

Planning Commission

Larry Fox, Chairperson Michael Mitchell, Vice-Chairperson Tom Murphy, Secretary Summer L. McMullen, Trustee Sue Grissim, Commissioner Jim Mayer, Commissioner Matthew Eckman, Commissioner

Planning Commission Meeting Agenda Hartland Township Hall Thursday, April 24, 2025 7:00 PM

- Call to Order
- 2. Pledge of Allegiance
- 3. Roll Call
- 4. Approval of the Agenda
- 5. Approval of Meeting Minutes
 - a. Planning Commission Regular Meeting Minutes of April 10, 2025
- 6. Call to Public
- 7. Old and New Business
 - a. Site Plan/PD Application #25-001 Redwood Living Planned Development (PD) Phase II –Final Plan
 - <u>b.</u> Site Plan Application #25-006 Request to amend previously approved site plans for a mini warehouse establishment, under SP/SUP #22-015 (Old US -23; Tax Parcel ID #4708-28-300-023)
- 8. Call to Public
- 9. Planner's Report
 - a. Zoning Map and Future Land Use Map Updates
- 10. Committee Reports
- 11. Adjournment

HARTLAND TOWNSHIP PLANNING COMMISSION DRAFT REGULAR MEETING MINUTES

APRIL 10, 2025–7:00 PM

1. Call to Order: Chair Fox called the Work Session meeting to order at 7:00 p.m.

2. Pledge of Allegiance:

3. Roll Call and Recognition of Visitors:

Present – Commissioners Eckman, Fox, Grissim, Mayer, McMullen, Mitchell, & Murphy Absent – None

4. Approval of the Meeting Agenda:

A Motion to approve the April 10, 2025, Planning Commission Meeting Agenda was made by Commissioner McMullen and seconded by Commissioner Murphy. Motion carried unanimously.

5. Approval of Meeting Minutes:

a. Planning Commission Work Session Meeting Minutes of March 13, 2025.

A Motion to approve the Planning Commission Work Session Meeting Minutes of March 13, 2025, was made by Commissioner Grissim and seconded by Commissioner Mitchell. Motion carried unanimously.

6. Call to the Public:

None

7. Public Hearing

a. Site Plan/Planned Development Application #25-002 – Proposed restaurant with drive-through service (Chick-fil-A) at 10382 Highland Road Preliminary PD Site Plan

Chair Fox explained the process and opened the Public Hearing at 7:04 p.m. stating all public notice requirements have been met.

Director Langer stated the following:

- Gave an overview of the location of the project.
- Explained the three-step Planned Development process; Conceptual, Preliminary, Final.
 Tonight is Public Hearing and Preliminary Review. The Planning Commission makes a
 recommendation to the Township Board. The Township Board makes the final decision for
 both the Preliminary and Final Review.
- All structures will be demolished, and a new building will be constructed.
- The entrance onto M-59 will be closed.
- A sidewalk will be constructed along the M-59 frontage and down a portion of Blaine Road.
- There is an access to Blaine Road to the west.
- There will be a connection to the Rural King site to the south.

The Applicants, Leslie Accardo, Senior Project Manager, PEA Group; and Justin Lurk, Sr. Principal Development Leader at Chick-fil-A Corporate introduced themselves and stated the following:

- Offered some history of Chick-fil-A.
- This project is a franchise opportunity for a local owner/operator to have one location to own and operate, as is their policy, with the intention they will live, work and be a part of the community.
- Listed the following Community/Public Benefits:
 - o Creation of approximately 80-120 jobs.
 - Leadership and scholarship opportunities available to Team Members to help them pursue their education goals.
 - Donation of \$25,000 to Feeding America partners in Michigan including Forgotten Harvest,
 Food Band of Eastern Michigan.
 - o Tax Revenue based on new assessed value for redeveloped site.
 - o Economic Growth potential relating to redevelopment of surrounding properties.
 - o Extensive new landscaping and removal of non-desirable species.
 - Opportunity to participate in Chick-fil-A Shared Table, a program for local Owner-Operators to donate surplus food to charitable organizations in their community.
 - Local Owner-Operators in Detroit may participate in a back-of-house composting program
 with MyGreenMichigan with the goal of doing what we can in the restaurant to divert food
 waste.
- Closing down an access to M-59 is a benefit.
- Shared the site plan elevation drawings and intended signage.
- Canopies provide shelter for customers and the Team Members out in the queue lanes taking orders, providing customer service and improving their experience.
- Described the intended landscaping.
- Two drive-through order lanes allows for some flexibility for the owner/operator in dealing with the specifics of the order/delivery operations, control on-site traffic, and gain efficiency.
- Explained the site circulation and access.
- Designed to separate the parking and customer access to the building from the drive-through lanes for safety purposes.

Call to Public:

- Jason Fowler, Hartland Township; expressed concerns about traffic on Blaine Road. Asked that the Blaine Road access be closed.
- Brian Madden, Hartland Township; expressed concerns about traffic. Asked that the Blaine Road access be closed.
- Steven Ford, Hartland Township; expressed concerns about traffic.
- Glenn Prinzing, Hartland Township; expressed concerns about traffic.
- William Metz, Hartland Township; expressed concerns about traffic.
- Lorna Coury, Hartland Township; expressed concerns about traffic. Asked that the Blaine Road access be closed.
- Laura Skipworth, Hartland Township; expressed concerns about traffic. Asked that the Blaine Road access be closed. Asked about utilizing the Rural King parking lot.
- Jessica Brooks, Hartland Township; expressed concerns about traffic. Questioned the rezoning of the property for this project. Asked that the Blaine Road access be closed or be an exit only.

- Lori Steczkowski, Hartland Township; expressed concerns about traffic and vehicles pulling trailers.
- William Vicary, Hartland Township; agrees with concerns about traffic. Suggested the Blaine Road access not be used and the site accessed from the east.
- Alic Wyland, Hartland Township; expressed concerns about the Blaine Road/M-59 intersection. Asked that the Blaine Road access be closed.
- Douglas Fekete, Hartland Township; expressed concerns about Wendy's traffic onto Blaine Road and general traffic concerns.
- David Brooks, Hartland Township; expressed concerns about traffic. Asked that the Blaine Road access be closed.
- Brian Madden, Hartland Township; Suggested the Blaine Road access not be used and the site accessed from the east.

Chair Fox closed the Public Hearing at 7:55 p.m.

Discussion

Chair Fox referred to the staff memorandum dated April 3, 2025.

Eligibility Criteria (Section 3.1.18.B.)

Recognizable Benefits

Chair Fox stated they were listed earlier by the Applicant.

Minimum Size

Director Langer the Zoning Ordinance required a lot size minimum of twenty (20) acres for a Planning Development. This parcel is approximately 1.66 acres and does not comply. The Applicant is requesting a waiver. Director Langer noted that the Planning Commission has recently approved several projects in Hartland Township as Planned Developments that did not meet the lot size minimum and listed those projects.

Use of Public Services

The Planning Commission offered no comments.

Compatibility with Comprehensive Plan

Chair Fox stated the proposed project is consistent with the Comprehensive Plan and the Commercial designation.

Unified Control

The Planning Commission offered no comments.

Planned Development Design Standards (Section 3.1.18.C.)

Permitted Uses

Director Langer explained the current zoning of the property is GC General Commercial and a fast-food restaurant with a drive-through is a permitted use in that zoning district. The Planned Development process allows the Planning Commission the flexibility to address some of the concerns raised about the project better than traditional zoning. Yes, it is being rezoned to PD, but the current zoning of GC would allow the use as well. The PD essentially limits the uses to this

project where there are many uses permitted in the GC category. Chair Fox state the Planned Development is a commonly used tool in Planning. He continued without the PD process there would not be an Emagine, or a Walgreens, or a Chase Bank, or a Meijer and residents would be driving to other communities for those businesses.

Residential Density

Chair Fox stated this standard does not apply.

Design Details

Chair Fox explained in other projects a Pattern Book might be used as the exact details of the future building may not be known at the time of approval. This Applicant has submitted site plans and architectural drawings which will be reviewed and approved.

Minimum Yard Requirements

Director Langer stated the two road frontages do not comply with the standard, but the others do comply.

Dumpster Enclosure

Director Langer stated the setback for a dumpster enclosure is typically twenty-five (25) feet. The proposed enclosure is ten (10) feet from the Blaine Road right-of-way line and does not comply. Chair Fox stated the road rights-of-way are shown on the site plan and are under the jurisdiction of either Livingston County Road Commission (LCRC) or Michigan Department of Transportation (MDOT); the right-of-way for M-59 is quite large.

Drive-through Canopies

Director Langer stated the west canopy, front near Blaine Road, and east canopy, side near the side property line do not comply with the setback.

Building Height

Director Langer stated per the architectural plans, the restaurant building height is stated as 20'-10". The canopies over the drive-through lanes are 9'6" in height, as measured to the underside of the canopy. There was a typographical error on page 9 of the memorandum. The project complies.

Parking and Loading

Director Langer stated parking spaces are determined through usable floor area; 48 are required, they are providing 52. He is unsure of the stacking space data. The stacking lanes are pushed to the outer portions of the site to ensure all of the traffic stays on the site and does not spill onto neighboring streets. The Ordinance required parking spaces to be 10 feet by 20 feet, they are proposing a majority of parking spaces at 9 feet by 20 feet. This was discussed during the Conceptual Review.

Landscaping

Chair Fox stated a more detailed discussion of Landscaping will occur later.

Open Space

Director Langer stated the GC General Commercial requirement is 25 percent; their plan proposes 26.6 percent Open Space.

Commissioner Mayer circled back to the stacking spaces stating 13 per lane are required, 44 are shown.

The Applicant interjected the 10-foot-wide parking spaces are along the front and the side, the banks in the middle are 9-foot spaces so they have a mix.

Natural Features

Chair Fox stated this site is being redeveloped so there is no real discussion needed.

Sidewalks and Pedestrian Access

Director Langer stated the following:

- There is a sidewalk on the south side of M-59 currently.
- The existing access to M-59 will be removed and a new section of 5-foot-wide sidewalk will be installed connecting with the existing as well as a new sidewalk going to the site.
- On the west side where the sidewalk currently ends. The Applicant intends to continue the sidewalk to the south side of the Blaine Road access.

Chair Fox stated when MDOT did the boulevard improvements to M-59, they stopped at that location and the Township had no tools to add more. Now that can be rectified through this PD.

Requirements for Preliminary Review (Section 3.1.18.E.ii)

Sewer and Water

Chair Fox stated the Department of Public Works has provided a review letter which outlines the number of REU's required for the proposed development and the Applicant is aware.

Stormwater and Drainage Systems

Chair Fox stated they are proposing underground storage.

Traffic Impacts

Director Langer stated the following:

- The Applicant provided a technical memo from Fishbeck that provides some traffic estimates from the updated 13th Edition of the Institute of Transportation Engineers (ITE) Manual.
- Thie memo is using newer information than the Township Staff provided so disregard what is in the memorandum.
- Some have questioned why a traffic study was not required. The Township defers to LCRC and MDOT as they have jurisdiction over the roads; Hartland Township does not have any jurisdiction over Blaine Road (LCRC) or Highland Road/M-59 (MDOT.) Emails from both agencies are included in the packet. Both have indicated a traffic study is not needed.
- Traffic Engineering examines Land Uses and not specific businesses. The ITE Manual compares the square footage of the existing Burger King restaurant to the proposed square footage of the new structure and analyzes how many trips ends would be generated per 1000 square feet of gross floor area in the AM Peak Hour and the PM Peak Hour. The increase in the size of the proposed structure for Chick-fil-A is not enough to warrant that type of traffic analysis.
- Staff tried to provide an analysis, and the Applicant has provided a more updated analysis.

- Through conversations with the Applicant, the Township has added a condition that the Blaine Road access be closed temporarily for 30 days following the issuance of a Certificate of Occupancy. The long-term closure of that access was a concern to the Applicant, but a compromise was reached hoping that after 30 days, the newness of the business will have worn off and settled into a more routine rate.
- In addition, the Township worked with the Applicant to locate their monument sign as far away as possible from the Blaine Road intersection and closer to the east to encourage drivers to use Glen Meadows Drive to access the site. The advantage of the PD comes in with the addition of the off-site directional signage, which is typically not permitted, to encourage traffic to use the interior Hartland Plaza access drives to the east to exit the site onto M-59 rather than exiting west to Blaine Road.

Chair Fox added the Township does not own the roads. The County and the State own the roads. A City, like Brighton or Howell, has control over the roads they own. They could say, "You cannot access Blaine Road," because they own Blaine Road. The Township has had discussions for years with both Livingston County and the State of Michigan about the roads, and more recently working with our State Representative, to resolve the traffic issues. We understand and drive the same roads you drive. He wanted to reiterate that information so if the County says they are not closing the Blaine Road access, then the Blaine Road access cannot be closed. We cannot move stoplights or change signaling on stoplights, we cannot add no left turn signs, those things are not under our control. We have a great relationship with the County, but they have their standard way of looking at things.

Commissioner Eckman added some ask why we do not force everyone to turn into the complex at Rural King. This is not one big development; Rural King is a condominium so that access is privately owned and maintained. Many of the questions people are asking have already been thought of and these issues are not as simple as one might think. Chair Fox added often the lots in front of a development are part of the same development but not in this case. This property is not part of the Rural King/Noble Appliance shopping center, it was already in existence when those buildings were constructed. On the north side of M-59, it is all part of one big development so there are many controls up there. This site is a standalone site, and we are working with it as best as we can. We understand the traffic. We do not need Chick-fil-A to have traffic problems in Hartland.

Commissioner Mayer asked about the limits of the property. Director Langer indicated on the site plan the area to the southeast not in the shaded area stating that portion of the land belongs to Rural King, but the Applicant has offered to clean it up. More details are coming later.

Vehicular Circulation

Director Langer displayed a graphic of the site circulation from public rights-of-way and the various access opportunities. The M-59 access will be closed. By working with the Applicant, the goal through directional signage is to encourage traffic to exit using the eastern egress options. For the initial 30 days after opening, one condition for approval is that the Blaine Road access be closed so traffic will have to use the other options. Chair Fox stated he uses the ring road access drive and other options frequently when visiting the Rural King complex and never uses Blaine Road. Those roads are there to offer an alternate route.

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Fiscal Impacts

Chair Fox mentioned the applicant has provided a response to this topic in the submittal entitled "Fiscal Impacts."

Site Requirements

Fast-food and Drive-through Restaurants (Sec. 4.28)

Minimum Frontage

Chair Fox stated the requirement is for 200 feet of frontage; however, this is an existing property being redeveloped and existing parcel dimensions are not changing. They do have 382 feet along Blaine Road.

Location of driveways

Chair Fox stated they meet the requirements.

Control of Sound Level

Director Langer stated staff requested information for the sound levels, but it came in after the memorandum was completed but has been provided to the Planning Commission. The Applicant has indicated that it will comply, but staff will certainly look at that information in more detail as they proceed to the construction phase. The Applicant stated the ordering speakers are designed with a noise moderating feature where the volume rises and falls depending upon background noise which helps keep the volume as low as possible.

Stacking Space and Lanes

Chair Fox reiterated the requirement is for 13 stacking spaces and they are providing 44.

Outdoor Seating and Dining (Sec. 4.47)

Chair Fox stated the Applicant said they will comply with the standards.

Dumpster Enclosure (Sec. 5.7)

Chair Fox asked if the materials for the dumpster enclosure would match the building. The Applicant stated yes they will. Also, the walls are eight (8) feet tall with an enclosed room for storage.

Off-Street Parking (Sec. 5.8.4.H – Fast food restaurant with drive-through service)

Director Langer stated these standards are the usual standards that apply to a fast-food restaurant with drive-through service; previously discussed were the standards in a PD, which is why they appear twice. They comply with the number of parking spaces but some of the spaces are 9' by 20' rather than 10' by 20'.

Barrier-Free Parking

Chair Fox stated they have three which complies.

Loading (Sec. 5.9)

Director Langer stated when the ordinance was written, the assumption was if the parking lot were completely full and peak hours and the delivery truck showed up, there would need to be a place for that large vehicle. Over time it has been determined that it rarely happens, and it only adds more pavement to the project which is undesirable. It is common through the PD process to waive that

standard to minimize the amount of asphalt on the site and increase the landscaping as is occurring here.

<u>Landscaping (Sec. 5.11 - Updated Landscape Ordinance version)</u>

Landscape plan requirements (Sec. 5.11.1.D.)

Chair Fox stated Landscape plans are required to be prepared by a Registered Landscape Architect, and they are.

Greenbelt Landscaping (Sec. 5.11.2. C.)

Along Highland Road

Commissioner Grissim stated the following:

- Existing overhead lines prevent trees from being planted in the Greenbelt area.
- They are trying to make up for that with other plants which is typical throughout the whole site.
- They have met the requirements but have used other locations for the plantings.
- Each case is its own story; you can see they are trying to comply.
- Due to site constraints the plantings are not always where we want them, but they are doing their best to comply.
- Around the foundation, there may not be room, but those items have been relocated where they do fit; it is a trade back and forth.
- Appreciate the Applicant is willing to clean out the property they do not own to improve the overall appearance of the complex; possibly when that is cleaned out, that area could be used for locating trees that did not fit elsewhere.
- In comparison with other M-59 properties, this site is more heavily landscaped than many others.

Commissioner Mayer asked for additional green screening or arborvitae since the dumpster enclosure is so close to Blaine Road.

Lighting (Sec. 5.13)

Director Lanter stated the following:

- Requirements for Lighting at the property line are limited to a specific amount.
- Requirements for lighting under the canopies are limited to a specific amount.
- There are a couple of areas around the building and in the parking lot that exceed the light levels.
- Under the canopies, there are areas that exceed the light levels.
- These canopies are somewhat unique. A fuel station canopy is 20 feet high, those proposed are 9 feet 6 inches. He is unsure if the distance affects the light level, but the numbers were higher than the standard.

Chair Fox stated he has never noticed the light levels under a Chick-fil-A canopy and does not have an answer to the distance question. The Applicant stated they have the ability to dim the lights but even dimming them as much as possible they still cannot meet the requirements. They did include some photos of other stores at night to demonstrate what it looks like. It is not egregious, but it was around one footcandle. Director Langer mentioned these are not normal canopies, they have their employees working in that space.

The Planning Commission briefly discussed canopy lighting, fuel stations canopies, the Dark Sky Initiative, lighting plans, and past experiences.

Commissioner Grissim stated she was surprised to see the readings at 18; she was expecting more like 15. It seems high. The Applicant stated they would follow up with their lighting designer to see if more can be done.

Commissioner Murphy asked if they had any issues with the canopy height and vehicles with cartop carriers. The Applicant stated they have breakaway bars at the entrances to alert a driver that their vehicle may be too tall for the canopy.

Water Supply and Wastewater Disposal (Sec. 5.16)

Chair Fox stated the site will be served by municipal water and sanitary sewer.

Architecture / Building Materials (Sec. 5.24)

Director Langer stated the following:

- Building elevation is all brick indicating they have gone above and beyond the standard requirements.
- Restaurants have rooftop units (RTU), and our Ordinance requires all RTUs be screened on all sides of the equipment and not visible from one thousand (1,000) feet of the equipment.
- Typically, the applicant will provide building elevations that show the roof deck, parapet walls, and an outline of each mechanical unit. Each elevation drawing should show that the top of each rooftop unit (RTU) is at the same level or below the parapet wall, to ensure each RTU is completely screened.
- Sight line drawings of the building and the RTUs, as measured 1,000 feet from the equipment could also be provided.
- The applicant provided building elevations that show the roof deck, parapet walls, and an outline of each RTU.
- Per the submitted elevation drawings, each RTU projects above the parapet walls. The sight lines are measured at six (6) feet above grade and commence at the adjacent property line for each side of the building. The sight line measurements range from 72 feet to 131 feet.
- The Applicant also submitted photographs showing newly constructed Chick-fil-A buildings in Roseville and Flint, using the same building design as the one proposed for Hartland, and RTUs are not visible in the photographs provided for each building. Staff also visited the sites and submitted photographs.
- The Site Plan Review Committee of the Planning Commission, having reviewed the sight line drawings and photographs, determined the RTUs are screened by the parapet walls for the proposed building in Hartland.

Chair Fox stated he was the one with concerns, has visited the existing site multiple times, gone out to 1000 feet and cannot see the RTUs. He does not understand why the drawings look one way and reality another. He is comfortable with the proposed design given his visits to other sites.

Architecture Comments

Chair Fox stated again they exceed all of the requirements certainly for Hartland.

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Drive-through canopies

Chair Fox stated this has been discussed.

Other Comments

Director Langer stated the following:

- Other than the setback, the monument sign complies with all of the regulations.
- There are three (3) walls signs where typically two (2) are allowed. Two are Chick-Fil-A signs and the other is a Welcome sign. Normally their signs are letters on a panel, but the Ordinance requires channel letters, so they have complied.
- Directional signs and off-site directional signs were discussed earlier understanding the intent is to use the additional signage to direct customers and traffic away from Blaine Road and divert it to other access points.
- Many options were discussed with various agencies regarding traffic control, leaving the M-59
 access open, or closing the Blaine Road access; it was a very difficult topic to address. None
 of those options worked. These are the compromises achieved.

Commissioner Murphy wanted to confirm the landscaping would not cover the monument sign as some others do. Commissioner Grissim stated it should be visible. The Applicant stated they plan perennials only in that area.

Menu Board

Chair Fox stated there are two menu boards and they will comply with the Ordinance.

Planning Commission Comments

Commissioner Mayer commented on the 6-inch fire service water line design that may require a change.

Director Langer commented that traffic is a monumental issue and there have been many great comments offered this evening. Part of the dilemma is the separation of what the Township has authority over, what the road agencies like Livingston County Road Commission and MDOT have authority over, and the legal rights of the property owner. It is much more complicated than most people understand. He honestly believes the compromises they have achieved are the best that we can get. Now it will fall to the Planning Commission and the Township Board to decide.

The Applicant circled back to the question regarding stormwater overflow prevention stating they are complying with Livingston County Drain Commission standards but there is also a drain and outlet adjacent to the site.

Commissioner Murphy asked about signage and internal stop signs on the other portions of Hartland Plaza/Hartland Marketplace suggesting that Chick-fil-A work with the property owners on that issue to replace missing items properly and spruce up the rest of retail complex.

Commissioner Mayer asked if the Township could reach out to MDOT regarding the timing of the lights. Director Langer stated they can, but he does not expect it to change. Chair Fox stated MDOTs concern typically is M-59 the level of service on their road. He also stated there were many discussions and MDOT did look at this project. It was more than an email.

Commissioner Grissim stated we hear the comments and our hands are tied. What if after the first 30 days, the Blaine Road access opens, and it is a nightmare. Would they consider doing anything more for the community? The Township will continue to reach out to MDOT of course but would the Applicant consider doing more.

The Applicant stated it would be up to the franchise owner who has not been chosen yet but if you put yourself in their place, this is their sole income, would you want to have a traffic mess around your store that might prevent others from patronizing the business? That owner/operator will make the choice for that business that is best for that situation. Some mentioned Novi, it was the height of the pandemic, no indoor dining was permitted, everything was drive-through and that was the second store in that market. This store will be number 20 or 25. They intend to continue to expand in Michigan to avoid one big draw as occurred in Novi and Allen Park during the pandemic and strategically place them to avoid that effect. Once a store opens they experience a surge for about a month, then it calms to a normal amount but as the staff becomes more experienced, they move cars through the process faster eliminating some of the backup. They are not avoiding or refusing to do a traffic impact study; they talked directly to those agencies about it, and all stated it is not warranted for this use. Their data was close to the Fishbeck data, approximately 1200 in and 1200 out, not 2500 separate visits. They track transactions which are approximately 110 to 1500 per day and there may be multiple transactions per vehicle. They expect generally to attract 750 cars per day onto the network that are not on the network already. There is a perception that they bring in 20,000 cars per day and that is not reality.

Commissioner Eckman stated he would like to act on this request now. He supports the project not because he is not concerned about traffic, but the Township would need some actual information to determine this would be a problem for traffic. The Planning Commission uses the experts in those areas like the traffic engineers, the ITE Manual, MDOT and Livingston County to guide their decisions. If they had required an additional lane or some road improvements, that is something that could be added. At the end of the day, a fast-food restaurant is replacing a fast-food restaurant. There would have to be very significant reasons for the Township to deny a proposal like this. Increase in traffic is not a reason to stop development. The Township cannot require a business close or be s different kind of business to reduce traffic. The Planning Commission cannot set new standards. If it were a discussion on future planning use, then that would be the time to address those issues, but this is a site that was a restaurant, and it is going to be a restaurant again.

Commissioner Mitchell stated for the record three communications supporting the project were received.

Commissioner Eckman offered the following Motion:

Move to recommend approval of Site Plan/PD #25-002, the Preliminary Planned Development Site Plan for Chick-fil-A Planned Development, as outlined in the staff memorandum dated April 3, 2025.

Approval is subject to the following conditions:

- 1. The Preliminary PD Site Plan for Chick-fi-A, SP/PD Application #25-002, is subject to the approval of the Township Board.
- 2. The applicant shall adequately address the outstanding items noted in the

Planning Department's memorandum, dated April 3, 2025, on the Construction Plan set, subject to an administrative review by Planning staff prior to the issuance of a land use permit.

- 3. Upon the issuance of a Certificate of Occupancy, the Blaine Road access shall be temporarily closed for thirty (30) days.
- 4. Applicant complies with any requirements of the Township Engineering Consultant, Department of Public Works Director, Hartland Deerfield Fire Authority, Michigan Department of Transportation (MDOT), Livingston County Road Commission (LCRC), Livingston County Drain Commission (LCDC), and all other government agencies, as applicable.

Seconded by Commissioner Murphy. Motion carried unanimously.

8. Call to the Public:

- Jason Fowler, Hartland Township; restated his traffic and safety concerns, and feels the project should not be approved.
- Lori Steczkowski, Hartland Township; restated her traffic concerns and feels redirecting traffic through the adjacent complex will not help.
- Jerrad Beauchamp, Hartland Township; supports the project, has traffic concerns, and would suggest making the Blaine Road right turn exit only.
- Jessica Brooks, Hartland Township; expressed concern about the maintenance of the other entrances and exits as they are historically poorly maintained.

9. Planner Report:

Director Langer is looking for input from the Planning Commission regarding the updating of the Zoning Map and Future Land Use Map.

10. Committee Reports:

None

11. Adjournment:

A Motion to adjourn was made by Commissioner Mitchell and seconded by Commissioner Mayer. Motion carried unanimously. The meeting was adjourned at approximately 9:45PM.

Hartland Township Planning Commission Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Site Plan/PD Application #25-001

Redwood Living Planned Development (PD) Phase II –Final Plan

Date: April 17, 2025

Recommended Action

Move to recommend approval of Site Plan/PD #25-001, Final Plan for Redwood Living Planned Development Phase II, as outlined in the staff memorandum dated April 17, 2025

Approval is subject to the following conditions:

- 1. The Final Plan for Redwood Living Planned Development Phase II, SP/PD #25-001, is subject to the approval of the Township Board.
- 2. Final approval of the Redwood Planned Development Phase II (SP/PD Application #25-001), shall require an amendment to the Zoning Ordinance to revise the zoning map and designate the subject property as PD (Planned Development). The subject property, which constitutes the planned development project area (29.89 acres total), and is to be rezoned to PD, is as follows:
 - a. Tax Parcel ID #4708-26-100-023 (29.89 acres in size); currently zoned HDR (High Density Residential) and CA (Conservation Agriculture).
- 3. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated April 17, 2025, on the Construction Plan set, subject to an administrative review by Planning staff prior to the issuance of a land use permit.
- 4. The Planned Development Agreement and any easements shall comply with the requirements of the Township Attorney.
- 5. As part of the Final Plan Review, the applicant, and/or any future owners shall agree to not interfere or object to any future roadway and/or pedestrian connections to the east. Any future ingress-egress easement agreement shall comply with the requirements of the Township Attorney.
- 6. Applicant complies with any requirements of the Township Engineering Consultant, Department of Public Works Director, Hartland Deerfield Fire Authority, Michigan Department of Environment, Great Lakes, and Energy (EGLE), and all other government agencies, as applicable.
- 7. The applicant shall obtain approval of a land division for the parcel associated with the proposed project.
- 8. (Any other conditions the Planning Commission deems necessary).

Discussion

Applicant: Redwood Living

Site Description

The proposed planned development (PD) is shown in the northwest portion of Hartland Glen Golf Club. Currently the golf course property is primarily zoned CA (Conservation Agricultural), and other portions are zoned HDR (High Density Residential). The golf course property, addressed as 12400 Highland Road, is west of Pleasant Valley Road, south of Cundy Road, and west of Hartland Glen Lane. The golf course property is approximately 352.69 acres (Parcel ID # 4708-26-100-023).

In 2017, the northern portion of the golf course property and two adjacent properties on Cundy Road, were rezoned to HDR under Rezoning Application #361; however, the zoning lines are not defined on the current zoning map. The HDR portion is approximately 73 acres.

Redwood Living PD Phase I occupies approximately 27.14 acres (Parcel ID #4708-26-100-020), in the northeast portion of the former golf course property. This phase consists of thirty (30) single-story, multi-unit apartment buildings, with a total of 148 apartment units. Phase I is currently under construction.

The proposed project, Redwood Living Planned Development Phase II, occupies approximately 29.89 acres of the golf course property, in the northwest part of the golf course (Parcel ID #4708-26-100-023). The two (2) residential developments (Phase I and II) are connected via internal private roadways. Phase II has twenty-eight (28) single-story, multi-unit apartment buildings and a total of 130 apartment units.

The proposed site development plan shows proposed parcel/property lines that delineate the project area. A land division request and application will be reviewed separately.

Existing wetland areas/ponds are shown on the submitted plans.

West of the proposed Redwood Living PD Phase II project area, properties are zoned SR (Suburban Residential) and are part of the Handy Maxfield Shores subdivision, with single-family residences on each lot. Properties to the north are zoned CA and are occupied by single-family residences. Three (3) adjacent properties to the south are zoned CA and are occupied by single-family residences (by southwest corner of the subject site). The golf course property to the south is zoned CA or HDR.

Public access to the proposed development is via two (2) private roadways that are part of Redwood Living PD Phase 1. An emergency access road is shown on the south side of the development, for a future connection. An ingress/egress access agreement will be provided as part of the Final Plan Review.

Hartland Glen Golf Course was previously designated as Medium Suburban Density Residential on the 2015 Future Land Use Map (FLUM); however, in 2020-2021, several amendments were made to the FLUM and Comprehensive Development Plan. The amendments were approved by the Township Board on May 18, 2021. One of the areas that was amended is the Hartland Glen Golf Course property, which is now designated as a Special Planning Area (SPA), thus the proposed Redwood Living PD Phase 2 project area is designated as SPA on the amended FLUM.

The 2020-2021 Amended Future Land Use Map designations for properties adjacent to the subject site (29.89-acre site) are as follows:

North: Medium Suburban Density Residential

South: Medium Suburban Density Residential and Special Planning Area

East: Special Planning Area

West: Medium Urban Density Residential

Site History

REZ #361 (2017)

In 2017, approximately 73 acres were rezoned from CA (Conservation Agricultural) to HDR (High Density Residential), under Rezoning Application #361. The property associated with the rezoning request included approximately 71 acres of the golf course property (the northern nine (9) holes of the golf course) and two (2) parcels on Cundy Road, with single-family residences, equating to an additional two (2) acres of land, for a total of 73 acres. The properties on Cundy Road are addressed as 12396 and 12398 Cundy Road. The remaining portion of Hartland Golf Club property was zoned CA at that time.

Site Plan/PD Application #20-008 Redwood Living Planned Development (Phase I) – Concept Plan The Concept Plan for Redwood Living PD was discussed under Site Plan Application #20-008. The Planning Commission reviewed the project on August 20, 2020, followed up by the Township Board's review at their September 15, 2020 meeting.

<u>Site Plan/PD Application #21-005 Redwood Living Planned Development (Phase I) – Preliminary Planned Development Site Plan</u>

The Preliminary Planned Development Site Plan for Redwood Living PD was reviewed by the Planning Commission under Site Plan Application #21-005. On June 24, 2021, the Planning Commission held a public hearing for the project. Upon review of the project, the Planning Commission requested the applicant revise the plans to address several items that were discussed at the public hearing, prior to the Planning Commission making a recommendation on the project. The Planning Commission reviewed the revised plans at their regular meeting on Thursday, July 22, 2021, and recommended approval of Site Plan/PD Application #21-005.

The Township Board approved Site Plan/PD Application #21-005 at their regular meeting on August 17, 2021. The approved plan for SP PD #21-005 shows thirty (30) single-story, multi-unit apartment buildings, with a total of 148 apartment units and a project area of approximately 27.14 acres. The proposed density is 5.42 dwelling units per acre, and a density bonus was recommended by the Planning Commission.

Site Plan/PD Application #22-003 Redwood Living Planned Development (Phase I) – Final PD Site Plan At their regular meeting on March 17, 2022, the Planning Commission recommended approval of SP/PD #22-003. The Township Board approved SP PD #22-003 at their regular meeting held on April 5, 2022, and included approval of a density bonus. Approval of SP/PD #22-003 constituted a rezoning of the subject properties associated with Redwood Living PD, from CA and HDR to PD (Planned Development). This also constituted an amendment to the Township zoning map.

Site Plan/PD Application #23-007 Redwood Living Planned Development Phase II – Concept Plan The Concept Plan for Redwood Living PD Phase II was discussed under SP/PD #23-007. The Concept Plan was reviewed by the Planning Commission on July 27, 2023, and the Township Board on August 15, 2023. The Phase II Concept Plan, approximately 28.71 acres, consists of twenty-seven (27) single story apartment buildings, with a total of 130 dwelling units. Public access to the development is via two (2) private

roadways associated with Redwood Living PD Phase I. Emergency access is shown on the south side of the site, as a future connection.

Site Plan/PD Application #24-003 Redwood Living Planned Development Phase II – Preliminary Plan On April 25, 2024, the Planning Commission held a public hearing at their regular meeting, to review Redwood Living PD Phase, Preliminary Plan. Upon review of the project the Planning Commission requested the applicant revise the plans to address various comments raised at the public hearing, prior to the Planning Commission making a recommendation on the project. Revised plans (dated June 4, 2024) were submitted and reviewed by the Planning Commission at their regular meeting on June 27, 2024. On that date the Planning Commission recommended approval of SP/PD #24-003.

The Township Board approved Site Plan/PD Application #24-003 at their regular meeting on July 23, 2024. Approval of the Preliminary PD Site Plan included the following conditions:

- 1. The Preliminary Planned Development Site Plan for Redwood Living Planned Development Phase II, SP/PD #24-003, is subject to the approval of the Township Board.
- 2. Waiver request for the development monument sign to be located off-site is approved.
- 3. Waiver request for an interim sign to be located off-site is approved.
- 4. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandums, dated April 18, 2024, and June 20, 2024, on the Construction Plan Set, subject to an administrative review by Planning staff prior to the issuance of a land use permit.
- 5. As part of the Final Plan Review, the applicant shall provide a Planned Development (PD) Agreement that includes any applicable ingress-egress access easements and agreements between all applicable parties. The applicant, and/or any future owners shall agree to not interfere with or object to any future roadway connection to the south. All applicable easements and documentation for the off-site signage shall be submitted with the Final PD submittals. The documents shall be in a recordable format and shall comply with the requirements of the Township Attorney.
- 6. The applicant shall obtain approval of a land division for the parcel associated with the proposed project.
- 7. Applicant complies with any requirements of the Township Engineering Consultant, Department of Public Works Director, Hartland Deerfield Fire Authority, Michigan Department of Environment, Great Lakes, and Energy (EGLE), and all other government agencies, as applicable.

Planned Development Procedure

Section 3.1.18 of the Township's Zoning Ordinance provides standards and approval procedures for a PD Planned Development. Approval of a Planned Development is a three-step process. A Concept Plan, Preliminary Plan, and Final Plan are all reviewed by the Planning Commission and the Township Board, with the Planning Commission making a recommendation and the Board having final approval at each step. The process usually requires a rezoning from the existing zoning district to the Planned Development (PD) zoning district.

As part of the rezoning, a public hearing is held before the Planning Commission consistent with the Michigan Zoning Enabling Act; this public hearing is held at the same meeting during which the Planning

Commission reviews and makes a recommendation on the Preliminary Plan. Approval of the Final Plan by the Township Board usually constitutes a rezoning of the subject property to PD. The public hearing was for the Preliminary Plan was held at the April 25, 2024, Planning Commission regular meeting. Approval of the Final Plan by the Township Board usually constitutes a rezoning of the subject property to PD.

For all intents and purposes, the Preliminary Plan step is essentially the same as a preliminary site plan review for a conventional project in the Township. All the information and details required for a preliminary site plan approval must be provided for the Preliminary PD review and approval. Final PD review will involve detailed plans for those phases for which construction is intended to begin immediately, review of the Planned Development Agreement, and other written documents as applicable.

