



Planning Commission

Larry Fox, Chairperson Summer L. McMullen, Trustee
Michael Mitchell, Vice-Chairperson Sue Grissim, Commissioner
Tom Murphy, Secretary Jim Mayer, Commissioner
Matthew Eckman, Commissioner

Planning Commission Meeting Agenda
Hartland Township Hall
Thursday, January 12, 2023
7:00 PM

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. 2023 Annual Planning Commission Organizational Meeting
 - a. Hartland Township Planning Commission Rules and Procedures (By-Laws)
 - b. Election of Officers
 - c. Committee Appointments
5. Approval of the Agenda
6. Approval of Meeting Minutes
 - a. Planning Commission Meeting Minutes of October 13, 2022
 - b. Planning Commission Special Meeting Minutes of October 20, 2022
 - c. Planning Commission Meeting Minutes of November 17, 2022
7. Call to Public
8. Old and New Business
 - a. Site Plan #23-002 Hartland Commerce Center Phase III & IV
9. Call to Public
10. Planner's Report
11. Committee Reports
12. Adjournment

Hartland Township Planning Commission Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Hartland Township Planning Commission Rules and Procedures (By-Laws)

Date: January 5, 2023

Recommended Action

Move to approve the Rules and Procedures (By-Laws) as presented and dated January 12, 2023.

Discussion

The Hartland Township Planning Commission Rules and Procedures (By-Laws) outline the duties of the Planning Commission, the administrative procedures, the various officers and committees, as well as the meetings, and so forth.

These By-Laws are reviewed annually, and often there are very little changes. There were no changes for 2023.



HARTLAND TOWNSHIP PLANNING COMMISSION

RULES AND PROCEDURES (BY-LAWS)

*Originally adopted December 16, 2010
Last Reviewed and Reaffirmed January 12, 2023*

I. INTRODUCTION

The basic responsibilities of the Hartland Township Planning Commission are contained in the Michigan Planning Enabling Act, Public Act 33 of 2008 and the Michigan Zoning Enabling Act, Public Act 110 of 2006, each as amended. Each of these Acts grants specific jurisdiction to a Township Planning Commission in matters of land use planning and associated public concerns. These rules of procedure will be followed by the Hartland Township Planning Commission. Also presented are the general operating regulations for the Hartland Township Planning Commission. Regular meetings, special meetings, public records, agendas, quorum, disqualification, order of business and parliamentary procedures will be outlined.

II. DUTIES OF THE PLANNING COMMISSION

The Planning Commission shall perform the following duties:

- Prepare, review and update the master plan (Township Comprehensive Plan) as a guide for development.
- Take such action on petitions, staff proposals and Township Board requests for amendments to the Zoning Ordinance as required.
- Take such action on petitions, staff proposals and Township Board requests for amendments to the master land use plan as required.
- Prepare an annual written report to the Township Board of the Planning Commission's operations and status of planning activities, including recommendations regarding actions by the Township Board related to planning and development.
- Prepare an annual work program and budget.
- Review subdivision and condominium proposals and recommend appropriate actions to the Township Board.
- Prepare special studies and plans, as deemed necessary by the Planning Commission or Township Board and for which appropriations of funds have been approved by the Township Board, as needed.
- Attend training sessions, conferences or meetings as needed to properly fulfill the duties of Planning Commissioner and for which appropriations of funds have been approved by the Township Board, as needed.
- Prepare a Capital Improvements Plan.
- Perform other duties and responsibilities or respond as requested by any Township Board or Commission.

III. RULES OF ADMINISTRATIVE PROCEDURE

The following rules of procedure were adopted and are periodically reaffirmed by the Township Planning Commission to facilitate the performance of its duties and the exercising of its responsibilities, functions and powers.

1.0 OFFICERS

A) ELECTION

The Commission shall, at its first regular meeting of the calendar year, elect from among the voting members, a Chair, Vice–Chair, and Secretary. All elected officers are eligible for re-election.

B) TENURE

The Chair, Vice-Chair and Secretary shall take office immediately following their election and shall hold office for a term of one year or until their successors are elected and assume office.

C) DUTIES OF THE CHAIR/VICE–CHAIR

- The Chair shall preside at all meetings and perform such other duties as may be ordered by the Commission.
- The Chair shall appoint all committee members, for a term of one year. The Chair may reassign members or re-designate Committee members at his/her discretion. The Chair shall be an ex-officio member of all committees.
- All communications, petitions and reports shall be globally addressed to the Commission and delivered or mailed to the Township Hall attention the Chair or Township Planner.
- The Vice-Chair shall act in the capacity of the Chair in his/her absence. In the event the office of the Chair becomes vacant, the Vice-Chair shall succeed to this office for the unexpired term and the Commission shall select a successor to the office of Vice-Chair for the unexpired term.

D) DUTIES OF THE SECRETARY

The Secretary shall execute all documents in the name of the Commission, perform the duties listed below, and shall perform such other duties as the Commission may determine.

1. MINUTES

- The Secretary shall be responsible for the minutes and they will be maintained in suitable volumes at the Township Hall. Copies of the draft minutes will be provided to all voting Commission members in the packet of information with the agenda for the meeting in which they are to be approved. The minutes shall contain a brief synopsis of the meeting, including a complete restatement of all motions and record of votes, conditions or recommendations made on any action and record of attendance.
- After minutes from a previous meeting are approved by a majority of the Commission at subsequent meeting, they will be signed by the Secretary and forwarded to the Township Clerk.
- The minutes of the Commission meetings shall be filed in the office of the Township Clerk as a public record and no official action taken by the Commission at any meeting shall be validated or effective until a copy of the minutes of the meeting at which such action was taken shall be filed with the Township Clerk.
- The Township Clerk shall keep a record of the Commission transactions, findings, and determinations, which shall be a public record. These records shall be suitably filed in the offices of Hartland Township by the Clerk's office with a duplicate copy kept in the Planning Department's files. All meetings, minutes, records, documents, correspondence and other materials of the Planning Commission shall be open to public inspection in accordance with the Freedom of Information Act, except as may otherwise be provided by law.

2. CORRESPONDENCE

When assigned, the Secretary shall be responsible for issuing formal written correspondence with other groups or persons, as directed by the Planning Commission. All communications, petitions, reports or other written materials received by the Secretary shall be brought to the attention of the Planning Commission.

3. RECORDING SECRETARY

The Commission may appoint a Recording Secretary, who shall be an employee of the Commission and be reimbursed for his/her services by the Township. The Recording Secretary shall make a record of Commission proceedings and carry out other assignments as delegated from time to time by the Commission or Secretary. The Recording Secretary under the direction of the Secretary may execute any of the Secretary responsibilities defined above.

E) DUTIES OF THE TOWNSHIP BOARD REPRESENTATIVE

The Township Board representative shall present the recommendations of the Planning Commission as required by the Zoning Ordinance, Subdivision Ordinance or other Ordinance to the Township Board prior to their consideration of such request. The representative will also update the Township Board of other efforts undertaken by the Planning Commission, such as subcommittee progress, ordinance revisions, etc.

F) DUTIES OF THE ZONING BOARD OF APPEALS REPRESENTATIVE

The Planning Commission representative to the Zoning Board of Appeals shall report the actions of the Zoning Board of Appeals to the Planning Commission and update the Zoning Board of Appeals on actions by the Planning Commission that relate to the functions and duties of the Zoning Board of Appeals.

2.0 MEETINGS

A) REGULAR MEETINGS

The regular meetings of the Hartland Township Planning Commission will be held the second and fourth Thursdays of every month at a time to be determined by the Planning Commission at the meeting in which the regular meeting schedule is adopted or as otherwise designated by the Chair of the Planning Commission. When the regular meeting day falls on a legal holiday or when an occasion of special importance takes place, the Chair shall select a suitable alternative day in the same month. Prior to the end of the year, the Chair will submit to the Planning Commission the regular meeting schedule for the upcoming year, for their approval. The adopted schedule will become the regular schedule of the subsequent year and will be posted at the Township Hall within ten (10) days after the first Planning Commission meeting of the New Year in accordance with the Open Meetings Act

Ideally, all meeting agendas will also be posted at the Township Hall at least one week prior to the meeting and will be provided to Hartland TV for advertisement on the local cable network. All meeting notices shall be in accordance with the Open Meetings Act.

B) SPECIAL MEETINGS

In addition to the bi-monthly regular meetings, the Commission may also periodically conduct special meetings. There are three kinds of Special Meetings that may be called by the Planning Commission. The various special meeting types are discussed below:

- **Special Meeting A:** A special meeting may be called to convenience applicants with matters before the Planning Commission for consideration, provided that the petitioners' application for special meeting shall be accompanied with appropriate fees, as established by resolution of the Hartland Township Board. The Planning Department shall give special meeting petitions to the applicant. Once the Planning Department verifies that the appropriate fees have been received, the Department shall forward the application to the Planning Commission Chair. The Chair shall give notice of the special meeting by means of notice delivered to each member at least seventy-two (72) hours prior to such meeting and shall state the purpose, item, and place of the meeting.
- **Special Meeting B:** A regular meeting called by the Chair or majority of the Planning Commissioners for the expressed purpose of addressing normal and typical business that comes before the Commission. For example, a special meeting may be called for urgent township business that cannot await action until the next regularly scheduled meeting. If a special meeting is required to satisfy statutory deadlines (such as required by the Subdivision Control Act), then additional applicant fees may be waived.
- **Work Session:** A work session is another form of special meeting held by the Planning Commission. Work sessions may be held for subcommittee meetings (fewer than three Planning Commission members present) or for a meeting of the full Commission for general discussion to further a specific purpose. Generally, discussion and action for items intended for Regular Meetings will not be acted on during a work session, especially since a quorum may not be present. In the interest of satisfying the Open Meetings Act, all work sessions involving the whole Planning Commission shall be duly advertised to permit the public to attend.

Notwithstanding the foregoing descriptions of the three types of special meetings held by the Planning Commission, a meeting shall be a legal meeting if enough members of the Planning Commission are present to constitute a quorum and minutes will be prepared.

C) QUORUM

Four (4) members shall constitute a quorum for the transaction of business and the taking of official action. Whenever a quorum is not present, those present may adjourn the meeting to another time and day, in accordance with the provisions of the Open Meetings Act, or hold the meeting to consider the matters on the agenda. No action shall be taken at a meeting at which a quorum is not present.

D) VOTING

An affirmative vote of the majority of the Planning Commission membership is required to adopt any part of the master plan or amendments to the plan (MCL 125.328). Unless required by statute, other actions or motions placed before the Planning Commission may be adopted by a majority vote of the membership in attendance, as long as a quorum is present. Voting shall be by voice vote; a roll call vote shall be required if requested by any commission member or directed by the Chair. Except in the case of conflict of interest, all Planning Commission members, including the Chair, shall vote on all matters.

Voting shall be recorded by verbal "yeas" and "nays" unless otherwise ordered by a PC member.

E) NOTICE

The Township Planner shall oversee the issuance of such notice as may be required by the Planning Commission, including Open meetings Act notices, as well as notice required for specific planning or zoning actions under the Michigan Planning Enabling Act of the Michigan

Zoning Enabling Act. Verification of such notice shall be provided to the Planning Commission prior to the date and time of the public hearing.

F) AGENDA

The Chair with information and documentation provided by staff and consultants shall determine when items are to be placed on the agenda. The staff shall then prepare the agenda in its written form for distribution.

All regular and special meetings shall conduct business in the following order:

1. Call to Order
2. Pledge of Allegiance
3. Roll Call and Recognition of Visitors
4. Approval of Meeting Agenda
5. Approval of Minutes for past meetings or work sessions
6. Call to Public
7. Public Hearing(s)
8. Old and New Business
9. Call to Public
10. Planner's Report
11. Committee Reports
 - Correspondence Received
 - Committee Reports from Planning Commissioners
 - Report from Township Board Representative
 - Report of Zoning Board of Appeals Representative
12. Adjournment

Note: The agenda may be modified to include a work session following a brief recess of the regular meeting.

G) PARLIAMENTARY PROCEDURES

Except where otherwise specified, meetings shall be conducted according to Robert's Rules of Order (21st CENTURY ROBERT'S RULES OF ORDER COPYRIGHT 1995), except to the extent contradicted by these rules and procedures, and with the exception that the Chair shall vote.

H) MOTIONS

The Chair or Recording Secretary shall repeat complex motions before a vote is taken. The names of the persons making the motion and its second shall be recorded in the meeting minutes. The meeting minutes shall show the count of the vote with the "nays" being identified.

3.0 COMMITTEES

In order to facilitate the orderly review of matters before the Commission, the following standing committees are created:

A) SITE PLAN REVIEW COMMITTEE

The Committee shall include three (3) Planning Commission members. The Committee will review site development plans as provided by the Township Zoning Ordinance in an informal manner through meeting with the developer/applicant. Upon receiving a complete application for an informal Site Plan Review, the Planning Department will schedule a meeting with the Site Plan Review Committee and the applicant. The Committee will update its findings and brief the Planning Commission when the informal review is complete. The makeup of the Committee may vary depending on the number of site plan reviews occurring and individual Planning Commissioner time constraints.

B) OTHER COMMITTEES

The Chair may appoint other committees from time to time, which serve to assist the Planning Commission in discharging its responsibilities.

C) APPOINTMENTS AND VACANCIES

The Chair shall make appointments to these committees. The length of appointment shall be for one (1) calendar year. These committees shall meet as needed to consider the referrals given to them by the Township Planner. The Committees will review applications and make their recommendations to the Planning Commission.

If a vacancy occurs on the Planning Commission that affects the standing committee appointments, the Chair shall appoint replacement members to complete the balance of the year.

4.0 PROCEDURE FOR PUBLIC PARTICIPATION

A limit of three (3) minutes per participant during the call to the public shall be permitted for any written or oral statements. The unofficial policy of the Commission will be to accept public input during the meeting for topics under discussion. If necessary, the Chair may set time limits for public participation during any meeting to ensure an orderly meeting.

All public hearings must be held as part of a regular or special meeting of the Planning Commission. The following rules of procedure shall apply to public hearings held by the Planning Commission:

- Chair opens the public hearing and announces the subject.
- Chair summarizes the procedures/rules to be followed during the hearing.
- Township planner/engineer/other consultants present their report and recommendation.
- Applicant presents the main points of the application.
- Public at large is invited to speak in support or opposition to the application.
- Chair closes the public hearing and returns to the regular/special meeting.

To ensure everyone has the opportunity to speak, the Chair may elect to limit the time permitted to speak, except that the applicant may be permitted additional time as the Chairperson allows. The Chair may also elect to allow persons to speak only once, until all persons have had the opportunity to speak, at which time the chairperson, in his/her discretion, may permit additional comments.

All comments by the public, staff and the Planning Commission shall be directed to the Chair. All comments shall be related to the application under discussion; unrelated comments shall be ruled out of order.

5.0 CONFLICT OF INTEREST

Planning Commission members shall declare a conflict of interest and abstain from participating in a hearing or deliberations on a request when:

- A)** The applicant is an immediate family member or relative;
- B)** The Planning Commission member has a business or financial interest in the property involved in the request or has a business or financial interest in the applicant's company, agency or association;
- C)** The Planning Commission member owns or has a financial interest in neighboring property. For purposes of this section, a neighboring property shall include any property falling within the notification radius for the proposed development, as required by the Zoning Ordinance or other applicable ordinance, or
- D)** There is a reasonable appearance of a conflict of interest, as determined by the Planning Commission member declaring such conflict.

The Planning Commission member declaring a conflict of interest shall state the nature of the conflict and whether he or she believes they could impartially consider the request before the commission. He or she should individually decide to abstain from any discussion or votes relative to the matter that is the subject of the conflict. The member declaring a conflict may absent him/herself from the room in which the discussion takes place, unless doing so would violate his or her constitutionally protected rights to participate. He or she should not make any presentations to the Planning Commission as a representative of the proposal.

6.0 ANNUAL ORGANIZATIONAL MEETING

An annual organizational meeting shall occur at the first regular meeting of the year for election of a Chair, Vice-Chair and Secretary.

7.0 PLANNING COMMISSION ASSISTANCE

A) Duties of the Township Planner

- Accept applications for matters to be reviewed by the Planning Commission and ensure that such applications are complete.
- Forward application materials to the Planning Commission at least one week prior to the meeting at which the matters will be considered.
- Inform the Planning Commission of administrative and enforcement actions taken on behalf of the Township related to the zoning or other appropriate ordinance.
- Prepare amendments to the Zoning Ordinance as directed by the Planning Commission.
- Attend regular Planning Commission Meetings and Work Sessions.
- Consult with the Planning Commission and other township officials concerning interpretation, procedural questions and other matters arising from the Zoning Ordinance.
- Prepare written reviews and recommendations, if appropriate, for all requests and development proposals to be considered by the Planning Commission.

- Meet with applicants, their representatives and/or township officials as needed to properly perform project reviews.
- Prepare an annual report regarding development activities and status of projects as they relate to the Planning Commission’s duties as described.
- Perform other duties as directed by the Planning Commission.

B) Assistance From Other Professionals

- The Planning Commission may be assisted by other professional or township staff as needed, including the building inspector, township attorney, township engineer, consultants or other persons or agencies.

8.0 AMENDMENTS TO RULES AND PROCEDURES

Amendments to these rules and procedures may be initiated by any member of the Planning Commission at any regular meeting and voted upon. To make certain the By-Laws reflect current Commission practice, it is recommended that they be reviewed and reaffirmed annually.

Originally adopted by the Hartland Township Planning Commission at a regular meeting dated:

- **December 16, 2010**

Reviewed and reaffirmed by the Hartland Township Planning Commission at a regular meeting dated:

- **January 12, 2012**
- **February 14, 2013**
- **January 23, 2014**
- **January 15, 2015**
- **January 14, 2016**
- **January 12, 2017**
- **January 11, 2018**
- **February 14, 2019**
- **January 9, 2020**
- **January 7, 2021**
- **January 13, 2022**
- **January 12, 2023**

_____ - Chair

_____ - Vice-Chair

_____ - Secretary

HARTLAND TOWNSHIP PLANNING COMMISSION **DRAFT** MEETING MINUTES

October 13, 2022– 7:00 PM

1. **Call to Order:** Chair Fox called the meeting to order at 7:00 p.m.
2. **Pledge of Allegiance:**
3. **Roll Call and Recognition of Visitors:**
Present – Commissioners Fox, Grissim, Mayer, McMullen, Mitchell, Eckman
Absent – Commissioner Murphy
4. **Approval of the Meeting Agenda:**
A Motion to approve the October 13, 2022 Planning Commission Meeting Agenda was made by Commissioner Mitchell. Seconded by Commissioner McMullen. Motion carried unanimously
5. **Approval of Meeting Minutes:**
None
6. **Call to the Public:**
None
7. **Old and New Business**
 - a. Site Plan Application #22-013 HAYAA Pavilion and Shed at Spranger Field

Chair Fox referred to the staff memorandum dated October 6, 2022

Architecture / Building Materials (Sec. 5.24)

Director Langer stated the following:

- Open air pavilion.
- Metal sided on all four sides.
- Roof system either asphalt shingles or ribbed metal.
- HAYAA funded project.

The Planning Commission discussed the building materials and had the following concerns:

- Disappointed in the appearance. The other pavilions in the other Township parks used different materials and are nice looking.
- Asphalt shingles preferred.
- Concerns about ADA accessibility.
- Someone should go on record as being the architect to ensure it is built properly. Concerned about the uplift on the roof.
- Would need a building permit from Livingston County and meet the Building Code.
- Would prefer to see neutral colors at the very least.
- Concerned about impact from softball/baseball activities.

- Would like the siding material to be as close as possible to the existing building.

Commissioner Mitchell asked Commission McMullen if HAYAA approached the Township to seek additional funds for the project. Commissioner McMullen is not aware of such a request.

Generally, the Planning Commission supports the project but would like to see a shingled roof and better quality materials.

Commissioner Mitchell asked if this request would come before the Township Board for their approval. Director Langer stated the Board has approved HAYAA to be on the property and for the project to be submitted to the Planning Commission.

Commissioner Mayer commented the plans show Visqueen underneath the slab. They do not need Visqueen and that will save them \$400.

Commissioner Grissim expressed concern about the size of the support posts stating they look out of proportion.

Commissioner Grissim offered the following Motion:

Move to approve Site Plan Application #22-013 a request to construct an open-sided pavilion with an attached storage shed at Spranger Field, 3191 Hartland Road. Approval is subject to the following conditions:

1. **The applicant shall adequately address the outstanding items noted in the Planning Department’s memorandum, dated October 6, 2022, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.**
2. **Applicant complies with any requirements of the Department of Public Works Director, Township Engineering Consultant, and Hartland Deerfield Fire Authority Fire Marshal.**
3. **The proposed structure shall be constructed with a color that complies with the Township Zoning Ordinance; and shall be approved administratively by staff with a land use permit.**
4. **We request consideration of the comments from the Planning Commission meeting concerning ADA access, for the colors to blend harmoniously with the existing structures, asphalt shingles be used, be compliant with the structural design standards in the Michigan Building Code, and to improve the aesthetics of the structure realizing the location is essentially a gateway to the community.**

Seconded by Commissioner Mitchell. Motion carried unanimously.

- b. Site Plan Application #22-012 Restaurant with Pick-Up Window (Hartland Towne Square Planned Development)

The Applicant, Kenneth Hicks, Jr., introduced himself.

Director Langer gave an overview of the scope and location of the request stating the following:

- Located in Hartland Towne Square Planned Development between the proposed Buffalo Wild Wings and existing Panda Express.

- Access from Hartland Square Drive with internal service drives to Panda Express and to the future Buffalo Wild Wings.
- Proposing outdoor seating.
- Pick up window only, not a drive through with a menu board.
- Site Plan approval only; Township Board approval is not required.
- Property recently gained approval to divide the property via the condominium act and will own the property.

The Applicant confirmed the drive up window is not the same as a drive through window and does not require any stacking lanes or the noise of a menu board.

Chair Fox referred to the staff memorandum dated October 6, 2022.

Loading (Per approved Pattern Book – Page 41)

Director Langer stated the following:

- Loading is an issue the Planning Commission has wrestled with for quite some time.
- Traditionally an extra space on the site plan is required specifically for loading.
- What has been observed is the supply truck does not show up at a peak time for the business or restaurant; they usually show up early and do not require additional space.
- Typically, the Planning Commission has chosen to work with the applicants rather than requiring more asphalt that will most likely not be used for the intended purpose.

Dumpster Enclosure (Per approved Pattern Book – Page 41)

Director Langer stated the following:

- Planning staff has been working with the Applicant regarding building materials.
- Materials in the packet have not yet been updated.
- Revised drawings of the dumpster enclosure, using brick to match the building, will be required on the Construction set of plans.

Outdoor Eating Areas (Per approved Pattern Book – Section 3.6, Pages 39-41; Planned Development Agreement, Section 3.1.15; and Section 4.47 of Zoning Ordinance)

Chair Fox mentioned the details for capacity and screening will be submitted as part of the construction plans.

Lighting (Per approved Pattern Book – Pages 23 and 44 and Section 5.13 of Zoning Ordinance)

Average Illumination Levels

Director Langer mentioned Sheet ESP1 should be revised to state the average illumination at the main driveway correct as part of the Construction set of plans.

Fixture Type

Director Langer stated the revised photometric plan and cut sheet for the wall-mounted light fixture shall be submitted with the Construction set of plans.

Landscaping (Per approved Pattern Book – Pages 10, 42, 43, and 44 as well as approved Final Plan/Landscape Plan for Development Area ‘E’, for reference of existing plant materials)

Parking Lot Landscaping

Commissioner Grissim stated the following:

- On the north side of the building is unclear on the Landscape Plan. Something should be added to soften the back side of the building; trees or minimal lawn for easy maintenance.
- To the south, on the parking lot islands, grass or lawn should be provided to avoid large areas of mulch.
- For survivability, the shrubs hugging the curb should be moved closer to the parking spots to avoid damage from road salt.

The Applicant clarified the four rectangles shown are directional signs.

Irrigation

Chair Fox mentioned the Landscape plans area to be revised to state an irrigation system is provided, on the Construction set of plans.

Architecture / Building Materials (Per approved Pattern Book, Pages 24, and 36-38)

Director Langer reiterated the applicant intends to use clay brick in place of Founders Block, using approximately the same percentage of brick on each elevation as listed for Founders Block.

The Planning Commission viewed the elevations and briefly discussed the north side of the building.

Commissioner Mayer asked if there will be a connection to the west. Director Langer stated there will. The Applicant will work with Buffalo Wild Wings and show the connection on the construction plans.

Commissioner Mayer also mentioned the civil and architectural drawings are different in regard to the ADA compliant parking spots.

Commissioner Mitchell offered the following Motion:

Move to approve Site Plan Application #22-012 a request to construct an approximate 2,314 square foot restaurant building with dining-in option and one (1) pick-up window, for pick-up service only. Approval is subject to the following conditions:

1. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated October 6, 2022, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
2. Applicant complies with any requirements of the Department of Public Works Director, Township Engineering Consultant, and Hartland Deerfield Fire Authority Fire Marshal.
3. The applicant shall modify the architectural plans as part of the Construction Plan set, based on the information presented in the staff memorandum dated October 6, 2022.
4. The applicant shall modify the landscape plan as part of the Construction Plan set, based on the discussion at the Planning Commission meeting on October 13, 2022. Supplemental landscaping shall be provided, and shrubs are to be relocated in the parking islands, as discussed.

Seconded by Commissioner Eckman.

Commissioner Grissim suggested Condition 4. be added regarding the landscaping on the north side and the islands. The Maker and Seconder agreed. Motion carried unanimously.

8. Call to the Public:

Jon Dehanke of the Hartland Deerfield Fire Authority introduced himself and stated he is replacing Jennifer Whitbeck.

9. Planner Report:

Director Langer stated the following:

- Michigan Citizen Planner Training conflicts with the regular Planning Commission calendar.
- New businesses coming in: Lefty's Cheesesteak will be in the building at Hartland Road and M-59 and Smoothie King will be where Checkers was next to BP on M-59.
- Next meeting will be a special meeting on October 20, 2022. The next regular meeting will be November 17, 2022. There may be a special meeting on December 22. Canceled meetings are October 27, November 3, December 1 and December 15 due to the Citizen Planner Training.

10. Committee Reports:

None

11. Adjournment:

A Motion to adjourn was made by Commissioner Grissim and seconded by Commissioner McMullen. Motion carried unanimously. The meeting was adjourned at approximately 7:52 PM.

HARTLAND TOWNSHIP PLANNING COMMISSION **DRAFT** SPECIAL MEETING MINUTES

October 20, 2022– 7:00 PM

1. **Call to Order:** Chair Fox called the meeting to order at 7:00 p.m.

2. **Pledge of Allegiance:**

3. **Roll Call and Recognition of Visitors:**

Present – Commissioners Fox, Grissim, Mayer, McMullen, Mitchell, Eckman

Absent – Commissioner Murphy

4. **Approval of the Meeting Agenda:**

A Motion to approve the October 20, 2022 Planning Commission Meeting Agenda was made by Commissioner Mitchell. Seconded by Commissioner Grissim. Motion carried unanimously

5. **Approval of Meeting Minutes:**

A Motion to approve the Planning Commission Meeting Minutes of September 8, 2022 was made by Commissioner Grissim. Seconded by Commissioner Mitchell. Motion carried unanimously.

6. **Call to the Public:**

None

7. **Old and New Business**

a. Site Plan with Special Land Use Application #22-007 (Automobile wash within completely enclosed building at 10382 Highland Road)

Director Langer stated the following:

- Located at the intersection of Blaine Road and M-59.
- Public Hearing was held on September 8, 2022.
- Revised plan provided based on items discussed at the previous meeting plus additional information.
- Proposing to remove existing structure (former Burger King) and construct an approximate 6,500 square foot building for a fully automated automobile wash (Mister Car Wash).

Chair Fox referred to the staff memorandum dated October 13, 2022 and the revised site plan dated October 6, 2022.

Director Langer stated the following:

- The Planning Commission requested the drive aisle be reduced; it is now 26 feet wide.
- The Planning Commission expressed concern about the setback in the northwest corner; this plan meets the required setback at that location and reoriented some of the parking spaces.
- The Planning Commission requested fewer vacuum stations, but the Applicant is hoping for the opportunity to explain why they feel they need them. It was discussed by the Site Plan

Review Committee, and they thought it best to have the discussion before the full Planning Commission.

- Also submitted a revised Landscape Plan.

Chair Fox asked the Planning Commission for a determination on vacuums in the front of the site.

Director Langer explained the following:

- The front yard of a site is the area between the building and any road frontage.
- This site has two front yards; one on Blaine and one on M-59.
- That ordinance about car wash vacuums was written during a time when the type of vacuum associated with a car wash was the large, self-contained canister style vacuum. This style of vacuum is the hose only with the central motor tucked in an enclosed area.

Director Langer went on to explain the Planning Commission can make a determination or interpretation that this type of vacuum is permitted but they cannot legislate the number of vacuums; they either are permitted, or they are not permitted. Such a determination can have implications beyond this site. As the Site Plan Review Committee discussed this issue further, their desire was to bring the topic back. Essentially there are two possible answers; yes, these are only hoses not vacuums and shall be permitted or no, these are still vacuums and shall not be permitted.

Commissioner Mitchell stated the following:

- Hartland Township has requirements for Car Wash facilities Section 4.1.7.
- Section 4.1.7.1. it specifically states vacuum systems are not allowed in the front yard, it has no further detail or description of components.
- He does not feel comfortable going against the Township's established Ordinance saying they can define a type of vacuum system that is allowed versus those that are not.
[Director Langer displayed a photo of a newer car wash facility in another community with a hose and small canister vacuum.]
- Would this hybrid type of vacuum station be permitted?
- He feels it is a bigger issue and that the Planning Commission should stand by the existing Ordinance which does not permit vacuums in the front yard.
- He cannot support this design.

Chair Fox stated the following:

- He was the one who gave the historical significance of the Ordinance and that it was written before this product existed.
- It does not define what a vacuum is.
- His concern is if these are allowed, what happens the next time when it is something different, but vacuums are now allowed.
- He cannot support the plan as it is proposed right now.

Chair Fox would like to canvas the Planning Commission on who supports the Ordinance which does not allow for vacuums in the front yard.

Commissioner Grissim agreed, she supports the Ordinance and cannot approve this plan as presented.

Commissioner Mayer agreed the Planning Commission should abide by the Ordinance.

Commissioner Mitchell reiterated the Planning Commission should abide by the Ordinance.

Commissioner McMullen agreed the Planning Commission should abide by the Ordinance.

Commissioner Eckman stated the same, that Planning Commission should abide by the Ordinance.

Chair Fox summarized vacuums are not permitted in the front yard no matter what the style and the Planning Commission will abide by the Ordinance. The plan cannot be approved as presented.

Director Langer stated the following:

- Earlier the Planning Commission discussed traffic and that there was no need for a traffic study; however, the Applicant did provide some additional information using the ITE Manual.
- ITE offers information about estimated traffic generated by similar uses around the county.
- A car wash was compared to the traffic generated by a fast food restaurant with a drive-through and was shown to generate less traffic.
- A resident provided an actual traffic study of a car wash in Colorado as part of that they used a car wash in Grandville, Michigan. This information was provided earlier this week in an email.

The Planning Commission briefly discussed the options going forward; to ask the Applicant to revise their plan and return or forward this Site Plan with Special Use to the Township Board with the Planning Commission not recommending approval.

Chair Fox asked the Applicant what they would like to do. The Applicant indicated they would like to revise the plan and come back.

8. Call to the Public:

None.

9. Planner Report:

None

10. Committee Reports:

None

11. Adjournment:

A Motion to adjourn was made by Commissioner Mitchell and seconded by Commissioner McMullen. Motion carried unanimously. The meeting was adjourned at approximately 7:28 PM.

HARTLAND TOWNSHIP PLANNING COMMISSION **DRAFT** MEETING MINUTES

November 17, 2022– 7:00 PM

1. **Call to Order:** Chair Fox called the meeting to order at 7:00 p.m.

2. **Pledge of Allegiance:**

3. **Roll Call and Recognition of Visitors:**

Present – Commissioners Fox, Grissim, Mayer, McMullen, Mitchell, Eckman

Absent – Murphy

4. **Approval of the Meeting Agenda:**

A Motion to approve the November 17, 2022 Planning Commission Meeting Agenda was made by Commissioner Mitchell. Seconded by Commissioner McMullen. Motion carried unanimously

5. **Approval of Meeting Minutes:**

a. Planning Commission Meeting Minutes of September 22, 2022

A Motion to approve the Planning Commission Meeting Minutes of September 22, 2022 was made by Commissioner Grissim and seconded by Commissioner Mayer. Motion carried unanimously.

6. **Call to the Public:**

None

7. **Public Hearing**

a. Site Plan with Special Land Use Application #22-015 Mini warehouse establishment with outdoor storage as accessory to a permitted use.

Chair Fox opened the Public Hearing at 7:03 PM stating all public notice requirements for the Public Hearing have been met.

Director Langer gave an overview of the location and scope of the request stating the following:

- Shared the Zoning Map, subject site is zoned LI Light Industrial
- Shared the proposed Site Plan and explained the various components of the office, mini indoor storage, climate controlled storage, outdoor covered storage and open storage on an unpaved surface gravel.
- LI allows for mini storage as a permitted use by right.
- The outdoor storage is the special land use and must be an accessory use to a permitted use. It is the special use which requires the Public Hearing, recommendation by the Planning Commission and a final decision by the Township Board.

Call to Public

None

Char Fox closed the Public Hearing at 7:08 PM.

Chair Fox referred to the staff review letter dated September 10, 2022.

SPECIAL LAND USE REVIEW – General Standards

Chair Fox stated the Applicant has provided a response to these standards dated September 9, 2022. The Planning Commission had no comments.

SPECIAL LAND USE REVIEW – Applicable Site Standards

Outdoor Storage in the LI & I Districts (Section 3.27)

1. All outdoor storage areas shall be screened from public rights-of-way and adjacent public use areas with screening in accordance with the provisions of Section 5.11 (Landscaping and Screening) and 5.20 (Walls and Fences).

Director Langer stated the following:

- Canopy and evergreen trees are shown on the east side of the site (adjacent to the ROW of US-23) also, a masonry and pillar fencing system.
- Black vinyl chain link fencing to secure the site.
- The combination of the buildings, carports, and landscaping provides sufficient screening of the outdoor storage area.

SITE PLAN REVIEW – Applicable Site Standards

Chair Fox again referred to the staff letter.

Chair Fox asked if there would be electrical service inside the units. The Applicant stated no.

Site Enclosure

Director Langer stated again that a fence is proposed that would enclose the entire storage facility. The fencing is black coated chain link fencing to the north and south.

On-Site Circulation and Parking

Director Langer stated the following:

- Interior travel lanes are two-way and the travel lane width between two (2) warehouse buildings is twenty-five (25) feet.

The Planning Commission had no comments.

Off-Street Parking (Sec. 5.8.4.H – Mini or Self-storage Warehouse) and Barrier-Free Parking

Director Langer stated the following:

- Some parking spaces are shown by the office.
- The plans are to be revised to show an 8-foot wide van accessible access aisle adjacent to the barrier-free parking space, on the Construction Plan set.
- Ordinance requires six (6) parking spaces; four (4) are provided.
- The Planning Commission can reduce the number of spaces required if warranted.
- The Applicant has provided information stating four (4) spaces should be adequate parking.

The Planning Commission agreed.

Landscaping and Screening (Sec. 5.11)

Landscaping of Divider Median (Sec. 5.11.2.A.vii.)

Commissioner Grissim stated staff recommends for ease of maintenance the elimination of the shrubs and using lawn in that area of the median plus two (2) canopy trees.

Greenbelt Landscaping (Sec. 5.11.C.)

Commissioner Grissim stated the combination of canopy trees and evergreen trees seemed fine.

Foundation Landscaping (Sec. 5.11.2.D.)

Commissioner Grissim stated the only area to consider would be the office, but it is internal on the site and there is not a place for foundation landscaping elsewhere. Commissioner Mitchell agreed stating it seems mute as there is no other foundation landscaping on the site; he opts to disregard this requirement. The Planning Commission agreed.

Commissioner Grissim commented on the open storage area stating some items could be six (6) feet tall. There are shrubs and fencing, a few trees but they are very far apart and not a complete screen.

The Applicant replied they placed the open storage area in the center of the project to minimize the impact and allow the structures to provide screening. Given the speed that most are traveling, he feels they have covered most of the angles.

Chair Fox stated he is good with what is proposed and unsure, due to elevation changes, if a double row would fit.

Commissioner Grissim suggested rather than twenty-five (25) feet apart, maybe the trees could be fifteen (15) feet apart.

The Applicant also stated the open storage area is also an area for future expansion for another structure.

The Planning Commission decided to leave the screening as drawn.

Detention/Retention Area Landscaping (Sec. 5.11.2.H.)

Commissioner Grissim asked the Applicant what is planned for ground cover. The Applicant stated they intend to install lawn and keep it mowed. Chair Fox asked about the shrubs. Commissioner Grissim stated they did not show many shrubs and she is fine with what is proposed. The Applicant added the detention pond to the south is adjacent to a wetland area that will have a variety of natural plants. The Planning Commission agreed.

Sidewalks and Pathways (Sec. 5.12)

The Planning Commission agreed a sidewalk would not be required at this location.

Lighting (Sec. 5.13)

Director Langer stated there needs to be a slight adjustment to the intensity at the main entrance and are requesting the Photometric plan to be revised to measure the footcandle values at five (5) feet above ground level and lighting intensity at the main exit/entry drive on the Construction Plan set. The Planning Commission agreed.

Architecture / Building Materials (Sec. 5.24)

Director Langer stated the following:

- Eleven (11) buildings.
- Elevations that face Old US 23 and US 23 have an upgraded façade with split faced block and C-Brick.
- Interior unit facades would be generally metal panels in earthtones with barn red doors.
- The climate controlled building is more dressed up.

The Applicant asked for a slight modification to allow and inlay of the product presented at the meeting; a fiber reinforced concrete product called Nichiha that resembles wood. Director Langer mentioned it would alter the percentage of brick.

The Planning Commission briefly examined and discussed the product and had no concerns.

The Planning Commission and the Applicant briefly discussed the height of the buildings in relation to the road frontages and the intent to create a nice looking, quality complex.

Commissioner Grissim offered the following Motion:

Move to recommend approval of Special Land Use Permit and approve Site Plan Application #22-015, a request to construct a mini warehouse establishment with outdoor storage as accessory to the permitted use, on a vacant parcel on Old US-23, in Section 28 of the Township (Tax Parcel ID #4708-28-300-023). The recommendation for approval is based on the following findings:

- 1. The proposed special land use, outdoor storage accessory to a permitted use (mini warehouse) meets the intent and purposes of the Ordinance as well as the specific standards outlined in Section 6.6 (Special Uses).**
- 2. The proposed special land use is permitted in the LI (Light Industrial) zoning district as outlined in Section 3.1.16.D.ix, and the proposed use is compatible with the existing and future uses in the vicinity.**
- 3. The Hartland Township Comprehensive Plan and the Future Land Use Map (FLUM) designate this property as Planned Industrial Research Industrial. The proposed special land use is compatible with the Comprehensive Plan and the FLUM.**
- 4. The site is adequately served by existing essential facilities and public services and the Fire Department has no objection. The proposed use will be served by a public road with direct access to Old US-23.**
- 5. The proposed use will not create additional requirements at public cost for public facilities as the proposed site will be served by private well (water) and sanitary sewer.**

Approval is subject to the following conditions:

- 1. The proposed special land use, outdoor storage accessory to a permitted use, is subject to approval by the Township Board.**

2. **The applicant shall adequately address the outstanding items noted in the Planning Department’s memorandum, dated November 10, 2022, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.**
3. **A land use permit is required after approval of the Site Plan and Special Use Permit and prior to construction.**
4. **Applicant complies with any requirements of the Department of Public Works Director, Township Engineering Consultant (SDA), Hartland Deerfield Fire Authority, and all other government agencies, as applicable.**

Seconded by Commissioner Mitchell. Motion carried unanimously.

8. Old and New Business

- a. 2023 Planning Commission Meeting Calendar

A Motion to approve the 2023 Planning Commission Meeting Calendar was made by Commissioner Grissim and seconded by Commissioner Eckman. Motion carried unanimously.

9. Call to the Public:

None

10. Planner Report:

None

11. Committee Reports:

None

12. Adjournment:

A Motion to adjourn was made by Commissioner Mitchell and seconded by Commissioner McMullen. Motion carried unanimously. The meeting was adjourned at approximately 7:48 PM.

