



Planning Commission

Larry Fox, Chairperson Joseph W. Colaianne, Trustee
Michael Mitchell, Vice-Chairperson Keith Voight, Secretary
Michelle LaRose, Commissioner Sue Grissim, Commissioner
Tom Murphy, Commissioner

Planning Commission Meeting Agenda
Hartland Township Hall
Thursday, March 26, 2020
7:00 PM

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of the Agenda
5. Approval of Meeting Minutes
 - a. Planning Commission Work Session Minutes of March 12, 2020
6. Call to Public
7. Old and New Business
 - a. Site Plan #20-002 Koppert Biological Systems-Building Addition
8. Call to Public
9. Planner's Report
10. Committee Reports
11. Adjournment

HARTLAND TOWNSHIP PLANNING COMMISSION WORK SESSION **DRAFT** MINUTES
March 12, 2020 – 7:00 PM

1. **Call to Order:** Chair Fox called the meeting to order at 7:00 p.m.

2. **Pledge of Allegiance**

3. **Roll Call and Recognition of Visitors:**

Present – Commissioners Fox, Colaianne, LaRose, Mitchell, and Murphy

Absent – Commissioner Voight and Grissim

4. **Approval of the Meeting Agenda:**

A Motion to approve the March 12, 2020 Planning Commission Work Session Meeting Agenda was made by Commissioner Colaianne and seconded by Commissioner LaRose. Motion carried unanimously.

5. **Approval of Meeting Minutes**

a. Planning Commission – Work Session Only – February 27, 2020

A Motion to approve the Work Session Only Meeting Minutes of February 27, 2020 was made by Commissioner Mitchell and seconded by Commissioner Murphy. Motion carried unanimously

6. **Call to the Public**

No public.

7. **Old and New Business:**

a. Ordinance Amendment – 5G – Small DAS Wireless

Director Langer outlined the draft ordinance that had been prepared by the Ordinance Review Committee and edited by the Township Attorney. Director Langer also outlined how the 5G wireless technology and facilities were different from the current wireless facilities and other changes in legislation.

Commissioner Murphy asked questions about a height limitation on poles that are adjacent to sidewalks so that pedestrians and/or bicyclists will not be injured by the wireless facilities on the poles.

Commissioner Colaianne questioned if the Township could limit wireless equipment on historic looking light poles or other fixtures where they would look out of place with that type of equipment affixed to it.

Chair Fox pointed out that these fixtures may look out of place on the light poles in the Ramco development

Commissioner Mitchell questioned why the ordinance limited the number of co-locations to no more than three (3). He wanted to know if we should have fewer.

Commissioner LaRose questioned the fees.

Commissioner Colaianne mentioned that he preferred a stand-alone police powers ordinance, instead of a zoning ordinance amendment. He asked what most of the other communities have done

Commissioner Mitchell questions Section 6.2 and the phrase “quicker applications approval...” and what this means. Also questioned the relationship between the Michigan Department of Transportation (MDOT) and the Township when regulating wireless communications equipment.

8. Call to the Public

None

9. Planner Report:

Director Langer updated the Planning Commission from the last Work Session when the Planning Commission discussed the Future Land Use Map amendments. Director Langer mentioned that he had reached out and contacted the owners of the gravel quarry and the property owners are having their own internal meeting and will get back to the Township.

10. Committee Reports:

None

11. Adjournment:

A Motion to adjourn was made by Commissioner Colaianne and seconded by Commissioner LaRose. Motion carried unanimously. The meeting was adjourned at approximately 8:07 PM.

Hartland Township Planning Commission Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Site Plan #20-002 Koppert Biological Systems-Building Addition

Date: March 19, 2020

Recommended Action

Recommended motion for Site Plan Application #20-002 (Koppert Biological Systems-Building Addition)

Move to approve Site Plan Application #20-002, a request to amend the original site plan and construct an approximate 19,220 square foot addition to the existing building at 1502 Old US-23 (Koppert Biological Systems), including approval of the off-street parking deferral and architectural waiver requests. Approval is subject to the following conditions:

1. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated March 19, 2020, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
2. Applicant complies with any requirements of the Township Engineering Consultant, Department of Public Works Director, Hartland Deerfield Fire Authority, and all other government agencies, as applicable.
3. (Any other conditions the Planning Commission deems necessary)

Discussion

Applicant: Koppert Biological Systems

Site Description

The subject site, addressed as 1502 Old US-23, is located on the east side of Old US-23, between Old US-23 and US-23, in Section 22 of Hartland Township (Tax ID #4708-22-300-046). The approximate 5.54-acre site is zoned LI-Light Industrial. Access is provided via Old US-23 and an internal private road, which also provides access to three (3) additional properties that are part of an industrial development district that includes Koppert Biological Systems.

The site currently supports a general manufacturing facility that develops biological systems that produce natural pollinators. The Hartland facility is responsible for producing bumblebee hives to support domestic sales in the United States and export sales to Canada and Mexico. The approximate 60,540 square foot building includes laboratories, offices, and warehouse and shipping areas.

Parcels to the north, south, and west are zoned LI. The parcels directly to the west support a manufacturing/warehouse, and a warehouse/distribution facility. The property to the north is vacant, while the property to the south supports a small manufacturing facility. The property east of US-23 is zoned PD-Planned Development and is vacant.

Overview and Background Information

Site Plan Application #180

On December 20, 1994 the Township Board approved Site Plan Application #180, which established an industrial development district as a planned development (PD). The phased plan for the PD included five (5) parcels, two of which were developed at the time, a DTE sub-station and Spiral Industries. A private road interior to the site provides ingress/egress access to four (4) parcels. A Planned Development Agreement is not provided, however a document titled "A Declaration of Easements for Planned Development District" was recorded in 1995. This document established easements for common elements such as utilities, storm drainage, and ingress/egress via an interior private road.

Land Use Permit #3204

The approved 1994 site plan showed the subject parcel as Molmec Incorporated. Parcel D, Phase III. A building footprint is shown with an original 36,000 square foot building and a future building addition to the south of 36,000 square feet. In 1994 the construction of an approximate 41,000 square foot building for Molmec, Inc., was approved under Land Use Permit #3204. The building was constructed in 1995. Molmec, Inc., who manufactured injection molded plastics, occupied the building until Koppert Biological Systems acquired the property in 2010.

Site Plan Application #500

This was a request to construct a 16-foot by 33-foot canopy, and paver patio, for use as an outdoor area for employees of the Koppert facility. The canopy and patio are located at the southwest corner of the building. The patio is screened with fencing and landscaping. The Planning Commission recommended approval for SP #500 on July 14, 2011. Final approval was granted by the Township Board on July 19, 2011.

Site Plan Application #523

In 2014 the Planning Commission reviewed a request to construct a 18,000 square foot addition to the south side of the existing building, under Site Plan Application #523. The project was an expansion of the general manufacturing component of the business. A total of 36,000 additional square feet of floor area was anticipated with the initial application, however the 2014 proposal was for half of this total, or 18,000 square feet. The submitted plans for SP #523 show the footprint of the future expansion.

The building elevations, as approved in 1994 (SP #180), are largely comprised of pre-engineered, taupe-tone, metal vertical siding with a beige EIFS wall (Exterior Insulation Finishing System, or synthetic stucco material) rising approximately eight (8) feet from grade. The one-story office addition located on the north elevation is faced with a similarly colored EIFS material, accented below with expanses of dark glass.

The proposed building materials for the 2014 building addition continued the existing architectural theme, using the same metal vertical siding material, but did not include the EIFS wall on the south elevation. Per the applicant this was not proposed because a second building expansion on the south would likely occur in the future. The Planning Commission reviewed Section 5.24.8., which provides criteria for permitting the continuation of existing façade materials on a building addition and determined the façade materials for the proposed addition met the criteria.

On June 26, 2014, the Planning Commission approved SP #523, including the applicant's request to defer the construction of 27 parking spaces that were required for the expansion.

Installation of concrete bumper blocks along the east perimeter of the parking lot was a condition of approval, as well as the construction of a dumpster enclosure for the existing dumpster unit.

Land Use Permit #18-215

In 2018 the applicant applied for a land use permit to construct a detached pole barn for the off-season storage of shelving units that are used in their bee operation. The approximate 30-foot by 60-foot pole barn is located near the southwest corner of the site. Land Use Permit #18-215 was approved on October 29, 2018.

Request

The applicant is proposing to construct an approximate 19,220 square foot addition on the south side of the existing building. The existing building is approximately 60,540 square feet in size; thus, the total building size will be approximately 79,760 square feet. The addition will be used as warehouse/general manufacturing space.

Twenty-three (23) new parking spaces are proposed on the east side of the building. A paved area is shown in the southwest corner of the site which is designated for thirteen (13) future parking spaces. An additional twenty (20) parking deferred spaces are shown, in a lawn area, along the south property line. A paved ring road is proposed around the south side of the proposed building addition, which connects to paved areas on the east and west sides of the building. The ring road has asphalt curbing and typically curb and gutter are required. The applicant noted to staff that there could be some changes in this area in the future and prefers to install asphalt curbing at this time.

The applicant has submitted waiver requests to deviate from the Off-Street Parking standards (Section 5.8) and the Architectural Standards (Section 5.24).

Approval Procedure

The project requires site plan approval and is subject to the standards outlined in Section 6.6 of the Township's Zoning Ordinance as well as applicable standards of the LI-Light Industrial zoning district outlined in Section 3.1.16. The Planning Commission has Site Plan review authority and will make a final decision on the proposed project.

Since the building addition, façade materials, and parking, are the only items to be reviewed as part of this request, the site plan review will be limited in scope in this memorandum. The proposed project requires a land use permit from the Township and applicable approvals from other state and county agencies.

SITE PLAN REVIEW – Applicable Site Standards

Site Description

The subject site, located east of Old US-23 and west of US-23, is addressed as 1502 Old US-23, in Section 22 of Hartland Township. The existing building is approximately 60,540 square feet in size. Parking is provided on the north and east sides of the site.

The site is served by public sanitary sewer and water.

Dimensional Requirements (LI-Light Industrial District- Sec. 3.1.16.E.)

Building Setbacks (Sec. 3.1.16.E.) – for proposed building addition

	Required Setback	Proposed Setback	Meets Requirements? (Y / N)
Front-existing bldg.	50'	122.48'	Yes
Side (west)	15'	220'	Yes
Side (east)	15'	79.65'	Yes
Rear	50'	50.32'	Yes

Building and Height (Sec. 3.1.16.E.)

- Required – 35 feet or 2½ stories, whichever is less
- Proposed – 32 feet
- Meets Requirement? – Yes
- Comment – the current building is 32 feet in height; the elevations for the proposed addition show 32 feet as well.

Lot Coverage (Sec. 3.1.16.E.)