Proposed Use and Project Summary

Redwood PD Phase II is a residential planned development and essentially is a continuation of Redwood Living Phase I. Similar to Redwood Living PD Phase I, the target market for this residential development includes empty nesters, seniors, and young professionals; however, the development is not age restricted. The building styles, building materials, and interior layout options are similar to those found in Phase I.

Phase II of the proposed residential planned development consists of twenty-eight (28), single-story, multiunit apartment buildings. The project area is approximately 29.89 acres in size. The Final Plan shows the footprint of each of the twenty-eight (28) apartment buildings and with a total of 130 apartment units.

Following is a summary of Phase I and Phase II:

Phase	Development Area (Acres)	#Apartment Units
Phase I	27.14 acres	148 units
Phase II	29.89 acres	130 units
TOTAL	57.03 acres	278 units

There are two (2) types of apartment buildings in Phase II: 4-unit and 6-unit. Nineteen (19) buildings are 4-unit buildings. Nine (9) buildings are 6-unit buildings.

Public access to the development is via two (2) private roadways associated with Phase I. Internally the residential units are served by several private roadways. The roadway design is the same as in Phase I, with a concrete travel lane having a width of twenty-two (22) feet plus an integral 5-foot-wide, accessible sidewalk, on one side of the roadway, that is scored and stained to delineate it from the travel lane. The total width is twenty-seven (27) feet.

A mail kiosk and associated parking are located at the northeast corner of Phase II.

Minor modifications to overall plan on the Final Plan

Minor modifications are proposed on the Final Plan as summarized below:

• The plans approved under SP/PD #24-003, Preliminary Site Plan, showed three (3) of the 6-unit buildings having extended garages (18 units total). The extended garage has an extra four (4) feet of garage length to accommodate larger vehicles.

The plans submitted for the Final Plan, SP/PD #25-001, show additional extended garages, for a total of fifty (50) units with extended garages. Each unit with an extended garage is marked with an "EX" on the site plan. Extended garages are proposed for five (5) of the 4-unit buildings and five (5) of the 6-unit buildings. The buildings with the extended garages are summarized below.

Extende	d Garages
---------	-----------

Building Designation	# of Units in Building
HH	4
JJ	4
MM	6
PP	6
RR	6
UU	4
WW	4
BBB	6
ННН	4
JJJ	6
TOTAL Extended Garages	50

The plans indicate driveways are a minimum 25 feet in length for the units with extended garages, as measured along the driveway from the leading edge of the unit to the back of the street or to the leading edge of the sidewalk pavement.

- Minor revisions occurred to the stormwater detention basin including adding landscaped berms on the
 east and south sides of the basin to screen the view of the basin, specifically from Buildings LL and
 MM. A landscape plan was not provided but will be required as part of the Construction Plan set and
 reviewed under a land use permit application.
- Two (2) proposed landscaped berms are shown on the west side of the development as were discussed previously under the Preliminary Site Plan application (SP/PD #24-003). A landscape plan will be required as part of the Construction Plan set and will be reviewed under a land use permit application.

Legal Documents and Submittals

As noted previously the primary focus of the Final Site Plan stage of the planned development review process is the legal documentation, particularly the Planned Development Agreement. This document memorializes the developer's obligations and sets forth the terms and conditions negotiated and to be agreed to by the applicant and the Township. Approval of the planned development proposal is based on the Final Plan and the planned development agreement. Additionally, approval of the Final Plan by the Township Board constitutes a rezoning of the subject properties to PD (planned Development), and an amendment to the Township zoning map.

Following is a brief discussion of the PD Agreement and the exhibits submitted.

Redwood Living Planned Development Agreement - Draft Version

The PD Agreement outlines the terms and conditions to be agreed to by the applicant and the Township. The draft version of the PD Agreement has been reviewed by the Township Attorney and the Planning Department. Comments were provided to the applicant, but the applicant has not had time to make the changes to the document. Additional comments may arise at the Planning Commission and Township Board when this application is being reviewed, thus the draft version has been provided at this time. The final document shall be subject to the approval of the Township Attorney.

Of note in the draft document, is a list of Permitted Uses (page 2) and Prohibited Uses, as follows:

Permitted Uses. All of the uses set forth herein or identified on the Final Plans are permitted and lawful ("Permitted Uses"). The Final Plans depict the proposed residential planned development consisting of twenty-eight (28) single-story, multi-unit apartment buildings. There are two (2) types of apartment buildings: 4-unit and 6-unit. In total there are 30 apartment buildings and 148 units. Ten (10) different building models are offered, with varying architectural designs and interior layout options. Each apartment unit has 2 bedrooms, 2 bathrooms, and an attached 2-stall garage. The unit size ranges from 1,300 to 1,600 square feet. The driveway for each unit is a minimum 25 feet long, as measured from the leading edge of the unit to the back of the street or to the leading edge of the sidewalk pavement, to accommodate residents parking two (2) vehicles and so as not to impede with the accessible sidewalk along the road. A leasing office/maintenance building is shown in the northeast portion Redwood Phase I. The residential units are served by several private roadways. All uses and structures accessory to the above uses are also considered Permitted Uses, such as temporary construction trailers, recreation trailers, and maintenance.

Prohibited Uses.

Any use not referenced in this Agreement or in the Final Plan shall be prohibited; unless the Planning Commission determines that such use is similar to any one of the Permitted Uses.

Exhibits

Legal Description of Property (Exhibit A)

This exhibit will be provided at a later date and is subject to the approval of the Township Attorney.

Final Plan (Exhibit B)

The Final Plan (Exhibit B) dated February 19, 2025, was submitted and includes the cover sheet and overall site plan (Sheet C200). Sheet C200 is meant to be used as a reference for this staff memorandum and is not to be considered as the Final Plan to be recorded with the PD agreement.

Staff anticipates a complete set of plans will be submitted for the Construction Plan set. A detailed review will occur during the review of the construction set of plans. The Construction Set of plans serves as the approved Final Plan and is not recorded with the Register of Deeds.

Access Easement (Exbibit C) and Applicant Documents (Exhibit D)

These exhibits will be provided at a later date and are subject to the approval of the Township Attorney.

Exhibit A. C. and D could be recorded as part of the Redwood Living Planned Development Agreement.

Rezoning of the subject properties

Per Section 3.1.18.D.vii.b., Effect of Approval. Approval by the Township Board of a planned development proposal shall constitute an amendment to the Zoning Ordinance. All improvements and use of the site shall be in conformity with the planned development amendment and any conditions imposed. Notice of the adoption of the amendment shall be published in accordance with the requirements set forth in this Ordinance. The applicant shall record an affidavit with the register of deeds containing the legal description of the entire project, specifying the date of approval, and declaring that all future improvements will be carried out in accordance with the approved planned development unless an amendment thereto is adopted by the Township upon request of the applicant or his successors.

In this case the current zoning of the subject property is HDR (High Density Residential) and CA (Conservation Agriculture). Once approved the property will be zoned PD (Planned Development) and will remain with the property as the zoning designation.

Hartland Township DPW Review

No comments at this time.

Hartland Township Engineer's Review (SDA)

Comments from the Township Engineer (SDA) are summarized in the letter dated March 24, 2025.

Hartland Deerfield Fire Authority Review

No comments at this time.

Attachments:

- 1. Township Engineer (SDA) review letter dated 03.24.2025 PDF version
- 2. Draft Redwood Planned Development Agreement dated 02.05.2025 PDF version
- 3. SP PD #24-003 Approval letter dated 07.24.2024 PDF version
- 4. Redwood Phase II Site Plans dated 02.19.2025 PDF version

T:\PLANNING DEPARTMENT\PLANNING COMMISSION\2025 Planning Commission Activity\Site Plan Applications\SP PD #24-003 Redwood 2 Final PD\Staff Reports\PC\SP PD #25-001 Redwood 2 PD Final Plan PC 04.17.2025.docx

March 24, 2025

Ian Graham 7050 West Saginaw Highway Ste. 200 Lansing, MI 48917

Re: Hartland Redwood Living Phase 2 – Engineering Review #3

SDA Review No. HL23-105 - APPROVED AS NOTED

Dear lan:

We have reviewed the engineering plans for the above referenced project prepared by Colliers Engineering and Design dated February 19, 2025 and received by our office on March 4, 2025. We offer the following comments.

Recommendation

Approval of the Engineering Final Site Plan is recommended with the following items to be addressed before the NEXT step.

Project Summary

- Construction of a multiple-family condominiums at 12400 Highland Road, south of Cundy Road and west of Hartland Glen Lane. The site is proposed to rezone from conservation agricultural (CA) to planned development (PD). Phase 2 is an extension from Phase 1 with 130 rental units. Site access would be provided via private roadways through Phase 1 of Redwood Living. The site is approximately 29.90 acres.
- Water service would be provided by an extension of the 8-inch diameter water main and 12-inch diameter water main serving Redwood Hartland Phase 1 apartments. 12 additional hydrants are proposed on-site.
- Sanitary sewer service would be provided by an extension from the existing 8-inch sanitary sewer serving Phase 1.
- Storm water would be collected by a single storm sewer collection system and discharged to an on-site detention basin, out letting to regulated wetlands.

General

- 1. Provide a copy of Lot Split when completed and include Parcel ID with description on drawing X100.
- 2. Add Soil Erosion and Sedimentation Control sheets to the plan set.

Sanitary Sewer

LCDC's current standards shall govern all sanitary sewer improvements within the Township.
Provide correspondence of coordination with this department along with any design changes to
the current design once approval is obtained.

Water Main

1. The Township is in the process of installing a pressure-reducing valve to help supply more flow around the Township and it is anticipated that this will assist the Redwood development. An additional flow test will be performed after the PRV is installed and operational to verify flows and to confirm that a 12" water main is not required instead of the proposed 8" water main. The Act



399 permit will not be processed until the flows have been verified. Provide a fill out application, contamination checklist, and water main only sheets once the fire flow test has been completed.

Permits Required

Based on those improvements depicted on the plans, the following permits may be required and will need to be provided to the Township once available. Any changes to the approved site plan from the following agencies that impact the design may require reapproval. Fill out the attached form to provide you with the easement and storm drain agreement drafts.

Hartland Township:

- All necessary easements including water main and sanitary sewer. Easements must be on Hartland Township Standard Easement document and include a sketch. A current title policy for ownership verification shall be provided with all executed easement submittals.
 - a) A draft copy of the 20-foot-wide easement for water main construction.
 - b) Sanitary sewer easement. (Done with the County) Provide record when available.
- 2. Off-site grading easement. If required.
- 3. A Land Use Permit will be granted after the pre-construction meeting. (No Action Required until pre-con)
- 4. Storm Water Agreement (for the storm water improvements on the site).
- 5. Maintenance bond and insurance for the water main to be dedicated to the township. (No Action Required until pre-con)

Genesee County:

1. Copy of the Genesee County Drain Commissioner water and waste services approval and permit.

Livingston County:

- 1. Copy of Livingston County Drain Commissioner approval and permit.
- 2. Copy of a Soil Erosion and Sedimentation permit from Livingston County Drain Commissioner.

Michigan Department of Environment, Great Lakes, and Energy (EGLE):

- 1. EGLE Permit for all public water main installation.
- 2. EGLE Permit for all public sanitary sewer installation. (Done with the County) Provide record when available.
- 3. EGLE Permit for all proposed work near the state-regulated wetlands. WRP043572 V.1 (12/16/24)
- 4. NPDES Notice of Coverage Documentation.

Please be aware that additional comments may arise with the submittal of the requested revisions and/or additional information.

The comments are not to be construed as approvals and are not necessarily conclusive. The final engineering plans for this development are to be prepared in accordance with the Hartland Township Engineering Design Standards and 2023 Hartland Township Standard Details. Sanitary sewer and water benefit fees may be applicable for this project.

If you have any questions regarding this matter, please contact our office at your convenience.

Sincerely,

SPALDING DEDECKER

Luca Amere

Luisa Amici Engineer Mark Collins, PE Project Manager

cc: Troy Langer, Hartland Township Planning Director (via email)

Martha Wyatt, Hartland Township Planning Planner - Landscape Architect (via email)

Scott Hable, Hartland Township Public Works Director (via email)

Michael Luce, Hartland Township Manager (via email)

Encl: Information Request Form

REDWOOD PLANNED DEVELOPMENT AGREEMENT

This Agreement ("the Agreement") made this ___ day of ______, 2025, by and between the **TOWNSHIP OF HARTLAND**, a Michigan municipal corporation (the "Township"), whose address is 2655 Clark Rd., Hartland Michigan 48353, and **REDWOOD HARTLAND HIGHLAND ROAD MI P1 LLC**, an Ohio limited liability company (the "Applicant"), whose address is 7007 E. Pleasant Valley Rd. Independence, OH 44131.

RECITALS

- A. The Property (the "Property") is located at 12400 Highland Road, Hartland Township, Livingston County, MI 48353, as more fully and legally described in **Exhibit "A"**. The Property is approximately 30 acres of land located west of Hartland Glen Lane, south of Cundy Road in Section 26 of the Township. The Property is a portion of the overall 353-acre parcel currently used as the Hartland Glen Golf Course. The overall parcel (Parcel ID #4708-26-100- 019) is zoned CA-Conservation Agricultural. The Applicant has the right to acquire title to the Property and has properly applied for a rezoning of the Property from CA-Conservation Agricultural to the PD Planned Development ("PD") District.
- B. The Applicant and the Township entered into a Planned Unit Development Agreement on September 16, 2022, recorded in the Livingston County Register of Deeds (2022-026578) relating to a 27-acre property commonly known as Redwood Phase I. The Property identified in this Agreement will be the location of the development known as Redwood Phase II, is a continuation of Redwood Phase I, and will be connected to Redwood Phase I via internal private roadways. The Township acknowledges that the Applicant may, after the date of this Agreement, convey the Property or assign its interests therein to an affiliate, including but not limited to a yet-to-be-formed entity, Redwood Hartland Highland Road MI P2 LLC, an Ohio limited liability company.
- B. On _____, 2025, by Resolution No. 25-____ after compliance with all applicable provisions of the Township's Zoning Ordinance (the "Ordinance") and applicable law, the Township Board adopted Ordinance No. ____ approving the rezoning of the Property to the PD District pursuant to Article 3.1.18 of the Ordinance and approval of the Final Plans ("Final Plans") attached hereto as **Exhibit "B"**, subject to the execution

and recording of this Agreement setting forth the conditions upon which the approvals were based.

- C. The Township desires to ensure that the Property is developed and used in accordance with this Agreement, the Final Plans, and applicable laws and regulations.
- D. The PD District provides the Applicant with certain development uses for the Property not applicable or clearly defined under the existing zoning classification and which would be a distinct and material benefit and advantage to the Applicant and to the Township.
- E. As used in this Agreement, "Owners of the Property" means the Applicant and all current and future owners of legal and/or equitable title to all or any part of the Property.

NOW, THEREFORE, it is hereby agreed as follows:

- 1. **Intent.** The Property may be developed in accordance with this Agreement and the Final Plans. However, this Agreement is not a commitment by the Applicant or any future owner that it will commence development of the Property, but if development does occur on the Property, it will be in compliance with this Agreement and the Final Plans unless and until this Agreement and/or the Final Plans are revised. It is recognized that there may be modifications required to the Final Plans due to various reasons, including but not limited to engineering requirements, unforeseen conditions, and other governmental requirements. Therefore, modifications to the Final Plans not materially inconsistent with this Agreement and the Final Plans may be permitted in accordance with Article 3.1.18, Section H, of the Ordinance.
- 2. Permitted Uses. All of the uses set forth herein or identified on the Final Plans are permitted and are lawful ("Permitted Uses"). The Final Plans depict the proposed residential planned development consisting of twenty-eight (28) single-story, multiunit apartment buildings consisting of one hundred thirty (130) residential units. There are two (2) types of apartment buildings: 4-unit and 6-unit. Ten (10) different building models are proposed, with varying architectural designs and interior layout options. Each apartment unit has 2 bedrooms, 2 bathrooms, and an attached 2stall garage. The unit sizes range from 1,300 to 1,600 square feet. The driveway for each unit is a minimum 25 feet long, as measured from the leading edge of the unit to the back of the street or to the leading edge of the sidewalk pavement, to accommodate residents parking two (2) vehicles and so as not to impede with the accessible sidewalk along the road. A leasing office/maintenance building will be on the northeast portion of Redwood Phase I. Public access to the development will occur through two (2) access points from Redwood Phase I. The residential units are served by several private roadways. All uses and structures accessory to the above uses are also considered Permitted Uses, such as temporary construction trailers, recreation uses, and maintenance.

3. **Prohibited Uses**. Any use not referenced in this Agreement or in the Final Plans shall be prohibited; unless the Planning Commission determines that such use is similar to any one of the Permitted Uses.

4. Site and Architectural Standards.

- a. <u>Residential Density</u>. One hundred thirty (130) dwelling units are proposed and allowed on the Property. Any requested increase in residential density must be approved by the Planning Commission and Hartland Township Board, in its sole discretion.
- b. <u>Setbacks</u>. The approved setbacks are noted in the chart below per Article 3.1.18.C.vi.a. of the Ordinance and all deviations are approved.

Setbacks	Proposed Setback (As measured from property line to closest point of building)		
Along perimeter	NA (PD is not adjacent to a public road)		
adjacent to public road			
Along perimeter, but	58 ft. (north)		
not adjacent to a road	40 ft. (south)		
(north, south, east, and	17 ft. (east)		
west property lines)	253 ft. (west)		
Along an internal	25 ft. measured from bldg. to edge of		
collector or local road	roadway or integral sidewalk		

c. <u>Separation Standards</u>. The approved allowable distance between individual buildings is stated below.

Building Orientation	Minimum Allowable ft.
Front to Front	15 ft.
Rear to Rear	25 ft.
Side to Side	15 ft.
Side to Rear	15 ft.

- d. <u>Building Height</u>. Building height of the proposed buildings are depicted and described in the Final Plans are approved.
- e. <u>Façade</u>. Façade materials and design shall be developed in accordance with those depicted and described in the Final Plans.

- f. Parking. A minimum of two (2) parking spaces per dwelling unit, plus one (1) additional space for each four (4) dwelling units are required.
- g. Monument Signs. The Township grants waivers for 2 off-site monument signs. One sign is an interim/construction sign, and the other is a permanent sign with two panels: one for Hartland Glen Golf Course and the other for Redwood Apartment Neighborhoods. The interim/construction sign was approved by the Township, is installed, and will be removed and replaced when the permanent sign is installed. The signs shall be no larger than 7 feet in height and 64 square feet for the sign area above the masonry base. The signs shall be designed in accordance with the Article 5.26 of the Ordinance. The Applicant shall be required to obtain a permit from the Township prior to erection of the monument signs. The Township has reviewed and approved all easements and supporting documents for off-site signage.
- h. <u>Landscaping</u>. The landscaping depicted and described in the attached Final Plans is approved. In recognition that landscaping features are subject to commercial availability and market forces, changes to the landscaping features requested by the Applicant shall be approved administratively by the Township Zoning Administrator if: (a) made before planting; (b) the requested changes to the species of vegetation are similar in type and equal to or greater in size than the approved vegetation; and (c) the requested changes to location of landscaping are not materially different than shown on the Final Plans. Applicant shall provide a new landscaping plan to reflect the agreed upon changes prior to substantial completion of Redwood Phase II.
- i. Open Space. The open space depicted and described in the Final Plans attached hereto is approved. The Applicant shall provide open space quantity per the Final Plans attached hereto. The proposed and approved amount of open space area is approximately 15.74 acres, or 52.7% of the Property, with approximately 8.16 acres designated as usable open space, or 27.3% of the Property.
- j. <u>Sidewalks</u>. Per the attached Final Plans, all sidewalks must be a minimum of five (5) feet wide.
- 5. Access Easements. An access easement for ingress and egress, in substantially similar form to Exhibit "C" attached hereto, shall be recorded against the Property and against the property known as Redwood Phase I. This easement is to provide vehicular and pedestrian access from and to Redwood Phase I and Redwood Phase II. The Township acknowledges that Redwood Hartland Highland Road MI P1 LLC has access to the private road, Hartland Glen Lane, through an access easement.

- 6. **Applicant Documents**. A list of all plans, documents, and other materials submitted by the Applicant supporting the Final Plans is attached as **Exhibit "D"**.
- 7. **Rezoning**. By granting its final approval and upon execution and recording of this Agreement, the Township Board has and shall be deemed to have granted the petition to rezone the Property to the PD District, as the PD District exists within the Ordinance as of the date of this Agreement, in accordance with the procedures set forth in the Ordinance. Future amendments or modifications to the PD District requirements and conditions shall not be binding on the Applicant or on the Property until this Agreement is modified and/or terminated.
- 8. **Amendment**. The terms of this Agreement may be amended, changed, or modified only in writing in the same manner as required to obtain the review and approval of a new rezoning. The Township shall not unreasonably condition, deny, or delay any amendment to this Agreement reasonably required by the Applicant.
- 9. **Recognizable Benefits**. This Agreement will result in a recognizable and substantial benefit to the ultimate uses of the project and to the community and will result in a higher quality of development than could be achieved under conventional zoning.
- 10. **Burdens and Benefits Appurtenant**. This Agreement shall run with the Property and bind and benefit the parties, their heirs, successors, and assigns. The Applicant shall record this Agreement in the office of the Livingston County Register of Deeds at its sole cost and expense and shall deliver a recorded copy to the Township Immediately upon recording. It is understood that the Property is subject to changes in ownership and/or control at any time, but that successors shall take their interest subject to the terms of this Agreement. If the Owners of the Property shall sell, lease, ground lease, transfer, assign, mortgage, divide and/or subdivide all or any portion of the Property, the terms and conditions of this Agreement shall benefit, be enforceable by, and shall be binding on the successors in title, vendees, lessee, transferees, assignees, mortgages, and beneficiaries of divisions or subdivisions.
- 11. Zoning Regulations and Obligation to Receive Other Approvals. Except as otherwise provided herein, the Property shall remain subject to and shall be developed in compliance with all applicable regulations of the Ordinance and all other applicable state and local requirement for land development. The Applicant agrees to comply with any lawful requirements of the Township Engineering Consultant, Department of Public Works Director, Hartland Deerfield Fire Authority, and all other government agencies, as applicable. Notwithstanding anything to the contrary contained herein and except as otherwise provided herein, all features, dimensions and conditions identified on the Final Plans or referenced in this Agreement are authorized by the Township and no further approvals are required. The Township shall grant to the Applicant, and to its contractors and subcontractors, all Township permits and authorizations necessary to bring all utilities including electricity, telephone, gas, cable television, water, storm sewer,

and sanitary sewer to the Property and to otherwise develop and Improve the Property in accordance with the Final Plans, provided the Applicant has first made all requisite applications for permits, complied with the requirements for said permits, and paid all required fees. Any applications for permits from the Township will be processed in the customary manner. The Township will cooperate with the Applicant In connection with the Applicant's applications for any necessary county, state, federal or utility company approvals, permits or authorizations to the extent that such applications and/or discussions are consistent with the Final Plans or this Agreement. The Township shall not unreasonably deny, withhold, or delay approvals. Unless referenced in this Agreement, the Township shall not require the Applicant to construct any offsite improvements.

- 12. Performance Guarantees. The Township may require performance guarantees from Applicant only in the same manner and scope as were required by the Township for Redwood Phase I. Applicant may, in its discretion, provide separate performance guarantees to the Township for each improvement which is the subject of a performance guarantee. If and to the extent any other governmental entity having jurisdiction requires a performance guarantee to secure the completion of any of the improvements, and to avoid imposing on the Applicant the obligation of providing such performance guarantee twice for the same improvement, the amount of the performance guarantee required by this Agreement shall be reduced by the amount of the performance guarantee required by the other governmental entity. The Township will rebate or release to Applicant any performance guarantee, as may be applicable, equal to the ratio or actual amount of the work completed on the applicable improvements. The Township shall not unreasonably deny, delay, or withhold such rebate or release of the performance guarantee for such completed work.
- 13. **Stubbed Roadway**. Applicant shall construct a roadway and stub it to the south Property line as depicted to on the Final Plans. The Township may allow that the residential developer of the contiguous property to the south connect to said stubbed roadway for reasonable access to and from the Property when and if the contiguous property to the south is developed, subject to execution of an easement agreement which is satisfactory to Applicant. However, the Township shall not allow the residential developer of the contiguous property to the south to utilize such roadway as a required access point to public roads for that developer's development. Applicant shall be permitted to install signage and striping along such stubbed roadway identifying that it is for emergency access only and the Township shall cooperate with Applicant to install any other reasonable feature within such area to limit access accordingly.
- 14. **Engineering Review and Fees**. Engineering and other required plans submitted by Applicant shall be reviewed and written comments provided to Applicant by the Township or its engineers in a reasonable time. Approval of such plans shall not be unreasonably denied, delayed, or withheld. All fees in connection with such plan reviews and approvals shall be paid by the Applicant as required under the

- Ordinance, provided that a detailed itemization of such fees is first submitted to the Applicant.
- 15. **Commencement of Construction**. The Township acknowledges that construction has commenced on Redwood Phase I, the first phase of the Applicant's development, and that the required time within which to commence construction of a phase of a project under Article 3.1.18.ix of the Ordinance is satisfied.
- 16. **Assignment**. The Applicant may assign all its right, title, and interest in this Agreement to a successor-in-title it shall be binding and insure to the benefit of any successors-in-title.
- 17. **Entire Agreement**. This Agreement, including its recitals, together with any Exhibits referenced herein, constitutes the entire agreement between the parties with respect to the subject of this Agreement.
- 18. **Conflicts**. In the event of conflict between the provisions of this Agreement and the provisions of another applicable ordinance, code, regulations, requirement, standard, or policy, the provisions of this Agreement shall prevail.
- 19. **Governing Law**. This Agreement shall be governed by, construed, and enforced in accordance with Michigan law.
- 20. Joint Drafting. No provision of this Agreement shall be construed against or interpreted to the disadvantage of one party against another party by any court or other governmental authority by reason of any determination or assertion that one party was chiefly or primarily responsible for having drafted this Agreement.
- 21. **Unified Control**. The Property shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project, or assuring completion of the project, in conformity with the Ordinance.
- 22. **Severability**. The invalidity of any provision of this Agreement shall not affect the validity of the remaining provisions, which shall remain valid and enforceable to the fullest extent permitted by law.
- 23. **Counterparts**. This Agreement and any amendments to it may be executed in multiple counterparts, each of which shall be deemed an original and all of which shall constitute one Agreement. The signature of any party to any counterpart shall be deemed to be a signature to. and may be appended to, any other counterpart.
- 24. **Authority to Execute**. The parties each represent and state that the individuals signing this Agreement are fully authorized to execute this document and bind their respective parties to the terms and conditions contained herein.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed on the day and year recited above.

PAGE INTENTIONALLY ENDS HERE SIGNATURES FOLLOW

SIGNATURE PAGE OF THE TOWNSHIP

	a Michigan municipal corporation
	By:
	By:
<u>ACKNO</u>	WLEDGEMENT
STATE OF MICHIGAN)	
) ss COUNTY OF LIVINGSTON)	
	pment Agreement Outline was acknowledged, and, Township of Hartland on the day of
	Notary Public State of Michigan, County of My Commission Expires:
Prepared by:	Acting in the County of
When recorded return to: ATA National Title Group Commercial Department 42651 Woodwa	ard Ave.

Bloomfield Hills, MI 48304

SIGNATURE PAGE OF THE APPLICANT

REDWOOD HARTLAND HIGHLAND ROAD MI P1 LLC.

		O MI P1 LLC, nio limited liability company	
	By: Its:	Redwood USA, LLC an Ohio limited liability company Manager & Member	
	By: Name Its:	:David M. Conwill Authorized Manager	
STATE OF OHIO) ss COUNTY OF CUYAHOGA)			
ACKNOWLEDGEMENT			
The foregoing instrument was acknowledged before me this day of, 2025, by David M. Conwill, Authorized Manager of Redwood Hartland Highland Road MI P1 LLC, an Ohio limited liability company, on behalf of the company.			
	Acting	y Public g in Cuyahoga County, Ohio ommission Expires:	

EXHIBIT "A" PROPERTY DESCRIPTION

EXHIBIT "B"

FINAL PLANS

EXHIBIT "C"

ACCESS EASMENT WITH REDWOOD PHASE I

EXHIBIT "D"

LIST OF ALL PLANS, DOCUMENTS, AND OTHER MATERIALS SUBMITTED BY THE APPLICANT SUPPORTING THE FINAL PLANS

Board of Trustees



William J. Fountain, Supervisor Larry N. Ciofu, Clerk Kathleen A. Horning, Treasurer Matthew J. Germane, Trustee Summer L. McMullen, Trustee Denise M. O'Connell, Trustee Joseph M. Petrucci, Trustee

July 24, 2024

Emily Engelhart Redwood Living 7007 East Pleasant Valley Road Independence, OH 44131

RE: Site Plan/PD Application #24-003 – Redwood Living Planned Development Phase II Preliminary Planned Development Site Plan

Dear Emily Engelhart:

On Thursday, June 27, 2024, the Planning Commission recommended approval of Site Plan/PD Application #24-003, the Preliminary Planned Development Site Plan for Redwood Living Planned Development Phase II. The Township Board approved Site Plan/PD Application #24-003 at their regular meeting on July 23, 2024.

Approval was subject to the following:

- 1. Waiver request for the development monument sign to be located off-site is approved.
- 2. Waiver request for an interim sign to be located off-site is approved.
- 3. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandums, dated June 20, 2024 and July 16, 2024, on the Construction Plan Set, subject to an administrative review by Planning staff prior to the issuance of a land use permit.
- 4. As part of the Final Plan Review, the applicant shall provide a Planned Development (PD) Agreement that includes any applicable ingress-egress access easements and agreements between all applicable parties. The applicant, and/or any future owners shall agree to not interfere with or object to any future roadway connection to the south. All applicable easements and documentation for the off-site signage shall be submitted with the Final PD submittals. The documents shall be in a recordable format and shall comply with the requirements of the Township Attorney.
- 5. The applicant shall obtain approval of a land division for the parcel associated with the proposed project.

SP #24-003 Redwood Living PD Phase II (Preliminary Planned Development Site Plan) July 24, 2024 Page 2

6. Applicant complies with any requirements of the Township Engineering Consultant, Department of Public Works Director, Hartland Deerfield Fire Authority, Michigan Department of Environment, Great Lakes, and Energy (EGLE), and all other government agencies, as applicable.

If you have any questions, please contact me at (810) 632-7498.

Sincerely,

Troy Langer Planning Director

DEVELOPMENT PLANS FOR **PROPOSED**

REDWOOD LIVING PHASE 2

RESIDENTIAL DEVELOPMENT HARTLAND GLEN LANE HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN (T3N, R6E)

PROJECT CONTACTS

OWNER

REDWOOD LIVING 7007 EAST PLEASANT VALLEY ROAD INDEPENDENCE, OH 44131 **EMILY ENGELHART** (216) 401-6885

CIVIL ENGINEER

COLLIERS ENGINEERING AND DESIGN 7050 W SAGINAW HWY LANSING, MI 48917 IAN GRAHAM, P.E.

UTILITY AND JURISDICTIONAL CONTACTS

PLANNING AND ZONING

HARTLAND TOWNSHIP 2655 CLARK ROAD HARTLAND, MI 48353 TROY LANGER (810) 632-7498

WATER

HARTLAND TOWNSHIP 2655 CLARK ROAD HARTLAND, MI 48353 MICHAEL LUCE

(810) 632-7498 SANITARY SEWER

LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE 2300 EAST GRAND RIVER AVE, SUITE 105 **HOWELL**, MI 48843

FRANK ERVIN (517) 546-0040

STORM WATER, AND SOIL EROSION AND SEDIMENTATION CONTROL LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE

2300 EAST GRAND RIVER AVE, SUITE 105 **HOWELL**, MI 48843 KEN RECKER (517) 546-0040

ROADS & ENTRANCE

LIVINGSTON COUNTY ROAD COMMISSION

3535 GRAND OAKS DRIVE HOWELL, MI 48843 (517) 546-4250

CONSUMERS ENERGY I ENERGY PLAZA JACKSON, MI 49201 (800) 477-5050

ELECTRIC

3751 GREENFIELD ROAD MELVINDALE, MI 48122 SEBASTIAN SARKISSIAN (313) 235-4420





LEGAL DESCRIPTION:

A PARCEL OF LAND SITUATED IN THE NORTHWEST ONE-QUARTER OF SECTION 26, TOWN 3 NORTH, RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A LIVINGSTON COUNTY PIPE AND CAP AT THE NORTH ONE-QUARTER CORNER OF SAID SECTION 26, AS RECORDED IN DOCUMENT NUMBER 2016CR-0003, LIVINGSTON COUNTY RECORDS,

THENCE S89°52'39"W, 1060.00 FEET ALONG THE NORTH LINE OF SAID SECTION 26,

THENCE S00°01'43"W, 527.15 FEET TO A 1/2" STEEL BAR AT THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL,

THENCE \$37°45'41"E, 268.88 FEET,

THENCE S00°00'00"E, 633.59 FEET, THENCE \$88°26'36"W, 1028.38 FEET,

THENCE N00°07'24"W, 50.02 FEET,

THENCE \$88°26'36"W, 300.00 FEET, THENCE N74°56'24"W, 486.75 FEET TO A 1/2" STEEL BAR,

THENCE N00°13'36"E, 520.27 FEET TO A 3/4" IRON PIPE,

THENCE N89°42'55"E, 757.06 FEET, THENCE N64°09'53"E, 201.21 FEET,

THENCE N64°46'48"E, 220.81 FEET TO A 1/2" STEEL BAR,

TOTAL LIMITS OF DISTURBANCE:

THENCE \$89°59'49"E, 493.40 FEET TO THE POINT OF BEGINNING.

22.39 ACRES OF DISTURBANCE. REFERENCE SOIL EROSION AND SEDIMENTATION CONTROL PLAN SHEETS C305 AND C306. A NPDES PERMIT IS REQUIRED.

CONTRACTOR NOTE:

THIS PROJECT HAS BEEN DESIGNED IMPLEMENTING THE LATEST GCDC-WWS DESIGN SPECIFICATIONS, CAREFULLY REVIEW THE NOTES, DETAILS, AND DESIGN PRIOR TO SUBMITTING A BID. FULL COMPLIANCE WITH THE NEW STANDARDS WILL BE REQUIRED.





