



## Planning Commission

Larry Fox, Chairperson      Summer L. McMullen, Trustee  
Michael Mitchell, Vice-Chairperson      Keith Voight, Secretary  
Michelle LaRose, Commissioner      Sue Grissim, Commissioner  
Tom Murphy, Commissioner

### Planning Commission Meeting Agenda

Online via WebEx: <https://hartlandtownship-214.my.webex.com/hartlandtownship-214.my/j.php?MTID=m12366ccf2a0394fbe5eba5fdfe4e5242>

Thursday, February 25, 2021  
7:00 PM

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of the Agenda
5. Approval of Meeting Minutes
6. Call to Public
7. Old and New Business
  - a. Site Plan Application #20-013 Spicer's Orchards
  - b. Site Plan Application #21-002 Mackle's Table and Taps
8. Call to Public
9. Planner's Report
10. Committee Reports
11. Adjournment

In accordance with Public Act 228 of 2020, Hartland Township public meetings may be held virtually until further notice.

Agendas and Minutes are published on the Hartland Township website at:

<https://www.hartlandtwp.com/meetings>

All virtual meetings of the Board of Trustees and Planning Commission are posted to Hartland Township's YouTube page within 48 hours of the conclusion of said meetings at:

<https://www.youtube.com/channel/UCMQRFj949pT7c7PRasKMcFQ/videos>

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**Via WebEx (on-line meetings):** <https://hartlandtownship-214.my.webex.com/hartlandtownship-214.my/j.php?MTID=m12366ccf2a0394fbe5eba5fdfe4e5242>

**Via the WebEx app**

- Join a meeting, with meeting number: 182 170 6340
- Enter the meeting password: HTWP18 (ensure there are no spaces before or after the password)

**Via a cellular phone:**

- Dial number 1-(415)-655-0001
- When prompted enter meeting 182 170 6340, then press #
- When prompted enter password: 489718, then press #

**Via a landline phone (US Tolls may apply):**

- Dial 1-415-655-0001
- When prompted enter meeting ID: 182 170 6340, then press #
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# Hartland Township Planning Commission Meeting Agenda Memorandum

**Submitted By:** Troy Langer, Planning Director  
**Subject:** Site Plan Application #20-013 Spicer's Orchards  
**Date:** February 18, 2021

## Recommended Action

**Move to approve Site Plan Application #20-013**, a request to amend the approved site plan and establish two (2) permanent outdoor seating/dining areas adjacent to the winery building at Spicer Orchards Farm Market, addressed as 10411 Clyde Road. Approval is subject to the following conditions:

1. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated February 18, 2021, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
2. Applicant complies with any requirements of the Department of Public Works Director and Hartland Deerfield Fire Authority and all other government agencies, as applicable.
3. (Any other conditions the Planning Commission deems necessary)

## Discussion

Applicant: Alan Spicer

### Site Description

Spicer Orchards Farm Market is located east of US-23, north of Clyde Road, and west of Hartland Road in Section 4 of Hartland Township. The farm operation is comprised of several parcels which are all zoned CA-Conservation Agricultural. The subject site (Parcel ID #4708-04-300-003) includes the farm market building, the winery with tasting room, and other buildings associated with the agricultural operations on the property. The parcel is approximately 28.5 acres in size. The Spicer Orchards operation is comprised of eight (8) parcels, with a combined area of approximately 253 acres.

### Overview and Background Information

Spicer Orchards Farm Market, per the information submitted by the applicant, began in 1967 with the original farm market operating out of an existing barn. At that time, the farm market offered a small retail area, bakery and cider press. The business has expanded over the years to include a winery and wine tasting facility. The history is summarized below, as applicable to the current request.

### Conditional Use Permit Application #116

On September 18, 1979, the Township Board approved Conditional Use Permit Application #116, to allow agricultural-related commercial activities at Spicer Orchards, which was considered a conditional use for AR-Agricultural and Residential. The subject site was zoned AR-Agricultural and Residential in 1979. The Township records are unclear if the conditional use permit had an expiration date. Approval of CU #116 allowed a farm market that sells primarily food produced on a farm, and the sale of other items produced on other farms such as food items, related gifts and antiques. A site plan was provided showing

the layout of the farm operation and associated buildings in 1979. The farm market was housed in an existing barn, which is same building used today for the farm market.

CU/SP #116

On November 14, 1990, the Planning Commission approved a minor amendment to the plans under CU #116, for the addition of restrooms to the barn/farm market building.

Small Wine Maker License Approval January 6, 2009

Per the applicant's explanation grape production began on the property in 2008, as another product grown on the farm facility. The intent was to start a winery as another business at Spicer Orchards.

On January 6, 2009, the Township Board passed a resolution to approve the Liquor License Control Commission application for a new Small Wine Maker License for Spicer's Orchard Winery, LLC at 10411 Clyde Road, to operate a winery and tasting room. At that time, the wine tasting room was housed in the existing farm market building.

Land Use Permit #8296

On February 5, 2013, a land use permit was approved under LU #8296 for the construction of wine storage building, approximately 26 feet by 80 feet in size. The building is located east of the existing farm market building. Per the application, the intended use for the building was to store wine.

Site Plan with Special Land Use Application #18-002

In 2018, Spicer Orchards Farm Market applied for special land use approval for a farm market, with the inclusion of a winery and wine tasting room, as ancillary uses to the existing agricultural operation on the subject site (Site Plan with Special Land Use Application #18-002).

On May 10, 2018, the Planning Commission recommended approval of Site Plan with Special Land Use Application #18-002, for the operation of a farm market with winery and wine tasting room, subject to the approval of the Township Board. At the same meeting, the Planning Commission approved Site Plan #18-002, for the site components.

On June 5, 2018, the Hartland Township Board approved Special Land Use Application #18-002 for Spicer Orchards Farm Market, with winery and wine tasting room, as ancillary uses to the existing agricultural operation.

Land Use Permit #18-002

On June 6, 2018 Land Use Permit #18-002 was approved for interior renovations to the commercial kitchen in the farm market building and interior improvements to the wine storage building, to create a wine tasting room.

Special Event Permit (PSE) #20-013 (for temporary outdoor use)

In July 2020, the Township issued PSE #20-013, as a special event permit for an outdoor seating/dining area at Spicer's, as a temporary outdoor use. This type of special event permit was initiated by the Township in 2020 as a response to the COVID-19 crisis, to provide temporary outdoor seating areas that could accommodate spatial distancing for patrons. The special event permit for the temporary use is valid for 45 days, with the option of applying for an extension of the permit, prior to expiration, for an additional 45 days. PSE #20-013 has been extended four (4) times. The end date of the current extension is March 18, 2021, with the option of another extension. The applicant was informed at the time of the issuance of PSE #20-013 that inspections and approvals from other applicable government agencies is the responsibility of the applicant.

### **Request**

The applicant is requesting to amend the approved site plan (SP #18-002) to establish two (2) permanent outdoor seating/dining areas adjacent to the wine storage building. Following is a summary of the two (2) outdoor seating/dining areas.

#### **East Outdoor Service Area (as labeled per the submitted plan)**

The east outdoor seating/dining area is east of the wine storage building and is approximately 60 feet by 105 feet, or 6,300 square feet in area. The area is adjacent to the existing paved parking lot and is defined by split rail fencing (42 inches in height). Ingress and egress access points are shown in the fencing. The ground surfacing is grass or gravel.

#### **West Outdoor Patio Area**

The west outdoor seating/dining area is located on the west side of the wine storage building, and adjacent to the existing paved parking area. The space is approximately 14 feet by 36 feet, or approximately 504 square feet in area. The area is defined by white metal fencing (48 inches in height). Ingress and egress points are shown in the fencing. The ground surfacing is wood chips.

### **Approval Procedure**

#### **SITE PLAN REVIEW – Applicable Site Standards**

The applicant is requesting to amend the approved site plan to establish two (2) permanent outdoor seating/dining areas adjacent to the wine storage building. Section 4.47 of the Zoning Ordinance outlines standards for outdoor seating and dining.

A site plan application is required, to be reviewed by the Planning Commission, who will make a final decision on the site plan.

The proposed project also requires a land use permit from the Township as well as applicable approvals from other government agencies.

#### **Site Description**

Spicer Orchards Farm Market is located east of US-23, north of Clyde Road, and west of Hartland Road in Section 4 of Hartland Township. The subject site (Parcel ID #4708-04-300-003) includes the farm market building, the winery with tasting room, and other buildings associated with the agricultural operations on the property. The parcel is approximately 28.5 acres in size. The two (2) proposed outdoor seating/dining areas are adjacent to the wine storage building.

#### **Impact Assessment**

An Impact Assessment was not required.

#### **Traffic Generation**

Traffic generation information was not required.

#### **Site Requirements**

**Outdoor Seating and Dining (Sec. 4.47) – Standards & Operating Restrictions**

## STANDARDS

### Location

- Required – All outdoor seating and dining shall be located immediately adjacent to the establishment with which it is associated; shall not encroach upon any public right-of-way; and a minimum five (5) feet of sidewalk shall be maintained free of tables and other encumbrances.
- Proposed – Two (2) outdoor seating and dining areas (East and West); each area is directly adjacent to the wine storage building which houses the wine tasting room. Each area abuts the paved parking lot on one side. Ingress and egress access points are shown for each area.
- Meets Requirement? – Yes
- Comment – (none)

### Defined Area

- Required – If alcoholic beverages are to be served, outdoor seating and dining areas must be enclosed by a barrier a minimum 3.5 feet above the ground; the barrier must be decorative and cannot restrict visibility; may be constructed of permanent or temporary materials that are compatible with the architectural character of the main establishment; and the barrier must meet all current fire codes, subject to review and approval of the Fire Marshal and must conform to the current Michigan Liquor Control Commission Rules and Regulations.
- Proposed – East Area: wood split rail fencing; 3.5 feet in height. West Area: white metal fencing, four (4) feet in height.
- Meets Requirement? – Yes, subject to approvals by all applicable government agencies
- Comment – (none)

### Capacity

- Required – Outdoor seating and dining areas shall not exceed 25% of the seating for the establishment. In this case the wine tasting area/wine storage building has a total of 30 seats (16 seats inside and 14 seats on the covered deck), thus 25% equates to a maximum of 8 seats in the outdoor seating and dining area.
- Proposed – East Area: 12 picnic tables shown (size not specified); possibly 6 people per table = 72 seats. West Area: 6-10 picnic tables proposed (size not specified); possibly 6 people per table = 36-60 seats. TOTAL (both areas) = 108 to 132 seats
- Meets Requirement? – It is assumed that the 25% capacity limitation for outdoor seating is related to potential parking needs. Per Section 4.47, additional parking is not required to accommodate outdoor seating and dining spaces, however parking for this request is discussed in this staff memorandum under “Parking Spaces”.
- Comment – (none)

### Screening

- Required – Appropriate screening or fencing complimentary and aesthetically pleasing to the site shall be provided as determined necessary by the Planning Commission.
- Proposed – White metal fencing and wood split-rail fencing used to define the outdoor seating and dining areas.
- Meets Requirement? – **TBD** by the Planning Commission if additional screening is required.
- Comment – (none)

### Pedestrian Circulation

- Required – The seating arrangement of outdoor seating and dining areas must comply with the State of Michigan Building Code and is subject to review and approval by the Hartland Township Fire Marshal.
- Proposed – The seating plan for the West Area shows three (3) picnic tables, with the statement that 6-10 picnic tables could fit in this area. The seating plan for the East Area shows twelve (12) picnic tables. Neither seating plan is drawn to scale.
- Meets Requirement? – The seating arrangement plan shall be reviewed under the land use permit application.
- Comment – (none)

### Parking Spaces

- Required – No additional parking spaces are required to accommodate outdoor seating and dining spaces.
- Proposed – None proposed or required.
- Meets Requirement? – Yes
- Comment – Typically parking calculations are not computed for outdoor seating/dining areas. If computed, staff referred to the site plan, dated May 1, 2018 provided for SP #18-002 (Spicer Orchards Farm Market) that showed parking on the site. Information regarding the farm market building, winery building, and the two (2) proposed outdoor seating/dining areas were also part of the parking calculations.

If applying the parking standard for retail use and a restaurant with sit-down type with liquor license (Section 5.8.4.H), the following calculations are provided:

- *REQUIRED: Retail: 1 space per each 300 SF of gross floor area; + Restaurant with sit-down type with liquor license: 22 parking spaces required per 1,000 square feet useable floor area; OR 0.6 spaces per seat, whichever is greater.*
  - Retail (farm market building):  $9,500 \div 300 = 32$  parking spaces
  - Restaurant:  
Winery Building (wine tasting room) and deck – 1,143SF useable floor area = **25** spaces  
OR  $0.6 \times 30$  seats = 18 spaces
  - 2 Proposed outdoor seating dining areas – 6,804 SF gross or 5,445 SF useable floor area = **119** parking spaces OR  $0.6 \times 132$  seats = 79 parking spaces

EQUATES TO: **176** parking spaces required

- Existing parking (per May 1, 2018 plan): 55 paved and striped parking spaces by farm market and winery buildings plus 40 spaces in field; unmarked, northwest of farm market building; plus, extra parking could be accommodated on additional unpaved/field areas within the subject property (number unknown). It is anticipated sufficient parking can be provided.

### Furniture

- Required – Tables, chairs, table umbrellas, railings, planters, posts, and other items shall be of quality designs, materials, and workmanship to ensure safety and convenience of users and to enhance the visual and aesthetic quality of the area. All furniture must be made primarily of wood, metal, or a material of comparable quality.
- Proposed – Plastic picnic tables (6-ft. and 8-ft. length) and some wooden picnic tables; colors not stated. Umbrellas and pop-up tents (red color primarily; some are blue)
- Meets Requirement? – A review of the furniture will occur under the land use permit application.
- Comment – Dissonant colors and advertising are not permitted. Earthtone colors are required.

### Waste Disposal

- Required – Appropriate waste disposal containers shall be provided for the convenience and sanitary disposal of garbage or waste within and around outdoor seating and dining areas. Containers shall be complimentary to the style of furniture.
- Proposed – Information was not provided.
- Meets Requirement? – Staff review will occur under the land use permit application.
- Comment – Dissonant colors and advertising are not permitted for waste containers. Earthtone colors are required.

## OPERATING RESTRICTIONS

### Hours of Operation

- Required – All outdoor seating and dining areas shall be allowed to operate until 10:00 p.m. Sunday through Thursday and until 11:00 p.m. Friday and Saturday. All activities shall cease by the required times.
- Proposed – Sunday Through Thursday until 10:00 p.m.; Friday and Saturday until 11:00 p.m.
- Meets Requirement? – Yes
- Comment – (none)

### Season of Operation

- Required – All outdoor and dining areas shall be allowed to operate from April 1<sup>st</sup> through November 15<sup>th</sup> of a given year.
- Proposed – April 15<sup>th</sup> through November 15<sup>th</sup>; possibly using the West Outdoor Patio Area into December as weather allows.
- Meets Requirement? – **TBD** by Planning Commission regarding the December end date
- Comment – (none)

### Furniture Storage

- Required – in the off-season from November 16<sup>th</sup> to March 31<sup>st</sup> of a given year, all furniture and items not fastened to the ground shall be removed and not stored outside.
- Proposed – Applicant has been informed of the regulations.
- Meets Requirement? – Yes
- Comment – (none)



Lighting

- Required – Additional lighting shall be designed and erected in accordance with Section 5.13, Lighting, of the Zoning Ordinance.
- Proposed – Additional lighting is not proposed.
- Meets Requirement? – Yes
- Comment – (none)

Noise

- Required – No music, intercom, or other noise shall be permitted that impacts adjacent properties in accordance with the Township’s Nuisance Ordinance.
- Proposed – Information was not provided regarding proposed music, intercom or other amplified systems.
- Meets Requirement? – Applicant has been informed of the regulations.
- Comment – (none)

Patron Entrance and Exit

- Required – Patron entrance and exit from the enclosed outdoor seating and dining area at establishments serving alcohol may only occur through the main establishment or an approved fire exit, as determined by the Fire Marshal. The approved fire exit shall have an alarm to alert the establishment in the event of unauthorized use when no emergency exists.
- Proposed – Drawings were not provided for the gates (ingress/egress access points)
- Meets Requirement? – **TBD** during the land use permit application with a review by the Hartland Township Fire Marshal.
- Comment – (none)

Food and Beverage Service

- Required – All food and beverages shall be prepared within the main establishment. The service of alcoholic beverages is subject to the current Michigan Liquor Control Commission Rules and Regulations (MLCC).
- Proposed – Applicant to secure all applicable permits and approvals.
- Meets Requirement? – **TBD** by MLCC
- Comment – (none)

Display and Advertising

- Required – No outdoor seating or dining area shall be used for the display or location of merchandise, advertising materials, or signage. No permitted canopy, awning, or umbrellas shall contain advertising material or signage, except umbrellas shall be permitted to include the name of the business and/or logo located at the outer edge of the fabric with a maximum width of six (6) inches.
- Proposed – Applicant has been informed of the regulations.
- Meets Requirement? – Yes
- Comment – (none)

**Other Requirements-Zoning Ordinance Standards**

Nothing additional at this time.

**Hartland Township DPW Review**

No comments at this time.

**Hartland Township Engineer's Review (HRC)**

The request does not require review by the Township's Engineer (Hubbell, Roth, and Clark).

**Hartland Deerfield Fire Authority Review**

The Fire Authority approves the project subject to the contingencies noted in the letter dated February 1, 2021.

**Attachments**

1. Hartland Deerfield Fire Authority letter dated February 1, 2021 – *PDF version only*
2. Applicant's responses January 29, 2021 – *PDF version only*
3. Applicant's summary January 29, 2021 – *PDF version only*
4. Spicer Orchards Farm Market Event Schedule, submitted in 2018 – *PDF version only*
5. Outdoor service areas site plan January 29, 2021 – *PDF version only*
6. Outdoor service areas site details – *PDF version only*
7. MLCC License Area 1 – *PDF version only*
8. Amended MLCC License Area 2 – *PDF version only*
9. MLCC Commission Order Approval dated July 23, 2020 – *PDF version only*
10. MLCC Commission Order Approval dated October 29, 2020 – *PDF version only*
11. Site plan dated May 1, 2018 – *PDF version only*

CC:

HRC, Twp Engineer (via email)  
Mike Luce, Twp DPW Director (via email)  
A. Carroll, Hartland FD Fire Chief (via email)

T:\PLANNING DEPARTMENT\PLANNING COMMISSION\2020 Planning Commission Activity\Site Plan Applications\SP #20-013 Spicers Outdoor Seating Areas\Staff report\SP #20-013 Spicer outdoor patios staff report 02.18.2021.docx



HARTLAND DEERFIELD FIRE AUTHORITY

# FIRE MARSHALS OFFICE

Hartland Area Fire Dept.  
3205 Hartland Road  
Hartland, MI. 48353-1825

Voice: (810) 632-7676

Fax: (810) 632-2176

E-Mail: [jwhitbeck@hartlandareafire.com](mailto:jwhitbeck@hartlandareafire.com)

February 1, 2021

To: Hartland Township Planning Dept.  
2655 Clark Road  
Hartland MI 48353

Re: Spicer's Orchards  
Outdoor Service Areas, SP #20-013  
10411 Clyde Road  
Fenton, MI

After review, this office approves the Outdoor Service Areas documents received on February 1, 2021 from Martha Wyatt, Hartland Township Office.

- 1) The current fencing around the parcel to the west of the Winery is sufficient with the one gate for egress. There is no need to put another gate on the fencing that will lead to other adjustments such as a ramp or stairs and a railing. It is approved as is.
- 2) For the parcel to the East of the Winery. It is at ground level, egress is not impeded in anyway and there isn't a structure being put in the space so no need for an inspection. A conversation was had between Shannon Rowe and myself about propane heaters not being used under the tent if they choose to keep up the tent or make it permanent. The outdoor propane heaters are to be used only in open air situations and it is printed as such on the front of the manual. She understood and said they wouldn't use them.
- 3) Fire lane must be maintained in front of the Wine Tasting building.

No further comments at this time. Any questions or concerns please let me know.

Yours In Fire Safety,

Jennifer Whitbeck

## Site Plan

1. The submitted site plan shows (see attached) shows 2 different outdoor seating areas. Are both areas part of the current request for outdoor seating? Is the larger outdoor seating area open air or enclosed by a tent?

Yes, both areas are part of the current request for outdoor seating. Both have been approved by the MLLC. For the most part, the larger outdoor seating area will primarily be open air. Tents are very expensive to rent or purchase and require a significant amount of maintenance. This past season we did have a tent for 2 or 3 weeks in only a portion of the area when it was later in the fall season and the weather turned cold. In summer, we utilized small "pop up" tents and a few umbrellas to provide shade during the summer heat. I imagine that tents will be used on occasion and similarly in the future as needed for weather conditions.

2. Additional details should be added to the site plan as follows:

- Please state the dimensions of each outdoor seating area.

West Outdoor Seating Area 14' x 36' directly adjacent to the West

East Outdoor Seating Area 105' x 60' directly adjacent to the East

- Please provide a seating plan for each outdoor area, showing tables and chairs.

See Attached Diagrams

- Please show the fencing around each outdoor dining area. A picture of the style and type of fence with some dimensions would be sufficient.

See attached Pictures

- Please label what surfacing material is proposed in each outdoor seating area-concrete, asphalt, etc.

See attached Diagram Descriptions

- Please provide information on the tent, so that we may forward that to the Hartland Deerfield Fire Authority for their review.

The tent we previously used is rented and installed by a professional tent rental company. The Hartland Deerfield Fire Authority inspected the tent we used this past fall. We do not know if we will use a tent this upcoming season as they are incredibly expensive to rent on a long term basis. We will make that decision on a year by year basis.

## Other

- Please provide a drawing of the boundary fence around each outdoor seating area, with the fence height stated, and gates shown (“If alcoholic beverages are to be served, outdoor seating and dining areas must be enclosed by a barrier a minimum 3.5 feet above the ground; the barrier must be decorative and cannot restrict visibility; may be constructed of permanent or temporary materials that are compatible with the architectural character of the main establishment; and the barrier must meet all current fire codes, subject to review and approval of the Fire Marshal and must conform to the current Michigan Liquor Control Commission Rules and Regulations”).

Please see attached Diagram – Both outdoor areas have already been inspected and approved by MLCC. Both areas were inspected and approved by the Hartland Deerfield Fire Authority during the 2020 season.

- Please provide information on the patio furniture, umbrellas, planters, etc. Logos, signage, advertising are not permitted on such items. Dissonant colors are not permitted. A picture from a sales brochure may be sufficient.

Furniture is Plastic Picnic Tables. In the summer we used a few pop up tents and umbrellas. Most are red, some are blue. We purchased what was available at the time as there were many shortages due to high demand and low production during the pandemic.

- Please provide the hours of operation of the outdoor seating areas. Per the ordinance, “all outdoor seating and dining areas shall be allowed to operate until 10:00 p.m. Sunday through Thursday and until 11:00 p.m. Friday and Saturday. All activities shall cease by the required times”.

Farm Hours 9 am-7pm Regular Season  
Farm Hours 9am – 6 pm Off Season

Winery 10am -7pm Regular Season  
Winery 11am -7pm Off Season

-Outdoor services areas are not open after dark. Most of the season our business is not open after dark. In winter when it gets dark earlier in the day, our outdoor areas are typically closed for the season.

\*\* These are the current hours and are subject to change.

- Please state the intended Season of Operation of each outdoor seating area. Typically it is April 1 through November 15.

The intended season of operation in a typical year would be April 15 to November 15. However, under circumstances, such as a pandemic, we would utilize these outdoor areas if needed. It is unlikely that we would use the larger area in the off season. We would also consider using the smaller patio area into December depending on weather conditions. This past year it was very warm into the middle of December and the few customers we had sat outside as required by pandemic regulations. The majority of customers do not want to sit outside unless they have no other choice.

- Will there be any additional outdoor lighting for these areas? If yes, please provide information. All lighting shall be designed and erected in accordance with Section 5.13, Lighting, of the Zoning Ordinance.

We do not intend on adding any additional outdoor lighting.

## Explanation of Outdoor Service Areas:

In the spring of 2020 we began the process of planning for a permanent outdoor service area adjacent to the winery. We have been licensed for one for many years but the licensed area was adjacent to the old winery location in the farm market and when we moved the winery to the new building we did not have the finances to fund the creation of a new outdoor area. We finally had saved enough money to apply and have to moved to be adjacent to the new winery building. We applied in July and were approved to move the ar-  
ea. It has been inspected and approved by MLCC.

In the summer of 2020 MLCC offered a “2020 Limited Permanent Outdoor Service Area Permit” to help combat the spread of Covid19 by moving operations as outdoor as possible. We applied and were approved for this additional space.

In the Fall of 2020 MLCC offered a “2020 Limited Permanent Outdoor Service Area Permission Conversion Permit”. We applied and were approved for this permit.

Our purpose and goal for taking these measures is to go above and beyond in complying first with the Governors Executive Orders and now with the orders from the State and Local Health department to combat the spread of the Coronavirus pandemic. Our purpose has always been to spread people out as much as possible and to keep everyone outdoors as much as possible. We feel that the measures taken have been very successful and discovered that our operation worked more smoothly with these new measures in place. We plan to keep many of these new ideas moving forward.

As part of this process we have worked with Mr. Langer and Jenn Whitbeck from the Fire Department. We have appreciated the advice and guidance from the Fire Department. We have met with Ms. Whitbeck on three occasions and have made updates and changes based on her extensive knowledge. We have been inspected by MLCC. We have been inspected by MDARD. We have been visited by the Livingston County Health Department as part their routine inspection of food vendors. We have passed inspections. All have been positive and supportive of our plans.

**Spicer Orchards**  
**Farm Market, Cider Mill, & Winery**

Spicer Orchards seeks to provide a family themed farm adventure experience while educating people about the production of basic foods.

Farm Market is closed approximately 6 months of the year. One of the biggest challenges we face is trying to employ seasonal help when only being open ½ the year. It is difficult to retain and train staff for ½ the year. It also means 6 months with no income. The Winery helps us to overcome some of those challenges. Although the winery is open year round, it is very slow in the winter months without the Family Fun Activities of the Pick Your Own Operation.

Crops currently grown on our Farm Include: Strawberries, Cherries, Blueberries, Peaches, Pears, Apricots, Apples, Pumpkins, Gourds, Squash, Corn, Hay, Tomatoes, Raspberries, Asparagus, Plums

**January - February**

**Farm Market**

Closed

**Winery**

Open Thursday to Sunday 11 am to 6 pm

Winery sells Cider/Donuts/Popular Farm Market Items along with Hard Cider, Wine that is produced at our Farm.

Winery accepts private wine tasting parties. Attendance is limited to 25 people.

Parties are typically after regular hours from 7 pm to 9 pm.

