



Planning Commission

Larry Fox, Chairperson Summer L. McMullen, Trustee
Michael Mitchell, Vice-Chairperson Sue Grissim, Commissioner
Tom Murphy, Secretary Jim Mayer, Commissioner
Matthew Eckman, Commissioner

Planning Commission Meeting Agenda
Hartland Township Hall
Thursday, May 23, 2024
7:00 PM

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of the Agenda
5. Approval of Meeting Minutes
 - a. Planning Commission Meeting Minutes of April 25, 2024
 - b. Planning Commission Meeting Minutes of May 9, 2024
6. Call to Public
7. Public Hearing
 - a. Site Plan with Special Land Use Application #24-004 Amend Special Land Use to permit microbrewery at winery building, at Spicer Orchards, 10411 Clyde Road
8. Call to Public
9. Planner's Report
10. Committee Reports
11. Adjournment

HARTLAND TOWNSHIP PLANNING COMMISSION **DRAFT** MEETING MINUTES

April 25, 2024– 7:00 PM

1. **Call to Order:** Chair Fox called the meeting to order at 7:00 p.m.

2. **Pledge of Allegiance:**

3. **Roll Call and Recognition of Visitors:**

Present – Commissioners Eckman, Fox, Grissim, Mayer, McMullen, Mitchell, Murphy

Absent – None

4. **Approval of the Meeting Agenda:**

A Motion to approve the April 25, 2024, Planning Commission Meeting Agenda was made by Commissioner Mitchell and seconded by Commissioner Grissim. Motion carried unanimously.

5. **Approval of Meeting Minutes:**

a. Planning Commission Work Session Meeting Minutes of March 14, 2024

A Motion to approve the Planning Commission Work Session Meeting Minutes of March 14, 2024, was made by Commissioner Eckman and seconded by Commissioner Murphy. Motion carried unanimously.

6. **Call to the Public:**

None

7. **Public Hearing**

a. Site Plan PD Application #24-003 Redwood Living Planned Development (PD) Phase II – Preliminary PD Site Plan

Chair Fox opened the Public Hearing at 7:05 PM stating all public noticing requirements have been met.

Director Langer gave an overview of the location and scope of this application stating the following:

- East of Cundy Road, south of M-59, west of Redwood Phase I currently under construction.
- Approximately 28.7 acres of the Hartland Glen Golf Course property.
- Continuation of Phase I, apartments with attached garages.
- There are 130 units in Phase II.
- Planned Development process is being used which is a three-step process occurring before both the Planning Commission and the Township Board: Conceptual, Preliminary and Final. The Township Board is the final decision maker. This project is at the Preliminary step.

The Applicants, Emily Englehart, Director of Acquisitions for Redwood Living; and Ian Graham, P.E., Civil Engineer with Bergmann Associates; introduced themselves stating the following:

- Offered some background information on Redwood and what they do, single story, low density, apartment neighborhoods.
- Grown to over 17,000 units in the Midwest.
- Owned and managed their units since 1991; never sold one.
- Offering a product for which many people see a need with an approximate 97% occupancy rate.
- Reinvented the idea of an apartment and who might live there.
- Not aged restricted but many of their residents are looking to downsize; seniors, empty-nesters, young professionals, people who are already living in the area but are making a change. The average age of their residents is 50.6 years old with 1.89 persons per unit. They perform extensive background checks for potential renters.
- Examine market research to focus on areas where their product will be a good fit.
- Single story units and attached two car garages are the features most in demand.
- Displayed a slide show of various housing styles.

Call to the Public:

- Christine Gregory, Hartland Township; has concerns about potential access onto Maxfield Road; emergency access is fine but not public access.
- Patricia Courie, Hartland Township; has concerns about access to their private unpaved road, current maintenance of the property and the potential increased traffic exiting via Hartland Glen Drive.
- Craig Wipple, Hartland Township. has concerns about access and what will happen to the buffer zone around the existing gold course. Thinks the current phase is set too close to existing houses.
- Kevin Ramus, Hartland Township; has concerns about the long-term plan for the golf course.
- Jason Thelen, Hartland Township; has concerns about multi-family construction – prefers single-family homes be constructed there, has concerns about wetlands and stormwater runoff, would like to see privacy screening around the project.
- George Poy, Hartland Township; has concerns about stormwater runoff, trespass from renters, would like to see some kind of barrier fencing.
- Cathy Ehgotz, Hartland Township; has concerns about increased traffic with all of the new development in the area.
- Randall Samuels, Hartland Township; has concerns about future development on the property, green space, road salt and stormwater negatively affecting the environment, potential trespass onto Maxfield Lake, would like to see a privacy fence or greenbelt for screening.
- Lou Ann Lathrop, Hartland Township; asked about water and traffic studies for this area, wants to know the future plans for the golf course, asked about the road master plan for Hartland Township, asked about the anticipated completion date for Phase I, and asked if golf cart traffic will be allowed in this development.
- Gordon Halt, Hartland Township; questioned the criteria for a traffic study, would like to see a comprehensive traffic study for the entire property and future developments, expressed interest in a funding mechanism to retain green space as some other townships utilize, expressed concern about junipers on the landscape plan.
- Gail Samuels, Hartland Township; has concerns about the legal notification process, access to the information online, greenbelts, would like to know the master plan for the golf course.
- Priscilla Fowler, Hartland Township; expressed concerns about Redwood Living, thinks we should wait and see how Phase I goes.

- Kathy Ballmer, Hartland Township; asked if Redwood Phase I is following through with the changes requested during their approval process, would like a bigger greenbelt and other amenities to make this as harmonious as possible.
- Jason Fowler, Hartland Township; has concerns about traffic and future plans for the roads, wants the developer to improve surrounding roads, interested in the tax generation of multi-family rental as opposed to single-family owner-occupied homes.

Chair Fox closed the Public Hearing at 7:57PM.

Chair Fox referred to the staff memorandum dated April 18, 2024.

Eligibility Criteria (Section 3.1.18.B.)

Commissioner Eckman stated he had questions regarding the Recognizable Benefits as stated in the January 4, 2024 letter from the applicant.

Director Langer stated there is a wide variety use and listed some recognizable benefits other projects have offered:

- Architectural design elements
- Additional open space
- Parks
- Additional landscaping
- Dedicating land for a fire station

Chair Fox listed some Redwood benefits as:

- Architecture
- Landscaping around the buildings when not required
- Participating in the water extension project
- Exceeding open space requirements

Commissioner Mayer stated at the Conceptual Review the Planning Commissioners offered comments. The meeting was brief as it is anticipated this phase will be similar to Phase 1. At the end of that meeting, three Planning Commissioners expressed a concern about benefits to the community and specifically said they look forward to seeing the list of Recognizable Benefits for this phase. He stated he is disappointed with the list as presented.

Planned Development Design Standards (Section 3.1.18.C.)

Residential Density

Director Langer stated the following:

- In 2020-2021, the Future Land Use Map was amended to show this area as a Special Planning Area which matched other Special Planning Areas to the east.
- Density was set at an average of 4 units per acre.
- As this property is larger than the others, a provision was built in to have the area closer to M-59 at a higher density and keep the area to the south at a lower density with an overall average of 4 units per acre.
- Phase II is consistent with the approved density in this Special Planning Area.
- Some asked about Redwood Phase III; there is no Phase III.

- Some asked about a master plan for the golf course; there is no master plan for the golf course. The property owners are present and are most likely working on future plans.
- Some mentioned the number of units that could be proposed in the future for the remainder of this property calculated using the acreage by the maximum density. Many factors affect the number of units per acre in any development; natural features, wetlands, general design, and the availability of REUs. Future development to the south will have a lower density as Redwood is above 4 units per acre.

Director Langer stated someone asked why this information is not available to the public. He explained the full packet is available on the Township website one week prior to any meeting and demonstrated where it can be found.

Minimum Yard Requirements

Director Langer gave an overview of the setbacks. These setbacks match what was approved for Phase 1.

Commissioner Murphy asked about the rear yard distance to the road in Phase 1. Director Langer stated they usually measure to the edge of a right-of-way or easement but in this case as there are no rights-of-way or utility easements, it is measured as 25 feet to the edge of the pavement.

Distances Between Buildings

Director Langer stated the minimum is 20 feet and all that all of the buildings comply. He pointed out a few places where it is closer than others.

Parking and Loading

Director Langer explained the Ordinance requires two spaces per unit, they have a two-stall garage and driveway that can accommodate two cars, totaling four per unit. They have also provided 29 additional off-street parking spaces. The property owners were present during the Phase 1 approval process and offered the golf course clubhouse parking area as overflow parking. He is unaware of such an offer for this phase. Redwood's policy to not allow parking on the street.

Open Space

Director Langer stated 35% is required, 52% has been provided. Over 27% will be usable open space, well above the standard.

Natural Features

Director Langer stated there are three regulated wetlands on the site. It was discovered that one area of the site contained poor soil, so the project was modified slightly to avoid that area. They intend to leave the wetland areas undisturbed. Municipal water will serve this site.

Sidewalks and Pedestrian Access

Director Langer stated in the Redwood developments, sidewalks are located adjacent to the road. They are five-feet wide and colored differently than the roads or driveways. The Township had not seen this approach before so there was some hesitation and concern during the review for Phase I, but it was ultimately accepted and approved. They are proposing to continue this process for Phase II. They are not proposing any sidewalks or pathways outside of this development.

Commissioner Murphy asked about the process for dealing with on-street parking and snow removal.

The Applicant stated the following in response:

- The leasing office polices the parking situation.
- The 25-foot driveway can accommodate larger vehicles so there is no overhang into the road.
- When they plow, they can simultaneously plow the street and sidewalk as they are the same height. Having the sidewalks at the same level as the street maintains maximum accessibility.
- The sidewalk pavement is the same thickness as the road.
- No on-street parking is clearly stated at the time of lease.
- They try to work with tenants and not tow their vehicles or those of their guests, but will if needed.

Commissioner Mayer asked about the hours for the leasing and on-site maintenance staff. The Applicant stated they would confirm that information and forward it.

Commissioner Mayer stated he visited the site in Howell and read that the unit tour was self-guided, which he interprets as there are no on-site agents available. He asked how visitors know not to park on the street if there is no signage as in Howell. The Applicant replied it is up to each community; if Hartland desires signage, signage can be put in place. Commissioner Mayer asked about being four parking spaces deficient. The Applicant stated they can add more parking if it is desired. They also added they do maintain staff at the leasing office; the virtual tour is an option to accommodate after hours viewing.

Requirements for Preliminary Review (Section 3.1.18.E.ii)

Traffic Impacts.

Director Langer stated the Applicant has provided traffic information prepared by Colliers Engineering and Design, and also brought forward information about their existing developments in the Midwest. The numbers averaged less than 50 peak hour directional trips which is the threshold for requiring further traffic impact analysis. The Applicant clarified the directional statistic is a component; if there were 50 people leaving during peak hours, it might require further analysis per Michigan Department of Transportation (MDOT) standards, but their totals are both leaving and returning so that number is not high enough to warrant further analysis.

Fiscal Impacts

Chair Fox stated, with an assist from Commissioner Mc Mullen, Redwood said they expect to pay \$416,000.00 in taxes when Phase II is complete. He continued explaining apartments do pay taxes; the property owner pays. The apartment dweller pays rent, a portion of which goes to pay property taxes and other expenses. Commission Eckman commented they do not get the Proposal A Property Tax Exemption; like other businesses, they pay more than an owner-occupied property. The Applicant added the units are not completed so they did their best estimate based on other completed communities' assessed values. They can provide additional data using Phase I if desired.

Vehicular Circulation

Director Langer referred to the site plan showing the proposed private roads. Both main roads connect back to Phase I. There is a future stub to the south that will connect to Hartland Glen Golf Course and any future development. There is no access proposed to Maxfield Road, not even an

emergency access. There may have been discussions during the Phase I approval process, but no access is proposed.

Chair Fox stated they try to provide connections between neighborhoods wherever they can. The stub is to provide access to any future development. The property has REUs and is likely to be developed at some point. The Township asks applicants to provide possible future connections during the planning process.

Commissioner Murphy asked if there is emergency access required for Phase II. Chair Fox replied they are required to have two access points per fire department standards, and they do. It does not have to connect to M-59. Director Langer added they asked the Applicant to extend the stub to the property line and put in place documentation to ensure a future access if that property is further developed. The Applicant stated it is their preference that it be an emergency access only as the roads are private; they are also concerned about the feasibility of constructing a stub to the property line not knowing the future elevation of a future connection, but they will do what is required. Chair Fox stated either it will be paved to the property line, or the document will read, “When the access is required, Redwood will build it.” The argument occurs when the new development happens, the previous developer states they will not pay for the additional fifty feet of pavement when it is the new developer that needs the connection.

Commissioner Mayer asked about the change in grade at that location and if they have completed a traffic circulation showing the fire hydrants for the fire department. The Applicant stated the fire department did not request it, but they can. Commissioner Mayer expressed concern over the available turning radius near buildings M and N. The Applicant stated they can model that if desired.

Commissioner Murphy stated he would like to see a sidewalk added to the stub street to the south to maintain connectivity and walkability.

Commissioner Mitchell asked about Phase I showing an access to Cundy Road. The Applicant replied it is a watermain easement.

The Applicant mentioned that as part of the Phase I approval, they were requested to add an access to the east for a future development; one is being developed [Highland Reserve] so that will be another potential access in the event of an emergency.

Commissioner Eckman asked how the decision is made as to whether the access to the south will be emergency only or a public access for those residents. Director Langer stated this stub is labeled on the plans as an emergency access only. Maybe when the future development is constructed, it would serve the same emergency access purpose from that direction; however, if the Planning Commission desires something else, now would be the time to add that provision. It could be an emergency access with a gate for the fire authorities but still allow pedestrian access via the sidewalk. The Applicants have stated they would prefer it not to be public.

The Planning Commission briefly discussed the merits of having that access for emergency use only or available for full access to a future development to the south, and the requested sidewalk.

Commissioner McMullen stated if Redwood wants to be a part of the community and embrace being part of Hartland, the stub road and sidewalk should be built along with Phase II. She does not care for gates as they impede neighborhoods from being cohesive with each other. Chair Fox clarified full access. Commissioner McMullen confirmed.

Commissioner Grissim agreed; full access and it should be constructed with Phase II.

Commissioner Mayer also agreed; full access and it should be constructed with Phase II.

Commissioner Mitchell stated he does not like to see roads and sidewalks to nowhere. He does not think it should be constructed now.

Commissioner Murphy stated full access.

Commissioner Eckman stated he would like it to be emergency access only but constructed with Phase II.

Char Fox stated the consensus of the Planning Commission is the road should be full access to the property line constructed with Phase II.

The Applicant asked for a compromise of signage indicating the access is for emergency only to mitigate people from driving through and allow them a little more control over their private roadways. The Applicant stated they can bring the road and a sidewalk to the edge of the property.

Chair Fox stated the sign will not stop anyone from driving through but he agreed with the Planning Director's comment that most people would not take such a circuitous route through Redwood Phase II and then Redwood Phase I to get to M-59, they would most likely use their own access to Hartland Glen Drive that would be required at the time the property to the south is developed.

After a brief discussion, Chair Fox stated the Applicant may have a sign.

Commissioner Mayer, responding to earlier questions regarding stormwater and pollutants, stated those issues are not determined by the Planning Commission but by professionals. He directed attention to the list of permits and the State and County permitting agencies that make those decisions. Chair Fox concurred stating we defer to them to make those determinations as they are the experts.

Landscaping (Section 5.11)

Landscaping Adjacent to Road (Sec. 5.11.5.A.ii.)

Commissioner Grissim stated the following:

- Prefer a street tree every 35 feet.
- 40-foot-wide driveways create a challenge.
- In Phase I, it was decided to find ways to add the required trees at the required size.
- Phase II should be the same.

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The Applicant stated they received notes from staff, but the plans have not yet been updated with that information as they knew there could be additional landscaping requested. They acknowledge they need to add additional street trees and meet the quota.

Buffering or Screening (Sec. 5.11.2.G.i.)

Commissioner Grissim asked about enhanced screening between units R and W on the south. The Applicant stated yes they have agreed add that screening. In the staff letter there was a comment about providing a thorough visual screen in that area specifically in addition to what was shown. Also, some berming or plantings or a fence. They are hoping to present some options for one or the other. Commissioner Grissim stated a complete visual screen is the goal, not a wall, it is not about security, it is a visual screen between this development and the existing single-family homes. Director Langer indicated there is an existing swimming pool near the edge of this development, so they are looking for a pretty good screen, especially in that area. Commissioner Grissim stated a complete visual screen must be provided from any existing single-family lot to this more intense use according to the Ordinance. She stated the Applicant is welcome to submit one or two options. There is existing vegetation, grading to be dealt with, many factors, but if we can get a broad statement that you will provide a complete visual screen, we can work with that. The Applicant stated she is aware of those specific areas but in others where it is several hundred feet to the property line, they intend to provide landscaping which could be augmented if needed. The Applicant asked if the Planning Commission is asking for a fence all the way around the west side. Commissioner Grissim replied no. The Applicant stated they will work with the Township to provide the required screening for the residents of Hartland Township and their own residents. Chair Fox asked if the proposal is for a fence or for plants. Commissioner Grissim stated what has been proposed is either a berm or plantings, but she has not heard about a fence yet. The Applicant stated they are evaluating the two options: a berm with substantial plantings on the top or a privacy fence. They prefer plantings but if it is not sufficient, they could go with a fence.

Commissioner Mayer asked the Applicant to submit a Limits of Disturbance Plan to identify what existing vegetation can be preserved. He thinks those neighbors would appreciate limiting the amount of disturbance in that area. For the berm, behind Building T, there is a significant grade change of nine feet making that structure nine feet taller than the existing houses. Screening that structure, dealing with the stormwater as well as the plantings will be a challenge and there is only 31.7 feet to work with.

Commissioner Murphy asked if they would consider the intense screening discussed between units R and W for the entire development. The Applicant stated they do not see being able to do a fence around the entire development; they do not typically do fences, the goal is to cluster everything away from existing residents as much as possible. When they encountered the poor soils area, they had originally lengthened the development to the west, but modified to go farther south to limit those issues. They certainly can do a Limits of Disturbance Plan to see what vegetation can be kept and how they can further enhance the area but realistically they do not see a fence around the western property line. Commissioner Murphy stated he is not interested in seeing a fence at all, he would like it to look natural with a berm and plants.

Chair Fox stated there is some work to be done on the buffering and screening especially in areas that are close to existing residential.

Detention/Retention Area Landscaping (Sec. 5.11.2.H.)

Commissioner Grissim stated they need to update the plans to show the top bank elevation on the detention pond and determine the lineal footage around the pond. They have demonstrated they are aware of the requirements and have met that. She stated they are good.

Apartment Unit Landscaping

Chair Fox reiterated the Ordinance does not require any landscaping around the buildings, but the Applicant is landscaping around the front and exposed ends of the buildings in excess of what is required; that would be considered a community benefit.

Proposed landscape berms on west side of site

Director Langer stated the plans had a note if excess soils are found during grading, a berm would be created in that location but there were no details on what that might be, Landscaping was also shown in the same area which created some confusion about what is planned. In discussions with the Applicant, it has been hard to pin down as they are unsure of what they will have to work with. The Applicant stated they have run into this in other townships. If they find pockets of deep topsoil, it is to everyone's benefit to berm them to provide that buffer and screening. Until they put a shovel in the ground it is unknown what that will be like. The Applicant continued, they do not want a berm in an awkward location; they desire the landscape plan to be as harmonious as possible and to further enhance privacy with the additional berming. They thought it was best to note it on the plan with the privacy concerns and apologized for any confusion.

Commissioner Mayer asked if a cut/fill report had been completed. The Applicant stated it was somewhat balanced now, but they do have to bring in fill for the utilities. They ran into some bad soil in Phase I and were able to export it. Commissioner Mayer expressed concerns that a giant berm will be created negatively affecting drainage; he feels the plan is incomplete. The Applicant stated he is unfamiliar with the exact ordinance requirements for berms other than the slope, but they anticipate a berm of approximately five or six feet.

Shared Off-site Monument Sign

Director Langer stated the following:

- When Phase I was being approved, Redwood proposed to install a sign north of Cundy Road, south of M-59 on a triangular shaped parcel. There currently there is a sign for the golf course on that parcel.
- At that time, the Planning Commission stated if that was their desire, they should do one sign for all three entities: Redwood, the golf course, and any future development.
- Those discussions began to bog down the project, so Redwood abandoned that request.
- Redwood is now reinitiating the request to have an off-site monument sign which are typically not permitted but the PD process allows for some flexibility.
- The existing Hartland Glen Golf Course sign would be removed and replaced with this singular sign.

[Director Langer referred to the proposed drawings of the sign showing both Hartland Glen Golf Course and Redwood included in the packet materials.]

Commissioner Grissim stated she does not feel there is a need for a 10-foot sign. Director Langer stated the Ordinance typically allows for a seven (7) foot monument sign.