LIVINGSTON COUNTY **DRAIN COMMISSIONER** ACCEPTED FOR PERMITTING AND CONSTRUCTION PLANS ACCEPTED FOR CONSTRUCTION BY:

BRIAN JONCKHEERE, DRAIN COMMISSIONER

CHARACTERISTIC	EXISTING CONDITIONS	PROPOSED CONDITIONS
TOTAL DEVELOPMENT AREA (ac)	20.39	
IMPERVIOUS AREA (ac)	0.00	10.0
PERVIOUS AREA (ac)	20.39	10.38
UNDISTURBED AREA (ac)	29.90	9.5
MEADOW/FALLOW/NATURAL AREAS (NON-CULTIVATED)	26.58	7.49
PREDOMINANT NRCS SOIL TYPE (A, B, C, or D)	С	
IMPROVED AREAS (TURF GRASS, LANDSCAPE, ROW CROPS)	0.00	9.3
PREDOMINANT NRCS SOIL TYPE (A, B, C, or D)	С	
WOODED AREAS	3.32	3.09
PREDOMINANT NRCS SOIL TYPE (A, B, C, or D)	С	С
CALCULATED CPVC VOL	UME (CUBIC FEET)	61,064
CPVC VOLUME PROVI	DED (CUBIC FEET)	(
	DED (CUBIC FEET)	89,248

LAND USE SUMMARY

WOODED AREAS	3.32	3.09
PREDOMINANT NRCS SOIL TYPE (A, B, C, or D)	С	С
CALCULATED CPVC VOLUM	IE (CUBIC FEET)	61,064
CPVC VOLUME PROVIDE	D (CUBIC FEET)	0
CPRC VOLUME PROVIDE	D (CUBIC FEET)	89,248
PROFESSIONAL ENGINEER WHO SIGNS AND SEALS THE VALUES IN THIS TABLE REFLECT THE LIVINGSTON CO CULATIONS REQUIRED FOR THIS DEVELOPMENT AND ESTIGATIONS WERE PERFORMED THAT PROVIDE CON IT DEMONSTRATES WHETHER INFILTRATION (i.e., CPV CTICABLE.	OUNTY STORMW THAT THE GEO CLUSIVE DOCUN	ATER TECHNICAL 1ENTATION

	SHEET INDEX
	3.122.1 11 (B 2) (
EET NUMBER	SHEET TITLE
C000	COVER SHEET
X100	ALTA-TOPOGRAPHIC SURVEY
C200	OVERALL SITE PLAN
C201	WEST SITE PLAN
C202	EAST SITE PLAN
C203	OPEN SPACE PLAN
C300	OVERALL GRADING PLAN
C301	WEST GRADING PLAN
C302	EAST GRADING PLAN
C303	DETAIL GRADING PLAN
C310	DRAINAGE AREA MAP WEST
C311	DRAINAGE AREA MAP EAST
C320	PRE-DEVELOPED DRAINAGE CONDITIONS
C321	POST-DEVELOPED DRAINAGE CONDITIONS
C400	OVERALL UTILITY PLAN
C401	WATERMAIN PLAN AND PROFILE
C402	WATERMAIN PLAN AND PROFILE
C403	WATERMAIN PLAN AND PROFILE
C404	WATERMAIN PLAN AND PROFILE
C410	SANITARY SEWER PLAN AND PROFILE
C411	SANITARY SEWER PLAN AND PROFILE
C412	SANITARY SEWER PLAN AND PROFILE
C413	SANITARY SEWER PLAN AND PROFILE
C420	WEST STORM SEWER PLAN
C421	EAST STORM SEWER PLAN
C422	STORM SEWER PROFILES
C423	STORM SEWER PROFILES
C424	STORM SEWER CALCULATIONS
C430	STORMWATER DETENTION PLAN
C700	SITE DETAILS
C701	SITE DETAILS
C702	HARTLAND TOWNSHIP WATER DETAILS 1 OF 5
C703	HARTLAND TOWNSHIP WATER DETAILS 2 OF 5
C704	HARTLAND TOWNSHIP WATER DETAILS 3 OF 5
C705	HARTLAND TOWNSHIP WATER DETAILS 4 OF 5
C706	HARTLAND TOWNSHIP WATER DETAILS 5 OF 5
C707	LIVINGSTON CO SANITARY DETAILS 1 OF 2
C708	LIVINGSTON CO SANITARY DETAILS 2 OF 2
C709	HARTLAND TOWNSHIP PAVING DETAILS 1 OF 2
C710	HARTLAND TOWNSHIP PAVING DETAILS 2 OF 2
C711	HARTLAND TOWNSHIP STORM DETAILS 1 OF 2
	HARTLAND TOWNSHIP STORM DETAILS 2 OF 2
C712	

INCLUDED

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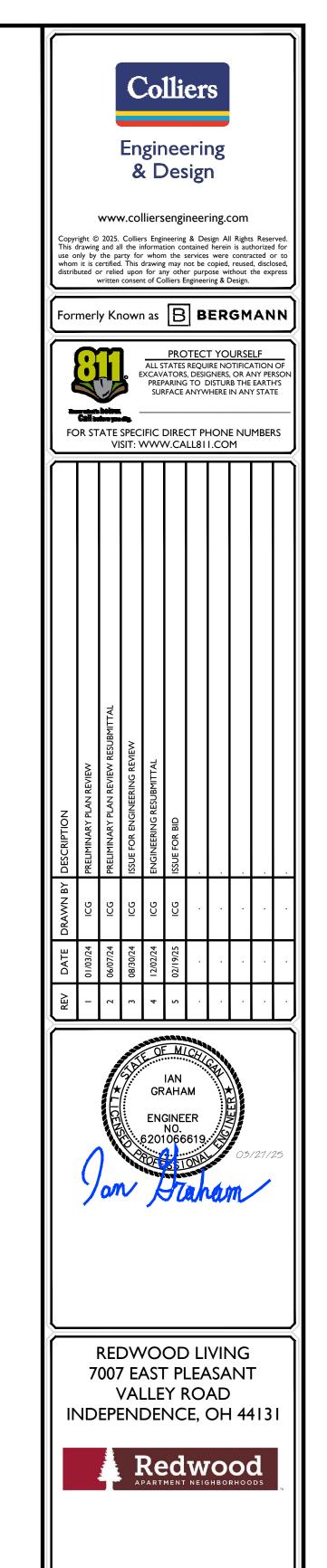
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NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTI

HARTLAND GLEN LANE

HARTLAND, MI 48353

COVER SHEET

C000

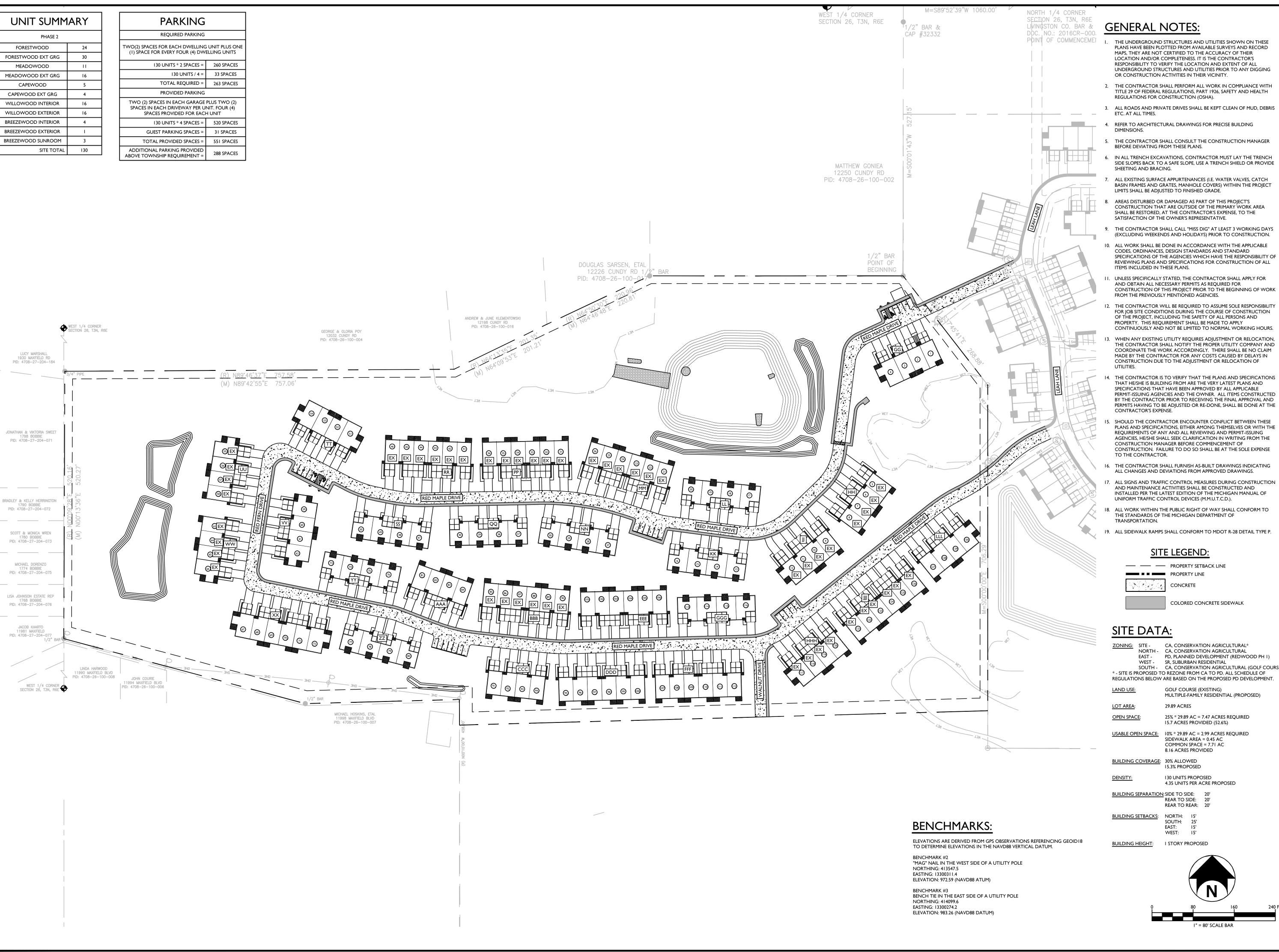
LANSING (BA)

7050 West Saginaw Hwy. Suite 200

Lansing, MI 48917

Phone: 517.272.9835

C000 COVER SHEET





Engineering & Design

www.colliersengineering.com

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Formerly Known as BERGMANN



VISIT: WWW.CALL811.COM

FOR STATE SPECIFIC DIRECT PHONE NUMBERS

PERMIT-ISSUING AGENCIES AND THE OWNER. ALL ITEMS CONSTRUCTED

SOUTH - CA, CONSERVATION AGRICULTURAL (GOLF COURSE

HARTLAND GLEN LANE HARTLAND, MI 48353

REDWOOD LIVING 7007 EAST PLEASANT

VALLEY ROAD

INDEPENDENCE, OH 44131

Redwood

LANSING (BA) 7050 West Saginaw Hwy. Suite 200 Lansing, MI 48917 Phone: 517.272.9835 COLLIERS ENGINEERING & DESIGN, IN & Design

C200 OVERALL SITE PLAN

OVERALL SITE PLAN

C200

Hartland Township Planning Commission Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Site Plan Application #25-006 – Request to amend previously approved site plans for

a mini warehouse establishment, under SP/SUP #22-015 (Old US -23; Tax Parcel ID

#4708-28-300-023)

Date: April 17, 2025

Recommended Action

Move to approve Site Plan Application #25-006 a request to amend previously approved plans for a mini warehouse establishment, approved under Site Plan with Special Land Use application #22-015, as outlined in the staff memorandum dated April 17, 2025.

Approval is subject to the following conditions:

- 1. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandums, dated April 17, 2025 and November 10, 2022 (SP/SUP #22-015), on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
- 2. The applicant shall revise the plans per the items noted in the applicant's email dated April 17, 2025.
- 3. All prior conditions and requirements specified under SP/SUP #22-015 shall remain valid.
- 4. Applicant complies with any requirements of the Department of Public Works Director, Township Engineering Consultant (SDA), Hartland Deerfield Fire Authority, and all other government agencies, as applicable.
- 5. (Any other conditions the Planning Commission deems necessary).

Discussion

Applicant: Jerrad Beauchamp

Site Description

The subject property is located on the east side of Old US-23, north of Bergin Road, with frontage along Old US-23 and US-23. The undeveloped site, approximately 11.9 acres in area, is zoned LI (Light Industrial). (Tax Parcel ID #4708-28-300-023). The property has approximately 740 lineal feet along Old US-23 and approximately 736 lineal feet along US-23.

On March 23, 2024, Land Use Permit #24-035 was approved for grading only. Grading activities occurred on the site during 2024-2025.

Adjacent properties to the north (1480 Old US-23) and south (1200 Old US-23) are zoned LI (Light Industrial). On the west side of Old US-23 and across from the subject site, the property at 1285 Old US-23 is zoned CA (Conservation Agricultural) and is occupied by a single-family home. To the north of that parcel, the property is zoned LI (Light Industrial), at 1461 Old US-23. Historically a boat repair business has occupied this property.

SP Application #25-006 Mini warehouse amendment April 17, 2025 Page 2

The Future Land Use Map (FLUM) designates the subject site and adjacent properties to the north, south, west as Planned Industrial/Research and Development.

Site History - Project approved under Site Plan with Special Land Use Application #22-015

In 2022, the proposed mini warehouse facility with outdoor storage was reviewed by the Township under SP/SUP #22-015. A mini warehouse establishment is considered a Principal Permitted use in LI, per Section 3.1.16.B. xiii. Outdoor storage accessory to a permitted use is considered a special land use in the LI (Light Industrial) zoning district. Additional standards for this special land use are provided in Section 3.27 of the Land Use Permit #24-035 standards for mini warehouse establishments.

The 2022 plans showed the following storage options:

- 7 mini warehouse buildings without climate control, accessed on the outside via garage doors (typical drive-up storage units).
- 1 climate-controlled building with storage units within the building. Additional drive-up storage units are along the east and north sides of the building and are not climate controlled. This building also has a small office for a manager.
- 3 carports for RV storage/other vehicles or boats, open air and covered with a canopy (labeled as Storage Canopy on the plans). A screen wall is shown on the end of each canopy where facing Old US-23 or US-23.
- 1 unroofed, outdoor storage area, which shows gravel surfacing. In 2022, the applicant indicated to the Site Plan Review Committee that he will use asphalt millings in place of the gravel.

Under SP/SUP #22-015, the project consisted of two application elements: special land use and site plan approval for a mini warehouse establishment with outdoor storage accessory to the permitted land use. These were reviewed concurrently under the same application. For this type of proposal, the Planning Commission reviews the site plan and makes a final decision on the site plan. The Planning Commission also makes a recommendation to the Township Board regarding the special land use (outdoor storage accessory to a permitted use). The Township Board makes the final decision.

SP/SUP Application #22-015

On November 17, 2022, a public hearing was held at the regular meeting of the Planning Commission for SP/SUP #22-015. The Planning Commission approved the site plan and recommended approval of the special land use to the Township Board. The Township Board approved SP/SUP application #22-015 at their regular meeting on November 29, 2022.

Land Use Permit #24-035

Land Use Permit #24-035 was issued on March 25, 2024, for "grading only" on the site.

Extension of Site Plan Approval for SP/SUP #22-015

On October 9, 2024, the applicant Jerrad Beauchamp requested a one-year extension of site plan approval in the email dated October 9, 2024. The Planning Director approved a one-year extension of site plan approval for SP/SUP #22-025, to November 29, 2025.

Request and Project Summary

The applicant is requesting to amend the previously approved site plans that were approved under SP/SUP #22-015. The following is a summary of the 2022 plans and the revised plans under SP #25-006.

Plans approved under SP/SUP #22-015 – General Site Details

The 2022 plans show seven (7) drive-up mini warehouse buildings; one (1) climate-controlled storage building with a small office area and drive-up storage units on the north and east; 3 carports (Storage

Canopy) offering covered storage of RV's, motor vehicles, trailers and boats, with masonry screen (end) walls shown on sides facing US-23 or Old US-23; and one (1) unroofed, outdoor storage area, with gravel surfacing. The gravel outdoor storage area is approximately 139 feet by 326 feet, or 45,314 square feet. This area is intended to store motor vehicles, boats, trailers, etc. During the review of the plans in 2022, the applicant offered to use asphalt millings in place of the gravel surfacing in the outdoor storage area.

The following is a summary of the mini warehouse buildings and storage canopies (dimensions and square footage), approved under SP/SUP #22-015.

Building	Dimensions	Sq. Ft.
Building 1	30' x 186'	5,580 SF
Building 2	30' x 181'	5,430 SF
Building 3*	86' x 166'	14,276 SF
Building 4	30' x 326'	9,780 SF
Building 5	30' x 326'	9,780 SF
Building 6	30' x 326'	9,780 SF
Building 7	30' x 302'	9,090 SF
Building 8	30' x 240'	7,260 SF
Total SF for 8 Bldgs.		70,946 SF
Storage Canopy 1	84' x 207'	17,388 SF
Storage Canopy 2	84' x 316'	26,544 SF
Storage Canopy 3	84' x 191'	16,044 SF
Total SF for 3 Storage		59,976 SF
canopies		
Total SF all buildings		130,992 SF

^{*}Building 3 is the climate-controlled building with office space and storage units on north & east sides (units not climate-controlled).

The combined square footage of the eight (8) mini warehouse buildings is approximately 70,946 square feet. The three (3) carports equate to 59,976 square feet, bringing the total to approximately 130,992 square feet. The plan states the building coverage is 130,992 square feet.

Access to the site is from Old US-23 and includes a divider median. Four (4) parking spaces are shown on the south side of Storage Building #3, adjacent to the office. Asphalt pavement is shown for the maneuvering lanes within the site however curbing is not provided. Per Section 5.8.5.E. (Off-Street Parking Requirements), curbing is required for a parking area, with a minimum height of six (6) inches. In 2022, the applicant indicated to the Site Plan Review Committee that he would consider using a rolled curb. The drive aisle between the storage buildings is typically twenty-five (25) feet, and thirty-five (35) feet between the storage areas with canopies (carports). The perimeter drive aisles around the buildings range in width from thirty (30) feet to thirty-three (33) feet.

Two (2) detention ponds are shown, one on the south by the regulated wetland (Wetland A) and a second detention pond along the eastern side of the site.

The site is enclosed with a masonry pillar and black fencing system, six (6) feet in height, along the east and west sides of the site. Black vinyl coated chain link fencing, six (6) feet in height, is shown along the north property line and along the leading edge of the paved area on the south. A retaining wall is shown in the northwest corner, along the north property line.

Proposed Plans under SP #25-006

Site Layout & Building Size Information

The site layout is generally the same as was previously approved, with the same access driveway from Old US-23 with divider median; two (2) detention stormwater ponds; masonry pillar and black fencing system along the east and west sides of the site, with a minor variation in the line of the fence along the west side as compared with the 2022 plan; and black vinyl coated chain link fencing on the north property line and along the leading edge of the paved area on the south. The 3 carports (Storage Canopy) were eliminated, and the uncovered outdoor storage area is reduced in size. A second climate-controlled storage building is located on the south with an office and four (4) parking spaces. Four (4) additional self-storage mini warehouse buildings are provided. The total number of storage buildings has increased from eight (8) to thirteen (13) buildings. Minor changes to the internal circulation patterns occurred to accommodate the revised mix of buildings and outdoor storage area.

The drive aisle between the storage buildings is typically twenty-five (25) feet. The perimeter drive aisles around the buildings range in width from thirty-one (31) feet to thirty-four (34) feet. Four (4) barrier-free parking spaces are shown at each climate-controlled storage building.

For the previously approved plan under SP/SUP #22-015, the applicant offered to use asphalt millings in place of the gravel surfacing in the outdoor storage area. Staff assumes this will be provided as part of the current request and should be revised on the Construction Plan set. Additionally, curbing along the perimeter of the internal drive lanes is not proposed. In 2022, for SUP #22-015, the applicant indicated to the Site Plan Review Committee that he would consider using a rolled, asphalt curb along the perimeter of the asphalt. This detail should be added to the Construction Plan set.

In summary, the proposed plans show eleven (11) drive-up mini warehouse buildings; two (2) climate-controlled storage buildings, each with a small office area and parking spaces by the building; and one (1) unroofed, outdoor storage area, with gravel surfacing shown on the plans. The gravel outdoor storage area is approximately 97 feet by 326 feet, or 31,622 square feet. Staff assumes this area is intended to store motor vehicles, boats, trailers, etc.

The following is a summary of the mini warehouse buildings.

Building	Dimensions	Sq. Ft.
Building 1	45' x 210'	9,450 SF
Building 2	50' x 200'	10,000 SF
Building 3	40' x 190'	7,600 SF
Building 4	30' x 185'	5,550 SF
Building 5	30' x 180'	5,400 SF
Building 6*	85' x 165'	14,025 SF
Building 7	50' x 340'	17,000 SF
Building 8	50' x 322'	16,100 SF
Building 9	30' x 325'	9,750 SF
Building 10	30' x 325'	9,750 SF
Building 11	30' x 325'	9,750 SF
Building 12	30' x 325'	9,750 SF
Building 13*	90' x 275'	24,750 SF
Total SF all buildings		148,875 SF

^{*} Climate-controlled building with office

SITE PLAN REVIEW – Applicable Site Standards

This project was previously reviewed under SP/SUP #22-015, as outlined in the staff memorandums for the Planning Commission, dated November 10, 2022, and the Township Board, dated November 22, 2022. Please refer to those documents for the complete review of the prior plans/project. In the next section of this memorandum, the intent is to review applicable site standards for the proposed amended plans.

Building Setbacks (Sec. 3.1.16 and Sec.3.24)

Setback	Required	Proposed	Meets Requirements? (Y / N)
Front (east) Old US-23	80'	81.55'	Yes
Front (west) US-23	80'	80.15'	Yes
Side (north)	15'	19.09'	Yes
Side (south))	15'	142.08'	Yes

Lot Coverage (Sec. 3.1.16)

- Required Principal structure: 75% max.
- Proposed 28.9% (149,875sq. ft. bldg. (total) ÷ 518,484 sq. ft.)
- Meets Requirement? Yes
- Comment (none)

Off-Street Parking (Sec. 5.8.4.H – Mini or Self-storage Warehouse)

- Required Minimum 6 spaces plus adequate loading area at each unit
- Proposed 3 parking spaces, 10' X 20' in dimension plus 1 barrier-free parking space and access aisle by office in front of Buildings 6 and 13. TOTAL of 8 parking spaces. Loading area at each unit is not specified on the plan.
- Meets Requirement? **TBD**
- Comment Based on the previous review of parking under SUP #22-015, the Planning Commission did not have concerns with the lack of a loading area at each unit.

Landscaping and Screening (Sec. 5.11)

The proposed landscape plan is generally the same as what was approved under SUP #22-015, with the following changes:

- Addition of five (5) conifer trees in the northwest corner and three (3) conifer trees in the northeast corner of the site (8 trees total).
- One (1) canopy tree added at southeast corner of Building 13.
- <u>Comment:</u> The parking island at the northwest corner of Building 13 should be planted with lawn (80% minimum coverage) and one (1) canopy tree to meet the landscape requirements. A revised landscape plan is required with the Construction Plan set.

Lighting (Sec. 5.13)

- A. Intensity
- Required Max. 0.5 fc along property line adjacent to residential; or max.1.0 fc along property line adjacent to non-residential; average fc between 2.4 and 3.6 in main parking area and an average of 5.0 fc at main building entrance and at exit/entry drive; may not exceed 10 fc on site.
- Proposed Photometric plan indicates 0.0 fc along each property line. Footcandle value less than 10 fc throughout the site. Information on average footcandle values in the main parking area, at main building entrance, and exit/entry drives was not provided. Footcandle value for drive lanes is

stated as average of 1.5 fc. Plan states Footcandle values are measured at 0'-0" and 5'-0". Staff is unsure why both heights of measurement are listed. Required height for measurement of light intensity is 5 feet above ground level.

- Meets Requirement? See notes below
- Comment For this site intensity levels at the main exit/entry drive should be provided, but intensity levels at the main parking area and main building entry do not seem relevant, as there is a limited parking area and no designated main building (Buildings 6 and 13, at the office entrance, could be of consideration). Photometric plan to be revised to clarify height for measuring the footcandle values required height is at 5 feet above ground level. Lighting intensity at the main exit/entry drive should be provided on the Construction Plan set.

B. Fixture Height

- Required 25' or the height of the principal building, whichever is less, measured from the ground level to the centerline of the light source
- Proposed Light pole plus base height is not stated.
- Meets Requirement? See comments
- Comment Photometric plan to be revised to provide an elevation view of light pole and base, with total height stated, on the Construction Plan set.

C. Fixture Type

- Required Details of all lighting fixtures needed including specifications for shielding, wattage, and illumination
- Proposed Specifications for proposed light fixtures are provided.
- Meets Requirement? Yes
- Comment (none)

Architecture / Building Materials (Sec. 5.24)

Architecture Comments:

• Façade Materials Calculation – façade materials must comply with the specifications for Façade Materials Group #3; percentages for each warehouse building are listed on Sheet A1 and A2. The applicant did not provide elevation drawings and façade material calculations for every side of the buildings.

Architecture/Façade Materials

The mini warehouse buildings are primarily fabricated with the following façade materials: pre-finished metal siding (vertical siding), pre-finished metal roofing, cement board product used for cornices at the top of the building, metal garage doors for exterior access units, and windows on the two (2) climate-controlled buildings (Building 6 and 13).

Where the end wall of a storage building faces Old US-23 or US-23, up-graded products are used. The end wall is constructed with split-faced block at the base (beige color) and topped with C-Brick (2 colors: grey and a blended color). C-Brick is a half-high concrete masonry unit that serves as a structural system and exterior finish. Also, an inlaid panel, with vertical planks, is shown in the center of the tower element of each end wall. The product is called Nichiha, which is a fiber reinforced concrete product that resembles wood (Stated Color: Cedar). This product was presented by the applicant at the Planning Commission at the public hearing held on November 17, 2022 (SP/SUP #22-015). The Planning Commission did not have any objection to the product.

Per the elevation drawings, the following mini warehouse buildings have upgraded products on the end walls: Buildings 1, 2, 3, 4, and 5 (west elevation facing Old US-23); Buildings 7, 8, 9, 10, 11, and 12 (east elevation facing US-23).

SP Application #25-006 Mini warehouse amendment April 17, 2025 Page 7

Building elevations are not provided for every side of a mini warehouse building. In particular, building elevations are not provided for the end wall of each mini warehouse building for the side facing into the site, or the sides with the drive-up storage units with garage-type doors.

If the buildings are consistent with those discussed under SP/SUP #22-015, steel, roll-up garage doors are used for the drive-up storage units. Staff assumes the following:

- Buildings 2, 3, 4, 5, 9, 10, 11, and 12 have garage doors on the north and south side of each building.
- Buildings 1 and 7 have garage doors on the south side of each building.
- Building 8 has garage doors on the north side of the building.

The north elevation for Buildings1 and 7 are comprised of vertical, prefinished metal siding, as is the south elevation of Building 13. The color of the siding is not stated on the drawings.

The two (2) climate-controlled buildings also have upgraded products as follows: Building 6 (south and west elevations) and Building 13 (east and west elevations). Each building has an office area and bathroom. Windows and doors are shown on each of these buildings, at the office entrance, on the south elevation for Building 6 and on the west elevation for Building 13. Building elevations are not provided for the north side of Building 6 and Building 13.

Detailed elevations for each building will be required for the Construction Plan set, including product information and color samples for all products, including the garage door color(s).

The applicant was unable to provide a sample board of the façade materials before the Planning Commission meeting, thus staff could not confirm the product colors. At the Planning Commission meeting on November 17, 2022 (SP/SUP #22-015), the applicant showed the Commissioners a product information sheet showing the color options for the self-storage buildings. This information sheet had not been provided as an attachment for the memorandum dated November 10, 2022. At the meeting, the applicant stated the interior unit facades would generally be metal panels in earthtones with barn red doors. The product sample sheet is provided as an attachment in this memorandum.

Façade material information and calculations are provided on Sheet A1 and A2.

Floor Plans

A floor plan for a mini warehouse building (dimensions of 30 feet by 325 feet) is shown, labeled for #6-#9 but these building numbers do not match the building numbering on the site plans. Floor plans for other storage buildings with different dimensions are not provided. The floor plan for the mini warehouse building shows exterior access to storage units on each end wall of the building, with garage doors staff assumes. Garage doors will not be permitted for the end walls facing Old US-23 or US-23.

A floor plan is shown with what appears to be Building 13 (climate-controlled building); however, it is labeled as Building #10 on the drawing. The floor plan shows exterior access to the units on the north side of the building. A building elevation for the north side of Building 13 should be provided on the Construction Plan set that is consistent with the floor plan.

Comments on Architecture, Façade Materials, and Floor Plans

The proposed building elevations, building numbers, and floor plans do not match in several instances, or insufficient information has been provided by the applicant. A sample board of the façade materials was not provided in a timely fashion, for staff to confirm the products and product colors.

SP Application #25-006 Mini warehouse amendment April 17, 2025 Page 8

In the interest of moving this project forward, the applicant provided an email dated April 17, 2025, in which he states he agrees to provide color rendering of all structures to the Site Plan Review Committee (after the Planning Commission approval) and will comply with the colors the Committee approves. Additionally, the applicant agrees to modify Buildings #9, 10, 11, and 12 to show the brick product on the east end walls (side facing US-23) and no garage doors will be shown on these elevations for these buildings. Also, no garage doors will be shown on all buildings that directly face Old US-23, for Buildings #1, 2, 3, 4, and 5 (west end walls).

Approval Procedure

The proposed amendment to the previously approved plans under SP/SUP #22-015 requires the site plan to be reviewed by the Planning Commission who will make a final decision on the site plan. The proposed amendments are outlined in this memorandum.

Other Requirements-Zoning Ordinance Standards/Comments

No comments at this time.

Hartland Township DPW Review

Comments from the Hartland Township DPW Director are summarized in the email dated April 14, 2025.

Hartland Township Engineer's Review (SDA)

The Township Engineer (SDA) has reviewed the plans and provided comments in the letter dated February 24, 2025. Approval is not recommended at this time.

Hartland Deerfield Fire Authority Review

The Hartland Deerfield Fire Authority has reviewed the plans and provided comments in the letter dated March 24, 2025.

Attachments:

- 1. Hartland Township DPW email dated 04.14.2025 PDF version
- 2. Township Engineer (SDA) review letter dated 02.24.2025 PDF version
- 3. Hartland Deerfield Fire Authority review letter, dated 03.24.2025 PDF version
- 4. Staff memorandum for SUP #22-015 (PC) dated 11.10.2022 PDF version
- 5. Approved PC minutes 11.17.2022 PDF version
- 6. Applicant's email 04.17.2025 PDF version
- 7. Storage Building Colors (2022) PDF version
- 8. SUP #22-015 Approval letter dated 11.30.2022 PDF version
- 9. SUP #22-015 Approved Site Plan PDF version
- 10. SUP #22-015 Approved Landscape Plan PDF version
- 11. Site Plans dated 04.10.2025

CC:

SDA, Twp Engineer (via email)

Scott Hable, Twp DPW Director (via email)

A. Carroll, Hartland FD Fire Chief (via email)

T:\PLANNING DEPARTMENT\PLANNING COMMISSION\2025 Planning Commission Activity\Site Plan Applications\SP #25-006 Amend mini storage Beauchamp\Staff reports\Planning Commission\SP #25-006 PC staff report 04.17.2025.docx

Troy Langer

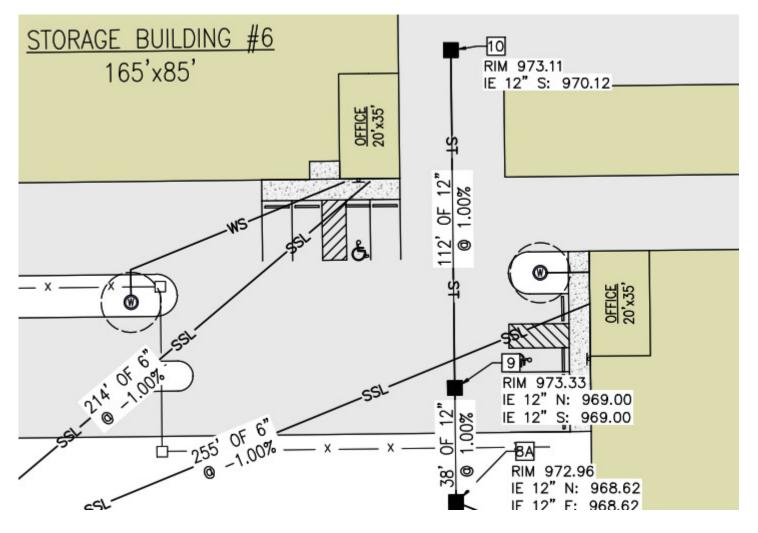
From: Troy Langer

Sent: Monday, April 14, 2025 8:44 AM

To: Troy Langer

Subject: FW: Comments on the mini warehouse project

Troy I guess I just need some clarification. If I'm reading this right, they are drilling 2 wells? One for each small office? I'm basing this off the W with the circle around it. Or possibly those are shut offs from the main Single well feed? Or, if one building is feeding off the other building's water line, it is not shown in the utility plans. If two wells is the case, we will require the purchase of two discharge meters, one for each well water line.



Thank You -



Scott Hable Public Works Director 810.632.7498 o 2655 Clark Road Hartland, MI 48353 www.hartlandtwp.com

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February 24, 2025

Timothy J. Zimmer Livingston Engineering 3300 S. Old US 23 Brighton, MI 48114

Re: Old US 23 Mini – Storage – Engineering Review #1 SDA Review No. HL22-117 1ST Engineering Review – **Approval Not Recommended**

Dear Timothy:

We have received the preliminary site plan submittal for the above referenced project prepared by Livingston Engineering dated January 30, 2025 and were received by our office on February 3, 2025. The plans were reviewed in accordance with Hartland Township Engineering Standards and the following comments are our observations.

Recommendation

Approval of the Engineering Final Site Plan is NOT recommended until the following items are addressed.

Comments:

The Engineering Final Site Plan does NOT meet the general requirements of the Hartland Township Code of Ordinances and the Current Design and Engineering Standards. The following must be addressed prior to resubmittal:

Project Summary

- Construction of a self-storage facility (Mini-Storage). It is located along the east side of Old US Hwy.
 23, south of E highland Road (M-59). It is measured as 11.90 acres total area
- Water service would be provided by a well on site. A proposed 2-inch water service is provided to serve storage building #3.
- Sanitary service would be provided from an existing 6-inch lead crossing Old US Hwy. 23. A proposed 6-inch sanitary lead is provided to the serve storage building #3.
- Storm water would be collected by multiple storm sewer collections systems and discharged to two on site detention basins, the two are connected by a storm pipe with final outlet to wetland A at the southeast corner of the site.

General

- 1. Sheet C2.0: Confirm benchmark matches plan view, BM 304 is not shown in the table and BM #303 is slightly obscured.
- 2. The existing site is located within wetlands areas. The current plans indicate that the proposed storm sewer management system will drain into Wetland A. An EGLE Permit or a letter of "No Authority" will be required for the proposed work.

Water Main

- 1. Well shall be installed according to Livingston County Health Department Standards and permit provisions.
- 2. Sheet C4.0: Identify "WLL 01" in Legend.



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Storm Drainage/Grading

- 1. Sheet C4.0:
 - a) At all pavement catch basins and inlets, a minimum of forty (40) lineal feet (twenty in each direction) of 6-inch drain shall be constructed.
 - b) Provide rip rap for end sections.
 - c) Catch basins shall be spaced a maximum of 330 feet in between.
 - d) No more than 1 acre of area shall be tributary to one standard catch basin.
- 2. Sheet C5.0:
 - a) The maximum allowable grade shall be 1 vertical to 4 horizontal.
 - b) Include existing contours in legend.
 - c) Provide top of curb elevations.
 - d) Indicate match the existing grade on the east side of "Detention Pond B".
 - e) Provide overland overflow below the finish grade of the proposed buildings once the curb is shown and elevations are provided.
 - f) Clearly show and label the wetlands in the grading plan.
- 3. Sheet C6.o:
 - a) Revise drainage areas for catch basins 20 and 21.
 - b) Confirm drainage area map matches the calculation sheet. For instance, area R9 is indicated as 0.62 acres in the map but as 0.83 acres in the calculation sheet.
 - c) The future area is indicated as 1.21 acres is shown draining off-site to wetland A. If the land is ever to be developed as a future improvement, it shall drain to the proposed pond and it shall be sized accordingly to account for the additional drainage area.

Paving

- 1. Provide a circulation layout demonstrating turning movements around the proposed buildings. It shall be reviewed and approved by the Hartland Fire Marshall.
- 2. Sheet C3.0:
 - a) Sidewalk ramps shall comply with MDOT's current R-28 detail. Identify ramp on the plan.
 - b) Identify all proposed curb on the plans. Curb shall follow Township standards as approved by the Planning Commission.

Sanitary Sewer

- 1. Livingston County Drain Commissioner's current standards shall govern for all sanitary sewer improvements within the Township. Provide correspondence of coordination with this department along with any design changes to the current design once final approval is obtained.
- 2. Provide location and invert for existing sanitary lead.
- 3. Provide Livingston County Sanitary Sewer Standard Detail sheets.

Permits Required

Based on those improvements depicted on the plans, the following permits may be required and will need to be provided to the Township once available. Any changes to the approved site plan from the following agencies that impact the design may require reapproval.

Hartland Township:

- 1. A Land Use Permit will be granted after the pre-construction meeting. (No Action Required until pre-con)
- 2. Storm Water Agreement (for the storm water improvements on the site). Fill out attached form.



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Livingston County:

- 1. Copy of Livingston County Drain Commissioner approval and permit.
- 2. Copy of a Soil Erosion and Sedimentation permit from Livingston County Drain Commissioner.
- 3. Copy of Livingston County Road Commission approval and permit for work in the Old US Highway 23 Road right-of-way.

Michigan Department of Transportation (MDOT):

1. Copy of Michigan Department of Transportation approval and/or permit for work in the US Highway 23 Road right-of-way. If required.

Michigan Department of Environment, Great Lakes, and Energy (EGLE):

- 1. NPDES Notice of Coverage Documentation.
- 2. MDEGLE Permit for all proposed work within the state-regulated wetlands, if applicable.

Please be aware that additional comments may arise with the submittal of the requested revisions and/or additional information including comments from other agencies.

The comments are not to be construed as approvals and are not necessarily conclusive. The final engineering plans for this development are to be prepared in accordance with the Hartland Township Engineering Design Standards and 2023 Hartland Township Standard Details. Sanitary sewer and water benefit fees may be applicable for this project.

If you have any questions regarding this matter, please contact our office at your convenience.

Sincerely,

SPALDING DEDECKER

Luca Amer

Luisa Amici Engineer Mark Collins, PE Project Manager

Made D Collin

cc: Troy Langer, Hartland Township Planning Director (via email)

Martha Wyatt, Hartland Township Planning Planner - Landscape Architect (via email)

Scott Hable, Hartland Township Public Works Director (via email)

Michael Luce, Hartland Township Manager (via email)

Encl: SWA request form



HARTLAND DEERFIELD FIRE AUTHORITY

HARTLAND AREA FIRE DEPT.

3205 Hartland Road Hartland, MI. 48353-1825 Voice: (810) 632-7676 E-Mail: firemarshal@hartlandareafire.com

March 24, 2025

To: Hartland Township Planning Commission

c/o: Planning Department

Re: Old US-23 Mini-Storage

This review and the following comments are upon the Old US-23 Mini-Storage Preliminary Site Plan, dated July 25, 2022.

