

Board of Trustees

William J. Fountain, Supervisor Larry N. Ciofu, Clerk Kathleen A. Horning, Treasurer Matthew J. Germane, Trustee Summer L. McMullen, Trustee Denise M. O'Connell, Trustee Joseph M. Petrucci, Trustee

Board of Trustees Regular Meeting Agenda Hartland Township Hall Tuesday, June 04, 2024 7:00 PM

- 1. Call to Order
- 2. Pledge of Allegiance
- 3. Roll Call
- 4. Approval of the Agenda
- 5. Call to the Public
- 6. Approval of the Consent Agenda
 - <u>a.</u> Approve Payment of Bills
 - b. Approve Post Audit of Disbursements Between Board Meetings
 - c. 05-21-24 Hartland Township Board Regular Meeting Minutes
 - d. 05-21-24 Hartland Township Board Closed Session Meeting Minutes
- 7. Pending & New Business
 - a. Site Plan/PD Application #24-001 Highland Road Self-Storage Facility PD Preliminary Planned Development Site Plan
 - b. Site Plan with Special Land Use Application #24-004 Amend Special Land Use to permit microbrewery at winery building, at Spicer Orchards, 10411 Clyde Road
- 8. Board Reports

[BRIEF RECESS]

- 9. Information / Discussion
 - a. Manager's Report
 - b. Closed Session to consult with the Townships attorney regarding trial or settlement strategy in accordance with the Open Meetings Act, MCL 15.268(1)(e).
 - c. Closed Session: to consider a periodic personnel evaluation of the Township Manager, at his request under MCL 15.268(a).
- 10. Adjournment

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Susan Case, Finance Clerk

Subject: Approve Payment of Bills

Date: May 28, 2024

Recommended Action Move to approve the bills as presented for payment.

Discussion Bills presented total \$61,041.12. The bills are available in the Finance office for review.

Notable invoices include: \$24,123.00 – Brown Drilling – (Well #1 VFD malfunction)

Financial Impact

Is a Budget Amendment Required? \Box Yes \boxtimes No All expenses are covered under the approved FY25 budget.

Attachments Bills for 06.04.2024

05/29/2024 09:3 User: SUSANC DB: Hartland	34 AM	EXP CHECK BOTH	RUN DATES 06/04 JOURNALIZED AND	ORT FOR HARTLAND TO 4/2024 - 06/04/2024 UNJOURNALIZED K TYPE: PAPER CHECH		Page:	1/7
Vendor Code Ref # Invoice Date	Vendor name Address City/State/Z:		Post Date CK Run Date Disc. Date Due Date	Invoice	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
APPLIED 50840 05/20/2024	APPLIED INNO 7718 SOLUTIO CHICAGO IL,	N CENTER	05/20/2024 06/04/2024 / / 06/04/2024	2514278 0.0000	FOA N N N	4/23/24 - 5/22/24 - RIC	COH MP6055SP 50.24 0.00 50.24
Open GL NUMBER 101-172-930.0	00	DESCRIPTION REPAIRS & MAINTENANCE				MOUNT 0.24	
						VENDOR TOTAL:	50.24
2900 50854 05/22/2024 Open	BROWN DRILLI 7215 HIGHLAN HOWELL MI, 4	D ROAD	05/22/2024 06/04/2024 / / 06/04/2024	1175-R 0.0000	FOA N N N	WELL #1 VFD MALFUNCTION	24,123.00 0.00 24,123.00
GL NUMBER 536-000-930.0	01	DESCRIPTION REPAIRS & MAINTENANCE SY	STEM		A 24,12	MOUNT 3.00	
						VENDOR TOTAL:	24,123.00
CINTAS 50857 05/28/2024	CINTAS CORPO P.O. BOX 630 CINCINNATI O	910	05/28/2024 06/04/2024 / / 06/04/2024	4193943139 0.0000	FOA N N N	MATS	51.51 0.00 51.51
Open							
GL NUMBER 101-265-801.0	00	DESCRIPTION CONTRACTED SERVICES				MOUNT 1.51	
CINTAS 50849 05/22/2024 Open	CINTAS CORPO P.O. BOX 630 CINCINNATI O	910	05/22/2024 06/04/2024 / / 06/04/2024	5212658323 0.0000	FOA N N N	FIRST AID SUPPLIES	14.39 0.00 14.39
GL NUMBER 536-000-740.0	00	DESCRIPTION OPERATING SUPPLIES				MOUNT 4.39	
						VENDOR TOTAL:	65.90
DISCOVER 50850 05/21/2024 Open	DISCOVER PRE 680 W LIVING HIGHLAND MI,	STON RD	05/21/2024 06/04/2024 / / 06/04/2024	052124 0.0000	FOA N N N	SETTLERS PARK PAVILION	RENTAL REFUN 200.00 0.00 200.00
GL NUMBER 101-000-651.0	00	DESCRIPTION PARKS & REC USE FEES				MOUNT 0.00	

05/29/2024 09:3 User: SUSANC DB: Hartland	EXP CHEC BOT	CK RUN DATES 06/0 H JOURNALIZED AND		4	Pag	ge: 2/7
Vendor Code Ref # Invoice Date	BOTH OPE Vendor name Address City/State/Zip	N AND PAID - CHEC Post Date CK Run Date Disc. Date Due Date	CK TYPE: PAPER CHEC Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
					VENDOR TOTAL:	200.00
DOUGIES 50847 05/22/2024 Open	DOUGIE'S DISPOSAL & RECYCLING PO BOX 241 HARTLAND MI, 48353	05/22/2024 06/04/2024 / / 06/04/2024	161992 0.0000	FOA N N Y	LABORERS, TRUCKS FOR	CLEAN-UP DAY EV 7,850.00 0.00 7,850.00
GL NUMBER 101-441-801.0	DESCRIPTION CONTRACTED SERVICES			A 7,85	MOUNT 0.00	
					VENDOR TOTAL:	7,850.00
ELECTROCYC 50814 05/14/2024 Open	ELECTROCYCLE, INC. 23953 RESEARCH DR FARMINGTON HILLS MI, 48335	05/14/2024 06/04/2024 / / 06/04/2024	5118 0.0000	FOA N N N	ONSITE DOCUMENT DEST	RUCTION 42.00 0.00 42.00
GL NUMBER 101-172-801.0	DESCRIPTION CONTRACTED SERVICES				MOUNT 2.00	
					VENDOR TOTAL:	42.00
ETNA 50858 05/22/2024 Open	ETNA SUPPLY COMPANY P.O. BOX 772107 DETROIT MI, 48277-2107	05/22/2024 06/04/2024 / / 06/04/2024	s105690215.001 0.0000	FOA N N N	2" OMNI METERS	7,350.00 0.00 7,350.00
GL NUMBER 536-000-741.0	DESCRIPTION 00 METER COSTS			A 7,35	MOUNT 0.00	
					VENDOR TOTAL:	7,350.00
FIVESTAR 50855 05/20/2024 Open	FIVE STAR SIGNS, INC. 10099 BERGIN RD, BLDG D HOWELL MI, 48843	05/20/2024 06/04/2024 / / 06/04/2024	EST 9038 0.0000	FOA N N N	50% DEPOSIT FOR PARS	HALLVILLE CEMETE 812.00 0.00 812.00
GL NUMBER 101-567-970.0	DESCRIPTION 00 CAPITAL OUTLAY				MOUNT 2.00	
					VENDOR TOTAL:	812.00
HAYAA-F 50116	HARTLAND AREA YOUTH ATHLETIC ASSOC HAYAA - FOOTBALL P.O. BOX 359	06/04/2024 06/04/2024	JUNE 2024	FOA N	JUNE 2024 PAYMENT PE	R AGREEMENT 478.77

