum setback of at least one-half (1/2) the required setback for the principal building. This condition is not met, but is a pre-existing condition.
8. To be entitled to bulk variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A. 40: 55D-70c for the bulk variances:
- a. Positive Criteria. The applicant must prove either a hardship in developing the site in conformance to the zone standards due to exceptional narrowness, shallowness, or shape of the property; or due to exceptional topographic conditions or physical features uniquely affecting the property; or due to an extraordinary and exceptional situation affecting the property or its lawful existing structures. Alternatively, the applicant may satisfy the positive criteria by demonstrating that the variance relief will promote a public purpose as set forth in the Municipal Land Use Law (N.J.S.A. 40:55D-2) and thereby provide improved community planning that benefits the public and the benefits of the variance substantially outweigh any detriment.
  - b. Negative Criteria. The applicant must also show that the bulk variances can be granted without substantial detriment to the public good or substantially impairing the intent and purpose of the zone plan. This requires consideration of the impact of the proposed variances on surrounding properties and a determination as to whether or not the variance would cause such damage to the character of the neighborhood as to constitute a substantial detriment to the public good.
9. In order for the Board to approve a "d(3)" variance, the applicant must satisfy the following:

With respect to the “positive criteria”, our courts have held that applicants seeking a conditional use variance must show that the site will accommodate the problems associated with the use even though the proposal does not comply with the conditions the Ordinance established to address those problems. This leaves the Board to focus on the *particular suitability* of the site in accommodating the use despite its failure to meet the conditions. The Board shall consider whether there are particular features of the site that lessen or entirely offset the failure to meet the Ordinance conditions and then whether there are conditions that the Board could require that would offset the failure.

With respect to the “negative criteria”, the applicant shall demonstrate that the variance can be granted without substantial detriment to the public good. The focus here should be on the impact of the proposed use variance on adjacent properties and a determination of whether or not it will cause such damage to the character of the neighborhood as to constitute substantial detriment to the public good.



**Le: Nancy Tran, Land Use Board Secretary  
Borough of Highlands Land Use Board**

**Re: Sea Grass NJ, LLC  
272 Bay Avenue  
Block 72, Lot 12 & Block 73, Lot 2  
Central Business District (CBD) Zone  
Redevelopment Zone C-RO-1  
Minor Site Plan  
& Conditional Use Variance  
First Engineering Review**

Additionally, the applicant shall demonstrate that the grant of the variance for this specific project at the designated site is reconcilable with the Borough’s legislative determination that the condition should be imposed on all conditional uses in that zoning district, such that it will not substantially impair the intent and purpose of the zone plan and zoning ordinance.

- 10. If the applicant is pursuing consideration under the standard CBD Zone, **ad(4) use variance for floor area may also be implicated**. We note that this is a pre-existing building and condition, and it is unclear whether any prior approvals were granted.

**C. Site Requirements & Layout**

- 1. The applicant does not propose any off-site improvements as part of this application.
- 2. The site circulation includes one (1) driveway entrance on Sea Drift Ave. The driveway allows ingress and egress directly into the proposed parking facilities with no circulation around the site.
- 3. Under the CBD Zone, for the cannabis retail use, Section 21-65.14.D.7.a of the Ordinance requires one (1) off-street parking space per 600 square feet of gross floor area. The following is a summary of the required off-street parking spaces:

Cannabis Retail:	1 space/600 SF	@ 2,373 SF	<u>3.96 spaces</u>
		Total Required Spaces:	4 spaces

A total of 4 parking spaces are required per CBD Zone criteria and 17 parking spaces are provided therefore no design waiver is required. Refer to comment 5.b above regarding reservation of parking spaces.

- 4. Table 208.2 of the 2010 ADA standards indicates that 1 ADA accessible parking space is to be provided when there are between 0 and 25 parking spaces. The applicant is proposing one van-accessible parking space on the Sea Drift parking lot.
- 5. The applicant shall provide testimony on whether employee parking spaces will be reserved on-site at the Sea Drift parking lot.
- 6. The applicant shall provide testimony on truck loading areas required as part of the proposed improvements. The applicant has indicated that a driveway will be constructed at the back of the building that will be suitable for use by the typical Sprinter-type vans that will provide deliveries.





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Redevelopment Zone C-RO-1  
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**D. Traffic Impact**

1. The applicant provided a traffic impact report. The findings were that the proposed use is expected to only slightly increase the expected peak hour trip generation when compared to the pre-existing restaurant/bar and apartment use. The applicant's engineer shall provide testimony on the proposed traffic to be generated, circulation around the site, and whether any additional signage or pavement markings are necessary.
2. In our experience with cannabis retail facilities there can be a significant demand for on-site parking and pedestrian queuing along the facility's building and adjacent sidewalks. The applicant shall provide testimony on vehicular and pedestrian queuing expectations, logistics, and layout.
3. The applicant shall provide testimony as to the frequency and type of trucks that will access the site including those providing deliveries and garbage collection.
4. The applicant shall provide testimony on the trash and recyclables to be generated with the proposed use, along with the process, times, and frequency of refuse pickup.
5. We defer to the Borough Fire Official for review of the application with respect to emergency vehicle access and maneuvering, as well as traffic lane markings.

**E. Technical Engineering**

1. The proposed development will not disturb an area exceeding 1 acre, nor will it create more than a quarter acre of new impervious surfaces. Therefore, the project is not considered a "major development" as defined by NJAC. 7:8, and is not subject to the NJDEP Stormwater Management stormwater quantity, quality and recharge requirements of a major development.
2. The applicant shall provide testimony on existing drainage patterns and any potential changes or impacts.
3. The applicant shall provide testimony regarding the suitability of existing utility connections and/or additional utility connections or improvements necessitated by the subject application. All proposed utility improvements shall be shown on the plans including proper trench restoration.
4. The applicant shall confirm no sanitary sewer or water utilities will be impacted as a result of the subject application.
5. The applicant shall provide testimony on the existing fire service water line size and location. We defer to the Borough Fire Official for review.



**Le:** Nancy Tran, Land Use Board Secretary  
Borough of Highlands Land Use Board

**Re:** Sea Grass NJ, LLC  
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6. The applicant shall provide testimony on the existing lighting levels throughout the entire site and compliance with Section 21-65.11 of the Ordinance.
7. All outdoor lighting during non-operating hours of the business on site, not necessary for safety and security purposes, shall be reduced, activated by motion-sensor devices or turned off. The applicant shall provide testimony on the proposed lights and hours of operation. It is recommended they be placed on a timer.
8. The project site is located in the Coastal Area Facilities Review Act (CAFRA) Zone. The applicant shall comply with any applicable NJDEP requirements. The applicant has indicated that a permit is not required for this application. We defer further review to NJDEP.
9. The subject property is located within the “AE” Flood Zone with a Base Flood Elevation (BFE) of 11 feet. The applicant shall specify on the plans the proposed finished floor elevation. Additionally, it is recommended that the applicant obtains an Elevation Certificate for the subject property.  
  
We defer further review to the Flood Plain Administrator and Construction Official for any applicable building requirements accordingly.
10. The applicant shall provide testimony on any proposed flood mitigation measures.
11. The Building Department should review the architectural plans for ADA compliance.

**F. General**

1. The applicant shall consider all performance standards for the operations of the proposed facility including but not limited to noise, glare, pollutants, and refuse management, and provide testimony on said standards. Specifically, the applicant shall provide testimony on odor control.
2. The applicant shall provide testimony on any proposed signage. All signage shall be indicated on the plans and comply with Section 21-65.19 of the Ordinance.
3. The applicant shall provide testimony regarding any mechanical equipment proposed, such as A/C units and backup power generators, as well as any requirements for electric and other meters including any required platforms.
4. The applicant has indicated that no exterior renovations are proposed for the building. The applicant shall discuss interior renovations they have proposed.



**Le: Nancy Tran, Land Use Board Secretary  
Borough of Highlands Land Use Board**

**Re: Sea Grass NJ, LLC  
272 Bay Avenue  
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Central Business District (CBD) Zone  
Redevelopment Zone C-RO-1  
Minor Site Plan  
& Conditional Use Variance  
First Engineering Review**

5. A note shall be added to the plans indicating that all improvements are to be ADA compliant, where applicable.
6. A note shall be added to the plans stating that any/all existing curb, sidewalk, roadway, and other objects either in poor condition or damaged by construction should be repaired and/or replaced to the satisfaction of the Borough Engineer.
7. Testimony shall be provided regarding the proposed uses. The applicant shall be prepared to discuss the following:
  - a. Security and access.
  - b. Hours of operation.
  - c. Number of employees (total and maximum per shift).
  - d. Frequency and type of trucks that will access the site.
  - e. Type of goods to be sold.
8. Approvals or waivers should be obtained from any outside agencies having jurisdiction. These may include, but shall not be limited to, the following:
  - a. New Jersey Department of Environmental Protection
    - i. CAFRA
  - b. New Jersey Cannabis Regulatory Commission
  - c. Floodplain Official
  - d. Township of Middletown Sewerage Authority
  - e. New Jersey American Water
  - f. Borough Fire Official
  - g. Monmouth County Board of Health
  - h. Monmouth County Planning Board

We reserve the opportunity to further review and comment on this application and all pertinent documentation, pursuant to testimony presented at the public hearing. If you have any questions regarding this matter, please do not hesitate to contact our office.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.  
LAND USE BOARD ENGINEER



**Le: Nancy Tran, Land Use Board Secretary  
Borough of Highlands Land Use Board**

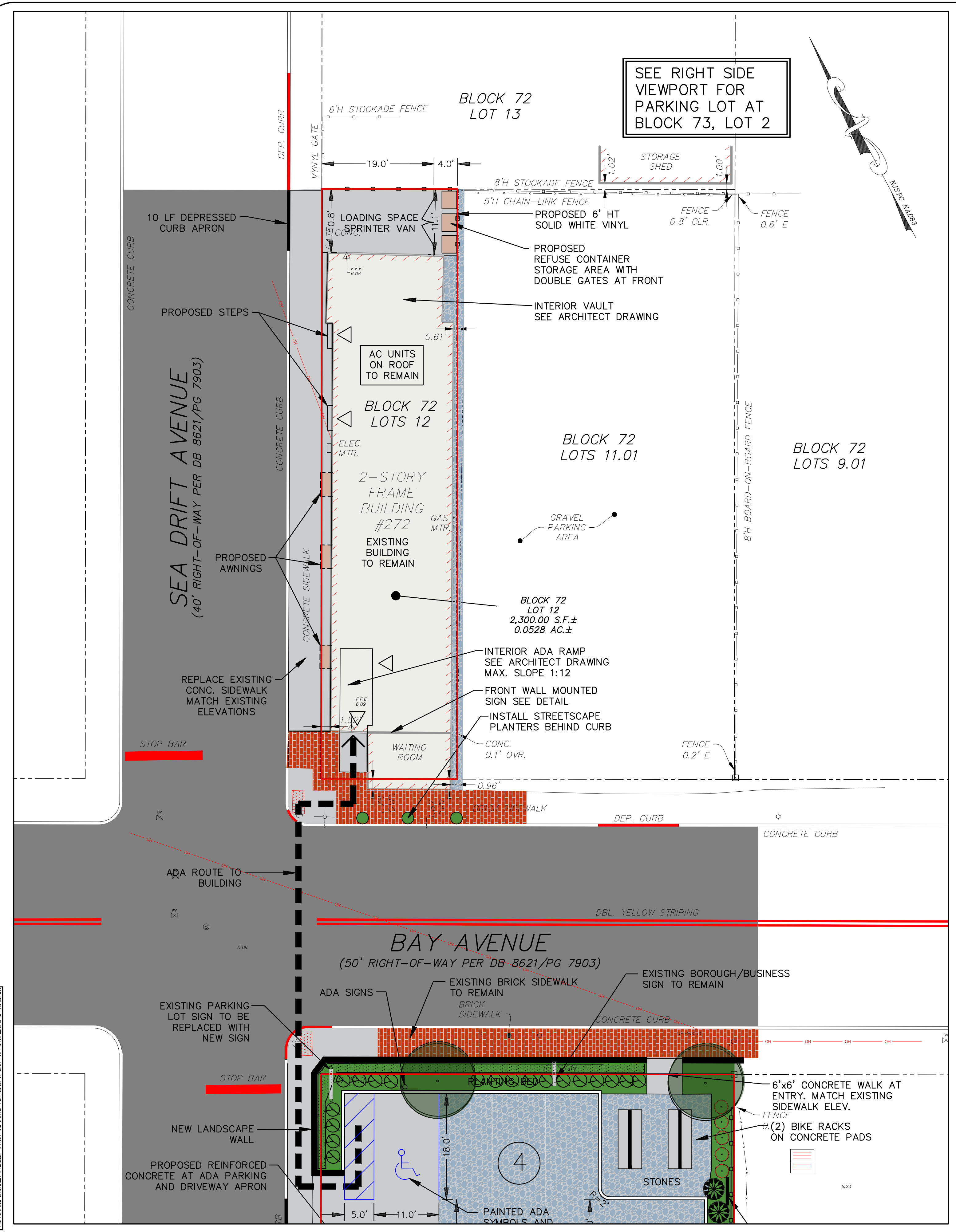
**Re: Sea Grass NJ, LLC  
272 Bay Avenue  
Block 72, Lot 12 & Block 73, Lot 2  
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EWH:EJC

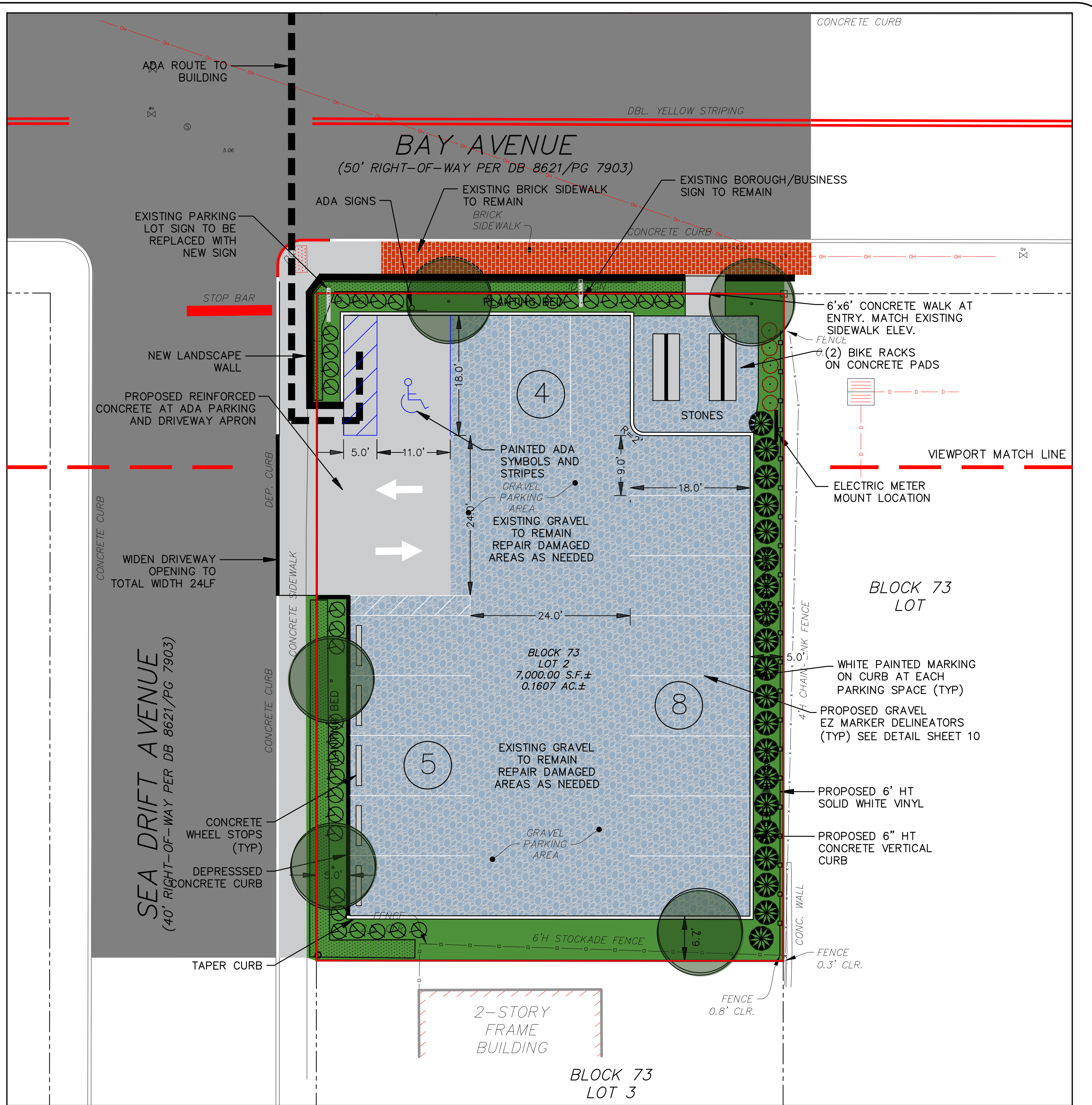
cc: Michael Muscillo, Borough Administrator (mmuscillo@highlandsborough.org)  
Ron Cucchiaro, Esq., Land Use Board Attorney (RCucchiaro@Weiner.law)  
Brian O'Callahan, Zoning Officer (bcallahan@middletownnj.org)  
Sea Grass NJ, LLC, Applicant (idrwhelan@gmail.com)  
Leonel Cervantes, Owner (leocervantes@hotmail.com)  
John B. Anderson, III, Esq., Applicant's Attorney (janderson@fsfm-law.com)  
Brent N. Papi, Jr., PE, Applicant's Engineer (bpapi@eastpointeng.com)  
Shissias Design & Development, Applicant's Architect (kevin966@gmail.com)

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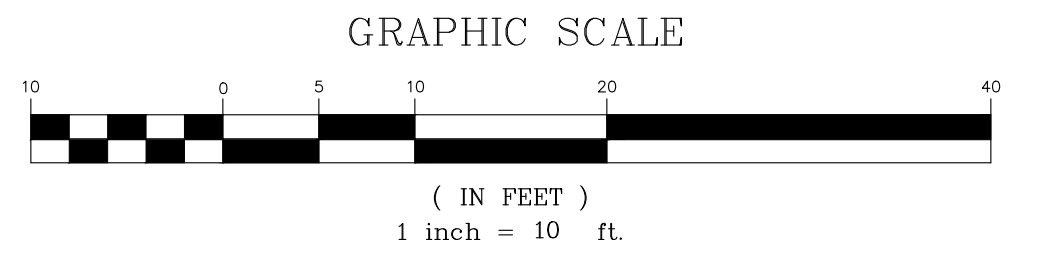


SEE RIGHT SIDE VIEWPORT FOR PARKING LOT AT BLOCK 73, LOT 2



**SITE IMPROVEMENT NOTES**

1. ALL SIGNS, STRIPING, AND DEVICES FOR THE MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (M.U.T.C.D.), LATEST EDITION.
2. ALL JOINTS WITH EXISTING PAVED AREAS/ROADS SHALL BE CONSTRUCTED WITH A NEAT SAWCUT AND KEYWAY. JOINTS WITH EXISTING CONCRETE SHALL BE SAWCUT AND A BITUMINOUS MATERIAL PROVIDED AS AN EXPANSION JOINT FILLER.
3. ALL PARKING STALLS TO BE 9' x 18' UNLESS OTHERWISE NOTED ON THE PLANS.
4. SIDEWALKS, APRONS, RAMPS, AND CURBS TO BE CONSTRUCTED OF 4,500 PSI CONCRETE AS INDICATED ON THE CONSTRUCTION DETAILS.
5. SHOP DRAWINGS SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WORK.
6. DEPRESSED CURBS AT ALL CURB RAMPS SHALL BE CONSTRUCTED OUT OF CONCRETE.
7. ANY CURBING OR SIDEWALK FRONTING THE SITE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED.



**Exhibit A-3**

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NO.	DATE	DESCRIPTION
1	1-23-23	REVISED PER BOROUGH TREC MEETING COMMENTS

**PRELIMINARY & FINAL MAJOR SITE PLAN**  
**SEA GRASS NJ, LLC**  
**SITE LAYOUT / SIGNAGE & STRIPING PLAN**  
 BLOCK 72, LOT 12 & BLOCK 73, LOT 2  
 BOROUGH OF HIGHLANDS  
 MONMOUTH COUNTY, NEW JERSEY  
 TAX MAP SHEETS NO. 15 & 16

**EAST POINT ENGINEERING, LLC**  
 NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 246A28169800

11 South Main Street  
 Marlboro, NJ 07746  
 Tel: 732.577.0180

BRENT N. PAPI, JR. N.J. PROFESSIONAL ENGINEER, LICENSE NO. 246E04732700	DATE 01/23/23	PROJECT NUMBER: 21-1166 CHECKED BY: M.S.L.
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### Exhibit A4 (1 of 2)







Exhibit A4 (2 of 2)





**Exhibit A5 (1 of 2)**



**Exhibit A5 (2 of 2)**





# sea grass



FRONT (BAY AVE.) ELEVATION



SIDE (SEA DRIFT AVE.) ELEVATION

### EXTERIOR IMPROVEMENTS:

- REPAIRED STUCCO FACADE
- FULLY PAINTED EXTERIOR
- WOOD CLADDING DETAILS
- NEW AWNINGS
- NEW VESTIBULE & ADA RAMP
- COMMUNITY MURAL

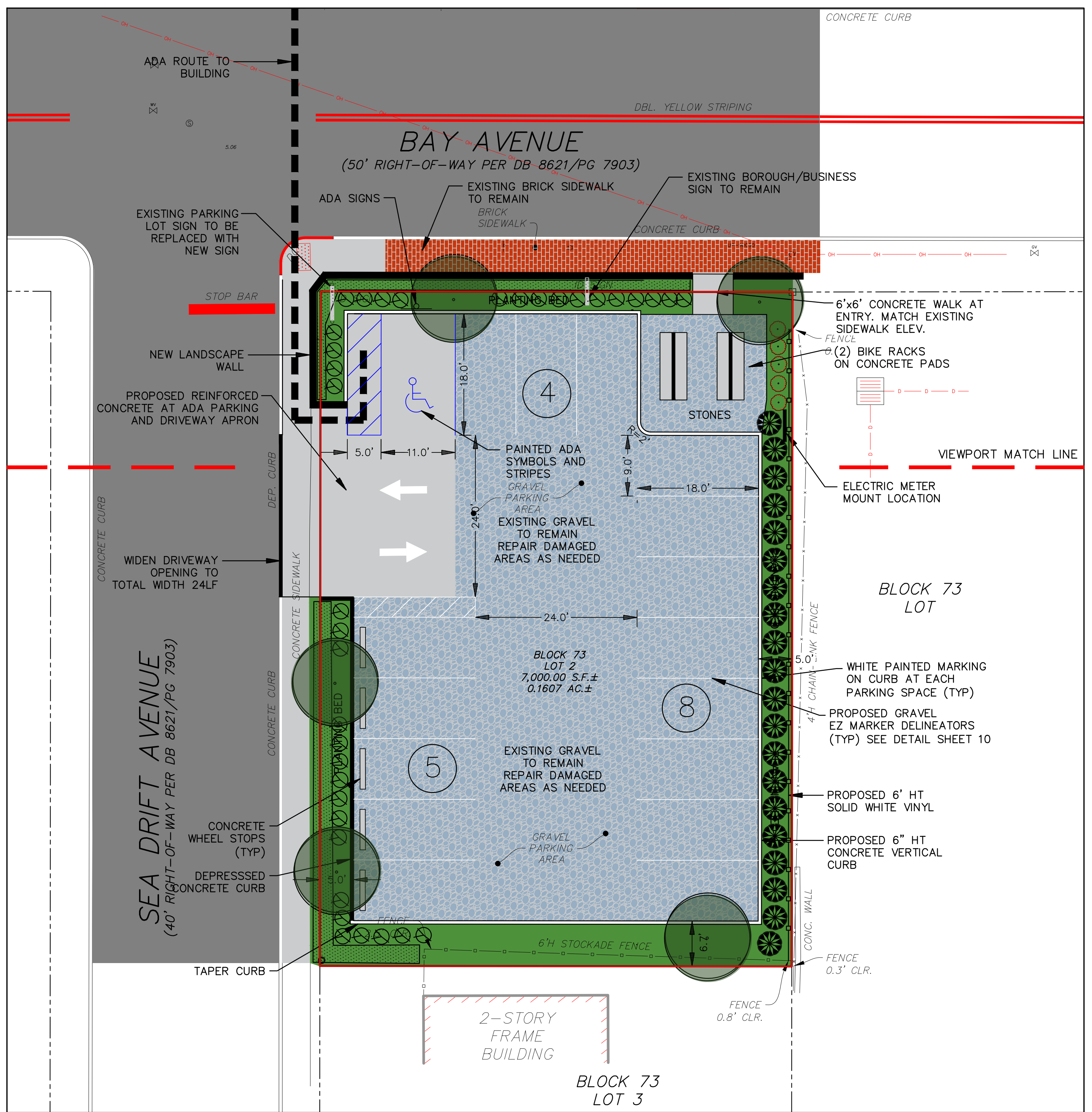
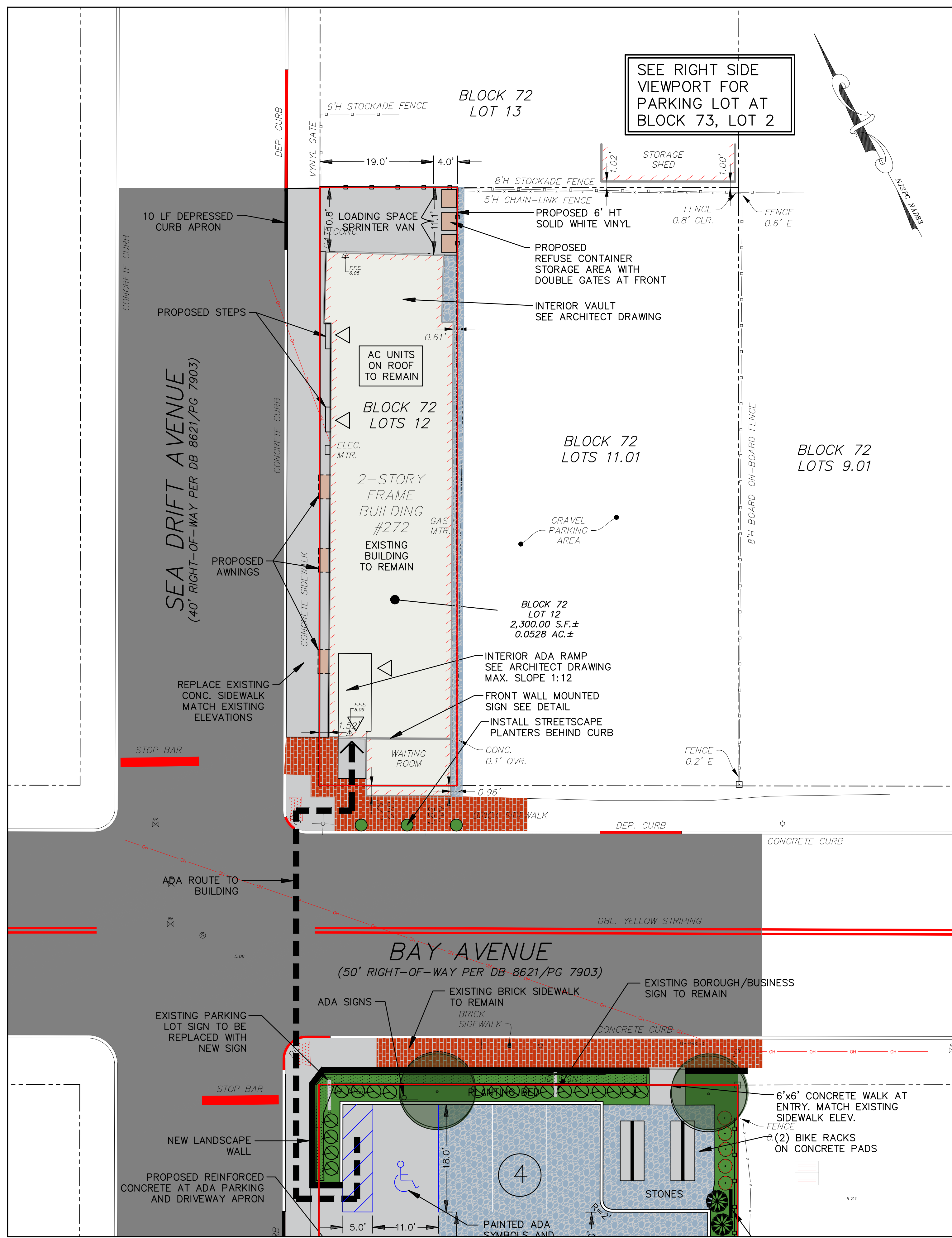
### MURAL NOTE:

THE EXISTING BUILDING CURRENTLY HAS A LARGE PAINTED MURAL ON THE SEA DRIFT AVENUE EXTERIOR WALL.

SEA GRASS OFFERS THE SEA DRIFT AVENUE EXTERIOR WALL FOR THE CREATION OF A PAINTED MURAL, WELCOMING INPUT FROM THE MUNICIPALITY AND COMMUNITY, TO BE COMPLETED BY A LOCAL ARTIST.

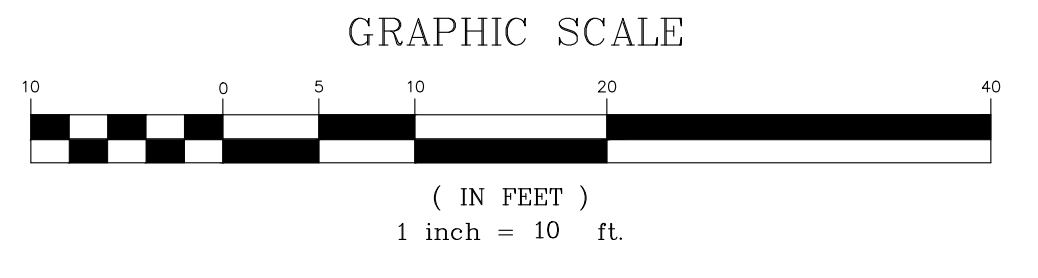






**SITE IMPROVEMENT NOTES**

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6. DEPRESSED CURBS AT ALL CURB RAMPS SHALL BE CONSTRUCTED OUT OF CONCRETE.
7. ANY CURBING OR SIDEWALK FRONTING THE SITE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED.



NO.	DATE	DESCRIPTION
1	1-23-23	REVISED PER BOROUGH TIR MEETING COMMENTS
2		

**PRELIMINARY & FINAL MAJOR SITE PLAN**  
**SEA GRASS NJ, LLC**  
**SITE LAYOUT / SIGNAGE & STRIPING PLAN**  
 BLOCK 72, LOT 12 & BLOCK 73, LOT 2  
 BOROUGH OF HIGHLANDS  
 MONMOUTH COUNTY, NEW JERSEY  
 TAX MAP SHEETS NO. 15 & 16

11 South Main Street  
Marlboro, NJ 07746  
Tel: 732.577.0180

<i>Brent N. Papi, Jr.</i> BRENT N. PAPI, JR. N.J. PROFESSIONAL ENGINEER, LICENSE NO. 24604732700	DATE 01/23/23	PROJECT NUMBER: 21-1166 CHECKED BY: M.S.L.
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**SHEET NO. 4 OF 10**

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# sea grass



FRONT (BAY AVE.) ELEVATION



SIDE (SEA DRIFT AVE.) ELEVATION

### EXTERIOR IMPROVEMENTS:

- REPAIRED STUCCO FACADE
- FULLY PAINTED EXTERIOR
- WOOD CLADDING DETAILS
- NEW AWNINGS
- NEW VESTIBULE & ADA RAMP
- COMMUNITY MURAL

### MURAL NOTE:

THE EXISTING BUILDING CURRENTLY HAS A LARGE PAINTED MURAL ON THE SEA DRIFT AVENUE EXTERIOR WALL.

SEA GRASS OFFERS THE SEA DRIFT AVENUE EXTERIOR WALL FOR THE CREATION OF A PAINTED MURAL, WELCOMING INPUT FROM THE MUNICIPALITY AND COMMUNITY, TO BE COMPLETED BY A LOCAL ARTIST.



**PROJECT DESCRIPTION**

PROJECT: SEA GRASS NJ DISPENSARY  
 INTERIOR RENOVATIONS / COMMERCIAL FIT-OUT

272 BAY AVENUE  
 BOROUGH OF HIGHLANDS, NEW JERSEY  
 MONMOUTH COUNTY  
 BLOCK 72 - LOT 12

PROPOSED USE: COMMERCIAL (B & M OCCUPANCY)

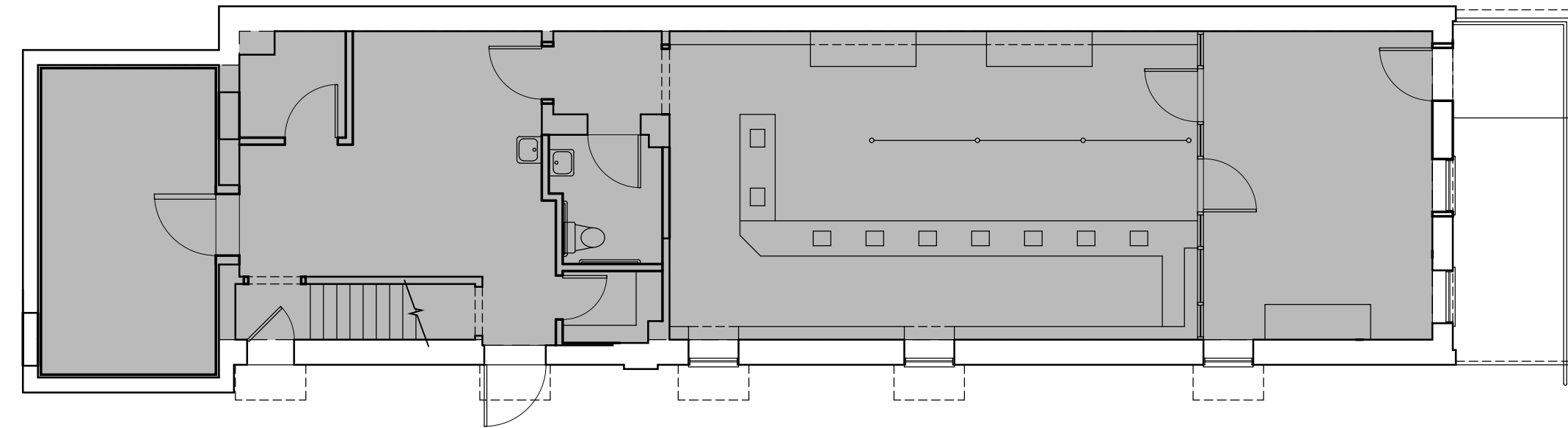
PROJECT DESCRIPTION: INTERIOR RENOVATION OF EXISTING FIRST FLOOR RESTAURANT INTO  
 MERCHANTILE SPACE AND INTERIOR RENOVATION OF EXISTING SECOND FLOOR  
 RESIDENTIAL APARTMENT INTO A TYPICAL USE (NON-HIGH-CONCENTRATION)  
 OFFICE SPACE TO ACCOMPANY FIRST FLOOR BUSINESS.

# Sea Grass NJ

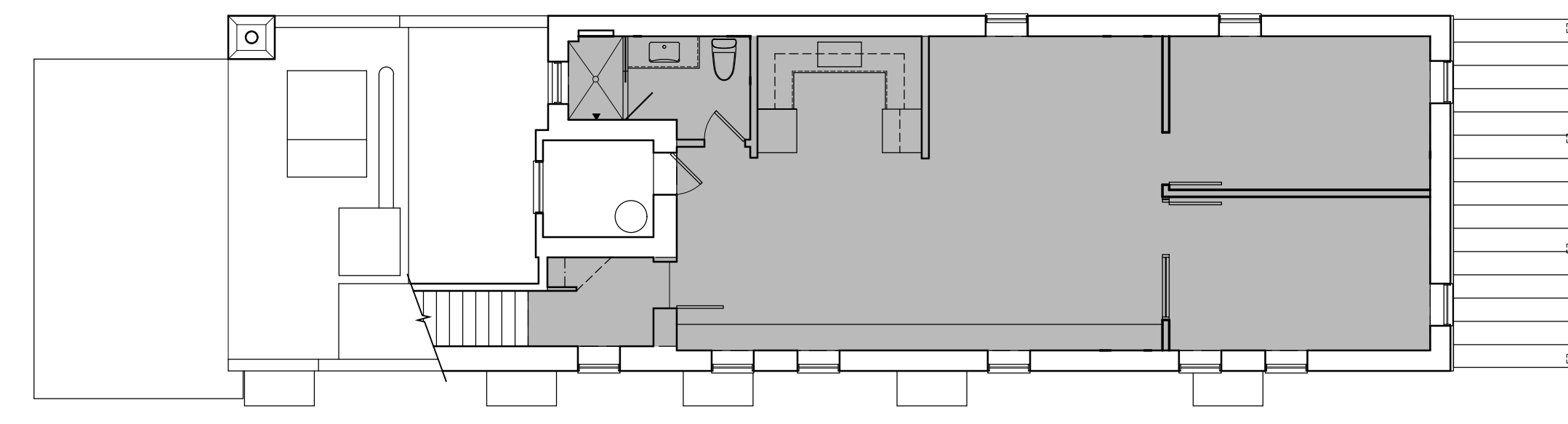
Interior Renovations / Commercial Fit-Out  
 272 Bay Avenue, Borough of Highlands, NJ 07732  
 Block 72, Lot 12

**DRAWING LIST**

- A1 COVER SHEET & DEMO
- A2 PROPOSED FLOOR PLANS
- A3 EXTERIOR ELEVATIONS
- A4 EXTERIOR RENDERINGS

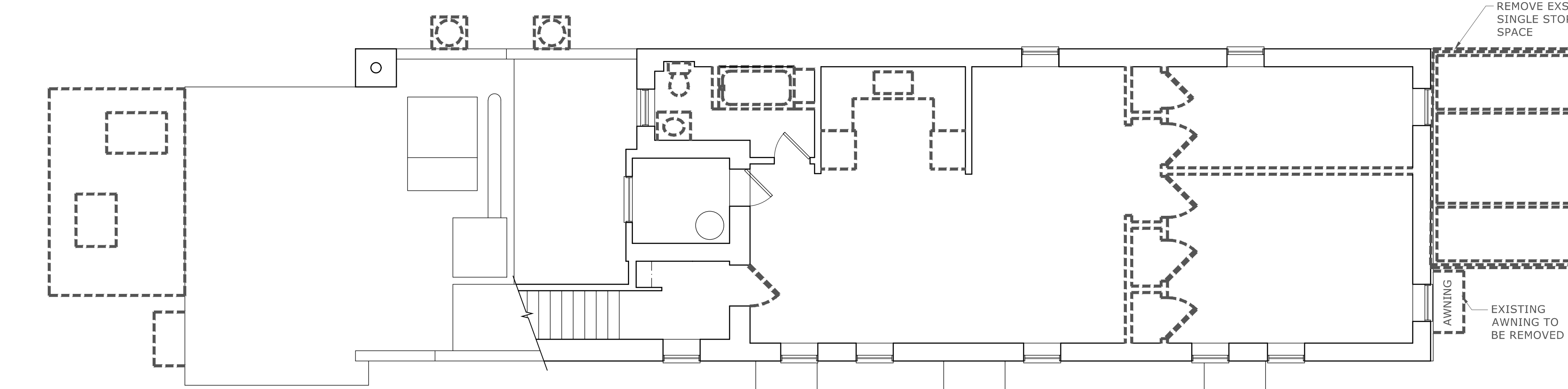


3  
A2 1/8" = 1'-0"  
**1ST FLOOR GROSS FLOOR AREA DIAGRAM**

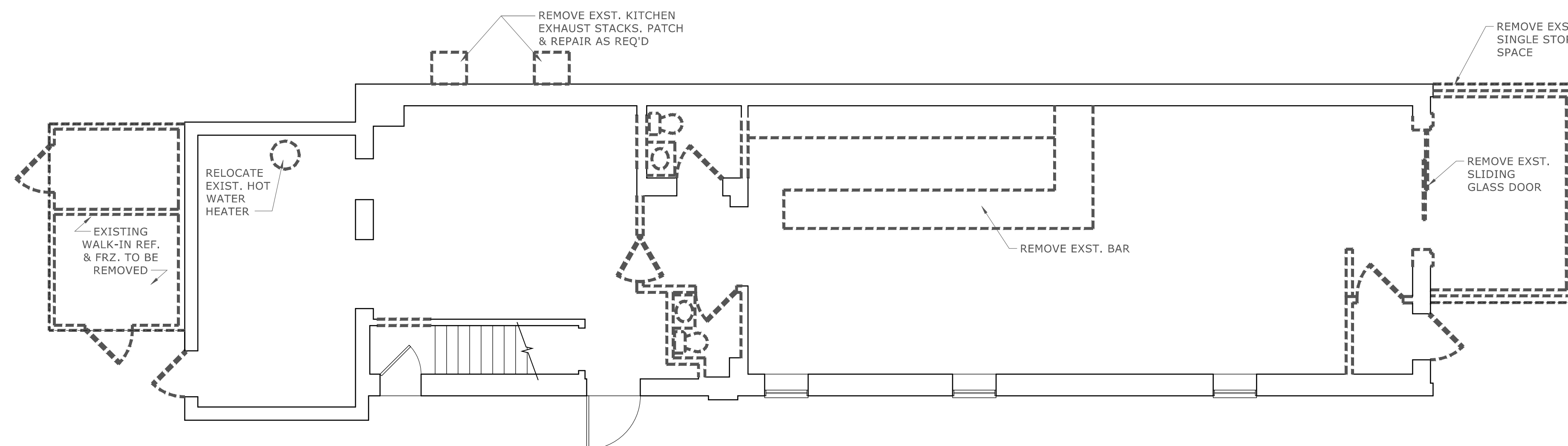


4  
A2 1/8" = 1'-0"  
**2ND FLOOR GROSS FLOOR AREA DIAGRAM**

1ST FL.	1,389 SF
2ND FL.	848 SF
<b>TOTAL G.F.A.</b>	<b>2,237 SF</b>



2  
A2 3/16" = 1'-0"  
**SECOND FLOOR DEMOLITION PLAN**



1  
A2 3/16" = 1'-0"  
**FIRST FLOOR DEMOLITION PLAN**

**DEMOLITION LEGEND**

- EXISTING WALL TO REMAIN
- - - EXISTING WALL TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- - - EXISTING DOOR TO BE DEMOLISHED

**DEMOLITION NOTES**

VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION. CONTRACTOR TO NOTIFY ARCHITECT IF EXISTING CONDITIONS VARY FROM DRAWINGS.