- 1. Development to maintain minimum fifty foot (50') turning radiuses throughout the internal road system. If less than fifty foot (50'), but at least forty foot (40') turning radiuses throughout, than item number 2 of this document will be required.
- 2. Request the development to install a siren activated entry gate for emergency vehicles.
- 3. Development to provide Supra Brand Rapid Entry Key Box placement attached to the office building containing keys of each locked storage building (fire department to provide order form).

Jon Dehanke Fire Marshal

200 Dlanke

Hartland Township Planning Commission Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Site Plan with Special Land Use Application #22-015 (Mini warehouse establishment

with outdoor storage as accessory to a permitted use)

Date: November 10, 2022

Recommended Action

Move to recommend approval of Special Land Use Permit and approve Site Plan Application #22-015, a request to construct a mini warehouse establishment with outdoor storage as accessory to the permitted use, on a vacant parcel on Old US-23, in Section 28 of the Township (Tax Parcel ID #4708-28-300-023). The recommendation for approval is based on the following findings:

- 1. The proposed special land use, outdoor storage accessory to a permitted use (mini warehouse) meets the intent and purposes of the Ordinance as well as the specific standards outlined in Section 6.6 (Special Uses).
- 2. The proposed special land use is permitted in the LI (Light Industrial) zoning district as outlined in Section 3.1.16.D.ix, and the proposed use is compatible with the existing and future uses in the vicinity.
- 3. The Hartland Township Comprehensive Plan and the Future Land Use Map (FLUM) designate this property as Planned Industrial Research Industrial. The proposed special land use is compatible with the Comprehensive Plan and the FLUM.
- 4. The site is adequately served by existing essential facilities and public services and the Fire Department has no objection. The proposed use will be served by a public road with direct access to Old US-23.
- 5. The proposed use will not create additional requirements at public cost for public facilities as the proposed site will be served by private well (water) and sanitary sewer.

Approval is subject to the following conditions:

- 1. The proposed special land use, outdoor storage accessory to a permitted use, is subject to approval by the Township Board.
- 2. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated November 10, 2022, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
- 3. A land use permit is required after approval of the Site Plan and Special Use Permit and prior to construction.
- 4. Applicant complies with any requirements of the Department of Public Works Director, Township Engineering Consultant (SDA), Hartland Deerfield Fire Authority, and all other government agencies, as applicable.
- 5. (Any other conditions the Planning Commission deems necessary).

Page 2

Discussion

Applicant: Jerrad Beauchamp

Site Description

The subject property is located on the east side of Old US-23, north of Bergin Road, with frontage along Old US-23 and US-23. The undeveloped site, approximately 11.9 acres in area, is zoned LI (Light Industrial). (Tax Parcel ID #4708-28-300-023). The property has approximately 740 lineal feet along Old US-23 and approximately 736 lineal feet along US-23.

A mix of deciduous and evergreen trees are found in the center and northern area of the site along with open fields. Three (3) wetland areas are found on the site, as noted on the Existing Conditions and Removals page (Sheet 2.0). The wetland boundaries are based on the delineation completed by ASTI Environmental and provided by the applicant. Per the Wetland Delineation and Jurisdictional Assessment Report completed by ASTI, dated July 12, 2021, Wetland A is likely to be regulated by the Michigan Department of Environment, Great Lakes and Energy (EGLE), which is located in the southeast corner of the site. Wetlands B and C are not likely to be regulated by EGLE, per the Assessment Report.

Adjacent properties to the north (1480 Old US-23) and south (1200 Old US-23) are zoned LI (Light Industrial). On the west side of Old US-23 and across from the subject site, the property at 1285 Old US-23 is zoned CA (Conservation Agricultural) and is occupied by a single-family home. To the north of that parcel, the property is zoned LI (Light Industrial), at 1461 Old US-23. Historically a boat repair business has occupied this property.

The Future Land Use Map (FLUM) designates the subject site and adjacent properties to the north, south, west as Planned Industrial/Research and Development.

Background Information

The site is undeveloped and additional site history was not found.

Proposed Use

The applicant is requesting to construct a mini warehouse facility that includes an area for outdoor storage, which is considered a special land use. The plans show the following storage options:

- 7 mini warehouse buildings without climate control, accessed on the outside via garage doors (typical drive-up storage units).
- 1 climate-controlled building with storage units within the building. Additional drive-up storage units are along the east and north sides of the building and are not climate controlled. This building also has a small office for a manager.
- 3 carports for RV storage/other vehicles or boats, open air and covered with a canopy (labeled as Storage Canopy on the plans). A screen wall is shown on the end of each canopy where facing Old US-23 or US-23.
- 1 unroofed, outdoor storage area, which shows gravel surfacing, The applicant indicated to the Site Plan Review Committee that he will use asphalt millings in place of the gravel.

A mini warehouse establishment is considered a Principal Permitted use in LI, per Section 3.1.16.B. xiii. Outdoor storage accessory to a permitted use is considered a special land use in the LI (Light Industrial) zoning district. Additional standards for this special land use are provided in Section 3.27 of the Zoning

Ordinance (Outdoor Storage in the LI and I Districts). Section 4.35 (Mini Warehouses) provides standards for mini warehouse establishments.

The proposed project also requires site plan approval thus there are two application elements: special land use and site plan approval for a mini warehouse establishment with outdoor storage accessory to the permitted land use. Although there are technically two elements, all are incorporated into one combined site plan which will be reviewed and approved concurrently.

Per the Hartland Township Zoning Ordinance and the State Enabling Act, a public hearing is required for the special land use application. Given the requirements for publishing a notice for the special land use, the public hearing has been scheduled for the November 17, 2022, Planning Commission meeting.

Request and Project Summary

The applicant is requesting site plan with special land use approval to construct a mini warehouse establishment with an area dedicated for outdoor storage, as accessory to the permitted use.

The proposed mini warehouse facility includes seven (7) drive-up mini warehouse buildings; one (1) climate-controlled storage building with a small office area and drive-up storage units on the north and east; 3 carports (Storage Canopy) offering covered storage of RV's, motor vehicles, trailers and boats, with masonry screen (end) walls shown on sides facing US-23 or Old US-23; and one (1) unroofed, outdoor storage area, with gravel surfacing. The gravel outdoor storage area is approximately 139 feet by 326 feet, or 45,314 square feet. This area is intended to store motor vehicles, boats, trailers, etc. The applicant has offered to use asphalt millings in place of the gravel surfacing.

Following is a summary of the mini warehouse buildings and storage canopies (dimensions and square footage).

Building	Dimensions	Sq. Ft.
Building 1	30' x 186'	5,580 SF
Building 2	30' x 181'	5,430 SF
Building 3*	86' x 166'	14,276 SF
Building 4	30' x 326'	9,780 SF
Building 5	30' x 326'	9,780 SF
Building 6	30' x 326'	9,780 SF
Building 7	30' x 302'	9,090 SF
Building 8	30' x 240'	7,260 SF
Total SF for 8 Bldgs.		70,946 SF
Storage Canopy 1	84' x 207'	17,388 SF
Storage Canopy 2	84' x 316'	26,544 SF
Storage Canopy 3	84' x 191'	16,044 SF
Total SF for 3 Storage		59,976 SF
canopies		
Total SF all buildings		130,992 SF

^{*}Building 3 is the climate-controlled building with office space and storage units on north & east sides (units not climate-controlled).

The combined square footage of the eight (8) mini warehouse buildings is approximately 70,946 square feet. The three (3) carports equate to 59,976 square feet, bringing the total to approximately 130,992 square feet. The plan states the building coverage is 130,992 square feet.

As an overall guide to the design of the mini warehouse buildings, the end wall of each warehouse building, where facing Old US-23 or US-23, is constructed with split-faced block at the base (beige color) and topped with C-Brick in 2 colors (grey and brown), with a smooth face finish. C-Brick is a half-high concrete masonry unit that serves as a structural system and exterior finish. The cornice at the top is comprised of a grey tone cement board product.

Steel garage doors for the drive-up storage units are on the north and south sides of each warehouse building, for Buildings 1, 2, 4, 5, 6, and 7. Building 3 has drive-up storage units with garage doors on the north and east sides which are not climate-controlled. The remainder of Building 3 is climate-controlled with entry through several man-doors. Building 8 has garage doors on the north side. The south elevation is faced with ribbed metal panels in a sandstone color. All garage doors are a barn red color.

Where the end wall of the warehouse building is facing into the site, there are steel garage doors (1 to 3 doors), and ribbed metal panels make up the rest of the elevation. For instance, if the end wall has one (1) garage door, the remaining portion of that wall is ribbed metal panels in a sandstone color. This is the design for warehouse buildings 1, 2, 4, 5, and 6. Buildings 7 and 8 have masonry walls on both ends of the building (east and west elevations).

Each Storage Canopy (carport) has a masonry wall (free-standing) on the end facing either Old US-23 or US-23. The free-standing canopy structure is on the other side of the wall. The wall is intended to screen the canopy structure from view from the street. The north and south sides are open for vehicular access. The fourth side is also open (no screen wall). The applicant has submitted photographs of canopy structures as examples, however specific product information is not provided (manufacturer, materials, dimensions, etc.). Height information on the screen wall and canopy structure is explained in an attachment (PVA Response letter to the Township dated November 3, 2022). Per that document the height of the masonry screen wall is 18'-2" and the height of the canopy structure is 16'-11".

Access to the site is from Old US-23 via a boulevard entrance. Four (4) parking spaces are shown on the south side of Storage Building #3, adjacent to the office. Asphalt pavement is shown for the maneuvering lanes within the site however curbing is not provided. Per Section 5.8.5.E. (Off-Street Parking Requirements), curbing is required for a parking area, with a minimum height of six (6) inches. The applicant indicated to the Site Plan Review Committee that he would consider using a rolled curb. The drive aisle between the storage buildings is typically twenty-five (25) feet, and thirty-five (35) feet between the storage areas with canopies (carports). The perimeter drive aisles around the buildings range in width from thirty (30) feet to thirty-three (33) feet.

Two (2) detention ponds are shown, one on the south by the regulated wetland (Wetland A) and a second detention pond along the eastern side of the site.

The site is enclosed with a masonry pillar and black fencing system, six (6) feet in height, along the east and west sides of the site. Black vinyl coated chain link fencing, six (6) feet in height, is shown along the north property line and along the leading edge of the paved area on the south.

Approval Procedure

The proposed special land use, outdoor storage accessory to a principal permitted use, requires approval from the Township Board. The Planning Commission will review the special land use and make a recommendation to the Township Board.

The project also requires the site plan to be reviewed by the Planning Commission who will make a final decision on the site plan. The plans will be reviewed using the development standards of the LI (Light Industrial) zoning district (Section 3.1.16.), standards associated with mini warehouses (Section 4.35), and all applicable zoning standards in the Zoning Ordinance. Section 4.38 (Open Air Business, Commercial Outdoor Display, Sales or Storage) speaks to those uses listed however it seems to be applicable to commercial businesses that have outdoor sales and display areas for products offered at that business. In this case, the site is for the storage of personal items which are not intended to be for sale or be displayed. As a result, the standards from Section 4.38 are not discussed for this request. Should the Planning Commission determine Section 4.38 is applicable, those standards could be reviewed.

SPECIAL LAND USE REVIEW – General Standards

In accordance with Section 6.6, Special Uses, of the Hartland Township Zoning Ordinance, the following standards shall serve the Planning Commission and Township Board as the basis for decisions involving such uses. The standards are provided below, and the applicant has submitted a letter, as a separate attachment, which addresses the special use criteria.

- A. Be harmonious and in accordance with the objectives, intent, and purposes of this Ordinance.
- B. Be compatible with the natural environment and existing and future land uses in the vicinity.
- C. Be compatible with the Hartland Township Comprehensive Plan.
- D. Be served adequately by essential facilities and public services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to adequately provide any such service.
- E. Not be detrimental, hazardous, or disturbing to the existing or future neighboring uses, person, property, or the public welfare.
- F. Not create additional requirements at public cost for public facilities and services that will be detrimental to the economic welfare of the community.

The Planning Department believes the proposed use can and will meet the criteria listed above for the special land use request. The applicant has provided responses to the special land use general standards as an attachment, in the letter dated November 9, 2022. The applicant will be responsible for all applicable approvals and permits from other agencies and departments for the proposed use.

SPECIAL LAND USE REVIEW – Applicable Site Standards

In addition to a finding by the Planning Commission and Township Board that the criteria above have been satisfied, standards outlined in Section 3.27 (Outdoor Storage in the LI & I Districts), for the special land use, will apply. The standard is listed below, followed by staff's findings.

Outdoor Storage in the LI &I Districts (Section 3.27)

1. All outdoor storage areas shall be screened from public rights-of-way and adjacent public use areas with screening in accordance with the provisions of Section 5.11 (Landscaping and Screening) and 5.20 (Walls and Fences).

The outdoor storage area is interior to the site, on the east side, and is surrounded by a combination of storage buildings (#1, #2, and #4) and carports (all 3 storage canopies plus end walls). These

structures provide some screening on the north, south, and west sides of the outdoor storage area. The height of each storage building is 12'-2" to the tallest point. The carport end wall is 22'-2" to the tallest point. The majority of the end wall is 18'-2" high.

Canopy and evergreen trees are shown on the east side of the site (adjacent to the ROW of US-23) as well as the masonry and pillar fencing system. A similar landscape plan and fencing is provided along the west side of the site and ROW of Old US-23. The combination of the buildings, carports, and landscaping provides sufficient screening of the outdoor storage area.

SITE PLAN REVIEW – Applicable Site Standards

The applicable site standards include those standards related to the proposed use, mini warehouse with special land use of outdoor storage as outlined in Section 3.1.16 (LI-Light Industrial); Section 3.27 (Outdoor Storage in the LI & I Districts), as discussed above; Section 4.35 (Mini Warehouses) of the Zoning Ordinance; and all applicable zoning standards in the Zoning Ordinance.

Impact Assessment

An impact assessment was not provided.

Traffic Generation

A traffic impact assessment was not provided.

Dimensional Requirements (LI-Light Industrial; Section 3.1.16)

Lot Size (Sec. 3.1.16)

- Required 40,000 sq. ft.
- Proposed 11.90 acres (518,484 sq. ft.)
- Meets Requirement? Yes
- Comment (none)

Frontage (Sec. 3.1.16)

- Required Minimum lot width of 120 feet
- Proposed 740 lineal feet along Old US-23 and approximately 736 lineal feet along US-23
- Meets Requirement? Yes
- Comment (none)

Building Setbacks (Sec. 3.1.16 and Sec.3.24)

Setback	Required	Proposed	Meets Requirements?
			(Y / N)
Front (east)	80'	80'	Yes
Old US-23			
Front (west)	80'	86.57'	Yes
US-23			
Side (north)	15'	33.18'	Yes
Side (south))	15'	142.08'	Yes

Building Height (Sec. 3.1.16)

- Required 35 feet or 2½ stories, whichever is less
- Proposed 22'-6" feet

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- Meets Requirement? Yes
- Comment (none)

Lot Coverage (Sec. 3.1.16)

- Required Principal structure: 75% max.
- Proposed 25% (130,922 sq. ft. bldg. (total) ÷ 518,484 sq. ft.)
- Meets Requirement? Yes
- Comment (none)

Section 4.35 Mini Warehouses

The following regulations shall apply to Mini Warehouses:

1. Permitted Uses. Mini warehouse establishments shall provide for storage only, which must be contained within an enclosed building. No water or telephone service shall be provided. Electric service shall be limited to 10 amperes.

Eight (8) mini warehouse buildings are shown with all storage within the buildings. Private well (water) and sanitary services will be provided for the office. Information on the electric service was not provided. Site lighting (exterior) is proposed.

2. Site Enclosure. The entire site, exclusive of access drives, shall be enclosed with a six (6) foot high masonry wall, constructed in accordance with Section 5.20, Screening. A six (6) foot chain link fence may be permitted along the property lines which do not abut residentially zoned or residentially used district.

The subject site is bounded by Old US-23 on the west and US 23 on the east. Adjacent properties to the north and south are zoned LI (Light Industrial). Screening is provided on the east and west sides by using landscaping (trees and shrubs) and a 6-foot high fencing system (masonry post and black metal spindles). Black vinyl coated chain link fencing, six (6) feet in height, is shown along the north property line and along the leading edge of the paved area on the south. A regulated wetland (Wetland A) provides additional screening on the south. The proposed screening seems to be sufficient and meets the intent of the Ordinance.

3. Exterior Appearance. The exterior of any mini warehouse shall be of finished quality and design, compatible with the design and structures on surrounding property.

The proposed façade materials are compatible with the design and structures on surrounding properties to the north and south.

4. Resident manager. A resident manager may be permitted on the site for the purpose of maintaining the operation of the facility in conformance with the conditions of approval.

It is staff's understanding that the office area will be designated for the manager.

- 5. On-Site Circulation and Parking.
 - A. All one-way driveways shall be designed with one ten (10) foot wide loading/unloading lane and one fifteen (15) foot travel lane.
 - B. All two-way driveways shall be designed with one ten (10) foot wide loading/unloading lane and two twelve (12) foot travel lanes.

C. The parking lanes may be eliminated if the driveway does not serve storage units. Signs and painted lines shall be used to indicate parking and traffic direction throughout the site.

Option B is applicable in this case as the interior travel lanes are two-way. The travel lane width between two (2) warehouse buildings is twenty-five (25) feet for 2 travel lanes, running east-west. A dedicated loading/unloading lane is not shown. The Planning Commission is to determine if this is required. Per the applicant, he anticipates the facility will generate a low volume of traffic within the site and few conflicts will occur with vehicular circulation as patrons load or unload items from their storage unit, thus an additional loading/unloading lane is unnecessary.

Site Requirements

Dumpster Enclosure (Sec. 5.7)

- Required Dumpster designed, enclosed, and screened per requirements; dumpster materials must match the building, enclosure height sufficient to screen dumpsters; minimum height is 6 feet.
- Proposed None shown
- Meets Requirement? NA
- Comment (none)

Off-Street Parking (Sec. 5.8.4.H – Mini or Self-storage Warehouse)

- Required Minimum 6 spaces plus adequate loading area at each unit
- Proposed 3 parking spaces, 10' X 20' in dimension plus 1 barrier-free parking space and access aisle by office in Storage Building #3; loading area at each unit is not specified on the plan.
- Meets Requirement? **TBD**
- Comment Section 5.8.4.H.i. states that the Planning Commission may modify the numerical number of off-street parking spaces, based on evidence that another standard would be more reasonable, because of the level of current or future employment and/or level of current or future customer traffic. Consideration should be given toward testimony from the applicant on the number of spaces they believe would be necessary for the mini warehouse facility. Please see the applicant's letter dated November 9, 2022. The Planning Commission to determine if four (4) parking spaces are sufficient for this facility, and if a loading area at each storage unit is required.

Barrier-Free Parking

- Required 1 barrier-free space in a location most accessible to the building entrance, with at least 1 space van-accessible (1 barrier-free space required per 25 parking spaces)
- Proposed 1 barrier-free space, with 5-foot wide access aisle near the entrance to the office in Storage Building #3
- Meets Requirement? **No**
- Comment The plans are to be revised to show an 8-foot wide van accessible access aisle adjacent to the barrier-free parking space, on the Construction Plan set.

Parking Lot / Driveway / Internal Roads Setbacks (Sec. 5.8.3.)

- Required Off-street parking in industrial districts may only be located in a side or rear yard or non-required front yard; may not be permitted within 20' of a single-family district, nor within 10' of a road ROW, or 25' from a front lot line, nor 10' from a side or rear lot line.
- Proposed Parking is interior to the site, approximately 192 feet from the Old US-23 ROW
- Meets Requirement? Yes
- Comment (none)

Loading (Sec. 5.9)

- Required 1 loading space (10' X 50') required for up to 10,000 sq. ft. of gross floor area (for industrial use)
- Proposed Loading space is not shown
- Meets Requirement? Yes
- Comment Typically this has not been required to be shown on a plan. Also, there appears to be sufficient room in the drive aisles adjacent to each warehouse building to accommodate loading/unloading activities.

Access Management and Non-Residential Driveway Standards (Sec. 5.10)

- Required Per Sec. 5.10.5.C., the minimum access spacing between commercial driveways on a street with a posted speed limit of 50 MPH or greater is 330 feet.
- Proposed The posted speed limit is 55 MPH on Old US-23. The spacing between the proposed driveway and the driveway to the north (1480 Old US-23) is approximately 660 feet. The spacing between the proposed driveway and the driveway to the south (1200 Old US-23) is approximately 860 feet.
- Meets Requirement? Yes
- Comment (none)

Landscaping and Screening (Sec. 5.11)

- A. Landscaping of Divider Median (Sec. 5.11.2.A.vii.)
 - Required Curbed, 10-ft. wide divider median; 1 canopy or evergreen tree and 6 medium shrubs for initial 25 lineal feet or portion thereof; PLUS 1 additional canopy or evergreen tree and 4 additional medium shrubs for every increment of 25 lineal feet. Trees to be spaced no farther than 60 ft. center-to center. Median is approx. 67 feet in length. EQUATES TO: 3 canopy trees and 13 medium shrubs REQUIRED
 - Proposed curbed, 10-ft. wide median; 2 canopy trees; 18 medium shrubs; perennial plants and ornamental grasses. Monument sign shown on west end of median.
 - Meets Requirement? Yes, a monument sign is shown, limiting the space for a 3rd canopy tree
 - Comment In order to avoid on-going weeding issues, staff recommends elimination of the 18 shrubs and using lawn in that area of the median plus 2 canopy trees (area on the east side of the median). The proposed perennial plants and ornamental grasses can remain, if 80% coverage of plant material is achieved at the ground surface. The median should be mulched (shredded hardwood mulch) and irrigated and shown on the landscape plan. The revised landscape plan shall be submitted with the Construction Plan set.
- B. Greenbelt Landscaping (Sec. 5.11.C.). Although this site has frontage on Old US-23 and US-23, historically Greenbelt calculations have been only applied to the frontage along Old US-23, for properties in this same situation.
 - Required Within the first 30 feet of the property, 1 canopy tree for every 30 ft of lineal of frontage; PLUS 3 small deciduous ornamental trees or large deciduous or evergreen shrubs for the initial 40 ft., and 1 per 20 ft. thereafter, for 740' of frontage along Old US-23. EQUATES TO: 25 canopy trees and 38 additional ornamental trees, or large deciduous or evergreen shrubs REQUIRED
 - Proposed 17 canopy trees; 3 ornamental trees; and 43 deciduous shrubs, within first 30 feet of frontage along Old US-23
 - Meets Requirement? Yes, for the number of shrubs; No for the number of canopy trees
 - Comment Planning Commission to determine if the proposed plan meets the intent of the Greenbelt Landscaping regulations for the number of canopy trees. Consideration could be

given to counting the 6 evergreen trees that are outside the 30-foot Greenbelt area, as counting toward the required number of trees.

- C. Foundation Landscaping (Sec. 5.11.2.D.)
 - Required Must equal 60% of the front and sides of the proposed building where facing road or adjacent to parking lot; must be 8-10 ft. in width, and consist of 1 ornamental or columnar tree, and 6 medium or 8 small shrubs for every 30 ft.
 - Proposed Foundation landscaping is not proposed
 - Meets Requirement? TBD
 - Comment Planning Commission to determine if this requirement is applicable given the proposed use (warehouse buildings) with limited area for landscape beds, and the fact that the warehouse buildings are not adjacent to a parking lot, except for Storage Building #3.
- D. Parking Lot Landscaping (Sec. 5.11.2.E.) Only applicable for off-street parking areas with more than ten (1) parking spaces (4 parking spaces proposed).
- E. Buffering or Screening (Sec. 5.11.2.G.i.) Screening between land uses NA as adjacent properties to the north and south are zoned LI (Light Industrial).
- F. Screening of Ground Mounted Equipment (Sec. 5.11.2.G.iii.)
 - Required Screening on three sides for utility cabinets (if 30 inches or more in height)
 - Proposed Ground mounted equipment is not proposed. The HVAC equipment for Building #3 is housed inside the building.
 - Meets Requirement? NA
 - Comment (none)
- G. Detention/Retention Area Landscaping (Sec. 5.11.2.H.)

Calculations for Detention Basin A (SE corner of site; 615' pond perimeter)

- Required Detention/retention ponds must be integrated into the overall design of the property and landscaped to provide a natural setting; 1 canopy or evergreen tree and 10 medium, 6 large shrubs or ornamental trees must be planted for every 50 ft. of pond perimeter. Pond Perimeter approx. 615 ft., EQUATES TO: 12 canopy or evergreen trees, and 120 medium shrubs, or 72 large shrubs or ornamental trees REQUIRED
- Proposed 12 trees (6 deciduous and 6 evergreen trees); 0 shrubs
- Meets Requirement? TBD for number of shrubs
- Comment Applicant has provided a note on Sheet LP-1 stating Detention Basin A is adjacent to Wetland A. Detention shrubs were not provided in lieu of existing wetland plants and scrub growth associated with the wetland area, per the applicant. Planning Commission to determine if this meets the intent of the ordinance requirements.

Calculations for Detention Basin B (East side of site; 1,047' pond perimeter)

- Required detention/retention ponds must be integrated into the overall design of the property and landscaped to provide a natural setting; 1 canopy or evergreen tree and 10 medium, 6 large shrubs or ornamental trees must be planted for every 50 ft. of pond perimeter. Pond Perimeter approx. 1,047 ft., EQUATES TO: 21 canopy or evergreen trees, and 210 medium shrubs, or 126 large shrubs or ornamental trees REQUIRED
- Proposed 21 trees (8 deciduous and 13 evergreen trees); 107 large shrubs
- Meets Requirement? TBD for number of shrubs
- Comment Planning Commission to determine if the proposed number of shrubs meets the intent of the ordinance requirements (deficient 19 large shrubs).

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Other comments on landscaping

Some of the plant counts listed on Sheet LP-1 (Landscaping Plan) for the landscape calculations do not match the number of plant symbols shown on the landscape plan. Also, several plant name abbreviations are stated but the plant name is not listed in the Plant List (AS, TD, and VL). A revised landscape plan shall be submitted as part of the Construction Plan set.

Sidewalks and Pathways (Sec. 5.12)

- Required The Planning Commission may require sidewalks or safety paths as a condition of site plan approval
- Existing Sidewalk along Old US-23 is not proposed
- Meets Requirement? **TBD**
- Comment Planning Commission to decide if this is applicable to the subject site. Currently, there are no sidewalks along the east side of Old US-23.

Lighting (Sec. 5.13)

A. Intensity

- Required Max. 0.5 fc along property line adjacent to residential; or max.1.0 fc along property line adjacent to non-residential; average fc between 2.4 and 3.6 in main parking area and an average of 5.0 fc at main building entrance and at exit/entry drive; may not exceed 10 fc on site.
- Proposed Photometric plan indicates 0.0 to 0.1 fc along each property line. Footcandle value less than 10 fc throughout the site. Information on average footcandle values in the main parking area, at main building entrance, and exit/entry drives was not provided. Footcandle values are measured at 0 feet above ground level and required height for measurement is 5 feet above ground level.
- Meets Requirement? See notes below
- Comment For this site intensity levels at the main exit/entry drive should be provided, but intensity levels at the main parking area and main building entry do not seem relevant, as there is a limited parking area and no designated main building (Building #3 at the office entrance could be of consideration). Photometric plan to be revised to measure the footcandle values at 5 feet above ground level and lighting intensity at the main exit/entry drive on the Construction Plan set.

B. Fixture Height

- Required 25' or the height of the principal building, whichever is less, measured from the ground level to the centerline of the light source
- Proposed Light poles stated as 15 ft. in height
- Meets Requirement? Yes
- Comment (none)

C. Fixture Type

- Required Details of all lighting fixtures needed including specifications for shielding, wattage, and illumination
- Proposed Specifications for proposed light fixtures are provided.
- Meets Requirement? Yes
- Comment (none)

Water Supply and Wastewater Disposal (Sec. 5.16)

The site is served by private well (water) and sanitary sewer.

Architecture / Building Materials (Sec. 5.24)

Architecture Comments:

• Façade Materials Calculation – façade materials must comply with the specifications for Façade Materials Group #3; percentages for each warehouse building and end wall of each storage canopy are listed on Sheet A1 and A2.

The applicant did not provide elevation drawings and façade material calculations for every side of a warehouse building. In instances where the entire side of a building is garage doors or ribbed metal panels, staff has listed that as 100% metal even though there may also be a cornice detail along the top of the building (cement board). Where information is lacking, the percentage is listed as UK (unknown). For end walls facing interior to the site, a combination of garage doors (1 to 3 doors) and ribbed metal panels are proposed for Building 1, 2, 3, 4, 5, and 6. Elevations and façade percentages are not provided on Sheet A1 and A2.

Materials Group #3: Proposed Façade Materials by Percentage by Elevation – Building #01

Matthais G	viaterials Group #3. Troposed raçade Materials by refeelinge by Elevation – Building #01							
Elevation	C-Brick	Split-faced	Molded	Glass	Metal Garage	Ribbed		
	(not listed	Block	cornices	(50% max.)	Doors	Metal Panels		
	in Sec.	(75% max.)	(15%		(not listed in	(50% max.)		
	5.24)		max.)		Sec. 5.24)			
North	0.0%	0.0%	UK	0.0%	100%	0.0%		
East	0.0%	0.0%	UK	0.0%	UK	UK		
South	0.0%	0.0%	UK	0.0%	100%	0.0%		
West	61.8	24.84%	13.98%	0.0%	0.0%	0.0%		

Materials Group #3: Proposed Facade Materials by Percentage by Elevation – Building #02

Finterials Group not Troposed rugade materials by references by Elevation Building no						
Elevation	C-Brick	Split-faced	Molded	Glass	Metal Garage	Ribbed Metal
	(not listed	Block	cornices	(50% max.)	Doors	Panels
	in Sec.	(75%	(15% max.)		(not listed in	(50% max.)
	5.24)	max.)			Sec. 5.24)	
North	0.0%	0.0%	UK	0.0%	100.0%	0.0%
East	0.0%	0.0%	UK	0.0%	UK	UK
South	0.0%	0.0%	UK	0.0%	100%	0.0%
West	61.18%	24.84%	13.98%	0.0%	0.0%	0.0%

Materials Group #3: Proposed Facade Materials by Percentage by Elevation – Building #03

materials o	viacerials Group #5: Troposed Paçade Materials by Percentage by Elevation Building #05						
Elevation	C-Brick	Split-	Molded	Glass	Metal	Ribbed	Entry
	(not listed	faced	cornices	(50%	Garage	Metal	doors
	in Sec.	Block	(15%	max.)	Doors	Panels	(not
	5.24)	(75%	max.)		(not listed	(50%	listed in
		max.)			in Sec.	max.)	Sec.
					5.24)		5.24)
North	0.0%	0.0%	UK	0.0%	100%	UK	UK
East	0.0%	0.0%	UK	UK	UK	UK	UK
South	67.40%	24.47%	0.13%	4.84%	0.0%	0.0%	3.16%
West	67.66%	22.45%	9.89%	0.0%	0.0%	0.0%	0.0%

Materials Group #3: Proposed Façade Materials by Percentage by Elevation – Building #04

		,				
Elevation	C-Brick	Split-faced	Molded	Glass	Metal Garage	Ribbed Metal
	(not listed	Block	cornices	(50% max.)	Doors	Panels
	in Sec.	(75% max.)	(15% max.)		(not listed in	(50% max.)
	5.24)				Sec. 5.24)	, ,
North	0.0%	0.0%	UK	0.0%	100%	0.0%
East*	UK	UK	UK	UK	UK	UK
South	0.0%	0.0%	UK	0.0%	100%	0.0%
West	61.18%	24.84%	13.98%	0.0%	0.0%	0.0%

^{*}Staff assumes the information listed for Building #4 on Sheet A2 has flipped the façade material information for the east and west end walls, as the east end wall faces US-23 and would have masonry products, and the west end wall is interior to the site and may have 1-3 garage doors/ribbed metal panels.

Materials Group #3: Proposed Facade Materials by Percentage by Elevation – Building #05

Materials G	laterials Group #3. Troposed raçade Materials by refeeltage by Elevation – Building #03					
Elevation	Elevation C-Brick		Molded	Glass	Metal	Ribbed
	(not listed in	Block	cornices	(50%	Garage	Metal
	Sec. 5.24)	(75% max.)	(15% max.)	max.)	Doors	Panels
					(not listed in	(50% max.)
					Sec. 5.24)	
North	0.0%	0.0%	UK	0.0%	100%	0.0%
East	61.18%	24.84%	13.98%	0.0%	0.0%	0.0%
South	0.0%	0.0%	UK	0.0%	100%	0.0%
West	0.0%	0.0%	UK	0.0%	UK	UK

Materials Group #3: Proposed Façade Materials by Percentage by Elevation – Building #06

	- · F - · · · F ·		J	entuge of En	, meron 2 minus	
Elevation	C-Brick	Split-faced	Molded	Glass	Metal	Ribbed
	(not listed in	Block	cornices	(50%	Garage	Metal
	Sec. 5.24)	(75% max.)	(15% max.)	max.)	Doors	Panels
	·				(not listed in	(50% max.)
					Sec. 5.24)	
North	0.0%	0.0%	UK	0.0%	100%	0.0%
East	61.8%	24.84%	13.98%	0.0%	0.0%	0.0%
South	0.0%	0.0%	UK	0.0%	100%	0.0%
West	0.0%	0.0%	UK	0.0%	UK	UK

Materials Group #3: Proposed Façade Materials by Percentage by Elevation – Building #07

Elevation	C-Brick	Split-faced	Molded	Glass	Metal	Ribbed
	(not listed in	Block	cornices	(50%	Garage	Metal
	Sec. 5.24)	(75% max.)	(15% max.)	max.)	Doors	Panels
					(not listed in	(50% max.)
					Sec. 5.24)	
North	0.0%	0.0%	UK	0.0%	100%	0.0%
East	61.18%	24.84%	13-98	0.0%	0.0%	0.0%
South	0.0%	0.0%	UK	0.0%	100%	0.0%
West	61.18%	24.84%	13.98%	0.0%	0.0%	0.0%

Materials Group #3: Proposed Façade Materials by Percentage by Elevation – Building #08

Elevation	C-Brick	Split-	Molded	Glass	Metal	Exposed	Ribbed
	(not listed	faced	cornices	(50%	Garage	Concrete	Metal
	in Sec.	Block	(15%	max.)	Doors	(not listed in	Panels
	5.24)	(75%	max.)		(not listed	Sec 5.24)	(50%
		max.)			in Sec.		max.)
					5.24)		
North	0.0%	0.0%	UK	0.0%	100%	0.0%	0.0%
East	46.34%	20.94%	11.78%	0.0%	0.0%	20.94%	0.0%
South	0.0%	0.0%	UK	0.0%	0.0%	0.0%	100%
West	46.34%	20.94%	11.78%	0.0%	0.0%	20.94%	0.0%

Materials Group #3: Proposed Façade Materials by Percentage by Elevation – Canopy #01

Elevation	C-Brick	Split-faced Block	Molded cornices
	(not listed in Sec. 5.24)	(75% max.)	(15% max.)
West	76.19%	17.59%	6.22%

Materials Group #3: Proposed Facade Materials by Percentage by Elevation – Canopy #02

THE CELLUIS OF	toup net Troposeuruşuu	e materials by a creentage by	Elevation Canopy "02	
Elevation	C-Brick	Split-faced Block	Molded cornices	
	(not listed in Sec. 5.24)	(75% max.)	(15% max.)	
East	76.19%	17.59%	6.22%	

Materials Group #3: Proposed Façade Materials by Percentage by Elevation – Canopy #03

Elevation	C-Brick	Split-faced Block	Molded cornices
	(not listed in Sec. 5.24)	(75% max.)	(15% max.)
West	76.19%	17.59%	6.22%

- Colors: Earthtone colors are proposed for all products in tones of grey, beige, and brown. Barn red garage doors are proposed.
- General product information for each façade material is stated on the building elevations, however specific product information on each façade material should be submitted (product name, manufacturer name, and specific color name) or stated on the Construction Plan set.
- Materials: Façade material percentages for split-faced block, molded cornices, and glass comply with the Ordinance. Percentages are listed by elevation as indicated by the table; however additional information is required for remaining elevations where percentages and drawings were not provided, to be submitted with the Construction Plan set.
- Meets Requirement? C-Brick is not listed as a Facade Material option. Per the applicant the block size is 4" tall by 16" in length and has a smooth-faced finish.
- Comment Planning Commission to determine if C-Brick is an acceptable product for a façade material.

Other Requirements-Zoning Ordinance Standards/Comments

No comments at this time.

Hartland Township DPW Review

A review letter is provided from the Hartland Township DPW Director, dated November 8, 2022.

Page 15

Hartland Township Engineer's Review (SDA)

The Township Engineer (SDA) has reviewed the plans and recommends approval subject to items being addressed in the letter dated November 7, 2022.