05/29/2024 09:3 User: SUSANC DB: Hartland	4 AM	EXP	PPROVAL BY INVOICE REP CHECK RUN DATES 06/04 BOTH JOURNALIZED AND	4/2024 - 06/04/ O UNJOURNALIZED	/2024		I	Page: 3/7
Vendor Code Ref # Invoice Date	Vendor name Address City/State/Zi		H OPEN AND PAID - CHEC Post Date CK Run Date Disc. Date Due Date	Invoice	CHECK Bank Hold Sep CK 1099	Invoice De	escriptior	Gross Amount Discount Net Amount
06/04/2024	HARTLAND MI,	48353	/ / 06/04/2024	0.0000	N N			0.00 478.77
Open			00,01,2021					1.0.17
GL NUMBER 101-703-883.20	00	DESCRIPTION HERITAGE PARK: HAR	TLAND PARTNERS			MOUNT 8.77		
						VENDOR	TOTAL:	478.77
НАҮАА-В 50130	HARTLAND AREA HAYAA - BASEE P.O. BOX 110	A YOUTH ATHLETIC AS BALL	SOC. 06/04/2024 06/04/2024	JUNE 2024	FOA N	JUNE 2024	PAYMENT	PER AGREEMENT 1,285.72
06/04/2024	HARTLAND MI,	48353	/ / 06/04/2024	0.0000	N N			0.00 1,285.72
Open								
GL NUMBER 101-703-883.1	00	DESCRIPTION HAYAA: SPRANGER FI	ELD CONTRACT		Al 1,28	MOUNT 5.72		
						VENDOR	TOTAL:	1,285.72
HCSA 50123		MUNITY SOCCER ASSN MUNITY EDUCATION	06/04/2024 06/04/2024	JUNE 2024	FOA N	JUNE 2024	PAYMENT	PER AGREEMENT 926.69
06/04/2024	HOWELL MI, 48		/ / 06/04/2024	0.0000	N N			0.00 926.69
Open								
GL NUMBER 101-703-883.2	00	DESCRIPTION HERITAGE PARK: HAR	TLAND PARTNERS			MOUNT 6.69		
						VENDOR	TOTAL:	926.69
HYL 50109 06/04/2024	HARTLAND YOUT P.O. BOX 56 HARTLAND MI,		06/04/2024 06/04/2024 / / 06/04/2024	JUNE 2024 0.0000	FOA N N N	JUNE 2024	PAYMENT	PER AGREEMENT 478.77 0.00 478.77
Open								
GL NUMBER 101-703-883.2	00	DESCRIPTION HERITAGE PARK: HAR	TLAND PARTNERS			MOUNT 8.77		
						VENDOR	TOTAL:	478.77
LASHBROOK 50843 05/15/2024	LASHBROOK SEE 4895 CURDY RI HOWELL MI, 48)	05/15/2024 06/04/2024 / / 06/04/2024	A-70094 0.0000	FOA N N N	LARGE ITE	M CLEAN-U	P DAY PORTA-JOHN 125.00 0.00 125.00

05/29/2024 09:3 User: SUSANC DB: Hartland	34 AM	EXP CHECK BOTH	RUN DATES 06/04 JOURNALIZED AND	ORT FOR HARTLAND 4/2024 - 06/04/202 UNJOURNALIZED K TYPE: PAPER CHE	2.4	F	Page: 4/7
Vendor Code Ref # Invoice Date	Vendor name Address City/State/Zi		Post Date CK Run Date Disc. Date Due Date	Invoice	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
GL NUMBER 101-441-801.0	00	DESCRIPTION CONTRACTED SERVICES				MOUNT 5.00	
LASHBROOK 50863 05/22/2024 Open	LASHBROOK SEI 4895 CURDY RI HOWELL MI, 48	0	05/22/2024 06/04/2024 / / 06/04/2024	A-70148 0.0000	FOA N N N	GARDEN GATE MONTES:	SORI PRE-SCHOOL GR 250.00 0.00 250.00
GL NUMBER 101-751-955.0	00	DESCRIPTION PARKS - SPECIAL EVENTS				MOUNT 0.00	
						VENDOR TOTAL:	375.00
MTA 50862 05/28/2024 Open	MICHIGAN TOWN P.O. BOX 800 LANSING MI, 4		05/28/2024 06/04/2024 / / 06/04/2024	052824	FOA N N N	ANNUAL DUES 7/1/24	- 6/30/25 7,764.14 0.00 7,764.14
GL NUMBER 101-101-804.0	00	DESCRIPTION MEMBERSHIP & DUES			Ai 7,76	MOUNT 4.14	
						VENDOR TOTAL:	7,764.14
1180 50813 05/14/2024 Open	PETER'S TRUE 3455 W. HIGHI MILFORD MI, 4		05/14/2024 06/04/2024 / / 06/04/2024	K72356 0.0000	FOA N N N	GFCI REPLACEMENT	39.48 0.00 39.48
GL NUMBER 101-751-930.0 101-751-740.0		DESCRIPTION REPAIRS & MAINTENANCE OPERATING SUPPLIES			2	MOUNT 7.99 1.49	
					3	9.48	
						VENDOR TOTAL:	39.48
PBGFS 50833 05/13/2024	PITNEY BOWES P.O. BOX 9810 BOSTON MA, 02		05/13/2024 06/04/2024 / / 06/04/2024	3319113726 0.0000	FOA N N N	4/1/24 - 6/30/24 PG	OSTAGE MACHINE LEA 440.73 0.00 440.73
Open							
GL NUMBER 101-172-930.0	00	DESCRIPTION REPAIRS & MAINTENANCE				MOUNT 0.73	
						VENDOR TOTAL:	440.73

05/29/2024 09:3 User: SUSANC DB: Hartland	EXP CHE(BOT	AL BY INVOICE REF CK RUN DATES 06/0- H JOURNALIZED AND N AND PAID - CHEC	4/2024 - 06/04/2 D UNJOURNALIZED	024	Pag	e: 5/7
Vendor Code Ref # Invoice Date	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
PROSWEEP 50844 05/20/2024	PROGRESSIVE SWEEPING CONTRACTORS 5202 ENTERPRISE BLVD, STE B TOLEDO OH, 43612	05/20/2024 06/04/2024 / / 06/04/2024	127295 0.0000	FOA N N N	LRG ITEM CLEAN-UP EVE	ENT PARKING LOT 844.36 0.00 844.36
Open GL NUMBER 101-441-801.0(DESCRIPTION CONTRACTED SERVICES				MOUNT 4.36	
					VENDOR TOTAL:	844.36
SECURITYLO 50865 05/23/2024 Open	SECURITY LOCK SERVICE INC 401 WASHINGTON ST BRIGHTON MI, 48116	05/23/2024 06/04/2024 // 06/04/2024	1320 0.0000	FOA N N N	STAFF BREAK ROOM SECU	JRITY 1,440.50 0.00 1,440.50
GL NUMBER 401-265-970.00	DESCRIPTION CAPITAL OUTLAY			A) 1,44	MOUNT 0.50	
					VENDOR TOTAL:	1,440.50
SPALDING 50818 05/17/2024 Open	SPALDING DEDECKER 905 SOUTH BLVD EAST ROCHESTER HILLS MI, 48307	05/17/2024 06/04/2024 / / 06/04/2024	98692 0.0000	FOA N N N	GIS THRU 4/28/24	1,439.00 0.00 1,439.00
GL NUMBER 577-000-801.00	DESCRIPTION CONTRACTED SERVICES &	RENTALS		A) 1,43	MOUNT 9.00	
SPALDING 50817 05/17/2024 Open	SPALDING DEDECKER 905 SOUTH BLVD EAST ROCHESTER HILLS MI, 48307	05/17/2024 06/04/2024 / / 06/04/2024	98693 0.0000	FOA N N N	WTR PLT FILTR MEDIA F	REPL THRU 4/28/2 859.18 0.00 859.18
GL NUMBER 539-000-816.00	DESCRIPTION DO ENGINEERING FEES				MOUNT 9.18	
					VENDOR TOTAL:	2,298.18
STAPLES 50816 05/18/2024 Open	STAPLES PO BOX 660409 DALLAS TX, 75266-0409	05/18/2024 06/04/2024 / / 06/04/2024	6002530979 0.0000	FOA N N N	RETURN CREDIT	(7.12) 0.00 (7.12)
GL NUMBER 101-215-727.00	DESCRIPTION 00 SUPPLIES & POSTAGE				MOUNT 7.12)	

05/29/2024 09:3 User: SUSANC DB: Hartland	34 AM	EXP CHI BC	VAL BY INVOICE REE ECK RUN DATES 06/0 PTH JOURNALIZED ANI PEN AND PAID - CHEC	4/2024 - 06/04/2 D UNJOURNALIZED	024	Pag	re: 6/7
Vendor Code Ref # Invoice Date	Vendor name Address City/State/Z:		Post Date CK Run Date Disc. Date Due Date	Invoice	Bank Hold Sep CI 1099	Invoice Description	Gross Amount Discount Net Amount
STAPLES 50815 05/18/2024	STAPLES PO BOX 66040 DALLAS TX, 7		05/18/2024 06/04/2024 / / 06/04/2024	6002530980 0.0000	FOA N N N	MISC SUPPLIES	195.30 0.00 195.30
Open GL NUMBER 101-215-727.0 101-172-727.0		DESCRIPTION SUPPLIES & POSTAGE SUPPLIES & POSTAGE		-	1	AMOUNT L7.34 77.96 95.30	
STAPLES 50861 05/25/2024 Open	STAPLES PO BOX 66040 DALLAS TX, 7		05/25/2024 06/04/2024 / / 06/04/2024	6003143696 0.0000	FOA N N N	MISC SUPPLIES	88.00 0.00 88.00
GL NUMBER 101-192-727.0 101-172-727.0 101-215-727.0 101-253-727.0	0 0 0 0	DESCRIPTION SUPPLIES & POSTAGE SUPPLIES & POSTAGE SUPPLIES & POSTAGE SUPPLIES & POSTAGE		-		AMOUNT 18.12 37.02 15.50 17.36 38.00	
						VENDOR TOTAL:	276.18
STERICYCLE 50864 05/24/2024 Open GL NUMBER 101-441-801.0	STERICYCLE, 28883 NETWOR CHICAGO IL,	K PLACE	05/24/2024 06/04/2024 / / 06/04/2024	8007255148 0.0000		LARGE ITEM CLEAN-UP	SHREDDING 1,594.80 0.00 1,594.80
101 441 001.0	00	CONTRACTED SERVICES			1,5.	VENDOR TOTAL:	1,594.80
SPIRITOFLI 50853 05/02/2024 Open	THE SPIRIT O 3280 W GRAND HOWELL MI, 4	RIVER	05/02/2024 06/04/2024 / / 06/04/2024	4919 0.0000	FOA N N N	LOGO'S ON SHIRTS	37.50 0.00 37.50
GL NUMBER 536-000-719.1	00	DESCRIPTION UNIFORMS/CLOTHING ALL	OWANCE			AMOUNT 37.50	
SPIRITOFLI 50856	THE SPIRIT O 3280 W GRAND		05/09/2024 06/04/2024	4954	FOA N	SEASONAL SHIRTS FOR	BRADY 64.00

