



Board of Trustees

William J. Fountain, Supervisor	Matthew J. Germane, Trustee
Larry N. Ciofu, Clerk	Summer L. McMullen, Trustee
Kathleen A. Horning, Treasurer	Denise M. O'Connell, Trustee
	Joseph M. Petrucci, Trustee

Board of Trustees Regular Meeting Agenda Hartland Township Hall Tuesday, August 17, 2021 7:00 PM

1. Call to Order
 2. Pledge of Allegiance
 3. Roll Call
 4. Approval of the Agenda
 5. Call to the Public
 6. Approval of the Consent Agenda
 - [a.](#) Approve Post Audit of Disbursements Between Board Meetings
 - [b.](#) Approve Payment of Bills
 - [c.](#) 07-20-21 Hartland Township Board Regular Meeting Minutes
 - [d.](#) Code Enforcement Budget Amendment (\$5,382.50)
 - [e.](#) Approve Permit for Fireworks Display – Hartland High School
 9. Pending & New Business
 - [a.](#) Site Plan/PD Application #21-005 Redwood Living Planned Development (PD) – Preliminary Site Plan
 - [b.](#) Amendment to Sewer Bond Refunding Resolution R21-011
 - [c.](#) Hartland Woods Public Road SAD - Resolution of Intent
 - [d.](#) Settlers Park Sealcoating
 10. Board Reports
- [BRIEF RECESS]
11. Information / Discussion
 - [a.](#) Closed Session: To review the written legal opinion of the Township Attorney, subject to attorney-client privilege, in accordance with the Open Meetings Act, MCL 15.268(e)
 12. Adjournment

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Susan Case, Finance Clerk

Subject: Approve Post Audit of Disbursements Between Board Meetings

Date: August 10, 2021

Recommended Action

Move to approve the presented disbursements under the post-audit resolution.

Discussion

The following disbursements have been made since the last board meeting:

Accounts Payable - \$31,201.70

July 29, 2021 Payroll - \$82,152.57

August 12, 2021 Payroll - \$64,670.19

Financial Impact

Is a Budget Amendment Required? ☐ Yes ☒ No

All expenses are covered under the adopted FY22 budget.

Attachments

Post Audit Bills List 07.15.2021

Post Audit Bills List 07.22.2021

Post Audit Bills List 07.29.2021

Post Audit Bills List 08.05.2021

Payroll for 07.29.2021

Payroll for 08.12.2021

Check Date	Bank	Check #	Payee	Description	GL #	Amount
07/15/2021	FOA	41342	CONSUMERS ENERGY	UTILITIES - GAS	101-265-920.001	17.76
		41342		STREET LIGHTS	101-448-921.000	184.19
		41342		UTILITIES - ELECTRIC	206-000-920.002	45.00
		41342		UTILITIES - GAS	536-000-920.001	14.93
						<hr/> 261.88
07/15/2021	FOA	41343	DTE ENERGY	UTILITIES - ELECTRIC	101-751-920.002	44.75
07/15/2021	FOA	41344	HARTLAND TOWNSHIP GENERAL FUND	DOG LICENSES ESCROW	701-000-290.250	28.50
		41344		MOBILE HOME FEES ESCROW	701-000-290.300	273.50
						<hr/> 302.00
07/15/2021	FOA	41345	LIVINGSTON COUNTY TREASURER	DOG LICENSES ESCROW	701-000-290.250	281.50
		41345		MOBILE HOME FEES ESCROW	701-000-290.300	1,367.50
						<hr/> 1,649.00
07/15/2021	FOA	41346	PETTY CASH (TREASURER)	SUPPLIES & POSTAGE	101-101-727.000	9.64
		41346		SUPPLIES & POSTAGE	101-253-727.000	35.05
		41346		FARMERS MARKET	101-751-956.000	10.58
						<hr/> 55.27
07/15/2021	FOA	41347	RESERVE ACCOUNT	SUPPLIES & POSTAGE	101-192-727.000	19.22
		41347		SUPPLIES & POSTAGE	101-209-727.000	27.74
		41347		SUPPLIES & POSTAGE	101-215-727.000	0.51
		41347		SUPPLIES & POSTAGE	101-247-727.000	33.35
		41347		SUPPLIES & POSTAGE	101-253-727.000	17.32
		41347		TAX COLLECTION	101-253-811.100	69.81
		41347		SUPPLIES & POSTAGE	101-299-727.000	462.98
		41347		SUPPLIES & POSTAGE	101-400-727.000	137.70
		41347		SUPPLIES & POSTAGE	101-441-727.000	69.48
		41347		FARMERS MARKET	101-751-956.000	22.44
		41347		SUPPLIES/POSTAGE	536-000-727.000	63.53
		41347		SUPPLIES & POSTAGE	590-000-727.000	78.32
						<hr/> 1,002.40
TOTAL - ALL FUNDS				TOTAL OF 6 CHECKS		3,315.30

--- GL TOTALS ---

101-101-727.000	SUPPLIES & POSTAGE	9.64
101-192-727.000	SUPPLIES & POSTAGE	19.22
101-209-727.000	SUPPLIES & POSTAGE	27.74
101-215-727.000	SUPPLIES & POSTAGE	0.51
101-247-727.000	SUPPLIES & POSTAGE	33.35
101-253-727.000	SUPPLIES & POSTAGE	52.37
101-253-811.100	TAX COLLECTION	69.81
101-265-920.001	UTILITIES - GAS	17.76
101-299-727.000	SUPPLIES & POSTAGE	462.98
101-400-727.000	SUPPLIES & POSTAGE	137.70
101-441-727.000	SUPPLIES & POSTAGE	69.48
101-448-921.000	STREET LIGHTS	184.19

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CHECK DISBURSEMENT REPORT FOR HARTLAND TOWNSHIP
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Check Date	Bank	Check #	Payee	Description	GL #	Amount
101-751-920.002			UTILITIES - ELECTRIC			44.75
101-751-956.000			FARMERS MARKET			33.02
206-000-920.002			UTILITIES - ELECTRIC			45.00
536-000-727.000			SUPPLIES/POSTAGE			63.53
536-000-920.001			UTILITIES - GAS			14.93
590-000-727.000			SUPPLIES & POSTAGE			78.32
701-000-290.250			DOG LICENSES ESCROW			310.00
701-000-290.300			MOBILE HOME FEES ESCROW			1,641.00
			TOTAL			3,315.30

Check Date	Bank	Check #	Payee	Description	GL #	Amount
07/22/2021	FOA	41378	DELTA DENTAL	ACCRUED DENTAL BENEFITS	001-000-257.101	298.02
		41378		EMPLOYMENT EXPENSE	101-192-716.000	117.12
		41378		EMPLOYMENT EXPENSE	101-209-716.000	110.60
		41378		EMPLOYMENT EXPENSE	101-215-716.000	169.16
		41378		EMPLOYMENT EXPENSE	101-253-716.000	221.20
		41378		EMPLOYMENT EXPENSE	101-400-716.000	312.94
		41378		EMPLOYMENT EXPENSE	101-441-716.000	202.34
		41378		EMPLOYMENT EXPENSE	536-000-716.000	58.56
						<hr/> 1,489.94
07/22/2021	FOA	41379	DTE ENERGY	UTILITIES - ELECTRIC	101-265-920.002	1,545.28
		41379		STREET LIGHTS	101-448-921.000	40.31
		41379		UTILITIES	101-567-920.000	15.33
		41379		UTILITIES - ELECTRIC	101-751-920.002	380.54
		41379		UTILITIES - ELECTRIC	536-000-920.002	3,814.52
						<hr/> 5,795.98
07/22/2021	FOA	41380	MUTUAL OF OMAHA	ACCRUED STD/LTD BENEFITS	001-000-257.103	134.31
		41380		EMPLOYMENT EXPENSE	101-192-716.000	91.59
		41380		EMPLOYMENT EXPENSE	101-209-716.000	88.95
		41380		EMPLOYMENT EXPENSE	101-215-716.000	60.77
		41380		EMPLOYMENT EXPENSE	101-253-716.000	66.99
		41380		EMPLOYMENT EXPENSE	101-400-716.000	107.35
		41380		EMPLOYMENT EXPENSE	101-441-716.000	41.36
		41380		EMPLOYMENT EXPENSE	536-000-716.000	80.22
						<hr/> 671.54
07/22/2021	FOA	41381	PRIORITY HEALTH	ACCRUED MEDICAL BENEFITS	001-000-257.100	1,642.94
		41381		EMPLOYMENT EXPENSE	101-192-716.000	1,081.76
		41381		EMPLOYMENT EXPENSE	101-209-716.000	1,189.95
		41381		EMPLOYMENT EXPENSE	101-215-716.000	1,730.83
		41381		EMPLOYMENT EXPENSE	101-253-716.000	540.88
		41381		EMPLOYMENT EXPENSE	101-441-716.000	1,487.46
		41381		EMPLOYMENT EXPENSE	536-000-716.000	540.88
						<hr/> 8,214.70
07/22/2021	FOA	41382	VSP INSURANCE CO. (CT)	ACCRUED VISION BENEFITS	001-000-257.102	72.54
		41382		EMPLOYMENT EXPENSE	101-192-716.000	31.08
		41382		EMPLOYMENT EXPENSE	101-209-716.000	26.16
		41382		EMPLOYMENT EXPENSE	101-215-716.000	52.86
		41382		EMPLOYMENT EXPENSE	101-253-716.000	52.32
		41382		EMPLOYMENT EXPENSE	101-400-716.000	69.22
		41382		EMPLOYMENT EXPENSE	101-441-716.000	43.06
		41382		EMPLOYMENT EXPENSE	536-000-716.000	15.54
						<hr/> 362.78
TOTAL - ALL FUNDS				TOTAL OF 5 CHECKS		16,534.94

--- GL TOTALS ---
001-000-257.100

ACCRUED MEDICAL BENEFITS

1,642.94

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Check Date	Bank	Check #	Payee	Description	GL #	Amount
001-000-257.101				ACCRUED DENTAL BENEFITS		298.02
001-000-257.102				ACCRUED VISION BENEFITS		72.54
001-000-257.103				ACCRUED STD/LTD BENEFITS		134.31
101-192-716.000				EMPLOYMENT EXPENSE		1,321.55
101-209-716.000				EMPLOYMENT EXPENSE		1,415.66
101-215-716.000				EMPLOYMENT EXPENSE		2,013.62
101-253-716.000				EMPLOYMENT EXPENSE		881.39
101-265-920.002				UTILITIES - ELECTRIC		1,545.28
101-400-716.000				EMPLOYMENT EXPENSE		489.51
101-441-716.000				EMPLOYMENT EXPENSE		1,774.22
101-448-921.000				STREET LIGHTS		40.31
101-567-920.000				UTILITIES		15.33
101-751-920.002				UTILITIES - ELECTRIC		380.54
536-000-716.000				EMPLOYMENT EXPENSE		695.20
536-000-920.002				UTILITIES - ELECTRIC		3,814.52
				TOTAL		16,534.94

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CHECK DISBURSEMENT REPORT FOR HARTLAND TOWNSHIP
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Check Date	Bank	Check #	Payee	Description	GL #	Amount
07/29/2021	FOA	41383	CONSUMERS ENERGY	UTILITIES - GAS	101-265-920.001	17.06
07/29/2021	FOA	41384	VERIZON WIRELESS	TELEPHONE	101-265-851.000	567.77
		41384		CONTRACTED SERVICES & RENTALS	577-000-801.000	456.23
						<hr/> 1,024.00
			TOTAL - ALL FUNDS	TOTAL OF 2 CHECKS		1,041.06

--- GL TOTALS ---

101-265-851.000	TELEPHONE	567.77
101-265-920.001	UTILITIES - GAS	17.06
577-000-801.000	CONTRACTED SERVICES & RENTALS	456.23
	TOTAL	1,041.06

Check Date	Bank	Check #	Payee	Description	GL #	Amount
08/05/2021	FOA	41385	AT&T	TELEPHONE	101-265-851.000	258.31
08/05/2021	FOA	41386	CHASE BANK	EDUCATION/TRAINING/CONVENTION	101-192-957.000	27.00
		41386		EDUCATION/TRAINING/CONVENTION	101-209-957.000	251.98
		41386		EDUCATION/TRAINING/CONVENTION	101-253-957.000	359.00
		41386		OPERATING SUPPLIES	101-265-740.000	15.89
		41386		TELEPHONE	101-265-851.000	17.95
		41386		OPERATING SUPPLIES	101-441-740.000	61.45
		41386		CONTRACTED SERVICES	101-577-801.000	57.16
		41386		FARMERS MARKET	101-751-956.000	113.82
		41386		SIDEWALKS	401-444-969.005	1,119.96
		41386		INTERNET	536-000-805.000	284.41
		41386		TELEPHONE	536-000-851.000	69.12
		41386		PRINTING & PUBLICATIONS	536-000-900.000	24.99
		41386		REPAIRS & MAINTENANCE SYSTEM	536-000-930.001	229.99
		41386		REPAIRS & MAINTENANCE TRUCKS	536-000-930.002	2,743.47
		41386		INTERNET	577-000-805.000	178.35
		41386		CABLE TV FEES	577-000-806.000	103.57
		41386		PEG SERVER & SOFTWARE RENTAL	577-000-946.000	15.85
						<hr/> 5,673.96
08/05/2021	FOA	41387	I.T. RIGHT	REPAIRS & MAINTENANCE SYSTEM	536-000-930.001	6.50
08/05/2021	FOA	41388	LOWES BUSINESS ACCT/SYNCB	REPAIRS & MAINTENANCE	101-265-930.000	350.86
		41388		OPERATING SUPPLIES	536-000-740.000	218.39
						<hr/> 569.25
08/05/2021	FOA	41389	PM TECHNOLOGIES	REPAIRS & MAINTENANCE BLD&GRDS	536-000-930.003	1,685.85
08/05/2021	FOA	41390	STANLEY ACCESS TECH LLC	REPAIRS & MAINTENANCE	101-265-930.000	1,981.12
08/05/2021	FOA	41391	STAPLES	OPERATING SUPPLIES	101-265-740.000	115.45
		41391		SUPPLIES & POSTAGE	101-299-727.000	19.96
						<hr/> 135.41
TOTAL - ALL FUNDS				TOTAL OF 7 CHECKS		10,310.40

--- GL TOTALS ---

101-192-957.000	EDUCATION/TRAINING/CONVENTION	27.00
101-209-957.000	EDUCATION/TRAINING/CONVENTION	251.98
101-253-957.000	EDUCATION/TRAINING/CONVENTION	359.00
101-265-740.000	OPERATING SUPPLIES	131.34
101-265-851.000	TELEPHONE	276.26
101-265-930.000	REPAIRS & MAINTENANCE	2,331.98
101-299-727.000	SUPPLIES & POSTAGE	19.96
101-441-740.000	OPERATING SUPPLIES	61.45

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Check Date	Bank	Check #	Payee	Description	GL #	Amount
101-577-801.000				CONTRACTED SERVICES		57.16
101-751-956.000				FARMERS MARKET		113.82
401-444-969.005				SIDEWALKS		1,119.96
536-000-740.000				OPERATING SUPPLIES		218.39
536-000-805.000				INTERNET		284.41
536-000-851.000				TELEPHONE		69.12
536-000-900.000				PRINTING & PUBLICATIONS		24.99
536-000-930.001				REPAIRS & MAINTENANCE SYSTEM		236.49
536-000-930.002				REPAIRS & MAINTENANCE TRUCKS		2,743.47
536-000-930.003				REPAIRS & MAINTENANCE BLD&GRDS		1,685.85
577-000-805.000				INTERNET		178.35
577-000-806.000				CABLE TV FEES		103.57
577-000-946.000				PEG SERVER & SOFTWARE RENTAL		15.85
				TOTAL		10,310.40

Check Register Report For Hartland Township
For Check Dates 07/29/2021 to 07/29/2021

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
07/29/2021	FOA	17030	BURROUGHS, JEFFREY M	70.00	61.66	0.00	Open
07/29/2021	FOA	17031	LAROSE, MICHELLE M	142.50	125.53	0.00	Open
07/29/2021	FOA	17032	MCMULLEN, SUMMER L	770.00	654.43	0.00	Open
07/29/2021	FOA	17033	PETRUCCI, JOSEPH M	500.00	416.56	0.00	Open
07/29/2021	FOA	17034	VOIGHT, KEITH R	263.00	231.70	0.00	Open
07/29/2021	FOA	17035	ICMA VANTAGEPOINT TRANSFER AGENT	1,757.87	1,757.87	0.00	Open
07/29/2021	FOA	17036	ICMA VANTAGEPOINT TRANSFER AGENT	4,092.81	4,092.81	0.00	Open
07/29/2021	FOA	17037	ICMA VANTAGEPOINT TRANSFER AGENT	1,370.59	1,370.59	0.00	Open
07/29/2021	FOA	17038	ICMA VANTAGEPOINT TRANSFER AGENT	200.00	200.00	0.00	Open
07/29/2021	FOA	DD7287	BAGDON, KELLY M	2,116.88	0.00	1,498.32	Cleared
07/29/2021	FOA	DD7288	BEAUDOIN, DIANA K	1,288.32	0.00	1,110.19	Cleared
07/29/2021	FOA	DD7289	BERNARDI, MELYNDA A	1,391.52	0.00	1,074.36	Cleared
07/29/2021	FOA	DD7290	BROOKS, TYLER J	2,053.26	0.00	1,468.14	Cleared
07/29/2021	FOA	DD7291	BRUMMER, STEVEN E	480.00	0.00	422.88	Cleared
07/29/2021	FOA	DD7292	CASE, SUSAN E	1,852.20	0.00	1,227.10	Cleared
07/29/2021	FOA	DD7293	CIOFU, LARRY N	2,583.33	0.00	1,864.79	Cleared
07/29/2021	FOA	DD7294	COBB, SUSAN M	354.83	0.00	312.61	Cleared
07/29/2021	FOA	DD7295	DRYDEN-HOGAN, SUSAN A	3,388.82	0.00	2,413.73	Cleared
07/29/2021	FOA	DD7296	FOUNTAIN, WILLIAM J	2,583.33	0.00	2,161.30	Cleared
07/29/2021	FOA	DD7297	FOX, LAWRENCE E	633.00	0.00	557.67	Cleared
07/29/2021	FOA	DD7298	GERMANE, MATTHEW J	500.00	0.00	436.75	Cleared
07/29/2021	FOA	DD7299	GREIG, DAVID F	70.00	0.00	64.64	Cleared
07/29/2021	FOA	DD7300	GRISSIM, SUSAN L	270.00	0.00	243.01	Cleared
07/29/2021	FOA	DD7301	HEASLIP, JAMES B	2,979.50	0.00	1,770.48	Cleared
07/29/2021	FOA	DD7302	HORNING, KATHLEEN A	2,833.33	0.00	2,055.96	Cleared
07/29/2021	FOA	DD7303	JOHNSON, LISA	2,333.19	0.00	1,612.70	Cleared
07/29/2021	FOA	DD7304	KOPCZYK, MARY ANN	429.00	0.00	377.96	Cleared
07/29/2021	FOA	DD7305	LANGER, TROY D	3,630.26	0.00	2,562.74	Cleared
07/29/2021	FOA	DD7306	LOUIS, CASEY	477.44	0.00	244.87	Cleared
07/29/2021	FOA	DD7307	LUCE, MICHAEL T	3,250.00	0.00	2,385.29	Cleared
07/29/2021	FOA	DD7308	MITCHELL, KYLE J	3,008.38	0.00	2,304.90	Cleared
07/29/2021	FOA	DD7309	MITCHELL, MICHAEL E	270.00	0.00	249.34	Cleared
07/29/2021	FOA	DD7310	MOCERI, VINCENT	600.00	0.00	545.95	Cleared
07/29/2021	FOA	DD7311	MORGANROTH, CAROL L	2,167.32	0.00	1,665.26	Cleared

Check Register Report For Hartland Township
For Check Dates 07/29/2021 to 07/29/2021

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
07/29/2021	FOA	DD7312	MURPHY, THOMAS A	180.00	0.00	158.58	Cleared
07/29/2021	FOA	DD7313	O'CONNELL, DENISE	500.00	0.00	350.06	Cleared
07/29/2021	FOA	DD7314	RUF, ANDREW J	1,000.50	0.00	832.43	Cleared
07/29/2021	FOA	DD7315	SALMON, ROBERT L	1,147.50	0.00	944.29	Cleared
07/29/2021	FOA	DD7316	SHOLLACK, DONNA M	2,271.93	0.00	1,717.59	Cleared
07/29/2021	FOA	DD7317	VERMILLION, KAREN L	1,811.35	0.00	1,337.24	Cleared
07/29/2021	FOA	DD7318	WEST, ROBERT M	4,258.33	0.00	2,554.83	Cleared
07/29/2021	FOA	DD7319	WYATT, MARTHA K	3,144.17	0.00	2,277.46	Cleared
07/29/2021	FOA	EFT599	FEDERAL TAX DEPOSIT	13,243.37	13,243.37	0.00	Cleared
07/29/2021	FOA	EFT600	MI DEPT OF TREASURY	3,884.74	3,884.74	0.00	Cleared
Totals:				82,152.57	26,039.26	40,803.42	
Total Physical Checks:			9				
Total Check Stubs:			35				

Check Register Report For Hartland Township
For Check Dates 08/01/2021 to 08/12/2021

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
08/12/2021	FOA	17039	ICMA VANTAGEPOINT TRANSFER AGENT	1,685.26	1,685.26	0.00	Open
08/12/2021	FOA	17040	ICMA VANTAGEPOINT TRANSFER AGENT	3,685.70	3,685.70	0.00	Open
08/12/2021	FOA	17041	ICMA VANTAGEPOINT TRANSFER AGENT	1,287.51	1,287.51	0.00	Open
08/12/2021	FOA	DD7320	BAGDON, KELLY M	1,615.01	0.00	1,137.53	Cleared
08/12/2021	FOA	DD7321	BEAUDOIN, DIANA K	1,499.69	0.00	1,275.28	Cleared
08/12/2021	FOA	DD7322	BERNARDI, MELYNDA A	1,724.91	0.00	1,334.73	Cleared
08/12/2021	FOA	DD7323	BROOKS, TYLER J	2,002.94	0.00	1,436.77	Cleared
08/12/2021	FOA	DD7324	BRUMMER, STEVEN E	250.00	0.00	220.24	Cleared
08/12/2021	FOA	DD7325	CASE, SUSAN E	1,657.80	0.00	1,103.12	Cleared
08/12/2021	FOA	DD7326	CIOFU, LARRY N	2,583.33	0.00	1,866.44	Cleared
08/12/2021	FOA	DD7327	COBB, SUSAN M	645.53	0.00	554.99	Cleared
08/12/2021	FOA	DD7328	DRYDEN-HOGAN, SUSAN A	3,388.82	0.00	2,414.68	Cleared
08/12/2021	FOA	DD7329	HEASLIP, JAMES B	2,979.50	0.00	1,772.59	Cleared
08/12/2021	FOA	DD7330	HORNING, KATHLEEN A	2,583.33	0.00	1,867.33	Cleared
08/12/2021	FOA	DD7331	JOHNSON, LISA	1,807.29	0.00	1,217.23	Cleared
08/12/2021	FOA	DD7332	KENDALL, ANTHONY S	58.40	0.00	53.93	Cleared
08/12/2021	FOA	DD7333	KOPCZYK, MARY ANN	433.13	0.00	381.58	Cleared
08/12/2021	FOA	DD7334	LANGER, TROY D	3,380.26	0.00	2,375.17	Cleared
08/12/2021	FOA	DD7335	LUCE, MICHAEL T	3,250.00	0.00	2,387.97	Cleared
08/12/2021	FOA	DD7336	MITCHELL, KYLE J	2,812.10	0.00	2,153.37	Cleared
08/12/2021	FOA	DD7337	MOCERI, VINCENT	610.00	0.00	554.76	Cleared
08/12/2021	FOA	DD7338	MORGANROTH, CAROL L	1,670.76	0.00	1,291.49	Cleared
08/12/2021	FOA	DD7339	RUF, ANDREW J	868.25	0.00	730.40	Cleared
08/12/2021	FOA	DD7340	SALMON, ROBERT L	1,020.00	0.00	847.26	Cleared
08/12/2021	FOA	DD7341	SHOLLACK, DONNA M	1,898.73	0.00	1,440.40	Cleared
08/12/2021	FOA	DD7342	VERMILLION, KAREN L	1,624.89	0.00	1,200.91	Cleared
08/12/2021	FOA	DD7343	WEST, ROBERT M	4,058.33	0.00	2,402.62	Cleared
08/12/2021	FOA	DD7344	WYATT, MARTHA K	2,572.60	0.00	1,852.88	Cleared
08/12/2021	FOA	EFT601	FEDERAL TAX DEPOSIT	10,883.03	10,883.03	0.00	Cleared
08/10/2021	FOA	17042	AMERICAN FAMILY LIFE ASSURANCE CO	133.09	133.09	0.00	Open

Totals:	Number of Checks: 030	64,670.19	17,674.59	33,873.67
Total Physical Checks:	4			
Total Check Stubs:	26			

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Susan Case, Finance Clerk

Subject: Approve Payment of Bills

Date: August 10, 2021

Recommended Action

Move to approve the bills as presented for payment.

Discussion

Bills presented total \$421,158.89. The bills are available in the Finance office for review.

Notable invoices include:

\$18,675.43 – Chloride Solutions, LLC – (July 2021 Dust Control)

\$28,682.71 – Livingston County Road Commission – (Parshallville Rd)

\$189,393.39 – Livingston County Drain Commission – (July 2021 Sewer O&M & Livingston County Watershed Group)

\$38,677.00 – Michigan Municipal Risk Management Association – (7/1/21 – 7/1/22 General Fund & Retention Fund Contributions)

\$101,682.82 – TLS Construction LLC – (M-59 Sidewalk Project)

Financial Impact

Is a Budget Amendment Required? ☐ Yes ☒ No

All expenses are covered under the adopted FY22 budget.

Attachments

Bills for 08.17.2021

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Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

AMERICAN	AMERICAN PLANNING ASSOCIATION	08/02/2021	083993-2174	FOA	10/1/21 - 9/30/22 ANNUAL MEMBERSHIP	
45422	PO BOX 4291	08/17/2021		N		383.00
08/02/2021	CAROL STREAM IL, 60197-4291	/ /	0.0000	N		0.00
		08/17/2021		N		383.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-400-804.000	MEMBERSHIP & DUES	383.00

VENDOR TOTAL: 383.00

APPLIED	APPLIED IMAGING	07/19/2021	1776368	FOA	4/21/21 - 7/20/21 - RICOH MPC5503	
45365	7718 SOLUTION CENTER	08/17/2021		N		524.40
07/19/2021	CHICAGO IL, 60677-7007	/ /	0.0000	N		0.00
		08/17/2021		N		524.40

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-299-930.000	REPAIRS & MAINTENANCE	524.40

APPLIED	APPLIED IMAGING	07/19/2021	1776369	FOA	6/23/21 - 7/22/21 - RICOH MP6055SP	
45364	7718 SOLUTION CENTER	08/17/2021		N		22.12
07/19/2021	CHICAGO IL, 60677-7007	/ /	0.0000	N		0.00
		08/17/2021		N		22.12

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-299-930.000	REPAIRS & MAINTENANCE	22.12

VENDOR TOTAL: 546.52

APT US&C	APT US & C	08/01/2021	23936	FOA	YEARLY MEMBERSHIP RENEWAL THRU 9/30/	
45441	PO BOX 591	08/17/2021		N		199.00
08/01/2021	TAWAS CITY MI, 48764	/ /	0.0000	N		0.00
		08/17/2021		N		199.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-253-804.000	MEMBERSHIP & DUES	199.00

VENDOR TOTAL: 199.00

1400	BS&A SOFTWARE	08/01/2021	136179	FOA	8/1/21 - 8/1/2022 ANNUAL SERVICE/SUP	
45382	14965 ABBEY LANE	08/17/2021		N		6,723.00
08/01/2021	BATH MI, 48808	/ /	0.0000	N		0.00
		08/17/2021		N		6,723.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000-930.000	SOFTWARE MAINTENANCE	104.50

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Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

536-000-930.000	SOFTWARE MAINTENANCE			821.80		
590-000-930.000	SOFTWARE MAINTENANCE			1,070.45		
101-253-930.000	REPAIRS & MAINTENANCE			240.25		
101-209-930.000	REPAIRS & MAINTENANCE			1,692.00		
101-192-930.000	REPAIRS & MAINTENANCE			2,794.00		
				<u>6,723.00</u>		

VENDOR TOTAL: 6,723.00

CHLORIDESO	CHLORIDE SOLUTIONS, LLC	08/01/2021	872	FOA	JULY 2021 - DUST CONTROL	
45419	672 NORTH M-52	08/17/2021		N		7,803.85
07/10/2021	WEBBERVILLE MI, 48892	/ /	0.0000	N		0.00
		08/17/2021		Y		7,803.85

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-463-969.002	ROAD CHLORIDE	7,803.85

CHLORIDESO	CHLORIDE SOLUTIONS, LLC	08/01/2021	877	FOA	JULY 2021 DUST CONTROL	
45420	672 NORTH M-52	08/17/2021		N		5,826.02
07/17/2021	WEBBERVILLE MI, 48892	/ /	0.0000	N		0.00
		08/17/2021		Y		5,826.02

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-463-969.002	ROAD CHLORIDE	5,826.02

CHLORIDESO	CHLORIDE SOLUTIONS, LLC	08/01/2021	879	FOA	JULY 2021 DUST CONTROL	
45421	672 NORTH M-52	08/17/2021		N		5,045.56
07/24/2021	WEBBERVILLE MI, 48892	/ /	0.0000	N		0.00
		08/17/2021		Y		5,045.56

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-463-969.002	ROAD CHLORIDE	5,045.56

VENDOR TOTAL: 18,675.43

CINTAS	CINTAS CORPORATION	07/26/2021	4091018989	FOA	MATS	
45401	P.O. BOX 630910	08/17/2021		N		43.56
07/26/2021	CINCINNATI OH, 45263	/ /	0.0000	N		0.00
		08/17/2021		N		43.56

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	43.56

CINTAS	CINTAS CORPORATION	08/09/2021	4092340987	FOA	MATS	
45458	P.O. BOX 630910	08/17/2021		N		54.11
08/09/2021	CINCINNATI OH, 45263	/ /	0.0000	N		0.00

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Ref #	Address	Post Date	Hold		Discount
Invoice Date	City/State/Zip	CK Run Date	Sep CK		Net Amount
		Disc. Date	1099		
		Due Date			

Open		08/17/2021	N		54.11
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GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	54.11

VENDOR TOTAL: 97.67

CITYOFFENT	CITY OF FENTON	07/16/2021	3840	FOA	BACTERIOLOGICAL SAMPLES	
45363	301 S LEROY ST	08/17/2021		N		16.00
07/16/2021	FENTON MI, 48430	/ /	0.0000	N		0.00
		08/17/2021		Y		16.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	16.00

VENDOR TOTAL: 16.00

CORRIGAN	CORRIGAN OIL CO.	08/04/2021	7325841	FOA	DIESEL FUEL FOR GENERATOR AT WTP	
45451	775 N 2ND ST	08/17/2021		N		665.49
08/04/2021	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		08/17/2021		N		665.49

Open

GL NUMBER	DESCRIPTION	AMOUNT
539-000-930.000	REPAIRS & MAINTENANCE	665.49

VENDOR TOTAL: 665.49

DOUGIES	DOUGIE'S DISPOSAL & RECYCLING	08/01/2021	90035	FOA	AUGUST 2021 TRASH PICKUP AT PARKS	
45413	PO BOX 241	08/17/2021		N		300.00
08/01/2021	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		08/17/2021		Y		300.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-801.000	CONTRACTED SERVICES	300.00

DOUGIES	DOUGIE'S DISPOSAL & RECYCLING	08/03/2021	90043	FOA	TRASH PICKED UP AT TIPSICO LAKE RD &	
45445	PO BOX 241	08/17/2021		N		40.00
08/03/2021	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		08/17/2021		Y		40.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	40.00

VENDOR TOTAL: 340.00

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Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

0070	DTE ENERGY	08/01/2021	922090901-07/202	FOA	JULY 2021 - SETTLERS PARK PAVILION	
45457	P.O BOX 740786	08/17/2021		N		48.50
	CINCINNATI					
07/02/2021	OH, 45274-0786	/ /	0.0000	N		0.00
		08/17/2021		N		48.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-920.002	UTILITIES - ELECTRIC	48.50

VENDOR TOTAL: 48.50

0071	DTE ENERGY-STREET LIGHTS	08/05/2021	200123056936	FOA	JULY 2021 - MILLPOINTE, FIDDLERS GRO	
45456		08/17/2021		N		1,338.77
	P.O. BOX 630795					
07/31/2021	CINCINNATI OH, 45263-0795	/ /	0.0000	N		0.00
		08/17/2021		N		1,338.77

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-448-921.000	STREET LIGHTS	1,048.18
101-000-282.001	MILLPOINTE STREETLIGHTS DEPOSIT	244.43
101-000-282.002	FIDDLAR GROVE STREETLIGHT DEPOSIT	22.29
101-000-282.003	WALNUT RIDGE STREETLIGHTS DEPOSIT	23.87
		1,338.77

VENDOR TOTAL: 1,338.77

FIRSTIMPRE	FIRST IMPRESSION PRINT & MARKETING	07/22/2021	78016	FOA	BLK RING AROUND FACE OF CLOCK	
45397	907 FOWLER ST.	08/17/2021		N		225.00
07/22/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00
		08/17/2021		N		225.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-930.000	REPAIRS & MAINTENANCE	225.00

VENDOR TOTAL: 225.00

FISH	FISH WINDOW CLEANING	07/20/2021	2475-36659	FOA	WINDOW CLEANING AT TWP HALL	
45381	PO BOX 251302	08/17/2021		N		265.00
07/20/2021	WEST BLOOMFIELD MI, 48325	/ /	0.0000	N		0.00
		08/17/2021		N		265.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-930.000	REPAIRS & MAINTENANCE	265.00

VENDOR TOTAL: 265.00

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		Due Date		1099		

5888	FOSTER, SWIFT, COLLINS & SMITH	06/30/2021	812581	FOA	JUNE 2021	
45359	313 S. WASHINGTON SQUARE	08/17/2021		N		7,189.00
07/14/2021	LANSING MI, 48933-2193	/ /	0.0000	N		0.00
		08/17/2021		Y		7,189.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-400-826.000	LEGAL FEES	22.50
101-400-826.000	LEGAL FEES	675.00
702-000-290.067	NEWBERRY/MAYBERRY HOMES	1,530.00
590-595-826.000	LEGAL FEES	3,892.50
401-444-826.000	LEGAL FEES	34.00
101-209-826.000	LEGAL FEES	1,035.00
		7,189.00

VENDOR TOTAL: 7,189.00

MARKETEER	GEORGE MOSES CO	08/01/2021	08012021	FOA	AUGUST 2021	
45425	P.O. BOX 686	08/17/2021		N		175.00
08/01/2021	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		08/17/2021		N		175.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-956.000	FARMERS MARKET	175.00

VENDOR TOTAL: 175.00

GREENOAK	GREEN OAK TWP TREASURER	07/23/2021	TD1804	FOA	2021 SUMMER TAX DEFERMENT ADVERTISEM	
45402	10001 SILVER LAKE RD	08/17/2021		N		20.00
07/23/2021	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		08/17/2021		N		20.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-253-811.100	TAX COLLECTION	20.00

VENDOR TOTAL: 20.00

HAYAA-F	HARTLAND AREA YOUTH ATHLETIC ASSOC	08/01/2021	081521	FOA	AUGUST 2021 - PMT PER AGREEMENT	
44788	HAYAA - FOOTBALL	08/17/2021		N		325.84
	P.O. BOX 359					
08/01/2021	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		08/17/2021		N		325.84

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-801.000	CONTRACTED SERVICES	325.84

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Ref #	Address		CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip		Disc. Date	Disc. %	Sep CK		Net Amount
			Due Date		1099		

VENDOR TOTAL: 325.84

HAYAA-B	HARTLAND AREA YOUTH ATHLETIC ASSOC.	08/01/2021	081521	FOA	PAYMENT DUE 8/15/21 PER AGREEMENT	
44205	HAYAA - BASEBALL	08/17/2021		N		1,285.72
	P.O. BOX 110					
08/01/2021	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		08/17/2021		N		1,285.72

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-801.000	CONTRACTED SERVICES	1,285.72

VENDOR TOTAL: 1,285.72

HCSA	HARTLAND COMMUNITY SOCCER ASSN	08/01/2021	081521	FOA	AUGUST 2021 - PMT PER AGREEMENT	
44774	HARTLAND COMMUNITY EDUCATION	08/17/2021		N		722.78
	9525 HIGHLAND RD					
08/01/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00
		08/17/2021		N		722.78

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-801.000	CONTRACTED SERVICES	722.78

VENDOR TOTAL: 722.78

HARTLANDSE	HARTLAND SENIOR ACTIVITY CENTER	07/12/2021	VIS2122	FOA	VISIBILITY SPONSOR FULL PG FALL SHOW	
45358	9525 E HIGHLAND RD	08/17/2021		N		450.00
07/12/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00
		08/17/2021		N		450.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-956.000	FARMERS MARKET	450.00

VENDOR TOTAL: 450.00

0001	HARTLAND TOWNSHIP GENERAL FUND	08/04/2021	080421	FOA	JULY 2021 DOG LICENSE PMTS	
45450		08/17/2021		N		24.00
08/04/2021	,	/ /	0.0000	N		0.00
		08/17/2021		N		24.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
701-000-290.250	DOG LICENSES ESCROW	24.00

0001	HARTLAND TOWNSHIP GENERAL FUND	08/09/2021	080921	FOA	JULY 2021 MOBILE HOME TAX DISBURSEME	
45459		08/17/2021		N		275.00
08/09/2021	,	/ /	0.0000	N		0.00
		08/17/2021		N		275.00

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Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

Open

GL NUMBER	DESCRIPTION	AMOUNT
701-000-290.300	MOBILE HOME FEES ESCROW	275.00
VENDOR TOTAL:		299.00

HYL	HARTLAND YOUTH LACROSSE	08/01/2021	081521	FOA	AUGUST 2021 - PMT PER AGREEMENT	
44781	P.O. BOX 56	08/17/2021		N		325.84
08/01/2021	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		08/17/2021		N		325.84

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-801.000	CONTRACTED SERVICES	325.84
VENDOR TOTAL:		325.84

1548	HORIZON LANDSCAPE INC.	07/02/2021	15705	FOA	JULY 2021 - MOWING M-59 MEDIANS	
45361	11765 HIBNER RD	08/17/2021		N		3,400.33
07/02/2021	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		08/17/2021		Y		3,400.33

Open

GL NUMBER	DESCRIPTION	AMOUNT				
101-463-802.000	LAWN/SNOW MAINTENANCE	3,400.33				
1548	HORIZON LANDSCAPE INC.	07/02/2021	15706	FOA	JULY 2021 - MOWING FIRE STATION #61	
45362	11765 HIBNER RD	08/17/2021		N		1,113.50
07/02/2021	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		08/17/2021		Y		1,113.50

Open

GL NUMBER	DESCRIPTION	AMOUNT				
206-000-802.000	LAWN/SNOW MAINTENANCE	1,113.50				
1548	HORIZON LANDSCAPE INC.	08/04/2021	15770	FOA	AUGUST 2021 - MOWING FIRE STATION #6	
45446	11765 HIBNER RD	08/17/2021		N		1,113.50
07/29/2021	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		08/17/2021		Y		1,113.50

Open

GL NUMBER	DESCRIPTION	AMOUNT				
206-000-802.000	LAWN/SNOW MAINTENANCE	1,113.50				
1548	HORIZON LANDSCAPE INC.	08/04/2021	15771	FOA	AUGUST 2021 - MOWING M-59 MEDIANS	
45447	11765 HIBNER RD	08/17/2021		N		3,400.33
07/29/2021	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		08/17/2021		Y		3,400.33

Open

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		Due Date		1099		

GL NUMBER	DESCRIPTION	AMOUNT
101-463-802.000	LAWN/SNOW MAINTENANCE	3,400.33

VENDOR TOTAL: 9,027.66

IIMC	INT'L INSTITUTE OF MUNICIPAL CLERKS	07/06/2021	070621	FOA	ANNUAL MEMBERSHIP FEE THROUGH 9/30/2	
45403	8331 UTICA AVE, #200	08/17/2021		N		175.00
07/06/2021	RANCHO CUCAMONGA CA, 91730	/ /	0.0000	N		0.00
		08/17/2021		N		175.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-215-804.000	MEMBERSHIP & DUES	175.00

VENDOR TOTAL: 175.00

JCIJONES	JCI JONES CHEMICALS, INC	08/01/2021	861326	FOA	800 GALLONS HYPOCHLORITE SOLUTION	
45407	MSC#729	08/17/2021		N		2,040.80
	P.O. BOX 830674					
07/26/2021	BIRMINGHAM AL, 35283-0674	/ /	0.0000	N		0.00
		08/17/2021		N		2,040.80

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.001	WATER TREAT. CHEMICALS	2,040.80

VENDOR TOTAL: 2,040.80

K&J	K & J ELECTRIC, INC	07/19/2021	9605	FOA	REPLACE DEFECTIVE 3-POSITION MOMENTA	
45385	7219 EAST HIGHLAND RD	08/17/2021		N		153.00
07/19/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00
		08/17/2021		N		153.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-930.003	REPAIRS & MAINTENANCE BLD&GRDS	153.00

VENDOR TOTAL: 153.00

0220	LIVINGSTON COUNTY TREASURER	08/04/2021	080421	FOA	JULY 2021 DOG LICENSE PMTS	
45449	200 E. GRAND RIVER	08/17/2021		N		271.00
08/04/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00
		08/17/2021		N		271.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
701-000-290.250	DOG LICENSES ESCROW	271.00

0220	LIVINGSTON COUNTY TREASURER	08/09/2021	080921	FOA	JULY 2021 MOBILE HOME TAX DISBURSEME	
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Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
45460	200 E. GRAND RIVER	08/17/2021		N		1,375.00
08/09/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00
		08/17/2021		N		1,375.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
701-000-290.300	MOBILE HOME FEES ESCROW	1,375.00

VENDOR TOTAL: 1,646.00

0210	LIVINGSTON CTY ROAD COMMISSION	07/22/2021	7207	FOA	PARSHALLVILL RD	
45392	3535 GRAND OAKS DRIVE	08/17/2021		N		28,682.71
07/22/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00
		08/17/2021		N		28,682.71

Open

GL NUMBER	DESCRIPTION	AMOUNT
204-000-969.100	GRAVEL ROAD IMPROVEMENTS	28,682.71

VENDOR TOTAL: 28,682.71

2909	LIVINGSTON CTY.DRAIN COMMISSIO	08/01/2021	3371	FOA	JULY 2021 SEWER SYSTEM O&M	
45414	2300 E. GRAND RIVER	08/17/2021		N		188,855.57
	STE. 105					
07/30/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00
		08/17/2021		N		188,855.57

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-000-801.008	LCDC CONTRACT SERVICES	188,855.57

2909	LIVINGSTON CTY.DRAIN COMMISSIO	08/09/2021	3379	FOA	LIVINGSTON COUNTY WATERSHED GROUP	
45462	2300 E. GRAND RIVER	08/17/2021		N		537.82
	STE. 105					
07/30/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00
		08/17/2021		N		537.82

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-465-956.000	MISCELLANEOUS	537.82

VENDOR TOTAL: 189,393.39

MMRMA	MI MUNICIPAL RISK MANAGEMENT AUTHOR	08/02/2021	08022021	FOA	7/1/21 - 7/1/22 RETENTION FUND CONTR	
45454	DRAWER #64458	08/17/2021		N		12,000.00
08/02/2021	DETROIT MI, 48264--045	/ /	0.0000	N		0.00
		08/17/2021		N		12,000.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
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		Due Date		1099		

101-299-910.000	INSURANCE			6,240.00		
536-000-910.000	INSURANCE			2,400.00		
590-000-910.000	INSURANCE			3,360.00		
				<u>12,000.00</u>		

MMRMA	MI MUNICIPAL RISK MANAGEMENT AUTHOR	08/05/2021	080221	FOA	7/1/21 - 7/1/22 GENERAL FUND CONTRIB	
45455	DRAWER #64458	08/17/2021		N		26,677.00
08/02/2021	DETROIT MI, 48264--045	/ /	0.0000	N		0.00
		08/17/2021		N		26,677.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-299-910.000	INSURANCE	13,872.04
536-000-910.000	INSURANCE	5,335.40
590-000-910.000	INSURANCE	7,469.56
		<u>26,677.00</u>

VENDOR TOTAL: 38,677.00

MTA	MICHIGAN TOWNSHIPS ASSOCIATION	08/01/2021	05152021	FOA	7/1/21 - 6/30/22 ANNUAL DUES	
45410	P.O. BOX 80078	08/17/2021		N		6,416.90
05/15/2021	LANSING MI, 48908-0078	/ /	0.0000	N		0.00
		08/17/2021		N		6,416.90

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-101-804.000	MEMBERSHIP & DUES	6,416.90

VENDOR TOTAL: 6,416.90

NCH	NCH SOFTWARE INC.	08/01/2021	21554	FOA	CLICK CHARTS DIAGRAM & FLOWCHART SOF	
45408	6120 GREENWOOD PLAZA BLVD. STE 120	08/17/2021		N		30.00
07/22/2021	GREENWOOD VILLAGE CO, 80111	/ /	0.0000	N		0.00
		08/17/2021		N		30.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-215-727.000	SUPPLIES & POSTAGE	30.00

VENDOR TOTAL: 30.00

ORKIN	ORKIN	07/14/2021	214465043	FOA	PEST CONTROL AT TOWNSHIP HALL	
45356	21068 BRIDGE ST.	08/17/2021		N		66.85
07/14/2021	SOUTHFIELD MI, 48034	/ /	0.0000	N		0.00
		08/17/2021		N		66.85

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	66.85

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Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

ORKIN	ORKIN	07/14/2021	214465813	FOA	PEST CONTROL AT HERO TEEN CENTER	
45357	21068 BRIDGE ST.	08/17/2021		N		65.88
07/14/2021	SOUTHFIELD MI, 48034	/ /	0.0000	N		0.00
		08/17/2021		N		65.88

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	65.88

ORKIN	ORKIN	07/20/2021	215182572	FOA	PEST CONTROL AT WTP	
45377	21068 BRIDGE ST.	08/17/2021		N		68.00
07/20/2021	SOUTHFIELD MI, 48034	/ /	0.0000	N		0.00
		08/17/2021		N		68.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-801.000	CONTRACTED SERVICES	68.00

ORKIN	ORKIN	07/22/2021	219397892	FOA	PEST CONTROL AT TOWNSHIP HALL	
45394	21068 BRIDGE ST.	08/17/2021		N		66.85
07/22/2021	SOUTHFIELD MI, 48034	/ /	0.0000	N		0.00
		08/17/2021		N		66.85

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	66.85

VENDOR TOTAL: 267.58

PB PLUMBIN	PB PLUMBING	07/23/2021	10563580	FOA	REPLACE LEAKING RECIRC PUMP ON WTR H	
45405	2440 W HIGHLAND RD, STE 104	08/17/2021		N		684.00
07/23/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00
		08/17/2021		Y		684.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000-930.003	REPAIRS & MAINTENANCE BLD&GRDS	684.00

VENDOR TOTAL: 684.00

1180	PETER'S TRUE VALUE HARDWARE	08/01/2021	58764	FOA	CARD MERCH	
45409	3455 W. HIGHLAND ROAD	08/17/2021		N		6.99
07/28/2021	MILFORD MI, 48380	/ /	0.0000	N		0.00
		08/17/2021		N		6.99

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	6.99

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Invoice Date	City/State/Zip		Disc. Date	Disc. %	Sep CK		Net Amount
			Due Date		1099		

1180	PETER'S TRUE VALUE HARDWARE		08/02/2021	58831	FOA	LUMBER FOR PARK SIGNS	
45424	3455 W. HIGHLAND ROAD		08/17/2021		N		106.93
08/02/2021	MILFORD MI, 48380		/ /	0.0000	N		0.00
			08/17/2021		N		106.93

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-930.000	REPAIRS & MAINTENANCE	106.93

1180	PETER'S TRUE VALUE HARDWARE		07/21/2021	K58668	FOA	MANLIFT	
45384	3455 W. HIGHLAND ROAD		08/17/2021		N		200.00
07/21/2021	MILFORD MI, 48380		/ /	0.0000	N		0.00
			08/17/2021		N		200.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-930.000	REPAIRS & MAINTENANCE	200.00

1180	PETER'S TRUE VALUE HARDWARE		07/22/2021	K58683	FOA	GLO PINK TAPE	
45395	3455 W. HIGHLAND ROAD		08/17/2021		N		14.95
07/22/2021	MILFORD MI, 48380		/ /	0.0000	N		0.00
			08/17/2021		N		14.95

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-930.000	REPAIRS & MAINTENANCE	14.95

1180	PETER'S TRUE VALUE HARDWARE		07/22/2021	K58691	FOA	BENT PIN	
45396	3455 W. HIGHLAND ROAD		08/17/2021		N		2.69
07/22/2021	MILFORD MI, 48380		/ /	0.0000	N		0.00
			08/17/2021		N		2.69

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	2.69

1180	PETER'S TRUE VALUE HARDWARE		08/01/2021	K58767	FOA	DRILL SCREWS	
45411	3455 W. HIGHLAND ROAD		08/17/2021		N		6.99
07/28/2021	MILFORD MI, 48380		/ /	0.0000	N		0.00
			08/17/2021		N		6.99

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-930.000	REPAIRS & MAINTENANCE	6.99

1180	PETER'S TRUE VALUE HARDWARE		08/01/2021	K58785	FOA	MOWER TRAILER, FIRE HYDRANT	
45415	3455 W. HIGHLAND ROAD		08/17/2021		N		27.36
07/29/2021	MILFORD MI, 48380		/ /	0.0000	N		0.00
			08/17/2021		N		27.36

Open

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Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	27.36
1180	PETER'S TRUE VALUE HARDWARE	08/09/2021 K58934
45461	3455 W. HIGHLAND ROAD	08/17/2021
08/09/2021	MILFORD MI, 48380	/ / 0.0000
		08/17/2021

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	29.37

VENDOR TOTAL: 395.28

REDWING	RED WING BUSINESS ADVANTAGE ACCT	06/28/2021	109094	FOA	8" BROWN WORK BOOT	
45398	P.O. BOX 844329	08/17/2021		N		301.49
06/28/2021	DALLAS TX, 75284-4329	/ /	0.0000	N		0.00
		08/17/2021		N		301.49

Open

GL NUMBER	DESCRIPTION	AMOUNT				
536-000-719.100	UNIFORMS/CLOTHING ALLOWANCE	301.49				
REDWING	RED WING BUSINESS ADVANTAGE ACCT	06/28/2021	109095	FOA	9" DARK WINGSHOOTER BOOT	
45399	P.O. BOX 844329	08/17/2021		N		175.49
06/28/2021	DALLAS TX, 75284-4329	/ /	0.0000	N		0.00
		08/17/2021		N		175.49

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-719.100	UNIFORMS/CLOTHING ALLOWANCE	175.49

VENDOR TOTAL: 476.98

RESCOM	RESCOM DOOR LLC	08/04/2021	2224	FOA	REPROGRAM KEYPAD & FASTEN LOWER TRAC	
45448	4088 E M-36	08/17/2021		N		195.00
07/19/2021	PINCKNEY MI, 48169	/ /	0.0000	N		0.00
		08/17/2021		Y		195.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-930.000	REPAIRS & MAINTENANCE	195.00

VENDOR TOTAL: 195.00

STAPLES	STAPLES	08/01/2021	8063085773	FOA	MISC SUPPLIES	
45440	PO BOX 660409	08/17/2021		N		26.07
07/31/2021	DALLAS TX, 75266-0409	/ /	0.0000	N		0.00
		08/17/2021		N		26.07

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		Due Date		1099		

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-740.000	OPERATING SUPPLIES	7.43
101-299-727.000	SUPPLIES & POSTAGE	18.64
		<u>26.07</u>

VENDOR TOTAL: 26.07

SPIRITOFLLI	THE SPIRIT OF LIVINGSTON	07/20/2021	52720	FOA	BUSINESS CARDS FOR FINANCE DIRECTOR/	
45393	3280 W GRAND RIVER	08/17/2021		N		78.00
07/20/2021	HOWELL MI, 48855	/ /	0.0000	N		0.00
		08/17/2021		N		78.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-192-727.000	SUPPLIES & POSTAGE	48.00
101-265-740.000	OPERATING SUPPLIES	30.00
		<u>78.00</u>

VENDOR TOTAL: 78.00

TLS	TLS CONSTRUCTION LLC	07/14/2021	EST 2	FOA	M-59 SIDEWALK PROJECT	
45355	2000 N BURKHART RD	08/17/2021		N		101,682.82
07/14/2021	HOWELL MI, 48855	/ /	0.0000	N		0.00
		08/17/2021		N		101,682.82

Open

GL NUMBER	DESCRIPTION	AMOUNT
401-444-969.005	SIDEWALKS	101,682.82

VENDOR TOTAL: 101,682.82

TOSHIBA	TOSHIBA BUSINESS SOLUTIONS	08/01/2021	5577110	FOA	6/25/21 - 7/24/21 ESTUDIO2830C BLACK	
45416	PO BOX 927	08/17/2021		N		2.08
07/27/2021	BUFFALO NY, 14240	/ /	0.0000	N		0.00
		08/17/2021		N		2.08

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-299-930.000	REPAIRS & MAINTENANCE	2.08

TOSHIBA	TOSHIBA BUSINESS SOLUTIONS	08/01/2021	5577111	FOA	6/25/21 - 7/24/21 ESTUDIO2830C COLOR	
45417	PO BOX 927	08/17/2021		N		2.23
07/27/2021	BUFFALO NY, 14240	/ /	0.0000	N		0.00
		08/17/2021		N		2.23

Open

GL NUMBER	DESCRIPTION	AMOUNT
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Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

101-299-930.000	REPAIRS & MAINTENANCE				2.23	
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VENDOR TOTAL:	4.31
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USA	USA BLUE BOOK	08/01/2021	674224	FOA	1/2" VALVES	
45406	P.O. BOX 9004	08/17/2021		N		182.83
07/26/2021	GURNEE IL, 60031-9004	/ /	0.0000	N		0.00
		08/17/2021		N		182.83

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	182.83

VENDOR TOTAL:	182.83
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WATERTECH	WATER TECH	07/11/2021	50844	FOA	JUNE 2021 COLIFORM ANALYSIS	
45352	718 S MICHIGAN	08/17/2021		N		22.00
07/11/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00
		08/17/2021		N		22.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	22.00

VENDOR TOTAL:	22.00
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WOOD	WOOD ENVIRONMENT & INFRASTRUCTURE	08/01/2021	H06102991	FOA	WWTP MONITORING THROUGH 7/9/21	
45418	P.O. BOX 74008618	08/17/2021		N		585.00
07/29/2021	CHICAGO IL, 60674-8618	/ /	0.0000	N		0.00
		08/17/2021		N		585.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-441-801.007	TREATMENT PLANT SAMPLING	585.00

VENDOR TOTAL:	585.00
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TOTAL - ALL VENDORS:	421,158.89
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FUND TOTALS:

Fund 101 - GENERAL FUND	67,372.07
Fund 204 - MUNICIPAL STREET FUND	28,682.71
Fund 206 - FIRE OPERATING	3,015.50
Fund 401 - CAPITAL PROJECTS FUND	101,716.82
Fund 536 - WATER SYSTEM FUND	11,583.22
Fund 539 - WATER REPLACEMENT FUND	665.49
Fund 590 - SEWER OPERATIONS & MAINTENANCE FUND	204,648.08
Fund 701 - TRUST AND AGENCY	1,945.00
Fund 702 - TRUST & AGENCY - NEW	1,530.00

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Larry Ciofu, Clerk

Subject: 07-20-21 Hartland Township Board Regular Meeting Minutes

Date: July 28, 2021

Recommended Action

Move to approve the Hartland Township Board Regular Meeting minutes for July 20, 2021.

Discussion

Draft minutes are attached for review.

Financial Impact

None

Attachments

7-20-2021 HTB Minutes - DRAFT

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

July 20, 2021 – 7:00 PM

DRAFT

1. Call to Order

The meeting was called to order by Supervisor Fountain.

2. Pledge of Allegiance

3. Roll Call

PRESENT: Supervisor Fountain, Treasurer Horning, Trustee Germane, Trustee McMullen,
Trustee O'Connell, Trustee Petrucci

ABSENT: Clerk Ciofu

Also present were Township Manager Robert West, Planning Director Troy Langer, and Public Works Director Mike Luce.

4. Approval of the Agenda

Move to approve the agenda for the July 20, 2021, Hartland Township Board meeting as presented.

Motion made by Trustee Petrucci, Seconded by Treasurer Horning.

Voting Yea: Supervisor Fountain, Treasurer Horning, Trustee Germane, Trustee McMullen,
Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: Clerk Ciofu

5. Call to the Public

No one came forward.

6. Approval of the Consent Agenda

Move to approve the consent agenda for the July 20, 2021, Hartland Township Board Meeting as presented.

Motion made by Trustee Germane, Seconded by Treasurer Horning.

Voting Yea: Supervisor Fountain, Treasurer Horning, Trustee Germane, Trustee McMullen,
Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: Clerk Ciofu

- a. Approve Post Audit of Disbursements Between Board Meetings
- b. Approve Payment of Bills
- c. 07-06-2021 Hartland Township Board Regular Meeting Minutes

7. Pending & New Business

- a. Site Plan Application #21-011 – Hartland Senior Living Planned Development/PIRHL Final (PD)

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

July 20, 2021 – 7:00 PM

Planning Director Troy Langer stated that this project was a Planned Development (PD) and he provided a brief overview of the three step PD process. The first part is the conceptual plan where the applicant would present a conceptual idea of the project to the Planning Commission (PC) for review. There is no formal decision at this review, just comments from the PC. It then goes to the Board for their review and comments. The next phase is the preliminary review which is a more detailed site plan review. In this case, it is a very detailed site plan review, and this project has gone through this phase at both the PC and the Township Board. The last phase is the final part of the PD where you put together your master deed documents, your PD agreement, or any cross-access agreements. He stated that this project has no master deed, as it is not a condominium type project. This is a 146-unit senior independent living congregate care facility, and it is at the final PD stage. There are no more site plan issues to look at with this project. We are looking at their PD agreement, which essentially allows, or outlines, what the uses are or that would be permitted, such as the apartments for seniors. It also allows for a potential medical office, barbershop or a beautician that would be associated with the care facility. There are a few other uses, such as a bank, but they must be associated with this facility. The last thing we are working on is a cross-access agreement to connect to the property to the west of this site. The property owner to the west has not yet agreed to this, but we have the documents ready to go so when they do something on their project, we will have a discussion with them about connecting to this property. The PC has recommended approval of the final PD. There is a Resolution included in the packet that would be a part of this approval. Director Langer stated that the applicant is from Ohio was unable to attend tonight's meeting due to a last-minute change in their schedule. Trustee Petrucci inquired as to what happens if the neighboring property does not agree to the cross-access agreement. Director Langer stated that this development could sign the cross-access agreement and build the access road to their property line. The township would wait until the neighboring property brings forth a plan and require them to connect to this development at the property line. Trustee Petrucci wanted the public to know that this is a senior living complex, not a nursing home or an assisted living home. They will have medical, housekeeping, and other amenities a senior may need on an ala carte basis. Trustee Germane inquired as to the list of conditions outlined in the Planning Staff memo and Director Langer stated that the developer has agreed to all of them. The most important condition would be access to municipal water which is somewhat out of the control of the applicant. Director Langer stated that by approving the Resolution the Board is effectively approving the PD agreement.