Hartland Deerfield Fire Authority Review

The Hartland Deerfield Fire Authority has reviewed the plans and provided comments in the letter dated November 3, 2022. Approval is subject to the contingencies being addressed as outlined in the letter.

Attachments:

- 1. Hartland Township DPW review letter, dated 11.08.2022 PDF version only
- 2. Township Engineer (SDA) review letter dated 11.07.2022 PDF version only
- 3. Hartland Deerfield Fire Authority review letter, dated 11.03.2022 PDF version only
- 4. ASTI Wetland Delineation Report dated 07.12.2021 PDF version only
- 5. Applicant's summary dated 11.09.2022– PDF version only
- 6. PVA response letter to Township 11.03.2022 PDF version only
- 7. Section 3.1.16 LI (Light Industrial) Regulations *PDF version only*
- 8. Section 3.27 (Outdoor Storage in the LI and I Districts) PDF version only
- 9. Section 4.35 (Mini Warehouses) *PDF version only*
- 10. Example Drawings Premium CC building PDF version only
- 11. Example Drawings Premium NCC Building PDF version only
- 12. Example of Carport Structure 1 PDF version only
- 13. Example of Carport Structure 2 *PDF version only*
- 14. Example of Carport Structure 3 *PDF version only*
- 15. Example of Carport Structure 4 *PDF version only*
- 16. Light Fixtures *PDF version only*
- 17. Warehouse Building Plans with Units *PDF version only*
- 18. Site Plans dated 10.18.2022

CC:

SDA, Twp Engineer (via email)

M. Luce, Twp DPW Director (via email)

A. Carroll, Hartland FD Fire Chief (via email)

T:\PLANNING DEPARTMENT\PLANNING COMMISSION\2022 Planning Commission Activity\Site Plan Applications\SUP #22-015 Mini Storage Old US 23\Staff reports\Planning Commission\SUP #22-015 PC staff report 11.10.2022.docx

HARTLAND TOWNSHIP PLANNING COMMISSION APPROVED MEETING MINUTES

November 17, 2022-7:00 PM

1. Call to Order: Chair Fox called the meeting to order at 7:00 p.m.

2. Pledge of Allegiance:

3. Roll Call and Recognition of Visitors:

Present – Commissioners Fox, Grissim, Mayer, McMullen, Mitchell, Eckman Absent – Murphy

4. Approval of the Meeting Agenda:

A Motion to approve the November 17, 2022 Planning Commission Meeting Agenda was made by Commissioner Mitchell. Seconded by Commissioner McMullen. Motion carried unanimously

5. Approval of Meeting Minutes:

a. Planning Commission Meeting Minutes of September 22, 2022

A Motion to approve the Planning Commission Meeting Minutes of September 22, 2022 was made by Commissioner Grissim and seconded by Commissioner Mayer. Motion carried unanimously.

6. Call to the Public:

None

7. Public Hearing

a. Site Plan with Special Land Use Application #22-015 Mini warehouse establishment with outdoor storage as accessory to a permitted use.

Chair Fox opened the Public Hearing at 7:03 PM stating all public notice requirements for the Public Hearing have been met.

Director Langer gave an overview of the location and scope of the request stating the following:

- Shared the Zoning Map, subject site is zoned LI Light Industrial
- Shared the proposed Site Plan and explained the various components of the office, mini indoor storage, climate controlled storage, outdoor covered storage and open storage on an unpaved surface gravel.
- LI allows for mini storage as a permitted use by right.
- The outdoor storage is the special land use and must be an accessory use to a permitted use. It is the special use which requires the Public Hearing, recommendation by the Planning Commission and a final decision by the Township Board.

Call to Public

None

Char Fox closed the Public Hearing at 7:08 PM.

Chair Fox referred to the staff review letter dated September 10, 2022.

SPECIAL LAND USE REVIEW – General Standards

Chair Fox stated the Applicant has provided a response to these standards dated September 9, 2022. The Planning Commission had no comments.

SPECIAL LAND USE REVIEW – Applicable Site Standards Outdoor Storage in the LI &I Districts (Section 3.27)

1. All outdoor storage areas shall be screened from public rights-of-way and adjacent public use areas with screening in accordance with the provisions of Section 5.11 (Landscaping and Screening) and 5.20 (Walls and Fences).

Director Langer stated the following:

- Canopy and evergreen trees are shown on the east side of the site (adjacent to the ROW of US-23) also, a masonry and pillar fencing system.
- Black vinyl chain link fencing to secure the site.
- The combination of the buildings, carports, and landscaping provides sufficient screening of the outdoor storage area.

SITE PLAN REVIEW - Applicable Site Standards

Chair Fox again referred to the staff letter.

Chair Fox asked if there would be electrical service inside the units. The Applicant stated no.

Site Enclosure

Director Langer stated again that a fence is proposed that would enclose the entire storage facility. The fencing is black coated chain link fencing to the north and south.

On-Site Circulation and Parking

Director Langer stated the following:

• Interior travel lanes are two-way and the travel lane width between two (2) warehouse buildings is twenty-five (25) feet.

The Planning Commission had no comments.

Off-Street Parking (Sec. 5.8.4.H – Mini or Self-storage Warehouse) and Barrier-Free Parking Director Langer stated the following:

- Some parking spaces are shown by the office.
- The plans are to be revised to show an 8-foot wide van accessible access aisle adjacent to the barrier-free parking space, on the Construction Plan set.
- Ordinance requires six (6) parking spaces; four (4) are provided.
- The Planning Commission can reduce the number of spaces required if warranted.
- The Applicant has provided information stating four (4) spaces should be adequate parking.

The Planning Commission agreed.

Landscaping and Screening (Sec. 5.11)

Landscaping of Divider Median (Sec. 5.11.2.A.vii.)

Commissioner Grissim stated staff recommends for ease of maintenance the elimination of the shrubs and using lawn in that area of the median plus two (2) canopy trees.

Greenbelt Landscaping (Sec. 5.11.C.)

Commissioner Grissim stated the combination of canopy trees and evergreen trees seemed fine.

Foundation Landscaping (Sec. 5.11.2.D.)

Commissioner Grissim stated the only area to consider would be the office, but it is internal on the site and there is not a place for foundation landscaping elsewhere. Commissioner Mitchell agreed stating it seems mute as there is no other foundation landscaping on the site; he opts to disregard this requirement. The Planning Commission agreed.

Commissioner Grissim commented on the open storage area stating some items could be six (6) feet tall. There are shrubs and fencing, a few trees but they are very far apart and not a complete screen.

The Applicant replied they placed the open storage area in the center of the project to minimize the impact and allow the structures to provide screening. Given the speed that most are traveling, he feels they have covered most of the angles.

Chair Fox stated he is good with what is proposed and unsure, due to elevation changes, if a double row would fit.

Commissioner Grissim suggested rather than twenty-five (25) feet apart, maybe the trees could be fifteen (15) feet apart.

The Applicant also stated the open storage area is also an area for future expansion for another structure.

The Planning Commission decided to leave the screening as drawn.

Detention/Retention Area Landscaping (Sec. 5.11.2.H.)

Commissioner Grissim asked the Applicant what is planned for ground cover. The Applicant stated they intend to install lawn and keep it mowed. Chair Fox asked about the shrubs. Commissioner Grissim stated they did not show many shrubs and she is fine with what is proposed. The Applicant added the detention pond to the south is adjacent to a wetland area that will have a variety of natural plants. The Planning Commission agreed.

Sidewalks and Pathways (Sec. 5.12)

The Planning Commission agreed a sidewalk would not be required at this location.

Lighting (Sec. 5.13)

Director Langer stated there needs to be a slight adjustment to the intensity at the main entrance and are requesting the Photometric plan to be revised to measure the footcandle values at five (5) feet above ground level and lighting intensity at the main exit/entry drive on the Construction Plan set. The Planning Commission agreed.

Architecture / Building Materials (Sec. 5.24)

Director Langer stated the following:

- Eleven (11) buildings.
- Elevations that face Old US 23 and US 23 have an upgraded façade with split faced block and C-Brick.
- Interior unit facades would be generally metal panels in earthtones with barn red doors.
- The climate controlled building is more dressed up.

The Applicant asked for a slight modification to allow and inlay of the product presented at the meeting; a fiber reinforced concrete product called Nichiha that resembles wood. Director Langer mentioned it would alter the percentage of brick.

The Planning Commission briefly examined and discussed the product and had no concerns.

The Planning Commission and the Applicant briefly discussed the height of the buildings in relation to the road frontages and the intent to create a nice looking, quality complex.

Commissioner Grissim offered the following Motion:

Move to recommend approval of Special Land Use Permit and approve Site Plan Application #22-015, a request to construct a mini warehouse establishment with outdoor storage as accessory to the permitted use, on a vacant parcel on Old US-23, in Section 28 of the Township (Tax Parcel ID #4708-28-300-023). The recommendation for approval is based on the following findings:

- 1. The proposed special land use, outdoor storage accessory to a permitted use (mini warehouse) meets the intent and purposes of the Ordinance as well as the specific standards outlined in Section 6.6 (Special Uses).
- 2. The proposed special land use is permitted in the LI (Light Industrial) zoning district as outlined in Section 3.1.16.D.ix, and the proposed use is compatible with the existing and future uses in the vicinity.
- 3. The Hartland Township Comprehensive Plan and the Future Land Use Map (FLUM) designate this property as Planned Industrial Research Industrial. The proposed special land use is compatible with the Comprehensive Plan and the FLUM.
- 4. The site is adequately served by existing essential facilities and public services and the Fire Department has no objection. The proposed use will be served by a public road with direct access to Old US-23.
- 5. The proposed use will not create additional requirements at public cost for public facilities as the proposed site will be served by private well (water) and sanitary sewer.

Approval is subject to the following conditions:

1. The proposed special land use, outdoor storage accessory to a permitted use, is subject to approval by the Township Board.

- 2. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated November 10, 2022, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
- 3. A land use permit is required after approval of the Site Plan and Special Use Permit and prior to construction.
- 4. Applicant complies with any requirements of the Department of Public Works Director, Township Engineering Consultant (SDA), Hartland Deerfield Fire Authority, and all other government agencies, as applicable.

Seconded by Commissioner Mitchell. Motion carried unanimously.

8. Old and New Business

a. 2023 Planning Commission Meeting Calendar

A Motion to approve the 2023 Planning Commission Meeting Calendar was made by Commissioner Grissim and seconded by Commissioner Eckman. Motion carried unanimously.

9. Call to the Public:

None

10. Planner Report:

None

11. Committee Reports:

None

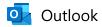
12. Adjournment:

A Motion to adjourn was made by Commissioner Mitchell and seconded by Commissioner McMullen. Motion carried unanimously. The meeting was adjourned at approximately 7:48 PM.

Submitted by.

Tom Murphy

Planning Commission Secretary



Fw: Storage unit site plan

From Troy Langer <TLanger@hartlandtwp.com>

Date Thu 4/17/2025 8:28 AM

To Troy Langer <TLanger@hartlandtwp.com>

Hi Troy,

Thank you for all your help. As discussed.....

I agree to show colors of all structures to the Site Plan Review Committee (after Planning Commission approval) and you will comply with the colors that they approve of.

I agree to modify Buildings #9, 10, 11, and 12 to show the brick siding on the US 23 side (east elevation) and no garage door shall be shown on these elevations for these buildings. Also, no garage doors on all buildings that directly face Old US 23 side (west elevation

Thank you

Jerrad beauchamp

Sent from my iPhone

BETCO Color Selector





Board of Trustees



William J. Fountain, Supervisor Larry N. Ciofu, Clerk Kathleen A. Horning, Treasurer Matthew J. Germane, Trustee Summer L. McMullen, Trustee Denise M. O'Connell, Trustee Joseph M. Petrucci, Trustee

November 30, 2022

Jerrad Beauchamp 872 N. Old US-23 Brighton, MI 48114

RE:

Site Plan with Special Land Use Application #22-015
Mini Warehouse Establishment with Outdoor Storage
Old US-23 – Section 28 of Hartland Township (Tax Parcel ID #4708-28-300-023)

Dear Mr. Beauchamp:

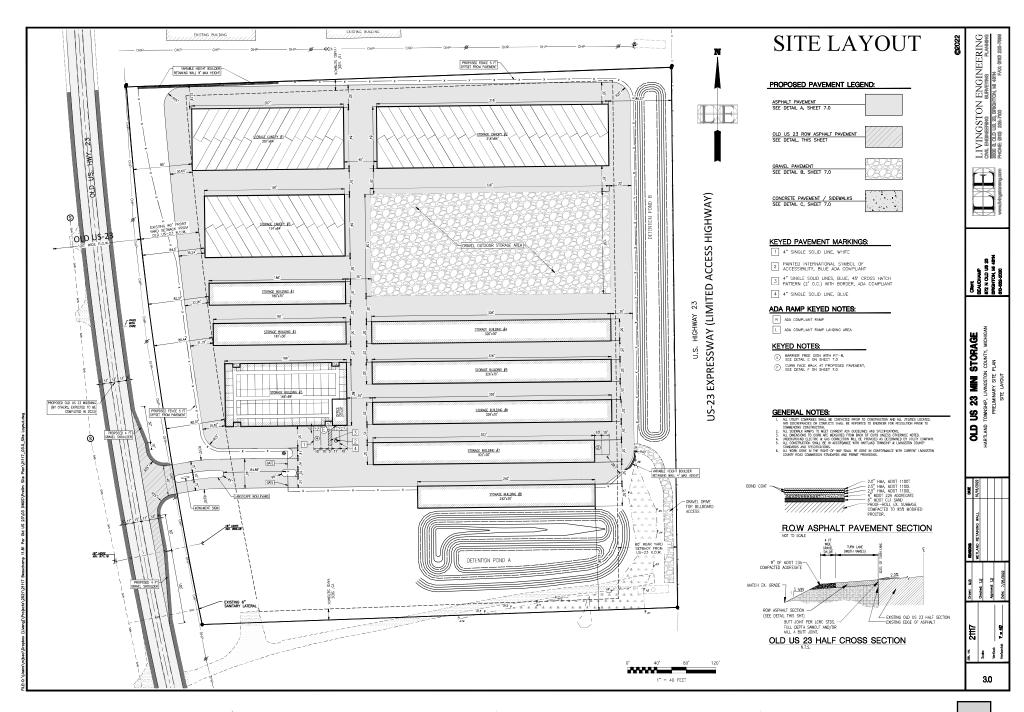
On Thursday, November 17, 2022, the Planning Commission approved the site plan and recommended approval of the Special Land Use, outdoor storage, for Site Plan with Special Land Use Application #22-015, for a mini warehouse establishment with outdoor storage as accessory to the permitted use, on a vacant parcel on the east side of Old US-23. The Township Board approved Site Plan with Special Land Use Application #22-015 at their regular meeting on November 29, 2022.

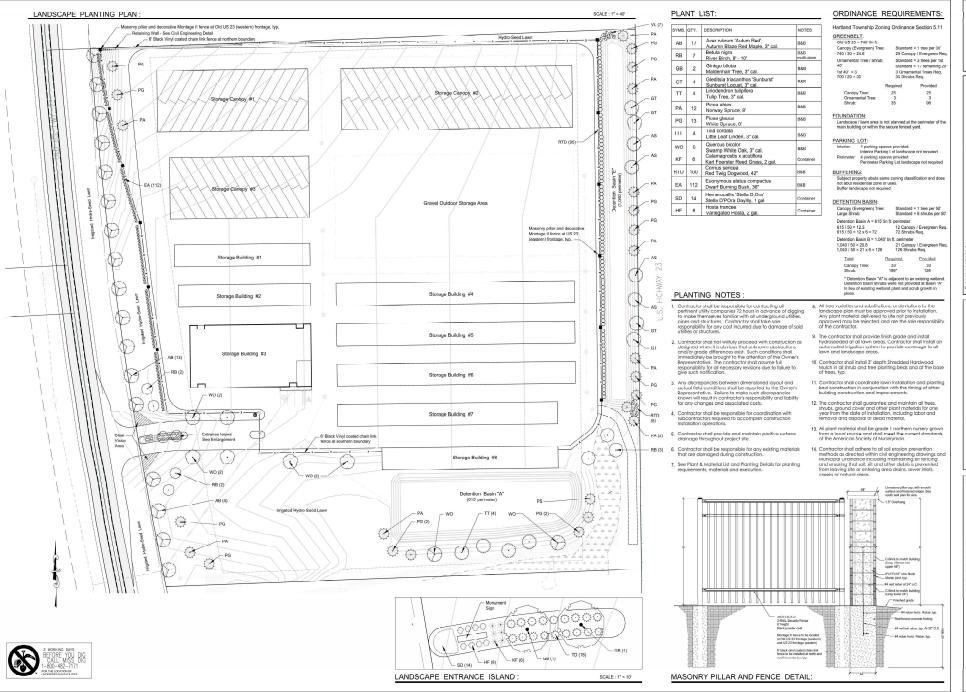
- 1. The proposed special land use, outdoor storage accessory to a permitted use, is subject to approval by the Township Board.
- 2. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated November 10, 2022, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
- 3. A land use permit is required after approval of the Site Plan and Special Use Permit and prior to construction.
- 4. Applicant complies with any requirements of the Department of Public Works Director, Township Engineering Consultant (SDA), Hartland Deerfield Fire Authority, and all other government agencies, as applicable.

If you have any questions, please contact me at (810) 632-7498.

Sincerely,

Troy Langer Planning Director









EPPINK PARTNERS, ING Urban Deeign Studio Landscape Architecture Traditional Town Planning 9336 Sashabaw Road Glarkston, Michigan 46346 248.922.0789

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BEAUCHAMP STORAGE

2022 J EPPINK PARTNERS, INC.

Old US 23 Hartland Township, Michigan

Landscape **Planting** Plan

Beauchamp

Storage 872 N. Old US 23 Brighton, MI 48114 810-632-2000

Issues	1	Revisions

JER

July 29, 2022

AS SHOWN Not for Construction

P-1

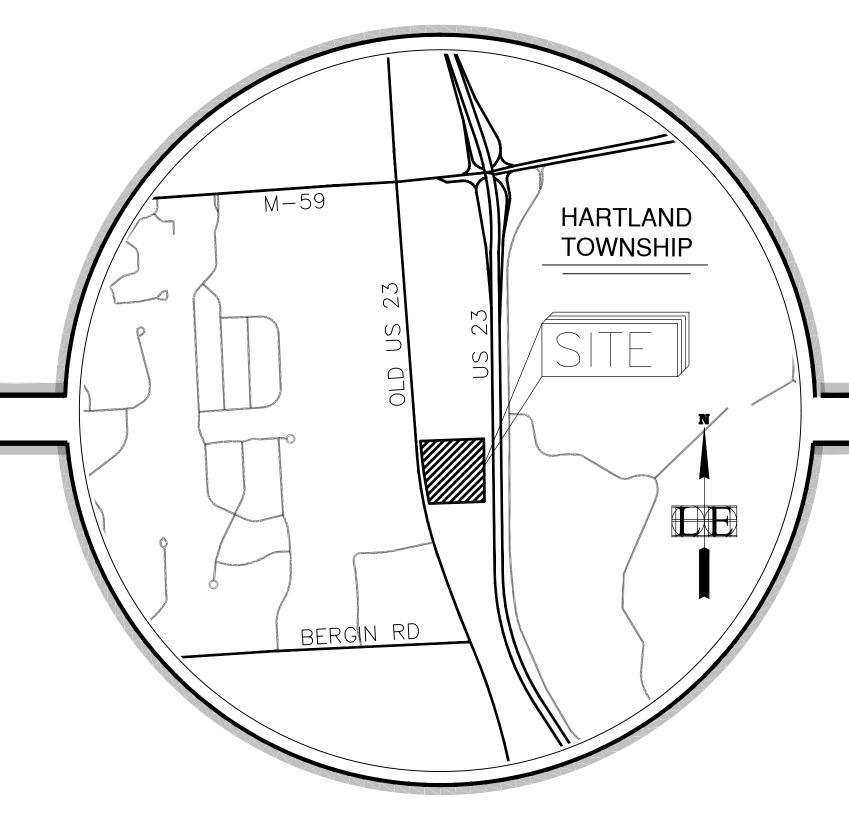
PRELIMINARY SITE PLAN FOR

OLD US 23 MINI-STORAGE

OLD US 23

TAX ID: 08-28-300-023

HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



SITE DATA TABLE

TOTAL SPACES PROPOSED:

REQUIRED PARKING

PROVIDED PARKING

PARKING CALCULATIONS

MINI OR SELF STORAGE WAREHOUSE = 6 SPACES MINIMUM

INCL/2 BARRIER FREE SPACE

LOT AREA WIDTH		REQUIRED 40,000 SFT (min) 120 FT (min)	PROVIDED 11.90 AC. (518,484 SFT)
MAXIMUM LOT COVERAGE BUILDINGS	Ē:	75% (max)	148653 SF / 518,484 SF = 29%
BUILDING SETBACKS: FRONT REAR		REQUIRED 80 FT (min) 50 FT (min)	PROVIDED 80.15 FT 86.55 FT
SIDE NORTH (ZONED L SOUTH (ZONED L		15 FT (min) 15 FT (min)	19.09 FT 142.08 FT
BUILDING DATA: BUILDING HEIGHT		<u>REQUIRED</u> 35 FT MAX	PROVIDED

LOCATION MAP

GENERAL NOTES

- 1. Property is zoned: LI, Light Industrial
- 2. Site Use: Mini Storage
- 3. Contractor is responsible for protecting all existing and proposed utilities from damage during all stages of construction.
- 4. The engineer and applicable agency must approve, prior to construction, any alteration, or
- 5. Barrier Free parking spaces shall be marked with above grade sign in accordance with current ADA standards.
- 6. All construction shall be performed in accordance with the current standards and specifications of the Hartland Township and Livingston County.
- 7. The contractor shall contact Hartland Township 72 hours before beginning any construction.
- 8. Three working days prior to any excavation, the Contractor shall telephone MISS DIG (800—482—7171) for the location of underground utilities and shall also notify representatives of other utilities located in the vicinity of the work. It shall be the Contractor's responsibility to verify and/or obtain any information necessary regarding the presence of underground utilities which might affect this job.

LEGAL DESCRIPTION

(per Warranty deed recorded in Liber 4315, Page 235, LCR)

Commencing at the South 1/4 corner of Section 28, Town 3 North, Range 6 East, Hartland Township, Livingston County, Michigan; thence North 89 degrees 11 minutes 14 seconds West 714.82 feet along the South line of said Section 28 to a point located on the East Right of Way line of Old US-23 Highway (120 feet wide); thence Northwesterly along said East Right of Way line of Old US-23 in the following two courses; North 17 degrees 33 minutes 35 seconds West 806.58 feet; Northwesterly 904.94 feet in the Arc of a curve to the right, Radius 5669.65 feet, Central Angle 09 degrees 08 minutes 42 seconds, Chord North 12 degrees 59 minutes 14 seconds West 903.98 feet to the point of beginning; thence continuing Northwesterly along said Right of Way 740.90 feet in the arc of a curve to the right, Radius 5669.65 feet, Central Angle 07 degrees 29 minutes 14 seconds, Chord North 04 degrees 40 minutes 15 seconds West 740.37 feet; thence South 88 degrees 42 minutes 49 seconds East 743.40 feet to the West Right of Way of US-23 Limited Access Expressway; thence South 02 degrees 41 minutes 03 seconds West 736.59 feet along said West Right of Way line of US-23 Limited Access Expressway; thence North 88 degrees 42 minutes 49 seconds West 648.59 feet to the point of beginning, being a part of the Southwest 1/4 of Section 28 Town 3 North, Range 8 East and being subject to other easements and restrictions of record, if any.

Tax Item No. 08-28-300-023

UTILITY DISCLAIMER



Utilities as shown indicate approximate location of facilities only, as described by the various companies Know what's below.

and no guarantee is given either as to the completeness or accuracy thereof. Contractor shall call "MISS DIG" at 811 or 1-800-482-7171 prior to the start of construction. Electric, gas, phone and television companies should be contacted prior to the commencement of field activities.

SHEET INDEX

- 1.0 COVER SHEET 2.0 EXISTING CONDITIONS & REMOVALS
- 3.0 SITE LAYOUT
- 4.0 UTILITY PLAN
- 5.0 GRADING & SESC
- 6.0 STORM WATER MANAGEMENT PLAN 7.0 DETAILS & SESC NOTES

LP-1 LANDSCAPE PLANTING PLAN

- P1 PHOTOMETRIC PLAN
- A1 OFFICE AREA PLAN AND ELEVATIONS
- A2 END WALL ELEVATIONS
- A3 SIDE WALL ELEVATIONS
- F1 FLOOR PLAN F2 FLOOR PLAN

LEGEND

SPOT GRADE	EXISTING × 000.00	<u> </u>	PROPOSED ×[000.00]
CONTOUR	— — 000— —		000
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STORM SEWER	· — — — — — — — — — — — — — — — — — — —	— ST —— ⊕	ST
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OVERHEAD		\emptyset	
FENCE	x -		x
GAS		— GAS —	GAS —
ELECTRIC		—— E—	————E————
DRAINAGE AREA BOUNDARY	,		
LIMITS OF DISTURBANCE			
SILT FENCE			SF
SIGN			
LIGHT POLE	\$		
UTILITY POLE	Ø		
DECIDUOUS TREE			
GATE VALVE IN WELL	\otimes		

LANDSCAPE ARCHITECT

J EPPINK PARTNERS, INC

9336 SASHABAW ROAD CLARKSTON, MI 48348 PHONE: (248) 922-0789

OWNER

JERRAD BEAUCHAMP

872 N OLD US 23 BRIGHTON, MI 48843 PHONE: (810) 632-2000

ENGINEER



LIVINGSTON ENGINEERING

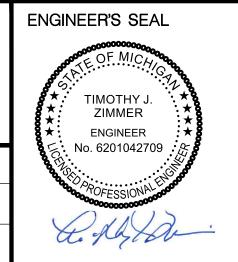
3300 S. OLD U.S.23 , BRIGHTON, MI 48114

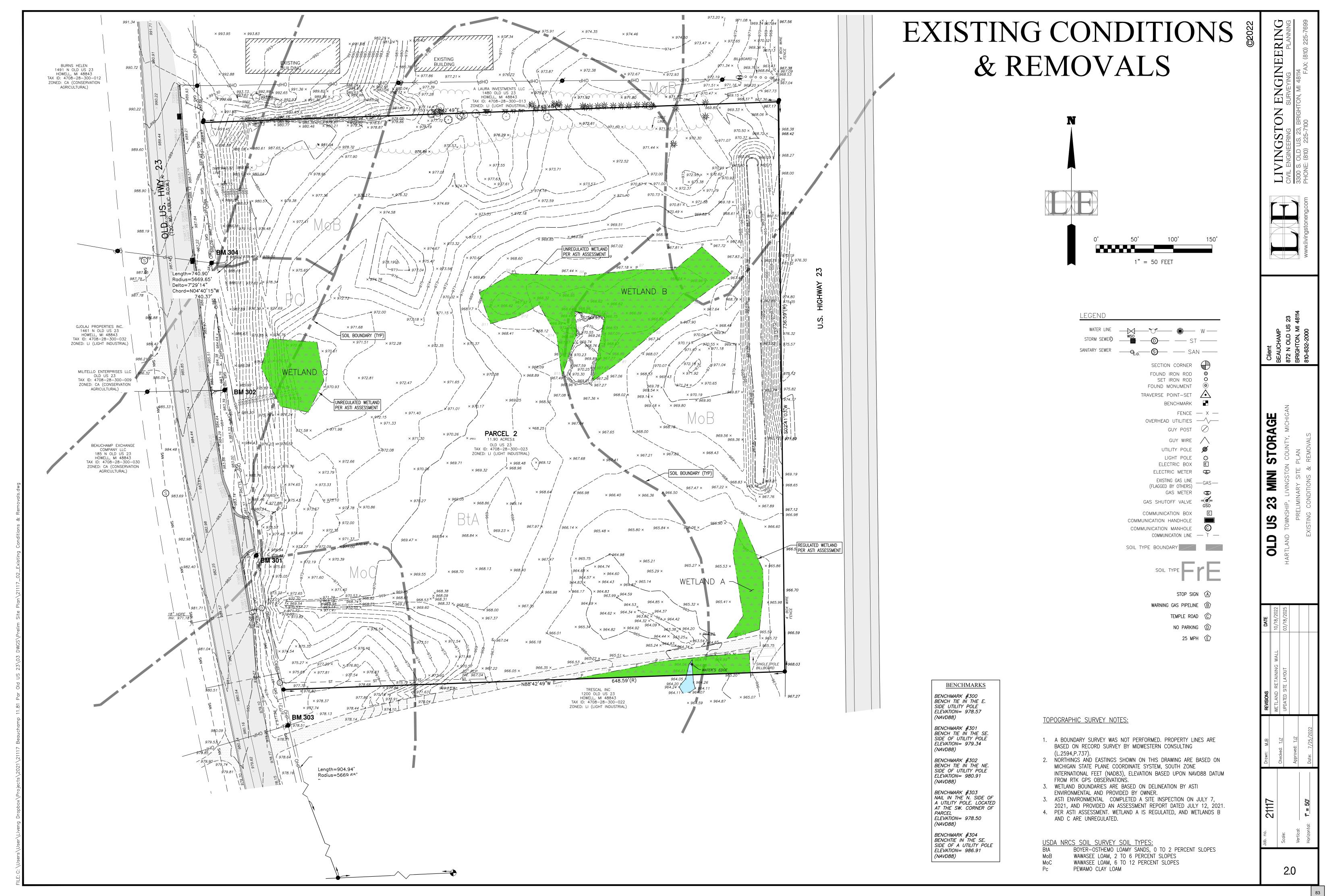
DATE: JULY 25, 2022

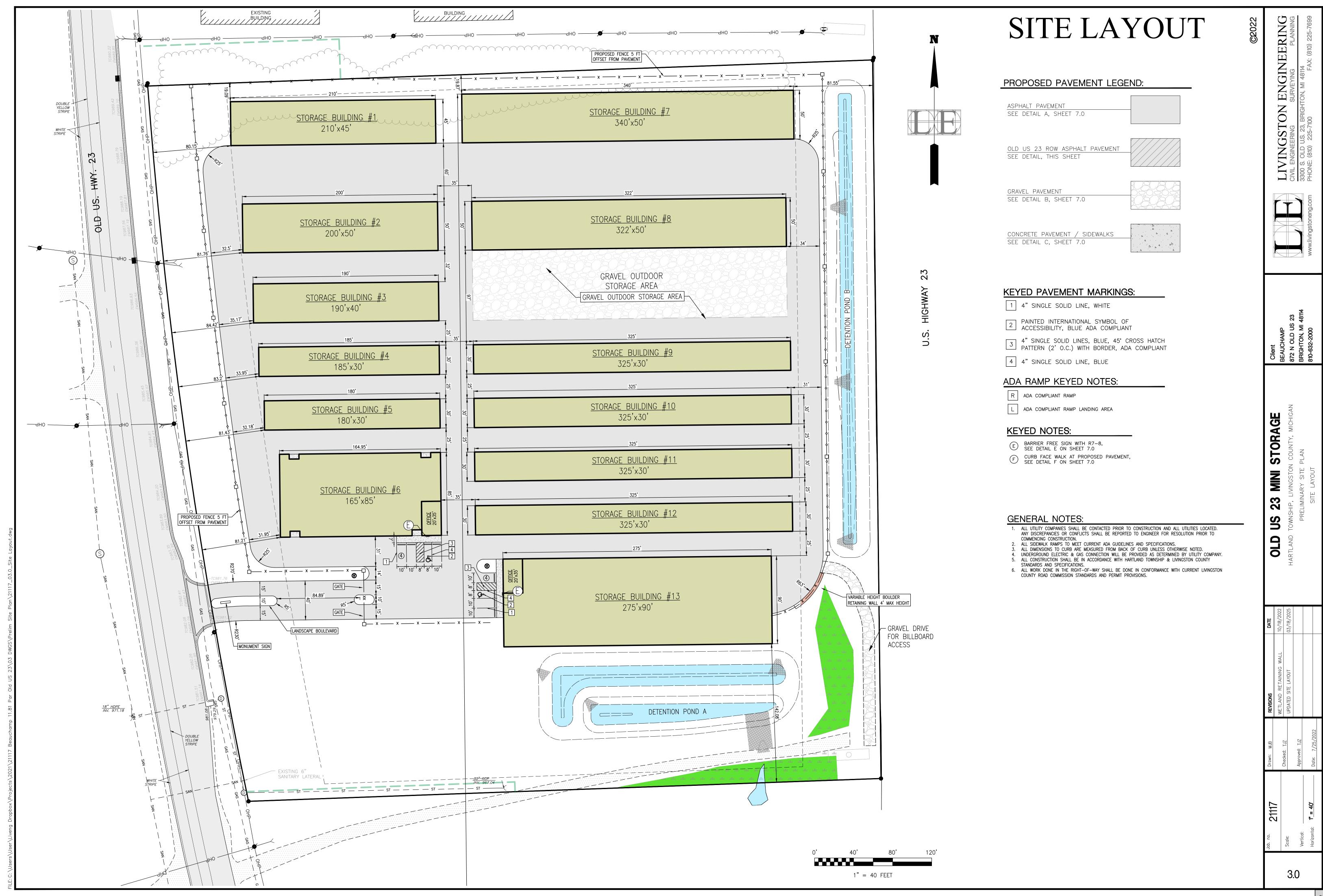
FAX: (810) 225-7699

OLD US 23 MINI-STORAGE HARTLAND TOWNSHIP LIVINGSTON COUNTY, MICHIGAN

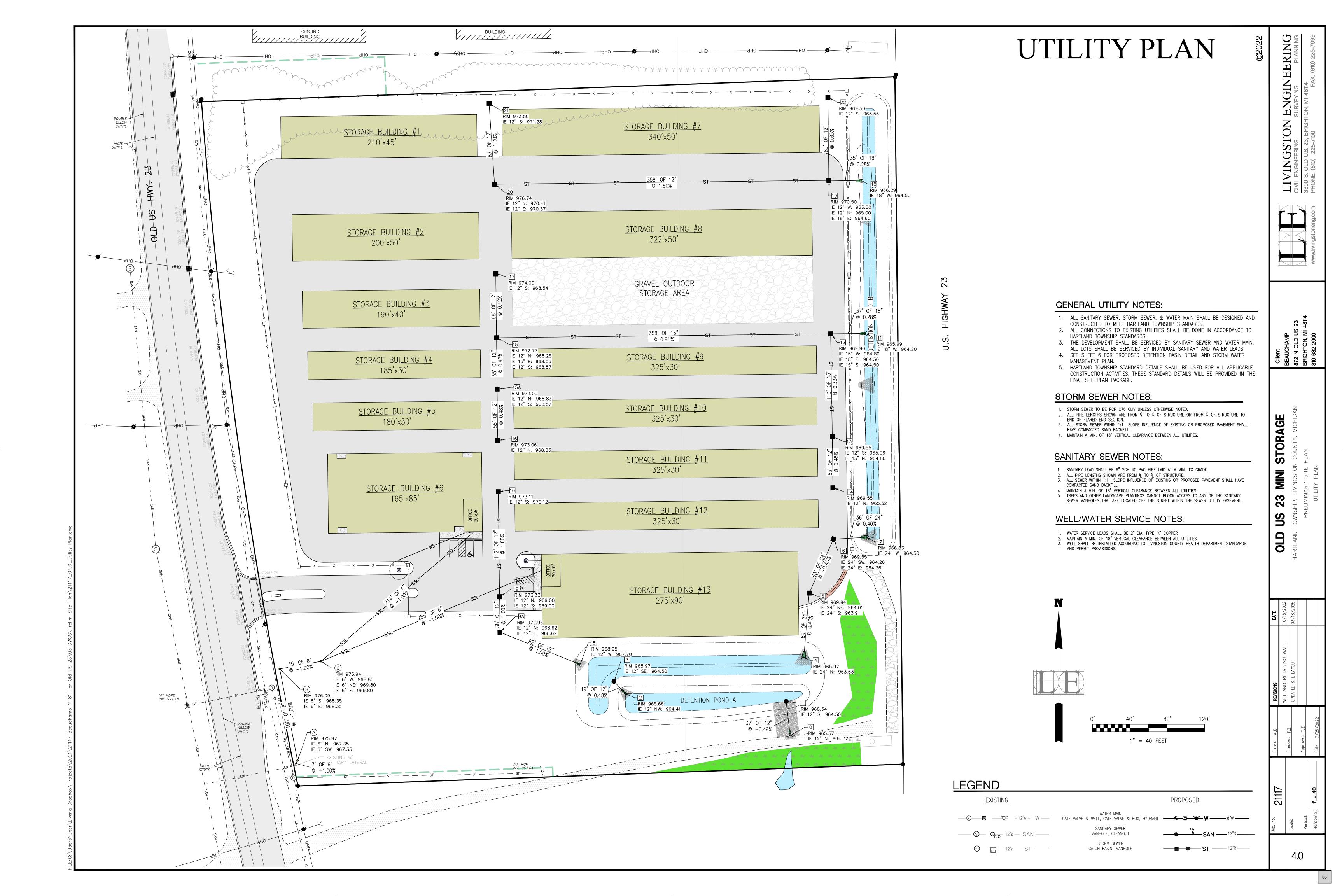
PRELIMINARY SITE PLAN DATE PROJECT No. 21117 ETLAND RETAINING WALL PDATED SITE LAYOUT SHEET 1 OF 12