Hartland Township Planning Commission Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Site Plan #23-002 Hartland Commerce Center Phase III & IV

Date: January 5, 2023

Recommended Action

Move to approve Site Plan Application #23-002, a request to construct twelve (12) office/warehouse buildings containing a total of seventy-two (72) condominium units, and construct three (3) detached storage buildings, as part of Phase III and IV of Hartland Commerce Center. Approval is subject to the following conditions:

1. The applicant shall adequately address the outstanding items noted in the Planning Department’s memorandum, dated January 5, 2023, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
2. Applicant complies with any requirements of the Township Engineering Consultant, Department of Public Works Director, Hartland Deerfield Fire Authority, and all other government agencies, as applicable.
3. (Any other conditions the Planning Commission deems necessary)

Discussion

Applicant: David Willacker

Site Description

Hartland Commerce Center, zoned LI (Light Industrial), is west of Old US -23, north of Bergin Road, and east of Cobblestone Preserve, in Section 28 of the Township. Phase I and II of Hartland Commerce Center are already constructed, with twelve (12) office/warehouse buildings and containing a total of seventy-two (72) condominium units. Currently there are two (2) access driveways from Bergin Road that serve the complex. Internal drive aisles provide access to the buildings and associated parking for Phase I and II. A 20-foot wide gravel service drive was constructed in approximately 2007, with access from Old US-23 and connecting to the paved portion of the internal drive lanes in Phase I and II. Two (2) detention ponds exist on-site, labeled as Existing Detention Pond 1-A and Existing Detention Pond 1-B. An off-site detention pond and easement are shown west of Phase I and II, labeled as Detention Pond No. 2. This pond serves Hartland Commerce Center. The site is served by private water (well) and municipal sanitary sewer. The northern and eastern areas of the complex are undeveloped.

The proposed project (Phase III and IV) is an extension of Hartland Commerce Center and will be the final two (2) phases of Hartland Commerce Center. The project area for Phase III and IV consists of three (3) parcels as follows:

Parcel Location	Tax ID #	Parcel Area
NE corner	4708-28-300-026	2.27 acres
Middle (L-shape parcel)	4708-28-300-027	5.26 acres
NW portion of site	4708-28-300-029	11.19 acres
TOTAL area		18.72 acres

The three (3) parcels that comprise Phases III and IV are zoned LI. The entire development (Phase I, II, III, and IV) is approximately 29.78 acres in area.

Phase III, shown directly north of Phase II, consists of nine (9) office/warehouse buildings and two (2) storage buildings. Cobblestone Preserve, a single-family residential development, abuts the subject site on the west and is zoned PDSR (Planned Development Suburban Residential). Property north of the subject site is zoned CA (Conservation Agricultural).

Phase IV includes three (3) office/warehouse buildings and one (1) storage building, which are situated in the northeast portion of the development, with access from Old US-23. The existing access driveway from Old US-23 will be paved as part of this request. A narrow strip of land is shown on the plans, just north of the storage building, and is labeled as LI (Light Industrial) zoning. There is some uncertainty with the ownership of this narrow parcel. The applicant believes they have a property ownership claim in this property and they are working with the Township's Assessing Department to clarify the ownership. However, it is currently not part of the legal description for Tax Parcel ID #4708-28-300-029, per the Township records. Based on the Hartland Township Zoning Map (dated December 12, 2012) this narrow parcel is shown as being zoned LI (Light Industrial), thus this zoning designation will be utilized as applicable for the zoning review of the project, unless the Planning Commission feels differently.

The 2015 Future Land Use Map (FLUM) designates the three (3) parcels that comprise Phase III and IV as Planned Industrial Research and Development (PIRD). The 2020-2021 Amendment to the FLUM has this same designation.

Background Information

Site Plan Application #290 (Phase I)

In 2000 Site Plan application #290 was reviewed as a request to construct a light industrial facility known as Hartland Commerce Center. Phase I included six (6) office and warehouse buildings with six (6) units per building for a total of thirty-six (36) units, on approximately 6.39 acres of land. Each building is approximately 8,640 square feet in size as stated on the plans. The total square footage of the six (6) buildings is 51,840 square feet. The warehouse/office units were to be leased. Access to the site was provided from two (2) driveways from Bergin Road. On July 27, 2000, the Planning Commission recommended approval of SP #290. Final approval was granted by the Township Board on August 15, 2000.

Land Use Permit #5724

On July 31, 2001, Land Use Permit #5724 was approved for the construction of Phase I for Hartland Commerce Center.

Modification to SP #290

In 2002, the developer submitted a request to convert the commerce center to a condominium development for Phase I (36 condominium units) and future phases. This was considered a modification to SP #290. The Master Deed includes language regarding the possible expansion of the commerce center on an additional 23.40 acres to contain a maximum of 144 condominium units. The Planning Commission recommended approval of this request on June 13, 2002. On July 2, 2002, the Township Board approved the request to modify SP #290 and allow for the conversion of the development to a site condominium.

Site Plan Application #355 (Phase II)

Phase II of Hartland Commerce Center was reviewed under Site Plan Application #355. Phase II included six (6) additional office/warehouse buildings, each with six (6) condominium units, on 4.7 acres of land, north of Phase I. Each building is approximately 8,640 square feet in size. The total square footage of the

six (6) buildings is 51,840 square feet. A detention basin was shown on the north. The Planning Commission recommended approval of SP #355 on November 13, 2003. The Township Board approved SP #355 on September 21, 2004.

Land Use Permit #7055

Land Use Permit #7055 was approved on October 8, 2004, for the construction of Phase II of Hartland Commerce Center.

Site Plan Application #435 (Major Amendment to SP #355)

During the construction of Phase II, site changes occurred that were beyond the scope of the plans approved under SP #355. The changes included the construction of an access drive the length of the applicant's property from Old US-23 to Phase II of the development; an area of a State regulated wetland was filled as part of the construction of the drive and retaining wall (along the south side of the new access drive); and stormwater drainage was directed into the regulated wetland. These site improvements constituted a major change to the plans approved under SP #355 (Phase II). Revised plans were submitted to the Township in 2007 under Site Plan Application #435. On June 28, 2007, the Planning Commission recommended approval of SP #435, subject to several conditions. The Township Board approved SP #435 on August 21, 2007, with the following conditions:

1. That although not required at this time, the sidewalk and landscaping requirements along Old US-23 will be part of future reviews on this parcel.
2. The applicant agrees to pave the access road at the time the parcel adjacent to Old US-23 is developed or by October 31, 2008, whichever occurs first.
3. The developer agrees to adjust the bond amount to the amount specified in the Williams and Works letter dated July 31, 2007.

The site work that occurred within the State regulated wetland (placement of fill in the State regulated wetland, retaining wall partially within the wetland, and stormwater drainage) was reviewed by the Michigan Department of Environmental Quality (MDEQ) in 2006. In 2006 MDEQ issued an After the Fact Permitted Activity Permit for the required restoration work in the regulated wetland. As part of the approved permit, the MDEQ required all remaining wetland areas were to be placed under a conservation easement. The Conservation Easement Agreement was recorded in 2007.

Land Use Permit #17-041

On April 12, 2017, Land Use Permit #17-041 was approved for the construction of the last three (3) buildings of Phase II, based on the Township's previous approval of SP #355.

Request and Project Summary

The subject site is zoned LI (Light Industrial). The zoning regulations are outlined in Section 3.1.16 (LI). Light industrial uses are considered Principal Permitted Uses under Section 3.1.16.B.xi. The Definitions section of the Zoning Ordinance (Section 2.118) defines Industry, Light, as the following:

A use that involves the manufacturing, production, processing, fabrication, assembly, treatment, repair or packaging of finished products, predominately from previously prepared or refined materials (or from raw materials that do not need refining). Warehousing, wholesaling, and distribution of the finished products produced at the site is allowed as part of this use. Light industry is capable of operation in such a manner as to control the external effects of the manufacturing process, such as smoke, noise, soot, dirt, vibration, odor, etc.

Number of Condominium Units

Phase I and Phase II each have 36 condominium units (72 units total). The applicant is requesting to construct Phase III and Phase IV of Hartland Commerce Center. Phase III consists of nine (9) buildings,

each with six (6) condominium units, for a total of 54 units. The nine (9) buildings are located north of Phase II.

Phase IV is in the northeast section of the property with direct access from Old US-23 via a service drive which connects to the internal drive aisles. Three (3) buildings are shown, each with six (6) condominium units, for a total of eighteen (18) units. The combined total for the development is 144 condominium units. This is consistent with the recorded Master Deed.

Office/warehouse building size and layout – Phase III

Each office/warehouse building in Phase III consists of six (6) units, each unit with 300 square feet of office area and 1,073 square feet of warehousing area per unit. The outer dimensions of each office/warehouse building are 60 feet by 144 feet, or 8,640 square feet. The total square footage of the nine (9) buildings in Phase III is 77,760 square feet (9 x 8,640 SF). The buildings in Phase III are spaced twenty-four (24) feet apart, with lawn/landscaped areas in-between the buildings.

Office/warehouse building size and layout – Phase IV

Phase IV shows three (3) office/warehouse buildings, each with six (6) condominium units. The interior design of each unit is the same as the buildings in Phase III, with 300 square feet of office area and 1,073 square feet of warehousing area per unit.

As an informational note, the plans (Sheet 3.4) state that the square footage of each building in Phase IV is 8,242 square feet. Per the applicant this represents the square footage of the interior space. The outer building dimensions (building footprint) are stated as 60 feet by 144 feet, which equals 8,640 square feet. The building dimensions scale correctly (60 feet by 144 feet). The stated building square footage (footprint) should be corrected on the Construction Plan set. The total square footage of the three (3) buildings is 25,920 square feet (3 x 8,640 SF).

The spacing between the three (3) buildings in Phase IV varies from twelve (12) feet to 19.4 feet, with lawn/landscaped areas in-between the buildings. A loading area is supplied for each office/warehouse condominium unit on the back of the building.

Detached Storage Buildings

The applicant is also requesting to construct three (3) detached storage buildings, with a total of eighty-six (86) storage units. Per the applicant's summary, the storage units are intended solely for the use of the condominium owners in Hartland Commerce Center. The storage units are not intended to be available to the public. As a result, the assumption is that additional parking is not required for the storage units since the units are to be dedicated to the condominium owners in Hartland Commerce Center.

Each storage unit is accessed by a garage door. The dimensions of each unit are twelve (12) feet by twenty-four (24) feet, or 288 square feet in area. Phase III shows two (2) storage buildings in the northwest portion of the site. Each building has thirty-two (32) storage units. The building dimensions are 48 feet by 192 feet (9,216 square feet). The buildings are twenty-four (24) feet apart.

A third storage building is shown in Phase IV and has twenty-two (22) units. The building dimensions are 24 feet by 264 feet (6,336 square feet).

Service Drives

Improvements are proposed for the existing gravel service drive from Old US-23. The plan shows a 31-foot wide, paved service drive, which includes curb and gutter. The applicant will need to apply for and acquire all applicable permits and approvals from the Livingston County Road Commission (LCRC) as part of the current proposal prior to the construction phase.

A summary of the buildings in Phase III and IV is provided below.

Phase III	# Bldgs.	Total # Units	SF Office*	SF Warehouse*	Combined SF	Building SF (Footprint)
Office/warehouse Bldgs.	9	54 (6 units x 9 bldgs.)	16,200 SF	57,942 SF	74,142 SF	77,760 SF (9 x 8,640 SF)
Storage Bldgs.	2	64	NA	NA	18,432 SF	18,432 SF (2 x 9,216 SF)
TOTAL SQ. FT. All buildings						96,192 SF

*Data as provided on site plans.

Phase IV	# Bldgs.	Total # Units	SF Office*	SF Warehouse*	Combined SF	Building SF (Footprint)
Office/warehouse Bldgs.	3	18 (6 units x 3 bldgs.)	5,400 SF	19,314 SF	24,714 SF	25,920 SF (3 x 8,640 SF)
Storage Bldgs.	1	22	NA	NA	6,336 SF	6,336 SF (1 x 6,336 SF)
TOTAL SQ. FT. All buildings						32,256 SF

*Data as provided on site plans.

The total square footage of all buildings in Hartland Commerce Center (for Phase I, II, III, and IV) is summarized below:

Phase I: 51,840 SF
 Phase II: 51,840 SF
 Phase III: 96,192 SF
 Phase IV: 32,256 SF
TOTAL: 232,128 SF

Approval Procedure

The project requires site plan approval and is subject to the standards outlined in Section 6.6 of the Township’s Zoning Ordinance as well as applicable standards of the LI (Light Industrial) zoning district outlined in Section 3.1.16. The Planning Commission has Site Plan review authority and will make a final decision on the proposed project. The proposed project requires a land use permit from the Township and applicable approvals from other state and county agencies.

SITE PLAN REVIEW – Applicable Site Standards

Site Description

The subject site is west of Old US-23, north of Bergin Road, and will be the last two (2) phases of Hartland Commerce Center.

Impact Assessment

No impact assessment was submitted, nor required, for the proposed use.

Traffic Generation

A traffic impact assessment was not required for the proposed use.

Dimensional Requirements (LI-Light Industrial District - Sec 3.1.16 E.)

Lot Site

- Required – 40,000 sq. ft.
- Proposed – 18.72 acres (area for Phase III and IV)
- Meets Requirement? Yes
- Comment – (none)

Frontage

- Required – minimum lot width of 120 ft.
- Proposed – lot width is approximately 516.55 ft. along Old US-23 & 630.5 ft. along Bergin Road
- Meets Requirement? – Yes
- Comment – (none)

Building Setbacks (Phase III – 3 office/warehouse buildings– Interior to the site, no street frontage)

Setback	Required	Proposed	Meets Requirements? (Y / N)
Side (west) - Bldg. M, P, S	15'	80'	Yes
Side (east) - Bldg. O	15'	85'	Yes
Rear (north) - Bldg. S, T, U	50'	220'	Yes

Building Setbacks (Phase III – 2 storage bldgs. – Interior to the site, no street frontage)

Setback	Required	Proposed	Meets Requirements? (Y / N)
Side (west) - West Bldg.	15'	50'	Yes
Rear (north) - West Bldg.	50'	52'	Yes
Rear (north) - East Bldg.	50'	50'	Yes

Building Setbacks (Phase IV – Office /warehouse buildings V, W, X)

Setback	Required	Proposed	Meets Requirements? (Y / N)
Front (east) Old US-23- Bldg. X	80'	80'	Yes
Side (north) - Bldg. V	15'	117'	Yes
Side (north) - Bldg. W	15'	95'	Yes
Side (north) - Bldg. X	15'	72'	Yes

Building Setbacks (Phase IV – 1 storage bldg.)

Setback	Required	Proposed	Meets Requirements? (Y / N)
Front (east) Old US-23	80'	286'	Yes

Side (north)	15'	15'	Yes
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Building Height

- Required – 35 ft. or 2½ stories, whichever is less
- Proposed – Office/warehouse Buildings: 23.6 ft. mean height for each office/warehouse building except Building X – mean height of tower structure is 34.5 ft.
- Proposed – Storage Buildings: 12.2 ft. mean height for each building
- Meets Requirement? – Yes, for all buildings
- Comment – (none)

Lot Coverage

- Required – Principal structure: 75% max.
- Proposed – Approx. 17.9% (232,128 SF buildings ÷ 29.78 acres – includes entire site & all office/warehouse buildings and storage buildings in Phase I, II, III, and IV)
- Meets Requirement? – Yes
- Comment – (none)

Site Requirements

Dumpster Enclosure (Sec. 5.7) – Refer to drawing submitted with Applicant’s letter dated 12.29.2022

- Required – Dumpster designed, enclosed, and screened per requirements; dumpster enclosure materials must match the building; minimum height for enclosure is 6 feet
- Proposed –
PHASE III: 4 double dumpster enclosures placed in the pavement on the side of the building with the loading areas; each with 10’ by 20’ concrete pad with 6-foot-high enclosure (10’ by 20’) comprised with brick to match the building; and treated wood gates to be stained to match the vertical siding on the building.
PHASE IV: 2 single dumpster enclosures placed in the pavement on the side of the building with the loading areas; each with 10’ by 10’ concrete pad with 6-foot-high enclosure (10’ by 10’) comprised with brick to match the building; and treated wood gates to be stained to match the vertical siding on the building.
- Meets Requirement? – Yes
- Comment – Revised detail drawing of the dumpster enclosure to be included on the Construction Plan set.

Off-Street Parking (Sec. 5.8.4.H.) – Warehouse PLUS Office uses

PHASE III (9 buildings; total of 54 units)

- Required – WAREHOUSE: 1 space per each 1,500 sq. ft. of gross floor area, OR 1 space per employee at peak shift, whichever is greater. OFFICE: 1 space per each 300 sq. ft. of gross floor area
WAREHOUSE: 39 parking spaces REQUIRED: (57,942 sq. ft. ÷ 1,500 = 39 spaces). NOTE: information on the number of employees on peak shift was not provided.
OFFICE: 54 spaces REQUIRED: (16,200 sq. ft. ÷ 300 = 54 spaces)
TOTAL REQUIRED: 93 spaces (39 + 54)
- Proposed – 126 spaces (108 spaces, 10’ X 20’, PLUS 18 Barrier-free spaces; PLUS 54 loading spaces, each 10’ by 40’)
- Meets Requirement? – Yes
- Comment – (none)

PHASE IV (3 buildings: total of 18 units)

- Required – WAREHOUSE: 1 space per each 1,500 sq. ft. of gross floor area, OR 1 space per employee at peak shift, whichever is greater. OFFICE: 1 space per each 300 sq. ft. of gross floor area
 WAREHOUSE: 13 parking spaces REQUIRED: (19,314 sq. ft. ÷ 1,500 = 13 spaces). NOTE: information on the number of employees on peak shift was not provided.
 OFFICE: 18 spaces REQUIRED: (5,400 sq. ft. ÷ 300 = 18 spaces)
TOTAL REQUIRED: 31 spaces (13 + 18)
- Proposed – 38 spaces (35 spaces, 10' X 20', PLUS 3 Barrier-free spaces; PLUS 18 loading spaces, each 10' X 40', except loading spaces are 10' X 25' where adjacent to Bldg. X)
- Meets Requirement? – Yes
- Comment – (none)

Barrier-Free Parking

PHASE III:

- Required – 5 barrier-free spaces (for 126 parking spaces) in a location most accessible to the building entrance, with at least 1 space van-accessible (1 barrier-free space required per 25 parking spaces)
- Proposed – 18 barrier-free spaces, all van-accessible, distributed within Phase III, near the entrances of condominium units
- Meets Requirement? – Yes
- Comment – (none)

PHASE IV

- Required – 2 barrier-free spaces (for 38 parking spaces) in a location most accessible to the building entrance, with at least 1 space van-accessible (1 barrier-free space required per 25 parking spaces)
- Proposed – 3 barrier-free spaces, none are van-accessible (8' wide access aisle required), distributed within Phase IV, near the entrances of condominium units
- Meets Requirement? – **No**
- Comment – The plans are to be revised to provide one (1) van-accessible barrier-free parking space, with 8' wide access aisle, on the Construction Plan set.

Parking Lot / Driveway / Internal Roads Setbacks (Sec. 5.8.3.)

- Required – Off-street parking in industrial districts may only be located in a side or rear yard or non-required front yard; may not be permitted within 20' of a single-family district, nor within 10' of a road ROW, or 25' from a front lot line, nor 10' from a side or rear lot line.

Parking Setbacks (Phase III) – Setbacks listed as applicable

Setback	Required	Proposed	Meets Requirements? (Y / N)
Side (west) – pkg for Bldgs. M, P, S	20'	65'	Yes
Side (east) – pkg for Bldg. O	10'	85'	Yes
Rear (north) – loading spaces for Bldgs. S, T, U	20'	138'	Yes

- Meets Requirement? – Yes
- Comment – (none)

Parking Setbacks (Phase IV) – Setbacks listed as applicable

Setback	Required	Proposed	Meets Requirements? (Y / N)
Front (east) – Old US-23 Bldg. X – off-street pkg. spaces	25'	103'	Yes
Front (east) – Old US-23 Bldg. X – loading spaces	25'	90'	Yes
Side (north) – loading spaces for Bldgs. V, W, X	20'	50' at closest point	Yes

- Meets Requirement? – Yes
- Comment – (none)

Loading (Sec. 5.9)

- Required – Located at the rear or side of the building being served; 1 loading space (10' X 50') required for every 10,000 sq. ft. of floor area; no less than 2 loading spaces provided (for industrial use). Using this standard, approximately 1 loading space is required for each office/warehouse building (buildings range in size from 8,242 sq. ft to 8,640 sq. ft.)
- Proposed – 1 loading space per condominium unit, 72 loading spaces total; each space adjacent to the condominium unit, on the rear side of each building. Loading spaces in Phase III are 10' X 40'; loading spaces in Phase IV are 10' X 40' (Bldgs. V & W) and 10' X 25' (Bldg. X).
- Meets Requirement? – Yes
- Comment – (none)

Access Management and Non-Residential Driveway Standards (Sec. 5.10)

A new access driveway is shown off Old US-23, which was installed in approximately 2007 and is gravel currently. The service drive will be paved as part of this project. Two (2) access driveways already exist off Bergin Road. The Ordinance specifies one (1) access per parcel and three (3) are provided.

- Required – Per Section 5.10.5.C, minimum spacing between two (2) commercial driveways, measured from near edge of the driveways, shall be determined based upon posted speed limits along the parcel frontage in accordance with Table 5.10.5.C (Minimum Spacing Between Commercial Driveways). Based on the Table and the posted speed limit of 55 MPH (on Old US-23), the minimum driveway spacing is 330 feet. Driveways are subject to approval by the Livingston County Road Commission (LCRC).
- Proposed – Proposed entrance drive via Old US-23 is approximately 618 feet from the driveway associated with the vacant parcel to the south (Parcel ID #4708-300-019), which is zoned LI.
- Meets Requirement? – Yes
- Comment – The applicant will need to apply for and acquire all applicable permits and approvals from the LCRC as part of the current proposal prior to the construction phase.

Landscaping and Screening (Sec. 5.11)

Frontage measurement used is taken from the north end of the Conservation Easement to the north property line of Phase IV area – Equates to 178 lineal feet

A. Greenbelt Landscaping (Sec. 5.11.C.)

- Required – Within the first 30 ft. of the property, 1 canopy tree for every 30 lineal ft. of lot frontage; plus 3 small deciduous ornamental trees or large deciduous or evergreen shrubs for

the initial 40 ft. of lot frontage; and 1 additional small deciduous ornamental tree or large deciduous/evergreen shrub per 20 ft. thereafter. For 178 ft. of frontage along Old US-23. Equates to: 6 canopy trees and 7 additional ornamental trees, or large deciduous or evergreen shrubs REQUIRED

- Proposed – 6 canopy trees PLUS 10 large evergreen shrubs (hedge row), within 50 feet of property line along Old US-23
- Meets Requirement? – Yes, for the number of required plants. A portion of the shrub hedge row is approximately 40 feet from the property line.
- Comment – Planning Commission to determine if the shrub hedge row location meets the intent of the Zoning Ordinance. The landscape plan shall be revised to state the specific shrub species name and planting size on the Construction Set of plans.

B. Foundation Landscaping (Sec. 5.11.2.D.)

Sheet 3.9A shows the typical landscape plan for buildings in Phase III. The medians are the landscaped areas between the end unit of a building and the drive aisle. Foundation landscaping is required along front of the building where the office entrances are located and not adjacent to the loading areas (back of building). Staff is unsure what formula the applicant is using as stated on the plan; the current zoning landscape requirements are provided below.

Foundation Landscaping for Office/warehouse buildings (Phase III and IV)

PHASE III: Detailed Landscape Plan (Sheet 3.9A) – same requirements for each building (9 buildings)

- Required – Must equal 60% of the front and sides of the proposed building where facing road or adjacent to parking lot; must be 8-10 ft. in width, and consist of 1 ornamental or columnar tree, and 6 medium or 8 small shrubs for every 30 ft.
Foundation perimeter = 144 ft. (front side of each building). $144 \text{ ft.} \times 60\% = 87 \text{ ft.}$
Equates to: 3 ornamental/columnar trees; PLUS 24 small shrubs or 18 medium shrubs REQUIRED for each building. A total of 9 ornamental/columnar trees
- Proposed – 4 ornamental trees plus 28 medium shrubs provided in an approx. 5-ft. wide planting beds, for each building; PLUS 10 large shrubs in between 2 buildings, by the lawn areas.
- Meets Requirement? – Yes, for the number of plants; no for width of planting bed and required ground coverage with plants. Concerns with spatial constraints with the foundation planting beds regarding width and roof overhang. See staff's recommendations below.
- Comment – Due to height constraints with the roof overhang and the width of the planting bed (5 feet wide), the proposed ornamental trees (flowering crabapple-species not defined) will not thrive in the locations shown. Staff would recommend the ornamental trees be planted in the landscaped areas (medians) next to end units of Building M, O, P, R, S, and U (see discussion below on Parking Lot Landscaping). Additional plantings (shrubs, groundcover, perennials) are required in each foundation planting bed to cover approximately 80% of the ground to avoid weeds. Shredded wood mulch is required. Revisions to be shown on the Construction Plan set if the Planning Commission is in favor of the suggested revisions. The applicant has provided a conceptual landscape plan (see Applicant's letter dated 12.29.2022) for the median areas and is seeking comments from the Planning Commission.

PHASE IV: A detailed landscape plan for Phase IV was not submitted, however the applicant has provided a conceptual landscape plan for Phase IV (see Applicant's letter dated 12.29.2022)

Foundation landscaping is required along front of the building where the office entrances are located and not adjacent to the unloading areas (back of building). Staff is unsure what formula the applicant is using as stated on the plan; the current zoning landscape requirements are provided below.

Building V and W:

- Required – must equal 60% of the front and sides of the proposed building where facing road or adjacent to parking lot; must be 8-10 ft. in width, and consist of 1 ornamental or columnar tree, and 6 medium or 8 small shrubs for every 30 ft.
Foundation perimeter = 144 ft. (front side of each building). $144 \text{ ft.} \times 60\% = 87 \text{ ft.}$
Equates to: 3 ornamental/columnar trees; PLUS 24 small shrubs or 18 medium shrubs ($87 \text{ ft.} \div 30$) REQUIRED, each for Building V and W.
- Proposed – Conceptual landscape plan shows 2 ornamental trees and planting beds on the south side of each building which could accommodate a similar number of shrubs as shown on Sheet 3.9A for Phase III foundation planting beds.
- Meets Requirement? – **TBD**
- Comment – see comments below

Building X (facing Old US 23)

- Required – must equal 60% of the front and sides of the proposed building where facing road or adjacent to parking lot; must be 8-10 ft. in width, and consist of 1 ornamental or columnar tree, and 6 medium or 8 small shrubs for every 30 ft.
Foundation perimeter = 204 ft. (60 ft. east and 144 ft. south). $204 \text{ ft.} \times 60\% = 122 \text{ ft.}$
Equates to: 4 ornamental/columnar trees; PLUS 32 small shrubs or 24 medium shrubs ($122 \text{ ft.} \div 30$) REQUIRED for Building X.
- Proposed – Conceptual landscape plan shows 2 ornamental trees on the east side of the building and planting beds on the south side which could accommodate a similar number of shrubs as shown on Sheet 3.9A for Phase III foundation planting beds.
- Meets Requirement? – **TBD** - See staff's recommendations below.
- Comment – **Summary of comments for Phase IV:** Based on Sheet 3.4, approximately 7 planting areas are shown (Bldg. V, W, and X), each 5-foot wide. Due to the roof overhang and the width of the planting beds (5 feet wide), the proposed ornamental trees (flowering crabapple-species not defined) will not thrive in those locations and could be placed elsewhere. The conceptual landscape plan shows a total of four (4) ornamental trees. Two (2) larger planting beds are shown in front of Building V and may provide enough space for 2-4 additional ornamental trees. Shrubs, groundcover, perennials are required in each foundation planting bed to cover approximately 80% of the ground to avoid weeds. Revisions to be shown on the Construction Plan set if the Planning Commission is in favor of the suggested revisions. Applicant is seeking comments from the Planning Commission.

Foundation Landscaping for Storage Buildings (Phase III and IV)

Foundation Landscaping (Sec. 5.11.2.D.)

- Required – Must equal 60% of the front and sides of the proposed building where facing road or adjacent to parking lot; must be 8-10 ft. in width, and consist of 1 ornamental or columnar tree, and 6 medium or 8 small shrubs for every 30 ft.
- Proposed – Foundation landscaping is not proposed.
- Meets Requirement? – **TBD**
- Comment – Planning Commission to determine if this requirement is applicable given the proposed use (storage buildings) with limited area for landscape beds, and the fact that the storage buildings are not adjacent to a parking lot.

C. Parking Lot Landscaping (Sec. 5.11.2.E.1.)

PHASE III (See Sheet 3.9A)

- Required – Landscaped endcaps in a row of 10 or more parking spaces; 1 canopy tree per 180 sq. ft. of interior landscaped endcaps, islands, or medians, with 50% of the interior area covered

with small or medium shrubs and remaining area covered with combination of groundcover, perennials, annuals and mulch.

Equates to: 4 endcaps with 4 canopy trees PLUS 2 parking islands with 2 canopy trees on the front side of the building PLUS 8 trees in each median (median: 13' x 113' = 1469 sq. ft.; $1,496 \div 180 = 8$ trees), AND plants to provide minimum 50% coverage REQUIRED. As an informational note, the end of each median is also being counted as an endcap, for tree calculations and screening of parking.

- Proposed – 4 canopy trees, one at each end of each median and irrigated lawn shown in median; 2 canopy trees, one in each parking island with 6 medium shrubs; each median has 9 trees (5 canopy trees plus 4 ornamental trees), evergreen shrub hedgerow in mulched bed by the building and adjacent to parking/unloading areas, plus irrigated lawn for the rest of the median.
- Meets Requirement? – Yes, with suggested revisions below
- Comment – Suggested revisions include the following: in each parking island provide 1 canopy tree and irrigated lawn, and no shrubs; median areas, provide 1 canopy tree at each end of the median, plus 5 ornamental trees in the middle area (can also count these for foundation plantings), keep evergreen shrubs adjacent to the parking, but eliminate shrubs and planting bed next to the building, and have irrigated lawn up to the edge of the building. The applicant has provided a conceptual landscape plan for the median areas for the consideration of the Planning Commission (see Applicant's letter dated 12.29.2022). A revised landscape plan should be submitted with the Construction Plan set.

PHASE IV: A detailed landscape plan for Phase IV was not submitted, however the applicant has provided a conceptual landscape plan for Phase IV (see Applicant's letter dated 12.29.2022)

- Required – Landscaped endcaps in a row of 10 or more parking spaces; 1 canopy tree per 180 sq. ft. of interior landscaped endcaps, islands, or medians, with 50% of the interior area covered with small or medium shrubs and remaining area covered with combination of groundcover, perennials, annuals, and mulch.

Equates to: 4 endcaps with 4 canopy trees PLUS 2 parking islands with 2 canopy trees on the front side of the building. AND plants to provide minimum 50% coverage REQUIRED. A median is shown on the west side of Building V and on the east side of Building X. As an informational note, the end of each median is also being counted as an endcap, for tree calculations and screening of parking.

- Proposed – Conceptual landscape plan shows 4 canopy trees (1 tree per end cap) and 2 canopy trees (1 in each parking island). Irrigated lawn is shown in each median and in each parking island.
- Meets Requirement? – Yes, with suggested revisions below
- Comment – Suggested revisions include adding an evergreen shrub hedge row on inner edge of each median next to parking spaces/loading spaces for screening parking. Revisions to be shown on the Construction Plan set if the Planning Commission is in favor of the conceptual landscape plan and the suggested revisions.

D. Perimeter Landscaping (Sec. 5.11.2.E.11.a.) – For areas visible from a public road (east, facing Old US-23), parking adjacent to Building X in Phase IV

- Required – Landscape berm planted with a combination of evergreen and deciduous shrubs to effectively screen parking lot; or evergreen hedge row a minimum 3 ft. in height; or decorative screen wall
- Proposed – Conceptual landscape plan shows and caps of median each having 1 canopy tree and irrigated lawn.
- Meets Requirement? – Yes, with suggested revisions below
- Comment – Suggested revision includes adding an evergreen shrub hedge row on inner edge of each median next to parking spaces/loading spaces for screening parking. Revisions to be

shown on the Construction Plan set if the Planning Commission is in favor of the conceptual landscape plan and the suggested revisions.

- E. Perimeter Landscaping (Sec. 5.11.2.E.ii.b.) – For areas not visible from a public road **NA**
- F. Buffering or Screening Requirements (Sec. 5.11.2.G.i.) – Northwest area of the site (adjacent to Cobblestone Preserve to the west and CA zoned property to the north)
 - Required – Visual screen at least 8 ft. in height from a single-family residential zoned property and a non-residential use.
 - Proposed – The applicant has provided a letter stating he intends to keep some of the existing trees, which in his opinion will satisfy the screening requirement in the northwest corner of the site.
 - Meets Requirement? – **TBD**
 - Comment – Although the plans show the removal of several deciduous trees along the west and north property lines, the applicant has stated the trees will be preserved. Planning Commission to determine if the plan meets the intent of the Ordinance regulations for screening. The plan should be revised to clearly show which trees are to be preserved and counted as the required screening. Protective measures around the trees to be preserved should be shown on the plan and implemented in the field. Said revisions to be included on the Construction Plan set.
- G. Screening of Ground Mounted Equipment (Sec. 5.11.2.G.iii.)
 - Required – screening on three sides for utility cabinets (if 30 inches or more in height)
 - Proposed – Utility cabinets and ground-mounted AC units are not shown.
 - Meets Requirement? – Insufficient information at this time.
 - Comment – Utility cabinets and AC units are to be shown and appropriately screened (using landscaping or solid fencing) on the Construction Plan set.
- H. Detention/Retention Area Landscaping (Sec. 5.11.2.H.) – NA, 2 existing detention areas shown.
- I. Other comments on Landscaping (Comments to be addressed on the Construction Plan Set).
 - The plant list should be revised to state the specific name (Latin and common name) of each plant (shrub and tree).
 - The plant list should state the height of each shrub species at the time of planting.
 - At least two (2) different types of canopy trees should be used to provide plant diversity and visual interest.

Sidewalks and Pathways (Sec. 5.12)

- Required – the Planning Commission may require sidewalks or safety paths as a condition of site plan approval
- Proposed – No sidewalk proposed along frontage on Old US-23
- Meets Requirement? – **TBD**
- Comment – Currently there is no sidewalk along the west side of Old US-23 in the immediate area of the subject site. Planning Commission determination required regarding sidewalks or safety paths along the frontage of the subject site on Old US-23.

Lighting (Sec. 5.13)

Due to the number of buildings and building entrances, and multiple parking areas, footcandle averages were not required for each building and parking area. Photometrics within the site and light fixtures are reviewed below.

A. Intensity

- Required – Max. 0.5 fc along property line adjacent to residential; or max.1.0 fc along property line adjacent to non-residential; average fc between 2.4 and 3.6 in main parking area and an average of 5.0 fc at main building entrance and main entry/exit drive; level of lighting may not exceed 10 fc at any location on the site.

- Proposed – Photometric plan indicates an average of 0.0 fc along all property lines in Phase III and IV. Footcandle values exceed 10 fc in several locations, in Phase III and IV.
- Meets Requirement? – **NO**, where level of lighting exceeds 10 fc
- Comment – Revised photometric plan to be provided with Construction Plan set.

B. Fixture Height – Light poles not proposed

C. Fixture Type

- Required – Details of all lighting fixtures needed including specifications for shielding, wattage and illumination
- Proposed – Specifications information is provided for wall pack and soffit light fixtures. Wall mounted light fixtures are shielded and aimed downward; soffit light fixtures are flush mounted.
- Meets Requirement? – Yes
- Comment – (none)

Water Supply and Wastewater Disposal (Sec. 5.16)

The existing development is served by a private well (water) and municipal sewer system, which will also serve Phase III and IV.

Architecture / Building Materials (Sec. 5.24) – Architecture Comments:

Façade Materials Calculation – Façade materials must comply with the specifications for Façade Materials Group #3; proposed percentages are summarized in the charts below, for products listed in the Façade Materials Chart (Sec. 5.24.14).

Materials Group #3: Proposed Façade Materials by Percentage by Elevation – Phase III (9 Office/Warehouse Buildings) – refer to Sheet A-01; percentages shown for the west elevation are the same for the east elevation for buildings in Phase III

Elevation	Clay Brick (no minimum required)	CMU Block (75% max. for split faced)	Glass (50% max.)	Siding* (50% max.)	Asphalt Shingles (50% max.)
North	3.3%	0.4%	0.0%	26.5%	38.5%
South	16.3%	0.0%	4.4%	17.4%	50.0%
East	0.7%	1.1%	2.4%	40.8%	38.7%
West	0.7%	1.1%	2.4%	40.8%	38.7%

*Siding percentage listed is the sum total of vertical siding (steel product); horizontal siding (vinyl product); and scallop siding (vinyl product).

- Meets Requirement? – Yes
- Comment – (none)

Materials Group #3: Proposed Façade Materials by Percentage by Elevation – Phase IV (3 Office/Warehouse Buildings)

Elevation	Clay Brick (no minimum required)	CMU Block (75% max. for split faced)	Metal Roof (50% max.)	Glass (50% max.)	Siding* (50% max.)	Asphalt Shingles (50% max.)
North	3.3%	0.4%	3.5%	0.0%	26.5%	38.5%
South	16.3%	0.0%	3.5%	4.4%	17.4%	50.0%
East	31.2%	0.0%	8.8%	8.5%	16.2%	25.0%
West	0.7%	1.1%	8.8%	2.4%	40.8%	38.7%

*Siding percentage listed is the sum total of vertical siding (steel product); horizontal siding (vinyl product); and scallop siding (vinyl product).

- Meets Requirement? – Yes
- Comment – (none)

Materials Group #3: Proposed Façade Materials by Percentage by Elevation – Phase III Double Row Storage Buildings (2 Buildings) – percentages listed are the same for each storage building

Elevation	Clay Brick (no minimum required)	CMU Block (75% max. for split faced)	Glass (50% max.)	Siding (50% max.)	Asphalt Shingles (50% max.)
North	0.0%	0.6%	0.0%	17.1%	48.9%
South	0.0%	0.6%	0.0%	17.1%	48.9%
East	0.0%	2.4%	0.0%	92.8%	0.0%
West	0.0%	2.4%	0.0%	92.8%	0.0%

- Meets Requirement? – **No**, Siding exceeds the 50% maximum allowed on the east and west elevation of each storage building.
- Comment – Given the intended use of the buildings, which is storage of materials, the buildings are designed to be utilitarian. The siding (vinyl) material is the same as used on the office/warehouse buildings and is intended to match those buildings. Planning Commission to determine if the siding percentage is acceptable.

Materials Group #3: Proposed Façade Materials by Percentage by Elevation – Phase IV Single Row Storage Building (1 Building)

Elevation	Clay Brick (no minimum required)	CMU Block (75% max. for split faced)	Glass (50% max.)	Siding (50% max.)	Asphalt Shingles (50% max.)
North	0.0%	2.5%	0.0%	59.1%	34.7%
South	0.0%	0.8%	0.0%	21.3%	34.7%
East	0.0%	2.8%	0.0%	91.1%	0.0%
West	0.0%	2.8%	0.0%	91.1%	0.0%

- Meets Requirement? – **No**, Siding exceeds the 50% maximum on the north, east, and west elevations
- Comments –
- Colors: the color renderings illustrate earth tone colors as required; all specifications are provided.
- Materials: percentages are listed for each elevation side as indicated by the table; specifications on all materials are provided
- Meets Requirement? – **No**, siding exceeds the 50% maximum allowed on the north, east, and west elevations.
- Comment – Given the intended use of the building, which is storage of materials, the building is designed to be utilitarian. The siding (vinyl) material is the same as used on the office/warehouse buildings and is intended to match those buildings. Planning Commission to determine if the siding percentage is acceptable.

Other Requirements-Zoning Ordinance Standards/Other Comments

No comments at this time.

Hartland Township DPW Review

The Hartland Township DPW Director provided comments in the review letter dated January 2, 2023.

Hartland Township Engineer’s Review (SDA)

The Township’s Engineer (SDA-Spaulling DeDecker) has reviewed the plans and recommends site plan approval subject to items being addressed in the letter dated December 13, 2022.

Hartland Deerfield Fire Authority Review

The Hartland Deerfield Fire Authority has reviewed the plans and provided comments in the letter dated October 20, 2022. The Fire Authority approves the project subject to the contingencies being addressed as outlined in the letter.

Attachments

1. Hartland Township DPW review letter dated 01.02.2023– *PDF version*
2. Township Engineer (SDA) review letter dated 12.13.2022– *PDF version*
3. Hartland Deerfield Fire Authority review letter dated 10.20.2022 – *PDF version*
4. Applicant’s letter dated 12.29.2022 – *PDF version*
5. Recorded Conservation Easement Agreement – *PDF version*
6. Conservation Easement Field Map – *PDF version*
7. Section 3.1.16 Light Industrial (LI) zoning standards – *PDF version*
8. Office/Warehouse Building Elevations dated 05.22.2020 – *PDF version*
9. Storage Building Elevations dated 04.13.2021 – *PDF version*
10. Photometric Plan Bldgs. M-U dated 09.10.2021 – *PDF version*
11. Photometric Plan Bldgs. V-X dated 09.10.2021– *PDF version*
12. Site Plans dated 05.04.2021

CC:

- Spaulding DeDecker, Twp Engineer (via email)
- Mike Luce, Twp DPW Director (via email)
- A. Carroll, Hartland FD Fire Chief (via email)

T:\PLANNING DEPARTMENT\PLANNING COMMISSION\2023 Planning Commission Activity\Site Plans Applications\SP #23-002 Hartland Commerce Center Phase 3 & 4\Staff reports\SP 23-002 staff report 01.05.2023.docx



DEPARTMENT OF PUBLIC WORKS

Michael Luce, Public Works Director
2655 Clark Road
Hartland MI 48353
Phone: (810) 632-7498

TO: Planning Department
DATE: 1/2/2023
DEVELOPMENT NAME: Hartland Commerce Center
PIN#:
APPLICATION #: SUP# 23-002
REVIEW TYPE: Site Plan

Site Plans for the proposed Hartland Commerce Center show 12 additional buildings with 6 individual units per building. Each unit will require .5 REU's (6 Units per building therefore 3 REU's per building), totaling 36 REU's for final build out. Currently the 3 parcels to be utilized for the development (4708-28-300-029, 027, 026) have a total of 31 REU's owned. A total of 5 Sewer REU's must be purchased prior to approval of the forthcoming Land Use Permit.

