



Planning Commission

Larry Fox, Chairperson Joseph W. Colaianne, Trustee
Jeff Newsom, Vice-Chairperson Keith Voight, Secretary
Michael Mitchell, Commissioner Sue Grissim, Commissioner
Tom Murphy, Commissioner

Planning Commission Meeting Agenda
Hartland Township Hall
Thursday, November 07, 2019
7:00 PM

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of the Agenda
5. Approval of Meeting Minutes
 - a. Planning Commission Minutes of September 26, 2019
6. Call to Public
7. Old and New Business
 - a. Site Plan #19-009 Burger King Remodel
8. Call to Public
9. Planner's Report
10. Committee Reports
11. Adjournment

1. Call to Order - Combined Meeting with Township Board

2. Roll Call

PRESENT: Joe Colaianne, Thomas Murphy, Larry Fox, Sue Grissim, Michael Mitchell
ABSENT: Jeff Newsom, Keith Voight

3. Call to Public

None

4. Workshop

The Hartland Township Board and the Hartland Township Planning Commission discussed the following items:

a. Residential Market Analysis

Planning Director Langer gave a brief overview of the Residential Market Analysis of August 2014 and recent work that a sub-committee of the Planning Commission has done with regards to the multi-family land use designation on the Future Land Use Map. The group discussed the following designated multi-family areas:

- 1) South of Clyde Road, East of US-23
- 2) East of Hartland Road, South of Dunham Road
- 3) North of M-59
- 4) South of M-59

The Planning Commission will have further discussions on multi-family needs of the township before making a recommendation on changes to the Future Land Use Map.

b. Retail Market Analysis

Planning Director Langer gave a brief overview of the recent Retail Market Analysis prepared by the Gibbs Planning Group, which stated the township could support an additional 20-25 acres of retail business after the full build out of current developments in the township. The group discussed the following locations: 1) Clyde Road and 2) M-59 and Old US-23, where there was undeveloped commercial land that has no current site plan. The Clyde Road land has the potential to be reclassified to light industrial, but after further discussions, it was recommended that the Planning Commission re-evaluate the permitted uses of the light industrial classification before recommending any rezoning of this area. The result of the discussions on the M-59 and Old US-23 land was to leave this area zoned commercial, but to consider mixed use developments and possible marketing of this area as a special use area.

c. Comprehensive Plan

The group discussed updates to the Comprehensive Plan with a potential full revision within the next couple of years.

5. Adjournment

The meeting was adjourned at 8:20 PM

Submitted by,

Keith Voight
Planning Commission Secretary

Hartland Township Planning Commission Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director
Subject: Site Plan #19-009 Burger King Remodel
Date: October 31, 2019

Recommended Action

Recommended motion for Site Plan Application #19-009 (Burger King Remodel)

Move to approve Site Plan Application #19-009, a request to amend the original site plan and remodel the existing Burger King building at 10382 Highland Road. The renovations include changes to the architecture of the building, new façade finishes on the building’s exterior, and installation of additional landscaping on the site. Approval is subject to the following conditions:

1. The applicant shall adequately address the outstanding items noted in the Planning Department’s memorandum, dated October 31, 2019, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
2. The building elevations shall be revised to show the parapet wall being extended, in a similar manner to the current building elevation plans, and on all four (4) sides) to sufficiently screen all rooftop equipment in compliance with the Zoning Ordinance.
3. Applicant complies with any requirements of the Department of Public Works Director and Hartland Deerfield Fire Authority and all other government agencies, as applicable.
4. (Any other conditions the Planning Commission deems necessary)

Discussion

Applicant: Carrols Restaurant Group Inc.

Site Description

The subject site, addressed as 10382 Highland Road, is located on the south side of Highland Road (M-59) and bounded on the west side by Blaine Road, in Section 28 of Hartland Township (Tax ID #4708-28-201-061). Burger King has occupied the site since approximately 1986. The approximate 1.66 acre site is zoned GC-General Commercial. Access is provided via Highland Road, Blaine Road and the internal drive/ring road associated with Hartland Marketplace commercial center.

Overview and Background Information

Site Plan Applications #22 and #25; Special Use Application #134
Plans for a Burger King restaurant were reviewed under Site Plan Application #22 (1981), Site Plan Application #25 (1981), and Special Use Application #134 (1982). Each application was denied.

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ZBA Application #159

On April 14, 1981 the Zoning Board of Appeals denied a request for variances to locate parking (for Burger King) within the required setbacks; and also denied a variance to install a pylon sign (80 feet in height) that exceeded the maximum allowed sign height.

Sign Permit Application #109

A pylon sign was approved for Burger King on September 9, 1982 under Sign Permit Application #109. The sign dimensions are listed as 8 feet in width by 8 feet in length (64 sq. ft.) and the overall height of the pylon sign as 25 feet. Sign drawings were not found in the file information. The site plan approved for Burger King under SP #58 shows a pylon sign on the north side of the building.

Site Plan Application #41

This was a request to construct a gas station and convenience store on the subject site. The Planning Commission recommended approval on February 21, 1984, however the project was deemed null and void on August 21, 1984 as the required permits were not obtained; thus the project did not move forward.

Site Plan Application #58

On January 9, 1986 the Planning Commission recommended approval of Site Plan Application #58 for the construction of an approximate 3,300 square foot Burger King restaurant with drive-through service. The project was approved by the Township Board on January 21, 1986. The site plan shows an area on the north side of the building that is labeled as “greenhouse” (12 feet by 29 feet in size). Building elevations were not included with the site plans.

Site Plan Application #59

On February 13, 1986 the Planning Commission approved Site Plan Application #59, a minor amendment to the plans approved under SP #58. The changes included moving the coolers outside, behind the building, constructing a wall around them, and moving the dumpster enclosure 10 feet to the south. The Burger King restaurant was constructed in 1986 under Land Use Permit #1536.

Fourth Amendment to Hartland Marketplace Planned Development Agreement (2008)

The Hartland Marketplace Planned Development (PD) was approved by the Township in 2007 under SP #424. Four amendments to the PD Agreement occurred between 2007 and 2008. As part of the overall plan for the PD, off-site road improvements to Highland Road (M-59) were proposed. The Fourth Amendment to Hartland Marketplace Planned Development amended Section 12 of the original PD Agreement (entitled “Off-site Road Improvements for M-59”), “to conform with the proposed M-59 improvements and to reflect the change in the cost related thereto.” In addition the Fourth Amendment amended Section 6.7, “Signs” of the Agreement, to add subsection 6.7.6., which reads as follows:

6.7.6. The Township shall permit the relocation of the existing Burger King pole sign (“Burger King Sign”) that is immediately adjacent to the Development on Tax Parcel Number 4708-28-201-061 and held by Fitzpatrick Properties, LLC (The Fitzpatrick Property”) to the location described and depicted as the “Proposed Relocated Burger King Sign” on Exhibit J, attached hereto, which relocation is necessary for the Final M-59 Improvements as defined and discussed in Section 12 of this Agreement. The Township shall issue a land use permit for the relocation of the Burger King Sign on the Fitzpatrick Property, including relocation of related utilities serving the Burger King Sign, but shall not require any additional review, comment, permits or approval from the Township. The Township acknowledges and agrees that the Burger King Sign is a legal non-conforming sign and that the relocation as contemplated herein shall have no effect on the Burger King Sign’s legal non-conforming status. Notwithstanding the preceding sentence, nothing herein shall be construed to limit or prevent the Township from eliminating non-

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conforming uses or signs as permitted by law or from enforcing the Hartland Township Zoning Ordinance, as amended. The relocated Burger King Sign shall in all respects, including height and width, be identical to the existing Burger King Sign.

Based on notes found in the site plan file, the Burger King pylon sign was moved in 2008 to its current location, however the land use permit was not found in the file.

Request

The applicant is proposing an extensive remodeling project at Burger King and is requesting to amend the originally approved site plan. The project includes removal of the greenhouse portion on the north side of the building; removal of the mansard roof; removal of the parapet walls; new entrance door at the northwest corner of the building; new façade finishes on the building's exterior; metal canopies over the windows and new entrance door; new light fixtures on the building; ADA site improvements; landscape improvements; and interior remodeling. New parapet walls are proposed.

Currently the building is painted beige and brown, including the brick. The dumpster enclosure is painted brown (brick walls and wood gates). Staff was unable to determine when the brick was painted as the original building elevations were not found under SP #58. The applicant intends to use a brick product (face brick) that is a suitable match to the existing brick, and weave it into the existing brick where necessary, plus use the new brick product on the new parapet wall sections. The brick will be painted with two different tones of taupe, with a darker taupe band on the bottom of each elevation and a lighter taupe on top. A stacked stone product is used around the two building/customer entrances and on the wall with the drive-through window. Red accent tile is used as a surround on the main entrance door (northwest corner of the building). New down-lit wall sconce/lights are shown on the east and west elevations.

The plans show repairs to the curb and gutter in several areas as well as repairs to the parking lot asphalt. Sidewalk repairs are noted for the sidewalk on the west side of the building. New wooden gates, which are steel reinforced, are proposed for the existing dumpster enclosure. The gates and dumpster enclosure walls will be painted to match the building.

The number of parking spaces will remain the same, with a total of 48 parking spaces, 2 of which are barrier-free (van accessible).

A landscape plan is provided showing a mix of existing and proposed landscaping.

The existing pole sign (or free-standing sign) is currently considered non-conforming. As part of the 4th Amendment to the Hartland Marketplace Planned Development Agreement, the sign was relocated to provide adequate room for a drive access. This is outlined in more detail in the 4th Amendment, starting at the bottom of page 5 (see attached). The current project only involves a remodel of the interior and building façade of the existing Burger King restaurant. However, in the future, if the applicant desires to make site improvements to the layout of the drive-through lanes, or any other site improvements, the Planning Commission may consider bringing the existing pole sign into compliance.

The current wall signs will be removed and new wall signs are proposed. Any proposed signs will be reviewed administratively via the sign permitting process.

Approval Procedure

Due to the proposed exterior renovations to the existing building, a site plan application is required, to be reviewed by the Planning Commission, who will make a final decision on the site plan. Changes to the landscaping are proposed as part of this project, as well as new exterior lighting on the building.

Since the exterior modifications, landscaping and lighting are the only items to be reviewed as part of this request, the site plan review will be limited in scope in this memorandum.

Applicable development standards of the GC-General Commercial zoning district (Section 3.1.16) and all applicable zoning standards in the Zoning Ordinance will be reviewed for the proposed project.

SITE PLAN REVIEW – Applicable Site Standards

Site Description

The subject site is located east of Old US-23 and Blaine Road and south of Highland Road in Section 28 of Hartland Township, at 10382 Highland Road.

The site is served by public sanitary sewer and water. The remodeling project requires a land use permit from the Township and applicable approvals from other state and county agencies.

Impact Assessment

An Impact Assessment was not required.

Traffic Generation

A Traffic Generation report was not required.

Site Requirements

It should be noted that the submitted civil plans and landscape plan do not show the correct footprint of the building as those plans do not show the proposed removal of the greenhouse on the north end of the building. The greenhouse footprint is approximately 12 feet in length by 29 feet in width, thus the overall footprint of the building is reduced by those dimensions. Staff has conveyed this information to the applicant and requested the construction set of plans be revised to show the correct building footprint on all applicable sheets.

The previously approved plan from Site Plan Application #58 provided parking calculations for Burger King when the project was approved in 1986. The 1986 plans state 50 parking spaces are required and 50 parking spaces are provided, with an additional ten (10) parking spaces for RV and truck parking shown. An additional eleven (11) stacking spaces are shown for the drive-through lane. The proposed plan maintains the current parking layout, which has 48 parking spaces. Improvements/repairs are proposed to the parking lot and two (2) barrier-free parking spaces. Although shown on the 1986 plan, staff is unsure if the RV and truck parking spaces were ever provided. Those spaces are not striped on the site currently and are not shown on the proposed plan.

Off-Street Parking (Sec. 5.8, parking standards for fast-food restaurant with drive-through; and stacking at drive-through)

- Required – 22 spaces per 1,000 sq. ft. usable + 1 space per employee at peak shift (9 employees), + 10 additional stacking spaces, 5 of which are in advance of order station

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EQUATES TO: 31 parking spaces (1,064 SF dining area = 22 spaces + 9 employees)

- Existing parking – 48 spaces + 11 stacking spaces
- Meets Requirement? – yes
- Comment – (none)

Barrier-Free Parking

- Required – barrier-free spaces in a location most accessible to the building entrance, with at least 1 space van-accessible (1 barrier-free space required per 25 parking spaces)
- Proposed – 2 barrier-free spaces, both van accessible, nearest the new entrance door
- Meets Requirement? – Yes
- Comment – (none)

Landscaping and Screening (Sec. 5.11)

A landscape plan was submitted showing existing and proposed landscaping. As a reminder, the landscape plan does not show the building footprint correctly, as the greenhouse portion is still shown; thus the landscape plan will have to be revised.

Existing landscaping will be preserved as noted on the plan. New plantings are proposed throughout the site and plant calculations are provided on the plan; however, staff felt the calculations were not correct. A full analysis of the landscaping requirements is not necessary as the current project is focused on the renovation of the building's exterior and additional site work is not proposed. If site work is proposed in the future, such as a second drive-through or a building expansion, a detailed review of the landscaping may be required. Following is a summary of the proposed landscape plan.

Greenbelt

The proposed landscaping includes new deciduous (canopy and ornamental trees) and evergreen trees generally located in the greenbelt areas associated with the Highland Road and Blaine Road frontages. The following trees are proposed: 8 canopy trees; 6 ornamental trees; and 7 evergreen trees.

Foundation Landscaping

Four (4) existing ornamental trees (north and west sides of the building) are to be preserved in their current locations. The proposed plan shows a mix of existing and new plantings in existing planting beds along the building foundation, on the north, east, and west sides. Additional plantings are proposed in planting beds south of the building.

Parking Lot Landscaping

The proposed plan shows three (3) new canopy trees in existing parking islands. Ornamental grasses are proposed in the landscaped area by the entrance to the drive-through lane, in place of the existing daylilies.

Parking Lot Screen

Currently deciduous shrubs (9 shrubs) are planted along the west side of the parking lot which are to be removed per the proposed plan. A deciduous shrub hedgerow is proposed. An evergreen screen of the parking lot is required in this area, thus an evergreen shrub species (3-foot tall) should be used in place of the proposed deciduous shrub. Staff would recommend using a salt-tolerant evergreen shrub species.

A 3-foot high evergreen screen is required for the parking island at the northwest corner of the building. The plan shows lawn and daylilies; therefore the plan should be revised to comply.

Lighting (Section 5.13 of the Zoning Ordinance)

A proposed photometric plan is not required at this time. New wall mounted light fixtures are shown on the east, west, and south building elevations. Lights are proposed under each canopy/awning, although the building elevations do not state this information.

Sheet A-2.1 (Lighting Fixtures-Exterior) is intended to serve as a boiler-plate listing of all light fixtures that could be used on a Burger King project. Per the applicant only two (2) new light fixtures are proposed for this project: LED wall sconce light fixture “L Down Only” and light fixture “M”, which appears to be a light strip installed under the canopies/awnings. The applicant noted to staff the light strip will be flush-mounted on the underside of each canopy, and a specification sheet will be submitted.

Staff asked the applicant to provide a revised version of Sheet A-2.1 with the construction set of drawings that would specifically list only the light fixtures to be used for this proposed remodeling project. Specification sheets could be submitted as well.

- A. Intensity – NA, as a photometric plan was not required
- B. Fixture Height – NA, as changes to the existing parking lot lighting are not proposed
- C. Fixture Type
 - Required – details of all lighting fixtures needed including specifications for shielding, wattage and illumination
 - Proposed – several options (Manufacturer and model number) are listed for the proposed wall mounted light fixture (fixture “L-Down Only”) and light fixture “M” (underside of canopy/awnings) on Sheet A-2.1. A specification sheet is provided for the wall sconce “L Down Only”. A specification sheet is required for light fixture “M”, including information on the type of lamp.
 - Meets Requirement? – Additional information is required.
 - Comment – LED lighting should be used where possible. Sheet A-2.1 should be revised to provide the requested information, or a specification sheet for each light fixture should be submitted with the construction set of plans. Additionally, any existing non-compliant wall mounted light fixture (south side of the building) shall be removed and replaced with a compliant light fixture. The building elevations shall be revised to reflect this.

Architecture / Building Materials (Sec. 5.24)

Architecture Comments:

As staff reviewed the plans provided by Interplan, it was noted that the product and color designations stated on the scaled building elevations (Sheet A-3.0, A-3.1, and A-3.2) and the Exterior Materials &

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Finishing Schedule (Sheet A-4.0), do not match the information on the color version of the building elevations. Staff spoke with the applicant about this matter and he responded that the construction set of drawings would be revised so that the specific product name and color are consistently listed on all relevant sheets.

Sheet A-1.2 (Interplan set of plans) includes references to a new light band to be installed on the proposed parapet walls. A light band is similar in nature to outline tubing/neon sign which is listed as a prohibited sign per the Sign regulations in the Zoning Ordinance (Section 5.26). All light band references should be removed from the plans.

Also to be noted, the applicant has provided revised elevation drawings, dated October 29, 2019, showing the physical roofline and the outline of each rooftop unit. The four (4) rooftop units are shown in plan view on the first sheet.

Based on the elevations drawings the rooftop units protrude above the parapet walls. Per Section 5.24.4., *“All roof appurtenances shall be screened from view by use of a parapet wall....”*.

The applicant has provided an email, dated October 30, 2019, stating the rooftop units will be screened as required per the Ordinance regulations in Section 5.24.4., by raising the parapet wall heights and using the same proposed exterior finishes. This is required for all four (4) sides of the building. Revised elevations will be required with the construction set of plans that show the parapet wall being extended, on all four (4) sides, to sufficiently screen all rooftop equipment, using the same exterior finishes. The percentage of each façade material for each elevation should also be revised and shown on the plans.

- Façade Materials Calculation – façade materials must comply with the specifications for Façade Materials Group #1; percentages are proposed as follows:

Materials Group #1: Proposed Façade Materials by Percentage by Elevation

Group #1	Brick 100% (30% Min) Face brick proposed	Ceramic Tile 10% (Max)	Stone 50% (Max)	Flat Metal Panels 20% (Max)	Glass 50% (Max)
North	47.2%	4.4%	29.9%	3.1%	15.4%
South	79.3%	NA	12.7%	1.0%	NA
West	62.8%	2.2%	22.7%	2.3%	10.0%
East	74.8%	NA	12.5%	2.1%	10.6%

- Colors: the color renderings illustrate earth tone colors as required, with red tile used at the building’s main entrance.
- Materials: percentages are listed for each elevation side as indicated by the table
- Meets Requirement? – Yes
- Comment – the construction set of plans shall provide all product specifications (product name, manufacturer, and color) and shall match the products listed on the color renderings. Revised

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elevation drawings will be required to show screening of the rooftop units with an increased height of the parapet walls.

Other Requirements-Zoning Ordinance Standards/Other Comments

The existing sidewalk located along Blaine Road, extending southerly from M-59, currently ends in the middle of the site. This sidewalk doesn't connect to a sidewalk at the southwest corner of the Burger King site. A goal of the Township is to provide a more walkable community and when future site improvements are proposed, the Planning Commission should give consideration to a requirement to extend this sidewalk to connect to the sidewalk further to the south.

Hartland Township DPW Review

No comments at this time.

Hartland Township Engineer's Review (HRC)

The request does not require review by the Township's Engineer (Hubbell, Roth, and Clark).

Hartland Deerfield Fire Authority Review

Hartland Deerfield Fire Authority provided comments in their letter dated October 23, 2019 and approves the project subject to the contingencies in the review letter.

Attachments

1. Hartland Deerfield Fire Authority Review Letter dated October 23, 2019-*PDF version*
2. Applicant email 10.30.2019- *PDF version*
3. Executed 4th Amendment Hartland Marketplace-*PDF version*
4. Light Fixture L- Down only-*PDF version*
5. Revised Elevations with Rooftop Units dated 10.29.2019-*PDF version*
6. Color Building Elevations dated 10.29.2019-*PDF version*
7. Civil and Landscape Plans by MEGA dated 10.08.2019
8. Interior Plans & Building Elevations by Interplan, LLC, dated 10.04.2019

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HARTLAND DEERFIELD FIRE AUTHORITY
FIRE MARSHALS OFFICE

Hartland Area Fire Dept.
3205 Hartland Road
Hartland, MI. 48353-1825

Voice: (810) 632-7676
Fax: (810) 632-2176

E-Mail: jwhitbeck@hartlandareafire.com

October 23, 2019

TO: Planning Commission
Attn: Zoning Department
Hartland Township
2655 Clark Road
Hartland, MI 48353

RE: Burger King's request for Site Plan Remodel Interior/Exterior.

We have reviewed the conceptual layout plans for the above project as prepared by Monument Engineering Group Assoc, Inc. (plans dated October 9, 2019). We have the following comments:

1. An address visible from the center of Highland Road. (**Ordinance #77-505.1**)
2. All emergency lighting shall be on dedicated circuit(s) so they may be tested without disrupting business. The circuit(s) shall be labeled in the breaker box(es). (**AHJ Requirement**)
3. A fire alarm system is required for this building.
4. Duct Detectors shall report as a **supervisory** or **trouble**
5. A strobe or horn strobe shall be located on the exterior of the building, and visible from the centerline of Highland Road. (**AHJ Requirements**)
6. A remote enunciation sub panel shall be located at the main entrance of the building if the main panel is not easily accessible. (**AHJ Requirement**)
7. A Supra brand lock box to be installed prior to obtaining the certificate of occupancy from Livingston County Building Department. An order form has been attached with this review. (**Hartland Township Ordinance #77-506.1.1**)
8. A LadderPort™ Ladder Receiver (Type 1, Type 2, Type3 or Type 4), if not already, is to be installed for equipment and/or appliances are installed on the roof top, on the North facing side of the occupancy with year round accessibility by ground ladders. A catalog and order form has been attached with this review. (**MBC 306.5 & Hartland Twp. Ordinance #77-504.1.1**)
9. If the interior plans are to move the Commercial Hood Suppression Systems then those changes shall be submitted to our third party reviewer, Brighton Fire Dept. and reviewed. Once reviewed the prints will be available for pick-up and taken to the Livingston County Building Department so a permit can be pulled. *NOTE: UL 300 system tests will be conducted using a "wet test" using an agent recommended by the manufacturer. (**Hartland Twp. Ordinance #77-105.7.1.1**)
10. Service drives shall meet 33,000lbs per axle. Weight and turning radius performance cut sheet for our most restrictive apparatus has been attached with this review. Please see that all turning radiuses and clearances are met. (**County and Local Requirement**)
11. Locations and quantities of Hazardous Materials (if any) shall be included. An HMIS form is included with this letter. (**AHJ Requirement**)

12. A Contact Sheet and a map of the occupancy shall be filled out and provided to the AHJ along with a key to be kept inside the Rapid Entry box on the building. (**AHJ Requirement**)
13. A site inspection upon completion is required before calling in for Certificate of Occupancy (**Zoning Ordinance Requirement**)

The Fire Marshals Office approves with the above contingencies the submittal. Any revised drawings affecting the Fire Department must be submitted for review.

Yours In Fire Safety,

Jenn Whitbeck
Fire Inspector

Martha Wyatt

From: Martha Wyatt
Sent: Wednesday, October 30, 2019 4:17 PM
To: Martha Wyatt
Subject: FW: Burger King Application (#1019)

Importance: High

From: Gama, Irwing
Sent: Wednesday, October 30, 2019 3:07 PM
To: Martha Wyatt
Subject: RE: Burger King Application (#1019)
Importance: High

Martha,

I spoke with our client (Carrols Restaurant Group, Inc.) and am confirming in writing (via this email) that they will screen the roof top units as required per Ordinance regulations in Section 5.24.4.

More specifically, they will be raising the parapet wall heights to screen any of the existing units in full. This will involve raising the heights at the front portion of the building approximately 15" and 24" at the rear portion of the building and will utilize the same proposed exterior finishes. Due to the additional structural review / revisions required, we will NOT have revised roof plans and elevations by today but can provide those after the public hearing in the record set of construction plans.

Please let me know if you need anything further.

Irwing Gama | Project Manager

www.sevansolutions.com

Chicago, IL 60641

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**FOURTH AMENDMENT TO
HARTLAND MARKETPLACE
PLANNED DEVELOPMENT AGREEMENT**

Between

HARTLAND TOWNSHIP

and

**HARTLAND 23 RETAIL
DEVELOPMENT COMPANY PARCEL I, LLC**

and

**HARTLAND 23 RETAIL
DEVELOPMENT COMPANY PARCEL II, LLC**

and

WAL-MART REAL ESTATE BUSINESS TRUST

(Text Amendment)

HARTLAND MARKETPLACE
FOURTH AMENDMENT TO PLANNED DEVELOPMENT AGREEMENT

This Fourth Amendment is made this ____ day of _____, 2008, by and among the Township of Hartland, a Michigan municipal corporation (“Township”), 2655 Clark Road, Hartland, Michigan 48353, and Hartland 23 Retail Development Company Parcel I, LLC, a Michigan limited liability company, 28470 13 Mile Road, Suite 220, Farmington Hills, Michigan 48334, Hartland 23 Retail Development Company Parcel II, LLC, 28470 13 Mile Road, Suite 220, Farmington Hills, Michigan 48334, a Michigan limited liability company, (Hartland 23 Retail Development Company Parcel I and Parcel II are collectively referred to as “23-RDC”) as successors or assigns of Hartland 23 Retail Development Company, L.L.C. (“Hartland Retail Development Company”) and Wal-Mart Real Estate Business Trust, a Delaware statutory trust (“Wal-Mart”), whose mailing address is 2001 S.E. Tenth Street, Bentonville, Arkansas 72716-0550.

RECITALS

- A. On October 31, 2007, Township and Hartland 23 Retail Development Company entered into a Planned Development Agreement (the “Agreement”) for the real property located in Hartland Township, Livingston County, Michigan described in the attached Exhibit A, which is made a part of this document (the “Land”).
- B. The Agreement was recorded as Instrument No. 2007R-036785 Livingston County Records, on November 9, 2007.
- C. On December 18, 2007, the Township and Hartland Retail Development Company executed a First Amendment to the Agreement, which was recorded as Instrument No. 2008R-000932, Livingston County Records, on January 10, 2008.
- D. On May 21, 2008, the Township, Hartland Retail Development Company and Wal-Mart executed a Second Amendment to the Agreement, which was recorded as Instrument No. 2008R-021399, Livingston County Records, on July 11, 2008.
- E. On _____, the Township, Hartland Retail Development Company and Wal-Mart executed a Third Amendment to the Agreement, which was recorded as Instrument No. _____, Livingston County Records, on _____.
- F. Township, 23-RDC, and Wal-Mart have agreed to amend the Agreement, as amended, to conform with the proposed M-59 road improvements and to reflect the change in cost related thereto.

- G. Township, 23-RDC and Wal-Mart are executing and will record this document to evidence and memorialize this Fourth Amendment to the Agreement.

NOW, THEREFORE, it is hereby agreed as follows:

1. Section 12 of the Agreement shall be amended to read as follows:

12. Off-Site Road Improvements for M-59.

12.1 The Owners of the Land shall contribute money for certain off-site road improvements (the "Final M-59 Improvements") in order to meet the "recognizable benefit" qualifying criterion for establishment of the Development as a Planned Development ("PD") under Article 29 of the Hartland Township Zoning Ordinance. This is not an offer by the Owners or Developer for conditional rezoning. The Final M-59 Improvements, and the costs related thereto, shall be defined more specifically in the Special Assessment Contract contemplated by this Agreement, including but not limited to Exhibits A and C thereto.

12.2 In the event PD approval for the Development is terminated or lapses or the parcel is not developed pursuant to this Agreement, the Owners of the Land shall not be required to contribute any money to the Township or any other person or entity for the Final M-59 Improvements necessary to achieve a total and final traffic solution and to mitigate the affect on public services in substantial compliance with the proposed Traffic Impact Study developed by Metro Transportation Group, Inc. The foregoing sentence notwithstanding and in accordance with the commencement of payments as contemplated by section 12.3 below, the Owners of the Land shall be deemed to have irrevocably agreed to financially contribute to the contemplated Final M-59 Improvements in the manner provided in this Agreement if (a) a contract for the Final M-59 Improvements is awarded prior to the Township's receipt of written notice from the Owners of the Land that the Land will not be developed pursuant to this Agreement; or (b) the commencement of vertical construction on the Land, whichever occurs first.

12.3 The Owners of the Land shall not be required to pay any money until the Michigan Department Of Transportation ("MDOT") and the Livingston County Road Commission (the "Road Commission") approve the plans for the Final M-59 Improvements and the Township and all other public agencies having jurisdiction award(s) a contract for the Final M-59 Improvements, including landscaping as approved by the Township and permitted by MDOT, to M-59 located east of U.S. 23 to approximately Clark Rd to achieve a total and final traffic solution in accordance with MDOT and Road Commission approval. The Owners of the Land shall

not be required to pay any money if such a bid is accepted, but the Final M-59 Improvements are not thereafter made.

12.4 The monetary contribution shall be used solely for the Final M-59 Improvements and all related costs to achieve a final traffic solution as approved by MDOT and the Road Commission taking into account all of the commercial development located along M-59 from U.S. 23 in an easterly direction to approximately Clark Rd.

12.5 The maximum amount payable by the Owners of the Land for improvements to M-59 shall not exceed the lesser of: (a) \$2,415,000.00 or (b) 35% of the estimated cost of the Final M-59 Improvements as contemplated by the Township and as permitted by MDOT (hereinafter the "Maximum Recognizable Benefit Contribution"). Notwithstanding the Maximum Recognizable Benefit Contribution and paragraph 12.7 of this Agreement, nothing in this Agreement shall be interpreted or construed as limiting the Township's authority to make additional special assessments against the Parcels pursuant to the paragraph three (3) of the Special Assessment Contract. The Maximum Recognizable Benefit Contribution shall not be reduced for any required present or future improvements to Blaine Road, as shown in the approved Final Plan. The Township currently estimates the total cost of the Final M-59 Improvements to be \$6,900,000.00, inclusive of the cost of issuance of the municipal financing, costs for design, engineering and planning, other preparatory costs, review costs, construction costs, landscaping, legal costs, bond costs, administrative costs, contingency, hard costs, soft costs, right of way costs and other similar expenses. The actual Maximum Recognizable Benefit Contribution payable by the Owners of the Land may be reduced if the actual cost of the Final M-59 Improvements is less than \$6,900,000.00. The Maximum Recognizable Benefit Contribution may also be reduced by the cost of improvements to M-59 (excluding any present or future improvements to Blaine Road, shown on the approved Final Plan) made by the Owners of the Land to achieve an interim traffic solution as approved by MDOT and the Road Commission, provided those improvements are coordinated to work with the final traffic solution contemplated by MDOT, the Road Commission and the Township.

12.6 If the Township, in its sole discretion, determines that the Final M-59 Improvements are in the best interest of the public health, safety and welfare, and the Township determines to undertake the Final M-59 Improvements contemplated by MDOT and the Township, the Township shall finance the Maximum Recognizable Benefit Contribution and establish a special assessment district to spread the Maximum Recognizable Benefit Contribution over a minimum period of 25 years. The Owners of the Land agree to be specially assessed in an amount not to exceed the Maximum Recognizable Benefit Contribution as described and

limited herein and shall execute any and all documents necessary to establish a special assessment in accordance with terms of this Agreement. The Owners of the Land may, if they so choose, pay such assessment in advance and/or early, without penalty.

12.7 The Maximum Recognizable Benefit Contribution and associated terms and conditions shall be considered separate from and shall not affect or modify any existing special assessments or agreements applicable to the Land, including, but not limited to, existing or future sewer or water special assessments. Except as otherwise specifically described or contemplated herein, nothing in this Agreement shall be construed to prevent the Township from subjecting the parcels to additional special or other assessments as permitted by law, provided however, that there shall be no other or additional special assessments against the Land or Development for the Final M-59 Improvements and related costs for which the Maximum Recognizable Benefit Contribution is being or will be paid.

12.8 The Township and the Owners of the Land acknowledge and agree that the Final M-59 Improvements are a collaborative endeavor by the Township, the Owners of the Land and developers currently proposing a development on the North side of M-59 (being the former Oasis Truck Stop parcel, referred to herein as the "Oasis Parcel"). As part of that collaborative endeavor, the Township intends to enter into a similar agreement with the owners of the Oasis Parcel for a financial contribution to the Final M-59 Improvements as contemplated by this Agreement and the Township agrees to use its best efforts to ensure that the Owners of the Land and the owners of the Oasis Parcel are treated substantially similar.

12.9 The Township shall not oppose the issuance of a Temporary Certificate of Occupancy to the Owners of the Land for the Development, or any portion thereof, provided the following conditions are met:

- (a) completion of north and south entry drives to the Development from Blaine Road;
- (b) completion of a temporary unsignalized drive approach from the eastern-most access drive of the Development to M-59; and
- (c) compliance with all other existing requirements for the issuance of a Temporary Certificate of Occupancy.

2. Section 6.7, "Signs", of the Agreement shall be amended to add subsection 6.7.6 which shall read as follows:

6.7.6. The Township shall permit the relocation of the existing Burger King pole sign ("Burger King Sign") that is immediately adjacent to the Development on Tax Parcel Number 4708-28-201-061 and held by Fitzpatrick Properties, LLC (the "Fitzpatrick Property") to

the location described and depicted as the "Proposed Relocated Burger King Sign" on Exhibit J, attached hereto, which relocation is necessary for the Final M-59 Improvements as defined and discussed in Section 12 of this Agreement. The Township shall issue a land use permit for the relocation of the Burger King Sign on the Fitzpatrick Property, including relocation of related utilities serving the Burger King Sign, but shall not require any additional review, comment, permits or approval from the Township. The Township acknowledges and agrees that the Burger King Sign is a legal non-conforming sign and that the relocation as contemplated herein shall have no effect on the Burger King Sign's legal non-conforming status. Notwithstanding the preceding sentence, nothing herein shall be construed to limit or prevent the Township from eliminating non-conforming uses or signs as permitted by law or from enforcing the Hartland Township Zoning Ordinance, as amended. The relocated Burger King Sign shall in all respects, including height and width, be identical to the existing Burger King Sign.

3. The other provisions of the Agreement as previously amended shall remain in full force and effect.
4. The Agreement, as previously amended and as amended by this document, shall be the Planned Development Agreement for the Land.
5. The Township and 23-RDC and Wal-Mart, as successors or assigns to Hartland 23 Retail Development Company expressly reaffirm, acknowledge and agree that they are bound by the terms and conditions of the Planned Development Agreement, as amended.

In witness whereof, we have signed this document on the date appearing in the first paragraph, above.

(Signatures appear on following pages)

Hartland Township

By: *WJF*
William J. Fountain, its Supervisor

and *Ann Ulrich*
Ann Ulrich, CMC, its Clerk

STATE OF MICHIGAN)
) SS
COUNTY OF LIVINGSTON)

The foregoing instrument was acknowledged before me on December 11,
2008, by William J. Fountain, the Supervisor, and Ann Ulrich, CMC, the Clerk of
Hartland Township, on behalf of the Township, to me known as the persons who
executed the foregoing and who stated that they did so as their free act and deed.

Patricia Franklin

PATRICIA FRANKLIN
NOTARY PUBLIC
Oakland County, MI
My Commission Expires
07/31/2012

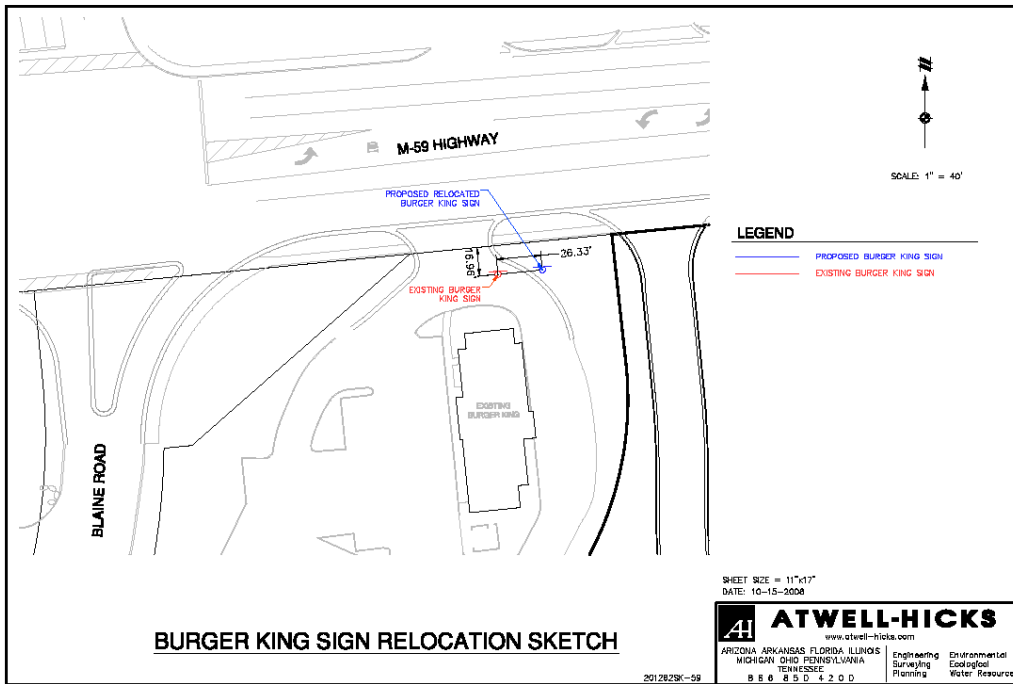
Notary Public *Oakland* County, Michigan
Acting in Livingston County
My Commission Expires: 07-31-2012

EXHIBIT "A"

OVERALL DEVELOPMENT (PARCEL "D"):

Commencing at the North 1/4 corner of Section 28, T3N, R6E, Hartland Township, Livingston County, Michigan; thence S00°38'57"W 31.57 feet along the North-South 1/4 line of said Section 28 to a Property Controlling corner; thence S04°49'58"E 124.92 feet along the North-South 1/4 line of said Section 28 per affidavit by John C. Miller, recorded in Liber 395, Page 144, Livingston County Records for a PLACE OF BEGINNING; thence continuing S04°49'58"E 394.15 feet along the North-South 1/4 line of said Section 28 per said affidavit by John C. Miller; thence the following three (3) courses along the Southerly right-of-way line of Blaine Road (70 feet wide): 107.95 feet along the arc of a 1110.92 foot radius non-tangential circular curve to the right, with a central angle of 05°34'03", having a chord which bears N34°22'08"E 107.91 feet; N37°09'10"E 306.02 feet and 69.57 feet along the arc of a 416.97 foot radius circular curve to the left, with a central angle of 09°33'33", having a chord which bears N32°22'22"E 69.49 feet; thence S81°02'19"E 213.29 feet; thence 40.13 feet along the arc of a 257.22 foot radius non-tangential circular curve to the right, with a central angle of 08°56'21", having a chord which bears N25°59'59"E 40.09 feet; thence N30°10'23"E 131.40 feet; thence 125.54 feet along the arc of a 196.34 foot radius circular curve to the left, with a central angle of 36°38'08", having a chord which bears N12°01'34"E 123.41 feet; thence N06°18'25"W 76.35 feet; thence N84°26'03"E 60.00 feet along the South right-of-way line of M-59 (variable width) and the North line of "Glen Meadows No. 1" as recorded in Liber 9 of Plats, Pages 35-36, Livingston County Records; thence S06°20'39"E 255.99 feet along the East line of said "Glen Meadows No. 1"; thence N84°26'03"E 236.19 feet; thence N06°20'39"W 316.00 feet; thence N84°26'03"E 207.82 feet along the centerline of said M-59; thence S06°24'46"E 360.19 feet; thence N84°26'03"E 160.00 feet; thence N06°24'46"W 360.19 feet; thence N84°26'03"E 168.03 feet along the centerline of said M-59; thence S00°29'31"E 1263.43 feet; thence S58°46'30"W 708.95 feet; thence S06°20'39"E 89.45 feet along the East line of said "Glen Meadows No. 1"; thence S83°38'09"W 754.16 feet along the South line of said "Glen Meadows No. 1"; thence S04°49'58"E 1203.86 feet along the North-South 1/4 line of said Section 28 per said affidavit by John C. Miller; thence N86°58'11"W 534.08 feet along the North line of "Hartland Shores Estates No. 1", as recorded in Liber 12 of Plats, Page 8, Livingston County Records; thence N04°10'52"E 1638.36 feet along the West right-of-way line of said Blaine Road and the East right-of-way line of US-23 (variable width); thence 530.90 feet along the arc of a 1180.92 foot radius circular curve to the right, with a central angle of 25°45'29", having a chord which bears N17°03'36"E 526.44 feet along the West right-of-way line of said Blaine Road; thence N85°49'29"W 40.56 feet; thence N12°25'31"E 391.45 feet to the Place of Beginning, being a part of the North 1/2 of said Section 28 and the Southeast 1/4 of Section 21, T3N, R6E, Hartland Township, Livingston County, Michigan containing 59.12 acres of land, more or less, subject to easements, conditions, restrictions and exceptions of record, if any.

EXHIBIT J



20128258K-59.dwg 10/15/08 10:08:38 AM

**Full Cut Radius Wall Sconce
HID / LED
RS Series**



CATALOG #

RS

LAMP

100PMH - 100W Pulse Start Metal Halide

30WLED - 30W LED

42WLED - 42W LED

DISTRIBUTION

UD - Uplight / Downlight

(available for PSMH lamps & 42W LED only)

DO - Downlight only

FINISH

DB - Dark Bronze

SV - Platinum Silver

VOLTAGE

MT - Multi-Tap 120 - 277V
(available for PSMH lamps only)

120 - 120V

(available for LED lamps only)

FEATURES

- Clear Tempered Glass Lens
- Die cast aluminum housing
- Single piece gasket

COMPLIANCE

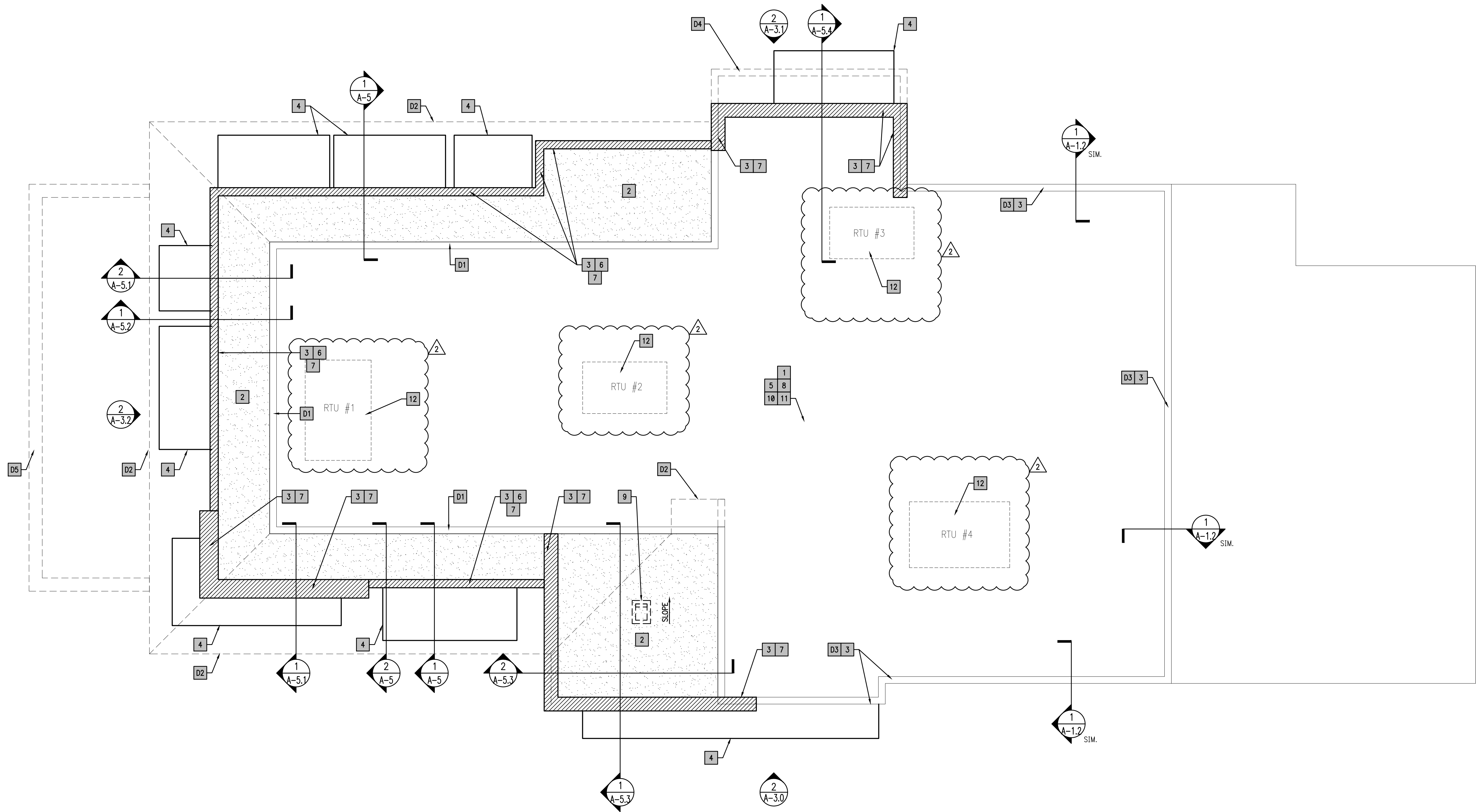
UL Listed for Wet Locations.
IP66 Rated

DIMENSIONS

18"W x 7"H x 9"D

WARRANTY

Five-year limited warranty. Certain exclusions apply. For details, see warranty document attached.



1 ARCHITECTURAL ROOF PLAN 1/4" = 1'-0"

KEYED NOTES

1. EXISTING ROOFING SYSTEM TO BE REPLACED. G.C. SHALL PROVIDE SUITABLE NEW ROOF MEMBRANE JOINT TO MAINTAIN WATERTIGHT SEAL. G.C. TO PROVIDE 15 YEAR WARRANTY ON NEW ROOF.
2. NEW ROOFING SYSTEM TO MATCH EXISTING AT NEW ROOF CONSTRUCTION. G.C. SHALL PROVIDE SUITABLE PATCH AT EXISTING TO NEW ROOF MATERIAL JOINT TO MAINTAIN WATERTIGHT SEAL. G.C. SHALL SUPPLY NEW ROOF, INCLUDING ALL FLASHING AND ACCESSORIES AS REQUIRED TO MAINTAIN EXISTING EQUIPMENT/LOCATIONS, OVER ENTIRE BUILDING. SEE PRODUCT APPROVAL SPECIFICATION THIS SHEET.
3. NEW METAL COPING. REFER TO ELEVATIONS FOR COLOR OF COPING.
4. NEW PREFABRICATED METAL CANOPY. REFER TO DETAILS ON SHEET A-5.5. G.C. TO PROVIDE BLOCKING FOR CANOPY SUPPORT.
5. EXISTING ROOF TOP EQUIPMENT TO REMAIN.
6. NEW LIGHT BAND. SEE DETAIL ON THIS SHEET AND EXTERIOR ELEVATIONS.
7. NEW PARAPET CONSTRUCTION/EXTENSION. SEE WALL SECTIONS.
8. VERIFY ALL THE ROOF DRAINS ARE CLEAN AND IN WORKING CONDITION.

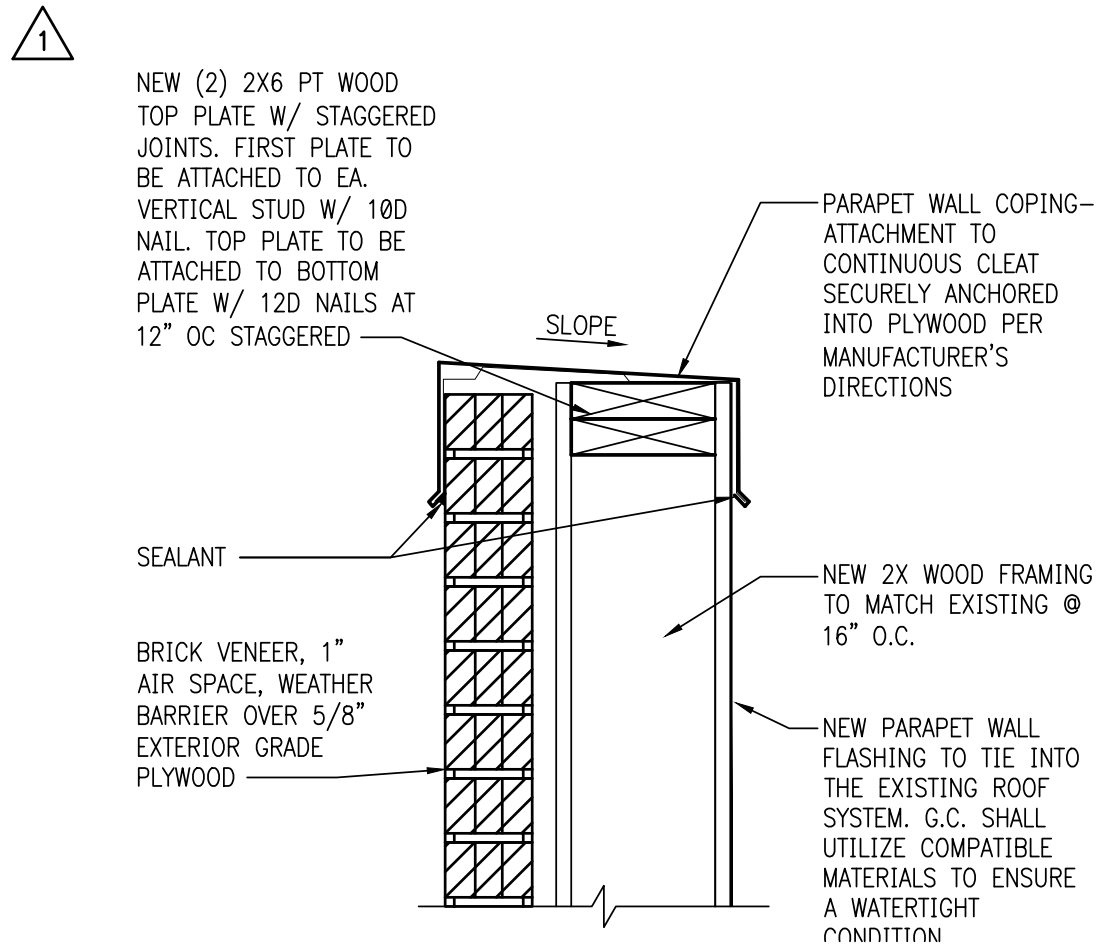
9. PROVIDE AND INSTALL ROOF VENTS AT NEW PARAPET CONSTRUCTION. INSTALL A FLAT "OFF-RIDGE ROOF VENT" A MINIMUM OF 6" FROM TOP OF RIDGE. ROOF VENT: OWENS CORNING VTS455-GR (N.F.V.A.= 50 SQ. IN.) OR EQUAL.
10. RELOCATE EXISTING EQUIPMENT (SUCH AS SECURITY CAMERAS, SATELLITE DISH) AS REQUIRED.
11. INSTALL NEW ROOFTOP FRYER EXHAUST FAN PER BK SPEC.
12. EXISTING RTU TO REMAIN.

DEMO KEYED NOTES:

- D1. REMOVE EXISTING LIGHT BAND AND PARAPET CAP.
- D2. REMOVE EXISTING MANSARD ROOF FINISH & FRAMING. REFER TO WALL SECTIONS AND EXTERIOR ELEVATIONS.
- D3. REMOVE EXISTING METAL COPING. PATCH AND REPAIR AS REQUIRED AND PREP PER NEW ROOF SYSTEM AND WALL FLASHING.
- D4. REMOVE PORTION OF EXISTING ROOF STRUCTURE FRAMING AND FINISHES. PREP FOR NEW ARCHON CONSTRUCTION.
- D5. REMOVE EXISTING GREEN HOUSE IN ITS ENTIRETY. REFER TO WALL SECTIONS AND EXTERIOR ELEVATIONS.

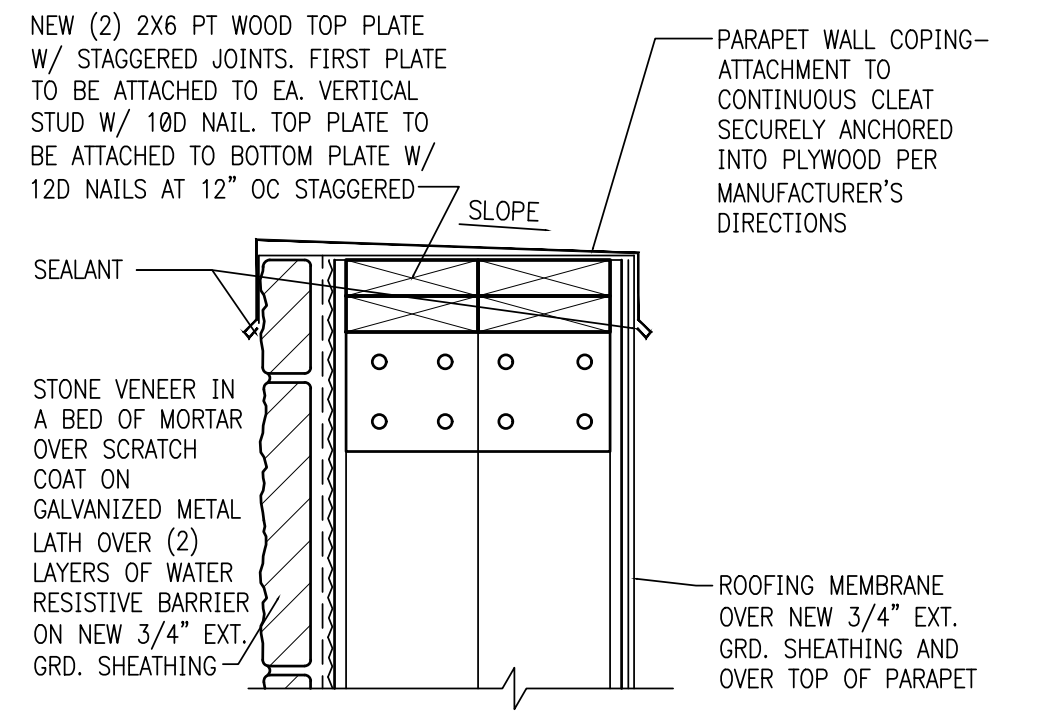
GENERAL NOTES

- A. ROOFING SUBCONTRACTOR TO COORDINATE LOCATION OF EXISTING H.V.A.C. UNITS AND ROOF TOP ACCESSORIES WITH STRUCTURAL DRAWINGS FOR PLACEMENT AND TAPERED RIGID BOARD INSULATION LAY-OUT AND SUBSEQUENT INSTALLATION IN ORDER TO AVOID PONDING WATER CONDITIONS ATTRIBUTABLE TO BOARD LAY-OUT ISSUES.
- B. ROOF SYSTEMS SPECIFIED SHALL BE APPLIED ONLY BY MANUFACTURER APPROVED APPLICATOR IN ORDER TO MEET GUARANTEE REQUIREMENTS.
- C. PONDING WATER IS DEFINED AS WATER THAT DOES NOT DRAIN OR DISSIPATE FROM THE ROOF WITHIN 48 HOURS AFTER PRECIPITATION.
- D. CONTRACTOR SHALL "SUGAR-IN" ALL ASPHALT. BLEED-OUT ON PILES WITH ADDITIONAL GRANULES TO MATCH EXISTING COLORATION OF THE MINERAL SURFACE CAP SHEET.
- E. ALL FLASHING CEMENTS, ASPHALTS, PRODUCTS AND ACCESSORIES SHALL BE APPROVED BY ROOFING MANUFACTURER WITH THE MANUFACTURER'S BRAND. ALL ASPHALTS SHALL BE AMERICAN MANUFACTURED PRODUCTS.
- F. THE ROOF STRUCTURE SHALL NOT BE USED FOR STOCKPILING OF EQUIPMENT OR MATERIALS.
- G. THE ROOFING SYSTEM SHALL BE AS PER DRAWINGS AND PER MANUFACTURER'S SPECIFICATIONS.
- H. COORDINATE ROOF ELEVATIONS WITH ELEVATION DRAWINGS.
- I. HVAC CONDENSATE LINES TO TERMINATE AT ROOF DRAIN OR AS REQUIRED.
- J. CONTRACTOR TO PROVIDE 15 YEAR WARRANTY FOR NEW ROOF AREA.



1 TYPICAL PARAPET DETAIL @ BRICK VENEER 1-1/2" - 1'-0"

2 NOT USED



3 TYPICAL PARAPET DETAIL @ STONE VENEER 1-1/2" - 1'-0"

3" = 1'-0"

INTERPLANS
ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT
604 COURTLAND STREET
ORLANDO, FLORIDA 32804
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FX: 407.629.9124

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RESTAURANT FOR: Carrols Corporation
968 James Street P.O. Box 6969
Syracuse, New York 13217-6969

BURGER KING CORPORATION

NO.	DATE	TOWNSHIP	COMMENTS
1	10/27/19		
2	10/29/19		

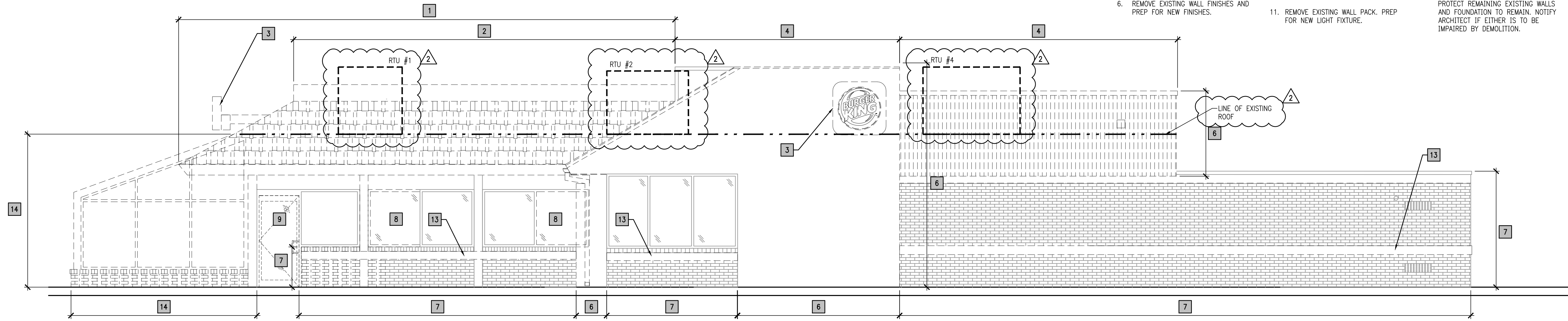
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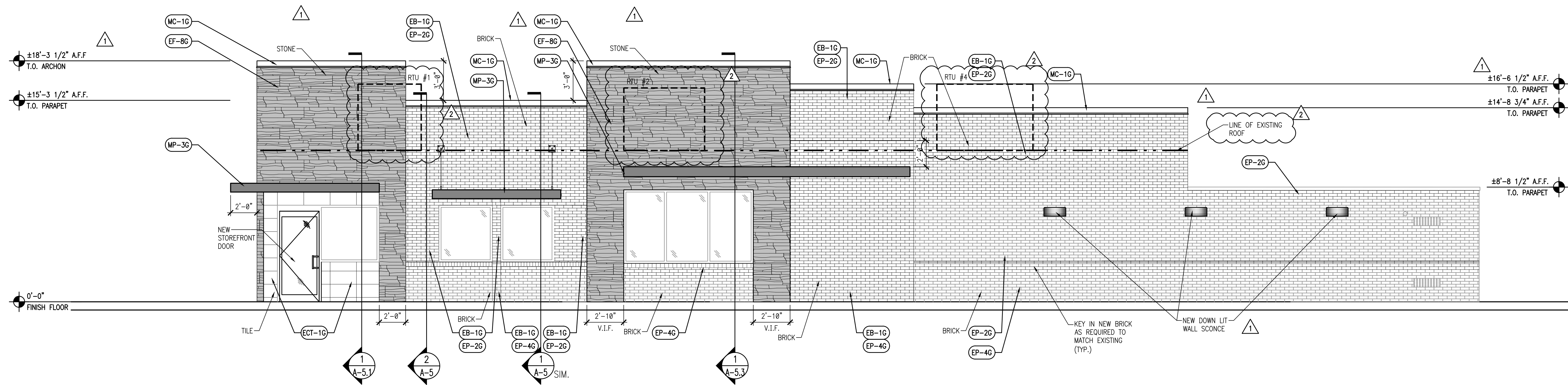
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BK 5118
10382 HIGHLAND RD.
HARTLAND, MI 48933
DATE: 06.06.19
BK-2500
ROOF PLAN
A-1.2
CHECKED: DA
DRAWN: MM
28

KEYED NOTES:

1. REMOVE EXISTING MANSARD FRAMING AND FINISHES IN ITS ENTIRETY.
2. REMOVE EXISTING LIGHTBAND AND COPING.
3. REMOVE EXISTING SIGNAGE.
4. REMOVE EXISTING COPING.
5. NOT USED.
6. REMOVE EXISTING WALL FINISHES AND PREP FOR NEW FINISHES.
7. EXISTING WALL FINISH TO REMAIN.
8. REMOVE EXISTING WINDOWS, PREP OPENING FOR NEW WALL INFILL.
9. REMOVE EXISTING DOOR AND PREP FOR NEW DOOR.
10. REMOVE PORTION OF EXISTING ROOF STRUCTURE FRAMING AND FINISHES. PREP FOR NEW ARCHON CONSTRUCTION.
11. REMOVE EXISTING WALL PACK. PREP FOR NEW LIGHT FIXTURE.
12. REMOVE EXISTING DRIVE-THRU WINDOW AND PREP FOR NEW DRIVE-THRU WINDOW.
13. REMOVE EXISTING WOOD TRIM AND PREP FOR NEW FINISHES, TO MATCH EXISTING WALL FINISHES.
14. REMOVE EXISTING GREEN HOUSE IN ITS ENTIRETY, INCLUDING FLOOR SLAB AND FOUNDATIONS. GENERAL CONTRACTOR TO TAKE CARE TO PROTECT REMAINING EXISTING WALLS AND FOUNDATION TO REMAIN. NOTIFY ARCHITECT IF EITHER IS TO BE IMPAIRED BY DEMOLITION.



1 MAIN ENTRY ELEVATION - DEMO
SCALE: 1/4" = 1'-0"



2 MAIN ENTRY ELEVATION - NEW
SCALE: 1/4" = 1'-0"

Approved Facade Material Percentages		
Material	Actual Percentage	Allowable Percentage
Brick	62.8 %	100 % (30 % Min.)
Ceramic Tiles	2.2 %	10 %
Stone	22.7 %	50 %
Flat Metal Panels	2.3 %	20 %
Glass	10.0 %	50 %
Wood	N/A	10 %
Fiber Cement Board	N/A	10 %

- GENERAL NOTES**
1. ALL ARCHONS SHALL BE FINISHED WITH SAME MATERIAL.
 2. ALL FINISHES PER GARDEN GRILL FINISH SCHEDULE AS SHOWN ON ELEVATIONS.
 3. PROVIDE LIGHTS UNDER CANOPIES IF NOT PRESENT.

RESTAURANT FOR: **Carrols Corporation**
 988 James Street P.O. Box 6869
 Syracuse, New York 13217-6869
 (315) 424-0513

BURGER KING CORPORATION

INTERPLANET ARCHITECTURE
 ENGINEERING
 INTERIOR DESIGN
 PROJECT MANAGEMENT
 604 COURTLAND STREET
 SUITE 100
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CHECKED BY: **DA**
 DRAWN BY: **MM/RS**
 DATE: **06.08.19**
 REVISION: **1 10/27/19 TOWNSHIP COMMENTS**
2 10/29/19 TOWNSHIP COMMENTS

SEAL

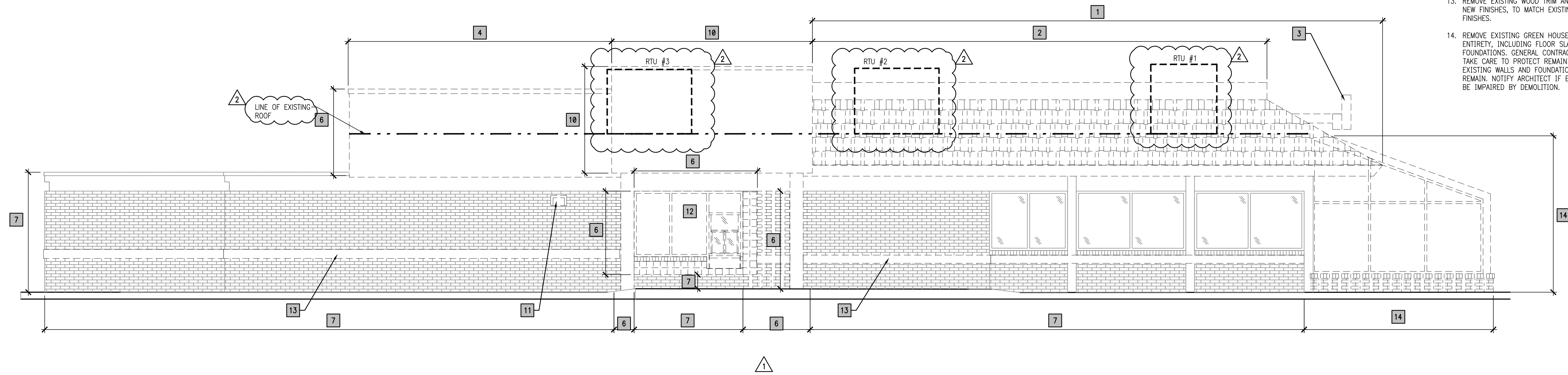
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 10389 HIGHLAND RD
 HARTLAND, MI 48333
 BK-2500
NEW DEMO EXTERIOR ELEVATIONS

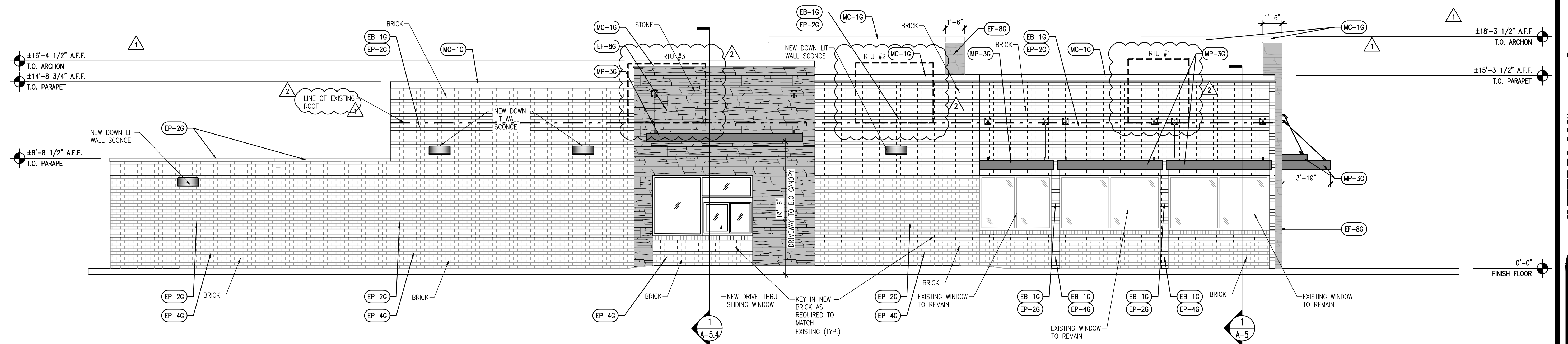
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 29

KEYED NOTES:

1. REMOVE EXISTING MANSARD FRAMING AND FINISHES IN ITS ENTIRETY.
2. REMOVE EXISTING LIGHTBAND AND COPING.
3. REMOVE EXISTING SIGNAGE.
4. REMOVE EXISTING COPING.
5. NOT USED
6. REMOVE EXISTING WALL FINISHES AND PREP FOR NEW FINISHES.
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8. REMOVE EXISTING WINDOWS. PREP OPENING FOR NEW WALL INFILL.
9. REMOVE EXISTING DOOR AND PREP FOR NEW DOOR.
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1 DRIVE THRU ELEVATION - DEMO
SCALE: 1/4" = 1'-0"



2 DRIVE THRU ELEVATION - NEW
SCALE: 1/4" = 1'-0"

Approved Facade Material Percentages		
Material	Actual Percentage	Allowable Percentage
Brick	74.8 %	100 % (30 % Min.)
Ceramic Tiles	N/A	10 %
Stone	12.5 %	50 %
Flat Metal Panels	2.1 %	20 %
Glass	10.6 %	50 %
Wood	N/A	10 %
Fiber Cement Board	N/A	10 %

GENERAL NOTES

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2. ALL FINISHES PER GARDEN GRILL FINISH SCHEDULE AS SHOWN ON ELEVATIONS.
3. PROVIDE LIGHTS UNDER CANOPIES IF NOT PRESENT.

