



Board of Trustees

William J. Fountain, Supervisor
Larry N. Ciofu, Clerk
Kathleen A. Horning, Treasurer

Brett Lubeski, Trustee
Summer L. McMullen, Trustee
Denise M. O'Connell, Trustee
Joseph M. Petrucci, Trustee

Board of Trustees Regular Meeting Agenda
Hartland Township Hall
Tuesday, March 11, 2025
7:00 PM

1. Call to Order
 2. Pledge of Allegiance
 3. Roll Call
 4. Approval of the Agenda
 5. Call to the Public
 6. Approval of the Consent Agenda
 - [a.](#) Approve Payment of Bills
 - [b.](#) Approve Post Audit of Disbursements Between Board Meetings
 - [c.](#) 02-25-25 Hartland Township Board Regular Meeting Minutes
 - [d.](#) Closing Farmer's Market Bank Fund
 - [e.](#) School Summer Tax Collection Agreements
 7. Pending & New Business
 - [a.](#) Resolution of Determination of Wages and Benefits of the Township Supervisor
 - [b.](#) Resolution of Determination of Wages and Benefits of the Township Clerk
 - [c.](#) Resolution of Determination of Wages and Benefits of the Township Treasurer
 - [d.](#) Resolution of Determination of Wages and Benefits of the Township Trustees
 - [e.](#) Resolution - FY2025 General Appropriations Act
 - [f.](#) Zoning Amendment #25-001 – Amendment to permit in-ground swimming pools in front yard of waterfront lots
 - [g.](#) Site Plan/PD Application #25-003 – Highland Reserve Planned Development (PD) Amendment to the approved Preliminary PD Site Plan (SP/PD #23-008) and Amendment to the Highland Reserve Planned Development Agreement Final PD (SP/PD #24-006)
 - [h.](#) Hartland Township Emergency Operations Support Plan
 8. Board Reports
- [BRIEF RECESS]
9. Information / Discussion
 - [a.](#) Manager's Report
 - [b.](#) Veterans Memorial Workshop
 10. Adjournment

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Susan Case, Finance Clerk

Subject: Approve Payment of Bills

Date: March 4, 2025

Recommended Action

Move to approve the bills as presented for payment.

Discussion

Bills presented total \$69,012.16. The bills are available in the Finance office for review.

Notable invoices include:

\$16,951.90 – Hartland Township Water O&M – (Out of dept costs from June 2024, Sept 1-15, 2024 & Feb. 2025)

\$12,392.75 – Spalding Dedecker – (Various engineering invoices)

Financial Impact

Is a Budget Amendment Required? Yes No

All expenses are covered under the amended FY25 budget.

Attachments

Bills for 03.11.2025

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

ADOBE	ADOBE INC	02/24/2025	022425	FOA	2/23/25 - 2/22/26 ACROBAT PRO	
52220		03/11/2025		N		254.27
02/24/2025	,	/ /	0.0000	N		0.00
		03/11/2025		N		254.27

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-215-727.000	SUPPLIES & POSTAGE	254.27

ADOBE	ADOBE INC	02/05/2025	3006344779	FOA	FEBRUARY 2025	
52113		03/11/2025		N		19.99
02/05/2025	,	/ /	0.0000	N		0.00
		03/11/2025		N		19.99

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-740.000	OPERATING SUPPLIES	19.99

VENDOR TOTAL: 274.26

AMAZON.COM	AMAZON CAPITAL SERVICES	01/30/2025	113-1191770-1225	FOA	INK PENS	
52063	P.O. BOX 035184	03/11/2025		N		9.89
01/30/2025	SEATTLE WA, 98124-5184	/ /	0.0000	N		0.00
		03/11/2025		N		9.89

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-400-727.000	SUPPLIES & POSTAGE	9.89

AMAZON.COM	AMAZON CAPITAL SERVICES	02/24/2025	114-2057545-4809	FOA	TWP HALL RENOVATION	
52211	P.O. BOX 035184	03/11/2025		N		959.98
02/24/2025	SEATTLE WA, 98124-5184	/ /	0.0000	N		0.00
		03/11/2025		N		959.98

Open

GL NUMBER	DESCRIPTION	AMOUNT
401-265-970.000	CAPITAL OUTLAY	959.98

AMAZON.COM	AMAZON CAPITAL SERVICES	01/23/2025	114-2116444-2185	FOA	MOUSE PAD & FILE POCKET EXPANSION	
52055	P.O. BOX 035184	03/11/2025		N		27.53
01/23/2025	SEATTLE WA, 98124-5184	/ /	0.0000	N		0.00
		03/11/2025		N		27.53

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-209-727.000	SUPPLIES & POSTAGE	27.53

AMAZON.COM	AMAZON CAPITAL SERVICES	02/24/2025	114-2416139-0659	FOA	TWP HALL RENOVATIONS	
52212	P.O. BOX 035184	03/11/2025		N		60.21
02/24/2025	SEATTLE WA, 98124-5184	/ /	0.0000	N		0.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

		03/11/2025		N		60.21
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Open

GL NUMBER	DESCRIPTION	AMOUNT
401-265-970.000	CAPITAL OUTLAY	60.21

AMAZON.COM	AMAZON CAPITAL SERVICES	01/28/2025	114-2605790-6809	FOA	REPAIR TO HARTLAND ESTATES BOOSTER S	
52062	P.O. BOX 035184	03/11/2025		N		317.38
01/28/2025	SEATTLE WA, 98124-5184	/ /	0.0000	N		0.00
		03/11/2025		N		317.38

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-930.001	REPAIRS & MAINTENANCE SYSTEM	317.38

AMAZON.COM	AMAZON CAPITAL SERVICES	02/26/2025	114-5339247-5826	FOA	SURGE PROTECTOR WITH 12 OUTLETS	
52214	P.O. BOX 035184	03/11/2025		N		21.98
02/26/2025	SEATTLE WA, 98124-5184	/ /	0.0000	N		0.00
		03/11/2025		N		21.98

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-209-727.000	SUPPLIES & POSTAGE	21.98

AMAZON.COM	AMAZON CAPITAL SERVICES	02/24/2025	114-6276252-4809	FOA	POWER STRIP SURGE PROTECTOR	
52213	P.O. BOX 035184	03/11/2025		N		15.98
02/24/2025	SEATTLE WA, 98124-5184	/ /	0.0000	N		0.00
		03/11/2025		N		15.98

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-209-727.000	SUPPLIES & POSTAGE	15.98

AMAZON.COM	AMAZON CAPITAL SERVICES	01/23/2025	114-8270520-6933	FOA	MOUSE & KEYBOARD FOR T. BROOKS	
52056	P.O. BOX 035184	03/11/2025		N		34.99
01/23/2025	SEATTLE WA, 98124-5184	/ /	0.0000	N		0.00
		03/11/2025		N		34.99

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	34.99

AMAZON.COM	AMAZON CAPITAL SERVICES	02/11/2025	114-9031477-4370	FOA	STENO NOTEBOOK PADS	
52141	P.O. BOX 035184	03/11/2025		N		14.99
02/11/2025	SEATTLE WA, 98124-5184	/ /	0.0000	N		0.00
		03/11/2025		N		14.99

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-209-727.000	SUPPLIES & POSTAGE	14.99

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

AMAZON.COM	AMAZON CAPITAL SERVICES	02/19/2025	114-9423135-2223	FOA	MONITOR FOR SECURITY SYSTEM	
52210	P.O. BOX 035184	03/11/2025		N		79.97
02/19/2025	SEATTLE WA, 98124-5184	/ /	0.0000	N		0.00
		03/11/2025		N		79.97

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-172-727.000	SUPPLIES & POSTAGE	79.97

VENDOR TOTAL: 1,542.90

APPLIED	APPLIED INNOVATION	02/28/2025	2756238	FOA	1/23/25 - 2/22/25 - RICOH MP6055SP	
52195	7718 SOLUTION CENTER	03/11/2025		N		55.74
02/28/2025	CHICAGO IL, 60677-7007	/ /	0.0000	N		0.00
		03/11/2025		N		55.74

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-172-930.000	REPAIRS & MAINTENANCE	55.74

VENDOR TOTAL: 55.74

AUTOZONE	AUTOZONE , INC	02/11/2025	021125	FOA	ANTIFREEZE FOR TOILETS AT PARK	
52205	PO BOX 116067	03/11/2025		N		41.97
02/11/2025	ATLANTA GA, 30368-6067	/ /	0.0000	N		0.00
		03/11/2025		N		41.97

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-740.000	OPERATING SUPPLIES	41.97

VENDOR TOTAL: 41.97

BESTBUY	BEST BUY	02/17/2025	021825	FOA	TOUCH SCREEN LAPTOP	
52219	8487 W GRAND RIVER AVE	03/11/2025		N		1,049.99
02/17/2025	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		03/11/2025		N		1,049.99

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-172-727.000	SUPPLIES & POSTAGE	1,112.99
101-172-727.000	SUPPLIES & POSTAGE	(63.00)
		<u>1,049.99</u>

VENDOR TOTAL: 1,049.99

CINTAS	CINTAS CORPORATION	03/03/2025	4222784440	FOA	MATS	
52199	P.O. BOX 630910	03/11/2025		N		46.62

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

03/03/2025	CINCINNATI OH, 45263	/ /	0.0000	N		0.00
		03/11/2025		N		46.62

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	46.62

CINTAS	CINTAS CORPORATION	02/25/2025	5256003606	FOA	FIRST AID SUPPLIES	
52192	P.O. BOX 630910	03/11/2025		N		39.95
02/25/2025	CINCINNATI OH, 45263	/ /	0.0000	N		0.00
		03/11/2025		N		39.95

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-801.000	CONTRACTED SERVICES	39.95

CINTAS	CINTAS CORPORATION	02/28/2025	9310853024	FOA	EYEWASH SERVICE AGREEMENT	
52196	P.O. BOX 630910	03/11/2025		N		99.18
02/28/2025	CINCINNATI OH, 45263	/ /	0.0000	N		0.00
		03/11/2025		N		99.18

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	99.18

VENDOR TOTAL: 185.75

COMCAST	COMCAST	02/26/2025	022625	FOA	FEBRUARY 2025 CABLE/INTERNET AT TWP	
52115	P.O. BOX 70219	03/11/2025		N		441.89
02/26/2025	PHILADELPHIA PA, 19176-0219	/ /	0.0000	N		0.00
		03/11/2025		N		441.89

Open

GL NUMBER	DESCRIPTION	AMOUNT
577-000-806.000	CABLE TV FEES	166.93
577-000-805.000	INTERNET	274.96
		441.89

COMCAST	COMCAST	01/01/2025	230254903	FOA	JANUARY 2025 DEDICATED ETHERNET INTE	
51989	P.O. BOX 70219	03/11/2025		N		673.80
01/01/2025	PHILADELPHIA PA, 19176-0219	/ /	0.0000	N		0.00
		03/11/2025		N		673.80

Open

GL NUMBER	DESCRIPTION	AMOUNT
577-000-805.000	INTERNET	673.80

COMCAST	COMCAST	02/23/2025	232839499	FOA	FEBRUARY 2025	
52207	P.O. BOX 70219	03/11/2025		N		673.80
02/23/2025	PHILADELPHIA PA, 19176-0219	/ /	0.0000	N		0.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

		03/11/2025		N		673.80
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Open

GL NUMBER	DESCRIPTION	AMOUNT
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577-000-805.000

INTERNET

673.80

COMCAST	COMCAST	02/21/2025	FEB 2025	FOA	FEBRUARY 2025 - PHONE/INTERNET AT WT	
52114	P.O. BOX 70219	03/11/2025		N		225.01
02/21/2025	PHILADELPHIA PA, 19176-0219	/ /	0.0000	N		0.00
		03/11/2025		N		225.01

Open

GL NUMBER	DESCRIPTION	AMOUNT
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536-000-851.000

TELEPHONE

83.54

536-000-805.000

INTERNET

141.47

225.01

COMCAST	COMCAST	02/18/2025	FEBRUARY 2025	FOA	FEB 2025 - INTERNET AT WTP	
52142	P.O. BOX 70219	03/11/2025		N		282.35
02/18/2025	PHILADELPHIA PA, 19176-0219	/ /	0.0000	N		0.00
		03/11/2025		N		282.35

Open

GL NUMBER	DESCRIPTION	AMOUNT
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536-000-805.000

INTERNET

282.35

VENDOR TOTAL: 2,296.85

0070	DTE ENERGY	02/13/2025	021325	FOA	WIRING FOR PRV PROJECT	
52143	P.O BOX 740786	03/11/2025		N		2,500.00
02/13/2025	CINCINNATI	/ /	0.0000	N		0.00
	OH, 45274-0786	03/11/2025		N		2,500.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
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539-000-150.000

WATER CONSTRUCT IN PROGRESS

2,500.00

VENDOR TOTAL: 2,500.00

ECOSHIELD	ECOSHIELD PEST SOLUTIONS DET WEST	01/29/2025	17831797	FOA	PEST CONTROL AT TWP HALL	
52065	P.O. BOX 92180	03/11/2025		N		109.00
01/29/2025	LAS VEGAS NV, 89193-2180	/ /	0.0000	N		0.00
		03/11/2025		Y		109.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
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101-265-801.000

CONTRACTED SERVICES

109.00

ECOSHIELD	ECOSHIELD PEST SOLUTIONS DET WEST	01/29/2025	17832065	FOA	PEST CONTROL AT HERO CENTER	
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Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
52066	P.O. BOX 92180	03/11/2025		N		89.00
01/29/2025	LAS VEGAS NV, 89193-2180	/ /	0.0000	N		0.00
		03/11/2025		Y		89.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	89.00

ECOSHIELD	ECOSHIELD PEST SOLUTIONS DET WEST	02/25/2025	18019234	FOA	PEST CONTROL AT TWP HALL	
52208	P.O. BOX 92180	03/11/2025		N		109.00
02/25/2025	LAS VEGAS NV, 89193-2180	/ /	0.0000	N		0.00
		03/11/2025		Y		109.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	109.00

ECOSHIELD	ECOSHIELD PEST SOLUTIONS DET WEST	02/25/2025	18019583	FOA	PEST CONTROL AT TEEN CENTER	
52209	P.O. BOX 92180	03/11/2025		N		89.00
02/25/2025	LAS VEGAS NV, 89193-2180	/ /	0.0000	N		0.00
		03/11/2025		Y		89.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	89.00

VENDOR TOTAL: 396.00

ETNA	ETNA SUPPLY COMPANY	02/27/2025	S106124820.001	FOA	1 1/2" & 2" METERS	
52197	P.O. BOX 772107	03/11/2025		N		7,090.00
02/27/2025	DETROIT MI, 48277-2107	/ /	0.0000	N		0.00
		03/11/2025		N		7,090.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-741.000	METER COSTS	7,090.00

VENDOR TOTAL: 7,090.00

5888	FOSTER, SWIFT, COLLINS & SMITH	02/19/2025	906491	FOA	JANUARY 2025	
52179	313 S. WASHINGTON SQUARE	03/11/2025		N		765.00
02/19/2025	LANSING MI, 48933-2193	/ /	0.0000	N		0.00
		03/11/2025		Y		765.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-400-826.000	LEGAL FEES	637.50
590-000-826.000	LEGAL FEES	127.50

765.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

VENDOR TOTAL: 765.00

GODADDY	GO DADDY	02/11/2025	3580551448	FOA	FEBRUARY 2025	
52144		03/11/2025		N		39.99
02/11/2025	,	/ /	0.0000	N		0.00
		03/11/2025		N		39.99

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-900.000	PRINTING & PUBLICATIONS	39.99

VENDOR TOTAL: 39.99

GRISSIM	GRISSIM METZ ANDRIESE ASSOCIATES	02/12/2025	11647	FOA	GATEWAY LANDSCAPE	
52202	15000 EDWARD N HINES DRIVE, STE A	03/11/2025		N		7,016.40
02/12/2025	PLYMOUTH MI, 48170	/ /	0.0000	N		0.00
		03/11/2025		N		7,016.40

Open

GL NUMBER	DESCRIPTION	AMOUNT
401-463-969.012	M59 IMPROVEMENTS	7,016.40

VENDOR TOTAL: 7,016.40

6325	HARTLAND AREA CHAMBER OF COMMERCE	02/10/2025	021025	FOA	2025 DIRECTORY AD	
52116	9525 E HIGHLAND RD	03/11/2025		N		995.00
02/10/2025	HOWELL MI, 48843	/ /	0.0000	N		0.00
		03/11/2025		N		995.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-577-804.000	MEMBERSHIP & DUES	995.00

VENDOR TOTAL: 995.00

HAYAA-F	HARTLAND AREA YOUTH ATHLETIC ASSOC	03/01/2025	MARCH 2025	FOA	MARCH 2025 PAYMENT PER AGREEMENT	
51884	HAYAA - FOOTBALL	03/11/2025		N		202.80
03/01/2025	P.O. BOX 359	/ /	0.0000	N		0.00
	HARTLAND MI, 48353	03/11/2025		N		202.80

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-703-883.200	HERITAGE PARK: HARTLAND PARTNERS	202.80

VENDOR TOTAL: 202.80

HAYAA-B	HARTLAND AREA YOUTH ATHLETIC ASSOC.	03/01/2025	MARCH 2025	FOA	MARCH 2025 - PAYMENT PER AGREEMENT	
51863	HAYAA - BASEBALL	03/11/2025		N		1,285.72
	P.O. BOX 110					

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

03/01/2025	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		03/11/2025		N		1,285.72

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-703-883.100	HAYAA: SPRANGER FIELD CONTRACT	1,285.72

VENDOR TOTAL: 1,285.72

HCSA	HARTLAND COMMUNITY SOCCER ASSN	03/01/2025	MARCH 2025	FOA	MARCH 2025 PAYMENT PER AGREEMENT	
51870	HARTLAND COMMUNITY EDUCATION	03/11/2025		N		558.74
	9525 HIGHLAND RD					
03/01/2025	HOWELL MI, 48843	/ /	0.0000	N		0.00
		03/11/2025		N		558.74

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-703-883.200	HERITAGE PARK: HARTLAND PARTNERS	558.74

VENDOR TOTAL: 558.74

WATERO&M	HARTLAND TOWNSHIP WATER O & M	02/19/2025	02192025	FOA	SEPT 1 - 15, 2024 OUT OF DEPT COSTS	
52177	2655 CLARK RD	03/11/2025		N		3,348.69
02/19/2025	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		03/11/2025		N		3,348.69

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-801.009	CONTRACT SERVICES - WATER SYSTEM	1,615.11
101-265-801.009	CONTRACT SERVICES - WATER SYSTEM	1,384.81
101-567-801.009	CONTRACT SERVICES - WATER SYSTEM	348.77
		3,348.69

WATERO&M	HARTLAND TOWNSHIP WATER O & M	02/19/2025	021925	FOA	JUNE 2024 OUT OF DEPT COSTS	
52176	2655 CLARK RD	03/11/2025		N		6,659.01
02/19/2025	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		03/11/2025		N		6,659.01

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-801.009	CONTRACT SERVICES - WATER SYSTEM	3,572.01
101-265-801.009	CONTRACT SERVICES - WATER SYSTEM	2,044.75
101-567-801.009	CONTRACT SERVICES - WATER SYSTEM	801.00
206-000-801.009	CONTRACT SERVICES - WATER SYSTEM	241.25
		6,659.01

WATERO&M	HARTLAND TOWNSHIP WATER O & M	02/28/2025	FEBRUARY 2025	FOA	FEB 2025 OUT OF DEPT COSTS	
52218	2655 CLARK RD	03/11/2025		N		6,944.20
03/05/2025	HARTLAND MI, 48353	/ /	0.0000	N		0.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

		03/11/2025		N		6,944.20
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-801.009	CONTRACT SERVICES - WATER SYSTEM	1,631.50
101-265-801.009	CONTRACT SERVICES - WATER SYSTEM	4,816.25
101-567-801.009	CONTRACT SERVICES - WATER SYSTEM	156.43
101-751-955.000	PARKS - SPECIAL EVENTS	120.87
206-000-801.009	CONTRACT SERVICES - WATER SYSTEM	219.15
		<u>6,944.20</u>

VENDOR TOTAL: 16,951.90

HYL	HARTLAND YOUTH LACROSSE	03/01/2025	MARCH 2025	FOA	MARCH 2025 PAYMENT PER AGREEMENT	
51877	P.O. BOX 56	03/11/2025		N		202.80
03/01/2025	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		03/11/2025		N		202.80

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-703-883.200	HERITAGE PARK: HARTLAND PARTNERS	202.80

VENDOR TOTAL: 202.80

K&J	K & J ELECTRIC, INC	02/04/2025	391	FOA	WORK DONE AT FIRE STATION 62	
52107	7219 EAST HIGHLAND RD	03/11/2025		N		1,758.00
02/04/2025	HOWELL MI, 48843	/ /	0.0000	N		0.00
		03/11/2025		N		1,758.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000-930.003	REPAIRS & MAINTENANCE BLD&GRDS	1,758.00

VENDOR TOTAL: 1,758.00

KNOCKERBAL	KNOCKERBALLMICHIGAN.COM	02/11/2025	579	FOA	WINTERFEST 2025	
52117	38741 ANN ARBOR RD	03/11/2025		N		1,200.00
02/11/2025	LIVONIA MI, 48150	/ /	0.0000	N		0.00
		03/11/2025		N		1,200.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-955.000	PARKS - SPECIAL EVENTS	1,200.00

VENDOR TOTAL: 1,200.00

2909	LIVINGSTON CTY.DRAIN COMMISSIO	02/25/2025	3944	FOA	PH 2 IMPLEMENTATION WATERSHED GRP TH	
52201	2300 E. GRAND RIVER	03/11/2025		N		381.46
	STE. 105					

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

02/25/2025	HOWELL MI, 48843	/ /	0.0000	N		0.00
		03/11/2025		N		381.46

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-465-956.000	MISCELLANEOUS	381.46

2909	LIVINGSTON CTY.DRAIN COMMISSIO	02/25/2025	3952	FOA	PH 2 IMPLEMENTATION WATERSHED GRP TH	
52200	2300 E. GRAND RIVER	03/11/2025		N		678.25

02/25/2025	HOWELL MI, 48843	/ /	0.0000	N		0.00
		03/11/2025		N		678.25

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-465-956.000	MISCELLANEOUS	678.25

VENDOR TOTAL: 1,059.71

LDPA	LIVINGSTON DAILY PRESS & ARGUS	02/12/2025	021225	FOA	FEBRUARY 2025	
52206		03/11/2025		N		14.99

02/12/2025	3964 SOLUTIONS CENTER	/ /	0.0000	Y		0.00
	CHICAGO IL, 60677-3009	03/11/2025		N		14.99

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-577-740.000	OPERATING SUPPLIES	14.99

VENDOR TOTAL: 14.99

LOREA	LOREA TOPSOIL & AGGREGATE	02/19/2025	31151	FOA	BULK SALT	
52175	4812 S. OLD US23	03/11/2025		N		360.00

02/19/2025	BRIGHTON MI, 48114	/ /	0.0000	N		0.00
		03/11/2025		Y		360.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-930.000	REPAIRS & MAINTENANCE	120.00
101-265-930.001	REPAIRS & MAINT - HERO TEEN CTR	120.00
206-000-802.000	LAWN/SNOW MAINTENANCE	120.00
		<u>360.00</u>

LOREA	LOREA TOPSOIL & AGGREGATE	02/21/2025	31218	FOA	BULK SALT	
52185	4812 S. OLD US23	03/11/2025		N		120.00

02/21/2025	BRIGHTON MI, 48114	/ /	0.0000	N		0.00
		03/11/2025		Y		120.00

Open

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

GL NUMBER	DESCRIPTION	AMOUNT
101-265-930.000	REPAIRS & MAINTENANCE	40.00
101-265-930.001	REPAIRS & MAINT - HERO TEEN CTR	40.00
206-000-802.000	LAWN/SNOW MAINTENANCE	40.00
		120.00

VENDOR TOTAL: 480.00

MASTERS	MASTERS TELECOM LLC	01/27/2025	52341	FOA	JANUARY 2025	
52051		03/11/2025		N		18.94
01/27/2025	,	/ /	0.0000	N		0.00
		03/11/2025		N		18.94

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-851.000	TELEPHONE	18.94

MASTERS	MASTERS TELECOM LLC	02/24/2025	53965	FOA	FEBRUARY 2025	
52187		03/11/2025		N		18.94
02/24/2025	,	/ /	0.0000	N		0.00
		03/11/2025		N		18.94

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-851.000	TELEPHONE	18.94

VENDOR TOTAL: 37.88

MGFOA	MGFOA	02/13/2025	021325	FOA	2025 SPRING SEMINAR	
52146	4020 COPPER VIEW STE 130	03/11/2025		N		140.00
02/13/2025	TRAVERSE CITY MI, 49684	/ /	0.0000	N		0.00
		03/11/2025		N		140.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-192-957.000	EDUCATION/TRAINING/CONVENTION	140.00

MGFOA	MGFOA	02/20/2025	022025	FOA	MEMBERSHIP FOR T. HUBBARD	
52215	4020 COPPER VIEW STE 130	03/11/2025		N		140.00
02/20/2025	TRAVERSE CITY MI, 49684	/ /	0.0000	N		0.00
		03/11/2025		N		140.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-441-804.000	MEMBERSHIP & DUES	140.00

VENDOR TOTAL: 280.00

MAMC	MICHIGAN ASS'N OF MUNICIPAL CLERKS	01/28/2025	012825	FOA	2025 CLERK'S INSTITUTE	
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Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
52070	ATTN: MEMBERSHIP	03/11/2025		N		700.00
	120 N WASHINGTON SQ, SUITE 110A					
01/28/2025	LANSING MI, 48933-1609	/ /	0.0000	N		0.00
		03/11/2025		N		700.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-215-957.000	EDUCATION/TRAINING/CONVENTION	700.00

VENDOR TOTAL: 700.00

MMTA	MICHIGAN MUNICIPAL TREASURERS ASSOC	02/05/2025	11827	FOA	2025 BASIC INSTITUTE - G. HAASETH	
52119		03/11/2025		N		599.00
	PO BOX 324					
02/05/2025	TAWAS CITY MI, 48764	/ /	0.0000	N		0.00
		03/11/2025		N		599.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-253-957.000	EDUCATION/TRAINING/CONVENTION	599.00

MMTA	MICHIGAN MUNICIPAL TREASURERS ASSOC	02/05/2025	11865	FOA	2025 TREASURER TO TREASURER BUNDLE -	
52118		03/11/2025		N		99.00
	PO BOX 324					
02/05/2025	TAWAS CITY MI, 48764	/ /	0.0000	N		0.00
		03/11/2025		N		99.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-253-957.000	EDUCATION/TRAINING/CONVENTION	99.00

VENDOR TOTAL: 698.00

MTA	MICHIGAN TOWNSHIPS ASSOCIATION	02/25/2025	401070	FOA	2025 MTA ANNUAL CONFERENCE	
52204		03/11/2025		N		150.00
	P.O. BOX 80078					
02/25/2025	LANSING MI, 48908-0078	/ /	0.0000	N		0.00
		03/11/2025		N		150.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-215-957.000	EDUCATION/TRAINING/CONVENTION	150.00

VENDOR TOTAL: 150.00

ONESHOP	ONE SHOP MEDIA	02/03/2025	6	FOA	WINTERFEST SIGNS	
52120		03/11/2025		N		300.00
02/03/2025	,	/ /	0.0000	N		0.00
		03/11/2025		N		300.00

Open

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

GL NUMBER	DESCRIPTION	AMOUNT
101-751-955.000	PARKS - SPECIAL EVENTS	300.00
VENDOR TOTAL:		300.00

1180	PETER'S TRUE VALUE HARDWARE	02/24/2025	K76205	FOA	TANK REPAIR KIT	
52184	3455 W. HIGHLAND ROAD	03/11/2025		N		14.99
02/24/2025	MILFORD MI, 48380	/ /	0.0000	N		0.00
		03/11/2025		N		14.99

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-930.000	REPAIRS & MAINTENANCE	14.99
VENDOR TOTAL:		14.99

PBGFS	PITNEY BOWES GLOBAL FINANCIAL SERV.	02/10/2025	3320353685	FOA	1/1/25 - 3/31/25 POSTAGE MACHINE LEA	
52181	P.O. BOX 981022	03/11/2025		N		440.73
02/10/2025	BOSTON MA, 02298-1022	/ /	0.0000	N		0.00
		03/11/2025		N		440.73

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-172-930.000	REPAIRS & MAINTENANCE	440.73
VENDOR TOTAL:		440.73

PRECISIONC	PRECISION COMFORT HEATING & AC	01/22/2025	1468-1	FOA	BALANCE DUE ON GARAGE HEATER AT TWP	
52072	5454 BYRON RD	03/11/2025		N		357.50
01/22/2025	HOWELL MI, 48855	/ /	0.0000	N		0.00
		03/11/2025		N		357.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-930.000	REPAIRS & MAINTENANCE	357.50
VENDOR TOTAL:		357.50

PROIMPRINT	PROIMPRINT	02/18/2025	25021109	FOA		
52147		03/11/2025		N		575.45
02/13/2025	,	/ /	0.0000	N		0.00
		03/11/2025		N		575.45

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-577-740.000	OPERATING SUPPLIES	575.45
VENDOR TOTAL:		575.45

SCHERER	SCHERER PERFORMANCE AUTO REPAIR	01/07/2025	31703	FOA	DPW TRUCK REPAIR	
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Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
52061	7050 WEST GRAND RIVER	03/11/2025		N		440.00
01/07/2025	FOWLerville MI, 48836	/ /	0.0000	N		0.00
		03/11/2025		N		440.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-930.002	REPAIRS & MAINT VEHICLE/EQUIP	440.00

VENDOR TOTAL: 440.00

SPALDING	SPALDING DEDECKER	02/19/2025	102256	FOA	CHICK-FIL-A THRU 1/26/25	
52172	905 SOUTH BLVD EAST	03/11/2025		N		650.00
02/19/2025	ROCHESTER HILLS MI, 48307	/ /	0.0000	N		0.00
		03/11/2025		N		650.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-400-801.002	CONSULTING - SITE REVIEWS	650.00

SPALDING	SPALDING DEDECKER	02/19/2025	102259	FOA	M-59 SIDEWALK GAP THRU 1/26/25	
52178	905 SOUTH BLVD EAST	03/11/2025		N		4,476.25
02/19/2025	ROCHESTER HILLS MI, 48307	/ /	0.0000	N		0.00
		03/11/2025		N		4,476.25

Open

GL NUMBER	DESCRIPTION	AMOUNT
401-444-969.005	SIDEWALKS	4,476.25

SPALDING	SPALDING DEDECKER	02/25/2025	102356	FOA	WTR PLT FILTR MEDIA THRU 1/26/25	
52191	905 SOUTH BLVD EAST	03/11/2025		N		7,266.50
02/25/2025	ROCHESTER HILLS MI, 48307	/ /	0.0000	N		0.00
		03/11/2025		N		7,266.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
539-000-816.000	ENGINEERING FEES	7,266.50

VENDOR TOTAL: 12,392.75

SSD	SSD CABLING & CAMERAS LLC	02/25/2025	15335	FOA	SURVEILLANCE INSTALLATION	
52193	9154 AMBERGROVE DR	03/11/2025		N		2,800.00
02/25/2025	HOWELL MI, 48843	/ /	0.0000	N		0.00
		03/11/2025		N		2,800.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
401-000-970.000	CAPITAL OUTLAY - GENERAL	2,800.00

VENDOR TOTAL: 2,800.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
STAPLES	STAPLES	02/22/2025	6024830743	FOA	MISC SUPPLIES	
52186	PO BOX 660409	03/11/2025		N		52.60
02/22/2025	DALLAS TX, 75266-0409	/ /	0.0000	N		0.00
		03/11/2025		N		52.60

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-172-727.000	SUPPLIES & POSTAGE	17.29
101-265-740.000	OPERATING SUPPLIES	35.31
		<u>52.60</u>

STAPLES	STAPLES	03/01/2025	6025868042	FOA	MISC SUPPLIES	
52198	PO BOX 660409	03/11/2025		N		50.44
03/01/2025	DALLAS TX, 75266-0409	/ /	0.0000	N		0.00
		03/11/2025		N		50.44

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-740.000	OPERATING SUPPLIES	50.44

VENDOR TOTAL: 103.04

EGLE	STATE OF MICHIGAN	01/29/2025	01.29.25	FOA	S-3 EXAM FEE FOR J. RADLEY	
52069	EGLE CASHIERS OFFICE	03/11/2025		N		70.00
	P.O. BOX 30667					
01/29/2025	LANSING MI, 48909	/ /	0.0000	N		0.00
		03/11/2025		N		70.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-957.000	EDUCATION/TRAINING/CONVENTION	70.00

EGLE	STATE OF MICHIGAN	01/29/2025	01/29/25	FOA	D-3 EXAM FEE FOR J. RADLEY	
52068	EGLE CASHIERS OFFICE	03/11/2025		N		70.00
	P.O. BOX 30667					
01/29/2025	LANSING MI, 48909	/ /	0.0000	N		0.00
		03/11/2025		N		70.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-957.000	EDUCATION/TRAINING/CONVENTION	70.00

EGLE	STATE OF MICHIGAN	01/29/2025	012925	FOA	D-2 EXAM FEE FOR M. NIXON	
52067	EGLE CASHIERS OFFICE	03/11/2025		N		70.00
	P.O. BOX 30667					
01/29/2025	LANSING MI, 48909	/ /	0.0000	N		0.00
		03/11/2025		N		70.00

Open

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

GL NUMBER	DESCRIPTION	AMOUNT
536-000-957.000	EDUCATION/TRAINING/CONVENTION	70.00
VENDOR TOTAL:		210.00

UPS STORE	THE UPS STORE #4254	02/18/2025	021725	FOA	MAILING	
52148	10051 E HIGHLAND RD, STE 29	03/11/2025		N		28.50
02/13/2025	HOWELL MI, 48843	/ /	0.0000	N		0.00
		03/11/2025		N		28.50
Open						

GL NUMBER	DESCRIPTION	AMOUNT
101-209-727.000	SUPPLIES & POSTAGE	28.50
VENDOR TOTAL:		28.50

T&TSPECIAL	TRUCK & TRAILER SPECIALTIES, INC.	02/13/2025	HSO017450	FOA	MALE O-RING	
52182	3286 HANNA LAKE INDUSTRIAL PARK DR.	03/11/2025		N		8.30
02/13/2025	DUTTON MI, 49316	/ /	0.0000	N		0.00
		03/11/2025		N		8.30
Open						

GL NUMBER	DESCRIPTION	AMOUNT
536-000-930.002	REPAIRS & MAINT VEHICLE/EQUIP	8.30
VENDOR TOTAL:		8.30

ULKO	ULKO, ERIN	02/20/2025	022025	FOA	LODGING & MILEAGE	
52183	3935 CLYDE	03/11/2025		N		434.26
02/20/2025	HOLLY MI, 48442	/ /	0.0000	N		0.00
		03/11/2025		Y		434.26
Open						

GL NUMBER	DESCRIPTION	AMOUNT
101-751-956.000	FARMERS MARKET	375.46
101-751-956.000	FARMERS MARKET	58.80
		434.26

VENDOR TOTAL: 434.26

WSP	WSP USA INC	02/17/2025	40151017	FOA	WWTP SERVICES THRU 1/31/25	
52194	P.O. BOX 74008618	03/11/2025		N		1,076.25
02/17/2025	CHICAGO IL, 60674-8618	/ /	0.0000	N		0.00
		03/11/2025		N		1,076.25
Open						

GL NUMBER	DESCRIPTION	AMOUNT
101-441-801.007	TREATMENT PLANT SAMPLING	1,076.25

03/05/2025 12:50 PM
 User: SUSANC
 DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
 EXP CHECK RUN DATES 03/11/2025 - 03/11/2025
 BOTH JOURNALIZED AND UNJOURNALIZED
 OPEN - CHECK TYPE: PAPER CHECK

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

VENDOR TOTAL: 1,076.25

TOTAL - ALL VENDORS: 69,012.16

FUND TOTALS:

Fund 101 - GENERAL FUND	30,850.28
Fund 206 - FIRE OPERATING	2,378.40
Fund 401 - CAPITAL PROJECTS FUND	15,312.84
Fund 536 - WATER SYSTEM FUND	8,787.15
Fund 539 - WATER REPLACEMENT FUND	9,766.50
Fund 577 - CABLE TV FUND	1,789.49
Fund 590 - SEWER OPERATIONS & MAINTENANCE FUND	127.50

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Susan Case, Finance Clerk

Subject: Approve Post Audit of Disbursements Between Board Meetings

Date: March 4, 2025

Recommended Action

Move to approve the presented disbursements under the post-audit resolution.

Discussion

The following disbursements have been made since the last board meeting:

Accounts Payable - \$33,219.67

February 27, 2025 Payroll - \$92,277.57

Financial Impact

Is a Budget Amendment Required? Yes No

All expenses are covered under the amended FY25 budget.

Attachments

Post Audit Bills List 02.20.2025

Post Audit Bills List 02.27.2025

Payroll for 02.27.2025

Check Date	Bank	Check #	Payee	Description	GL #	Amount
02/20/2025	FOA	45227	DELTA DENTAL	ACCRUED DENTAL BENEFITS	001-000-257.101	335.59
		45227		EMPLOYMENT EXPENSE	101-172-716.000	127.86
		45227		EMPLOYMENT EXPENSE	101-192-716.000	74.52
		45227		EMPLOYMENT EXPENSE	101-209-716.000	37.26
		45227		EMPLOYMENT EXPENSE	101-215-716.000	326.01
		45227		EMPLOYMENT EXPENSE	101-253-716.000	140.60
		45227		EMPLOYMENT EXPENSE	101-400-716.000	268.46
		45227		EMPLOYMENT EXPENSE	101-441-716.000	255.72
		45227		EMPLOYMENT EXPENSE	536-000-716.000	111.78
						1,677.80
02/20/2025	FOA	45228	DTE ENERGY	UTILITIES - ELECTRIC	101-265-920.002	1,619.33
		45228		STREET LIGHTS	101-448-921.000	51.62
		45228		UTILITIES	101-567-920.000	17.65
		45228		UTILITIES - ELECTRIC	101-751-920.002	135.13
		45228		UTILITIES - ELECTRIC	206-000-920.002	28.16
		45228		UTILITIES - ELECTRIC	536-000-920.002	3,933.69
						5,785.58
02/20/2025	FOA	45229	PRIORITY HEALTH	ACCRUED MEDICAL BENEFITS	001-000-257.100	4,547.88
		45229		EMPLOYMENT EXPENSE	101-172-716.000	1,873.66
		45229		EMPLOYMENT EXPENSE	101-192-716.000	1,362.62
		45229		EMPLOYMENT EXPENSE	101-209-716.000	681.31
		45229		EMPLOYMENT EXPENSE	101-215-716.000	7,119.89
		45229		EMPLOYMENT EXPENSE	101-253-716.000	681.31
		45229		EMPLOYMENT EXPENSE	101-400-716.000	681.31
		45229		EMPLOYMENT EXPENSE	101-441-716.000	3,747.32
		45229		EMPLOYMENT EXPENSE	536-000-716.000	2,043.93
						22,739.23
02/20/2025	FOA	45230	VSP INSURANCE CO. (CT)	ACCRUED VISION BENEFITS	001-000-257.102	60.00
		45230		EMPLOYMENT EXPENSE	101-172-716.000	19.67
		45230		EMPLOYMENT EXPENSE	101-192-716.000	14.20
		45230		EMPLOYMENT EXPENSE	101-209-716.000	7.10
		45230		EMPLOYMENT EXPENSE	101-215-716.000	70.97
		45230		EMPLOYMENT EXPENSE	101-253-716.000	23.90
		45230		EMPLOYMENT EXPENSE	101-400-716.000	43.57
		45230		EMPLOYMENT EXPENSE	101-441-716.000	39.34
		45230		EMPLOYMENT EXPENSE	536-000-716.000	21.30
						300.05
TOTAL - ALL FUNDS				TOTAL OF 4 CHECKS		30,502.66

--- GL TOTALS ---

001-000-257.100	ACCRUED MEDICAL BENEFITS	4,547.88
001-000-257.101	ACCRUED DENTAL BENEFITS	335.59
001-000-257.102	ACCRUED VISION BENEFITS	60.00
101-172-716.000	EMPLOYMENT EXPENSE	2,021.19
101-192-716.000	EMPLOYMENT EXPENSE	1,451.34
101-209-716.000	EMPLOYMENT EXPENSE	725.67

Check Date	Bank	Check #	Payee	Description	GL #	Amount
101-215-716.000				EMPLOYMENT EXPENSE		7,516.87
101-253-716.000				EMPLOYMENT EXPENSE		845.81
101-265-920.002				UTILITIES - ELECTRIC		1,619.33
101-400-716.000				EMPLOYMENT EXPENSE		993.34
101-441-716.000				EMPLOYMENT EXPENSE		4,042.38
101-448-921.000				STREET LIGHTS		51.62
101-567-920.000				UTILITIES		17.65
101-751-920.002				UTILITIES - ELECTRIC		135.13
206-000-920.002				UTILITIES - ELECTRIC		28.16
536-000-716.000				EMPLOYMENT EXPENSE		2,177.01
536-000-920.002				UTILITIES - ELECTRIC		3,933.69
				TOTAL		30,502.66

Check Date	Bank	Check #	Payee	Description	GL #	Amount
02/27/2025	FOA	45260	HOME DEPOT CREDIT SERVICES	OPERATING SUPPLIES	101-265-740.000	95.94
		45260		OPERATING SUPPLIES	536-000-740.000	94.92
						190.86
02/27/2025	FOA	45261	KCI	TAX PREPARATION	101-209-811.000	1,450.70
02/27/2025	FOA	45262	MUTUAL OF OMAHA	ACCRUED STD/LTD BENEFITS	001-000-257.103	215.09
		45262		EMPLOYMENT EXPENSE	101-172-716.000	47.42
		45262		EMPLOYMENT EXPENSE	101-192-716.000	114.86
		45262		EMPLOYMENT EXPENSE	101-209-716.000	162.50
		45262		EMPLOYMENT EXPENSE	101-215-716.000	71.60
		45262		EMPLOYMENT EXPENSE	101-253-716.000	77.95
		45262		EMPLOYMENT EXPENSE	101-400-716.000	127.34
		45262		EMPLOYMENT EXPENSE	101-441-716.000	109.33
		45262		EMPLOYMENT EXPENSE	536-000-716.000	149.36
						1,075.45
TOTAL - ALL FUNDS				TOTAL OF 3 CHECKS		2,717.01

--- GL TOTALS ---

001-000-257.103	ACCRUED STD/LTD BENEFITS	215.09
101-172-716.000	EMPLOYMENT EXPENSE	47.42
101-192-716.000	EMPLOYMENT EXPENSE	114.86
101-209-716.000	EMPLOYMENT EXPENSE	162.50
101-209-811.000	TAX PREPARATION	1,450.70
101-215-716.000	EMPLOYMENT EXPENSE	71.60
101-253-716.000	EMPLOYMENT EXPENSE	77.95
101-265-740.000	OPERATING SUPPLIES	95.94
101-400-716.000	EMPLOYMENT EXPENSE	127.34
101-441-716.000	EMPLOYMENT EXPENSE	109.33
536-000-716.000	EMPLOYMENT EXPENSE	149.36
536-000-740.000	OPERATING SUPPLIES	94.92
	TOTAL	2,717.01

Check Register Report For Hartland Township
For Check Dates 02/27/2025 to 02/27/2025

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
02/27/2025	FOA	17796	MISSION SQUARE	1,568.17	1,568.17	0.00	Open
02/27/2025	FOA	17797	MISSION SQUARE	3,188.92	3,188.92	0.00	Open
02/27/2025	FOA	17798	MISSION SQUARE	3,603.82	3,603.82	0.00	Open
02/27/2025	FOA	17799	MISSION SQUARE	300.00	300.00	0.00	Open
02/27/2025	FOA	17800	STATE OF MICHIGAN	4,657.92	4,657.92	0.00	Open
02/27/2025	FOA	DD9777	BERNARDI, MELYNDA A	1,866.30	0.00	1,465.58	Cleared
02/27/2025	FOA	DD9778	BROOKS, TYLER J	3,109.05	0.00	2,189.36	Cleared
02/27/2025	FOA	DD9779	CARRIGAN, AMANDA K	3,556.34	0.00	2,744.86	Cleared
02/27/2025	FOA	DD9780	CASE, SUSAN E	2,280.00	0.00	1,185.45	Cleared
02/27/2025	FOA	DD9781	CIOFU, LARRY N	3,168.58	0.00	2,169.33	Cleared
02/27/2025	FOA	DD9782	COSGROVE, HEATHER H	1,897.13	0.00	1,154.26	Cleared
02/27/2025	FOA	DD9783	DRYDEN-HOGAN, SUSAN A	4,025.69	0.00	2,866.56	Cleared
02/27/2025	FOA	DD9784	ECKMAN, MATTHEW A	195.00	0.00	171.79	Cleared
02/27/2025	FOA	DD9785	FOUNTAIN, WILLIAM J	2,856.09	0.00	2,421.54	Cleared
02/27/2025	FOA	DD9786	FOX, LAWRENCE E	360.00	0.00	317.16	Cleared
02/27/2025	FOA	DD9787	GRISSIM, SUSAN L	195.00	0.00	180.08	Cleared
02/27/2025	FOA	DD9788	HAASETH, GWYN M	919.06	0.00	819.97	Cleared
02/27/2025	FOA	DD9789	HABLE, SCOTT R	3,640.60	0.00	2,518.42	Cleared
02/27/2025	FOA	DD9790	HORNING, KATHLEEN A	3,418.58	0.00	2,397.27	Cleared
02/27/2025	FOA	DD9791	HUBBARD, TONYA S	1,915.49	0.00	1,251.20	Cleared
02/27/2025	FOA	DD9792	JOHNSON, LISA	2,514.64	0.00	1,538.98	Cleared
02/27/2025	FOA	DD9793	KENDALL, ANTHONY S	52.29	0.00	48.29	Cleared
02/27/2025	FOA	DD9794	LANGER, TROY D	4,226.36	0.00	2,995.20	Cleared
02/27/2025	FOA	DD9795	LOUIS, CASEY	1,211.42	0.00	942.60	Cleared
02/27/2025	FOA	DD9796	LUBESKI, BRETT J	546.00	0.00	479.24	Cleared
02/27/2025	FOA	DD9797	LUCE, MICHAEL T	5,208.33	0.00	3,821.77	Cleared
02/27/2025	FOA	DD9798	MAYER, JAMES L	90.00	0.00	79.28	Cleared
02/27/2025	FOA	DD9799	MCMULLEN, SUMMER L	636.00	0.00	536.38	Cleared
02/27/2025	FOA	DD9800	MITCHELL, MICHAEL E	90.00	0.00	83.11	Cleared
02/27/2025	FOA	DD9801	MORGANROTH, CAROL L	2,028.45	0.00	1,509.79	Cleared
02/27/2025	FOA	DD9802	MURPHY, THOMAS A	195.00	0.00	171.79	Cleared
02/27/2025	FOA	DD9803	NIXON, MITCHELL A	2,698.44	0.00	2,005.16	Cleared
02/27/2025	FOA	DD9804	O'CONNELL, DENISE	546.00	0.00	384.16	Cleared
02/27/2025	FOA	DD9805	PETRUCCI, JOSEPH M	546.00	0.00	457.10	Cleared

Check Register Report For Hartland Township
For Check Dates 02/27/2025 to 02/27/2025

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
02/27/2025	FOA	DD9806	RADLEY, JAMES W	2,426.50	0.00	1,804.69	Cleared
02/27/2025	FOA	DD9807	SHOLLACK, DONNA M	2,342.50	0.00	1,629.20	Cleared
02/27/2025	FOA	DD9808	SOSNOWSKI, SHERI R	2,314.00	0.00	1,757.30	Cleared
02/27/2025	FOA	DD9809	WYATT, MARTHA K	3,296.19	0.00	2,182.25	Cleared
02/27/2025	FOA	EFT753	FEDERAL TAX DEPOSIT	14,587.71	14,587.71	0.00	Cleared
Totals:							
			Number of Checks: 039	92,277.57	27,906.54	46,279.12	
			Total Physical Checks:	5			
			Total Check Stubs:	34			

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Larry Ciofu, Clerk

Subject: 02-25-25 Hartland Township Board Regular Meeting Minutes

Date: March 6, 2025

Recommended Action

Move to approve the Hartland Township Board Regular Meeting Minutes for February 25, 2025

Discussion

Draft minutes are attached for review.

Financial Impact

None

Attachments

2-25-25 HTB Minutes - DRAFT

DRAFT

1. Call to Order

The meeting was called to order by Supervisor Fountain at 7:00 p.m.

2. Pledge of Allegiance

3. Roll Call

PRESENT: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Lubeski, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

ABSENT: None

Also present were Township Manager Mike Luce, Finance Director Susan Dryden, and Public Works Director Scott Hable.

4. Approval of the Agenda

Move to approve the agenda for the February 25, 2025 Hartland Township Board meeting as presented.

Motion made by Trustee Petrucci, Seconded by Trustee McMullen.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Lubeski, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: None

5. Call to the Public

No one came forward.

6. Approval of the Consent Agenda

Move to approve the consent agenda for the February 25, 2025 Hartland Township Board meeting as presented.