- Required – 75% for principal structure
- Proposed – 33.05% (ex. Bldg + addition: 60,540 SF+ 19,220 SF =79,760 SF; 79,760 SF ÷ 241,322 SF (lot area) = 33.05%)
- Meets Requirement? – Yes
- Comment – (none)

Site Requirements

Off-Street Parking (Sec. 5.8, parking standards for office and general manufacturing establishments)

- Required – 1 space per 350 sq. ft. of office + 1 space per 650 sq. ft. of industrial floor area
 EQUATES TO: 132 parking spaces required
 (6,500 sq. ft. office ÷ 350 = 19 spaces + 73,260 sq. ft. industrial ÷ 650= 113 spaces; total = 132)
- Proposed parking – 133 spaces (77 existing spaces + 23 proposed spaces + 33 deferred spaces)
 Bumper block/wheel chocks are provided for the proposed parking spaces on the east side of the site, which is consistent with the plans reviewed under SP #523.
- Meets Requirement? – **TBD**
- Comment – **Applicant has requested a waiver to deviate from the Off-Street Parking standards (Sec. 5.8), to construct twenty-three (23) spaces on the east side of the proposed building addition and defer the construction of thirty-three (33) spaces (located west and south of the addition); thus providing a total of 100 off-street parking spaces, and not 133 parking spaces as required per standards outlined in Sec. 5.8.**

Per the applicant, employees of Koppert Biological Systems currently occupy approximately one-half of the existing seventy-seven (77) parking spaces, and the addition will not impose a parking load that will exceed the available parking. Thirty-three (33) parking spaces are shown as deferred parking, should additional parking be necessary in the future. The deferred parking spaces occur along the south and west sides of the building addition. The applicant noted deferral of constructing thirty-three (33) parking spaces will reduce the unnecessary paving.

Planning Commission to review the parking waiver request in consideration with the provisions outlined in Section 5.8.2.F, (Deferred Parking).

Parking spaces may be deferred upon finding that the proposed deferral meets the provisions of Section 5.8.2.F., briefly summarized as follows:

- the request is accompanied by a site plan showing the design and layout of all required parking
- the design of the parking area includes sufficient space for the minimum parking needed
- the area designated for deferred parking does not include areas required for setbacks, landscaping or greenbelts
- the area designated must be on the same parcel as the principal use
- the Planning Commission may impose reasonable conditions

Barrier-Free Parking (Sec. 5.8.4.E.)

- Required – barrier-free spaces in a location most accessible to the building entrance, with at least 1 space van-accessible (1 barrier-free space required per 25 parking spaces); for 100 parking spaces, 4 barrier-free parking spaces are required. For 133 parking spaces, 5 barrier-free parking spaces are required.
- Proposed – 4 barrier-free spaces, all spaces are van accessible, and near the main entrance door
- Meets Requirement? – Yes, for 100 parking spaces
- Comment – one (1) additional barrier-free parking space will be required if additional parking spaces are constructed.

Landscaping and Screening (Sec. 5.11)

A landscape plan was not provided. The proposed improvements (building addition, parking, and ring road) will be constructed over areas that are currently lawn. Existing landscaping along the east and south provides screening in these areas. An existing berm on the west side of the property provides screening in that location.

Lighting (Sec. 5.13)

The applicant intends to install wall-mounted LED light fixtures, to match the existing fixtures. The fixtures are directed downward and shielded.

Architecture / Building Materials (Sec. 5.24.14)

The site is within the Township's Façade Materials Group #1A in Section 5.24.14 of the Zoning Ordinance. A copy of this section is provided. In 1994 the building was approved with all four elevations largely comprised of pre-engineered, taupe-tone, metal vertical siding with a beige EIFS (Exterior Insulation Finishing System) wall rising eight (8) feet from grade.

An addition on the south side of the building was approved in 2014 under SP #523. The proposed addition continued the existing architectural theme on the east and west sides, using the same façade materials and colors as the existing building. The south side of the addition was comprised of metal vertical siding only, as a future expansion to the south was anticipated. Under SP #523, the Planning Commission approved the request to deviate from the architectural standards for façade materials and continue the use of the same façade materials so that the building would architecturally appear seamless and unified.

The applicant intends to continue the existing architectural theme for the current project, using metal vertical siding and EFIS on all three (3) sides of the proposed building addition. A waiver request was submitted, to deviate from Section 5.24, for façade materials.

- Required – comply with Sec. 5.24.14 Facade Materials Chart (Group #1A)
- Proposed – continuation of existing façade materials (metal vertical siding and EFIS)
- Meets Requirement? – **TBD**
- Comment – **Applicant has requested a waiver to deviate from the Architecture Standards (Sec. 5.24 and 5.24.14), and continue the existing architectural theme, by using taupe-tone metal vertical siding and an 8-foot tall beige EFIS wall at the base, on all three sides of the building addition.**

Planning Commission to review the façade materials waiver request in consideration with the provisions outlined in Section 5.24.8. (Additions).

The Zoning Ordinance, per Section 5.24.8. (Additions), provides for the continuation of the existing façade materials for proposed additions provided the following criteria are met:

- A. The addition does not exceed one hundred (100) percent of the existing building floor area;
- B. All new facades substantially constitute a continuation of the existing facades with respect to color, texture, size, height, and location of materials; and
- C. That the visual effect is to make the addition appear as part of the existing building.

Other Requirements-Zoning Ordinance Standards/Other Comments

No comments at this time.

Hartland Township DPW Review

No comments at this time.

Hartland Township Engineer’s Review (HRC)

The Township’s Engineer (Hubbell, Roth, and Clark) has reviewed the plans and recommends site plan approval subject to items being addressed in the letter dated March 12, 2020.

Hartland Deerfield Fire Authority Review – still need

No comments at this time.

Attachments

1. Applicant’s letter dated February 25, 2020
2. Township Engineer (HRC) email dated March 12, 2020 – *PDF version only*
3. Koppert Architectural Rendering dated February 25, 2020 – *PDF version only*
4. Planning Commission minutes, dated June 26, 2014, for SP #523 – *PDF version only*
5. Site Plans dated February 25, 2020

CC:

- HRC, Twp Engineer (via email)
- R. West, Twp DPW Director (via email)
- A. Carroll, Hartland FD Fire Chief (via email)



February 25, 2020

Hartland Township
2655 Clark Road
Hartland, MI 48353

Attn: Mr. Troy Langer

Re: Architectural Waiver and Deferred Parking for Koppert Biological Systems Addition

Dear Mr. Langer:

Schonsheck, Inc. would like to formally request an Architectural Waiver to deviate from ordinances 5.23.14: Facade Materials Group and 5.8: Off Street Parking requirements for the Koppert Biological Systems Addition located at 1502 S Old US 23. Our design intent, as discussed at the Concept Meeting on Wednesday, February 19, 2020, is to maintain the existing architectural design that was established in 1994 when the building was originally constructed and minimize the disturbance of the site by reducing the amount of unnecessary impervious surface (parking).

This 19,220 S.F. Pre-Engineered Metal Building expansion will complete the last phase of the 36,000 S.F. "future" expansion that was originally master planned in 1994. This last phase or second half is 1,220 S.F. larger than the last 18,000 S.F. addition completed in 2014, in order to maximize the overall building addition and still meet the current setback requirements. We will continue the existing 8' wainscot along the east, south, and west walls and provide new metal siding from the top of the wainscot to the rake edges.

Employees at Koppert Biological Systems currently occupy just over half of the existing 77 parking spaces. The addition will not impose a parking load that will exceed the available parking; however, the ordinance requires 133 parking spaces in total. We are planning to construct another 23 parking spaces with this addition and would like to request 33 parking spaces be deferred onsite for future availability. This will help reduce unnecessary paving on the site. We would also like to point out that the southern loop/ring road around the new addition will be constructed now for added site circulation.

We appreciate the help and support of the township and your team. Koppert Biological Systems has made a significant investment in the site and facility since they acquired the property in 2010. They strive to be a good neighbor and member of the community. We believe the requests above are architecturally, environmentally, and financially responsible. We look forward to another successful project in Hartland Township.

Regards,

Kent S. Burzynski, LEED AP
President

March 12, 2020

Hartland Township
2655 Clark Road
Hartland, MI 48353

Attn: Mr. Troy Langer, Planning Director

Re: Site Plan Review
Koppert Biological Addition
1502 Old US Hwy 23

HRC Job No. 20200258.02

Dear Mr. Langer:

As requested, this office has reviewed the site plan for the above project as prepared by Livingston Engineering (plans dated February 25, 2020). The following items will need to be addressed:

General

1. All permits are to be obtained prior to the start of construction. At this time, the permits for this development may include Livingston County Building & Utility Services, and LCDC Soil Erosion.
2. Two benchmarks based on the USGS Datum shall be indicated on the plans.
3. Any wetlands shall be properly delineated on the plans.

Water Supply

1. There do not appear to be any proposed water supply improvements.
2. The fire hydrant coverage must be reviewed and approved by the Hartland Area Fire Department.

Sanitary Sewer

1. There do not appear to be any proposed sanitary sewer improvements.

Storm Drainage

1. The proposed storm water collection and detention systems must be designed in accordance with the Hartland Township and Livingston County Engineering Design Standards.
2. Verify that the existing storm water detention basin meets the current Livingston County Drain Commission standards of a 100-year design storm.

Paving & Grading

1. The proposed paving and grading improvements must be designed in accordance with Hartland Township Engineering Design Standards.
2. The maximum allowable grade is 1 vertical to 4 horizontal.

Subject to these items being addressed in the construction plans, we have no objection to the approval of the preliminary site plan. One (1) complete set of the construction plans should be submitted to the Township Planning Department for review.