Winery hosts Small Events-- 1 to 2 times per month because the demand for private events are rare.

Events range from Book Club, Painting Night, Euchre Tournament

Attendance limited to 25 or less depending on the event.

**March – April**

**Farm Market**

Closed

**Winery**

In Past years this was the same as January/February.

This year we are experimenting with being open 7 days a 11 to 6 during March and April. We want to see if we can make enough money to keep employees year round. It is difficult to train staff seasonally.

### **May**

Farm Market Opens usually in Mid May depending on when the Strawberry crop comes in. Strawberries have opened anywhere from May 25 to June 15 depending on Mother Nature. We usually open the market in Mid May because customers start calling to find out when Strawberries open. We try to sell donuts and cider to help pay for the staff and use this as an opportunity to train seasonal staff.

### **June, July, August**

#### **Farm Market**

Open 8 am to 7 pm - Summer Pick Your Own Hours-

Farm Market Activities:

- Wagon-Train Rides to the PYO Field

- School/Child Care Farm Tours by appointment

- Cider/Donuts/Fudge/Ice Cream available at the Farm Bakery

- Fruit & Produce available - PYO or Ready Picked in the market.

- Farm Animals and Playground are open

- Farm Themed Birthday Parties (currently 15-20 per year)

- Farm Themed Family/Group Events (currently 1-3 per year)

- Farm Themed Weddings- Small Size 25-50 (1 per year)

We are considering the idea of hosting a 5K Farm Themed Run in August which is a very slow summer month. We have a hard time retaining seasonal employees because we have to reduce hours from Mid-July to 2<sup>nd</sup> week of September.

### **Winery**

Open 11 to 7 – Summer Hours

- Seasonal Winery Café is open 11 am to 3pm

- Café serves Sandwiches. Everything is pre-cooked/prepared offsite and assembled in our small kitchen. We use our fruit/produce when we can.

Winery accepts private wine tasting parties. Attendance is limited to 25 people.

- Parties are typically after regular hour from 7 pm to 9 pm.



## **September, October**

### **Farm Market**

Open 9 am to 7pm

Farm Market Activities In Addition to the Items Listed in June, July, August

Weekend activities begin After Labor Day which include:

Bounce Houses in the Playground (Vendor)

Corn Maze Opens

Additional Vendors offer food choices

Additional Vendors offer farm themed activities: ex. Face painting, Pony Rides, Artwork

1 Fall event: Harvest Festival/Craft show

### **Winery**

Open 11 am to 7pm

Same activities as previously listed.

## **November**

### **Farm Market**

Open 9am to 6 pm

All Farm Activities typically end. Pick Your Own closes for the season

### **Winery**

Open 11 am to 6pm

Winery Café Closes for the Season, will reopen in June when Strawberries arrive.

Winery offers same Private Event Opportunities

## **December**

### **Farm Market**

Open Monday – Wednesday 9am to 6pm

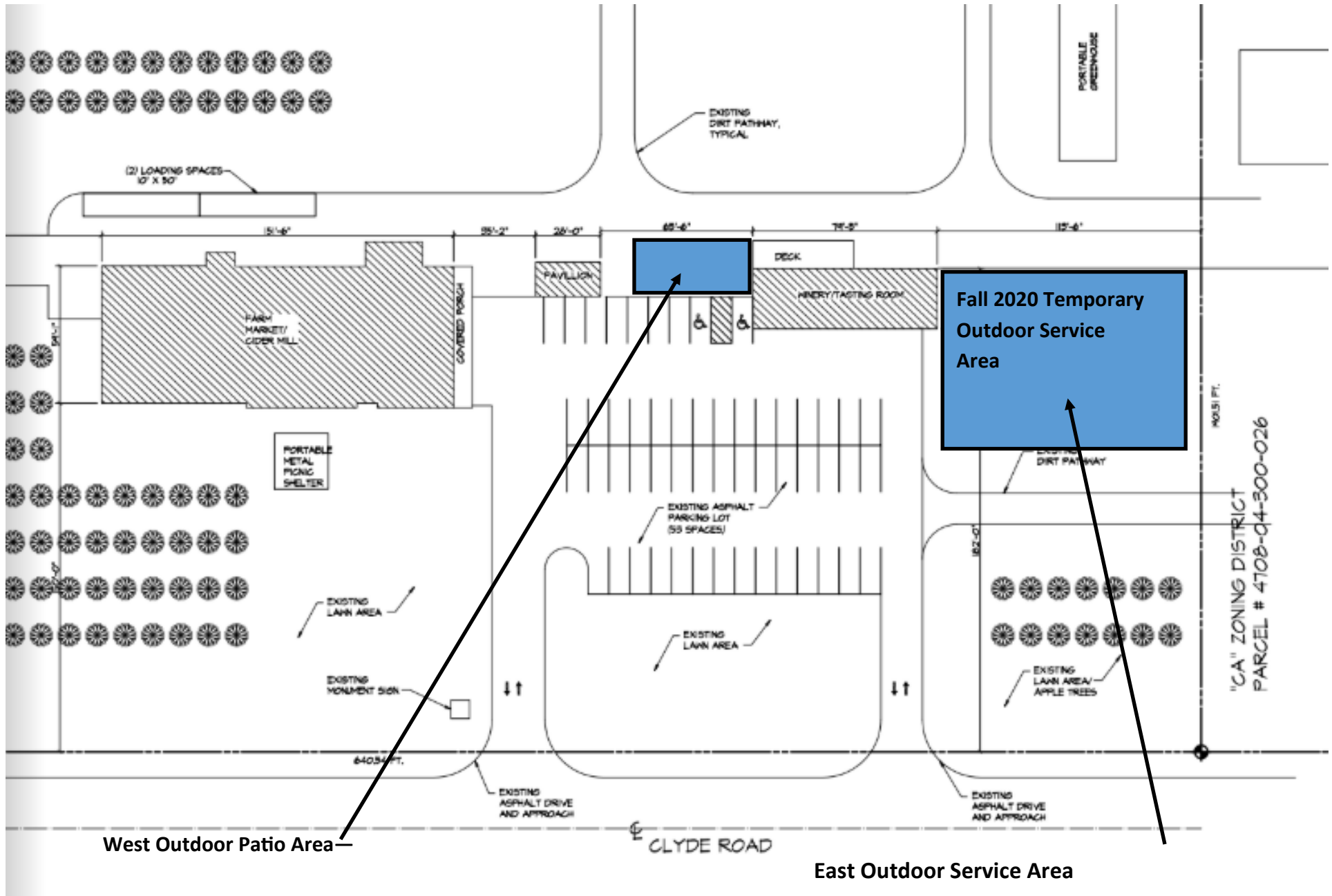
Open Thursday to Sunday 9am to 8pm or 9pm

Farm Activities Include:

Santa's Sleigh Workshop & Precut Christmas Tree Farm Opens

### **Winery**

Same as November



Fall 2020 Temporary  
Outdoor Service  
Area

West Outdoor Patio Area

East Outdoor Service Area

"CA" ZONING DISTRICT  
PARCEL # 4708-04-300-026

## Explanation of Outdoor Service Areas:

In the spring of 2020 we began the process of planning for a permanent outdoor service area adjacent to the winery. We have been licensed for one for many years but the licensed area was adjacent to the old winery location in the farm market and when we moved the winery to the new building we did not have the finances to fund the creation of a new outdoor area. We finally had saved enough money to apply and have to moved to be adjacent to the new winery building. We applied in July and were approved to move the ar-  
ea. It has been inspected and approved by MLCC.

In the summer of 2020 MLCC offered a “2020 Limited Permanent Outdoor Service Area Permit” to help combat the spread of Covid19 by moving operations as outdoor as possible. We applied and were approved for this additional space.

In the Fall of 2020 MLCC offered a “2020 Limited Permanent Outdoor Service Area Permission Conversion Permit”. We applied and were approved for this permit.

Our purpose and goal for taking these measures is to go above and beyond in complying first with the Governors Executive Orders and now with the orders from the State and Local Health department to combat the spread of the Coronavirus pandemic. Our purpose has always been to spread people out as much as possible and to keep everyone outdoors as much as possible. We feel that the measures taken have been very successful and discovered that our operation worked more smoothly with these new measures in place. We plan to keep many of these new ideas moving forward.

As part of this process we have worked with Mr. Langer and Jenn Whitbeck from the Fire Department. We have appreciated the advice and guidance from the Fire Department. We have met with Ms. Whitbeck on three occasions and have made updates and changes based on her extensive knowledge. We have been inspected by MLCC. We have been inspected by MDARD. We have been visited by the Livingston County Health Department as part their routine inspection of food vendors. We have passed inspections. All have been positive and supportive of our plans.



105 x 60

West Patio Service Area

14 x 35

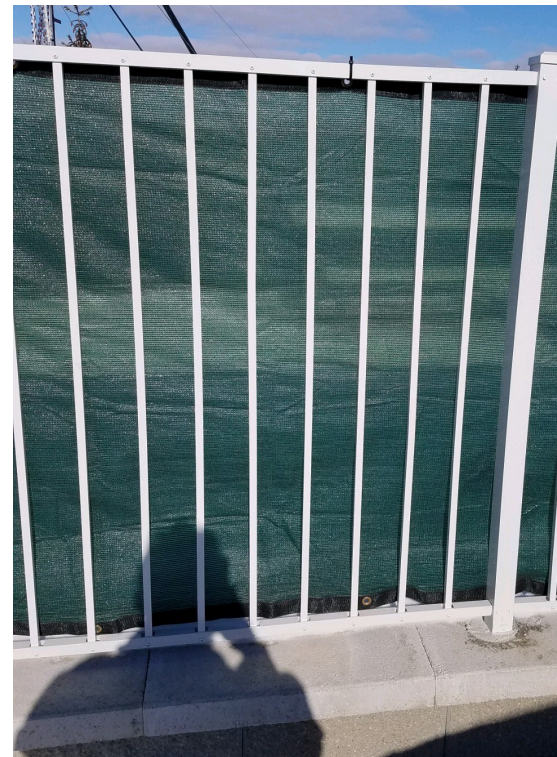
West Patio Service Area

35 ft

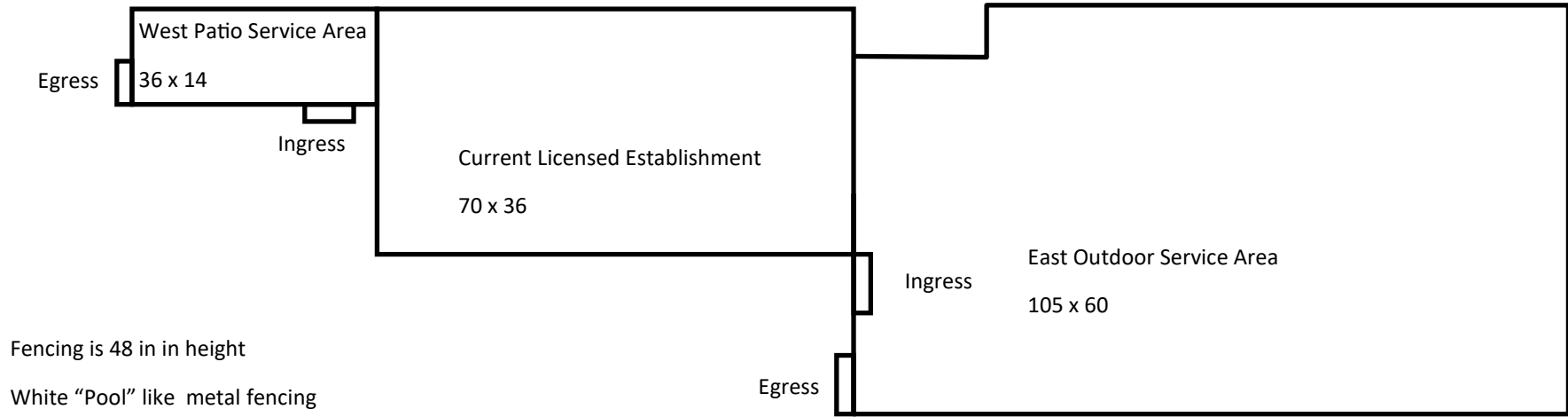
14 ft



We fenced in a small area east of the winery between the parking lot and paved walking path. Due to social distancing requirement there are currently 3 tables 10 feet apart. In the future 6-10 picnic tables can fit in this area depending on the size of the table. The fencing is white metal fencing similar to what you would see around a pool. It currently has a green wind screen to help block a little bit of wind during cold weather. The fence is 48" tall. Wood Chip footing is currently in use.



Scaled Drawing

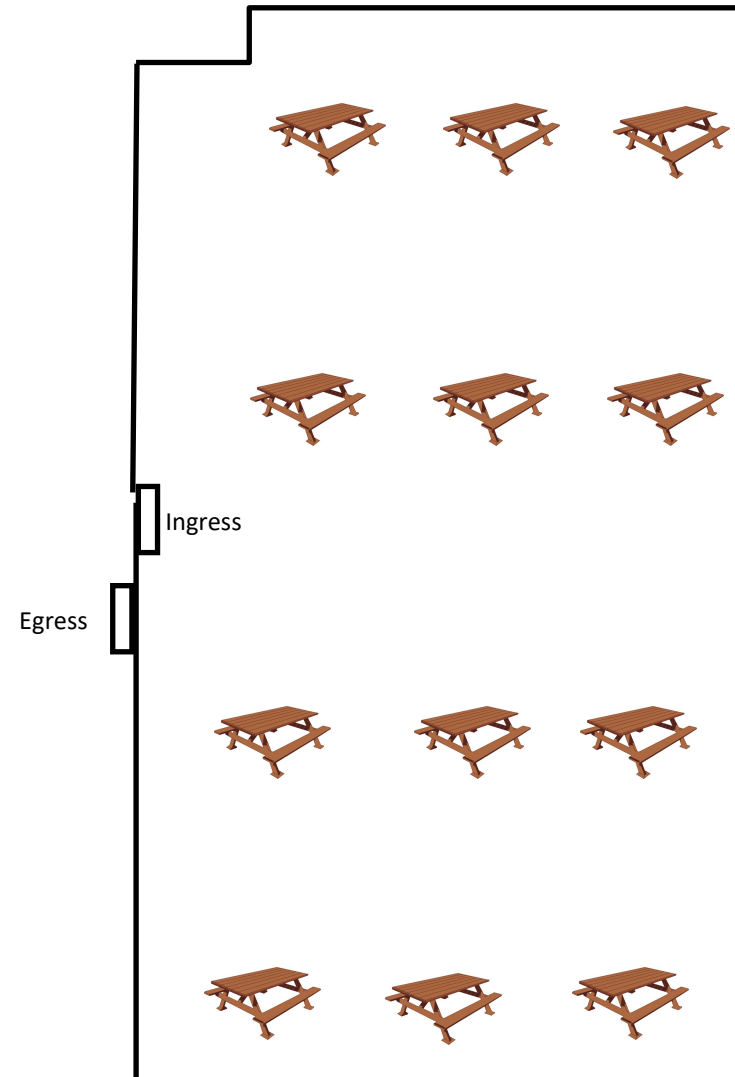


Fencing is 42 in in height

Wood split rail fencing,

## East Outdoor Service Area

This service area is directly adjacent on the east side of the winery in open field. Fencing is like the fencing shown in this picture below, which is split rail wood fencing. It is 42" high. Footing is grass or gravel. Part of the fencing is permanent and part of it is temporary.



In both outdoor areas we are currently using plastic picnic tables. Some are 6ft length, but most are 8 ft length. We do still have some older wooden picnic tables in use.

During the summer we used both umbrellas and pop up tents to provide shade. During the pandemic we had to use what we could get at that time because of shortages. We try to get red to match the décor of the farm, but we have a few blue because that is all that was available at the time.







105 x 60

West Patio Service Area

14 x 35

West Patio Service Area

35 ft

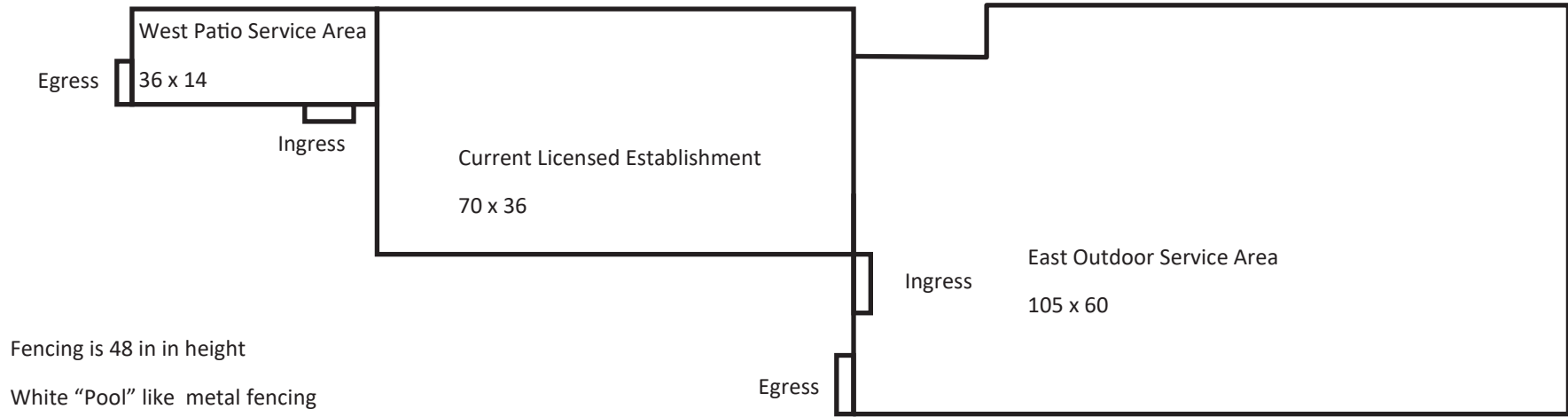
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Scaled Drawing

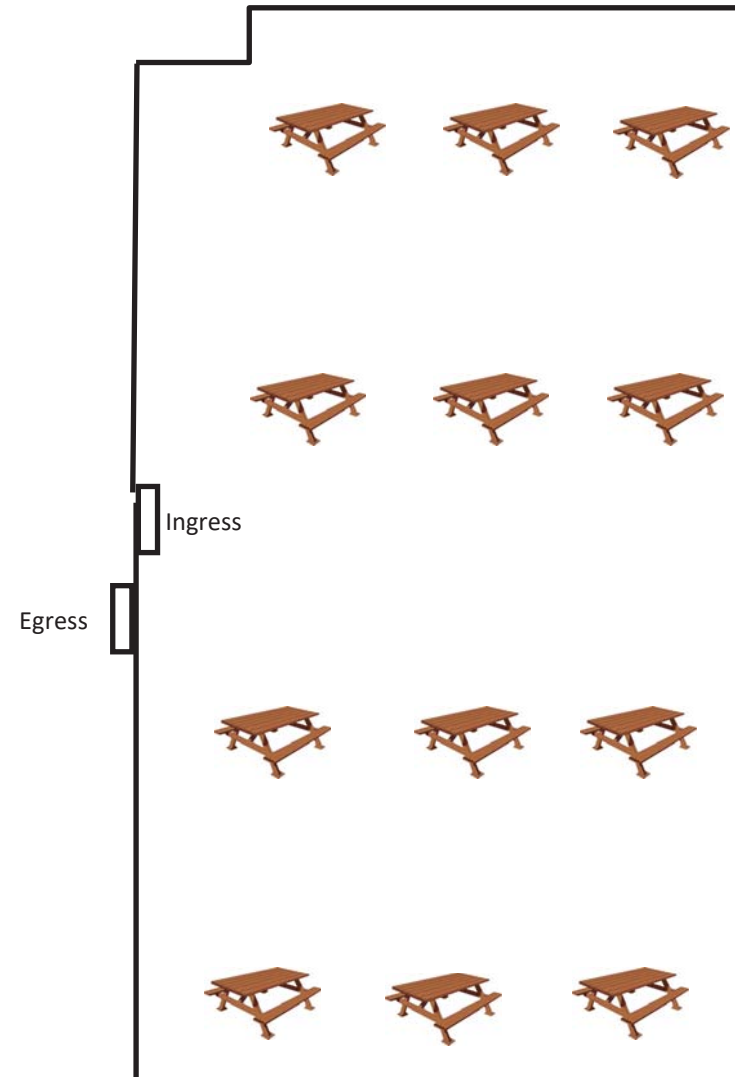


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# STATE OF MICHIGAN - LIQUOR CONTROL COMMISSION

This is to certify that a License is hereby granted to the person(s) named with the stipulation that the licensee is in compliance with Commission Rule R 436.1003, which states that a licensee shall comply with all state and local building, plumbing, zoning sanitation, and health laws, rules, and ordinances as determined by the state and local law enforcement officials who have jurisdiction over the licensee. Issuance of this license by the Michigan Liquor Control Commission does not waive this requirement. The licensee must obtain all other required state and local licenses, permits, and approvals for this business before using this license for the sale of alcoholic liquor on the licensed premises.

Department of Licensing  
and Regulatory Affairs

This License is granted in accordance with the provisions of Act 58 of the Public Acts of 1998 and shall continue in force for the period designated unless suspended, revoked, or declared null and void by the Michigan Liquor Control Commission. Failure to comply with all laws and rules may result in the revocation of this license.

**THIS LICENSE SUPERSEDES ANY AND ALL OTHER LICENSES ISSUED PRIOR TO JULY 23, 2020**

**BUSINESS ID: 215684**

**FILE NUMBER: L215684**

**SPICER'S ORCHARD WINERY, LLC  
D/B/A SPICER'S ORCHARD WINERY**

10411 CLYDE RD,  
FENTON, MI 48430-9582

LIVINGSTON COUNTY  
L-265  
HARTLAND TWP

LICENSE #      LICENSE:  
L-000180100      Small Wine Maker

ACT:

L-000417937      On-Premises Tasting Room Permit

L-000435770      Direct Shipper

TOTAL BARS:  
DIRECT-CONNECTIONS: 3

OUTDOOR SERVICE AREA: 1  
PASSENGERS:

ROOMS:

PERMIT  
Direct Connection(3), Outdoor Service Area(1), Sunday Sales (AM)

IN WITNESS WHEREOF,  
this License has been duly signed  
and sealed by both the Michigan  
Liquor Control Commission and the  
Licensee(s).

LIQUOR CONTROL COMMISSION

*Pat Aguirre*  
*Demetrius*  
*Geraldyn A. Hasler*  
*Ed Clout*  
*B. C. Johnson*

LICENSEE(S) SIGNATURE(S)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**2020**  
**2021**

**LICENSE EFFECTIVE MAY 1, 2020 - EXPIRES APRIL 30, 2021**

SPICER'S ORCHARD WINERY, LLC  
SPICER'S ORCHARD WINERY

10411 CLYDE RD,  
FENTON, MI 48430-9582







# STATE OF MICHIGAN - LIQUOR CONTROL COMMISSION

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**THIS LICENSE SUPERSEDES ANY AND ALL OTHER LICENSES ISSUED PRIOR TO OCTOBER 29, 2020**

**BUSINESS ID: 215684**

**FILE NUMBER: L215684**

**SPICER'S ORCHARD WINERY, LLC  
D/B/A SPICER'S ORCHARD WINERY**

IN WITNESS WHEREOF,  
this License has been duly signed  
and sealed by both the Michigan  
Liquor Control Commission and the  
Licensee(s).

10411 CLYDE RD,  
FENTON, MI 48430-9582

LIVINGSTON COUNTY  
L-265  
HARTLAND TWP

LIQUOR CONTROL COMMISSION

LICENSE # LICENSE:  
L-000180100 Small Wine Maker

ACT:

L-000417937 On-Premises Tasting Room Permit

L-000435770 Direct Shipper

TOTAL BARS: 0  
DIRECT-CONNECTIONS: 3

OUTDOOR SERVICE AREA: 2  
PASSENGERS:

ROOMS:

*Pat Aguirre*  
*Demetrius*  
*Geraldyn A. Hasler*  
*Ed Clout*  
*B. Clout*

LICENSEE(S) SIGNATURE(S)

PERMIT  
Direct Connection(3), Outdoor Service Area(1), Sunday Sales (AM), Outdoor Service Area(1)

**2020**  
**2021**

**LICENSE EFFECTIVE MAY 1, 2020 - EXPIRES APRIL 30, 2021**

SPICER'S ORCHARD WINERY, LLC  
SPICER'S ORCHARD WINERY

10411 CLYDE RD,  
FENTON, MI 48430-9582



STATE OF MICHIGAN

DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS  
LIQUOR CONTROL COMMISSION

\* \* \* \* \*

In the matter of the request of )  
**SPICER’S ORCHARD WINERY, LLC** )  
10411 Clyde Rd )  
Fenton, MI 48430-9582 )  
 )  
Hartland Township )  
Livingston County )

Request ID No. 2007-09465

At the July 23, 2020 meeting of the Michigan Liquor Control Commission in  
Lansing, Michigan.

PRESENT: Pat Gagliardi, Chair  
Dennis Olshove, Commissioner  
Geraldyn A. Lasher, Commissioner

**OUTDOOR SERVICE PERMISSION APPROVAL ORDER**

Spicer’s Orchard Winery, LLC (“licensee”) has filed an application for authorization for the outdoor sale, service, and consumption of alcoholic beverages in an area measuring up to 14’ x 36’ located directly adjacent to the licensed premises and which is well-defined and clearly marked.

Article IV, Section 40, of the Michigan Constitution (1963), permits the legislature to establish a Liquor Control Commission, which shall exercise complete control of the alcoholic beverage traffic within this state, including the retail sales thereof, subject to statutory limitations. MCL 436.1201(2) provides the Commission with the sole right, power, and duty to control the alcoholic beverage traffic and traffic in other alcoholic liquor within this state, including the manufacture, importation, possession, transportation and sale thereof.

Commission records reflect the licensee is the holder of 2020 Small Wine Maker license with On-Premises Tasting Room Permit, (3) Direct Connections, Sunday Sales Permit (A.M.), and Outdoor Service (1 Area), located at the above noted address.

The requirements for outdoor service pursuant to rule R 436.1419(1) are that the licensee shall not have outdoor service without the prior written approval of the Commission, and that the on-premises licensee shall ensure that the area is well-defined and clearly marked and they shall not sell or allow the consumption of alcoholic liquor outdoors, except in the defined area.

After reviewing the file and discussion of the issues at the meeting, the Commission finds that all the requirements have been met and this request should be approved.