05/29/2024 09:3 User: SUSANC DB: Hartland	34 AM	BOTH	RUN DATES 06/04 JOURNALIZED AND	4/2024 - 06/04/2	024	Pa	ge: 7/7
Vendor Code Ref # Invoice Date	Vendor name Address City/State/Zi		Post Date CK Run Date Disc. Date Due Date	Invoice	Bank Hold Sep CH 1099	Invoice Description	Gross Amount Discount Net Amount
05/09/2024	HOWELL MI, 48	8855		0.0000	N		0.00
Open			06/04/2024		Ν		64.00
GL NUMBER 536-000-719.10	00	DESCRIPTION UNIFORMS/CLOTHING ALLOWA	NCE			AMOUNT 54.00	
						VENDOR TOTAL:	101.50
TOSHIBA 50859	TOSHIBA AMER: PO BOX 927	ICA BUSINESS SOLUTIONS	05/20/2024 06/04/2024	6292542	FOA N	4/25/24 - 5/24/24 -	ESTUDIO2830C 14.91
05/20/2024	BUFFALO NY, 1	14240-0927	/ /	0.0000	N		0.00
Open			06/04/2024		Ν		14.91
GL NUMBER 101-172-930.00	00	DESCRIPTION REPAIRS & MAINTENANCE				AMOUNT 4.91	
						VENDOR TOTAL:	14.91
WATERTECH 50860 04/30/2024	WATER TECH 718 S MICHIGA HOWELL MI, 48		04/30/2024 06/04/2024 / /	60363 0.0000	FOA N N	APRIL 2024	92.00
Open			06/04/2024		Ν		92.00
GL NUMBER 536-000-740.00	00	DESCRIPTION OPERATING SUPPLIES				AMOUNT 92.00	
						VENDOR TOTAL:	92.00
WSP	WSP USA ENVI		05/17/2024	40032515	FOA	WWTP LTM/REPORTING	
50841 05/17/2024	P.O. BOX 7400 CHICAGO IL, 9		06/04/2024 / /	0.0000	N N		2,096.25 0.00
Open			06/04/2024		Ν		2,096.25
GL NUMBER 101-441-801.00	07	DESCRIPTION TREATMENT PLANT SAMPLING				AMOUNT 96.25	
						VENDOR TOTAL:	2,096.25
					TOT	TAL - ALL VENDORS:	61,041.12
Fund 536 - WAY	PITAL PROJECTS TER SYSTEM FUN TER REPLACEMEN	D					25,621.55 1,440.50 31,680.89 859.18 1,439.00

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By:	Susan Case, Finance Clerk
Subject:	Approve Post Audit of Disbursements Between Board Meetings
Date:	May 28, 2024

Recommended Action Move to approve the presented disbursements under the post-audit resolution.

Discussion

The following disbursements have been made since the last board meeting:

Accounts Payable - \$10,905.00

May 30, 2024 Payroll - \$96,304.04

Financial Impact

Is a Budget Amendment Required? \Box Yes \boxtimes No All expenses are covered under the approved FY25 budget.

Attachments Post Audit Bills List 05.16.2024 Post Audit Bills List 05.23.2024 Payroll for 05.30.2024 05/28/2024 02:39 PM User: SUSANC

DB: Hartland

CHECK DISBURSEMENT REPORT FOR HARTLAND TOWNSHIP CHECK DATE FROM 05/16/2024 - 05/16/2024

Check Date	Bank	Check #	Рауее	Description	GL #	Amount
05/16/2024	FOA	44601	CONSUMERS ENERGY	UTILITIES - GAS	101-265-920.001	226.78
		44601		UTILITIES - GAS	536-000-920.001	144.73
						371.51
05/16/2024	FOA	44602	DTE ENERGY	UTILITIES - ELECTRIC	101-751-920.002	136.24
05/16/2024	FOA	44603	HARTLAND TOWNSHIP GENERAL FUND	MOBILE HOME FEES ESCROW	701-000-290.300	286.00
05/16/2024	FOA	44604	LIVINGSTON COUNTY TREASURER	MOBILE HOME FEES ESCROW	701-000-290.300	1,430.00
05/16/2024	FOA	44605	LIVINGSTON DAILY PRESS & ARGUS	PRINTING & PUBLICATIONS	101-215-900.000	190.00
		44605		PRINTING & PUBLICATIONS	101-400-900.000	240.00
						430.00
			TOTAL - ALL FUNDS	TOTAL OF 5 CHECKS		2,653.75
GL TOTA	LS					
101-215-900	.000		PRINTING & PUBLICATIONS	190.00		
101-265-920	.001		UTILITIES - GAS	226.78		
101-400-900	.000		PRINTING & PUBLICATIONS	240.00		
101-751-920			UTILITIES - ELECTRIC	136.24		
536-000-920	.001		UTILITIES - GAS	144.73		
701-000-290	.300		MOBILE HOME FEES ESCROW	1,716.00		
			TOTAL	2,653.75		

05/28/2024 02:40 PM User: SUSANC DB: Hartland

101-192-716.000

EMPLOYMENT EXPENSE

CHECK DISBURSEMENT REPORT FOR HARTLAND TOWNSHIP CHECK DATE FROM 05/23/2024 - 05/23/2024

Check Date	Bank	Check #	Payee	Description	GL #	Amoun
)5/23/2024	FOA	44631	DELTA DENTAL	ACCRUED DENTAL BENEFITS	001-000-257.101	253.46
		44631		EMPLOYMENT EXPENSE	101-172-716.000	121.19
		44631		EMPLOYMENT EXPENSE	101-192-716.000	70.64
		44631		EMPLOYMENT EXPENSE	101-215-716.000	66.64
		44631		EMPLOYMENT EXPENSE	101-253-716.000	133.28
		44631		EMPLOYMENT EXPENSE	101-400-716.000	187.83
		44631		EMPLOYMENT EXPENSE	101-441-716.000	242.38
		44631		EMPLOYMENT EXPENSE	536-000-716.000	191.83
						1,267.25
)5/23/2024	FOA	44632	DTE ENERGY	UTILITIES - ELECTRIC	101-265-920.002	1,356.95
		44632		STREET LIGHTS	101-448-921.000	46.02
		44632		UTILITIES	101-567-920.000	23.18
		44632		UTILITIES - ELECTRIC	101-751-920.002	120.77
		44632		UTILITIES - ELECTRIC	206-000-920.002	29.12
		44632		UTILITIES - ELECTRIC	536-000-920.002	4,054.38
						5,630.42
05/23/2024	FOA	44633	KIANDER, SHILA	EDUCATION/TRAINING/CONVENTION	101-209-957.000	50.00
05/23/2024	FOA	44634	MUTUAL OF OMAHA	ACCRUED STD/LTD BENEFITS	001-000-257.103	217.09
, - , -		44634		EMPLOYMENT EXPENSE	101-172-716.000	47.42
		44634		EMPLOYMENT EXPENSE	101-192-716.000	114.86
		44634		EMPLOYMENT EXPENSE	101-209-716.000	162.50
		44634		EMPLOYMENT EXPENSE	101-215-716.000	71.60
		44634		EMPLOYMENT EXPENSE	101-253-716.000	80.29
		44634		EMPLOYMENT EXPENSE	101-400-716.000	127.34
		44634		EMPLOYMENT EXPENSE	101-441-716.000	109.33
		44634		EMPLOYMENT EXPENSE	536-000-716.000	154.96
5/23/2024	FOA	44635	VSP INSURANCE CO. (CT)	ACCRUED VISION BENEFITS	001-000-257.102	43.64
		44635		EMPLOYMENT EXPENSE	101-172-716.000	19.67
		44635		DECEMBER 2022 PREMIUMS	101-192-716.000	14.20
		44635		DECEMBER 2022 PREMIUMS	101-215-716.000	11.95
		44635		EMPLOYMENT EXPENSE	101-253-716.000	23.90
		44635		EMPLOYMENT EXPENSE	101-400-716.000	31.62
		44635		EMPLOYMENT EXPENSE	101-441-716.000	39.34
		44635		DECEMBER 2022 PREMIUMS	536-000-716.000	26.77
		44635		EMPLOYMENT EXPENSE	536-000-716.000	7.10
						218.19
			TOTAL - ALL FUNDS	TOTAL OF 5 CHECKS		8,251.25
GL TOTA	.LS					
001-000-257			ACCRUED DENTAL BENEFITS	253.46		
001-000-257			ACCRUED VISION BENEFITS	43.64		
001-000-257			ACCRUED STD/LTD BENEFITS	217.09		
101-172-716	.000		EMPLOYMENT EXPENSE	188.28		