If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

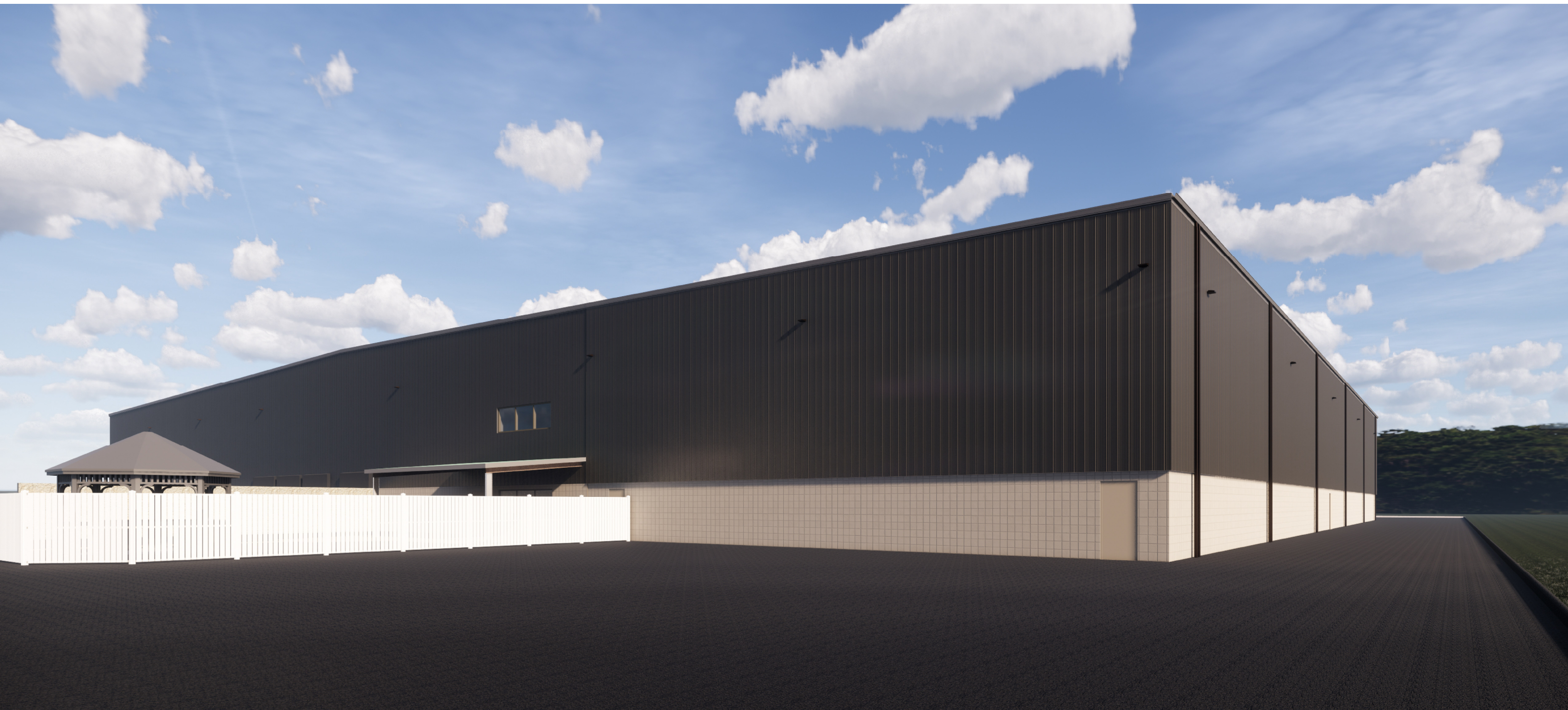
HUBBELL, ROTH & CLARK, INC.



Paul L. Koppa, P.E.

PLK/plk

pc: Hartland Twp; M. Wyatt, B. West
HRC; R. Alix, M. Darga, File



HARTLAND TOWNSHIP PLANNING COMMISSION MEETING
JUNE 26, 2014
7:00 P.M.

1. **CALL TO ORDER:** *Commissioner Newsom called the meeting to order at 7:00 p.m.*

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL AND RECOGNITION OF VISITORS:**

Present: Commissioner Newsom, Commissioner Hopkins, Commissioner Mitchell, Commissioner Grissim, Commissioner Murphy and Commissioner Voight. **Absent:** Chairman Fox.

Also Present: David Campbell, Township Planning Director

4. **APPROVAL OF THE MEETING AGENDA:**

Move to approve the June 26, 2014 Planning Commission Meeting Agenda. Motion Hopkins. Second Voight. Voice Vote. Motion Carried 6-0-1.

5. **APPROVAL OF THE MEETING MINUTES**

Move to approve the April 24, 2014 Planning Commission Meeting Minutes. Motion Hopkins. Second Mitchell. Voice Vote. Motion Carried 6-0-1.

Move to approve the May 22, 2014 Planning Commission Meeting Minutes. Motion Grissim. Second Voight. Voice Vote. Motion Carried 6-0-1.

6. **CALL TO THE PUBLIC:** *No one came forward.*

7. **OLD AND NEW BUSINESS**

→ **A. SITE PLAN APPLICATION #523 KOPPERT BIOLOGICAL SYSTEMS**

APPLICANT: NICHOLAS MENDENHALL – SCHONSHECK INC.
PROPERTY OWNER: KOPPERT BIOLOGICAL SYSTEMS

Applicant proposes an 18,000 square foot addition to the south side of the existing building located on 5.54 acres on the east side of Old US 23 between M-59 and Bergin Road (Parcel ID #4708-28-100-026).

Present: Nicholas Mendenhall, Schonscheck, Inc.

Director Campbell: Out-lined his review letter dated June 16, 2014.

Commissioner Hopkins: Asked who is responsible for the maintenance of the shared access road.

Mr. Mendenhall: Replied that there is an agreement that specifies the portion each property must pay, Koppert's portion is 38%.

Commissioner Voight: Asked if the amount of deferred parking shown on the plan allows space for further expansion and asked if the engineer looked at it to verify that there was adequate area if additional storm drainage is needed.

Director Campbell: Explained that the plans show enough differed spaces for not only this proposal but enough for future expansion as well. He also commented that the engineers have verified that there is adequate space for future drainage if needed.

Commissioner Newsom: Asked for clarification on what would happen if the building was sold to another company with a different use.

Director Campbell: Explained that if the use of the building changes the Planning Department would evaluate the new use and the new user would be required to add the parking if needed.

Commissioner Hopkins: Asked for clarification of the statement in the Hubble Roth and Clark review letter that no additional sewer improvements are required yet the plan shows new bathrooms.

Director Campbell: Explained that the statement in the review letter is pertaining to outside the building and whether any new sewer leads are required.

Mr. Mendenhall: Clarified they had existing lines that were installed from the original building for future use and that they were acceptable for the expansion.

Move to approve Site Plan Application #523 for an 18000 square foot addition subject to the following conditions:

1. Approval of the applicant's request to defer construction of 27 new parking spaces;
2. Installation of concrete bumper blocks along the east perimeter of the existing parking lot;
3. Construction of an enclosure in compliance with Section 5.7 around the existing dumpster;
4. The purchase of 3.64 additional sewer REUs as required by the DPW Director;
5. Satisfaction of the conditions outlined in the Township Engineer's review letter dated June 9, 2014;
6. Satisfaction of the conditions outlined in the Fire Marshall's review letter dated June 9, 2014.

Motion Voight. Second Grissim. Voice Vote. Motion Carried 6-0-1.

B. SITE PLAN APPLICATION #524-C – CHESTNUT DEVELOPMENT

APPLICANT: STEVE GRONOW – CHESTNUT DEVELOPMENT
PROPERTY OWNER: CHESTNUT DEVELOPMENT LLC.

Applicant proposes an 18 unit single-family site condominium on 8.99 acres on the south side of M-59 just east of Cullen Road (Parcel ID #4708-29-100-009).

Present: Steve Gronow, Chestnut Development and David LeClair from Livingston Engineering.

Mr. LeClair: Explained that the Conceptual Plan is for approval of a small development on approximately nine acres on the south side of M-59 in Section 29 of the township. This parcel was originally part of the Autumn Woods PD Zoning for a church site and since that time the church plan has fallen through and Mr. Gronow would like to put in 18 single family home sites. Lots are about 18,000 square feet with 80 feet of frontage similar to the lots in Autumn Woods. Most of the open space would be along the wooded line backing up to the San Marino development. Sites will be serviced by Township sewer and water. They have 20 water REUs, but will only need 18.

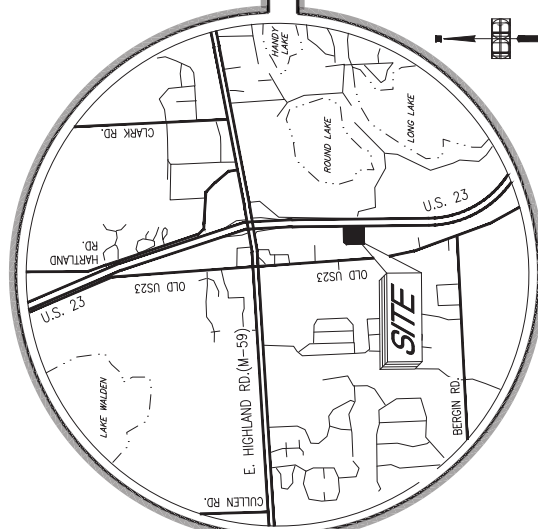
Director Campbell: Out-lined his review letter dated June 16, 2014 and explained the Township's process this application would need to follow.

The Commission discussed sidewalks and would like sidewalks along M-59 and pathways connecting neighboring developments.

SITE PLAN FOR KOPPERT BIOLOGICAL - BUILDING ADDITION

4708-28-100-026

HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



SITE DATA TABLE

EXISTING ZONING:	U - Light Industrial
PARCEL ID:	4708-28-100-026
SITE AREA:	5.96 ACRES
BUILDING AREA:	54,046 SF
EXISTING GEN. MANUFACTURING:	19,220 SF
PROPOSED GEN. MANUFACTURING:	79,760 SF
TOTAL AREA:	98,980 SF
LOT COVERAGE:	79,760 SF / 241,117 SF = 33.1%
LOT SETBACKS:	REQUIRED:
FRONT:	122.48'
SIDE:	139.92', 79.65'
REAR:	50.32'

LEGAL DESCRIPTION

The land referred to in this Policy, situated in the County of Livingston, Township of Hartland, State of Michigan, is described as follows: 1/4 of Section 28, Twp. 3 North, Range 6 East, Township of Hartland, Livingston County, Michigan, more particularly described as follows: Corner of the North 1/4 corner of said Section 28, thence along the North line of said Section 28, as monumented, North 86 degrees 45 minutes 08 seconds West, 126.00 feet to a point; thence South 02 degrees 00 minutes 21 seconds West, 211.50 feet to a point; thence South 87 degrees 18 minutes 18 seconds East, 202.05 feet; thence South 02 degrees 45 minutes 42 seconds West, 75.00 feet to the East-West line of said Section 28, as monumented, East 275.10 feet; thence South 04 degrees 10 minutes 19 seconds West, 527.00 feet; thence North 87 degrees 15 minutes 03 seconds West, along the East-West 1/4 corner of said Section 28, as monumented, West 441.38 feet; thence North 13 degrees 14 minutes 38 seconds East, 20.00 feet to the point of beginning.

LOCATION MAP

NOT TO SCALE

SITE DATA & GENERAL NOTES

- Property is zoned: U (Light Industrial)
- Contractor is responsible for protecting all existing and proposed utilities from damage during all stages of construction.
- The engineer and applicable agency must approve, prior to construction, any alteration, or variance from these plans.
- Property to be serviced by connection to public sanitary and water.
- Underground dry utilities shall be extended from existing locations to service this site as required by utility companies.
- All construction shall be performed in accordance with the current standards and specifications of Hartland Township and Livingston County.
- Three working days prior to any excavation, the Contractor shall telephone MISS (616) 862-2222 for the location of underground utilities and shall also notify the Contractor of other utilities. It is the Contractor's responsibility to verify and/or obtain any information necessary regarding the presence of underground utilities which might affect this job.
- Site plan use: Manufacturing Facility
- Site storm drainage to outlet to existing regional detention basin.
- On site soils are of the following soil types:
Miami
Loam of varying slopes
- Site circulation is designed to provide access for fire apparatus circulation.
- Outdoor light fixtures will be controlled with a lighting level controller, and will be turned off or reduced in lighting intensity between 11:00 pm and sunrise.