Move to approve Site Plan Application #21-011, as outlined in the Staff Memorandum and Resolution, both dated July 14, 2021.

Motion made by Treasurer Horning, Seconded by Trustee Petrucci. Roll call vote taken.

Voting Yea: Supervisor Fountain, Treasurer Horning, Trustee Germane, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: Clerk Ciofu

Motion passes: 6-0-1:

b. Water Reliability Study

Manager West stated that a water reliability study is required by the State of Michigan every five years. Hartland's last water reliability study was conducted in 2015. He stated we asked for a slight extension from the State of Michigan knowing our water expansion project was on the horizon. Due to the fact that the water system expansion has been delayed because of developer anomalies, the State has asked us to move forward with the study. We do not want to get too far out on the five-year requirement, and we do not want to ask for another extension. Manager West stated that based on the last study, we explored other firms to provide a water

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

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reliability study. Spaulding DeDecker has historically been the second place firm in the process where we interviewed multiple engineering firms and we have done this three times. He stated that they have submitted a proposal and that both he, and Public Works Director Luce, are recommending moving forward with Spaulding DeDecker to perform our water reliability study, which will be good for the next 5 years. Jeremy Schrot from Spaulding DeDecker was present to introduce himself to the Board stating he will be the point contact for the study and gave a brief overview of Spaulding DeDecker and the proposal submitted. He also responded to questions from the Board. Manager West stated that we also work with the Hartland-Deerfield Fire Authority which helps with our ISO rating that provides a benefit to residents with regards to their insurance rates.

Move to approve Spaulding DeDecker to perform a current Water Reliability Study for the Hartland Township water system in an amount not to exceed \$22,000, including the noted budget amendment.

Motion made by Trustee Germane, Seconded by Trustee O'Connell

Voting Yea: Supervisor Fountain, Treasurer Horning, Trustee Germane, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

Voting Nay: None.

Absent: Clerk Ciofu

c. Dunham Rd Crosswalk

Public Works Director Mike Luce provided a brief overview of the Dunham Road Crosswalk project. He stated that we will be removing a portion of the existing pathway that exits Settler's Park at Dunham Rd and will be moving the pathway to the west through the Township's newly acquired property. It would then link into the existing settler's Park pathways further to the south. Director Luce stated that Livingston County will require us to have a lighted crosswalk at an intersection, which will be at Hidden Creek Drive. The pathway will be constructed with the same specifications as the existing park pathways, with a ten-foot-wide pathway accessible to emergency vehicles if necessary. He stated that Public Works will oversee the project. Manager West stated that this crosswalk site will be conforming and a safer crosswalk due to improved site distances at this location. This also will allow us to have an additional parking lot in this area in the future if needed. He also stated that while the roadway meets site distance requirements at this location, the pathway at this location will entail significant tree removal expense. This location has also opened discussions with the Hartland Consolidated Schools to link this conforming crosswalk with their new pathway projects that will start next year. Manager West will be meeting with the schools next week. Trustee Petrucci inquired as to whether we were considering the potential road that would need to be installed for a new parking lot with regards to the location of the path. Manager West stated that our future parking lot driveway entrance would be directly across from Hidden Creek Drive and the proposed new path will be to the west of the potential road so that it does not cross the driveway. Trustee Petrucci also inquired as to the safety light at this crosswalk and Manager West stated it would be a push button system similar to the light we installed at the Ore Creek Middle school crosswalk on Hartland Rd.. With the addition of this new section of pathway, Trustee Germane inquired as to the general condition of the existing paths in the park. Manager West stated that we have done some crack sealing work and he provided a brief overview of the status of pathways seal coating project in conjunction with the HDFA Station 62 seal coating project that is in this year's Capital Improvement Plan. Trustee O'Connell inquired as to the power

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lines located in this area in designing a potential new parking lot. Manager West stated the entrance driveway would turn to the east to avoid any issues with the existing power lines. Trustee Petrucci inquired as to the easements that would be needed for the Dunham Rd. pathway to the school entrance. Manager West stated that installing the crosswalk at this location would put the path to the high school entrance on school property and discussions have started with the schools on this matter.

Move to approve the Dunham Road Crosswalk construction for an amount not to exceed \$137,150 along with the corresponding budget amendment and allow the Public Works Director to act on behalf of the Township for decisions relating to the project.

Motion made by Trustee Germane, Seconded by Trustee Petrucci

Voting Yea: Supervisor Fountain, Treasurer Horning, Trustee Germane, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

Voting Nay: None.

Absent: Clerk Ciofu

8. Board Reports

Treasurer Horning – Stated she can't say enough about the Farmer's Market. It was sold out again and there is a waiting list for people that want to be involved in the event. We have 35 vendors, ice cream give-a-ways, and a food truck with hamburgers and hot dogs. The Market is a very vibrant place this year. She stated that we had Christmas in July last Saturday, with children making over 100 Christmas Ornaments and that they gave away 120 ice creams to all ages. The Senior Center was there providing music all day and there were blow up Christmas displays. It was very fun day, and it is a great event to visit every Saturday from 9:00 am to 5:00 pm at Rural King.

Trustee Germane – no report.

Trustee O'Connell – no report

Trustee McMullen – no report

Trustee Petrucci – The Hartland Teen Center Golf Outing was moved to October 10, due to the cancellation of the July event due to weather conditions. He thanked all of the sponsors and stated they would be recognized at the October event.

Supervisor Fountain – Stated that after our last meeting regarding the Mayberry project, we met with MDOT last week and they agreed to re-evaluate this entire intersection of M-59 and Pleasant Valley/Fenton Rd. Manager West commended MDOT for taking our concerns into consideration and he reported that MDOT will be taking a fresh look at this intersection to provide an updated study. Supervisor Fountain stated that we will be providing MDOT an updated plan for the current Mayberry development. Supervisor Fountain stated that we will be meeting with the Partners in Progress group on August 25th at the Settler's Park Pavilion at 6:30 p.m.

[BRIEF RECESS]

9. Information / Discussion

a. Manager's Report

Manager West led a brief discussion on the Dunham Road pathways project in conjunction with Hartland Consolidated Schools. Discussion was held on the proposed HCS walking path, difficulties with the path installation down Dunham Road west of the high school entrance, potential for a path through the school property, and possible grant opportunities for this type of project. Manager West stated that with the installation of the Dunham Road crosswalk to the park,

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

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this is a great opportunity to tie in the school campus to our park campus and link up M-59 to the Village settlement. He stated that if this project were to be agreed on by the township and the schools, that with planning, grant applications, and required approvals this project will take some time to complete. Manager West led a brief discussion on the water main extension project. Items discussed were the involvement of the three developers, changes in commitments of one of the developers, and pending issues with each of the developers and potential solutions to these issues. Manager West stated this was still a moving target and more information will be forthcoming from discussions with the developers. Trustee Germane inquired as to whether the new Two Minutes Tuesday videos can be played at the formal Board meeting and inquired as to a specific potential Two-Minute video. Manager West gave a brief overview of the Partners in Progress entities video programs and stated he would look into both of these issues. Trustee Germane also inquired as to the Bergin Road paving project and Director Luce stated that an initial meeting was held last week with the Bergin Road residents. He stated that turnout was lower than they had hoped for but the general consensus of those in attendance was for paving the road. The major issue the residents had were in relation to the removal of trees from their properties. Manager West stated that we will be working with each property owner on an individual basis to see if we can get the required easements. As a follow up, Trustee Germane inquired as to the plans for the remaining funds in the Road Millage. Manager West stated that we would not have enough remaining funds to do the paving of either Pleasant Valley or Bergin Road. Trustee Germane also stated that we may want to start discussions on whether or not to renew the road millage in some format. Manager West stated that we have already begun gathering traffic data, that is somewhat limited due to the COVID work from home scenario, but he would anticipate getting seriously into this discussion in 2022. Trustee Germane also inquired as to the Parks Site Plan map and whether we could update this map by working with our Partners and internal staff. Manager West stated that this could be done but it should be done in conjunction with the overall township sidewalk plan in mind. Trustee Germane inquired as to the townships plan regarding obtaining the American Rescue Plan Act (ARPA) funds. Manager West stated that we are putting in our request for these funds with the State by the deadline and that these funds will be kept in a separate account set up by the Treasurer. Manager West gave a brief overview of the potential uses of the ARPA funds regarding lost revenue, and water and sewer infrastructure for the township and the county.

b. Ordinance Enforcement Update

Manager West led a discussion on the code enforcement issue regarding a shed on a lake. Items discussed were the code violation regarding accessory structures, the overall permit process, our current response to the violation, and potential further plans of action to be taken by the township. After discussion, Manager West will have the Township attorney correspond with the homeowner regarding the violation and that if a formal complaint is filed, further action will then be taken on the violation. Treasurer Horning and Trustee Germane were not in agreement with this action and felt immediate action should be taken to the ordinance violation.

10. Adjournment

Move to adjourn the meeting at 9:15 p.m.

Motion made by Trustee Petrucci, Seconded by Trustee McMullen

Voting Yea: Supervisor Fountain, Treasurer Horning, Trustee Germane, Trustee McMullen,
Trustee O'Connell, Trustee Petrucci

Voting Nay: None.

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES
July 20, 2021 – 7:00 PM

Absent: Clerk Ciofu

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Susan Dryden-Hogan, Finance Director

Subject: Code Enforcement Budget Amendment (\$5,382.50)

Date: July 27, 2021

Recommended Action

Move to approve an additional \$5,382.50 for code enforcement wages and fringes as discussed below.

Discussion

Planning is requesting additional funds to continue catching up on zoning compliance. Due to the COVID-19 pandemic, \$8,600 was left unspent in budgeted zoning wages for FY21, which was not transferred to the current year. Currently, there are two code enforcement officers splitting duties, with one set to return to school in the fall. The additional funds will enable this progress to continue through the end of the year.

The requested budget amendment will be covered from the General Fund contingencies account.

Financial Impact

Is a Budget Amendment Required? ☒ Yes ☐ No

Increase: 101-722-704.000	Zoning Code Enforcement Wages	\$5,000
Increase: 101-722-715.000	Employer's FICA Taxes	\$382.50
Decrease 101-890-890.000	Contingencies	\$5,382.50

Attachments

None

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Approve Permit for Fireworks Display – Hartland High School

Date: August 17, 2021

Recommended Action

Move to approve the Permit for Fireworks Display for Hartland High School (9/2/2021).

Discussion

Gen-X Pryotechnics has applied to perform the September 2, 2021 fireworks at the Hartland High School. The applicant has applied for a permit to conduct fireworks from the Hartland High School Soccer Field.

The applicant has provided a map that indicates the location of the proposed fireworks location and clear zone.

The applicant has applied for this request and has historically performed the fireworks display in this manner.

Attachments:

1. Letter from the Fire Authority
2. Application materials



HARTLAND DEERFIELD FIRE AUTHORITY
FIRE MARSHALS OFFICE

Hartland Area Fire Dept.
3205 Hartland Road
Hartland, MI. 48353-1825

Voice: (810) 632-7676

Fax: (810) 632-2176

E-Mail: jwhitbeck@hartlandareafire.com

August 16, 2021

To: Hartland Township Board
2655 Clark Rd.
Hartland, MI 48353

Re: Hartland Schools application for fireworks on 9/2/2021.

Based upon the review of the application named above and if the proposed site for the fireworks display on September 2, 2021 is the same as previous years, we recommend approval contingent upon the following:

- 1) While these displays are subject to inspection at any time, there is no requirement from the fire department nor plan for fire department personnel to be at the launch site.
- 2) Gen-X Pyrotechnics, Inc. is responsible for ensuring that NFPA 1123 is followed.
- 3) If the multi-shot cakes are Class B/1.3G (instead of Class C/1.4G), no one will be allowed within 100 yards (300 feet). Otherwise, based upon the 3" mortars, no one will be allowed within 70 yards (210 feet) of the launch site during the display.
- 4) It is the responsibility of Hartland Schools and Gen-X Pyrotechnics to enforce this secured distance from the start of the show until Gen-X Pyrotechnics indicates a safe time has passed after the show, generally 30 minutes after dousing any duds with water. Anyone straying into this area is cause for Gen-X Pyrotechnics to immediately stop the show.
- 5) Smoking and open flame will not be permitted within 50 feet of the launch site. Exception: Items required for the ignition of the displays by trained and certified professionals.
- 6) Insurance as agreed upon by the Hartland Township Board.
- 7) Final approval and permitting by the Hartland Township Board.

This fireworks, special event display, has been a nice addition to many of these events, however, keeping the safety and welfare of all spectators, workers, and buildings first on the agenda is critical to ensuring this continues. Diligence and vigilance by all parties involved is critical to ensuring these "small, routine" shows do not become complacent. Should you have any other questions, or we can be of further assistance, please call.

Yours In Fire Safety,

Jenn Whitbeck
Fire Inspector

2021 Hartland High School

GEN-X PYROTECHNICS

Gen-X Pyrotechnics offers the highest quality custom pyrotechnics designed specifically to meet the needs of our clients. We are a local company that markets on word of mouth advertising and now on the web. We specialize in one of a kind shows.

In this constantly changing world of pyrotechnics we strive to learn the most up-to-date innovations so we can continue to hone our craft.

We take pride in being trained in all the local and federal safety regulations and guidelines.



Jason Trudeau



248.252.0029



genxpyro@comcast.net
info@genxpyrotechnics.com



www.genxpyrotechnics.com

FOR USE BY LEGISLATIVE BODY OF CITY, VILLAGE OR TOWNSHIP BOARD ONLY
DATE PERMIT(S) EXPIRE:

BFS-417 (Rev 01/21)

Hartland High School

Distance- 200 ft diameter
(NFPA regulation)



400ft



Key



: Placement of display



: Perimeter of 200ft will be around fireworks during display

In accordance with the provisions of Title XI, Organized Crime Control Act of 1970, and the regulations issued thereunder (27 CFR Part 555), you may engage in the activity specified in this license or permit within the limitations of Chapter 40, Title 18, United States Code and the regulations issued thereunder, until the expiration date shown. **THIS LICENSE IS NOT TRANSFERABLE UNDER 27 CFR 555.53.** See "WARNINGS" and "NOTICES" on reverse.

Direct ATF
Correspondence To
ATF - Chief, FELC
244 Needy Road
Martinsburg, WV 25405-9431

License/Permit
Number

4-MI-125-54-4F-01210

Chief, Federal Explosives Licensing Center (FELC)

Expiration
Date

June 1, 2024

Name

GEN X PYROTECHNICS

Premises Address (Changes? Notify the FELC at least 10 days before the move.)

2906 PINE NEEDLE DR
WHITE LAKE, MI 48383-

Type of License or Permit

54-USER OF EXPLOSIVES

Purchasing Certification Statement

The licensee or permittee named above shall use a copy of this license or permit to assist a transferor of explosives to verify the identity and the licensed status of the licensee or permittee as provided by 27 CFR Part 555. The signature on each copy must be an original signature. A faxed, scanned or e-mailed copy of the license or permit with a signature intended to be an original signature is acceptable. The signature must be that of the Federal Explosives Licensee (FEL) or a responsible person of the FEL. I certify that this is a true copy of a license or permit issued to the licensee or permittee named above to engage in the business or operations specified above under "Type of License or Permit."

Mailing Address (Changes? Notify the FELC of any changes.)

GEN X PYROTECHNICS
2906 PINE NEEDLE DR
WHITE LAKE, MI 48383-

Licensee/Permittee Responsible Person Signature

Position/Title

Printed Name

Date

Previous Edition is Obsolete

GEN X PYROTECHNICS:2906 PINE NEEDLE DR-48383-4-MI-125-54-4F-01210-June 1, 2024-54-USER OF EXPLOSIVES

ATF Form 5400.14/5400.15 Part I
Revised September 2011

Federal Explosives License (FEL) Customer Service Information

Federal Explosives Licensing Center (FELC)
244 Needy Road
Martinsburg, WV 25405-9431

Toll-free Telephone Number: (877) 283-3352
Fax Number: (304) 616-4401
E-mail: FELC@atf.gov

ATF Homepage: www.atf.gov

Change of Address (27 CFR 555.54(a)(1)). Licensees or permittees may during the term of their current license or permit remove their business or operations to a new location at which they intend regularly to carry on such business or operations. The licensee or permittee is required to give notification of the new location of the business or operations not less than 10 days prior to such removal with the Chief, Federal Explosives Licensing Center. The license or permit will be valid for the remainder of the term of the original license or permit. (The Chief, FELC, shall, if the licensee or permittee is not qualified, refer the request for amended license or permit to the Director of Industry Operations for denial in accordance with § 555.54.)

Right of Succession (27 CFR 555.59). (a) Certain persons other than the licensee or permittee may secure the right to carry on the same explosive materials business or operations at the same address shown on, and for the remainder of the term of, a current license or permit. Such persons are: (1) The surviving spouse or child, or executor, administrator, or other legal representative of a deceased licensee or permittee; and (2) A receiver or trustee in bankruptcy, or an assignee for benefit of creditors. (b) In order to secure the right provided by this section, the person or persons continuing the business or operations shall furnish the license or permit for that business or operations for endorsement of such succession to the Chief, FELC, within 30 days from the date on which the successor begins to carry on the business or operations.

(Continued on reverse side)

Cut Here ✂

Federal Explosives License/Permit (FEL) Information Card

License/Permit Name: GEN X PYROTECHNICS

Business Name:

License/Permit Number: 4-MI-125-54-4F-01210

License/Permit Type: 54-USER OF EXPLOSIVES

Expiration: June 1, 2024

Please Note: Not Valid for the Sale or Other Disposition of Explosives.



U.S. Department of Justice
Bureau of Alcohol, Tobacco, Firearms and Explosives
Federal Explosives Licensing Center
244 Needy Road
Martinsburg, West Virginia 25405

901090: MH/FLS
5400
File Number: 4MI01210

05/19/2021

SUBJECT: **RESPONSIBLE PERSON LETTER OF CLEARANCE** for:

JASON ANTHONY TRUDEAU

PRESIDENT
(248)252-0029

2906 PINE NEEDLE DR
WHITE LAKE, MI 48383

and is ONLY valid under the following Federal explosives license/permit:

4-MI-125-54-4F-01210

GEN X PYROTECHNICS
2906 PINE NEEDLE DR
WHITE LAKE, MI 48383

Dear JASON TRUDEAU:

You have been approved as a responsible person under the above-listed Federal explosive license or permit. You may lawfully direct the management or policies of the business or operations as they pertain to explosives. You may also lawfully transport, ship, receive or possess explosive materials incident to your duties as a responsible person. **This clearance is only valid under the license or permit referenced above.**

Sincerely,

A handwritten signature in cursive script, reading "Marna Howard", is positioned above the printed name.

Marna Howard
Chief, Federal Explosives Licensing Center (FELC)

FELC Customer Service. If you believe that information on your "Letter of Clearance" is incorrect, please return a COPY of the letter to the Chief, Federal Explosives Licensing Center (FELC), with a statement showing the nature of the error. The Chief, FELC, shall correct the error, and return an amended letter to you.

Mail: ATF
Chief, FELC
Attn.: LOC Correction
244 Needy Road
Martinsburg, West Virginia 25405

Fax: 1-304-616-4401
Chief, FELC
Attn.: LOC Correction

Call toll-free: 1-877-283-3352

WWW.ATF.GOV



05/19/2021

NOTICE OF CLEARANCE

for individuals transporting, shipping, receiving, or possessing explosive materials.

ISSUED TO: GEN X PYROTECHNICS

Federal Explosives license/permit no.: 4-MI-125-54-4F-01210

NOTICE DATE: 05/19/2021

Expiration Date: **June 1, 2024**

Explosives License/Permit Type: 54-USER OF EXPLOSIVES

EXPIRATION DATE: This Notice expires when superseded by a newer Notice which will list all current responsible persons and employee possessors, or when the license or permit expires - whichever comes first.

- WARNING.** Only those individuals listed below as **RESPONSIBLE PERSONS** and **EMPLOYEE POSSESSORS** with a background clearance status of "CLEARED" or "PENDING" are authorized to transport, ship, receive, or possess explosive materials in the course of employment with you.
- "DENIED" STATUS.** If an employee possessor has a background clearance status of "DENIED", you **MUST** take immediate steps to remove the employee from a position requiring the transporting, shipping, receiving, or possessing of explosive materials. Also, if the employee has been listed as a person authorized to accept delivery of explosive materials, you **MUST** remove the employee from such list and immediately, and in no event later than the second business day after such change, notify distributors of such change, as stated in 27 CFR 555.33(a).
- CHANGE IN RESPONSIBLE PERSONS.** You **MUST** report any change in responsible persons to the Chief, Federal Explosives Licensing Center, within 30 days of the change and new responsible persons **MUST** include "appropriate identifying information" as defined in 27 CFR 555.11. Fingerprints and photos are **NOT** required, however they will be required upon renewal of the license or permit.
- CHANGE OF EMPLOYEES.** You **MUST** report any change of employee/possessors to the Chief, FELC, within 30 days. Reports relating to newly hired employees must be submitted on ATF Form 5400.28 for **EACH** employee.

Premises Address: 2906 PINE NEEDLE DR
WHITE LAKE, MI 48383

Mailing Address:
GEN X PYROTECHNICS
2906 PINE NEEDLE DR
WHITE LAKE, MI 48383

This 'Notice of Clearance' is provided to you as required by 18 U.S.C. 843(h) and **MUST** be retained as part of your permanent records and be made available for examination or inspection by ATF officers as required by 27 CFR 555.121. If you receive a Notice subsequent to this Notice, this Notice will no longer be valid.

In accordance with 27 CFR 555.33, Background Checks and Clearances, and 27 CFR 555.57, Change of Control, Change in Responsible Persons, and Change of Employees, ATF's Federal Explosives Licensing Center (FELC) has conducted background checks on the individual(s) you identified as a responsible person(s) and an employee/possessor(s) on your application, or reported after the issuance of your license/permit.

The following is a SUMMARY of the results of the background checks conducted on the individuals you reported as responsible persons and employee/possessors. ATF will be notifying ALL individuals listed on this document of their respective status by separate letter mailed to their residence address.

PLEASE BE ADVISED THAT IT IS UNLAWFUL FOR ANY PERSON REFLECTING A STATUS OF "DENIED" TO TRANSPORT, SHIP, RECEIVE, OR POSSESS EXPLOSIVE MATERIALS.

Please carefully review this Notice to ensure that all the information is accurate. If this Notice is incorrect, please return the Notice to the Chief, FELC, with a statement showing the nature of the error(s). The Chief, FELC, shall correct the error, and return a corrected Notice.

Number of RESPONSIBLE PERSON(S) : 1
Number of EMPLOYEE POSSESSOR(S): 7

LAST NAME, First Name, Middle Name Clearance Status

RESPONSIBLE PERSONS:

1

0001 TRUDEAU, JASON ANTHONY

Cleared

EMPLOYEE POSSESSORS:

7

0001 CARRIGER, JEREMY ROBERT

Cleared

0002 CARRIGER, JOSHUA ROY

Cleared

0003 DOBRIN, DAVID JASON

Cleared

0004 HOFELICH, GREGORY DAVID

Cleared

continued

LAST NAME, First Name, Middle Name

Clearance Status

0005 MORGAN, DRAKE LANTZ

Cleared

0006 RAGNOLI, ADAM MICHAEL

Cleared

0007 KENNEDY, JAMES MICHAEL

Pending

MSDS - *Material Safety Data Sheet*
UN0335, FIREWORKS 1.3G, PGII

Emergency Call Info Trac (800) 535-5053 ACE Pyro Contract #100630

Section II - Hazardous Ingredients / Identity Information

Contains Pyrotechnic Compositions that are mixtures of solid oxidizers and fuels that contained in paper and cardboard containers. No Hazard exists during normal handling and storage.

OSHA PEL - N/A

ACGIH TLV - N/A

OTHER LIMITS - N/A

Section III - Physical / Chemical Characteristics

Boiling Point: - N/A

Specific Gravity: - N/A

Vapor Pressure: - N/A

Melting Point: - N/A

Vapor Density: - N/A

Evaporation Rate: - N/A

Solubility in Water: - N/A

Appearance and Odor: - Pyrotechnic Composition is contained in paper or cardboard casings that may be shaped as cylinders, balls or tubes. Odor is not apparent.

Section IV - Fire and Explosion Hazard Data

Flash Point: - N/A

Flammable Limits: - N/A

LEL: - N/A

UEL: - N/A

Extinguishing Media: Deluge with large quantities of water as quickly as possible by FIRE HOSE from a PROTECTED location. Materials are self-oxidizing.

Special Fire Fighting Procedures: Do not attempt to fight a fire in the immediate area of 1.3G Fireworks- EVACUATE THE AREA.

Section IV - Fire and Explosion Hazard Data- Continued

Unusual Fire and Explosion Hazards: Fireworks 1.3G MAY MASS EXPLODE IN A FIRE. DO NOT ALLOW FIREWORKS TO GET WET- Hazardous Decomposition May Result in a FIRE or EXPLOSION. EXPLOSION MAY OCCUR IF EXPOSED TO SPARKS OR FLAME.

Section V - Reactivity Data

Stability: - Stable

Conditions to Avoid: - Open Flames, Sparks, High Temperatures, Friction or Impact.

Incompatibility (Materials to Avoid): - Do Not Allow Fireworks to Get Wet.

Hazardous Decomposition or Byproducts: - Decomposition does not occur under normal circumstances. Smoke Generated by Fireworks may contain gasses that are irritating to the eyes or mucous membranes. Prolonged Exposure and Inhalation of smoke may cause shortness of breath or more serious problems when a chronic respiratory condition exists.

Hazardous Polymerization: Will Not Occur

Conditions to Avoid: - Storage in High Temperatures, Moist or Wet Conditions, Keep away From Open Flame or Sparks.

Section VI – Health Hazard Data

Route(s) of Entry: - N/A Inhalation: -N/A Skin: - N/A Ingestion: - N/A

Health Hazards (Acute and Chronic): - N/A

Carcinogenicity: N/A NTP?: - N/A IARC Monographs?: -N/A

OSHA Regulated: - NO

Signs and Symptoms of Exposure: - Prolonged Exposure to smoke that is Generated during Normal use of Fireworks may cause Irritation to Eyes and to Mucous Membranes.

Medical Conditions Generally Aggravated by Exposure: - Eye Sensitivity, Respiratory Conditions.

Emergency and First Aid Procedure: - EYES should be flushed with water. Move to Fresh Air and avoid additional Inhalation of Smoke.

Section VII – Precautions for Safe Handling and Use

Steps to Be Taken in Case Material is Released or Spilled: - If Fireworks are spilled, carefully pick up the material and place in a Cardboard Carton. Keep OPEN FLAMES and Sparks AWAY and NO SMOKING.

Waste Disposal Method: - Fireworks that fail to go off should be soaked in a bucket of water and returned to the source where it was obtained. Dry components or powder should be carefully swept up and placed in a cardboard container then soaked with water. Burning of Fireworks Waste must be performed in compliance with local and state laws.

Precautions in Handling and Storing: - Keep from OPEN FLAMES, NO SMOKING, AVOID IMPACT of MATERIALS and CONTAINERS of MATERIALS, STORE FIREWORKS IN A COOL AND DRY ENVIRONMENT. FIREWORKS 1.3G MUST BE STORED AND TRANSPORTED IN COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS.

Other Precautions: - UN0335 Fireworks 1.3G can cause SERIOUS INJURY or DEATH. They should only be Handled by Properly Trained and Qualified Personnel. When Shooting these Fireworks; PERSONNEL SHOULD WEAR PROPER EYE PROTECTION, HEAD PROTECTION AND NON-SYNTHETIC CLOTHING.

Section VIII – Control Measures

Respiratory Protection: N/A

Ventilation: - N/A Local Exhaust: - N/A Special: - N/A

Mechanical: -N/A Other: - N/A

Protective Gloves:- N/A Eye Protection: - When Shooting Fireworks 1.3G

Other Protective Clothing or Equipment: - Protective Head Gear and Non-Synthetic Clothing when Shooting Fireworks 1.3G.

Work / Hygienic Practices: - Store Fireworks in a Cool Dry and Well Ventilated area. Protect Against Physical Damage and Moisture. Fireworks should be Isolated from all Heat Sources, Sparks and Open Flame. No Smoking.

Firework Disposal Procedure

Please follow the two simple guidelines below for the proper disposal of any unused display fireworks

1. If any display fireworks are found, submerge the firework in a five-gallon bucket of water.
2. Contact Jason Trudeau with Gen-X Pyrotechnics for proper pickup.

Gen-X Pyrotechnics will pick up any unused display fireworks and take them to an authorized facility for a proper disposal.



248.252.0029



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www.genxpyrotechnics.com

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Site Plan/PD Application #21-005 Redwood Living Planned Development (PD) – Preliminary Site Plan

Date: August 11, 2021

Recommended Action

Move to approve as outlined in the Staff Memorandum, dated August 11, 2021.

The following motion is provide based on the Planning Commission recommended approval of Site Plan Application #21-005, the Preliminary Planned Development Site Plan for the Redwood Living Planned Development, subject to the following conditions:

1. The Preliminary Planned Development Site Plan for Redwood Living, SP PD #21-005, is subject to the approval of the Township Board.
2. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandums, dated June 17, 2021, and July 15, 2021, and August 11, 2021, on the Construction Plan set, subject to an administrative review by Planning staff prior to the issuance of a land use permit.
3. As part of the Final Plan Review, the applicant, and/or any future owners shall agree to not interfere or object to any future roadway and/or pedestrian connections to the east. Any future ingress-egress easement agreement shall comply with the requirements of the Township Attorney.
4. As part of the Final Plan Review, the applicant shall provide a Planned Development (PD) Agreement that includes any easements and access agreements. A landscape easement and maintenance agreement are required for properties to the north, and an access and maintenance agreement will be required for the use of the Hartland Glen Lane.
5. The applicant shall obtain any permits from the Livingston County Road Commission for any and all improvements to Hartland Glen Lane within the road right-of-way of Cundy Road.
6. Municipal water shall be available for this development. In the event that municipal water is not available for this project, the developer shall re-submit plans to be approved by the Planning Commission and Township Board that provide an acceptable water source.
7. Applicant complies with any requirements of the Township Engineering Consultant, Department of Public Works Director, Hartland Deerfield Fire Authority, and all other governmental agencies, as applicable.
8. The applicant shall modify the site plan to show all easements that are off-site, such as, but not limited to, the sanitary pump station.
9. The applicant shall work with the Township staff on a revised landscape plan to incorporate more street trees.

10. (Any other items the Township Board feels is necessary).

Discussion

Applicant: Redwood Living

Site Description

The proposed Redwood Living Planned Development (PD) is shown in the northeast portion of Hartland Glen Golf Course. Hartland Glen Golf Course has been in operation on the property for over 30 years. The golf course property, addressed as 12400 Highland Road, is approximately 383.15 acres in size, and is west of Pleasant Valley Road, south of Cundy Road, and west of Hartland Glen Lane (Parcel ID #4708-26-100-019). The golf course property is zoned CA (Conservation Agricultural). The proposed project area currently functions as a golf course. Existing wetland areas/ponds are shown on the submitted plans.

The proposed PD project occupies approximately 27.13 acres of the golf course property, in the northeast part of the golf course. The plan shows proposed parcel lines that delineate the project area. A land division request and application will be reviewed separately. To be noted, is that the proposed boundary lines for the PD will essentially create two (2) new parcels with frontage along Cundy Road. The applicant has not provided information on this subject. One area (west of 12396 Cundy Road, currently has two (2) accessory buildings that presumably are associated with the golf course. It appears that this land area could comply with the CA zoning standards for lot width and lot area. The other area of land, east of 12398 Cundy Road, at the corner of Cundy Road and Hartland Glen Lane, may not comply with the CA zoning standards. Additional details will be required during the review of a land division request and application.

The property east of the proposed PD project area (Tax ID #4708-26-200-002) is vacant and zoned CA (Conservation Agricultural). Two (2) single-family residential properties, north of the project area, are zoned CA. Those properties are addressed as 12396 Cundy Road (Tax ID #4708-26-100-001) and 12398 Cundy Road (Tax ID #4708-26-100-012). The PD project area is surrounded by Hartland Glen Golf Course on the south and partially on the west. A single-family residence occupies the parcel addressed as 12250 Cundy Road (Tax ID #4708-26-100-002), zoned CA, and shares a portion of the west property line of the planned development.

Hartland Glen Golf Course was previously designated as Medium Suburban Density Residential on the 2015 Future Land Use Map (FLUM), however in 2020-2021 several amendments were made to the FLUM and Comprehensive Development Plan. The amendments were approved by the Township Board on May 18, 2021. One of the areas that was amended is the Hartland Glen Golf Course property, which is now designated as a Special Planning Area (SPA), thus the proposed Redwood Living PD project area is designated as SPA.

The 2015 FLUM designates the parcel east of Hartland Glen Lane as a Special Planning Area. The 2020-2021 Amendment to the FLUM now designates the two (2) properties north of the project area as a Special Planning Area (12396 and 12398 Cundy Road). The parcel west of the project area, addressed as 12250 Cundy Road, is designated as Medium Suburban Density Residential on the 2015 FLUM.

Public access to the planned development is via two (2) access points onto Hartland Glen Lane from internal roads in the PD. Staff is unsure if Hartland Glen Lane is considered a private road or an internal access drive. Historically this road has been the only access route to the golf club and parking associated with Hartland Glen Golf Course. Based on the submitted plans Hartland Glen Lane is twenty (20) feet wide and

is without curb and gutter.

The applicant has been involved in discussions with the Township about the extension of a water main down M-59 that could serve this site. The Public Works Director has indicated that municipal sanitary sewer currently is located near this subject property and the development would be required to connect. Those details will be worked out later.

The Planning Commission held a public hearing on June 24, 2021. At the public hearing, there were several residents that spoke on the project. The Planning Commission discussed the bonus density and indicated that some of the site plan deficiencies should be corrected. Those items were the width of the residential driveways, the number and location of street trees, the diameter of the trees, and some buffering to the north, south, east, and west. The applicant modified the site plan to widen the residential driveways, increase the diameter of the trees, and install additional landscaping to the north, south, east, and west. However, although the applicant provided additional street trees, the Planning Commission recommended even more street trees and approved the project with a condition that the applicant work with staff and Planning Commissioner Grissim. In addition, the applicant has modified the building materials to improve the exterior of the residential structures. They are proposing a wider siding material to comply with comments made at the Planning Commission public hearing. The Planning Commission allowed the applicant time to modify the site plan, and the Planning Commission reviewed the revised site plan at the July 22, 2021, regular meeting, and subsequently recommended approval.

Site History

REZ #361 (2017)

In 2017, approximately 71 acres of Hartland Glen Golf Club property was rezoned from CA to HDR in 2017 under REZ #361. In 2017, approximately 73 acres were rezoned from CA-Conservation Agricultural to HDR-High Density Residential, under RZ #361. The property associated with the rezoning request included approximately 71 acres of the golf course property (the northern nine (9) holes of the golf course) and two (2) single-family residences on Cundy Road, equating to an additional two (2) acres of land, or 73 acres. The properties on Cundy Road are addressed as 12396 and 12398 Cundy Road. The remaining portion of Hartland Golf Club property is zoned CA. The current (2012) Township Zoning Map does not reflect the zoning changes that were approved under RZ #361.

During the rezoning request, the applicant had also submitted a concept plan. This plan was never formally reviewed during the rezoning, as it was not part of the rezoning request. However, at that time, the property owner indicated that the entire property, which consists of 386 acres, has been allocated 602 Residential Equivalent Units (REU) sanitary sewer taps. The Planning Department has not been able to verify that number of REU's with the Public Works Department; however, it is believed the number would at a minimum be close, since there has been litigation on this topic and this property.

Site Plan Application #20-008 (Redwood Living Planned Development) – Concept Plan

The Concept Plan was discussed under Site Plan Application #20-008. The Planning Commission reviewed the project on August 20, 2020, followed up by the Township Board's review at their September 15, 2020, meeting.

Planned Development Procedure

Section 3.1.18 of the Township's Zoning Ordinance provides standards and approval procedures for a PD Planned Development. Approval of a Planned Development is a three-step process. A Concept Plan, Preliminary Plan, and Final Plan are all reviewed by the Planning Commission and the Township Board, with the Planning Commission making a recommendation and the Board having final approval at each step.

The process usually requires a rezoning from the existing zoning district to the Planned Development (PD) zoning district. As part of the rezoning, a public hearing is held before the Planning Commission consistent with the Michigan Zoning Enabling Act; this public hearing is held at the same meeting during which the Planning Commission reviews and makes a recommendation on the Preliminary Plan. Approval of the Final Plan by the Township Board usually constitutes a rezoning of the subject property to PD. Given the requirements for publishing a notice for the planned development, the public hearing was held at the June 24, 2021, Planning Commission meeting. Approval of the Final Plan by the Township Board usually constitutes a rezoning of the subject property to PD.

For all intents and purposes, the Preliminary Plan step is essentially the same as a preliminary site plan review for a conventional project in the Township. All the information and details required for a preliminary site plan approval must be provided for the Preliminary PD review and approval. Final PD review will involve detailed plans for those phases for which construction is intended to begin immediately, review of the Planned Development Agreement, and other written documents as applicable.

Overview of the Preliminary Plan

The proposed residential planned development consists of thirty (30) single-story, multi-unit apartment buildings. The target market for this development includes empty nesters, seniors, and young professionals; however, the development is not age restricted. Per the applicant the projected rent rate for the Hartland project is anticipated to be between \$1,650 and \$2,050 per month.

There are four (4) types of apartment buildings: 3-unit, 4-unit, 5-unit, and 6-unit. In total there are 30 apartment buildings and 148 units. Six (6) different building models are offered, with varying architectural designs and interior layout options. Architectural plans and floor plans have been submitted by the applicant. Each apartment unit has 2 bedrooms, 2 bathrooms, and an attached 2-stall garage. The unit size ranges from 1,300 to 1,600 square feet. The driveway for each unit is 25 feet long, as measured from the leading edge of the unit to the back of the street or sidewalk pavement, to accommodate residents parking two (2) vehicles in the driveway and not impeded with the accessible sidewalk along the road.

A leasing office/maintenance building is shown in the northeast portion of the site, at the eastern end of Building A, which is shown as a 4 -unit apartment building. A floor plan of the leasing office is provided as an attachment.

Public access to the development is via two (2) access points from Hartland Glen Lane on the east. Hartland Glen Lane intersects with Cundy Road. Cundy Road generally runs west to east in this area, and then travels north to intersect Highland Road. Internally the residential units are served by several private roadways. It appears the roadways will not meet the design standards for a private road as outlined in Section 5.23 of the Zoning Ordinance, thus staff is using the term roadway in this memorandum.

The Preliminary Plan shows the footprint of each of the 30 apartment buildings. The plan states the proposed building setbacks. Guest parking spaces are scattered throughout the development. A 4-post pavilion is in the center of the site, with benches. A mail kiosk is shown east of the leasing/maintenance building.

Five (5) foot wide sidewalks (walking paths) are provided within the development, along Hartland Glen Lane, and as an integral sidewalk along one side of each private (internal) roadway. The total width of the concrete roadway is twenty-seven (27) feet, with 22 feet dedicated as the driving lane/roadway and the outer five (5) feet (on one side of the roadway) dedicated as the sidewalk, which is scored and stained a different color than the roadway to distinguish it as a pedestrian walkway. Curb and gutter are not part of the roadway design to provide an ADA-compliant accessible route and avoid ramps, per the applicant.

Three (3) existing ponds with wetland areas are found within or adjacent to the proposed development. The

applicant has noted these will not be disturbed or impacted. A proposed stormwater detention basin is in the southwest corner of the development. Two (2) fountains are to be placed in the bottom of the detention pond per the applicant however the fountains are shown on Sheet C200.

The Concept Plan, dated July 16, 2020, was reviewed under SP #20-008. On that plan, a 15-foot-wide off-site landscape easement was shown on two (2) adjacent properties north of the PD, addressed as 12396 and 12398 Cundy Road, which are under the same ownership as Hartland Glen Golf Course. The property owner had indicated to staff he would provide the 15-foot-wide landscape easement within those two (2) properties, to provide screening of the apartment buildings along the north property line of the Redwood Living PD.

The current set of plans does not show a 15-foot-wide off-site landscape easement on the 12396 or 12398 Cundy Road properties. It appears that the Preliminary Plan instead shows a 15-foot-wide landscape area within the PD site, along the north property line of the PD, and it is not labeled as an easement. A copy of the Landscaping Easement Agreement is provided however staff is requesting clarification on the document regarding the actual location of the proposed Landscaping Easement. A maintenance agreement should be considered as well.

The Open Space Plan states approximately 16.02 acres of the site is open space (59.1% of the PD area), with approximately 12.15 acres designated as usable open space (44.8%).

Municipal sewer access is available and an adequate number of REU's (Residential Equivalency Units) are attached to the planned development property. A proposed off-site lift station is shown south of the PD property. Additional details were not provided by the applicant. The applicant will work with the Township and the Livingston County Drain Commission regarding the design details. The Township is currently exploring extension of municipal water lines down M-59 that could provide water service to this property, on both sides of Highland Road. The Public Works Director has provided a review letter dated June 15, 2021.

As noted, the project area is approximately 27.13 acres in area, in the northeast portion of the Hartland Glen Golf Club property. The estimated proposed density is 5.45 dwelling units per acre, using 148 dwelling units. More discussion on density is provided in the next section of this report.

Eligibility Criteria (Section 3.1.18.B.)

To be eligible for PD approval, the applicant must demonstrate that the criteria in Section 3.1.18.B. will be met.

- 1. Recognizable Benefits.** *The planned development shall result in a recognizable and substantial benefit to the ultimate uses of the project and to the community and shall result in a higher quality of development than could be achieved under conventional zoning.*

The applicant has provided a letter, dated May 13, 2021, that addresses this topic.

- 2. Minimum Size.** *Planned Developments must be a minimum of 20 acres of contiguous land.*

The proposed project is approximately 27.13 acres in size, of contiguous land, and meets the criteria.

- 3. Use of Public Services.** *The proposed type and density of use shall not result in an unreasonable increase in the use of public services, facilities, and utilities, and shall not place an unreasonable burden upon the subject site, surrounding land, property owners and occupants, or the natural*

environment.

The development is serviced via existing and proposed private roadways. The north end of Hartland Glen Lane intersects Cundy Road, which is under the jurisdiction of the Livingston County Road Commission (LCRC). The applicant states this development will generate a low trip generation as opposed to a higher density use. Public water and sanitary sewer services are proposed via the proposed extension of these services, which could potentially benefit adjacent lands with future connections.

- 4. Compatibility with Comprehensive Plan.** *The proposed development shall not have an adverse impact upon the Comprehensive Plan for the Township. Notwithstanding this requirement, the Township may approve a Planned Development proposal that includes uses which are not called for on the Future Land Use Map, provided that the Planning Commission and Township Board determine that such a deviation from the Future Land Use Map is justified in light of the current planning and development objectives of the Township.*

The 2020-2021 Comprehensive Plan Amendment and Amendment to the Future Land Use Map, were approved by the Township Board on May 18, 2021. As part of those Amendments, the M-59/Cundy Road/Hartland Glen Golf Course was designated as a Special Planning Area (SPA), which is approximately 385.9 acres in size (Hartland Glen Golf Courses property). The intention of the Planning Commission is to work closely with the landowners in this area to establish the terms of an agreement for a mixed-use Planned Development. The Commission has agreed that the SPA should have a density that is flexible. Overall, the SPA shall have a base density of four (4) dwelling units per acre. However, the Commission agrees that a high density is more desirable in the northern portion of the site while a lower density is more desirable in the lower portion of the site. The surrounding properties in the northern portion of the site are at a much higher density than the surrounding properties along the southern portion of the site. As a result, up to 25% of the density may be increased in the northern portion of the site (up to five (5) dwelling units per acre) if the southern portion of the site is decreased by 25% (up to three (3) units per acre). Overall, the entire site shall remain at four (4) units per acre.

The Commission has agreed that if the developers of the SPA are able to include certain desirable design features that significantly enhance the appearance and function of the site, additional “bonus” density dwelling units can be awarded to the development as an incentive to promote a high-quality development. However, such a density “bonus” will only be awarded at the discretion of the Township in accordance with established development regulations of the Township and State of Michigan.

Further, the Planning Commission has determined the PD can be created with an environment that encourages pedestrian linkage between activity nodes and resource features. Specific principles were agreed upon for the Special Planning Area in the 2020-2021 Comprehensive Plan Amendment, as listed below.

1. Development within the Special Planning Area shall provide for a variety of housing forms (for example, single family, townhouses, condominium, apartments, and senior housing), along with retail, office, recreation, and entertainment space. *The applicant proposes a residential development comprised of single-story apartment buildings, with a variety of building styles and interior layout options. The Redwood Living PD is intended to provide a housing style that is currently under-represented in the Township, that is designed as a residential community.*
2. Development within the Special Planning Area shall provide for public facilities and other neighborhood amenities. *The proposed extension of the public watermain and sewer to serve this site could potentially serve adjacent sites in the future. This could be considered an asset to the Township. The design of the PD provides open space areas that can be enjoyed by the Redwood*

Living community, that include a covered pavilion and internal walking paths.

3. Special Planning Area shall provide pedestrian and vehicular links between land uses and adjacent property (that may not be directly included within this Special Planning Area development). *The proposed plan shows a 5-foot-wide concrete sidewalk along the west side of Hartland Glen Lane, which extends to Cundy Road at the north terminus. Two vehicular access points are provided from the PD to Hartland Glen Lane, which allows for a connection to the Hartland Glen Golf Course facility (clubhouse and parking to the south).*
 4. Special Planning Area shall also coordinate with the Township's goal of creating walkable pathways to the Township settlements and other public and private facilities. *The PD provides an internal system of sidewalks. Additionally, a 5-foot-wide concrete sidewalk along Hartland Glen Lane provides pedestrian access from the development to Cundy Road and to Hartland Glen Golf Course facilities. Currently sidewalks are not present on Cundy Road or Highland Road in this area.*
 5. Developments shall be developed in harmonious coexistence with pre-existing historical and natural features within the Township. *The intent of the PD is to retain the existing natural features such as the wetland and pond areas. The site will follow the existing topography and thus limit the need for major earthwork changes. The existing drainage patterns will be maintained.*
 6. Special Planning Area shall include landscape, streetscape, traffic, and architectural solutions that are superior in design and visually enhancing the local community with sensitivity to the existing historic features in the Township. *The apartment buildings are single-story which are in keeping with the surrounding neighborhoods and less impactful than the allowed 35-foot building height in other residential zoning categories. The proposed landscape plan provides buffering of the buildings on the north, with additional plantings shown on the borders of the PD and internal to the site. Street trees and planting areas around each apartment unit are also provided.*
- 5. Unified Control.** *The proposed development shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project, or assuring completion of the project, in conformity with the Ordinance.*

Redwood would be the only owner of the 27.13-acre PD parcel, and Redwood will construct the entire development, maintain the development, and manage the development after it is completed and filled with occupants.

Planned Development Design Standards (Section 3.1.18.C.)

This section outlines the design standards for a planned development. Additional site standards will be discussed from applicable sections of the Zoning Ordinance.

1. **Permitted Uses.** *The predominant use on the site shall be consistent with the uses specified for the parcel on the Township's Comprehensive Plan for Future Land Uses.*

The subject area for the planned development project is designated as Special Planning Area (SPA) on the 2020-2021 Amended Future Land Use Map, for the M-59/Cundy Road/Hartland Glen Golf Course area. Per the 2020-2021 Comprehensive Plan Amendment, this SPA would be developed as a planned development with a density that is flexible, with regards to the north and south portions of the SPA. A high density is envisioned for the northern portion of the Hartland Glen Golf Course property, up to five (5)

dwelling units per acre, with a potential for a bonus density. The project area is in the north portion of the SPA where a higher density is desired, thus is consistent with the FLUM.

2. **Residential Density.** *Residential density in a planned development shall be consistent with the density designation within the Township's Comprehensive Plan.*

Per the 2020-2021 Comprehensive Plan Amendment and Amended FLUM, the SPA is to have a base density of four (4) dwelling units per acre but allows for a higher density in the northern portion of the site, up to five (5) dwelling units per acre, and the southern portion of the site to have up to three (3) dwelling units per acre.

The Preliminary Plan proposes 148 dwelling units with a density of 5.45 dwelling units per acre. The proposed density exceeds the maximum allowed density of up to five (5) units per acre in the northern portion of the SPA. Per Section 3.1.18.C.iv., the Planning Commission may agree to recommend up to a forty (40%) percent increase in dwellings on a site in recognition of outstanding attributes as listed in this section. The Township Board in its sole discretion shall have the ability to approve such density increase up to forty (40%) percent after an affirmative recommendation from the Planning Commission. In this case the planned development land area could accommodate 136 dwelling units (27.13 acres x 5 dwelling units per acre), in accordance with the Comprehensive Plan. The planned development plan could include up to 190 dwelling units (136 + 54 additional dwellings) if a maximum bonus (40% increase) were awarded by the Planning Commission and Township Board. The proposed development has 148 dwelling units; thus, consideration of a density bonus is applicable.

3. **Design Details.** *The applicant shall prepare a detailed description of design details to be implemented in the proposed planned development, to be presented in a Pattern Book.*

The design details are provided on the submitted site plans and architectural drawings for the Planned Development. A Pattern Book was not provided.

4. **Minimum Yard Requirements.** The minimum yard requirements are noted in the chart below per Section 3.1.18.C.vi.a.

Yard Location	Minimum PD Standard	Proposed setback*	Complies Yes/No
Along perimeter adjacent to public road	50 ft.	NA (PD is not adjacent to a public road)	NA
Along perimeter, but not adjacent to a road (north, south & west property lines)	40 ft.	24 ft. (north) 34 ft. (south) 46 ft. (west)	No No Yes
Along an internal collector or local road (east)	40 ft.	100 ft. from bldg. to east property line; 57 ft. from bldg. to edge of Hartland Glen Lane pavement-ROW not indicated on plans	Yes

* As measured to closest point of building

Sheet C200 lists the proposed setbacks for the project area are as follows: front (50 feet); side (15 feet) and

rear (25 feet), and setback lines for side and rear are shown on the plans. The front setback line is not shown. Staff is unsure how the applicant arrived at those setback designations or locations for the setback lines. Clarification may be required.

5. **Distances Between Buildings.** Spacing requirements for buildings in a planned development are outlined in Section 3.1.18.C.vi.b.3. *Residential buildings containing more than one unit (including: apartments; townhouses; and other attached dwellings) shall conform to the spacing requirements set forth in Section 3.1.7 (MDR – Medium Density Residential).*

Per Section 3.1.7, the required setbacks are as follows: front yard (30 feet); side yard (10 feet); and rear yard (25 feet). These standards are somewhat difficult to apply in this development as the buildings are not on individual parcels nor are individual building envelopes proposed. Sheet C200 provides proposed dimensional standards for building separation. The following chart lists the proposed standards and closest distance between buildings for each category.

<u>Proposed Building Separation Standards</u>	<u>Closest Distance between Buildings on Plans</u>
Front to Front: 15 feet	NA
Rear to Rear: 25 feet	31.5 feet
Side to Side: 15 feet	20.0 feet
Side to Rear: 15 feet	20.4 feet

Based on the plans, the buildings are placed to comply with the building separation standards as proposed by the applicant, although staff was unable to find an example where the Front-to-Front standard could be applied on the proposed plans. The proposed building separation standards would apply to future buildings or building additions. Each apartment building is placed a minimum of twenty-five (25) feet from the edge of the roadway or integral sidewalk.

There are no dedicated right-of-way or easement lines for any of the internal roads, so the residential structures are located twenty-five (25) feet from the actual pavement. Also, the structures, at their closest point, are located thirty (30) feet from the Hartland Glen Road pavement. There is no dedicated easement or right-of-way line for Hartland Glen Road.

6. **Building Height.** *No building in a planned development shall be greater than thirty-five (35) feet in height.*

The one-story buildings comply with this regulation. The mean building height is approximately twelve (12) feet.

7. **Parking and Loading.** *Planned Developments shall comply with the parking and loading requirements specified in Section 5.8, Off-Street Parking requirements, and Section 5.9, Loading Space Requirements of the Zoning Ordinance.*

Parking requirements are listed in Section 5.8.4.H (Table of Minimum Parking Space Requirements). For the category, Residential, Family, two (2) parking spaces are required for each dwelling unit, plus one (1) additional space for each four (4) dwellings. In this case, with 148 units, thirty-seven (37) additional parking spaces are required ($148 \div 4 = 37$), beyond the required two (2) spaces per dwelling unit.

Each apartment unit has an attached 2-stall garage, plus a 25-foot long, 16-foot-wide driveway, which could potentially accommodate up to two (2) additional vehicles. Parking is not permitted on the street, except in designated parking areas. A total of twenty-two (22) guest parking spaces are provided within the

development, scattered throughout. Two (2) barrier-free parking spaces (van accessible) are provided by the leasing office. It appears sufficient parking is provided. To be noted, the required parking space dimensions are ten (10) feet wide by twenty (20) feet in length per the Zoning Ordinance standards. The guest parking spaces are shown as nine (9) feet wide by eighteen (18) feet in length.

8. **Landscaping.** Landscaping requirements are provided in Section 3.1.18.C.vi.e. These are considered minimum design standards, typically for a commercial or office development. A more detailed review of the landscaping is provided in this memorandum using applicable landscape standards outlined in Section 5.11 (Landscaping and Screening).

9. **Open Space.** *Open space shall be provided to complement and accentuate the high-quality design of the proposed planned development. At minimum the planned development shall provide open space consistent with the previous zoning designation for the site.*

Per this section of the Zoning ordinance (Section 3.1.18.C.vi.f.), the planned development shall provide open space consistent with the previous zoning designation for the site, at a minimum. Currently the site is zoned CA-Conservation Agricultural. In CA, the open space requirement is a minimum of 85%, for a single-family detached dwelling. The proposed plan states the open space is 42% of the site, and thus would not comply. Historically however, open space requirements outlined in Section 3.15 of the Zoning Ordinance have been applied for other single-family residential planned developments in the Township such as Walnut Ridge Estates and Fiddler Grove.

Section 3.15 of the Zoning Ordinance states residential condominium developments (in several zoning district classifications) should provide a minimum of 25% open space, with a minimum of 10% of the total open space to be useable open space ("useable open space" is defined as land area suitable for active recreation). For the proposed development consisting of 27.13 acres, this would equate to a minimum of 6.79 acres of open space, with a minimum of 2.71 acres of useable open space.

The Open Space Plan states the proposed open space is approximately 16.02 acres, or 59% of the PD; and 12.15 acres as useable open space, or 44.8% of the site. Open space areas include lawn area, sidewalk area, detention pond, and wetlands. Lawn areas and sidewalk are noted as usable open space.

10. **Natural Features.** *Consistent with the stated intentions for creation of these regulation, the preservation of the natural features of the Township are an important planning consideration. A PD proposal must consider the natural topography and geologic features, scenic vistas, trees and other vegetation and natural drainage patterns that exist on the site and propose a development pattern which preserves and avoids disruption of those natural features as much as possible.*

Alta surveys are provided which show existing features of the site. The site is currently functioning as a golf course. Three (3) existing ponds and associated wetland areas are shown. The applicant states these features will remain undisturbed. The intention is to utilize the existing topography without the need for major earthwork changes. Existing drainage patterns will be maintained and treated in accordance with County and State regulations, per the applicant.

11. **Sidewalks and Pedestrian Access.** *The applicant must demonstrate the PD site, and all uses within the site, will be connected to any existing pedestrian and nonmotorized vehicle paths and trails within a public right-of-way or easement open to the public.*

A 5-foot-wide integral sidewalk is shown on one side of each private road within the development. five (5) foot wide sidewalks are provided in the central open space areas, as well as along the west side of Hartland

Glen Lane. This sidewalk terminates at the north at the intersection of Cundy Road and Hartland Glen Lane. Currently sidewalks are not found along Highland Road or properties north of the PD site on Cundy Road.

Requirements for Preliminary Review (Section 3.1.18.E.ii)

Following is a summary of items that have not been addressed in the previous review as part of the Design Standards section.

1. Traffic Impacts.

The proposed planned development is directly accessed via a private roadway, Hartland Glen Lane. Access to Hartland Glen Lane can occur via Cundy Road, which terminates at Highland Road. A traffic generation memo, dated January 14, 2021, prepared by Bergmann Associates, provides a summary of trip generations studies that were completed for seven (7) other Redwood developments, three (3) sites in Ohio and four (4) in Michigan. Those results indicate that a Redwood development can be expected to generate 0.33 trips per unit during the AM peak hour and 0.43 trips per unit during the peak PM hour. Based on this data, the site-generated vehicle trips do not meet the minimum threshold (50 peak hour directional trips) to require a traffic impact analysis or further study.

2. Fiscal Impacts.

The applicant has provided a response to this topic in the document labeled “Hartland Impact Analysis - Redwood Neighborhood”.

3. Vehicular Circulation.

As noted, the site is accessed at two (2) points via a private roadway, Hartland Glen Lane. This paved roadway has provided access to the Hartland Glen Golf Course and clubhouse for years. The plans indicate the roadway is approximately twenty (20) feet wide, but additional details were not provided. It is anticipated that Hartland Glen Lane will be able to effectively serve as the access road to Redwood Living PD.

Concrete private roadways provide internal circulation within the Planned Development. A construction detail of the roadway is shown on Sheet C700. The travel lane width is twenty-two (22) feet plus there is an integral 5-foot-wide integral sidewalk on one side of the roadway, for a total road width of twenty-seven (27) feet. In a few instances the 5-foot integral sidewalk is shown on both sides of the roadway, thus the total width is thirty-two (32) feet. The integral sidewalk is scored and stained to delineate it from the travel lane. Curb and gutter are not provided. The private roadways will not meet the private road standards as outlined in Section 5.23 of the Zoning Ordinance.

Per the applicant this type of roadway design is appropriate for the PD as the internal roads handle low traffic volumes, a posted speed limit of 12 MPH is required by Redwood, and on-street parking is not allowed by Redwood.

It should be noted that currently the only access to the PD site is via Hartland Glen Lane; however, it is anticipated that future development will occur to the east, west and south of the PD site, and there will be new opportunities for vehicular connections for this PD. Hartland Glen Lane was never formally approved as a private roadway and would be considered a non-conforming roadway. Since Redwood and Hartland Glen Golf Course will both use this road, staff has requested a maintenance agreement be required and submitted as part of the Final PD for this roadway. In addition, any connection to the east should be permitted and made part of the Final PD agreement.

4. Landscaping (Section 5.11).

Applicable sections of Section 5.11 (Landscaping and Screening) will be applied to the PD, as outlined

below.