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IP# 2019.2180
BK 5118
10389 HIGHLAND RD
HARTLAND, MI 48333
BK-2500
DATE: 06.08.19
NEW DEMO EXTERIOR ELEVATIONS

A-3.1
CHECKED DA
DRAWN MM/RS

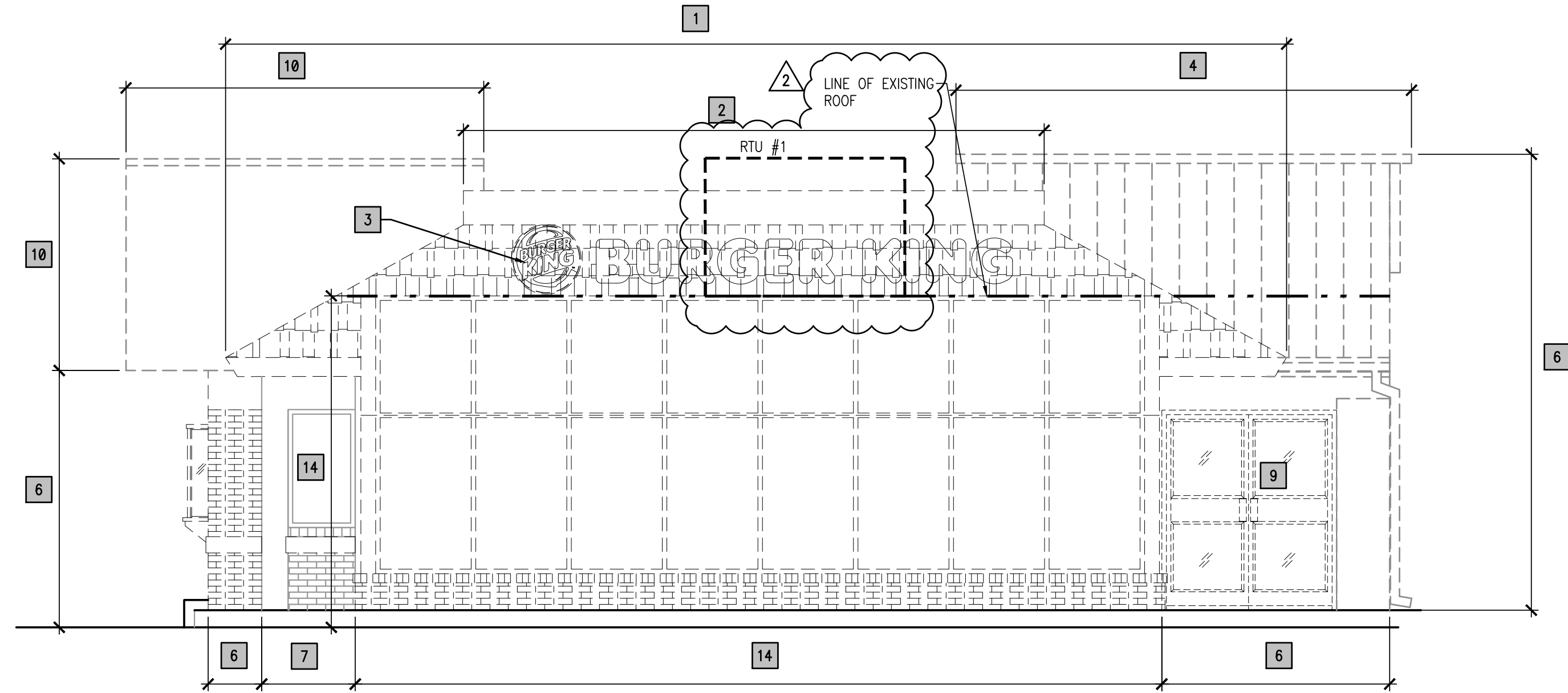
RESTAURANT FOR:
Carrols Corporation
988 James Street P.O. Box 6868
Syracuse, New York 13217-6868
(315) 424-0513

BURGER KING CORPORATION

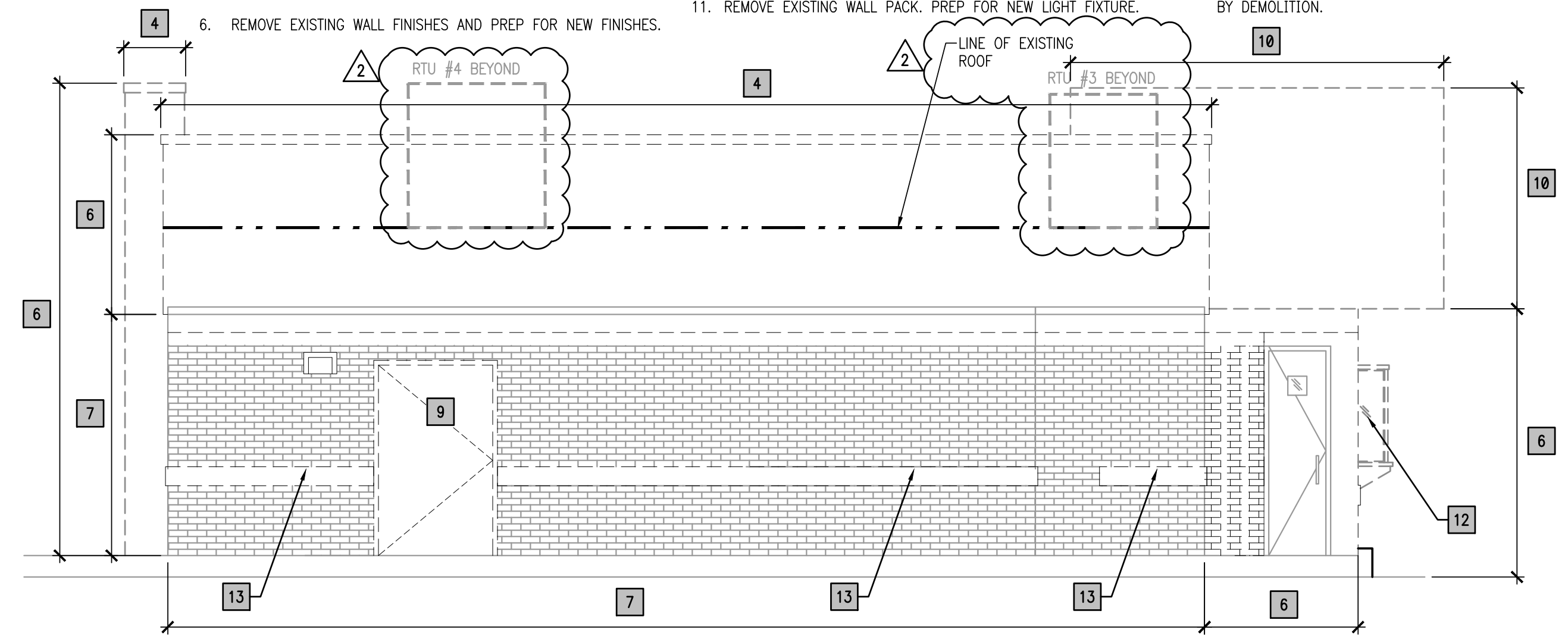
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DATE: 06.08.19
REVISION: 1 10/27/19 TOWNSHIP COMMENTS
2 10/29/19 TOWNSHIP COMMENTS

CHECKED BY: DA
DRAWN BY: MM/RS



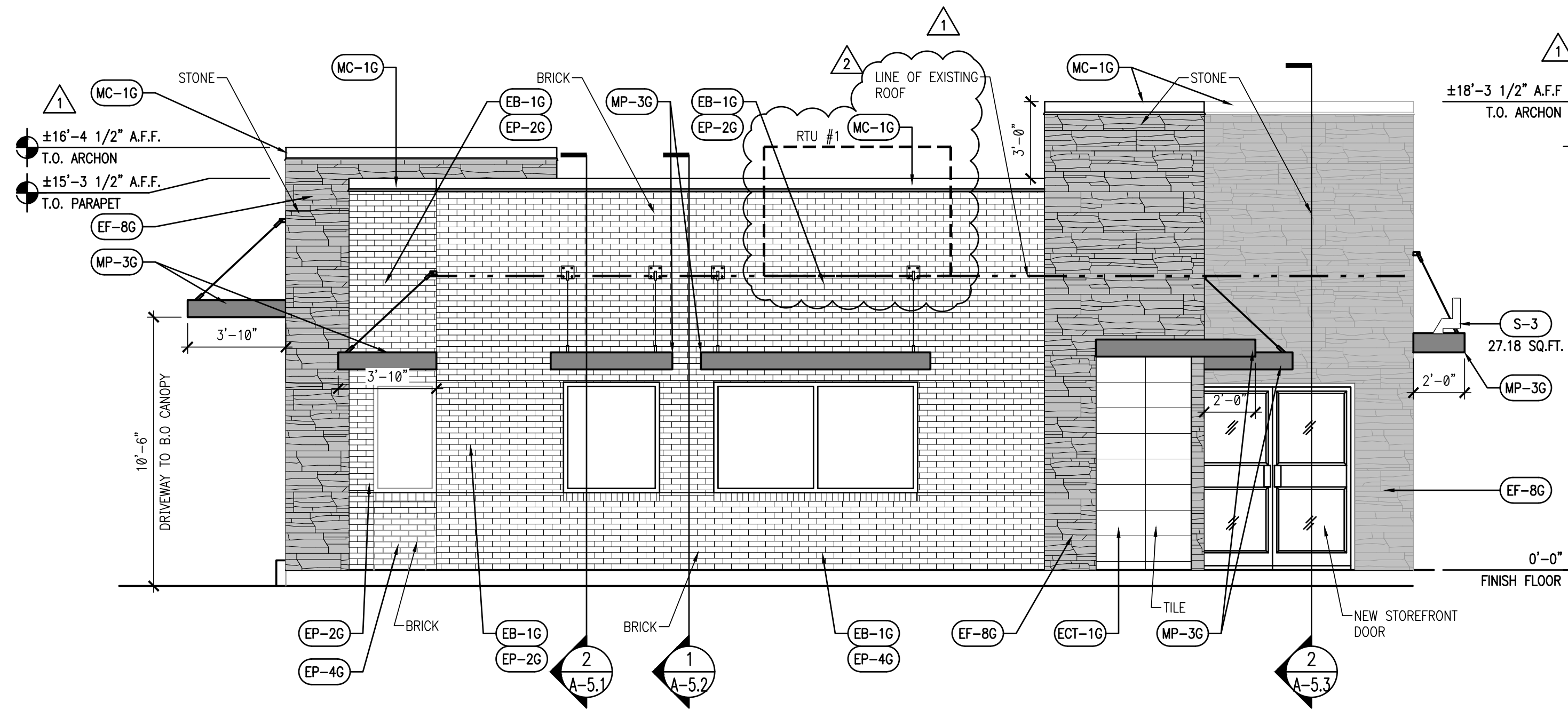
1 FRONT ELEVATION - DEMO
SCALE: 1/4" = 1'-0"



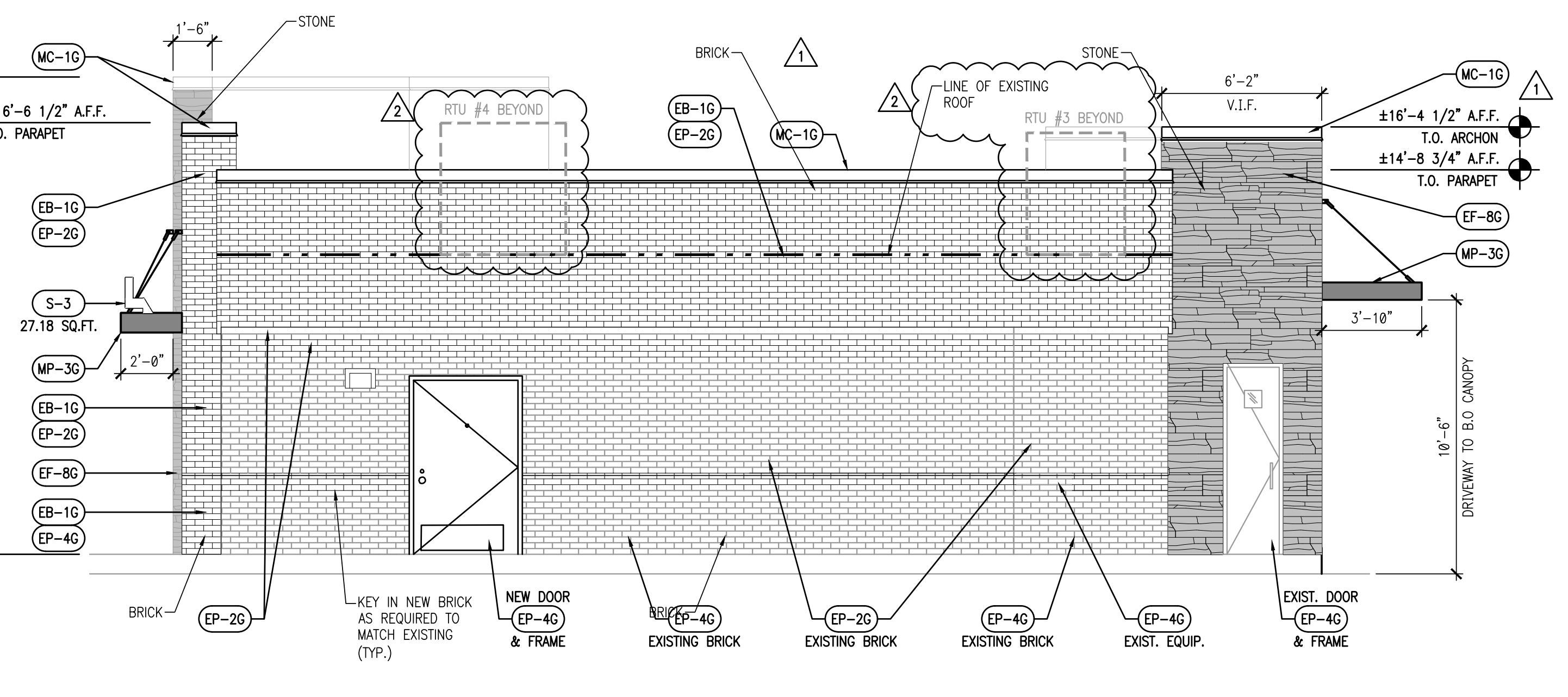
3 REAR ELEVATION - DEMO
SCALE: 1/4" = 1'-0"

KEYED NOTES:

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- REMOVE EXISTING SIGNAGE.
- REMOVE EXISTING COPING.
- NOT USED.
- REMOVE EXISTING WALL FINISHES AND PREP FOR NEW FINISHES.
- EXISTING WALL FINISH TO REMAIN.
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- REMOVE EXISTING WALL PACK. PREP FOR NEW LIGHT FIXTURE.
- REMOVE EXISTING DRIVE-THRU WINDOW AND PREP FOR NEW DRIVE-THRU WINDOW.
- REMOVE EXISTING WOOD TRIM AND PREP FOR NEW FINISHES, TO MATCH EXISTING WALL FINISHES.
- REMOVE EXISTING GREEN HOUSE IN ITS ENTIRETY, INCLUDING FLOOR SLAB AND FOUNDATIONS. GENERAL CONTRACTOR TO TAKE CARE TO PROTECT REMAINING EXISTING WALLS AND FOUNDATION TO REMAIN. NOTIFY ARCHITECT IF EITHER IS TO BE IMPAIRED BY DEMOLITION.



2 FRONT ELEVATION - NEW
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION - NEW
SCALE: 1/4" = 1'-0"

Approved Facade Material Percentages

Material	Actual Percentage	Allowable Percentage
Brick	47.2 %	100 % (30 % Min.)
Ceramic Tiles	4.4 %	10 %
Stone	29.9 %	50 %
Flat Metal Panels	3.1 %	20 %
Glass	15.4 %	50 %
Wood	N/A	10 %
Fiber Cement Board	N/A	10 %

Approved Facade Material Percentages

Material	Actual Percentage	Allowable Percentage
Brick	79.3 %	100 % (30 % Min.)
Ceramic Tiles	N/A	10 %
Stone	12.7 %	50 %
Flat Metal Panels	1.0 %	20 %
Glass	N/A	50 %
Wood	N/A	10 %
Fiber Cement Board	N/A	10 %
Hollow Metal Door	7.0 %	--

- GENERAL NOTES
- ALL ARCHONS SHALL BE FINISHED WITH SAME MATERIAL.
 - ALL FINISHES PER GARDEN GRILL FINISH SCHEDULE AS SHOWN ON ELEVATIONS.
 - PROVIDE LIGHTS UNDER CANOPIES IF NOT PRESENT.

RESTAURANT FOR: **BURGER KING CORPORATION**

988 James Street P.O. Box 6869
Syracuse, New York 13217-6869
(315) 424-0513

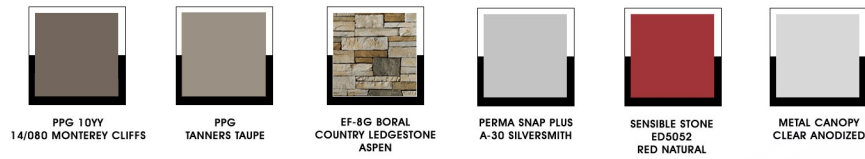
DATE: 06.08.19
DRAWN BY: MM/RS
CHECKED BY: DA
REVISION: 1 10/27/19 TOWNSHIP COMMENTS
2 10/29/19 TOWNSHIP COMMENTS

INTERPLANS ARCHITECTURE
ENGINEERING
PROJECT MANAGEMENT
604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.5008
FX 407.629.9724

THIS DOCUMENT IS NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.

IP# 2019.2180
BK 5118
10389 HIGHLAND RD
HARTLAND, MI 48333
BK-2500
DATE: 06.08.19
NEW DEMO EXTERIOR ELEVATIONS

A-3.2
CHECKED DA
DRAWN MM/RS
31



FRONT ELEVATION

Approved Facade Material Percentages		
Material	Actual Percentage	Allowable Percentage
Brick	47.2 %	100 % (30 % Min.)
Ceramic Tiles	4.4 %	10 %
Stone	29.9 %	50 %
Flat Metal Panels	3.1 %	20 %
Glass	15.4 %	50 %
Wood	N/A	10 %
Fiber Cement Board	N/A	10 %



MAIN ENTRY ELEVATION

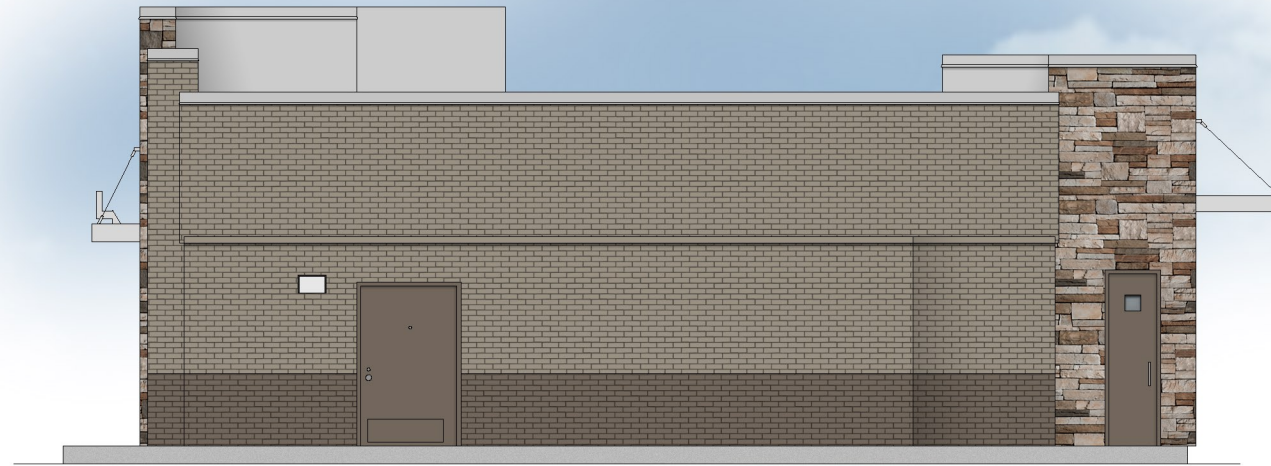
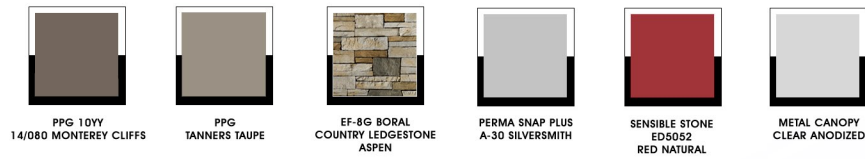
Approved Facade Material Percentages		
Material	Actual Percentage	Allowable Percentage
Brick	62.8 %	100 % (30 % Min.)
Ceramic Tiles	2.2 %	10 %
Stone	22.7 %	50 %
Flat Metal Panels	2.3 %	20 %
Glass	10.0 %	50 %
Wood	N/A	10 %
Fiber Cement Board	N/A	10 %



BURGER KING 5118
 10382 HIGHLAND RD
 HARTLAND, MI



THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED.
 THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.



REAR ELEVATION

Approved Facade Material Percentages		
Material	Actual Percentage	Allowable Percentage
Brick	79.3 %	100 % (30 % Min.)
Ceramic Tiles	N/A	10 %
Stone	12.7 %	50 %
Flat Metal Panels	1.0 %	20 %
Glass	N/A	50 %
Wood	N/A	10 %
Fiber Cement Board	N/A	10 %
Hollow Metal Door	7.0 %	-

Approved Facade Material Percentages		
Material	Actual Percentage	Allowable Percentage
Brick	74.8 %	100 % (30 % Min.)
Ceramic Tiles	N/A	10 %
Stone	12.5 %	50 %
Flat Metal Panels	2.1 %	20 %
Glass	10.6 %	50 %
Wood	N/A	10 %
Fiber Cement Board	N/A	10 %



DRIVE THRU ELEVATION



BURGER KING 5118
 10382 HIGHLAND RD
 HARTLAND, MI



THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.

INTERPLAN NO. 2019.2190

10-04-19

PRELIMINARY SITE PLAN FOR BURGER KING #1019

LEGAL DESCRIPTION

PARCEL TAX NUMBER: 4708-28-201-061

(PER WARRANTY DEED AS RECORDED IN INSTRUMENT #2015R-037447,
LIVINGSTON COUNTY RECORDS)

PARCEL 6A:

LOT 1 AND PARTS OF LOTS 2, 3, 4, AND 5 OF GLEN MEADOWS NO. 1, AS RECORDED IN LIBER 9, PAGES 35 AND 36 OF PLATS, LIVINGSTON COUNTY RECORDS, AND PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 21, AND PART OF THE NORTHWEST 1/4 OF THE NORTHEAST CORNER OF SECTION 28, TOWN 3 NORTH, RANGE 6 EAST, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 1 AND PROCEEDING THENCE ALONG THE EASTERLY LINES OF LOTS 1 AND 4 AND WESTERLY LINE OF GLEN MEADOWS DRIVE (60 FEET WIDE) ON THE FOLLOWING THREE COURSES: SOUTH 6 DEGREES 20 MINUTES 00 SECONDS EAST 76.30 FEET AND 125.65 FEET ALONG THE ARC OF A CURVE TO THE RIGHT (RADIUS 196.34 FEET, CENTRAL ANGLE 36 DEGREES 20 MINUTES 00 SECONDS, CHORD SOUTH 12 DEGREES 00 MINUTES 00 SECONDS WEST 123.52 FEET), AND SOUTH 30 DEGREES 20 MINUTES 00 SECONDS WEST 6.98 FEET; THENCE SOUTH 84 DEGREES 31 MINUTES 00 SECONDS WEST 259.19 FEET; THENCE 103.00 FEET ALONG THE EASTERLY LINE OF BLAIN ROAD (70 FEET WIDE) ON THE ARC OF A CURVE CONCAVE TO THE WEST (RADIUS 416.97 FEET, CENTRAL ANGLE 14 DEGREES 09 MINUTES 12 SECONDS, CHORD NORTH 08 DEGREES 03 MINUTES 06 SECONDS EAST 102.74 FEET); THENCE NORTH 84 DEGREES 31 MINUTES 00 SECONDS EAST 16.28 FEET TO A POINT ON THE WESTERLY LINE OF LOT 3; THENCE NORTH 48 DEGREES 48 MINUTES 07 SECONDS EAST 171.11 FEET; THENCE NORTH 84 DEGREES 31 MINUTES 00 SECONDS EAST 120.00 FEET ALONG THE NORTHERLY LINES OF LOTS 1 AND 2 AND SOUTHERLY LINE OF M-59 HIGHWAY (120 FEET WIDE) TO THE POINT OF BEGINNING.

PARCEL 6B:

PART OF LOTS 4 AND 5, OF GLEN MEADOWS NO. 1, AS RECORDED IN LIBER 9, PAGES 35 AND 36 OF PLATS, LIVINGSTON COUNTY RECORDS, AND PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 28, TOWN 3 NORTH, RANGE 6 EAST, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT ON THE WESTERLY LINE OF GLEN MEADOWS DRIVE (60 FEET WIDE) SAID POINT BEING SOUTH 06 DEGREES 20 MINUTES 00 SECONDS EAST 76.30 FEET AND ALONG A CURVE TO THE RIGHT RADIUS 196.34 FEET, CENTRAL ANGLE 36 DEGREES 40 MINUTES 00 SECONDS AN ARC DISTANCE OF 125.65 FEET AND WHOSE CHORD BEARS SOUTH 12 DEGREES 00 MINUTES 00 SECONDS WEST A DISTANCE OF 123.52 FEET AND SOUTH 30 DEGREES 20 MINUTES 00 SECONDS WEST 6.98 FEET FROM THE NORTHEAST CORNER OF LOT 1 OF SAID GLEN MEADOWS NO. 1 SUBDIVISION AND PROCEEDING THENCE ALONG WESTERLY LINE OF GLEN MEADOWS DRIVE, SOUTH 30 DEGREES 20 MINUTES 00 SECONDS WEST 124.42 FEET; THENCE ALONG A CURVE TO THE LEFT RADIUS 257.22 FEET, CENTRAL ANGLE 8 DEGREES 54 MINUTES 36 SECONDS AN ARC DISTANCE OF 40.00 FEET AND WHOSE CHORD BEARS SOUTH 25 DEGREES 52 MINUTES 42 SECONDS WEST A DISTANCE OF 39.96 FEET; THENCE NORTH 80 DEGREES 34 MINUTES 00 SECONDS 213.10 FEET; THENCE ALONG THE EASTERLY RIGHT-OF-WAY LINE OF BLAINE ROAD (70 FEET WISE) ALONG A CURVE TO THE LEFT, RADIUS 416.97 FEET, CENTRAL ANGLE 12 DEGREES 21 MINUTES 19 SECONDS AN ARC DISTANCE OF 89.90 FEET AND WHOSE CHORD BEARS NORTH 21 DEGREES 13 MINUTES 40 SECONDS EAST A DISTANCE OF 89.73 FEET; THENCE NORTH 84 DEGREES 31 00 EAST 259.19 FEET TO THE POINT OF BEGINNING.

BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM:
MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS) (MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND (LAT: N 42°37'59.81", LON: W 83°44'45.13", ELEV: 984, SCALE FACTOR: 1.0001304809).

DESIGN ENGINEER/SURVEYOR



MONUMENT ENGINEERING GROUP ASSOCIATES, INC

INNOVATIVE GEOSPATIAL &
ENGINEERING SOLUTIONS

298 VETERANS DRIVE,
FOWLERVILLE, MI 48836
ALLAN W PRUSS, PE, PS
PHONE: 517-223-3512

CLIENT



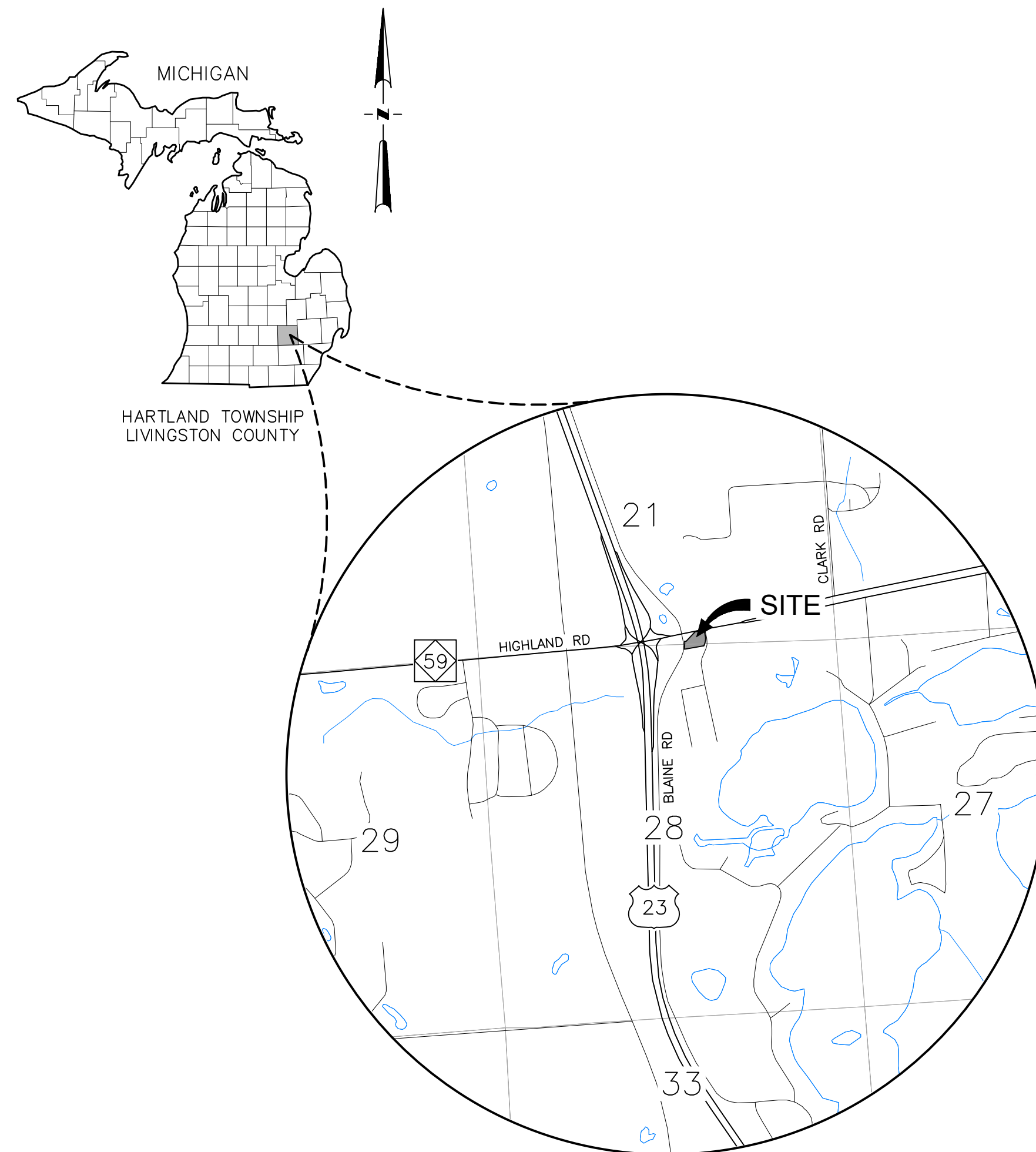
BURGER KING
CORPORATION

Carrols Corporation
968 James Street P.O. Box 6969
Syracuse, New York 13217-6969
(315) 424-0513

LANDSCAPE ARCHITECT

FELINO A. PASCUAL AND ASSOCIATES

24333 ORCHARD LAKE RD,
SUITE G
FARMINGTON HILLS, MI 48336
(248) 557-5588



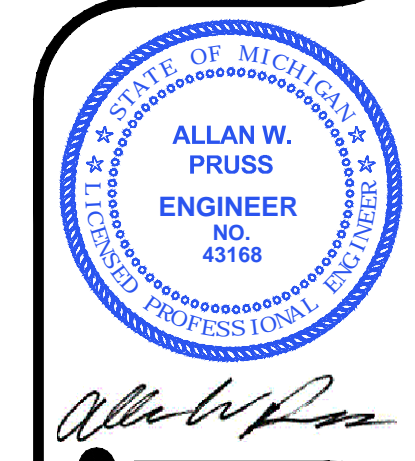
LOCATION MAP

		PLAN SUBMITTALS			
		7/29/2019	9/25/2019	10/08/2019	
		SUBMITTED PSP TO TOWNSHIP	REVISED PER COMMENTS	REVISED PER CLIENT COMMENTS	
SHEET INDEX					
INCLUDED SHEETS					
GENERAL					
SHEET	G-1.0	COVER	•	•	•
SURVEY					
SHEET	V-1.0	TOPOGRAPHIC SURVEY AND DEMOLITION PLAN	•	•	•
SITE PLAN					
SHEET	C-1.0	DIMENSION & PAVING	•	•	•
GRADING AND SOIL EROSION & SEDIMENTATION PLAN					
SHEET	C-7.0	GRADING PLAN, SOIL EROSION & SEDIMENTATION PLAN	•	•	•
SPECIFICATIONS					
SHEET	C-12.0	SPECIFICATIONS	•	•	•
SHEET	C-12.1	SPECIFICATIONS	•	•	•
LANDSCAPE					
SHEET	LS-1	LANDSCAPE IMPROVEMENT PLAN	•	•	•
HARTLAND TOWNSHIP STANDARD DETAILS					

ISSUE DATE:	7/29/2019
REVISIONS	
	9/25/2019
	10/08/2019

Carrols Corporation
968 James Street P.O. Box 6969
Syracuse, New York 13217-6969
(315) 424-0513

PREPARED BY: ME GA
PREPARED FOR: BURGER KING CORPORATION



BK - 1019
10382 HIGHLAND RD
HARTLAND, MI 48353
COVER

CONT. INT.: 1 FOOT DRWG. by : BN/DC DSGN. by : MN CHECK : AP
SCALE: N/A
PROJECT NUMBER 19-076
SHEET NUMBER G-10



BENCHMARKS

DATUM: NAVD88

BM A:
60D NAIL IN LIGHT POLE, 72'± WEST & 22'± SOUTH FROM THE
SOUTHWEST BUILDING CORNER FOR BURGER KING.
ELEV = 976.19

BM B:
60D NAIL IN LIGHT POLE, 31' EAST & 25'± SOUTH FROM THE
SOUTHEAST BUILDING CORNER FOR BURGER KING.
ELEV = 976.52

STRUCTURE SCHEDULE

EX. SANITARY SEWER		
STRUCTURE	RIM ELEV.	PIPES
(25102)	975.67	12" SW IE= 964.29 12" E IE= 964.26
(25312)	975.32	GREASE TRAP - PER LIV. CO. HEALTH DEPT.
(25313)	975.16	NOT INVENTORIED AT TIME OF SURVEY
(25412)	975.95	12" NE IE= 964.60 12" W IE= 964.68 18" N IE= 967.36 10" SW IE= 965.52

EX. STORM SEWER		
STRUCTURE	RIM ELEV.	PIPES
(25003) CBB	971.51	12" SE IE= 968.34
(25046) CBS	972.87	12" N IE= 967.48 12" NW IE= 968.69
(25279) CBS	972.82	12" SE IE= 968.43 12" W IE= 967.31
(25284) CBS	972.87	12" E IE= 968.20 12" NW IE= 968.14
(25458) CBS	973.21	12" S IE= 967.48

UTILITY REFERENCE

WM: HARTLAND TWP. ~ HEALTH DEPT.
RECEIVED: 7/10/19 ~ 7/18/19

SAN: LIV. CO. DRAIN COMM. ~ HEALTH DEPT.
RECEIVED: 6/21/19 ~ 7/18/19

STORM: LIV. CO. RD. COMM. (BLAINE RD)
RECEIVED: 7/11/19

GAS: CONSUMERS ENERGY
RECEIVED: 7/11/19

ELEC: DTE ENERGY
RECEIVED: 7/2/19

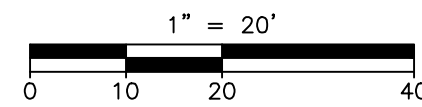
PHONE/CABLE: AT&T
RECEIVED: 6/18/19

ROW/MDOT: MDOT
RECEIVED: 6/22/19

UTILITY NOTE

- ALL FRANCHISE UTILITIES (GAS, FIBER, CABLE, UG ELEC., TELE.) SHOW ARE BASED ON MISS DIG MARKINGS LOCATED AT TIME OF SURVEY UNLESS NOTED OTHERWISE.
- THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.
- PER THE LIVINGSTON COUNTY HEALTH DEPARTMENT, THE SEPTIC LINE, TANK AND FIELD WERE USED AS A TEMPORARY SOURCE DURING THE LATE 80'S. IN THE 90'S, A NEW SANITARY LEAD WAS PLACED IN CONNECTION TO THE MAIN LINE.
- PER THE LIVINGSTON COUNTY HEALTH DEPARTMENT, THE TWO (2) WELLS MAY POSSIBLY BE STILL ACTIVE. NO INFORMATION WAS GIVEN FOR A WATER LEAD IN CONNECTION TO THE CITY'S MAIN LINE.

**10382 HARTLAND RD
TOPOGRAPHIC SURVEY
& DEMOLITION PLAN**



EXISTING PARKING

- 46 REGULAR SPACES
- 2 BARRIER FREE SPACES
- 48 TOTAL PARKING SPACES

EXISTING LEGEND

DECIDUOUS TREE, CONIFEROUS TREE, SHRUB
TREE LINE/ CANOPY
DITCH/ DRAINING COURSE
UG TELE, MH, TELE PED, CABLE PED
UG FIBER, PED, LINE MARKER, VAULT
UG ELEC, MH, TRANSFORMER, AC UNIT, METER
OH ELEC, UTIL POLE, GUY WIRE
GROUND LIGHT, POLE, W/ ARM LT
LIGHT MH, LT CTRL BOX, PARK. METER
ELEC HAND HOLE, OUTLET, SIGNAL MH, SIGNAL BOX
UG GAS, MH, VALVE, LINE MARKER
GAS WELL, METER, VENT
WATER MAIN, MH, VALVE IN BOX, HYDRANT, FDC
WATER WELL, METER, STOP BOX, POST INDICATOR VALVE
IRRIGATION CONTROL VALVE, SPRINKLER HEAD
STORM SEWER, MH, CB, INLET, YARD DRAIN
CULVERT/ END SECTION
SANITARY SEWER, MH, CLEAN OUT
COMBINED SEWER, MH
STEAM LINE, MH
MISC. MANHOLE, HAND HOLE, HAND BOX
SIGN, FLAG POLE, GUARD POST, ROCK
SECTION LINE, SECTION CORNER
FOUND IRON ROD (FIR), FD MON, FD PK
SET IRON ROD (SIR), SET PK, MAG NAIL
SPOT ELEVATION
CONTOUR
FENCE
RAILROAD SIGNAL, SIGNAL BOX
SOIL BORING
EX. ASPHALT
EX. CONCRETE
EX. GRAVEL

FLOOD ZONE

FEMA MAP SCALES DO NOT SUPPLY SUFFICIENT LEVEL OF DETAIL TO PLOT ACCURATELY. ZONES IF PLOTTED HEREIN ARE APPROXIMATE.

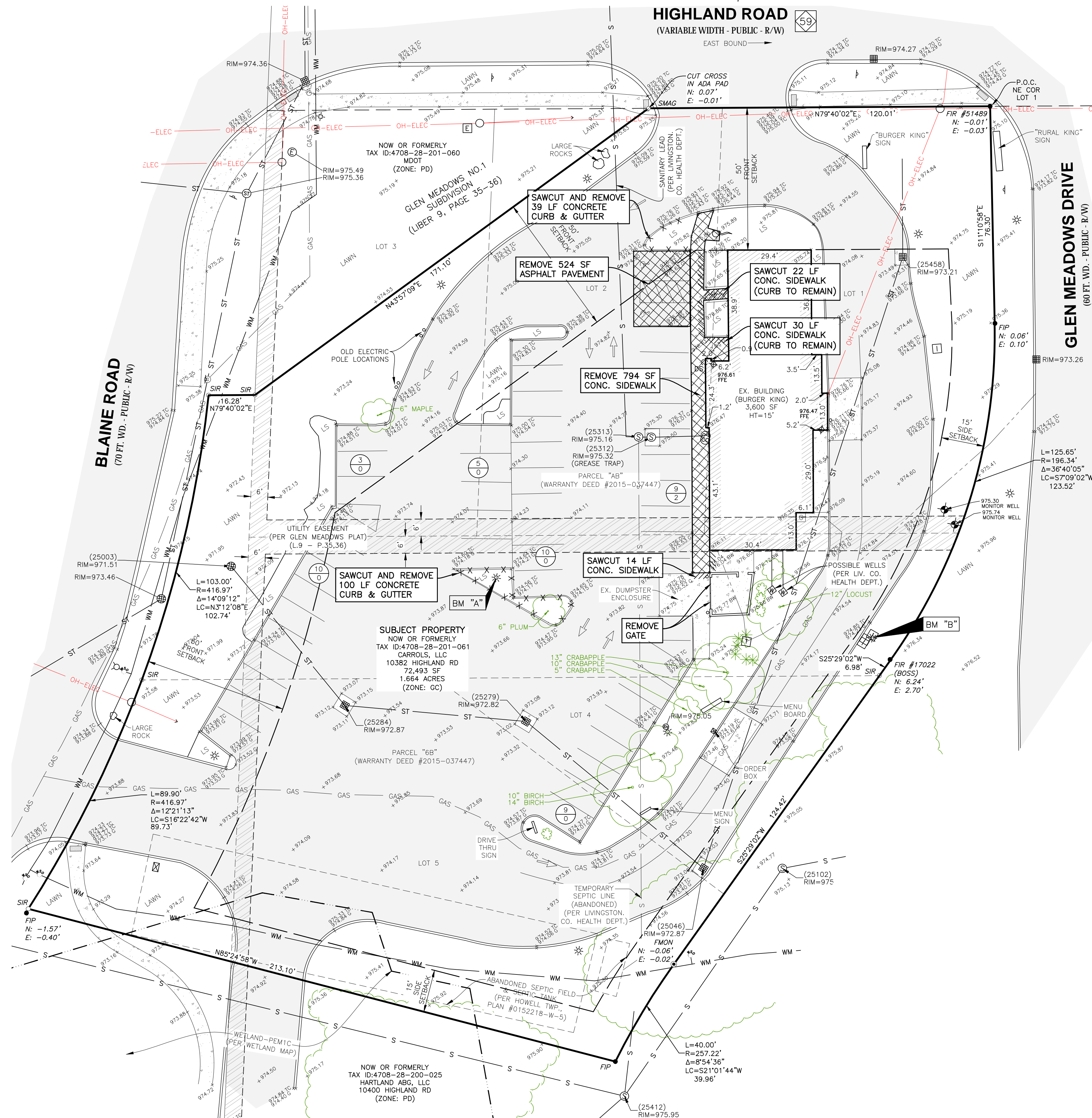
BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY APPEARS TO LIE ENTIRELY IN ZONE (X) AREA OF MINIMAL FLOOD HAZARD ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR THE COUNTY OF LIVINGSTON, COMMUNITY PANEL NO. (26093C0125D), EFFECTIVE DATE SEPTEMBER, 17, 2008.

WETLAND NOTE

ACCORDING TO THE NATIONAL WETLAND INVENTORY WEBSITE (HTTP://WWW.FWS.GOV/WETLANDSDATAMAPPER.HTML), THERE ARE NOTED WETLANDS ON THE SUBJECT PARCEL. WETLAND FLAGGING WAS NOT OBSERVED DURING THE FIELD SURVEY. AN OFFICIAL STUDY FOR THE PRESENCE OF WETLANDS WAS NOT CONDUCTED BY MONUMENT ENGINEERING GROUP ASSOCIATES.

DEMOLITION LEGEND

ABANDON IN PLACE
ABANDON LINEAR FEATURE
SAWCUT
REMOVE LINEAR FEATURE
REMOVE OBJECT
REMOVE PAVEMENT



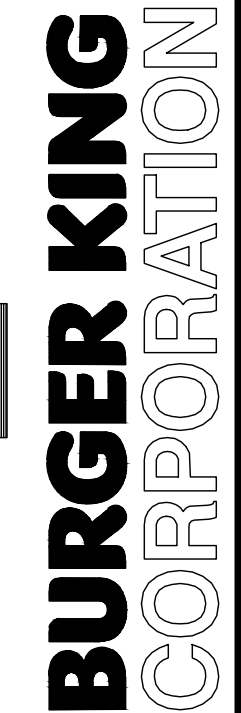
ISSUE DATE:

7/29/2019

REVISIONS

9/25/2019
10/08/2019

PREPARED FOR:
Carroll's Corporation
688 James Street P.O. Box 669
Syracuse, New York 13217-6699
(315) 424-0513



PREPARED BY:
MEGA
MONUMENT ENGINEERING GROUP ASSOCIATES, INC.
INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS
288 VETERANS DRIVE
FOWLERVILLE, MI 48331
(OFFICE) 313-238-3512



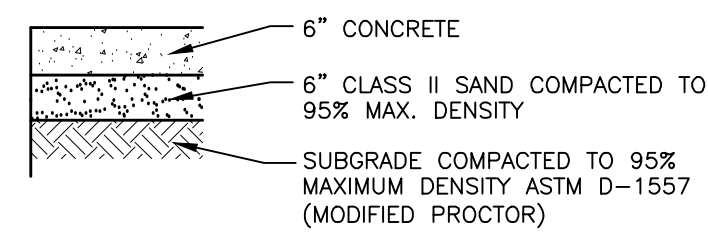
BK - 1019
10382 HIGHLAND RD
HARTLAND, MI 48353
TOPO SURVEY & DEMO PLAN

CONT. INT.: 1 FOOT
DRWG. by: BN/DC
DSGN. by: MN
CHECK : AP

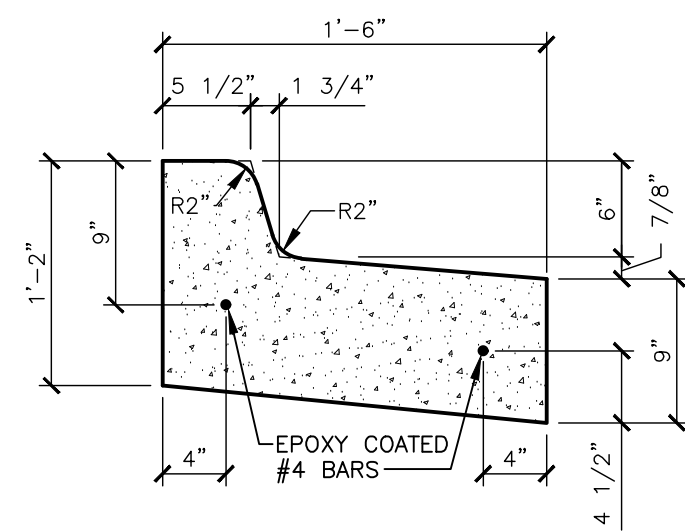
SCALE: 1" = 20'
PROJECT NUMBER
19-076
SHEET NUMBER
V-10

Call MISS DIG
3 full working days before you dig:
Michigan's Utility Notification One-Call Organization
1-800-482-7171
online at: www.missdig.org

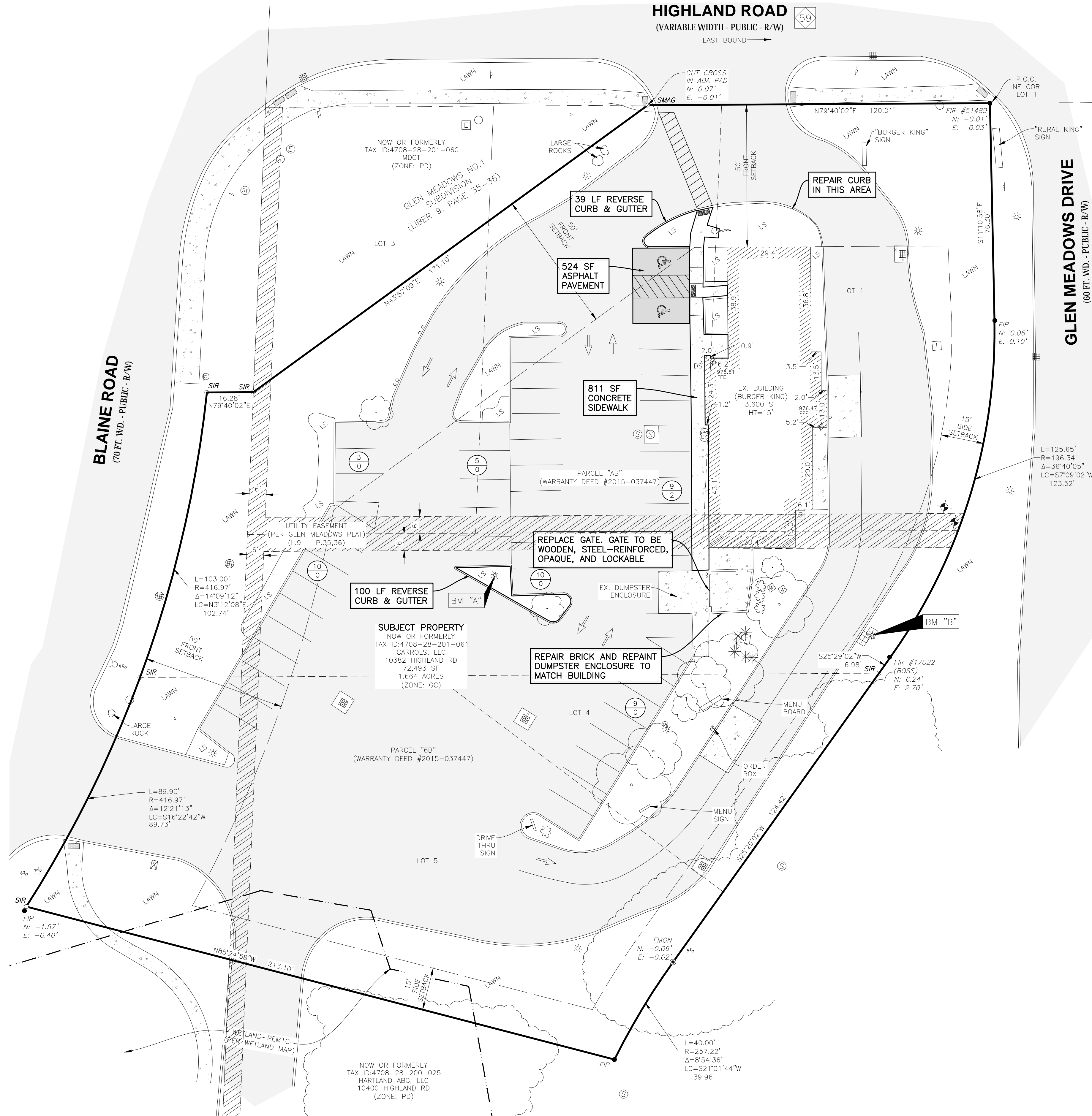
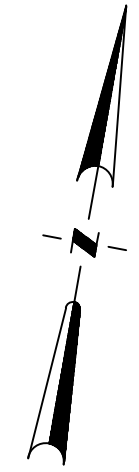
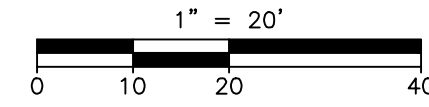
CONCRETE PAVEMENT SECTION



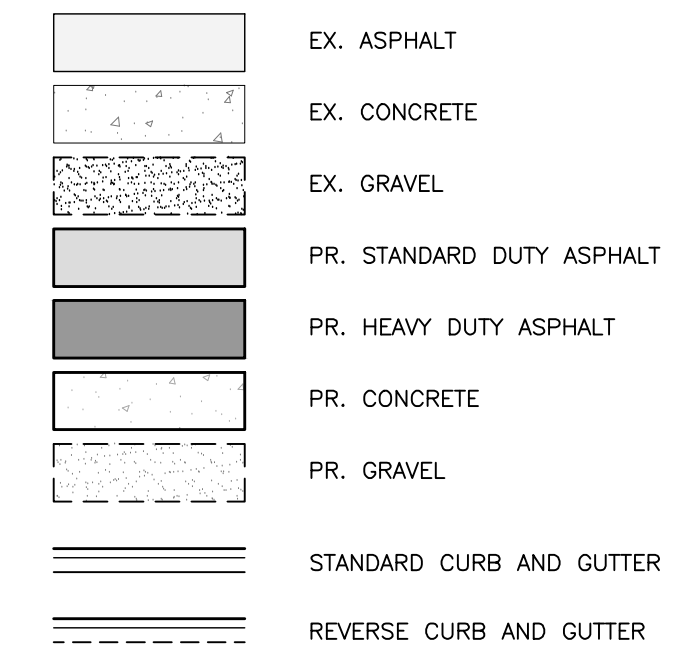
REVERSE 18" CURB & GUTTER



**10382 HARTLAND RD
DIMENSION AND
PAVING PLAN**



PAVEMENT LEGEND



ZONING INFORMATION

THIS ZONING INFORMATION IS TAKEN FROM:
HARTLAND TOWNSHIP ZONING ORDINANCE
DATED: DECEMBER 14, 2012

SUBJECT PARCEL ZONING CLASSIFICATION:
GC - GENERAL COMMERCIAL

BUILDING SETBACKS:	REQUIRED	PROVIDED
FRONT (NORTH):	50'	50'
FRONT (WEST):	50'	50'
SIDE (SOUTH):	15'	15'
REAR (EAST):	15'	15'

SIGN SETBACK: 10' PROVIDED 10'

SUBJECT PARCEL AREA: 1.664 ACRES

BUILDING HEIGHT:	MAX.	PROVIDED
	35'	15'

LOT COVERAGE:
1.128 AC/1.664 AC = 68%

ADJACENT ZONING:		
NORTH:	PD	
SOUTH:	PD	
EAST:	PD	
WEST:	ROW	

PROPOSED PARKING

22 SPACES PER 1,000 SF OF USABLE FLOOR SPACE PLUS PEAK
EMPLOYEE SHIFT
22/1,000 SF X 1,183 + PEAK =
26 + XX =

TOTAL PARKING REQUIRED: 26 + PEAK

PARKING SPACES:	46	XX	REGULAR SPACES
BARRIER FREE PARKING SPACES:	2	XX	BARRIER FREE SPACES
TOTAL PARKING PROVIDED:	48		

ISSUE DATE:

7/29/2019

REVISIONS

9/25/2019

10/08/2019

Carrolls Corporation
688 James Street P.O. Box 669
Syracuse, New York 13217-6699
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PREPARED FOR:

PREPARED BY:

INNOVATIVE GEOSPATIAL &
ENGINEERING SOLUTIONS
288 VETERANS DRIVE
POWERVILLE, MI 48168
(OFFICE) 517-238-3512



Allan W. Pruss

BK - 1019
10382 HIGHLAND RD
HARTLAND, MI 48353

**DIMENSION AND
PAVING PLAN**

CONT. INT.: 1 FOOT
DRWG. by: BN/DC
DSGN. by: MN
CHECK: AP

SCALE: 1" = 20'

PROJECT NUMBER

19-076

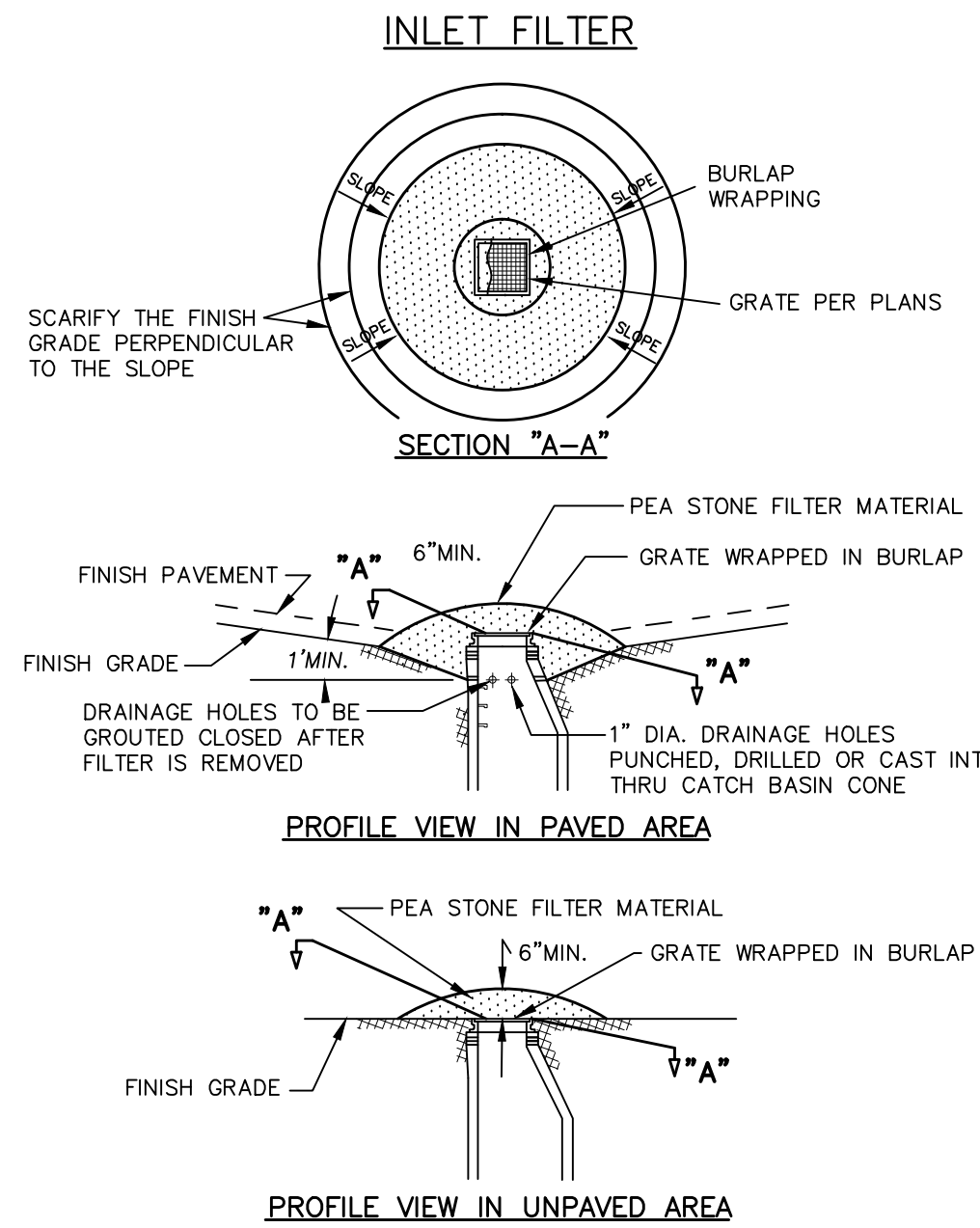
SHEET NUMBER

C-10



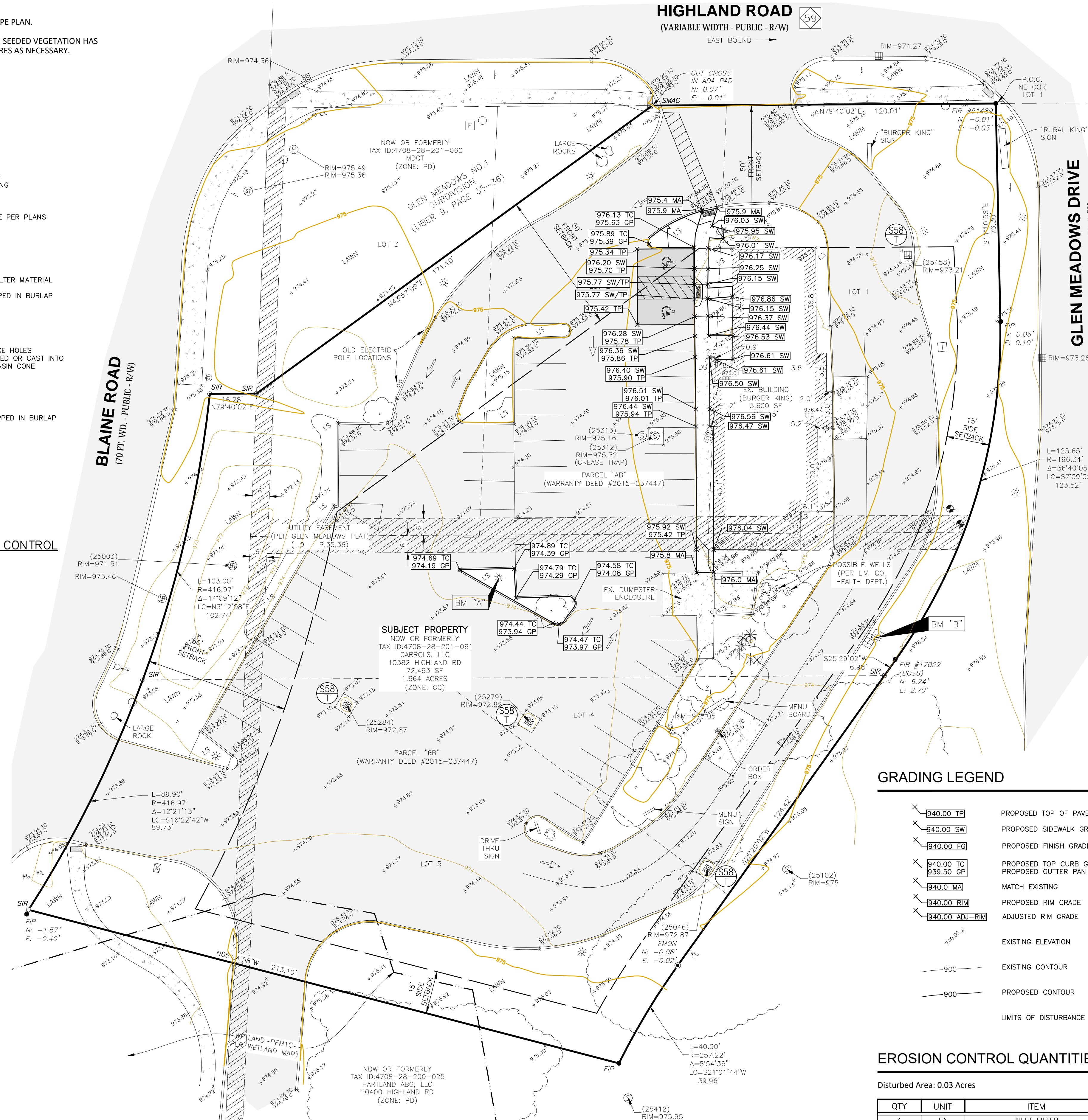
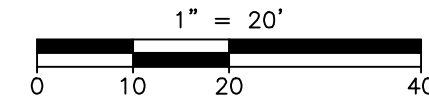
SOIL EROSION AND SEDIMENTATION CONTROL SEQUENCE OF CONSTRUCTION

1. PLACE INLET FILTERS AS SHOWN ON APPROVED PLANS.
2. FINISH GRADE AROUND BUILDINGS AND STABILIZE AS SOON AS POSSIBLE. STABILIZE ALL DISTURBED AREAS WITH CLASS A SEED AND MULCH. IN AREAS OF SLOPES OF 1:4 OR STEEPER, CONTRACTOR TO SEED AND INSTALL PEGGED IN PLACE EROSION CONTROL BLANKETS.
3. REPAIR/CLEAN INLET FILTERS AS REQUIRED.
4. INSTALL FINAL LANDSCAPING PER SEPARATE LANDSCAPE PLAN.
5. REMOVE TEMPORARY SOIL EROSION MEASURES ONCE SEEDING VEGETATION HAS ESTABLISHED. CLEAN ALL AFFECTED STORM STRUCTURES AS NECESSARY.



INLET FILTER DETAILS FOR SOIL EROSION & SEDIMENTATION CONTROL
NO SCALE

10382 HARTLAND RD GRADING AND SESC PLAN



GRADING LEGEND

- X 940.00 TP PROPOSED TOP OF PAVEMENT GRADE
- X 940.00 SW PROPOSED SIDEWALK GRADE
- X 940.00 FG PROPOSED FINISH GRADE
- X 940.00 TC PROPOSED TOP CURB GRADE
- X 939.50 GP PROPOSED GUTTER PAN GRADE
- X 940.0 MA MATCH EXISTING
- X 940.0 RIM PROPOSED RIM GRADE
- X 940.00 ADJ-RIM ADJUSTED RIM GRADE
- EXISTING ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LIMITS OF DISTURBANCE

EROSION CONTROL QUANTITIES

Disturbed Area: 0.03 Acres

QTY	UNIT	ITEM
4	EA	INLET FILTER

DTMB SOIL EROSION & SEDIMENTATION CONTROL MEASURES

MICHIGAN DEPARTMENT OF TECHNOLOGY, MANAGEMENT, AND BUDGET (DTMB)

EROSION CONTROLS		
KEY	BEST MANAGEMENT PRACTICES	WHERE USED
E6	MULCH	FOR USE IN AREAS SUBJECT TO ERODIVE SURFACE FLOWS OR SEVERE WIND OR ON NEWLY SEEDD AREAS.
E8	PERMANENT SEEDING	STABILIZATION METHOD UTILIZED ON SITES WHERE EARTH CHANGE HAS BEEN COMPLETED (FINAL GRADING ATTAINED).

SEDIMENT CONTROLS		
KEY	BEST MANAGEMENT PRACTICES	WHERE USED
S51	SILT FENCE	USE ADJACENT TO CRITICAL AREAS, TO PREVENT SEDIMENT LADEN SHEET FLOW FROM ENTERING THESE AREAS.
S53	STABILIZED CONSTRUCTION ACCESS	USED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE.
S55	SEDIMENT BASIN	AT THE OUTLET OF DISTURBED AREAS AND AT THE LOCATION OF A PERMANENT DETENTION BASIN.
S58	INLET PROTECTION FABRIC DROP	USE AT STORMWATER INLETS, ESPECIALLY AT CONSTRUCTION SITES.

EROSION & SEDIMENT CONTROLS		
KEY	BEST MANAGEMENT PRACTICES	WHERE USED
ES31	CHECK DAM	USED TO REDUCE SURFACE FLOW VELOCITIES WITHIN CONCENTRATED AND EXISTING FLOW CORRIDORS.

XX TEMPORARY XX PERMANENT

EROSION CONTROL STANDARDS

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE.
2. DAILY INSPECTION SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
3. EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
4. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER CHANGES HAS BEEN ACCOMPLISHED.
5. STAGING OF THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLACES AND AS REQUIRED TO INSURE PROGRESSIVE STABILIZATION OF DISTURBED AREAS.
6. SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
7. A CERTIFIED STORM WATER OPERATOR WILL BE NAMED ON THE MDQE NOTICE OF COVERAGE FOR NPDES AS REQUIRED.
8. ALL DISTURBED AREAS ARE TO BE TOP SOILED AND SEEDDED WITH THE FOLLOWING MIN RATIO:
TOP-SOIL 3" IN DEPTH, GRASS SEED 210 LBS PER ACRE, FERTILIZER 150 LBS PER ACRE, STRAW MULCH 3" DEPTH 1.5 TO 2 TONS PER ACRE.

SOIL EROSION CONTROL MAINTENANCE SCHEDULE AND NOTES.

1. CONTRACTOR MUST OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT FROM LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE PRIOR TO COMMENCING WORK.
2. EARTHWORK SHALL BE LIMITED TO THE PROPOSED SITE AS SHOWN ON THE PLAN.
3. CONTRACTOR SHALL INSPECT THE SOIL EROSION/SEDIMENTATION CONTROL DEVICES ONCE A WEEK AND/OR WITHIN 24 HOURS OF A RAINFALL EVENT WHICH RESULTS IN A STORM WATER DISCHARGE FROM THE SITE. ANY DAMAGE TO EROSION CONTROL MEASURES MUST BE REPAIRED IMMEDIATELY.
4. ALL MUD OR DEBRIS TRACKED ONTO EXISTING PUBLIC ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
5. SILT FENCE MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY BUILT-UP SEDIMENT WHEN THE SEDIMENT HEIGHT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE. THE CONTRACTOR IS RESPONSIBLE TO REMOVE, REPLACE, RETRENCH OR RE-BACKFILL THE SILTATION FENCE SHOULD IT FAIL OR BE DAMAGED DURING CONSTRUCTION.
6. PERMANENT STABILIZATION MUST BE COMPLETED WITHIN 30 DAYS OF FINAL GRADING.
7. ACCESS ROADS MUST BE MAINTAINED AS NECESSARY, TO KEEP THEM EFFECTIVE, NEW LAYERS OF STONE MAY BE ADDED AS OLD LAYERS BECOME COMPACTED. STEPS SHOULD ALSO BE TAKEN TO REPAIR THE ACCESS ROADS IF RUTS OR PONDING WATER APPEARS.
8. INLET FILTERS SHOULD BE INSPECTED FOR BUILDUP OF SILT AND OTHER DEBRIS. THIS IS EVIDENT IF GEOTEXTILE/SOD STRUCTURE IS CAUSING FLOODING. MAINTENANCE WOULD CONSIST OF REMOVING OF SEDIMENTS WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTER IS BEYOND THIS LEVEL OF REPAIR, IT MAY BE NECESSARY TO REPLACE BOTH THE SOD AND GEOTEXTILE FILTER.
9. IF SOIL EROSION/SEDIMENT CONTROL MEASURES ARE INADEQUATE FOR THE SITE, THE PROPER EROSION CONTROL AUTHORITY MUST BE NOTIFIED.