CONFIRM EXISTING STRUCTURE WITH ARCHITECT

CONTRACTOR TO PROVIDE TEMPORARY SUPPORT FOR ALL STRUCTURAL BEARING MEMBERS PRIOR TO ANY DEMOLITION.

CONTRACTOR TO REMOVE & CAP ALL EXISTING ELECTRICAL & PLUMBING AS REQUIRED FOR DEMOLITION AND NEW WORK.

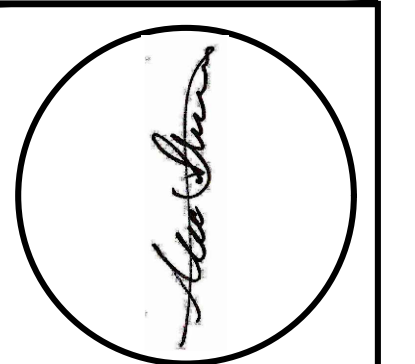
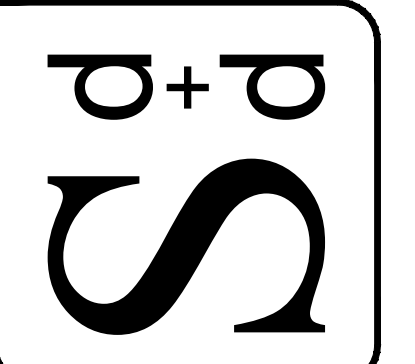
PATCH AND REPAIR EXISTING TO MATCH ADJACENT AS NECESSARY.

EXISTING WINDOWS TO REMAIN UNLESS NOTED OTHERWISE.

CONTRACTOR TO CONDUCT A WALK-THROUGH WITH THE OWNER PRIOR TO COMMENCING DEMOLITION TO CONFIRM WHAT IS TO BE DEMOLISHED, REMOVED, SALVAGED, ETC.

SEE PROPOSED PLANS AND ELEVATIONS TO HELP DETERMINE THE EXTENT OF DEMOLITION THAT IS REQUIRED.

**SHISSIAS**  
 DESIGN + DEVELOPMENT  
 Alex P. Shissias, P.A., R.L.A.  
 Architect  
 NJ Landscape Architect # 21A50011990  
 908.448.0865  
 www.shissias.com  
 ashissias@gmail.com  
 27 1st St. Rumson, NJ 07746



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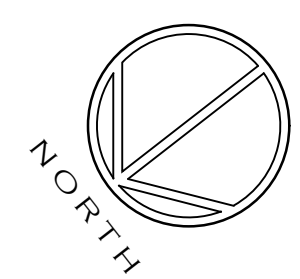
ISSUE	REVISIONS

**Sea Grass NJ**  
 Interior Renovations / Commercial Fit-Out  
 272 Bay Avenue, Borough of Highlands, NJ 07732  
 Block 72, Lot 12

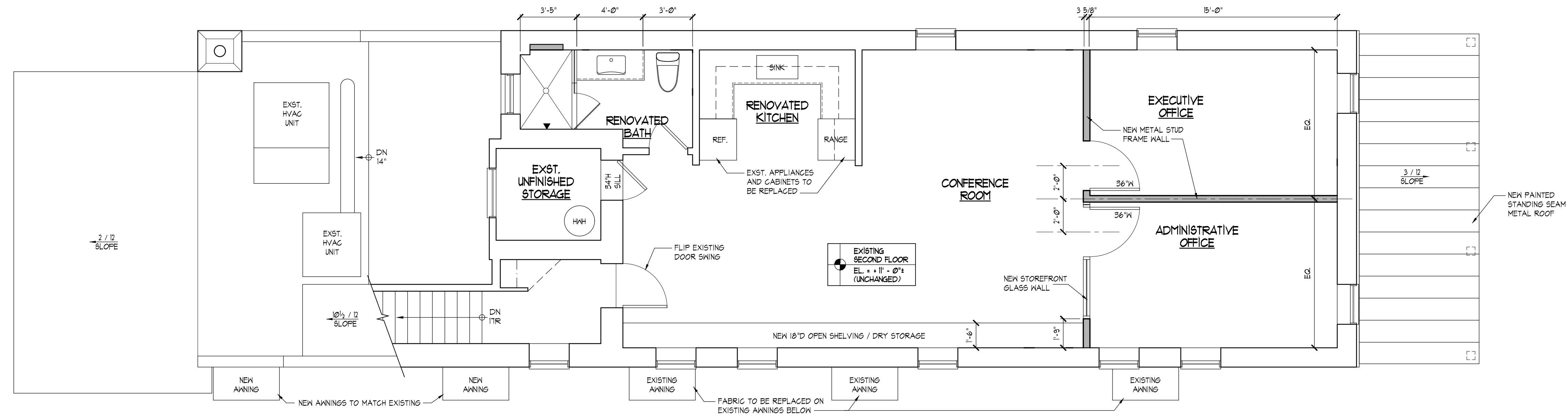
Proj. No: 2022.81  
 Issued For: Board Approval  
 Date: 2/24/2023

**COVER SHEET & DEMO**

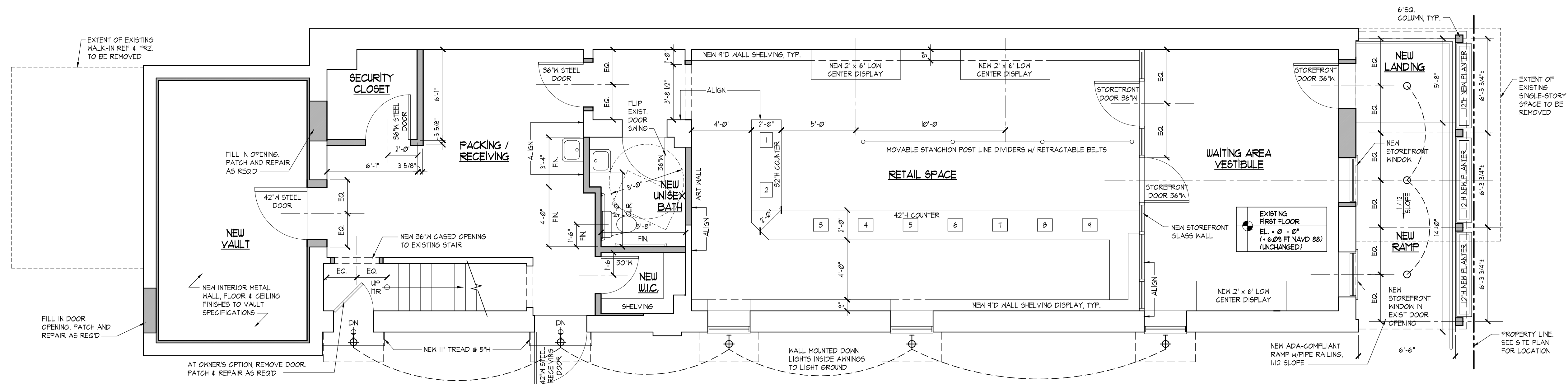
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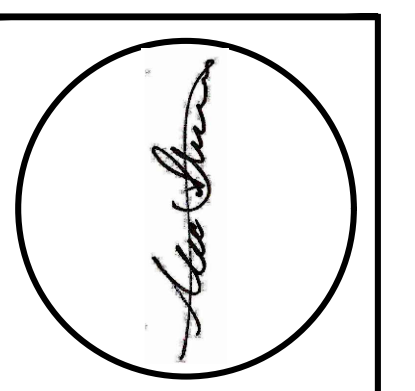
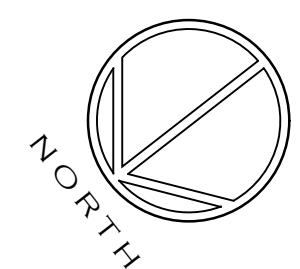




2 SECOND FLOOR PLAN  
A2 1/4" = 1'-0"



1 FIRST FLOOR PLAN  
A2 1/4" = 1'-0"



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ISSUE	REVISIONS

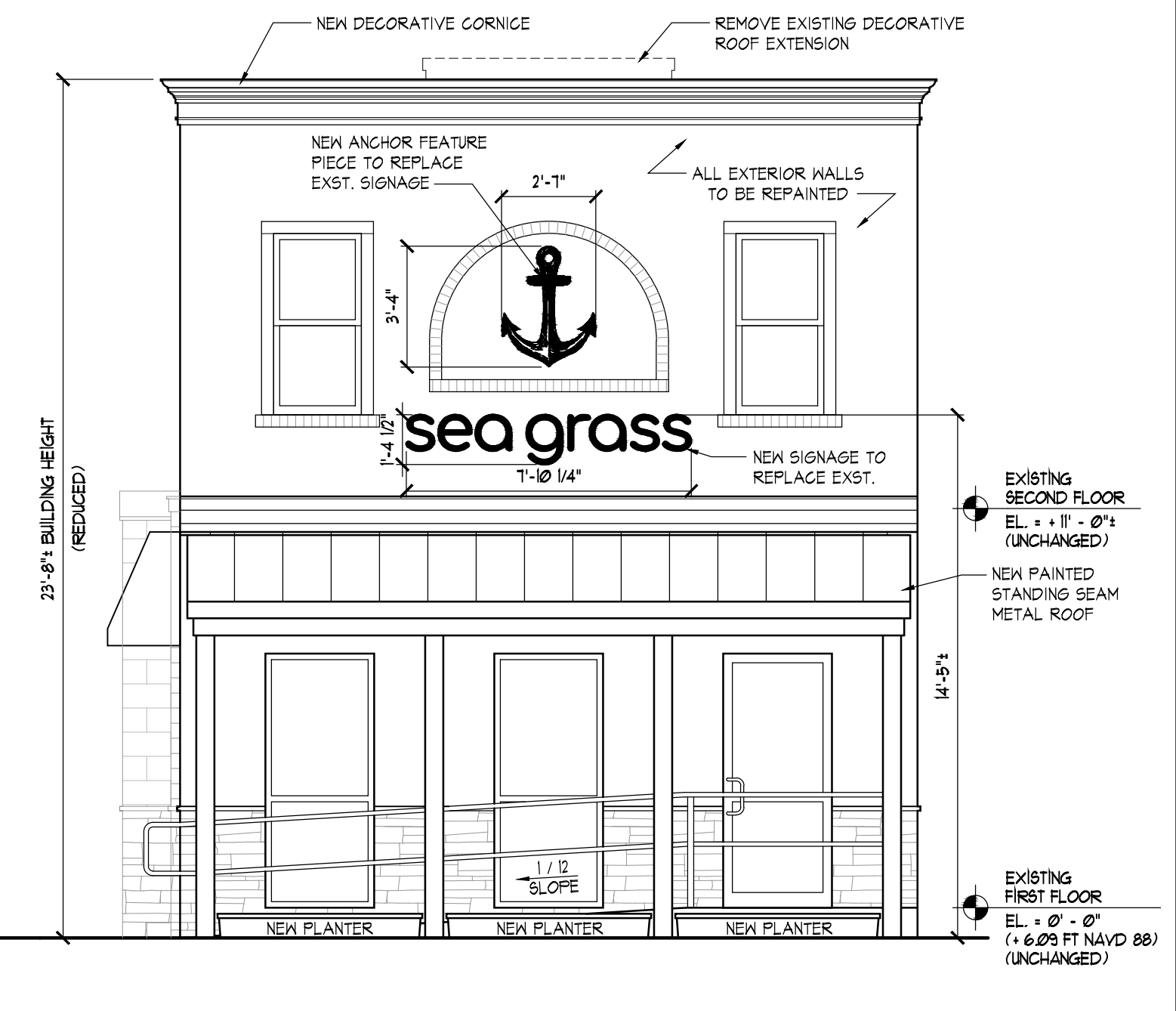
Proj. No: 2022.81  
Issued For: Board Approval  
Date: 2/24/2023

PROPOSED FLOOR PLANS

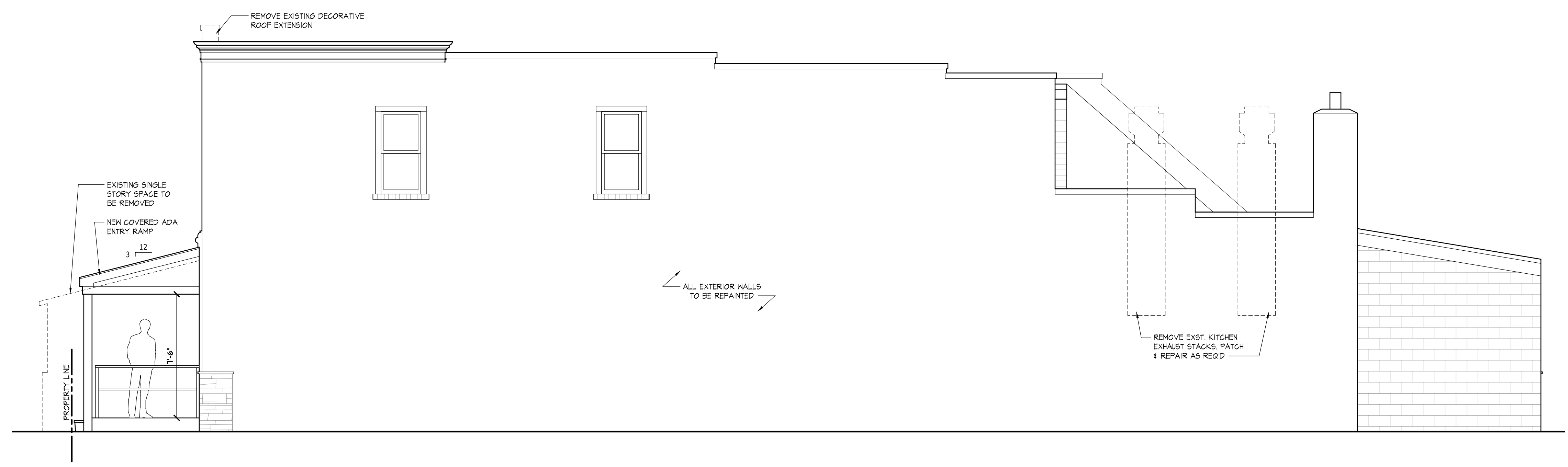




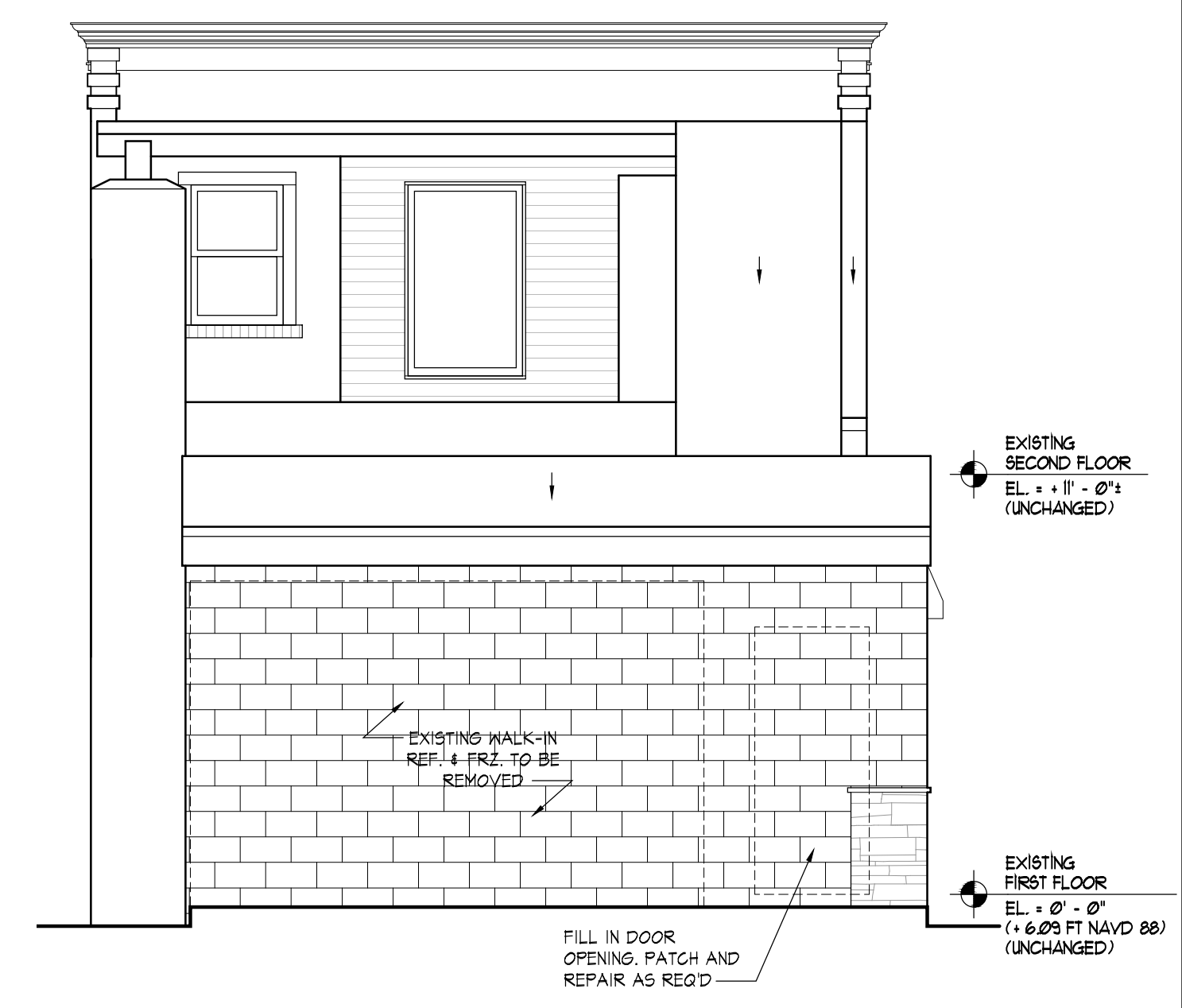
2 SIDE (SEA DRIFT AVE.) ELEVATION  
A3 1/4" = 1'-0"



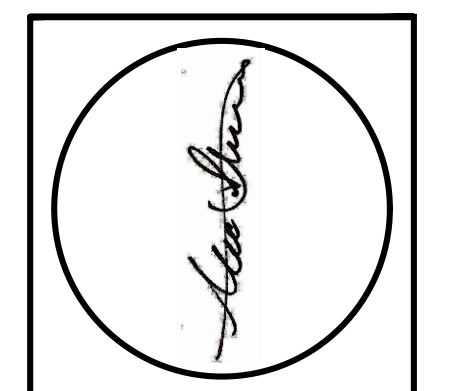
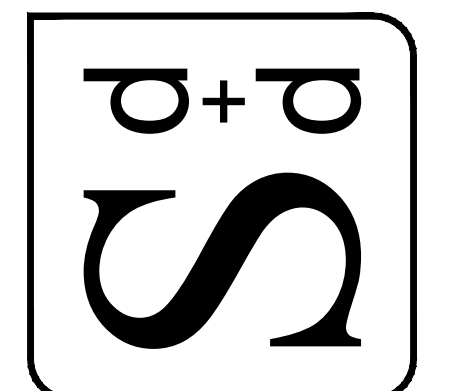
1 FRONT (BAY AVE.) ELEVATION  
A3 1/4" = 1'-0"



4 SIDE ELEVATION  
A3 1/4" = 1'-0"



3 REAR ELEVATION  
A3 1/4" = 1'-0"



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ISSUE	REVISIONS

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Interior Renovations / Commercial Fit-Out  
272 Bay Avenue, Borough of Highlands, NJ 07732  
Block 72, Lot 12

Proj. No: 2022.81  
Issued For: Board Approval  
Date: 2/24/2023

EXTERIOR ELEVATIONS

**A3**

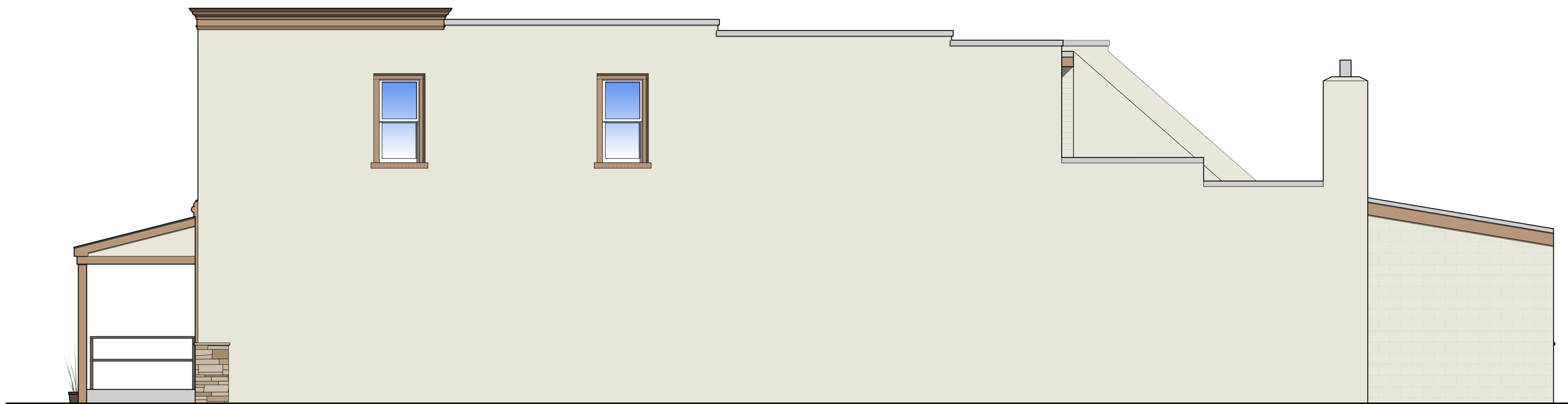




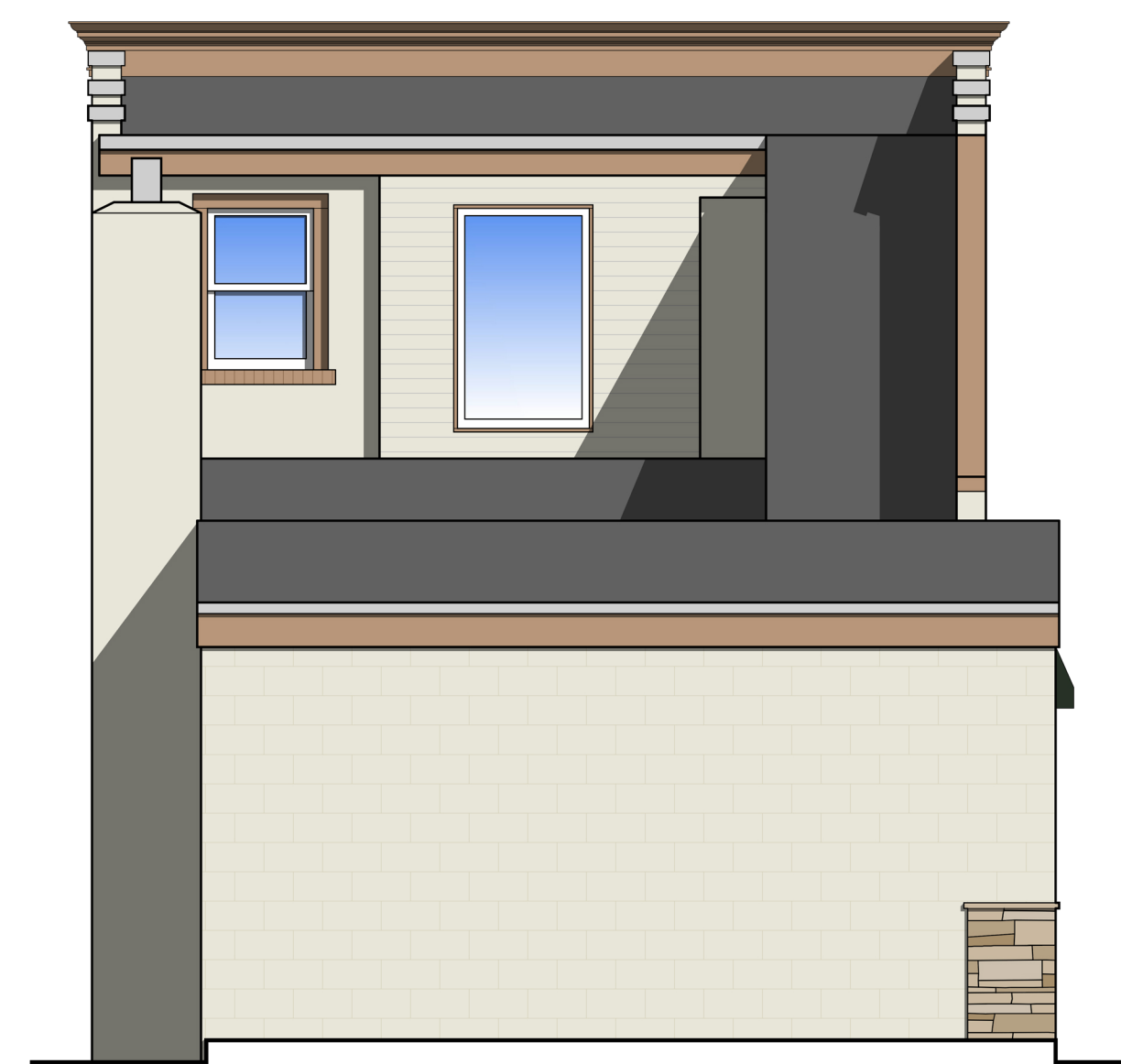
2 SIDE (SEA DRIFT AVE.) ELEVATION  
A4 1/4" = 1'-0"



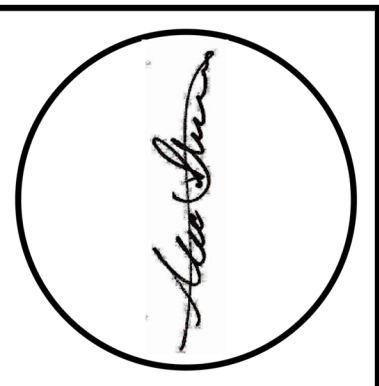
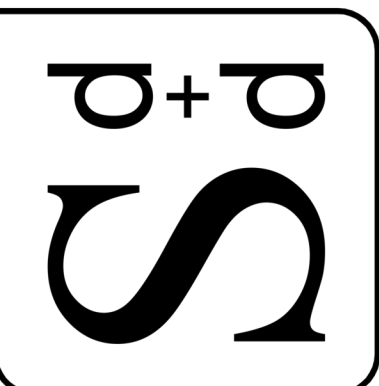
1 FRONT (BAY AVE.) ELEVATION  
A4 1/4" = 1'-0"



4 SIDE ELEVATION  
A4 1/4" = 1'-0"



3 REAR ELEVATION  
A4 1/4" = 1'-0"



NOT FOR CONSTRUCTION UNLESS SIGNED & SEALED BY ARCHITECT & APPROVED BY ALL AGENCIES HAVING JURISDICTION.  
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ISSUE	REVISIONS



# PRELIMINARY & FINAL MAJOR SITE PLAN

## SEA GRASS NJ, LLC

### BLOCK 72, LOT 12 & BLOCK 73, LOT 2

## BOROUGH OF HIGHLANDS

# MONMOUTH COUNTY, NEW JERSEY

**UTILITY COMPANY CONTACTS:**

**JCP&L**  
300 Madison Avenue  
PO Box 1911  
Morristown, NJ 07960

**NEW JERSEY AMERICAN WATER COMPANY**  
Attn: Construction Department  
661 Shrewsbury Ave  
Shrewsbury, NJ 07702

**COMCAST COMMUNICATIONS OF MONMOUTH COUNTY**  
Ron Bertrand, Construction Foreman  
403 South St  
Eatontown, NJ 07724

**VERIZON COMMUNICATIONS**  
One Verizon Way  
Basking Ridge, NJ 07920

**TOWNSHIP OF MIDDLETOWN SEWERAGE AUTHORITY**  
Raymond J. Nierstedt, P.E., Executive Director  
PO Box 205, 100 Beverly Way  
Belford, NJ 07718

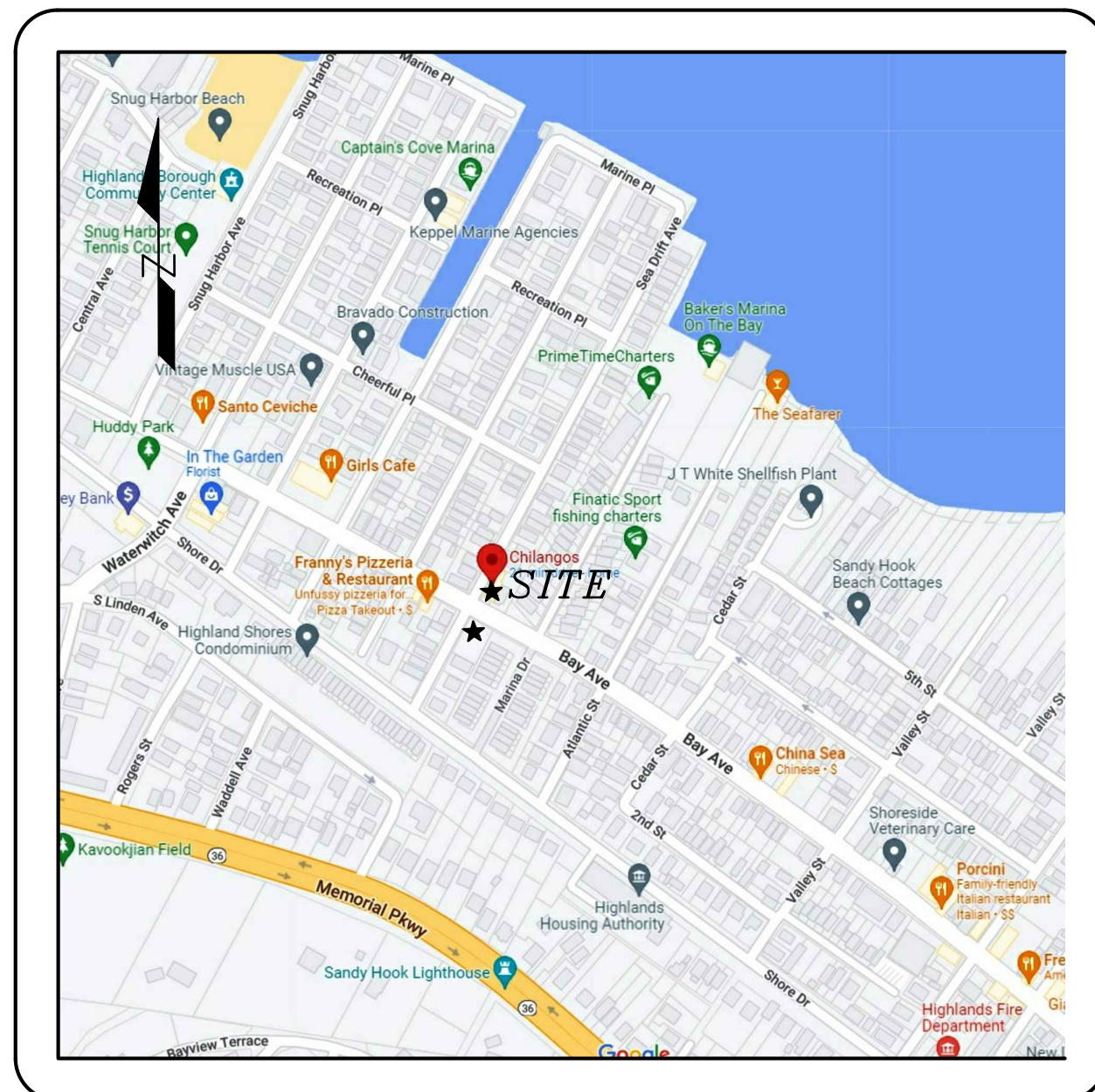
**NEW JERSEY NATURAL GAS COMPANY**  
Attn: Joan Purcaro  
PO Box 1464  
1415 Wyckoff Road  
Wall, NJ 07719

**MONMOUTH COUNTY BAYSHORE OUTFALL AUTHORITY**  
Attn: Executive Director  
200 Harbor Way  
PO Box 184  
Belford, NJ 07718

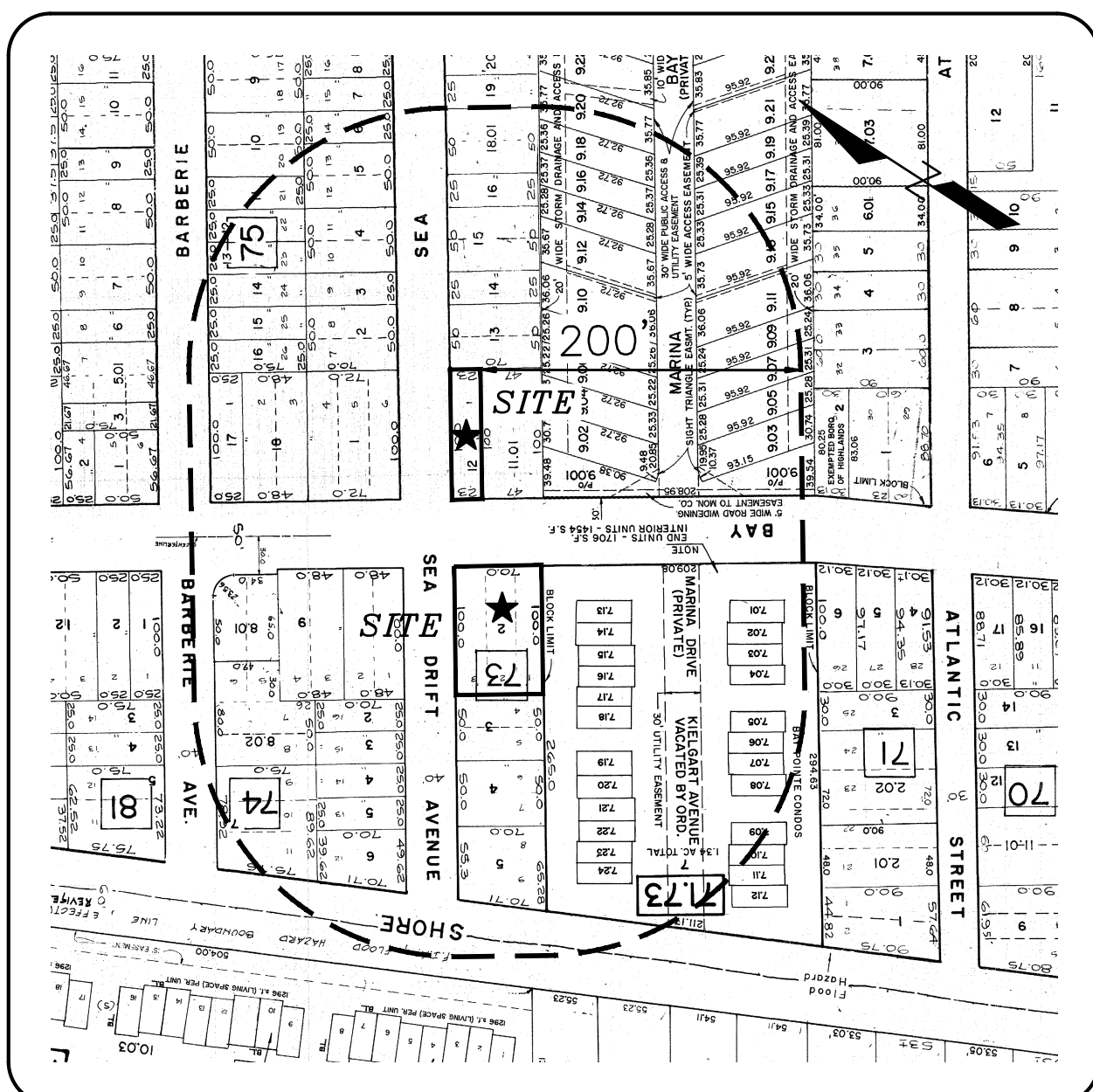
**PROPERTY OWNERS WITHIN 200 FT.**

200 Foot Lot for Block 72 Lot 12

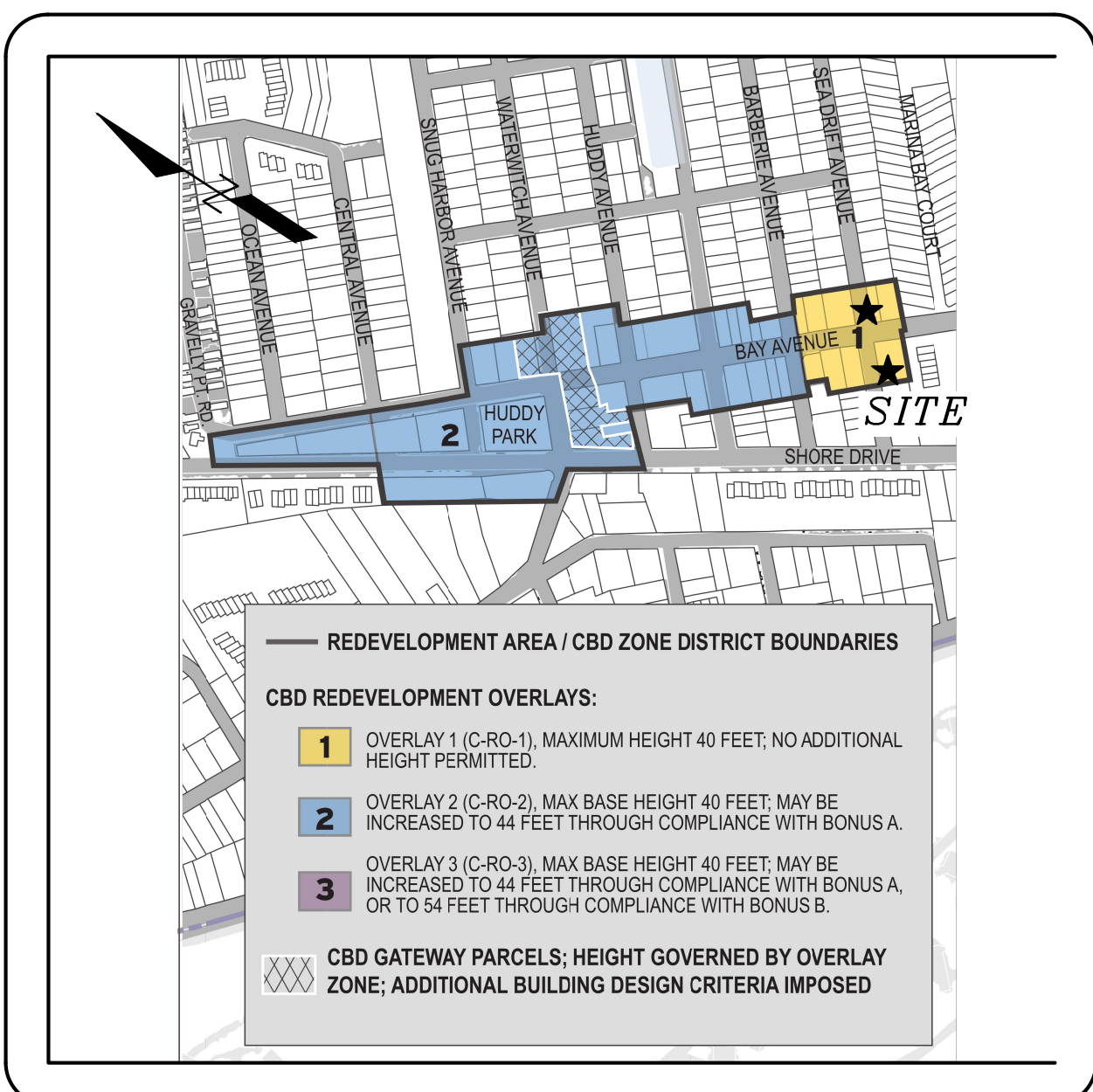
0589-21-01-01 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-02 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-03 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-04 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-05 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-06 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-07 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-08 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-09 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-10 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-11 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-12 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-13 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-14 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-15 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-16 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-17 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-18 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-19 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702	0589-21-01-20 200 FT. LOT FOR BLOCK 72 LOT 12 HIGHLANDS NJ 07702
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**KEY MAP**  
SCALE: 1" = 200±'



**TAX MAP #15 & #16**  
SCALE: 1" = 200±'



**REDEVELOPMENT ZONE MAP**  
SCALE: 1" = 200±'

NO.	DRAWING TITLE	DATE	REVISION
1	COVER SHEET	11/21/22	02/22/23
2	GENERAL NOTES	11/21/22	02/22/23
3	EXISTING CONDITIONS PLAN	11/21/22	02/22/23
4	SITE PLAN	11/21/22	02/22/23
5	GRADING PLAN	11/21/22	02/22/23
6	LANDSCAPE PLAN	11/21/22	02/22/23
7	LIGHTING PLAN	11/21/22	02/22/23
8	SOIL EROSION PLAN	11/21/22	02/22/23
9	CONSTRUCTION DETAILS	11/21/22	02/22/23
10	SIGN PLAN	11/21/22	02/22/23

I HEREBY CERTIFY THAT I AM OWNER OF RECORD OF THE SITE HEREIN DEPICTED AND THAT I CONCUR WITH THE FILING OF THIS PLAN.

