



Board of Trustees

William J. Fountain, Supervisor	Matthew J. Germane, Trustee
Larry N. Ciofu, Clerk	Summer L. McMullen, Trustee
Kathleen A. Horning, Treasurer	Denise M. O'Connell, Trustee
	Joseph M. Petrucci, Trustee

Board of Trustees Regular Meeting Agenda Hartland Township Hall Tuesday, February 01, 2022 7:00 PM

1. Call to Order
 2. Pledge of Allegiance
 3. Roll Call
 4. Approval of the Agenda
 5. Call to the Public
 6. Approval of the Consent Agenda
 - [a.](#) Approve Payment of Bills
 - [b.](#) Approve Post Audit of Disbursements Between Board Meetings
 - [c.](#) 01-18-2022 Hartland Township Board Regular Meeting Minutes
 7. Pending & New Business
 - [a.](#) Site Plan with Special Land Use Application #22-001 (Automobile fueling and convenience station - Clyde Road)
 - [b.](#) Ordinance Amendment to Section 4.6 (Ponds)
 - [c.](#) Resolution Confirming the Special Assessment Roll for Hartland Woods Road Improvement SAD (4 of 4)
 - [d.](#) Resolution of Intent Opposing Incorporation as a Charter Township
 8. Board Reports
- [BRIEF RECESS]
9. Information / Discussion
 - a. Manager's Report
 - [b.](#) Hartland Township FY2022-2023 Budget Discussion
 10. Adjournment

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Susan Case, Finance Clerk

Subject: Approve Payment of Bills

Date: January 25, 2022

Recommended Action

Move to approve the bills as presented for payment.

Discussion

Bills presented total \$27,673.90. The bills are available in the Finance office for review.

No notable invoices.

Financial Impact

Is a Budget Amendment Required? ☐ Yes ☒ No

All expenses are covered under the adopted FY22 budget.

Attachments

Bills for 02.01.2022

01/25/2022 04:11 PM
User: SUSANC
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 02/01/2022 - 02/01/2022
BOTH JOURNALIZED AND UNJOURNALIZED

Page: 1/9

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

59EAST	59 EAST \$5 CAR WASH	01/10/2022	1119	FOA	CAR WASH	
46935	P.O. BOX 356	02/01/2022		N		5.00
01/10/2022	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		02/01/2022		N		5.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-239-930.000	REPAIRS & MAINTENANCE	5.00

VENDOR TOTAL: 5.00

APPLIED	APPLIED IMAGING	01/24/2022	1885885	FOA	10/21/21 - 1/20/22 - RICOH MPC5503	
46978	7718 SOLUTION CENTER	02/01/2022		N		367.55
01/24/2022	CHICAGO IL, 60677-7007	/ /	0.0000	N		0.00
		02/01/2022		N		367.55

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-299-930.000	REPAIRS & MAINTENANCE	367.55

VENDOR TOTAL: 367.55

1400	BS&A SOFTWARE	02/01/2022	138862	FOA	2/1/22 - 2/1/23 DPP SERVICE/SUPPORT	
46941	14965 ABBEY LANE	02/01/2022		N		426.00
02/01/2022	BATH MI, 48808	/ /	0.0000	N		0.00
		02/01/2022		N		426.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-253-930.000	REPAIRS & MAINTENANCE	426.00

VENDOR TOTAL: 426.00

CINTAS	CINTAS CORPORATION	01/24/2022	4103501080	FOA	MATS	
46976	P.O. BOX 630910	02/01/2022		N		54.11
01/24/2022	CINCINNATI OH, 45263	/ /	0.0000	N		0.00
		02/01/2022		N		54.11

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	54.11

VENDOR TOTAL: 54.11

CITYOFFENT	CITY OF FENTON	01/18/2022	3911	FOA	BACTERIOLOGICAL SAMPLES	
46963	301 S LEROY ST	02/01/2022		N		16.00
01/18/2022	FENTON MI, 48430	/ /	0.0000	N		0.00
		02/01/2022		Y		16.00

Open

01/25/2022 04:11 PM
User: SUSANC
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 02/01/2022 - 02/01/2022
BOTH JOURNALIZED AND UNJOURNALIZED

Page: 2/9

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	16.00

VENDOR TOTAL: 16.00

CLASSIC	CLASSIC TENT AND EVENT	01/25/2022	21043	FOA	TENT FOR WINTERFEST	
46984	800 RICKETT RD	02/01/2022		N		9,090.50
01/25/2022	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		02/01/2022		N		9,090.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-955.000	PARKS - SPECIAL EVENTS	9,090.50

VENDOR TOTAL: 9,090.50

FIVESTAR	FIVE STAR SIGNS, INC.	01/06/2022	17623	FOA	ROLL SIGN	
46980	10099 BERGIN RD, BLDG D	02/01/2022		N		10.00
01/06/2022	HOWELL MI, 48843	/ /	0.0000	N		0.00
		02/01/2022		Y		10.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-441-727.000	SUPPLIES & POSTAGE	10.00

VENDOR TOTAL: 10.00

5888	FOSTER, SWIFT, COLLINS & SMITH	12/31/2021	825516	FOA	DECEMBER 2021	
46946	313 S. WASHINGTON SQUARE	02/01/2022		N		607.50
01/17/2022	LANSING MI, 48933-2193	/ /	0.0000	N		0.00
		02/01/2022		Y		607.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-209-826.000	LEGAL FEES	607.50

VENDOR TOTAL: 607.50

GIEGLERS	GIEGLER'S FEED-SEED & LANDSCAPE	01/25/2022	184890	FOA	STRAW	
46983	1385 PLEASANT VALLEY RD	02/01/2022		N		480.00
01/25/2022	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		02/01/2022		N		480.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-955.000	PARKS - SPECIAL EVENTS	480.00

VENDOR TOTAL: 480.00

0150	HARTLAND CONSOLIDATED SCHOOLS	12/31/2021	173066	FOA	DECEMBER 2021 FUEL	
------	-------------------------------	------------	--------	-----	--------------------	--

01/25/2022 04:11 PM
User: SUSANC
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 02/01/2022 - 02/01/2022
BOTH JOURNALIZED AND UNJOURNALIZED

Page: 3/9

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

46942	9525 E HIGHLAND ROAD	02/01/2022		N		174.57
01/10/2022	HOWELL MI, 48843	/ /	0.0000	N		0.00
		02/01/2022		N		174.57

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-239-860.000	GASOLINE	90.25
536-000-860.000	GASOLINE	84.32
		<u>174.57</u>

VENDOR TOTAL: 174.57

ROADFUND	HARTLAND ROAD FUND	01/20/2022	012022	FOA	TO PREVENT DORMANCY ON ACCOUNT	
46968		02/01/2022		N		50.00
01/20/2022	,	/ /	0.0000	Y		0.00
		02/01/2022		N		50.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
204-000-003.001	ROAD MILLAGE - HURON VALLEY STATE BANK	50.00

VENDOR TOTAL: 50.00

0001	HARTLAND TOWNSHIP GENERAL FUND	12/31/2021	01/18/22	FOA	DEC 2021 MOBILE HOME TAX DISBURSEMEN	
46959		02/01/2022		N		276.50
01/18/2022	,	/ /	0.0000	N		0.00
		02/01/2022		N		276.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
701-000-290.300	MOBILE HOME FEES ESCROW	276.50

0001	HARTLAND TOWNSHIP GENERAL FUND	01/13/2022	011322	FOA	DECEMBER 2021 - DOG LICENSE PMTS	
46937		02/01/2022		N		21.00
01/13/2022	,	/ /	0.0000	N		0.00
		02/01/2022		N		21.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
701-000-290.250	DOG LICENSES ESCROW	21.00

0001	HARTLAND TOWNSHIP GENERAL FUND	11/30/2021	011822	FOA	NOV 2021 MOBILE HOME TAX DISBURSEMEN	
46957		02/01/2022		N		275.50
01/18/2022	,	/ /	0.0000	N		0.00
		02/01/2022		N		275.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
701-000-290.300	MOBILE HOME FEES ESCROW	275.50

01/25/2022 04:11 PM
User: SUSANC
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 02/01/2022 - 02/01/2022
BOTH JOURNALIZED AND UNJOURNALIZED

Page: 4/9

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

VENDOR TOTAL: 573.00

HTM59	HARTLAND TOWNSHIP M-59 SAVINGS	01/20/2022	012022	FOA	TO PREVENT DORMANCY ON ACCOUNT	
46972		02/01/2022		N		50.00
01/20/2022	,	/ /	0.0000	Y		0.00
		02/01/2022		N		50.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
354-000-003.001	M59 SAVINGS @ THE STATE BANK	50.00

VENDOR TOTAL: 50.00

2838	HARTLAND TOWNSHIP SEWER FUND	01/20/2022	012022	FOA	TO PREVENT DORMANCY ON ACCOUNT	
46970		02/01/2022		N		50.00
01/20/2022	,	/ /	0.0000	Y		0.00
		02/01/2022		N		50.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-000-003.008	FIRST NATIONAL BANK	50.00

2838	HARTLAND TOWNSHIP SEWER FUND	01/20/2022	012022	FOA	TO PREVENT DORMANCY ON ACCOUNT	
46969		02/01/2022		N		50.00
01/20/2022	,	/ /	0.0000	Y		0.00
		02/01/2022		N		50.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-000-003.004	SEWER - MACATAWA BANK	50.00

VENDOR TOTAL: 100.00

HRTWTRR&RF	HARTLAND WATER REPAIR/RPLCMNT FUND	01/20/2022	012022	FOA	TO PREVENT DORMANCY ON ACCOUNT	
46971	2655 CLARK RD	02/01/2022		N		50.00
01/20/2022	HARTLAND MI, 48353	/ /	0.0000	Y		0.00
		02/01/2022		N		50.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
539-000-003.001	WTRRR FIRST NATIONAL BANK	50.00

VENDOR TOTAL: 50.00

HUBBELROTH	HUBBELL, ROTH & CLARK, INC.	12/02/2021	192598	FOA	HUNGRY HOWIES CONSTRUCTION OBSERVATI	
46960	PO BOX 824	02/01/2022		N		1,225.00
12/02/2021	BLOOMFIELD HILLS MI, 48303-0824	/ /	0.0000	N		0.00
		02/01/2022		Y		1,225.00

Open

01/25/2022 04:11 PM
User: SUSANC
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 02/01/2022 - 02/01/2022
BOTH JOURNALIZED AND UNJOURNALIZED

Page: 5/9

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

GL NUMBER	DESCRIPTION	AMOUNT
101-400-801.100-0024	HUNGRY HOWIES-8351 PETERSON INV GROUP	1,225.00

VENDOR TOTAL: 1,225.00

KNOCKERBAL	KNOCKERBALLMICHIGAN.COM	01/24/2022	368	FOA	WINTERFEST	
46977	38741 ANN ARBOR RD	02/01/2022		N		1,200.00
01/24/2022	LIVONIA MI, 48150	/ /	0.0000	N		0.00
		02/01/2022		N		1,200.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-955.000	PARKS - SPECIAL EVENTS	1,200.00

VENDOR TOTAL: 1,200.00

0220	LIVINGSTON COUNTY TREASURER	11/30/2021	01/18/22	FOA	NOV 2021 MOBILE HOME TAX DISBURSEMEN	
46958	200 E. GRAND RIVER	02/01/2022		N		1,377.50
01/18/2022	HOWELL MI, 48843	/ /	0.0000	N		0.00
		02/01/2022		N		1,377.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
701-000-290.300	MOBILE HOME FEES ESCROW	1,377.50

0220	LIVINGSTON COUNTY TREASURER	01/13/2022	011322	FOA	DECEMBER 2021 - DOG LICENSE PMTS	
46938	200 E. GRAND RIVER	02/01/2022		N		209.00
01/13/2022	HOWELL MI, 48843	/ /	0.0000	N		0.00
		02/01/2022		N		209.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
701-000-290.250	DOG LICENSES ESCROW	209.00

0220	LIVINGSTON COUNTY TREASURER	12/31/2021	011822	FOA	DEC 2021 MOBILE HOME DISBURSEMENT	
46956	200 E. GRAND RIVER	02/01/2022		N		1,382.50
01/18/2022	HOWELL MI, 48843	/ /	0.0000	N		0.00
		02/01/2022		N		1,382.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
701-000-290.300	MOBILE HOME FEES ESCROW	1,382.50

VENDOR TOTAL: 2,969.00

MRC	MICHIGAN RECREATIONAL CONSTRUCTION	01/18/2022	222015A	FOA	INSTALLATION OF ICE RINK AT HERITAGE	
46964	PO BOX 2127	02/01/2022		N		1,375.00
01/18/2022	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		02/01/2022		N		1,375.00

Open

01/25/2022 04:11 PM
User: SUSANC
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 02/01/2022 - 02/01/2022
BOTH JOURNALIZED AND UNJOURNALIZED

Page: 6/9

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

GL NUMBER	DESCRIPTION	AMOUNT
101-751-955.000	PARKS - SPECIAL EVENTS	1,375.00

VENDOR TOTAL: 1,375.00

LCDPA	MICHIGAN.COM	01/11/2022	011122	FOA	2/1/22 - 7/31/22 SERVICE	
46931	PO BOX 742520	02/01/2022		N		65.01
01/11/2022	CINCINNATI OH, 45274-2520	/ /	0.0000	N		0.00
		02/01/2022		N		65.01

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-101-804.000	MEMBERSHIP & DUES	65.01

VENDOR TOTAL: 65.01

MUNICODE	MUNICODE	12/14/2021	368083	FOA	12/1/21 - 11/30/22 ANNUAL WEBSITE HO	
46940	P.O. BOX 2235	02/01/2022		N		3,200.00
12/14/2021	TALLAHASSEE FL, 32316	/ /	0.0000	N		0.00
		02/01/2022		N		3,200.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
577-000-946.000	PEG SERVER & SOFTWARE RENTAL	3,200.00

VENDOR TOTAL: 3,200.00

MUNSELL	MUNSELL ENTERPRISES	01/17/2022	1025	FOA	60 X 100 ICE RINK FOR WINTERFEST	
46966	6679 MASON ROAD	02/01/2022		N		414.00
01/17/2022	FOWLERVILLE MI, 48836	/ /	0.0000	N		0.00
		02/01/2022		N		414.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-955.000	PARKS - SPECIAL EVENTS	414.00

VENDOR TOTAL: 414.00

ORKIN	ORKIN	12/28/2021	221332457	FOA	PEST CONTROL AT TOWNSHIP HALL	
46982	21068 BRIDGE ST.	02/01/2022		N		66.85
12/28/2021	SOUTHFIELD MI, 48034	/ /	0.0000	N		0.00
		02/01/2022		N		66.85

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	66.85

ORKIN	ORKIN	01/21/2022	222462121	FOA	PEST CONTROL AT TOWNSHIP HALL	
46974	21068 BRIDGE ST.	02/01/2022		N		66.85

01/25/2022 04:11 PM
 User: SUSANC
 DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
 EXP CHECK RUN DATES 02/01/2022 - 02/01/2022
 BOTH JOURNALIZED AND UNJOURNALIZED

Page: 7/9

Vendor Code	Vendor name	BOTH OPEN AND PAID	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	Post Date	CK Run Date	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

01/21/2022	SOUTHFIELD MI, 48034	/ /	0.0000	N		0.00
		02/01/2022		N		66.85

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	66.85

ORKIN	ORKIN	01/12/2022	222462999	FOA	PEST CONTROL AT HERO TEEN CENTER	
46936	21068 BRIDGE ST.	02/01/2022		N		65.88
01/12/2022	SOUTHFIELD MI, 48034	/ /	0.0000	N		0.00
		02/01/2022		N		65.88

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	65.88

VENDOR TOTAL: 199.58

1600	PETTY CASH (TREASURER)	01/13/2022	011322	FOA	PETTY CASH REIMBURSEMENT	
46939		02/01/2022		N		146.39
01/13/2022	,	/ /	0.0000	N		0.00
		02/01/2022		N		146.39

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-209-957.000	EDUCATION/TRAINING/CONVENTION	50.00
101-101-727.000	SUPPLIES & POSTAGE	24.00
101-253-727.000	SUPPLIES & POSTAGE	2.34
101-253-727.000	SUPPLIES & POSTAGE	20.65
101-253-727.000	SUPPLIES & POSTAGE	49.40
		146.39

VENDOR TOTAL: 146.39

PLANTWISE	PLANTWISE	01/24/2022	22-4710	FOA	SETTLERS PARK AREA 5 WOODY INVASIVES	
46979	646 BARBER AVE	02/01/2022		N		3,300.00
01/24/2022	ANN ARBOR MI, 48103	/ /	0.0000	N		0.00
		02/01/2022		Y		3,300.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-930.000	REPAIRS & MAINTENANCE	3,300.00

VENDOR TOTAL: 3,300.00

RESERVE	RESERVE ACCOUNT	01/18/2022	011822	FOA	REPLENISH FUND FOR ALL DEPTS	
46944	ACCT #24969628	02/01/2022		N		401.69
01/18/2022	PO BOX 223648	/ /	0.0000	N		0.00
	PITTSBURGH PA, 15250-2648					

01/25/2022 04:11 PM
User: SUSANC
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 02/01/2022 - 02/01/2022
BOTH JOURNALIZED AND UNJOURNALIZED

Page: 8/9

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

Open		02/01/2022		N		401.69
------	--	------------	--	---	--	--------

GL NUMBER	DESCRIPTION	AMOUNT
101-209-727.000	SUPPLIES & POSTAGE	4.44
101-253-811.100	TAX COLLECTION	14.31
101-253-727.000	SUPPLIES & POSTAGE	23.85
101-299-727.000	SUPPLIES & POSTAGE	216.78
101-400-727.000	SUPPLIES & POSTAGE	3.71
590-000-727.000	SUPPLIES & POSTAGE	31.88
101-191-727.000	SUPPLIES & POSTAGE	40.40
101-441-727.000	SUPPLIES & POSTAGE	34.98
536-000-727.000	SUPPLIES/POSTAGE	31.34
		401.69

VENDOR TOTAL: 401.69

STAPLES	STAPLES	01/15/2022	8064916272	FOA	MISC SUPPLIES	
46943	PO BOX 660409	02/01/2022		N		346.78
01/15/2022	DALLAS TX, 75266-0409	/ /	0.0000	N		0.00
Open		02/01/2022		N		346.78

GL NUMBER	DESCRIPTION	AMOUNT
101-299-727.000	SUPPLIES & POSTAGE	13.93
101-265-740.000	OPERATING SUPPLIES	35.58
101-172-727.000	SUPPLIES & POSTAGE	21.49
101-299-727.000	SUPPLIES & POSTAGE	27.49
101-299-727.000	SUPPLIES & POSTAGE	18.19
101-192-727.000	SUPPLIES & POSTAGE	219.59
101-567-727.000	SUPPLIES & POSTAGE	10.51
		346.78

STAPLES	STAPLES	01/22/2022	8064985436	FOA	TRASH BAGS	
46975	PO BOX 660409	02/01/2022		N		22.22
01/22/2022	DALLAS TX, 75266-0409	/ /	0.0000	N		0.00
Open		02/01/2022		N		22.22

GL NUMBER	DESCRIPTION	AMOUNT
101-265-740.000	OPERATING SUPPLIES	22.22

VENDOR TOTAL: 369.00

SCADA	UTILITIES INSTRUMENTATION SERVICE	01/20/2022	530366020	FOA	CALIBRATE WTP METERS	
46967	2290 BISHOP CIRCLE EAST	02/01/2022		N		755.00
01/20/2022	DEXTER MI, 48130	/ /	0.0000	N		0.00
Open		02/01/2022		N		755.00

01/25/2022 04:11 PM
User: SUSANC
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 02/01/2022 - 02/01/2022
BOTH JOURNALIZED AND UNJOURNALIZED

Page: 9/9

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

GL NUMBER	DESCRIPTION	AMOUNT
536-000-930.001	REPAIRS & MAINTENANCE SYSTEM	755.00

VENDOR TOTAL: 755.00

TOTAL - ALL VENDORS: 27,673.90

FUND TOTALS:

Fund 101 - GENERAL FUND	19,763.36
Fund 204 - MUNICIPAL STREET FUND	50.00
Fund 354 - 2009 M-59 ROAD IMPROVEMENTS BOND	50.00
Fund 536 - WATER SYSTEM FUND	886.66
Fund 539 - WATER REPLACEMENT FUND	50.00
Fund 577 - CABLE TV FUND	3,200.00
Fund 590 - SEWER OPERATIONS & MAINTENANCE FUND	131.88
Fund 701 - TRUST AND AGENCY	3,542.00

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Susan Case, Finance Clerk

Subject: Approve Post Audit of Disbursements Between Board Meetings

Date: January 25, 2022

Recommended Action

Move to approve the presented disbursements under the post-audit resolution.

Discussion

The following disbursements have been made since the last board meeting:

Accounts Payable – \$1,703.65

January 31, 2022 Payroll - \$69,619.61

Financial Impact

Is a Budget Amendment Required? ☐ Yes ☒ No

All expenses are covered under the adopted FY22 budget.

Attachments

Post Audit Bills List 01.13.2022

Payroll for 01.31.2022

Check Date	Bank	Check #	Payee	Description	GL #	Amount
01/13/2022	FOA	42460	CONSUMERS ENERGY	UTILITIES - GAS	101-265-920.001	249.54
		42460		STREET LIGHTS	101-448-921.000	210.15
		42460		UTILITIES - ELECTRIC	206-000-920.002	45.61
		42460		UTILITIES - GAS	536-000-920.001	342.96
						<hr/> 848.26
01/13/2022	FOA	42461	DELTA DENTAL	ACCRUED DENTAL BENEFITS	001-000-257.101	149.01
		42461		EMPLOYMENT EXPENSE	101-192-716.000	58.56
		42461		EMPLOYMENT EXPENSE	101-209-716.000	55.30
		42461		EMPLOYMENT EXPENSE	101-215-716.000	84.58
		42461		EMPLOYMENT EXPENSE	101-253-716.000	110.60
		42461		EMPLOYMENT EXPENSE	101-400-716.000	156.47
		42461		EMPLOYMENT EXPENSE	101-441-716.000	101.17
		42461		EMPLOYMENT EXPENSE	536-000-716.000	29.28
						<hr/> 744.97
01/13/2022	FOA	42462	DTE ENERGY	UTILITIES - ELECTRIC	101-751-920.002	110.42
TOTAL - ALL FUNDS				TOTAL OF 3 CHECKS		1,703.65

--- GL TOTALS ---

001-000-257.101	ACCRUED DENTAL BENEFITS	149.01
101-192-716.000	EMPLOYMENT EXPENSE	58.56
101-209-716.000	EMPLOYMENT EXPENSE	55.30
101-215-716.000	EMPLOYMENT EXPENSE	84.58
101-253-716.000	EMPLOYMENT EXPENSE	110.60
101-265-920.001	UTILITIES - GAS	249.54
101-400-716.000	EMPLOYMENT EXPENSE	156.47
101-441-716.000	EMPLOYMENT EXPENSE	101.17
101-448-921.000	STREET LIGHTS	210.15
101-751-920.002	UTILITIES - ELECTRIC	110.42
206-000-920.002	UTILITIES - ELECTRIC	45.61
536-000-716.000	EMPLOYMENT EXPENSE	29.28
536-000-920.001	UTILITIES - GAS	342.96
	TOTAL	1,703.65

Check Register Report For Hartland Township
For Check Dates 01/31/2022 to 01/31/2022

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
01/31/2022	FOA	DD7607	BAGDON, KELLY M	1,915.00	0.00	1,370.36	Cleared
01/31/2022	FOA	DD7608	BEAUDOIN, DIANA K	382.47	0.00	353.22	Cleared
01/31/2022	FOA	DD7609	BERNARDI, MELYNDA A	1,594.45	0.00	1,236.19	Cleared
01/31/2022	FOA	DD7610	BROOKS, TYLER J	2,054.85	0.00	1,478.51	Cleared
01/31/2022	FOA	DD7611	CASE, SUSAN E	1,728.00	0.00	1,124.71	Cleared
01/31/2022	FOA	DD7612	CIOFU, LARRY N	2,583.33	0.00	1,869.99	Cleared
01/31/2022	FOA	DD7613	COBB, SUSAN M	34.20	0.00	30.13	Cleared
01/31/2022	FOA	DD7614	DRYDEN-HOGAN, SUSAN A	3,388.82	0.00	2,423.27	Cleared
01/31/2022	FOA	EFT621	FEDERAL TAX DEPOSIT	11,138.06	11,138.06	0.00	Cleared
01/31/2022	FOA	DD7615	FOUNTAIN, WILLIAM J	2,583.33	0.00	2,167.97	Cleared
01/31/2022	FOA	DD7616	FOX, LAWRENCE E	360.00	0.00	317.16	Cleared
01/31/2022	FOA	DD7617	GERMANE, MATTHEW J	500.00	0.00	436.75	Cleared
01/31/2022	FOA	DD7618	GRISSIM, SUSAN L	90.00	0.00	83.11	Cleared
01/31/2022	FOA	DD7619	HEASLIP, JAMES B	2,979.50	0.00	1,776.15	Cleared
01/31/2022	FOA	DD7620	HORNING, KATHLEEN A	2,833.33	0.00	2,061.15	Cleared
01/31/2022	FOA	17100	ICMA VANTAGEPOINT TRANSFER AGENT	1,735.26	1,735.26	0.00	Open
01/31/2022	FOA	17101	ICMA VANTAGEPOINT TRANSFER AGENT	3,626.85	3,626.85	0.00	Open
01/31/2022	FOA	17102	ICMA VANTAGEPOINT TRANSFER AGENT	1,294.01	1,294.01	0.00	Open
01/31/2022	FOA	17103	ICMA VANTAGEPOINT TRANSFER AGENT	200.00	200.00	0.00	Open
01/31/2022	FOA	DD7621	JOHNSON, LISA	2,107.28	0.00	1,450.06	Cleared
01/31/2022	FOA	DD7622	KENDALL, ANTHONY S	54.75	0.00	50.57	Cleared
01/31/2022	FOA	DD7623	KOPCZYK, MARY ANN	651.75	0.00	574.19	Cleared
01/31/2022	FOA	DD7624	LANGER, TROY D	3,630.26	0.00	2,569.07	Cleared
01/31/2022	FOA	17098	LAROSE, MICHELLE M	90.00	79.28	0.00	Open
01/31/2022	FOA	DD7625	LOFTUS, DANIEL M	165.00	0.00	145.37	Cleared
01/31/2022	FOA	DD7626	LOUIS, CASEY	858.75	0.00	548.88	Cleared
01/31/2022	FOA	DD7627	LUCE, MICHAEL T	3,250.00	0.00	2,390.91	Cleared
01/31/2022	FOA	DD7628	MCMULLEN, SUMMER L	590.00	0.00	495.85	Cleared
01/31/2022	FOA	EFT622	MI DEPT OF TREASURY	3,448.86	3,448.86	0.00	Cleared
01/31/2022	FOA	DD7629	MITCHELL, MICHAEL E	90.00	0.00	83.11	Cleared
01/31/2022	FOA	DD7630	MORGANROTH, CAROL L	1,959.84	0.00	1,516.43	Cleared
01/31/2022	FOA	DD7631	MURPHY, THOMAS A	90.00	0.00	79.28	Cleared
01/31/2022	FOA	DD7632	O'CONNELL, DENISE	500.00	0.00	350.06	Cleared
01/31/2022	FOA	17099	PETRUCCI, JOSEPH M	500.00	416.56	0.00	Open

Check Register Report For Hartland Township
For Check Dates 01/31/2022 to 01/31/2022

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
01/31/2022	FOA	DD7633	SHOLLACK, DONNA M	1,905.84	0.00	1,451.86	Cleared
01/31/2022	FOA	DD7634	VERMILLION, KAREN L	1,624.89	0.00	1,172.01	Cleared
01/31/2022	FOA	DD7635	WEST, ROBERT M	4,258.33	0.00	2,559.38	Cleared
01/31/2022	FOA	DD7636	WYATT, MARTHA K	2,822.60	0.00	2,046.70	Cleared
Totals:			Number of Checks: 038	69,619.61	21,938.88	34,212.40	
Total Physical Checks:			6				
Total Check Stubs:			32				

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Larry Ciofu, Clerk

Subject: 01-18-2022 Hartland Township Board Regular Meeting Minutes

Date: January 26, 2022

Recommended Action

Move to approve the Hartland Township Board Meeting Minutes for January 18, 2022.

Discussion

Draft minutes are attached for review.

Financial Impact

None

Attachments

1-18-2022 HTB Minutes - DRAFT

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

January 18, 2022 – 7:00 PM

DRAFT

1. Call to Order

The meeting was called to order by Supervisor Fountain at 7:00 p.m.

2. Pledge of Allegiance

3. Roll Call

PRESENT: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane (via audio at 7:40 p.m.), Trustee McMullen, Trustee O'Connell, Trustee Petrucci

ABSENT: None

Also present were Township Manager Bob West, Public Works Director Mike Luce, and Assessing Director Jim Heaslip.

4. Approval of the Agenda

Move to approve the agenda for the January 18, 2022 Hartland Township Board meeting as presented.

Motion made by Treasurer Horning, Seconded by Trustee Petrucci.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: Trustee Germane

5. Call to the Public

No one came forward.

6. Approval of the Consent Agenda

Move to approve the consent agenda for the January 18, 2022 Hartland Township Board meeting as presented.

Motion made by Trustee Petrucci, Seconded by Trustee O'Connell

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: Trustee Germane

- a. Approve Payment of Bills
- b. Approve Post Audit of Disbursements Between Board Meetings
- c. 01-04-2022 Hartland Township Board Regular Meeting Minutes
- d. 1-4-2022 Hartland Township Board Closed Session Meeting Minutes
- e. Waldenwoods Fireworks Display Permit – 1-21-22
- f. Confirm Supervisor's Appointment - Cheryl Mara to Board of Review as alternate (01.18.2022-12.31.2022)
- g. HCS & LESA Summer Tax Collection Agreements

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

January 18, 2022 – 7:00 PM

7. Pending & New Business

a. Resolution - 2022 Poverty Income Guidelines

Assessing Director Jim Heaslip provided a brief overview of the yearly approval process of the Poverty Guidelines. He then presented his proposal for increasing the income guideline for each family unit by 25%. He cited neighboring townships that are increasing the family unit limit, the State Tax Commission's limitations on granting exemptions in only increments of 25%, 50%, and 100%, and his discussions with the Board of Review who felt the flat increase of 25% to each family unit guideline was appropriate, easy to understand, and easy to manage.

Move to approve the resolution to increase the Federal Poverty Income Guidelines issued annually by the State Tax Commission to the Federal Poverty Income Guideline plus Twenty Five percent (25%) for determination of receiving a Poverty Exemption from the Hartland Township Board of Review.

Motion made by Treasurer Horning, Seconded by Clerk Ciofu.

Roll call vote taken.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee McMullen, Trustee O'Connell, Trustee Petrucci.

Voting Nay: None

Absent: Trustee Germane

Motion passes: 6-0-1.

b. Hartland Woods Road SAD - Resolution 3 / Public Hearing

Manager West gave a brief overview of the Hartland Woods Road Special Assessment District (SAD) process. He stated this was a resident-initiated petition for road improvements in the Hartland Woods subdivision and there are four resolutions and two public hearings required for an SAD. The resolution before the Board is the third resolution and this is the second public hearing regarding this SAD. He stated the Livingston County Road Commission (LCRC) will be doing the work and they have done some drainage work that is not in the scope of this project and will not be in the assessment costs. Construction should begin on the roads when school lets out so as not to interfere with bus traffic.

Move to open the Public Hearing.

Motion made by Treasurer Horning, Seconded by Trustee McMullen

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: Trustee Germane

Public Hearing was opened at 7:20 p.m.

Move to close the Public Hearing.

Motion made by Clerk Ciofu, Seconded by Trustee Petrucci

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: Trustee Germane

Public Hearing was closed at 7:30 p.m.

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

January 18, 2022 – 7:00 PM

Clerk Ciofu stated that the language in the attached resolution will be updated to reflect the Hartland Woods SAD.

Move to approve the Resolution of Filing of the Assessment Roll for the Hartland Woods road improvement special assessment district as amended.

Motion made by Clerk Ciofu, Seconded by Trustee O'Connell

Roll call vote taken.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee McMullen, Trustee O'Connell, Trustee Petrucci.

Voting Nay: None

Absent: Trustee Germane

Motion passes: 6-0-1.

8. Board Reports

Trustee O'Connell - No report.

Trustee McMullen - No report.

Trustee Petrucci - Stated that electrical and shelving work is being done at the Hero Teen Center Hoop House and it should be open by the end of March.

Clerk Ciofu - Reminded everyone the the annual Hartland Winterfest will be held on Saturday, February 12, 2022, at Heritage Park from Noon until 6:00 p.m. with fireworks at dusk. This is a totally free family fun event, and he hopes to see everyone there.

Treasurer Horning - Stated the Annual Report for the Senior Center is available and she will be available for questions should anyone have any. She highlighted Senior Center items of purchasing a new bus and the very successful Pickleball fundraiser that was held.

Supervisor Fountain stated that Keith Voight has resigned from the Planning Commission, and we would be accepting applications to fill this position.

[BRIEF RECESS]

9. Information / Discussion

a. Manager's Report

Manager West thanked the Board for the recent feedback regarding his performance review. He stated we would be bringing a large water meter purchase to the Board, as the lead time for water meters is about 44 weeks. With the developments that are coming we need to get in a large purchase order to be on the list. As water meters become available, they will send out a portion of the supply to those that have an open purchase order on file, even though it may not be the whole order. This purchase will be funded out of the water fund and will be reimbursed as we sell these meters as each house is built. We will be placing an order to cover approved developments and an additional amount for unexpected needs. Manager West stated we have hired a new DPW staff member that was authorized at the last meeting. This position is the entry level position that was approved for April 2022 and due to the recent unfortunate circumstances was brought forward to this fiscal year. We will look to fill the experienced position in April. As was pointed out we have an opening on the Planning Commission. He stated that a code enforcement issue regarding a semi-trailer has re-surfaced and we will be having our attorney get involved in enforcing the ordinance. Manager West informed the Board that the Livingston County Board of Public Works (LCBPW) has sent a notice to our attorney regarding a proposed amendment to the Septage Receiving Station agreement. Our attorney will reach out to the LCBPW attorney as the issue of constitutionality of the fee has not been resolved. We will most likely need to go into closed session at a future meeting

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

January 18, 2022 – 7:00 PM

regarding this issue. He stated that American Rescue Plan Act (ARPA) final ruling has relaxed the standards for use of ARPA funds which will allow the remainder of our ARPA funds to be used on community capital improvement projects. Manager West and Finance Director Dryden-Hogan are working on the list of projects that would be ARPA eligible. Manager West stated he will not be able to attend the April 19th Board meeting.

b. Hartland Deerfield Fire Authority Budget Presentation FY2022-23

Hartland Deerfield Fire Authority (HDFA) Chief Adam Carroll presented the proposed FY2022-23 HDFA Budget to the Board. He stated for comparison purposes the 2021-2022 Budget column has not been amended to date and this may reflect significant increases to the project FY22-23 budget particularly in the liability insurance and utilities line items. He then reviewed the rolling three-year usage percentages for Hartland and Deerfield Townships. These percentages are based on the hours spent by firefighters in Hartland Township and in Deerfield Township on township incidents. He stated on the revenue side estimated funds that will come into the HDFA from items such as fire protection contracts, cost recoveries, and other revenue are deducted from the estimated revenues and the balance that is left is split between Hartland and Deerfield using the three-year usage percentage. Discussion was held on revenue items of fire protection contracts, cost recovery and other revenue. Further discussion was held on mutual aid calls and the cost recovery process. Expense items discussed in detail were personnel costs including staffing issues, insurance and benefits including health care and workers compensation, and equipment including repairs, fuel costs, maintenance to vehicles and natural gas costs. Chief Carroll then provided an overview of the capital fund and the reserve balance process. A brief discussion was held on shared services with other governmental agencies to reduce costs including what we have done and what we have explored in the past.

c. Township Employee Compensation Analysis

Manager West presented the Regional Compensation Analysis for the Board of Trustees, Planning Commission, Zoning Board of Appeals and Board of Review and his recommendations for FY 22-23. He also presented the Hartland Township staff merit/bonus analysis and his recommendations for FY22-23. Discussion was held on the analysis, current staffing issues, the current job market, and the increases in state shared revenue and taxable value revenue. Manager West will incorporate his recommendations into the FY22-23 budget that will be brought forth to the Board for review and approval in subsequent Board meetings.