PARKING DATA

REQUIRED PARKING:	
EXISTING OFFICE:	19 SPACES
EXISTING FLOOR AREA:	6,500 SF (existing) / 450
EXISTING GENERAL MANUFACTURING:	84 SPACES
PROPOSED GENERAL MANUFACTURING:	30 SPACES
PROPOSED FLOOR AREA:	19,220 SF / 650
PROPOSED GENERAL MANUFACTURING:	133 SPACES
PROVIDED PARKING:	
EXISTING ON-SITE:	77 SPACES
INCL./A.A. BARRIER FREE:	23 SPACES
PROPOSED PARKING:	33 SPACES
PROPOSED PARKING TO BE LAND DEFERRED:	133 SPACES

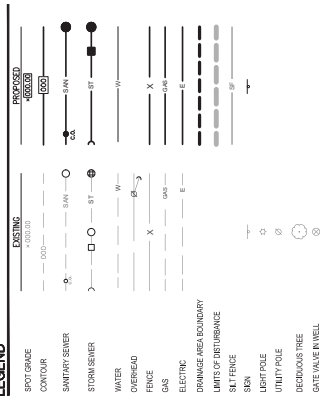
UTILITY DISCLAIMER

811
We warrant that the information provided on this plan was obtained from the utility companies or other sources as indicated on the plan. We warrant that the information is accurate as of the date of the plan. We warrant that the information is accurate as of the date of the plan. We warrant that the information is accurate as of the date of the plan. We warrant that the information is accurate as of the date of the plan.

SHEET INDEX

- C.D. SITE CONDITIONS PLAN
- C.D. OVERALL LAYOUT & UTILITY PLAN
- C.D. OVERALL LAYOUT & UTILITY PLAN
- C.D. STORM WATER MANAGEMENT PLAN
- C.D. ARCHITECTURAL SITE PLAN
- ACT10 OVERALL FLOOR PLAN
- ACT10 OVERALL FLOOR PLAN
- ACT10 EXTERIOR ELEVATIONS

LEGEND



OWNER/DEVELOPER

KOPPERT BIOLOGICAL SYSTEMS
1602 OLD US 28
HOWELL, MI 48843
PHONE: (810) 683-8780

DESIGN/BUILDER



SCHONSHECK, INC.
60566 PONTIAC TRAIL
WYOMI, MI 48388
P(248) 686-8800
F(248) 688-0860
WWW.SCHONSHECK.COM

ENGINEER

DLB LIVINGSTON ENGINEERING
CIVIL ENGINEERING SURVEYING
PLANNING
3200 S. OLD US 23, BRIGHTON, MI 48111
www.livingstoneng.com PHONE: (810) 225-7900 FAX: (810) 225-7888

KOPPERT BIOLOGICAL SYSTEMS
1602 OLD US 28
HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN
PRELIMINARY SITE PLAN

DATE	NOV 14 2010
TIME	14:59
SHEET	C
DATE	FEBRUARY 26, 2020



EXISTING CONDITIONS

Utilities as shown indicate approximate location of facilities only, as described by the various companies and no guarantee is given either as to the completeness or accuracy of the information. It is the responsibility of the client to verify the location of all utilities prior to the start of construction. Electric, gas, phone and television companies should be contacted for the commencement of field activities.

EXISTING SANITARY STRUCTURES

SANITARY MH #1
 RM 983.64
 4" DIA. INV 978.61 SE
 6" PVC INV 979.81 SW
 6" PVC INV 979.81 NE

EXISTING STORM STRUCTURES

CATCH BASIN #1A
 RM 981.78
 18" CPP INV 974.00 S.
 12" CPP INV 975.23 S.
 12" CPP INV 975.23 N.
 BOTTOM 974.78
 T/WATER 975.15

CATCH BASIN #1B
 RM 981.31
 18" CPP INV 975.81 S.
 12" CPP INV 975.81 N.
 BOTTOM 975.81
 T/WATER 975.81

CATCH BASIN #1C
 RM 981.31
 18" CPP INV 975.81 S.
 12" CPP INV 975.81 N.
 BOTTOM 975.81
 T/WATER 975.81

CATCH BASIN #1D
 RM 981.31
 18" CPP INV 975.81 S.
 12" CPP INV 975.81 N.
 BOTTOM 975.81
 T/WATER 975.81

CATCH BASIN #1E
 RM 981.31
 18" CPP INV 975.81 S.
 12" CPP INV 975.81 N.
 BOTTOM 975.81
 T/WATER 975.81

CATCH BASIN #1F
 RM 981.31
 18" CPP INV 975.81 S.
 12" CPP INV 975.81 N.
 BOTTOM 975.81
 T/WATER 975.81

CATCH BASIN #1G
 RM 981.31
 18" CPP INV 975.81 S.
 12" CPP INV 975.81 N.
 BOTTOM 975.81
 T/WATER 975.81

CATCH BASIN #1H
 RM 981.31
 18" CPP INV 975.81 S.
 12" CPP INV 975.81 N.
 BOTTOM 975.81
 T/WATER 975.81

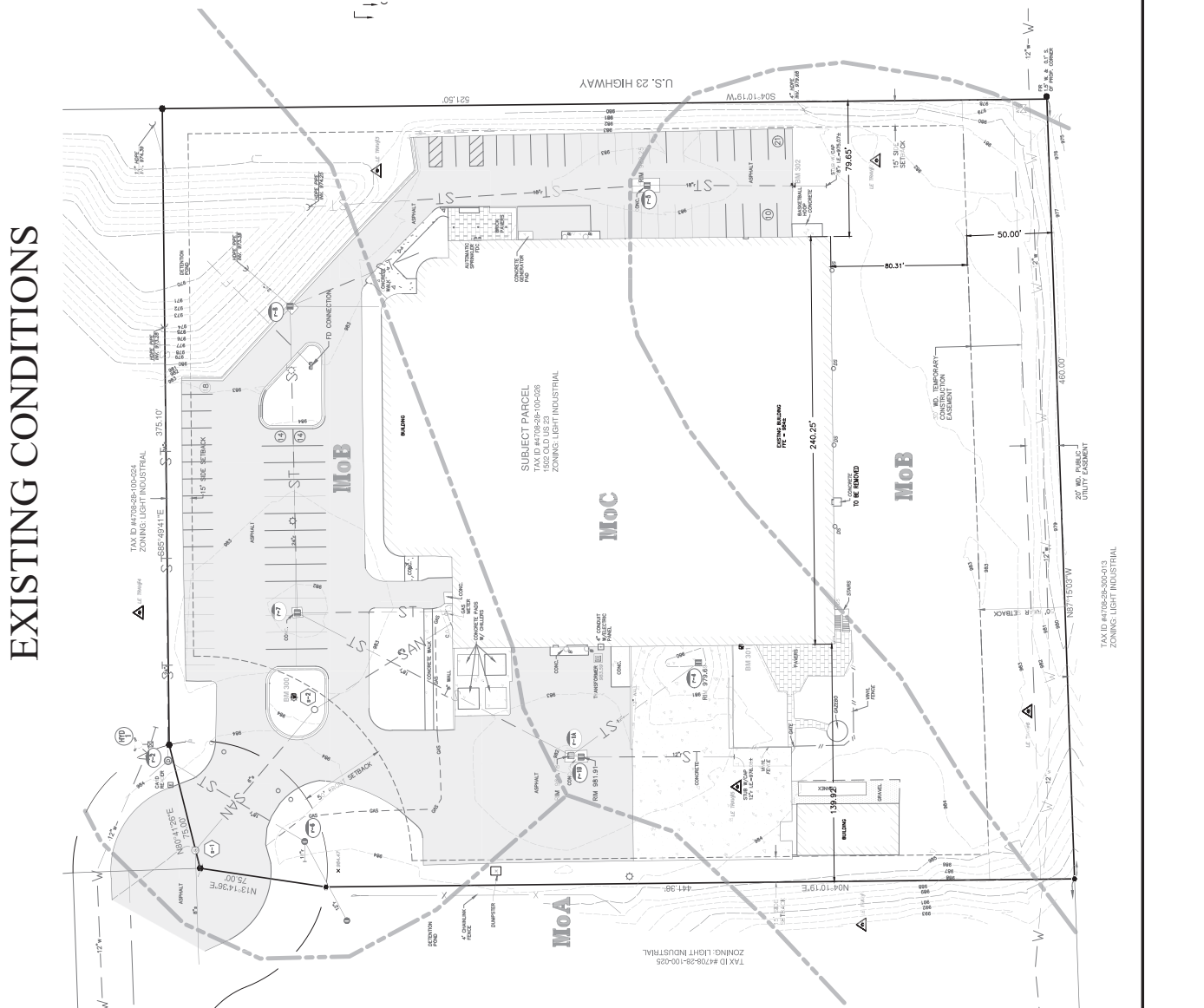
CATCH BASIN #1I
 RM 981.31
 18" CPP INV 975.81 S.
 12" CPP INV 975.81 N.
 BOTTOM 975.81
 T/WATER 975.81

CATCH BASIN #1J
 RM 981.31
 18" CPP INV 975.81 S.
 12" CPP INV 975.81 N.
 BOTTOM 975.81
 T/WATER 975.81

CATCH BASIN #1K
 RM 981.31
 18" CPP INV 975.81 S.
 12" CPP INV 975.81 N.
 BOTTOM 975.81
 T/WATER 975.81

- ### EXISTING LEGEND
- WATER MAIN
 - WATER MAIN LABEL
 - SANITARY SEWER
 - SANITARY SEWER LABEL
 - STORM SEWER
 - STORM SEWER LABEL
 - UTILITY POLE
 - UTILITY POLE LABEL
 - GROUND LIGHT
 - BOLLARD
 - SECTION CORNER
 - EVERGREEN TREE
 - DECIDUOUS TREE
 - FOUNDATION
 - SET IRON ROD
 - GATE WALK IN WELL
 - GATE WALK IN BOX
 - ASPHALT PAVEMENT
 - CONCRETE
 - TREE TAG NUMBER
 - SOIL BOUNDING
 - TRAVERSE POINT