ALL ADDRESSES LOCATED IN THE BOROUGH OF HIGHLANDS 07723, EXCEPT WHERE NOTED, CERTIFIED LIST OF PROPERTIES WITHIN 200' OF BLOCK 72 - LOT 12 & BLOCK 73 - LOT 2, DATED NOVEMBER 18, 2022, PROVIDED BY THE TAX ASSESSOR, BOROUGH OF HIGHLANDS. THE REFERENCED LIST IS NOT TO BE USED FOR OFFICIAL NOTIFICATIONS.

**OWNER:**  
LEONEL CERVANTES  
272 BAY AVENUE  
HIGHLANDS, NJ 07732

**APPLICANT:**  
SEA GRASS NJ, LLC  
135 MAPLE AVENUE  
RED BANK, NJ 07701

CBD REQUIREMENT	EXISTING BLOCK 72 LOT 12	PROPOSED BLOCK 72 LOT 12	COMMENT	EXISTING BLOCK 73 LOT 2	PROPOSED BLOCK 73 LOT 2	COMMENT
<b>LOT DIMENSIONS</b>						
MIN. LOT AREA	2,300 S.F.	NO CHANGE	NA	7,000 S.F.	NO CHANGE	NA
MIN. LOT WIDTH	23 FT	NO CHANGE	NA	70 FT	NO CHANGE	NA
MIN. LOT DEPTH	100 FT	NO CHANGE	NA	100 FT	NO CHANGE	NA
<b>PRINCIPAL BUILDING SETBACKS</b>						
MIN. FRONT YARD (BAY AVE.)	0 FT	0 FT	1.3 FT	COMPLIES	NA	NO CHANGE
MIN. SIDE YARD	0 FT*	0.61 FT (e)	NO CHANGE	EXISTING	NA	NO CHANGE
MIN. REAR YARD	12 FT	2.1 FT (e)	10.8 FT (e)	IMPROVEMENT OVER EXISTING CONDITION	NA	NO CHANGE
<b>LOT COVERAGE</b>						
MAX. BUILDING COVERAGE PRINCIPAL AND ACCESSORY	35%	83.0% (e)	77.6% (e)	IMPROVEMENT OVER EXISTING CONDITION	NA	NO CHANGE
MAX. LOT COVERAGE ALL IMPROVEMENTS	80%	100.0% (e)	99.7% (e)	IMPROVEMENT OVER EXISTING CONDITION	2.8%	12.6% COMPLIES
MAX. BLDG. HEIGHT	36 FT	<36 FT	NO CHANGE	NA	NA	NO CHANGE
MAX. F.A.R.	0.65	1.31 (e)	1.26 (e)	IMPROVEMENT OVER EXISTING CONDITION	NA	NO CHANGE
		3,019 SF	2,912 SF			

\* SECTION 21-91 a.4.c. - SIDE YARDS. No side yard is required adjacent to the properties in the CBD zone, however, if any is to be provided, it shall be at least five (5) feet. Any side yard which serves as a boundary between that lot and any residence zone shall be at least five (5) feet and shall contain buffering in accordance with the requirements of this section.

NA = NOT APPLICABLE  
(e) = EXISTING NON-CONFORMITY

**PARKING REQUIREMENTS**  
ORD. SEC. 21-65.14.D(7a)  
BUSINESS/COMMERCIAL/RETAIL STORE USE  
1 SPACE PER 600 SF OF GROSS FLOOR AREA  
2,373 SF G.F.A. / 600 SF = 3.955 ~ 4 SPACES REQUIRED

17 SPACES PROVIDED (COMPLIES)

**SIGN REQUIREMENTS**  
ORD. SEC. 21-102  
BUILDING WALL SIGN - MAX 15% OF FRONT BUILDING FACADE PERMITTED 460 SF x 15% = 69 SF - PROPOSED 28.2 SF  
OFF-PREMISE GROUND MOUNTED SIGNS - MAX PERMITTED SIZE 24 SF  
PARKING LOT SIGN = 20.8 SF (COMPLIES)  
BOROUGH HISTORIC SIGN = 20.7 SF (COMPLIES)

**IMPERVIOUS LOT COVERAGE TABLE**

	EXISTING LOT 12	PROPOSED LOT 12	EXISTING LOT 2	PROPOSED LOT 2
TOTAL BUILDING AREA	1,911 SF*	1,785 SF	103 SF	---
TOTAL CONC. AREAS	389 SF	508 SF	95 SF	884 SF
TOTAL GRAVEL AREAS	---	---	6,602 SF	4,535 SF (NOT COUNTED)
<b>TOTAL LOT COVERAGE (% OF LOT)</b>	<b>2,300 SF (100.0%)</b>	<b>2,293 SF (99.7%)</b>	<b>198 SF (2.8%)</b>	<b>884 SF (12.6%)</b>

\*(INC. WALK-IN-COOLER)

**LOT COVERAGE**  
that percentage of the plot or lot area covered by impervious surface, inclusive of driveway areas containing asphalt and/or concrete surfaces, but exclusive of gravel areas as well as terraces and decks in conformance with subsection 21-65.27.

**SIGNATURE BLOCKS**

APPLICATION NO. \_\_\_\_\_ APPROVED BY THE BOROUGH OF HIGHLANDS ZONING BOARD AS A PRELIMINARY AND FINAL MAJOR SITE PLAN ON \_\_\_\_\_ DATE

BOARD CHAIRMAN \_\_\_\_\_

BOARD SECRETARY \_\_\_\_\_

BOARD ENGINEER \_\_\_\_\_

OWNER DATE APPLICANT DATE

2	2-23-23	REVISED PER BOROUGH ZONING BOARD MEETING COMMENTS
1	1-23-23	REVISED PER BOROUGH TRC MEETING COMMENTS
NO.	DATE	DESCRIPTION

**PRELIMINARY & FINAL MAJOR SITE PLAN**  
**SEA GRASS NJ, LLC**  
**COVER SHEET**  
BLOCK 72, LOT 12 & BLOCK 73, LOT 2  
BOROUGH OF HIGHLANDS  
MONMOUTH COUNTY, NEW JERSEY  
TAX MAP SHEETS NO. 19 & 16

**EAST POINT ENGINEERING, LLC**  
11 South Main Street  
Marlboro, NJ 07746  
Tel: 732.577.0180

BRENT N. PAPI, JR.  
N.J. PROFESSIONAL ENGINEER, LICENSE NO. 24624732700

DATE: 02/22/23  
SCALE: AS SHOWN  
PROJECT NUMBER: 21-166  
CHECKED BY: M.S.L.

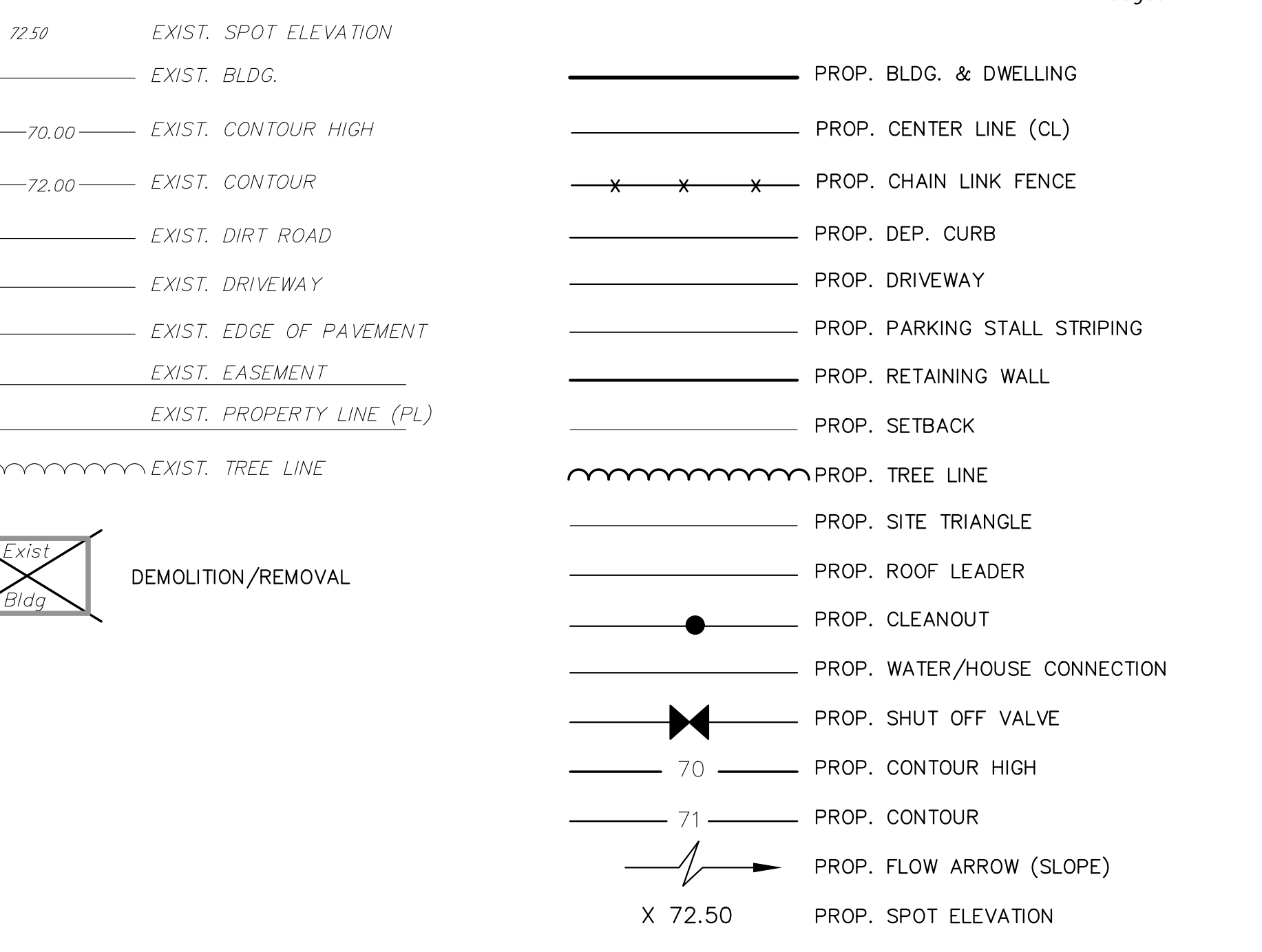
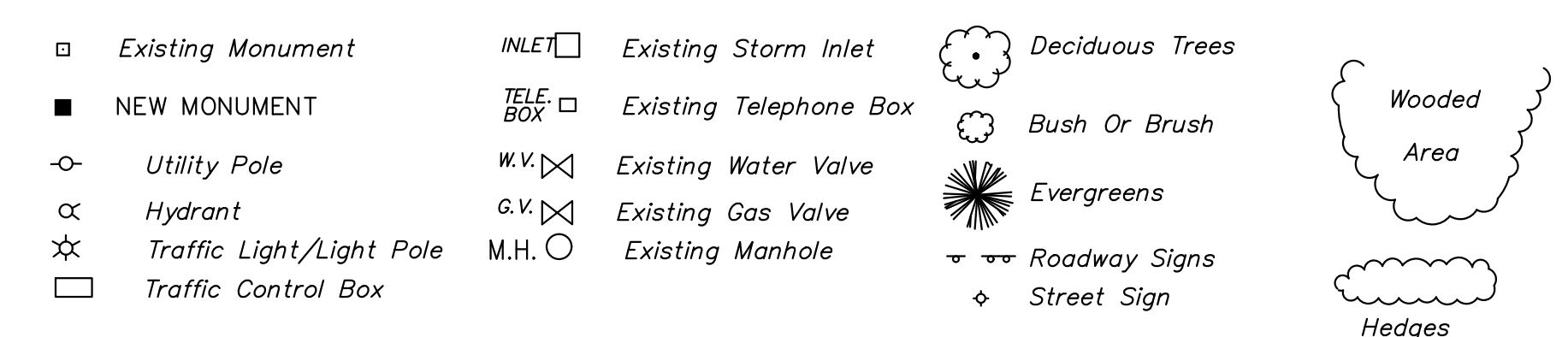
ZONING BOARD CASE NO. ZB-2022-XX

SHEET NO. 1 OF 10

CONSULT: EAST POINT ENGINEERING, LLC - ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF EAST POINT ENGINEERING, LLC.



### GENERAL LEGEND



### SAFETY NOTE

ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES. APPLICABLE SAFETY CODES SHALL MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS AND ADDITIONS THERETO OF THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S "OCCUPATIONAL SAFETY AND HEALTH STANDARDS"(OSHA); "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" OF THE STATE OF NEW JERSEY, DEPARTMENT OF LABOR AND INDUSTRY, BUREAU OF ENGINEERING AND SAFETY; "CONSTRUCTION SAFETY CODE,"AND "MAINTENANCE, CONSTRUCTION AND DEMOLITION," AND "BUILDING CODE."

### GENERAL NOTES

- THE PROPERTY IS KNOWN AS LOT 12, BLOCK 72 AND LOT 2, BLOCK 73 ON SHEETS 15 & 16 OF THE OFFICIAL TAX MAP OF THE BOROUGHOF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY.
- OWNER: LEONEL CERVANTES 272 BAY AVENUE HIGHLANDS, NJ 07732 APPLICANT: SEA GRASS NJ, LLC 135 MAPLE AVENUE RED BANK, NJ 07701
- THE APPLICANT PROPOSES TO RENOVATE AND EXISTING COMMERCIAL BUILDING AT LOT 12 AS A DISPENSARY WITH A TOTAL GROSS FLOOR AREA OF (2,912 S.F.). THE PROJECT WILL ALSO INCLUDE IMPROVEMENTS TO THE EXISTING PARKING LOT ACROSS THE STREET AT LOT 2 TO PROVIDE SPACE FOR 17 VEHICLES.
- THE PROPERTY IS LOCATED WITHIN THE CBD "CENTRAL BUSINESS DISTRICT" ZONE WHICH IS ALSO AN APPROVED REDEVELOPMENT ZONE.
- PURSUANT TO THE N.F.I.P FLOOD INSURANCE RATE MAPS, THE PROJECT IS LOCATED WITHIN FLOOD ZONE "AE" AT ELEVATION 11 FT NAVD88.
- PURSUANT TO N.J.D.E.P. GEOWeb THERE ARE NO FRESHWATER WETLANDS WITHIN THE VICINITY OF THE PROJECT.
- DO NOT SCALE DRAWINGS WITH RESPECT TO THE LOCATION OF SURROUNDING EXISTING FEATURES, ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC., ARE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THEREIN.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE APPLICANT NAMED HEREON FOR THE PURPOSE OF MUNICIPAL AND REGULATORY AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION PLANS UNTIL ALL REQUIRED APPROVALS HAVE BEEN OBTAINED. NO OTHER PURPOSE IS INTENDED OR IMPLIED.
- THE CONTRACTOR SHALL STRICTLY ADHERE TO THESE CONSTRUCTION PLANS AND ANY ACCOMPANYING SPECIFICATIONS. ANY DEVIATION FROM THE APPROVED CONSTRUCTION DOCUMENTS, TECHNICAL SPECIFICATIONS AND MANUFACTURERS' SPECIFICATIONS SHALL BE AT THE EXPRESS WRITTEN CONSENT OF THE SUPERVISING ENGINEER.
- ONCE ENGINEERING PLANS ARE ISSUED FOR CONSTRUCTION, IT IS EXPLICITLY UNDERSTOOD THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE PROSECUTION OF THE WORK, THE MEANS AND METHODS OF CONSTRUCTION, PROTECTION OF ADJACENT STRUCTURES OR PROPERTY, AND IS NOT TO BE HELD RESPONSIBLE FOR ANY DAMAGE WHATSOEVER TO ANY PROPERTY, INCLUDING OFFSITE LANDS, ASSOCIATED WITH CONSTRUCTION OF THE PROJECT.
- PROPOSED BUILDING DIMENSIONS ARE APPROXIMATE. REFERENCE ARCHITECTURAL BUILDING PLANS PREPARED BY SHISSIAS DESIGN AND DEVELOPMENT FOR BUILDING DETAILS.
- CONSTRUCTION OF SITE IMPROVEMENTS AND BUILDINGS SHALL BE IN COMPLIANCE WITH THE RESIDENTIAL SITE IMPROVEMENT STANDARDS (R.S.I.S.), APPLICABLE BUILDING CODES, FEDERAL AND STATE BARRIER FREE AND A.D.A. REQUIREMENTS, CITY DESIGN STANDARDS, AND NOISE CODE. (A) FOR SITES AND FACILITIES LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, ACCESSIBILITY SHALL BE IN COMPLIANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, STANDARDS FOR PUBLIC ACCOMODATIONS AND COMMERCIAL FACILITIES: TITLE III. (B) FOR SITES AND FACILITIES LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ACCESSIBILITY SHALL BE IN COMPLIANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINE (PROWAG). (ALL HANDICAP RAMP AND FACILITIES WILL BE SUBJECT TO INSPECTION DURING CONSTRUCTION TO ENSURE COMPLIANCE WITH ADA SPECIFICATIONS.)
- STRUCTURAL / GEOTECHNICAL ENGINEER TO PROVIDE PLANS AND CALCULATIONS FOR ALL STRUCTURES AND FOUNDATIONS AS SHOWN ON THIS PLAN. THIS PLAN DOES NOT INCLUDE BUILDING CALCULATIONS EITHER STRUCTURAL OR GEOTECHNICAL AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR SAME.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF SITE CONDITIONS OR TOPOGRAPHY DIFFER MATERIALLY FROM THOSE PRESENTED HEREON. THE UNDERSIGNED PROFESSIONAL SHALL BE GRANTED ACCESS TO REVIEW SAID CONDITION, AND/OR RENDER THE DESIGN SHOWN HEREON TO THE APPROPRIATE MUNICIPAL, COUNTY OR STATE OFFICIAL'S AND/OR UNDERSIGNED PROFESSIONAL SATISFACTION.
- THE PROJECT SHALL BE BUILT IN ONE (1) PHASE AS PER THE SITE PLANS.
- THESE NOTES APPLY TO ALL SHEETS IN THIS SET.

### A. SITE CONDITIONS

- EXISTING CONDITIONS ARE BASED ON SURVEY INFORMATION PREPARED BY: OUTBOUND & TOPOGRAPHIC SURVEY INFORMATION OBTAINED FROM PLANS ENTITLED, "BOUNDARY AND TOPOGRAPHIC SURVEY FOR 272 BAY AVENUE, LLC, BLOCK 72, LOT 12, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY LANDMARK SURVEYS INC., DATED NOVEMBER 9, 2022 AND "BOUNDARY AND TOPOGRAPHIC SURVEY FOR SEA DRIFT AVE, LLC, BLOCK 73, LOT 2, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY LANDMARK SURVEYS INC., DATED NOVEMBER 9, 2022
- HORIZONTAL CONTROL BASED ON ASSUMED (PROJECT). VERTICAL DATUM BASED ON NAVD 1988 BY GPS OBSERVATION CONTROL SET BY LANDMARK SURVEYS, LLC.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ENTIRELY WITHIN THE EXISTING TRACT LOT 12, BLOCK 72 AND LOT 2, BLOCK 73 AND WITHIN THE FRONTING RIGHT-OF-WAY ALONG BAY AVENUE AND SEA DRIFT AVENUE AS DEPICTED ON THE SITE PLANS.
- ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL EXISTING SITE ELEVATIONS AND INVERTS PRIOR TO THE START OF CONSTRUCTION AND ANY DISCREPANCY SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO THE START OF ANY WORK.
- ALL INFORMATION SHOWN OR NOTED FOR EXISTING FACILITIES, GRADES, ROADWAYS, AND MATERIALS IS APPROXIMATE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL INFORMATION WHICH MAY AFFECT HIS WORK. TEST PITS SHALL BE CONSTRUCTED BY THE CONTRACTOR AT ALL UTILITY CROSSING LOCATIONS PRIOR TO CONSTRUCTION.
- IN THE EVENT A SITUATION ARISES IN WHICH MATERIALS NOT SPECIFIED ON THE PLANS ARE TO BE USED, THEN THE MATERIALS SHALL CONFORM TO THE N.JDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2007 ED., AS CURRENTLY SUPPLEMENTED AND AMENDED OR LATEST EDITION.
- NO WORK SHALL BE DONE BETWEEN THE HOURS OF 6:00 P.M. AND 7:00 A.M., PREVAILING TIME, OR AS OUTLINED UNDER LOCAL ORDINANCE, WHICHEVER PROVIDES THE LATER START AND EARLIER FINISH.
- THE CONTRACTOR SHALL NOTIFY/COORDINATE ALL WORK WITH THE MUNICIPAL POLICE CHIEF, OWNER AND ENGINEER, 72 HOURS PRIOR TO START OF ANY WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, LABOR AND INSTALLATION OF ALL ITEMS OF CONSTRUCTION FOR THE SUCCESSFUL COMPLETION AND OPERATION OF THE PROJECT SATISFACTORY TO THE OWNER AND THEIR REPRESENTATIVE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE HIS OWN LAYOUT AND STAKEOUT OF ALL PROPOSED IMPROVEMENTS BOTH HORIZONTALLY AND VERTICALLY BY A LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF NEW JERSEY. OFFSET LINES WITH STAKES SHALL BE SET AT APPROPRIATE INTERVALS TO FACILITATE CONSTRUCTION. CUT SHEETS SHALL BE SUBMITTED FOR APPROVAL TO THE CITY ENGINEER AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER SHALL NOT BEAR ANY RESPONSIBILITY OR LIABILITY FOR THE CONSTRUCTION OF ANY PROPOSED IMPROVEMENTS, SPECIFICALLY IF BUILT IN LOCATIONS OTHER THAN THOSE DEPICTED, OR AT ELEVATIONS THAT DIFFER FROM THE PLAN.
- THE CONTRACTOR SHALL OBTAIN SHOP DRAWING APPROVAL FOR ALL ITEMS PRIOR TO INSTALLATION OF EACH ITEM.
- PRIOR TO USE OF ANY PRODUCTS BY MANUFACTURERS OTHER THAN THOSE SPECIFIED ON THESE PLANS OR TECHNICAL SPECIFICATIONS MUST BE SUBMITTED FOR APPROVAL WITH DOCUMENTATION CERTIFIED BY A LICENSED N.J. PROFESSIONAL ENGINEER THAT THE PARTICULAR PROPOSED ALTERNATE PRODUCT MEETS OR EXCEEDS THE PHYSICAL CHARACTERISTICS OF THE SPECIFIED ACCEPTABLE PRODUCTS.
- ANY EXISTING AND NEW CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE AND LAWFULLY DISPOSED OF BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY THROUGHOUT THE DURATION OF THE PROJECT AND SHALL PROVIDE AND MAINTAIN SECURITY FENCING, MEASURES, AND PERSONNEL AS REQUIRED AND AS DIRECTED BY THE CITY ENGINEER.
- ALL DEMOLITION ACTIVITIES TO BE IN ACCORDANCE WITH ALL APPLICABLE AUTHORITIES INCLUDING BUT NOT LIMITED TO COUNTY RULES AND REGULATIONS, THE MUNICIPAL ORDINANCE, N.JDEP RULES AND REGULATIONS, AND BOCA CODE.
- THE OWNER AND ENGINEER SHALL ASSUME NO RESPONSIBILITY AND/OR LIABILITY FOR THE SAFETY OF THE WORKERS WHERE THE WORK IS BEING PERFORMED OR DAMAGE TO ANY PROPERTY.
- THE CONTRACTOR SHALL PROTECT ALL BENCH MARKS AND MONUMENTS FROM DAMAGE AND SHALL ESTABLISH OFFSET POINTS AS REQUIRED FOR HIS WORK.
- DEPRESSED CURBING SHALL BE CONSTRUCTED AT ALL WALKWAY CROSSINGS. DEPRESSED CURBS FOR HANDICAP ACCESS SHALL BE FLUSH WITH PAVEMENT. ALL HANDICAP ACCESS FACILITIES MUST COMPLY WITH THE CURRENT AMERICAN WITH DISABILITIES ACT, PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS WITH CURRENT REVISIONS AND NEW JERSEY BARRIER-FREE SUB-CODE (NJAC 5:23-7.1). PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF THE 2007 N.JDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS MODIFIED BY THE SUPPLEMENTAL SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL PERMITS AND APPROVALS GOVERNING THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS, AND ANY OTHER PERMITS AND/OR APPROVALS AS MAY BE REQUIRED FOR THE PROSECUTION OF THE WORK.
- THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS PRIOR TO THE START OF CONSTRUCTION.
- ALL JOINTS WITH EXISTING CONCRETE OR PAVEMENT SHALL BE SAWCUT.
- ALL NEW SURFACE CONCRETE SHALL BE PROTECTED FROM DE-ICING SALTS FOR AT LEAST 60 DAYS AFTER THE POUR DATE.
- ALL UNUSED SIGNS, SIGN POSTS, STORM SEWER CASTINGS AND GRATES REMOVED DURING CONSTRUCTION AND NOT REPLACED ELSEWHERE ON THIS PROJECT SHALL BECOME THE PROPERTY OF THE OWNER. IF THE OWNER DECLINES OWNERSHIP OF THE MATERIALS, THE CONTRACTOR SHALL REMOVE THE MATERIALS FROM THE SITE.
- CURBING AND SIDEWALKS SHALL BE CONSTRUCTED WITH N.JDOT CLASS 'B' CONCRETE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE ALL EXISTING AND PROPOSED SITE IMPROVEMENTS THAT MAY HAVE BEEN REMOVED AND/OR DAMAGED DURING THE COURSE OF CONSTRUCTION TO THEIR PRE CONSTRUCTION OR SPECIFIED CONDITION AS APPROVED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE FINAL AS-BUILT PLANS DEPICTING THE EXACT LOCATIONS OF THE PROPOSED IMPROVEMENTS WHICH ALSO INCLUDES ELECTRICAL CONDUIT RUNS, WATER LINES, DRAINAGE SYSTEM AND ALL UNDERGROUND UTILITIES.

### B. UTILITIES

- AVAILABLE INFORMATION AS TO THE LOCATION OF EXISTING UTILITIES HAS BEEN COLLECTED FROM VARIOUS SOURCES. THE RESULTS OF SUCH INVESTIGATIONS, AS MAY BE SHOWN ON THE CONTRACT DRAWING, ARE NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATION ONLY. THE CONTRACTOR SHALL CONTACT NEW JERSEY ONE-CALL (1-800-272-1000) AT LEAST 3 BUSINESS DAYS PRIOR TO ANY CONSTRUCTION OR EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, IDENTIFY AND PROTECT UTILITIES WITHIN THE PROJECT LIMITS. IF ONE WILL NOT MARK OUT THE PROPERTY, THE CONTRACTOR MUST HIRE AN UNDERGROUND UTILITY LOCATING COMPANY TO INVESTIGATE ALL AREAS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL DIG TEST PITS TO LOCATE UTILITIES WITHIN THE PROJECT LIMITS AS NEEDED. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS WORK. NEW JERSEY ONE-CALL PHONE # 1-800-272-1000.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST TWO (2) WEEKS PRIOR TO CONSTRUCTION FOR PHYSICAL MARK OUTS OF UTILITIES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, REPLACE, MAINTAIN, RELOCATE, AND/OR REMOVE ANY EXISTING ABOVEGROUND AND UNDERGROUND UTILITIES, CONDUITS, STRUCTURES, EQUIPMENT, FOUNDATIONS, PIPES, ETC. AS NECESSARY TO COMPLETE THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE OWNERS OF THE UTILITY PRIOR TO STARTING WORK.
- ALL PROPOSED UTILITIES SHALL BE INSTALLED BY THE CONTRACTOR AND SHALL BE LOCATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY. SAID UTILITIES INCLUDE ELECTRIC, GAS, CABLE, TELEPHONE, POTABLE WATER AND SANITARY SEWER SERVICES.
- THERE MAY BE UTILITY ADJUSTMENTS OR RELOCATION WHICH MAY BE NECESSITATED BY THE PROPOSED CONSTRUCTION. IF SO, THE CONTRACTOR SHALL COMPLETE SAID WORK AND COORDINATE HIS WORK WITH THE MUNICIPALITY, OWNER, AND THE UTILITY COMPANIES WITH FACILITIES IN THE PROJECT LIMITS. ALL CLEAN-OUTS, VALVE BOXES, ETC. SHALL BE SET FLUSH WITH GRADE AND CONSTRUCTED WITH CONCRETE COLLARS AS REQUIRED IN THE PROJECT SPECIFICATIONS.
- THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES TO DETERMINE THEIR SCHEDULE FOR PERFORMING UTILITY RELOCATION AND INSTALLATION WORK AND HE SHALL SCHEDULE HIS WORK ACCORDINGLY SO AS NOT TO INTERFERE WITH THE WORK OF THE UTILITY COMPANIES. THE CONTRACTOR SHALL NOTIFY THE WATER AND SEWER COMPANIES AT LEAST 72 HOURS IN ADVANCE OF ANY WORK ON THEIR FACILITIES.
- EXCAVATIONS OR TRENCHING WITHIN CLOSE PROXIMITY TO UNDERGROUND FACILITIES OR UTILITY POLES WILL REQUIRE PROTECTION/SHORING TO PREVENT DAMAGE OR INTERRUPTION OF SERVICE TO THESE FACILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL REQUIRED UTILITY CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANY.
- ALL PROPOSED WATER SERVICES SHALL BE LOCATED A MINIMUM OF SEPARATION DISTANCE OF 10 HORIZONTAL FEET AND 1.5 VERTICAL FEET FROM ALL SANITARY SEWER FACILITIES. A MINIMUM 4 FEET OF COVER SHALL BE PROVIDED OVER ALL WATER AND SANITARY SEWER LINES.
- ALL TRENCHES SHALL BE BACK FILLED WITHOUT DELAY. OPEN TRENCHES SHALL BE KEPT TO A MINIMUM. OPEN TRENCHES SHALL BE STEEL PLATED WHEN WORK IS NOT IN PROGRESS. NO EXCAVATION AREAS SHALL REMAIN OPEN OVERNIGHT.
- ALL NATURAL GAS FACILITY CONSTRUCTION, RESETTING AND/OR RELOCATION SHALL BE PERFORMED BY REPRESENTATIVES OF PUBLIC SERVICE (PSE&G).

### C. SITE CLEARING AND GRADING

- SITE CLEARING SHALL INCLUDE, BUT IS NOT LIMITED TO, THE REMOVAL OF ALL DEBRIS, RUBBLE, FENCES, TREES, EXISTING UTILITIES, EXISTING STRUCTURES, FOUNDATIONS, SUBSURFACE STRUCTURES, UNSUITABLE MATERIALS, EXISTING PAVEMENT, THE RELOCATION OF EXISTING UTILITIES AND COORDINATION, GRUBBING, ETC. AND ALL OTHER WORK REQUIRED TO COMPLETE THE PROJECT.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ANY AND ALL EXISTING IRRIGATION FOR THE FIELD INCLUDING, BUT NOT LIMITED TO, VALVE BOXES, CONTROLS, SPRINKLER HEADS, PIPING AND ELECTRICAL CONTROLS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL MATERIALS EXCAVATED OF WHATEVER NATURE IN ACCORDANCE WITH APPROVED N.JDOT/NJDEP METHODS AND MEANS.
- EXISTING ONSITE SUITABLE SOIL SHALL BE EXCAVATED, TRANSPORTED, SPREAD, GRADED, AND COMPACTED AS REQUIRED BY THE PROPOSED GRADES. ALL EARTHWORK OPERATIONS INVOLVING ONSITE SOILS SHALL BE COMPLETED PRIOR TO IMPORTING ANY OFFSITE MATERIALS.
- ALL AREAS OF REGRADING SHOULD BE SLOPED TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND BUILDINGS. ALL GRADING OF LAWNS SHOULD BE A MINIMUM OF 2% AND MAXIMUM 3' HORIZONTALLY TO 1' VERTICALLY.
- NO TOPSOIL IS TO BE REMOVED FROM THE PROJECT SITE UNLESS AUTHORIZED BY THE OWNER.

### D. SOIL EROSION, SEDIMENT, AND DUST CONTROL

- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MAINTAIN DUST CONTROL AS REQUIRED OR DIRECTED BY THE CITY ENGINEER AND LOCAL SOIL CONSERVATION DISTRICT. ALL VEHICLES SHALL BE CLEAN AND ALL ROADWAYS SHALL BE MAINTAINED FREE OF CONSTRUCTION DEBRIS AND SOIL.
- ALL SEDIMENT AND SOIL EROSION CONTROLS PRACTICES ARE TO BE INSTALLED IN CONFORMANCE WITH LOCAL AND SOIL CONSERVATION DISTRICT STANDARDS PRIOR TO ANY MAJOR SOIL DISTURBANCES. ALL WORK SHALL BE COMPLETED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- THE SOIL EROSION AND SEDIMENT CONTROL PLAN SHEET INCLUDES ADDITIONAL NOTES WHICH SHALL BE ADHERED TO BY THE CONTRACTOR.

### E. PEDESTRIAN AND TRAFFIC FLOW

- THE CONTRACTOR IS REQUIRED TO ENSURE THE SAFE, ORDERLY, AND EXPEDITIOUS FLOW OF TRAFFIC (BOTH VEHICULAR AND PEDESTRIAN) AT ALL TIMES. THE CONTRACTOR SHALL EMPLOY ALL APPROPRIATE SAFETY PROCEDURES, PERSONNEL, AND DEVICES AS MAY BE NECESSARY DURING THE PROSECUTION OF THE WORK.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE COORDINATED WITH THE LOCAL MUNICIPALITY. WHERE TRAFFIC DIRECTORS ARE DEEMED NECESSARY BY THE MUNICIPALITY, THE CONTRACTOR SHALL REQUEST THAT THE LOCAL POLICE DEPARTMENT PROVIDE DIRECTORS.
- ALL EXISTING SIDEWALK SHALL BE MAINTAINED IN A SAFE AND ORDERLY MANNER BY THE GENERAL CONTRACTOR DURING THE COURSE OF CONSTRUCTION.
- ALL EXISTING INGRESS/EGRESS SHALL REMAIN UNOBSTRUCTED AT ALL TIMES DURING THE CONSTRUCTION OF ALL SITE IMPROVEMENTS.
- ALL DEVICES AND PROCEDURES FOR THE MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND THE "STANDARD HIGHWAY SIGNS". THE CONTRACTOR SHALL PLAN AND CARRY OUT HIS WORK TO PROVIDE FOR THE CONVENIENT AND SAFE PASSAGE OF ALL VEHICULAR AND PEDESTRIAN TRAFFIC.
- DURING CONSTRUCTION, ALL ROADS SHALL REMAIN OPEN AND BE PROPERLY MAINTAINED TO ACCOMMODATE EMERGENCY VEHICLES AT ALL TIMES.
- TRAFFIC FLOW SHALL BE MAINTAINED AT ALL TIMES ALONG THE VARIOUS STREET FRONTAGES DURING CONSTRUCTION. ROAD CLOSURE WILL NOT BE PERMITTED FOR THIS PROJECT.