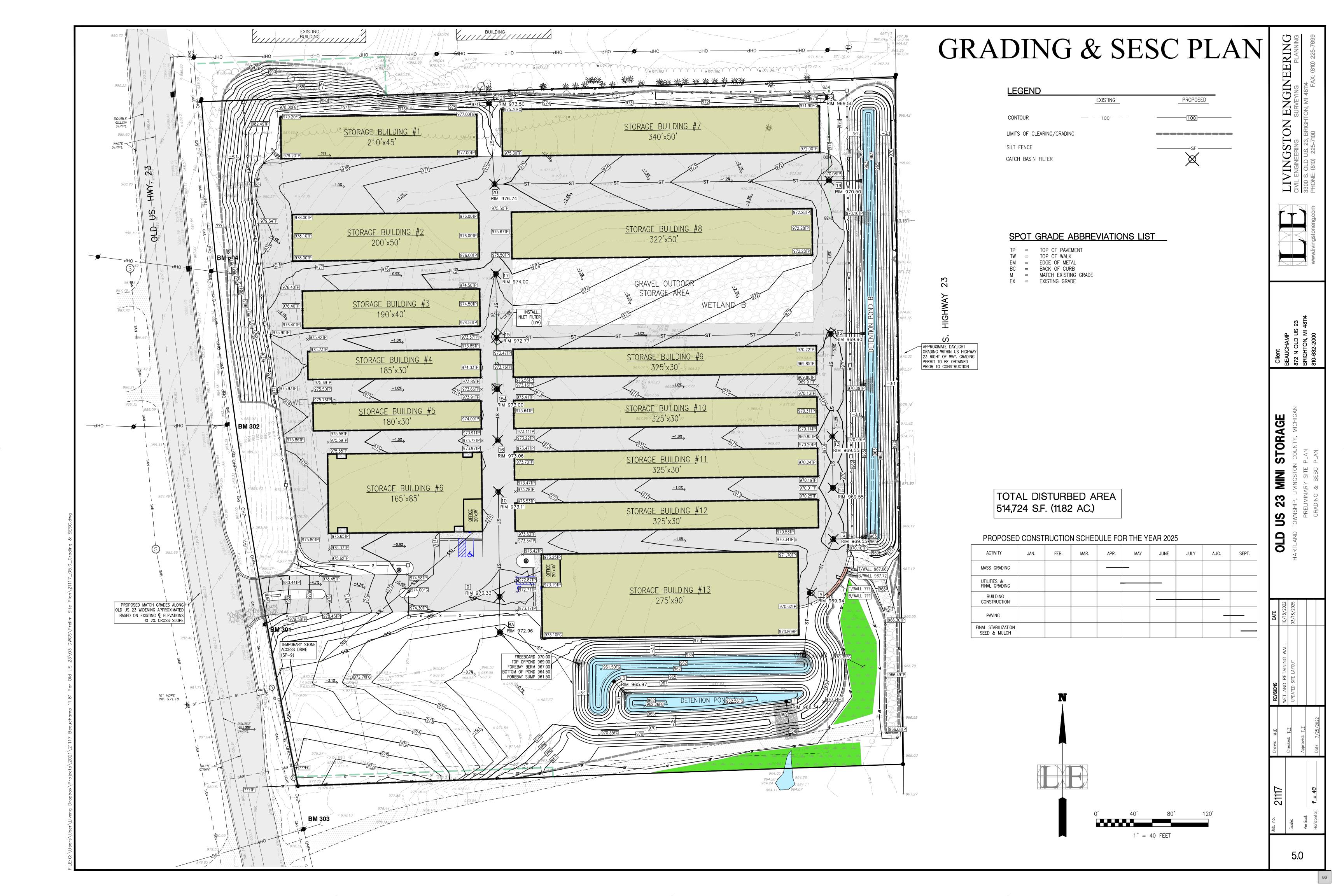


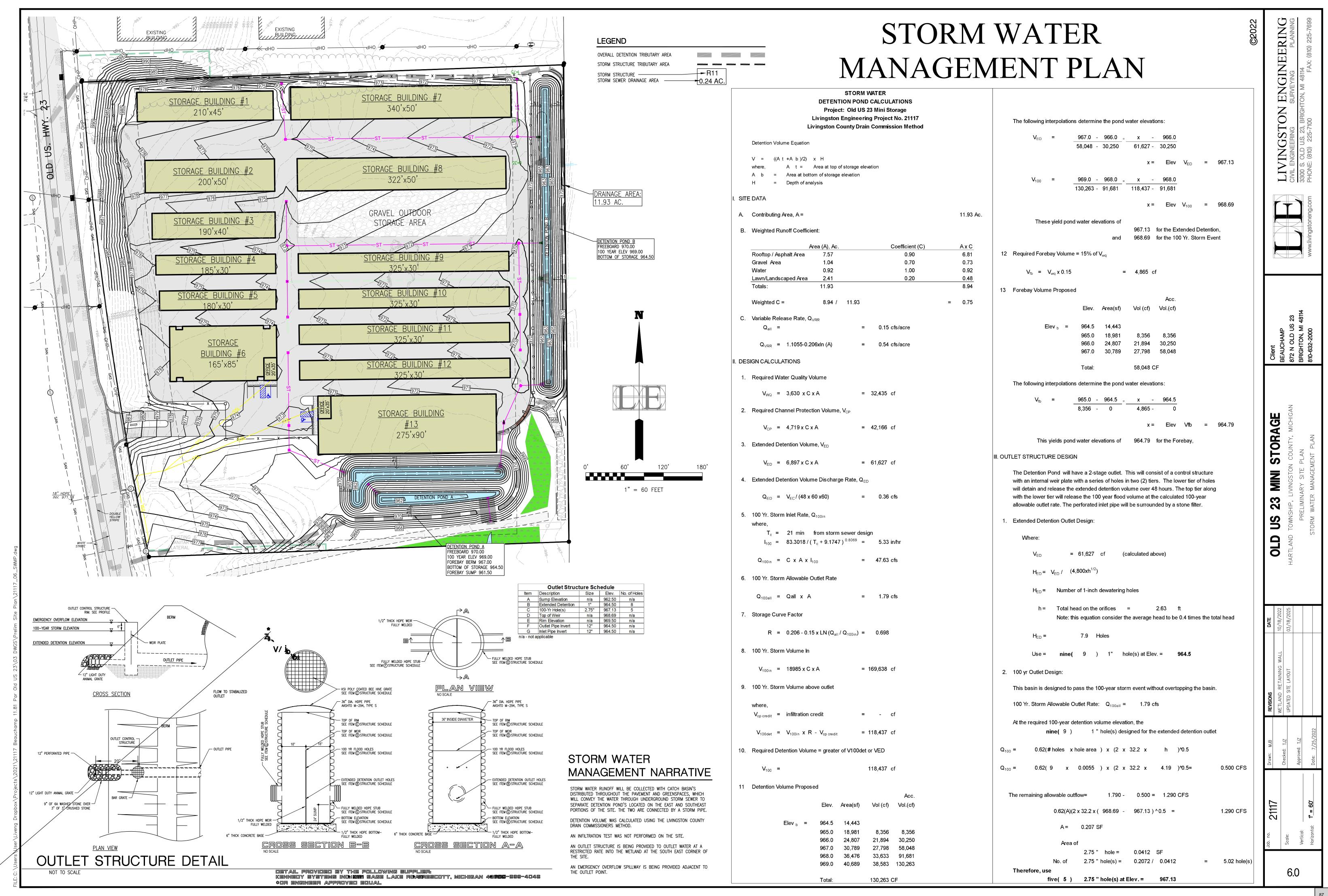




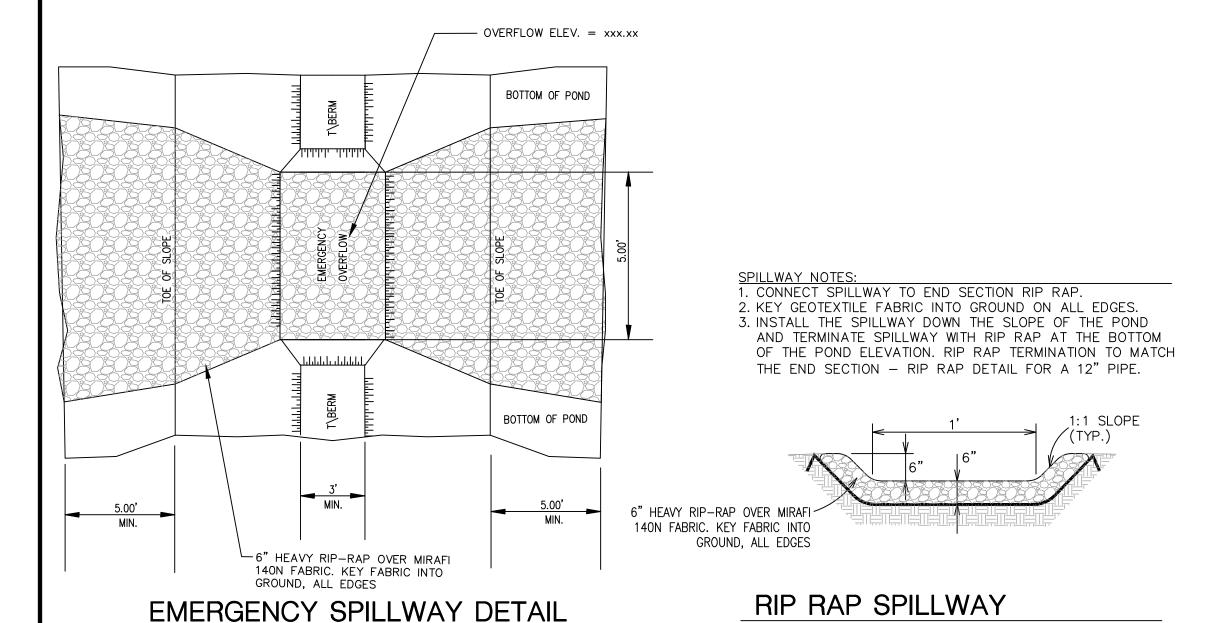
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DETAILS & SESC NOTES



Livingston County Soil Erosion Control Temporary Controls And Sequence of Construction

- NOTIFY THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE 24 HOURS PRIOR TO THE START OF GRADE WORK. IN ACCORDANCE WITH PUBLIC ACT NO. 53, OF 1974, THE PERMIT HOLDER SHALL CALL MISS DIG FOR STAKING AND LOCATING OF UTILITIES, AT LEAST 72 HOURS IN ADVANCE OF THE
- (IMPORTANT NOTICE) DETENTION PONDS SHALL BE EXCAVATED, TOPSOILED, SEEDED, MULCHED AND TACKED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION. INGRESS/EGRESS MUSTAVE LARGE CRUSHED ROCK TO REDUCE THE TRACKING OF SOIL ONTO THE PUBLIC TRAFFIC AREAS. SEE DETAIL ITEMS BELOW.
- SILT FABRIC FENCE AS SHOWN ON PLANS SHALL BE PLACED ALONG PERIMETER ON ALL LOW LYING AREAS OF THE CONSTRUCTION SITE TO FILTER RUNOFF BEFORE LEAVING PROJECT SITI
- ALL TEMPORARY EROSION CONTROL DEVISES AS NOTED ON PLANS SHALL BE INSTALLED PRIOR TO START OF MASSIVE EARTH DISRUPTION. PLAN DOES DENOTE A DETAILED EROSION CONTROL DEVICE TO RESTRICT TRACKING OF MATERIAL ONTO THE HIGHWAY. STONE DIAPERS SHALL BE INSTALLED AT ALL INGRESS/EGRESS AREAS OF THE SITE PRIOR TO THE START OF MASSIVE EARTH DISRUPTION. DIAPERS SHALL BE OF CRUSHED STONE AND SHALL HAVE A MINIMUM LENGTH OF 75 LINEAR FEET. TOPSOIL OR SOIL STORAGE AREAS SHALL BE SEEDED AND MULCHED OR MATTED WITH STRAW, IMMEDIATELY AFTER THE STRIPPING PROCESS IS COMPLETED, TO PREVENT WIND AND WATER

- DETENTION PONDS SHALL BE EXCAVATED, TOPSOILED, SEEDED, MULCHED AND TACKED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION.
 DETENTION POND OUTLETS SHALL BE OF THE STANDPIPE AND STONE FILTER SYSTEM, WITH TRASH SCREEN. OUTLET FLOW SHALL NOT EXCEED 0.20 CUBIC FEET OF WATER PER SECOND/PER ACRE. POND DIKES SHALL HAVE A MINIMUM OF ONE (1) FOOT OF FREEBOARD.
- O. DIKES AND BERMS SHALL BE FREE OF ALL ORGANIC MATTER. 11. ALL UNIMPROVED DISTURBED AREAS SHALL BE STRIPPED OF TOPSOIL WHICH WILL BE STORED ONSITE FOR THE EXCAVATION STAGE. TOPSOIL PILES SHALL BE SEEDED AND MULCHED, OR MATTED WITH STRAW IN THE NON GROWING SEASON, IMMEDIATELY AFTER THE STRIPPING PROCESS IS COMPLETED, TO PREVENT WIND AND WATER EROSION. SOIL EROSION CONTROLS SHALL BE MONITORED DAILY BY THE ON-SITE ENGINEER, OR CONTRACTOR, WHICHEVER CASE APPLIES.
- 13. PRIOR TO COMPLETION OF THE PROJECT, STONE AROUND OUTLET STANDPIPE SHALL BE REFRESHED WITH CLEAN STONE.

14. SLOPES IN EXCESS OF 3 HORIZONTAL TO 1 VERTICAL SHALL NOT BE USED EXCEPT WITH A MECHANICAL DEVICE SUCH AS A RETAINING WALL, TERRACING, OR OTHER PRIOR APPROVED DEVICE. SLOPES STEEPER THAN 4 HORIZONTAL TO 1 VERTICAL SHALL HAVE STAKED MULCH BLANKETS OR SOD TO MINIMIZE THE CHANGE FOR EROSION.

- 15. ALL STORM WATER STRUCTURES, CATCH BASINS AND/OR MANHOLES, IF BLOCK, SHALL BE PLASTERED ON BOTH THE INSIDE AND OUTSIDE OF THE STRUCTURES. GROUTING AND POINTING WILL BE NECESSARY AT THE CASTING AND STRUCTURE JOINT TO PREVENT LEAKAGE AND THE RESULTING SOIL MOVEMENT, AROUND THE STRUCTURE. 16. PAVEMENT ADJACENT TO STREET STORMWATER INLET STRUCTURES SHALL BE CUT OUT AFTER THE FIRST COAT OF PAVING, CONCRETE SHALL BE POURED AND A SECOND LAYER OF ASPHALT
- LAID OVER THE CONCRETE CUT. RINGS AND CASTINGS SHALL BE CENTERED AT THIS TIME, GROUTING AND POINTING SHALL ALSO BE DONE AT THIS TIME TO PREVENT LEAKAGE INTO THE
- 17. STORM WATER INLETS SHALL HAVE AS A TEMPORARY CONTROL A STRAW BALE BARRIER AND A STONE FILTER INSTALLED AROUND THE INLET DURING CONSTRUCTION. AS AN ALTERNATIVE TO THE STRAW BALE BARRIER, A BURLAP AND PEA STONE FILTER MAY BE USED. THREE LAYERS OF BURLAP FIBER AND A FILTER OF PEA STONE MINIMUM 1 FT. DEPTH CAN BE USED. DUE TO THE POROSITY OF THE BURLAP FILTER THE 1 FT. OF STONE IS VERY BANDEAU.
- 18. BURLAP AND PEA STONE FILTERS WILL NEED TO BE CHANGED AFTER EACH RAINFALL. 19. COUNTY CODE REQUIRES A MINIMUM PIPE SIZE OF 12" IN DIAMETER. IF SMALLER PIPE IS NEEDED FOR OUTLET PURPOSES THE 12"CAN BE BAFFLED TO THE CORRECT SIZE. ALL PIPE
- SHALL MEET THE 12" DIAMETER CODE SIZE. 20. ALL STORM DRAIN OUTLETS 15" IN DIAMETER OR LARGER SHALL HAVE ANIMAL GUARDS INSTALLED TO PREVENT ENTRANCE TO THE SYSTEM.
- 21. ALL STORM DRAINAGE PIPE 30" IN DIAMETER OR LARGER SHALL BE POINTED AT THE JOINTS ON THE INSIDE WITH MORTAR, AFTER BACKFILLING.
- 22. ALL STORM DRAIN OUTLETS THAT DO NOT EMPTY INTO THE DETENTION POND SHALL HAVE A TEMPORARY 5'x10'x3' SUMP INSTALLED AT THE TERMINATION OF THE STORM SEWER. UPON COMPLETION OF THE STABILIZATION WORK THE SUMP AREA SHALL BE FILLED AND RIP RAPPED WITH COBBLE STONE. SILT TRAPS SHALL BE INSPECTED AFTER EACH STORM.
- 23. ALL OUTLETS SHALL BE RIP RAPPED OVER KEYED FILTER FABRIC WITH A MINIMUM OF 15 SQ. YARDS OF 6" OR LARGER COBBLE STONE.
 24. RIP RAP AS NOTED ON THE PLAN SHALL BE OF A FUNNEL SHAPE CONSTRUCTION, WIDTH SHALL INCREASE AS THE DISTANCE FROM THE OUTLET POINT INCREASES AT A 3:1 RATIO. 25. RIP RAP SHALL BE OF COBBLE STONE, 6" IN DIAMETER OR LARGER. GROUTING MAY BE NECESSARY, AND SHALL BE A MINIMUM OF 6"IN DEPTH WITH THE COBBLE SET IN THE CEMENT
- 26. IT WILL BE NECESSARY FOR THE DEVELOPER TO HAVE THE STORM DRAINAGE LINES CLEANED PRIOR TO FINAL INSPECTION BY THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE. IF REQUIRED, THIS WORK SHALL BE DONE BY A PROFESSIONAL SEWER CLEANING FIRM AND CERTIFIED IN WRITING BY THE PROJECT ENGINEER. ALL SUMPS AND TEMPORARY SILT TRAPS SHALL

ALSO BE CLEANED AT THIS TIME.

- 27. ALL UNIMPROVED DISTURBED AREAS SHALL BE RE-TOPSOILED WITH A MINIMUM OF 3" OF MATERIAL, SEEDED, MULCHED AND TACKED WITHIN 15 DAYS OF THE COMPLETION OF THE MASSIVE EARTH DISRUPTION. IN THE NON-GROWING SEASON STRAW MATTING WILL SUFFICE. HYDROSEEDING WILL BE AN ACCEPTABLE ALTERNATE FOR MULCHING. EXTREME CARE SHOULD BE EXERCISED IN SPRING AND FALL PERIODS AS A FROST WILL BREAK THE BIND OF THE HYDROSEEDING, WHICH WILL AFFECT THE HYDROSEEDING, WHICH WILL AFFECT THE EFFECTIVENESS OF
- 28. IN THE NON-GROWING SEASON, TEMPORARY STABILIZATION OF MASSIVELY EXPOSED AREAS FOR WINTER STABILIZATION SHALL BE DONE WITH STRAW MATTING. 29. PERIODIC INSPECTIONS WILL BE MADE THROUGHOUT THE COURSE OF THE PROJECT. IT WILL BE THE RESPONSIBILITY OF THE MANAGERS OF THE PROJECT TO CONTACT THIS OFFICE FOR
- THE FINAL INSPECTION AT THE END OF THE PROJECT. 30. THIS COMMERCIAL PERMIT IS VALID FOR THE MASS EARTH MOVEMENT, THE INSTALLATION OF ROADS, DRAINS, AND UTILITIES, AND IS NOT FOR ANY SINGLE FAMILY RESIDENCE. ALL RESIDENTIAL BUILDERS WILL NEED TO SECURE WAIVERS AND/OR PERMITS AS NECESSARY FOR EACH LOT IN THIS DEVELOPMENT AT THE TIME APPLICATION FOR SINGLE FAMILY RESIDENCE IS
- 31. THE ISSUING BUILDING DEPARTMENT SHALL NOT ISSUE THE CERTIFICATE OF OCCUPANCY UNTIL THE FINAL LETTER FROM THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE HAS BEEN

SEQUENCE OF CONSTRUCTION:

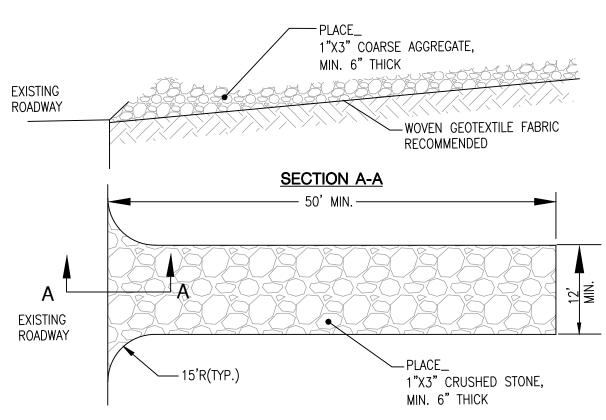
- INSTALL EROSION AND SEDIMENT CONTROL MEASURES PER PLAN. PERFORM SITE DEMOLITION REQUIRED.
- INSTALL STORM DRAINAGE SYSTEM INCLUDING DETENTION BASINS; INSTALL INLET FILTERS.
- 4. ROUGH GRADE SITE & STORE SOIL.
- . MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES, AS REQUIRED. 6. BRING PAVEMENT AREAS TO SUB-BASE; PLACE SUB-BASE; REMOVE PARKING LOT INLET FILTER AND PLACE ASPHALT PAVEMENT.
- FINISH GRADE, REDISTRIBUTE TOPSOIL, SEED & MULCH ALL DISTURBED AREAS. 8. REMOVE ALL EROSION & SEDIMENT CONTROL MEASURES; SEED AND MULCH ALL REMAINING UNSTABILIZED AREAS.

SEEDING, FERTILIZER AND MULCH BARE GROUND RATIO:

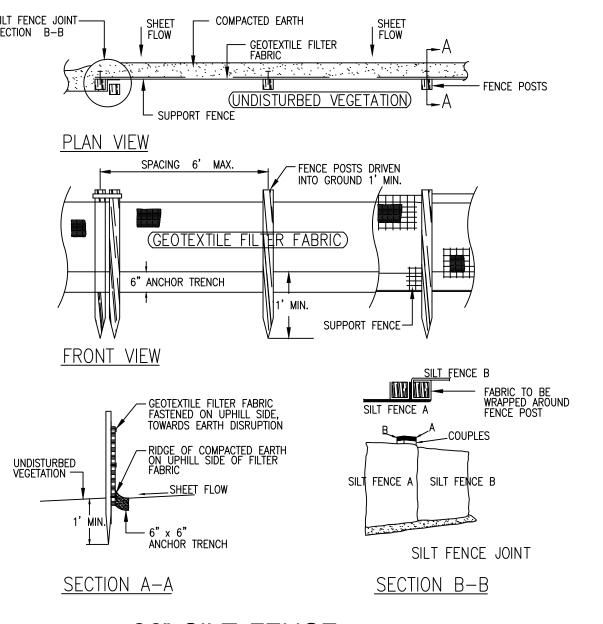
- TOP-SOIL 3" IN DEPTH GRASS SEED 210 LBS./AC.
- STRAW MULCH
 3" IN DEPTH, 1.5 TO 2 TONS / AC. (ALL MULCHING MUST HAVE A TIE DOWN ASPHALT TACKIFIER, NET BINDING,
- HYDROSEEDING IS NOT ACCEPTABLE FOR SLOPES EXCEEDING 1%, IN SUCH CASES STABILIZATION SHALL BE DONE WITH SEED AND STRAW MULCH WITH A TACKIFIER.

MAINTENANCE SCHEDULE FOR SOIL EROSION CONTROLS

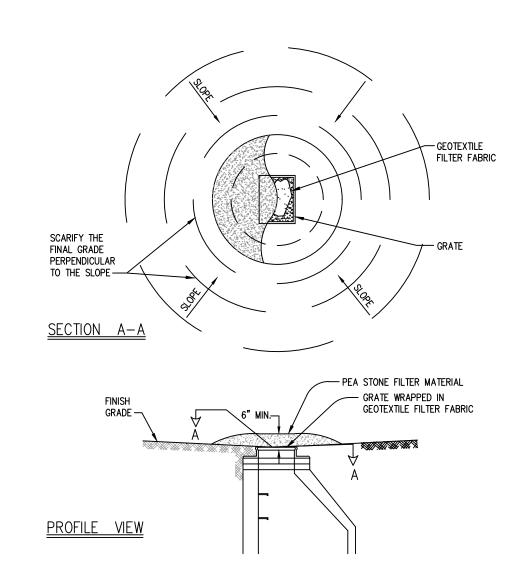
- 1. SILT FENCE SHALL BE INSPECTED WEEKLY AND AFTER EACH MAJOR STORM EVENT. MAINTENANCE SHALL INCLUDE REMOVAL OF ACCUMULATED SILT AND REPLACEMENT OF TORN SECTIONS. SILT FENCE SHALL BE REMOVED WHEN ALL CONTRIBUTING AREAS HAVE BEEN STABILIZED. 2. TRACKING PAD SHALL BE INSPECTED MONTHLY FOR ACCUMULATED DIRT. TRACKING PAD SHALL BE REPLACED WHEN THE STONES ARE CHOCKED WITH DIRT. TRACKING PAD SHALL BI
- REMOVED IMMEDIATELY PRIOR TO THE FIRST COURSE OF ASPHALT BEING LAID. 3. DETENTION POND SHALL BE INSPECTED QUARTERLY ON A PERMANENT BASIS. MAINTENANCE SHALL INCLUDE SEDIMENT REMOVAL, EMBANKMENT STABILIZATION AND MAINTAINING THE OUTLET STRUCTURE IN GOOD CONDITION. NO TREES SHALL BE ALLOWED TO GROW ON THE EMBANKMENT.
- 4. CATCH BASINS SHALL BE INSPECTED ANNUALLY FOR ACCUMULATION OF SEDIMENT. ALL SEDIMENT MUST BE REMOVED AND DISPOSED OF PROPERLY WHEN THE SUMP IS FULL. 5. COMMON AREAS SHALL BE STABILIZED NO LATER THAN 15 DAYS AFTER GRADE WORK, PURSUANT TO RULE 1709 (5).



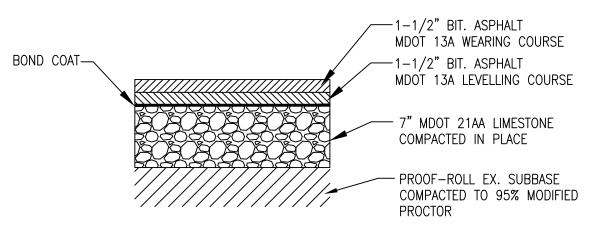
MUD TRACKING MAT DETAIL



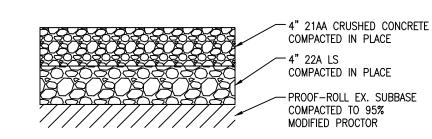
36" SILT FENCE



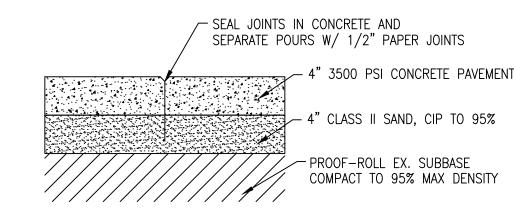
LOW POINT INLET FILTER (SI-2)



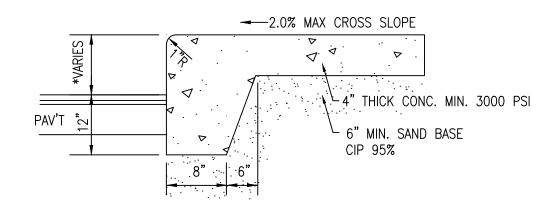
ASPHALT PAVEMENT SECTION



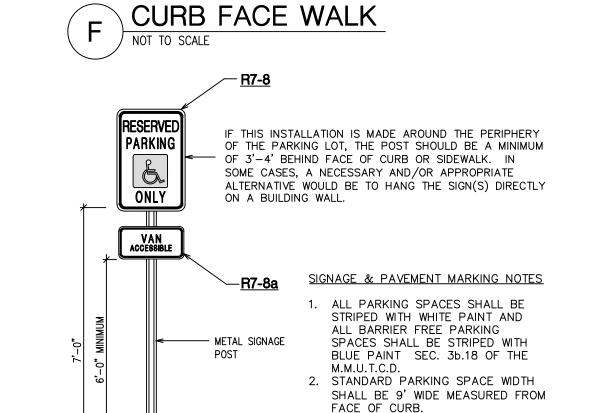
HEAVY DUTY GRAVEL PAVEMENT SECTION



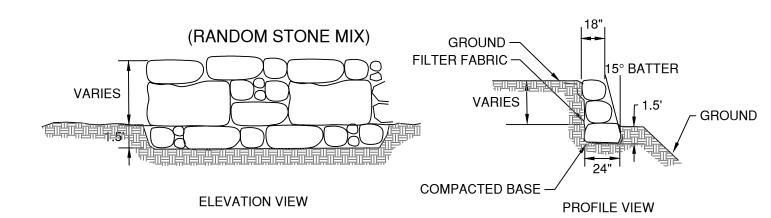
CONCRETE SIDEWALK SECTION ** FOR USE IN SIDEWALK AREAS THAT DO NOT ABUT PAVEMENT**



* NOTE: 0" IN AREAS WHERE T/P & T/W ARE FLUSH. ALL OTHER AREAS WALK IS 6" ABOVE ADJACENT PAVEMENT.



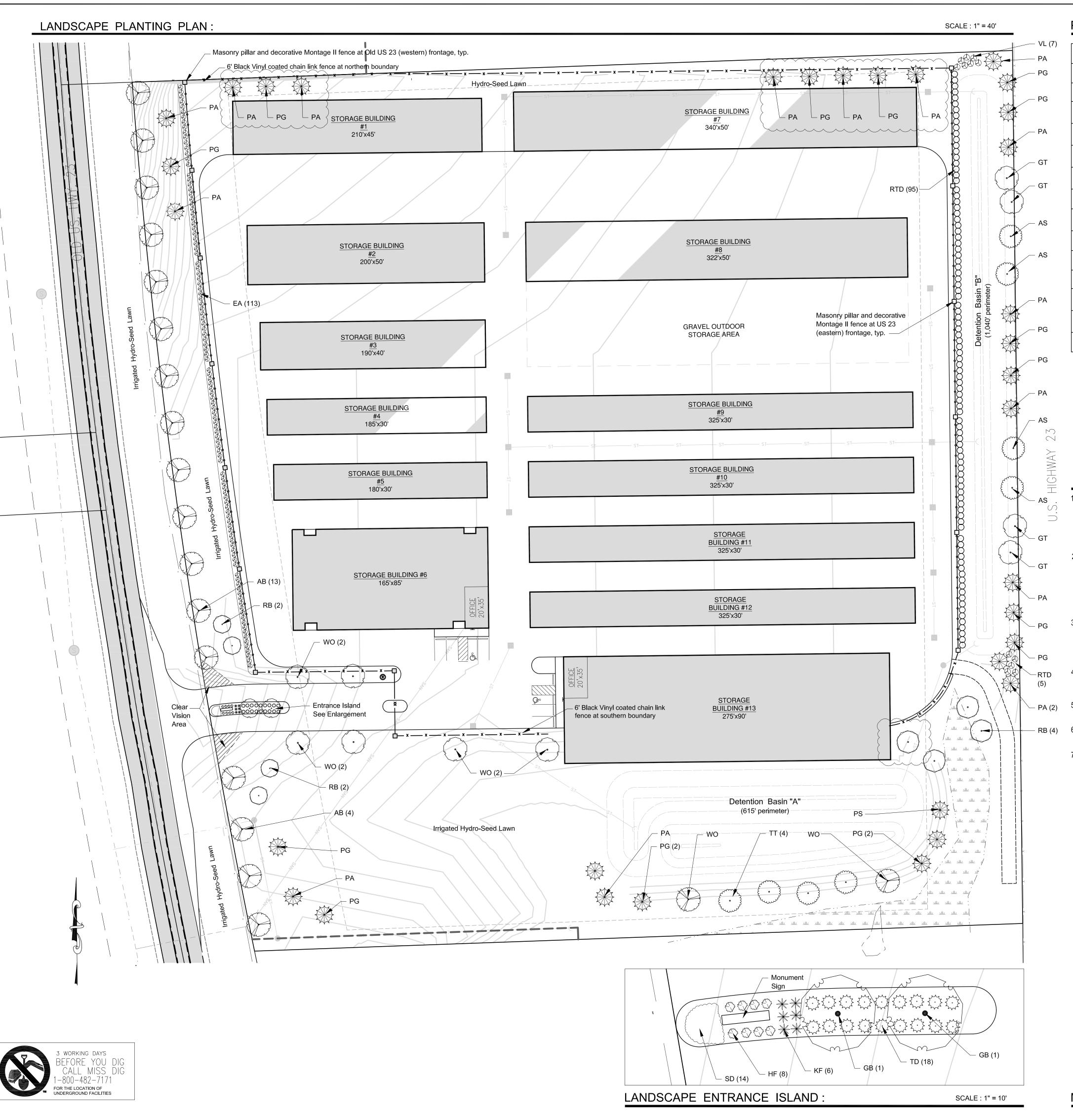




BOULDER RETAINING WALL

ENGINEERIN

STORAGE



PLANT LIST:

SYMB.	ОТУ	DESCRIPTION	NOTES
OTIMB.	Q I I.		110120
AB	17	Acer rubrum 'Autum Red' Autumn Blaze Red Maple. 3" cal.	В&В
RB	8	Betula nigra River Birch, 8' - 10'	B&B multi-stem
GB	2	Ginkgo biloba Maidenhair Tree, 3" cal.	B&B
GT	4	Gleditsia triacanthos 'Sunburst' Sunburst Locust, 3" cal.	B&B
TT	4	Liriodendron tulipifera Tulip Tree, 3" cal.	B&B
PA	17	Picea abies Norway Spruce, 8'	B&B
PG	16	Picea glauca White Spruce, 8'	B&B
LLL	4	Tilia cordata Little Leaf Linden, 3" cal.	B&B
WO	6	Quercus bicolor Swamp White Oak, 3" cal.	B&B
KF	6	Calamagrostis x acutiflora Karl Foerster Reed Grass, 2 gal.	Container
RTD	100	Cornus sericea Red Twig Dogwood, 42"	B&B
EA	113	Euonymous alatus compactus Dwarf Burning Bush, 36"	B&B
SD	14	Hemerocallis 'Stella D;Ora' Stella D'POra Daylily, 1 gal	Container
HF	8	Hosta francee Variegated Hosta, 2 gal.	Container

ORDINANCE REQUIREMENTS:

Hartland Township Zoning Ordinance Section 5.11

GREENBELT:
Old US 23 = 740' lin ft.

Old US 23 = 740' lin ft.
Canopy (Evergreen) Tree:
740 / 30 = 24.6
Ornamental Tree / Shrub:

Tree: Standard = 1 tree per 30'
25 Canopy / Evergreen Req.

arub: Standard = 3 trees per 1st
Standard = 1 / remaining 20'
3 Ornamental Trees Req.
35 Shrubs Req.

RequiredProvidedCanopy Tree:2525Ornamental Tree:33Shrub:3596

FOUNDATION:

1st 40' = 3

700 / 20 = 35

Landscape / lawn area is not planned at the perimeter of the main building or within the secure fenced yard.

PARKING LOT:

Interior: 4 parking spaces provided.
Interior Parking Lot landscape not required
Perimeter: 4 parking spaces provided.

Perimeter Parking Lot landscape not required

BUFFERING:

Subject property abuts same zoning classification and does not abut residential zone or uses.

Buffer landscape not required.

DETENTION BASIN:

Canopy (Evergreen) Tree: Standard = 1 tree per 50'
Large Shrub: Standard = 6 shrubs per 50'
Detention Basin A = 615' lin ft. perimeter
615 / 50 = 12.3 12 Canopy / Evergreen Req.

615 / 50 = 12 x 6 = 72 72 Shrubs Req.

Detention Basin B = 1,040' lin ft. perimeter

1,040 / 50 = 20.8 21 Canopy / Evergreen Req.

1,040 / 50 = 21 x 6 = 126 126 Shrubs Req.

TotalRequiredProvidedCanopy Tree:3333Shrub:198*126

* Detention Basin "A" is adjacent to an existing wetland.