Motion made by Treasurer Horning, Seconded by Trustee O'Connell.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Lubeski, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: None

- a. Approve Payment of Bills
- b. Approve Post Audit of Disbursements Between Board Meetings
- c. 02-11-25 Hartland Township Board Regular Meeting Minutes

7. Pending & New Business

- a. Settlers Park MCMBA trail update

Tom Hermann and Marc Cope of the Motor City Mountain Biking Association (MCMBA) came forward to provide an update on the Settler's Park mountain bike trail system. Mr. Hermann stated

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

February 25, 2025 – 7:00 PM

the MCMBA maintains thirteen different trail systems in the Detroit area of over 100 miles of trails. He provided a Settler's Park Usage Report that included pictures from the Settler's Park trails and went into a discussion of how they measure the usage of the trails, not just for mountain bikers, but also for walkers and hikers. He gave a brief overview of Strava app used by cyclists, runners, and other outdoor athletes, and went on to explain how they extrapolated the data to estimate the usage of Settler's Park trails. He provided data on three segments of the trails, the West Side Story, the Recovered Kidneys, and the Mayflower segments. He provided usage estimates for a nine-month period ending on December 31, 2024, stating the West Side segment had 8,780 user attempts, and the Recovered Kidneys segment of 4,329 user attempts. He stated it was more difficult to estimate the Mayflower segment as it is the whole 6.7 mile trail system. He then presented Strava heatmap data of activity for Settler's Park, the Township, and larger areas that included other area parks. Supervisor Fountain stated we are working on interconnectivity issues within the Township and are looking for data that would help with this issue. Mr. Cope pointed out that the heat map for the connection from the High School to Settler's Park was very bright and that connection was only a year and a half old which is an example of "if it is built people will use it". Mr. Hermann stated they have contributed 332 hours of volunteer time to the maintenance of the trail and thanked the Township for their assistance in helping out with mowing and such. Mr. Hermann stated this is classified as a local park trail and it is very popular with younger and newer riders and families.

b. Public Works Tractor Purchase Letter of Intent

Public Works Director Scott Hable indicated that Tri County equipment has stated a delivery date for the utility tractor will be looking to purchase will be June or July. He stated we are seeking the approval to send a signed letter of intent letting them know we are very interested in this purchase and this will be enough to have them begin production of the tractor for a June/July delivery. This does not involve any funds at this time. The tractor will come with a front end loader, a brush hog, pallet forks and a back blade for grading. It was the consensus of the Board to issue the letter of intent.

c. Municipal Bond Tax-Exempt Status Resolution

Finance Director Susan Dryden gave a brief overview of the potential legislation for eliminating tax-exempt bonds. She stated Hartland Township has been issuing tax exempt bonds for over 40 years and this issue comes up from time to time as Congress looks to increase revenues. She gave a brief history of legislation that allows for tax exempt bonds and stated if the tax exempt bonds are eliminated all of our residents will pay more for the bonds issued by the Township. She stated we are trying to get our message out to our State and Federal legislators to state that this is very important for local communities to continue to provide the infrastructure needed for their communities. The higher interest rates, if tax-exempt bonds are eliminated, may require cost cuts or the reduction of projects local communities may need. She stated that the GFOA, MML, MTA and MAC are encouraging their members to pass this resolution. Trustee Petrucci inquired as to whether the Hartland Deerfield Fire Authority (HDFA) should support this and Director Dryden recommend they do so as bonding may be in the future of the HDFA. Manager Luce stated the more support we can get from the local communities will be very beneficial. Director Dryden stated that, depending on bond market conditions, the elimination of tax exempt bonds could add three to four percent to bond interest costs. She also stated she envisioned a sunset provision if this were to occur, which could lead to a rush of bond projects that would drive up construction costs similar to the AARP situation. She stated that bonding must coincide with the project and bonding early is not an option that can be utilized, due to arbitrage rules.

Move to approve the Resolution of Support for Municipal Bond Tx-Exempt Status

Motion made by Treasurer Horning, Seconded by Trustee Petrucci. Roll call vote taken.
Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Lubeski,
Trustee McMullen, Trustee O'Connell, Trustee Petrucci
Voting Nay: None
Absent: None Motion Passes: 7-0-0

d. Fiscal Year 2025-2026 Hartland Township Budget Review

Manager Luce stated we are reviewing the FY2025-2026 General Fund budget tonight. The General Appropriation Act, which is the public hearing and the adoption of the budget, will be held at the first Board meeting in March, and the FY2024-2025 final budget amendments are to be approved at the second Board meeting in March. He then provided an overview of the FY2025-2026 revenues highlighting the minor increase in property tax revenues as housing values increase and the increase in state shared revenue. He also highlighted Professional Review Fees, which are deposits from developers for engineering services. These funds are paid out to our third-party engineering firm as the developments progress through the construction process. He then reviewed the appropriations for each of the departments for FY2025-2026. Notable items highlighted were the corrected Merit Pool number, offset by taking the Project Specialist position from full time to part time and Contingencies in Administration, and additional expenses for Contracted Services and Legal Fees for potential Michigan Tax Tribunal cases in Assessing. Manager Luce highlighted the increase in hours request for the Cashier in the Treasurer's budget and a brief discussion was held on the combined projected wages for the current fiscal year for the Deputy Treasurer and Cashier, and the additional requested hours. Treasurer Horning provided a spreadsheet to the Board of the hours needed for the Cashier and provided a brief overview of the computations. Clerk Ciofu stated he had issues with the hours that were used for the current fiscal year, the additional hours added for short term leave issues during the current fiscal year, and the number of additional hours being requested for FY2025-2026. Treasurer Horning gave an overview of items not getting done this current year and a brief discussion was held on credit card processing. Manager Luce then resumed the review of the remaining departments leading a brief discussion of the Police Protection, the budget revenue collections from Hartland Consolidated Schools (HCS) and Charyl Stockwell Academy (CSA), and the potential meeting of the Livingston County Sheriff's Department (LCSD), HCS and CSA as to future of the LCSD Contract with the Township. He also highlighted the Professional Review Costs placeholder amount that is the offset of the Professional Review Fees in Planning & Zoning. Manager Luce stated the net budget surplus for the proposed FY2025-2026 is \$23,963.

Clerk Ciofu inquired as to consideration of former Trustee Germane's request for additional funding for the HERO Center and Treasurer Horning inquired as to the same for the Senior Center. A brief discussion was held on potential increases and the current contracts and it was the consensus to have the Admin Committee discuss this and come back with a recommendation. Trustee McMullen inquired as to the Farmer's Market budget being zero in Parks & Recreations and Treasurer Horning stated that she is retiring from the Farmer's Market as they now two individuals willing to take over the Market, one who became Certified. She also stated the Hartland Chamber is willing to act as the fiduciary for the Farmer's Market going forward. She stated, if agreeable to the Board, that she will bring to the next Board meeting the closing of the Farmer's Market bank account and the transfer of funds to the Chamber. Trustee Lubeski inquired as to the Capital Outlay in Parks & Recreation regarding the \$2400 for the baggers for the mowers and Director Hable stated that this is one half the cost of a bagger with the other half in the Cemetery Department Capital Outlay as they shared the costs of mowing. Clerk Ciofu stated that the surplus of \$26,963 takes the Fund

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

February 25, 2025 – 7:00 PM

Balance to \$4.3MM and inquired as to possibly moving this surplus to the Administration Department to make the Project Specialist a full time position as we have been discussing the need for this position for several years. Supervisor Fountain stated we have a goal of having twenty percent of revenues go to Capital Improvement Projects (CIP) and he calculated that this budget is around fifteen percent. Manager Luce stated the budgeted transfer to Capital Improvement is a conservative estimate and it usually comes in higher than that. He stated the the FY2024-2025 surplus of \$243,203 was originally budgeted at around \$19,000. Director Dryden stated that if the actual surplus trends last year's surplus we should wind up a little short of our twenty percent goal.

Manager Luce then reviewed the remaining funds of Liquor Law Enforcement, M-59 Road Improvements, Millpointe Road Debt, Bullard Lake SAD, Cable TV Fund, highlighting the Capital Outlay for new computer equipment for the Township Hall, NearMap, and GIS, and the Road SADs Fund. Supervisor Fountain inquired as to the discussion we held on a new server and whether this will be funded out of PEG fees. Director Dryden stated that a portion of the new server will be PEG funds, but a portion related to BS&A will come through the Capital Improvement Fund. Manager Luce stated that the new potential Communication App will be funded through PEG fees.

8. Board Reports

Trustee O'Connell - No report.

Trustee Lubeski - No report.

Trustee McMullen - No report.

Trustee Petrucci - Stated he met with Communications Director Melynda Bernardi to put together a Veterans Memorial slide show for the website and he asked residents to submit photos of veterans when they were in the service and a corresponding picture of them today to be included in the presentation. He stated we would like to have the pictures submitted by the end of March.

Clerk Ciofu - No report.

Treasurer Horning - Stated tax collection ends on Friday, February 28, 2025 at 5:00 p.m. and the Treasurer's Office will be open during that time for tax collection only, and that no other Township Departments will be open on that day.

Supervisor Fountain - No report.

[BRIEF RECESS]

9. Information / Discussion

a. Manager's Report

Manager Luce stated he, Trustee Petrucci, and Trustee O'Connell met with Nik Rajkovic of WHMI regarding the Veterans Memorial and he stated there was good conversation as to why and what we are doing with the Memorial. Manager Luce stated he sent him some renderings of the monument and stated parts of the conversation will be aired on Sunday with a possible article in the paper. Manager Luce stated he sent out the rendering of the M-59 interchange landscape plan from Planning Commissioner Sue Grissim to the Board. Consensus of the Board that the plan was extremely well done and was very impressive, however financial considerations may not allow for full buildout. Manager Luce has discussed this with Commissioner Grissim and he will schedule a Board work session to discuss the next steps. Manager Luce stated that Oakbrooke Apartments has been issued a permit to repair the roof of the building damaged in a fire a year or so ago. He stated we also received a conceptual plan for a Kroger Gas Station on the Waldenwoods property on M-59. Manager Luce stated we will have the renewal of the Support Emergency Operations Plan

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

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supporting the Livingston County Emergency Operation Plan/Emergency Action Guidelines in the event of disaster or severe emergency on the next Board meeting agenda.

10. Adjournment

Move to adjourn the meeting at 9:10 p.m.

Motion made by Clerk Ciofu, Seconded by Trustee McMullen.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Lubeski, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: None

Submitted by

Larry N. Ciofu, Clerk

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Kathleen Horning; Treasurer

Subject: Transfer of Farmer's Market Funds

Date: March 3, 2025

Recommended Action: Motion to approve the closing of the Farmer's Market bank account and authorize the Treasurer to transfer the funds to the Hartland Area of Commerce.

With my retirement after 20 years from the Farmer's Market two very capable people working through the Hartland Area Chamber of Commerce are willing to run the market both on-site and behind the scenes. Emmalyn Wheaton, (from the Chamber) and myself have had a couple of meetings and they are on board with becoming the fiduciary of the Market. This motion will allow the Township to transfer the balance of the funds once all of the 2024 season bills have been paid.

Financial Impact Is a Budget Amendment Required? Yes No

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Kathleen Horning, Treasurer
Subject: HCS & LESA Summer Tax Collection Agreements
Date: February 26, 2025

Recommended Action

Move to approve the Supervisor signing the Summer Tax agreements with LESA and Hartland Consolidated Schools for 2025, allowing the Treasurer to collect taxes on their behalf during the summer collection period.

Discussion

Each year for the summer tax collection period we sign an agreement for the Treasurer to collect on the tax roll. The 2025 agreements will allow the Treasurer to collect for \$3.00 per parcel.

Financial Impact

Is a Budget Amendment Required? Yes No

Attachments

- 2025 LESA Summer Tax Collection Agreement
- 2025 Hartland Consolidated Schools Summer Tax Collection Agreement

AGREEMENT FOR COLLECTION OF SUMMER SCHOOL PROPERTY TAXES

AGREEMENT made this 1st day of November 2024 by and between Hartland Consolidated Schools, with offices located at 9525 E. Highland Road, Howell MI 48843 (hereinafter "School District") and Hartland Township, with offices located at 2655 Clark Road, Hartland, MI 48353 (hereinafter "Township"), pursuant to 1976 PA 451, as amended for the purposes of providing for the collection by the Township of a Summer levy of School District property taxes for the year 2025.

The parties agree as follows:

1. The Township agrees to collect 100% of the total school non-homestead property taxes as certified by the School District for levy on July 1, 2025, on property located within the Township. Interest earned on said taxes will be retained by the township.
2. The School District agrees to pay Township costs of assessment and collection as follows:

\$ 3.00 per parcel
3. No later than June 15, 2025, the School District shall certify to the Township Supervisor the school millage to be levied on property for summer collection in 2025.
4. Summer Tax collection shall be paid to the School District within ten (10) business days from the 1st and 15th of each month, except in October, November, December, January, and March.

Signature authorized by Board
of Education Resolution of
October 21, 2024

School District



Rachel Bois, Chief Financial Officer,
Designee

Township

Signature authorized by Board
of Trustees Resolution of
_____, 2024

Supervisor

Clerk

Hartland Consolidated Schools, Livingston County, Michigan (the "District")

A regular meeting of the Board of Education (the "Board") of the District was held in the Boardroom, Educational Support Service Center, in the District, on the 21st day of October 2024, at 6:30 in the evening.

The meeting was called to order by President, M. Glabach.

Present: M. Glabach, K. Coleman, C. Shaw, G. Keller, C. Costa, M. Blondeel, G. Gogoleski

Absent: None

The following preamble and resolution were offered by Member C. Shaw and supported by Member K. Coleman:

WHEREAS, this Board previously adopted a resolution to impose a summer tax levy to collect all of annual school property taxes, including debt service, upon property located within the school district and continuing from year to year until specifically revoked by the Board.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. This Board, pursuant to 1976 PA 451, as amended (the "Revised School Code"), hereby invokes for 2025 its previously adopted ongoing resolution imposing a summer tax levy of all of annual school property taxes, including debt service, upon property located within the District and continuing from year to year until specifically revoked by this Board and requests each city and/or township in which this District is located to collect those summer taxes.

2. The Superintendent or designee is authorized and directed to forward to the governing body of each city and/or township in which this District is located a copy of this Board's resolution imposing a summer property tax levy on an ongoing basis and a copy of this resolution requesting that each such city and/or township agree to collect the summer tax levy for 2025 in the amount as specified in this resolution. Such forwarding of the resolutions and the request to collect the summer tax levy shall be performed so that they are received by the appropriate governing bodies before January 1, 2025.

3. Pursuant to and in accordance with Section 1613(1) of the Revised School Code, the Superintendent or designee is authorized and directed to negotiate on behalf of this District with the governing body of each city and/or township in which the District is located for the reasonable expenses for collection of the District's summer tax levy that the city and/or township may bill under MCLA 380.1611 or MCLA 380.1612. The Superintendent or designee is also authorized to enter into agreements for the collection of such taxes so long as the cost per parcel does not exceed \$3.50 per parcel.

SUMMER TAX COLLECTION AGREEMENT

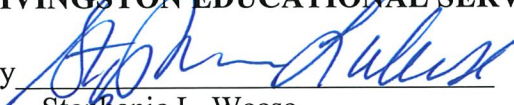
The Township of Hartland with offices located at 2655 Clark Rd., Hartland, Michigan (the "township") pursuant to 1976 PA 451, as amended, for the purposes of providing for the collection by the Township of a summer levy of Livingston Educational Service Agency, Michigan (the "Agency") property taxes for the year 2025 and hereafter as provided below:

The Agency and the Township agree as follows:

1. The Township agrees to collect 100% of the total school millage in the summer as certified by the Agency for levy on all taxable property in addition to and not within the K-12 school district summer tax collection, including principal residence and other exempt property not subject to the 18 mill levy within the Hartland Consolidated School district.
2. All interest and penalties, other than collection fees, that are imposed prior to the date the taxes are returned delinquent and that are attributable to school taxes, shall belong to the Agency.
3. The Agency agrees to pay the Township costs of assessment and collection at \$3.00 per parcel which represents reasonable expenses incurred by the Township in assessing and collecting Agency taxes, to the extent that the expenses are in addition to the expenses of assessing and collecting other taxes at the same time.
4. The Agency shall certify to the Township Treasurer the school millage to be levied on property for summer collection to the Township via a signed L-4029 within 3 weeks of Livingston County Equalization delivering their tax roll information to the Agency, or by June 15, whichever is earlier.
5. The Township Treasurer shall account for and deliver summer school tax collections to the Agency within ten (10) business days from the 1st and 15th of each month via electronic transfer, if and when possible.
6. In the event that state law is amended necessitating changes to this Agreement, the parties agree to negotiate changes to the Agreement in good faith to conform the Agreement to state law. Collection of summer taxes and payment for said collection shall not be disrupted or delayed due to the negotiation of or revision to this Agreement.
7. By execution of this Agreement, both parties certify and represent that the Agreement is authorized by the laws of the State of Michigan, that the individuals responsible for collecting the Agency taxes are and will be in compliance with all laws pertaining to their duties and responsibilities as a tax collecting agent, and that the signors are authorized by their respective governing bodies to execute this Agreement.
8. This Agreement is effective on the date of its execution and shall expire twelve months from the effective date.

IN WITNESS WHEREOF, the parties have executed this Agreement on the respective dates indicated below.

LIVINGSTON EDUCATIONAL SERVICE AGENCY, MICHIGAN

By 
Stephanie L. Weese

Its: Assistant Superintendent for Administrative Services

Dated: November 15, 2024

TOWNSHIP OF HARTLAND: _____

By _____

Its _____

Dated _____

ANNUAL SUMMER TAX RESOLUTION

Livingston Educational Service Agency

A regular meeting of the Board of Education (the "Board") was held in the Livingston Educational Service Agency Administration Building on the 13th day of November, 2024, at six o'clock p.m.

The meeting was called to order at 6:01 p.m., by President Loy

Present: Loy, Fryer, Cortez, Kaiser, Jankowski

Absent:

The following preamble and resolution were offered by Member Cortez and supported by Member Jankowski

WHEREAS:

1. This Board of Education previously adopted a resolution to impose a summer property tax levy to collect all of school property taxes, including debt services, upon property located within the school district and continuing from year to year until specifically revoked by this Board of Education; and

2. The Revised School Code, as amended, requires formal action of the Board of Education prior to January 1 every year to continue the summer tax levy.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. This Board of Education, pursuant to the Revised School Code, as amended, hereby invokes for 2025 its previously adopted ongoing resolution imposing a summer tax levy of all of school property taxes, including debt service, and continuing from year to year until specifically revoked by this Board of Education, and requests each city and/or township in which this Agency is located (and in which a local school district or city is concurrently imposing a summer tax levy) to collect those summer taxes.

2. The Superintendent, school business official, or his/her designee, is authorized and directed to forward to the governing body of each city and/or township in which this Agency is located (and in which a local school district or city is concurrently imposing a summer tax levy) a copy of this Board's resolution imposing a summer property tax levy on an ongoing basis and a copy of this resolution requesting that each city and/or township agree to collect the summer tax levy for 2025. Said resolutions and the request to collect the summer tax levy shall be forwarded so that they are received by the appropriate governing bodies before January 1, 2025.

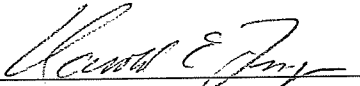
3. The Superintendent, school business official, or his/her designee, is authorized and directed to negotiate on behalf of this Agency with the governing body of each city and/or township in which the Agency is located for the reasonable expenses for collection of the Agency's summer tax levy that the city and/or township may bill under MCL 380.1611 or MCL 380.1612.

4. All resolutions and parts of resolutions insofar as they conflict with the provisions of this resolution are hereby rescinded.

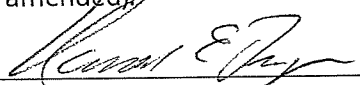
Ayes: Members *Fryer, Cortez, Kaiser, Jankowski, Log*

Nays: Members

Resolution declared adopted.


Secretary, Board of Education

The undersigned, duly qualified and acting Secretary of the Board of Education of the Livingston Educational Service Agency, hereby certifies that the foregoing constitutes a true and complete copy of a resolution adopted by said Board of Education at a regular meeting held on November 13th, 2024, the original of which is part of the Board's minutes. The undersigned further certifies that notice of the meeting was given to the public pursuant to the provisions of the "Open Meetings Act" (1976 PA 267, as amended).


Secretary, Board of Education

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Michael Luce, Township Manager

Subject: Resolution of Determination of Wages and Benefits of the Township Supervisor

Date: March 6, 2025

Recommended Action

Move to Adopt the Resolution of Determination of Wages and Benefits of the Township Supervisor for the 2025-2026 Fiscal Year

Discussion

Township Manager is recommending the proposed wages and benefits as presented based upon a regional analysis of neighboring communities of similar size and population.

Financial Impact

The proposed wages and benefits have been incorporated into the proposed FY2025-2026 Township Budget.

Attachments

Draft Resolution No. 25-R003

BOARD OF TRUSTEES

2655 Clark Road
Hartland, Michigan 48353
(810) 632-7498 Office
(810) 632-6950 Fax



Supervisor
William J. Fountain

Clerk
Larry N. Ciofu

Treasurer
Kathleen A. Horning

Trustees
Brett J. Lubeski
Summer McMullen
Denise O'Connell
Joseph M. Petrucci

RESOLUTION NO. 25-R003

RESOLUTION OF DETERMINATION OF WAGES & BENEFITS OF THE TOWNSHIP SUPERVISOR

At a regular meeting of the Township Board of Hartland Township, Livingston County, Michigan, held at the Township Hall in said Township on March 11, 2025, at 7:00 p.m.

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____ and seconded by _____.

WHEREAS, the compensation of the Supervisor is \$40,250 annually, as directed by the Township Board of Trustees on this date March 11, 2025 and,

WHEREAS, the Supervisor is eligible for retirement benefits as described in the Township Defined Contribution Retirement Plan described for elected officials and,

WHEREAS, the health insurance benefits made available to the employees of the Township shall be made available to the Supervisor in compliance with the requirements of the Benefit Plan and,

WHEREAS, the Supervisor will receive employment benefits in accordance with the plan approved by the Board of Trustees and,

THEREFORE, be it resolved by the Board of Trustees of the Township of Hartland, Livingston County, Michigan, as follows: does hereby adopt Resolution No. 25-R003, setting the wages and benefits for the Township Supervisor for Fiscal Year 2025-2026.

A vote on the foregoing resolution was taken and was as follows:

STATE OF MICHIGAN)
)
COUNTY OF LIVINGSTON)

I, the undersigned, the duly qualified and acting Township Clerk of the Township of Hartland, Livingston County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and complete copy of certain proceedings taken by the Township Board of said Township at a regular meeting held on the 11th day of March, 2025.

Larry N. Ciofu Hartland Township Clerk

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Michael Luce, Township Manager

Subject: Resolution of Determination of Wages and Benefits of the Township Clerk

Date: March 6, 2025

Recommended Action

Move to Adopt the Resolution of Determination of Wages and Benefits of the Township Clerk for the 2025-2026 Fiscal Year

Discussion

Township Manager is recommending the proposed wages and benefits as presented based upon a regional analysis of neighboring communities of similar size and population.

Financial Impact

The proposed wages and benefits have been incorporated into the proposed FY2025-2026 Township Budget.

Attachments

Draft Resolution No. 25-R004

BOARD OF TRUSTEES

2655 Clark Road
Hartland, Michigan 48353
(810) 632-7498 Office
(810) 632-6950 Fax



Supervisor
William J. Fountain

Clerk
Larry N. Ciofu

Treasurer
Kathleen A. Horning

Trustees
Brett J. Lubeski
Summer McMullen
Denise O'Connell
Joseph M. Petrucci

RESOLUTION NO. 25-R004

RESOLUTION OF DETERMINATION OF WAGES & BENEFITS OF THE TOWNSHIP CLERK

At a regular meeting of the Township Board of Hartland Township, Livingston County, Michigan, held at the Township Hall in said Township on March 11, 2025, at 7:00 p.m.

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____ and seconded by _____.

WHEREAS, the compensation of the Clerk is \$86,500 annually, as directed by the Township Board of Trustees on this date March 11, 2025 and,

WHEREAS, the Clerk is eligible for retirement benefits as described in the Township Defined Contribution Retirement Plan described for elected officials and,

WHEREAS, the health insurance benefits made available to the employees of the Township shall be made available to the Clerk in compliance with the requirements of the Benefit Plan and,

WHEREAS, the Clerk will receive employment benefits in accordance with the plan approved by the Board of Trustees and,

THEREFORE, be it resolved by the Board of Trustees of the Township of Hartland, Livingston County, Michigan, as follows: does hereby adopt Resolution No. 25-R004, setting the wages and benefits for the Township Clerk for Fiscal Year 2025-2026.

A vote on the foregoing resolution was taken and was as follows:

STATE OF MICHIGAN)
)
COUNTY OF LIVINGSTON)

I, the undersigned, the duly qualified and acting Township Clerk of the Township of Hartland, Livingston County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and complete copy of certain proceedings taken by the Township Board of said Township at a regular meeting held on the 11th day of March, 2025.

Larry N. Ciofu Hartland Township Clerk

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Michael Luce, Township Manager

Subject: Resolution of Determination of Wages and Benefits of the Township Treasurer

Date: March 6, 2025

Recommended Action

Move to Adopt the Resolution of Determination of Wages and Benefits of the Township Treasurer for the 2025-2026 Fiscal Year

Discussion

Township Manager is recommending the proposed wages and benefits as presented based upon a regional analysis of neighboring communities of similar size and population.

Financial Impact

The proposed wages and benefits have been incorporated into the proposed FY2025-2026 Township Budget.

Attachments

Draft Resolution No. 25-R005

BOARD OF TRUSTEES

2655 Clark Road
Hartland, Michigan 48353
(810) 632-7498 Office
(810) 632-6950 Fax



Supervisor
William J. Fountain

Clerk
Larry N. Ciofu

Treasurer
Kathleen A. Horning

Trustees
Brett J. Lubeski
Summer McMullen
Denise O'Connell
Joseph M. Petrucci

RESOLUTION NO. 25-R005

RESOLUTION TO DETERMINATION OF WAGES & BENEFITS OF THE TOWNSHIP TREASURER

At a regular meeting of the Township Board of Hartland Township, Livingston County, Michigan, held at the Township Hall in said Township on March 11, 2025, at 7:00 p.m.

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____ and seconded by _____.

WHEREAS, the compensation of the Treasurer is \$80,500 annually, as directed by the Township Board of Trustees on this date March 11, 2025 and,

WHEREAS, the Treasurer is eligible for retirement benefits as described in the Township Defined Contribution Retirement Plan described for elected officials and,

WHEREAS, the health insurance benefits made available to the employees of the Township shall be made available to the Treasurer in compliance with the requirements of the Benefit Plan and,

WHEREAS, the Treasurer will receive employment benefits in accordance with the plan approved by the Board of Trustees and,

THEREFORE, be it resolved by the Board of Trustees of the Township of Hartland, Livingston County, Michigan, as follows: does hereby adopt Resolution No. 25-R005, setting the wages and benefits for the Township Treasurer for Fiscal Year 2025-2026.

A vote on the foregoing resolution was taken and was as follows:

STATE OF MICHIGAN)
)
COUNTY OF LIVINGSTON)

I, the undersigned, the duly qualified and acting Township Clerk of the Township of Hartland, Livingston County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and complete copy of certain proceedings taken by the Township Board of said Township at a regular meeting held on the 11th day of March, 2025.

Larry N. Ciofu Hartland Township Clerk

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Michael Luce, Township Manager

Subject: Resolution of Determination of Wages and Benefits of the Township Trustees

Date: March 6, 2025

Recommended Action

Move to Adopt the Resolution of Determination of Wages and Benefits of the Township Trustees for the 2025-2026 Fiscal Year

Discussion

Township Manager is recommending the proposed wages and benefits as presented based upon a regional analysis of neighboring communities of similar size and population.

Financial Impact

The proposed wages and benefits have been incorporated into the proposed FY2025-2026 Township Budget.

Attachments

Draft Resolution No. 25-R006

BOARD OF TRUSTEES

2655 Clark Road
Hartland, Michigan 48353
(810) 632-7498 Office
(810) 632-6950 Fax



Supervisor
William J. Fountain

Clerk
Larry N. Ciofu

Treasurer
Kathleen A. Horning

Trustees
Brett J. Lubeski
Summer McMullen
Denise O'Connell
Joseph M. Petrucci

RESOLUTION NO. 25-R006

RESOLUTION OF DETERMINATION OF WAGES & BENEFITS OF THE TOWNSHIP TRUSTEES

At a regular meeting of the Township Board of Hartland Township, Livingston County, Michigan, held at the Township Hall in said Township on March 11, 2025, at 7:00 p.m.

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____ and seconded by _____.

WHEREAS, the compensation of the Trustees is \$8,200 annually, as directed by the Township Board of Trustees on this date March 11, 2025 and,

WHEREAS, the Trustees are eligible for retirement benefits as described in the Township Defined Contribution Retirement Plan described for elected officials and,

WHEREAS, the health insurance benefits made available to the employees of the Township shall be made available to the Trustees in compliance with the requirements of the Benefit Plan and,

WHEREAS, the Trustees will receive employment benefits in accordance with the plan approved by the Board of Trustees and,

THEREFORE, be it resolved by the Board of Trustees of the Township of Hartland, Livingston County, Michigan, as follows: does hereby adopt Resolution No. 25-R006, setting the wages and benefits for the Township Trustees for Fiscal Year 2025-2026.

A vote on the foregoing resolution was taken and was as follows:

STATE OF MICHIGAN)
)
COUNTY OF LIVINGSTON)

I, the undersigned, the duly qualified and acting Township Clerk of the Township of Hartland, Livingston County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and complete copy of certain proceedings taken by the Township Board of said Township at a regular meeting held on the 11th day of March, 2025.

Larry N. Ciofu Hartland Township Clerk

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Susan Dryden-Hogan, Finance Director

Subject: Resolution – FY2026 General Appropriations Act

Date: March 5, 2025

Recommended Action

Move to approve the Resolution to Establish a General Appropriations Act for the 2025 – 2026 Fiscal Year.

Discussion

The Fiscal Year 2025 – 2026 General Appropriations Act is consistent with our past GAA. Incorporated into the General Fund departments are the proposed employee wages and salaries effective April 1, 2025, based upon the prior Township Board merit pool work session and Township Manager recommendations.

Financial Impact

Is a Budget Amendment Required? Yes No

Attachments

Budget Hearing 2025 – 2026 Presentation

Resolution: General Appropriations Act Fiscal Year 2025 – 2026

Fiscal Year 2025 – 2026 Budget Package



Hartland Township

Budget Hearing

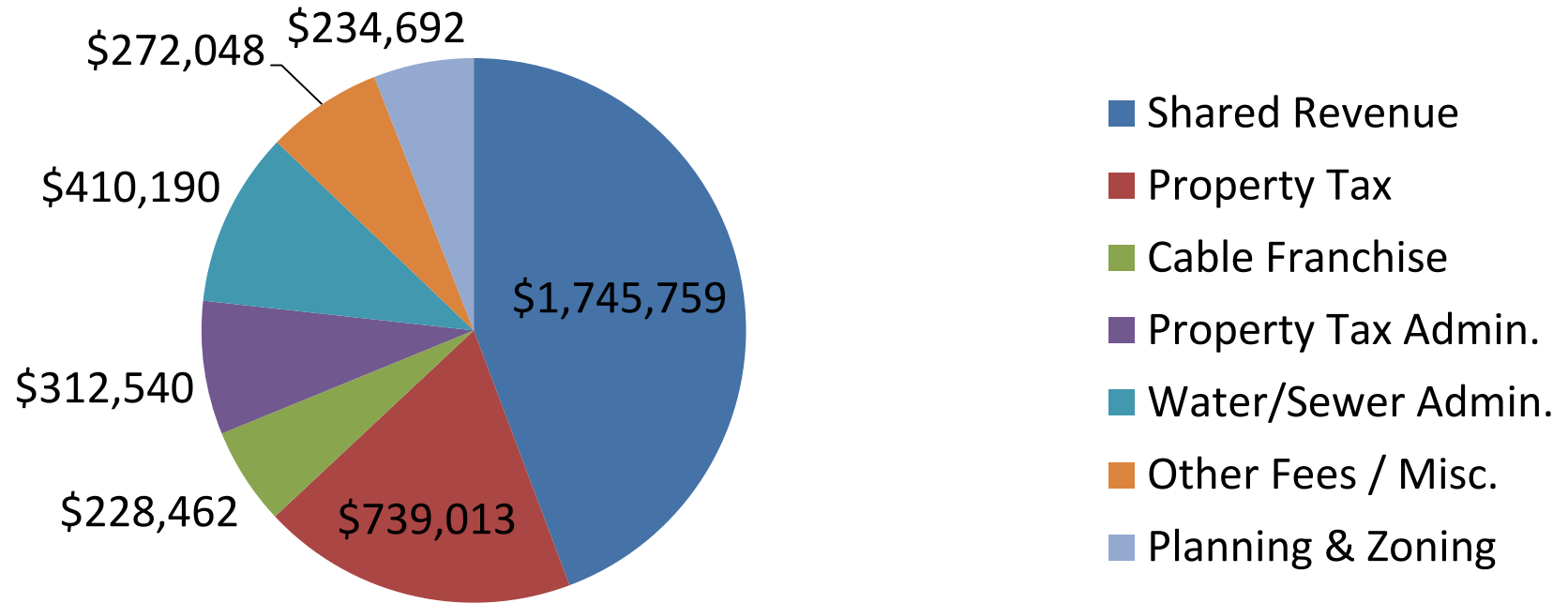
Fiscal Year 2025 – 2026

Truth In Taxation

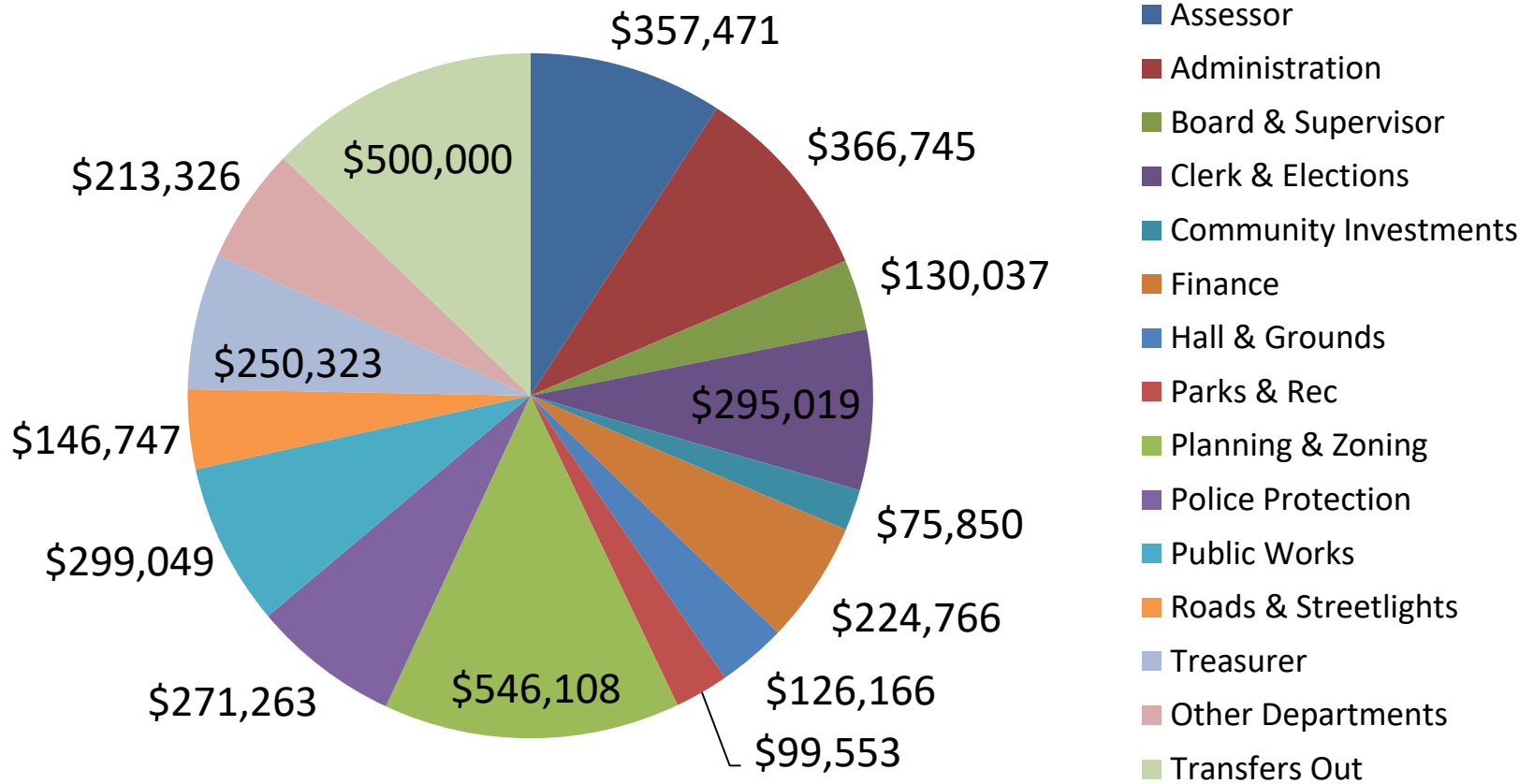
- Hartland Township 0.7533 mills
- Fire Millage 2.0159 mills
- Road Millage 1.4122 mills

This is the best estimate as to the property tax millage rate that will be levied.

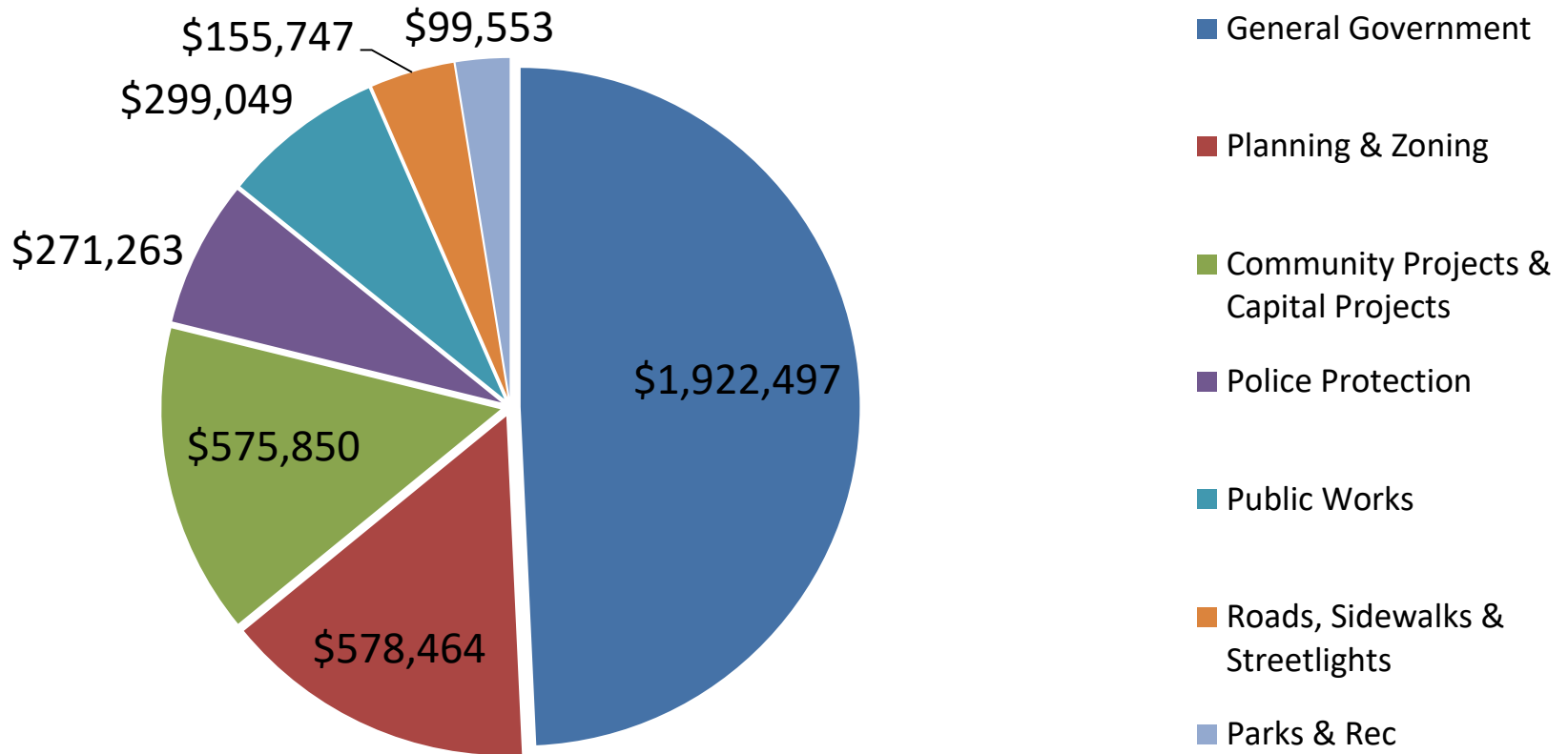
General Fund Estimated Revenues Fiscal Year 2025 – 2026



General Fund Estimated Expenditures Fiscal Year 2025 - 2026



General Fund Estimated Expenditures Fiscal Year 2024-2025 Condensed



BOARD OF TRUSTEES

2655 Clark Road
Hartland, Michigan 48353
(810) 632-7498 Office
(810) 632-6950 Fax



Supervisor
William J. Fountain

Clerk
Larry N. Ciofu

Treasurer
Kathleen A. Horning

Trustees
Matthew J. Germane
Summer McMullen
Denise O'Connell
Joseph M. Petrucci

RESOLUTION NO. XX-RXXX

RESOLUTION TO ESTABLISH A GENERAL APPROPRIATIONS ACT FOR HARTLAND TOWNSHIP FOR THE 2025 - 2026 FISCAL YEAR; TO DEFINE THE POWERS AND DUTIES OF TOWNSHIP OFFICERS IN RELATION TO BUDGET ADMINISTRATION; AND TO PROVIDE REMEDIES FOR REFUSAL OR NEGLECT TO COMPLY WITH THE REQUIREMENTS OF THIS RESOLUTION

At a regular meeting of the Township Board of Hartland Township, Livingston County, Michigan, held at the Township Hall in said Township on _____ at 7:00 p.m.

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____ and seconded by _____.

Section 1: Title

This resolution shall be known as the Hartland Township General Appropriations Act. This amended schedule shall repeal and replace Section 3.03 of the Board Policy Manual.

Section 2: Public Hearings on the Budget

Pursuant to MCLA 141.412; MCLA 141.413, notice of a public hearing on the proposed budget was published in the Livingston County Press & Argus on March 2, 2025, and a public hearing on the proposed budget was held on March 11, 2025.

Section 3: Millage Levy

The Hartland Township Board anticipates a levy of 0.7533 mills to be levied and collected as the general property tax on all real and personal property within the Township upon the current tax

roll, said 0.7533 mills being within the limit as statutorily allocated millage and the amount is less than 1.0 mill and is exempt from Truth-in-Taxation requirements. Additionally, separately voted millage dedicated exclusively for fire operations and road improvements will be levied in an anticipated amount of 2.0159 mills and 1.4122 mills, respectively.

Section 4: Estimated Revenues

Estimated Township revenues for fiscal year 2025 – 2026, including various miscellaneous revenues, as listed in the proposed budget attached hereto:

General Fund (101)	\$ 3,942,704
Municipal Street Fund (204)	\$ 1,396,963
Fire Operating Fund (206)	\$ 1,973,913
Liquor Law Enforcement Fund (212)	\$ 12,486
M59 Road Improvement Debt Fund (354)	\$ 295,384
Millpointe Road SAD (358)	\$ 79,810
Bullard Lake Road SAD (359)	\$ 16,713
Capital Projects Fund (401)	\$ 532,775
Water System Fund (536)	\$ 1,013,890
Water Replacement Fund (539)	\$ 170,549
Cable PEG Fee Fund (577)	\$ 80,925
Sewer Fund (590)	\$ 3,057,127
Sewer Lake Tyrone 2015 SAD (591)	\$ 27,566
Sewer 2005 Debt Fund (595)	\$ 3,427,720
Sewer Forestbrook Hills SAD#1 (596)	\$ 2,284
Sewer 2015 SAD 200 (597)	\$ 2,761
Road Special Assessment Districts (852)	\$ 60,543

Section 5: Estimated Expenditures

Estimated Township expenditures for fiscal year 2025 - 2026 for the various Township activities listed in the proposed budget attached hereto:

General Fund (101)	\$ 3,902,423
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Municipal Street Fund (204)	\$ 1,293,000
Fire Operating Fund (206)	\$ 1,912,772
Liquor Law Enforcement Fund (212)	\$ 12,486
M59 Road Improvement Debt Fund (354)	\$ 256,100
Millpointe Road Debt Service Fund (358)	\$ 108,588
Bullard Lake Road SAD (359)	\$ 0
Capital Projects Fund (401)	\$ 1,335,283
Water System Fund (536)	\$ 1,029,240
Water Replacement Fund (539)	\$ 495,470
Cable PEG Fee Fund (577)	\$ 89,620
Sewer Fund (590)	\$ 6,526,487
Sewer Lake Tyrone 2015 SAD (591)	\$ 18,021
Sewer 2005 Debt Service Fund (595)	\$ 261,790
Sewer Forestbrook Hills SAD#1 (596)	\$ 0
Sewer 2015 SAD 200 (597)	\$ 0
Road Special Assessment Districts (852)	\$ 0

Section 6: Adoption of Budget by Reference

The general fund budget and all other fund budgets of Hartland Township are hereby adopted by reference, with revenues and activity expenditures as indicated in Sections 4 and 5 of this act and attached hereto.

Section 7: Adoption of Budget by Cost Center

The Board of Trustees of Hartland Township adopts the 2026 fiscal year general fund budget and all other fund budgets by cost center. Township officials responsible for the expenditures authorized in the budget may expend Township funds up to, but not to exceed, the total appropriation authorized for each cost center, and may make transfers among the various line items contained in the cost center appropriation. The Township Manager is required to obtain Administrative Committee approval for non-emergency budgeted purchases over \$6,000 but less than \$15,000 without the need for Township Board approval. The Township Manager has the authority to authorize appropriations less than \$6,000 without Township Board or Administrative Committee approval. No transfers of appropriations for pay rate increases or capital outlay items equal to or greater than \$15,000 may be made without prior Board approval by budget amendment.

Section 8: Appropriation Not a Mandate to Spend

Appropriations will be deemed maximum authorizations to incur expenditures. The Finance Director shall exercise supervision and control to ensure that expenditures are within appropriations and shall not issue any order for expenditures that exceed appropriations.

Section 9: Transfer Authority

The Township Manager shall have the authority to make transfers among the various cost centers (or line items) without prior Board approval, if the amount to be transferred does not exceed \$6,000 of the appropriation item from which the transfer is to be made. Under no circumstances may the total general fund budget be changed without prior Board approval.

Section 10: Periodic Fiscal Reports

Following the first quarter of the fiscal year, the Finance Director shall transmit to the Board at the end of each quarter a report of financial operations, including, but not limited to:

- a. a summary statement report for all funds showing actual revenues and expenditures compared to the adopted and amended budgets, in comparison to the prior year, same quarter.
- b. a summary statement of the financial condition of the general fund and all other funds, as requested.

Following the first quarter of the fiscal year, and every month thereafter, the Finance Director shall transmit to Directors and Budget Administrators, a detailed budget report showing actual revenues and expenditures for the current fiscal year compared to the current year budget and the prior year, same period.

Section 11: Limit on Obligations and Payments

No obligation shall be incurred against, and no payment shall be made from any appropriation account unless there is a sufficient unencumbered balance in the appropriation and sufficient funds are or will be available to meet the obligation.

Section 12: New Pay Rates & Pay Grades for Certain Township Employees

Effective April 1, 2025, the new pay rates for township employees have been approved by the Township Manager and incorporated into department budgets. Further, the Township Manager has approved the amended pay grade schedule, which incorporates the net inflationary adjustment of 2.6263%. This amended schedule shall repeal and replace the table in Section 4.08 (Pay Grade Schedule) of the Board Policy Manual.

Section 13: Budget Monitoring

Whenever it appears to the Township Manager or the Township Board that the actual and probable revenues in any fund will be less than the estimated revenues upon which appropriations from such fund were based, and when it appears that expenditures shall exceed an appropriation, the Township Manager shall present to the Township Board recommendations to prevent expenditures from exceeding available revenues or appropriations for the current fiscal year. Such recommendations shall include proposals for reducing appropriations, increasing revenues, or both.

Section 14: Violations of This Act

Any obligation incurred or payment authorized in violation of this resolution shall be void and shall subject any responsible official(s) or employee(s) to disciplinary action as outlined in P.A. 621 (1978) and the Hartland Township employee handbook.

A vote on the foregoing resolution was taken and was as follows:

STATE OF MICHIGAN)
)
COUNTY OF LIVINGSTON)

I, the undersigned, the duly qualified and acting Township Clerk of the Township of Hartland, Livingston County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and complete copy of certain proceedings taken by the Township Board of said Township at a regular meeting held on the _____ day of _____, _____.