THEREFORE, IT IS ORDERED that:

- A. Approval and completion of this request is subject to receipt of the following:
  1. **Final inspection by Enforcement to determine the Outdoor Service area has been constructed as proposed and is well-defined and clearly marked.**
- B. The licensee's request for authorization for the outdoor sale, service, and consumption of alcoholic beverages in an area measuring up to 14' x 36' located directly adjacent to the licensed premises, and which is well-defined and clearly marked is APPROVED subject to the following:
  1. The outdoor service area approved by the Commission is part of the licensed premises and the licensee must comply with all requirements of the Michigan Liquor Control Code and administrative rules in relation to the approved outdoor service area.
  2. The licensee will not permit the sale, service, or consumption of alcoholic liquor outdoors, except in the well-defined and clearly marked area pursuant to the provisions of administrative rule R 436.1419(1) and (2).
  3. The licensee shall take all necessary actions to ensure the health, safety and welfare of all patrons and guests.

4. The licensee shall not allow alcoholic beverages purchased for consumption in this proposed Outdoor Service area to be removed from and taken to any adjacent unlicensed area(s).
  5. The licensee is prohibited from allowing the sale, service, possession or consumption of alcoholic beverages in any portion of the approved outdoor service area designated for the playing of sporting activities or for sporting events, including any break or intermission.
- C. Pursuant to administrative rule R 436.1050, this approval is valid for two (2) years from the date of this approval order unless the Commission has been provided with a notice of pending litigation involving the application.
  - D. The licensee has a continuing duty to provide the commission with up-to-date contact information and must notify the Commission in writing of any changes to its mailing address, phone numbers, electronic mail address, and other contact information it provides the Commission, pursuant to administrative rule R 436.1048(2).
  - E. Under administrative rule R 436.1003(1), the licensee shall comply with all state and local building, plumbing, zoning, sanitation, and health laws, rules, and ordinances as determined by the state and local law enforcement officials who have jurisdiction over the licensee. Under administrative rule R 436.1003(2), a licensee shall not use a license at the licensed premises unless a temporary or permanent certificate of occupancy has been issued by the local unit of government having jurisdiction over the location of the licensed premises or the licensed premises complies with administrative rule R 436.1003(1). Approval by the Michigan Liquor Control Commission does not waive these requirements. The licensee must obtain all other required state and local licenses, permits, and approvals before opening the business for operation.
  - F. Failure to comply with all laws and rules may result in the revocation of the approval contained in this order.

MICHIGAN LIQUOR CONTROL COMMISSION



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Pat Gagliardi, Chair



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Dennis Olshove, Commissioner



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GERALYN A. LASHER, Commissioner

J2

Date Mailed:



STATE OF MICHIGAN

DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS  
LIQUOR CONTROL COMMISSION

\* \* \* \* \*

In the matter of the request of )  
**SPICER’S ORCHARD WINERY, LLC** )  
10411 Clyde Rd )  
Fenton, MI 48430-9582 )  
 )  
Livingston County )

Request ID No. 2010-14442

At the October 29, 2020 meeting of the Michigan Liquor Control Commission in Lansing, Michigan.

PRESENT: Pat Gagliardi, Chair  
Dennis Olshove, Commissioner  
Geraldyn A. Lasher, Commissioner

**OUTDOOR SERVICE PERMISSION APPROVAL ORDER**

Spicer’s Orchard Winery, LLC (“licensee”) has filed an application to request for authorization for the outdoor sale, service, and consumption of alcoholic beverages in an area measuring up to 105’ x 60’, located directly adjacent to the licensed premises, and which is well-defined and clearly marked; request to cancel the Limited Permanent Outdoor Service Area.

Article IV, Section 40, of the Michigan Constitution (1963), permits the legislature to establish a Liquor Control Commission, which shall exercise complete control of the alcoholic beverage traffic within this state, including the retail sales thereof, subject to statutory limitations. MCL 436.1201(2) provides the Commission with the sole right, power, and duty to control the alcoholic beverage traffic and traffic in other alcoholic liquor within this state, including the manufacture, importation, possession, transportation and sale thereof.

Commission records reflect that the licensee is the holder of 2020 Small Wine Maker and Direct Shipper licenses with (3) Direct Connections, Sunday Sales Permit (A.M.), and Outdoor Service (1 Area) located at the above noted address.

The requirements for outdoor service pursuant to rule R 436.1419(1) are that the licensee shall not have outdoor service without the prior written approval of the Commission, and that the on-premises licensee shall ensure that the area is well-defined and clearly marked and they shall not sell or allow the consumption of alcoholic liquor outdoors, except in the defined area.

The applicant is authorized to do business in Michigan, as required under MCL 436.1535 for licensure.

The Commission finds that it has considered the provisions as required in administrative rule R 436.1105 in the consideration of this request.

After reviewing the file and discussion of the issues at the meeting, the Commission finds that all the requirements have been met and this request should be approved.

THEREFORE, IT IS ORDERED that:

- A. The licensee's request for authorization for the outdoor sale, service, and consumption of alcoholic beverages in an area measuring up to 105' x 60', located directly adjacent to the licensed premises, and which is well-defined and clearly marked, is APPROVED subject to the following:
  1. **The outdoor service area must comply with all requirements, including but not limited to, reduced occupancy and social distancing requirements under any current Executive Order, any local health department orders, and any local ordinances related to the Coronavirus (Covid-19) pandemic.**
  2. The licensee shall notify the Commission in writing, and receive Commission approval, prior to making any changes to the size of the approved outdoor service area.



3. The outdoor service area approved by the Commission is part of the licensed premises and the licensee must comply with all requirements of the Michigan Liquor Control Code and administrative rules in relation to the approved outdoor service area.
  4. The licensee will not permit the sale, service, or consumption of alcoholic liquor outdoors, except in the well-defined and clearly marked area pursuant to the provisions of administrative rule R 436.1419(1).
  5. The licensee must not allow alcoholic beverages purchased for consumption in the outdoor service area approved in this order to be removed from and taken to any adjacent unlicensed area(s).
  6. The licensee is prohibited from allowing the sale, service, possession or consumption of alcoholic beverages in any portion of the approved outdoor service area designated for the playing of sporting activities or for sporting events, including any break or intermission.
  7. The licensee must not allow alcoholic beverages purchased for consumption in the outdoor service area approved in this order to be taken into any area(s) that is being used for parking where sale, service, and consumption of alcoholic beverages is prohibited.
  8. The licensee must take all necessary actions to ensure the health, safety and welfare of all patrons and guests.
- B. The licensee has a continuing duty to provide the Commission with up-to-date contact information and must notify the Commission in writing of any changes to its mailing address, phone numbers, electronic mail address, and other contact information it provides the Commission, pursuant to administrative rule R 436.1048(2).
- C. Under administrative rule R 436.1003(1), the licensee shall comply with all state and local building, plumbing, zoning, sanitation, and health laws, rules, and ordinances as determined by the state and local law enforcement officials who have jurisdiction over the licensee. Under administrative rule R 436.1003(2), a licensee shall not use a license at the licensed premises unless a temporary or

- permanent certificate of occupancy has been issued by the local unit of government having jurisdiction over the location of the licensed premises or the licensed premises complies with administrative rule R 436.1003(1). Approval by the Michigan Liquor Control Commission does not waive these requirements. The licensee must obtain all other required state and local licenses, permits, and approvals before opening the business for operation.
- D. Failure to comply with all laws and rules may result in the revocation of the approval contained in this order.

MICHIGAN LIQUOR CONTROL COMMISSION



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Pat Gagliardi, Chair



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Dennis Olshove, Commissioner



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GERALYN A. Lasher, Commissioner

J2

Date Mailed: October 29, 2020

# SPICER ORCHARDS FARM MARKET, LLC

## "AS-BUILT" DRAWINGS- WINERY BUILDING

10411 CLYDE ROAD, FENTON, MI 48430

### CODE REVIEW/BUILDING DATA

PROJECT SCOPE IS TO PREPARE "AS-BUILT" DRAWINGS OF WINERY/TASTING ROOM BUILDING RENOVATIONS IN EXISTING STORAGE BUILDING.

APPLICABLE CODES:  
 MICHIGAN BUILDING CODE- 2015  
 MICHIGAN REHABILITATION CODE- 2015  
 ACCESSIBILITY: ICC/ANSI A117.1-2009  
 MICHIGAN MECHANICAL CODE- 2015  
 MICHIGAN PLUMBING CODE- 2015  
 STATE OF MICHIGAN ELECTRICAL CODE (NEC-2017) W/ PART 8 AMENDMENTS

1. USE GROUP:  
 B: BUSINESS, (RESTAURANT W/ LESS THAN 50 OCCUPANTS)  
 M: MERCANTILE (MARKET)  
 F-2: LOW-HAZARD FACTORY INDUSTRIAL, (WINERY)  
 S-2: LOW-HAZARD STORAGE, (FOOD PRODUCTS)

2. TYPE OF CONSTRUCTION:  
 A) TYPE "VB" (5B), COMBUSTIBLE/ UNPROTECTED

3. HEIGHT AND AREA LIMITATIONS (TABLE 506.2):  
 WORST CASE IS B OCCUPANCY CLASSIFICATION, TYPE "VB", = 9,000 SQ. FT.  
 FRONTAGE INCREASE (SEC. 506.3)  
 9,000 SQ. FT. + 75% = 15,750 SQ. FT. ALLOWED  
 EXISTING WINERY BUILDING: 2,018 SQ. FT.

4. OCCUPANT LOAD (TABLE 1004.1.2):  
 MERCANTILE AREAS= 60 SQ. FT.(GROSS)/PER OCCUPANT  
 KITCHEN/MANUFACTURING AREAS= 200 SQ. FT.(GROSS)/PER OCCUPANT  
 STORAGE/STOCK AREAS= 300 SQ. FT.(GROSS)/PER OCCUPANT  
 DINING AREAS= 15 SQ. FT.(NET)/PER OCCUPANT  
 MERCANTILE AREAS= 528 /60 SQ. FT.(GROSS)= 9 OCC.  
 KITCHEN/MANUFACTURING AREAS= 920/200 SQ. FT.(GROSS)= 5 OCC.  
 STORAGE/STOCK AREAS= 170/300 SQ. FT.(GROSS)= 1 OCC.  
 DINING AREAS= SEATING= 16 OCC.  
 DECK/PORCH DINING AREAS= SEATING= 14 OCC.  
 TOTAL OCCUPANCY: 45 PERSONS

5. AUTOMATIC SPRINKLER SYSTEMS (SECTION 903.2):  
 AN AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED FOR "M", "F-1" AND "S-2" FIRE AREAS THAT DO NOT EXCEED 12,000 SQ.FT. THE EXISTING BUILDING DOES NOT CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM.

6. SEPARATION FROM OTHER USES, (MEC TABLE 508.3.3)  
 A) NO SEPERATION REQUIRED

7. MINIMUM NUMBER OF EXITS AND CONTINUITY (SECTION 1006.2.1):  
 TWO EXITS REQUIRED FROM MERCANTILE OCCUPANCY WHEN MAX. OCCUPANTS EXCEEDS 49 OR MAXIMUM TRAVEL DISTANCE EXCEEDS 75 FEET. MINIMUM ONE EXIT REQUIRED/ TWO EXITS PROVIDED.

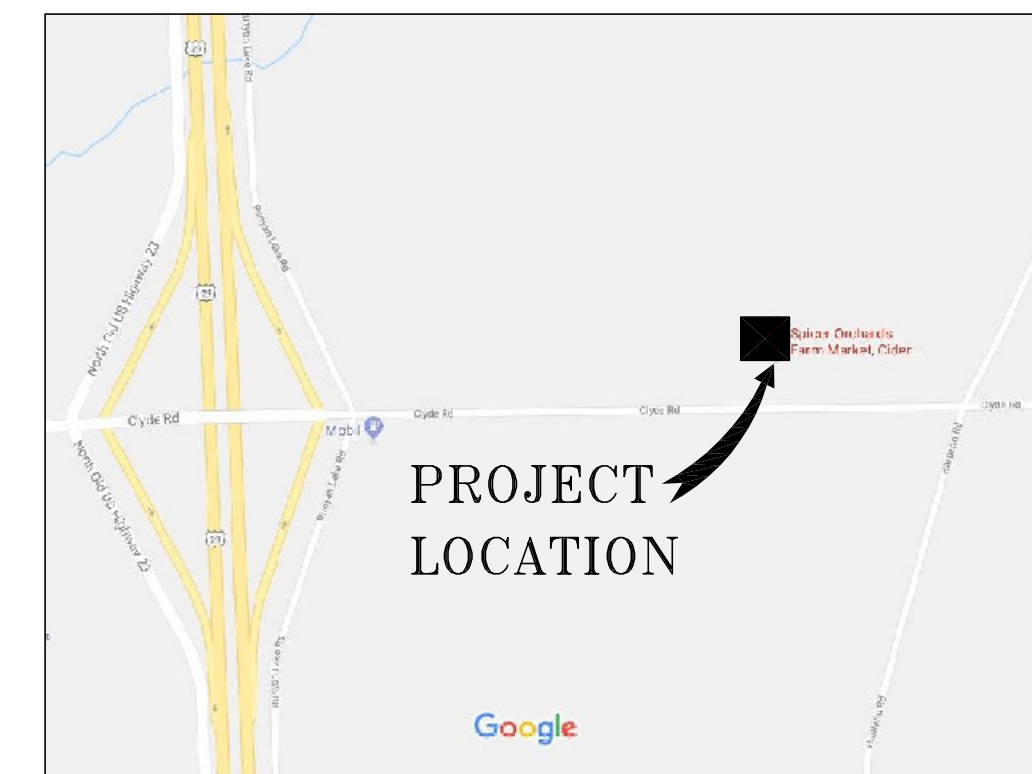
8. EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2)  
 A) "M" AND "F-1" USE: NO SPRINKLER= MAX. 200 FEET
9. CORRIDORS, DEAD-ENDS (SECTION 1020.4):  
 DEAD-END CORRIDOR LENGTHS SHALL BE NO MORE THAN 20 FEET.
10. DOOR SWING (SECTION 1010.1.2):  
 DOORS SHALL SWING IN THE DIRECTION OF EGRESS WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS.
11. DOORS (SECTION 1010.1.1):  
 DOORS SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES. EGRESS DOORS SHALL BE OF THE PIVOTED OR SIDE-HINGED SWINGING TYPE, EXCEPT IN OFFICE AREAS WITH AN OCCUPANT LOAD OF 10 OR LESS, (SEC. 1008.1.2, EXCEPTION 1).
12. DOOR HARDWARE (SECTION 1010.1.10):  
 EACH MEANS OF EGRESS DOOR IN AREAS HAVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS SHALL BE EQUIPPED WITH PANIC HARDWARE.
13. TWO EXITS OR EXIT ACCESS DOORWAYS, SECTION 1015.2.1:  
 WHERE A BUILDING IS NOT EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THROUGHOUT, THE SEPARATION DISTANCE OF THE EXIT DOORS SHALL NOT BE LESS THAN ONE-HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL OF THE AREA SERVED.
14. MEANS OF EGRESS DOORS (SECTION 1008):  
 THE MEANS OF EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. HARDWARE INCLUDING DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ARE REQUIRED TO BE ACCESSIBLE PER CHAPTER 11 OF THE BUILDING CODE AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
15. MEANS OF EGRESS ILLUMINATION (SECTION 1008):  
 THE MEANS OF EGRESS SHALL BE ILLUMINATED AT ALL TIMES THE SPACE IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.
16. EXIT SIGNS (SECTION 1013):  
 EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.
17. PORTABLE FIRE EXTINGUISHERS, (SECTION 906.1):  
 a) THE CONTRACTOR SHALL PROVIDE A TEMPORARY PORTABLE FIRE EXTINGUISHER ON THE PREMISES OF THE PROJECT DURING CONSTRUCTION.  
 b) PROVIDE A PERMANENT PORTABLE FIRE EXTINGUISHER MEETING REQUIREMENTS FOR LIGHT (LOW) HAZARD, CLASS A FIRES. MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER IS 75 FEET.

18. GLASS AND GLAZING (CHAPTER 24):  
 ALL INTERIOR GLAZING SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 2401 THROUGH 2407.
19. ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808.  
 a) WALL AND CEILING FINISHES (TABLE 803.1), NONSPRINKLED ROOMS OR SPACES OF USE GROUP MFS, SHALL HAVE A MINIMUM CLASS G RATING. FLAME SPREAD 76-200, SMOKE DEVELOPED 0-450. CORRIDORS SHALL HAVE A MINIMUM CLASS G RATING: FLAME SPREAD 76-200, SMOKE DEVELOPED 0-450.  
 b) INTERIOR FLOOR FINISHES (SECTION 804.4), IN ALL OCCUPANCIES INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS SHALL BE CLASS I (ONE) OR II (TWO) MATERIALS AND IN ACCORDANCE WITH NFPA 253, AND COMPLY WITH DOG FF-1 "FILL TEST".
20. FIRE ALARM AND DETECTION SYSTEM SHALL BE PROVIDED AS REQUIRED PER SECTION 907 OF THE CODE. THE OCCUPANT LOADS DO NOT EXCEED THE NUMBER ALLOWED FOR F-2, S-2, OR M USES, THEREFORE NOT REQUIRED.
21. SERVICE COUNTER SHALL HAVE A PORTION A MINIMUM OF 36" WIDE AND MAX. 36" HIGH FOR BARRIER-FREE ACCESS.
22. MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (2015 MPC, TABLE 403.1):  
 M, MERCANTILE (MARKET)  
 WATER CLOSETS: MALE AND FEMALE; 1 PER 500  
 LAVATORIES: MALE AND FEMALE; 1 PER 750  
 BATH/SHOWER: N/A  
 DRINKING FOUNTAIN: 1 PER 1,000  
 (1) SERVICE SINK
23. SEPERATE PLUMBING FACILITIES, (MPC, SECTION 403.2):  
 EXCEPTION #2: SEPERATE EMPLOYEE FACILITIES ARE NOT REQUIRED IN OCCUPANCIES IN WHICH FEWER THAN 15 PEOPLE ARE EMPLOYED.
24. STAIR TREADS AND RISERS (SECTION 1011.5.2):  
 STAIR RISER HEIGHTS SHALL BE MAX. 7" AND MIN. 4".  
 TREAD DEPTH SHALL BE MIN. 11"
25. HANDRAILS (SECTION 1014):  
 HANDRAIL HEIGHT SHALL BE NOT LESS THAN 34 INCHES, AND NOT MORE THAN 38 INCHES. HANDRAILS SHALL EXTEND 12 INCHES HORIZONTALLY ABOVE THE TOP AND BOTTOM OF A RAMP. HANDRAILS SHALL EXTEND 12 INCHES HORIZONTALLY ABOVE THE TOP STAIR RISER, AND CONTINUE TO SLOPE FOR ONE TREAD BEYOND THE BOTTOM RISER.
26. GUARDS (SECTION 1015):  
 GUARDS REQUIRED ALONG EDGE OF MEZZANINES, STAIRS, AND RAMPS SHALL BE A MINIMUM OF 42 INCHES HIGH ABOVE THE ADJACENT WALKING SURFACE.
27. AN ACCESSIBLE ROUTE IS NOT REQUIRED TO LEVELS AND MEZZANINES THAT HAVE AN AGGREGATE AREA OF NOT MORE THAN 3,000 SQ.FT. (SECTION 1104.4, EXCEPTION 1)

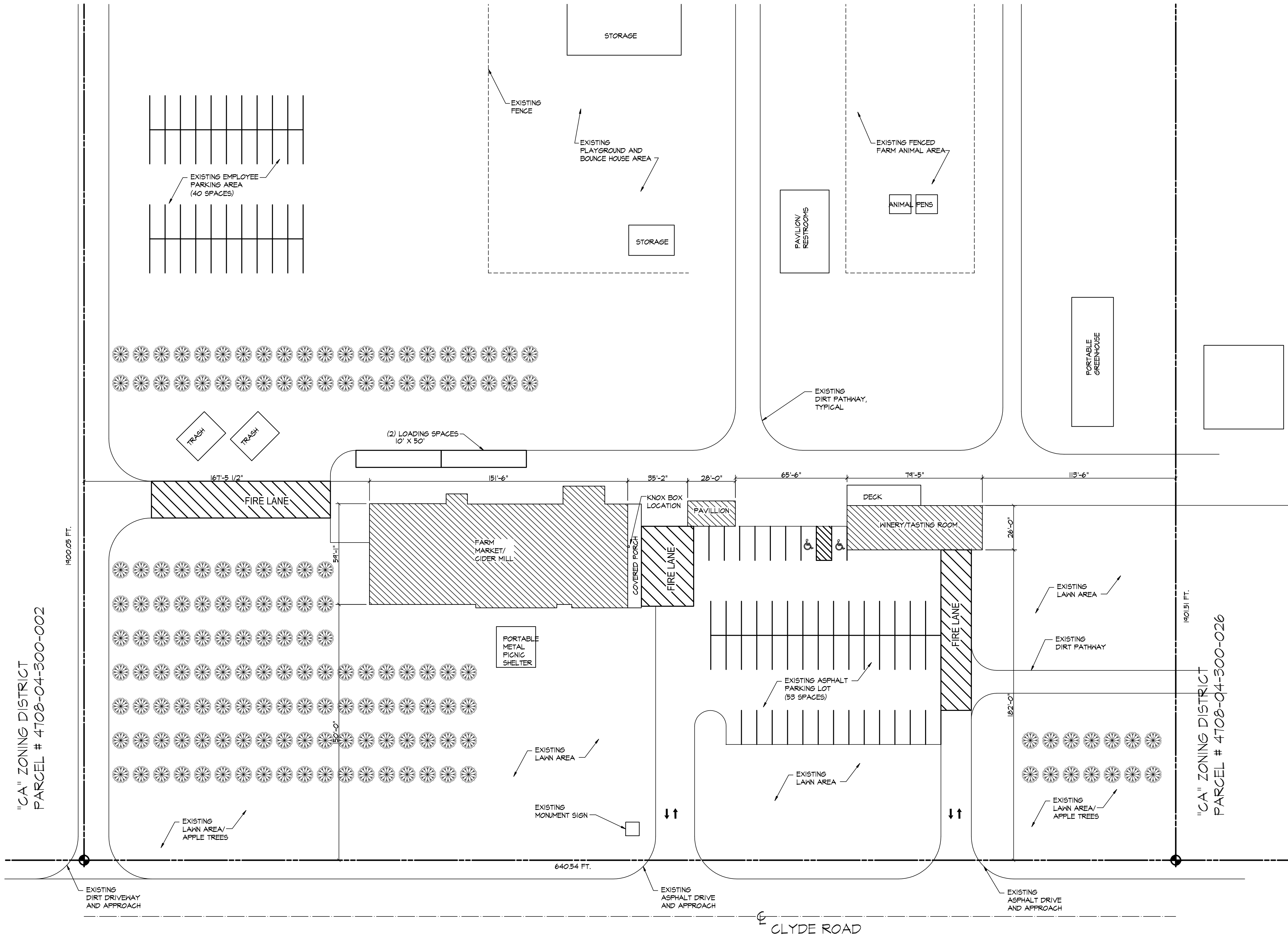
### SCHEDULE OF DRAWINGS

A	COVER/TITLE SHEET	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C1	SITE PLAN AND NOTES	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A1	FLOOR PLAN AND NOTES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A2	EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A3	EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4	DOOR AND ROOM FINISH SCHEDULES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
M1	MECHANICAL PLAN AND NOTES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
P1	PLUMBING PLAN AND NOTES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
E1	ELECTRICAL NOTES AND SCHEDULES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
E2	LIGHTING PLAN AND NOTES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
E3	POWER PLAN AND NOTES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

ISS. FOR REVIEW  
 3-26-2018  
 REVISION #1  
 4-20-2018



REVISIONS	
<input checked="" type="checkbox"/>	4-20-2018
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
JOB NO:	018-010
DATE:	2-18-2018
DRAWN BY:	JKC
SCALE:	AS NOTED
SHEET NO:	



**PROJECT INFORMATION**

OWNER REF/ CONTACT: ALAN R. & WANDA M. SPICER  
 5015 HARTLAND ROAD  
 FENTON, MI 48430  
 SHANNON ROWE  
 PHONE: (810) 632-7642

ZONING: "CA", CONSERVATION AGRICULTURAL  
 "SLU", SPECIAL LAND USE- FARM MARKET, CIDER MILL,  
 AND YOU-PICK OPERATIONS ON A FARM

PARCEL#: 4708-04-300-003

REQUIRED SETBACKS: FRONT YARD, 50 FT.  
 REAR YARD, 50 FT,  
 SIDE YARD, 15 FT.

PARKING REQUIREMENTS: CLUSTERED COMMERCIAL: 1 SPACE/ 200 SQ FT USEABLE  
 1 SPACE PER EACH EMPLOYEE ON MAXIMUM WORKING SHIFT

FARM MARKET: 5,442 SF (USEABLE)/200= 28 SPACES REQUIRED  
 WINERY: 2,012 SQ.FT. (USEABLE)/200= 10 SPACES REQUIRED  
 40 EMPLOYEES ON MAX. SHIFT= 40 SPACES REQUIRED

TOTAL REQUIRED SPACES= 18 SPACES  
 TOTAL PROVIDED SPACES= 43 SPACES

BARRIER-FREE: 2 SPACE REQUIRED/ 2 SPACE PROVIDED

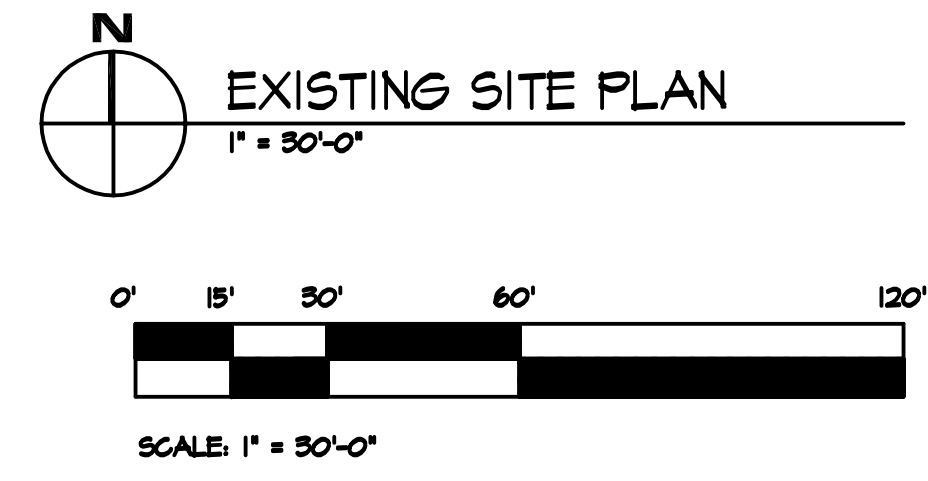
LOADING/UNLOADING: 2 SPACE REQUIRED/2 SPACE PROVIDED

**LEGAL DESCRIPTION**

SEC. 4T3N R6E, EAST 1/2 OF SOUTHWEST 1/4 CORNER, EXCEPT THE NORTH 161 FEET, CONTAINING 28.5 ACRES.