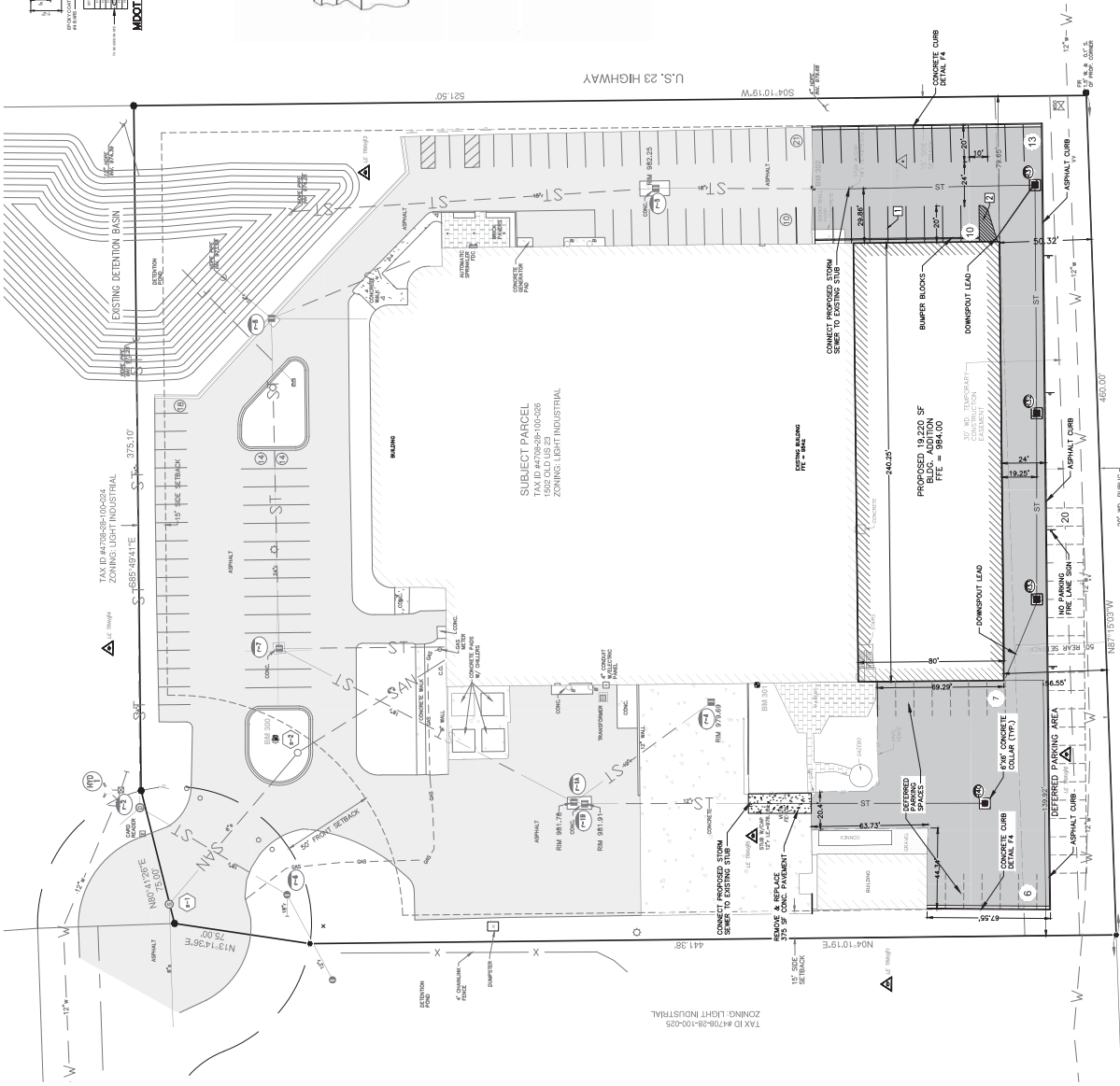
- ### USGS SOIL TYPES
- MAMI LOAM 0 TO 2 PERCENT SLOPES
 - MAMI LOAM 2 TO 6 PERCENT SLOPES
 - MAMI LOAM 6 TO 12 PERCENT SLOPES
 - MOC
 - MOB
 - MOB



NOTES:

- THERE ARE NO WETLANDS ON SITE PER THE NATIONAL WETLANDS INVENTORY DATA.
- FEMA FIRM PANEL: 219 OF 495, LIVINGSTON COUNTY, MICHIGAN, MAP NO. 260830292D, LIVINGSTON COUNTY, MICHIGAN, MAP NO. 260830292D. THERE ARE NO FEMA ESTABLISHED FLOODPLAINS LOCATED ON-SITE.
- WATER SERVICE FROM PUBLIC WATERMAIN, WATER SERVICE LOCATION OUTSIDE OF BUILDING IS SHOWN.
- SANITARY SEWER SERVICE FROM PUBLIC SANITARY SEWER, SERVICE LOCATION SHOWN ON PLAN.

OVERALL LAYOUT & UTILITY PLAN

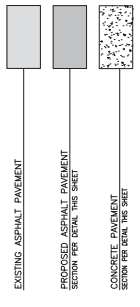


Utilities as shown indicate approximate location of facilities only, as described by the various companies and no guarantee is given either as to the completeness or accuracy of the information. "MISS DIG" 1-800-482-7171 prior to the start of construction. Electric, gas, phone and television companies should be contacted prior to the commencement of field activities.

GENERAL NOTES:

1. CONSTRUCTION AND ALL UTILITIES LOCATED, ANY DISCREPANCIES SHALL BE RESOLVED BY THE ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
2. NOTATION DRAINS ARE TO BE SET CL IV UNLESS OTHERWISE NOTED.
3. EXISTING SYSTEM WHICH OVERTLIES TO AN EXISTING DETENTION BASIN SHALL BE MAINTAINED AND NOT BE REMOVED BY AN EXTENSION OF THE EXISTING ELECTRICAL SYSTEM.

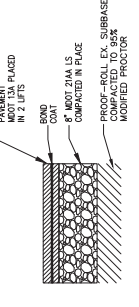
PROPOSED PAVEMENT LEGEND:



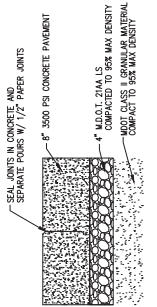
KEYED PAVEMENT MARKINGS:

- 1 4" SINGLE SOLID LINE, WHITE
- 2 4" CROSS HATCH PATTERN (2" O.C.) WITH BORDER

ASPHALT PAVEMENT SECTION



CONCRETE PAVEMENT SECTION

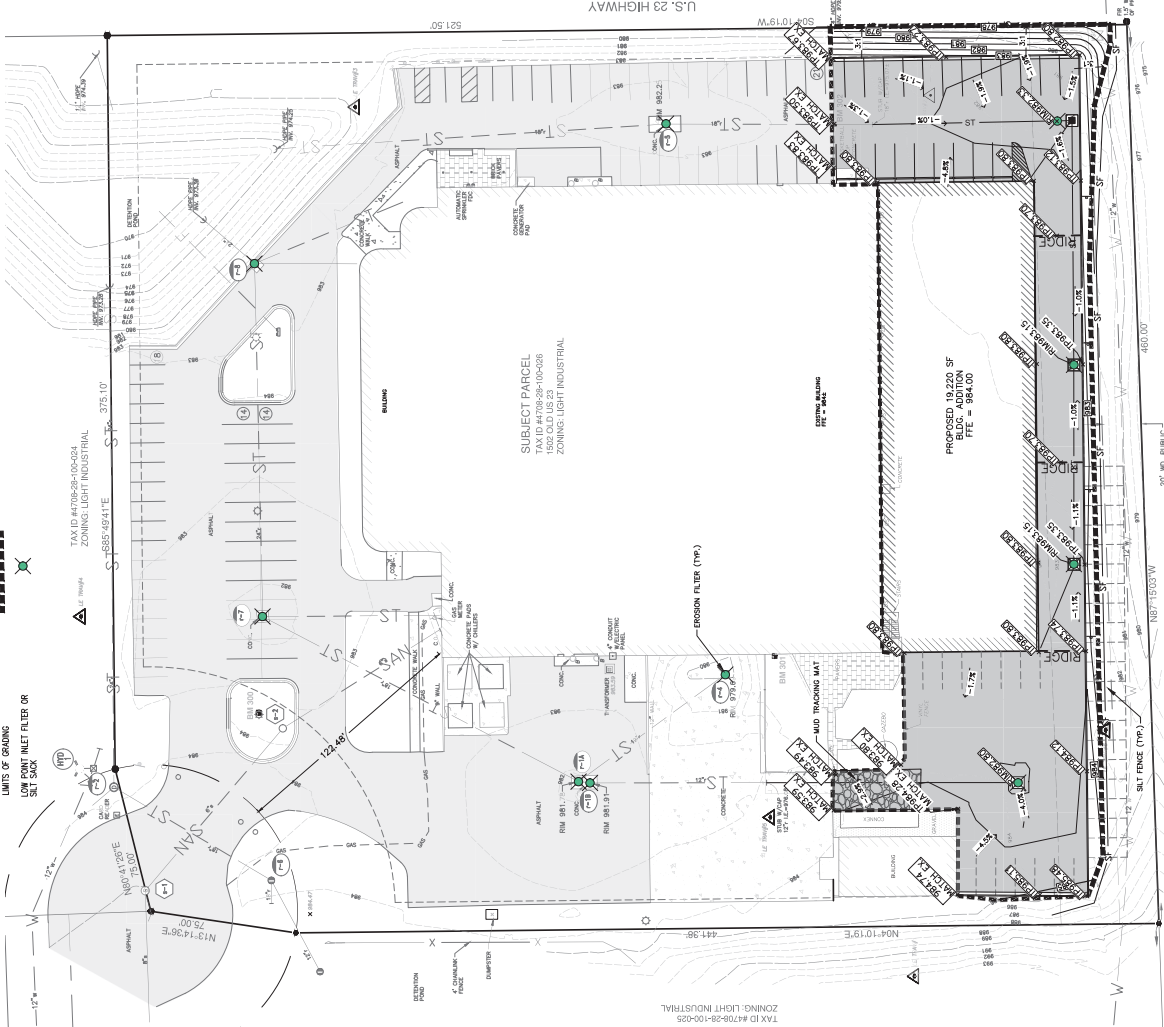


NO.	DATE	DESCRIPTION
1	12/03/2018	ADD BUILDING ADDITION
2	02/20/2020	REVISIONS

14159	17-307	02/20/2020
Scale	As Shown	
Historical	17-307	02/20/2020

S&S.C. LEGEND

- PR. S&S.C. FENCE
- LIMITS OF GRADING
- LOW POINT INLET FILTER OR S&S.C. S&S.C. S&S.C.