199.70

05/28/2024 02:40 PM User: SUSANC DB: Hartland

CHECK DISBURSEMENT REPORT FOR HARTLAND TOWNSHIP CHECK DATE FROM 05/23/2024 - 05/23/2024

Check Date Bank Check #	Рауее	Description	GL #	Amount
101-209-716.000	EMPLOYMENT EXPENSE	162.50		
101-209-957.000	EDUCATION/TRAINING/CONVENTION	50.00		
101-215-716.000	EMPLOYMENT EXPENSE	150.19		
101-253-716.000	EMPLOYMENT EXPENSE	237.47		
101-265-920.002	UTILITIES - ELECTRIC	1,356.95		
101-400-716.000	EMPLOYMENT EXPENSE	346.79		
101-441-716.000	EMPLOYMENT EXPENSE	391.05		
101-448-921.000	STREET LIGHTS	46.02		
101-567-920.000	UTILITIES	23.18		
101-751-920.002	UTILITIES - ELECTRIC	120.77		
206-000-920.002	UTILITIES - ELECTRIC	29.12		
536-000-716.000	EMPLOYMENT EXPENSE	380.66		
536-000-920.002	UTILITIES - ELECTRIC	4,054.38		
	TOTAL	8,251.25		

Check Register Report For Hartland Township For Check Dates 05/30/2024 to 05/30/2024

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
05/30/2024	FOA	17565	MISSION SQUARE	1,243.17	1,243.17	0.00	Open
05/30/2024	FOA	17566	MISSION SQUARE	3,056.98	3,056.98	0.00	Open
05/30/2024	FOA	17567	MISSION SQUARE	3,570.72	3,570.72	0.00	Open
05/30/2024	FOA	17568	MISSION SQUARE	200.00	200.00	0.00	Open
05/30/2024	FOA	17569	AMERICAN FAMILY LIFE ASSURANCE CO	32.30	32.30	0.00	Open
05/30/2024	FOA	DD9229	BEDUHN, TIMOTHY L.A.	2,424.00	0.00	1,891.35	Cleared
05/30/2024	FOA	DD9230	BERNARDI, MELYNDA A	2,405.84	0.00	1,879.18	Cleared
05/30/2024	FOA	DD9231	BROOKS, TYLER J	2,876.40	0.00	2,034.61	Cleared
05/30/2024	FOA	DD9232	CARRIGAN, AMANDA K	3,856.34	0.00	3,038.98	Cleared
05/30/2024	FOA	DD9233	CASE, SUSAN E	2,565.00	0.00	1,519.07	Cleared
05/30/2024	FOA	DD9234	CIOFU, LARRY N	2,856.09	0.00	1,968.17	Cleared
05/30/2024	FOA	DD9235	COSGROVE, HEATHER H	2,154.00	0.00	1,758.40	Cleared
05/30/2024	FOA	DD9236	DRYDEN-HOGAN, SUSAN A	4,025.69	0.00	2,861.30	Cleared
05/30/2024	FOA	DD9237	ECKMAN, MATTHEW A	232.50	0.00	204.83	Cleared
05/30/2024	FOA	DD9238	FOUNTAIN, WILLIAM J	2,856.09	0.00	2,413.45	Cleared
05/30/2024	FOA	DD9239	FOX, LAWRENCE E	360.00	0.00	317.16	Cleared
05/30/2024	FOA	DD9240	GERMANE, MATTHEW J	546.00	0.00	479.23	Cleared
05/30/2024	FOA	DD9241	GRISSIM, SUSAN L	232.50	0.00	213.98	Cleared
05/30/2024	FOA	DD9242	HAASETH, GWYN M	1,243.13	0.00	1,102.46	Cleared
05/30/2024	FOA	DD9243	HABLE, SCOTT R	3,458.33	0.00	2,403.10	Cleared
05/30/2024	FOA	DD9244	HORNING, KATHLEEN A	3,106.09	0.00	2,176.49	Cleared
05/30/2024	FOA	DD9245	HUBBARD, TONYA S	2,144.30	0.00	1,435.25	Cleared
05/30/2024	FOA	DD9246	JOHNSON, LISA	2,791.47	0.00	1,844.00	Cleared
05/30/2024	FOA	DD9247	KENDALL, ANTHONY S	104.58	0.00	96.58	Cleared
05/30/2024	FOA	DD9248	LANGER, TROY D	4,226.36	0.00	2,990.08	Cleared
05/30/2024	FOA	DD9249	LIPKE, BRADY W	945.00	0.00	798.88	Cleared
05/30/2024	FOA	DD9250	LOFTUS, DANIEL M	834.15	0.00	712.32	Cleared
05/30/2024	FOA	DD9251	LOUIS, CASEY	1,292.86	0.00	1,002.29	Cleared
05/30/2024	FOA	DD9252	LUCE, MICHAEL T	4,791.67	0.00	3,522.13	Cleared
05/30/2024	FOA	DD9253	MAYER, JAMES L	180.00	0.00	158.58	Cleared
05/30/2024	FOA	DD9254	MCMULLEN, SUMMER L	726.00	0.00	615.67	Cleared
05/30/2024	FOA	DD9255	MITCHELL, MICHAEL E	90.00	0.00	83.12	Cleared
05/30/2024	FOA	DD9256	MORGANROTH, CAROL L	2,555.31	0.00	1,976.16	Cleared
05/30/2024	FOA	DD9257	MURPHY, THOMAS A	263.00	0.00	231.70	Cleared

Check Register Report For Hartland Township For Check Dates 05/30/2024 to 05/30/2024

Check Date	e Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
05/30/2024	1 FOA	DD9258	NIXON, MITCHELL A	2,953.42	0.00	2,230.60	Cleared
05/30/2024	1 FOA	DD9259	O'CONNELL, DENISE	546.00	0.00	384.15	Cleared
05/30/2024	1 FOA	DD9260	PETRUCCI, JOSEPH M	546.00	0.00	457.09	Cleared
05/30/2024	1 FOA	DD9261	RADLEY, JAMES W	1,260.00	0.00	1,041.53	Cleared
05/30/2024	1 FOA	DD9262	SHOLLACK, DONNA M	230.60	0.00	114.42	Cleared
05/30/2024	1 FOA	DD9263	SOSNOWSKI, SHERI R	2,565.75	0.00	1,939.06	Cleared
05/30/2024	4 FOA	DD9264	WYATT, MARTHA K	3,665.73	0.00	2,451.65	Cleared
05/30/2024	1 FOA	EFT725	FEDERAL TAX DEPOSIT	15,511.87	15,511.87	0.00	Cleared
05/30/2024	4 FOA	EFT726	MI DEPT OF TREASURY	4,778.80	4,778.80	0.00	Cleared
Totals:			Number of Checks: 043	96,304.04	28,393.84	50,347.02	
	Total Physical Checks	:	5				
	Total Check Stubs:		38				

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Larry Ciofu, Clerk

Subject: 05-21-24 Hartland Township Board Regular Meeting Minutes

Date: May 25, 2024

Recommended Action Move to approve the Hartland Township Board Regular Meeting Minutes for May 21, 2024.

Discussion Draft minutes are attached for review.

Financial Impact None

Attachments 5-21-24 HTB Minutes - DRAFT

DRAFT

1. Call to Order

The meeting was called to order by Supervisor Fountain at 7:00 p.m.

2. Pledge of Allegiance

3. Roll Call

PRESENT:	Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane (7:02),
	Trustee McMullen, Trustee Petrucci
ABSENT:	Trustee O'Connell

Also present were Township Manager Mike Luce and Planning Director Troy Langer.

4. Approval of the Agenda

Move to approve the agenda for the May 21, 2024 Hartland Township Board meeting as presented.

Motion made by Clerk Ciofu, Seconded by Trustee Petrucci.Voting Yea:Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee McMullen, Trustee
Petrucci

Voting Nay:	None
Absent:	Trustee Germane; Trustee O'Connell

5. Call to the Public

Meghan Williams came forward and introduced herself as a Republican candidate for County Commissioner for the 4th District. She stated she has been a resident of Livingston County her entire life and gave a brief overview of her educational background. She stated she thought she had a lot to offer and to bring forward to help benefit the Board. She stated her age, gender, and integrity will help move the County forward and to provide a positive work environment for County government.