### F. STORM SEWERS

- THE CONTRACTOR SHALL MAINTAIN SUFFICIENT COVER (TEMPORARY AND PERMANENT) OVER ALL PIPES DURING THE CONSTRUCTION OF THE PROJECT IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.
- UNLESS OTHERWISE INDICATED, ALL GRATES ARE TO BE BICYCLE SAFE CAMPBELL FOUNDRY NO. 2618 ('B' INLET), 3405 ('A' INLET), 3425 ('E' INLET), OR EQUIVALENT.
- UNLESS OTHERWISE INDICATED, ALL STORMPIPES ARE TO BE ADS N-12 DUAL WALL OR APPROVED EQUAL.

NO.	DATE	DESCRIPTION
2	2-22-23	REVISED PER BOROUGH ZONING BOARD MEETING COMMENTS
1	1-23-23	REVISED PER BOROUGH TRC MEETING COMMENTS

**PRELIMINARY & FINAL MAJOR SITE PLAN**  
**SEA GRASS NJ, LLC**  
**GENERAL NOTES**  
 BLOCK 72, LOT 12 & BLOCK 73, LOT 2  
 BOROUGH OF HIGHLANDS  
 MONMOUTH COUNTY, NEW JERSEY  
 TAX MAP SHEETS NO. 15 & 16

11 South Main Street  
 Marlboro, NJ 07746  
 Tel: 732.577.0180

BRENT N. PAPI, JR.  
 N.J. PROFESSIONAL ENGINEER, LICENSE NO. 246E04732700

DATE: 02/22/23  
 SCALE: NA  
 PROJECT NUMBER: 21-1166  
 CHECKED BY: M.S.L.

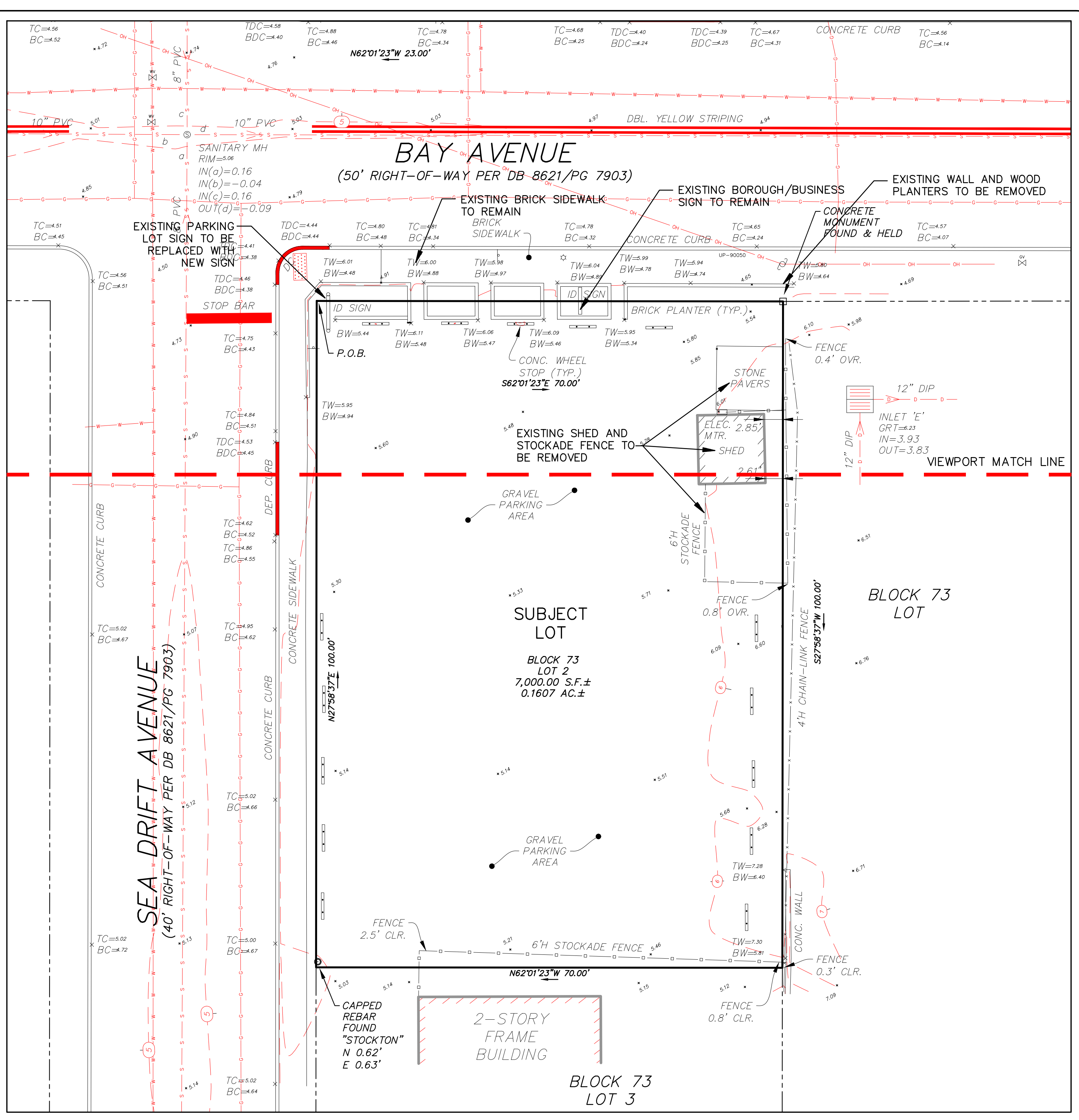
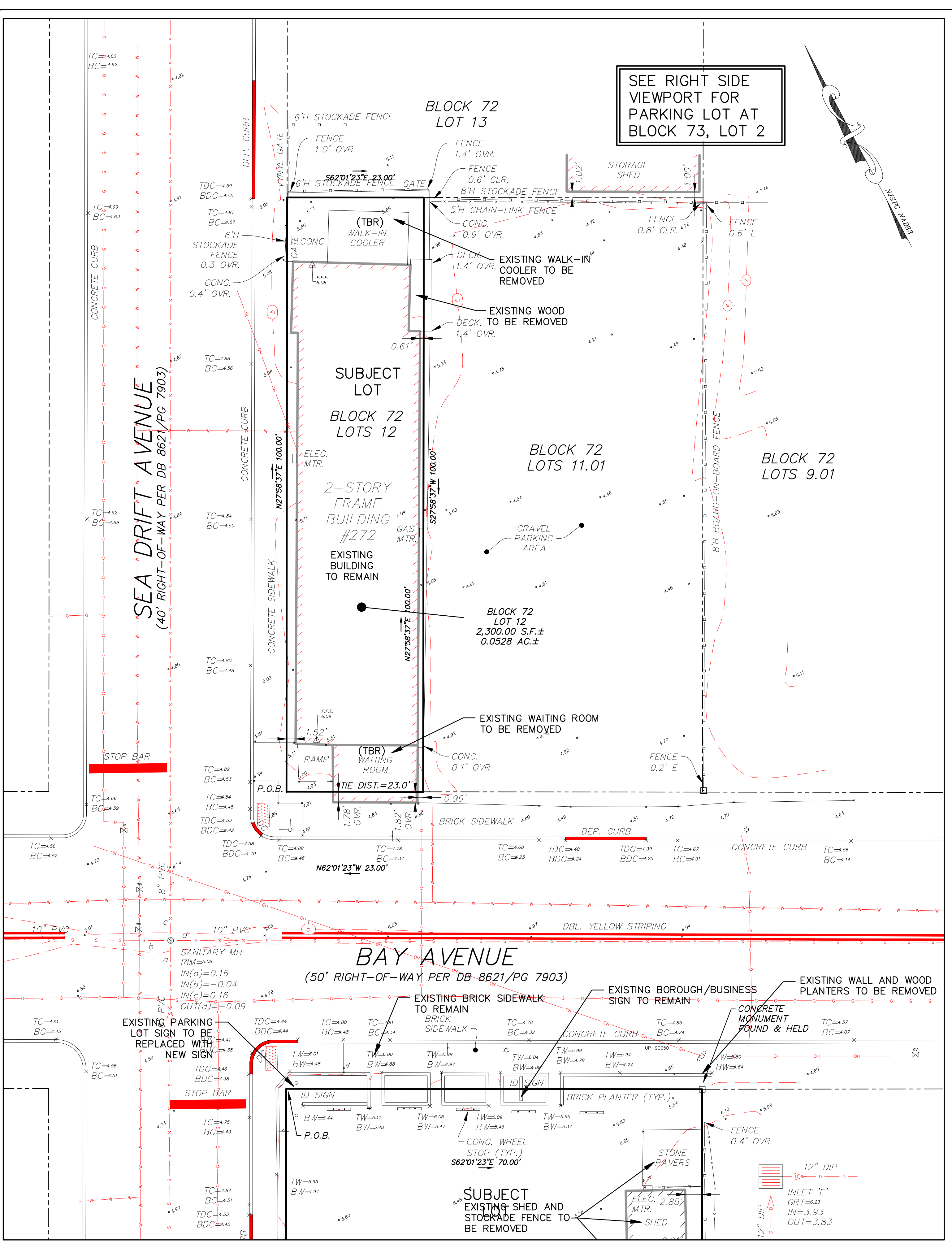
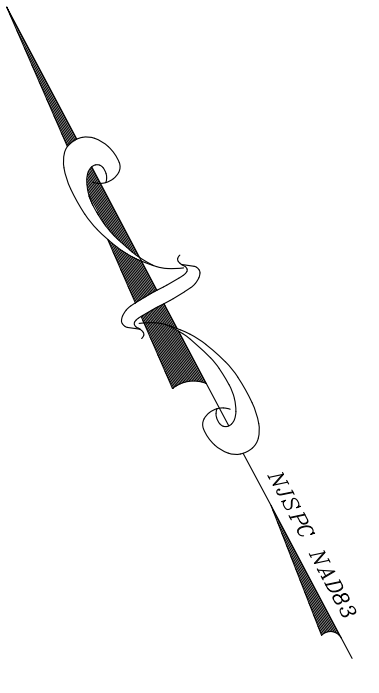
**SHEET NO. 2 OF 10**

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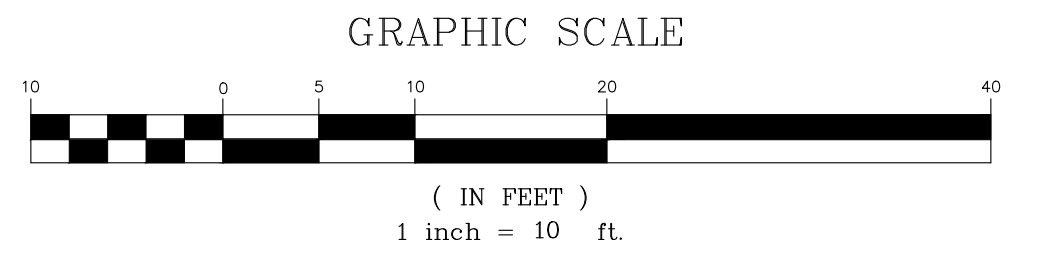




SEE RIGHT SIDE VIEWPORT FOR PARKING LOT AT BLOCK 73, LOT 2



**SURVEY REFERENCED:**  
OUTBOUND & TOPOGRAPHIC SURVEY INFORMATION OBTAINED FROM PLANS ENTITLED,  
"BOUNDARY AND TOPOGRAPHIC SURVEY FOR 272 BAY AVENUE, LLC, BLOCK 72, LOT 12, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY LANDMARK SURVEYS INC., DATED NOVEMBER 9, 2022  
AND  
"BOUNDARY AND TOPOGRAPHIC SURVEY FOR SEA DRIFT AVE, LLC, BLOCK 73, LOT 2, BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY LANDMARK SURVEYS INC., DATED NOVEMBER 9, 2022

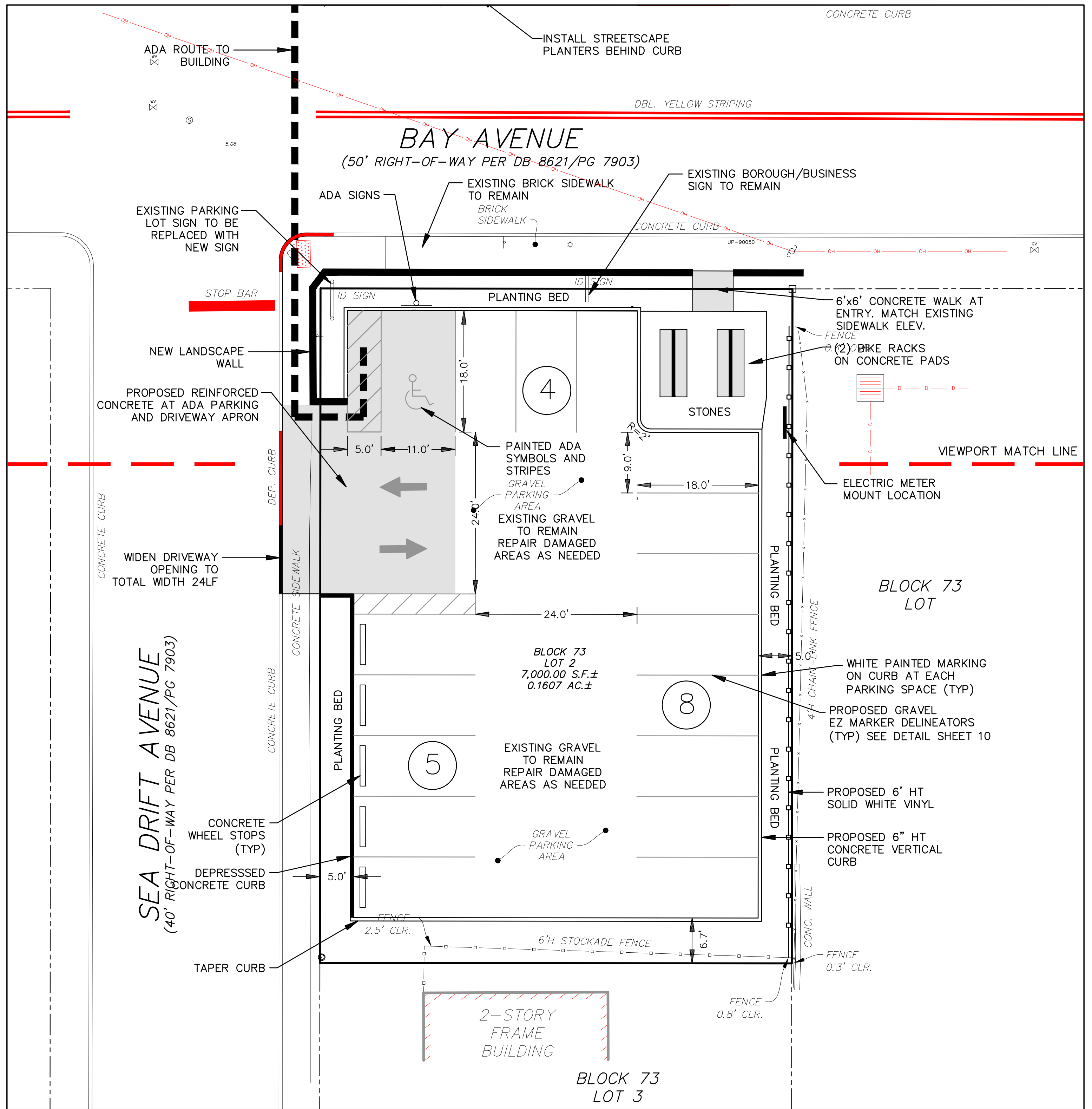
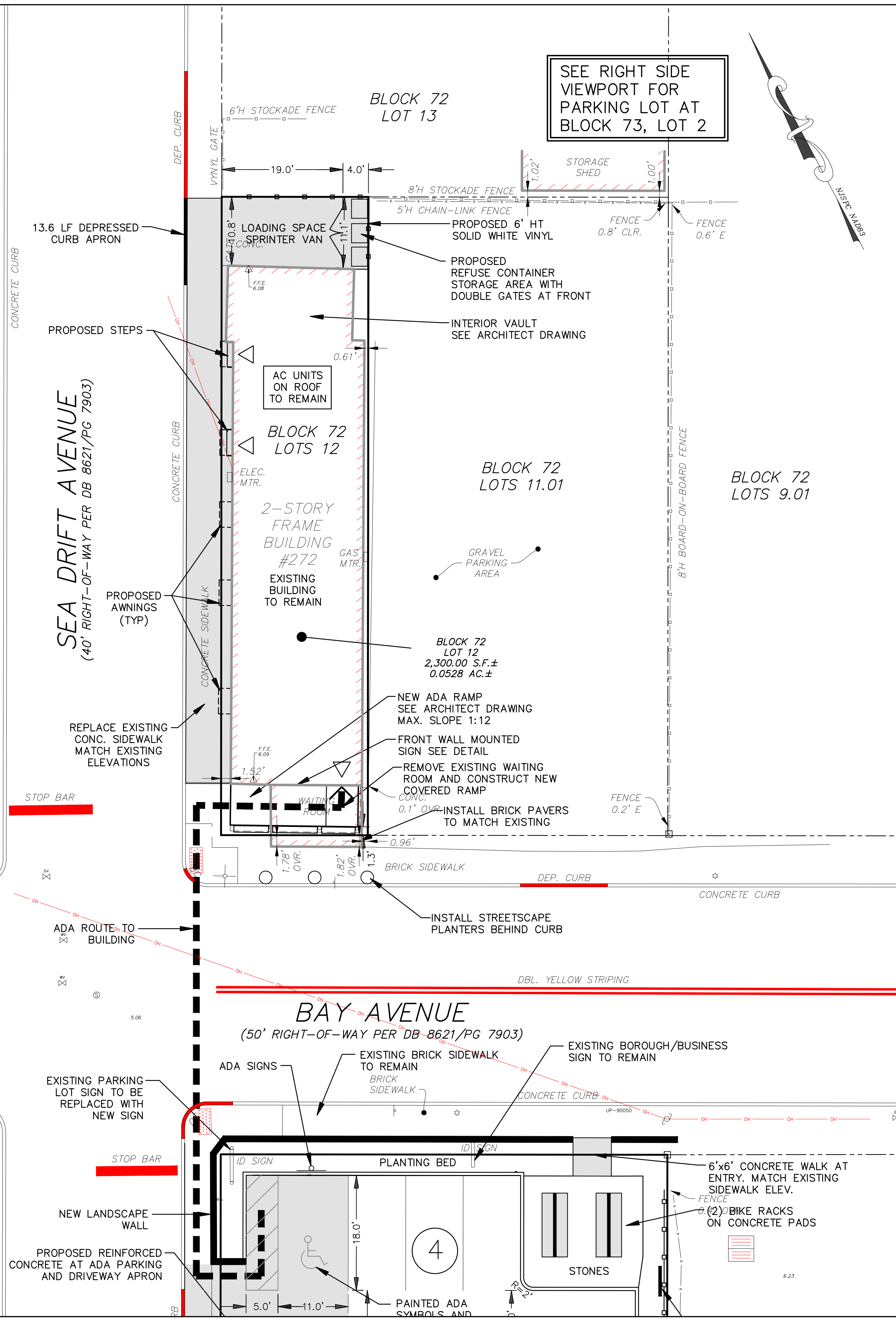
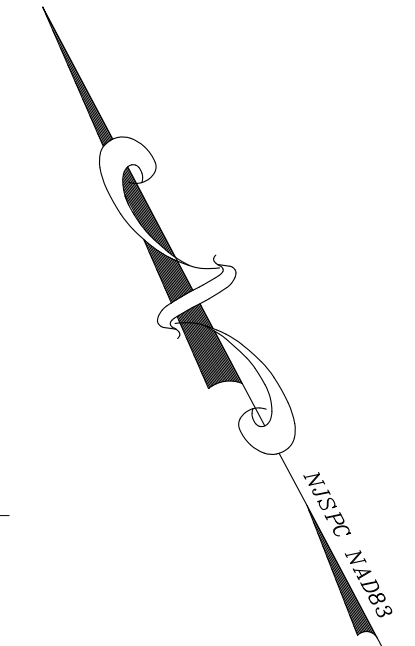


NO.	DATE	DESCRIPTION
2	2-22-23	REVISED PER BOROUGH ZONING BOARD MEETING COMMENTS
1	1-23-23	REVISED PER BOROUGH TRC MEETING COMMENTS
<b>PRELIMINARY &amp; FINAL MAJOR SITE PLAN</b>		
<b>SEA GRASS NJ, LLC</b>		
<b>EXISTING CONDITIONS PLAN</b>		
BLOCK 72, LOT 12 & BLOCK 73, LOT 2		
BOROUGH OF HIGHLANDS		
MONMOUTH COUNTY, NEW JERSEY		
TAX MAP SHEETS NO. 15 & 16		
		11 South Main Street Marlboro, NJ 07746 Tel: 732.577.0180
<b>EAST POINT ENGINEERING, LLC</b>		NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 24GA28169800
BRENT N. PAPI, JR. N.J. PROFESSIONAL ENGINEER, LICENSE NO. 24GE04732700		DATE: 02/22/23 SCALE: 1"=10' PROJECT NUMBER: 21-1166 CHECKED BY: M.S.L. SHEET NO. 3 OF 10

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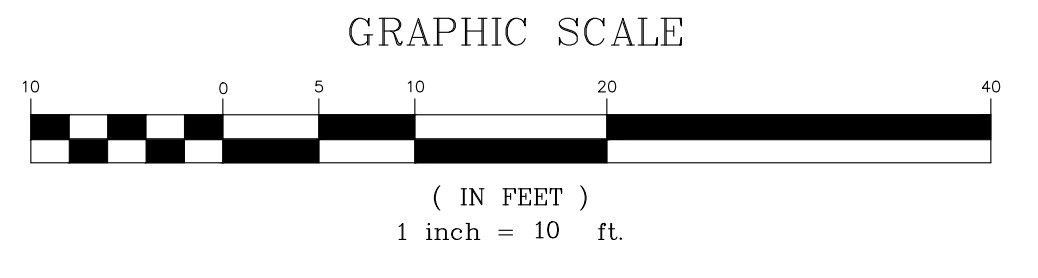


SEE RIGHT SIDE VIEWPORT FOR PARKING LOT AT BLOCK 73, LOT 2



SITE IMPROVEMENT NOTES

1. ALL SIGNS, STRIPING, AND DEVICES FOR THE MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (M.U.T.C.D.), LATEST EDITION.
2. ALL JOINTS WITH EXISTING PAVED AREAS/ROADS SHALL BE CONSTRUCTED WITH A NEAT SAWCUT AND KEYWAY. JOINTS WITH EXISTING CONCRETE SHALL BE SAWCUT AND A BITUMINOUS MATERIAL PROVIDED AS AN EXPANSION JOINT FILLER.
3. ALL PARKING STALLS TO BE 9' x 18' UNLESS OTHERWISE NOTED ON THE PLANS.
4. SIDEWALKS, APRONS, RAMPS, AND CURBS TO BE CONSTRUCTED OF 4,500 PSI CONCRETE AS INDICATED ON THE CONSTRUCTION DETAILS.
5. SHOP DRAWINGS SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WORK.
6. DEPRESSED CURBS AT ALL CURB RAMPS SHALL BE CONSTRUCTED OUT OF CONCRETE.
7. ANY CURBING OR SIDEWALK FRONTING THE SITE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED.



NO.	DATE	DESCRIPTION
1	2-22-23	REVISED PER BOROUGH ZONING BOARD MEETING COMMENTS
1	1-23-23	REVISED PER BOROUGH TRC MEETING COMMENTS

**PRELIMINARY & FINAL MAJOR SITE PLAN**  
**SEA GRASS NJ, LLC**  
**SITE LAYOUT / SIGNAGE & STRIPING PLAN**  
 BLOCK 72, LOT 12 & BLOCK 73, LOT 2  
 BOROUGH OF HIGHLANDS  
 MONMOUTH COUNTY, NEW JERSEY  
 TAX MAP SHEETS NO. 15 & 16

11 South Main Street  
Marlboro, NJ 07746  
Tel: 732.577.0180

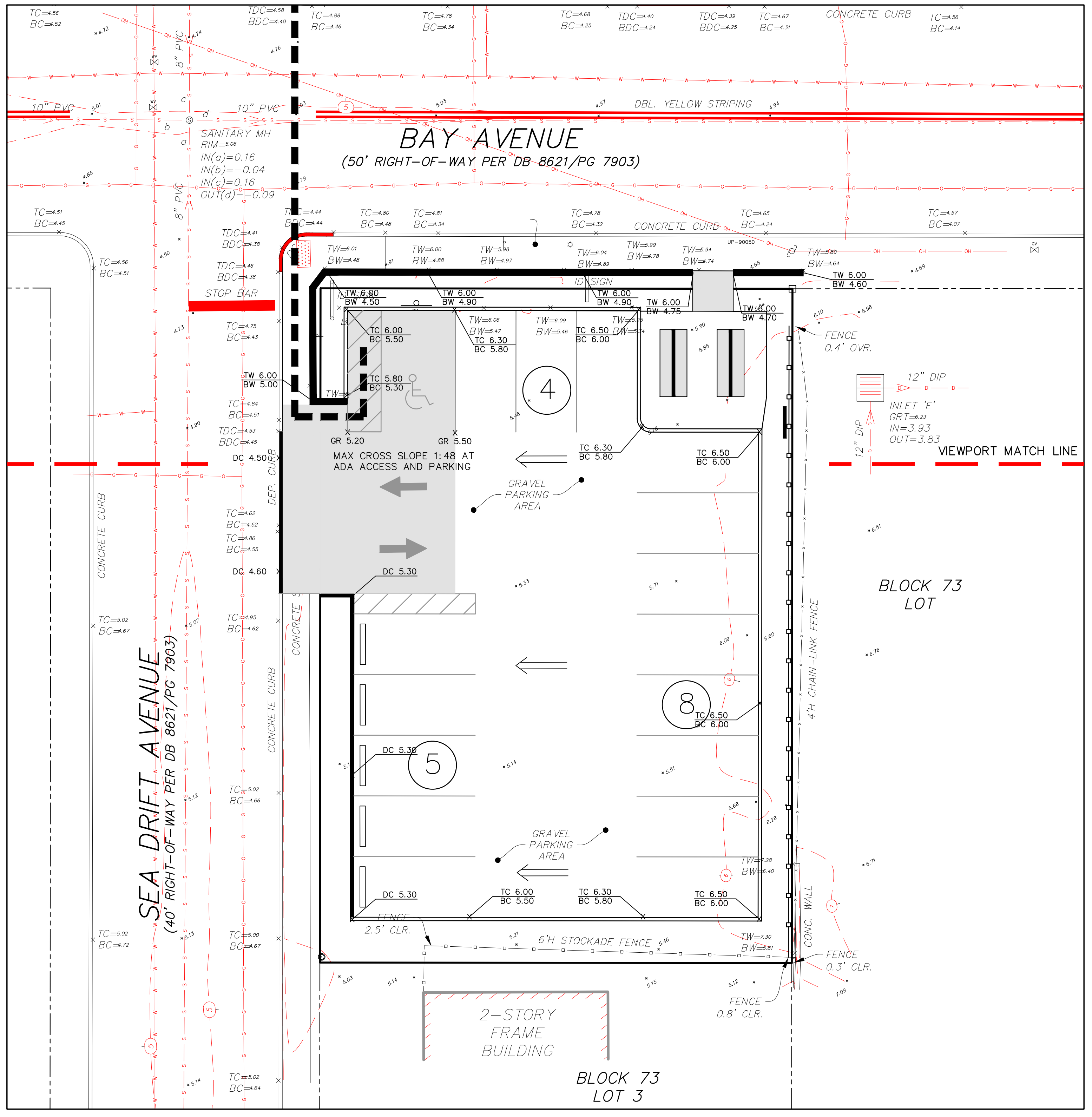
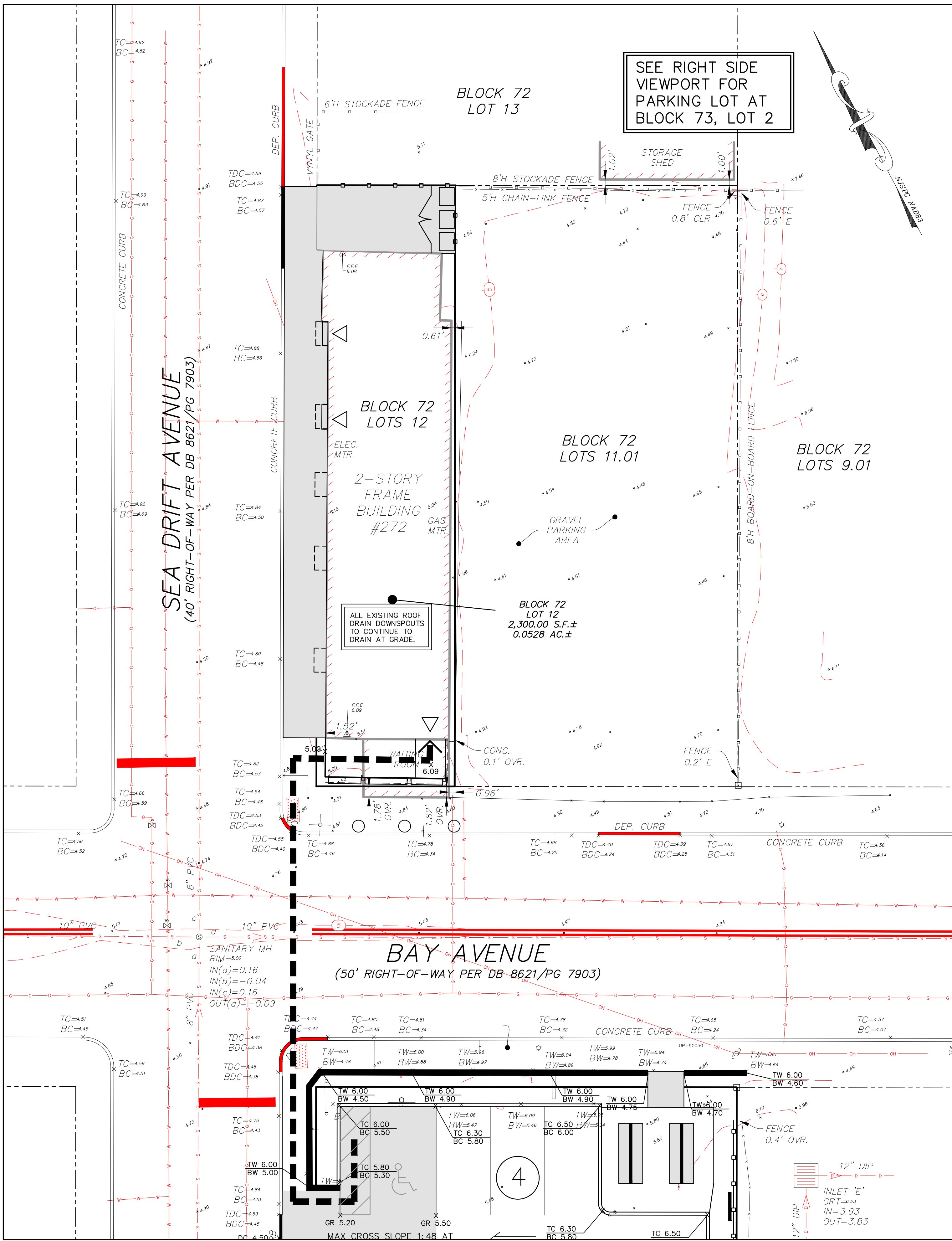
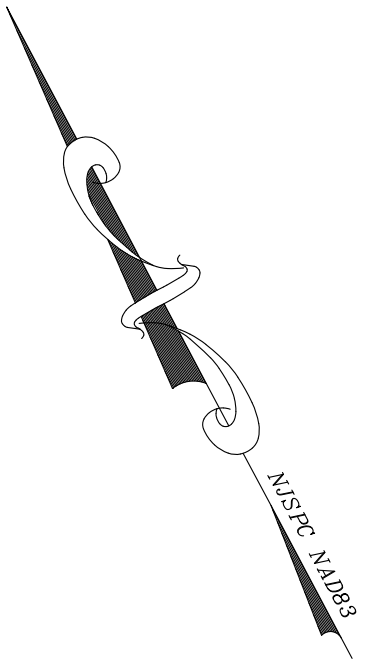
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SCALE:	1"=10'	CHECKED BY:	M.S.L.
DATE:	02/22/23	SHEET NO.	4 OF 10

BRENT N. PAPI, JR.  
N.J. PROFESSIONAL ENGINEER, LICENSE NO. 24604732700

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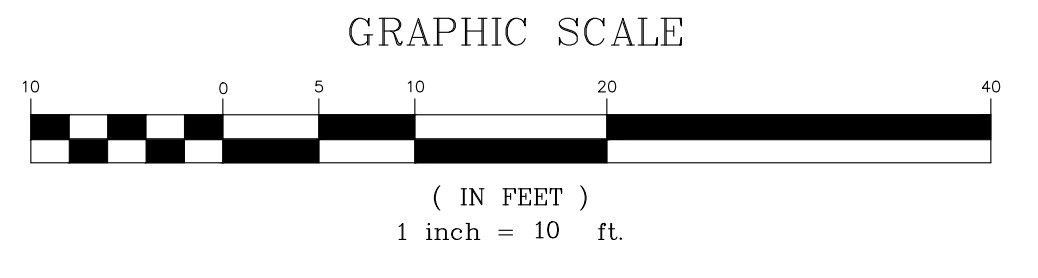


SEE RIGHT SIDE VIEWPORT FOR PARKING LOT AT BLOCK 73, LOT 2



SEA DRIFT AVENUE (40' RIGHT-OF-WAY PER DB 8621/PG 7903)

BAY AVENUE (50' RIGHT-OF-WAY PER DB 8621/PG 7903)



NO.	DATE	DESCRIPTION
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PRELIMINARY & FINAL MAJOR SITE PLAN  
SEA GRASS NJ, LLC  
GRADING PLAN  
BLOCK 72, LOT 12 & BLOCK 73, LOT 2  
BOROUGH OF HIGHLANDS  
MONMOUTH COUNTY, NEW JERSEY  
TAX MAP SHEETS NO. 13 & 16

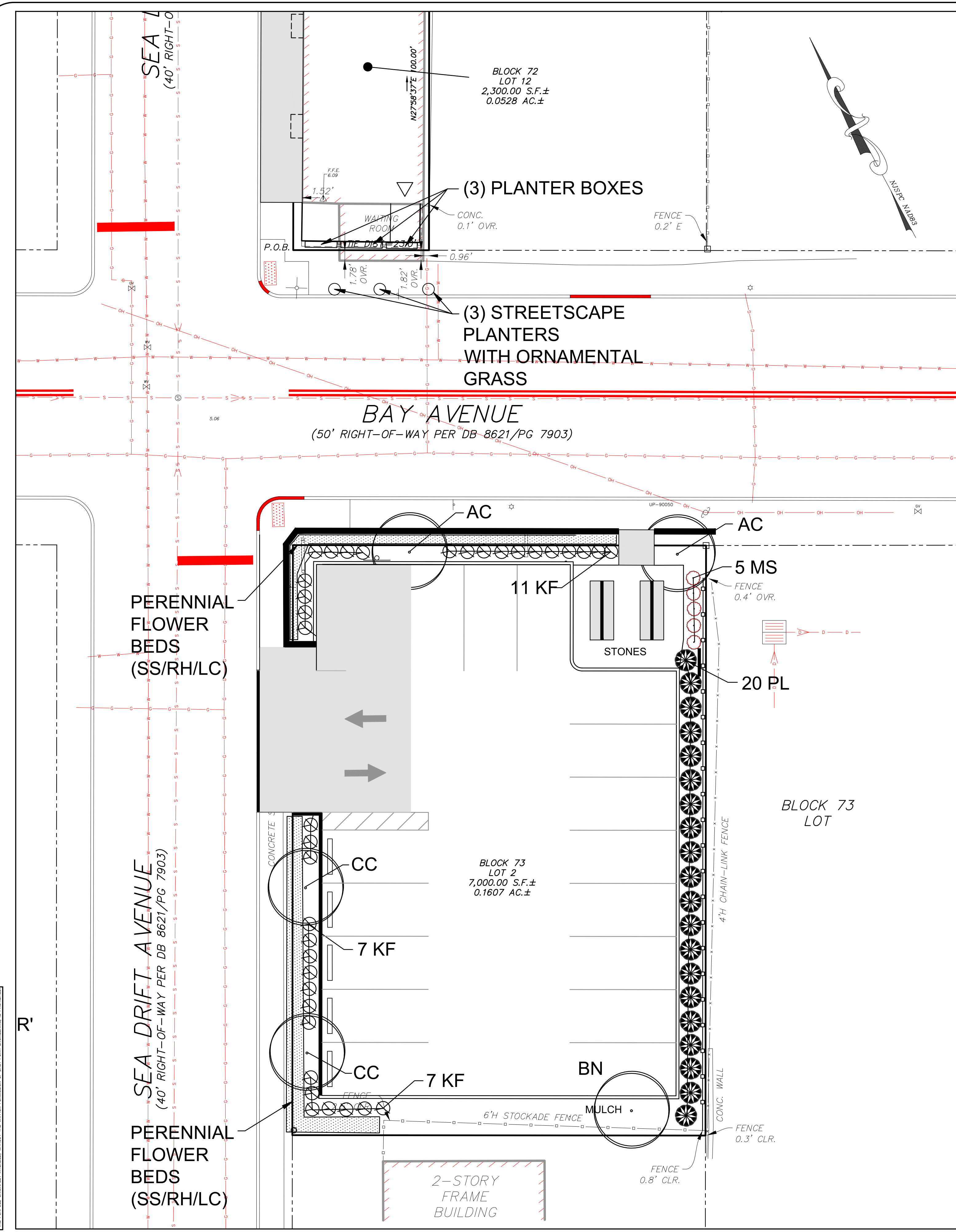
**EAST POINT ENGINEERING, LLC**  
NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 246A28169800  
11 South Main Street  
Marlboro, NJ 07746  
Tel: 732.577.0190