Larry N. Ciofu Hartland Township Clerk

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 000				
101-000-402.000	CURRENT REAL PROP TAX	670,163	717,488	739,013
101-000-413.000	CHARGEBACK TAXES	5,847	404	
101-000-421.000	MOBILE HOME FEES	3,408	3,350	3,350
101-000-445.001	PRE INTEREST	1,116	771	750
101-000-446.000	INTEREST & PENALTY DEL TAX	518	657	600
101-000-477.000	DOG LICENSES	218	325	325
101-000-573.000	LOCAL COMMUNITY STABILIZATION SHAI	1,864	1,800	1,800
101-000-574.000	STATE SHARED REVENUE	1,719,316	1,698,651	1,745,759
101-000-608.000	BOARD OF APPEALS	1,400		1,400
101-000-609.000	PROPERTY TAX ADMINISTRATION	287,211	309,445	312,540
101-000-611.000	SCHOOL COLLECTION FEES	17,826	17,781	18,120
101-000-612.000	CABLE FRANCHISE FEES	220,067	226,200	228,462
101-000-622.000	ZONING FEES	36,585	27,500	34,692
101-000-622.001	ZONING FEE REFUNDS	(175)		
101-000-628.100	PROFESSIONAL REVIEW FEES	255,307	200,000	200,000
101-000-642.000	COLUMBARIUM SALES	525	1,280	1,650
101-000-643.000	LOT SALES	1,920	7,910	4,020
101-000-643.100	LOT REFUNDS	(1,100)	(1,100)	
101-000-645.000	PRINTED MATERIALS	2,748	2,786	2,773
101-000-646.000	PASSPORT FEES	15,120	11,655	10,500
101-000-651.000	PARKS & REC USE FEES	4,875	9,520	5,000
101-000-652.000	FARMERS MARKET REVENUE	10,575		
101-000-655.000	FINES	33		
101-000-656.000	TRAFFIC FINES	73	1,840	1,800
101-000-665.000	INTEREST EARNINGS	59,539	50,000	45,000
101-000-667.001	CELL TOWER LEASE ATT	56,318	50,000	53,680
101-000-667.002	CABLE STUDIO RENT	12,984	12,984	12,984
101-000-674.100	SPECIAL EVENTS DONATIONS	23,250	20,000	20,000
101-000-676.000	REIMBURSEMENTS	49,388	23,144	
101-000-676.302	REIMBURSEMENTS SHERIFF CONTRACT	85,927	87,340	88,296
101-000-676.536	REIMB ADMIN FEE WATER	166,649	186,350	194,575
101-000-676.590	REIMB ADMIN FEE SEWER	144,532	186,473	215,615
101-000-687.000	REBATES&REFUNDS	4,557	5,772	
101-000-694.000	OTHER REVENUE	6,027	6,719	
Totals for dept 000 -		3,864,611	3,867,045	3,942,704
TOTAL ESTIMATED REVENUES		3,864,611	3,867,045	3,942,704
APPROPRIATIONS				
101	TOWNSHIP BOARD	55,940	72,910	85,707
171	SUPERVISOR	37,795	37,719	44,330
172	ADMINISTRATION	161,651	261,004	366,745
191	ELECTIONS	52,019	90,470	15,842
192	FINANCE DEPARTMENT	191,612	208,778	224,766
209	ASSESSOR	243,120	280,259	357,471
215	CLERK	198,800	228,716	279,177
239	VEHICLE USE	2,800	3,770	4,470
247	BOARD OF REVIEW	2,357	4,027	4,087
253	TREASURER	204,816	219,228	250,323
258	DATA PROCESSING	30,410	50,120	43,100
265	TOWNSHIP HALL & GROUNDS	118,636	123,432	126,166
302	POLICE PROTECTION	245,564	260,349	271,263
400	PLANNING & ZONING	551,717	579,025	546,108
410	BOARD OF APPEALS	900	2,022	2,022
441	DEPARTMENT OF PUBLIC WORKS	230,121	275,854	299,049
444	SIDEWALKS	5,283	9,000	9,000
448	STREET LIGHTS	19,646	19,900	20,300
463	ROADS & M59 MEDIAN	90,633	92,893	126,447
465	DRAINS, PUBLIC BENEFIT	7,461	10,100	11,400
567	CEMETERIES	29,304	31,652	33,455
577	COMMUNICATIONS	69,245	62,036	73,436
703	COMMUNITY INVESTMENTS	70,282	73,850	75,850
722	ZONING CODE ENFORCEMENT	19,365	29,400	32,356
751	PARKS & RECREATION	99,716	97,328	99,553
901	APPROPRIATIONS-TRANSFER OUT	910,000	500,000	500,000
TOTAL APPROPRIATIONS		3,649,193	3,623,842	3,902,423
NET OF REVENUES/APPROPRIATIONS - FUND 101		215,418	243,203	40,281
BEGINNING FUND BALANCE		3,842,744	4,058,160	4,301,363
ENDING FUND BALANCE		4,058,162	4,301,363	4,341,644

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 000				
204-000-402.000	CURRENT REAL PROP TAX	1,256,261	1,354,616	1,388,463
204-000-413.000	CHARGEBACK TAXES	1,964	757	
204-000-446.000	INT.&PEN DEL TAX	15	18	
204-000-573.000	LOCAL COMMUNITY STABILIZATION SHAF	3,509	4,760	4,700
204-000-665.000	INTEREST EARNINGS	7,383	6,000	3,800
Totals for dept 000 -		<u>1,269,132</u>	<u>1,366,151</u>	<u>1,396,963</u>
TOTAL ESTIMATED REVENUES		1,269,132	1,366,151	1,396,963
APPROPRIATIONS				
000				
TOTAL APPROPRIATIONS		<u>1,162,452</u>	<u>1,314,574</u>	<u>1,293,000</u>
NET OF REVENUES/APPROPRIATIONS - FUND 204		106,680	51,577	103,963
BEGINNING FUND BALANCE		2,344,541	2,451,220	2,502,797
ENDING FUND BALANCE		2,451,221	2,502,797	2,606,760

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 000				
206-000-402.000	CURRENT REAL PROP TAX	1,793,333	1,920,116	1,969,463
206-000-413.000	CHARGEBACK TAXES	3,803	1,081	
206-000-446.000	INT.&PEN DEL TAX	21	25	
206-000-573.000	LOCAL COMMUNITY STABILIZATION SHAF	4,436	3,101	4,000
206-000-665.000	INTEREST EARNINGS	557	450	450
206-000-694.000	OTHER REVENUE	2	2	
Totals for dept 000 -		<u>1,802,152</u>	<u>1,924,775</u>	<u>1,973,913</u>
TOTAL ESTIMATED REVENUES		<u>1,802,152</u>	<u>1,924,775</u>	<u>1,973,913</u>
APPROPRIATIONS				
000				
TOTAL APPROPRIATIONS		<u>1,636,709</u>	<u>1,932,052</u>	<u>1,912,772</u>
NET OF REVENUES/APPROPRIATIONS - FUND 206		<u>165,443</u>	<u>(7,277)</u>	<u>61,141</u>
BEGINNING FUND BALANCE		2,055,171	2,220,615	2,213,338
ENDING FUND BALANCE		2,220,614	2,213,338	2,274,479

User: SUSAN

Fund: 212 LIQUOR LAW ENFORCEMENT

DB: Hartland

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 000				
212-000-575.000	LIQUOR LICENSE FEES	12,391	12,134	12,461
212-000-665.000	INTEREST EARNINGS	45	32	25
Totals for dept 000 -		<u>12,436</u>	<u>12,166</u>	<u>12,486</u>
TOTAL ESTIMATED REVENUES		12,436	12,166	12,486
APPROPRIATIONS				
000				
TOTAL APPROPRIATIONS		<u>5,375</u>	<u>12,234</u>	<u>12,486</u>
NET OF REVENUES/APPROPRIATIONS - FUND 212		7,061	(68)	
BEGINNING FUND BALANCE		99,792	106,854	106,786
ENDING FUND BALANCE		106,853	106,786	106,786

User: SUSAN

Fund: 354 2009 M-59 ROAD IMPROVEMENTS BOND

DB: Hartland

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 000				
354-000-404.000	2009 M-59 ROAD SAD REVENUE	172,679	172,679	172,680
354-000-404.001	HROAD SPEC ASSESS REVENUE	58,179	58,179	58,179
354-000-447.001	2009 M-59 ROAD SAD INTEREST	60,095	54,086	48,077
354-000-447.002	HROAD SPEC ASSESS INTEREST	20,247	18,222	16,198
354-000-665.000	INTEREST EARNINGS	286	250	250
Totals for dept 000 -		311,486	303,416	295,384
TOTAL ESTIMATED REVENUES		311,486	303,416	295,384
APPROPRIATIONS				
000				
TOTAL APPROPRIATIONS		282,710	272,000	256,100
NET OF REVENUES/APPROPRIATIONS - FUND 354		28,776	31,416	39,284
BEGINNING FUND BALANCE		486,040	514,818	546,234
ENDING FUND BALANCE		514,816	546,234	585,518

User: SUSAN

Fund: 358 MILLPOINTE ROAD DEBT SERVICE FUND

DB: Hartland

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 000				
358-000-451.000	SPECIAL ASSESSMENT PRINCIPAL	77,539	78,347	73,500
358-000-451.001	SPECIAL ASSESSMENT INTEREST	12,642	9,369	6,270
358-000-665.000	INTEREST EARNINGS	86	50	40
Totals for dept 000 -		<u>90,267</u>	<u>87,766</u>	<u>79,810</u>
TOTAL ESTIMATED REVENUES		<u>90,267</u>	<u>87,766</u>	<u>79,810</u>
APPROPRIATIONS				
000				
TOTAL APPROPRIATIONS		<u>109,549</u>	<u>111,588</u>	<u>108,588</u>
NET OF REVENUES/APPROPRIATIONS - FUND 358		<u>(19,282)</u>	<u>(23,822)</u>	<u>(28,778)</u>
BEGINNING FUND BALANCE		257,962	238,680	214,858
ENDING FUND BALANCE		238,680	214,858	186,080

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 000				
359-000-451.000	SPECIAL ASSESSMENT REVENUE	20,270	14,741	14,742
359-000-451.001	SPECIAL ASSESSMENT INTEREST	3,018	2,432	1,946
359-000-665.000	INTEREST EARNINGS	46	25	25
Totals for dept 000 -		23,334	17,198	16,713
TOTAL ESTIMATED REVENUES		23,334	17,198	16,713
APPROPRIATIONS				
000				
TOTAL APPROPRIATIONS			102,459	
NET OF REVENUES/APPROPRIATIONS - FUND 359		23,334	(85,261)	16,713
BEGINNING FUND BALANCE		89,110	112,443	27,182
ENDING FUND BALANCE		112,444	27,182	43,895

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 000				
401-000-627.000	RIGHT OF WAY FEES	17,167	18,265	19,775
401-000-665.000	INTEREST EARNINGS	21,841	13,000	13,000
401-000-669.359	TRANSFER FROM BULLARD LAKE SAD		102,459	
401-000-699.101	TRANSFER IN GF	910,000	500,000	500,000
Totals for dept 000 -		949,008	633,724	532,775
TOTAL ESTIMATED REVENUES		949,008	633,724	532,775
APPROPRIATIONS				
000			20,726	20,000
258	DATA PROCESSING		25,000	59,900
265	TOWNSHIP HALL & GROUNDS		400,000	19,500
444	SIDEWALKS	372,193		440,000
463	ROADS & M59 MEDIAN			230,000
751	PARKS & RECREATION	20,606	124,900	565,883
TOTAL APPROPRIATIONS		392,799	570,626	1,335,283
NET OF REVENUES/APPROPRIATIONS - FUND 401		556,209	63,098	(802,508)
BEGINNING FUND BALANCE		1,443,529	1,999,738	2,062,836
ENDING FUND BALANCE		1,999,738	2,062,836	1,260,328

User: SUSAN

Fund: 536 WATER SYSTEM FUND

DB: Hartland

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 000				
536-000-600.400	WATER USAGE METERED	152,680	157,214	160,357
536-000-600.500	WATER READINESS TO SERVE	700,801	718,791	735,133
536-000-601.000	USER FEES	400	400	400
536-000-601.001	PENALTIES ON USER FEES	7,785	8,737	8,000
536-000-605.000	METER SALES	33,325	15,000	20,000
536-000-665.000	INTEREST EARNINGS	42,494	10,000	10,000
536-000-676.101	REIMB. CONTRACT SERVICES	66,250	60,000	70,000
536-000-676.102	REIMB - CONTRACT EQUIPMENT	13,771	5,000	10,000
Totals for dept 000 -		1,017,506	975,142	1,013,890
TOTAL ESTIMATED REVENUES		1,017,506	975,142	1,013,890
APPROPRIATIONS				
000				
		735,087	1,165,624	1,029,240
TOTAL APPROPRIATIONS		735,087	1,165,624	1,029,240
NET OF REVENUES/APPROPRIATIONS - FUND 536		282,419	(190,482)	(15,350)
BEGINNING FUND BALANCE		2,093,520	2,375,941	2,185,459
ENDING FUND BALANCE		2,375,939	2,185,459	2,170,109

User: SUSAN

Fund: 539 WATER REPLACEMENT FUND

DB: Hartland

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 000				
539-000-601.001	PENALTIES ON SURCHARGES	11	50	
539-000-602.000	CONNECTION FEES	42,573		34,149
539-000-602.100	SURCHARGE FEES	20,092	22,500	21,400
539-000-665.000	INTEREST EARNINGS	28,450	20,000	15,000
539-000-669.536	TRANSFER FROM WATER O&M FUND		300,000	100,000
539-000-676.000	REIMBURSEMENTS		55,583	
Totals for dept 000 -		91,126	398,133	170,549
TOTAL ESTIMATED REVENUES		91,126	398,133	170,549
APPROPRIATIONS				
000				
TOTAL APPROPRIATIONS		278,731	340,000	495,470
NET OF REVENUES/APPROPRIATIONS - FUND 539		(187,605)	58,133	(324,921)
BEGINNING FUND BALANCE		9,597,935	9,410,332	9,468,465
ENDING FUND BALANCE		9,410,330	9,468,465	9,143,544

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 000				
577-000-607.000	PEG FEES	88,027	82,900	80,925
577-000-665.000	INTEREST EARNINGS	83	50	
Totals for dept 000 -		88,110	82,950	80,925
TOTAL ESTIMATED REVENUES		88,110	82,950	80,925
APPROPRIATIONS				
000				
TOTAL APPROPRIATIONS		92,568	77,555	89,620
NET OF REVENUES/APPROPRIATIONS - FUND 577		(4,458)	5,395	(8,695)
BEGINNING FUND BALANCE		207,421	202,964	208,359
ENDING FUND BALANCE		202,963	208,359	199,664

User: SUSAN

Fund: 590 SEWER OPERATIONS & MAINTENANCE FUND

DB: Hartland

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 000				
590-000-600.100	SEWER USAGE FLAT RATE	582,907	582,668	585,366
590-000-600.200	SEWER USAGE METERED	486,098	506,000	521,180
590-000-600.300	SEWER CAPITAL CHARGES	232,697	237,000	265,601
590-000-600.600	SEWER RTS CHARGE	1,205,039	1,231,000	1,350,400
590-000-601.000	USER FEES	20		
590-000-601.001	PENALTIES ON USER FEES	33,176	34,900	31,300
590-000-602.000	CONNECTION FEES	121,294	3,666,223	188,780
590-000-602.100	SURCHARGE FEES	87,556	83,850	84,000
590-000-605.000	METER SALES		2,500	2,500
590-000-665.000	INTEREST EARNINGS	97,582	28,000	28,000
590-000-665.001	UNREALIZED GAIN OR LOSS	5,596		
590-000-668.000	SEPTAGE STATION REVENUES	310,857	274,594	
590-000-676.000	REIMBURSEMENTS	140		
Totals for dept 000 -		3,162,962	6,646,735	3,057,127
TOTAL ESTIMATED REVENUES		3,162,962	6,646,735	3,057,127
APPROPRIATIONS				
000				
TOTAL APPROPRIATIONS		2,888,127	4,288,144	6,526,487
NET OF REVENUES/APPROPRIATIONS - FUND 590		274,835	2,358,591	(3,469,360)
BEGINNING FUND BALANCE		23,882,808	24,157,644	26,516,235
ENDING FUND BALANCE		24,157,643	26,516,235	23,046,875

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 000				
591-000-404.000	LK TYRONE SP ASSESS INTEREST INC	32,839	30,102	27,366
591-000-602.000	CONNECTION FEES	21,913		
591-000-665.000	INTEREST EARNINGS	400	185	200
Totals for dept 000 -		55,152	30,287	27,566
TOTAL ESTIMATED REVENUES		55,152	30,287	27,566
APPROPRIATIONS				
000				
TOTAL APPROPRIATIONS		21,097	19,559	18,021
NET OF REVENUES/APPROPRIATIONS - FUND 591		34,055	10,728	9,545
BEGINNING FUND BALANCE		241,335	275,390	286,118
ENDING FUND BALANCE		275,390	286,118	295,663

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 000				
595-000-404.000	SPECIAL ASSESSMENTS INTEREST	7,918	3,959	
595-000-404.004	SAD DISTRICT 4 INTEREST	7,803	3,843	
595-000-404.005	SAD DISTRICT 5 INTEREST	1,791	896	
595-000-404.006	SAD DISTRICT 6 INTEREST	3,305	1,641	
595-000-404.007	SAD DISTRICT #7 INTEREST	1,433	717	
595-000-404.008	SAD #4 SUP INTEREST INCOME	1,004	659	320
595-000-665.000	INTEREST EARNINGS	37,031	1,982	400
595-000-699.590	TRANSFER IN SEWER		1,386,900	3,427,000
Totals for dept 000 -		60,285	1,400,597	3,427,720
TOTAL ESTIMATED REVENUES		60,285	1,400,597	3,427,720
APPROPRIATIONS				
000				
TOTAL APPROPRIATIONS		205,984	287,875	261,790
NET OF REVENUES/APPROPRIATIONS - FUND 595		(145,699)	1,112,722	3,165,930
BEGINNING FUND BALANCE		(9,241,603)	(9,387,301)	(8,274,579)
ENDING FUND BALANCE		(9,387,302)	(8,274,579)	(5,108,649)

User: SUSAN

Fund: 596 FORESTBROOK HILLS SEWER SAD#1

DB: Hartland

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 000				
596-000-404.000	FORESTBROOK SAD INTEREST INCOME	2,824	2,541	2,259
596-000-665.000	INTEREST EARNINGS	77	50	25
Totals for dept 000 -		2,901	2,591	2,284
TOTAL ESTIMATED REVENUES		2,901	2,591	2,284
NET OF REVENUES/APPROPRIATIONS - FUND 596		2,901	2,591	2,284
BEGINNING FUND BALANCE		42,384	45,284	47,875
ENDING FUND BALANCE		45,285	47,875	50,159

User: SUSAN

Fund: 597 HARTLAND TWP SEWER SAD 200

DB: Hartland

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 000				
597-000-404.000	SAD 200 INTEREST INCOME	3,283	3,009	2,736
597-000-665.000	INTEREST EARNINGS	92	40	25
Totals for dept 000 -		3,375	3,049	2,761
TOTAL ESTIMATED REVENUES		3,375	3,049	2,761
NET OF REVENUES/APPROPRIATIONS - FUND 597		3,375	3,049	2,761
BEGINNING FUND BALANCE		34,358	37,732	40,781
ENDING FUND BALANCE		37,733	40,781	43,542

User: SUSAN

Fund: 852 ROAD SPECIAL ASSESSMENT DISTRICTS

DB: Hartland

GL NUMBER AND DEPARTMENT	DESCRIPTION	2023-24 ACTIVITY	2024-25 PROJECTED ACTIVITY	2025-26 BOARD APPROVAL BUDGET
ESTIMATED REVENUES				
Dept 453 - HARTLAND WOODS ROAD SAD				
852-453-451.000	SPECIAL ASSESSMENT REVENUE	60,855	53,249	53,249
852-453-451.001	SPECIAL ASSESSMENT INTEREST	9,432	8,307	7,269
852-453-665.000	INTEREST EARNINGS	49	45	25
Totals for dept 453 - HARTLAND WOODS ROAD SAD		70,336	61,601	60,543
TOTAL ESTIMATED REVENUES				
		70,336	61,601	60,543
NET OF REVENUES/APPROPRIATIONS - FUND 852				
		70,336	61,601	60,543
BEGINNING FUND BALANCE		83,153	153,488	215,089
ENDING FUND BALANCE		153,489	215,089	275,632
ESTIMATED REVENUES - ALL FUNDS				
		12,874,179	17,813,326	16,094,113
APPROPRIATIONS - ALL FUNDS				
		11,460,381	14,118,132	17,241,280
NET OF REVENUES/APPROPRIATIONS - ALL FUNDS				
		1,413,798	3,695,194	(1,147,167)
BEGINNING FUND BALANCE - ALL FUNDS				
		37,560,201	38,974,002	42,669,196
ENDING FUND BALANCE - ALL FUNDS				
		38,973,999	42,669,196	41,522,029

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Zoning Amendment #25-001 – Amendment to permit in-ground swimming pools in front yard of waterfront lots

Date: March 5, 2025

Recommended Action

Move to approve Zoning Ordinance Text Amendment Text #25-001, as outlined in the resolution.

Discussion

Overview and Background Information for Request

The Township Planning Commission received a request from a Township resident that desired to install an in-ground swimming pool between their existing single family residential structure and a lake.

Section 5.14.3.D.i. indicates that private swimming pools shall be permitted as an accessory use in the rear or side yard in residential districts.

Section 3.7.3 indicates that waterfront lots, which abut a lake, pond, or stream shall provide the required front yard along the waterfront and along every public or private road.

Section 5.20.2.A. indicates Fences in the RR, STR, SR, MDR, HDR, MR, and MR-2 Districts or in a residential PD District may be located in the required side or rear yard, subject to the following requirements:

- i. **Maximum Height.** The maximum height shall be six (6) feet for fences located in the rear or side yard and no closer than the front line of the front wall of the principal building.
- ii. **Location.** No fence shall be permitted closer to the front lot line than the front wall of the principal building.

As a result of the stated regulations, swimming pools and their required fencing would not be permitted in the front yard. Since the waterfront area is classified as the front yard area, swimming pools, and their required fencing are not permitted between the house and the waterfront on a residential property. The proposed amendment would permit an in-ground swimming pool between a house and the waterfront. An above ground swimming pool would not be permitted in this area. Also, since fencing around the in-ground swimming pool is required, the amendment would permit the required fencing around the pool area only. Fencing beyond the pool area would remain not permitted.

The Planning Commission discussed this topic at their Work Session held on September 26, 2024. The consensus of the Planning Commission was to permit in-ground swimming pools in the front yard of waterfront lots and amend the regulations to permit required fencing around the in-ground pool.

At the September 26, 2024, Work Session, the Planning Commission initiated a zoning amendment to permit in-ground swimming pools and required fencing in the front yard of waterfront lots.

Zoning Amendment #25-001 In-ground swimming pools in front yard of waterfront lots

March 5, 2025

Page 2

The Planning Commission held a public hearing at the January 23, 2025, regular meeting. The Planning Commission recommended approval with a slight revision that limited the fence height to a maximum and minimum height of four (4) feet. The Livingston County Planning Commission also recommended approval at the February 19, 2025, regular meeting.

Sections Proposed for Text Amendment

Section 5.14.3.D. Private Swimming Pools

This section outlines the standards for private swimming pools and limits the location to side and rear yard areas. The amendment would permit an in-ground swimming pool between the house and the waterfront, which is the front yard area.

The amendment would also permit the required fencing for the in-ground pool between the house and the waterfront.

Process

Zoning Ordinance Text Amendments are outlined in Section 7.4.4 of the Zoning Ordinance, as follows:

4. Zoning Ordinance Text Amendment Criteria. The Planning Commission and Township Board shall consider the following criteria for initiating amendments to the zoning ordinance text or responding to a petitioner's request to amend the ordinance text.
 - A. The proposed amendment would correct an error in the Ordinance.
 - B. The proposed amendment would clarify the intent of the Ordinance.
 - C. Documentation has been provided from Township staff or the Zoning Board of Appeals indicating problems or conflicts in implementation or interpretation of specific sections of the ordinance.
 - D. The proposed amendment would address changes to state legislation.
 - E. The proposed amendment would address potential legal issues or administrative problems with the Zoning Ordinance based on recent case law or opinions rendered by the Attorney General of the State of Michigan.
 - F. The proposed amendment would promote compliance with changes in other Township ordinances and county, state or federal regulations.
 - G. The proposed amendment is supported by the findings of reports, studies, or other documentation on functional requirements, contemporary building practices, environmental requirements and similar technical items.
 - H. Other criteria as determined by the Planning Commission or Township Board which would protect the health and safety of the public, protect public and private investment in the Township, promote implementation of the goals and policies of the Comprehensive Plan and enhance the overall quality of life in Hartland Township.

Based on Section 7.4.4 of the Zoning Ordinance, either the Planning Commission or the Township Board may initiate a Zoning Ordinance Text Amendment.

Attachments:

1. Draft Ordinance Amendment 01.16.2025– PDF version
2. Liv. County Planning Commission Letter dated

Zoning Amendment #25-001 In-ground swimming pools in front yard of waterfront lots

March 5, 2025

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3. Liv. County Planning Commission Draft Minutes 02.19.2025

4. Resolution to Approve

T:\PLANNING DEPARTMENT\PLANNING COMMISSION\2025 Planning Commission Activity\Zoning Amendments\ZA #25-001 In ground swimming pools waterfront lots\Staff reports\TB\ZA 25-001staff report PH TB 03.05.2025.docx

TOWNSHIP OF HARTLAND

AMENDMENT TO PERMIT IN-GROUND SWIMMING POOLS IN FRONT YARD OF WATERFRONT LOTS

PROPOSED AMENDMENT

Section 5.14.3.D. Private Swimming Pools

i. Location. Private swimming pools shall be permitted as an accessory use in the rear or side yard in residential districts, provided that pools in the side yard of parcels that are two (2) acres or smaller shall be screened from the road. Pools shall not be located in any road or utility right-of-way or easement, except as provided in this Section. Positive drainage shall be maintained in accordance with the Township's Engineering Design Standards. **In-ground swimming pools may be permitted between the single family house and the waterfront, on waterfront shore line properties, provided that the in-ground swimming pool complies with all other required setback requirements, lot coverage requirements, and other applicable zoning standards.**

ii. Setbacks. Private swimming pools and their associated decks or hard surface surrounds shall comply with the setback requirements for an accessory structure. The pool surrounds, including all decks and impervious perimeters shall be calculated as part of the maximum lot coverage. Pools shall be constructed no closer than ten (10) feet to any building on the same parcel.

iii. Fencing. Private swimming pools shall be enclosed within a minimum four (4) foot high fence. All fences shall be subject to the requirements in Section 5.20. Entry shall be by means of a self-closing, self-latching gate. The latch shall be on the inside so that it is not readily available to children to open. Gates shall be securely locked when the pool is not in use. A fence shall not be required for pools that are wholly or partially above ground, provided that the wall of the pool is at least four (4) feet in height and that no ladder, deck or other structure provides access to the pool while it is unattended. **In-ground swimming pools on waterfront properties shall be permitted to install the required fencing around the pool area, with a height not to exceed the minimum required, and is located in between the single family house and waterfront.**



Livingston County Department of Planning

MEMORANDUM

Scott Barb
AICP, PEM
Director

Robert A. Stanford
AICP
Principal Planner

Martha Haglund
AICP Candidate
Principal Planner

TO: Livingston County Planning Commission and the Hartland Board of Trustees

FROM: Martha Haglund, Principal Planner

DATE: February 3, 2025

SUBJECT: Z-06-25: Hartland Township Article 5.14.3.D Private Swimming Pools

Hartland Township is proposing to amend their zoning ordinance to allow in-ground swimming pools, in the front yard setback for waterfront homes. The front yard setback for waterfront homes is considered to be located between the water and the dwelling. The amendments include language for the required fencing around an inground pool.

Staff has reviewed the proposed amendments for accuracy and compatibility with the existing ordinance language and offers the following summary for your review. Staff comments are noted throughout with additions and changes to the Ordinance written in red.

AMEND ARTICLE 5.14.3.D Accessory Structures and Uses: Private Swimming Pools

Section 5.14.3.D. Private Swimming Pools

- i. Location. Private swimming pools shall be permitted as an accessory use in the rear or side yard in residential districts, provided that pools in the side yard of parcels that are two (2) acres or smaller shall be screened from the road. Pools shall not be located in any road or utility right-of-way or easement, except as provided in this Section. Positive drainage shall be maintained in accordance with the Township's Engineering Design Standards. **In-ground swimming pools may be permitted between the single family house and the waterfront, on waterfront shore line properties, provided that the in-ground swimming pool complies with all other required setback requirements, lot coverage requirements, and other applicable zoning standards.**
- ii. Setbacks. Private swimming pools and their associated decks or hard surface surrounds shall comply with the setback requirements for an accessory structure. The pool surrounds, including all decks and impervious perimeters shall be calculated as part of the maximum lot coverage. Pools shall be constructed no closer than ten (10) feet to any building on the same parcel.

Department Information

Administration Building
304 E. Grand River Ave.
Suite 206
Howell, MI 48843-2323

•
(517) 546-7555
Fax (517) 552-2347

•
Web Site
milivcounty.gov/planning



iii. Fencing. Private swimming pools shall be enclosed within a minimum four (4) foot high fence. All fences shall be subject to the requirements in Section 5.20. Entry shall be by means of a self-closing, self-latching gate. The latch shall be on the inside so that it is not readily available to children to open. Gates shall be securely locked when the pool is not in use. A fence shall not be required for pools that are wholly or partially above ground, provided that the wall of the pool is at least four (4) feet in height and that no ladder, deck or other structure provides access to the pool while it is unattended. **In-ground swimming pools on waterfront properties shall be permitted to install the required fencing around the pool area with height not to exceed the minimum required and is located in between the single family house and waterfront.**

Staff Comments: *The township explicitly designates in-ground pools as a permitted accessory use, above ground pools would not be permitted.*

For reference: Section 5.20 relates to walls and fences and designates their standards according to zoning district.

Staff Comments: *The front yard of a waterfront property is considered to be between the waterfront and the dwelling. In-ground pools are not permitted in the front yards. The amendment would allow for an in-ground pools and their required fencing between the waterfront and dwelling provided all other setbacks are met.*

The residential setbacks for front yards are 50 feet. The township zoning ordinance does not designate a specific setback requirement from wetlands or waterbodies nor does the Livingston County Building Department. However, the construction of a pool may require an EGLE permit if the pool is proposed to be within 500 feet of an inland lake, pond, river or stream.

The township may consider additional language such as: The installation of in-ground pools must comply with all state and federal regulations.

TOWNSHIP PLANNING COMMISSION RECOMMENDATION: APPROVAL.

The Hartland Township Planning Commission held a work session September 26, 2024; to discuss the proposed amendments, the consensus was to amend the zoning ordinance. The Hartland Township Planning Commission recommended approval for the proposed amendments at their public hearing on January 23, 2024.

STAFF RECOMMENDATION: APPROVAL The proposed text amendments are appropriate and consistent with existing zoning language. Staff encourages the township to consider all staff comments prior to final adoption.

DRAFT
LIVINGSTON COUNTY PLANNING COMMISSION
MEETING MINUTES
FEBRUARY 19, 2025
6:30 p.m.
Hybrid In-Person and Virtual Zoom Meeting

Zoom Virtual Meeting Room Meeting ID: 399-700-0062 / Password: LCBOC
<https://zoom.us/j/3997000062?pwd=SUdLYVFFcmozWnFxbm0vcHRjWkVIZz09>

PLANNING COMMISSION			
COMMISSIONERS PRESENT:	<table style="width: 100%; border: none;"> <tr> <td style="width: 50%; border: none;"> Bill Anderson Dennis Bowdoin Bill Call Matt Ikle </td> <td style="width: 50%; border: none;"> Margaret Burkholder Paul Funk Kevin Galbraith </td> </tr> </table>	Bill Anderson Dennis Bowdoin Bill Call Matt Ikle	Margaret Burkholder Paul Funk Kevin Galbraith
Bill Anderson Dennis Bowdoin Bill Call Matt Ikle	Margaret Burkholder Paul Funk Kevin Galbraith		
COMMISSIONERS ABSENT:			
STAFF PRESENT:	Scott Barb Rob Stanford Martha Haglund		
OTHERS PRESENT:	Bruce Powellson, Marion Township; Troy Langer, Hartland Township Planning Director; Tim Boal, Howell Township; Brian Biskner, Applicant for Genoa Township case. Online: “Kirk”		

1. **CALL TO ORDER:** Meeting was called to order by Planning Commissioner Anderson at 6:30 PM.
2. **PLEDGE OF ALLEGIANCE TO THE FLAG**
3. **ROLL AND INTRODUCTION OF GUESTS:** None.
4. **APPROVAL OF AGENDA:**

Commissioner Action: IT WAS MOVED BY COMMISSIONER IKLE TO APPROVE THE AGENDA DATED FEBRUARY 19, 2025, SECONDED BY COMMISSIONER FUNK.

All in favor, motion passed 7-0.

5. **APPROVAL OF PLANNING COMMISSION MEETING MINUTES**

Commissioner Action: IT WAS MOVED BY COMMISSIONER CALL TO APPROVE THE MINUTES, DATED JANUARY 15, 2025, SECONDED BY COMMISSIONER BOWDOIN. COMMISSIONER FUNK REQUESTED THE LCRC REPORT TO BE ADDED TO THE MINUTES.

All in favor, motion passed 7-0.

6. **CALL TO THE PUBLIC:** None.

7. ZONING REVIEWS:

A. **Z-06-25: HARTLAND TOWNSHIP, AMENDMENTS TO ZONING ORDINANCE ARTICLES – ARTICLE 5.14.3.D, PRIVATE SWIMMING POOLS.**

Hartland Township is proposing to amend their zoning ordinance to allow in-ground swimming pools, in the front yard setback for waterfront homes. The front yard setback for waterfront homes is considered to be located between the water and the dwelling. The amendments include language for the required fencing around an inground pool.

Township Recommendation: Approval. The Hartland Township Planning Commission held a work session September 26, 2024; to discuss the proposed amendments, the consensus was to amend the zoning ordinance. The Hartland Township Planning Commission recommended approval for the proposed amendments at their public hearing on January 23, 2024.

Staff Recommendation: Approval. The proposed text amendments are appropriate and consistent with existing zoning language. Staff encourages the township to consider all staff comments prior to final adoption.

Commission Discussion: Commissioner Ikle inquired about water removal from pools and weather there are considerations for non-point pollution near other water bodies. Troy Langer, Hartland Township Planning Director, clarified that EGLE monitors and enforces issues related to such issues. Commissioner Funk also questioned the issue and the need for Township monitoring. Commissioner Anderson asked about fencing around in-ground pools.

Public Comment: None.

Commission Action

Commissioner Action: IT WAS MOVED BY COMMISSIONER BOWDOIN TO RECOMMEND APPROVAL, SECONDED BY COMMISSIONER BURKHOLDER.

Motion passed: 7-0.

B. **Z-07-25: GENOA TOWNSHIP, REZONING: AG AGRICULTURE TO LDR, LOW DENSITY RESIDENTIAL, WITH A RPUD, RESIDENTIAL PLANNED UNIT DEVELOPMENT OVERLAY, IN SECTION 23.**

Current Zoning: AG AGRICULTURE

Proposed Zoning: RPUD RESIDENTIAL PLANNED UNIT DEVELOPMENT (OVERLAY)

Section: Section 23

Township Master Plan: Genoa Township's Master Plan splits the subject area into two categories, described below:

Low Density Residential (77 acres, western portion of site): This designation is for single family residential development located between rural residential areas and the more developed areas of the Township. While these areas are not planned for sewer service, they have fewer environmental constraints found in the Rural Residential. These areas are only intended for residential uses or small-scale neighborhood-serving non-residential uses. Single family residential uses within these areas will be located on lots of at least 1 acre in size.

Large Lot Rural Residential (51 acres, eastern portion of site): This designation identifies areas to be developed as single family residential on large lots. Many of the areas have significant natural limitations such as wetlands or severe soil limitations and are not planned for sanitary sewer. These areas are only intended for residential uses or small-scale neighborhood-serving non-residential uses. This classification is recommended for single family residences on lots no smaller than 2 acres or clustered development with a net density of 1 unit per acre.

Township Planning Commission Recommendation: Approval. The Genoa Township Planning Commission recommended approval at their January 13, 2025, meeting. There were two prior Planning Commission meetings to review this case. Commissioner discussion included: screening, wetland protection, density of the development, providing active recreation and traffic studies. Public comments included: traffic concerns, potential future well issues, tree removal, runoff, and preservation of the wetlands.

Staff Recommendation: Approval. The proposed rezoning from Agriculture (AG) to Low Density Residential (LDR) with a Residential Planned Unit Development (RPUD) Overlay using cluster option (10.03.01(d)), is compatible with surrounding land uses and compatible with the Township Master Plan.

Commission Discussion: Commissioner Ikle asked about the egress to east near Challis Road. The applicant explained this as an emergency exit as required by the local fire department. There were also questions regarding the lots adjacent to the railroad tracks and any potential safety elements.

Public Comment: None.

Commission Action:

Commissioner Action: IT WAS MOVED BY COMMISSIONER FUNK TO RECOMMEND APPROVAL, SECONDED BY COMMISSIONER IKLE.

Motion passed: 7-0.

**C. Z-08-25: HOWELL TOWNSHIP REZONING:
I, INDUSTRIAL TO IFZ - INDUSTRIAL FLEX ZONE, IN SECTION 28.**

Current Zoning: I INDUSTRIAL

Proposed Zoning: IFZ INDUSTRIAL FLEX ZONE

Section: Section 28

Township Master Plan: The Howell Township Future Land Use Map (2022) designates the subject parcel as Industrial Flex. The Township Master Plan states the following regarding the Industrial Flex future land use classification:

This area is intended to be flexible with regard to specific uses that might be permitted while being more prescriptive with regard to design and quality of development. It is recognized that some of the uses permitted in the industrial and commercial districts could be compatible land uses. The flexibility of the district is intended to foster economic development, create employment opportunities, and increase tax base by promoting development or redevelopment of land that is adjacent to existing industrial and commercial uses....

The property is located along a highly industrial area of N. Burkhart Road and Hydraulic Drive with numerous existing industrial land uses that are already well established including electrical services, tool repair, auto collision repair, and outdoor storage. The subject property is master planned as industrial flex with industrial and highway commercial future land use categories nearby that parallel the intentions of the Howell Township Master Plan.

The proposed rezoning is compatible with the goals and objectives of the Howell Township Master Plan and a rezoning to Industrial Flex is appropriate for the subject parcel.

Township Planning Commission Recommendation: Approval. The proposed rezoning was approved at the January 28, 2025, public hearing. There were no major comments indicated in the draft meeting minutes from the January 28, 2025, public hearing.

Staff Recommendation: Approval. The proposed rezoning from I (Industrial) to IFZ (Industrial Flex Zone) is consistent with the overall goals and objectives of the 2022 Howell Township Master Plan and the Livingston County Comprehensive Plan.

Commission Discussion: None.

Public Comment: None.

Commission Action:

Commissioner Action: IT WAS MOVED BY COMMISSIONER IKLETO RECOMMEND APPROVAL, SECONDED BY COMMISSIONER GALBRAITH.

Motion passed: 7-0.

8. OLD BUSINESS: None.

9. NEW BUSINESS:

A. Livingston County Citizen Planner Training for Local Officials: A brief overview was provided on the citizen planner training that is beginning on March 6, 2025.

10. REPORTS:

11. COMMISSIONERS HEARD AND CALL TO THE PUBLIC: Commissioner Bowdoin expressed gratitude to Commissioner Funk for getting trees removed near the Fowlerville Post Office. Commissioner Bowdoin also discussed MDARD Scholarships are available for graduating students this year and many go unclaimed.

12. ADJOURNMENT:

Commissioner Action: IT WAS MOVED BY COMMISSIONER CALL TO ADJOURN THE MEETING AT 7:10 PM, SECONDED BY COMMISSIONER BURKHOLDER.

Motion passed: 7-0.



Board of Trustees

William J. Fountain, Supervisor
Larry N. Ciofu, Clerk
Kathleen A. Horning, Treasurer

Brett J. Lubeski, Trustee
Summer L. McMullen, Trustee
Denise M. O'Connell, Trustee
Joseph M. Petrucci, Trustee

RESOLUTION NO. 25-_____

**RESOLUTION TO ADOPT ORDINANCE NO. _____,
ORDINANCE TO AMEND ZONING ORDINANCE SECTION 5.14.3D.
ORDINANCE NO. _**

IN-GROUND SWIMMING POOLS IN FRONT YARD OF WATERFRONT LOTS

At a regular meeting of the Township Board of Hartland Township, Livingston County, Michigan, held at the Township Hall in said Township on _____, at 7:00 pm.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____ and seconded by _____.

WHEREAS, the Michigan Zoning Enabling Act, as amended, authorizes a Township Board to adopt, amend, and repeal a Zoning Ordinance and/or sections within the Zoning Ordinance, which regulate the public health, safety, and general welfare of persons and property; and

WHEREAS, Section 5.14.3.D. of the Township Zoning Ordinance outlines the standards for private swimming pools, including the fence requirements; and

WHEREAS, the Township has determined that it is in the best interests of the public health, safety, and welfare to amend the existing language in the Zoning Ordinance to permit

in-ground swimming pools and required fencing in the front yard area, between a single family house, and the waterfront; and

WHEREAS, the Township Planning Commission held a public hearing for comment on the proposed amendment on January 23, 2025; and

WHEREAS, the Township Planning Commission recommended approval of the proposed amendment at the January 23 ,2025 regular meeting; and

WHEREAS, the Livingston County Planning Commission recommended approval of the proposed amendment at their February 19, 2025, regular meeting; and

WHEREAS, the Township Board has determined that amending the Zoning Ordinance, as presented, is in the best interest of the public health, safety, and welfare of the Township residents.

THEREFORE, be it resolved by the Board of Trustees of the Township of Hartland, Livingston County, Michigan, as follows:

1. The Ordinance attached at Exhibit A, (“Ordinance”), Ordinance No. _____, Ordinance to Amend Zoning Ordinance Section 5.14.3.D., Private Swimming Pools, as outlined in Ordinance No. ____.
2. The Ordinance shall be filed with the Township Clerk.
3. The Township Clerk shall publish the Ordinance, or a summary of the Ordinance, in a newspaper of general circulation in the Township as required by law.
4. Any resolution inconsistent with this Resolution is repealed, but only to the extent necessary to give this Resolution full force and effect.

A vote on the foregoing resolution was taken and was as follows:

YEAS: _____

NAYS: _____

STATE OF MICHIGAN)

COUNTY OF LIVINGSTON)

I, the undersigned, the duly qualified and acting Township Clerk of the Township of Hartland, Livingston County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and complete copy of certain proceedings taken by Board of said Township at a regular meeting held on the ___ day of _____, 2025.

Larry N. Ciofu, Hartland Township Clerk

EXHIBIT A

HARTLAND TOWNSHIP BOARD OF TRUSTEES
LIVINGSTON COUNTY, MICHIGAN
ZONING AMENDMENT NO. 25-001
ZONING ORDINANCE SECTION 5.14.3.D.i AND 5.14.3.D.iii,
THE HARTLAND TOWNSHIP
ZONING ORDINANCE

THE TOWNSHIP OF HARTLAND ORDAINS:

Section 1. Amendment of Section 5.14.3.D. of Township Zoning Ordinance.

- i. Location. Private swimming pools shall be permitted as an accessory use in the rear or side yard in residential districts, provided that pools in the side yard of parcels that are two (2) acres or smaller shall be screened from the road. Pools shall not be located in any road or utility right-of-way or easement, except as provided in this Section. Positive drainage shall be maintained in accordance with the Township's Engineering Design Standards. **In-ground swimming pools may be permitted between the single family house and the waterfront, on waterfront shore line properties, provided that the in-ground swimming pool complies with all other required setback requirements, lot coverage requirements, and other applicable zoning standards.**

- iii. Fencing. Private swimming pools shall be enclosed within a minimum four (4) foot high fence. All fences shall be subject to the requirements in Section 5.20. Entry shall be by means of a self-closing, self-latching gate. The latch shall be on the inside so that it is not readily available to children to open. Gates shall be securely locked when the pool is not in use. A fence shall not be required for pools that are wholly or partially above ground, provided that the wall of the pool is at least four (4) feet in height and that no ladder, deck or other structure provides access to the pool while it is unattended. **In-ground swimming pools on waterfront properties shall be permitted to install the required fencing around the pool area, with a height not to exceed the minimum required, and is located in between the single family house and waterfront.**

Section 2. Validity and Severability. Should any portion of this Ordinance be found invalid for any reason, such holding shall not be construed as affecting the validity of the remaining portions of this Ordinance.

Section 3. Repealer Clause. Any ordinances or parts of ordinances in conflict herewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 4: Effective Date. This Ordinance shall become effective immediately following publication.

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Site Plan/PD Application #25-003 – Highland Reserve Planned Development (PD) Amendment to the approved Preliminary PD Site Plan (SP/PD #23-008) and Amendment to the Highland Reserve Planned Development Agreement Final PD (SP/PD #24-006)

Date: March 4, 2025

Recommended Action

Move to Approval of the proposed amendment to the Highland Reserve Planned Development Agreement as outlined in the staff memorandum.

Approval of the Planned Development Agreement Amendment is based on the following findings:

1. The Township Board has determined the proposed amendment summarizes the proposed revisions to the approved site plan, which includes minor revisions to the development layout, changes to the total number of residential units, changes to the number of rental units and site condominium units, and an increase of the minimum side separation between rental homes.
2. The Township Board has determined that the proposed amendment is consistent with the intent of the plans and documents approved under SP/PD #23-008 (Preliminary PD) and SP/PD #24-006 (Final PD).
3. The proposed Amendment document shall be revised to address comments provided by the Township Attorney, as applicable.

Discussion

Applicant: Green Development Ventures, LLC

Site Description

The subject property is south of Highland Road and east of Hartland Glen Lane/Hartland Glen Golf Course, in Section 26 of the Township. Redwood Living Planned Development (Phase 1) has frontage along the west side of Hartland Glen Lane and is currently under construction. The subject parcel (Parcel ID #4708-26-200-002) is approximately 39.05 acres in size and zoned CA (Conservation Agricultural). The subject property is designated as Special Planning Area (SPA) on the 2020-2021 Comprehensive Plan and Future Land Use Map (FLUM) Amendment. The property is part of the M-59/Cundy/Hartland Glen Golf Course Special Planning Area.

Currently the property primarily consists of open fields which have historically been used for agricultural activities. Per the Wetland Delineation report submitted by the applicant (compiled by Fishbeck, dated May 19, 2023), three (3) wetland areas have been identified on the subject site. One wetland area is in the southeast corner. The other wetland area is on the west side of the parcel, and the third wetland area is in the northwest corner of the site. The applicant has not provided documentation that the wetland areas have been reviewed by the State of Michigan Department of Environment, Great Lakes, and Energy (EGLE) regarding their regulatory status or permit requirements.

Wooded areas occur along the M-59 boundary (west and northeast), and along the east and west sides of the property. A stand of trees exists in the southwest corner of the site.

The property to the south is part of Hartland Glen Golf Course, addressed as 12400 Highland Road and is zoned CA (Conservation Agricultural).

To the east, is property that has been historically associated with the Newberry Place Planned Development project, which is zoned CA (Conservation Agricultural). The property is undeveloped currently.

Per the site plan, access to the site is via Highland Road, a public road, which is under the jurisdiction of the Michigan Department of Transportation (MDOT).

An additional road connection is shown from Hartland Glen Lane, west of the subject site. Hartland Glen Lane was never formally approved as a private roadway and would be considered a non-conforming roadway. Historically this roadway has been the only access route to the clubhouse, golf course, and parking associated with Hartland Glen Golf Course. The approved plans for Redwood Living PD (SP PD #21-005 and SP PD #22-003) shows Hartland Glen Lane as paved (asphalt surfacing), twenty (20) feet wide, and without curb and gutter. Redwood Living PD has two (2) access points from Hartland Glen Lane. An access easement for ingress and egress was required as part of the Final PD documents, allowing Highland Reserve PD to take access from Hartland Glen Lane. The access easement is part of the Highland Reserve Planned Development Agreement, which was executed and recorded in December 2024.

Municipal water and sanitary sewer will be required for this project.

The Planning Commission reviewed this request at their February 27, 2025, regular meeting. The Planning Commission approved the Site Plan Amendment and recommended approval of the Amendment to the Planned Development Agreement.

Site History

Per Township records, the property was occupied by a residential home and addressed as 12690 Highland Road. The records do not indicate when the house was constructed. The house and detached building were demolished in 2000, under Land Use Permit #5344. The Township Assessing records indicate the property has been leased for agricultural purposes since 2007.

Historically, plans for Newberry Place Planned Development have included the subject property as part of that development, under several applications from 2007 to 2016 (Newberry West). Conversely, other development plans for Newberry Place PD did not include this property. The Preliminary PD for Newberry Place PD was approved by the Township Board on July 6, 2021, under SP/PD #20-012, and did not include the subject property.

Site Plan/PD Application #23-003 Highland Reserve Planned Development – Concept Plan

The Concept PD Plan was discussed under SP/PD Application #23-003. The Planning Commission reviewed the project on March 23, 2023, which was followed up by the Township Board's review on April 4, 2023.

Site Plan/PD Application #23-008 Highland Reserve Planned Development – Preliminary Plan

The Preliminary PD Plan for Highland Reserve PD was reviewed by the Planning Commission on September 28, 2023, under SP/PD #23-008. A public hearing for the proposed project was held on that date and the Planning Commission recommended approval. The Township Board approved SP/PD #23-008 at their regular meeting on October 10, 2023.