"CA" ZONING DISTRICT  
 PARCEL # 4708-04-300-002

"CA" ZONING DISTRICT  
 PARCEL # 4708-04-300-026



**JOHN K. COSTA, AIA**  
 ARCHITECTURAL DESIGN  
 & CONSULTATION, PLLC  
 417 O.P.A.L.L.L. DRIVE  
 FLUSHING, MICHIGAN 48433  
 810-659-5275 FAX 810-659-5399

AS-BUILT DRAWINGS FOR  
**SPICER ORCHARDS**  
 FARM MARKET & CIDER MILL  
 7041 CLYDE RD., FENTON, MI 48430

**EXISTING SITE PLAN  
 AND NOTES**

REVISIONS	
▲	4-20-2018
▲	
▲	

JOB NO: 018-005  
 DATE: 2-18-2018  
 DRAWN BY: JKC  
 SCALE: AS NOTED  
 SHEET NO:

C1

REVISIONS


JOB NO: 018-010

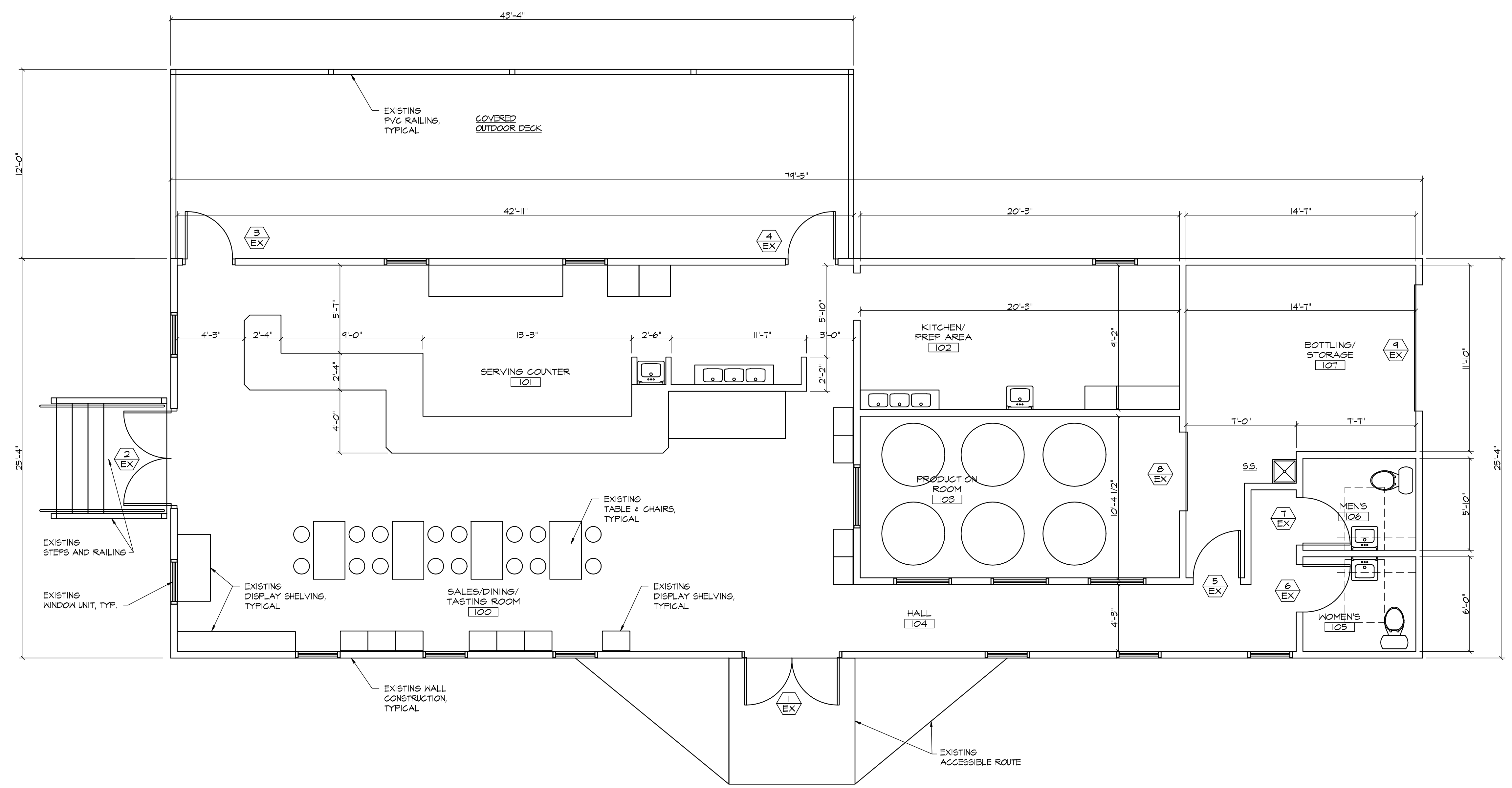
DATE: 2-18-2018

DRAWN BY: JKC

SCALE: AS NOTED

SHEET NO:

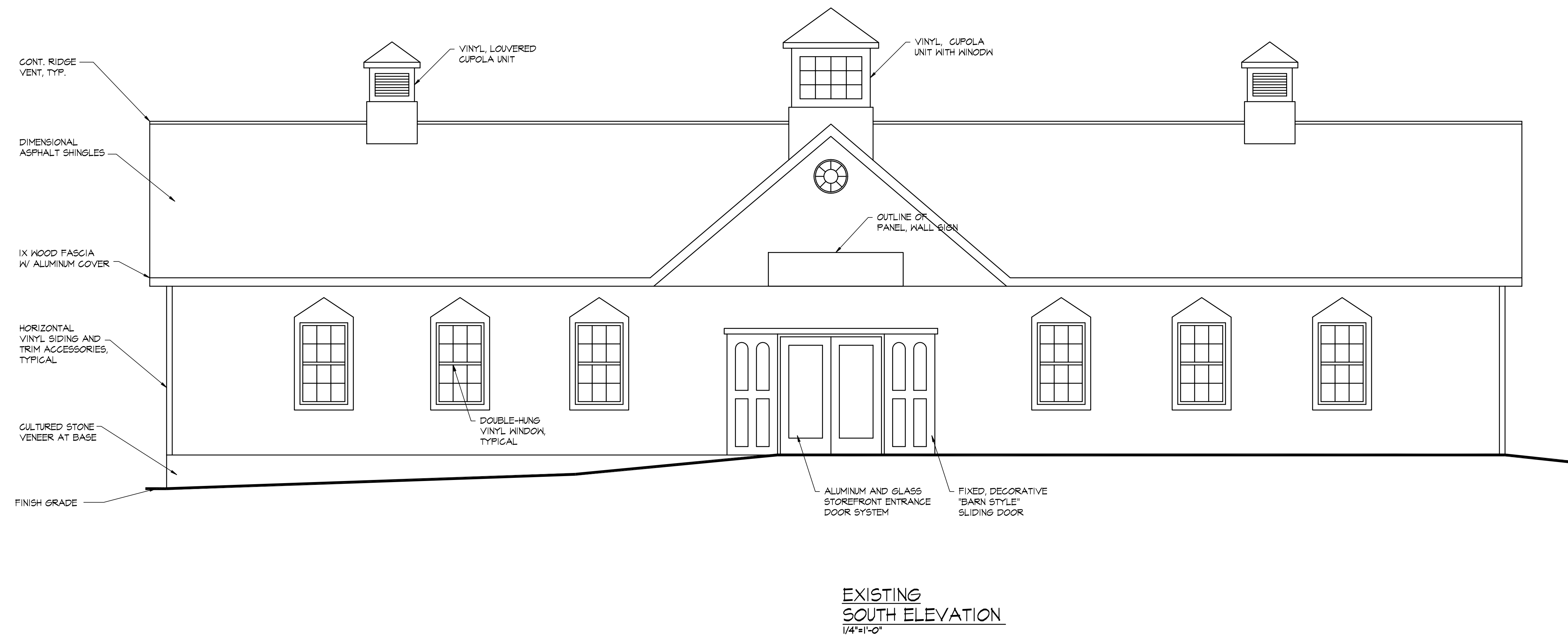
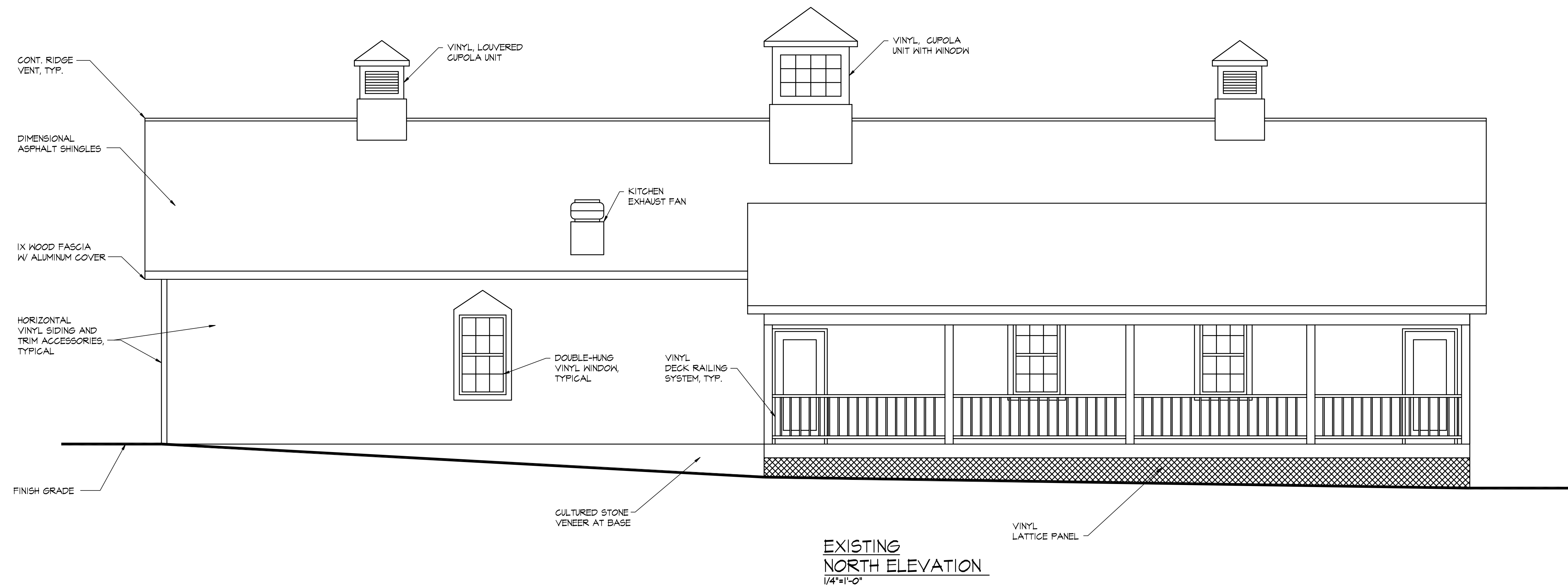
A1



**EXISTING WINERY**  
**FLOOR PLAN**  
 1/4"=1'-0"

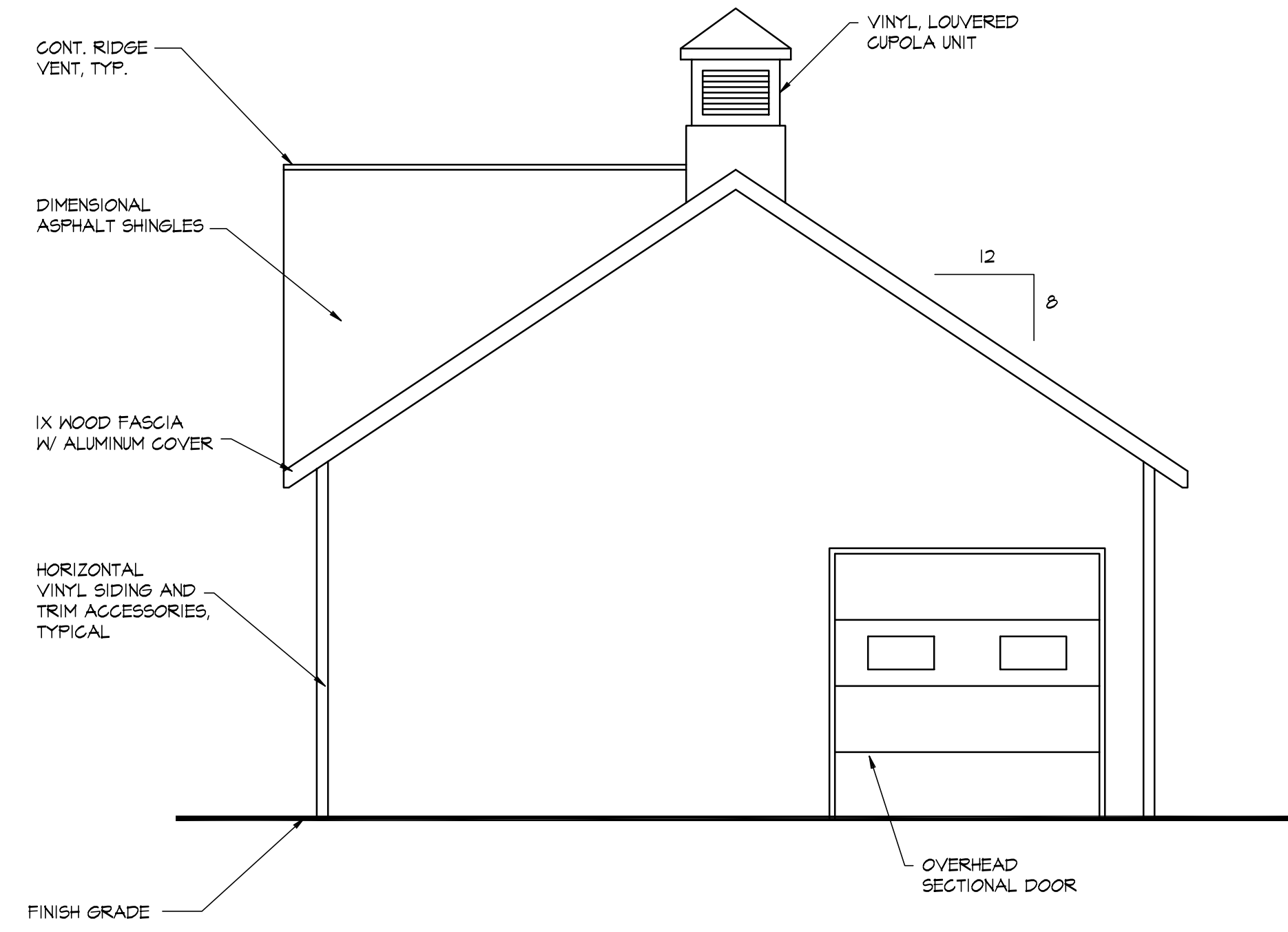
**GENERAL NOTES:**

1. THE EXISTING LAYOUT AND DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE USED FOR BIDDING PURPOSES ONLY. ACTUAL, FIELD VERIFICATION OF ALL EXISTING CONDITIONS SHALL BE UTILIZED PRIOR TO LAYOUT AND INSTALLATION OF ANY NEW CONSTRUCTION.
2. ALL WORK PROVIDED AND INSTALLED BY THE CONTRACTORS SHALL MEET THE LATEST EDITIONS OF ALL STATE, LOCAL, FEDERAL AND N.E.C. REGULATIONS AND CODES.
3. ALL INTERIOR DIMENSIONS ARE TO FINISH FACE OF GYP. BD, METAL LINER PANEL, OR WALL TILE (TYPICAL, UNLESS NOTED OTHERWISE).
4. ALL NEW INTERIOR PARTITIONS ARE 2X4 WOOD STUDS @ 16" O.C. w/ 5/8" GYP. BD. EACH SIDE (TYP., UNLESS NOTED OTHERWISE).
5. PROVIDE BARRIER FREE BUILDING SIGNAGE AT ENTRANCES AND TOILET ROOMS AS PER 'MICHIGAN BARRIER-FREE' DESIGN REQUIREMENTS.
6. SHELVING AND EQUIPMENT LOCATIONS AND SIZES SHOWN ARE FOR REFERENCE ONLY. EXACT LOCATIONS AND SIZES ARE TO BE FIELD VERIFIED WITH OWNER AND EQUIPMENT SUPPLIER.
7. CONTRACTOR IS TO COORDINATE ALL WALL, CEILING, FLOOR, ETC. FINISHES, LOCATIONS AND MATERIAL SPECIFICATIONS WITH OWNER PRIOR TO CONSTRUCTION.
8. ALL NEW INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808.
9. PROVIDE WALL REINFORCEMENT, AND/OR PLYWOOD BACKING IN STUD WALLS FOR ATTACHMENT OF ALL ROOM ACCESSORIES, SHELVING, FURNITURE, ETC., INCLUDING OWNER SUPPLIED EQUIPMENT, ETC. COORDINATE EXACT LOCATIONS AND REQUIREMENTS WITH OWNER.
10. ALL NEW AND EXISTING DOOR HARDWARE SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTION 1010.1.9, DOOR OPERATIONS.
11. SERVICE COUNTER SHALL HAVE A PORTION A MINIMUM OF 36" WIDE AND A MAXIMUM 36" HIGH FOR BARRIER FREE ACCESS.
12. EXTERIOR WALL ASSEMBLY INCLUDES 5-1/2" BATT INSULATION IN WALL CAVITY. (MINIMUM WALL ASSEMBLY R-VALUE = R-2).
13. ROOF/CEILING ASSEMBLY INCLUDES 12" BATT INSULATION. (MINIMUM ROOF ASSEMBLY R-VALUE = R-38).

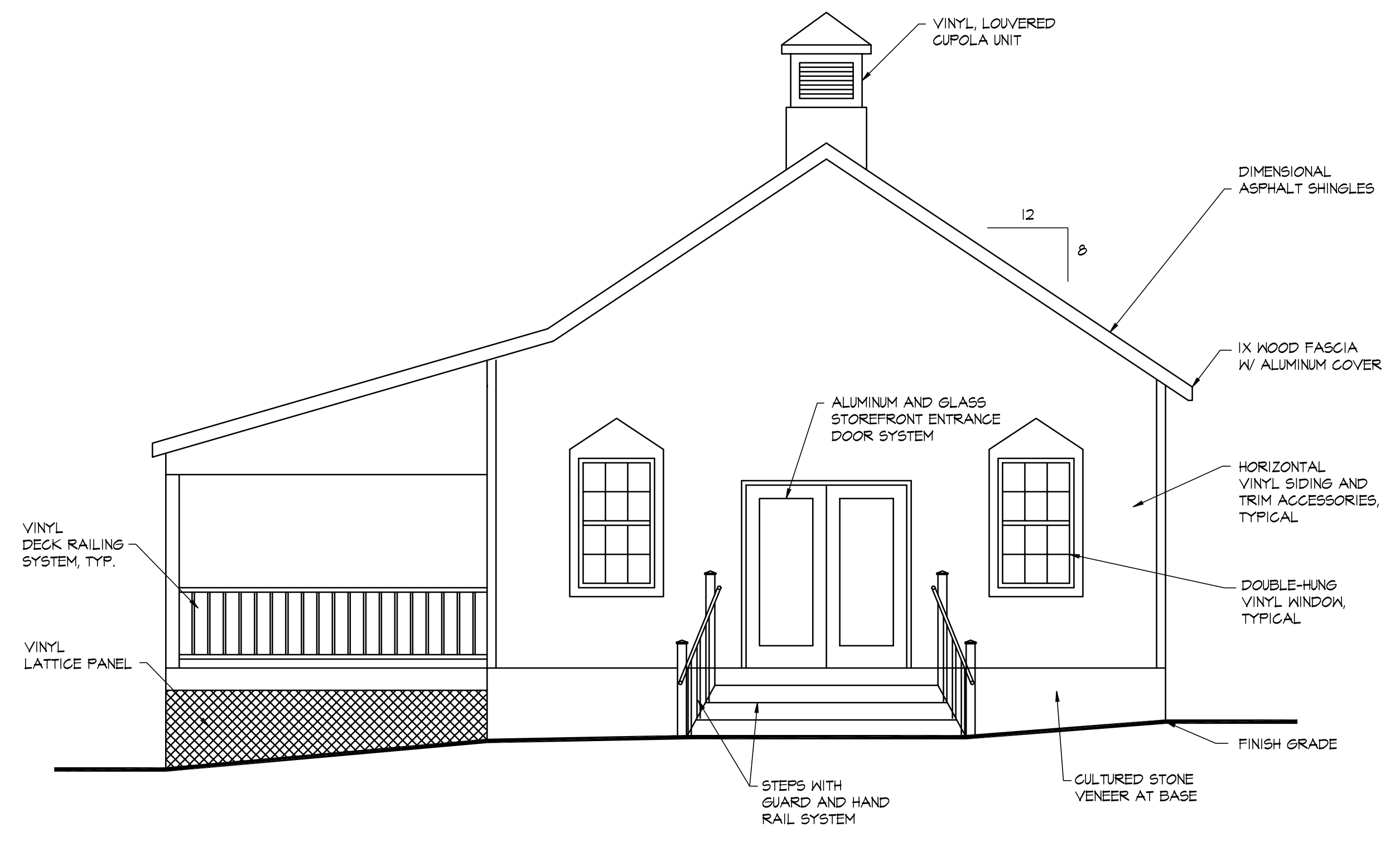


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EXISTING  
EAST ELEVATION  
1/4"=1'-0"



EXISTING  
WEST ELEVATION  
1/4"=1'-0"

REVISIONS


JOB NO: 018-010

DATE: 2-18-2018

DRAWN BY: JKC

SCALE: AS NOTED

SHEET NO:

A3

## ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR						BASE						WALL						CEILING						REMARKS	NO.						
		SEALED/STAINED CONCRETE						WOOD						GYP BOARD (PAINT)						MATERIAL								HEIGHT					
		1	2	3	4	5	6	1	2	3	4	5	6	1	2	3	4	5	6	1	2	3	4	5	6								
100	SALES/DINING/TASTING ROOM	1						1						1						2												CATHEDRAL CEILING	100
101	SERVING COUNTER																																101
102	KITCHEN PREP AREA																																102
103	PRODUCTION ROOM																																103
104	HALL																																104
105	WOMAN'S RESTROOM																																105
106	MEN'S RESTROOM																																106
107	BOTTLING/ STORAGE																																107
108																																	108
109																																	109
104																																	104

### NOTES:

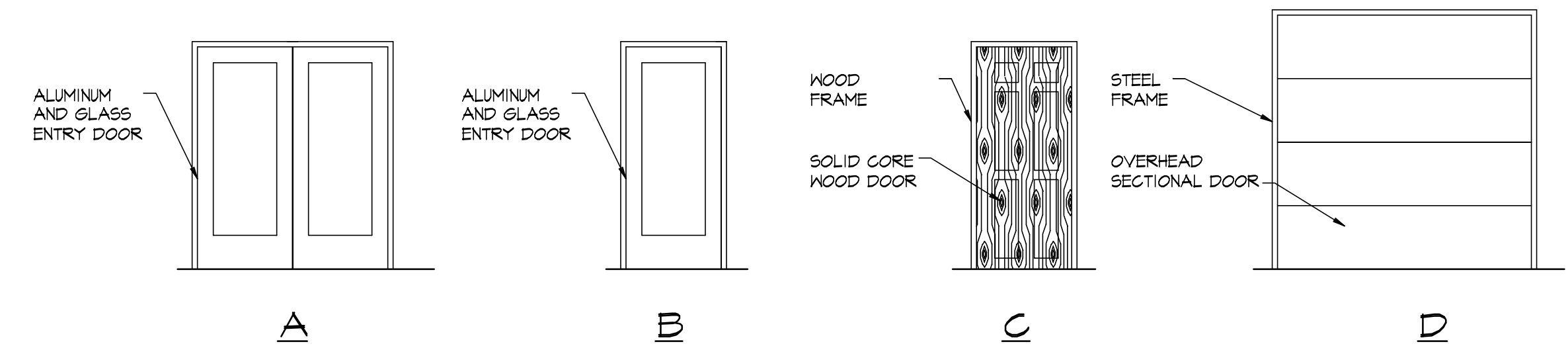
- ALL WORK PROVIDED AND INSTALLED BY THE CONTRACTORS SHALL MEET THE LATEST EDITIONS OF ALL STATE, LOCAL, FEDERAL AND N.E.C. REGULATIONS AND CODES.
- ALL NEW DOOR HARDWARE SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTION 1008.1.9, DOOR OPERATIONS.
- CONTRACTOR TO COORDINATE ALL HARDWARE AND KEYING REQUIREMENTS WITH OWNER AND SUBMIT TO LOCAL BUILDING OFFICIAL FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR IS TO COORDINATE ALL WALL, CEILING, FLOOR, ETC. FINISHES, LOCATIONS AND MATERIAL SPECIFICATIONS WITH OWNER PRIOR TO CONSTRUCTION.
- ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808. ALL WALL AND CEILING FINISHES SHALL BE A MINIMUM RATING OF CLASS C; FLAME SPREAD 16-200; SMOKE DEVELOPED 0-450, (TABLE 803.9).

### ACCESSORIES SCHEDULE

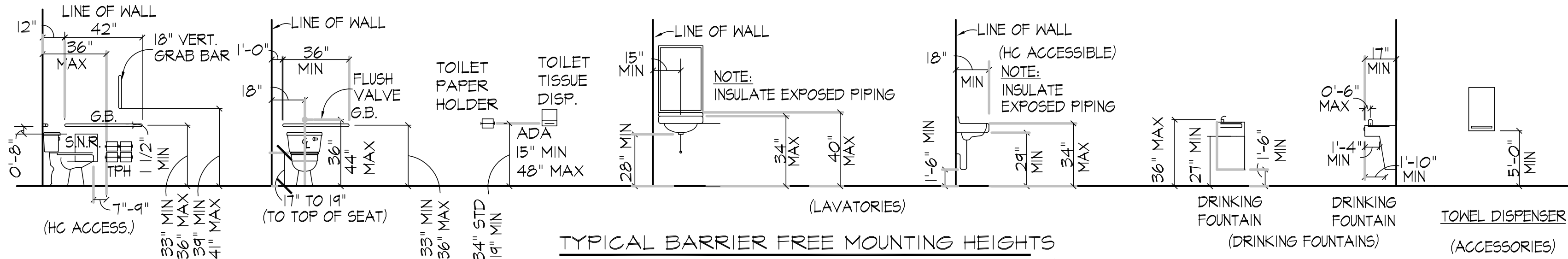
WA-1	B-6806X42	15' S.S. GRAB BAR- 42"
WA-2	B-6806X36	15' S.S. GRAB BAR- 36"
WA-3	B-6806X18	15' S.S. GRAB BAR- 18"
WA-4	B-4228	TOILET TISSUE DISPENSER
WA-5	B-4262	PAPER TOWEL DISPENSER
WA-6	B-4112	LIQUID SOAP DISPENSER
WA-7	B-240-2436	S.S. FRAMED MIRROR
WA-8	B-223X24	MOP AND BROOM HOLDER
EHD	B-7120	ELECTRIC HAND DRYER
BCS	KB200-00	BABY CHANGING STATION

## DOOR SCHEDULE

MARK	SIZE	DOOR						FRAME						HDW.	REMARKS
		TYPE		MATERIAL		FINISH		MATERIAL		FINISH					
		1	2	1	2	1	2	1	2	1	2				
1	9'-0" x 7'-0"														
2	(2) 3'-0" x 7'-0"														
3															
4															
5															
6															
7															
8															SLIDING COOLER DOOR
9															
10															



**DOOR AND FRAME TYPES**  
NO SCALE



**TYPICAL BARRIER FREE MOUNTING HEIGHTS**  
MICHIGAN CONSTRUCTION AND ADA (AMERICANS WITH DISABILITIES ACT) CODES  
BARRIER FREE NOTES:

- ALL CONTROLS & OPERATING MECHANISMS SHALL BE OPERABLE w/ (1) HAND & SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN (5) POUNDS.