KOPPERT BIOLOGICAL SYSTEMS
 HARLARD TOWNSHIP, LINCOLN COUNTY, MI
 SITE PLAN
 OVERALL GRADING & S&S.C. PLAN

DATE	12/02/2019
APPROVED BY	[Signature]
DRAWN BY	12/02/2020
SCALE	1" = 30'

C30
 14159
 7-90

OVERALL GRADING & S&S.C. PLAN
 Livingston County Soil Erosion Control Temporary Controls And Sequence of Construction

1. NOTIFY THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE AT LEAST 72 HOURS IN ADVANCE OF THE START OF MASSIVE EARTH DISRUPTION. INTERESTS/FORESTS MUST HAVE 72 HOURS ADVANCE NOTICE.
 2. IN ACCORDANCE WITH PUBLIC ACT 282 OF 1974, THE PERMIT HOLDER SHALL CALL THE BOC FOR STAKING AND LOCATING OF UTILITIES. AT LEAST 72 HOURS IN ADVANCE OF THE START OF MASSIVE EARTH DISRUPTION. INTERESTS/FORESTS MUST HAVE 72 HOURS ADVANCE NOTICE.
 3. UNPAVED DISTURBED AREAS SHALL BE GRADED, SEEDED, MULCHED AND TACKED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION. INTERESTS/FORESTS MUST HAVE 72 HOURS ADVANCE NOTICE.
 4. S&S.C. TRACKING MATS SHALL BE INSTALLED ON ALL AREAS OF THE CONSTRUCTION SITE TO PREVENT TRACKING OF SOIL TO ADJACENT AREAS.
 5. ALL TRACKING MATS SHALL BE INSTALLED AT ALL WORKS/ACCESS AREAS OF THE CONSTRUCTION SITE TO PREVENT TRACKING OF SOIL TO ADJACENT AREAS.
 6. TRACKING MATS SHALL BE MAINTAINED AT ALL TIMES AND SHALL HAVE A MINIMUM LENGTH OF 75 FEET.
 7. DUE TO THE NATURE OF TRACKING MATS, TRACKING MATS SHALL NOT BE STAPLED ON SITE.

DETENTION PONDS
 8. DETENTION POND SHALL BE EXCAVATED, UNDESIGNED, SEED, MULCHED AND TACKED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION.
 9. POND SHALL HAVE A MINIMUM OF ONE (1) FOOT OF FREEBOARD.
 10. POND SHALL BE INSTALLED ON A GRADE OF 1% TO 3% TO PREVENT TRACKING OF SOIL TO ADJACENT AREAS.
 11. ALL UNPAVED DISTURBED AREAS SHALL BE GRADED, SEED, MULCHED AND TACKED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION.
 12. SOIL EROSION CONTROLS SHALL BE MAINTAINED DAILY BY THE ON-SITE ENGINEER, OR CONTRACTOR, WHICHEVER IS APPLICABLE.

SLOPES
 13. SLOPES STEEPER THAN 1 VERTICAL TO 1 HORIZONTAL SHALL NOT BE USED EXCEPT WITH A MECHANICAL DEVICE SUCH AS A RETAINING WALL, TERRACING, OR OTHER PROPER APPROVED DEVICE.
 14. SLOPES STEEPER THAN 1 VERTICAL TO 1 HORIZONTAL SHALL HAVE STAPLED MULCH BARRIERS OR 500 TO MINIMIZE THE CHANCE FOR EROSION.

STORM DRAINS
 15. ALL STORM DRAINAGE SYSTEMS SHALL BE INSTALLED WITHIN THE WORK AREA AND BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE.
 16. STORM DRAINAGE SYSTEMS SHALL BE INSTALLED WITHIN THE WORK AREA AND BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE.
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 26. STORM DRAINAGE SYSTEMS SHALL BE INSTALLED WITHIN THE WORK AREA AND BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE.

STABILIZATION
 27. ALL UNPAVED DISTURBED AREAS SHALL BE RE-TOPOGRAPHED WITH A MINIMUM OF 3" OF MATERIAL, SEED, MULCHED AND TACKED WITHIN 10 DAYS OF THE COMPLETION OF THE MASSIVE EARTH DISRUPTION.
 28. ALL UNPAVED DISTURBED AREAS SHALL BE RE-TOPOGRAPHED WITH A MINIMUM OF 3" OF MATERIAL, SEED, MULCHED AND TACKED WITHIN 10 DAYS OF THE COMPLETION OF THE MASSIVE EARTH DISRUPTION.
 29. ALL UNPAVED DISTURBED AREAS SHALL BE RE-TOPOGRAPHED WITH A MINIMUM OF 3" OF MATERIAL, SEED, MULCHED AND TACKED WITHIN 10 DAYS OF THE COMPLETION OF THE MASSIVE EARTH DISRUPTION.
 30. ALL UNPAVED DISTURBED AREAS SHALL BE RE-TOPOGRAPHED WITH A MINIMUM OF 3" OF MATERIAL, SEED, MULCHED AND TACKED WITHIN 10 DAYS OF THE COMPLETION OF THE MASSIVE EARTH DISRUPTION.

MAINTENANCE SCHEDULE FOR SOIL EROSION CONTROLS
 1. S&S.C. TRACKING MATS SHALL BE MAINTAINED DAILY BY THE ON-SITE ENGINEER, OR CONTRACTOR, WHICHEVER IS APPLICABLE.
 2. S&S.C. TRACKING MATS SHALL BE MAINTAINED DAILY BY THE ON-SITE ENGINEER, OR CONTRACTOR, WHICHEVER IS APPLICABLE.
 3. S&S.C. TRACKING MATS SHALL BE MAINTAINED DAILY BY THE ON-SITE ENGINEER, OR CONTRACTOR, WHICHEVER IS APPLICABLE.
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 9. S&S.C. TRACKING MATS SHALL BE MAINTAINED DAILY BY THE ON-SITE ENGINEER, OR CONTRACTOR, WHICHEVER IS APPLICABLE.
 10. S&S.C. TRACKING MATS SHALL BE MAINTAINED DAILY BY THE ON-SITE ENGINEER, OR CONTRACTOR, WHICHEVER IS APPLICABLE.

SEEDING, FERTILIZER, AND MULCH BARRIERS
 1. SEEDING, FERTILIZER, AND MULCH BARRIERS SHALL BE INSTALLED WITHIN 10 DAYS OF THE COMPLETION OF THE MASSIVE EARTH DISRUPTION.
 2. SEEDING, FERTILIZER, AND MULCH BARRIERS SHALL BE INSTALLED WITHIN 10 DAYS OF THE COMPLETION OF THE MASSIVE EARTH DISRUPTION.
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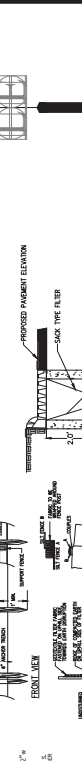
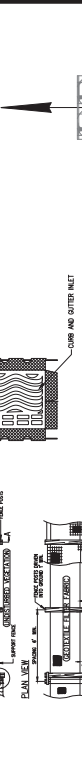
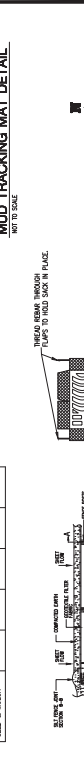
TEMPORARY INLET FILTER
 1. TEMPORARY INLET FILTERS SHALL BE INSTALLED WITHIN 10 DAYS OF THE COMPLETION OF THE MASSIVE EARTH DISRUPTION.
 2. TEMPORARY INLET FILTERS SHALL BE INSTALLED WITHIN 10 DAYS OF THE COMPLETION OF THE MASSIVE EARTH DISRUPTION.
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 10. TEMPORARY INLET FILTERS SHALL BE INSTALLED WITHIN 10 DAYS OF THE COMPLETION OF THE MASSIVE EARTH DISRUPTION.

MUD TRACKING MAT DETAIL
 1. MUD TRACKING MAT DETAIL SHALL BE INSTALLED WITHIN 10 DAYS OF THE COMPLETION OF THE MASSIVE EARTH DISRUPTION.
 2. MUD TRACKING MAT DETAIL SHALL BE INSTALLED WITHIN 10 DAYS OF THE COMPLETION OF THE MASSIVE EARTH DISRUPTION.
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TOTAL DISTURBED AREA 49270 SF (103 AC)

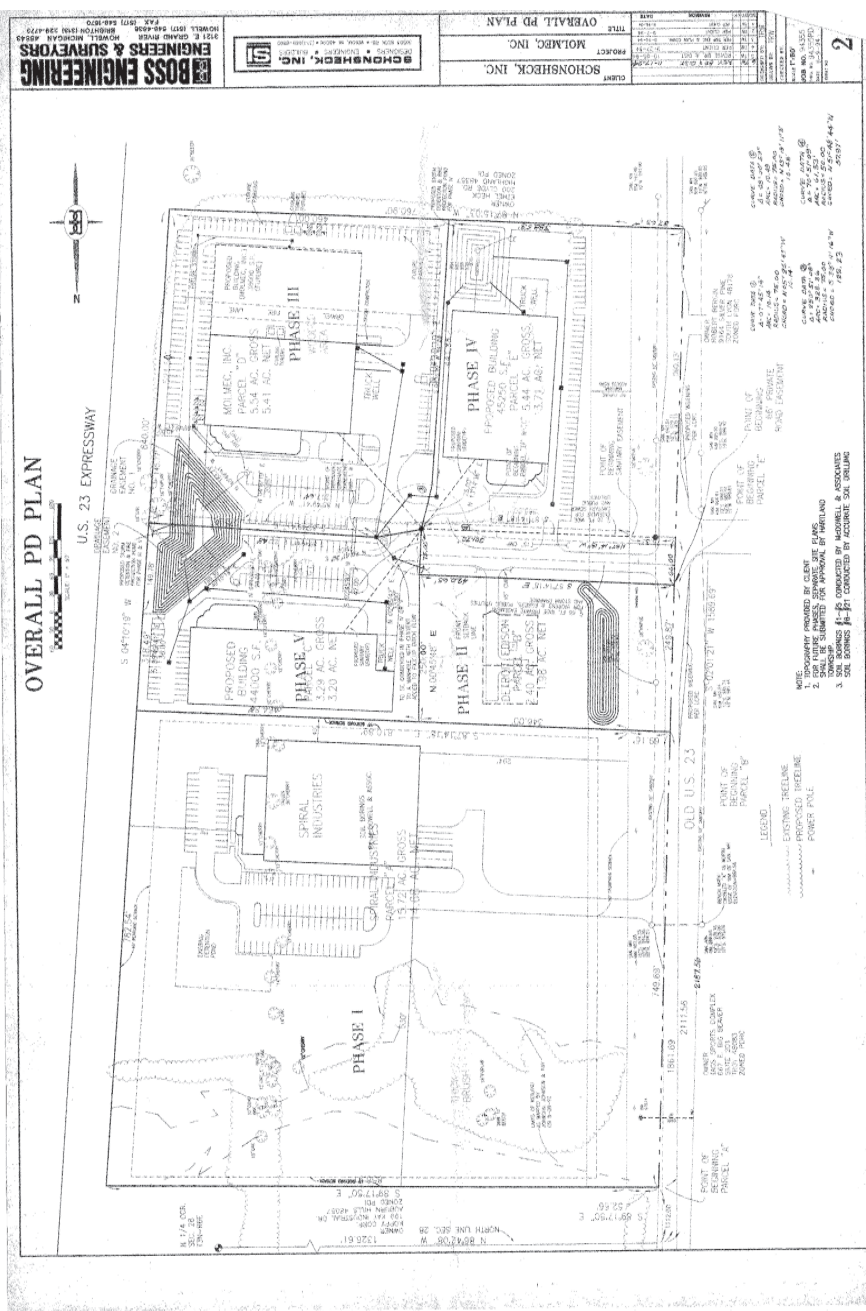
PROPOSED CONSTRUCTION SCHEDULE: 2020

ACTIVITY	APR	MAY	JUNE	JULY	AUG
INSTALL S&S.C.					
DETENTION POND					
MASS GRADING					
UTILITIES					
FINAL GRADING					
PAVING					
SEED & MULCH					