Site Plan/PD Application #24-006 Highland Reserve Planned Development – Final Plan

On June 27, 2024, the Planning Commission reviewed SP/PD #24-006 and recommended approval. The Township Board approved SP/PD #24-006 at their regular meeting on July 23, 2024.

Highland Reserve Planned Development Agreement

This document was executed in October 2024 and recorded on December 17, 2024

Overview of the Current Request – Amend Approved Preliminary PD Site Plan and PD Agreement

The current application includes two (2) different requests: a request to amend the previously approved Preliminary PD Site Plan and an amendment to the Highland Reserve Planned Development Agreement that addresses the revisions to the site plan. The requests are outlined below by topic.

Amend Preliminary PD Site Plan

The applicant has been in discussions with Planning staff in recent months regarding potential changes to the approved site plan, which in some measures were due to additional land area being dedicated for stormwater management within the west-central portion of the site, per the applicant. The redesign of the detention basin caused other changes to the site layout, which generally revolve around Phase 1 and the rental portion of the development. Additionally, the applicant has been in discussions with the Michigan Department of Transportation (MDOT) regarding improvements MDOT is requiring on eastbound Highland Road near the Cundy Road/Hartland Glen Lane intersection. Revisions were made to the plans to address these items which resulted in a request is to amend the plans approved under SP/PD #23-008 (Preliminary PD Site Plan).

The proposed site plan changes include the following:

- Abernethy Street connection to Hartland Glen Lane is now proposed as a temporary emergency vehicle access with an emergency gate, Knox Box, and temporary cul-de-sac turnaround.
- Three (3) development phases are shown for the project, the same number of phases as shown on the Preliminary Site Plan, however the phase lines have been modified
- Additional land was required to meet the stormwater management requirements of the Livingston County Drain Commission office. The land area devoted to stormwater management has increased from 1.04 acres to 1.91 acres.
- Previously approved Kirkwall Court has been eliminated and the area along the west side of Totegan Street (formerly Ardmore Avenue) has been converted to site condominium units.
- The building envelopes for the rental portion of the development along Abernethy Street have been changed to include a mix of standard 40-foot-wide home products and narrower 20-foot-wide home product. A Sample Portfolio of Homes is attached (for the rental portion of the project).
- Minimum side separation between the rental homes has increased from 10 feet (previously approved) to 15 feet. A sample sketch is provided showing the 15-foot separation.
- The total number of rental homes has decreased by 4 units, from 35 units previously approved, to 31 rental units proposed.

- The total number of site condominium units has increased by 5 units, from 66 units previously approved to 71 units proposed.
- The total number of residential units throughout the development has increased by 1 unit, from 101 units previously approved, to 102 units proposed (rental plus site condominium units)
- Total open space has increased by approximately 0.6 acres (15.72 acres previously approved; 16.32 acres proposed).
- Some of the street names have been changed.
- Modifications made to the lighting plan (streetlights) to coordinate with the revised site layout.
- Modifications made to the landscape plan to coordinate with the revised site layout.

Comments on the landscape plan

The same design standards for street trees that were used for the landscape plan approved under SP PD #24-006) are used for the amended site plan. The planting plan for the Greenbelt and berm along Highland Road has not changed since the previously approved plan.

The landscape requirements outlined in Section 5.11 of the Zoning Ordinance will be used for the stormwater detention basin. Final design details and grading plans for the detention basin will be provided on the Construction Plan set, including the required landscaping.

Amendment to the Highland Reserve Development Agreement (Draft version)

The applicant has provided a draft version of the Amendment to the Highland Reserve Planned Development Agreement. This document proposes revised language for applicable sections of the original PD Agreement to address the proposed changes to the Preliminary PD Site Plan. The final document shall be subject to the approval of the Township Attorney.

Approval Procedure

The proposed request to amend the approved Preliminary Site Plan is reviewed by the Planning Commission who will make a final decision on the site plan. The Planning Commission will review the proposed amendment to the Planned Development Agreement and make a recommendation to the Township Board, who will make the final decision.

Other Requirements-Zoning Ordinance Standards

Nothing at this time.

Hartland Township DPW Review

A review letter is provided from the Hartland Township DPW Director, dated January 27, 2025.

Township Engineer's Review

The Township Engineer (SDA) has reviewed the plans and recommends approval subject to items being addressed in the letter dated February 11, 2025.

Hartland Deerfield Fire Authority Review

No comments at this time.

Attachments –

1. Hartland Township DPW review letter dated 01.27.2025 – PDF version
2. Township Engineer (SDA) review letter dated 02.11.2025 – PDF version
3. Applicant’s cover letter dated 01.21.2025 – PDF version
4. Draft Amendment to Highland Reserve PD Agreement 01.02.2025 – PDF version
5. SP/PD #23-008 Prelim PD Staff Memorandum dated 09.21.2023 – PDF version
6. SP/PD #23-008 Prelim PD Approval letter dated 10.18.2023– PDF version
7. SP/PD #24-006 Final PD Approval letter dated 07.24.2024– PDF version
8. SP PD #23-008 Prelim PD Approved Site Plan 08.29.2023– PDF version
9. Rental Unit Separation Sketch – PDF version
10. Sample Portfolio of Homes for Rental Units – PDF version
11. Revised Plans dated 02.10.2025 – PDF version

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DEPARTMENT OF PUBLIC WORKS

Scott Hable, Public Works Director
2655 Clark Road
Hartland MI 48353
Phone: (810) 632-7498

TO: Planning Department
DATE: 1/27/2025
DEVELOPMENT NAME: Highland Reserve
PIN#: 4708-26-200-002
APPLICATION #: 25-003 Final Rev PD
REVIEW TYPE: Site Plan

Site Plans for the proposed Highland Reserve Development Site Plan proposes 102 single family homes and rental units in with 1 REU is required in Water and Sewer for each lot. Thus totaling 102 REU's for the proposed project. Currently the parcel has 67 Sewer REU's and 0 Water REU's, sufficient REU's will need to be purchased prior to development. The proposed plan also depicts a commercial use property on the corner of Hartland Glenn Dr and M59, once it is determined what may occupy that space the correct REU determination for that area can be provided. A previous review letter was sent with water REU district 1 pricing. New watermain has been installed in the time since which provides water to this area, and district 2 pricing has been adopted for areas east of Progressive Drive reflecting this project. This new water REU cost reflects those changes.

	Sewer REUs	Water REUs(Dist.2)
Owned	67	0
Required	102	102
REU Difference	35	102
Cost Each	\$9,439.20	\$6,829.67
Total Due Each	\$330,372.00	\$696,626.34
TOTAL REU COST	\$1,026,998.34	

Hartland Township Public Works approves the Highland Reserve Development site plan subject to inclusion of the following details on the construction plans:

1. Sanitary sewer material and sizes and connection detail sheet
2. Monitoring manhole for sewer connection and location if required
3. Utility easements noted as public or private.
4. All watermain and leads installed to meet Township specifications
5. Approval of the Livingston County Drain Commission.

Please feel free to contact me with any further questions or comments regarding this matter.

Scott Hable
Public Works Director

Site Plan Amendment Review

February 11, 2025

Troy Langer
Planning Director
Hartland Township, MI

Re: Highland Reserve – Site Plan Amendment Review
SDA Review No. HL22-127

Dear Troy:

We have received the site plan amendment submittal for the above referenced project prepared by The Umlor Group dated February 10, 2025 and received by our office on February 11, 2025. The plans were reviewed in accordance with Hartland Township Engineering Standards and the following comments are our observations.

Recommendation

Approval of the Site Plan Amendment is recommended, with items to be addressed before Final Engineering review approval.

Project Summary

- Construction of a Planned Development (PD) clustered residential site with 31 rental units and 71 condo units at 12685 Highland Road (M-59) east of US-23 on the south side of Highland Road. Site access would be provided via private streets with access drives from Highland Road (M-59) and Hartland Glen Lane. It is noted that the site is 39.05 acres.
The proposed project is divided into 3 phases.
 - Phase 1 : 1-20 condo units and R1-R31 rental units, and a proposed detention basin.
 - Phase 2: 21-45 condo units, usable open space, and playground.
 - Phase 3: 42-71 condo units.
 - A future commercial development shown in phase 1 as parcel area 2.1 acres will be developed by others.
- Water service would be provided by an 8-inch extension from the existing 12-inch water main on the west side of Hartland Glen Lane. The proposed water main connects near the proposed entrance of Abernethy Street at GV-5, loops around the proposed units and connects near the southwest corner of the parcel at GV-20. A domestic lead would be provided to serve the proposed units along with hydrants on-site.
- Sanitary sewer service would be provided by two connection points. A proposed 8-inch extension from the existing manhole (EX-40202) located on the south side of Highland Road to serve the northerly portion of the site. And an 8-inch extension from the existing 8-inch sanitary sewer on the west side of Hartland Glen Lane, near the southwest corner of the parcel to serve the southerly portion of the site. A lead would be provided to serve the proposed units.
- Storm water would be collected by a single storm sewer collection system and discharged to an on-site detention basin and existing wetlands.

General

1. The proposed project is currently under engineering review. The main changes to the latest reviewed construction plans include, number of units, removal of Kirkwall Court and all utilities along the road, layout change to the residential along Abernethy Street, and to the stormwater management system. There are significant changes to the proposed grading, paving and utilities that additional review fees may be required with the next submittals and this will be determined at a later date.

Water Main

1. Two EGLE Act 399 permit applications are currently pending revisions from EGLE's latest comments. One for the water main connection along Hartland Glen Lane, and the other one for all the phases of the Highland Reserve Project. There are significant changes to the main water layout, this would require re-review and approval prior to resubmittals to EGLE and it could potentially delay the issuance of permits by EGLE.

Storm Drainage & Site Grading

1. The land area devoted to stormwater management has increased in acreage by approximately 0.6 acres. A single detention basin is now proposed instead of two detention basins and infiltration swales. LCDC's current standards shall govern all storm sewer and detention improvements within the Township.

Paving

1. The Hartland Township details call out residential roads as 28' wide from back of curb to back of curb and a 60-foot-wide R.O.W with no sidewalks (detail 1B). The roads at this development were designed 30' wide and a 66-foot wide R.O.W. with sidewalks per County standards. Private roads and driveways shall meet the requirement of Hartland Township's Zoning Ordinance Article 30.00, unless amended herein. The private road ordinance states that LCRC requirements must be met when serving greater than 25 units.
2. Abernethy Street connection to Hartland Glen Lane is now proposed as a temporary emergency vehicle access with an emergency gate, knox box and temporary cul-de-sac turnaround. Per the private zoning ordinance, the cul-de-sac shall be a minimum of 50 feet radius and a minimum 60 feet ROW radius. The temporary cul-de-sac turnaround is indicated as 42 feet radius, engineering does not have objections since it is a temporary turnaround, but it is conditional to the approval of the Fire Department.

Sanitary Sewer

1. All sanitary sewer design requirements are to follow current Livingston County Drain Commissioner's (LCDC) standards and details. LCDC sanitary sewer detail sheets shall be attached to the proposed plans when applicable.

Please be aware that additional comments may arise with the submittal of the requested revisions and/or additional information.

The comments are not to be construed as approvals and are not necessarily conclusive. The final engineering plans for this development are to be prepared in accordance with the Current Design and Engineering Standards, Standard Details, and Code of Ordinances. If you have any questions regarding this letter, please contact Mark Collins or Luisa Amici at (248) 844-5400 with any questions.

Sincerely,
SPALDING DEDECKER



Luisa Amici
Engineer



Mark Collins, PE
Project Manager

cc: Scott Hable, Hartland Township Public Works Director (via email)
Martha Wyatt, Hartland Township Planner – Landscape Architect (via email)

Green Development Ventures, LLC
2186 East Centre Avenue
Portage, MI 49002

February 10, 2025

Troy Langer, Planning Director
Hartland Township
2655 Clark Road
Hartland, Michigan 48353

Re: Highland Reserve – Revised Final PD Plan (Minor Change), 12685 Highland Road (39 acres, Parcel #08-26-200-002)

Dear Troy,

As previously discussed, attached please find the revised Final PD Plan submittal for the Highland Reserve project. The proposed changes to the previously approved Final PD Plan revolve primarily around Phase 1 and the rental portion of the project, along with the Abernethy Street connection to Hartland Glen Lane. A summary of the proposed changes is provided below:

- Previously approved Kirkwall Court has been eliminated and the area along the west side of Ardmore Avenue has been converted to site condominium units.
- Building “envelopes” within the rental portion of the project along Abernethy Street have been changed to include a mix of standard 40 foot wide home product and narrower 28 foot wide home product. A Sample Portfolio of Homes is attached.
- Minimum side separations between the rental homes has been increased to 15 feet (10 feet previously approved). A sample sketch of these rental homes and separations is attached.
- Total number of rental homes has decreased by four units (35 units – previously approved; 31 units – proposed).
- Total number of site condominium units has increased by five units (66 units – previously approved; 71 units – proposed).
- Total number of units throughout the entire development has increased by one (101 units – previously approved; 102 units – proposed).
- Increase in total open space area by approximately 0.6 acre (15.72 acres – previously approved; 16.32 acres – proposed).
- Abernethy Street connection to Hartland Glen Lane is now proposed as a temporary emergency vehicle access with an emergency gate, knox box and temporary cul-de-sac turnaround.

The primary purpose for these changes is to provide additional land area for storm water management with the west-central portion of the site, as required by the Livingston County drain commissioner. As shown on the revised plans, the land area devoted to storm water management has increased from 1.04 acre to 1.91 acre.

The Abernethy Street gated emergency vehicle connection to Hartland Glen Lane is proposed as a temporary access arrangement until such time that a cost sharing agreement with Redwood and the Hartland Glen Golf Course is reached and a right-turn lane is installed in eastbound M-59 at the Hartland Glen/Cundy Road intersection, as required by MDOT. Once this cost sharing agreement is reached and the right-turn lane constructed, the emergency vehicle gate and temporary cul-de-sac will be removed and the Abernethy Street connection with Hartland Glen Lane will become a permanent full-service connection.

If you have any questions or require additional information, please contact me at your earliest convenience.

Sincerely,



Michael West, AICP
Land Planning Manager
Green Development Ventures, LLC
2186 East Centre Avenue
Portage, Michigan 49002
(269) 365-8548
mwest@allenedwin.com

**AMENDMENT TO HIGHLAND RESERVE
PLANNED DEVELOPMENT AGREEMENT**

This Amendment (the "Amendment") made this _____ day of _____, 2025, by and between the **TOWNSHIP OF HARTLAND**, a Michigan municipal corporation (the "Township"), whose address is 2655 Clark Rd., Hartland Michigan 48353, and **GREEN DEVELOPMENT VENTURES LLC**, a Michigan limited liability company (the "Applicant"), whose address is 2186 East Centre Avenue, Portage, MI 49002.

RECITALS

A. On October 20, 2024, the Township and Applicant entered into a Planned Development Agreement (the "Agreement") for the development an approximately 39 acres of real property located at 12685 Highland Road (Parcel ID #4708-26-200-002), Hartland Township, Livingston County, MI 48353 (the "Property") for development of the Highland Reserve single family residential community (the "Development"). The Property is more fully and legally described in **Exhibit "A"**.

B. The Agreement was recorded as Instrument No. 2024R-023121, Livingston County Records, on December 17, 2024.

C. Township and Applicant are the current parties to the Agreement.

D. The purpose of the Amendment is to amend the Final Plans detailed in **Exhibit "B"** and to provide for the additional amendments set forth herein.

NOW, THEREFORE, it is hereby agreed as follows:

1. Paragraph 2. **Permitted Uses** of the Agreement provides as follows:

Permitted Uses. Uses set forth herein or identified on the Final Plans are permitted and are lawful ("Permitted Uses"). The Final Plans depict the proposed residential portion of the PD consisting of 101 single family detached homes on approximately 37 acres in the following development pattern: 66 site condominium subdivision units and 35 rental homes. Single family dwellings will consist of a mixture of two-story, ranch and bi-level style homes ranging between 1,250-3,000 square feet in size with 3-5 bedrooms, 2-3 bathrooms and an attached 2-3 car garage. Driveways for each unit will be a minimum 25 feet long, as measured from the leading edge of the home to the edge of sidewalk, to accommodate residents parking two (2) vehicles and so as not to impede with the accessible sidewalk along the road. Vehicular access to the development will occur from Highland Road (M-59) via Lockerbee Lane and from Hartland Glen Lane via Abernathy Street. All residential units will be served by an internal network of private roads. All uses and structures accessory to the above uses are also considered Permitted Uses, such as temporary construction trailers, recreation uses, and maintenance.

2. Upon execution and recording of this Amendment of the Agreement, the original Paragraph 2. **Permitted Uses** will be superseded and amended as follows:

Permitted Uses. Uses set forth herein or identified on the Final Plans dated January 18, 2025 (see **Exhibit “B”**) are permitted and are lawful ("Permitted Uses"). The Final Plans depict the proposed residential portion of the PD consisting of 102 single family detached homes on approximately 37 acres in the following development pattern: 71 site condominium subdivision units and 31 rental homes. Single family dwellings will consist of a mixture of two-story, ranch and bi-level style homes ranging between 1,250-3,000 square feet in size with 3-5 bedrooms, 2-3 bathrooms and an attached 2-3 car garage. Driveways for each unit will be a minimum 25 feet long, as measured from the leading edge of the home to the edge of sidewalk, to accommodate residents parking two (2) vehicles and so as not to impede with the accessible sidewalk along the road. Vehicular access to the development will occur from Highland Road (M-59) via Lockerbee Lane and from Hartland Glen Lane via Abernathy Street. All residential units will be served by an internal network of private roads. All uses and structures accessory to the above uses are also considered Permitted Uses, such as temporary construction trailers, recreation uses, and maintenance.

3. Paragraph 4a. **Site and Architectural Standards – Residential Density** of the Agreement provides as follows:

Residential Density. One hundred and one (101) single family dwelling units are proposed and allowed on the Property. Any requested increase in residential density must be approved by the Planning Commission and Hartland Township Board, in their sole discretion.

4. Upon execution and recording of this Amendment of the Agreement, the original Paragraph 4a. **Site and Architectural Standards – Residential Density** will be superseded and amended as follows:

Residential Density. One hundred and two (102) single family dwelling units are proposed and allowed on the Property. Any requested increase in residential density must be approved by the Planning Commission and Hartland Township Board, in their sole discretion.

5. Paragraph 4c. **Minimum Setback and Separation Standards – Rental Community** of the Agreement provides as follows:

Rental Community	
Front Setback	80 feet (Highland Road) 35 feet (Hartland Glen Lane) 25 feet (Interior Private Streets)
Rear Setback	NA
Side Separation	10 feet (between homes)

6. Upon execution and recording of this Amendment of the Agreement, the original Paragraph 4c. **Minimum Setback and Separation Standards – Rental Community** will be superseded and amended as follows:

Rental Community	
Front Setback	80 feet (Highland Road) 35 feet (Hartland Glen Lane) 25 feet (Interior Private Streets)
Rear Setback	NA
Side Separation	15 feet (between homes)

IN WITNESS WHEREOF, the parties have caused this Amendment to be executed on the day and year recited above.

[SIGNATURES ON THE FOLLOWING PAGES]

SIGNATURE PAGE OF THE TOWNSHIP

TOWNSHIP OF HARTLAND,
a Michigan municipal corporation

By: _____
Its: _____

By: _____
Its: _____

ACKNOWLEDGEMENT

STATE OF MICHIGAN)
) ss
COUNTY OF LIVINGSTON)

The foregoing Planned Development Agreement Outline was acknowledged before me by _____, _____, and _____, _____, on behalf of the Township of Hartland on the _____ day of _____, 2025.

Notary Public
State of Michigan, County of _____
My Commission Expires: _____
Acting in the County of _____

Prepared by:

when recorded, return to:

SIGNATURE PAGE OF THE APPLICANT

GREEN DEVELOPMENT VENTURES LLC, a Michigan limited liability company

By: _____

Name:

Its:

STATE OF MICHIGAN)
) ss
COUNTY OF KALAMAZOO)

ACKNOWLEDGEMENT

The foregoing instrument was acknowledged before me this _____ day of _____, 2025 by _____, _____ of Green Development Ventures LLC, a Michigan limited liability company.

Notary Public
State of Michigan, County of _____
My Commission Expires: _____
Acting in the County of _____

EXHIBIT "A"

PROPERTY DESCRIPTION

PROPERTY DESCRIPTION: Land situated in the Township of Hartland, County of Livingston in the State of Michigan and described as follows: A part of the West 1/2 of the Northeast 1/4 of Section 26, Town 3 North, Range 6 East, Hartland Township, Livingston County, Michigan, more particularly described as commencing at the North 1/4 corner of said Section 26 for a point of beginning; thence North 86 degrees 38 minutes 50 seconds East, 99.75 feet along the North line of said Section 26, to a point on the Southerly right-of-way of M-59 Highway; thence 622.15 feet along a curve to the left, said curve having a radius 3879.71 feet, a central angle of 09 degrees 11 minutes 16 seconds and a chord bearing and distance of South 88 degrees 47 minutes 24 seconds East, 621.48 feet, along the Southerly right-of-way of said M-59 Highway; thence North 86 degrees 36 minutes 57 seconds East, 95.52 feet, along Southerly right-of-way of said M-59 Highway; thence North 02 degrees 39 minutes 24 seconds West 10.00 feet, along Southerly right-of-way line of said M-59 Highway; thence North 86 degrees 36 minutes 57 seconds East, 286.00 feet, along Southerly right-of-way of said M-59 Highway; thence South 02 degrees 39 minutes 24 seconds East, 10.00 feet along Southerly right-of-way of said M-59 Highway; thence North 86 degrees 36 minutes 57 seconds East, 210.00 feet, along Southerly right-of-way of said M-59 Highway; thence South 02 degrees 39 minutes 24 seconds East, 1282.07 feet; thence South 86 degrees 41 minutes 45 seconds West, 1315.86 feet to a point on the North and South 1/4 line of said Section 26; thence North 02 degrees 27 minutes 46 seconds West, 1330.13 feet along said North and South 1/4 line of said Section 26, to the point of beginning.

TAX ID# 4708-26-200-002

EXHIBIT "B"
FINAL PLAN SET
(dated January 18, 2025)

Hartland Township Planning Commission Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Site Plan/PD Application #23-008, Highland Reserve Planned Development (PD) – Preliminary Site Plan

Date: September 21, 2023

Recommended Action

Move to recommend approval of Site Plan/PD #23-008, the Preliminary Planned Development Site Plan for Highland Reserve Planned Development as outlined in the staff memorandum dated September 21, 2023.

Approval is subject to the following conditions:

1. The Preliminary Planned Development Site Plan for Highland Reserve Planned Development, SP/PD #23-008, is subject to the approval of the Township Board.
2. Waiver request for the substitution of evergreen trees for 50% of the required canopy trees in the greenbelt area of the residential section of the planned development along Highland Road, is approved.
3. Waiver request to deviate from the Livingston County Road Commission design standards regarding the roadway surface width for a private road, is approved.
4. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated September 21, 2023, on the Construction Plan set, subject to an administrative review by Planning staff prior to the issuance of a land use permit.
5. As part of the Final Plan Review, the applicant shall provide a Planned Development (PD) Agreement that includes any access and maintenance agreements. Access and maintenance agreements will be required for the use of the Hartland Glen Lane and future road connections to the east (via Melsetter Street) and south (via Ardmore Avenue). The documents shall be in a recordable format and shall comply with the requirements of the Township Attorney.
6. Applicant complies with any requirements of the Township Engineering Consultant, Department of Public Works Director, the Fire Code requirements, and all other government agencies, as applicable.
7. (Any other conditions the Planning Commission deems necessary).

Discussion

Applicant: Michael West

Site Description

The subject property is south of Highland Road and east of Hartland Glen Lane/Hartland Glen Golf Course, in Section 26 of the Township. Redwood Living Planned Development has frontage along the west side of Hartland Glen Lane and is currently under construction. The subject parcel (Parcel ID #4708-26-200-002) is approximately 39.05 acres in size and zoned CA (Conservation Agricultural). The subject property is designated as Special Planning Area (SPA) on the 2020-2021 Comprehensive Plan and Future Land Use Map (FLUM) Amendment. The property is part of the M-59/Cundy/Hartland Glen Golf Course Special Planning Area.

Currently the property primarily consists of open fields which have historically been used for agricultural activities. Per the Wetland Delineation report submitted by the applicant (compiled by Fishbeck, dated May 19, 2023), three (3) wetland areas have been identified on the subject site. One wetland area is in the southeast corner. The other wetland area is on the west side of the parcel, and the third wetland area is in the northwest corner of the site. The applicant has not provided documentation that the wetland areas have been reviewed by the State of Michigan Department of Environment, Great Lakes, and Energy (EGLE) regarding their regulatory status or permit requirements.

Wooded areas occur along the M-59 boundary (west and northeast), and along the east and west sides of the property. A stand of trees exists in the southwest corner of the site.

The property to the south is part of Hartland Glen Golf Course, addressed as 12400 Highland Road and is zoned CA (Conservation Agricultural).

To the east, is property that has been historically associated with the Newberry Place Planned Development project, which is zoned CA (Conservation Agricultural). The property is undeveloped currently.

Per the site plan, access to the site is via Highland Road, a public road, which is under the jurisdiction of the Michigan Department of Transportation (MDOT).

An additional road connection is shown from Hartland Glen Lane, west of the subject site. Hartland Glen Lane was never formally approved as a private roadway and would be considered a non-conforming roadway. Historically this roadway has been the only access route to the clubhouse, golf course, and parking associated with Hartland Glen Golf Course. The approved plans for Redwood Living PD (SP PD #21-005 and SP PD #22-003) shows Hartland Glen Lane as paved (asphalt surfacing), twenty (20) feet wide, and without curb and gutter. Redwood Living PD has two (2) access points from Hartland Glen Lane. An access easement for ingress and egress would be required as part of the Final PD documents, allowing Highland Reserve PD to take access from Hartland Glen Lane.

Municipal water and sanitary sewer will be required for this project.

Site History

Per Township records, the property was occupied by a residential home, and addressed as 12690 Highland Road. The records do not indicate when the house was constructed. The house and detached building were demolished in 2000, under Land Use Permit #5344. The Township Assessing records indicate the property has been leased for agricultural purposes since 2007.

Historically, plans for the Newberry Place Planned Development have included the subject property as part of that development, under several applications from 2007 to 2016 (Newberry West). Conversely, other development plans for Newberry Place PD did not include this property. The Preliminary PD for Newberry Place PD was approved by the Township Board on July 6, 2021, under SP/PD #20-012, and did not include

the subject property.

Site Plan/PD Application #23-003 Highland Reserve Planned Development – Concept Plan

The Concept PD Plan was discussed under SP/PD Application #23-003. The Planning Commission reviewed the project on March 23, 2023, which was followed up by the Township Board’s review on April 4, 2023.

Planned Development Procedure

Section 3.1.18 of the Township’s Zoning Ordinance provides standards and approval procedures for a PD (Planned Development). Approval of a Planned Development is a three-step process. A Concept Plan, Preliminary Plan, and Final Plan are all reviewed by the Planning Commission and the Township Board, with the Planning Commission making a recommendation and the Board having final approval at each step. The process usually requires a rezoning from the existing zoning district to the Planned Development (PD) zoning district. As part of the rezoning, a public hearing is held before the Planning Commission consistent with the Michigan Zoning Enabling Act; this public hearing is held at the same meeting during which the Planning Commission reviews and makes a recommendation on the Preliminary PD. Approval of the Final Plan by the Township Board usually constitutes a rezoning of the subject property to PD (Planned Development).

Given the requirements for publishing a notice for the planned development, the public hearing has been scheduled for the September 28, 2023 Planning Commission meeting. Approval of the Final Plan by the Township Board usually constitutes a rezoning of the subject property to PD (Planned Development).

For all intents and purposes, the Preliminary Plan step is essentially the same as a preliminary site plan review for a conventional project in the Township. All the information and details required for a preliminary site plan approval must be provided for the Preliminary PD review and approval. Final PD review will involve detailed plans for those phases for which construction is intended to begin immediately, review of the Planned Development Agreement, and other written documents as applicable.

Overview of the Preliminary Plan and Proposed Uses

Currently the subject site (39.05 acres) is zoned CA (Conservation Agricultural). The proposed planned development is comprised of two (2) proposed parcels of land with two (2) different uses. An approximate 2.1-acre parcel, in the northwest corner of the site, is designated as Future Commercial Development. To be noted, the Project Narrative and Pattern Book dated August 31, 2023 (revised), states the parcel area as 1.9 acres in size.

The remaining portion of the property, approximately 36.95 acres, is shown as a single-family residential development with a total of one hundred and one (101) detached single-family homes. Thirty-five (35) of the detached homes are homes for rent. Sixty-six (66) homes are detached, single-family condominium units, as part of a site condominium development. The Concept Plan had shown sixty-five (65) condominium units. The residential portion of the project area is slightly different than the Concept Plan, regarding the layout of the residential units (rental and condominium units). The street plan is generally the same as the Concept Plan.

Following is a discussion of each component of the Planned Development.

Future Commercial Development Area

Per the applicant, the current landowner (Lexington Homes, LLC) intends to retain the northwest corner for a commercial project, essentially proposing to go through a land division process to create that parcel. The submitted plans do not show specific development plans for this parcel; essentially the proposed parcel

is considered a place holder for commercial use(s) to be determined. The commercial development area is part of the proposed planned development.

Per the Project Narrative, the applicant specifically proposes the following uses for the commercial parcel, which are based on uses listed in Section 3.1.14 of the Zoning Ordinance (GC- General Commercial):

- Gasoline station/convenience store
- Fast-food restaurant with drive-through service
- Retail center
- Professional/medical offices
- Financial institution
- Personal service establishment
- Child care center
- Personal fitness center
- Restaurant

These will be considered permitted principal uses, specifically for this planned development, even though some are listed as special land uses in Section 3.1.14 (GC). Future development plans for commercial area will be reviewed by the Planning Commission as a Site Plan application, and the plans will be subject to the approval of the Planning Commission. None of the proposed uses are considered a Special Land Use.

The applicant states the commercial site is to be developed using the GC (General Commercial) zoning standards and all applicable design standards in the Zoning Ordinance such as landscaping, lighting, architecture, building materials, parking, and signage. Staff has concerns about setbacks and other required design guidelines if using the GC standards and/or standards for a specific use.

Single-Family Residential Development

The remaining portion of the site, approximately 36.95 acres, is shown as a single-family residential development with a total of one hundred and one (101) detached single-family homes. Thirty-five (35) of the detached homes are homes for rent. The rental homes are situated along the northern portion of the site, along Highland Road frontage, and in the central area, generally on the west side of the residential development.

The remainder of the property will be developed as a site condominium subdivision with sixty-six (66) detached owner-occupied, single-family residential condominium units. The Concept Plan had shown sixty-five (65) condominium units, for a total count of 100 residential units.

The plan shows three (3) development phases for the residential portion of the project, which are summarized below:

Phase #	#Rental units	#Site condo units
Phase 1	25	6
Phase 2	10	34
Phase 3	0	26
TOTAL UNITS	35	66

Several housing options are available for both the rental and condominium units, and include a single-story ranch, two-story and/or bi-level homes. Individual floor plans range between 1,250 to 2,800 square feet in size. Options include homes with 3-4 bedrooms, 2-3 bathrooms, and an attached two-car or three-car garage.

Product information on the building materials is found in the Sample Portfolio of Houses and in Exhibit G.

For the rental homes, the plan states the typical unit envelope as fifty (50) feet wide and sixty-five (65) feet long, however there are some dimensional variations in unit sizes. Sheet 5 in the plan set has a chart listing the size of each rental unit envelope. The rental unit envelopes are all on the same parcel thus there are no true setbacks from a property line. The applicant has stated the rental units will not be permitted to have detached accessory structures, play structures, or boats according to the rental agreement. The assumption is that the residential structure, deck, and patios will be contained within the rental unit envelope.

Exhibit A of the Project Narrative (Sample Sketches) shows sample sketches of rental unit envelopes with varying sizes of houses, garages (2-stall or 3-stall), and features such as decks or patios. The distance between two (2) adjacent structures is stated. All elements are placed within the unit envelope. The driveway and front sidewalk extend beyond the unit envelope.

The minimum lot size within the condominium subdivision is shown as 60 feet wide by 120 feet long, and approximately 7,200 square feet in area. The largest lot size is approximately 12,978 square feet.

Exhibit A of the Project Narrative (Sample Sketches) also has sample sketches of condominium units, with varying sizes of the house, garage, deck, and patio. All site elements are shown within the building envelope. The building envelope is defined by the building setbacks. The distance between adjacent structures is stated on the sample sketches and varies from 10 feet to 22.7 feet depending on the size of the condominium unit (lot) and design details (house footprint size; 2 or 3-stall garage option). Exhibit B contains aerial and street photographs of similar residential developments in other cities. Distances between structures are stated. Exhibits A and B are intended to show possible site layout scenarios for the rental or condominium units.

Sheet 5 of the site plans shows a drawing of a typical condominium lot with setbacks that define the building envelope (Typical Site Condo Unit Detail). A drawing is also provided on Sheet 5 for a Typical Rental Unit, with separation requirements stated.

Rental Unit - Setbacks and Building Separation Requirements:

Interior Streets: 25 feet (measured from street ROW to leading edge of unit envelope)
Highland Road: 80 feet (Unit #1-13; measured from ROW to edge of unit envelope)
Side: 10 feet (minimum 10-foot separation between buildings, measured side-to-side)
Rear: Not Applicable
Separation: 40 feet (minimum 40-foot separation between buildings, measured back-to-back)
(All structures, patios, decks, and other site improvements are to be placed within the rental unit envelope, except driveways and sidewalks)

Condominium Unit – Building Setbacks/Building Envelope:

Front: 25 feet
Side: 5 feet
Rear: 20 feet
(All structures, patios, decks, in-ground pools, and other site elements are to be placed within the building envelope, except driveways and sidewalks)

Lot coverage. Lot coverage is not stated on the plans. All structures and site elements are to be built within the rental unit envelope or within the buildable area of a site condominium unit, with the exception of driveways and sidewalks (from house to street). Site elements include hard surfacing (concrete patios, paver

patios, sidewalks, pool apron), deck, shed, pools, pavilion, gazebo, and other built structures.

Other Development Features

Internally, vehicular circulation is provided by a network of paved, private roads and includes two (2) cul-de-sacs. Two street stubs are shown, one on the east (Melsetter Street) and one on the south (Ardmore Avenue), which are intended to allow for future street extensions and connectivity to the adjacent properties. Ardmore Avenue extends to the south property line. Melsetter Street ends shy of the east property line. Per the applicant's explanation, off-site grading would be required to show Melsetter Street ending at the east property line. The applicant will need to work with the adjacent property owner to acquire permission to do off-site grading. Access easements for ingress and egress for the proposed road connections will be required as part of the Final PD documents.

The private roads in the proposed development will be required to meet the standards of Section 5.23 of the Zoning Ordinance. For a road serving twenty-five (25) or more units or parcels, private roads are to be constructed consistent with public road requirements of the Livingston County Road Commission (LCRC). The paved roadway portion is shown as thirty (30) feet wide with mountable concrete curb and gutter, and a 66-foot-wide right-of-way. Additional comments on the private roads are found in this memorandum under the section "Requirements for Preliminary Review".

Five (5) foot wide concrete sidewalks are shown on both sides of each private road. Natural, mowed paths are planned within the two larger open space areas of the site, with connections to the concrete sidewalks in several locations for walkability throughout the development. Benches are shown along the mowed paths. Details on the mowed path, split rail fencing, and benches are shown in Exhibit C.

Stormwater run-off from the residential portion of the project will be collected and conveyed to two (2) detention areas, in the west-central area of the site. Additionally, infiltration swales are shown in several areas, as required by the Livingston County Drain Commission. Stormwater run-off from the commercial portion of the project will be handled within the commercial site.

Approximately 15.72 acres of the site is designated as open space, equating to approximately 40.3% of the of the property, using the parcel size of 39.05 acres. Additional information is provided under the "Open Space" section of this memorandum.

Municipal water and sanitary sewer will be required for this project. The applicant will need to work with the Township and Livingston County regarding public water and sanitary sewer. They will also need to work with the Hartland Township Department of Public Works (DPW) to acquire the necessary Residential Equivalent Units (REU)'s for this development.

The parcel is approximately 39.05 acres, resulting in an estimated density of 2.59 dwelling units per acre (101 units ÷ 39.05 acres). More discussion on density is provided in the next section of this report.

Eligibility Criteria (Section 3.1.18.B.)

To be eligible for PD approval, the applicant must demonstrate that the criteria in Section 3.1.18.B. will be met.

- 1. Recognizable Benefits.** *The planned development shall result in a recognizable and substantial benefit to the ultimate uses of the project and to the community and shall result in a higher quality of development than could be achieved under conventional zoning.*

The applicant has provided an explanation of the recognizable benefits in the Project Narrative dated August 31, 2023 (revised). Per the applicant, the recognizable benefits include the following:

- Substantial open space preservation (15.72 acres or 40% of overall property), which would exceed what could be achieved under conventional zoning.
- A sustainable and healthy walkable neighborhood design with approximately 9,900 lineal feet of concrete sidewalks; 1,850 lineal feet of natural walking paths; and neighborhood park with a pavilion, playground, and picnic tables.
- Quality housing for residents in Hartland Township in a price range that is more attainable for middle income individuals and families.

2. Minimum Size. *Planned Developments must be a minimum of 20 acres of contiguous land.*

The parcel is approximately 39.05 acres and complies with the minimum size for a planned development.

3. Use of Public Services. *The proposed type and density of use shall not result in an unreasonable increase in the use of public services, facilities, and utilities, and shall not place an unreasonable burden upon the subject site, surrounding land, property owners and occupants, or the natural environment.*

The residential development is accessed from Highland Road, which is under the jurisdiction of the Michigan Department of Transportation MDOT). Approval and permits from MDOT will be required for the proposed access point. A second proposed access to the residential development is via Hartland Glen Lane, an existing private roadway along the western edge of this development. Access from Hartland Glen Lane requires authorization from Redwood Living and Hartland Glen Development LLC. An ingress-egress easement agreement and road maintenance agreement between all parties are required as part of the Final PD submittal. Internally, a looped system of private roadways is proposed. The intent is that the private roads will be maintained by the Homeowner's Association per the applicant.

Access to the commercial development area will be determined when development plans are submitted for that parcel.

Regarding density, the FLUM designation for this property is Special Planning Area (SPA) which allows for a density that is flexible, but with an overall base density of four (4) dwellings per acre. Using this density, a maximum 156 dwelling units could be permitted (39.05 acres x 4 dwelling units per acre). In comparison, the proposed residential single-family development has 101 dwelling units and density of 2.59 dwelling units per acre, which could generate less traffic and have less impact on Highland Road.

Public water and sanitary sewer services will be required for the project. The Township Director of Public Works has provided comments in the review letter dated July 11, 2023. Extension of the municipal water and sanitary sewer services could benefit the adjacent properties to the east and south when they develop.

The Hartland Deerfield Fire Authority will provide fire protection and will review the proposed plans for fire hydrant placement and other safety issues. A review letter from the Fire Authority, dated March 2, 2023, is provided.

- 4. Compatibility with Comprehensive Plan.** *The proposed development shall not have an adverse impact upon the Comprehensive Plan for the Township. Notwithstanding this requirement, the Township may approve a Planned Development proposal that includes uses which are not called for on the Future Land Use Map, provided that the Planning Commission and Township Board determine that such a deviation from the Future Land Use Map is justified in light of the current planning and development objectives of the Township.*

The subject property is designated as Special Planning Area (SPA) on the 2020-2021 Comprehensive Plan and Future Land Use Map (FLUM) Amendment. The property is part of the M-59/Cundy/Hartland Glen Golf Course Special Planning Area. This category designation envisions a density that is flexible. Overall, the SPA should have an overall density of four (4) dwelling units per acre, with a higher density being more desirable in the northern portion of the SPA and a lower density in the lower portion.

Using 39.05 acres for property size and allowing a density of four (4) units per acre, a maximum 156.2 (or 156) dwelling units could be permitted (39.05 acres x 4 dwelling units per acre). The Preliminary Plan proposes a density of 2.59 dwelling units per acre (101 dwellings ÷ 39.05 acres), which is consistent with the maximum allowed density for the Special Planning Area.

Specific principles were agreed upon for the Special Planning Area in the 2020-2021 Comprehensive Plan Amendment, as listed below.

1. Development within the Special Planning Area shall provide for a variety of housing forms (for example, single family, townhouses, condominium, apartments, and senior housing), along with retail, office, recreation, and entertainment space. *The applicant proposes a residential development comprised of a combination of detached single-family homes for lease/rent and single-family site condominium units. A variety of building styles are proposed. Per the applicant, the Hartland Reserve PD is intended to provide much needed and quality housing in a price range that is amenable for the middle-income individuals and families. A commercial component is proposed in the northwest corner of the site, with the specific use(s) to be determined at a future time.*
2. Development within the Special Planning Area shall provide for public facilities and other neighborhood amenities. *The proposed extension of the public watermain and sewer to serve this site could potentially serve adjacent sites in the future. This could be considered an asset to the Township. The design of the PD provides open space areas that can be enjoyed by the Hartland Reserve PD community, that include a covered pavilion, playground, and internal walking paths.*
3. Special Planning Area shall provide pedestrian and vehicular links between land uses and adjacent property (that may not be directly included within this Special Planning Area development). *The proposed plan shows 5-foot-wide concrete sidewalks on each side of each private road. The internal sidewalks connect to the proposed 5-foot-wided concrete sidewalk along the Highland Road frontage. Vehicular access points are provided from the PD site from Hartland Glen Lane, Highland Road, as well as future connections to the east and south.*
4. Special Planning Area shall also coordinate with the Township's goal of creating walkable pathways to the Township settlements and other public and private facilities. *The PD provides an internal system of sidewalks and walking paths. Additionally, the proposed 5-foot-wide concrete sidewalk along the frontage of Highland Road has the potential to connect to future developments to the east.*

5. Developments shall be developed in harmonious coexistence with pre-existing historical and natural features within the Township. *The intent of the PD is to retain portions of existing natural features such as the wetland areas and existing trees, as shown on the plans.*

6. Special Planning Area shall include landscape, streetscape, traffic and architectural solutions that are superior in design and visually enhancing the local community with sensitivity to the existing historic features in the Township. *The residential buildings are a mix of single-story and two-story detached houses which are in keeping with the surrounding neighborhoods. The proposed landscape plan provides buffering of the buildings on the north with a berm and plantings along Highland Road. A majority of the existing trees on the east and west boundaries are shown to be preserved, which can provide buffering in those areas. Street trees are shown for each residential unit. The rental units will have planting beds on the front of each house. Standard planting plans for the rental units are found in Exhibit F.*

5. Unified Control. *The proposed development shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project, or assuring completion of the project, in conformity with the Ordinance.*

The commercial portion of the planned development, Commercial Split Area, will be developed by the current landowner (Lexington Homes, LLC). The individual homes and exterior grounds associated with the rental portion of the residential community will be professionally managed and maintained by the developer.

The site condominium subdivision portion of the PD will be governed by a Master Deed and Bylaws. A Homeowners Association (HOA) will be established which will oversee the maintenance of open space areas, private roads, and stormwater areas. Architectural review, enforcement of community restriction, and financial management will also be under the authority of the HOA. A thorough review of the condominium documents will occur with the Final Plan submittal.

Planned Development Design Standards (Section 3.1.18.C.)

This section outlines the design standards for a planned development. Additional site standards will be discussed from applicable sections of the Zoning Ordinance.

1. Permitted Uses. *The predominant use on the site shall be consistent with the uses specified for the parcel on the Township's Comprehensive Plan for Future Land Uses.*

The subject area for the planned development project is designated as Special Planning Area (SPA) on the adopted 2020-2021 Comprehensive Plan and Future Land Use Map (FLUM) Amendment. This land use category envisions a variety of housing (for example, single-family, townhouses, condominiums, apartments and senior housing), as well as retail, office, recreation, and entertainment space. The proposed planned development includes rental housing options, site condominium residential units, and the potential for commercial uses for the Commercial Development Area.

2. Residential Density. *Residential density in a planned development shall be consistent with the density designation within the Township's Comprehensive Plan.*

Section 3.1.18.C. of the Zoning Ordinance states the residential density in a planned development shall be consistent with the density designation within the Township's Comprehensive Plan. The subject property is designated as Special Planning Area (SPA) on the 2020-2021 Comprehensive Plan and

Future Land Use Map (FLUM) Amendment. This category designation envisions a flexible density, with an overall density of four (4) dwelling units per acre.

Using the subject site acreage of 39.05 acres and allowing a density of four (4) units per acre, approximately 156.2 (or 156) dwelling units could be permitted (39.05 acres x 4 dwelling units per acre). The Preliminary Plan proposes a density of 2.59 dwelling units per acre (101 dwellings ÷ 39.05 acres), which is consistent with the allowed density of the SPA.

Per Section 3.1.18.C.iv., the Planning Commission may agree to recommend up to a forty (40%) percent increase in units on a site in recognition of outstanding attributes as listed in this section. The Township Board in its sole discretion shall have the ability to approve such density increase up to forty (40%) percent subsequent to an affirmative recommendation from the Planning Commission. In this case if the Planned Development land area could accommodate 156.2 units (39.05 acres x 4 units per acre), in accordance with the Comprehensive Plan, the Planned Development plan could include up to 218 dwelling units (156 + 62 additional units) if a maximum bonus of 40% were awarded by the Planning Commission and Township Board. A density bonus is not being considered for this PD project.

The chart below outlines residential density as discussed in this section.

Residential Density	Residential Units
Proposed	101
Permitted	156
Bonus – maximum	218

3. Design Details. *The applicant shall prepare a detailed description of design details to be implemented in the proposed planned development, to be presented in a Pattern Book.*

The design details are provided within the Project Narrative and Pattern Book and the Sample Portfolio of Houses as well as on the submitted site plans.

4. Minimum Yard Requirements. The minimum yard requirements are noted in the chart below per Section 3.1.18.C.vi.a. (Residential Use)

Yard Location	Minimum PD Standard	Proposed distance or setback*	Complies Yes/No
Along perimeter adjacent to public road (Highland Road)	50 ft.	84 ft. (closest point to a rental unit envelope on north) 70 ft. (Condo Unit 1)	Yes for both rental and condo units
Along perimeter, but not adjacent to a road (for rear yard, condo unit only)	40 ft.	20 ft.	No
Along an internal collector or local road – front yard	40 ft.	25 ft.	No

*As measured to closest point of a rental unit envelope or condo unit envelope

Section 3.1.18.C.vi.b.(2) states that minimum rear yard setback and minimum lot size for detached single-family structures in a planned development shall be based on good planning and design principles taking into account several variables as follows: degree of compatibility between adjoining uses; sensitivity to the characteristics of the site; the need for free access for emergency vehicles; the need for adequate amounts of light and air between buildings; and the need for proper amounts of open space for the exclusive use of residents on the site. The Planning Commission can evaluate the plans using those variables.

- 5. Distances Between Buildings.** Spacing requirements for buildings in a planned development for any detached single-family structure are outlined in Section 3.1.18.C.vi.b.(1). *Any detached single-family structure shall be located at least thirty (30) feet from any other detached single-family structure and shall provide a minimum side yard setback of fifteen (15) feet on both sides.*

The typical unit envelope for a rental home is fifty (50) feet by sixty-five (65) feet, with a minimum 10-foot separation between buildings. Potentially, if adjacent homes were built to meet the outer boundaries of each rental unit envelope, the separation between structures could be ten (10) feet. This would not meet the minimum required spacing standards of thirty (30) feet between any other detached single-family structure. Per Section 3.1.18.C.vi.a., modification to yard requirements may be approved by the Township Board upon recommendation from the Planning Commission, upon making the determination other setbacks would be more appropriate.

The typical lot detail drawing for the site condominium unit shows the building envelope as defined by the proposed setbacks. Based on the plans, the side yard setback is five (5) feet, which equates to ten (10) feet between two (2) structures. This would not meet the minimum required spacing standards of thirty (30) feet between any other detached single-family structure. Per Section 3.1.18.C.vi.a., modification to yard requirements may be approved by the Township Board upon recommendation from the Planning Commission, upon making the determination other setbacks would be more appropriate.

The Hartland Deerfield Fire Authority has concerns with the proposed plans as noted in the review letter dated March 2, 2023.

- 6. Building Height.** *No building in a planned development shall be greater than thirty-five (35) feet in height.*

The sample house portfolio shows one-story and two-story structures however the building height is not stated. Additional details will be required as part of the Construction Plan set.

- 7. Parking and Loading.** *Planned Developments shall comply with the parking and loading requirements specified in Section 5.8, Off-Street Parking requirements, and Section 5.9, Loading Space Requirements of the Zoning Ordinance.*

Parking requirements are listed in Section 5.8.4.H (Table of Minimum Parking Space Requirements). For the category, Residential, Family, two (2) parking spaces are required for each dwelling unit.

There are options for an attached 2-stall garage, or 3-stall garage per the sample house portfolio. This satisfies the parking requirement. Exhibit A (Sample Sketches of Rental Units and Condo Units) shows the residential driveway to be at least twenty-five (25) feet long, which could accommodate additional parking of vehicles.