6. Approval of the Consent Agenda

Move to approve the consent agenda for the May 21, 2024 Hartland Township Board meeting as presented.

Motion made by Treasurer Horning, Seconded by Trustee McMullen.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane, Trustee McMullen, Trustee Petrucci

Voting Nay: None

Absent: Trustee O'Connell

- a. Approve Payment of Bills
- b. Approve Post Audit of Disbursements Between Board Meetings
- c. 05-07-24 Hartland Township Board Regular Meeting Minutes
- d. Release of Performance Bond for Affinity 11 Investments Acct 101-000-283.000-0029
- e. Hiring of Abigail Carrigan as Landscape Enforcement Assistant

7. Pending & New Business

a. Special Event Permit #24-002 Hartland Polo Classic

Planning Director Troy Langer stated the Hartland Chamber of Commerce is hosting their annual Polo Event, as they did last year, to be held on Saturday, June 8th from 4:00 p.m. to 10:00 p.m. and on Sunday, June 9th from 12:00 p.m. to 4:00 p.m. at Heritage Park. He stated this event includes the sale of liquor which requires the approval of the Township Board. He stated this event is open to the public, but tickets must be purchased.

<u>Move to approve Special Event Permit #24-002 as outlined in the Staff Memorandum, dated</u> <u>May 14, 2024</u>

 Motion made by Treasurer Horning, Seconded by Trustee Germane.

 Voting Yea:
 Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane, Trustee McMullen, Trustee Petrucci

 Voting Nay:
 None

 Absent:
 Trustee O'Connell

8. Board Reports

Trustee McMullen - Stated she attended a program at Round Elementary school called K-Kids sponsored by the Kiwanis where over 50 children participated. She stated they have a board where they list what activities they want to do and this year they visited a Senior Citizen Living facility in Hartland to spend time and play games with residents. They have also made toys for animals in shelters and bird feeders and she thought this was a wonderful program. Chris Sarkella of the South Lyon Kiwanis Club developed this program to get kids involved in the community and she thought this was great. She stated that a few teachers at the school met with kids on a weekly basis, and the kids decided what activities to do throughout the year. They are trying to do more community involvement activities and they asked if a community event comes to mind that we let them know. She stated it was really great to see how much they have accomplished in their first year of the program.

Trustee Petrucci - Stated we have a Veteran's Memorial Committee meeting on June 4th at 4:00 p.m. He stated we will be meeting at Settler's Park to decide where we would like the Memorial to be located. He stated the Board has approved a project to put a Veteran's Memorial in Settler's Park and we are gathering pricing information on the various aspects of monument and we hope to have this completed by Memorial Day of 2025. Manager Luce stated we will be marking off a general location in park and the proposed dimensions of the Memorial at the June 4th meeting.

Clerk Ciofu - Inquired of the Board's willingness to potentially resell a cemetery plot in Hartland Cemetery to a family that sold back three lots to the Township in 2000. An individual has inquired about purchasing one of the lots to inter a relative next to family members in the cemetery. After discussion the Board would be willing to consider this at a later meeting, after we do our due diligence on the matter.

Treasurer Horning - Stated last Saturday was the opening of the Farmer's Market at the Rural King parking lot and we have more yearly vendors this year than we have ever had at the market. She stated the Farmer's Market is every Saturday from 9:00 a.m.to 1:00 p.m. and she is looking forward to a very successful year.

Trustee Germane - Inquired as to whether we have selected a date for the joint Township Board and Planning Commission meeting. Manager Luce stated we are looking at mid-July to schedule this meeting. Trustee Germane requested that we add a discussion about Blight to this meeting as he is receiving a number of comments from residents on this issue. He is looking for a better understanding of the details of the Ordinances dealing with blight, so that he can provide an informative response to these residents.

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES May 21, 2024 – 7:00 PM

Supervisor Fountain - Stated that the asphalt at the Settler's Park parking looks very good and inquired as to the timing of the second coat of asphalt. Manager Luce stated the second layer of asphalt will be done this Thursday and the striping and replacement of the parking blocks will be on Friday and the park will open to traffic on Saturday. Trustee Petrucci suggested adding two or three handicapped parking spots at the southwest corner of the parking lot and Manager Luce stated that we are adding nine new parallel spots on the drive from the Township Hall to the Settler's Park parking lot, so this should be feasible. Supervisor Fountain also inquired as to the Large Item Clean Up Day last Saturday and Manager Luce stated he thought the numbers were down a bit from last year, but we did fill a dumpster and a half of electronics and had a considerable amount of refrigerators and air conditioners. Overall it went off with no issues. Supervisor Fountain also stated that at this morning's Chamber meeting he commended Chamber Director Wheaton for her kind words on WHMI at the Buffalo Wild Wings Ribbon Cutting. He stated that Chamber Director Wheaton mentioned to the Chamber members that the "Coffee and Conversation" meeting with the Township on signs and taxes was valuable to those in attendance and that this forum provides the tools to help them communicate their positions on what is going on in the community and they are very appreciative of the Township in providing these meetings.

[BRIEF RECESS]

9. Information / Discussion

a. Manager's Report

Manager Luce stated we have previously discussed the potential for MDOT grant funds for completing the M-59 sidewalk gaps project and in discussions he has had with our engineering firm, they stated that SEMCOG provides yearly grants of up to \$800,000 with a 20% match. He is recommending holding off on the \$100,000 we have allocated to the sidewalk gap project this year and double this up next year to apply for a SEMCOG grant. He stated Redwood Phase II is going to the Planning Commission (PC) but there have been some issues regarding the size of tree plantings that were too small and need to be replaced with larger trees. He stated at the next Board meeting we should have the Climate Controlled Storage building along with the Spicer's Microbrewery before the Board. He gave a brief update on the Large Item Clean Up Day and thanked Horizon Landscaping, Dougie's Disposal, and San Marino Excavating for all they do to make this event successful. He stated that we have been working with Inch Memorial on a potential cost of our concept idea for the Veteran's Memorial monument. Once we have this cost we will know what we have left for the remainder of the proposed project. Manager Luce gave a brief overview of the final stages of the Settler's Park parking lot that will then be open on Saturday and the potential for installing a split rail fence between the parking lot and the park if funds are available. He stated once this is complete he envisions the Township Hall parking lot replacement to be started within the next three weeks and gave a brief overview of the process. He gave an update on the gravel road improvements with Maxfield Rd. being completed, Clyde Rd in process, and Cullen Rd. that will start around June 10th. He also stated improvements to Parshall Rd., that we are cost sharing with Tyrone Township, will start in late June or early July. Manager Luce stated he starting reviewing the Employee Handbook and will bring back any necessary revisions to the Board at a future Board meeting. He informed the Board that the Board and Commission mail cabinet has been relocated to behind the Board Room. Manager Luce stated that a meeting was held with a couple of County Board of Commissioner members on the Septage Receiving Station regarding questions they had on the process and how we got to where we are at today and potential options at this time. He stated he was informed that this was a positive meeting and that the County Commissioners have a little more insight on the issues. He stated he will be meeting

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES May 21, 2024 – 7:00 PM

with our Township Attorney regarding the County's legal counsel concern as to why we did not pass a resolution when we agreed in concept to the Dispute Resolution Panels proposed solution.

b. Closed Session: to consider a periodic personnel evaluation of the Township Manager, at his request under MCL 15.268(a)

Move to go into closed session to consider a periodic evaluation of the Township Manager, at his request under MCL 15.268(a)

Motion made by	Roll call vote taken.	
Voting Yea:	Supervisor Fountain, Clerk Ciofu, Treasurer Horning,	Trustee Germane, Trustee
-	McMullen, Trustee Petrucci	
Voting Nay:	None	
Absent:	Trustee O'Connell	Motion passes: 6 - 01.

The Board is in closed session at 7:40 p.m.

The Board came out of Closed session at 8:17 p.m.

10. Adjournment

Move to adjourn the meeting at 8:20 p.m.

Motion made by Trustee Petrucci, Seconded by Treasurer Horning.

Voting Yea:	Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane, Trustee
	McMullen, Trustee Petrucci
Voting Nay:	None
Absent:	Trustee O'Connell

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By:	Larry Ciofu, Clerk
Subject:	05-21-24 Hartland Township Board Closed Session Meeting Minutes
Date:	May 31, 2024

Recommended Action Move to approve the Hartland Township Board Closed Session Meeting Minutes for May 21, 2024.

Discussion Draft minutes are available in the Clerk's office for review.