A. Canopy trees along Internal Roadways (Sec. 5.11.2.C.ii.) –

- Required – 15-foot-wide landscaped area along the length of internal roadways, planted with a minimum of 1 canopy tree or evergreen tree for every 30 feet or portion thereof. Required canopy tree size is a minimum 3-inch caliper tree at the time of planting
- Proposed – 1 canopy tree per unit, planted in front of each unit but not at a standard interval; street tree placed approximately ten (10) feet from the edge of the integral sidewalk. Proposed canopy tree size is 2.5-inch caliper tree, except at along the main entry (from the north property line to the northern access road into the PD). These trees are 3” caliper trees.
- Meets Requirement? – **TDB; street trees planted at varying intervals; tree size is not compliant except for trees along main entry. The applicant continues to work with Staff regarding the Planning Commission recommendation to approve.**
- Comment – **Per the applicant tree spacing varies due to the varied building types and driveway locations. Regarding the tree size, the applicant states the smaller caliper trees have less stress when planted and the lawn areas are irrigated which will promote tree growth. Planning Commission to determine if the proposed street tree locations and tree caliper (size) are acceptable. The applicant has modified the plan and the Planning Commission has recommended approval**

B. Buffering or Screening (Sec. 5.11.2.G.i.) – Screening between Land Uses (north property line where abutting single-family zoned properties)

- Required – landscape buffer shall be provided to create a year-round visual screen at least eight (8) feet in height along all adjoining boundaries of a non-residential use or a residential use of higher density and abutting a single family residential zoned property. Evergreen trees to be planted in a staggered or clustered pattern with varying tree heights.
- Proposed – plantings along the PD north property line, within the 15-foot setback area of the PD property; plant materials include a mix of a variety of deciduous/canopy trees and evergreen trees of varying heights and sizes; deciduous shrubs; and ornamental trees. The 15-foot-wide planting area appears to be located within the PD property and is not labeled as a landscape easement.
- Meets Requirement? – **TBD; the proposed screening is a mix of deciduous and evergreen trees, deciduous shrubs, and ornamental trees, and not an evergreen screen as required; proposed evergreen trees are not staggered or clustered.**
- Comment – **Planning Commission has recommended to approve.**

C. Detention/Retention Area Landscaping (Sec. 5.11.2.H.)

- Required – detention/retention ponds must be integrated into the overall design of the property and landscaped to provide a natural setting; 1 canopy or evergreen tree and 10 medium, 6 large shrubs or ornamental trees must be planted for every 50 ft. of pond perimeter. Pond Perimeter - approx. 1,715 lineal ft. EQUATES TO: 34 canopy or evergreen trees, and 340 medium shrubs, or 204 large shrubs or ornamental trees
- Proposed – 20 trees (10 deciduous trees and 10 evergreen trees); 37 medium shrubs; 39 medium shrubs; and 85 ornamental trees – total equates to 124 (large shrubs + ornamental trees)
- Meets Requirement? – **TBD; plant number deficiencies in each category.**
- Comment – **Planning Commission has recommended to approve.**

D. Apartment Unit Landscaping

Section 5.11 does not provide landscape standards for apartment buildings. Foundation planting plans for each building model are provided in the plan set on Sheet L1.4 (Typical Foundation Planting). All planted areas will be maintained by Redwood. Irrigation is provided for all front lawns and a minimum of ten (10) feet surrounding the sides and rear of each building. Planting plans for the entrance sign, leasing office, and pavilion are shown on Sheet L1.3.

Comments:

The entrance sign and landscaping feature as well as street trees are landscaped with hardwood mulch. Apartment units are landscaped with washed river rock (approximately 1 inch in diameter in the front, side, and rear landscape beds. This is a deviation from the Zoning Ordinance requirement to use shredded hardwood mulch. The applicant notes that the river rock is used to protect the siding from damage caused by mowers and landscaping equipment. Additionally, river rock is used in the rear of the units where AC compressors are placed. Some areas are labeled as ‘Gravel mow strip’ or “native gravel mulch”, which staff assumes is a reference to river rock.

5. Architecture/Building Materials (Sec. 5.24)

Architectural standards for façade materials are not provided in Section 5.24 for multiple family buildings. A facade materials summary document was submitted by the applicant which lists the façade material percentages for each building model. Generally, the façade materials for each building model include vinyl horizontal siding; vinyl shakes; glass; and stone veneer. The proposed exterior colors for the siding and shakes are earthtones, of tan, khaki, russet, and light green tones.

Typically, higher quality façade materials are expected in a residential planned development, with limited use of vinyl for siding, shakes, or other architectural details. The use of other products such as cementitious siding is encouraged. The Planning Commission may want to discuss the proposed façade materials and suggest other options.

There are six (6) building styles: Haydenwood; Breezewood; Forestwood; Willowood; Meadowood; and Capewood. The single-story buildings are comprised of multiple apartment units as follows: 3-unit (1 building), 4-unit (12 buildings), 5-unit (5 buildings), and 6-unit (12 buildings).

Variation in the architecture is offered with the option of a screened-in rear porch, front porch, sunroom, roof dormers, and varying roof profiles. Outdoor patio areas on the rear side of the building are offered for some of the models. There are several floor plan options depending on the building model. The buildings are staggered along the road frontage to enhance the view of the buildings and avoid a “barracks” feel to the development.

The site plans outline the building materials and percentages of building materials. For this staff memorandum, staff did not outline those in the memorandum; however, they are available on the plans and in a separate document as an attachment.

Façade materials and long-term maintenance of the apartment buildings

Architectural standards for façade materials are not provided in Section 5.24 for multiple family buildings. A facade materials summary document was submitted by the applicant which lists the façade material percentages for each building model. Generally, the façade materials for each building model include vinyl horizontal siding; vinyl shakes; glass; and stone veneer. The proposed exterior colors for the siding and shakes are earthtones, of tan, khaki, russet, and light green tones. The Planning Commission asked the applicant if other types of products could be considered for the siding, that might be of a higher quality than vinyl and be low maintenance. The applicant offered to explore other product options and provide information on apartment buildings in other Redwood developments regarding any maintenance issues.

Site Plan Application #21-005 (Redwood Living Planned Development) – Preliminary Planned Development Site Plan

The Preliminary Planned Development Site Plan for Redwood Living PD was reviewed by the Planning

Commission under Site Plan Application #21-005. On June 24, 2021, the Planning Commission held a public hearing for the project. Upon review of the project, the Planning Commission requested the applicant to revise the plans to address several items that were discussed at the public hearing, prior to the Planning Commission making a recommendation on the project. One of the topics was related to residential density and the need for a density bonus for this project. Other discussion points were related to landscaping, driveway design, and facade materials for the apartment buildings. The purpose of this memorandum is to discuss the issues raised at the June 24, 2021, meeting. The full analysis of the project is provided in the staff memorandum dated June 17, 2021.

Following is a discussion of the topics discussed at the public hearing held on June 24, 2021.

Residential Density

At the public hearing, the Planning Commission discussed residential density and applicable standards outlined in Section 3.1.18.C. (Planned Development Design Standards). Per the ordinance, residential density in a planned development is to be consistent with the density designation within the Township's Comprehensive Plan. The PD project is situated within the Hartland Glen Golf Club property, and the golf course property is designated as Special Planning Area (SPA) in the recently adopted 2020-2021 Comprehensive Plan Amendment and Amended FLUM (Future Land Use Map). The SPA is to have a base density of four (4) dwelling units per acre but allows for a higher density in the northern portion of the site, up to five (5) dwelling units per acre, and the southern portion of the site to have up to three (3) dwelling units per acre.

The Preliminary PD Site Plan proposes 148 dwelling units with a density of 5.45 dwelling units per acre. The proposed density exceeds the maximum allowed density of up to five (5) units per acre in the northern portion of the SPA. Per Section 3.1.18.C.iv., the Planning Commission may agree to recommend up to a forty (40%) percent increase in dwellings on a site in recognition of outstanding attributes as listed in this section. The Township Board in its sole discretion shall have the ability to approve such density increase up to forty (40%) percent after an affirmative recommendation from the Planning Commission. In this case the planned development land area could accommodate 136 dwelling units (27.13 acres x 5 dwelling units per acre), in accordance with the Comprehensive Plan. The planned development plan could include up to 190 dwelling units (136 + 54 additional dwellings) if a maximum bonus (40% increase) were awarded by the Planning Commission and Township Board. The proposed development has 148 dwelling units, which exceeds the maximum number of units by 12 units. This equates to an approximate 8.8% increase in dwellings on the subject site and consideration of a density bonus is applicable.

The Planning Commission expressed concerns that the Preliminary PD Site Plan appeared to be deficient in meeting the minimum PD design standards in several categories, such as landscaping and building setbacks. As a result, the Planning Commission was hesitant to consider awarding a density bonus. The applicant was directed by the Planning Commission to address these concerns and provide revised plans and/or additional information.

Driveway width

Concerns were raised by the Planning Commission regarding the proposed driveway width of 16 feet (concrete area). If two (2) cars are parked side by side in the driveway, it would be tight to get in or out of a car. Snow storage on the driveway could also compress access to the cars.

Revised site plans stamped received July 14, 2021

The applicant has provided revised plans and photographs of residential buildings in other Redwood Living developments for the Planning Commission's review. Following is a summary of the revised plans.

Residential Density and meeting minimum PD design standards:

- Deciduous/canopy tree diameter was upgraded from 2.5 inches to 3 inches (tree size at the time of planting).
- Meeting minimum yard requirements for building setbacks (Section 3.1.18.C.vi.a.):
 - West: Added landscape screening by buildings near the northwest portion of the site (Buildings labeled as Building F and G).
 - North: Added a 15-foot-wide landscape easement on the adjacent residential properties north of the PD property. Provided a landscape buffer within the landscape easement with an increase in the overall number of trees and shrubs from the previous PD landscape plan. The intent is to provide sufficient screening and buffering, where abutting single-family zoned properties (Screening Between Land Uses, Section 5.11.2.G.i.).
 - South: This area shows the same landscape buffer at the south property line as was previously depicted; however, the adjacent property to the south will most likely be developed as a PD for the same project and thus a buffer will not be necessary at this location.
- Street trees – Additional street trees are provided and tree spacing modified to place the trees closer together than shown on the previous landscape plan.

Building materials and long-term maintenance of residential buildings

- Applicant is exploring alternate siding materials to see if it offers the same color options as are currently proposed for the vinyl siding.
- Applicant provided photographs of residential buildings from older Redwood developments (Trails of Montville, in Ohio), dating from approximately 2013, to illustrate that the buildings are maintained, and the façade materials endure over time.

Driveway width

- Increased driveway width (concrete area) from 16 feet wide to 18 feet wide (for single unit driveway) or 38'-8" feet wide (double driveway) to accommodate 2 vehicles parked side by side in the driveway and allow for access in and out of each vehicle.
- The double driveway occurs on the Forestwood and Willowood building models, where the garages of two (2) abutting apartment units share a common wall. The site plans reviewed on June 24, 2021, showed a 16-foot-wide driveway for each unit, separated with an approximate 4'-8" foot wide median strip between the two (2) driveways. The median strip had lawn or gravel. The revised detail plan for the double driveway (Sheet SK 01) has eliminated the median strip and added 1-foot of concrete onto the outer edge of each driveway, thus the total driveway width is shown as 38'-8". It should be noted that the current set of revised plans stamped received July 14, 2021, still show the median strip for the double driveway design. The Construction Plan set shall accurately depict the correct driveway width and design for all units/building models, and the median strip should be removed.

Other Requirements-Zoning Ordinance Standards

No other comments at this time.

Attachments:

1. Revised plans for Redwood Living Preliminary PD dated 07.09.2021

DEVELOPMENT PLANS FOR
PROPOSED
REDWOOD LIVING
RESIDENTIAL DEVELOPMENT
CUNDY ROAD
HARTLAND TOWNSHIP, MICHIGAN

REDWOOD
HARTLAND
TOWNSHIP

HIGHLAND ROAD (M-59)
HARTLAND, MI 48353



7007 E. PLEASANT VALLEY RD
INDEPENDENCE, OH 44131



Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C.
7050 West Saginaw Hwy.,
Suite 200
Lansing, MI 48917

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fax: 517.272.9836

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DATE	DESCRIPTION
5/14/2021	ISSUE FOR PRELIMINARY PLAN REVIEW

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OWNER

REDWOOD LIVING
7007 EAST PLEASANT VALLEY ROAD
INDEPENDENCE, OH 44131
PATRICIA RAKOCI
(216) 505-8581

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HARTLAND, MICHIGAN 48353
TROY LANGER
810-632-7498

WATER MAIN

HARTLAND TOWNSHIP
2655 CLARK ROAD
HARTLAND, MICHIGAN 48353
MICHAEL LUCE
810-632-7498

SANITARY SEWER

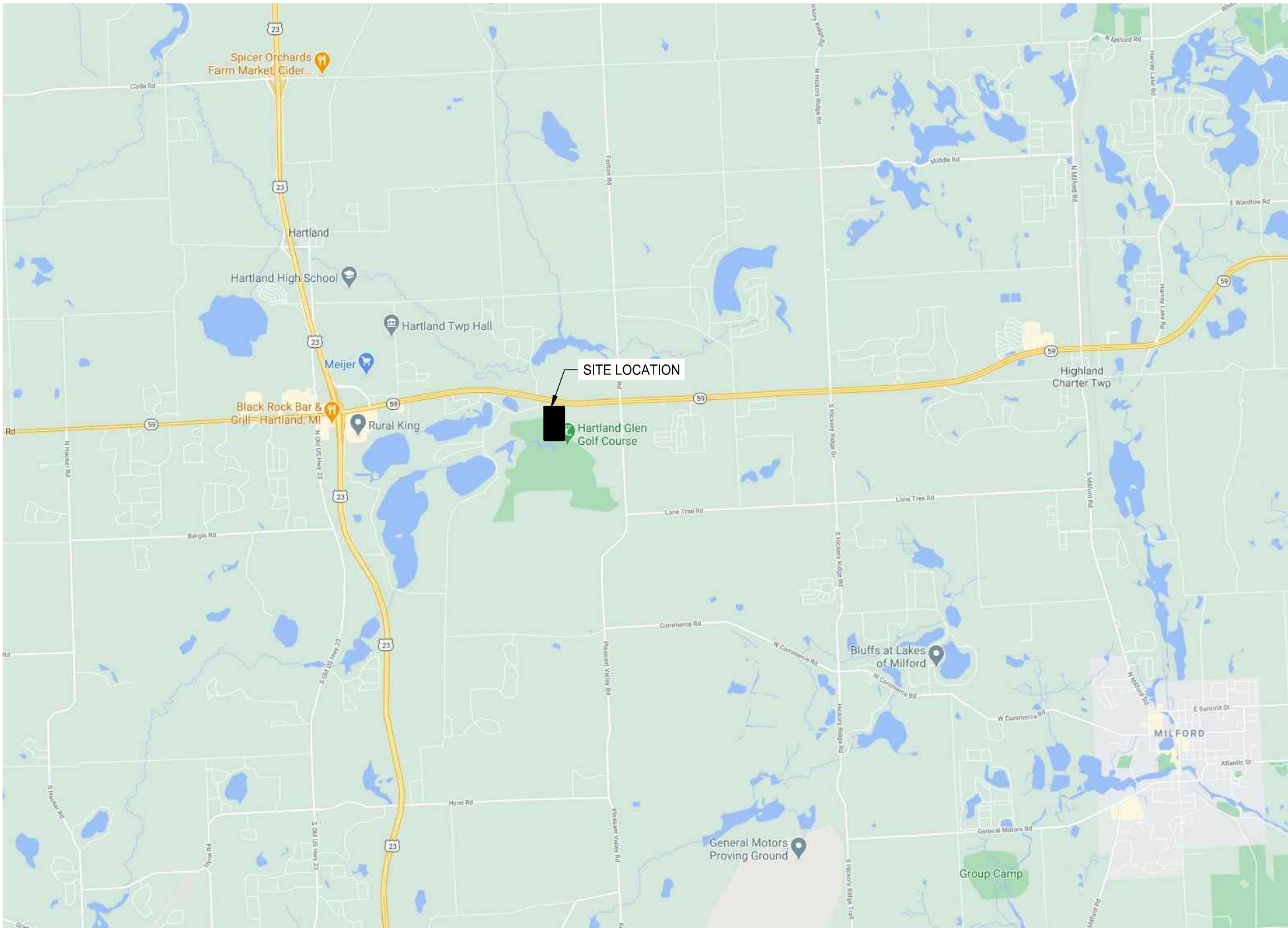
LIVINGSTON COUNTY DRAIN COMMISSIONER
2300 E GRAND RIVER AVE
SUITE 105
HOWELL, MICHIGAN 48843
517-546-0040

STORM WATER AND SOIL EROSION AND SEDIMENTATION

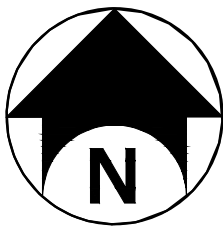
LIVINGSTON COUNTY DRAIN COMMISSIONER
2300 E GRAND RIVER AVE
SUITE 105
HOWELL, MICHIGAN 48843
517-546-0040

ROADS & ENTRANCE

LIVINGSTON COUNTY ROAD COMMISSION
3535 GRAND OAKS DRIVE
HOWELL, MICHIGAN 48843
517-546-4250



SITE LOCATION MAP
NOT TO SCALE



DRAWING KEY

- ☒ INCLUDED IN PLAN SET
☐ NOT INCLUDED IN PLAN SET

Sheet List Table	
Sheet Number	Sheet Title
<input checked="" type="checkbox"/> C000	COVER SHEET
<input checked="" type="checkbox"/> X100	ALTA SURVEY
<input checked="" type="checkbox"/> X101	ALTA SURVEY
<input checked="" type="checkbox"/> X102	ALTA SURVEY
<input checked="" type="checkbox"/> C200	PRELIMINARY SITE PLAN
<input checked="" type="checkbox"/> C201	NORTH PRELIMINARY SITE PLAN
<input checked="" type="checkbox"/> C202	SOUTH PRELIMINARY SITE PLAN
<input checked="" type="checkbox"/> C203	OPEN SPACE PLAN
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<input checked="" type="checkbox"/> C403	OFF-SITE PRELIMINARY UTILITY PLAN
<input checked="" type="checkbox"/> C700	SITE DETAILS
<input checked="" type="checkbox"/> A1.1	BUILDING FLOOR PLANS AND ELEVATIONS
<input checked="" type="checkbox"/> A1.2	BUILDING FLOOR PLANS AND ELEVATIONS
<input checked="" type="checkbox"/> A1.3	BUILDING FLOOR PLANS AND ELEVATIONS
<input checked="" type="checkbox"/> A1.4	BUILDING FLOOR PLANS AND ELEVATIONS
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<input checked="" type="checkbox"/> SD1.0	LANDSCAPE AND SITE DETAILS

Not For Construction

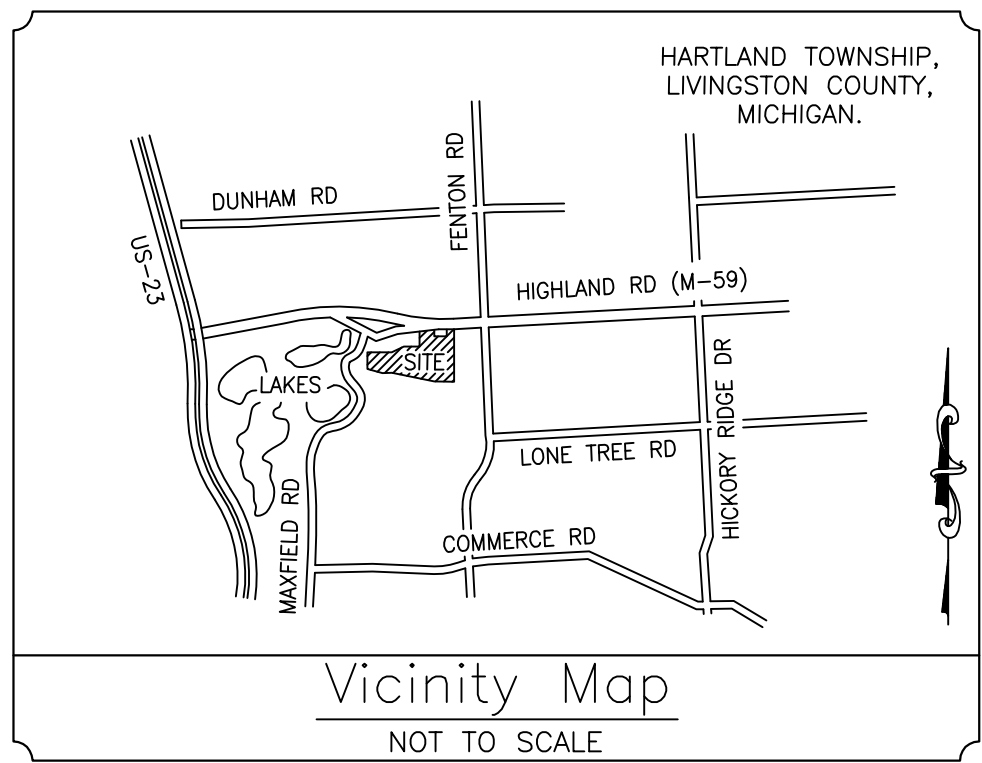
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Project Manager: I. GRAHAM, PE	Checked By: I. GRAHAM, PE
Designed By: I. GRAHAM, PE	Drawn By: J. ARSENEAULT
Date Issued: JANUARY 14, 2021	Project Number: 14648.00

COVER SHEET

Drawing Number:

C000



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- SEE SHEET 3 OF 3 FOR LEGAL DESCRIPTION.

NOTES CORRESPONDING TO SCHEDULE B

- Right of Way granted to The Consumers Power Company recorded in Liber 509, Page 543, Livingston County Records, as to Parcel 1, this is shown hereon.
- Terms and conditions of Drainage Agreement recorded in Liber 1124, Page 572, Livingston County Records, as to Parcel 1, this is not shown hereon.
- Rights of others over that portion of subject property known as Lone Tree Road, which is used as an easement to other lands, as to Parcel 1, this lies outside of the mapping area and is not shown hereon.
- Temporary Wastewater Treatment System and Access Easement in favor of Forestbrook Hills Condominium Association recorded in Liber 2625, Page 242, Livingston County Records, this lies outside of the mapping area and is not shown hereon.
- Permanent Drainage and Access Easement in favor of Forestbrook Hills Condominium Association recorded in Liber 2625, Page 245, Livingston County Records, this lies outside of the mapping area and is not shown hereon.
- Rights of the United States, State of Michigan and the public for commerce, navigation, recreation and fisheries in any portion of the land comprising the bed of the Canal and Silver Lake, or land created by fill or artificial accretion, as to Parcel 3 this is blanket in nature and is not shown hereon.
- The nature, extent or lack of riparian rights or the riparian rights of riparian owners and the public in and to the use of the waters of the Canal and Silver Lake, as to Parcel 3, this is blanket in nature and is not shown hereon.
- Oil, gas, mineral, and aboriginal antiquities reserved by the State of Michigan, and terms, covenants and provisions contained in Deed recorded in Liber 1314, Page 716, Livingston County Records, as to Parcel 3, this lies outside of the mapping area and is not shown hereon.
- Terms, conditions and restrictions contained in Deed recorded in Liber 2637, Page 738, Livingston County Records, this is not shown hereon.
- Declaration of Easements recorded in Instrument No. 2011 R-026098, Livingston County Records, this is shown hereon. (The description describes the easement centerline, but the easement width is not clearly defined. An estimated width of 100' lying on each side of the described centerline is shown based on the diagram on page 6 of 7 of the provided document.)

LEGEND

	Power Pole		Flag Pole		Storm Manhole
	Power Pole w/Light		Sign (As Noted)		Storm Catchbasin
	Light Pole		Well Head		Deciduous Tree
	Telephone Pole		Satellite Dish		Coniferous Tree
	Guy Wire		Tower		Sanitary Manhole
	Transformer		Water Valve		Sanitary Clean Out
	Electric Manhole		Fire Hydrant		Gas Valve
	Telephone Manhole		Water Manhole		Gas Manhole
	Telephone Pedestal		Water Meter Pit		Gas Meter
	Electric Meter		Water Meter		Gas Marker
	Cable Box		Indicates Handicapped Parking		Section Corner
	Air Conditioner Unit		Parking Count		Set 5/8" Bar & Cap
	Easement Identifier				Found Corner Monument
	Distance not to scale				Monitoring Well

ABBREVIATIONS

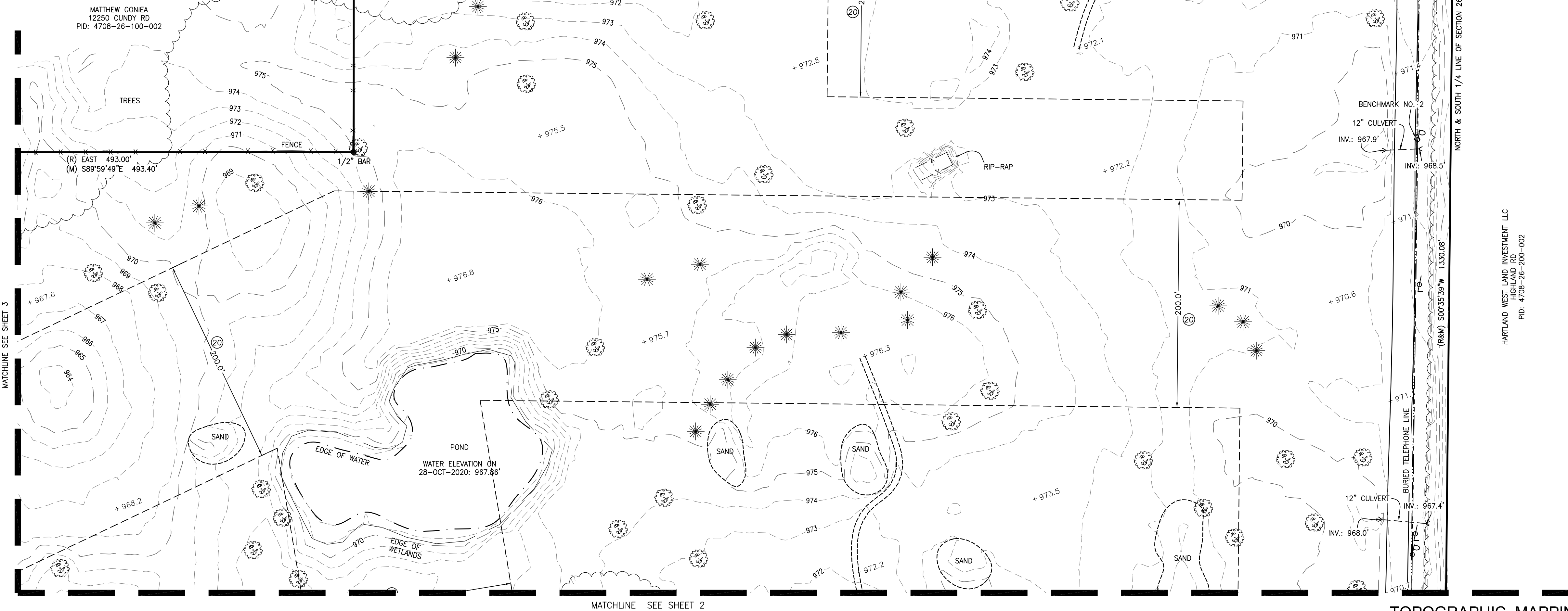
R = RECORDED	T-N = TOWN - NORTH	AVE. = AVENUE
M = MEASURED	R-E = RANGE - EAST	BLVD. = BOULEVARD
C = CALCULATED	SQ. FT. = SQUARE FEET	CT. = COURT
N = NORTH	NE = NORTHEAST	RD. = ROAD
E = EAST	SE = SOUTHEAST	ST. = STREET
S = SOUTH	SW = SOUTHWEST	PID = PARCEL AND
W = WEST	NW = NORTHWEST	OWNER IDENTIFICATION

BENCHMARKS

ELEVATIONS ARE DERIVED FROM GPS OBSERVATIONS
REFERENCING GEOID18 TO DETERMINE ELEVATIONS IN THE
NAVD88 VERTICAL DATUM.

BENCHMARK NO. 2
"MAG" NAIL IN THE WEST SIDE OF A UTILITY POLE.
NORTHING: 413547.5
EASTING: 13300311.4
ELEVATION: 972.59 (NAVD88 DATUM).

BENCHMARK NO. 3
BENCH TIE IN THE EAST SIDE OF A UTILITY POLE.
NORTHING: 414099.6
EASTING: 13300274.2
ELEVATION: 983.26 (NAVD88 DATUM).



BEARING BASIS

BEARINGS ARE BASED ON THE NORTH & SOUTH 1/4 LINE OF
SECTION 26 RECORDED AS BEARING SOUTH 00°35'39" WEST.

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PARCEL IS LOCATED IN ZONE X OF THE FLOOD
INSURANCE RATE MAP NUMBER 26093002390E WHICH BEARS AN EFFECTIVE DATE OF
09-17-2008 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

AN ELEVATION CERTIFICATE MAY BE REQUIRED TO VERIFY THIS DETERMINATION OR
APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

UNDERGROUND UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD
OBSERVATIONS AND/OR EXISTING DRAWINGS AS PROVIDED BY THE FACILITY OWNER.
THE UNDERGROUND UTILITIES SHOWN MAY NOT COMPRISE ALL SUCH UTILITIES ON
OR NEAR THE SURVEYED PARCEL, EITHER IN SERVICE OR ABANDONED. THE
LOCATION OF BURIED UTILITIES ARE SHOWN TO INDICATE THAT A UTILITY EXIST,
BUT MAY REQUIRE SUB-SURFACE INVESTIGATION TO DETERMINE THE EXACT
LOCATION.

PREPARED BY:

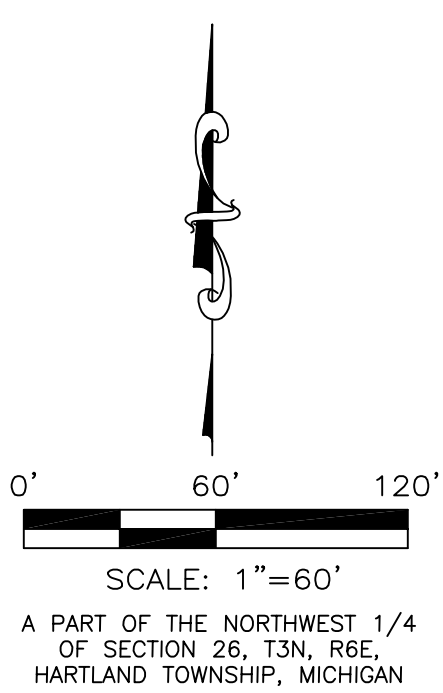
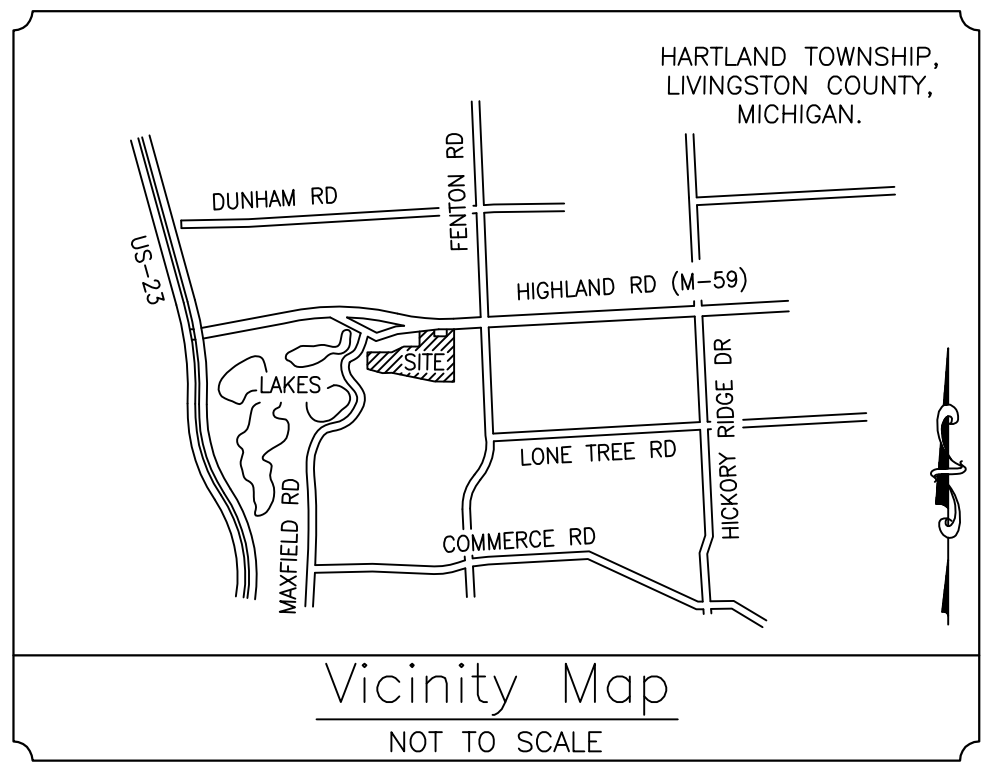


GEODETIC DESIGNS, INC.
2300 N. GRAND RIVER AVE.
LANSING, MI 48906
PHONE: (517) 908-0008
FAX: (517) 908-0009
WWW.GEODETICDESIGNS.COM

Bergmann & Associates

12400 Highland Road
Hartland Township, MI

SCALE: 1" = 60'	
DATE: October 30, 2020	
DRAWN BY: JJC	SHEET 1 OF 3
CHECKED BY: DJV	JOB NUMBER: S161-2020



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- DIMENSIONS SHOWN ARE IN INTERNATIONAL FEET AND DECIMALS THEREOF.
- THE WORD "CERTIFY" OR "CERTIFICATION" AS USED HEREIN IS AN EXPRESSION OF A PROFESSIONAL OPINION BY THE SURVEYOR BASED UPON HIS BEST KNOWLEDGE, INFORMATION, AND BELIEF, AS SUCH, IT DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, OR LEGAL OPINION.
- SEE SHEET 3 OF 3 FOR LEGAL DESCRIPTION.

BENCHMARKS

ELEVATIONS ARE DERIVED FROM GPS OBSERVATIONS
REFERENCING GEOID18 TO DETERMINE ELEVATIONS IN THE
NAVD88 VERTICAL DATUM.

BENCHMARK NO. 1
"MAG" NAIL IN THE WEST SIDE OF A UTILITY POLE.
NORTHING: 412714.9
EASTING: 13300301.1
ELEVATION: 971.69 (NAVD88 DATUM).

CONTROL POINTS

CONTROL POINT NO. 86753
"MAG" NAIL IN ASPHALT PARKING LOT
NORTHING: 412230.15
EASTING: 13300578.78
ELEVATION: 972.71 (NAVD88 DATUM).

LEGEND

	Power Pole		Flag Pole		Storm Manhole
	Power Pole w/Light		Sign (As Noted)		Storm Catchbasin
	Light Pole		Well Head		Deciduous Tree
	Telephone Pole		Satellite Dish		Coniferous Tree
	Guy Wire		Tower		Sanitary Manhole
	Transformer		Water Valve		Sanitary Clean Out
	Electric Manhole		Fire Hydrant		Gas Valve
	Telephone Manhole		Water Manhole		Gas Manhole
	Telephone Pedestal		Water Meter Pit		Gas Meter
	Electric Meter		Water Meter		Gas Marker
	Cable Box		Indicates Handicapped Parking		Section Corner
	Air Conditioner Unit		Parking Count		Set 5/8" Bar & Cap
	Easement Identifier				Found Corner Monument
	Distance not to scale				Monitoring Well

ABBREVIATIONS

R = RECORDED
M = MEASURED
C = CALCULATED
N = NORTH
E = EAST
S = SOUTH
W = WEST

T-N = TOWN - NORTH
R-E = RANGE - EAST
SQ. FT. = SQUARE FEET
NE = NORTHEAST
SE = SOUTHEAST
SW = SOUTHWEST
NW = NORTHWEST

AVE. = AVENUE
BLVD. = BOULEVARD
CT. = COURT
RD. = ROAD
ST. = STREET
PID. = PARCEL AND
OWNER IDENTIFICATION

BEARING BASIS

BEARINGS ARE BASED ON THE NORTH & SOUTH 1/4 LINE OF
SECTION 26 RECORDED AS BEARING SOUTH 00°35'39" WEST.

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PARCEL IS LOCATED IN ZONE X OF THE FLOOD
INSURANCE RATE MAP NUMBER 26093C02390E WHICH BEARS AN EFFECTIVE DATE OF
09-17-2008 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

AN ELEVATION CERTIFICATE MAY BE REQUIRED TO VERIFY THIS DETERMINATION OR
APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

UNDERGROUND UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD
OBSERVATIONS AND/OR EXISTING DRAWINGS AS PROVIDED BY THE FACILITY OWNER.
THE UNDERGROUND UTILITIES SHOWN MAY NOT COMPRISE ALL SUCH UTILITIES ON
OR NEAR THE SURVEYED PARCEL, EITHER IN SERVICE OR ABANDONED. THE
LOCATION OF BURIED UTILITIES ARE SHOWN TO INDICATE THAT A UTILITY EXISTS,
BUT MAY REQUIRE SUB-SURFACE INVESTIGATION TO DETERMINE THE EXACT
LOCATION.



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TOPOGRAPHIC MAPPING

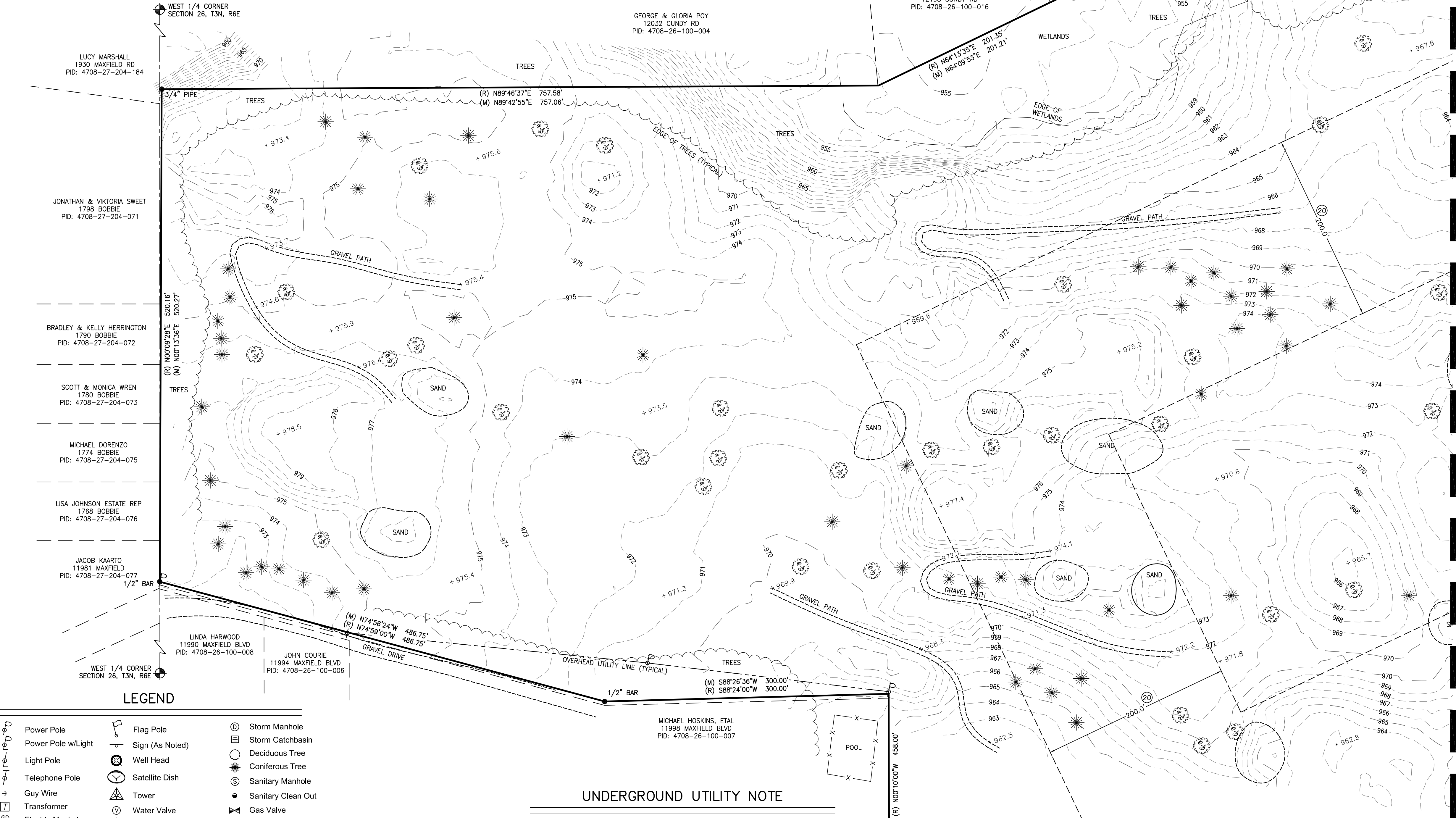
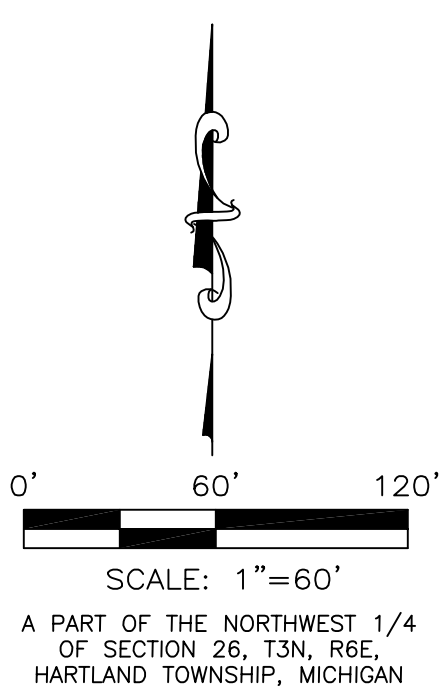
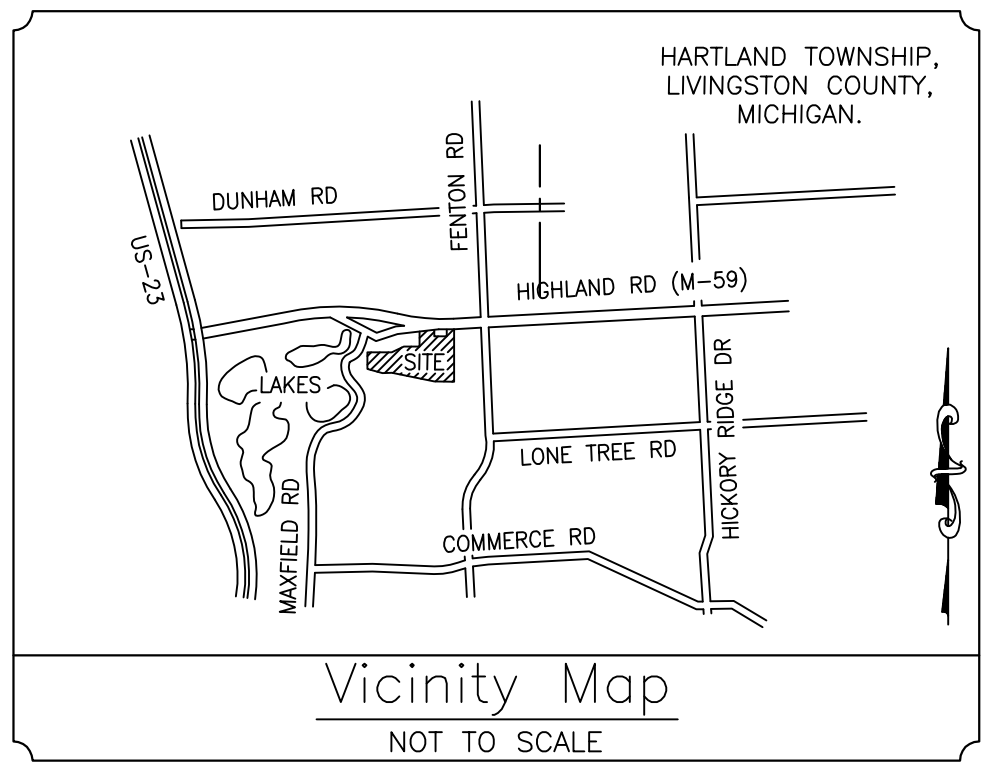
PREPARED BY:

MARK	DATE	REVISION	BY	REVIEWER

Bergmann & Associates

12400 Highland Road
Hartland Township, MI

SCALE: 1" = 60'	
DATE: October 30, 2020	
DRAWN BY: JJC	SHEET 2 OF 3
CHECKED BY: DJV	JOB NUMBER: S161-2020



UNDERGROUND UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND/OR EXISTING DRAWINGS AS PROVIDED BY THE FACILITY OWNER. THE UNDERGROUND UTILITIES SHOWN MAY NOT COMPRISE ALL SUCH UTILITIES ON OR NEAR THE SURVEYED PARCEL, EITHER IN SERVICE OR ABANDONED. THE LOCATION OF BURIED UTILITIES ARE SHOWN TO INDICATE THAT A UTILITY EXIST, BUT MAY REQUIRE SUB-SURFACE INVESTIGATION TO DETERMINE THE EXACT LOCATION.

BEARING BASIS

BEARINGS ARE BASED ON THE NORTH & SOUTH 1/4 LINE OF SECTION 26 RECORDED AS BEARING SOUTH 00°35'39" WEST.

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PARCEL IS LOCATED IN ZONE X OF THE FLOOD INSURANCE RATE MAP NUMBER 26093C0239DE WHICH BEARS AN EFFECTIVE DATE OF 09-17-2008 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

AN ELEVATION CERTIFICATE MAY BE REQUIRED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

GENERAL NOTES

- THIS DOCUMENT IS A TOPOGRAPHIC SURVEY ONLY AND MUST NOT BE USED TO CONVEY TITLE OR DETERMINE TITLE LINES. THIS DRAWING IS NOT A CERTIFIED SURVEY BUT IS COMPILED FROM EXISTING FIELD SURVEY DATA. THE DRAWING DOES NOT COMPLY WITH MCL 54.211-54.213.
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DESCRIPTION

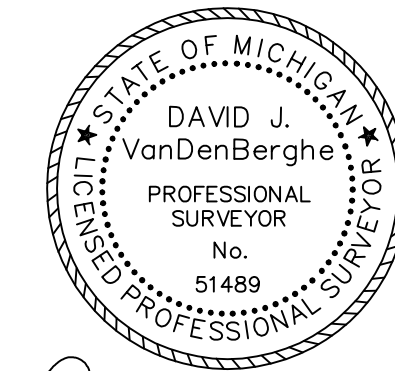
The land referred to in this commitment is described as follows: Township of Hartland, County of Livingston, State of Michigan

Parcel 1
Part of the Southeast 1/4 of Section 27, and part of the Northwest 1/4, Northeast 1/4, Southwest 1/4 and Southeast 1/4 of Section 26, Town 3 North, Range 6 East, Hartland Township, Livingston County, Michigan, described as follows: Beginning at the North 1/4 corner of said Section 26; thence along the North-South 1/4 line of said Section 26, South 0 degrees 35 minutes 39 seconds West, 1330.08 feet (recorded as South 0 degrees 40 minutes 12 seconds West, 1345.70 feet); thence North 89 degrees 45 minutes 22 seconds East 1315.67 feet (recorded as North 89 degrees 19 minutes 54 seconds East 1310.86 feet), along the North, East-West 1/8 line of said Section 26; thence South 0 degrees 24 minutes 04 seconds West 1331.18 feet (recorded as South 0 degrees 10 minutes 44 seconds East, 1326.22 feet), along the East North-South 1/8 line of said Section 26; thence South 0 degrees 00 minutes 04 seconds East 1333.16 feet (recorded as South 0 degrees 24 minutes 58 seconds West 1335.41 feet); thence South 89 degrees 53 minutes 41 seconds East, 661.61 feet (recorded as North 89 degrees 53 minutes 19 seconds East 661.61 feet); thence South 0 degrees 17 minutes 41 seconds West 667.05 feet (recorded as South 0 degrees 12 minutes 44 seconds West 667.80 feet); thence North 89 degrees 49 minutes 14 seconds East 663.99 feet (recorded as North 89 degrees 53 minutes 56 seconds East 663.99 feet) to the East line of Section 26; thence South 0 degrees 03 minutes 33 seconds East 667.90 feet (recorded as South 0 degrees 00 minutes 30 seconds West 667.90 feet), along the East line of Section 26, to the Southeast corner of Section 26; thence South 89 degrees 53 minutes 48 seconds West 2663.29 feet (recorded as South 89 degrees 59 minutes 12 seconds West 2663.94 feet) along the South line of Section 26 to the South 1/4 corner of Section 26; thence North 0 degrees 26 minutes 07 seconds East 1333.83 feet (recorded as North 0 degrees 42 minutes 00 seconds East 1325.28 feet), along the North-South 1/4 line of Section 26; thence South 89 degrees 53 minutes 21 seconds West 1328.36 feet (recorded as South 89 degrees 52 minutes 22 seconds West 1337.00 feet), along the South, East-West 1/8 line of Section 26; thence along said 1/8 line South 89 degrees 53 minutes 21 seconds West 1328.36 feet (recorded as North 89 degrees 36 minutes 19 seconds East 1314.88 feet); thence along the condominium subdivision of "FORESTBROOK HILLS", (Master Deed recorded in Liber 2282, Page 300, Livingston County Records), the following 8 courses, South 0 degrees 03 minutes 45 seconds West 898.78 feet (recorded as South 1 degrees 43 minutes 08 seconds West 908.77 feet) and South 80 degrees 36 minutes 46 seconds West 565.92 feet (recorded as South 82 degrees 6 minutes 15 seconds West 565.92 feet); and South 30 degrees 03 minutes 37 seconds West 308.63 feet (recorded as South 31 degrees 43 minutes 06 seconds West 308.63 feet) and North 89 degrees 56 minutes 16 seconds West 255.42 feet (recorded as North 88 degrees 16 minutes 23 seconds West 255.42 feet) and North 23 degrees 35 minutes 54 seconds East 1438.02 feet (recorded as North 25 degrees 15 minutes 40 seconds East 1438.02 feet) and North 0 degrees 00 minutes 39 seconds West 631.64 feet (recorded as North 1 degrees 38 minutes 50 seconds East 631.64 feet) and North 89 degrees 59 minutes 20 seconds East 56.44 feet (recorded as South 88 degrees 21 minutes 10 seconds East 56.44 feet), and North 0 degrees 42 minutes 28 seconds West 442.46 feet (recorded as North 0 degrees 57 minutes 00 seconds East 442.46 feet); thence South 89 degrees 51 minutes 32 seconds East 564.97 feet (recorded as North 89 degrees 59 minutes 33 seconds East 562.85 feet); thence North 0 degrees 01 minutes 55 seconds East 1035.29 feet; thence North 87 degrees 50 minutes 00 seconds East 549.99 feet; thence North 0 degrees 10 minutes 00 seconds West 458.00 feet; thence South 88 degrees 24 minutes 00 seconds West 300.00 feet; thence North 74 degrees 59 minutes 00 seconds West 486.75 feet; thence North 0 degrees 09 minutes 28 seconds East 520.16 feet along the Easterly line of "HANDY-MAXFIELD SHORES", (recorded in Liber 1, Page 80 of Plats, Livingston County Records); thence North 89 degrees 46 minutes 37 seconds East 757.58 feet (recorded as North 89 degrees 29 minutes 44 seconds East 757.24 feet); thence North 64 degrees 13 minutes 35 seconds East 201.35 feet thence North 64 degrees 50 minutes 30 seconds East 220.96 feet; thence East 493.00 feet; thence North 530.00 feet to the center line of Cundy Road, thence East along said center line, also being the North line of Section 26, 456.00 feet thence South 215.00 feet; thence East 394.00 feet; thence North 215.00 feet to the centerline of Cundy Road; thence East along said center line, also being the North line of Section 26, 210.00 feet to the point of beginning.

Parcel 2
Part of the Southwest 1/4 of Section 23, Town 3 North, Range 6 East, Hartland Township, Livingston County, Michigan, described as beginning at the South 1/4 corner of said Section 23; thence West along the South line of said Section 23 and the center line of Cundy Road, 345.00 feet; thence North 95.45 feet to the Southerly Right-of-Way line of M-59 Highway; thence South 76 degrees 14 minutes 12 seconds East; along said Right-of-Way line, 121.22 feet to a point of curve; thence continuing along said Right-of-Way line and curve to the right, radius of 3985.45 feet, through a central angle of 03 degrees 20 minutes 36 seconds, chord bearing South 77 degrees 54 minutes 30 seconds East, 232.55 feet, on arc distance of 232.56 feet to the North and South 1/4 line of said Section 23; thence South 0 degrees 28 minutes 28 seconds West along said line, 17.94 feet to the point of beginning.

Parcel 3
Outlet B of HANDY MAXFIELD SHORES, as recorded in Liber 1 of Plats, Page 80, Livingston County Records, EXCEPTING THEREFROM that part of said Outlet B which lies Northerly of the following described lines; said lines described as beginning at a point on the West line of said Outlet B, said point bearing South 0 degrees 01 minutes 55 seconds West; 50.00 feet from the Northwest corner of said Outlet B; thence North 88 degrees 01 minutes 55 seconds East, 108.89 feet; thence North 2 degrees 00 minutes 00 seconds East, 5.06 feet; thence North 82 degrees 02 minutes 00 seconds East, 90.88 feet; thence South 0 degrees 01 minutes 55 seconds West; 15.59 feet; thence North 88 degrees 01 minutes 55 seconds East, 21.06 feet to the point on the Easterly line of said Outlet B.

The property described and shown hereon is the same property as described in First American Title Insurance Company commitment number 47-20734141-SCM, dated August 28, 2020.



David J. VanDenBerghe

PROFESSIONAL SURVEYOR

PROFESSIONAL SURVEYOR

PROFESSIONAL SURVEYOR

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TOPOGRAPHIC MAPPING

PREPARED BY:



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Bergmann & Associates

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Hartland Township, MI

SCALE: 1" = 60'

DATE: October 30, 2020

DRAWN BY: JJC

CHECKED BY: DJV

SHEET 3 OF 3

JOB NUMBER: S161-2020

REDWOOD
HARTLAND
TOWNSHIP

HIGHLAND ROAD (M-59)
HARTLAND, MI 48353



7007 E. PLEASANT VALLEY RD
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DATE	DESCRIPTION
5/14/2021	ISSUE FOR PRELIMINARY PLAN REVIEW

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Project Manager: I. GRAHAM, PE	Checked By: I. GRAHAM, PE
Designed By: I. GRAHAM, PE	Drawn By: J. ARSENEAULT
Date Issued: JANUARY 14, 2021	Project Number: 14648.00

PRELIMINARY SITE PLAN

Drawing Number:

C200

GENERAL NOTES:

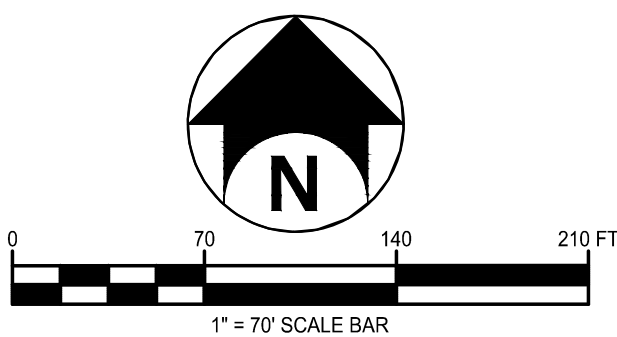
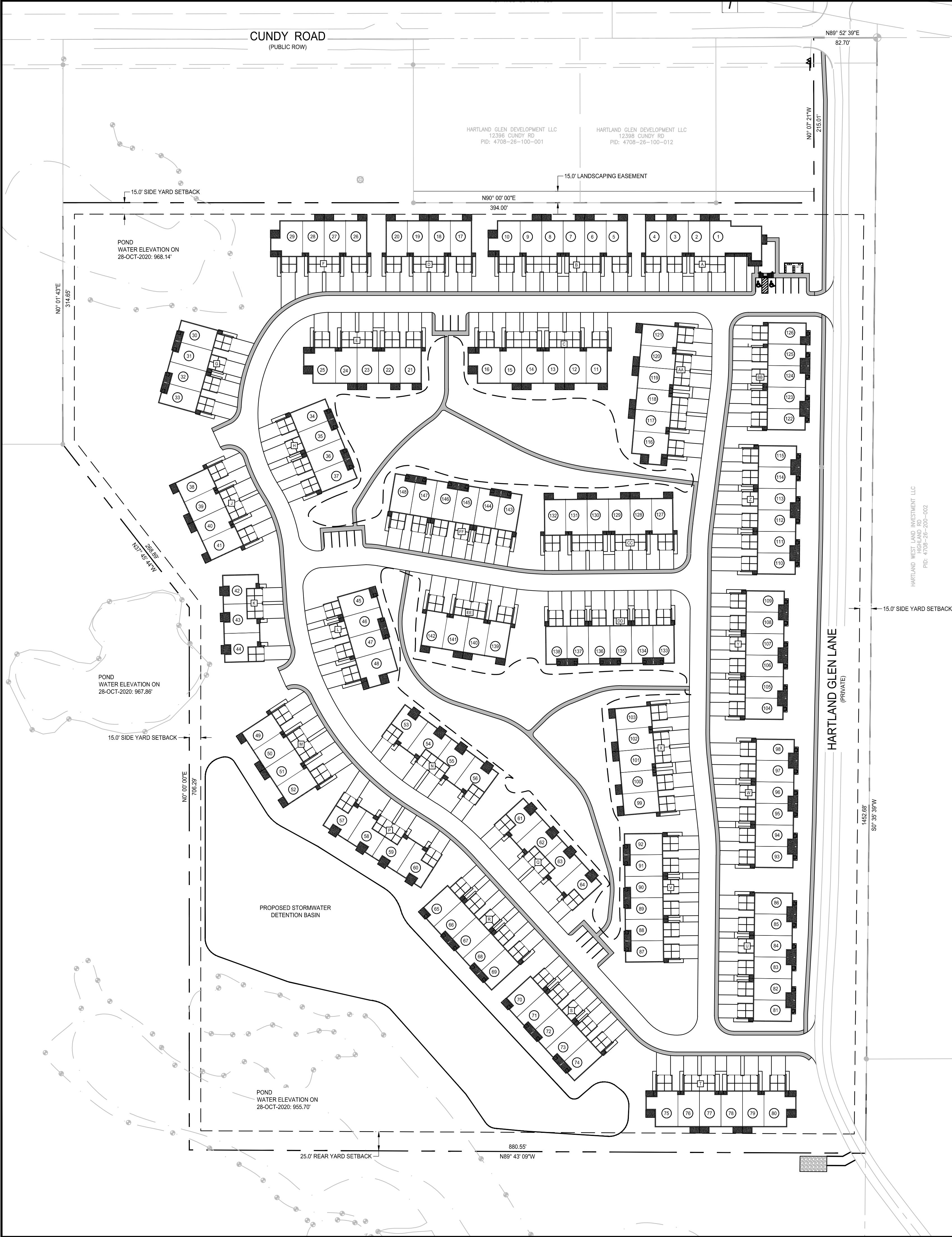
1. THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THESE PLANS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS. THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY.
2. THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 20 OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (OSHA).
3. ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD, DEBRIS ETC. AT ALL TIMES.
4. REFER TO ARCHITECTURAL DRAWINGS FOR PRECISE BUILDING DIMENSIONS.
5. THE CONTRACTOR SHALL CONSULT THE CONSTRUCTION MANAGER BEFORE DEVIATING FROM THESE PLANS.
6. IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE, USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
7. ALL EXISTING SURFACE APPURTENANCES (I.E. WATER VALVES, CATCH BASIN FRAMES AND GRATES, MANHOLE COVERS) WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINISHED GRADE.
8. AREAS DISTURBED OR DAMAGED AS PART OF THIS PROJECT'S CONSTRUCTION THAT ARE OUTSIDE OF THE PRIMARY WORK AREA SHALL BE RESTORED, AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
9. THE CONTRACTOR SHALL CALL "MISS DIG" AT LEAST 3 WORKING DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO CONSTRUCTION.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, ORDINANCES, DESIGN STANDARDS AND STANDARD SPECIFICATIONS OF THE AGENCIES WHICH HAVE THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS INCLUDED IN THESE PLANS.
11. UNLESS SPECIFICALLY STATED, THE CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT PRIOR TO THE BEGINNING OF WORK FROM THE PREVIOUSLY MENTIONED AGENCIES.
12. THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
13. WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY COMPANY AND COORDINATE THE WORK ACCORDINGLY. THERE SHALL BE NO CLAIM MADE BY THE CONTRACTOR FOR ANY COSTS CAUSED BY DELAYS IN CONSTRUCTION DUE TO THE ADJUSTMENT OR RELOCATION OF UTILITIES.
14. THE CONTRACTOR IS TO VERIFY THAT THE PLANS AND SPECIFICATIONS THAT HE/SHE IS BUILDING FROM ARE THE VERY LATEST PLANS AND SPECIFICATIONS THAT HAVE BEEN APPROVED BY ALL APPLICABLE PERMIT-ISSUING AGENCIES AND THE OWNER. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING THE FINAL APPROVAL AND PERMITS HAVING TO BE ADJUSTED OR RE-DONE, SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
15. SHOULD THE CONTRACTOR ENCOUNTER CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT-ISSUING AGENCIES, HE/SHE SHALL SEEK CLARIFICATION IN WRITING FROM THE CONSTRUCTION MANAGER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT THE SOLE EXPENSE TO THE CONTRACTOR.
16. THE CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS FROM APPROVED DRAWINGS.
17. ALL SIGNS AND TRAFFIC CONTROL MEASURES DURING CONSTRUCTION AND MAINTENANCE ACTIVITIES SHALL BE CONSTRUCTED AND INSTALLED PER THE LATEST EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.M.U.T.C.D.).
18. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE STANDARDS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION OR THE AUTHORITY HAVING JURISDICTION.