The Planning Commission briefly discussed the sign, the site and the elevation.

The consensus of the Planning Commission is to permit the monument sign but limit the height to the Ordinance standard of seven (7) feet.

Commissioner Murphy asked about future additions. Chair Fox stated it is part of the PD as a two-panel sign. The PD would have to be amended to add another panel or one of the panels would need to be removed and replaced with another.

Architecture/Building Materials (Sec. 5.24)

Chair Fox stated the design is similar to Phase I. The Applicant agreed adding there are some units labeled “EX” which indicates an extended garage on three buildings, a new option that allows for slightly longer vehicles and has been very popular in other neighborhoods. Chair Fox confirmed the driveways are still 25 feet with the full area for parking. Chair Fox also stated there was a late addition of some buildings with enhanced sides. The Applicant referred to them as high-profile views.

Director Langer mentioned in the letter dated January 29, 2024, from Spalding DeDecker, the Township Engineer refers to street trees and landscaping not being permitted over water mains or utilities. This puts applicants in the middle as the Ordinance requires this landscaping and the engineers are not permitting them. The goal is to not have landscaping over utility lines but sometimes it is impossible to avoid. This is a directive from the Township Board; if it cannot be avoided there may be landscaping over utility lines.

Commissioner Mayer asked about the wetland delineation report as it was not included in the packet. The Applicant stated the regulated wetlands which they are not impacting, are shown on the map.

Commissioner Mayer asked about the required usable open space that is suitable for active recreation. The plan indicates approximately 8.16 acres, some of which is included in the area around the wetland in the northeast. Not only does the slope not conform to the required ratio around a pond but it would be very difficult for any kind of “active recreation” to occur. Chair Fox commented that historically the Planning Commission has counted any non-wetland area or area able to be walked as active recreation open space. Commissioner Mayer continued it is a highly wooded area, with a Limits of Disturbance Plan indicating you are only going so far north and showing that you are leaving the natural wooded area, you might please many of the residents in that area.

Commissioner Mayer asked if everything shown in blue on page L2.0 will not be mowed. The Applicant stated their intent is to leave it as natural as possible. Commissioner Mayer commented in August when the weeds are three-feet tall, how is that an active recreation area. He feels it is not. He also believes that there will be more children in the neighborhood than the average in most communities because of the quality of Hartland Schools. He would like to see an area included for active play.

Commissioner Murphy asked for a list of recognizable benefits. The Applicant replied yes, they will take a look at those and see if they can encompass everything into a list.

Responses to Questions from Call to the Public

Director Langer the Township does not have anything submitted for a long-term plan for the golf course. He has met with the owners; they want to do a development, but nothing is set in concrete. Chair Fox stated there are REUs on the property, sewer taps, something will happen at some point. Commissioner McMullen added some communities own their golf courses, but this one is private property.

Chair Fox stated the Township cannot require a developer to build roads, that is illegal. It is not under our control. There are traffic studies and other tools from outside agencies that determine what improvements are required for a development.

Commissioner Eckman mentioned trespassing is a criminal offense and beyond the scope of the Township. Chair Fox stated a fence would not look good around this property.

Commissioner Grissim asked about the current status of the property and weed control. Director Langer replied Redwood does not currently own the property, it is owned by Hartland Glen Golf Course. It is not being maintained as a golf course typically is, but there are no issues of blight to be addressed.

Chair Fox asked when Phase I might be complete. The Applicant stated they just received their first Certificate of Occupancy, so she expects at least another year, maybe by next summer. Chair Fox also asked if Phase II is approved and work commences, will the construction traffic will pass through Phase I. The Applicant stated they have a construction pod plan to try and mitigate the traffic and impacts to the roadway. If approvals go according to plan, they do try to keep their workers and subcontractors from one phase to the next, but it is more challenging currently.

Chair Fox asked about golf carts in existing Redwood neighborhoods. The Applicant stated she knows the staff uses golf carts but she is uncertain if their lease allows residents to use them. She will find out.

Commissioner Grissim mentioned a question regarding Juniper Rust and existing apple orchards. She stated she believes there is a distance factor, but it is something that will have to be looked into.

Director Langer responded to a comment that this property should be developed as single-family detached homes. He stated he is not sure that person knows how tricky that topic is. The Township is trying its best to get new single-family, affordable, detached housing. East of Redwood is a new development with single-family detached housing. There is such a demand in the rental market currently it is a huge issue. He is looking for the opinions of Planning Commissioners on that topic.

Chair Fox stated the following:

- It is about providing different types of housing the residential market wants.
- The residential housing market study done several years ago identified deficiencies in Hartland and one of them was available rental properties, we do not have enough.
- People who live here want them; it is not always strangers coming in.
- We take the projects as proposed; we do not go out and recruit them.
- We have the land, the zoning, the Future Land Use Map to guide us; this applicant is proposing something that fits within those parameters right now.

Chair Fox responding to the concern about transparency stated he hopes that was just a lack of knowledge of what is available online via the Township website. The Zoning Ordinance is posted also. Director Langer stated nothing was added since the packet was posted one week ago but the Township did receive a couple of communications from people who could not be at the meeting. People can do both; submit comments in writing and speak at the meeting. The Planning Commission did receive a plan of the high-profile elevations that was provided tonight as well. Chair Fox stated if there are any changes to the packet, typically there is an email notification, and he did not receive any.

Commissioner Murphy asked about the Public Notice requirements. Director Langer stated there is a Graphic Information System (GIS) tool that identifies properties within 300 feet of the parcel in question which is the State of Michigan requirement. Notices were sent to property owners within 300 feet of the entire property, currently the golf course. We stick to that requirement and treat every application the same. Commissioner Murphy asked if it is a physical letter mailed to that address. Director Langer confirmed it is mailed to the address the owner of record has provided to the Township for their tax bill. Chair Fox continued staff does the noticing according to the Statute, they follow the guidelines that are set forth by the State. He likes it when residents attend and the room is full, so people are getting the right information about a project in context.

Director Langer referred to a comment about the impact of this development on M-59, police services and the schools. M-59 is under the jurisdiction of MDOT. There is a lot of potential development in this area and a number of improvements are being looked at as part of that development. As for the police services, the Township has entered into an agreement with the Livingston County Sheriff's Office for some police presence here in the Township. As for the schools, he is not a spokesperson for Hartland Schools, this project was sent to the schools, in his meetings with the schools they are relying heavily on out of district kids and there is no guarantee how long that is going to last. They want as many kids as they can get. If we brought forth plans for a 1000 home subdivision, they would be happy. Chair Fox stated he thinks over 1000 kids in the schools are out of the district and they need those kids. If we do not provide a community which will bring our own kids in we need to draw kids from other communities, or the schools, that rate in the top six percent in the State of Michigan, that help to drive everyone's property values up, will be a different story. He has had many meetings with them, and they are looking for children.

Commissioner Eckman responding to a concern about maintenance of the property, stated he lives in a nice neighborhood with \$300,000.00 homes and some owners do not maintain them. In this situation it is nice the renters do not have to maintain the homes, but rather someone with a profit and loss motive will be doing so. If they are being filled to nearly one hundred percent, he is going to guess the quality of service must be doing well because renters can choose to not renew their lease if they are unhappy.

Chair Fox summarized there is a little work to do. The Planning Commission agreed.

The Applicant thanked the Planning Commission and the residents present for their comments stating the Planning Director has her contact information if anyone has additional questions. They will take everything under advisement and come back with a stronger set of plans with which they hope to seek your approval. Commissioner Murphy commented on the attendance and that people

are interested in this project. The Applicant stated hopefully they can assuage most of their concerns or all of them ideally.

8. Call to the Public:

- Craig Wipple, Hartland Township; expressed concern about fire danger if the natural areas become dry, and fire department access.
- Lou Ann Lathrop, Hartland Township; expressed a desire for large evergreen trees for screening.
- Jason Fowler, Hartland Township; feels a traffic count should be done to ease the residents' concerns, wants a tax analysis completed, wants to see the list of community benefits, has concerns about gridlocking any future development on the southern portion of the site because of where Hartland Glen Drive ends, wants the developer to cooperate and help with infrastructure improvements, concerned that apartment dwellers' children do not stay in the school system for more than two years, concerned how developments impact current residents.
- Gordon Halt, Hartland Township; has questions regarding Special Planning Area requirements, the use of as shall and should and what the differences are, has concerns that having a multi-phased development precludes a developer from traffic study requirements.

9. Planner Report:

None

10. Committee Reports:

None

11. Adjournment

A Motion to adjourn was made by Commissioner Murphy and seconded by Commissioner McMullen. Motion carried unanimously. The Regular Meeting was adjourned at approximately 10:15 PM.

HARTLAND TOWNSHIP PLANNING COMMISSION **DRAFT** MEETING MINUTES

May 9, 2024– 7:00 PM

1. **Call to Order:** Chair Fox called the meeting to order at 7:00 p.m.
2. **Pledge of Allegiance:**
3. **Roll Call and Recognition of Visitors:**
Present – Commissioners Eckman, Fox, Grissim, Mayer, McMullen, Murphy
Absent – Commissioner Mitchell
4. **Approval of the Meeting Agenda:**
A Motion to approve the May 9, 2024, Planning Commission Meeting Agenda was made by Commissioner Grissim and seconded by Commissioner Eckman. Motion carried unanimously.
5. **Approval of Meeting Minutes:**
None
6. **Call to the Public:**
None
7. **Public Hearing**
 - a. Site Plan PD Application #24-001 Highland Road Self-Storage Facility PD – Preliminary Planned Development Site Plan

Chair Fox opened the Public Hearing at 7:02 p.m. stating all public noticing requirements have been met.

Director Langer gave an overview of the location and scope of this application stating the following:

- West of US 23, north of M-59, behind the Arby's Restaurant
- 1.21-acre property zoned GC General Commercial
- Multi-story, climate-controlled storage would typically not be permitted in GC General Commercial zoning.
- Rezoning this parcel to LI Light Industrial or I Industrial did not seem likely.
- Not directly on M-59 so the visibility for a commercial use is diminished.
- Site Plan Review Committee decided to explore using the Planned Development process.
- Planned Development process is being used which is a three-step process occurring before both the Planning Commission and the Township Board: Conceptual, Preliminary and Final. The Township Board is the final decision maker. This project is at the Preliminary step.
- Director Langer presented the proposed site plan and explained the access.
- Proposing a three (3) story climate-controlled, mini storage building.

Erin McMachen, Civil/Environmental Engineer, with Stonefield Engineering and Design; representing the Applicant, Joe Qonja of On Q Commercial Real Estate, stated the following:

- Seeking Preliminary Planned Development approval for a three (3) story, self-storage facility.
- Use is something new to the Township and surrounding area.
- Providing a higher-end facility with high quality materials that will be aesthetically pleasing.
- Having the climate-controlled option for storage will be a valuable option for residents as well as having it close to home for easy access and convenience.
- They have worked with the Township and the Fire Authority to give everything they can for this site; PDs are a give and take process for both parties involved.
- Unique location, most commercial uses want the road visibility which makes this a more applicable use for this location.
- Changes since the Concept review:
 - Widened the drive aisle per the Fire Marshall’s comments, now 26 feet wide with pervious pavers.
 - Removed the mountable curb to provide the flush pavement desired by the Fire Marshall.
 - Provided full specifications for the pervious pavers to ensure they would support the load of a fire truck.
 - Wider drive aisles will also provide convenience for customers loading and unloading, allowing another vehicle to pass by.
 - Added a trash enclosure to the northeast corner of the site.
 - Updated plans show the location of the monument sign in the front greenbelt.
 - Requesting waivers.
 - Exceeding the maximum 35-foot building height due to the required height for the interior drive aisle, height of units, and required parapet rooftop screening wall. No real visual impacts due to the location of the site.
 - Minimum acreage for a PD is 20 acres, this is 1.21 acres. Township has granted special waivers for small PDs in the past.
 - Building and parking setbacks due to the size of the lot. Large front setback and the Highway has a large setback which is limiting.
 - Signage waiver, signs permitting on east and west facades, but they would like to trade the east (highway side) façade for a wall sign on the south side and still have a sign on the west side which is conforming.
- All of staff’s recommended revisions will appear on the construction plan set as requested.

Call to the Public:

None

Chair Fox closed the Public Hearing at 7:16 p.m.

Chair Fox referred to the staff memorandum dated May 2, 2024.

Eligibility Criteria (Section 3.1.18.B.)

Commissioner Grissim stated the Recognizable Benefits for this project are vague. She feels the listed benefits are more for the business than the community. The Planning Commission likes the project and the architecture, but they feel pushed when it comes to definitive Recognizable Benefits for the community. She does not see them.

Commissioner Eckman agreed stating it is a problem as it is somewhat subjective. He asked how it has been managed with businesses in the past.

Chair Fox stated the following:

- Sometimes it is more difficult, especially when the site is smaller.
- Walgreens and Chase Bank are a PD.
- He might ask is this a project that Hartland might miss out on if it were not a PD making it a benefit to the community to have the project at this location; are they doing something that will benefit the community.
- This is a fabulous looking building.
- From the beginning they were told to bring their A game, that this structure cannot look like a storage unit facility, it needs to look like it will fit in a commercial district.
- On the two existing small PDs, the benefit is Hartland had some great looking buildings and the convenience of these services at this location.

The Applicant agreed stating oftentimes a community benefit is recreational, but this site backs up to the freeway. They are trying to provide something that Hartland will be proud of and be a benefit to the community.

Commissioner Murphy agreed with Chair Fox stating it is a benefit that the site will be utilized. If not this project, then what? It is a beautiful building, a centerpiece, it could change the look of the area. In residential developments, we can be creative; commercial is different, maybe add a sidewalk if possible.

The Planning Commission briefly discussed sidewalk options, this site, and possible future road construction.

Director Langer stated the following:

- Believes he has a good understanding of what the Planning Commission expects regarding sidewalks for a residential project.
- Often there does not seem to be a consistent thought process for commercial projects.
- Suggested a work session to discuss the topic and gain an understanding of what the Planning Commission and the Township Board are looking for regarding sidewalks in commercial areas.
- Clearly understanding the Planning Commission's thought process in this area is important as it is part of his job to guide applicants from the initial stages of a project and communicate the Township's desire for this component, rather than discussing it with the applicants for the first time during the Public Hearing.
- Sidewalk installation has come up with other projects where some sidewalks have been required, others not.
- It is a difficult topic.

The Planning Commission continued to discuss sidewalks and this particular site.

The consensus of the Planning Commission is a sidewalk will not be required with this application.

Planned Development Design Standards (Section 3.1.18.C.)

Minimum Yard Requirements

Director Langer listed the building setback deficiencies.

Commission Grissim commented it is jammed onto the site, the site is not big enough for this project.

Chair Fox stated that is part of the reason it is a PD.

Commissioner Murphy agreed.

Commissioner Eckman stated it is jammed onto the site, but it is a unique piece of property surrounded by other unique sites. There is no front yard, which is not as much of a problem here as it might be somewhere else.

Commissioner Mayer stated for anyone watching or reading in the future, this project is encroaching on the north side potentially negatively affecting the Best Western property. The property owners own both parcels, so they are only affecting themselves.

Building Height

Director Langer stated per the architectural plans, the building height is stated as forty (40) feet height, to the highest point. Chair Fox added there are no rooftop units, everything is internal so screening will not be required.

Parking and Loading

Director Langer stated there is one barrier-free space and three regular spaces for a total of four parking spaces. The Ordinance does not have this specific use or parking standards, so staff used parking calculations for mini storage that required slightly more. The Applicant provided information from other of their sites on how many parking spaces are actually needed indicating four spaces will be adequate.

Open Space

Director Langer stated most of this site is built out with this project. Chair Fox stated he does not think this site plan would work on M-59, but it works for this site at this time.

Site Requirements

Dumpster Enclosure (Sec. 5.7)

Director Langer stated the dumpster does not comply with the ten-foot setback. The gates are shown on the plan as a metal gate that would provide a screen; we typically see wood gates. He would like the Planning Commission to decide if a) they approved the use of metal gates rather than wood, and b) if metal, then what color as one was not specified. The Applicant stated they intend the metal gate match the building if it is permitted. Also, they screened the enclosure with landscaping to lessen the impact on the Best Western side. The Planning Commission had no comments.

Off-Street Parking (Sec. 5.8.4.H – Parking requirements for this use not listed)

The Planning Commission had no comments.

Landscaping (Section 5.11 – Updated Landscape Ordinance version)

Greenbelt Landscaping (Sec. 5.11.2. C.)

East side

Commissioner Grissim mentioned there are a couple of trees shown in the US 23 right-of way. The Applicant stated they will apply for a ROW permit; they have an option for plantings; they will work with MDOT.

West side

Commissioner Grissim stated there are three drives, the trees are very close to the existing lights, suggested a narrower variety. The Applicant agreed. Commissioner Grissim stated the rest is heavily landscaped and looked good.

Foundation Landscaping

Commissioner Grissim asked about the south side label on the plans. The Applicant clarified there is lawn on the south side and there is an incorrect marking on the north side they will fix. Commissioner Grissim continued if they could get some additional landscaping on the south edge, working with narrow strips, desire is to soften that area as seen from the street view. The Applicant agreed to find a species of shrub that can thrive in a narrow area.

Screening of Ground Mounted Equipment (Sec. 5.11.2.G.iii.)

Commissioner Grissim stated anything taller than 30 inches, such as the transformer or condensing units, should have screening on three sides but the heights were not all shown, seeing it on two of the sides but not always three. If we know the height, then we can determine if it must be screened. The Applicant stated they will comply.

Other Landscaping and Site Comments

Commissioner Grissim stated the following:

- Fill in landscape where possible as discussed earlier, narrow varieties for small spaces
- Required minimum tree size is 3” caliper.
- Have Landscape Architect sign and seal plans
- Willow Oak is not hardy in Michigan, should be changed.
- Construction Plan set should be updated with changes.

Director Langer stated a drive aisle is located on the north side of the building, but parking spaces are not present, thus a waiver is not required for off-street parking as requested.

Lighting (Sec. 5.13)

Director Langer stated the Photometric Plan did not account for any of the wall mounted lights and the height of the pole fixtures was not shown. All of these can be addressed on the Construction Plans. The Applicant stated they chose to use wall scones that have very low output, but they will show them on the Construction Plans.

Architecture Comments

Director Langer stated the split face block is slightly over and glass on the northern elevation is at 20%. Chair Fox stated it is a PD and everyone seems to agree it is a very nice-looking building.

There is a sample board. Director Langer mentioned that the colors shown on the materials board better reflect the true colors of the structure rather than the elevations in the packet, in his opinion.

Wall Sign (Section 5.26.8.H.)

Director Langer stated they have two fronts, the US 23 side and the service drive. The Applicant has requested to have signage on the west and south facades instead. The requested sign on the south façade is the sign that normally would not comply. The sizes of the signs comply with the requirements.

Commissioner Mayer commented on the underground stormwater collection system, possible detention area near Arby's, and the condition of the private access road, stating if the Applicant is looking for additional benefits to the community, maybe something could be worked out for that area. Director Langer stated the Applicant is still working with the Drain Commissioner's Office on those details which usually does not happen this early in the process. Chair Fox stated asking the Applicant to pave the private road would be a huge hit for a 1.2-acre site. He would prefer the businesses along that road take care of it in their time as it affects their business. The Applicant stated they have already repaired a catch basin and will continue to make all necessary repairs as needed. They will do what they can to keep it in good shape.

Commissioner Murphy asked about the location of the flagpole shown on the site plan if it is placed properly so that the flag does not contact the building. The Applicant stated they would have to confirm the size of the flag get back to the Planning Commission but with all of the trees and light poles they may need to add it to the site plan to ensure clearance around everything else proposed.

Commissioner Eckman offered the following Motion:

Move to recommend approval of Site Plan/PD #24-001, the Preliminary Planned Development Site Plan for Highland Road Self-Storage Facility Planned Development as outlined in the staff memorandum dated May 2, 2024.

Approval is subject to the following conditions:

- 1. The Preliminary Planned Development Site Plan for Highland Road Self-Storage Facility Planned Development, SP/PD #24-001, is subject to the approval of the Township Board.**
- 2. Waiver request for the planned development project area to be less than 20 acres is approved.**
- 3. Waiver request for the building height to exceed 35 feet is approved.**
- 4. Waiver request for one (1) wall sign on a side of the building that is not the building wall's primary entrance (south elevation) is approved.**
- 5. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated May 2, 2024, on the Construction Plan Set, subject to an administrative review by Planning staff prior to the issuance of a land use permit.**

6. **As part of the Final Plan Review, the applicant shall provide a Planned Development (PD) Agreement that includes any access and maintenance agreements. The documents shall be in a recordable format and shall comply with the requirements of the Township Attorney.**
7. **Applicant complies with any requirements of the Township Engineering Consultant, Department of Public Works Director, Hartland Deerfield Fire Authority, and all other government agencies, as applicable.**

Seconded by Commissioner Murphy. Motion carried unanimously.