Financial Impact None

Attachments None

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

- Subject: Site Plan/PD Application #24-001 Highland Road Self-Storage Facility PD Preliminary Planned Development Site Plan
- **Date:** May 28, 2024

Recommended Action

Move to Approve Site Plan/PD #24-001, the Preliminary Planned Development Site Plan for Highland Road Self-Storage Facility Planned Development as outlined in the staff memorandum dated May 14, 2024.

Approval is subject to the following conditions:

- 1. The Preliminary Planned Development Site Plan for Highland Road Self-Storage Facility Planned Development, SP/PD #24-001, is subject to all recommendations made by the Planning Commission.
- 2. Waiver request for the planned development project area to be less than 20 acres is approved.
- 3. Waiver request for the building height to exceed 35 feet is approved.
- 4. Waiver request for one (1) wall sign on a side of the building that is not the building wall's primary entrance (south elevation) is approved.
- 5. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated May 2, 2024, on the Construction Plan Set, subject to an administrative review by Planning staff prior to the issuance of a land use permit.
- 6. As part of the Final Plan Review, the applicant shall provide a Planned Development (PD) Agreement that includes any access and maintenance agreements. The documents shall be in a recordable format and shall comply with the requirements of the Township Attorney.
- 7. Applicant complies with any requirements of the Township Engineering Consultant, Department of Public Works Director, Hartland Deerfield Fire Authority, and all other government agencies, as applicable.
- 8. (Any other conditions the Township Board deems necessary).

Discussion

Applicant: Joe Qonja

Site Description

The proposed planned development (PD) is shown north of Highland Road, west of US-23, and located between Best Western of Hartland motel and Arby's restaurant. The subject parcel, zoned GC (General

SP/PD #24-001 Highland Road Self-Storage – Preliminary PD Plan May 28, 2024 Page 2

Commercial), is approximately 1.21 acres in size and is undeveloped (Parcel ID #4708-21-300-039). The property has approximately 180 lineal feet of frontage along the right-of-way line for US-23 (east property line). The west property line aligns with the existing 30-foot-wide private service drive easement and the parcel has approximately 180 lineal feet of frontage along the private service drive.

The 2020-2021 Amendment to the Future Land Use Map (FLUM) designates the subject parcel as Commercial.

Public access to the proposed development is via an existing paved, private service drive which connects to Highland Road on the south, travels north to the Best Western of Hartland motel, then turns west to connect to Old US-23. The north-south portion of the service drive is paved and is approximately twenty (20) feet wide, as measured edge to edge, without curbing. The east-west portion of the service drive is approximately thirty (30) feet wide, edge to edge, and also without curbing. A 30-foot-wide private driveway easement for ingress-egress and utilities is associated with the service drive. Currently Arby's restaurant has access from the service drive via two (2) driveways as does Best Western. A vacant parcel is situated west of Best Western and north of the service drive. The applicant provided a copy of the recorded driveway easement for the service drive, which allows access to the service drive for the subject property.

Municipal water and sanitary sewer will be required for this project.

Arby's restaurant is to the south (10099 Highland Road) and is zoned GC. To the north, is the Best Western of Hartland (10087 Highland Road) which is also zoned GC. Southwest of the subject site is Chase Bank which is zoned PD (Planned Development). The Chase Bank property does not take access from the private service drive. The 2020-2021 Amendment to the FLUM shows Commercial as the designation for each parcel.

The project was discussed at the public hearing by the Planning Commission on May 9, 2024. The Planning Commission recommended approval of the project at that meeting. There was discussion on the "public benefit" of the project and portions of the development that did not comply with the typical zoning standards. The Planning Commission examined the architectural quality of the project, and the size of the parcel and determined the proposal should be approved.

Site History

SUP #183 (Best Western Motel 1984)

The subject property for the climate controlled self-storage facility was originally part of a larger parcel that included the Best Western motel. SUP #183 for the Best Western motel was approved by the Township Board on August 21, 1984. The plan showed two (2) phases for the development of the site that included two (2) motel buildings, a separate motel office building, restaurant, donut shop, and associated parking areas.

Land Use Permit #1433 (1985)

Land Use Permit #1433 was approved on January 24, 1985, for the construction of the motel building, in its current location. It is unclear if the separate motel office building and pool were also approved under this permit.

Metes and Bounds Land Division Application #771 (2007)

The Planning Commission approved M & B Land Division Application #771 on June 28, 2007. This was a request to split the existing parcel into two (2) parcels, which included Parcel A (1.54 acres vacant land, NW corner of the site, adjacent to Old US-23) and Parcel B (3.95 acres, with motel buildings, paved parking

areas, and undeveloped land to the south). A thirty (30) foot wide easement is shown on Parcel A and Parcel B, for ingress, egress, and public utilities. The easement connects to Old US-23 on the west and Highland Road to the south. The document was recorded in 2007.

Land Division Application #840 (2014)

This was a request to split Parcel B (3.95 acres) into two (2) parcels. Parcel B1 (2.72 acres) includes the existing motel building, office/indoor pool building, and parking area. Parcel B2 (1.21 acres) is the site of the proposed climate controlled self-storage PD. The 2014 recorded survey for the land division, for Parcel B1, shows a 30-foot-wide segment of land that appears to be the approximate location of the north-south portion of the ingress-egress easement described in the 2007 recorded document. However, a legal description of the 30-wide easement is not provided on this survey.

Site Plan/PD Application #23-009 (Climate Controlled Self-Storage Facility PD - Concept Plan)

The Concept PD plan was discussed under SP/PD Application #23-009. The Planning Commission reviewed the project on August 24, 2023, followed by the Township Board's review of the project on September 5, 2023.

Planned Development Procedure

Section 3.1.18 of the Township's Zoning Ordinance provides standards and approval procedures for a PD (Planned Development). Approval of a Planned Development is a three-step process. A Concept Plan, Preliminary Plan, and Final Plan are all reviewed by the Planning Commission and the Township Board, with the Planning Commission making a recommendation and the Board having final approval at each step.

The process usually requires a rezoning from the existing zoning district to the Planned Development (PD) zoning district. As part of the rezoning, a public hearing is held before the Planning Commission consistent with the Michigan Zoning Enabling Act; this public hearing is held at the same meeting during which the Planning Commission reviews and makes a recommendation on the Preliminary PD. Approval of the Final Plan by the Township Board usually constitutes a rezoning of the subject property to PD (Planned Development).

Given the requirements for publishing a notice for the planned development, the public hearing has been scheduled for the May 9, 2024, Planning Commission meeting. Approval of the Final Plan by the Township Board usually constitutes a rezoning of the subject property to PD (Planned Development).

For all intents and purposes, the Preliminary Plan step is essentially the same as a preliminary site plan review for a conventional project in the Township. All the information and details required for a preliminary site plan approval must be provided for the Preliminary PD review and approval. Final PD review will involve detailed plans for those phases for which construction is intended to begin immediately, review of the Planned Development Agreement, and other written documents as applicable.

Overview of the Preliminary Plan and Proposed Use

The applicant has submitted Preliminary PD plans for a 3-story, climate controlled self-storage facility, to be developed as a Planned Development. The property is currently zoned GC (General Commercial) which does not allow for a self-storage facility or mini warehouse use.

A mini warehouse facility typically consists of single-story buildings with multiple storage units per building, and drive aisles around the buildings. The storage unit/building may or may not be climate controlled. Each storage unit is typically accessed directly from a garage door (drive-up storage unit). Separate standards for Mini Warehouses are found in Section 4.35. Based on the discussion at the Concept Plan stage, the consensus of the Planning Commission was that the standards for Mini Warehouses (Section

4.35) do not apply to the proposed use. Specific zoning standards are not provided for this type of facility; thus, the applicant is pursuing the project as a Planned Development.

The subject parcel is approximately 1.21 acres. Per Section 3.1.18.B.ii, the minimum size for a Planned Development is twenty (20) acres of contiguous land. The Township Board, upon recommendation from the Planning Commission may permit a smaller Planned Development subject to meeting the requirements in Section 3.1.18.B.ii, such as the project offers unique characteristics and benefits or the parcel in question has unique characteristics that significantly impact development. The applicant submitted a letter to the Township, dated April 18, 2024, requesting a waiver of the minimum Planned Development size requirements and explained the basis for the request.

Regarding the site layout for the proposed facility, the building is positioned in the center of the site. The plans show three (3) driveways to the site from the existing service drive. The southern driveway provides ingress to the site and is one-way (west to east). The internal drive lane wraps around the building on the east and north, with a one-way egress driveway on the north (travel goes from east to west). The center driveway is the exit point from the building.

Vehicular access into the building is via a garage door on the east side of the building. The exit point is on the west side of the building, with a driveway connection to the private service drive. Eighteen (18) driveup storage units are shown on the north side of the building with each unit having access via a garage door.

The southern drive lane is comprised of a 16-foot-wide paved driving surface and bordered with a 10-footwide grass paver area for fire access, for a total width of twenty-six (26) feet. The drive lane on the east and north sides of the building are comprised of a 24-foot-wide paved driving surface and bordered by a 2-footwide mountable curb on the outer edge of the paved drive lane. The total width is twenty-six (26) feet. The drive lane design is per the request of the Hartland Deerfield Fire Department.