8. **Landscaping.** Landscaping requirements are found in Section 3.1.18.C.vi.e. These are considered minimum design standards, typically for a commercial or office development. A more detailed review of the landscaping is provided in this memorandum using applicable landscape standards as outlined in Section 5.11 (Landscaping and Screening).
9. **Open Space.** *Open space shall be provided to complement and accentuate the high-quality design of the proposed planned development. At minimum the planned development shall provide open space consistent with the previous zoning designation for the site.*

Per this section of the Zoning ordinance (Section 3.1.18.C.vi.f.), the planned development shall provide open space consistent with the previous zoning designation for the site, at a minimum. Currently the site is zoned CA-Conservation Agricultural. In CA, the open space requirement is a minimum of 85%, for a single-family detached dwelling. The proposed plan states the overall open space is 40.3% of the site (using 39.05 acres) and thus would not comply. Historically, however, open space requirements outlined in Section 3.15 of the Zoning Ordinance have been applied for other single-family residential planned developments in the Township such as Walnut Ridge Estates and Fiddler Grove.

Section 3.15 of the Zoning Ordinance states residential condominium developments (in several zoning district classifications) should provide a minimum of 25% open space, with a minimum of 10% of the total open space to be usable open space (“usable open space” is defined as land area suitable for active recreation). For the proposed development consisting of 39.05 acres, this would equate to a minimum of 9.76 acres of open space, with a minimum of 0.976 acres of usable open space.

The Project Narrative provides a breakdown of the open space areas by category. Sheet 4 of the Site Plans shows the different categories of open space areas. All the open space areas are within the residential portion of the planned development, and none are shown in the Commercial Development Area. The open space areas include wetland and detention areas, upland areas, infiltration swales, and open areas adjacent to the rental homes on the north and center area of the site, as well as the open area in the southeast corner of the development. A series of mowed trails are proposed within the open space areas, adjacent to wetland areas, with benches along the trails. A playground and pavilion are shown in the southeast corner of the development.

Per the Project Narrative, the total open space is approximately 15.72 acres equating to 40.3% of the site (39.05 acres). The percentage of usable open space is stated as 4.69 acres or thirty (30) percent of the total open space. The useable open space includes active recreation areas such as mowed walking paths, the playground/park area, areas around the wetlands, and the Greenbelt along Highland Road.

10. **Natural Features.** *Consistent with the stated intentions for the creation of these regulations, the preservation of the natural features of the Township is an important planning consideration. A PD proposal must consider the natural topography and geologic features, scenic vistas, trees and other vegetation and natural drainage patterns that exist on the site and propose a development pattern which preserves and avoids disruption of those natural features as much as possible.*

A Topographic Survey and Tree Inventory are provided, which show the existing features of the site. A Tree Survey lists the tree species and condition of each tree on the Tree Inventory. Currently the site consists of an open field which has been farmed in the past. Wooded areas occur on the east and west boundaries of the site, and in the southwest and northwest corners. The plans indicate that trees will be preserved that are located in the east, west, and southwest areas of the site.

Three (3) wetland areas have been identified per the applicant's Wetland Delineation report. A small portion of the wetland in the southeast area will be impacted (0.176 acres). Approvals and permits from the State Department of Environment, Great Lakes and Energy (EGLE) may be required. The remaining wetland areas will be preserved and are shown as Open Space.

11. Sidewalks and Pedestrian Access. *The applicant must demonstrate the PD site, and all uses within the site, will be connected to any existing pedestrian and nonmotorized vehicle paths and trails within a public right-of-way or easement open to the public.*

A proposed 5-foot-wide concrete, sidewalk is shown along the frontage of the residential portion of the PD site on Highland Road, with connections to the 5-foot-wide sidewalks in the PD along Lockerbie Lane. The internal sidewalks along Abernathy Street extend to Hartland Glen Lane on the west; however, no sidewalks are in place along Hartland Glen Lane. Future street and sidewalk connections could occur to adjacent properties to the south and east, where street stubs are shown on the plans.

Requirements for Preliminary Review (Section 3.1.18.E.ii)

The following section is a summary of items that have not been addressed in the previous review as part of the Design Standards section.

1. Sewer and Water.

The Department of Public Works has provided a review letter dated July 11, 2023, which outlines the number of REU's required for the proposed development.

2. Stormwater and Drainage Systems.

Stormwater from the residential; portion of the project will be collected and conveyed to two (2) detention areas. Additional collection of stormwater is via infiltration bioswales which are shown in several areas. The commercial portion of the project will have its own on-site stormwater management system.

3. Traffic Impacts.

The applicant has provided a Traffic Impact Study, dated June 20, 2023, conducted by Fleis and Vandenbrink. Based on the email from the Michigan Department of Transportation (MDOT), dated August 16, 2023, MDOT has no concerns with the easterly M-59 access to the residential development (Lockerbie Lane). MDOT is working with the applicant regarding other access points from M-59 and/or Cundy Road.

4. Vehicular Circulation.

The residential portion of the project area development has one (1) entrance from Highland Road and one (1) entrance from Hartland Glen Lane. Internal circulation is via private roads that include two (2) cul-de-sacs. Section 5.23.5 of the Zoning Ordinance states when a potential number of units or parcels served is twenty-five (25) or greater, the proposed private roads must be constructed consistent with public road requirements of the Livingston County Road Commission (LCRC). The minimum required roadway surface width shall not be less than thirty (30) feet, with the dimension measured from face of curb to face of curb.

The plans show a typical cross section of the private road (half-section), and the roadway surface width is stated as thirty (30) feet, as measured from back of curb to back of curb. The curb is a mountable curb. A 66-foot wide private road right-of-way easement is shown. The roadway surface width in the cross section is not measured from face of curb to face of curb, and thus does not comply with the LCRC standards. Using the LCRC standards would add approximately four (4) feet of paved surface

area and would reduce the width of the planting area for street trees, between the back of curb and sidewalk. The deviation from the LCRC design standards is considered a waiver. The proposed road design has been approved for private roads in similar residential PD developments such as the Villas of Hartland PD and the Courtyards of Hartland PD.

Section 5.23.5.E.vi. of the Zoning Ordinance (Minimum Private Road Standards) states that private roads serving more than twenty-four (24) parcels or dwelling units or combination thereof equaling twenty-four (24) shall have at least two (2) points of access to a public road. In this case there is access to Highland Road (public road) via Lockerbie Lane. A second access is shown from Abernathy Street to Hartland Glen Lane, which is a private roadway. Hartland Glen Lane merges with Cundy Road, a public road, which intersects with Highland Road.

5. Fiscal Impacts.

The applicant has provided a response to this topic in the Project Narrative and Pattern Book dated August 31, 2023.

Landscaping (Section 5.11)

Applicable sections of Section 5.11 (Landscaping and Screening) will be applied to the PD, as outlined below.

A. Greenbelt Landscaping (Sec. 5.11.C.)

- Required – Within the first 30 feet of the property, 1 canopy tree for every 30 ft of lineal of frontage; Planning Commission may approve up to 50% substitution of canopy trees with evergreen trees; PLUS 3 small deciduous ornamental trees or large deciduous or evergreen shrubs for the initial 40 ft., and 1 per 20 ft. thereafter. Length of ROW frontage of Highland Road for residential portion of PD (1,081 lineal ft)
EQUATES TO: 36 canopy trees and 55 additional ornamental trees, or large deciduous or evergreen shrubs or combination thereof **REQUIRED**
- Proposed – 18 canopy trees; 18 evergreen trees; 3 ornamental trees; and 54 large shrubs, generally within first 30 feet of the property; on a berm that runs parallel to frontage along Highland Road
- Meets Requirement? – 50% of the trees in the greenbelt are evergreen trees. Concerns with placement of trees under the overhead wires and future conflicts with tree height. The applicant has requested a waiver for 50% of the Greenbelt trees to be conifer trees.
- Comment – **Planning Commission may approve a substitution of evergreen trees for up to 50% of the canopy trees. Existing overhead power lines are in place within the Greenbelt. A utility easement is not shown. The applicant notes that the trees are placed outside a 30-foot-wide zone associated with the overhead power lines.**

B. Canopy trees along Internal Roadways (Sec. 5.11.2.C.ii.) –

- Required – 15-foot-wide landscaped area along the length of internal roadways, planted with a minimum of 1 canopy tree or evergreen tree for every 30 feet or portion thereof. Required canopy tree size is a minimum 3-inch caliper tree at the time of planting.
- Proposed – 10-foot-wide landscaped area between sidewalk and street (curb); generally, 1 canopy tree is shown per unit and to be spaced thirty-five (35) feet on center. Proposed canopy tree size is 3-inch caliper tree, with the exception of White Oak which is stated to be a two (2) inch caliper tree.
- Meets Requirement? – Yes, except for caliper size of White Oak
- Comment – **Plan to be revised to state White Oak tree is a three (3) inch caliper tree, on the Construction Plan set.**

- C. Buffering or Screening (Sec. 5.11.2.G.i.) – Screening between Land Uses (east and south property lines where abutting single-family CA zoned properties)
- Required – landscape buffer shall be provided to create a year-round visual screen at least eight (8) feet in height along all adjoining boundaries of a non-residential use or a residential use of higher density and abutting a single-family residential zoned property. Evergreen trees to be planted in a staggered or clustered pattern with varying tree heights.
 - Proposed – EAST: random groupings of existing deciduous trees to be preserved.
Proposed – SOUTH: SW corner has wetland area and some existing deciduous trees to be preserved. Along the rear of Units 32-40, no landscaping is shown. SE area has wetland area, open space, and a few existing trees to be preserved.
 - Meets Requirement? – **TBD**
 - Comment – **Planning Commission to determine if the proposed plan meets the intent of the screening requirement.**
- D. Detention/Retention Area Landscaping (Sec. 5.11.2.H.)
- Required – Landscape materials shall be used to integrate the area with the overall landscape design; 1 canopy or evergreen tree must be planted for every 50 lineal ft. of basin perimeter as measured at the top of the bank elevation. The required trees shall be planted in a random pattern or in groupings.
Northwest Basin Perimeter - approx. 650 lineal ft. EQUATES TO: 13 canopy or evergreen trees/combination of REQUIRED
South/central Basin Perimeter – Approx. 866 lineal ft. EQUATES TO: 18 canopy or evergreen trees /combination of REQUIRED
 - Proposed –
Northwest Basin: 12 canopy trees
South/central Basin: 16 trees
 - Meets Requirement? – **TBD**
 - Comment – **Planning Commission to determine if the proposed planting plan meets the intent of the detention landscaping requirements. Trees should be planted in a random pattern or groupings.**
- E. Requirements for Single Family Residential Districts (Sec. 5.11.6.B.)
Single Family Residential properties are encouraged to plant and maintain landscaping which provides a good street side appearance. All unpaved portions of the front yard are to be planted with suitable live plan material (grass, groundcover, and shrubs) and extending to any abutting street pavement edge. Lawn is proposed around each unit as well as landscape beds in the front of the rental unit houses. A typical landscape plan is provided for these areas. Maintenance of the exterior grounds of the rental portion of the community will be professionally managed by the developer.

Landscaping around each condominium unit is up to the discretion of the individual homeowner.

Other site details

Irrigation

Irrigation is provided on the landscape berm along Highland Road (Greenbelt area).

Lighting

Street lighting is proposed and detailed information is found in the Project Narrative and Patten Book. The total height of the pole and fixture is approximately 14'-8".

Architecture/Building Materials (Sec. 5.24)

Architectural standards for façade materials are not provided in Section 5.24 for single-family buildings. The applicant provided a Sample Portfolio of Houses. The façade materials include vinyl siding and trim, dimensional shingles (roof), brick, and stone veneer. The color palette and material options are presented in Exhibit G. The vinyl products come in several colors including taupe, grey, blue, green, and red. Brick and stone veneer products are offered in earthtone colors. Additional information should be provided on the brick and stone products, such as manufacturers' name and product specifications. Façade material percentages are not required to be submitted. The applicant has been asked to bring a sample board of the façade materials to the public hearing.

Other Requirements-Zoning Ordinance Standards

Nothing additional at this time.

Hartland Township DPW Review

The DPW Director has provided a review letter dated July 11, 2023.

Hartland Township Engineer's Review (Spaulding DeDecker)

The Township Engineer (SDA) has provided a review letter dated July 24, 2023.

Hartland Deerfield Fire Authority Review

The Hartland Deerfield Fire Authority has provided comments in the review letter dated March 2, 2023.

Attachments:

1. DPW review letter 07.11.2023 – PDF version
2. Township Engineer (SDA) review letter 07.24.2023 – PDF version
3. Hartland Deerfield Fire Authority review letter 03.02.2023 – PDF version
4. Project Narrative and Pattern Book 08.31.2023 revised – PDF version
5. Traffic Impact Study 06.20.2023 – PDF version
6. Wetland Delineation 05.19.2023 – PDF version
7. Sample Portfolio of Houses 08.10.2023 – PDF version
8. Highland Reserve Greenbelt Plan 08.31.2023– PDF version
9. MDOT email 08.16.2023 – PDF version
10. Site Plans 08.29.2023 – PDF version

CC:

Spaulding DeDecker, Twp Engineer (via email)

Mike Luce, Twp DPW Director (via email)

A. Carroll, Hartland FD Fire Chief (via email)

T:\PLANNING DEPARTMENT\PLANNING COMMISSION\2023 Planning Commission Activity\Site Plan Applications\SP PD #23-008 Highland Reserve PD Preliminary\Staff reports\Planning Commission\SP PD #23-008 staff report PC 09.21.2023.docx



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October 18, 2023

Michael West
2186 East Centre Avenue
Portage, MI 49002

RE: Site Plan/PD Application #23-008 – Highland Reserve Planned Development - Preliminary Planned Development Site Plan

Dear Michael West:

On Thursday, September 28, 2023, the Planning Commission recommended approval of Site Plan/PD Application #23-008, the Preliminary Planned Development Site Plan for Highland Reserve Planned Development. The Township Board approved Site Plan/PD Application #23-008 at their regular meeting on October 17, 2023.

Approval is subject to the following conditions:

1. The Preliminary Planned Development Site Plan for Highland Reserve Planned Development, SP/PD #23-008, is subject to the approval of the Township Board.
2. Waiver request for the substitution of evergreen trees for 50% of the required canopy trees in the greenbelt area of the residential section of the planned development along Highland Road, is approved.
3. Waiver request to deviate from the Livingston County Road Commission design standards regarding the roadway surface width for a private road, is approved.
4. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated September 21, 2023, on the Construction Plan set, subject to an administrative review by Planning staff prior to the issuance of a land use permit.
5. As part of the Final Plan Review, the applicant shall provide a Planned Development (PD) Agreement that includes any access and maintenance agreements. Access and maintenance agreements will be required for the use of the Hartland Glen Lane and future road connections to the east (via Melssetter Street) and south (via Ardmore Avenue). The documents shall be in a recordable format and shall comply with the requirements of the Township Attorney.
6. Applicant complies with any requirements of the Township Engineering Consultant, Department of Public Works Director, Fire Code Requirements, and all other government agencies, as applicable.

7. The applicant shall install additional trees, as outlines in the staff memorandum, dated October 10, 2023; and the applicant shall make the storm detention/retention basin more random and natural in its appearance.
8. Any of the permitted commercial uses that are proposed in this PD, which would require a Special Land Use Permit in the GC (General Commercial), shall only be permitted by Special Land Use Permit.

If you have any questions, please contact me at (810) 632-7498.

Sincerely,



Troy Langer
Planning Director



SITE DATA

OVERALL PARCEL AREA = 3.39,05-ACRES
 COMMERCIAL PARCEL AREA = 3.21-ACRES
 EXISTING ZONE = SPECIAL PLANNING AREA (SPA)
 PROPOSED ZONING (PD) CLUSTER OPTION
 PROPOSED NO. RENTAL UNITS = 35
 PROPOSED NO. CONDO UNITS = 66
 UNIT DENSITY = 101/330.05 = 2.59 UNITS/ACRE
 PD TOTAL OPEN SPACE REQUIREMENT = 25% OR 9,763-ACRES
 PD USABLE OPEN SPACE REQUIREMENT = 10% OR 3,905-ACRES
 PROVIDED TOTAL OPEN SPACE = 815,72-ACRES 40.3%
 OPEN SPACE WETLANDS = 84,50-ACRES 12%
 OPEN SPACE DETENTION = 81,04-ACRES 3%
 COMMON USABLE OPEN SPACE = 4,49-ACRES 12.01%
 MINIMUM LOT SIZE 60'(W)x120'(L)
 MINIMUM LOT AREA = 7,200-SQ-FT
 FRONT BUILDING SETBACK = 25-FT.
 REAR BUILDING SETBACK = 20-FT.
 SIDE BUILDING SETBACK = 5-FT EACH SIDE
 80-FT. BUILDING SETBACK REQUIRED ALONG M-59 R.O.W.

RESIDENTIAL SINGLE DEED RENTALS
 AREA=11.02-ACRES
 OPEN SPACE=21.16-ACRES
 EX. WETLANDS=11.19-ACRES
 PR. WETLAND DISTURBANCE=0.0-ACRES
 PR. DETENTION BASIN=0.32-ACRES

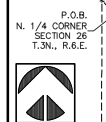
RESIDENTIAL SITE CONDO
 AREA=2.62-ACRES
 OPEN SPACE=7.56-ACRES
 EX. WETLANDS=3.316-ACRES
 PR. WETLAND DISTURBANCE=0.24-ACRES
 PR. DETENTION BASIN=0.72-ACRES

LEGEND

- PR. COMMERCIAL PARCELS
- PR. CONDOMINIUM UNITS
- PR. RENTAL UNITS
- COMMON USABLE OPEN SPACE AREA (UPLAND)
- UNIT OPEN SPACE AREA
- EX. WETLANDS
- PR. PRESERVATION AREAS
- STORM WATER PONDS
- EXISTING WOODLANDS TO REMAIN
- EXISTING REGULATED TREE TO REMAIN
- CONDOMINIUM GENERAL ELEMENT
- CONDOMINIUM UNITS

PLANNED DEVELOPMENT NOTES

- SEE ACCESS & EASEMENTS
- UTILITIES
- SEE LIGHTING
- STORM WATER MANAGEMENT
- SIGNALS
- FLOODPLAIN
- WETLANDS
- WATER MAIN
- PUBLIC SERVICES



REDWOOD APARTMENTS (UNDER CONSTRUCTION)

REDWOOD HARTLAND HIGHLAND RD. P.L.L.C.
 TAX ID #4708-35-100-020
 (UNDER CONSTRUCTION - MULTI-FAMILY RESIDENTIAL DEVELOPMENT)

REDWOOD APARTMENTS (UNDER CONSTRUCTION)



REVISIONS

Added final wetland delineation 6-1-23

CLIENT: ALLEN EDWIN JONES
 2385 E. CENTRE STREET
 PORTAGE, MICHIGAN 49802

SITE PLAN
 HARTLAND RESERVE

SECTION 26
 TOWNSHIP NORTH, RANGE 6 EAST
 HARTLAND TOWNSHIP
 LIVINGSTON COUNTY, MICHIGAN



DATE: 8-29-23
 3:30 PM
 P. 248.643.2264
 F. 248.378.2564
 www.DIFIN.com
 Scale: 1" = 60'
 SHEET NO. 4



Board of Trustees

William J. Fountain, Supervisor
Larry N. Ciofu, Clerk
Kathleen A. Horning, Treasurer

Matthew J. Germane, Trustee
Summer L. McMullen, Trustee
Denise M. O'Connell, Trustee
Joseph M. Petrucci, Trustee

July 24, 2024

Michael West
2186 East Centre Avenue
Portage, MI 49002

RE: Site Plan/PD Application #24-006 – Highland Reserve Planned Development - Final Planned Development Site Plan

Dear Michael West:

On Thursday, June 27, 2024, the Planning Commission recommended approval of Site Plan/PD Application #24-006, the Final Planned Development Site Plan for Highland Reserve Planned Development. The Township Board approved Site Plan/PD Application #24-006 at their regular meeting on July 23, 2024.

Approval is subject to the following conditions:

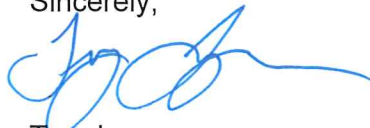
1. Final approval of Highland Reserve Planned Development (SP/PD Application #24-006) shall require an amendment to the Zoning Ordinance to revise the zoning map and designate the subject property as PD (Planned Development). The subject property, which constitutes the planned development project area (39.05 acres), is rezoned to PD (Planned Development), as follows:
 - a. Tax Parcel ID #4708-26-200-002 (39.05 acres in area)
2. Waiver request for the substitution of evergreen trees for 50% of the required canopy trees in the greenbelt area of the residential section of the planned development along Highland Road, is approved.
3. Waiver request to deviate from the Livingston County Road Commission design standards regarding the roadway surface width for a private road, is approved.
4. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandums, dated September 21, 2023 and July 16, 2024, on the Construction Plan Set, subject to an administrative review by Planning staff prior to the issuance of a land use permit.
5. The Master Deed, Condominium By-Laws, and Planned Development Agreement shall be amended to include any access and maintenance agreements. Access and maintenance agreements will be required for the use of the Hartland Glen Lane and future road and sidewalk connections to the east (via Melsetter Street) and south (via Ardmore

Avenue). The documents shall be in a recordable format and shall comply with the requirements of the Township Attorney.

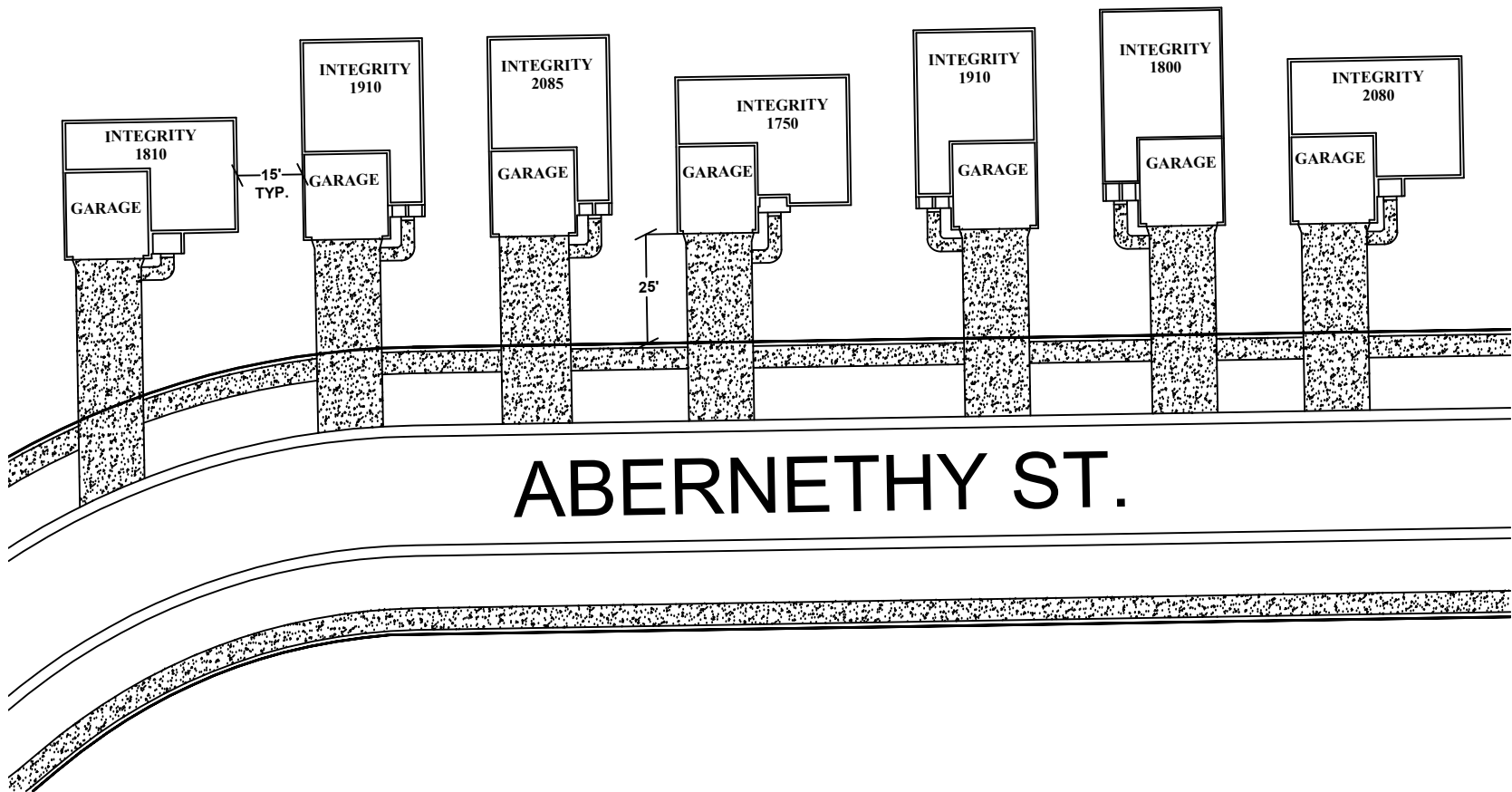
6. Highland Reserve PD shall be connected and served with municipal water and sanitary sewer.
7. The applicant shall obtain all necessary approvals from the Michigan Department of Transportation (MDOT) and the Michigan Department of Environment, Great Lakes, and Energy (EGLE).
8. Applicant complies with any requirements of the Township Engineering Consultant, Department of Public Works Director, the Fire Code requirements, and all other government agencies, as applicable.
9. Any of the permitted commercial uses that are proposed in this PD, which would require a Special Land Use Permit in GC (General Commercial), shall only be permitted by Special Land Use Permit.

If you have any questions, please contact me at (810) 632-7498.

Sincerely,



Troy Langer
Planning Director



ABERNETHY ST.

HIGHLAND RESERVE
 NEW HOME PLAN CONCEPT – RENTAL SAMPLE
 1/20/2025
 1" = 40'



Highland Reserve

Single Family Rental Community

Sample Portfolio of Homes

integrity 1610

1,607 SF

3-5 bedrooms

2-3 bathrooms

2-3 car attached garage



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Elevation A1

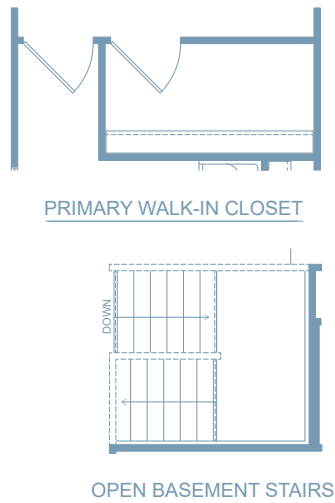
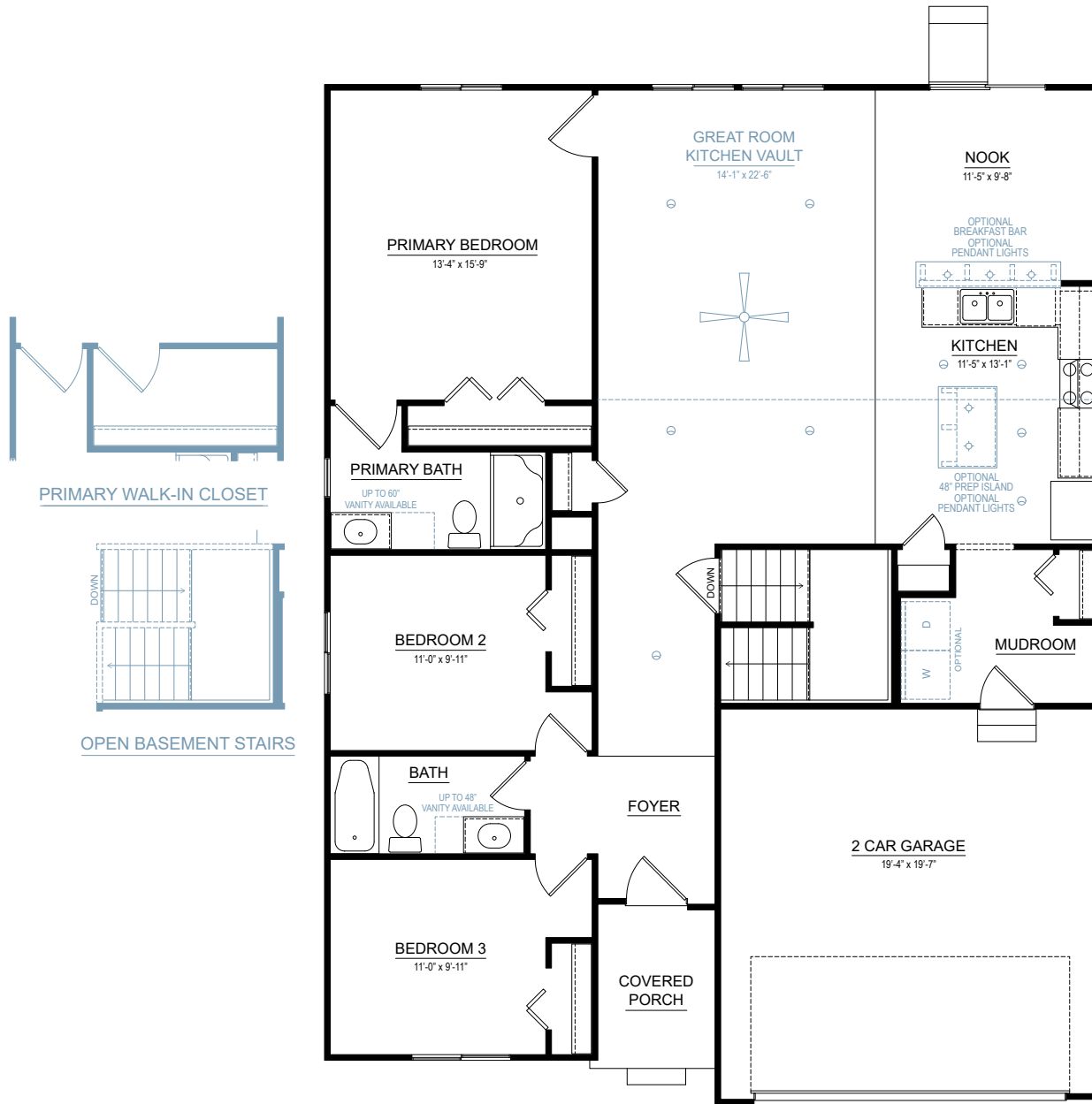


Elevation A2



Elevation A3

Elevation A



FIRST FLOOR



FINISHED BASEMENT

integrity 1750

1,662 SF

3-4 bedrooms

2-2.5 bathrooms

2-3 car attached garage



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Elevation A1

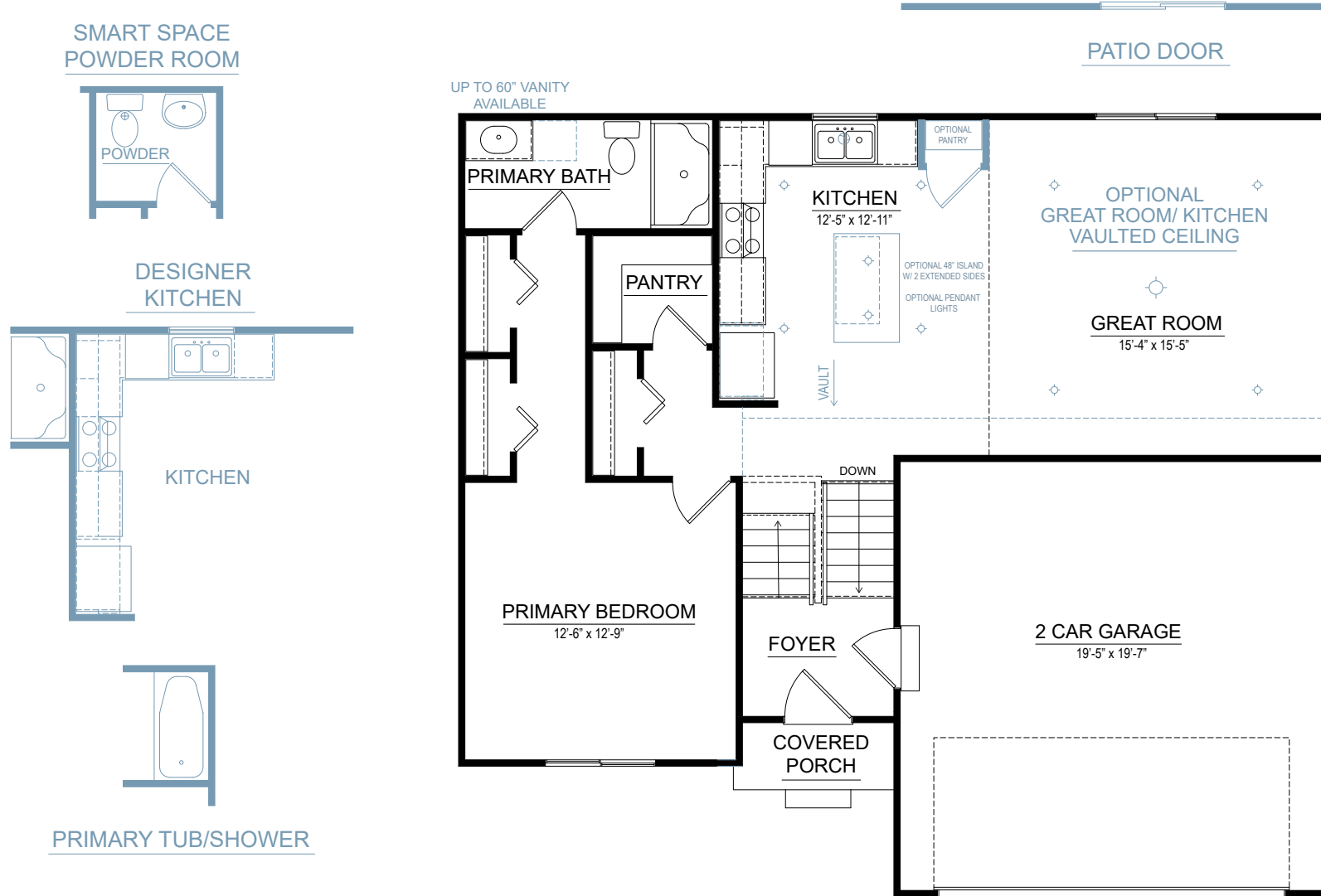


Elevation A2



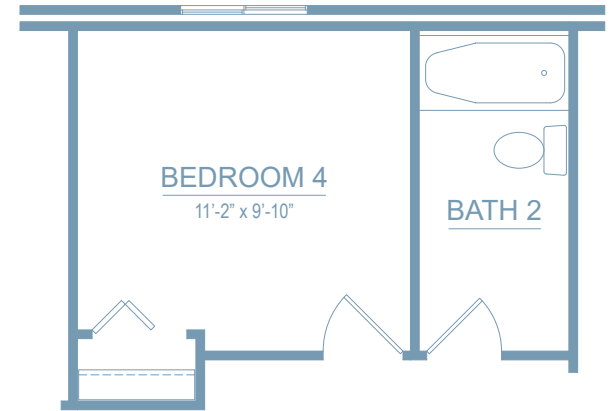
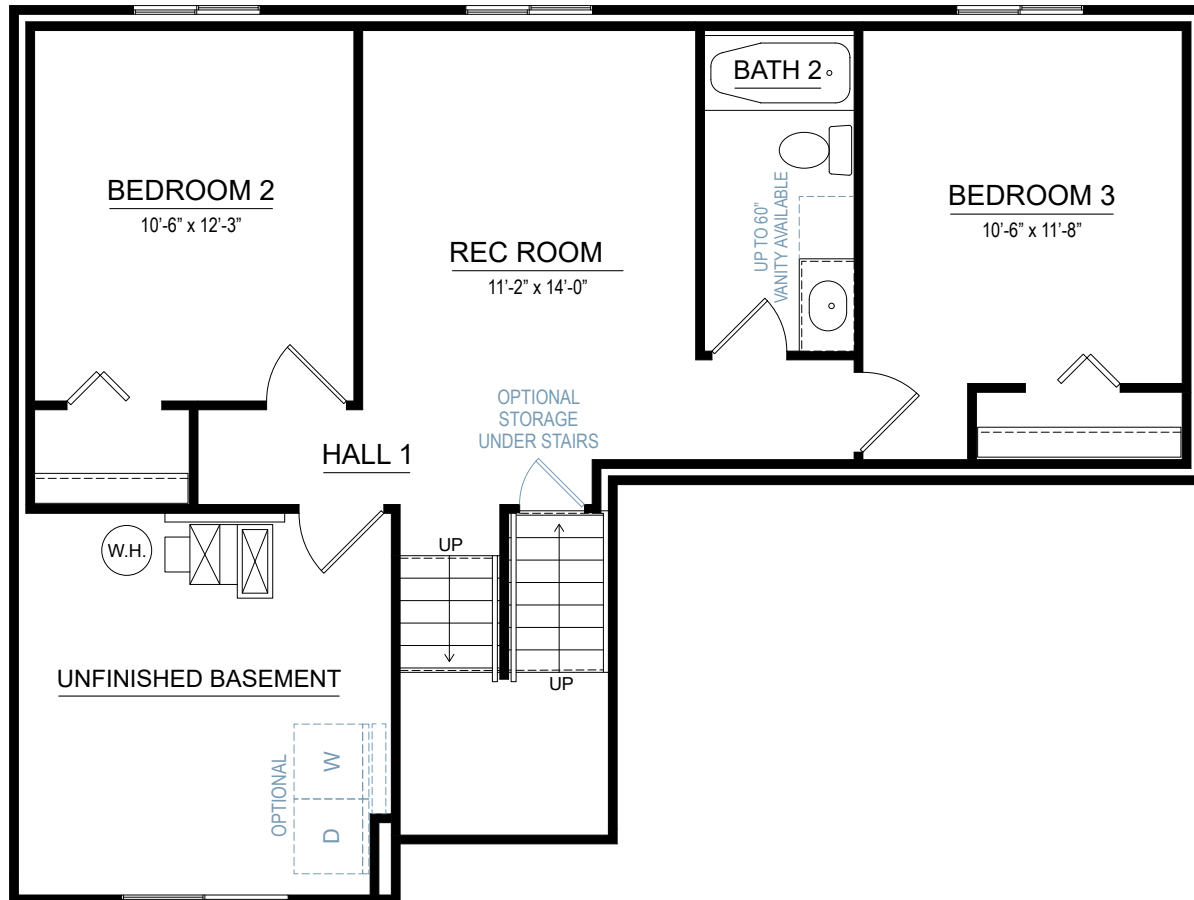
Elevation A3