8. Call to the Public:

None

9. Planner Report:

None

10. Committee Reports:

Chair Fox suggested scheduling a work session on the Community Benefit topic. We are highly organized but, on that topic, we all stumble. The Planning Commission briefly discussed the topic. Commissioner Murphy requested sidewalks be added to the conversation. The Planning Commission agreed.

11. Adjournment

A Motion to adjourn was made by Commissioner Grissim and seconded by Commissioner McMullen. Motion carried unanimously. The Regular Meeting was adjourned at approximately 8:10 p.m.

Hartland Township Planning Commission Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Site Plan with Special Land Use Application #24-004
Amend Special Land Use to permit microbrewery at winery building, at Spicer Orchards, 10411 Clyde Road

Date: May 16, 2024

Recommended Action

Move to recommend approval of Site Plan with Special Land Use Application #24-004, request to amend the Special Land Use and permit a microbrewery at Spicer Orchards, at 10411 Clyde Road, as outlined in the staff memorandum dated May 16, 2024.

Approval is subject to the following conditions:

1. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated May 16, 2024, on the Construction Plan Set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
2. The applicant shall submit an updated Spicer Orchards Farm Market Event Schedule, as was approved under SUP #18-002, with the Construction Plan Set.
3. The plans shall be revised to show a grease interceptor on the Construction Plan Set, as applicable.
4. A land use permit is required prior to commencement of any interior renovations in the winery building for the microbrewery.
5. Applicant shall secure all applicable approvals, licenses, and permits from County agencies and any other government entity, as applicable.
6. Applicant complies with any requirements of the Township Engineering Consultant, Hartland Deerfield Fire Authority, and all other government agencies, as applicable.
7. Any new use, change in use, or modification(s) to the site shall require approvals from the Township prior to any such activities occurring.
8. The entire microbrewery shall be located within the existing winery building. No exterior equipment shall be permitted.
9. (Any other conditions the Planning Commission deems necessary)

Discussion

Applicant: Shannon Rowe

Site Description

Spicer Orchards is located east of US-23, north of Clyde Road, and west of Hartland Road in Section 4 of Hartland Township. The farm operation is comprised of several parcels which are all zoned CA-Conservation Agricultural. The subject site (Parcel ID #04-300-003) includes the farm market building and the winery building. The parcel is approximately 28.5 acres in size. The site is served by private on-site well (water) and septic field(s).

Overview and Background Information

Spicer Orchards, per the information submitted by the applicant, began in 1967 with the original farm market operating out of an existing barn. At that time, the farm market offered a small retail area, bakery and cider press. The business has expanded over the years to include a winery and wine tasting facility. The history is summarized below, as applicable to the current request.

Conditional Use Permit Application #116

On September 18, 1979, the Township Board approved Conditional Use Permit Application #116, to allow agricultural-related commercial activities at Spicer Orchards, which was considered a conditional use for AR-Agricultural and Residential. The subject site was zoned AR-Agricultural and Residential in 1979. The Township records are unclear if the conditional use permit had an expiration date. Approval of CU #116 allowed a farm market that sells primarily food produced on a farm, and the sale of other items produced on other farms such as food items, related gifts and antiques. A site plan was provided showing the layout of the farm operation and associated buildings in 1979. The farm market was housed in an existing barn, which is the same building used today for the farm market.

CU/SP #116

On November 14, 1990, the Planning Commission approved a minor amendment to the plans under CU #116, for the addition of restrooms to the barn/farm market building.

Small Wine Maker License Approval January 6, 2009

Grape production began on the property in 2008, as another product grown on the farm facility. The intent was to start a winery as another business at Spicer Orchards. On January 6, 2009, the Township Board passed a resolution to approve the Liquor License Control Commission application for a new Small Wine Maker License for Spicer's Orchard Winery, LLC at 10411 Clyde Road, to operate a winery and tasting room. At that time, the wine tasting room was housed in the existing farm market building.

Land Use Permit #8296

On February 5, 2013, a land use permit was approved under LU #8296 for the construction of a wine storage building, approximately 26 feet by 80 feet in size. The building is located east of the existing farm market building. Per the application, the intended use for the building was to store wine.

SP/SUP Application #18-002

On May 10, 2018, the Planning Commission recommended approval of Site Plan with Special Land Use application #18-002, for the operation of a farm market with winery and wine tasting room, at Spicer Orchards. On June 5, 2018, the Township Board approved SP/SUP #18-002.

As part of this Special Land Use application, the applicant provided a summary of the events held at Spicer Orchards throughout the calendar year and includes the winery and wine tasting room (year of 2018). Essentially the list was approved as part of SP/Special Land Use #18-002. Any changes or additions to that list requires an amendment to the Special Land Use permit.

Land Use Permit #18-002

On December 12, 2018, Land Use Permit #18-002 was approved for the interior renovations to the wine storage building, as related to the winery and wine tasting use(s).

Request

The applicant is requesting to amend the originally approved Special Land Use Permit, SP/SUP #18-002, and request to add microbrewery as a special land use. The intent, per the applicant, is to expand the offerings at the current wine tasting room, with the addition of a selection of beer. The entire microbrewery and related equipment for brewing beer will be housed inside the winery building, based on the submitted floor plan. Other interior renovations, additions to the building, or outdoor equipment as related to the microbrewery, are not proposed or shown on the plans.

As background information, the wine tasting facility is generally open daily from 11 A.M. to 6 P.M. but days and hours vary throughout the year. Light food is available for purchase. Seating and tables for approximately 16 patrons are provided, based on the submitted floor plan.

Per the Hartland Township Zoning Ordinance and the State Enabling Act, a public hearing is required for the special land use application. Given the requirements for publishing a notice for the special land use, the public hearing has been scheduled for the May 23, 2024, Planning Commission meeting.

Approval Procedure

The request is to amend the Special Land Use permit and add a microbrewery as a new use at Spicer Orchards. The amendment requires approval from the Township Board. The Planning Commission will review the special land use and make a recommendation to the Township Board. The Township Board is the final approval authority for a special land use. The project does not require site plan approval as exterior site improvements are not proposed at this time. A land use permit is required for the interior improvements related to the microbrewery use.

SPECIAL LAND USE REVIEW – General Standards

In accordance with Section 6.6, Special Uses, of the Hartland Township Zoning Ordinance, the following standards shall serve the Planning Commission and Township Board as the basis for decisions involving such uses. The standards are provided below, and the applicant has submitted a letter, as a separate attachment, which addresses the special use criteria.

- A. Be harmonious and in accordance with the objectives, intent, and purposes of this Ordinance.
- B. Be compatible with the natural environment and existing and future land uses in the vicinity.
- C. Be compatible with the Hartland Township Comprehensive Plan.
- D. Be served adequately by essential facilities and public services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to adequately provide any such service.
- E. Not be detrimental, hazardous, or disturbing to the existing or future neighboring uses, person, property, or the public welfare.
- F. Not create additional requirements at public cost for public facilities and services that will be detrimental to the economic welfare of the community.

The Planning Department believes the use, microbrewery, can and will meet the criteria listed above for the special land use request. The applicant has provided responses to the Special Use Criteria. The applicant

will be responsible for all applicable approvals and permits from the Township, State, and County agencies and departments for the proposed use.

SPECIAL LAND USE REVIEW – Applicable Site Standards

The Zoning Ordinance does not provide separate use standards for a microbrewery in Section 4.0. and site plan review is not required at this time. The microbrewery and related equipment will be housed within the existing winery/wine tasting building. Additional parking needs are not anticipated. The submitted floor plan is consistent with the plans approved in 2018 under SP/SUP #18-002.

The Planning Commission, following full review and consideration of the special land use application as presented, shall prepare a recommendation for consideration by the Hartland Township Board of Trustees. Before any determination is made, a public hearing shall be held allowing for any members of the public to comment on the proposal. The Planning Commission may recommend approval, approval with conditions, or denial of the special use permit application.

The Planning Commission’s decision, the basis for the decision, and all conditions imposed, shall be described in a written statement, which shall be made a part of the record of the meeting. The Township Board is the final approval authority for a special land use.

Other Requirements-Zoning Ordinance Standards

Nothing additional at this time.

Hartland Township DPW Review

The request does not require review by the Township DPW.

Hartland Township Engineer’s Review (SDA)

The Township’s Engineer (SDA) provided comments in the email dated April 30, 2024, which indicated that per current Township standards, a grease interceptor is required for all food service operations. Sufficient information was not provided to know if a grease interceptor is present on the site currently. Per the email, no domestic connections for domestic water will be allowed to the interceptor. Information/details about a grease interceptor should be provided on the Construction Plan Set, as applicable.

Hartland Deerfield Fire Authority Review

The Hartland Deerfield Fire Inspector noted a Fire and Life Safety inspection will be conducted once the new equipment is installed and ready for use.

Attachments:

1. Applicant’s answers to SUP criteria – PDF
2. Spicer Orchards Farm Market Event Schedule 2108 – PDF
3. Site Plans dated 05.01.2018 – PDF
4. Proposed floor plan 2024 – PDF

All Special Land Use Permit have SUP criteria. All applicants provide answers to those criteria. I've attached the SUP criteria for you. Could you provide a written response to those criteria. We will provide your written response to the Planning Commission and Township Board.

Also, the plans that you submitted show that the area for the Microbrewery is in the same area as the Winery. Are there changes to the Winery? Will this reduce the capacity of the Winery? Or, will this area sufficiently handle both?

Also, do you plan to hire additional staff or change hours, due to the Microbrewery? Just general questions.

General Questions from Email

Yes, the microbrewery will be located in the same area as the winery. The equipment has a very small footprint with a 60 gallon capacity, which is approximately the size of two barrels. There will not be changes to the winery building or tasting room, just the addition of equipment and more options for customers. There should be no reduction in the capacity of the winery as the products all fall in similar categories, wine, hard cider, and now adding beers. We do not plan to hire additional staff or change our hours. This really is a very minor addition to our current operation.

Provide Short Answers to SUP Criteria:

- A. Yes, we feel the addition of a small microbrewery is harmonious to the current business plan. There are no real changes other than the addition of small size equipment for brewing to add additional offerings at our current winery. The size of the equipment is very small with a production capacity of 60 Gallons: For a visual reference, this is about 2 barrels.
- B. Yes, the addition is compatible with the natural environment as it does not make any changes to the current landscape.
- C. Yes, this fits with the Township Comprehensive Plan as this has been an existing business since 1967.
- D. Yes, this facility is served adequately by current infrastructure as the proposed additions are small and will not adversely affect the current infrastructure.
- E. The addition of the microbrewery will be encompassed in our current facility which is already licensed with a small wine makers permit, licensed outdoor service area, and tasting room permit. It is located in the middle of 300 contiguous acres so it does not have a large impact on neighboring persons or property.
- F. There should be no additional cost or requirements for the community as the current infrastructure well supports the current business plan.

Spicer Orchards
Farm Market, Cider Mill, & Winery

Spicer Orchards seeks to provide a family themed farm adventure experience while educating people about the production of basic foods.

Farm Market is closed approximately 6 months of the year. One of the biggest challenges we face is trying to employ seasonal help when only being open ½ the year. It is difficult to retain and train staff for ½ the year. It also means 6 months with no income. The Winery helps us to overcome some of those challenges. Although the winery is open year round, it is very slow in the winter months without the Family Fun Activities of the Pick Your Own Operation.

Crops currently grown on our Farm Include: Strawberries, Cherries, Blueberries, Peaches, Pears, Apricots, Apples, Pumpkins, Gourds, Squash, Corn, Hay, Tomatoes, Raspberries, Asparagus, Plums

January - February

Farm Market

Closed

Winery

Open Thursday to Sunday 11 am to 6 pm

Winery sells Cider/Donuts/Popular Farm Market Items along with Hard Cider, Wine that is produced at our Farm.

Winery accepts private wine tasting parties. Attendance is limited to 25 people.

Parties are typically after regular hours from 7 pm to 9 pm.

Winery hosts Small Events-- 1 to 2 times per month because the demand for private events are rare.

Events range from Book Club, Painting Night, Euchre Tournament

Attendance limited to 25 or less depending on the event.

March – April

Farm Market

Closed

Winery

In Past years this was the same as January/February.

This year we are experimenting with being open 7 days a 11 to 6 during March and April. We want to see if we can make enough money to keep employees year round. It is difficult to train staff seasonally.

May

Farm Market Opens usually in Mid May depending on when the Strawberry crop comes in. Strawberries have opened anywhere from May 25 to June 15 depending on Mother Nature. We usually open the market in Mid May because customers start calling to find out when Strawberries open. We try to sell donuts and cider to help pay for the staff and use this as an opportunity to train seasonal staff.

June, July, August

Farm Market

Open 8 am to 7 pm - Summer Pick Your Own Hours-

Farm Market Activities:

- Wagon-Train Rides to the PYO Field

- School/Child Care Farm Tours by appointment

- Cider/Donuts/Fudge/Ice Cream available at the Farm Bakery

- Fruit & Produce available - PYO or Ready Picked in the market.

- Farm Animals and Playground are open

- Farm Themed Birthday Parties (currently 15-20 per year)

- Farm Themed Family/Group Events (currently 1-3 per year)

- Farm Themed Weddings- Small Size 25-50 (1 per year)

We are considering the idea of hosting a 5K Farm Themed Run in August which is a very slow summer month. We have a hard time retaining seasonal employees because we have to reduce hours from Mid-July to 2nd week of September.

Winery

Open 11 to 7 – Summer Hours

- Seasonal Winery Café is open 11 am to 3pm

- Café serves Sandwiches. Everything is pre-cooked/prepared offsite and assembled in our small kitchen. We use our fruit/produce when we can.

Winery accepts private wine tasting parties. Attendance is limited to 25 people.

- Parties are typically after regular hour from 7 pm to 9 pm.

September, October

Farm Market

Open 9 am to 7pm

Farm Market Activities In Addition to the Items Listed in June, July, August

Weekend activities begin After Labor Day which include:

Bounce Houses in the Playground (Vendor)

Corn Maze Opens

Additional Vendors offer food choices

Additional Vendors offer farm themed activities: ex. Face painting, Pony Rides, Artwork

1 Fall event: Harvest Festival/Craft show

Winery

Open 11 am to 7pm

Same activities as previously listed.

November

Farm Market

Open 9am to 6 pm

All Farm Activities typically end. Pick Your Own closes for the season

Winery

Open 11 am to 6pm

Winery Café Closes for the Season, will reopen in June when Strawberries arrive.

Winery offers same Private Event Opportunities

December

Farm Market

Open Monday – Wednesday 9am to 6pm

Open Thursday to Sunday 9am to 8pm or 9pm

Farm Activities Include:

Santa's Sleigh Workshop & Precut Christmas Tree Farm Opens

Winery

Same as November

SPICER ORCHARDS FARM MARKET, LLC "AS-BUILT" DRAWINGS- WINERY BUILDING

10411 CLYDE ROAD, FENTON, MI 48430

CODE REVIEW/BUILDING DATA

PROJECT SCOPE IS TO PREPARE "AS-BUILT" DRAWINGS OF WINERY/TASTING ROOM BUILDING RENOVATIONS IN EXISTING STORAGE BUILDING.

APPLICABLE CODES:
MICHIGAN BUILDING CODE- 2015
MICHIGAN REHABILITATION CODE- 2015
ACCESSIBILITY: ICC/ANSI A117.1-2009
MICHIGAN MECHANICAL CODE- 2015
MICHIGAN PLUMBING CODE- 2015
STATE OF MICHIGAN ELECTRICAL CODE (NEC-2017) W/ PART 8 AMENDMENTS

1. USE GROUP:
B: BUSINESS, (RESTAURANT W/ LESS THAN 50 OCCUPANTS)
M: MERCANTILE (MARKET)
F-2: LOW-HAZARD FACTORY INDUSTRIAL, (WINERY)
S-2: LOW-HAZARD STORAGE, (FOOD PRODUCTS)

2. TYPE OF CONSTRUCTION:
A) TYPE "VB" (5B), COMBUSTIBLE/ UNPROTECTED

3. HEIGHT AND AREA LIMITATIONS (TABLE 506.2):
WORST CASE IS B OCCUPANCY CLASSIFICATION, TYPE "VB", = 9,000 SQ. FT.
FRONTAGE INCREASE (SEC. 506.3)
9,000 SQ. FT. + 75% = 15,750 SQ. FT. ALLOWED
EXISTING WINERY BUILDING: 2,018 SQ. FT.

4. OCCUPANT LOAD (TABLE 1004.1.2):
MERCANTILE AREAS= 60 SQ. FT.(GROSS)/PER OCCUPANT
KITCHEN/MANUFACTURING AREAS= 200 SQ. FT.(GROSS)/PER OCCUPANT
STORAGE/STOCK AREAS= 300 SQ. FT.(GROSS)/PER OCCUPANT
DINING AREAS= 15 SQ. FT.(NET)/PER OCCUPANT
MERCANTILE AREAS= 528 /60 SQ. FT.(GROSS)= 9 OCC.
KITCHEN/MANUFACTURING AREAS= 920/200 SQ. FT.(GROSS)= 5 OCC
STORAGE/STOCK AREAS= 170/300 SQ. FT.(GROSS)= 1 OCC.
DINING AREAS: SEATING= 16 OCC.
DECK/PORCH DINING AREAS= SEATING= 14 OCC.
TOTAL OCCUPANCY: 45 PERSONS

5. AUTOMATIC SPRINKLER SYSTEMS (SECTION 903.2):
AN AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED FOR "M", "F-1" AND "S-2" FIRE AREAS THAT DO NOT EXCEED 12,000 SQ.FT. THE EXISTING BUILDING DOES NOT CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM.

6. SEPARATION FROM OTHER USES, (MBC TABLE 508.3.3)
A) NO SEPERATION REQUIRED

7. MINIMUM NUMBER OF EXITS AND CONTINUITY (SECTION 1006.2.1):
TWO EXITS REQUIRED FROM MERCANTILE OCCUPANCY WHEN MAX. OCCUPANTS EXCEEDS 49 OR MAXIMUM TRAVEL DISTANCE EXCEEDS 75 FEET. MINIMUM ONE EXIT REQUIRED/ TWO EXITS PROVIDED.

8. EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2)
A) "M" AND "F-1" USE: NO SPRINKLER= MAX. 200 FEET

9. CORRIDORS, DEAD-ENDS (SECTION 1020.4):
DEAD-END CORRIDOR LENGTHS SHALL BE NO MORE THAN 20 FEET.

10. DOOR SWING (SECTION 1010.1.2):
DOORS SHALL SWING IN THE DIRECTION OF EGRESS WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS.

11. DOORS (SECTION 1010.1.1):
DOORS SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES. EGRESS DOORS SHALL BE OF THE PIVOTED OR SIDE-HINGED SWINGING TYPE, EXCEPT IN OFFICE AREAS WITH AN OCCUPANT LOAD OF 10 OR LESS, (SEC. 1008.1.2, EXCEPTION 1).

12. DOOR HARDWARE (SECTION 1010.1.10):
EACH MEANS OF EGRESS DOOR IN AREAS HAVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS SHALL BE EQUIPPED WITH PANIC HARDWARE.

13. TWO EXITS OR EXIT ACCESS DOORWAYS, SECTION 1015.2.1:
WHERE A BUILDING IS NOT EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THROUGHOUT, THE SEPARATION DISTANCE OF THE EXIT DOORS SHALL NOT BE LESS THAN ONE-HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL OF THE AREA SERVED.

14. MEANS OF EGRESS DOORS (SECTION 1008):
THE MEANS OF EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. HARDWARE INCLUDING DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ARE REQUIRED TO BE ACCESSIBLE PER CHAPTER 11 OF THE BUILDING CODE AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.

15. MEANS OF EGRESS ILLUMINATION (SECTION 1008):
THE MEANS OF EGRESS SHALL BE ILLUMINATED AT ALL TIMES THE SPACE IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.

16. EXIT SIGNS (SECTION 1013):
EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.

17. PORTABLE FIRE EXTINGUISHERS, (SECTION 906.1):
a) THE CONTRACTOR SHALL PROVIDE A TEMPORARY PORTABLE FIRE EXTINGUISHER ON THE PREMISES OF THE PROJECT DURING CONSTRUCTION.
b) PROVIDE A PERMANENT PORTABLE FIRE EXTINGUISHER MEETING REQUIREMENTS FOR LIGHT (LOW) HAZARD, CLASS A FIRES. MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER IS 75 FEET.

18. GLASS AND GLAZING (CHAPTER 24):
ALL INTERIOR GLAZING SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 2401 THROUGH 2407.

19. ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808.

a) WALL AND CEILING FINISHES (TABLE 803.1), NONSPRINKLED ROOMS OR SPACES OF USE GROUP MFS, SHALL HAVE A MINIMUM CLASS G RATING. FLAME SPREAD 76-200, SMOKE DEVELOPED 0-450. CORRIDORS SHALL HAVE A MINIMUM CLASS G RATING: FLAME SPREAD 76-200, SMOKE DEVELOPED 0-450.

b) INTERIOR FLOOR FINISHES (SECTION 804.4), IN ALL OCCUPANCIES INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS SHALL BE CLASS I (ONE) OR II (TWO) MATERIALS AND IN ACCORDANCE WITH NFPA 253, AND COMPLY WITH DOC FF-1 "FILL TEST".