BRENT N. PAPI, JR.  
N.J. PROFESSIONAL ENGINEER, LICENSE NO. 246E04732700

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SHEET NO. 5 OF 10

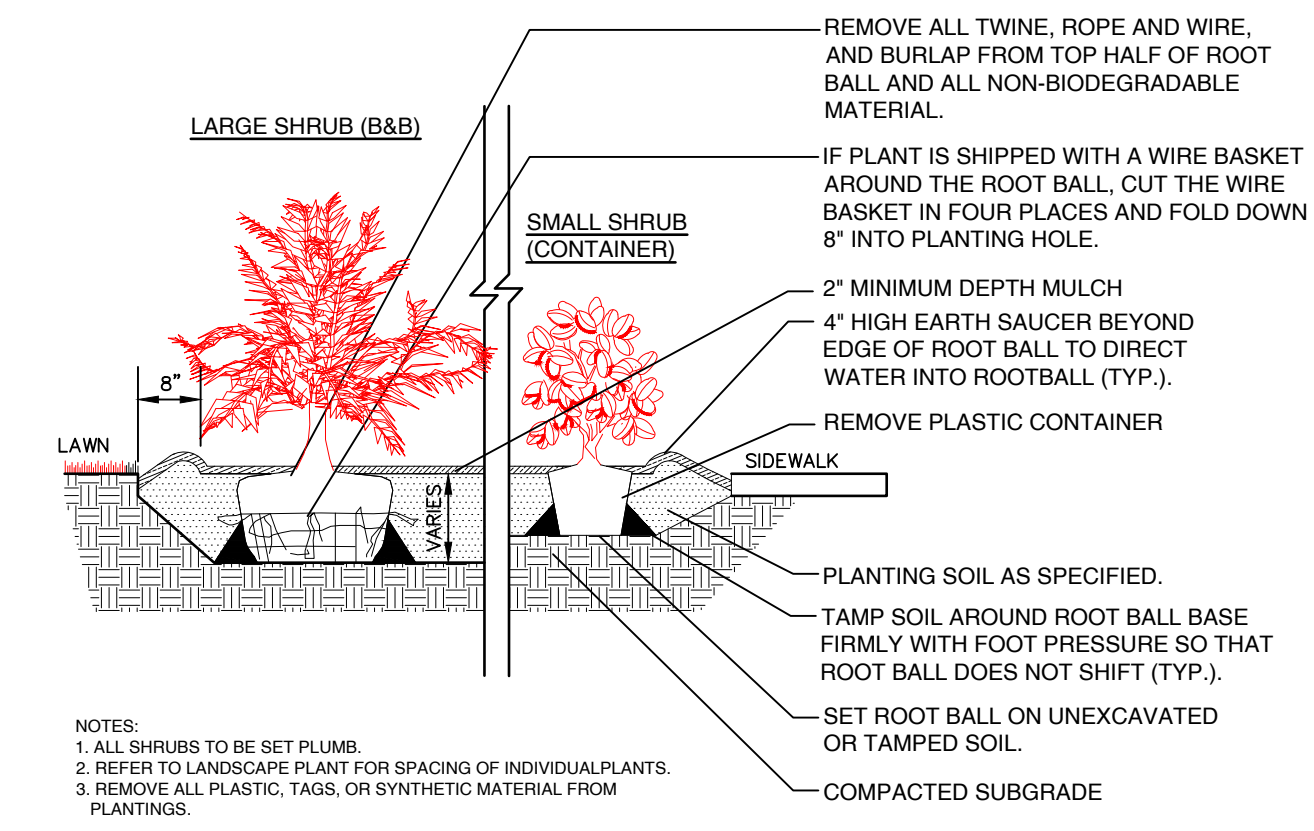
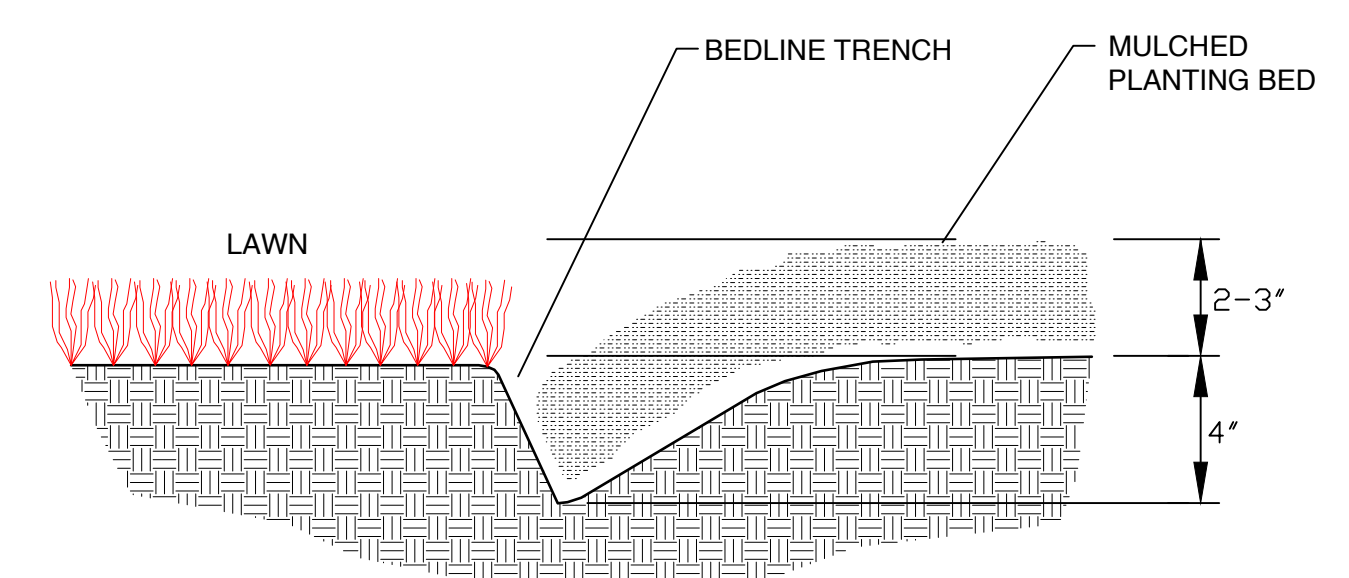
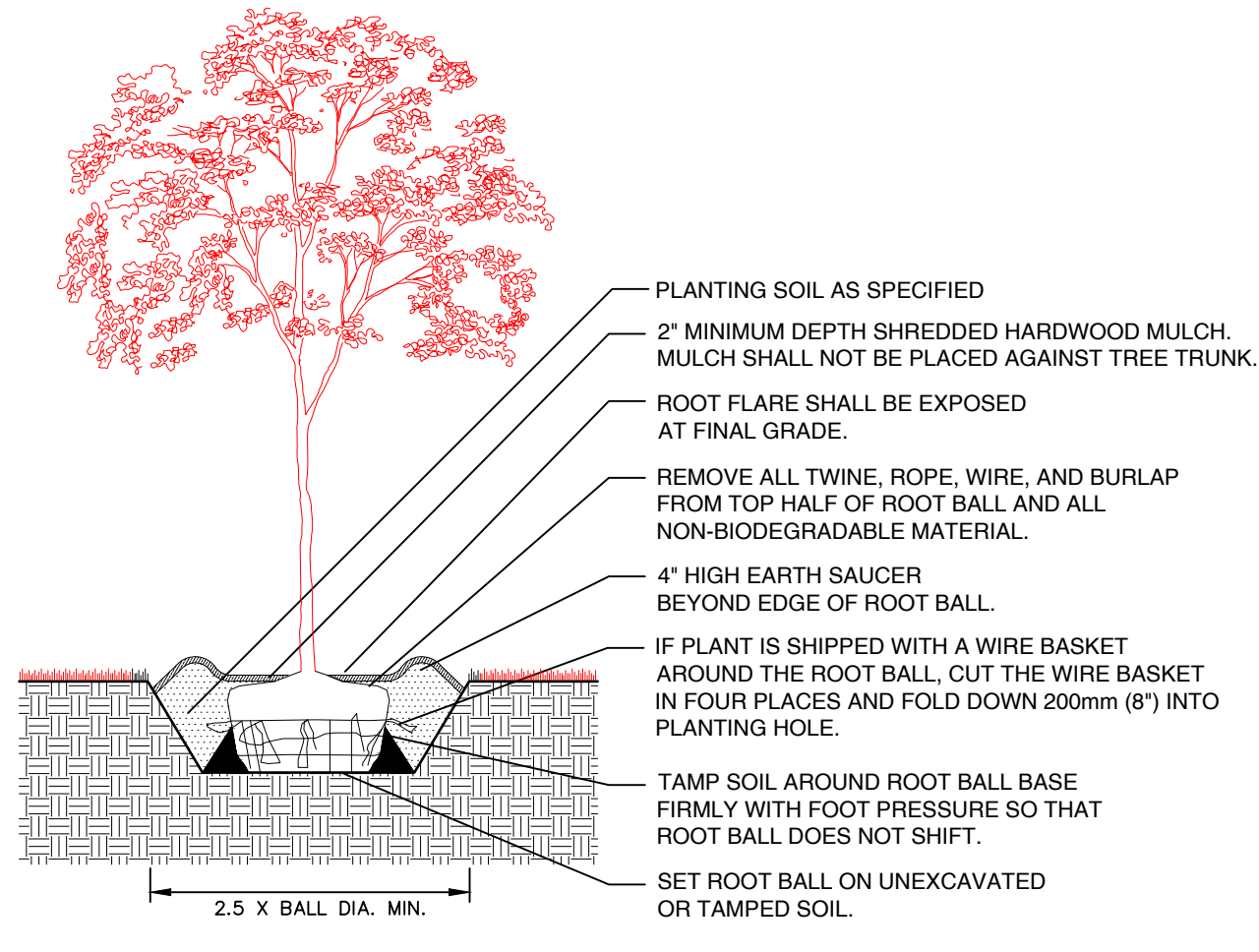
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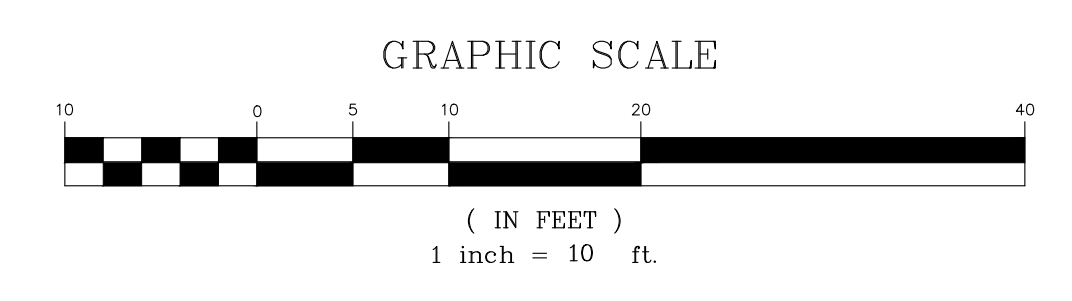
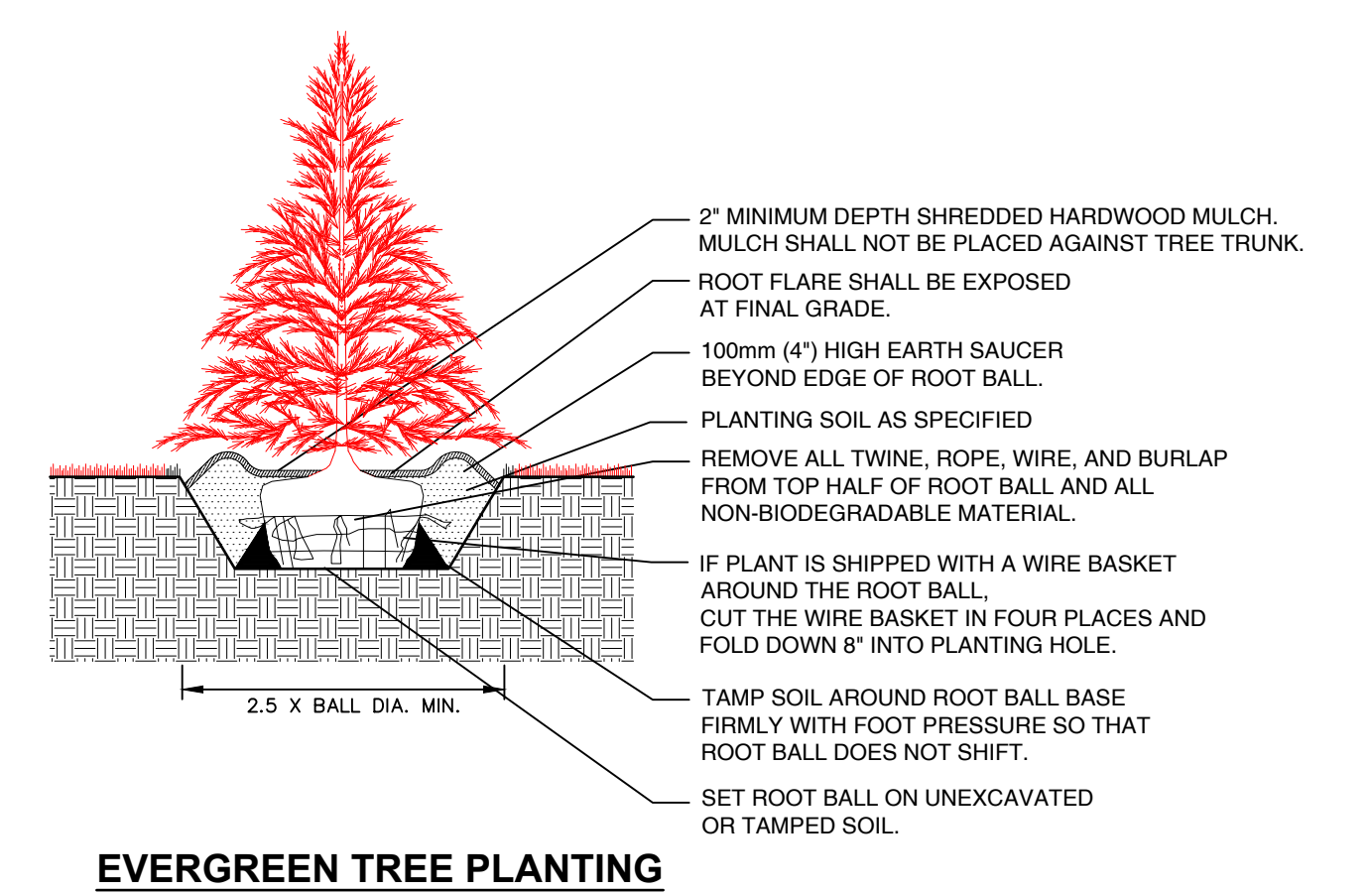


**PLANT SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	HT./CONTAINER SIZE	REMARKS
<b>Deciduous Trees</b>					
BN	1	Betula Nigra 'Cully'	Heritage River Birch	2.5" - 3.0" cal.	B&B, Straight Central Leader
CC	2	Cercis Canadensis	Eastern Redbud	4-5' Ht.	B&B, Straight Central Leader
AC	2	Amelanchier Canadensis	Shadblow Serviceberry	4-5' Ht.	B&B, Straight Central Leader
<b>Shrubs</b>					
PL	20	Prunus Laurocerasus 'Schipkaensis'	Skip Cherry Laurel	3 Gal.	
<b>Ornamental Grasses</b>					
MS	5	Miscanthus Sinensis 'Strictus'	Porcupine Grass	3 Gal.	
KF	36	Calamagrostis x Acutiflora	Karl Foerster's Feathered Reed Grass	3 Gal.	
<b>Perennial Flowers (Mix)</b>					
SS		Solidago Sempervirens	Seaside Goldenrod	3 Gal.	
RH		Rudbeckia Hirta	Black-Eyed Susan	3 Gal.	
LC		Lobelia Cardinalis	Cardinal Flower	3 Gal.	



- PLANTING NOTES:**
- NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE.
  - CONTRACTOR SHALL CONTACT UTILITY ENTITIES FOR MARK-OUT OF EXISTING UNDERGROUND UTILITY AND SEWER LINES PRIOR TO THE START OF EXCAVATION ACTIVITIES. NOTIFY THE PROJECT MANAGER IMMEDIATELY OF ANY DISCREPANCIES WITH PROPOSED PLANTING LOCATIONS.
  - SHADE AND EVERGREEN TREES SHALL BE FIELD ADJUSTED TO BE PLANTED AT LEAST 2 (TWO) FEET FROM ANY CURBING, PAVING OR SIDEWALK. THE LANDSCAPE ARCHITECT AND/OR PROJECT MANAGER SHALL ASSIST IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
  - SUBSTITUTIONS FOR PLANT MATERIAL IS ACCEPTABLE ONLY IF THE PLANT MATERIAL IS NOT OBTAINABLE AND THE SUBSTITUTIONS ARE APPROVED BY THE BOARD ENGINEER.
  - ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT AND/OR PROJECT MANAGER MAY REVIEW/OVERSEER INSTALLATION PROCEDURES.
  - ANY LANDSCAPING WHICH IS NOT RESISTANT TO THE ENVIRONMENT, OR THAT DIES WITHIN TWO YEARS OF PLANTING, SHALL BE REPLACED BY THE DEVELOPER. PLANT MATERIAL FOUND TO DYING OR DEAD DUE TO NATURAL CAUSES SHALL BE REMOVED AND REPLACED BY THE LANDSCAPE CONTRACTOR. NATURAL CAUSES EXCLUDES UNDERWATERING/OVERWATERING BY OWNER(S) OR IRRIGATION MANAGER. IRRIGATION OF THE PLANTINGS AND SEEDED/SODDED AREAS ARE NOT THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
  - THE CONTRACTOR SHALL KEEP THE AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS AND REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS.
  - IN THE EVENT THAT PLANT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANTING SCHEDULE, THE PLAN SHALL SUPERCEDE.



2	2-22-23	REVISED PER BOROUGH ZONING BOARD MEETING COMMENTS
1	1-23-23	REVISED PER BOROUGH TRC MEETING COMMENTS
NO.	DATE	DESCRIPTION

**PRELIMINARY & FINAL MAJOR SITE PLAN**  
**SEA GRASS NJ, LLC**  
**LANDSCAPE PLAN**  
 BLOCK 72, LOT 12 & BLOCK 73, LOT 2  
 BOROUGH OF HIGHLANDS  
 MONMOUTH COUNTY, NEW JERSEY  
 TAX MAP SHEETS NO. 15 & 16

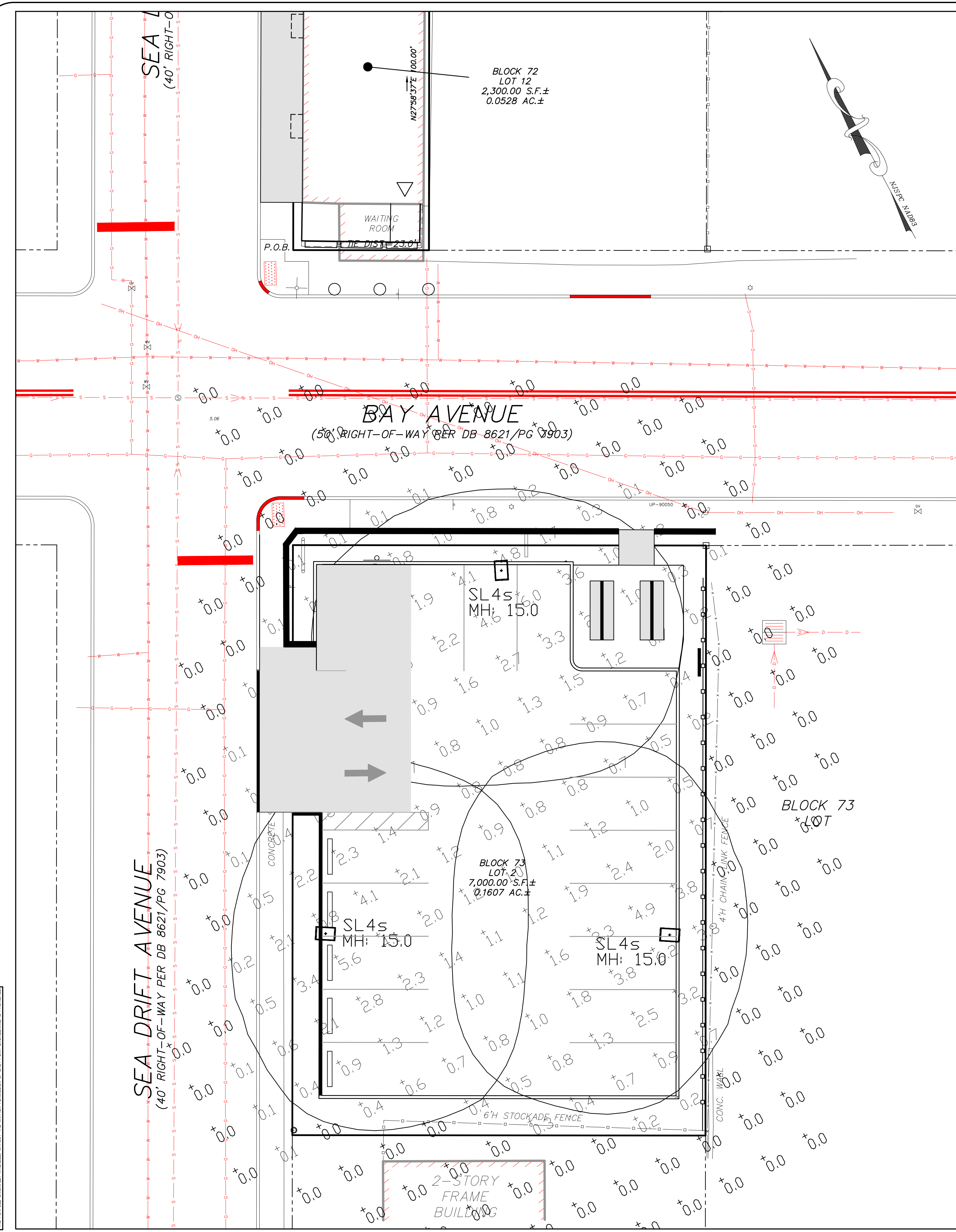
**EAST POINT ENGINEERING, LLC**  
 NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 246A28169800  
 11 South Main Street  
 Marlboro, NJ 07746  
 Tel: 732.577.0180

*Brent N. Papi, Jr.*  
**BRENT N. PAPI, JR.**  
 N.J. PROFESSIONAL ENGINEER, LICENSE NO. 246E04732700

DATE: 02/22/23  
 SCALE: 1" = 10'  
 PROJECT NUMBER: 21-1166  
 CHECKED BY: M.S.L.  
 SHEET NO. 6 OF 10

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Label	Qty	Symbol	[MANUFAC]	Description	LLF	Watts	Lumens
SL4s	3		Above All Lighting	SMT40401-T4-with back side shield	0.850	74,244	4764
WA	1			SSWP-SPS-SW1-20W-4000K_IESNA2002	0.850	18,909	2721

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
All Values Project Area	Illuminance	Fc	0.66	6.2	0.0	N.A.	N.A.
Parking	Illuminance	Fc	1.69	6.2	0.4	4.23	15.50

- NOTES:
- The calculated results of this lighting simulation represent a prediction of system performance and are not guaranteed.
  - Actual measured results may vary from the anticipated performance and are subject to means and conditions which are beyond the control of DB Lighting Consultation.
  - Illumination values shown (in foot-candles) are horizontal at grade level based on Mounting Height 15'-0"
  - Calculation points are on an 8' x 8' spacing
  - Per fixture isolines shown represent 0.25 Fc and is for reference only

**LIGHTING NOTES**

- ALL SITE LIGHTING SHALL RECEIVE UNDERGROUND ELECTRICAL SERVICE.
- A TIME CLOCK TO CONTROL THE SITE LIGHTING SHALL BE PROVIDED FOR ALL SITE LIGHTING. THE NECESSARY CONTROLS AND WIRING SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
- HOURS OF THE PROPOSED SITE LIGHTING SHALL BE ONE-HALF HOUR BEFORE SUNSET TO ONE-HALF HOUR AFTER SUNRISE. LIGHTING MAY BE WIRED IN SECTIONS WITH SOME SECTIONS TURNING OFF AFTER MIDNIGHT TO CONSERVE ENERGY. ESSENTIAL SECTIONS DESIGNATED SECURITY LIGHTING SHALL NOT TURN OFF UNTIL ONE-HALF HOUR AFTER SUNRISE.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE ANY NECESSARY CONDUITS FOR POWER, AND GROUNDING.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL LIGHTING FIXTURES, AND LAMPS.
- THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL THE REQUIRED BRANCH CIRCUIT WIRING AND CONNECT THE SITE LIGHTING FIXTURES TO THE PROPER CIRCUITS AFTER THEY HAVE BEEN INSTALLED.
- THE NUMBER AND SIZE OF THE POWER CONDUITS SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
- ALL SITE LIGHTING SHALL CONFORM TO THE REQUIREMENTS OF THE MUNICIPALITY, THE ELECTRIC UTILITY, AND THE RECOMMENDATIONS OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA).
- SITE LIGHTING SPECIFIED SHALL BE INSTALLED PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
- LUMINAIRES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.



**SMT LED AREA LIGHT**



**PRODUCT DESCRIPTION**

The SMT series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is a better alternative for traditional street and area lighting with quick payback and improved performance. It is widely used for Roadway, parking lots, walkways and general area spaces.

**FEATURE**

- Low profile design, minimizing wind load.
- Heavy duty construction with die casting aluminum housing.
- Polycarbonate with tempered glass lens doesn't fade and discolor.
- Versatile mounting options for square pole, round pole and wall mounting.
- Option of controls for maximum energy savings.
- Full distributions to cover various applications.
- Integral 10kV surge suppression protection.

**ELECTRICAL SYSTEM**

- Input Voltage: 100-277V, 347-480V, 50/60Hz
- Power Factor: > 0.9 at 120V
- Total Harmonic Distortion: < 20% at 120V
- Integral 10kV surge suppression protection standard.
- Minimum Ambient: 40°F, maximum ambient 122°F

**PERFORMANCE**

- CRI: 70+
- 3000K - 4000K - 5000K
- 0-10V Dimming Standard
- Projected Lifetime: L70 - 127,000 Hours
- Working Temperature: -40-122°F (-40-50°C)
- Certifications: ETL listed, IP66 rated, DLC Premium qualified, RoHS compliant

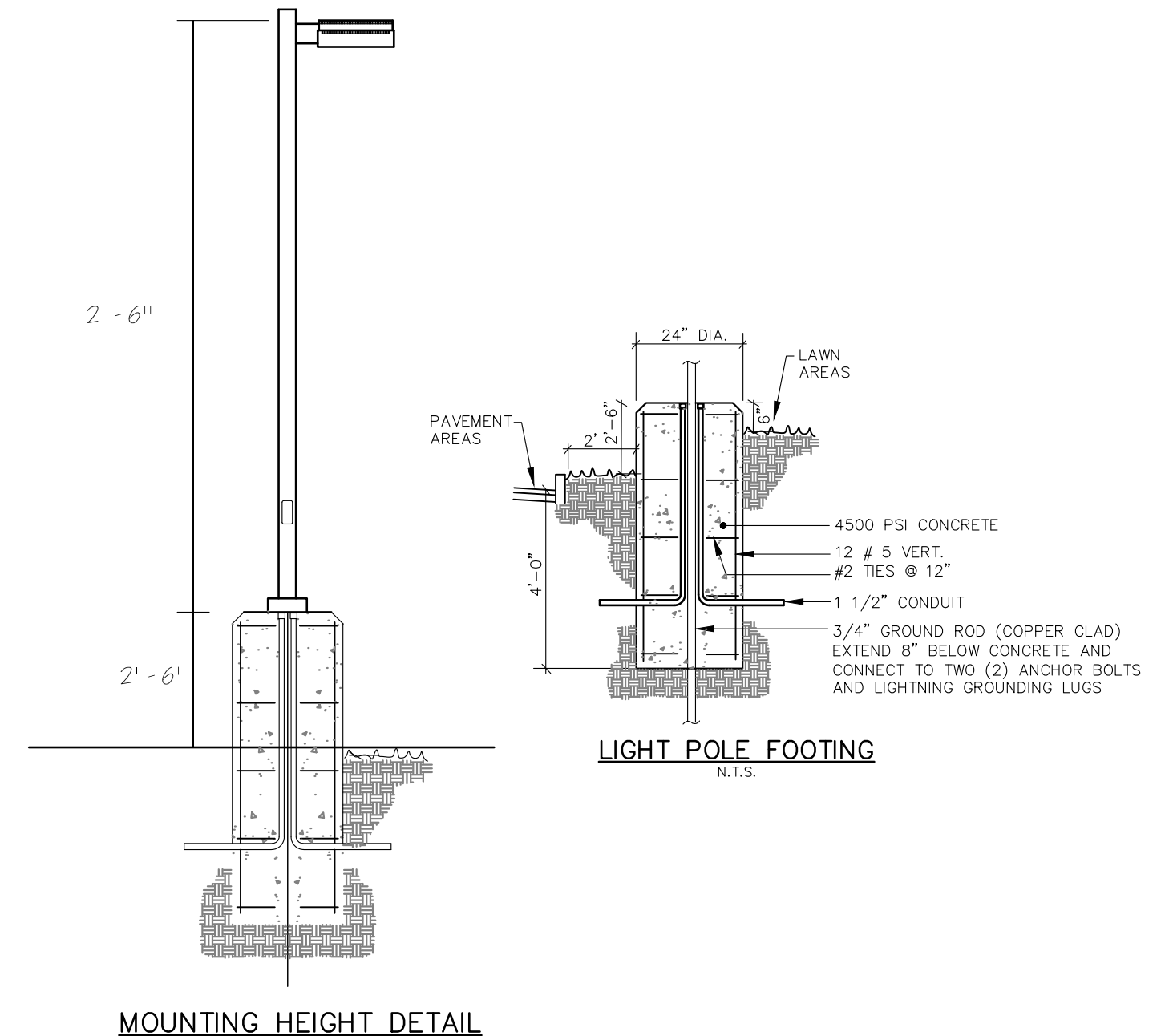
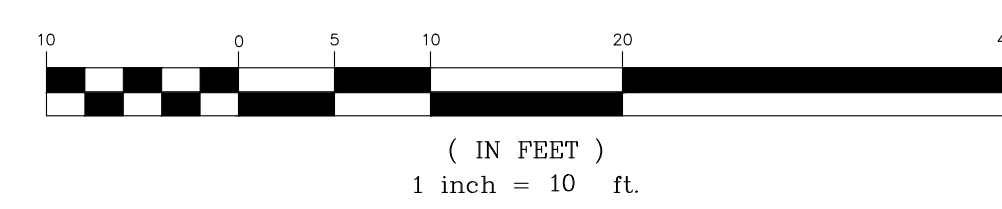
**SPECIFICATION**

Approximate Net Weight	10 lbs
Dimension W/O Mounting Brackets (L*W*H)	13.20" * 10.85" * 3.20"
Effective Project Area (EPA)	-with Arm, EPA = 0.55 F'
	-with Signifier, EPA = 0.55 F'
	-with Trunnion, EPA = 0.47 F'
	-with Wall Bracket, EPA = 0.324 F'

1501 Industrial Way N.  
Toms River, NJ 08755  
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**ABOVE ALL LIGHTING  
POLE MOUNTED FIXTURE (SL4s)**

**GRAPHIC SCALE**



2	2-22-23	REVISED PER BOROUGH ZONING BOARD MEETING COMMENTS
1	1-23-23	REVISED PER BOROUGH TRC MEETING COMMENTS
NO.	DATE	DESCRIPTION
<b>PRELIMINARY &amp; FINAL MAJOR SITE PLAN SEA GRASS NJ, LLC LIGHTING PLAN BLOCK 72, LOT 12 &amp; BLOCK 73, LOT 2 BOROUGH OF HIGHLANDS MONMOUTH COUNTY, NEW JERSEY TAX MAP SHEETS NO. 15 &amp; 16</b>		
<b>EAST POINT ENGINEERING, LLC</b> NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 24GA28169800		11 South Main Street Marlboro, NJ 07746 Tel: 732.577.0180
DATE: 11/21/22	PROJECT NUMBER: 21-1166	
SCALE: 1"=10'	CHECKED BY: M.S.L.	
Brent N. Papi, Jr. N.J. PROFESSIONAL ENGINEER, LICENSE NO. 24GE04732700		
DATE: 02/22/23	SHEET NO. 7 OF 10	

**EMPIRE LIGHTING**  
THEA ENTERPRISES  
380 ALLWOOD ROAD  
CLIFTON, NJ 07012  
GERARD BLANDINA  
(973) 441-9067  
GERARD@EMPIRELIGHTING.COM  
WWW.EMPIRELIGHT.COM

**EMPIRE LIGHTING**  
A Division of Thea Enterprises



SOIL EROSION & SEDIMENT CONTROL NOTES

- 1. THE FRESHHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE...
3. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION...
4. N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY...
5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING...
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE AND ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION...
7. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS...
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE...
9. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO THE PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
10. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
11. AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SUITABLE SOIL THAT WILL NOT BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER...
12. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE...
13. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
14. UNFILTERED DETERWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DETERWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER...
15. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
16. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN...
17. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
18. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

SEEDING SCHEDULE (PERMANENT & TEMPORARY) - ZONE 7A

(rev. 2014)
SITE AND SEEDBED PREPARATION: TO BE PERFORMED IN ACCORDANCE WITH CHAPTERS 4-1, 7-1 AND 8-1 OF THE 2014 STANDARDS FOR SOIL EROSION & SEDIMENT CONTROL IN NEW JERSEY.

- 1. TEMPORARY GRASS SEEDING SHALL CONSIST OF SPRING TYPES APPLIED AT A RATE OF 2.0 LBS. PER 1,000 S.F. OPTIMUM SEEDING DATES ARE BETWEEN FEBRUARY 15 AND MAY 1 AND BETWEEN AUGUST 15 AND OCTOBER 15.
AN ALTERNATIVE TEMPORARY GRASS SEEDING SHALL CONSIST OF WINTER CEREAL RYE APPLIED AT A RATE OF 2.8 LBS. PER 1,000 S.F. OPTIMUM SEEDING DATES ARE BETWEEN AUGUST 1 AND DECEMBER 15.
TEMPORARY SEEDING SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING. IF ANY SERIOUS EROSION PROBLEM OCCURS, THE ERODED AREAS SHALL BE REPAIRED AND STABILIZED WITH A MULCH AS INDICATED IN NOTE 6.
2. PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE AS APPROVED BY THE FRESHHOLD SOIL CONSERVATION DISTRICT:
USDA PLANT HARDINESS ZONE 7a, TABLE 4-3
MIX NUMBER
ACCEPTABLE SEEDING DATES ARE BETWEEN FEBRUARY 1 AND APRIL 30
ACCEPTABLE SEEDING DATES ARE BETWEEN MAY 1 AND AUGUST 14
OPTIMUM SEEDING DATES ARE BETWEEN AUGUST 15 AND OCTOBER 30
SITE MIX DETAILS
58% HARD FESCUE (135 LBS/ACRE)
19% CHEWINGS FESCUE (45 LBS/ACRE)
19% STRONG CREEPING RED FESCUE (45 LBS/ACRE)
4% PERENNIAL RYE GRASS (10 LBS/ACRE)
\*APPLY AT A SEEDING RATE OF 230 LBS/ACRE OR 5.25 LBS/1000 S.F.

- 3. PERMANENT SEEDING TO BE APPLIED BY HYDROSEEDING AT A RATE OF 160 LBS. PER ACRE. SLOPED AREAS TO BE COVERED WITH MULCH AS INDICATED IN NOTE 6.
4. FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE 10-10-10 APPLIED AT A RATE OF 11 LBS. PER 1,000 S.F. LIMESTONE FOR TEMPORARY OR PERMANENT SEEDING SHALL BE APPLIED BASED ON SOIL TEST RECOMMENDATIONS.
5. IF THE TIME OF YEAR PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 6.
6. MULCH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL AT A RATE OF 1,500 POUNDS PER ACRE. THIS MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED.
7. ALL SEEDED AREAS SHALL BE MULCHED IN ACCORDANCE WITH THE MULCH AND MULCH ANCHORING SPECIFICATIONS ON THIS SHEET.
8. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
9. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL.
10. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

STANDARDS FOR TOPSOILING

(rev. 2017)

A. MATERIALS

- 1. Topsoil should be friable, loamy, free of debris, objectionable weeds and stones, and contain no toxic substance or adverse chemical or physical condition that may be harmful to plant growth. Soluble salts should not be excessive (conductivity less than 0.5 millimhos per centimeter. More than 0.5 millimhos may desiccate seedlings and adversely impact growth). Topsoil hauled in from offsite should have a minimum organic matter content of 2.75 percent. Organic matter content may be raised by additives.
2. Topsoil substitute is a soil material which may have been amended with sand, silt, clay, organic matter, fertilizer or lime and has the appearance of topsoil. Topsoil substitutes may be utilized on sites with insufficient topsoil for establishing permanent vegetation. All topsoil substitute materials shall meet the requirements of topsoil noted above. Soil tests shall be performed to determine the components of sand, silt, clay, organic matter, soluble salts and pH level.

B. STRIPPING AND STOCKPILING

- 1. Field exploration should be made to determine whether quantity and or quality of surface soil justifies stripping.
2. Stripping should be confined to the immediate construction area.
3. Where feasible, lime may be applied before stripping at a rate determined by soil tests to bring the soil pH to approximately 6.5. In lieu of soil tests, see lime rate guide in seedbed preparation for Permanent Vegetative Cover for Soil Stabilization, Chapter 4-1.
4. A 4-6 inch stripping depth is common, but may vary depending on the particular soil.
5. Stockpiles of topsoil should be situated so as not to obstruct natural drainage or cause off-site environmental damage.
6. Stockpiles should be vegetated in accordance with standards previously described herein; see standards for Permanent (Chapter 4-1) or Temporary (Chapter 7-1) Vegetative Cover for Soil Stabilization. Weeds should not be allowed to grow on stockpiles.

C. SITE PREPARATION

- 1. Grade at the onset of the optimal seeding period so as to minimize the duration and area of exposure of disturbed soil to erosion. Immediately proceed to establish vegetative cover in accordance with the specified seed mixture. Time is of the essence.
2. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application and anchoring, and maintenance. See the Standard for Land Grading, Chapter 19-1.
3. As guidance for ideal conditions, subsoil should be tested for lime requirement. Limestone, if needed, should be applied to bring soil to a pH of approximately 6.5 and incorporated into the soil as nearly as practical to a depth of 4 inches.
4. Prior to topsoiling, the subsoil shall be in compliance with the standard for land grading, pg. 19-1.
5. Employ needed erosion control practices such as diversions, grade stabilization structures, channel stabilization measures, sedimentation basins, and waterways. See Standards 11 through 42.

D. APPLYING TOPSOIL

- 1. Topsoil should be handled only when it is dry enough to work without damaging soil structure; i.e., less than field capacity (see glossary).
2. A uniform application to a depth of 5.0 inches, minimum of 4 inches, firmed in place is required. Alternative depths may be considered where special regulatory and/or industry design standards are appropriate such as on golf courses, sports fields, landfill capping, etc. soils with a pH of 4.0 or less or containing iron sulfide shall be covered with a minimum depth of 12 inches of soil having a pH of 5.0 or more, in accordance with the standard for management of high acid producing soil (pg. 1-1).
3. Pursuant to the requirements in section 7 of the standard for permanent vegetative stabilization, the contractor is responsible to ensure that permanent vegetative cover becomes established on at least 80% of the soils to be stabilized with vegetation. Failure to achieve the minimum coverage may require additional work to be performed by the contractor to include some or all of the following: supplemental seeding, re-application of lime and fertilizers, and/or the addition of organic matter (i.e. compost) as a top dressing, such additional measures shall be based on soil tests such as those offered by Rutgers cooperative extension service or other approved laboratory facilities qualified to test soil samples for agronomic properties.

PERMANENT VEGETATIVE COVER (SECTION 4)

- 1. Site Preparation
A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standard for Land Grading.
B. Immediately prior to seeding and topsoil application, the subsoil shall be evaluated for compaction in accordance with the Standard for Land Grading.
C. Topsoil should be handled only when it is dry enough to work without damaging the soil structure. A uniform application to a depth of 5 inches (unsettled) is required on all sites. Topsoil shall be amended with organic matter, as needed, in accordance with the Standard for Topsoiling.
D. Install needed erosion control practices or facilities such as diversions, grade-stabilization structures, channel stabilization measures, sediment basins, and waterways.
2. Seedbed Preparation
A. Uniformly apply ground limestone and fertilizer to topsoil which has been spread and firmed, according to soil test recommendations such as offered by Rutgers Co-operative Extension Soil sample mailers are available from the local Rutgers Cooperative Extension offices (http://n.jaes.rutgers.edu/county/). Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-10-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise and incorporated into the surface 4 inches. If fertilizer is not incorporated, apply one-half the rate described above during seedbed preparation and repeat another one-half rate application of the same fertilizer within 3 to 5 weeks after seeding.
B. Work lime and fertilizer into the topsoil as nearly as practical to a depth of 4 inches with a disc, spring-tooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is prepared.
C. High acid producing soil. Soils having a pH of 4 or less or containing iron sulfide shall be covered with a minimum of 12 inches of soil having a pH of 5 or more before initiating seedbed preparation. See Standard for Management of High Acid-Producing Soils for specific requirements.