Call MISS DIG
3 full working days before you dig:
Michigan's One-Call Utility Notification Organization
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ISSUE DATE:

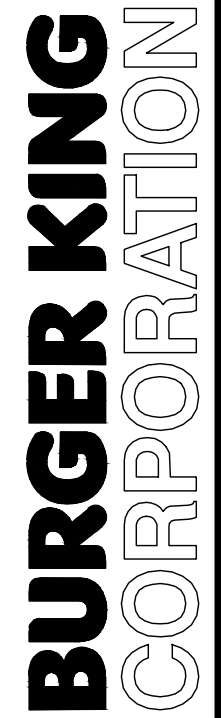
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REVISIONS

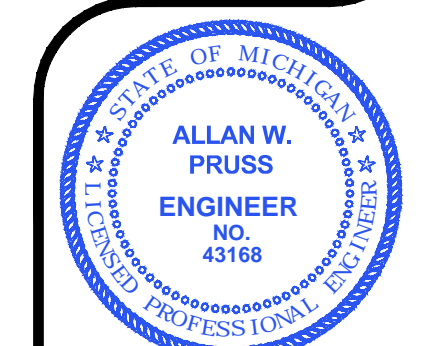
9/25/2019

10/08/2019

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HARTLAND, MI 48353

GRADING AND SESC PLAN

CONT. INT.: 1 FOOT
DRWG. by: BN/DC
DSGN. by: MN
CHECK: AP

SCALE: 1" = 20'

PROJECT NUMBER

19-076

SHEET NUMBER

C-7.0

GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY, THE COUNTY D.P.W., THE COUNTY DRAIN COMMISSIONER, DETROIT METRO WATER & SEWERAGE DEPARTMENT, MICHIGAN DEPARTMENT OF TRANSPORTATION, MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY, THE STATE OF MICHIGAN, AND THE COUNTY ROAD COMMISSION WHERE APPLICABLE.
- RULES, REGULATIONS OR LAWS OF ANY CONTROLLING GOVERNMENTAL AGENCY SHALL GOVERN WHEN THEY ARE MORE STRINGENT THAN THE REQUIREMENTS OF THESE SPECIFICATIONS.
- SHOULD THE CONTRACTOR ENCOUNTER A CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT-ISSUING AGENCIES, HE SHALL SEEK CLARIFICATION IN WRITING FROM THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE THE TYPE OF WORK WHICH IS BID, IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, DETAILS AND TO THE SATISFACTION OF THE OWNER AND OWNER'S REPRESENTATIVE.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- ANY WORK WITHIN STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNMENTAL AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL PERMITS HAVE BEEN ISSUED BY THESE GOVERNING AUTHORITIES.
- ALL NECESSARY PERMITS, BONDS, INSURANCES, ETC., SHALL BE PAID FOR BY THE CONTRACTOR.
- ALL ELEVATIONS SHOWN ARE BASED ON BENCHMARKS PROVIDED BY THE LOCAL MUNICIPALITY UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL ITEMS OF WORK NOT SPECIFICALLY INDICATED AS PAY ITEMS ON THE DRAWINGS OR IN THE BID PACKAGE SHALL BE CONSIDERED INCIDENTAL ITEMS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE PERIODS OF CONSTRUCTION.
- AT LEAST THREE (3) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG (1-800-482-7171) TO VERIFY THE LOCATION OF ANY EXISTING UNDERGROUND UTILITIES AND SHALL NOTIFY REPRESENTATIVES OF OTHER UTILITIES IN THE VICINITY OF THE WORK.
- ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.
- MANHOLE, CATCH BASIN, GATE WELL RIMS AND HYDRANT FINISH GRADE ELEVATIONS MUST BE AS-BUILT AND APPROVED BY THE ENGINEER BEFORE THE CONTRACTOR'S WORK IS CONSIDERED COMPLETE. AGENCY REQUIREMENTS FOR RECORD DRAWINGS ALSO APPLY.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF-SITE ANY TREES, BRUSH, STUMPS, TRASH OR OTHER UNWANTED DEBRIS, AT THE OWNER'S DIRECTION, INCLUDING OLD BUILDING FOUNDATIONS AND FLOORS. THE BURNING OR BURYING OF TRASH, STUMPS OR OTHER DEBRIS WILL NOT BE ALLOWED.
- ALL REFERENCES TO M.D.O.T. SPECIFICATIONS REFER TO THE MOST CURRENT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- ALL CONTRACTORS BIDDING THIS PROJECT SHALL HAVE VISITED THE SITE TO BECOME THOROUGHLY FAMILIAR WITH THE SITE AND THE CONDITIONS IN WHICH THEY WILL BE CONDUCTING THEIR OPERATIONS. ANY VARIANCE FOUND BETWEEN THE PLANS AND EXISTING CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UNDERGROUND FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION PROVIDED BY THE UTILITY COMPANIES AND GOVERNMENTAL AGENCIES WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN.
- THE OWNER MAY EMPLOY AND PAY FOR THE SERVICES OF AN ENGINEER TO PROVIDE ON-SITE INSPECTION AND VERIFY IN THE FIELD THAT ALL BACKFILL, PAVEMENTS AND CONCRETE CURB AND GUTTER HAVE BEEN PLACED AND COMPACTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. IF, IN THE OPINION OF THE ENGINEER, THE WORK DOES NOT MEET THE TECHNICAL OR DESIGN REQUIREMENTS STIPULATED FOR THE WORK, THE CONTRACTOR SHALL MAKE ALL NECESSARY ADJUSTMENTS AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL MAKE NO DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT SPECIFIC WRITTEN APPROVAL OF THE OWNER.
- ALL EXCAVATED MATERIAL REMOVED FROM THE SANITARY SEWER, STORM SEWER AND WATER MAIN TRENCHES UNDER, THROUGH AND WITHIN 3 FEET OF THE 45' ZONE OF INFLUENCE LINE OF EXISTING OR PROPOSED PAVING, SIDEWALK AREAS AND PER PLANS, NOT SUITABLE FOR BACKFILL, SHALL BE REMOVED FROM THESE AREAS AND DISPOSED OF.
- THE CONTRACTOR SHALL RESTORE TO THEIR PRESENT CONDITIONS ANY PAVEMENT OR PUBLIC RIGHTS-OF-WAY THAT IS DISTURBED BY THE OPERATIONS OF THE CONTRACTOR. ALL RESTORATION WORK IN PUBLIC RIGHTS-OF-WAY SHALL BE PERFORMED TO THE SATISFACTION OF THE GOVERNMENT AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE AND LIGHTS TO PROTECT THE WORK AND SAFELY MAINTAIN TRAFFIC, IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
- O.S.H.A. SAFETY REQUIREMENTS - ALL WORK, WORK PRACTICE, AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL SAFETY, OCCUPATIONAL, HEALTH AND ENVIRONMENTAL REGULATIONS AND ALSO NFPA AND ANSI CODES AS APPLICABLE. ALL WORK INSIDE A CONFINED SPACE SUCH AS MANHOLES OR UNDERGROUND STRUCTURES SHALL BE COORDINATED WITH UTILITY OWNER AND ALL WORKER SAFETY REQUIREMENTS STRICTLY ENFORCED. LAND SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY.
- CONTRACTOR SHALL PROVIDE FOR THE CONTINUOUS OPERATION OF EXISTING FACILITIES WITHOUT INTERRUPTION DURING CONSTRUCTION UNLESS SPECIFICALLY AUTHORIZED OTHERWISE BY THE RESPECTIVE AUTHORITY.
- THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES IN THE PROJECT PLANS. BACKFILL TRENCHES FOR EXISTING UTILITIES SHALL BE EXAMINED CRITICALLY. ANY TRENCH WHICH, IN THE OPINION OF THE SOILS ENGINEER ARE FOUND TO BE SOFT, UNSTABLE, OR UNSUITABLE MATERIAL SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL. SAND BACKFILL SHALL BE USED UNDER PAVEMENT OR WITHIN THE 1 ON 1 LAND INFLUENCE OF PAVEMENT OR STRUCTURES.

EROSION CONTROL STANDARDS

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE JURISDICTIONAL AGENCY UNDER PART 91 OF ACT 451 OF 1994, AS AMENDED.
- UNDER "MICHIGAN'S PERMIT-BY-RULE FOR CONSTRUCTION ACTIVITIES", PROMULGATED UNDER ACT 245, PUBLIC ACTS OF 1929 AS AMENDED, AN NPDES STORM WATER DISCHARGE COVERAGE PERMIT IS REQUIRED FOR ANY CONSTRUCTION ACTIVITY THAT DISTURBS 1 ACRE OR MORE OF LAND. A CERTIFIED STORM WATER OPERATOR IS REQUIRED FOR THE SUPERVISION AND INSPECTION OF THE SOIL EROSION CONTROL MEASURES AT THE CONSTRUCTION SITE IN ACCORDANCE WITH THE PROVISIONS OF THESE RULES.
- DAILY INSPECTIONS SHALL BE MADE BY CONTRACTOR WHILE WORKING TO DETERMINE THE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES. ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY. ALL SOIL EROSION CONTROL PROVISIONS SHALL BE PROPERLY MAINTAINED DURING CONSTRUCTION.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, AND PONDS.
- CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGE AREAS HAVE BEEN COMPLETED.
- STAGING THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLANS AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.
- SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
- DUST SHALL BE CONTROLLED BY WATERING OR BY OTHER APPROVED MEANS THROUGHOUT ALL CONSTRUCTION OPERATIONS.
- PERMANENT SOIL EROSION CONTROL MEASURES FOR SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH CHANGE HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED WITHIN 5 CALENDAR DAYS. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED.

ISSUE DATE:	7/29/2019
REVISIONS	
	9/25/2019
	10/08/2019

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 DRWG. by : BN/DC
 DSGN. by : MN
 CHECK : AP

PROJECT NUMBER
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GRADING AND EARTHWORK SPECIFICATIONS

- ALTHOUGH A SUB-SURFACE INVESTIGATION MAY HAVE BEEN MADE BY THE OWNER, THE BIDDER AND ANY SUB-CONTRACTORS SHALL MAKE A PERSONAL INVESTIGATION OF SITE AND EXISTING SURFACE AND SUB-SURFACE CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO ACQUAINT HIMSELF WITH CONDITIONS OF THE WORK AREA. THE CONTRACTOR IS ADVISED TO DETERMINE THE SUB-SURFACE SOIL CONDITIONS AND GROUND WATER CONDITIONS TO HIS OWN SATISFACTION PRIOR TO BIDDING. NO MODIFICATIONS TO THE UNIT PRICES BID FOR ANY ITEM WILL BE MADE DUE TO VARIABLE SUB-SURFACE CONDITIONS. DEWATERING, IF DETERMINED NECESSARY BY THE CONTRACTOR, BY WELL POINTING OR DEEP WELLS WILL BE INCIDENTAL TO THE INSTALLATION COST OF THE ITEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING DETERMINED TO HIS SATISFACTION THE SUBSTRATA TO HIS SUBMISSION OF THE COMPOSITION OF THE GROUND, THE CHARACTER AND QUALITY OF THE SUBSTRATA, THE TYPES AND QUANTITIES OF MATERIALS TO BE ENCOUNTERED, THE NATURE OF THE GROUNDWATER CONDITIONS, THE PROSPECTION OF THE WORK, THE GENERAL AND LOCAL CONDITIONS INCLUDING RECENT CLIMATIC CHANGES, THE TIME OF YEAR IN WHICH CONSTRUCTION WILL TAKE PLACE AND ALL OTHER MATTERS WHICH CAN IN ANY WAY AFFECT THE WORK UNDER THIS CONTRACT.
- PRIOR TO COMMENCING THE EXCAVATION THE CONTRACTOR SHALL SUBMIT A PLAN OF HIS PROPOSED OPERATIONS AND TIME SCHEDULE TO THE OWNER & OWNERS REPRESENTATIVE FOR THEIR APPROVAL.
- THE CONTRACTOR SHALL CONSIDER, AND HIS PLAN FOR EXCAVATION SHALL REFLECT, THE EQUIPMENT AND METHODS TO BE EMPLOYED IN THE EXCAVATION AND WHAT METHODS WILL BE USED WHEN WET CONDITIONS ARE ENCOUNTERED REQUIRING GROUNDWATER CONTROL OR OTHER MOISTURE CONDITIONING. THE CONTRACTOR SHALL SUBMIT HIS EXCAVATION METHODS WHICH SHALL BE PLACED TO TAKE INTO ACCOUNT THE OVERALL CONSTRUCTION SCHEDULE. THE PRICES ESTABLISHED IN THE PROPOSAL FOR THE WORK TO BE DONE SHALL REFLECT ALL COSTS PERTAINING TO THE WORK, INCLUDING THE COST OF REMOVAL OF EXISTING SUBSTRATA OR GROUNDWATER TABLE CONDITIONS OR MOISTURE CONDITIONING WILL BE ALLOWED.
- THE CONTRACTOR SHALL KEEP INFORMED AND THE OWNER'S REPRESENTATIVE INFORMED AT ALL TIMES AS TO A "FILL SURPLUS OR SHORTAGE" SITUATION. SHORTAGE OR SURPLUS OF SUITABLE MATERIAL AT THE CONCLUSION OF THE GRADING AND EARTHWORK SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR AND HE WILL BE REQUIRED TO SUPPLY THE DEFICIENCY OR DISPOSE OF THE SURPLUS WITHOUT ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL REMOVE VEGETATION, DEBRIS, UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND OTHER DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO CUT OR FILL OPERATIONS.
- MATERIALS FOR FILL OR BACKFILL REQUIRED TO GRADE THE SITE AND ACHIEVE DESIGN ELEVATIONS SHALL BE EITHER ON OR OFF-SITE SOILS WHICH ARE FREE OF ORGANIC MATTER AND DEBRIS. NO TOPSOIL SHALL BE USED AS ENGINEERED FILL.
- NO FILL MAY BE PLACED UNTIL THE EXPOSED SURFACES HAVE BEEN APPROVED BY THE GEOTECHNICAL ENGINEER. ALL FILL MATERIALS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, THEY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE AND DESIGN ENGINEER PRIOR TO PROCEEDING.
- ALL FILL MATERIAL SHALL BE PLACED AND COMPACTED AT THE OPTIMUM MOISTURE CONTENT OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- NO FROZEN MATERIAL SHALL BE USED AS FILL NOR WILL ANY FILL BE PLACED ON A FROZEN BASE.
- NO ROCK OR SIMILAR MATERIAL GREATER THAN 6" DIAMETER SHALL BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE GEOTECHNICAL ENGINEER IN ADVANCE AND APPROVED BY THE OWNER AND OWNER'S REPRESENTATIVE.
- NO CUT FILL MATERIAL TO AT LEAST THE FOLLOWING PERCENTAGE OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D-1557 (MODIFIED PROCTOR), NOR DEVIATION FROM THESE COMPACTION DENSITIES WILL BE ALLOWED UNLESS SPECIFICALLY RECOMMENDED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE OWNER AND OWNER'S REPRESENTATIVE.

FILL AREAS	% OF MAXIMUM DRY DENSITY
FILL UNDER BUILDING (EXTENDING 5' BEYOND FOOTINGS AT A SLOPE OF 1 ON 1)	95%
FILL IN THE UPPER 18" UNDER PAVEMENT OR SIDEWALKS	95%
FILL PLACED UNDER OR BEHIND RETAINING WALLS	95%
ALL OTHER FILL	90%
- ALL FILL MATERIAL SHALL BE PLACED AND COMPACTED IN LIFTS, THAT WILL NOT EXCEED THE DEPTH IN WHICH THE COMPACTION EQUIPMENT CAN ACHIEVE THE MAXIMUM DENSITY REQUIRED FOR THE ENTIRE DEPTH OF THE MATERIAL PLACED IN THE LIFT.
- ALL AREAS WHERE FILL HAS BEEN PLACED OR THE EXISTING SOILS HAVE BEEN DISTURBED SHALL BE SUBJECT TO COMPACTION TESTING BY THE GEOTECHNICAL ENGINEER AND SHALL BE TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER, OWNER AND OWNER'S REPRESENTATIVE.
- FILL MATERIAL UNDER PAVEMENTS OR STRUCTURES SHALL BE FREE OF ORGANIC OR DELETERIOUS MATERIALS. IT SHALL BE SUITABLE FOR SUPPORTING PAVEMENTS AND STRUCTURES WITHOUT ADVERSE SHRINKING OR SWELLING.
- FILL MATERIAL IN BERMS AND LANDSCAPE AREAS SHALL BE SUITABLE TO SUPPORT GROWING PLANTS AND MATERIALS (TYPICAL FOR THE LOCAL CLIMATE) AND AS PROPOSED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF, IN A LEGAL MANNER, ANY TREES, BRUSH OR DEBRIS THAT ARE WITHIN THE DESIGNATED CUTTING AND FILLING AREAS TO BRING THE SITE TO PROPOSED GRADES.
- THE CONTRACTOR SHALL STOCKPILE EXCAVATED MATERIAL ONLY IN DESIGNATED AREAS AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- DURING THE PERFORMANCE OF SITE GRADING OPERATIONS, THE SUBGRADE SHALL BE EXAMINED CRITICALLY, AND ANY AREAS DISCOVERED WHICH, IN THE OPINION OF THE OWNER'S REPRESENTATIVE OR GEOTECHNICAL ENGINEER, ARE SOFT AND UNSTABLE, SHALL BE EXCAVATED TO THE DEPTH NECESSARY TO INSURE SATISFACTORY SUPPORTING PROPERTIES AS DETERMINED BY THE GEOTECHNICAL ENGINEER. THESE AREAS OF EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AND SHALL BE BROUGHT BACK TO THE ELEVATION OF THE SURROUNDING AREAS WITH APPROVED FILL MATERIAL AND IN ACCORDANCE WITH THE EARTH FILL CONSTRUCTION PROCEDURE.
- NEWLY GRADED AREAS SHALL BE PROTECTED FROM THE ACTION OF THE ELEMENTS. ANY SETTLEMENT, DISPLACEMENT, PONDING OR WASHING OUT THAT MAY OCCUR PRIOR TO THE COMPLETION OF CONSTRUCTION SHALL BE REPAIRED, AND GRADES REESTABLISHED TO THE REQUIRED ELEVATIONS AND SLOPES.
- THE FINISHED SUBGRADE SURFACE SHALL BE SHAPED TO INDICATED PROFILES AND SHALL BE REASONABLY SMOOTH AND FREE FROM IRREGULAR SURFACE CHANGES AND SHALL BE NO MORE THAN 1 INCH ABOVE OR BELOW THE INDICATED SUBGRADE ELEVATIONS.
- THE GRADING CONTRACTOR SHALL BACKFILL ALL PARKING LOT PLANTERS AND LAWN AREAS TO WITHIN 2 INCHES OF THE TOP ADJACENT CURB GRADES. THE TOP 4 INCHES MINIMUM SHALL BE TOPSOIL, FREE FROM DEBRIS AND STONES LARGER THAN 1 INCH IN DIAMETER.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PUMPS, DITCHING, WELL POINT SYSTEMS AND OTHER MEANS FOR REMOVING WATER FROM EXCAVATIONS, TRENCHES, SUBGRADES AND OTHER PARTS OF THE WORK. THE CONTRACTOR SHALL CONTINUE DE-WATERING OPERATIONS UNTIL THE WATER HAS BEEN REMOVED ENTIRELY, UPON COMPLETION OF WATER REMOVAL THE CONTRACTOR SHALL TAKE APPROPRIATE ACTION TO DRY THE SOILS, REGRADE TO PROPOSED ELEVATIONS AND COMPACT SOILS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER AND OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL DISPOSE OF WATER IN A SAFE AND SANITARY WAY TO PREVENT FLOODING OR INJURY TO PUBLIC OR PRIVATE PROPERTY AND SHALL OBTAIN APPROVAL OF THE LOCAL GOVERNING AUTHORITY BEFORE DISCHARGING RUN-OFF WATER TO THEIR SYSTEM.
- THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING GRADES AND NEW GRADES.

BITUMINOUS PAVING SPECIFICATIONS

- REFERENCE SPECIFICATIONS WHERE APPLICABLE TO WORK UNDER THIS SECTION ARE REFERRED TO BY ABBREVIATION AS FOLLOWS:
 - AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO).
 - THE ASPHALT INSTITUTE (TAI)
 - MICHIGAN DEPARTMENT OF TRANSPORTATION/ CURRENT STANDARD SPECIFICATIONS FOR CONSTRUCTION (M.D.O.T.)
 - AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM)
- CRUSHED AGGREGATE BASE COURSE (CABC) SHALL MEET THE REQUIREMENTS OF SECTION 8.02 OF THE MDOT STANDARD SPECIFICATION FOR CONSTRUCTION AND SHALL CONSIST OF 21AA CRUSHED AGGREGATE. THE USE OF SLAG IS PROHIBITED.
- TACK COAT SHALL BE EMULSIFIED ASPHALT MEETING REQUIREMENTS OF AASHTO M140 AND TAI SS-1H.
- AGGREGATE SHALL CONSIST OF CRUSHED STONE, CRUSHED GRAVEL, A MIXTURE OF UNCRUSHED GRAVEL WITH EITHER CRUSHED STONE OR CRUSHED GRAVEL, OR OTHER INERT MATERIAL HAVING SIMILAR CHARACTERISTICS. IT SHALL BE COMPOSED OF CLEAN, TOUGH, DURABLE FRAGMENTS FROM AN EXCESS OF FLAT OR ELONGATED PIECES AND SHALL BE FREE OF ORGANIC MATTER AND DELETERIOUS SUBSTANCES AND MEET THE REQUIREMENTS OF MDOT STANDARD SPECIFICATIONS, SECTION 8.02.
- FINE AGGREGATE SHALL BE WELL GRADED FROM COARSE TO FINE AND CONSIST OF NATURAL SAND, STONE SCREENINGS, OR A BLEND OF NATURAL SAND AND STONE SCREENINGS. IT SHALL BE COMPOSED OF ROUGH SURFACED AND ANGULAR GRAINS OF QUARTZ OR OTHER HARD DURABLE ROCK AND MEET THE REQUIREMENTS OF MDOT STANDARD SPECIFICATIONS, SECTION 8.02.
- ASPHALT CEMENT SHALL COMPLY WITH THE REQUIREMENTS OF AASHTO M226 (ASTM 3381) FOR BITUMINOUS CONCRETE SURFACE COURSE AND SURFACE TREATMENT.
- BITUMINOUS CONCRETE SHALL COMPLY WITH MDOT SECTION 7.10 OF STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- BITUMINOUS LEVELING COURSE SHALL BE MDOT 1100L, 20AA MIX.
- BITUMINOUS WEARING COURSE SHALL BE MDOT 1100T, 20AA MIX.
- THE CONTRACTOR SHALL SUBMIT, TO THE OWNER, TWO COPIES OF MATERIALS CERTIFICATES SIGNED BY MATERIAL PRODUCER AND CONTRACTOR. CERTIFICATES SHALL STATE THAT EACH MATERIAL ITEM MEETS SPECIFIED REQUIREMENTS.
- THE CONTRACTOR SHALL SUBMIT TO THE GEOTECHNICAL ENGINEER, JOB-MIX FORMULAS FOR EACH REQUIRED ASPHALT AGGREGATE MIXTURE. MIX DESIGNS SHALL BE WITHIN ALLOWABLE TOLERANCES AS SPECIFIED FOR THE PARTICULAR APPLICATION.
- SUBGRADE PREPARATIONS SHALL CONSIST OF THE FINAL MACHINING OF THE SUBGRADE IMMEDIATELY PRIOR TO PLACING THE BITUMINOUS BASE COURSE. THE SUBGRADE SHALL BE COMPACTED PER PLANS AND DETAILS. THE SUBGRADE SHALL BE FREE TO LINE AND GRADE.
- CRUSHED AGGREGATE BASE COURSE SHALL BE COMPACTED TO A DENSITY EQUAL TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 (MODIFIED PROCTOR).
- BITUMINOUS CONCRETE PAVEMENT CONSTRUCTION METHODS SHALL CONFORM TO APPLICABLE PORTIONS OF SECTION 4.00 OF THE MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PLACE THE AGGREGATE BASE COURSE OR THE BITUMINOUS BASE COURSE PRIOR TO THE APPROVAL OF THE SUBGRADE BY THE GEOTECHNICAL ENGINEER.
- EACH LIFT AND COURSE OF BITUMINOUS CONCRETE SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER, PRIOR TO THE PLACEMENT OF A SUCCEEDING COURSE OR LIFT.
- APPLY BITUMINOUS TACK COATS ONLY WHEN TEMPERATURE HAS NOT BEEN BELOW 45 DEGREES F. FOR 12 HOURS. AFTER 12 HOURS, IF NECESSARY, CONSTRUCT BITUMINOUS TACK WEARING COURSE ONLY WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40-DEGREES F. AND PROCEEDING COURSE OR LIFT IS CLEAN AND DRY. BASE COURSE MAY BE LAID WHEN TEMPERATURE IS ABOVE 35 DEGREES F. AND RISING AND APPROVED BY THE GEOTECHNICAL ENGINEER.
- THE BITUMINOUS CONCRETE SHALL BE TRANSPORTED FROM THE MIXING PLANT TO THE POINT OF USE IN VEHICLES CONFORMING TO THE REQUIREMENTS OF SECTION 4.00 OF THE MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION. DELIVERIES SHALL BE SCHEDULED SO THAT SPREADING AND ROLLING OF ALL BITUMINOUS CONCRETE PREPARED FOR ONE DAY'S RUN CAN BE COMPLETED DURING DAYLIGHT, UNLESS ADEQUATE ARTIFICIAL LIGHTING IS PROVIDED. HAULING OVER FRESHLY PLACED BITUMINOUS MAT SHALL NOT BE PERMITTED UNTIL THE BITUMINOUS CONCRETE HAS BEEN COMPACTED, AS SPECIFIED, AND ALLOWED TO COOL TO ATMOSPHERIC TEMPERATURE.
- UPON ARRIVAL, THE BITUMINOUS CONCRETE SHALL BE SPREAD TO A THICKNESS NOT TO EXCEED 3-INCHES AND TO THE FULL WIDTH BY AN APPROVED BITUMINOUS PAVER. IT SHALL BE STRUCK OFF IN A UNIFORM LAYER OF SUCH DEPTH THAT, WHEN THE WORK IS COMPLETED, IT SHALL HAVE THE REQUIRED THICKNESS AND CONFORM TO THE GRADE AND CONTOUR INDICATED. THE SPEED OF THE PAVER SHALL BE REGULATED TO ELIMINATE PULVERING AND TEARING OF THE BITUMINOUS MAT, UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER. THE BITUMINOUS CONCRETE READY-MIXED CONCRETE MANUFACTURER, GIVING QUALIFICATIONS OF PERSONAL, LOCATION OF BATCHING PLANT, LIST OF PROJECTS SIMILAR IN SCOPE OF SPECIFIED WORK, AND OTHER INFORMATION AS MAY BE REQUESTED BY THE OWNER.
- THE CONTRACTOR SHALL SUBMIT A STATEMENT OF PURCHASE FOR READY-MIXED CONCRETE. PRIOR TO ACTUAL DELIVERY OF CONCRETE, SUBMIT TO THE GEOTECHNICAL ENGINEER FOUR COPIES OF STATEMENT OF PURCHASE, GIVING THE DRY WEIGHTS OF CEMENT AND SATURATED SURFACE DRY WEIGHTS OF FINE AND COARSE AGGREGATES AND QUANTITIES, TYPE AND NAME OF ADMIXTURES (IF ANY) AND WEIGHT OF WATER PER CUBIC YARD. THAT WHICH IS USED IN THE MANUFACTURE OF THE CONCRETE. THE CONTRACTOR SHALL ALSO FURNISH EVIDENCE SATISFACTORY TO THE GEOTECHNICAL ENGINEER THAT THE MATERIALS TO BE USED AND PROPORTIONS SELECTED WILL PRODUCE CONCRETE OF THE QUALITY SPECIFIED. WHATEVER STRENGTHS ARE OBTAINED, THE QUANTITY OF CEMENT USED SHALL NOT BE LESS THAN THE MINIMUM SPECIFIED.
- READY-MIXED CONCRETE DELIVERY TICKETS: SUBMIT ONE COPY OF EACH DELIVERY TICKET TO THE GEOTECHNICAL ENGINEER AND CONTRACTOR IN ACCORDANCE WITH SECTION 16 OF ASTM C94.
- READY-MIXED CONCRETE SHALL BE BATCHED, MIXED AND TRANSPORTED IN ACCORDANCE WITH ASTM C94, AND COMPLY WITH ACI 304 "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE," EXCEPT AS OTHERWISE SPECIFIED HEREIN.
- READY-MIXED CONCRETE SHALL BE MIXED AND DELIVERED TO THE POINT OF DISCHARGE AT THE JOB BY MEANS OF A READY MIX CONCRETE TRUCK.
- NO WATER FROM THE TRUCK WATER SYSTEM OR ELSEWHERE SHALL BE ADDED AFTER THE INITIAL INTRODUCTION OF THE MIXING WATER FOR THE BATCH. UNDER NO CIRCUMSTANCES SHALL THE APPROVED MAXIMUM WATER CONTENT BE EXCEEDED NOR SHALL THE SLUMP EXCEED THE MAXIMUM SPECIFIED.
- DISCHARGE OF THE CONCRETE SHALL BE COMPLETED WITHIN 1-1/2 HOURS OR BEFORE THE DRUM HAS REVOLVED 300 REVOLUTIONS, WHICHEVER COMES FIRST, AFTER THE INTRODUCTION OF THE MIXING WATER TO THE FORM WHEN TESTED WITH A 10-FOOT STRAIGHTEDGE, THEY SHALL BE OF THE DEPTH SPECIFIED FOR THE SIDEWALK, OR CONCRETE PAVEMENT PER PLANE AND DETAILS, AND BE SECURELY HELD IN PLACE AND TRUE TO LINE AND GRADE.
- IN HOT WEATHER (AIR TEMPERATURE 80-DEGREES F. AND ABOVE) OR UNDER CONDITIONS CONTRIBUTING TO QUICK STIFFENING OF THE CONCRETE, THE TIME SHALL BE REDUCED TO ONE HOUR.
- CONCRETE DELIVERED IN COLD WEATHER (AIR TEMPERATURE 45-DEGREES F. AND LOWER) SHALL HAVE A TEMPERATURE NOT LESS THAN 60-DEGREES F. AT THE POINT OF DISCHARGE AT THE JOB, AND IN COMPLIANCE WITH ACI 306R "COLD WEATHER CONCRETING", CONCRETE PLACING WILL NOT BE PERMITTED WHEN THE AIR TEMPERATURE IS 35-DEGREES F. OR LOWER.
- CONCRETE DELIVERED UNDER HOT WEATHER CONDITIONS CONTRIBUTING TO QUICK STIFFENING OF THE CONCRETE, OR IN AIR TEMPERATURE OF 80-DEGREES F. AND OVER, SHALL HAVE A TEMPERATURE BETWEEN 60-- AND 80-DEGREES F. AT THE POINT OF DISCHARGE AT THE JOB, AND IN ACCORDANCE WITH ACI 305R "HOT WEATHER CONCRETING."
- IN NO CASE SHALL THE MIXER OR TRUCK BE FLOUSHED OUT ONTO THE STREET PAVEMENT, IN A CATCH BASIN OR SEWER MANHOLE, OR IN ANY PUBLIC RIGHT-OF-WAY.
- REINFORCEMENT BARS SHALL BE PER ASTM A615-84A, GRADE 60 DEFORMED BILLET - STEEL BARS.
- THE WIRE SHALL BE BLACK, ANNEALED STEEL WIRE, NOT LESS THAN 16 GAUGE.

BITUMINOUS PAVING SPECIFICATIONS, CONTINUED

- THE CONTRACTOR SHALL CAREFULLY MAKE JOINTS BETWEEN OLD AND NEW PAVEMENTS, OR BETWEEN SUCCESSIVE DAYS' WORK, TO ENSURE A CONTINUOUS BOND BETWEEN ADJOINING WORK. CONSTRUCT JOINTS TO HAVE THE SAME TEXTURE, DENSITY AND SMOOTHNESS AS OTHER SECTIONS OF THE BITUMINOUS CONCRETE COURSE. THE CONTRACTOR SHALL CLEAN CONTACT SURFACES OF SAND, DIRT, OR OTHER OBJECTIONABLE MATERIAL BEFORE MAKING THE JOINT.
- THE CONTRACTOR SHALL TEST THE FINISHED SURFACE OF EACH BITUMINOUS CONCRETE COURSE FOR SMOOTHNESS, USING A 10 FOOT STRAIGHTEDGE APPLIED PARALLEL WITH AND AT RIGHT ANGLES TO CENTERLINE OF PAVED AREA. THE SURFACE SHALL NOT BE ACCEPTABLE IF EXCEEDING THE FOLLOWING TOLERANCES FOR SMOOTHNESS.
 - LEVELING COURSE SURFACE: 1/4 INCH, PLUS OR MINUS 1/4 INCH.
 - SURFACE COURSE: 1/4 INCH
- THE CONTRACTOR SHALL TEST CROWNED SURFACES WITH A CROWN TEMPLATE, CENTERED AND AT RIGHT ANGLES TO THE CROWN. SURFACES WILL NOT BE ACCEPTABLE IF THE FINISHED CROWN SURFACES VARY MORE THAN 1/4 INCH FROM THE CROWN TEMPLATE.
- AFTER FINAL ROLLING, THE CONTRACTOR SHALL NOT PERMIT VEHICULAR TRAFFIC ON THE BITUMINOUS CONCRETE PAVEMENT UNTIL IT HAS COOLED AND HARDENED, AND IN NO CASE SOONER THAN SIX HOURS OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- THE AGGREGATE BASE MUST EXTEND A MINIMUM OF 1' BEHIND THE BACK-OF-CURB AROUND THE PERIMETER OF THE PARKING LOT AND DRIVES.

CONCRETE CURB, SIDEWALK AND PAVEMENT SPECIFICATIONS

- THESE SPECIFICATIONS SHALL GOVERN THE CONSTRUCTION OF ALL PAVEMENTS, CURB AND GUTTER SIDEWALKS, DRIVEWAY APPROACHES, AND LOADING DOCK AREAS, AS INDICATED ON THE DRAWINGS.
- REFERENCE SPECIFICATIONS WHERE APPLICABLE TO WORK UNDER THIS SECTION ARE REFERRED BY ABBREVIATION AS FOLLOWS:
 - AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO).
 - AMERICAN CONCRETE INSTITUTE (ACI)
 - MICHIGAN DEPARTMENT OF TRANSPORTATION/ CURRENT STANDARD SPECIFICATIONS FOR CONSTRUCTION (M.D.O.T.)
 - AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
- THE FINE AGGREGATE SHALL MEET ALL REQUIREMENTS OF SECTION 8.02 OF MDOT SPECIFICATION FOR NO. 2NS NATURAL SAND.
- THE COARSE AGGREGATE SHALL MEET ALL REQUIREMENTS OF SECTION 8.02 OF M.D.O.T. SPECIFICATIONS FOR NO. 8AA COARSE AGGREGATE.
- THE CONTRACTOR SHALL SUBMIT, TO THE OWNER, TWO COPIES OF MATERIALS CERTIFICATES SIGNED BY MATERIAL PRODUCER AND CONTRACTOR. CERTIFICATES SHALL STATE THAT EACH MATERIAL ITEM MEETS SPECIFIED REQUIREMENTS.
- THE CONTRACTOR SHALL SUBMIT TO THE GEOTECHNICAL ENGINEER, JOB MIX-FORMULAS FOR EACH REQUIRED READY-MIXED CONCRETE MIXTURE. MIX DESIGNS SHALL BE WITHIN ALLOWABLE TOLERANCES AS SPECIFIED FOR THE PARTICULAR APPLICATION.
- CONCRETE MIX SHALL BE AIR-ENTRAINED AND PROPORTIONED TO PROVIDE THE FOLLOWING:
 - COMPRESSIVE STRENGTH AT 28 DAYS: 3500 PSI MIN., OR AS INDICATED ON PLANS.
 - TOTAL AIR CONTENT BY VOLUME: 5% TO 8%.
 - SLUMP 3 INCH MAXIMUM, OR AS INDICATED ON PLANS.
- THE CONTRACTOR SHALL AT HIS EXPENSE FURNISH SAMPLES OF FRESH CONCRETE AND PROVIDE SAFE AND SATISFACTORY FACILITIES FOR OBTAINING THE SAMPLES.
- CONSTRUCT CONCRETE CURBING ONLY WHEN GROUND TEMPERATURE IS ABOVE 35 DEGREES F. AND BASE IS DRY.
- ALL CEMENT USED IN CURB CONSTRUCTION SHALL BE PORTLAND CEMENT, TYPE I OR IA ASTM C-150.
- WATER USED IN CONCRETE SHALL BE CLEAN, FREE FROM OIL, ACIDS, STRONG ALKALIS OR VEGETABLE MATTER AND POTABLE. IF MUNICIPAL WATER IS USED IN THE CONCRETE, ALL NECESSARY PERMITS SHALL BE OBTAINED FROM THE MUNICIPAL WATER DEPARTMENT.
- AIR ENTRAINING ADMIXTURE SHALL BE IN ACCORDANCE WITH ASTM C-280.
- ALL READY-MIXED CONCRETE SUPPLIERS MUST BE APPROVED BY THE OWNER. CONCRETE SHALL BE MANUFACTURED AND DELIVERED TO THE JOB SITE BY A READY MIXED CONCRETE MANUFACTURER THOROUGHLY EXPERIENCED IN READY-MIXED CONCRETE. IF REQUESTED BY THE OWNER, SUBMIT A WRITTEN DESCRIPTION OF PROPOSED READY-MIXED CONCRETE MANUFACTURER, GIVING QUALIFICATIONS OF PERSONAL, LOCATION OF BATCHING PLANT, LIST OF PROJECTS SIMILAR IN SCOPE OF SPECIFIED WORK, AND OTHER INFORMATION AS MAY BE REQUESTED BY THE OWNER.
- THE CONTRACTOR SHALL SUBMIT A STATEMENT OF PURCHASE FOR READY-MIXED CONCRETE. PRIOR TO ACTUAL DELIVERY OF CONCRETE, SUBMIT TO THE GEOTECHNICAL ENGINEER FOUR COPIES OF STATEMENT OF PURCHASE, GIVING THE DRY WEIGHTS OF CEMENT AND SATURATED SURFACE DRY WEIGHTS OF FINE AND COARSE AGGREGATES AND QUANTITIES, TYPE AND NAME OF ADMIXTURES (IF ANY) AND WEIGHT OF WATER PER CUBIC YARD. THAT WHICH IS USED IN THE MANUFACTURE OF THE CONCRETE. THE CONTRACTOR SHALL ALSO FURNISH EVIDENCE SATISFACTORY TO THE GEOTECHNICAL ENGINEER THAT THE MATERIALS TO BE USED AND PROPORTIONS SELECTED WILL PRODUCE CONCRETE OF THE QUALITY SPECIFIED. WHATEVER STRENGTHS ARE OBTAINED, THE QUANTITY OF CEMENT USED SHALL NOT BE LESS THAN THE MINIMUM SPECIFIED.
- READY-MIXED CONCRETE DELIVERY TICKETS: SUBMIT ONE COPY OF EACH DELIVERY TICKET TO THE GEOTECHNICAL ENGINEER AND CONTRACTOR IN ACCORDANCE WITH SECTION 16 OF ASTM C94.
- READY-MIXED CONCRETE SHALL BE BATCHED, MIXED AND TRANSPORTED IN ACCORDANCE WITH ASTM C94, AND COMPLY WITH ACI 304 "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE," EXCEPT AS OTHERWISE SPECIFIED HEREIN.
- READY-MIXED CONCRETE SHALL BE MIXED AND DELIVERED TO THE POINT OF DISCHARGE AT THE JOB BY MEANS OF A READY MIX CONCRETE TRUCK.
- NO WATER FROM THE TRUCK WATER SYSTEM OR ELSEWHERE SHALL BE ADDED AFTER THE INITIAL INTRODUCTION OF THE MIXING WATER FOR THE BATCH. UNDER NO CIRCUMSTANCES SHALL THE APPROVED MAXIMUM WATER CONTENT BE EXCEEDED NOR SHALL THE SLUMP EXCEED THE MAXIMUM SPECIFIED.
- DISCHARGE OF THE CONCRETE SHALL BE COMPLETED WITHIN 1-1/2 HOURS OR BEFORE THE DRUM HAS REVOLVED 300 REVOLUTIONS, WHICHEVER COMES FIRST, AFTER THE INTRODUCTION OF THE MIXING WATER TO THE FORM WHEN TESTED WITH A 10-FOOT STRAIGHTEDGE, THEY SHALL BE OF THE DEPTH SPECIFIED FOR THE SIDEWALK, OR CONCRETE PAVEMENT PER PLANE AND DETAILS, AND BE SECURELY HELD IN PLACE AND TRUE TO LINE AND GRADE.
- IN HOT WEATHER (AIR TEMPERATURE 80-DEGREES F. AND ABOVE) OR UNDER CONDITIONS CONTRIBUTING TO QUICK STIFFENING OF THE CONCRETE, THE TIME SHALL BE REDUCED TO ONE HOUR.
- CONCRETE DELIVERED IN COLD WEATHER (AIR TEMPERATURE 45-DEGREES F. AND LOWER) SHALL HAVE A TEMPERATURE NOT LESS THAN 60-DEGREES F. AT THE POINT OF DISCHARGE AT THE JOB, AND IN COMPLIANCE WITH ACI 306R "COLD WEATHER CONCRETING", CONCRETE PLACING WILL NOT BE PERMITTED WHEN THE AIR TEMPERATURE IS 35-DEGREES F. OR LOWER.
- CONCRETE DELIVERED UNDER HOT WEATHER CONDITIONS CONTRIBUTING TO QUICK STIFFENING OF THE CONCRETE, OR IN AIR TEMPERATURE OF 80-DEGREES F. AND OVER, SHALL HAVE A TEMPERATURE BETWEEN 60-- AND 80-DEGREES F. AT THE POINT OF DISCHARGE AT THE JOB, AND IN ACCORDANCE WITH ACI 305R "HOT WEATHER CONCRETING."
- IN NO CASE SHALL THE MIXER OR TRUCK BE FLOUSHED OUT ONTO THE STREET PAVEMENT, IN A CATCH BASIN OR SEWER MANHOLE, OR IN ANY PUBLIC RIGHT-OF-WAY.
- REINFORCEMENT BARS SHALL BE PER ASTM A615-84A, GRADE 60 DEFORMED BILLET - STEEL BARS.
- THE WIRE SHALL BE BLACK, ANNEALED STEEL WIRE, NOT LESS THAN 16 GAUGE.

CONCRETE CURB, SIDEWALK AND PAVEMENT SPECIFICATIONS, CONTINUED

- BAR SUPPORTS SHALL CONFORM TO "BAR SUPPORT SPECIFICATIONS" CONTAINED IN ACI "MANUAL OF STANDARD PRACTICE." PROVIDE CHAIRS, SPACERS AND OTHER DEVICES SUITABLE FOR PROPER SPACING SUPPORTING AND FASTENING REINFORCING BARS.
- WHEN FORMS ARE USED AND THE CURB RADIUS IS LESS THAN 200 FEET, THE CORNER RADIUS SHALL BE PROVIDED FOR BY EITHER STANDARD STEEL FORMS EQUIPPED WITH FLEXIBLE LINES OR BY FLEXIBLE FORMS. THE FORMS SHALL BE OF THE FULL DEPTH OF THE SECTION. CURB AND GUTTER FORMS SHALL BE SO CONSTRUCTED AS TO PERMIT THE INSIDE OF THE FORMS TO BE SECURELY FASTENED TO THE OUTSIDE FORMS.
- ALL NEW CURB SHALL BE PLACED ONLY ON A PREPARED SUBGRADE, SMOOTH AND LEVELLED TO THE GRADES ESTABLISHED BY THE ENGINEER.
- COMPACT AND CUT-TO-GRADE SUBGRADE UNDER FORMS SO THAT FORMS WHEN SET WILL BE UNIFORMLY SUPPORTED FOR THE ENTIRE LENGTH. SECURELY STAKE AND BRACE OR TO THE FORMS TO PREVENT LEAKAGE OF MORTAR. BRACING WITH EARTH WILL NOT BE PERMITTED.
- COAT SURFACES OF FORMS TO BE IN CONCRETE WITH A LIGHT CLEAR PARAFFIN OIL OR PARTING COMPOUND WHICH WILL NOT STAIN THE CONCRETE.
- THE INTERIOR SURFACES OF CONCRETE CONVEYING EQUIPMENT SHALL BE MAINTAINED FREE OF HARDENED CONCRETE, DEBRIS, WATER, SNOW, ICE AND OTHER DELETERIOUS MATERIALS.
- CURBING MAY BE CONSTRUCTED EITHER BY USE OF FORMS OR BY A MECHANICAL CURB AND GUTTER PAYER, PROVIDED THE REQUIRED FINISH, AND CROSS-SECTION, AS SHOWN ON PLANS, ARE OBTAINED. CONCRETE SHALL BE PLACED TO PROVIDE ONE COURSE MONOLITHIC STRUCTURE WITHOUT THE USE OF MORTAR TOPPING OR SAND-CEMENT DRIER. CONCRETE SHALL BE SPADED OR VIBRATED SUFFICIENTLY TO ENSURE SATISFACTORY CONSOLIDATION.
- PROVIDE REINFORCEMENT FOR CONCRETE CURB AS SHOWN ON THE DRAWINGS. REINFORCEMENT SHALL BE KEPT CLEAN AND FREE FROM OBSTRUCTIONAL RUST, BENDS OR KINKS IN REINFORCING BARS SHALL BE CORRECTED BEFORE PLACING. ALL REINFORCEMENT SHALL BE ACCURATELY LOCATED IN FORMS AND SECURELY HELD IN PLACE BEFORE POURING CONCRETE. REINFORCING BARS SHALL BE PLACED TO ADEQUATE TO PREVENT DISPLACEMENT DURING THE COURSE OF CONSTRUCTION.
- THE CONCRETE CURB SURFACE SHALL BE STRUCK OFF THE REQUIRED CROSS-SECTION WITH TEMPLATE. AFTER THE CONCRETE CURB HAS BEEN FLOATED TO AN EVEN SURFACE, THE CONTRACTION JOINT SHALL BE CUT AND ALL SLAB EDGES ROUNDED WITH A 1/2 INCH RADIUS EDGING TOOL THAT WILL FINISH TO A WIDTH OF 2 INCHES. AFTER 2 INCHES OF CURB HAS BEEN SET, A BROOM SHALL BE BRUSHED LIGHTLY ACROSS THE SURFACE PARALLEL TO FORMS SO AS TO IMPART A ROUGH FINISH.
- CONTRACTION JOINTS SHALL BE CUT IN CONCRETE CURBING AT 10' INTERVALS. THE JOINT SHALL CUT 1/4 INCH WIDE BY 1/3 THE DEPTH OF THE CONCRETE CURB SECTION.
- ISOLATION JOINTS SHALL BE PLACED IN CURBING AT TANGENT POINTS IN CURB RETURNS AT INTERSECTIONS, AT BOTH SIDES OF STRUCTURES LOCATED IN THE LINE AND IN RUNS OF CURB AT INTERVALS NOT EXCEEDING 400 FEET. ISOLATION JOINTS SHALL BE 1" THICK PRE-FORMED JOINT FILLER STRIPS. THE STRIPS SHALL EXTEND THE FULL DEPTH OF THE CONCRETE CURB SECTION. ISOLATION JOINTS SHALL BE PLACED IN CURB AT THE END OF EACH DAYS FOUR AND WHEN ABUTTING PREVIOUSLY POURED CURBING.
- THE CURING COMPOUND SHALL BE WHITE MEMBRANE TYPE AND COMPLY WITH ASTM C-209. SHALL NOT ALLOW A MOISTURE LOSS OF MORE THAN 0.055 GR/50/CM WHEN APPLIED AT 200 SQ/FT/GAL.
- ALL CONTRACTION JOINTS IN CONCRETE CURB SECTIONS SHALL BE SEALED WITH EITHER HOT POURED JOINT SEALER OR COLD APPLIED JOINT SEALER.
- SLIGHTLY UNDERFILL JOINT GROOVE WITH JOINT SEALER TO PREVENT EXTRUSION OF THE SEALER. REMOVE EXCESS JOINT SEALER MATERIALS AS SOON AFTER SEALING AS POSSIBLE.
- FRESHLY PLACED CONCRETE SHALL BE PROTECTED AS REQUIRED TO MAINTAIN THE TEMPERATURE OF THE CONCRETE AT NOT LESS THAN 50 DEGREES F. NOR MORE THAN 80 DEGREES F. AND IN A MOST CONDITION CONTINUOUSLY FOR THE PERIOD OF CURING. THE TEMPERATURE OF THE CONCRETE DURING CURING SHALL BE AS UNIFORM AS POSSIBLE AND SHALL NOT EXCEED 5 DEGREES F. IN ANY ONE HOUR, NOR 50 DEGREES F. IN ANY 24 HOUR PERIOD.
- COLD WEATHER PROTECTION: WHEN THE TEMPERATURE OF THE ATMOSPHERE IS 40-DEGREES F. AND BELOW, THE CONCRETE SHALL BE PROTECTED BY HEATING, INSULATION COVERING, OR COMBINATION THEREOF AS REQUIRED TO MAINTAIN THE TEMPERATURE OF THE CONCRETE AT OR ABOVE 50-DEGREES F. AND IN A MOST CONDITION CONTINUOUSLY FOR THE CONCRETE CURING PERIOD. HOT WEATHER PROTECTION SHALL MEET THE REQUIREMENTS OF ACI 306R "HOT WEATHER CONCRETING".
- HOT WEATHER PROTECTION: WHEN THE TEMPERATURE OF THE ATMOSPHERE IS 90-DEGREES F. AND ABOVE, OR DURING OTHER CLIMATIC CONDITIONS WHICH WILL CAUSE TOO RAPID DRYING OF THE CONCRETE, THE CONCRETE SHALL BE PROTECTED BY MIST-SPEAKERS, SHADING, OR SPRAYING LIGHT SLEVED MOISTURE RETAINING COVERING, OR A COMBINATION OF THEREOF AS REQUIRED TO MAINTAIN THE TEMPERATURE OF THE CONCRETE BELOW 90-DEGREE F. AND IN A MOST CONDITION CONTINUOUSLY FOR THE CONCRETE CURING PERIOD. HOT WEATHER PROTECTION SHALL MEET THE REQUIREMENTS OF ACI 305R "HOT WEATHER CONCRETING"
- ALL FORMS, RAILS AND STAKES SHALL BE REMOVED WITHIN 24 HOURS AFTER PLACING THE CURB.
- AFTER COMPLETION OF CONCRETE CURBING IN AN AREA, REMOVE ALL WEATHER PROTECTION MATERIALS, RUBBISH AND DEBRIS RESULTING FROM SPECIFIED WORK, SWEEP CONCRETE CURBS CLEAN, AND SEAL JOINTS.
- ALL CEMENT USED IN SIDEWALK CONSTRUCTION SHALL BE PORTLAND CEMENT, TYPE I OR IA ASTM C-150.
- ALL NEW WALKS AND CONCRETE PAVEMENTS SHALL BE PLACED ONLY ON A PREPARED SUBGRADE, SMOOTHED AND LEVELLED TO THE GRADES ESTABLISHED BY THE ENGINEER. IN CLAY SOILS THE SUBGRADE SHALL BE EXCAVATED 2-INCHES BELOW THE PROPOSED FINISH GRADE AND FILLED WITH APPROVED SAND MEETING MDOT CLASS II, SAND DESIGNATION.
- CONSTRUCT CONCRETE SURFACE COURSE ONLY WHEN GROUND TEMPERATURE IS ABOVE 35 DEGREES F. AND BASE IS DRY.
- SIDEWALKS SHALL SLOPE TOWARD THE STREET OR AWAY FROM BUILDINGS WITH A REQUIRED CROSS SLOPE OF 1/4-INCH PER FOOT OF WIDTH. IN SOME EXTREME CASES, AS DETERMINED BY THE ENGINEER, THE CROSS-SLOPE MAY BE INCREASED BUT IN NO CASE SHALL IT BE LESS THAN 3/16-INCH PER FOOT OF WIDTH.
- PRIOR TO PLACING THE CONCRETE, ALL DEBRIS, STONES, DIRT, ETC., SHALL BE REMOVED FROM THE SUBGRADE. THE SUBGRADE SHALL BE MOISTENED WITH WATER IN SUCH A MANNER AS TO THOROUGHLY WET THE MATERIAL WITHOUT FORMING PUDDLES OR POCKETS OF WATER. NO CONCRETE SHALL BE PLACED ON FROZEN SUBGRADE.
- FORMS SHALL BE METAL OR WOOD AND OF AN APPROVED SECTION. THEY SHALL BE STRAIGHT, FREE FROM DISTORTION AND SHALL SHOW NO VERTICAL VARIATION GREATER THAN 1/8-INCH IN 10-FOOT LENGTHS FROM THE TRUE PLANE SURFACE ON THE TOP OF THE FORMS WHEN TESTED WITH A 10-FOOT STRAIGHTEDGE, AND SHALL SHOW NO LATERAL VARIATION GREATER THAN 1/4-INCH IN 10- FEET FROM THE TRUE PLANE SURFACE. THE CONSTRUCTION JOINT SHALL BE CUT AND ALL SLAB EDGES ROUNDED WITH A 1/2-INCH RADIUS EDGING TOOL THAT WILL FINISH TO A WIDTH OF 2-INCHES. AFTER THE CONCRETE HAS SLIGHTLY SET, A BROOM SHALL BE BRUSHED LIGHTLY ACROSS THE SURFACE AT RIGHT ANGLES TO FORMS SO AS TO IMPART A ROUGH FINISH.
- CONTRACTION JOINTS SHALL BE PLACED AT RIGHT ANGLES TO THE EDGE OF THE SIDEWALK OR CONCRETE PAVEMENT AND PERPENDICULAR TO THE SURFACE AND AT A DEPTH OF AT LEAST 1/4 THE SLAB THICKNESS WITH A MINIMUM DEPTH OF 1-1/4-INCHES FOR SIDEWALKS AND 3-INCHES FOR CONCRETE PAVEMENT SLABS.
- CONTRACTION JOINTS IN SIDEWALKS SHALL BE SPACED AT A MINIMUM OF EVERY 5- FEET, OR AS SHOWN ON THE PLANS.

CONCRETE CURB, SIDEWALK AND PAVEMENT SPECIFICATIONS, CONTINUED

- ISOLATION PAPERS SHALL BE OF THE PRE-MOLDED, NON-EXTRUDING, ASPHALT IMPREGNATED TYPE, NOT LESS THAN 1/2-INCH THICK. THE LENGTH SHALL BE EQUAL TO THE WIDTH OF THE SLAB, AND THE DEPTH EQUAL TO THE THICKNESS OF THE SLAB PLUS 1-INCH.
 - ISOLATION JOINTS SHALL BE PLACED AT THE FOLLOWING LOCATION FOR SIDEWALKS AND CONCRETE PAVEMENTS:
 - AT THE BACK OF THE CURB AND FRONT EDGE OF THE SIDEWALKS AND PAVEMENT SLABS ADJACENT TO EACH DRIVEWAY APPROACH AND SERVICE WALK.
 - AT INTERVALS NOT TO EXCEED 50- FEET IN ALL PUBLIC SIDEWALKS.
 - AT THE BACK OF THE CURB WHERE THE RAMPS EXTEND FROM THE KEY FLAG TO THE PAVEMENT.
 - BETWEEN THE KEY FLAG AND THE RAMP IN ALL CASES, EXCEPT WHERE THERE ARE EXISTING EXPANSION JOINTS AT THE INTERSECTIONS OF THE SIDEWALKS AND THE KEY FLAG.
 - AT ANY PLACE WHERE A SIDEWALK OR CONCRETE PAVEMENT ABUTS A BUILDING OR FIXED STRUCTURE.
 - AT ANY OTHER LOCATIONS INDICATED ON THE PLAN.
 - CONTRACTION JOINTS IN THE CONCRETE PAVEMENT IN THE LOADING AREA WILL BE AS FOLLOWS:
 - TRANSVERSE JOINTS SHALL BE AT 10-FOOT INTERVALS OR AS SHOWN ON PLANS AND DETAILS.
 - LONGITUDINAL JOINTS SHALL BE AT 12-FOOT INTERVALS OR AS SHOWN ON PLANS AND DETAILS.
 - PRIOR TO APPLYING JOINT SEALER, CLEAN JOINT GROOVE OF FOREIGN MATTER AND LOOSE PARTICLES, AND DRY SURFACE.
- TRAFFIC LANE AND PARKING LOT MARKING**
- PROVIDE ALL MATERIALS, LABOR, EQUIPMENT, AND SERVICES NECESSARY TO COMPLETE ALL TRAFFIC LANE AND PARKING LOT MARKINGS AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
 - WORK INCLUDES, BUT NOT LIMITED TO PAINTING OF LETTERS, MARKINGS, STRIPES AND ISLANDS ON THE PAVEMENT SURFACE APPLIED IN ACCORDANCE WITH THIS SPECIFICATION AND AT THE LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
 - THE PLAN SHALL MEET THE REQUIREMENTS OF FEDERAL SPECIFICATION TT-F-115C(3), WITH OR WITHOUT REFLECTORIZED BEADS AS REQUIRED ON THE PLANS.
 - COLOR SHALL BE AS SPECIFIED ON THE PLANS OR AS FOLLOWS:
 - TRAFFIC LANE STRIPING SHALL BE WHITE OR YELLOW REFLECTORIZED, AS SHOWN ON THE PLANS.
 - TRAFFIC MARKING AND CURB FACES SHALL BE WHITE UNLESS NOTED OTHERWISE.
 - PARKING LOT STRIPING SHALL BE WHITE, UNLESS NOTED OTHERWISE.
 - HANDICAP STALL STRIPING MEETING CURRENT ADA REQUIREMENTS SHALL BE BLUE UNLESS NOTED OTHERWISE.
 - THE PAINTING SHALL BE PERFORMED ONLY WHEN THE EXISTING SURFACE IS DRY AND CLEAN, WHEN THE ATMOSPHERIC TEMPERATURE IS ABOVE 40-DEGREES F. AND WHEN THE WEATHER IS NOT EXCESSIVELY WINDY, DUSTY OR FOGGY.
 - ALL EQUIPMENT FOR THE WORK SHALL BE APPROVED BY THE CONTRACTOR AND SHALL INCLUDE THE APPARATUS NECESSARY TO PROPERLY CLEAN THE EXISTING SURFACE. A MECHANICAL MARKING MACHINE, AND SUCH AUXILIARY HAND PAINTING EQUIPMENT AS MAY BE NECESSARY TO SATISFACTORYLY COMPLETE THE JOB.
 - THE MECHANICAL MARKER SHALL BE AN APPROVED ATOMIZING SPRAY-TYPE MARKING MACHINE SUITABLE FOR APPLICATION OF TRAFFIC PAINT. IT SHALL PRODUCE AN EVEN AND UNIFORM FILM THICKNESS AT THE REQUIRED COVERAGE AND SHALL BE DESIGNED TO FURNISH MARKINGS WHICH SHALL BE UNIFORM CROSS-SECTIONS AND CLEAR-CUT EDGES WITHOUT RUNNING OR SPATTERING AND WITHIN THE LIMITS FOR STRAIGHTNESS SET FORTH HEREIN. WHEN NEEDED, A DISPENSER SHALL BE USED TO FURNISH MARKINGS WHICH SHALL BE CLEANED BY ATTACHMENT TO THE MECHANICAL MARKER AND SUITABLE FOR DISPENSING THE REQUIRED QUANTITY OF REFLECTIVE BEADS.
 - SUITABLE ADJUSTMENTS SHALL BE PROVIDED ON THE SPRAYER/SPRAYERS OF A SINGLE MACHINE OR BY FURNISHING ADDITIONAL EQUIPMENT FOR PAINTING THE WIDTH REQUIRED.
 - IMMEDIATELY BEFORE APPLICATION OF THE PAINT, THE EXISTING SURFACE SHALL BE DRY AND ENTIRELY FREE FROM DIRT, GREASE, OIL, ACIDS, DEBRIS, OR OTHER FOREIGN MATTER WHICH WOULD REDUCE THE BOND BETWEEN THE COAT OF PAINT AND THE PAVEMENT. THE SURFACE SHALL BE THOROUGHLY CLEANED BY SWEEPING AND BLOWING AS REQUIRED TO REMOVE ALL DIRT, DEBRIS AND LOOSE MATERIALS. AREAS WHICH CANNOT BE SATISFACTORYLY CLEANED BY BROOMING AND BLOWING SHALL BE SCRUBBED AS DIRECTED WITH A WATER SOLUTION OF TRI-SODIUM PHOSPHATE (10%Na3PO4 BY WEIGHT) OR AN APPROVED EQUAL SOLUTION. AFTER SCRUBBING, THE SOLUTION SHALL BE RINSED OFF AND THE SURFACE DRIED PRIOR TO PAINTING.
 - EXISTING MARKINGS OR STRIPES WHICH ARE TO BE ABANDONED OR REMOVED SHALL BE OBLITERATED OR OBLURRED BY THE BEST METHODS SUITED FOR THE PURPOSE AND TO THE SATISFACTION OF THE OWNER OR OWNERS REPRESENTATIVE.
 - THE CONTRACTOR IS RESPONSIBLE FOR LAYING OUT A SAMPLE SECTION OF STRIPING WHICH IS TO BE APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE TO QUALITY BEFORE THE CONTRACTOR MAY PROCEED WITH THE STRIPING. THE CONTRACTOR IS TO INSURE THAT ALL SUBSEQUENT STRIPING MEETS THE QUALITY OF THE APPROVED SAMPLE APPLICATION.
 - ON THOSE SECTIONS OF PAVEMENTS WHERE NO PREVIOUSLY APPLIED FIGURES, MARKINGS, OR STRIPES ARE AVAILABLE TO SERVE AS A GUIDE, SUITABLE LAYOUTS AND LINES OF PROPOSED STRIPES SHALL BE SPOTTED IN ADVANCE OF THE PAINT APPLICATION. CONTROL POINTS SHALL BE SPACED AT SUCH INTERVALS AS WILL ENSURE ACCURATE LOCATION OF ALL MARKINGS.
 - THE CONTRACTOR SHALL PROVIDE AN EXPERIENCED TECHNICIAN TO SUPERVISE THE LOCATION ALIGNMENT, LAYOUT, DIMENSIONS AND APPLICATION OF THE PAINT.
 - MARKINGS SHALL BE APPLIED AT THE LOCATIONS AND TO THE DIMENSIONS AND SPACING INDICATED ON THE PLANS OR AS SPECIFIED. PAINT SHALL NOT BE APPLIED UNTIL THE INDICATED ALIGNMENT IS LAID OUT AND THE CONDITIONS OF THE EXISTING SURFACE HAVE BEEN APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.
 - THE PAINT SHALL BE MIXED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BEFORE APPLICATION. THE PAINT SHALL BE THOROUGHLY MIXED AND APPLIED TO THE SURFACE OF THE PAVEMENT WITH THE MARKING MACHINE AT ITS ORIGINAL CONSISTENCY WITHOUT THE ADDITION OF THINNER. IF THE PAINT IS NOT APPLIED BY BRUSH, THE SURFACE SHALL BE FREED OF TWO (2) COATS OF THE FIRST COAT SHALL BE THOROUGHLY DRY BEFORE THE SECOND COAT IS APPLIED.
 - A MINIMUM OF ONE (1) WEEK SHALL ELAPSE BETWEEN APPLICATION OF THE BITUMINOUS SEAL COAT, SLURRY SEAL OR THE PLACEMENT OF THE BITUMINOUS SURFACE COURSE AND THE MARKING OF THE PAVEMENT. THE PAINT SHALL NOT BLEED EXCESSIVELY, CURL, OR DISCOLOR WHEN APPLIED TO BITUMINOUS OR CONCRETE SURFACES.
 - IN THE APPLICATION OF STRAIGHT STRIPES, ANY DEVIATION IN THE EDGES EXCEEDING 1/2-INCH IN 50- FEET SHALL BE OBLITERATED AND THE MARKING CORRECTED. THE WIDTH OF THE MARKINGS SHALL BE AS DESIGNATED WITHIN A TOLERANCE OF 5 PERCENT (5%). ALL PAINTING SHALL BE PERFORMED TO THE SATISFACTION OF THE OWNER OR OWNERS REPRESENTATIVE BY COMPETENT AND EXPERIENCED EQUIPMENT OPERATORS, LABORERS, AND ARTISANS IN A NEAT AND WORKMANLIKE MANNER.
 - PAINT SHALL BE APPLIED UNIFORMLY BY SUITABLE EQUIPMENT AT A RATE OF 0.0094 GAL./S.F. FOR STENCILS AND 0.00313 GAL./FT. FOR STRIPING. THE PAINT APPLICATION SHALL PRODUCE AN AVERAGE WET FILM THICKNESS OF 0.015-INCHES.
 - AFTER APPLICATIONS OF THE PAINT, ALL MARKINGS SHALL BE PROTECTED WHILE THE PAINT IS DRYING. THE FRESH PAINT SHALL BE PROTECTED FROM INJURY OR DAMAGE OF ANY KIND. THE CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE AND SHALL ERECT OR PLACE SUITABLE WARNING SIGNS, FLAGS, OR BARRICADES, PROTECTIVE SCREENS OR COVERINGS AS REQUIRED. ALL SURFACES SHALL BE PROTECTED FROM DISFIGURATION BY SPATTER, SPLASHES, SPILLAGE, DRIPPINGS OF PAINT OR OTHER MATERIAL.

ISSUE DATE:	7/29/2019
REVISIONS	9/25/2019 10/08/2019

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plant material list

key	quant. LS-1	botanical name	common name	size	comments
LARGE AND SMALL TREES					
APC	1	ACER P. 'CRIMSON KING'	CRIMSON KING NORWAY MAPLE	3" BB	
TC	2	TILIA C. 'CHANCELLOR'	CHANCELLOR LINDEN	3" BB	
ARA	8	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG MAPLE	3" BB	
AC	3	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	10" BB	MULTI-STEM
MS	3	MALUS SARGENTII	SARGENT CRABAPPLE	2" BB	
PA	4	PICEA ABIES	NORWAY SPRUCE	8" BB	
PAL	3	PICEA ABIES	NORWAY SPRUCE	10" BB	
SHRUBS					
HA	4	HYDRANGEA ANNABELLE	ANNABELLE HYDRANGEA	3" CONT.	
HL	4	HYDRANGEA M. 'LINDSEY ANN'	LA DREAMIN HYDRANGEA	3" CONT.	
HE	5	HYDRANGEA M. 'GLOWING EMBERS'	GLOWING EMBERS HYDRANGEA	3" CONT.	
LV	56	LIGUSTRUM X. VICARYI	GOLDEN VICARY PRIVET	3" BB	42" O.C. SPACING
EA	1	EUCONYMUS A. 'COMPACTA'	DWARF BURNINGBUSH	3" CONT.	
RAG	6	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	3" CONT.	36" O.C. SPACING
RA	16	RYBES CURRANT	ALPINE CURRANT	3" CONT.	36" O.C. SPACING
TO	9	THUJA OCCIDENTALIS 'SMARGARD'	EMERALD GREEN ARBORVITAE	6" BB	36" O.C. SPACING
VM	1	VIBURNUM XB. MOHAUK'	MOHAUK VIBURNUM	3" BB	
PERENNIALS AND GRASSES					
NEP	11	NEPETA X. FAASSENII 'JUNIOR WALKER'	JUNIOR WALKER NEPETA	4" CONT.	
SED	12	SEDUM SPECTABILE 'NEON'	NEON SEDUM	4" CONT.	
GD	225	GERANIUM 'DILY'S'	DILY'S HARDY GERANIUM	8" FLAT	10" O.C. SPACING
POK	34	PENNISETUM ORIENTALE 'KARLEY ROSE'	KARLEY ROSE ORIENTAL FOUNTAIN GRASS	3" CONT.	36" O.C. SPACING
PAB	8	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	4" CONT.	12" O.C. SPACING

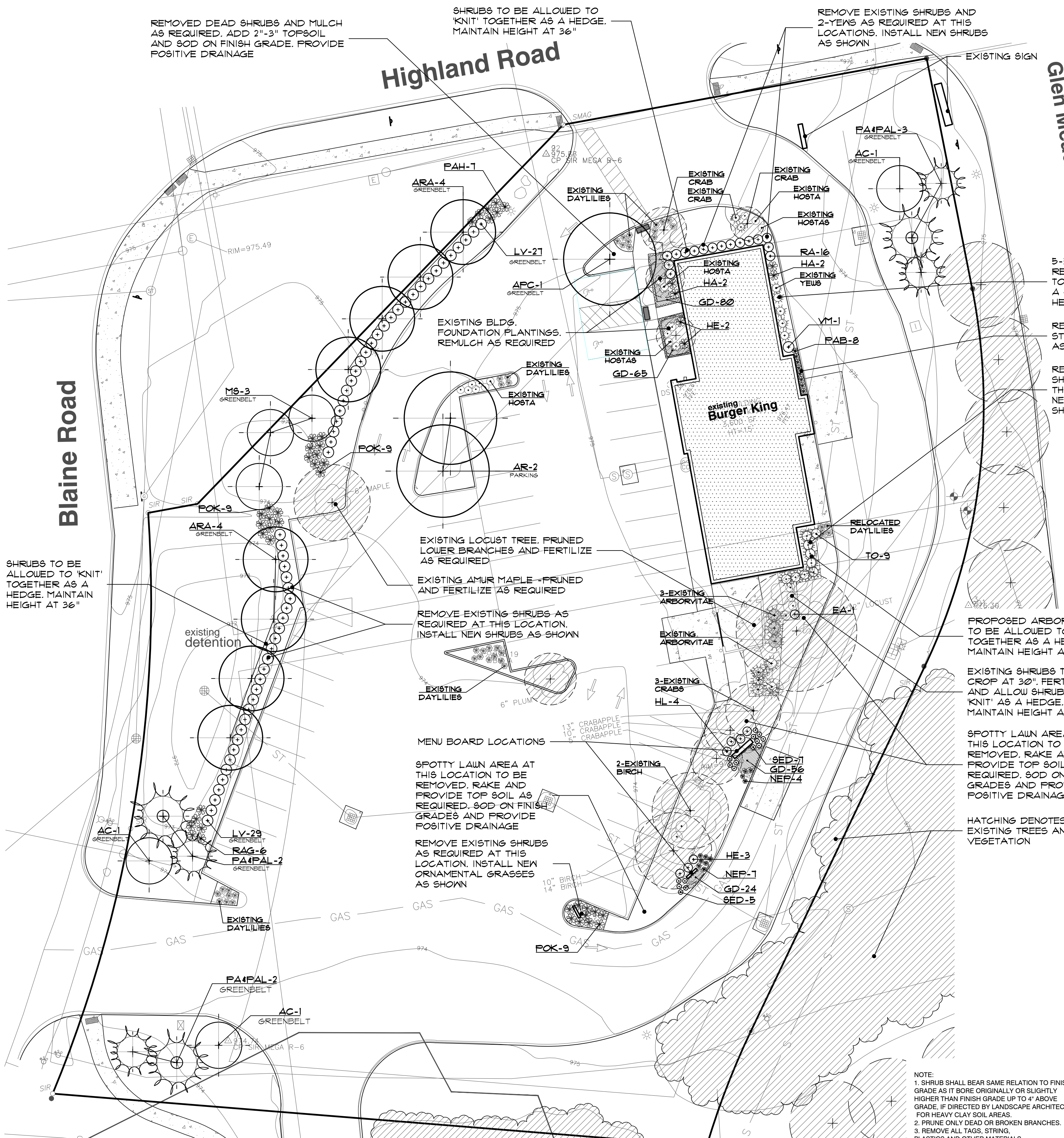
general landscape notes:

- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING CONDITIONS, REVIEW PROPOSED PLANTINGS AND RELATED WORK. CONTACT THE OWNER AND/OR LANDSCAPE ARCHITECT WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLAN, PLANT MATERIAL LIST, AND/OR SITE CONDITIONS.
- PRIOR TO BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES, GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING.
- NUMERICAL VALUE ON THE LANDSCAPE QUANTITIES SPECIFIED ON THE PLAN TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY ANY CONCERN/DISCREPANCY WITH LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON SITE IF NECESSARY.
- ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY HARTLAND TOWNSHIP AND LANDSCAPE ARCHITECT.
- ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED AS DETAILED, SHOWN ON PLAN.
- PLANT BEDS TO BE DRESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARD BARK MULCH.
- DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.
- NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS.
- REMOVE ALL TWINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE WITH 3" FULLED AWAY FROM TRUNK. 4" THICK BARK MULCH FOR SHRUBS AND 4" THICK BARK MULCH FOR PERENNIALS.
- PLANT MATERIAL QUALITY 4 INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSESMEN LANDSCAPE STANDARDS.
- ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS:
 - SHADE TREES 5 FT.
 - SMALL TREES AND EVERGREEN TREES (CRAB, PINE, SPRUCE, ETC.) 10 FT.
 - SHRUBS THAT ARE LESS THAN 1 FOOT TALL AND WIRE PLANTING 2 FT.
- NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.
- WATERING OF ALL PLANTS AND TREES TO BE PROVIDED IMMEDIATELY AND MULCHING WITHIN 24 HOURS AFTER INSTALLATION.
- ALL TREE PITS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO TREE PLANTING. PROVIDE APPROPRIATE DRAINAGE SYSTEM AS REQUIRED IF THE TREE PIT DOES NOT DRAIN SUFFICIENTLY.