Elevation A



FIRST FLOOR

WALKOUT PATIO DOOR



SMART SPACE BEDROOM 4

LOWER LEVEL

integrity 1800

1,798 SF

3 bedrooms

2.5 bathrooms

2-car attached garage



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Elevation A1

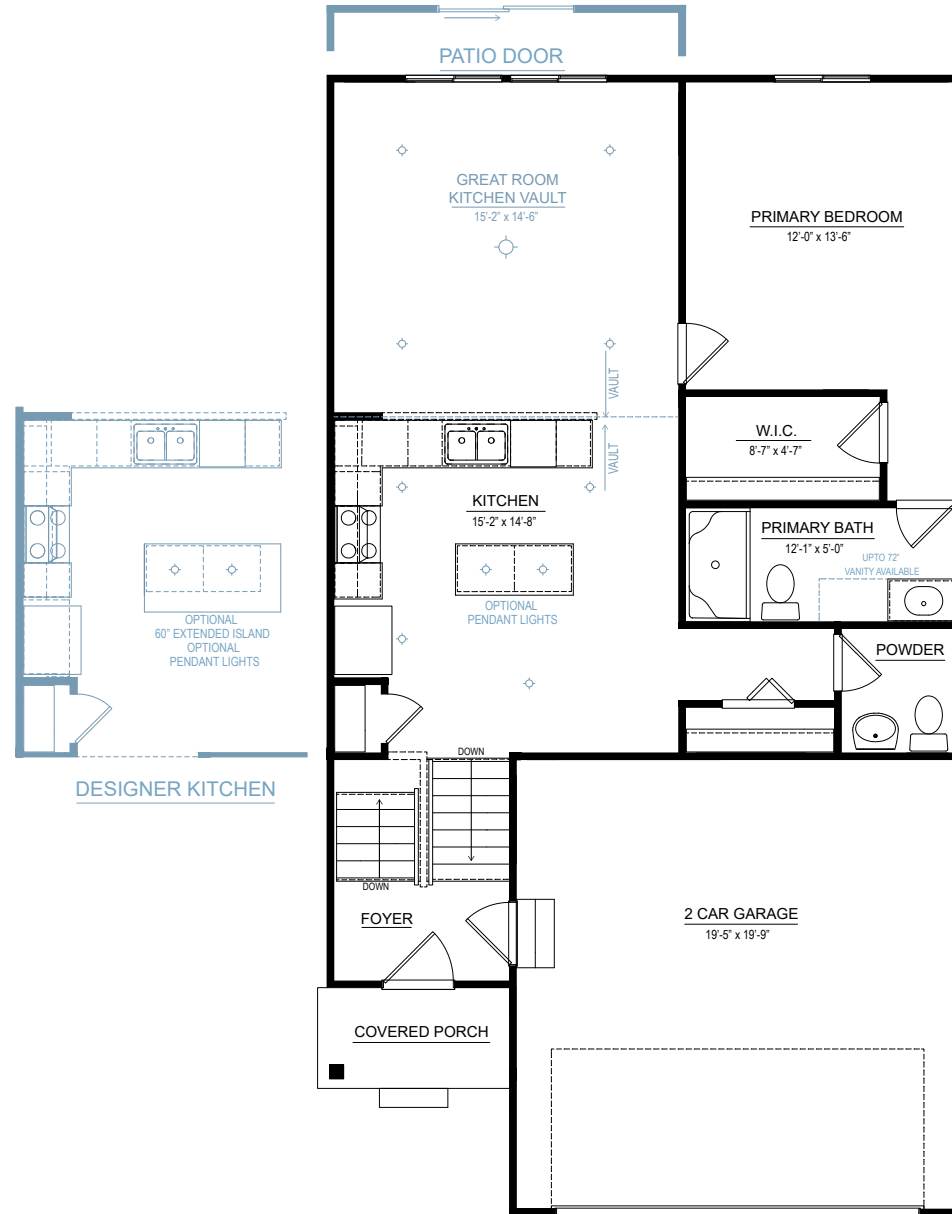


Elevation A2

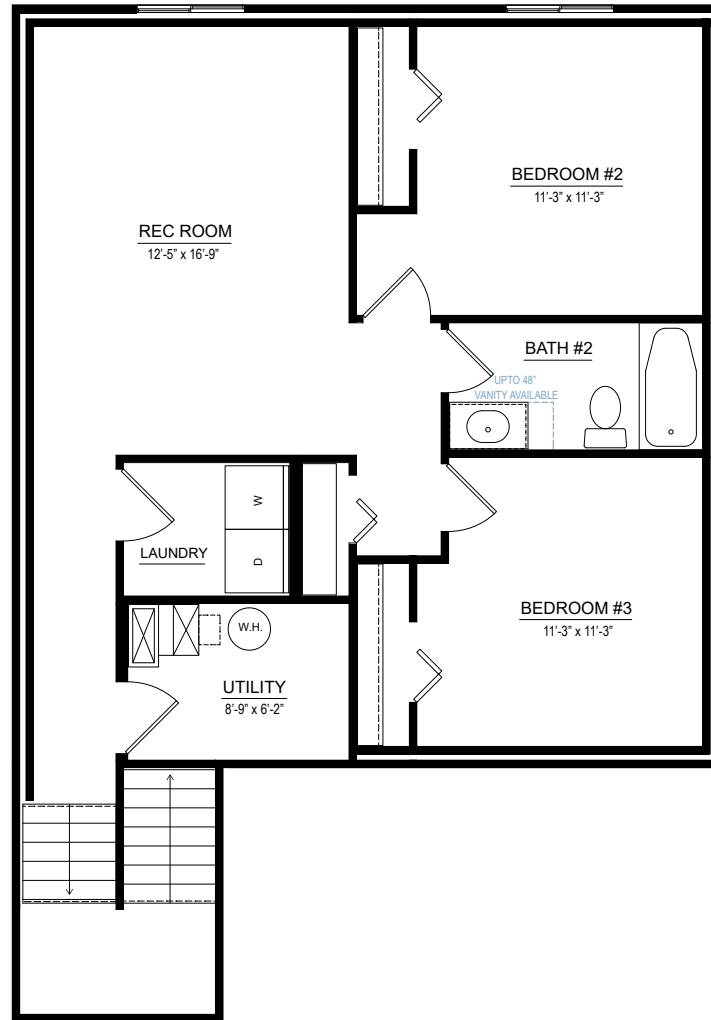


Elevation A3

Elevation A



FIRST FLOOR



FINISHED BASEMENT

integrity 1810

1,822 SF

4 bedrooms

2.5-3.5 bathrooms

2-3 car attached garage



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Elevation A1

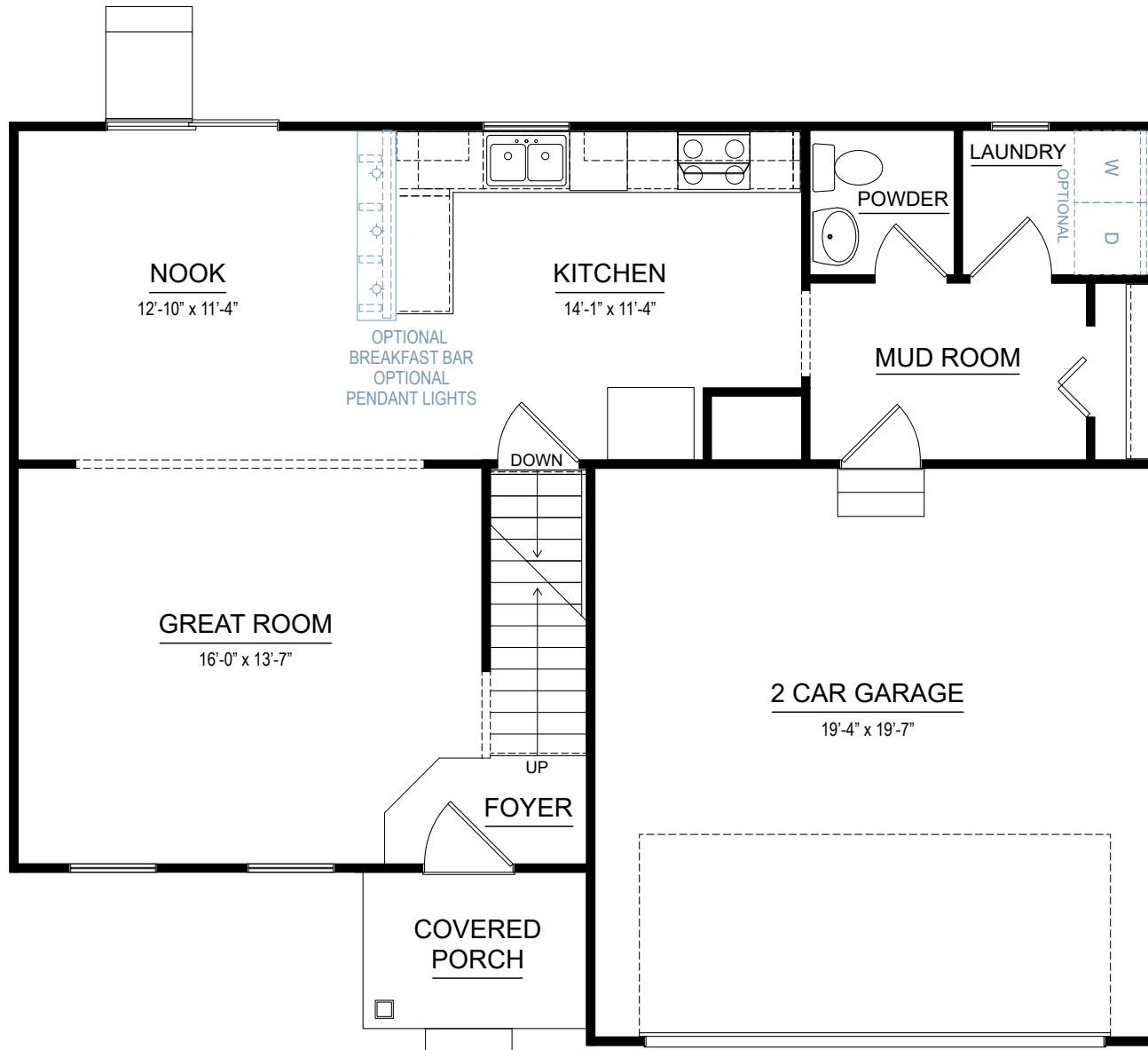


Elevation A2



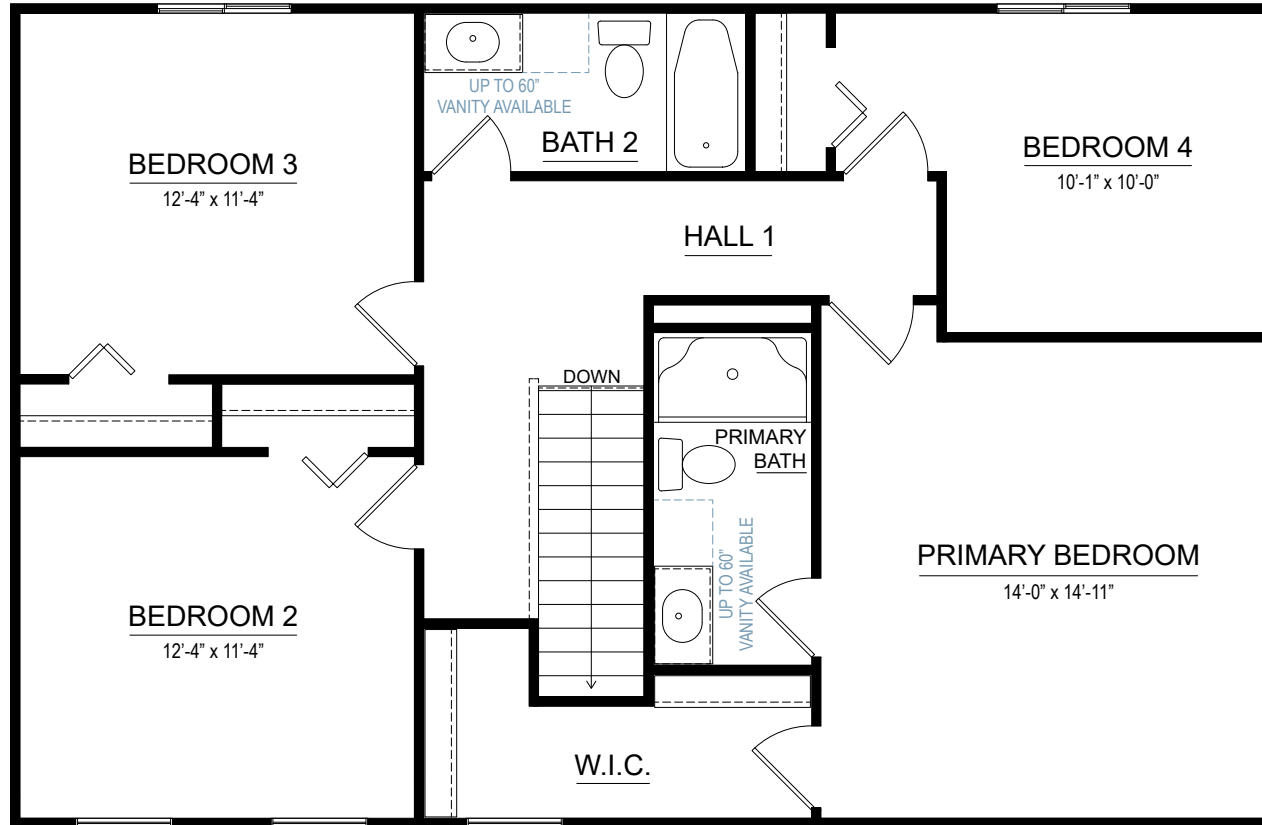
Elevation A3

Elevation A



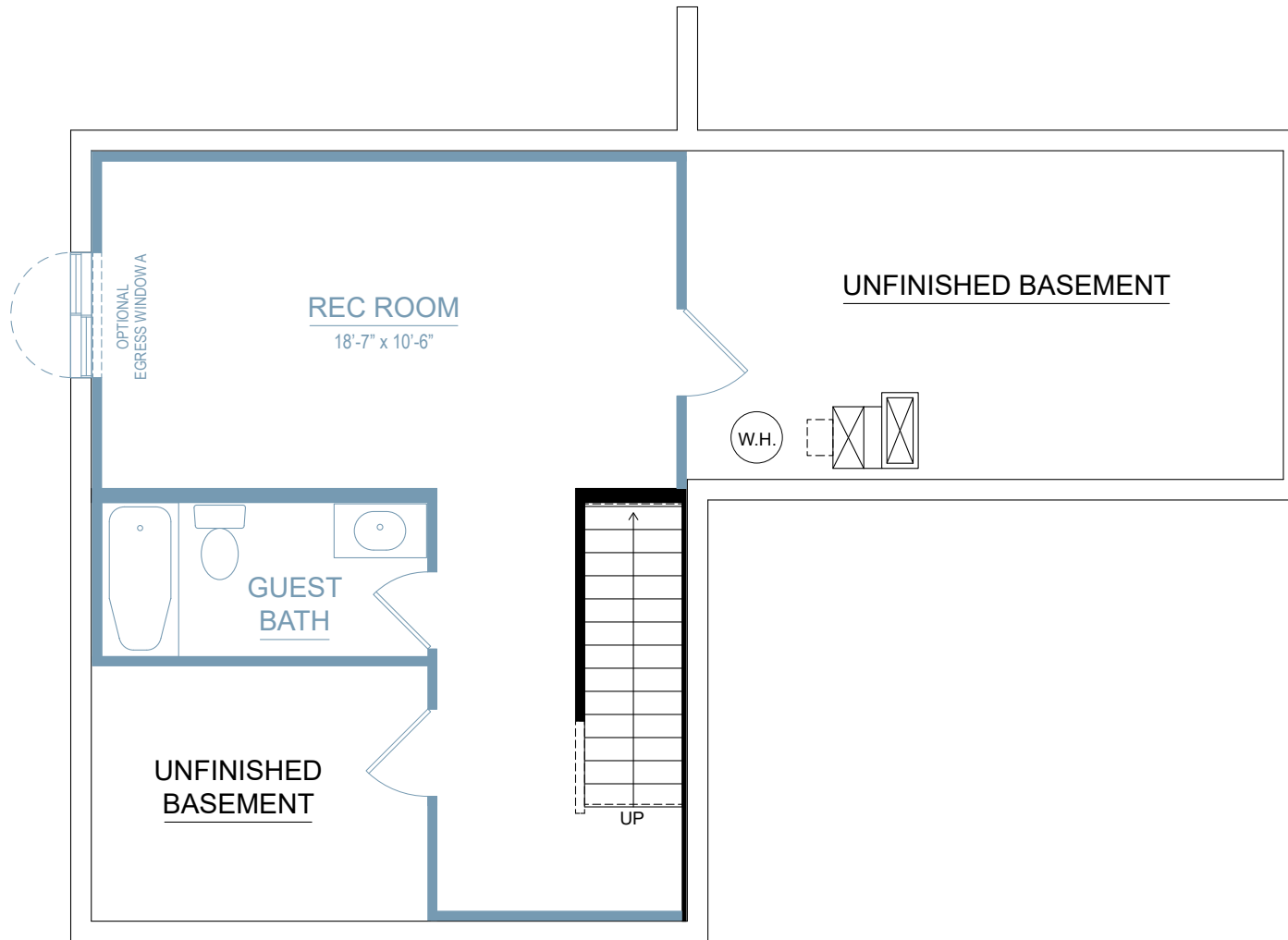
FIRST FLOOR





SECOND FLOOR





FINISHED BASEMENT

integrity 1910

1911 SF

4-5 bedrooms

2.5 bathrooms

2-car attached garage



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Elevation A1

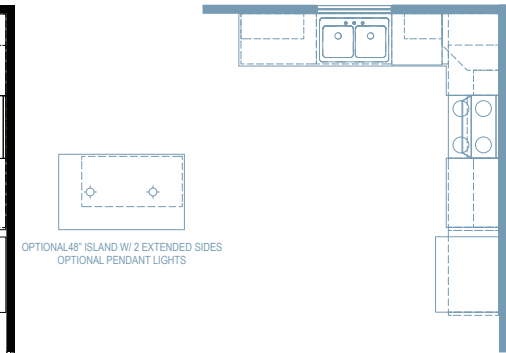
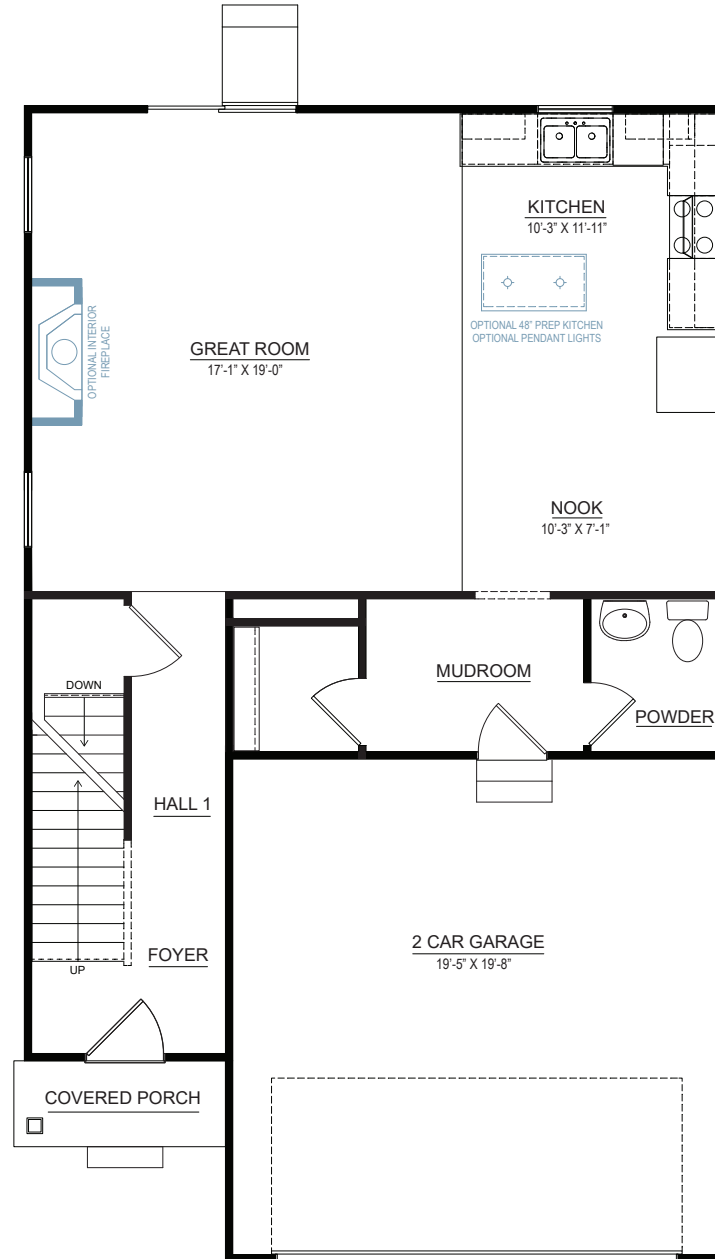


Elevation A2



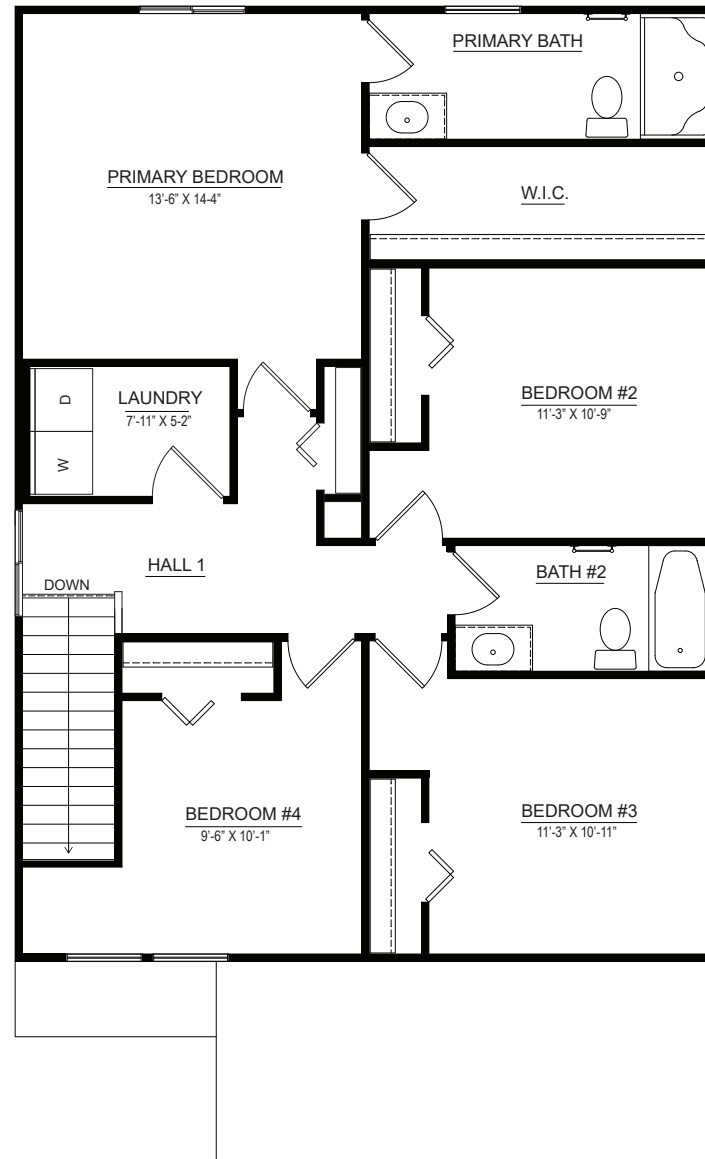
Elevation A3

Elevation A

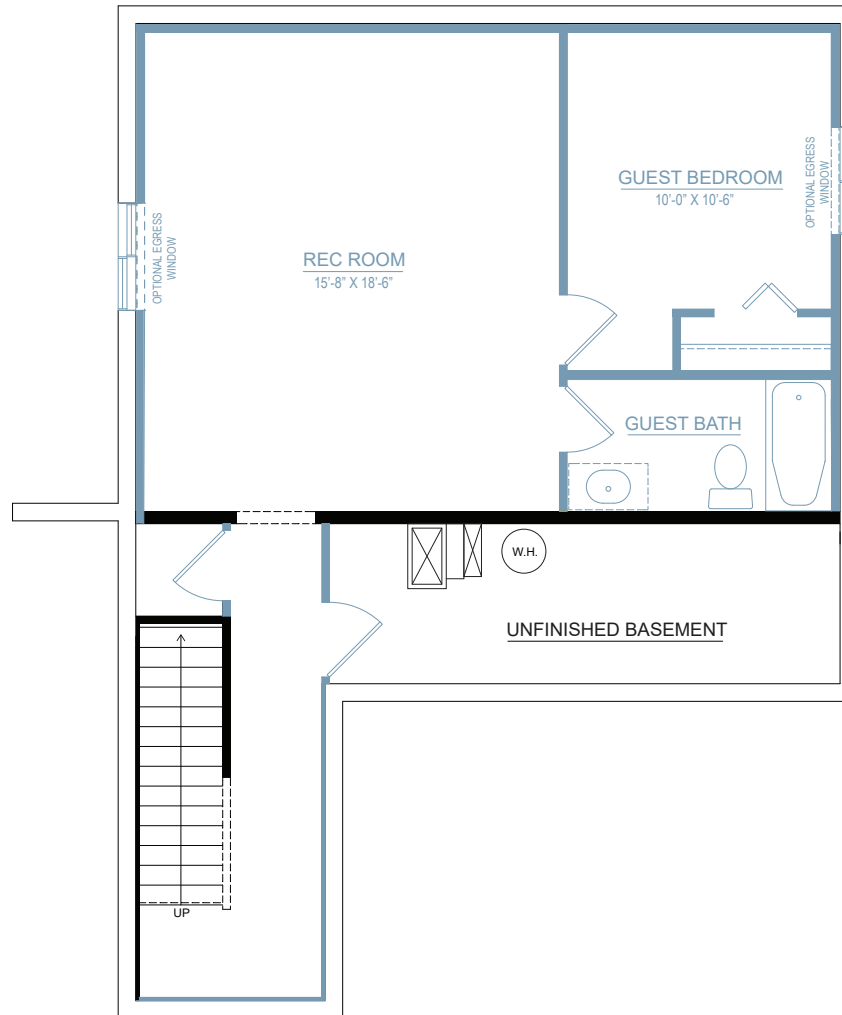


DESIGNER KITCHEN

FIRST FLOOR



SECOND FLOOR



FINISHED BASEMENT

integrity 2000

2,022 SF

4-5 bedrooms

2.5-3.5 bathrooms

2-3 car attached garage



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Elevation A1

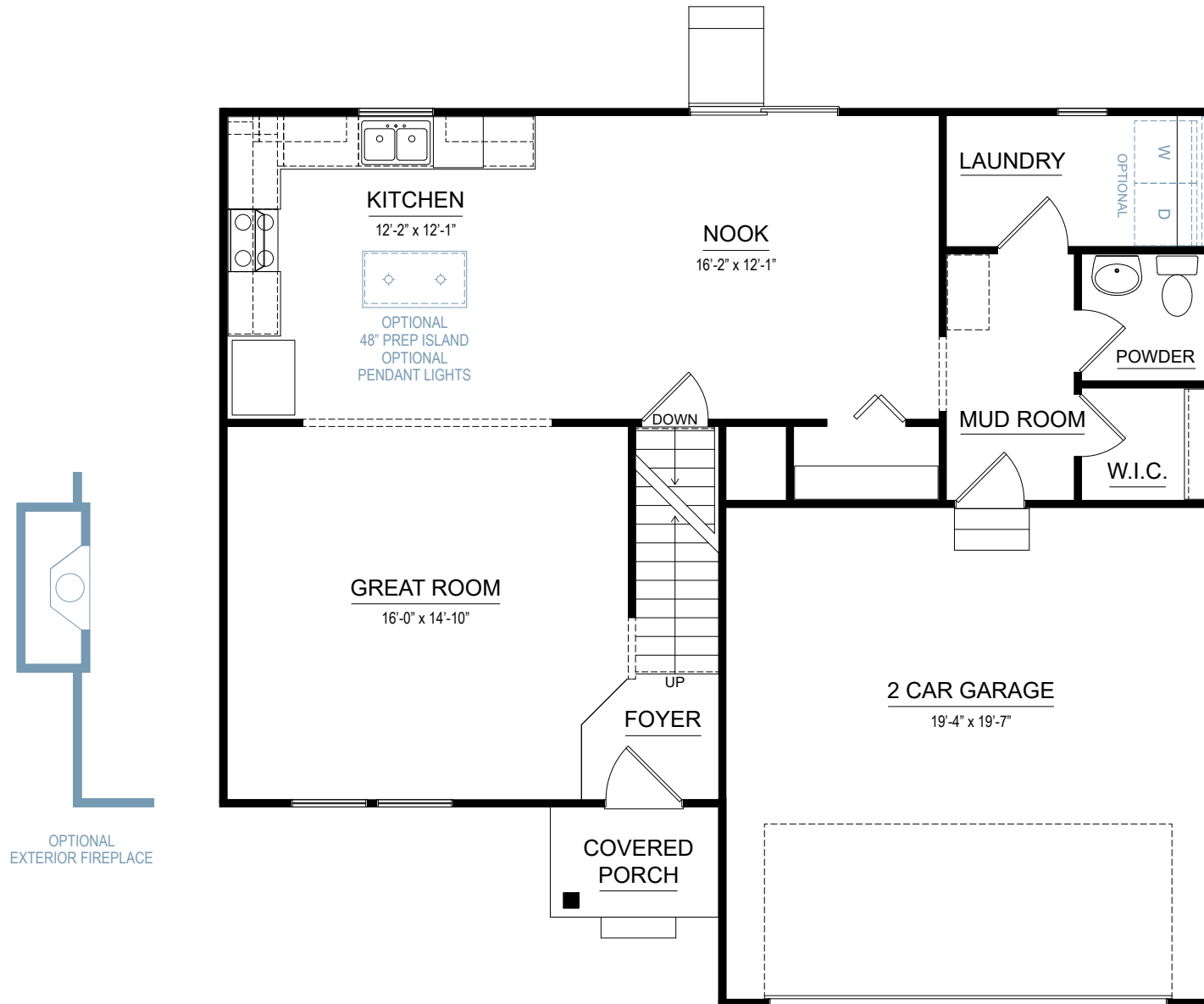


Elevation A2

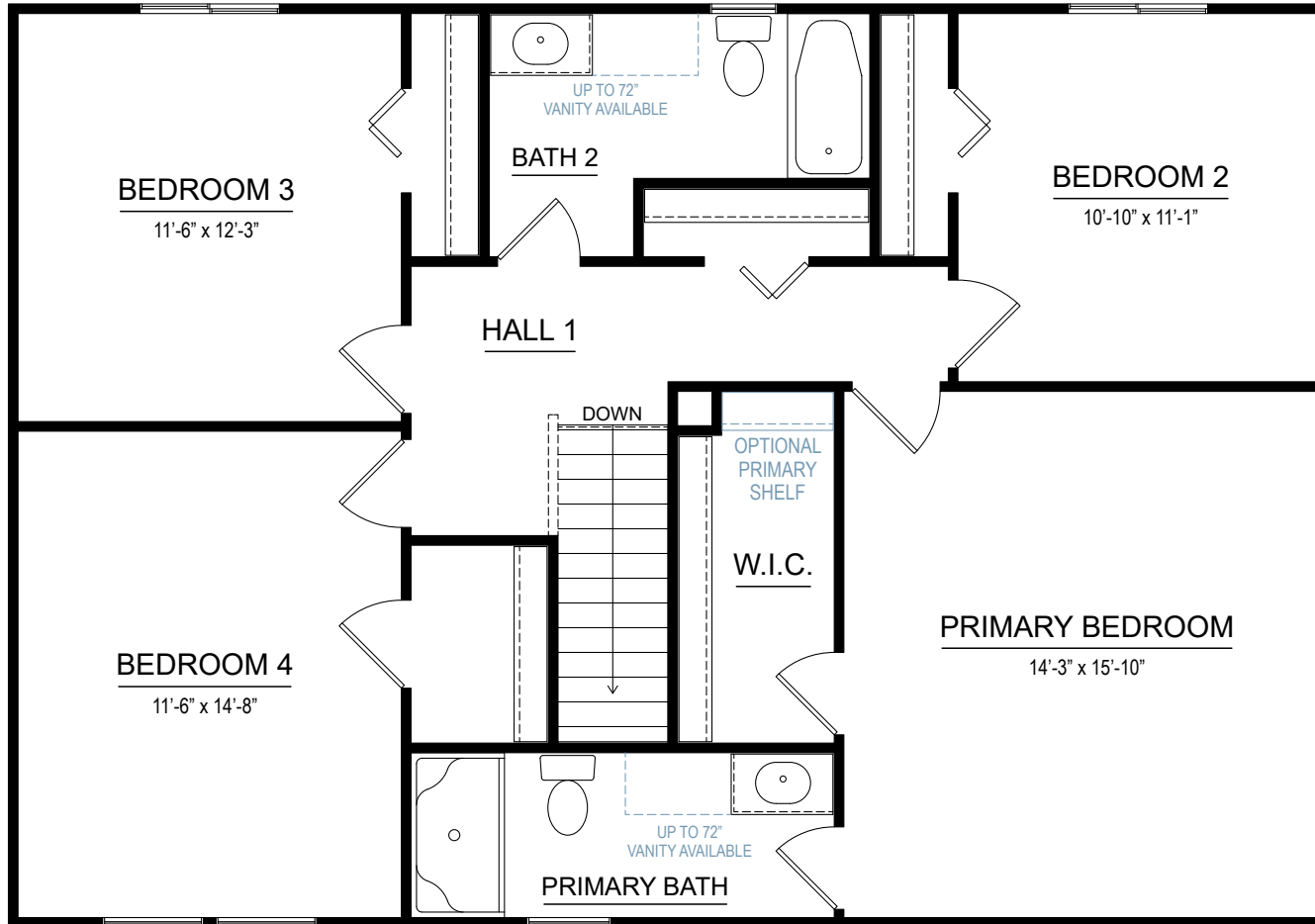


Elevation A3

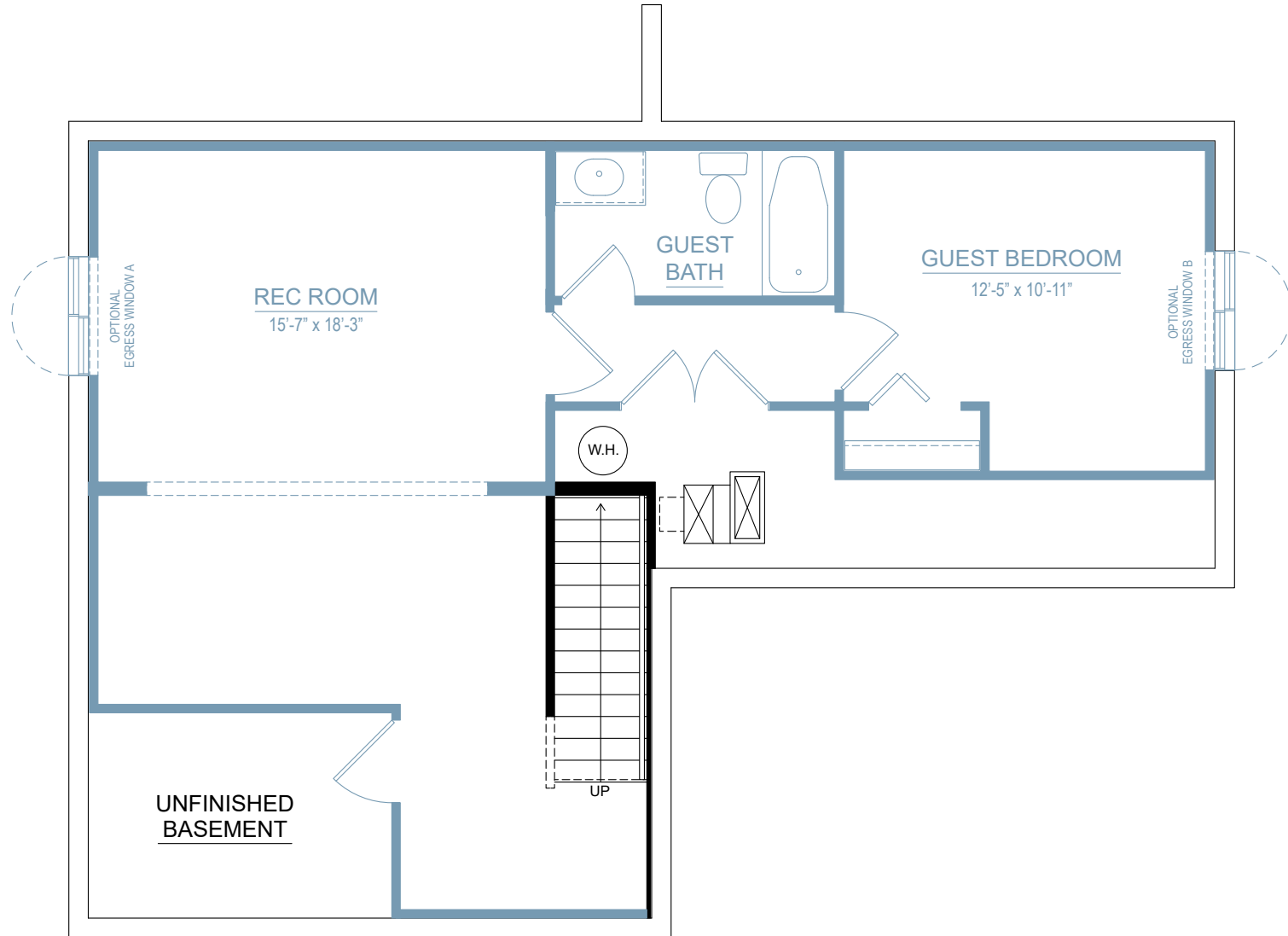
Elevation A



FIRST FLOOR



SECOND FLOOR



FINISHED BASEMENT



integrity 2080

2062 SF

4 bedrooms

2.5-3.5 bathrooms

2-3 car attached garage



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Elevation A1

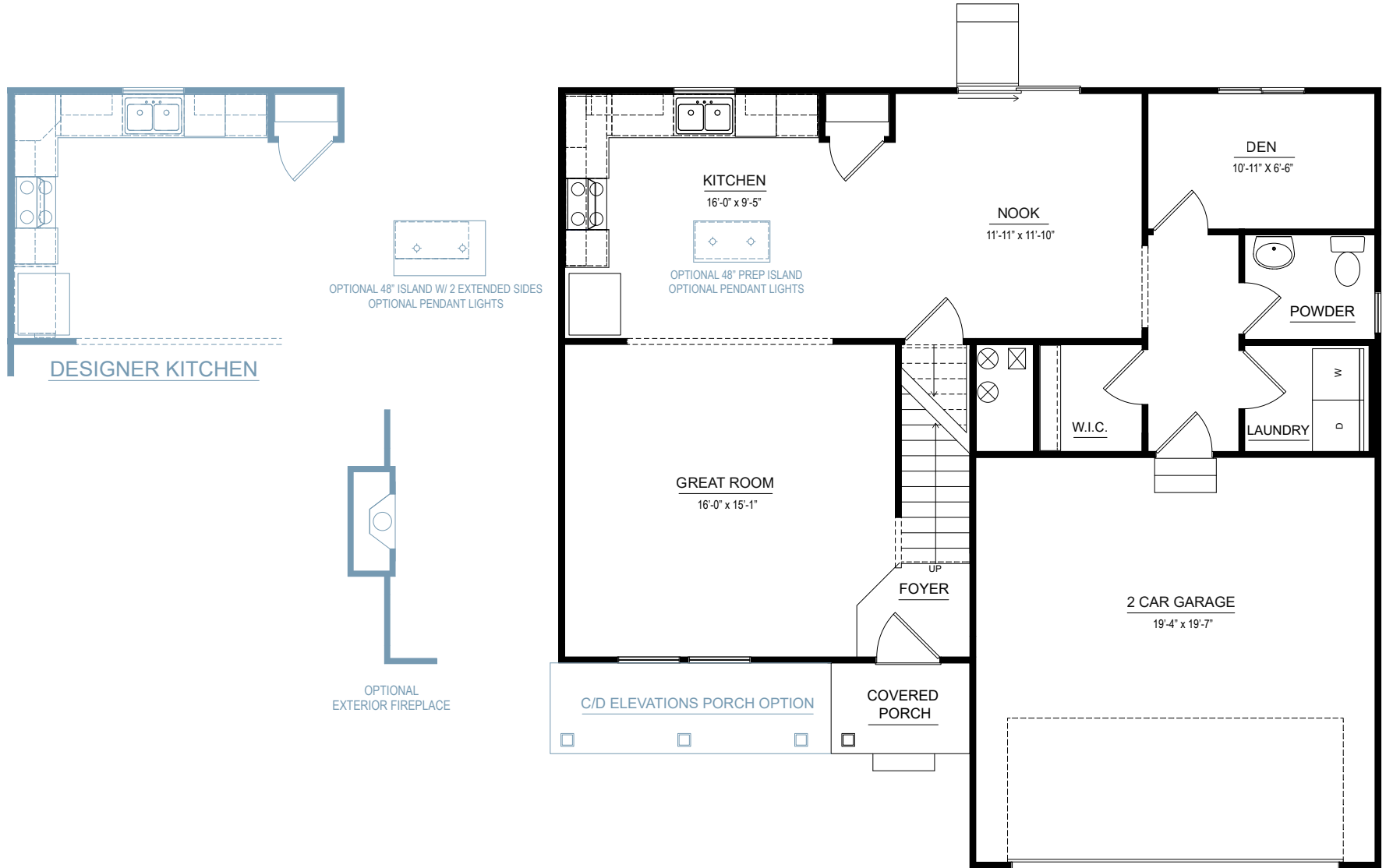


Elevation A2



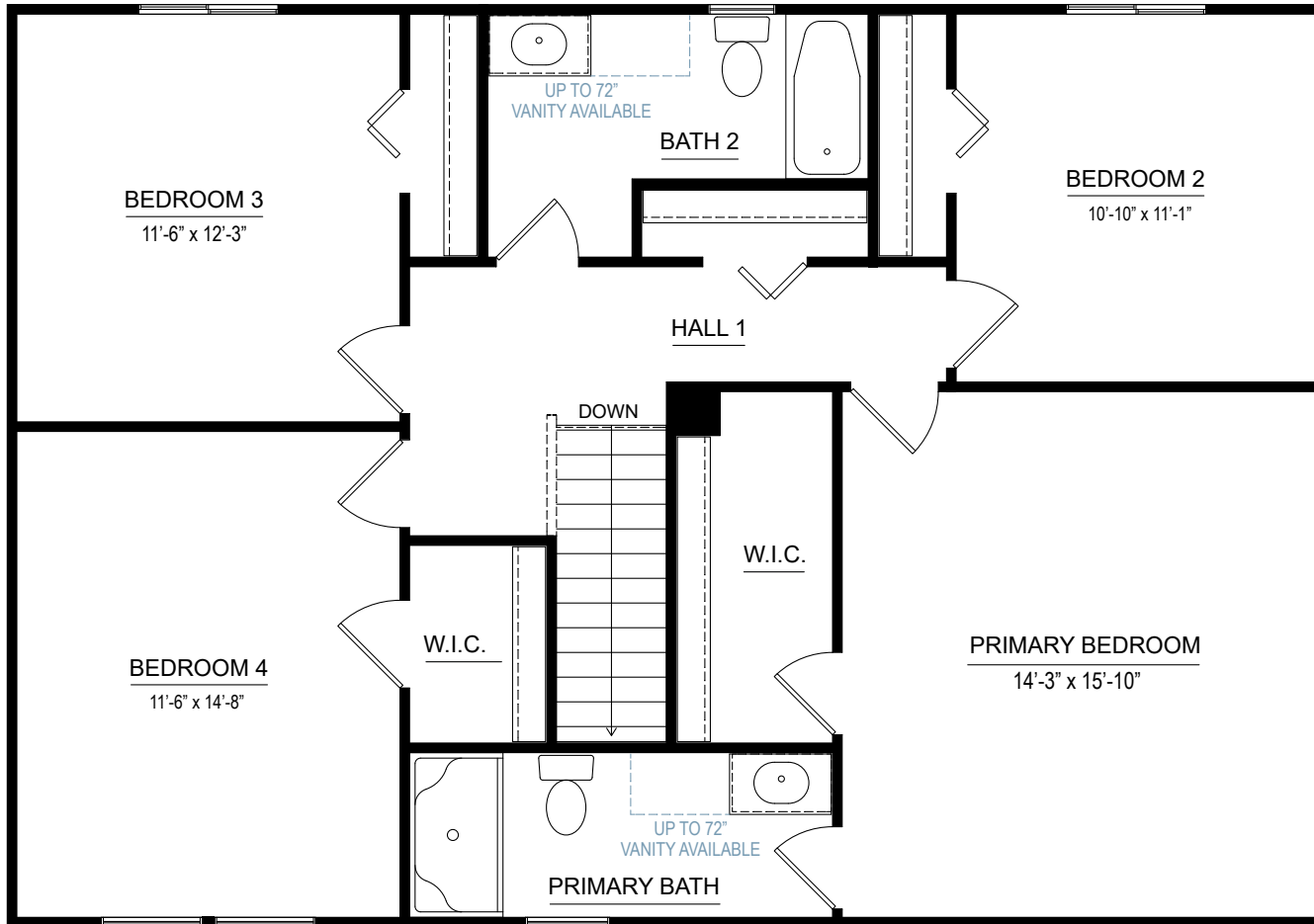
Elevation A3

Elevation A

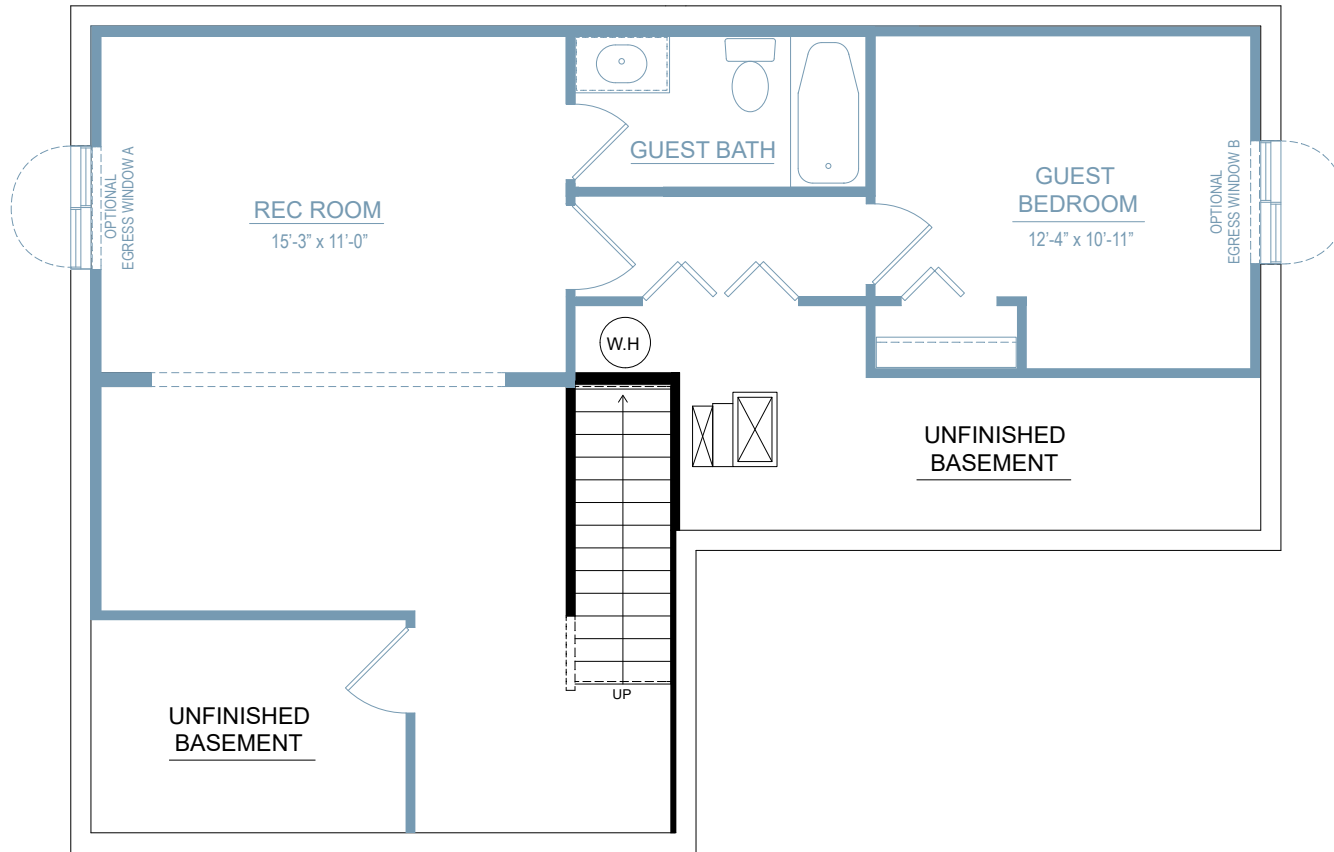


FIRST FLOOR





SECOND FLOOR



FINISHED BASEMENT

integrity 2085

2083 SF

5 bedrooms

2.5 bathrooms

2 car attached garage



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Elevation A1

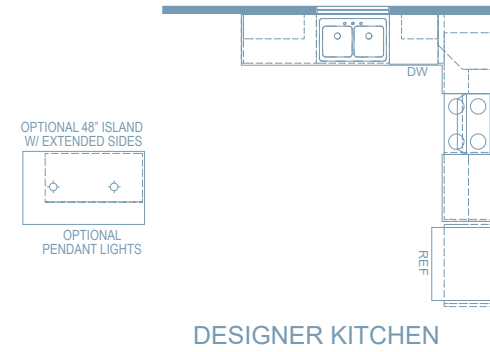
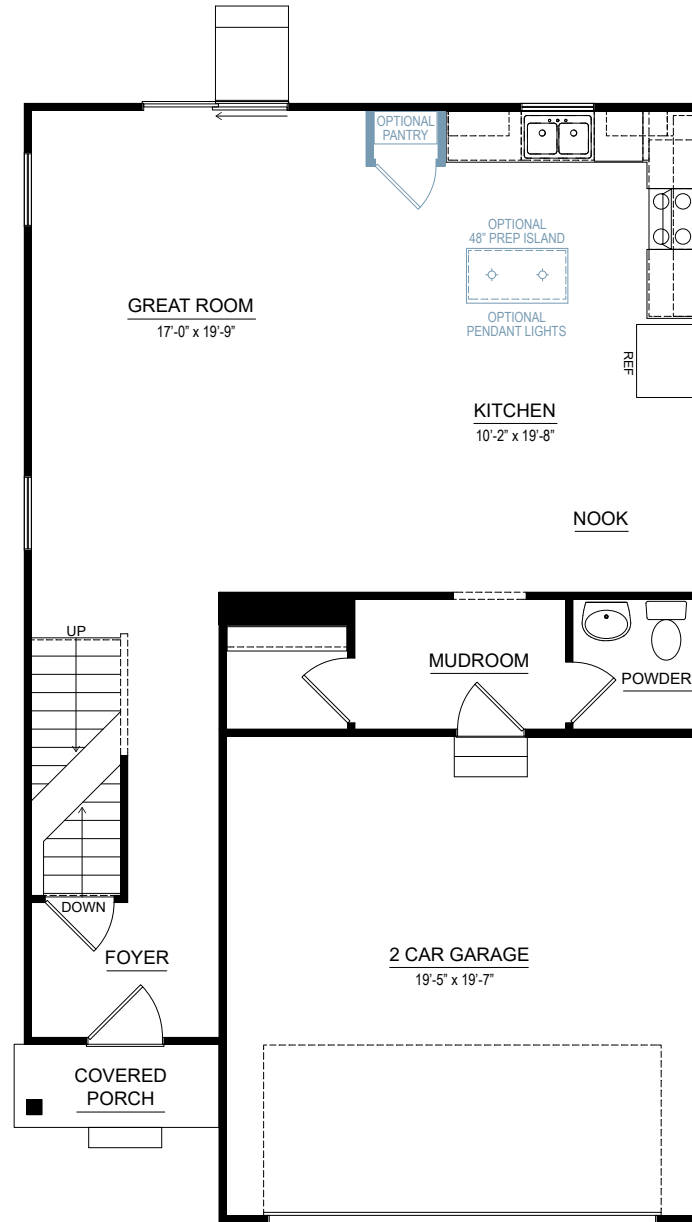


Elevation A2



Elevation A3

Elevation A

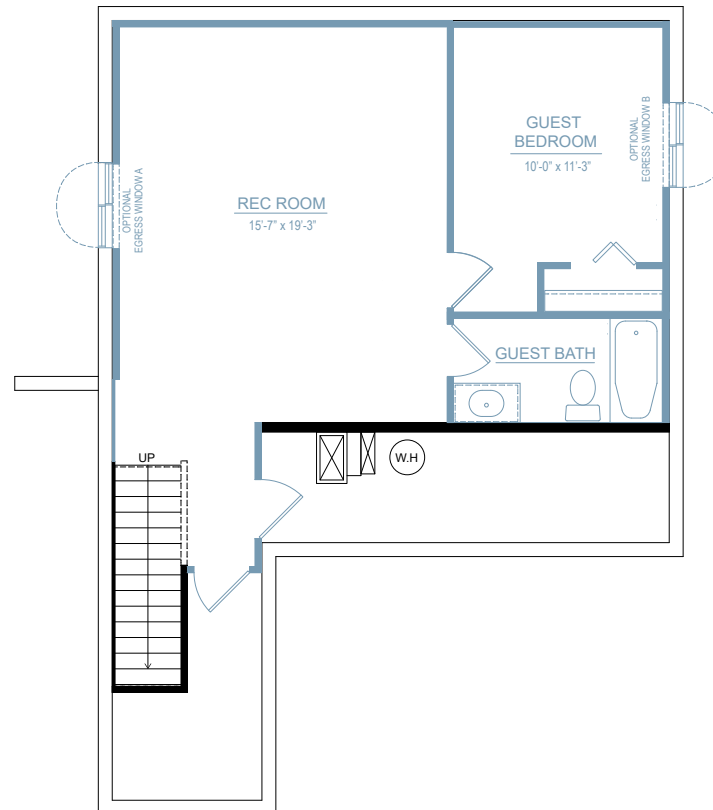


FIRST FLOOR



SECOND FLOOR





FINISHED BASEMENT

ENGINEER/SURVEYOR



LAND DEVELOPMENT SERVICES

THE UMLOR GROUP
49287 WEST ROAD
WIXOM, MI 48393
FAX: (866) 690-4307
WEB: www.umlorgroup.com

WES LEE UMLOR, P.E.
PHONE: (248) 773-7656
EMAIL: wumlor@umlorgroup.com

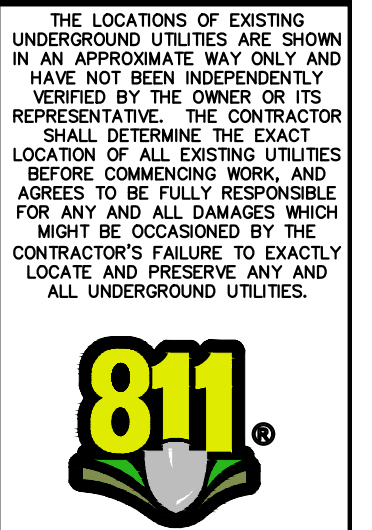
DEVELOPER/APPLICANT

CONTACT: CHRIS KOHANE
GREEN DEVELOPMENT VENTURES, LLC
ALLEN EDWIN HOMES
2186 CENTRE STREET
PORTAGE, MI 49002
CONTACT: CHRIS KOHANE
PHONE: (616) 325-0648
EMAIL: ckohane@allenedwin.com

SITE PLAN AMENDMENT HIGHLAND RESERVE RESIDENTIAL HOUSING DEVELOPMENT

SECTION 26, TOWN 3 NORTH, RANGE 6 EAST
HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

REVISIONS BY DIFFIN	
04-29-2022	PER MDR
06-08-2022	PER CITY
07-11-2022	PER CITY
07-20-2022	PER CITY
08-19-2022	PER MCPW
08-31-2022	PER MCPW
10-12-2022	PER MCPW



**Know what's below.
Call before you dig.**

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.
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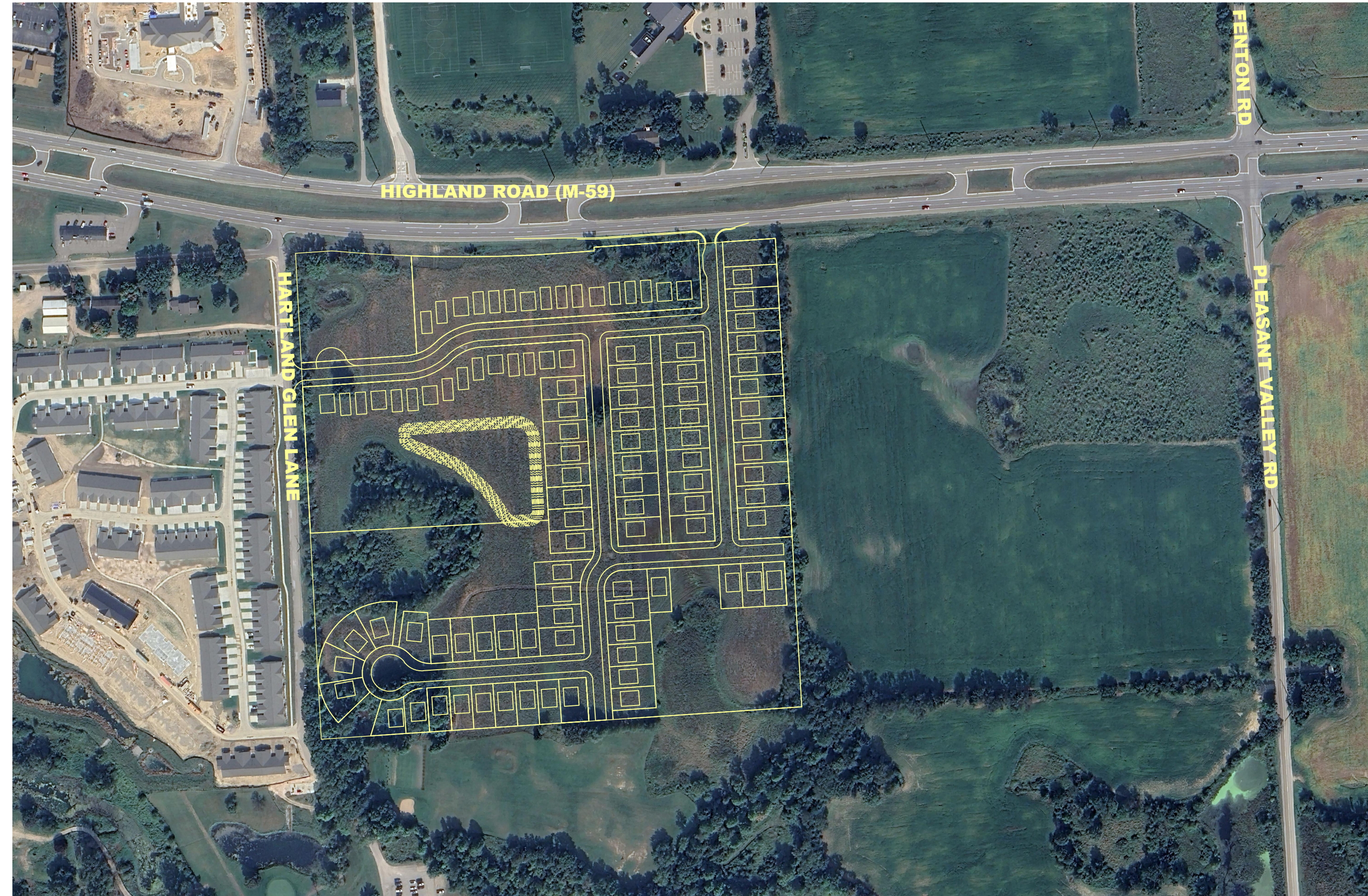
SECTION 26
TOWN 3 NORTH, RANGE 6 EAST
HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN

DATE: 2-10-25

REVISIONS	
1-15-25	SITE PLAN
2-10-25	SITE PLAN

HIGHLAND RESERVE
ALLEN EDWIN HOMES
2186 E CENTER STREET
PORTAGE, MI 49002

DR BY: MS	CK BY: JF
P.M. JF	SCALE 0
AS NOTED	
JOB NO. 240916	SHEET NO. 1
SHEET 1 OF 8	



AERIAL MAP
SCALE 1" = 250'

CONTACT	SUBMITTED
HARTLAND TOWNSHIP MIKE LUCE, TOWNSHIP MANAGER	3-4-24
TROY LANGER, DIRECTOR PLANNING & ZONING	5-1-24
PHONE: (810) 632-7498	6-21-24
2655 CLARK ROAD	8-14-24
HARTLAND, MI 48353	
HARTLAND TOWNSHIP SCOTT HABLE, DIRECTOR PUBLIC WORKS	3-4-24
PHONE: (810) 632-7498	5-1-24
2655 CLARK ROAD	6-21-24
HARTLAND, MI 48353	8-14-24
HARTLAND DEERFIELD FIRE AUTHORITY JON DEHANKE, CAPTAIN/FIRE INSPECTOR	3-4-24
PHONE: (810) 632-7676	
3205 HARTLAND ROAD	
HARTLAND, MI 48353	
LIVINGSTON COUNTY DRAIN COMMISSIONER FRANK ERVIN, DEPUTY DRAIN COMMISSIONER	3-4-24
PHONE: (517) 546-0040	5-1-24
2300 E. GRAND RIVER, SUITE 105	7-15-24
HOWELL, MI 48843-7581	8-14-24
GENESEEE COUNTY DRAIN COMMISSIONER-- WWS LYNNETTE MEINZ, P.E.	3-4-24
PHONE: (810) 732-7870	5-1-24
4610 BEECHER RD.	7-15-24
FLINT, MI 48532	
STATE OF MICHIGAN -- EGLE MATTHEW RODGERS	2-2-24
PHONE: (517) 388-6869	
STATE OF MICHIGAN -- MDOT REVIEW AGENT NOT YET ASSIGNED	2-2-24
PHONE:	6-7-24
	8-1-24

NOT APPROVED-PERMIT LIST
TOWNSHIP FINAL ENGINEERING PLAN APPROVAL
M.D.O.T. RIGHT-OF-WAY PERMIT
COUNTY SOIL EROSION PERMIT
EGLE NPDES NOTICE OF COVERAGE
EGLE PART 41 WASTEWATER PERMIT
EGLE ACT 399 WATER SYSTEM PERMIT
EGLE WETLAND PERMIT
TOWNSHIP WOODLAND PERMIT

APPROVED-PERMIT LIST
TWP. PRELIMINARY SITE PLAN \ CLUSTER DEVELOPMENT APPROVAL
TOWNSHIP ZBA (NOT REQUIRED)

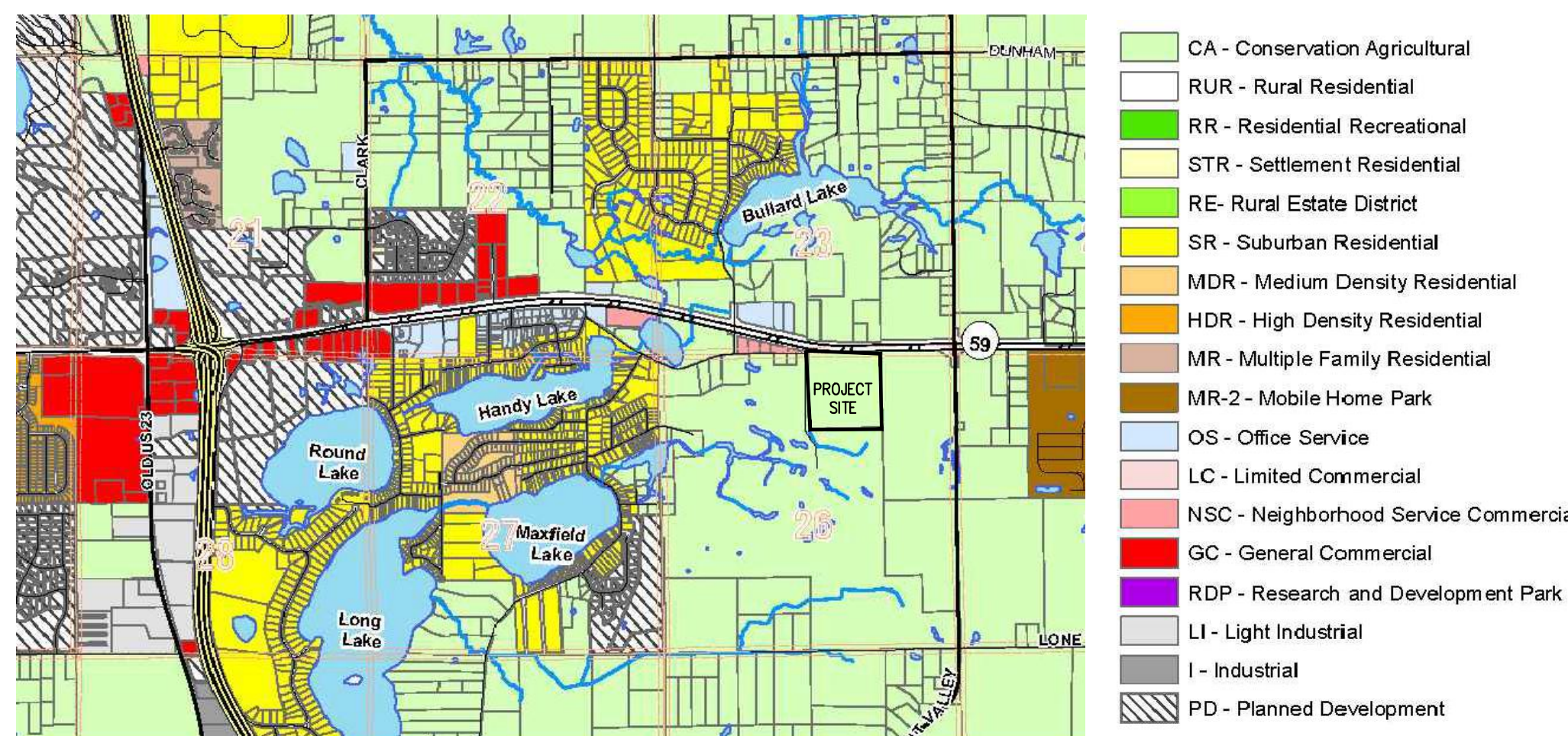
LIVINGSTON COUNTY DRAIN COMMISSIONER

ACCEPTED FOR PERMITTING AND CONSTRUCTION

PLANS ACCEPTED FOR CONSTRUCTION BY:

Brian Jonckheere, Drain Commissioner

Date: _____



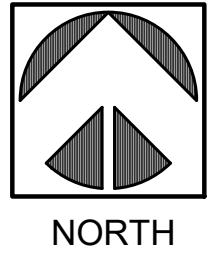
ZONING MAP
NOT TO SCALE

Note:
This project has been designed implementing the latest LCDC & GCDC-WWS Design Specifications. Carefully review the notes, details, and design prior to submitting a bid. Full compliance with the new standards will be required. Wherever conflicts exist between LCDC and GCDC-WWS standard details the stricter of the two shall prevail.