TEMPORARY VEGETATIVE COVER (SECTION 7)

- 1. Site Preparation
A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Grading, pg. 19-1.
B. Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways. See Standards 11 through 42.
C. Immediately prior to seeding, the surface should be scarified 6" to 12" where there has been soil compaction. This practice is permissible only where there is no danger to underground utilities (cables, irrigation systems, etc.).
2. Seedbed Preparation
A. Apply ground limestone and fertilizer according to soil test recommendations such as offered by Rutgers Co-operative Extension. Soil sample mailers are available from the local Rutgers Cooperative Extension offices. Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-20-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise. Liming rates shall be established via soil testing. Calcium carbonate is the equivalent and standard for measuring the ability of liming materials to neutralize soil acidity and supply calcium and magnesium to grasses and legumes.
B. Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, springtooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is prepared.
C. Inspect seedbed just before seeding. If traffic has left the soil compacted, the area must be retilled in accordance with the above.
D. Soils high in sulfides or having a pH of 4 or less refer to Standard for Management of High Acid Producing Soils, pg. 1-1.

MULCH AND MULCH ANCHORING SPECIFICATIONS

(rev. 2017)

Stabilizing exposed soils with non-vegetative materials exposed for periods longer than 14 days.

Methods and Materials

A. SITE PREPARATION

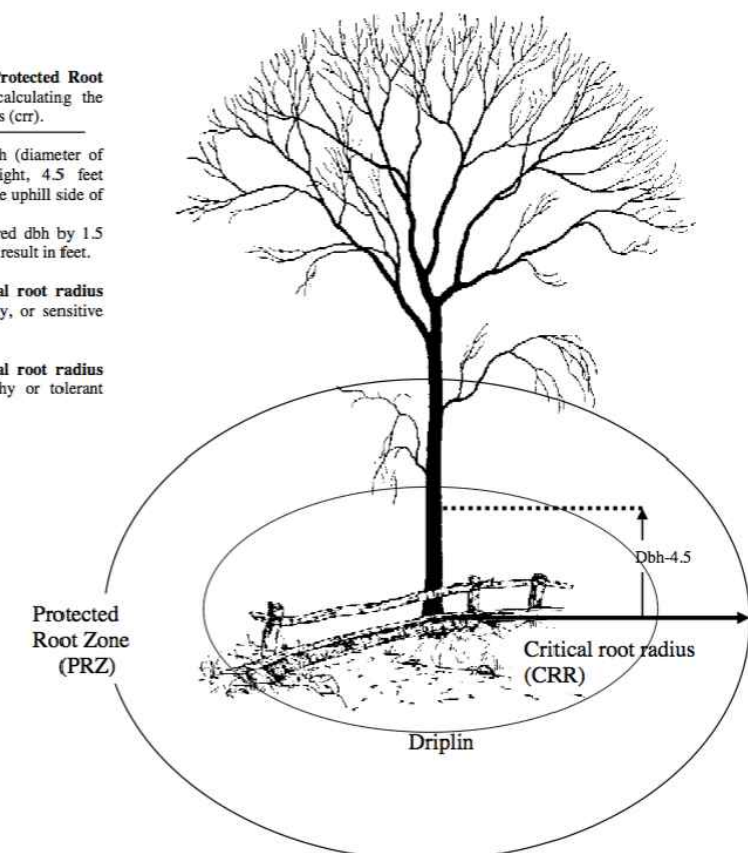
- 1. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Grading.
2. Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways. See Standards 11 through 42.

B. PROTECTIVE MATERIALS

- 1. Unrotted small-grain straw, at 2.0 to 2.5 tons per acre, is spread uniformly on 90 to 115 pounds per 1,000 square feet and anchored with a mulch anchoring tool, liquid mulch binders, or netting the down. Other suitable materials may be used if approved by the Soil Conservation District. The approved rates above have been met when the mulch covers the ground completely upon visual inspection, i.e. the soil cannot be seen below the mulch.
2. Synthetic or organic soil stabilizers may be used under suitable conditions and in quantities as recommended by the manufacturer.
3. Wood-fiber or paper-fiber mulch at the rate of 1,500 pounds per acre (or according to the manufacturer's requirements) may be applied by a hydroseeder.
4. Mulch netting, such as paper jute, excelsior, cotton, or plastic, may be used.
5. Woodchips applied uniformly to a minimum depth of 2 inches may be used. Woodchips will not be used on areas where flowing water could wash them into an inlet and plug it.

Estimate a tree's Protected Root Zone (PRZ) by calculating the Critical Root Radius (CRR).

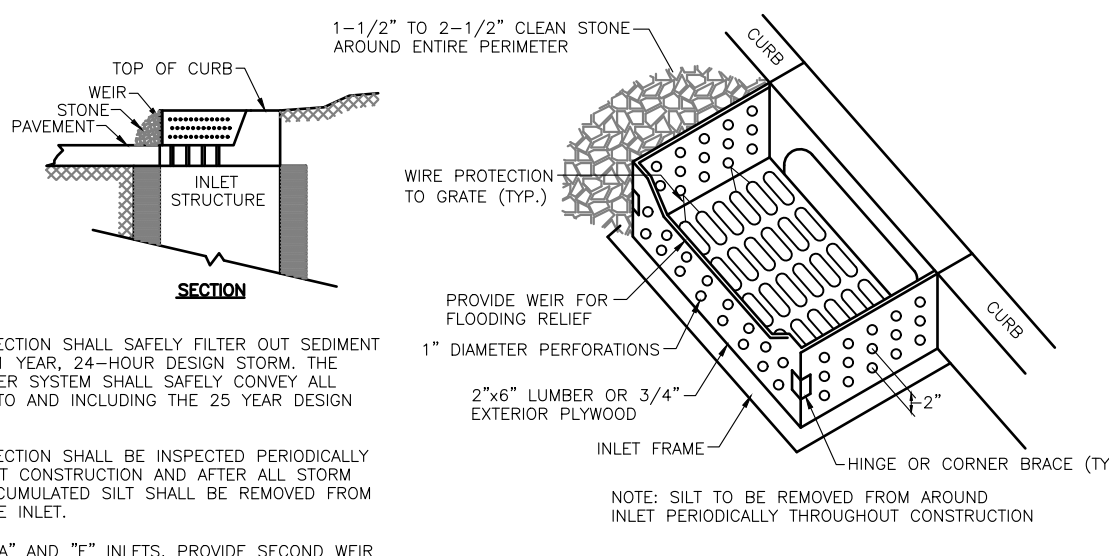
- 1. Measure the dbh (diameter of tree at breast height, 4.5 feet above ground on the uphill side of tree) in inches.
2. Multiply measured dbh by 1.5 or 1.8. Express the result in feet.
Dbb x 1.5: Critical root radius for older, unhealthy, or sensitive species.
Dbb x 1.8: Critical root radius for younger, healthy or robust species.



1. Protecting Trees from Construction Damage - A Homeowner's Guide, Gary R. Johnson, University of Minnesota Extension Service, Saint Paul, MN, 1999.

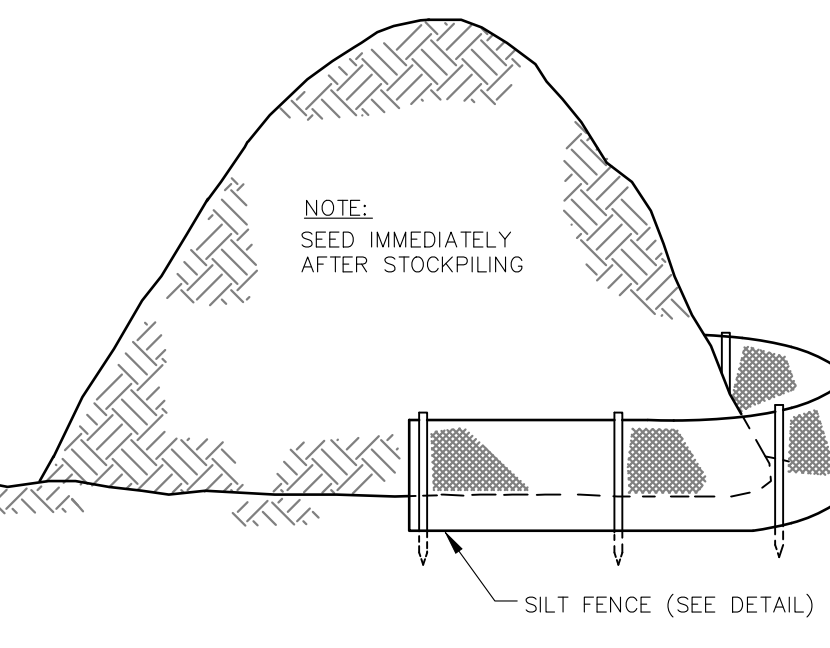
ROOT PROTECTION DURING CONSTRUCTION GUIDE

N.T.S.



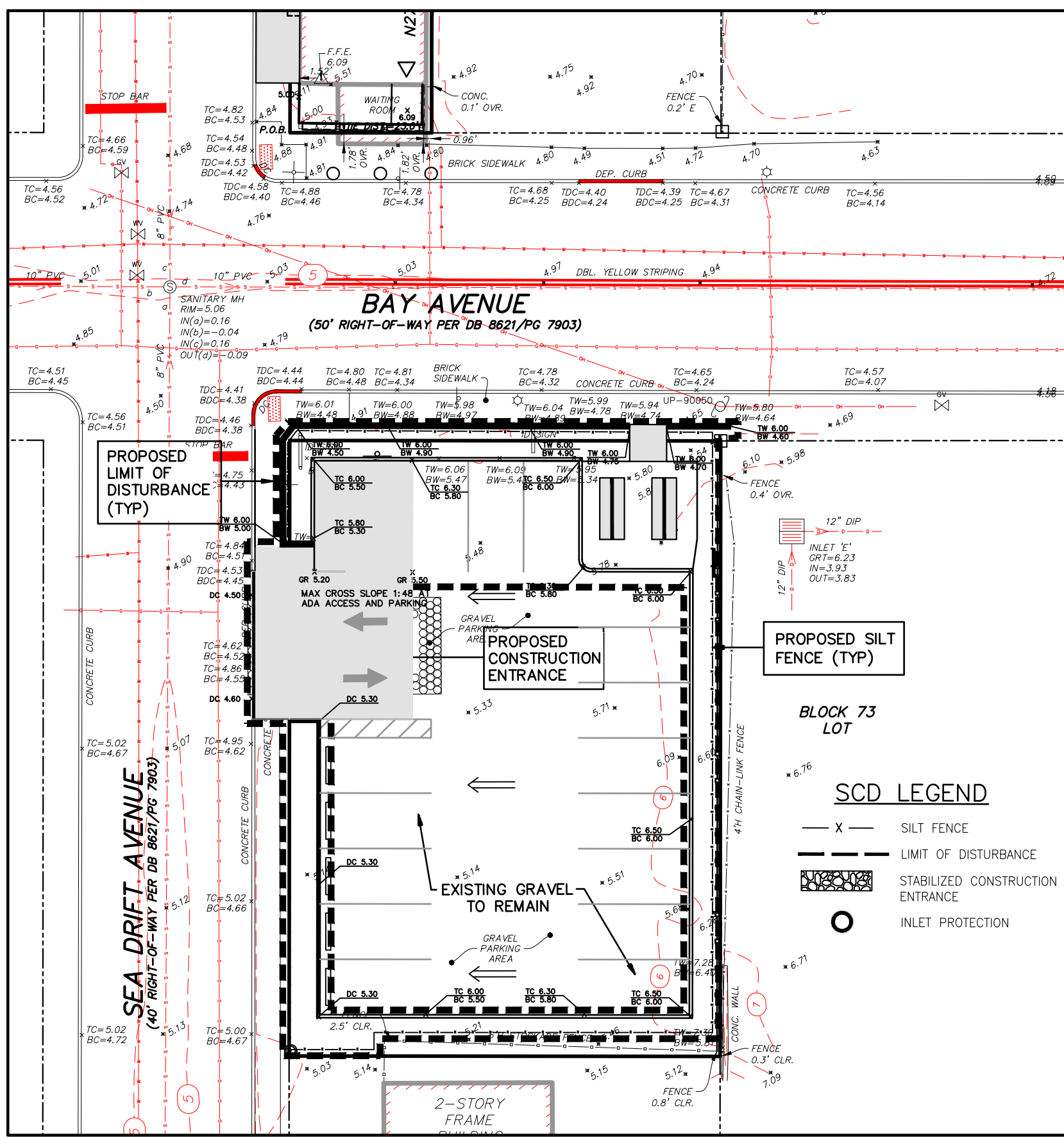
INLET PROTECTION DETAIL

N.T.S.

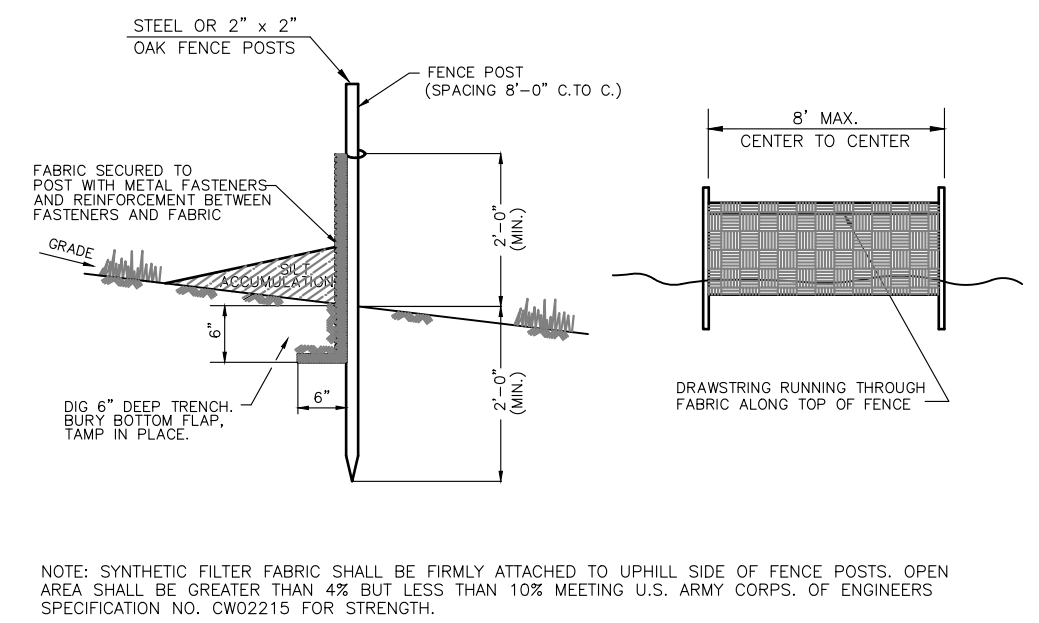
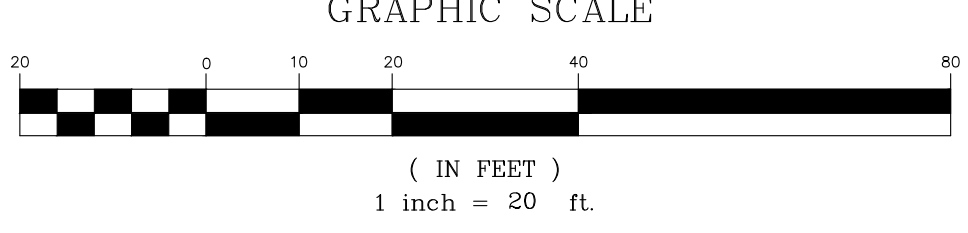


TYPICAL TOPSOIL STOCKPILE DETAIL

N.T.S.

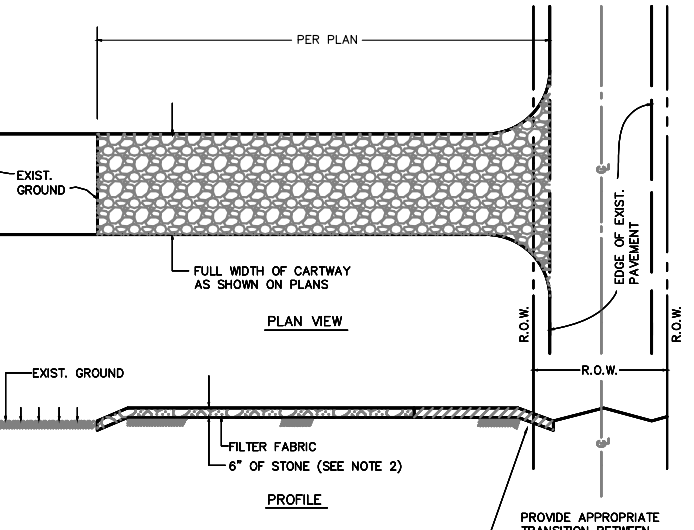


TOTAL AREA OF DISTURBANCE: 3,400 S.F. (0.08 ACRES)



SILT FENCE DETAIL

N.T.S.



STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

- 1. PLACE STABILIZED CONSTRUCTION ENTRANCE AT LOCATION(S) AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
2. STONE SIZE SHALL BE ASTM C-33, SIZE NO.2 OR 3, CRUSHED STONE.
3. THE THICKNESS OF THE STAB. CONST. DET. SHALL NOT BE LESS THAN 6".
4. THE WIDTH AT THE EXIST. PAVEMENT SHALL NOT BE LESS THAN THE FULL WIDTH OF POINTS OF INGRESS AND EGRESS.
5. THE STAB. CONST. DET. SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE ADJACENT PAVED SURFACE.
6. ALL SEDIMENT SPILLS, DROPPED, WASHED, OR TRACKED ONTO THE PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.

Table 29-1: Lengths of Construction Exits on Sloping Roadbeds

Table with 3 columns: Percent Slope of Roadway, Length of Stone Required (Coarse Grained Soils, Fine Grained Soils). Rows for 0 to 2%, 2 to 5%, and >5% slopes.

DUST CONTROL NOTES

TO PREVENT BLOWING AND THE MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, CONSTRUCTION ACTIVITIES, AND TO REDUCE ON-SITE AND OFF-SITE DAMAGE AND HEALTH HAZARDS, DUST CONTROL MEASURES SHALL BE ENACTED ON THE PROJECT SITE.

DUST CONTROL NOTES

DURING CONSTRUCTION, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE REMEDIATION TO CONTROL PARTICLES AND DUST THAT WILL ENTER INTO THE AIR DURING THE REMOVAL OFF THE ON-SITE STRUCTURES. THESE PROCEDURES MAY INVOLVE COATING THE DEBRIS WITH WATER OR ANOTHER SPRAY-ON ADHESIVE.

CONSTRUCTION SCHEDULE AND PROCEDURE FOR IMPLEMENTATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES

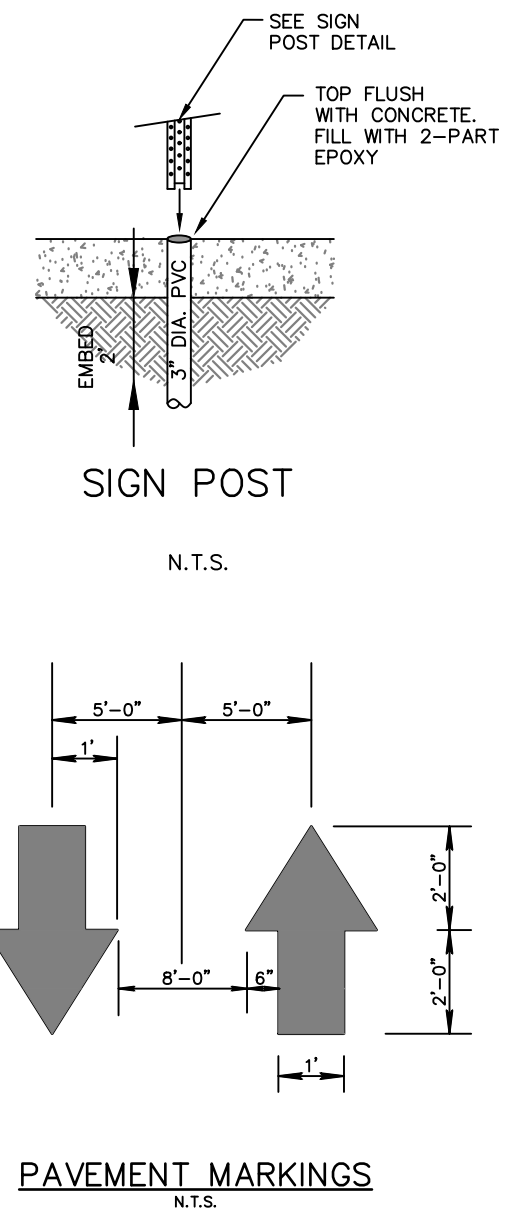
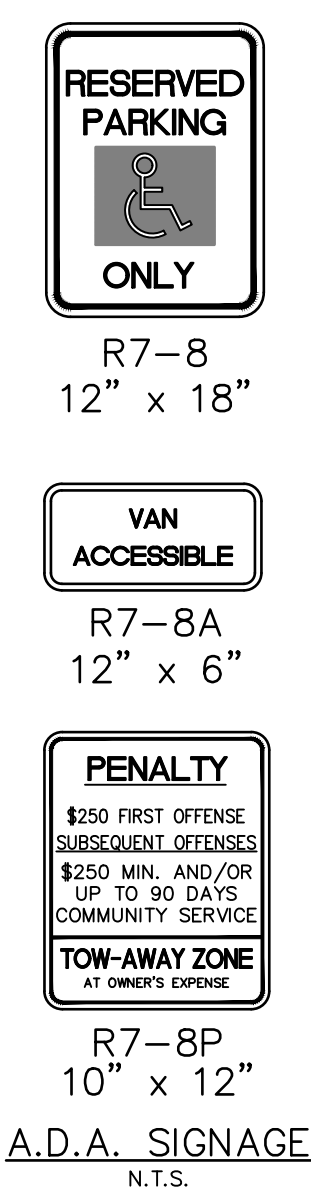
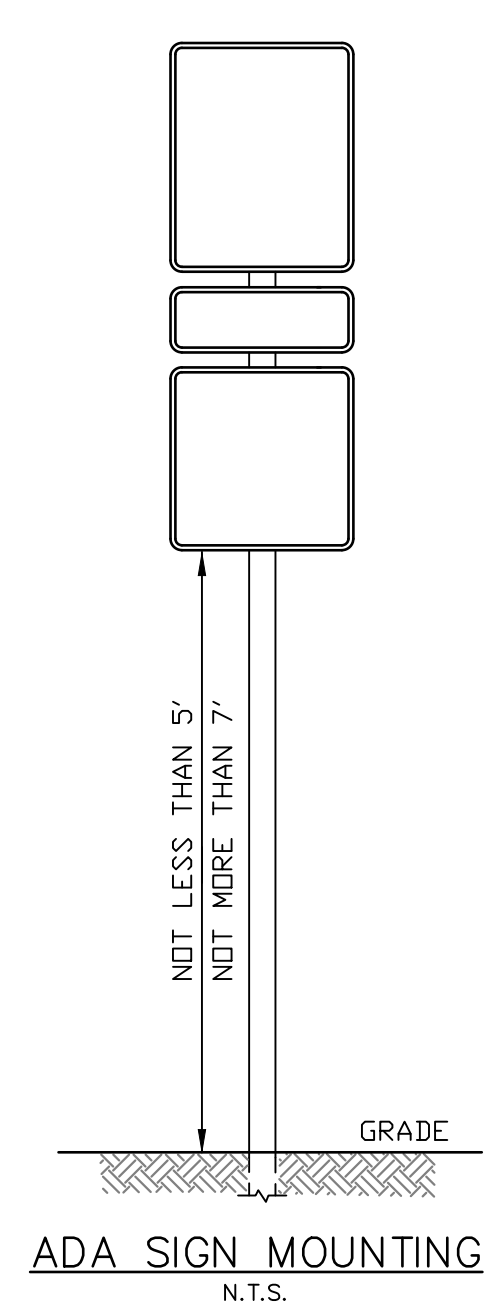
- 1. INSTALL SILT FENCE AND PROVIDE CONSTRUCTION ENTRANCE. 1 DAY
2. CLEAR AND ESTABLISH ROUGH GRADES AS NECESSARY TO REGRADE PARKING STONE AREAS AND CONSTRUCT LANDSCAPE WALL. 1 WEEK
3. CONSTRUCT LANDSCAPE WALL AND ADA PARKING SPACE. 1 WEEK
4. INSTALL LANDSCAPE PLANTINGS AND ESTABLISH PERMANENT VEGETATIVE COVER ON LOT. 2 DAYS
5. REMOVE SILT FENCE AFTER ALL DISTURBED AREAS HAVE BEEN ADEQUATELY STABILIZED. 1 DAY

NOTE: IN THAT N.J.S.A. 4:24-39 et seq. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY

PRELIMINARY & FINAL MAJOR SITE PLAN for SEA GRASS NJ, LLC SOIL EROSION PLAN. Includes project details, date (02/22/23), and sheet number (8 OF 10). Logo for EAST POINT ENGINEERING, LLC is also present.



### DETAILS FOR PAVEMENT MARKINGS AND TRAFFIC SIGNS



**PAVEMENT MARKING LEGEND**

UNLESS OTHERWISE SHOWN, PAVEMENT MARKINGS SHOULD CONFORM TO THE FOLLOWING:

CENTER LINE - 08L-4" WIDE SOLID YELLOW LINES, GAPPED AT INTERSECTIONS ONLY

EDGE LINE - 4" WIDE SOLID WHITE LINE, GAPPED AT INTERSECTIONS ONLY

STOP BAR - 24" WIDE SOLID WHITE LINE

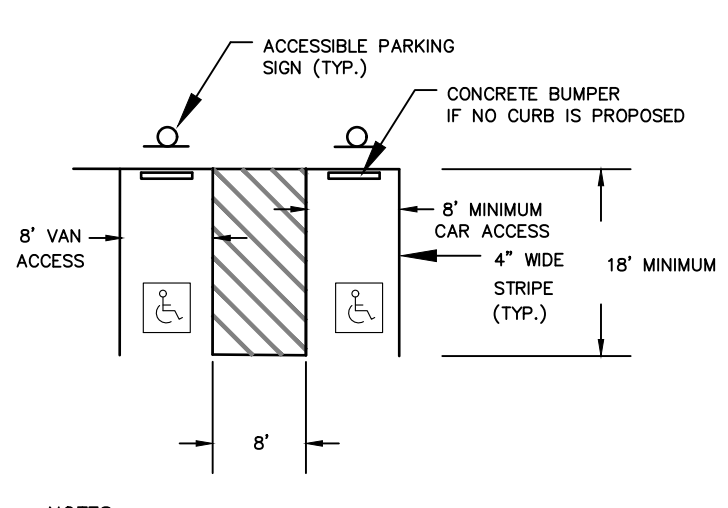
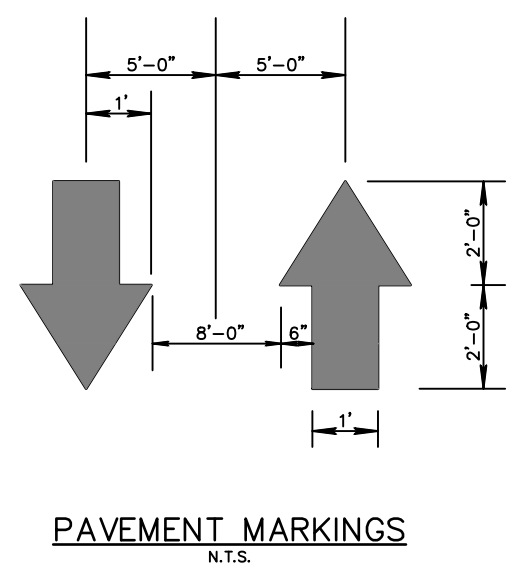
PARKING STALL LINES - 4" WIDE SOLID WHITE LINE

HANDICAP STALL LINES - 4" WIDE SOLID BLUE LINE

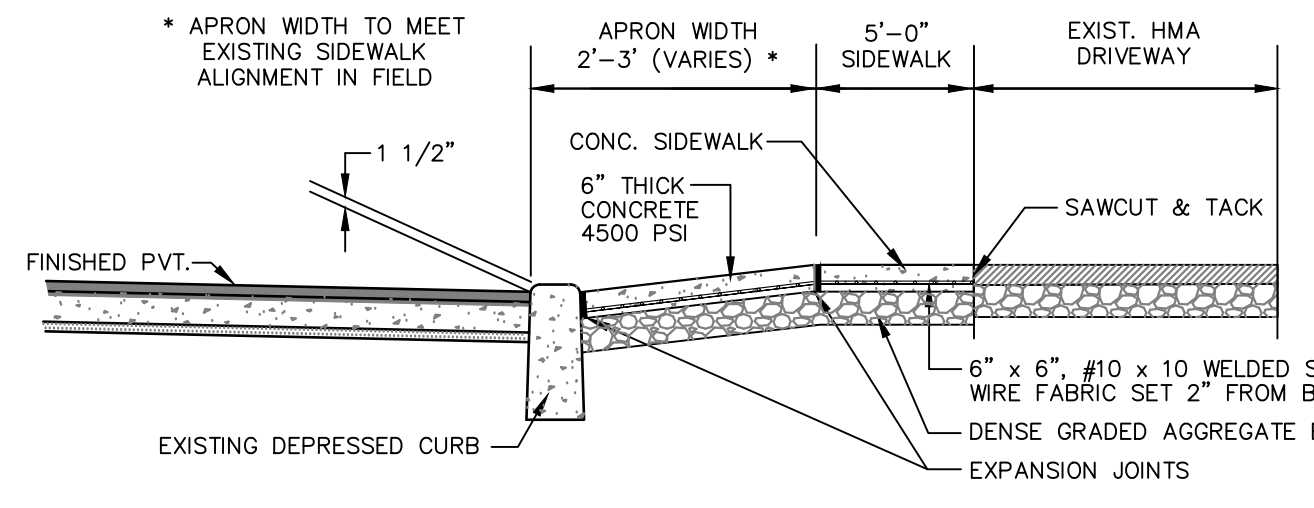
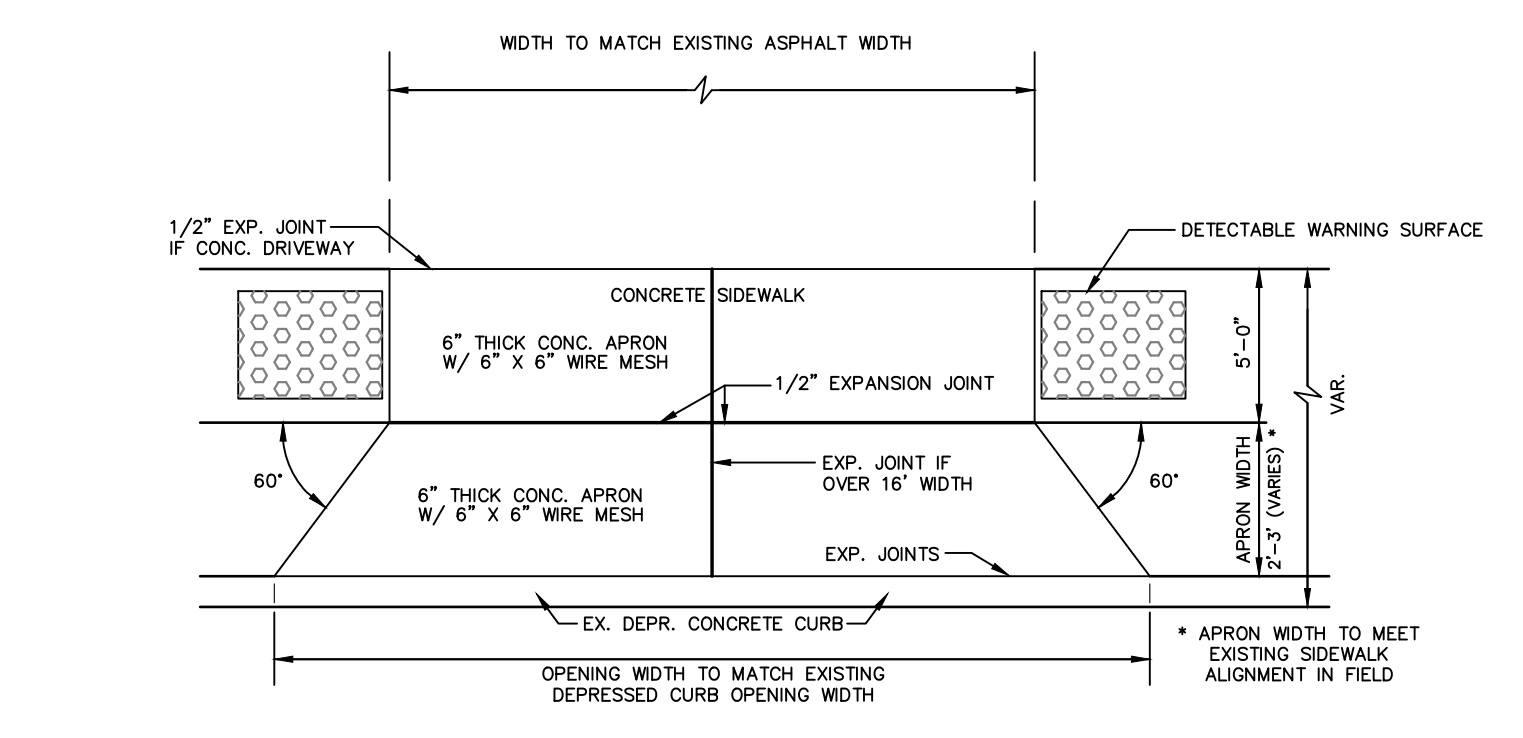
HANDICAP HATCH LINES - 4" WIDE SOLID BLUE LINE - SPACED 3" O.C. - ANGLED 45° TO PARKING DIRECTION

NO PARKING HATCH LINES - 4" WIDE SOLID YELLOW LINE - SPACED 2" O.C. - ANGLED 45° TO PARKING DIRECTION

NOTES:  
1) ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES  
2) ALL CONFLICTING SIGNS, TREES AND OTHER OBSTRUCTIONS SHALL BE REMOVED AS PART OF THIS CONSTRUCTION.  
3) ALL STRIPING TO BE REMOVED SHALL BE GROUND OFF WITHOUT DAMAGE TO THE PAVEMENT STRUCTURE.  
4) UNLESS OTHERWISE NOTED, ALL STRIPING SHALL BE LONG-LIFE EPOXY RESIN.

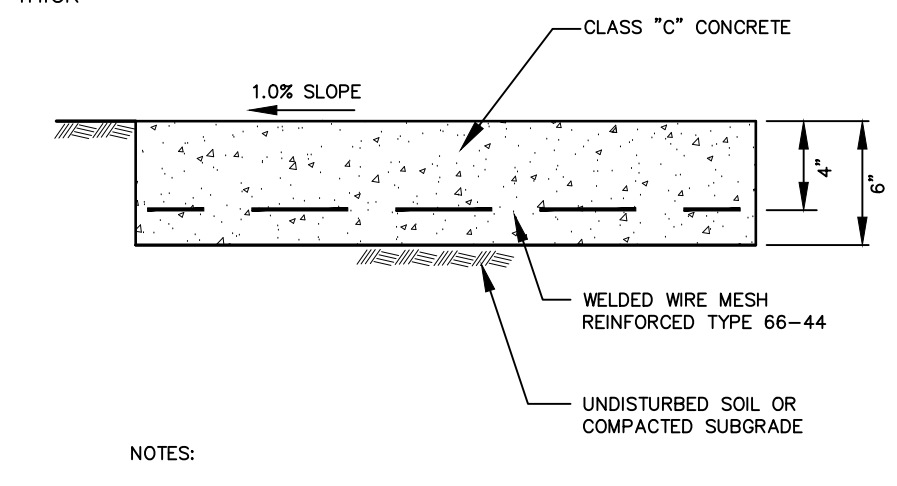
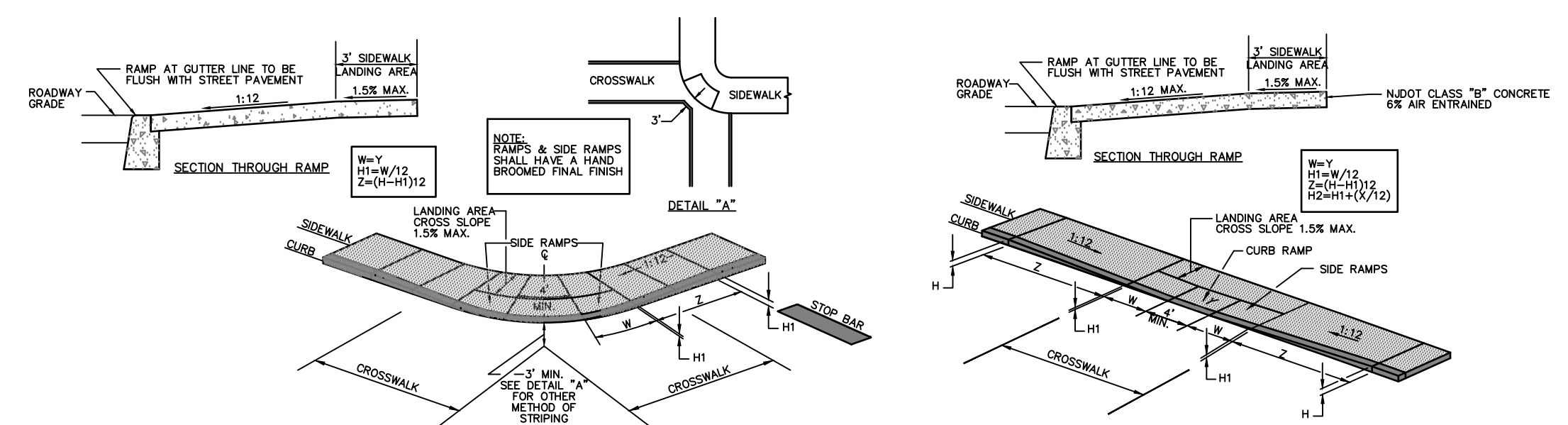


### ACCESSIBLE PARKING STRIPING LAYOUT

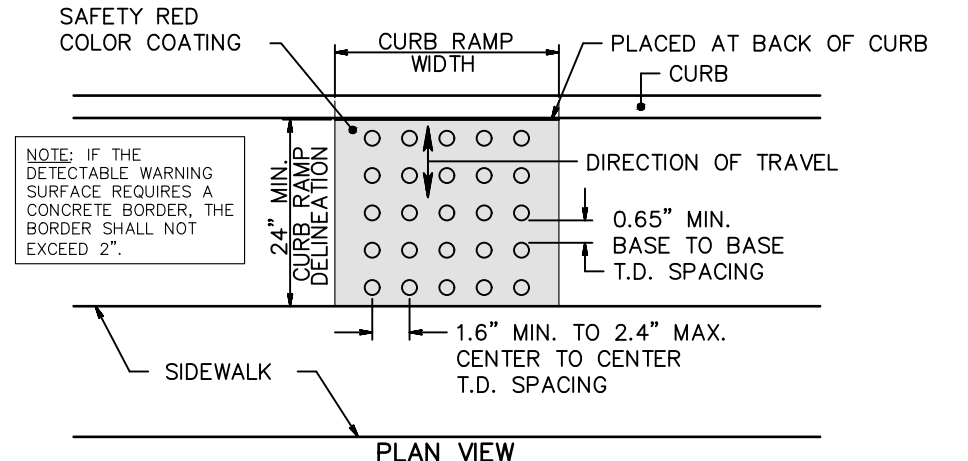


- NOTES:**
- CONCRETE TO TEST 4500 POUNDS PER SQUARE INCH MINIMUM ON 28 DAY COMPRESSIVE TEST.
  - TRANSVERSE EXPANSION JOINTS, 1/2" WIDE SHALL BE PROVIDED AT INTERVALS OF NOT MORE THAN 8' AND FILLED WITH PREFORMED BITUMINOUS CELLULAR TYPE JOINT FILLER.
  - LONGITUDINAL JOINTS, 1/2" WIDE SHALL BE PROVIDED BETWEEN CURBS AND ADJUTING SIDEWALKS, AND SHALL BE FILLED WITH PREFORMED BITUMINOUS TYPE JOINT FILLER.
  - THE TOP OF ALL JOINT FILLER SHALL BE 1/2" BELOW THE TOP OF THE SIDEWALK AND FILLED WITH JOINT SEALER (SIKAFLEX-1A OR APPROVED EQUAL).