- PROVIDE IRRIGATION NEW MENU BOARD ISLAND AS REQUIRED AND REALIGN EXISTING IRRIGATION TO PROVIDE IRRIGATION COVERAGE TO NEW LANDSCAPE BEDS AND LAWN AREAS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANT MATERIALS AND IRRIGATION INSTALLATION FOR A PERIOD OF TWO YEAR BEGINNING AFTER THE COMPLETION OF LANDSCAPE INSTALLATION DATE APPROVED BY THE CITY OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE DURING AND AT THE END OF THE GUARANTEE PERIOD, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE CITY OR LANDSCAPE ARCHITECT, WITHOUT COST TO THE OWNER.

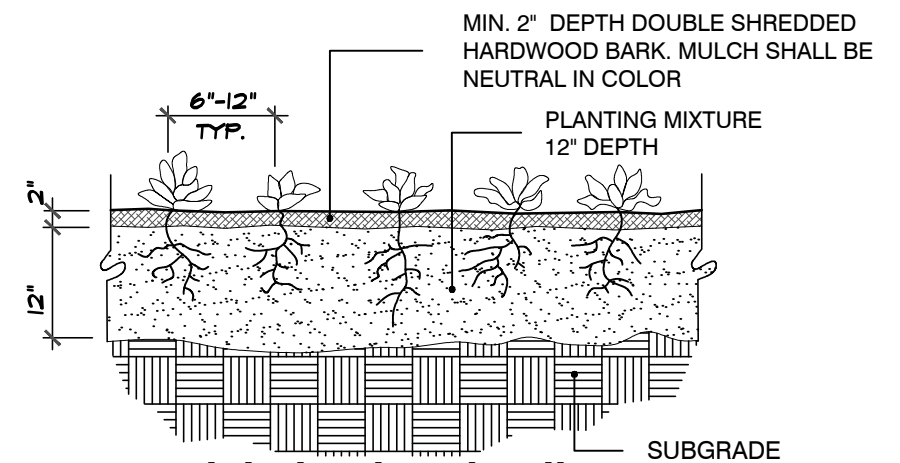
landscape requirements:

greenbelt	REQUIRED	PROVIDED
TOTAL LIN.FT. OF HIGHLAND ROAD FRONTAGE	197±	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 30'	7	7
(197 / 30' = 6.56 TREES)		
THREE (3) ORNAMENTAL TREES OR LARGE SHRUBS FOR THE FIRST 40' PLUS 1-ORNAMENTAL TREE OR LARGE SHRUB PER 20' FOR FRONTAGE BALANCE	11	11+
(197-40' = 157' / 20' = 7.85 ORNAMENTAL TREES + 3-ORNAMENTAL TREES) = 10.85 TREES		
TOTAL LIN.FT. OF BLAINE ROAD FRONTAGE	260±	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 30'	9	9
(260 / 30' = 8.67 TREES)		
THREE (3) ORNAMENTAL TREES OR LARGE SHRUBS FOR THE FIRST 40' PLUS 1-ORNAMENTAL TREE OR LARGE SHRUB PER 20' FOR FRONTAGE BALANCE	14	14+
(260-40' = 220' / 20' = 11 ORNAMENTAL TREES OR SHRUBS + 3-ORNAMENTAL TREES OR SHRUBS) = 14		
building foundation	REQUIRED	PROVIDED
60% OF THE FRONT AND SIDES OF BLDGS. LENGTH (266' (BLDG. FRONT AND SIDES LENGTH) X 6 = 159.6)	159.6	
ONE (1) ORNAMENTAL TREE PER 30'	5	EXISTING
(159.6 / 30' = 5.32)		
6 (SIX) MEDIUM SHRUBS OR 8 (EIGHT) SMALL SHRUBS PER 30'	32	32-EXISTING
(159.6 / 30' = 5.32 X 6 SHRUBS = 31.92 SHRUBS)		
parking	REQUIRED	PROVIDED
TOTAL NO. OF PARKING SPACES PROVIDED	44	
ONE (1) 3" DECIDUOUS OR EVERGREEN TREE PER 15-SPACES (44-SPACES / 15 SPACES = 3.3 TREES)	3	2-EXISTING
SHRUBS HEDGE ALONG PUBLIC ROAD		PROVIDED



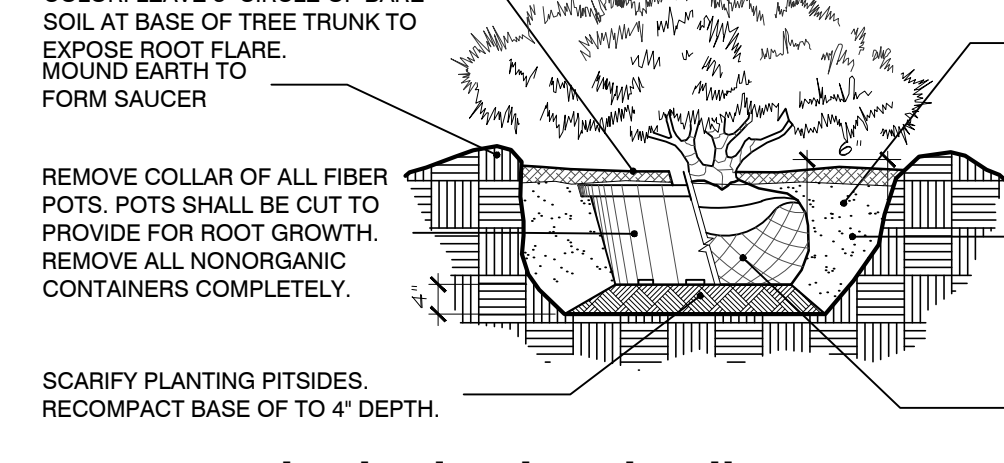
planting detail

SCALE: 1" = 20'-0"



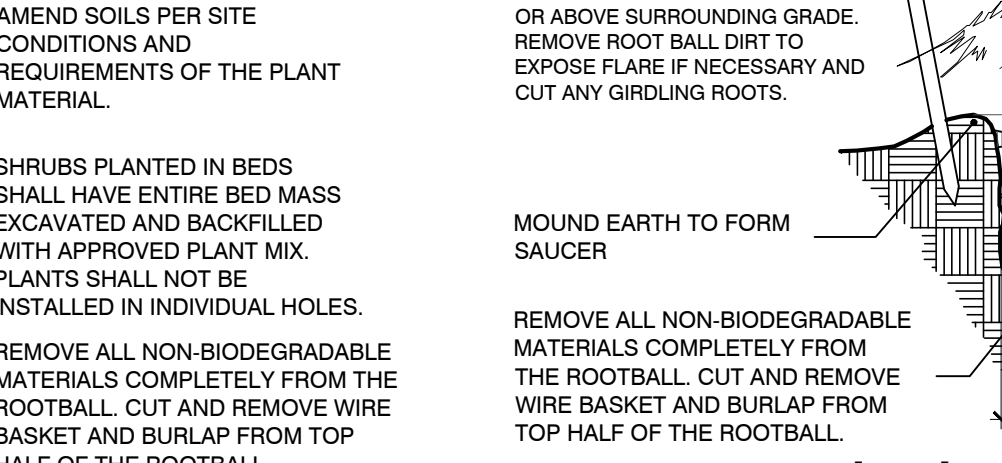
perennial planting detail
no scale

MULCH 4" DEPTH WITH SHREDDED HARDWOOD BARK. NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK TO EXPOSE ROOT FLARE. ROUND EARTH TO FORM SAUCER



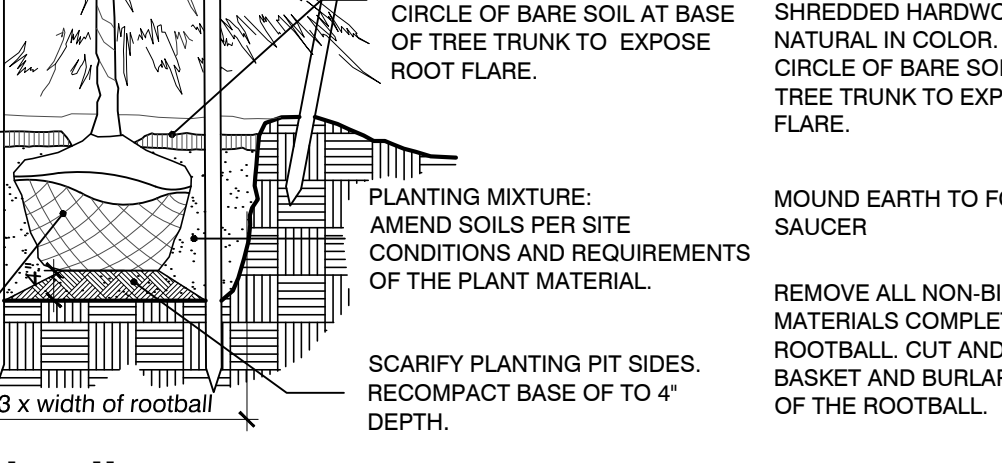
shrub planting detail
no scale

PLANT TREE SO ROOT FLARE IS AT OR ABOVE SURROUNDING GRADE. REMOVE ROOT BALL DIRT TO EXPOSE FLARE IF NECESSARY AND CUT ANY GIRDLING ROOTS.



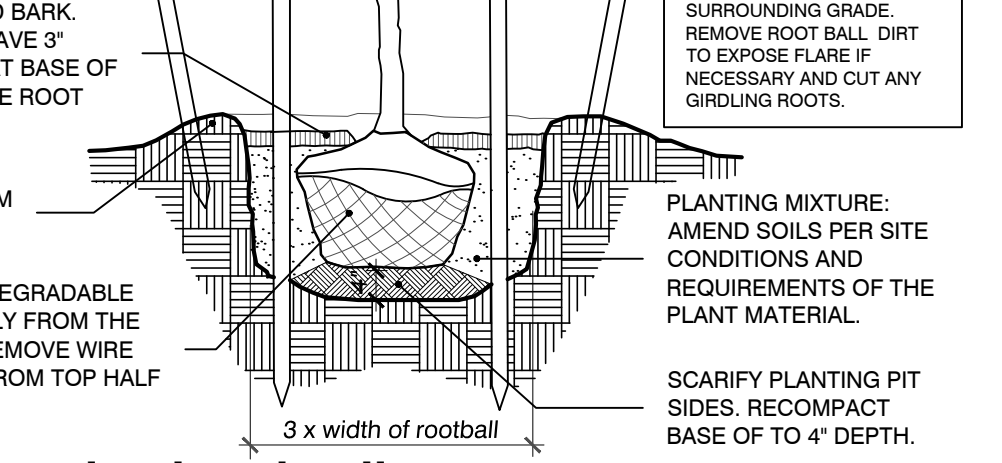
evergreen planting detail
no scale

MULCH 4" DEPTH WITH SHREDDED HARDWOOD BARK. NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK TO EXPOSE ROOT FLARE.



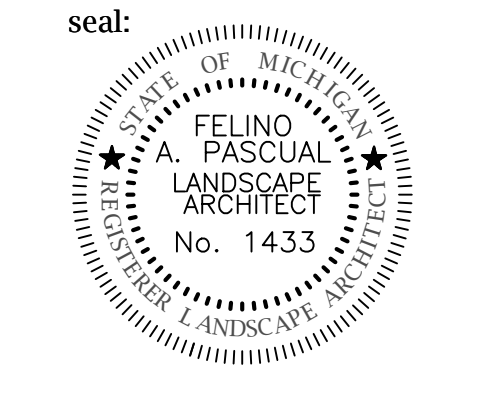
tree planting detail
no scale

MULCH 4" DEPTH WITH SHREDDED HARDWOOD BARK. NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK TO EXPOSE ROOT FLARE.



tree planting detail
no scale

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 968 JAMES STREET
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project:
BURGER KING (HARTLAND TWP.)

project location:
 10382 Highland Road
 Hartland, Michigan
 48353

sheet title:
LANDSCAPE IMPROVEMENT PLAN

job no./issue/revision date:
 LS19.100.08 REV 8-13-2019
 LS19.100.08 SPA 8-28-2019
 LS19.100.08 SPA 9-30-2019
 LS19.100.10 SPA 10-2-2019

drawn by:
JP
 checked by:
FP
 date:
8-8-2019
 notice:
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 Do Not scale drawings. Use figured dimensions only



The location and elevations of existing underground utilities as shown on this drawing are only approximate. no guarantee is either expressed or implied as to the completeness of accuracy. contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction

project no:
LS19.100.08

sheet no:
LS-1



BURGER KING

EXTERIOR & DINING REMODEL

10382 HIGHLAND ROAD HARTLAND, MI 48353

SHEET INDEX

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A-1.2	ROOF PLAN
A-2.0	REFLECTED CEILING PLAN
A-2.1	LIGHTING SCHEDULE
A-3.0	DEMO AND NEW EXTERIOR ELEVATIONS
A-3.1	DEMO AND NEW EXTERIOR ELEVATIONS
A-3.2	DEMO AND NEW EXTERIOR ELEVATIONS
A-4	EXTERIOR FINISH SCHEDULE
A-5	WALL SECTIONS
A-5.1	WALL SECTIONS
A-5.2	WALL SECTIONS
A-5.3	WALL SECTIONS
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E-2	SCHEDULE AND DETAILS
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E-4	ENERGY COMPLIANCE CERTIFICATE

GENERAL NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DRAWINGS PRIOR TO SUBMITTING A BID. REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO BID.
- THESE DOCUMENTS ARE BASED UPON PHOTO TYPE DRAWINGS AND OTHER INFORMATION PROVIDED BY THE OWNER AS WELL AS NON-INVASIVE SITE VISITS. THE DRAWINGS INCLUDE ONLY THOSE ELEMENTS AND SYSTEMS EXPOSED TO VIEW AND HAVE NOT BEEN FIELD VERIFIED. THE CONSTRUCTION DOCUMENTS HAVE BEEN PRODUCED WITHOUT THE BENEFIT OF KNOWLEDGE OF THE EXACT EXISTING STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING BUILDING ELEMENTS AND SYSTEMS, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK. REVIEW THE CONTRACT DOCUMENTS AND NOTIFY THE ARCHITECT OF ANY CONFLICTS AND/OR DISCREPANCIES PRIOR TO BID. THE SUBMISSION OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT OR MATERIALS REQUIRE, OR FOR ANY DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION BEEN MADE, WILL NOT BE ALLOWED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES ENCOUNTERED ON THE PLANS OR IN EXISTING SITE CONDITIONS PRIOR TO SUBMISSION OF BID.
- CONTRACTOR, DURING PRE-BID SITE VISIT, SHALL TAKE NOTICE OF ANY VISUALLY APPARENT CODE VIOLATIONS AND ALLOW IN HIS/HER BID FOR CORRECTING SUCH VIOLATIONS.
- CONTRACTORS ARE CAUTIONED TO COORDINATE ITEMS IN THEIR SCOPE OF WORK WITH OTHER TRADES.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS AND/OR DISCREPANCIES DISCOVERED DURING DEMOLITION AND CONSTRUCTION PHASES OF THE PROJECT.
- THESE NOTES APPLY TO ALL SHEETS.

CODE / PROJECT DATA

CONSTRUCTION CLASSIFICATION: TYPE V-B - UNPROTECTED

BUILDING CODE: 2015 MICHIGAN BUILDING CODE
 PLUMBING CODE: 2015 MICHIGAN PLUMBING CODE, 2015 IPC
 ELECTRICAL CODE: 2014 NATIONAL ELECTRIC CODE
 MECHANICAL CODE: 2015 MICHIGAN MECHANICAL CODE, 2015 IMC
 FIRE CODE: 2015 INTERNATIONAL FIRE CODE
 ACCESSIBILITY CODE: MICHIGAN BARRIER FREE CODE (ICC/ANSI 117.1 2009) AND CHAPTER 11 OF THE 2015 MICHIGAN BUILDING CODE
 ENERGY CODE: 2015 MICHIGAN UNIFORM CODE, 2015 IECC

BUILDING OCCUPANT LOAD BASIS: SEATING + EMPLOYEES 90
 OCCUPANCY GROUP: ASSEMBLY, SMALL A-2

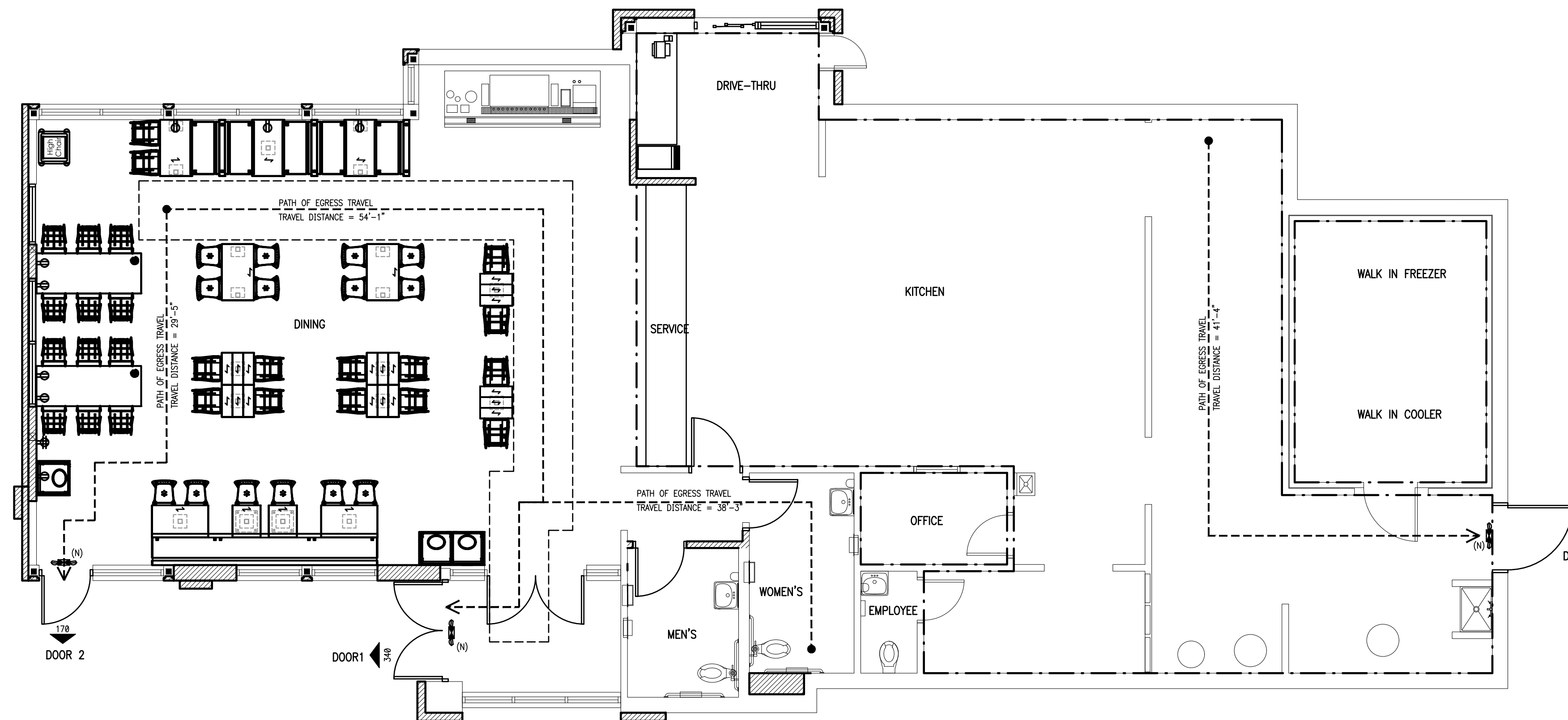
OCCUPANCY LOAD:
 DINING: FIXED SEATING (BY COUNT) 63
 LOOSE SEATING 15 = 0
 KITCHEN 87 S.F. / 200 = 7
 OFFICE 52 S.F. / 100 = 1
 STORAGE 193 S.F. / 300 = 1
 TOTAL 90

SNOW LOAD: 25 PSF
 WIND SPEED: 115 MPH

SPRINKLER SYSTEM: YES NO

EXITS
 DINING AREA
 DOOR 1 @ 6'-0" = 68"
 DOOR 2 @ 3'-0" = 34"
 DOOR 3 @ 4'-0" = 46"
 148" - ACTUAL EXIT WIDTH

90 X .2" PER OCCUPANT = 18" REQ'D EXIT WIDTH



LOCATION MAP



LIFE SAFETY KEY

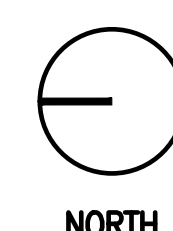
- 44" WIDE PRIMARY PATH OF EGRESS
- EXIT ACCESS TRAVEL DISTANCE
- EXISTING KITCHEN
- DINING ROOM
- EMERGENCY/EXIT SIGN (E) INDICATES EXISTING TO REMAIN (N) INDICATES NEW
- NUMBER INDICATES OCCUPANT EGRESS CAPACITY OF DOOR

LIFE SAFETY NOTES

- GENERAL CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS PER BURGER KING SPECIFICATIONS IN LOCATIONS NO FURTHER THAN 75' FROM ANY LOCATION IN THE CUSTOMER SERVICE AREA. FINAL LOCATIONS AS DIRECTED BY THE FIRE MARSHALL PER SECTION 906.
- FURNITURE LAYOUT IS NOT IN WORK SCOPE. LIFE SAFETY COORDINATION BASED ON PHOTO TYPICAL LAYOUT ONLY.
- PER THE 2015 MICHIGAN BUILDING CODE, MAXIMUM EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 200 FEET.

LIFE SAFETY PLAN

1/8" = 1'-0"



SYMBOLOLOGY / LEGEND

- ELEVATION NUMBER
- SHEET NUMBER
- DETAIL, SECTION OR OR PLAN NUMBER
- WALL SECTION NUMBER, BUILDING SECTION LETTER
- DETAIL NUMBER
- SHEET NUMBER
- NOTE NUMBER
- WINDOW NUMBER
- DOOR NUMBER
- REVISION NUMBER
- INTERIOR FINISH NUMBER
- EXTERIOR FINISH NUMBER/ INTERIOR PARTITION
- ROOM NAME
- ROOM NUMBER
- EQUIPMENT NUMBER
- ELEV. DATUM POINT
- NEW COLUMN GRID NUMBER OR LETTER
- EXISTING COLUMN GRID NUMBER OR LETTER

ABBREVIATIONS

AC	AIR CONDITIONING	FF	FINISH FLOOR	REBAR	REINFORCING BAR
AFF	ABOVE FINISH FLOOR	FR	FIRE RATED	REF	REFERENCE
AHU	AIR HANDLING UNIT	GALV	GALVANIZED	REIN	REINFORCE
AL	ALUMINUM	GYPBD	GYPSONUM BOARD	REQ'D	REQUIRED
ASPH	ASPHALT	HC	HANDICAPPED	RO	ROUGH OPENING
AT	ALUMINUM THRESHOLD	HDW	HARDWARE	SB	SPLASHBLOCK
BD	BOARD	HM	HOLLOW METAL	SHLVS	SHELVES
BLKT	BLANKET	HVAC	HEATING, AIR CONDITIONING, & VENT	SIM	SIMILAR
CJ	CONTROL JOINT	INFO	INFORMATION	SS	SPECIFICATION
CLG	CEILING	INSUL	INSULATION	SS	STAINLESS STEEL
CMU	CONCRETE MASONRY UNIT	LAC	LAY-IN ACOUSTICAL CEILING	STL	STEEL
COL	COLUMN	MAS	MASONRY	STOR	STORAGE
CONC	CONCRETE	MAX	MAXIMUM	SUSP	SUSPENDED
CONT	CONTINUOUS	MECH	MECHANICAL	T	TREAD
CPT	CARPET	MFR / MFR	MANUFACTURER	TELE	TELEPHONE
CT	CERAMIC TILE	MIN	MINIMUM	TPD	TOILET PAPER DISPENSER
C/L	CENTER LINE	MO	MASONRY OPENING	TYP	TYPICAL
DBL	DOUBLE	MR	MIRROR/MOISTURE RESISTANT	UNO	UNLESS NOTED OTHERWISE
DF	DRINKING FOUNTAIN	MT	MARBLE THRESHOLD	VCT	VINYL COMPOSITION TILE
DIA	DIAMETER	MTL	METAL	VERT	VERTICAL
DIM	DIMENSION	NA	NOT APPLICABLE	VT	VINTL THRESHOLD
DN	DOWN	NIC	NOT IN CONTRACT	WC	WATER CLOSET
DS	DOWN SPOUT	NOM	NOMINAL	WD	WOOD
EA	EACH	NTS	NOT TO SCALE	WP	WATERPROOF
EJ	EXPANSION JOINT	OC	ON CENTER	WWF	WELDED WIRE FABRIC
ELEC	ELECTRICAL	OPP	OPPOSITE	W/	WITH
ELEV	ELEVATION	PLYWD	PLYWOOD		
EQ	EQUAL	PREFAB	PREFABRICATED		
EXIST	EXISTING	PSF	POUNDS PER SQUARE FOOT		
FD	FLOOR DRAIN	PT	PAIN / PRESSURE TREATED		
FE	FIRE EXTINGUISHER	QT	QUARRY TILE		
		R	RISER/RADIUS		

REVISION ISSUE LOG

REV #	ISSUE DATE	DESCRIPTION	AFFECTED SHEETS	REMARKS	BY
1	09/27/19	TOWNSHIP COMMENTS	A-0, A-1.2, A-3.0, A-3.1, A-3.2, A-5, A-5.1, A-5.2, A-5.3, A-5.4, A-5.5, S2.0 & S3.0		JMA

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CHECKED BY: DA
 DRAWN BY: MM
 DATE: 06.21.19

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IP# 2019.2190
 CC# 1019
 BK-2500
 TITLE SHEET AND CODE REVIEW
 T-1
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ENTRANCES / DOORS:

- PROVIDE METALLIC SIGN OVER EACH STOREFRONT DOOR STATING: "THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS". LETTERS SHALL NOT BE LESS THAN 1-INCHES HIGH ON A CONTRASTING BACKGROUND. THE SIGN SHALL BE INSTALLED BY THE GENERAL CONTRACTOR ON THE STOREFRONT ALUMINUM HEADER FRAME.
- WHERE NOT ALL ENTRANCES ARE ACCESSIBLE, THOSE THAT ARE SHALL BE IDENTIFIED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) SYMBOL, WITH DIRECTIONAL SIGNAGE FROM NOT ACCESSIBLE ENTRANCES AS NECESSARY.
- EVERY REQUIRED ENTRANCE OR PASSAGE DOORWAY SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 3 FEET IN WIDTH AND NOT LESS THAN 6 FEET-8 INCHES IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE SO MOUNTED THAT THE CLEAR WIDTH OF DOORWAY IS NOT LESS THAN 32-INCHES.
- WHERE PAIR OF DOORS IS UTILIZED AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32-INCHES WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
- LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF WRIST TO OPERATE. PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE ARE ALLOWABLE.
- HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE INSTALLED WITH OPERABLE PART BETWEEN 34-INCHES MIN AND 48-INCHES MAX. ABOVE THE FLOOR.
- THE FLOOR AND LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR. THE LEVEL AND CLEAR AREA SHALL HAVE A LENGTH OF 60 INCHES IN THE DIRECTION OF TRAVEL AND THE LENGTH OF 48 INCHES IN OPPOSITE DIRECTION OF TRAVEL. SEE DIAGRAM "MANEUVERING CLEARANCE".
- THE WIDTH OF THE LEVEL AND CLEAR AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 24-INCHES PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18-INCHES PAST THE STRIKE EDGE FOR THE INTERIOR DOORS.
- THE FLOOR OR LANDING SHALL BE NOT MORE THAN 1/2-INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4- INCH AND 1/2-INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
- THE BOTTOM 10-INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10-INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSHED SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- A NARROW FRAME WITH A BEVELED TOP (30 DEGREES MAX. BEVEL TO VERTICAL PLANE) INSTALLED AT THE BOTTOM OF THE GLASS DOOR (WITH NO SIDE FRAMES) MAY BE USED IN LIEU OF PROVIDING THE REQUIRED 10-INCH UNINTERRUPTED SURFACE AT THE BOTTOM OF THE DOOR.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. FOR INTERIOR DOORS. SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS.

CORRIDORS AND AISLE:

- FLOOR SURFACES SHALL BE SLIP-RESISTANT.
- EVERY PORTION OF EVERY BUILDING IN WHICH ARE INSTALLED SEATS, TABLES, MERCHANDISE, EQUIPMENT OR SIMILAR MATERIALS SHALL BE PROVIDED WITH AISLES LEADING TO AN EXIT.

SANITARY FACILITIES:

- ACCESSIBLE SIGN CONTAINING TACTILE CHARACTER SHALL BE PROVIDED AT DOOR. THE SIGN SHALL BE ALONGSIDE THE DOOR ON LATCH SIDE AND AT DOUBLE DOORS, THE SIGN SHALL BE RIGHT OF THE RIGHT HANDED DOOR. THE SIGN CONTAINING TACTILE CHARACTERS SHALL HAVE 18-INCHES MIN BY 18-INCHES MIN. CLEAR FLOOR SPACE LOCATED BEYOND THE ARC OF ANY DOOR SWING AND CENTERED ON THE TACTILE CHARACTERS. THE TACTILE CHARACTERS SHALL BE 48-INCHES MIN AND 60-INCHES MAX FROM BASELINE OF THE TACTILE CHARACTERS ABOVE FLOOR.
- CLEARANCE AROUND THE WATER CLOSET SHALL BE 60-INCHES MIN MEASURED PERPENDICULAR FROM THE SIDEWALL, AND 56-INCHES MIN. MEASURED PERPENDICULAR FROM REAR WALL. NO OTHER FIXTURES OR OBSTRUCTION SHALL BE WITHIN WATER CLOSET CLEARANCE.
- WATER CLOSET COMPARTMENTS SHALL BE EQUIPPED WITH A DOOR THAT HAS AN AUTOMATIC CLOSING DEVICE, WITH DOOR PULL ON BOTH SIDES OF THE DOOR NEAR THE LATCH, AND SHALL HAVE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32-INCHES. DOOR HINGE SHALL BE LOCATED NOT MORE THAN 4-INCHES FROM SIDE WALL. WATER CLOSET COMPARTMENTS SHALL PROVIDE TOW CLEARANCE (9-INCHES HIGH MIN. AND 6-INCHES BEYOND THE COMPARTMENT) AT FRONT AND ONE SIDE PARTITION. THE CLEARANCE IS UNNECESSARY IN COMPARTMENTS: AT FRONT IN COMPARTMENTS GREATER THAN 62-INCHES DEEP FOR WALL HUNG WATER CLOSET/65-INCHES DEEP FLOOR MOUNTED WATER CLOSET, AT SIDE IN COMPARTMENTS GREATER THAN 66-INCHES WIDE.
- EXCEPT FOR DOOR OPENING WIDTH AND DOOR SWINGS, A CLEAR UNOBSTRUCTED ACCESS NOT LESS THAN 42-INCHES SHALL BE PROVIDED TO WATER CLOSET COMPARTMENTS DESIGNED FOR USE BY THE DISABLED. REFER TO MANEUVERING CLEARANCE AT SWINGING DOORS - FIGURE 2 FOR ALTERNATE APPROACHES.
- THE HEIGHT OF ACCESSIBLE WATER CLOSETS SHALL BE A MINIMUM OF 17-INCHES AND A MAXIMUM OF 19-INCHES MEASURED TO THE TOP OF TOILET SEAT.
- TOILET FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. CONTROLS FOR THE FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF THE TOILET AREAS, NO MORE THAN 44-INCHES ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.
- WHERE URINALS ARE PROVIDED, AT LEAST ONE SHALL HAVE A CLEAR SPACE 30-INCHES WIDE X 48-INCHES LONG IN FRONT OF THE URINAL.
- WHERE URINALS ARE PROVIDED, AT LEAST ONE WITH A RIM PROJECTING A MINIMUM OF 13 1/2 INCHES FROM BACK OF FIXTURE TO OUTER FACE OF URINAL RIM AND A MINIMUM OF 17-INCHES ABOVE THE FLOOR SHALL BE PROVIDED.
- A CLEAR FLOOR SPACE 30-INCHES WIDE X 48-INCHES LONG SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW A FORWARD APPROACH. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL EXTEND INTO KNEE AND TOE SPACE UNDERNEATH THE LAVATORY.
- LAVATORIES SHALL BE MOUNTED WITH A CLEARANCE OF AT LEAST 27-INCHES UNDER FROM THE FLOOR WITH KNEE CLEARANCE UNDER THE FRONT LIP EXTENDING A MINIMUM OF 6-INCHES IN DEPTH AT THE TOP. TOE CLEARANCE SHALL BE A MINIMUM OF 9-INCHES HIGH FROM THE FLOOR AND A MINIMUM OF 17-INCHES DEEP FROM THE FRONT OF THE LAVATORY. SEE FIGURE 11
- LAVATORY BOWL SHALL NOT PROJECT AND REDUCE THE CLEAR HEIGHT BELOW THE LAVATORY TO LESS THAN 27-INCHES AT 8-INCHES BACK FROM THE LAVATORY FRONT.
- HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
- FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS. LEVER-OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGN. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

- MIRRORS SHALL BE MOUNTED WITH THE BOTTOM OF THE REFLECTIVE SURFACE NOT MORE THAN 40-INCHES FROM THE FLOOR.
- LOCATE TOWEL, SANITARY NAPKIN, AND WASTE RECEPTACLES WITH ALL OPERABLE PARTS NOT MORE THAN 40-INCHES FROM THE FLOOR.
- LOCATE TOILET TISSUE DISPENSERS ON THE WALL WITHIN 7-9 INCHES IN FRONT OF THE WATER CLOSET MEASURED TO THE CENTERLINE OF THE DISPENSER. THE OUTLET SHALL BE 15 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR, AND SHALL NOT BE LOCATED BEHIND THE GRAB BARS. DISPENSERS SHALL NOT BE OF A TYPE THAT CONTROL DELIVERY, OR DO NOT ALLOW CONTINUOUS PAPER FLOW.

GRAB BARS:

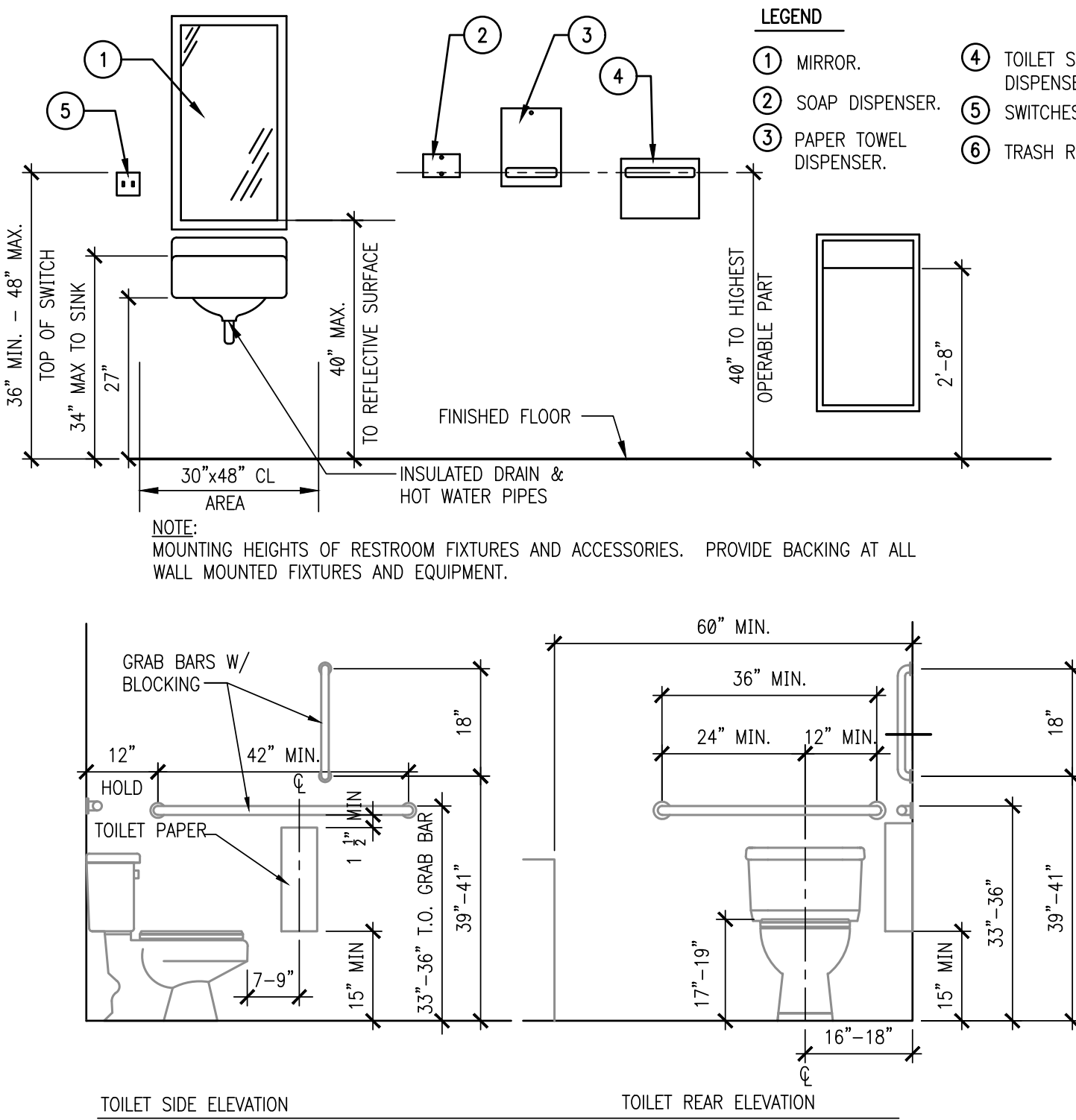
- GRAB BARS, FASTENERS AND MOUNTING DEVICES SHALL BE DESIGNED FOR 250 LBS. PER LINEAR FEET LOAD.
- GRAB BARS SHALL BE LOCATED ON ONE SIDE AND THE BACK OF THE ACCESSIBLE WATER CLOSET AND SHALL BE SECURELY ATTACHED BETWEEN 33-INCHES MIN. ABOVE AND 36-INCHES MAX. TO THE TOP OF THE GRIPPING SURFACE AND PARALLEL TO THE FLOOR.
- GRAB BARS AT THE SIDE SHALL BE AT LEAST 42-INCHES LONG MOUNTED AT 12-INCHES FROM THE REAR WALL AND GRAB BARS AT THE BACK SHALL BE NOT LESS THAN 36-INCHES LONG AND EXTEND FROM THE CENTERLINE OF THE WATER CLOSET 12-INCHES MIN. TO ONE SIDE & 24-INCHES TO THE OTHER.
- THE DIAMETER OR WIDTH OF THE GRIPPING SURFACES OF A GRAB BAR SHALL BE 1-1/4 INCHES TO 1-1/2 INCHES OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- IF THE GRAB BAR IS MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1-1/2 INCHES. SPACE BETWEEN THE GRAB BAR AND PROTRUDING OBJECTS BELOW SHALL BE 1-1/2 INCHES. SPACE BETWEEN THE GRAB BAR AND PROTRUDING OBJECTS ABOVE SHALL BE 12" MIN.
- A GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS.
- GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
- EDGES SHALL HAVE MINIMUM RADIUS OF 1/8-INCH.

TELEPHONES:

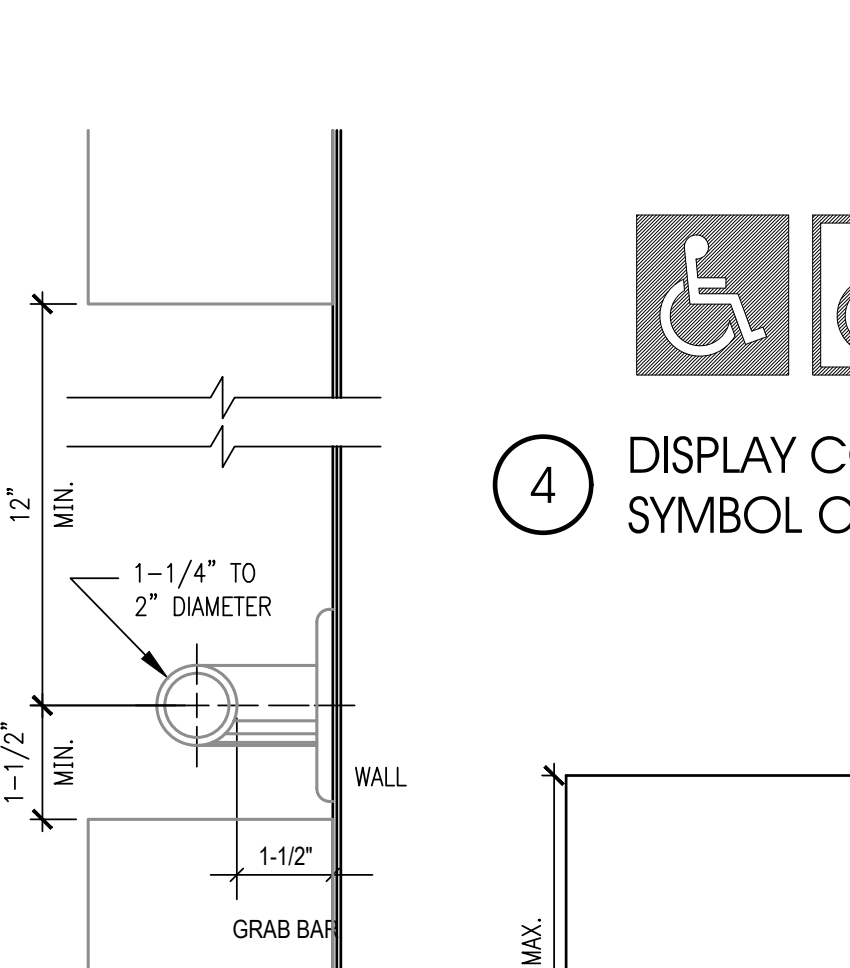
- IF PUBLIC TELEPHONES ARE EXISTING, IT'S THE OWNER'S RESPONSIBILITY TO NOTIFY THE TELEPHONE COMPANY TO GUARANTEE/CERTIFY THAT TELEPHONES ARE ADA COMPLIANT.

ADDITIONAL REQUIREMENTS:

- THE CENTER OF RECEPTACLE OUTLETS SHALL BE NOT LESS THAN 15- INCHES ABOVE THE FLOOR OR WORKING PLATFORMS.
- THE TOP OF ANY OPERATING HANDLE/ SWITCH INTENDED TO CONTROL OR DISPENSE, SHALL BE PER DIAGRAM 12.
- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSONS. THE SYMBOL SPECIFIED ABOVE SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 15090 IN FEDERAL STANDARD 595A.
- AT KITCHEN: SINKS, FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS. LEVER- OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGN. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS FOR AT LEAST 10 SECONDS.



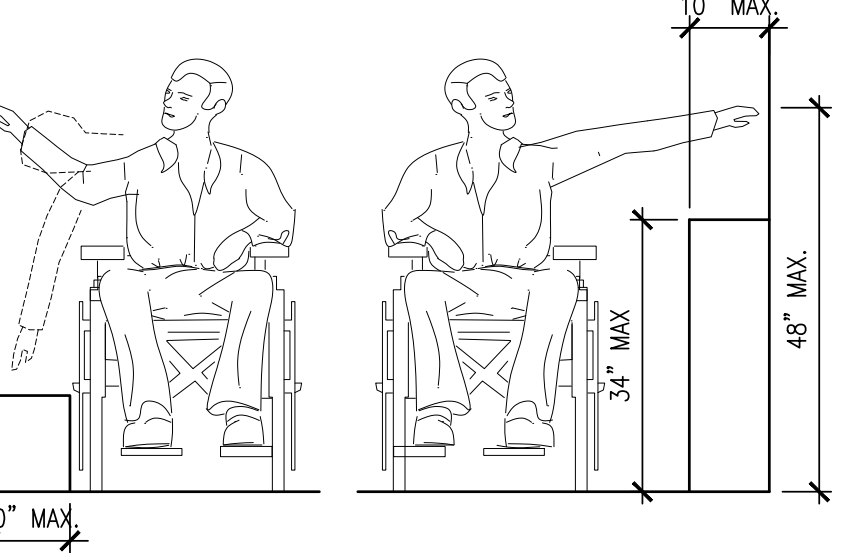
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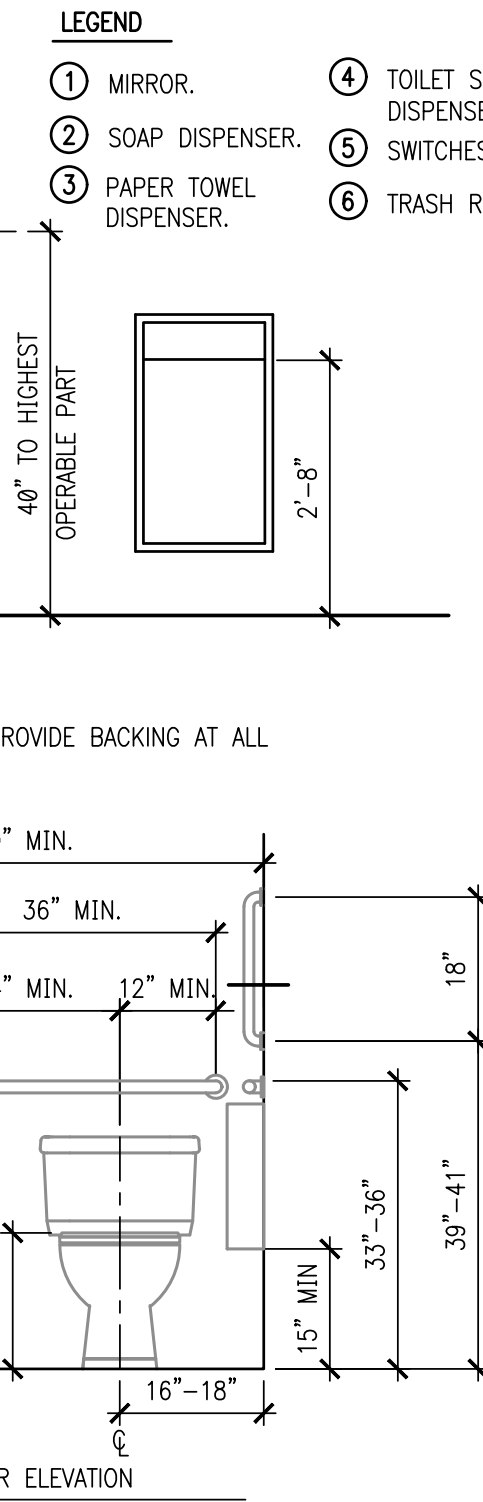
3 GRAB BAR DTL.



4 DISPLAY CONDITIONS INTERNATIONAL SYMBOL OF ACCESSIBILITY



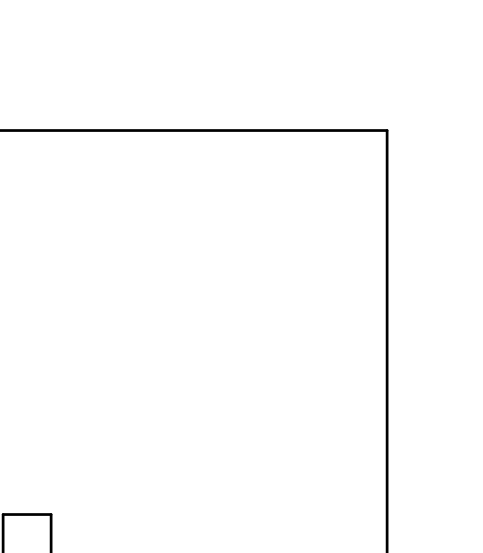
7 CLEAR WIDTH AT TURNS



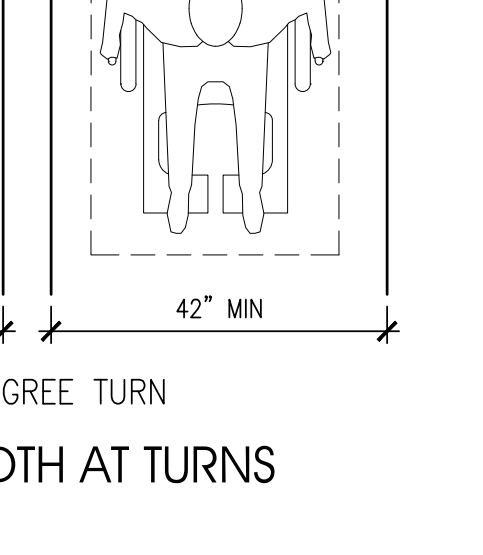
4 KNEE CLEARANCES



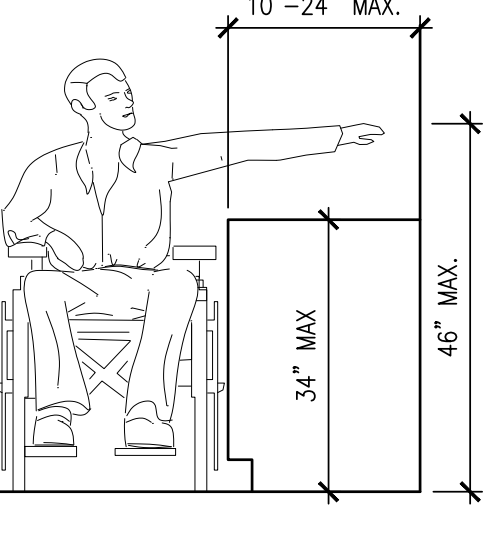
6 ACCESSIBILITY SIGNAGE MOUNTING DETAILS



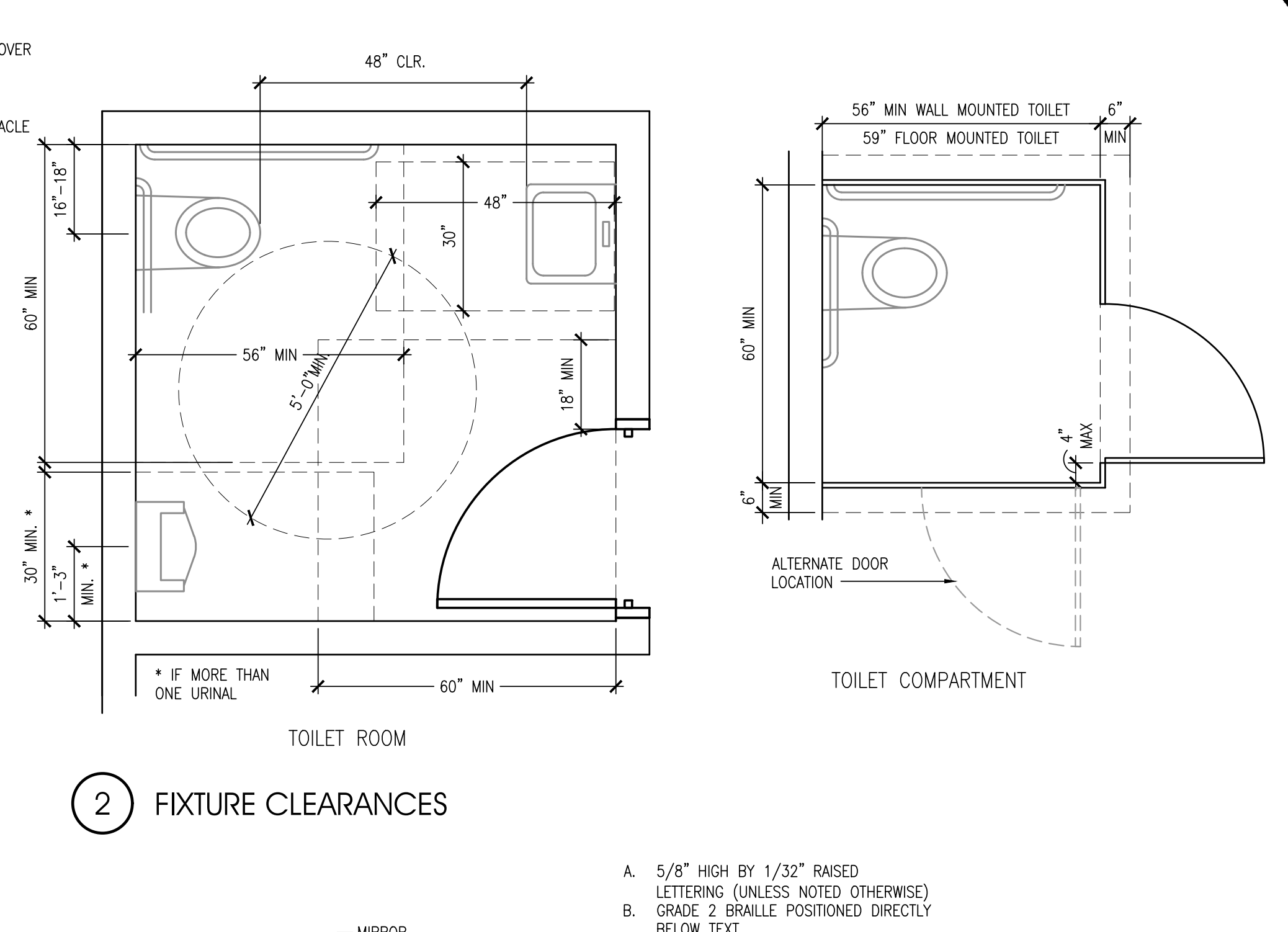
8 MINIMUM CLEARANCES FOR SEATING AND TABLES



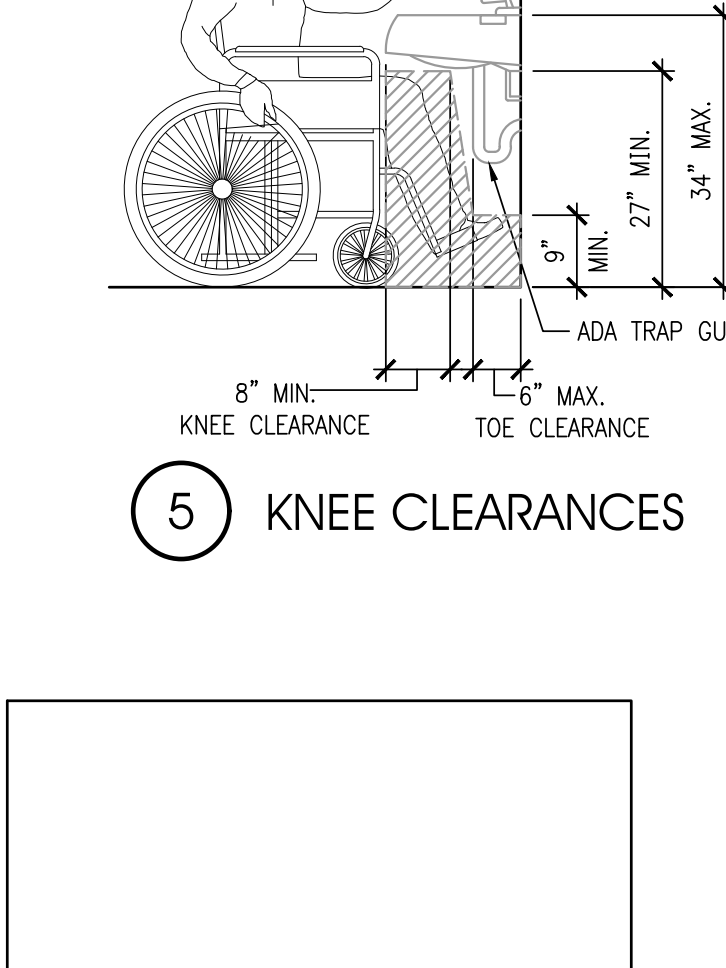
9 MANEUVERING CLEARANCE AT SWINGING DOORS



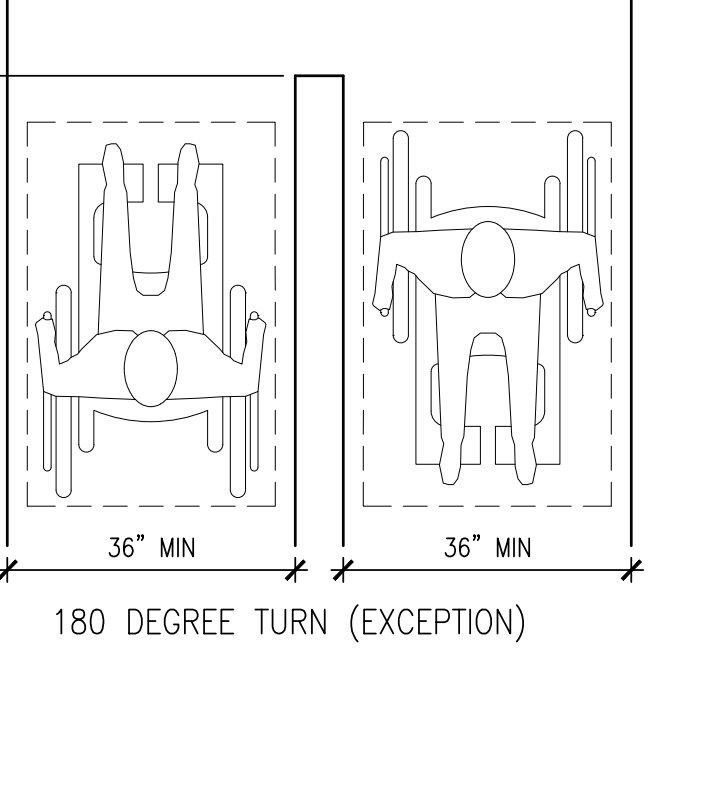
10 MINIMUM CLEARANCES FOR FRONT AND SIDE REACH



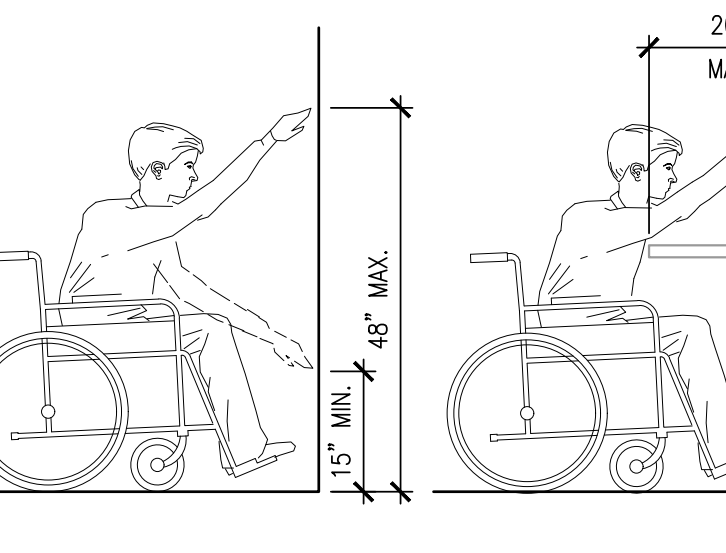
1 ACCESSIBLE SANITARY FACILITIES



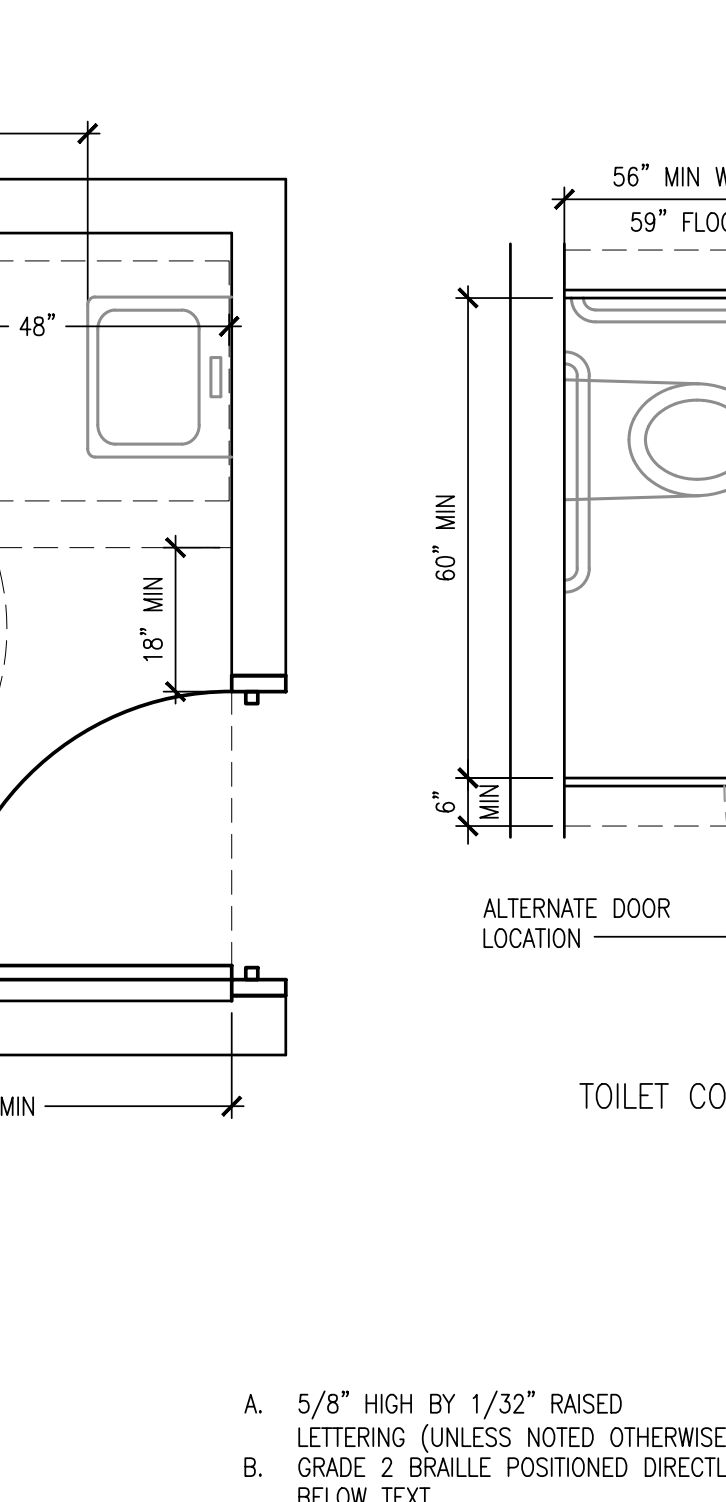
3 GRAB BAR DTL.