Existing utilities were "NOT" exposed for verification of location and elevations.

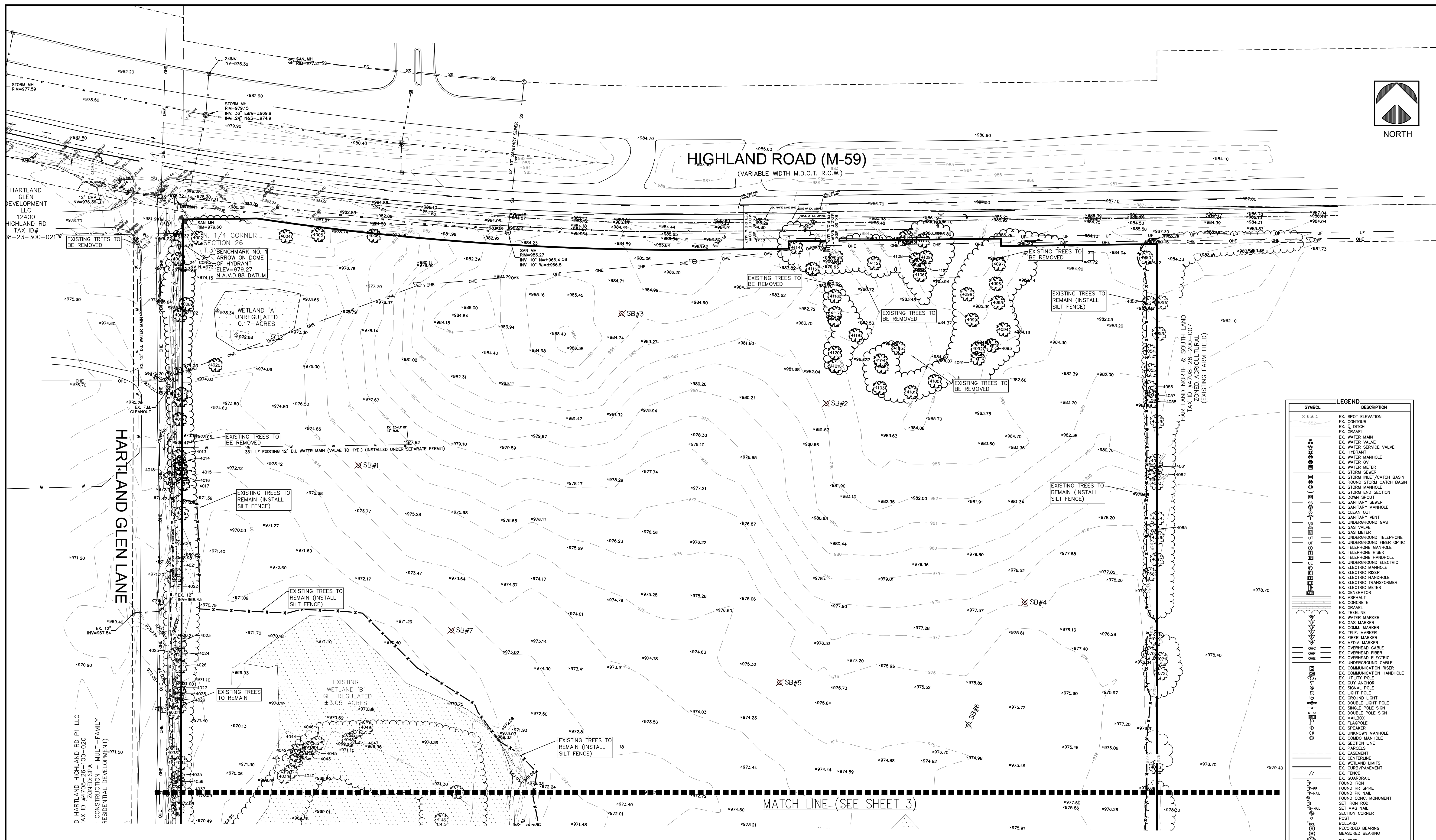
DRAINAGE SYSTEM OWNERSHIP: The portion of the proposed drainage system located within the rental area of the site is to be owned and properly maintained by the property owner and the portion of the proposed drainage system located within the site condominium area of the site is to be owned and properly maintained by the Condominium Owner's Association. Separate storm water maintenance agreements shall be executed with Hartland Twp. for each property.





REVISIONS

REV. PER LCDC	3-20-24 REVIEW
REV. PER GCDC	3-22-24 REVIEW
TWP ENGINEER'S	3-23-24 REVIEW
REV. PER LCDC	3-26-24 REVIEW
TWP ENGINEER'S	5-28-24 REVIEW
REV. PER LCDC	6-11-24 REVIEW



LEGEND

SYMBOL	DESCRIPTION
× 656.5	EX. SPOT ELEVATION
---	EX. CONTOUR
○	EX. GUY WIRE
○	EX. GRAVEL
—	EX. WATER MAIN
—	EX. WATER VALVE
—	EX. WATER SERVICE VALVE
—	EX. HYDRANT
—	EX. WATER MANHOLE
—	EX. WATER GUY
—	EX. WATER METER
—	EX. STORM SEWER
—	EX. STORM INLET/CATCH BASIN
—	EX. ROUND STORM CATCH BASIN
—	EX. STORM MANHOLE
—	EX. STORM END SECTION
—	EX. DOWN SPOUT
—	EX. SANITARY SEWER
—	EX. SANITARY MANHOLE
—	EX. CLEAN OUT
—	EX. GAS VALVE
—	EX. UNDERGROUND GAS
—	EX. GAS METER
—	EX. UNDERGROUND TELEPHONE
—	EX. UNDERGROUND FIBER OPTIC
—	EX. TELEPHONE MANHOLE
—	EX. TELEPHONE RISER
—	EX. TELEPHONE HANDHOLE
—	EX. UNDERGROUND ELECTRIC
—	EX. ELECTRIC MANHOLE
—	EX. ELECTRIC RISER
—	EX. ELECTRIC HANDHOLE
—	EX. ELECTRIC TRANSFORMER
—	EX. ELECTRIC METER
—	EX. GENERATOR
—	EX. ASPHALT
—	EX. CONCRETE
—	EX. GRAVEL
—	EX. TREELINE
—	EX. WATER MARKER
—	EX. GAS MARKER
—	EX. COMM. MARKER
—	EX. TELE. MARKER
—	EX. FIBER MARKER
—	EX. MEDIA MARKER
—	EX. OVERHEAD CABLE
—	EX. OVERHEAD FIBER
—	EX. OVERHEAD ELECTRIC
—	EX. UNDERGROUND CABLE
—	EX. COMMUNICATION RISER
—	EX. COMMUNICATION HANDHOLE
—	EX. UTILITY POLE
—	EX. GUY ANCHOR
—	EX. SIGNAL POLE
—	EX. LIGHT POLE
—	EX. GROUND LIGHT
—	EX. DOUBLE LIGHT POLE
—	EX. SINGLE POLE SIGN
—	EX. DOUBLE POLE SIGN
—	EX. MARKER
—	EX. FLAGPOLE
—	EX. SPEAKER
—	EX. UNKNOWN MANHOLE
—	EX. COMBO MANHOLE
—	EX. SECTION LINE
—	EX. PARCELS
—	EX. EASEMENT
—	EX. CENTERLINE
—	EX. WETLAND LIMITS
—	EX. CURB/PAVEMENT
—	EX. FENCE
—	EX. QUADRANT
—	FOUND IRON
—	FOUND RR SPIKE
—	FOUND PK NAIL
—	FOUND CONC. MONUMENT
—	SET IRON ROD
—	SET MAG NAIL
—	SECTION CORNER
—	POST
—	BOLLARD
—	RECORDED BEARING
—	MEASURED BEARING
—	EX. TREE
—	DEMO TREE

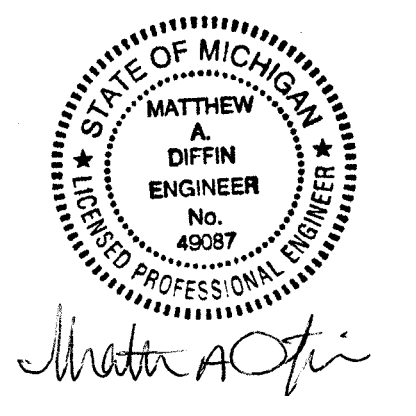
PROPERTY DESCRIPTION:
Land situated in the Township of Hartland, County of Livingston in the State of Michigan and described as follows:
A part of the West 1/2 of the Northeast 1/4 of Section 26, Town 3 North, Range 6 East, Hartland Township, Livingston County, Michigan, more particularly described as commencing at the North 1/4 corner of said Section 26 for a point of beginning; thence North 86 degrees 38 minutes 50 seconds East, 99.75 feet along the North line of said Section 26, to a point on the Southerly right-of-way of M-59 Highway; thence 622.15 feet along a curve to the left, said curve having a radius 3879.71 feet, a central angle of 09 degrees 11 minutes 16 seconds and a chord bearing and distance of South 88 degrees 47 minutes 24 seconds East, 621.48 feet, along the Southerly right-of-way of said M-59 Highway; thence North 86 degrees 36 minutes 57 seconds East, 95.52 feet, along Southerly right-of-way of said M-59 Highway; thence North 02 degrees 39 minutes 24 seconds West 10.00 feet, along Southerly right-of-way line of said M-59 Highway; thence North 86 degrees 36 minutes 57 seconds East, 286.00 feet, along Southerly right-of-way of said M-59 Highway; thence South 02 degrees 39 minutes 24 seconds East, 10.00 feet along Southerly right-of-way of said M-59 Highway; thence North 86 degrees 36 minutes 57 seconds East, 210.00 feet, along Southerly right-of-way of said M-59 Highway; thence South 02 degrees 39 minutes 24 seconds East, 1282.07 feet; thence South 86 degrees 41 minutes 45 seconds West, 1315.86 feet to a point on the North and South 1/4 line of said Section 26; thence North 02 degrees 27 minutes 46 seconds West, 1330.13 feet along said North and South 1/4 line of said Section 26, to the point of beginning.
TAX ID# 4708-26-200-002
PARCEL AREA = ±39.05-ACRES

CLIENT:
ALLEN EDWIN HOMES
2186 E. CENTRE STREET
PORTAGE, MICHIGAN 49002

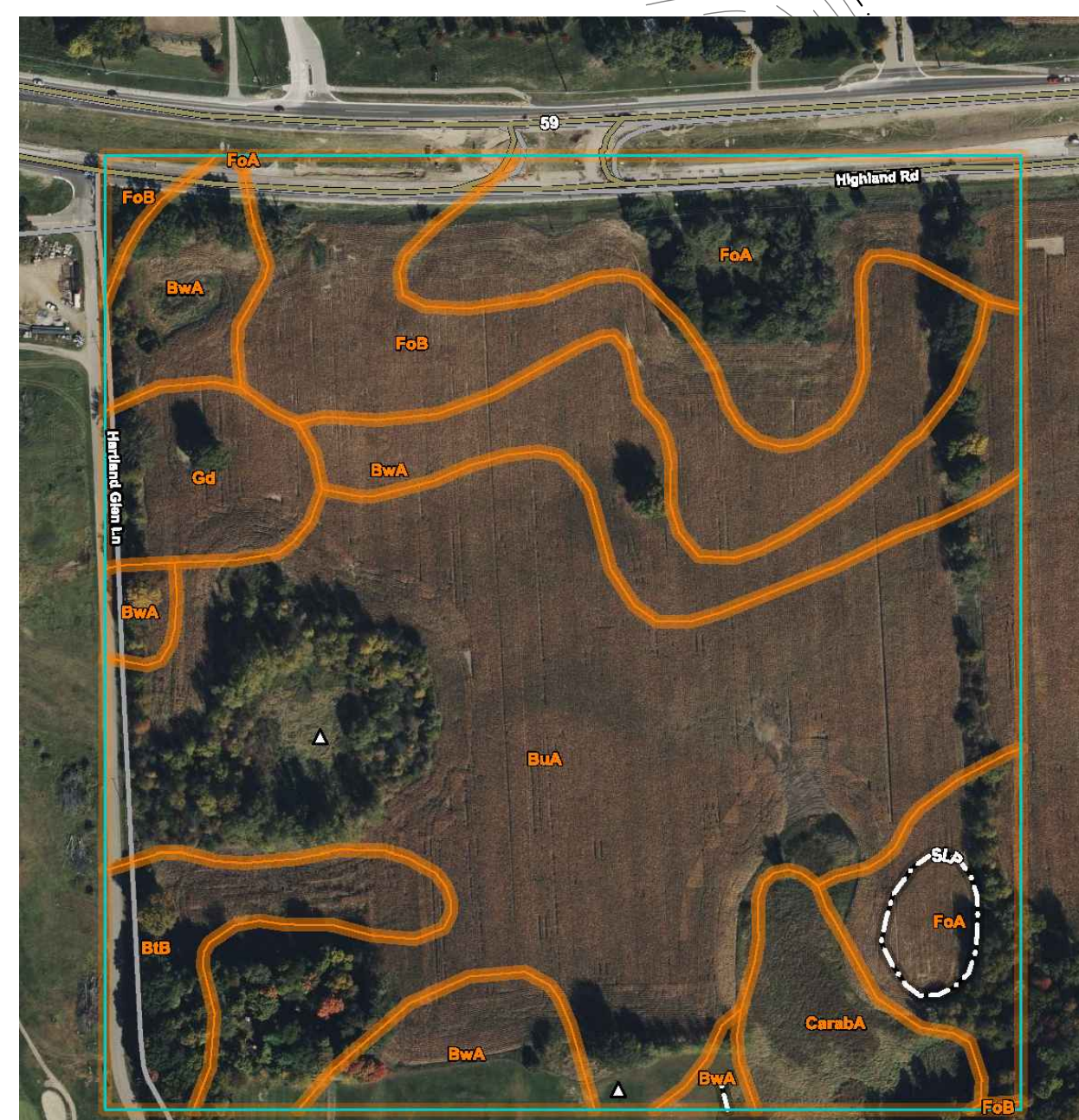
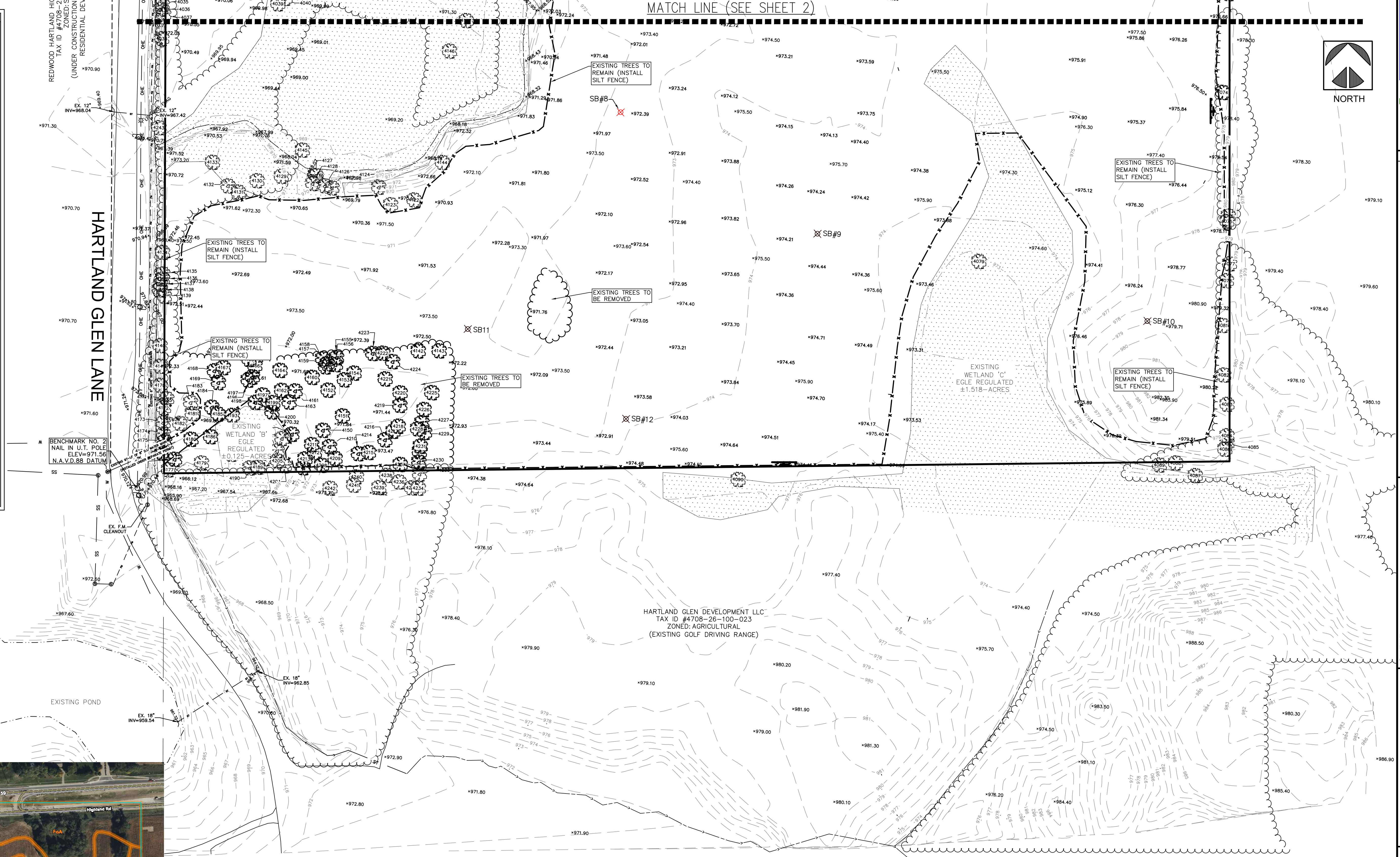
TOPOGRAPHIC SURVEY - NORTH
HIGHLAND RESERVE

These documents are instruments of service in respect of the project and shall remain the property of the Surveying (DES) for the specific purposes intended. Will be at Users sole risk and without liability or legal recourse if used for any other purpose. All damages, losses and expenses including attorneys' fees arising out of or resulting therefrom, in each verification or confirmation of rates to be agreed upon by User and DES.

SECTION 26
TOWN 3 NORTH, RANGE 6 EAST
HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN
DATE: 8-14-24
Drawn By: XX
No. 4908
P.E.: MD
1" = 60'
Job No.: 221215
Sheet No.



SYMBOL	DESCRIPTION
EX. 656.5	EX. SPOT ELEVATION
---	EX. CONTOUR
---	EX. & DITCH
---	EX. GRAVEL
---	EX. WATER MAIN
---	EX. WATER VALVE
---	EX. WATER SERVICE VALVE
---	EX. HYDRANT
---	EX. WATER MANHOLE
---	EX. WATER OV
---	EX. WATER METER
---	EX. STORM INLET/CATCH BASIN
---	EX. ROUND STORM CATCH BASIN
---	EX. STORM MANHOLE
---	EX. STORM END SECTION
---	EX. DOWN SPOUT
---	EX. SANITARY SEWER
---	EX. TELEPHONE MANHOLE
---	EX. CLEAN OUT
---	EX. SANITARY VENT
---	EX. UNDERGROUND GAS
---	EX. GAS VALVE
---	EX. GAS METER
---	EX. UNDERGROUND TELEPHONE
---	EX. UNDERGROUND FIBER OPTIC
---	EX. TELEPHONE MANHOLE
---	EX. TELEPHONE RISER
---	EX. UNDERGROUND ELECTRIC
---	EX. ELECTRIC MANHOLE
---	EX. ELECTRIC RISER
---	EX. ELECTRIC HANDHOLE
---	EX. ELECTRIC TRANSFORMER
---	EX. ELECTRIC METER
---	EX. GENERATOR
---	EX. ASPHALT
---	EX. CONCRETE
---	EX. TREETRUNK
---	EX. WATER MARKER
---	EX. GAS MARKER
---	EX. COMM. MARKER
---	EX. TELE. MARKER
---	EX. FIBER MARKER
---	EX. MEDIA MARKER
---	EX. OVERHEAD CABLE
---	EX. OVERHEAD FIBER
---	EX. OVERHEAD ELECTRIC
---	EX. UNDERGROUND CABLE
---	EX. COMMUNICATION RISER
---	EX. COMMUNICATION HANDHOLE
---	EX. UTILITY POLE
---	EX. OUT ANCHOR
---	EX. SIGNAL POLE
---	EX. LIGHT POLE
---	EX. GROUND LIGHT
---	EX. DOUBLE LIGHT POLE
---	EX. SINGLE POLE SIGN
---	EX. DOUBLE POLE SIGN
---	EX. MAILBOX
---	EX. FLAGPOLE
---	EX. SPEAKER
---	EX. UNKNOWN MANHOLE
---	EX. COMBO MANHOLE
---	EX. SECTION LINE
---	EX. PARCELS
---	EX. EASEMENT
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---	EX. WETLAND LIMITS
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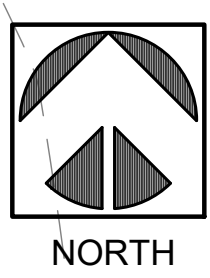
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
BbB	Boyer-Oshemo loamy sands, 2 to 6 percent slopes	2.4	4.9%
BuA	Brady loamy sand, 0 to 2 percent slopes	21.0	42.3%
BwA	Bronson loamy sand, 0 to 2 percent slopes	7.7	15.5%
CarabA	Carlisle muck, 0 to 2 percent slopes	1.9	3.9%
FoA	Fox sandy loam, 0 to 2 percent slopes	7.9	16.0%
FoB	Fox sandy loam, 2 to 6 percent slopes	6.8	13.8%
Gd	Gifford sandy loam, 0 to 2 percent slopes, gravelly subsoil	1.9	3.8%
Totals for Area of Interest		48.7	100.0%

SOILS LEGEND

PROPERTY DESCRIPTION:

Land situated in the Township of Hartland, County of Livingston in the State of Michigan and described as follows:
 A part of the West 1/2 of the Northeast 1/4 of Section 26, Town 3 North, Range 6 East, Hartland Township, Livingston County, Michigan, more particularly described as commencing at the North 1/4 corner of said Section 26 for a point of beginning; thence North 86 degrees 38 minutes 50 seconds East, 99.75 feet along the North line of said Section 26, to a point on the Southerly right-of-way of M-59 Highway; thence 622.15 feet along a curve to the left, said curve having a radius 3879.71 feet, a central angle of 09 degrees 11 minutes 16 seconds and a chord bearing and distance of South 88 degrees 47 minutes 24 seconds East, 621.43 feet, along the Southerly right-of-way of said M-59 Highway; thence North 86 degrees 36 minutes 57 seconds East, 95.52 feet, along Southerly right-of-way of said M-59 Highway; thence North 02 degrees 39 minutes 24 seconds West 10.00 feet, along Southerly right-of-way line of said M-59 Highway; thence North 86 degrees 36 minutes 57 seconds East, 286.00 feet, along Southerly right-of-way of said M-59 Highway; thence South 02 degrees 39 minutes 24 seconds East, 10.00 feet along Southerly right-of-way of said M-59 Highway; thence North 86 degrees 36 minutes 57 seconds East, 210.00 feet, along Southerly right-of-way of said M-59 Highway; thence South 02 degrees 39 minutes 24 seconds East, 1282.07 feet; thence South 86 degrees 41 minutes 45 seconds West, 1315.86 feet to a point on the North and South 1/4 line of said Section 26; thence North 02 degrees 27 minutes 46 seconds West, 1330.13 feet along said North and South 1/4 line of said Section 26, to the point of beginning.
 TAX ID # 4708-26-200-002
 PARCEL AREA = ±39.05-ACRES

MATCH LINE (SEE SHEET 2)



Civil Engineering
 Land Surveying
DIFFIN
 Engineering & Surveying
 24353 Tara Drive
 South Lyon, MI 48178
 P: 248.943.8244
 F: 248.378.2564
 www.Diffin-Eng.com

REVISIONS	REV.	PER	DATE
REV. PER LCDC	3-20-24	REVIEW	
REV. PER GDCD	3-22-24	REVIEW	
TWP ENGINEER'S	3-23-24	REVIEW	
REV. PER LCDC	3-26-24	REVIEW	
TWP ENGINEER'S	5-28-24	REVIEW	
REV. PER LCDC	6-11-24	REVIEW	

CLIENT:
 ALLEN EDWIN HOMES
 2186 E. CENTRE STREET
 PORTAGE, MICHIGAN 49002
 TOPOGRAPHIC SURVEY - SOUTH
 HIGHLAND RESERVE

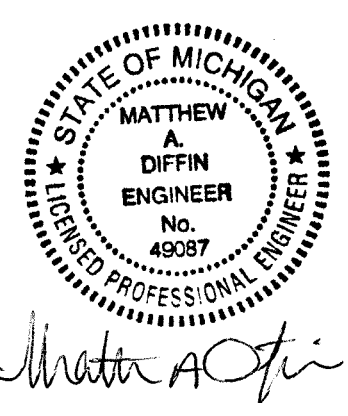
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SECTION 26
 TOWN 3 NORTH, RANGE 6 EAST
 HARTLAND TOWNSHIP
 LIVINGSTON COUNTY, MICHIGAN

DATE: 8-14-24
 Drawn By: XX
 P.E.: MD

1" = 60'
 Job No.: 221215
 Sheet No.

3

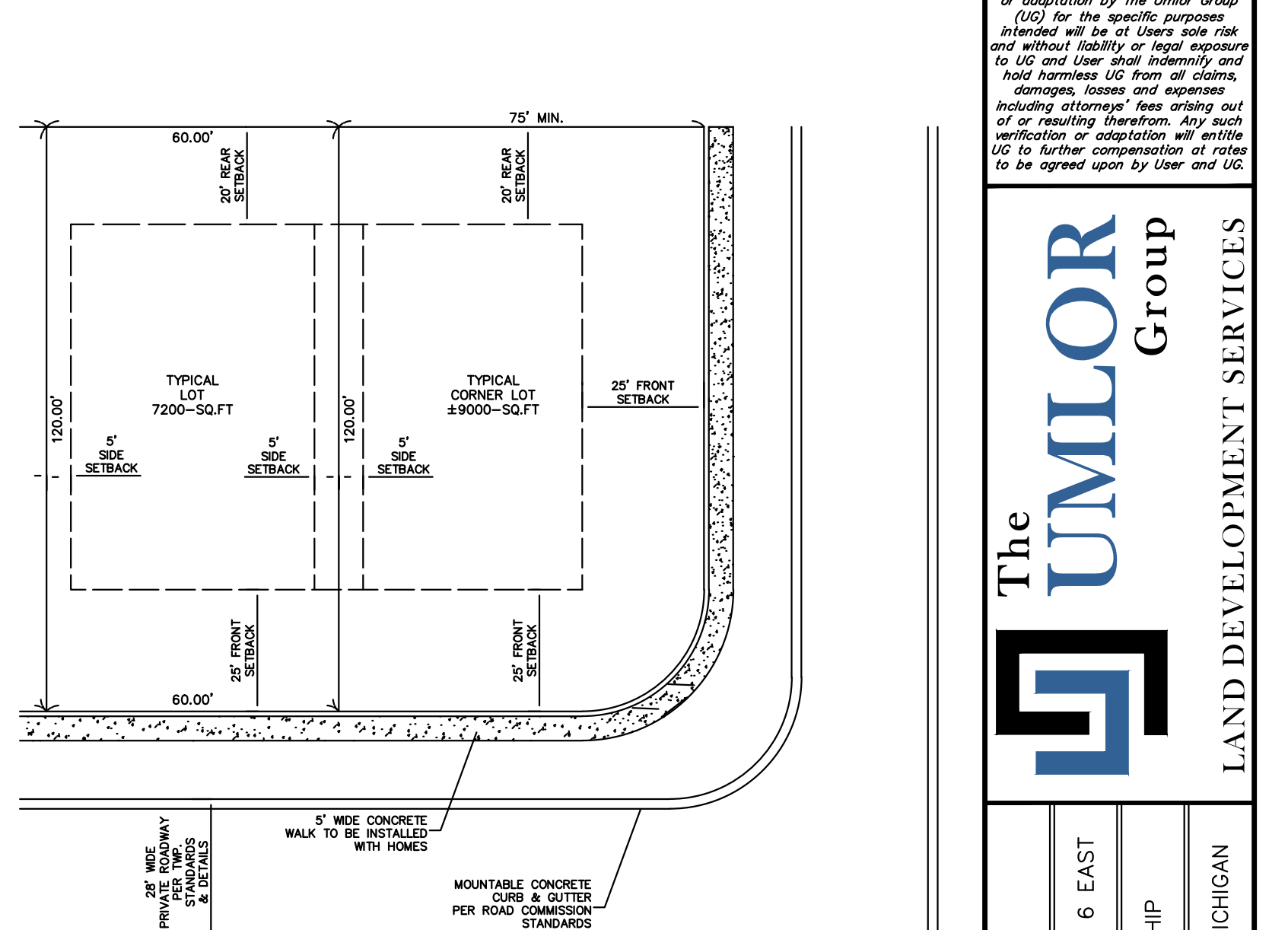




SITE DATA
 OVERALL PARCEL AREA = ±39.05-ACRES
 COMMERCIAL PARCEL AREA = ±2.1-ACRES
 EXISTING ZONE = SPECIAL PLANNING AREA (SPA)
 PROPOSED ZONING (PD) CLUSTER OPTION
 PROPOSED NO. CONDO UNITS = 71
 UNIT DENSITY = 102/39.05 = 2.61 UNITS/ACRE
 PD TOTAL OPEN SPACE REQUIREMENT = 25% OR 9,763-ACRES
 PROVIDED TOTAL OPEN SPACE = ±16,516-ACRES 41.8%
 OPEN SPACE WETLANDS = ±4,668-ACRES 12.0%
 OPEN SPACE UPLANDS = ±1,913-ACRES 4.9%
 COMMON USEABLE OPEN SPACE = ±6,111-ACRES 15.6%
 MINIMUM LOT SIZE 60'(W)x120'(L)
 MINIMUM LOT AREA = 7,200-SQ.FT
 FRONT BUILDING SETBACK = 25-FT
 REAR BUILDING SETBACK = 20-FT
 SIDE BUILDING SETBACK = 5-FT EACH SIDE
 80-FT BUILDING SETBACK REQUIRED ALONG M-59 R.O.W.

RESIDENTIAL SINGLE DEED RENTALS
 AREA = ±10.15-ACRES
 OPEN SPACE = ±5,790-ACRES
 EX. WETLANDS = ±1.19-ACRES
 PR. WETLAND DISTURBANCE = ±0.0-ACRES
 PR. DETENTION BASIN = ±1,908-ACRES

RESIDENTIAL SITE CONDO
 AREA = ±27.36-ACRES
 OPEN SPACE = ±7,551-ACRES
 EX. WETLANDS = ±3,318-ACRES
 PR. WETLAND DISTURBANCE = ±0.24-ACRES
 PR. DETENTION BASIN = ±0.05-ACRES



PLANNED DEVELOPMENT NOTES

- SITE ACCESS & ROADWAYS**
 THE DEVELOPMENT WILL BE SERVED BY PRIVATE ROADS MEETING THE STANDARDS AND SPECIFICATIONS OF HARTLAND TOWNSHIP AND LIVINGSTON COUNTY ROAD COMMISSION. SEE HARTLAND TWP. PAVING DETAIL SHEET FOR ROAD CROSS SECTION.
- UTILITIES**
 PROPOSED PROJECT WILL BE SERVED BY PUBLIC SEWER AND PUBLIC WATER. PRIVATE UTILITIES (GAS, ELECTRIC, PHONE) SHALL BE UNDERGROUND.
- SITE LIGHTING**
 STREET LIGHTING TO BE IN ACCORDANCE WITH HARTLAND TOWNSHIP ORDINANCES.
- STORM WATER MANAGEMENT**
 STORM WATER RUNOFF WILL BE COLLECTED IN THE STORM SEWER SYSTEM AND DETAINED IN ACCORDANCE WITH THE LIVINGSTON COUNTY DRAIN COMMISSION STORM WATER ORDINANCE.
- SIDEWALKS**
 SIDEWALKS WILL BE IN ACCORDANCE WITH TOWNSHIP ORDINANCES.
- FLOODPLAIN**
 THE SITE IS NOT AFFECTED BY A REGULATED 100-YEAR FLOODPLAIN.
- WETLANDS**
 WETLAND SHOWN AS PROVIDED BY ENVIROLOGIC ENVIRONMENTAL CONSULTING AND SERVICES.
- SANITARY SEWER**
 SANITARY SEWER TO BE IN ACCORDANCE WITH LCCC CURRENT STANDARDS EXCEPT WHERE MODIFIED BY THE TOWNSHIP.
- WATER MAIN**
 WATER MAIN TO BE IN ACCORDANCE WITH TOWNSHIP STANDARDS.

LEGEND

- PR. COMMERCIAL PARCEL
- PR. CONDOMINIUM UNITS
- PR. RENTAL UNITS
- OPEN SPACE AREA (UPLAND)
- EX. WETLANDS
- PR. PRESERVATION AREAS
- STORM WATER PONDS
- EXISTING WOODLANDS TO REMAIN
- EXISTING REGULATED TREE TO REMAIN
- CONDOMINIUM GENERAL COMMON ELEMENT
- CONDOMINIUM LIMITED COMMON ELEMENT
- PROJECT PHASING LIMITS
- TEMPORARY EASEMENT

REVISIONS

NO.	DATE	REVISIONS
1-15-25		SITE PLAN
2-10-25		SITE PLAN

HIGHLAND RESERVE
 ALLEN EDWIN HOMES
 2186 E. CENTER STREET
 PORTAGE, MI 49002

SITE PLAN & PHASING PLAN

DATE: 2-10-25

DR BY: MS
 CK BY: JF
 P.M. JF
 SCALE: 0 30 60
 1" = 60 FEET
 JOB NO. 240916
 SHEET NO. 4
 SHEET 4 OF 8

REDWOOD HARTLAND HIGHLAND RD P1 LLC
 TAX ID #4708-26-100-020
 (UNDER CONSTRUCTION - MULTI-FAMILY RESIDENTIAL DEVELOPMENT)

HARTLAND GLEN LANE

HARTLAND GLEN LANE

STATE OF MICHIGAN
 JASON MICHAEL
 ENGINEER
 021058708
 PROFESSIONAL ENGINEER

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND ACCEPTS TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

811
 Know what's below.
 Call before you dig.

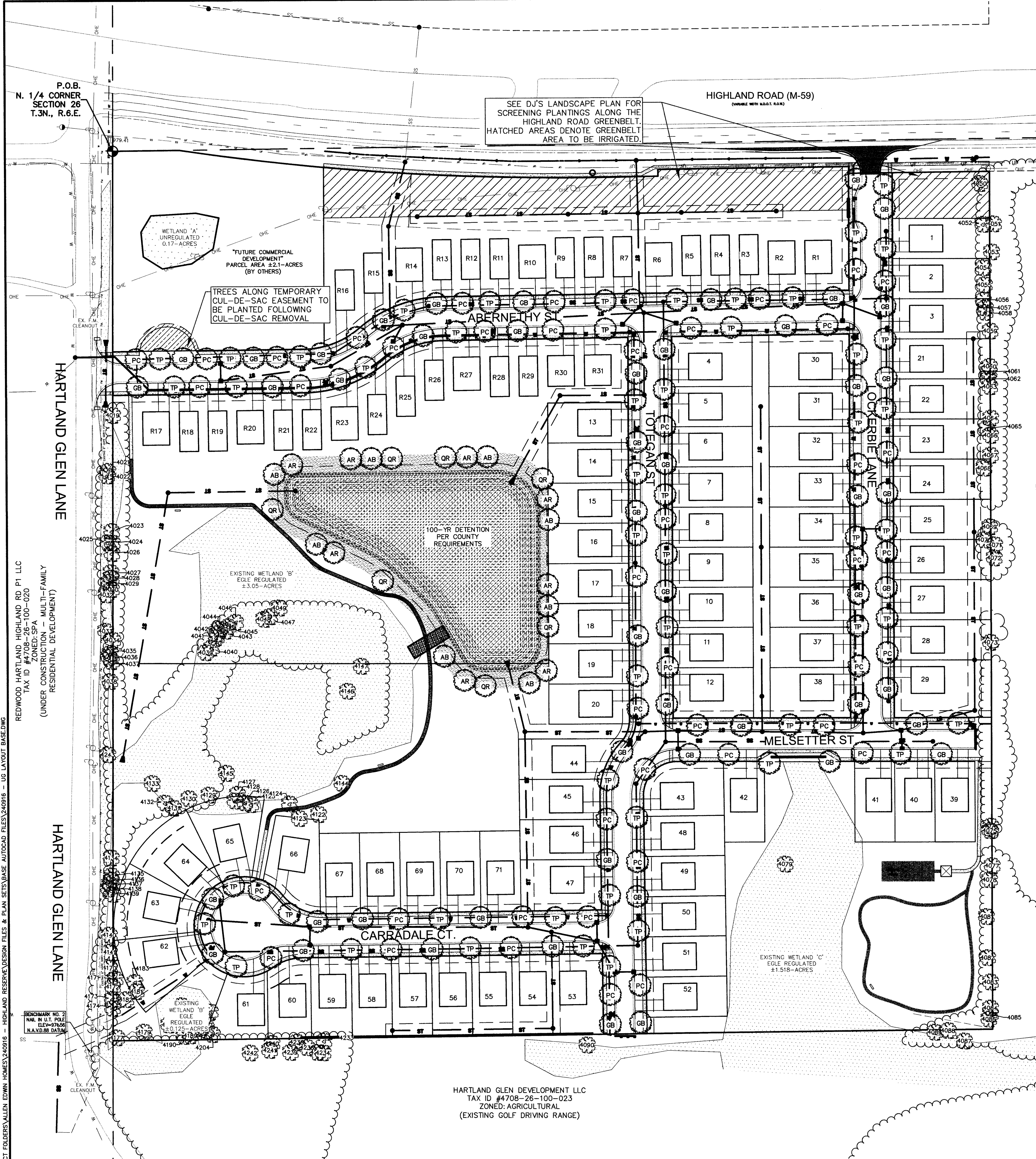
CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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These documents are instruments of service in respect of the Project and any cause without written verification or certification by the Under Group (UG) for the specific purposes intended will be of Users sole risk and without liability or legal exposure to UG and User shall indemnify and hold harmless UG from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom. Any such verification or certification will be in writing UG to further compensation at rates to be agreed upon by User and UG.

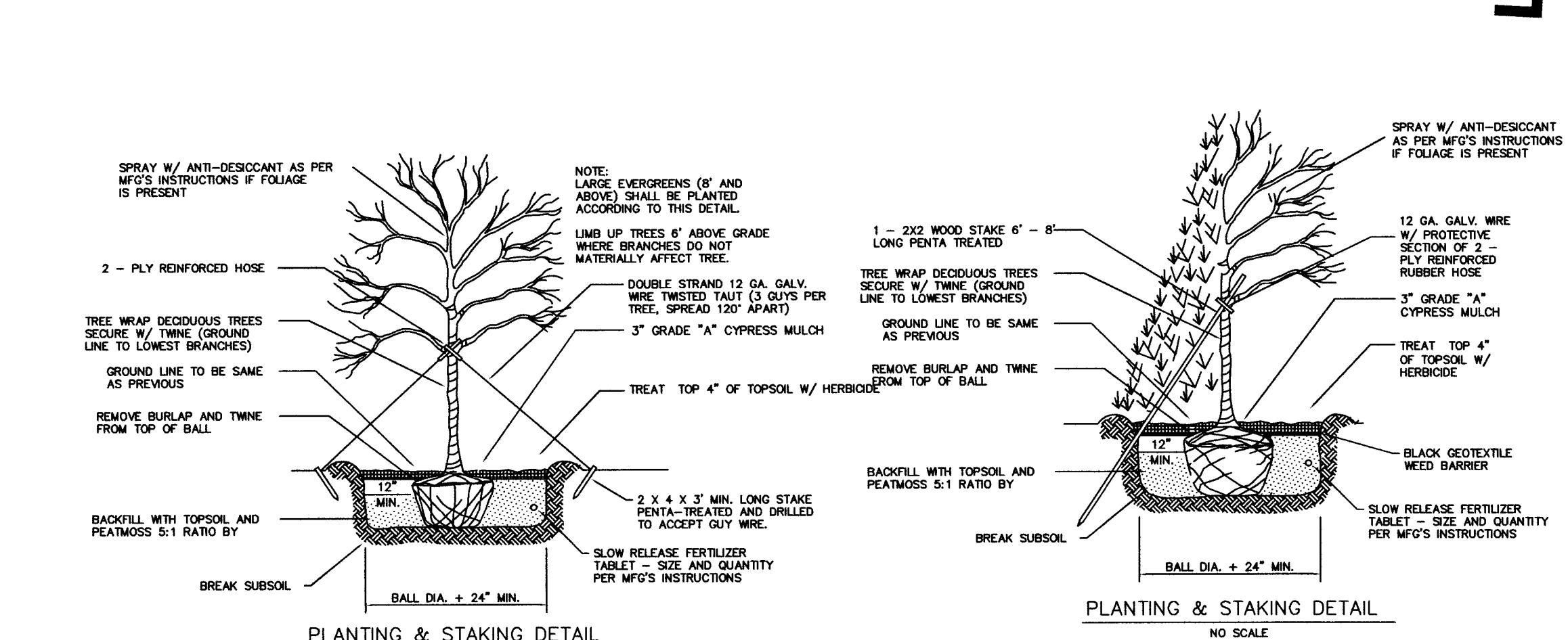
The UMLOR Group
 LAND DEVELOPMENT SERVICES

SECTION 26
 TOWN 3 NORTH, RANGE 6 EAST
 HARTLAND TOWNSHIP
 LIVINGSTON COUNTY, MICHIGAN



PLANTING SCHEDULE FOR SITE LANDSCAPING

KEY	QUAN.	SIZE	BOTANICAL NAME	COMMON NAME
TP	52	3.0" Cal.	Tilia cordata "Greenspire"	Linden Greenspire
AB	12	3.0" Cal.	Acer x freemanii "Jeffersred"	Autumn Blaze Maple
AR	14	3.0" Cal.	Acer rubrum	Red Maple
PC	49	3.0" Cal.	Ulmus americana "Princeton"	Princeton Elm
GB	55	3.0" Cal.	Liriodendron tulipifera	Tulip Tree
QR	14	3.0" Cal.	Quercus alba	White Oak



DETENTION BASIN & FORE BAYS SEEDING NOTES:
 Undeveloped portion of the site surrounding the detention basins and fore bays, shall be seeded with a "Mesic-To-Dry Prairie Seed Mix" by Cardno Native Plant Nursery, (128 Sunset Dr., Walkerton, IN 46574, 574-586-2412, nurseries@cardno.com) at 38.84 PLS pounds/acre.
 The upland zone of the fore bays and detention basins shall be seeded with "Sedge Meadow Seed Mix" by Cardno Native Plant Nursery (see info in note #12) at 39.84 PLS pounds per acre. This seed mix consists of 13 of 17 native permanent grass, sedge and rush species and 27 of 30 native forb and shrub species.
 The edge zone of the fore bays and detention basins shall be seeded with "Wetland Edge Seed Mix" by Cardno Native Plant Nursery (see info in note #12) at approximately 35 PLS pounds per acre. This seed mix consists of 10 of 12 native permanent grass, sedge and rush species and 7 of 20 native forb species.
 Native seed shall be planted above the permanent water elevation.
 Native seed mixes shall contain a cover crop consisting of 10 pounds per acre of annual rye and 30 pounds per acre of seed oats.
 All sloped native seed areas adjacent to wetlands and drains shall be stabilized with a mulch blanket patted-in-place.