Units Per Building (6): .5 * 6 = 3
Total Buildings (12): 3 * 12 = 36
TOTAL: 36

	Sewer REUs
Owned	31
Required	36
# REUs Needed	5
Cost Each	\$9,439.20
Total Due	\$47,196
TOTAL REU COST	\$47,196

Hartland Township Public Works approves the Hartland Commerce Center site plan subject to inclusion of the following details on the construction plans:

1. Sanitary sewer material and sizes and connection detail sheet
2. Monitoring manhole for sewer connection and location if required
3. Utility easements noted as public or private.
4. Purchase of additional REU's
5. Livingston County Drain Commission may require a Capacity Study
6. Approval of the Livingston County Drain Commission.

Please feel free to contact me with any further questions or comments regarding this matter.

Michael Luce
Public Works Director

December 13, 2022

Troy Langer
Planning Director
Hartland Township, MI

Re: Hartland Commerce Center Phases 3 and 4 – First Site Plan Review
SDA Review No. HL22-125

Dear Troy:

We have received the preliminary site plan submittal for the above referenced project prepared by ACE Civil Engineering dated November 12, 2021 and received by our office on December 6, 2022. The plans were reviewed by Spalding DeDecker in accordance with Hartland Township Engineering Standards. The following comments are our observations:

A. General

The site is an L-shaped property located along the north side of Bergin Road approximately 1500 feet west of N. Old US Hwy. 23, extending to the east where it connects to N. Old US Hwy. 23 approximately 1300 feet north of Bergin Road. Phase I and II of this retail development off Bergin Road have already been completed with site areas of 6.39 acres and 4.67 acres respectively. This review is for Phases III and IV which have a total area of 18.72 acres.

1. No certified boundary survey was submitted. Provide a recent boundary survey indicating all existing topography consisting of existing grades to a minimum of 100' beyond the site's property (if available).
 - a. Include all existing (recorded) easements for utilities and/or right-of-way.
2. The existing site contains an area classified under the Michigan Department of EGLE Part 303 Final Wetlands Inventory as "Soil areas which include wetland soils". A Conservation Easement Agreement, recorded by Oakland County as authorized by EGLE Permit Number 06-47-0118-P is included on Page 3.10 of the submitted plans.
3. Existing detention basins should be evaluated and may need cleaning and/or maintenance.

These comments are to assist in plan preparation in anticipation of your engineering review submittal and are not required at this time for site plan approval:

1. Original approved plans to be included in engineering review submittal to verify overall C-coefficient and area to the shared regional detention basin needed
2. On site pavement, water main, sanitary sewer and storm sewer and quantities must be shown on the plans.
3. Hartland Township Standard Detail Sheets are to be attached to the proposed plans when applicable.

B. Water Main

The plans do not show any existing or proposed water mains and the township records do not indicate a nearby public water main, therefore we have the following comments:

1. Provide indication of the proposed system of water supply by a method approved by the Livingston County Health Department or other applicable authorities.
2. Well shall be installed according to Livingston County Health Department Standards and permit provisions.
3. The Hartland Fire Marshall shall review and approve the hydrant coverage for the site.

C. Storm Drainage/Grading

Storm water runoff is to be captured via catch basins along the proposed buildings and drain to existing detention ponds 1-A and 1-B, which are connected by twin 24-inch storm pipes sloped from 1-A to 1-B.

An outlet structure is being provided from Pond 1-B into the existing wetland area southeast of the site. Documentation from Livingston County and EGLE will be needed approving this outlet.

1. Offsite surface runoff shall not be trapped along the development perimeter. If the existing runoff from adjacent properties pass onto the proposed site, the proposed storm sewer system must be sized to accommodate.
2. On-site drainage must be captured within the proposed development via the storm sewer network and will not be allowed to drain to adjacent properties.
3. Confirm that Livingston County Drain Commission and EGLE will not require any additional water quality requirements before draining into the existing wetland.
4. All storm water design calculations are to follow Hartland Township and Livingston County Drain Commissioner standards and details.

These comments are to assist in plan preparation in anticipation of your engineering review submittal and are not required at this time for site plan approval:

1. Storm sewer layouts and profiles must be included on the plans.

D. Paving

The Phases III & IV site is to be accessed by extension of an existing entrance from Bergin Road and a new driveway off N. Old US Hwy 23. The proposed plans include 9 new building units for Phase III plus two undetermined structures (covered parking?) at the northwest corner of the property and 3 new units for Phase IV. No sidewalks along N. Old US Hwy 23 or Bergin Road are proposed as part of this development.

Sufficient information was not provided to determine whether a fire truck will have proper circulation around the proposed site layout.

1. Provide a circulation layout demonstrating turning movements around the proposed buildings. It shall be reviewed and approved by the Hartland Fire Marshall.

E. Sanitary Sewer

The Phase III plan shows proposed sanitary sewers connecting to an existing sanitary sewer from Phase II which connects to a 12” Livingston Regional sanitary main in Bergin. The Phase IV plans

shows a proposed 8” sanitary sewer from the site to a manhole in the west side of N. Old US Hwy 23 but no connection to the existing 8” Livingston Regional sanitary main.

Sanitary sewer design and connection to the public mail shall meet the requirements of the current Livingston County Drain Commissioner’s (LCDC) standards and details. LCDC sanitary sewer detail sheets shall be attached to the proposed plans when applicable.

Permits Required

Based on those improvements depicted on the plans, the following permits may be required and will need to be provided to the Township once available. Any changes to the approved site plan from the following agencies that impact the design may require reapproval.

Hartland Township:

1. A Land Use Permit will be granted after the pre-construction meeting.
2. Storm Water Agreement (for the storm water improvements on the site).

Livingston County:

1. Copy of Livingston County Drain Commissioner approval and permit.
2. Copy of a Soil Erosion and Sedimentation permit from Livingston County Drain Commissioner.
3. Copy of Livingston County Road Commission approval and permit for work in the Old US Highway 23 Road right-of-way.

Michigan Department of Environment, Great Lakes, and Energy (EGLE):

1. NPDES Notice of Coverage Documentation.
2. MDEGLE Permit for all proposed work within the state-regulated wetlands. **Provide copy of EGLE Permit Number 06-47-0118-P**

Please be aware that additional comments may arise with the submittal of the requested revisions and/or additional information including comments from other agencies.

RECOMMENDATION

We recommend approval of the site plan, upon the condition that all the above comments are addressed to the satisfaction of the Planning Commission. Engineering approval is not recommended at this time. Before engineering approval can be granted, the final alignments of all proposed water main, sanitary sewer, and storm sewer must be approved by the Township along with any necessary easements.

The comments are not to be construed as approvals and are not necessarily conclusive. The final engineering plans for this development are to be prepared in accordance with the Hartland Township Engineering Design Standards and 2008 Hartland Township Standard Details. Sanitary sewer and water benefit fees may be applicable for this project.

If you have any questions regarding this matter, please contact our office at your convenience.

Sincerely,

SPALDING DEDECKER



Al Loebach, P.E.
Senior Municipal Engineer

cc: Jeremy Schrot, Hartland Township Engineer (via email)



HARTLAND DEERFIELD FIRE AUTHORITY
HARTLAND AREA FIRE DEPT.

3205 Hartland Road
Hartland, MI. 48353-1825

Voice: (810) 632-7676
E-Mail: firemarshal@hartlandareafire.com

October 20, 2022

To: Hartland Township Planning Commission
c/o: Zoning Department

Re: Hartland Commerce Center Phase 3 & 4

This review and the following comments are upon the Hartland Commerce Center Phase 3&4 Site Plan, dated 5-4-2021.

1. Development to maintain minimum fifty foot (50') turning radiuses throughout the internal road system.
2. Development to provide a fire pond with dry hydrant (fire department to provide specification) that contains not less than 65,000 gallons of water in the space from 12 inches above the hydrant strainer/intake to the bottom of the anticipated ice thickness.
3. Development to provide Supra Brand Rapid Entry Key Boxes, placement consistent with prior phases of the development (fire department to provide order form).

Jon Dehanke
Captain

Hartland Commerce Center

Site Plan Supplement – 12/29/22

The following supplemental information is intended to clarify details that have been discussed in the proposed revised site plan for Phases III & IV of the Hartland Commerce Center (HCC), submitted for review on October 10th, 2022. These details are grouped in the categories as found in review.

Fire Authority

On October 20th, 2022, Captain Jon Dehanke, of the Hartland Fire Department raised the following three concerns in his review letter to the Planning Commission:

1. Development to maintain minimum fifty foot (50') turning radiuses throughout the internal road system.
2. Development to provide a fire pond with dry hydrant (fire department to provide specification) that contains not less than 65,000 gallons of water in the space from 12 inches above the hydrant strainer/intake to the bottom of the anticipated ice thickness.
3. Development to provide Supra Brand Rapid Entry Key Boxes, placement consistent with prior phases of the development (fire department to provide order form).

The submitted site plan shows on page 3.3 the requested 50' turning radius on the internal road system, as referenced in concern #1. The existing detention pond 1-A, as depicted on page 3.2 of the site plan, has a capacity several times the required amount, as defined in concern #2. The location of the dry hydrant and capacity, as shown on page 3.3 of the site plan, was previously discussed and defined by Jennifer Whitbeck of the Hartland Township Fire Department. Supra Brand Rapid Entry Key Boxes will be installed on each new building in a location adjacent to the electrical meter bank, as was previously agreed upon.

Accessory Storage Buildings

The submitted site plan depicts eighty-six 12' x 24' accessory storage units, contained three separate buildings, along the North property line. These storage units shall be constructed of similar materials and color as the other buildings on the property. The storage units shall only be rented to current and prospective owners at the Hartland Commerce Center to provide additional short term storage to meet current needs.

Exterior Facade Materials

The following highlighted exterior façade materials shall be further defined for HCC buildings, as follows:

NORTH ELEVATION				
LOCATION	MATERIAL/COLOR	AREA (sq. ft.)	AREA (%)	ALLOWED (%)
SHINGLE ROOFING	GAF TIMBERLINE HD / WEATHERED WOOD	1,823	38.5%	50%
METAL ROOFING	FABRAL STAND 'N SEAM / DARK BROWN	165	3.5%	50%
VERTICAL SIDING	FABRAL GRAND RIB III / LIGHT STONE	1,181	24.9%	50%
HOR SIDING	WOLVERINE RESTORATION III / HERRINGBONE	3	0.1%	50%
BRICK	GLEN-GERY / ROSE RANGE TUDOR	155	3.3%	100%
SCALLOP SIDING	PLYGEM CEDAR DIMENSIONS / SEASHELL	78	1.5%	50%
CMU BLOCK	OLDCASTLE SPLIT FACE / GREY	18	0.4%	75%
FASCIA AND TRIM	ALUMINUM / WHITE	175	3.7%	75%
ROOF BRACKETS	PLASTIC COMPOSITE / WHITE	6	0.1%	15%
OVERHEAD DOORS	OVERHEAD INSULATED CORE / WHITE	1,008	21.3%	75%
MAN DOORS	INSULATED STEEL DOOR / WHITE	120	2.5%	75%
GABLE VENTS	MID-AMERICA VINYL / WHITE	4	0.1%	15%

Vertical Siding – Is a ribbed, painted, steel, vertical siding manufactured by Fabral.

Horizontal Siding – Is a triple three, premium solid vinyl, horizontal siding manufactured by Certainteed.

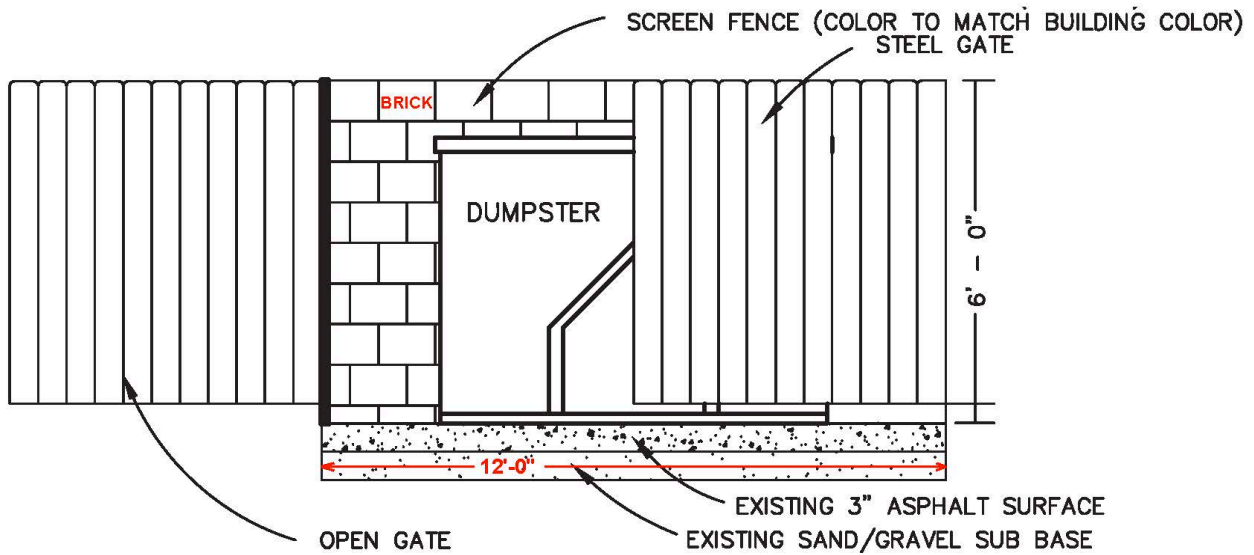
Brick – Is a queen sized, hard fired, clay brick manufactured in Pennsylvania by Glen-Gery.
 Scallop Siding – Is a premium solid textured vinyl scalloped siding manufactured by Ply Gem.
 CMU Block – Is a textured concrete foundation block installed at grade, below vertical siding.

Existing Site Improvements

The existing storm water system for Phases III & IV of HCC, consisting of detention ponds 1-A and 1-B, forebays, storm drainage pipe, storm drain catch basins, drain covers and outlets were previously engineered, designed, approved, and installed as part of the HCC Phase II infrastructure. The storm system was designed to accommodate the future Phase III & IV buildings and paving, as proposed. Also engineered and installed during Phase II was the overall site mass grading, service drive to Old US23 gravel base, and retaining wall installation along the recorded conservation easement.

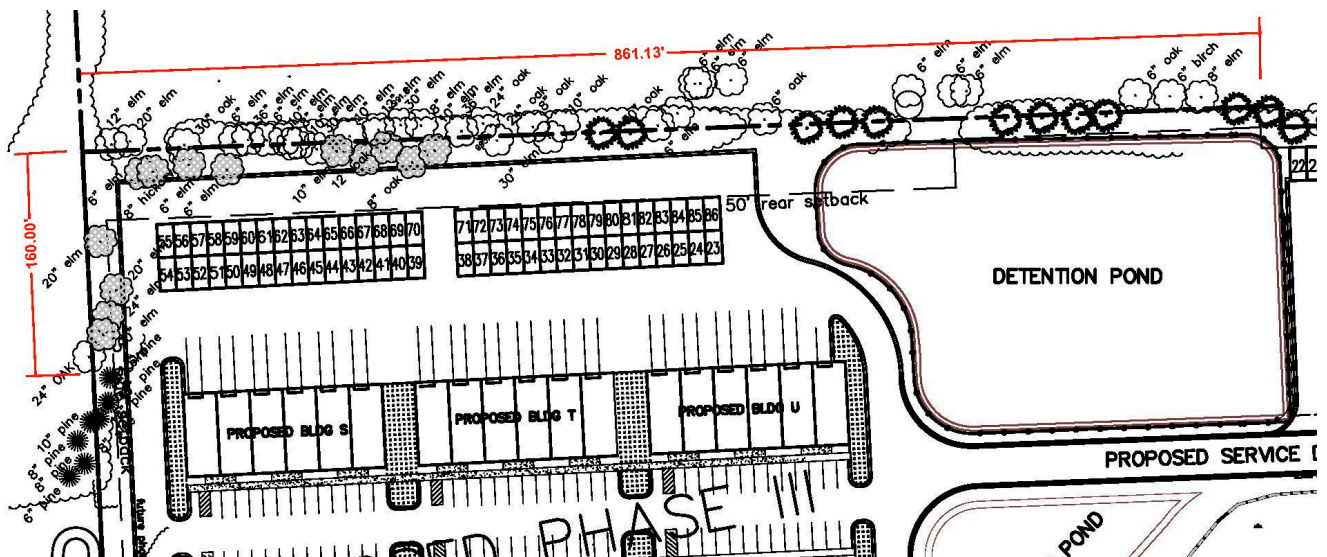
Trash Enclosures

The proposed trash enclosures shall be modified from the specifications outlined on the submitted site plan to include the same brick used on the primary buildings, as defined above, instead of the of the original split faced block. The structure will receive a treated wood gate stained to match the vertical siding on the primary buildings. The structure will have the dimensions as shown in the detail below:

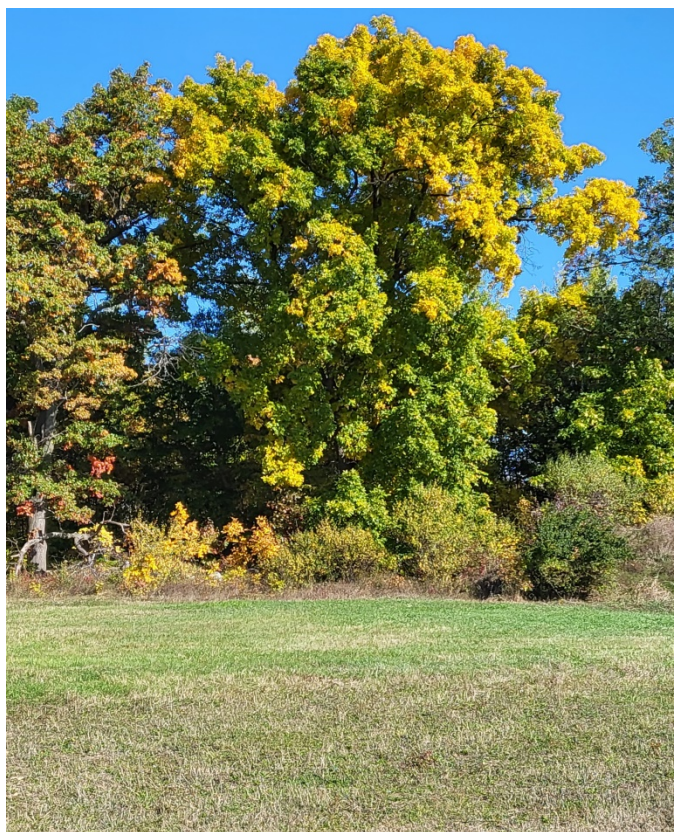


Perimeter Screening

Approximately 861.13 feet of the North property line, as shown below, abuts property that is currently zoned Conservation Agricultural (CA), although it is master planned as Light Industrial (LI). This North



property line has an abundance of mature hardwood trees, together with the Northerly 160 feet of the West property line abutting Cobblestone Preserve, as illustrated in the following recent photographs:

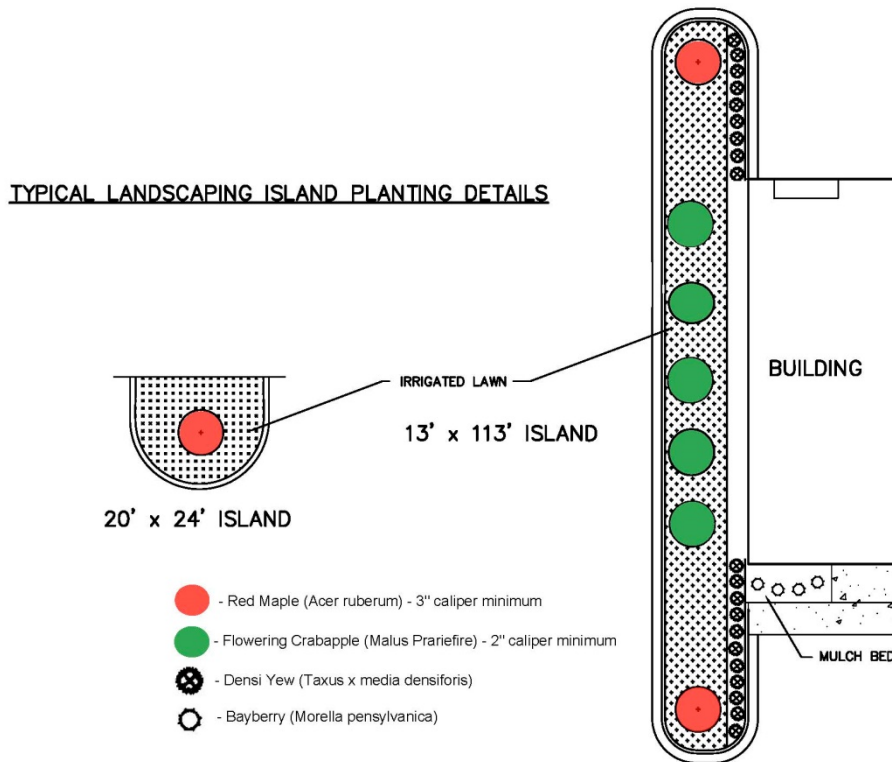




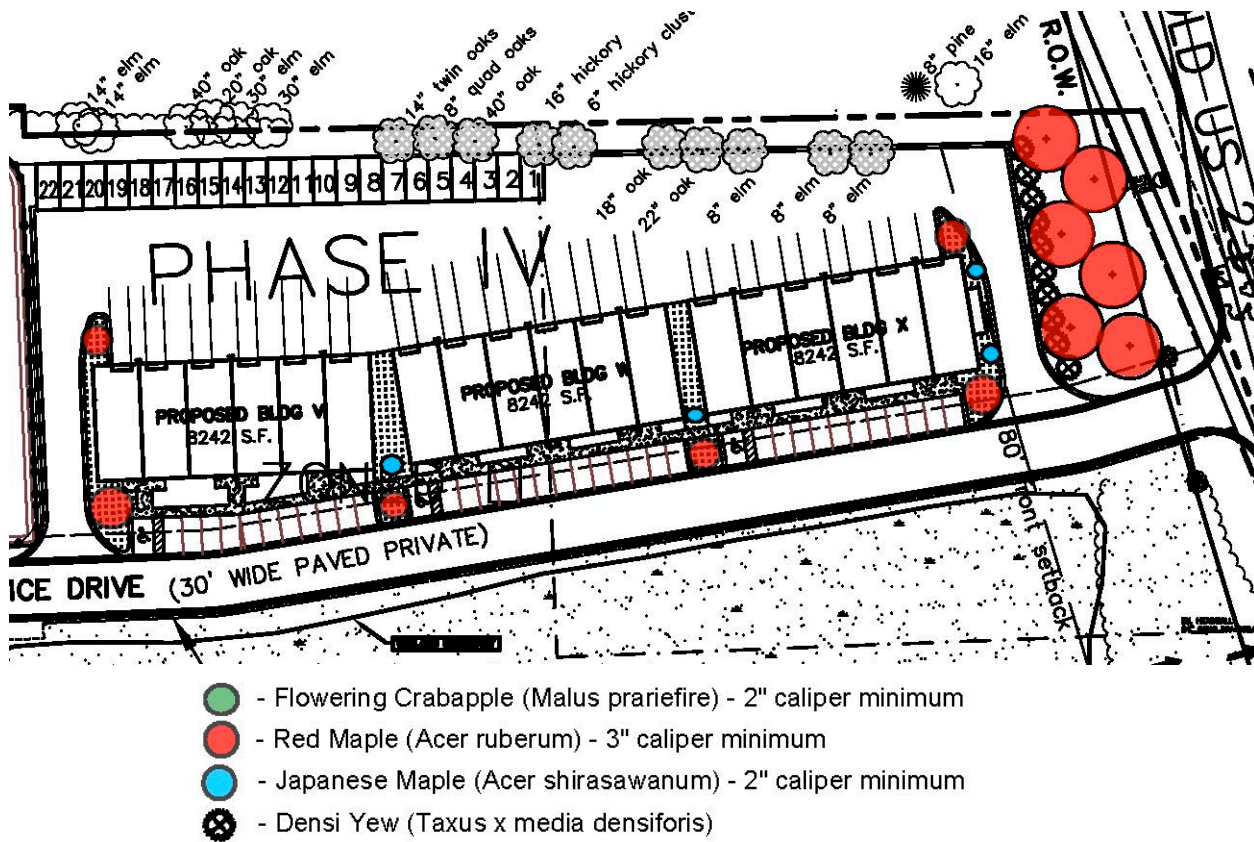
We would prefer to save these mature trees along these abutting property lines, rather than cut them down and replace them with 8 foot tall pine trees, as the alternative described in the Township Ordinance for landscape screening between LI properties and residential zoning districts.

Landscaping

The following detail illustrates the typical island landscaping detail changes to be made in Phases III, as recommended through the review with the Township Planner. All ground mounted HVAC units shall be



screened with Densi Yews and Bayberry shrubs, as needed. The Phase IV landscaping plan shall be modified as illustrated below, based on the review and recommendation of the Township planners.



All island landscaping beds shall utilize irrigated lawn in place of mulch, unless stated otherwise.

Building Heights

The proposed buildings on site will be constructed with the following maximum building heights:

- Building “X” East Tower – 34.5’ from grade to roof midpoint – 40.7’ overall height.
- Buildings “M” thru “W” – 23.6’ from grade to roof midpoint – 27.1’ overall height.
- Double Row Storage – 12.2’ from grade to roof midpoint – 17.7’ overall height.
- Single Row Storage – 10.7’ from grade to roof midpoint – 13.4’ overall height.

Sequential Development

Phases III & IV of the Hartland Commerce Center are proposed to be developed in a sequential order over a three to five year period, based on absorption. Proposed construction will begin with Building X, then M, N, O, W, V, P, Q, R, S, T, and U. The accessory storage building units will follow after the first six primary buildings are erected. The main service drive to Old US23 will be paved as part of the first series of buildings. Staged landscaping will be installed as each group of buildings are completed.



* 2 0 0 7 R - 0 0 4 0 1 4 *

2007R-004014

RECORDED ON

02/01/2007 09:05:38AM

SALLY REYNOLDS

REGISTER OF DEEDS

LIVINGSTON COUNTY, MI 48843

RECORDING: 34.00

REMOV: 4.00

PAGES: 9

9

AGREEMENT FOR
CONSERVATION EASEMENT

(This instrument is exempt from County and State transfer taxes pursuant to MCL 207.505(a) and MCL 207.526(a), respectively)

This CONSERVATION EASEMENT is created December 7, 2006, by and between Wil-Pro Development Company, L.L.C., a Michigan limited liability company, whose address is 19100 W. Ten Mile Road, Suite 204, Southfield, Michigan 48075-2429 (Grantor) and the Michigan Department of Environmental Quality (MDEQ), whose address is, Constitution Hall, 1st Floor South, P.O. Box 30458, Lansing, Michigan 48909-7958; or 525 West Allegan Street, Lansing, Michigan 48933 (Grantee);

The Grantor is the fee simple title holder of real property located in the Township of Hartland, Livingston County, and State of Michigan, legally described in Exhibit A.

MDEQ is the agency charged with administering Part 303, Wetlands Protection, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA), and

Permittee/Grantor has applied for a Permit (MDEQ File Number 06-47-0118-P) pursuant to Part 303 to authorize activities that will impact regulated wetland. The MDEQ evaluated the permit application and determined that a permit could be authorized for certain activities within regulated wetlands provided certain conditions are met, and

Permittee/Grantor has agreed to grant the MDEQ a Conservation Easement that protects the wetland mitigation site and/or the remaining wetlands on the property and restricts further development to the area legally described in Exhibit B. The Conservation Easement (the Easement Premises) consists of approximately 4.96 acres. The MDEQ shall record this Agreement with the county register of deeds.

ACCORDINGLY, Grantor conveys this Conservation Easement to Grantee pursuant to Subpart 11 of Part 21, Conservation and Historic Preservation Easement, of the NREPA, MCL 324.2140 et seq., on the terms and conditions stated below.

1. The purpose of this Agreement is to protect the functions and values of existing or established wetlands and its natural resource values on the Easement Premises consistent with the Permit and the protection of the benefits to the public derived from wetlands and integral habitat, by requiring Grantor to maintain the Easement Premises in its natural and undeveloped condition.
2. Except as authorized under MDEQ Permit Number 06-47-0118-P issued on 10/31/2006 or as otherwise provided in this Agreement, Grantor shall refrain from, and prevent any other person from altering or developing the Easement Premises in any way. This includes, but is not limited to:

- a) Alteration of the topography;
 - b) Creation of paths, trails, or roads;
 - c) The placement of fill material as defined in Part 303 of the NREPA, MCL 324.30301 et seq., as amended;
 - d) Dredging, removal, or excavation of any soil or minerals;
 - e) Drainage of surface or groundwater;
 - f) Construction or placement of any structure;
 - g) Plowing, tilling, or cultivating the soils or vegetation;
 - h) Alteration or removal of vegetation, including the planting of non-native species;
 - i) Ranching
 - j) Construction of unauthorized utility or petroleum lines;
 - k) Storage or disposal of garbage, trash, debris, abandoned equipment or accumulation of machinery, or other waste materials, including accumulated vegetative debris such as grass clippings, leaves, yard waste, or other material collected and deposited from areas outside the Easement Premises;
 - l) Use or storage of off-road vehicles including, but not limited to, snowmobiles, dune buggies, all-terrain vehicles, and motorcycles;
 - m) Placement of billboards or signage, except as otherwise allowed in the Permit or this Agreement;
 - n) Use of the wetland for the dumping of untreated stormwater at a volume that adversely impacts the hydrology of the wetland.
3. Cutting down, destroying, or otherwise altering or removing trees, tree limbs, shrubs, or other vegetation, whether living or dead, is prohibited within the Easement Premises, except with the written permission of Grantee, expressly for the removal of trees or limbs to eliminate danger to health and safety; to reduce a threat of infestation posed by diseased vegetation; or to control invasive non-native plant species that endanger the health of native species.
 4. Grantor is not required to restore the Easement Premises due to alterations resulting from causes beyond the owner's control, including, but not limited to, unauthorized actions by third parties that were not reasonably foreseeable; or natural disasters such as unintentional fires, floods, storms, or natural earth movement.
 5. Grantor may perform activities within the Easement Premises consistent with the Permit or the mitigation requirements. Grantor shall provide 5 days notice of undertaking any mitigation activity even if the mitigation project has been conceptually approved. Any activities undertaken pursuant to the Permit, a mitigation project, or this Agreement, shall be performed in a manner to minimize the adverse impacts to existing wetland or mitigation areas.
 6. Grantor warrants that Grantor has good and sufficient title to the Easement Premises described in Exhibit B.
 7. Grantor warrants that any other existing interests or encumbrances in the Easement Premises have been disclosed to the MDEQ.
 8. Grantor warrants that to the best of Grantor's knowledge no hazardous substances or hazardous or toxic wastes have been generated, treated, stored, used, disposed of, or deposited in or on the property.
 9. This Agreement does not grant or convey to Grantee or members of the general public any right to possession or use of the Easement Premises.
 10. Grantor shall continue to have all rights and responsibilities as owner of the property subject to this Agreement. Grantor shall continue to be solely responsible for the upkeep and maintenance of the Easement Premises, to the extent it may be required by law.
 11. Grantee and its authorized employees and agents may enter the Easement Premises upon reasonable notice to Grantor to determine whether the Easement Premises are being maintained in compliance with the terms of this Agreement, mitigation, or other conditions of the Permit; and for the purpose of taking corrective actions for failure to comply. If Grantee is entering the easement premises for purposes of

taking corrective actions, Grantor shall be provided with 14 days notice to provide the opportunity to cure the failure to comply.

12. This Agreement shall be binding upon the successors and assigns of the parties and shall run with the land in perpetuity unless modified or terminated by written agreement of the parties.
13. This Agreement may be modified only in writing through amendment of the Agreement. Any modification shall be consistent with the purpose and intent of the Agreement.
14. This Agreement may be enforced by either an action at law or in equity and shall be enforceable against any person claiming an interest in the Easement Premises despite a lack of privity of estate or contract.
15. Grantor shall indicate the existence of this Agreement on all future deeds, mortgages, land contracts, plats, and any other legal instrument used to convey an interest in the Easement Premises.
16. A delay in enforcement shall not be construed as a waiver of the Grantee's rights to enforce the conditions of this Agreement.
17. This Agreement shall be liberally construed in favor of maintaining the purpose of the Conservation Easement.
18. If any portion of this Agreement is determined to be invalid by a court of law, the remaining provisions will remain in force.
19. This Agreement will be construed in accordance with Michigan law.
20. In addition to the terms of the Permit issued by Grantee, this document sets forth the entire agreement of the parties. It is intended to supercede all prior discussions or understandings.
21. Within 90 days after this Agreement is executed, Grantor shall place and maintain at Grantor's expense, signs, fences, or other suitable markings along the Easement Premises to clearly demarcate the boundary of the Easement Premises.


LIST OF ATTACHED EXHIBITS

- Exhibit A:** A legal description of the Grantor's property, inclusive of the Easement Premises.
- Exhibit B:** A legal description of the Easement Premises.
- Exhibit C:** A survey map depicting the Easement Premises that also includes identifiable landmarks such as nearby roads to clearly identify the easement site.
- Exhibit D:** A statement that MDEQ staff can access the Easement for ingress and egress to and from the Easement site via Old U.S. 23.

IN WITNESS WHEREOF, the parties have executed this Agreement on the date first above written. In signing this Agreement, the Signatory warrants that he or she has the authority to convey the Conservation Easement on behalf of the Grantor.

GRANTOR:

Wil-Pro Development Company, L.L.C.,
A Michigan Limited Liability Company

By: 

Marshall Blau, President of
Progressive Properties, Inc.,
A Michigan Corporation

Its: Member

By: 

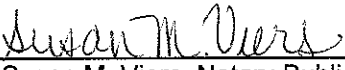
David L. Willacker, President of
Woodstream Development Company, Inc.,
A Michigan Corporation

Its: Member

STATE OF MICHIGAN)
) SS.
COUNTY OF OAKLAND)

The foregoing instrument was acknowledged before me this 7th day of December, 2006, by Marshall Blau, President of Progressive Properties, Inc., A Michigan Corporation, and by David L. Willacker, President of Woodstream Development Company, Inc., A Michigan Corporation, as Members of Wil-Pro Development Company, L.L.C., A Michigan Limited Liability Company.

My commission expires: May 22, 2011


Susan M. Viers, Notary Public
Oakland County, Michigan
Acting in Oakland County

GRANTEE:

STATE OF MICHIGAN
DEPARTMENT OF ENVIRONMENTAL QUALITY
LAND AND WATER MANAGEMENT DIVISION

Elizabeth M. Browne
Elizabeth M. Browne, Acting Division Chief

STATE OF MICHIGAN}
 } ss
 COUNTY OF INGHAM}

The foregoing instrument was acknowledged before me this 23rd day of January, 2007 by Elizabeth M. Browne, Acting Division Chief, Land and Water Management Division, State of Michigan, on behalf of the Michigan Department of Environmental Quality.

Lynda Kay Jones
(Signature of Notary Public)

Lynda Kay Jones
(Typed or Printed name of Notary Public)

LYNDA KAY JONES
Notary Public, Clinton Co., MI
My Comm. Expires Oct. 1, 2007

Acting in: Ingham County, Michigan

My Commission Expires: 10/01/07

AFTER RECORDING, RETURN TO:

Form Drafted By:
The Honorable Mike Cox, Attorney General
Department of Attorney General
Environment, Natural Resources, and
Agriculture Division
P.O. Box 30755
Lansing, Michigan 48909

✓
Michigan Department of Environmental Quality
Land and Water Management Division
Constitution Hall, 1st Floor South
P.O. Box 30458
Lansing, Michigan 48909-7958

(August 21, 2006)

EXHIBIT A

LEGAL DESCRIPTIONS OF GRANTOR'S PROPERTY

PARCEL '1': (2.27 ACRES):

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 28, TOWN 3 NORTH, RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN. SAID PARCEL MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 28; THENCE ALONG THE WEST LINE OF SAID 28, NORTH 02° 49' 15" WEST, 1346.13 FEET; THENCE NORTH 87° 47' 56" EAST, 868.13 FEET; THENCE SOUTH 02° 12' 49" EAST, 15.21 FEET; THENCE NORTH 88° 43' 36" EAST, 266.51 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88° 43' 36" EAST, 315.43 FEET; THENCE SOUTH 20° 36' 51" EAST, 286.55 FEET ON THE CENTERLINE OF OLD US-23(120 FEET WIDE); THENCE SOUTH 87° 47' 11" WEST, 405.85 FEET; THENCE NORTH 02° 12' 46" WEST, 277.07 FEET TO THE POINT OF BEGINNING; SAID PARCEL CONTAINS 2.27 ACRES MORE OR LESS, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

PARCEL '2': (5.26 ACRES):

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 28, TOWN 3 NORTH, RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN. SAID PARCEL MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 28; THENCE ALONG THE WEST LINE OF SAID 28, NORTH 02° 49' 15" WEST, 1346.13 FEET; THENCE NORTH 87° 47' 56" EAST, 868.13 FEET; THENCE SOUTH 02° 12' 49" EAST, 15.21 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88° 43' 36" EAST, 266.51 FEET; THENCE SOUTH 02° 12' 46" EAST, 277.07 FEET; THENCE NORTH 87° 47' 11" EAST, 405.85 FEET; THENCE SOUTH 20° 36' 51" EAST, 230.00 FEET ON THE CENTERLINE OLD US-23(120 FEET WIDE); THENCE SOUTH 87° 47' 11" WEST, 744.91 FEET; THENCE NORTH 02° 12' 49" WEST, 499.69 FEET TO THE POINT OF BEGINNING; SAID PARCEL CONTAINS 5.26 ACRES MORE OR LESS, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

FUTURE DEVELOPMENT AREA (11.19 ACRES):

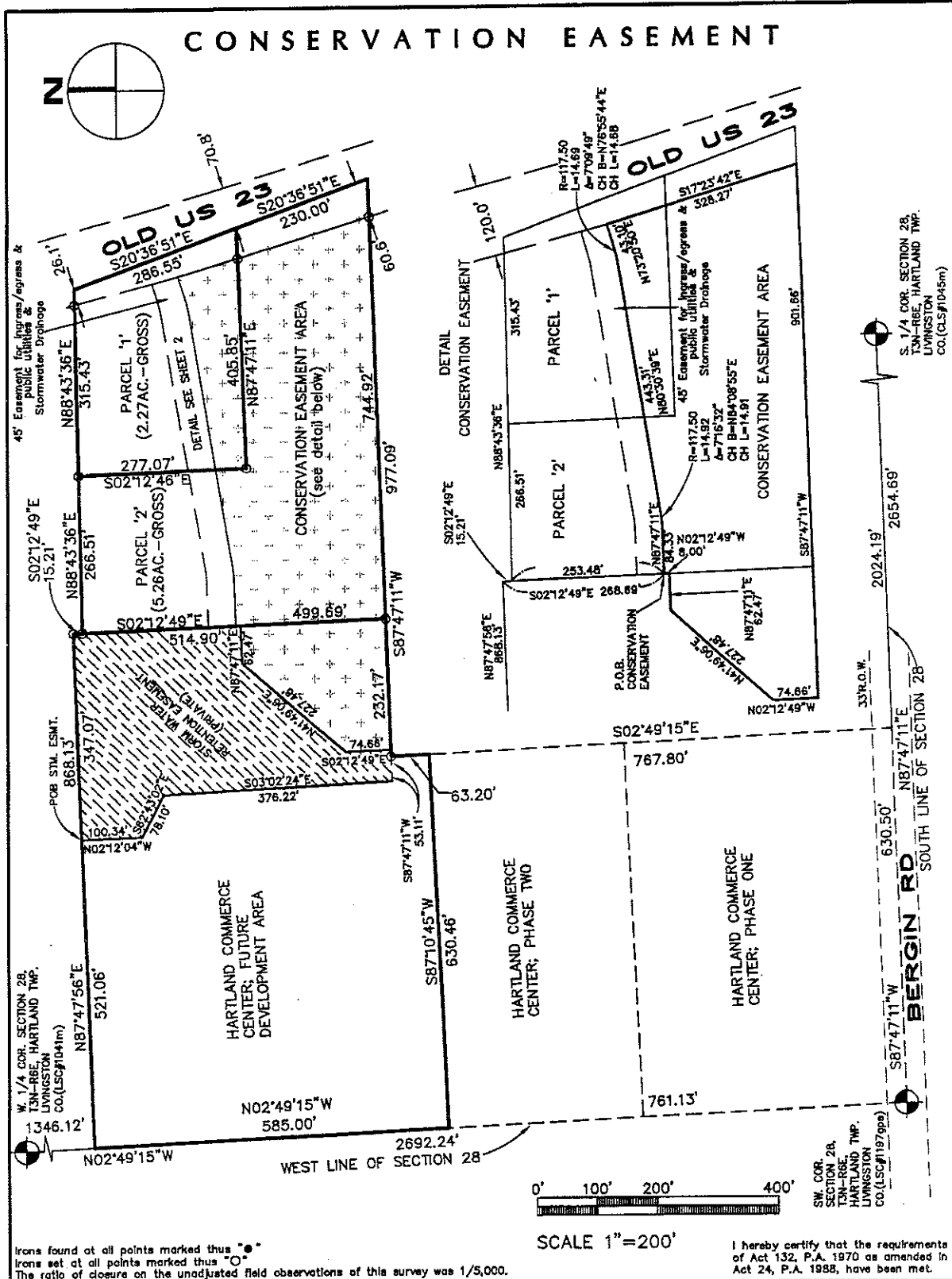
A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 28, TOWN 3 NORTH, RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN. SAID PARCEL MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 28; THENCE ALONG THE WEST LINE OF SAID 28, NORTH 02° 49' 15" WEST, 761.13 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ON SAID WEST LINE NORTH 02° 49' 15" WEST, 585.00 FEET; THENCE NORTH 87° 47' 56" EAST, 868.13 FEET; THENCE SOUTH 02° 12' 49" EAST, 514.90 FEET; THENCE SOUTH 87° 47' 11" WEST, 232.17 FEET; THENCE SOUTH 02° 49' 14" EAST, 63.20 FEET; THENCE SOUTH 87° 10' 45" WEST, 630.46 FEET TO THE POINT OF BEGINNING; SAID PARCEL CONTAINS 11.19 ACRES MORE OR LESS, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

EXHIBIT B

LEGAL DESCRIPTION OF CONSERVATION EASEMENT

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 28, TOWN 3 NORTH, RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN. SAID EASEMENT MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 28; THENCE ALONG THE WEST LINE OF SAID 28, NORTH 02°49'15" WEST, 1346.13 FEET; THENCE NORTH 87°47' 56" EAST, 868.13 FEET; THENCE SOUTH 02°12'49" EAST, 268.69 FEET TO THE POINT OF BEGINNING OF THE CONSERVATION EASEMENT TO BE DESCRIBED; THENCE NORTH 87°47'11" EAST, 84.33 FEET; THENCE 14.92 FEET ALONG AN ARC TO THE NORTHEAST HAVING A RADIUS OF 117.50 FEET, DELTA ANGLE OF 07°16'32", AND CHORD BEARING OF NORTH 84°08'55" EAST, 14.91 FEET; THENCE NORTH 80°30'39" EAST, 443.31 FEET; THENCE 14.69 FEET ALONG AN ARC TO THE NORTHEAST HAVING A RADIUS OF 117.50 FEET, DELTA ANGLE OF 07°09'49", AND CHORD BEARING OF NORTH 76°55'44" EAST, 14.68 FEET; THENCE NORTH 73°20'50" EAST, 43.10 FEET; THENCE SOUTH 17°23'42" EAST, 328.27 FEET; THENCE SOUTH 87°47'11" WEST, 901.66 FEET; THENCE NORTH 02°12'49" WEST, 74.66 FEET; THENCE NORTH 41°49'06" EAST, 227.48 FEET; THENCE NORTH 87°47'11" EAST, 62.47 FEET; THENCE NORTH 02°12'49" WEST, 8.00 FEET TO THE POINT OF BEGINNING; SAID EASEMENT CONTAINS 4.96 ACRES MORE OR LESS, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

EXHIBIT C
CERTIFICATE OF SURVEY
CONSERVATION EASEMENT



CLIENT:
 WIL-PRO DEV. CO., L.L.C.