REVISIONS


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 DATE: 2-18-2018  
 DRAWN BY: JKC  
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 SHEET NO:



FURNACE SCHEDULE											
TAG	MFR.	MODEL	CFM	MIN OA	ESP	FAN HP	ELEC.	COOLING MBH	GAS HEATING		NOTES
									MBH IN	MBH OUT	
F-1	LUXAIRE	TM9T100C19MP11B	1600	NATURAL	1"	3/4	120V-1Ø	48	100	96	1, 2, 3, 4, 5, 6

- NOTES:
1. PROVIDE UNIT WITH ZONE CONTROLLER THERMOSTAT(S).
  2. PROVIDE UNIT WITH CONCENTRIC VENT/AIR INTAKE ROOF/WALL TERMINATION KIT.
  3. UNIT SHALL BE VERTICAL UP-FLOW GAS FURNACE WITH ADD-ON COOLING COIL.
  4. PROVIDE UNIT WITH FILTER RACK AND DISPOSABLE FILTERS.
  5. DISCONNECT SWITCH SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR.
  6. TWO STAGE HEATING.

CONDENSING UNIT SCHEDULE										
TAG	MFR.	MODEL	ASSOC. UNIT	TOTAL MBH	SUCTION TEMP.	ELEC.	QNTY. COMP.	MCA	MOP	NOTES

- NOTES:
1. COOLING CAPACITY IS BASED ON 80°F DB/67°F WB AND 95°F AMBIENT.
  2. PROVIDE WITH HARD START KIT AND ANTI-SHORT CYCLE TIMER.
  3. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL GFI RECEPTACLE AND DISCONNECT SWITCH.

NATURAL VENTILATION OPENING SCHEDULE						
SPACE	FLOOR AREA (SQ. FT.)	MINIMUM OPENING AREA REQUIRED (4%) FOR SPACE ONLY	MINIMUM OPENING AREA REQUIRED (8%) FOR ADJOINING SPACES	OPENING AREA PROVIDED PER OPENING	OPENING AREA REQUIRED PER TYPE	TOTAL OPENING AREA PROVIDED
MAIN SPACE	1248	--	100 SF	(10) 28x29 WINDOW OPENINGS	(10) 5.6 SF = 56 SF	191 SF
				(2) 3' x 7.5' DOOR OPENINGS	(10) 22.5 SF = 45 SF	
				(2) 6' x 7.5' DOOR OPENINGS	(2) 45 SF = 90 SF	
KITCHEN	196	7.4	--	(1) 3' x 7.5' DOOR OPENING	22.5 SF	22.5 SF
WORK SPACE	235	--	18.8 SF	(1) 8' x 8' DOOR OPENING	64 SF	64 SF
TANK ROOM	216	8.6 SF	--	(1) 5' x 7.5' DOOR OPENING	37.5 SF	37.5 SF

NOTES: 1. TOTAL OUTDOOR AIR PROVIDED IS IN COMPLIANCE W/ THE REQUIRED OUTDOOR VENTILATION AIR PER TABLE 403.3 OF THE 2015 MMC.

### EQUIPMENT SCHEDULE

EF-1,2  
BROAN EXHAUST FAN MODEL L-100, 70 CFM AT 0.375" SP USING A 67 WATT 120V-P MOTOR, PROVIDE WITH BACK DRAFT DAMPER, DISCONNECT AND DISCHARGE CAP

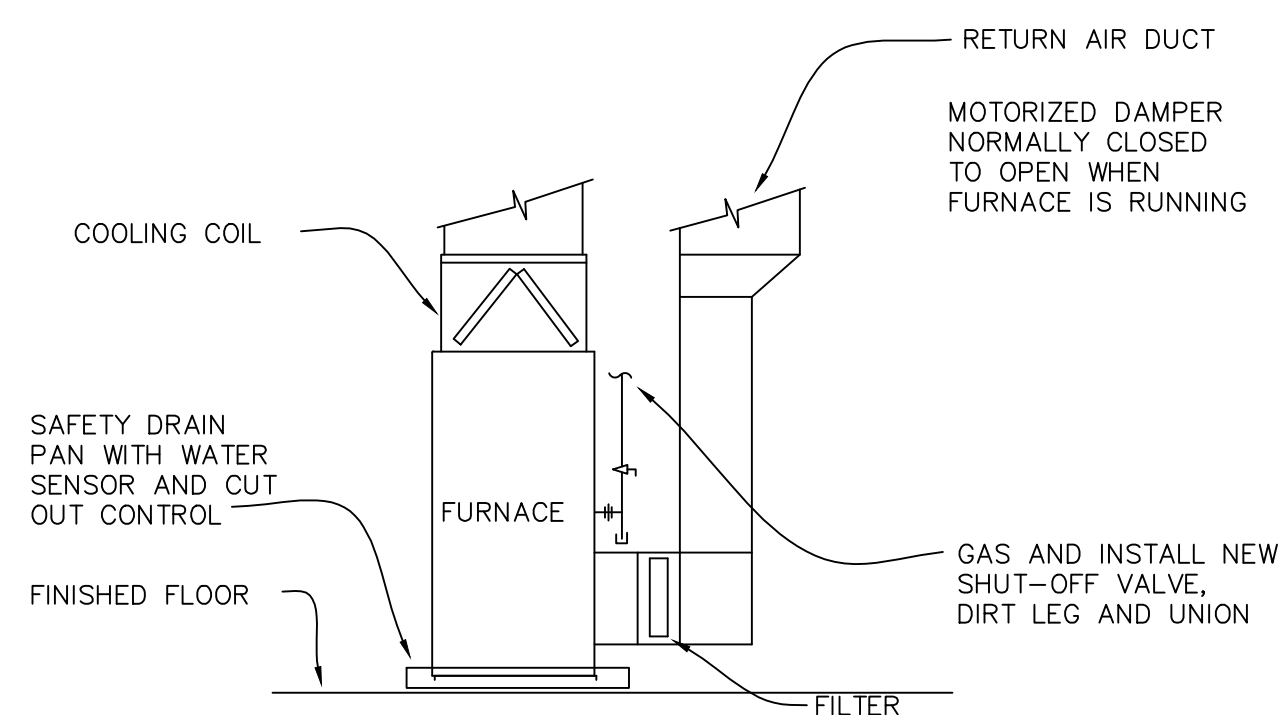
WATER HEATER  
SEE PLUMBING EQUIPMENT SCHEDULE

### MECHANICAL NOTES:

ALL DUCT WORK SHALL INSTALLED PER SMACNA STANDARDS AND SHALL HARD METAL

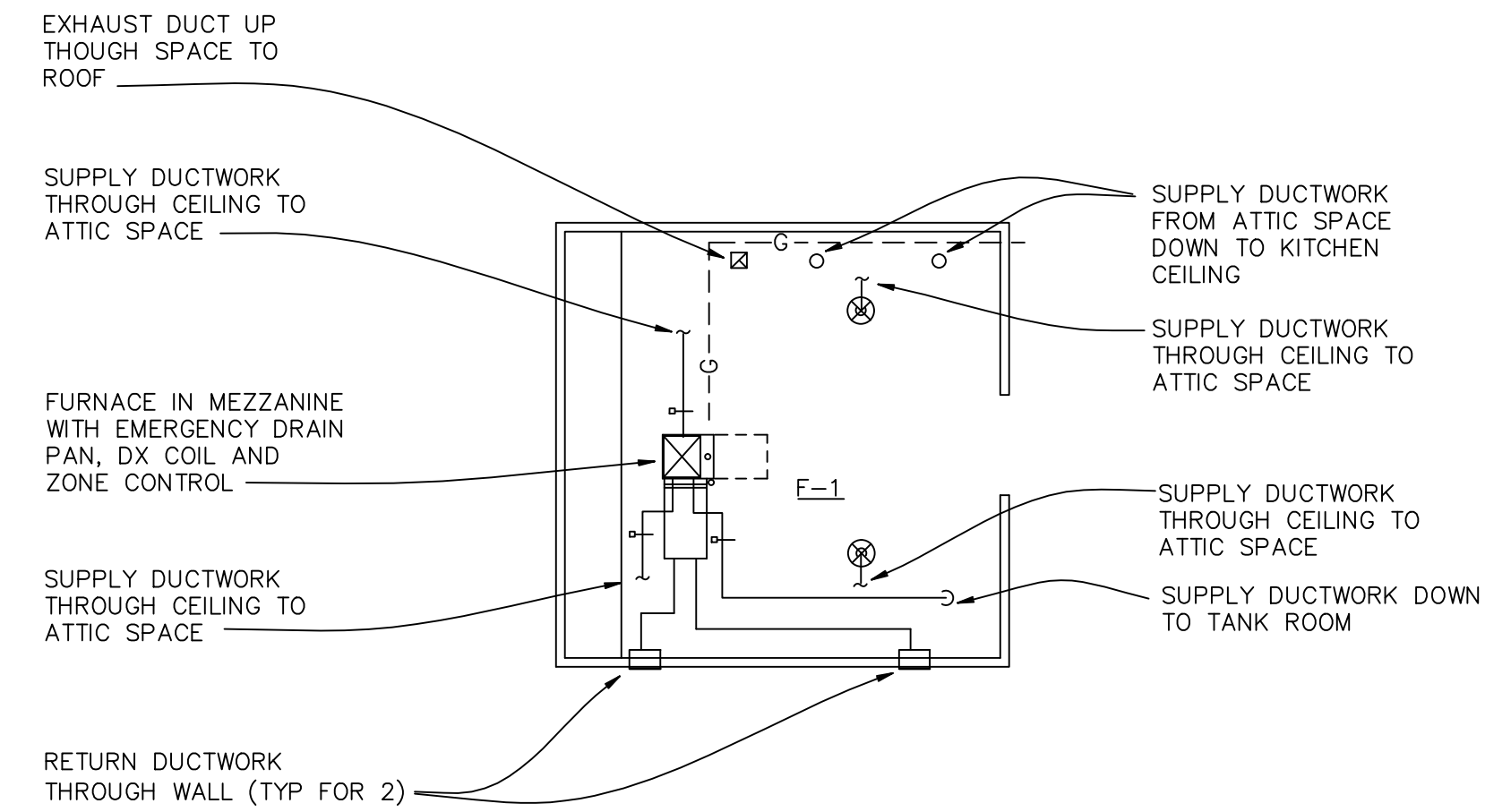
INSULATE ALL EXHAUST DUCTWORK FROM FAN TO DISCHARGE.

INSULATE SUPPLY DUCTWORK IN CEILING SPACE WITH DUCT WRAP WITH VAPOR BARRIER.

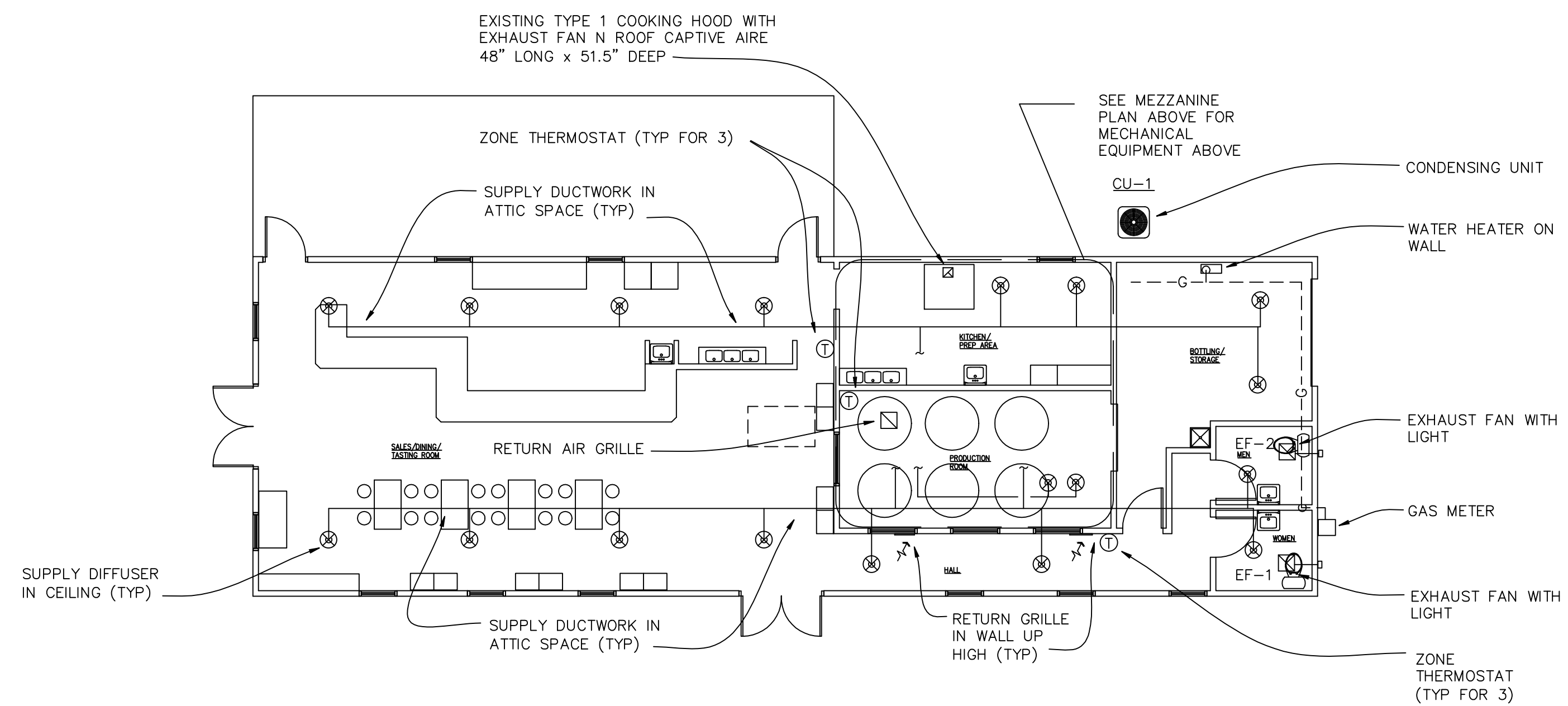


### FURNACE DETAIL

NO SCALE



MECHANICAL MEZZANINE PLAN  
1/8"=1'-0"



MECHANICAL PLAN  
1/8"=1'-0"

REVISIONS

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**PLUMBING NOTES:**

ALL PLUMBING WORK SHALL MEET LOCAL, STATE AND FEDERAL PLUMBING CODES AND HEALTH DEPARTMENT REQUIREMENTS.

THE PLUMBING CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL DRAWINGS. THEY SHALL COMPLETELY SATISFY THEMSELVES WITH CONDITIONS OF WORK TO BE PERFORM AND ANY ADJUSTMENTS TO MEET CODE REQUIREMENTS BEFORE SUBMITTING THEIR BID.

THE ARCHITECT AND OWNER RESERVE THE RIGHT TO MAKE MINOR CHANGES TO THE LOCATION OF EQUIPMENT, PIPING, VENTING ETC AT THE TIME OF ROUGH-IN WITHOUT ADDITIONAL COMPENSATION.

PLUMBING CONTRACTOR IS RESPONSIBLE FOR PAYING AND ARRANGING ALL REQUIRED PERMITS, INSPECTIONS AND ASSOCIATED COST.

PLUMBING CONTRACTOR SHALL PROVIDE VENTING FOR ALL PLUMBING FIXTURES PER CODE REQUIREMENTS.

COORDINATE FLOOR DRAIN LOCATIONS AND INSTALL TRAP RPIMER AT ALL FLOOR DRAINS.

PLUMBING CONTRACTOR IS RESPONSIBLE FOR VERIFY ALL SIZE OF ALL PIPING.

INSULATE ALL HOT AND COLD WATER PIPING. INSULATION TO MEET 25/50 FLAME SPREAD REQUIREMENTS.

PROVIDE AND INSTALL STOPS, RISERS, TRAPS ETC FOR COMPLETE INSTALLATION OF PLUMBING EQUIPMENT.

ALL EQUIPMENT AND PLUMBING FIXTURES SHALL HAVE STOPS OR VALVE FOR ISOLATION. COORDINATE LOCATION OF ALL STOPS/VALVES WITH GENERAL TRADES TO MAKE SURE THEY WILL BE ACCESSIBLE.

INSTALL ASSE 1070 APPROVED MIXING VALVE AT LAVATORIES.

FIELD CHANGES MADE BY THE PLUMBING CONTRACTOR SHALL BE APPROVED BY THE ARCHITECT. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING AS BUILT DRAWINGS FOR THESE APPROVED CHANGES TO THE ARCHITECT PRIOR TO FINAL INSPECTION.

ALL PLUMBING TO CONFORM TO THE 2015 MICHIGAN PLUMBING CODE.

ALL NEW PLUMBING TO BE PERMITTED, TESTED AND INSPECTED PRIOR TO COVERING.

ALL PLUMBING FIXTURES TO BE VENTED IN ACCORDANCE TO CHAPTER 9 OF THE MICHIGAN PLUMBING CODE AND WILL FIELD VERIFIED BY PLUMBING INSPECTOR.

**PLUMBING  
FIXTURE SCHEDULE**

WC  
MANSFIELD MODEL 4977-3916, SMART HEIGHT, TANK TYPE WATER CLOSET, ELONGATED BOWL, 16-3/4" HIGH, ADA, PROVIDE WITH OPEN FRONT SEAT.

LAV  
MANSFIELD 2018C VITREOUS CHINA, WALL MOUNTED LAVATORY, WITH DELTA MODEL 501 SINGLE LEVER FAUCET, PROVIDE WITH, ASSE 1070 MIXING VALVE, GRID STRAINER AND TRUEBRO LAV GUARD

SS  
24x24 FLOOR SINK, WITH WALL MOUNTED FAUCET WITH VACUUM BREAK

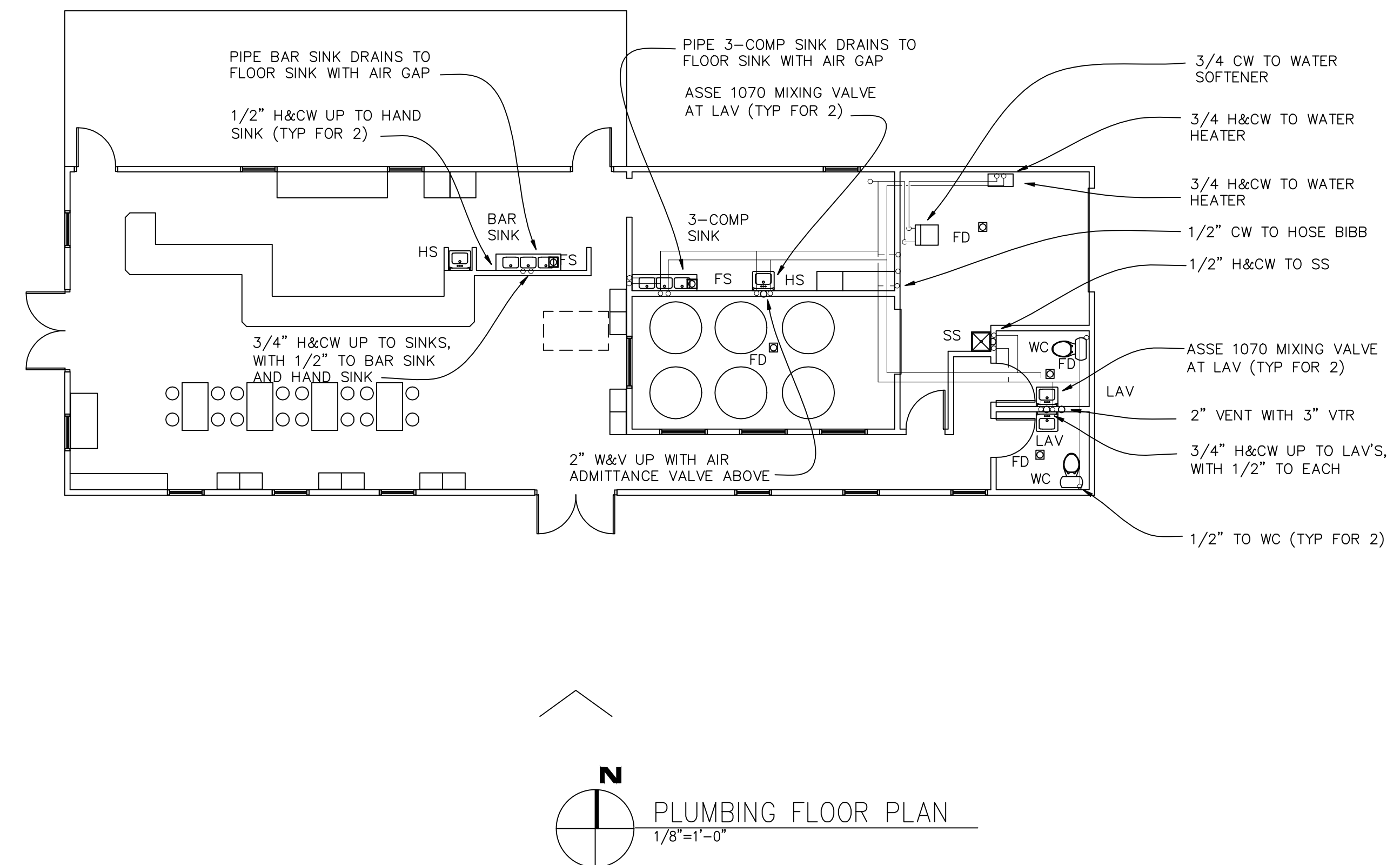
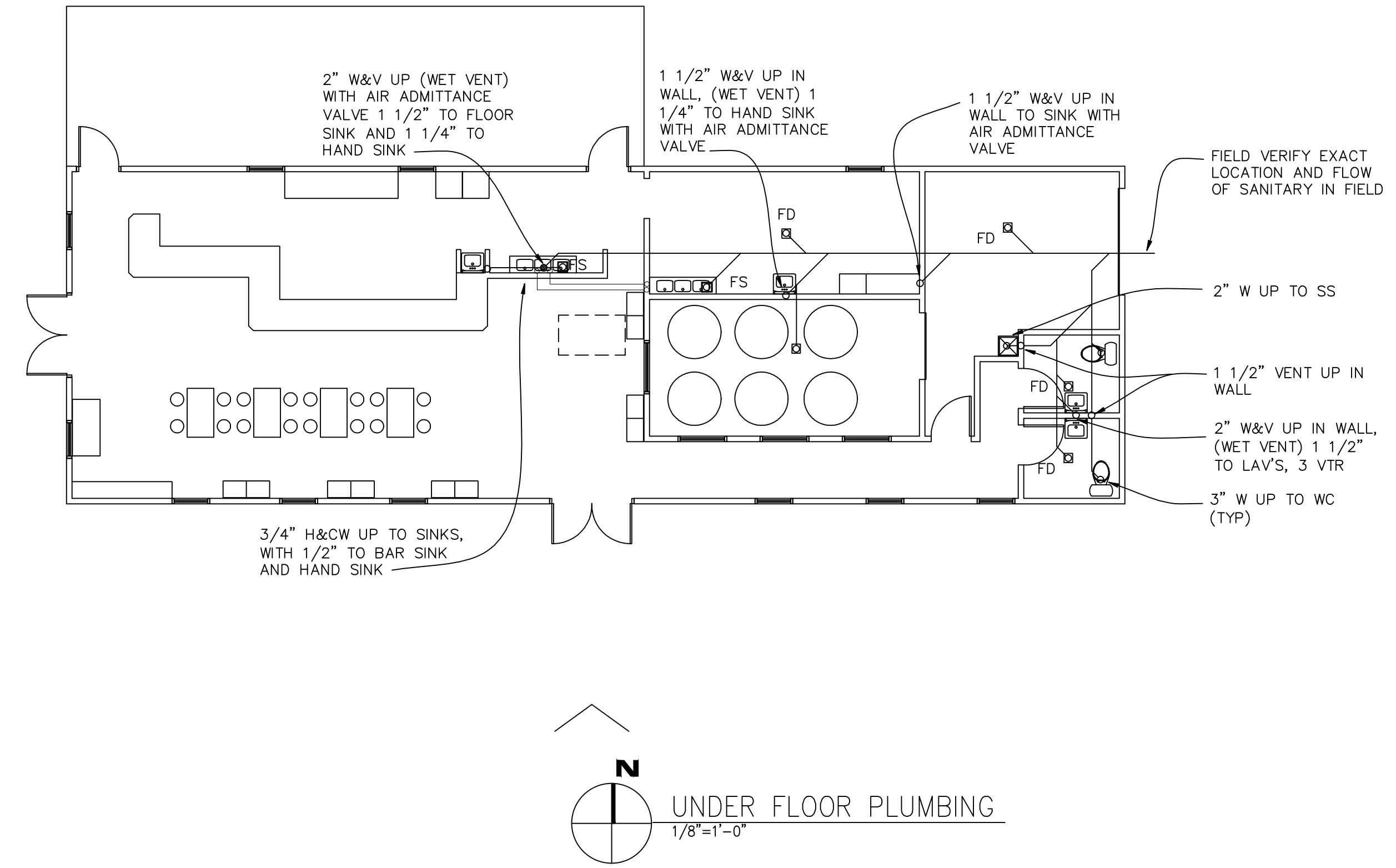
HS  
AMTEKCO OR EQUAL HAND SINK, WITH LEVER HANDLE FAUCET PROVIDE WITH ASSE 1070 MIXING VALVE, TRAP AND RISERS

3-COMP SINK  
3-COMP SINK, 18X18X12 COMPARTMENT, NSF APPROVED, STAINLESS STEEL, 16" DRAIN BOARDS AT EACH END, SINGLE FAUCET. PROVIDE WITH TRAP AND RISERS

BAR SINK  
KROWNE 3-COMPARTMENT BAR SINK MODEL 21-63C, STAINLESS STEEL, 18" DRAIN BOARDS, 72" LONG WITH 10x14x10 COMPARTMENTS, NSF APPROVED, PROVIDE WITH LEVEL HANDLE FAUCET AND DRAIN AND TAIL PIECES.