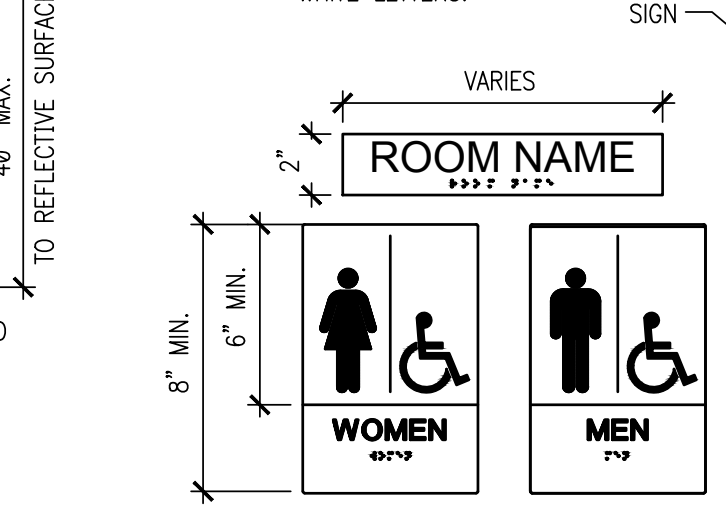
4 DISPLAY CONDITIONS INTERNATIONAL SYMBOL OF ACCESSIBILITY



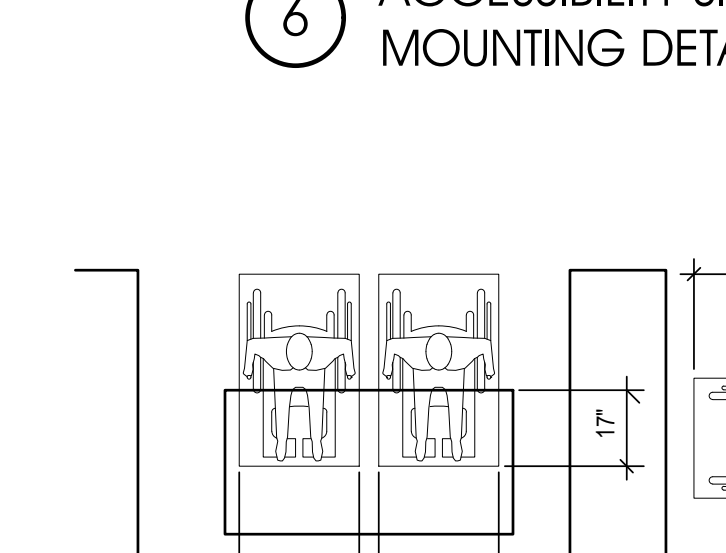
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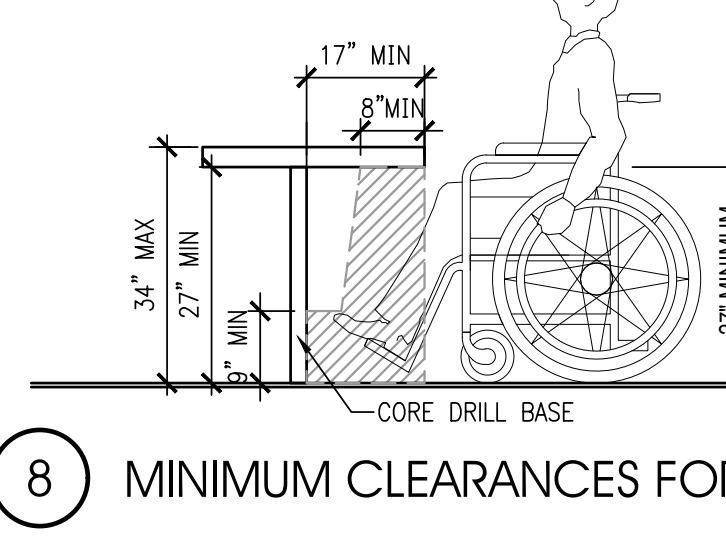
4 KNEE CLEARANCES



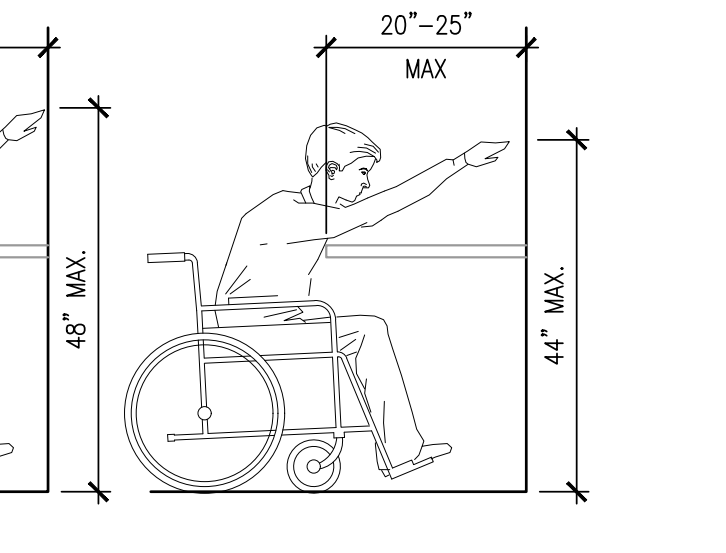
6 ACCESSIBILITY SIGNAGE MOUNTING DETAILS



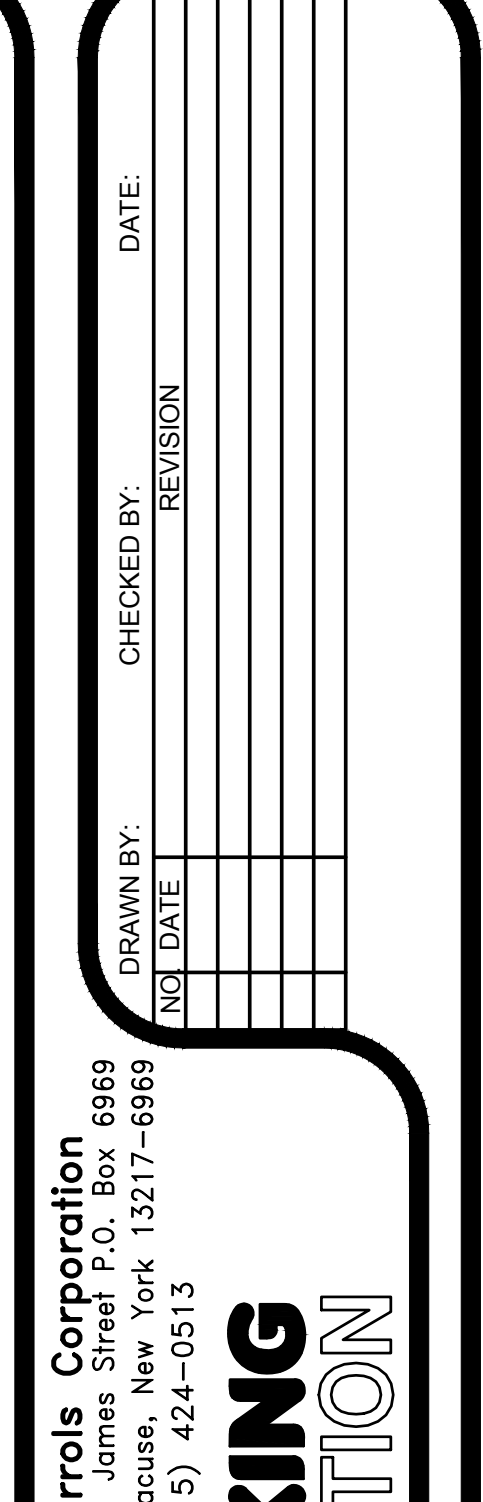
8 MINIMUM CLEARANCES FOR SEATING AND TABLES



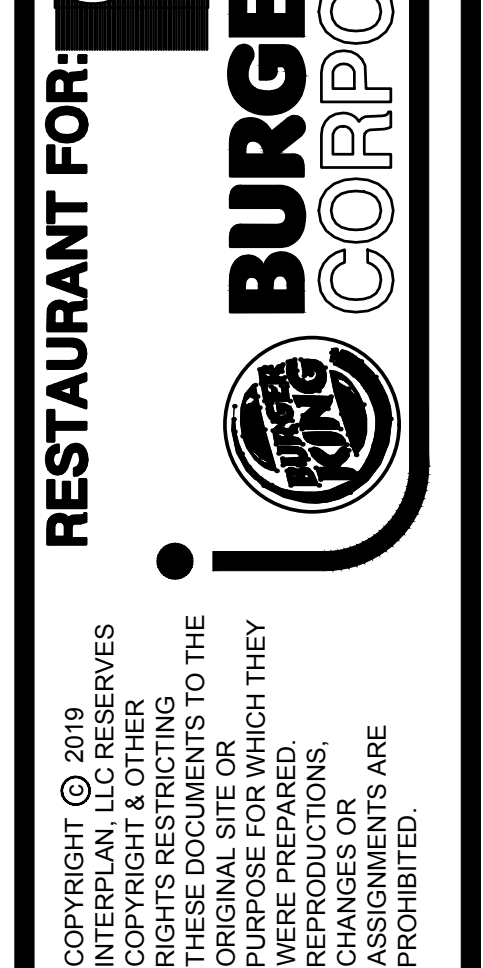
9 MANEUVERING CLEARANCE AT SWINGING DOORS



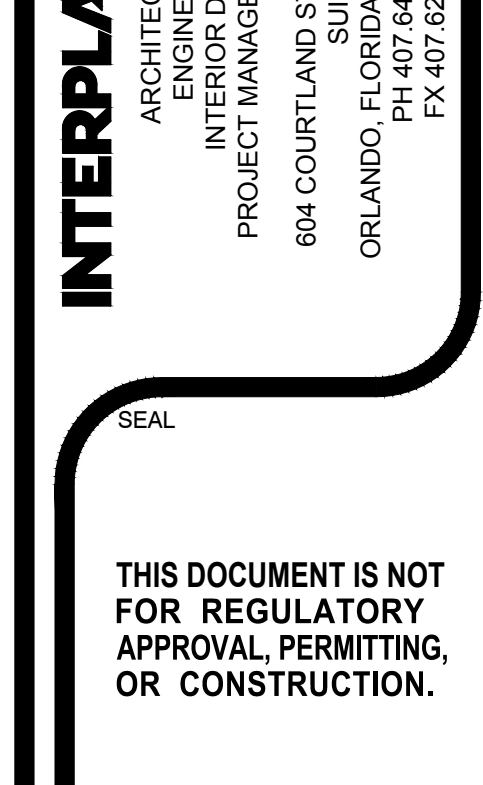
10 MINIMUM CLEARANCES FOR FRONT AND SIDE REACH



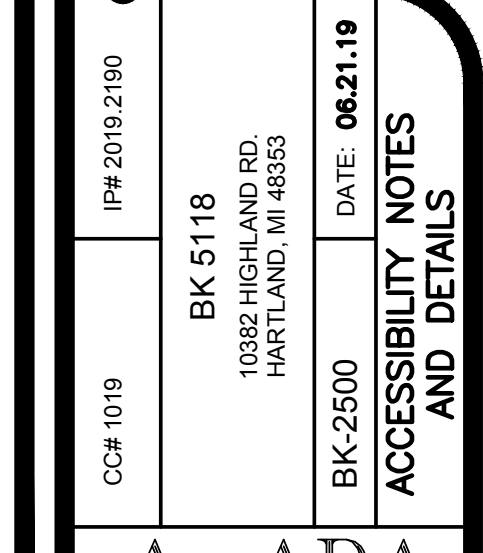
1 ACCESSIBLE SANITARY FACILITIES



3 GRAB BAR DTL.



4 DISPLAY CONDITIONS INTERNATIONAL SYMBOL OF ACCESSIBILITY



7 CLEAR WIDTH AT TURNS



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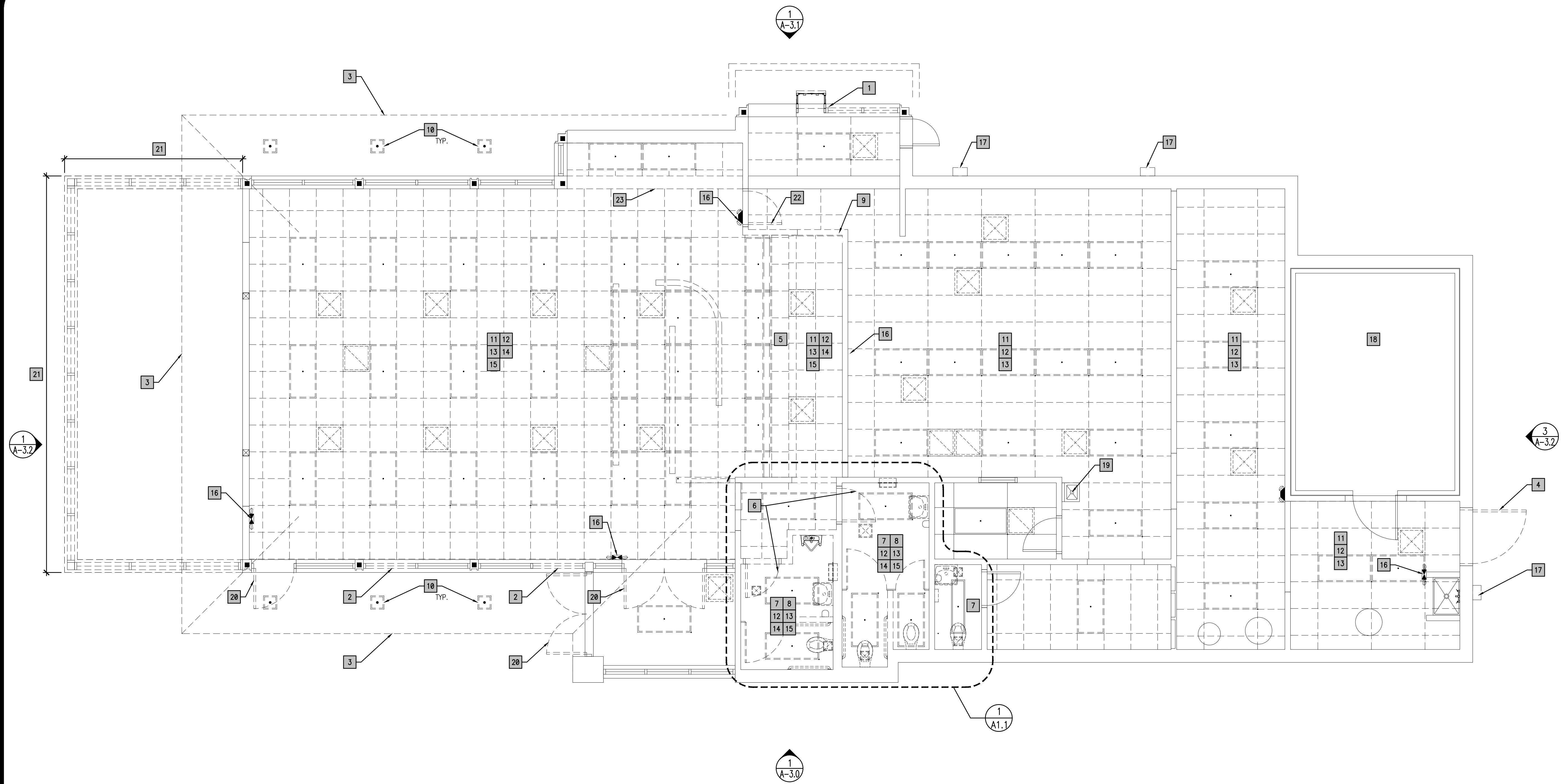
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 DATE: 06.21.19
 ACCESSIBILITY NOTES AND DETAILS

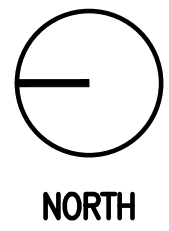
A-ADA
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 DRAWN: MM
 43

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1 DEMO FLOOR PLAN 1/4" = 1'-0"



KEYED NOTES

- | | |
|--|---|
| <ol style="list-style-type: none"> 1. REMOVE EXISTING DRIVE-THRU WINDOW. 2. REMOVE EXISTING WINDOW AND PREP FOR OPENING INFILL. 3. REMOVE EXISTING MANSARD ROOF FRAMING AND ENTIRE FINISH. SEE ARCH WALL SECTIONS AND STRUCTURAL DRAWINGS. 4. REMOVE EXISTING REAR DOOR, HARDWARE AND FRAME. PREP FOR NEW DOOR ASSEMBLY. 5. REMOVE EXISTING SERVICE COUNTER AND PREP FOR NEW COUNTER. 6. REMOVE EXISTING RESTROOM DOORS, HARDWARE AND FRAME. PREP FOR NEW DOOR AND HARDWARE. 7. REMOVE EXISTING RESTROOM FIXTURES AND ACCESSORIES, PATCH AND REPAIR WALLS AS NEEDED. REFER TO SHEET A-1.1 FOR MORE INFORMATION. 8. PATCH AND REPAIR EXISTING GYP. BD. CEILING AND PREP FOR NEW FINISH. REFER TO SHEET A-2 FOR MORE INFORMATION. 9. PORTION OF EXISTING BULKHEAD (FOR MENU BOARD) TO REMAIN. 10. REMOVE EXISTING SOFFIT LIGHT FIXTURES. 11. REMOVE EXISTING CEILING GRID AND TILES. 12. REMOVE EXISTING LIGHT FIXTURES. | <ol style="list-style-type: none"> 13. REMOVE EXISTING SUPPLY/RETURN GRILLES. 14. REMOVE EXISTING FLOOR FINISH. 15. REMOVE EXISTING WALL FINISHES. 16. REMOVE EXISTING EMERGENCY/EXIT LIGHT FIXTURE. 17. REMOVE EXISTING WALL PACK AND PREP FOR NEW LIGHT FIXTURE. REFER TO SHEET A-2.0 FOR LOCATION. 18. REMOVE EXISTING COOLER/FREEZER FLOOR AND PREP FOR NEW FLOOR FINISH. 19. REMOVE EXISTING HANDSINK AND PREP FOR NEW HANDSINK IN SAME LOCATION. 20. REMOVE EXISTING STOREFRONT DOOR HARDWARE AND PREP FOR NEW HARDWARE. 21. REMOVE EXISTING GREEN HOUSE IN ITS ENTIRETY, INCLUDING FLOOR SLAB AND FOUNDATIONS. GENERAL CONTRACTOR TO TAKE CARE TO PROTECT REMAINING EXISTING WALLS AND FOUNDATION TO REMAIN. NOTIFY ARCHITECT IF EITHER IS TO BE IMPAIRED BY DEMOLITION. 22. REMOVE EXISTING KITCHEN DOOR AND PREP FOR OPENING INFILL. 23. REMOVE EXISTING HEADER AND PREP FOR NEW NEW FINISH. REFER TO SHEET A-2 FOR MORE INFORMATION. |
|--|---|

NO.	DATE	REVISION	CHECKED BY:	DATE:

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 968 James Street P.O. Box 6969
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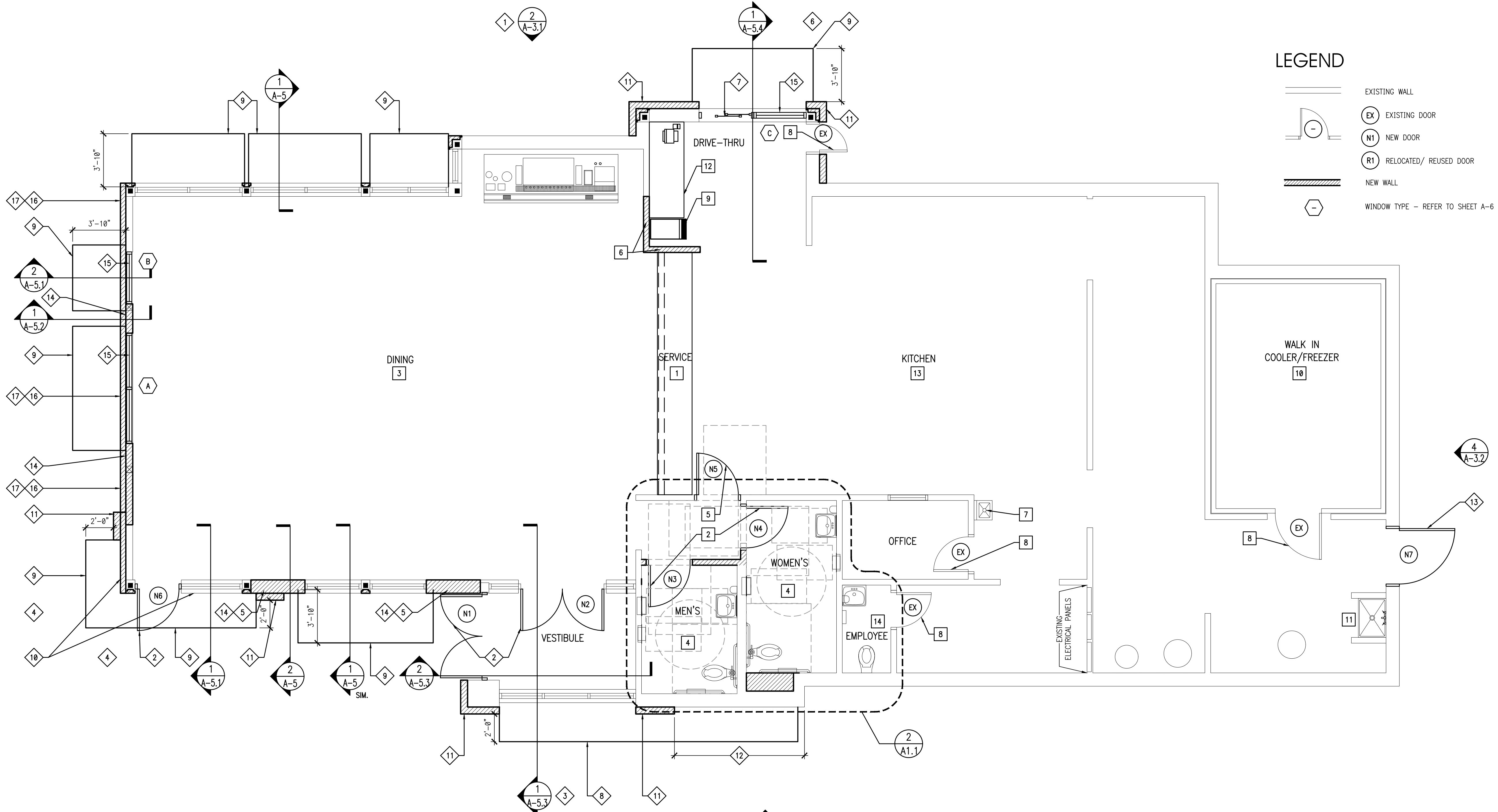
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IP# 2019.2190
 CC# 1019
 BK 5118
 10382 HIGHLAND RD.
 HARTLAND, MI 48933
 BK-2500
 DATE: 06.21.19
 DEMO PLAN

D-1
 CHECKED: DA
 DRAWN: MM
 44



LEGEND

	EXISTING WALL
	EX EXISTING DOOR
	N1 NEW DOOR
	R1 RELOCATED/ REUSED DOOR
	NEW WALL
	WINDOW TYPE - REFER TO SHEET A-6

1 FLOOR PLAN
 1/4" = 1'-0"
 NORTH

KEYED NOTES - EXTERIOR

- SITE SPECIFIC NOTES ON BK-2500 GARDEN GRILL
- MAIN ENTRY, FRONT, DRIVE-THRU ELEVATIONS - FULL MANSARD REMOVAL.
 - PROVIDE NEW STOREFRONT ENTRY DOOR(S) HARDWARE PER BK SPECS.
 - NEW ARCHON AT MAIN ENTRY DOUBLE DOORS.
 - NEW CORNER ARCHON.
 - INFILL WINDOW.
 - NEW DRIVE-THRU ARCHON.
 - PROVIDE NEW DRIVE-THRU WINDOW. G.C. TO COORDINATE SIZE OF NEW UNIT WITH OWNER AND PROVIDE NEW ROUGH OPENING AS NECESSARY. (INSTALL ORIENTATION RIGHT TO LEFT)
 - NEW CANOPY ABOVE WITH "HOME OF THE WHOPPER" SIGNAGE. CANOPY TO EXTEND TO COVER MERCHANDISING FOR LIGHTING.
 - NEW CANOPY ABOVE.
 - CERAMIC TILE TO BE APPLIED TO NEW CONSTRUCTION AND EXISTING WALL FINISH.
 - STONE VENEER FINISH OVER SCRATCH COAT ON PAPER BACKED METAL LATH OVER 3/4" EXT. GRD. SHEATHING ON 2X6 FURRING.

- INSTALL NEW THIN BRICK UP TO 24" ABOVE CANOPY WITH EF-1G FINISH ABOVE.
- PROVIDE NEW DOOR, HARDWARE AND FRAME PER BK SPECS.
- INFILL EXISTING OPENING WITH 2X STUDS TO MATCH EXISTING CONSTRUCTION WITH R-13 BAIT, 1/2" SHEATHING BOTH SIDES, 5/8" GYP. BD. INSIDE AND REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR FINISH.
- PROVIDE NEW STOREFRONT WINDOW WITHIN EXISTING/NEW OPENING.
- NICHHA FIBER CEMENT ON BLDG. WRAP ON 1/2" EXT. GRD. SHEATHING OVER 2X WOOD FRAMING. REFER TO SHEET A-5.2 FOR EXTENT.
- BRICK VENEER OVER 1" AIR SPACE OVER WEATHER BARRIER OVER 5/8" EXTERIOR GRADE PLYWOOD OVER 2X WOOD FRAMING. REFER TO SHEET A-5.2 FOR EXTENT.

KEYED NOTES - INTERIOR

- SITE SPECIFIC NOTES ON BK-2500 GARDEN GRILL
- PROVIDE A NEW 30"W COUNTER IN NEW LOCATION. INSTALL NEW METRO SHELVING UNDER COUNTER. LOWER EXISTING COUNTER HEIGHT TO BE ADA COMPLIANT.
 - REPLACE RESTROOM DOORS WITH NEW ADA COMPLIANT DOORS, HARDWARE AND FRAME PER LOCAL REQUIREMENTS.
 - PROVIDE DECOR GARDEN GRILL OPTION.
 - PROVIDE SINGLE USER ADA COMPLIANT RESTROOMS.
 - PROVIDE NEW DOOR PER BK SPECS.
 - G.C. TO CONSTRUCT NEW WALL TO MATCH EXISTING CONSTRUCTION. NEW WALL TO ALIGN WITH BULKHEAD ABOVE.
 - PROVIDE NEW HAND SINK IN SAME LOCATION AS EXISTING.
 - EXISTING DOOR TO REMAIN.
 - RELOCATE ICEE MACHINE TO NEW LOCATION. PROVIDE ELECTRICAL.
 - REPLACE COOLER/FREEZER FLOOR.
 - EXISTING MOP SINK TO REMAIN. REPAIR AS NEEDED. INSTALL STAINLESS STEEL LINER PANELS ON WALLS.
 - PROVIDE NEW 83" TABLE
 - DEGREASE, GROUT AND REPAIR BROKEN FLOOR TILE AND COVE BASE TILE THROUGHOUT. (\$2,000 ALLOWANCE)
 - G.C. TO FURNISH AND INSTALL NEW FIXTURES IN EMPLOYEE RESTROOM.

GENERAL NOTES

- SITE SPECIFIC NOTES ON BK-2500 GARDEN GRILL
- G.C. TO COORDINATE ALL ROOF REPAIRS AS REQUIRED FOR PARAPET EXTENSIONS AND PREVIOUS EXISTING ROOF DAMAGE.
 - PROVIDE NEW LIGHT BANDS.
 - REPLACE CEILING GRID AND TILE IN DINING. PATCH AND REPAIR RESTROOM CEILING. EXISTING KITCHEN CEILING GRID TO REMAIN AND TILES TO BE REPLACED.
 - REPLACE RETURNS AND REGISTERS THRU-OUT.
 - NEW LED LIGHT FIXTURES IN DINING, KITCHEN AND RESTROOMS.
 - NEW FLOOR TILE THROUGHOUT DINING AND RESTROOMS.
 - PAINT INTERIOR WALLS TO MATCH GARDEN GRILL OPTION PROTO
 - PATCH & REPAIR/PAINT INTERIOR DRYWALL WHERE REQ'D
 - PATCH, REPAIR AND RE-GROUT KITCHEN FLOOR TILES AS REQUIRED. COORDINATE EXACT SCOPE WITH CONSTRUCTION MANAGER.
 - G.C. TO PROVIDE NEW ADA COMPLIANT SIGNAGE THROUGHOUT AND MOUNT AS REQUIRED PER CODE.
 - ALL SEATING AND RELATED ITEMS BY OWNER APPROVED VENDOR.
 - ANY STUCCO/EIFS SYSTEMS SHALL BE INSTALLED OVER A DRAINABLE SYSTEM AS REQUIRED PER MANUFACTURER'S INSTRUCTIONS.
 - RESTROOMS: PROVIDE NEW WALL TILES. COORDINATE WITH CONSTRUCTION MANAGER.
 - PROVIDE NEW WAINSCOT IN DINING AREA. COORDINATE SCOPE WITH CONSTRUCTION MANAGER.

- G.C. TO PROVIDE AND INSTALL NEW WALL TILES AT BEVERAGE WALL PER GARDEN GRILL GUIDELINES. COORDINATE EXACT SCOPE WITH CONSTRUCTION MANAGER.
- IN AREAS RECEIVING A NEW FULL BRICK VENEER FINISH, THE VENEER SHALL BE INSTALLED UTILIZING REQUIRED WEATHER BARRIER, AIR SPACE, GALVANIZED METAL TIES, THRU WALL FLASHING AND WEEP HOLES AS IDENTIFIED IN THE BUILDING CODE AND MANUFACTURER'S REQUIREMENTS.
- G.C. TO COORDINATE WITH CONSTRUCTION MANAGER AND DECOR VENDOR SCOPE OF NEW INTERIOR FINISHES, CEILING AND FLOOR.
- G.C. TO PROVIDE AND INSTALL EIGHTEEN (18) NEW EXTERIOR WALL SCANCES AND TWO (2) NEW WALL PACKS. G.C. TO COORDINATE EXACT SCOPE WITH CONSTRUCTION MANAGER.
- G.C. TO REPAIR AND PAINT EXISTING DUMPSTER ENCLOSURE.
- G.C. TO PROVIDE AND INSTALL FRP ON ALL KITCHEN WALLS. COORDINATE EXACT SCOPE WITH CONSTRUCTION MANAGER.
- G.C. TO COORDINATE WITH CONSTRUCTION MANAGER OF NEW WHITE TILE WALL FINISH BEHIND SERVICE COUNTER.
- G.C. TO CONFIRM WITH CONSTRUCTION MANAGER FOR LOCATION OF COLLAGE WALL. G.C. TO RELOCATE THERMOSTAT AS REQUIRED AT CONSTRUCTION MANAGER DESIGNATED COLLAGE WALL.
- G.C. TO FURNISH AND INSTALL 55" TV, PROVIDE ELECTRICAL AND DATA/CABLE.
- CARROLS TO SUPPLY FOUR (4) DIGITAL MENU BOARDS.
- G.C. TO PROVIDE ADA SIGNAGE FOR BATHROOM HALLWAYS. PICTURE TO BE WHITE WITH BLACK BACKGROUND.

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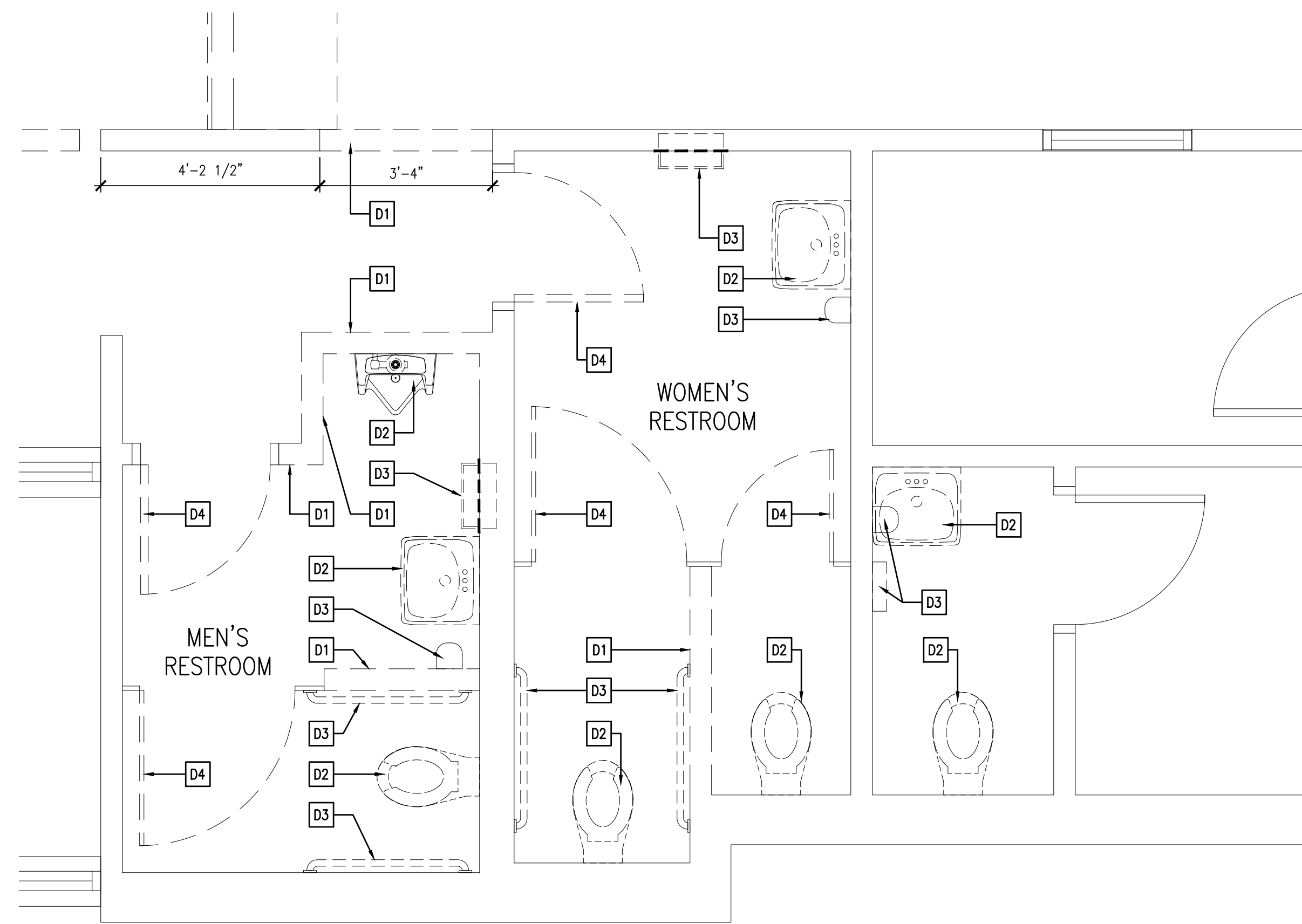
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 NO. DATE: _____

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IP# 2019.2190
 BK-2500
 BK 5118
 10382 HIGHLAND RD.
 HARTLAND, MI 48933
 DATE: 06.21.19
FLOOR PLAN

CC# 1018
 A-1
 CHECKED: DA
 DRAWN: MM
 45



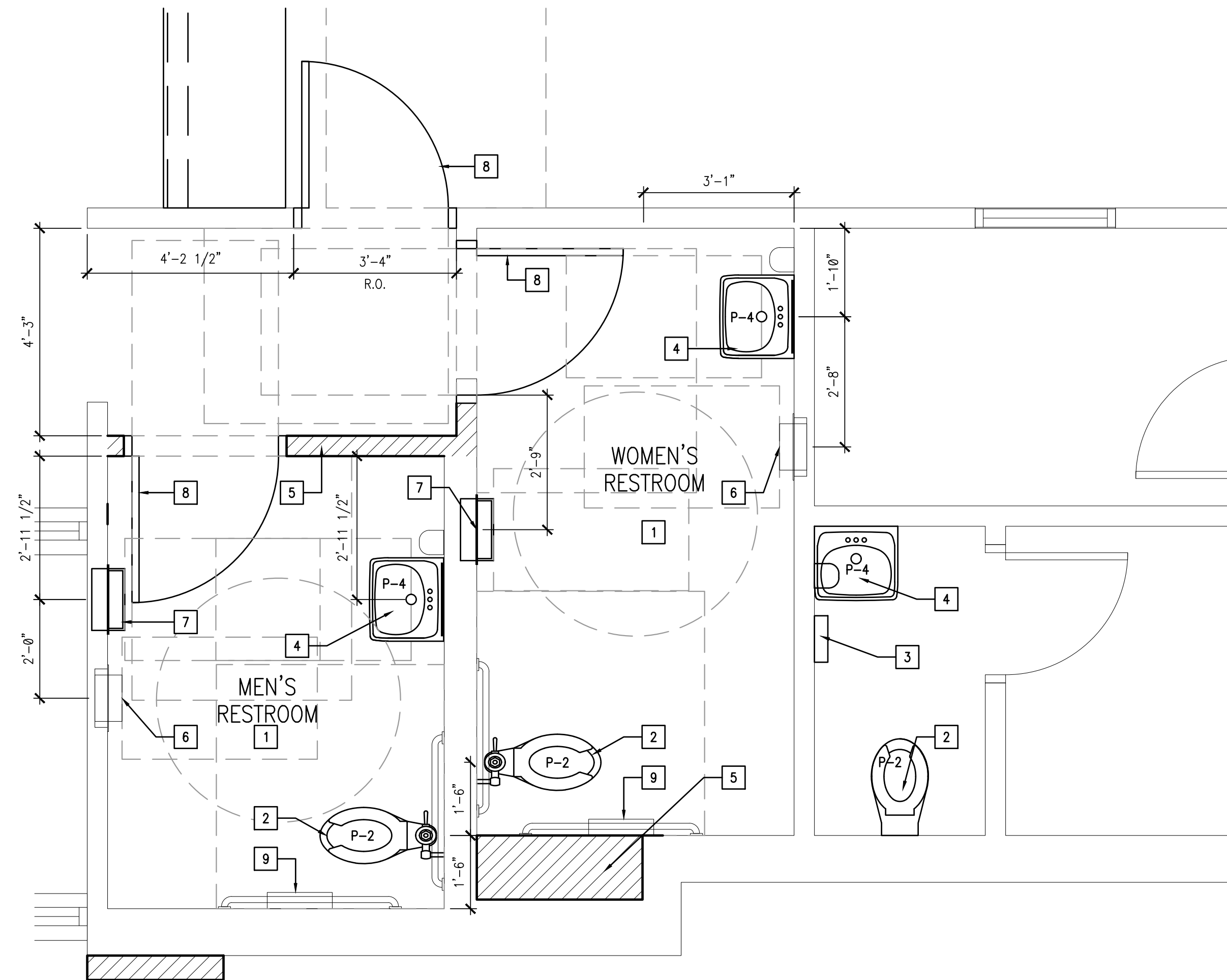
1 ENLARGED RESTROOM PLAN - DEMO

1/2" = 1'-0"

KEYED NOTES - DEMO

SITE SPECIFIC NOTES ON BK-2500 GARDEN GRILL

- G.C. TO REMOVE PORTION OF EXISTING WALL. PATCH AND REPAIR AS NEEDED.
- G.C. TO REMOVE EXISTING PLUMBING FIXTURE. PATCH FLOOR AND WALL AS REQUIRED AND PREP FOR NEW FINISHES.
- G.C. TO REMOVE EXISTING ACCESSORIES. PATCH WALL AND FLOOR AS REQUIRED AND PREP FOR NEW FINISHES.
- G.C. TO REMOVE EXISTING DOOR AND HARDWARE.



2 ENLARGED RESTROOM PLAN - NEW

1/2" = 1'-0"

KEYED NOTES - NEW

SITE SPECIFIC NOTES ON BK-2500 GARDEN GRILL

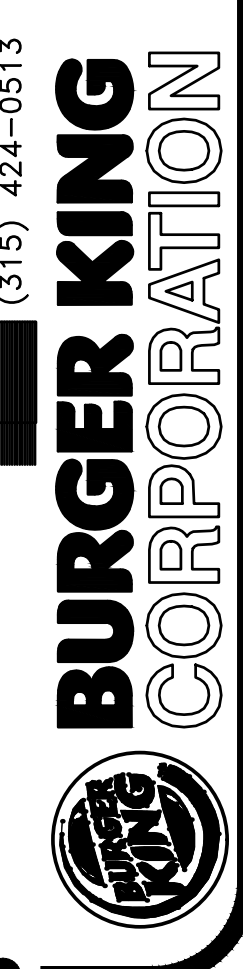
- PROVIDE NEW ACCESSORIES (36" & 42" HORIZONTAL GRAB BARS, 18" VERTICAL GRAB BAR, SOAP DISPENSER, MIRROR, TOILET PAPER DISPENSER, HAND DRYER, TRASH RECEPTACLE, AND COAT HOOK) PER BK SPECS. REFER TO ADA SHEET (A-ADA) FOR MOUNTING HEIGHTS, INSTALLATION REQUIREMENTS AND ALL OTHER ADA REQUIRED CODE ITEMS.
- G.C. TO PROVIDE NEW ADA COMPLIANT WATER CLOSET, REFER TO SHEET A-ADA TO FOR INSTALLATION REQUIREMENTS.
- G.C. TO PROVIDE NEW ADA PAPER TOWEL DISPENSER.
- G.C. TO PROVIDE AND INSTALL NEW ADA COMPLIANT LAVATORY. INSULATE LAVATORY PIPING AS REQUIRED. REFER TO SHEET A-ADA FOR INSTALLATION REQUIREMENTS.
- NEW WALL CONSTRUCTION TO MATCH EXISTING CONSTRUCTION. COORDINATE WITH CONSTRUCTION MANAGER.
- NEW XLERATOR HAND DRYER WITH ADA SEMI-RECESSED KIT. PROVIDE CORIAN UNDER HAND DRYER. REFER TO A-ADA SHEET FOR ADA MOUNTING REQUIREMENTS.
- G.C. TO PROVIDE AND INSTALL NEW ADA COMPLIANT SEMI-RECESSED TRASH RECEPTACLE. REFER TO SHEET A-ADA FOR INSTALLATION REQUIREMENTS.
- G.C. TO PROVIDE AND INSTALL NEW ADA COMPLIANT DOOR AND HARDWARE AS REQUIRED BY CODE.
- G.C. TO INSTALL NEW TOILET PAPER DISPENSER - BOBRICK B-3888, REFER TO SHEET A-ADA FOR MOUNTING HEIGHTS.

PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE	MANUFACTURER	MODEL NUMBER	MODEL NAME	VALVE
P-1	WATER CLOSET	AMERICAN STANDARD		MADERA FLOWISE 15" HEIGHT ELONGATED FLUSHOMETER	
P-2	WATER CLOSET - ADA	AMERICAN STANDARD		MADERA FLOWISE 16 1/2" HEIGHT 1.6 GPF FLUSHOMETER	
P-3	URINAL - ADA	AMERICAN STANDARD	6590001EC.020	WASHBROOK FLOWISE UNIVERSAL	EXPOSED SELECTRONIC BATTERY URINAL 1.0 gpf FLUSH VALVE (6063101)
P-4	LAVATORIES	COORDINATE WITH OWNER			WATERFRONT MODEL: 300988 SINGLE LEVER HANDLE LAVATORY FAUCET, CHROME-PLATED FINISH

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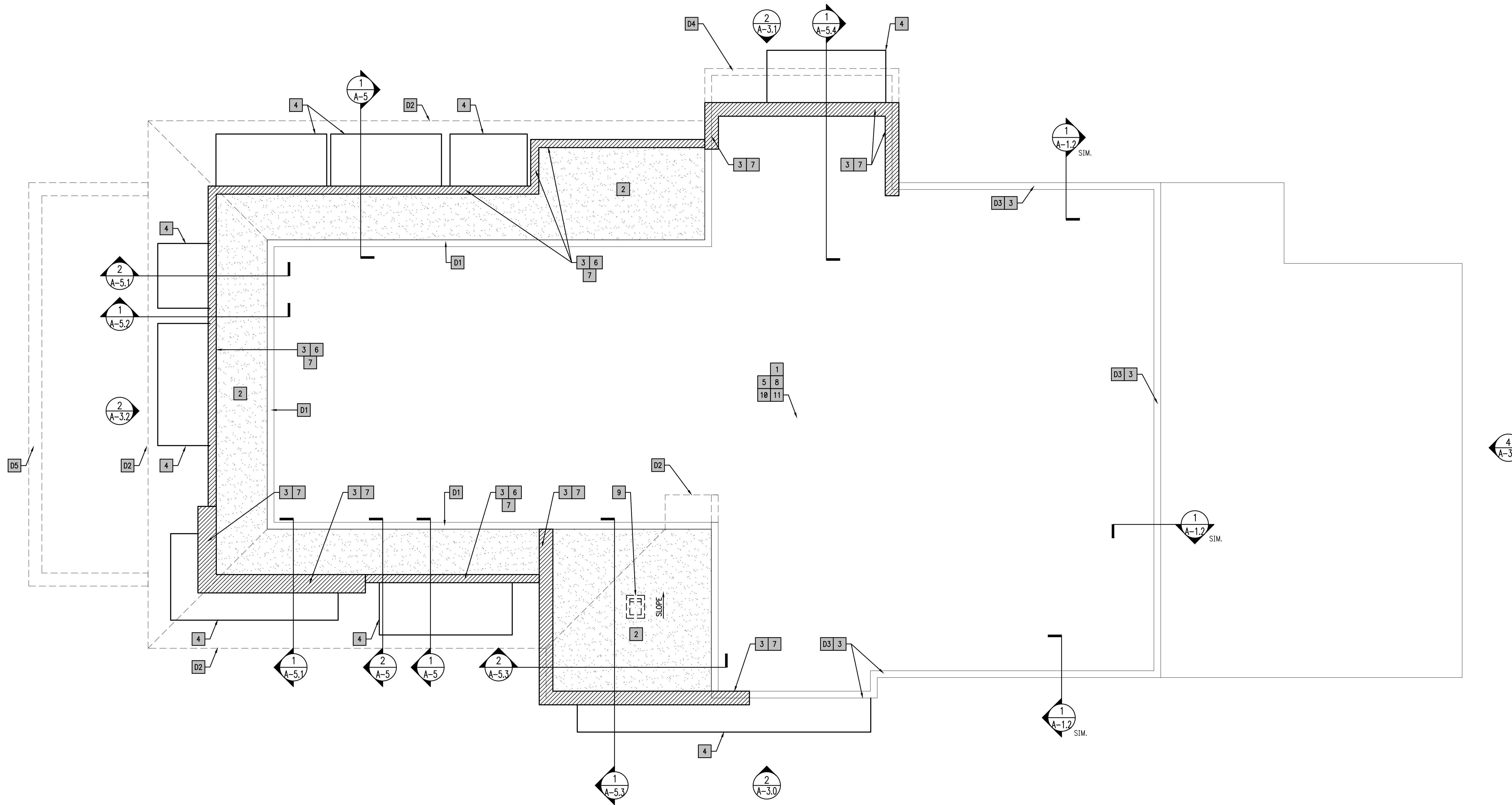


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IP# 2019.2190
 CC# 1019
 BK 5118
 10382 HIGHLAND RD.
 HARTLAND, MI 48933
 DATE: 06.21.19
 BK-2500
 DEMO AND NEW ENLARGED RR PLANS
 A-1.1
 CHECKED: DA
 DRAWN: MM
 46



1 ARCHITECTURAL ROOF PLAN 1/4" = 1'-0" 

KEYED NOTES 

1. EXISTING ROOFING SYSTEM TO BE REPLACED. G.C. SHALL PROVIDE SUITABLE NEW ROOF MEMBRANE JOINT TO MAINTAIN WATER-TIGHT SEAL. G.C. TO PROVIDE 15 YEAR WARRANTY ON NEW ROOF.
2. NEW ROOFING SYSTEM TO MATCH EXISTING AT NEW ROOF CONSTRUCTION. G.C. SHALL PROVIDE SUITABLE PATCH AT EXISTING TO NEW ROOF MATERIAL JOINT TO MAINTAIN WATER-TIGHT SEAL. G.C. SHALL SUPPLY NEW ROOF, INCLUDING ALL FLASHING AND ACCESSORIES AS REQUIRED TO MAINTAIN EXISTING EQUIPMENT/LOCATIONS, OVER ENTIRE BUILDING. SEE PRODUCT APPROVAL SPECIFICATION THIS SHEET.
3. NEW METAL COPING. REFER TO ELEVATIONS FOR COLOR OF COPING.
4. NEW PREFABRICATED METAL CANOPY. REFER TO DETAILS ON SHEET A-5.5. G.C. TO PROVIDE BLOCKING FOR CANOPY SUPPORT.
5. EXISTING ROOF TOP EQUIPMENT TO REMAIN.
6. NEW LIGHT BAND. SEE DETAIL ON THIS SHEET AND EXTERIOR ELEVATIONS.
7. NEW PARAPET CONSTRUCTION/EXTENSION. SEE WALL SECTIONS.
8. VERIFY ALL THE ROOF DRAINS ARE CLEAN AND IN WORKING CONDITION.

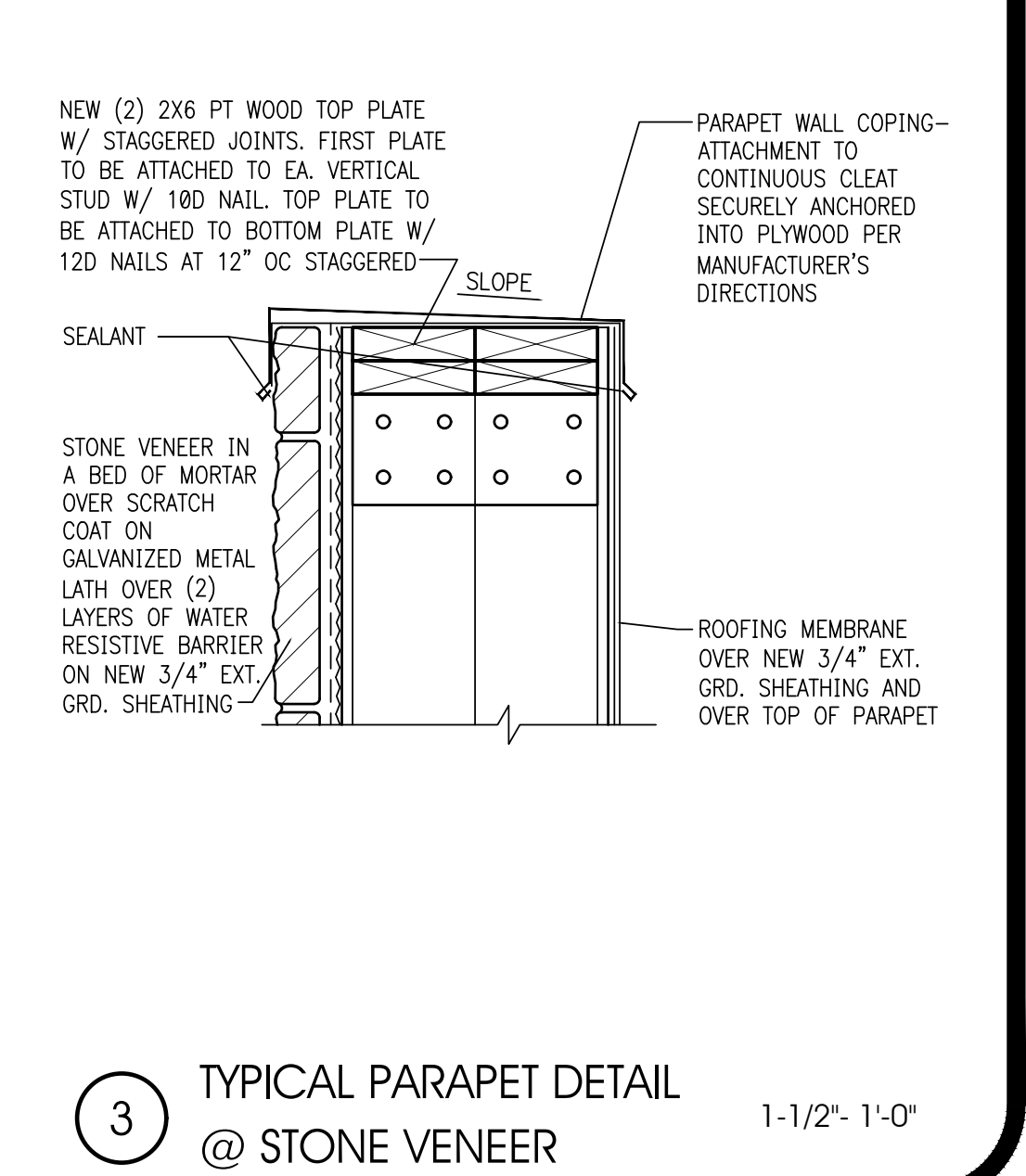
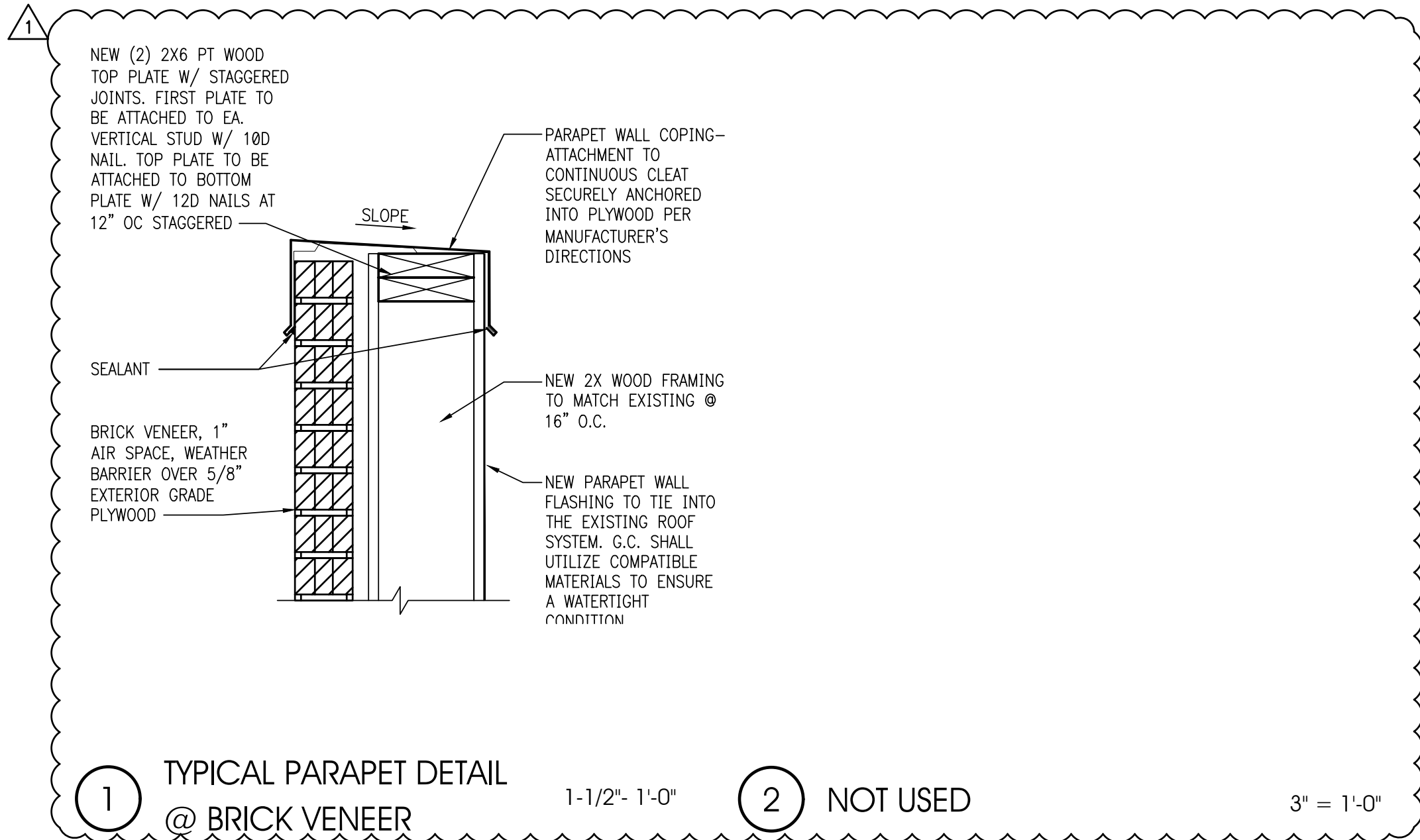
9. PROVIDE AND INSTALL ROOF VENTS AT NEW PARAPET CONSTRUCTION. INSTALL A FLAT "OFF-RIDGE ROOF VENT" A MINIMUM OF 6" FROM TOP OF RIDGE. ROOF VENT: OWENS CORNING VTS455-GR (N.F.V.A. = 50 SQ. IN.) OR EQUAL.
10. RELOCATE EXISTING EQUIPMENT (SUCH AS SECURITY CAMERAS, SATELLITE DISH) AS REQUIRED.
11. INSTALL NEW ROOFTOP FRYER EXHAUST FAN PER BK SPEC.

DEMO KEYED NOTES: 

- D1. REMOVE EXISTING LIGHT BAND AND PARAPET CAP.
- D2. REMOVE EXISTING MANSARD ROOF FINISH & FRAMING. REFER TO WALL SECTIONS AND EXTERIOR ELEVATIONS.
- D3. REMOVE EXISTING METAL COPING. PATCH AND REPAIR AS REQUIRED AND PREP PER NEW ROOF SYSTEM AND WALL FLASHING.
- D4. REMOVE PORTION OF EXISTING ROOF STRUCTURE FRAMING AND FINISHES. PREP FOR NEW ARCHON CONSTRUCTION.
- D5. REMOVE EXISTING GREEN HOUSE IN ITS ENTIRETY. REFER TO WALL SECTIONS AND EXTERIOR ELEVATIONS.

GENERAL NOTES

- A. ROOFING SUBCONTRACTOR TO COORDINATE LOCATION OF EXISTING H.V.A.C. UNITS AND ROOF TOP ACCESSORIES WITH STRUCTURAL DRAWINGS FOR PLACEMENT AND TAPERED RIGID BOARD INSULATION LAY-OUT AND SUBSEQUENT INSTALLATION IN ORDER TO AVOID PONDING WATER CONDITIONS ATTRIBUTABLE TO BOARD LAY-OUT ISSUES.
- B. ROOF SYSTEMS SPECIFIED SHALL BE APPLIED ONLY BY MANUFACTURER APPROVED APPLICATOR IN ORDER TO MEET GUARANTEE REQUIREMENTS.
- C. PONDING WATER IS DEFINED AS WATER THAT DOES NOT DRAIN OR DISSIPATE FROM THE ROOF WITHIN 48 HOURS AFTER PRECIPITATION.
- D. CONTRACTOR SHALL "SUGAR-IN" ALL ASPHALT. BLEED-OUT ON PILES WITH ADDITIONAL GRANULES TO MATCH EXISTING COLORATION OF THE MINERAL SURFACE CAP SHEET.
- E. ALL FLASHING CEMENTS, ASPHALTS, PRODUCTS AND ACCESSORIES SHALL BE APPROVED BY ROOFING MANUFACTURER WITH THE MANUFACTURER'S BRAND. ALL ASPHALTS SHALL BE AMERICAN MANUFACTURED PRODUCTS.
- F. THE ROOF STRUCTURE SHALL NOT BE USED FOR STOCKPILING OF EQUIPMENT OR MATERIALS.
- G. THE ROOFING SYSTEM SHALL BE AS PER DRAWINGS AND PER MANUFACTURER'S SPECIFICATIONS.
- H. COORDINATE ROOF ELEVATIONS WITH ELEVATION DRAWINGS.
- I. HVAC CONDENSATE LINES TO TERMINATE AT ROOF DRAIN OR AS REQUIRED.
- J. CONTRACTOR TO PROVIDE 15 YEAR WARRANTY FOR NEW ROOF AREA.



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REVISION: 1
 TOWNSHIP COMMENTS

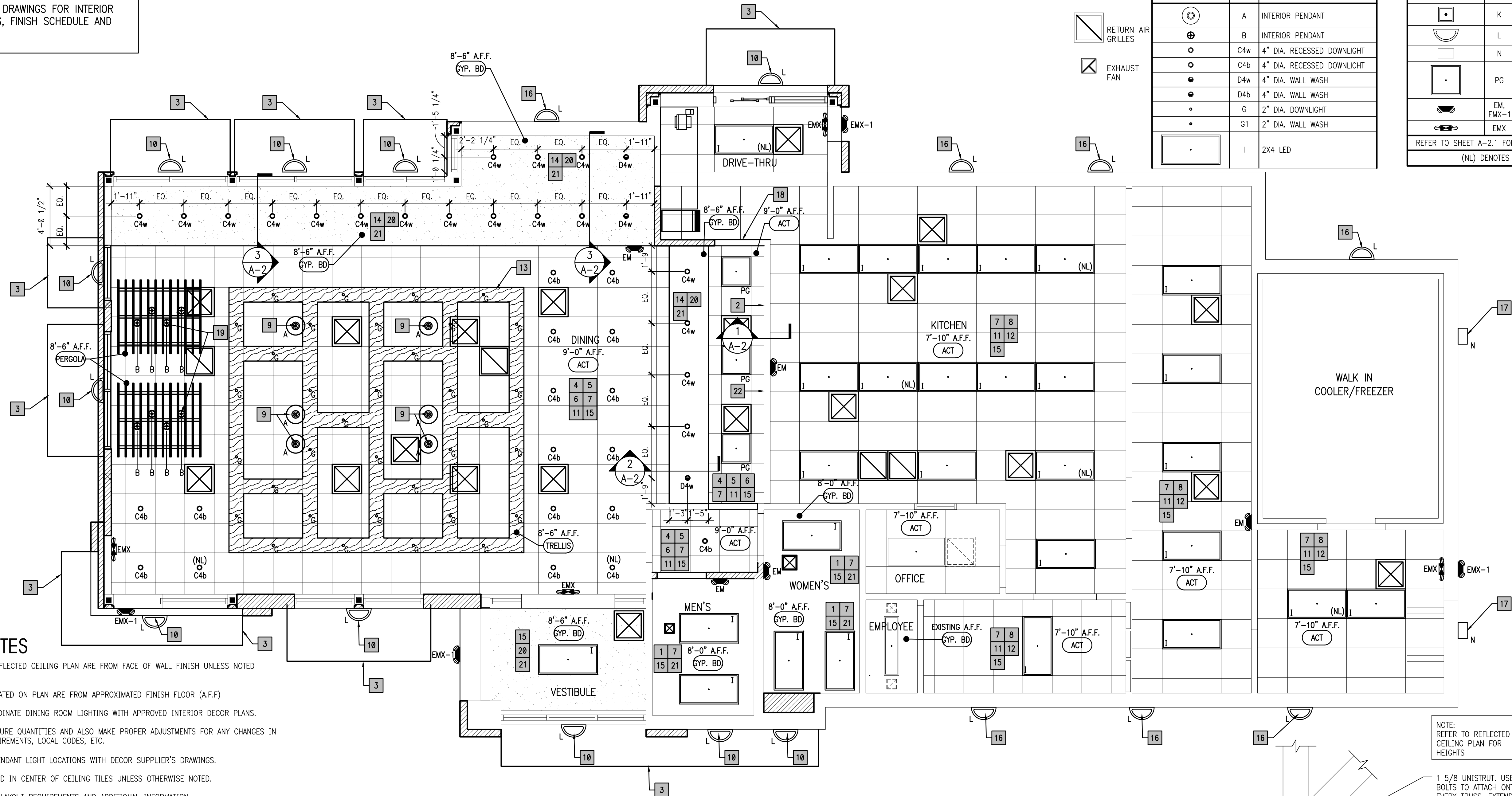
DATE: 10/27/19

CC# 1018
 BK-5118
 10382 HIGHLAND RD.
 HARTLAND, MI 48933

DATE: 06.06.19
 DRAWN: MM
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ROOF PLAN

SEE THE INTERIOR DECOR DRAWINGS FOR INTERIOR FLOOR AND WALL FINISHES, FINISH SCHEDULE AND DETAILS.



- ☒ SUPPLY AIR DIFFUSERS
- ☒ RETURN AIR GRILLES
- ☒ EXHAUST FAN

LIGHT FIXTURE LEGEND		
SYMBOL	TAG	DESCRIPTION
⊙	A	INTERIOR PENDANT
⊙	B	INTERIOR PENDANT
⊙	C4w	4" DIA. RECESSED DOWNLIGHT
⊙	C4b	4" DIA. RECESSED DOWNLIGHT
⊙	D4w	4" DIA. WALL WASH
⊙	D4b	4" DIA. WALL WASH
⊙	G	2" DIA. DOWNLIGHT
⊙	G1	2" DIA. WALL WASH
⊙	I	2X4 LED

LIGHT FIXTURE LEGEND		
SYMBOL	TAG	DESCRIPTION
⊙	K	EXTERIOR RECESSED SOFFIT LIGHT
⊙	L	EXTERIOR WALL SCONCE
⊙	N	EXTERIOR WALL PACK
⊙	PG	2X2 LED
⊙	EM, EMX-1	EMERGENCY WALL FIXTURE
⊙	EMX	EMERGENCY EXIT SIGN FIXTURE

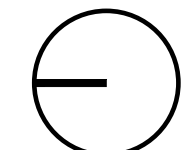
REFER TO SHEET A-2.1 FOR LIGHT FIXTURE MANUFACTURER (NL) DENOTES 24 HOUR FIXTURE.

GENERAL NOTES

- A. ALL DIMENSIONS SHOWN ON REFLECTED CEILING PLAN ARE FROM FACE OF WALL FINISH UNLESS NOTED OTHERWISE.
- B. THE REFERENCE HEIGHTS INDICATED ON PLAN ARE FROM APPROXIMATED FINISH FLOOR (A.F.F.)
- C. GENERAL CONTRACTOR TO COORDINATE DINING ROOM LIGHTING WITH APPROVED INTERIOR DECOR PLANS.
- D. CONTRACTOR SHALL VERIFY FIXTURE QUANTITIES AND ALSO MAKE PROPER ADJUSTMENTS FOR ANY CHANGES IN PLAN DUE TO ADDITIONAL REQUIREMENTS, LOCAL CODES, ETC.
- E. CONTRACTOR TO COORDINATE PENDANT LIGHT LOCATIONS WITH DECOR SUPPLIER'S DRAWINGS.
- F. ALL FIXTURES SHALL BE LOCATED IN CENTER OF CEILING TILES UNLESS OTHERWISE NOTED.
- G. SEE SHEET E1.0 FOR LIGHTING LAYOUT REQUIREMENTS AND ADDITIONAL INFORMATION.
- H. FOR FINISH SPECIFICATIONS, REFER TO FINISH SCHEDULE ON THE DECOR DRAWINGS.
- J. OWNER'S HVAC CONTRACTOR MIGHT PROVIDE NEW SUPPLY/RETURN GRILLES AND ANY NECESSARY DUCT WORK UNDER A SEPARATED CONTRACT & PERMIT. G.C. TO COORDINATE WORK WITH HVAC CONTRACTOR.

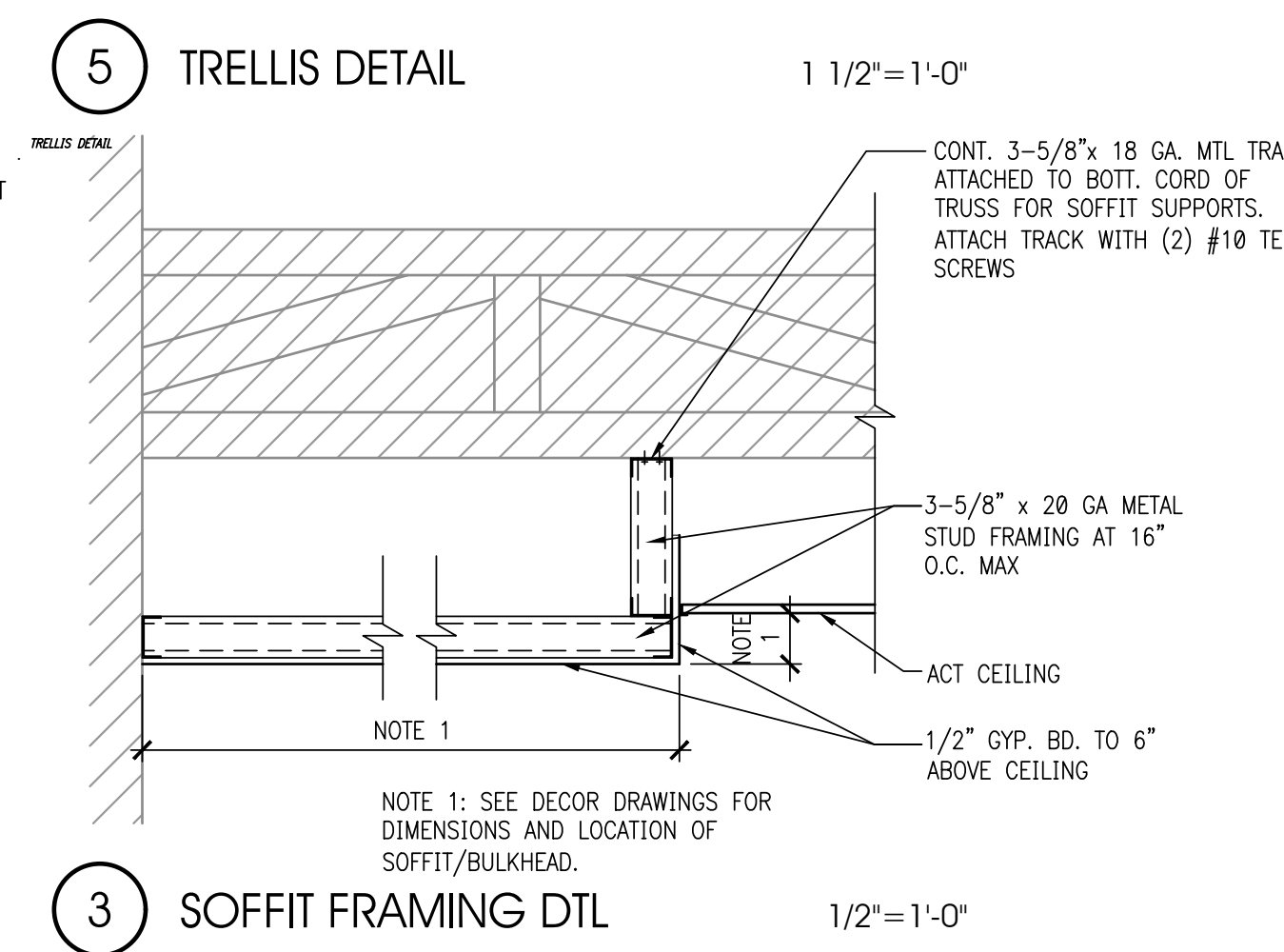
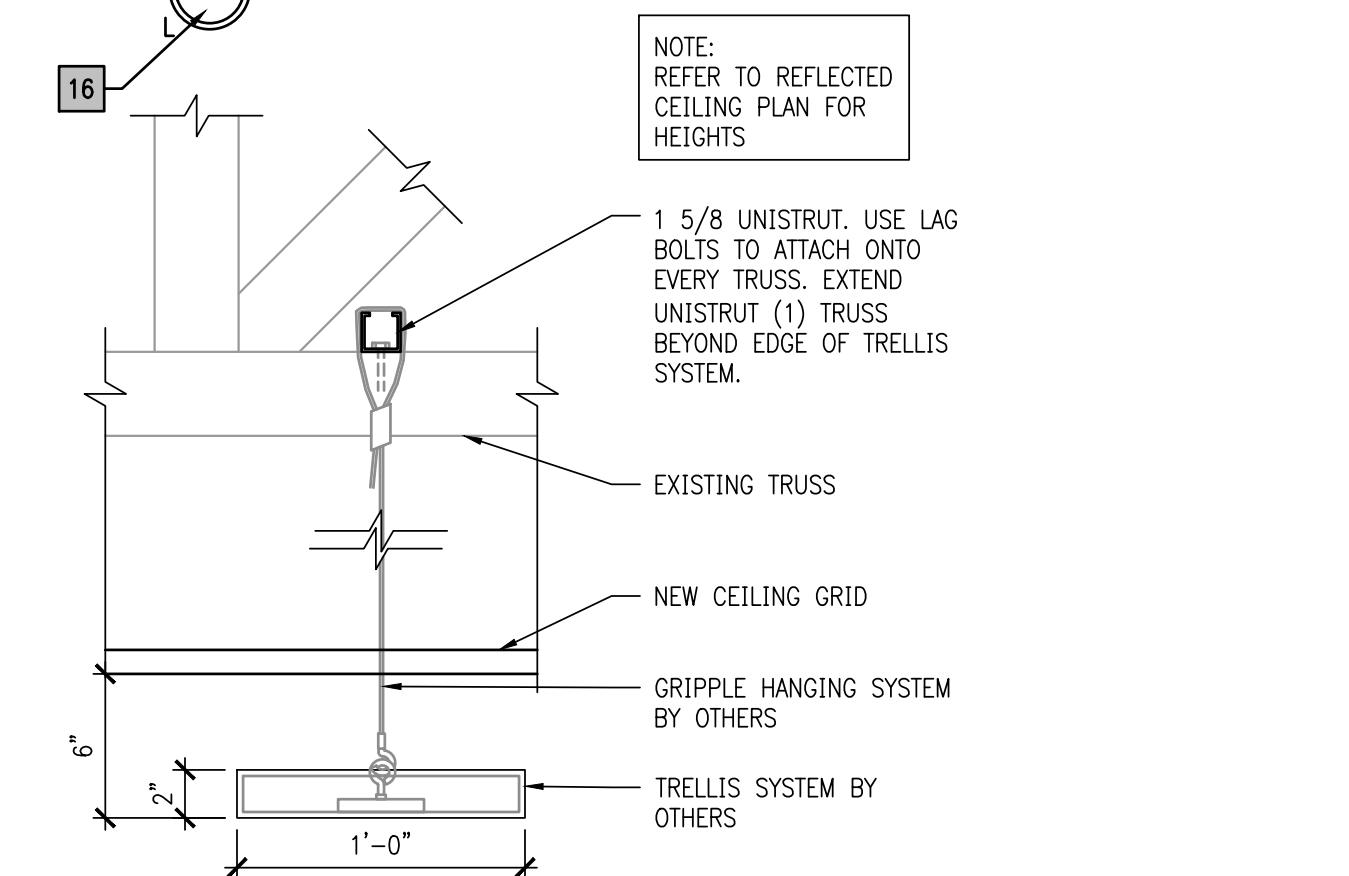
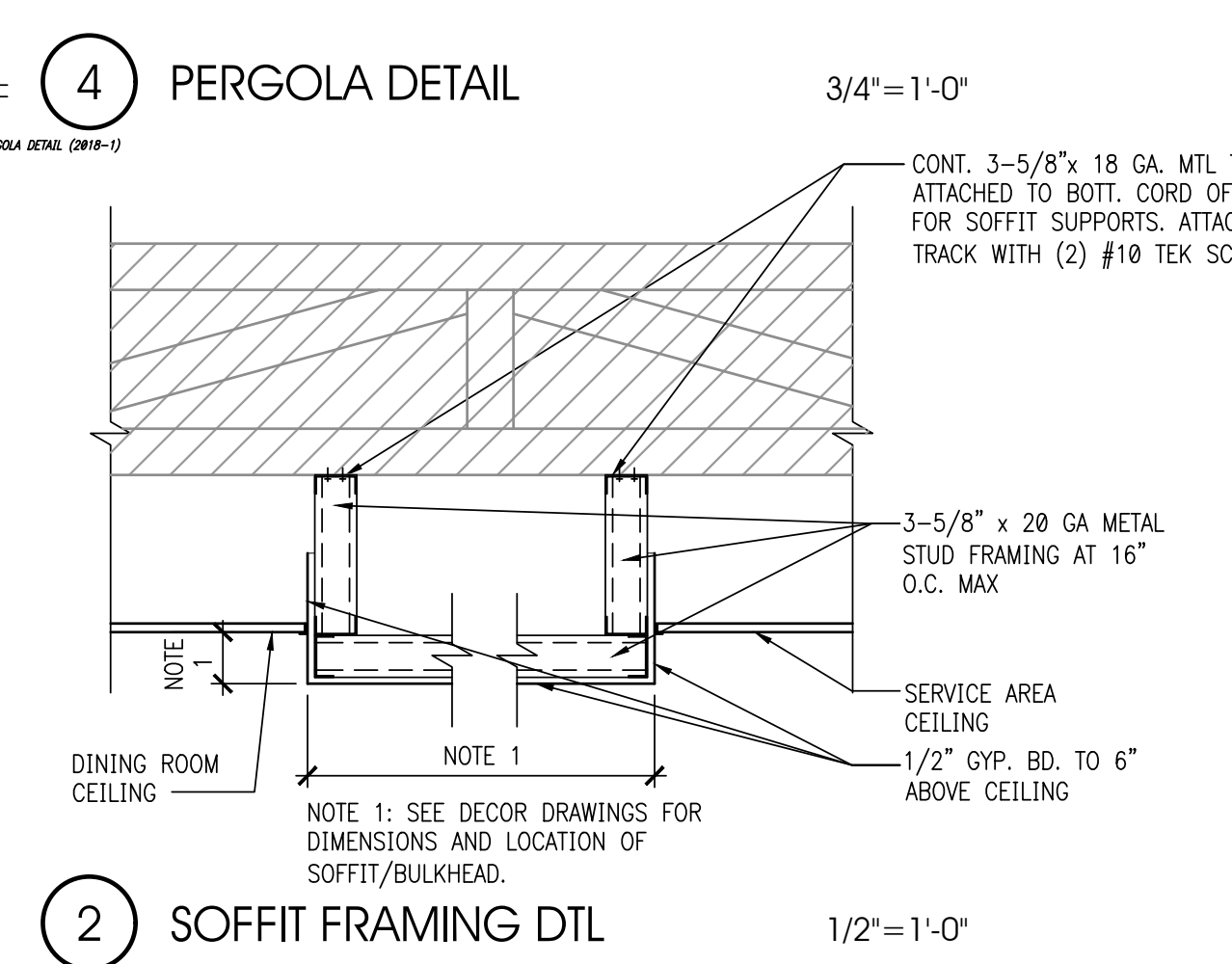
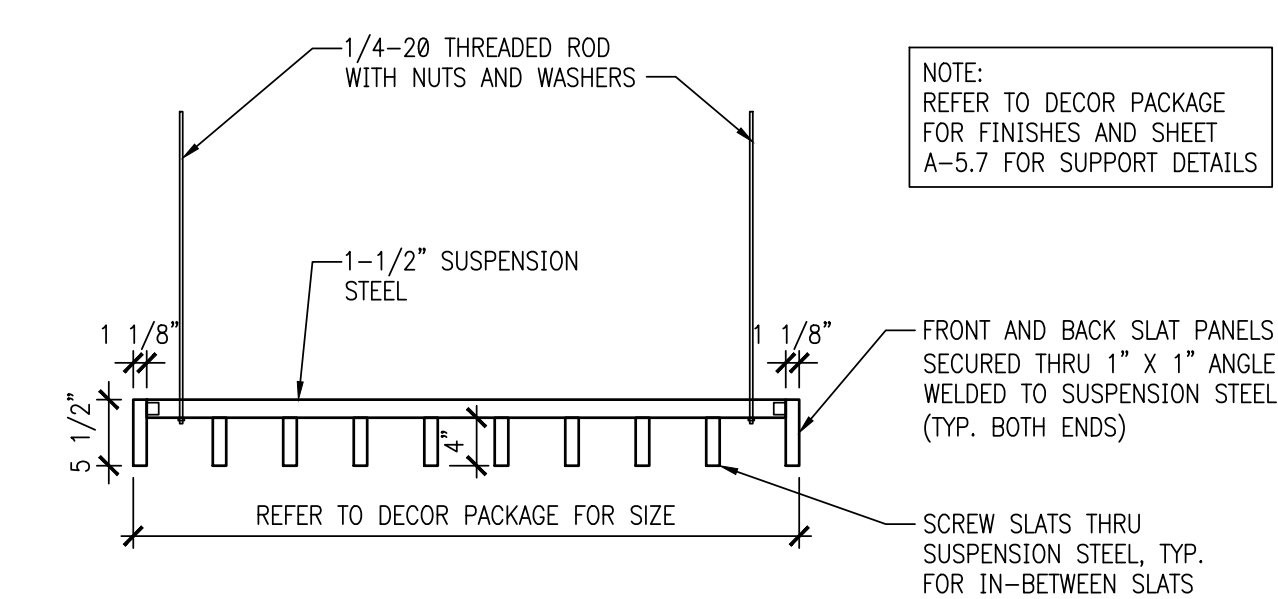
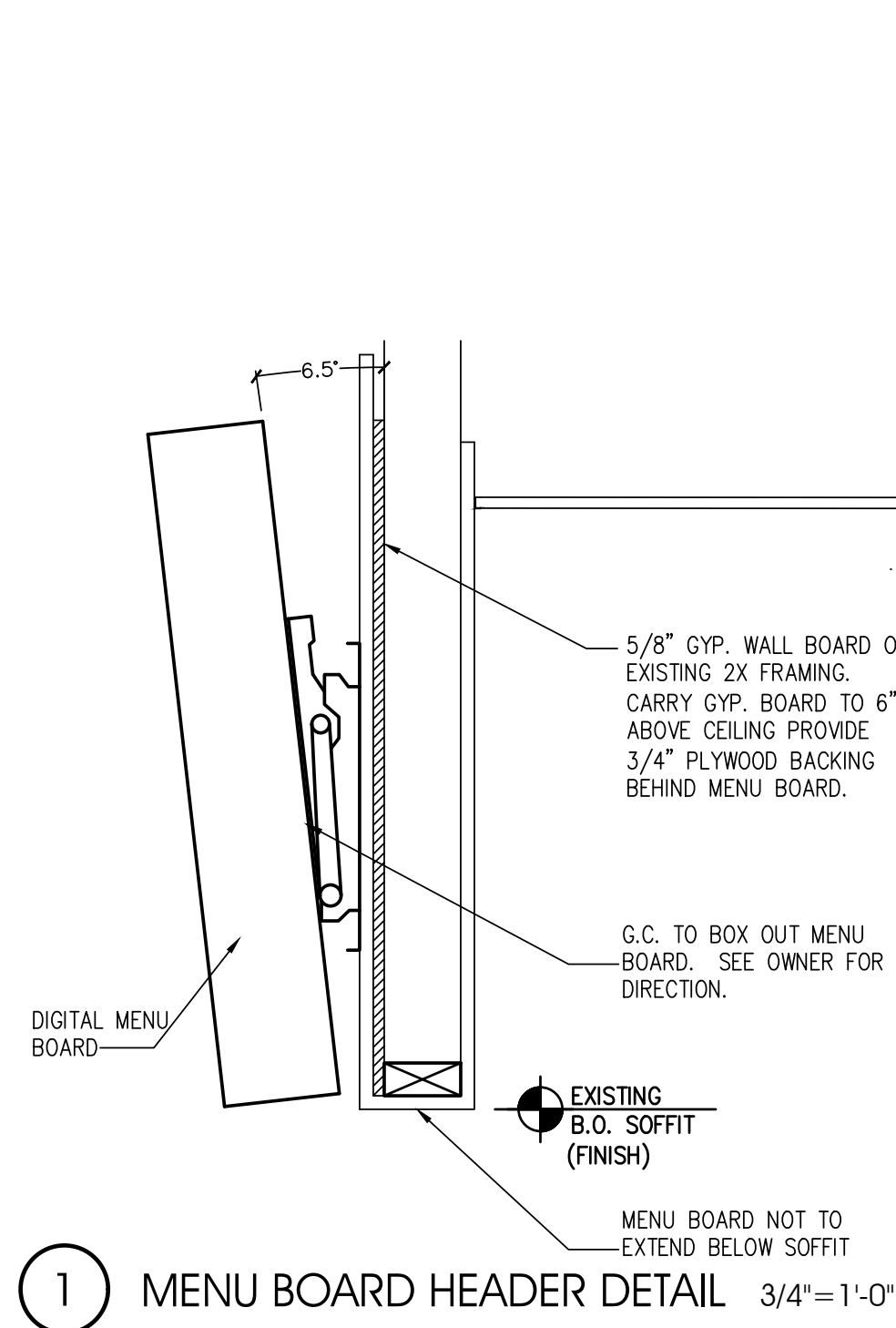
1 REFLECTED CEILING PLAN

1/4" = 1'-0"



KEY NOTES:

1. EXISTING GYPSUM BOARD CEILING IN RESTROOM TO REMAIN, PATCH AND REPAIR AS NEEDED FOR REMOVAL OF EXISTING LIGHT FIXTURES AND INSTALLATION OF NEW LIGHT FIXTURES. PAINT GLIDDEN/ICI PAINT, SATIN ENAMEL CEILING WHITE THROUGH-OUT RESTROOM.
2. EXISTING MENU BOARD WALL. INSTALL NEW 5/8" PLYWOOD BLOCKING ON ENTIRE LENGTH OF EXISTING SOFFIT FRAMING FOR THE INSTALLATION OF THE MENU BOARDS. INSTALL 5/8" GYPSUM BD. OVER PLYWOOD, AND FINISH PER SCHEDULE. RE-INSTALL MENU BOARD WITH ANGLE BRACKET. SEE DETAIL 1 ON THIS SHEET.
3. PREFABRICATED METAL CANOPY TYPICAL. COORDINATE WITH CANOPY VENDOR FOR WALL BLOCKING REQUIREMENTS.
4. INSTALL NEW CEILING GRID, COLOR: SEPIA. INSTALL NEW TILES --SEE NOTE 5 FOR TILE SPEC'S.
5. NEW SUSPENDED ACOUSTICAL CEILING TILE, 24 X 24 X 3/4 CEILING PANEL. USE INTERIORS, RADAR CLIMA PLUS #2210, PANEL: TAUPE, GRID: TAUPE, DONN DX/DXL.
6. INSTALL NEW LIGHT FIXTURES. SEE LIGHTING SCHEDULE.
7. PROVIDE NEW SUPPLY/RETURN GRILLES IN SAME LOCATIONS AS EXISTING, RELOCATE AS NEEDED, RECONNECT TO EXISTING DUCTWORK.
8. INSTALL NEW CEILING GRID AND TILE IN B.O.H. DRIVE-THRU, SERVICE AREAS AND STORAGE - SUSPENDED ACOUSTICAL TILE CEILING. USE INTERIORS 24 X 48 X 1/2 SHEETROCK BRAND LAY-IN CEILING PANEL CLIMAPLUS #3270, PANEL: WHITE, GRID: WHITE DX/DXL.
9. PENDANT LIGHTS TO BE CENTERED OVER TABLES. COORDINATE WITH DECOR DRAWINGS AND SEATING PLAN.
10. NEW UNDER CANOPY LIGHT FIXTURE MOUNTED CENTERED INSIDE THE CANOPY OR AS INDICATED IN THE PLAN. LIGHT FIXTURE COLOR TO MATCH CANOPY COLOR. G.C. TO ORDER THE CANOPY WITH THE LIGHT FIXTURE.
11. G.C. TO COORDINATE WITH CONSTRUCTION MANAGER FOR THE REINSTALLATION OF THE SECURITY CAMERAS, SPEAKERS AND/OR SECURITY EQUIPMENT.
12. NEW LIGHT FIXTURES INSTALL IN SAME LOCATION AS EXISTING.
13. NEW TRELLIS SOFFIT WITH LIGHT FIXTURES. REFER TO DECOR DRAWINGS FOR MORE INFORMATION. REFER TO DETAIL 5 ON THIS SHEET.
14. CONSTRUCT NEW GYP. BD. BULKHEAD. 3 5/8" METAL STUDS AND 5/8" GYPSUM BD. ALL SIDES. PAINT PER DECOR DRAWINGS. REFER TO DETAILS 2 & 3 ON THIS SHEET.
15. INSTALL NEW EMERGENCY OR EXIT LIGHT. REFER TO CONSTRUCTION MANAGER ON RE-USE OF EXISTING.
16. PROVIDE NEW WALL SCONCE.
17. PROVIDE NEW WALL PACK.
18. CONSTRUCT NEW EXTENDED BULKHEAD FOR MENU BOARD TO MATCH EXISTING. COORDINATE WITH CONSTRUCTION MANAGER.
19. NEW PERGOLA SOFFIT WITH LIGHT FIXTURES. REFER TO DECOR DRAWINGS FOR MORE INFORMATION. REFER TO DETAIL 4 ON THIS SHEET.
20. PROVIDE NEW GYPSUM BOARD CEILING.
21. INSTALL RECESSED LIGHT FIXTURES WITHIN GYPSUM BOARD CEILING/SOFFIT. REFER TO DECOR DRAWINGS.
22. OWNER TO PROVIDE NEW (4) DIGITAL MENU BOARDS.