10. Adjournment

Move to adjourn the meeting at 9:05 p.m.

Motion made by Clerk Ciofu, Seconded by Trustee Petrucci

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Did not vote due to audio participation: Trustee Germane

Hartland Township Board of Trustees Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Site Plan with Special Land Use Application #22-001 (Automobile fueling and convenience station - Clyde Road)

Date: January 26, 2022

Recommended Action

Move to approve Special Land Use Application #22-001, as outlined in this memorandum.

Approval of the Special Land Use Application #22-001 is based on the following findings and conditions:

Move to approve Special Land Use Application #22.-001, a request to construct an approximate 6,000 square foot convenience store and automobile fueling station, on a vacant parcel in Section 4 of the Township, north of Clyde Road and east of Runyan lake Road (Tax Parcel ID #4708-04-300-001 & 4708-04-300-002). The recommendation for approval is based on the following findings:

1. The proposed special land use, automobile fueling and convenience station, meets the intent and purposes of the Ordinance as well as the specific Special Use standards outlined in Section 6.6 (Special Uses).
2. The proposed use is permitted in the GC (General Commercial), as outlined in Section 3.1.14.D.xviii, and the proposed use is compatible with the existing uses in the vicinity.
3. The proposed use will be served by public sanitary sewer, by existing essential facilities and public services, and the Fire Department has no objection.
4. The proposed use will be served by public roads with direct access to Clyde Road and Runyan Lake Road; and the proposed development is located adjacent to an entrance and exit ramp from US-23, which is a divided highway.
5. The proposed use will not create additional requirements at public cost for public facilities as the proposed site will be served by public sanitary sewer and private on-site well (water).

Approval is subject to the following conditions:

1. The proposed Special Land Use, automobile fueling and convenience station, is subject to approval by the Township Board.
2. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated January 25, 2022, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
3. A land use permit is required after approval of the Site Plan and Special Use Permit and prior to construction.

4. Prior to the issuance of a land use permit for construction, the applicant shall provide product information on all building façade materials (specifications, manufacturer, and color) to the Planning Department. The façade materials may require approval by the Planning Commission.
5. The property shall obtain all necessary approvals through the land division process.
6. Applicant complies with any requirements of the Department of Public Works Director, Township Engineering Consultant (HRC), Hartland Deerfield Fire Authority, and all other government agencies, as applicable.
7. The Township shall engage in review of the submitted traffic study.

Discussion

Applicant: Michael Yatooma

Site Description

The subject property is located north of Clyde Road and east of Runyan Lake Road in Section 4 of the Township. The project area, approximately 1.80 acres, is comprised of two (2) parcels (Tax Parcel ID #4708-04-300-001, 17.38 acres; & #4708-04-300-002, 78.12 acres). This property is considered a corner lot with approximately 284.5 lineal feet along Clyde Road and approximately 256 lineal feet along Runyan Lake Road.

The plan shows proposed parcel lines that delineate the project area. A land division is required to be approved through the land division process. The land division request and application will be reviewed separately.

The plan shows an existing wetland within the project area. The wetland will be filled in as part of this project. Based on communications with the State of Michigan Department of Environment, Great Lakes, and Energy (EGLE), this appears to be an isolated wetland and is not regulated by EGLE; thus, a permit from EGLE is not required. *(Please reference attached email from EGLE, dated December 10, 2021).*

Several utility poles exist along the frontage of the property on Clyde Road; however, the plans do not indicate which utility company owns the poles, nor is an easement shown. These poles support overhead wires and will remain in place per the applicant. This may cause some concerns with the placement of proposed landscaping (canopy trees) in the greenbelt area that is located within the first 30 feet of the property, from the right-of-way line of Clyde Road.

Each parcel of the project area is zoned GC (General Commercial). The properties immediately south of the subject site (south of Clyde Road) are also zoned GC. The US-23 and Clyde Road interchange is just west of Runyan Lake Road.

The Future Land Use Map (FLUM) designates the subject site and adjacent properties to the north and east as Planned Industrial/Research and Development (PIRD). South of Clyde Road one parcel is shown as Commercial and surrounding parcels as PIRD. This designation is intended to permit industrial land uses that do not produce the negative effects often associated with heavy industrial development, such as noise, glare, odor, dust, heavy truck traffic, and fumes. These uses typically consist of small parts fabrication, research and development testing firms, laboratories, electronics firms and office research uses. Industrial uses envisioned for the Township will be generally conducted within a completely enclosed building with

minimal or no outdoor storage areas. It is also intended to permit office complexes, including medical facilities, financial institutions, public and private recreational facilities, and ancillary services that support the planned industrial research uses.

Overview and Background Information

The public hearing for this request was held by the Planning Commission at their January 13, 2022, regular meeting. The Planning Commission recommended approval of the Special Land Use Permit, subject to some conditions. Most notably, the Planning Commission requested that the applicant's traffic study be reviewed by staff. The Planning Department does not have traffic engineering expertise, so to follow upon the recommendation by the Planning Commission, the applicant's traffic study was sent to the Township's Engineering Consultant to have their traffic expert review the traffic study. In addition, the traffic study was sent to the Livingston County Road Commission for further examination.

HRC's original email response to the Traffic Study indicated that additional traffic counts should be taken to determine if any improvements would be needed at the intersection of Clyde Road and Runyan Lake Road. The Livingston County Road Commission indicated that the traffic counts are not sufficient to warrant any improvements to the intersection of Clyde Road and Runyan Lake Road. This information was shared with HRC. HRC then updated their response to the traffic study and indicated that traffic counts should only be taken, if deemed necessary by the Livingston County Road Commission. The Planning Department merged the two (2) emails from HRC into a single email for the simplicity of reading the documents.

As a result, at this point, it appears that the traffic impact analysis submitted by the applicant complies with the recommendation by the Planning Commission.

Historically, the subject property has been used for farming activities and there is no development on the property.

Proposed Use

The applicant is requesting to construct a gasoline fueling station with a total of nine (9) pump islands and an approximate 6,000 square foot convenience store. Six (6) pump islands are provided under one canopy that faces Clyde Road. Three (3) additional pump islands are under a second canopy that is located on the east side of the site. These three (3) pumps islands are designated for diesel fueling.

The applicant has explained that the convenience store will be for a single tenant and operated by the gas station company. Typical convenience store items will be for purchase such as food snacks, reach-in coolers for beer/soda, a beer cave and food area serving pizza type items. Two (2) roofed, outside sales areas are shown at the front of the building, on either side of the entrance doors. The outdoor sales areas are screened by masonry walls. Items to be stored in the outdoor storage areas will include ice, propane tanks, windshield wiper fluid and other seasonal items that will fit into the space.

Per Section 3.1.14.D.xv.iii., an automobile fueling and convenience station is considered a special land use in the GC (General Commercial) zoning district. Additional standards for this special land use are provided in Section 4.58 of the Zoning Ordinance.

The proposed project also requires site plan approval thus there are two application elements: special land use and site plan approval for an automobile fueling and convenience station. Although there are technically two elements, all are incorporated into one combined site plan which will be reviewed and approved concurrently.

Per the Hartland Township Zoning Ordinance and the State Enabling Act, a public hearing is required for the special land use application. Given the requirements for publishing a notice for the special land use, the public hearing has been scheduled for the January 13, 2022, Planning Commission meeting.

Request and Project Summary

The applicant is requesting site plan with special land use approval to construct an automobile fueling and convenience station. The fueling station has six (6) pump islands under one canopy that faces Clyde Road and two (2) parking spaces per pump island (12 parking spaces total). A second canopy, for diesel fueling, is located on the east side of the site and has three (3) fuel pump islands, with one (1) parking space per fuel pump (3 parking spaces total). Two (2) parking spaces are required per pump island. The applicant has provided his reasons for deviating from this parking standard in an email dated December 29, 2021.

The proposed 6,000 square foot convenience store is situated in the middle of the site, with parking spaces around the east, west, and south sides of the building. Additional off-street parking is provided in a row of parking that faces Runyan Lake Road. Parking is also provided at each pump island. A total of forty-two (42) parking spaces are provided.

The site is accessed by a driveway off Runyan Lake Road and another driveway off Clyde Road.

Two (2) covered outdoor sales areas are shown on front (south) side of the convenience store, with one (1) sales area on each side of the entrance doors. The sales areas are screened with 4-foot split-face CMU/block walls to match the façade materials of the building.

Approval Procedure

The proposed use, automobile fueling and convenience station, requires approval from the Township Board for the special land use. The Planning Commission will review the special land use and make a recommendation to the Township Board.

The project also requires the site plan to be reviewed by the Planning Commission who will make a final decision on the site plan. The plans will be reviewed using the development standards of the GC (General Commercial) zoning district (Section 3.1.14.), standards associated with automobile fueling and convenience station (Section 4.58), and all applicable zoning standards in the Zoning Ordinance.

SPECIAL LAND USE REVIEW – General Standards

In accordance with Section 6.6, Special Uses, of the Hartland Township Zoning Ordinance, the following standards shall serve the Planning Commission and Township Board as the basis for decisions involving such uses. The standards are provided below, and the applicant has submitted a letter, as a separate attachment, which addresses the special use criteria.

- A. Be harmonious and in accordance with the objectives, intent, and purposes of this Ordinance.
- B. Be compatible with the natural environment and existing and future land uses in the vicinity.
- C. Be compatible with the Hartland Township Comprehensive Plan.
- D. Be served adequately by essential facilities and public services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to adequately provide any such service.
- E. Not be detrimental, hazardous, or disturbing to the existing or future neighboring uses, person, property, or the public welfare.
- F. Not create additional requirements at public cost for public facilities and services that will be detrimental to the economic welfare of the community.

The Planning Department believes the proposed use can and will meet the criteria listed above for the special land use request. The applicant has provided responses to the Special Land Use general standards as an attachment, in the email dated December 29, 2021. The applicant will be responsible for all applicable approvals and permits from other agencies and departments for the proposed use.

SPECIAL LAND USE REVIEW – Applicable Site Standards

In addition to a finding by the Planning Commission and Township Board that the criteria above have been satisfied, the Use Standards of Section 4.58, Automobile Fueling and Convenience Station, apply.

Those standards are listed below, followed by staff's findings on each standard.

Automobile Fueling and Convenience Station (Section 4.58)

1. Frontage. Such uses shall have access to and front upon a hard surface, major thoroughfare.

The subject site complies with this standard, having access from Clyde Road, which is a hard surfaced thoroughfare, and having access from Runyan Lake Road, which is also a paved thoroughfare.

2. Minimum Lot Width. The minimum lot width required for such uses shall be 200 feet.

The parcel on which the fueling station is located is 284.5 feet in width (along Clyde Road) and 256 feet along Runyan Lake Road.

3. Minimum Setbacks. Pump islands shall be a minimum of forty (40) feet from any public right-of-way or lot line. Tanks, propane, and petroleum products shall be set back at least fifteen (15) feet from any lot line. Overhead canopies shall be setback at least twenty (20) feet from the right-of-way with materials consistent with the principal building. The proposed clearance of any canopy shall be noted on the site plan. Details on all lighting under the canopy shall be provided.

The pump islands under the large fuel island canopy are approximately fifty-two (52) feet from the right-of-way (ROW) along Clyde Road and approximately sixty (60) feet from the right-of-way along Runyan Lake Road, at the closest point in each instance.

The closest pump island under the diesel fuel island canopy on the east side of the site is 40.6 feet from the side (east) lot line.

The large fuel island canopy is approximately forty-six (46) feet from the Clyde Road ROW and approximately forty-five (45) feet from the Runyan Lake Road ROW. The smaller fuel island canopy on the east side is approximately 26.5 feet from the east lot line. Each canopy has a 16'-0" clearance. The columns are constructed with brick veneer that matches the building façade materials on the convenience store. A photometric plan and light fixture details are provided.

4. Ingress and Egress. Ingress and egress drives shall be a minimum of thirty (30) feet and a maximum of forty (40) feet in width. No more than one (1) such drive, or curb opening shall be permitted for every seventy-five (75) feet of frontage or fraction thereof, along any street. The nearest edge of any such drive shall be located at least twenty-five (25) feet from the nearest point of any property zoned or used for residential purposes. Curb openings for drives shall not be permitted where the drive would create a safety hazard or traffic nuisance because of its location in relation to other ingress and egress drives,

its location in relation to the traffic generated by other buildings or uses, or its location near vehicular or pedestrian entrances or crossings.

The ingress/egress drive from Runyan Lake Road is thirty (30) feet wide. The access drive from Clyde Road is forty (40) feet wide. The two drives are more than 75 feet apart. The Livingston County Road Commission (LCRC) has jurisdiction over access to Clyde Road and Runyan Lake Road. The applicant has been working with LCRC regarding the placement of the two (2) drives.

5. Layout. Gasoline pumps shall be located so that motor vehicles do not park on or extend over abutting landscaped areas, sidewalks, streets, buildings or adjoining property while being served. Vehicle washing shall occur completely within an enclosed building. Doors/openings shall be oriented, so they face away from an abutting residential district or adjacent thoroughfares unless screened.

The proposal complies with the layout relative to the location of the gasoline pumps. No vehicle washing is proposed.

6. Screening. Where adjoining a residential district, a solid fence or wall six (6) feet in height shall be erected along any common lot line consistent with the applicable standards of Sections 5.11 and 5.20. Such fence or wall shall be continuously maintained in good condition. The Planning Commission may require landscaping, including a berm, as an alternative.

The site is surrounded by GC (General Commercial) zoned land on the north and east, and fronts on two (2) roads, thus this requirement does not apply.

7. Outdoor Storage. There shall be no outdoor storage or display, except within an area defined on the site plan approved by the Planning Commission and which extends no more than ten (10) feet beyond the building.

Two (2) 6' by 15' covered outdoor sales areas are proposed along the front (south) side of the convenience store building. A 4-foot masonry wall is proposed to screen both outdoor sales areas. An access point is provided at one end of each outdoor sales area, near the front door of the building. Pillars support a metal canopy that is over each outdoor sales area. The façade materials of the screen wall match the building materials (brick veneer on the pillars and metal roof).

8. Traffic Impact. An analysis of the traffic impacts shall be provided in conjunction with the site plan.

The applicant has provided details on this in his email dated December 29, 2021.

9. Lighting. A canopy is subject to lighting standards provided in Section 5.13 – Lighting.

A photometric plan has been provided and details will be discussed within the context of the site plan review. The average illumination level allowed under a fuel island canopy is 20 footcandles. The average illumination level under the large fuel island canopy is shown to be 15.8 footcandles and an average of 18 footcandles under the small canopy.

10. Groundwater Protection. The applicant shall submit a detailed Pollution Incidence Protection Plan (PIPP). The PIPP shall describe measures to prevent groundwater contamination caused by accidental gasoline spills or leakages, such as special check valves, drain back catch basins and automatic shut off valves, as approved by the Fire Department.

The applicant will be required to provide the PIPP as part of the land use permit for the construction phase of the project. The PIPP will be reviewed by the Fire Department and the Department of Public Works (DPW) in coordination with State and County agencies.

SITE PLAN REVIEW – Applicable Site Standards

The applicable site standards include those standards related to the proposed use, automobile fueling and convenience station, as outlined in Section 3.1.14 (GC-General Commercial); Section 4.58 of the Zoning Ordinance, as discussed above; and all applicable zoning standards in the Zoning Ordinance.

In this case the applicant is requesting site plan with special land use approval to construct an automobile fueling and convenience station that includes a convenience store, approximately 6,000 square feet in size.

Impact Assessment

An impact assessment was not provided.

Traffic Generation

A traffic impact assessment was not provided however the applicant has noted that he has been working with the Livingston County Road Commission (LRCR) regarding driveway placement and required improvements in the right-of-way of Clyde Road and Runyan Lake Road. Please see the email dated December 29, 2021.

Dimensional Requirements (GC-General Commercial; Section 3.1.14)

Lot Size (Sec. 3.1.14)

- Required – 40,000 sq. ft. w/o sewer; or 20,000 sq. ft. with sewer
- Proposed – 1.80 acres (78,408 sq. ft.) with public sewer
- Meets Requirement? Yes
- Comment – (none)

Frontage (Sec. 3.1.14)

- Required – Minimum lot width of 120 feet
- Proposed – 284.5 lineal feet along Clyde Road and approximately 256 lineal feet along Runyan Lake Road.
- Meets Requirement? – Yes
- Comment – (none)

Building Setbacks (Sec. 3.1.14)

Setback	Required	Proposed	Meets Requirements? (Y / N)
Front (south) Clyde Road	80' *	117'	Yes
Front (west) Runyan Lake Road	80'	111'	Yes
Rear (north) w/ sewer	40'	44.5'	Yes
Side (east)	15'	120.5'	Yes

*The plans state the required front setback for Clyde Road is 50 feet, however the required front setback is 80 feet per Section 3.24

Building Height (Sec. 3.1.14)

- Required – 35 feet or 2½ stories, whichever is less
- Proposed – 27'-1" to top of decorative pilaster at corner of convenience store building; each fuel station canopy height is 20'-0" (overall height)
- Meets Requirement? – Yes
- Comment – (none)

Lot Coverage (Sec. 3.1.14)

- Required – Principal structure: 75% max.
- Proposed – 7.7%
- Meets Requirement? – Yes
- Comment – (none)

Site Requirements

Dumpster Enclosure (Sec. 5.7)

- Required – Dumpster designed, enclosed, and screened per requirements; dumpster materials must match the building.
- Proposed – 10' by 10' concrete pad in front of dumpster, with 6-foot-high brick with block enclosure with brick veneer that matches the building; and black steel gates with horizontal louver pattern. Landscaping is provided around the enclosure by evergreen trees.
- Meets Requirement? – Yes
- Comment – (none)

Off-Street Parking (Sec. 5.8.4.H – Automobile Fueling and Convenience Station)

- Required – 2 spaces per pump (9 pumps = 18 spaces); PLUS 1 space for every 200 sq. ft. of gross floor area devoted to retail sales: $80\% \times 6,000 \text{ sq. ft.} = 4,800 \text{ sq. ft.}$; $4,800 \div 200 = 24 \text{ sp.}$; PLUS 1 space for each employee (2 employees = 2 sp.)
EQUATES TO: 44 parking spaces REQUIRED TOTAL
- Proposed – 42 parking spaces, 10' X 20' in dimension. 27 spaces are provided around the building; 2 spaces are provided for 6 pumps (=12 spaces at large fuel island canopy); 3 spaces are provided for 3 pumps at the diesel fueling canopy, and 6 spaces are required.
- Meets Requirement? – No
- Comment – **The applicant has provided a letter (email dated December 29, 2021) requesting consideration of 1 parking space per pump at the diesel fuel island canopy. Determination by Planning Commission required regarding this request. Section 5.8.4.H.i indicates the Planning Commission may modify the numerical requirements for off-street parking based on evidence that another standard would be more reasonable.**

Barrier-Free Parking

- Required – 2 barrier-free spaces in a location most accessible to the building entrance, with at least 1 space van-accessible (1 barrier-free space required per 25 parking spaces)
- Proposed – 2 barrier-free spaces, both van accessible, nearest the building entrance (south side of building)
- Meets Requirement? – Yes
- Comment – (none)

Parking Lot / Driveway / Internal Roads Setbacks (Sec. 5.8.3.)

- Required – Off-street parking in commercial districts may only be located in a side or rear yard or non-required front yard; may not be permitted within 20' of a single-family district, nor within 10' of a road ROW, or 25' from a front lot line, nor 10' from a side or rear lot line.

Setback	Required	Proposed	Meets Requirements? (Y / N)
Front (south) – Clyde Road	25'	50' (to pkg spaces under canopy; 85' to pkg spaces by building)	Yes
Front (west) Runyan Lake Rd.	25'	27.6'	Yes*
Rear (north)	10'	NA	Parking not proposed
Side (east)	10'	30' (to pkg spaces under canopy)	Yes

- Meets Requirement? – Yes
- Comment – Although Section 5.8.3 states off-street parking in commercial districts may only be located in a side or rear or non-required front yard, it appears that for prior auto fueling station projects (Mugg and Bopps and Speedway), a 25-foot setback from a front line was applied for off-street parking, even though off-street parking or a portion of was located within the required front yard. In order to be consistent with prior applications of this ordinance standard, staff has applied the same 25-foot setback from the front lot line for this plan, for off-street parking facing Runyan Lake Road.

Loading (Sec. 5.9)

- Required – 1 loading space (10' X 50') required for up to 10,000 sq. ft. of floor area (for industrial use)
- Proposed – Loading zone (10' by 50') in northeast section of the site
- Meets Requirement? – Yes
- Comment – (none)

Access Management and Non-Residential Driveway Standards (Sec. 5.10)

- Required – Per Sec. 5.10.5.C., the minimum access spacing between commercial driveways on a street with a posted speed limit of 50 MPH or greater is 330 feet. Speed limit is not posted on Clyde Road or Runyan Lake Road; thus, the speed limit defaults to 55 MPH for each road.
- Proposed – NA – other commercial driveways are not present on the north side of Clyde Road or the east side of Runyan Lake Road.
- Meets Requirement? – NA
- Comment – (none)

Landscaping and Screening (Sec. 5.11)

***A revised landscape plan dated December 28, 2021 is provided as a PDF attachment and was used for the analysis in this section. The hard copy of the landscape plan in the plan set dated December 6, 2021, was NOT used for this analysis.**

A. Greenbelt Landscaping (Sec. 5.11.C.)

- Required – Within the first 30 feet of the property, 1 canopy tree for every 30 ft of lineal of frontage; Planning Commission may approve up to 50% substitution of canopy trees with evergreen trees; PLUS 3 small deciduous ornamental trees or large deciduous or evergreen shrubs for the initial 40 ft., and 1 per 20 ft. thereafter. Combined length of ROW frontage of

Clyde Road (285 ft.) & Runyan Lake Road (255 ft.) = 540 ft.

EQUATES TO: 18 canopy trees and 28 additional ornamental trees, or large deciduous or evergreen shrubs or combination thereof **REQUIRED**

- Proposed – 15 canopy trees; 3 evergreen trees; combination of 16 large deciduous shrubs (Snowmound Spirea), 82 large evergreen shrubs (Hicks yew), and 3-foot masonry wall and picket fencing, generally within first 30 feet of the property.
- Meets Requirement? – Yes
- Comment – **To be noted, the shrubs and wall/fence in the Greenbelt area could also be considered as counting toward the required screening of the parking lot (Perimeter Landscaping Sec. 5.11.2.E.ii.a.). Planning Commission to determine if the shrub and wall/fence combination can be also counted as fulfilling requirement for Perimeter Landscaping (screening of parking lot). Existing utility poles and overhead lines along the frontage of Clyde Road are to be retained. Canopy trees in the greenbelt along Clyde Road may need to be repositioned to avoid conflicts with the utility poles, overhead lines, and utility easement(s) as applicable.**

B. Foundation Landscaping (Sec. 5.11.2.D.)

- Required – Must equal 60% of the front and sides of the proposed building where facing road or adjacent to parking lot; must be 8-10 ft. in width, and consist of 1 ornamental or columnar tree, and 6 medium or 8 small shrubs for every 30 ft. Building perimeter = 220 feet (used east, west, and south sides of building for dimensions). Foundation perimeter 220 ft. X 60% = 132 ft.

EQUATES TO: 5 ornamental/columnar trees; PLUS 27 small shrubs or 36 medium shrubs **REQUIRED** (total number)

- Proposed –
East: 1 ornamental tree, 6 medium shrubs, and 8 small shrubs in 5-foot-wide planting area; required width is 8-10 ft.
West: 2 ornamental trees, 4 large shrubs (arborvitae), 9 medium shrubs, and 10 small shrubs in an 8-foot-wide planting area; required width is 8-10 ft.
South: 3 ornamental trees; 30 medium shrubs, and 3 small shrubs in a 7.3-foot-wide planting area; required width is 8-10 ft.
North: A 5-foot-wide sidewalk is shown on the north side of the building. This area does not face a parking lot and foundation landscaping is not required technically,
TOTAL: 6 ornamental trees, 4 large shrubs, 45 medium shrubs, and 21 small shrubs (east, west and south landscape beds)
- Meets Requirement? – **Yes, for plant count; TBD for planting area width**
- Comment – The total plant count exceeds the required number of ornamental trees and shrubs. The required planting area width of 8-10 feet is not met in the east and south foundation planting areas.

Planning Commission to determine if the proposed plan is consistent with the intent of the Ordinance standards for Foundation Landscaping, and if the proposed planting area width is acceptable, where less than 8 feet wide (east and south).

C. Parking Lot Landscaping (Sec. 5.11.2.E.i.)

- Required – Landscaped end caps for parking areas of 10 or more spaces; 1 canopy tree per 180 sq. ft. of interior area, with 50% of the interior area covered with small and medium evergreen and deciduous shrubs. The remaining landscape area may include a combination of groundcover, perennials, annuals, lawn and mulch plants. Square footage of 4 endcaps = 659.5

sq. ft. $(197+190+195+77.5 = 659.5 \text{ sq. ft.})$

EQUATES TO: 4 canopy trees with a mix of small and medium evergreen and deciduous shrubs $(659.5 \div 180 = 4 \text{ canopy trees})$

- Proposed – 5 canopy trees and a mix of deciduous and evergreen shrubs that provide the required coverage.
- Meets Requirement? – Yes
- Comment – **The endcap at the southeast corner of the building is not 10 feet wide and should be revised to meet the required width.**

D. Perimeter Landscaping – For areas visible from a public road (facing Clyde Road and Runyan Lake Road; Sec. 5.11.2.E.ii.a.)

Perimeter Landscaping – combined for parking lot/drive aisle facing Clyde Road and Runyan Lake Road

- Required – Landscape berm planted with a combination of evergreen and deciduous shrubs to effectively screen parking lot; or evergreen hedge row a minimum 3 ft. in height; or decorative screen wall
- Proposed – Combination of 16 large deciduous shrubs (Snowmound Spirea), 82 large evergreen shrubs (Hicks Yew), and 3-foot masonry wall and picket fencing
- Meets Requirement – **TBD**
- Comment – **The same plant material and wall/fence are under consideration as counting towards required landscaping in the Greenbelt Landscaping area (Section 5.11.C). Planning Commission to determine if shrub and wall/fence combination can be also counted as fulfilling the requirement for Perimeter Landscaping (screening of parking lot).**

E. Perimeter Landscaping – For areas not visible from a public road (Sec. 5.11.2.E.ii.b.) – along east and north sides of the property/along access drives

- Required – 1 canopy or evergreen tree for every 30 ft., along with understory shrubs for screening purposes for perimeter areas not visible from a ROW. East access drive/east property line = 390 ft. & north access drive/north property line = 233 ft.
EQUATES TO: 13 trees on the north and 8 trees on the east, and understory shrubs for screening REQUIRED.
- Proposed – 18 trees on the north (8 canopy trees, 5 evergreen trees, and 5 ornamental trees); 10 trees on the east (5 canopy trees & 5 evergreen trees) = 28 trees total.
- Meets Requirement? – Yes, for the number of required trees. Understory shrubs are not provided, however adjacent properties on the north and east are zoned the same as the subject site (GC) and are used for farming purposes currently, thus screening may not be as relevant.
- Comment – **Planning Commission to determine if the absence of shrubs is acceptable.**

Also, to be noted, infiltration trenches are proposed in the landscape areas along the east and north sides of the site as part of the stormwater management plan. Sheet C shows the trench lines and provides detail drawings of the infiltration trench. Trees are proposed near those areas, and it is the assumption this will not be in conflict with the infiltration trenches.

F. Buffering or Screening (Sec. 5.11.2.G.i.) – screening between land uses – NA as adjacent properties to the north and east are also zoned GC (General Commercial)

G. Screening of Ground Mounted Equipment (Sec. 5.11.2.G.iii.)

- Required – screening on three sides for utility cabinets (if 30 inches or more in height)
- Proposed – 4 large evergreen shrubs on two sides of the transformer pad
- Meets Requirement? – Yes
- Comment – These shrubs are also being counted toward Foundation Landscaping requirement.

H. Detention/Retention Area Landscaping – NA, underground detention is proposed

Sidewalks and Pathways (Sec. 5.12)

- Required – the Planning Commission may require sidewalks or safety paths as a condition of site plan approval
- Proposed – 7-foot-wide internal sidewalks are provided on the west and south sides of the building. At the front entrance of the building (southside) the sidewalk is reduced to 5 feet wide in the areas between the columns of the covered entry and the parking lot. Sidewalk/safety paths are not proposed along either road.
- Meets Requirement? – **TBD**
- Comment – **Concerns where the sidewalk is 5-feet wide and the potential for a further reduction of the sidewalk where parked cars overhang the sidewalk, thus potentially limiting the width of the barrier-free access route to 3 feet in those areas. Planning Commission to determine if sidewalks or safety paths are necessary along the public right-of-way of both roads.**

Lighting (Sec. 5.13)

A. Intensity

- Required – max. 0.5 fc along property line adjacent to residential; or max.1.0 fc along property line adjacent to non-residential; average fc between 2.4 and 3.6 in main parking area and an average of 5.0 fc at main building entrance and at exit/entry drive; may not exceed 10 fc on site; average lighting for automotive fueling canopies shall not exceed 20 fc and canopy light fixtures shall be installed so that the lens is recessed and adequately shielded.
- Proposed – photometric plan indicates an average of 0.2 fc along all property lines; average of 3.6 fc in the parking area and drives; average of 4.4 fc at building entrance; average of 18.0 fc under diesel fuel island canopy; and average of 15.8 fc under large fuel island canopy. Footcandle value less than 10 fc throughout the site. Light fixtures are recessed and shielded under both fuel island canopies
- Meets Requirement? – Yes
- Comment – (none)

B. Fixture Height

- Required – 25' or the height of the principal building, whichever is less, measured from the ground level to the centerline of the light source
- Proposed – 25' total height (light poles plus base)
- Meets Requirement? – Yes
- Comment – (none)

C. Fixture Type

- Required – details of all lighting fixtures needed including specifications for shielding, wattage, and illumination

- Proposed – specifications for proposed LED light fixtures are shown on the photometric plan for light pole fixture and wall mounted light fixtures
- Meets Requirement? – Yes
- Comment – (none)

Water Supply and Wastewater Disposal (Sec. 5.16)

The proposed development will be served municipal sanitary sewer and private well (water).

Architecture / Building Materials (Sec. 5.24)

Architecture Comments:

- Façade Materials Calculation – façade materials must comply with the specifications for Façade Materials Group #1; percentages are proposed as follows:

Materials Group #1: Proposed Façade Materials by Percentage by Elevation

Elevation	Clay Brick (30% min.) Brick veneer prop.	Decorative concrete masonry unit (Split faced- 25% max.)	Standing seam metal roof (20% max.)	Glass (50% max.)	E.I.F.S trim (15% max.)	Products Wood (10% max.)	Pre-cast stone sill (25% max.)	Flat metal panels (20% max.)
East	66.44%	15.52%	10.47%	0.0%	4.12%	1.39%	1.42%	0.0%
South	35.2%	12.98%	4.65%	27.74%	3.93%	6.31%	1.18%	7.9%
West	66.44%	15.52%	10.47%	0.0%	4.12%	1.39%	1.42%	0.0%
North	75.95%	17.61%	0.0%	0.0%	4.83%	0.0%	1.62%	0.0%

- Colors: 3-D color renderings of the building and canopies are provided. Specific product information for each façade material is not stated on the building elevations. The applicant provided an email stating the specific façade materials are not determined at this time, but a material board will be provided once those materials are determined. The intent is to match those colors shown in the 3-D color renderings.
- Materials: percentages are listed for each elevation side as indicated by the table; specifications on all materials are provided.
- Meets Requirement? – yes for façade material percentages. **TBD for façade material specifications.**
- Comment – **The Planning Commission to make a determination about the façade materials specifications.**

Other Requirements-Zoning Ordinance Standards/Comments

Currently two pole signs are located within the subject site, with one sign advertising for Spicer Orchard and another for Parshallville Cider Mill. Once the applicant proceeds with the proposed project for an automobile fueling and convenience station, the signs will not be permitted. Approval of SP/SUP #22-001 does not include approval of any signage.

Hartland Township DPW Review

A review letter is provided from the Hartland Township DPW Director, dated December 8, 2021.

Hartland Township Engineer's Review (HRC)

The Township Engineer (HRC) has reviewed the plans and recommends approval subject to items being addressed in the letter dated December 12, 2021.

Hartland Deerfield Fire Authority Review

The Hartland Deerfield Fire Authority has reviewed the plans and provided comments in the letter dated December 23, 2021. Approval is subject to the contingencies being addressed as outlined in the letter.

Attachments:

1. Hartland Township DPW review letter, dated December 8, 2021 – *PDF version only*
2. Township Engineer (HRC) review letter dated December 12, 2021 – *PDF version only*
3. Hartland Deerfield Fire Authority review letter, dated December 23, 2021 – *PDF version only*
4. Applicant's summary, email dated December 29, 2021 – *PDF version only*
5. Email from applicant dated December 31, 2021 – *PDF version only*
6. Email from EGLE dated December 10, 2021 – *PDF version only*
7. Traffic Impact Study dated January 14, 2022 – *PDF version only*
8. Email from Livingston County Road Commission dated October 20, 2021 – *PDF version only*
9. Email from Road Commission dated January 18, 2022 – *PDF version only*
10. Email HRC Traffic Comments dated January 25, 2022 – *PDF version only*
11. Revised Landscape Plan dated December 28, 2021 – *PDF version only*
12. Site Plans dated December 6, 2021 – *PDF version only*

T:\PLANNING DEPARTMENT\PLANNING COMMISSION\2022 Planning Commission Activity\Site Plan Applications\SUP #22-001 Clyde Road Gas Station\Staff reports\SUP #22-001 staff report TB 01.26.2022.docx



DEPARTMENT OF PUBLIC WORKS

Michael Luce, Public Works Director
2655 Clark Road
Hartland MI 48353
Phone: (810) 632-7498

TO: Planning Department
DATE: 12/8/2021
DEVELOPMENT NAME: Yatooma Oil
PIN#:
APPLICATION #: SUP# 22-001
REVIEW TYPE: Site Plan

Site Plans for the proposed Yatooma Oil Gas Station proposes 15 nozzles (6 islands with 2 nozzles on each 3 islands with 1 nozzle on each), in addition to a 6,000 square foot building. REUs are assigned for service stations as 1.0 per premise plus 0.15 per nozzle. For stations with multiple uses, add 0.50 per 1,000 square feet of building area for a mini-mart.

Nozzles (15): $1.0 + (0.15 * 15) = 3.25$
Mini-Mart: $6,000 \text{ sf} / 1000 \text{ sf} * 0.50 = 3.00$
TOTAL: 6.25

	Sewer REUs
Owned	TBD
Required	6.25
# REUs Needed	6.25
Cost Each	\$9,439.20
Total Due	\$58,995.00
TOTAL REU COST	\$58,995.00

Hartland Township Public Works approves the Yatooma Oil Gas Station site plan subject to inclusion of the following details on the construction plans:

1. Sanitary sewer material and sizes and connection detail sheet
2. Monitoring manhole for sewer connection and location if required
3. Utility easements noted as public or private.
4. Approval of the Livingston County Drain Commission.

Please feel free to contact me with any further questions or comments regarding this matter.

Michael Luce
Public Works Director

December 12, 2021

Hartland Township
2655 Clark Road
Hartland, MI 48353

Attn: Mr. Troy Langer, Planning Director

Re: Preliminary Site Plan Review
Yatooma Fuel Station, Clyde Road
Section 4, Hartland Township

HRC Job No. 20211115.02

Dear Mr. Langer:

As requested, this office has reviewed the plans for the above project as prepared by the Umlor Group (plans dated December 6, 2021). The following items will need to be addressed:

General

1. All permits are to be obtained prior to the start of construction. At this time, the permits for this development may include Livingston County Building & Utility Services, LCDC Soil Erosion and Livingston County Road Commission.
2. All applicable Hartland Township standard detail sheets shall be attached to the plans.