SITE LEGEND:

- PROPERTY SETBACK LINE
- PROPERTY LINE
- KEY NOTE
- UNIT NUMBER
- BUILDING IDENTIFICATION

SITE DATA:

PARCEL:	08-26-100-019
ZONING:	SITE - CA CONSERVATION AGRICULTURAL* NORTH - CA CONSERVATION AGRICULTURAL EAST - CA CONSERVATION AGRICULTURAL WEST - CA CONSERVATION AGRICULTURAL SOUTH - CA CONSERVATION AGRICULTURAL *- SITE IS PROPOSED TO BE REZONED TO A PLANNED DEVELOPMENT, PD
LOT AREA:	27.13 ACRES
OPEN SPACE:	25% * 27.13 AC = 6.79 ACRES REQUIRED 14.47 ACRES PROVIDED (53%)
USABLE OPEN SPACE:	10% * 27.13 AC = 2.71 ACRES REQUIRED 0.80 AC SIDEWALK AREA + 2.22 AC CENTRAL COMMON AREA = 3.02 ACRES PROVIDED
BUILDING COVERAGE:	30% ALLOWED 21.9% PROPOSED
BUILDING SEPARATION:	REAR TO REAR: 31' SIDE TO SIDE: 20' SIDE TO REAR: 20'
SETBACKS:	FRONT: 50' BUILDING REAR: 25' BUILDING SIDE: 15' BUILDING
UNIT BREAKDOWN:	38 - FORESTWOOD (26%) 19 - MEADOWWOOD (13%) 7 - CAPEWOOD (5%) 15 - WILLOWOOD (10%) 40 - BREEZEWOOD (27%) 29 - HAYDENWOOD (20%) 148 TOTAL UNITS = 5.45 UNITS PER ACRE



REDWOOD
HARTLAND
TOWNSHIP

HIGHLAND ROAD (M-59)
HARTLAND, MI 48353



7007 E. PLEASANT VALLEY RD
INDEPENDENCE, OH 44131



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7050 West Saginaw Hwy.,
Suite 200
Lansing, MI 48917

office: 517.272.9835
fax: 517.272.9836

www.bergmannpc.com

DATE	DESCRIPTION
5/14/2021	ISSUE FOR PRELIMINARY PLAN REVIEW

Not For Construction

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Project Manager: I. GRAHAM, PE	Checked By: I. GRAHAM, PE
Designed By: I. GRAHAM, PE	Drawn By: J. ARSENEAULT
Date Issued: JANUARY 14, 2021	Project Number: 14648.00

NORTH PRELIMINARY SITE
PLAN

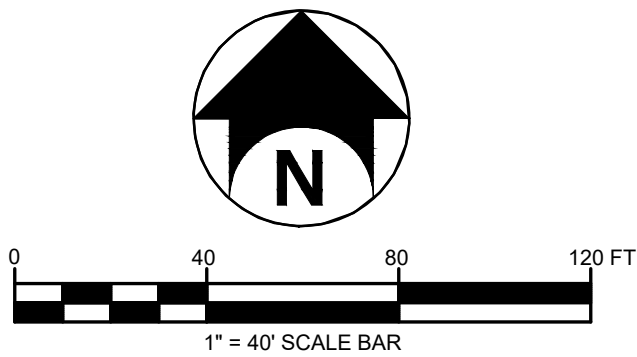
C201

KEY NOTES:

- A. STANDARD, PRIVATE CONCRETE PAVING SECTION WITH INTEGRAL COLORED CONCRETE SIDEWALK (TYP.) SEE DETAIL ON SHEET C700
- B. STANDARD CONCRETE DRIVEWAY, 18' X 25' UNLESS OTHERWISE NOTED.
- C. NOT USED.
- D. AT GRADE, NON-STRUCTURAL PATIO/PORCH (TYP.) REFER TO ARCH. PLANS.
- E. STANDARD PARKING SPACES (10' X 20')
- F. MAIL KIOSK
- G. ADA STRIPING AND SIGNAGE (TYP.)
- H. LEASING OFFICE / MAINTENANCE BUILDING
- I. OPEN SPACE

SITE LEGEND:

- PROPERTY SETBACK LINE
- PROPERTY LINE
- KEY NOTE
- UNIT NUMBER
- BUILDING IDENTIFICATION



HARTLAND GLEN DEVELOPMENT LLC
12396 CUNDY RD
PID: 4708-26-100-001

HARTLAND GLEN DEVELOPMENT LLC
12398 CUNDY RD
PID: 4708-26-100-012



HARTLAND WEST LAND INVESTMENT LLC
HIGHLAND RD.

HARTLAND GLEN LANE
(PRIVATE)

REDWOOD
HARTLAND
TOWNSHIP

HIGHLAND ROAD (M-59)
HARTLAND, MI 48353



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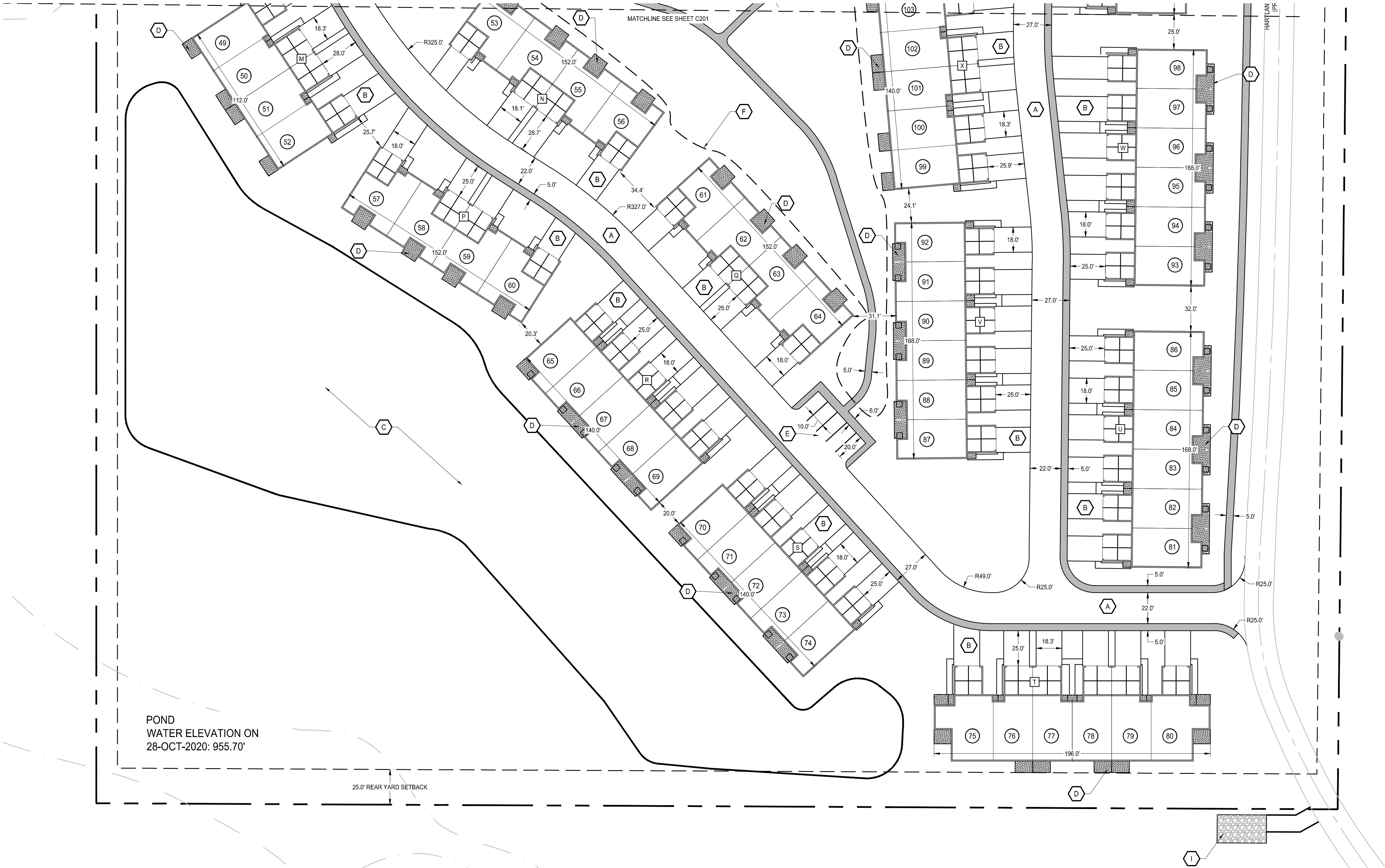
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Project Manager: I. GRAHAM, PE	Checked By: I. GRAHAM, PE
Designed By: I. GRAHAM, PE	Drawn By: J. ARSENEAULT
Date Issued: JANUARY 14, 2021	Project Number: 14648.00

SOUTH PRELIMINARY SITE
PLAN

Drawing Number:

C202

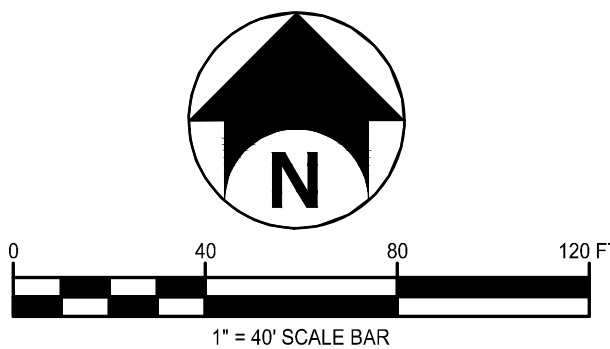


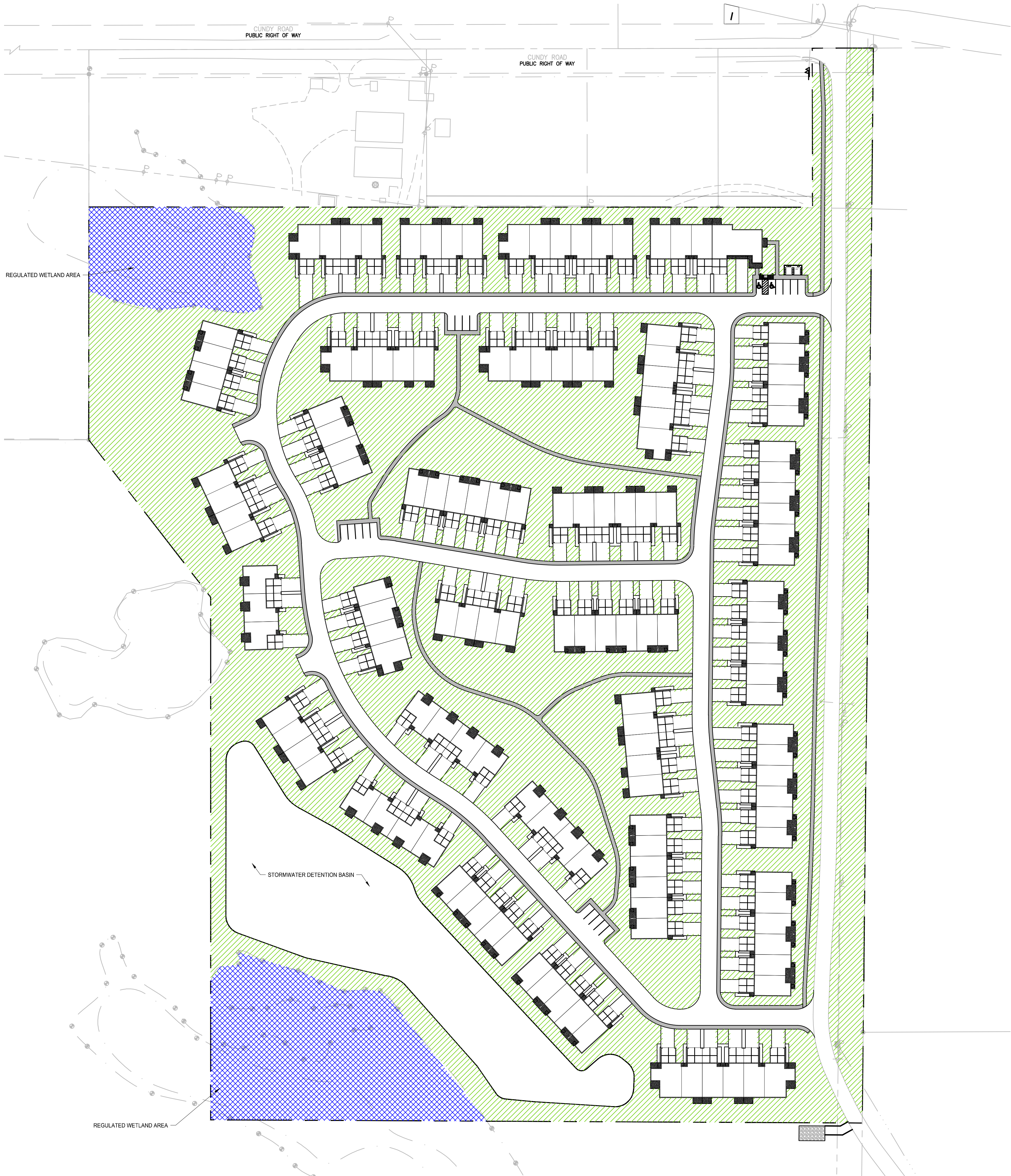
KEY NOTES:

- A. STANDARD, PRIVATE CONCRETE PAVING SECTION WITH INTEGRAL COLORED CONCRETE SIDEWALK (TYP.) SEE DETAIL ON SHEET C700
- B. STANDARD CONCRETE DRIVEWAY, 18' X 25' UNLESS OTHERWISE NOTED.
- C. STORMWATER MANAGEMENT FACILITY
- D. AT GRADE, NON-STRUCTURAL PATIO/PORCH (TYP.) REFER TO ARCH. PLANS.
- E. STANDARD PARKING SPACES (10' X 20')
- F. OPEN SPACE
- G. NOT USED.
- H. NOT USED.
- I. LIFT STATION

SITE LEGEND:

- PROPERTY SETBACK LINE
- PROPERTY LINE
- KEY NOTE
- UNIT NUMBER
- BUILDING IDENTIFICATION





OPEN SPACE		
TOTAL PARCEL AREA	27.13	AC
REQUIRED OPEN SPACE	6.79	AC
REQUIRED USABLE OPEN SPACE	2.71	AC
LAWN AREA	11.35	AC
SIDEWALK AREA	0.80	AC
DETENTION POND AREA	1.87	AC
WETLAND AREA	2.02	AC
TOTAL USABLE OPEN SPACE (LAWN AREA + SIDEWALK AREA) =	12.15	AC
TOTAL OPEN SPACE (LAWN AREA + SIDEWALK AREA + DETENTION POND + WETLANDS) =	16.02	AC

SITE LEGEND:

- PROPERTY SETBACK LINE
- PROPERTY LINE
- USABLE OPEN SPACE AREA
- REGULATED WETLAND AREA
- PROPOSED SIDEWALK

1" = 70' SCALE BAR

REDWOOD HARTLAND TOWNSHIP

HIGHLAND ROAD (M-59)
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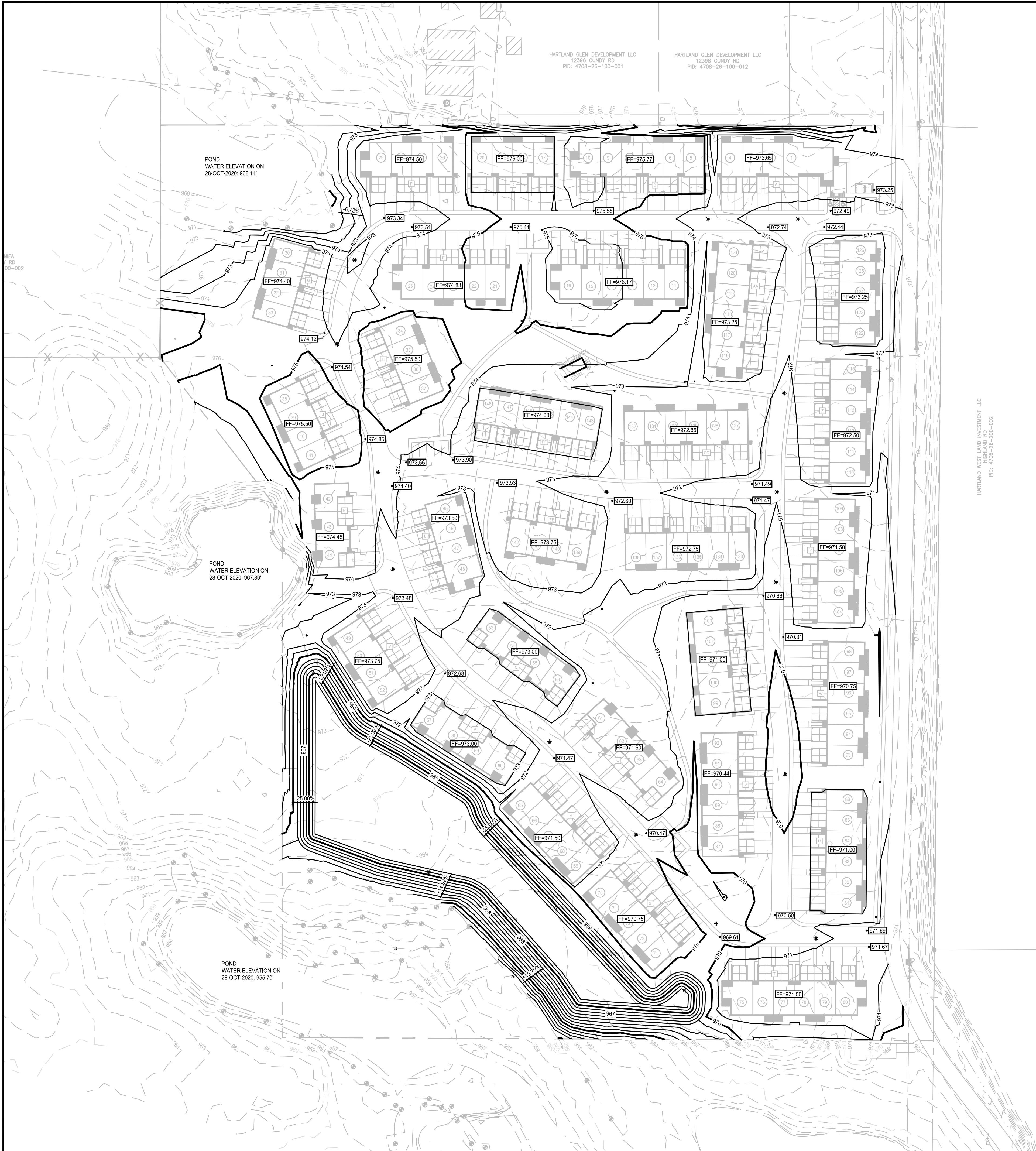
Project Manager: I. GRAHAM, PE	Checked By: I. GRAHAM, PE
Designed By: I. GRAHAM, PE	Drawn By: J. ARSENEAULT
Date Issued: JANUARY 14, 2021	Project Number: 14648.00

OPEN SPACE PLAN

Drawing Number:

C203

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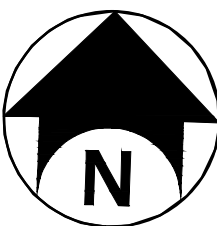


GRADING NOTES

1. REFER TO EROSION AND SEDIMENT CONTROL PLAN FOR REQUIRED EROSION AND SEDIMENT CONTROL MEASURES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROL MEASURES. MEASURES SHALL NOT BE REMOVED BEFORE VEGETATION HAS OCCURRED COMPLETELY.
3. ALL SILT FENCE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED AT A MINIMUM OF EVERY 3 MONTHS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
5. SILT FENCE, JUTE MESH, AND/OR EROSION CONTROL BLANKETS WILL BE USED ON STEEP SLOPES AND WHEREVER NECESSARY TO CONTROL EROSION AND SILTATION OF EXISTING DRAINAGE SYSTEMS AS ORDERED BY THE ENGINEER OR SPECIFIED ON PLANS.
6. THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HISHER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
7. ALL DISTURBED AREAS SHALL BE PROTECTED FROM EROSION EITHER BY MULCH OR TEMPORARY SEEDING WITHIN 2 WEEKS OF DISTURBANCE.
8. ALL SITE GRADING MUST BE PERFORMED TO INSURE POSITIVE DRAINAGE ACROSS THE ENTIRE SITE, THROUGHOUT THE PERIOD OF CONSTRUCTION AND AFTER PROJECT COMPLETION.
9. ALL SEDIMENTATION AND SOIL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF SITE GRADING AND MUST CONFORM TO PART 91 OF ACT 451 OF THE PUBLIC ACTS OF 1994 AS AMENDED. ALL APPLICABLE PERMITS SHALL BE OBTAINED BEFORE IMPLEMENTING THESE MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SEDIMENTATION AND SOIL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
10. IN GENERAL, EARTHWORK AND PAVEMENT CONSTRUCTION SHOULD BE PERFORMED IN ACCORDANCE WITH THE LATEST MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED.
11. REMOVE ANY EXISTING TOPSOIL, ORGANIC SOILS, UNSUITABLE FILL, VEGETATION, TREES OR OTHER DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE SOIL. TREE ROOTS SHOULD BE COMPLETELY REMOVED.
12. EXCAVATE TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE RECOMMENDED PAVEMENT SYSTEM.
13. ON SITE FILL MATERIAL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON SITE MATERIAL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
14. THE FINAL SUBGRADE SHOULD BE THOROUGHLY PROCTOROLLED USING A LOADED TANDEM AXLE TRUCK UNDER THE OBSERVATION OF GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
15. THE AGGREGATE BASE SHOULD BE COMPACTED TO ACHIEVE A MINIMUM OF 95 PERCENT OF THE MAXIMUM MODIFIED PROCTOR DRY DENSITY. THE BASE AND SUBGRADE COMPACTION SHOULD EXTEND A MINIMUM OF 12 INCHES BEYOND THE PAVED EDGE OR BACK OF CURB.

GRADING LEGEND:

- 75' PROPOSED MAJOR CONTOUR
- 76' PROPOSED MINOR CONTOUR
- TC=78.01 PROPOSED TOP OF CURB / BOTTOM OF CURB ELEVATION
- BC=77.51 PROPOSED TOP OF WALL / BOTTOM OF WALL
- XTW/BW=152.50 PROPOSED SPOT ELEVATION
- 77.73 EXISTING ELEVATION
- EG=77.73 PROPOSED HIGH POINT ELEVATION
- HP=77.73 PROPOSED TOP OF GRATE ELEVATION
- TG=77.73 FINISHED FLOOR ELEVATION
- FF=77.73 PROPOSED SLOPE
- 2.5% PROPOSED SLOPE
- 72- EXISTING CONTOUR
- RIDGE LINE



REDWOOD HARTLAND TOWNSHIP

HIGHLAND ROAD (M-59)
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PRELIMINARY GRADING PLAN

Drawing Number:

C300

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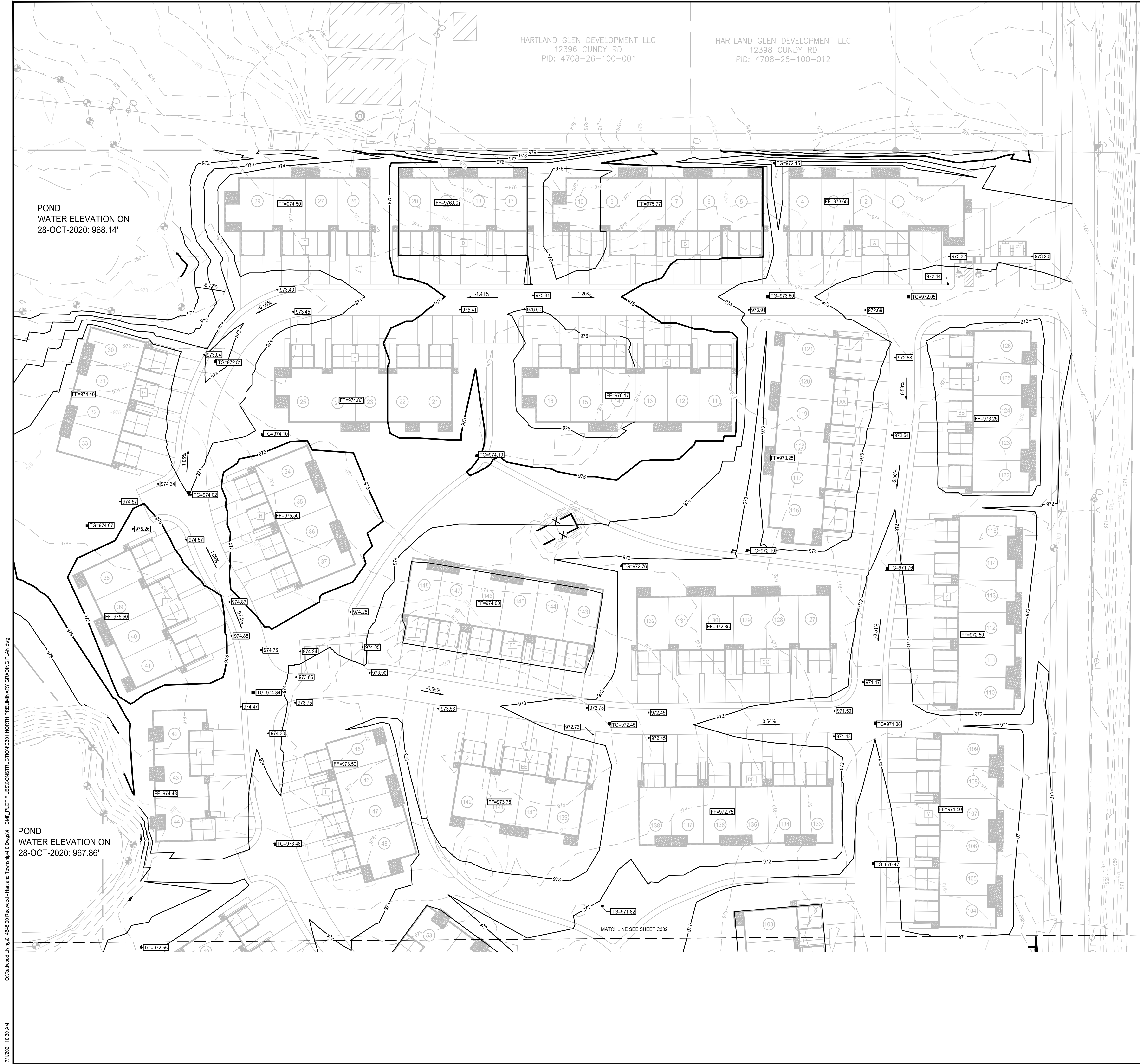
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NORTH PRELIMINARY
GRADING PLAN

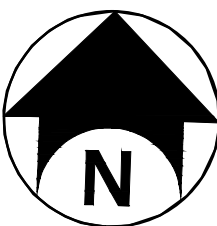
Drawing Number:

C301



GRADING LEGEND:

- 75' PROPOSED MAJOR CONTOUR
- 76' PROPOSED MINOR CONTOUR
- TC=78.01 PROPOSED TOP OF CURB / BOTTOM OF CURB ELEVATION
- BC=77.51 PROPOSED TOP OF WALL / BOTTOM OF WALL
- XTW/BW=152.50 PROPOSED SPOT ELEVATION
- 77.73 EXISTING ELEVATION
- EG=77.73 PROPOSED HIGH POINT ELEVATION
- HP=77.73 PROPOSED TOP OF GRATE ELEVATION
- TG=77.73 FINISHED FLOOR ELEVATION
- FF=77.73 PROPOSED SLOPE
- 2.5% PROPOSED SLOPE
- 72- EXISTING CONTOUR
- RIDGE LINE



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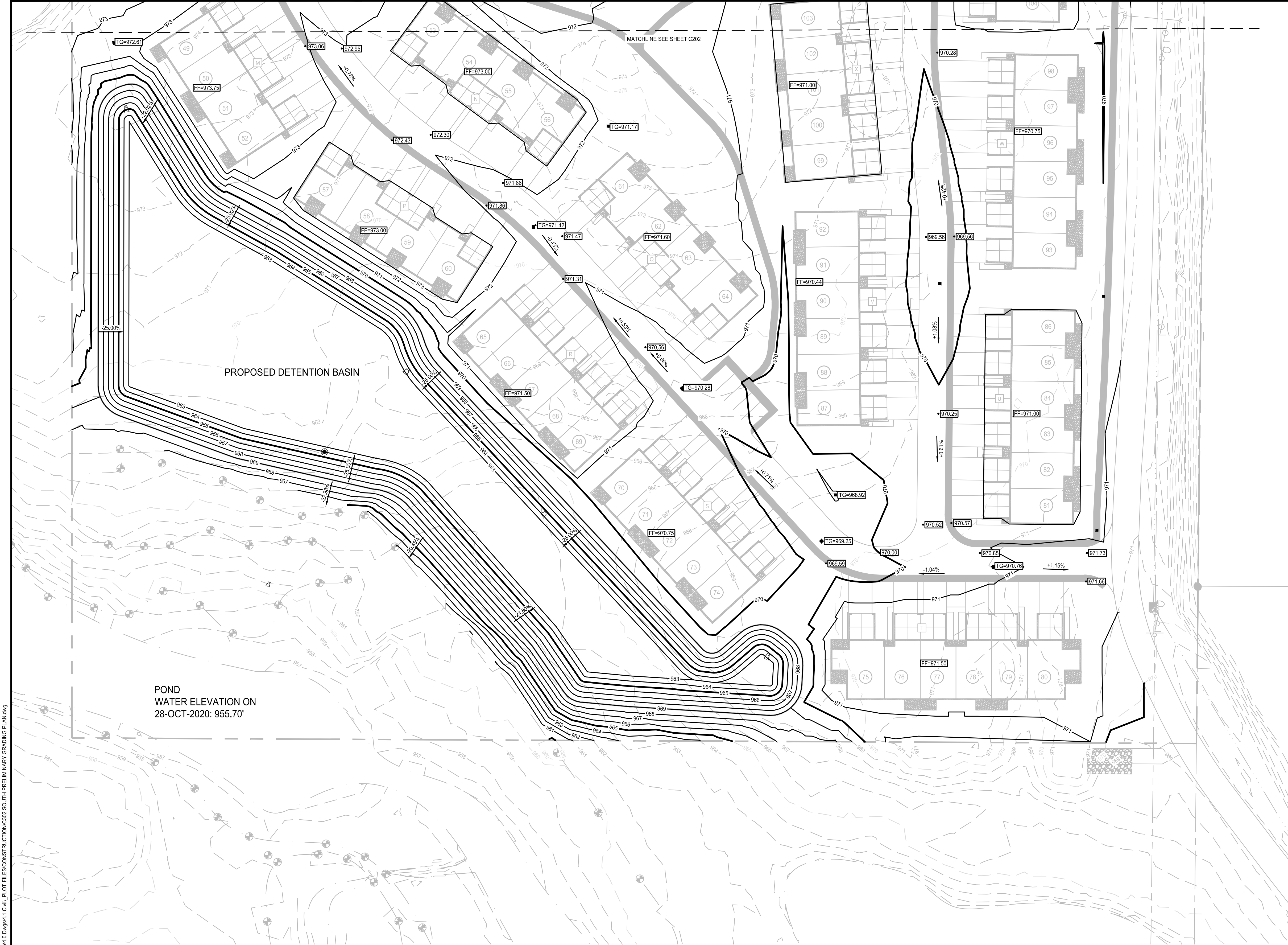
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SOUTH PRELIMINARY
GRADING PLAN

C302

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GRADING LEGEND:

- 75- PROPOSED MAJOR CONTOUR
- 76- PROPOSED MINOR CONTOUR
- TC=78.01 PROPOSED TOP OF CURB / BOTTOM OF CURB ELEVATION
- BC=77.51 PROPOSED TOP OF WALL / BOTTOM OF WALL
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UTILITY NOTES:

1. ALL WORKMANSHIP, MATERIALS, AND CONSTRUCTION PRACTICES SHALL CONFORM TO THE REQUIREMENTS OF HARTLAND TOWNSHIP OR THE AGENCY HAVING JURISDICTION OVER THE APPLICABLE UTILITY.
2. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
3. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
4. CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
5. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS THE CONFLICT IS DISCOVERED.
6. TOPS OF EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED TO FINISHED GRADE.
7. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
8. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE CONSTRUCTION REQUIREMENTS OF THE UTILITY OWNERS.
9. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
10. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
11. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION AND ELEVATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
12. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.
13. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
14. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING PIPE SIZES AND INVERTS ELEVATIONS BEFORE ORDERING MANHOLE AND CATCH BASIN STRUCTURES.
15. ALL UTILITIES BELOW PAVED AREAS SHALL BE BACKFILLED WITH 100% GRANULAR MATERIAL (OR APPROVED OTHER) AND COMPACTED TO 95% OF ITS MAXIMUM UNIT WEIGHT.
16. ALL RIM ELEVATIONS IN OUTLAIN AREAS ARE APPROXIMATE ONLY AND SHALL BE ADJUSTED BY THE CONTRACTOR AFTER FINAL GRADES ARE ESTABLISHED.

UTILITY LEGEND:

	RIPRAP
	STORM SEWER
	YARD BASIN
	CATCH BASIN
	STORM MANHOLE
	HYDRANT
	VALVE/CURB BOX
	P.I.V.
	WATER MAIN
	SANITARY SEWER
	SANITARY SEWER MANHOLE
	CLEANOUT
	ELECTRIC
	GAS
	UTILITY CROSSING
	SANITARY FORCEMAIN

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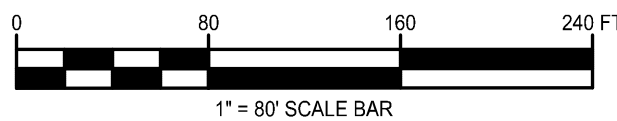
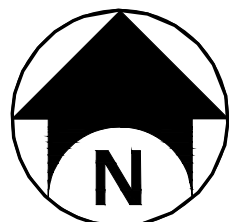
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PRELIMINARY UTILITY PLAN

Drawing Number:

C400



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SANITARY STRUCTURE TABLE	
STRUCTURE NAME:	STRUCTURE INFORMATION:
H	RIM = 971.48 INV IN = 965.45 W 8" INV IN = 965.70 N 8" INV OUT = 965.60 S 8"
I	RIM = 972.66 INV IN = 967.52 W 8" INV OUT = 967.42 E 8"
J	RIM = 975.01 INV IN = 968.93 NW 8" INV IN = 970.80 SW 6" INV IN = 969.93 SW 6" INV OUT = 968.87 E 8"
K	RIM = 974.43 INV IN = 968.79 W 6" INV OUT = 969.62 SE 8"
L	RIM = 972.57 INV IN = 966.56 N 8" INV OUT = 966.46 S 8"
M	RIM = 972.70 INV IN = 967.40 W 8" INV OUT = 967.30 S 8"
N	RIM = 974.86 INV IN = 968.39 W 8" INV OUT = 968.29 E 8"
O	RIM = 974.31 INV IN = 965.74 N 6" INV OUT = 969.29 E 8"
P	RIM = 972.16 INV IN = 969.52 S 4" INV OUT = 969.36 N 8"

STORM STRUCTURE TABLE	
STRUCTURE NAME:	STRUCTURE INFORMATION:
13	RIM = 971.83
	INV IN = 963.85 N 24"
	INV IN = 965.64 E 10"
	INV OUT = 963.35 S 30"
14	RIM = 970.46
	INV IN = 966.21 N 15"
	INV OUT = 966.21 W 15"
15	RIM = 971.97
	INV OUT = 966.50 S 15"
16	RIM = 972.43
	INV IN = 964.04 N 24"
	INV OUT = 964.04 S 24"
19	RIM = 973.46
	INV IN = 969.20 N 15"
	INV OUT = 969.20 SW 15"
20	RIM = 974.32
	INV OUT = 970.00 S 15"
21	RIM = 972.71
	INV IN = 966.20 N 18"
	INV IN = 966.20 NW 18"
	INV OUT = 965.70 S 24"
22	RIM = 974.74
	INV IN = 968.10 W 18"
	INV OUT = 966.50 SE 18"
23	RIM = 974.10
	INV IN = 968.70 NW 15"
	INV IN = 968.70 SW 15"
	INV OUT = 968.45 E 18"
24	RIM = 973.97
	INV IN = 971.33 W 12"
25	INV OUT = 970.32 NE 15"
25	RIM = 974.08
	INV OUT = 972.14 E 12"
26	RIM = 972.80
	INV OUT = 968.68 SE 15"
27	RIM = 972.05
	INV IN = 967.88 N 18"
	INV IN = 968.20 E 12"
	INV OUT = 967.88 W 18"
28	RIM = 971.74
	INV OUT = 968.98 W 12"
29	RIM = 973.43
	INV IN = 967.50 E 15"
	INV IN = 968.35 N 12"
	INV OUT = 968.35 S 18"
30	RIM = 972.04
	INV OUT = 967.79 W 15"
31	RIM = 972.12
	INV OUT = 969.74 S 12"

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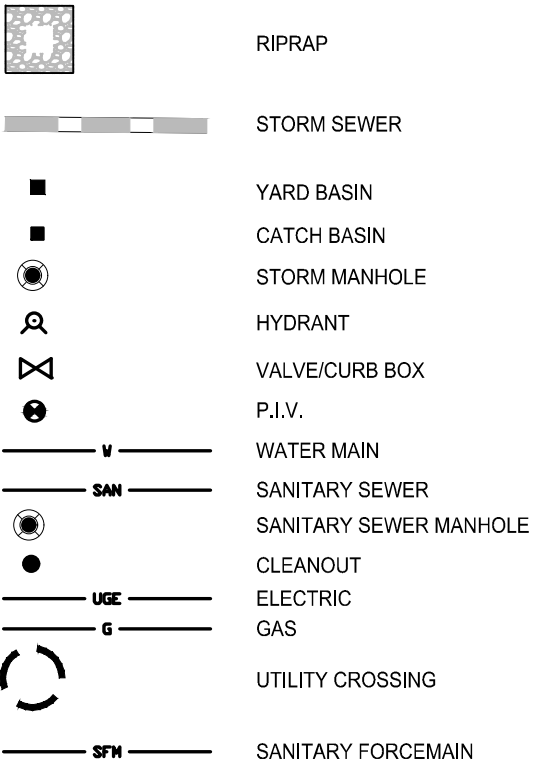
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NORTH PRELIMINARY UTILITY PLAN

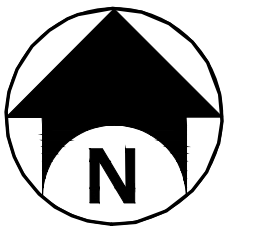
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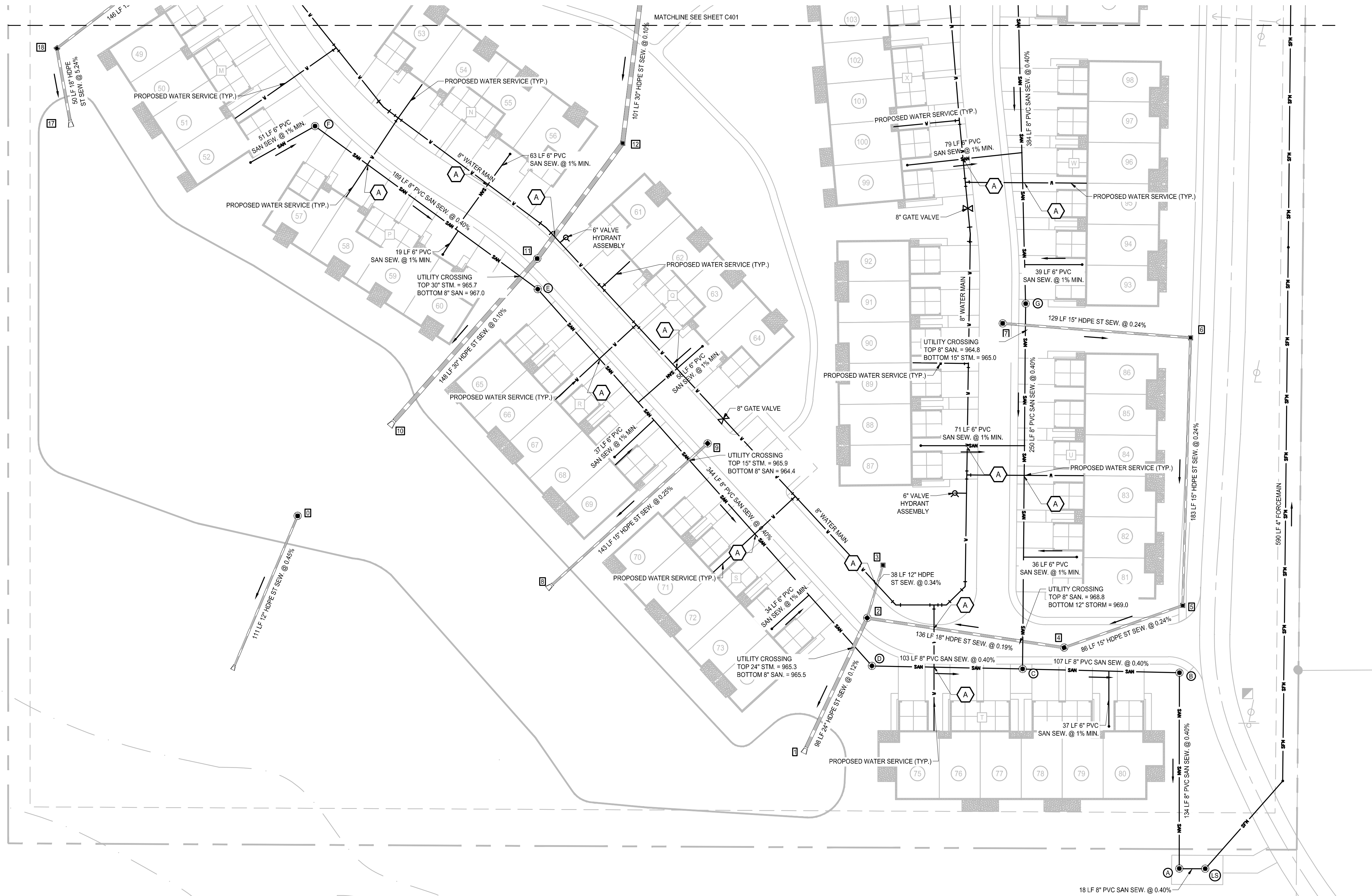


KEY NOTES:

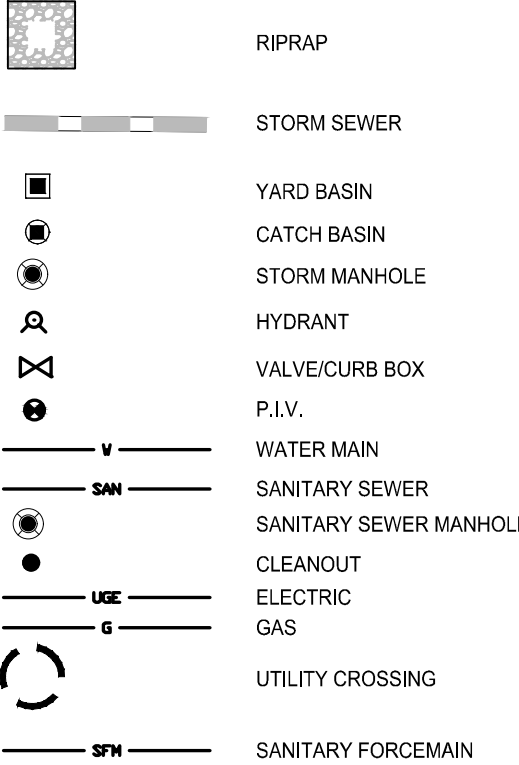
A. MAINTAIN MINIMUM 18" VERTICAL SEPARATION BETWEEN WATER MAIN AND SEWER.



7/1/2021 10:51 AM C:\Redwood Living\2014648.00 Redwood - Hartland Township\4.0 Dwg\4.1 Civil_PLOT FILES\CONSTRUCTION\C402 SOUTH PRELIMINARY UTILITY PLAN.dwg



UTILITY LEGEND:



KEY NOTES:

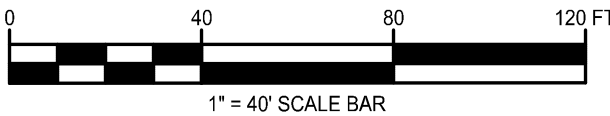
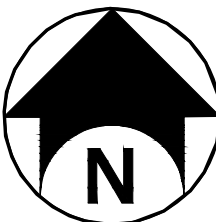
A. MAINTAIN MINIMUM 18" VERTICAL SEPARATION BETWEEN WATER MAIN AND SEWER.

SANITARY STRUCTURE TABLE

STRUCTURE NAME:	STRUCTURE INFO:
A	RIM = 970.25 INV IN = 961.82 N 8" INV OUT = 961.72 E 8"
B	RIM = 971.50 INV IN = 962.46 W 8" INV OUT = 962.36 S 8"
C	RIM = 970.76 INV IN = 965.18 W 8" INV IN = 962.59 N 8" INV OUT = 962.69 E 8"
D	RIM = 969.69 INV IN = 965.69 NW 8" INV OUT = 965.59 E 8"
E	RIM = 971.47 INV IN = 967.65 NW 8" INV OUT = 967.05 SE 8"
F	RIM = 972.72 INV IN = 968.75 SW 6" INV OUT = 968.40 SE 8"
G	RIM = 969.68 INV IN = 964.09 N 8" INV OUT = 963.98 S 8"
LS	RIM = 969.00 INV IN = 961.65 W 8" INV OUT = 961.84 NE 4"

STORM STRUCTURE TABLE

STRUCTURE NAME:	STRUCTURE INFO:
Structure - (193)	RIM = ??? INV IN = 961.50 NE 12"
0	RIM = 964.00 INV OUT = 962.00 SW 12"
1	RIM = 963.78 INV IN = 963.00 NE 24"
2	RIM = 969.23 INV IN = 964.12 N 12" INV IN = 963.62 E 18" INV OUT = 963.12 SW 24"
3	RIM = 968.90 INV OUT = 964.25 S 12"
4	RIM = 970.74 INV IN = 964.13 E 15" INV OUT = 963.88 W 18"
5	RIM = 970.26 INV IN = 964.34 N 15" INV OUT = 964.34 W 15"
6	RIM = 970.04 INV IN = 964.78 W 15" INV OUT = 964.78 S 15"
7	RIM = 969.16 INV OUT = 965.09 E 15"
8	RIM = 965.00 INV IN = 964.00 NE 15"
9	RIM = 970.28 INV OUT = 964.36 SW 15"
10	RIM = 964.01 INV IN = 963.00 NE 30"
11	RIM = 971.38 INV IN = 963.15 NE 30" INV OUT = 963.15 SW 30"
12	RIM = 971.17 INV IN = 963.25 N 30" INV OUT = 963.25 SW 30"
17	RIM = 965.59 INV IN = 965.13 N 18"
18	RIM = 972.57 INV IN = 968.00 NE 15" INV OUT = 967.75 S 18"



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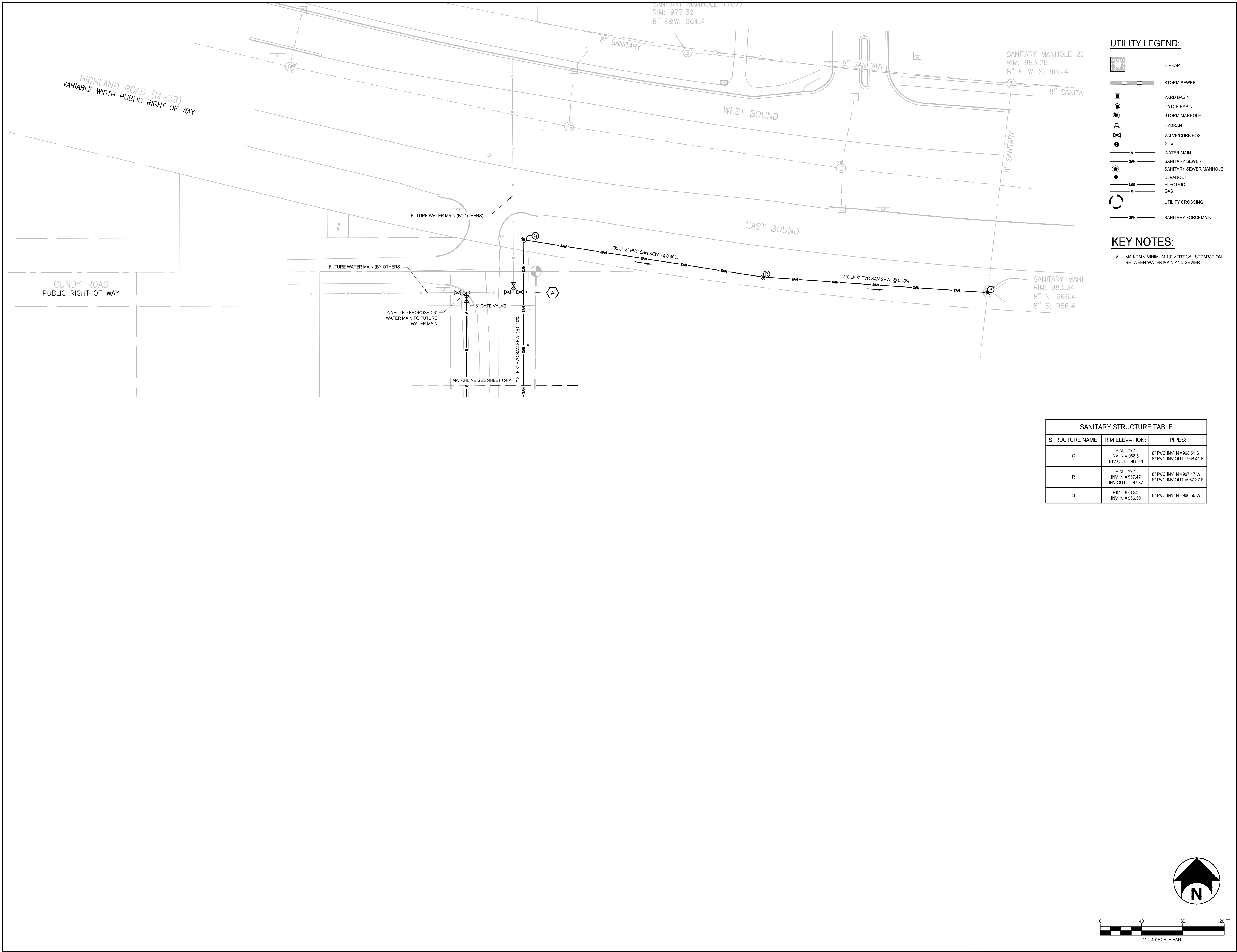
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SOUTH PRELIMINARY UTILITY
PLAN

Drawing Number:

C402

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Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C.
7050 West Saginaw Hwy.,
Suite 200
Lansing, MI 48917

office: 517.272.9835
fax: 517.272.9836

www.bergmannnpc.com

DATE	DESCRIPTION
5/14/2021	ISSUE FOR PRELIMINARY PLAN REVIEW

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Project Manager: I. GRAHAM, PE	Checked By: I. GRAHAM, PE
Designed By: I. GRAHAM, PE	Drawn By: J. ARSENEAULT
Date Issued: JANUARY 14, 2021	Project Number: 14648.00

OFF-SITE PRELIMINARY UTILITY PLAN

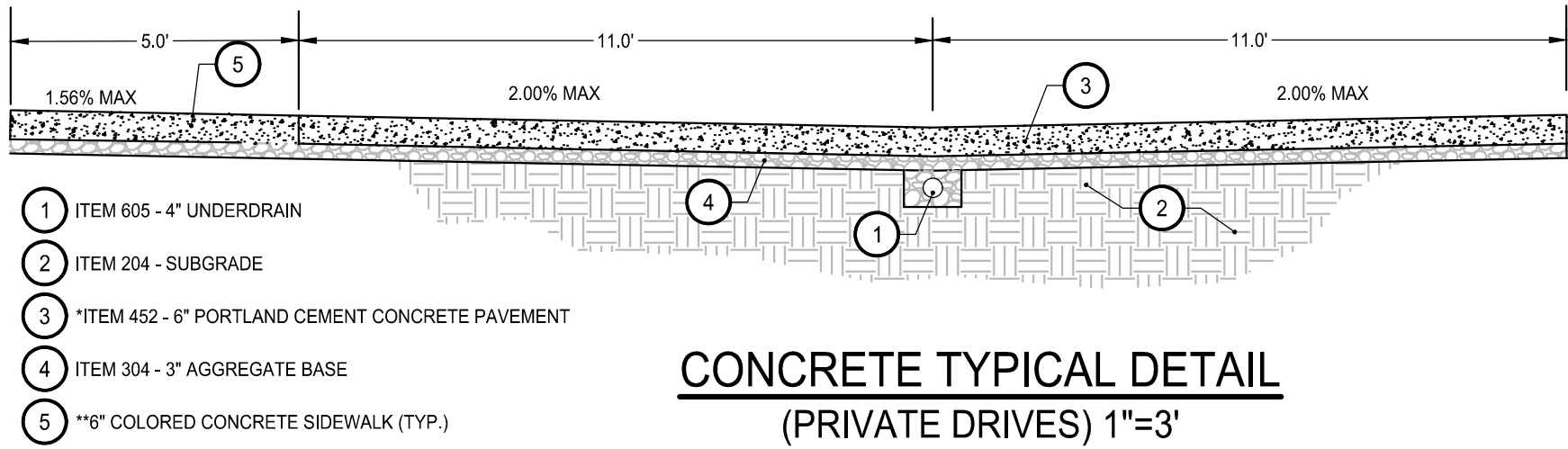
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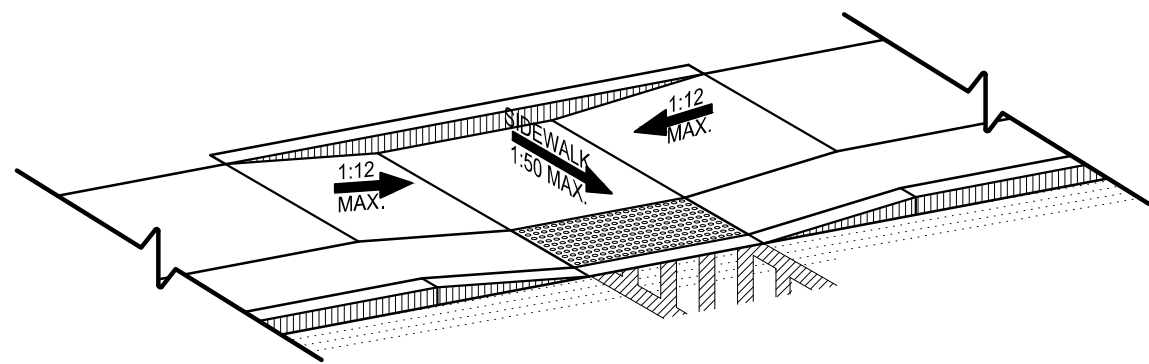
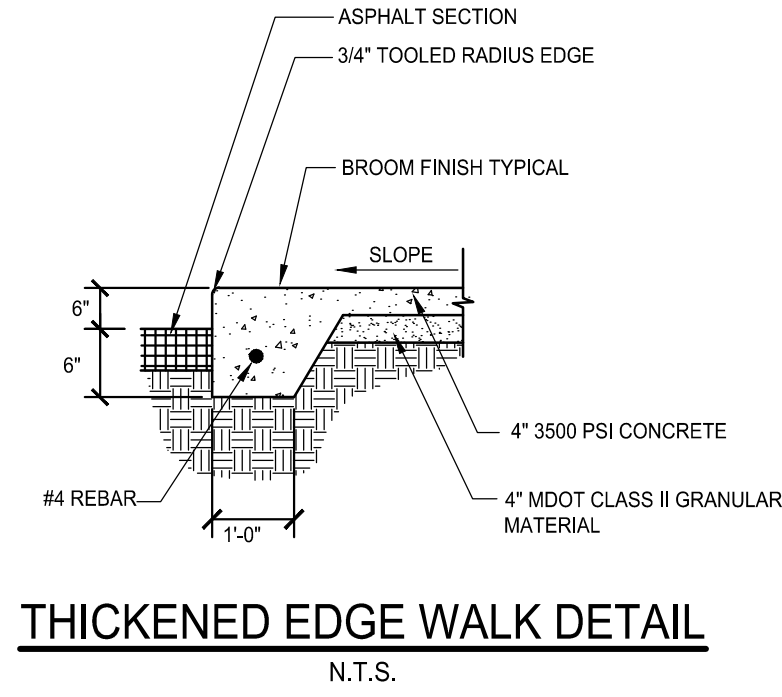
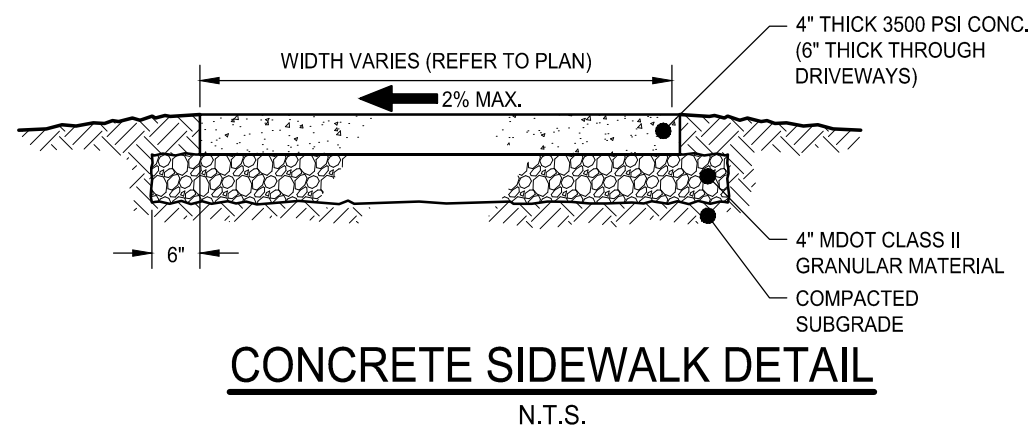
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1" = 40' SCALE BAR