**PLUMBING  
EQUIPMENT SCHEDULE**

WH  
NAVEN TANKLESS WATER HEATER MODEL NEP-240A, 19,900 TO 199,900 BTU/HR OUTPUT, 97% EFFICIENCY, PROVIDED WITH T&P RELIEF VALVE, CONDENSATE TRAP AND INTAKE AND VENTING KIT.



REVISIONS
JOB NO: 018-010
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SCALE: AS NOTED
SHEET NO:

FSA Engineering, LLC  
CONSULTING ENGINEERS  
3449 BREEZE POINTE CT  
LINDEN, MICHIGAN 48451  
(810) 394-1379 C  
(810) 714-4206 F

FIXTURE SCHEDULE						
SYMBOL	TYPE	LAMP		MOUNTING HEIGHT	DESCRIPTION	MANUFACTURER
		NO	TYPE			
	A	2	32W T8 82CRI 3500K	S	4' LONG LOW PROFILE FLUORESCENT STRIP FIXTURE 3500K. 32W T8 LAMPS WITH ELECTRONIC BALLAST. 82 CRI WHITE COLOR CHANNEL. 120V OPERATION	1. LITHONIA C CHANNEL SERIES
	B	2	32W T8 82CRI 3500K	S	4' LONG LOW PROFILE SURFACE MOUNTED FLUORESCENT WRAPAROUND FIXTURE 3500K. 32W T8 LAMPS WITH ELECTRONIC BALLAST. 82 CRI WHITE COLOR CHANNEL AND ACRYLIC LENS. 120V OPERATION	1. LITHONIA LB TRADITIONAL WRAP
	C	1	60W INC.	R	6" ROUND RECESSED DOWNLIGHT WITH INCANDESCENT LAMP AND WHITE TRIM AND WHITE BAFFLE. WHITE COLOR. 120V OPERATION	1. LITHONIA INCANDESCENT DOWNLIGHT.
	D	1	60W INC.	P	DECORATIVE PENDANT FIXTURE PROVIDED BY OWNER. CHAIN HUNG, BLACK COLOR. 120V OPERATION	1. OWNER PROVIDED
	E	1	70W HID	S	SURFACE MOUNTED OUTDOOR HID FIXTURE, BLACK COLOR. 120V OPERATION	1. OWNER PROVIDED
	X		LED	S	SURFACE MOUNTED EMERGENCY FIXTURE DUAL VOLTAGE OPERATION. UNIT SHALL BE COMPLETELY SELF-CONTAINED WITH MAINTENANCE FREE NICKEL CADMIUM BATTERY CAPABLE OF PROVIDING 90 MINUTE FULL LIGHT OPERATION.	1. LITHONIA ELM SERIES 2. COOPER LIGHTING 3. COLUMBIA LIGHTING
	XI		LED	S	COMBINATION EXIT/EMERGENCY LIGHT SHALL BE UNIVERSAL MOUNT, DIE CAST ALUMINUM CONSTRUCTION, HIGH OUTPUT LED DIFFUSE LIGHT PANEL, RED LETTERS AND DIRECTIONAL ARROWS AS INDICATED ON PLANS. FIXTURE SHALL HAVE SELF-DIAGNOSTICS AND BE SUITABLE FOR DUAL VOLTAGE OPERATION. UNIT SHALL BE COMPLETELY SELF-CONTAINED WITH MAINTENANCE FREE NICKEL CADMIUM BATTERY CAPABLE OF PROVIDING 90 MINUTE FULL LIGHT OPERATION.	1. LITHONIA LHQM SERIES 2. COOPER LIGHTING 3. COLUMBIA LIGHTING

MOUNTING LEGEND:  
 R - RECESSED, S - SURFACE, P-PENDANT, C-CEILING

### ELECTRICAL NOTES

ELECTRICAL WORK SHALL COMPLY WITH LATEST NATIONAL ELECTRICAL CODE, LIFE SAFETY CODE AND APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

ELECTRICAL EQUIPMENT AND WIRING SHALL BE NEW AND SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACTOR, UNLESS OTHERWISE NOTED.

WIRING SHALL BE IN CONDUIT. CONDUIT SHALL BE 3/4" MIN. CONDUITS IN FINISHED AREAS SHALL BE CONCEALED. CONTRACTOR MAY USE SURFACE RACEWAYS AND FITTINGS FOR WIRING IN FINISHED AREAS WHERE CONDUITS CAN NOT BE CONCEALED, ONLY WITH PRIOR APPROVAL FROM DESIGN PROFESSIONAL.

NEW WIRES SHALL BE TYPE THHN. MINIMUM SIZE SHALL BE #12 AWG, UNLESS OTHERWISE NOTED.

RECEPTACLE CIRCUITS SHALL HAVE A DEDICATED GROUND AND DEDICATED NEUTRAL.

NO METAL CLAD FLEXIBLE WIRING SHALL BE USED EXCEPT FROM JUNCTION BOX TO FIXTURES AND SHALL NOT EXCEED 6 FEET IN LENGTH.

FINAL CONNECTIONS TO EQUIPMENT, FURNISHED AND INSTALLED BY OTHERS, SHALL BE PROVIDED BY THIS CONTRACTOR.

VERIFY LOCATION OF LIGHTING FIXTURES, MECHANICAL EQUIPMENT IN CEILING, SPEAKERS AND POWER OUTLETS ETC, WITH DESIGN PROFESSIONAL PRIOR TO ROUGH-IN.

VERIFY AND COORDINATE WITH ARCHITECTURAL DRAWINGS EXACT LOCATION AND MOUNTING HEIGHTS OF POWER AND DATA OUTLETS.

CIRCUIT BREAKER ARRANGEMENT INDICATED ON THE ELECTRICAL RISER DIAGRAM DOES NOT NECESSARILY CORRESPOND TO THE ACTUAL BREAKER ARRANGEMENT OR PANEL PHASING. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO BALANCE THE LOADS ON THE PANEL AT THE TIME OF INSTALLATION. EVERY ATTEMPT SHOULD BE MADE TO GROUP SIMILAR LOADS AND LOCATE ALL SPARES AND SPACES AT THE BOTTOM OF THE PANEL.

PROVIDE A TYPEWRITTEN DIRECTORY IN THE PANEL DOOR, ACCURATELY INDICATING ROOMS AND EQUIPMENT BEING SERVED. CONTRACTOR SHOULD MAKE EVERY ATTEMPT TO IDENTIFY ALL CIRCUITS.

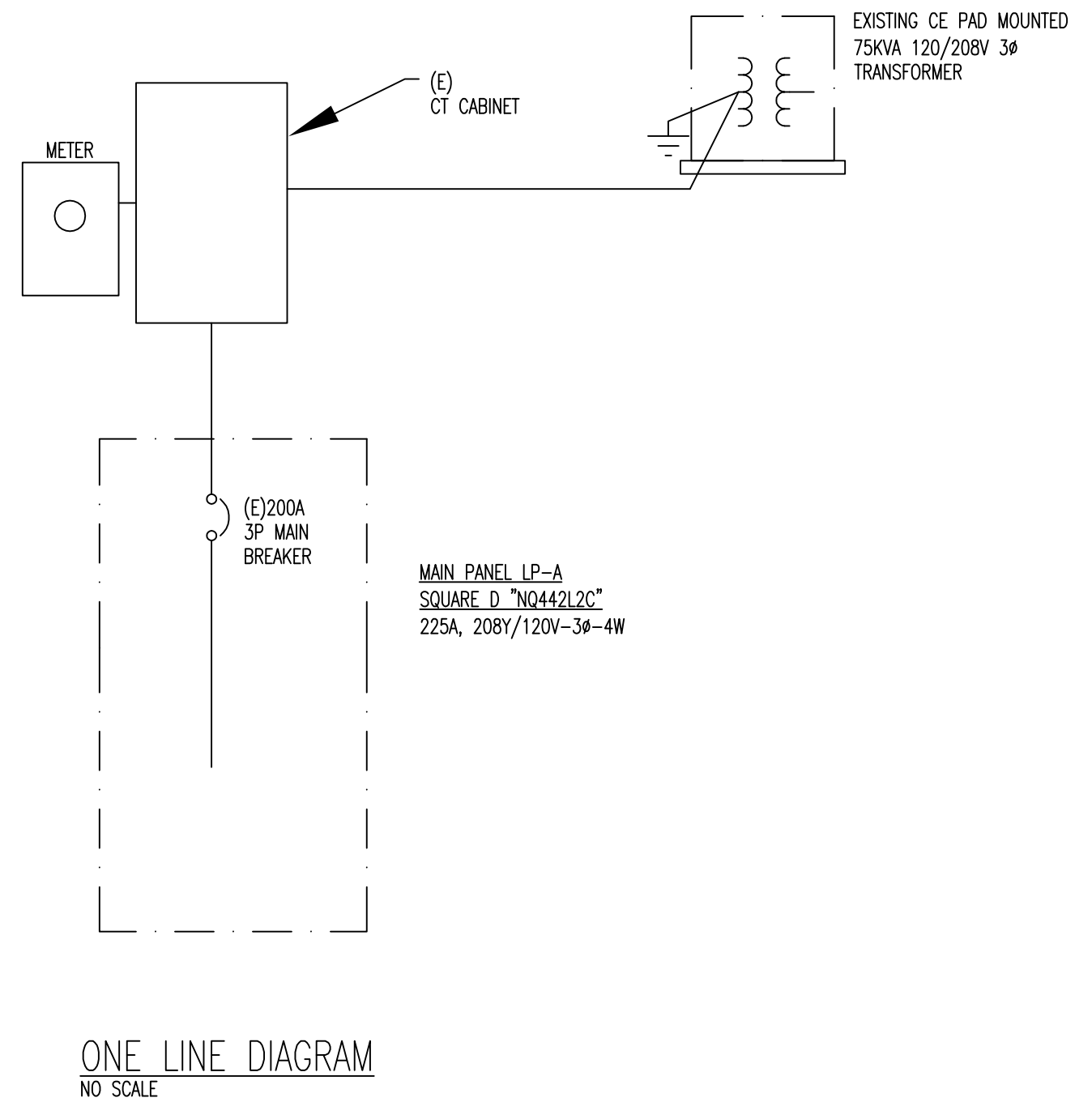
### LEGEND

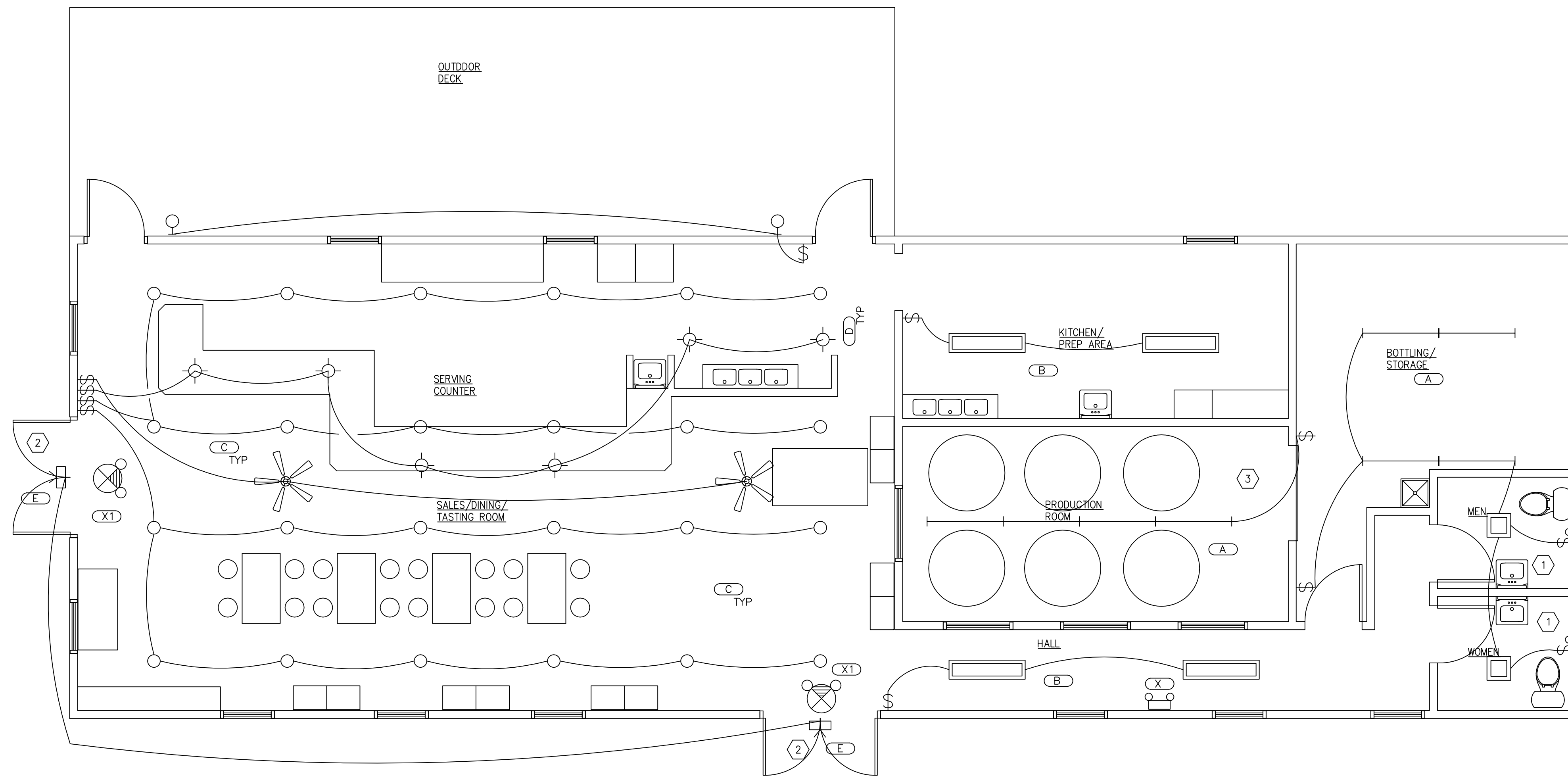
- POWER**
- HOME RUN TO PANEL INDICATED. 2#12&1#12 GND 3/4" C UNLESS NOTED OTHERWISE.
  - CONDUIT CONCEALED IN WALL OR ABOVE CEILING
  - CIRCUIT BREAKER POWER PANEL 120/208V 3ø 4W.
  - DUPLEX RECEPTACLE 20A-1 PHASE-120V 18" AFF. UNO. C-CEILING MTD
  - DOT INDICATES REC MOUNTED 6" ABOVE COUNTER, UNO.
  - DUPLEX RECEPTACLE-GROUND FAULT CIRCUIT INTERRUPTER TYPE-20A-1 PHASE-120V.
  - QUADRUPLEX RECEPTACLE 120V 1-PHASE
  - DISCONNECT SWITCH-F INDICATES FUSED
  - MOTOR-SIZE AS INDICATED ON DRAWINGS
  - JUNCTION BOX
- LIGHTING**
- SEE FIXTURE SCHEDULE FOR EXTENDED DESCRIPTION
  - 1'X4' SURFACE FLUORESCENT FIXTURE
  - CEILING MOUNTED EXIT SIGN W/ DIRECTIONAL ARROW HATCH INDICATES FACE OF SIGN
  - WALL MOUNTED EXIT SIGN HATCH INDICATES FACE OF SIGN
  - FIXTURE TYPE
  - OCCUPANCY SENSOR
  - SWITCH - SINGLE POLE
  - SWITCH - THREE-WAY
  - DIMMER SWITCH
  - TIMED SWITCH BY WATT STOPPER OR EQUAL
  - OCCUPANCY SENSOR WALL MOUNTED BY WATT STOPPER OR EQUAL
- TELECOMMUNICATION**
- COMBINATION VOICE AND DATA OUTLET-SINGLE GANG
  - DUPLEX DATA OUTLET-SINGLE GANG

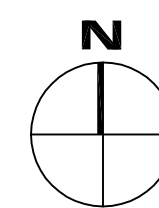
PANEL NO. PANEL LP-A												
MAIN BUS RATING 200A			FED FROM POWER COMPANY METER									
MAIN BREAKER 200A			FEEDER CABLE SIZE 4#3/0&1#6GND 2" C									
LUGS			VOLTS 120/208			PHASE 3 NO WIRES 4						
DESCRIPTION	KW PER PHASE			CIRC. NO.	A	B	C	CIRC. NO.	KW PER PHASE			DESCRIPTION
TANK RM REC	1.1			1	20			2	0.4			SPARE
		1.0		2				4		1.0		TANK RM REC
KITCHEN FREEZER	1.0		0.8	7	20			7		0.8		
KITCHEN PREP TABLE REC		0.8		9				10		1.0		REAR LIGHTS EM
KITCHEN COUNTER REC			1.2	11				12			1.2	BACK AND TANK RM REC
KITCHEN COUNTER REC	1.0			13				14	1.2			TANK RM REC
KITCHEN COUNTER REC		0.8		15				16		1.2		
KITCHEN COUNTER REC			1.0	17				18			1.2	DONUT MACHINE
KITCHEN COUNTER REC	1.2			19				22	3.7			
FRONT WALL REC		1.1		21				23		3.7		
REAR LIT'S COOLPALA			1.3	23				24			3.7	
BACK BAR COOLER	3.7			25				26	3.7			LIGHTS
FURNACE		3.7		27				28		3.7		COND UNIT A/C
KITCHEN EXH FAN			3.7	29				30			3.7	
BAR REC	0.8			31				32	1.7			BAR REC
				33				34				
				35				36				
				37				38				
				39				40				BACK RM GLYCOL TANK
				41				44				

TOTAL PHASE A KW	20.3
TOTAL PHASE B KW	18.0
TOTAL PHASE C KW	19.6
CONNECTED LOAD KW	57.9
DEMAND LOAD KW	40.5
DESIGN AMPS	112.1

LOCATION	BACK ROOM
MOUNTING	SURFACE
PROJECT	SPICER ORCHARD
DATE	10-31-2016






**EXISTING WINERY LIGHTING PLAN**  
 1/4"=1'-0"

**LIGHTING GENERAL NOTES**

1. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF ALL LIGHTING FIXTURES UNLESS OTHERWISE NOTED.
2. ANY 120 VOLT BRANCH CIRCUIT FEEDER LONGER THAN 120'-0" TO LAST DEVICE SHALL BE SIZED TO THE NEXT LARGER STANDARD AWG SIZE. E.C. SHALL FIELD VERIFY ALL LENGTHS OF FEEDERS.
3. SEE LIGHT FIXTURE SCHEDULE SHEET E1.00.
4. ALL ELECTRICAL DEVICES ON THIS SHEET SHALL BE NEW UNLESS OTHERWISE NOTED.
5. EXIT LIGHTS AND EMERGENCY BATTERY UNITS SHALL BE UNCONTROLLED AND TIED AHEAD OF LOCAL AREA LIGHTING SWITCH, UNLESS CIRCUITED OTHERWISE.
6. WHERE MORE THEN ONE LIGHT SWITCH IS INDICATED TO BE INSTALLED AT THE SAME LOCATION, THEY SHALL BE GROUPED UNDER ONE COMMON FACEPLATE.

**LIGHTING KEYED NOTES**

- 1 WALL MOUNTED OCCUPANCY SENSOR SWITCH BY "LEVITON", LEGRAND OR EQUAL. CONNECT TO EXISTING COMBINATION FAN/LIGHT.
- 2 WALL MOUNTED HID FIXTURED, CONNECT TO TIME CLOCK AND PHOTOCELL.
- 3 EXISTING MEZZANINE WITH TYPE "A" FIXTURE AND SWITCH ABOVE THIS AREA.

REVISIONS	

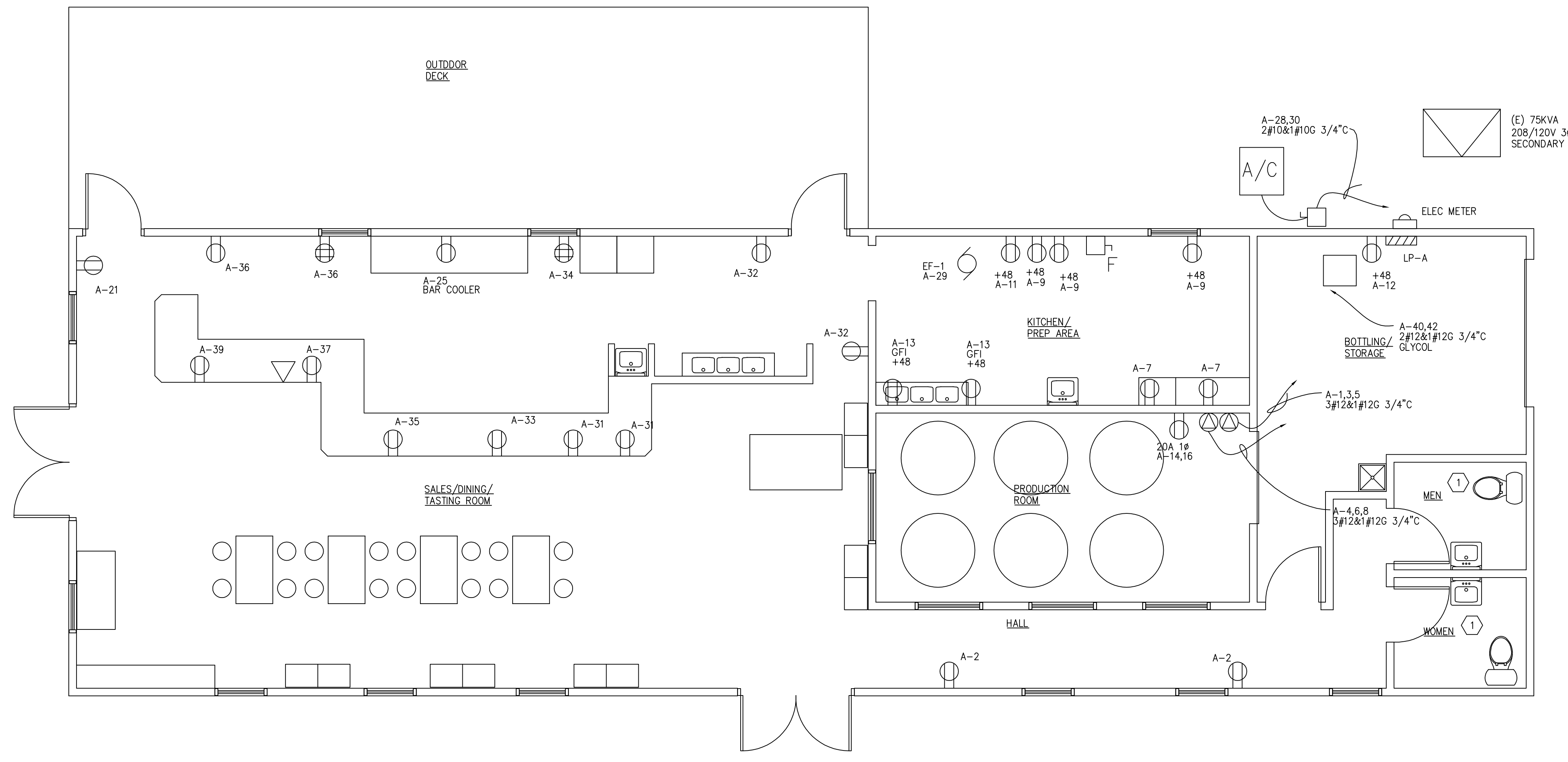
JOB NO: 018-010  
 DATE: 2-18-2018  
 DRAWN BY: FA  
 SCALE: AS NOTED  
 SHEET NO:

**POWER GENERAL NOTES**

1. ALL ELECTRICAL DEVICES SHOWN ON THIS PLAN SHALL BE NEW UNLESS OTHERWISE NOTED.
2. ANY 120 VOLT BRANCH CIRCUIT FEEDER LONGER THAN 120'-0" TO LAST DEVICE SHALL BE SIZED TO THE NEXT LARGER STANDARD AWG SIZE. E.C. SHALL FIELD VERIFY ALL LENGTHS OF FEEDERS.
3. ALL RECEPTACLES SHALL BE 20A RATED.
4. ALL DISCONNECT SWITCHES SHALL BE HEAVY DUTY TYPE.
5. ALL RECEPTACLES WITHIN 6'-0" OF SINK OR OTHER WATER SUPPLY SHALL BE GFCI TYPE RECEPTACLE.
6. REFER TO ARCHITECTURAL FLOOR PLAN AND ELEVATIONS FOR EXACT LOCATION OF DEVICES.
7. ALL JUNCTION BOXES SERVING BRANCH CIRCUIT WIRING SHALL BE LABELED WITH CIRCUITS SERVED.
8. ALL 120 VOLT CIRCUITS SHALL UTILIZE A SEPARATE NEUTRAL.
9. ALL CONDUITS SERVING 120 VOLTS OR GREATER SHALL INCLUDE A GROUND WIRE.
10. ALL CONDUITS SHALL BE ROUTED CONCEALED UNLESS NOTED OTHERWISE.
11. ALL ELECTRICAL EQUIPMENT MOUNTED ON THE FLOOR SHALL BE MOUNTED ON A 4" CONCRETE HOUSE KEEPING PAD.

**POWER KEYED NOTES**

1. CONNECT EXHAUST FAN TO LIGHT SWITCH AND LIGHTING CIRCUIT.
2. ALL RECEPTACLES IN KITCHEN AREA SHALL BE GFI PROTECTED.



**N**  
 EXISTING WINERY  
 POWER PLAN  
 1/4"=1'-0"

## CODE REVIEW/BUILDING DATA

APPLICABLE CODES:  
 MICHIGAN BUILDING CODE- 2015  
 MICHIGAN REHABILITATION CODE- 2015  
 ACCESSIBILITY, ICC/ANSI A117.1-2009  
 MICHIGAN MECHANICAL CODE- 2015  
 MICHIGAN PLUMBING CODE- 2015  
 STATE OF MICHIGAN ELECTRICAL CODE (NEC-2014) W/ PART 8 AMENDMENTS

1. USE GROUP:  
 M: MERCANTILE (MARKET)  
 F-1: MODERATE-HAZARD FACTORY INDUSTRIAL, (FOOD PROCESSING/COMMERCIAL KITCHEN)  
 S-2: LOW-HAZARD STORAGE, (FOOD PRODUCTS)

2. TYPE OF CONSTRUCTION:  
 A) TYPE 'VB' (5B), COMBUSTIBLE/ UNPROTECTED

3. HEIGHT AND AREA LIMITATIONS (TABLE 506.2):  
 WORST CASE IS F-1 OCCUPANCY CLASSIFICATION, TYPE 'VB', = 8500 SQ. FT.

FRONTAGE INCREASE (SEC. 506.3)  
 8500 SQ. FT. + 75% = 14875 SQ. FT. ALLOWED

EXISTING MARKET/ CIDER MILL BUILDING: 9,381 SQ. FT.