Water Supply

1. The proposed improvements will be supplied water by a private well. This will require the review and approval of the County Health Department.

Sanitary Sewer

1. All proposed sanitary sewer lead improvements must be designed in accordance with the current standards of the Livingston County Drain Commissioner's Office and will require their review and permitting.

Storm Drainage

1. The proposed storm water collection system must be designed in accordance with Hartland Township Engineering Design Standards.
2. Storm water detention for this site is being provided by an underground detention system with a mechanical filtration system. Calculations for the proposed system will need to be provided on the plans.

3. It appears that the existing small wetland on site will be filled in and the offsite stormwater drainage that is tributary to it will be routed around the site to the ditch line to the northwest corner along Runyan Lake Road. An offsite grading easement will be required for this work and calculations will need to be included on the plans to verify that the existing down stream drainage system has capacity to convey any additional drainage to its ultimate outlet.

Paving & Grading

1. The proposed paving and grading improvements must be designed in accordance with Hartland Township Engineering Design Standards. The typical pavement details will need to be included on the plans.

Subject to these items being addressed in the construction plans, we have no objection to the approval of the site plan. One (1) complete set of the construction plans should be submitted to the Township Planning Department for review.

If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.



Michael P. Darga, P.E.

MPD/mpd

pc: Hartland Twp; R. West, M. Wyatt, M. Luce
HRC; R. Alix, T. Pietila



HARTLAND DEERFIELD FIRE AUTHORITY
FIRE MARSHALS OFFICE

Hartland Area Fire Dept.
3205 Hartland Road
Hartland, MI. 48353-1825

Voice: (810) 632-7676
Fax: (810) 632-2176
E-Mail: firemarshal@hartlandareafire.com

December 28, 2021

TO: Planning Commission
Attn: Zoning Department
Hartland Township
2655 Clark Rd.
Hartland, MI 48353

RE: Yatooma Oil/Marathon Special Use
Runyan Lake & Clyde Road

Based upon review of the site plan emailed by Hartland Township on December 8, 2021, the project was drawn as being within the requirements for accessibility **contingent** upon the following:

- An address visible from the center of Clyde Rd. right-of-way. **(AHJ Requirement)**
- A LadderPort™ is not going to be required due to a ladder with a hatch will be installed in the building for roof access along with a rapid entry box for the key, per the architect. An order form is attached to this letter for the contractor to order one from Kidde.
- ALL emergency lighting and exit signage shall be wired to a dedicated and labeled circuit breaker. **(AHJ Requirement)**
- Plans for Commercial Hood Suppression Systems (if applicable) shall be submitted to our third-party reviewer, Brighton Area Fire Authority, and reviewed. Once reviewed the prints will be available for pick-up and taken to the Livingston County Building Department so a permit can be pulled. **UL 300 system tests will be conducted using a “wet test” using an agent recommended by the manufacturer. (AHJ Requirement)**

The Fire Marshals Office **approves with the above contingencies**, the submittal of Site Plan Application #22-001. Any revised drawings affecting the Fire Department must be submitted for review.

Yours In Fire Safety,

Jenn Whitbeck
Fire Inspector

Martha Wyatt

To: Martha Wyatt
Subject: Responses for Clyde Road gas station SUP #22-001
Attachments: Hartland Landscape Plan2-LS100.pdf; 2021-142-Hartland Gas Station-ALL-A001.pdf; 2021-142-Hartland Gas Station-ALL-A100.pdf

From: Kevin Brandon
Sent: Wednesday, December 29, 2021 7:33 PM
To: Martha Wyatt <MWyatt@hartlandtwp.com>; Jason Fleis
Cc: Troy Langer <TLanger@hartlandtwp.com>
Subject: RE: Plans for Clyde Road gas station

Martha and Troy,

Please see below in red responses needed for the staff report. Also attached above are sheets LS100, A100 and A001. LS100 is revised per the last review. Sheet A100 is revised to show barrier free signs locations. A sign detail was added. The distance between the curb and column need to be a minimum of 3'-0" in width , which is provided. Sheet A001 is provided. They are the renderings for the building. A material board will be provided at the date of the Planning Commission meeting.

- A brief summary of what will be offered in the convenience store. A floor plan was not provided so we are asking if the convenience store will be a single tenant or will the interior be subdivided to allow for more than one business? This is information the Planning Commission may ask about.
- **The convenience store will be for a single tenant, owned and operated by gas station company. Within the space shall be typical convenience store items: shelving for food snacks, reach-in coolers for beer, soda, etc., a beer cave and a food area serving pizza type items.**
- What items will be stored in the outdoor sales areas? Again this is just informational for the Planning Commission.
Items to be stored in the outdoor storage areas will be: Ice, Propane tanks, Windshield wiper fluid, and other seasonal items that may fit in the spaces.
- Please provide answers to the Special Use criteria (6 criteria) as outlined in Section 6.6 of the ordinance and as outlined in each staff report, or a summary of the project and how it meets those criteria.
 - A. Be harmonious and in accordance with the objectives, intent, and purposes of this Ordinance.
The project meets all standards and all requirements of the property underlining zoning.
 - B. Be compatible with the natural environment and existing and future land uses in the vicinity.
The project is compatible with the existing and future land use. The property located on the South side of Clyde Road is a current gas station.
 - C. Be compatible with the Hartland Township Comprehensive Plan.
The site current zoning is General Commercial. The Comprehensive Plan calls for this area to be Planned Industrial/R&D. However, the proposed project, situated on a street corner, is the best use for the site.
 - D. Be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to adequately provide any such service.

The site is adequately served by all necessary public utilities. Access to the site by police and fire protection services is unhindered by the design of this project. The location of the refuse container is in an easily accessible location.

- E. Not be detrimental, hazardous, or disturbing the existing or future neighboring uses, person, property or the public welfare.

The proposed project is surrounded by property of the same zoning. To the west of the property is US-23. Stormwater Management is to be designed in accordance to Livingston County Stormwater requirements.

- F. Not create additional requirements at public cost for public facilities and services that will be detrimental to the economic welfare of the community.

The proposed project will not require any public facility and services. The project will not be detriment to the economic welfare of the community in any way.

- Please provide information on traffic impacts as it relates to this project, and copies of any applicable written communications from the Livingston County Road Commission and/or MDOT regarding their review of the project.

MDOT will not have jurisdiction for the ROW improvements on this project. Livingston County Road Commission has reviewed and provided direction for entrance locations and geometry/layout for the improvements in the ROW. The direction has been incorporated into the layout presented for your consideration. The detailed engineering and permitting for ROW improvements will be completed as the project progresses. Attached is an email for reference.

- *Written summary of the reasons for the request to provide 1 parking space per pump rather than the required 2 parking spaces per pump for the diesel fueling station canopy. You can provide any applicable information from other gas stations where you have used this parking standard and had success.*

The (3) diesel spaces, 1 per pump is intended to allow for tractor trailer/semi-truck fueling. This is typical at other stations, including stations owned and operated by the applicant, Michael Yatooma, for this site. It is successful means to allow the trucks to fuel on both sides, many of the trucks have tanks on both sides. Being able to fuel from both sides reduces fueling duration. There is additional width provided between for the space (10' to 17') than what is required for just (1) space to improve the ability for the truck to get in and out of the fueling area and also allow space for the driver to be able walk around the truck for safety checks. The distance between the pumps is typical for other stations.

We hope that this is sufficient for the staff report. We really appreciate working with you on this project. It has been a great experience.

If you have any questions or concerns , please do not hesitate to contact Jason or myself.

Kind Regards,

Kevin M. Brandon RA, LEED AP



Martha Wyatt

To: Martha Wyatt
Subject: Plans for Clyde Road gas station
Attachments: Yatooma Hartland-Landscape Plan-LS100.pdf

From: Kevin Brandon
Sent: Friday, December 31, 2021 10:30 AM
To: Martha Wyatt <MWyatt@hartlandtwp.com>
Cc: Troy Langer <TLanger@hartlandtwp.com>
Subject: RE: Plans for Clyde Road gas station

Marha and Troy,

Please see attached revised LS100. The back area behind the station will be a 5'-0" concrete walk. I have provided a note and a hatch for all concrete areas around the building.

As far as material manufacturers, product names and colors are concerned, is this an item that you can make as a condition to site plan approval? We are scheduled to build eight gas stations in 2022 for Mr. Yatooma, with all of them designed with a similar material and color scheme. As such, Vito and I are currently working on sourcing the materials needed for the stations and to make sure they are available in the quantities we need for all projects. We anticipate having this completed in early the new year and can provide a material board when ready. I would rather give you a material schedule that is 100% accurate than provide one that may change based on availabilities and then have you reapprove them.

We have provided a color rendering of the building that demonstrates the look we are planning to build on the site. Mr. Yatooma is committed to building first class stations as a legacy to his business and to the communities in which they serve. I am hopeful that you are able to work with us on this matter.

Thank you and have a happy new year.

Kevin M. Brandon RA, LEED AP



Shelby Township, Michigan

Martha Wyatt

To: Martha Wyatt
Subject: FW: wetland question - gas station on Clyde Road

From: Pierce, Jeff (EGLE) <PierceJ2@michigan.gov>
Sent: Friday, December 10, 2021 8:29 AM
To: Martha Wyatt <MWyatt@hartlandtwp.com>
Subject: RE: wetland question

Thanks Martha. This looks to be an isolated wetland that would not be regulated by EGLE.

Jeff Pierce
Environmental Quality Analyst
Water Resources Division, Lansing District Office
Michigan Department of Environment, Great Lakes, and Energy

| piercej2@Michigan.gov
[Follow Us](#) | Michigan.gov/EGLE

From: Martha Wyatt <MWyatt@hartlandtwp.com>
Sent: Tuesday, December 7, 2021 11:44 AM
To: Pierce, Jeff Pierce
Subject: wetland question

Hi Jeff-

We have a project coming to the Township for a gas station with convenience store at the NE corner of Clyde Road and US-23. Their plans show an existing wetland and we wanted to pass this along in case you had any concerns. I have attached 2 sheets from the plan set but please let me know if you need additional information. Thanks.

Sincerely-



Martha K. Wyatt
Planner-Landscape Architect
810.632.7498 o
2655 Clark Road
Hartland, MI 48353
www.hartlandtwp.com

VIA EMAIL jfleis@umlorgroup.com

To: Mr. Jason Fleis
The Umlor Group

From: Julie Kroll, PE, PTOE
Fleis & VandenBrink

Date: January 14, 2022

Re: Yatooma Oil Convenience Store and Gas Station Development
Hartland Township, Michigan
Traffic Impact Assessment

INTRODUCTION

Included herein are the results of a Traffic Impact Assessment (TIA) for the proposed Yatooma Oil Convenience Store and Gas Station located in Hartland Township, Michigan. The project includes the construction of a convenience store with gas station on vacant parcel located in the northeast quadrant of the Clyde Road and Runyan Lake Road intersection as shown in **Figure 1**. Site access is proposed via two driveways; one driveway on Clyde Road and one driveway on Runyan Lake Road. The study roadways are both under the jurisdiction of the Livingston County Road Commission (LCRC).



27725 Stansbury Boulevard, Suite 195
Farmington Hills, MI 48334

P: 248.536.0080

F: 248.536.0070

www.fvb.com

EXISTING CONDITIONS

The lane use and traffic control at the study area are shown on the attached **Figure 2** and additional roadway information is summarized in **Table 1**.

Table 1: Roadway Information

Roadway	Clyde Road	Runyan Lake Road
Number of Lanes	2 lanes	2 lanes
National Functional Classification	Major Collector	Local Road
Speed Limit (prima facie)	55 mph	55 mph
AADT	2,500 vpd (LCRC 2018)	600 vpd (LCRC 2019)

Due to the impacts of COVID-19 current traffic volume data may not be representative of “typical” operations. Therefore, pre-COVID traffic volume data collected by LCRC and MDOT was used in this study. A review of historic traffic volumes on these roadways shows minimal traffic growth, therefore for purposes of this analysis the pre-COVID traffic volumes were utilized in the analysis. The traffic volume data used in this analysis are attached. The AM and PM peak periods were identified to occur generally between 8:00 AM to 9:00 AM and 4:00 PM to 5:00 PM, respectively.

SITE TRIP GENERATION

The number of weekday AM and PM peak hour, and daily vehicle trips that would be generated by the proposed development was forecast based on data published by ITE in the *Trip Generation Manual, 11th Edition*. The proposed development includes the construction of an approximately 6,000 SF convenience store with 15 fueling positions. The trip generation is summarized in **Table 2**. The majority (75%) of the trips generated by the proposed development are anticipated to be either pass-by or diverted link trips. Pass-by trips are those vehicles already on the adjacent street (Clyde Road or Runyan Lake Road) that stop into the site and then continue on their route. Diverted link trips are vehicles on an adjacent roadway and divert from their route to access the site and then return to their route. These trips do not add new traffic to the network but divert existing trips. The majority of trips generated by this development are anticipated to be diverted link trips from US 23.

Table 2: Site Trip Generation

ITE Land Use Code 945 Gas Station with Convenience Market (VFP 9-15)	Size	Unit	Average Daily Traffic (vpd)	AM Peak Hour (vph)			PM Peak Hour (vph)		
				In	Out	Total	In	Out	Total
Cars	6,000	SF	4,203	170	169	339	164	163	327
Trucks			27	1	0	1	0	0	0
Total Trips			4,230	171	169	340	164	163	327
Pass-by Trips/Diverted Link (76% AM/75% PM)			3,173	129	129	258	123	122	245
Total New Trips			1,058	42	40	82	41	41	82

SITE TRIP DISTRIBUTION

The vehicular trips that would be generated by the proposed development were assigned to the study roadways based on existing peak hour traffic patterns in the adjacent roadway network and the methodologies published by ITE. The adjacent roadway network daily traffic volumes and directional distributions were used to develop the site generated trip distribution. The site trip distributions and the resulting trip generation on the adjacent roadway network is summarized in **Table 3**.

Table 3: Site Trip Distribution

To / From	Via	AADT (vpd)	Distribution		Site Generated Traffic			
					AM Peak Hour (veh)		PM Peak Hour (veh)	
			AM	PM	In	Out	In	Out
East	Clyde Road	2,500	3.0%	3.0%	5	5	5	5
North	Runyan Lake	600	0.5%	0.5%	1	1	1	1
South	Runyan Lake	370	0.5%	0.5%	1	1	1	1
North	US 23	26,909	52.5%	24.5%	90	30	40	74
South	US 23	27,207	17.5%	45.5%	30	89	75	40
West	Clyde Road	7,690	10.0%	10.0%	17	17	16	16
North	Old 23	5,840	7.5%	7.5%	13	13	12	12
South	Old 23	6,625	8.5%	8.5%	14	14	14	14
Network Total		77,741	100%	100%	171	170	164	163

The vehicular traffic volumes were distributed to the roadway network according to the distribution shown in **Table 3**. The site generated traffic was added to the existing traffic volumes to calculate the projected future traffic impacts on the adjacent roadway network to determine at a planning level if there is available roadway capacity to accommodate the projected site generated traffic volumes. The results of the analysis shows that the adjacent roadway network has adequate capacity to accommodate the projected site generated traffic volumes.

The Livingston County Road Commission also had an opportunity to review the trip generation and adjacent street traffic volumes and confirmed that *“after reviewing traffic volumes and doing a rough review of trip generation numbers for the site, we are not requiring a traffic study as a condition of our driveway permit process.”*

Table 3: Future Traffic Volume Summary

To / From	Via	Site Generated Traffic (vph)				Existing Traffic		Future Traffic		Roadway Capacity (pr/hr/ln) ¹	Adequate Capacity
		AM (IN)	AM (OUT)	PM (IN)	PM (OUT)	AM	PM	AM	PM		
East	Clyde Road	5	5	5	5	149	252	159	262	2,400	Yes
North	Runyan Lake	1	1	1	1	34	106	36	108	2,400	Yes
South	Runyan Lake	1	1	1	1	28	34	30	36	2,400	Yes
North	US 23 (Ramps)	90	30	40	74	228	288	348	402	2,400	Yes
South	US 23 (Ramps)	30	89	75	40	331	317	450	432	2,400	Yes
West	Clyde Road	17	17	16	16	149	252	183	284	2,400	Yes
North	Old 23	13	13	12	12	283	404	309	428	3,000	Yes
South	Old 23	14	14	14	14	431	484	459	512	3,000	Yes

CONCLUSIONS

The conclusions of this Traffic Impact Assessment are as follows:

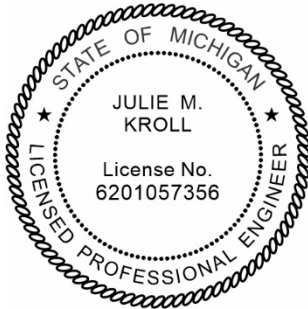
- The existing roadways and intersections can accommodate the projected increase in site generated traffic volume associated with the proposed special event center.
- The majority of traffic (70%) associated with the site generated traffic is anticipated to be diverted traffic from US 23 and will have minimal impact on the surrounding roadway network.
- The Livingston County Road Commission concluded *“after reviewing traffic volumes and doing a rough review of trip generation numbers for the site, we are not requiring a traffic study as a condition of our driveway permit process.”*

¹ NCHRP Report 825

RECOMMENDATIONS

- The projected traffic volumes generated by the proposed development can be accommodated within the existing roadway network. No mitigations are recommended as part of this proposed development plan.

Any questions related to this analysis and results should be addressed to Fleis & VandenBrink.



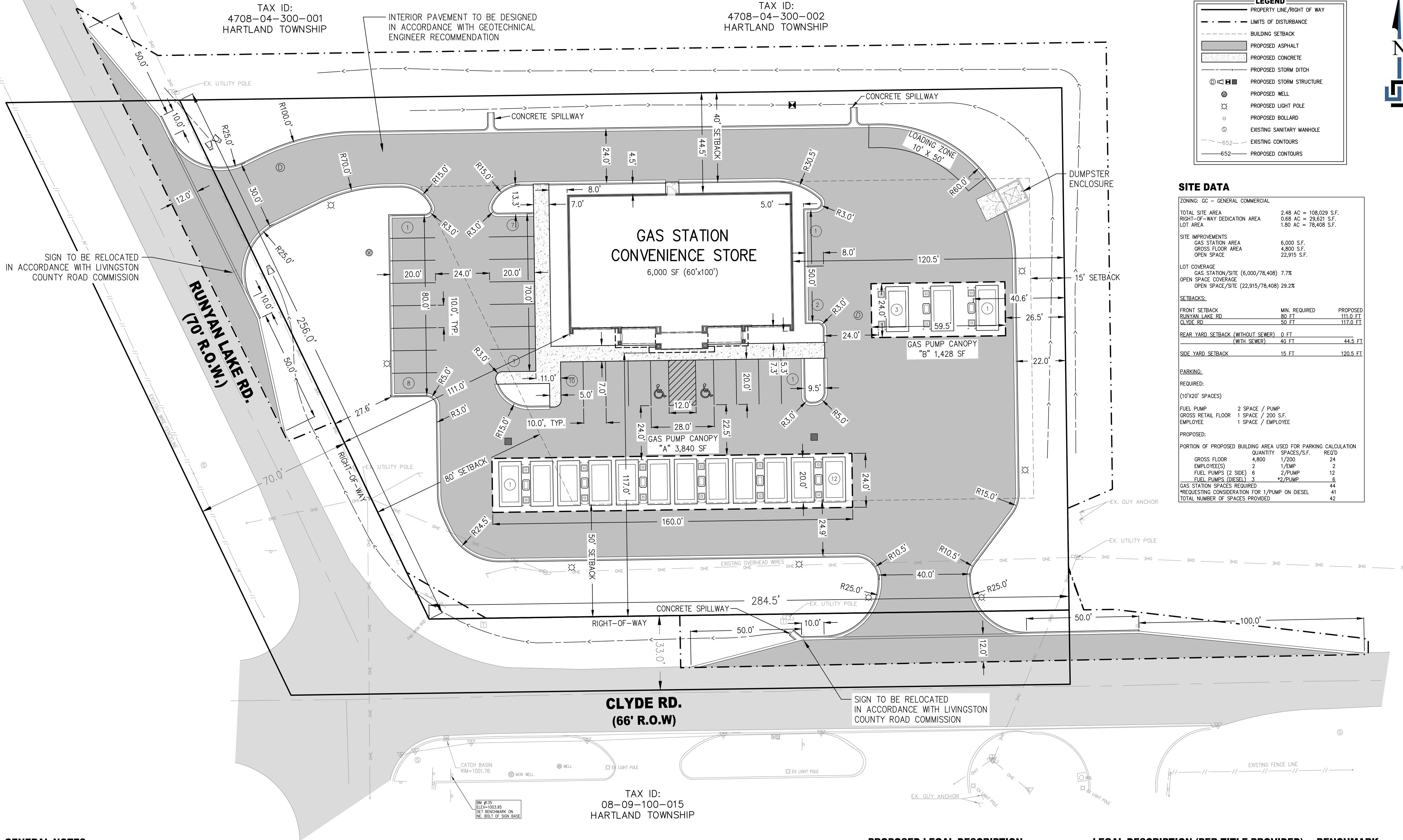
I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Michigan.

A handwritten signature in blue ink that reads "Julie M. Kroll".

Digitally signed by Julie M.
Kroll
Date: 2022.01.14 10:03:15
-05'00'

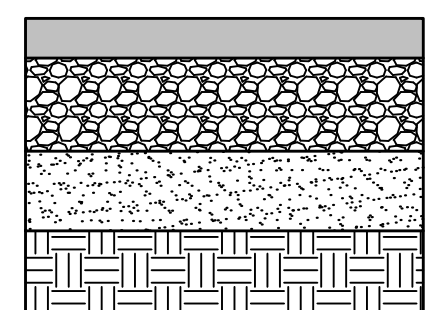
Attached: Site Plan
Traffic Volume Data
LCRC Correspondence

M:\UMLOR GROUP\PROJECT FOLDERS\PAMPALONA CONSTRUCTION\210614 - HARTLAND GAS STATION\DESIGN FILES & PLAN SETS\BASE - AUTOCAD FILES\210614-LAYOUT BASE.DWG

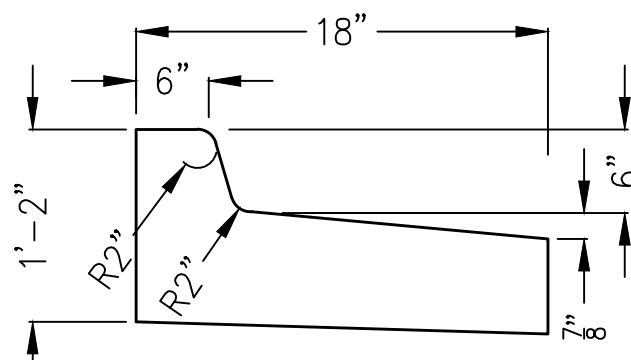


GENERAL NOTES

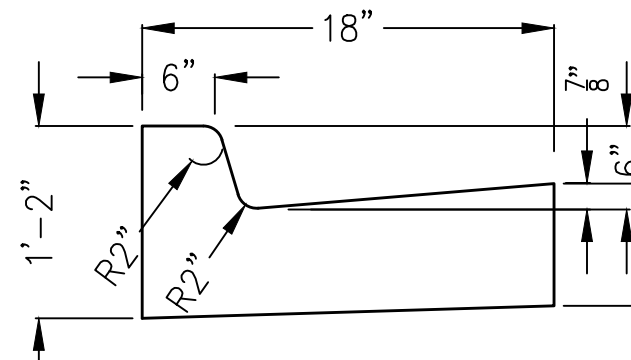
1. NOTIFY HARTLAND TOWNSHIP PLANNING DEPARTMENT A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL CONSTRUCTION MUST BE CONFORMING TO THE CURRENT STANDARDS AND SPECIFICATIONS ADOPTED BY HARTLAND TOWNSHIP, LIVINGSTON COUNTY ROAD COMMISSION, AND LIVINGSTON COUNTY DRAIN COMMISSION.
3. CALL MISS DIG (1-800-647-7344 / 1-800-MISS-DIG) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
4. ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON SITE OR WITHIN THE TEMPORARY GRADING EASEMENT.
5. ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PUBLIC PAVEMENT, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH SAND (CLASS II MDT).
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
7. PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT, ENGINEERING SITE INSPECTION IS REQUIRED.



R.O.W. PAVEMENT CROSS-SECTION



CURB DETAIL WITH REVERSE GUTTER PAN (TYP.)



CURB DETAIL (TYP.)

PROPOSED LEGAL DESCRIPTION

PART OF THE SOUTH WEST QUARTER OF SECTION 4, TOWN 3 NORTH RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING FROM SECTION 4 TOWN 3 NORTH, RANGE 6 EAST, THENCE N89°11'35\"/>

RIGHT-OF-WAY DEDICATION DESCRIPTION

PART OF THE SOUTH WEST QUARTER OF SECTION 4, TOWN 3 NORTH RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY MICHIGAN, BEING DESCRIBED AS COMMENCING FROM SECTION 4 TOWN 3 NORTH, RANGE 6 EAST, N89°11'35\"/>

FINAL PARCEL LEGAL DESCRIPTION

PART OF THE SOUTH WEST QUARTER OF SECTION 4, TOWN 3 NORTH RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING FROM THE SOUTHWEST CORNER OF SAID SECTION 4, THENCE N89°11'35\"/>

LEGAL DESCRIPTION (PER TITLE PROVIDED)

TAX PARCEL NO. 4708-04-300-001

BEING A PART OF THE SOUTH WEST 1/4 OF SECTION 4, T-3-N, R-6-E, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING FROM THE SOUTHWEST CORNER OF SAID SECTION 4, THENCE S86°55'50\"/>

TAX PARCEL NO. 4708-04-300-002

BEING A PART OF THE SOUTH WEST 1/4 OF SECTION 4, T-3-N, R-6-E, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING FROM THE SOUTHWEST CORNER OF SAID SECTION 4, THENCE S86°55'50\"/>

BENCHMARK

(NAVD 88 DATUM):

BENCHMARK #135

BENCHMARK SET ON NE BOLT OF SIGN BASE, LOCATED SOUTH SIDE OF CLYDE ROAD, SOUTH WEST CORNER OF SUBJECT PARCEL

ELEV=1003.95



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

811

Know what's below.
Call before you dig.

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2011 THE UMLOR GROUP. ALL RIGHTS RESERVED.

These documents are instruments of service in respect of the Project and any reuse without written verification or adaptation by The Umlor Group (UG) for the specific purposes intended will be at Users sole risk and without liability or legal exposure to UG and User shall indemnify and hold harmless UG from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom. Any such verification or adaptation will entitle UG to further compensation at rates to be agreed upon by User and UG.

SECTION 4

TOWN 3 NORTH AND RANGE 6 EAST

HARTLAND TOWNSHIP

LIVINGSTON COUNTY, MICHIGAN

DATE: 7-12-21

REVISIONS

10-20-2021	
11-02-2021	
12-06-2021	

YATOOMA OIL HARTLAND

PAMPALONA COMPANIES

850 W. UNIVERSITY DR., SUITE D

ROCHESTER, MI 48307

CLIENT:

DR BY: MD/DM

CK BY: TL

P.M. JF

SCALE: 0 10 20

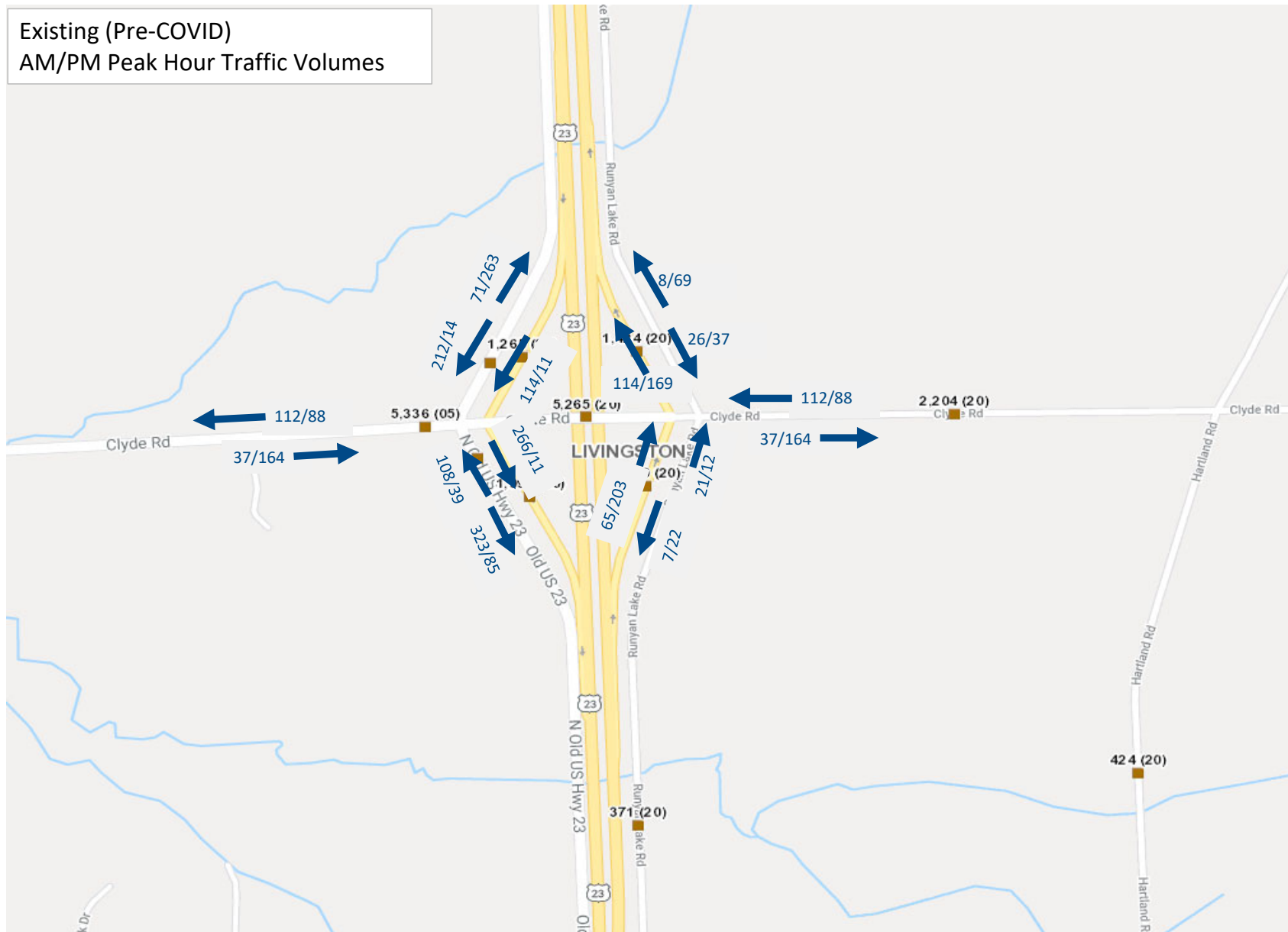
1" = 20 FEET

JOB NO. 210614

SHEET NO. C3

SHEET C3 OF C5

Existing (Pre-COVID)
AM/PM Peak Hour Traffic Volumes



From: [Mike Goryl](#)
To: [Julie M. Kroll](#)
Cc: [Kim Hiller](#); [Jason Fleis](#)
Subject: RE: 2109-009 Hartland Gas-Traffic Study
Date: Wednesday, January 12, 2022 9:09:30 AM
Attachments: [image001.png](#)
[image002.png](#)

CAUTION: **EXTERNAL EMAIL** DO NOT click links or open attachments unless you recognize the sender and know the content is safe.

Hi Julie,

Happy New Year to you also.

After reviewing traffic volumes and doing a rough review of trip generation numbers for the site, we are not requiring a traffic study as a condition of our driveway permit process. However, if the Township's Planning Commission requires a traffic study, we would obviously like the opportunity to review and comment.

If you have any other questions, please feel free to contact me.

Regards,

Mike Goryl
Traffic and Safety Engineer
Livingston County Road Commission
3535 Grand Oaks Drive
Howell, MI 48843
517-546-4250 (office)
517-518-3019 (direct)

From: Julie M. Kroll <jkroll@fveng.com>
Sent: Tuesday, January 11, 2022 12:59 PM
To: Mike Goryl <mgoryl@livingstonroads.org>
Cc: Kim Hiller <khiller@livingstonroads.org>; Jason Fleis <jfleis@umlorgroup.com>
Subject: 2109-009 Hartland Gas-Traffic Study

Hi Mike,
Happy New Year! I hope you had a nice holiday.

We were contacted regarding a traffic study for a proposed development at the intersection of Clyde Road & Runyan Lake Road in Hartland Township.

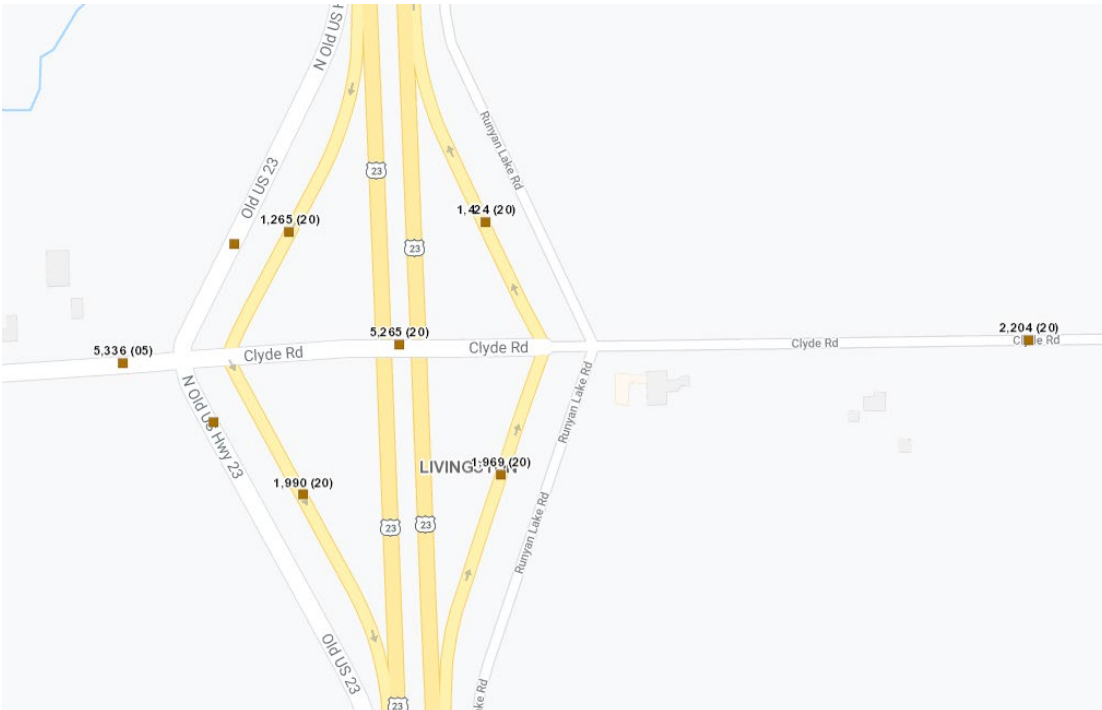
The applicant has their PC meeting on Thursday and one of the comments that they received from the Township is regarding the traffic study requirement.

I understand that LCRC has reviewed the driveway design and locations, the review performed by Kim is attached. The applicant has subsequently updated the site plan to reflect the comments in Kim's review as shown on the attached site plan.

Upon review of the adjacent street traffic volumes, they are relatively low.

We are looking to understand if LCRC will require a traffic study for this project as part of the driveway

permitting approvals?



Thanks,

Julie M. Kroll, PE, PTOE

Traffic Engineering Services Manager | Associate

FLEIS & VANDENBRINK

27725 Stansbury Blvd., Suite 195 | Farmington Hills | MI | 48334

Martha Wyatt

To: Martha Wyatt
Subject: Hartland Gas Station- Sight Distance Review

From: Jason Fleis
Sent: Wednesday, October 20, 2021 10:11 AM
To: Kim Hiller
Subject: RE: Hartland Gas - Sight Distance Review

Kim - thank you for the quick response! I will adjust the plan accordingly.