Detention basin shrubs were not provided at Basin "A" in lieu of existing wetland plant and scrub growth in

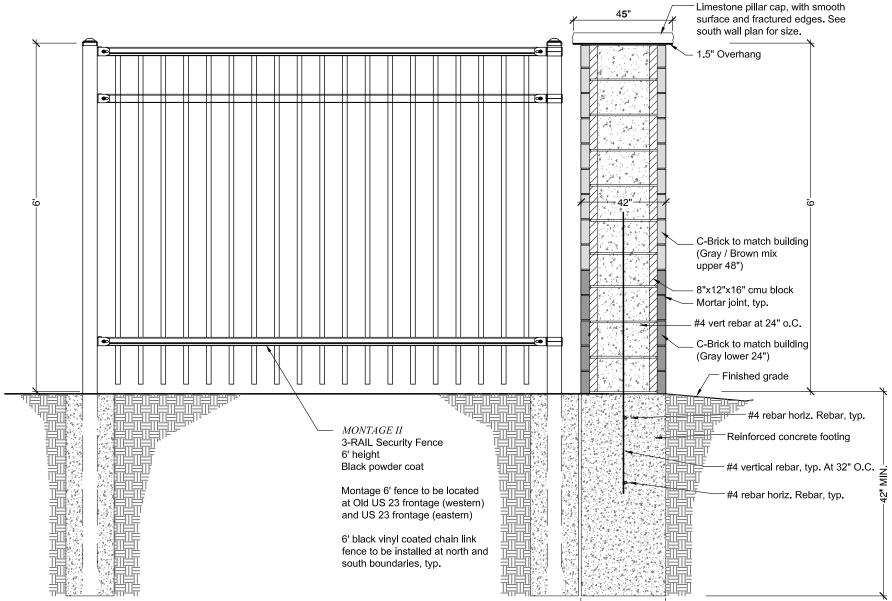
PLANTING NOTES:

- 1. Contractor shall be responsible for contacting all pertinent utility companies 72 hours in advance of digging to make themselves familiar with all underground utilities, pipes and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities or structures.
- 2. Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist. Such conditions shall immediately be brought to the attention of the Owner's Representative. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- 3. Any discrepancies between dimensioned layout and actual field conditions shall be reported to the Owner's Representative. Failure to make such discrepancies known will result in contractor's responsibility and liability for any changes and associated costs.
- 4. Contractor shall be responsible for coordination with subcontractors required to accomplish construction installation operations.
- Contractor shall provide and maintain positive surface drainage throughout project site.
- 6. Contractor shall be responsible for any existing materials that are damaged during construction.
- 7. See Plant & Material List and Planting Details for planting requirements, materials and execution.

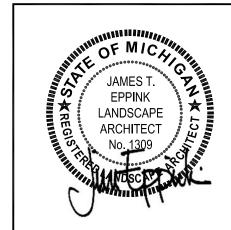
- landscape plan must be approved prior to installation.
 Any plant material delivered to site not previously approved may be rejected and are the sole responsibility of the contractor.
- 9. The contractor shall provide finish grade and install hydroseeded at all lawn areas. Contractor shall install an automated irrigation system to provide coverage to all lawn and landscape areas.

8. All tree varieties and substitutions, or deviations to the

- 10. Contractor shall install 3" depth Shredded Hardwood Mulch in all shrub and tree planting beds and at the base of trees, typ.
- Contractor shall coordinate lawn installation and planting bed construction in conjunction with the timing of other building construction and improvements.
- 12. The contractor shall guarantee and maintain all trees, shrubs, ground cover and other plant materials for one year from the date of installation, including labor and removal and disposal of dead material.
- 13. All plant material shall be grade 1 northern nursery grown from a local source and shall meet the current standards of the American Society of Nurseryman.
- 14. Contractor shall adhere to all soil erosion prevention methods as directed within civil engineering drawings and Municipal Ordinance including maintaining silt fencing and ensuring that soil, silt and other debris is prevented from leaving site or entering area drains, sewer inlets, creeks or natural areas.



MASONRY PILLAR AND FENCE DETAIL:



J EPPINK PARTNERS, INC. Urban Design Studio

Landscape Architecture

Fraditional Town Planning 9336 Sashabaw Road Clarkston, Michigan 48348 248.922.0789

The ideas and design concepts expressed herein and the graphically displayed arrangement of their components represented by this drawing have been developed for the exclusive use of the specified project and are the sole property of JEPPINK PARTNERS, INC. Any conveyance or disclosure of the ideas or design concepts or use of any graphically displayed arrangements of their components shall be at the discretion of and only through the expressed written consent of JEPPINK PARTNERS, INC

BEAUCHAMP STORAGE

Hartland Township, Michigan

Beauchamp
Storage

872 N. Old US 23 Brighton, MI 48114 810-632-2000

Landscape
Planting
Plan

Revised Site Layout 03/17/2025
Revised Landscape 04/10/2025

Drawn by:

JER

Checked By

JTE

July 29, 2022

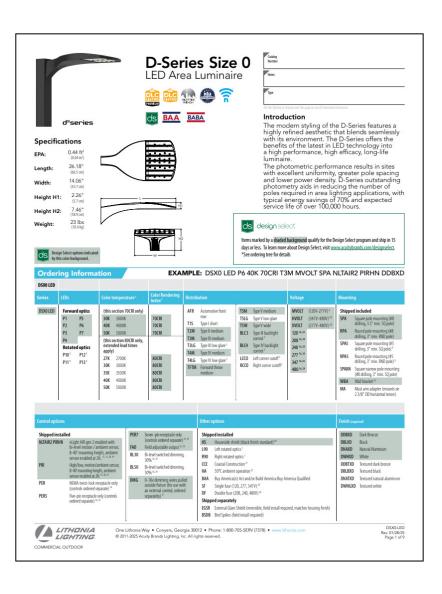
Not for Construction

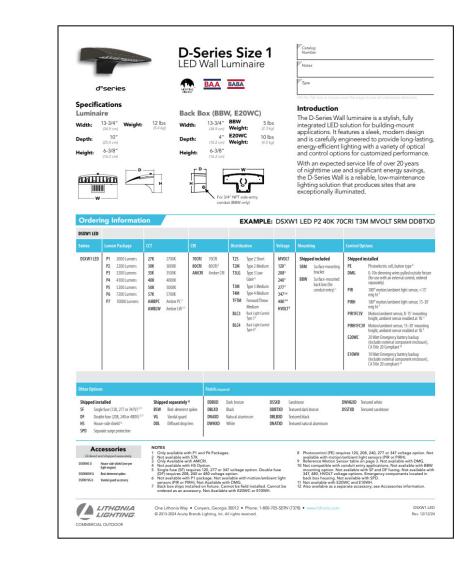
LP-1

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+0.0 +0.0 +0.0 +0.1 +0.2 *0.6 *1.3 *2.0 *2.0 *2.0 *2.0 *2.0 *2.0 *2.0 *2.0	*2.1 *1.6 *2.1 *1.7 *1.1 *0.8 *1.0 *1.3 *1.3 *1.1 *0.8 *1.1 *1.8 *2.6 *1.9 *1.1 *	0.8 *1.0 *1.1 *1.1 *1.9 *2.0 *1.8 *1.6 *1.3 *1.1 *0	.9 *1.1 *1.2 *1.3 *1.1 *1.0 *1.0 *1.1 *1.2 *1.1 *1.0 *0.9 *1.0 *1.0 *1.1 *1.0 *0.9 *0.9 *1.0 *1.0 *1.0 *0.9 *0.9 ©RAVEL OUTDOOR .5 *0.5 *0.3 *0.2 *0.3 *0.4 *0.5 *0.3 *0.2 *0.2 *0.2 *0.4 *0.4 *0.2 *0.2 *0.2 *0.2 *0.2 *0.4 *0.4 *0.2 *0.2 *0.2 *0.2 *0.4 *0.4 *0.2 *0.2 *0.2 *0.2 *0.4 *0.4 *0.2 *0.2 *0.2 *0.2 *0.2 *0.2 *0.2 *0.2	*0.9 *0.9 *1.0 *1.2 *1.4 *1.1 *1.2 *1.1 *0.9 *0.4 \(\frac{1}{10.1} \) \(\frac{1}{10.0} \) \	0.0
0.0 \(^{0}.0 \) \(4.0 2.1 <u>4.7 2.4 **1.1 **0.5 **0.3 **0.3 **0.3 **0.5 **1.0 **2.2 **5.3 **2.3 **1.1 *</u> * B B	0.5 0.3 0.2 0.3 1.3 1.4 0.8 0.4 0.3 0.4 0.4 0.4 0.4 0.4 0.4 0.4 0.4 0.4 0.4	.5 U.5 U.3 U.2 U.3 U.4 "0.5 "0.3 "0.2 "0.2 "0.3 "0.4 "0.4 "0.2 "0.2 "0.2 "0.4 "0.4 "0.2 "0.2 "0.2 "0.3 "0.4 STORAGE AREA	*0.3 *0.2 *0.2 *0.3 *0.3 *0.3 *0.2 *0.2 *0.3 *0.2 *0.1 *0.0 \$\dot 0.0 \dot	0.0
+0.00.0 +0.0 +0.0 +0.1 *0.3 *1.2 *2.3 *	ovovietodace biji diric #3	*3.3 *1.4 *0.4 *0.1 *0.1 *0.1 *0.1 *0.1	.2 0.1		
+0+0.0 +0.0 +0.1 *0.3 *1.2 *2.3 *			.2 *0.2 *0.1 *0.1 *0.1 *0.2 *0.2 *0.2 *0.1 *0.1 *0.2 *0.3 *0.2 *0.1 *0.1 *0.1 *0.3 *0.3 *0.2 *0.1 *0.1 *0.2 *0.3		0.0
† 0 0.0 †0.0 †0.0 † 0 .1 † 0 .3 *1.0 *3.0 *		*1.4 *1.4 *0.9 *0.6 *0.5 *0.6 *0		*0.9 *0.8 *0.9 *1.0 *1.2 *1.1 *1.0 *0.9 *0.8 *0 5 *0.2 *0.1 *1.0 *0.0	o [†] ¢.o [‡] 8.8
*0.0 + + + + + + * * * * * * * * * * * * *		0.8 *1.5 *2.8 *3.1 *2.4 *2.0 *2.0 *2.1 *1.9 *1.4 *1		*1.5 *2.5 *3.1 *2.4 *2.1 *2.3 *3.2 *3.0 *1.8 *0 8 †0.2 *0.0 \$\frac{1}{4}0 \\ \frac{1}{4}0 \\ \	Docci
+0.0+0.0 +0.0 +0.1 +0.2 *0.7 *1.6 *	*2.8 *2.1 *3.3 *2.3 *1.2 *0.8 *1.1 *1.5 *1.5 *1.2 *0.8 *1.0 *2.1 *3.3 *2.4 *1.2 *	0.8 *1.0 *1.4 *1.4 *2.0 *2.2 *2.9 *4.3 *3.6 *1.8 *0 *2.3 *1.5 *0.5 c	9 *1.5 *3.2 *4.7 *2.7 *1.3 *1.1 *2.3 *4.5 *3.8 *1.8 *0.9 *1.5 *3.3 *5.5 *2.7 *1.3 *1.1 *2.2 *54 *4.1 *1.8 *0.9 c	C C 2.9 *1.5 *0.4 *0.1 *0.0 \$\overline{0}.0.0 \$\	9.0
+0.0+0.0 +0.0 +0.1 +0.1 *0.4 *1.4 *		*3.4 *1.6 *0.4	%%USTORAGE BUILDING #9	*3.5 *1.6 *0,4 +0.1 +0.0 +0.0 +0.0 +0.0	
⁺ 0.θ _{0.0} + _{0.0} + _{0.0} + _{0.1} * _{0.4} * _{1.4} * _{1.4} * _{1.4}		B *2.6 *1.4 *0.4 B	325'x30'	*3.0 *1.6 *0.5 †0.1 †0.0 †0.0 †0.0 °0.0	0.0 +0.0 +0.0 +0.0
+0.0 +0.0 +0.0 +0.1 ×0.5 ×1.2 ×		0.7 *1.4 *3.4 *4.4 *2.9 *2.2 *2.2 *4.6 *3.3 *1.4 *0		*0.9 *1.1 *1.2 *1.2 *1.4 *2.0 *3.3 *3.6 *2.2 *0.9 +0.2 +0.0 +0.0 +0.0	0.0
+0.0 +0.0 +0.0 +0.1 +0.4 *0.9 *	*1.5 *1.9 *2.1 *1.8 *1.1 *0.8 *1.4 *2.6 *2.8 *1.6 *0.8 *1.0 *1.7 *2.4 *1.9 *1.1 * *1.9 *3.1 <u>*4.7 *2.5 *1.2 *0.7 *0.8 *0.8 *0.9 *0.8 *0.7 *1.0 *2.1 *4.9 *2.5 *1.2 *</u>	0.8 *1.4 *2.4 *2.6 *2.3 *2.0 *2.1 *2.6 *2.3 *1.3 *0	.8 *1.2 *2.2 *3.1 *1.9 *1.0 *0.8 *1.4 *2.2 *2.0 *1.2 *0.8 *1.2 *2.3 *3.3 *2.0 *1.0 *0.8 *1.3 *1.8 *1.7 *1.1 *0.8 .6 *1.0 *2.4 *5.3 *1.9 *0.9 *0.6 *0.6 *0.6 *0.6 *0.6 *0.5 *0.8 *2.0 *2.0 *2.0 *3.3 *2.0 *1.0 *0.8 *1.3 *1.8 *1.7 *1.1 *0.8	*1.2 *2.4 *3.3 *2.2 *1.5 *1.4 *1.6 *2.3 *1.8 *0.9 †0.3 *0.1 *†0.0 †0.0	" Probei
+0.0 +0.0 +0.0 +0.0 +0.1 *0.6 *		0.6 0.7 0.7 0 8 2.1 1.9 1.3 0.9 0.7 0.6 0 *2.9 *1.8 *0.7	. 6 1.0 2.4 5 .3 1.9 0.9 0.6 0.6 0.6 0.6 0.6 0.5 0.8 2.0 B %% USTORAGE BUILDING #10	*2.2 *1.6 *0.7 †0.2 †0.1 †0.0 †0.0 *3.4 *1.6 *0.5 †0.1 †0.1 †0.0 †0.0	0.0
+0.0 +0.0 +0.0 +0.1 *0.7 *	,0,000,000	*3.5 *1.8 *0.6	325'x30'	*2.8 *1.6 *0.5 *0.1 *0.1 *0.0 *0.0	0.0
+0.0+0.0 +0.0 +0.0 +0.1 *0.6 *	*1.9 *2 <u>3</u> B	*2.4 *1.7 *0.7 B	*0.5 *0.5 *0.5 *0.6 *1.3 *4.2 *2.9 *1.1 *0.6	*0.6 *0.6 *0.6 *0.6 *1.0 *1.8 *4.9 *4.2 *2.3 *0.8 *0.2 *0.1 *0.0 *0.0	, ⁺ 0.0 ⁺ 0.0 ₀ 0
+0.0 +0.0 +0.0 +0.2 *0.5 *		1.2 *1.4 *1.2 *0.7 *1.6 *2.3 *2.5 *3.2 *2.8 *1.5 *0	.8 *1.0 *1.5 *1.6 *1.4 *0.9 *0.9 *1.7 *3.1 *2.8 *1.4 *0.8 *1.0 *1.7 *1.9 *1.5 *0.9 *0.9 *1.7 *3.0 *2.7 *1.4 *0.8		Schedule
10.0 +0.0 +0.0 +0.1 *0.3 *0.1 *0.1 *0.1 *0.1 *0.1 *0.1 *0.1 *0.1		2.5 ^3.3 ^2.0 ^0.8 ^1.7 ^2.3 ^1.7 ^1.4 ^1.3 ^1.0 ^0	.8 *1.2 *2.5 *3.6 *2.1 *1.0 *0.7 *1.0 *1.2 *1.1 *0.9 *0.7 *1.2 *2.5 *4.2 *2.1 *1.0 *0.7 *0.9 *1.0 *0.9 *0.8 *0.7	$ \begin{array}{cccccccccccccccccccccccccccccccccccc$	5ymbol Label
0.0 0.0 0.0 0.1 0.1 0.1 0.0 0.0 0.0 0.1 0.1		B 2.0 2.1 0.9 *1.3 *1.7 *0.7	%%ustorage building #11	*3.8 *1.8 *0.5 †0.1 †0.1 †0.0 †0.0	
+0.0 +0.0 +0.0 +0.0 +0.1 *	*0.5 *1.4 *1.8	*1.8 *1.7 *0.8 B	325'x30' BB	B *2.0 *1.7 *0.6 †0.1 †0.1 †0.0 †0.0	O +0 0 +000 A
+0.0 +0.0 +0.0 +0.0 +0.1 **	*0.4 *1.3 *2.2 %% USTORAGE BUILDING #6	2.0 2.1 2.0 1.0 0.0 1.1 0	.7 *0.7 *0.8 *0.9 *0.8 *0.7 *0.8 *1.7 *4.3 *3.2 *1.4 *0.7 *0.8 *0.9 *1.1 *0.9 *0.7 *0.9 *1.7 *3.6 *3.0 *1.4 *0.8	*0.9 *1.1 *1.2 *1.2 *1.4 *2.0 *3.3 *3.6 *2.2 *0.9 *0.3 *0.1 *0.0 *0.0	0:0
+0.0+0.0 +0.0 +0.1 +0.1 +0.1 +0.1 +0.1 +	*0.3 *1.2 *3.4 9 *0.4 *4.0 *5.0 *0.4	B_	.8 *1.2 *2.2 *3.1 *1.9 *1.0 *0.8 *1.4 *2.2 *2.0 *1.2 *0.8 *1.2 *2.3 *3.3 *2.0 *1.0 *0.8 *1.3 *1.8 *1.7 *1.1 *0.8 *1.0 *2.4 *5.3 *1.9 *0.9 *0.6 *0.6 *0.6 *0.6 *0.6 *0.8 *2.0 *2.4 *5.4	*1.2 *2.4 *3.3 *2.2 *1.5 *1.4 *1.6 *2.3 *1.8 *1.0 †0.3 *0.1 †0.0 †0.0 *1.2 *1.7 *0.8 *	0.0
†0.0 0.0 †0.0 †0.0 †0.1 ;	*0.5 *1.3 *1.8	2.6 2.3 1.4 0.9 0.7 0.6 0	.6 1.0 2.4 5.3 1.9 0.9 0.6 0.6 0.6 0.6 0.5 0.8 2.0 5	B	
0.0 +0.0 +0.0 +0.1	*0.4 *1.3 *2.1 *1.5	*2.3 *1.8 *0.7 *0.2	325'x30'	*3.0 *1.8 *0.5 [†] 0.1 [†] 0.0 [†] 0.0 [†] 0.0) ⁺ 0.p ⁺ 0.00 + 0.00
0.0 +0.0 +0.0 +0.1	*0.3 *1.1 *3.2 (4.4 B B B	*4.5 *2.1 *0.7 **********************************	*0.5 *0.5 *0.6 *1.4 *4.3 *2.9 *1.2 *0.6		
0.0 +0.0 +0.0 +0.1 h	*0.2 *1.0 *2.7 *2.8 *1.2 *2.7 *3.6 *2.0 *0.9 *0.8 *1.8 *3.3 *2.9 *1.5 *0.8 *1.3 * 1.4 * * * * * * * * * * * * * * * * * * *	2.6 3.3 2.0 1.5 *0 *2.8 *2.4 *2.3 *3.2 *2.9 *1.5 *0	.8 *1.0 *1.5 *1.7 *1.4 *0.9 *0.9 *1.7 *3.1 *2.8 *1.4 *0.8 *1.1 *1.7 *2.0 *1.5 *1.0 *0.8 *1.7 *3.0 *2.6 *1.4 *0.8	*1.1 *1.9 *2.3 *1.8 *1.5 *1.9 *3.0 *2.8 *1.7 *0.8 +02 +0.0 +0.0 +0.0 +0.0	, [†] 0,0 [†] 0,0,0
0.1 0.1 0.1 +0.0 +0.1 +0.1 +0.2	*0.3 *0.9 *1.4 *1.3 *1.1 *1.6 *1.8 *1.4 *1.0 *0.9 *1.3 *1.7 *1.6 *1.2 *0.9 *1.1 *1	1.4 1.5 1.3 10.9 11.5 11.7 11.7 11.6 11.4 11.1 10 0.6 10.6 10.6 10.6 10.8 10.	8 *1.2 *2.5 *3.7 *2.1 *1.0 *0.7 *1.0 *1.1 *1.1 *0.9 *0.7 *1.2 *2.5 *4.3 *2.1 *1.0 *0.7 *0.9 *0.9 *0.9 *0.8 *0.7 B	$ \begin{array}{cccccccccccccccccccccccccccccccccccc$	2 0.0 000 0 0 0 0 0
+0.1 ₊ 0.2 +0.3 +0.4	0.5 +0.5 +0.6 +0.6 +0.5 +0.5 +0.5 +0.6 +0.6 +0.7 +0.6 +0.5 +0.5 *0.6 *0.6 *0.6 *0.6 *0.6 *0.6 *0.6 *0.6	0.5 *0.5 *0.5 *0.6 *0.7 *0.6 *0.6 *0.8 *1.3 11.6		*4.7 *2.0 *0.8 *0.2 *0.7 *0.1 *0.0 *0.0 *0.0	0.0
0.2 0.5 0.6 *0.7 *	*0.8 *0.8 *0.9 *0.9 *0.8 *0.8 *0.8 *0.8 *0.9 *0.9 *0.9 *0.9 *0.9 *0.9 *0.9 *0.9	0.8 *0.8 *0.9 *0.9 *1.0 *1.0 *0.9 * 7 *1.8 \$1.2	20 % % %	*3.3 *2.4 *1.1 *0.4 70.1 +0.0 +0.0 +0.0 +0.0	ν [†] 0.0 [†] 0 1 θ.0
+0.8	* <u>1.3 *1.4 *1.4</u> *1.2 *1.1 *1.1 *1.1 *1.1 *1.2 *1.3 *1.5 *1.5 *1.5 *1.3 *1.2 *1.1 *		%%USTORAGE BUILDING #13	*3.6 *2.3 *1.0 *0.4 +0.1 +0.0 +0.0 +0.0 +0.0	\ 0.0
± n q	* <u>1.8 *1.9 *1.9</u> *1.5 *1.2 *1.1 *1.1 *1.1 *1.2 *1.5 *1.8 *2.0 *1.9 *1.5 *1.3 *1.1 * *1.8 *1.9 *1.8 *1.4 *1.2 *1.0 *1.0 *1.0 *1.2 *1.4 *1.8 *1.9 *1.8 *1.4 *1.2 *1.0 *	U	275'x90'	*4.6 *1.9 *6.8 *0.2 *0.1 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0	\ 0.0
\\ +0.8	*1.5 *2.0 *1.4 *0.9 *0.7 *0.6 *0.5 *0.6 *0.7 *0.9 *1.3 *1.5 *1.4 *0.9 *0.7 *0.6 *1.5 *1.5 *1.5 *1.5 *1.5 *1.5 *1.5 *1.5	U		+0.5 +0.5 +0.3 +0.1 +0.1 +0.0 +0.0 +0.0 +0.0 +0.0	0.0
1 +0 2	+0.7 +0.7 +0.7 +0.4 +0.3 +0.2 +0.1 +0.2 +0.2 +0.4 +0.7 +0.9 +0.7 +0.4 +0.3 +0.2 +0.4 +0.7 +0.9 +0.7 +0.4 +0.3 +0.2 +0.4 +0.7 +0.9 +0.7 +0.4 +0.3 +0.2 +0.4 +0.7 +0.9 +0.7 +0.4 +0.3 +0.2 +0.4 +0.7 +0.9 +0.7 +0.4 +0.3 +0.2 +0.4 +0.7 +0.9 +0.7 +0.4 +0.3 +0.2 +0.4 +0.7 +0.9 +0.7 +0.4 +0.3 +0.2 +0.4 +0.7 +0.9 +0.7 +0.4 +0.3 +0.2 +0.4 +0.7 +0.9 +0.7 +0.4 +0.3 +0.2 +0.4 +0.7 +0.9 +0.7 +0.9 +0.7 +0.4 +0.7 +0.9 +0.9 +0.7 +0.9 +0.9 +0.9 +0.9 +0.9 +0.9 +0.9 +0.9			+0.1 +0.1 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	0.0
$\begin{pmatrix} 0.1 \\ {}^{+}0.2 \\ {}^{+}0.3 \end{pmatrix}$		0.1 +0.1 +0.2 +0.2 +0.3 +0.3 +0.3 +0.2 +0.2 +0.1		+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	0.0
\ +0.0	†0.1 †0.2 †0.1 †0.1 †0.1 †0.1 †0.1 †0.1 †0.1 †0.1	0.1 +0.1 +0.1 +0.1 +0.1 +0.1 +0.1 +0.1 +	0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0	**************************************	0.0
\ \begin{pmatrix} \ 0.0 & 0.1 \\ \ \ \ 0.0 & \\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	[†] 0.1 [†] 0.1 [†] 0.1 [†] 0.1 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.1 [†] 0.1 [†] 0.1 [†] 0.1 [†] 0.1 [†] 0.0 [†]	0.0	.0	$^{+}$ 0.0 $^{+}$	
\\ \begin{pmatrix} +0.0 & 0.0 \\ +0.0 & \\ +0.0 & \\ +0.0 & \\ \end{pmatrix} = 0.0 & \\ pma	+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0			+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	
\begin{pmatrix} \frac{1}{7}0.0 \\ \frac{1}{7}0.0 \end{pmatrix}	+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0	+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	0.0 0.0
\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0) /	0.0
\^_0.0	†0.0 †0.0 †0.0 †0.0 †0.0 †0.0 †0.0 †0.0	0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0		0.0
\ [™] 0.0	*0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0	0.0	.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +		0.0
_0.0	$^{+}0.0$ $^{-}0.0$ $^{+}$	0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	.0 †0.0 †0.0 †0.0 †0.0 †0.0 †0.0 †0.0 †	$^{+}0.0$ $^{+}$	
_{0.0}^{0.0}	+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0	$^{+}$ 0.0 $^{+}$ 0.0 $^{+}$ 0.0 $^{+}$ 0.0 $^{+}$ 0.0 $^{+}$ 0.0 $^{+}$ 0.0 $^{+}$ 0.0 $^{+}$ 0.0 $^{+}$ 0.0 $^{+}$ 0.0 $^{+}$ 0.0	+0.0 +0.0 00.0
\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	*0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0	0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	
0.0	†0.0 †0.0 †0.0 †0.0 †0.0 †0.0 †0.0 †0.0	0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0	+0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0 +0.0	GRA ~
to.o_	†0.0 †0.0 †0.0 †0.0 †0.0 †0.0 †0.0 †0.0	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	EV CHARGEDS (
ţ o .	.0	0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0		EV CHARGERS 2 =
	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	NI.	n Viou		Energize with confidence!

<u>Plan View</u>





Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drive Lanes	Ж	1.5 fc	6.3 fc	0.1 fc	63.0:1	15.0:1
Overall Site	+	0.7 fc	6.3 fc	0.0 fc	N/A	N/A
Property Line @5'	+	0.0 fc	0.9 fc	0.0 fc	N/A	N/A

Schedul	le								
Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power	Mounting Height
	А	3	Lithonia Lighting	DSX0 LED P3 40K 70CRI T3M	D-Series Size 0 Area Luminaire P3 Performance Package 4000K CCT 70 CRI Type 3 Medium	8795	0.9	68.95	20'
	В	70	Lithonia Lighting	DSXW1 P3 40K T4M	4000 4000K 70CRI Type 4 Medium	3240	0.9	21.05	8'
	С	36	Lithonia Lighting	DSXW1 P4 40K T4M	5000 4000K 70CRI Type 4 Medium	4227	0.9	28.68	8'
	D	2	Lithonia Lighting	DSXW1 P3 40K TFTM	4000 4000K 70CRI Forward Throw Medium	3231	0.9	21.05	8'

General Note

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.

2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.

3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0" & 5' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.

Alternates Note

Drawing Note

VERIFIED IN FIELD BY OTHERS.

Energize with confidence!

Contact our EV Charging Team to

source and specify industry leading

hardware and software solutions.

Chris Aina

caina@gasserbush.com

734-460-4036

www.gasserbush.com

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE

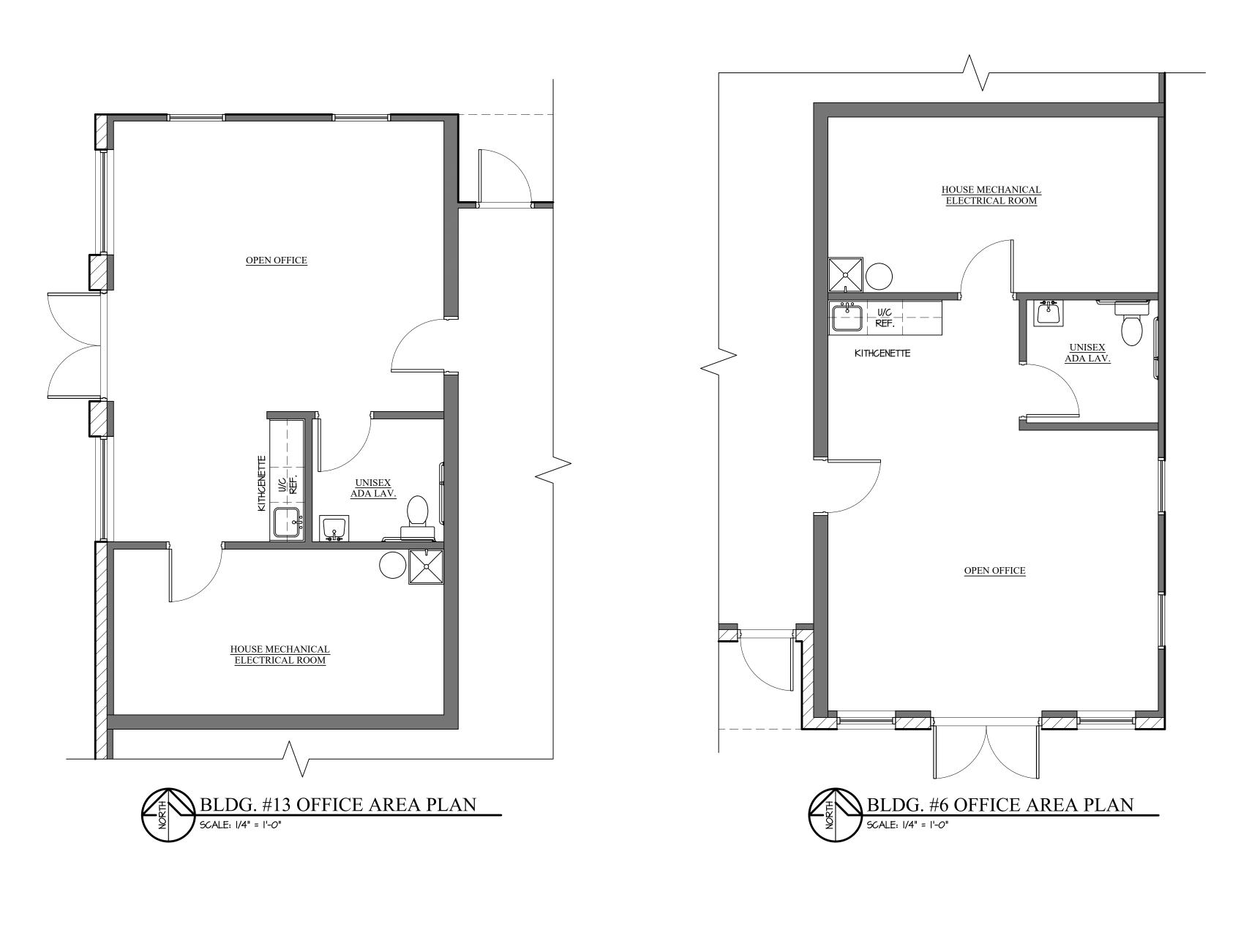
Ordering Note

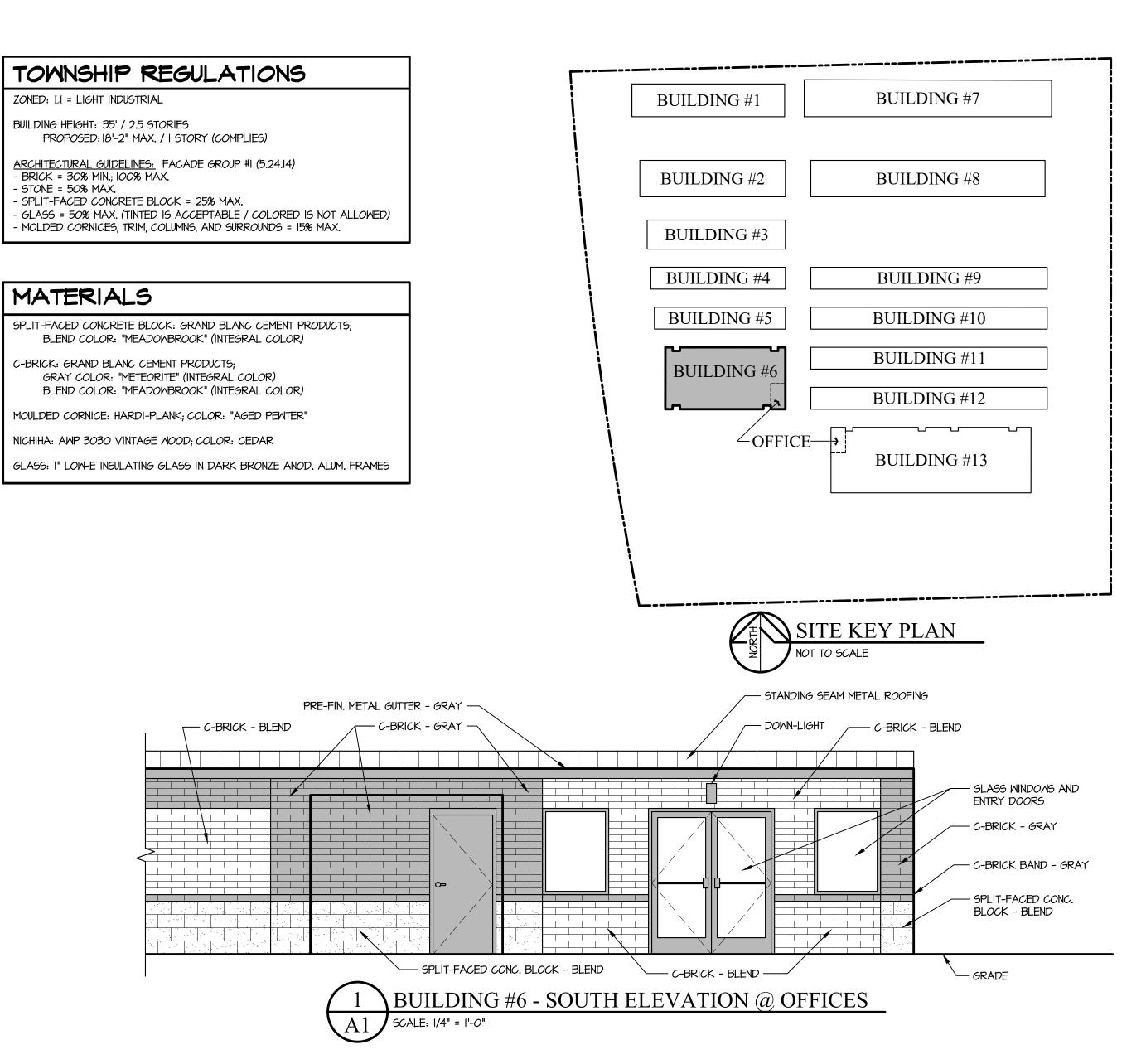
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-

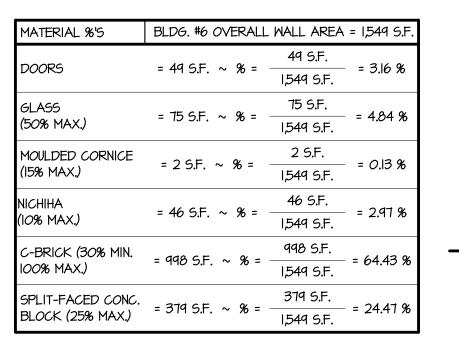
Mounting Height Note

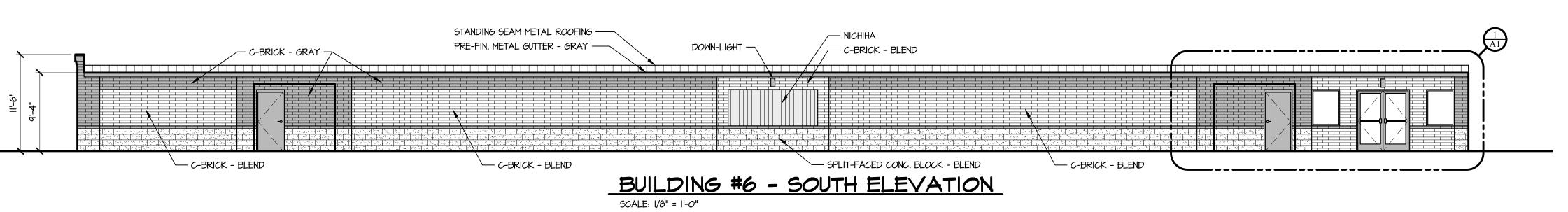
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