20. FIRE ALARM AND DETECTION SYSTEM SHALL BE PROVIDED AS REQUIRED PER SECTION 907 OF THE CODE. THE OCCUPANT LOADS DO NOT EXCEED THE NUMBER ALLOWED FOR F-2, S-2, OR M USES, THEREFORE NOT REQUIRED.

21. SERVICE COUNTER SHALL HAVE A PORTION A MINIMUM OF 36" WIDE AND MAX. 36" HIGH FOR BARRIER-FREE ACCESS.

22. MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (2015 MPC, TABLE 403.1):
M, MERCANTILE (MARKET)
WATER CLOSETS: MALE AND FEMALE; 1 PER 500
LAVATORIES: MALE AND FEMALE; 1 PER 750
BATH/SHOWER: N/A
DRINKING FOUNTAIN: 1 PER 1,000
(1) SERVICE SINK

23. SEPERATE PLUMBING FACILITIES, (MPC, SECTION 403.2):
EXCEPTION #2: SEPERATE EMPLOYEE FACILITIES ARE NOT REQUIRED IN OCCUPANCIES IN WHICH FEWER THAN 15 PEOPLE ARE EMPLOYED.

24. STAIR TREADS AND RISERS (SECTION 1011.5.2):
STAIR RISER HEIGHTS SHALL BE MAX. 7" AND MIN. 4".
TREAD DEPTH SHALL BE MIN. 11"

25. HANDRAILS (SECTION 1014):
HANDRAIL HEIGHT SHALL BE NOT LESS THAN 34 INCHES, AND NOT MORE THAN 38 INCHES. HANDRAILS SHALL EXTEND 12 INCHES HORIZONTALLY ABOVE THE TOP AND BOTTOM OF A RAMP. HANDRAILS SHALL EXTEND 12 INCHES HORIZONTALLY ABOVE THE TOP STAIR RISER, AND CONTINUE TO SLOPE FOR ONE TREAD BEYOND THE BOTTOM RISER.

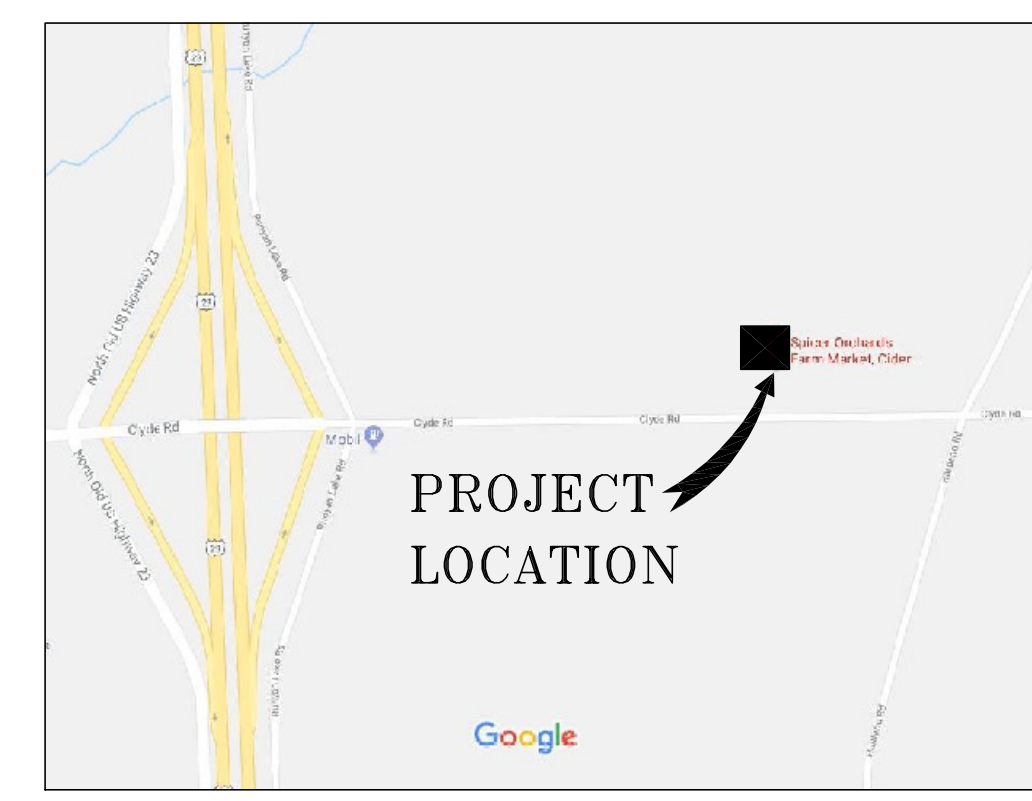
26. GUARDS (SECTION 1015):
GUARDS REQUIRED ALONG EDGE OF MEZZANINES, STAIRS, AND RAMPS SHALL BE A MINIMUM OF 42 INCHES HIGH ABOVE THE ADJACENT WALKING SURFACE.

27. AN ACCESSIBLE ROUTE IS NOT REQUIRED TO LEVELS AND MEZZANINES THAT HAVE AN AGGREGATE AREA OF NOT MORE THAN 3,000 SQ.FT. (SECTION 1104.4, EXCEPTION 1)

SCHEDULE OF DRAWINGS

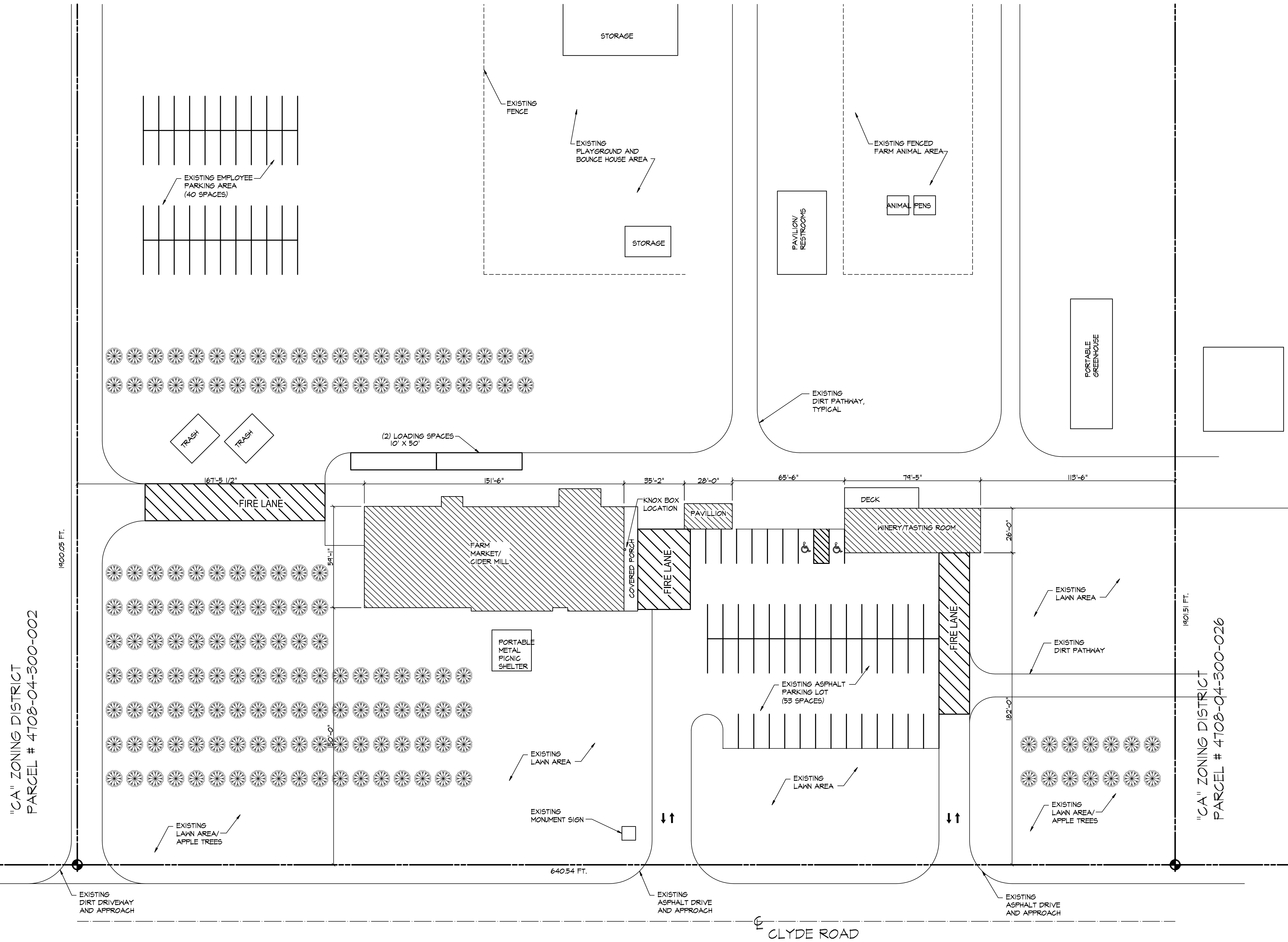
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C1	SITE PLAN AND NOTES	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A1	FLOOR PLAN AND NOTES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A2	EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A3	EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4	DOOR AND ROOM FINISH SCHEDULES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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E2	LIGHTING PLAN AND NOTES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
E3	POWER PLAN AND NOTES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

ISS. FOR REVIEW
3-26-2018
REVISION #1
4-20-2018



COVER-TITLE SHEET

REVISIONS
△ 4-20-2018
△
△
JOB NO: 018-010
DATE: 2-18-2018
DRAWN BY: JKC
SCALE: AS NOTED
SHEET NO:



PROJECT INFORMATION

OWNER REF / CONTACT: ALAN R. & WANDA M. SPICER
 5015 HARTLAND ROAD
 FENTON, MI 48430
 SHANNON ROWE
 PHONE: (810) 632-7642

ZONING: "CA", CONSERVATION AGRICULTURAL "SLU", SPECIAL LAND USE- FARM MARKET, CIDER MILL, AND YOU-PICK OPERATIONS ON A FARM

PARCEL#: 4708-04-300-003

REQUIRED SETBACKS: FRONT YARD, 50 FT.
 REAR YARD, 50 FT,
 SIDE YARD, 15 FT.

PARKING REQUIREMENTS: CLUSTERED COMMERCIAL: 1 SPACE/ 200 SQ FT USEABLE
 1 SPACE PER EACH EMPLOYEE ON MAXIMUM WORKING SHIFT

FARM MARKET: 5,442 SF (USEABLE)/200= 28 SPACES REQUIRED
 WINERY: 2,012 SQ.FT. (USEABLE)/200= 10 SPACES REQUIRED
 40 EMPLOYEES ON MAX. SHIFT= 40 SPACES REQUIRED

TOTAL REQUIRED SPACES= 18 SPACES
 TOTAL PROVIDED SPACES= 43 SPACES

BARRIER-FREE: 2 SPACE REQUIRED/ 2 SPACE PROVIDED

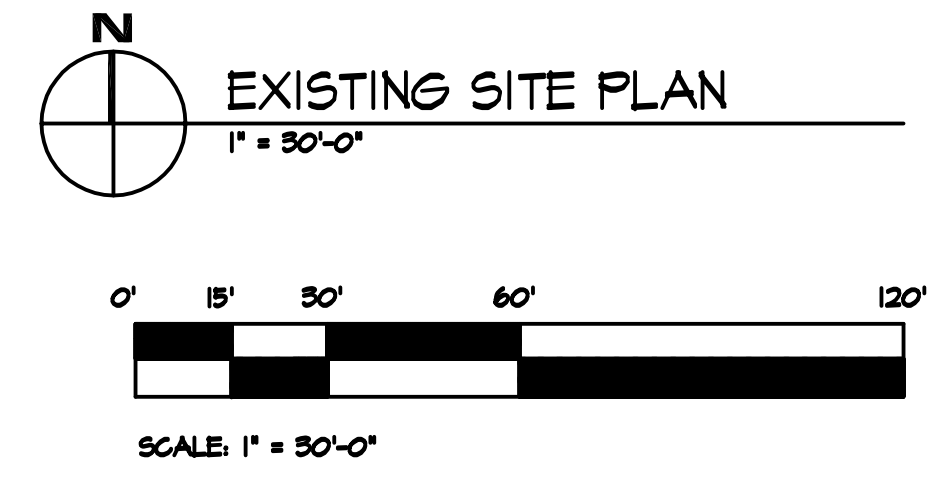
LOADING/UNLOADING: 2 SPACE REQUIRED/2 SPACE PROVIDED

LEGAL DESCRIPTION

SEC. 4T3N R6E, EAST 1/2 OF SOUTHWEST 1/4 CORNER, EXCEPT THE NORTH 161 FEET, CONTAINING 28.5 ACRES.

"CA" ZONING DISTRICT
 PARCEL # 4708-04-300-002

"CA" ZONING DISTRICT
 PARCEL # 4708-04-300-026



JOHN K. COSTA, AIA
 ARCHITECTURAL DESIGN
 & CONSULTATION, PLLC
 417 O.P.A. L.L.L.D. BLVD.
 FLUSHING, MICHIGAN 48433
 810-659-5275 FAX 810-659-5399

AS-BUILT DRAWINGS FOR
SPICER ORCHARDS
 FARM MARKET & CIDER MILL
 7041 CLYDE RD., FENTON, MI 48430

**EXISTING SITE PLAN
 AND NOTES**

REVISIONS	
▲	4-20-2018
▲	
▲	

JOB NO: 018-005
 DATE: 2-18-2018
 DRAWN BY: JKC
 SCALE: AS NOTED
 SHEET NO:

C1

REVISIONS

▲	
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JOB NO: 018-010

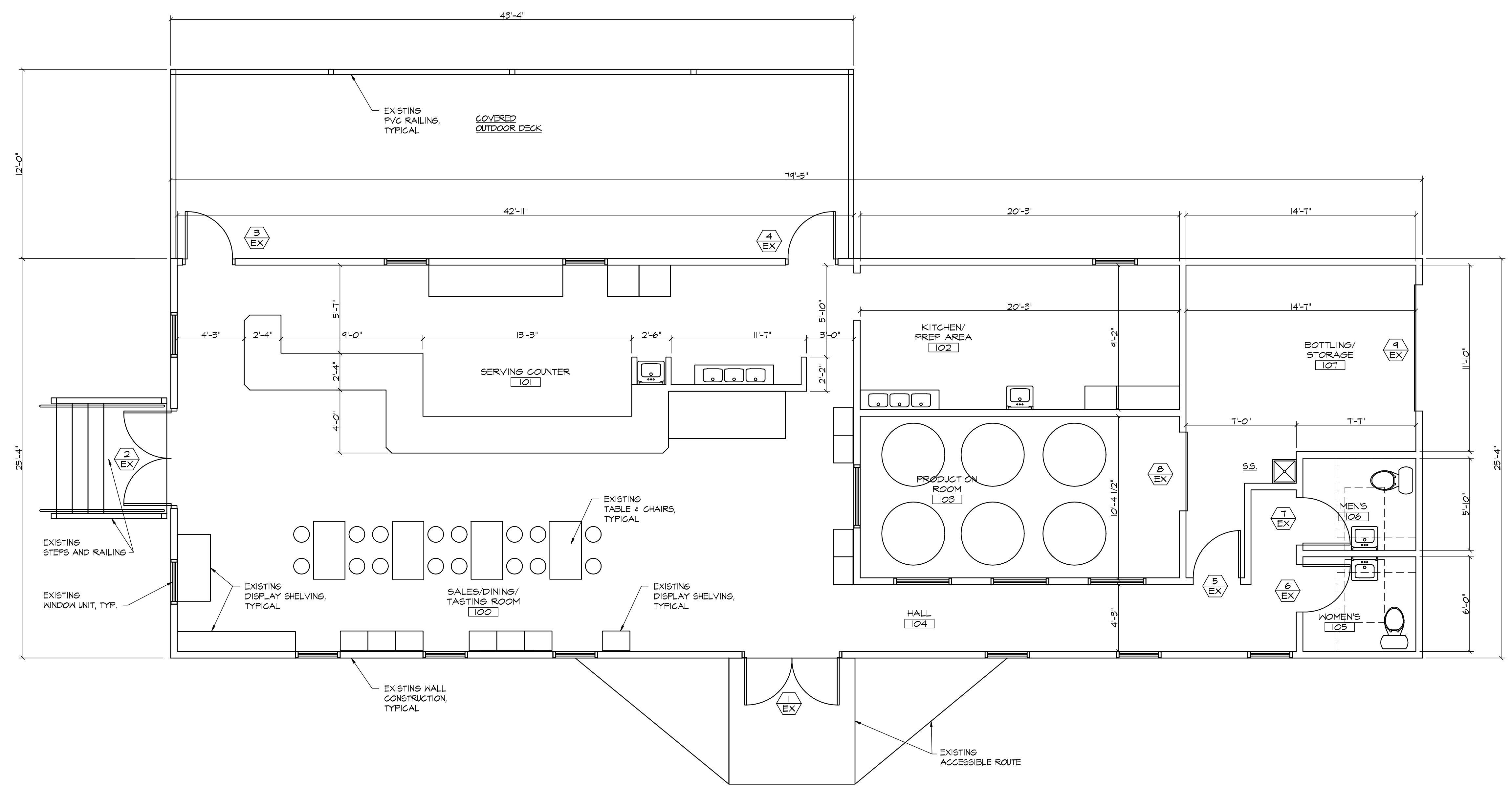
DATE: 2-18-2018

DRAWN BY: JKC

SCALE: AS NOTED

SHEET NO:

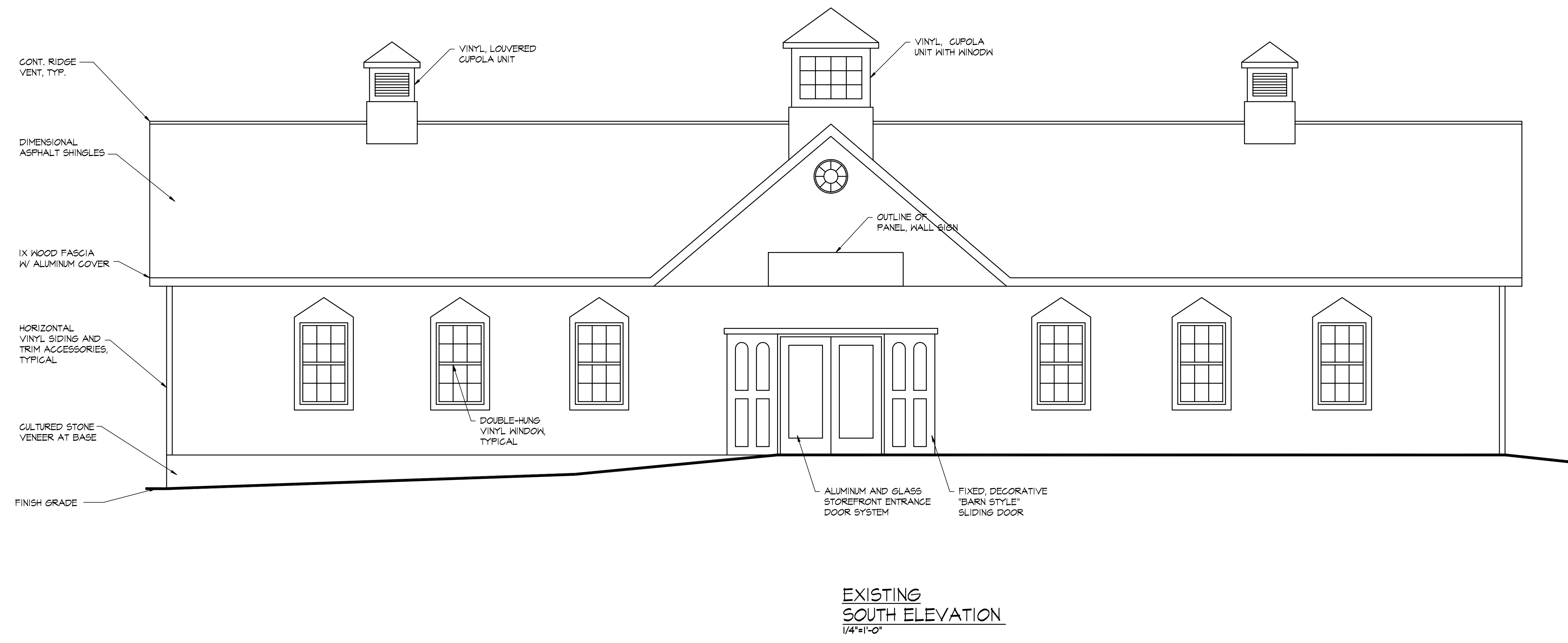
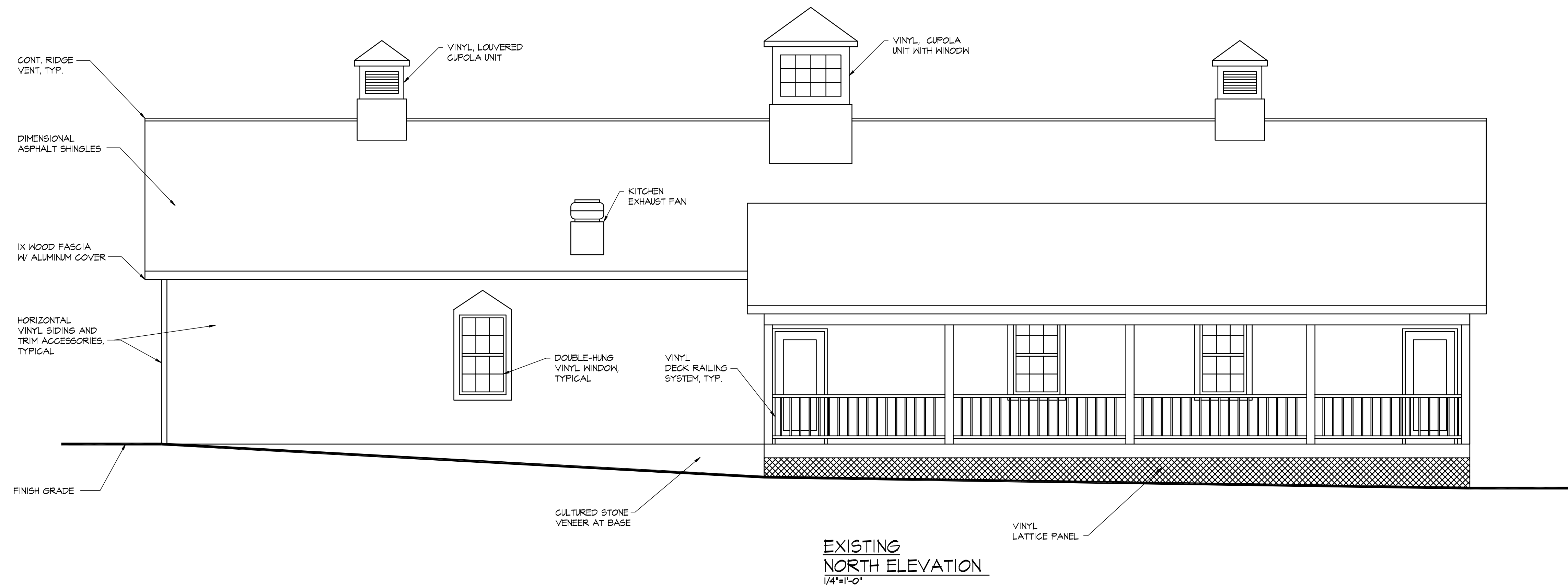
A1