Jason M. Fleis, PE



From: Kim Hiller <khiller@livingstonroads.org>
Sent: Wednesday, October 20, 2021 10:08 AM
To: Jason Fleis
Subject: RE: Hartland Gas - Sight Distance Review

Jason,

With regard to the approach off Runyan Lake Road, due to the low speeds and traffic volume we would accept a 10' straight section instead of a 50' right turn lane and a 50' deceleration taper instead of 100'.

Please let me know if you have any other questions.

Thank you,

Kim Hiller, P.E.

Utilities and Permits Engineer
Livingston County Road Commission
3535 Grand Oaks Drive
Howell, MI 48843
khiller@livingstonroads.org

Troy Langer

From: Troy Langer
Sent: Tuesday, January 18, 2022 11:51 AM
To: Troy Langer
Subject: FW: 2109-009 Hartland Gas-Traffic Study

From: Mike Goryl <mgoryl@livingstonroads.org>
Sent: Tuesday, January 18, 2022 11:35 AM
To: Troy Langer <TLanger@hartlandtwp.com>
Subject: RE: 2109-009 Hartland Gas-Traffic Study

Troy,

Thank you for sharing the report. We're in general agreement with the assessment. The only comment we have relates to the diverted trips. While the report is correct that diverted trips don't add new trips to the network, they will add new trips to the road system at the proposed development. In this case they will add new trips between US-23 and the proposed driveway on Clyde Road, and on Runyan Lake Road between Clyde Road and the proposed driveway. Since most of the trips are assumed to be diverted from US-23, most of the trips on Clyde Road and Runyan Lake Road at the site will be new trips. Any of these diverted trips that normally go to the Mobil station on the south side, and choose instead to divert to the new station, would not be considered new trips. That percentage is anyone's guess.

Mike

From: Troy Langer <TLanger@hartlandtwp.com>
Sent: Tuesday, January 18, 2022 10:21 AM
To: Mike Goryl <mgoryl@livingstonroads.org>
Subject: FW: 2109-009 Hartland Gas-Traffic Study

Mike,

They submitted a slightly updated traffic study.

Please find attached for your review.



Troy Langer
Planning Director
810.632.7498
2655 Clark Road
Hartland, MI 48353
www.hartlandtwp.com

Troy Langer

From: Troy Langer
Sent: Tuesday, January 25, 2022 1:01 PM
To: Troy Langer
Subject: FW: Yatooma Oil Traffic Study Review

From: Darga Mike <MDarga@hrcengr.com>
Sent: Tuesday, January 25, 2022 12:58 PM
To: Troy Langer <TLanger@hartlandtwp.com>
Subject: RE: Yatooma Oil Traffic Study Review

Troy,
The issue with getting the turning movement accounts can be reviewed by the LCRC when they review the ROW construction permit for this project. We have no objection to the site plan currently.

Thanks,
[Michael P. Darga](#)
Hubbell, Roth & Clark, Inc.
517-292-1485 Direct
248-535-3350 Mobile

Troy,

We have reviewed the Traffic Impact Assessment for Yatooma Oil Convenience Store and Gas station Development by Fleis & VandenBrink (F&V) dated January 14, 2022. F&V used the appropriate trip generation for the analysis. F&V indicated that diverted link and pass-by trips should be discounted similarly, which they should not. The pass-by rate of 75% is too high for analysis on Clyde and Runyan Lake Roads. Diverted trips from US-23 should be analyzed at the site driveways, but not added as new trips on the US-23 ramps.

The largest concern with the additional traffic from US-23 is traffic turning left into the development from Clyde Road. In lieu of a full traffic study, **we would recommend the developer obtain 24-hour turning movement counts at the intersection of Clyde/Runyan Lake Road to determine if a left turn lane warrant would be met.** The counts in the report are taken at midblock and do not reflect the traffic using the gas station/convenience store on the south side of Clyde Road. We have discussed our comments with the Livingston County Road Commission, and they agree that data for the additional movement counts should be collected.

Thanks,
[Michael P. Darga](#)
Hubbell, Roth & Clark, Inc.
517-292-1485 Direct
248-535-3350 Mobile

plant material list

key	quant.	botanical name	common name	size	root	comments
CANOPY TREES						
AF	6	ACER X FREEMANII 'JEFFERSRED'	AUTUMN BLAZE RED MAPLE	3" CAL.	B. & B.	
APC	3	ACER PLATANOIDES 'CRIMSON KING'	CRIMSON KING NORWAY MAPLE	3" CAL.	B. & B.	
AP	6	ACER PLATANOIDES 'NORWAY'	NORWAY MAPLE	3" CAL.	B. & B.	
ARA	3	ACER R. 'ARMSTRONG'	ARMSTRONG RED MAPLE	3" CAL.	B. & B.	
PC	9	PYRUS CALLERYANA 'CHANTICLEER'	CLEVELAND SELECT PEAR	3" CAL.	B. & B.	
QB	7	QUERCUS 'BICOLOR'	SWAMP WHITE OAK	3" CAL.	B. & B.	
AC	4	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	6' HT.	B. & B.	MULTI-STEM
CC	7	CERCIS CANADENSIS	EASTERN REDBUD	6' HT.	B. & B.	MULTI-STEM
EVERGREEN TREES						
PD	10	PICA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	8' HT.	B. & B.	
PS	3	PINUS STROBUS	EASTERN WHITE PINE	8' HT.	B. & B.	
ORNAMENTAL TREES						
PcC	2	PYRUS CALLERYANA 'CHANTICLEER'	CLEVELAND SELECT PEAR	2" CAL.	B. & B.	
SHRUBS						
BuX	24	BUXUX X 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	2 GALLON		
CoA	14	CORNUS ALBA 'ARGENTEO-MARGINATA'	VARIEGATED REDTWIG DOGWOOD	2 GALLON		
HyA	2	HYDRANGEA 'ANNABELLE'	ANNABELLE HYDRANGEA	#5 CONT.		
RIa	10	RIBES ALPINUM 'GREENMOUND'	GREENMOUND ALPINE CURRANT	24" HT.		
RoN	42	ROSA 'NOARE'	RED FLOWER CARPET ROSE	#3 CONT.		
JuH	11	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	2 GALLON		
SpH	16	SPIRAEA HIPPONICA 'SNOWMOUND'	SNOWMOUND SPIRAEA	2 GALLON		
SyP	8	SYRINGA PUBESCENS 'MISS KIM'	MISS KIM LILAC	2 GALLON		
TaM	5	TAXUS x MEDIA 'TAUNTONII'	TAUNTON SPREADING YEW	2 GALLON		
TaX	82	TAXUS x MEDIA 'HICKSII'	HICKS YEW	36" HT.		
ThO	4	THUJA OCCIDENTALIS	AMERICAN ARORVITAE	5 GALLON		
ORNAMENTAL GRASSES						
Mi	20	MISCANTHUS SINENSIS GRACILLIMUS	MAIDEN HAIR GRASS	2 GALLON		

LANDSCAPING AND SCREENING REQUIRMENTS (SECTION 5.11):

GREENBELT LANDSCAPING (20' MIN. REQUIRED, 25' PROVIDED)
LENGTH OF ROW FRONTAGE: 255' + 285' = 540'

TREES REQUIRED: 1 TREE FOR EVERY 30 LIN. FT. OF ROW FRONTAGE
UP TO 50% MAY BE SUBSTITUTED WITH EVERGREEN TREES
540' / 30 = 18 TREES REQUIRED
PROVIDED: 15 DECIDUOUS AND 3 EVERGREEN TREES

SHRUBS REQUIRED: 3 SHRUBS FOR FIRST 40 LIN. FT. OF ROW FRONTAGE
THEN 1 SHRUB FOR EVERY 20 LIN. FT. OF ROW FRONTAGE
40' / 3 + 500' / 20 = 28 SHRUB REQUIRED
PROVIDED: 41 SHRUBS

FOUNDATION LANDSCAPING (60% OF BUILDING FRONT AND SIDE LENGTHS)
(100' + 60' + 60') x 60% = 132' REQUIRED, 163' PROVIDED
CURBED LANDSCAPE ISLAND AREA
REQUIRED AREA: 150 SF

TREES AND SHRUBS REQUIRED: 1 TREE AND 6 MEDIUM SHRUBS FOR EVERY
30 LIN. FT. OF BUILDING FRONTAGE
163' / 30 = 6 TREES AND 36 MEDIUM SHRUBS
PROVIDED: 6 TREES AND 42 MEDIUM SHRUBS

PARKING LOT LANDSCAPING

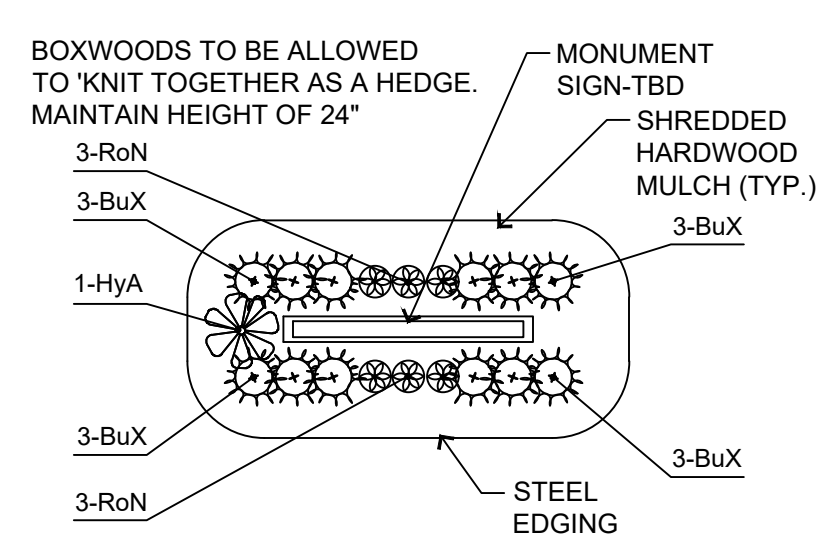
CURBED LANDSCAPE ISLANDS - 599 SF LANCSPAED AREA
1 TREE PER 180 SF OF INTERIOR CURBED INTERIOR LANDSCAPED AREA
CURBED LANDSCAPE AREAS SHALL BE PLANTED WITH SHRUBS AND
FLOWERING PLANTS THAT PROVIDE 50% COVERAGE OF ISLAND.
599 SF / 180 = 4 TREES
PROVIDED: 4 TREES

PERIMETER AREAS
PARKING LOT ABUTTING RUNYAN LAKE AND CLYDE ROADS -
50/50 OF 36" DECORATIVE WALL & CONTINUOUS HEDGE

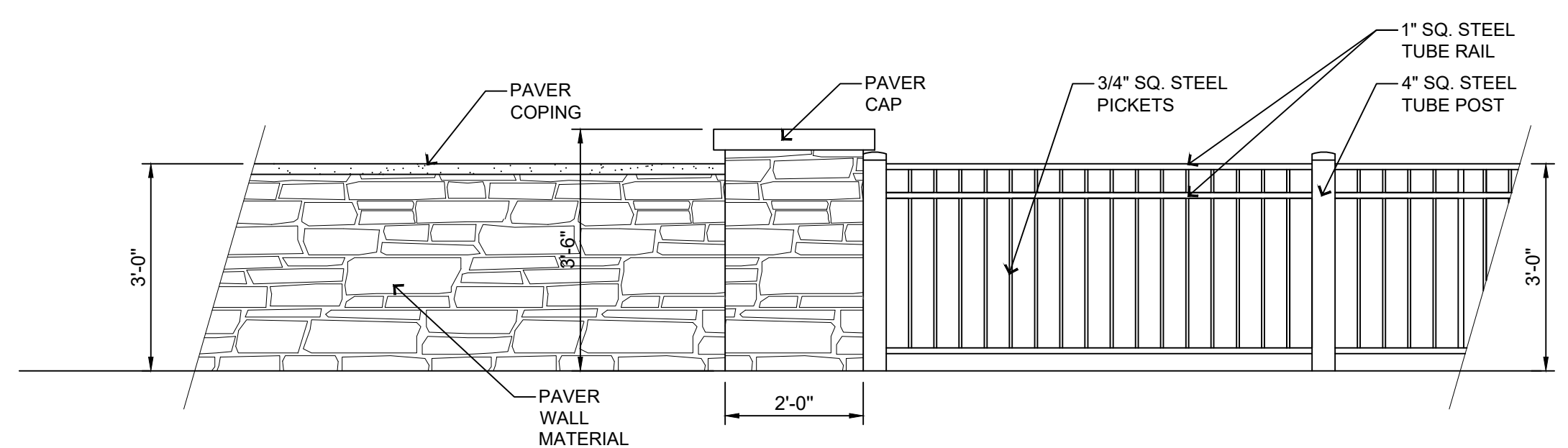
PARKING LOT NOT VISIBLE FROM PUBLIC ROAD
LENGTH OF PERIMETER AREA: 392' + 233' = 625'
TREES REQUIRED 1 TREE EVERY 30 LIN. FT. OF PROPERTY
625' / 30 = 21 TREES
PROVIDED: 22 TREES

BUFFERING OR SCREENING REQUIREMENTS
SCREENING BETWEEN LAND USES NOT REQUIRED.

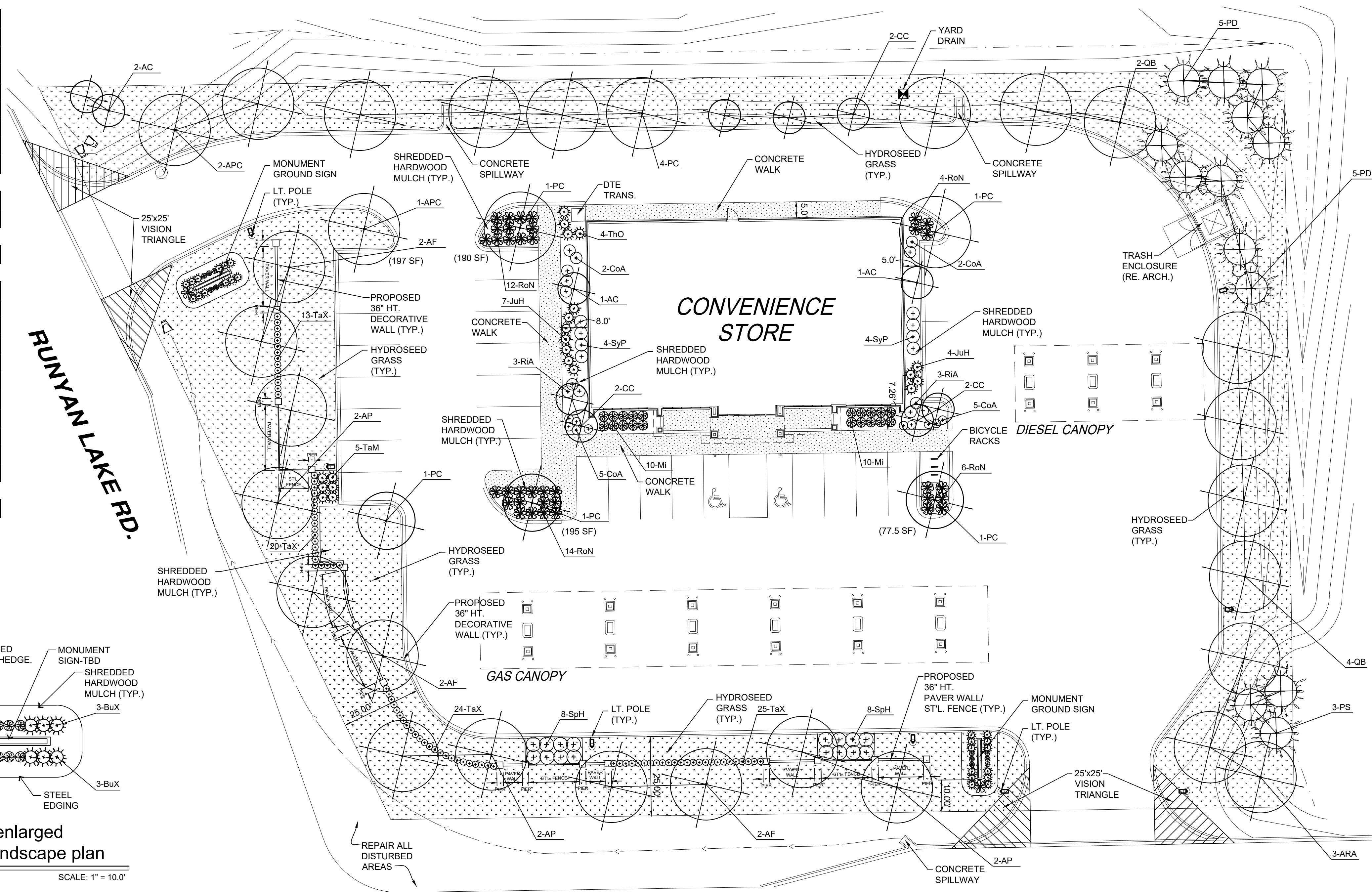
MONUMENT SIGNS
HARDSCAPE SURROUND AND PLANTINGS PER ORDINANCE



2/LS100 enlarged
signage landscape plan
TYPICAL OF 2 SCALE: 1" = 10.0'



3/LS100 decorative wall/fence detail
REFER TO 1/LS100 SCALE: 1/2"=1'-0"



SODDED AREA - IRRIGATED

1/LS100 landscape plan

IRRIGATION:
ALL LANDSCAPED, ROW AND GRASS
AREAS TO BE IRRIGATED BY AN
AUTOMATIC SPRINKLER SYSTEM.

UTILITIES:
COORDINATE ALL PLANTING AREAS w/
PLANNING AND ENGINEERING
DEPARTMENTS TO AVOID CONFLICTS WITH
UTILITIES AND EASEMENTS.

ITEM	MINIMUM DISTANCE
PROPERTY LINE	4 FEET
PUBLIC SIDEWALKS	
SHADE TRESS	5 FEET
ORNAMENTAL TRESS & EVERGREENS	10 FEET
UNDERGROUND UTILITIES-TREES	5 FEET
OVERHEAD UTILITIES-TREES	20 FEET

THE PLANTING OF TREES OR SHRUBS IS NOT PERMITTED WITHIN
THE RIGHT-OF-WAY.

LARGE DECIDUOUS TREES SHALL BE PLANTED A MINIMUM OF 20 FEET
AND A MAXIMUM OF 30 FEET APART.

EVERGREEN TREES SHALL BE PLANTED A MINIMUM OF 10 FEET AND A
MAXIMUM OF 21 FEET APART.

SMALL DECIDUOUS TREES SHALL BE PLANTED A MINIMUM OF 8 FEET
APART AND A MAXIMUM OF 15 FEET APART.

CONTRACTOR'S NOTE

The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
(TOLL FREE) for the location
of underground utilities

The contractor shall be responsible for adhering to all applicable local, state, and federal standards, specifications, and guidelines for construction.

Copyright 2021 - Bmk DESIGN+PLANNING LLC

Bmk DESIGN+PLANNING

Bmk DESIGN + PLANNING, LLC
54048 Mound Road - Shelby Township - Michigan - 48316
Ph 248.303.1446
kmb@bmkdp.com

PROJECT:

**Yatooma Oil
Hartland**
4708-04-300-002
Hartland Township,
MI 48430

CLIENT:

**Pampalona
Companies, LLC**
850 W. University
Suite D
Rochester, MI 48307

SITE PLAN REVIEW SUBMITTAL 3	12/28/2021
SITE PLAN REVIEW SUBMITTAL 2	12/06/2021
SITE PLAN REVIEW SUBMITTAL 1	11/02/2021
CONCEPT SITE DESIGN REVIEW	10/04/2021
DESCRIPTION	DATE

SHEET TITLE:

**LANDSCAPE
PLAN**

PROJECT NUMBER:
2021-142

DRAWN BY:
KMB

CHECKED BY:

SHEET NUMBER:

LS100

Permit No.:

ENGINEER/SURVEYOR



LAND DEVELOPMENT SERVICES

THE UMLOR GROUP
49287 WEST ROAD
WIXOM, MI 48393
FAX: (866) 690-4307
WEB: www.umlorgroup.com

WES LEE O. UMLOR, P.S.
PHONE: (248) 773-7656
EMAIL: wumlor@umlorgroup.com

JASON M. FLEIS, P.E.
PHONE: (248) 981-4281
EMAIL: jfleis@umlorgroup.com

DEVELOPER



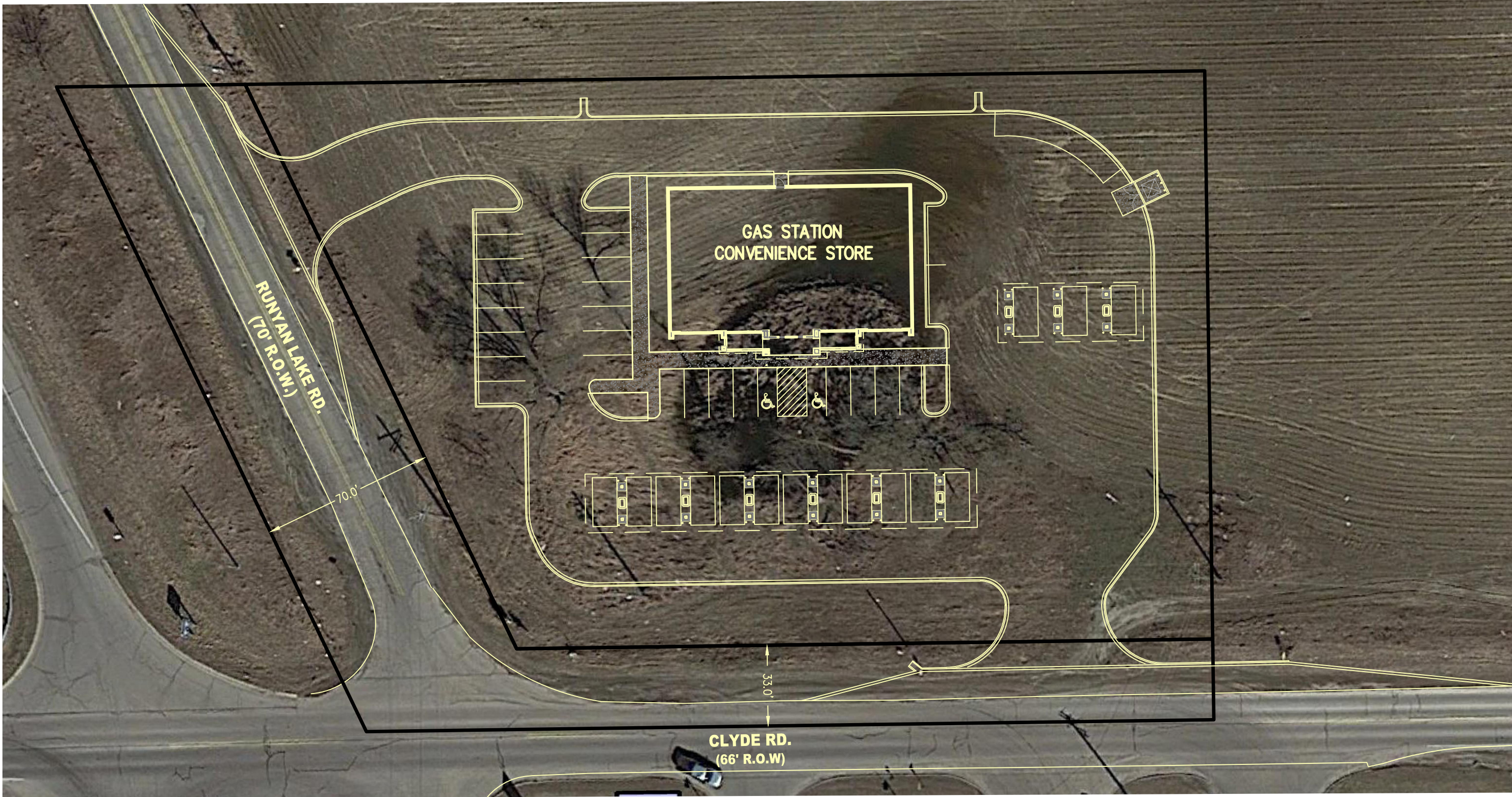
PAMPALONA COMPANIES
850 W. UNIVERSITY DR., SUITE D
ROCHESTER, MICHIGAN 48307
PHONE: (248) 710 - 3444
EMAIL: info@pampalona.com
WEB: www.pampalona.com

OWNER

MICHAEL YATOOMA
51300 DANVIEW TECHNOLOGY COURT
SHELBY TOWNSHIP, MI 48315
PHONE: (586) 327-1100
EMAIL: michael@yatoomaoil.com

SITE PLAN YATOOMA OIL HARTLAND

SECTION 4, TOWN 3 NORTH, RANGE 6 EAST
HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

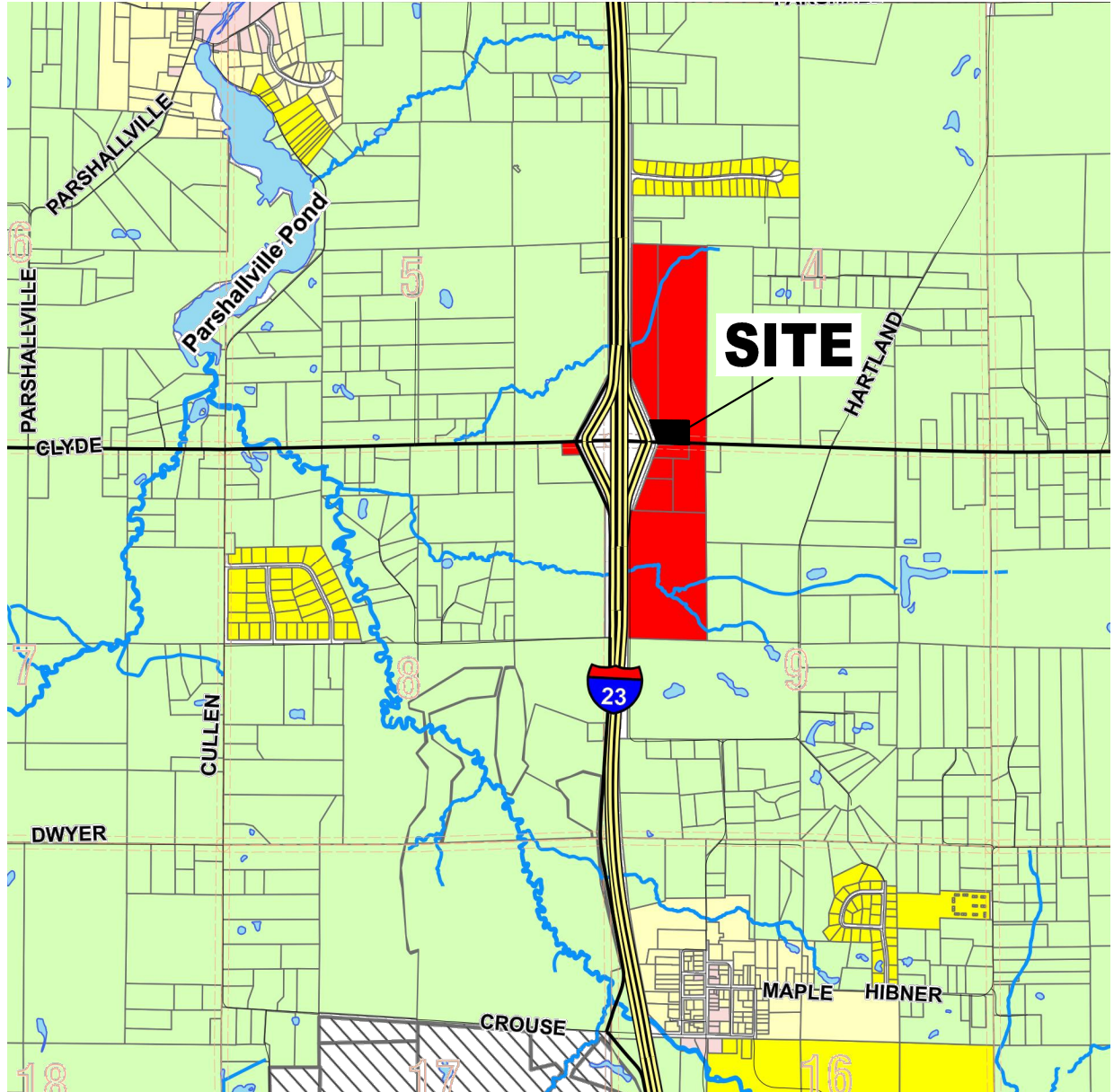


SITE MAP

SCALE: 1" = 40'

ZONING MAP

NOT TO SCALE



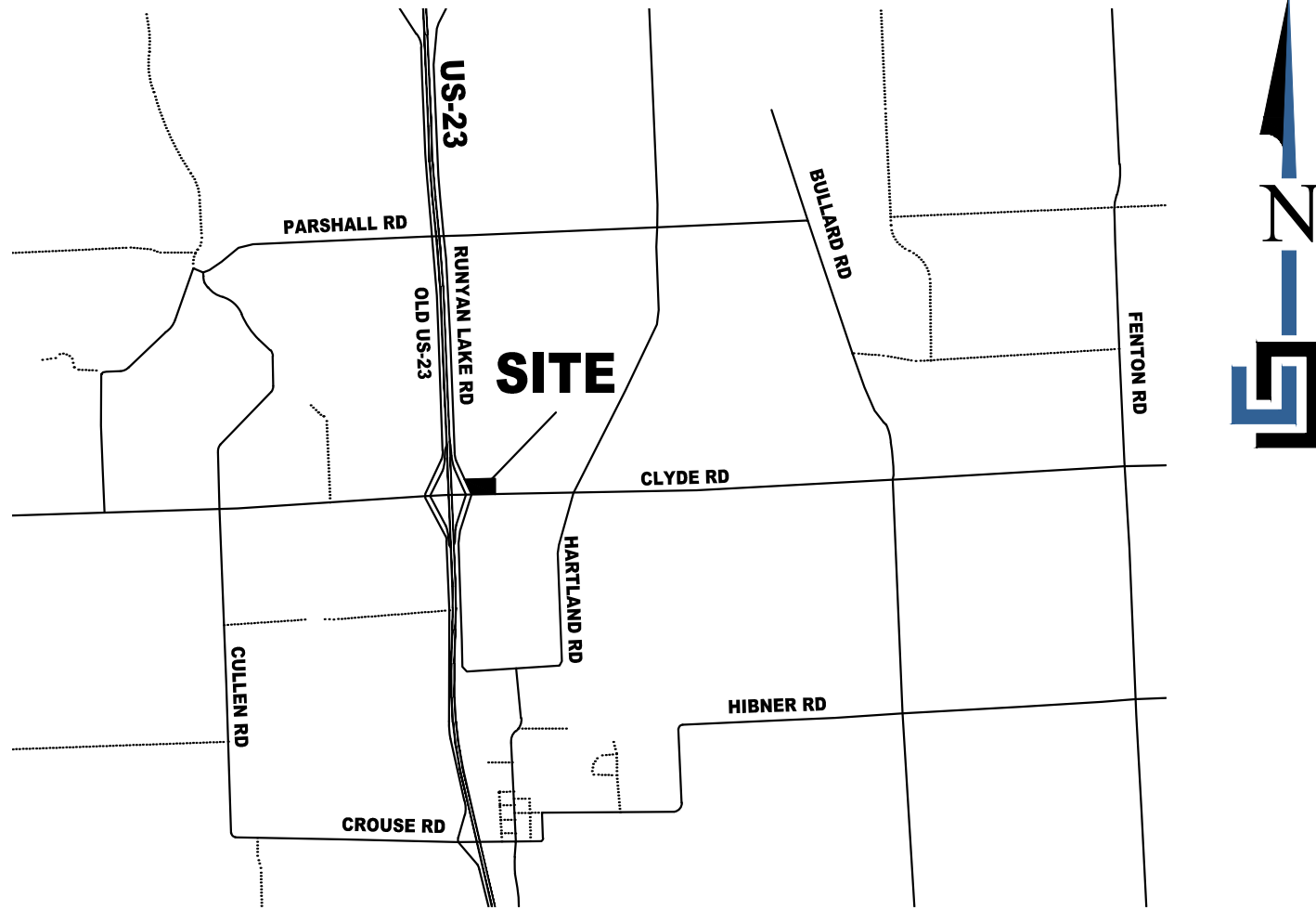
Hartland Township
Livingston County, Michigan



- CA - Conservation Agricultural
- RUR - Rural Residential
- RR - Residential Recreational
- STR - Settlement Residential
- RE- Rural Estate District
- SR - Suburban Residential
- MDR - Medium Density Residential
- HDR - High Density Residential
- MR - Multiple Family Residential
- MR-2 - Mobile Home Park
- OS - Office Service
- LC - Limited Commercial
- NSC - Neighborhood Service Commercial
- GC - General Commercial
- RDP - Research and Development Park
- LI - Light Industrial
- I - Industrial
- PD - Planned Development

ZONING

PER: HARTLAND TOWNSHIP PLANNING DEPARTMENT
ZONED: GC - GENERAL COMMERCIAL



VICINITY MAP

SCALE: 1" = 2500' ±

SHEET INDEX

- | | |
|-------|---------------------------------|
| C1 | COVER |
| C2 | TOPOGRAPHICAL SURVEY |
| C3 | SITE PLAN |
| C4 | GRADING PLAN |
| C5 | UTILITY PLAN |
| LS100 | LANDSCAPE PLAN |
| LS101 | LANDSCAPE NOTES & DETAILS |
| PH100 | PHOTOMETRIC SITE PLAN |
| A001 | ARCHITECTURAL RENDERINGS |
| A100 | SHELL FLOOR PLAN |
| A200 | EXTERIOR ELEVATIONS |
| A201 | EXTERIOR ELEVATIONS |
| A202 | FUEL CANOPY PLAN AND ELEVATIONS |

PROPOSED LEGAL DESCRIPTION

PART OF THE SOUTH WEST QUARTER OF SECTION 4, TOWN 3 NORTH RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING FROM THE SOUTHWEST CORNER OF SAID SECTION 4, THENCE S86°55'50"E 654.88 FEET ALONG THE SOUTHERLY LINE OF SAID SECTION 4 AND FOLLOWING CLYDE ROAD TO THE POINT OF BEGINNING, THENCE THE FOLLOWING TWO (2) COURSES ALONG THE EASTERLY LINE OF RUNYAN LAKE ROAD, 1) N20°55'37"W 901.00 FEET, AND 2) N00°52'43"E 1849.41 FEET TO A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 4, THENCE S87°03'25"E 334.50 FEET ALONG SAID EAST-WEST 1/4 LINE, THENCE S00°52'43"W 2673.88 FEET TO THE POINT OF BEGINNING ON THE SOUTHERLY LINE OF SAID SECTION 4 SAID POINT ALSO BEING IS SAID CLYDE ROAD, CONTAINING 17.38 ACRES MORE OR LESS, SUBJECT TO THE RIGHTS OF THE PUBLIC IN CLYDE ROAD, ALSO SUBJECT TO AND EASEMENTS OR RESTRICTIONS OF RECORD, IF ANY.

RIGHT-OF-WAY DEDICATION DESCRIPTION

PART OF THE SOUTH WEST QUARTER OF SECTION 4, TOWN 3 NORTH RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY MICHIGAN, BEING DESCRIBED AS COMMENCING FROM SECTION 4 TOWN 3 NORTH RANGE 6 EAST N89°11'35"E 658.51' TO THE POINT OF BEGINNING, THENCE N25°40'34"W 292.37'; THENCE N89°11'34"E 77.15'; THENCE S29°40'34" 256.00'; THENCE N89°11'35"E 284.50'; THENCE S0°48'25"E 33.00'; THENCE S89°11'35"W 346.36' TO THE POINT OF BEGINNING.