EXISTING PAVILLION BUILDING: 1,345 SQ. FT.

4. OCCUPANT LOAD (TABLE 1004.1.2):  
 MERCANTILE AREAS= 60 SQ. FT.(GROSS)/PER OCCUPANT  
 KITCHEN/MANUFACTURING AREAS= 200 SQ. FT.(GROSS)/PER OCCUPANT  
 STORAGE/STOCK AREAS= 300 SQ. FT.(GROSS)/PER OCCUPANT  
 DINING AREAS= 15 SQ. FT.(NET)/PER OCCUPANT

MERCANTILE AREAS= 1484/60 SQ. FT.(GROSS)= 25 OCC.  
 KITCHEN/MANUFACTURING AREAS= 348/200 SQ. FT.(GROSS)= 1B OCC.  
 STORAGE/STOCK AREAS= 1330/300 SQ. FT.(GROSS)= 5 OCC.  
 DINING AREAS= 225/15 SQ. FT.(NET)= 15 OCC.  
 TOTAL OCCUPANCY: 63 PERSONS

5. AUTOMATIC SPRINKLER SYSTEMS (SECTION 903.2):  
 AN AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED FOR  
 'M', 'F-1' AND 'S-2' FIRE AREAS THAT DO NOT EXCEED  
 12,000 SQ.FT. THE EXISTING BUILDING DOES NOT CONTAIN  
 AN AUTOMATIC FIRE SPRINKLER SYSTEM.

6. SEPARATION FROM OTHER USES (MBC TABLE 508.3.3)  
 A) NO SEPERATION REQUIRED

7. MINIMUM NUMBER OF EXITS AND CONTINUITY (SECTION 1006.2.1):  
 TWO EXITS REQUIRED FROM MERCANTILE OCCUPANCY WHEN  
 MAX. OCCUPANTS EXCEEDS 49 OR MAXIMUM TRAVEL DISTANCE  
 EXCEEDS 75 FEET. MINIMUM TWO EXITS REQUIRED PER SPACE.

8. EXIT ACCESS TRAVEL DISTANCE (TABLE 1012)  
 A) 'M' AND 'F-1' USE: W/O SPRINKLER= MAX. 200 FEET

9. CORRIDORS, DEAD-ENDS (SECTION 1020.4):  
 DEAD-END CORRIDOR LENGTHS SHALL BE NO MORE THAN  
 20 FEET.

10. DOOR SWING (SECTION 1010.1.2):  
 DOORS SHALL SWING IN THE DIRECTION OF EGRESS WHERE SERVING  
 AN OCCUPANT LOAD OF 50 OR MORE PERSONS.

11. DOORS (SECTION 1010.1.1):  
 DOORS SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES.  
 EGRESS DOORS SHALL BE OF THE PIVOTED OR SIDE-HINGED SWINGING  
 TYPE, EXCEPT IN OFFICE AREAS WITH AN OCCUPANT LOAD OF 10 OR  
 LESS, (SEC. 1008.1.2, EXCEPTION 1).

12. DOOR HARDWARE (SECTION 1010.10):  
 EACH MEANS OF EGRESS DOOR IN AREAS HAVING AN OCCUPANT LOAD  
 OF 50 OR MORE PERSONS SHALL BE EQUIPPED WITH PANIC HARDWARE.

13. TWO EXITS OR EXIT ACCESS DOORWAYS, SECTION 1015.2):  
 WHERE A BUILDING IS NOT EQUIPPED WITH AN AUTOMATIC SPRINKLER  
 SYSTEM THROUGHOUT, THE SEPARATION DISTANCE OF THE EXIT DOORS  
 SHALL NOT BE LESS THAN ONE-HALF OF THE LENGTH OF THE MAXIMUM  
 OVERALL DIAGONAL OF THE AREA SERVED.

14. MEANS OF EGRESS DOORS (SECTION 1008):  
 THE MEANS OF EGRESS DOORS SHALL BE READILY OPENABLE FROM THE  
 EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR  
 EFFORT. HARDWARE INCLUDING DOOR HANDLES, PULLS, LATCHES, LOCKS,  
 AND OTHER OPERATING DEVICES ARE REQUIRED TO BE ACCESSIBLE  
 PER CHAPTER 11 OF THE BUILDING CODE AND SHALL NOT REQUIRE TIGHT  
 GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.

15. MEANS OF EGRESS ILLUMINATION (SECTION 1008):  
 THE MEANS OF EGRESS SHALL BE ILLUMINATED AT ALL TIMES THE SPACE IS  
 OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS  
 THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.

16. EXIT SIGNS (SECTION 1013):  
 EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT  
 SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.

17. PORTABLE FIRE EXTINGUISHERS, (SECTION 906.1):  
 a) THE CONTRACTOR SHALL PROVIDE A TEMPORARY PORTABLE FIRE  
 EXTINGUISHER ON THE PREMISES OF THE PROJECT DURING CONSTRUCTION.  
 b) PROVIDE A PERMANENT PORTABLE FIRE EXTINGUISHER MEETING REQUIREMENTS  
 FOR LIGHT (LOW) HAZARD, CLASS A FIRES. MAXIMUM TRAVEL DISTANCE TO  
 EXTINGUISHER IS 75 FEET.

18. GLASS AND GLAZING (CHAPTER 24):  
 ALL INTERIOR GLAZING SHALL BE IN ACCORDANCE WITH THE 2015  
 MICHIGAN BUILDING CODE, SECTIONS 2401 THROUGH 2407.

19. ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE  
 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808.

20. FIRE ALARM AND DETECTION SYSTEM SHALL BE PROVIDED AS  
 REQUIRED PER SECTION 907 OF THE CODE. THE OCCUPANT  
 LOADS DO NOT EXCEED THE NUMBER ALLOWED FOR F-1, S-2, OR  
 M USES, THEREFORE NOT REQUIRED.

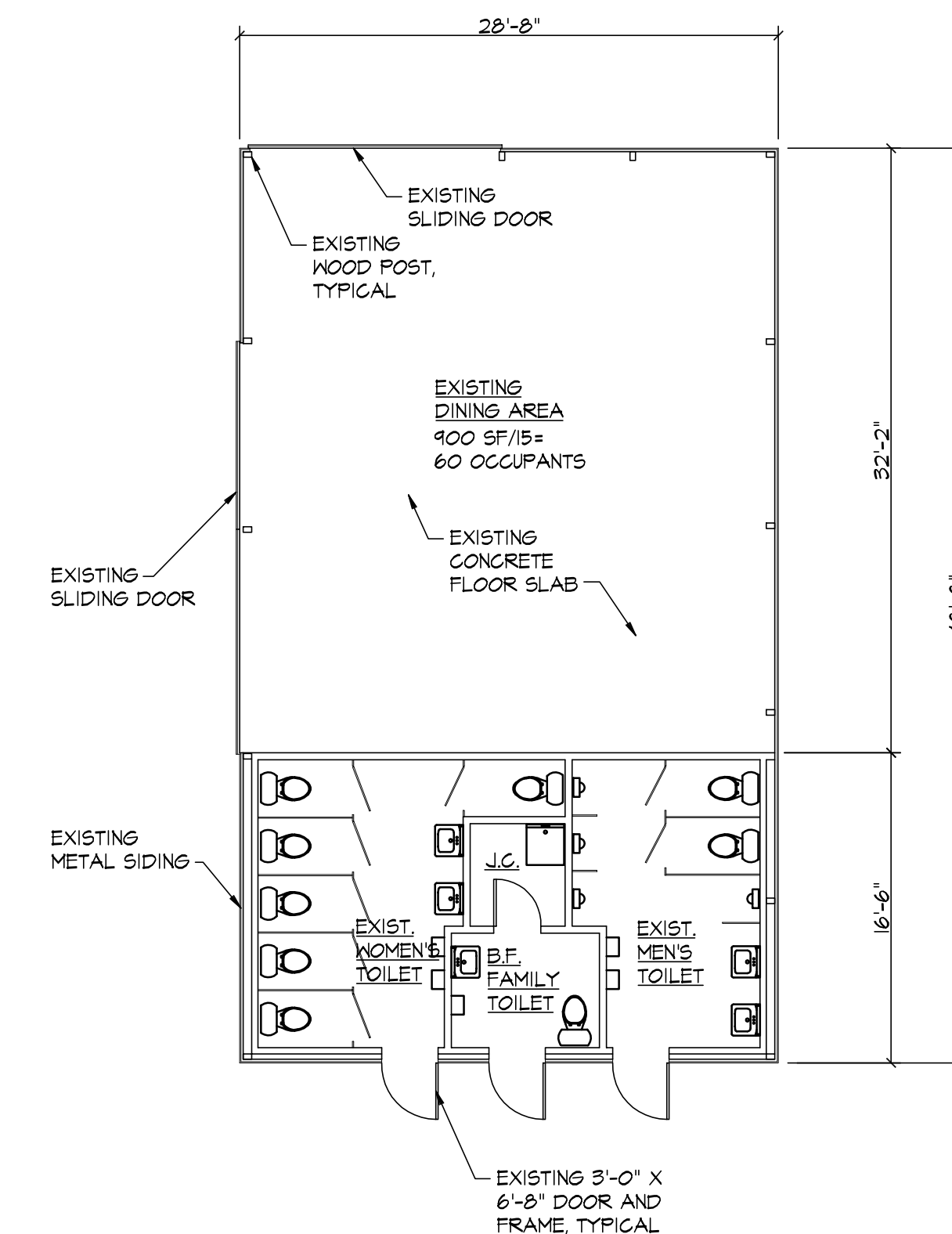
21. RECEPTION/SERVICE COUNTER SHALL HAVE A PORTION A MINIMUM  
 OF 36" WIDE AND MAX. 36" HIGH FOR BARRIER-FREE ACCESS.

22. MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (2015 MPC, TABLE 403.1):  
 M, MERCANTILE (MARKET)

WATER CLOSETS: MALE AND FEMALE, 1 PER 500  
 LAVATORIES: MALE AND FEMALE, 1 PER 750  
 BATH/SHOWER: N/A  
 DRINKING FOUNTAIN: 1 PER 1,000  
 (1) SERVICE SINK

F-1 AND S-2, FACTORY/STORAGE OCCUPANCY  
 WATER CLOSETS: 1 PER 100 MALE, 1 PER 100 FEMALES  
 LAVATORIES: 1 PER 100 MALE, 1 PER 100 FEMALE  
 DRINKING FOUNTAIN: 1  
 SERVICE SINK: 1

23. SEPERATE PLUMBING FACILITIES, (MPC, SECTION 403.2):  
 EXCEPTION #2: SEPERATE EMPLOYEE FACILITIES ARE NOT REQUIRED  
 IN OCCUPANCIES IN WHICH FEWER THAN 15 PEOPLE ARE EMPLOYED.



N  
 EXISTING PAVILLION  
 FLOOR PLAN  
 1/8"=1'-0"

REVISIONS

▲  
 ▲  
 ▲

JOB NO: 018-005

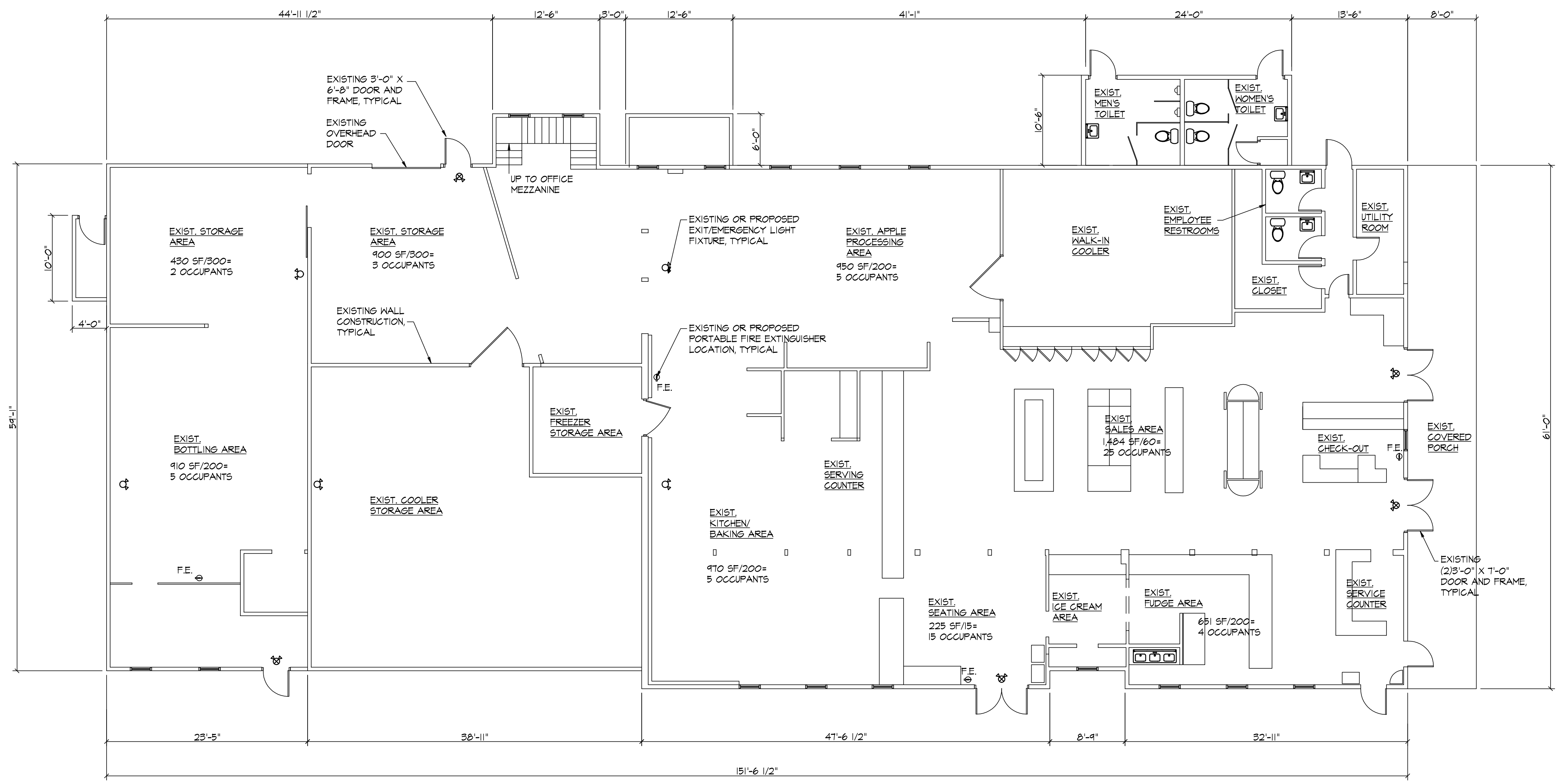
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SCALE: AS NOTED

SHEET NO:

A1



**N**  
 EXISTING FARM MARKET/  
 CIDER MILL FLOOR PLAN  
 1/8"=1'-0"

REVISIONS


JOB NO: 018-005

DATE: 2-18-2018

DRAWN BY: JKC

SCALE: AS NOTED

SHEET NO:

A2

# Hartland Township Planning Commission Meeting Agenda Memorandum

**Submitted By:** Troy Langer, Planning Director  
**Subject:** Site Plan Application #21-002 Mackle's Table and Taps  
**Date:** February 18, 2021

## Recommended Action

**Move to approve Site Plan Application #21-002**, a request to amend the approved site plan and expand an existing outdoor seating/dining area for Mackle's Table and Taps, by adding four (4) tables with sixteen (16) seats, at 1774 Old US-23, in Hartland Town Center. Approval is subject to the following conditions:

1. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated February 18, 2021, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
2. Applicant complies with any requirements of the Department of Public Works Director and Hartland Deerfield Fire Authority and all other government agencies, as applicable.
3. (Any other conditions the Planning Commission deems necessary)

## Discussion

Applicant: Joe Mackle

### Site Description

Hartland Town Center, located east of Old US-23 and south of M-59 in Section 28 of Hartland Township, is comprised of four parcels, two of which are developed with retail/commercial buildings (western two parcels), and two of which are vacant (eastern two parcels). The commercial center is approximately 12.6 acres in size and is zoned GC-General Commercial. The two (2) developed parcels are labeled as Parcel A and Parcel B on the Hartland Town Center 2005 site plan. Each parcel has a multi-tenant building and associated parking.

Mackle's Table and Taps is located in Parcel B (Parcel ID #4708-28-100-028), in the northern tenant space of the building, and addressed as 1774 Old US-23. The restaurant is approximately 8,280 square feet in size, with an additional 900 square feet dedicated to an existing outdoor seating and dining area on the north side of the building, which has an awning over the dining area.

### Overview and Background Information

#### Site Plan Application #261

The commercial development was approved in 1999 under Site Plan Application #261. The site was zoned PDLI-Planned Development Light Industrial at that time and three buildings were shown on the plans. There is very little documentation regarding uses permitted or dimensional standards for the planned development.



Land Use Permit #2001-5834

On October 31, 2001 Land Use Permit #2001-5834 was approved for the construction of the subject building.

Site Plan Application #388

On May 26, 2005, the Planning Commission considered SP #388 and determined the request to be a major change to the original site plan approved under SP #261. The proposed modifications were to add an outdoor seating/dining area between the Parcel A and B, to serve the McGurrin's Irish Pub (currently Mackle's Table and Taps); add dumpster capacity; and to approve an existing outside cooler. These improvements were subsequently reviewed under separate applications.

Rezoning Application #341

In 2009 Rezoning #341 was approved to rezone subject site (12.6 acres) from PDLI-Planned Development Light Industrial to GC-General Commercial. The site plan used for REZ #341, dated May 12, 2005, is used for reference for the current request.

Site Plan Application #406

SP #406 included a request to add dumpster capacity and add a screen wall at the east end of the common area between the two (2) multi-tenant buildings (on Parcel A and B). The Planning Commissioner determined this request to be a minor change to SP #261. SP #406 was approved by the Planning Commission on November 17, 2005.

Site Plan Application #441

In 2007, the Planning Commission reviewed the proposed seasonal outdoor seating area on the north side of McGurrin's Irish Pub (currently Mackle's), under SP #441. This request was determined by the Planning Commission to be a minor change to SP #261 and approved the request on June 28, 2007.

Land Use Permit #7836

On April 29, 2008, Land Use Permit #7836 was approved for the outdoor seating/dining area that was approved under SP #441.

Special Event Permit (PSE) #20-007 (for temporary outdoor use)

In June 2020, PSE #20-007 was issued, as a special event permit for an expanded outdoor seating/dining area for Mackle's Table and Taps, as a temporary outdoor use. This type of special event permit was initiated by the Township in 2020 as a response to the COVID-19 crisis, to provide temporary outdoor seating areas that could accommodate spatial distancing for patrons. The special event permit (for temporary outdoor use) is valid for 45 days, with the option of applying for an extension of the permit, prior to expiration, for an additional 45 days. PSE #20-007 has been extended three (3) times. PSE #20-007 expired on December 8, 2020. Inspections and approvals from other applicable government agencies are the responsibility of the applicant.

**Request**

The applicant is requesting to amend the approved site plan to expand the footprint of the existing outdoor seating/dining area at Mackle's Table and Taps and add four (4) tables and sixteen (16) seats. This would be considered a permanent outdoor seating/dining area. The existing outdoor seating/dining area is covered by an awning and fenced at the perimeter. This area is approximately nine (9) feet by forty-five (45) feet, or 405 square feet, and has 42 seats.

The proposed patio area extends eastward from the existing patio and is open air, with perimeter fencing to match the existing fencing. The patio dimensions are nine (9) feet by twenty (20) feet, or 180 square feet. Four (4) tables and sixteen (16) seats are proposed in this area. The floor surfacing is concrete in both areas.

### **Approval Procedure**

#### **SITE PLAN REVIEW – Applicable Site Standards**

The applicant is requesting to amend the approved site plan to expand the existing outdoor seating/dining area at Mackle's Table and Taps, by adding approximately 180 square feet of open-air dining area, with four (4) tables and sixteen (16) seats, as a permanent dining area. Section 4.47 of the Zoning Ordinance outlines standards for outdoor seating and dining.

A site plan application is required to be reviewed by the Planning Commission who will make a final decision on the site plan.

The proposed project also requires a land use permit from the Township as well as applicable approvals from other government agencies.

#### **Site Description**

Mackle's Table and Taps is located in the multi-tenant building on Parcel B (Parcel ID #4708-28-100-028), in the northern tenant space of the building, and addressed as 1774 Old US-23. The proposed expanded outdoor seating/dining area is on the north side of the multi-tenant building, directly adjacent to Mackle's Table and Taps.

#### **Impact Assessment**

An Impact Assessment was not required.

#### **Traffic Generation**

Traffic generation information was not required.

#### **Site Requirements**

##### **Outdoor Seating and Dining (Sec. 4.47) – Standards & Operating Restrictions**

##### **STANDARDS**

###### **Location**

- Required – All outdoor seating and dining shall be located immediately adjacent to the establishment with which it is associated; shall not encroach upon any public right-of-way; and a minimum five (5) feet of sidewalk shall be maintained free of tables and other encumbrances.
- Proposed – The proposed expanded outdoor seating/dining area connects to the restaurant's existing outdoor seating/dining area, which is directly adjacent to and accessed from Mackle's. Five (5) foot wide access is provided.
- Meets Requirement? – Yes
- Comment – (none)

###### **Defined Area**

- Required – If alcoholic beverages are to be served, outdoor seating and dining areas must be enclosed by a barrier a minimum 3.5 feet above the ground; the barrier must be decorative and cannot restrict visibility; may be constructed of permanent or temporary materials that are

compatible with the architectural character of the main establishment; and the barrier must meet all current fire codes, subject to review and approval of the Fire Marshal and must conform to the current Michigan Liquor Control Commission Rules and Regulations MLLC).

- Proposed – 42” tall black, metal fencing is proposed to define the expanded patio area and matches the existing patio fencing.
- Meets Requirement? – Yes, subject to approvals by all applicable government agencies.
- Comment – (none)

#### Capacity

- Required – Outdoor seating and dining areas shall not exceed 25% of the seating for the establishment. In this case there are 168 seats inside the restaurant building; thus 25% equates to a maximum of 42 seats in the outdoor seating/dining area.
- Proposed – 42 seats in existing outdoor seating/dining area PLUS 16 proposed seats in new patio area; EQUATES TO: 58 seats
- Meets Requirement? – It is assumed that the 25% capacity limitation for outdoor seating is related to potential parking needs. Per Section 4.47, additional parking is not required to accommodate outdoor seating and dining spaces, however parking for this request is discussed in this staff memorandum under “Parking Spaces”.
- Comment – (none)

#### Screening

- Required – Appropriate screening or fencing complimentary and aesthetically pleasing to the site shall be provided as determined necessary by the Planning Commission.
- Proposed – Black metal fencing is used to define the outdoor seating/dining area and matches existing fencing.
- Meets Requirement? – **TBD** by the Planning Commission if additional screening is required.
- Comment – an existing masonry screen wall is provided at the east end of the sidewalk area between the two multi-tenant buildings.

#### Pedestrian Circulation

- Required – The seating arrangement of outdoor seating and dining areas must comply with the State of Michigan Building Code and is subject to review and approval by the Hartland Township Fire Marshal.
- Proposed – A seating plan is not provided for the proposed area.
- Meets Requirement? – The seating arrangement plan shall be reviewed under the land use permit application.
- Comment – (none)

#### Parking Spaces

- Required – No additional parking spaces are required to accommodate outdoor seating and dining spaces.
- Proposed – None proposed or required.
- Meets Requirement? – Yes
- Comment – Typically parking calculations are not computed for outdoor seating/dining areas. If computed, staff referred to the Hartland Town Center 2005 Site Plan which provides parking calculations for the commercial center (parking to accommodate both multi-tenant buildings).

Per the plan, 135 parking spaces are required, and 203 parking spaces are provided (68 extra parking spaces).

If applying the parking standard for a restaurant with sit-down type with liquor license (Section 5.8.4.H), the following calculations are provided:

*REQUIRED: 22 parking spaces required per 1,000 square feet useable floor area; OR 0.6 spaces per seat, whichever is greater.*

*Useable Floor Area: 405 SF (existing) + 180 SF (proposed) = 585 SF; 0.585 SF x 22 spaces = 13 parking spaces required; OR*

*Number of seats x 0.6*

*58 seats x 0.6 = **35 parking spaces required***

The 2005 site plan shows 203 parking spaces, which equates to 68 parking spaces above the minimum number required. Using the parking calculations above, with 35 parking spaces potentially allotted to the Mackle's outdoor seating/dining area (existing + proposed), there is sufficient parking, plus an additional 33 parking spaces (68-35 = 33 spaces).

#### Furniture

- Required – Tables, chairs, table umbrellas, railings, planters, posts, and other items shall be of quality designs, materials, and workmanship to ensure safety and convenience of users and to enhance the visual and aesthetic quality of the area. All furniture must be made primarily of wood, metal, or a material of comparable quality.
- Proposed – Black metal tables and chairs to match existing furniture.
- Meets Requirement? – Yes
- Comment – (none)

#### Waste Disposal

- Required – Appropriate waste disposal containers shall be provided for the convenience and sanitary disposal of garbage or waste within and around outdoor seating and dining areas. Containers shall be complimentary to the style of furniture.
- Proposed – Information was not provided.
- Meets Requirement? – Staff review will occur under the land use permit application.
- Comment – Dissonant colors are not permitted for waste containers.