JOB NO. 99220
 DATE: 11-22-06
 REVISED: X
 OFFICE: JG/CC
 FIELD: JG
 SHEET:

DESCRIPTION: CONSERVATION EASEMENT
 S.W. 1/4 SECTION 28, HARTLAND TWP.
 LIVINGSTON COUNTY, MICHIGAN

ADVANTAGE
 CIVIL
 ENGINEERING

110 E. Grand River, Howell, MI 48843
 Phone 517 545-4141 Fax 517 545-4146

SW. COR. SECTION 28, T3N-R6E, HARTLAND TWP., LIVINGSTON CO. (L5C91927992)

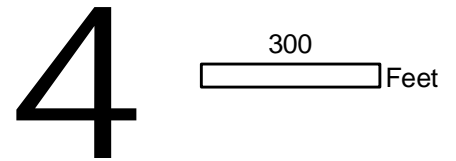
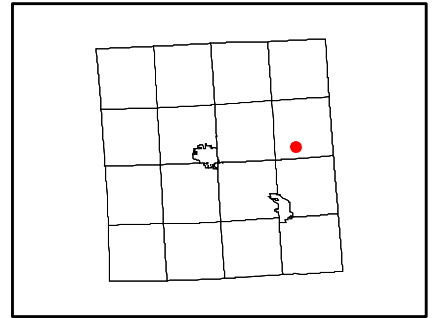
S. 1/4 COR. SECTION 28, T3N-R6E, HARTLAND TWP., LIVINGSTON CO. (L5C91045m)

Christopher T. Cotter
 P.S. No. 41097

EXHIBIT D

The Grantor herein, Wil-Pro Development Company, L.L.C., hereby grants access for the Michigan Department of Environmental Quality (MDEQ) staff for ingress and egress to and from the Easement site (described in Exhibit B) via Old U.S. 23.

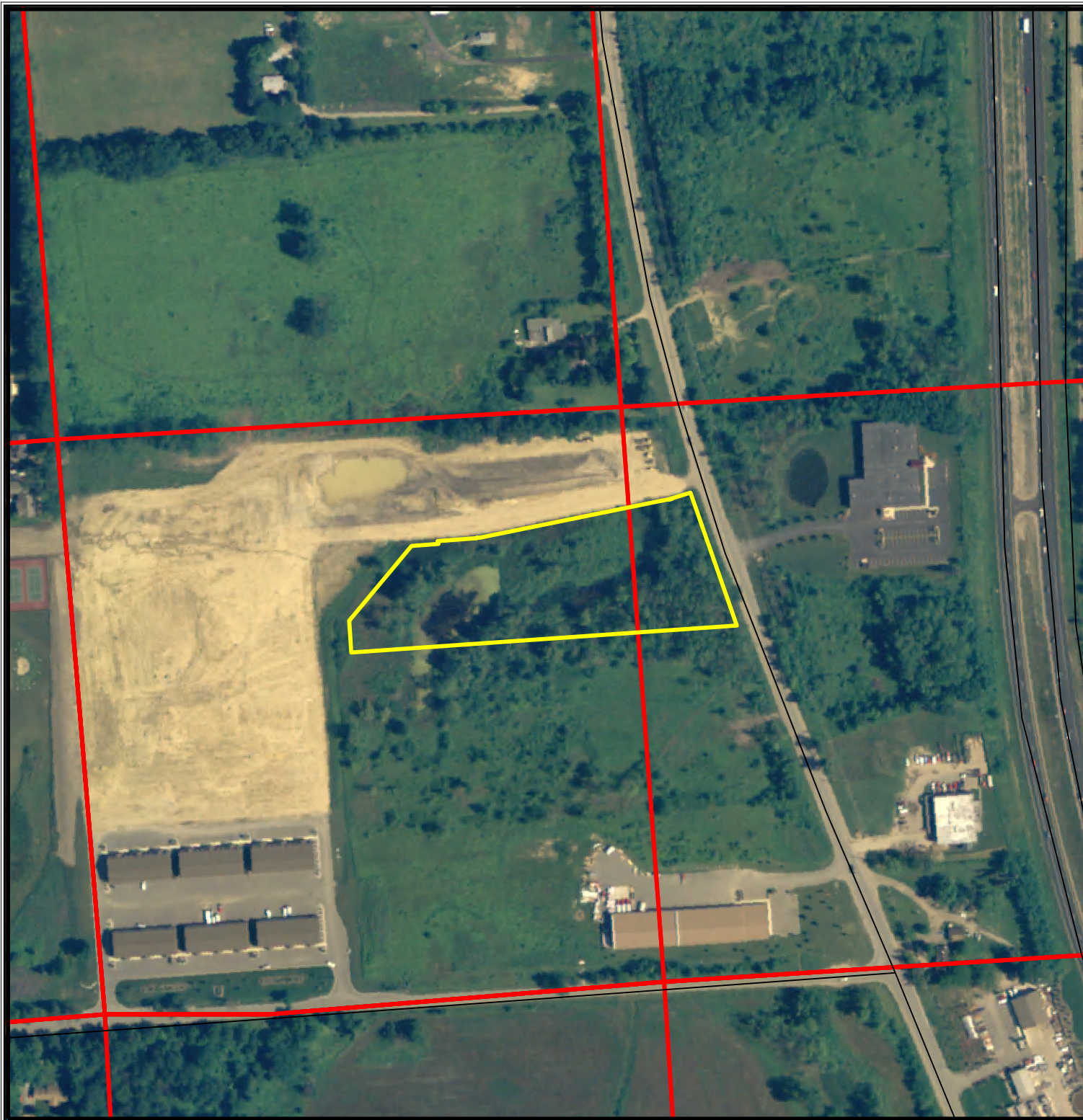
06-47-0118
Livingston County



Legend

- Conservation Easement Area
- Roads
- Section Boundaries
- QQ Section Boundaries

This Michigan Department of Environmental Quality (MDEQ) digitized field map of the conservation easement (easement) is intended to be used as a visual aid to assist field staff in identifying in general the size, shape, and location of the easement boundaries. The field maps are based upon land surveys that have been converted to a geographic information system. Some of the easement shape files had to be manipulated to reference known landmarks (roads, rivers) as depicted on aerial photos to best reflect the area the easement was intended to cover. Therefore, since the accuracy of the maps may vary, all field maps should be used to approximate the easement boundary lines and should not be used to determine jurisdictional boundaries.



3.1.16

LI Light Industrial

A. INTENT

The LI, Light Industrial District is designed so as to primarily accommodate industrial parks, wholesale activities, warehouses, and industrial operations whose external physical effects are restricted to the area of the district and in no manner detrimentally affect any of the surrounding districts. The LI District is so structured as to permit, along with any specified uses, the manufacturing, compounding, processing, packaging, assembly and/or treatment of finished or semifinished products from previously prepared material. It is further intended that the processing of raw material for shipment in bulk form, to be used in an industrial operation at another location is not to be permitted.

i **User Note:** For uses listed in **bold blue**, refer to Article 4, or click on use, for use-specific standards

B. PRINCIPAL PERMITTED USES

- i. Any use with the principal function of conducting research, design, testing and pilot or experimental product development.
- ii. Vocational schools and other types of technical training facilities.
- iii. Computer programming, data processing and other computer related services.
- iv. Professional & medical offices
- v. (Reserved)
- vi. **Financial institutions with drive-through service** §4.57
- vii. Publicly owned and operated facilities
- viii. **Essential services, buildings and storage yards** §4.26
- ix. Public or private parks and open space
- x. **Outdoor seating and dining areas** §4.47
- xi. Light industrial uses^m
- xii. Business services
- xiii. **Mini warehouses** §4.35
- xiv. Commercial greenhouses
- xv. Lumber yards and millworks, provided any mills are completely enclosed
- xvi. Public buildings, post offices, libraries, libraries, community centers, including outdoor storage.
- xvii. Public utility buildings, telephone exchange buildings, electrical transformer stations and substations, and gas regulator stations.

D. SPECIAL LAND USES

- i. **Child day care^m and adult day care centers^m** §4.12
- ii. **Indoor tennis facilities, fitness and recreation centers** §4.40
- iii. Urgent care facilities
- iv. **Motels^m and hotels** §4.36
- v. Standard restaurants^m
- vi. Freezer locker plants and cold storage
- vii. **Heliports** §4.13
- viii. **Radio, television and other communication towers^m** §4.39
- ix. **Outdoor storage accessory to a permitted use** §3.27
- x. Uses of the same nature or class as uses listed in this district as either a Permitted Principal Use or Special Use in this district, but not listed elsewhere in this Zoning Ordinance, as determined by the Planning Commission.
- xi. **Automobile repair - major^m** §4.59

C. ACCESSORY USES

- i. **Sales at a commercial greenhouse** §3.22.1
- ii. **Personal fitness centers^m accessory to industrial use** §3.22.2
- iii. **Caretaker living quarters** §4.51
- iv. **Accessory buildings, uses and activities customarily incidental to any of the above-named principal permitted uses** §5.14



E. DEVELOPMENT STANDARDS

Lot Size

Minimum lot area[Ⓜ]: 40,000 sq ft
 Minimum lot width[Ⓜ]: 120 ft

Maximum Lot Coverage[Ⓜ]

Principal structure 75%

Setbacks[Ⓜ]

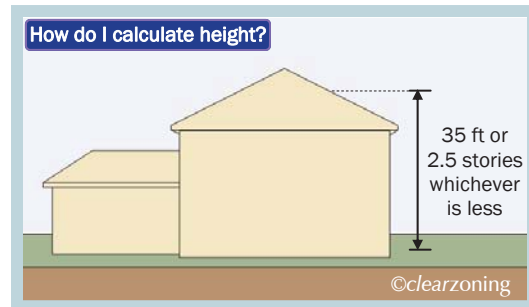
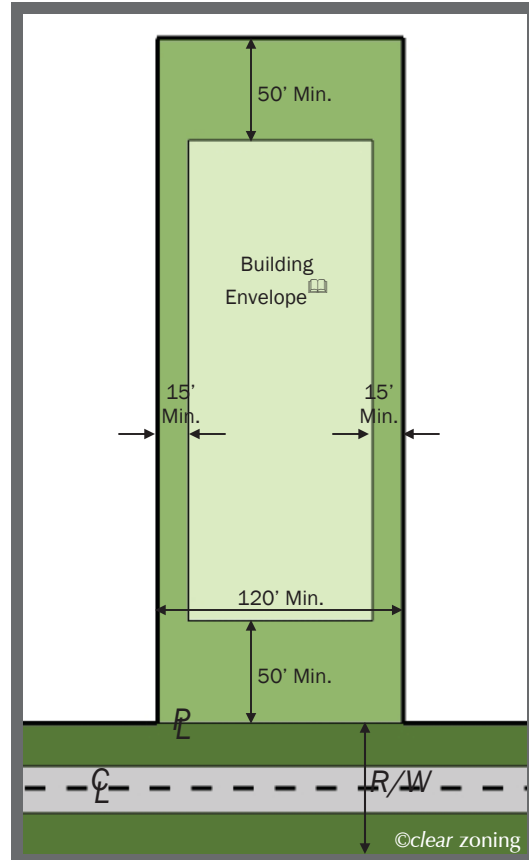
Minimum front yard setback: 50 ft
 Minimum rear yard setback: 50 ft
 Minimum side yard setback: 15 ft

Building Height[Ⓜ]

Maximum building height: 35 ft or 2.5 stories whichever is less

NOTES

- For additions to the above requirements, refer to Section 3.24: 2, 5, 8, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 27, 28.
- See *Suggested References* below for applicability



The above drawings are not to scale.

SELECTED REFERENCES

3. Zoning Districts

- **Planned Development** §3.1.18
- **Light Industrial District** §3.22
- **Commercial Greenhouse** §3.22.1

5. Site Standards

- **Paved Access** §5.22.3
- **Off-Street Parking and Loading Requirements** §5.8
- **Access Management and Driveways** §5.10
- **Sidewalks & Pathways** §5.12
- **Landscaping** §5.11
- **Lighting** 5.13
- **Walls and Fences** §5.20
- **Performance Standards** §5.19
- **Architectural Standards** §5.24

6. Development Procedures

- **Site Plan Review** §6.1
- **Traffic Impact** §6.5
- **Special Use Review** §6.6

1 Purpose and Introduction

2 Definitions

3 Zoning Districts

4 Use Standards

5 Site Standards

6 Development Procedures

7 Admin and Enforcement



NORTH ELEVATION				
LOCATION	MATERIAL/COLOR	AREA (sq ft)	AREA (%)	ALLOWED (%)
SHINGLE ROOFING	GAF TIMBERLINE HD / WEATHERED WOOD	1,823	30.5%	50%
METAL ROOFING	FABRAL STAND 'N SEAM / DARK BROWN	165	3.5%	50%
VERTICAL SIDING	FABRAL GRAND RIB III / LIGHT STONE	1,181	24.9%	50%
HOR SIDING	WOLVERINE RESTORATION III / HERRINGBONE	3	0.1%	50%
BRICK	GLEN-GERY / ROSE RANGE TUDOR	155	3.3%	100%
SCALLOP SIDING	PLYGEM CEDAR DIMENSIONS / SEASHELL	78	1.5%	50%
CMU BLOCK	OLDCASTLE SPLIT FACE / GREY	18	0.4%	75%
FASCIA AND TRIM	ALUMINUM / WHITE	175	3.7%	75%
ROOF BRACKETS	PLASTIC COMPOSITE / WHITE	6	0.1%	15%
OVERHEAD DOORS	OVERHEAD INSULATED CORE / WHITE	1,008	21.3%	75%
MAN DOORS	INSULATED STEEL DOOR / WHITE	120	2.5%	75%
GABLE VENTS	MID-AMERICA VINYL / WHITE	4	0.1%	15%



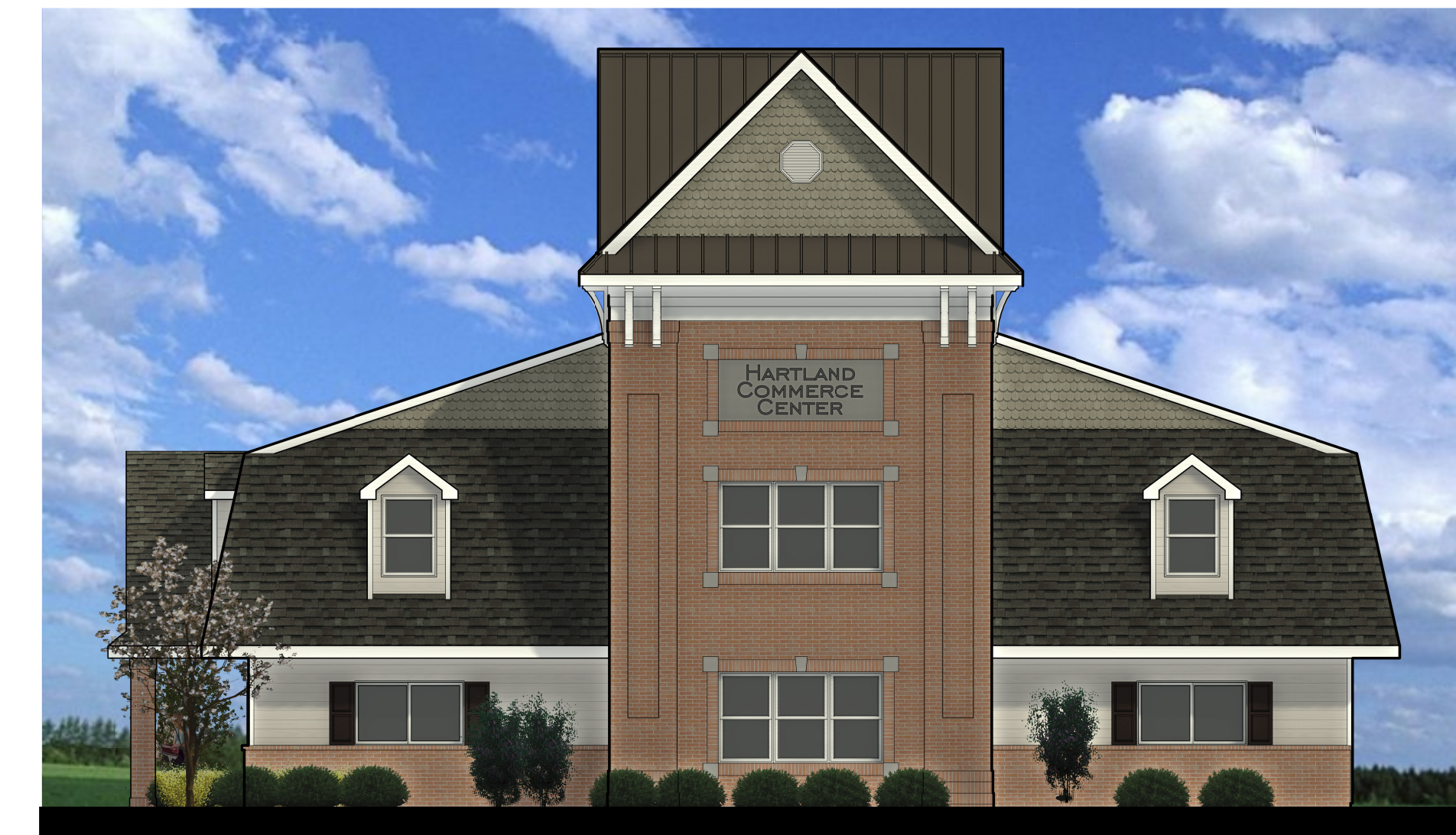
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

WEST ELEVATION				
LOCATION	MATERIAL/COLOR	AREA (sq ft)	AREA (%)	ALLOWED (%)
ROOFING	GAF TIMBERLINE HD / WEATHERED WOOD	728	30.7%	50%
METAL ROOFING	FABRAL STAND 'N SEAM / DARK BROWN	165	8.8%	50%
VERTICAL SIDING	FABRAL GRAND RIB III / LIGHT STONE	461	24.5%	50%
HOR SIDING	WOLVERINE RESTORATION III / HERRINGBONE	232	12.3%	50%
BRICK	GLEN-GERY / ROSE RANGE TUDOR	14	0.7%	100%
SCALLOP SIDING	PLYGEM CEDAR DIMENSIONS / SEASHELL	78	4.1%	50%
CMU BLOCK	OLDCASTLE SPLIT FACE / GREY	20	1.1%	75%
FASCIA AND TRIM	ALUMINUM / WHITE	134	7.1%	75%
ROOF BRACKETS	PLASTIC COMPOSITE / WHITE	4	0.2%	15%
WINDOW/GLASS	ANDERSEN SILVERLINE VINYL / WHITE	45	2.4%	50%

EAST ELEVATION				
LOCATION	MATERIAL/COLOR	AREA (sq ft)	AREA (%)	ALLOWED (%)
ROOFING	GAF TIMBERLINE HD / WEATHERED WOOD	470	25.0%	25%
METAL ROOFING	FABRAL STAND 'N SEAM / DARK BROWN	165	8.8%	20%
HOR SIDING	WOLVERINE RESTORATION III / HERRINGBONE	158	8.4%	10%
BRICK	GLEN-GERY / ROSE RANGE TUDOR	587	31.2%	100%
SCALLOP SIDING	PLYGEM CEDAR DIMENSIONS / SEASHELL	146	7.8%	10%
WINDOW SHUTTERS	MID-AMERICA VINYL / TERRA BROWN	19	1.0%	15%
GABLE VENTS	MID-AMERICA VINYL / WHITE	4	0.2%	15%
FASCIA AND TRIM	ALUMINUM / WHITE	137	7.3%	20%
ROOF BRACKETS	PLASTIC COMPOSITE / WHITE	8	0.4%	15%
SIGNAGE	LIMESTONE PANEL W/ENGRAVED LETTERS	28	1.5%	50%
WINDOW/GLASS	ANDERSEN SILVERLINE VINYL / WHITE	154	8.5%	50%



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

SOUTH ELEVATION				
LOCATION	MATERIAL/COLOR	AREA (sq ft)	AREA (%)	ALLOWED (%)
ROOFING	GAF TIMBERLINE HD / WEATHERED WOOD	2,388	50.0%	50%
METAL ROOFING	FABRAL STAND 'N SEAM / DARK BROWN	165	3.5%	50%
HOR SIDING	WOLVERINE RESTORATION III / HERRINGBONE	147	15.3%	50%
BRICK	GLEN-GERY / ROSE RANGE TUDOR	770	16.3%	100%
SCALLOP SIDING	PLYGEM CEDAR DIMENSIONS / SEASHELL	78	1.6%	50%
FASCIA AND TRIM	ALUMINUM / WHITE	203	4.3%	75%
WINDOW SHUTTERS	MID-AMERICA VINYL / TERRA BROWN	56	1.2%	15%
GABLE VENTS	MID-AMERICA VINYL / WHITE	16	0.3%	15%
ROOF BRACKETS	PLASTIC COMPOSITE / WHITE	6	0.1%	50%
WINDOW/GLASS	ANDERSEN SILVERLINE VINYL / WHITE	207	4.4%	50%
MAN DOORS	INSULATED STEEL DOOR / WHITE	120	2.5%	75%



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

McCOTTER
Architecture
and Design

2060 ORE CREEK LANE
BRIGHTON, MI 48114
PHONE: 734.216.1168
www.mccotterarchitecture.com

PROJECT:

HARTLAND
COMMERCE CENTER

OLD US-23
HOWELL, MI

OWNER:

MIL-PRO
DEVELOPMENT
COMPANY
P.O. BOX 2709
SOUTHFIELD, MI

ISSUE/REVISION:

TWP. REV. 5/22/2020

SHEET TITLE:

PROPOSED
ELEVATIONS

A-01

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A SINGLE ROW SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EAST ELEVATION			
LOCATION	MATERIAL/COLOR	AREA (sq ft)	AREA (%)
VERTICAL SIDING	FABRAL GRAND RIB III / LIGHT STONE	254	91.1%
CMU BLOCK	OLDCASTLE SPLIT FACE / GREY	8	2.8%
FASCIA AND TRIM	ALUMINUM / WHITE	17	6.1%

SOUTH ELEVATION			
LOCATION	MATERIAL/COLOR	AREA (sq ft)	AREA (%)
SHINGLE ROOFING	GAF TIMBERLINE HD / WEATHERED WOOD	1,241	94.7%
VERTICAL SIDING	FABRAL GRAND RIB III / LIGHT STONE	769	21.9%
CMU BLOCK	OLDCASTLE SPLIT FACE / GREY	29	0.8%
FASCIA AND TRIM	ALUMINUM / WHITE	193	3.7%
OVERHEAD DOORS	OVERHEAD INSULATED CORE / WHITE	1,408	99.5%

WEST ELEVATION			
LOCATION	MATERIAL/COLOR	AREA (sq ft)	AREA (%)
VERTICAL SIDING	FABRAL GRAND RIB III / LIGHT STONE	254	91.1%
CMU BLOCK	OLDCASTLE SPLIT FACE / GREY	8	2.8%
FASCIA AND TRIM	ALUMINUM / WHITE	17	6.1%

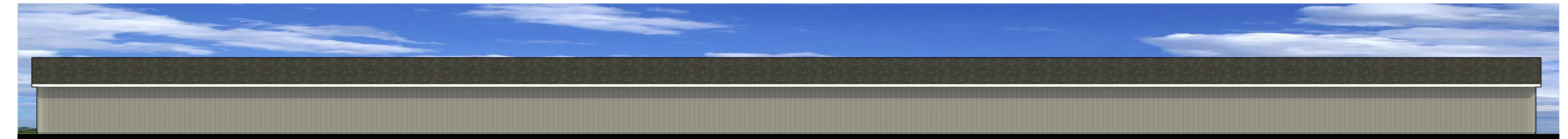
NORTH ELEVATION			
LOCATION	MATERIAL/COLOR	AREA (sq ft)	AREA (%)
SHINGLE ROOFING	GAF TIMBERLINE HD / WEATHERED WOOD	1,241	94.7%
VERTICAL SIDING	FABRAL GRAND RIB III / LIGHT STONE	2,112	59.1%
CMU BLOCK	OLDCASTLE SPLIT FACE / GREY	88	2.5%
FASCIA AND TRIM	ALUMINUM / WHITE	193	3.7%



C SINGLE ROW EAST
SCALE: 1/8" = 1'-0"



D SINGLE ROW WEST
SCALE: 1/8" = 1'-0"



B SINGLE ROW NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 DOUBLE ROW NORTH ELEVATION
SCALE: 1/8" = 1'-0"

SOUTH AND NORTH ELEVATIONS			
LOCATION	MATERIAL/COLOR	AREA (sq ft)	AREA (%)
SHINGLE ROOFING	GAF TIMBERLINE HD / WEATHERED WOOD	1,584	48.9%
VERTICAL SIDING	FABRAL GRAND RIB III / LIGHT STONE	555	17.1%
CMU BLOCK	OLDCASTLE SPLIT FACE / GREY	21	0.6%
FASCIA AND TRIM	ALUMINUM / WHITE	97	3.0%
OVERHEAD DOORS	OVERHEAD INSULATED CORE / WHITE	981	30.4%

EAST AND WEST ELEVATIONS			
LOCATION	MATERIAL/COLOR	AREA (sq ft)	AREA (%)
VERTICAL SIDING	FABRAL GRAND RIB III / LIGHT STONE	604	92.8%
CMU BLOCK	OLDCASTLE SPLIT FACE / GREY	16	2.4%
FASCIA AND TRIM	ALUMINUM / WHITE	31	4.8%



3 DOUBLE ROW WEST
SCALE: 1/8" = 1'-0"



4 DOUBLE ROW EAST
SCALE: 1/8" = 1'-0"



1 DOUBLE ROW SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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and Design

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P.O. BOX 2709
SOUTHFIELD, MI

ISSUE/REVISION:

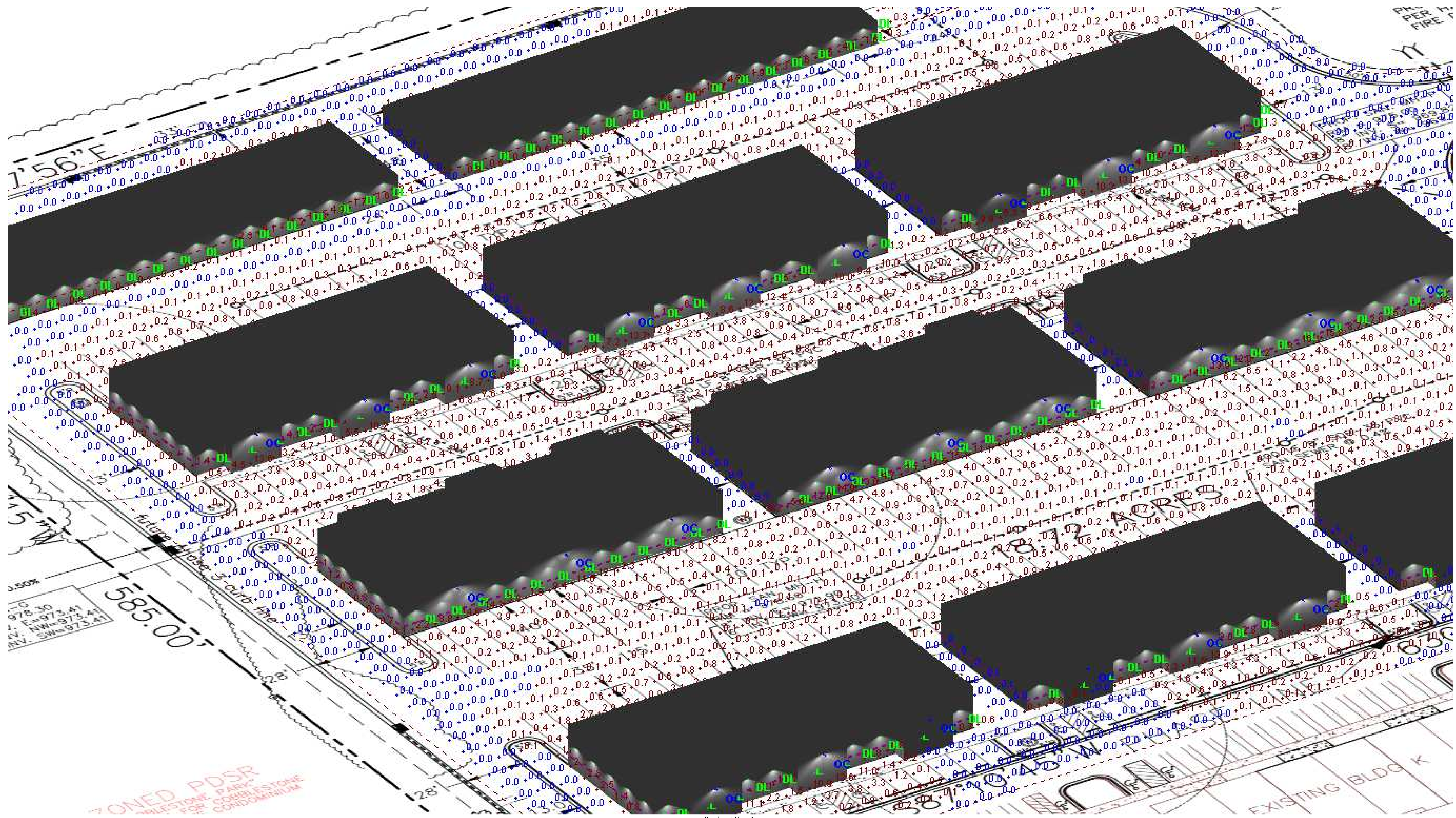
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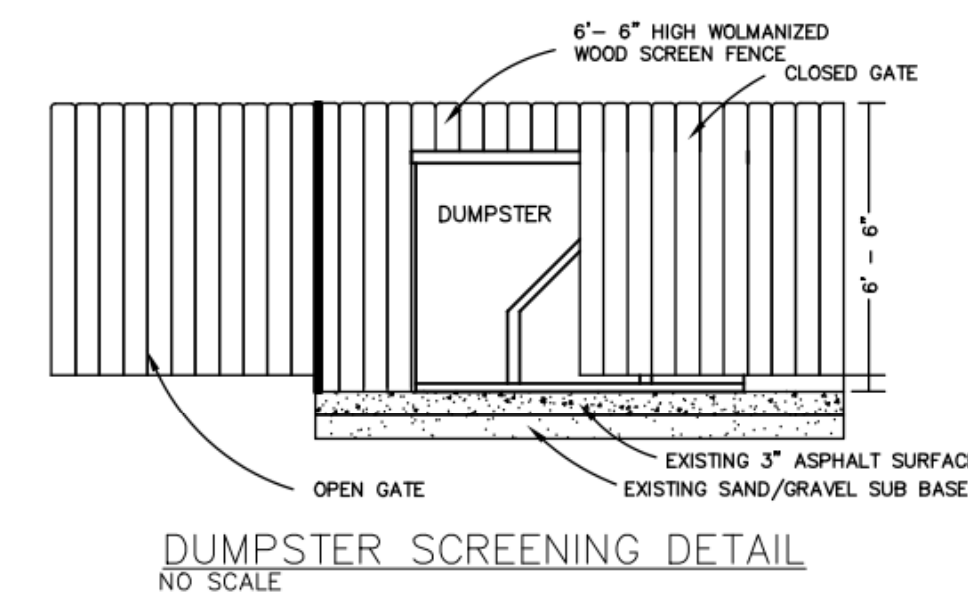
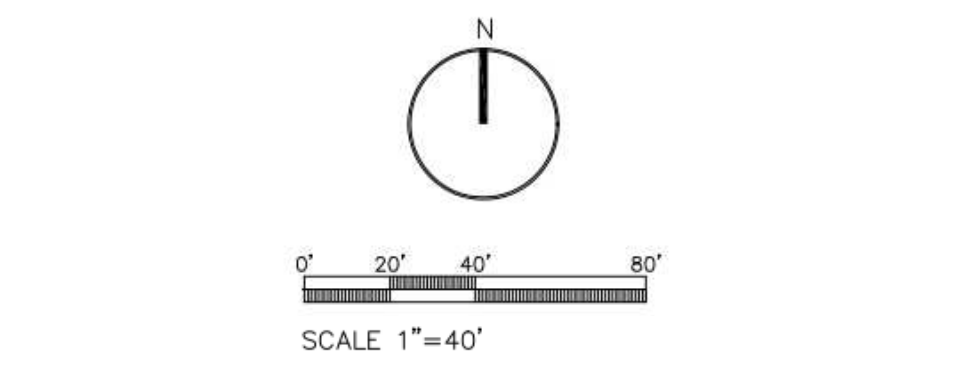
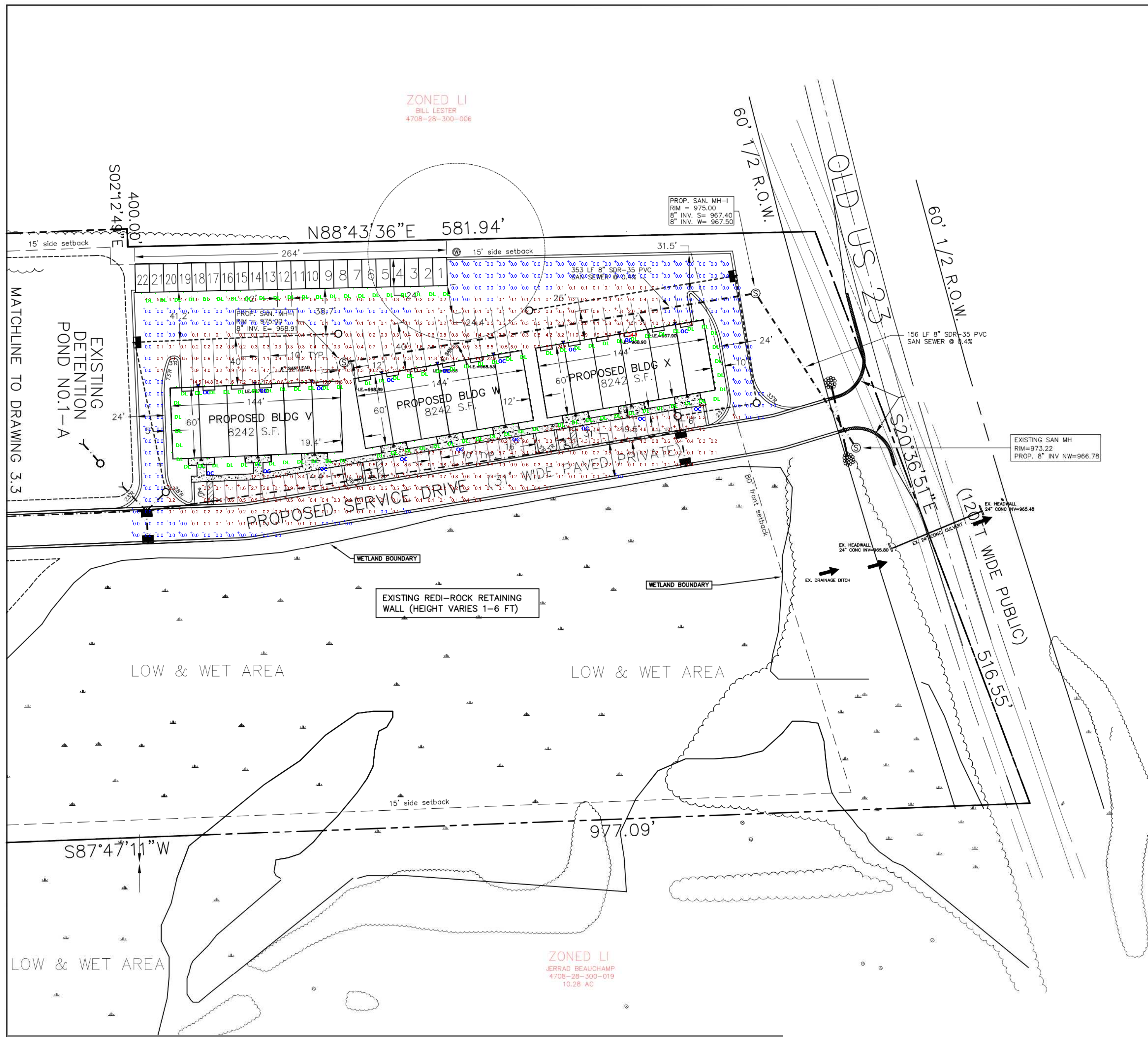
STORAGE
ELEVATIONS

A-02

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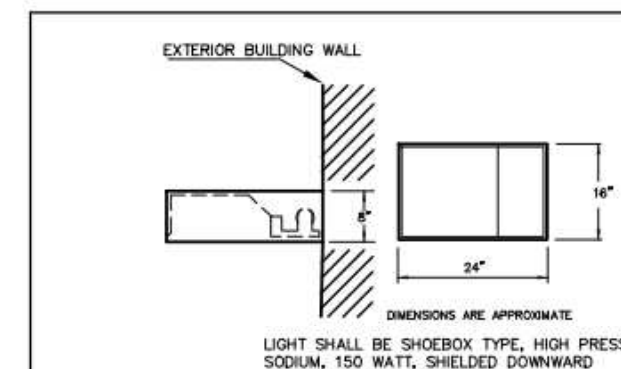
Rendered View 1