77

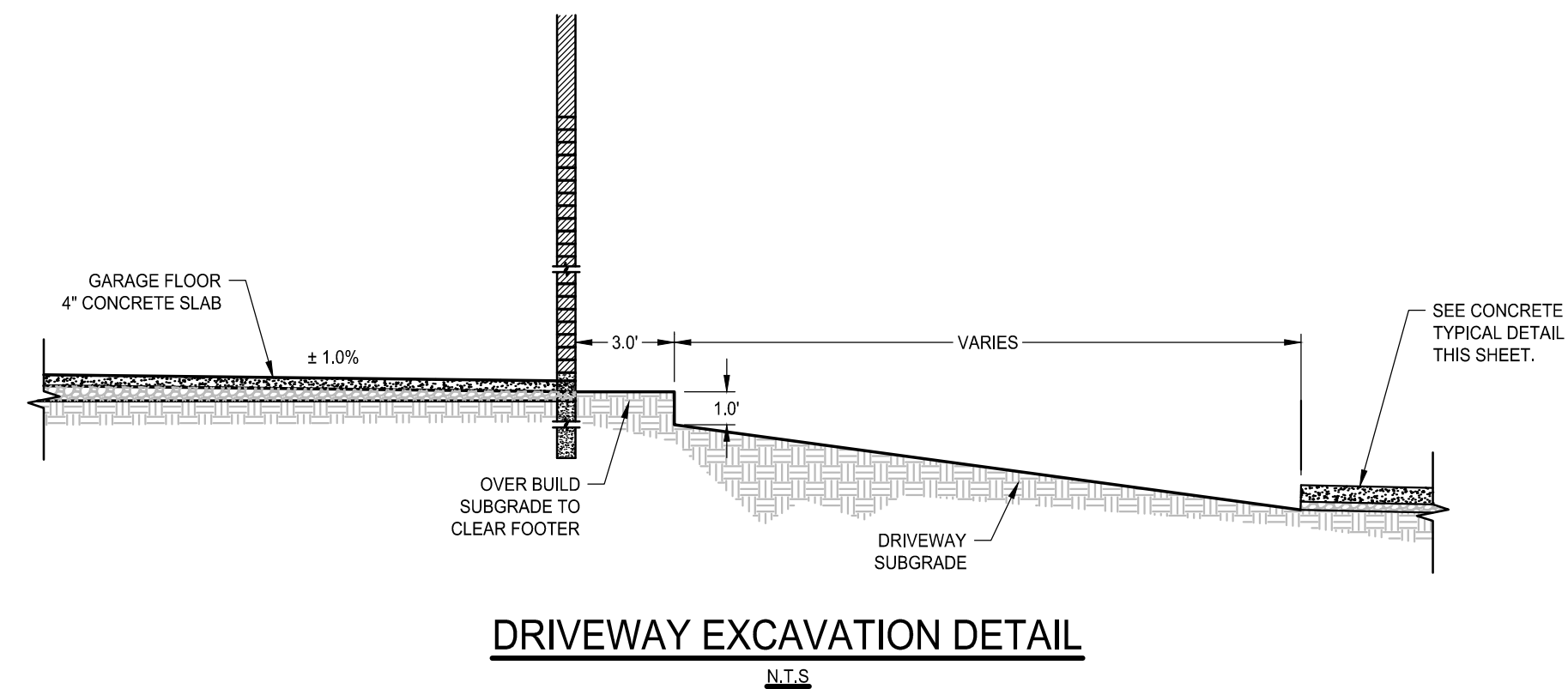
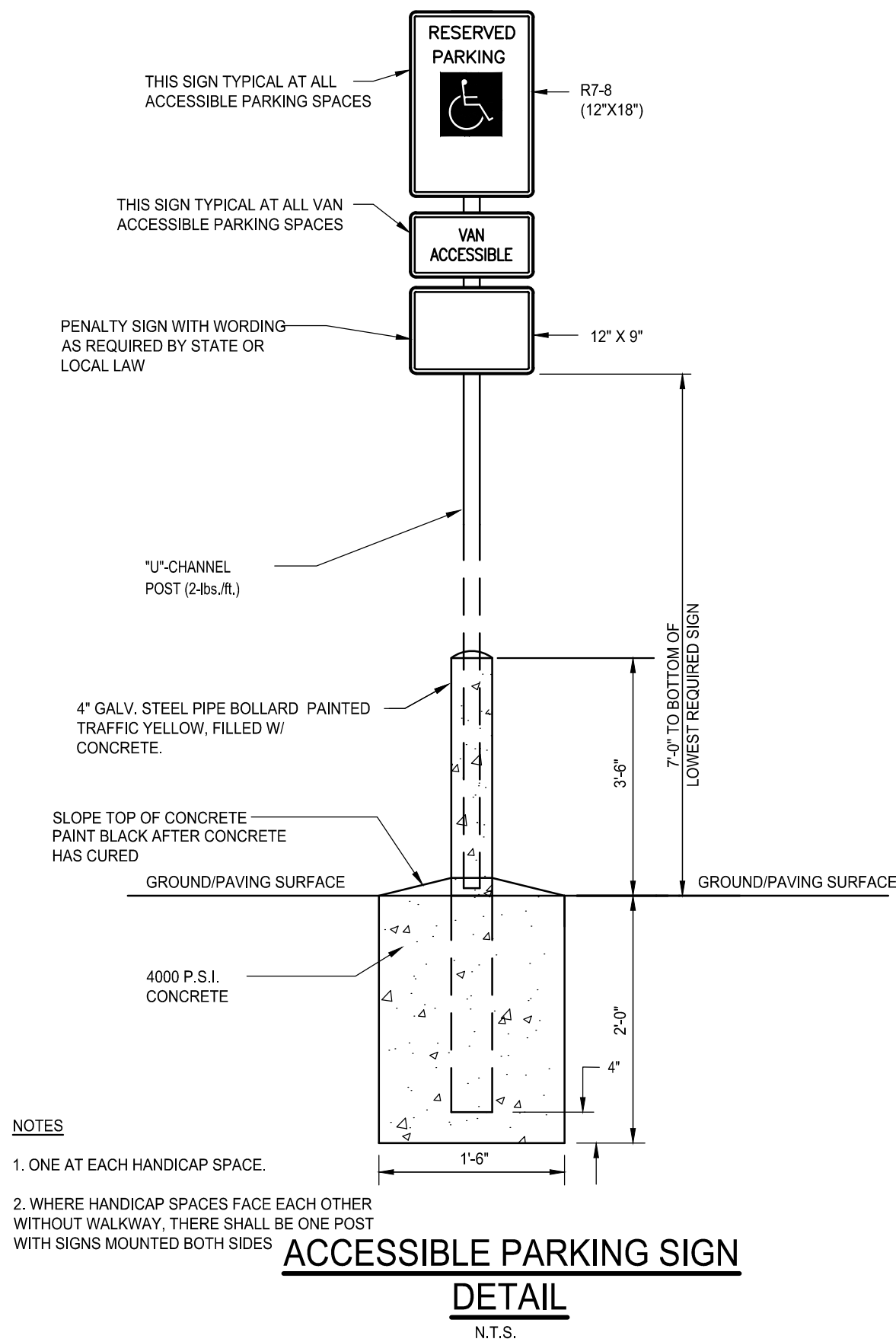
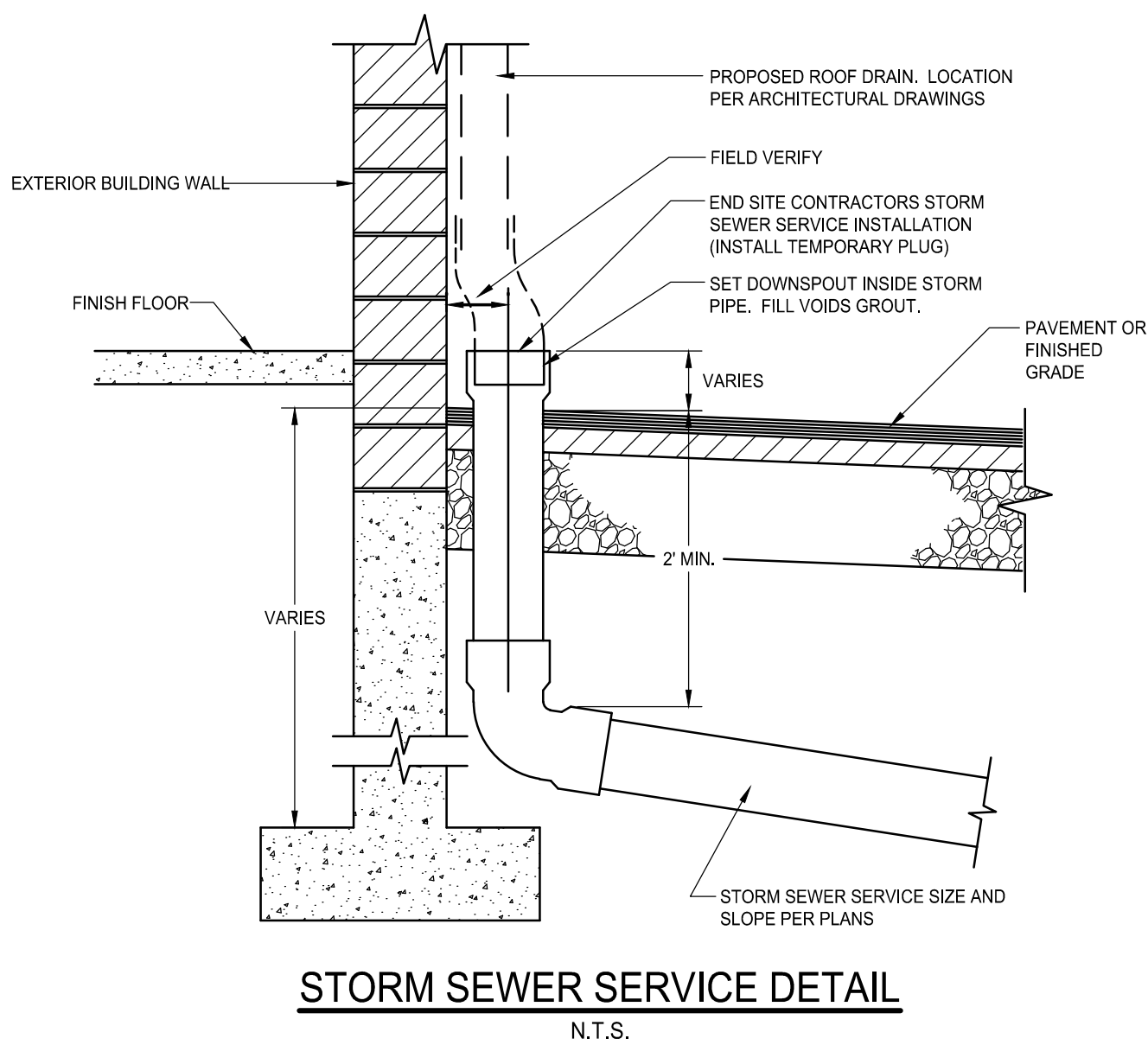
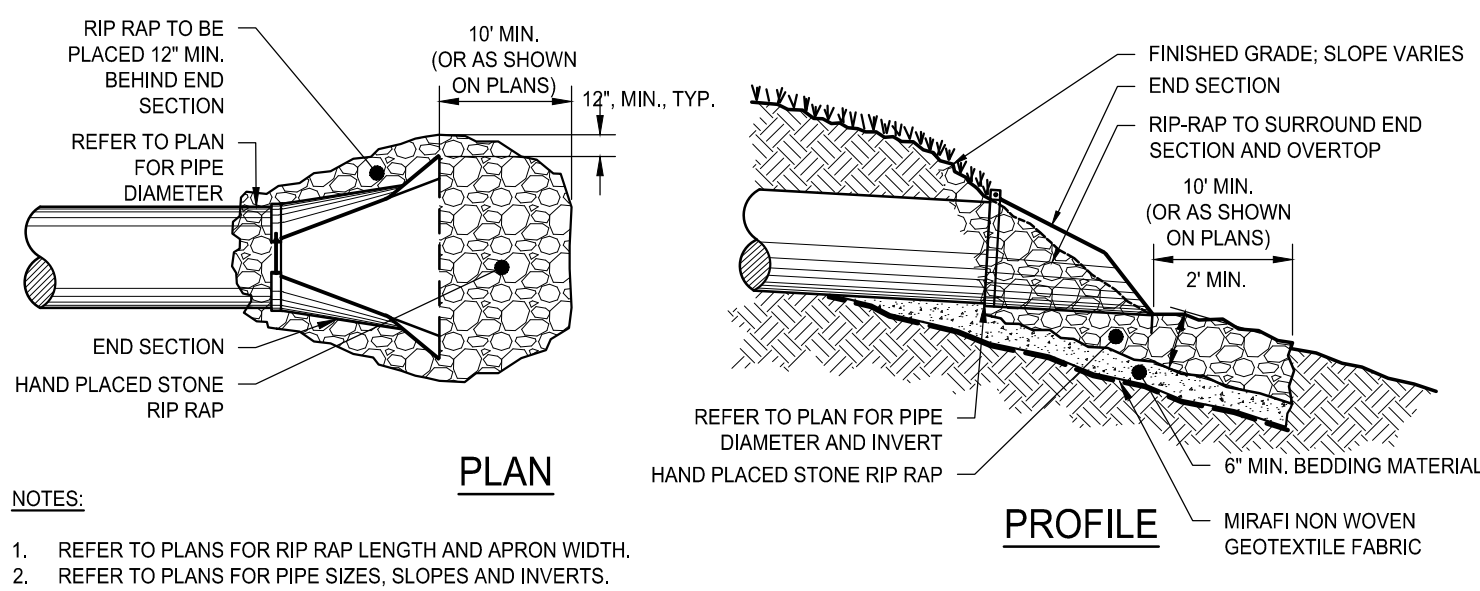
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7/1/2021 10:59 AM



- * USE 8" PORTLAND CEMENT CONCRETE PAVEMENT WITHIN THE PUBLIC R.O.W. OR UNLESS OTHERWISE SPECIFIED
** CONTRACTOR TO COORDINATE WITH OWNER ON COLOR SPECIFICATIONS.



ACCESSIBLE RAMPS
N.T.S.



REDWOOD HARTLAND TOWNSHIP

HIGHLAND ROAD (M-59)
HARTLAND, MI 48353



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INDEPENDENCE, OH 44131



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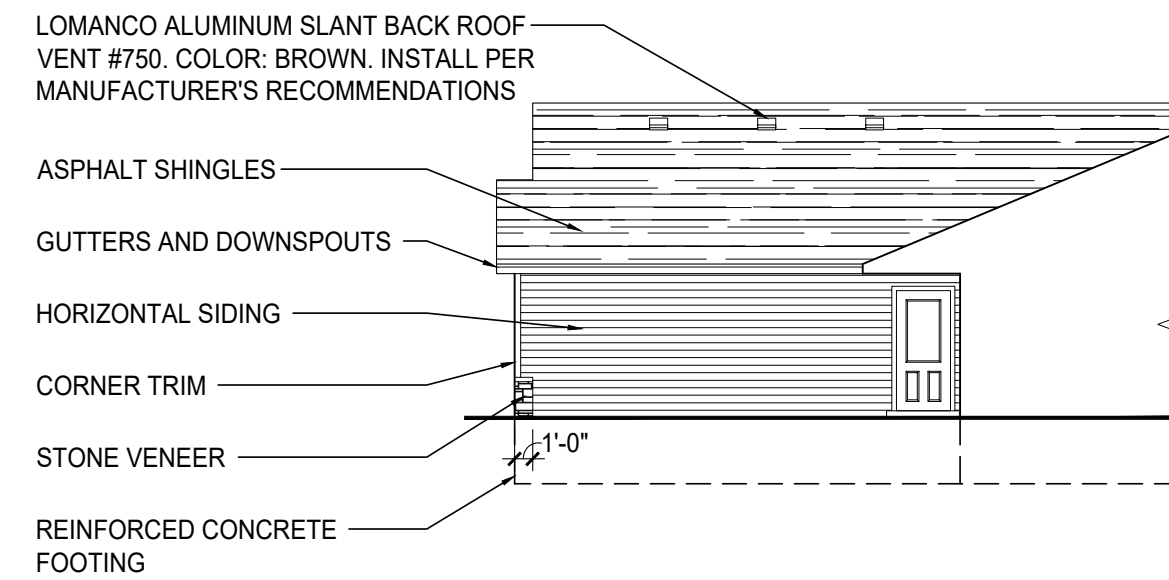
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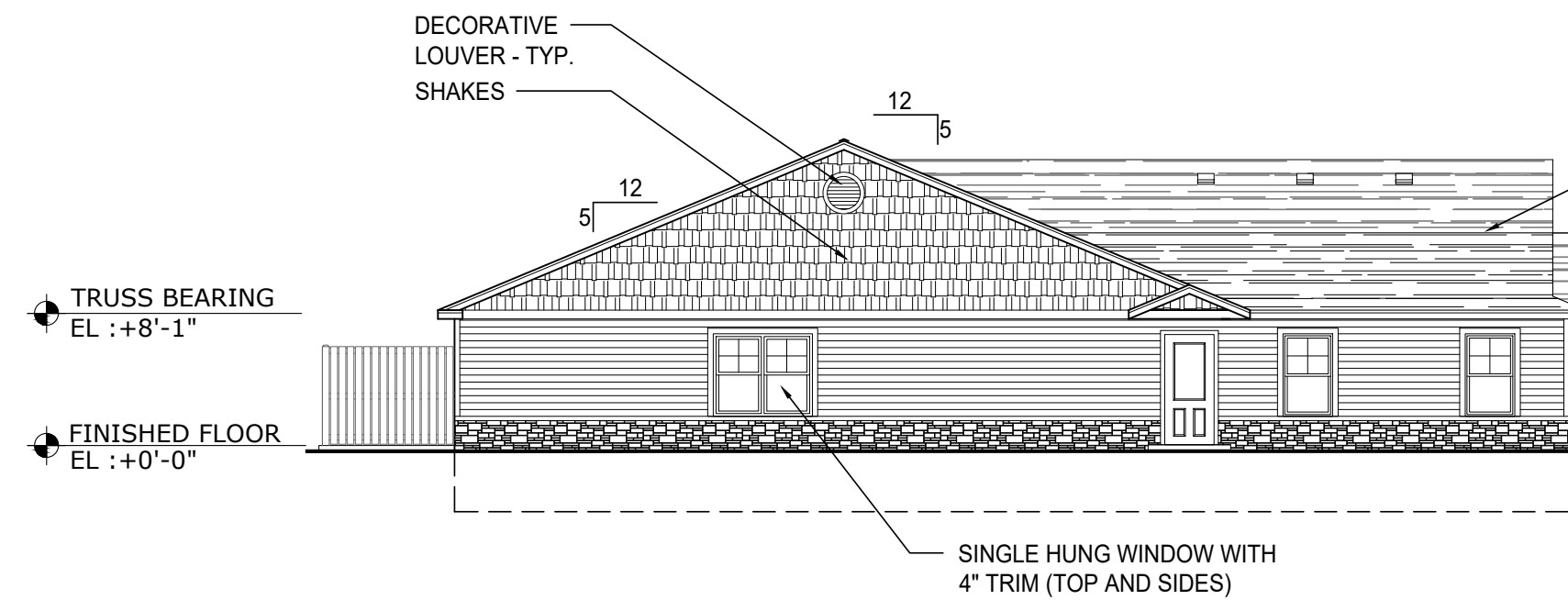
SITE DETAILS

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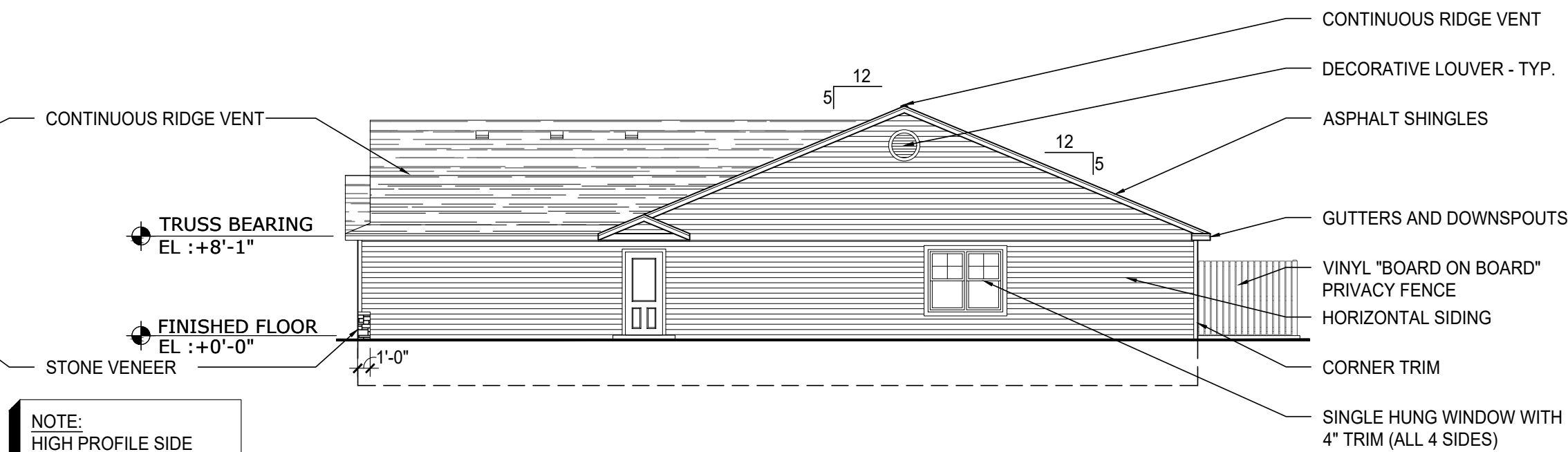
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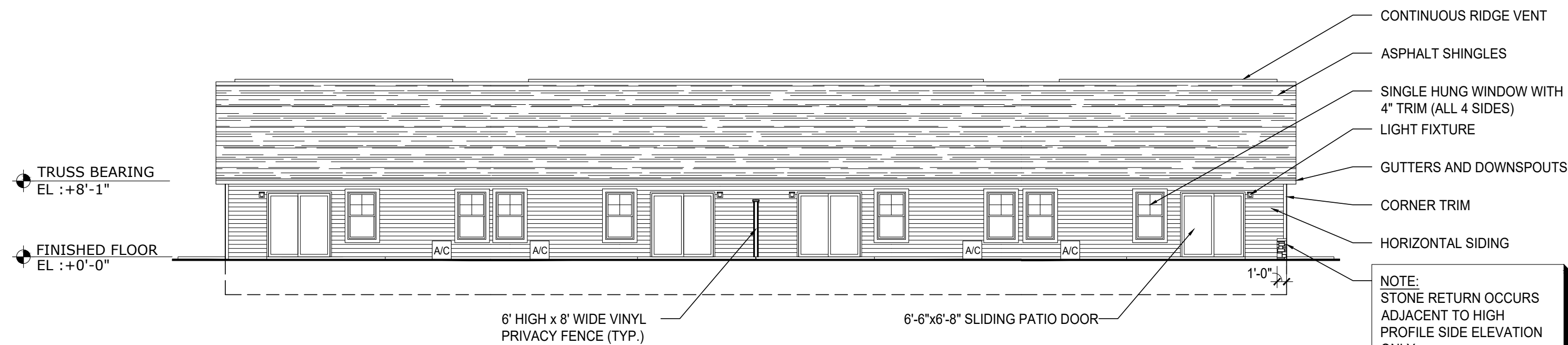
5 PARTIAL SIDE ELEVATION
FORESTWOOD
SCALE: 3/32" = 1'-0"



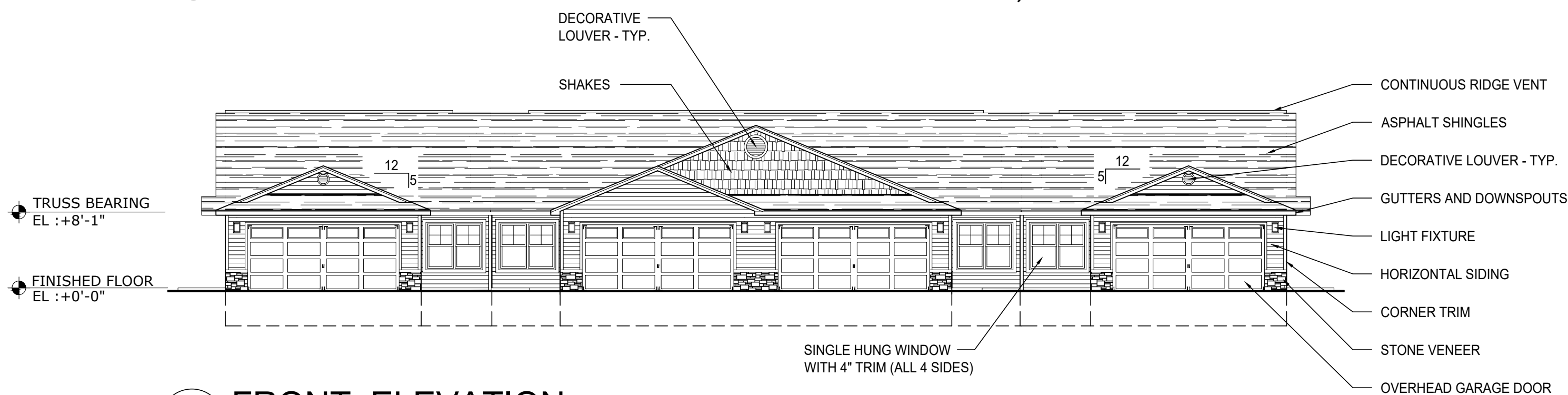
4 HIGH PROFILE SIDE ELEVATION
MEADOWOOD
SCALE: 3/32" = 1'-0"



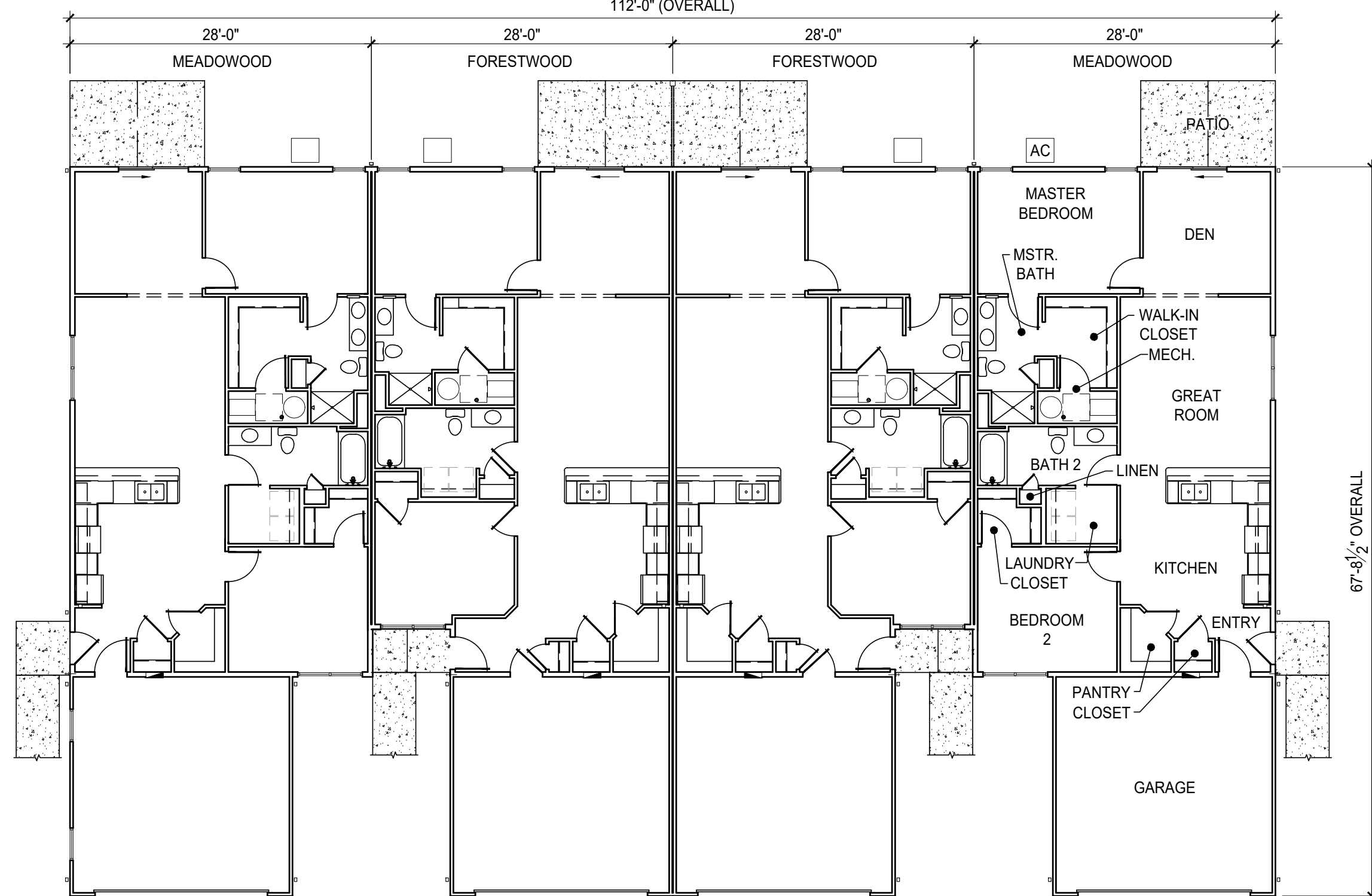
3 STANDARD SIDE ELEVATION
MEADOWOOD
SCALE: 3/32" = 1'-0"



2 REAR ELEVATION
MEADOWOOD, FORESTWOOD
SCALE: 3/32" = 1'-0"



1 FRONT ELEVATION
MEADOWOOD, FORESTWOOD
SCALE: 3/32" = 1'-0"



OVERALL FLOOR PLAN
MEADOWOOD, FORESTWOOD
SCALE: 3/32" = 1'-0"

EXTERIOR FINISH MATERIAL SELECTIONS		
ITEM:	MATERIAL / STYLE:	COLOR:
DECORATIVE LOUVER	VINYL	WHITE
ASPHALT SHINGLES	DIMENSIONAL 30 YEAR LAMINATED	WEATHERED WOOD
GUTTERS AND DOWNSPOUTS	PREFINISHED ALUMINUM	WHITE
HORIZONTAL SIDING	VINYL	VARIES
SHAKES	VINYL	VARIES
CORNER TRIM	VINYL	WHITE
STONE VENEER	PRESTIGE	OHIO WHITE VEIN
OVERHEAD GARAGE DOOR	RAISED PANEL PAN STEEL	WHITE
SINGLE HUNG	VINYL	STANDARD WHITE WITH COLONIAL PATTERN FLAT GRIDS
6'-6" X 6'-8" SLIDING PATIO DOOR	VINYL	WHITE

NOTE:
ADDRESS FOR EACH UNIT TO BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD.

PRELIMINARY
NOTE!!!
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BUILDING FLOOR PLAN AND ELEVATIONS

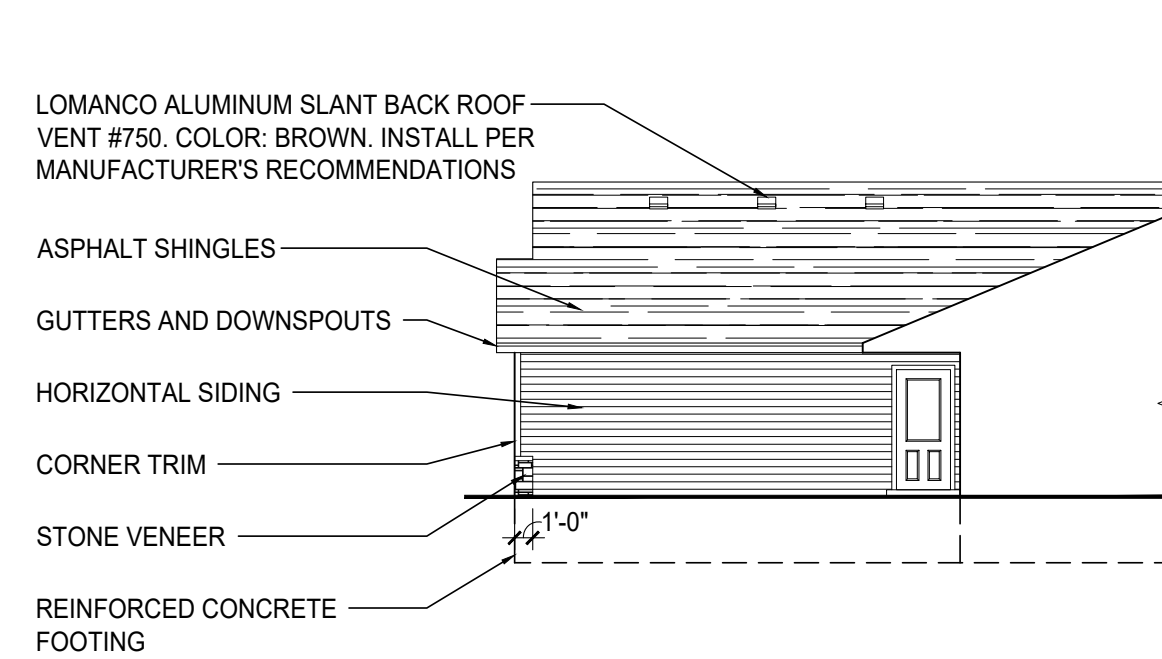
DATE: JANUARY 8, 2021

PROJECT #: 9920

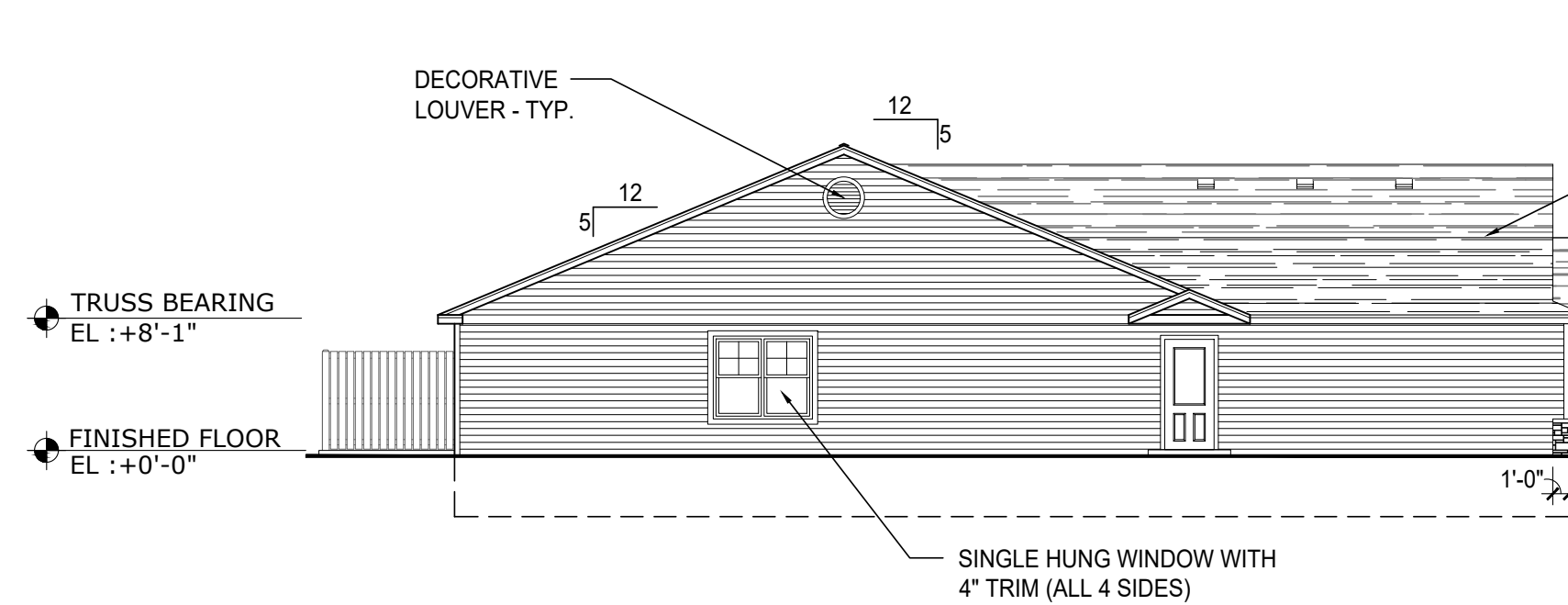
REDWOOD STANDARDS

Redwood
APARTMENT NEIGHBORHOODS

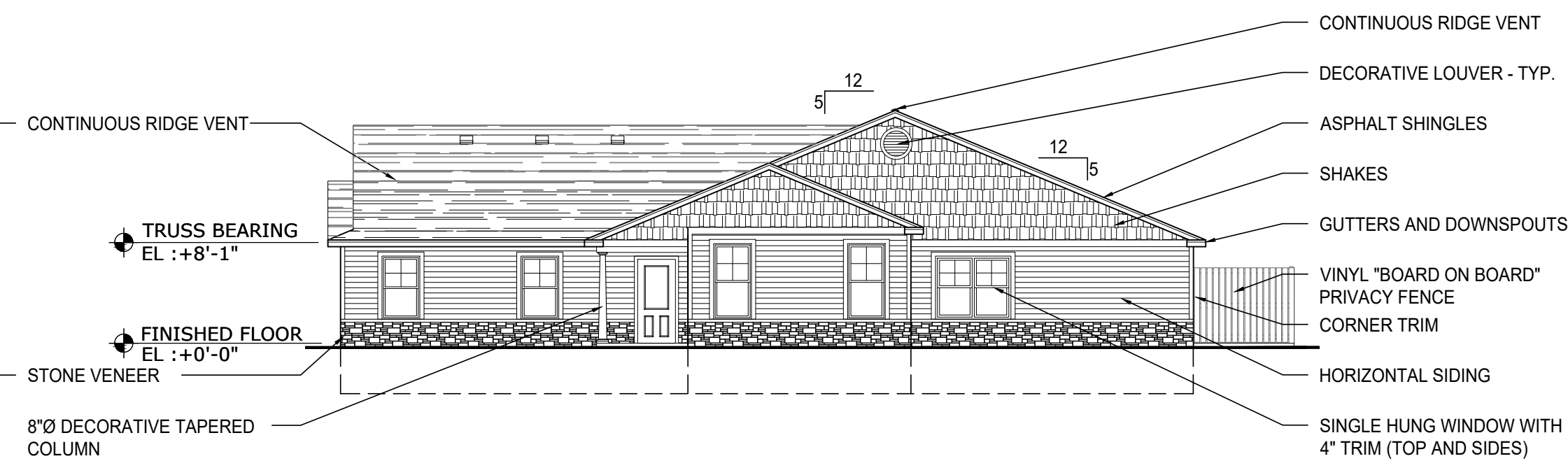
A1.1



5 PARTIAL SIDE ELEVATION FORESTWOOD
SCALE: 3/32" = 1'-0"

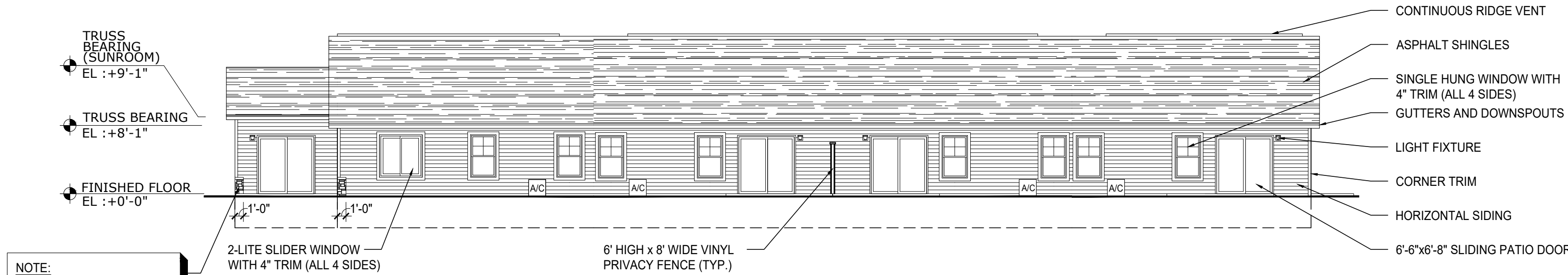


4 STANDARD SIDE ELEVATION MEADOWOOD
SCALE: 3/32" = 1'-0"



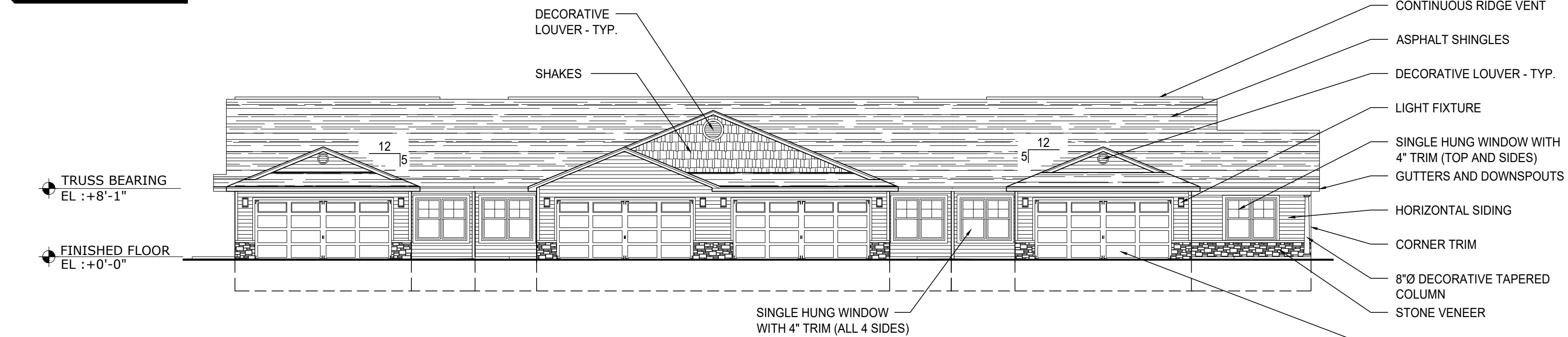
3 HIGH PROFILE SIDE ELEVATION CAPEWOOD
SCALE: 3/32" = 1'-0"

NOTE:
HIGH PROFILE SIDE ELEVATION OCCURS AT STREET VIEW ONLY

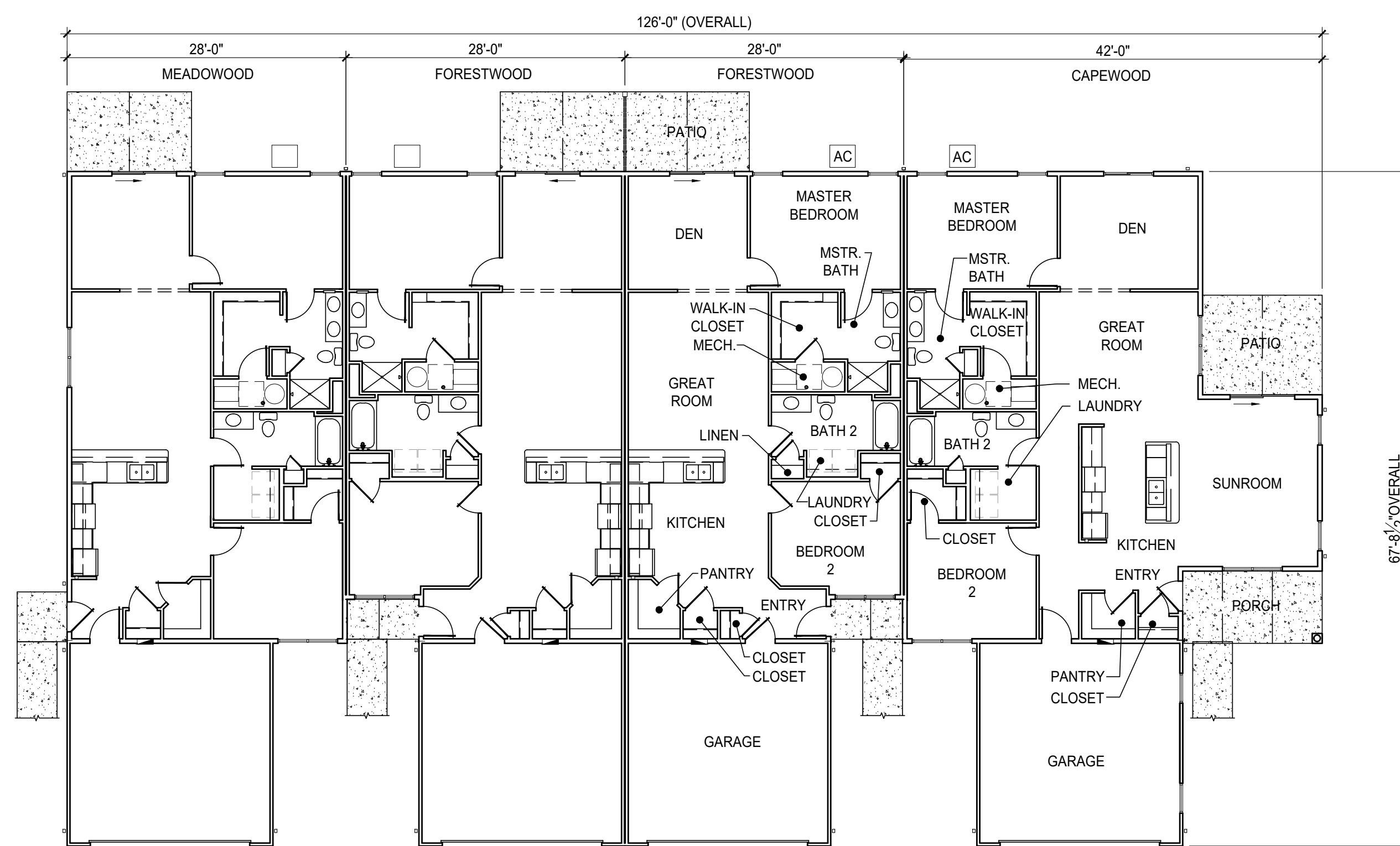


NOTE:
STONE RETURN OCCURS ADJACENT TO HIGH PROFILE SIDE ELEVATION ONLY

2 REAR ELEVATION MEADOWOOD, FORESTWOOD, CAPEWOOD
SCALE: 3/32" = 1'-0"



1 FRONT ELEVATION MEADOWOOD, FORESTWOOD, CAPEWOOD
SCALE: 3/32" = 1'-0"



OVERALL FLOOR PLAN MEADOWOOD, FORESTWOOD
SCALE: 3/32" = 1'-0"

EXTERIOR FINISH MATERIAL SELECTIONS

ITEM:	MATERIAL / STYLE:	COLOR:
DECORATIVE LOUVER	VINYL	WHITE
ASPHALT SHINGLES	DIMENSIONAL 30 YEAR LAMINATED	WEATHERED WOOD
GUTTERS AND DOWNSPOUTS	PREFINISHED ALUMINUM	WHITE
HORIZONTAL SIDING	VINYL	VARIES
SHAKES	VINYL	VARIES
CORNER TRIM	VINYL	WHITE
STONE VENEER	PRESTIGE	OHIO WHITE VEIN
OVERHEAD GARAGE DOOR	RAISED PANEL PAN STEEL	WHITE
SINGLE HUNG	VINYL	STANDARD WHITE WITH COLONIAL PATTERN FLAT GRIDS
6'-6" X 6'-8" SLIDING PATIO DOOR	VINYL	WHITE

NOTE:
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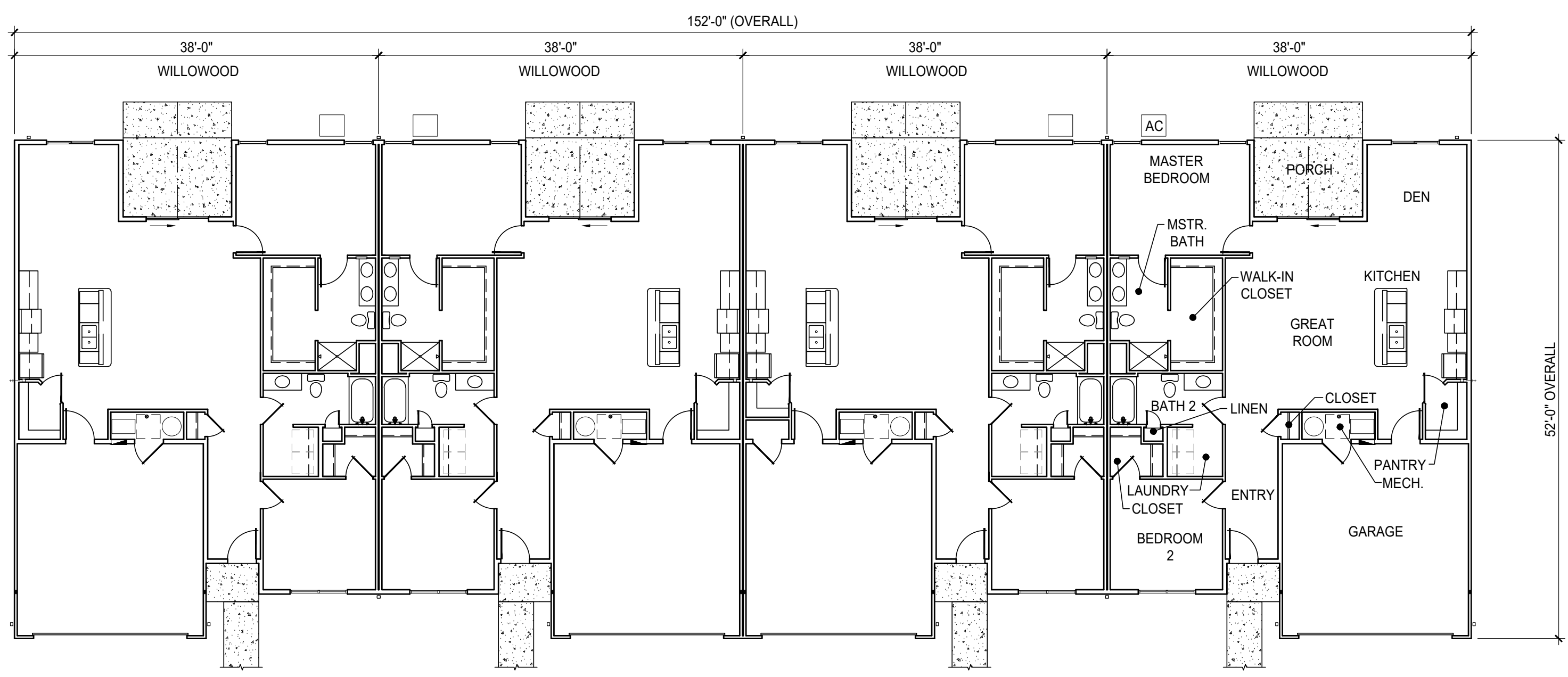
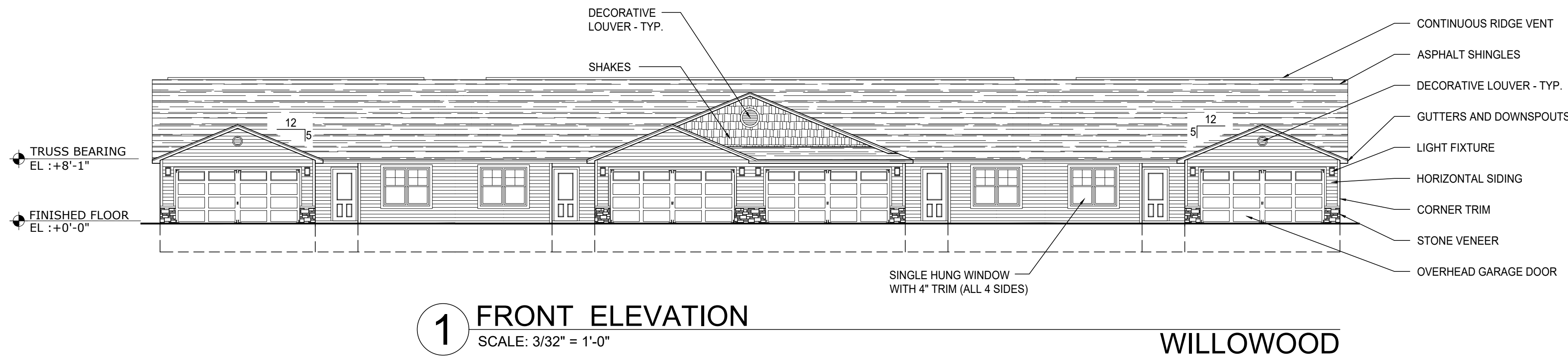
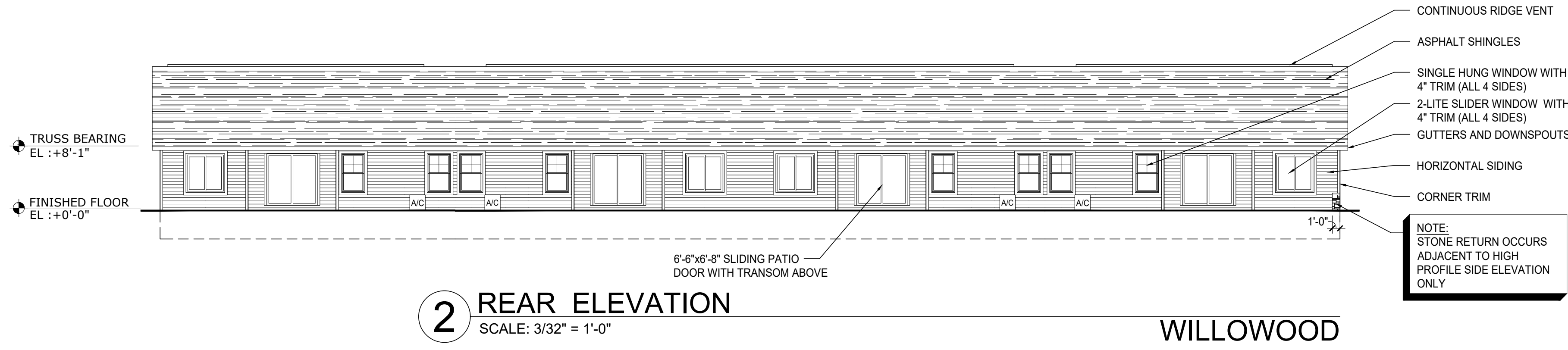
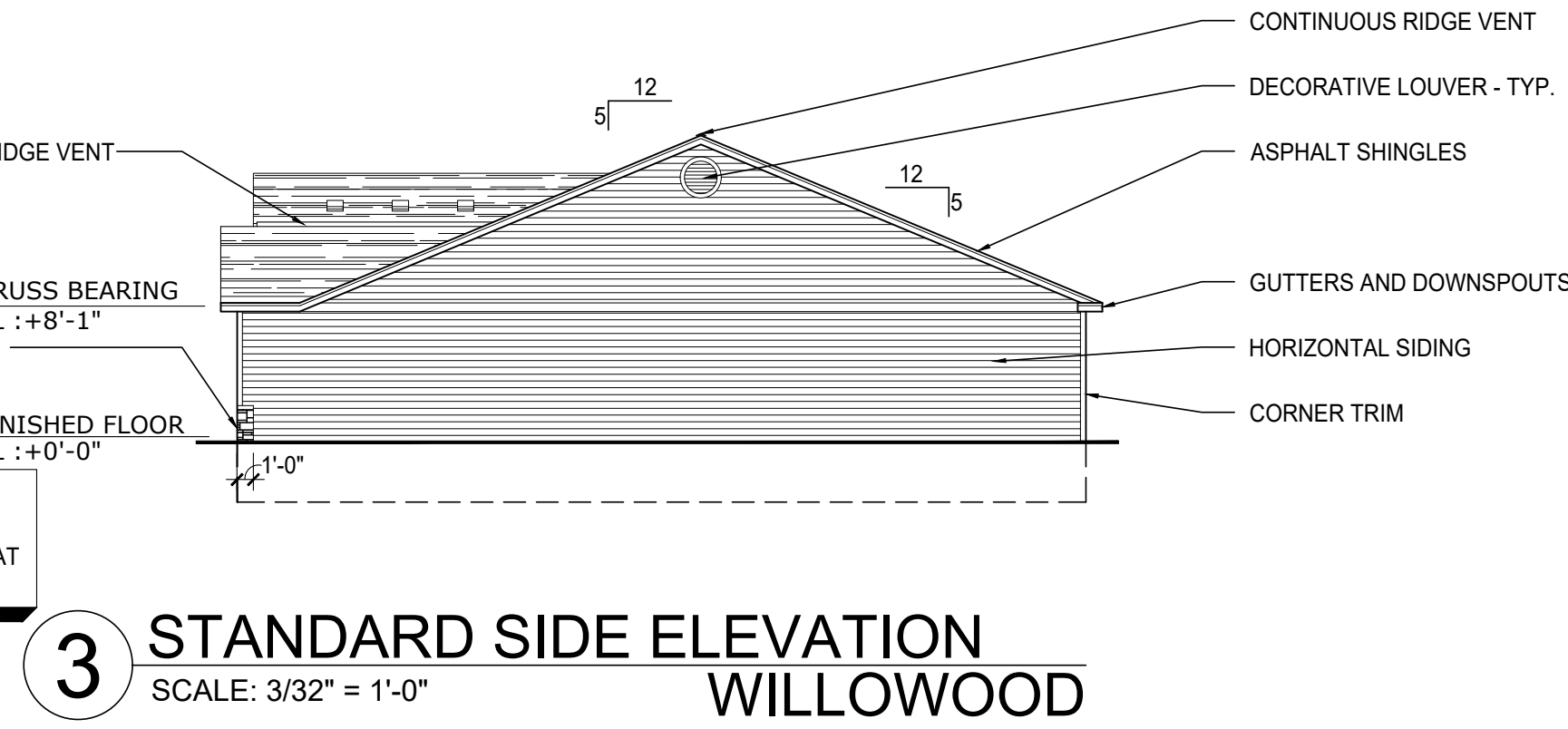
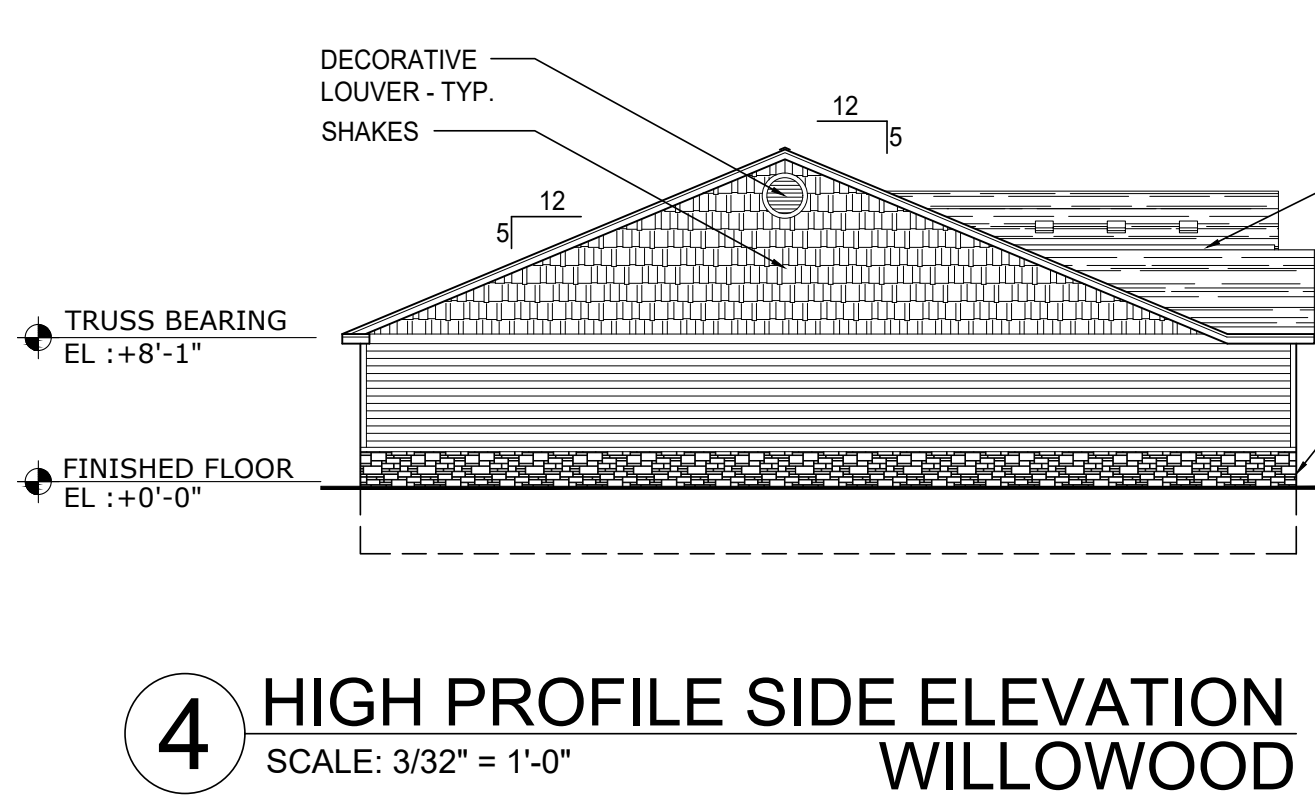
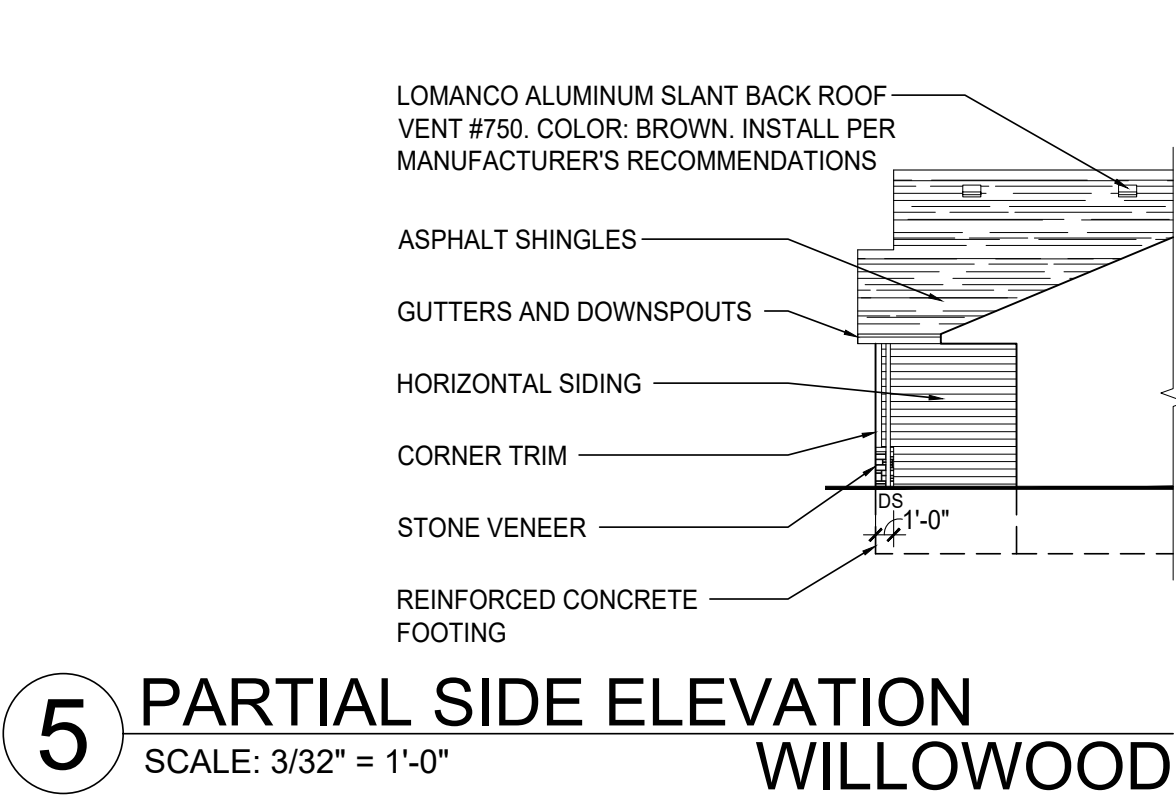
DATE: JANUARY 8, 2021