The total gross square footage of the 3-story, climate-controlled building is approximately 64,000 square feet. The first floor is 18,600 square feet excluding the access drive that runs through the center of the first floor. The second and third floors are each 22,800 square feet. Floor plans are provided for each floor.

Patrons can enter the building (on-foot) via an entrance door on the east side of the building. Internally, the first floor has an office area, 18 drive-up units, 73 interior storage units, elevator, restroom, and staircase. A total of 91 storage units are found on the first floor. The second and third floors can be accessed via the elevator or stairs. Storage units are found on each floor, in varying sizes, with a total of 179 units on each floor (2nd and 3rd floor). The total number of storage units for the facility (all three floors) is 449 units based on the submitted floor plans.

Hours of operations are anticipated to be as follows:

Office hours:	Monday-Friday 8:00 a.m. to 9:00 a.m. and 5:00 p.m. to 6:00 p.m.
	Saturday 9:00 a.m. to 3:00 p.m. or 4:00 p.m.
	Sunday - closed
Established customers:	6:00 a.m. to 10:00 p.m.

Four (4) parking spaces are shown on the east side of the building. One (1) space is a van accessible, barrierfree parking space and three (3) are standard parking spaces. The parking formula listed on the plan is for Mini or Self-Storage Warehouse uses. Section 5.8.4.H. states the parking requirement as a minimum of six (6) parking spaces plus adequate loading area at each unit. During the review of the Concept Plan (SP/PD #23-009), the Planning Commission thought the proposed use, climate controlled, self-storage facility, is somewhat similar to but is not a direct match to a Mini Warehouse use (Section 4.35). Most mini warehouses have rows of units accessed by a vehicle via individual garage doors, and typically are not climate-controlled storage units.

The applicant has provided information from a mini storage facility in Provo, Utah, with 420 storage units, which appears to be a traditional mini storage facility with drive-up units. In that report, it was found that approximately 0-2 cars were parked each hour of the day between 7:00 a.m. and 7:00 p.m. The Planning Commission can take this into consideration regarding parking requirements to determine if sufficient parking is provided.

The building height is 40'-0" for the 3-story building, at the highest point. This height exceeds the maximum allowed height of thirty-five (35) feet in a Planned Development. A waiver request to exceed the maximum building height is provided from the applicant, in the letter dated April 18, 2024, with an explanation of the reasons for the height deviation.

The building elevations note that the primary façade materials consist of three (3) masonry products labeled as Masonry A, B, and C. Prefab composite panels and awnings on the east and west elevations are used as accent features on the building. Additional information on the facade materials is found in this memorandum under Architecture/Building Materials.

The plans list building setbacks as required for GC (General Commercial) zoning, and parking setbacks per the Zoning Ordinance. Section 3.1.18.C.vi.a. (PD section) provides the minimum yard setbacks for a planned development. Further discussion on this topic occurs in the Design Standards section of the memorandum.

Municipal water and sanitary sewer will be required for this development. The applicant will need to work with the Township and Livingston County regarding municipal water and sanitary sewer. The applicant will also need to work with the Hartland Township Department of Public Works (DPW) to acquire the necessary Residential Equivalency Units (REUs) for this development.

Stormwater management plans show an underground detention system on the south side of the building. Additional details are provided on the site plan set.

Eligibility Criteria (Section 3.1.18.B.)

To be eligible for PD approval, the applicant must demonstrate that the criteria in Section 3.1.18.B. will be met.

1. Recognizable Benefits. *The planned development shall result in a recognizable and substantial benefit to the ultimate uses of the project and to the community and shall result in a higher quality of development than could be achieved under conventional zoning.*

The applicant has provided an explanation of the recognizable benefits in the submittal entitled Community Recognizable Benefit Statement. Per the applicant, the recognizable benefits include the following:

• The self-storage building is focused on serving the short and long-term needs of primary local residents. Additionally, the facility will service local businesses, professional office, and commercial retail customers.

- The building provides a fully enclosed one-way drive aisle inside the building, which is more secure than traditional self-storage facilities limited to exterior drive-up units.
- The building is climate controlled with the exception of the exterior drive-up units on the north side of the building.
- A digital surveillance system will monitor customer activity.
- Storage customers can have FedEx/UPS/USPS or other deliveries sent to their unit instead of packages sitting unsecured on their porch or in an apartment hallway.
- 2. Minimum Size. Planned Developments must be a minimum of 20 acres of contiguous land.

The parcel is approximately 1.21 acres and does not comply with the minimum size of 20 acres of contiguous land for a planned development. Per the applicant's waiver request, dated April 18, 2024, the proposed self-storage facility will be a benefit to the community as this type of facility is not offered in the Township but is in high demand.

3. Use of Public Services. The proposed type and density of use shall not result in an unreasonable increase in the use of public services, facilities, and utilities, and shall not place an unreasonable burden upon the subject site, surrounding land, property owners and occupants, or the natural environment.

The self-storage facility is accessed from an existing private service drive. The 20-foot-wide paved service drive connects to Highland Road on the south and Old US-23 on the west. Best Western of Hartland and Arby's restaurant also take access from the service drive.

Municipal water and sanitary sewer services will be required for the project. The Township Director of Public Works has provided comments in the review letter dated January 24, 2024.

The Hartland Deerfield Fire Authority provided comments on the project in the letter dated March 25, 2024.

4. Compatibility with Comprehensive Plan. The proposed development shall not have an adverse impact upon the Comprehensive Plan for the Township. Notwithstanding this requirement, the Township may approve a Planned Development proposal that includes uses which are not called for on the Future Land Use Map, provided that the Planning Commission and Township Board determine that such a deviation from the Future Land Use Map is justified in light of the current planning and development objectives of the Township.

The subject property is designated as Commercial on the 2020-2021 Comprehensive Plan and Future Land Use Map (FLUM) Amendment. Per the Comprehensive Plan, the majority of commercial land uses within the Township are intended to be concentrated around the M-59 and US-23 interchange. The intended uses in the Commercial category include the sale of convenience goods, personal /business services for the day-to-day needs of the immediate neighborhood as well as providing for auto-oriented services. The proposed project appears to be consistent with the intent of the Commercial designation in the FLUM and Comprehensive Plan.

Planned Development Design Standards (Section 3.1.18.C.)

This section outlines the design standards for a planned development. Additional site standards will be discussed from applicable sections of the Zoning Ordinance.

- 1. Permitted Uses. The predominant use on the site shall be consistent with the uses specified for the parcel on the Township's Comprehensive Plan for Future Land Uses. The predominant use on the subject site is a climate controlled, self-storage facility. The use is consistent with the Comprehensive Plan.
- **2. Residential Density.** *Residential density in a planned development shall be consistent with the density designation within the Township's Comprehensive Plan.*

This standard does not apply to the proposed project.

3. Design Details. *The applicant shall prepare a detailed description of design details to be implemented in the proposed planned development, to be presented in a Pattern Book.*

The design details are provided on the submitted site plans and architectural drawings for the project.

4. Minimum Yard Requirements. The minimum yard requirements are noted in the chart below per Section 3.1.18.C.vi.a.(Non-Residential)

Yard Location	Minimum	Proposed distance or	Complies
	PD Standard	setback*	Yes/No
Along perimeter adjacent to public road (US-23, east side of site)	75 ft.	60.5 ft.	No**
Along perimeter, but not adjacent to a road	40 ft.	29.3 ft. (north) 36.5 ft. (south)	No No
Along an internal thoroughfare road (private service drive, west side of site)	40 ft.	27 ft.	No

*Measured to closest point of building as stated on plans

**Applicant stated the distance as 27.6 feet, however staff could not confirm/locate this measurement on the plans.

5. Building Height. No building in a planned development shall be greater than thirty-five (35) feet in height.

Per the architectural plans, the building height is stated as forty (40) feet height, to the highest point. The applicant has submitted a waiver request to exceed the maximum allowed height of thirty-five (35) feet. The Planning Commission shall review the waiver request, dated April 18, 2024, and make a determination.

6. Parking and Loading. Planned Developments shall comply with the parking and loading requirements specified in Section 5.8, Off-Street Parking requirements, and Section 5.9, Loading Space Requirements of the Zoning Ordinance.

Parking requirements are listed in Section 5.8.4.H (Table of Minimum Parking Space Requirements). The proposed use, climate-controlled, self-storage facility, is not listed in the table, thus, a parking standard is not stated. Four (4) parking spaces are shown and include one (1) van accessible, barrier-free parking space and access aisle, and three (3) standard parking spaces (10 feet by 20 feet). The

applicant has submitted information on parking needs for a mini storage facility from another community for the Planning Commission to consider.