EXISTING WINERY
FLOOR PLAN
 1/4"=1'-0"

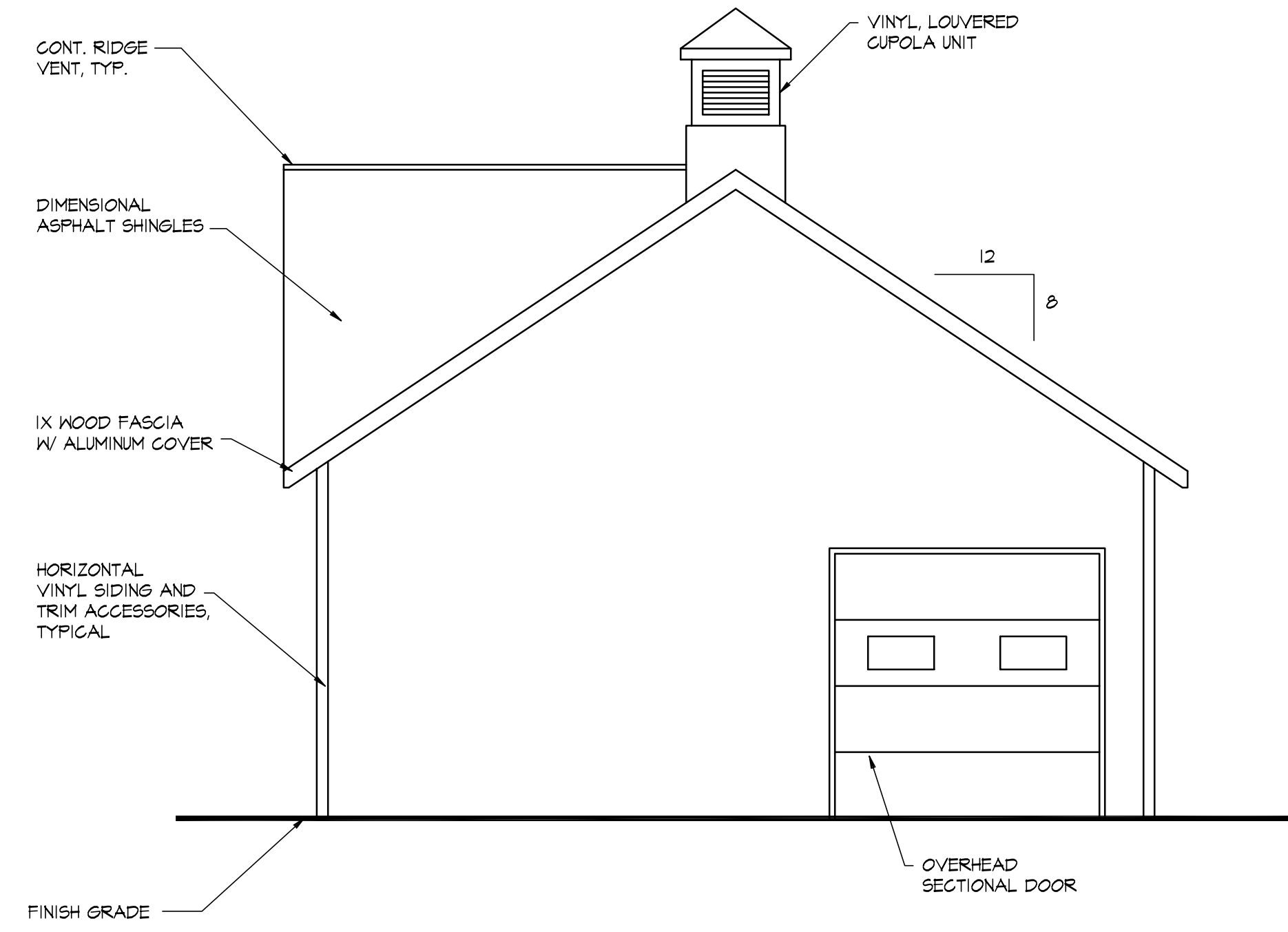
GENERAL NOTES:

1. THE EXISTING LAYOUT AND DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE USED FOR BIDDING PURPOSES ONLY. ACTUAL, FIELD VERIFICATION OF ALL EXISTING CONDITIONS SHALL BE UTILIZED PRIOR TO LAYOUT AND INSTALLATION OF ANY NEW CONSTRUCTION.
2. ALL WORK PROVIDED AND INSTALLED BY THE CONTRACTORS SHALL MEET THE LATEST EDITIONS OF ALL STATE, LOCAL, FEDERAL AND N.E.C. REGULATIONS AND CODES.
3. ALL INTERIOR DIMENSIONS ARE TO FINISH FACE OF GYP. BD, METAL LINER PANEL, OR WALL TILE (TYPICAL, UNLESS NOTED OTHERWISE).
4. ALL NEW INTERIOR PARTITIONS ARE 2X4 WOOD STUDS @ 16" O.C. w/ 5/8" GYP. BD. EACH SIDE (TYP., UNLESS NOTED OTHERWISE).
5. PROVIDE BARRIER FREE BUILDING SIGNAGE AT ENTRANCES AND TOILET ROOMS AS PER 'MICHIGAN BARRIER-FREE' DESIGN REQUIREMENTS.
6. SHELVING AND EQUIPMENT LOCATIONS AND SIZES SHOWN ARE FOR REFERENCE ONLY. EXACT LOCATIONS AND SIZES ARE TO BE FIELD VERIFIED WITH OWNER AND EQUIPMENT SUPPLIER.
7. CONTRACTOR IS TO COORDINATE ALL WALL, CEILING, FLOOR, ETC. FINISHES, LOCATIONS AND MATERIAL SPECIFICATIONS WITH OWNER PRIOR TO CONSTRUCTION.
8. ALL NEW INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808.
9. PROVIDE WALL REINFORCEMENT, AND/OR PLYWOOD BACKING IN STUD WALLS FOR ATTACHMENT OF ALL ROOM ACCESSORIES, SHELVING, FURNITURE, ETC., INCLUDING OWNER SUPPLIED EQUIPMENT, ETC. COORDINATE EXACT LOCATIONS AND REQUIREMENTS WITH OWNER.
10. ALL NEW AND EXISTING DOOR HARDWARE SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTION 1010.1.9, DOOR OPERATIONS.
11. SERVICE COUNTER SHALL HAVE A PORTION A MINIMUM OF 36" WIDE AND A MAXIMUM 36" HIGH FOR BARRIER FREE ACCESS.
12. EXTERIOR WALL ASSEMBLY INCLUDES 5-1/2" BATT INSULATION IN WALL CAVITY. (MINIMUM WALL ASSEMBLY R-VALUE = R-2).
13. ROOF/CEILING ASSEMBLY INCLUDES 12" BATT INSULATION. (MINIMUM ROOF ASSEMBLY R-VALUE = R-38).

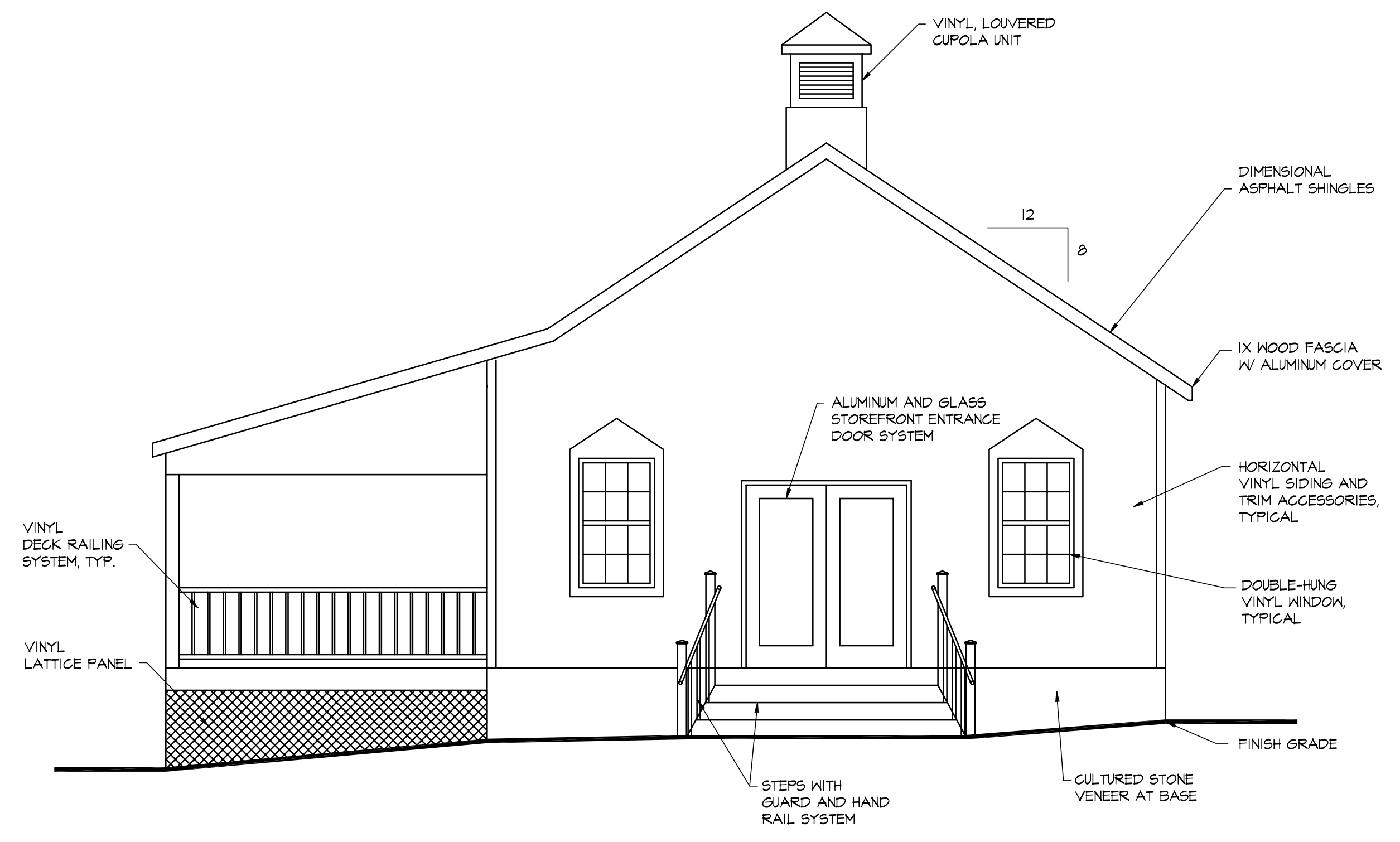


REVISIONS	
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JOB NO: 018-010
 DATE: 2-18-2018
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EXISTING
EAST ELEVATION
1/4"=1'-0"



EXISTING
WEST ELEVATION
1/4"=1'-0"

REVISIONS

JOB NO: 018-010

DATE: 2-18-2018

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SCALE: AS NOTED

SHEET NO:

A3

ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR						BASE						WALL						CEILING						REMARKS	NO.		
		SEAL/STAINED CONCRETE						WOOD						GYP BOARD (PAINT)						GYP BOARD (PAINT)									
		1	2	3	4	5	6	1	2	3	4	5	6	1	2	3	4	5	6	1	2	3	4	5	6				
100	SALES/DINING/TASTING ROOM																											CATHEDRAL CEILING	100
101	SERVING COUNTER																												101
102	KITCHEN PREP AREA																												102
103	PRODUCTION ROOM																												103
104	HALL																												104
105	WOMAN'S RESTROOM																												105
106	MEN'S RESTROOM																												106
107	BOTTLING/ STORAGE																												107
108																													108
109																													109
104																													104

NOTES:

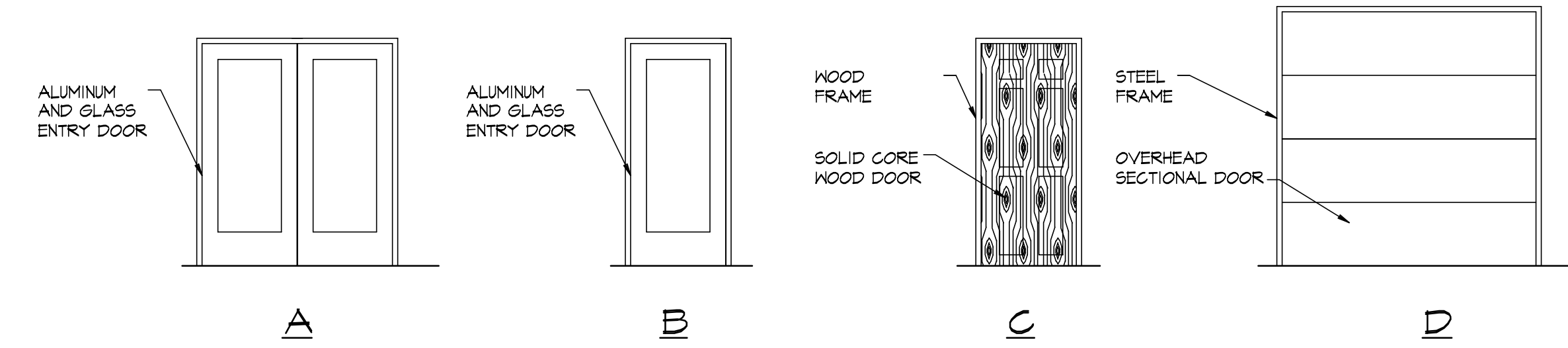
- ALL WORK PROVIDED AND INSTALLED BY THE CONTRACTORS SHALL MEET THE LATEST EDITIONS OF ALL STATE, LOCAL, FEDERAL AND N.E.C. REGULATIONS AND CODES.
- ALL NEW DOOR HARDWARE SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTION 1008.1.9, DOOR OPERATIONS.
- CONTRACTOR TO COORDINATE ALL HARDWARE AND KEYING REQUIREMENTS WITH OWNER AND SUBMIT TO LOCAL BUILDING OFFICIAL FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR IS TO COORDINATE ALL WALL, CEILING, FLOOR, ETC. FINISHES, LOCATIONS AND MATERIAL SPECIFICATIONS WITH OWNER PRIOR TO CONSTRUCTION.
- ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808. ALL WALL AND CEILING FINISHES SHALL BE A MINIMUM RATING OF CLASS C, FLAME SPREAD 16-200; SMOKE DEVELOPED 0-450, (TABLE 803.9).

DOOR SCHEDULE

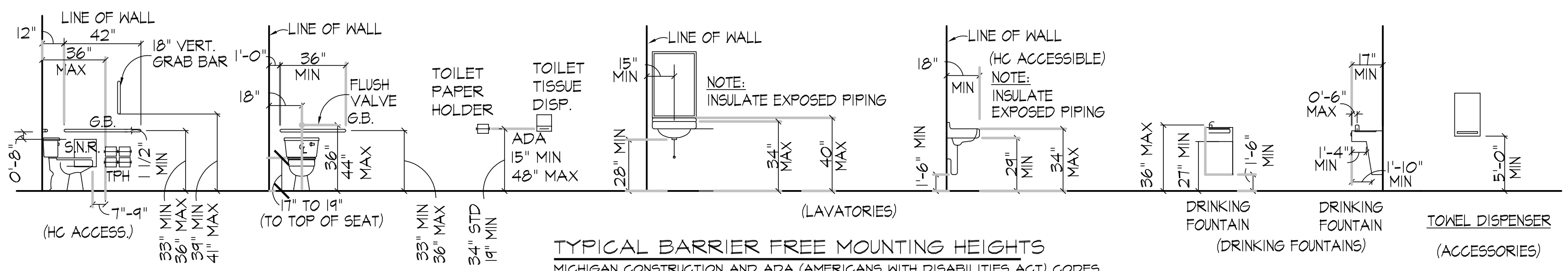
MARK	SIZE	DOOR						FRAME						HDW.	REMARKS
		TYPE		MATERIAL		FINISH		MATERIAL		FINISH					
		1	2	1	2	1	2	1	2	1	2				
1	3'-0" x 7'-0"														
2	(2) 3'-0" x 7'-0"														
3															
4															
5															
6															
7															
8															SLIDING COOLER DOOR
9															
10															

ACCESSORIES SCHEDULE

WA-1	B-6806X42	15" S.S. GRAB BAR- 42"
WA-2	B-6806X36	15" S.S. GRAB BAR- 36"
WA-3	B-6806X18	15" S.S. GRAB BAR- 18"
WA-4	B-4228	TOILET TISSUE DISPENSER
WA-5	B-4262	PAPER TOWEL DISPENSER
WA-6	B-4112	LIQUID SOAP DISPENSER
WA-7	B-240-2436	S.S. FRAMED MIRROR
WA-8	B-223X24	MOP AND BROOM HOLDER
EHD	B-7120	ELECTRIC HAND DRYER
BCS	KB200-00	BABY CHANGING STATION



DOOR AND FRAME TYPES
NO SCALE



TYPICAL BARRIER FREE MOUNTING HEIGHTS
MICHIGAN CONSTRUCTION AND ADA (AMERICANS WITH DISABILITIES ACT) CODES
BARRIER FREE NOTES:

- ALL CONTROLS & OPERATING MECHANISMS SHALL BE OPERABLE w/ (1) HAND & SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN (5) POUNDS.

REVISIONS

JOB NO: 018-010
 DATE: 2-18-2018
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 SCALE: AS NOTED

SHEET NO:

A4

FURNACE SCHEDULE											
TAG	MFR.	MODEL	CFM	MIN OA	ESP	FAN HP	ELEC.	COOLING MBH	GAS HEATING		NOTES
									MBH IN	MBH OUT	
F-1	LUXAIRE	TM9T100C19MP11B	1600	NATURAL	1"	3/4	120V-1Ø	48	100	96	1, 2, 3, 4, 5, 6

- NOTES:
1. PROVIDE UNIT WITH ZONE CONTROLLER THERMOSTAT(S).
 2. PROVIDE UNIT WITH CONCENTRIC VENT/AIR INTAKE ROOF/WALL TERMINATION KIT.
 3. UNIT SHALL BE VERTICAL UP-FLOW GAS FURNACE WITH ADD-ON COOLING COIL.
 4. PROVIDE UNIT WITH FILTER RACK AND DISPOSABLE FILTERS.
 5. DISCONNECT SWITCH SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR.
 6. TWO STAGE HEATING.