PROJECT #: 9920

REDWOOD STANDARDS

Redwood
APARTMENT NEIGHBORHOODS

A1.2



EXTERIOR FINISH MATERIAL SELECTIONS		
ITEM:	MATERIAL / STYLE:	COLOR:
DECORATIVE LOUVER	VINYL	WHITE
ASPHALT SHINGLES	DIMENSIONAL 30 YEAR LAMINATED	WEATHERED WOOD
GUTTERS AND DOWNSPOUTS	PREFINISHED ALUMINUM	WHITE
HORIZONTAL SIDING	VINYL	VARIES
SHAKES	VINYL	VARIES
CORNER TRIM	VINYL	WHITE
STONE VENEER	PRESTIGE	OHIO WHITE VEIN
OVERHEAD GARAGE DOOR	RAISED PANEL PAN STEEL	WHITE
SINGLE HUNG	VINYL	STANDARD WHITE WITH COLONIAL PATTERN FLAT GRIDS
6'-6" X 6'-8" SLIDING PATIO DOOR	VINYL	WHITE

NOTE:
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PROJECT #: 9920

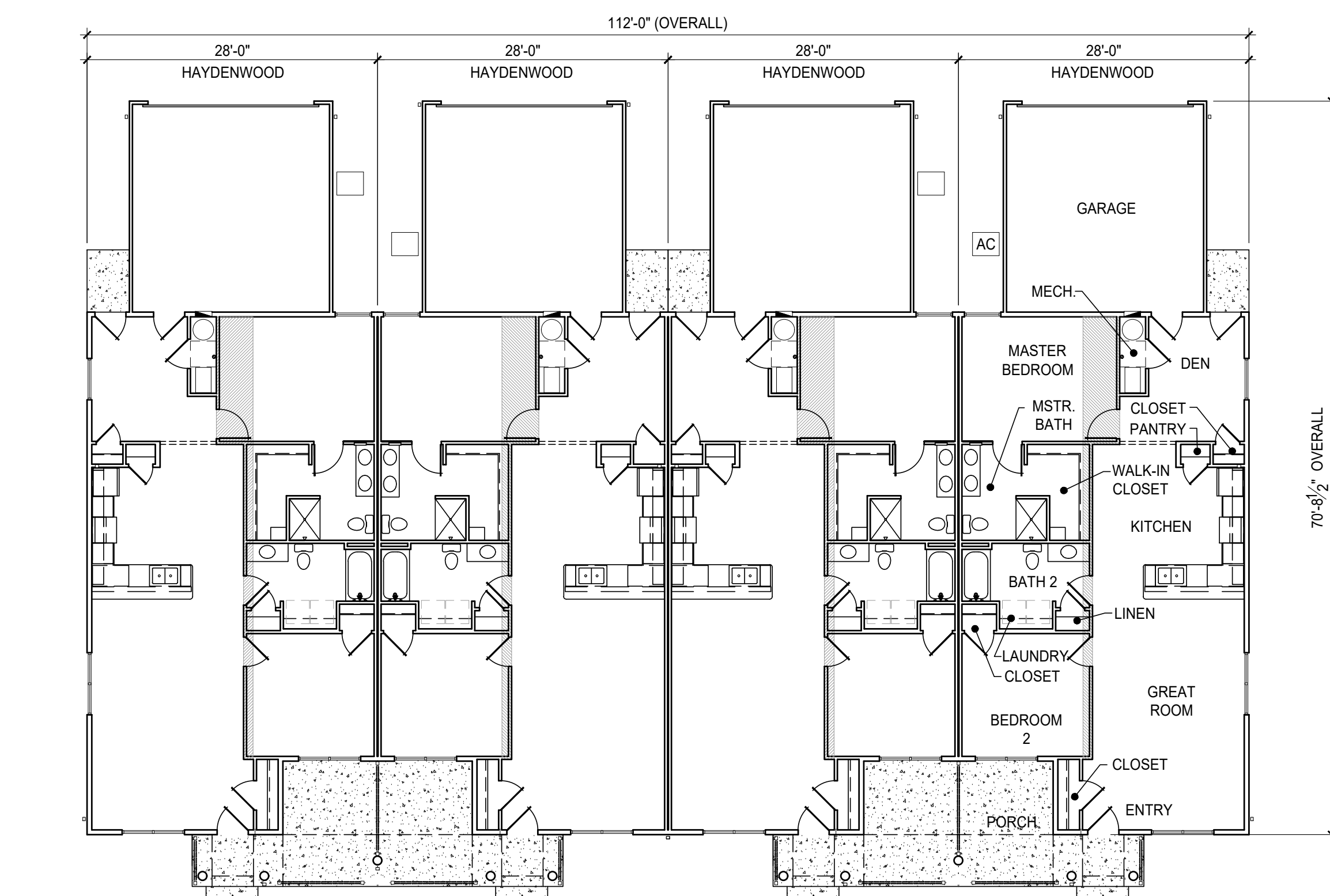
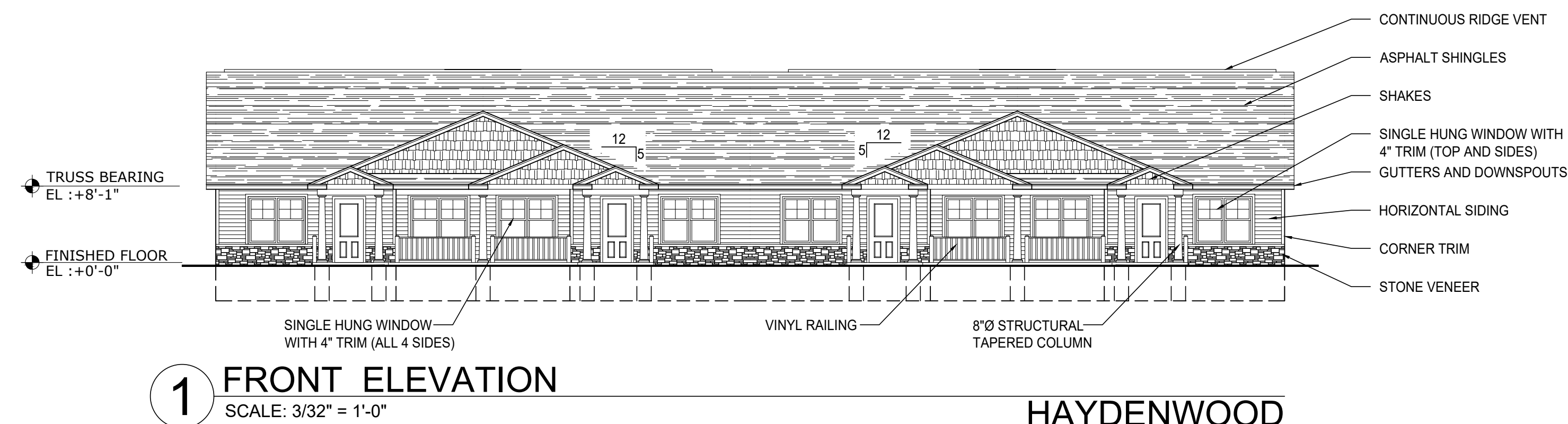
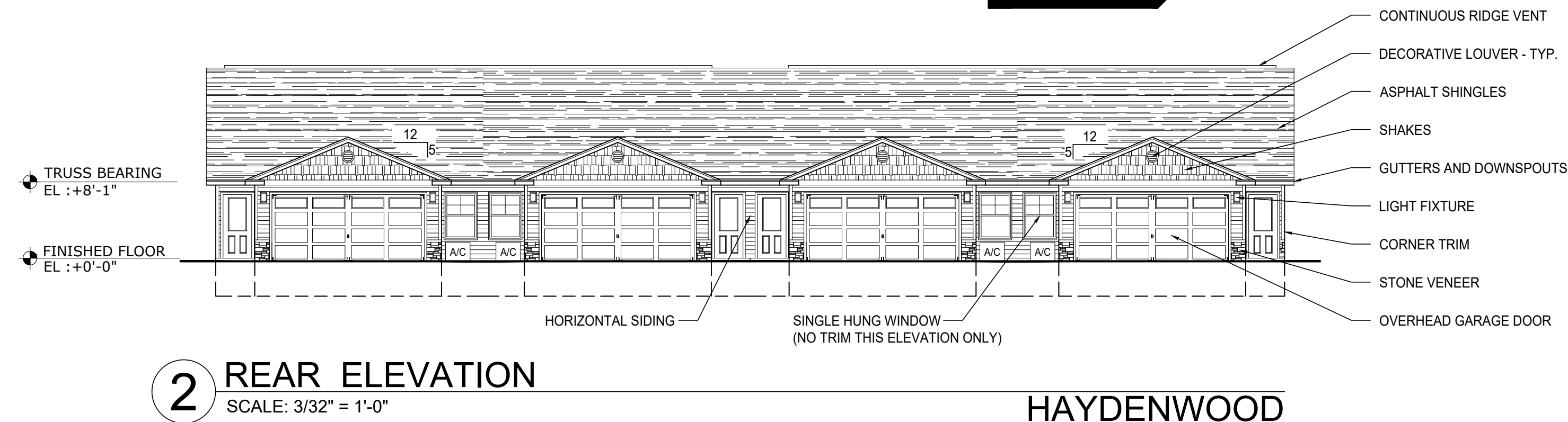
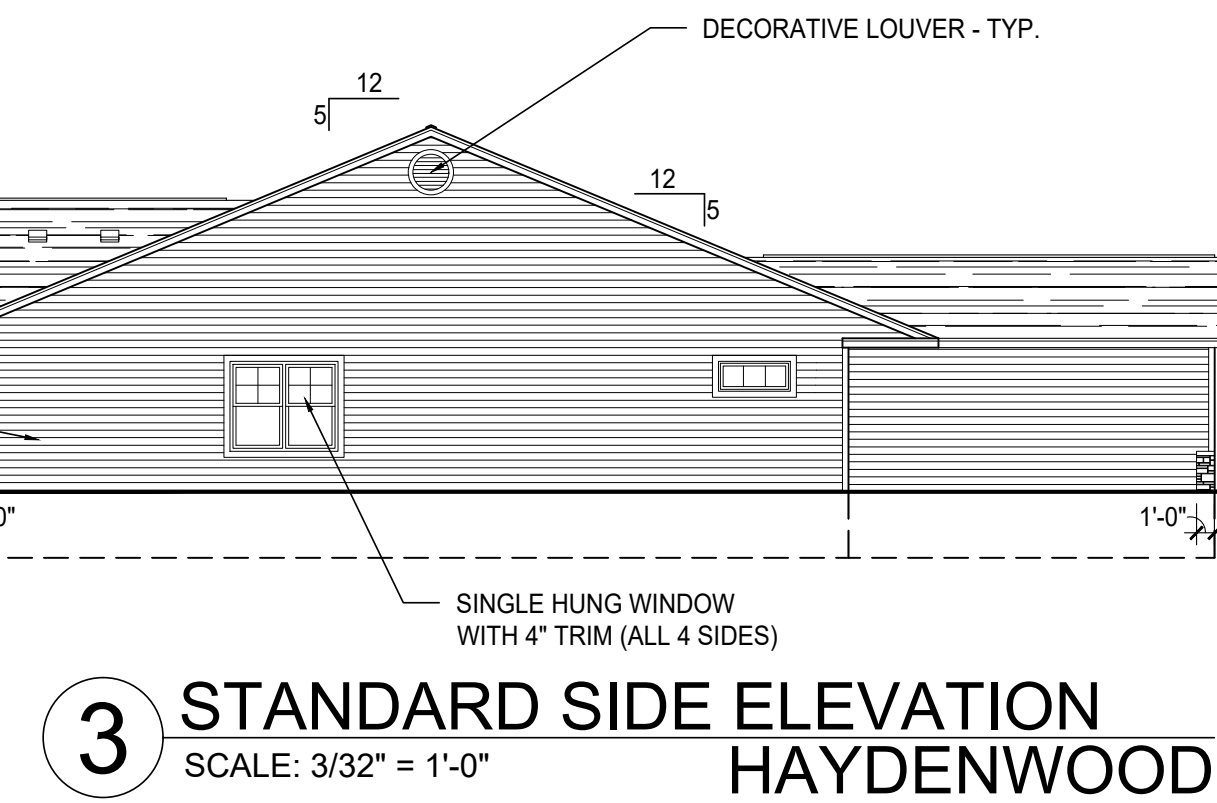
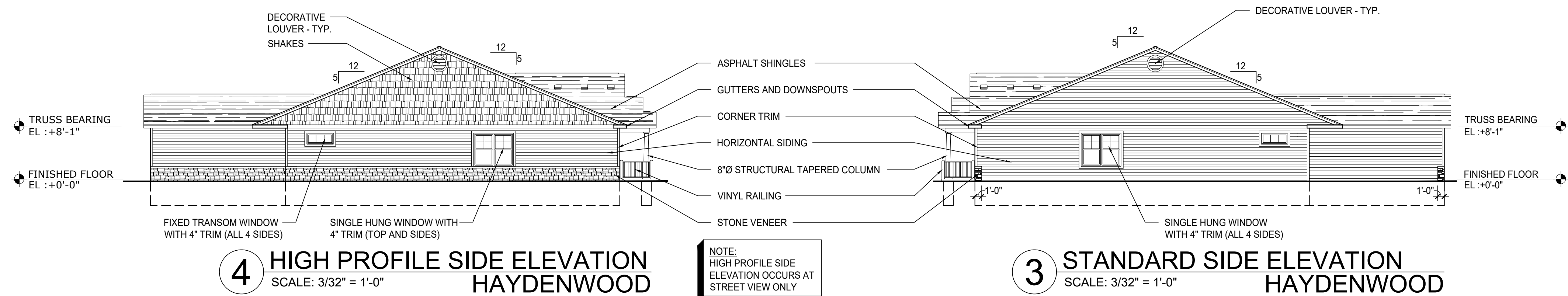
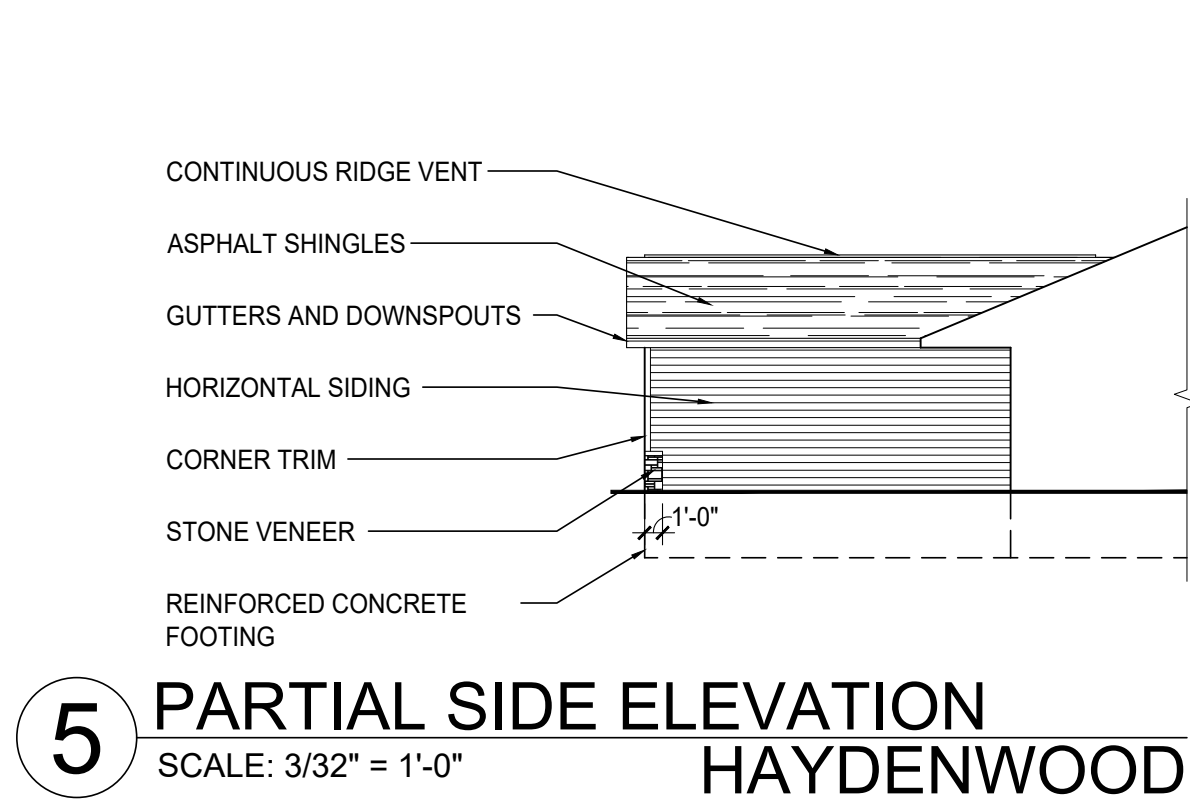
DATE: JANUARY 8, 2021

REDWOOD STANDARDS

Redwood
APARTMENT NEIGHBORHOODS

A1.3

81



EXTERIOR FINISH MATERIAL SELECTIONS		
ITEM:	MATERIAL / STYLE:	COLOR:
DECORATIVE LOUVER	VINYL	WHITE
ASPHALT SHINGLES	DIMENSIONAL 30 YEAR LAMINATED	WEATHERED WOOD
GUTTERS AND DOWNSPOUTS	PREFINISHED ALUMINUM	WHITE
HORIZONTAL SIDING	VINYL	VARIES
SHAKES	VINYL	VARIES
CORNER TRIM	VINYL	WHITE
STONE VENEER	PRESTIGE	OHIO WHITE VEIN
OVERHEAD GARAGE DOOR	RAISED PANEL PAN STEEL	WHITE
SINGLE HUNG	VINYL	STANDARD WHITE WITH COLONIAL PATTERN FLAT GRIDS

NOTE:
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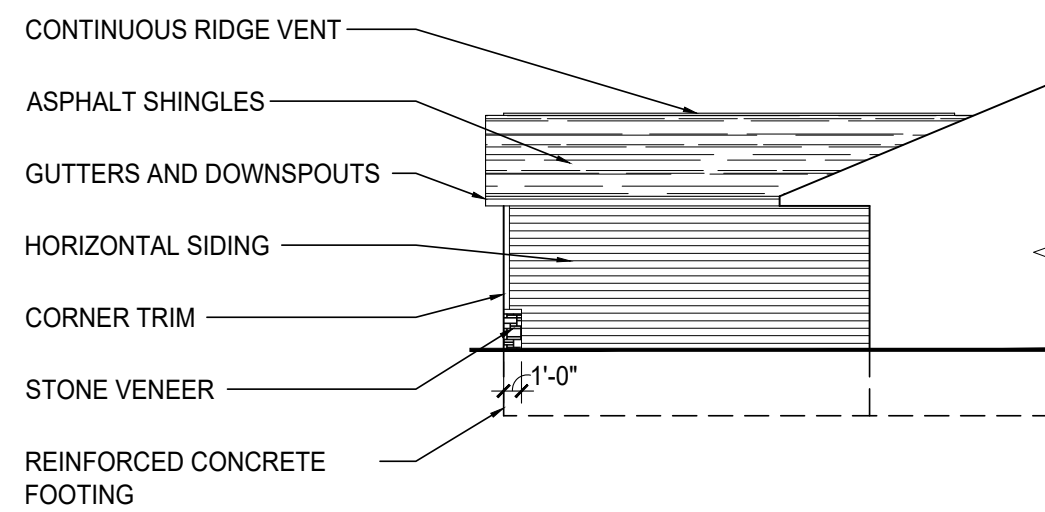
DATE: JANUARY 8, 2021

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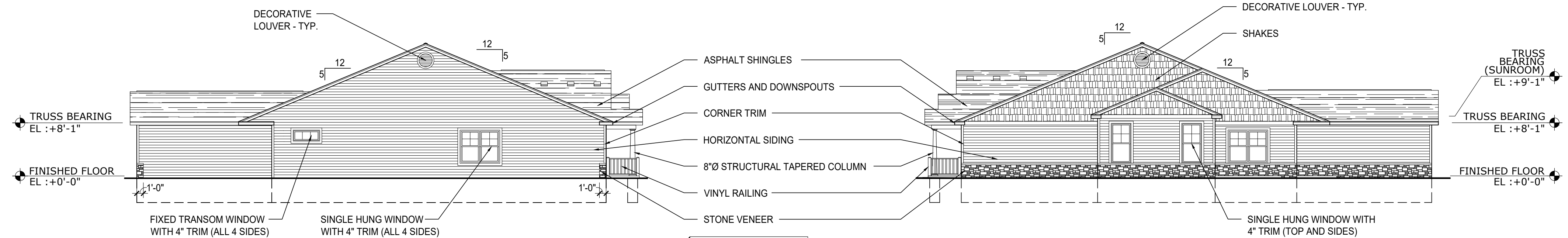
REDWOOD STANDARDS

Redwood
APARTMENT NEIGHBORHOODS

A1.4



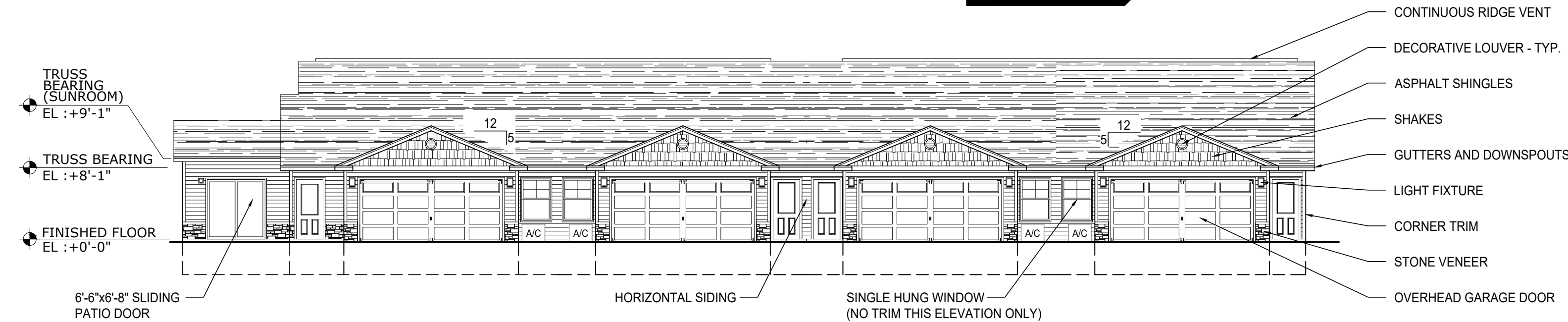
5 PARTIAL SIDE ELEVATION
SCALE: 3/32" = 1'-0"
HAYDENWOOD



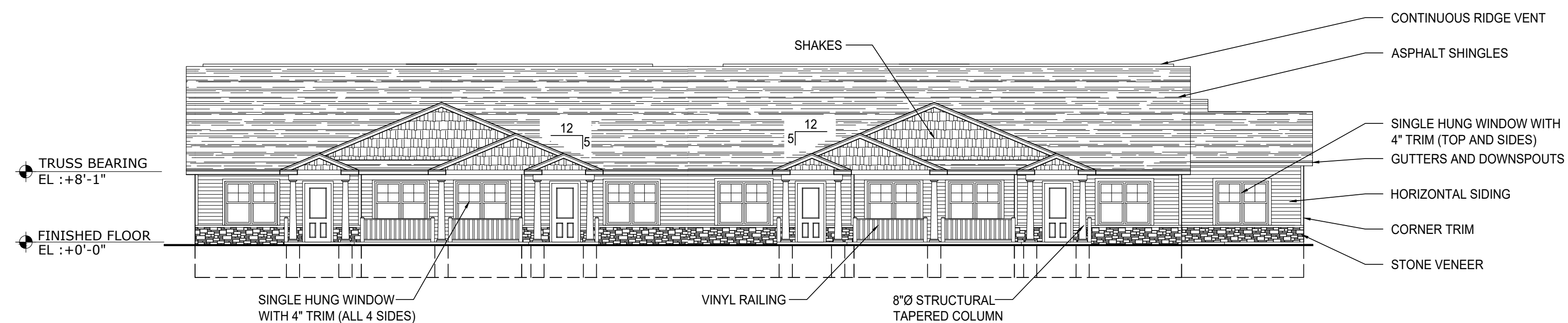
4 STANDARD SIDE ELEVATION
SCALE: 3/32" = 1'-0"
HAYDENWOOD

NOTE:
HIGH PROFILE SIDE
ELEVATION OCCURS AT
STREET VIEW ONLY

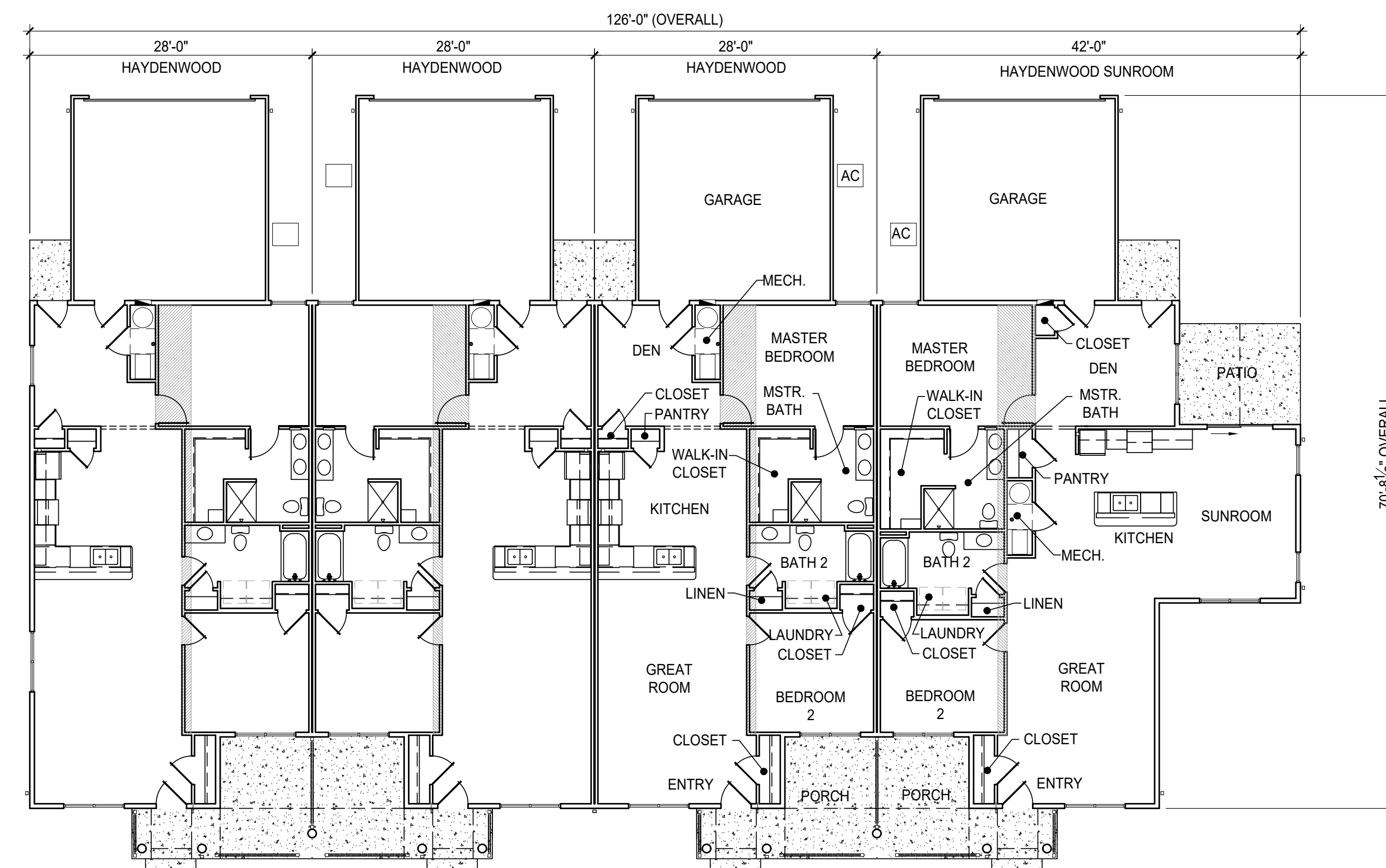
3 HIGH PROFILE SIDE ELEVATION
SCALE: 3/32" = 1'-0"
HAYDENWOOD SUNROOM



2 REAR ELEVATION
SCALE: 3/32" = 1'-0"
HAYDENWOOD, HAYDENWOOD SUNROOM



1 FRONT ELEVATION
SCALE: 3/32" = 1'-0"
HAYDENWOOD, HAYDENWOOD SUNROOM



OVERALL FLOOR PLAN
SCALE: 3/32" = 1'-0"
HAYDENWOOD, HAYDENWOOD SUNROOM

EXTERIOR FINISH MATERIAL SELECTIONS

ITEM:	MATERIAL / STYLE:	COLOR:
DECORATIVE LOUVER	VINYL	WHITE
ASPHALT SHINGLES	DIMENSIONAL 30 YEAR LAMINATED	WEATHERED WOOD
GUTTERS AND DOWNSPOUTS	PREFINISHED ALUMINUM	WHITE
HORIZONTAL SIDING	VINYL	VARIES
SHAKES	VINYL	VARIES
CORNER TRIM	VINYL	WHITE
STONE VENEER	PRESTIGE	OHIO WHITE VEIN
OVERHEAD GARAGE DOOR	RAISED PANEL PAN STEEL	WHITE
SINGLE HUNG	VINYL	STANDARD WHITE WITH COLONIAL PATTERN FLAT GRIDS

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BUILDING FLOOR PLAN AND ELEVATIONS

DATE: JANUARY 8, 2021

PROJECT #: 9920

REDWOOD STANDARDS

Redwood
APARTMENT NEIGHBORHOODS

A1.5

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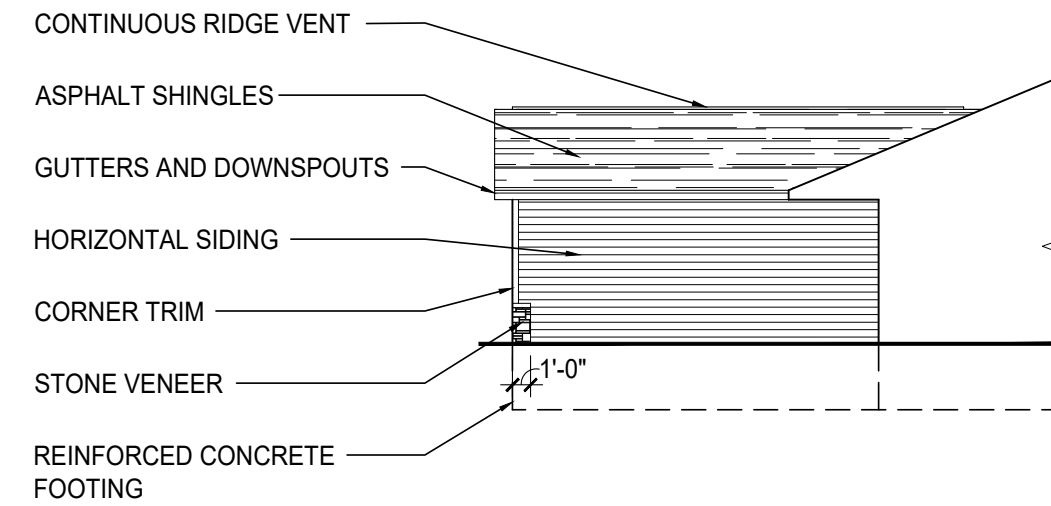
DATE: JANUARY 8, 2021

PROJECT #: 9920

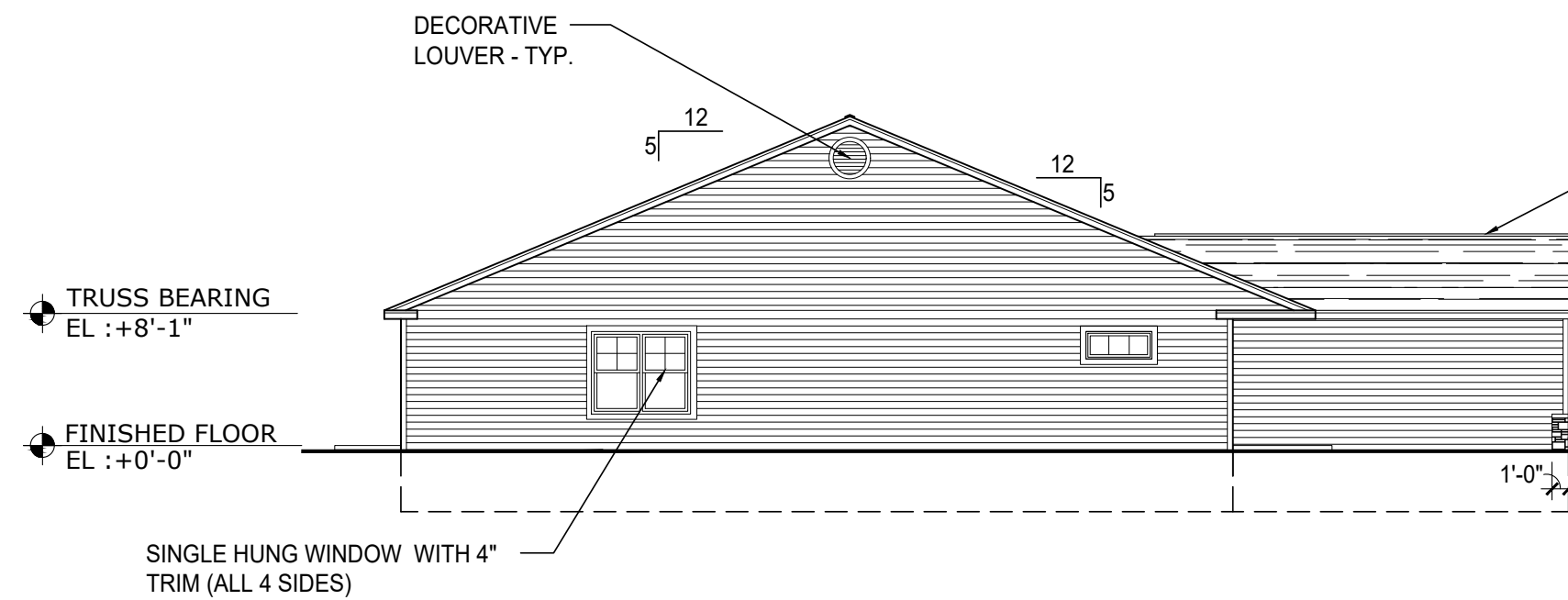
REDWOOD STANDARDS



A1.6

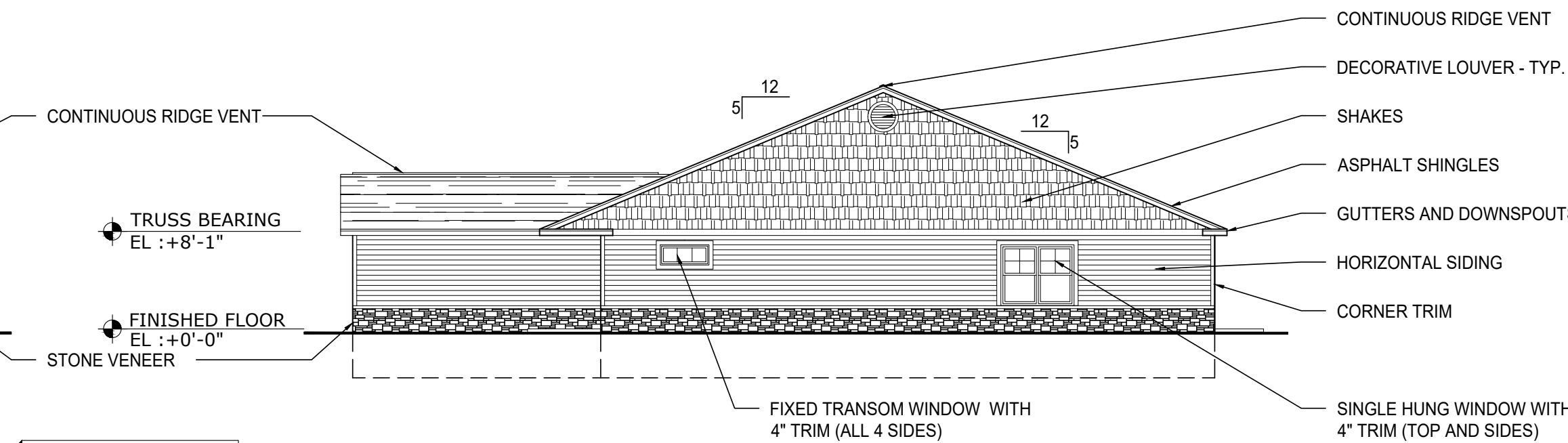


5 PARTIAL SIDE ELEVATION
SCALE: 3/32" = 1'-0"
BREEZEWOOD

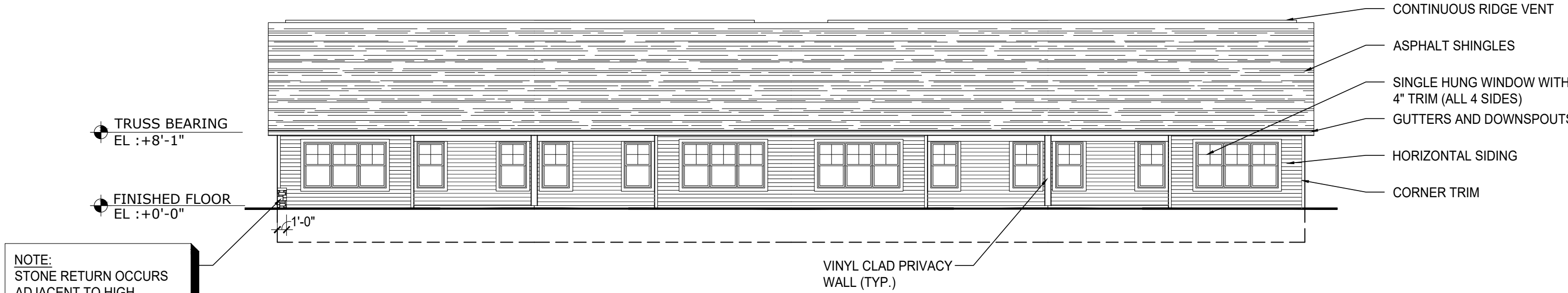


4 STANDARD SIDE ELEVATION
SCALE: 3/32" = 1'-0"
BREEZEWOOD

NOTE:
HIGH PROFILE SIDE
ELEVATION OCCURS AT
STREET VIEW ONLY

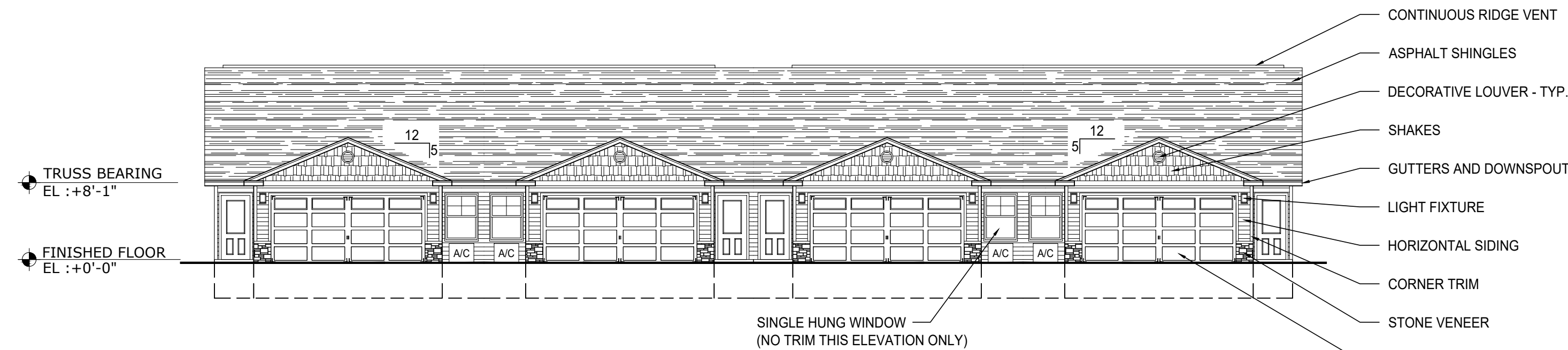


3 HIGH PROFILE SIDE ELEVATION
SCALE: 3/32" = 1'-0"
BREEZEWOOD

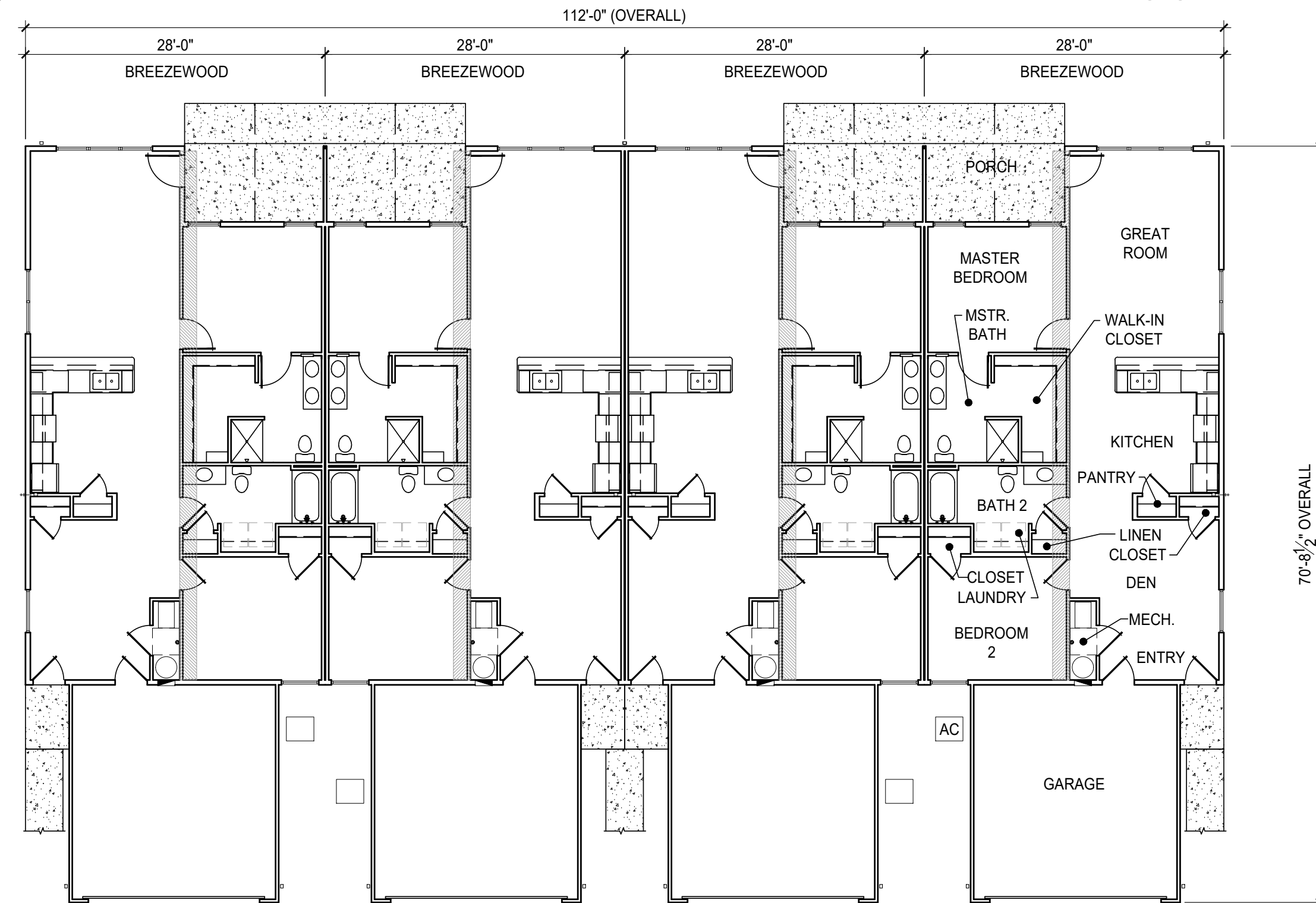


2 REAR ELEVATION
SCALE: 3/32" = 1'-0"
BREEZEWOOD

NOTE:
STONE RETURN OCCURS
ADJACENT TO HIGH
PROFILE SIDE ELEVATION
ONLY



1 FRONT ELEVATION
SCALE: 3/32" = 1'-0"
BREEZEWOOD



OVERALL FLOOR PLAN
SCALE : 3/32" = 1'-0"
BREEZEWOOD

EXTERIOR FINISH MATERIAL SELECTIONS

ITEM:	MATERIAL / STYLE:	COLOR:
DECORATIVE LOUVER	VINYL	WHITE
ASPHALT SHINGLES	DIMENSIONAL 30 YEAR LAMINATED	WEATHERED WOOD
GUTTERS AND DOWNSPOUTS	PREFINISHED ALUMINUM	WHITE
HORIZONTAL SIDING	VINYL	VARIES
SHAKES	VINYL	VARIES
CORNER TRIM	VINYL	WHITE
STONE VENEER	PRESTIGE	OHIO WHITE VEIN
OVERHEAD GARAGE DOOR	RAISED PANEL PAN STEEL	WHITE
SINGLE HUNG	VINYL	STANDARD WHITE WITH COLONIAL PATTERN FLAT GRIDS

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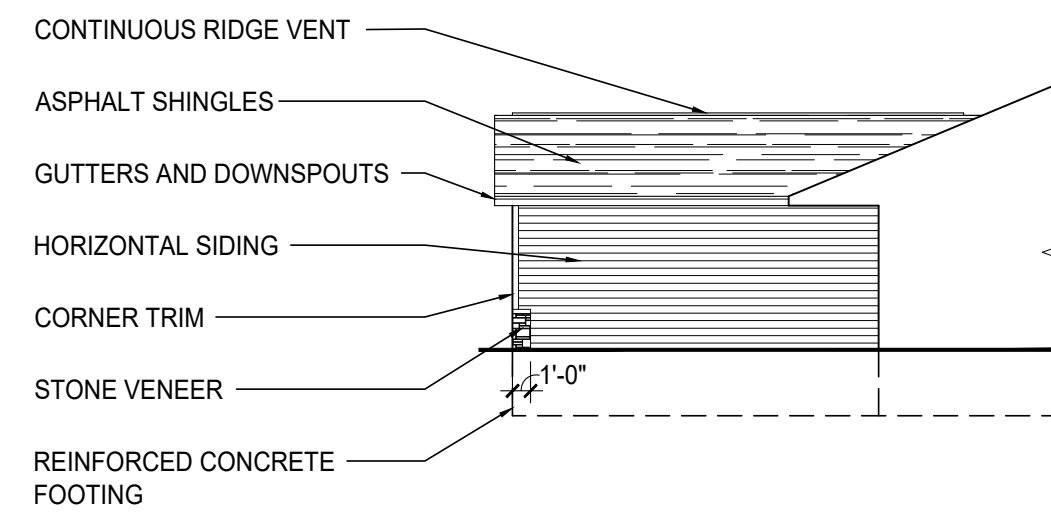
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PROJECT #: 9920

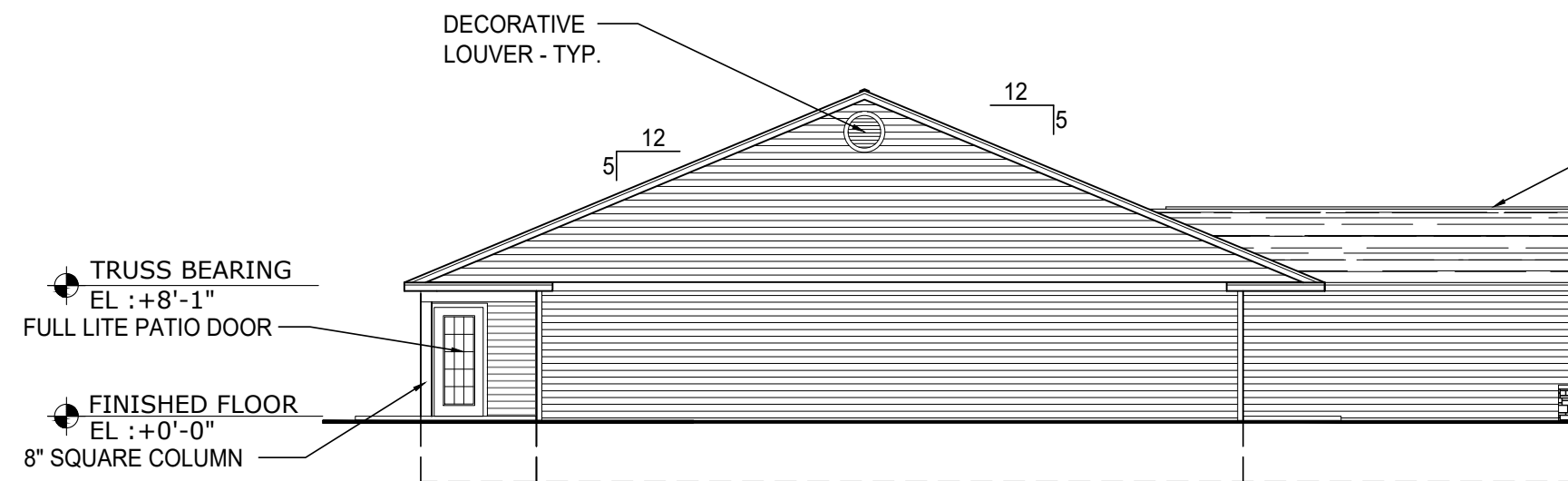
REDWOOD STANDARDS



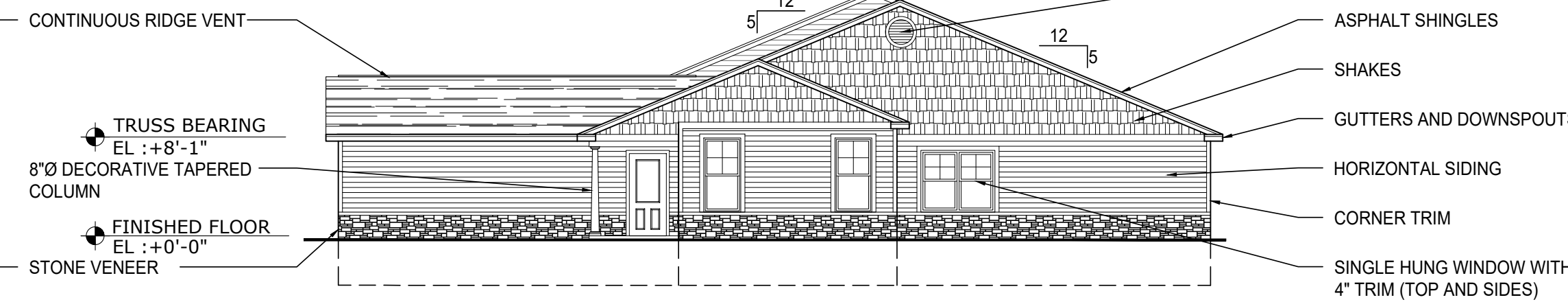
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5 PARTIAL SIDE ELEVATION
SCALE: 3/32" = 1'-0" BREEZEWOOD