- GENERAL NOTES:**
- Property zoned: LI (Light Industrial)
 - Developer shall comply with soil erosion and sedimentation control measures as required by Livingston County Drain Commissioner.
 - Property to be serviced by municipal sewer permitted through Hartland Township. Water to be from individual wells permitted through the Livingston County Health Department.
 - Dumpsters must comply with the following requirements:
 - A. Located on concrete pad, extended minimum 10' in front of dumpster enclosure.
 - B. A solid lockable gate should be provided.
 - C. Wood screening must be specified No. 1 pressure-treated wood.
 - D. Bolts shall be installed at opening to prevent damage.
 - Handicapped parking space shall be marked with above grade sign.
 - Underground utilities shall be extended from exist. locations to service this site as required by utility companies.
 - All construction shall be performed in accordance with the current standards and specifications of Livingston County and Hartland Twp.
 - The Contractor shall telephone Hartland Twp 48 hours before beginning any construction
 - Three working days prior to any excavation, the Contractor shall telephone MISS DIG (800-482-7171) for the location of underground gas and cable facilities and shall also notify representatives of other utilities located in the vicinity of the work. It shall be the Contractor's responsibility to verify and/or obtain any information necessary regarding the presence of underground utilities which might affect this
 - Siteplan user: Warehouse Units with associated office area.
 - Parking calculations: # of parking spaces req'd
 Each building consists of 6 units each unit with 300 sf of office area and 1073 sf of warehousing area. The proposed Phase IV consists of 3 buildings identical in nature for a total of 19,314 sf of Warehouse area and 5400 sf of associated office areas related to the warehousing use.
 Warehouse 1 space per 1500 sf gross floor area = 19314/1500 = 13 spaces required
 Office associated with Warehouse 1 space per 350 sf of gross floor area =
 OR 1 employee per office = 1 employee x 6 office areas x 3 bldgs = 18 spaces required.
 Max # of Total Parking Spaces Required = 13 + 18 = 31 spaces REQUIRED
 Barrier Free Spaces Required = 2
 NUMBER OF PARKING SPACES PROVIDED = 35 + 3 barrier free + 18 unloading
 - Per USDA Soil Survey for Livingston County onsite soils consist mainly of Miami sandy loams/loams with Pewama clays

LEGEND

○	LIGHT POLE
□	EXTERIOR BUILDING LIGHT SIGN
□	UTILITY POLE
□	TELEPHONE RISER
□	CATCH BASIN
○	MANHOLE
○	VALVE
○	HYDRANT
○	WELL
+	EXISTING SPOT ELEVATION
+	PROPOSED SPOT ELEVATION
---	MAJOR EXIST. CONTOUR - 5' INTERVAL
---	MINOR EXIST. CONTOUR - 1' INTERVAL
---	PROPOSED CONTOUR
---	EXISTING STORM SEWER
---	EXISTING SANITARY SEWER
---	EXISTING WATER MAIN
---	PROPOSED STORM SEWER
---	GAS MAIN
---	UNDERGROUND TELEPHONE LINE
---	UNDERGROUND ELECTRIC LINE
---	FENCE LINE
---	QUADRANT
---	DITCH CENTERLINE, TOE OF SLOPE
---	SILT FENCE
---	PROPOSED RIPRAP
---	PROPOSED INLET FILTER
---	EXISTING TREE AND BRUSH LINE



REVISIONS:

WIL-PRO DEVEL. CO., L.L.C.
19100 W. TEN MILE RD., #204
SOUTHFIELD, MI 48075
(248) 358-2210

**HARTLAND COMMERCE CENTER
PHASE III & IV CONSTRUCTION PLANS
SITE PLAN PHASE IV**



DATE: 05-04-21
DRAWN BY: PCK
CHECKED BY: PCK
TOP No.: 99220

PARKING No.:
3.4

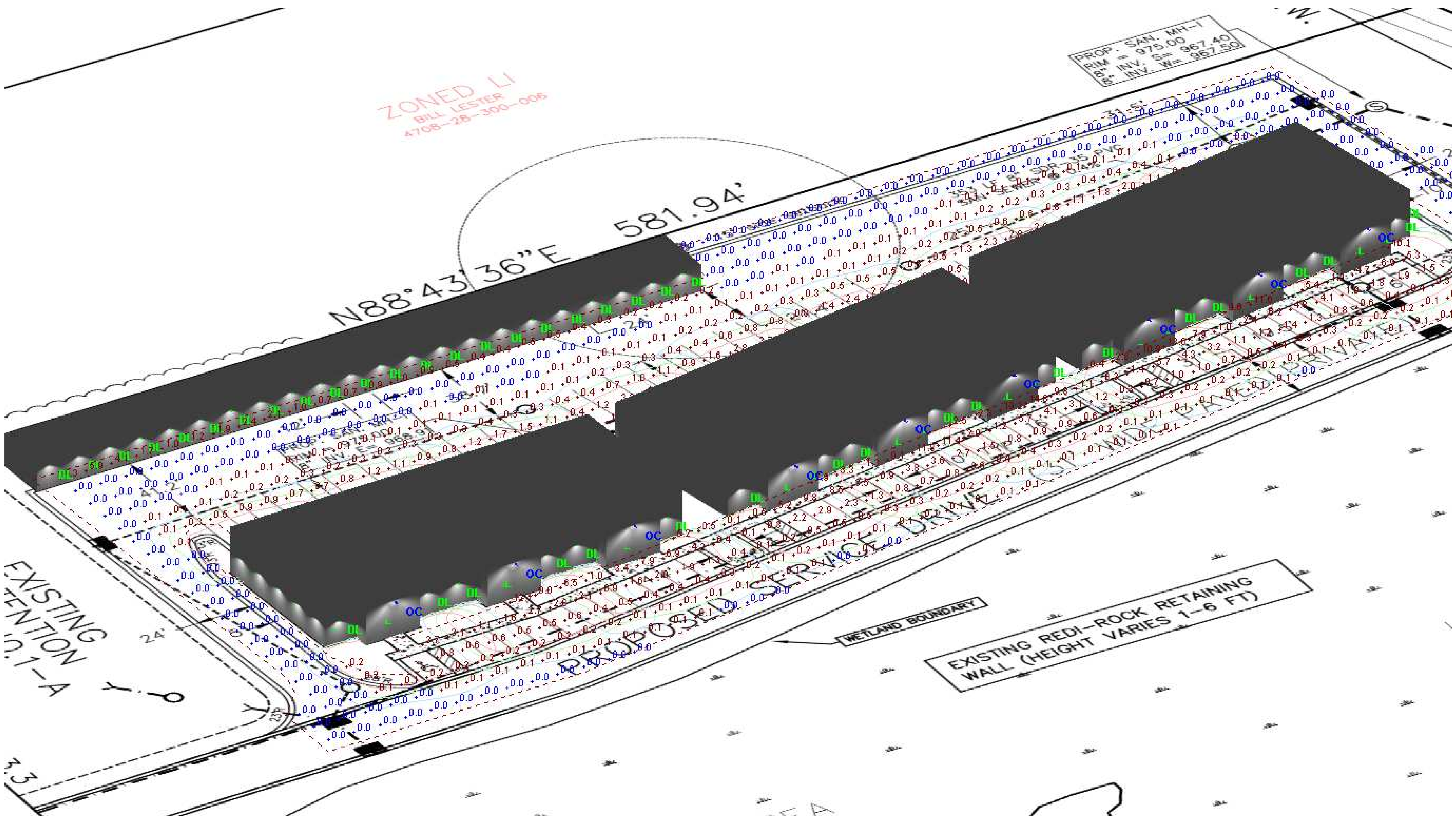
Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiple	LLF	Wattage	Efficiency	Distrib	Polar Plot	Notes
OC			18	CREE INC.	SEC-EDG-4MB-**-08-E-UL-350-40K (350mA)	CONFIGURED FROM Cree Edge Area, Type IV Medium w/ Full White LEDs, Vertical Base-Up Position	CONFIGURED FROM One Hundred Twenty White LEDs, Vertical Base-Up Position	80	SEC-EDG-4MB-08-E-UL-350-40K-CONFIGURED.1ES	80	1	1	90	100%			Mtg Height - 14R AFG
DL			104	ELITE	RL412-550L-DIMTR-120-SCCT-80-WH			1	RL412-550L-DIMTR-120-SCCT-80-WH.LES	612	1	1	8,00879	100%			Mtg Height - 9R AFG

Plan View
Scale - 1" = 45ft

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.6 fc	24.9 fc	0.0 fc	N/A	N/A

Note
1. Calculations Shown at 5ft AFG



ZONED LI
BILL LESTER
4708-28-300-008

PROP. SAN. MH-1
RM # 975.00
INV. S# 967.40
INV. W# 967.50

581.94'
N88°43'36\"/>

EXISTING
RETENTION
WALL
0.1-A

WETLAND BOUNDARY

EXISTING REDI-ROCK RETAINING
WALL (HEIGHT VARIES 1-6 FT)

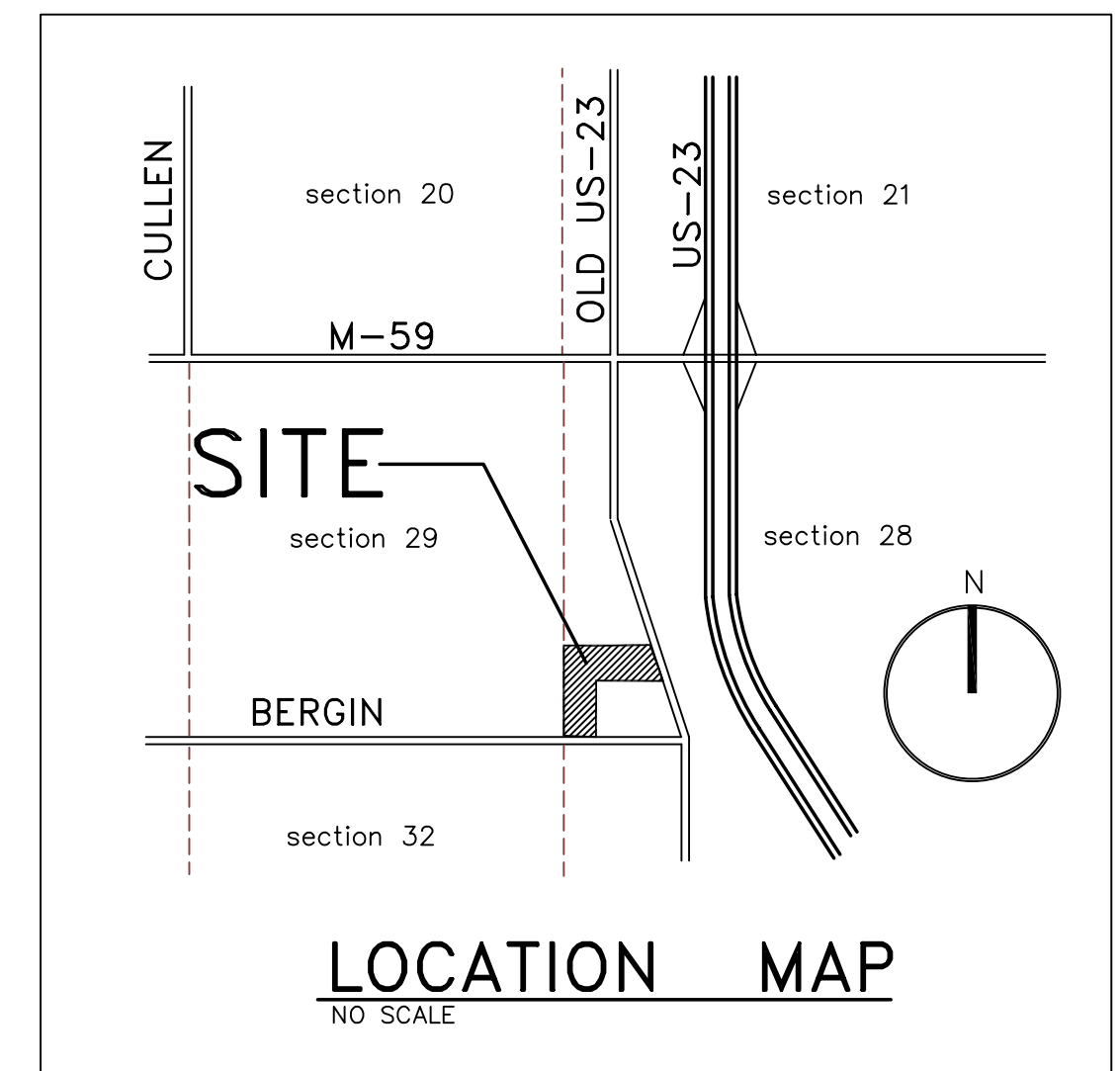
Render 1

FINAL SITE & CONSTRUCTION PLAN FOR:

Hartland Commerce Center

PHASE III & IV

SECTION 28, T3N-R6E, HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN



DESCRIPTION

EXISTING PHASE 1 PROJECT

PART OF THE SOUTHWEST 1/4 OF SECTION 28, T3N-R6E, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 28; THENCE ALONG THE WEST LINE OF SAID SECTION 28, N02°49'15"W, 438.12 FEET; THENCE N87°10'45"E, 630.46 FEET; THENCE S02°49'15"E, 444.80 FEET TO THE CENTERLINE OF BERGIN ROAD ALSO BEING THE SOUTH LINE OF SAID SECTION 28; THENCE ON SAID SOUTH LINE S87°47'11"W, 630.50 FEET TO THE POINT OF BEGINNING, CONTAINING 6.39 ACRES MORE OR LESS, SUBJECT TO BUILDING USE AND RESTRICTION REQUIREMENTS AND EASEMENTS OF RECORD, IF ANY AND THE RIGHTS OF THE PUBLIC WITHIN THE PUBLIC RIGHT OF WAY OF EXISTING BERGIN ROAD.

EXISTING PHASE 2 PROJECT

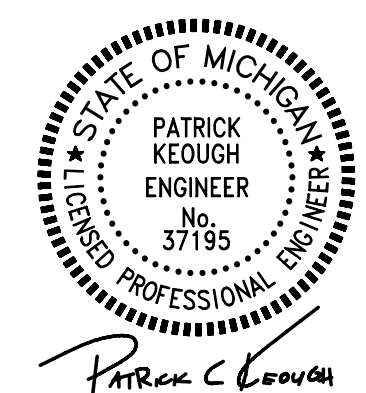
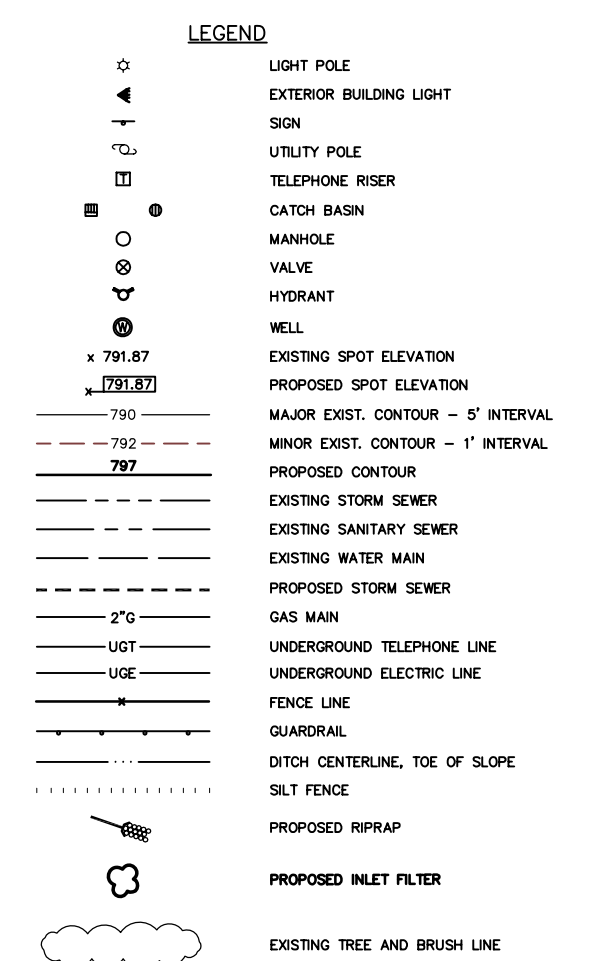
PART OF THE SOUTHWEST 1/4 OF SECTION 28, T3N-R6E, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 28; THENCE ALONG THE WEST LINE OF SAID SECTION 28, N02°49'15"W, 438.12 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE CONTINUING ALONG SAID WEST SECTION LINE, N02°49'15"W, 323.00 FEET; THENCE N87°10'45"E, 630.46 FEET; THENCE S02°49'15"E, 323.00 FEET; THENCE S87°10'45"W, 630.46 FEET TO THE POINT OF BEGINNING, CONTAINING 4.67 ACRES MORE OR LESS, SUBJECT TO BUILDING USE AND RESTRICTION REQUIREMENTS AND EASEMENTS OF RECORD, IF ANY.

PROPOSED PHASE III AND IV:

PART OF THE SOUTHWEST 1/4 OF SECTION 28, T3N-R6E, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 28; THENCE ALONG THE WEST LINE OF SAID SECTION 28, N02°49'15"W, 761.12 FEET TO THE POINT OF BEGINNING; THENCE N02°49'15"W, 585.00 FEET; THENCE N87°47'56"E, 868.13 FEET; THENCE S02°12'49"E, 15.21 FEET; THENCE N88°43'36"E, 581.94 FEET TO THE CENTERLINE OF OLD US-23(120 FEET WIDE); THENCE ON SAID CENTERLINE S20°36'51"E, 516.55 FEET; THENCE S87°47'11"W, 977.09 FEET; THENCE S02°49'15"E, 63.20 FEET; THENCE S87°10'45"W, 630.46 FEET TO THE POINT OF BEGINNING, CONTAINING 18.72 ACRES MORE OR LESS, SUBJECT TO BUILDING USE AND RESTRICTION REQUIREMENTS AND EASEMENTS OF RECORD, IF ANY AND THE RIGHTS OF THE PUBLIC WITHIN THE PUBLIC RIGHT OF WAY OF OLD US 23.

DRAWING INDEX

NO.	TITLE
3.1	COVER SHEET
3.2	COMPOSITE SITE LAYOUT
3.3	PHASE III SITE PLAN
3.4	PHASE IV SITE PLAN
3.5	PHASE III GRADING & UTILITY PLAN
3.6	PHASE IV GRADING & UTILITY PLAN
3.7	PHASE III & IV DRAINAGE AREA MAP
3.8	PHASE III & IV SOIL EROSION CONTROL & DRAINAGE DETAILS
3.9	PHASE III & IV LANDSCAPE PLAN
3.9A	PHASE III & IV LANDSCAPE PLAN
3.10	CONSERVATION EASEMENT DOCUMENTS



REVISIONS:
5/25/21 REVISED PER TOWNSHIP COMMENTS
11/12/21 REVISED PER TOWNSHIP COMMENTS

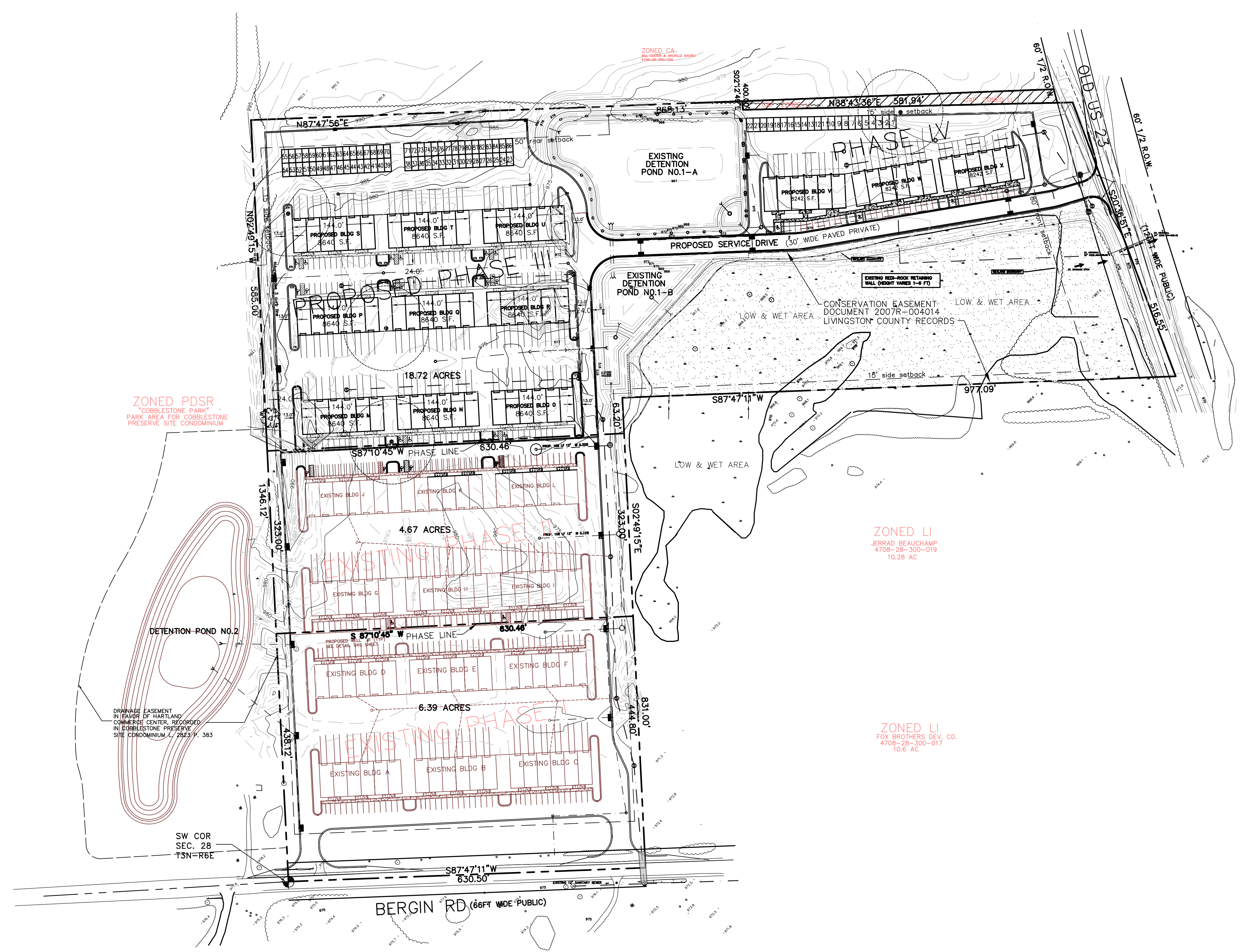
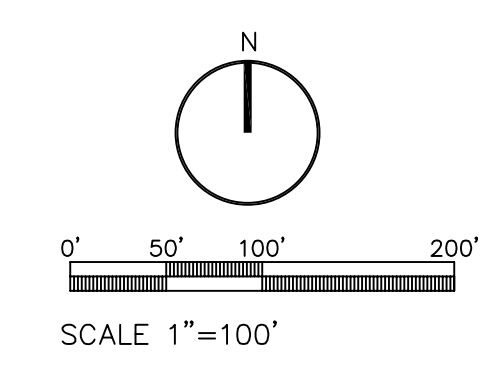
DEVELOPER:
WL-PRO DEVEL. CO., L.L.C.
12985 COVE RIDGE DR.
SOUTH LYON, MI. 48178
(248) 921-6011

HARTLAND COMMERCE CENTER
PHASE III & IV CONSTRUCTION PLANS
COVER SHEET

ACE
CIVIL
ENGINEERING
3055 Underwood, Farmington Hills, MI 48334 • 517-546-4141 • acecivil@gmail.com

DATE: 05-04-21
DRAWN BY: PCK
CHECKED BY: PCK
JOB No. 99220

DRAWING No. PHASE 3&4
3.1



COMPOSITE SITE LAYOUT

REVISIONS:

5/25/21	REVISED PER TOWNSHIP COMMENTS
11/12/21	REVISED PER TOWNSHIP COMMENTS

DEVELOPER:
 WL-PRO DEVEL. CO., L.L.C.
 12985 COVE RIDGE DR.
 SOUTH LYON, MI. 48178
 (248) 921-6011

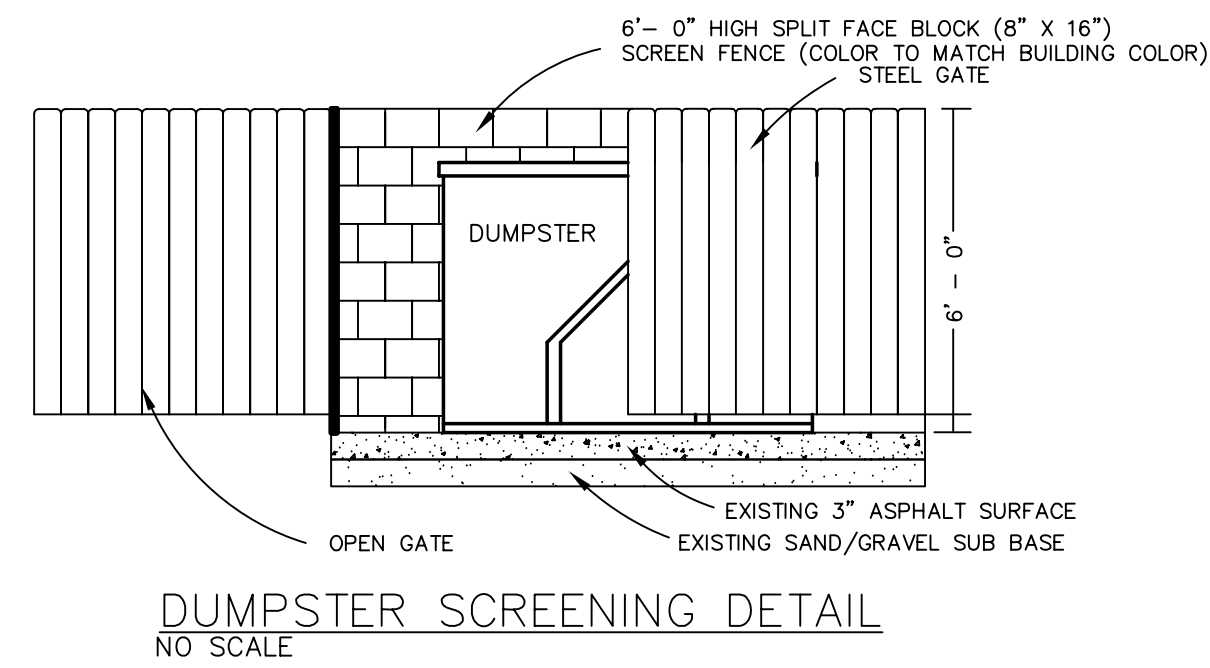
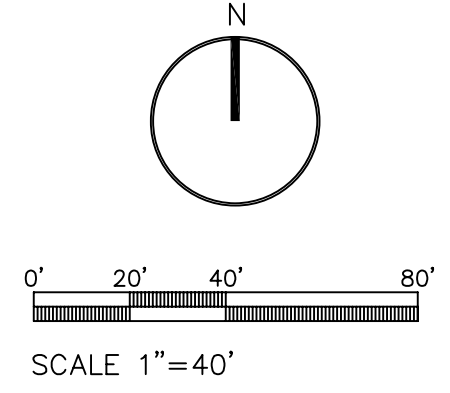
HARTLAND COMMERCE CENTER PHASE III & IV CONSTRUCTION PLANS COMPOSITE SITE PLAN

ADVANTAGE CIVIL ENGINEERING

5055 Underway, Farmington, MI. 48335 • 317.345-4141 • aecivil@advantagecivil.com

DATE:	05-04-21
DRAWN BY:	PCK
CHECKED BY:	PCK
JOB No.	99220

DRAWING No.
 PHASE 3&4
 3.2



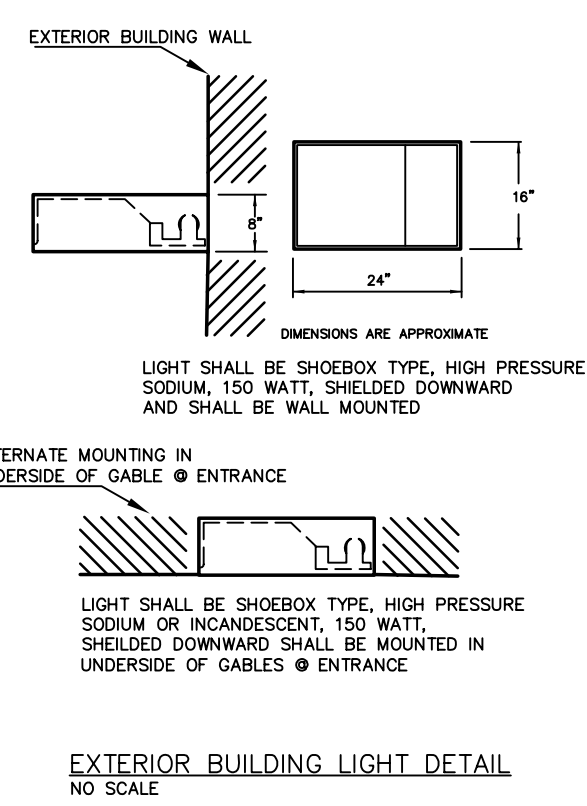
GENERAL NOTES:

- Property zoned: LI (Light Industrial)
- Developer shall comply with soil erosion and sedimentation control measures as required by Livingston County Drain Commissioner.
- Property to be serviced by municipal sewer permitted through Hartland Township. Water to be from individual wells permitted through the Livingston County Health Department.
- Dumpsters must comply with the following requirements:
 - Located on concrete pad, extended minimum 10' in front of dumpster enclosure.
 - A solid lockable gate should be provided.
 - Wood screening must be specified No. 1 pressure-treated wood.
 - Ballards shall be installed at opening to prevent damage.
- Handicapped parking space shall be marked with above grade sign.
- Underground utilities shall be extended from exist. locations to service this site as required by utility companies.
- All construction shall be performed in accordance with the current standards and specifications of Livingston County and Hartland Twp.
- The Contractor shall telephone Hartland Twp 48 hours before beginning any construction
- Three working days prior to any excavation, the Contractor shall telephone MISS DIG (800-442-7171) for the location of underground gas and cable facilities and shall also notify representatives of other utilities located in the vicinity of the work. It shall be the Contractor's responsibility to verify and/or obtain any information necessary regarding the presence of underground utilities which might affect this
- Siteplan use: Warehouse Units with associated office area and Storage units.
- Parking calculations: # of parking spaces req'd.
 Each building consists of 6 units with 300 sf of office area and 1073 sf of warehousing area. The proposed Phase III consists of 9 buildings identical in nature for a total of 57,942 sf of Warehouse area and 16,200 sf of associated office areas related to the warehousing use.
 Warehouse 1 space per 1500 sf gross floor area = 57,942/1500 = 39 spaces required
 Office associated with Warehouse 1 space per 350 sf gross floor area =
 OR 1 employee per office = 1 employee x 9 office areas x 6 bldgs = 54 spaces
 Max # of Total Parking Spaces Required = 39 + 54 = 93 spaces REQUIRED
 Barrier Free Spaces Required = 6
 NUMBER OF PARKING SPACES PROVIDED: = 108 + 18 BARRIER FREE + 54 UNLOADING
- Per USDA Soil Survey for Livingston County onsite soils consist mainly of Miami sandy loams/loams with Pewamo clays



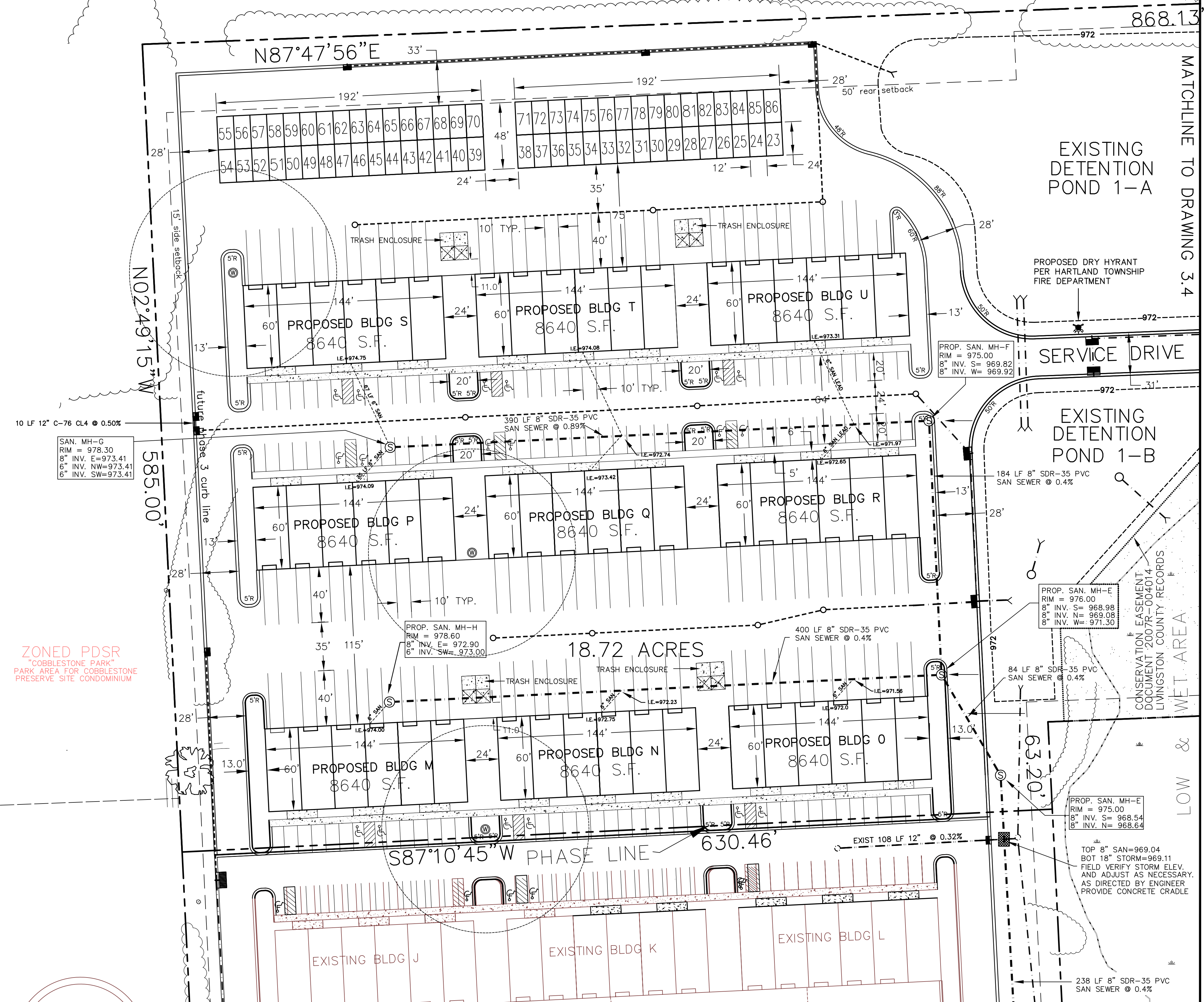
LEGEND

○	LIGHT POLE
□	EXTERIOR BUILDING LIGHT
▲	SIGN
○	UTILITY POLE
□	TELEPHONE RISER
○	CATCH BASIN
○	MANHOLE
○	VALVE
○	HYDRANT
○	WELL
○	EXISTING SPOT ELEVATION
○	PROPOSED SPOT ELEVATION
---	MAJOR EXIST. CONTOUR - 5' INTERVAL
---	MINOR EXIST. CONTOUR - 1' INTERVAL
---	PROPOSED CONTOUR
---	EXISTING STORM SEWER
---	EXISTING SANITARY SEWER
---	EXISTING WATER MAIN
---	PROPOSED STORM SEWER
---	GAS MAIN
---	UGT
---	UNDERGROUND TELEPHONE LINE
---	UNDERGROUND ELECTRIC LINE
---	FENCE LINE
---	GUARDRAIL
---	DITCH CENTERLINE, TOE OF SLOPE
---	SILT FENCE
---	PROPOSED RIPRAP
---	PROPOSED INLET FILTER
○	EXISTING TREE AND BRUSH LINE



ZONED CA
 BILL LESTER & ARCHILLE MAURO
 4708-28-300-030

ZONED PDSR
 "COBBLESTONE PARK"
 PARK AREA FOR COBBLESTONE
 PRESERVE SITE CONDOMINIUM



REVISIONS:

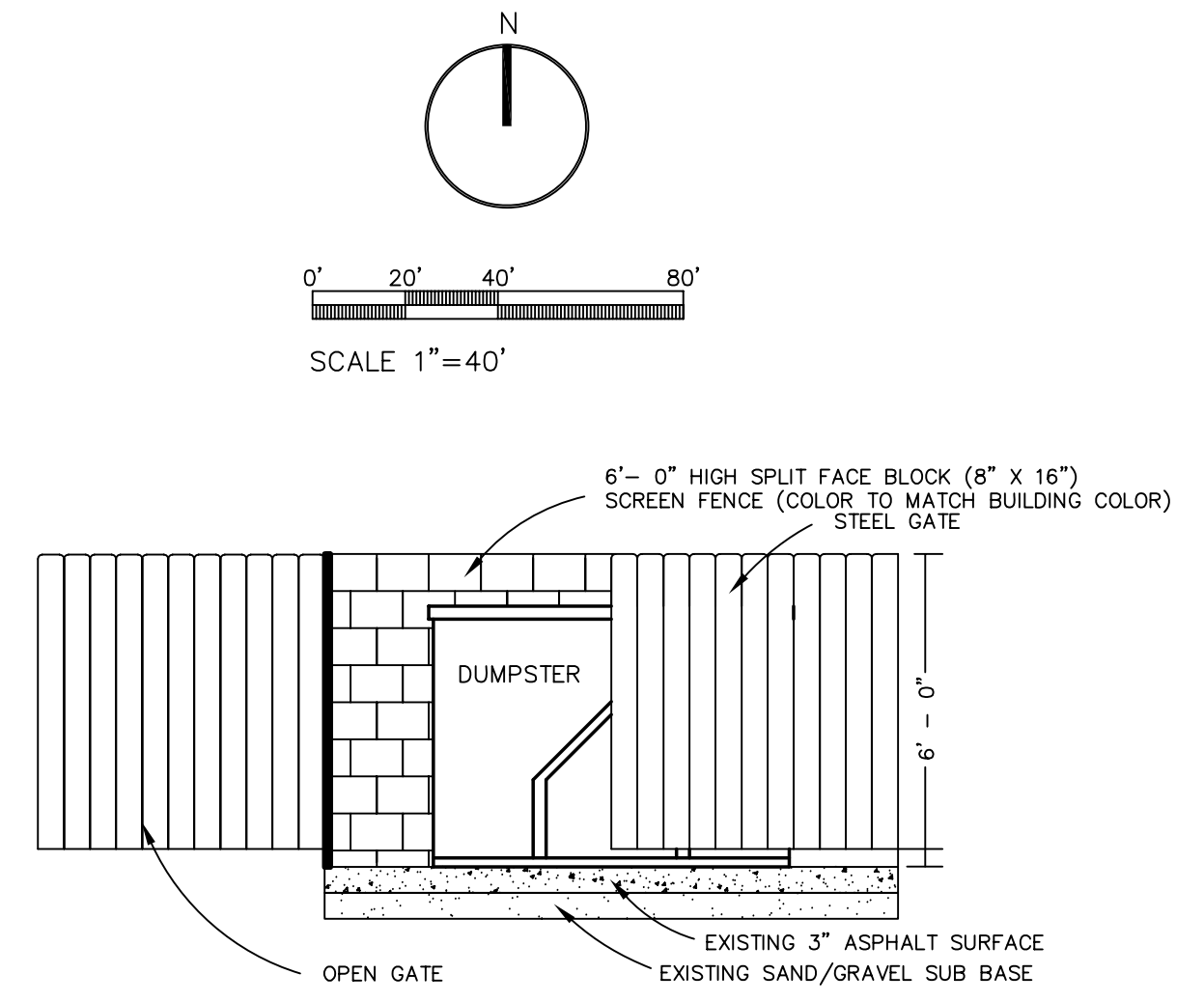
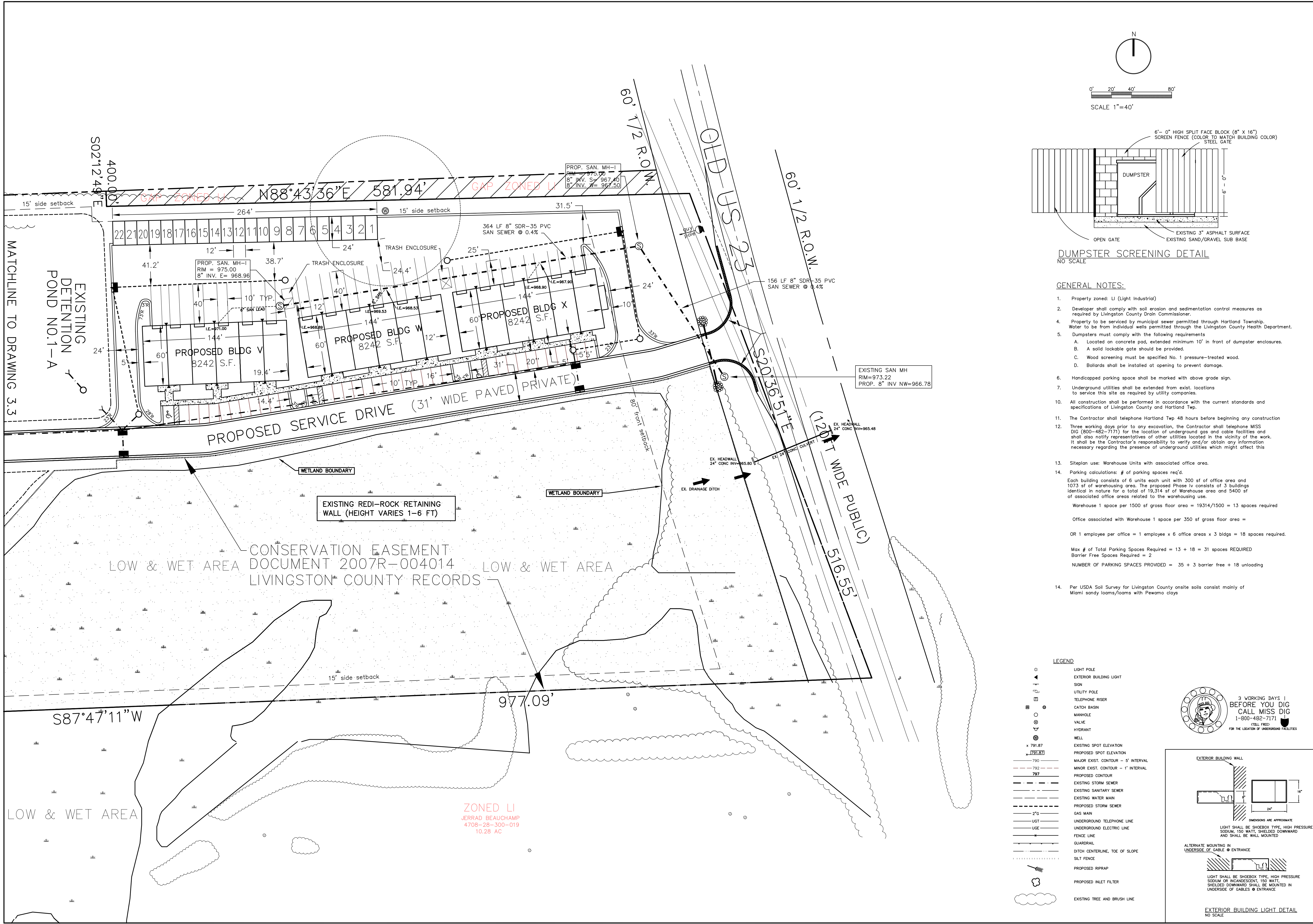
5/25/21	REVISED PER TOWNSHIP COMMENTS
11/12/21	REVISED PER TOWNSHIP COMMENTS