FINAL PARCEL LEGAL DESCRIPTION

PART OF THE SOUTH WEST QUARTER OF SECTION 4, TOWN 3 NORTH RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY MICHIGAN, BEING DESCRIBED AS COMMENCING FROM THE SOUTHWEST CORNER OF SAID SECTION 4, THENCE S86°55'50"E 654.88 FEET ALONG THE SOUTHERLY LINE OF SAID SECTION 4 AND FOLLOWING CLYDE ROAD TO THE POINT OF BEGINNING, THENCE N00°52'43"E 2673.88 FEET TO A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 4, THENCE S87°03'25"E 1295.16 FEET ALONG SAID EAST-WEST LINE, THENCE S01°49'50"W 2675.41 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID SECTION 4, SAID POINT ALSO BEING IN SAID CLYDE ROAD, THENCE N86°55'50"W 1250.75 FEET ALONG THE SOUTHERLY LINE OF SAID SECTION 4 AND FOLLOWING SAID CLYDE ROAD TO THE POINT OF BEGINNING, CONTAINING 78.12 ACRES MORE OR LESS, SUBJECT TO THE RIGHTS OF THE PUBLIC IN CLYDE ROAD, ALSO SUBJECT TO AND EASEMENTS OR RESTRICTIONS OF RECORDED, IF ANY.

LEGAL DESCRIPTION (PER TITLE PROVIDED)

TAX PARCEL NO. 4708-04-300-001

BEING A PART OF THE SOUTH WEST 1/4 OF SECTION 4, T-3-N, R-6-E, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING FROM THE SOUTHWEST CORNER OF SAID SECTION 4, THENCE S86°55'50"E 654.88 FEET ALONG THE SOUTHERLY LINE OF SAID SECTION 4 AND FOLLOWING CLYDE ROAD TO THE POINT OF BEGINNING, THENCE N00°52'43"E 2673.88 FEET TO A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 4, THENCE S87°03'25"E 1295.16 FEET ALONG SAID EAST-WEST LINE, THENCE S01°49'50"W 2675.41 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID SECTION 4, SAID POINT ALSO BEING IN SAID CLYDE ROAD, THENCE N86°55'50"W 1250.75 FEET ALONG THE SOUTHERLY LINE OF SAID SECTION 4 AND FOLLOWING SAID CLYDE ROAD TO THE POINT OF BEGINNING, CONTAINING 78.12 ACRES MORE OR LESS, SUBJECT TO THE RIGHTS OF THE PUBLIC IN CLYDE ROAD, ALSO SUBJECT TO AND EASEMENTS OR RESTRICTIONS OF RECORDED, IF ANY.

TAX PARCEL NO. 4708-04-300-002

BEING A PART OF THE SOUTH WEST 1/4 OF SECTION 4, T-3-N, R-6-E, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING FROM THE SOUTHWEST CORNER OF SAID SECTION 4, THENCE S86°55'50"E 654.88 FEET ALONG THE SOUTHERLY LINE OF SAID SECTION 4 AND FOLLOWING CLYDE ROAD TO THE POINT OF BEGINNING, THENCE N00°52'43"E 2673.88 FEET TO A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 4, THENCE S87°03'25"E 1295.16 FEET ALONG SAID EAST-WEST LINE, THENCE S01°49'50"W 2675.41 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID SECTION 4, SAID POINT ALSO BEING IN SAID CLYDE ROAD, THENCE N86°55'50"W 1250.75 FEET ALONG THE SOUTHERLY LINE OF SAID SECTION 4 AND FOLLOWING SAID CLYDE ROAD TO THE POINT OF BEGINNING, CONTAINING 78.12 ACRES MORE OR LESS, SUBJECT TO THE RIGHTS OF THE PUBLIC IN CLYDE ROAD, ALSO SUBJECT TO AND EASEMENTS OR RESTRICTIONS OF RECORDED, IF ANY.

BENCHMARK

(NAVD 88 DATUM)
BENCHMARK #135

BENCHMARK SET ON NE BOLT OF SIGN BASE, LOCATED SOUTH SIDE OF CLYDE ROAD, SOUTH WEST CORNER OF SUBJECT PARCEL

ELEV.=1003.95



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



Know what's below.
Call before you dig.

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT©2011 THE UMLOR GROUP: ALL RIGHTS RESERVED.
These documents are instruments of service in respect of the Project and any reuse without written verification or adaptation by The Umlor Group (UG) for the specific purposes intended will be at User's sole risk and without liability or legal exposure to UG and User shall indemnify and hold harmless UG from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom. Any such verification or adaptation will entitle UG to further compensation at rates to be agreed upon by User and UG.

The UMLOR Group
LAND DEVELOPMENT SERVICES
49287 WEST ROAD WIXOM, MI 48393
TEL 248.773.7656 - FAX 866.690.4307

SECTION 4	TOWN 3 NORTH AND RANGE 6 EAST	HARTLAND TOWNSHIP	LIVINGSTON COUNTY, MICHIGAN
-----------	-------------------------------	-------------------	-----------------------------

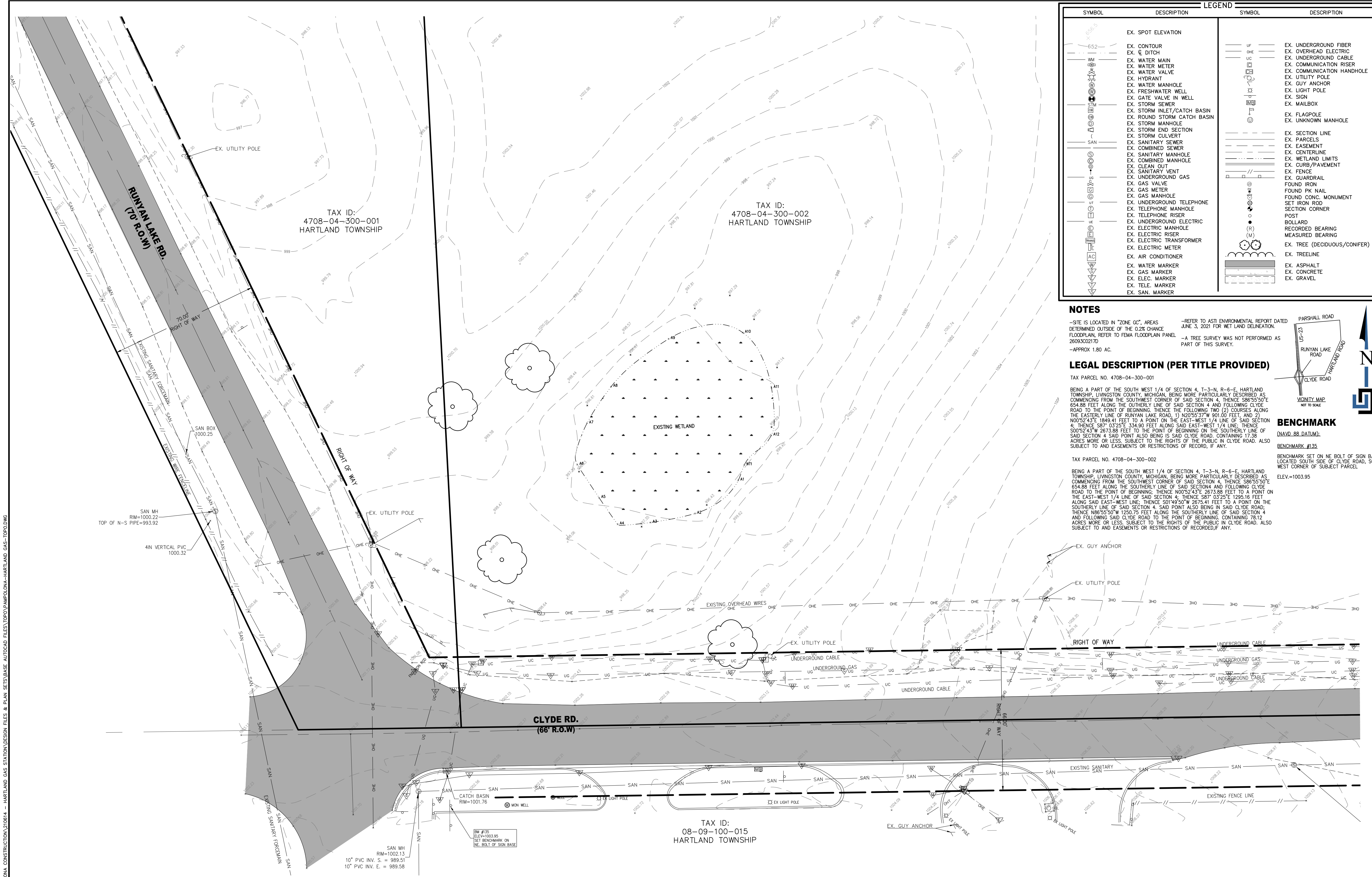
DATE: 7-12-21

REVISIONS

09-15-2021
11-02-2021
12-06-2021

YATOOMA OIL HARTLAND
PAMPALONA COMPANIES
850 W. UNIVERSITY DR., SUITE D
ROCHESTER, MI 48307
CLIENT:
YATOOMA OIL HARTLAND
COVER
DR BY: MD/DM
CK BY: TF
P.M. JF
SCALE 0
AS NOTED
JOB NO. 210614
SHEET NO. C1
SHEET C1 OF C5

M:\UMLOR GROUP PROJECT FOLDERS\YATOOMA CONSTRUCTION\210614 - HARTLAND GAS STATION\DESIGN FILES & PLAN SETS\BASE AUTOCAD FILES\TOPO\PAMPALONA-HARTLAND GAS-TOPOG.DWG



LEGEND	
SYMBOL	DESCRIPTION
EX. SPOT ELEVATION	EX. SPOT ELEVATION
EX. CONTOUR	EX. CONTOUR
EX. DITCH	EX. DITCH
EX. WATER MAIN	EX. WATER MAIN
EX. WATER METER	EX. WATER METER
EX. WATER VALVE	EX. WATER VALVE
EX. HYDRANT	EX. HYDRANT
EX. WATER MANHOLE	EX. WATER MANHOLE
EX. FRESHWATER WELL	EX. FRESHWATER WELL
EX. GATE VALVE IN WELL	EX. GATE VALVE IN WELL
EX. STORM SEWER	EX. STORM SEWER
EX. STORM INLET/CATCH BASIN	EX. STORM INLET/CATCH BASIN
EX. ROUND STORM CATCH BASIN	EX. ROUND STORM CATCH BASIN
EX. STORM MANHOLE	EX. STORM MANHOLE
EX. STORM END SECTION	EX. STORM END SECTION
EX. STORM CULVERT	EX. STORM CULVERT
EX. SANITARY SEWER	EX. SANITARY SEWER
EX. COMBINED SEWER	EX. COMBINED SEWER
EX. SANITARY MANHOLE	EX. SANITARY MANHOLE
EX. COMBINED MANHOLE	EX. COMBINED MANHOLE
EX. CLEAN OUT	EX. CLEAN OUT
EX. SANITARY VENT	EX. SANITARY VENT
EX. UNDERGROUND GAS	EX. UNDERGROUND GAS
EX. GAS VALVE	EX. GAS VALVE
EX. GAS METER	EX. GAS METER
EX. GAS MANHOLE	EX. GAS MANHOLE
EX. UNDERGROUND TELEPHONE	EX. UNDERGROUND TELEPHONE
EX. TELEPHONE MANHOLE	EX. TELEPHONE MANHOLE
EX. TELEPHONE RISER	EX. TELEPHONE RISER
EX. UNDERGROUND ELECTRIC	EX. UNDERGROUND ELECTRIC
EX. ELECTRIC MANHOLE	EX. ELECTRIC MANHOLE
EX. ELECTRIC RISER	EX. ELECTRIC RISER
EX. ELECTRIC TRANSFORMER	EX. ELECTRIC TRANSFORMER
EX. ELECTRIC METER	EX. ELECTRIC METER
EX. AIR CONDITIONER	EX. AIR CONDITIONER
EX. WATER MARKER	EX. WATER MARKER
EX. GAS MARKER	EX. GAS MARKER
EX. ELEC. MARKER	EX. ELEC. MARKER
EX. TELE. MARKER	EX. TELE. MARKER
EX. SAN. MARKER	EX. SAN. MARKER
EX. UNDERGROUND FIBER	EX. UNDERGROUND FIBER
EX. OVERHEAD ELECTRIC	EX. OVERHEAD ELECTRIC
EX. UNDERGROUND CABLE	EX. UNDERGROUND CABLE
EX. COMMUNICATION RISER	EX. COMMUNICATION RISER
EX. UTILITY POLE	EX. UTILITY POLE
EX. GUY ANCHOR	EX. GUY ANCHOR
EX. LIGHT POLE	EX. LIGHT POLE
EX. SIGN	EX. SIGN
EX. MAILBOX	EX. MAILBOX
EX. FLAGPOLE	EX. FLAGPOLE
EX. UNKNOWN MANHOLE	EX. UNKNOWN MANHOLE
EX. SECTION LINE	EX. SECTION LINE
EX. PARCELS	EX. PARCELS
EX. EASEMENT	EX. EASEMENT
EX. CENTERLINE	EX. CENTERLINE
EX. WETLAND LIMITS	EX. WETLAND LIMITS
EX. CURB/PAVEMENT	EX. CURB/PAVEMENT
EX. FENCE	EX. FENCE
EX. GUARDRAIL	EX. GUARDRAIL
FOUND IRON	FOUND IRON
FOUND PK NAIL	FOUND PK NAIL
FOUND CONC. MONUMENT	FOUND CONC. MONUMENT
SET IRON ROD	SET IRON ROD
SECTION CORNER	SECTION CORNER
POST	POST
BOLLARD	BOLLARD
RECORDED BEARING	RECORDED BEARING
MEASURED BEARING	MEASURED BEARING
EX. TREE (DECIDUOUS/CONIFER)	EX. TREE (DECIDUOUS/CONIFER)
EX. TREELINE	EX. TREELINE
EX. ASPHALT	EX. ASPHALT
EX. CONCRETE	EX. CONCRETE
EX. GRAVEL	EX. GRAVEL

NOTES

- SITE IS LOCATED IN "ZONE GC", AREAS DETERMINED OUTSIDE OF THE 0.2% CHANCE FLOODPLAIN, REFER TO FEMA FLOODPLAIN PANEL 26093C0217D
- APPROX 1.80 AC.
- REFER TO ASTI ENVIRONMENTAL REPORT DATED JUNE 3, 2021 FOR WET LAND DELINEATION.
- A TREE SURVEY WAS NOT PERFORMED AS PART OF THIS SURVEY.

LEGAL DESCRIPTION (PER TITLE PROVIDED)

TAX PARCEL NO. 4708-04-300-001

BEING A PART OF THE SOUTH WEST 1/4 OF SECTION 4, T-3-N, R-6-E, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING FROM THE SOUTHWEST CORNER OF SAID SECTION 4, THENCE S86°55'50"E 654.88 FEET ALONG THE SOUTHERLY LINE OF SAID SECTION 4 AND FOLLOWING CLYDE ROAD TO THE POINT OF BEGINNING, THENCE THE FOLLOWING TWO (2) COURSES ALONG THE EASTERLY LINE OF RUNYAN LAKE ROAD, 1) N20°56'37"W 901.00 FEET, AND 2) N00°52'47"E 1849.41 FEET TO A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 4, THENCE S87°03'25"E 334.90 FEET ALONG SAID EAST-WEST 1/4 LINE; THENCE S00°52'43"W 2673.88 FEET TO THE POINT OF BEGINNING ON THE SOUTHERLY LINE OF SAID SECTION 4 SAID POINT ALSO BEING SAID CLYDE ROAD, CONTAINING 17.38 ACRES MORE OR LESS, SUBJECT TO THE RIGHTS OF THE PUBLIC IN CLYDE ROAD, ALSO SUBJECT TO AND EASEMENTS OR RESTRICTIONS OF RECORD, IF ANY.

TAX PARCEL NO. 4708-04-300-002

BEING A PART OF THE SOUTH WEST 1/4 OF SECTION 4, T-3-N, R-6-E, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING FROM THE SOUTHWEST CORNER OF SAID SECTION 4, THENCE S86°55'50"E 654.88 FEET ALONG THE SOUTHERLY LINE OF SAID SECTION 4 AND FOLLOWING CLYDE ROAD TO THE POINT OF BEGINNING, THENCE N00°52'47"E 2673.88 FEET TO A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 4, THENCE S87°03'25"E 1295.16 FEET ALONG SAID EAST-WEST LINE; THENCE S07°49'50"W 2675.41 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID SECTION 4, SAID POINT ALSO BEING SAID CLYDE ROAD; THENCE N86°55'50"W 1250.75 FEET ALONG THE SOUTHERLY LINE OF SAID SECTION 4 AND FOLLOWING SAID CLYDE ROAD TO THE POINT OF BEGINNING, CONTAINING 78.12 ACRES MORE OR LESS, SUBJECT TO THE RIGHTS OF THE PUBLIC IN CLYDE ROAD, ALSO SUBJECT TO AND EASEMENTS OR RESTRICTIONS OF RECORD, IF ANY.

BENCHMARK

(NAVD 88 DATUM):

BENCHMARK #135

BENCHMARK SET ON NE BOLT OF SIGN BASE, LOCATED SOUTH SIDE OF CLYDE ROAD, SOUTH WEST CORNER OF SUBJECT PARCEL

ELEV.=1003.95

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

811

Know what's below.
Call before you dig.

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2021 THE UMLOR GROUP. ALL RIGHTS RESERVED.

These documents are instruments of service in respect of the Project and any reuse, without written verification or adaptation by The Umlor Group (UG), for the specific purposes intended will be at User's sole risk and without liability or legal exposure to UG and User shall indemnify and hold harmless UG from all claims, damages, losses and expenses, including attorneys' fees, arising out of or resulting therefrom. Any such verification or adaptation will entitle UG to further compensation at rates to be agreed upon by User and UG.

The UMLOR Group

LAND DEVELOPMENT SERVICES

19247 WEST ROAD WIXOM, MI 48393
TEL 248.773.7656 - FAX 866.690.4307

SECTION 4

TOWN 3 NORTH AND RANGE 6 EAST

HARTLAND TOWNSHIP

LIVINGSTON COUNTY, MICHIGAN

DATE: 7-12-21

REVISIONS

11-02-2021

YATOOMA OIL HARTLAND

PAMPALONA COMPANIES

850 W. UNIVERSITY DR., SUITE D

ROCHESTER, MI 48307

CLIENT:

TOPOGRAPHICAL SURVEY

DR BY: MD/DM

CK BY: JT

WES LEE O. UMLOR PROFESSIONAL SURVEYOR No. 95389

SCALE 0 10 20

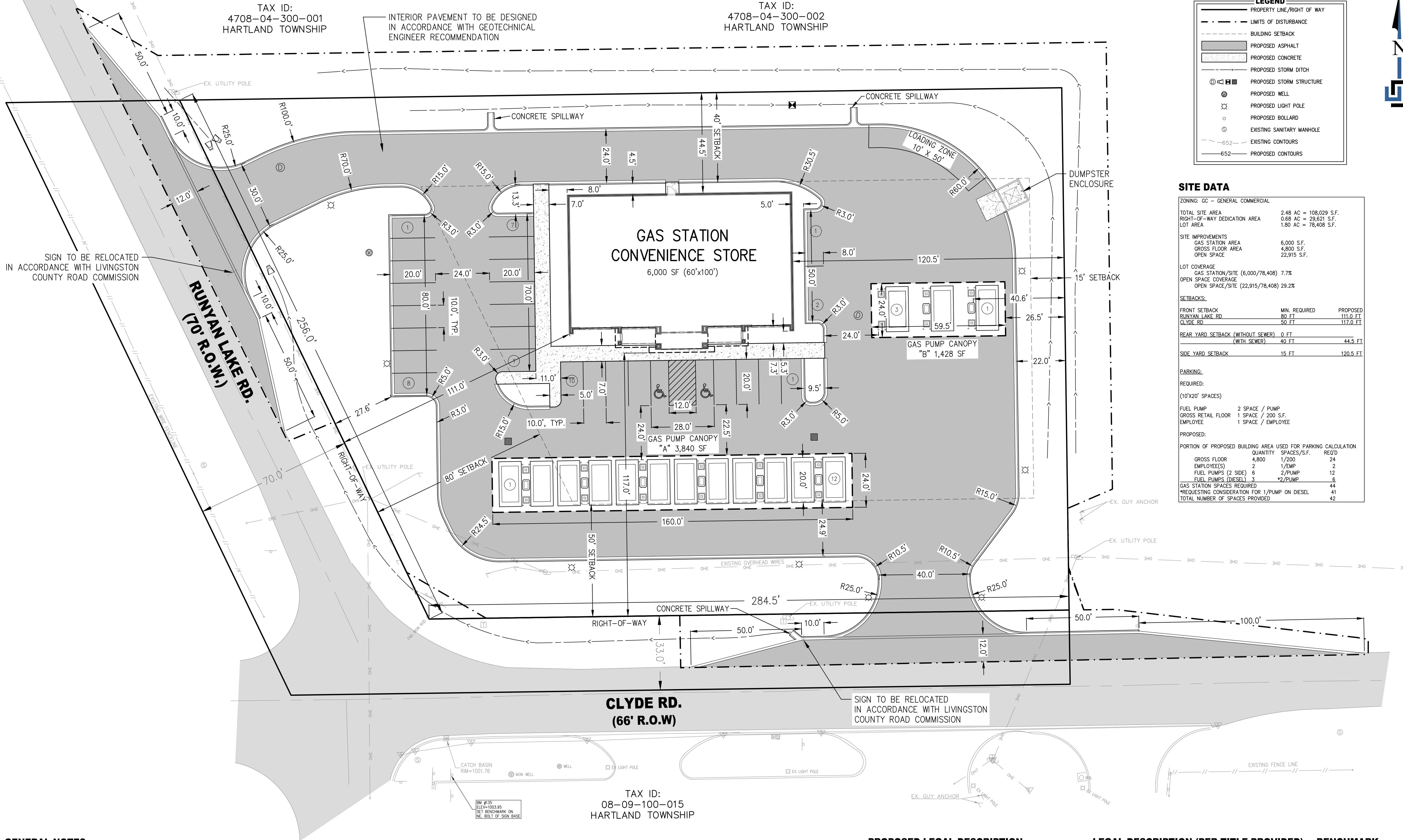
1" = 20 FEET

JOB NO. 210614

SHEET NO. C2

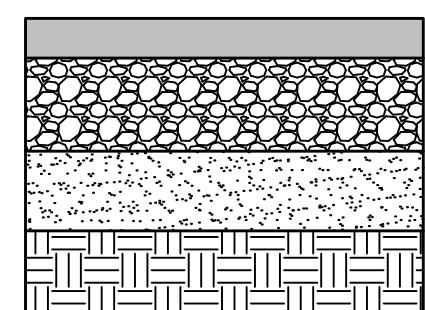
SHEET C2 OF C5

M:\UMLOR GROUP\PROJECT FOLDERS\PAMPALONA CONSTRUCTION\210614 - HARTLAND GAS STATION DESIGN FILES & PLAN SETS\BASE - AUTOCAD FILES\210614-LAYOUT BASE.DWG

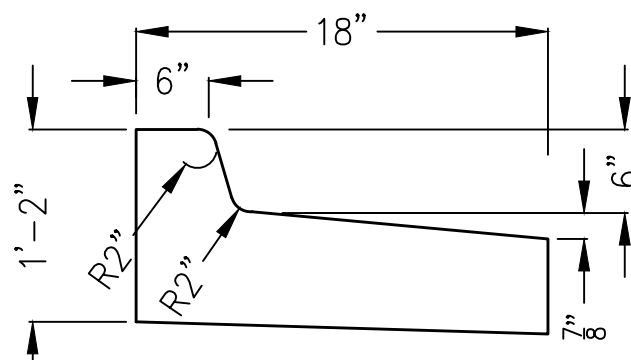


GENERAL NOTES

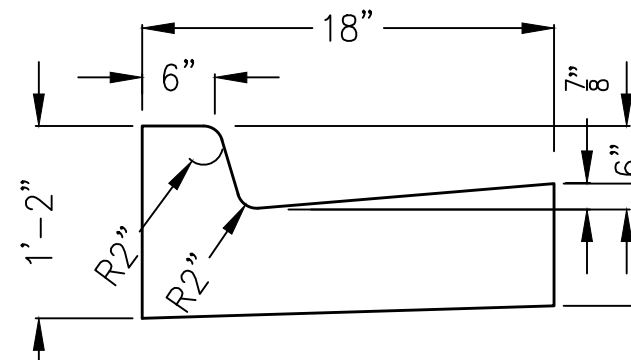
1. NOTIFY HARTLAND TOWNSHIP PLANNING DEPARTMENT A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL CONSTRUCTION MUST BE CONFORMING TO THE CURRENT STANDARDS AND SPECIFICATIONS ADOPTED BY HARTLAND TOWNSHIP, LIVINGSTON COUNTY ROAD COMMISSION, AND LIVINGSTON COUNTY DRAIN COMMISSION.
3. CALL MISS DIG (1-800-647-7344 / 1-800-MISS-DIG) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
4. ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON SITE OR WITHIN THE TEMPORARY GRADING EASEMENT.
5. ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PUBLIC PAVEMENT, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH SAND (CLASS II MDT).
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
7. PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT, ENGINEERING SITE INSPECTION IS REQUIRED.



R.O.W. PAVEMENT CROSS-SECTION



CURB DETAIL WITH REVERSE GUTTER PAN (TYP.)



CURB DETAIL (TYP.)

PROPOSED LEGAL DESCRIPTION

PART OF THE SOUTH WEST QUARTER OF SECTION 4, TOWN 3 NORTH RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING FROM SECTION 4 TOWN 3 NORTH, RANGE 6 EAST, THENCE N89°11'35"E 2562.30 A POINT OF BEGINNING; THENCE N25°40'34"W 292.37'; THENCE N89°11'34"E 469.31'; THENCE S04°25'E 265.26' TO THE SOUTH LINE OF SECTION 4, THENCE N89°11'34"E 346.36' ALONG THE SOUTH SECTION LINE OF SECTION 4 TO THE POINT OF BEGINNING.

RIGHT-OF-WAY DEDICATION DESCRIPTION

PART OF THE SOUTH WEST QUARTER OF SECTION 4, TOWN 3 NORTH RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY MICHIGAN, BEING DESCRIBED AS COMMENCING FROM SECTION 4 TOWN 3 NORTH, RANGE 6 EAST, N89°11'35"E 655.67'; THENCE N89°11'35"E 77.15 TO A POINT ALONG THE EAST RIGHT OF WAY LINE OF RUNYAN LAKE ROAD; THENCE N25°40'34"W 36.37' A POINT OF BEGINNING; THENCE N25°40'34"W 256.00'; THENCE N89°11'34"E 392.16'; THENCE S04°25'E 232.26' TO THE NORTH RIGHT OF WAY LINE OF CLYDE ROAD; THENCE S89°11'34"W 264.50' TO THE POINT OF BEGINNING, CONTAINING 1.80 ACRES MORE OR LESS, SUBJECT TO ALL EASEMENTS AND RIGHT OF WAY AS RECORDED OR OTHERWISE.

FINAL PARCEL LEGAL DESCRIPTION

PART OF THE SOUTH WEST QUARTER OF SECTION 4, TOWN 3 NORTH RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING FROM THE SOUTHWEST CORNER OF SAID SECTION 4, THENCE S86°55'50"E 654.88 FEET ALONG THE SOUTHERLY LINE OF SAID SECTION 4 AND FOLLOWING CLYDE ROAD TO THE POINT OF BEGINNING; THENCE N00°52'43"E 2673.88 FEET TO A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 4, THENCE S87°03'25"E 1295.16 FEET ALONG SAID EAST-WEST LINE; THENCE S01°49'50"W 2675.41 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID SECTION 4, SAID POINT ALSO BEING IN SAID CLYDE ROAD; THENCE N86°55'50"W 1250.75 FEET ALONG THE SOUTHERLY LINE OF SAID SECTION 4 AND FOLLOWING SAID CLYDE ROAD TO THE POINT OF BEGINNING, CONTAINING 78.12 ACRES MORE OR LESS, SUBJECT TO THE RIGHTS OF THE PUBLIC IN CLYDE ROAD, ALSO SUBJECT TO AND EASEMENTS OR RESTRICTIONS OF RECORD, IF ANY.

LEGAL DESCRIPTION (PER TITLE PROVIDED)

TAX PARCEL NO. 4708-04-300-001

BEING A PART OF THE SOUTH WEST 1/4 OF SECTION 4, T-3-N, R-6-E, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING FROM THE SOUTHWEST CORNER OF SAID SECTION 4, THENCE S86°55'50"E 654.88 FEET ALONG THE SOUTHERLY LINE OF SAID SECTION 4 AND FOLLOWING CLYDE ROAD TO THE POINT OF BEGINNING; THENCE N00°52'43"E 2673.88 FEET TO A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION 4, THENCE S87°03'25"E 1295.16 FEET ALONG SAID EAST-WEST LINE; THENCE S01°49'50"W 2675.41 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID SECTION 4, SAID POINT ALSO BEING IN SAID CLYDE ROAD; THENCE N86°55'50"W 1250.75 FEET ALONG THE SOUTHERLY LINE OF SAID SECTION 4 AND FOLLOWING SAID CLYDE ROAD TO THE POINT OF BEGINNING, CONTAINING 78.12 ACRES MORE OR LESS, SUBJECT TO THE RIGHTS OF THE PUBLIC IN CLYDE ROAD, ALSO SUBJECT TO AND EASEMENTS OR RESTRICTIONS OF RECORD, IF ANY.

TAX PARCEL NO. 4708-04-300-002

BENCHMARK

(NAVD 88 DATUM):
BENCHMARK #135

BENCHMARK SET ON NE BOLT OF SIGN BASE, LOCATED SOUTH SIDE OF CLYDE ROAD, SOUTH WEST CORNER OF SUBJECT PARCEL
ELEV=1003.95



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

811
Know what's below.
Call before you dig.

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2011 THE UMLOR GROUP. ALL RIGHTS RESERVED.

These documents are instruments of service in respect of the Project and any reuse without written verification or adaptation by The Umlor Group (UG) for the specific purposes intended will be at Users sole risk and without liability or legal exposure to UG and User shall indemnify and hold harmless UG from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom. Any such verification or adaptation will entitle UG to further compensation at rates to be agreed upon by User and UG.

SECTION 4

TOWN 3 NORTH AND RANGE 6 EAST

HARTLAND TOWNSHIP

LIVINGSTON COUNTY, MICHIGAN

DATE: 7-12-21

REVISIONS

10-20-2021
11-02-2021
12-06-2021

YATOOMA OIL HARTLAND

PAMPALONA COMPANIES

850 W. UNIVERSITY DR., SUITE D

ROCHESTER, MI 48307

CLIENT:

DR BY: MD/DM

CK BY: TL

P.M. JF

SCALE: 0 10 20

1" = 20 FEET

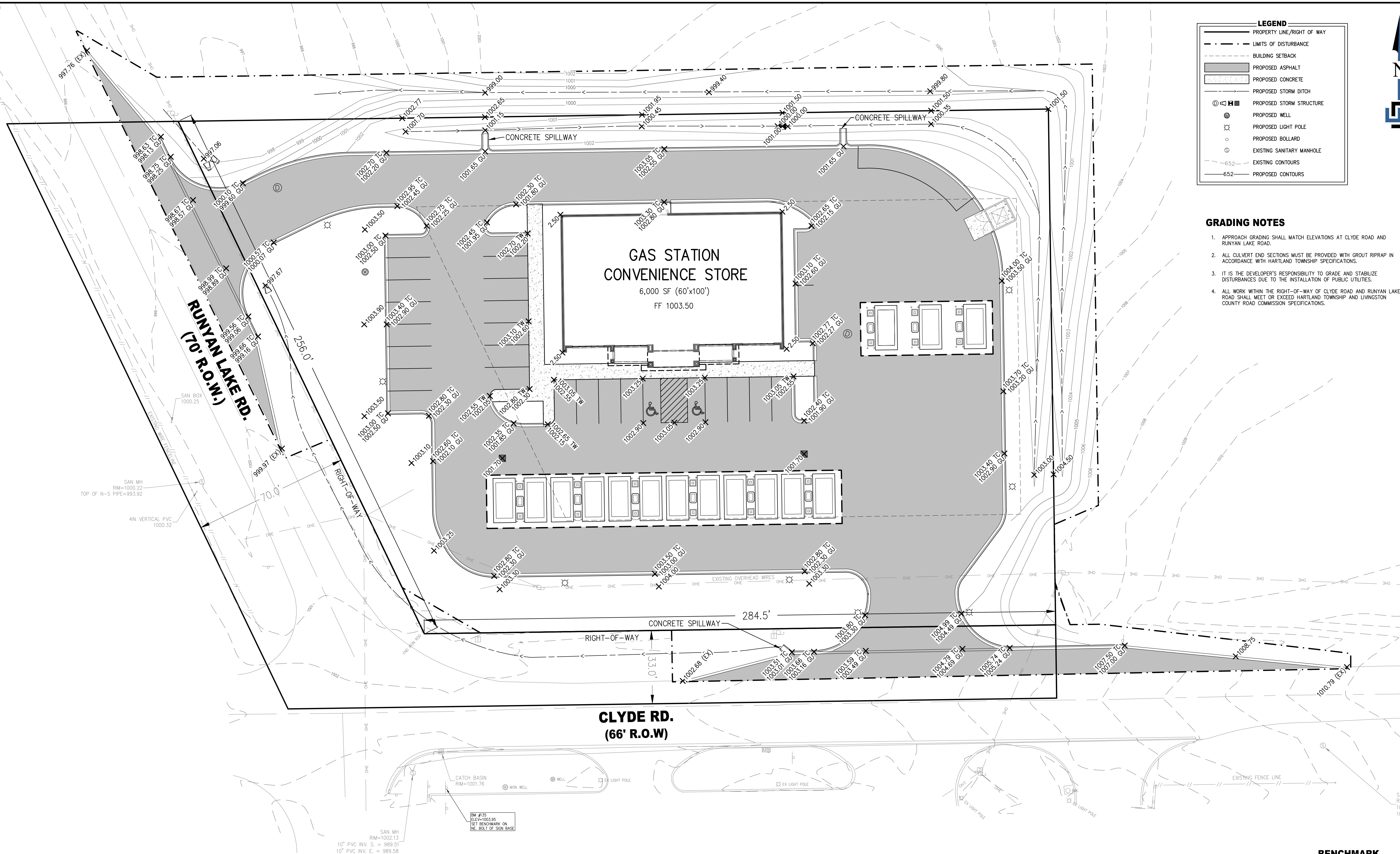
JOB NO. 210614

SHEET NO. C3

SHEET C3 OF C5

SITE PLAN

M:\UMLOR GROUP PROJECT FOLDERS\PAMPALONA CONSTRUCTION\210614 - HARTLAND GAS STATION DESIGN FILES & PLAN SETS\BASE AUTOCAD FILES\210614-LAYOUT BASE.DWG



LEGEND	
	PROPERTY LINE/RIGHT OF WAY
	LIMITS OF DISTURBANCE
	BUILDING SETBACK
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED STORM DITCH
	PROPOSED STORM STRUCTURE
	PROPOSED WELL
	PROPOSED LIGHT POLE
	PROPOSED BOLLARD
	EXISTING SANITARY MANHOLE
	EXISTING CONTOURS
	652 - PROPOSED CONTOURS

GRADING NOTES

- APPROACH GRADING SHALL MATCH ELEVATIONS AT CLYDE ROAD AND RUNYAN LAKE ROAD.
- ALL CULVERT END SECTIONS MUST BE PROVIDED WITH GROUT RIPRAP IN ACCORDANCE WITH HARTLAND TOWNSHIP SPECIFICATIONS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO GRADE AND STABILIZE DISTURBANCES DUE TO THE INSTALLATION OF PUBLIC UTILITIES.
- ALL WORK WITHIN THE RIGHT-OF-WAY OF CLYDE ROAD AND RUNYAN LAKE ROAD SHALL MEET OR EXCEED HARTLAND TOWNSHIP AND LIVINGSTON COUNTY ROAD COMMISSION SPECIFICATIONS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



Know what's below.
Call before you dig.

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2011 THE UMLOR GROUP. ALL RIGHTS RESERVED.

These documents are instruments of service in respect of the Project and any service without written verification or adoption by The Umlor Group (UG) for the specific purposes intended will be at User's sole risk and without liability or legal exposure to UG and User shall indemnify and hold harmless UG from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom. Any such verification or adoption will entitle UG to further compensation at rates to be agreed upon by User and UG.