19

STORM WATER MANAGEMENT PLAN



FOR REFERENCE ONLY

DATE	12/02/2019
REVISION	NO. 1
APPROVED BY	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
DRAWN BY	DATE
SCALE	AS SHOWN
SHEET NO.	14159
TOTAL SHEETS	1
PROJECT NO.	19010101

BOSS ENGINEERING & SURVEYING
 2500 S. BROADWAY, SUITE 100
 ANN ARBOR, MI 48106
 PHONE: (734) 769-1100
 FAX: (734) 769-1101
 www.bosseng.com

Professional Engineer's Seal
 BOSS ENGINEERING & SURVEYING
 2500 S. BROADWAY, SUITE 100
 ANN ARBOR, MI 48106
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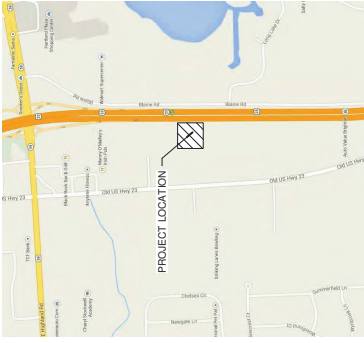
Stormwater Management Plan
 The stormwater management plan for this project was developed in accordance with the Michigan Stormwater Management Act (Act 324 of 2006) and the Michigan Stormwater Management Regulations (R 207.100-207.109). The plan includes the design of detention basins, stormwater conveyance systems, and other measures to manage stormwater runoff from the site. The plan also includes a description of the site's hydrology and the proposed stormwater management measures.

Site Plan
 The site plan shows the layout of the proposed buildings, parking lots, and other structures. It also shows the location of the stormwater management features, including the detention basins and conveyance systems. The plan includes a north arrow and a scale bar.

FOR REFERENCE ONLY

**KOPPERT BIOLOGICAL SYSTEMS
 STORM WATER DETENTION NOTE:**

As shown in the report prepared by Boss Engineering titled "Stormwater Management Plan" (dated 11/17/2019), the stormwater management plan for reference only) the Koppert Biological site (formerly Milmeec, Inc., on original plan dated 11-17-2014, shown for reference only, this sheet), meet the requirements of the Michigan Stormwater Management Act (Act 324 of 2006) and the Michigan Stormwater Management Regulations (R 207.100-207.109). The stormwater management plan includes a description of the site's hydrology and the proposed stormwater management measures. The plan also includes a description of the site's hydrology and the proposed stormwater management measures.

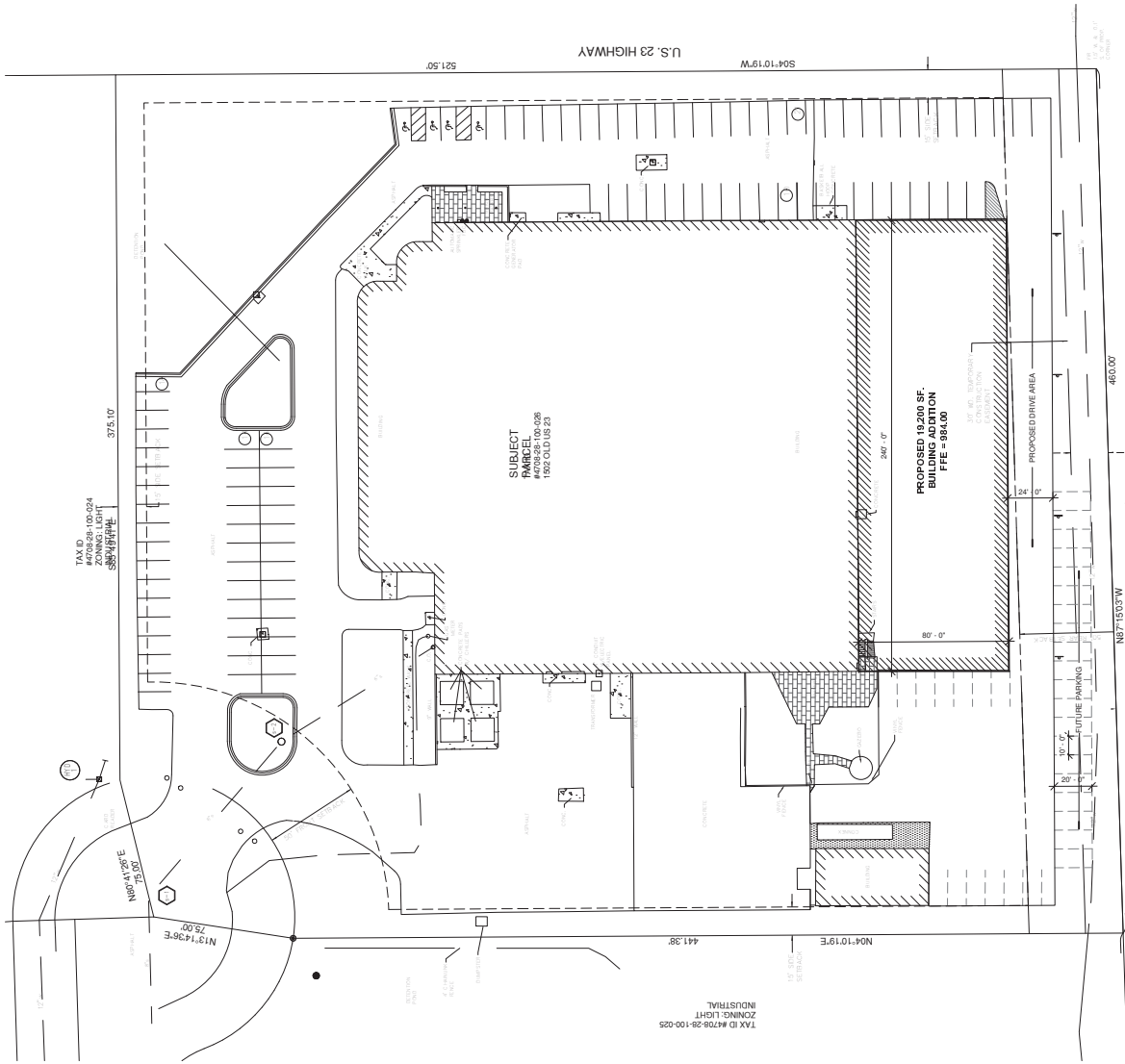


LOCATION MAP
 NORTH

GENERAL NOTES

1. ALL SITE INFORMATION WAS TAKEN FROM AN ARCHITECTURAL SURVEY PERFORMED BY SCHONSHECK, INC. ON 08/14/2024. ANY DISCREPANCIES BETWEEN THIS SURVEY AND ANY RECORD DRAWINGS OR FIELD NOTES SHOULD BE REPORTED TO THE ARCHITECT.
2. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES AS WELL AS THE BEST PRACTICE AND STANDARDS OF THE TRADE. ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING PROPER PERMITS AND PAYING ALL APPLICABLE FEES.
3. WATER SERVICE IS EXISTING.
4. ZONING - **LL (LIGHT INDUSTRIAL)**
5. AREA OF PARCEL: 241,108 S.F. OR 5.54 ACRES
6. BUILDING AREA: 19,200 S.F.
7. PROPOSED ADDITION: 19,200 S.F.
8. CURRENT LAND USE: GENERAL MANUFACTURING & OFFICE
9. PARKING:
 OFFICE AREA: 4,500 S.F. @ 1 SPACE PER 300 S.F.
 GENERAL MANUFACTURING: 5,400 S.F. @ 1 SPACE PER 180 S.F.
 TOTAL REQUIRED PARKING: 152 SPACES
 TOTAL PROVIDED: 27 EXISTING SPACES WITH 9-LAND DEFERRED SPACES INCLUDING SHORTER FREE SPACES INCLUDING SHORTER FREE SPACES INCLUDING SHORTER FREE SPACES INCLUDING SHORTER FREE SPACES INCLUDING SHORTER FREE
 TOTAL OF 24 SPACES INCLUDING SHORTER FREE SPACES INCLUDING SHORTER FREE SPACES INCLUDING SHORTER FREE SPACES INCLUDING SHORTER FREE
 EXISTING + PROPOSED ADDITION = 24%

NOT FOR CONSTRUCTION



ARCHITECTURAL SITE PLAN
 NORTH
 TAX ID: 44709-28-100-024
 ZONING: LIGHT INDUSTRIAL
 1" = 30'-0"



A101

OVERALL FLOOR PLAN

Project # 1050
Client
Contract #

Rev. Description
Printed Date: 2/25/2020 3:30:42 PM

Project Phase:
Design
Permit
Construction

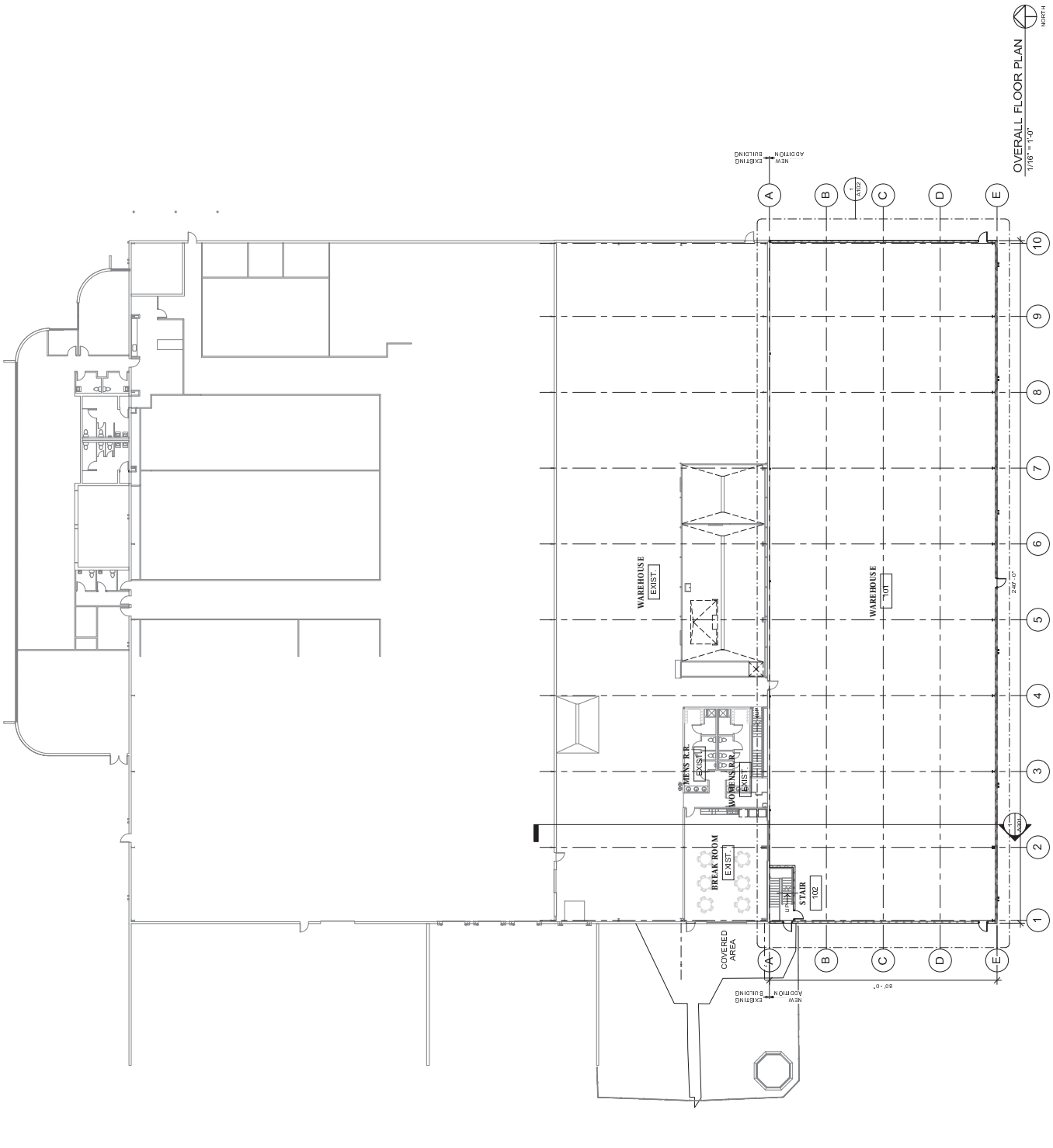
Proposed Building Address For:
1902 Old US 201, Hwaite, MI 48843