#### OPERATING RESTRICTIONS

##### Hours of Operation

- Required – All outdoor seating and dining areas shall be allowed to operate until 10:00 p.m. Sunday through Thursday and until 11:00 p.m. Friday and Saturday. All activities shall cease by the required times.
- Proposed – Sunday Through Thursday until 10:00 p.m.; Friday and Saturday until 11:00 p.m.
- Meets Requirement? – Yes
- Comment – (none)

### Season of Operation

- Required – All outdoor and dining areas shall be allowed to operate from April 1<sup>st</sup> through November 15<sup>th</sup> of a given year.
- Proposed – March through October
- Meets Requirement? – **TBD** by Planning Commission regarding the March starting date.
- Comment – (none)

### Furniture Storage

- Required – in the off-season from November 16<sup>th</sup> to March 31<sup>st</sup> of a given year, all furniture and items not fastened to the ground shall be removed and not stored outside.
- Proposed – Applicant has been informed of the regulations.
- Meets Requirement? – Yes
- Comment – (none)

### Lighting

- Required – Additional lighting shall be designed and erected in accordance with Section 5.13, Lighting, of the Zoning Ordinance.
- Proposed – Additional lighting is not proposed.
- Meets Requirement? – Yes
- Comment – (none)

### Noise

- Required – No music, intercom, or other noise shall be permitted that impacts adjacent properties in accordance with the Township's Nuisance Ordinance.
- Proposed – Information was not provided regarding proposed music, intercom or other amplified systems.
- Meets Requirement? – Applicant has been informed of the regulations.
- Comment – (none)

### Patron Entrance and Exit

- Required – Patron entrance and exit from the enclosed outdoor seating and dining area at establishments serving alcohol may only occur through the main establishment or an approved fire exit, as determined by the Fire Marshal. The approved fire exit shall have an alarm to alert the establishment in the event of unauthorized use when no emergency exists.
- Proposed – Information was not provided about the gates (ingress/egress access points).
- Meets Requirement? – **TBD** during the land use permit application with a review by the Hartland Township Fire Marshal.
- Comment – (none)

### Food and Beverage Service

- Required – All food and beverages shall be prepared within the main establishment. The service of alcoholic beverages is subject to the current Michigan Liquor Control Commission Rules and Regulations (MLCC).
- Proposed – Applicant to secure all applicable permits and approvals.
- Meets Requirement? – **TBD** by MLCC
- Comment – (none)

Display and Advertising

- Required – No outdoor seating or dining area shall be used for the display or location of merchandise, advertising materials, or signage. No permitted canopy, awning, or umbrellas shall contain advertising material or signage, except umbrellas shall be permitted to include the name of the business and/or logo located at the outer edge of the fabric with a maximum width of six (6) inches.
- Proposed – Applicant has been informed of the regulations.
- Meets Requirement? – Yes
- Comment – (none)

**Other Requirements-Zoning Ordinance Standards**

Nothing additional at this time.

**Hartland Township DPW Review**

No comments at this time.

**Hartland Township Engineer's Review (HRC)**

The request does not require review by the Township's Engineer (Hubbell, Roth, and Clark).

**Hartland Deerfield Fire Authority Review**

The Fire Authority approves the project subject to the contingencies noted in the letter dated November 23, 2020.

**Attachments**

1. Hartland Deerfield Fire Authority letter dated November 23, 2020 – *PDF version only*
2. MLCC License – *PDF version only*
3. MLCC Outdoor Service Order Approval dated September 10, 2020 – *PDF version only*
4. Mackle's outdoor patio fencing – *PDF version only*
5. Mackle's expanded outdoor patio plan – *PDF version only*
6. Hartland Town Center 2005 Site Plan – *PDF version only*

CC:

HRC, Twp Engineer (via email)

Mike Luce, Twp DPW Director (via email)

A. Carroll, Hartland FD Fire Chief (via email)

T:\PLANNING DEPARTMENT\PLANNING COMMISSION\2021 Planning Commission Activity\Site Plan Applications\SP #21-002 Mackle's outdoor seating\Staff reports\SP #21-002 Mackle's outdoor seating area staff report 02.18.2021.docx



HARTLAND DEERFIELD FIRE AUTHORITY  
**FIRE MARSHALS OFFICE**

Hartland Area Fire Dept.  
3205 Hartland Road

Voice: (810) 632-7676  
Fax: (810) 632-2176

November 23, 2020

To: Hartland Township Planning Commission  
From: Jennifer Whitbeck, Fire Inspector  
Re: Expanded Outdoor Seating SP 21-002  
Mackle's Tables & Taps 1774 N. Old US 23, Howell Mi 48843

To Whom it May Concern:

This is to inform you that the above named facility has met all of the requirements of the Hartland Area Fire Department and the Hartland Township Fire Prevention Code for final occupancy. Should you have any questions or I may be of further assistance, please don't hesitate to contact me at your convenience.

Yours In Fire Safety,

A handwritten signature in black ink that reads 'Jennifer Whitbeck'.

Jennifer Whitbeck  
Fire Inspector



# STATE OF MICHIGAN - LIQUOR CONTROL COMMISSION

This is to certify that a License is hereby granted to the person(s) named with the stipulation that the licensee is in compliance with Commission Rule R 436.1003, which states that a licensee shall comply with all state and local building, plumbing, zoning sanitation, and health laws, rules, and ordinances as determined by the state and local law enforcement officials who have jurisdiction over the licensee. Issuance of this license by the Michigan Liquor Control Commission does not waive this requirement. The licensee must obtain all other required state and local licenses, permits, and approvals for this business before using this license for the sale of alcoholic liquor on the licensed premises.

This License is granted in accordance with the provisions of Act 58 of the Public Acts of 1998 and shall continue in force for the period designated unless suspended, revoked, or declared null and void by the Michigan Liquor Control Commission. Failure to comply with all laws and rules may result in the revocation of this license.

**BUSINESS ID: 244005**  
**MACKLE ENTERPRISES LLC**  
**D/B/A MACKLE'S TABLE AND TAPS**

**THIS LICENSE SUPERSEDES ANY AND ALL OTHER LICENSES ISSUED PRIOR TO SEPTEMBER 11, 2020** IN WITNESS WHEREOF,

FILE NUMBER: L20387  
this License has been duly signed and sealed by both the Michigan Liquor Control Commission and the Licensee(s).

LIVINGSTON COUNTY  
L-265  
HARTLAND TWP

LIQUOR CONTROL COMMISSION

1774 N OLD US 23,  
HOWELL, MI 48843-7193

LICENSE # L-000265215  
LICENSE: Class C

ACT:

L-000266967 Specially Designated Merchant

TOTAL BARS: 1

OUTDOOR SERVICE AREA: 2

ROOMS:

DIRECT-CONNECTIONS: 0

PASSENGERS:

PERMIT

Outdoor Service Area(1), Sunday Sales (PM), Sunday Sales (AM), Outdoor Service Area(1), Specific Purpose(Food) [Sunday-Sunday Hours: 11:00 AM-12:00 PM], Entertainment

LICENSEE(S) SIGNATURE(S)

2020

2021

**LICENSE EFFECTIVE MAY 1, 2020 - EXPIRES APRIL 30, 2021**



MACKLE ENTERPRISES LLC  
MACKLE'S TABLE AND TAPS,

1774 N OLD US 23,  
HOWELL, MI 48843-7193





STATE OF MICHIGAN  
DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS  
LIQUOR CONTROL COMMISSION

\* \* \* \* \*

In the matter of the request of <b>MACKLE ENTERPRISES LLC</b> 1774 N Old US 23 Howell, MI 48843-7193  <u>Livingston County</u>	) ) ) ) ) ) )	Request ID No. 2009-11534
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At the September 10, 2020 meeting of the Michigan Liquor Control Commission in Lansing, Michigan.

PRESENT: Pat Gagliardi, Chair  
 Dennis Olshove, Commissioner  
 Geralyn A. Lasher, Commissioner

**OUTDOOR SERVICE PERMISSION APPROVAL ORDER**

Mackle Enterprises LLC (“licensee”) has filed an application to request for authorization for the outdoor sale, service, and consumption of alcoholic beverages in an area measuring up to 29’ x 70’, located directly adjacent to the licensed premises, and which is well-defined and clearly marked; request to cancel the Limited Permanent Outdoor Service Area.

Article IV, Section 40, of the Michigan Constitution (1963), permits the legislature to establish a Liquor Control Commission, which shall exercise complete control of the alcoholic beverage traffic within this state, including the retail sales thereof, subject to statutory limitations. MCL 436.1201(2) provides the Commission with the sole right, power, and duty to control the alcoholic beverage traffic and traffic in other alcoholic liquor within this state, including the manufacture, importation, possession, transportation and sale thereof.

Commission records reflect that the licensee is the holder of 2020 Class C and Specially Designated Merchant licenses with Sunday Sales Permits (A.M. and P.M.), Entertainment Permit, Specific Purpose Permit (Food), and Outdoor Service (1 Area) located at the above noted address.

The requirements for outdoor service pursuant to rule R 436.1419(1) are that the licensee shall not have outdoor service without the prior written approval of the Commission, and that the on-premises licensee shall ensure that the area is well-defined and clearly marked and they shall not sell or allow the consumption of alcoholic liquor outdoors, except in the defined area.

The applicant is authorized to do business in Michigan, as required under MCL 436.1535 for licensure.

The Commission finds that it has considered the provisions as required in administrative rule R 436.1105 in the consideration of this request.

After reviewing the file and discussion of the issues at the meeting, the Commission finds that all the requirements have been met and this request should be approved.

THEREFORE, IT IS ORDERED that:

- A. The licensee's request for authorization for the outdoor sale, service, and consumption of alcoholic beverages in an area measuring up to 29' x 70', located directly adjacent to the licensed premises, and which is well-defined and clearly marked, is APPROVED subject to the following:
  1. **The outdoor service area must comply with all requirements, including but not limited to, reduced occupancy and social distancing requirements under any current Executive Order, any local health department orders, and any local ordinances related to the Coronavirus (Covid-19) pandemic.**
  2. The licensee shall notify the Commission in writing, and receive Commission approval, prior to making any changes to the size of the approved outdoor service area.

3. The outdoor service area approved by the Commission is part of the licensed premises and the licensee must comply with all requirements of the Michigan Liquor Control Code and administrative rules in relation to the approved outdoor service area.
  4. The licensee will not permit the sale, service, or consumption of alcoholic liquor outdoors, except in the well-defined and clearly marked area pursuant to the provisions of administrative rule R 436.1419(1).
  5. The licensee must not allow alcoholic beverages purchased for consumption in the outdoor service area approved in this order to be removed from and taken to any adjacent unlicensed area(s).
  6. The licensee is prohibited from allowing the sale, service, possession or consumption of alcoholic beverages in any portion of the approved outdoor service area designated for the playing of sporting activities or for sporting events, including any break or intermission.
  7. The licensee must not allow alcoholic beverages purchased for consumption in the outdoor service area approved in this order to be taken into any area(s) that is being used for parking where sale, service, and consumption of alcoholic beverages is prohibited.
  8. The licensee must take all necessary actions to ensure the health, safety and welfare of all patrons and guests.
- B. The licensee has a continuing duty to provide the Commission with up-to-date contact information and must notify the Commission in writing of any changes to its mailing address, phone numbers, electronic mail address, and other contact information it provides the Commission, pursuant to administrative rule R 436.1048(2).
- C. Under administrative rule R 436.1003(1), the licensee shall comply with all state and local building, plumbing, zoning, sanitation, and health laws, rules, and ordinances as determined by the state and local law enforcement officials who have jurisdiction over the licensee. Under administrative rule R 436.1003(2), a licensee shall not use a license at the licensed premises unless a temporary or

- permanent certificate of occupancy has been issued by the local unit of government having jurisdiction over the location of the licensed premises or the licensed premises complies with administrative rule R 436.1003(1). Approval by the Michigan Liquor Control Commission does not waive these requirements. The licensee must obtain all other required state and local licenses, permits, and approvals before opening the business for operation.
- D. Failure to comply with all laws and rules may result in the revocation of the approval contained in this order.

MICHIGAN LIQUOR CONTROL COMMISSION



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Pat Gagliardi, Chair



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Dennis Olshove, Commissioner

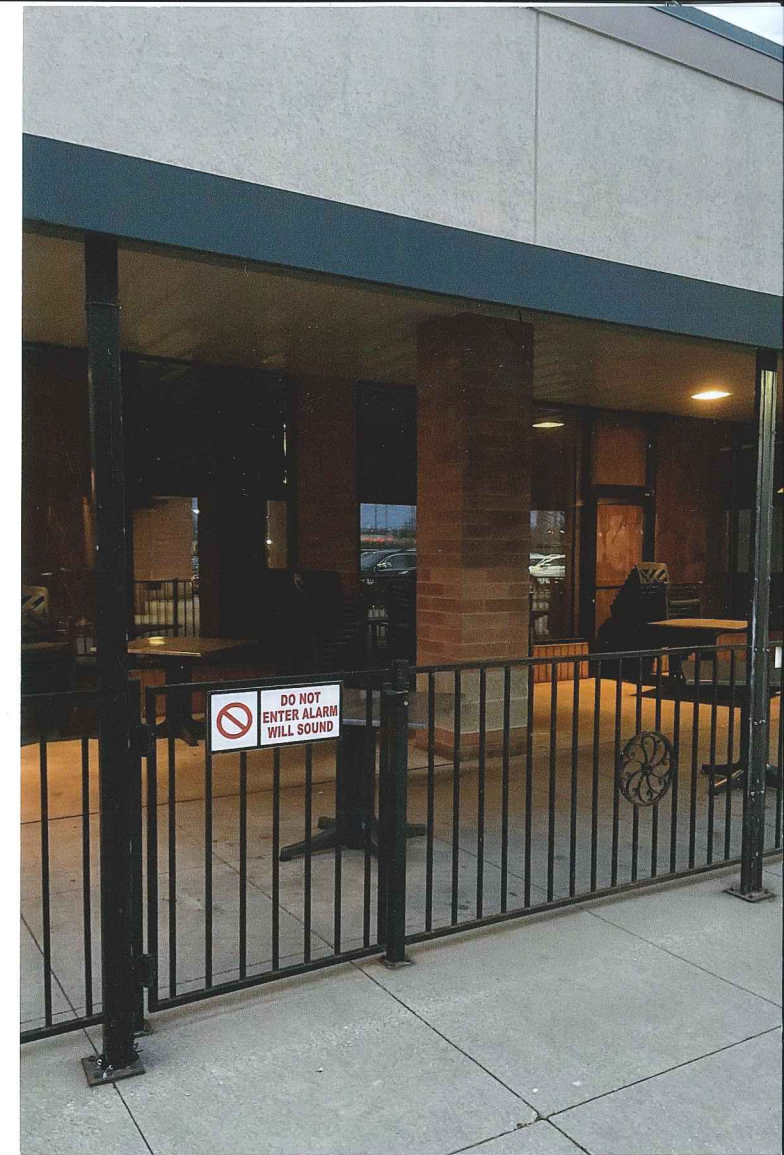


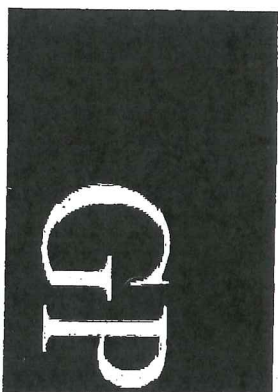
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GERALYN A. LASHER, Commissioner

J2

Date Mailed: 9/11/2020



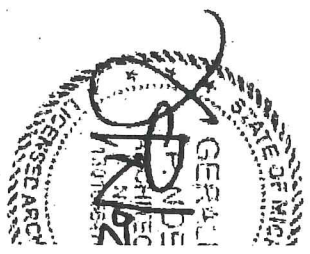


**GERALD I  
ARCHIT**  
MICHIGAN REG. NO

**399 LUCERN  
SPARTANBURG  
P: 864.583.2215 F:  
mail@gpnarc**

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**DESIGNED BY:  
APPROVED BY:**



**11-15-2019 - ISSUE I**

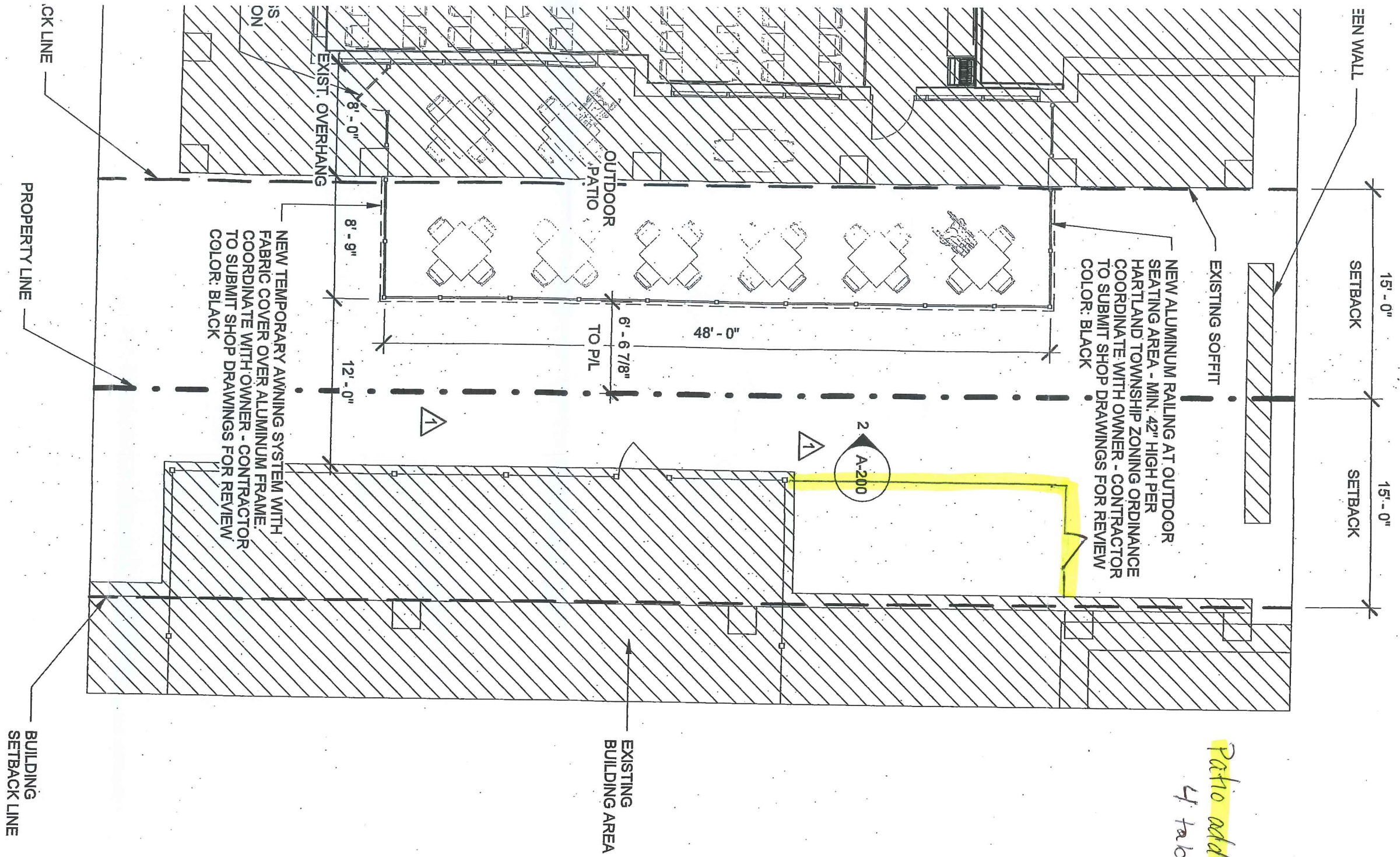
- REVISIONS:**
- | No. | Description   |
|-----|---|
| 1   | REVISED PER PLAN REVIEW COMMENTS                                    |
| 2   | REVISED PER HARTLAND DPW COMMENTS                                   |
| 5   | REVISED WALK-IN SCREE WALL DIMENSIONS, REAR EXIT DOOR & UTILITY ROO |
| 6   | REVISED REAR SIDEWALL   |

**CLIENT NAME:**

**WINGS ONE, LL  
1788 OLD US 23, HOWE**

**PROJECT NAME:**

*Patio addition  
4 tables*



RECEIVED

AUG 13 2020

HARTLAND TOWNSHIP

3 ENLARGED PATIO  
1/8" = 1'-0"

ZONING REQUIREMENTS

PROJECT:

WINGS ETC. UPFIT TO AN EXISTING TENANT SPACE





GRAPHIC SCALE  
 50 0 25 50  
 ( IN FEET )  
 1 inch = 50 feet

**LEGEND**

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE

**PARKING CALCULATIONS**

BUILDING "A" - GENERAL COMMERCIAL  
 19,650 S.F./300 = 65 SPACES  
 BUILDING "B" - GENERAL COMMERCIAL  
 3,750 S.F./300 = 10 SPACES  
 RESTAURANT 6,000 S.F./100 = 60 SPACES  
 TOTAL PARKING REQUIRED = 135 SPACES  
 TOTAL PARKING PROVIDED = 203 SPACES

**BENCHMARK:**

1. RM OF SANITARY MANHOLE 15-3  
 LOCATED 265 FT. NORTH OF THE SOUTH  
 LINE OF SUBJECT PARCEL AND 33 FT.  
 EAST OF THE CENTERLINE OF OLD US 23.  
 ELEVATION: 981.92 (U.S.G.S. DATUM)

**SITE DATA**

ZONED:	PD-LI	(REQUIRED)	(PROVIDED) PARCEL "A"	(PROVIDED) PARCEL "B"
LOT AREA:	40,000 S.F. (MIN.)		162,914 S.F.	114,127 S.F.
LOT WIDTH:	120 FT. WD. (MIN.)		333.9 FT.	244.9 FT.
LOT COVERAGE:	75 % (MAXIMUM)		64.8 %	61.0 %
SETBACKS:	(REQUIRED)	(PROVIDED)		
FRONT	80 FT. (MINIMUM)	243.5 FT.		227.3 FT.
SIDE	15 FT. (MINIMUM)	20.8 FT.		18.2 FT.
REAR	50 FT. (MINIMUM)	91.5 FT.		88.6 FT.
BUILDING HEIGHT:	35 FT. (MAXIMUM)	EXIST. BLDG.		EXIST. BLDG.
GROSS BUILDING AREA:		20,429 SQ. FT.		8,145 SQ. FT.

**NOTES**

- NO GRADING CHANGES ARE PROPOSED.
- NO UTILITY CHANGES ARE PROPOSED.

**RECEIVED**  
 MAR 18 2009

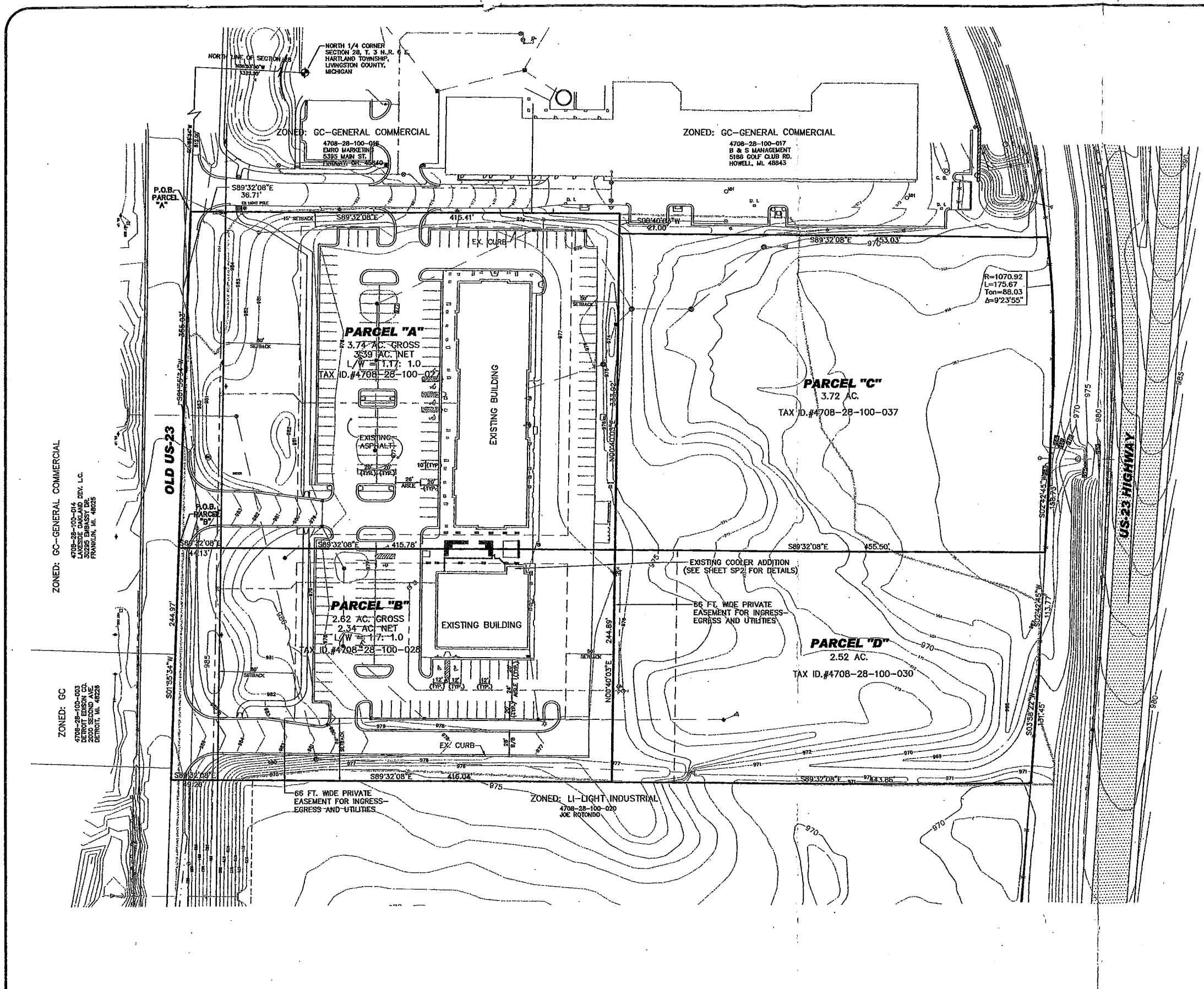
HARTLAND TOWNSHIP



3 WORKING DAYS  
 BEFORE YOU DIG  
 CALL MISS DIG  
 800-482-7171  
 (TOLL FREE)

NOTE: UTILITY INFORMATION ON THIS DRAWING MAY BE FROM INFORMATION RECEIVED TO THIS FIRM BY THE UTILITY COMPANIES, CITY/COUNTY AGENCIES AND OTHER VARIOUS SOURCES. NO GUARANTEE IS GIVEN AS TO THE COMPLETENESS OR ACCURACY THEREOF.  
 PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES (IN CONFLICT WITH PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD.  
 CALL MISS DIG.

**DESIGN INC**  
 (810) 227-9533  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 2183 PLESS DRIVE  
 BRIGHTON, MICHIGAN 48114



DESIGN: WMP	DATE	REVISION-DESCRIPTION	DATE	REVISION-DESCRIPTION
DRAFT: LF.				
CHECK: WMP				

**HARTLAND TOWN CENTER**

**SITE PLAN FOR PARCELS A, B, C, D.**

CLIENT:  
 HARTLAND TOWN CENTER  
 895 LADD RD.  
 WALLED LAKE, MI. 48390

SCALE: 1"=50'  
 PROJECT No.: 50787  
 DWG NAME: 787-SPLITS  
 PRINT: MAY 12 2005

**SP1**