CONDENSING UNIT SCHEDULE										
TAG	MFR.	MODEL	ASSOC. UNIT	TOTAL MBH	SUCTION TEMP.	ELEC.	QNTY. COMP.	MCA	MOP	NOTES
C-1	LUXAIRE	TCJD48S41S3A	F-1	48	45	208/230-3p	1	21.1	35	1, 2, 3

- NOTES:
1. COOLING CAPACITY IS BASED ON 80°F DB/67°F WB AND 95°F AMBIENT.
 2. PROVIDE WITH HARD START KIT AND ANTI-SHORT CYCLE TIMER.
 3. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL GFI RECEPTACLE AND DISCONNECT SWITCH.

NATURAL VENTILATION OPENING SCHEDULE						
SPACE	FLOOR AREA (SQ. FT.)	MINIMUM OPENING AREA REQUIRED (4%) FOR SPACE ONLY	MINIMUM OPENING AREA REQUIRED (8%) FOR ADJOINING SPACES	OPENING AREA PROVIDED PER OPENING	OPENING AREA REQUIRED PER TYPE	TOTAL OPENING AREA PROVIDED
MAIN SPACE	1248	--	100 SF	(10) 28x29 WINDOW OPENINGS	(10) 5.6 SF = 56 SF	191 SF
				(2) 3' x 7.5' DOOR OPENINGS	(10) 22.5 SF = 45 SF	
				(2) 6' x 7.5' DOOR OPENINGS	(2) 45 SF = 90 SF	
KITCHEN	196	7.4	--	(1) 3' x 7.5' DOOR OPENING	22.5 SF	22.5 SF
WORK SPACE	235	--	18.8 SF	(1) 8' x 8' DOOR OPENING	64 SF	64 SF
TANK ROOM	216	8.6 SF	--	(1) 5' x 7.5' DOOR OPENING	37.5 SF	37.5 SF

NOTES: 1. TOTAL OUTDOOR AIR PROVIDED IS IN COMPLIANCE W/ THE REQUIRED OUTDOOR VENTILATION AIR PER TABLE 403.3 OF THE 2015 MMC.

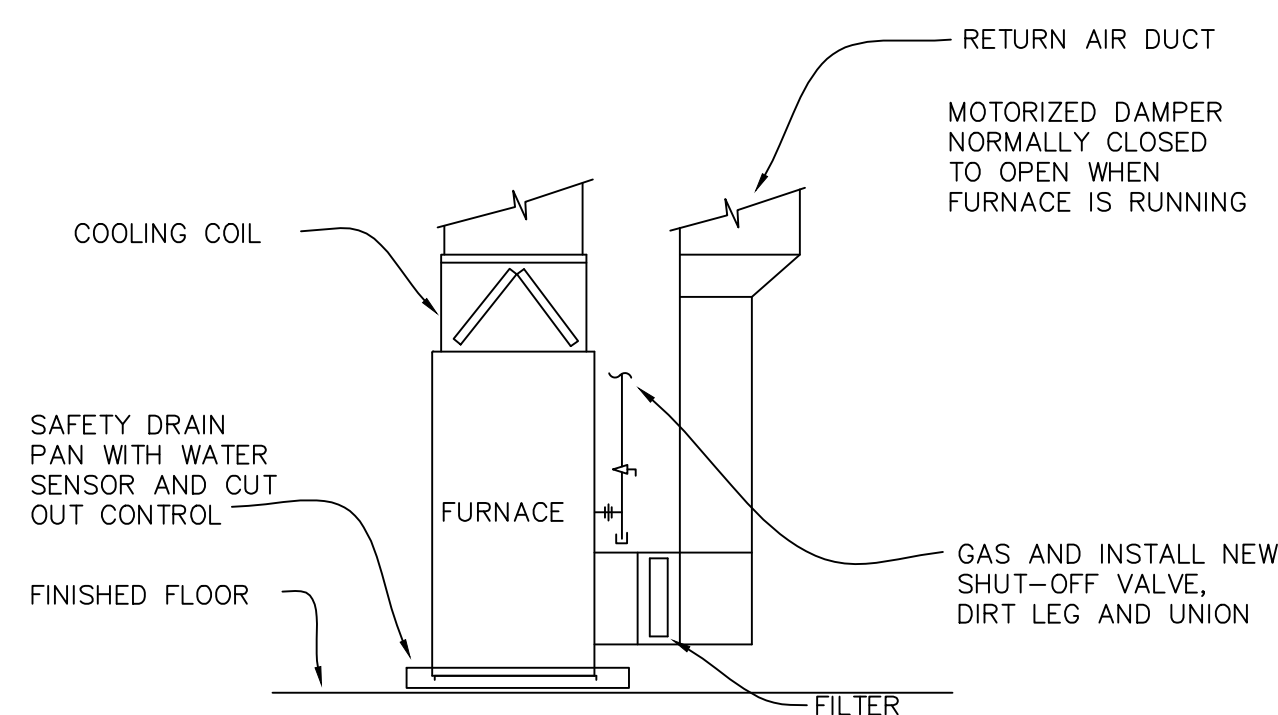
EQUIPMENT SCHEDULE

EF-1,2
BROAN EXHAUST FAN MODEL L-100, 70 CFM AT 0.375" SP USING A 67 WATT 120V-P MOTOR, PROVIDE WITH BACK DRAFT DAMPER, DISCONNECT AND DISCHARGE CAP

WATER HEATER
SEE PLUMBING EQUIPMENT SCHEDULE

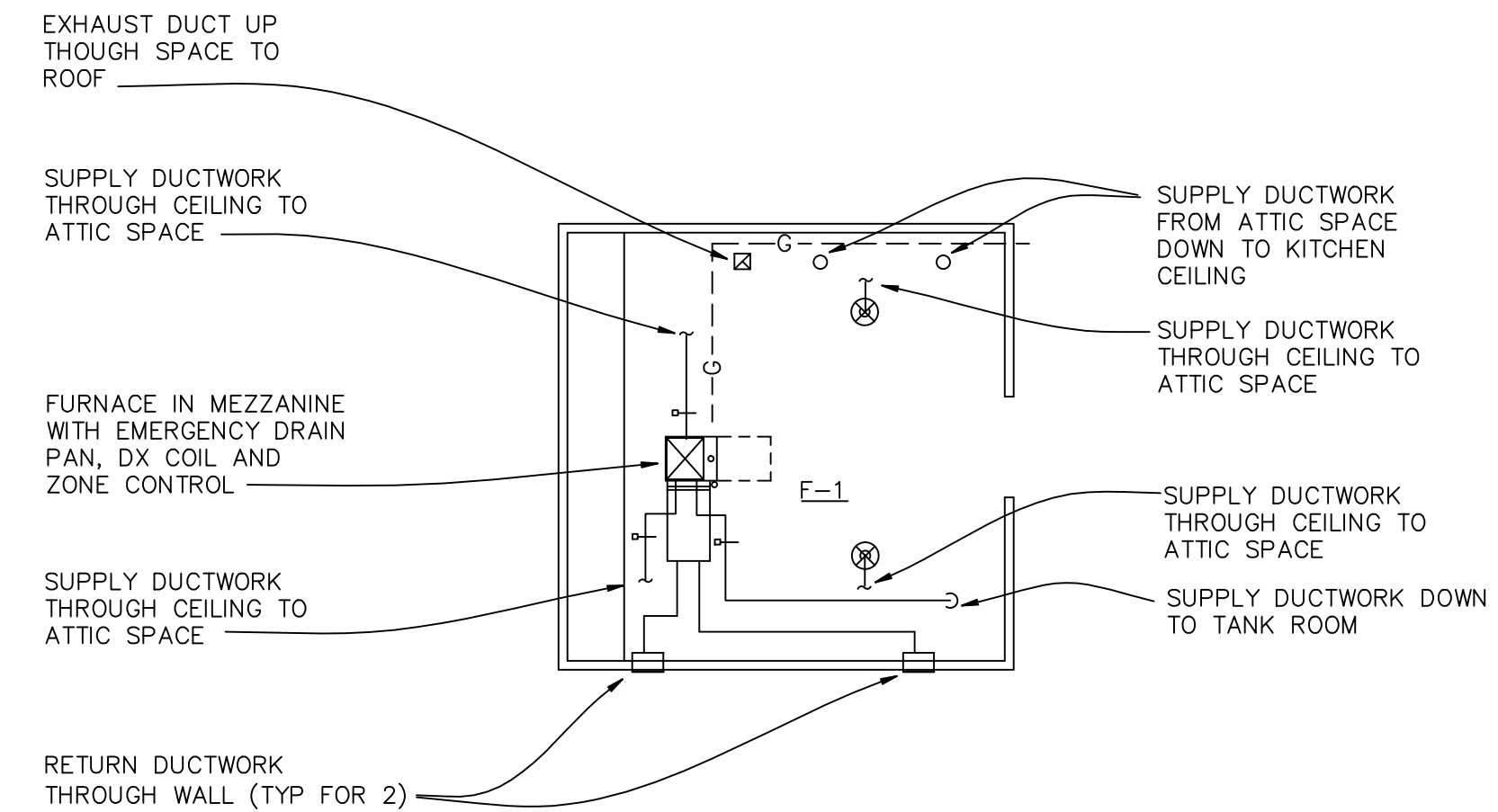
MECHANICAL NOTES:

ALL DUCT WORK SHALL INSTALLED PER SMACNA STANDARDS AND SHALL HARD METAL
INSULATE ALL EXHAUST DUCTWORK FROM FAN TO DISCHARGE.
INSULATE SUPPLY DUCTWORK IN CEILING SPACE WITH DUCT WRAP WITH VAPOR BARRIER.

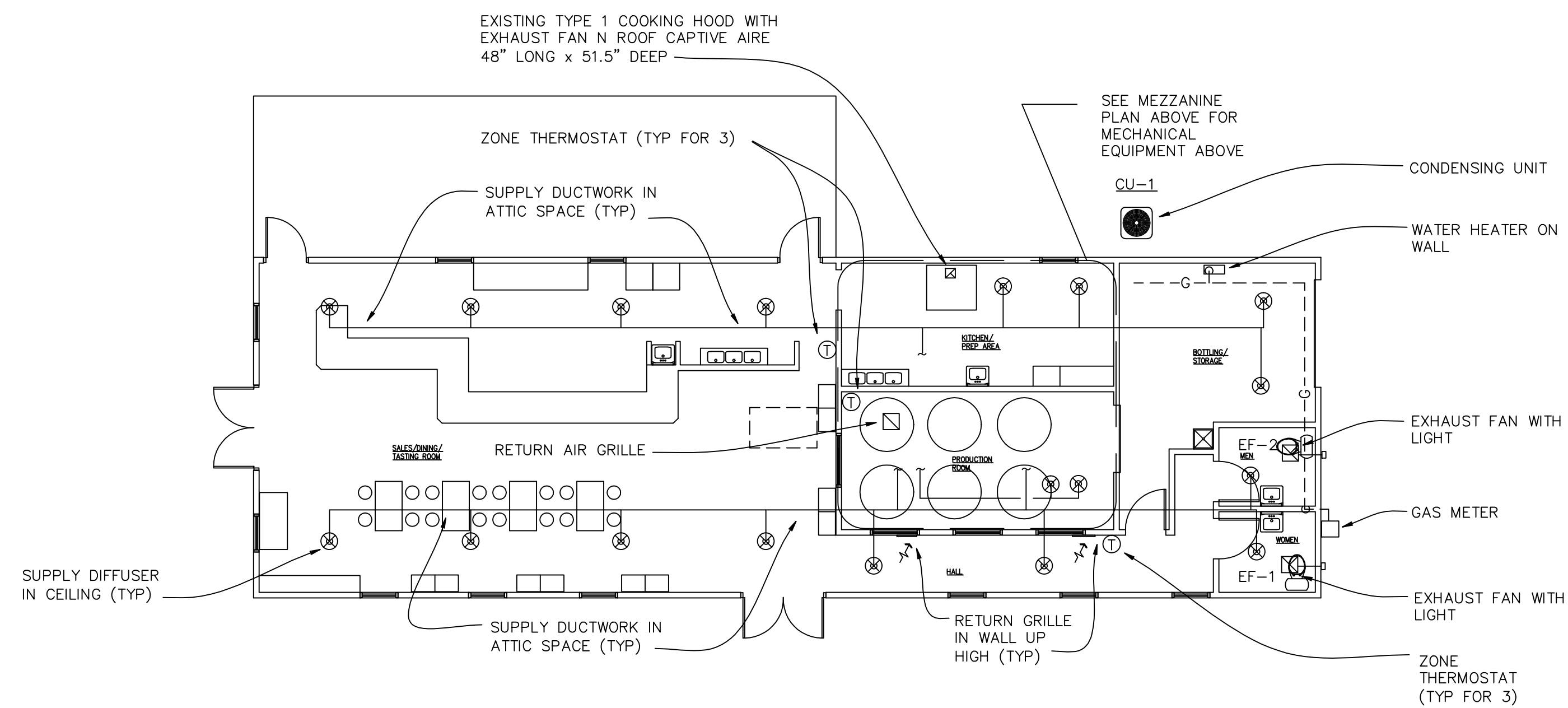


FURNACE DETAIL

NO SCALE



MECHANICAL MEZZANINE PLAN
1/8"=1'-0"



MECHANICAL PLAN
1/8"=1'-0"

REVISIONS

JOB NO: 018-010
DATE: 2-18-2018
DRAWN BY: JKC
SCALE: AS NOTED
SHEET NO:

M1

FSA Engineering, LLC
CONSULTING ENGINEERS
3449 BREEZE POINTE CT
LINDEN, MICHIGAN 48451
(810) 394-1379 C
(810) 714-4206 F

PLUMBING NOTES:

ALL PLUMBING WORK SHALL MEET LOCAL, STATE AND FEDERAL PLUMBING CODES AND HEALTH DEPARTMENT REQUIREMENTS.

THE PLUMBING CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL DRAWINGS. THEY SHALL COMPLETELY SATISFY THEMSELVES WITH CONDITIONS OF WORK TO BE PERFORM AND ANY ADJUSTMENTS TO MEET CODE REQUIREMENTS BEFORE SUBMITTING THEIR BID.

THE ARCHITECT AND OWNER RESERVE THE RIGHT TO MAKE MINOR CHANGES TO THE LOCATION OF EQUIPMENT, PIPING, VENTING ETC AT THE TIME OF ROUGH-IN WITHOUT ADDITIONAL COMPENSATION.

PLUMBING CONTRACTOR IS RESPONSIBLE FOR PAYING AND ARRANGING ALL REQUIRED PERMITS, INSPECTIONS AND ASSOCIATED COST.

PLUMBING CONTRACTOR SHALL PROVIDE VENTING FOR ALL PLUMBING FIXTURES PER CODE REQUIREMENTS.

COORDINATE FLOOR DRAIN LOCATIONS AND INSTALL TRAP RPIMER AT ALL FLOOR DRAINS.

PLUMBING CONTRACTOR IS RESPONSIBLE FOR VERIFY ALL SIZE OF ALL PIPING.

INSULATE ALL HOT AND COLD WATER PIPING. INSULATION TO MEET 25/50 FLAME SPREAD REQUIREMENTS.

PROVIDE AND INSTALL STOPS, RISERS, TRAPS ETC FOR COMPLETE INSTALLATION OF PLUMBING EQUIPMENT.

ALL EQUIPMENT AND PLUMBING FIXTURES SHALL HAVE STOPS OR VALVE FOR ISOLATION. COORDINATE LOCATION OF ALL STOPS/VALVES WITH GENERAL TRADES TO MAKE SURE THEY WILL BE ACCESSIBLE.

INSTALL ASSE 1070 APPROVED MIXING VALVE AT LAVATORIES.

FIELD CHANGES MADE BY THE PLUMBING CONTRACTOR SHALL BE APPROVED BY THE ARCHITECT. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING AS BUILT DRAWINGS FOR THESE APPROVED CHANGES TO THE ARCHITECT PRIOR TO FINAL INSPECTION.

ALL PLUMBING TO CONFORM TO THE 2015 MICHIGAN PLUMBING CODE.

ALL NEW PLUMBING TO BE PERMITTED, TESTED AND INSPECTED PRIOR TO COVERING.

ALL PLUMBING FIXTURES TO BE VENTED IN ACCORDANCE TO CHAPTER 9 OF THE MICHIGAN PLUMBING CODE AND WILL FIELD VERIFIED BY PLUMBING INSPECTOR.

**PLUMBING
FIXTURE SCHEDULE**

WC
MANSFIELD MODEL 4977-3916, SMART HEIGHT, TANK TYPE WATER CLOSET, ELONGATED BOWL, 16-3/4" HIGH, ADA, PROVIDE WITH OPEN FRONT SEAT.

LAV
MANSFIELD 2018C VITREOUS CHINA, WALL MOUNTED LAVATORY, WITH DELTA MODEL 501 SINGLE LEVER FAUCET, PROVIDE WITH, ASSE 1070 MIXING VALVE, GRID STRAINER AND TRUEBRO LAV GUARD