RESTAURANT FOR: **Carrols Corporation**
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 ORLANDO, FLORIDA 32804
 PH: 407.645.5008
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CHECKED BY: DA
 DRAWN BY: MM
 DATE: 06.21.19

REFLECTED CEILING PLAN

A-2.0

BURGER KING 20/20 GARDEN GRILL EXTERIOR						
EXTERIOR LIGHT FIXTURE SCHEDULE						
ALL REMODELS & NEW CONSTRUCTION						
11/7/2017						
TYPE		VENDOR	CATALOG No.	WATTAGE	COLOR TEMP.	REMARKS
K (NEW CONST.)		CREE				RECESSED SOFFIT LIGHT
		SECURITY	851/852-60-U-WH	42	5000	
		LSI	XSP5 S LED SS CW 120 GWT DFL	43	5000	
		VAOPTO				
K (REMODELS)		CREE				1. FOR REMODELS ONLY
		SECURITY	851/852-60-U-WH	42	5000	2. RECESSED SOFFIT LIGHT
		LSI	XSP5 S LED SS CW 120 GWT DFL	43	5000	
		VAOPTO				
L (DOWN ONLY)		CREE	RS-30WLED-DO-SV-120-5300K	30	5300	1. OPTIONAL CLOSED CANOPY FIXTURE
		SECURITY	RWSC30LED-WD-PS-MT	30	5000	2. PROVIDED BY SIGN SUPPLIER WITH CANOPY
		LSI	WP35LF3X9U57KMSV	12	5700	
		KONTECH	KON-40-WS	40	5000	
		ENERGYWISE	EWKON-40-WS	40	5000	
L (UP/DOWN)		CREE	RS-42WLED-UD-SV-120-5300K	30	5300	1. EXTERIOR WALL FIXTURE
		SECURITY	RWSC30LED-UD-PS-MT	30	5000	2. OPTIONAL CANOPY FIXTURE
		LSI	WP36LF13X9U57KMSV	12 UP / 12 DOWN	5700	3. PROVIDED BY SIGN SUPPLIER WITH CANOPY
		KONTECH	KON-60-WS-DU	60	5000	
		ENERGYWISE	EWKON-60-WS-DU	60	5000	
M		KONTECH	KON-DVP-182-14-JY	40	5000	1. TO BE USED AT AWNINGS
		VAOPTO	VO-RP-40DW277-4	40	5000	2. OPTIONAL CLOSED CANOPY FIXTURE 3. PROVIDED BY SIGN SUPPLIER WITH AWNING/CANOPY
N		CREE	E.WP1X03127	27	4000	1. WALL MOUNTED SECURITY LIGHT
		SECURITY	WGH-1LU-M	41	5000	2. BRONZE FINISH
		LSI	SFCMWLEDPL150UEBRZ	33	5000	
		VAOPTO	VO-WP-DW-N50	50	5000	
O		CREE	LFL-A-(3,4,6,8)-DO-UL-BZ-53K-EA	3'-26 / 4'-35 6'-52 / 8'-70	5300	1. CONTINUOUS ARCHON TOWER LIGHTING
		SECURITY	HIRAF-HE-LED(96,72,48,36)DO-120-DB	8.5 / FT.	5200	2. DOWNLIGHT ONLY 3. TO BE PLACED AT TOP OF ARCHON TOWER 4. TO BE BRONZE FINISH
P		CREE	LFL-A-(3,4)-UO-UL-BZ-53K	3'-18 / 4'-23	5300	1. CONTINUOUS ARCHON TOWER LIGHTING
		SECURITY	HIRAF-HE-LED(48,36)UO-120-DB	50	5200	2. UPLIGHT ONLY 3. TO BE PLACED ABOVE ARCHON TOWER CANOPY 4. TO BE BRONZE FINISH
POLE		CREE	OSQ-A-DA AA-X-T-57K-UL-COLOR	166	5700	1. FINISH TO BE BLACK, BRONZE OR SILVER
		SECURITY	VP-L-80NB-180-5K-T4-UNV-RA-COLOR	180	5000	
		LSI	XLCMFTLEDHOCWUE-COLOR	276	5104	
		VAOPTO	VO-SL-NW-A56	120	5000	
		ENERGYWISE	EWEC724M2	209	5000	

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SECURITY LIGHTING ERIC HILLESLAND 630-636-8493 quotations@securitylighting.com		VaOpto ERIC DE RAMOS 702-517-5789 eric@vaopto.com	DAVE VAN DER BEEK 727-919-1816 DAVIDV2009@ATT.NET
LSI CURT GOOD 404-655-8440 curt.good@lsi-industries.com			JIM MILES 727-560-7985 JIM@FLORIDAELECTRONIC.NET

NOTES
1. NOT ALL LIGHT FIXTURES TYPES SHOWN ON SCHEDULE MAY BE USED ON THIS PROJECT. REFER TO LIGHTING PLAN FOR PROJECT SPECIFIC TYPES AND QUANTITIES.
1. NOT ALL LIGHT FIXTURES TYPES SHOWN ON SCHEDULE MAY BE USED ON THIS PROJECT. REFER TO LIGHTING PLAN FOR PROJECT SPECIFIC TYPES AND QUANTITIES.

BURGER KING 20/20 GARDEN GRILL INTERIOR							
INTERIOR LIGHT FIXTURE SCHEDULE							
10/6/2017							
LOW PROFILE TRELLIS							
TYPE		VENDOR	CATALOG No.	WATTAGE	COLOR TEMP.	REMARKS	
A		NAUTICAL	BK304 & SP305-18-60D-927-03	10	2700	SHAKER PENDANT LAMP	
			LED EDISON STYLE 10 WATT				
B		NAUTICAL	BK305 & LED 8W EDISON INCANDESCENT	6	2700K	BRONZE CAGE PENDANT LIGHT	
			LED CLEAR ANTIQUE STYLE 6 WATT				
B1		NAUTICAL	BK305 & LED 8W EDISON INCANDESCENT	6	2700K	BRONZE CAGE WALL SCONCE LIGHT	
			LED CLEAR ANTIQUE STYLE 6 WATT				
C4w		JUNO	SP36671-WHTRM	15	3000	1. 4" DIAMETER, WHITE, RECESSED DOWN LIGHT 2. TO BE USED WITH GWB CEILING	
			CREE	CR4-575L-27K-12-E26	9.5		2700
			ENERGYWISE	EWMLDLD4IN	11		2700
			SECURITY	LB4A 6L 30K 9 WH / IBXQL	9		3000
C4b		JUNO	SP36671-BLTRM			1. 4" DIAMETER, BLACK, RECESSED DOWN LIGHT 2. TO BE USED WITH ACoustICAL CEILING TILES	
			CREE	CR4-575L-27K-12-E26-MODBLK	9.5		2700
D4w		JUNO	SP36671G2 / 39 WWH	12.5	3000	1. 4" DIAMETER, WHITE, RECESSED DOWN LIGHT 2. TO BE USED WITH GWB CEILING	
			SECURITY	LB4A 6L 30K 9 WH / IBXQL	9		3000
D4b		JUNO	SP36671G2 / 39C BL RFD44875	12.5	3000	1. 4" DIAMETER, BLACK, RECESSED DOWN LIGHT 2. TO BE USED WITH ACoustICAL CEILING TILES	
E		JUNO	R600L3KNBZ	10	2700	TRACK LIGHT	
G		JUNO	SP34378B-9-F1-SSN	10	3000	2" DIAMETER DOWN LIGHT, SATIN NICKEL FINISH	
		ZANIBONI	D2LUNA20930A3CSNPBKOP	9	3000		
G1		JUNO	SP34378A-930-F1-5N	10	3000	2" DIAMETER WALL WASHER, SATIN NICKEL FINISH	
		ZANIBONI	D2LUN200930A3CSNPBKOD	9	3000		
I		SECURITY	CL-E-TFA04A-24R-40N	42	4000	1. TO BE USED IN KITCHEN 2. 2x4 RECESSED	
			LIT24-40-MLG-FSA-12-EU-C388	45	4000		
			LSI	SFP24 LED 50 UE DIM 40	50		4000
			VAOPTO	VO-PL-2NW4-60	60		4100
J		SECURITY	CL-E-TR14L2404U	42	3500	1. FOR REMODELS ONLY 2. TO BE USED IN RESTROOMS 3. 1x4 RECESSED	
			LIT14-35LWG-FSA12-EDU-C388	27	3500		
			LSI	SFP14 LED 40 UE DIM 35 FK14	40		3500
			VAOPTO	VO-PL-1XWW4-50	50		3000
PG		SECURITY	CL-E-TFA03A-22R-40N	32	3500	1. TO BE USED IN PLAYGROUND 2. 2x2 RECESSED	
			LIT22-35MLG-FSA12 EU	35	3500		
			LSI	SFP22 LED 30 UE DIM 35 FK22	30		3500
			VAOPTO	VO-PL-2XWW2-36	36		3000
EM		SECURITY	EWMLFP22EP3535	36	3500	EMERGENCY LIGHT	
			CREE	EM22RWH	11		
			LSI	CJ2	1		3000
			VAOPTO	LTEMWH	(2) 1 LED		
EMX		SECURITY	VO-EM	2	5000	EXIT / EMERGENCY LIGHT	
			ENERGYWISE	EWCU2	1		3000
			CREE	EXDMBRWH	11		
			LSI	CCRRC	4		
EMX-1 (REMOTE HEAD)		SECURITY	LPRXRUBWHL11R	(2) 1 LED		TO BE USED IN WALK IN BOX ONLY	
			VAOPTO	VO-EMX-R1	2		5000
			ENERGYWISE	EWCCR	4		3000
			CREE	WS4-50L-57K-10V-FD	55		5300
WIB		SECURITY	LXEM4-50ML-RFA-EU	53	5000		
			LSI	EG34SLEDHOCWUE	52		5300
			VAOPTO	VO-TF-14W	32		5000
			ENERGYWISE	EWMLD-LSV2XT8USE4806	36		

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SECURITY LIGHTING ERIC HILLESLAND 630-636-8493 quotations@securitylighting.com	NAUTICAL FURNISHINGS MICHAEL HOGUND 954-771-1100 mhoglund@nauticalfurnishings.com	VaOpto ERIC DE RAMOS 702-517-5789 eric@vaopto.com	ZANIBONI LIGHTING JENNIFER MORRIS 727-213-0410 southeastusa@zanibonilighting.com
LSI CURT GOOD 404-655-8440 curt.good@lsi-industries.com			

NOTES
1. NOT ALL LIGHT FIXTURES TYPES SHOWN ON SCHEDULE MAY BE USED ON THIS PROJECT. REFER TO LIGHTING PLAN FOR PROJECT SPECIFIC TYPES AND QUANTITIES.
2. PENDANT FIXTURES "A" MUST BE CENTERED OVER TABLE TOPS. COORDINATE WITH DÉCOR DRAWINGS.
3. EXCEPT FOR DROPPED CEILING OPTION, ALL LIGHT FIXTURES IN DINING ROOM AREA & RESTROOM CORRIDOR ARE TO BE SUPPORTED FROM EXPOSED ROOF TRUSSES.
4. CONTRACTOR TO NOTIFY LIGHTING SUPPLIER OF THE FOLLOWING: FIXTURE TYPES "C" AND "D" WILL BE REQUIRED TO BE LENS AT THE LOCATIONS OVER THE SERVICE AREA AND OVER THE SELF-SERVE DRINK AREA. FIXTURE TYPE "I" WILL REQUIRE A LENS OR TUBE GUARD AT THOSE LOCATIONS.

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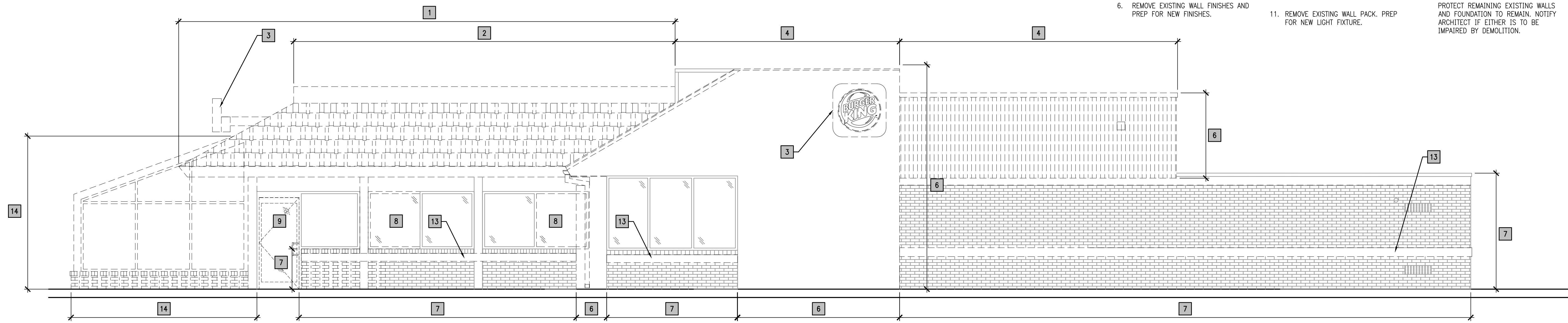
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 REVISION: _____
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 DATE: _____

BK 5118
 10882 HIGHLAND RD.
 HARTLAND, MI 48933
 BK-2500
 LIGHTING SCHEDULE
 DATE: 06.21.19

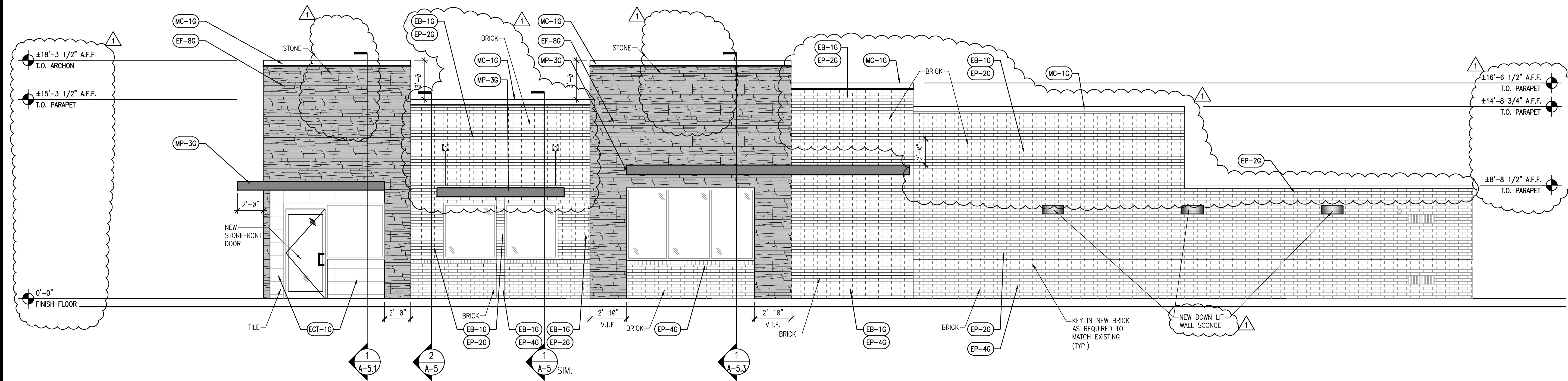
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 DRAWN: MM
 49

KEYED NOTES:

1. REMOVE EXISTING MANSARD FRAMING AND FINISHES IN ITS ENTIRETY.
2. REMOVE EXISTING LIGHTBAND AND COPING.
3. REMOVE EXISTING SIGNAGE.
4. REMOVE EXISTING COPING.
5. NOT USED.
6. REMOVE EXISTING WALL FINISHES AND PREP FOR NEW FINISHES.
7. EXISTING WALL FINISH TO REMAIN.
8. REMOVE EXISTING WINDOWS, PREP OPENING FOR NEW WALL INFILL.
9. REMOVE EXISTING DOOR AND PREP FOR NEW DOOR.
10. REMOVE PORTION OF EXISTING ROOF STRUCTURE FRAMING AND FINISHES. PREP FOR NEW ARCHON CONSTRUCTION.
11. REMOVE EXISTING WALL PACK. PREP FOR NEW LIGHT FIXTURE.
12. REMOVE EXISTING DRIVE-THRU WINDOW AND PREP FOR NEW DRIVE-THRU WINDOW.
13. REMOVE EXISTING WOOD TRIM AND PREP FOR NEW FINISHES, TO MATCH EXISTING WALL FINISHES.
14. REMOVE EXISTING GREEN HOUSE IN ITS ENTIRETY, INCLUDING FLOOR SLAB AND FOUNDATIONS. GENERAL CONTRACTOR TO TAKE CARE TO PROTECT REMAINING EXISTING WALLS AND FOUNDATION TO REMAIN. NOTIFY ARCHITECT IF EITHER IS TO BE IMPAIRED BY DEMOLITION.



1 MAIN ENTRY ELEVATION - DEMO
SCALE: 1/4" = 1'-0"



2 MAIN ENTRY ELEVATION - NEW
SCALE: 1/4" = 1'-0"

Approved Facade Material Percentages		
Material	Actual Percentage	Allowable Percentage
Brick	62.8 %	100 % (30 % Min.)
Ceramic Tiles	2.2 %	10 %
Stone	22.7 %	50 %
Flat Metal Panels	2.3 %	20 %
Glass	10.0 %	50 %
Wood	N/A	10 %
Fiber Cement Board	N/A	10 %

- GENERAL NOTES**
1. ALL ARCHONS SHALL BE FINISHED WITH SAME MATERIAL.
 2. ALL FINISHES PER GARDEN GRILL FINISH SCHEDULE AS SHOWN ON ELEVATIONS.
 3. PROVIDE LIGHTS UNDER CANOPIES IF NOT PRESENT.

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DRAWN BY: MM/RS
 CHECKED BY: DA
 DATE: 06.08.19

REVISION COMMENTS
 1 07/27/19 TOWNSHIP COMMENTS

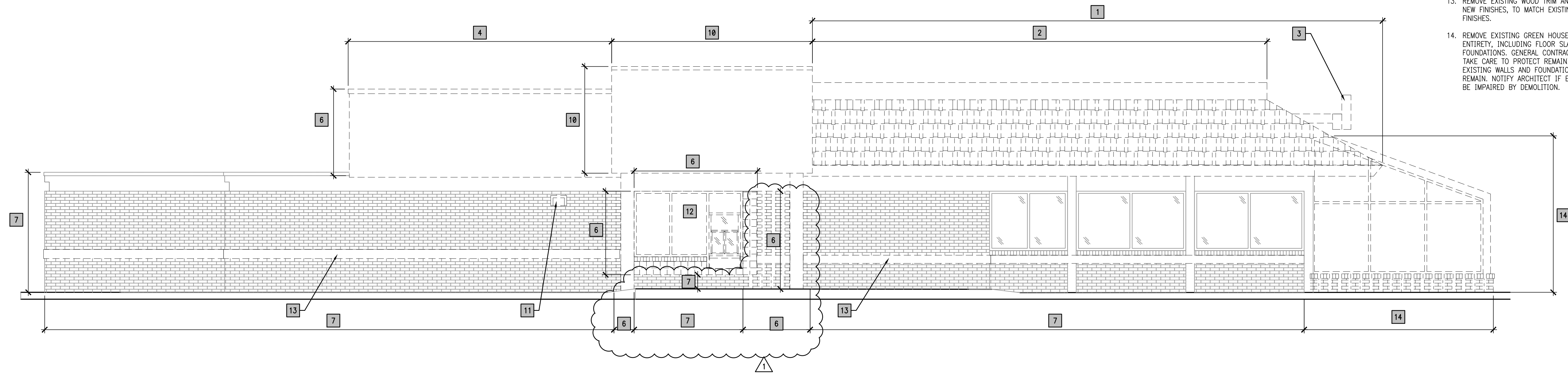
DATE:

IP# 2019.2190
 BK 5118
 10389 HIGHLAND RD
 HARTLAND, MI 48353
 BK-2500
 NEW DEMO EXTERIOR ELEVATIONS

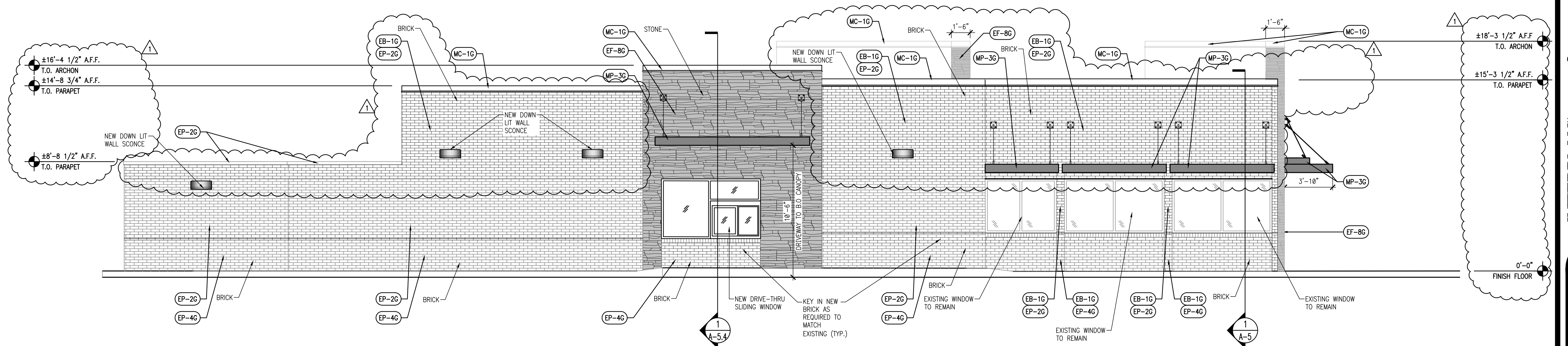
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KEYED NOTES:

1. REMOVE EXISTING MANSARD FRAMING AND FINISHES IN ITS ENTIRETY.
2. REMOVE EXISTING LIGHTBAND AND COPING.
3. REMOVE EXISTING SIGNAGE.
4. REMOVE EXISTING COPING.
5. NOT USED
6. REMOVE EXISTING WALL FINISHES AND PREP FOR NEW FINISHES.
7. EXISTING WALL FINISH TO REMAIN.
8. REMOVE EXISTING WINDOWS. PREP OPENING FOR NEW WALL INFILL.
9. REMOVE EXISTING DOOR AND PREP FOR NEW DOOR.
10. REMOVE PORTION OF EXISTING ROOF STRUCTURE FRAMING AND FINISHES. PREP FOR NEW ARCHON CONSTRUCTION.
11. REMOVE EXISTING WALL PACK. PREP FOR NEW LIGHT FIXTURE.
12. REMOVE EXISTING DRIVE-THRU WINDOW AND PREP FOR NEW DRIVE-THRU WINDOW.
13. REMOVE EXISTING WOOD TRIM AND PREP FOR NEW FINISHES, TO MATCH EXISTING WALL FINISHES.
14. REMOVE EXISTING GREEN HOUSE IN ITS ENTIRETY, INCLUDING FLOOR SLAB AND FOUNDATIONS. GENERAL CONTRACTOR TO TAKE CARE TO PROTECT REMAINING EXISTING WALLS AND FOUNDATION TO REMAIN. NOTIFY ARCHITECT IF EITHER IS TO BE IMPAIRED BY DEMOLITION.



1 DRIVE THRU ELEVATION - DEMO
SCALE: 1/4" = 1'-0"



2 DRIVE THRU ELEVATION - NEW
SCALE: 1/4" = 1'-0"

Material	Actual Percentage	Allowable Percentage
Brick	74.8 %	100 % (30 % Min.)
Ceramic Tiles	N/A	10 %
Stone	12.5 %	50 %
Flat Metal Panels	2.1 %	20 %
Glass	10.6 %	50 %
Wood	N/A	10 %
Fiber Cement Board	N/A	10 %

GENERAL NOTES

1. ALL ARCHONS SHALL BE FINISHED WITH SAME MATERIAL.
2. ALL FINISHES PER GARDEN GRILL FINISH SCHEDULE AS SHOWN ON ELEVATIONS.
3. PROVIDE LIGHTS UNDER CANOPIES IF NOT PRESENT.

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DRAWN BY: MM/RS
 CHECKED BY: DA
 DATE: 06.08.19

REVISION: 1
 COMMENTS:

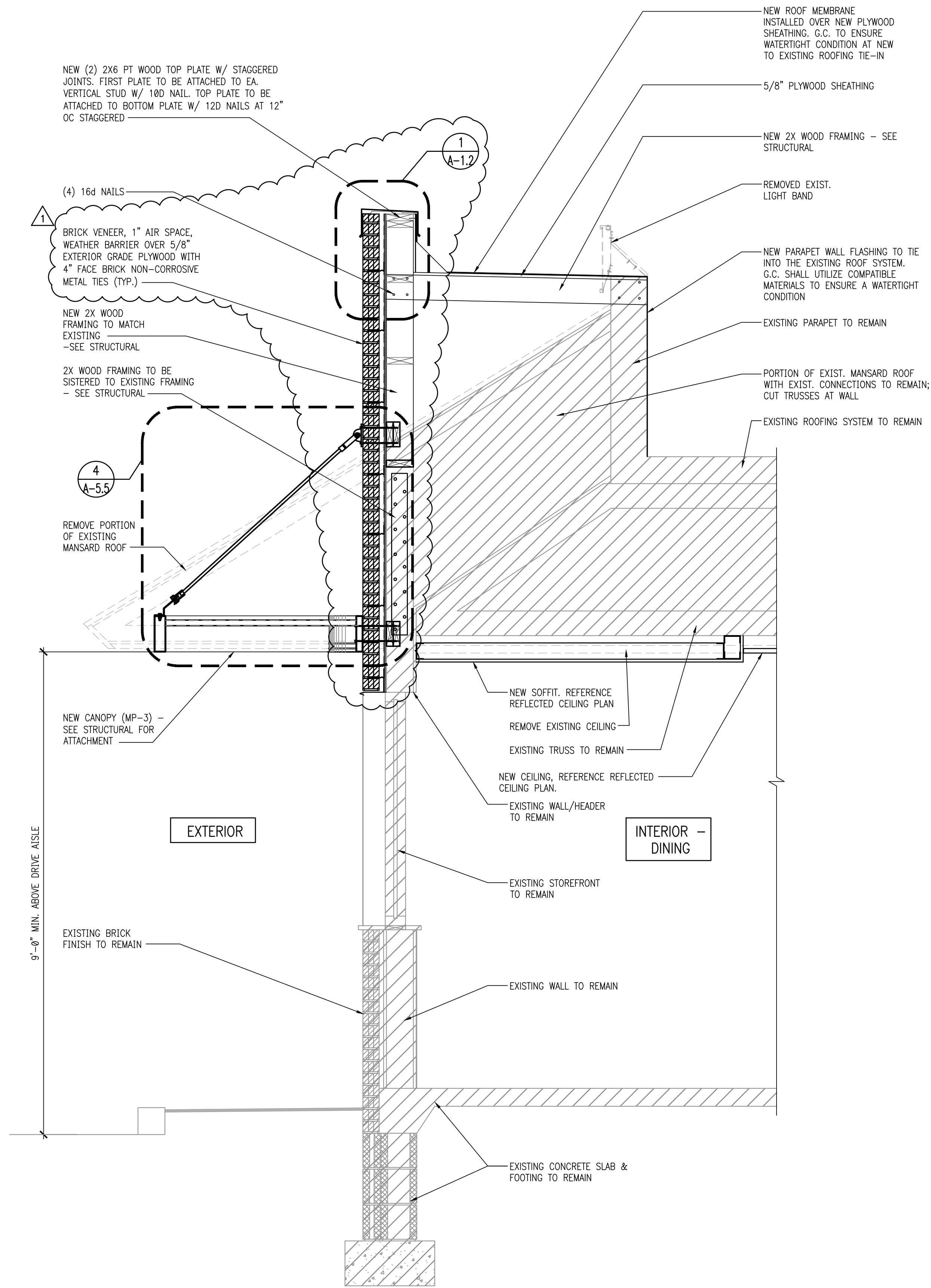
DATE: 10/27/19

TOWNSHIP COMMENTS:

IP# 2019.2180
 BK 5118
 10389 HIGHLAND RD
 HARTLAND, MI 48353
 BK-2500
 DATE: 06.08.19
 NEW DEMO EXTERIOR ELEVATIONS

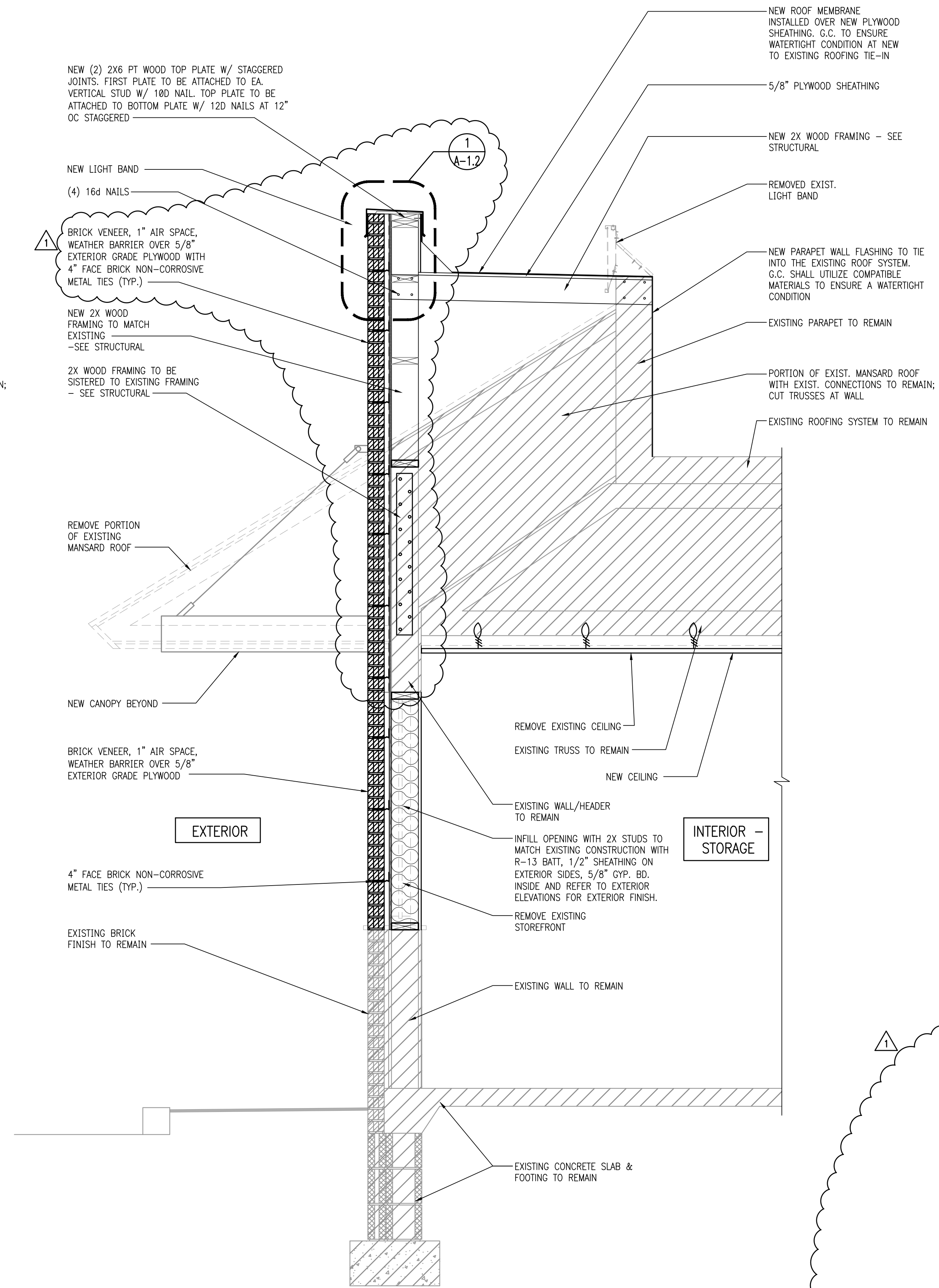
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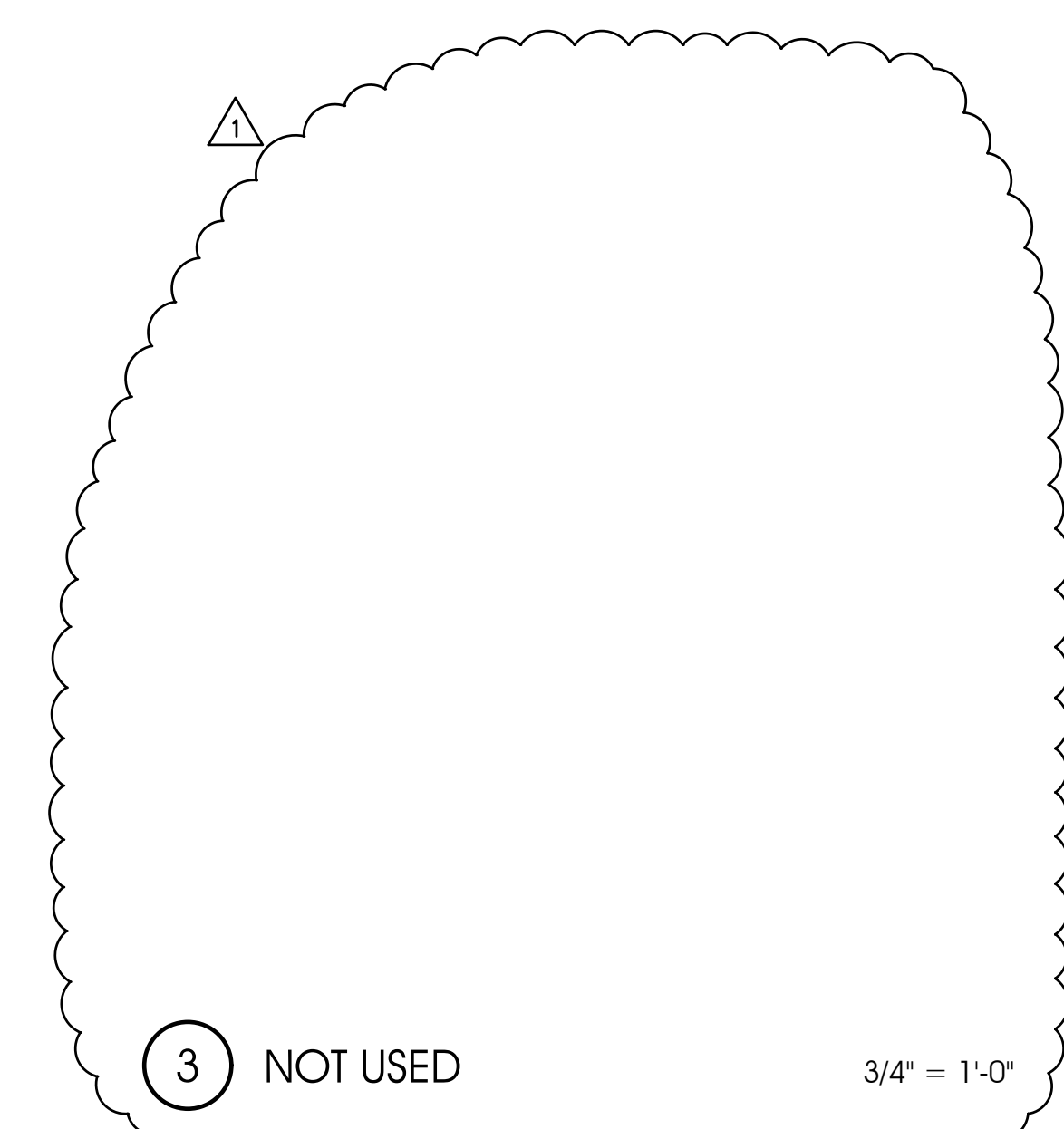
1 WALL SECTION

3/4" = 1'-0"



2 WALL SECTION

3/4" = 1'-0"



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DATE: 06.06.19
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 CHECKED: DA

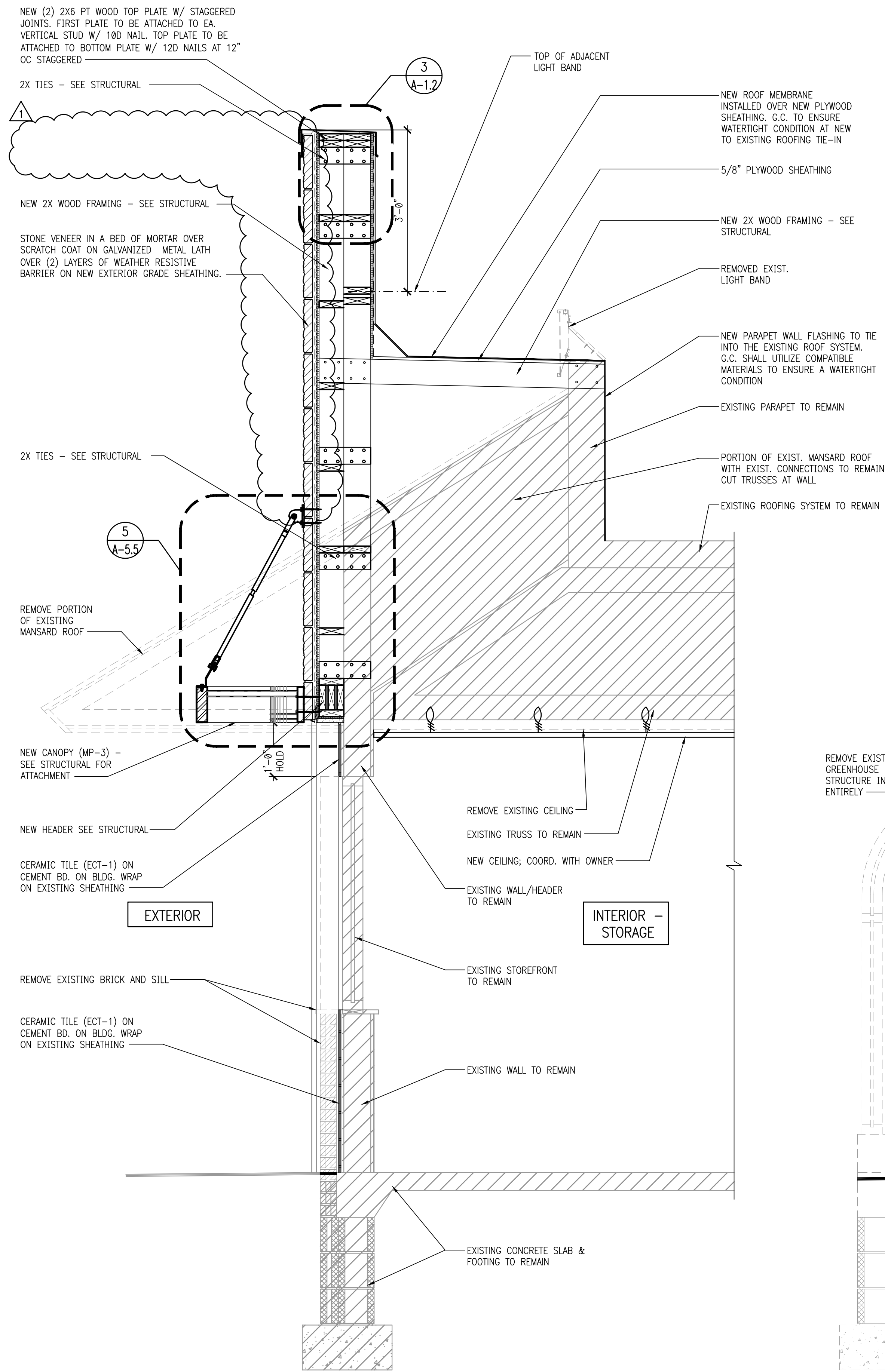
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WALL SECTIONS

CC# 1018
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 10382 HIGHLAND RD.
 HARTLAND, MI 48353

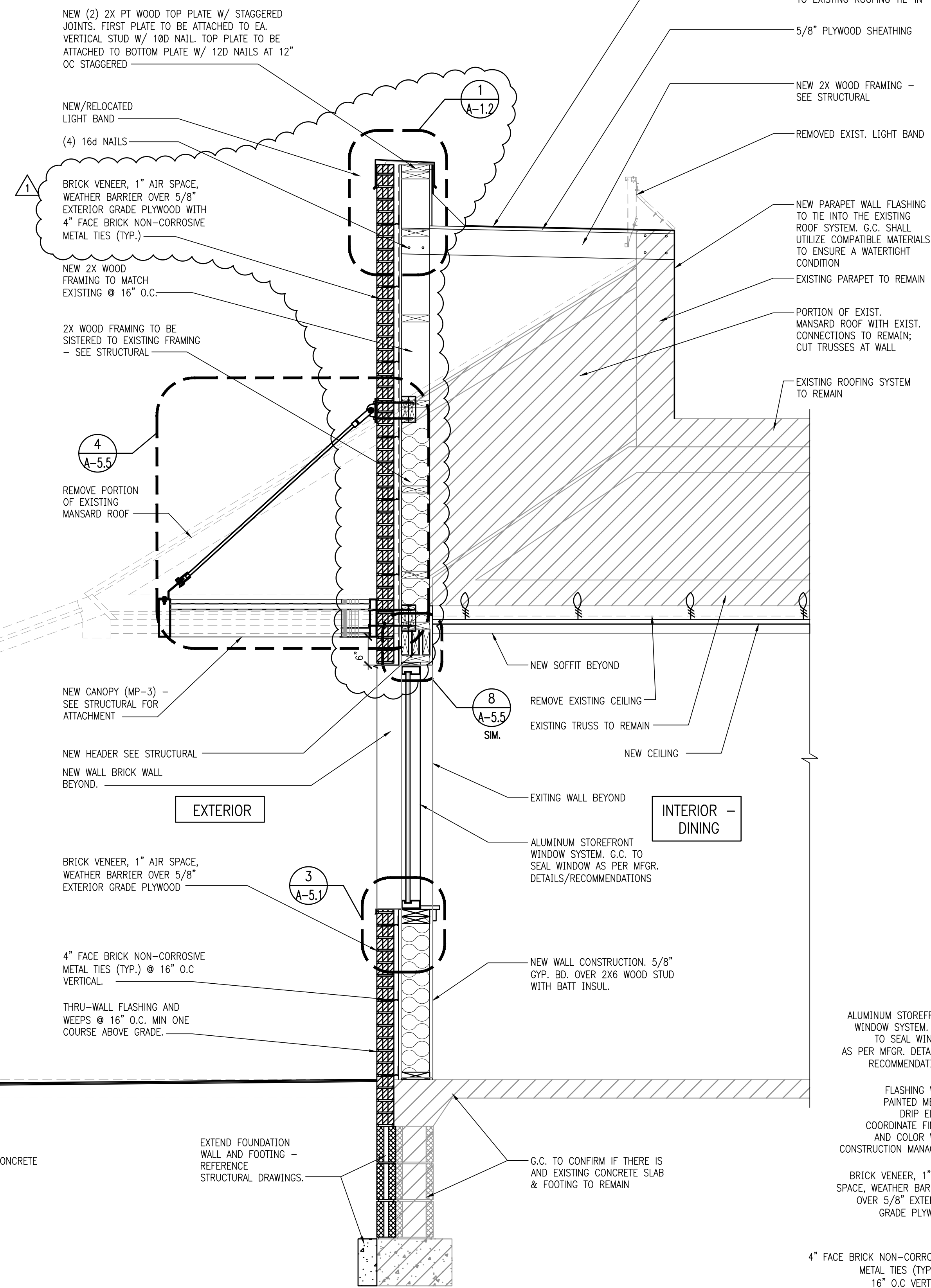
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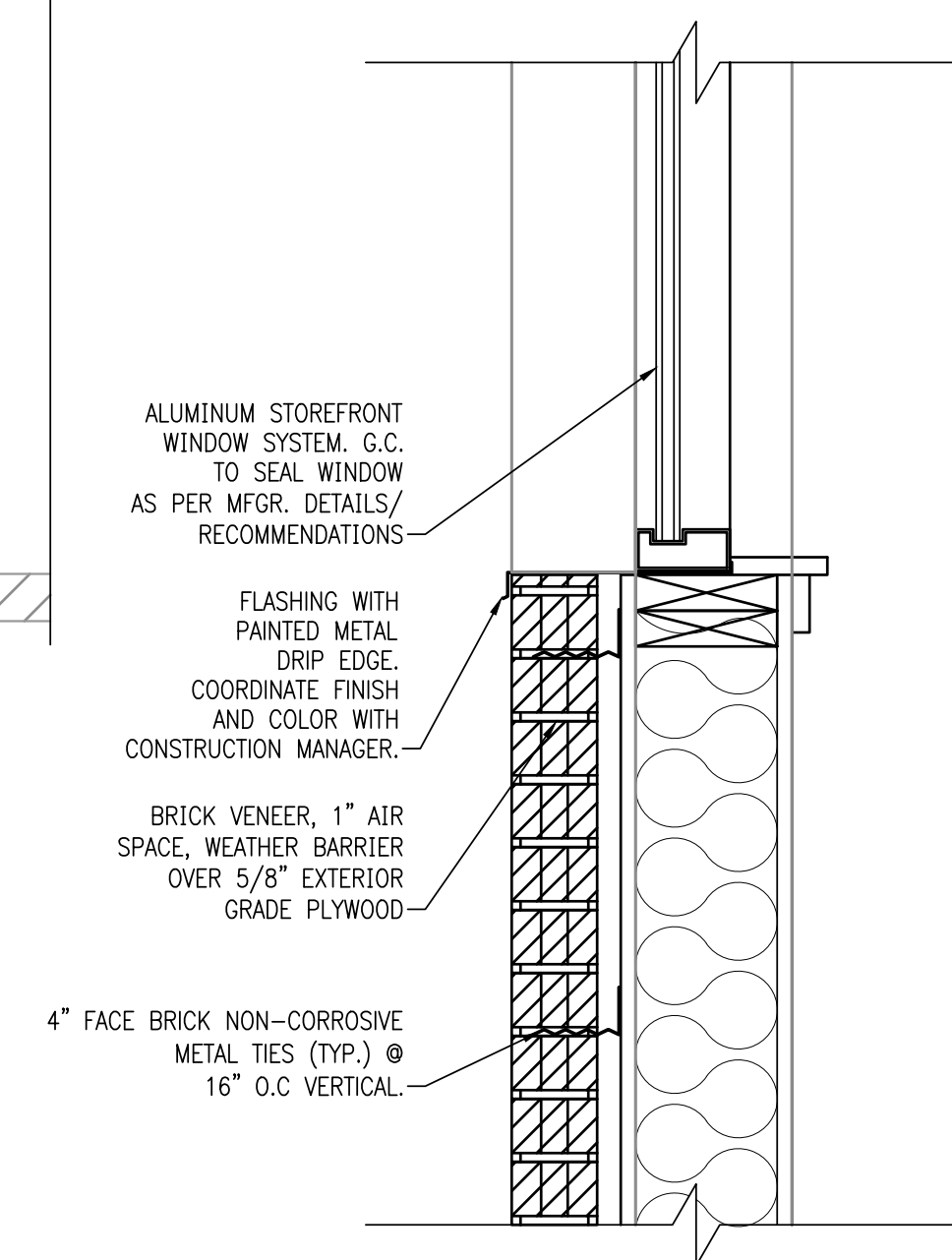
1 WALL SECTION - CORNER ARCHON

3/4" = 1'-0"



2 WALL SECTION

3/4" = 1'-0"



3 DETAIL

3/4" = 1'-0"

DATE:	
CHECKED BY:	
REVISION	
TOWNSHIP COMMENTS	
NO. DATE	
1 10/27/19	

RESTAURANT FOR: **Carrols Corporation**
 968 James Street P.O. Box 6969
 Syracuse, New York 13217-6969
 (315) 424-0513

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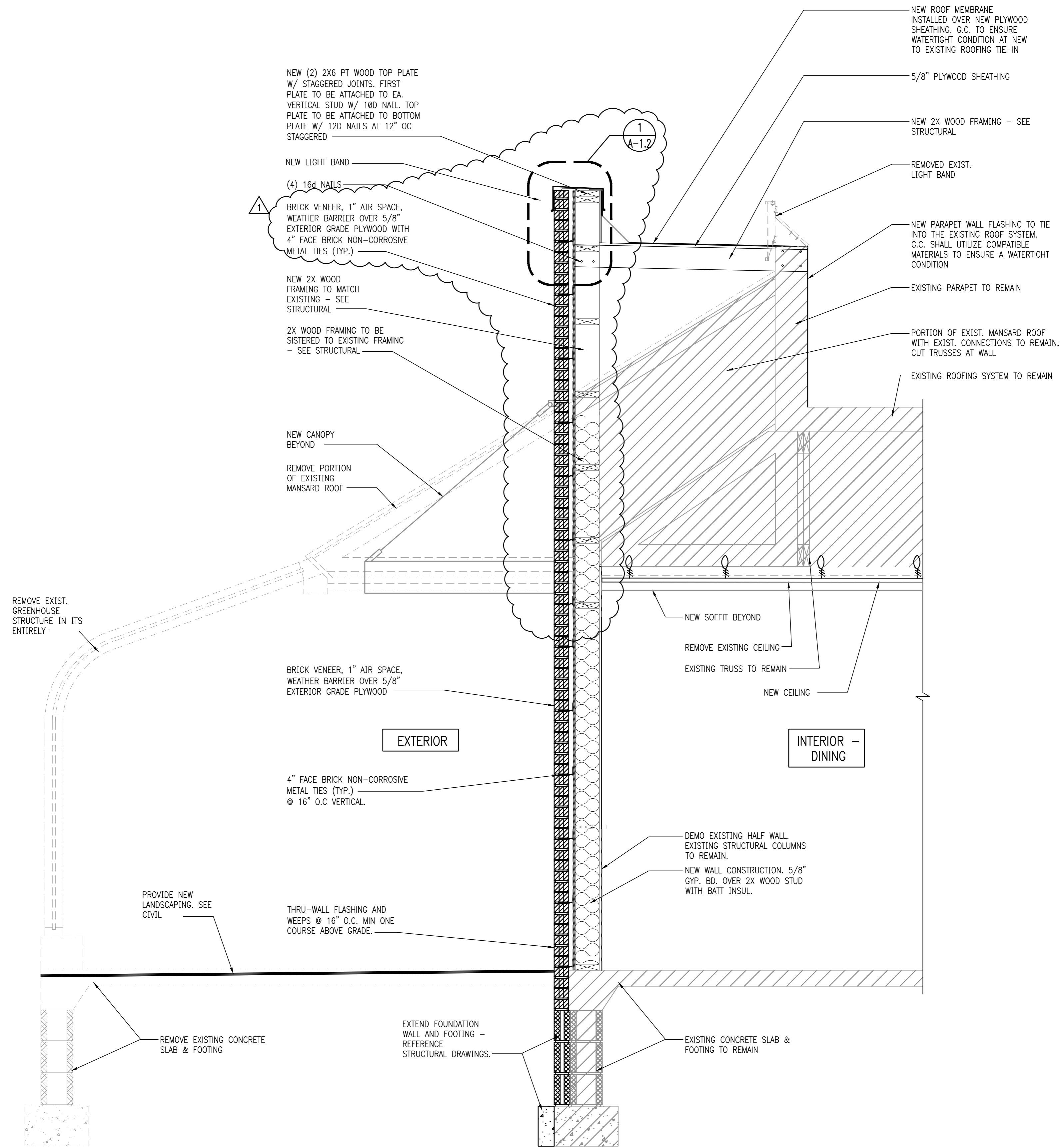
604 COURTLAND STREET
 ORLANDO, FLORIDA 32804
 PH: 407.645.5008
 FX: 407.629.9124

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IP# 2019.2190
 BK 5118
 10822 HIGHLAND RD.
 HARTLAND, MI 48933
 CC# 1018
 BK-2500
 DATE: 06.06.19
 WALL SECTIONS

A-5.1
 CHECKED: DA
 DRAWN: MM
 55



1 WALL SECTION

3/4" = 1'-0"

NO.	DATE	REVISION	COMMENTS
1	09/27/19		TOWNSHIP COMMENTS

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IP# 2019.2190	BK 5118 10382 HIGHLAND RD. HARTLAND, MI 48933	DATE: 06.06.19	WALL SECTIONS
CC# 1018	BK-2500	DA	MM

A-5.2

NEW (2) 2X6 PT WOOD TOP PLATE W/
STAGGERED JOINTS. FIRST PLATE TO BE
ATTACHED TO EA. VERTICAL STUD W/
180 NAIL. TOP PLATE TO BE ATTACHED
TO BOTTOM PLATE W/ 12D NAILS AT
12" OC STAGGERED

2X TIES - SEE
STRUCTURAL

NEW 2X WOOD
FRAMING - SEE
STRUCTURAL

STONE VENEER IN A
BED OF MORTAR OVER
SCRATCH COAT ON
GALVANIZED METAL
LATH OVER (2) LAYERS
OF WEATHER RESISTIVE
BARRIER ON NEW
EXTERIOR GRADE
SHEATHING.

NEW CANOPY (MP-3) -
SEE STRUCTURAL FOR
ATTACHMENT

NEW HEADER SEE
STRUCTURAL

EXISTING STOREFRONT
DOOR TO REMAIN

EXISTING CONCRETE SLAB &
FOOTING TO REMAIN

G.C. TO CONFIRM IF THERE IS
AN EXISTING CONCRETE SLAB
& FOOTING TO REMAIN

1 WALL SECTION - MAIN ENTRY ARCHON

3/4" = 1'-0"

NEW (2) 2X PT WOOD TOP
PLATE W/ STAGGERED
JOINTS. - SEE STRUCTURAL

2X TIES - SEE
STRUCTURAL

NEW 2X WOOD FRAMING
- SEE STRUCTURAL

STONE VENEER IN A BED OF
MORTAR OVER SCRATCH COAT
ON GALVANIZED METAL LATH
OVER (2) LAYERS OF WEATHER
RESISTIVE BARRIER ON NEW
EXTERIOR GRADE SHEATHING.

NEW LIGHT BAND

REMOVE PORTION OF
EXISTING MANSARD ROOF

REMOVE EXIST.
CEILING AT
GREENHOUSE

NEW HEADER SEE
STRUCTURAL

NEW WALL
CONSTRUCTION
WITH NEW
STOREFRONT AND
BRICK VENEER
FINISH

REMOVED EXIST.
WOOD BOND

EXISTING STOREFRONT
TO REMAIN

EXISTING CONCRETE SLAB &
FOOTING TO REMAIN

2 WALL SECTION - MAIN ENTRY ARCHON

3/4" = 1'-0"

NEW ROOF MEMBRANE
INSTALLED OVER NEW
PLYWOOD SHEATHING. G.C.
TO ENSURE WATERTIGHT
CONDITION AT NEW TO
EXISTING ROOFING TIE-IN

5/8" PLYWOOD
SHEATHING

NEW 2X WOOD FRAMING
- SEE STRUCTURAL

REMOVED EXIST.
LIGHT BAND

NEW PARAPET WALL
FLASHING TO TIE INTO
THE EXISTING ROOF
SYSTEM. G.C. SHALL
UTILIZE COMPATIBLE
MATERIALS TO ENSURE
A WATERTIGHT CONDITION

EXISTING PARAPET TO
REMAIN

PORTION OF EXIST.
MANSARD ROOF WITH
EXIST. CONNECTIONS
TO REMAIN; CUT
TRUSSES AT WALL

EXISTING ROOFING
SYSTEM TO REMAIN

REMOVE PORTION OF
EXISTING MANSARD ROOF

REMOVE EXIST.
CEILING AT
GREENHOUSE

NEW HEADER SEE
STRUCTURAL

NEW WALL
CONSTRUCTION
WITH NEW
STOREFRONT AND
BRICK VENEER
FINISH

REMOVED EXIST.
WOOD BOND

REMOVE PORTION OF
EXISTING MANSARD ROOF

REMOVE EXIST.
CEILING

EXISTING TRUSS TO REMAIN

NEW SOFFIT. REFERENCE
REFLECTED CEILING PLAN.