DEVELOPER:
 WL-PRO DEVEL. CO., L.L.C.
 12985 COVE RIDGE DR.
 SOUTH LYON, MI. 48178
 (248) 921-6011

HARTLAND COMMERCE CENTER
 PHASE III & IV CONSTRUCTION PLANS
 SITE PLAN PHASE III

ACE CIVIL ENGINEERING
 5055 Underhill, Farmington Hills, MI 48331 • 577-545-1411 • acecivil@gmail.com

DATE: 05-04-21
 DRAWN BY: PCK
 CHECKED BY: PCK
 JOB No.: 99220
 DRAWING No.: PHASE 3&4
 3.3



DUMPSTER SCREENING DETAIL
NO SCALE

GENERAL NOTES:

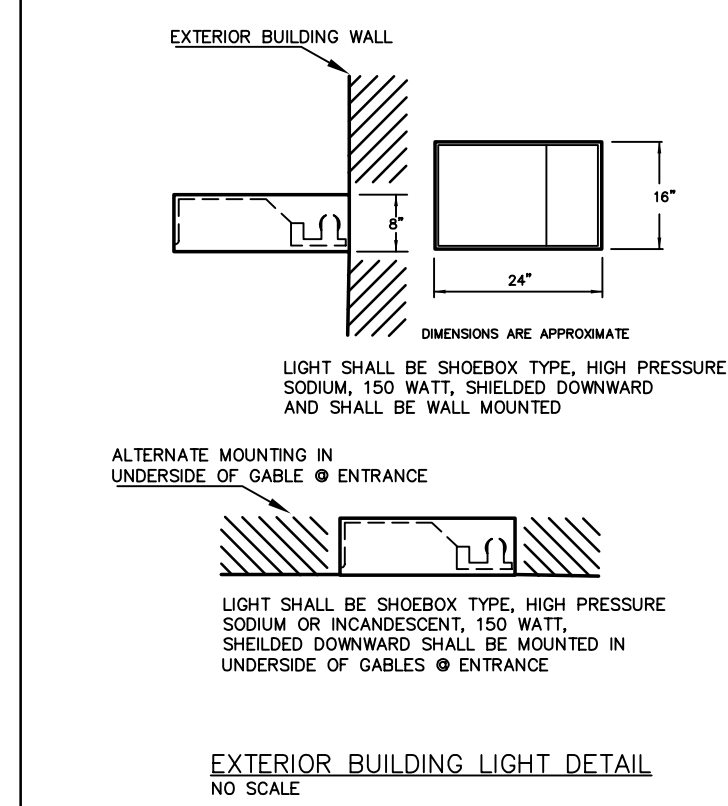
- Property zoned: LI (Light Industrial)
- Developer shall comply with soil erosion and sedimentation control measures as required by Livingston County Drain Commissioner.
- Water to be serviced by municipal sewer permitted through Hartland Township. Water to be from individual wells permitted through the Livingston County Health Department.
- Dumpsters must comply with the following requirements:
 - Located on a concrete pad, extended minimum 10' in front of dumpster enclosures.
 - A solid lockable gate should be provided.
 - Wood screening must be specified No. 1 pressure-treated wood.
 - Ballards shall be installed at opening to prevent damage.
- Handicapped parking space shall be marked with above grade sign.
- Underground utilities shall be extended from exist. locations to service this site as required by utility companies.
- All construction shall be performed in accordance with the current standards and specifications of Livingston County and Hartland Twp.
- The Contractor shall telephone Hartland Twp 48 hours before beginning any construction
- Three working days prior to any excavation, the Contractor shall telephone MISS DIG (800-482-7171) for the location of underground gas and cable facilities and shall also notify representatives of other utilities located in the vicinity of the work. It shall be the Contractor's responsibility to verify and/or obtain any information necessary regarding the presence of underground utilities which might affect this
- Siteplan use: Warehouse Units with associated office area.
- Parking calculations: # of parking spaces req'd.
 Each building consists of 6 units each unit with 300 sf of office area and 1073 sf of warehousing area. The proposed Phase IV consists of 3 buildings identical in nature for a total of 15,214 sf of Warehouse area and 5400 sf of associated office areas related to the warehousing use.
 Warehouse 1 space per 1500 sf gross floor area = 19314/1500 = 13 spaces required
 Office associated with Warehouse 1 space per 350 sf gross floor area =
 OR 1 employee per office = 1 employee x 6 office areas x 3 bldgs = 18 spaces required.
 Max # of Total Parking Spaces Required = 13 + 18 = 31 spaces REQUIRED
 Barrier Free Spaces Required = 2
 NUMBER OF PARKING SPACES PROVIDED = 35 + 3 barrier free + 18 unloading
- Per USDA Soil Survey for Livingston County onsite soils consist mainly of Miami sandy loams/loams with Pewama clays

LEGEND

- LIGHT POLE
- EXTERIOR BUILDING LIGHT SIGN
- UTILITY POLE
- TELEPHONE RISER
- CATCH BASIN
- MANHOLE
- VALVE
- HYDRANT
- WELL
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- MAJOR EXIST. CONTOUR - 5' INTERVAL
- MINOR EXIST. CONTOUR - 1' INTERVAL
- PROPOSED CONTOUR
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- PROPOSED STORM SEWER
- 2" GAS MAIN
- UGT
- UNDERGROUND TELEPHONE LINE
- UGE
- UNDERGROUND ELECTRIC LINE
- FENCE LINE
- GUARDRAIL
- DITCH CENTERLINE, TOE OF SLOPE
- SILT FENCE
- PROPOSED RIPRAP
- PROPOSED INLET FILTER
- EXISTING TREE AND BRUSH LINE



3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 FOR THE LOCATION OF UNDERGROUND FACILITIES



EXTERIOR BUILDING LIGHT DETAIL
NO SCALE

REVISIONS:
5/25/21 REVISED PER TOWNSHIP COMMENTS
11/17/21 REVISED PER TOWNSHIP COMMENTS

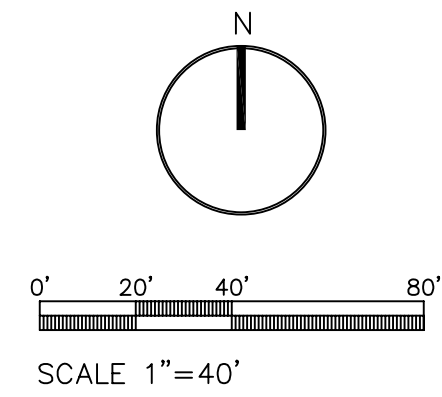
DEVELOPER:
 WL-PRO DEVEL. CO., L.L.C.
 12985 COVE RIDGE DR.
 SOUTH LYON, MI. 48178
 (248) 921-6011

HARTLAND COMMERCE CENTER
 PHASE III & IV CONSTRUCTION PLANS
 SITE PLAN PHASE IV

ACE CIVIL ENGINEERING
 5055 Underpass, Farmville, MI. 48831 • 517 548-1141 • acecivil@gmail.com

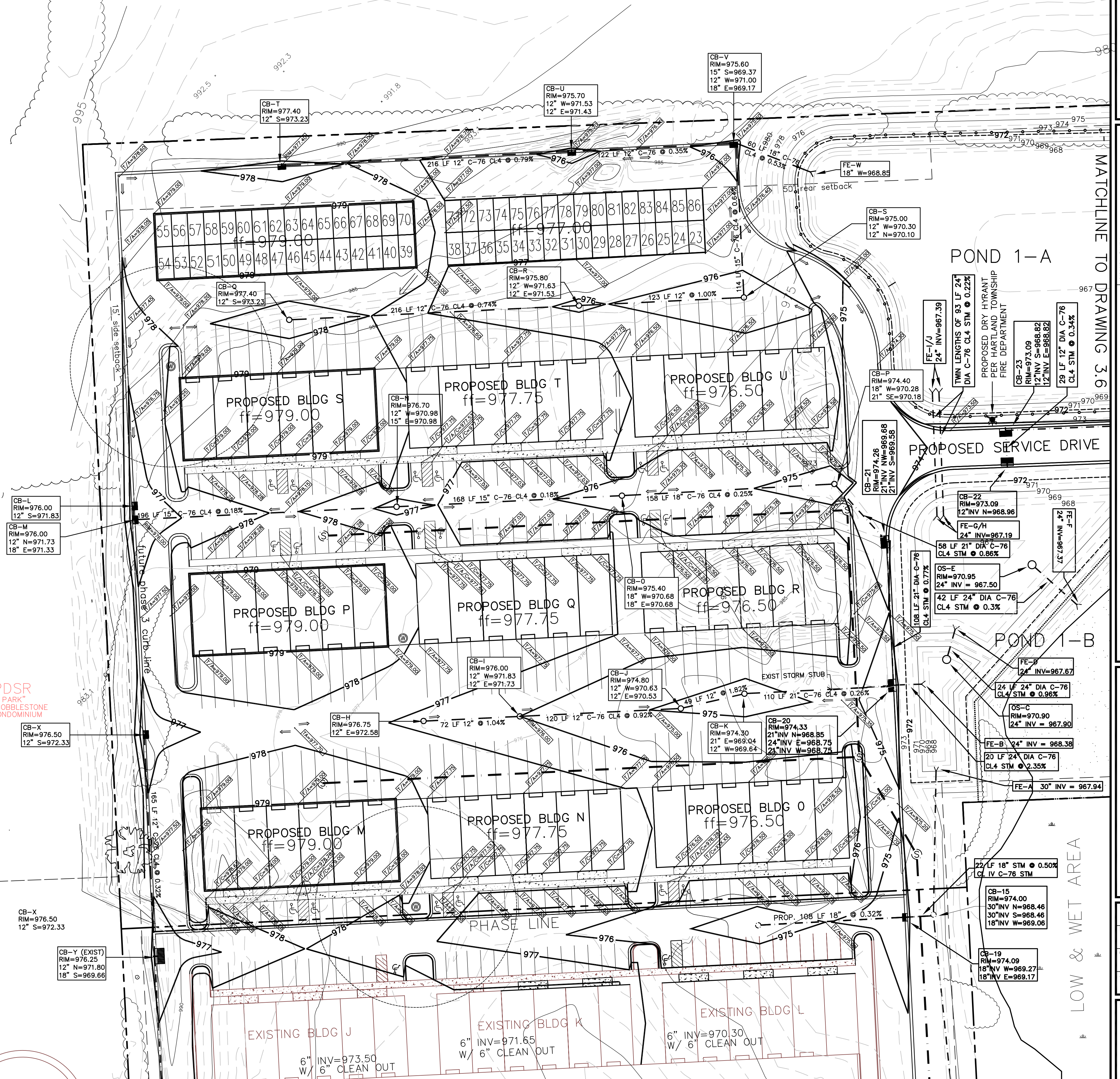
DATE: 05-04-21
 DRAWN BY: PCK
 CHECKED BY: PCK
 JOB No.: 99220

DRAWING No.: PHASE 3&4
 3.4



STORM SEWER TABLE

FROM MH OR INLET	TO MH OR INLET	INCREMENT ACRES "A"	"C"	EQUIVALENT AREA 100% ACRES CA	TOTAL AREA 100% ACRES CA	T TIME MIN.	I INCHES PER HOUR	Q C.F.S. C.I.A.	DIAMETER OF PIPE IN.	SLOPE PIPE %	SLOPE HYDRAULIC %	LENGTH OF LINE FT.	VELOCITY FLOW 10/YR FT/SEC	TIME OF FLOW MIN.	PIPE CAPACITY C.F.S.
CB-A	CB-B	0.37	0.9	0.33	0.33	15	4.38	1.44	12	0.32	x	178	2.6	1.1	2.01
CB-B	MH-C	0.28	0.9	0.25	0.58	16.1	4.26	2.47	15	0.24	x	109	2.6	0.7	3.16
MH-C	MH-D	NA	NA	NA	0.58	16.8	4.19	2.43	15	0.24	x	68	2.6	0.4	3.16
MH-D	CB-27	NA	NA	NA	0.58	17.2	4.15	2.41	21	0.20	x	14	2.9	0.1	7.08
CB-26	CB-27	0.22	0.7	0.15	0.15	15	4.38	0.66	12	0.38	x	29	2.8	0.2	2.20
CB-27	CB-24	0.53	0.85	0.45	1.18	17.3	4.13	4.87	21	0.23	x	457	3.2	2.4	7.59
CB-E	CB-F	0.44	0.9	0.40	0.40	15	4.38	1.75	12	0.32	x	172	2.6	1.1	2.01
CB-F	MH-G	0.29	0.9	0.26	0.66	16.1	4.26	2.81	12	0.63	x	129	3.6	0.6	2.83
MH-G	CB-24	NA	NA	NA	0.66	16.7	4.20	2.77	18	0.50	x	23	4.2	0.1	7.43
CB-25	CB-24	0.19	0.7	0.13	0.13	15	4.38	0.57	12	0.34	x	29	2.6	0.2	2.08
CB-22	CB-23	0.13	0.9	0.12	0.12	15	4.38	0.53	12	0.34	x	29	2.6	0.2	2.08
CB-23	CB-24	0.2	0.8	0.16	0.28	15.2	4.35	1.22	12	0.34	x	200	2.6	1.3	2.08
CB-25	CB-24	0.19	0.7	0.13	0.13	15	4.38	0.57	12	0.34	x	29	2.6	0.2	2.08
CB-24	FE-0	0.51	0.85	0.43	2.81	19.7	3.92	11.02	24	1.34	x	29	8.3	0.1	26.19
CB-H	CB-I	0.39	0.9	0.35	0.35	15	4.38	1.53	12	1.04	x	72	4.6	0.3	3.63
CB-I	CB-J	0.29	0.9	0.26	0.61	15.3	4.34	2.65	12	0.92	x	120	4.4	0.5	3.41
CB-J	CB-K	0.48	0.9	0.43	1.04	15.8	4.29	4.46	12	1.82	x	49	6.1	0.1	4.81
CB-K	CB-20	0.48	0.9	0.43	1.47	15.9	4.28	6.29	21	0.26	x	110	3.4	0.5	8.07
CB-L	CB-M	.71/2	0.7	0.25	0.25	15	4.38	1.10	12	1.0	x	10	4.5	0	3.56
CB-M	CB-N	.71/2	0.7	0.25	0.50	15	4.38	2.19	18	0.18	x	196	2.5	1.3	4.46
CB-N	CB-O	0.40	0.8	0.32	0.82	16.3	4.23	3.47	18	0.18	x	168	2.5	1.1	4.46
CB-O	CB-P	0.56	0.8	0.45	1.27	17.4	4.13	5.25	18	0.25	x	158	3.0	0.9	5.25
CB-P	CB-21	0.42	0.9	0.38	1.65	18.3	4.04	6.67	21	0.86	x	58	6.1	0.2	14.68
CB-21	CB-20	0.05	0.9	0.05	1.70	18.5	4.02	6.83	21	0.77	x	108	5.8	0.3	13.89
CB-20	FE-B	0.14	0.9	0.13	3.30	18.8	4.00	13.20	24	1.85	x	20	9.8	0	30.77
CB-Q	CB-R	0.43	0.9	0.39	0.39	15	4.38	1.71	12	0.74	x	216	3.9	0.9	3.06
CB-R	CB-S	0.52	0.85	0.44	0.83	15.9	4.28	3.55	12	1.0	x	123	4.5	0.5	3.56
CB-S	CB-V	0.43	0.9	0.39	1.22	16.4	4.23	5.16	15	0.64	x	114	4.2	0.5	5.16
CB-T	CB-U	0.29	0.75	0.22	0.22	15	4.38	0.96	12	0.79	x	216	4.0	0.9	3.17
CB-U	CB-V	0.35	0.75	0.26	0.48	15.9	4.28	2.05	12	0.35	x	122	2.7	0.8	2.10
CB-V	FE-W	0.15	0.80	0.12	1.82	16.9	4.18	7.60	18	0.53	x	60	4.3	0.2	7.65
CB-X	CB-Y	0.55	0.7	0.39	0.39	15	4.38	1.71	12	0.32	x	165	2.6	1.1	2.01



- LEGEND**
- LIGHT POLE
 - EXTERIOR BUILDING LIGHT
 - ◇ SIGN
 - UTILITY POLE
 - TELEPHONE RISER
 - CATCH BASIN
 - MANHOLE
 - VALVE
 - HYDRANT
 - WELL
 - x 791.87 EXISTING SPOT ELEVATION
 - x 791.87 PROPOSED SPOT ELEVATION
 - 790 MAJOR EXIST. CONTOUR - 5' INTERVAL
 - 792 MINOR EXIST. CONTOUR - 1' INTERVAL
 - 797 PROPOSED CONTOUR
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING WATER MAIN
 - PROPOSED STORM SEWER
 - 2" GAS MAIN
 - UGT UNDERGROUND TELEPHONE LINE
 - UGE UNDERGROUND ELECTRIC LINE
 - FENCE LINE
 - GUARDRAIL
 - DITCH CENTERLINE, TOE OF SLOPE
 - SILT FENCE
 - PROPOSED RIPRAP
 - PROPOSED INLET FILTER
 - EXISTING TREE AND BRUSH LINE



ZONED CA
BILL LESTER & ARCHILLE MAURO
4708-28-300-030

ZONED PDSR
"COBBLESTONE PARK"
PARK AREA FOR COBBLESTONE PRESERVE SITE CONDOMINIUM

MATCHLINE TO DRAWING 3.6

POND 1-A

POND 1-B

PROPOSED SERVICE DRIVE

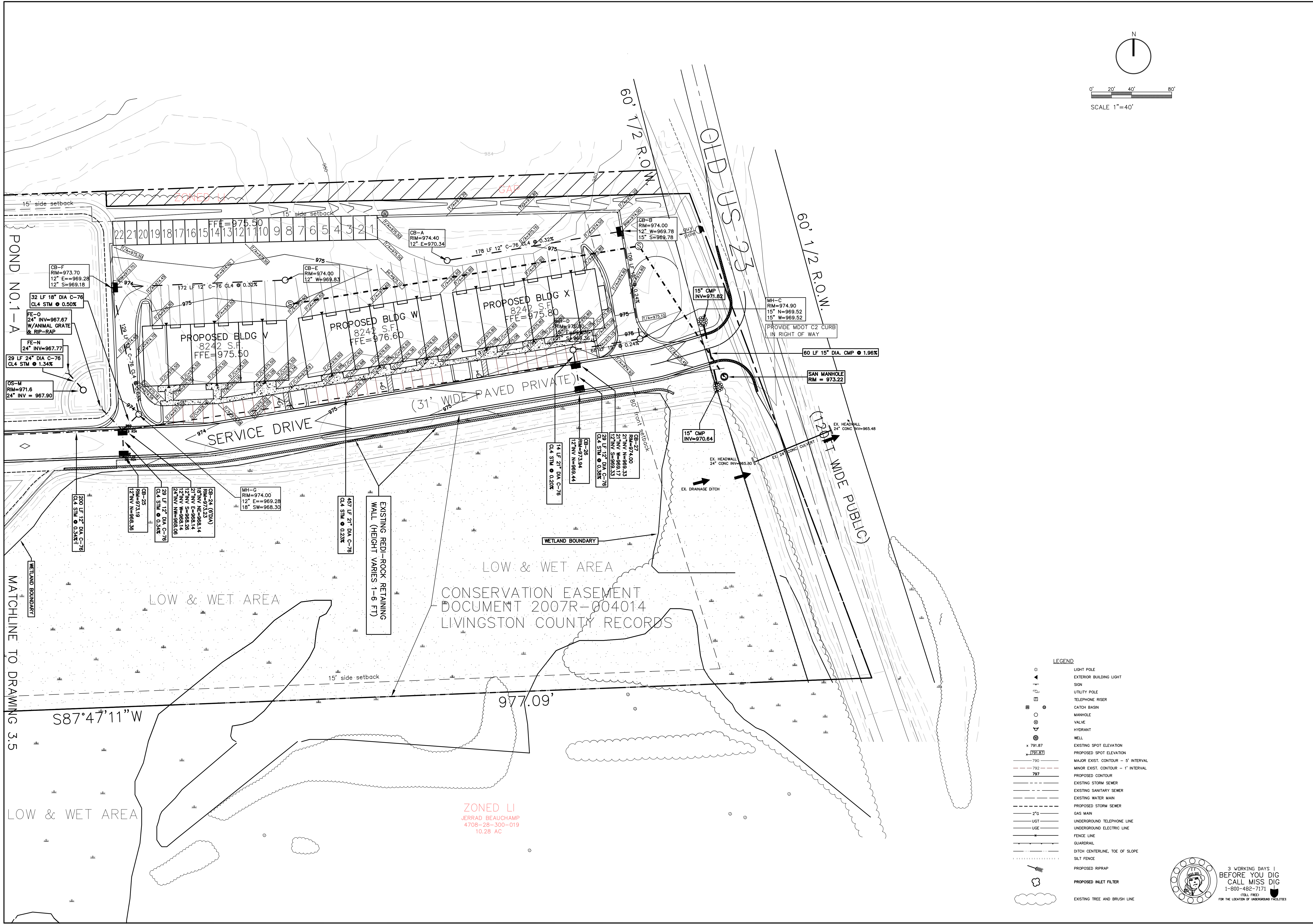
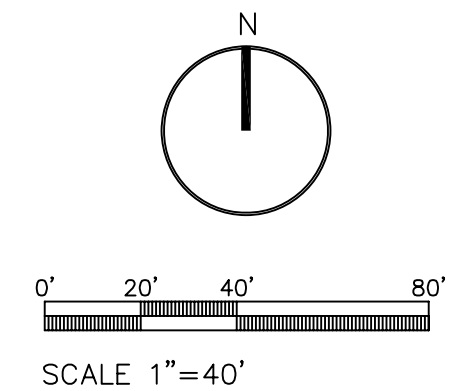
LOW & WET AREA

HARTLAND COMMERCE CENTER
PHASE III & IV CONSTRUCTION PLANS
GRADING-UTILITY PLAN PHASE III

DEVELOPER:
WL-PRO DEVEL. CO., L.L.C.
12985 COVE RIDGE DR.
SOUTH LYON, MI. 48178
(248) 921-6011

DATE: 05-04-21
DRAWN BY: PCK
CHECKED BY: PCK
JOB No.: 99220
DRAWING No.: PHASE 3&4
3.5

ACE CIVIL ENGINEERING
5055 Lindenmead, Farmington Hills, MI 48334 • 317.549-4141 • acecivil@gmail.com



LEGEND

	LIGHT POLE
	EXTERIOR BUILDING LIGHT
	SIGN
	UTILITY POLE
	TELEPHONE RISER
	CATCH BASIN
	MANHOLE
	VALVE
	HYDRANT
	WELL
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	MAJOR EXIST. CONTOUR - 5' INTERVAL
	MINOR EXIST. CONTOUR - 1' INTERVAL
	PROPOSED CONTOUR
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	PROPOSED STORM SEWER
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE
	FENCE LINE
	GUARDRAIL
	DITCH CENTERLINE, TOE OF SLOPE
	SILT FENCE
	PROPOSED RIPRAP
	PROPOSED INLET FILTER
	EXISTING TREE AND BRUSH LINE

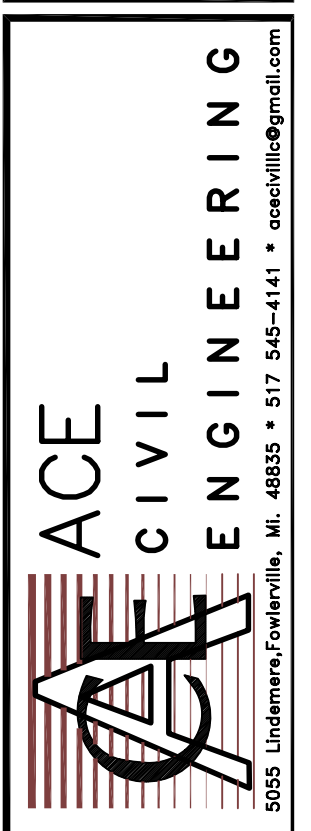
ZONED LI
 JERRAD BEAUCHAMP
 4708-28-300-019
 10.28 AC

REVISIONS:

5/25/21	REVISED PER TOWNSHIP COMMENTS
11/12/21	REVISED PER TOWNSHIP COMMENTS

DEVELOPER:
 WL-PRO DEVEL. CO., L.L.C.
 12985 COVE RIDGE DR.
 SOUTH LYON, MI. 48178
 (248) 921-6011

HARTLAND COMMERCE CENTER
 PHASE III & IV CONSTRUCTION PLANS
 GRADING & UTILITY PLAN PHASE IV

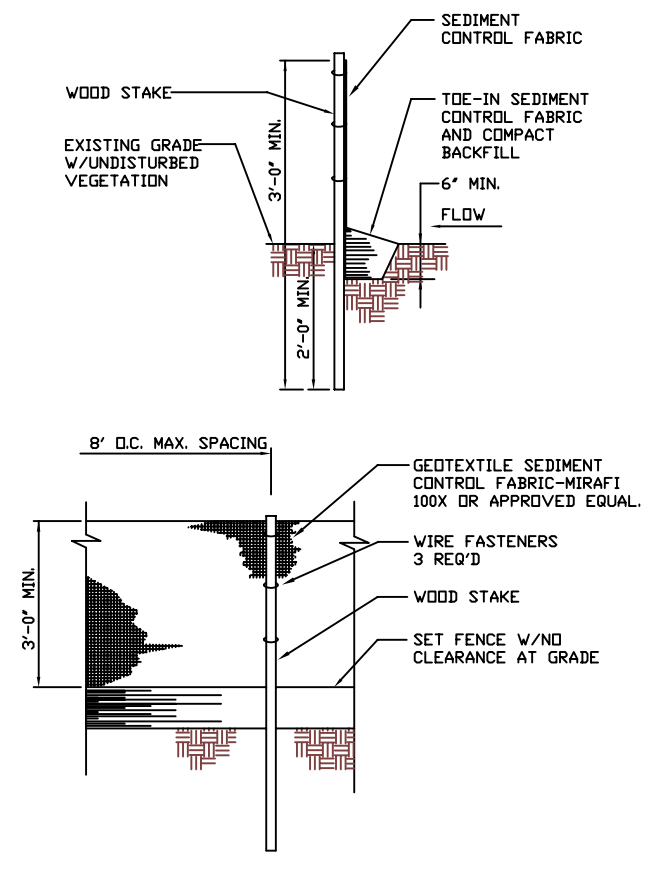


DATE: 05-04-21
 DRAWN BY: PCK
 CHECKED BY: PCK
 JOB No.: 99220

DRAWING No.: PHASE 3&4
 3.6



3 WORKING DAYS BEFORE YOU DIG
 CALL MISS DIG
 1-800-482-7171
 (TILL FREE)
 FOR THE LOCATION OF UNDERGROUND FACILITIES

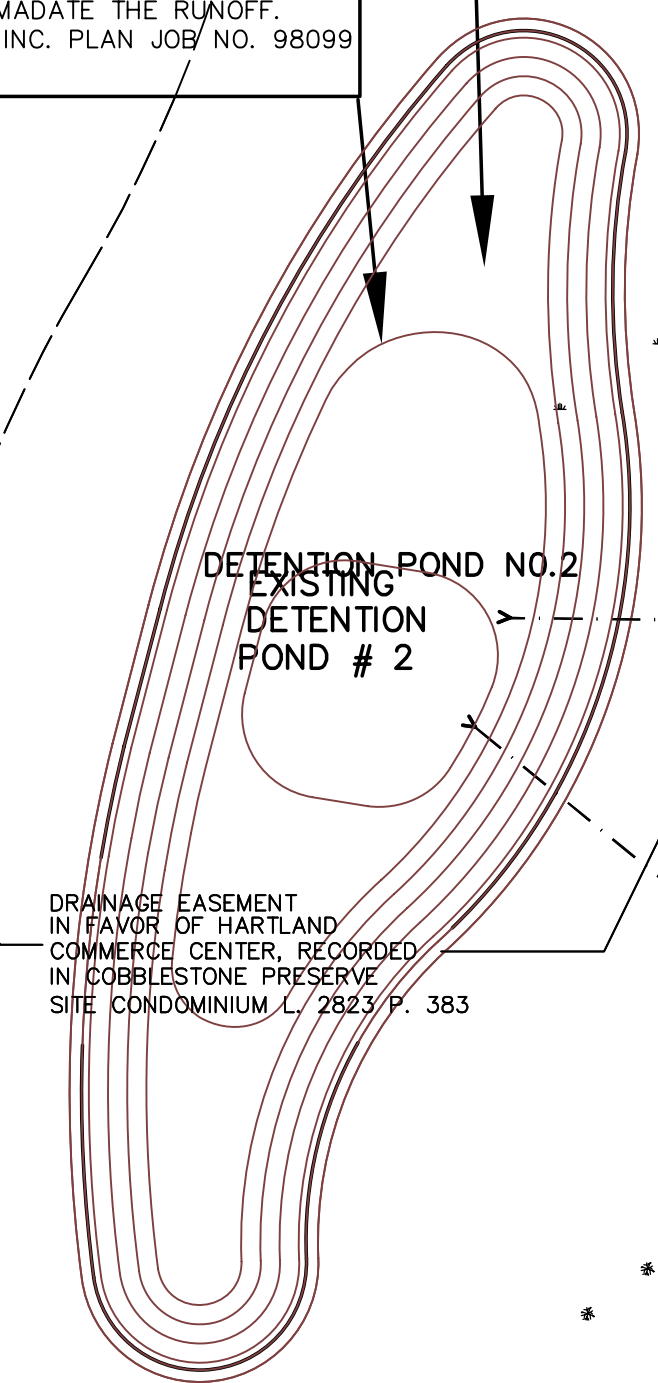


SILT FENCE DETAIL
NO SCALE

EXISTING DETENTION POND 2
TOTAL TRIBUTARY AREA FROM THIS SITE = 4.5 ACRES
COMPOSITE "C" VALUE (FULLY DEVELOPED) = 0.85
 $Q_p = 0.20 \text{ CFS/ACRE} = 0.9 \text{ CFS}$
REQUIRED POND VOLUME (100 YR STORM) = 45,900 C.F.
PROVIDED POND VOLUME = 101,200 C.F.
(ADVANTAGE PLAN #98099 DESIGNED FOR 14.3 AC @ $C=0.7$
DURING A 50YR STM TO POND 2 = 101,200 C.F.
PROVIDED VOLUME FOR THIS SITE IN THIS POND)
BETWEEN ELEV= 972 & 977
FREEBOARD ELEV = 973
SIDESLOPES = 6:1

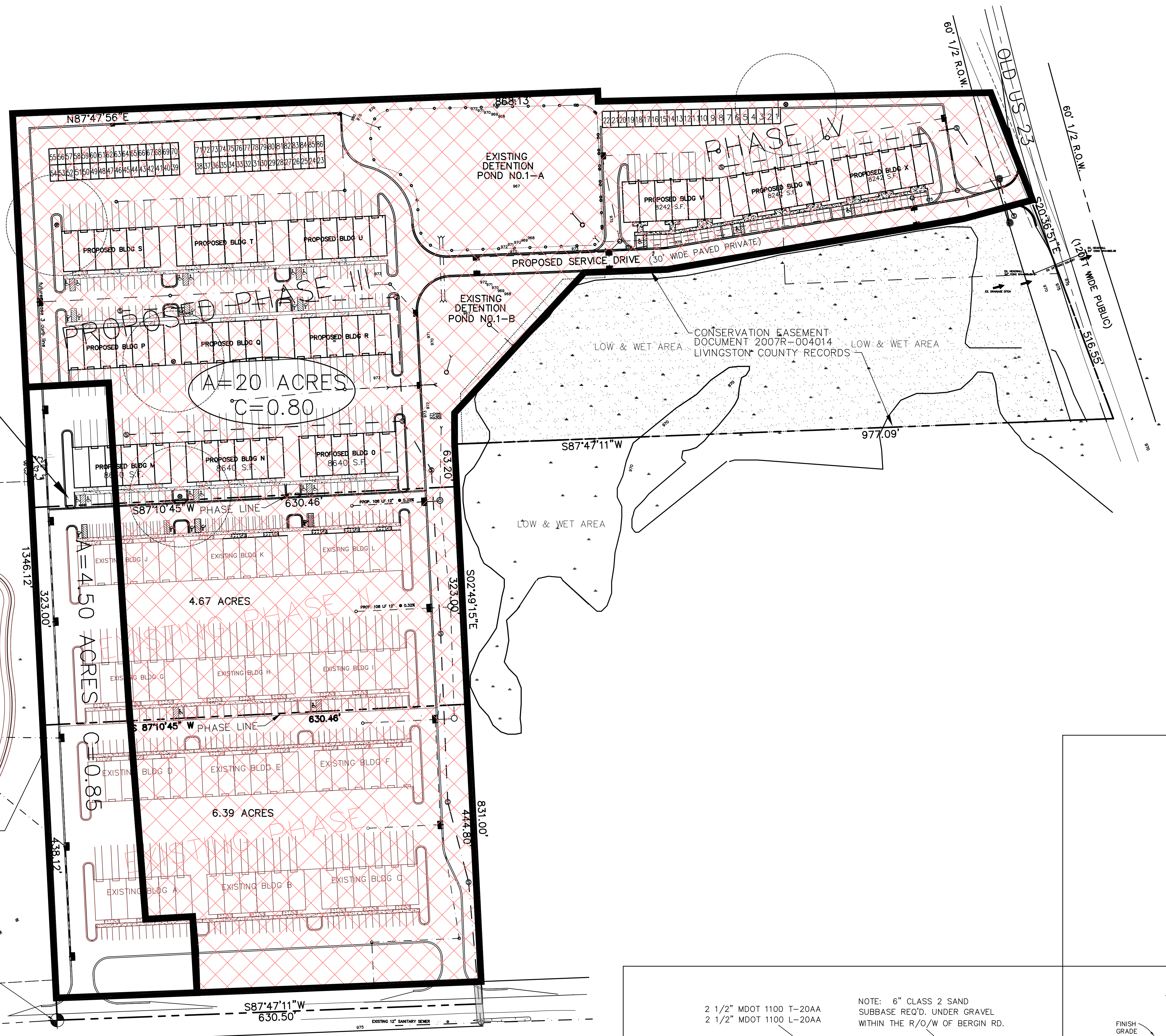
NOTE: THIS DETENTION POND WAS DESIGNED IN CONJUNCTION WITH THE COBBLESTONE PRESERVE SITE CONDOMINIUM PROJECT. THE POND WAS DESIGNED TO ACCOUNT FOR 14.30 ACRES OF LAND ON THE HARTLAND COMMERCE CENTER PROPERTY WITH AN ASSUMED RUNOFF COEFFICIENT OF 0.7. THE SITE PLAN AS PROPOSED WILL DIRECT A TRIBUTARY AREA OF 4.5 ACRES TO THE COBBLESTONE PRESERVE DETENTION POND AND THEREFORE WILL BE ADEQUATE IN SIZE TO ACCOMMODATE THE RUNOFF. (SEE ADVANTAGE CIVIL ENGINEERING, INC. PLAN JOB NO. 98099 SHEET NO.9 DATED 11-19-99).

"COBBLESTONE PARK"
PARK AREA FOR COBBLESTONE
PRESERVE SITE CONDOMINIUM

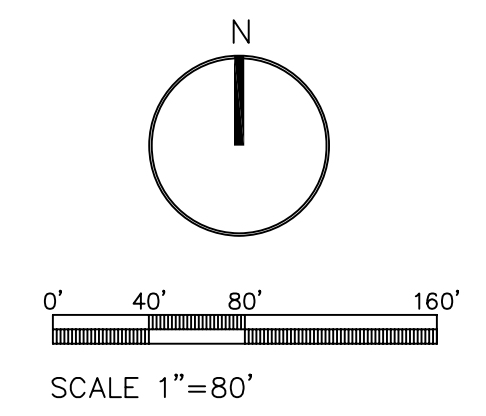


DRAINAGE EASEMENT
IN FAVOR OF HARTLAND
COMMERCE CENTER, RECORDED
IN COBBLESTONE PRESERVE
SITE CONDOMINIUM L. 2823 P. 383

SW COR
SEC. 28
T3N-R6E



DETENTION AREA MAP
SCALE 1"=80'



PROPOSED
DETENTION POND #1-A

VOLUME REQUIRED	A=20 ACRES		
	C=0.80		
	$Q_p=4.0 \text{ CFS}$		
	K=16		
TOTAL REQUIRED VOLUME	$T=120 \text{ MIN}=190,080 \text{ C.F.}$		

VOLUME PROVIDED			
elev.	surface area	volume	total volume
971	56,326	54,823	156,505
970	53,319	52,133	101,682
969	50,947	49,549	49,299
968	48,151		
TOTAL =			156,505

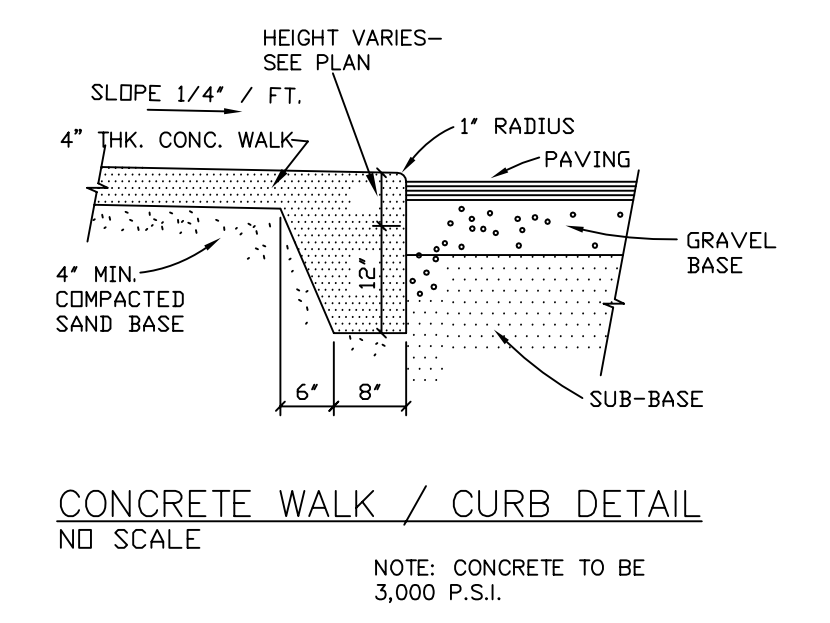
DESIGN HIGH WATER ELEV= 971
FREEBOARD ELEV= 972
SIDESLOPES = 3:1 WITH PERIMETER FENCE

PROPOSED DETENTION POND #1-B (AS MODIFIED)

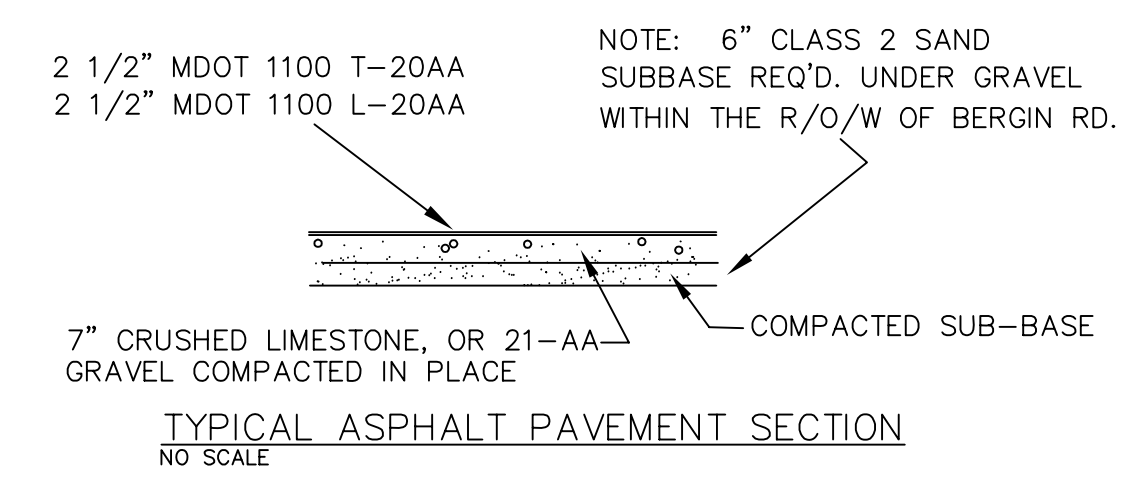
VOLUME PROVIDED			
elev.	surface area	volume	total volume
971	15,201	13,277	33,688
970	12,602	11,357	20,391
969	10,112	9034	9034
968	7956		
TOTAL =			33,688

DESIGN HIGH WATER ELEV= 971
FREEBOARD ELEV= 972
SIDESLOPES = 3:1 (FENCE PROVIDED)

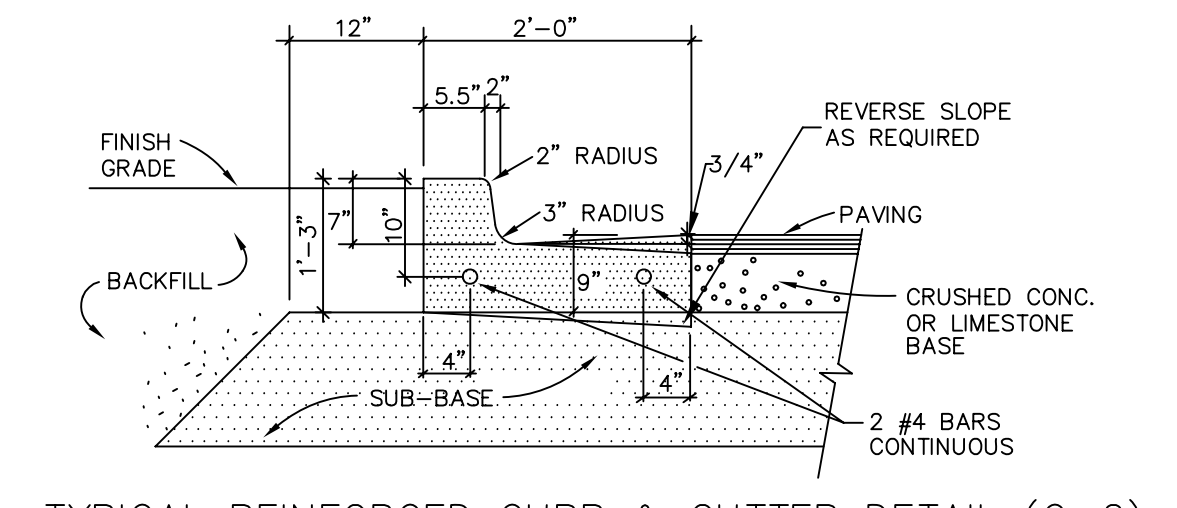
TOTAL COMBINED VOLUME = 33,688 + 156,505 = 190,193



CONCRETE WALK / CURB DETAIL
NO SCALE
NOTE: CONCRETE TO BE 3,000 P.S.I.