SS
24x24 FLOOR SINK, WITH WALL MOUNTED FAUCET WITH VACUUM BREAK

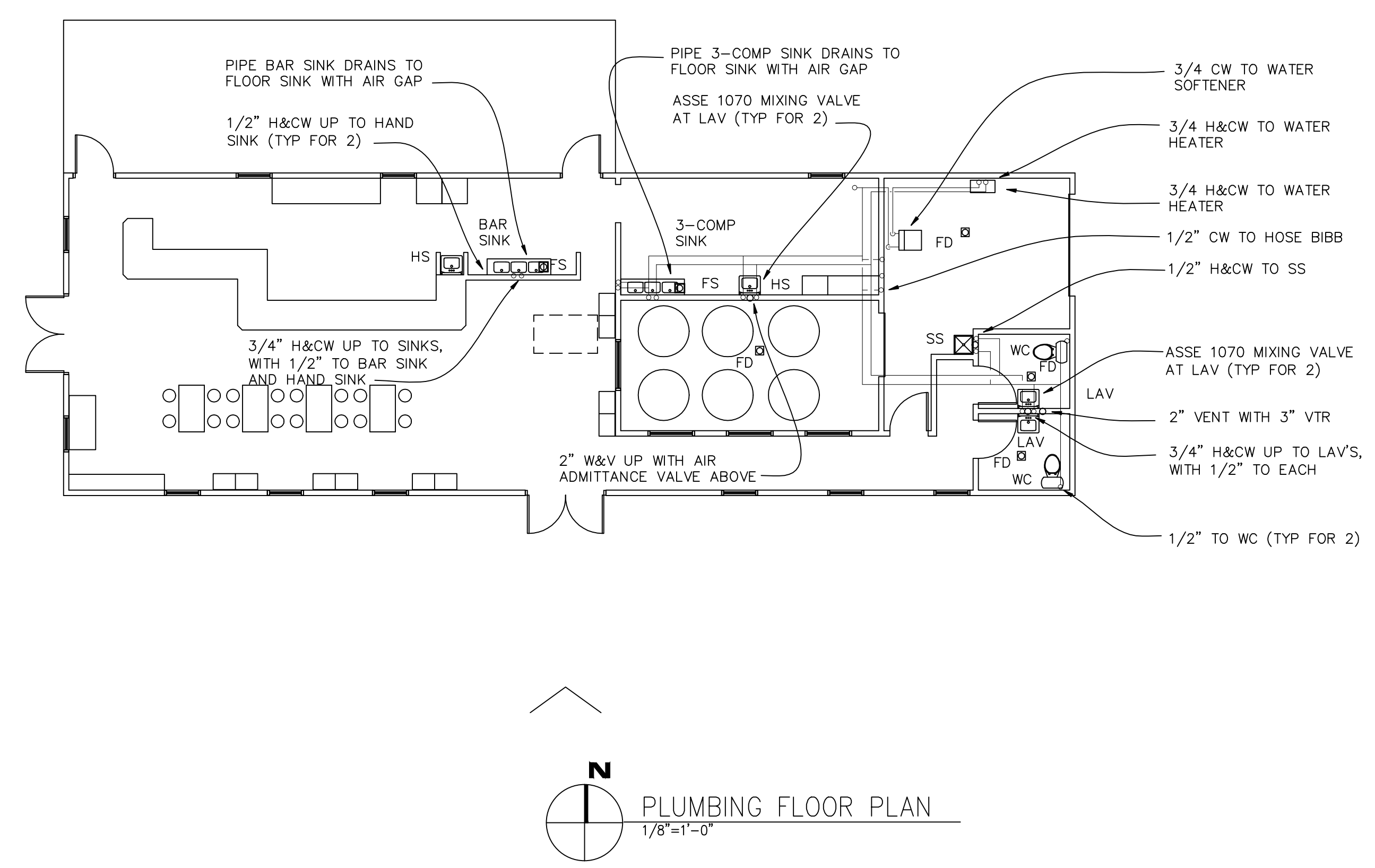
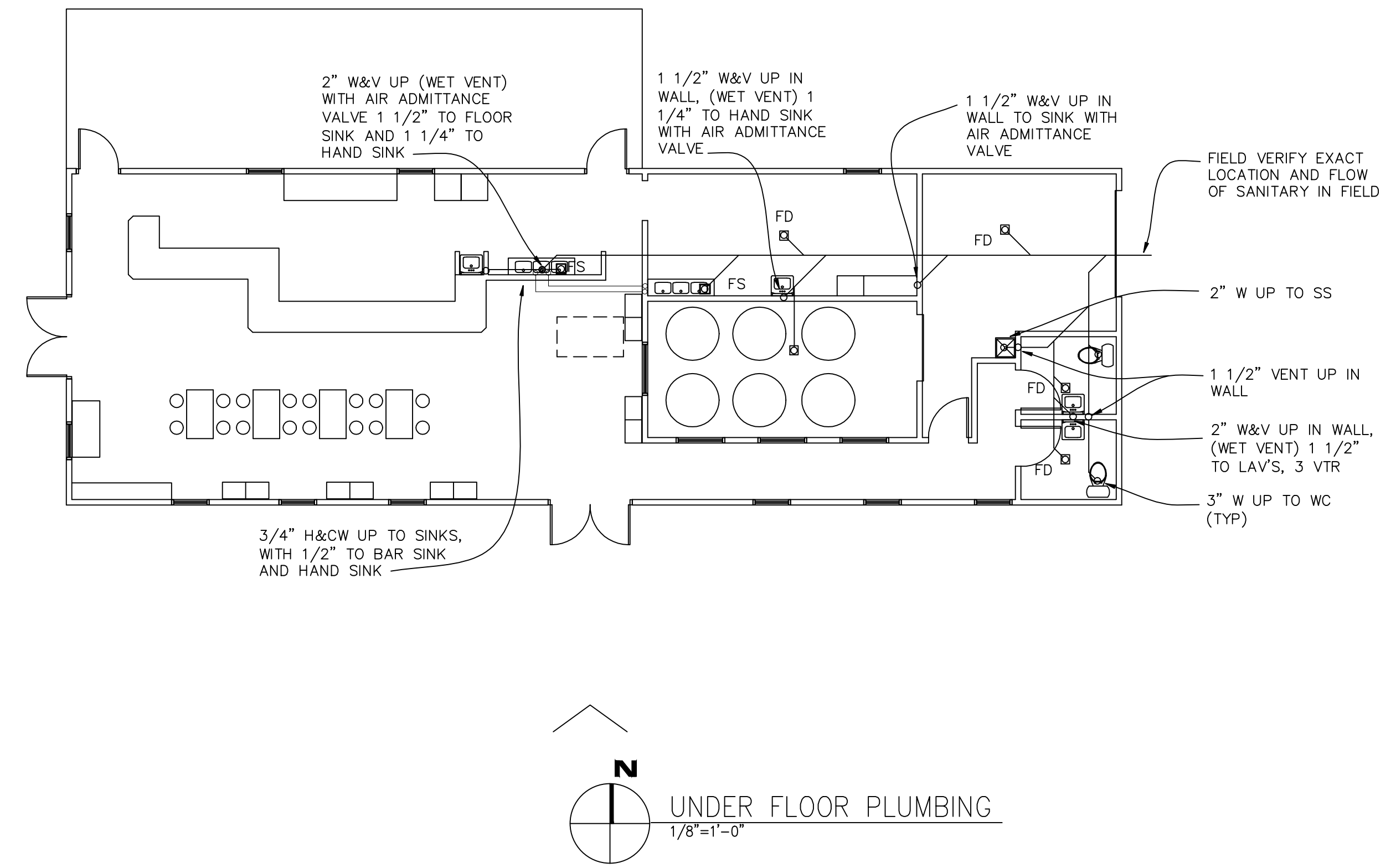
HS
AMTEKCO OR EQUAL HAND SINK, WITH LEVER HANDLE FAUCET PROVIDE WITH ASSE 1070 MIXING VALVE, TRAP AND RISERS

3-COMP SINK
3-COMP SINK, 18X18X12 COMPARTMENT, NSF APPROVED, STAINLESS STEEL, 18" DRAIN BOARDS AT EACH END, SINGLE FAUCET. PROVIDE WITH TRAP AND RISERS

BAR SINK
KROWNE 3-COMPARTMENT BAR SINK MODEL 21-63C, STAINLESS STEEL, 18" DRAIN BOARDS, 72" LONG WITH 10x14x10 COMPARTMENTS, NSF APPROVED, PROVIDE WITH LEVEL HANDLE FAUCET AND DRAIN AND TAIL PIECES.

**PLUMBING
EQUIPMENT SCHEDULE**

WH
NAVEN TANKLESS WATER HEATER MODEL NEP-240A, 19,900 TO 199,900 BTU/HR OUTPUT, 97% EFFICIENCY, PROVIDED WITH T&P RELIEF VALVE, CONDENSATE TRAP AND INTAKE AND VENTING KIT.



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FIXTURE SCHEDULE						
SYMBOL	TYPE	LAMP		MOUNTING HEIGHT	DESCRIPTION	MANUFACTURER
		NO	TYPE			
	A	2	32W T8 82CRI 3500K	S	4' LONG LOW PROFILE FLUORESCENT STRIP FIXTURE 3500K. 32W T8 LAMPS WITH ELECTRONIC BALLAST. 82 CRI WHITE COLOR CHANNEL. 120V OPERATION	1. LITHONIA C CHANNEL SERIES
	B	2	32W T8 82CRI 3500K	S	4' LONG LOW PROFILE SURFACE MOUNTED FLUORESCENT WRAPAROUND FIXTURE 3500K. 32W T8 LAMPS WITH ELECTRONIC BALLAST. 82 CRI WHITE COLOR CHANNEL AND ACRYLIC LENS. 120V OPERATION	1. LITHONIA LB TRADITIONAL WRAP
	C	1	60W INC.	R	6" ROUND RECESSED DOWNLIGHT WITH INCANDESCENT LAMP AND WHITE TRIM AND WHITE BAFFLE. WHITE COLOR. 120V OPERATION	1. LITHONIA INCANDESCENT DOWNLIGHT.
	D	1	60W INC.	P	DECORATIVE PENDANT FIXTURE PROVIDED BY OWNER. CHAIN HUNG, BLACK COLOR. 120V OPERATION	1. OWNER PROVIDED
	E	1	70W HID	S	SURFACE MOUNTED OUTDOOR HID FIXTURE, BLACK COLOR. 120V OPERATION	1. OWNER PROVIDED
	X		LED	S	SURFACE MOUNTED EMERGENCY FIXTURE DUAL VOLTAGE OPERATION. UNIT SHALL BE COMPLETELY SELF-CONTAINED WITH MAINTENANCE FREE NICKEL CADMIUM BATTERY CAPABLE OF PROVIDING 90 MINUTE FULL LIGHT OPERATION.	1. LITHONIA ELM SERIES 2. COOPER LIGHTING 3. COLUMBIA LIGHTING
	XI		LED	S	COMBINATION EXIT/EMERGENCY LIGHT SHALL BE UNIVERSAL MOUNT, DIE CAST ALUMINUM CONSTRUCTION, HIGH OUTPUT LED DIFFUSE LIGHT PANEL, RED LETTERS AND DIRECTIONAL ARROWS AS INDICATED ON PLANS. FIXTURE SHALL HAVE SELF-DIAGNOSTICS AND BE SUITABLE FOR DUAL VOLTAGE OPERATION. UNIT SHALL BE COMPLETELY SELF-CONTAINED WITH MAINTENANCE FREE NICKEL CADMIUM BATTERY CAPABLE OF PROVIDING 90 MINUTE FULL LIGHT OPERATION.	1. LITHONIA LHQM SERIES 2. COOPER LIGHTING 3. COLUMBIA LIGHTING

MOUNTING LEGEND:
R - RECESSED, S - SURFACE, P-PENDANT, C-CEILING

ELECTRICAL NOTES

ELECTRICAL WORK SHALL COMPLY WITH LATEST NATIONAL ELECTRICAL CODE, LIFE SAFETY CODE AND APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

ELECTRICAL EQUIPMENT AND WIRING SHALL BE NEW AND SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACTOR, UNLESS OTHERWISE NOTED.

WIRING SHALL BE IN CONDUIT. CONDUIT SHALL BE 3/4" MIN. CONDUITS IN FINISHED AREAS SHALL BE CONCEALED. CONTRACTOR MAY USE SURFACE RACEWAYS AND FITTINGS FOR WIRING IN FINISHED AREAS WHERE CONDUITS CAN NOT BE CONCEALED, ONLY WITH PRIOR APPROVAL FROM DESIGN PROFESSIONAL.

NEW WIRES SHALL BE TYPE THHN. MINIMUM SIZE SHALL BE #12 AWG, UNLESS OTHERWISE NOTED.

RECEPTACLE CIRCUITS SHALL HAVE A DEDICATED GROUND AND DEDICATED NEUTRAL.

NO METAL CLAD FLEXIBLE WIRING SHALL BE USED EXCEPT FROM JUNCTION BOX TO FIXTURES AND SHALL NOT EXCEED 6 FEET IN LENGTH.

FINAL CONNECTIONS TO EQUIPMENT, FURNISHED AND INSTALLED BY OTHERS, SHALL BE PROVIDED BY THIS CONTRACTOR.

VERIFY LOCATION OF LIGHTING FIXTURES, MECHANICAL EQUIPMENT IN CEILING, SPEAKERS AND POWER OUTLETS ETC, WITH DESIGN PROFESSIONAL PRIOR TO ROUGH-IN.

VERIFY AND COORDINATE WITH ARCHITECTURAL DRAWINGS EXACT LOCATION AND MOUNTING HEIGHTS OF POWER AND DATA OUTLETS.

CIRCUIT BREAKER ARRANGEMENT INDICATED ON THE ELECTRICAL RISER DIAGRAM DOES NOT NECESSARILY CORRESPOND TO THE ACTUAL BREAKER ARRANGEMENT OR PANEL PHASING. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO BALANCE THE LOADS ON THE PANEL AT THE TIME OF INSTALLATION. EVERY ATTEMPT SHOULD BE MADE TO GROUP SIMILAR LOADS AND LOCATE ALL SPARES AND SPACES AT THE BOTTOM OF THE PANEL.

PROVIDE A TYPEWRITTEN DIRECTORY IN THE PANEL DOOR, ACCURATELY INDICATING ROOMS AND EQUIPMENT BEING SERVED. CONTRACTOR SHOULD MAKE EVERY ATTEMPT TO IDENTIFY ALL CIRCUITS.

LEGEND

POWER

- HOME RUN TO PANEL INDICATED. 2#12&1#12 GND 3/4" C UNLESS NOTED OTHERWISE.
- CONDUIT CONCEALED IN WALL OR ABOVE CEILING
- CIRCUIT BREAKER POWER PANEL 120/208V 3ø 4W.
-
- DUPLEX RECEPTACLE-GROUND FAULT CIRCUIT INTERRUPTER TYPE-20A-1 PHASE-120V.
- QUADRUPLEX RECEPTACLE 120V 1-PHASE
- DISCONNECT SWITCH-F INDICATES FUSED
- MOTOR-SIZE AS INDICATED ON DRAWINGS
- JUNCTION BOX

LIGHTING

- SEE FIXTURE SCHEDULE FOR EXTENDED DESCRIPTION
- CEILING MOUNTED EXIT SIGN W/ DIRECTIONAL ARROW HATCH INDICATES FACE OF SIGN
- WALL MOUNTED EXIT SIGN HATCH INDICATES FACE OF SIGN
- FIXTURE TYPE
- OCCUPANCY SENSOR
- SWITCH - SINGLE POLE
- SWITCH - THREE-WAY
- DIMMER SWITCH
- TIMED SWITCH BY WATT STOPPER OR EQUAL
- OCCUPANCY SENSOR WALL MOUNTED BY WATT STOPPER OR EQUAL

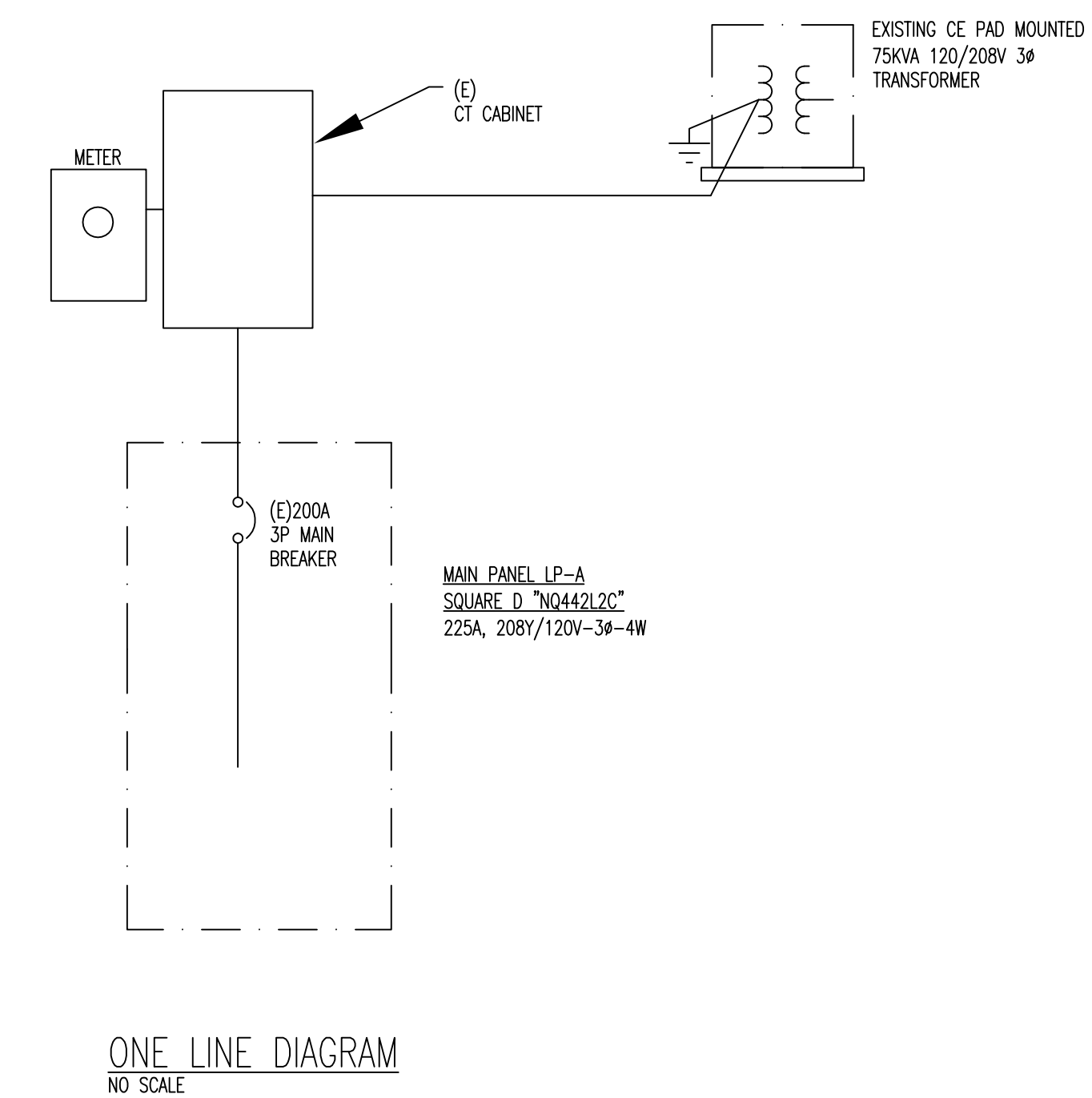
TELECOMMUNICATION

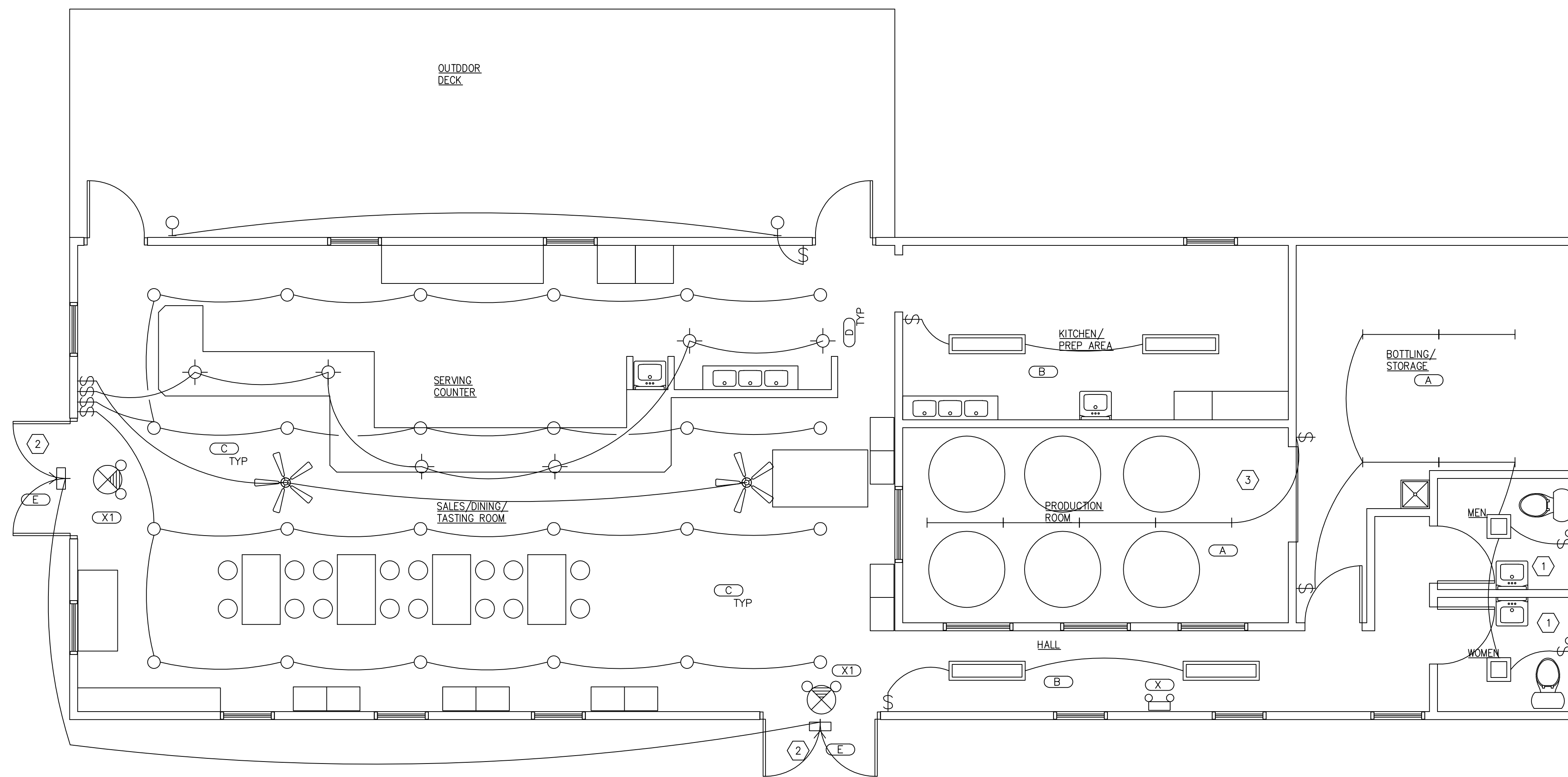
- COMBINATION VOICE AND DATA OUTLET-SINGLE GANG
- DUPLEX DATA OUTLET-SINGLE GANG

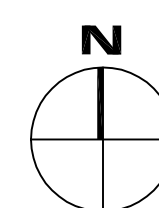
PANEL NO. PANEL LP-A												
MAIN BUS RATING 200A			FED FROM POWER COMPANY METER									
MAIN BREAKER 200A			FEEDER CABLE SIZE 4#3/0&1#6GND 2" C									
LUGS			VOLTS 120/208			PHASE 3 NO WIRES 4						
DESCRIPTION	KW PER PHASE			CIRC. NO	A	B	C	CIRC. NO	KW PER PHASE			DESCRIPTION
	A	B	C						A	B	C	
TANK RM REC	1.1	1.0	0.8	1	20			2	0.4	1.0		SPARE
KITCHEN FREEZER	1.0			7	20			4		0.8		TANK RM REC
KITCHEN PREP TABLE REC		0.8		9			20	10		1.0		REAR LIGHTS EM
KITCHEN COUNTER REC			1.2	11			20	12			1.2	BACK AND TANK RM REC
KITCHEN COUNTER REC	1.0			13			20	14		1.2		TANK RM REC
KITCHEN COUNTER REC		0.8		15			20	16		1.2		DONUT MACHINE
KITCHEN COUNTER REC	1.2		1.0	17			50	18			1.2	
FRONT WALL REC		1.1		21			15	22		3.7		
REAR LIT'S COOLPALA			1.3	23			20	24		3.7		3.7
BACK BAR COOLER	3.7			25			20	26		3.7		LIGHTS
FURNACE		3.7		27			30	28		3.7		COND UNIT A/C
KITCHEN EXH FAN			3.7	29			20	30			3.7	
BAR REC	0.8			31			20	32		1.7		BAR REC
				33				34				
				35				36				
				37				38				
				39				40				
				41				42				BACK RM GLYCOL TANK

TOTAL PHASE A KW	20.3
TOTAL PHASE B KW	18.0
TOTAL PHASE C KW	19.6
CONNECTED LOAD KW	57.9
DEMAND LOAD KW	40.5
DESIGN AMPS	112.1

LOCATION	BACK ROOM
MOUNTING	SURFACE
PROJECT	SPICER ORCHARD
DATE	10-31-2016






EXISTING WINERY LIGHTING PLAN
 1/4"=1'-0"

LIGHTING GENERAL NOTES

1. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF ALL LIGHTING FIXTURES UNLESS OTHERWISE NOTED.
2. ANY 120 VOLT BRANCH CIRCUIT FEEDER LONGER THAN 120'-0" TO LAST DEVICE SHALL BE SIZED TO THE NEXT LARGER STANDARD AWG SIZE. E.C. SHALL FIELD VERIFY ALL LENGTHS OF FEEDERS.
3. SEE LIGHT FIXTURE SCHEDULE SHEET E1.00.
4. ALL ELECTRICAL DEVICES ON THIS SHEET SHALL BE NEW UNLESS OTHERWISE NOTED.
5. EXIT LIGHTS AND EMERGENCY BATTERY UNITS SHALL BE UNCONTROLLED AND TIED AHEAD OF LOCAL AREA LIGHTING SWITCH, UNLESS CIRCUITED OTHERWISE.
6. WHERE MORE THEN ONE LIGHT SWITCH IS INDICATED TO BE INSTALLED AT THE SAME LOCATION, THEY SHALL BE GROUPED UNDER ONE COMMON FACEPLATE.