The UMLOR Group
LAND DEVELOPMENT SERVICES
49287 WEST ROAD WIXOM, MI 48393
TEL 248.773.7636 - FAX 866.690.4307

SECTION 4	TOWN 3 NORTH AND RANGE 6 EAST
	HARTLAND TOWNSHIP
	LIVINGSTON COUNTY, MICHIGAN

DATE:	7-12-21
REVISIONS	
	09-15-2021
	11-02-2021
	12-06-2021

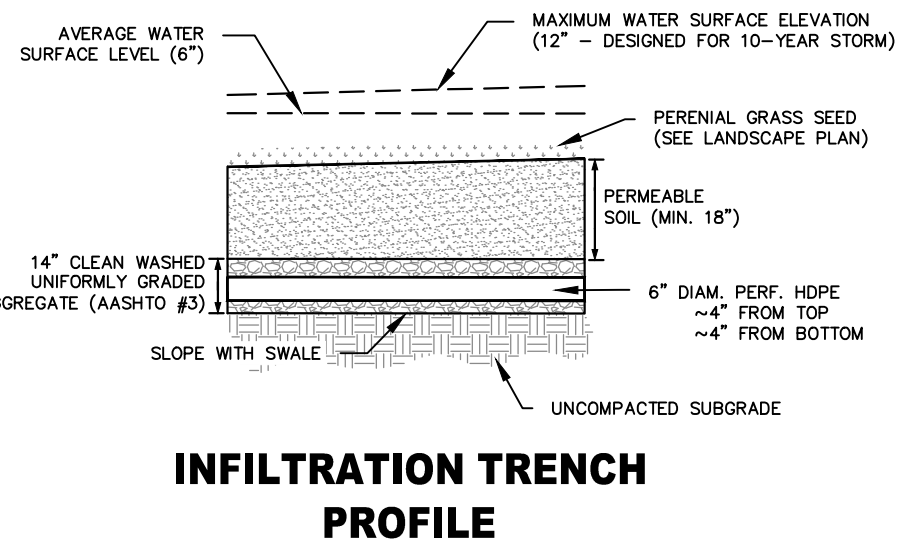
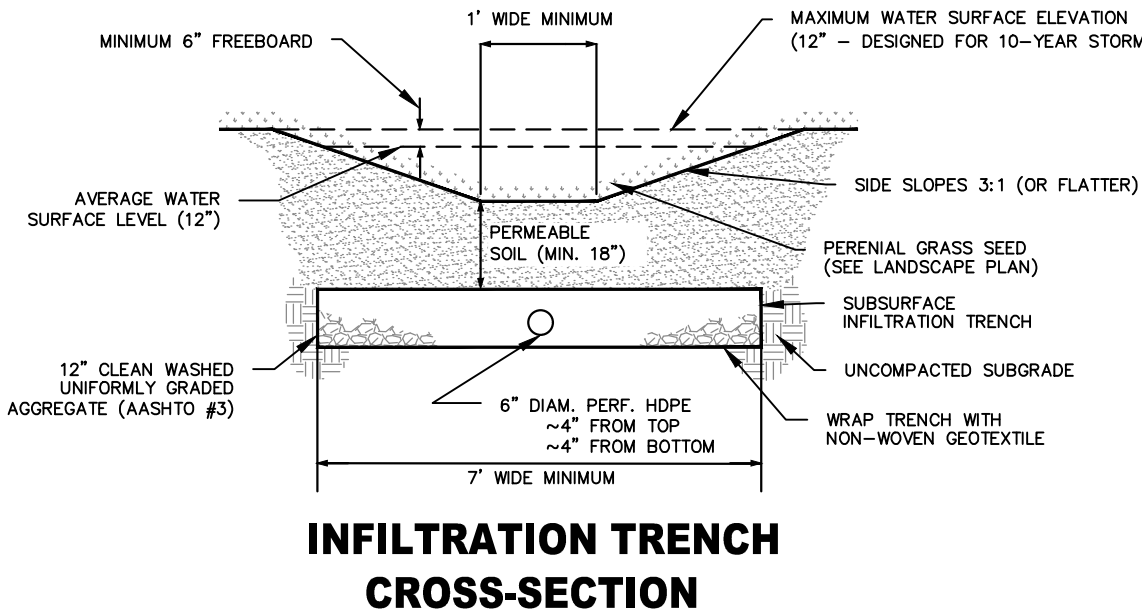
YATOOMA OIL HARTLAND
PAMPALONA COMPANIES
850 W. UNIVERSITY DR., SUITE D
ROCHESTER, MI 48307

GRADING PLAN
CLIENT: YATOOMA OIL HARTLAND
DR BY: MD/DM
CK BY: TL
P.M. JF
SCALE: 0 10 20
1" = 20 FEET
JOB NO. 210614
SHEET NO. C4
SHEET C4 OF C5

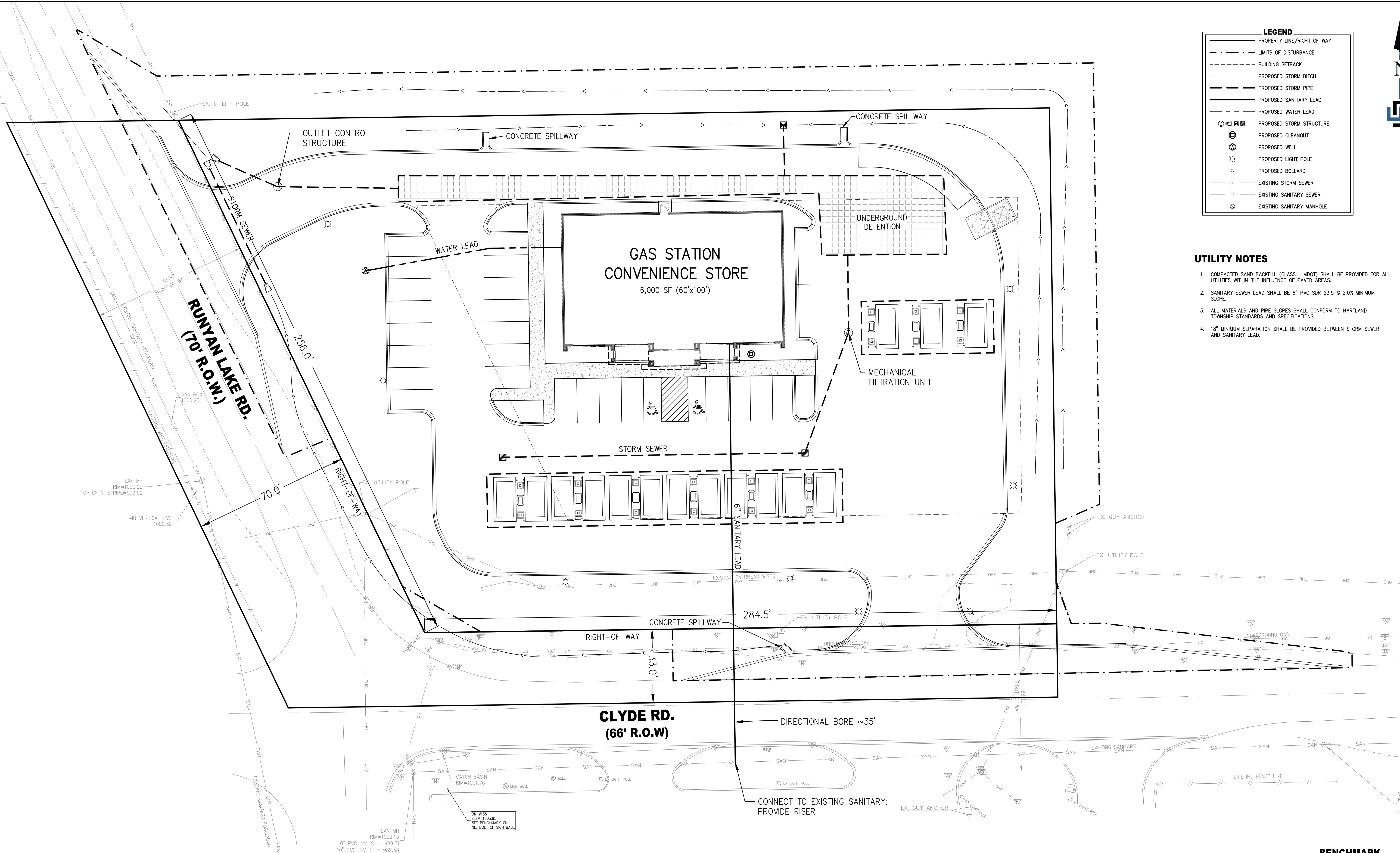
BENCHMARK

(NAVD 88 DATUM):
BENCHMARK #135

BENCHMARK SET ON NE BOLT OF SIGN BASE, LOCATED SOUTH SIDE OF CLYDE ROAD, SOUTH WEST CORNER OF SUBJECT PARCEL
ELEV.=1003.95



M:\UMLOR GROUP PROJECT FOLDERS\PROJECT FOLDERS\HARTLAND GAS STATION\CONSTRUCTION\210614 - HARTLAND GAS STATION DESIGN FILES & PLAN SETS\BASE - AUTOCAD FILES\210614-LAYOUT BASE.DWG



LEGEND	
	PROPERTY LINE/RIGHT OF WAY
	LIMITS OF DISTURBANCE
	BUILDING SETBACK
	PROPOSED STORM DITCH
	PROPOSED STORM PIPE
	PROPOSED SANITARY LEAD
	PROPOSED WATER LEAD
	PROPOSED STORM STRUCTURE
	PROPOSED CLEANOUT
	PROPOSED WELL
	PROPOSED LIGHT POLE
	PROPOSED BOLLARD
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING SANITARY MANHOLE

UTILITY NOTES

1. COMPACTED SAND BACKFILL (CLASS II MDOT) SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.
2. SANITARY SEWER LEAD SHALL BE 6" PVC SDR 23.5 @ 2.0% MINIMUM SLOPE.
3. ALL MATERIALS AND PIPE SLOPES SHALL CONFORM TO HARTLAND TOWNSHIP STANDARDS AND SPECIFICATIONS.
4. 18" MINIMUM SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY LEAD.

BENCHMARK

(NAVD. 88 DATUM):
BENCHMARK #135

BENCHMARK SET ON NE BOLT OF SIGN
BASE, LOCATED SOUTH SIDE OF CLYDE
ROAD, SOUTH WEST CORNER OF SUBJECT
PARCEL

ELEV.=1003.95



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

811
Know what's below.
Call before you dig.

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2011 THE UMLOR GROUP. ALL RIGHTS RESERVED.

These documents are instruments of service in respect of the Project and any reuse without written verification or adaptation by The Umlor Group (UG) for the specific purposes intended will be at Users sole risk and without liability or legal exposure to UG and User shall indemnify and hold harmless UG from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom. Any such verification or adaptation will entitle UG to further compensation at rates to be agreed upon by User and UG.

The UMLOR Group
LAND DEVELOPMENT SERVICES

49287 WEST ROAD WIXOM, MI 48393
TEL 248.773.7636 - FAX 866.690.4307

SECTION 4	TOWN 3 NORTH AND RANGE 6 EAST
	HARTLAND TOWNSHIP
	LIVINGSTON COUNTY, MICHIGAN

DATE: 7-12-21

REVISIONS

09-15-2021	
11-02-2021	
12-06-2021	

YATOOMA OIL HARTLAND

CLIENT: PAMPALONA COMPANIES
850 W. UNIVERSITY DR., SUITE D
ROCHESTER, MI 48307

UTILITY PLAN

DR BY: MD/DM
CK BY: TL
P.M. JF

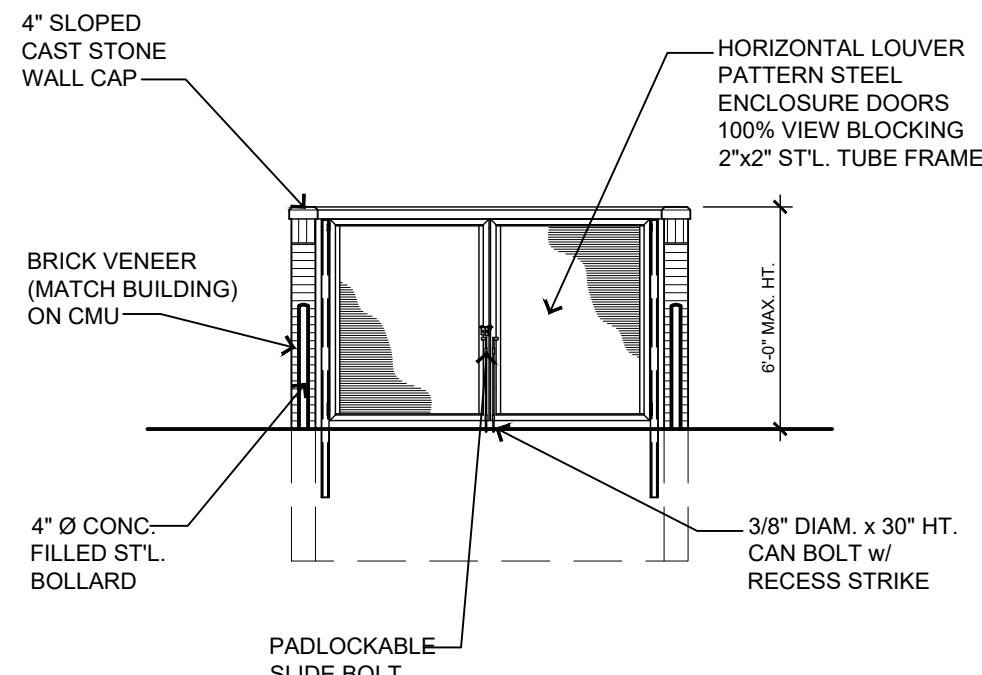
SCALE: 0 10 20
1" = 20 FEET

JOB NO. 210614
SHEET NO. C5

SHEET C5 OF C5

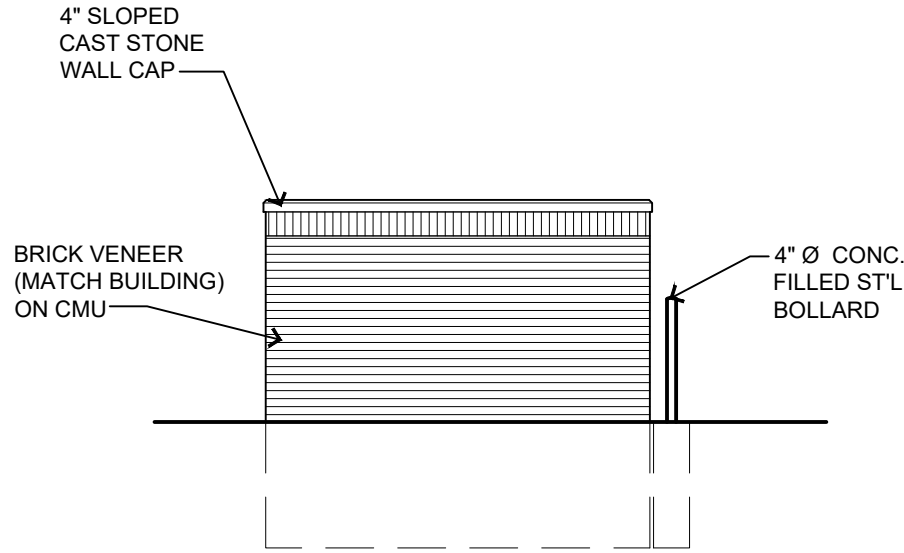


SITE PLAN REVIEW SUBMITTAL 2	12/06/2021
SITE PLAN REVIEW SUBMITTAL 1	11/02/2021
CONCEPT SITE DESIGN REVIEW	10/04/2021
DESCRIPTION	DATE



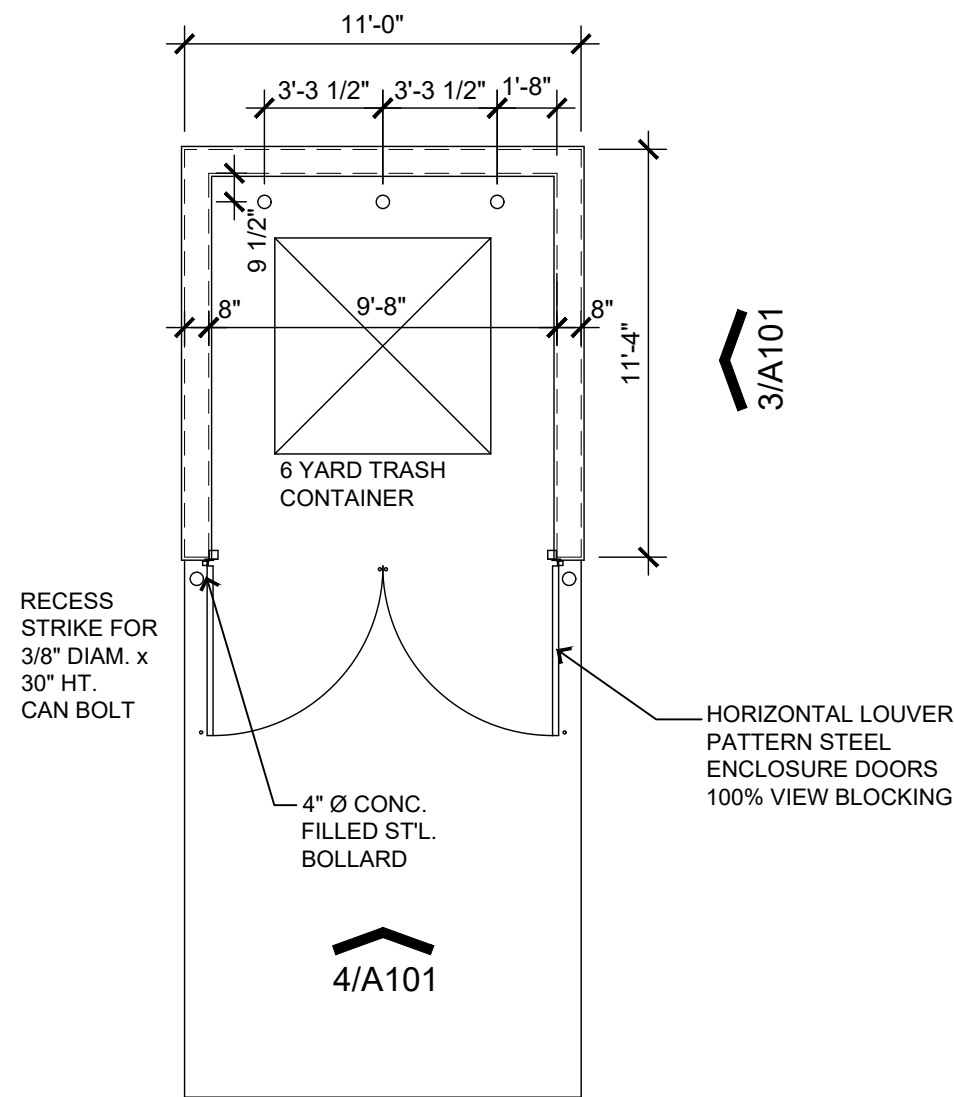
4/A100 trash enclosure elevation

SCALE: 3/16"=1'-0"



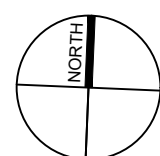
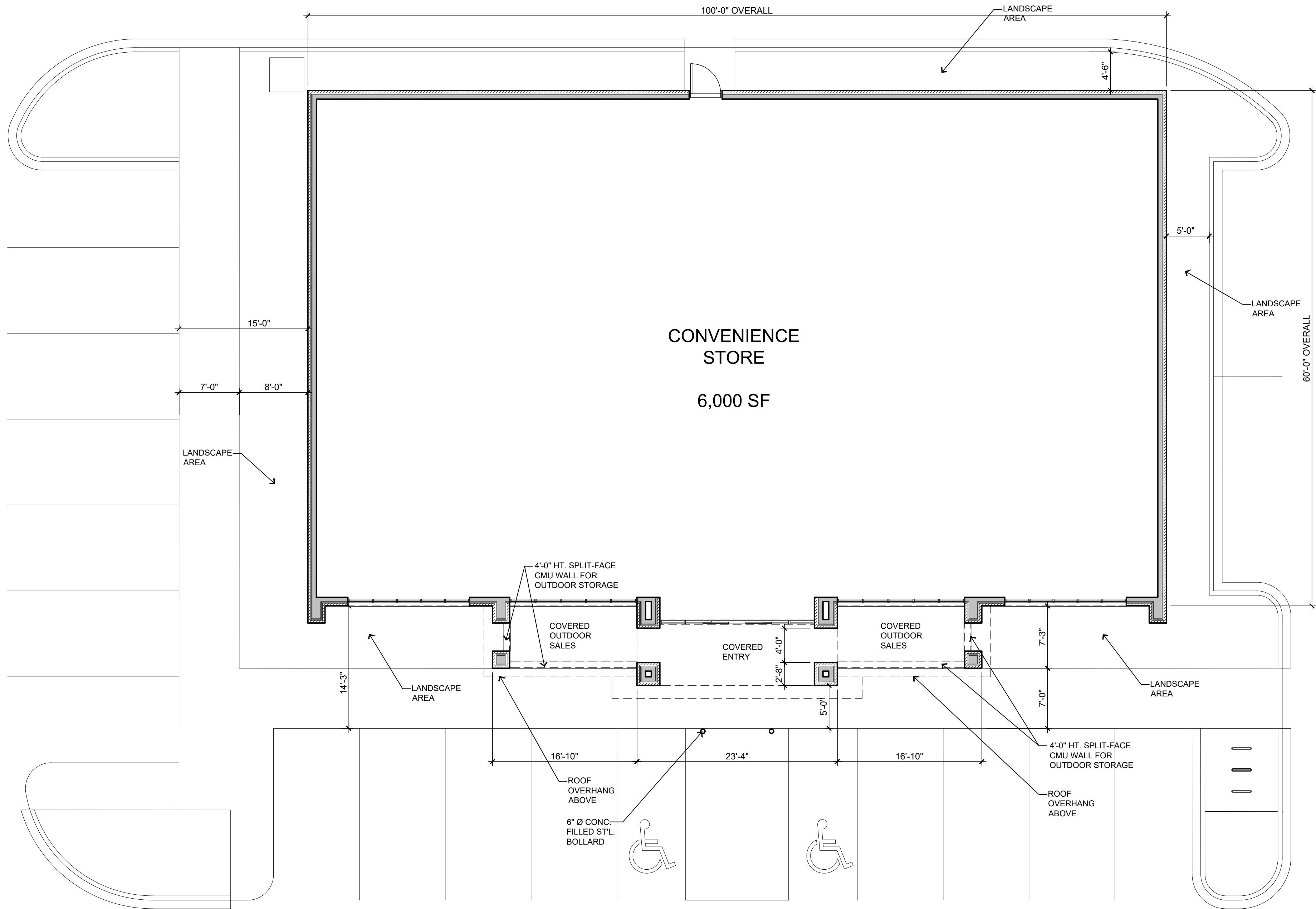
3/A100 trash enclosure elevation

SCALE: 3/16"=1'-0"



2/A100 trash enclosure plan

SCALE: 3/16"=1'-0"



1/A100 shell floor plan
6,000 GROSS SQUARE FEET

SCALE: 1/8"=1'-0"

building data

REFERENCE CODES:	2015 MICHIGAN BUILDING CODE
	2015 MICHIGAN PLUMBING CODE
	2015 MICHIGAN MECHANICAL CODE
	2017 NATIONAL ELECTRICAL CODE WITH PART 8 MICHIGAN AMENDMENTS
	ACCESSIBILITY ICC/ANSI A117.1 - 2009
	CHAPTER 13 OF 2012 MICHIGAN UNIFORM ENERGY CODE - CHAPTER 5 2012 MICHIGAN UNIFORM ENERGY CODE, PART 10a - ANSI / AHSHRAE 90.1-2007
	2015 INTERNATIONAL FIRE CODE
	FIRE ALARM - NFPA 72 (2010)
	FIRE SUPPRESSION - NFPA 13 (2010)
	2015 INTERNATIONAL FUEL GAS CODE
USE GROUP (CHAPTER 3):	B - BUSINESS (304.1)
PROPOSED USE:	GAS STATION CONVENIENCE STORE
CONSTRUCTION TYPE (CHAPTER 6):	TYPE V B
BUILDING AREA:	6,000 GROSS S.F.
BUILDING HEIGHT:	1 STORY 24'-2" HEIGHT
FIRE SUPPRESSION:	BUILDING IS NOT EQUIPPED WITH A NFPA13 SPRINKLER SYSTEM IN ACCORDANCE WITH MBC SECTION 903.3.1.1

Copyright 2021 - Bmk DESIGN+PLANNING LLC

Bmk
DESIGN+PLANNING

Bmk DESIGN + PLANNING, LLC
54048 Mound Road - Shelby Township - Michigan - 48316
Ph 248.303.1446
kmb@bmkdp.com

PROJECT:

**Yatooma Oil
Hartland**
4708-04-300-002
Hartland Township,
MI 48430

CLIENT:

**Pampalona
Companies, LLC**
850 W. University
Suite D
Rochester, MI 48307

SITE PLAN REVIEW SUBMITTAL 2	12/06/2021
SITE PLAN REVIEW SUBMITTAL 1	11/02/2021
CONCEPT SITE DESIGN REVIEW	10/04/2021
DESCRIPTION	DATE

SHEET TITLE:

**SHELL FLOOR
PLAN**

PROJECT NUMBER:
2021-142

DRAWN BY:
KMB

CHECKED BY:
--

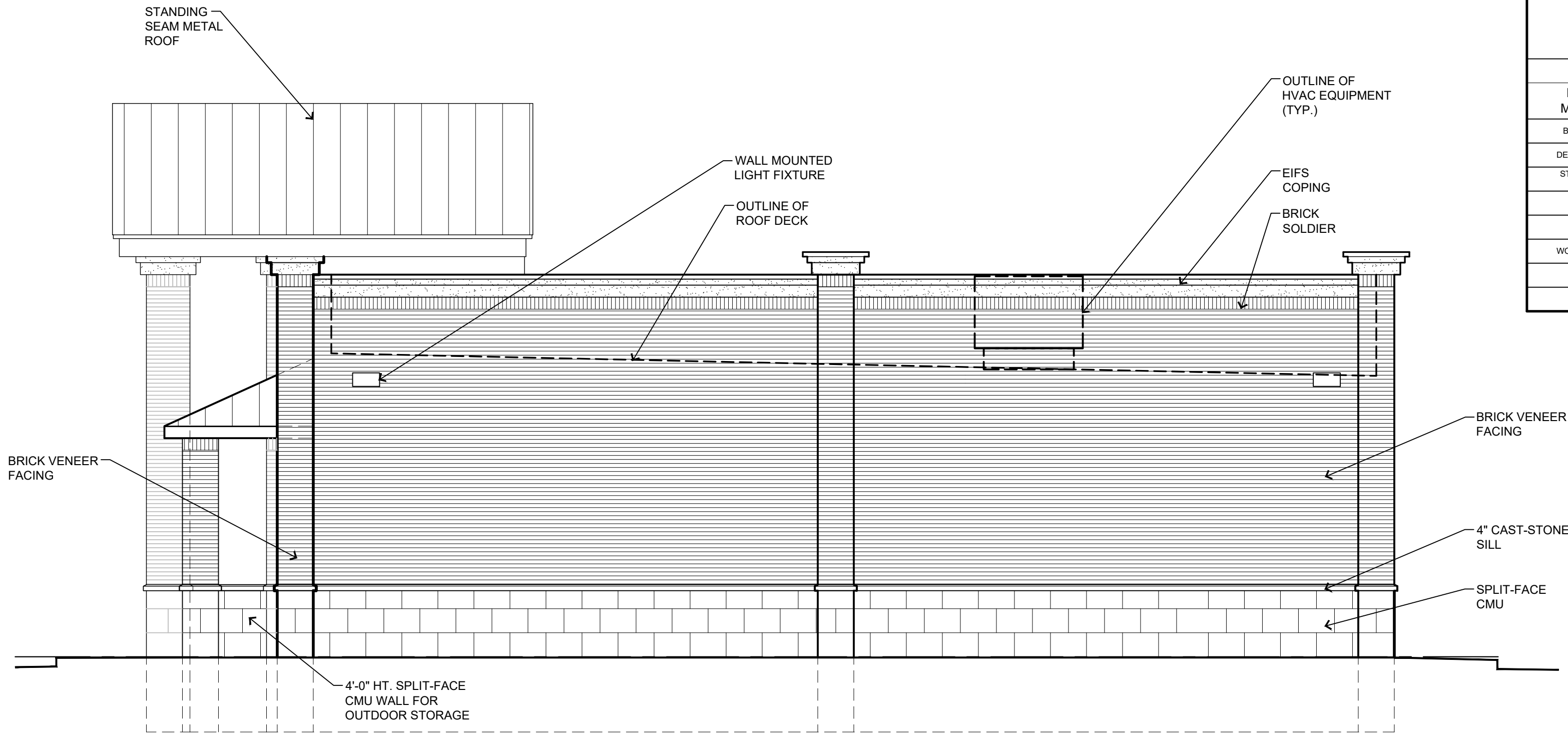
SHEET NUMBER:

A100

Permit No.:

SECTION 5.24.4 ROOF APPURTENANCES

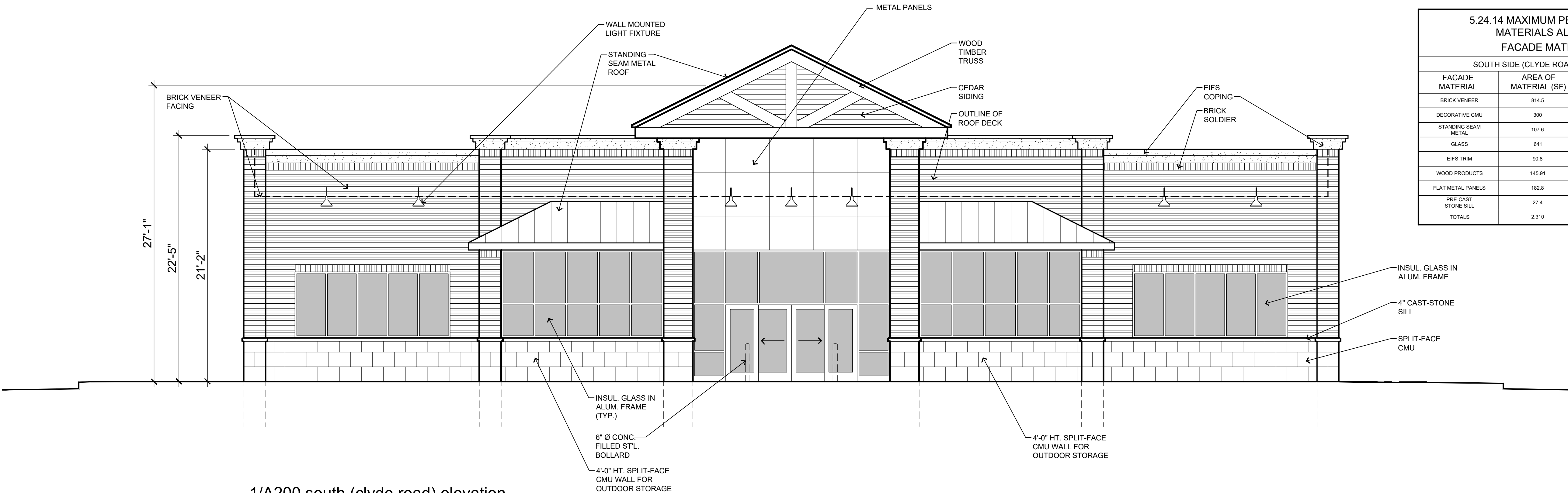
ALL ROOF APPURTENANCES SHALL BE SCREENED FROM VIEW BY USE OF A PARAPET WALL OR A SLOPED ROOF SYSTEM USING MATERIALS CONSISTENT WITH THE BUILDING DESIGN AND THE REQUIREMENTS OF SECTION 5.24, ARCHITECTURAL STANDARDS. THE USE OF FACADE MATERIALS TO FORM A SCREEN WALL NOT INCLUDED AS AN INTEGRAL PART OF THE BUILDING WALL OR ROOF STRUCTURE SHALL BE DEEMED INCONSISTENT WITH THIS SECTION. PROPOSED ROOF SCREENING SHALL BE INDICATED ON THE ARCHITECTURAL ELEVATIONS AND SHALL BE CONSIDERED AS A PART OF THE FACADE WHEN CALCULATING THE PERCENTAGE OF MATERIALS FOR COMPLIANCE WITH THE SCHEDULE REGULATING FACADE MATERIALS.



5.24.14 MAXIMUM PERCENTAGE OF FACADE MATERIALS ALLOWED BY GROUP			
FACADE MATERIAL GROUP: 1			
EAST SIDE FACADE AREA: 1,613 SF			
FACADE MATERIAL	AREA OF MATERIAL (SF)	% OF AREA	MAXIMUM % OF FACADE MATERIAL
BRICK VENEER	1,071.75	66.44%	100% (MIN. 30%)
DECORATIVE CMU	250.44	15.52%	25%
STANDING SEAM METAL	168.89	10.47%	20%
GLASS	--	--	50%
EIFS TRIM	66.52	4.12%	15%
WOOD PRODUCTS	22.5	1.39%	20%
PRE-CAST STONE SILL	22.9	1.42%	20%
TOTALS	1,613	100	--

2/A200 east side elevation

SCALE: 3/16"=1'-0"



5.24.14 MAXIMUM PERCENTAGE OF FACADE MATERIALS ALLOWED BY GROUP			
FACADE MATERIAL GROUP: 1			
SOUTH SIDE (CLYDE ROAD) FACADE AREA: 2,310 SF			
FACADE MATERIAL	AREA OF MATERIAL (SF)	% OF AREA	MAXIMUM % OF FACADE MATERIAL
BRICK VENEER	814.5	35.2%	100% (MIN. 30%)
DECORATIVE CMU	300	12.98%	25%
STANDING SEAM METAL	107.6	4.65%	20%
GLASS	641	27.74%	50%
EIFS TRIM	90.8	3.93%	15%
WOOD PRODUCTS	145.91	6.31%	10%
FLAT METAL PANELS	182.6	7.9%	20%
PRE-CAST STONE SILL	27.4	1.18%	20%
TOTALS	2,310	100	--

1/A200 south (clyde road) elevation

SCALE: 3/16"=1'-0"

PROJECT:

Yatooma Oil
Hartland
4708-04-300-002
Hartland Township,
MI 48430

CLIENT:

Pampalona
Companies, LLC
850 W. University
Suite D
Rochester, MI 48307

SITE PLAN REVIEW SUBMITTAL 2	12/06/2021
SITE PLAN REVIEW SUBMITTAL 1	11/02/2021
CONCEPT SITE DESIGN REVIEW	10/04/2021
DESCRIPTION	DATE

SHEET TITLE:

EXTERIOR
ELEVATIONS

PROJECT NUMBER:
2021-142

DRAWN BY:
KMB

CHECKED BY:
--

SHEET NUMBER:

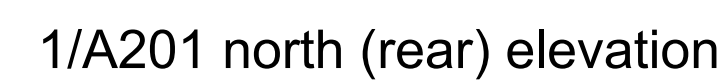
A200

Permit No.:

ALL ROOF APPURTENANCES SHALL BE SCREENED FROM VIEW BY USE OF A PARAPET WALL OR A SLOPED ROOF SYSTEM USING MATERIALS CONSISTENT WITH THE BUILDING DESIGN AND THE REQUIREMENTS OF SECTION 5.24, ARCHITECTURAL STANDARDS. THE USE OF FACADE MATERIALS TO FORM A SCREEN WALL NOT INCLUDED AS AN INTEGRAL PART OF THE BUILDING WALL OR ROOF STRUCTURE SHALL BE PROHIBITED. THE MATERIALS AND FINISHES OF THE SCREENING SHALL BE INDICATED ON THE ARCHITECTURAL ELEVATIONS AND SHALL BE CONSIDERED AS A PART OF THE FACADE WHEN CALCULATING THE PERCENTAGE OF MATERIALS FOR COMPLIANCE WITH THE SCHEDULE REGULATING FACADE MATERIALS.