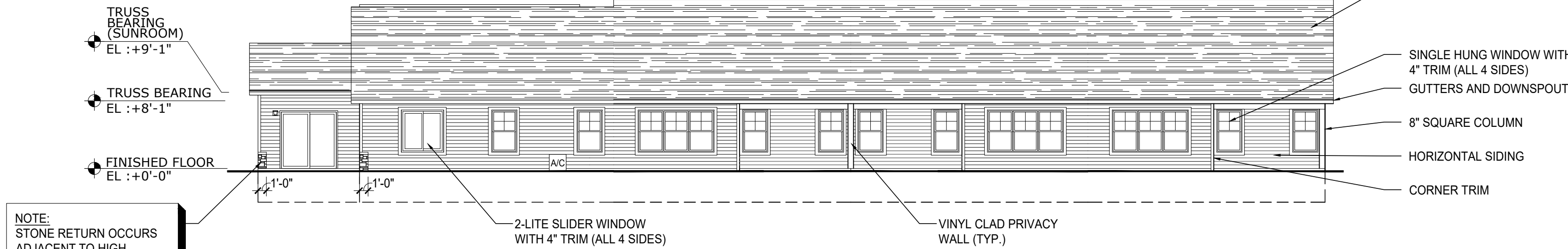


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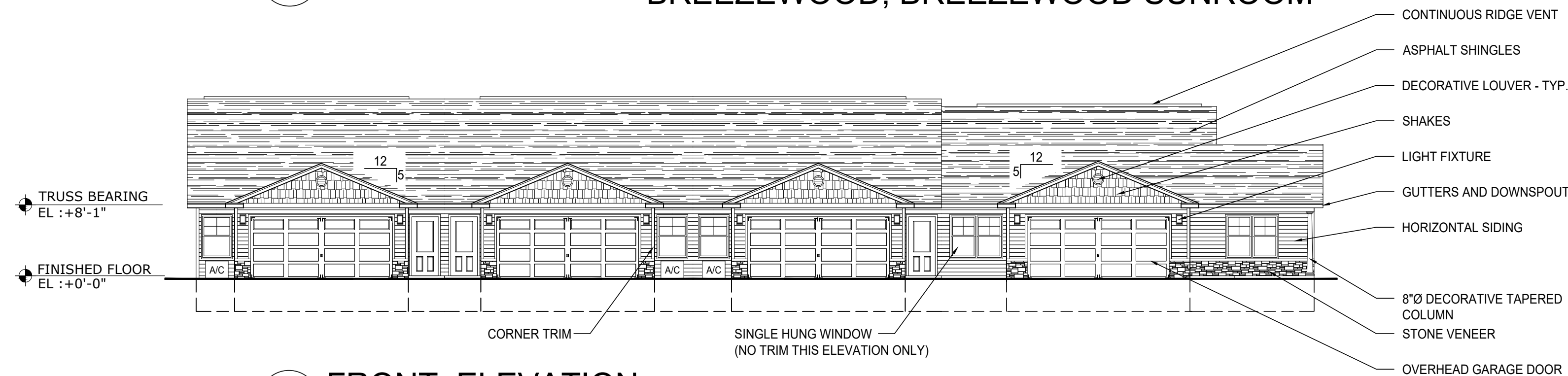


3 HIGH PROFILE SIDE ELEVATION
SCALE: 3/32" = 1'-0" BREEZEWOOD SUNROOM

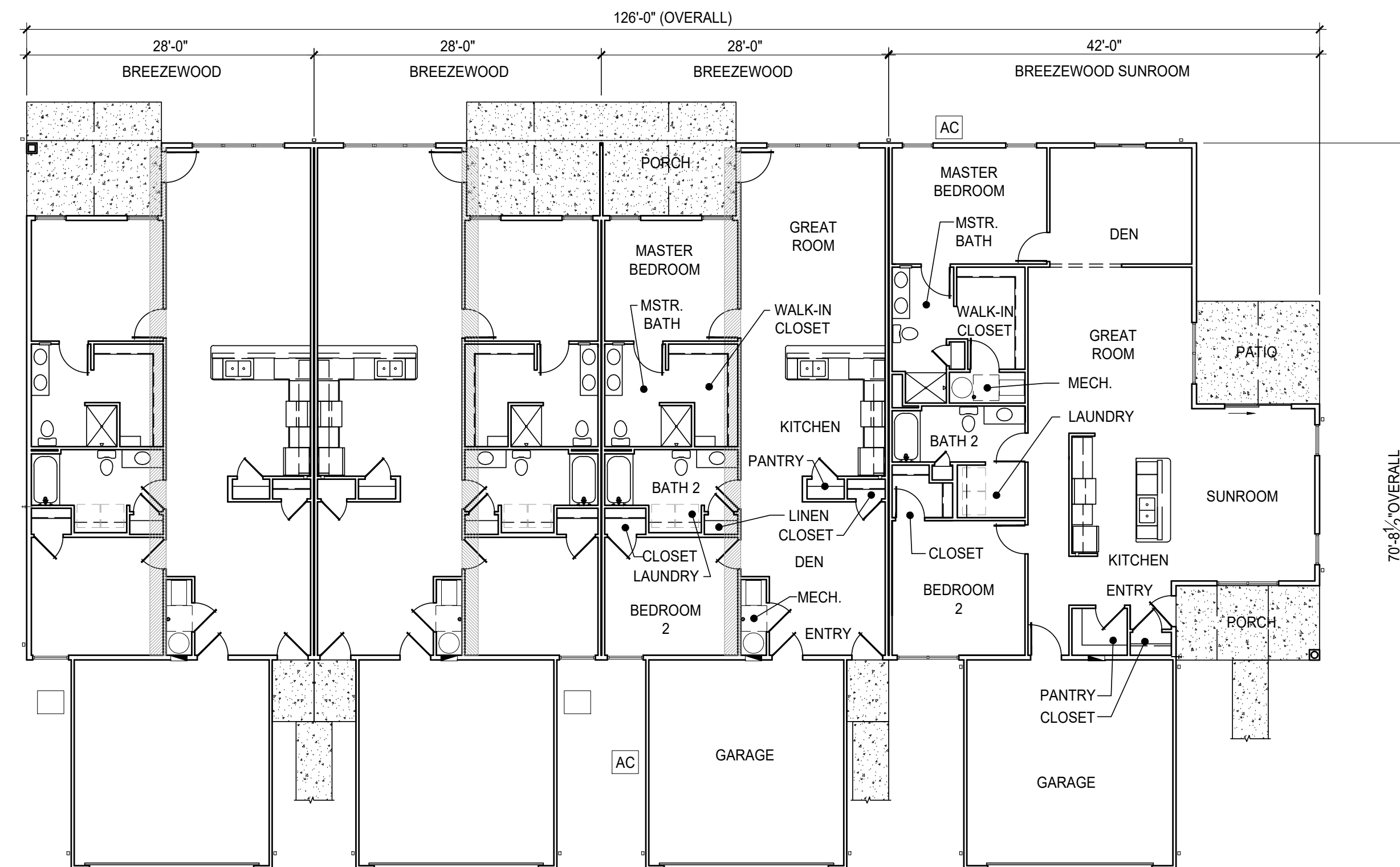
NOTE:
HIGH PROFILE SIDE
ELEVATION OCCURS AT
STREET VIEW ONLY



2 REAR ELEVATION
SCALE: 3/32" = 1'-0" BREEZEWOOD, BREEZEWOOD SUNROOM



1 FRONT ELEVATION
SCALE: 3/32" = 1'-0" BREEZEWOOD, BREEZEWOOD SUNROOM

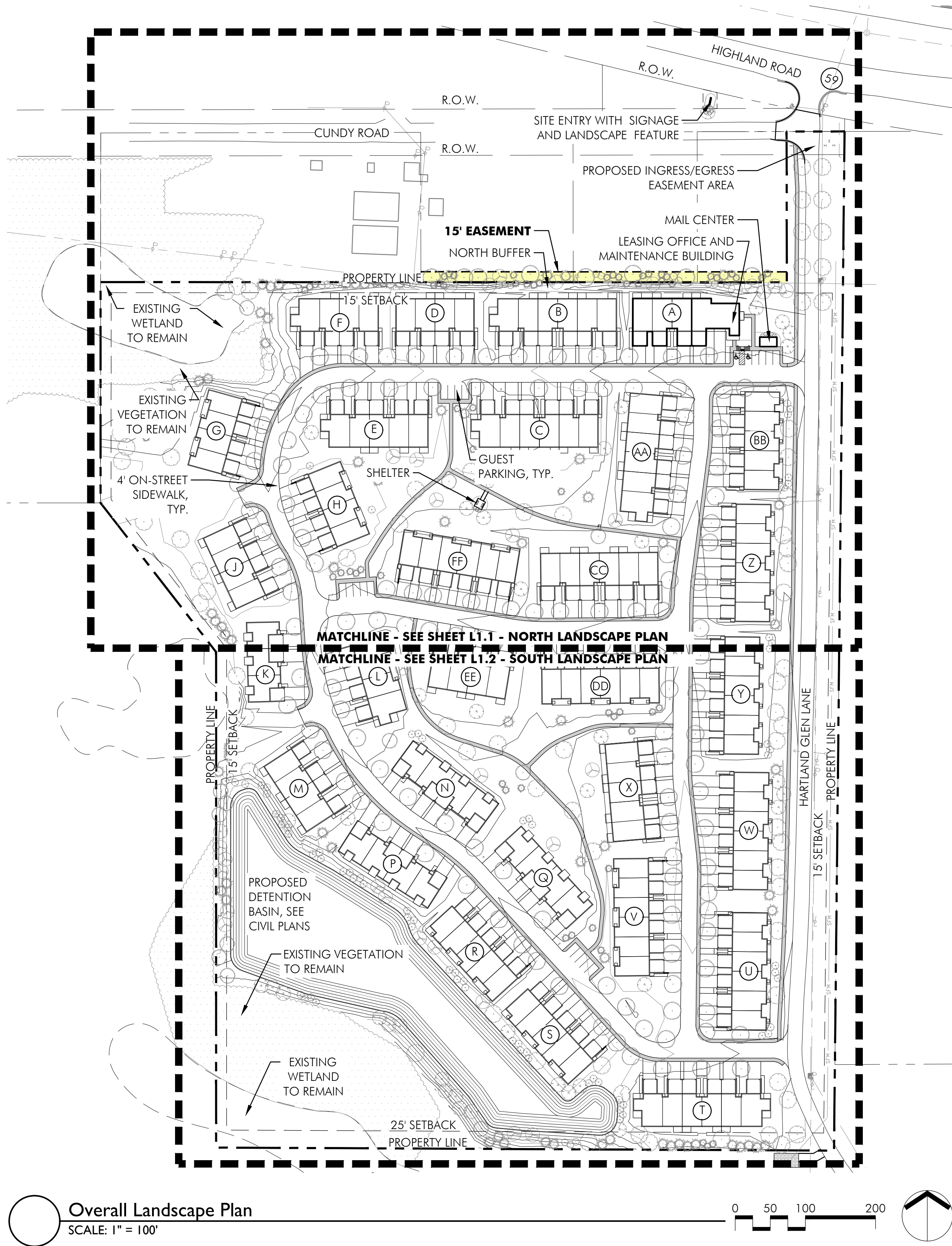


OVERALL FLOOR PLAN
SCALE: 3/32" = 1'-0" BREEZEWOOD, BREEZEWOOD SUNROOM

EXTERIOR FINISH MATERIAL SELECTIONS

ITEM:	MATERIAL / STYLE:	COLOR:
DECORATIVE LOUVER	VINYL	WHITE
ASPHALT SHINGLES	DIMENSIONAL 30 YEAR LAMINATED	WEATHERED WOOD
GUTTERS AND DOWNSPOUTS	PREFINISHED ALUMINUM	WHITE
HORIZONTAL SIDING	VINYL	VARIES
SHAKES	VINYL	VARIES
CORNER TRIM	VINYL	WHITE
STONE VENEER	PRESTIGE	OHIO WHITE VEIN
OVERHEAD GARAGE DOOR	RAISED PANEL PAN STEEL	WHITE
SINGLE HUNG	VINYL	STANDARD WHITE WITH COLONIAL PATTERN FLAT GRIDS

NOTE:
ADDRESS FOR EACH UNIT TO BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD.



PLANT INSTALLATION NOTES

1. CONTRACTOR SHALL VERIFY WITH THE OWNER AND UTILITY COMPANIES THE LOCATIONS OF THE EXISTING UTILITIES PRIOR TO STARTING WORK. CALL THE MICHIGAN UTILITIES PROTECTION SERVICE AT 800-482-7171. CONTRACTOR TO REPAIR ALL DAMAGES TO EXISTING UTILITIES, CURBS, PAVEMENTS, ETC. RESULTING FROM LANDSCAPE INSTALLATIONS WHICH OCCUR DURING THE CONSTRUCTION OF THE PROJECT.
2. PLANT MATERIAL SHALL BE FURNISHED IN THE QUANTITIES AND/OR SPACING AS SHOWN OR NOTED. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
3. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL SITE ELEMENTS AND IMMEDIATELY INFORM THE OWNER AND DESIGN CONSULTANT OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS. NO WORK SHALL BE DONE IN ANY AREA WHERE THERE IS A DISCREPANCY WITHOUT OWNERS APPROVAL.
4. CONTACT THE OWNER TO REQUEST ELECTRONIC FILES FOR LAYOUT AND STAKING.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADING IN THE PROJECT REQUIRED TO PROVIDE A PROPER SOD AND PLANTING BED.
6. CONTRACTOR SHALL PROVIDE THE FOLLOWING SOIL AMENDMENTS:

SOIL AMENDMENT:
TOP GRADE SITE MANAGEMENT CONTRACTORS COMPOST (OR EQUAL)
3407 58TH STREET
HAMILTON, MI 49419
269-751-8898

PERENNIAL BED AREAS:
SPREAD 3" OF ORGANIC COMPOST OVER NEW LANDSCAPE AREAS AND INCORPORATE INTO THE TOP 8" OF THE SOIL BY MECHANICAL TILLER.

TREES AND SHRUBS:
MIX 30% ORGANIC COMPOST TO 70% EXISTING SOIL FROM PLANT PIT EXCAVATION. IF EXCAVATED SOIL IS NOT SUITABLE, SUPPLEMENT WITH IMPORTED TOPSOIL.
7. ALL PLANT MATERIAL TO MEET OR EXCEED AMERICAN STANDARD FOR NURSERY STOCK, 2014 EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.

8. ALL PLANT MATERIALS SUBJECT TO INSPECTION PRIOR, DURING AND AFTER INSTALLATION. ANY PLANT NOT MEETING THE REQUIREMENTS WILL BE CAUSE FOR REJECTION BY THE OWNER. ALL REJECTED PLANTS SHALL BE IMMEDIATELY REMOVED AND DISPOSED OF BY THE CONTRACTOR AND THE REPLACEMENT MATERIAL SHALL BE PROVIDED.
9. ALL SUBSTITUTIONS AND PLANT CHANGES MUST BE APPROVED BY THE OWNER AND DESIGN CONSULTANT PRIOR TO ANY ACTION TAKEN. TREES SHALL BE PROTECTED AND HANDLED CAREFULLY AT ALL TIMES DURING TRANSPORT & HANDLING TO PREVENT DRYING OF TREE OR ROOT BALL BY WINDS AND TO PREVENT ANY DAMAGE OR BREAKAGE OF THE ROOT BALL. BARK SHALL BE PROTECTED FROM BRUISING OR ABRASION.
10. WATER TREES IMMEDIATELY AFTER PLANTING AND CONTINUE TO WATER UNTIL FINAL ACCEPTANCE BY THE OWNER.
11. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY OWNER AND DESIGN CONSULTANT BY PRIOR TO PLANT INSTALLATION.
12. BED LINE TO BE 18" FROM BASE OF PLANT MATERIAL UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

13. ALL SHRUB AND BED AREAS, EXCEPT AT PROJECT ENTRY TO BE MULCHED WITH 3" DEPTH MIN. NO. 34 WASHED RIVERROCK OVER WEED BARRIER FABRIC. DECIDUOUS TREES IN LAWN AREAS SHALL BE MULCHED WITH A 3" DIAMETER TREE RING USING 3" SHREDDED HARDWOOD BARK MULCH. DO NOT MOUND MULCH AROUND TREE ROOT COLLAR. SUBMIT SAMPLE TO OWNER FOR APPROVAL.
14. ALL AREAS OUTSIDE OF PLANTING BEDS SHALL BE SODDED AS SHOWN AND NOTED.
15. ALL SEEDDED AREAS TO BE INSTALLED WITH HYDROSEED MIXTURE PER SEED SUPPLIER AND MANUFACTURERS SPECIFICATIONS.
16. ALL SLOPES IN EXCESS OF 3:1 (H:V) TO BE HYDROSEEDDED AND MATTED WITH NAG S75 MINIMUM WITH ROLLS ORIENTED DOWN SLOPE AND STAKED TO MANUFACTURERS RECOMMENDATIONS.
17. FINISHED TURF (SOD) TO BE FLUSH WITH TOP OF ADJACENT CURB OR WALK. COORDINATE WITH OWNER IN FIELD AS REQUIRED.
18. THE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS AND GROUND COVERS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE. REPLACE MATERIAL WITHIN SEVEN (7) DAYS OF NOTIFICATION OF THE OWNER.

19. PERFORM CLEANING DURING INSTALLATION OF LANDSCAPE WORK AND UPON COMPLETION. REMOVE FROM SITE ALL EXCESS LANDSCAPE RELATED MATERIAL, SOIL DEBRIS AND EQUIPMENT. REPAIR DAMAGE RESULTING FROM LANDSCAPING OPERATIONS. SWEEP AND HOSE DOWN PAVED SURFACES AFFECTED BY LANDSCAPING OPERATIONS. ALL HARD SURFACES INCLUDING BUILDINGS, PAVEMENTS, SIGNS, A/C UNITS AND FENCES SHALL HAVE HYDROSEED OVERSPRAY REMOVED BY LANDSCAPE CONTRACTOR AS PART OF THEIR CLEANUP. COORDINATE WITH OWNER AND OTHER CONTRACTORS FOR FINAL CLEANUP PRIOR TO CLEANING.
20. MAINTENANCE: THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE COMPLETED LANDSCAPE AND IRRIGATION SYSTEMS UNTIL THE DATE OF FINAL ACCEPTANCE.

a. MOWING - MINIMUM ONCE PER WEEK.

b. TRIMMING - SHRUBS, TREES, AND GROUND COVERS MINIMUM TWO TIMES PER YEAR OR AS REQUIRED.

c. FERTILIZING - APPLY FERTILIZER AT A RATE EQUAL TO 1 LB. OF ACTUAL NITROGEN/1000 S.F. IN THE SPRING AND FALL TO ALL TURF AND PLANTINGS.

d. BED EDGING - EDGE ALL BEDS BY HAND, SPADE AT LEAST TWO TIMES PER YEAR AND TOP-MULCH AS NEEDED WITH NO. 34 RIVER STONE IN FALL AND SPRING.

ZONING REQUIEMENTS

H iv. DETENTION/RETENTION AREAS SHALL HAVE A MINIMUM OF ONE CANOPY OR EVERGREEN TREE WITH TEN MEDIUM SHRUBS, OR SIX LARGE SHRUBS OR SIX ORNAMENTAL TREES FOR EVERY 50 LF OF POND PERIMETER .

POND PERIMETER:1671 LF

CREDIT: EX. WETLAND BUFFER:436 LF ADJACENT TO THE EXISTING VEGETATION

CALCULATED POND PERIMETER:1671 - 436 = 1235 LF

REQUIRED:1235 / 50 = 25 CANOPY OR EVERGREEN TREES

PROVIDED:13 CANOPY TREES

12 EVERGREEN TREES

REQUIRED:(1235 X 6) / 50 = 148 COMBINED ORNAMENTAL TREES AND LARGE SHRUBS

PROVIDED:80 ORNAMENTAL TREES

72 LARGE EVERGREEN AND DECIDUOUS SHRUBS

PLANT LIST:

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	COND.	COMMENTS
DECIDUOUS TREES					
AC FR	Acer x freemanii 'Armstrong'	Armstrong Maple	3" cal.	B&B	As Shown
AC RU	Acer rubrum 'October Glory'	October Glory Maple	3" cal.	B&B	As Shown
AM GR	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	12' multi-stem	B&B	As Shown
BE PO	Betula populifolia 'Whitespire'	Whitespire Birch	12' multi-stem	B&B	As Shown
CA CA	Carpinus caroliniana	American Hornbeam	12' ht.	B&B	As Shown
CR PU	Crataegus punctata 'Ohio Pioneer'	Ohio Pioneer Hawthorn	2" cal.	B&B	As Shown
CE OC	Celtis occidentalis	Common Hackberry	3" cal.	B&B	As Shown
CE CA	Cercis canadensis	Eastern Redbud	12' multi-stem	B&B	As Shown
GL TR	Gleditsia tricanthos f. inermis 'Skycole'	Skyline Honeylocust	3" cal.	B&B	As Shown
MA VI	Magnolia virginiana 'Moonglow'	Moonglow SweetbayMagnolia	12' multi-stem	B&B	As Shown
QU AL	Quercus alba	White Oak	3" cal.	B&B	As Shown
TI AM	Tilia americana 'Redmond'	Redmond Linden	3" cal.	B&B	As Shown
UL PA	Ulmus parvifolia	Lacebark Elm	3" cal.	B&B	As Shown
EVERGREEN TREES					
AB CO	Abies concolor	White Fir	8' ht.	B&B	As Shown
PI ST	Pinus strobus	Eastern White Pine	8' ht.	B&B	As Shown
TS CA	Tsuga canadensis	Canadian Hemlock	8' ht.	B&B	As Shown
SHRUBS					
CH CO	Chamaecyparis p. compacta variegata	Dwarf Variegated False Cypress	18" ht	Cont.	
CO SE	Cornus sericea 'Bailei'	Redosier Dogwood	36" ht	B&B	As Shown
IL GL	Ilex glabra 'Densa'	Dense Compact Inkberry	24" spread	Cont.	As Shown
IT VI	Itea virginica 'Little Henry'	Little Henry Virginia Sweetspire	18" ht	Cont.	As Shown
JU CH	Juniperus chinensis 'Sea Green'	Sea Green Juniper	24" spread	Cont.	As Shown
JU SA	Juniperus sabinia 'Buffalo'	Buffalo Juniper	24" spread	Cont.	As Shown
JU VI	Juniperus virginiana 'Emerald Sentinel'	Emerald Sentinel Juniper	6' ht.	B&B	As Shown
SP JA	Spiraea japonica 'Goldflame'	Goldflame Spirea	18" ht.	Cont.	As Shown
SY ME	Syringa meyeri 'Palibin'	Palibin Lilac	24" ht	B&B	As Shown
TH TE	Thuja o. 'Techny'	Mission Arborvitae	8' ht.	B&B	As Shown
VI PR	Viburnum x pragensense	Prague Viburnum	36" ht	B&B	As Shown
PERENNIALS AND ORNAMENTAL GRASSES					
HE HR	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	#1	cont.	18" o.c.
PA VI	Panicum virgatum 'Rotstrahlbusch'	Red Rays Switch Grass	#1	cont.	As Shown
PE HA	Pennisetum a. 'Hameln'	Dwarf Fountain Grass	#1	cont.	As Shown

*Plant substitutions may be required depending on plant availability. Any substitutions must be approved by landscape architect and Redwood.



Columbus
100 Northwoods Blvd, Ste A
Columbus, Ohio 43235
p 614.255.3399

Cincinnati
20 Village Square
Floor 3
Cincinnati, Ohio 45246
p 614.360.3066

PODdesign.net

Project Name

Redwood
Hartland MI

Hartland Township, MI



Prepared For

Redwood Living
7007 East Pleasant Valley Road
Independence, OH 44131

Project Info

Project #20011

Date07/06/2021

BySF, SO, TF

ScaleAs Noted

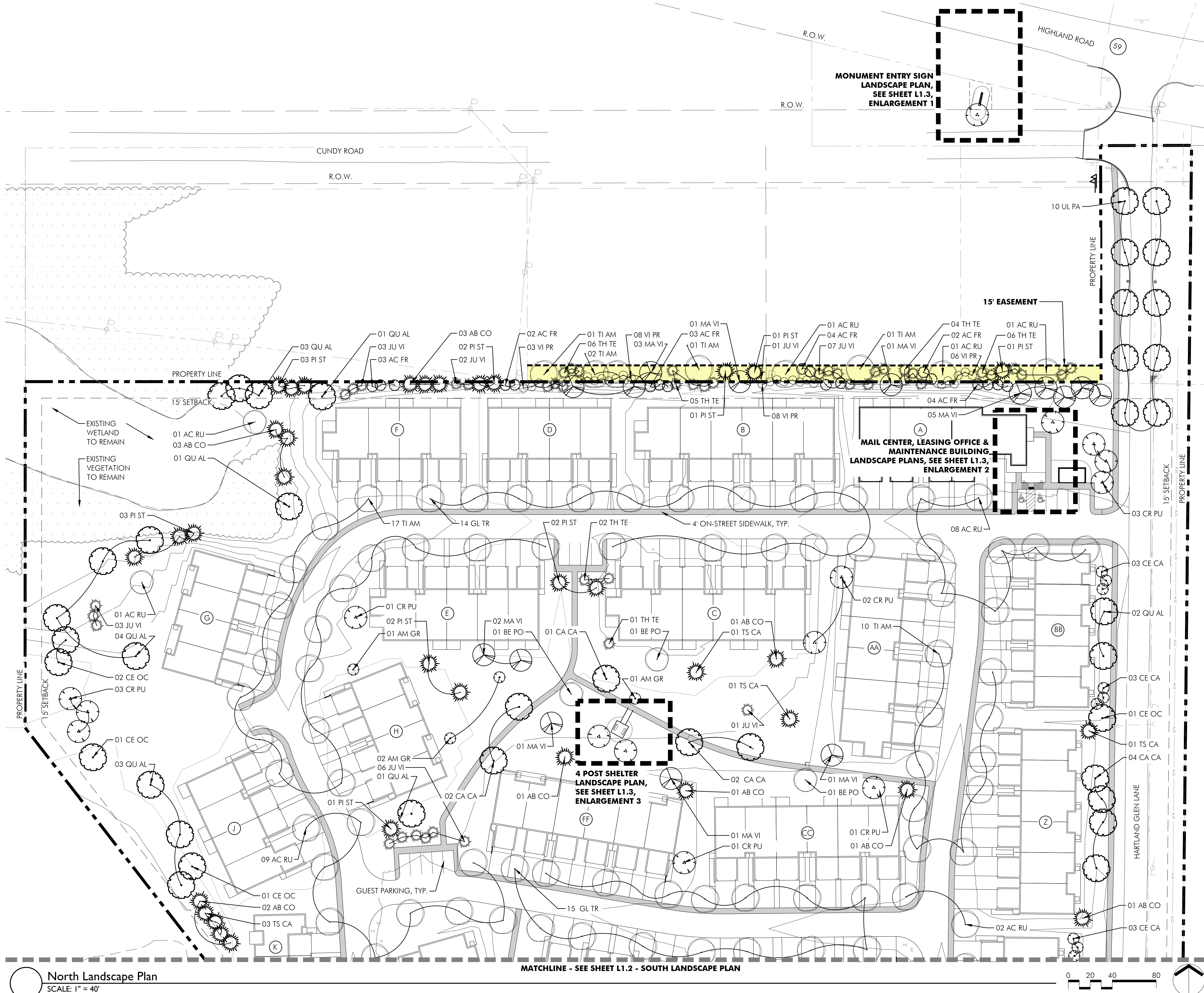
Revisions

Sheet Title

OVERALL
REFERENCE
PLAN

Sheet #

L1.0



North Landscape Plan
SCALE: 1" = 40'

MATCHLINE - SEE SHEET L1.2 - SOUTH LANDSCAPE PLAN

0 20 40 80

POD design

Columbus
100 Northwoods Blvd, Ste A
Columbus, Ohio 43235
p 614.255.3399

Cincinnati
20 Village Square
Floor 3
Cincinnati, Ohio 45246
p 614.360.3066

PODdesign.net

Project Name
**Redwood
Hartland MI**
Hartland Township, MI



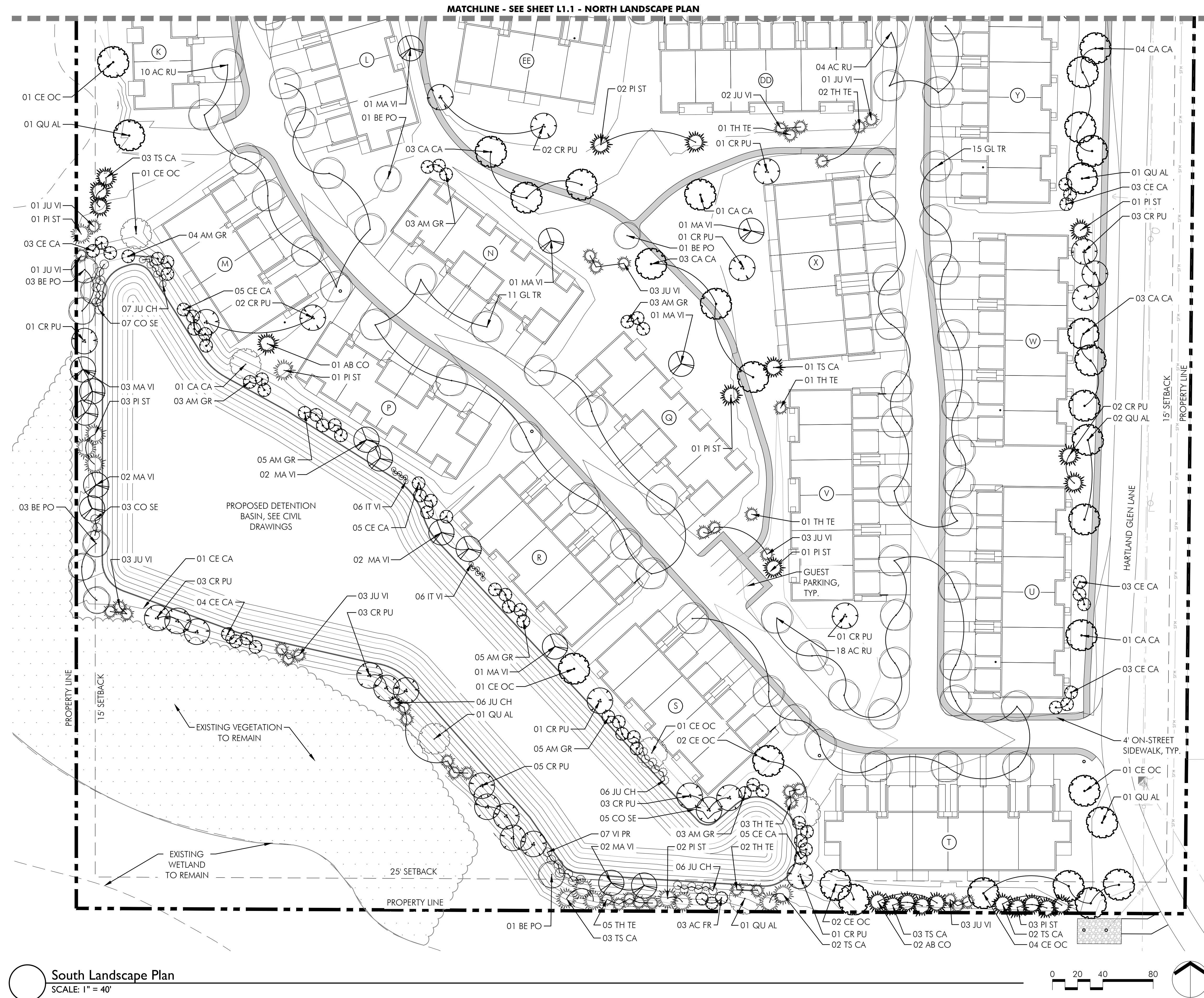
Prepared For
Redwood Living
7007 East Pleasant Valley Road
Independence, OH 44131

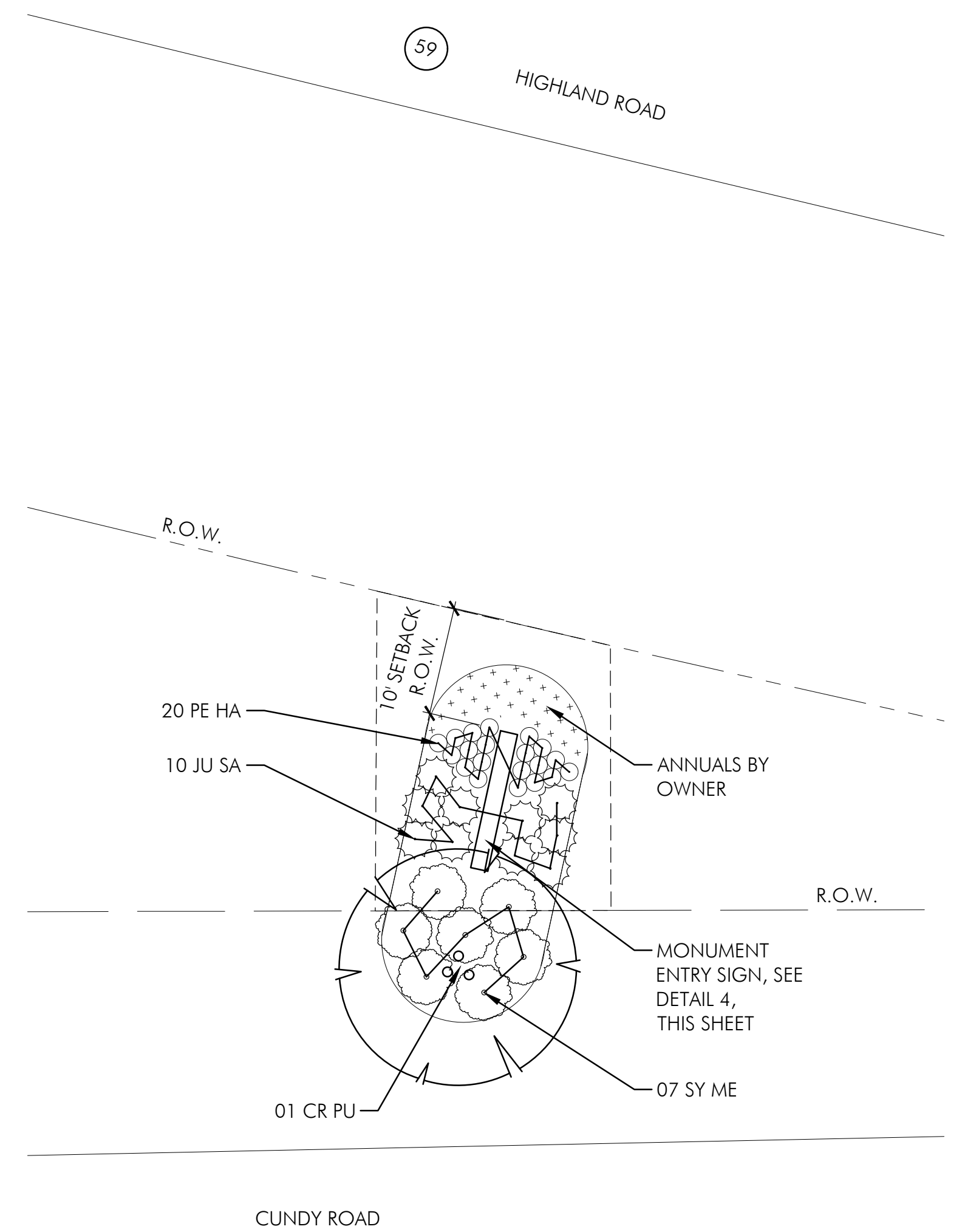
Project Info	
Project #	20011
Date	07/06/2021
By	SF, SO, TF
Scale	As Noted

Revisions

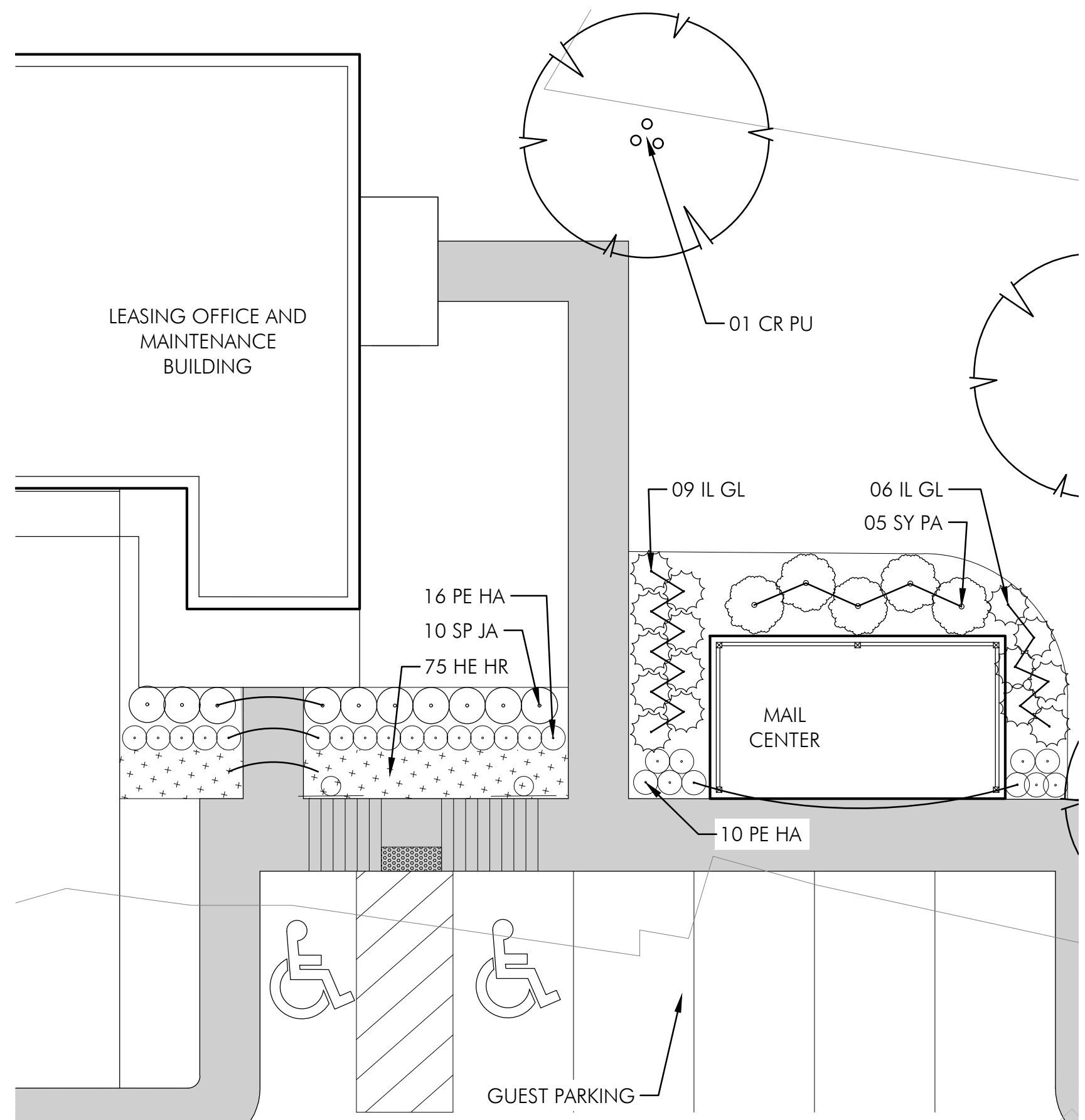
Sheet Title
**NORTH
LANDSCAPE
PLAN**

Sheet #
L1.1

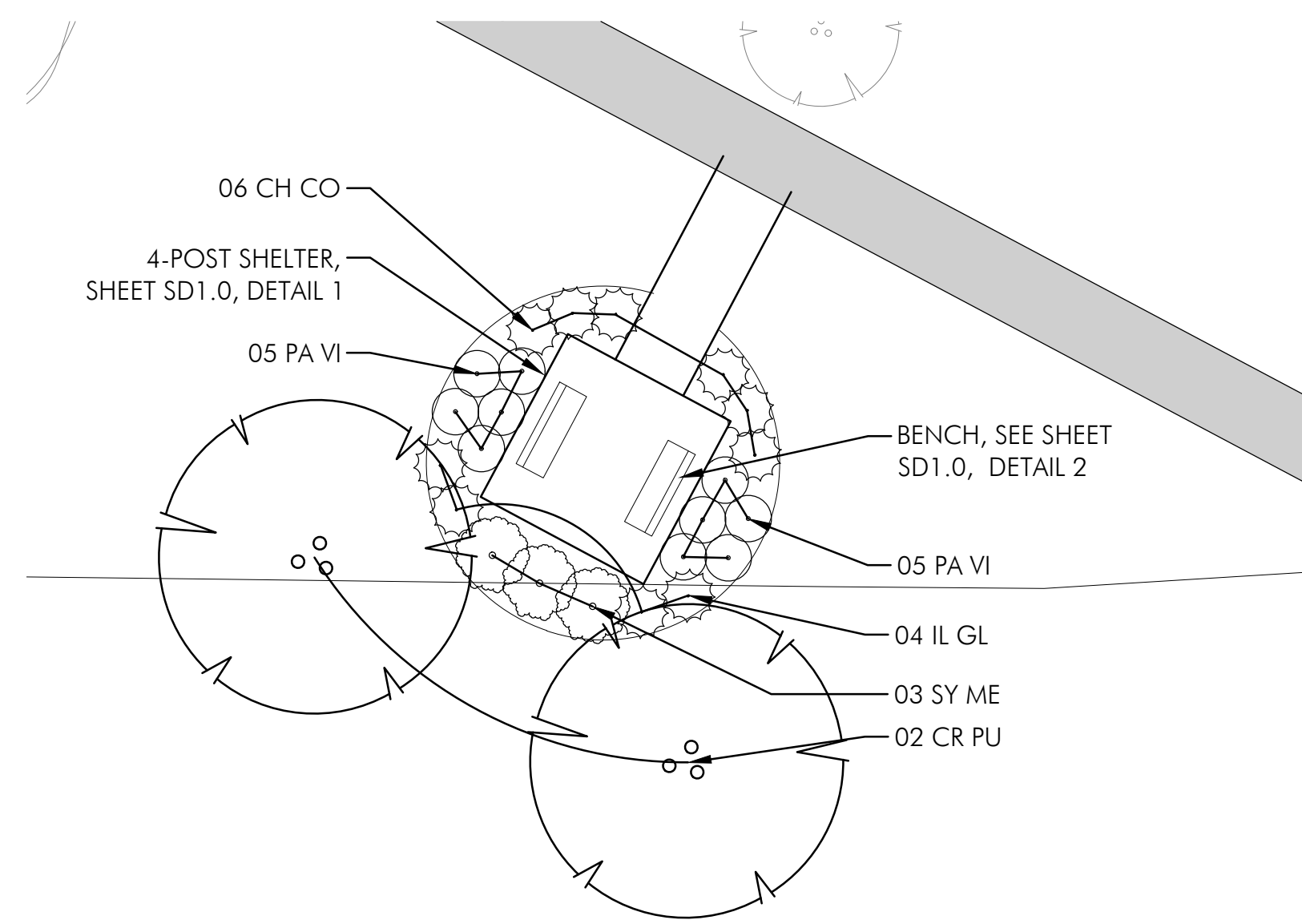




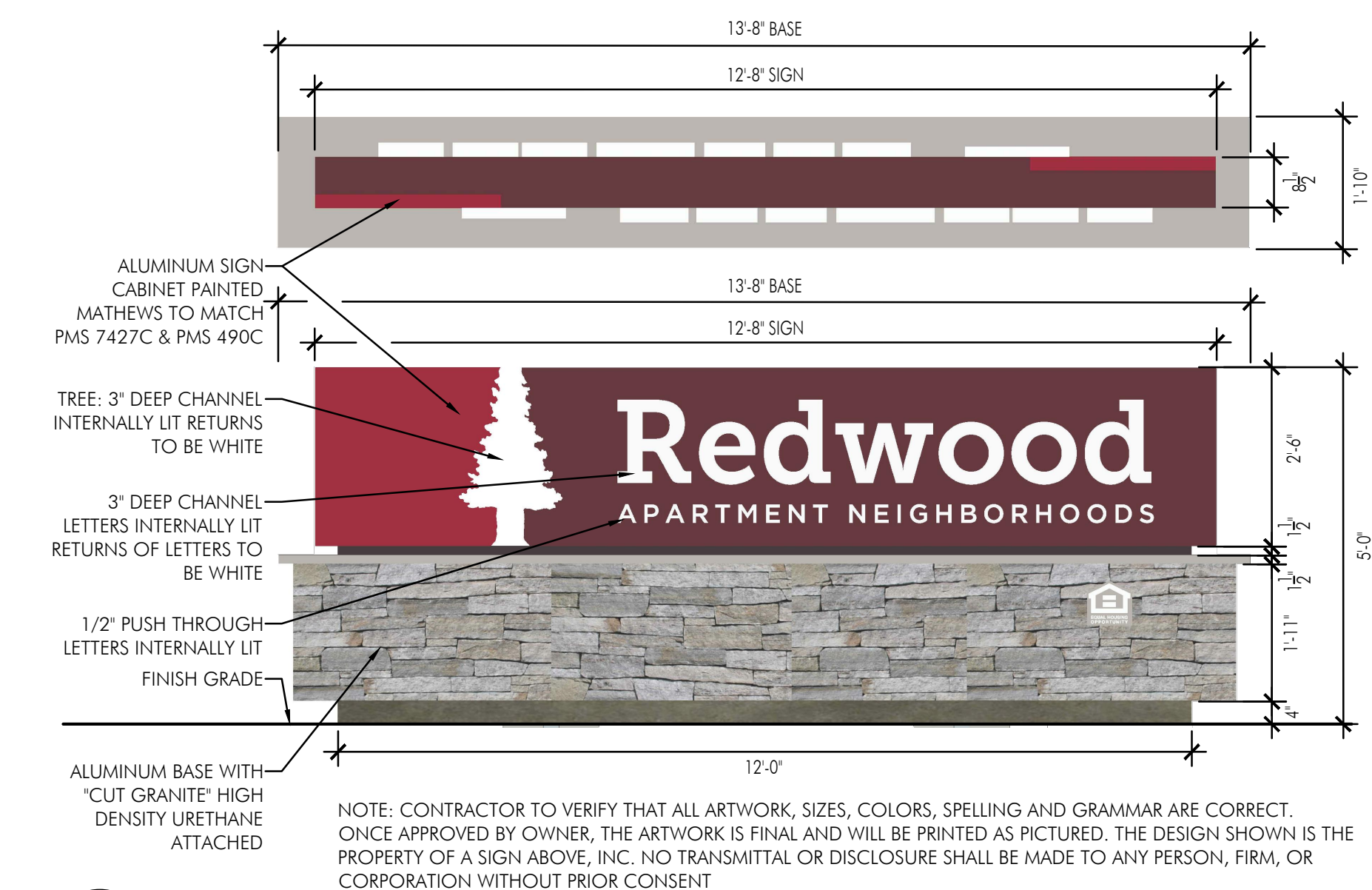
1 Entry Signage Landscape Plan
SCALE: 1" = 10'



2 Leasing Office & Maintenance Building, & Center Landscape Plan
SCALE: 1" = 10'



3 4-Post Shelter Landscape Plan
SCALE: 1" = 10'



4 Monument Entry Sign (32 SF face)
1/2" = 1'-0"



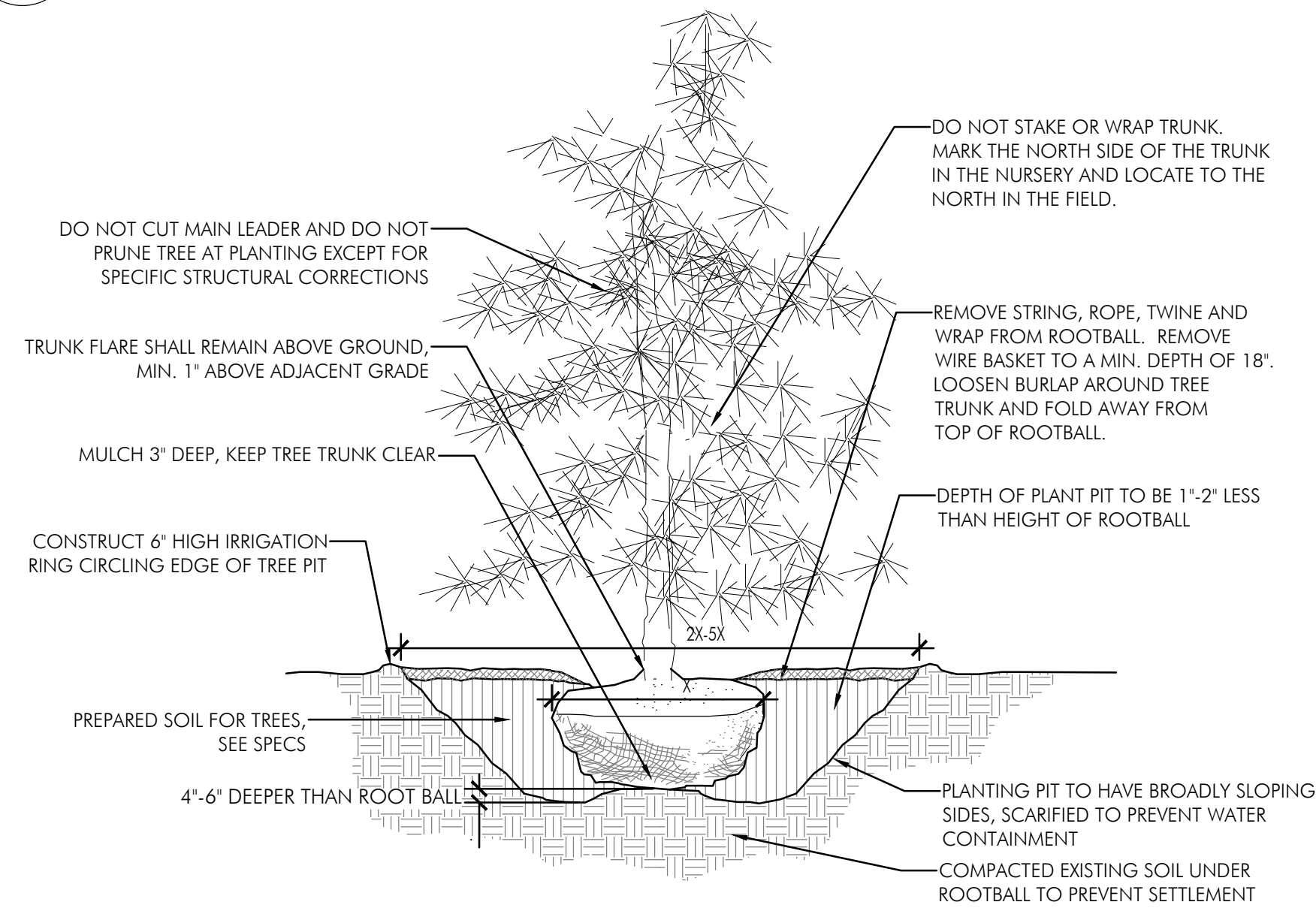
NOTE:

1. STRUCTURE SHALL BE 12x12'
2. COLOR AND MATERIAL TO BE DETERMINED BY OWNER

ADA ACCESSIBLE ROUTE FROM INTERNAL STREET/PATH

1 Resident Shelter

N.T.S.

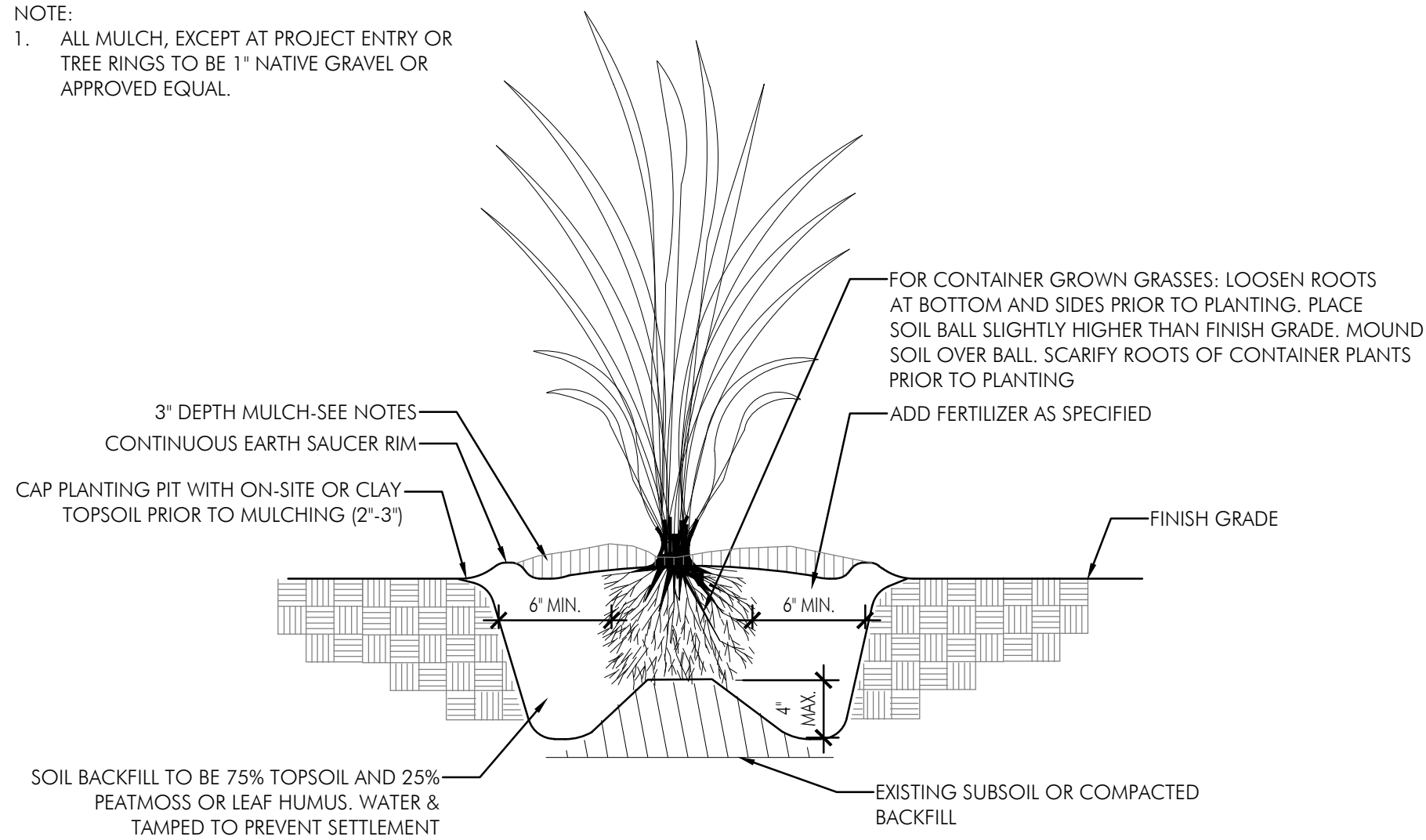


4 Evergreen Planting

1"=1'-0"

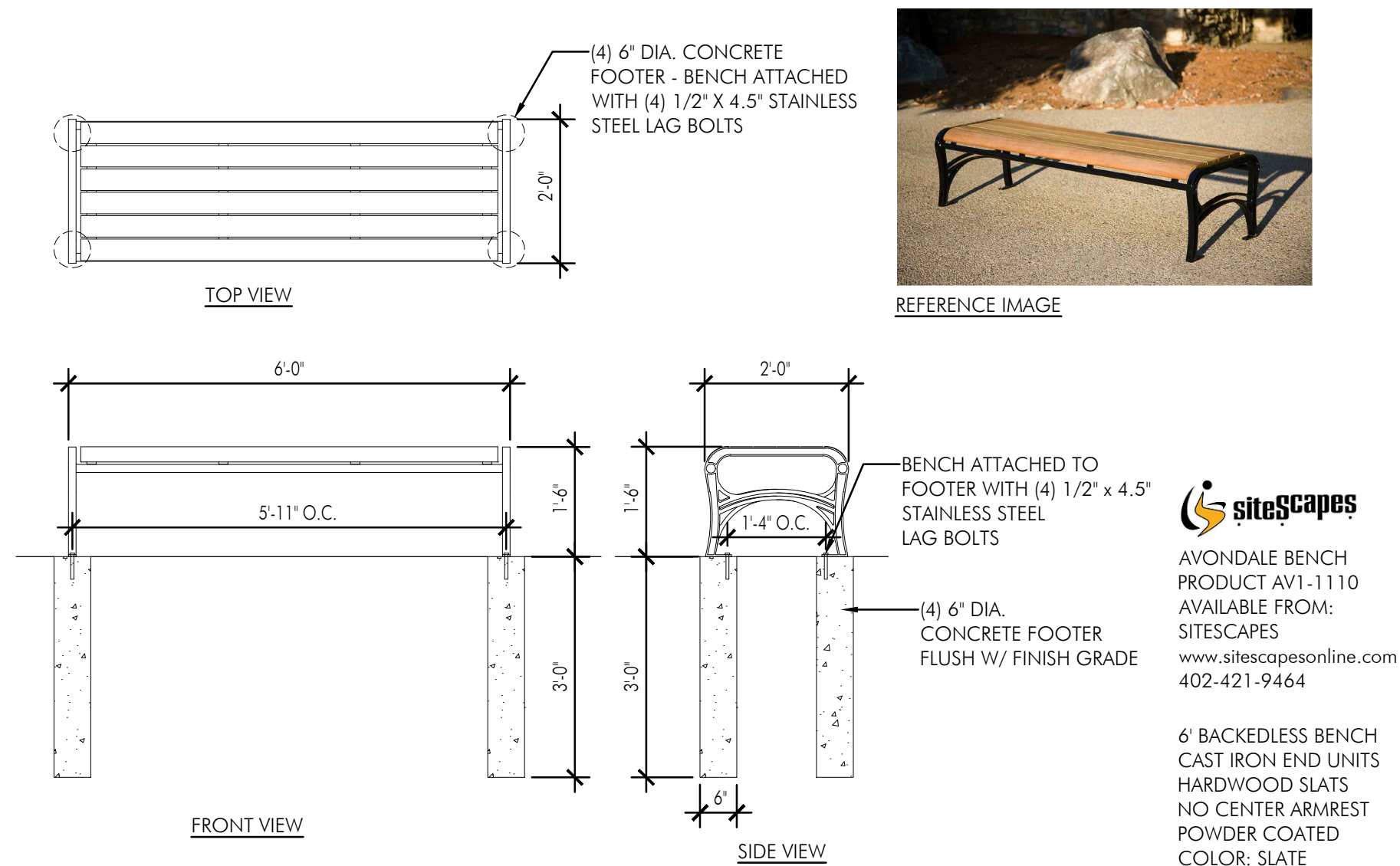
NOTE:

1. ALL MULCH, EXCEPT AT PROJECT ENTRY OR TREE RINGS TO BE 1" NATIVE GRAVEL OR APPROVED EQUAL.



7 Grass Planting

1 1/2"=1'-0"



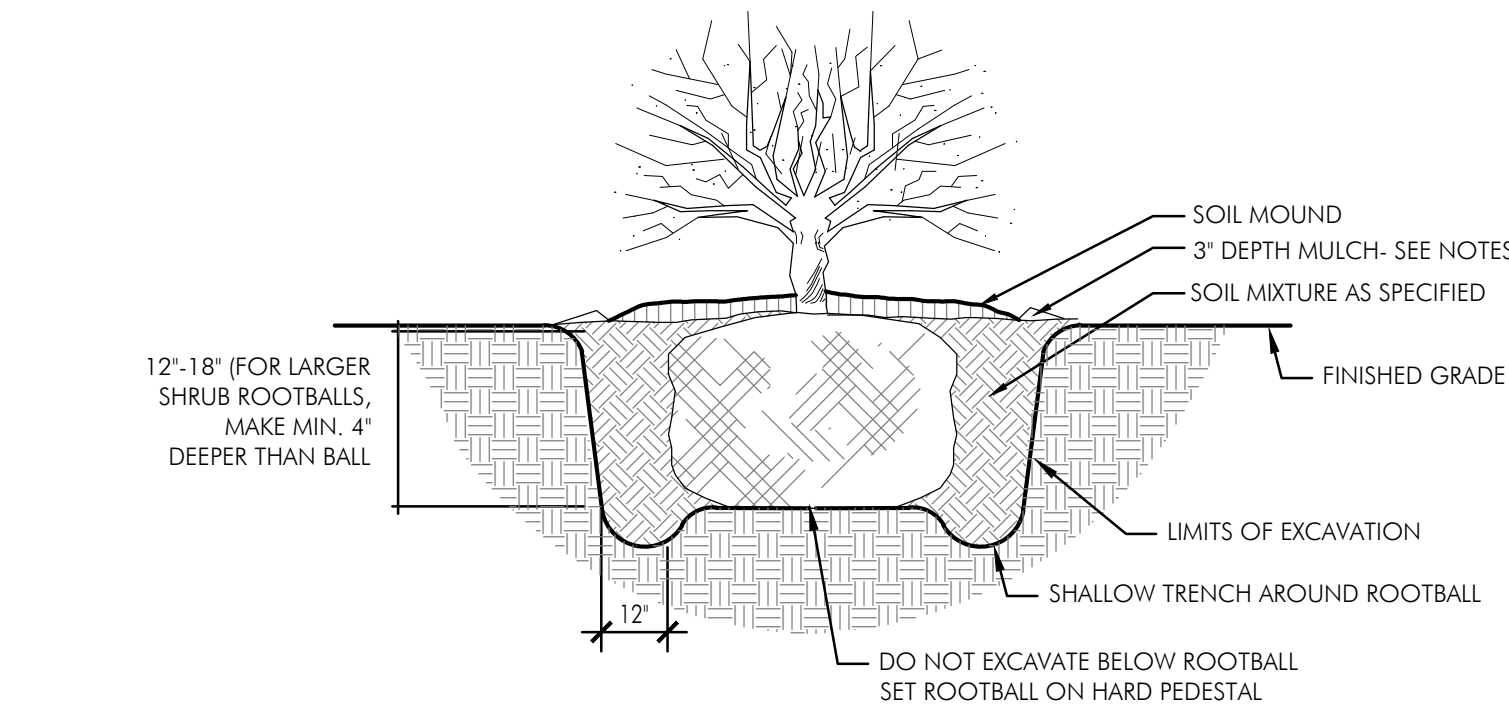
2 Avondale Backless Bench

1/2"=1'-0"

NOTES:

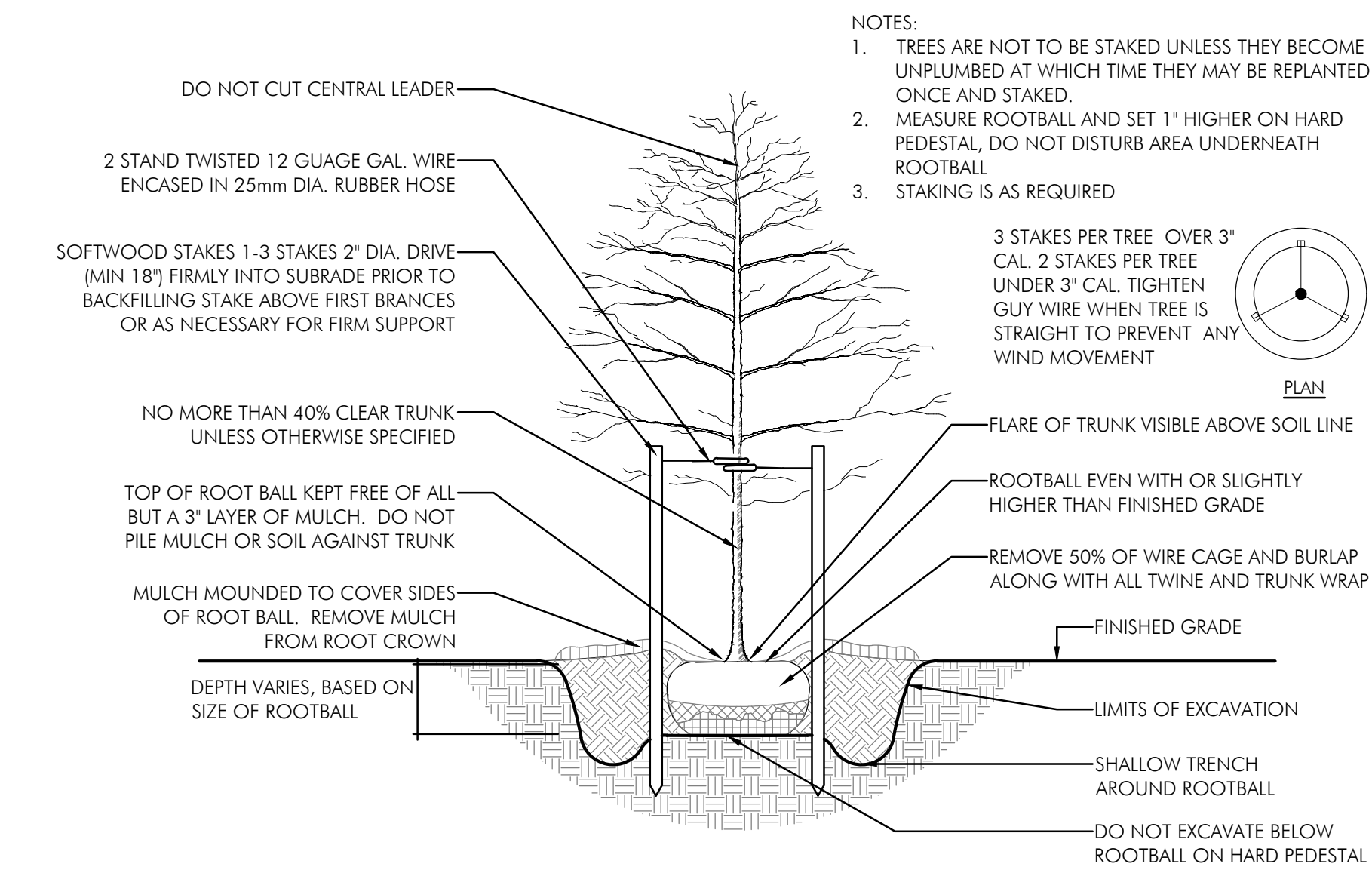
1. DO NOT PRUNE SHRUBS DURING INSTALLATION
2. MEASURE ROOTBALL AND SET 1" HIGHER ON HARD PEDESTAL, DO NOT DISTURB AREA UNDERNEATH ROOTBALL
3. ALL MULCH, EXCEPT AT PROJECT ENTRY OR TREE RINGS TO BE 1" NATIVE GRAVEL OR APPROVED EQUAL.