EXISTING WALL TO REMAIN

EXISTING TRUSS TO REMAIN

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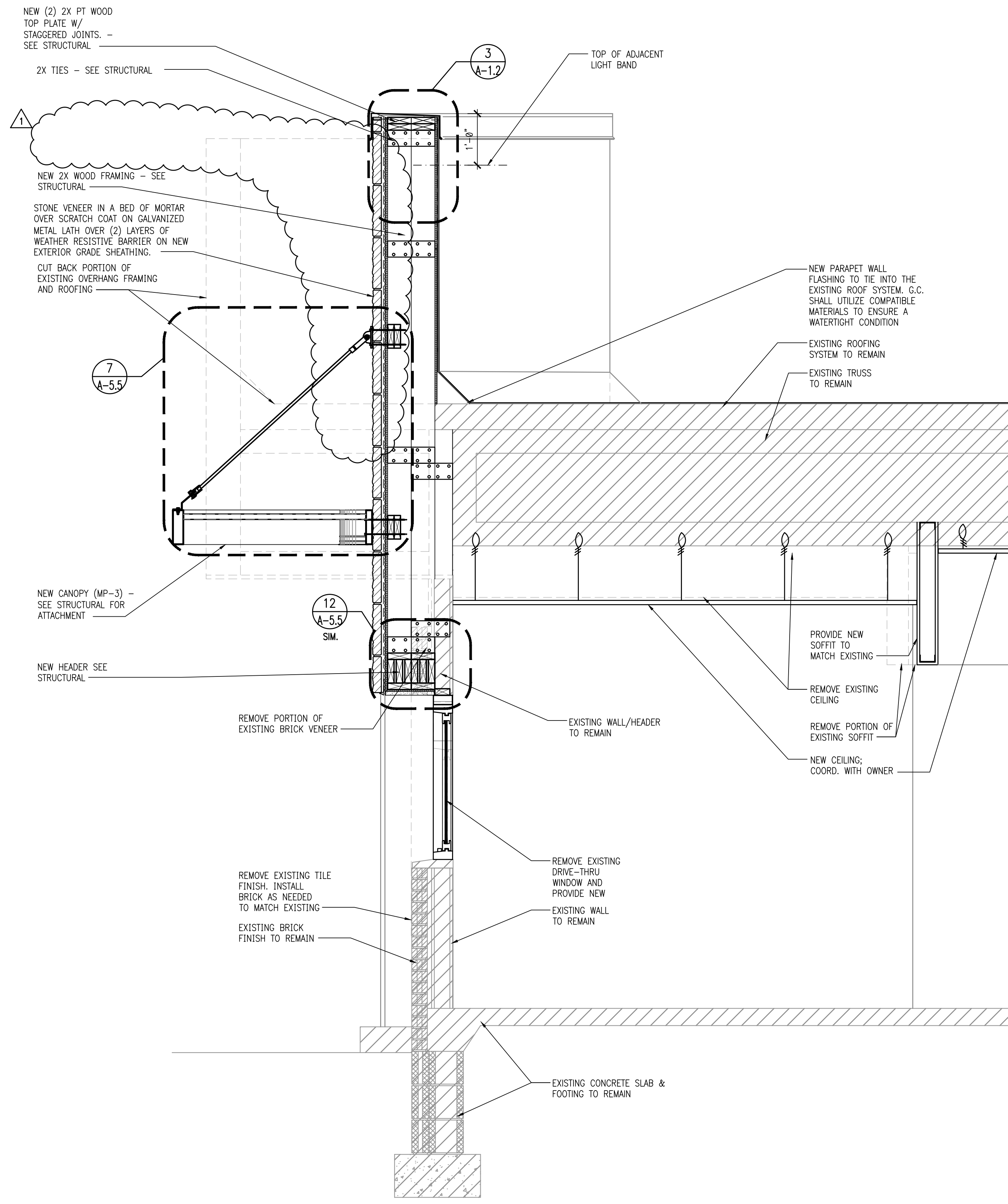
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EXISTING TR



1 WALL SECTION - DRIVE-THRU ARCHON

3/4" = 1'-0"

DATE:	
CHECKED BY:	
REVISION:	
TOWNSHIP COMMENTS:	
DRAWN BY:	
DATE:	
NO:	
DATE:	

RESTAURANT FOR: **Carrols Corporation**
 968 James Street P.O. Box 6969
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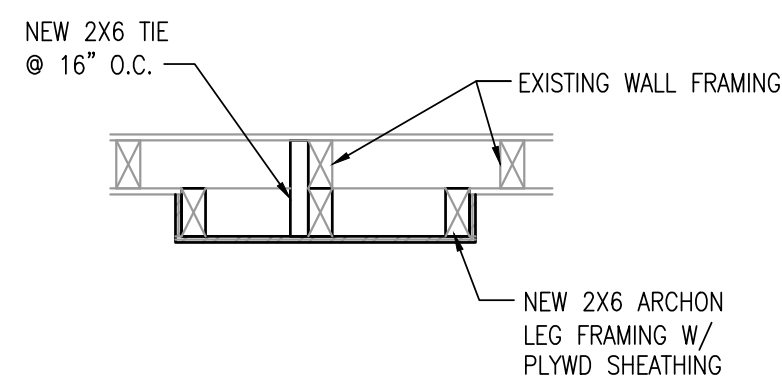
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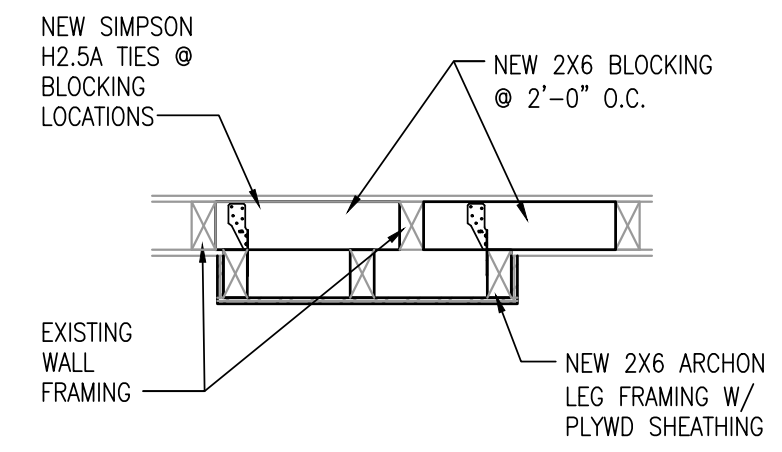
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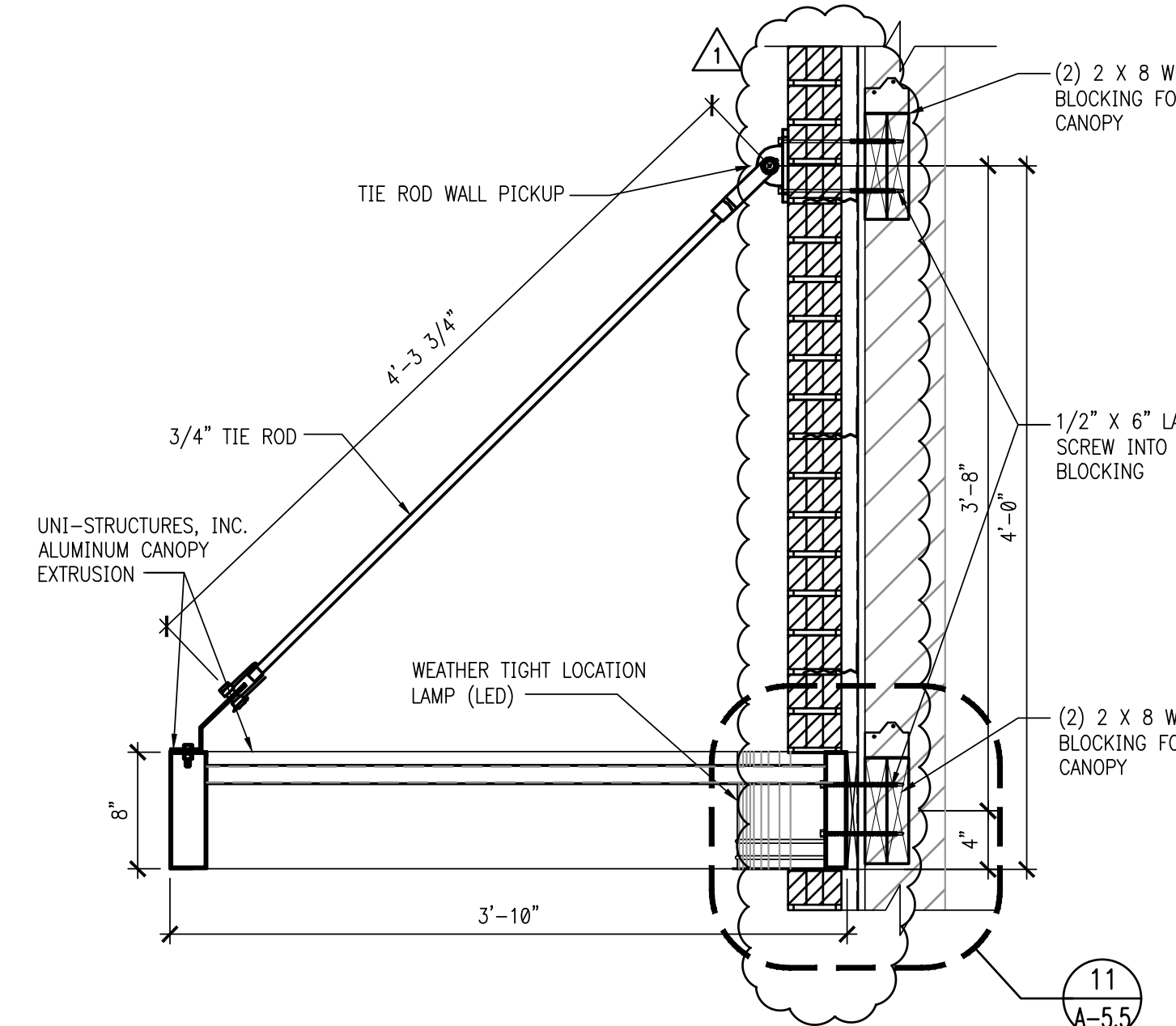
IP# 2019.2190	
CC# 1018	BK 5118 10382 HIGHLAND RD. HARTLAND, MI 48353
	DATE: 06.06.19
BK-2500	WALL SECTIONS
	A-5.4
CHECKED: DA	DRAWN: MM
	58



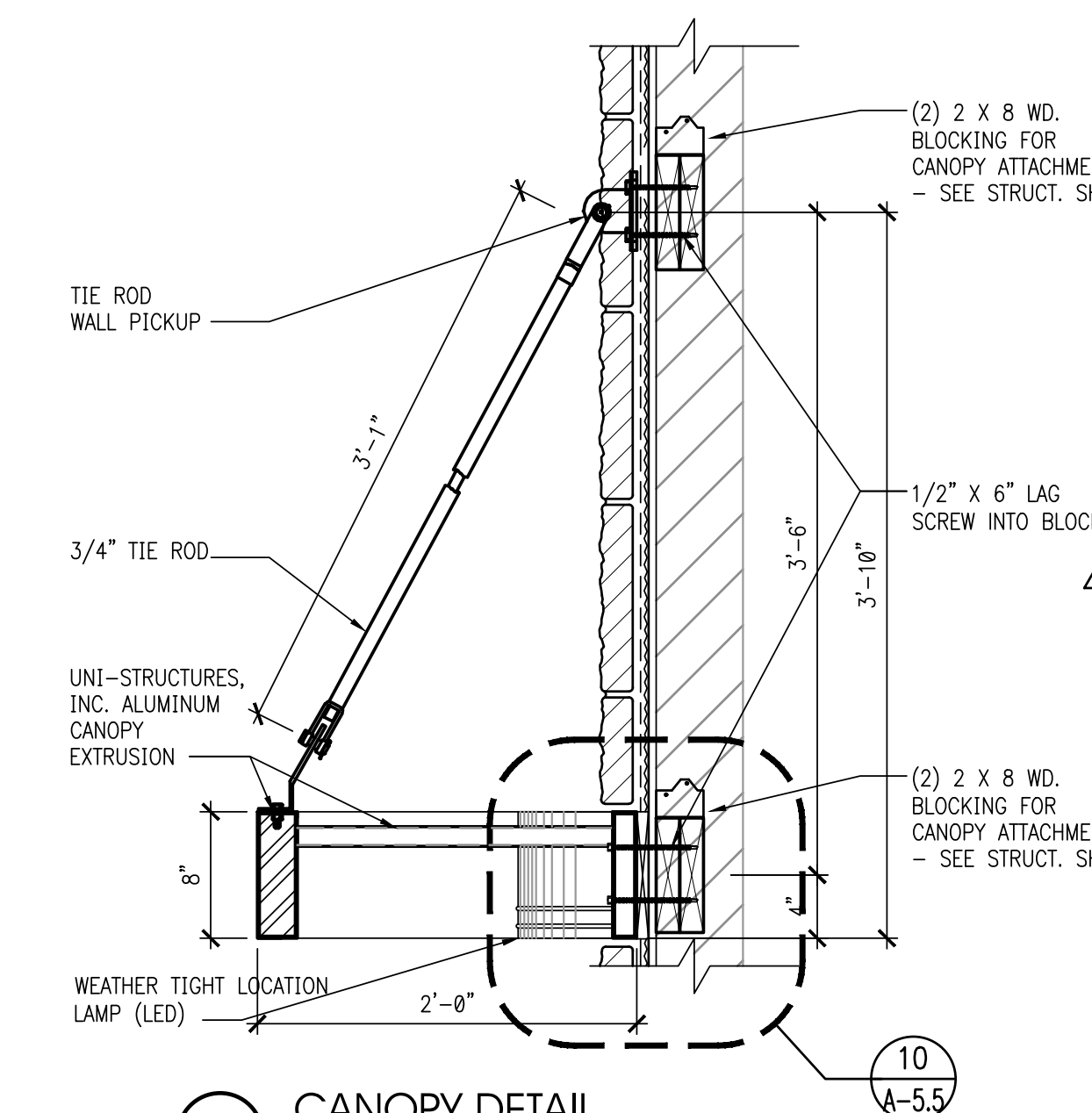
2 CONNECTION DETAIL - ALIGN W/ EXIST. STUD
3/4" = 1'-0"



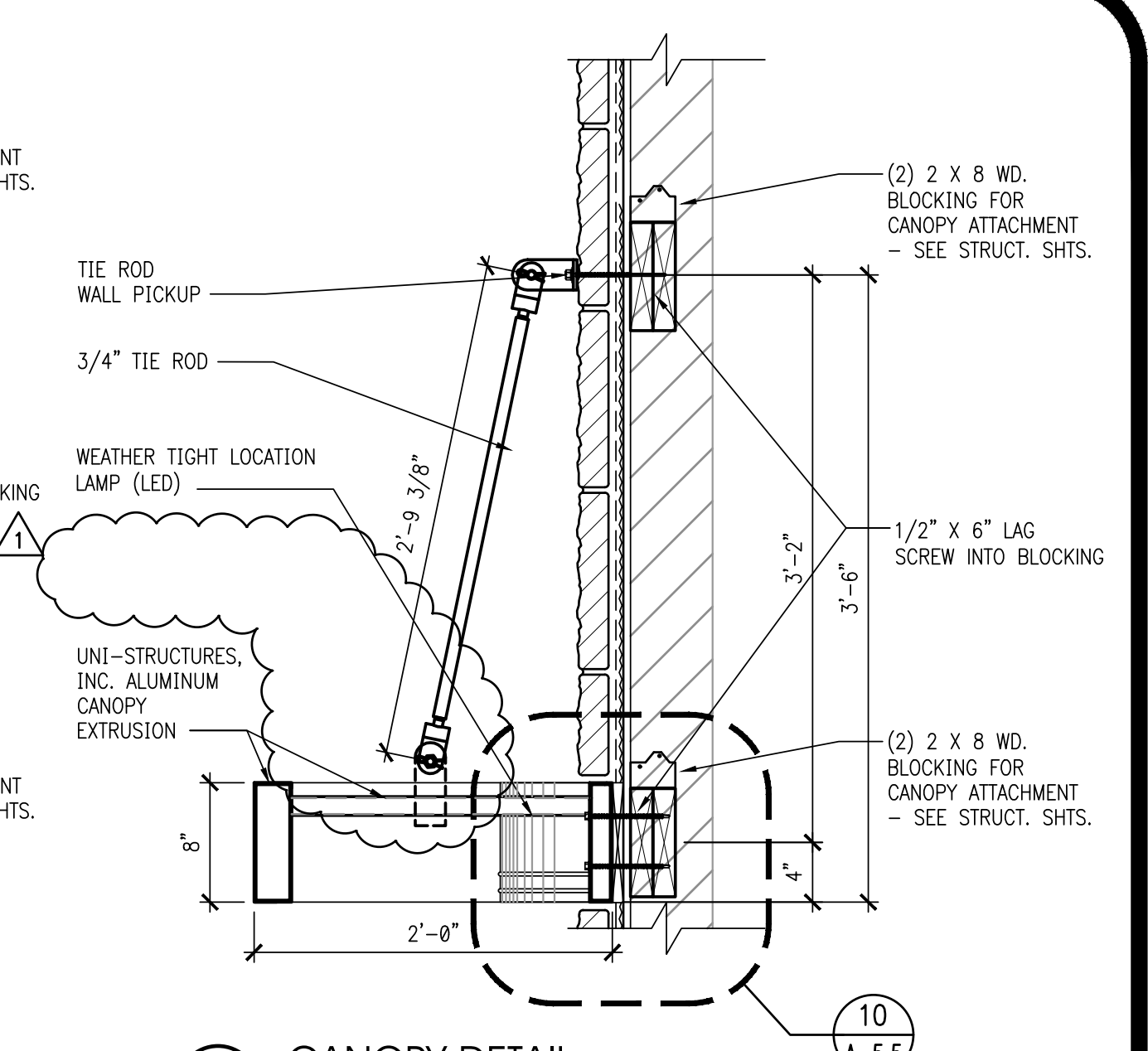
3 CONNECTION DETAIL - NOT ALIGN W/ EXIST STUD
3/4" = 1'-0"



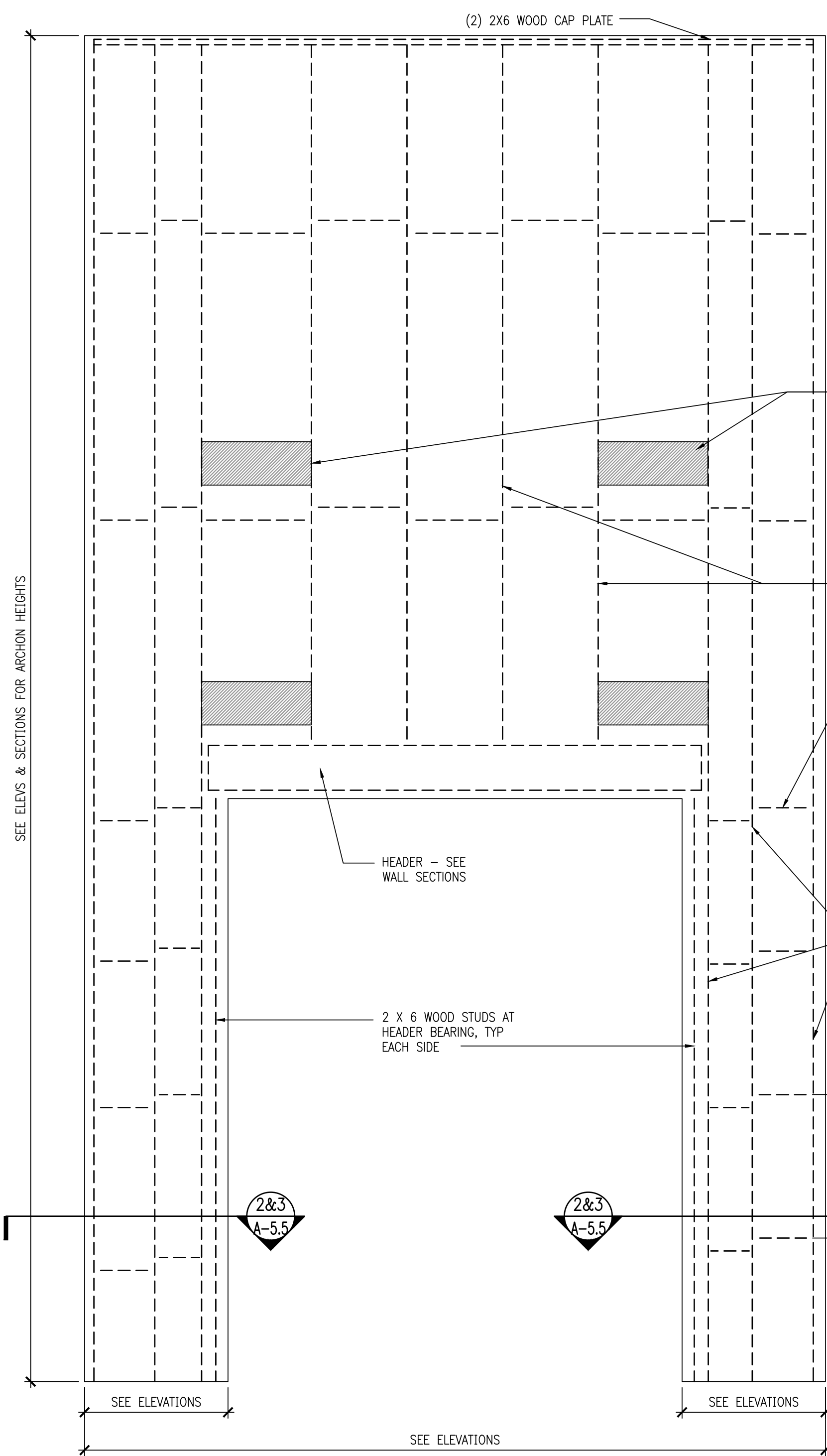
4 CANOPY DETAIL 3'-10\"/> 1/2" = 1'-0"



5 CANOPY DETAIL 2'-0\"/> 1/2" = 1'-0"

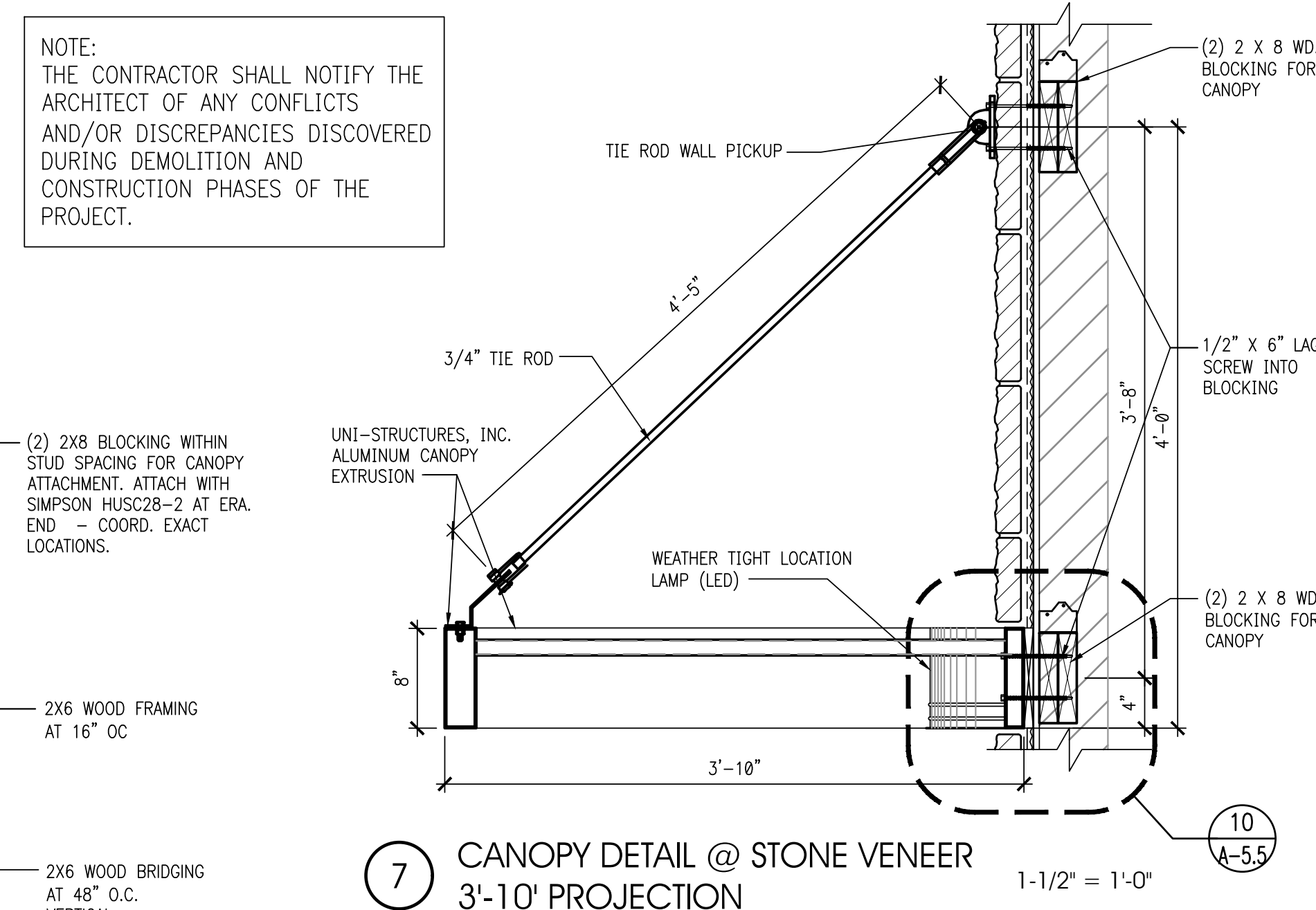


6 CANOPY DETAIL 2'-0\"/> 1/2" = 1'-0"

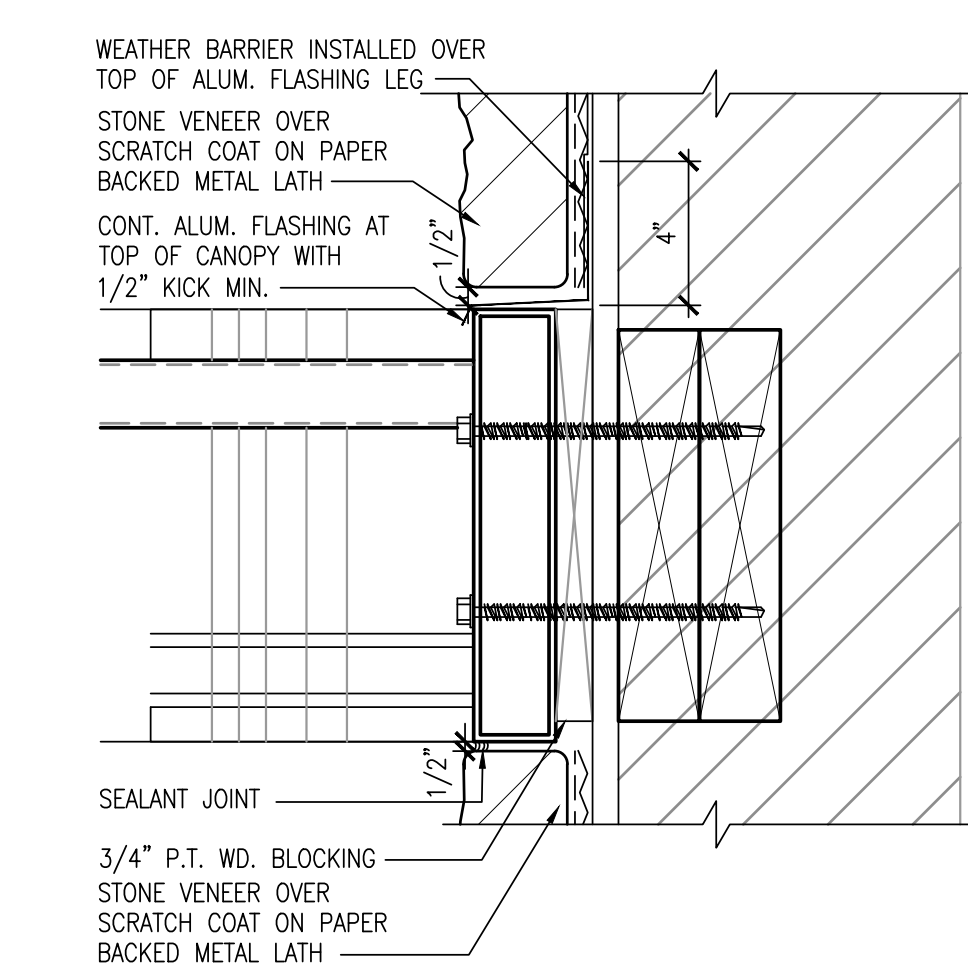


1 TYPICAL ARCHON FRAMING DETAIL 3/4" = 1'-0"

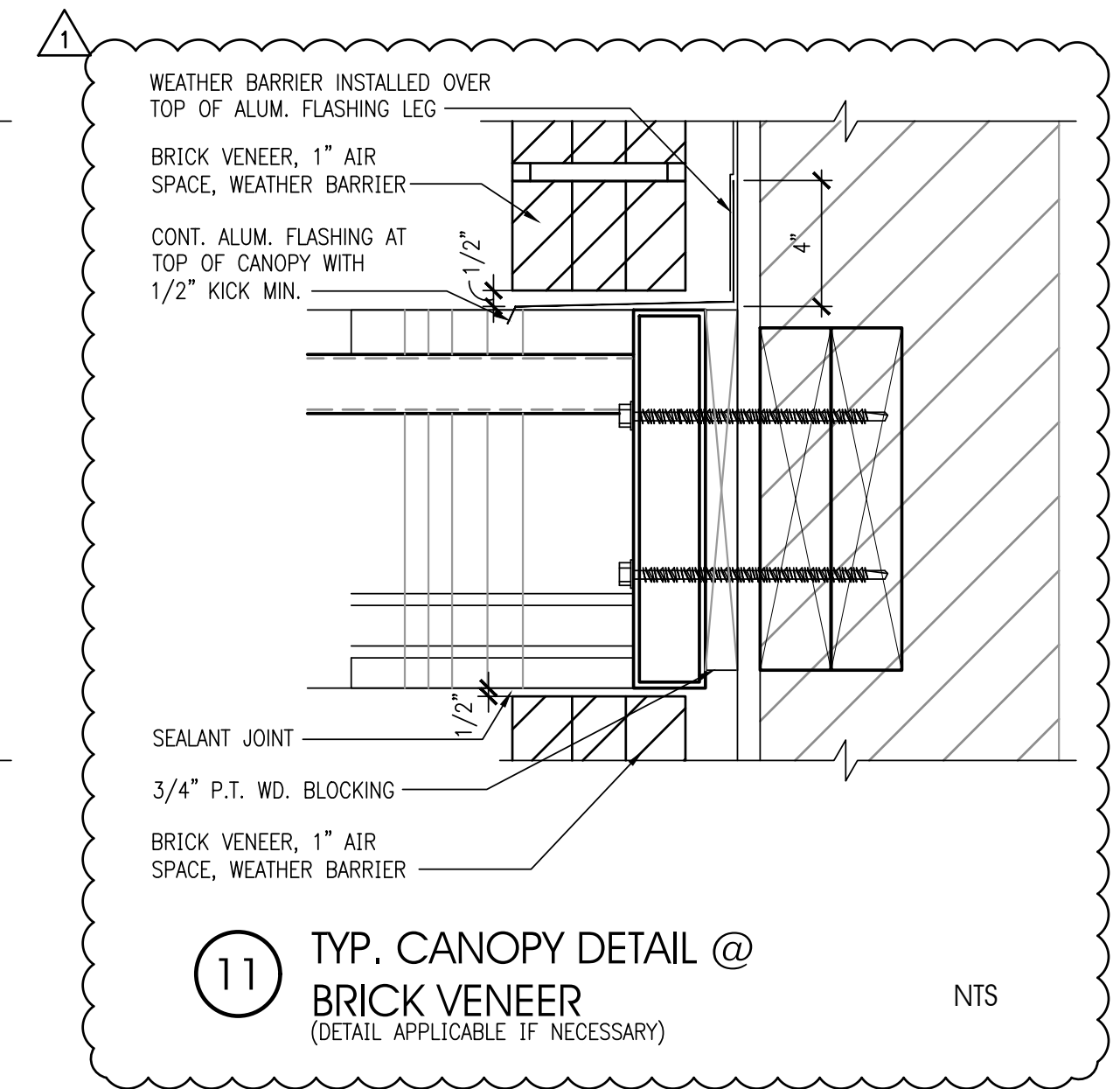
NOTE:
THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS AND/OR DISCREPANCIES DISCOVERED DURING DEMOLITION AND CONSTRUCTION PHASES OF THE PROJECT.



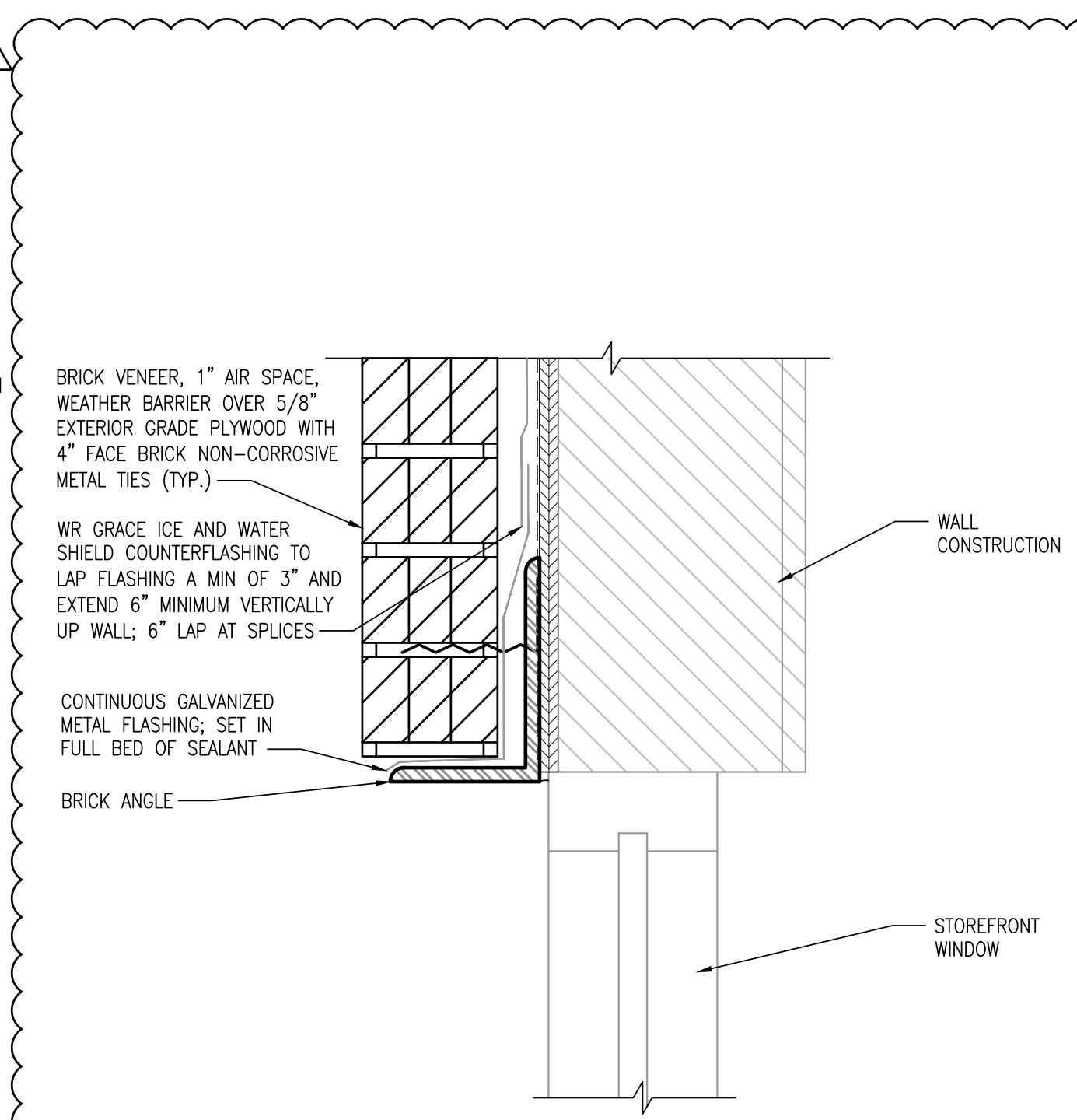
7 CANOPY DETAIL @ STONE VENEER 3'-10\"/> 1-1/2" = 1'-0"



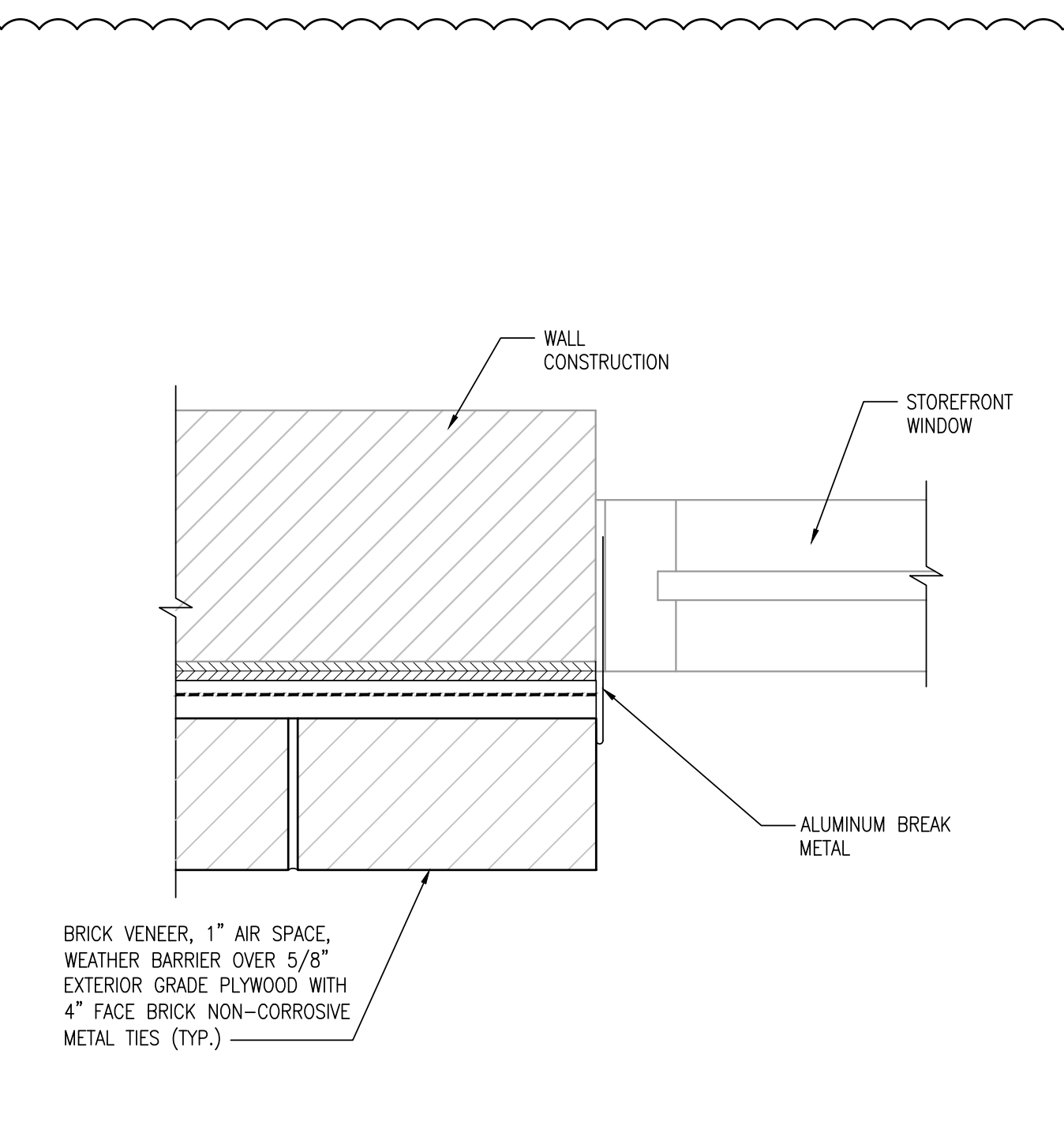
10 TYP. CANOPY DETAIL @ STONE VENEER (DETAIL APPLICABLE IF NECESSARY) NTS



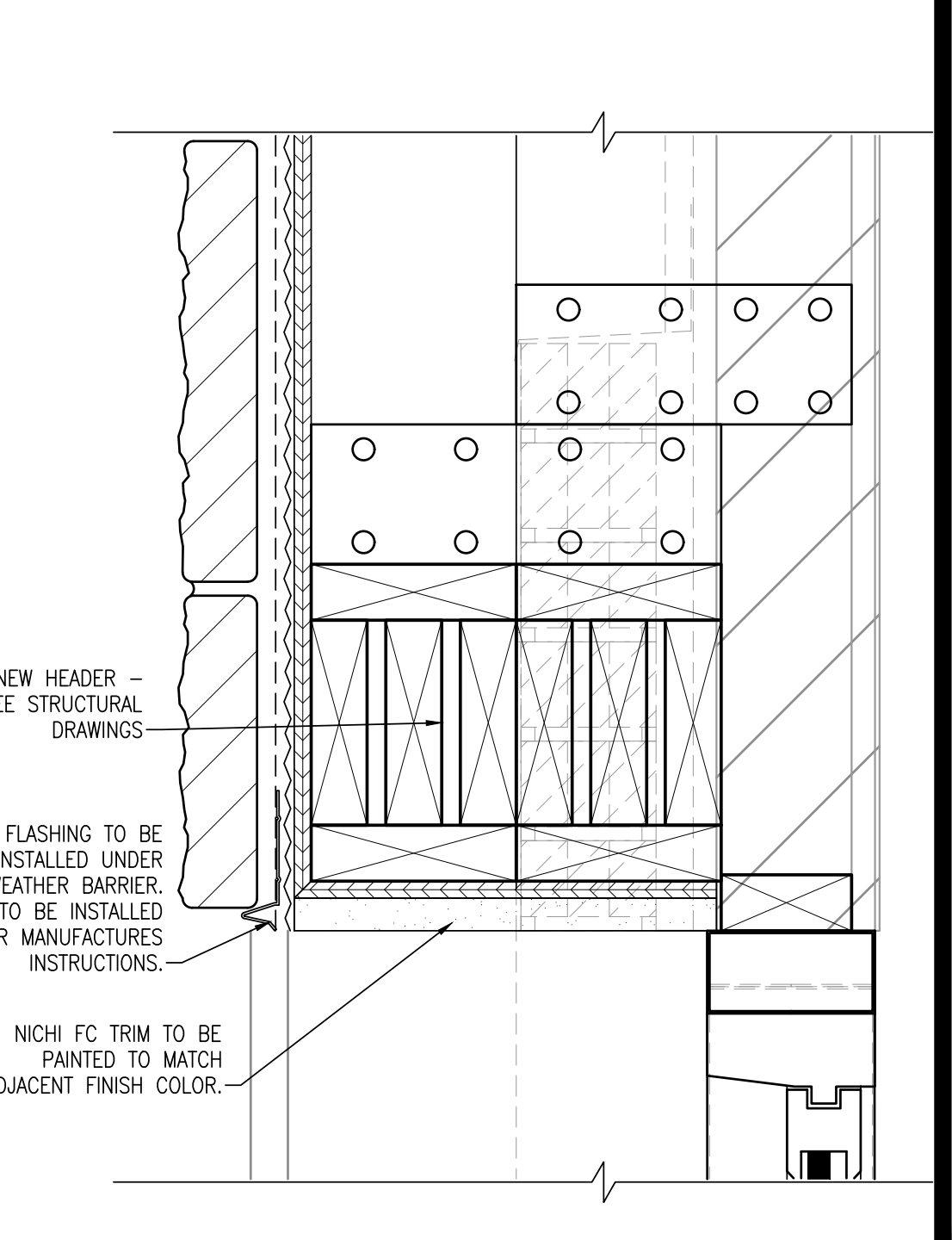
11 TYP. CANOPY DETAIL @ BRICK VENEER (DETAIL APPLICABLE IF NECESSARY) NTS



8 WINDOW HEADER @ NICHIIA FIBER CEMENT 3" = 1'-0"



9 WINDOW JAMB @ NICHIIA FIBER CEMENT 3" = 1'-0"



12 HEADER DETAIL @ STONE VENEER 3" = 1'-0"

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DATE: 06.06.19
DRAWN: MM
CHECKED: DA

CC# 1018 IP# 2019.2190 BK-5118 10382 HIGHLAND RD. HARTLAND, MI 48933 BK-2500 WALL SECTION DETAILS

DOOR
 OPENING: EXISTING
 MATERIAL: ALUMINUM / GLASS
 FINISH: REFERENCE DECOR PACKAGE

HARDWARE
 ENTRANCE DOOR HARDWARE SHALL CONSIST OF OFFSET PIVOTS, ADAMS RITE M51825 DEAD BOLT LOCK, NORTON 1605 SURFACE CLOSERS WITH BACK CHECK, 9" CLASSIC STRAIGHT DOOR PULLS IN POLISHED STAINLESS OR CHROME, AND STANDARD THRESHOLDS, LOCKS, CYLINDERS, AND THRESHOLDS SHALL BE OMITTED ON INTERIOR VESTIBULE DOORS. (IF VESTIBULE IS PROVIDED) DUMMY CYLINDERS SHALL BE PROVIDED ON THE EXTERIOR OF ALL DOORS EXCEPT AT MAIN ENTRY.

FRAME
 MATERIAL: EXISTING TO REMAIN
 FINISH: COLOR TO MATCH EXISTING STOREFRONT TO REMAIN.
 APPROVED COLORS: DARK BRONZE OR CLEAR ANODIZED

NOTES:
 1. FIELD VERIFY ALL DIMENSIONS WHEN REPLACING EXISTING DOORS.

DOOR (N1, N2, N6)
 SCALE: 1/4" = 1'-0"

DOOR
 OPENING: 3'-0"x6'-8"x1 3/4"WD x AF
 MATERIAL: SOLID CORE HPL
 FINISH: REFERENCE ID SHEETS.

HARDWARE
 EACH DOOR TO RECEIVE:
 HINGES: 3 EACH HAGER; BB1279 4 1/2 x 4 1/2 x 652
 LOCKSET: 1 EACH SCHLAGE, AL53PD SAT x 626
 CLOSER: 1 EACH LCN 4111 EDA
 FLOOR STOP: 1 EACH HAGER 241F x US26D
 KICKPLATES: 2 EACH HAGER 1935 10"x2" LDW 628 (INSTALL W/FLAT HEAD PHILLIPS HEAD SCREWS)
 SILENCERS: 3 EACH HAGER 307D RBR
 DOOR VIEWER: 1 EACH ROCKWOOD 622 x 626

FRAME
 MATERIAL: ALUMINUM
 FINISH: REFERENCE ID SHEETS.

REMARKS
 SIGN PACKAGE: 1 "KITCHEN" AND CORRESPONDING SIGNAGE IN GRADE TWO BRAILLE PER ADA REQUIREMENTS. SIGNS FURNISHED BY DECOR SUPPLIER. SIGNS INSTALLED BY GENERAL CONTRACTOR PER ADA REQUIREMENTS.
 AS AN OPTION IN LIEU OF SOLID CORE DOORS AND HOLLOW METAL FRAMES, PROVIDE MARLITE HPL DOORS WITH ALUMINUM FRAMES (REF. ID SHEETS FOR COLOR)

DOOR (N5) **DOOR FRAME** (N7)
 SCALE: 1/4" = 1'-0" **DOOR** (N5) **DOOR FRAME** (N7)
 SCALE: 1/4" = 1'-0"

DOOR
 OPENING: 4'-0"x7'-0"x1 3/4" MD x MF
 MATERIAL: HOLLOW METAL
 FINISH: PAINT - REFER TO SHEET A-2

HARDWARE
 DOOR TO RECEIVE:
 REINF. PIVOT: 1 EACH HAGER 253 x 2C x HAND REQUIRED
 HINGES: 4 EACH HAGER; BB1168 4 1/2" x 4 1/2" x USP x NRP
 EXIT DEVICE: 1 EACH VON DUPRIN 22EO x 689
 CLOSER: 1 EACH LCN 4116 EDA
 VIEWER: 1 EACH ROCKWOOD 622 x 626
 KICKPLATES: 1 EACH HAGER 1935 10"x2" LDW 628 (INSTALL W/FLAT HEAD PHILLIPS HEAD SCREWS)
 THRESHOLD: 1 EACH NATIONAL GUARD 325 x 48" x AL
 DOOR SWEEP: 1 EACH NATIONAL GUARD 200NA x 48"
 WEATHERSTRIP: 1 SET NATIONAL GUARD 160SA 1048", 2084"

FRAME
 MATERIAL: HOLLOW METAL
 FINISH: PAINT - REFER TO SHEET A-2

DOOR (N7) **DOOR FRAME** (N7)
 SCALE: 1/4" = 1'-0" **DOOR** (N7) **DOOR FRAME** (N7)
 SCALE: 1/4" = 1'-0"

WINDOW A **WINDOW B**
 SCALE: 1/4" = 1'-0" **WINDOW A** **WINDOW B**
 SCALE: 1/4" = 1'-0"

DOOR
 OPENING: 3'-0"x6'-8"x1 3/4" WD x MF
 MATERIAL: SOLID CORE HPL
 FINISH: REFERENCE DECOR PACKAGE

HARDWARE
 EACH DOOR TO RECEIVE:
 HINGES: 3 EACH HAGER; BB1279 4 1/2 x 4 1/2 x 652
 LOCKSET: ** 1 EACH FALCON; D271 x 626
 CLOSER: 1 EACH LCN 4111 EDA
 PUSH PLATE: 1 EACH HAGER 305 4x16 628
 PULL PLATE:*** 1 EACH HAGER H33E 4x16 628
 FLOOR STOP: 1 EACH HAGER 241F x US26D
 KICKPLATES: 2 EACH HAGER 1935 10"x2" LDW 628 (INSTALL W/FLAT HEAD PHILLIPS HEAD SCREWS)
 SILENCERS: 3 EACH HAGER 307D RBR
 NOTE:
 UNDERCUT DOOR 1" FOR AIR FLOW WHEN HVAC SUPPLY NOT PROVIDED. (REF. SHEET M-1)

FRAME
 MATERIAL: ALLUMINUM
 FINISH: REFERENCE DECOR PACKAGE

REMARKS
 SIGN PACKAGE: 1 "LADIES", 1 "GENTLEMEN" AND CORRESPONDING SIGNAGE IN GRADE TWO BRAILLE PER ADA REQUIREMENTS. SIGNS FURNISHED BY DECOR SUPPLIER. SIGNS INSTALLED BY GENERAL CONTRACTOR PER ADA REQUIREMENTS.
 AS AN OPTION IN LIEU OF SOLID CORE DOORS AND HOLLOW METAL FRAMES, PROVIDE MARLITE HPL DOORS WITH ALUMINUM FRAMES (REF. DECOR PACKAGE)

DOOR (N3, N4) **DOOR FRAME** (N4)
 SCALE: 1/4" = 1'-0" **DOOR** (N3, N4) **DOOR FRAME** (N4)
 SCALE: 1/4" = 1'-0"

***DELETE IF MULTIPLE OCCUPANCY RESTROOM
 ***OPTIONAL SANITGRASP #SG-101

HARDWARE
 EACH DOOR TO RECEIVE:
 HINGES: 3 EACH HAGER; BB1279 4 1/2 x 4 1/2 x 652
 LOCKSET: ** 1 EACH FALCON; D271 x 626
 CLOSER: 1 EACH LCN 4111 EDA
 PUSH PLATE: 1 EACH HAGER 305 4x16 628
 PULL PLATE:*** 1 EACH HAGER H33E 4x16 628
 FLOOR STOP: 1 EACH HAGER 241F x US26D
 KICKPLATES: 2 EACH HAGER 1935 10"x2" LDW 628 (INSTALL W/FLAT HEAD PHILLIPS HEAD SCREWS)
 SILENCERS: 3 EACH HAGER 307D RBR
 NOTE:
 UNDERCUT DOOR 1" FOR AIR FLOW WHEN HVAC SUPPLY NOT PROVIDED. (REF. SHEET M-1)

FRAME
 MATERIAL: ALLUMINUM
 FINISH: REFERENCE DECOR PACKAGE

REMARKS
 SIGN PACKAGE: 1 "LADIES", 1 "GENTLEMEN" AND CORRESPONDING SIGNAGE IN GRADE TWO BRAILLE PER ADA REQUIREMENTS. SIGNS FURNISHED BY DECOR SUPPLIER. SIGNS INSTALLED BY GENERAL CONTRACTOR PER ADA REQUIREMENTS.
 AS AN OPTION IN LIEU OF SOLID CORE DOORS AND HOLLOW METAL FRAMES, PROVIDE MARLITE HPL DOORS WITH ALUMINUM FRAMES (REF. DECOR PACKAGE)

DOOR (N3, N4) **DOOR FRAME** (N4)
 SCALE: 1/4" = 1'-0" **DOOR** (N3, N4) **DOOR FRAME** (N4)
 SCALE: 1/4" = 1'-0"

DOOR
 OPENING: 4'-0"x7'-0"x1 3/4" MD x MF
 MATERIAL: HOLLOW METAL
 FINISH: PAINT - REFER TO SHEET A-2

HARDWARE
 DOOR TO RECEIVE:
 REINF. PIVOT: 1 EACH HAGER 253 x 2C x HAND REQUIRED
 HINGES: 4 EACH HAGER; BB1168 4 1/2" x 4 1/2" x USP x NRP
 EXIT DEVICE: 1 EACH VON DUPRIN 22EO x 689
 CLOSER: 1 EACH LCN 4116 EDA
 VIEWER: 1 EACH ROCKWOOD 622 x 626
 KICKPLATES: 1 EACH HAGER 1935 10"x2" LDW 628 (INSTALL W/FLAT HEAD PHILLIPS HEAD SCREWS)
 THRESHOLD: 1 EACH NATIONAL GUARD 325 x 48" x AL
 DOOR SWEEP: 1 EACH NATIONAL GUARD 200NA x 48"
 WEATHERSTRIP: 1 SET NATIONAL GUARD 160SA 1048", 2084"

FRAME
 MATERIAL: HOLLOW METAL
 FINISH: PAINT - REFER TO SHEET A-2

DOOR (N7) **DOOR FRAME** (N7)
 SCALE: 1/4" = 1'-0" **DOOR** (N7) **DOOR FRAME** (N7)
 SCALE: 1/4" = 1'-0"

SELF-CLOSING DRIVE-THROUGH WINDOW:
 READY ACCESS MODEL #275 (47 1/2" W x 43 1/2" H)
 -OR-
 QUIKSERV MODEL #SC4030 (48" W x 36" H)

FIELD DETERMINED

WINDOW C
 SCALE: 1/4" = 1'-0"

* DEPENDENT ON DRIVE-THROUGH WINDOW SELECTED. VERIFY LATEST DIMENSIONAL INFORMATION WITH THE MANUFACTURER.
 ** SEE DOOR HARDWARE SCHEDULE FOR DOOR INFORMATION

2018.2190-Door-Types

1 DOOR TYPES AS NOTED

2018.2190-Window-Draw

1 DOOR TYPES AS NOTED

2018.2190-Window-Draw

1 DOOR TYPES AS NOTED

2018.2190-Window-Draw

1 DOOR TYPES AS NOTED

2018.2190-Window-Draw

1 DOOR TYPES AS NOTED

2018.2190-Window-Draw

1 DOOR TYPES AS NOTED

2018.2190-Window-Draw

1 DOOR TYPES AS NOTED

2018.2190-Window-Draw

1 DOOR TYPES AS NOTED

2018.2190-Window-Draw

1 DOOR TYPES AS NOTED

2018.2190-Window-Draw

1 DOOR TYPES AS NOTED

2018.2190-Window-Draw

1 DOOR TYPES AS NOTED

2018.2190-Window-Draw

1 DOOR TYPES AS NOTED

2018.2190-Window-Draw

1 DOOR TYPES AS NOTED

2018.2190-Window-Draw

1 DOOR TYPES AS NOTED

Specified Products and Approved Equals

Hinges - Provide features, functions, size and finish as shown in hardware sets.

HAGER	BB1279	BB1168	253
MCKINNEY	TA2714	T4A3786	
BOMMER	BB5000	BB5004	

Locks - Provide features, functions and finish as shown in hardware sets.

FALCON - DEADLOCK	D871		NO SUBSTITUTIONS
SCHLAGE	AL53PD	AL405	
YALE	AU5307LN	AU5302LN	
FALCON	B511D	B301D	

Exit Device - Provide features, functions and finish as shown in hardware sets.

VON DUPRIN	22 EO		
YALE	2100 EO		
SARGENT	3828 EO		

Closers - Provide features, functions and finish as shown in hardware sets.

LCN	1461	4115 H-CU9H	
YALE	3301	4425T / 4421T	
DORMA	8616	8916 D5T / 8956 D5T	

Push/Pull, KP, Stops, Etc. - Provide features, functions, size and finish as shown in hardware sets.

HAGER	KICKPLT 1935	PULL PLT H33E	PUSH PLT 305	FL STOP 241F	WALL STOP 23GW	VIEWER 1756
ROCKWOOD	K1050 B3E	BF106 X 70C	70C	441CU	409	622
TRIMCO	K0050	1017-3x2 PROJ.	1001-3	1211	1270WV	97GU

Weatherstripping, Thresholds, Etc. - provide features, functions, size and finish as shown in hardware sets.

NATIONAL GUARD	THRESHOLD 325A	SWEEP 200NA	WEATHERSTRIP 1605A
PEMCO	229A	315CN	303AS
ZERO	1675A	39A	99A

GLAZING SPECIFICATIONS:

- NEW STOREFRONT WINDOWS AND DOORS TO MEET 2015 MICHIGAN UNIFORM ENERGY CODE. PER TABLE C402.4, THE FOLLOWING VALUES ARE MANDATORY:
 U-FACTOR ≤ 0.29
 SOLAR HEAT GAIN COEFFICIENT: ≤ 0.38

EXTERIOR **INTERIOR**

A HEAD DETAIL SCALE: 3" = 1'-0"
B JAMB DETAIL SCALE: 3" = 1'-0"
C THRESHOLD SCALE: 3" = 1'-0"
D HEAD DETAIL SCALE: 3" = 1'-0"
E JAMB DETAIL SCALE: 3" = 1'-0"
F THRESHOLD SCALE: 3" = 1'-0"

3 HEAD, JAMB, AND THRESHOLD DETAILS AS NOTED

Specified Products and Approved Equals

Hinges - Provide features, functions, size and finish as shown in hardware sets.

HAGER	BB1279	BB1168	253
MCKINNEY	TA2714	T4A3786	
BOMMER	BB5000	BB5004	

Locks - Provide features, functions and finish as shown in hardware sets.

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Exit Device - Provide features, functions and finish as shown in hardware sets.

VON DUPRIN	22 EO		
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NATIONAL GUARD	THRESHOLD 325A	SWEEP 200NA	WEATHERSTRIP 1605A
PEMCO	229A	315CN	303AS
ZERO	1675A	39A	99A

4 ACCESSIBLE THRESHOLD REQUIREMENTS
 1'-0" = 1'-0"

1/2" MAX
 1/4" MAX
 1/4" MAX
 1/4" MAX

MAXIMUM SLOPE 1:2

RESTAURANT FOR: **BURGER KING CORPORATION**
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 Syracuse, New York 13217-6969
 (315) 424-0513

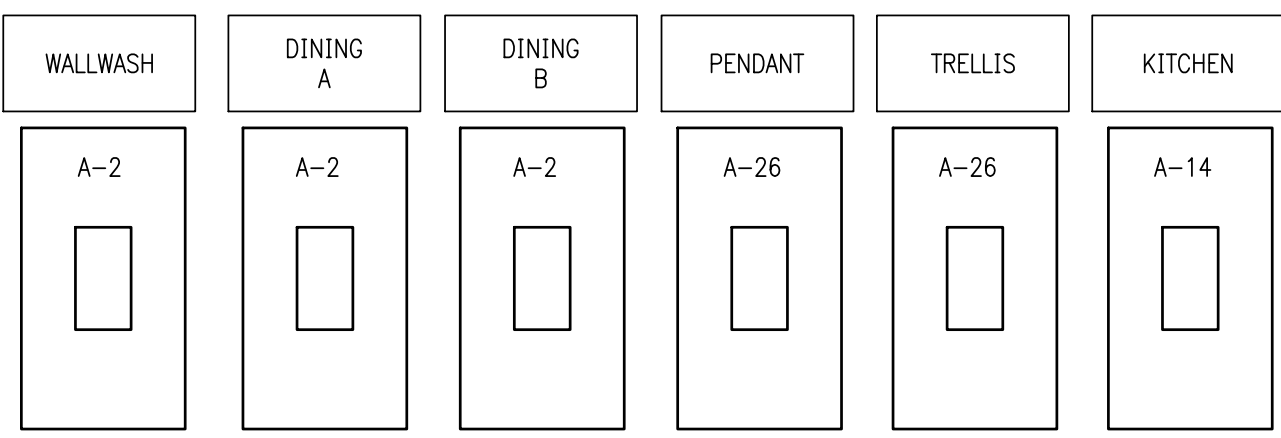
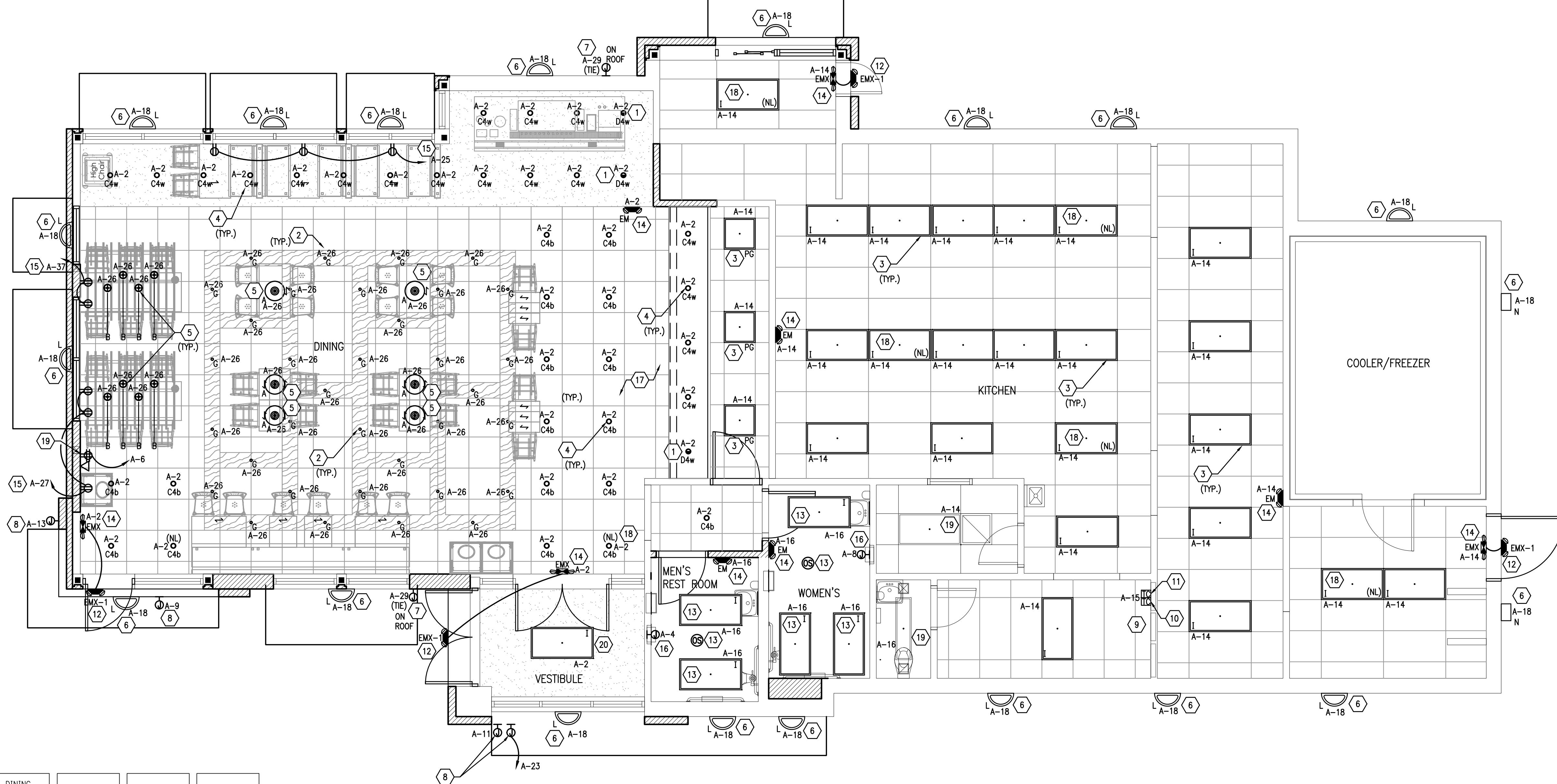
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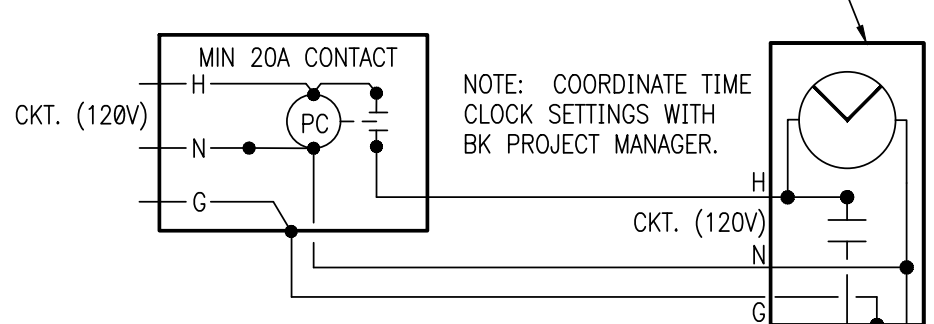
CC# 1018 IP# 2019.2190
 BK 5118 10382 HIGHLAND RD.
 HARTLAND, MI 48933
 BK-2500 DATE: 06.21.19
 DOOR AND WINDOW
 SCHEDULES AND DETAILS

A-6
 CHECKED DA DRAWN MM 60

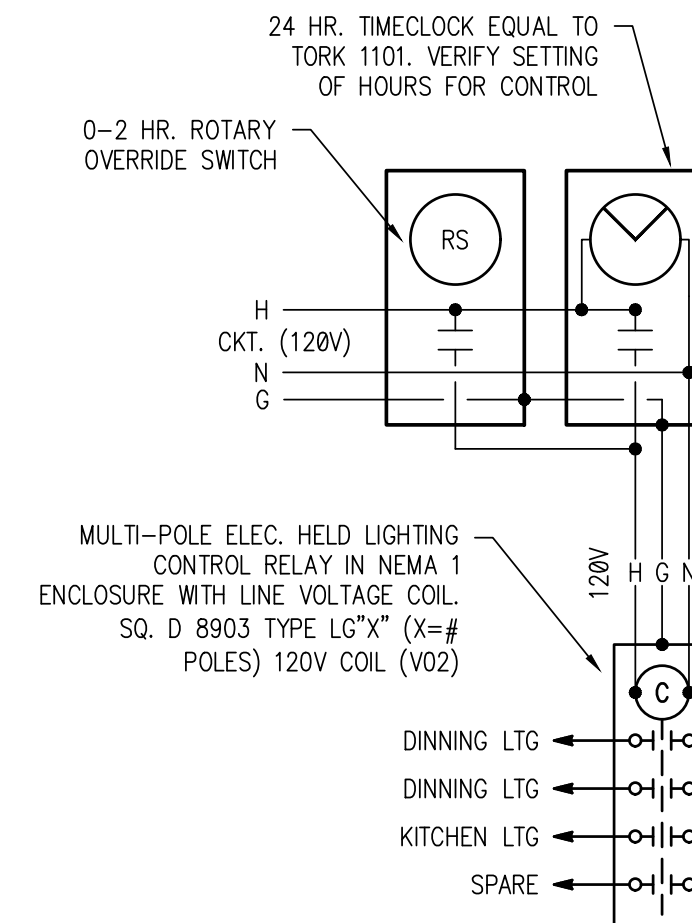


2 TYPICAL SWITCH BANK DETAIL
SCALE: NOT TO SCALE

24HR. TIMECLOCK EQUAL TO TORK 1101. VERIFY SETTINGS OF HOURS FOR CONTROL. SET TIME ON AFTER DAYLIGHT AND OFF AT A TIME AS INDICATED.



NOTE: COORDINATE TIME CLOCK SETTINGS WITH BK PROJECT MANAGER.



3 INTERIOR LIGHTING CONTROL
SCALE: NOT TO SCALE

NOTE: COORDINATE TIME CLOCK SETTINGS WITH BK PROJECT MANAGER.

4 EXTERIOR LIGHTING CONTROL
SCALE: NOT TO SCALE

1 ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

- A. CONTRACTOR SHALL CHECK AND VERIFY FIXTURE QUANTITY AND MAKE PROPER ADJUSTMENTS FOR ANY CHANGES IN PLAN SHOWN DUE TO ADDITIONAL REQUIREMENTS SUCH AS VESTIBULES, LOCAL CODES, ETC.
- B. COORDINATE ALL EXTERIOR LIGHTING WITH SIGN AND CANOPY VENDORS, PRIOR TO CONSTRUCTION.
- C. ALL LOW VOLTAGE EQUIPMENT TO BE COORDINATED WITH NEW CEILING. THIS INCLUDES, BUT NOT LIMITED TO, CAMERAS, SPEAKERS, SECURITY, AND TV EQUIPMENT.
- D. COORDINATE WORK FOR DRIVE THRU ORDERING MENU BOARD, ORDERING COMMUNICATION UNIT, AND CANOPY WITH ARCHITECTURE AND CIVIL SHEETS.
- E. REFER TO SHEET A-2.1 FOR LIGHT FIXTURE SPECIFICATIONS.
- F. SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION AND MOUNTING HEIGHTS OF LIGHT FIXTURES. COORDINATE FIXTURE LOCATIONS WITH DECOR DRAWINGS.
- G. ALL WORK AND MATERIALS SHALL BE BY THE ELECTRICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- H. MC CABLE ONLY PERMITTED FOR LIGHT WHIPS. ALL OTHER TO BE E.M.T CONDUIT IN CEILING AND WALLS - RIGID CONDUIT UNDER SLAB.
- I. PROVIDE JUNCTION BOXES AT LIGHT FIXTURES PER MANUFACTURERS REQUIREMENTS. (TYPICAL FOR ALL LIGHTING FIXTURES)
- J. WHERE TRUSSES ARE EXPOSED, RUN ALL ELECTRICAL CONDUITS ABOVE THE BOTTOM CHORD OF THE TRUSS.
- K. CONTRACTOR SHALL CONNECT ALL EMERGENCY SIGNS, NIGHT LIGHTS TO LIGHTING CIRCUIT PRIOR TO ANY CONTROLS.
- L. ABBREVIATIONS:
ETR - EXISTING TO REMAIN.
NL - NIGHT LIGHT.
EC - ELECTRICAL CONTRACTOR

KEYED NOTES

1. NEW WALLWASH FIXTURE, ROUTE VIA SWITCH MARKED "WALLWASH". SEE SWITCH BANK DETAIL ON THIS SHEET. CONNECT VIA INTERIOR LIGHTING COTACTOR. SEE INTERIOR LIGHTING CONTROL DETAIL ON THIS SHEET.
2. NEW TRELLIS FIXTURE, ROUTE VIA SWITCH MARKED "TRELLIS". SEE SWITCH BANK DETAIL ON THIS SHEET. CONNECT VIA INTERIOR LIGHTING COTACTOR. SEE INTERIOR LIGHTING CONTROL DETAIL ON THIS SHEET.
3. NEW 2X4 AND 2X2 RECESSED FIXTURE, ROUTE VIA SWITCH MARKED "KITCHEN". SEE SWITCH BANK DETAIL ON THIS SHEET. CONNECT VIA INTERIOR LIGHTING COTACTOR. SEE INTERIOR LIGHTING CONTROL DETAIL ON THIS SHEET.
4. NEW RECESSED DOWN LIGHT FOR DINING GENERAL LIGHTING. ROUTE ALTERNATELY VIA TWO(2) SWITCHES MARKED DINNING A AND DINNING B TO PROVIDE UNIFORM LIGHTING REDUCTION CONTROL. SEE SWITCH BANK DETAIL ON THIS SHEET. CONNECT VIA INTERIOR LIGHTING COTACTOR. SEE INTERIOR LIGHTING CONTROL DETAIL ON THIS SHEET.
5. NEW PENDANT LIGHT FIXTURE, ROUTE VIA SWITCH MARKED "PENDANT".SEE SWITCH BANK DETAIL ON THIS SHEET. CONNECT VIA INTERIOR LIGHTING COTACTOR. SEE INTERIOR LIGHTING CONTROL DETAIL ON THIS SHEET.
6. NEW EXTERIOR LIGHT FIXTURES. CONNECT TO CIRCUIT INDICATED. ROUTE CONTROL THROUGH NEW EXTERIOR CONTACTOR. SEE EXTERIOR LIGHTING CONTROL DETAIL ON THIS SHEET.
7. NEW PARAPET MOUNTED LED RED LIGHT BAND. COORDINATE EXACT LOCATION, QUANTITIES & REQUIREMENTS WITH LIGHT VENDOR PRIOR TO ROUGH-IN. CONNECT TO CIRCUIT INDICATED. ROUTE CONTROL THROUGH NEW EXTERIOR CONTACTOR. SEE EXTERIOR LIGHTING CONTROL DETAIL ON THIS SHEET
8. NEW BUILDING SIGN. COORDINATE EXACT LOCATION WITH ARCHITECTURE ELEVATIONS LOCATED IN THIS SET AND SIGN VENDOR. CONNECT TO CIRCUIT INDICATED. ROUTE CONTROL THROUGH NEW EXTERIOR CONTACTOR. SEE EXTERIOR LIGHTING CONTROL DETAIL ON THIS SHEET.
9. LOCATION OF EXISTING PANELS. CONTRACTOR TO VERIFY EXACT LOCATION IN FIELD. PANEL SCHEDULES ARE TO BE UPDATED TO BE ACCURATE. PROPER LABELING IS TO BE INSTALLED IF PANELS ARE NOT PROPERLY LABELED.
10. E.C. IS TO PROVIDE ONE (1) TIME CLOCK, CONTACTOR AND OVERRIDE SWITCH FOR INTERIOR LIGHTING CONTROL. E.C. IS TO FIELD VERIFY EXACT QUANTITY OF CIRCUITS TO BE CONTROLLED PRIOR TO BID AND PROVIDE ADEQUATE CONTACTOR TO FIT INTERIOR LIGHTING. NOTIFY ENGINEER OF ANY DISCREPANCIES OF INTERIOR LIGHTING CONTROL DETAIL.
11. E.C. IS TO PROVIDE ONE (1) TIME CLOCK, CONTACTOR AND PHOTO CELL FOR EXTERIOR LIGHTING CONTROL AND SIGNS. E.C. IS TO FIELD VERIFY EXACT QUANTITY OF CIRCUITS TO BE CONTROLLED PRIOR TO BID AND PROVIDE ADEQUATE CONTACTOR TO FIT EXTERIOR LIGHTING AND SIGNS. NOTIFY ENGINEER OF ANY DISCREPANCIES OF EXTERIOR LIGHTING CONTROL DETAIL.
12. NEW EXTERIOR EMERGENCY REMOTE HEAD LIGHT FIXTURE FOR EMERGENCY EGRESS LIGHTING, POWERED VIA EMX FIXTURE.
13. NEW RESTROOM LIGHT FIXTURES. CONNECT TO OCCUPANCY SENSOR FOR CONTROL. RECONNECT EXISTING EXHAUST FAN TO SAME CIRCUIT. PROVIDED BY CARROLS CORPORATION.
14. NEW EMERGENCY LIGHT FIXTURES. CONNECT TO CIRCUIT INDICATED AHEAD OF ALL CONTROL.
15. PROVIDE NEW RECEPTACLE AND CONNECT TO CIRCUIT AS SHOWN ON SHEET. VERIFY REQUIREMENTS AND LOCATION WITH INTERIOR DECOR DRAWINGS IN THIS SET PRIOR TO ROUGH-IN.
16. NEW HAND DRYER. CONNECT TO CIRCUIT INDICATED, AND COORDINATE EXACT ELECTRICAL REQUIREMENTS WITH MANUFACTURERS SPECIFICATIONS BEFORE ROUGH-IN.
17. COORDINATE LOCATION OF NEW TV WITH BK PROJECT MANAGER PRIOR TO FINAL INSTALL. CONNECT TO CIRCUIT INDICATED. PROVIDE DATA BOX AND RUN CONDUIT TO ABOVE CEILING WITH PULL STRING. DATA RUN BY OTHERS.
18. NIGHT LIGHT FIXTURE TO BE CIRCUITED AHEAD OF CONTROLS.
19. EXISTING LIGHT FIXTURE AND LOCAL CONTROL TO REMAIN. CONNECT TO CIRCUIT INDICATED AND ROUTE THROUGH INTERIOR LIGHTING CONTACTOR. SEE INTERIOR LIGHTING CONTROL DETAIL ON THIS SHEET.
20. NEW 2X4 RECESSED FIXTURE FOR DINING GENERAL LIGHTING. ROUTE ALTERNATELY VIA TWO(2) SWITCHES MARKED DINNING A AND DINNING B TO PROVIDE UNIFORM LIGHTING REDUCTION CONTROL. SEE SWITCH BANK DETAIL ON THIS SHEET. CONNECT VIA INTERIOR LIGHTING COTACTOR. SEE INTERIOR LIGHTING CONTROL DETAIL ON THIS SHEET.