SCALE: 3/16"=1'-0"



SCALE: 3/16"=1'-0"

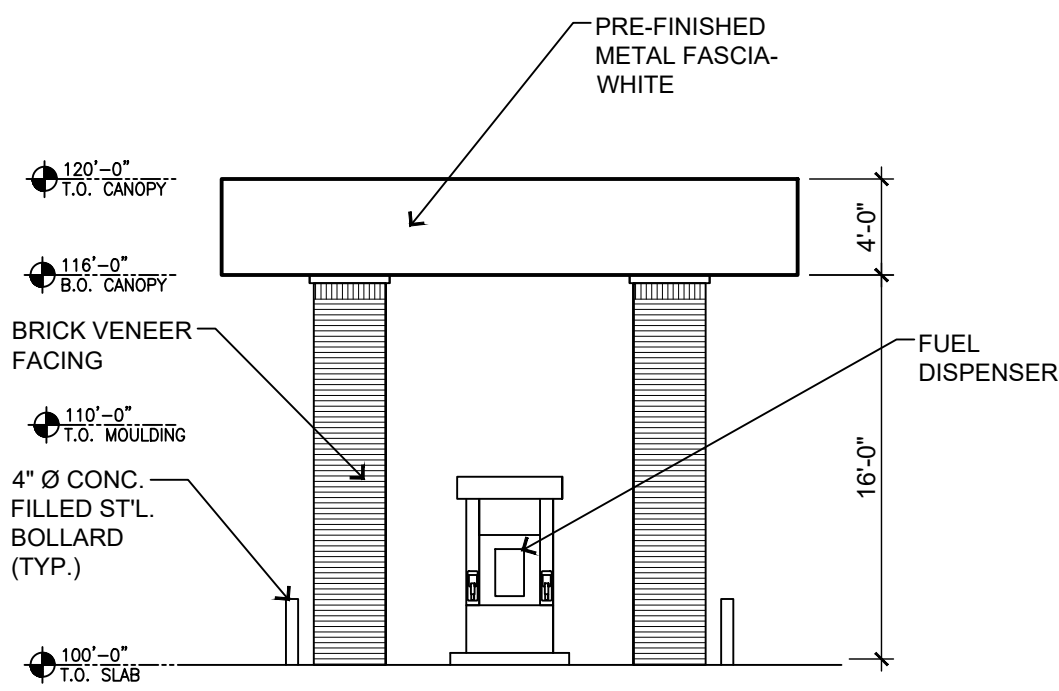
SITE PLAN REVIEW SUBMITTAL 2	12/08/2021
SITE PLAN REVIEW SUBMITTAL 1	11/02/2021
CONCEPT SITE DESIGN REVIEW	10/04/2021
DESCRIPTION	DATE



Screen Printed ACM with Channel Letters

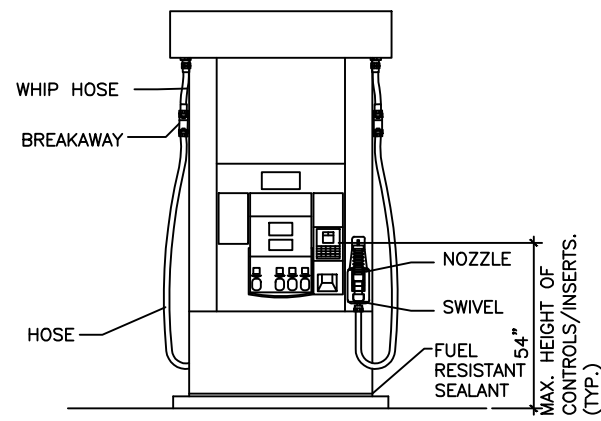
5/A202 gas pump canopy signage example

PROJECT SIGNAGE PLAN TO BE SUBMITTED FOR SEPARATE PERMIT AS REQUIRED BY HARTLAND TOWNSHIP. ALL PROPOSED SIGNAGE TO CONFORM TO TOWNSHIP ORDINANCE.

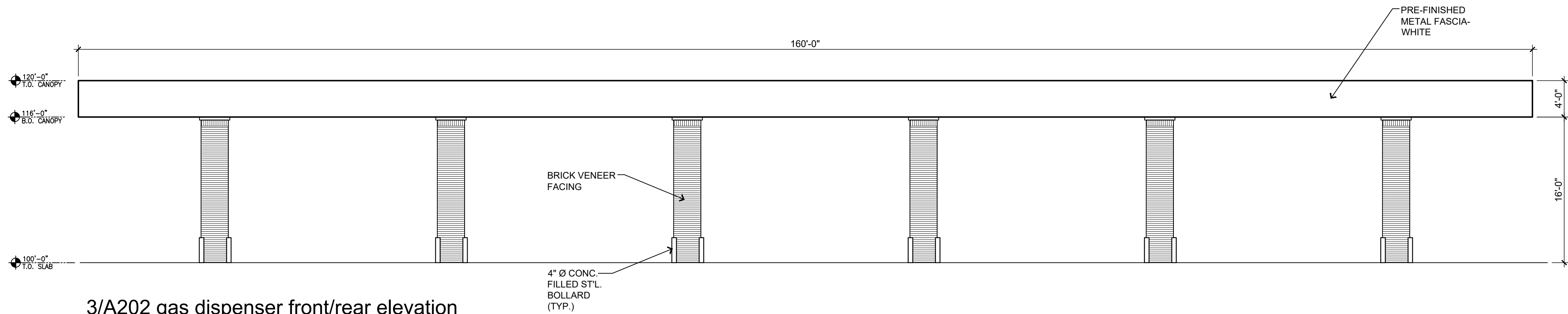


5/A202 fuel canopy side elevation

SCALE: 1/8"=1'-0"

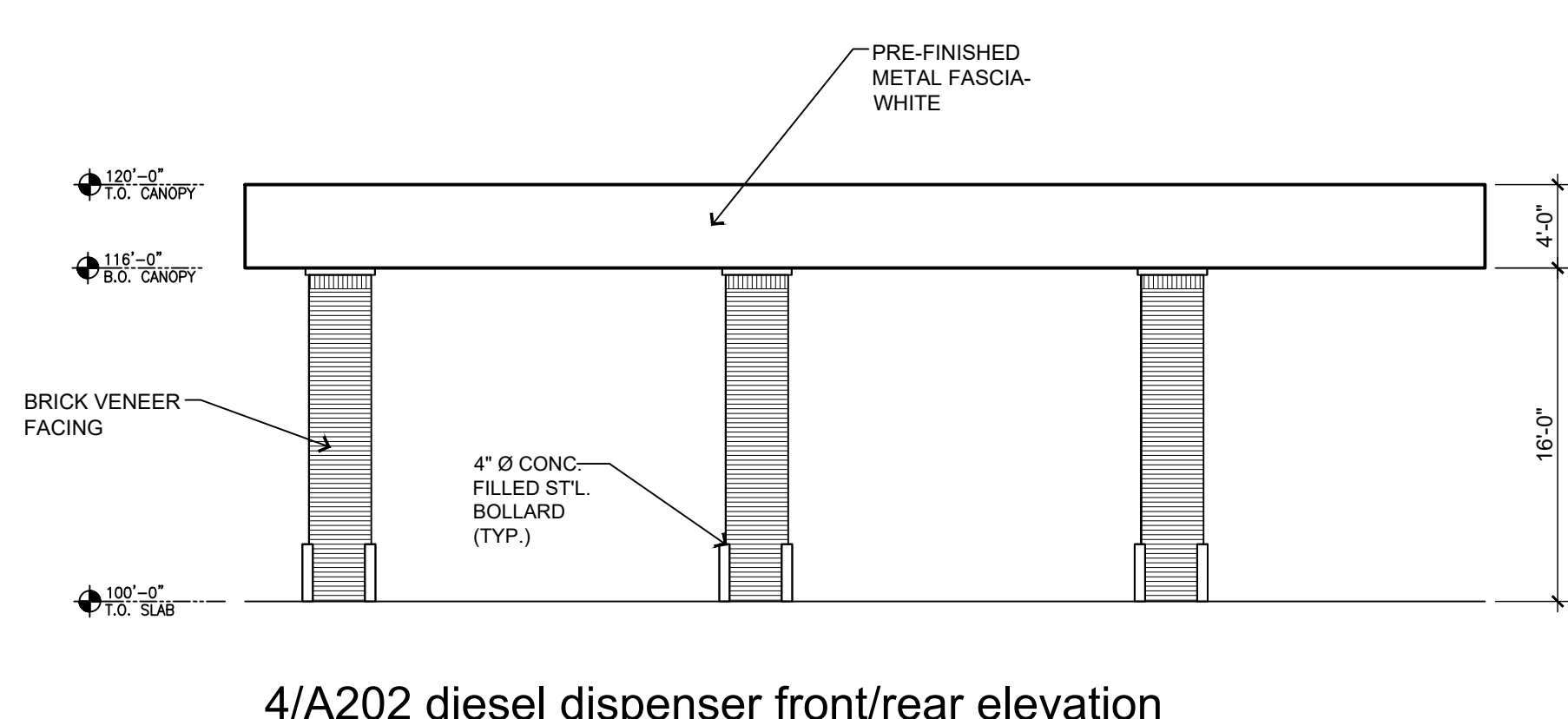


TYPICAL DISPENSER ELEVATION



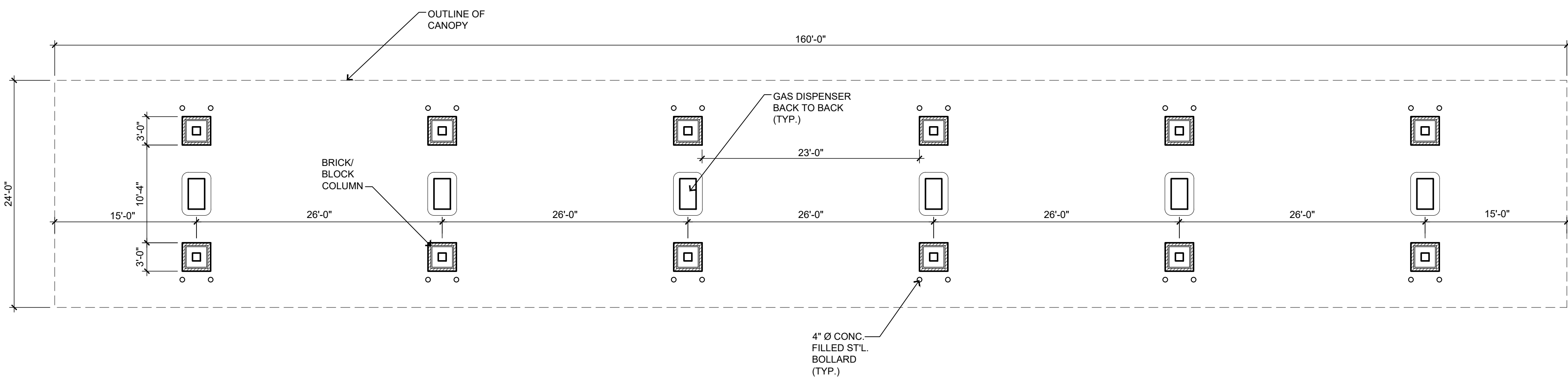
3/A202 gas dispenser front/rear elevation

SCALE: 1/8"=1'-0"



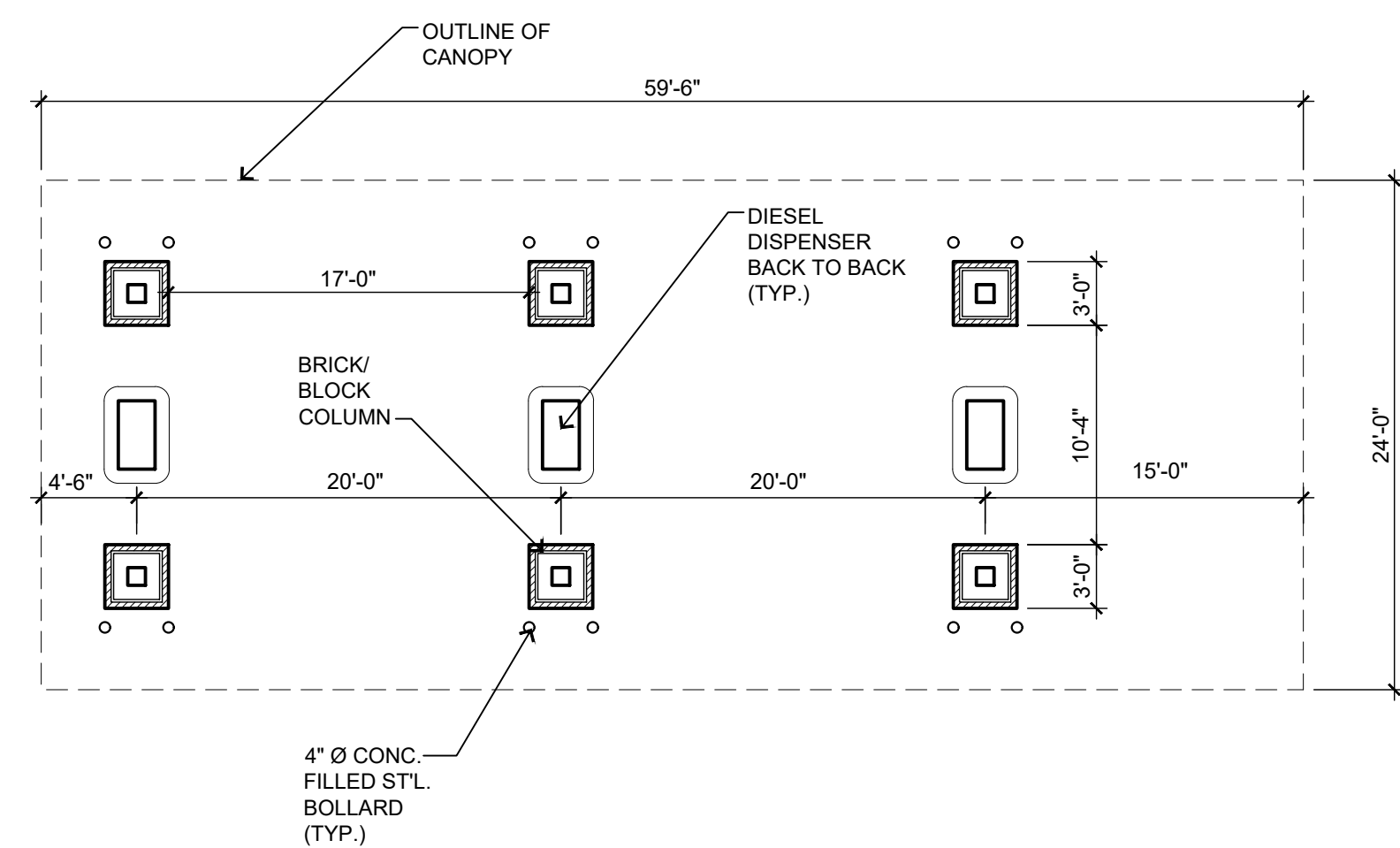
4/A202 diesel dispenser front/rear elevation

SCALE: 1/8"=1'-0"



1/A202 gas dispenser canopy plan

SCALE: 1/8"=1'-0"



2/A202 diesel dispenser canopy plan

SCALE: 1/8"=1'-0"

PROJECT:

**Yatooma Oil
Hartland**
4708-04-300-002
Hartland Township,
MI 48430

CLIENT:

**Pampalona
Companies, LLC**
850 W. University
Suite D
Rochester, MI 48307

SITE PLAN REVIEW SUBMITTAL 2	12/06/2021
SITE PLAN REVIEW SUBMITTAL 1	11/02/2021
CONCEPT SITE DESIGN REVIEW	10/04/2021
DESCRIPTION	DATE

SHEET TITLE:
**FUEL CANOPY
PLAN AND
ELEVATIONS**

PROJECT NUMBER:
2021-142

DRAWN BY:
KMB

CHECKED BY:
--

SHEET NUMBER:

A202

Permit No.:

Hartland Township Board of Trustees Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Ordinance Amendment to Section 4.6 (Ponds)

Date: January 24, 2022

Recommended Action

Move to approve as outlined in the Memorandum and Resolution.

Discussion

The Township Planning Department recently initiated a zoning ordinance amendment to ponds at their September 22, 2021, regular meeting. This amendment was related to a request to install a pond. During that request, the applicant had conversations with the Township Manager and the Township Supervisor on the process. As a result, the Township Manager has asked if the process could be modified so that persons that desire to construct a pond on their property could obtain approval administratively instead of being required to obtain approval from the Planning Commission.

The Planning Commission held a public hearing at the December 3, 2021, regular meeting to discuss the proposed amendment. The Planning Commission recommended to approve the zoning amendment. The request was sent to the Livingston County Planning Commission for a recommendation. The Livingston County Planning Commission discussed the proposed zoning amendment at their January 19, 2022 regular meeting. As of the date of this staff memorandum, the Livingston County Planning Commission has not provided their recommendation.

Applicants that desire to install a pond on their property are required to submit a Site Plan Review application to the Planning Commission. This often requires an application fee of \$1,200 and a period of time before the Planning Commission can hear this request and make a determination. Whereas, if the process were reviewed administratively, the costs would be significantly less, and the review period would be approximately a week.

As part of the review of this ordinance, staff examined similar ordinances from the following communities:

Brighton Township
Columbus Township
Fenton Township
Exeter Township
Kochville Township

Lima Township
London Township
Metamore Township
Ray Township
Shiawassee County

Copies of these ordinances were not provided as an attachment to this staff memorandum, but can be made available, if desired.

In addition, staff discussed this potential ordinance with the Michigan Department of Environment Great Lakes and Energy.

The primary purpose of the amendment was to make the ordinance clear that a Site Plan Review approval

Pond Requirements Amendment

January 24, 2022

Page 2

from the Township Planning Commission was no longer required and instead a Land Use Permit approval from the Township staff would be appropriate.

In examining the current ordinance there were a few items that were looked at, as follows:

-The original intent was to permit the installation of a pond via a Land Use Permit; however, that was only intended for residential or agricultural purposes. So, the ordinance was drafted in a way to permit ponds for residential or agricultural purposes to be issued via a land use permit; however, ponds associated with commercial or industrial uses would still require Site Plan approval from the Planning Commission.

-The original ordinance outlined a minimum of two (2) acres. This was modified to permit ponds on smaller parcels, if requested. In addition, a requirement that all ponds comply with the County Drain Commissioner's standards and the State of Michigan standards, if applicable.

-The original ordinance required the pond to be setback 100 feet to any property line or dwelling. The standard presented a couple of concerns. The ordinance could be modified by the Planning Commission upon the showing of some evidence. When removing the Planning Commission from the review and having staff review it, it is generally desirable to remove discretionary standards and instead have consistent standards. Also, the current CA (Conservation Agricultural) zoning district has minimum lot width requirements of 200 feet. As a result, it is very possible that a 2 acre or even larger would never be able to meet a 100 foot setback from all property lines. In addition, the ordinance is not clear as to where the setback would apply to the pond. Is it intended to be the "ordinary high water mark" of the pond? Is it the edge of grading for the pond? Is it the edge of the water, which could fluctuate? What about overflow areas? Nonetheless, this setback created lots of questions, and the overall intent was to limit or minimize any impact on surrounding properties. Additional language was added elsewhere to address those concerns.

-Additional language was added to give the Zoning Administrator some additional authority to establish a safe condition during construction by requiring the installation of such barriers, if necessary.

-Additional language was added to address the installation of a pond and to minimize any impact on surrounding properties.

-Language was added to still require ponds for storm water detention/retention basins to require approval from the Planning Commission.

Although the Ordinance Review Committee did not conduct a meeting on this proposed amendment, this matter was distributed to those members for review and to provide comments.

Process

Zoning Ordinance Text Amendments are outlined in Section 7.4.4 of the Zoning Ordinance, as follows:

4. Zoning Ordinance Text Amendment Criteria. The Planning Commission and Township Board shall consider the following criteria for initiating amendments to the zoning ordinance text or responding to a petitioner's request to amend the ordinance text.
 - A. The proposed amendment would correct an error in the Ordinance.
 - B. The proposed amendment would clarify the intent of the Ordinance.

Pond Requirements Amendment

January 24, 2022

Page 3

- C. Documentation has been provided from Township staff or the Zoning Board of Appeals indicating problems or conflicts in implementation or interpretation of specific sections of the ordinance.
- D. The proposed amendment would address changes to state legislation.
- E. The proposed amendment would address potential legal issues or administrative problems with the Zoning Ordinance based on recent case law or opinions rendered by the Attorney General of the State of Michigan.
- F. The proposed amendment would promote compliance with changes in other Township ordinances and county, state or federal regulations.
- G. The proposed amendment is supported by the findings of reports, studies, or other documentation on functional requirements, contemporary building practices, environmental requirements and similar technical items.
- H. Other criteria as determined by the Planning Commission or Township Board which would protect the health and safety of the public, protect public and private investment in the Township, promote implementation of the goals and policies of the Comprehensive Plan and enhance the overall quality of life in Hartland Township.

Based on Section 7.4.4 of the Zoning Ordinance, either the Planning Commission or the Township Board may initiate a Zoning Ordinance Text Amendment. The Planning Commission initiated the amendment, and as part of this process, the proposed amendment was sent to the Ordinance Review Committee (ORC) to review. However, the ORC only makes a recommendation to the Planning Commission regarding an ordinance amendment. The ORC did not meet to discuss this proposed amendment. Instead, they reviewed the proposed amendment, via email and provided their responses, as attached.

Attachments:

- 1. Draft Ordinance Amendment
- 2. Resolution to Approve



Board of Trustees

William J. Fountain, Supervisor
Larry N. Ciofu, Clerk
Kathleen A. Horning, Treasurer

Matthew J. Germane, Trustee
Summer L. McMullen, Trustee
Denise M. O'Connell, Trustee
Joseph M. Petrucci, Trustee

RESOLUTION NO. 22-_____

**RESOLUTION TO ADOPT ORDINANCE NO. _____,
ORDINANCE TO AMEND ZONING ORDINANCE SECTION 4.6 and SECTION 6.1.2,
ORDINANCE NO. 88
PONDS AND SITE PLAN REVIEW OF PONDS**

At a regular meeting of the Township Board of Hartland Township, Livingston County, Michigan, held at the Township Hall in said Township on _____, at 7:00 pm.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____ and
seconded by _____.

WHEREAS, the Michigan Zoning Enabling Act, as amended, authorizes a Township Board to adopt, amend, and repeal a Zoning Ordinance and/or sections within the Zoning Ordinance, which regulate the public health, safety, and general welfare of persons and property; and

WHEREAS, Section 4.6 of the Township Zoning Ordinance outlines the process to approve a pond and the standards that a pond must comply with; and

WHEREAS, Section 6.1.2 of the Township Zoning Ordinance outlines the process of Site Plan Review and the requirements for a pond to be reviewed by the Planning Commission; and

WHEREAS, the Township has determined that it is in the best interests of the public health, safety, and welfare to amend the existing language in the Zoning Ordinance to permit residential ponds to be reviewed administratively under a Land Use Permit by the Zoning Administrator; and

WHEREAS, the Township Planning Commission held a public hearing for comment on the proposed amendment on December 3, 2021; and

WHEREAS, the Livingston County Planning Commission was notified of this proposed amendment, via an email dated December 6, 2021; and discussed the proposed amendment at their January 19, 2022 regular meeting; and the Township has not had a response of concerns or objections: and

WHEREAS, the Township Board has determined that amending the Zoning Ordinance, as presented, is in the best interest of the public health, safety, and welfare of the Township residents.

THEREFORE, be it resolved by the Board of Trustees of the Township of Hartland, Livingston County, Michigan, as follows:

1. The Ordinance attached at Exhibit A, ("Ordinance"), Ordinance No. _____, Ordinance to Amend Zoning Ordinance Sections 4.6 and Section 6.1.2, Ponds, as outlined in Ordinance No. 88.
2. The Ordinance shall be filed with the Township Clerk.

3. The Township Clerk shall publish the Ordinance, or a summary of the Ordinance, in a newspaper of general circulation in the Township as required by law.

4. Any resolution inconsistent with this Resolution is repealed, but only to the extent necessary to give this Resolution full force and effect.

A vote on the foregoing resolution was taken and was as follows:

YEAS: _____

NAYS: _____

STATE OF MICHIGAN)

COUNTY OF LIVINGSTON)

I, the undersigned, the duly qualified and acting Township Clerk of the Township of Hartland, Livingston County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and complete copy of certain proceedings taken by Board of said Township at a regular meeting held on the ___ day of_____, 2022.

Larry N. Ciofu, Hartland Township Clerk

EXHIBIT A

**HARTLAND TOWNSHIP BOARD OF TRUSTEES
LIVINGSTON COUNTY, MICHIGAN
ZONING AMENDMENT NO. 21-001
ZONING ORDINANCE SECTIONS 4.6 AND 6.1.2,
THE HARTLAND TOWNSHIP
PONDS AND SITE PLAN REVIEW**

THE TOWNSHIP OF HARTLAND ORDAINS:

Section 1. Amendment of Sections 4.6 and Section 6.1.2. of Township Zoning Ordinance.

Section 4.6 PONDS

1. Standards. Ponds excavated, created or altered, except as otherwise provided in this Ordinance, shall be permitted in any **residential or agricultural** zoning district. Subject to ~~site plan~~ **land use permit** approval of the ~~Township~~ **Zoning Administrator** and the following minimum standards, ponds shall be permitted.
 - ~~A. The pond shall be located on a parcel which is at least two (2) acres in area.~~ **The applicant shall secure all necessary permits and approvals from the State of Michigan, Livingston County Drain Commissioner's office.**
 - ~~B. The pond shall be set back a minimum of one hundred (100) feet from any property line or dwelling. At the discretion of the Planning Commission, such minimum setbacks may be modified based upon evidence that a lesser setback~~ **a distance so that the pond** will not pose a hazard or detract from the public health, safety and general welfare. ~~In no case shall such setbacks be decreased to less than those specified in Section 3.1, Schedule of Regulations.~~
 - ~~C. All earth excavated during construction of the pond shall be disposed of on the parcel, unless it is determined by the Planning Commission~~ **Zoning Administrator** that the parcel could not adequately accommodate the spoils. The placement, grade and final disposition of any spoils removed from the parcel must be approved by the Zoning Administrator. The spoils from pond construction shall be restored with seed within one year.
 - ~~D. For calculation of the slope of a pond, the vertical distance for each foot of horizontal distance measured from any edge of the pond. Pond slope shall be measured to the lowest point of the pond. Any application for an alteration or creation of a pond which proposes stabilized side slopes steeper than four (4) horizontal to one (1) vertical shall include a written statement by the applicant detailing proposed safety measures to be taken by the applicant in the construction and operation of the pond.~~
 - ~~E. Written evidence shall be provided from the Livingston County Health Department or a licensed professional engineer that the distance and soil conditions separating the pond from any septic system is sufficient to prevent contamination. In no case shall a pond be located~~

~~closer than one hundred (100) feet to any septic system.~~ **In no case shall a pond negatively impact any septic system.**

- F. For the protection of the general public, appropriate safety measures such as warning signs, rescue equipment, fencing and/or safety ramps may be required to be installed as deemed necessary by the ~~Planning Commission~~ **Zoning Administrator** upon their review. **Where conditions, during construction, or at the completion of the pond, may be deemed to pose a hazard to people and animals, the Zoning Administrator may require the installation of such barriers, fencing, even if on a temporary basis until such safe levels can be achieved.**
 - G. No pond shall be maintained or operated in any manner which causes it to become a public nuisance.
 - ~~H. The creation or alteration of a pond which encompasses parts of more than one parcel shall be approved only if the owners of all properties involved are joint applicants for the land use permit and a written maintenance agreement signed by all property owners establishing financial responsibility is provided for Township approval. Applicable dwelling setback requirements established above must also be met.~~
 - I. **Construction of a pond shall not cause an increase in runoff or drainage to an any property beyond that which may have occurred prior to the pond's construction. The Zoning Administrator shall require that any plan submitted for a pond depict an adequate method of preventing overflow or water onto adjacent properties. To accomplish this purpose, the Zoning Administrator may require a spillway leading to any approved drainage way or grassed berm along one or more sides of the pond or both.**
2. Exceptions.
- A. Ponds of less than seventy-two (72) square feet in area and no greater than two (2) feet in depth shall not be subject to the requirements of this Section.
 - B. **Ponds that are for the purpose of storm water detention/retention or for the purposes of a fire suppression system approved by the Planning Commission as part of Site Plan Review.**

Section 6.1 Site Plan Review

2. Site Plan Not Required. Site plan approval is not required for the following activities:
- A. Construction, moving, relocating or structurally altering a single family dwelling, including any customary accessory structures.
 - B. Development of a principal agricultural use, or the construction, moving, relocation or structural alteration of permitted agricultural structures, including any customary accessory structures.
 - C. Any excavation, filling, soil removal, mining, or creation of ponds ~~that are less than 1,000 square feet in area provided that such activity is~~ **that is normally and customarily incidental**

to single family and agricultural uses as described in this sub-section. **Other ponds shall require Site Plan approval.**

Section 2. Validity and Severability. Should any portion of this Ordinance be found invalid for any reason, such holding shall not be construed as affecting the validity of the remaining portions of this Ordinance.

Section 3. Repealer Clause. Any ordinances or parts of ordinances in conflict herewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 4: Effective Date. This Ordinance shall become effective immediately following publication.

TOWNSHIP OF HARTLAND

Ponds and Site Plan Review

Section 4.6 PONDS

1. Standards. Ponds excavated, created or altered, except as otherwise provided in this Ordinance, shall be permitted in any **residential or agricultural** zoning district. Subject to ~~site plan~~ **land use permit** approval of the ~~Township Zoning Administrator~~ and the following minimum standards, ponds shall be permitted.
 - ~~A. The pond shall be located on a parcel which is at least two (2) acres in area.~~ **The applicant shall secure all necessary permits and approvals from the State of Michigan, Livingston County Drain Commissioner's office.**
 - ~~B. The pond shall be set back a minimum of one hundred (100) feet from any property line or dwelling. At the discretion of the Planning Commission, such minimum setbacks may be modified based upon evidence that a lesser setback a distance so that the pond will not pose a hazard or detract from the public health, safety and general welfare. In no case shall such setbacks be decreased to less than those specified in Section 3.1, Schedule of Regulations.~~
 - C. All earth excavated during construction of the pond shall be disposed of on the parcel, unless it is determined by the ~~Planning Commission~~ **Zoning Administrator** that the parcel could not adequately accommodate the spoils. The placement, grade and final disposition of any spoils removed from the parcel must be approved by the Zoning Administrator. The spoils from pond construction shall be restored with seed within one year.
 - D. For calculation of the slope of a pond, the vertical distance for each foot of horizontal distance measured from any edge of the pond. Pond slope shall be measured to the lowest point of the pond. Any application for an alteration or creation of a pond which proposes stabilized side slopes steeper than four (4) horizontal to one (1) vertical shall include a written statement by the applicant detailing proposed safety measures to be taken by the applicant in the construction and operation of the pond.
 - ~~E. Written evidence shall be provided from the Livingston County Health Department or a licensed professional engineer that the distance and soil conditions separating the pond from any septic system is sufficient to prevent contamination. In no case shall a pond be located closer than one hundred (100) feet to any septic system.~~ **In no case shall a pond negatively impact any septic system.**
 - F. For the protection of the general public, appropriate safety measures such as warning signs, rescue equipment, fencing and/or safety ramps may be required to be installed as deemed necessary by the ~~Planning Commission~~ **Zoning Administrator** upon their review. **Where conditions, during construction, or at the completion of the pond, may be deemed to pose a hazard to people and animals, the Zoning Administrator may require the installation of such barriers, fencing, even if on a temporary basis until such safe levels can be achieved.**
 - G. No pond shall be maintained or operated in any manner which causes it to become a public nuisance.

- ~~H.~~ The creation or alteration of a pond which encompasses parts of more than one parcel shall be approved only if the owners of all properties involved are joint applicants for the land use permit and a written maintenance agreement signed by all property owners establishing financial responsibility is provided for Township approval. ~~Applicable dwelling setback requirements established above must also be met.~~
- I. Construction of a pond shall not cause an increase in runoff or drainage to an any property beyond that which may have occurred prior to the pond's construction. The Zoning Administrator shall require that any plan submitted for a pond depict an adequate method of preventing overflow or water onto adjacent properties. To accomplish this purpose, the Zoning Administrator may require a spillway leading to any approved drainage way or grassed berm along one or more sides of the pond or both.**
2. Exceptions.
- A. Ponds of less than seventy-two (72) square feet in area and no greater than two (2) feet in depth shall not be subject to the requirements of this Section.**
- B. Ponds that are for the purpose of storm water detention/retention or for the purposes of a fire suppression system approved by the Planning Commission as part of Site Plan Review.**

Section 6.1 Site Plan Review

2. Site Plan Not Required. Site plan approval is not required for the following activities:
- A. Construction, moving, relocating or structurally altering a single family dwelling, including any customary accessory structures.**
- B. Development of a principal agricultural use, or the construction, moving, relocation or structural alteration of permitted agricultural structures, including any customary accessory structures.**
- C. Any excavation, filling, soil removal, mining, or creation of ponds ~~that are less than 1,000 square feet in area provided that such activity is~~ that is normally and customarily incidental to single family and agricultural uses as described in this sub-section. Other ponds shall require Site Plan approval.**

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Michael Luce, Director of Public Works

Subject: Resolution 4 Conformation of Special Assessment Roll (4 of 4)

Date: January 26, 2022

Recommended Action

Approve the Confirmation of Special Assessment Roll (4 of 4 total) for the Hartland Woods road improvement special assessment district as presented.

Discussion

Before you is the 4th resolution for Conformation of the Special Assessment Roll for the Hartland Woods Subdivision. The proposed resolution is the final step in the approval process.

The referenced lots and parcels of land have road frontage along Hartland Woods Drive, Harold Ln, Placid Way and Deanna Drive, public roads located within the Hartland Woods development, petitioned the Township to undertake the project with an approximate 82% signature collection. The scope of work proposed includes road milling, limited drainage improvements, and repaving of Hartland Woods Drive, Harold Ln, Placid Way and Deanna Drive. The project scope does NOT include any formal drainage improvements; however, *LCRC has agreed to perform needed ditching restoration and correct the flow of two recently discovered culverts currently discovered and blocked under Hartland Woods Drive. The drainage restoration will be at no cost to the residents and funded from the LCRC as a maintenance item.*

The engineering construction estimates for the proposed improvements total \$639,325 or approximately \$9,542.16 per parcel. The costs for the project will be collected annually by the Township in the amount of \$954.22 per parcel annually for ten (10) years plus an interest rate to be determined. No penalties exist for pre-payment of early payoff.

Financial Impact

Is a Budget Amendment Required? ☐ Yes ☒ No

Attachments

Resolution Confirming Special Assessment Roll (4 of 4)

BOARD OF TRUSTEES

2655 Clark Road
Hartland, Michigan 48353
(810) 632-7498 Office
(810) 632-6950 Fax



Supervisor
William J. Fountain

Clerk
Larry N. Ciofu

Treasurer
Kathleen A. Horning

Trustees
Denise O'Connell
Matthew J. Germane
Summer McMullen
Joseph M. Petrucci

RESOLUTION NO. __4__

**CONFIRMATION OF SPECIAL ASSESSMENT ROLL; LIEN;
PAYMENT AND COLLECTION OF SPECIAL ASSESSMENT**

At a regular meeting of the Township Board of Hartland Township, Livingston County, Michigan, held at the Township Hall in said Township on February 1st, 2022 at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____ and
seconded by _____.

WHEREAS, the Township Board of the Township of Hartland (the "Township"), pursuant to Act 188 of the Public Acts of Michigan of 1954, as amended ("Act 188"), by resolution adopted August 17, 2021, resolved its intention to proceed on petitions to make improvements consisting of road repairs and paving within the Hartland Woods Subdivision including Deanna Drive, Hartland Woods, Harold Lane, Placid Way, public roads within the Township (the "Improvements") in a proposed special assessment district in the Township; and

WHEREAS, by resolution adopted on November 16th, 2021, the Township Board

established a special assessment district known as the Hartland Woods Road Improvements Special Assessment District No. 1 (the "District") and approved the plans and estimates of cost for the Improvements; and

WHEREAS, after notice duly given by publication on January 7th, 2022, and January 12th, 2022, in the *Livingston County Daily Press & Argus*, and by first class mail on or before January 7th, 2022, pursuant to Act 188, the Township Board held a public hearing to consider a proposed special assessment roll for the District and objections thereto for said Improvements at 7:00 p.m. local time on January 18th, 2022, at the Township Hall in the Township; and

WHEREAS, after hearing all persons interested therein, giving due consideration to all written objections to said special assessment roll filed with the Township Clerk and after reviewing said special assessment roll, the Township Board deems said special assessment roll, as amended, to be fair, just and equitable, and that each of the assessments contained therein is relative to the benefits to be derived by the parcel of land assessed.