THE AMOUNT OF PRUNING SHALL BE LIMITED TO 1/3 OF THE BRANCHES TO COMPENSATE FOR LOSS OF ROOTS FROM TRANSPLANTING. REMOVE DEAD AND INJURED LIMBS. REMOVE BURLAP AND WIRE OR TWINE FROM TOP AND SIDES OF BALL. CENTER SHRUB IN HOLE. SET TOP OF BALL 1-3" ABOVE FINISH GRADE.



5 Shrub Planting

N.T.S.

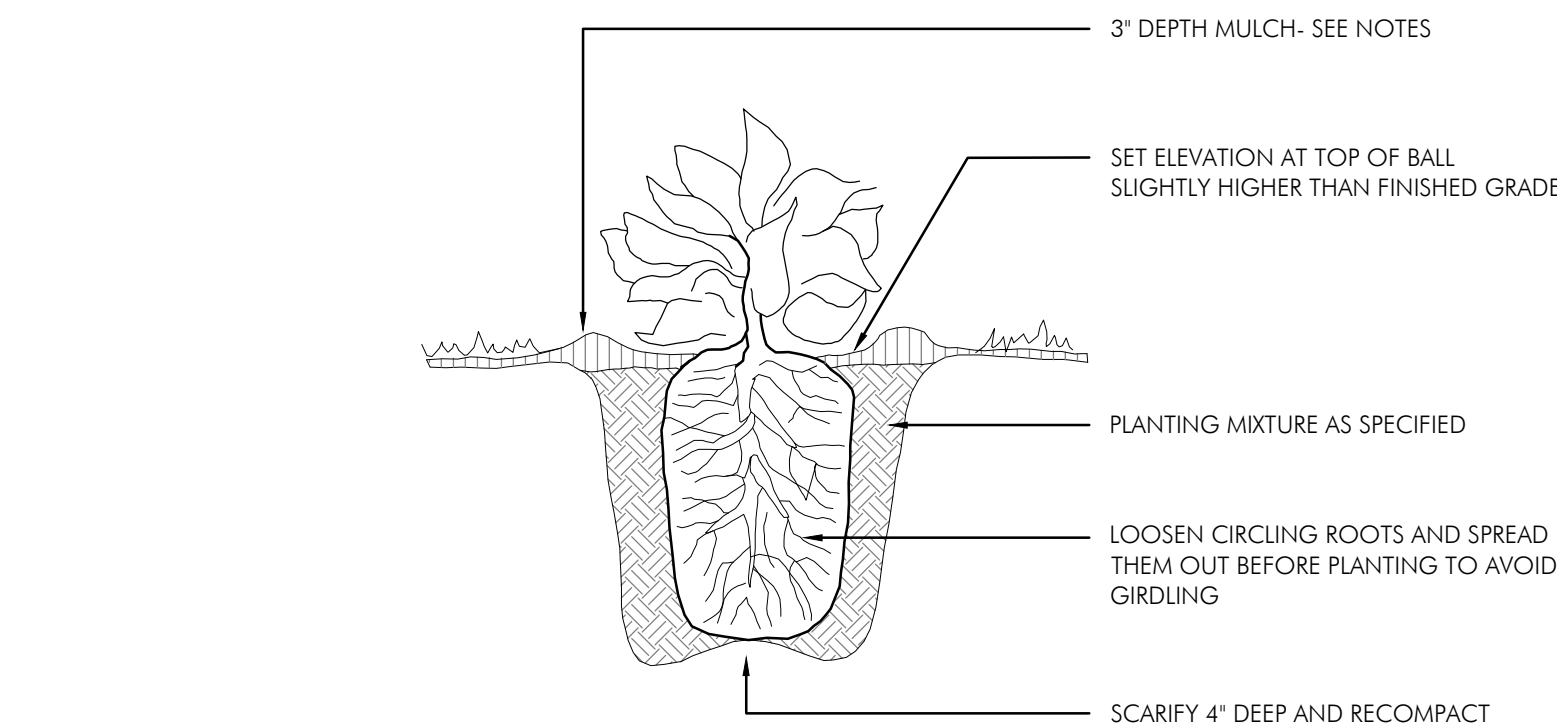


3 Tree Planting

N.T.S.

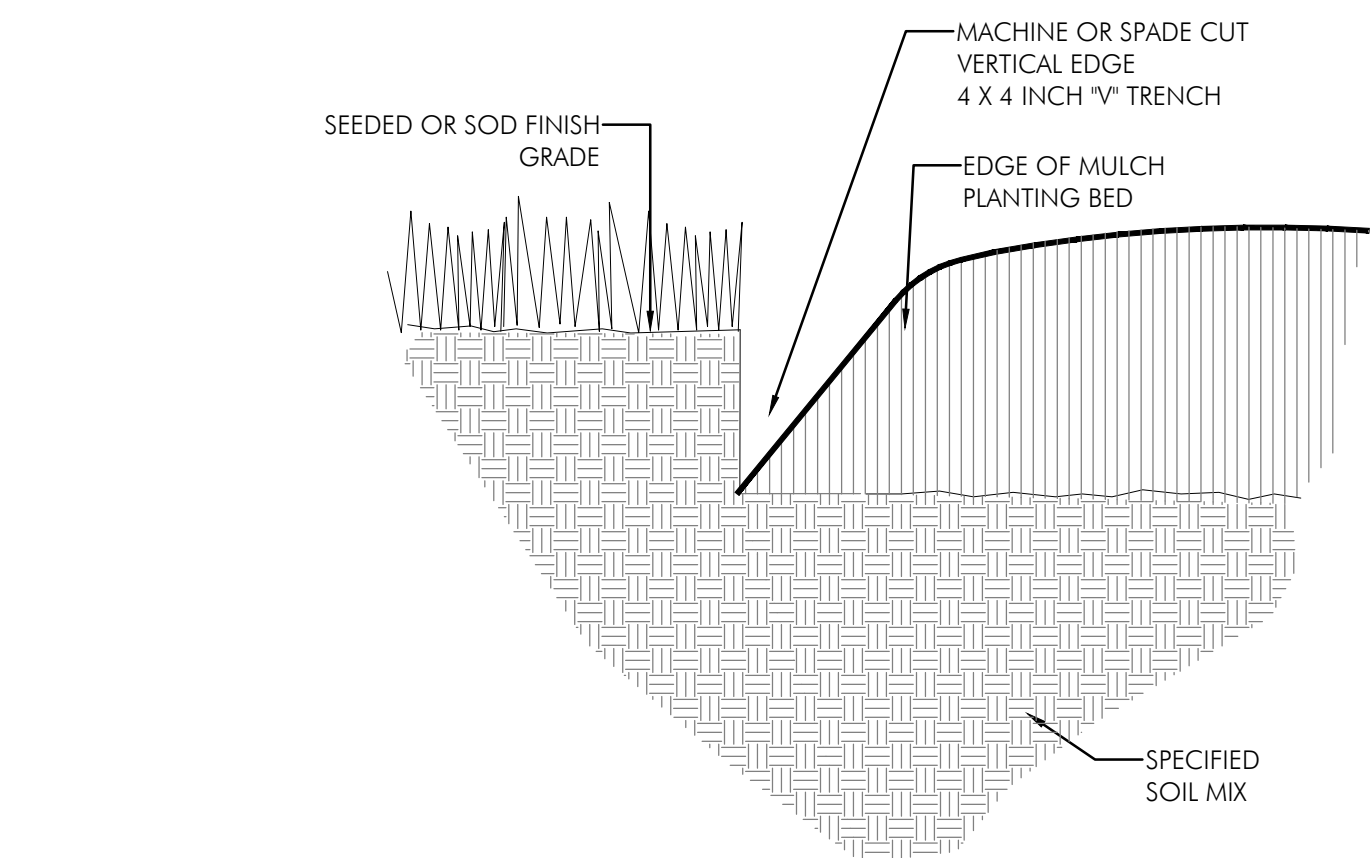
NOTE:

1. ALL MULCH, EXCEPT AT PROJECT ENTRY OR TREE RINGS TO BE 1" NATIVE GRAVEL OR APPROVED EQUAL.



6 Perennial Planting

N.T.S.



8 Mulch Edge Treatment at Lawn

N.T.S.

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Susan Dryden-Hogan, Finance Director

Subject: Amendment to Sewer Bond Refunding Resolution R21-011

Date: August 12, 2021

Recommended Action

Move to approve the Amending Bond Resolution as attached for the 2021 Sanitary Sewer Refunding Bonds, Series 2021

Discussion

As approved under Resolution R21-011, the Board allowed the above-named refunding bonds to be sold as either a Public Sale or Negotiated Sale. Subsequently, Huntington Capital Services was chosen as our Underwriter for the Negotiated Sale. Huntington's legal counsel, Dickinson Wright PLLC, has requested that Resolution R21-011 Paragraph 21(b) be amended with the attached language.

Approval of this amended language will cause no delay in the sale of the bonds, and the cost is already included in Huntington's fees.

Financial Impact

Is a Budget Amendment Required? ☐ Yes ☒ No

Attachments

Amending Bond Resolution

TOWNSHIP OF HARTLAND

At a regular meeting of the Township Board of the Township of Hartland, Livingston Township, Michigan, held in the Township Hall, Hartland, Michigan on August 17, 2021 at 7:00 p.m., Eastern Daylight Savings Time there were:

PRESENT: _____

ABSENT: _____

The following resolution was offered by Trustee _____ and seconded by Trustee _____:

RESOLUTION **AMENDING BOND RESOLUTION** **Hartland Township – Sanitary Sewer** **Bonds, Series 2021**

WHEREAS, on June 15, 2021 the Township adopted Resolution No. 21-R011 authorizing the issuance of Hartland Township – Sanitary Sewer Refunding Bonds, Series 2021 (“Bond Resolution”); and, and

WHEREAS, Paragraph 21(a) and (b) authorized the method of sale of the bonds either by way of a Competitive Sale or Negotiated Sale; and

WHEREAS, it has been determined in accordance with the Bond Resolution to sell the Bonds by way of a Negotiated Sale utilizing an underwriter and that paragraph 21(b) of the Bond Resolution requires clarification in connection with this method of sale.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWNSHIP BOARD OF THE TOWNSHIP OF HARTLAND as follows:

1. Paragraph 21(b) of the Bond Resolution is hereby amended and replaced with the following:

Negotiated Sale: If a Negotiated Sale is chosen the Bonds may be sold pursuant to a negotiated sale as hereinafter provided if it is determined that such negotiated sale is in the best interests of the Township and is calculated to provide the maximum flexibility and cost savings in pricing the Bonds. The Authorized Officer is hereby authorized to negotiate and enter into a bond purchase agreement with a Bank or an underwriter and any co-managing underwriters to be selected by the Authorized Officer after the Township’s Municipal Advisor has solicited proposals from Banks and other Underwriters, in consultation with the Township’s Municipal Advisor and Bond Counsel

at or prior to the time of the sale of the Bonds (individually, an "Underwriter" or "Bank" and together, the "Underwriters", as applicable), which bond purchase agreement shall set forth the principal amount, principal maturities and dates, interest rates and interest payment dates, redemption provisions, if any, purchase price to be paid by the Underwriters and compensation to be paid to the Underwriters, as well as such other terms and provisions as the Authorized Officer determines to be necessary or appropriate in connection with the sale of the Bonds. The Authorized Officer of the Township is authorized to do all things necessary to effectuate the sale, issuance, delivery, transfer, and exchange of the Bonds in accordance with the provisions of this resolution. To save time and cost the Township may apply for a municipal bond rating exemption waiver from the Michigan Department of Treasury. In making the determinations in the bond purchase agreement with respect to principal maturities and dates, interest rates, purchase price of the Bonds and compensation to be paid to the Underwriters, the Authorized Officer shall be limited as follows:

- (i) The interest rate on any bond shall not exceed 5.00% per annum.
 - (ii) The Underwriters' discount with respect to the Bonds or the compensation to be paid to the Underwriters shall not exceed 1.00% of the principal amount of the Bonds.
2. This Resolution shall become effective immediately upon its adoption and shall be recorded in the minutes of the Township Board of the Township as soon as practicable after adoption.

Discussion followed. The results of a roll-call vote on the foregoing resolution were as follows:

YES: _____

NO: _____

ABSTAIN: _____

THE RESOLUTION WAS DECLARED ADOPTED.

CERTIFICATION OF PROCEEDINGS

The undersigned, being the duly qualified and acting Clerk of the Township of Hartland, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board of the Township at a regular meeting held on August 17, 2021, at which meeting a quorum was present and remained throughout, (2) that an original thereof is on file in the records of the Township, (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended), and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

DATED: _____, 2021

Larry Ciofu, Township Clerk

[SEAL]

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Michael Luce, Director of Public Works

Subject: Hartland Woods Public Road SAD - Resolution of Intent

Date: August 9, 2021

Recommended Action

Move to approve the Resolution of Intent for Hartland Woods Road Improvements SAD.

Discussion

The residents of Hartland Woods Subdivision approached the Township to explore the options of a special assessment to improve the existing conditions of their public roads in 2022. If approved this will become a 2022 project.

The referenced lots and parcels of land have road frontage along Hartland Woods Drive, Harold Ln, Placid Way and Deanna Drive, public roads located within the Hartland Woods development, petitioned the Township to undertake the project with an approximate 82% signature collection. The scope of work proposed includes road milling, limited drainage improvements, and repaving of Hartland Woods Drive, Harold Ln, Placid Way and Deanna Drive. The project scope does NOT include any formal drainage improvements; however, the road improvements will inherently improve overall drainage. The engineering construction estimates for the proposed improvements total \$639,325 or approximately \$9,542.16 per parcel. The costs for the project will be collected annually by the Township in the amount of \$954.22 per parcel annually for ten (10) years plus an interest rate to be determined. No penalties exist for pre-payment of early payoff.

The Township Staff is recommending bonding for the project based on the impact of the capital projects fund balance. Bonding costs are currently included in the cost of the project. Public Works is also seeking approval of the forthcoming agreement for the project from the Livingston County Road Commission as described.

Financial Impact

Is a Budget Amendment Required? ☐ Yes ☒ No

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Attachments

Hartland Woods Resolution of Intent
2021 Hartland Woods Estimate Costs
2021 Hartland Woods Map



Hartland Woods



BOARD OF TRUSTEES

2655 Clark Road
Hartland, Michigan 48353
(810) 632-7498 Office
(810) 632-6950 Fax

f



Supervisor
William J. Fountain

Clerk
Larry N. Ciofu

Treasurer
Kathleen A. Horning

Trustees
Summer McMullen
Matthew J. Germane
Denise O'Connell
Joseph M. Petrucci

Trustee

RESOLUTION NO. _____

**RESOLUTION OF INTENT TO MAKE PUBLIC ROAD IMPROVEMENTS;
RATIFICATION OF PRIOR TOWNSHIP ACTION; TENTATIVE DESIGNATION OF
SPECIAL ASSESSMENT DISTRICT;
NOTICE OF PUBLIC HEARING**

At a regular meeting of the Township Board of Hartland Township, Livingston County, Michigan, held at the Township Hall in said Township on _____, 2021, at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____ and
seconded by _____.

WHEREAS, Section 3 of Act 188 of the Public Acts of Michigan of 1954, as amended ("Act 188"), provides that the Township Board may proceed and exercise the powers granted by Act 188 unless written objections to the proposed public improvement are filed at or before the public hearing with the Township Board by the record owners of land constituting more than 20% of the total land area in the proposed special assessment district; and

e

WHEREAS, the Township wishes to undertake certain private road improvements ("the Improvements"), which Improvements are more particularly described in **Exhibit A**, to improve improvements within the Hartland Woods Subdivision, a development with public roads within the Township; and

WHEREAS, Act 188 provides the means to defray the cost of the Improvements by special assessments against property benefited by the Improvements; and

WHEREAS, there exists a need for the Improvements in the Township; and

NOW, THEREFORE, BE IT HEREBY RESOLVED AS FOLLOWS:

1. The Township Board intends to proceed with the Improvements pursuant to Act 188.
2. The preliminary plans showing the Improvements, their location, and an estimate of the cost thereof have been obtained by the Township and have been filed with the Township Clerk.
3. The Township Board hereby tentatively designates a special assessment district known as the "Hartland Woods Road Improvements Special Assessment District No. 1" ("the District") consisting of certain parcels of land, the descriptions of which are set forth in the Notice of Hearing attached as **Exhibit B**, which descriptions are incorporated by reference, and against which parcels all or a portion of the cost of the Improvements shall be assessed.
4. The Township Board shall hold a public hearing at a regular meeting of the Township Board on _____ 2021 at 7:00 pm at the Township Hall in the Township to hear and consider objections to the proposed Improvements and to all other matters relating to the Improvements.

5. The Township Clerk is directed to publish the Notice of Hearing, attached as **Exhibit B**, in a newspaper circulating in the Township as required by Act 188 and to provide notice by first-class mail addressed to the record owner or party in interest on the form attached hereto as **Exhibit C** as required by Act 188.

6. All actions heretofore taken by Township officials, employees, and agents with respect to the Improvements and proceedings under Act 188 are hereby ratified and confirmed.

A vote on the foregoing resolution was taken and was as follows:

ADOPTED:

YEAS:

NAYS:

ABSENT:

STATE OF MICHIGAN)
)
COUNTY OF LIVINGSTON)

I, the undersigned, the duly qualified and acting Township Clerk of the Township of Hartland, Livingston County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and complete copy of certain proceedings taken by the Township Board of said Township at a regular meeting held on the _____ day of _____, 2021.

Larry N. Ciofu, Hartland Township Clerk

EXHIBIT A

**TOWNSHIP OF HARTLAND
COUNTY OF LIVINGSTON, MICHIGAN**

**DESCRIPTION OF IMPROVEMENTS
HARTLAND WOODS ROAD IMPROVEMENTS
SPECIAL ASSESSMENT DISTRICT NO.1**

This project consists of road improvements and serves properties located within Hartland Woods Subdivision, and within the tentatively designated special assessment district known as Hartland Woods Road Improvements Special Assessment District No. 1. The road improvements consist of, among other things, the addition of asphalt to the top road surface.

The preliminary estimate of cost for the project is:

\$448,375	Construction for LCRC portion
\$67,950	Deanna Drive change order
\$67,000	Restoration
\$33,500	Driveway Approaches
\$18,000	Bonding Costs
\$3,500	Legal expenses to develop assessment
\$1,000	Printing and publication
<hr/>	
\$639,325	Total

All or part of this cost shall be spread by special assessment against properties located in Hartland Woods Road Improvements Special Assessment District No. 1.

*Subject to revisions based upon as-bid cost information, verification of publication costs and legal expenses.

EXHIBIT B

**TOWNSHIP OF HARTLAND
COUNTY OF LIVINGSTON, MICHIGAN**

NOTICE OF PUBLIC HEARING

**HARTLAND WOODS ROAD IMPROVEMENTS
SPECIAL ASSESSMENT DISTRICT NO. 1**

NOTICE IS HEREBY GIVEN that the Township Board of the Township of Hartland, Livingston County, Michigan, has determined to undertake certain improvements to the public roads ("the Improvements") in what is commonly known as Hartland Woods Subdivision, located in the Township of Hartland, located within a special assessment district tentatively designated as the Hartland Woods Road Improvements Special Assessment District No.1 (the "District"), pursuant to Act 188 of the Public Acts of Michigan of 1954, MCL 41.721 *et seq.*, as amended ("Act 188").

DESCRIPTION OF PROPOSED SPECIAL ASSESSMENT DISTRICT

The Township Board has tentatively determined that all or part of the cost of said Improvements shall be specially assessed against each of the following described lots and parcels of land, which parcels are all located in Hartland Woods Subdivision, Hartland Township, Michigan, and benefited by the Improvements and which together comprise the following proposed special assessment district:

**HARTLAND WOODS ROAD IMPROVEMENTS
SPECIAL ASSESSMENT DISTRICT NO.1**

Lots and parcels numbered:

Parcel Number	Owner's Name	Property Address	City	State	Zip
4708-29-100-007	POLLACK TRUST	1789 HARTLAND WOODS	Howell	MI	48843
4708-29-101-001	KIRKPATRICK CHARLES III & DEB	9209 PLACID WAY	Howell	MI	48843
4708-29-101-002	HOYER RONALD J & JENNIFER R	9231 PLACID WAY	Howell	MI	48843
4708-29-101-003	BERNARDI NICHOLAS P & SUSAN J	9253 PLACID WAY	Howell	MI	48843
4708-29-101-004	KALOWICK CARY S & MICHAEL K	9275 PLACID WAY	Howell	MI	48843
4708-29-101-005	MEEK RANDALL T & TAMARA A	9311 PLACID WAY	Howell	MI	48843
4708-29-101-006	HARRIS STEVEN D & ANDREA	1627 HAROLD LN	Howell	MI	48843
4708-29-101-007	EPP RODGER & SUSAN	1639 HAROLD LN	Howell	MI	48843
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4708-29-101-009	LAMBERT BRETT A	1823 HARTLAND WOODS	Howell	MI	48843
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4708-29-101-013	MILLER KOLBY	1919 HARTLAND WOODS	Howell	MI	48843
4708-29-101-014	GAINER JOHN & MARY	1922 HARTLAND WOODS	Howell	MI	48843
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4708-29-200-023	BORYS PAUL	9565 PLACID WAY	Howell	MI	48843
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4708-29-200-025	COPELAND DANIEL & JENNIFER	1745 DEANNA DR	Howell	MI	48843

TAKE NOTICE that the Township Board of the Township of Hartland will hold a public hearing at a regular meeting of the Township Board on ____, 2021 at 7:00 p.m., at the Hartland Township Hall, 2655 Clark Rd, Hartland, Michigan 48353, to hear and consider any objections to the proposed Improvements, the District and all other matters relating to said Improvements and the District.

TAKE FURTHER NOTICE that the Township Board of the Township of Hartland has initiated these special assessment proceedings pursuant to Section 3 of Act 188, MCL 41.723, on the Township Board's own initiative, and that the Township Board may proceed with the proposed Improvements unless written objections to the Improvements are filed with the Township Board at or before the public hearing by the record owners of land constituting more than 20% of the total land area in the proposed special assessment district. MCL 41.723(1)(a).

TAKE FURTHER NOTICE that preliminary plans and estimates of cost for the Improvements are on file with the Township Clerk for public examination. Periodic redetermination of cost may be necessary without a change in the special assessment district. In such cases, redeterminations may be made without further notice to record owners or parties in interest in the property. **HOWEVER, PROPERTIES SHALL NOT BE ADDED TO THE PROPOSED SPECIAL ASSESSMENT DISTRICT AND THE ORIGINAL ESTIMATE OF COST SHALL NOT BE INCREASED BY MORE THAN 10% WITHOUT FURTHER NOTICE AND PUBLIC HEARING.**

This Notice was authorized by the Township Board of the Township of Hartland.

Resolution No. [REDACTED]
[REDACTED], 2021
Page 8 of 12

Dated: _____, 2021

Larry N. Ciofu, Township Clerk

EXHIBIT C

**TOWNSHIP OF HARTLAND
COUNTY OF LIVINGSTON, MICHIGAN**

NOTICE OF PUBLIC HEARING

**HARTLAND WOODS ROAD IMPROVEMENTS
SPECIAL ASSESSMENT DISTRICT NO. 1**

NOTICE IS HEREBY GIVEN that the Township Board of the Township of Hartland, Livingston County, Michigan, has determined to undertake certain improvements to Hartland Woods, Placid Way, Harold Lane, and Deanna Drive, ("the Improvements") in what is commonly known as Hartland Woods Subdivision, a residential development located in the Township, located within a special assessment district tentatively designated as the Hartland Woods Road Improvements Special Assessment District No.1 (the "District"), pursuant to Act 188 of the Public Acts of Michigan of 1954, MCL 41.721 *et seq.*, as amended ("Act 188").

DESCRIPTION OF PROPOSED SPECIAL ASSESSMENT DISTRICT

The Township Board has tentatively determined that all or part of the cost of said Improvements shall be specially assessed against each of the following described lots and parcels of land, which parcels are all located in Hartland Woods Subdivision, Hartland Township, Michigan, and benefited by the Improvements and which together comprise the following proposed special assessment district:

**HARTLAND WOODS ROAD IMPROVEMENTS
SPECIAL ASSESSMENT DISTRICT NO.1**

Lots and parcels numbered:

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4708-29-200-025	COPELAND DANIEL & JENNIFER	1745 DEANNA DR	Howell	MI	48843

TAKE NOTICE that the Township Board of the Township of Hartland will hold a public hearing at a regular meeting of the Township Board on [REDACTED], 2018 at 7:00 p.m., at the Hartland Township Hall, 2655 Clark Rd, Hartland, Michigan 48353, to hear and consider any objections to the proposed Improvements, the District and all other matters relating to said Improvements and the District.

TAKE FURTHER NOTICE that the Township Board of the Township of Hartland has initiated these special assessment proceedings pursuant to Section 3 of Act 188, MCL 41.723, on the Township Board's own initiative, and that the Township Board may proceed with the proposed Improvements unless written objections to the Improvements are filed with the Township Board at or before the public hearing by the record owners of land constituting more than 20% of the total land area in the proposed special assessment district. MCL 41.723(1)(a).

TAKE FURTHER NOTICE that preliminary plans and estimates of cost for the Improvements are on file with the Township Clerk for public examination. Periodic redetermination of cost may be necessary without a change in the special assessment district. In such cases, redeterminations may be made without further notice to record owners or parties in interest in the property. **HOWEVER, PROPERTIES SHALL NOT BE ADDED TO THE PROPOSED SPECIAL ASSESSMENT DISTRICT AND THE ORIGINAL ESTIMATE OF COST SHALL NOT BE INCREASED BY MORE THAN 10% WITHOUT FURTHER NOTICE AND PUBLIC HEARING.**

Resolution No. [REDACTED]
[REDACTED], 2021
Page 12 of 12

For informational purposes only, an estimate of costs for road improvements to the public roads within the Hartland Woods Subdivision is attached as Exhibit 1 to this Notice and provided for each parcel, including vacant parcels, which constitute the Hartland Woods Road Improvements Special Assessment District No.1.

This Notice was authorized by the Township Board of the Township of Hartland.

Dated: [REDACTED], 2018

Larry N. Ciofu, Township Clerk

\$448,375	Construction for LCRC portion
\$67,950	Deanna Drive change order
\$67,000	Restoration
\$33,500	Driveway Approaches
\$18,000	Bonding Costs
\$3,500	Legal expenses to develop assessment
\$1,000	Printing and publication
<hr/>	
\$639,325	Total

10	Parcels on Deanna Drive
57	Parcels deeded in Hartland Woods
<hr/>	
67	Parcels in proposed assessment

\$639,325	Total
67	Parcels in proposed assessment
<hr/>	
\$9,542.16	Per parcel in proposed assessment
\$954.22	Annual assessment w/o interest

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Michael Luce, Director of Public Works

Subject: Settlers Park Sealcoating

Date: August 9, 2021

Recommended Action

Approve the sealcoating of the Settlers Park pathway and the attached contract with Preiss Companies for an amount not to exceed \$48,000.

Discussion

As part of the maintenance of the pathway at Settlers Park sealcoating is budgeted every 2 years. This fills in any cracks that occur in the path as well as help preserve the integrity of the walking surface. As has been performed in the past the pathway will be edged cleaned and a tar sealcoat will be applied to the entire pathway. These efforts along with keeping motor vehicles off the pathway will ensure its condition and integrity for years to come.

Public works has worked with the surrounding communities as a conglomerate to obtain pricing submitted by 3 companies ranging from \$.06 per square foot to \$.14 per square foot. This type of project was let out by multiple surrounding communities and a price of \$.10 per square foot was the most common price for the available companies to perform the work. In reaching out to multiple companies one company being Preiss Companies responded and is able to perform the sealcoating this year and is holding the price of \$.10 per square foot.

Public Works is recommending the sealcoating as it has been budgeted for and approved in line item 401-751-970.009 for an amount of \$48,000.

Financial Impact

Is a Budget Amendment Required? ☐ Yes ☒ No

Attachments

Hartland Township Contract for Services.

HARTLAND TOWNSHIP
CONTRACT FOR SERVICES

Date through Date: August 9, 2021 – December 31, 2021

This "Contract" is made between the TOWNSHIP OF HARTLAND, a Michigan Municipal Corporation, hereinafter called "Township", and the "Contractor" as further described in the following Table. In this Contract, either Contractor or the Township may also be referred to individually as a "Party" or jointly as the "Parties".

HARTLAND TOWNSHIP Township Representative: Michael Luce 2655 Clark Road Hartland, MI 48353 810-632-7498 (herein, the "Township")	Preiss Companies LLC Contact Person: Eric Preiss 8211 Clyde Road Fenton, MI 48430 810-632-3020 (herein the "Contractor")
--	--

This Contract is organized and divided into the following "Section" or "Sections" for the convenience of the Parties.

- SECTION 1. SCOPE OF CONTRACTOR'S SERVICES
- SECTION 2. TOWNSHIP PAYMENT OBLIGATION FOR CONTRACTOR'S SERVICES
- SECTION 3. CONTRACT EFFECTIVE DATE AND TERMINATION
- SECTION 4. CONTRACTOR ASSURANCES AND WARRANTIES
- SECTION 5. CONTRACTOR PROVIDED INSURANCE AND INDEMNIFICATION
- SECTION 6. CONTRACT DOCUMENTS, DEFINITIONS, AND GENERAL TERMS AND CONDITIONS

In consideration of the mutual promises, obligations, representations, and assurances in this Contract, the Parties agree to the following:

§1. SCOPE OF CONTRACTOR'S SERVICES

Scope of Work – Hartland Township Settlers Park seal coating, not to exceed budgeted amount of \$48,000.

TOWNSHIP PAYMENT OBLIGATIONS FOR CONTRACTOR'S SERVICE

§2.

- 2.1.** Except as otherwise expressly provided for in this Contract, the Township's sole financial obligation to the Contractor for any Contractor services under this Contract shall be \$48,000.

VENDOR NAME: Preiss Companies LLC

No more than once a month, the Contractor shall submit an invoice to the Township which shall itemize all amounts due and/or owing by the Township under this Contract for services rendered, and payment terms as the date of the invoice. The Township shall make payments pursuant to the provisions of Section 6.18 of this Contract.

- 2.2. Under no circumstances shall the Township be responsible for any cost, fee, fine, penalty, or direct, indirect, special, incidental or consequential damages incurred or suffered by Contractor in connection with or resulting from the Contractor's providing any services under this Contract.
- 2.3. This Contract does not authorize any in-kind services by either Party, unless expressly provided herein.

§3. CONTRACT EFFECTIVE DATE, TERMINATION NOTICES AND AMENDMENTS

- 3.1. The effective date of this Contract shall be as stated on the first page of this Contract, and unless otherwise terminated or canceled as provided below, it shall end at 11:59:59 p.m. on the "Contract Expiration Date" shown on the first page of this Contract, at which time this Contract expires without any further act or notice of either Party being required. The Parties are under no obligation to renew or extend this Contract after Contract Expiration Date. Notwithstanding the above, under no circumstances shall this Contract be effective and binding and no payments to the Contractor shall be due or owing for any Contractor services until and unless:
 - 3.1.1. This Contract is signed by a Contractor Employee, legally authorized to bind the Contractor.
 - 3.1.2. Any and all Contractor Certificates of Insurance, and any other conditions precedent to the Contract have been submitted and accepted by the Township.
 - 3.1.3. This Contract is signed by an authorized agent of the Township.
- 3.2. The Township may terminate and/or cancel this Contract (or any part thereof) at any time during the term, any renewal, or any extension of this Contract, upon thirty (30) days written notice to the Contractor, for any reason, including convenience without incurring obligation or penalty of any kind. The effective date for termination or cancellation shall be clearly stated in the written notice.
- 3.3. The Township's sole obligation in the event of termination is for payment for actual services rendered by the Contractor before the effective date of termination. Under no circumstances shall the Township be liable for any future loss of income, profits, any consequential damages or any loss of business opportunities, revenues, or any other economic benefit Contractor may have realized but for the termination and/or cancellation of this Contract. The Township shall not be obligated to pay Contractor any cancellation or termination fee if this Contract is cancelled or terminated as provided herein.
- 3.4. Contractor may terminate and/or cancel this Contract (or any part thereof) at anytime upon ninety (90) days written notice to the Township, if the Township defaults in any obligation contained herein, and within the ninety (90) notice period the Township has failed or has not attempted to cure any such default. The effective date of termination and/or cancellation and the specific alleged default shall be clearly stated in the written notice.
- 3.5. Notices. Notices given under this Contract shall be in writing and shall either be personally delivered, sent by express delivery service, certified mail, or first class U.S. mail postage prepaid, and addressed to the person listed above. Notice will be deemed given upon the earliest date that one of the following occurs: (1) the date of actual receipt; (2) the next business day when notice is sent express delivery service or personal delivery; or (3) three days after mailing first class or certified U.S. mail.
 - 3.5.1. If notice is sent to the Contractor, it shall be addressed to the address stated on page one of this Contract.
 - 3.5.2. If notice is sent the Township, it shall be addressed to the Contract Administrator stated on the signature page of this Contract.
 - 3.5.3. Either Party may change the address or individual to which notice is sent by notifying the other party in writing of the change.

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- 3.6. Contract Modifications or Amendments. Any modifications, amendments, recessions, waivers, or releases to this Contract must be in writing and agreed to by both Parties. Unless otherwise agreed, the modification, amendment, recession, waiver, or release shall be signed by an expressly authorized Contractor Employee and an expressly authorized Township Agent.

§4. CONTRACTOR'S ASSURANCES AND WARRANTIES

- 4.1. Service Warranty. Contractor warrants that all services performed hereunder will be performed in a manner that complies with all applicable federal, state and local laws, statutes, regulations, ordinances, zoning, codes, and professional standards, as well as M.I.O.S.H.A guidelines in effect at the time of the project.
- 4.2. Business and Professional Licenses. The Contractor will obtain and maintain at all times during the term of this Contract all applicable business and professional licenses necessary to provide the contracted services.
- 4.3. Equipment and Supplies. The Contractor is responsible for providing equipment and supplies not expressly required to be provided by the Township herein.
- 4.4. Taxes. The Contractor shall pay, its own local, state and federal taxes, including without limitation, social security taxes, and unemployment compensation taxes. The Township shall not be liable to or required to reimburse the Contractor for any federal, state and local taxes or fees of any kind.
- 4.5. Contractor's Incidental Expenses. Except as otherwise expressly provided in this Contract, the Contractor shall be solely responsible and liable for all costs and expenses incident to the performance of all services for the Township including, but not limited to, any professional dues, association fees, license fees, fines, taxes, and penalties.
- 4.6. Contractor Employees.
- 4.6.1. Contractor shall employ and assign qualified Contractor Employees as necessary and appropriate to provide the services under this Contract. Contractor shall ensure all Contractor Employees have all the necessary knowledge, skill, and qualifications necessary to perform the required services and possess any necessary licenses, permits, certificates, and governmental authorizations as may required by law.
- 4.6.2. Contractor shall solely control, direct, and supervise all Contractor Employees with respect to all Contractor obligations under this Contract. Contractor will be solely responsible for and fully liable for the conduct and supervision of any Contractor Employee
- 4.7. Contractor Employee-Related Expenses. All Contractor Employees shall be employed at the Contractor's sole expense (including employment-related taxes and insurance) and the Contractor warrants that all Contractor Employees shall fully comply with and adheres to all of the terms of this Contract. Contractor shall indemnify and hold the Township harmless for all Claims against the Township by any Contractor Employee, arising out of any contract for hire or employer-employee relationship between the Contractor and any Contractor Employee, including, but not limited to, Worker's Compensation, disability pay or other insurance of any kind.
- 4.8. Full Knowledge of Service Expectations and Attendant Circumstances. Contractor warrants that before submitting its Proposal and/or entering into this Contract, it had a full opportunity to review the proposed services, and review all Township requirements and/or expectations under this Contract. The Contractor is responsible for being adequately and properly prepared to execute this Contract. The Contractor is expected to maintain high standards or workmanship, representing the best traditions of the trade. Contractor has satisfied itself in all material respects that it will be able to perform all obligations under the Contract as specified herein.
- 4.9. The Contractor's relationship to the Township is that of an Independent Contractor. Nothing in this Contract is intended to establish an employer-employee relationship between the Township and either the Contractor or any Contractor Employee. All Contractor Employees assigned to provide services under this Contract by the Contractor shall, in all cases, be deemed employees of the Contractor and not employees, agents or sub-contractors of the Township.

§5. CONTRACTOR PROVIDED INSURANCE AND INDEMNIFICATION

5.1. Indemnification

- 5.1.1.** Contractor shall indemnify and hold the Township harmless from any and all Claims which are incurred by or asserted against the Township by any person or entity, alleged to have been caused or found to arise, from the acts, performances, errors, or omissions of Contractor or Contractor's Employees, including, without limitation, all Claims relating to injury or death of any person or damage to any property.
- 5.1.2.** The indemnification rights contained in this Contract are in excess and over and above any valid and collectible insurance rights/policies. During the term of this Contract, if the validity or collectability of the Contractor's insurance is disputed by the insurance company, the Contractor shall indemnify the Township for all claims asserted against the Township and if the insurance company prevails, the Contractor shall indemnify the Township for uncollectable accounts.
- 5.1.3.** Contractor waives and releases all actions, liabilities, loss and damage including any subrogated rights it may have against the Township based upon any Claim brought against the Township suffered by a Contractor Employee.

5.2. Contractor Provided Insurance

- 5.2.1.** At all times during this Contract, including renewals or extensions, Contractor shall obtain and maintain insurance according to the following specifications:
1. Contractor agrees to procure and maintain insurance coverage according to the following minimum specifications:
 - a. Commercial General Liability - with the following as minimum requirements:
\$1,000,000 – Each Occurrence (Total)
Occurrence Form Policy
Broad Form Property Damage
Premises/Operations
Independent Contractors
Products and Completed Operations
(Blanket) Broad Form Contractual
Personal Injury - Delete Contractual Exclusion
X, C, U Exclusions deleted, as applicable
Additional Insured: The Township of Hartland and Township Agents (as defined in this Contract);
 - b. Workers' Compensation - as required by law and \$500,000 Employer's Liability;
 - c. Automobile Liability and Property Damage - \$1,000,000 each occurrence, including coverage for all owned, hired and non-owned vehicles including No Fault coverage as required by law.
 2. General Certificates of Insurance:
 - a. All Certificates of Insurance shall contain evidence of the following conditions and/or clauses and shall be sent to: Hartland Township, 2655 Clark Road, Hartland, MI 48353.
 - b. The Township of Hartland, its elected officials, officers and employees shall be named as "General Liability" Additional Insured with respect to work performed by the Contractor.
 - c. All Certificates are to provide 30 days written notice of material change, cancellation, or non-renewal. Certificates of Insurance or insurance binders must be provided no less than ten (10) working days before commencement of work to the Township. Insurance carriers are subject to the approval of Township.

§6. **CONSTRUCTION, MAINTENANCE, AND REPAIR CONTRACT GENERAL CONDITIONS**

DEFINITIONS: The following words and expressions when printed with the first letter capitalized as shown herein, whether used in the singular or plural, possessive or non-possessive, and/or either within or without quotation marks, shall be defined and interpreted as follows:

- 6.1. **"Contractor Employee"** means without limitation, any employees, officers, directors members, managers, trustees, volunteers, attorneys, and representatives of Contractor, and also includes any Contractor licensees, concessionaires, contractors, subcontractors, independent contractors, contractor's suppliers, subsidiaries, joint ventures or partners, and/or any such persons, successors or predecessors, employees, (whether such persons act or acted in their personal, representative or official capacities), and/or any and all persons acting by, through, under, or in concert with any of the above. "Contractor Employee" shall also include any person who was a Contractor Employee at anytime during the term of this contract but, for any reason, is no longer employed, appointed, or elected in that capacity.
- 6.2. **"Claims"** means any alleged losses, claims, complaints, demands for relief or damages, suits, causes of action, proceedings, judgments, deficiencies, liability, penalties, litigation, costs, and expenses, including, but not limited to, reimbursement for reasonable attorney fees, witness fees, court costs, investigation expenses, litigation expenses, amounts paid in settlement, and/or other amounts or liabilities of any kind which are imposed on, incurred by, or asserted against the Township, or for which the Township may become legally and/or contractually obligated to pay or defend against, whether direct, indirect or consequential, whether based upon any alleged violation of the federal or the state constitution, any federal or state statute, rule, regulation, or any alleged violation of federal or state common law, whether any such claims are brought in law or equity, tort, contract, or otherwise, and/or whether commenced or threatened.
- 6.3. **"Township"** means the Township of Hartland, a Municipal Corporation, its departments, divisions, authorities, boards, committees, and "Township Agent" as defined below.
- 6.4. **"Township Agent"** means all elected and appointed officials, directors, board members, council members, commissioners, employees, volunteers, representatives, and/or any such persons' successors (whether such person act or acted in their personal representative or official capacities), and/or any persons acting by, through, under, or in concert with any of them. "Township Agent" shall also include any person who was a "Township Agent" anytime during the term of this Contract but, for any reason, is no longer employed, appointed, or elected and serving as an Agent.
- 6.5. A **"Contract Administrator"** or **"Township Representative"** is appointed by the Township to act as a liaison between the Township and the Contractor. Any questions or problems the Contractor may have concerning Work under this Contract should be directed to this individual.
- 6.6. The term **"Subcontractor"** includes only those having a direct contact with the Contractor in the way of labor or materials worked to a special design. One who merely furnishes material to the Contractor is not included in this definition.
- 6.7. The term **"Calendar Day"** shall mean any day of the week, which shall begin at 12:00.01 a.m. and end at 11:59.59 p.m.. The term **"Working Day"** shall mean any calendar day except Saturday, Sunday, and Township legal holidays.
- 6.8. **"Written Notice"** shall be considered properly served if delivered in person to the Contractor, or to a member or office of his company; also if delivered at, or sent by registered mail to, the business address of the Contractor listed above.

6.10. **NON EXCLUSIVE CONTRACT AND OTHER CONTRACTS**

- 6.10.1 No provision in this Contract limits, or is intended to limit, in any way the Contractor's right to offer and provide its services to the general public, other business entities, municipalities, or governmental agencies during or after the term of this Contract. Similarly, this Contract is a non-exclusive agreement and the

VENDOR NAME: Preiss Companies LLC

Township may freely engage other persons to perform the same work that the Contractor performs. The Contractor shall coordinate his work with theirs. Except as provided in this Contract, this Contract shall not be construed to guarantee the Contractor or any Contractor Employee any number of fixed or certain number or quantity of hours or services to be rendered to the Township.

- 6.10.2 If any part of the Contractor's work depends for proper execution or results upon the work of any other contractor, the Contractor shall inspect and promptly report to the Township any defects in such work that shall render it unsuitable for such proper execution and results. His failure to inspect and report shall constitute an acceptance of the other contractor's work.

6.11. MATERIALS AND WORKMANSHIP

- 6.11.1 All workmanship shall conform to the best current practice at the respective trades; and all equipment, materials and articles incorporated in the Work under the Contract shall be new and of the best grade of their kinds for the purpose. The Contractor shall, if required, furnish evidence as to kind and quality of materials.
- 6.11.2 Contractor shall deliver all materials to the project site in their original unopened containers bearing the names of the manufacturer and brand. Materials shall be handled and stored as recommended by the manufacturer to prevent damage.
- 6.11.3 Retain all stored items in an orderly arrangement allowing maximum access, not impeding drainage or traffic, and providing the required protection of materials.
- 6.11.4 In the event the Contractor shall fail, neglect, or refuse to perform any or all of his duties under this Contract, the Township after giving the Contractor seven, (7) calendar days notice in writing, may perform such duties under the Contract and charge the Contractor or deduct the amount from the Contractor's payment.

6.12 NOTIFICATION

The Contractor must schedule all Work, in advance, with the Township Representative. The Contractor shall give three (3) working days notice before performance of Work under this Contract.

6.13 DAMAGES

- 6.13.1 The Contractor shall be responsible for damage to the Township's premises that may be caused by his work.
- 6.13.2 The Contractor shall take all necessary measures to prevent damage to other areas of the building, grounds, and utilities adjacent to his Work.
- 6.13.3 Should damage occur as a result of the Contractor's Work, the Contractor is responsible for the repair and/or replacement of the damaged area. Otherwise, the Township shall repair and/or replace the damaged area and charge the Contractor or deduct the amount from the Contractor's payment.

6.14 CLEANING

- 6.14.1 The Contractor shall at all times keep the Township's premises and the adjoining premises, driveways and streets clean of rubbish caused by the Contractor's operations and at the completion of the Work shall remove all the rubbish, all of his tools, equipment, temporary work and surplus materials, from and about the premises, and shall leave the Work clean and ready for use. If the Contractor does not attend to such cleaning immediately upon request, the Township may cause such cleaning to be done by others and the charge the cost of same to the Contractor.
- 6.14.2 Contractor shall store his materials, supplies, and equipment in a neat and orderly manner so as not to unduly interfere with the progress of his Work, the Work of other Contractors, or the operation of Township business.
- 6.14.3 Contractor shall perform clean-ups of his Work area on a daily basis to remove debris from that day's Work.

- 6.14.4 Contractor shall remove all rubbish and debris from Township property and legally dispose of it. No open burning of debris or rubbish shall be permitted.

6.15 PERMITS AND INSPECTIONS

- 6.15.1 The Contractor shall obtain all necessary permits required by laws and regulations give all required notices and pay all lawful fees in accordance with requirements for his particular work and the locality in which the project is being built.
- 6.15.2 The Contractor shall deliver to the Township certificates of inspection where such are required.
- 6.15.3 The Township Representative or Contract Administrator shall have access to the Work under this Contract.

6.16 SAFETY

- 6.16.1 The Contractor shall perform all work in accordance with "The General Safety Rules and Regulations for the Construction Industry" as promulgated by the State Construction Safety Commission under the authority of the Safety Act, Act 89, or the Public Acts of 1963, as amended and the Federal Occupational Safety and Health Act, of 1970. Public law 91-596, 84 Stat. 1590, as amended.
- 6.16.2 The Contractor shall notify the Township Representative of any conflict between the Contract documents and these laws, rules, regulations, and guidelines in writing.
- 6.16.3 The Contractor shall provide for the protection of the public, Township employees, and the Contractor's own workers from work-related hazards. Contractor shall provide, install, and maintain warning signs and barricades necessary for the protection of persons and property affected by construction. Contractor shall also provide notification to the Township representative and personnel directly affected by construction of any potentially dangerous situations.
- 6.16.4 The Contractor will use all due care in the handling and storage of hazardous materials and equipment, including explosives, while performing Work under this Contract. Contractors and their employees involved in these activities are to properly trained and licensed for the task.
- 6.16.5 In the event of an emergency affecting the safety of persons or property, the Contractor shall act immediately to prevent threatened loss or damage. The Contractor shall immediately stop any activity or operation-affecting safety until the situations is corrected.

6.17 CONTRACTS WITH TOWNSHIP EMPLOYEES

Pursuant to the provisions of Public Act 317 of 1968, as amended (M.C.L. 15.321, et seq.), no contracts shall be entered into between the Township including all agencies and departments thereof, and any employee or officer of the Township. To avoid any real or perceived conflict of interest the Contractor shall identify any relative or relative of the Contractor's employees and subcontractors who are presently employed by the Township.

6.18 PAYMENTS

- 6.18.1 All invoices shall be directed to the attention of the Township Representative for this project for pre-payment approval. The Township shall pay based on satisfactory performance of the Contract during the period invoiced.
- 6.18.2 Complete payment of Contract shall not be made until all Work has been satisfactorily completed and a final cleanup has been performed.
- 6.18.3 Changes in Contract price can come about only with the written permission of the Township. All such changes shall be processed by the Township Representative.

- 6.18.4 Neither the final payment nor and provision in the Contract Documents shall relieve the Contractor of the responsibility for negligence or faulty materials or workmanship; and upon written notice, the Contractor shall remove any defects due thereto and pay for any damage to other work resulting therefrom which shall appear within one (1) year after date of acceptance and final payment, unless otherwise noted in the contract documents

6.19 DELEGATION/SUBCONTRACT/ASSIGNMENT

Contractor shall not delegate, assign, or subcontract any obligations or rights under this Contract without the prior written consent of the Township.

- 6.19.1 The rights and obligations under this Contract shall not be diminished in any manner by assignment, delegation or subcontract.
- 6.19.2 Any assignment, delegation, or subcontract by Contractor and approved by the Township, must include a requirement that the assignee, delegee, or subcontractor will comply with the rights and obligations contained in this Contract.
- 6.19.3 The Contractor shall remain primarily liable for all work performed by any subcontractors. Contractor shall remain liable to the Township for any obligations under the Contract not completely performed by any Contractor delegee or subcontractor.
- 6.19.4 Should a Subcontractor fail to provide the established level of service and response, the Contractor shall contract with another agency for these services in a timely manner. Any additional costs associated with securing a competent subcontractor shall be the sole responsibility of the Contractor.
- 6.19.5 This Contract cannot be sold.
- 6.19.6 In the event that a Petition in Bankruptcy is filed and there is an assignment of this Contract by a Court, the Township may declare this Contract null and void.

6.20 NO IMPLIED WAIVER

Absent a written waiver, no act, failure, or delay by a Party to pursue or enforce any right or remedy under this Contract shall constitute a waiver of those rights with regard to any existing or subsequent breach of this Contract. No waiver of any term, condition, or provision of this Contract, whether by conduct or otherwise, in one or more instances, shall be deemed or construed as a continuing waiver of any term, condition, or provision of this Contract. No waiver by either Party shall subsequently affect its right to require strict performance of this Contract.

6.21 SEVERABILITY

If a court of competent jurisdiction finds a term, condition, or provision of this Contract to be illegal or invalid, then the term, condition, or provision shall be deemed severed from this Contract. All other terms, conditions, and provisions of this Contract shall remain in full force and effect. Notwithstanding the above, if Contractor's promise to indemnify or hold the Township harmless is found illegal or invalid, Contractor shall contribute the maximum it is permitted to pay by law toward the payment and satisfaction of any Claims against the Township.

6.22 CAPTIONS

The section and subsection numbers, captions, and any index to such sections and subsections contained in this Contract are intended for the convenience of the reader and are not intended to have any substantive meaning and shall not be interpreted to limit or modify any substantive provisions of this contract. Any use of the singular or plural number, any reference to the male, female, or neuter genders, and any possessive or non-possessive use in this contract shall be deemed the appropriate plurality, gender or possession as the context requires.

6.23 PRECEDENCE OF DOCUMENTS

In the event of a conflict between the terms and conditions in any of the documents comprising this Contract, the conflict shall be resolved as follows:

- 6.32.1 The terms and conditions contained in this main Contract document shall prevail and take precedence over any allegedly conflicting provisions in all other Exhibits or documents.

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6.24 GOVERNING LAWS/CONSENT TO JURISDICTION AND VENUE

This Contract shall be governed, interpreted and enforced by the laws of the State of Michigan. Except as otherwise required by law or court rule, any action brought to enforce, interpret, or decide any Claim arising under or related to this Contract shall be brought in the 44th Judicial Circuit Court of the State of Michigan, the 53rd District Court of the State of Michigan, or the United States District Court for the Eastern District of Michigan, Southern Division, as dictated by the applicable jurisdiction of the court. Except as otherwise required by law or court rule, venue is proper in the courts set forth above. The choice of forum set forth above shall not be deemed to preclude the enforcement of any judgment obtained in such forum or taking action under this Contract to enforce such judgment in any appropriate jurisdiction.

6.25 ENTIRE CONTRACT

This Contract represents the entire Contract and understanding between the Parties. This Contract supersedes all other prior oral or written understandings, communications, agreements or Contracts between the Parties. The language of this Contract shall be construed as a whole according to its fair meaning, and not construed strictly for or against any Party.

The undersigned executes this Contract on behalf of Contractor and the Township, and by doing so legally obligates and binds Contractor and the Township to the terms and conditions of this Contract.

FOR THE CONTRACTOR:

BY: _____ DATE: _____

Printed Name: _____

FOR THE TOWNSHIP:

BY: _____ DATE: _____
William Fountain, Supervisor
Hartland Township

BY: _____ DATE: _____
Larry Ciofu, Clerk
Hartland Township

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Robert M. West, Township Manager

Subject: Closed Session: To review the written legal opinion of the Township Attorney, subject to attorney-client privilege, in accordance with the Open Meetings Act, MCL 15.268(e)

Date: August 17, 2021

Recommended Action

Closed Session: To review the written legal opinion of the Township Attorney, subject to attorney-client privilege, in accordance with the Open Meetings Act, MCL 15.268(e)

Discussion

Consideration of a Closed Session to discuss pending litigation, Hartland Glen Development, LLC v Township of Hartland, Livingston County Circuit Court case no. 14-28151, and Clyde Land Investment v Hartland Township, Livingston County Circuit Court case no. 14-28152, in accordance with the Open Meetings Act, MCL 15.268(e), as an open meeting would have a detrimental effect on the position of the Township.

Additionally, the Township attorney has provided a written legal opinion regarding the Mayberry Homes purchase agreement as an open meeting would have a detrimental effect on the position of the Township.

The Township legal consul has provided written legal opinions regarding the matter and the effects on the Township for review.