KOPPERT BIOLOGICAL SYSTEMS

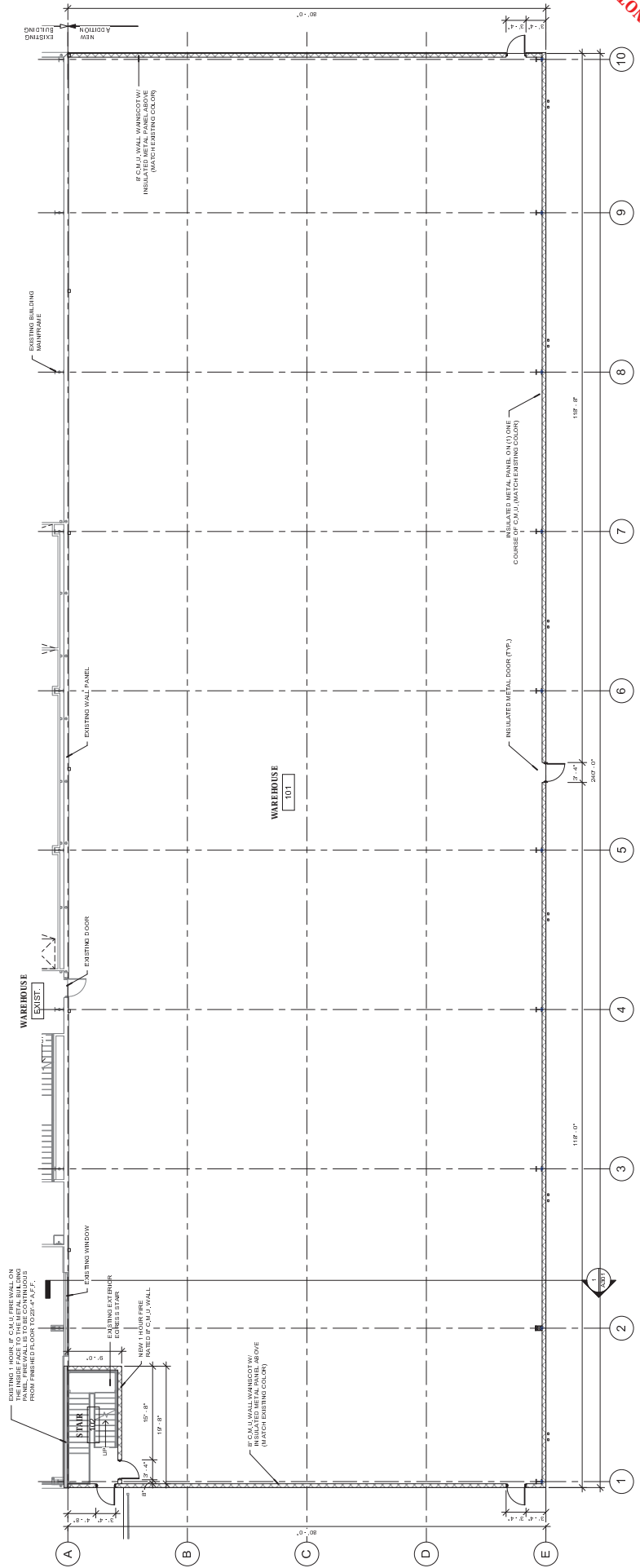
SCHONSHECK, INC.
DESIGN BUILD & CONSTRUCTION
50500 Pontiac Trail, Warren, MI 48093, PH: (248) 969-8800

IAMAG
4428 WEST BIRCHWOOD ROAD, SUITE 200, FLYING MI 48037, PH: (810) 232-9311

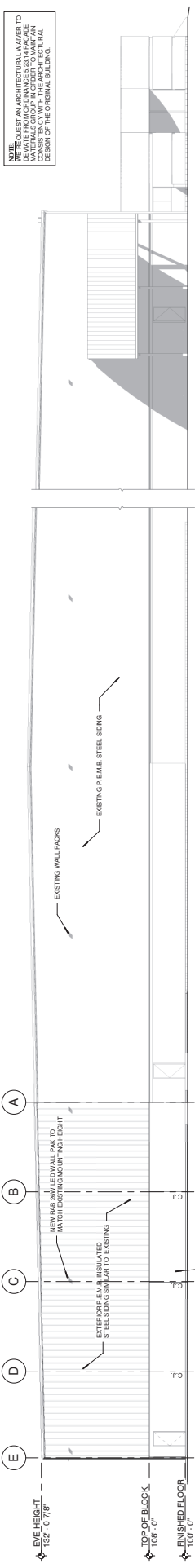
NOT FOR CONSTRUCTION



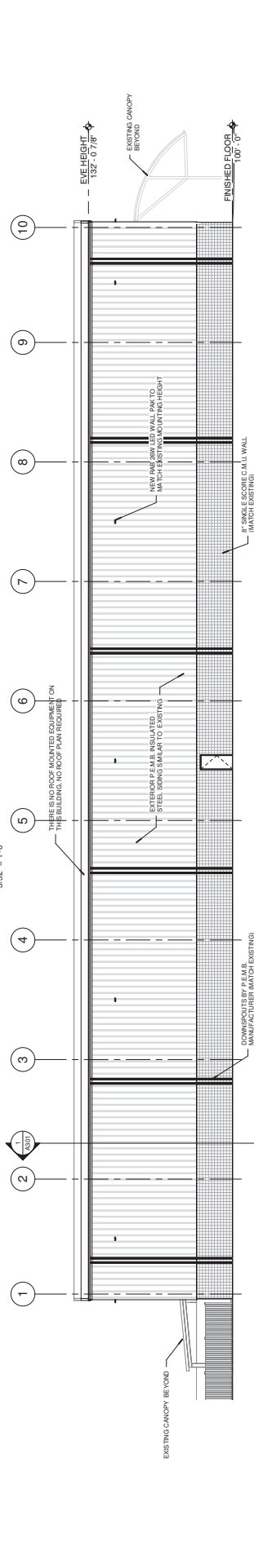
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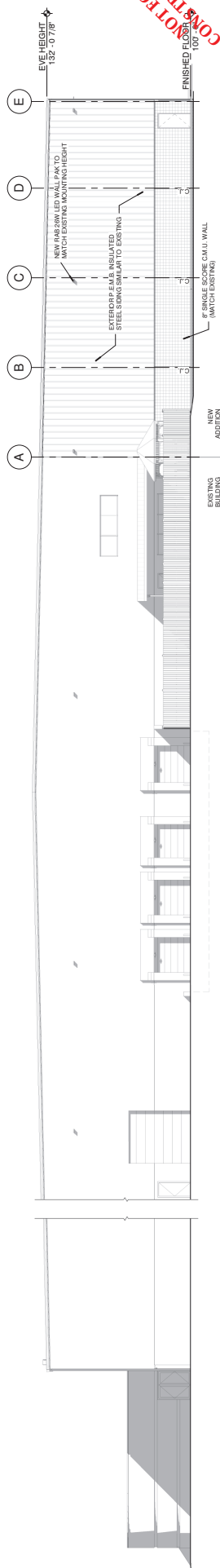
ENLARGED FLOOR PLAN
 T19-1107
 NORTH



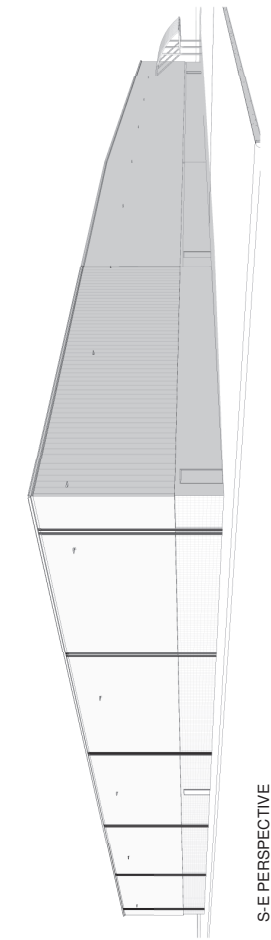
EAST ELEVATION
 3/32" = 1'-0"



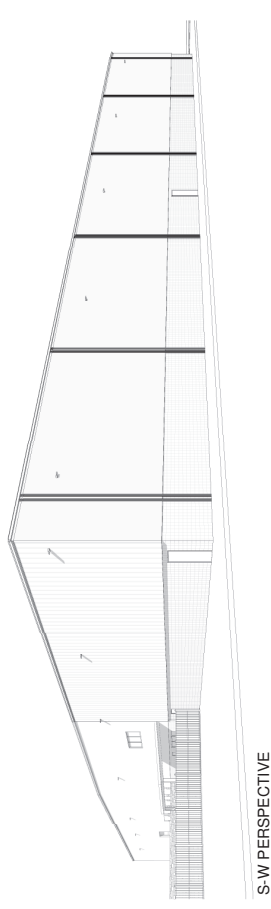
SOUTH ELEVATION
 3/32" = 1'-0"



WEST ELEVATION
 3/32" = 1'-0"



S-E PERSPECTIVE



S-W PERSPECTIVE