LOAD SUMMARY			
LOAD BASED ON POWER INFORMATION			353 AMPS
X 125% (AMPS)			441.25000
DESCRIPTION	QUANTITY	WATTS	
REMOVED LIGHTING			14.6 AMPS
-INTERIOR 2x4	56	X 64	9.9 AMPS
-EXTERIOR 2X4	1	X 64	0.2 AMPS
-EXTERIOR LIGHTS (SOFFIT)	6	X 42	0.7 AMPS
-EXTERIOR WALL PACK	3	X 50	0.4 AMPS
-EXTERIOR BUILDING SIGN	1	X 1200	3.3 AMPS
SUB TOTAL			426.7 AMPS
ADDED/REPLACED LIGHTING/POWER			23.7 AMPS
-INTERIOR 2X2 RECESSED (PG)	3	X 35	0.3 AMPS
-INTERIOR PENDANT LIGHT (B)	8	X 6	0.1 AMPS
-INTERIOR 4" RECESSED DOWN LIGHT (C4b)	17	X 9.5	0.4 AMPS
-INTERIOR 4" RECESSED DOWN LIGHT (C4w)	18	X 9	0.4 AMPS
-INTERIOR 4" RECESSED DOWN LIGHT (D4w)	3	X 9	0.07 AMPS
-INTERIOR PENDANT LAMP (A)	6	X 10	0.2 AMPS
-INTERIOR TRELLIS LIGHT (G)	34	X 10	0.9 AMPS
-INTERIOR 2X4 RECESSED (I)	29	X 60	4.8 AMPS
-EXTERIOR WALL PACK (N)	2	X 27	0.1 AMPS
-EXTERIOR WALL FIXTURE (L)	18	X 30	1.5 AMPS
-EXTERIOR BUILDING SIGNS	4	X 1200	13.3 AMPS
-EXTERIOR LIGHT BAND	63	X 8	1.4 AMPS
		PER LINEAR FOOT	
NEW TOTAL CONNECTED LOAD			450.4 AMPS
EXISTING SERVICE SIZE IS 600 AMPS BASED ON EXISTING MDP			

RESTAURANT FOR: **Carrols Corporation**
968 James Street P.O. Box 6969
Syracuse, New York 13217-6969

BURGER KING CORPORATION
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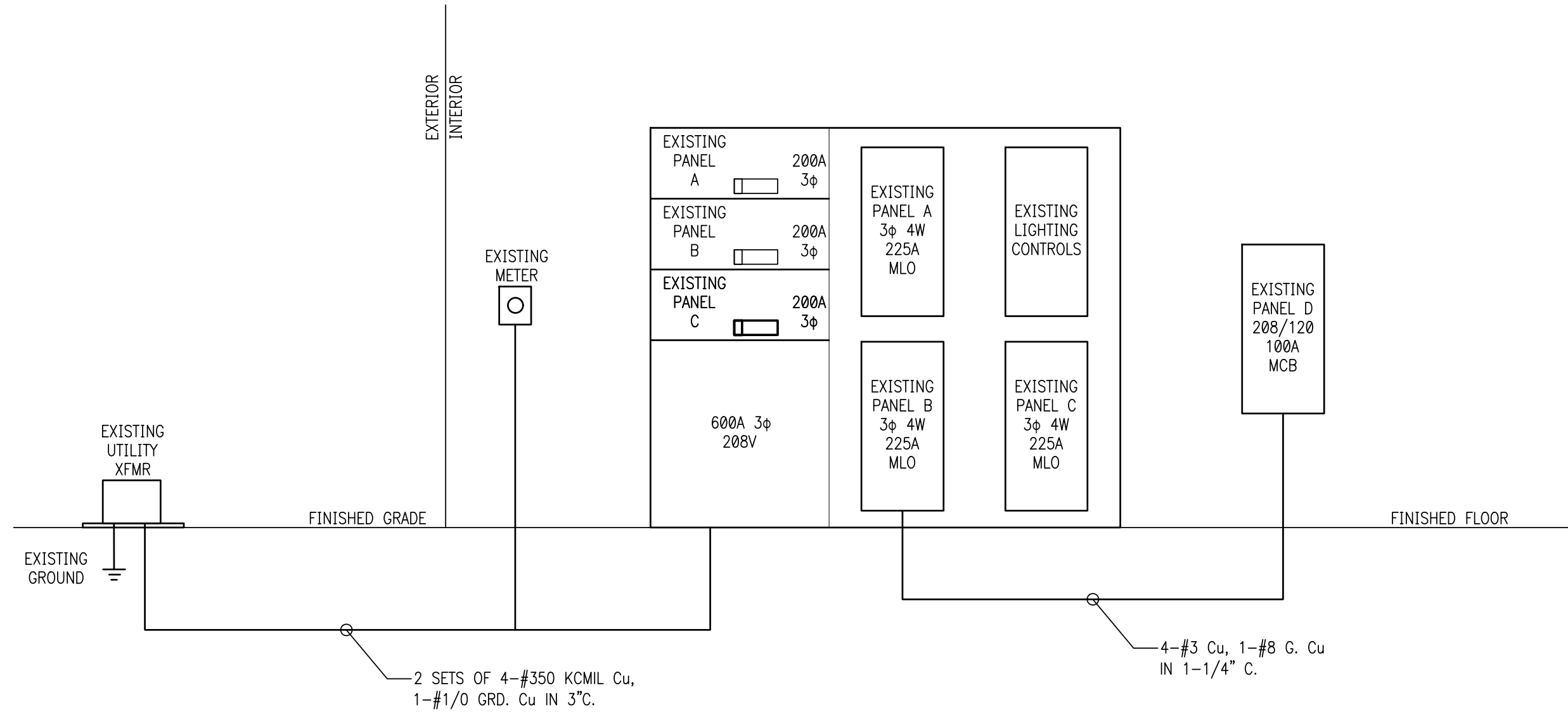
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604 COURTLAND STREET
ORLANDO, FLORIDA 32804
PH: 407.645.5008
FX: 407.629.9124

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IP# 2019.2180
CC# 1019
BK 5118
10382-HIGHLAND RD.
HARTLAND, MI 48933
DATE: 06.06.19
BK-2500
ELECTRICAL PLAN

AC
RL
61



EXISTING ELECTRICAL RISER
NOT TO SCALE

EXISTING PANEL A																			
LOCATION: SEE PLANS VOLTAGE: 208Y/120V TRIM: FLUSH						MAIN: 225A MCB SYSTEM: 3Ø, 4W BUS RATING: 225A						CONN. LOAD: 13.5 KVA FEED: TOP GROUND BUS: YES							
CKT	LOAD SERVED	COND	PHASE	NEUT	GND	BKR	DMD	L1	L2	L3	DMD	BKR	COND	PHASE	NEUT	GND	LOAD SERVED	CKT	
1	AREA LITE	3/4"	#14	#12	#4	30/2	L	351					L	20/1	3/4"	#12	#12	DINING DOWNLIGHT	2
3	"		#14				L					M	20/1	3/4"	#12	#12	R.R. HAND DRYER	4	
5	AREA LITE	3/4"	#14	#12	#3	30/2	L					R	20/1	3/4"	#12	#12	TV	6	
7	"		#14				L					M	20/1	3/4"	#12	#12	R.R. HAND DRYER	8	
9	LOGO SIGN	3/4"	#12	#12	#12	20/1	L					L	20/1	3/4"	#14	#12	MENU BOARD	10	
11	LOGO SIGN	3/4"	#12	#12	#12	20/1	L					N	20/1	3/4"	#14	#12	REF. ON WHEELS	12	
13	LOGO SIGN	3/4"	#12	#12	#12	20/1	L	1200				L	20/1	3/4"	#12	#12	KITCHEN LIGHTING	14	
15	TIME CLOCKS	3/4"	#12	#12	#12	20/1	R	500				L	20/1	3/4"	#12	#12	RESTROOMS LIGHTING	16	
17	ROOF FLOODS	3/4"	#14	#12	#4	20/1	L	300				L	20/1	3/4"	#12	#10	EXTERIOR LIGHTS	18	
19	MANARD SIGN	3/4"	#14	#12	#6	20/2	L					L	20/1	3/4"	#14	#12	KIT. STORE & EMP BR LITES	20	
21	"		#14				L					L	/2	3/4"	#14	#12	SECURITY/STORAGE & W/B LITES	22	
23	LOGO SIGN	3/4"	#12	#12	#12	20/1	L					L	20/1	3/4"	#14	#12	"	24	
25	DINING RECEPTACLES	3/4"	#12	#12	#2/0	20/1	R	540				L	20/1	3/4"	#12	#12	DINING PENDANT, TRELIS, PERGOLA	26	
27	DINING RECEPTACLES	3/4"	#12	#12	#10	20/1	R	428				L	20/1	3/4"	#12	#12	"	28	
29	RED PARAPET LED BAND	3/4"	#12	#12	#12	20/1	L					R	20/1	3/4"	#14	#12	ROOF RECPTS	30	
31	FREEZER	3/4"	#14	#12	#2	30/3	N					N	20/3	3/4"	#14	#12	RELAY PNL	32	
33	"		#14				N					N			#14		"	34	
35	"		#14				N					N			#14		"	36	
37	DINING RECEPTACLES	3/4"	#12	#12	#10	20/1	R	360				N	20/3	3/4"	#14	#12	RELAY PNL	38	
39	COOLER	3/4"	#14	#12	#3	20/2	C					N			#14		"	40	
41	"		#14				C					N			#14		"	42	
INTERRUPT RATING: 10,000 AIC								5384	3640	4524	FROM: EXISTING LANDLORD SERVICE								
LOADS (IN VA)			CONNECTED	DEMAND FACTOR	MINIMUM FEEDER	LOADS			CONNECTED	DEMAND FACTOR	MINIMUM FEEDER	REMAINING CONTINUOUS LOADS			0	1.25	0		
LIGHTING			9148	1.25	11435	NON-SEASONAL MOTORS			2000	1.0	2000	REMAINING NON-CONTINUOUS LOADS			0	1.0	0		
RECEPTS TO 10 KVA			2400	1.0	2400	LARGEST MOTOR			0	0.25	0	MISC. DEMAND LOADS			0	1.0	0		
RECEPTS REMAINING			0	0.5	0	WATER HEATING			0	1.0	0	TOTAL CONNECTED LOAD			13.5	KVA	37.6	AMPS	
SPACE HEATING			0	0.0	0	KITCHEN EQUIP.			0	1.0	0	TOTAL DEMAND LOAD			15.8	KVA	44	AMPS	
AIR CONDITIONING			0	1.0	0														

RESTAURANT FOR: **Carrols Corporation**
 968 James Street P.O. Box 6969
 Syracuse, New York 13217-6969
 (315) 424-0513

BURGER KING CORPORATION

INTERPLANNING ARCHITECTURE
 ENGINEERING INTERIOR DESIGN
 PROJECT MANAGEMENT
 604 COURTLAND STREET
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CC# 1018 IP# 2019.2190 BK 5118 10382 HIGHLAND RD. HARTLAND, MI 48933 BK-2500 DATE: 06/23/19 SCHEDULE & ONE LINE DIAGRAM
 CHECKED: AC DRAWN: RL 62

Interior Lighting Compliance Statement

Compliance Statement: The proposed interior lighting alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.1.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Stacy Henson
Name - Title Signature Date

Project Title: BK 5118
Data filename: G:\MEP\06 MECHANICAL DESIGN\HVAC Energy Calcs\Carrols Corp\2019.2190 - BK 5118 HARTLAND, MI - 2015 IECC.cck
Report date: 06/06/19
Page 2 of 9

COMcheck Software Version 4.1.1.0
Interior Lighting Compliance Certificate

Project Information
Energy Code: 2015 IECC
Project Title: BK 5118
Project Type: Alteration

Construction Site: 10382 HIGHLAND RD. HARTLAND, MI 48353
Owner/Agent: Richard Cross Carrols Corporation 968 James Street P.O. Box 6969 Syracuse, NY 13217
Designer/Contractor: Stacy Henson Interplan, LLC 604 Courtland Street Suite 100 Orlando, FL 32804 shenson@interplanllc.com

Allowed Interior Lighting Power

A Area Category	B Floor Area (ft2)	C Allowed Watts / ft2	D Allowed Watts (B X C)
1-DINING (Common Space Types:Dining Area - Cafeteria/Fast Food)	1153	0.65	749
2-VESTIBULE (Common Space Types:Corridor/Transition >=8 ft wide)	89	0.66	59
3-RESTROOMS (Common Space Types:Restrooms)	166	0.98	163
4-KITCHEN (Common Space Types:Food Preparation)	1357	1.21	1642
Total Allowed Watts =			2613

Proposed Interior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
DINING (Common Space Types:Dining Area - Cafeteria/Fast Food 1153 sq.ft.)				
LED: A: Other:	1	6	10	60
LED: C4B: Other:	1	17	10	162
LED: C4W: Other:	1	18	9	162
LED: D4W: Other:	1	3	9	27
LED: G: Other:	1	34	10	340
LED: B: Other:	1	8	6	48
VESTIBULE (Common Space Types:Corridor/Transition >=8 ft wide 89 sq.ft.)				
LED: I: Other:	1	1	50	50
RESTROOMS (Common Space Types:Restrooms 166 sq.ft.)				
LED: I: Other:	1	5	50	250
KITCHEN (Common Space Types:Food Preparation 1357 sq.ft.)				
LED: I: Other:	1	28	50	1400
LED: PG: Other:	1	3	9	27
Total Proposed Watts =			2526	

Project Title: BK 5118
Data filename: G:\MEP\06 MECHANICAL DESIGN\HVAC Energy Calcs\Carrols Corp\2019.2190 - BK 5118 HARTLAND, MI - 2015 IECC.cck
Report date: 06/06/19
Page 1 of 9

DATE:	
CHECKED BY:	
REVISION	
DRAWN BY:	
NO.	
DATE	

RESTAURANT FOR: Carrols Corporation
968 James Street P.O. Box 6969
Syracuse, New York 13217-6969
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IP# 2019.2190

CC# 1018

BK 5118
10382 HIGHLAND RD.
HARTLAND, MI 48353

DATE: 06/23/19

BK-2500

ENERGY COMPLIANCE CERTIFICATE

E-3

CHECKED: AC
DRAWN: RL
63

Section # & Req. ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
C405.2.1 [EL15] ¹	Lighting controls installed to uniformly reduce the lighting load by at least 50%.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
C405.2.1 [EL18] ¹	Occupancy sensors installed in required spaces.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
C405.2.1, C405.2.2, C405.2.3 [EL23] ²	Independent lighting controls installed per approved lighting plans and all manual controls readily accessible and visible to occupants.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
C405.2.2.1 [EL22] ²	Automatic controls to shut off all building lighting installed in all buildings.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
C405.2.3 [EL16] ²	Daylight zones provided with individual controls that control the lights independent of general area lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement does not apply.
C405.2.3.1, C405.2.3.2 [EL20] ¹	Primary sidelighted areas are equipped with required lighting controls.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement does not apply.
C405.2.3.1, C405.2.3.3 [EL21] ¹	Enclosed spaces with daylight area under skylights and rooftop monitors are equipped with required lighting controls.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement does not apply.
C405.2.4 [EL4] ¹	Separate lighting control devices for specific uses installed per approved lighting plans.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
C405.2.4 [EL8] ¹	Additional interior lighting power allowed for special functions per the approved lighting plans and is automatically controlled and separated from general lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
C405.2.5 [EL25] ¹	Automatic lighting controls for exterior lighting installed. Controls will be daylight controlled, set based on business operation time-of-day, or reduce connected lighting > 30%.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
C405.3 [EL6] ¹	Exit signs do not exceed 5 watts per face.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: BK 5118 Report date: 06/06/19
Data filename: G:\MEP\06 MECHANICAL DESIGN\HVAC Energy Calcs\Carrols Corp\2019.2190 - BK 5118 Page 6 of 9
HARTLAND, MI - 2015 IECC.cck

COMcheck Software Version 4.1.1.0
Inspection Checklist
Energy Code: 2015 IECC

Requirements: 100.0% were addressed directly in the COMcheck software
Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req. ID	Plan Review	Complies?	Comments/Assumptions
C103.2 [PRA] ¹	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the interior lighting and electrical systems and equipment and document where exceptions to the standard are claimed. Information provided should include interior lighting power calculations, wattage of bulbs and ballasts, transformers and control devices.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
C103.2 [PRB] ¹	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the exterior lighting and electrical systems and equipment and document where exceptions to the standard are claimed. Information provided should include exterior lighting power calculations, wattage of bulbs and ballasts, transformers and control devices.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: BK 5118 Report date: 06/06/19
Data filename: G:\MEP\06 MECHANICAL DESIGN\HVAC Energy Calcs\Carrols Corp\2019.2190 - BK 5118 Page 5 of 9
HARTLAND, MI - 2015 IECC.cck

Stacy Henson Name - Title Signature Date

COMcheck Software Version 4.1.1.0
Exterior Lighting Compliance Certificate

Project Information

Energy Code: 2015 IECC
Project Title: BK 5118
Project Type: Alteration
Exterior Lighting Zone: 3 (Other)

Construction Site: 10382 HIGHLAND RD.
HARTLAND, MI 48353

Owner/Agent: Richard Cross
Carrols Corporation
968 James Street
P.O. Box 6969
Syracuse, NY 13217

Designer/Contractor: Stacy Henson
Interplan, LLC
604 Courtland Street
Suite 100
Orlando, FL 32804
shenson@interplanllc.com

Allowed Exterior Lighting Power

A Area/Surface Category	B Quantity	C Allowed Watts / Unit	D Tradable Wattage	E Allowed Watts (B X C)
Illuminated area of facade wall or surface	240 ft ²	0.15	No	36
Free standing/attached sales canopy	275 ft ²	0.8	Yes	220
Total Tradable Watts (a) =				220
Total Allowed Watts =				256
Total Allowed Supplemental Watts (b) =				750

(a) Wattage tradeoffs are only allowed between tradable areas/surfaces.
(b) A supplemental allowance equal to 750 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

Proposed Exterior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
Illuminated area of facade wall or surface (240 ft²): Non-tradable Wattage				
LED-L: Other:	1	7	30	210
LED-N: Other:	1	2	27	54
LED-Other:	1	1	1200	Exempt
Exemption: Advertising or directional signage				
Free standing/attached sales canopy (275 ft²): Tradable Wattage				
LED-L: Other:	1	11	30	330
Total Tradable Proposed Watts =				330

Exterior Lighting PASSES

Exterior Lighting Compliance Statement

Compliance Statement: The proposed exterior lighting alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed exterior lighting systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.1.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Project Title: BK 5118 Report date: 06/06/19
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Section # & Req. ID	Final Inspection	Complies?	Comments/Assumptions
C303.3, C408.2.5.2 [F17] ¹	Furnished O&M instructions for systems and equipment to the building owner or designated representative.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
C405.4.1 [F18] ¹	Interior installed lamp and fixture lighting power is consistent with what is shown on the approved lighting plans, demonstrating proposed watts are less than or equal to allowed watts.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Interior Lighting fixture schedule for values.
C405.5.1 [F19] ¹	Exterior lighting power is consistent with what is shown on the approved lighting plans, demonstrating proposed watts are less than or equal to allowed watts.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Exterior Lighting fixture schedule for values.
C408.2.5.1 [F16] ³	Furnished as-built drawings for electric power systems within 90 days of system acceptance.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
C408.3 [F13] ¹	Lighting systems have been tested to ensure proper calibration, adjustment, programming, and operation.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: BK 5118 Report date: 06/06/19
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1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: BK 5118 Report date: 06/06/19
Data filename: G:\MEP\06 MECHANICAL DESIGN\HVAC Energy Calcs\Carrols Corp\2019.2190 - BK 5118 Page 7 of 9
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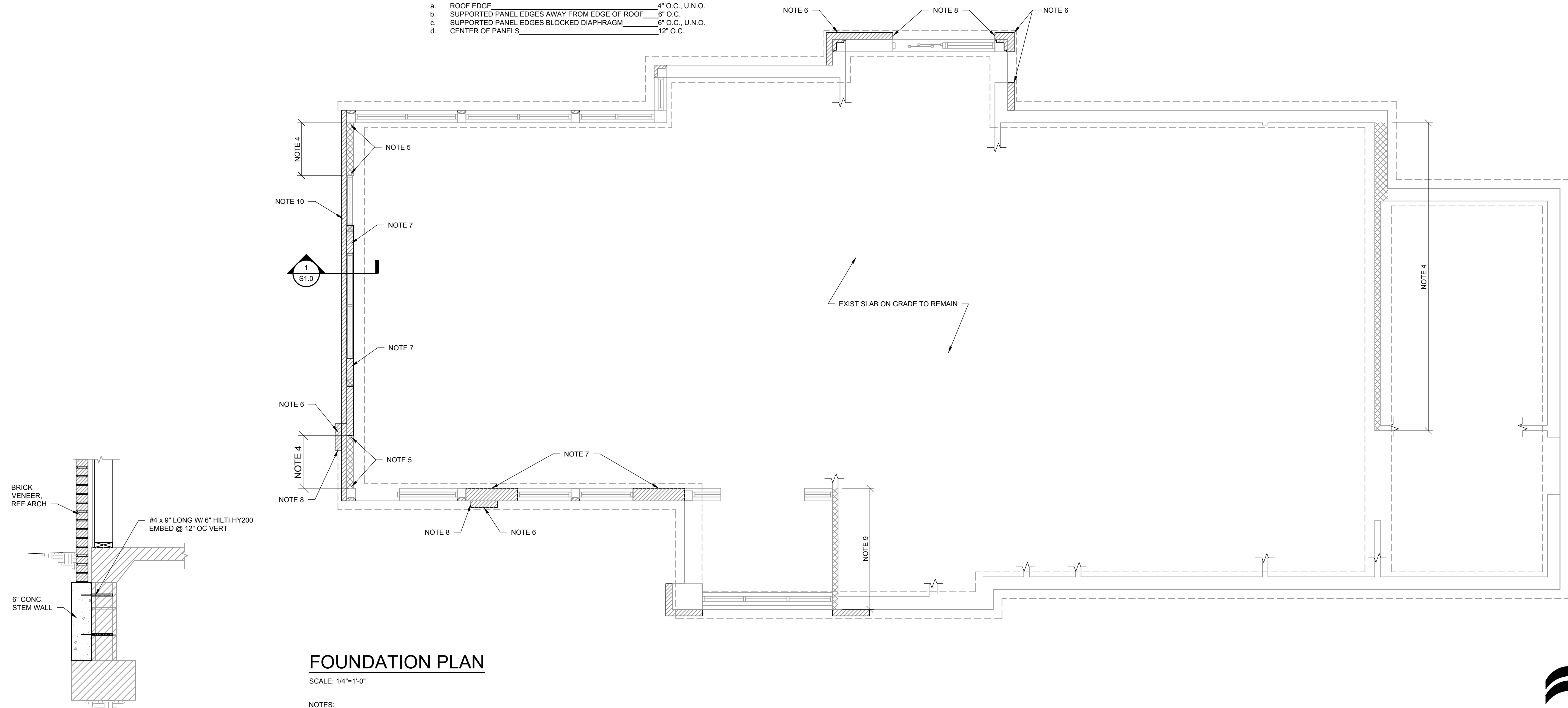
IP# 2019.2190
CC# 1018
BK 5118
10382 HIGHLAND RD.
HARTLAND, MI 48353
DATE: 06/23/19
BK-2500
ENERGY COMPLIANCE CERTIFICATE
E-4
CHECKED: AC
DRAWN: RL
64

- I. GENERAL
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, SHOP DRAWINGS AND SPECIFICATIONS.
 - IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL CONTRACT DOCUMENTS AND LATEST ADDENDA AND TO SUBMIT TO ALL SUBCONTRACTORS AND SUPPLIERS PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS.
 - THE GENERAL CONTRACTOR SHALL COMPARE ALL CONTRACT DRAWINGS AND REPORT ANY DISCREPANCY BETWEEN DISCIPLINES AND WITHIN A GIVEN DISCIPLINE TO THE ARCHITECT AND ENGINEER PRIOR TO FABRICATION AND ERECTION.
 - IF A CONFLICT EXISTS AMONG THE STRUCTURAL DRAWINGS, GENERAL NOTES, OR THE SPECIFICATIONS, THE STRICTEST REQUIREMENTS, AS INDICATED BY THE ENGINEER, SHALL GOVERN.
 - THE CONTRACTOR SHALL COORDINATE ALL ELEVATIONS AND DIMENSIONS, INCLUDING BUT NOT LIMITED TO THOSE FOR OPENINGS IN WALLS AND IN ROOF AND FLOOR SYSTEMS, WITH THE ARCHITECTURAL, PLUMBING, ELECTRICAL, AND MECHANICAL PLANS.
 - ALL DIMENSIONS, ELEVATIONS, AND ANY OTHER CONDITIONS OF ANY EXISTING STRUCTURES OR OTHER FEATURES SHALL BE VERIFIED BY THE GENERAL CONTRACTOR AND ANY DISCREPANCIES WITH THE CONTRACT DRAWINGS REPORTED TO THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK. DURING THE CONSTRUCTION PROCESS, IT SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE AND TO PROTECT FROM DAMAGE ANY PORTIONS THAT ARE TO REMAIN.
 - UNLESS OTHERWISE NOTED, DETAILS SHOWN ON ANY DRAWING ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AND FOR SAFETY PRECAUTIONS AND PROGRAMS.
 - BRITT, PETERS & ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSION OF THE CONTRACTOR OR FOR THEIR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

- II. WOOD FRAMING
- A. SAWN CUT LUMBER:
- UNLESS NOTED OTHERWISE, ALL LUMBER TO BE #2 KD SOUTHERN YELLOW PINE WITH A MAXIMUM MOISTURE CONTENT OF 19%.
 - ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY OR EXPOSED TO THE EXTERIOR ENVIRONMENT SHALL BE PRESSURE TREATED AND SHALL BEAR THE THIRD PARTY QUALITY MARK "ABOVE GROUND USE" REFERENCE STANDARD AWPA C2 AND ASTM D1760 FOR PRESSURE TREATMENT OF TIMBER PRODUCTS.
 - AS A MINIMUM, FASTEN ALL WOOD FRAMING WITH COMMON NAILS TO COMPLY WITH THE "FASTENING SCHEDULE" OF THE AFOREMENTIONED BUILDING CODE.
 - THE DOUBLE TOP PLATES OF THE WALL SHALL RESIST THE CHORD FORCES IN THE ROOF DIAPHRAGM AND ACT AS DRAG STRUTS BETWEEN SHEAR WALL SEGMENTS. JOINTS SHALL BE LAPPED SPLICED WITHIN THE CENTER THIRD OF A WALL LENGTH AND THE MINIMUM LAP SHALL BE 4 FEET.
 - TIMBER CONNECTORS CALLED FOR ON THE DRAWINGS ARE AS MANUFACTURED BY THE SIMPSON COMPANY. CONNECTORS BY OTHER MANUFACTURERS MAY BE USED IF THE LOAD CAPACITY IS EQUAL TO OR GREATER THAN THE CONNECTOR SPECIFIED. USE MANUFACTURER'S FURNISHED NAILS AND BOLTS.
- B. WALL AND ROOF SHEATHING
- WALL SHEATHING SHALL BE MANUFACTURED BY A MEMBER OF AMERICAN PLYWOOD ASSOCIATION, SHALL BE LABELED WITH THE APA GRADE STAMP AND CONFORM TO THE FOLLOWING REQUIREMENTS:
 - PANEL GRADE: RATED SHEATHING
 - SPAN RATING: 16/32
 - EXPOSURE DURABILITY CLASSIFICATION: EXPOSURE 1
 - PRODUCT STANDARD: PS1
 - THICKNESS: 5/8
 - ROOF SHEATHING SHALL BE MANUFACTURED BY A MEMBER OF AMERICAN PLYWOOD ASSOCIATION, SHALL BE LABELED WITH THE APA GRADE STAMP AND CONFORM TO THE FOLLOWING REQUIREMENTS:
 - PANEL GRADE: RATED SHEATHING
 - SPAN RATING: 40/20
 - EXPOSURE DURABILITY CLASSIFICATION: EXPOSURE 1
 - PRODUCT STANDARD: PS1
 - THICKNESS: 5/8
 - ALL SHEATHING SHALL BE INSTALLED WITH THE STRENGTH (TYPICALLY FACE GRAIN) DIRECTION PERPENDICULAR TO THE SUPPORTING FRAMING WITH STAGGERED JOINTS.
 - ROOF SHEATHING SHALL BE INSTALLED WITH 5/8 PSCL SHEATHING CLIPS BY SIMPSON STRONG TIE, INC. INSTALLED BETWEEN THE EDGED OF ALL ADJACENT PANELS MIDWAY BETWEEN SUPPORTING FRAMING MEMBERS THAT ARE SPACED MORE THAN 20-INCHES APART.
 - WALL SHEATHING SHALL BE FASTENED TO SUPPORTING FRAMING WITH 10d COMMON RING SHANK NAILS AT THE SPACING INDICATED BELOW UNLESS NOTED OTHERWISE IN THE SHEAR WALL SCHEDULE:
 - WALL EDGE: 6" O.C.
 - SUPPORTED PANEL EDGES AWAY FROM EDGE OF WALL: 6" O.C.
 - CENTER OF PANELS: 12" O.C.
 - ROOF SHEATHING SHALL BE FASTENED TO SUPPORTING FRAMING WITH 8d COMMON RING SHANK NAILS AT THE SPACING INDICATED BELOW:
 - ROOF EDGE: 4" O.C., U.N.O.
 - SUPPORTED PANEL EDGES AWAY FROM EDGE OF ROOF: 6" O.C.
 - SUPPORTED PANEL EDGES BLOCKED DIAPHRAGM: 6" O.C., U.N.O.
 - CENTER OF PANELS: 12" O.C.

- III. DESIGN CRITERIA
- A. THE CONTRACT DOCUMENTS ARE BASED ON THE REQUIREMENTS OF THE 2015 INTERNATIONAL BUILDING CODE.
- B. DEAD LOADS
1. TYPICAL ROOF SYSTEMS: (20 PSF TOTAL)
- MEP: 10 PSF
 - INSULATION & ROOFING: 10 PSF
- * MISCELLANEOUS CEILING AND HANGING MECHANICAL LOADS SUCH AS DUCT WORK AND SPRINKLER PIPES.
- C. LIVE LOADS
1. LIVE LOADS ARE BASED ON THE MORE RESTRICTIVE OF THE UNIFORM LOAD LISTED BELOW OR THE CONCENTRATED LOAD LISTED ACTING OVER A 6.25 SQUARE FOOT AREA EXCEPT FOR PARKING GARAGES WHICH ACT OVER AN AREA OF 20 SQUARE INCHES. LIVE LOADS HAVE BEEN REDUCED AS PRESCRIBED IN THE AFOREMENTIONED BUILDING CODE.
- | CATEGORY (LBS) | UNIFORM LOAD (PSF) | CONCENTRATED LOAD |
|---|--------------------|----------------------------|
| A. ROOFS | | |
| ALL ROOF SURFACES SUBJECT TO WORKERS | 20 | 300" |
| ORDINARY ROOF | | |
| *OR EQUIPMENT WEIGHT IF GREATER | | |
| D. DESIGN SNOW LOAD: | | |
| GROUND SNOW LOAD, | PG | 25 PSF |
| FLAT ROOF SNOW LOAD, | PF | 20 PSF |
| EXPOSURE FACTOR, | CE | 1.0 |
| SNOW THERMAL FACTOR, | CT | 1.0 |
| SNOW IMPORTANCE FACTOR, | I | 1.0 |
| E. DESIGN WIND LOADS: | | |
| BASIC WIND SPEED, | Vu/Vasd | 115/90 MPH (3 SECOND GUST) |
| WIND IMPORTANCE FACTOR, | | 1.00 |
| EXPOSURE | | B |
| INTERNAL PRESSURE COEFF | GCPI | ±0.18 |
| F. SEISMIC LOADS: | | |
| SHORT PERIOD SPECTRAL RESPONSE ACCELERATION, | SS | 0.083g |
| 1-SEC PERIOD SPECTRAL RESPONSE ACCELERATION, | S1 | 0.045g |
| SHORT PERIOD DESIGN SPECTRAL RESPONSE ACCELERATION, | SDS | 0.088g |
| 1-SEC PERIOD DESIGN SPECTRAL RESPONSE ACCELERATION, | SD1 | 0.072g |
| OCCUPANCY CATEGORY | II | |
| SEISMIC DESIGN CATEGORY | B | |
| SITE CLASS | D | |

- IV. DEMOLITION
- REMOVE STRUCTURE FROM TOP DOWN. DO NOT ALLOW DEBRIS TO PILE UP OR FALL ON SLABS WHICH ARE TO REMAIN IN PLACE. PROVIDE PLYWOOD AND/OR PLANKING TO CUSHION AND PROTECT SLABS FROM DAMAGE. REPAIR OR REPLACE DAMAGED SLABS, BEAMS, OR GIRDERS AS DIRECTED BY OWNER.
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND SUBMIT A WRITTEN REPORT TO THE ENGINEER FOR REVIEW AND/OR INSTRUCTION OF ACTUAL FIELD CONDITIONS, WHICH MAY VARY FROM INFORMATION INDICATED ON DRAWINGS.
 - CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING OF STRUCTURE AS REQUIRED.
 - THE DETAILS AND ENGINEERING OF SHORING, BRACING AND OTHER CONSTRUCTION REQUIRED FOR SUCH WORK AND THE PHASING, STAGING, AND SEQUENCE OF SUCH OPERATION SHALL BE PREPARED IN THE FORM OF SHOP OR DETAIL DRAWINGS BY A PROFESSIONAL ENGINEER, RETAINED BY THE CONTRACTOR OR SUB-CONTRACTOR. THE DRAWINGS SHALL BE PROVIDED TO THE REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER RESPONSIBLE FOR THE INSPECTION OF SUCH WORK, WHO SHALL REPORT TO THE OWNER ANY DEVIATIONS OBSERVED DURING HIS INSPECTION.



FOUNDATION PLAN

SCALE: 1/4"=1'-0"

NOTES:

- GC TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OF NEW MATERIALS.
- GC TO NOTIFY EOR OF ANY DIFFERENCES BETWEEN DRAWINGS AND EXISTING CONDITIONS.
- REFER TO ARCH DRAWINGS FOR DIMENSIONS NOT SHOWN.
- VERIFY 2x6 STUDS @ 16" O.C. ATTACH 15/32" STRUCT. SHEATHING TO STUDS W/ 10d NAILS @ 3-12. IF NONE ARE PRESENT GC IS TO PROVIDE ALL ITEMS STATED ABOVE.
- VERIFY (2) 2x6 END STUDS W/ SIMPSON HDU4-SDS2.5 HOLD DOWN W/ 5/8" DIA. THREADED ROD WITH SIMPSON SET EPOXY W/ 12" EMBED. IF NONE ARE PRESENT GC IS TO PROVIDE ALL ITEMS STATED ABOVE.
- PROVIDE FULL HEIGHT STUDS FROM FINISH FLOOR TO TOP OF PARAPET.
- INFILL 2x6 STUDS @ 16" O.C. PROVIDE WALL SHEATHING PER GENERAL NOTES.
- PROVIDE (3) 2x6 FULL HEIGHT KING STUDS.
- GC TO CONFIRM EXISTENCE OF SIMPSON HDUS OR EQUIVALENT AND 4 ON WALL SHEATHING NAILING PATTERN.
- BRICK VENEER, REF ARCH

SECTION 1
3/4" = 1'-0"

RESTAURANT FOR: **Carrols Corporation**
968 James Street P.O. Box 6969
Syracuse, New York 13217-6969
(315) 424-0513

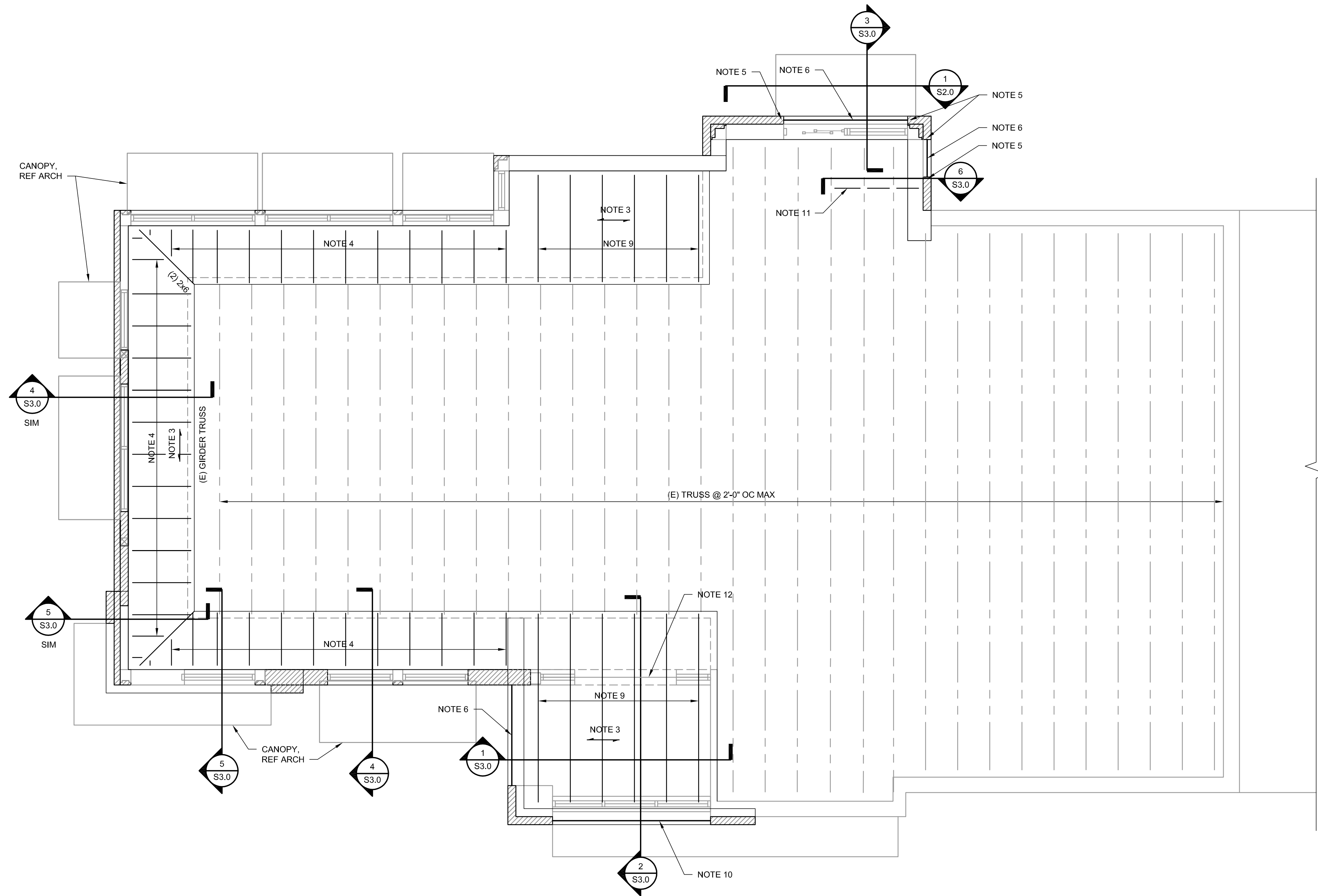
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PROJECT MANAGEMENT
604 COURTLAND STREET
ORLANDO, FLORIDA 32804
PH: 407.645.6008
FX: 407.629.9124

DATE: 06/07/19
DRAWN BY: BK-2500
CHECKED BY: SH
SCALE: S1.0

BRITT PETERS AND ASSOCIATES INC. consulting engineers
999 Waterside Drive
Suite 2302
Norfolk, VA 23510
(757) 965-5710
www.brittpeters.com
BPA Job No. 190386



ROOF FRAMING PLAN

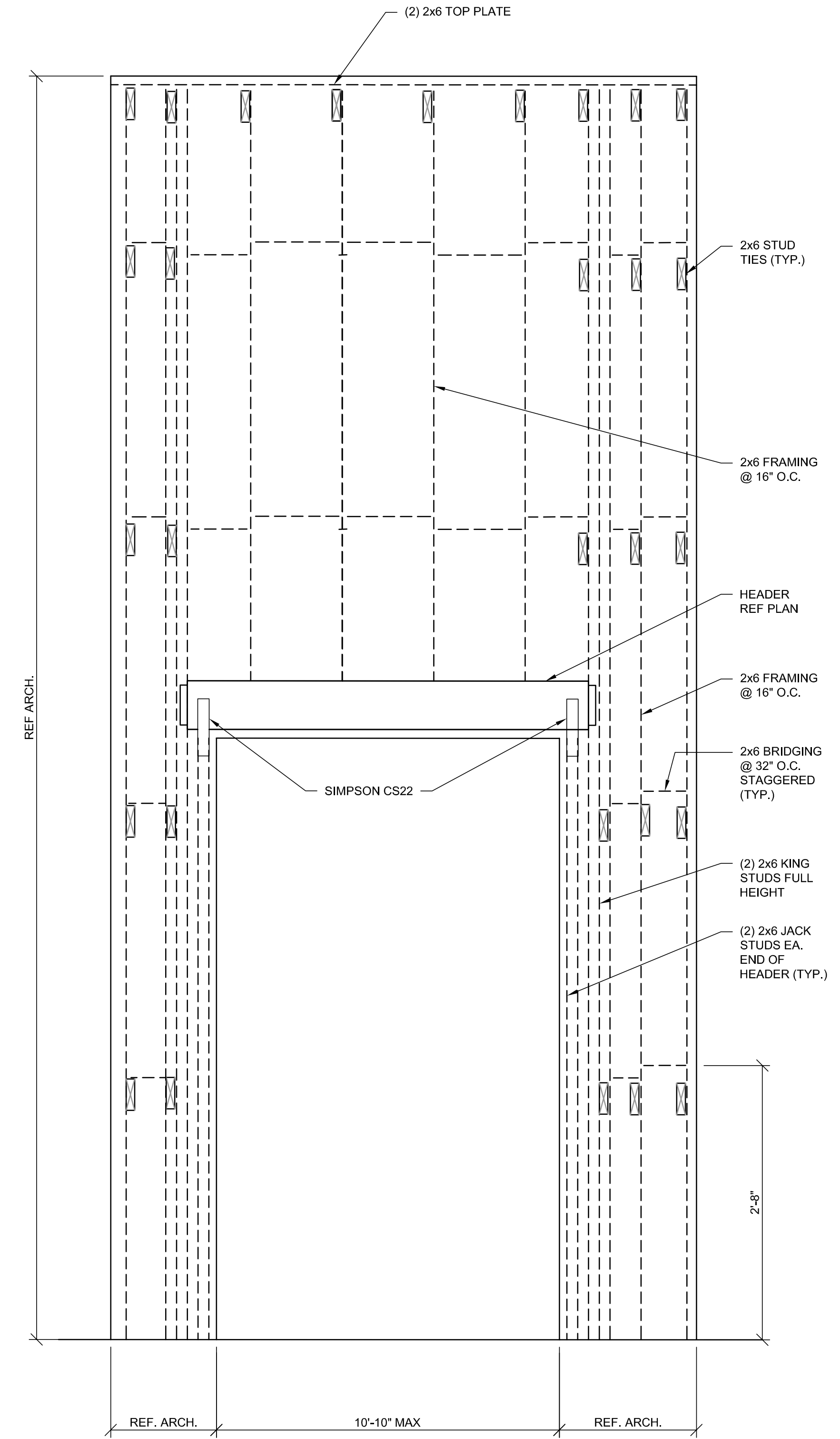
SCALE: 1/4"=1'-0"

NOTES:

1. GC TO FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OF NEW MATERIALS.
2. GC TO NOTIFY EOR OF ANY DIFFERENCES BETWEEN DRAWINGS AND EXISTING CONDITIONS.
3. NEW 5/8" EXTERIOR GRADE PLYWOOD SHEATHING.
4. NEW 2x6 @ EA. EXISTING TRUSS
5. PROVIDE 2 BRG AND 3 KING STUDS EA END, REF 3/S3.0
6. (3) 2x6 HEADER
7. NOT USED
8. NOT USED
9. NEW 2x12 @ EA EXISTING TRUSS
10. (3) 2x12 HEADER
11. (3) 2x4 BLOCKING AT BAYS SHOWN
12. GC TO CONFIRM (E) HEADER IS (3) 2x10 MIN

LOOSE LINTEL ANGLE SCHEDULE	
ANGLE SIZE	SPAN
L 3 1/2 x 3 1/2 x 1/4 LLV	UP TO 4'-0"
L6 x 3 1/2 x 3/8 LLV	UP TO 10'-0"

NOTE: PROVIDE 8" BEARING (MIN.) EACH END OF LINTEL. STEEL IS HOT-DIP GALVANIZED.



ELEVATION

3/4" = 1'-0"

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BURGER KING CORPORATION

INTERPLAN
 ARCHITECTURE
 ENGINEERING
 INTERIOR DESIGN
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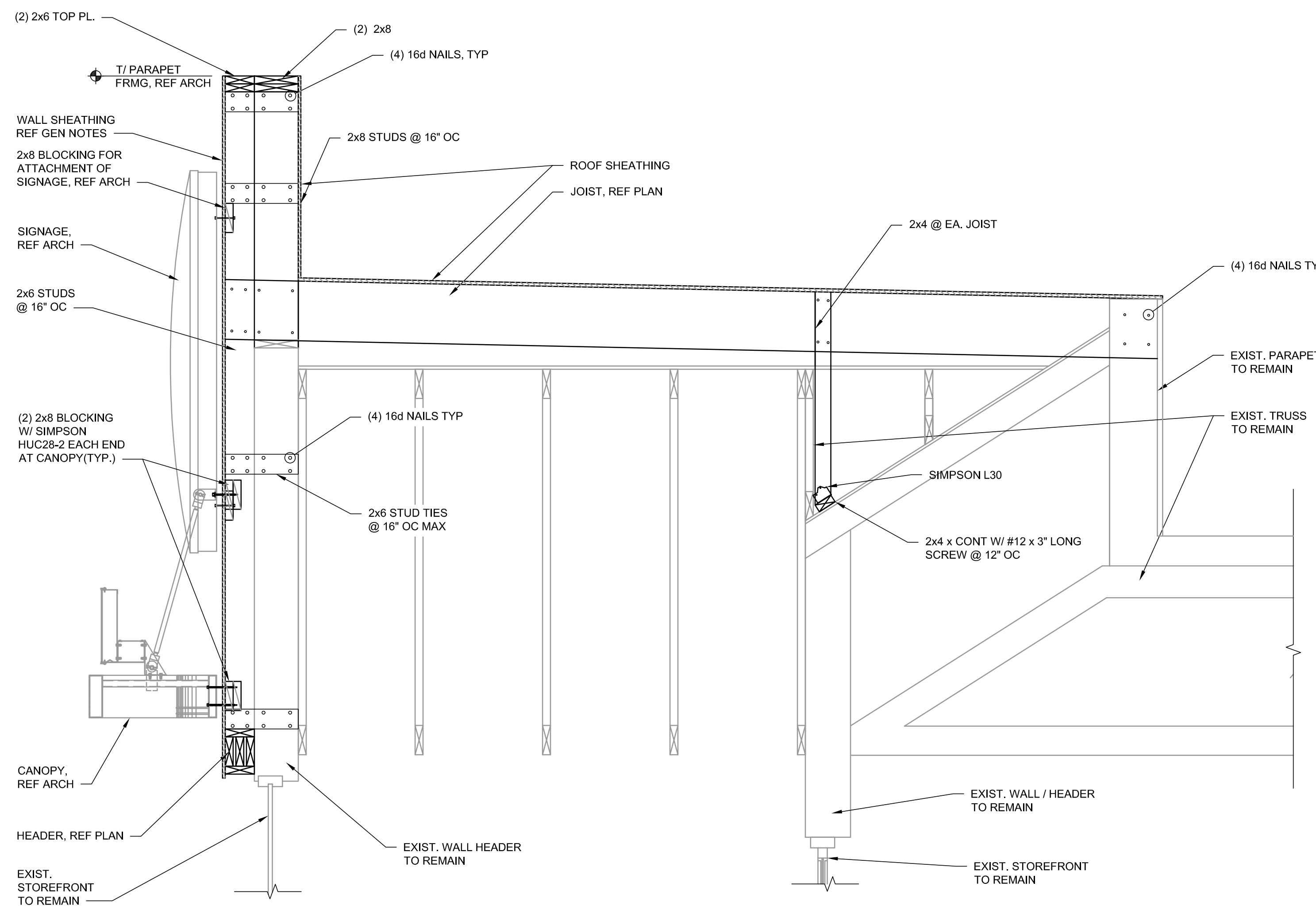
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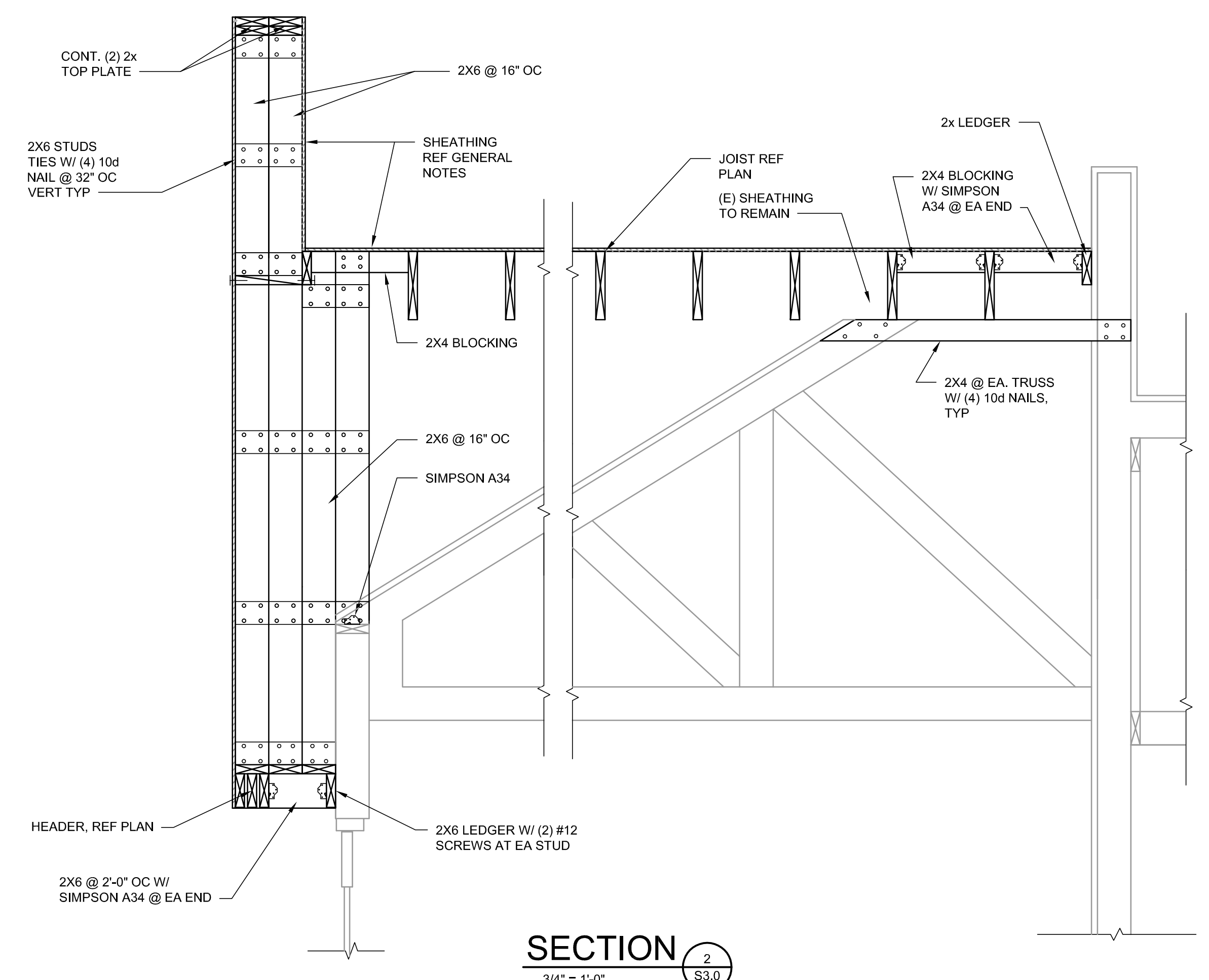
REVISION
 NO. DATE COMMENTS
 1 06/27/19 TOWNSHIP COMMENTS

IP# 2019.2190
 BK 5118
 10382 HIGHLAND RD.
 HARTLAND, MI 48933
 BK-2500
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 ROOF FRAMING PLAN

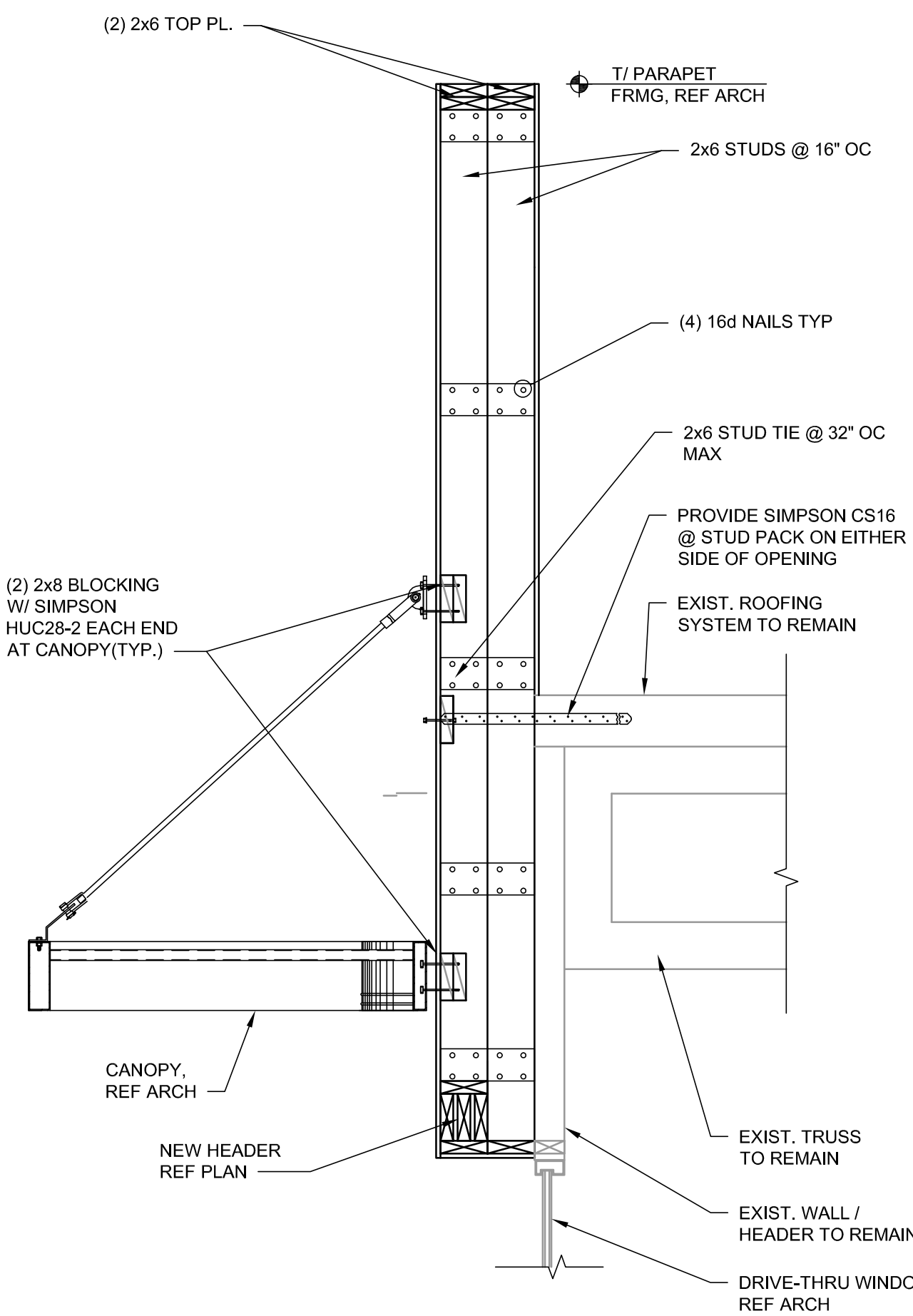
S2.0



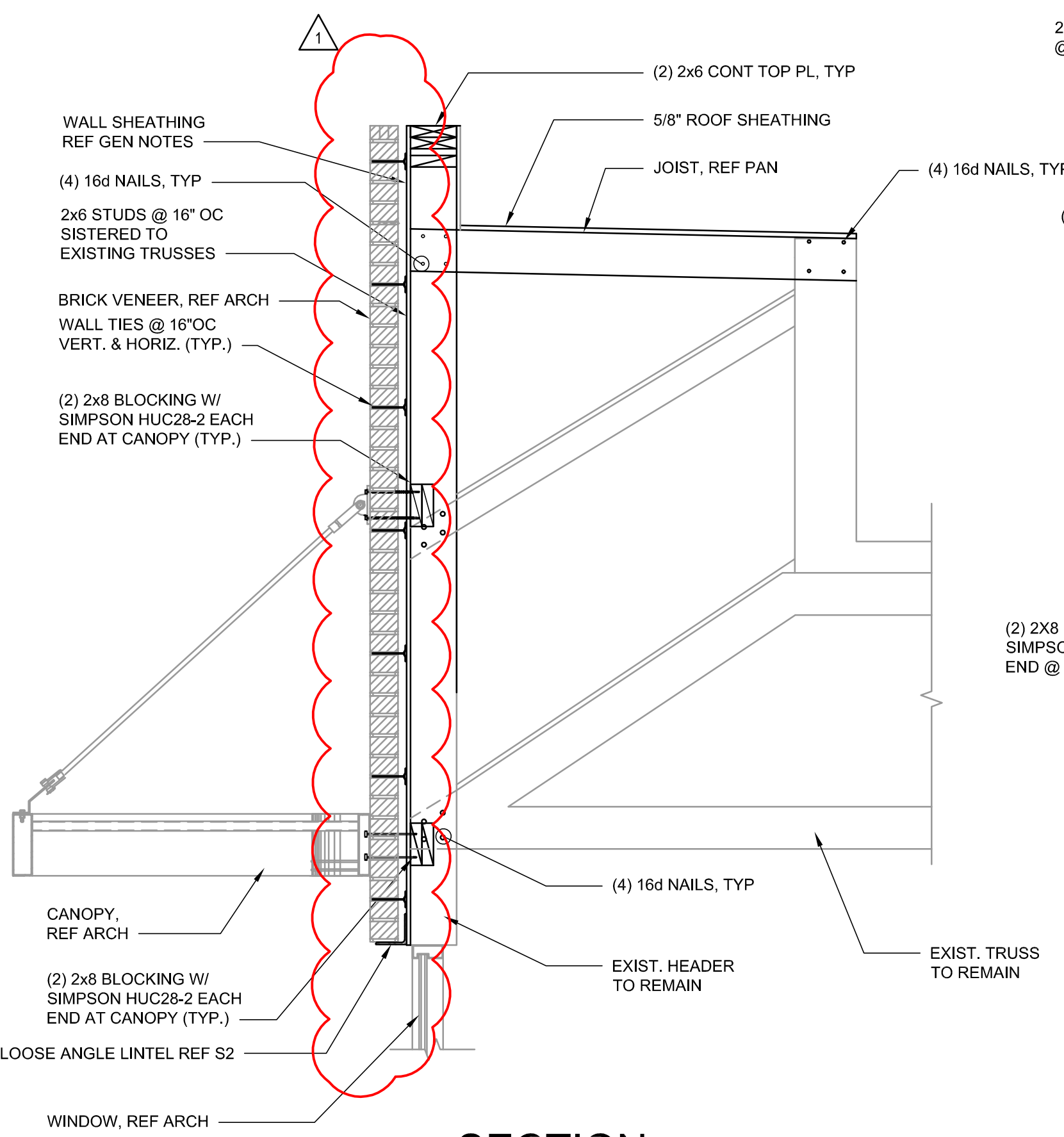
SECTION 1
3/4" = 1'-0"
S3.0



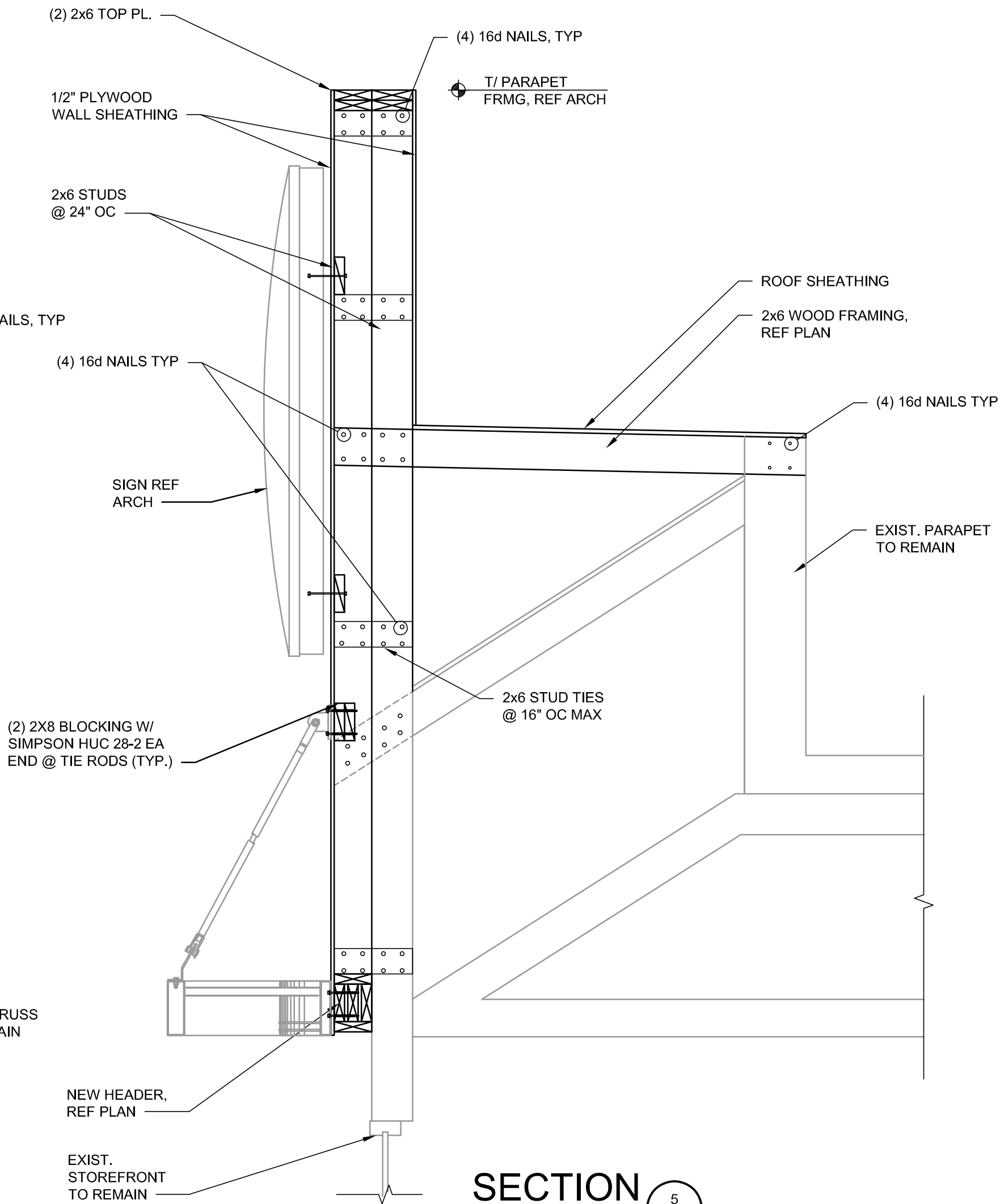
SECTION 2
3/4" = 1'-0"
S3.0



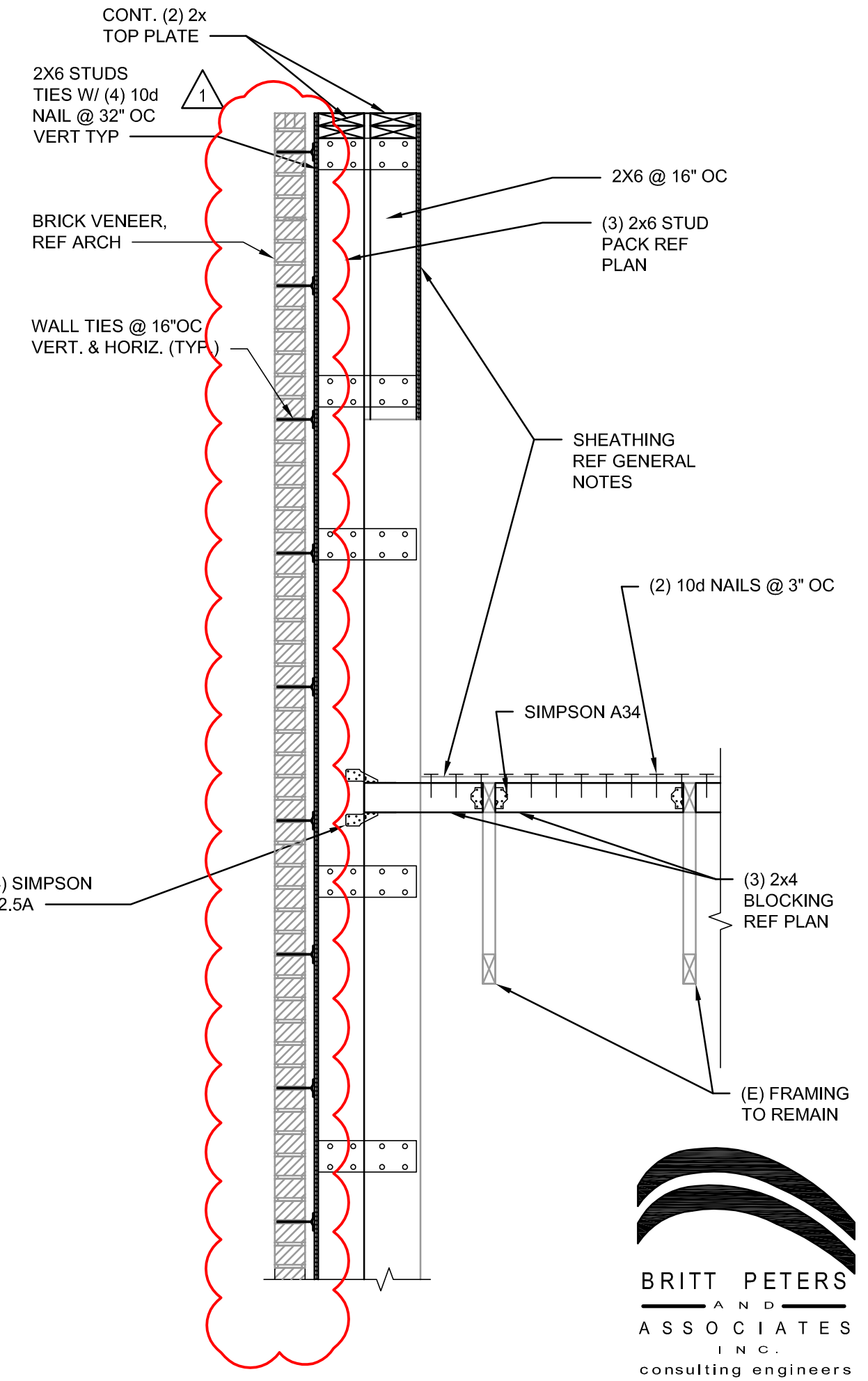
SECTION 3
3/4" = 1'-0"
S3.0



SECTION 4
3/4" = 1'-0"
S3.0



SECTION 5
3/4" = 1'-0"
S3.0



SECTION 6
3/4" = 1'-0"
S3.0

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REVISION
NO. DATE
1 10/27/19
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IP# 2018.2190
CC# 1018
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