- GENERAL NOTES**
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
 - ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
 - ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
 - ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
 - ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
 - ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
 - THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
 - THE DEVELOPER SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
 - AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCUMULATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
 - ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
 - STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
 - ALL SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH PINE BARK MULCH TO A MINIMUM DEPTH OF FOUR INCHES.
 - LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
 - SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
 - DURING THE GROWING SEASON ALL ANNUALS SHALL REMAIN IN A HEALTHY, VITAL CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
 - ALL PLANT MATERIALS QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
 - ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOP SOIL, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. THIS IS EXCLUDING ALL LANDSCAPED ISLANDS AND ENTRANCE AREAS.

- PLANTING NOTES**
- LOAM USED IN PLANTING BEDS SHALL BE UNIFORM IN COMPOSITION, FREE OF STONES LARGER THAN 1", AND SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH.
 - CREATE A PLANTING MIX COMPRISED OF 2/3 SCREENED LOAM AND 1/3 PEAT MOSS OR LEAF COMPOST, AMENDED WITH PLANTING ORGANIC FERTILIZER, OR EQUAL AT THE RATE RECOMMENDED BY MANUFACTURER.
 - THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THIS DRAWING.
 - ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
 - PLANT PITS SHALL BE DUG TWICE THE WIDTH OF THE ROOTBALL. PLANT PITS AND PLANTING BEDS SHALL BE BACKFILLED WITH THE AMENDED PLANTING MIX IN LIFTS TO AVOID AIR POCKETS IN BACKFILL.
 - ALL PLANT MATERIAL TO BE SET PLUMB, AND TO BEAR NATURAL RELATIONSHIP WITH FINISHED GRADE.
 - ALL BIODEGRADABLE BURLAP SHALL BE UNTIED AND PULLED DOWN ON THE BALL. WIRE BASKETS AND OTHER NON BIODEGRADABLE MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO BREAK OR DISTURB ROOTBALL OF PLANTS.
 - ALL PLANTS SHALL BE WATERED IMMEDIATELY AFTER PLANTING.
 - 3" OF COMPOSTED PINE BARK MULCH SHALL BE SPREAD OVER ALL PLANT BEDS.
 - THE CONTRACTOR SHALL MAINTAIN ALL PLANTS FOR 90 DAYS AFTER THE COMPLETION OF PLANT INSTALLATION. MAINTENANCE SHALL CONSIST OF KEEPING ALL PLANTS IN A HEALTHY GROWING CONDITION.
 - PLANTS SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR AFTER ACCEPTANCE OF THE PROJECT AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL FAILING PLANT MATERIALS, AND REPLACE THEM WITH THE SAME KIND AND SIZE OF MATERIAL AS SPECIFIED IN THE PLANT LIST, WITH THE SAME GUARANTEE AS INITIAL PLANTING.
 - ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER, AND THE CITY OF ROMULUS PLANNING DEPARTMENT.
 - CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE OWNER.
 - ALL PLANTING BEDS AND GREENBELT AREAS SHALL RECEIVE SIX INCHES (6") OF SCREENED TOPSOIL, MEASURED AFTER COMPACTION, PRIOR TO INSTALLATION OF PLANTS, SEEDING, OR SOODING.
 - ALL LANDSCAPE ISLANDS SHALL BE FILLED SUCH THAT THEY ARE CROWNED IN THE MIDDLE TO PROVIDE POSITIVE DRAINAGE AND TO PREVENT POOLING WITHIN THE LANDSCAPED AREA (TYP.)

THE UMLOR Group
 LAND DEVELOPMENT SERVICES

SECTION 26
 TOWN 3 NORTH, RANGE 6 EAST
 HARTLAND TOWNSHIP
 LIVINGSTON COUNTY, MICHIGAN

DATE: 2-6-25
 REVISIONS
 1-15-25 SITE PLAN
 2-6-25 SITE PLAN

HIGHLAND RESERVE
 CLIENT: ALLEN EDWIN HOMES
 2186 E. CENTER STREET
 PORTAGE, MI 49002

DR BY: MS
 CK BY: JF
 2 AM
 SCALE 0 40 80
 1" = 80 FEET
 SHEET NO. 240916
 JOB NO. 5
 SHEET 5 OF 9

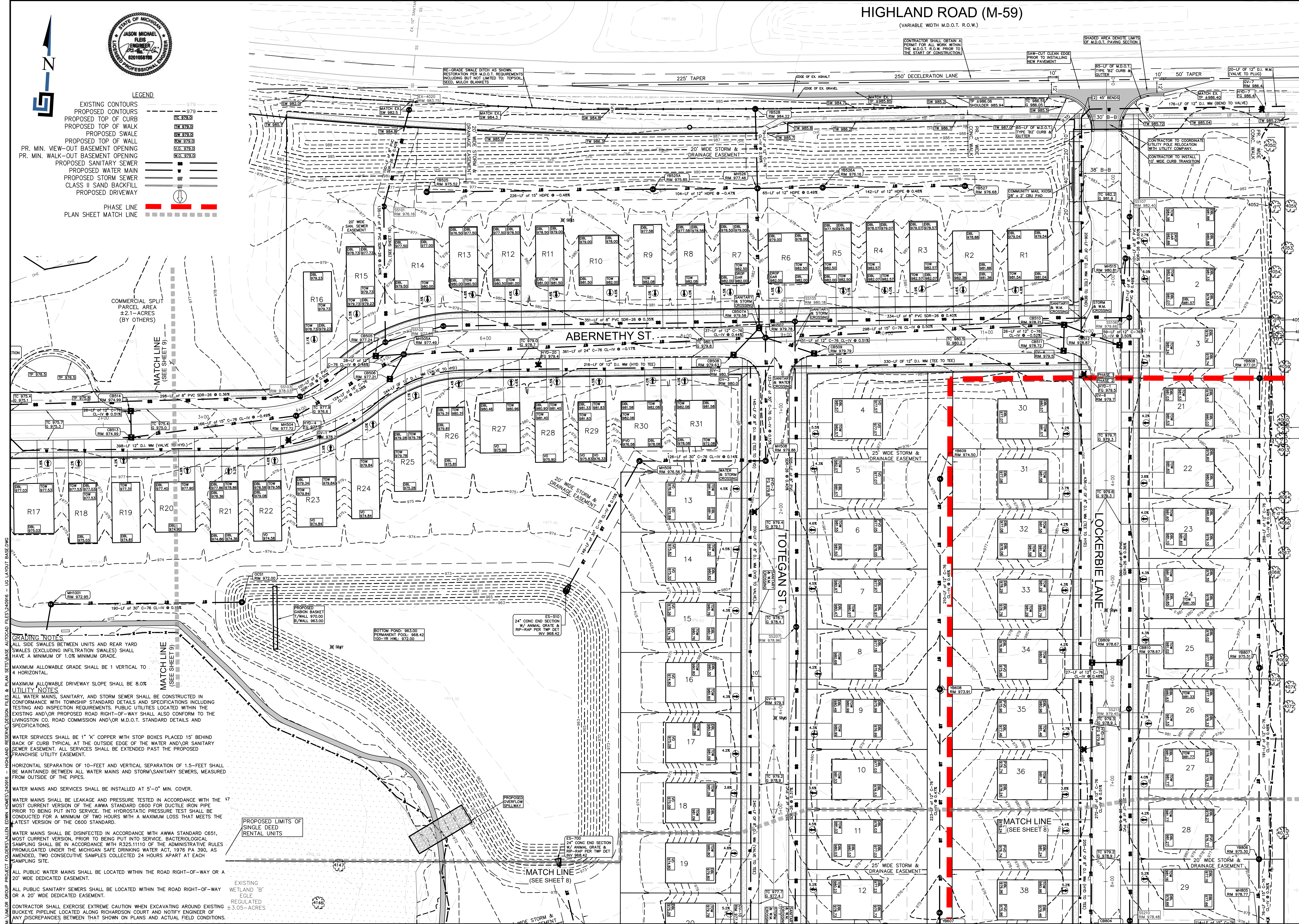
HIGHLAND ROAD (M-59)

(VARIABLE WIDTH M.D.O.T. R.O.W.)



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED TOP OF CURB
- PROPOSED TOP OF WALK
- PROPOSED SWALE
- PR. MIN. VIEW-OUT BASEMENT OPENING
- PR. MIN. VIEW-OUT BASEMENT OPENING
- PROPOSED SANITARY SEWER
- PROPOSED WATER MAIN
- PROPOSED STORM SEWER
- CLASS II SAND BACKFILL
- PROPOSED DRIVEWAY
- PHASE LINE
- PLAN SHEET MATCH LINE



GRADING NOTES
ALL SIDE SWALES BETWEEN UNITS AND REAR YARD SWALES (EXCLUDING INFILTRATION SWALES) SHALL HAVE A MINIMUM OF 1.0% MINIMUM GRADE.
MAXIMUM ALLOWABLE GRADE SHALL BE 1 VERTICAL TO 4 HORIZONTAL.
MAXIMUM ALLOWABLE DRIVEWAY SLOPE SHALL BE 8.0%
UTILITY NOTES
ALL WATER MAINS, SANITARY, AND STORM SEWER SHALL BE CONSTRUCTED IN CONFORMANCE WITH TOWNSHIP STANDARD DETAILS AND SPECIFICATIONS INCLUDING TESTING AND INSPECTION REQUIREMENTS. PUBLIC UTILITIES LOCATED WITHIN THE EXISTING AND/OR PROPOSED ROAD RIGHT-OF-WAY SHALL ALSO CONFORM TO THE LIVINGSTON CO. ROAD COMMISSION AND/OR M.D.O.T. STANDARD DETAILS AND SPECIFICATIONS.
WATER SERVICES SHALL BE 1" K COPPER WITH STOP BOXES PLACED 15' BEHIND BACK OF CURB TYPICAL AT THE OUTSIDE EDGE OF THE WATER AND/OR SANITARY SEWER EASEMENT. ALL SERVICES SHALL BE EXTENDED PAST THE PROPOSED FRANCHISE UTILITY EASEMENT.
HORIZONTAL SEPARATION OF 10'-FEET AND VERTICAL SEPARATION OF 1.5'-FEET SHALL BE MAINTAINED BETWEEN ALL WATER MAINS AND STORM/SANITARY SEWERS, MEASURED FROM OUTSIDE OF THE PIPES.
WATER MAINS AND SERVICES SHALL BE INSTALLED AT 5'-0" MIN. COVER.
WATER MAINS SHALL BE LEAKAGE AND PRESSURE TESTED IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE AWWA STANDARD C600 FOR DUCTILE IRON PIPE PRIOR TO BEING PUT INTO SERVICE. THE HYDROSTATIC PRESSURE TEST SHALL BE CONDUCTED FOR A MINIMUM OF TWO HOURS WITH A MAXIMUM LOSS THAT MEETS THE LATEST VERSION OF THE C600 STANDARD.
WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651, MOST CURRENT VERSION, PRIOR TO BEING PUT INTO SERVICE. BACTERIOLOGICAL SAMPLING SHALL BE IN ACCORDANCE WITH R325.11110 OF THE ADMINISTRATIVE RULES PROMULGATED UNDER THE MICHIGAN SAFE DRINKING WATER ACT, 1976 PA 390, AS AMENDED, TWO CONSECUTIVE SAMPLES COLLECTED 24 HOURS APART AT EACH SAMPLING SITE.
ALL PUBLIC WATER MAINS SHALL BE LOCATED WITHIN THE ROAD RIGHT-OF-WAY OR A 20' WIDE DEDICATED EASEMENT.
ALL PUBLIC SANITARY SEWERS SHALL BE LOCATED WITHIN THE ROAD RIGHT-OF-WAY OR A 20' WIDE DEDICATED EASEMENT.
CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING AROUND EXISTING BUCKEYE PIPELINE LOCATED ALONG RICHARDSON COURT AND NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THAT SHOWN ON PLANS AND ACTUAL FIELD CONDITIONS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Know what's below. Call before you dig.

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY LIABILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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The Umlor Group
LAND DEVELOPMENT SERVICES

SECTION 26
TOWN 3 NORTH, RANGE 6 EAST
HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN

DATE: 2-10-25

REVISIONS

1-15-25 SITE PLAN
2-10-25 SITE PLAN

HIGHLAND RESERVE
ALLEN EDWIN HOMES
2186 E. CENTER STREET
PORTAGE, MI 49002

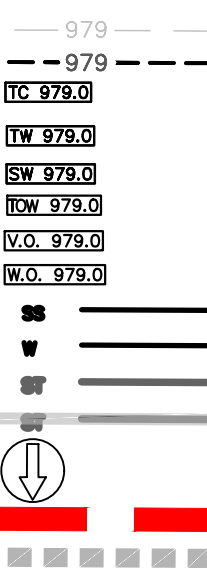
SITE GRADING / UTILITY PLAN
NO. 1 - NORTHEAST

DR BY: MS
CK BY: JF
P.M. JF
SCALE 0 20 40
1" = 40 FEET
JOB NO. 240916
SHEET NO. 6
SHEET 6 OF 8

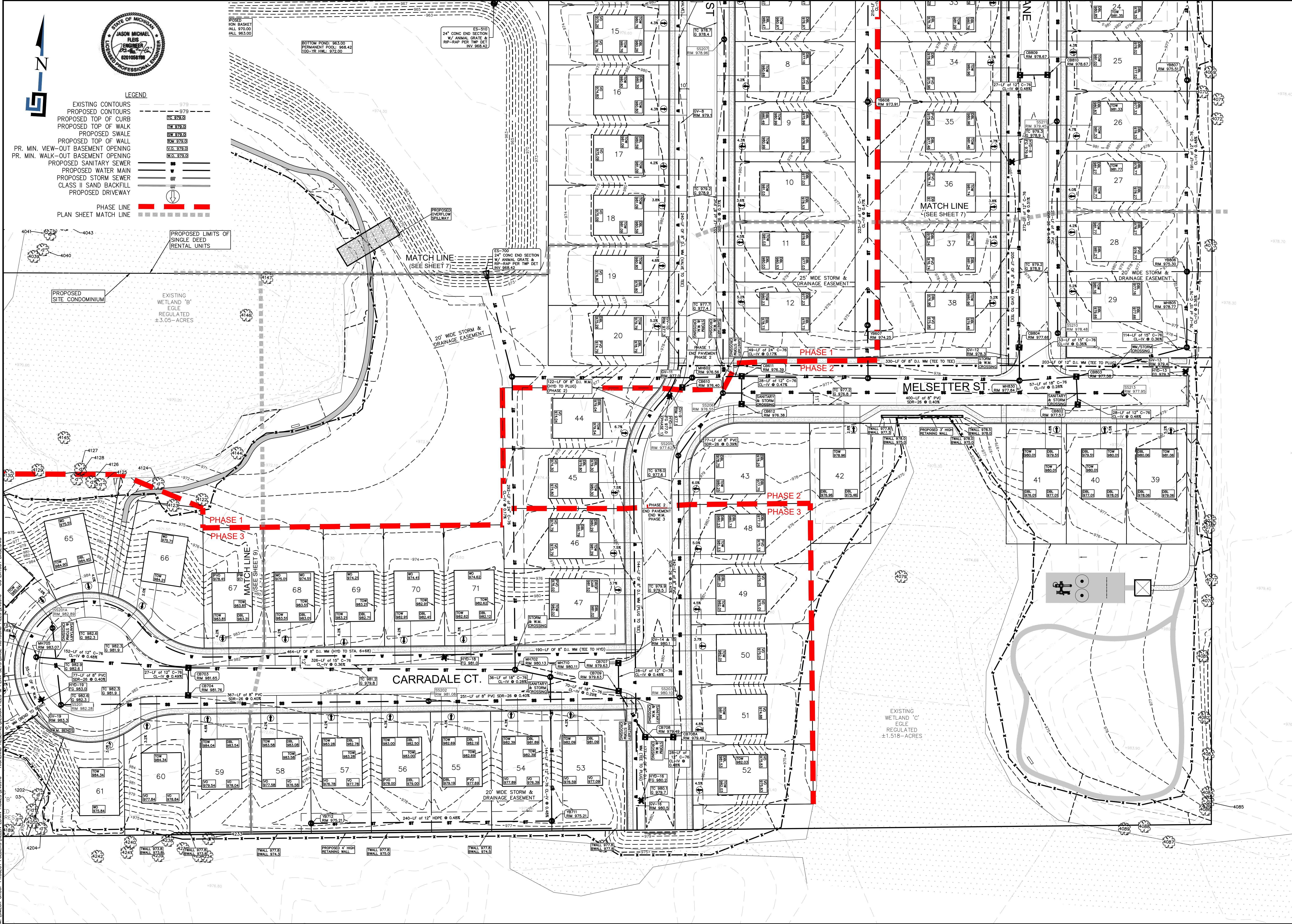


LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED TOP OF CURB
- PROPOSED TOP OF WALK
- PROPOSED SWALE
- PROPOSED TOP OF WALL
- PR. MIN. VIEW-OUT BASEMENT OPENING
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PROPOSED LIMITS OF SINGLE DEED RENTAL UNITS



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

811

Know what's below. Call before you dig.

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The UMLOR Group
LAND DEVELOPMENT SERVICES

SECTION 26
TOWN 3 NORTH, RANGE 6 EAST
HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN

DATE: 2-10-25
REVISIONS
1-15-25 SITE PLAN
2-10-25 SITE PLAN

HIGHLAND RESERVE
ALLEN EDWIN HOMES
2186 E. CENTER STREET
PORTAGE, MI 49002

SITE GRADING / UTILITY PLAN
NO. 2 - SOUTHEAST

DR BY: MS
CK BY: JF
P.M. JF
SCALE 0 20 40
1" = 40 FEET
JOB NO. 240916
SHEET NO. 7
SHEET 7 OF 8

M:\UMLOR GROUP PROJECT FOLDERS\ALLEN HOMES\240916 - HIGHLAND RESERVE\DESIGN FILES & PLAN SETS\BASE AUTOCAD FILES\240916 - UG LAYOUT BASE.DWG



HARTLAND GLEN LN

CARRADALE

ABERNETHY ST

HARTLAND GLEN LN

DEVELOPER SHALL OBTAIN PUBLIC WATER AND SEWER EASEMENTS FROM REDWOOD APARTMENTS PRIOR TO THE START OF CONSTRUCTION

DEVELOPER SHALL OBTAIN PUBLIC WATER AND SEWER EASEMENTS FROM REDWOOD APARTMENTS PRIOR TO THE START OF CONSTRUCTION

REDWOOD APARTMENTS (UNDER CONSTRUCTION)
TAX ID #47708-020
HIGHLAND HIGHLAND RD P1
LLC
ZONED SPA
MULTI-FAMILY RESIDENTIAL DEVELOPMENT



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
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The UMLOR Group
LAND DEVELOPMENT SERVICES

SECTION 26
TOWN 3 NORTH, RANGE 6 EAST
HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN

DATE: 2-10-25

REVISIONS

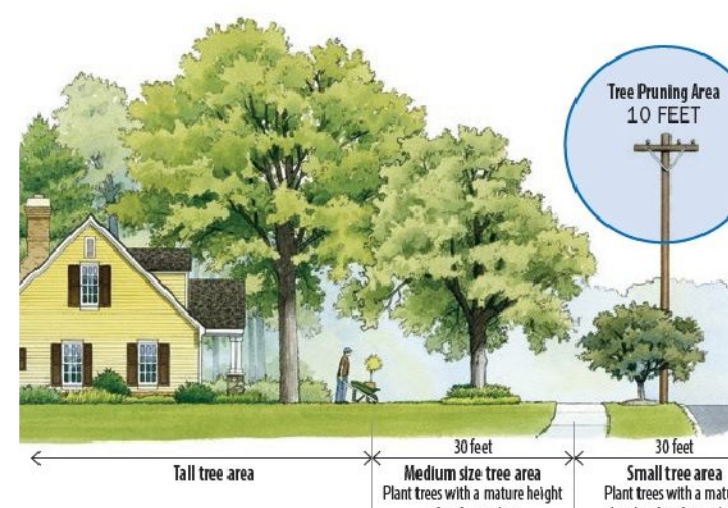
1-15-25 SITE PLAN

2-10-25 SITE PLAN

HIGHLAND RESERVE
ALLEN EDWIN HOMES
2186 E. CENTER STREET
PORTAGE, MI 49002

SITE GRADING / UTILITY PLAN
NO. 3 - WEST

DR BY: MS
CK BY: JF
P.M. JF
SCALE 0 20 40
1" = 40 FEET
JOB NO. 240916
SHEET NO. 8
SHEET 8 OF 8



Smart planting

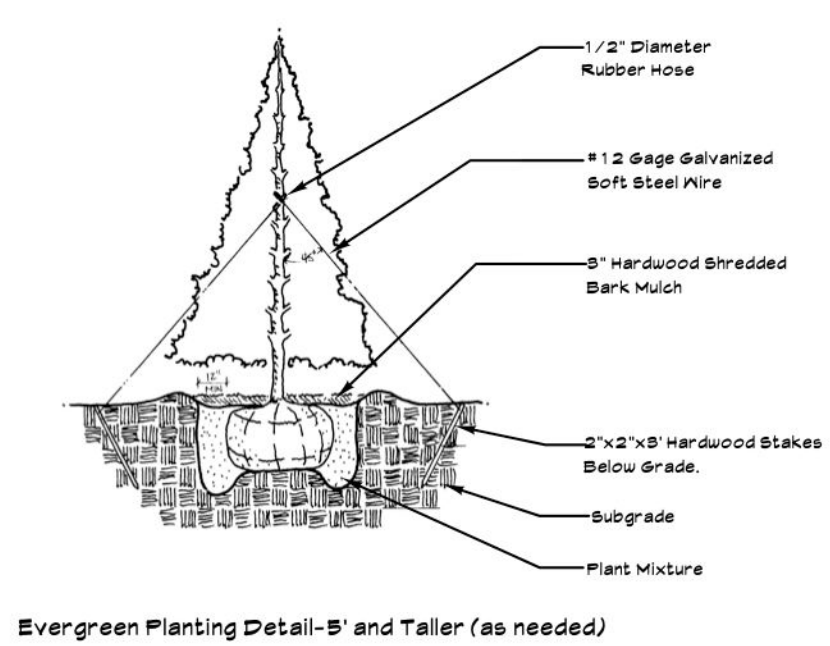
No trees should be planted near power lines. However, many trees are attractive additions to your yard and, under normal conditions, will not grow tall enough to interfere with our distribution lines.

Avoid planting tall-growing trees such as the following near or under power lines:

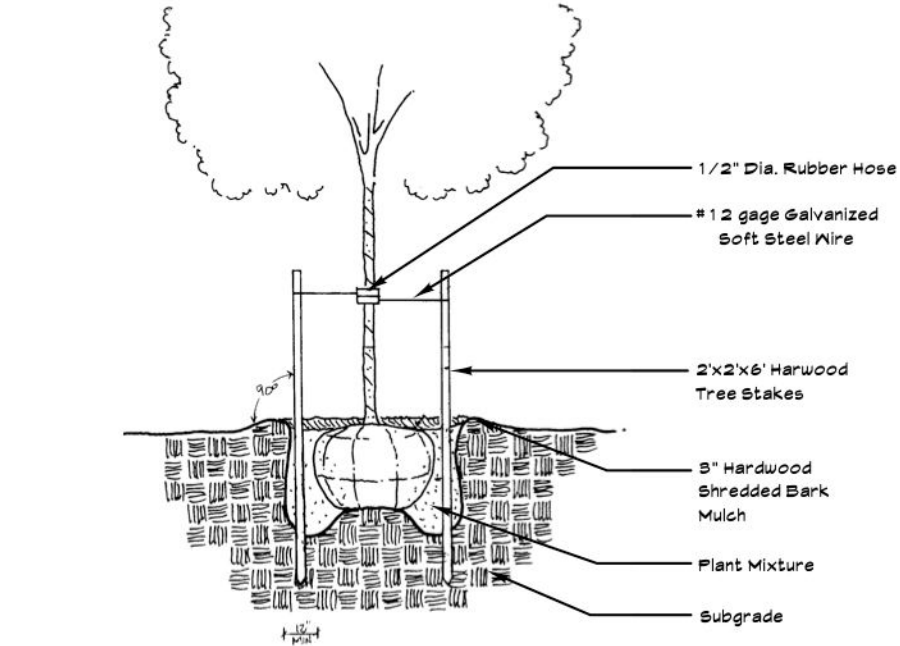
- Silver Maple
- White Spruce
- Norway Maple
- Colorado Blue Spruce
- Oak
- Most pines
- Willows

Plant trees with a mature height of 10 feet or less.

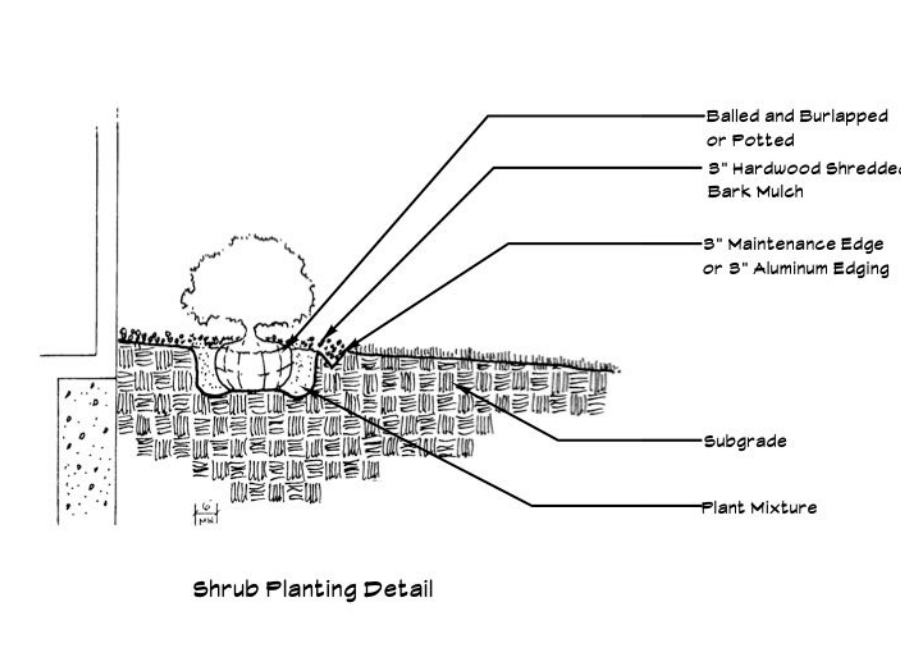
Plant trees with a mature height of 10 feet or less.



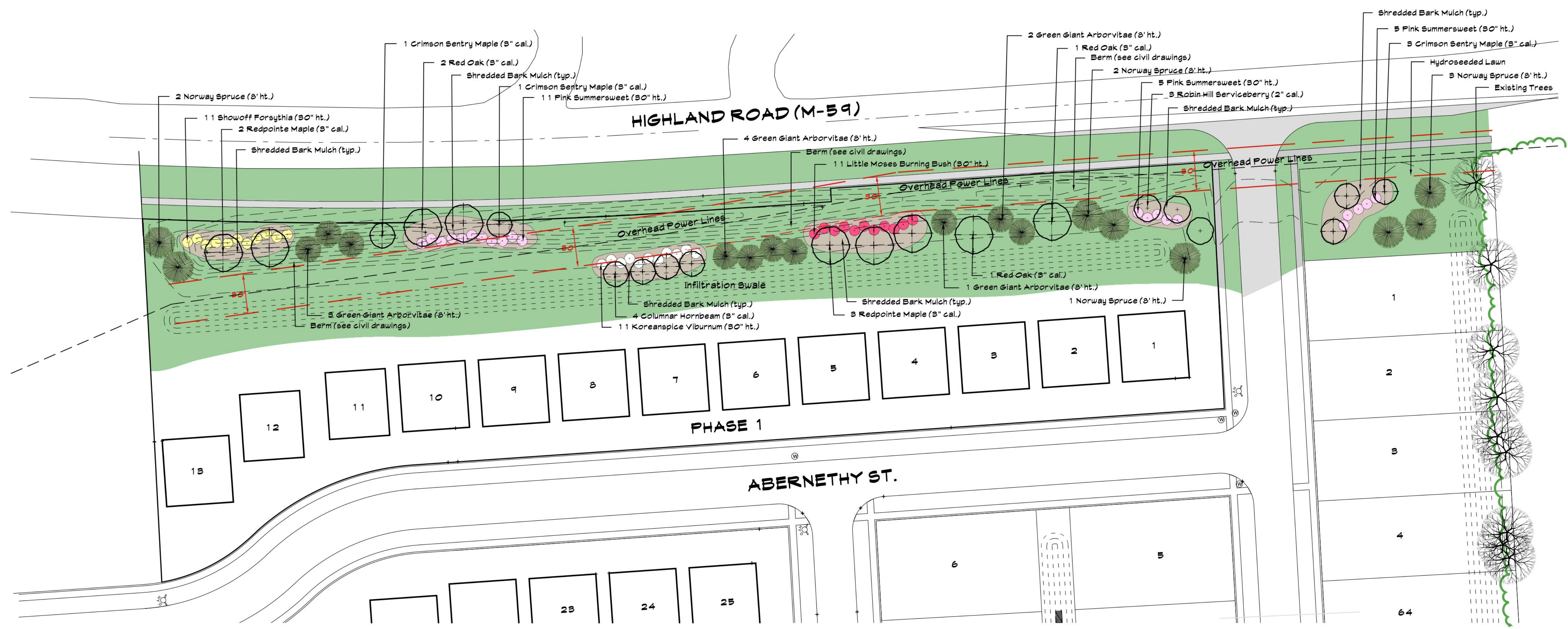
Evergreen Planting Detail-8' and Taller (as needed)



Deciduous Trees 8' Caliper and Smaller (as needed or required)



Shrub Planting Detail



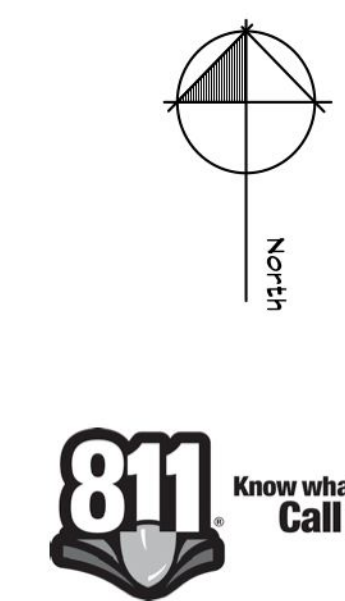
Plant List

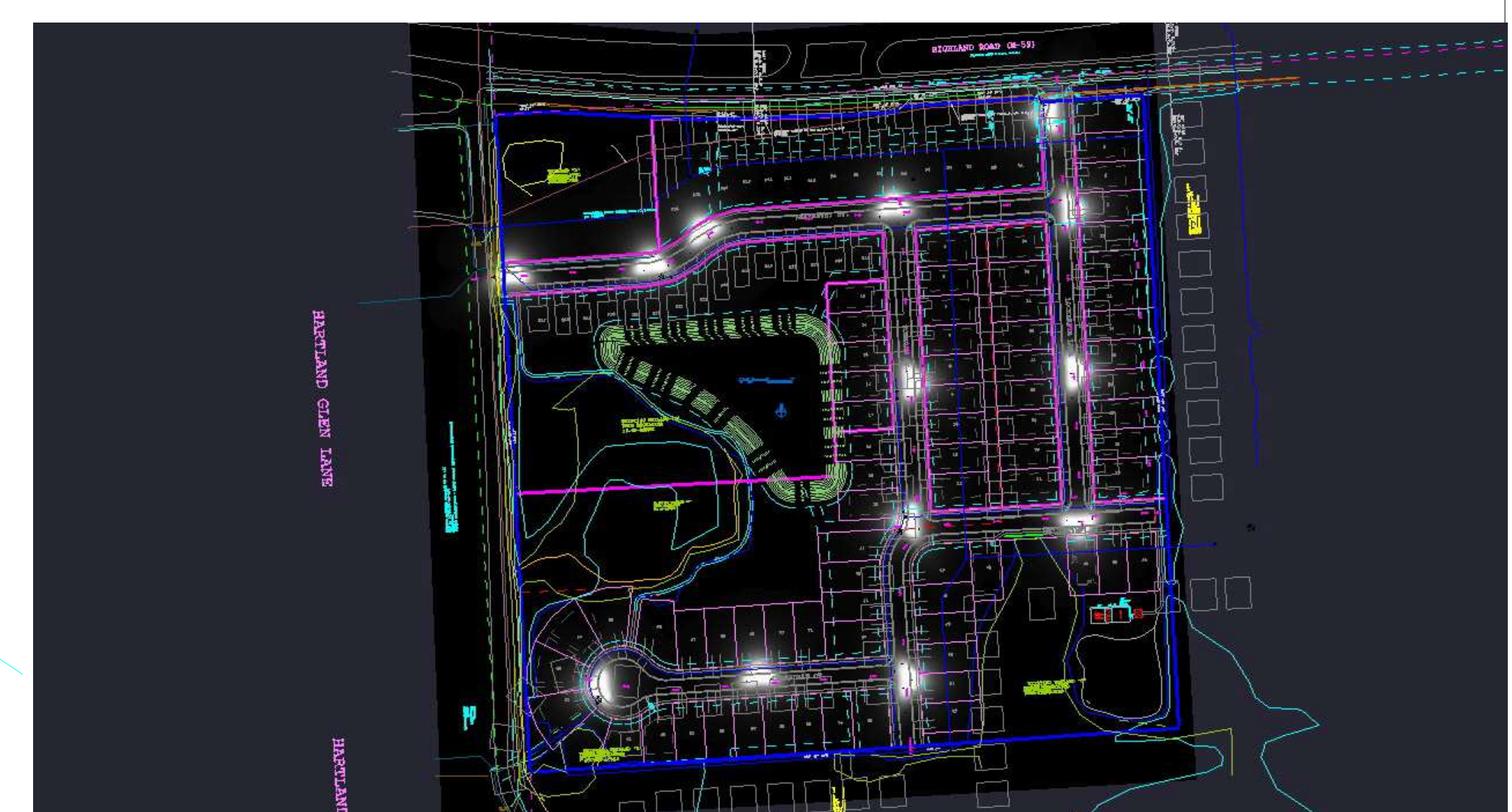
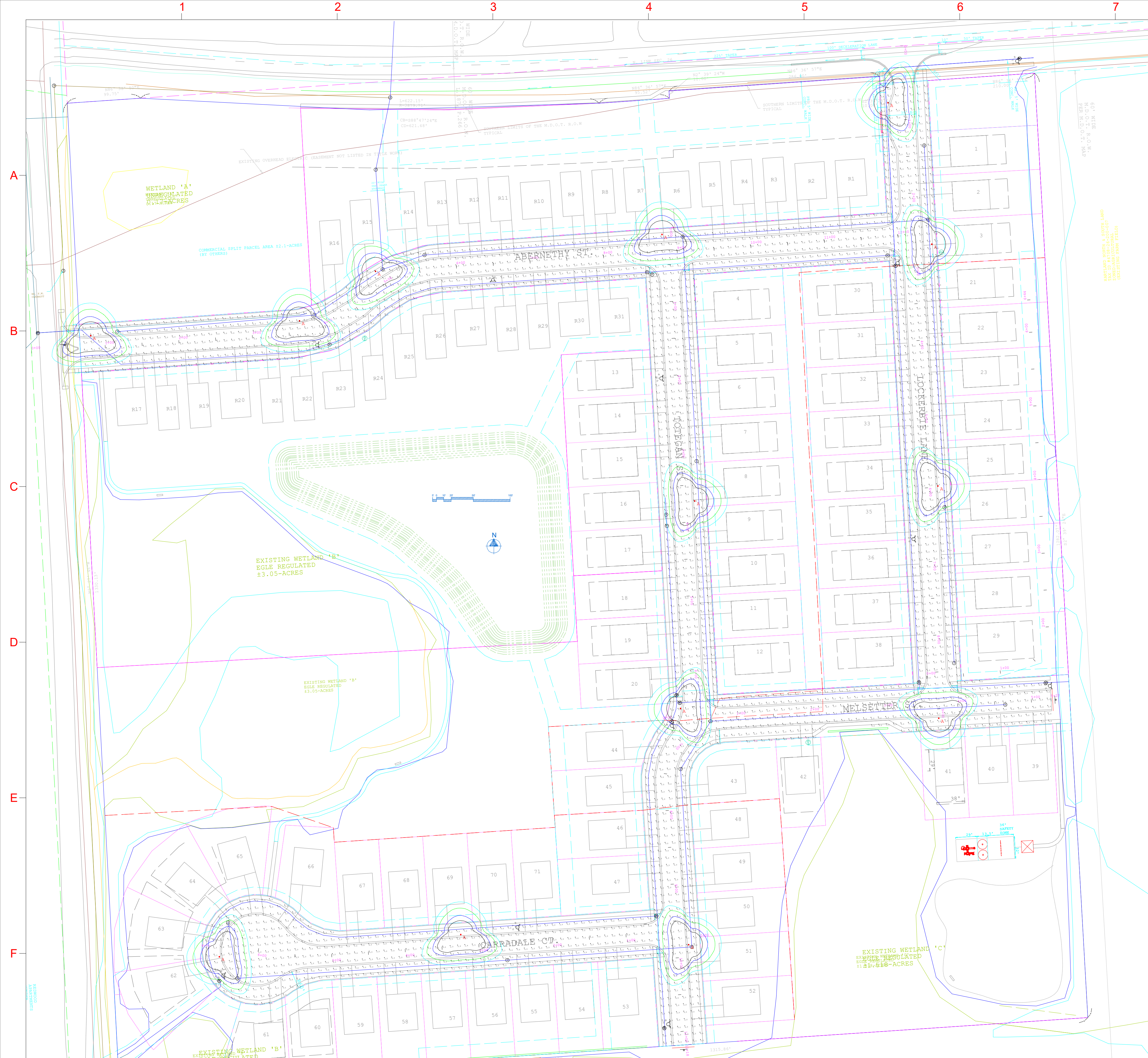
Quantity	Common Name	Latin Name	Planted Size
5	Redpointe Maple	<i>Acer rubrum 'Frank Jr.'</i>	8" cal.
5	Crimson Sentry Maple	<i>Acer platanoides 'Crimson Sentry'</i>	8" cal.
4	Red Oak	<i>Quercus rubra</i>	8" cal.
4	Columnar Hornbeam	<i>Carpinus betulus 'Frans Fontaine'</i>	8" cal.
5	Norway Spruce	<i>Picea abies</i>	8' ht.
10	Green Giant Arborvitae	<i>Thuja standishii x plicata 'Green Giant'</i>	8' ht.
3	Robin Hill Serviceberry	<i>Amelanchier x grandiflora 'Robin Hill'</i>	2" cal./TF
11	Little Moses Burning Bush	<i>Euonymus alatus compactum 'Little Moses'</i>	30" ht.
11	Korean Spice Viburnum	<i>Viburnum carlesii</i>	30" ht.
11	Show Off Forsythia	<i>Forsythia x intermedia 'Show Off'</i>	30" ht.
21	Pink Summersweet	<i>Clethra alnifolia 'Ruby Spice'</i>	30" ht.

(note: Plant list for ordinance purposes only, the landscape contractor is responsible for plant quantities shown on the landscape plan)

Notes:

- All landscaping shall be installed by a qualified Landscape Contractor. Plant sizes specified on the landscape plan shall be the size planted. Plants smaller than specified will be rejected. Substitutions of any kind must be approved by the Landscape Architect.
- All plantings shall be mulched with 3" shredded premium hardwood bark mulch.
- Trees in lawn areas shall receive a 6" diameter bark ring 3' deep.
- The landscape contractor shall remove any twine that is wrapped around the trunk of a tree or shrub as well as the top third of any burlap. Remove excess soil on the top of the root ball to expose the root flare or first layer of roots prior to planting. Use a wire cutter to make 3-5 cuts in the wire basket to allow roots to grow through.
- When planting trees in the lawn area or on the berm the existing soil within a 10 foot diameter shall be loosened by tilling or similar and amended with composted manure or peat at a depth of 6-12".
- Planting areas shall be edged with a mechanical bed edger to define a border for the shredded bark mulch.
- Lawn areas shall receive at least 4" of topsoil and hydroseeded. Check with specifications for topsoil availability or contact project manager. Topsoil for lawns shall be appropriate for growing and sustaining a healthy lawn. All lawns shall be hydroseeded with a seed blend consisting of 30% Kentucky Bluegrass, 20% Perennial Ryegrass, 10% Hard Fescue, 20% Creeping Red Fescue and 20% Chewings Fescue.
- Maintenance of the landscape shall be provided for by the owner and include fertilizing of lawn and plant material, yearly pruning, top dressing of mulch areas every other year and provide 1" of water per week during the growing season.
- Plant materials shall be chosen and installed in accordance with standards recommended by the County Cooperative Extension Service or American Nursery Association.





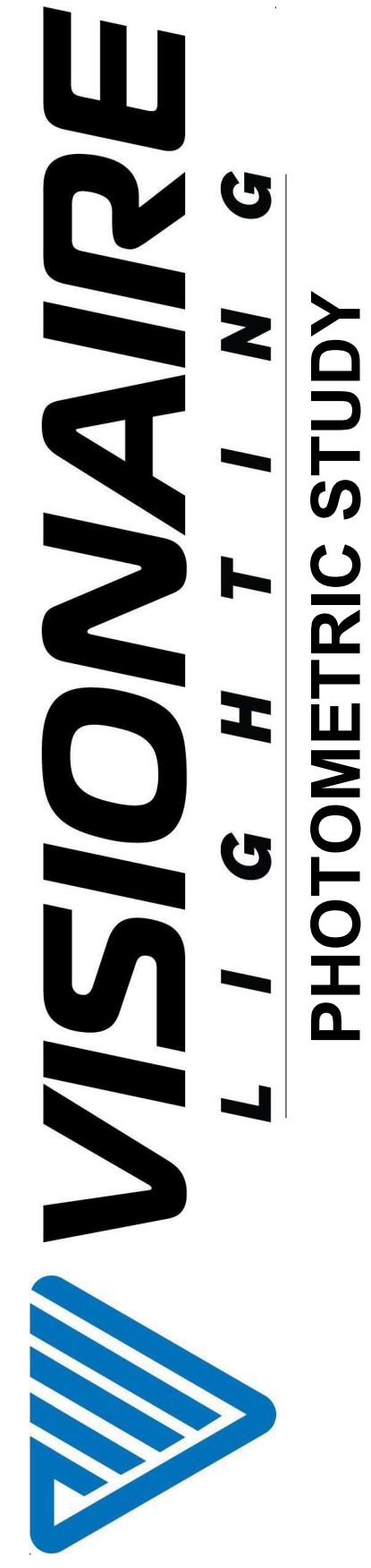
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Calc Points @ 0'	Illuminance	Fc	0.26	5.5	0.0	N.A.	N.A.
AFF							

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	LLF	Description	Arr. Lum. Lumens	BUG Rating	Lum. Watts	Total Watts
	13	A	Single	0.950	VISIONAIRE LSO-M_T3_5L_3K_PTD @ 14' MTG. HT.	6695	B2-U0-G2	52.1	677.3

DRAWING NUMBER :	LS010825CL-HARTLAND TWP RESIDENTIAL-05
LAYOUT DESIGNER :	LS
DESIGNER EMAIL :	Lsalgado@visionairelighting.com
PROJECT DATE :	01/09/25
REVISION DATE :	01/15/25
REP :	CLARUS LIGHTING
NOTE/S:	-

DISCLAIMER
 BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE PROJECT ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS. THE LIGHTING DATA REPRESENTS ILLUMINATION LEVELS TAKEN FROM A LABORATORY SETTING UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL PERFORMANCE MAY VARY DUE TO VARIATIONS IN ELECTRICAL VOLTAGE, INSTALLATION, TOLERANCE LEVELS, BUILDINGS, OTHER LIGHTING, AND OTHER VARIABLES THAT WERE NOT CONSIDERED WHEN THIS PHOTOMETRIC REPORT WAS CREATED. IT IS THE RESPONSIBILITY OF THE OWNER OR PROJECT ENGINEER TO ENSURE COMPLIANCE OF ALL STANDARDS IN EFFECT. THIS PHOTOMETRIC LAYOUT IS THE PROPERTY OF VISIONAIRE LIGHTING AND IT CANNOT BE USED FOR INSTALLATION OF PRODUCTS OTHER THAN SPECIFIED.
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www.visionairelighting.com
 Phone: (310) 512-6480 Fax: (310) 512-6486
 19645 Rancho Way-Rancho Dominguez, CA. 90220
 POINT-BY-POINT CALCULATION
 Illuminance at Grade (Footcandles), unless otherwise specified.



Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Michael Luce, Township Manager

Subject: Hartland Township Emergency Operations Support Plan

Date: March 6, 2025

Recommended Action

Move to approve the resolution to adopt the 2025 Hartland Township Emergency Support Operations Plan.

Discussion

The Livingston County Emergency Management Department has provided notice the existing Hartland Township Support Emergency Operations Plan (completed in 2017) requires revisions and subsequent Board approval in 2025. The Support Emergency Operations Plan for Hartland Township has expired in late February of 2025. The plan, once approved by the Township Board, is good for 4 years, yet occasional updates will be made as needed. This plan is not made available to the public – but rather kept on file with the Livingston County Emergency Management Department and will be used in the event of an emergency. The Plan focuses on the safety of our citizens through information, planning, and preparation for all emergency events and potential hazards.

The intent of the Support Emergency Operations Plan, which is requested by all municipalities within Livingston County, is to coordinate emergency response efforts to save lives, reduce injuries and preserve property. The Township’s Support Emergency Operations Plan is supplemental to the Livingston County Emergency Operations Plan (EOP), which has been developed in accordance with the requirement for local emergency planning established by the State of Michigan. The Livingston County EOP is intended to meet the requirements for all state and federal guidelines for all hazard emergency management concepts, plans and programs. Livingston County’s EOP has been reviewed by the Michigan State Police Emergency Management & Homeland Security Division and is required in order for the County to be eligible for funding in the event of a declared disaster.

Attachments

Resolution to Adopt Emergency Operations Plan 2025



Board of Trustees

William J. Fountain, Supervisor
Larry N. Ciofu, Clerk
Kathleen A. Horning, Treasurer

Brett J. Lubeski, Trustee
Summer L. McMullen, Trustee
Denise M. O'Connell, Trustee
Joseph M. Petrucci, Trustee

RESOLUTION NO. 25-_____

SUPPORT EMERGENCY OPERATIONS PLAN RESOLUTION

At a meeting of the Township Board of Hartland Township (“Township Board”), Livingston County, Michigan, held electronically pursuant to the Open Meetings Act, 1976 PA 267, on ____ __, 2025, at ____ p.m.

PRESENT: _____

ABSENT: _____

The following Resolution was offered by _____ and seconded by _____.

WHEREAS, Hartland Township has elected to be incorporated into the Livingston County Emergency Management Program; and

WHEREAS, by becoming part of the county emergency management program, Hartland Township and Livingston County have certain responsibilities to each other; and

WHEREAS, this Support Emergency Operations Plan has been developed to identify the responsibilities between Hartland Township and Livingston County in regards to pre-disaster emergency management activities and it also providing for Hartland Township government agencies to respond to various types of emergencies or disasters that affect the community.

WHEREAS, this support plan is to be used in concurrence with the County Emergency Operations Plan as it is a supporting document; and

WHEREAS, the support plan will be maintained in accordance with the up-to-date standards of the Livingston County Emergency Operations Plan and review of this support plan shall be accomplished concurrently with the county plan,

NOW THEREFORE, BE IT RESOLVED, that Hartland Township adopts and approves this Resolution to provide for the mitigation, preparedness, response and recovery from natural and human-made disasters within Hartland Township by being part of the Livingston County emergency management program; to appoint the county emergency management coordinator as the Hartland Township emergency management coordinator; to provide for a means for coordinating the resources of the municipality with those of the county; and to provide a means through which the Hartland Township Board may exercise the authority and discharge the responsibilities vested in them by this resolution and Act No. 390 of the Public Acts of 1976, as amended.

ADOPTED:

YEAS: _____

NAYS: _____

STATE OF MICHIGAN)
)
COUNTY OF LIVINGSTON)

I, the undersigned, the duly qualified and acting Township Clerk of the Hartland Township, Livingston County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and complete

copy of certain proceedings taken by the Township Board of said Township at a meeting held on
_____, 2025.

Larry Ciofu, Hartland Township Clerk

18461:00003:5294303-2

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Michael Luce, Township Manager

Subject: Veterans Memorial Workshop

Date: March 6, 2025

Recommended Action

No action required at this time

Discussion

Manager Luce and the Veterans Memorial Committee will lead a discussion on a few items related to the project. As well as provide an update on the project to the Township Board.