TYPICAL ASPHALT PAVEMENT SECTION
NO SCALE



TYPICAL REINFORCED CURB & GUTTER DETAIL (C-2)
NO SCALE

REVISIONS:
5/25/21 REVISED PER TOWNSHIP COMMENTS
11/12/21 REVISED PER TOWNSHIP COMMENTS

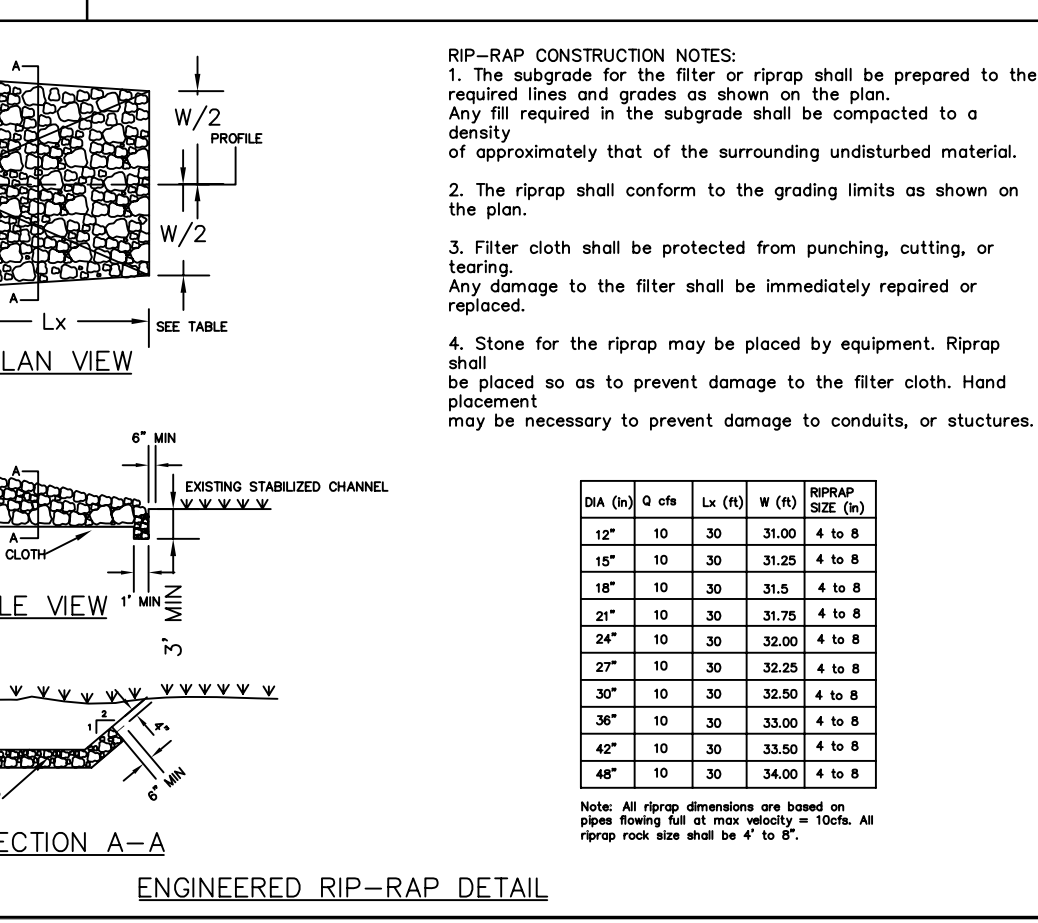
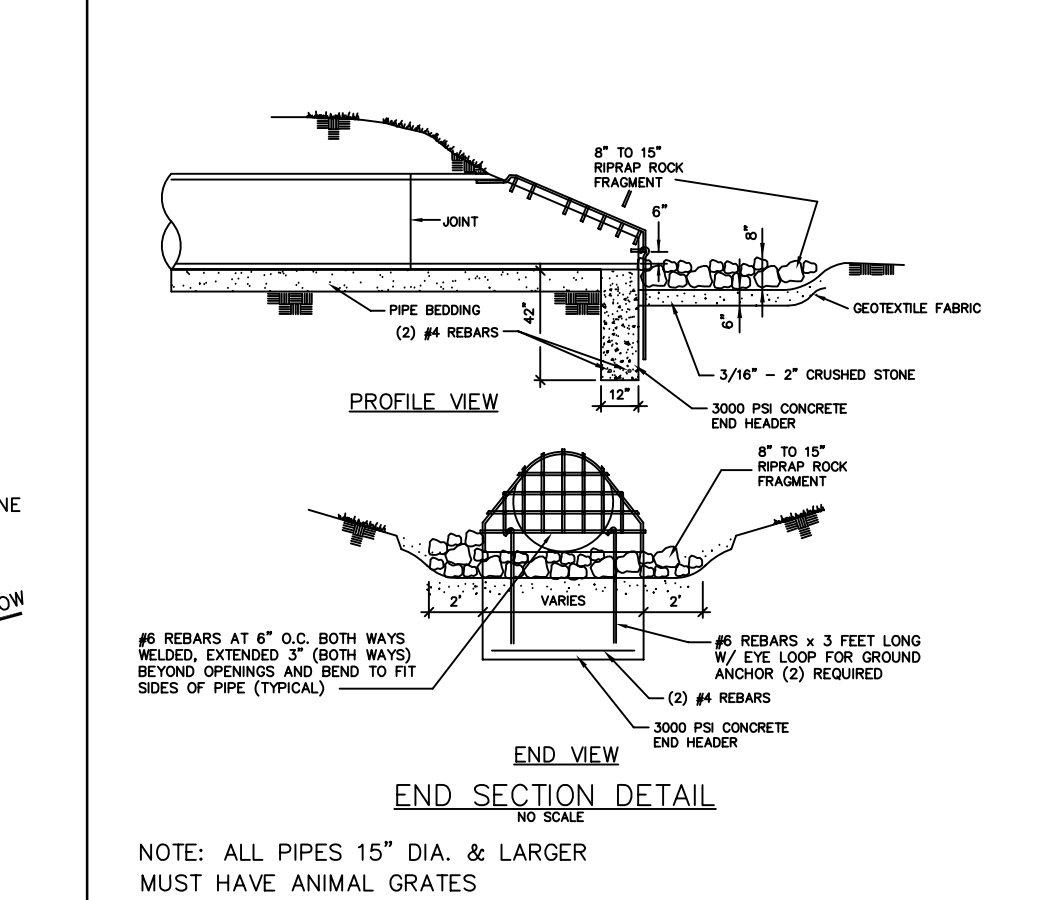
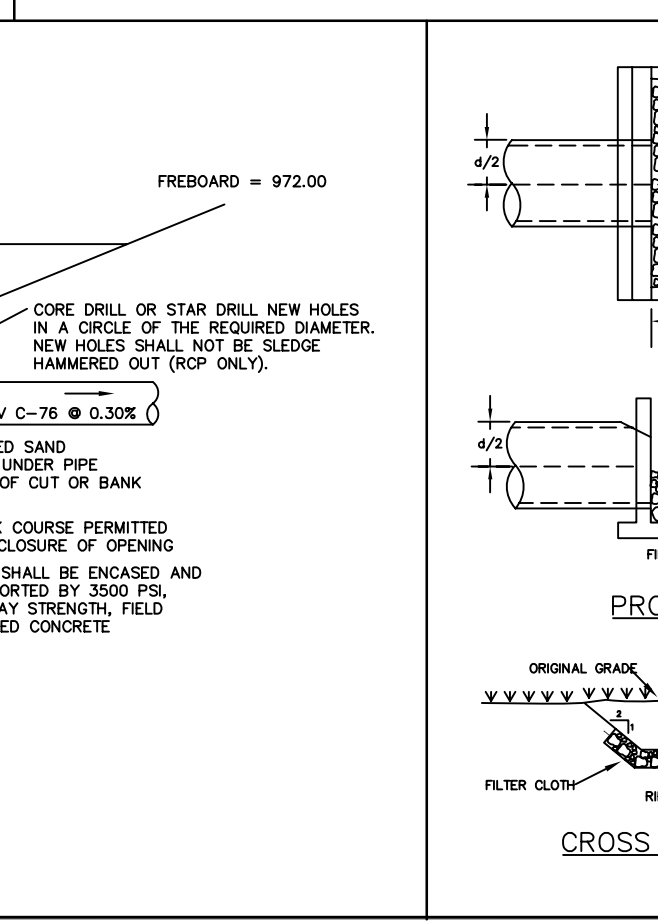
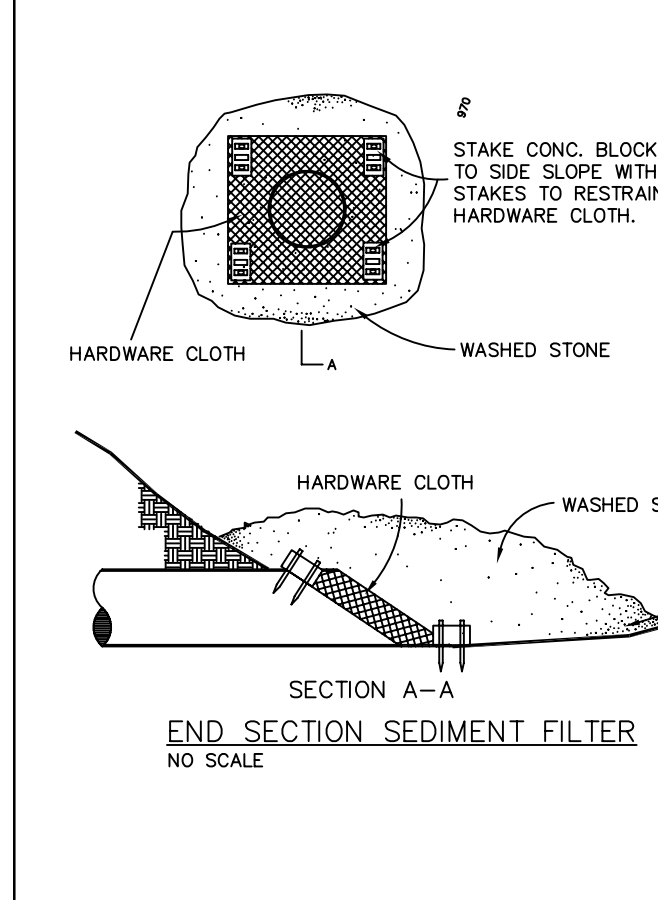
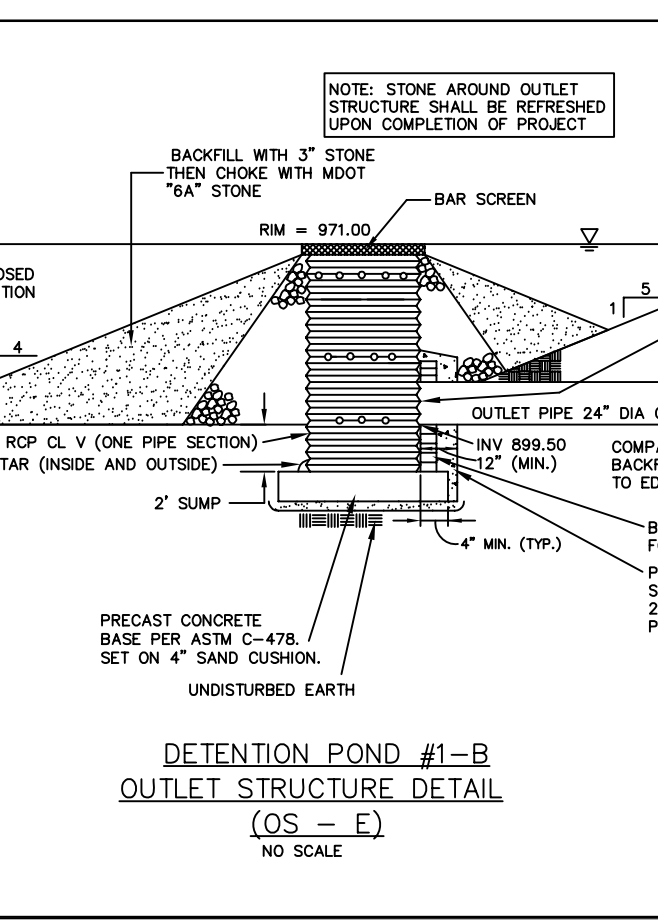
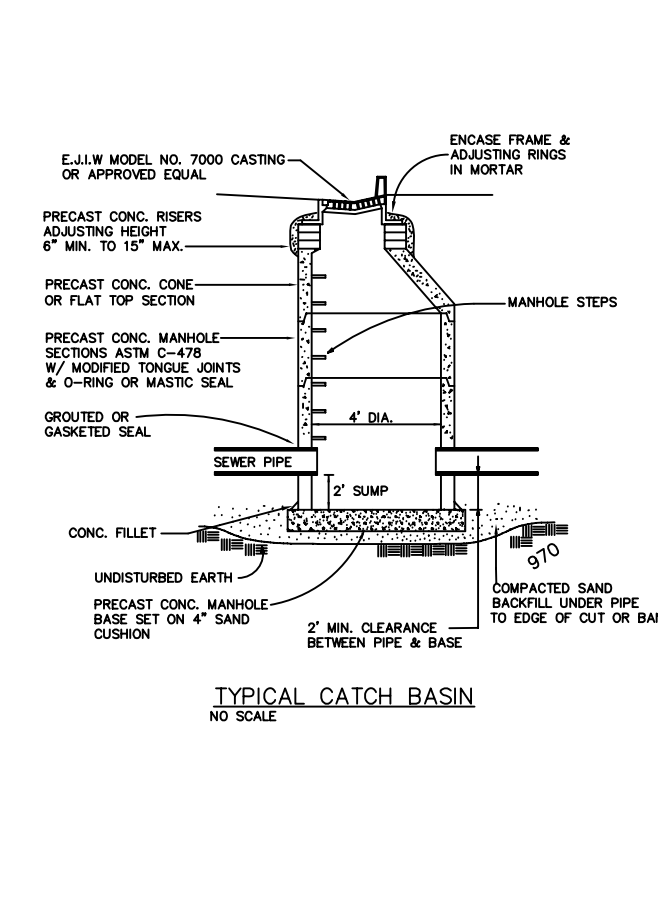
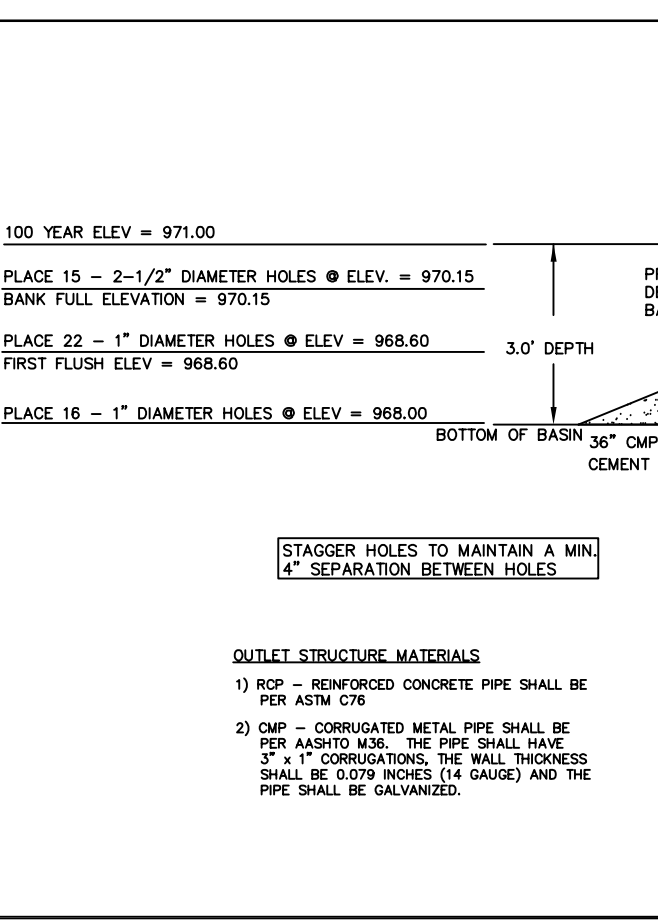
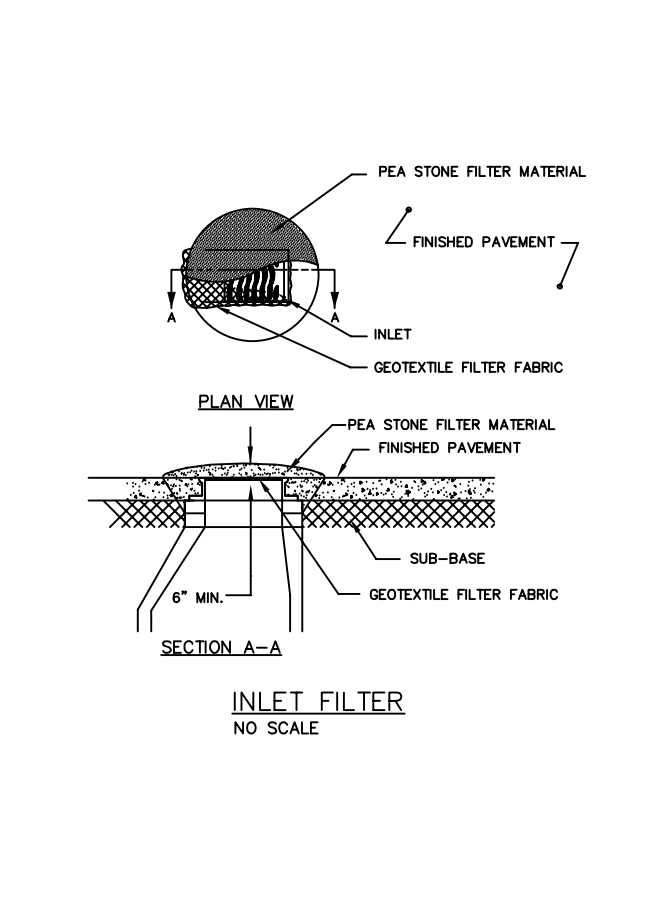
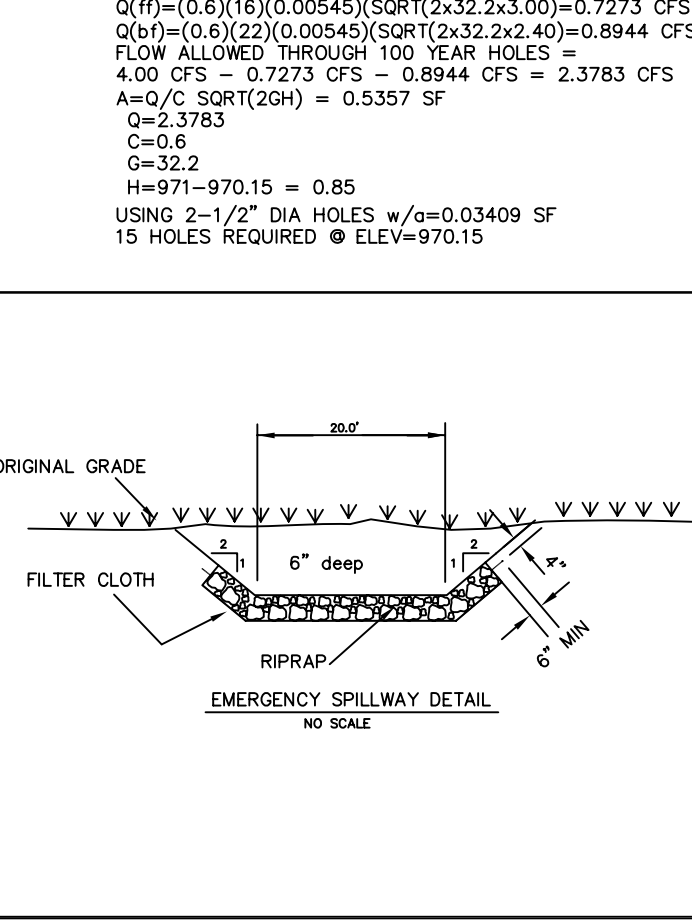
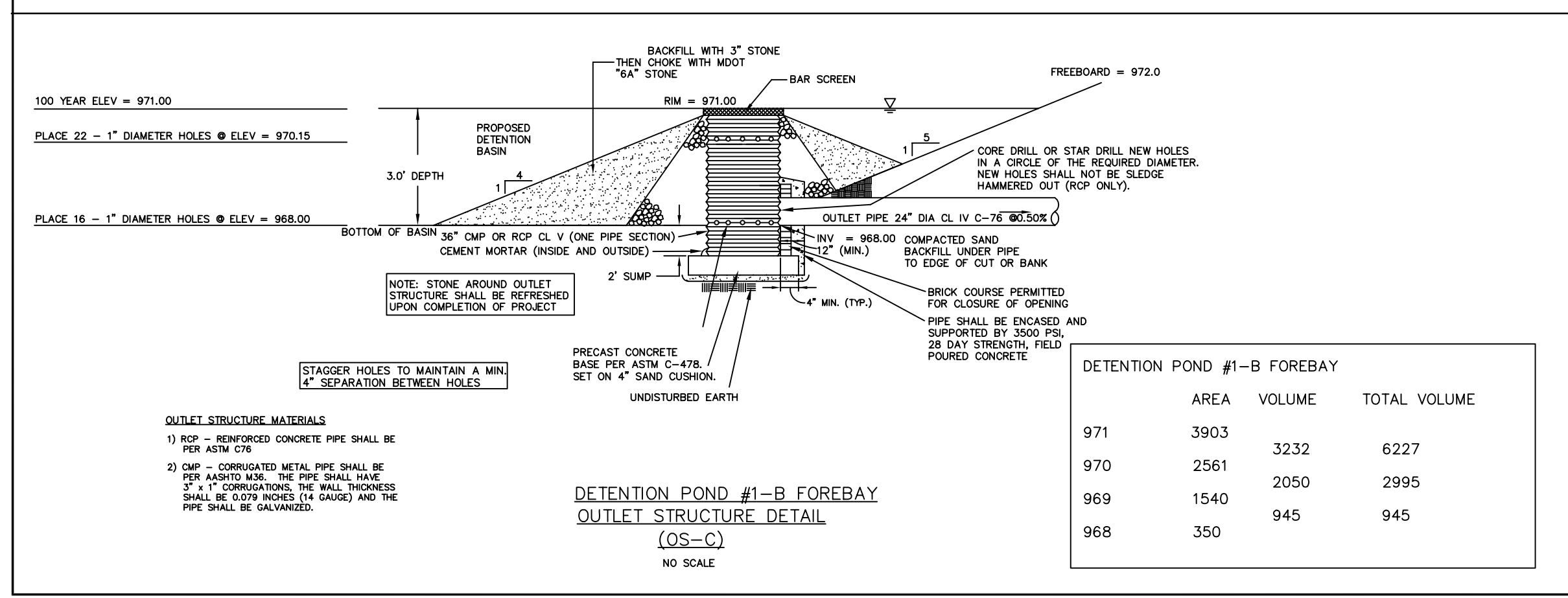
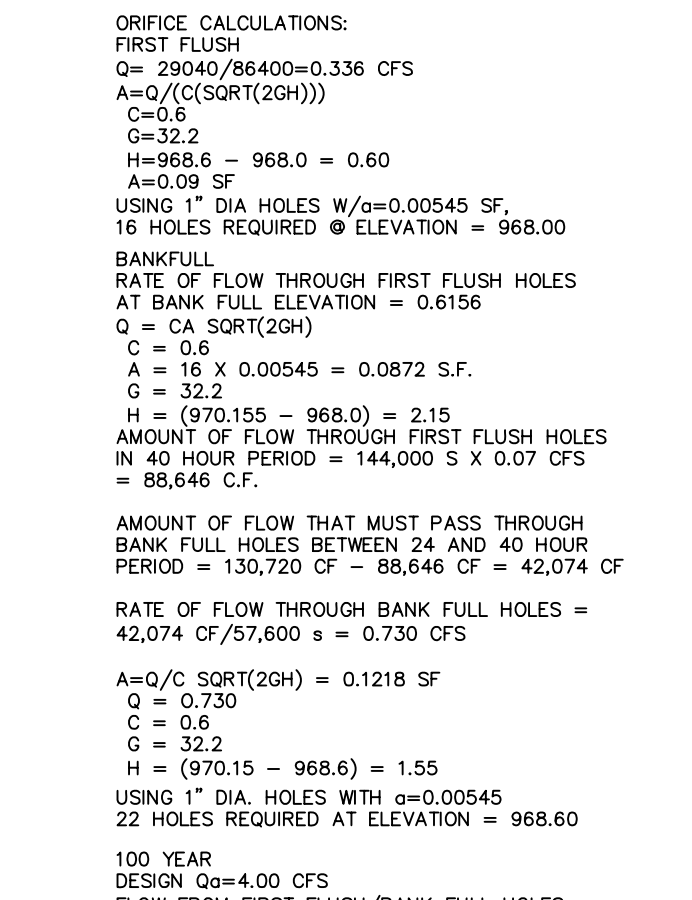
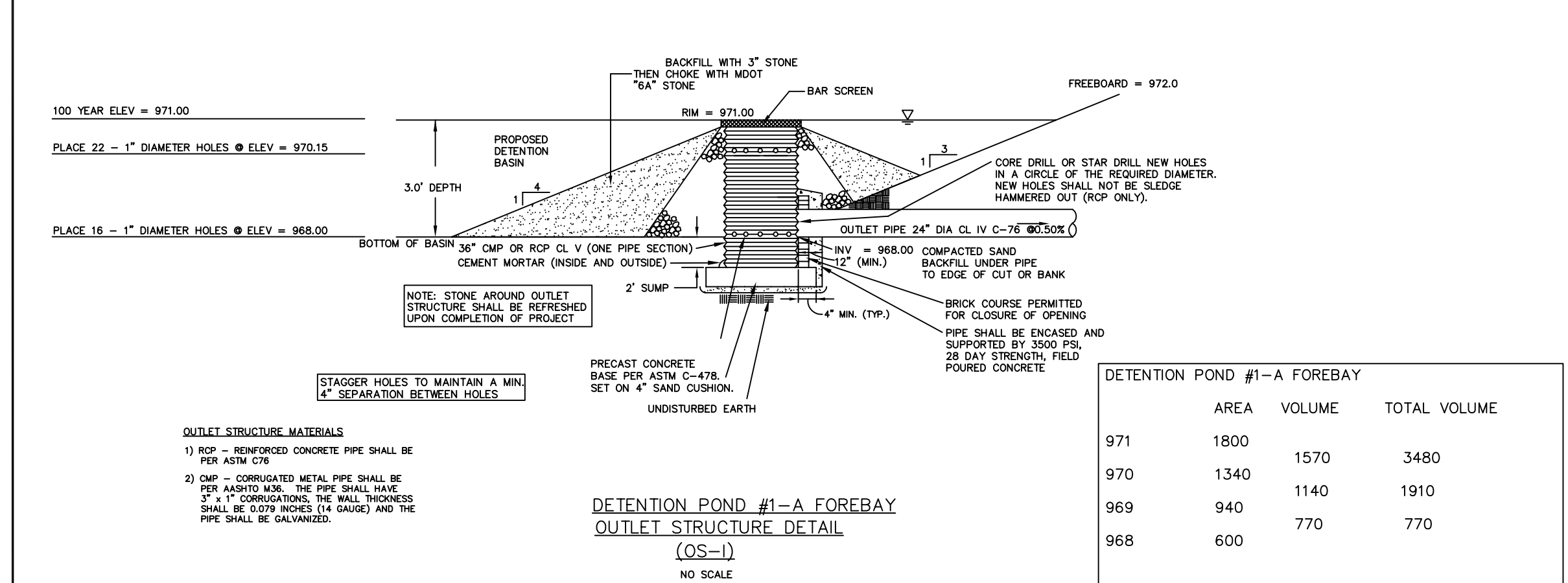
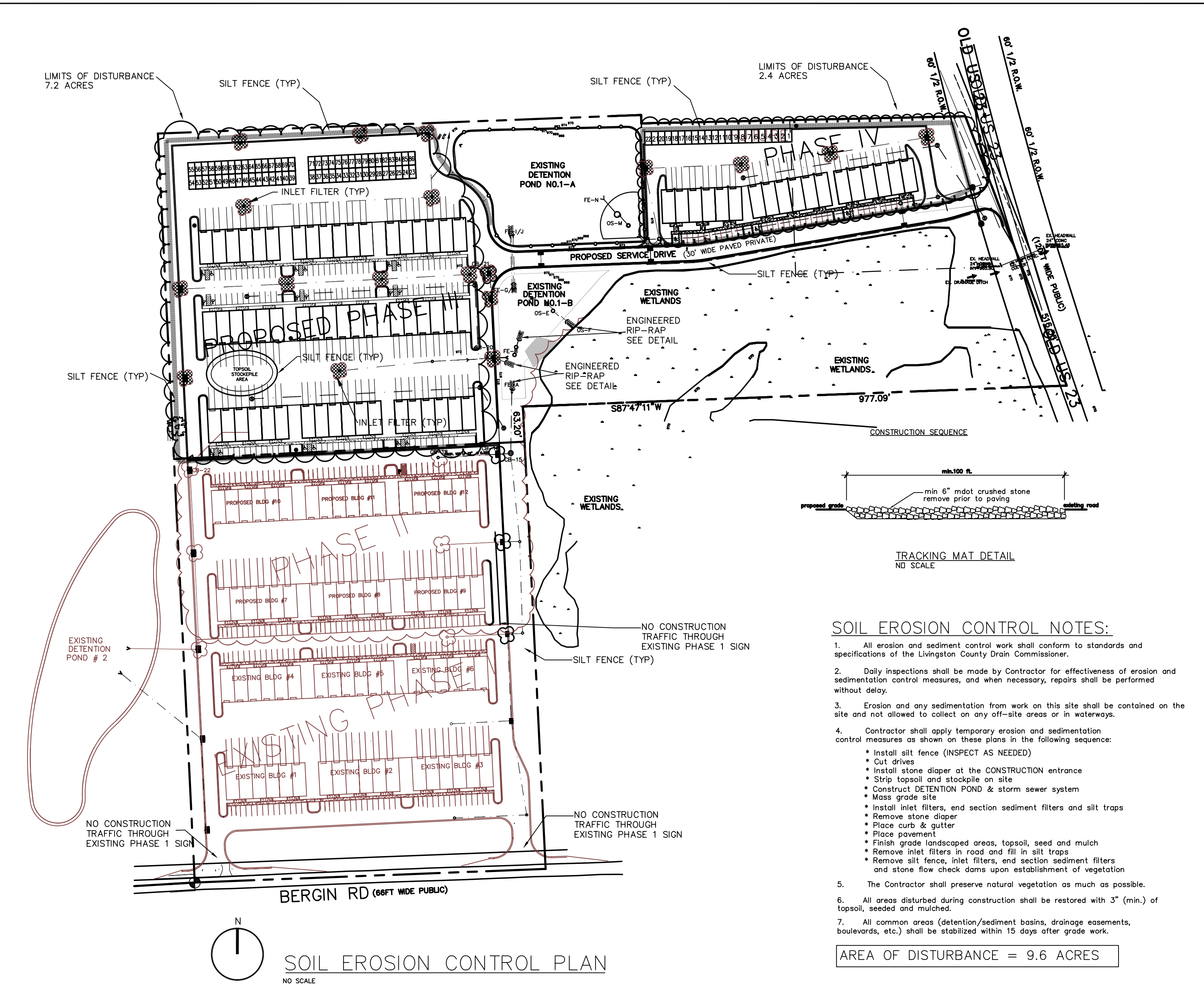
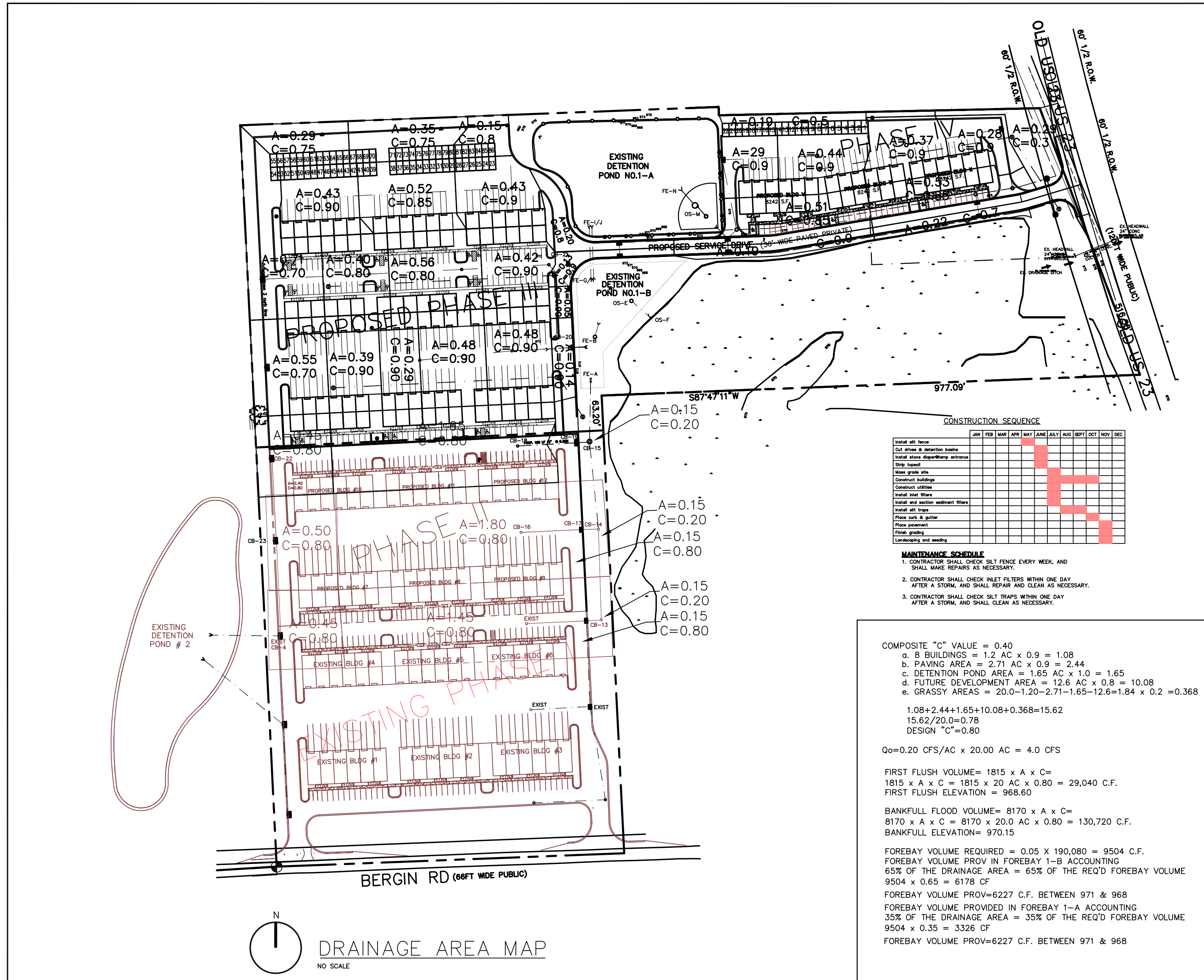
DEVELOPER:
WIL-PRO DEVEL. CO., L.L.C.
12985 COVE RIDGE DR.
SOUTH LYON, MI. 48178
(248) 921-6011

HARTLAND COMMERCE CENTER
PHASE III & IV CONSTRUCTION PLANS
PHASE III & IV DRAINAGE AREA MAP

ACE CIVIL ENGINEERING
3055 Undermyer Court, Southfield, MI 48035 • 313-548-4141 • acecivil@gmail.com