LIGHTING KEYED NOTES

- 1 WALL MOUNTED OCCUPANCY SENSOR SWITCH BY "LEVITON", LEGRAND OR EQUAL. CONNECT TO EXISTING COMBINATION FAN/LIGHT.
- 2 WALL MOUNTED HID FIXTURED, CONNECT TO TIME CLOCK AND PHOTOCELL.
- 3 EXISTING MEZZANINE WITH TYPE "A" FIXTURE AND SWITCH ABOVE THIS AREA.

REVISIONS	

JOB NO: 018-010
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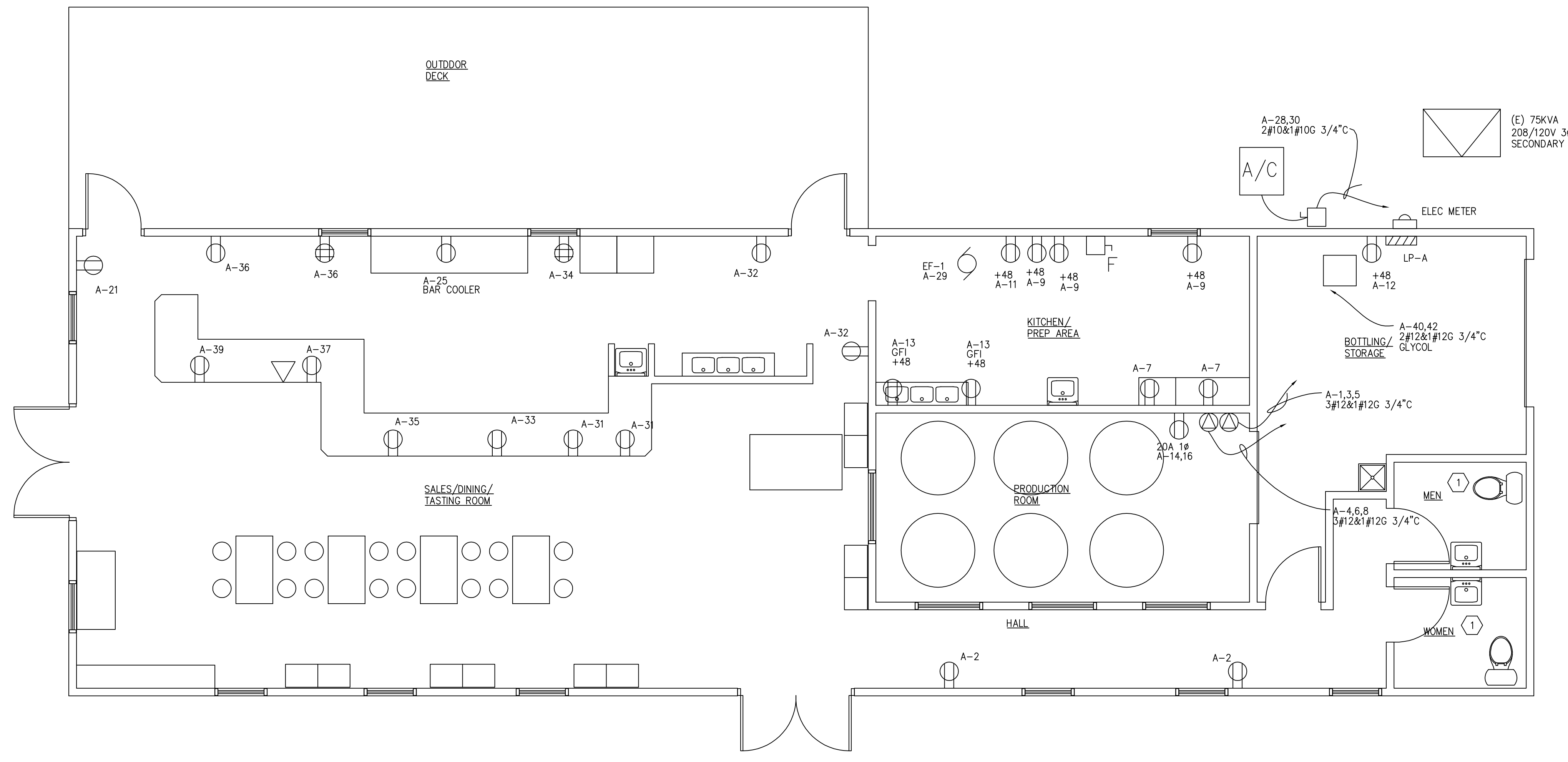
JOB NO: 018-010
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 DRAWN BY: FA
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POWER GENERAL NOTES

1. ALL ELECTRICAL DEVICES SHOWN ON THIS PLAN SHALL BE NEW UNLESS OTHERWISE NOTED.
2. ANY 120 VOLT BRANCH CIRCUIT FEEDER LONGER THAN 120'-0" TO LAST DEVICE SHALL BE SIZED TO THE NEXT LARGER STANDARD AWG SIZE. E.C. SHALL FIELD VERIFY ALL LENGTHS OF FEEDERS.
3. ALL RECEPTACLES SHALL BE 20A RATED.
4. ALL DISCONNECT SWITCHES SHALL BE HEAVY DUTY TYPE.
5. ALL RECEPTACLES WITHIN 6'-0" OF SINK OR OTHER WATER SUPPLY SHALL BE GFCI TYPE RECEPTACLE.
6. REFER TO ARCHITECTURAL FLOOR PLAN AND ELEVATIONS FOR EXACT LOCATION OF DEVICES.
7. ALL JUNCTION BOXES SERVING BRANCH CIRCUIT WIRING SHALL BE LABELED WITH CIRCUITS SERVED.
8. ALL 120 VOLT CIRCUITS SHALL UTILIZE A SEPARATE NEUTRAL.
9. ALL CONDUITS SERVING 120 VOLTS OR GREATER SHALL INCLUDE A GROUND WIRE.
10. ALL CONDUITS SHALL BE ROUTED CONCEALED UNLESS NOTED OTHERWISE.
11. ALL ELECTRICAL EQUIPMENT MOUNTED ON THE FLOOR SHALL BE MOUNTED ON A 4" CONCRETE HOUSE KEEPING PAD.

POWER KEYED NOTES

1. CONNECT EXHAUST FAN TO LIGHT SWITCH AND LIGHTING CIRCUIT.
2. ALL RECEPTACLES IN KITCHEN AREA SHALL BE GFI PROTECTED.



N
 EXISTING WINERY
 POWER PLAN
 1/4"=1'-0"

CODE REVIEW/BUILDING DATA

APPLICABLE CODES:
 MICHIGAN BUILDING CODE- 2015
 MICHIGAN REHABILITATION CODE- 2015
 ACCESSIBILITY, ICC/ANSI A117.1-2009
 MICHIGAN MECHANICAL CODE- 2015
 MICHIGAN PLUMBING CODE- 2015
 STATE OF MICHIGAN ELECTRICAL CODE (NEC-2014) W/ PART 8 AMENDMENTS

1. USE GROUP:
 M: MERCANTILE (MARKET)
 F-1: MODERATE-HAZARD FACTORY INDUSTRIAL, (FOOD PROCESSING/COMMERCIAL KITCHEN)
 S-2: LOW-HAZARD STORAGE, (FOOD PRODUCTS)

2. TYPE OF CONSTRUCTION:
 A) TYPE 'VB' (5B), COMBUSTIBLE/ UNPROTECTED

3. HEIGHT AND AREA LIMITATIONS (TABLE 506.2):
 WORST CASE IS F-1 OCCUPANCY CLASSIFICATION, TYPE 'VB', = 8500 SQ. FT.

FRONTAGE INCREASE (SEC. 506.3)
 8500 SQ. FT. + 75% = 14875 SQ. FT. ALLOWED

EXISTING MARKET/ CIDER MILL BUILDING: 9,381 SQ. FT.

EXISTING PAVILLION BUILDING: 1,345 SQ. FT.

4. OCCUPANT LOAD (TABLE 1004.1.2):
 MERCANTILE AREAS= 60 SQ. FT.(GROSS)/PER OCCUPANT
 KITCHEN/MANUFACTURING AREAS= 200 SQ. FT.(GROSS)/PER OCCUPANT
 STORAGE/STOCK AREAS= 300 SQ. FT.(GROSS)/PER OCCUPANT
 DINING AREAS= 15 SQ. FT.(NET)/PER OCCUPANT

MERCANTILE AREAS= 1484/60 SQ. FT.(GROSS)= 25 OCC.
 KITCHEN/MANUFACTURING AREAS= 348/200 SQ. FT.(GROSS)= 1B OCC.
 STORAGE/STOCK AREAS= 1330/300 SQ. FT.(GROSS)= 5 OCC.
 DINING AREAS= 225/15 SQ. FT.(NET)= 15 OCC.
 TOTAL OCCUPANCY: 63 PERSONS

5. AUTOMATIC SPRINKLER SYSTEMS (SECTION 903.2):
 AN AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED FOR
 'M', 'F-1' AND 'S-2' FIRE AREAS THAT DO NOT EXCEED
 12,000 SQ.FT. THE EXISTING BUILDING DOES NOT CONTAIN
 AN AUTOMATIC FIRE SPRINKLER SYSTEM.

6. SEPARATION FROM OTHER USES (MBC TABLE 508.3.3)
 A) NO SEPERATION REQUIRED

7. MINIMUM NUMBER OF EXITS AND CONTINUITY (SECTION 1006.2.1):
 TWO EXITS REQUIRED FROM MERCANTILE OCCUPANCY WHEN
 MAX. OCCUPANTS EXCEEDS 49 OR MAXIMUM TRAVEL DISTANCE
 EXCEEDS 75 FEET. MINIMUM TWO EXITS REQUIRED PER SPACE.

8. EXIT ACCESS TRAVEL DISTANCE (TABLE 1012)
 A) 'M' AND 'F-1' USE: W/O SPRINKLER= MAX. 200 FEET

9. CORRIDORS, DEAD-ENDS (SECTION 1020.4):
 DEAD-END CORRIDOR LENGTHS SHALL BE NO MORE THAN
 20 FEET.

10. DOOR SWING (SECTION 1010.1.2):
 DOORS SHALL SWING IN THE DIRECTION OF EGRESS WHERE SERVING
 AN OCCUPANT LOAD OF 50 OR MORE PERSONS.

11. DOORS (SECTION 1010.1.1):
 DOORS SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES.
 EGRESS DOORS SHALL BE OF THE PIVOTED OR SIDE-HINGED SWINGING
 TYPE, EXCEPT IN OFFICE AREAS WITH AN OCCUPANT LOAD OF 10 OR
 LESS, (SEC. 1008.1.2, EXCEPTION 1).

12. DOOR HARDWARE (SECTION 1010.10):
 EACH MEANS OF EGRESS DOOR IN AREAS HAVING AN OCCUPANT LOAD
 OF 50 OR MORE PERSONS SHALL BE EQUIPPED WITH PANIC HARDWARE.

13. TWO EXITS OR EXIT ACCESS DOORWAYS, SECTION 1015.2):
 WHERE A BUILDING IS NOT EQUIPPED WITH AN AUTOMATIC SPRINKLER
 SYSTEM THROUGHOUT, THE SEPARATION DISTANCE OF THE EXIT DOORS
 SHALL NOT BE LESS THAN ONE-HALF OF THE LENGTH OF THE MAXIMUM
 OVERALL DIAGONAL OF THE AREA SERVED.

14. MEANS OF EGRESS DOORS (SECTION 1008):
 THE MEANS OF EGRESS DOORS SHALL BE READILY OPENABLE FROM THE
 EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR
 EFFORT. HARDWARE INCLUDING DOOR HANDLES, PULLS, LATCHES, LOCKS,
 AND OTHER OPERATING DEVICES ARE REQUIRED TO BE ACCESSIBLE
 PER CHAPTER 11 OF THE BUILDING CODE AND SHALL NOT REQUIRE TIGHT
 GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.

15. MEANS OF EGRESS ILLUMINATION (SECTION 1008):
 THE MEANS OF EGRESS SHALL BE ILLUMINATED AT ALL TIMES THE SPACE IS
 OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS
 THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.

16. EXIT SIGNS (SECTION 1013):
 EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT
 SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.

17. PORTABLE FIRE EXTINGUISHERS, (SECTION 906.1):
 a) THE CONTRACTOR SHALL PROVIDE A TEMPORARY PORTABLE FIRE
 EXTINGUISHER ON THE PREMISES OF THE PROJECT DURING CONSTRUCTION.
 b) PROVIDE A PERMANENT PORTABLE FIRE EXTINGUISHER MEETING REQUIREMENTS
 FOR LIGHT (LOW) HAZARD, CLASS A FIRES. MAXIMUM TRAVEL DISTANCE TO
 EXTINGUISHER IS 75 FEET.

18. GLASS AND GLAZING (CHAPTER 24):
 ALL INTERIOR GLAZING SHALL BE IN ACCORDANCE WITH THE 2015
 MICHIGAN BUILDING CODE, SECTIONS 2401 THROUGH 2407.

19. ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE
 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808.

20. FIRE ALARM AND DETECTION SYSTEM SHALL BE PROVIDED AS
 REQUIRED PER SECTION 907 OF THE CODE. THE OCCUPANT
 LOADS DO NOT EXCEED THE NUMBER ALLOWED FOR F-1, S-2, OR
 M USES, THEREFORE NOT REQUIRED.

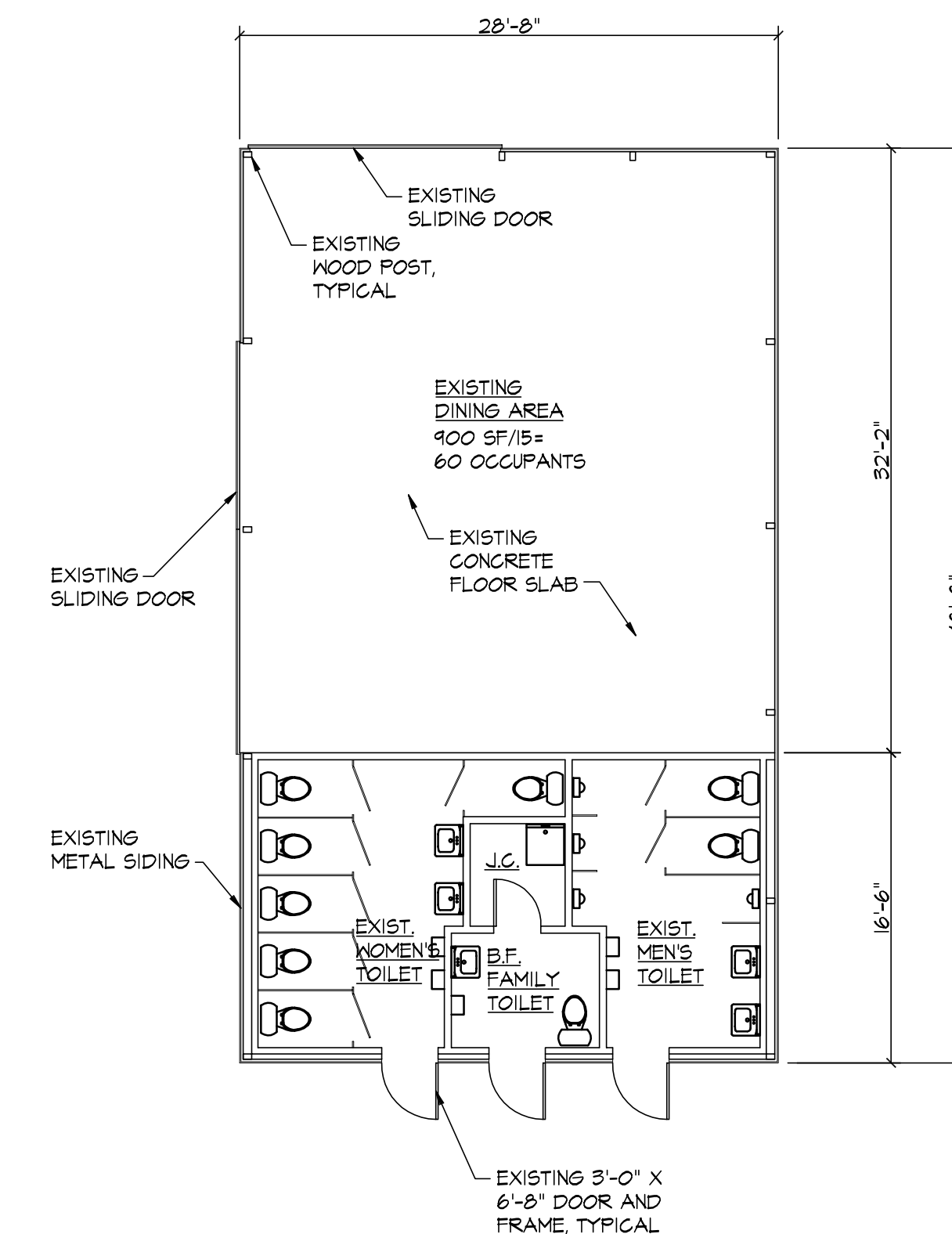
21. RECEPTION/SERVICE COUNTER SHALL HAVE A PORTION A MINIMUM
 OF 36" WIDE AND MAX. 36" HIGH FOR BARRIER-FREE ACCESS.

22. MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (2015 MPC, TABLE 403.1):
 M, MERCANTILE (MARKET)

WATER CLOSETS: MALE AND FEMALE, 1 PER 500
 LAVATORIES: MALE AND FEMALE, 1 PER 750
 BATH/SHOWER: N/A
 DRINKING FOUNTAIN: 1 PER 1,000
 (1) SERVICE SINK

F-1 AND S-2, FACTORY/STORAGE OCCUPANCY
 WATER CLOSETS: 1 PER 100 MALE, 1 PER 100 FEMALES
 LAVATORIES: 1 PER 100 MALE, 1 PER 100 FEMALE
 DRINKING FOUNTAIN: 1
 SERVICE SINK: 1

23. SEPERATE PLUMBING FACILITIES, (MPC, SECTION 403.2):
 EXCEPTION #2: SEPERATE EMPLOYEE FACILITIES ARE NOT REQUIRED
 IN OCCUPANCIES IN WHICH FEWER THAN 15 PEOPLE ARE EMPLOYED.



N
 EXISTING PAVILLION
 FLOOR PLAN
 1/8"=1'-0"

REVISIONS	
JOB NO:	018-005
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SCALE:	AS NOTED
SHEET NO:	

2024 Spicer's Orchard Winery Microbrewery Project

The Spicer and Cartwright families seek to expand the offerings at our current Winery tasting room. We want to add a selection of beer to reach an additional group of customers who are visiting the farm. There are no planned additions to our buildings. We are just adding equipment for brewing. The equipment will be located in current space located in our winery building.