NOW, THEREFORE, BE IT HEREBY RESOLVED AS FOLLOWS:

1. The special assessment roll prepared by the Township Supervisor, reported to the Township Board, and amended by the Township Board, in the amount of **\$639,325.00**, a copy of which roll is attached as **Exhibit A**, is hereby confirmed and shall be known and designated for the District as Special Assessment Roll Number 1 (the "Roll").

2. The Township Clerk shall endorse on the Roll the date of this meeting as the date of confirmation of said Roll.

3. The Roll shall be divided into ten (10) equal annual installments, the first of which installments shall be due and payable on or before December 1, 2022, and all subsequent installments shall be due and payable on or before December 1 of each year thereafter.

4. Interest shall be payable annually on each installment due date at a rate of interest per annum which shall be set by subsequent action of the Township Board at a rate not exceeding one percent (1%) per annum above the average rate of interest borne by the bonds to be issued by the Township for the Improvements (the "Bonds") commencing from the date of delivery of said Bonds to the initial purchaser of the Bonds.

5. Future due installments of an assessment against any parcel of land may be paid to the Township Treasurer at any time in full, with interest accrued through the month in which said installments are paid.

6. If an installment of a special assessment is not paid when due, then the installment shall be considered to be delinquent and there shall be collected, in addition to the interest provided in paragraph 4, above, a penalty at the rate of one percent (1%) for each month or fraction of a month, that the installment remains unpaid before being reported to the Township Board for reassessment upon the Township tax roll.

7. All special assessments contained in the Roll including any part thereof deferred as to payment shall from the date of confirmation of the Roll, pursuant to Act 188, constitute a lien upon the respective parcels of land assessed. Such lien shall be of the same character and effect as the lien created for Township taxes and shall include accrued interest and penalties.

8. The special assessments made in the Roll are hereby ordered and directed to be collected and the Township Clerk shall deliver the Roll to the Township Treasurer with her

warrant attached thereto, which said warrant shall command the Township Treasurer to collect the special assessments in the Roll in accordance with the direction of the Township Board in respect thereto and which warrant shall further require the Township Treasurer to include as a delinquent tax any unpaid special assessment which is delinquent on the last day of February, and the delinquent taxes returned to the County Treasurer the next day pursuant to Section 55 of the General Property Tax Act, MCL 211.55. The form of said warrant is attached as **Exhibit B**.

9. Upon receiving the Roll and warrant, the Township Treasurer shall proceed to collect the several amounts assessed therein as the same shall become due.

10. The collection of the special assessments, including all interest and penalties thereon, shall be deposited by the Township Treasurer into a segregated receiving fund. The funds so deposited shall only be used to pay for the cost of the Improvements or such other purposes related to the District, the Roll, or the Improvements as shall be authorized by or consistent with the provisions of Act 188.

11. The Township Clerk shall, as soon as possible but in no event more than seven (7) days after confirmation of the Roll, send notice of special assessment, in the form attached as **Exhibit C**, to the person responsible for payment of the ad valorem property taxes on, the record owner of, or party in interest in, each parcel of land assessed, at the address shown for such persons upon the last township tax assessment roll for ad valorem tax purposes which was reviewed by the Township Board of Review, subject to any subsequent changes in the names and addresses of the owners or parties listed thereon.

12. All actions heretofore taken by Township officials, employees, and agents with respect to the Improvements and proceedings under Act 188 are hereby ratified and confirmed.

13. All resolutions or parts of resolutions in conflict herewith shall be and the same are hereby rescinded.

A vote on the foregoing resolution was taken and was as follows:

ADOPTED:

YEAS:

NAYS:

ABSENT:

STATE OF MICHIGAN)
)
COUNTY OF LIVINGSTON)

I, the undersigned, the duly qualified and acting Township Clerk of the Township of Hartland, Livingston County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and complete copy of certain proceedings taken by the Township Board of said Township at a regular meeting held on the 1st day of February 2022.

Larry N. Ciofu, Hartland Township Clerk

EXHIBIT A

TOWNSHIP OF HARTLAND LIVINGSTON COUNTY, MICHIGAN

HARTLAND WOODS ROAD IMPROVEMENTS SPECIAL ASSESSMENT DISTRICT NO. 1

The Township Board has tentatively determined that all or part of the cost of said Improvements shall be specially assessed against each of the following described lots and parcels of land, which parcels are all located within Hartland Woods Subdivision, Hartland Township, Michigan, and benefited by the Improvements and which together comprise the following proposed special assessment district:

\$448,375	Construction for LCRC portion
\$67,950	Deanna Drive change order
\$67,000	Restoration
\$33,500	Driveway Approaches
\$18,000	Bonding Costs
\$3,500	Legal expenses to develop assessment
\$1,000	Printing and publication
<hr/>	
\$639,325	Total

All or part of this cost shall be spread by special assessment against properties located in Hartland Woods Improvements Special Assessment District No. 1.

*Subject to revisions based upon as-bid cost information, verification of publication costs and legal expenses.

BULLARD LAKE ROAD IMPROVEMENTS SPECIAL ASSESSMENT DISTRICT NO.1

Lots and parcels numbered:

Parcel Number	Owner's Name	Property Address
4708-29-100-007	POLLACK TRUST	1789 HARTLAND WOODS
4708-29-101-001	KIRKPATRICK CHARLES III & DEB	9209 PLACID WAY
4708-29-101-002	HOYER RONALD J & JENNIFER R	9231 PLACID WAY
4708-29-101-003	BERNARDI NICHOLAS P & SUSAN J	9253 PLACID WAY
4708-29-101-	KALOWICK CARY S & MICHAEL K	9275 PLACID WAY

004		
4708-29-101-005	MEEK RANDALL T & TAMARA A	9311 PLACID WAY
4708-29-101-006	HARRIS STEVEN D & ANDREA	1627 HAROLD LN
4708-29-101-007	EPP RODGER & SUSAN	1639 HAROLD LN
4708-29-101-008	BICKEL BRIAN L & LAURA M	1717 HARTLAND WOODS
4708-29-101-009	LAMBERT BRETT A	1823 HARTLAND WOODS
4708-29-101-010	MITCHELL JEFFREY I & KRISTA A	1853 HARTLAND WOODS
4708-29-101-011	FOREMAN GARY L & EMMA TRUST	1875 HARTLAND WOODS
4708-29-101-012	KOVACS JANET TRUST	1899 HARTLAND WOODS
4708-29-101-013	MILLER KOLBY	1919 HARTLAND WOODS
4708-29-101-014	GAINER JOHN & MARY	1922 HARTLAND WOODS
4708-29-101-015	QUINN MARK	1902 HARTLAND WOODS
4708-29-101-016	CLARK ROBERT J & MARY FRANCES	1882 HARTLAND WOODS
4708-29-101-017	ROBERTS MARK L & BARBARA J	1864 HARTLAND WOODS
4708-29-101-018	STRATFORD JAMES M & KAREN R	1838 HARTLAND WOODS
4708-29-101-019	JOHNSON GREGORY A	1722 HARTLAND WOODS
4708-29-101-020	LARUWE JUSTIN D & NICOLE M	1710 HARTLAND WOODS
4708-29-101-021	FITZGERALD BRANDON & KATIE L	1698 HARTLAND WOODS
4708-29-101-022	SEVERINSEN BRANDON A & CHRISTI	1686 HARTLAND WOODS
4708-29-101-023	DICK RONALD N & SUZANNE M	1674 HARTLAND WOODS
4708-29-101-024	SCOTT MATHEW J & SARAH E	1662 HARTLAND WOODS
4708-29-101-025	KURTZ KENNETH R & EMILY R	1650 HARTLAND WOODS
4708-29-101-026	BLASER STEVE J & ASHLEY L	1638 HARTLAND WOODS
4708-29-101-027	CURCURU VITO J & DEBORAH S	1626 HARTLAND WOODS
4708-29-101-028	RAISANEN DANIEL & CELIA	1608 HARTLAND WOODS
4708-29-101-029	PARHAM PHILLIP	9531 PLACID WAY

4708-29-101-030	CURRENT MATHEW & ASHLEY	9507 PLACID WAY
4708-29-101-031	SELASKY BONNIE	1602 HARTLAND WOODS
4708-29-101-032	PILON STEPHEN M & KATHERINE M	9441 PLACID WAY
4708-29-101-033	TOMASZEWSKI RITA & MICHAEL	1635 HARTLAND WOODS
4708-29-101-034	HORNING MARK & KATHLEEN	1665 HARTLAND WOODS
4708-29-101-035	MATSHIKOWSKI STEVEN & ROSEMA	1654 HAROLD LN
4708-29-101-036	GOODLASKIRICHARD CJR & DEBRA	1632 HAROLD LN
4708-29-101-037	CHAMBERLAIN RALPH M & DIANNE	9355 PLACID WAY
4708-29-101-038	OWENS KRISTEN A TRUST	9377 PLACID WAY
4708-29-101-039	RODRIGUEZ MEGAN	9401 PLACID WAY
4708-29-101-040	GROSS JAMES H & DIANA L	9516 PLACID WAY
4708-29-101-041	METCALF STEVEN M & HEATHER	9498 PLACID WAY
4708-29-101-042	MILLER RONALD S & KIMBERLY S	9476 PLACID WAY
4708-29-101-043	MCDANIEL KENNETH F & JANE E	9454 PLACID WAY
4708-29-101-044	ECONOMOU JOHN J & BETH A	9432 PLACID WAY
4708-29-101-045	DEPOY BRIAN & LORETTA	9410 PLACID WAY
4708-29-101-046	LUTZ GARY & DENISE	9388 PLACID WAY
4708-29-101-049	LACELLE JOSEPH C & JEANNINE M	9322 PLACID WAY
4708-29-101-050	SCHILD RICHARD J & TAMMY R	9300 PLACID WAY
4708-29-101-051	MONTROY JAMES	9278 PLACID WAY
4708-29-101-052	SCHILLINGER RICHARD & BARBARA	9256 PLACID WAY
4708-29-101-053	BEEBE CATHLENE & DEREK	9234 PLACID WAY
4708-29-101-054	ROMMEL JOHN F	9212 PLACID WAY
4708-29-101-056	JAKSA STELLA H	9366 PLACID WAY
4708-29-101-057	ROSSI ANTHONY & EMILY	9344 PLACID WAY
4708-29-102-001	MYERS ASHLEY M & KLEVER KEVIN	1741 HARTLAND WOODS

4708-29-102-002	DEVERGILIO RICHARD & FREIDA	1765 HARTLAND WOODS
4708-29-200-006	NEIL DENNIS J & JANET E	9600 PLACID WAY
4708-29-200-007	ANDERSON AARON & SHANNON	9580 PLACID WAY
4708-29-200-008	WHITMAN DANIEL W & DAWN L	9560 PLACID WAY
4708-29-200-019	RING THEODORE E & MARIE E	1744 DEANNA DR
4708-29-200-020	CAZAN LONDON KEVIN & GIANINA	1700 DEANNA DR
4708-29-200-021	TOMLINSON JAMES A TRUST	1670 DEANNA DR
4708-29-200-022	SLUSARSKI JEROME	1620 DEANNA DR
4708-29-200-023	BORYS PAUL	9565 PLACID WAY
4708-29-200-024	POHL FRANK	1701 DEANNA DR
4708-29-200-025	COPELAND DANIEL & JENNIFER	1745 DEANNA DR

SUPERVISOR'S CERTIFICATE

I, William J. Fountain, Supervisor of the Township of Hartland, hereby state that the above Special Assessment Roll for the Hartland Woods Road Improvements Special Assessment District No. 1 was made pursuant to a resolution of the Township Board adopted on February 1st, 2022 and in making such Special Assessment Roll, I have, according to my best judgment, conformed in all respects to the directions contained in such resolution and the statutes of the State of Michigan.

Date: February 1, 2022

William J. Fountain, Township Supervisor

CERTIFICATE OF CONFIRMATION

I hereby certify that the above Special Assessment Roll was confirmed on February 1, 2022 by resolution of the Township Board of the Township of Hartland.

Date: February 1, 2022

Larry N. Ciofu, Hartland Township Clerk

EXHIBIT B

WARRANT OF TOWNSHIP CLERK

I, Larry N. Ciofu, the Township Clerk of the Township of Hartland, Livingston County, Michigan, hereby direct and command the Township Treasurer, Kathie Horning, to collect the assessments set forth on the attached Hartland Woods Road Improvements Special Assessment District No. 1, Special Assessment Roll No. 1, in accordance with the directions of the Township Board in respect thereto set forth in a Resolution adopted by the Township Board on February 1, 2022 confirming such special assessment roll of the Township. In particular, you shall include as a delinquent tax any unpaid special assessment which is delinquent on the last day of February, and the delinquent taxes returned to the County Treasurer the next day, pursuant to Section 55 of the General Property Tax Act, MCL 211.55.

Date: February 1, 2022

Larry N. Ciofu, Hartland Township Clerk

EXHIBIT C

NOTICE OF SPECIAL ASSESSMENT

TO ALL PROPERTY OWNERS OR PARTIES IN INTEREST IN THE HARTLAND WOODS ROAD SPECIAL ASSESSMENT DISTRICT NO. 1 (the "District"):

Following the January 18, 2021 public hearing to consider the special assessment roll, the Township Board confirmed the special assessment roll for the District on February 1, 2022.

A PROPERTY OWNER OR ANY PERSON HAVING ANY INTEREST IN THE REAL PROPERTY ASSESSED ON THE SPECIAL ASSESSMENT ROLL CONFIRMED BY THE TOWNSHIP BOARD ON FEBRUARY 1, 2022, MAY FILE A WRITTEN APPEAL OF THE SPECIAL ASSESSMENT WITH THE MICHIGAN TAX TRIBUNAL WITHIN 30 DAYS AFTER CONFIRMATION OF THE SPECIAL ASSESSMENT ROLL, IF THE SPECIAL ASSESSMENT WAS PROTESTED AT THE HEARING ON THE CONFIRMATION OF THE SPECIAL ASSESSMENT ROLL.

You may pay your special assessment in ten (10) annual installments of principal and interest, or you may avoid interest by prepaying your special assessment in full on or before December 1, 2022. At any time thereafter, the balance of your special assessment may be prepaid in full, with interest accrued through the month in which the assessment is paid. Interest will accrue on the unpaid balance at the rate of two percent (2%) per annum.

The assessment on your parcel is \$ 9,542.16 (principal only).

For additional information about the assessment, call Hartland Township at (810) 632-7498.

Permanent Parcel No. _____

Assessment: _____

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Larry Ciofu, Clerk

Subject: Resolution of Intent Opposing Incorporation as a Charter Township

Date: January 26, 2022

Recommended Action

Move to approve the Resolution of Intent Opposing Incorporation as a Charter Township.

Discussion

Under the Michigan Charter Township Act, Section 42.3a, after each federal census the Secretary of State notifies the clerk of a township which is not a charter township, that has a population of over 2000 or more residents according to the most recent census, that the township may be incorporated as a charter township under this act. We received official notification from the State of Michigan on January 11, 2022. The clerk is required to place a notice of publication in a local newspaper within 15 days following the receipt of State of Michigan notification, with a second notice published seven days following the first publication. I have published these notifications in the Livingston Daily Press and Argus on January 20, 2022 and January 27, 2022. I have attached a copy of the Michigan Township Association “General Law or Charter Township?” publication which outlines the differences and similarities between a general law township, which we current are, and a charter township for your review. The township can adopt 1) a resolution opposed to incorporation, 2) a resolution of intent to approve incorporation or 3) a resolution to place the question of incorporation as a charter township before the voters at an election.

Based on my review of the information regarding charter township, and discussion with the Administrative Committee, there are no significant reasons for Hartland Township to incorporate as a charter township. Upon discussion of this matter, should the Board agree with this assessment, I have provided a resolution of intent opposing incorporating as a charter township for approval.

Financial Impact

None

Attachments

State of Michigan Notification of Eligibility to Incorporate as a Charter Township

MTA General Law or Charter Township Publication

Resolution of Intent Opposing Incorporation as a Charter Township

State of Michigan



DEPARTMENT OF STATE

TO ALL TO WHOM THESE PRESENTS SHALL COME:

I, Jocelyn Benson, Secretary of State of the State of Michigan and custodian of the Great Seal of the State, hereby certify that Information on file with this Department indicates that HARTLAND TOWNSHIP, LIVINGSTON COUNTY, has a population of 2000 or more according to the most recent United States census and is therefore eligible to become a charter township under the provisions of the Charter Township Act 1947 PA 359, as amended; MCL 42.1 (et seq.). *****End of Certification*****

*IN WITNESS WHEREOF, I execute this certificate
and affix the GREAT SEAL of the State of
Michigan on this 16th day of December 2021.*



20004437640551

Jocelyn Benson

Secretary of State

This certification attests only to the authenticity of the signature of the official who signed the affixed document, the capacity in which that official acted, and where appropriate, the identity of the seal or stamp which the document bears. This certification is not intended to imply that the contents of the document are correct, nor that they have the approval of the State of Michigan.



General Law or Charter Township?

The Choice is Yours ...

An Overview of Distinctions between General Law and Charter Township Structure and Authority, with Information on the Process to Incorporate

January 14, 2022

Table of Contents

Introduction	3
Organizational Structure	4
Annexation Protection	6
Financial Matters	7
Compensation	9
Township Board Meetings	10
Board Authority	10
Citizen Expectations	11
Annual Meeting of the Electors	11
Conclusion	11
How to Become a Charter Township	12
Sample: Notice of Eligibility to Incorporate	13
Sample: Option 1: Resolution of Intent to Oppose Becoming a Charter Township	14
Sample: Option 2a: Resolution of Intent to Become a Charter Township	15
Sample: Option 2b: Second Resolution of Intent to Become a Charter Township	16
Sample: Option 3: Resolution of Intent to Place Question on a Ballot	17
When a Petition for Referendum is Submitted	18
Filing Documents with the Office of the Great Seal	19



512 Westshire Drive, Lansing, MI 48917

Ph: (517) 321-6467

www.michigantownships.org

Introduction

The Charter Township Act, Public Act 359 of 1947, is an example of progressive legislation affecting Michigan townships. The Michigan Legislature recognized that there are townships which provide additional services and need additional laws to provide for better administration of township affairs. Since its passage in 1947, there have been several amendments to the act to meet the changing needs of townships.

A general law township having a minimum population of 2,000 inhabitants is authorized to adopt the Charter Township Act and incorporate as a charter township. A township is not authorized to develop its own charter; the Charter Township Act is the charter of the township. The act's provisions are uniform for all Michigan townships, and they cannot be altered by a particular township.

Charter townships and general law townships are similar in organizational structure and powers except for specific differences provided for in the Charter Township Act. In particular, the act grants charter townships additional flexibility in their organizational structure, boundary protection against annexation and enhances the unit's general tax authority.

Should your township incorporate as a charter township? The decision belongs to your township alone. To help you make an informed decision, the following information spells out some differences and similarities between a charter township and a general law township. Note that this is NOT a comprehensive guide or manual to what charter townships do—it is intended as an introduction to the primary considerations of deciding whether to become a charter township.

Organizational Structure

In a charter township, all legislative authority and powers are vested in a seven-member township board comprised of a supervisor, clerk, treasurer and four trustees. A quorum of four members must be present at a meeting to conduct business.

Organizational changes in the act affect the offices of the supervisor and trustee. There are no substantive changes in the duties of the township clerk and treasurer if a township incorporates under the act.

The Supervisor and Superintendent

In general law and charter townships, the supervisor is an officer of the township board and has an equal voice and vote in township board proceedings. In a general law township, the township board retains most of the administrative authority. The Charter Township Act grants a charter township supervisor more authority over the day-to-day operations of the township.

The township board of a charter township is authorized to hire a superintendent. (MCL 42.11) If the township board appoints a superintendent, the board may delegate any or all of the following statutory duties in MCL 42.10 to that official:

- Oversee enforcement of township ordinances and laws
 - Manage public improvement projects; oversee construction, repair, maintenance lighting and cleaning of township property, including streets, sidewalks, bridges and sewers
 - Manage construction, repair, maintenance of sidewalks, streets, bridges, sewers, pavements of all public buildings and other township property
 - Oversee operation of township utilities and maintenance of township property, tools and appliances
 - Oversee terms and conditions of township contracts
 - Attend township board meetings and take part in discussions, but without the right to vote
 - Serve as ex-officio member of all township board committees
 - Prepare and administer the annual budget under township board direction and apprise the township board of the township's financial status
 - Make recommendations to the township board as necessary
 - Administer all township departments
 - Serve as the purchasing agent for the township or delegate this responsibility to some other officer or employee
 - Conduct authorized sales of township personal property
 - Serve as personnel director or delegate this duty to some other officer or employee, and
 - Perform any other duties delegated to him/her which are not assigned to some other official.
- (MCL 42.10)

If these duties are not delegated to the superintendent, they become the responsibility of the township supervisor. In effect, this provides additional authority to a charter township supervisor beyond that accorded a supervisor of a general law township.

If a board appoints a superintendent, he or she serves at the pleasure of the township board. State law provides that the township board determines the superintendent's salary, and the appointee must become a township resident within 90 (calendar) days of assuming the position, unless the board waives

the requirement by resolution adopted by 2/3 of the members of the board. The act also provides that the appointee must be selected on the basis of training and ability without regard to political or religious preferences. (MCL 42.11)

If a township has not appointed a township superintendent under MCL 42.10, the township board may employ a township manager to perform duties lawfully delegated to the manager by the township board. The duties may include those that are delegated by law to another township official if written consent has been granted by that official. (MCL 42.10a)

State law does not specify the duties of a township manager. MTA's position is that a township board may delegate to a manager any or all of the same duties as listed in MCL 42.10, but the supervisor would have to give written consent to diminishing the statutory duties of the supervisor's office.

Trustees

A charter township board must have four trustees. If a township becomes chartered with only two trustees, the additional two trustees must be elected at the first general election held following incorporation.

The duties of a charter township trustee are identical to those of a general law township trustee. He or she possesses an equal voice and vote in township affairs. Trustees are legislators on the township board and should have an understanding of all aspects of township board affairs. A trustee is responsible for attending township board meetings and takes part in all decisions.

Other Officials

What about hiring other township officials? There is no difference in the ability of a general law township or a charter township to hire the necessary personnel to properly and efficiently operate the township. The Charter Township Act enables a township board, by resolution, to establish additional offices to administer township affairs, such as a public works administrator or personnel director, or combine any administrative offices, so long as it does not conflict with state law. The newly created offices cannot replace, abolish or diminish the statutory duties of the clerk's or treasurer's office. (MCL 42.9)

Annexation Protection

The Charter Township Act grants enhanced protection from annexation to townships that provide police and fire protection, water and sewer services, and other services. In the 1970s, many general law townships incorporated as charter townships because of the annexation protection offered by the act.

If a township became chartered prior to June 16, 1978, the township is generally protected from annexation.

A charter township that incorporated after June 15, 1978, is generally protected from annexation to any adjacent city or village if it meets certain statutory criteria:

- State equalized valuation of at least \$25 million
- Minimum population density of 150 persons per square mile (not including any incorporated village)
- Provides fire and police protection, solid waste disposal, and water and/or sewer services by contract or some other method
- Has a comprehensive zoning ordinance or master plan. (MCL 42.34)

Note that these criteria are NOT required to become or continue to be a charter township. They are only required for a specific charter township to receive the qualified protection from annexation under MCL 42.34.

Michigan Supreme Court decisions indicate a township must provide more than minimum service to obtain greater protection from annexation. (*Shelby Charter Twp. v. State Boundary Comm'n*, 425 Mich. 50, 1986)

However, the exemption from annexation is not complete immunity. Although the authority of the State Boundary Commission over charter township land is lessened by the act, the commission may order a portion(s) of the township to be annexed to straighten boundaries and avoid instances in which portions of a township are completely surrounded by the annexing city. Township territory can also be annexed if the action is initiated by the citizens themselves.

Financial Matters

Fiscal Year

A charter township may adopt one of two fiscal years: January 1 to December 31 OR April 1 to March 31. This differs from general law townships, which can choose either April 1 to March 31 OR July 1 to June 30. An annual audit is required.

Budget

Each township official prepares a department budget and delivers it to the supervisor or superintendent on or before 150 days prior to the fiscal year commencement. The supervisor or superintendent must submit a complete itemized budget to the township board no later than 120 days prior to the beginning of the fiscal year. (MCL 42.24)

The township board must hold a budget public hearing at a township board meeting before adopting the budget. The notice of the budget public hearing must be published in a newspaper of general circulation in the township at least 7 days prior to the meeting at which the hearing will be conducted. If a township operates on a calendar-year budget cycle, the budget public hearing must be held no later than December 15, and the budget must be adopted no later than December 31. (MCL 42.27)

Prior to the new fiscal year, the township board must pass a resolution adopting the budget (general appropriations act) for the new fiscal year, make an appropriation of the money needed for township purposes, and provide for a levy of taxes upon real and personal property.

The supervisor or superintendent must prepare quarterly reports that disclose estimated and actual expenditures and revenues to date. (MCL 42.29)

Within 60 days after a township becomes chartered, the board must pass a resolution adopting an interim budget until the next fiscal year. (MCL 42.27)

Taxing Authority

Charter township taxes are not subject to allocation or to the same constitutional tax limitations as general law township taxes. Article IX, Section 6 of the Michigan Constitution, which imposes the 15- and 18-mill tax limitations on real and personal property taxes, specifically exempts charter township taxes from those limitations:

“The foregoing limitations shall not apply to taxes imposed for the payment of principal and interest on bonds approved by the electors or other evidences of indebtedness approved by the electors or for the payment of assessments or contract obligations in anticipation of which bonds are issued approved by the electors, which taxes may be imposed without limitation as to rate or amount; or, subject to the provisions of Section 25 through 34 of this article, to taxes imposed for any other purpose by any city, village, charter county, charter township, charter authority or other authority, the tax limitations of which are provided by charter or by general law.” (Article IX, Section 6, Michigan Constitution of 1963)

Note that the Charter Township Act does not refer to charter township property tax rate limits in “mills.” Instead, MCL 42.27 requires the township board, in adopting its budget for the next fiscal year, to provide for a levy of taxes upon real and personal property that cannot exceed 1/2 of 1% of the assessed valuation of all real and personal property subject to taxation in the balance of the township. This is often referred to as “5-mill charter millage.”

MCL 42.27 also authorizes the electors of a charter township to vote to increase the township's total tax levy, not to exceed a total of 1% of the assessed valuation of all real and personal property in the township, not counting debt obligation or other property taxes exempt from tax limitations by law. This charter township total tax limitation is commonly known as the "10-mill limit."

In both cases, a charter township's total tax limitation is determined as a percentage of the assessed valuation of all real and personal property in the township (excluding debt), and not strictly as 5 or 10 mills. But this article will follow the common usage of 5 or 10 mills.

Charter millage

Charter townships are also different from general law townships in that their "general operating" millage is not allocated, but is set by the township board. The levy of charter millage is based on the charter township's adopted or amended budget and is determined at or following the budget public hearing. It cannot exceed the authorized charter millage.

All charter townships may levy up to 10 mills (*see above*), determined on assessed value (not counting debt service millage). The Charter Township Act does not require a charter township to levy any or all of the additional mills available to it under the Act. (MCL 42.27) All charter township millages are subject to Headlee rollback.

MCL 42.27 authorizes a charter township board to annually provide for a levy of taxes upon real and personal property that cannot exceed 5 mills (*see above*). The township board may choose to automatically levy up to the first 5 mills ("charter millage") without additional voter approval, and without limit in the number of years. The township may then levy up to five additional mills (for a maximum of 10 mills), but only by voter approval and limited to 20 years. (MCL 42.27)

Extra-Voted Millage

When a charter township goes to the voters for approval of additional millage, over and above the authorized charter millage, the township must identify a purpose in the ballot language—it may be for general charter township millage or a specific purpose (which will restrict that millage to that purpose).

Borrowing Powers

The act limits a charter township's borrowing ability to a total outstanding net indebtedness of not more than 10 percent of its assessed value with certain specified exceptions. A charter township must have prior voter approval to issue bonds except for special assessment bonds, bonds issued for the township portion of local improvements, and specific statutory bonds which do not require voter approval. (MCL 42.14a)

A charter township that does not levy the full mills available to it shows bond purchasers that the township has surplus taxing authority. Consequently, the township could have greater ability to borrow at a reduced interest rate (within the 10 percent limit) than a general law township.

Compensation

Setting Salaries

How are compensation levels set in a charter township? Salary levels can be set in one of two ways: 1) by township board resolution subject to citizen referendum or 2) by a compensation commission established by ordinance. (MCL 42.6a)

Note that, if the Charter Township Act does not address a specific township authority and it is addressed in the general township statutes, then the general township statutes apply except where it would conflict with the Charter Township Act. Charter township board salary questions start with looking at the general township laws.

If a general law or charter township does not conduct an annual meeting of the electors, and does not have a compensation commission, the township board shall, by resolution, set the salaries of township board members. The board's resolution to increase a salary is subject to referendum if a citizen petition is filed with the township clerk. (MCL 41.95(3))

If a compensation commission is established, the township board cannot set the salary for any of the four township offices (supervisor, clerk, treasurer, trustee). Note that this is the salary established for the statutory duties of the office, and does not include compensation for additional, non-statutory duties, benefits, expense reimbursements or meeting stipends (per diem or per meeting payments).

Trustees

The Charter Township Act provides that "A trustee may receive, in addition to other emoluments provided by law for his service to the township, a sum per meeting of the township board meetings actually attended by him, as established by the township board to be paid upon authorization of the board." (MCL 42.6) MTA interprets this provision to allow a trustee to be paid on a per diem or per meeting basis for attending township board meetings, in addition to an annual salary.

The Act specifically prohibits a supervisor, clerk or treasurer from receiving additional compensation for attending township board meetings.

Decreases in Salary

The Charter Township Act provides that the salary of an elected township official cannot be decreased during the official's term of office unless the responsibilities and requirements of that office are diminished and the official consents in writing to the salary reduction. (MCL 42.6a)

If the township hires a superintendent, the township board may designate all or some of the supervisor's statutory duties of MCL 42.10 to the superintendent without written consent of the supervisor. If the board designates any of the statutory duties of MCL 42.10 to a manager who is not a superintendent, then the supervisor must consent in writing to diminishing the statutory duties of the supervisor's office under MCL 42.10. In either case, the board cannot reduce the salary of the supervisor's office, for the statutory duties of the supervisor's office, without the written consent of the supervisor. (MCL 42.6a)

Township Board Meetings

A general law township board is required to meet once every three months and at additional times as necessary. The township board of a charter township is required to meet at least once a month. Each member of a charter township is required to vote, if present, on any issues presented to the board, unless the official is excused by the unanimous consent of board members who are present. (MCL 42.7)

There is one exception to this requirement. A charter township board member may abstain from voting without the other board members' consent when voting to fill a vacancy on the charter township board and the board member abstaining states that he or she desires to be appointed to fill that vacancy. (MCL 42.7)

Board Authority

Acquiring and Disposing of Township Property

A charter township board is authorized to purchase, sell or long-term lease real or personal property without authorization from the inhabitants (MCL 42.14). Under Public Act 16 of 1992, a general law township board, by resolution, has the same authority (MCL 41.2).

Police and Fire Departments

Both general law townships and charter townships may have police or fire departments. In a charter township, the officers are appointed by the supervisor or superintendent—if that authority has been delegated by the township board—with the approval of the township board. (MCLs 42.12 and 42.13) In a general law township, the township board appoints police and fire officers. Note that the word “appoint” is really in the context of hiring. Only the township board may hire or fire any township employee, so even if a charter township board has given the supervisor or superintendent authority to hire or fire the police or fire chief, for example, it is still subject to township board approval. (*Ureste v. W. Bloomfield Twp.*, Unpublished, Mich. App. No. 303976, June 21, 2012)

Ordinance Authority

Charter townships are authorized to adopt ordinances to protect the health, safety and general welfare of township inhabitants and property. Ordinances in effect when a general law township incorporates as a charter township remain in effect unless they are repealed or amended. (MCL 42.19)

A charter township can operate in essentially the same manner as a general law township without any additional costs, with the exception of adopting ordinances. State law requires additional publication of an ordinance before and after it is adopted. A charter township is authorized to adopt any state law as an ordinance by reference. In general law townships, only certain ordinances, such as the Uniform Traffic Code, may be adopted by reference.

Public Improvements

Public improvements are managed in the same manner in both charter townships and general law townships. Both general law and charter townships can create special assessment districts and issue special assessment bonds to finance authorized improvements (MCL 42.31).

Citizen Expectations

Another significant difference for charter townships, not found in any law book, is that citizens may have increased expectations for services when a township incorporates as a charter township. Because a charter township is often viewed as an “urbanized” form of township government, citizens may expect additional and improved services beyond that which the township currently provides.

Annual Meeting of the Electors

Charter townships are not required to conduct an annual meeting of the electors unless a majority of the township board determines to do so by resolution.

Conclusion

Should your township become a charter township? It is a value judgment which can only be determined by your township. It is a complicated issue. We recommend that township board officials and citizens familiarize themselves with the facets and implications of the Charter Township Act to make an informed decision.

Under the Campaign Finance Act (MCL 169.201, *et seq*), the township board cannot use general fund monies to campaign for or against becoming a charter township. It is permissible to provide information, such as a newsletter article, that provides both pros and cons of becoming a charter township. (MCL 169.257)

The Michigan Townships Association is available to offer advice and sample forms that a township may adapt to meet its particular needs. In addition, your township should contact legal counsel experienced in township law to assist you throughout the process

BOARD OF TRUSTEES

2655 Clark Road
Hartland, Michigan 48353
(810) 632-7498 Office
(810) 632-6950 Fax



Supervisor
William J. Fountain

Clerk
Larry N. Ciofu

Treasurer
Kathleen A. Horning

Trustees
Matthew J. Germane
Summer McMullen
Denise O'Connell
Joseph M. Petrucci

RESOLUTION NO. XX-Rxxx

**RESOLUTION OF INTENT OPPOSING INCORPORATION AS A
CHARTER TOWNSHIP**

At a regular meeting of the Township Board of Hartland Township, Livingston County, Michigan, held at the Township Hall in said Township on _____, 2022, at 7:00 p.m.

PRESENT:

ABSENT:

The following preamble and resolution were offered by **Trustee** _____ and seconded by **Trustee** _____.

WHEREAS, the Township Clerk has been notified by the Secretary of State of the State of Michigan that Hartland Township has a population of 2,000 or more inhabitants, excluding the population of any incorporated village, and notice of that notification was duly published in the Livingston Daily Press and Argus, a newspaper of general circulation in the township, as required by law; and

WHEREAS, under the provisions of MCL 42.3a, the Township is eligible to be incorporated as a charter township by resolution of the Township Board; and

WHEREAS, after notification is received by the clerk, the township board may adopt, by a majority vote, a resolution opposed to incorporation; and

WHEREAS, the Township Board does not desire to incorporate as a charter township;

NOW, THEREFORE, IT IS HEREBY RESOLVED, in consideration of the foregoing, that the Township Board does hereby declare its intent to not incorporate Hartland Township as a charter township.

A vote on the foregoing resolution was taken and was as follows:

STATE OF MICHIGAN)
)
COUNTY OF LIVINGSTON)

I, the undersigned, the duly qualified and acting Township Clerk of the Township of Hartland, Livingston County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and complete copy of certain proceedings taken by the Township Board of said Township at a regular meeting held on the ____ day of _____, 2022.

Larry N. Ciofu Hartland Township Clerk

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Robert M. West, Township Manager

Subject: Hartland Township FY2022-2023 Budget Discussion

Date: January 27, 2022

Recommended Action

No formal action recommended at this time.

Discussion

Township Manager will initiate the FY2022-23 budget review process. The proposed budget is reviewed annually in advance of the Township Board formally adopting the budget.