DATE: 05-04-21
DRAWN BY: PCK
CHECKED BY: PCK
JOB No.: 99220

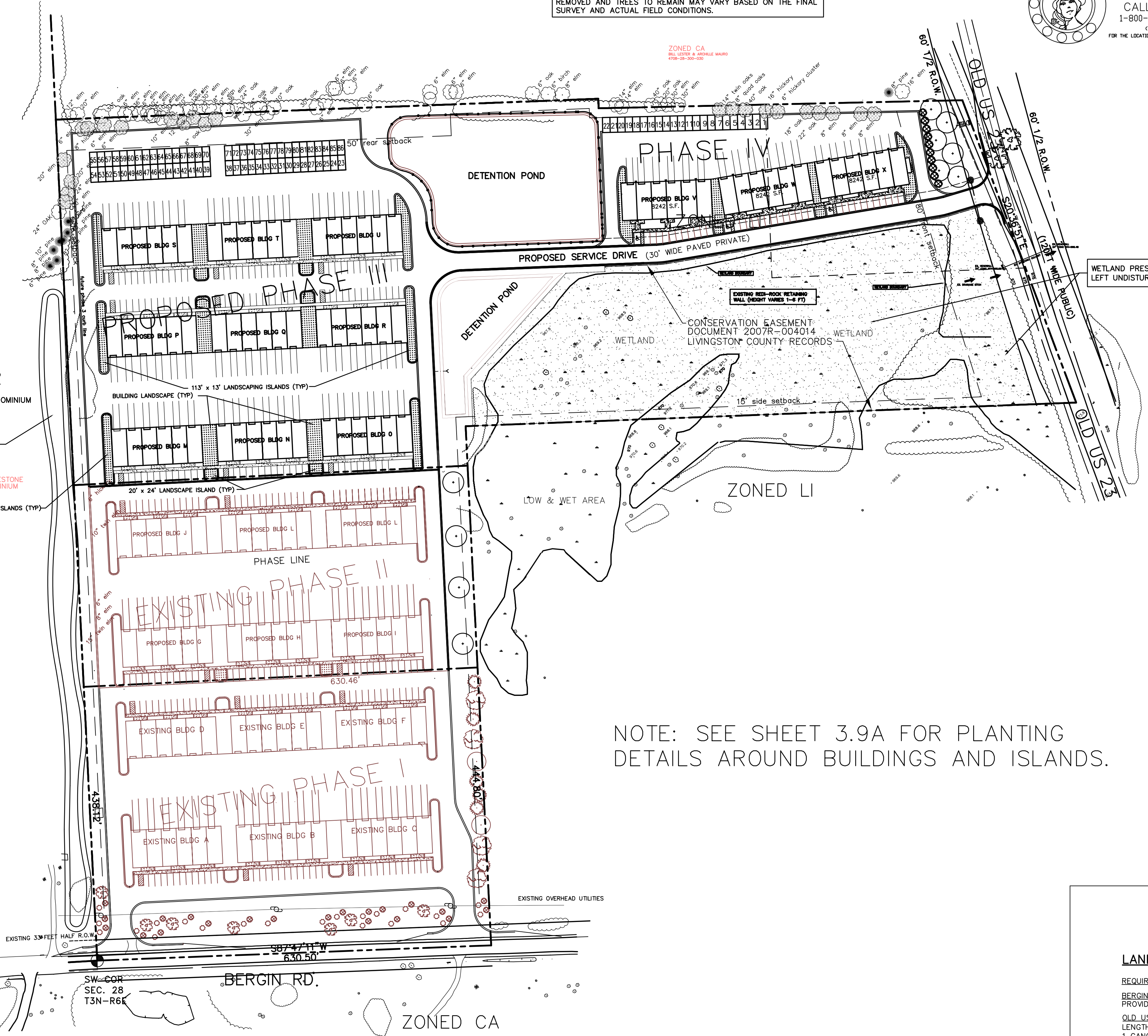
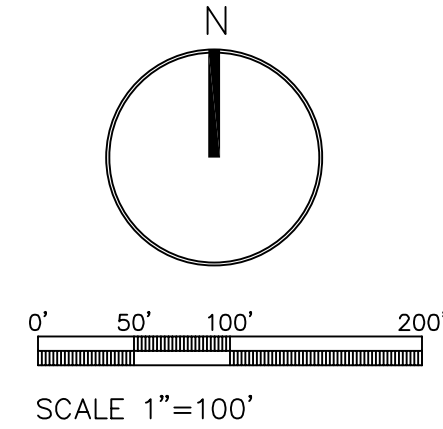
DRAWING No.:
PHASE 3 & 4
3.7



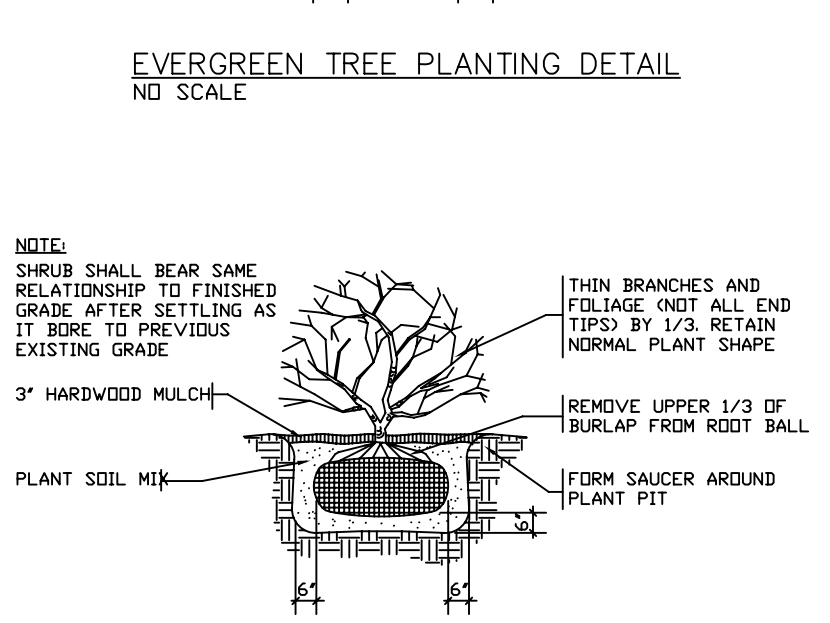
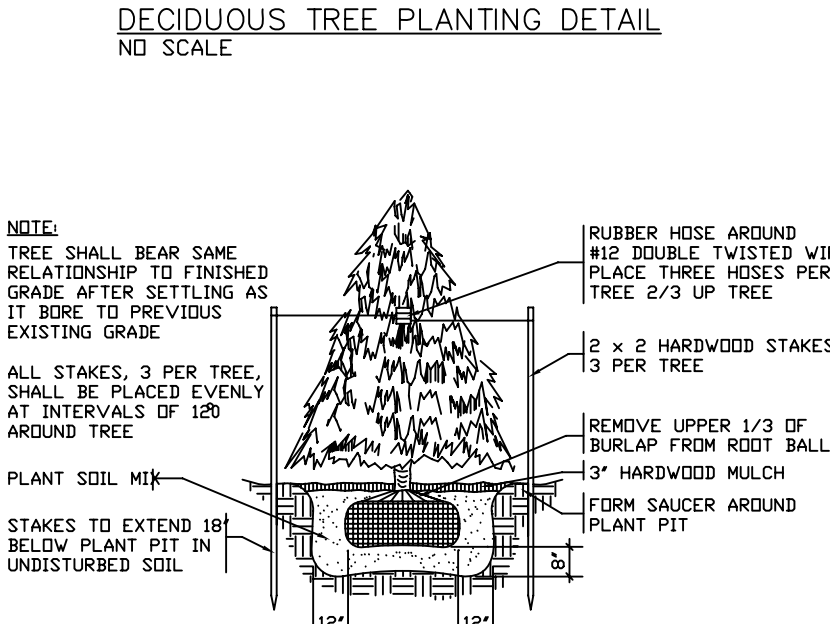
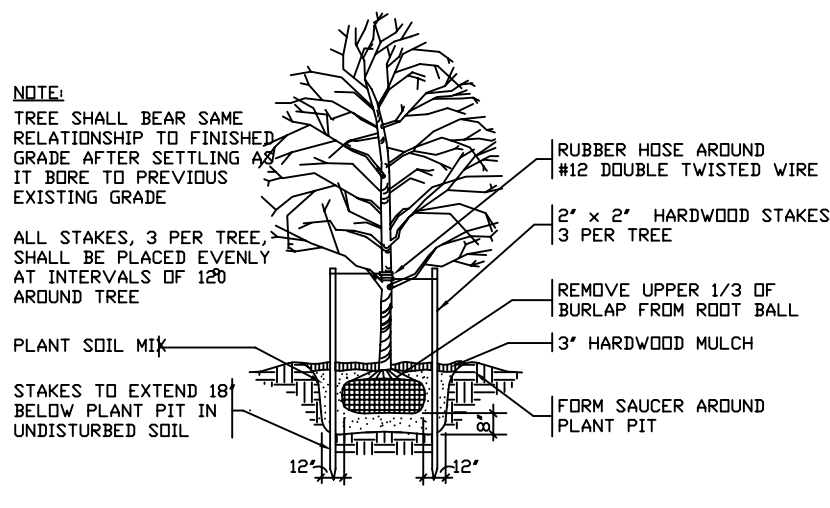
ZONED CA

NOTE: ALL TREES TO BE REMOVED SHALL BE VERIFIED WITH A PROPERTY LINE SURVEY PRIOR TO REMOVAL. ACTUAL TREES TO BE REMOVED AND TREES TO REMAIN MAY VARY BASED ON THE FINAL SURVEY AND ACTUAL FIELD CONDITIONS.

3 WORKING DAYS BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
FOR THE LOCATION OF UNDERGROUND FACILITIES



NOTE: SEE SHEET 3.9A FOR PLANTING DETAILS AROUND BUILDINGS AND ISLANDS.



- LEGEND
PROPOSED WELL
DRAINAGE FLOW
EXTERIOR BLDG. LIGHT
LIGHT POLE
SIGN
UTILITY POLE
CATCH BASIN
MANHOLE
EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION
FENCE LINE
STORM SEWER
SANITARY SEWER
WATERMAIN
GAS MAIN
TELEPHONE LINE
DECIDUOUS TREE
CONIFEROUS TREE
TREE & BRUSH LINE
IRRIGATED LAWN AREAS

ZONED PD-SR
COBBLESTONE PRESERVE SITE CONDOMINIUM

EXISTING LANDSCAPE BUFFER AND BERM CONSTRUCTED IN CONFORMANCE WITH THE COBBLESTONE PRESERVE SITE CONDOMINIUM PROJECT. SEE ADVANTAGE CIVIL ENGINEERING PLAN FOR ALL REVISIONS. SHEET NO. 4, WITH LATEST REVISION DATE 11-4-19.

PARK AREA FOR COBBLESTONE PRESERVE SITE CONDOMINIUM
113' x 15' LANDSCAPING ISLANDS (TYP)

LANDSCAPING NOTES:

- 1. ALL BEDS TO HAVE 2-3" DEPTH OF TOPSOIL
2. ALL BEDS TO HAVE 3-4" DEPTH OF SHREDDED HARDWOOD MULCH (STONE MULCH IS NOT PERMITTED IN PLANTING AREAS)
3. BED EDGES TO BE CRISP, SPADE-FORMED EDGE
4. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE HYDROSEED (70% KENTUCKY BLUE GRASS, 30% TURF TYPE TALL FESCUE) OVER 3" (MIN.) TOPSOIL.
5. PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON THE PLAN.
6. ALL LANDSCAPING AND LANDSCAPE ELEMENTS SHALL BE PLANTED, AND EARTH MOVING OR GRADING PERFORMED IN A SOUND WORKMANLIKE MANNER, ACCORDING TO ACCEPTED PLANTING AND GRADING PROCEDURES.
7. ALL LANDSCAPING SHALL BE MAINTAINED IN A REASONABLY HEALTHY CONDITION, FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE (1) YEAR OF DAMAGE OR DEATH, OR THE NEXT APPROPRIATE PLANTING PERIOD, WHICH EVER COMES FIRST.
8. ALL DISTURBED AREAS AFTER CONSTRUCTION SHALL BE SEEDED AND MULCHED.

- 47 - RM - RED MAPLES (ACER RUBRUM), (CANOPY) MIN. CALIPER = 3", MIN. HEIGHT = 4' (PRES. BRANCH)
PROPOSED DECIDUOUS ORNAMENTAL TREES
3 - CA - FLOWERING CRABAPPLE, MIN. CALIPER = 2", MIN. HEIGHT = 4'
PROPOSED EVERGREEN TREES
26 - WP - WHITE PINE (PINUS ALBA) MIN. HEIGHT = 8 FT. MIN. SPREAD 2.0 FT
96 - BB - BARBERRY, MIN. HEIGHT = 2 FT. (MEDIUM SHRUB) MIN. SPREAD 2.0 FT
PROPOSED EVERGREEN SHRUBS (LARGE SHRUBS)
416 - UY - UPRIGHT YEW, MIN. HEIGHT = 3 FT. MIN. SPREAD 2.0 FT
EXISTING TREES TO REMAIN
SPECIES VARIES
EXISTING TREES TO BE REMOVED
SPECIES VARIES

LANDSCAPING CALCULATIONS:

REQUIRED FRONTAGE PLANTINGS:
BERGIN RD PROVIDED IN PHASE 1
OLD US-23 - PHASE III & IV
LENGTH OF FRONTAGE FROM CONSERVATION EASEMENT TO NORTH PROPERTY LINE = 178 LF.
1 CANOPY TREE PER 30 LF = 178 LF/30 LF = 6 CANOPY TREES REQUIRED
3 SMALL DECIDUOUS ORNAMENTAL TREES OR LARGE DECIDUOUS OR EVERGREEN SHRUBS FOR INITIAL 40' PLUS
1 ADDITIONAL PER EVERY 20 LF THEREAFTER = 3 + (178-40)/20 3+7 = 10 SMALL DECIDUOUS ORNAMENTAL TREES OR LARGE SHRUBS REQUIRED
DIVIDER/ISLAND LANDSCAPING REQUIRED:
PHASE III:
SIX ISLANDS @ 113.5 FEET IN LENGTH:
1 CANOPY TREE FOR FIRST 25 LF + ((113.5-25)/(25))*(1) = 1 + 3.54 = 5 PER ISLAND X 6 ISLANDS = CANOPY TREES 30 TOTAL
6 MEDIUM SHRUBS FOR FIRST 25 LF + ((113.5-25)/(25))*(4) = 6 + 14.16 = 20 PER ISLAND X 6 ISLANDS = 120 MEDIUM SHRUBS TOTAL
PHASE IV:
TWO ISLANDS @ 125 FEET IN LENGTH:
1 CANOPY TREE FOR FIRST 25 LF = 1 PER ISLAND X 2 ISLANDS = 2 CANOPY TREES TOTAL
6 MEDIUM SHRUBS FOR FIRST 25 LF + ((125-25)/(25))*(4) = 6 + 16 = 22 PER ISLAND X 2 ISLANDS = 44 MEDIUM SHRUBS TOTAL
TWO ISLANDS @ 20 FEET IN LENGTH:
1 CANOPY TREE FOR FIRST 25 LF = 1 CANOPY TREE PER ISLAND X 2 ISLANDS = 2 CANOPY TREES TOTAL
6 MEDIUM SHRUBS FOR FIRST 25 LF = 6 PER ISLAND X 2 ISLANDS = 12 MEDIUM SHRUBS TOTAL
FOUNDATION LANDSCAPING REQUIRED:
PER SIX UNIT BUILDING:
PERIMETER LENGTH OF GREEN AREA/BUILDING = 73 + 26 + 26 + 73 = 198 LF
1 DECIDUOUS ORNAMENTAL TREES OR COLUMNAR TREE PER 30 LF = 198/30 = 6.6 = 7 PER BUILDING X 12 BUILDINGS = 84 ORNAMENTAL/COLUMNAR TREES TOTAL
8 SMALL SHRUBS PER 30 LF BUILDING = 198/30 X 8 = 52.8 = 53 PER BUILDING X 12 BUILDINGS = 636 SMALL SHRUBS TOTAL

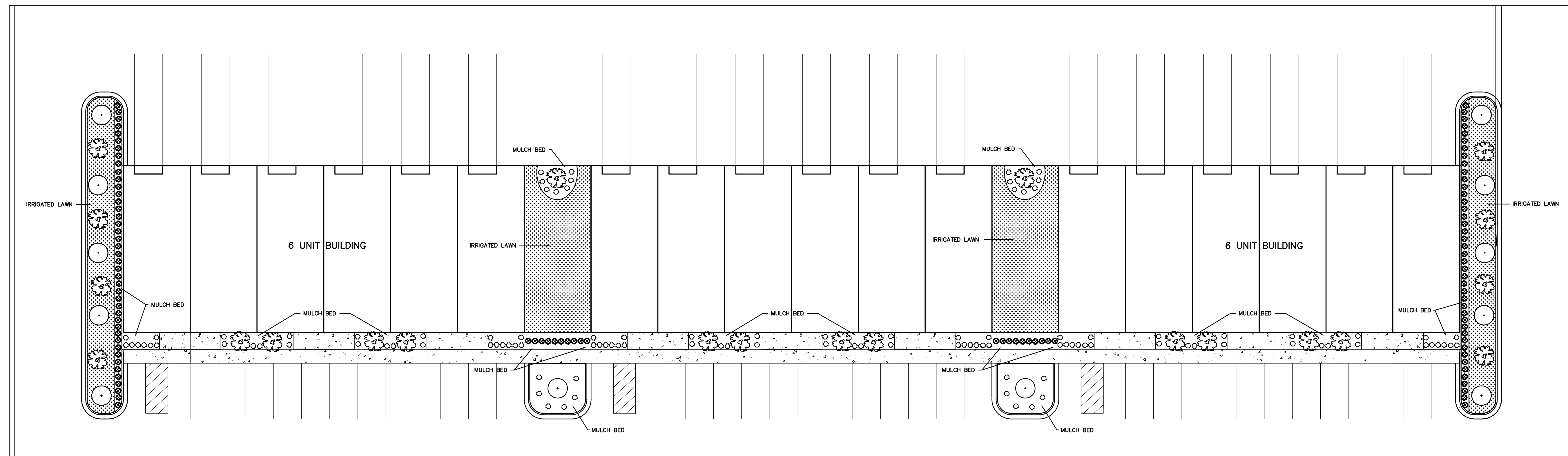
Vertical title block containing project name 'HARTLAND COMMERCE CENTER PHASE III & IV CONSTRUCTION PLANS LANDSCAPE PLAN', drawing number '3.9', and company logo 'ACE CIVIL ENGINEERING'.

LANDSCAPING NOTES:

- ALL BEDS TO HAVE 2-3" DEPTH OF TOPSOIL.
- ALL BEDS TO HAVE 3-4" DEPTH OF SHREDDED HARDWOOD MULCH (STONE MULCH IS NOT PERMITTED IN PLANTING AREAS)
- BED EDGES TO BE CRISP, SPADE-FORMED EDGE
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE HYDROSEDED (70% KENTUCKY BLUE GRASS, 30% TURF TYPE TALL FESCUE) OVER 3" (MIN.) TOPSOIL.
- PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON THE PLAN.
- ALL LANDSCAPING AND LANDSCAPE ELEMENTS SHALL BE PLANTED, AND EARTH MOVING OR GRADING PERFORMED IN A SOUND WORKMANLIKE MANNER, ACCORDING TO ACCEPTED PLANTING AND GRADING PROCEDURES.
- ALL LANDSCAPING SHALL BE MAINTAINED IN A REASONABLY HEALTHY CONDITION, FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE (1) YEAR OF DAMAGE OR DEATH, OR THE NEXT APPROPRIATE PLANTING PERIOD, WHICH EVER COMES FIRST.
- ALL DISTURBED AREAS AFTER CONSTRUCTION SHALL BE SEEDED AND MULCHED.

- 54 - RM - RED MAPLES (ACER RUBRUM), (CANOPY)
MIN. CALIPER = 3", MIN. HEIGHT = 4' (FIRST BRANCH)
- PROPOSED DECIDUOUS ORNAMENTAL TREES
68 - CA - FLOWERING CRABAPPLE,
MIN. CALIPER = 2", MIN. HEIGHT = 4'
- 432 - BB - BARBERRY, MIN. HEIGHT = 2 FT. (MEDIUM SHRUB)
MIN SPREAD 2.0 FT
- PROPOSED EVERGREEN SHRUBS (LARGE SHRUBS)
426 - UY - UPRIGHT YEW, MIN. HEIGHT = 3 FT
MIN SPREAD 2.0 FT
- EXISTING TREES TO REMAIN
SPECIES VARIES
- EXISTING TREES TO BE REMOVED
SPECIES VARIES

TYPICAL LANDSCAPING DETAIL PER BUILDING ROW:



LANDSCAPING CALCULATIONS REQUIRED PER ROW OF BUILDINGS:

TOTAL LANDSCAPING REQUIRED PER BUILDING/ISLAND ROWS:
 TWO ISLANDS @ 113.5 FEET IN LENGTH:
 1 CANOPY TREE FOR FIRST 25 LF + $(113.5-25)/(25)*(1) = 1 + 3.54 = 5$ PER ISLAND X 2 ISLANDS = CANOPY TREES 10 TOTAL.
 6 MEDIUM SHRUBS FOR FIRST 25 LF + $(113.5-25)/(25)*(4) = 6 + 14.16 = 20$ PER ISLAND X 2 ISLANDS = 40 MEDIUM SHRUBS TOTAL.
 TWO ISLANDS @ 20 FEET IN LENGTH:
 1 CANOPY TREE FOR FIRST 25 LF = 1 PER ISLAND X 2 ISLANDS = 2 CANOPY TREES TOTAL
 6 MEDIUM SHRUBS FOR FIRST 25 LF = 6 PER ISLAND X 2 ISLANDS = 12 MEDIUM SHRUBS TOTAL

FOUNDATION LANDSCAPING REQUIRED:
 PER SIX UNIT BUILDING (THREE BUILDINGS IN ROW):
 PERIMETER LENGTH OF GREEN AREA/BUILDING = $73 + 26 + 26 + 73 = 198$ LF
 1 DECIDUOUS ORNAMENTAL TREES OR COLUMNAR TREE PER 30 LF = $198/30 = 6.6 = 7$ PER BUILDING X 3 BUILDINGS = 21 ORNAMENTAL/COLUMNAR TREES TOTAL.
 8 SMALL SHRUBS PER 30 LF BUILDING = $198/30 \times 8 = 52.8 = 53$ PER BUILDING X 3 BUILDINGS = 159 SMALL SHRUBS TOTAL.

TOTAL LANDSCAPING REQUIRED PER BUILDING ROW = 12 CANOPY TREES PLUS 52 MEDIUM SHRUBS PLUS 21 ORNAMENTAL/COLUMNAR TREES PLUS 159 SMALL SHRUBS.
 TOTAL LANDSCAPING PROVIDED PER BUILDING ROW = 12 CANOPY TREES PLUS 104 MEDIUM SHRUBS PLUS 22 ORNAMENTAL/COLUMNAR TREES PLUS 108 SMALL SHRUBS.

REVISIONS:
5/25/21 REVISED PER TOWNSHIP COMMENTS
11/12/21 REVISED PER TOWNSHIP COMMENTS

OWNER/DEVELOPER:
 WL-PRO DEVEL. CO., L.L.C.
 12985 COVE RIDGE DR.
 SOUTH LYON, MI. 48178
 (248) 921-6011

HARTLAND COMMERCE CENTER
PHASE III & IV CONSTRUCTION PLANS
LANDSCAPE PLAN

ACE CIVIL ENGINEERING
 5025 University, Commerce, MI. 48386 • 317 348-4141 • acecivil@gmail.com

DATE: 05-04-21
 DRAWN BY: PCK
 CHECKED BY: PCK
 JOB No. 99220

DRAWING No. PHASE 3&4
3.9A

2007R-004014
 RECORDED ON
 02/01/2007 09:05:38AM
 SALLY REYNOLDS
 REGISTER OF DEEDS
 LIVINGSTON COUNTY, MI 48843
 RECORDING: 31.00
 FEE: 4.00
 PAGES: 9

AGREEMENT FOR
 CONSERVATION EASEMENT

(This instrument is exempt from County and State transfer taxes pursuant to MCL 207.505(a) and MCL 207.526(a), respectively)

This CONSERVATION EASEMENT is created December 7, 2006, by and between Wil-Pro Development Company, L.L.C., a Michigan limited liability company, whose address is 19100 W. Ten Mile Road, Suite 204, Southfield, Michigan 48075-2429 (Grantor) and the Michigan Department of Environmental Quality (MDEQ), whose address is, Constitution Hall, 1st Floor South, P.O. Box 30458, Lansing, Michigan 48909-7958; or 525 West Allegan Street, Lansing, Michigan 48933 (Grantee);

The Grantor is the fee simple title holder of real property located in the Township of Hartland, Livingston County, and State of Michigan, legally described in Exhibit A.

MDEQ is the agency charged with administering Part 303, Wetlands Protection, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA), and

Permittee/Grantor has applied for a Permit (MDEQ File Number 06-47-0118-P) pursuant to Part 303 to authorize activities that will impact regulated wetland. The MDEQ evaluated the permit application and determined that a permit could be authorized for certain activities within regulated wetlands provided certain conditions are met, and

Permittee/Grantor has agreed to grant the MDEQ a Conservation Easement that protects the wetland mitigation site and/or the remaining wetlands on the property and restricts further development to the area legally described in Exhibit B. The Conservation Easement (the Easement Premises) consists of approximately 4.96 acres. The MDEQ shall record this agreement with the county register of deeds.

ACCORDINGLY, Grantor conveys this Conservation Easement to Grantee pursuant to Subpart 11 of Part 21, Conservation and Historic Preservation Easement, of the NREPA, MCL 324.2140 et seq., on the terms and conditions stated below.

- The purpose of this Agreement is to protect the functions and values of existing or established wetlands and its natural resource values on the Easement Premises consistent with the Permit and the protection of the benefits to the public derived from wetlands and integral habitat, by requiring Grantor to maintain the Easement Premises in its natural and undeveloped condition.
- Except as authorized under MDEQ Permit Number 06-47-0118-P issued on 10/31/2006 or as otherwise provided in this Agreement, Grantor shall refrain from, and prevent any other person from altering or developing the Easement Premises in any way. This includes, but is not limited to:

- Alteration of the topography;
 - Creation of paths, trails, or roads;
 - The placement of fill material as defined in Part 303 of the NREPA, MCL 324.30301 et seq., as amended;
 - Dredging, removal, or excavation of any soil or minerals;
 - Drainage of surface or groundwater;
 - Construction or placement of any structure;
 - Plowing, tilling, or cultivating the soils or vegetation;
 - Alteration or removal of vegetation, including the planting of non-native species;
 - Ranching;
 - Construction of unauthorized utility or petroleum lines;
 - Storage or disposal of garbage, trash, debris, abandoned equipment or accumulation of machinery, or other waste materials, including accumulated vegetative debris such as grass clippings, leaves, yard waste, or other material collected and deposited from areas outside the Easement Premises;
 - Use or storage of off-road vehicles including, but not limited to, snowmobiles, dune buggies, all-terrain vehicles, and motorcycles;
 - Placement of billboards or signage, except as otherwise allowed in the Permit or this Agreement;
 - Use of the wetland for the dumping of untreated stormwater at a volume that adversely impacts the hydrology of the wetland.
- Cutting down, destroying, or otherwise altering or removing trees, tree limbs, shrubs, or other vegetation, whether living or dead, is prohibited within the Easement Premises, except with the written permission of Grantee, expressly for the removal of trees or limbs to eliminate danger to health and safety; to reduce a threat of infestation posed by diseased vegetation; or to control invasive non-native plant species that endanger the health of native species.
 - Grantor is not required to restore the Easement Premises due to alterations resulting from causes beyond the owner's control, including, but not limited to, unauthorized actions by third parties that were not reasonably foreseeable; or natural disasters such as unintentional fires, floods, storms, or natural earth movement.
 - Grantor may perform activities within the Easement Premises consistent with the Permit or the mitigation requirements. Grantor shall provide 5 days notice of undertaking any mitigation activity even if the mitigation project has been conceptually approved. Any activities undertaken pursuant to the Permit, a mitigation project, or this Agreement, shall be performed in a manner to minimize the adverse impacts to existing wetland or mitigation areas.
 - Grantor warrants that Grantor has good and sufficient title to the Easement Premises described in Exhibit B.
 - Grantor warrants that any other existing interests or encumbrances in the Easement Premises have been disclosed to the MDEQ.
 - Grantor warrants that to the best of Grantor's knowledge no hazardous substances or hazardous or toxic wastes have been generated, treated, stored, used, disposed of, or deposited in or on the property.
 - This Agreement does not grant or convey to Grantee or members of the general public any right to possession or use of the Easement Premises.
 - Grantor shall continue to have all rights and responsibilities as owner of the property subject to this Agreement. Grantor shall continue to be solely responsible for the upkeep and maintenance of the Easement Premises, to the extent it may be required by law.
 - Grantee and its authorized employees and agents may enter the Easement Premises upon reasonable notice to Grantor to determine whether the Easement Premises are being maintained in compliance with the terms of this Agreement, mitigation, or other conditions of the Permit; and for the purpose of taking corrective actions for failure to comply. If Grantee is entering the easement premises for purposes of

- taking corrective actions, Grantor shall be provided with 14 days notice to provide the opportunity to cure the failure to comply.
- This Agreement shall be binding upon the successors and assigns of the parties and shall run with the land in perpetuity unless modified or terminated by written agreement of the parties.
 - This Agreement may be modified only in writing through amendment of the Agreement. Any modification shall be consistent with the purpose and intent of the Agreement.
 - This Agreement may be enforced by either an action at law or in equity and shall be enforceable against any person claiming an interest in the Easement Premises despite a lack of privity of estate or contract.
 - Grantor shall indicate the existence of this Agreement on all future deeds, mortgages, land contracts, plats, and any other legal instrument used to convey an interest in the Easement Premises.
 - A delay in enforcement shall not be construed as a waiver of the Grantee's rights to enforce the conditions of this Agreement.
 - This Agreement shall be liberally construed in favor of maintaining the purpose of the Conservation Easement.
 - If any portion of this Agreement is determined to be invalid by a court of law, the remaining provisions will remain in force.
 - This Agreement will be construed in accordance with Michigan law.
 - In addition to the terms of the Permit issued by Grantee, this document sets forth the entire agreement of the parties. It is intended to supersede all prior discussions or understandings.
 - Within 90 days after this Agreement is executed, Grantor shall place and maintain at Grantor's expense, signs, fences, or other suitable markings along the Easement Premises to clearly demarcate the boundary of the Easement Premises.

LIST OF ATTACHED EXHIBITS

- Exhibit A:** A legal description of the Grantor's property, inclusive of the Easement Premises.
Exhibit B: A legal description of the Easement Premises.
Exhibit C: A survey map depicting the Easement Premises that also includes identifiable landmarks such as nearby roads to clearly identify the easement site.
Exhibit D: A statement that MDEQ staff can access the Easement for ingress and egress to and from the Easement site via Old U.S. 23.

IN WITNESS WHEREOF, the parties have executed this Agreement on the date first above written. In signing this Agreement, the Signatory warrants that he or she has the authority to convey the Conservation Easement on behalf of the Grantor.

GRANTOR:

Wil-Pro Development Company, L.L.C.,
 A Michigan Limited Liability Company

By: Marshall Blau
 Marshall Blau, President of
 Progressive Properties, Inc.,
 A Michigan Corporation
 Its: Member

By: David L. Willacker
 David L. Willacker, President of
 Woodstream Development Company, Inc.,
 A Michigan Corporation
 Its: Member

STATE OF MICHIGAN)
) SS.
 COUNTY OF OAKLAND)

The foregoing instrument was acknowledged before me this 7th day of December, 2006, by Marshall Blau, President of Progressive Properties, Inc., a Michigan Corporation, and by David L. Willacker, President of Woodstream Development Company, Inc., a Michigan Corporation, as Members of Wil-Pro Development Company, L.L.C., a Michigan Limited Liability Company.

My commission expires: May 22, 2011

Susan M. Viers
 Susan M. Viers, Notary Public
 Oakland County, Michigan
 Acting in Oakland County

DELIVERED JAN 30 2007

GRANTEE:

STATE OF MICHIGAN
 DEPARTMENT OF ENVIRONMENTAL QUALITY
 LAND AND WATER MANAGEMENT DIVISION

Elizabeth M. Browne
 Elizabeth M. Browne, Acting Division Chief

STATE OF MICHIGAN)
) SS.
 COUNTY OF INGHAM)

The foregoing instrument was acknowledged before me this 23rd day of January, 2007 by Elizabeth M. Browne, Acting Division Chief, Land and Water Management Division, State of Michigan, on behalf of the Michigan Department of Environmental Quality.

Linda Kay Jones
 Linda Kay Jones, Notary Public
 (Signature of Notary Public)

Linda Kay Jones
 (Typed or Printed name of Notary Public)

Acting in: Ingham County, Michigan

My Commission Expires: 10/01/07

LYNDA KAY JONES
 Notary Public, Clinton Co., MI
 My Comm. Expires Oct. 1, 2007

AFTER RECORDING, RETURN TO:

Form Drafted By:
 The Honorable Mike Cox, Attorney General
 Department of Attorney General
 Environment, Natural Resources, and
 Agriculture Division
 P.O. Box 30755
 Lansing, Michigan 48909

Michigan Department of Environmental Quality
 Land and Water Management Division
 Constitution Hall, 1st Floor South
 P.O. Box 30458
 Lansing, Michigan 48909-7958

(August 21, 2006)

EXHIBIT A
 LEGAL DESCRIPTIONS OF GRANTOR'S PROPERTY

PARCEL 1': (2.27 ACRES):

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 28, TOWN 3 NORTH, RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN. SAID PARCEL MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 28; THENCE ALONG THE WEST LINE OF SAID 28, NORTH 02° 49' 15" WEST, 1346.13 FEET; THENCE NORTH 87° 47' 56" EAST, 888.13 FEET; THENCE SOUTH 02° 12' 49" EAST, 15.21 FEET; THENCE NORTH 88° 43' 36" EAST, 258.51 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88° 43' 36" EAST, 315.43 FEET; THENCE SOUTH 12° 20' 36" EAST, 286.55 FEET ON THE CENTERLINE OF OLD US-23 (120 FEET WIDE); THENCE SOUTH 87° 47' 11" WEST, 405.85 FEET; THENCE NORTH 02° 12' 46" WEST, 277.07 FEET TO THE POINT OF BEGINNING; SAID PARCEL CONTAINS 2.27 ACRES MORE OR LESS, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

PARCEL 2': (5.28 ACRES):

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 28, TOWN 3 NORTH, RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN. SAID PARCEL MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 28; THENCE ALONG THE WEST LINE OF SAID 28, NORTH 02° 49' 15" WEST, 1346.13 FEET; THENCE NORTH 87° 47' 56" EAST, 888.13 FEET; THENCE SOUTH 02° 12' 49" EAST, 15.21 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88° 43' 36" EAST, 286.51 FEET; THENCE SOUTH 02° 12' 46" EAST, 277.07 FEET; THENCE NORTH 87° 47' 11" EAST, 405.85 FEET; THENCE SOUTH 20° 36' 51" EAST, 230.00 FEET ON THE CENTERLINE OLD US-23 (120 FEET WIDE); THENCE SOUTH 87° 47' 11" WEST, 744.91 FEET; THENCE NORTH 02° 12' 49" WEST, 499.69 FEET TO THE POINT OF BEGINNING; SAID PARCEL CONTAINS 5.28 ACRES MORE OR LESS, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

FUTURE DEVELOPMENT AREA (11.19 ACRES):

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 28, TOWN 3 NORTH, RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN. SAID PARCEL MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 28; THENCE ALONG THE WEST LINE OF SAID 28, NORTH 02° 49' 15" WEST, 761.13 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ON SAID WEST LINE NORTH 02° 49' 15" WEST, 585.00 FEET; THENCE NORTH 87° 47' 56" EAST, 888.13 FEET; THENCE SOUTH 02° 12' 49" EAST, 514.90 FEET; THENCE SOUTH 87° 47' 11" WEST, 232.17 FEET; THENCE SOUTH 02° 49' 14" EAST, 63.20 FEET; THENCE SOUTH 87° 40' 45" WEST, 630.46 FEET TO THE POINT OF BEGINNING; SAID PARCEL CONTAINS 11.19 ACRES MORE OR LESS, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

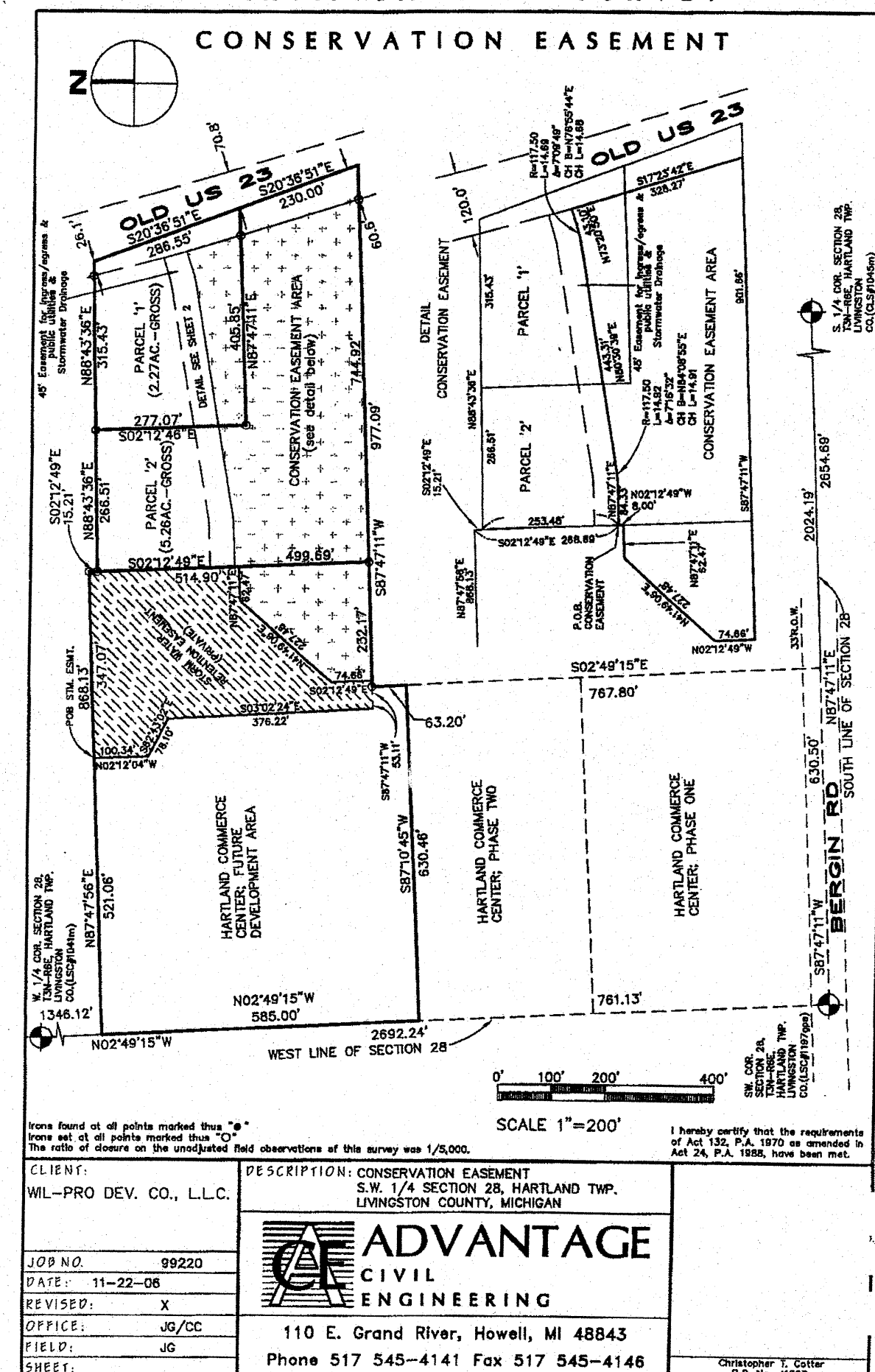
EXHIBIT B
 LEGAL DESCRIPTION OF CONSERVATION EASEMENT

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 28, TOWN 3 NORTH, RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN. SAID EASEMENT MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 28; THENCE ALONG THE WEST LINE OF SAID 28, NORTH 02° 49' 15" WEST, 1346.13 FEET; THENCE NORTH 87° 47' 56" EAST, 888.13 FEET; THENCE SOUTH 02° 12' 49" EAST, 268.59 FEET TO THE POINT OF BEGINNING OF THE CONSERVATION EASEMENT TO BE DESCRIBED; THENCE NORTH 87° 47' 11" EAST, 84.33 FEET; THENCE 14.92 FEET ALONG AN ARC TO THE NORTHEAST HAVING A RADIUS OF 117.50 FEET, DELTA ANGLE OF 07° 16' 32", AND CHORD BEARING OF NORTH 84° 08' 55" EAST, 14.91 FEET; THENCE NORTH 80° 30' 39" EAST, 443.31 FEET; THENCE 14.69 FEET ALONG AN ARC TO THE NORTHEAST HAVING A RADIUS OF 117.50 FEET, DELTA ANGLE OF 07° 09' 49", AND CHORD BEARING OF NORTH 78° 55' 44" EAST, 14.68 FEET; THENCE NORTH 73° 20' 50" EAST, 43.10 FEET; THENCE SOUTH 17° 23' 42" EAST, 328.27 FEET; THENCE SOUTH 87° 47' 11" WEST, 901.68 FEET; THENCE NORTH 02° 12' 49" WEST, 74.66 FEET; THENCE NORTH 41° 49' 06" EAST, 227.48 FEET; THENCE NORTH 87° 47' 11" EAST, 62.47 FEET; THENCE NORTH 02° 12' 49" WEST, 8.00 FEET TO THE POINT OF BEGINNING; SAID EASEMENT CONTAINS 4.96 ACRES MORE OR LESS, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

EXHIBIT D

The Grantor herein, Wil-Pro Development Company, L.L.C., hereby grants access for the Michigan Department of Environmental Quality (MDEQ) staff for ingress and egress to and from the Easement site (described in Exhibit B) via Old U.S. 23.

EXHIBIT C
 CERTIFICATE OF SURVEY
 CONSERVATION EASEMENT



REVISIONS:
 1/1/07
 1/1/07

DEVELOPER:
 WIL-PRO DEV. CO., L.L.C.
 12985 COVE RIDGE DR.
 SOUTH LYON, MI 48178
 (248) 921-6011

HARTLAND COMMERCE CENTER
 PHASE III & IV CONSTRUCTION PLANS
 CONSERVATION EASEMENT DOCUMENTS

ACE CIVIL ENGINEERING
 5005 Underhill, Farmington, MI 48331 • 517 545-4141 • acecivil@gmail.com

DATE: 05-04-21
 DRAWN BY: PCK
 CHECKED BY: PCK
 JOB No. 99220
 DRAWING No. PHASE 3&4
 3.10