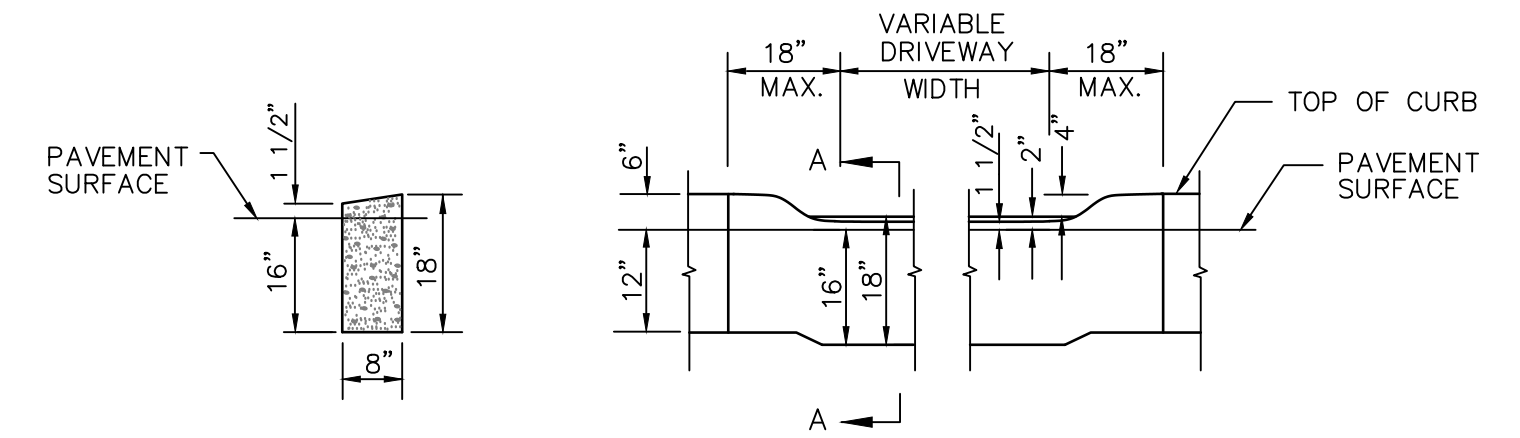
### CONCRETE DRIVEWAY APRON, 6" THICK, REINFORCED



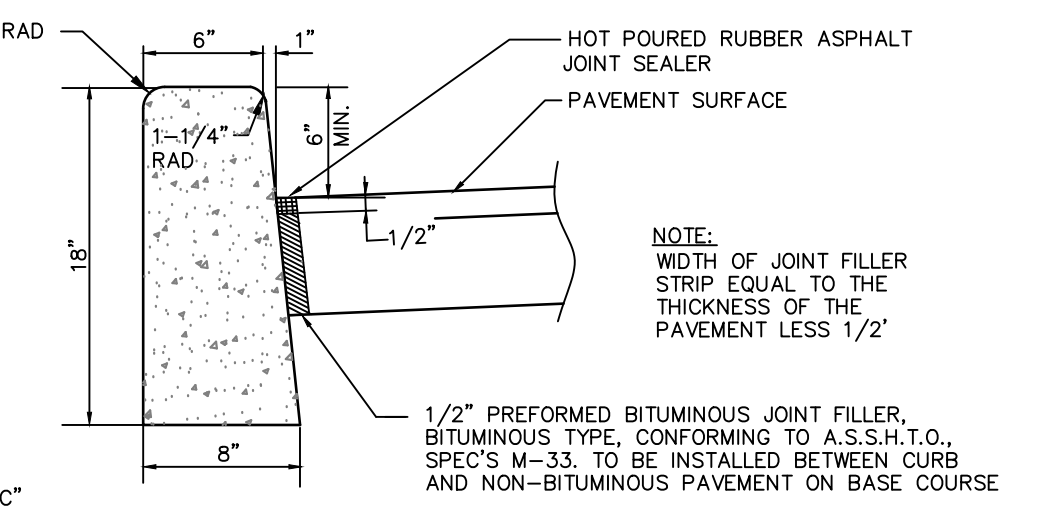
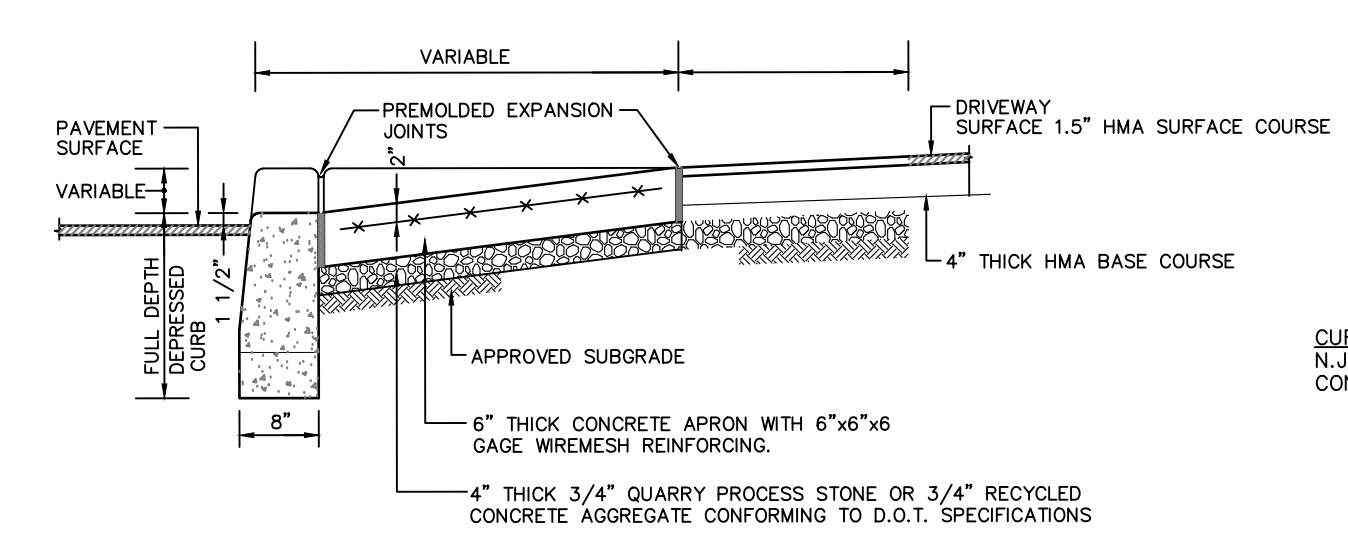
### REINFORCED CONCRETE AT ADA PARKING



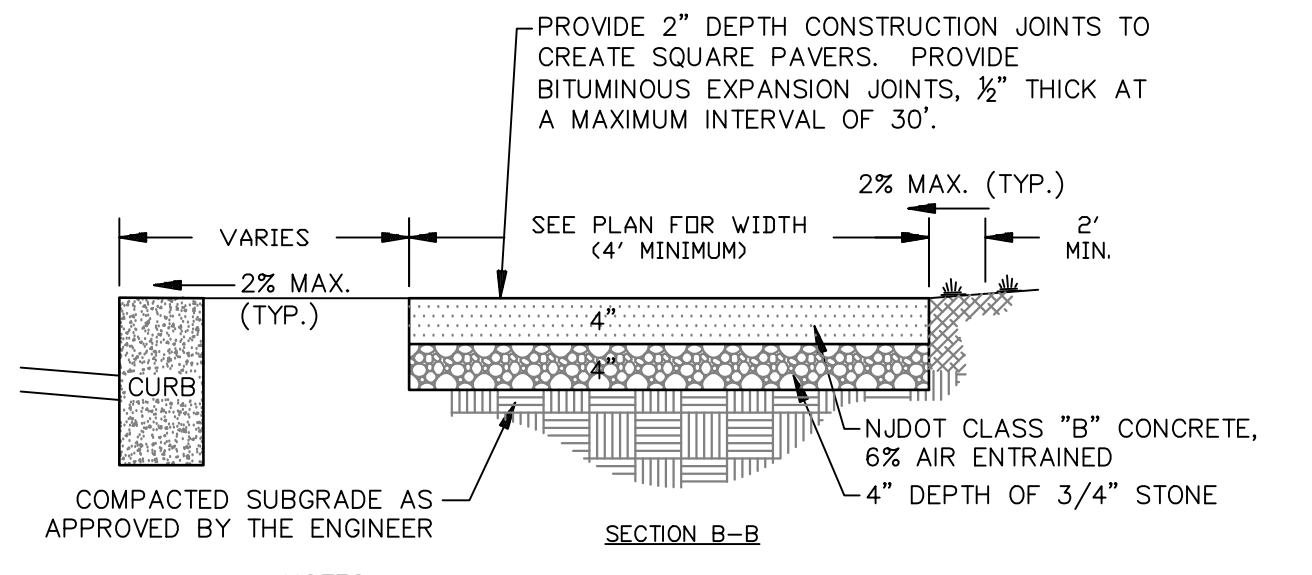
### DETECTABLE WARNING SURFACE DETAIL



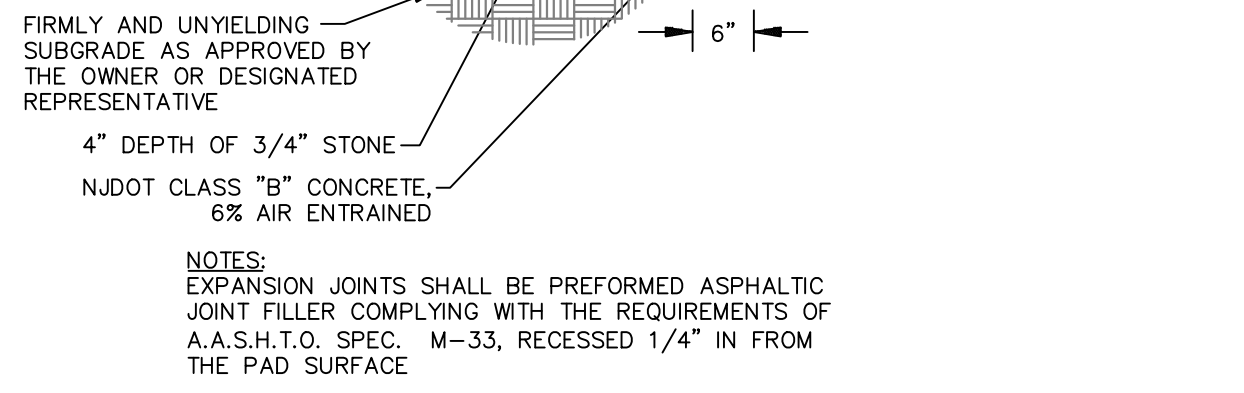
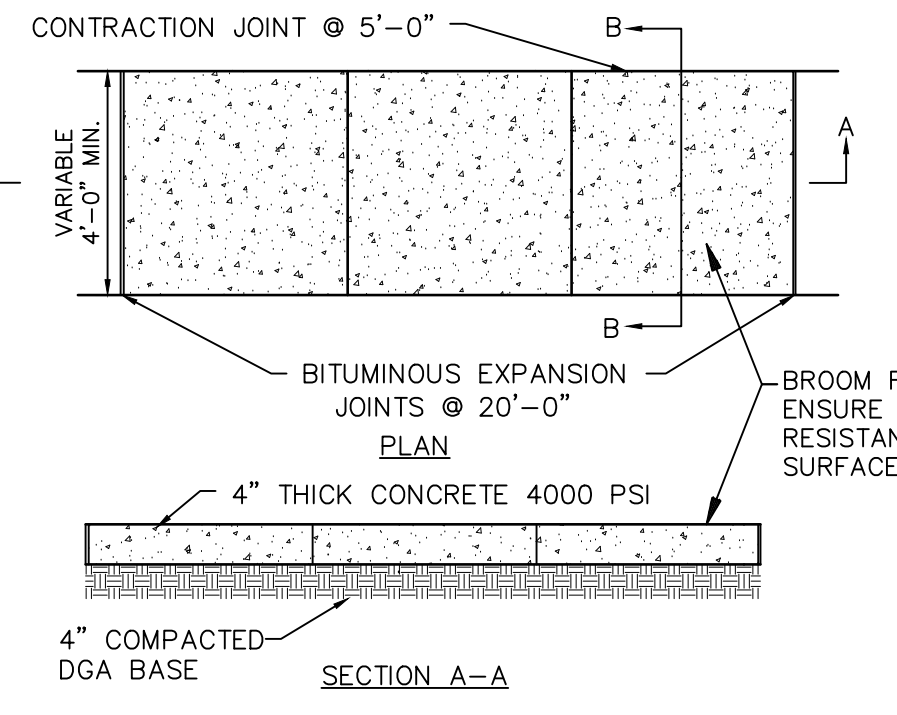
### DEPRESSED CURB



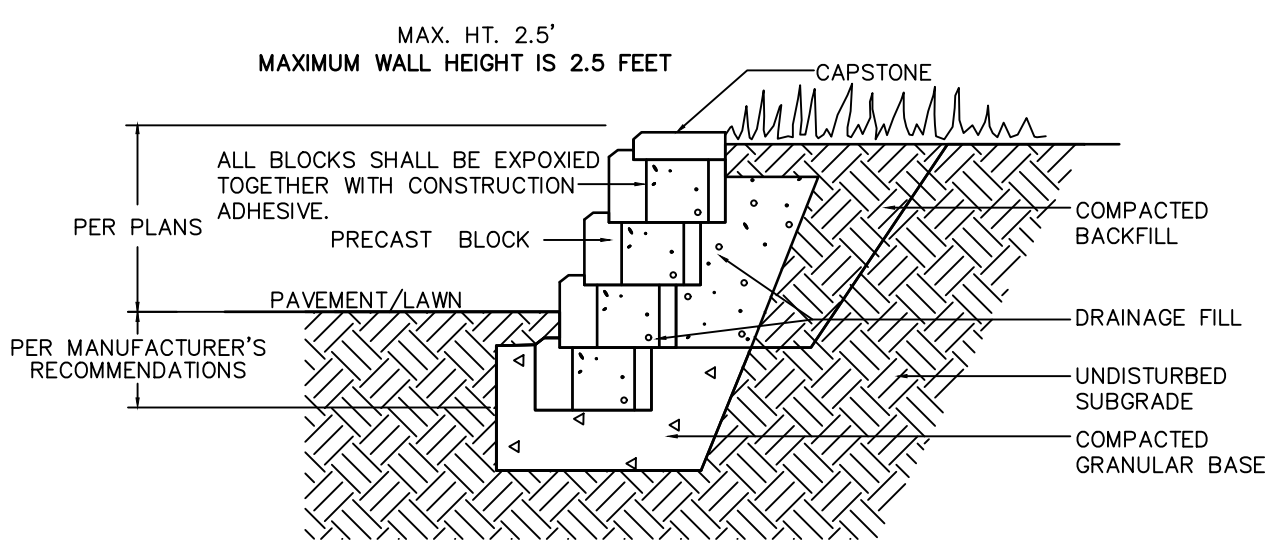
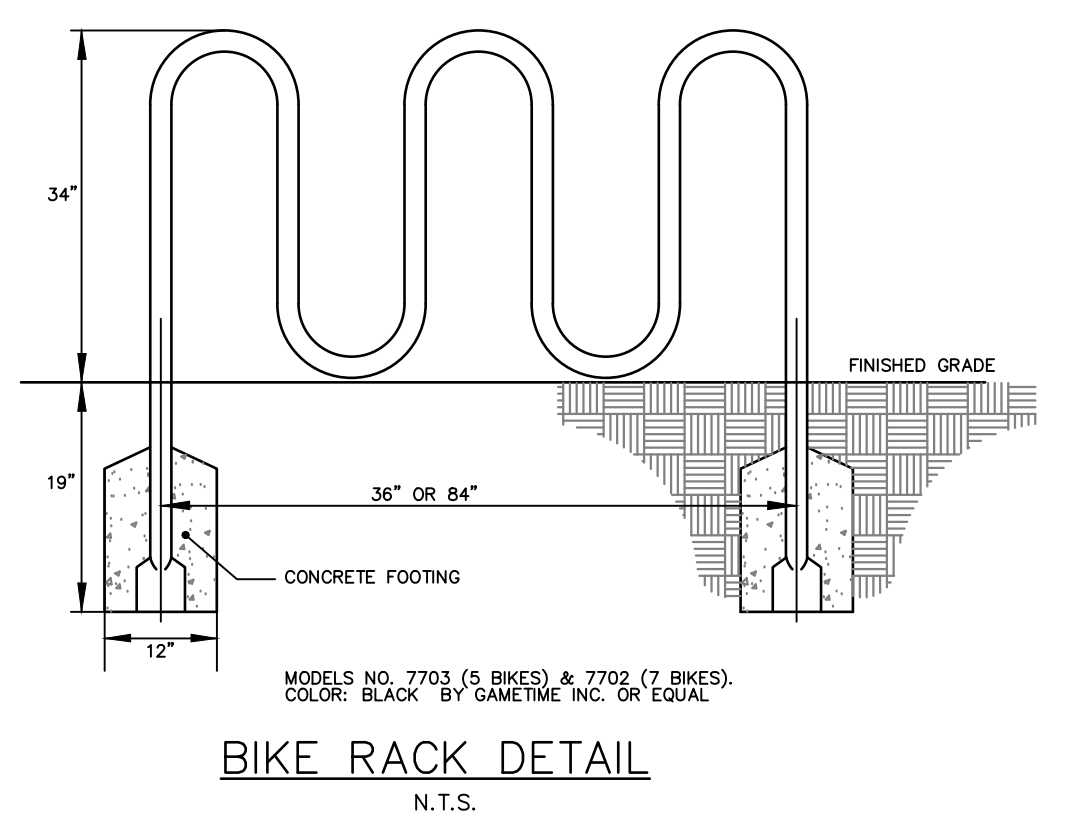
### CONCRETE VERTICAL CURB



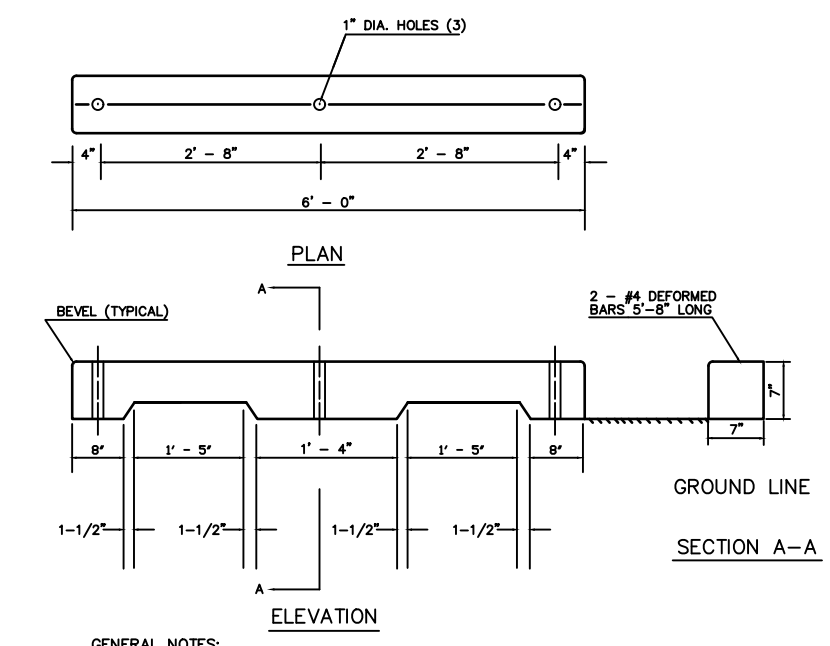
### CONCRETE SIDEWALK 4" THICK



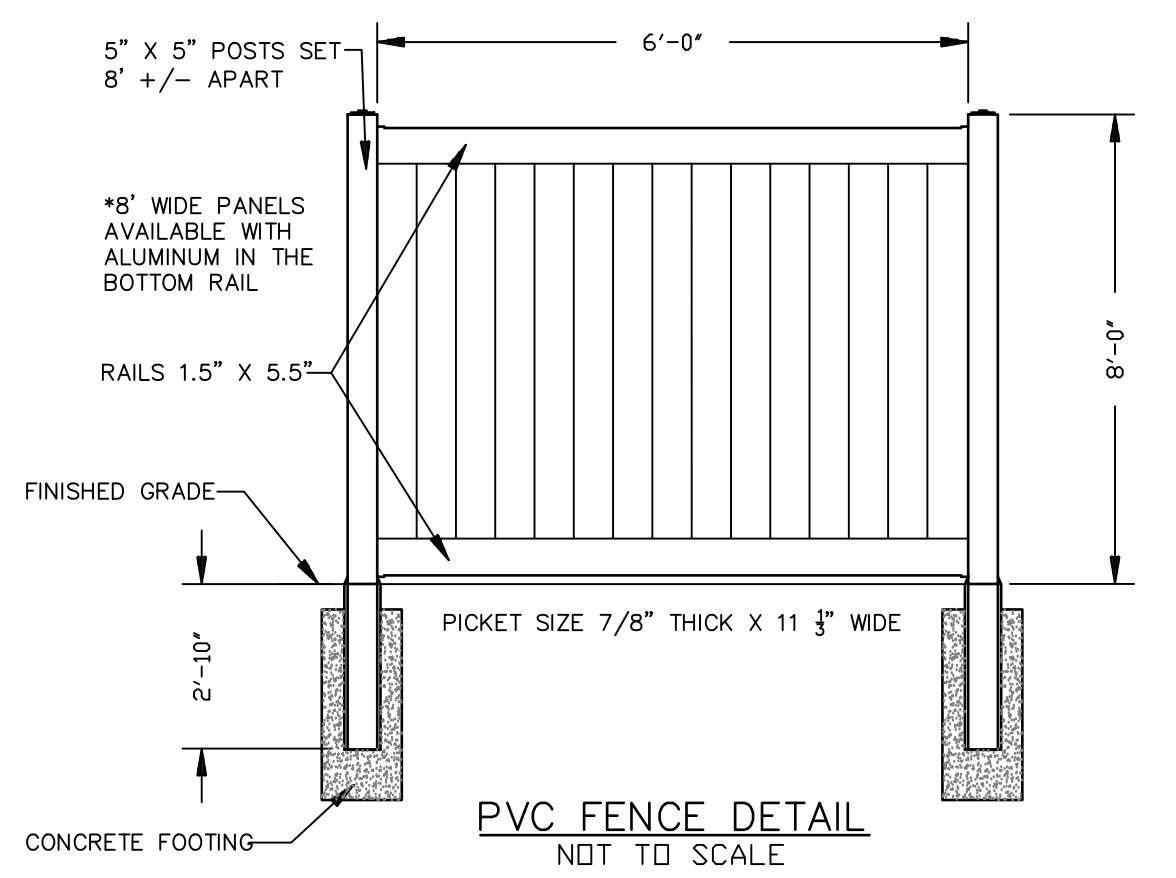
### DEPRESSED CURB, APRON AND DRIVEWAY DETAIL



### LANDSCAPE WALL DETAIL



### PRECAST CONCRETE WHEEL STOP



2	2-22-23	REVISED PER BOROUGH ZONING BOARD MEETING COMMENTS
1	1-23-23	REVISED PER BOROUGH TRC MEETING COMMENTS
NO.	DATE	DESCRIPTION
<b>PRELIMINARY &amp; FINAL MAJOR SITE PLAN</b>		
<b>SEA GRASS NJ, LLC</b>		
<b>CONSTRUCTION DETAILS</b>		
BLOCK 72, LOT 12 & BLOCK 73, LOT 2		
BOROUGH OF HIGHLANDS		
MONMOUTH COUNTY, NEW JERSEY		
TAX MAP SHEETS NO. 15 & 16		
<b>EAST POINT ENGINEERING, LLC</b>		11 South Main Street Marlboro, NJ 07746 Tel: 732.577.0180
BRENT N. PAPI, JR. N.J. PROFESSIONAL ENGINEER, LICENSE NO. 24604732700		DATE: 02/22/23 SCALE: N.T.S. CHECKED BY: M.S.L.
PROJECT NUMBER: 21-1166		SHEET NO. 9 OF 10

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BUILDING WALL MOUNTED SIGN AT LOT 12, BLOCK 72



SIGN REQUIREMENTS – ORD. SEC. 21-102

BUILDING WALL MOUNTED SIGN – REPLACE EXISTING

MAX 15% OF FRONT BUILDING FACADE –  
 PERMITTED 460 SF x 15% = 69 SF – PROPOSED 28.2 SF

OFF-PREMISE GROUND MOUNTED SIGNS TO REPLACE EXISTING

MAX PERMITTED SIZE 24 SF  
 PARKING LOT SIGN = 20.8 SF (COMPLIES)  
 BOROUGH HISTORIC SIGN = 20.7 SF (COMPLIES)



EZ MARKER™ PARKING DELINEATORS



Used with EZ Roll™ Grass and Gravel Pavers, NDS EZ Marker™ is a modular solution to outlining driving lanes, parking stalls, and fire lanes. After the pavers have been leveled, pinned, and secured, EZ Marker™ snaps into the appropriate empty cells to outline whatever pattern necessary to properly direct vehicular traffic.

EZ Marker™ Parking Delineators increase safety and organization by strategically directing parking lot traffic. Delineators are a great way to guide motorists around hazards and to their final parking destination. Used in conjunction with EZ Roll™ Grass and Gravel Permeable Pavers they provide a simple and effective solution for managing parking lot traffic. EZ Marker™ is durable, tamper-resistant and built to last. Available in various colors to suit any traffic need including grass or gravel parking and fire lane access.

Specifications

- 2.7" hexagonal shape
- 300 PSI class "C" compressive strength
- 6.40" profile above paver grade
- Easy clip-in installation
- Molded polypropylene, impact copolymer
- Self-cleaning: Raised dome design prevents debris from sticking

Part No.	Description	Color
EDMARKER-0	EZ Roll™ Parking Delineator	White
EDMARKER-8	EZ Roll™ Parking Delineator	Blue
EDMARKER-6	EZ Roll™ Parking Delineator	Red
EDMARKER-1	EZ Roll™ Parking Delineator	Yellow

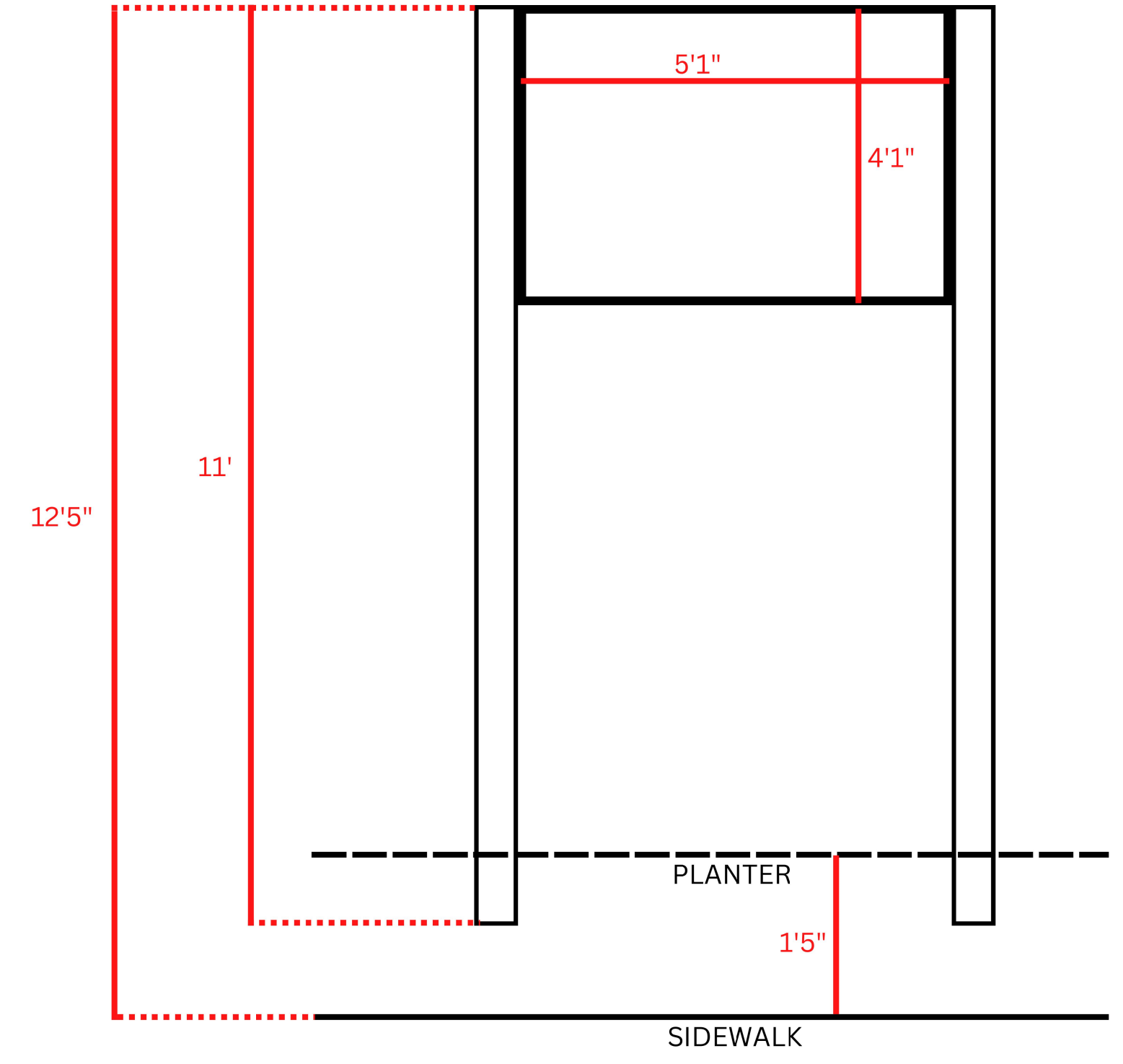
For Permeable Paver Technical Information, Refer to Technical Specification documents at [ndspro.com/specifications](https://ndspro.com/specifications)

for videos, specs, detail drawings and case studies, visit [ndspro.com](https://ndspro.com)

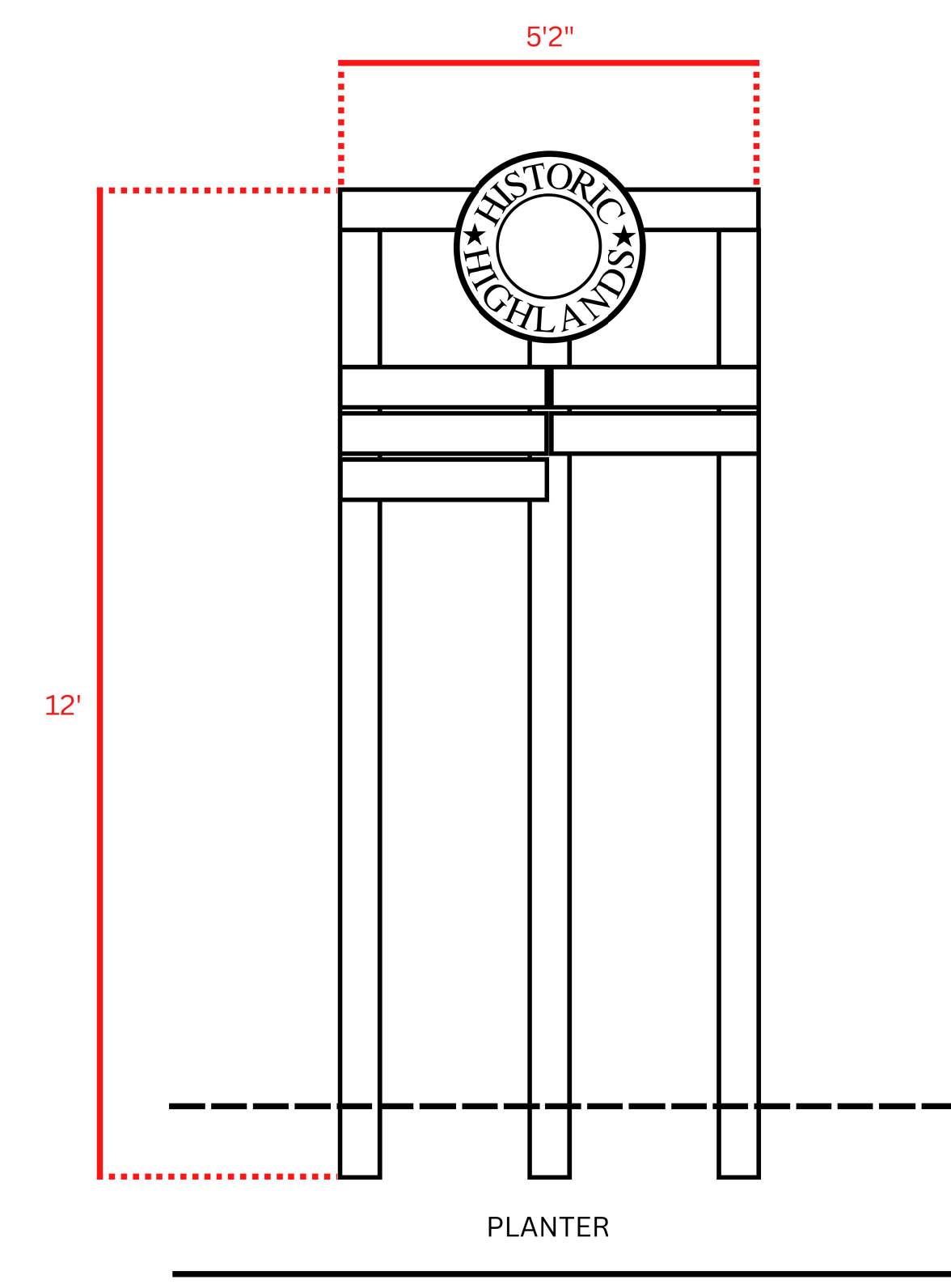
EZ MARKER PARKING DELINEATORS

TO BE COLOR WHITE AND INSTALLED AS PER MANUFACTURERS REQUIREMENTS.

OFF-PREMISE GROUND MOUNTED PARKING LOT SIGNS AT LOT 2, BLOCK 73



PARKING LOT SIGN



BOROUGH HISTORIC SIGN

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2	2-22-23	REVISED PER BOROUGH ZONING BOARD MEETING COMMENTS
1	1-23-23	REVISED PER BOROUGH TRC MEETING COMMENTS
NO.	DATE	DESCRIPTION

**PRELIMINARY & FINAL MAJOR SITE PLAN**  
**SEA GRASS NJ, LLC**  
**SIGN PLAN**  
 BLOCK 72, LOT 12 & BLOCK 73, LOT 2  
 BOROUGH OF HIGHLANDS  
 MONMOUTH COUNTY, NEW JERSEY  
 TAX MAP SHEETS NO. 15 & 16

**EAST POINT ENGINEERING, LLC**  
 11 South Main Street  
 Marlboro, NJ 07746  
 Tel: 732.577.0180

*Brent N. Papi, Jr.*  
 BRENT N. PAPI, JR.  
 N.J. PROFESSIONAL ENGINEER, LICENSE NO. 246E04732700

DATE: 02/22/23  
 SCALE: N.T.S.  
 CHECKED BY: M.S.L.

PROJECT NUMBER: 21-1166  
 SHEET NO. 10 OF 10



# MONMOUTH COUNTY DEVELOPMENT REVIEW COMMITTEE

HALL OF RECORDS ANNEX  
 ONE EAST MAIN STREET  
 FREEHOLD, NEW JERSEY 07728-1255  
 DEVELOPMENTREVIEW@CO.MONMOUTH.NJ.US  
 (732) 431-7460

## Site Plan Action

Our File # HSP10385

This is to inform the Borough of Highlands Planning Board

that the Site Plan Application of Sea Grass NJ, LLC

known as Preliminary & Final Major Site Plan Sea Grass NJ, LLC

located in Tax Map Blocks 72, 73 Lots 12, 2

Owned by: Leonel Cervantes

Drawn by: East Point Engineering

and dated 1/23/2023, was received in this office on 2/7/2023. On 2/27/2023 the following action

was taken by the:  Development Review Committee  Planning Director

Request Information. No action will be taken until the items listed below are submitted.

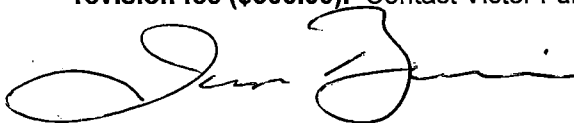
If disapproved, the reasons listed below or on the attached sheet must be rectified before approval will be given. If conditionally approved, the conditions listed below or on the attached sheet must be met before final approval will be given. This action does not release the applicant from obtaining a consistency determination pursuant to N.J.A.C. 7:8-1 et seq. (Monmouth County Areawide Water Quality Management Plan). Prior to commencing any work within the right-of-way of a county highway or before doing any work that affects a county bridge, the applicant is required to obtain a road opening permit from the Monmouth County Highway Department. A review of the location of subsurface utilities within county road rights-of-way will be conducted by the County Highway Department upon application for a road opening permit. Prior to planting or removal of trees or shrubs within or along the right-of-way of a county highway, the applicant is required to obtain a permit from the Monmouth County Shade Tree Commission.

Note: County review is made only on items covered by statutory authority.

The following items must be addressed before formal review and action by the Development Review Committee:

1. Address the comments in the memorandum prepared by Vince Cardone, dated February 23, 2023.
2. Address the comments in the memorandum prepared by Ellias Sarrinikolaou, dated February 9, 2022.
3. Address the comments in the memorandum prepared by Victorino Zabat, dated February 27, 2023.

Provide an itemized response to these comments. **Revised plans shall be accompanied by the plan revision fee (\$300.00).** Contact Victor Furmanec at (732) 431-7460 x.7467 if you have any questions.



Joseph Barris, P.P., A.I.C.P., C.F.M.  
 Director of Planning  
 For the Development Review Committee

cc: East Point Engineering  
 John B. Anderson III, Esq.  
 Mark R. Aikins, Esq.  
 J. Ettore; V. Cardone; R. Bragg; T. Lombardi; V. Zabat  
 Highway Department / Construction Official  
 HSP10385 1414 RI

# The Board of County Commissioners of the County of Monmouth

## DEPARTMENT OF PUBLIC WORKS & ENGINEERING

**JOHN W. TOBIA**  
Director  
Email: jwtoبيا@co.monmouth.nj.us



**JOSEPH M. ETTORE**  
County Engineer  
Email: engineer@co.monmouth.nj.us

**DIVISION OF ENGINEERING  
& TRAFFIC SAFETY**  
Hall of Records Annex  
Freehold, New Jersey 07728  
Telephone: (732) 431-7760  
Fax: (732) 431-7765

February 23, 2023

### SUBDIVISION/SITE PLAN TRAFFIC REVIEW MEMORANDUM

**TO: Joe Barris, PP, AICP, CFM, Director of Planning**

**FROM: Vincent Cardone, PE, Principal Engineer II, Traffic**

A handwritten signature in black ink, appearing to read "VC", is written over the "FROM:" line.