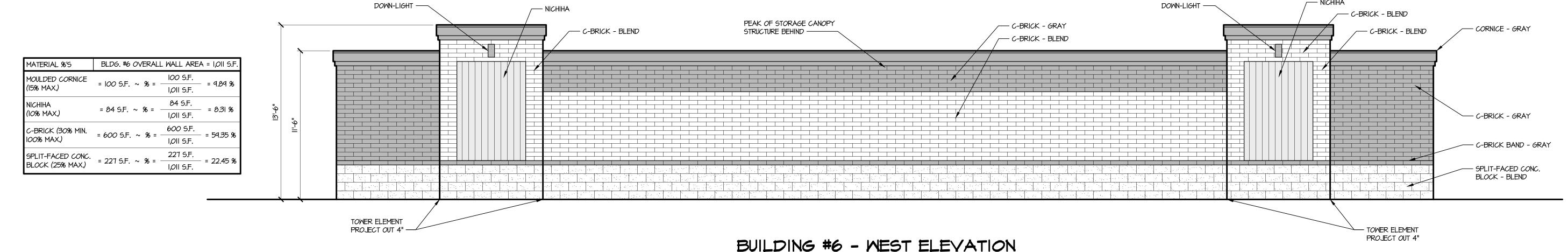
Designer Date 03/17/2025 Scale Not to Scale Drawing No. #22-78069_V2 90











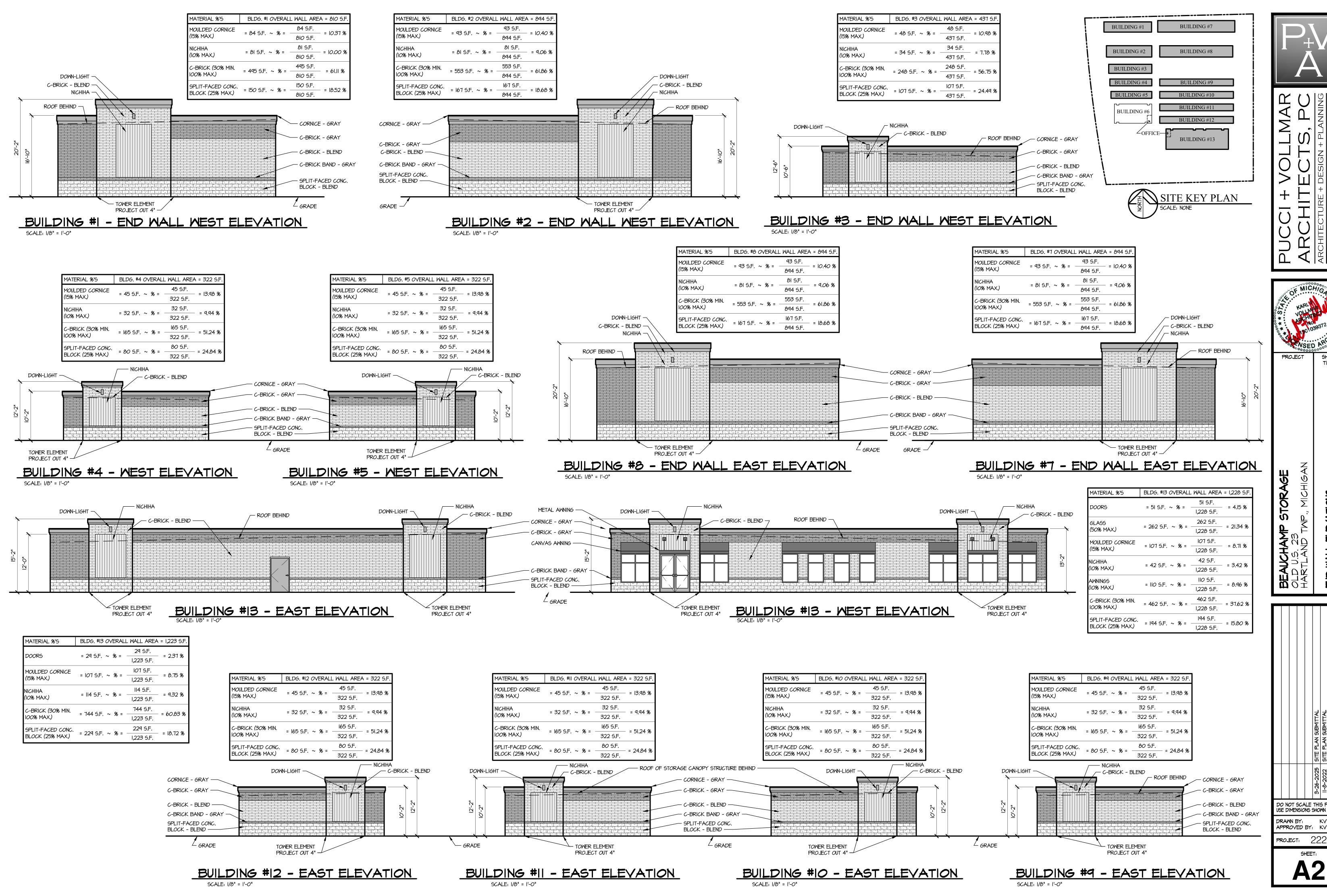
SHEET TITLE PROJECT

DO NOT SCALE THIS PRINT, USE DIMENSIONS SHOWN ONLY DRAWN BY: KV APPROVED BY: KV

PROJECT: 2223

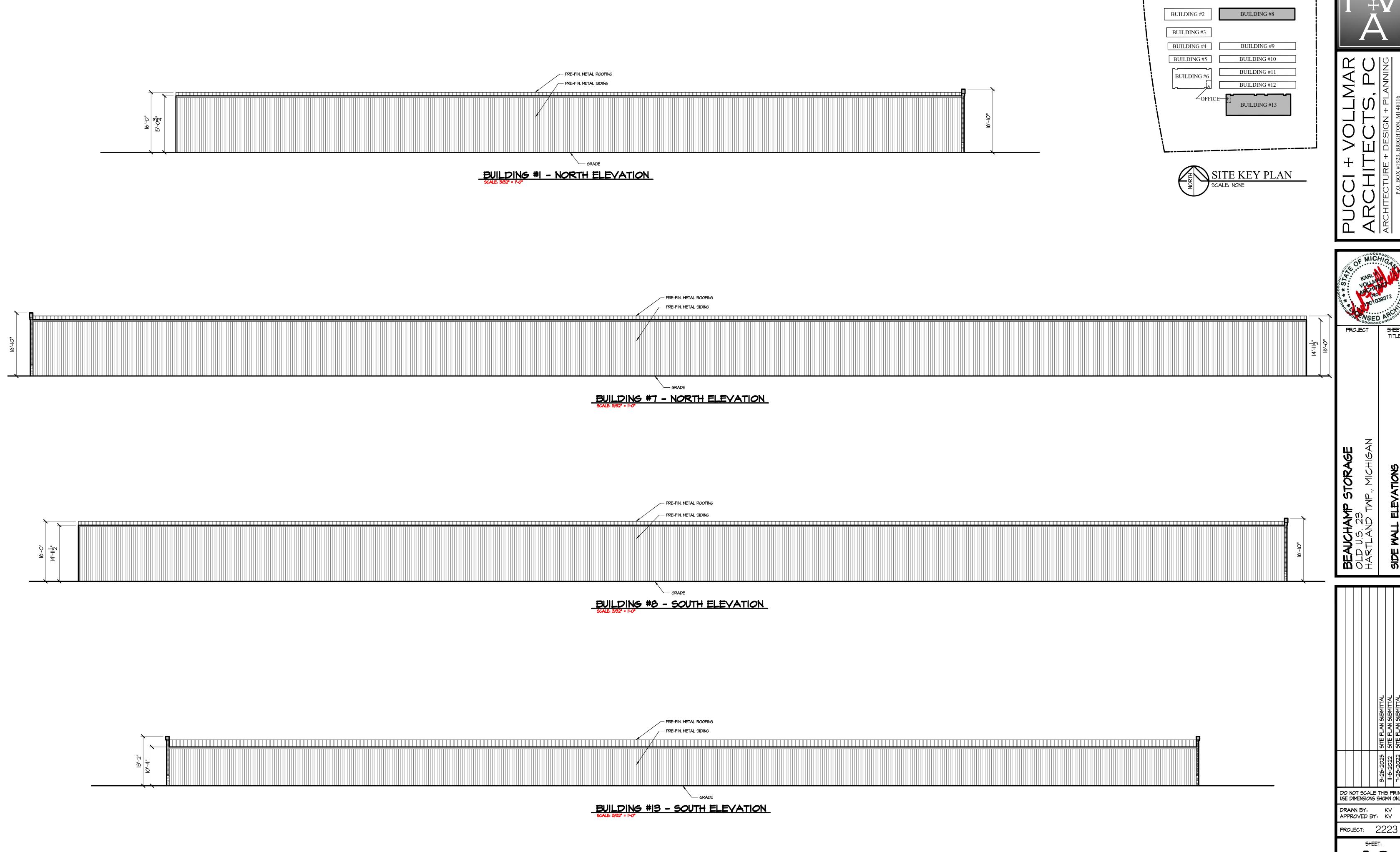
BUILDING #6 - WEST ELEVATION

SCALE: 1/4" = 1'-0"



PROJECT SHEET TITLE

DO NOT SCALE THIS PRINT, USE DIMENSIONS SHOWN ONLY DRAWN BY: KV APPROVED BY: KV PROJECT: 2223 SHEET:



BUILDING #1

BUILDING #7

SHEET TITLE

DO NOT SCALE THIS PRINT, USE DIMENSIONS SHOWN ONLY

LOW SIDE 336'-0" #4 - 45'-0" x 336'-0" x 15'-0 3/4" Eave 1/4:12 PITCH LEAN-TO BUILDING SYSTEM 16'

RK RK RK RK RK RK RK RK 320'-0"

#5 - 50'-0" x 320'-0" x 14'-11 1/2" Eave 1/4:12 PITCH LEAN-TO BUILDING SYSTEM

	DOOR SCHEDULE							
QTY	CODE	TYPE	SIZE	ROUGH OPENING	MANUF.	DESCRIPTION		
24	AR	ROLL-UP	12'-0"x 14'-0"	12'-0"x 14'-0"	TRAC-RITE/eq.	ROLL-UP DOOR, 977		
7	CB	ROLL-UP	3'-8" x 7'-0"	3'-8" x 7'-0"	TRAC-RITE/eq.	CORRIDOR ROLL-UP DOOR, 944		
114	CH	ROLL-UP	8'-8" x 7'-0"	8'-8" x 7'-0"	TRAC-RITE/eq.	CORRIDOR ROLL-UP DOOR, 944		
4	D25NWA	SWING	3'-8" x 6'-8"	4'-0" x 7'-0"	PDL/equiv	DOOR,LEVER/PANIC,30x30 LITE,CLOSER,ADA-Compliant		
8	DE	ROLL-UP	8'-8" x 7'-0"	8'-8" x 7'-0"	TRAC-RITE/eq.	ROLL-UP DOOR, 944		
8	DEF	ROLL-UP	10'-8"x 7'-7"	10'-8'x 7'-7.5"	TRAC-RITE/eq.	ROLL-UP DOOR, 944		
116	DF	ROLL-UP	9'-0" x 7'-0"	9'-0" x 7'-0"	TRAC-RITE/eq.	ROLL-UP DOOR, 944		
116	DFF	ROLL-UP	9'-0" x 7'-7"	9'-0" x 7'-7.5"	TRAC-RITE/eq.	ROLL-UP DOOR, 944		
4	DG	ROLL-UP	8'-8" x 6'-6"	8'-8" x 6'-6"	TRAC-RITE/eq.	ROLL-UP DOOR, 944		
4	DGDD	ROLL-UP	8'-8" x 6'-6"	8'-8" x 6'-6"	TRAC-RITE/eq.	NON-OPERATIONAL DOOR, 944		
8	DH	ROLL-UP	9'-0" x 6'-6"	9'-0" x 6'-6"	TRAC-RITE/eq.	ROLL-UP DOOR, 944		
4	DY	ROLL-UP	8'-8" x 6'-11"	8'-8" x 6'-11"	TRAC-RITE/eq.	ROLL-UP DOOR, 944		
4	DYDD	ROLL-UP	8'-8" x 6'-11"	8'-8" x 6'-11"	TRAC-RITE/eq.	NON-OPERATIONAL DOOR, 944		
2	SL	SWING	3'-0" x 7'-0"	3'-0" x 7'-0"	TRACHTE	FLUSH PANEL LOUVERED SWING DOOR		

ROLL-UP DOORS MEET ASTM E330 PDL DOORS - PRIMER COAT ONLY

TRACHTE BUILDING SYSTEMS, Inc.

314 Wilburn Road, Sun Prairie, Wisconsin

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DO NOT ORDER DOORS BY OTHERS PRIOR TO RECEIVING THE ERECTION SET. RO AND DOOR SIZES MAY VARY DUE TO ENGINEERING ISSUES.

THE ABOVE PLAN MAY NOT REFLECT THE IMPLICATIONS OF SECTION 903.2.9 OF THE 2012 OR 2015 IBC CODE WHICH MAY REQUIRE 3 HOUR FIREWALLS EVERY 2,500 SQFT OR MAY REQUIRE YOU TO SPRINKLE THE BUILDING.

TRACHTE RECOMMENDS (IN USA ONLY) THAT ALL PROJECTS REQUIRE A NUMBER OF UNITS BE ADA ACCESSIBLE, IF A CUSTOMER CHOOSES TO NOT CONFORM TRACHTE WILL NOT BE HELD ACCOUNTABLE.

NOTICE

NO FABRICATION CAN BE SCHEDULED OR BEGUN UNTIL "APPROVED" OR "APPROVED AS NOTED" DOCUMENTS ARE RECEIVED BY TRACHTE BUILDING SYSTEMS. COMPLETE THE FOLLOWING:

_ APPROVED - RELEASE FOR FABRICATION

 APPROVE	D AS	NOTED	-	RELEASE	FOR	FABRICATION	
 REVISE &	RES	UBMIT					

SIGNATURE

COMPANY DATE ___



Revisions:			Ву:	Job Description:
2/10/25 REVISE	D LAYOUTS & SIZES		KM	
2/24/25 REVISE	D LAYOUTS & SIZES		МН	
3/10/25 REVISE	D LAYOUTS		МН	Proposed Stor
				US-23 EXPRE
				HARTLAND, MI
				1
				Sheet Title
Name: KM	Scale: 1 = 40'	Date: 5/3/	/22	FLOOR PLAN

LOW SIDE

THIS BUILDING CAN BE INSTALLED ON A FOUNDATION WITH A MAXIMUM SLOPE OF 1% RUNNING THE LENGTH OF THE BUILDING. HOWEVER, THIS REQUIRES THE BUILDING TO BE ERECTED 1% OUT OF PLUMB. THEREFORE, THE OWNER MUST NOTIFY THE BUILDING ERECTOR THAT THE FOUNDATION WILL BE POURED ON A SLOPE. IT IS THE RESPONSIBILITY OF THE BUILDING ERECTOR TO ADJUST THE BUILDING AND DOORS ACCORDINGLY.

1% SLOPE TO EAST

UNIT MIX

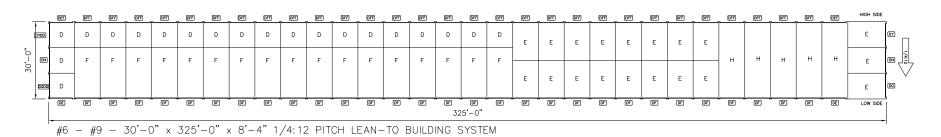
0.7 0.5 0.7	150 100 225	Y
0.7		Y
	225	
4 -7	223	Y
4.7	1000	Y
18.8	8000	N
12.0	5100	Y
17.9	11400	N
6.6	4200	Y
16.0	13600	N
4.7	4000	Y
4.7	6000	N
0.9	1200	Y
2.4	3600	Y
5.6	15120	N
3.8	16000	N
	70120	
	19575	
100	89695	
	18.8 12.0 17.9 6.6 16.0 4.7 4.7 0.9 2.4 5.6 3.8	18.8 8000 12.0 5100 17.9 11400 6.6 4200 16.0 13600 4.7 4000 4.7 6000 0.9 1200 2.4 3600 5.6 15120 3.8 16000 70120 19575

PAGE 1 OF 2

Proposed Storage System for: JERRAD BEAUCHAMP

US-23 EXPRESSWAY HARTLAND, MI 48353

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FIRST 20' OF 1% SLOPE STARTS SLAB TO BE LEVEL FW 3 HR GYPSUM 3 HR GYPSUM FIREWALL AROUND OFFICE WEST OFFICE WALL OF BLDG #10 TO HAVE BRICK VENEER PER ARHCITECT'S 9'-4" ELEVATION; TBS TO PROVIDE STUDS 16" D25N HIGH SIDE ON CENTER FOR BACKER BOARD AND EC FACADE MATERIALS BY OTHERS; TBS TO carts carts carts PROVIDE FRAMED OPENINGS FOR STORE FC FC FC FRONT DOOR & WINDOWS SUPPLIED & 4 HC HC HC LC LC LC LC LC EC нс LC LC LC LC LC OFFICE AREA EC FC FC FC WEST WALL OF BLDG #10 TO HAVE WINDOWS FRAMED IN; TBS TO PROVIDE FRAMED OPENINGS FOR WINDOWS TO BE DC DC DC DC DC DC DC EC D25N CC FC FC FC FC FC FC FC FC FC SUPPLIED & INSTALLED BY OTHERS; IF WINDOWS DO NOT FALL INTO STANDARD CC EC CC HEADERS AS NEEDED FC EC EC EC EC EC EC EC EC FC FC FC EC DC DC DC DC DC DC DC DC DC EC EC EC EC EC EC EC EC EC DC ВС DC DC EC EC CH CH DC EC EC 275'-0"

EXTERIOR ACCESS UNITS ON BLDG #10 TO BE CLIMATE CONTROLLED; TBS TO PROVIDE STANDARD HEADERS & JAMBS FOR SPRAY FOAMING; INSULATED SECTIONAL DOORS TO BE SUPPLIED & INSTALLED BY OTHERS

THIS BUILDING CAN BE INSTALLED ON A FOUNDATION WITH A MAXIMUM SLOPE OF 1% RUNNING THE LENGTH OF THE BUILDING. HOWEVER, THIS REQUIRES THE BUILDING TO BE ERECTED 1% OUT OF PLUMB. THEREFORE, THE OWNER MUST NOTIFY THE BUILDING ERECTOR THAT THE FOUNDATION WILL BE POURED ON A SLOPE. IT IS THE RESPONSIBILITY OF THE BUILDING ERECTOR TO ADJUST THE BUILDING AND DOORS ACCORDINGLY.

1% SLOPE TO FAST

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APPROVED - RELEA	SE FOR F	FABRICATION
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____ APPROVED AS NOTED - RELEASE FOR FABRICATION

---- REVISE & RESUBMIT

SIGNATURE

COMPANY

DATE

THE ABOVE PLAN MAY NOT REFLECT THE IMPLICATIONS OF SECTION 903.2.9 OF THE 2012 OR 2015 IBC CODE WHICH MAY REQUIRE 3 HOUR FIREWALLS EVERY 2,500 SQFT OR MAY REQUIRE YOU TO SPRINKLE THE BUILDING.

TRACHTE RECOMMENDS (IN USA ONLY) THAT ALL PROJECTS REQUIRE A NUMBER OF UNITS BE ADA ACCESSIBLE, IF A CUSTOMER CHOOSES TO NOT CONFORM TRACHTE WILL NOT BE HELD ACCOUNTABLE.

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#10 - 90'-0" x 275'-0" x 9'-4" 1/4:12 PITCH LEAN-TO BUILDING SYSTEM

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Revisions:				Ву:	Job Description:
2/10/25 REVISED LAYOUTS & SIZES				KM	
2/24/25 REVISED LAYOUTS & SIZES				МН	
3/10/25 REVISED LAYOUTS				МН	Proposed Storage System f
					US-23 FXPRESSWAY
					HARTLAND, MI 48353
					Sheet Title
Name: KM	Scale:	1 = 40'	Date: 5/3/	, 22	FLOOR PLAN

PAGE 2 OF 2

or: JERRAD BEAUCHAMP

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Hartland Township Planning Commission Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Zoning Map and Future Land Use Map Updates

Date: April 17, 2025

Recommended Action

No formal Recommendation is required, at this point. This is discussion.

Discussion

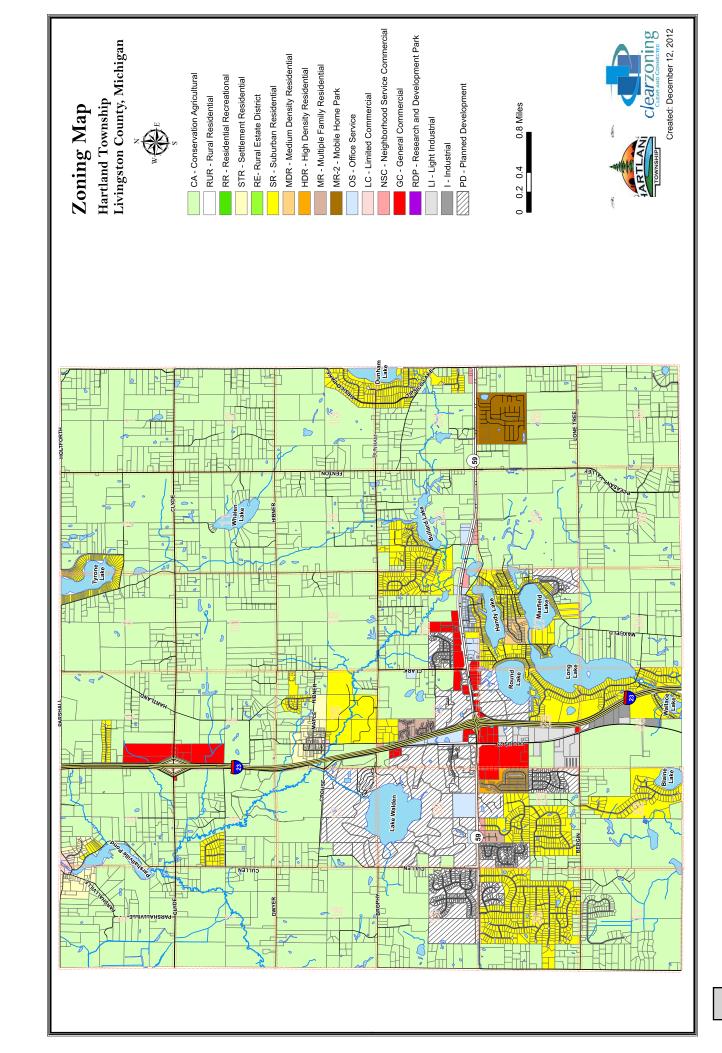
Over the years there have been zoning amendments/changes and amendments to the Future Land Use Map, and in updating those maps, there are some questions on the general format, look, and clarity of those maps.

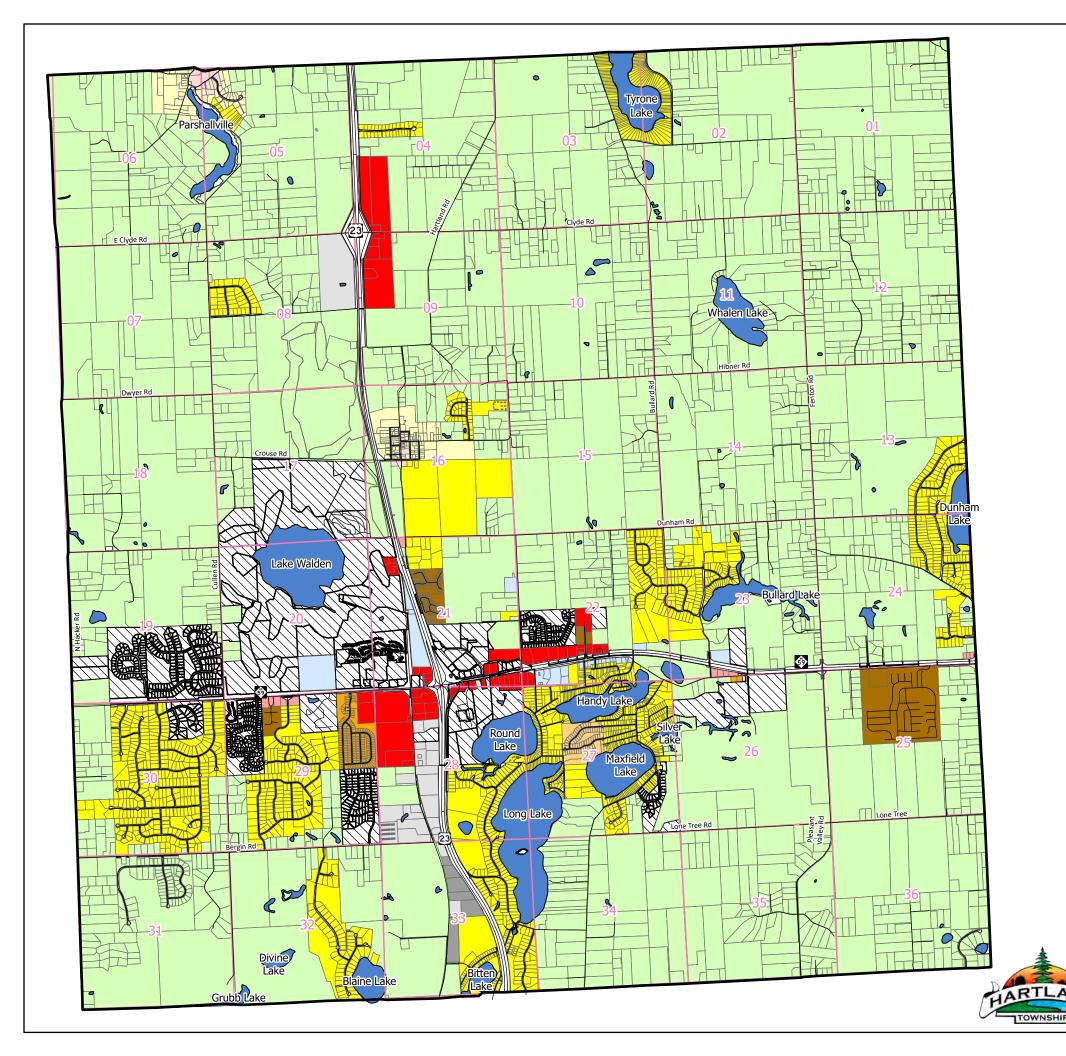
As a result, the original zoning map and future land use plan have been attached; along with two (2) examples of amended maps. The goal of the discussion is to provide input on the overall format and look of the proposed updated maps.

Attachments:

- 1. Hartland Township Zoning Map Current
- 2. Hartland Township Zoning Map 03.03.2025
- 3. Hartland Township Zoning Map 04.03.2025
- 4. Hartland Township Future Land Use Current
- 5. Hartland Township Future Land Use 03.03.2025
- 6. Hartland Township Future Land Use 04.03.2025

 $T:\PLANNING\ DEPARTMENT\PLANNING\ COMMISSION\2025\ Planning\ Commission\ Activity\Zoning\ Map\ and\ Future\ Land\ Use\ Map\ Review\Staff\ Memorandums\PC\ Meeting\Staff\ Report\ PC\ 04.17.2025.docx$





Zoning Map

Hartland Township Livingston County, Michigan

CA - Conservation Agriculture

RUR - Rural Residential

RR - Residential Recreation

STR - Settlement Residential

RE - Rural Estate District

SR - Suburban Residential

MDR - Medium Density Residential

HDR - High Density Residential

MR - Multiple Family Residential

MR-2 - Mobile Home Park

OS - Office Service

LC - Limited Commercial

NSC - Neighborhood Service Commercial

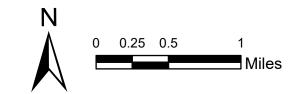
GC - General Commercial

RDP - Research & Development Park

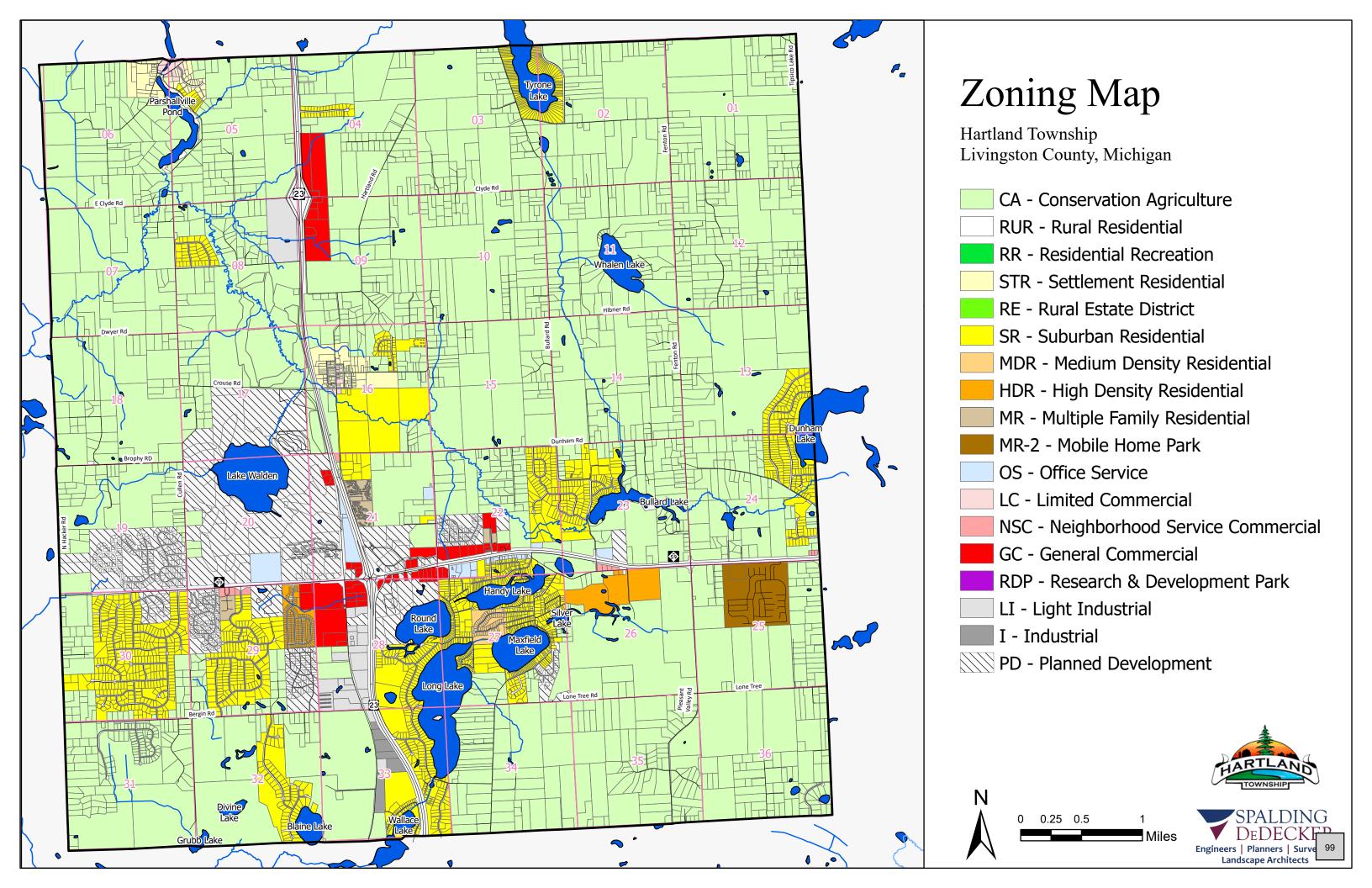
LI - Light Industrial

I - Industrial

PD - Planned Development









Hartland Township Livingston County, MI

FUTURE LAND USE MAP Adopted September 1, 2015

Future Land Use Categories Commercial

High Density Residential Estate Residential

Low Suburban Density Residential

Multiple Family Residential

Medium Suburban Density Residential

Medium Urban Density Residential

Office

Planned Industrial / R & D

Residential Recreation Public / Quasi-Public

Rural Residential

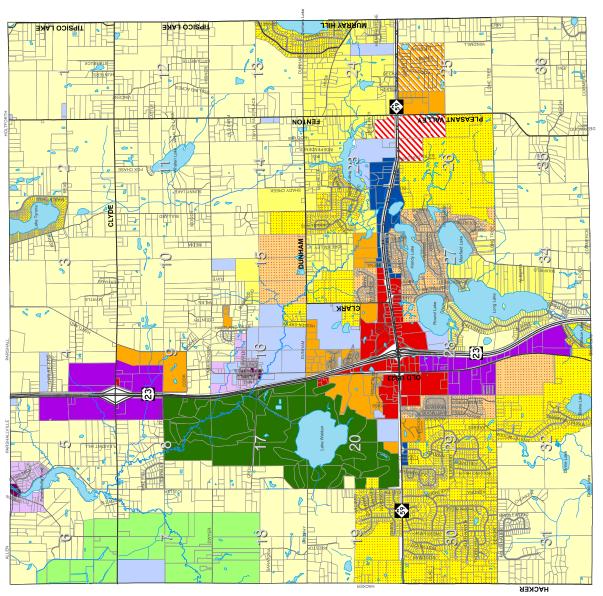
Special Planning Area

Village Commercial

Village Residential

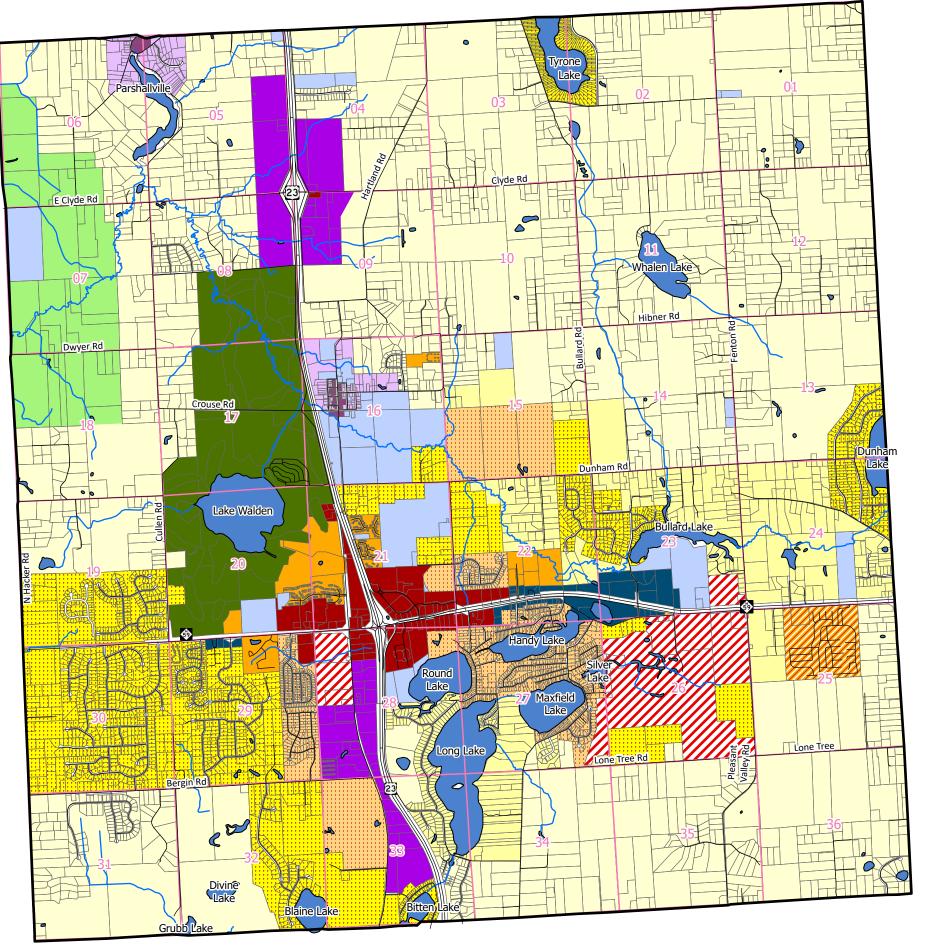
Map Created By: Hartland Township Planning Department Basemap Source: Livingston County

Recommended for Approval by the Hartland Township Planning Commission on July 30, 2015 Adopted by the Hartland Township Board of Trustees on September 1, 2015









Future Land Use

Hartland Township Livingston County, Michigan