**RE: HSP10385-Sea Grass, LLC  
County Route 8  
Block 72, Lot 12, and Block 73, Lot 2  
Highlands**

The following was reviewed in relation to the above noted site plan application:

- Preliminary & Final Major Site Plan, Block 72, Lot 12 & Block 73, Lot 2, Borough of Highlands, Prepared by East Point Engineering, Revised Through 1-23-23

The following comments/recommendations are made to the Development Review Committee (DRC) pursuant to the Design Standards set forth in the Monmouth County Development Regulations (MCDR):

- T1. The intended parking area for the proposed business is across CR 8 (Bay Ave). It is recommended that the DRC require a crosswalk across CR 8, including appropriate ADA ramps and pedestrian warning signs. The crosswalk should be consistent with MCDR Figure 12, and the pedestrian warning signs should be fluorescent yellow-green MUTCD signs W11-2 and W16-7pL.
- T2. Per the County Road plan, the standard right of way along CR 8 is 60 ft. The right of way as shown is 50 ft. There appears to be an existing encroachment on Block 72, Lot 12. Obtaining additional ROW consistent with the road improvement plans would increase this encroachment. However, per my conversation with Lee Klein of Klein Traffic consulting, the applicant is preparing plans to remove the existing "waiting area" in favor of an ADA ramp. Increasing the ROW at Block 73, Lot 2 would place parking spaces within County right of way. For these reasons, the DRC may wish to wave the right of way requirements outlined in the MCDR.



To: Joe Barris, Director of Planning  
HSP10385-Sea Grass, LLC

Page 2 of 2  
2/23/23

T3. The applicant is proposing "streetscape planters" within the right of way and also apparently within the AASHTO sight line of Sea Drift Ave. Provide a detail of the planters, and also show the AASHTO sight line on the plan.

T4. Per §5.1-2, show a sight triangle easement at CR 8 and Bay Ave.

Per my conversation with Mr. Klein, it is not likely that the new ADA ramp can be constructed while not obstructing the County's standard site triangle easement (In this case 25ft x 250 ft). Therefore, it is recommended that the DRC accept the minimum required by AASHTO (14.5 ft from edge of traveled way, 280 ft along CR 8).

T5. Label all signs along site frontage with MUTCD designation.

Please request that the applicant provide an itemized response to this memorandum. Additional recommendations or comments may be made upon submittal of additional or revised application documents. I will attend the Development Review Committee meeting on February 27, 2023 to discuss the above items with the Committee. In the interim, please contact me with questions or comments.

Attachments: (none)

- c. David Schmetterer, Assistant Director of Planning
- Victor Furmanec, Supervising Planner
- Kyle DeGroot, Assistant Planner
- Jeannine Smith, Planning Aide
- Joseph Ettore, County Engineer
- Raymond Bragg, Assistant County Engineer
- Michael Nei, Traffic Engineer
- Thomas Lombardi, Supervising Engineer
- Victorino Zabat, Principal Engineer

Item 1.

**Monmouth County**  
**Board of County Commissioners**

**DEPARTMENT OF PUBLIC WORKS & ENGINEERING**

**JOHN W. TOBIA**  
Director  
Email: [jwtobia@co.monmouth.nj.us](mailto:jwtobia@co.monmouth.nj.us)



**Gary Fread**  
Superintendent  
Divisions of Highway/Shade Tree  
Email: [Gary.Fread@co.monmouth.nj.us](mailto:Gary.Fread@co.monmouth.nj.us)

250 Center Street  
Freehold, New Jersey 07728  
Telephone: (732) 431-6550  
Fax: (732) 431-7833

**MEMORANDUM**

**TO:** Victor Furmanec, Monmouth County Division of Planning  
Kyle DeGroot, Monmouth County Division of Planning

**FROM:** Ellias Sarrinikolaou, LLA, MCDPW&E

**DATE:** February 9, 2022

**RE:** File Number HSP10385; "Sea Grass NJ. LLC", Preliminary and Final Major Site Plan, Block 72, Lots 12 & Block 73, Lot 2, Borough of Highlands, Bay Avenue, CR 8, Monmouth County, NJ

Landscape Comments:

1. Label and indicate the County ROW line on the landscape plan.
2. The applicant is proposing 3 streetscape planters. Submit details and manufacturers catalog cuts for review. The location is proposed near the intersection of Sea Drift Avenue and CR 8, Bay Avenue. The planters' locations must be reviewed by County Engineering with regards to possible conflict and or sight line issues.

Submit additional planter information regarding:

- a. Materials of planters
- b. Anchoring of planters
- c. Size, width and height, and weight of planters
- d. Type of ornamental grasses

Additionally, the county does not typically maintain planted containers or planters in the county ROW. This feature in the streetscape will become solely the responsibility and liability of the applicant and or the municipality. Submit further information for review.

3. The applicant proposes a wall of some kind, in the County ROW, for Block 73 lot 2.
  - a. Provide detail of materials of retaining wall and its proposed construction.
  - b. Provide drainage details behind wall, and section, as well as depth of footing.
  - c. County engineering will need to review the wall with regards to permitting this structure within the ROW, and if it creates any additional sight line issues near the adjacent intersection.

4. Please label Block 73, Lot 2 clearly.
5. The applicant does not propose any street trees within the ROW, and the County does not take exception. We do offer our experience and observations with street trees on CR 8, Bay Avenue.
  - a. County has found that brackish ground water has been observed in tree pits on this roadway and ground water levels fluctuate with rain and tidal occurrences.
  - b. Even though proposed serviceberry, Amelanchier is proposed outside of the ROW, the trees, regardless of species, may be impacted by ground water.
  - c. The tree is of small stature and typically a large shrub, it height may encroach into the pedestrian sidewalk on CR8.
  - d. Please ensure that trees near and outside the ROW are clearly not installed in the County ROW.
  - e. The applicant must ensure that trees are not planted with in a dedicated utility easement.
6. Please indicate on the landscape plan the location of all overhead utilities on the County Road.
7. In accordance with the guidelines, the applicant shall indicate the average heights of all plant materials at maturity in the plant list.



# The Board of Chosen Freeholders of the County of Monmouth

## DEPARTMENT OF PUBLIC WORKS & ENGINEERING

**JOHN W. TOBIA**  
Director of Public Works & Engineering  
Email: jwtoبيا@co.monmouth.nj.us



**JOSEPH M. ETTORE**  
County Engineer  
Email: engineer@co.monmouth.nj.us

**DIVISION OF ENGINEERING  
& TRAFFIC SAFETY**  
Hall of Records Annex  
Freehold, New Jersey 07728  
Telephone: (732) 431-7760  
Fax: (732) 431-7765

27 Feb., 2023

(a) MEMORANDUM

**TO:** Joe Barris, Director of Planning

**FROM:** Victorino B. Zabat, P.E., Principal Engineer

**RE:** HSP 10385 – Sea Grass  
County Route 8, Bay Avenue  
Block 72, Lot 12, & Block 73, Lot 2  
Borough of Highlands

The following items were received by this office in connection with the above-referenced application:

1. Preliminary & Final Major Site Plan, Sea Grass NJ. LLC. Block 72, Lot 12, & Block 73, Lot 2, Borough of Highlands, Monmouth County, New Jersey, dated 21 Jan., 2023

Please request the following from the applicant and applicant's engineer, so that we can continue our review:

1. Indicate the County Route designation of Bay Avenue.  
Indicate the right-of-way centerline of Bay Avenue.
2. Provide dimensions from the centerline of CR 8, Bay Avenue to:
  - a. Right of way fronting the site;
  - b. Curb line fronting the site;
  - c. Right of way and curb line opposite the site.
3. Was right-of-way for CR 8, Bay Avenue established at 30-ft. from centerline? If so, indicate the Deed Book and page on the plan. Provide the following:
  - a. Metes and bounds of the dedication;
  - b. area of dedication, in acres and sq.ft.;
  - c. grantee of dedication;
  - d. deed of dedication, with parcel description for review.

continued

To: Joe Barris, Director of Planning  
 From: Victorino B. Zabat, Principal Engineer

Page: 2 of 3  
 RE: HSP 10385

3. (continued) If right-of-way was not established as above, then provide right-of-way dedication to 40-ft. from centerline of for CR 23, Jackson Mills Road. Provide information requested in comments 3.a-3.c above. Provide a deed of dedication, with parcel description for review.
4. Indicate how storm runoff will be addressed.
5. Indicate limit of asphalt and gravel parking areas.
6. Plans indicate a wall within the right-of-way of CR 8, Bay Avenue, fronting the parking area. Street photographs indicate that this wall exists. This is not acceptable.
  - a. Linework for the wall on the plans suggests that this wall is proposed. Revise as necessary, indicate intervening paths between segments of the existing wall;
  - b. Eliminate this wall from the right-of-way of CR 8, Bay Avenue.
  - c. If this wall will be rebuilt outside the right-of-way of CR 8, Bay Avenue, provide minimum one (1) ft. clear distance from the right-of-way to any underground, ground-level or above ground element of the wall. Provide corresponding dimension. Place similar language on the site plan and the grading plan.
7. Provide a cross-section of the wall, perpendicular to the right-of-way of CR 8, Bay Avenue, at 1-in. = 30-ft. horizontal scale and 1=ft. vertical scale, or greater. Indicate underground, ground-level and above ground elements of the wall. Place dimension from the nearest element of the wall to the right-of-way of CR 8, Bay Avenue, Place language regarding location of the wall behind the right-of-way. Refer to comment 6.c above.
7. The accessible path was indicated crossing CR 8, Bay Avenue. Plans and street photos did not indicate a crosswalk.
  - a. Provide a crosswalk for the accessible path, using thermoplastic stripes;
  - b. Provide ADA ramps at both ends of the crosswalk, i.e. fronting Lot 12 and Lot 2;
  - c. Indicate detectable warning surfaces (DWS) at both ends of the crosswalk, directional to the crosswalk.
8. Provide grading details for the ADA ramps, at scale 1-in. = 6-ft. or greater. Provide the following information:
  - a. Provide spot elevations at top and bottom of all existing and proposed curb ramps; at corners of detectable warning surfaces, and associated landing / maneuvering areas; at corners of all transition areas, and at corners of ramp flares, as indicated on Attachment 1;
  - b. Indicate clearly that all changes in longitudinal / running slope are perpendicular to the direction of the associated sidewalk and that all cross-slopes are at maximum 2%, as indicated in Attachment 2;
  - c. Indicate clearly that all detectable warning surfaces are located at the lower end of each curb ramp, as indicated on Attachment 3;
1. Indicate clearly that the lower edge of each detectable warning surface is 6-in – 8-in. from the face of curb, or adjacent to the back of curb, as shown on Attachment 3A;

continued

To: Joe Barris, Director of Planning  
From: Victorino B. Zabat, Principal Engineer

Page: 3 of 3  
RE: HSP 10385

- 8.d. Provide computations to verify that all longitudinal / running slopes are at maximum 8.33% (1V:12H) and that all cross slopes are at maximum 2% at locations indicated on Attachment 4. Use design slopes of 7.0% and 1.5% respectively, to allow for construction tolerances;
- e. Indicate clearly that curb ramps within the right-of-way of C.R. 8, Bay Avenue., are aligned with crosswalks, as indicated in Attachment 5;
- f. If curb ramps are not aligned with crosswalks, provide 4-ft. x 4-ft. Turning Area with maximum 2% slope, as indicated in Attachment 6;

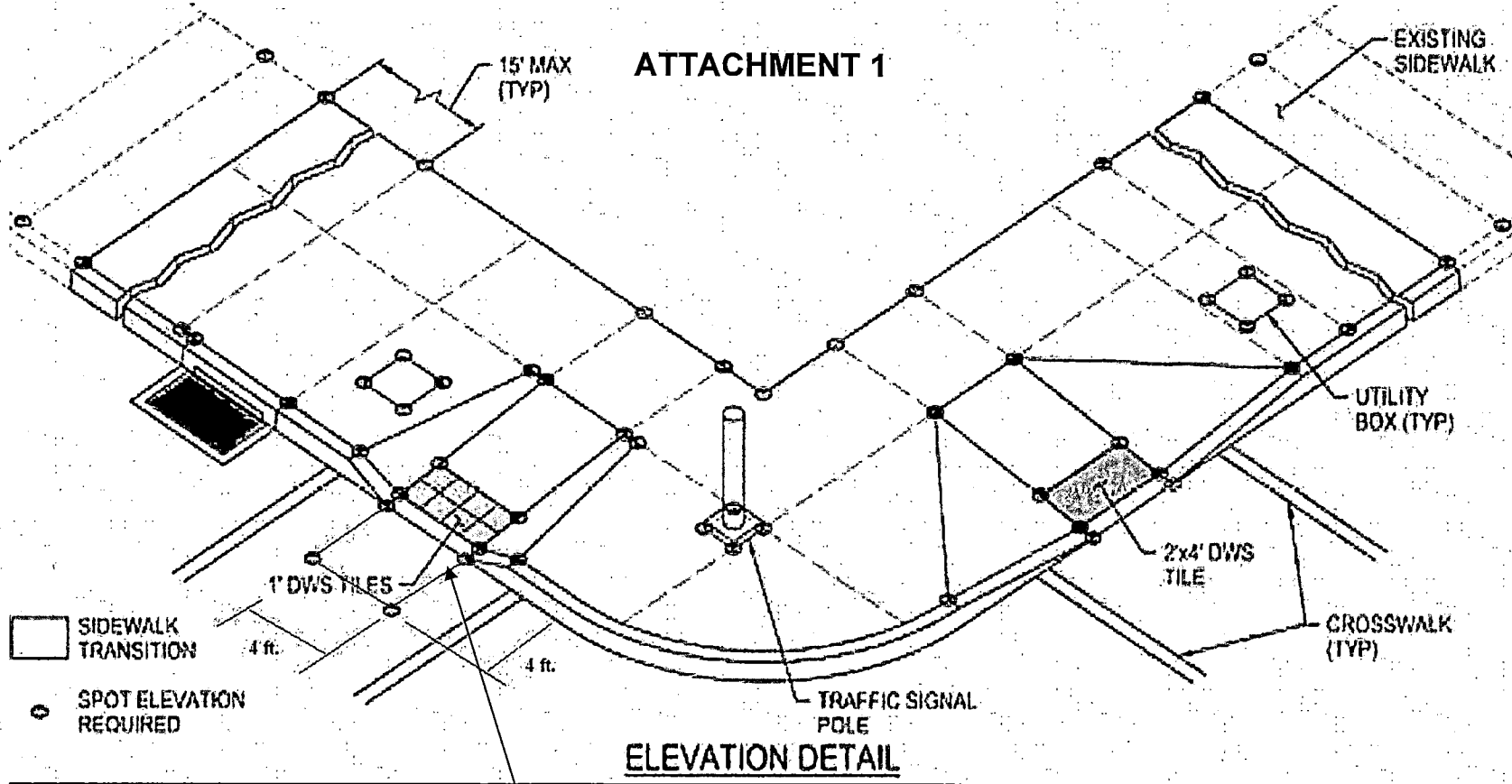
Incorporate the attached curb cradle detail into the detail sheet(s).

Please request the applicant and the engineer to provide an itemized response to these comments.

Please advise the applicant that responses to this Request for Information may result in additional requests and / or conditions on the application.

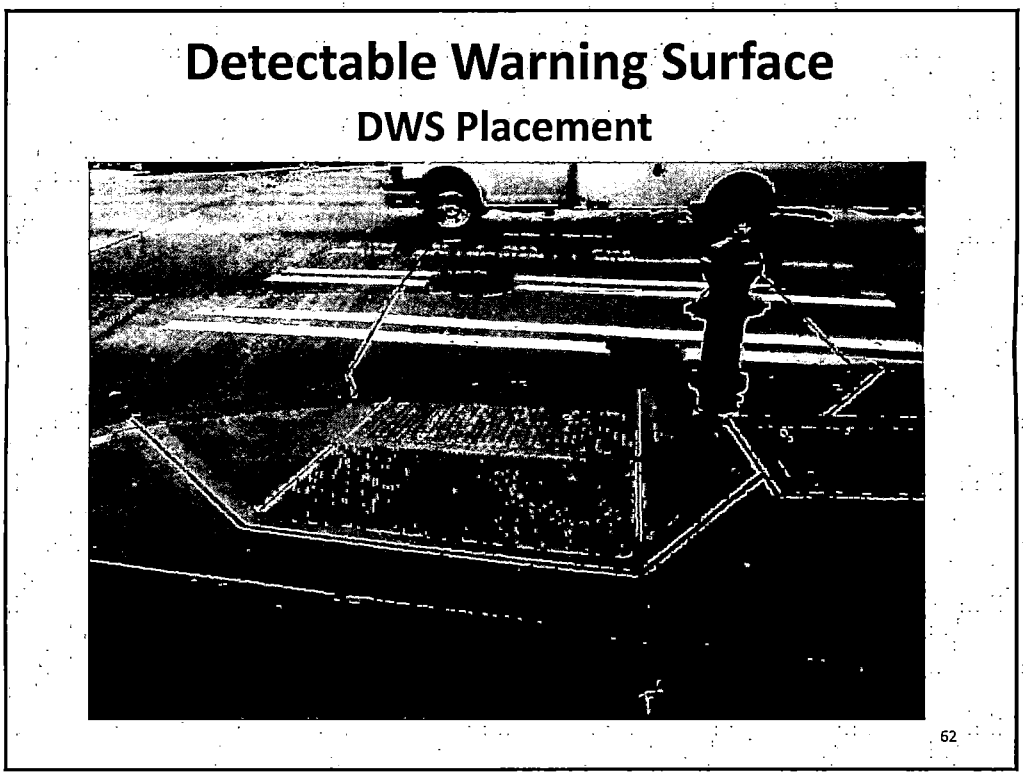
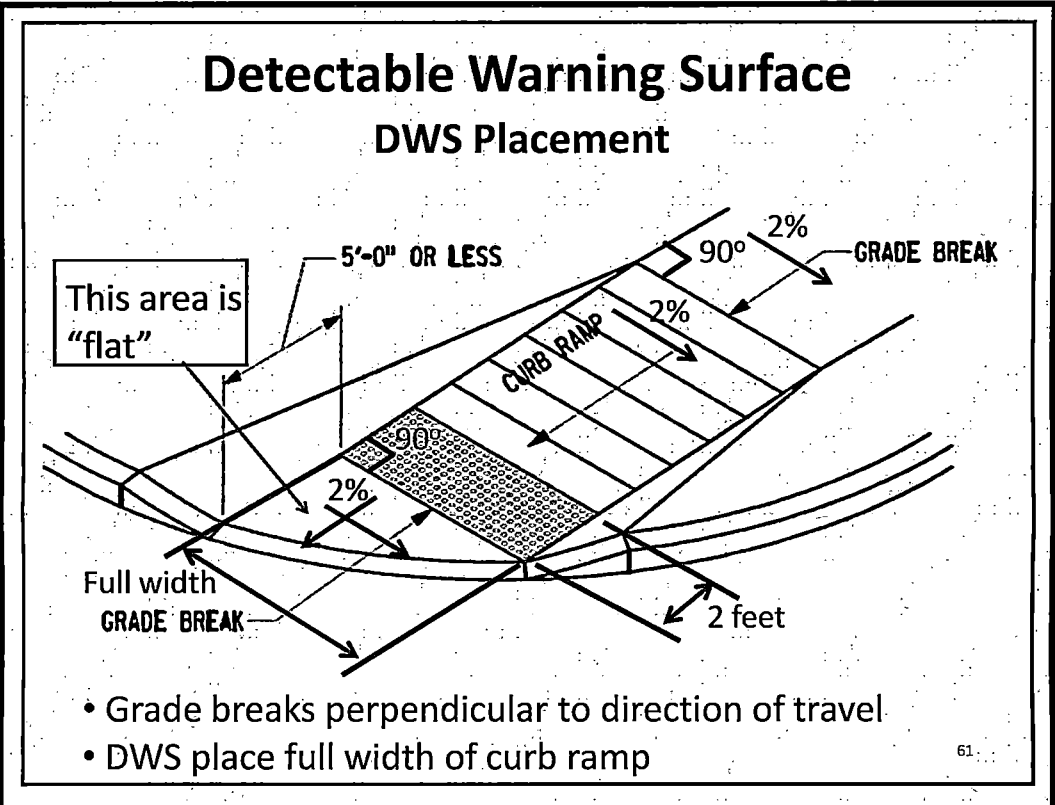
- c. Joseph M. Ettore, County Engineer  
Raymond W. Bragg, Assistant County Engineer  
Tom Lombardi, Supervising Engineer  
Vince Cardone, Principal Engineer II  
Dave Schmetterer, Asst. Planning Director  
Victor Furmanec, Principal Planner  
Kyle DeGroot, Assistant Planner  
Jeannine Smith, Planning Aide  
File





IF RAMP IS NOT DIRECTIONAL, MUST PROVIDE 4-ft. x 4-ft. TURNING AREA ON PAVEMENT, AT MAX. 2% SLOPE IN BOTH DIRECTIONS. SEE ATTACHMENT 2

ATTACHMENT 2

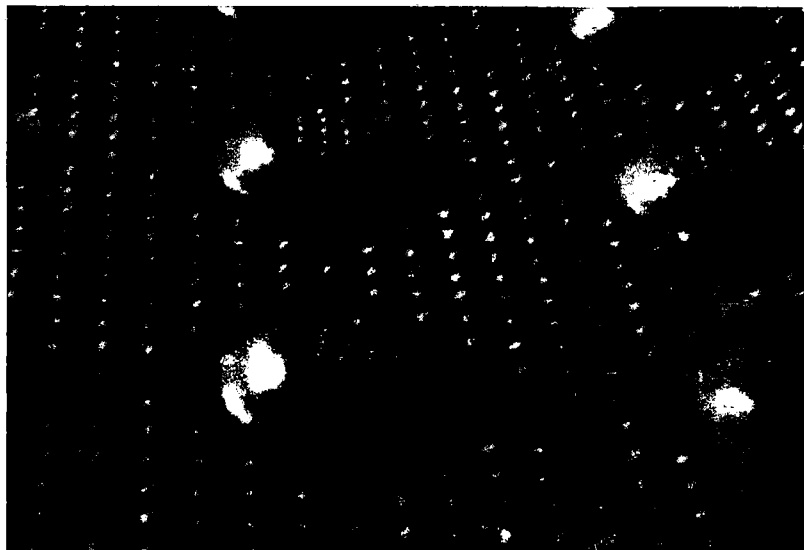


# Basic ADA Requirements

## Detectable Warning Surface (DWS)

ATTACHMENT

Item 1.



Raised truncated domes in a rectangular array.

*Where do you place them?*

Placed across the bottom of the curb ramp. Full width of ramp

*What exactly do they do?*

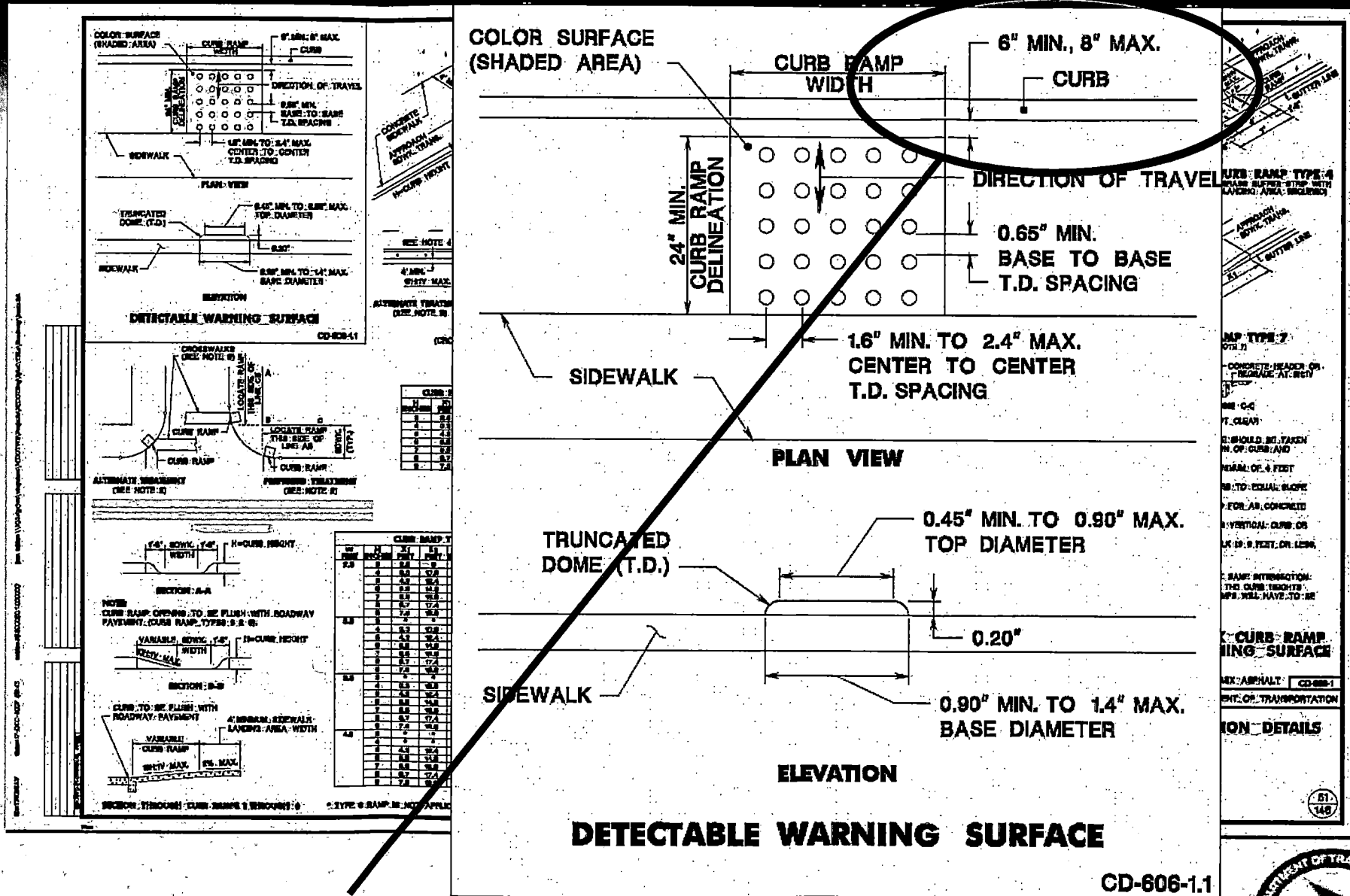
Aid those visually impaired to identify the end of the ramp.

DWS = Stop

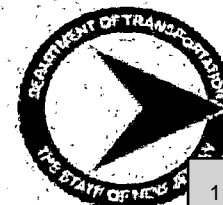




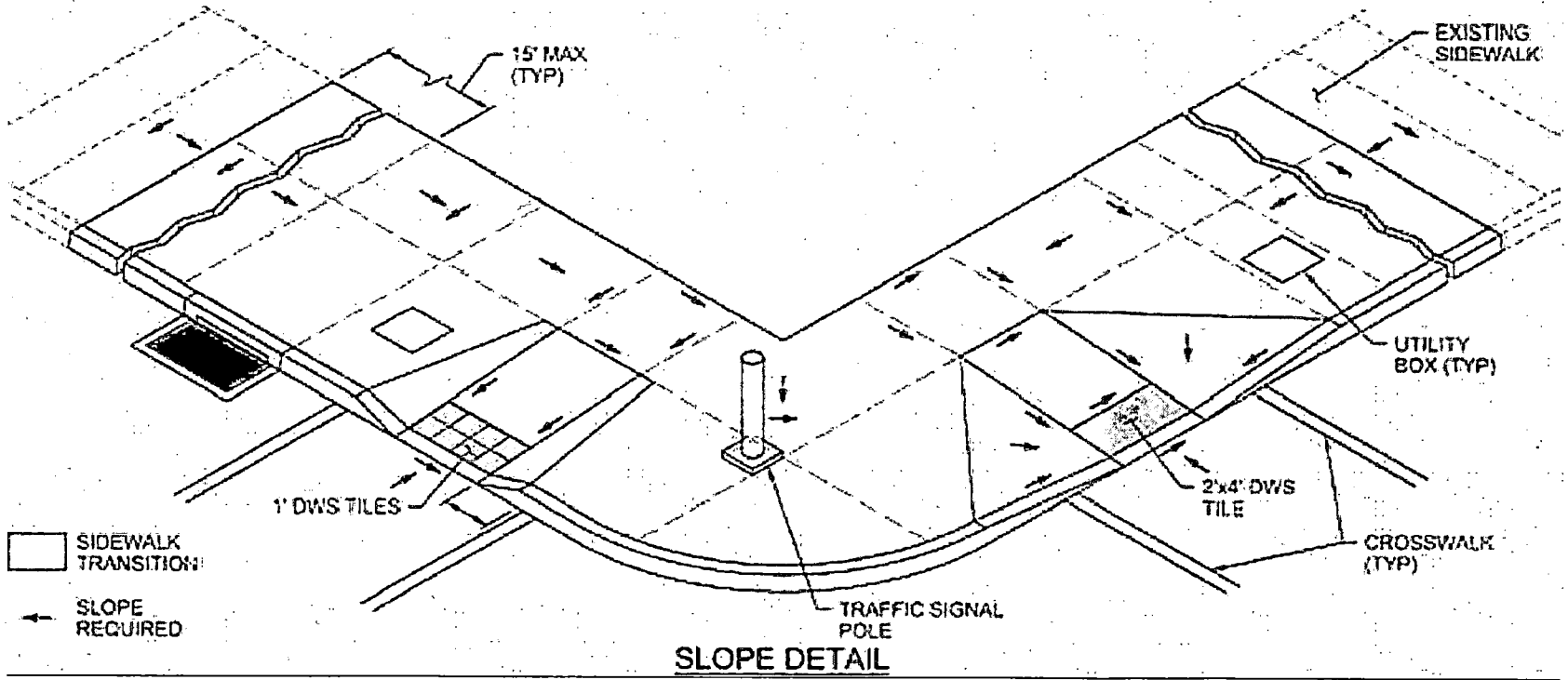
# ADA Standards



Should be placed at back of curb or 6" to 8" from front face of curb

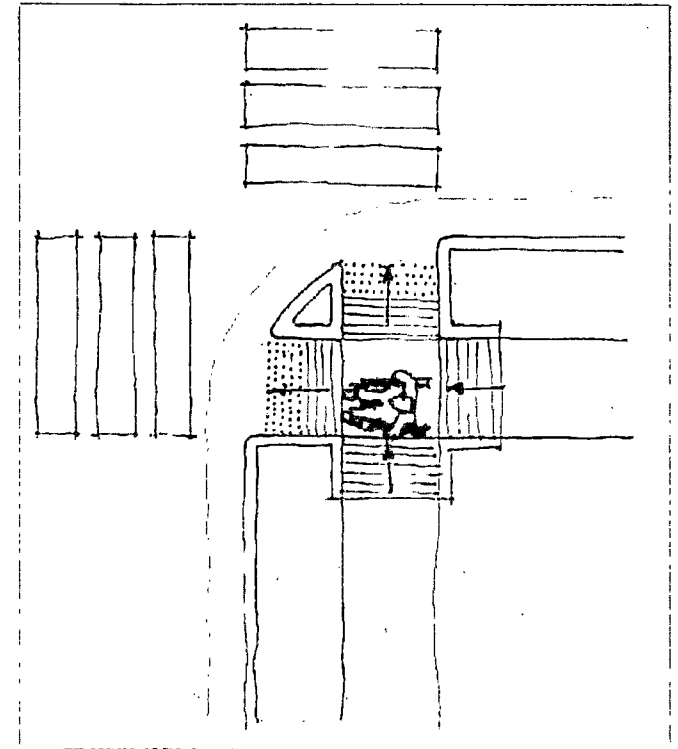


### ATTACHMENT 4



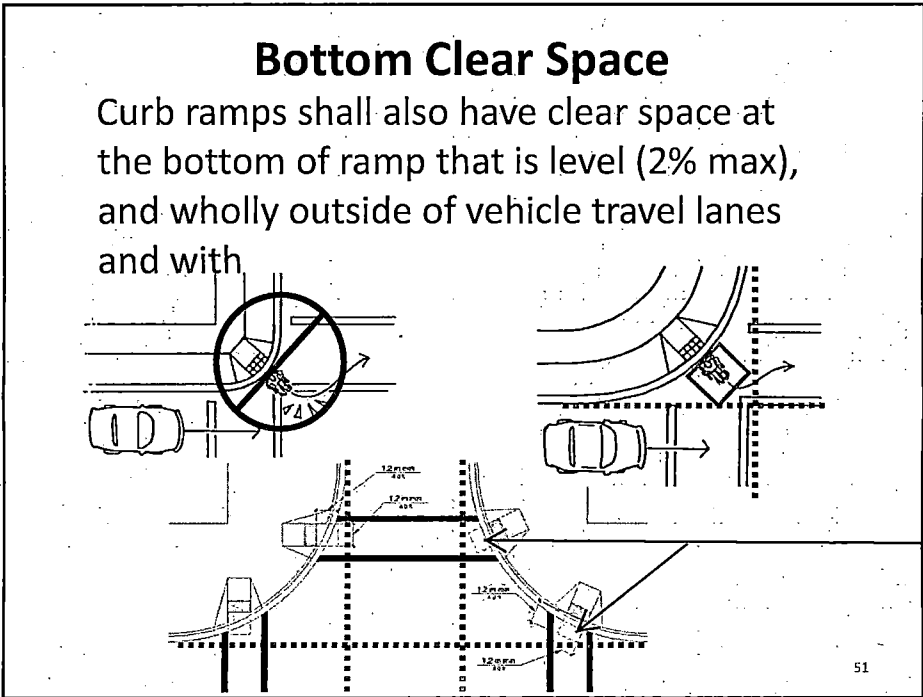
# Ramp Alignment

Ramps must aligned with crosswalks help wheelchair users orient themselves to cross the street

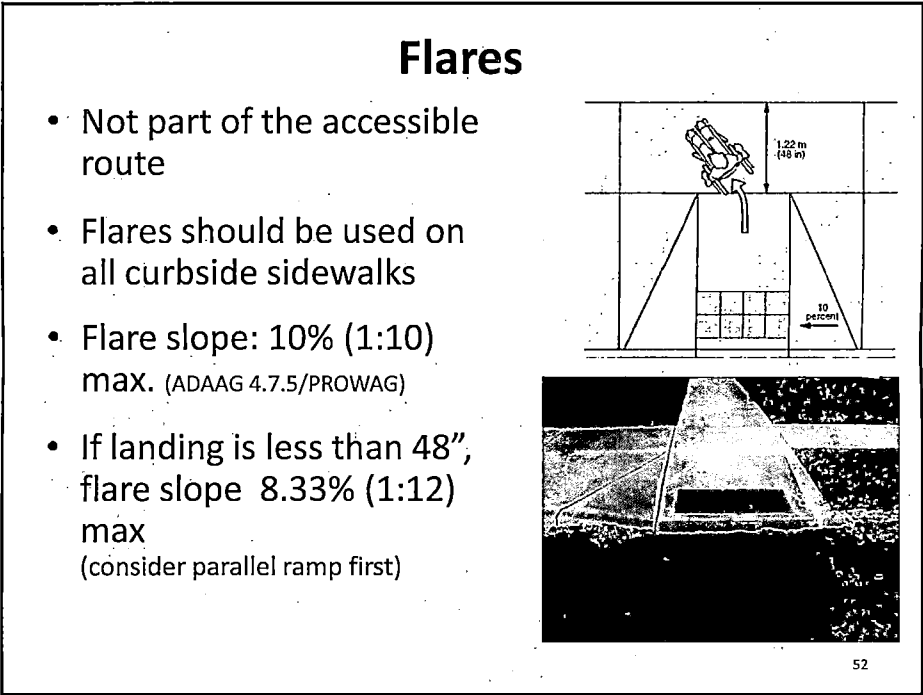




# ATTACHMENT 6



IF RAMP IS NOT DIRECTIONAL, MUST PROVIDE 4-ft x 4-ft TURNING AREA WITH MAX. 2% SLOPE IN ALL DIRECTIONS, OUTSIDE VEHICLE TRAVEL LANES, WITHIN CROSSWALK LINES.



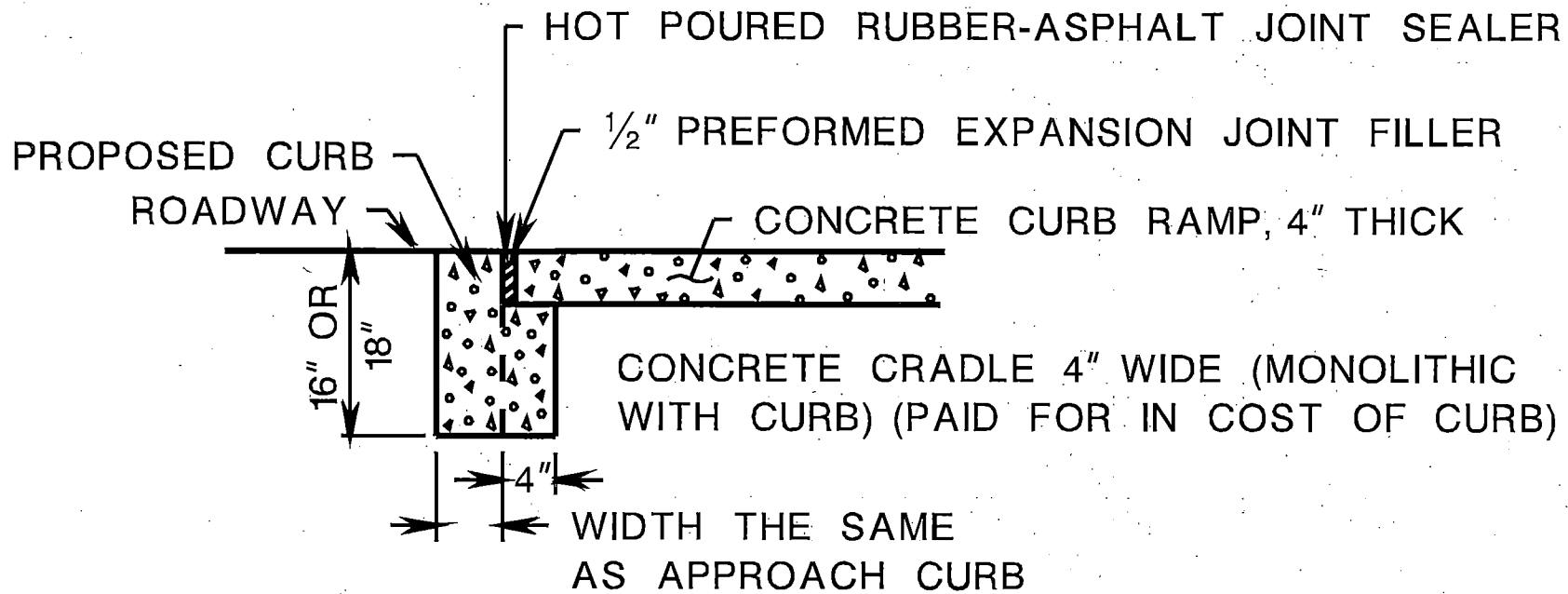
# Median Openings

ATTACHMENT 7



NJDOT Pedestrian Compatible Planning and Design Guidelines state if a street is wider than 60 feet then a pedestrian refuge should be provided so that people can find openings in traffic from only one direction, and have a place to wait for an opening in the other direction. MUTCD requires a walking speed of 3.5 ft./sec





## DROPPED CURB AND CRADLE

## CURB RAMPS

TYPE 2.