- 7. Landscaping. Landscaping requirements are found in Section 3.1.18.C.vi.e. These are considered minimum design standards, typically for a commercial or office development. A more detailed review of the landscaping is provided in this memorandum using applicable landscape standards as outlined in Section 5.11 (Landscaping and Screening Updated Landscape Ordinance version).
- **8. Open Space.** *Open space shall be provided to complement and accentuate the high-quality design of the proposed planned development. At minimum the planned development shall provide open space consistent with the previous zoning designation for the site.*

Per this section of the Zoning ordinance (Section 3.1.18.C.vi.f,), the planned development shall provide open space consistent with the previous zoning designation for the site, at a minimum. Currently the site is zoned GC (General Commercial). In GC, lot coverage is limited to seventy-five percent (75%) for the principal structure. The plans state the lot coverage as 43% for the building footprint.

A separate open space plan was not submitted. If the landscaped areas are counted as open space, the site has approximately 15% open space, per staff's estimate.

9. Natural Features. Consistent with the stated intentions for the creation of these regulations, the preservation of the natural features of the Township is an important planning consideration. A PD proposal must consider the natural topography and geologic features, scenic vistas, trees and other vegetation and natural drainage patterns that exist on the site and propose a development pattern which preserves and avoids disruption of those natural features as much as possible.

A Topographic Survey is provided. Currently the site consists of mowed lawn/field for the majority of the site. Seven (7) canopy trees are planted along the west property line (next to the private service drive) which are to be removed. Tree and brush areas occur along the east lot line and southeast corner of the site which are to be removed.

10. Sidewalks and Pedestrian Access. The applicant must demonstrate the PD site, and all uses within the site, will be connected to any existing pedestrian and nonmotorized vehicle paths and trails within a public right-of-way or easement open to the public.

A sidewalk is not proposed along the west side of the site, adjacent to the private service drive. Currently, sidewalks do not exist along the private service drive. Internally, concrete sidewalks are shown on the east side of the building adjacent to the main entrance to the building.

Requirements for Preliminary Review (Section 3.1.18.E.ii)

The following section is a summary of items that have not been addressed in the previous review as part of the Design Standards section.

1. Sewer and Water.

The Department of Public Works has provided a review letter dated January 24, 2024, which outlines the number of REU's required for the proposed development.

2. Stormwater and Drainage Systems.

The stormwater management plans show an underground chamber system on the south side of the building, under the drive aisle. Details are shown on Sheet C-4 and Sheet C-12.

3. Traffic Impacts.

The applicant has provided two (2) documents regarding traffic generation for a self-storage facility or mini warehouse. The studies are intended to provide general trip generation information for similar facilities in other parts of the country. Staff reached out to the Michigan Department of Transportation (MDOT) and Livingston County Road Commission for their input on the proposed use and traffic generation. Neither agency had any issues with the proposed use or traffic. The LCRC noted the driveway approach (of the private service drive) on Old US-23 is in poor condition and could use improvements.

4. Vehicular Circulation.

The proposed development is accessed from the existing 20-foot wide, private concrete service drive, which is located within a 30-foot-wide easement. The service drive extends from Old US-23 on the west to Highland Road on the south. The applicant submitted a copy of a 2007 recorded document for the private driveway easement (Hartland Township Agreement for Private Driveway Easement Rights and Responsibilities).

Internally a looped circulation system is shown, with one-way vehicle traffic around the building. The entry point to the building for vehicles is on the east side of the building, and exiting occurs on the west side of the building.

5. Fiscal Impacts.

The applicant has provided a response to this topic in the submittal entitled "Community Recognizable Benefit Statement."

Site Requirements

Dumpster Enclosure (Sec. 5.7)

- Required Dumpster designed, enclosed, and screened per requirements; decorative masonry screen wall on 3 sides to match exterior façade materials of the building and steel reinforced, opaque, lockable wooden gates. Enclosure height sufficient to screen dumpsters; minimum enclosure height is 6 feet.
- Proposed 10' by 10' concrete pad in front of dumpster, with 6-foot tall, block enclosure with 4" face brick to match building façade material (Masonry C product). Metal gates shown-no color listed. Canopy trees shown on rear of enclosure. Enclosure does not meet 10-foot parking setback on east (shown at 6.8 ft.to property line) and north (shown at 3.3 ft.to property line)
- Meets Requirement? No, the enclosure does not meet the 10-foot setback on the north and east sides. Metal gates proposed (no color stated) versus steel reinforced, lockable wooden gates.
- Comment Planning Commission to determine if the placement of the enclosure is acceptable. Dumpster enclosure drawing to be revised to state color of gates (if metal gates are approved) on the Construction Plan Set.

Off-Street Parking (Sec. 5.8.4.H – Parking requirements for this use not listed)

- Required Parking requirements for climate-controlled, self-storage facility is not listed in Section 5.8.4.H
- Proposed 4 parking spaces; 3 spaces are 10' X 20' in dimension plus 1 barrier-free, van accessible parking space; loading area at each drive-up unit is not specified on the plan.

- Meets Requirement? **TBD**
- Comment Applicant provided a parking study for a mini storage facility in Provo, Utah for the consideration of the Planning Commission regarding parking needs for the proposed facility. The Planning Commission to determine if four (4) parking spaces are sufficient for this facility, and if a loading area is required at each drive-up unit.

Barrier-Free Parking

- Required 1 barrier-free space in a location most accessible to the building entrance, with at least 1 space van-accessible (1 barrier-free space required per 25 parking spaces)
- Proposed 1 van accessible barrier-free space, with 8-foot-wide access aisle, by main building entrance (east)
- Meets Requirement? Yes
- Comment (none)

Loading (Sec. 5.9)

- Required 1 loading space (10' X 50') required for up to 10,000 sq. ft. of gross floor area (for industrial use)
- Proposed Loading space for the facility is not shown
- Meets Requirement? No
- Comment Typically this has not been required to be shown on a plan. In this case, patrons can
 park and unload/load, or drive inside the building and unload/load. A dedicated loading area for
 each drive-up unit is not provided. Planning Commission to determine if a loading space is
 necessary.

Landscaping (Section 5.11 – Updated Landscape Ordinance version)

Applicable sections of Section 5.11 (Landscaping and Screening) will be applied to the PD, as outlined below. This site has frontage on the private service drive (west) and US-23 (east). The applicant designated the Greenbelt area on the east side of the site, parallel to the right-of-way of US-23.

- A. Irrigation (Sec. 5.11.2.A.viii.)
 - Required All landscaped areas (including lawns) shall be provided with an automatic, underground or drip irrigation system.
 - Proposed Irrigation system is to be designed to by irrigation contractor, per note on Sheet C-7.
 - Meets Requirement? Yes
 - Comment Irrigation plan required to be provided in the Construction Plan Set
- B. Greenbelt Landscaping (Sec. 5.11.2. C.) East (US-23)
 - Required Within the first 30 feet of the property, minimum 20-foot-wide area, 1 canopy tree for every 30 ft of lineal of frontage; Planning Commission may approve up to 50% substitution of canopy trees with evergreen trees; PLUS 3 small deciduous ornamental trees or large deciduous or evergreen shrubs for the initial 40 ft., and 1 per 20 ft. thereafter. Frontage = 180 ft.

<u>EQUATES TO</u>: 6 canopy trees; 3 ornamental trees, or large deciduous or evergreen shrubs in first 40 ft., plus 7 additional ornamental trees or large deciduous or evergreen shrub, or combination thereof REQUIRED

• Proposed – 6 canopy trees; combination of 12 large evergreen shrubs and 20 small shrubs (Compact Inkberry); Greenbelt area is less than 20 ft. wide (generally is 10 ft. wide at NE

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corner but narrows to 3.9 ft. at SE corner). Lawn proposed in this area.

Meets Requirement? – Yes, for plant material; \hat{NO} , for planting area width being less than 20 ft.

• Comment – Two (2) canopy trees on southeast portion of the landscape area are shown planted in the ROW of US-23. Planning Commission determination required if proposed plan is acceptable.

West (Private Service Drive – Greenbelt along Internal Road)

- Required A minimum 15-foot-wide landscape area along length of internal roadway providing shared access to the site; 1 canopy or evergreen tree for every 30 ft. Frontage along easement of private service drive = 180 ft.
 - EQUATES TO: 6 canopy or evergreen trees REQUIRED
- Proposed 5 canopy trees; combination of 12 large evergreen shrubs and 12 small shrubs (Compact Inkberry); Greenbelt area is approximately 22 ft. wide.
- Meets Requirement? No, for number of canopy trees
- Comment Planning Commission determination required if proposed plan is acceptable.
- C. Foundation Landscaping (Sec. 5.11.2.D.)
 - Required Must equal 60% of the front and sides of the proposed building where facing road or adjacent to parking lot; must be 8-10 ft. in width, and consist of 1 ornamental or columnar tree, and 6 medium or 8 small shrubs for every 30 ft. Building perimeter east = 114 ft.; building perimeter west = 114 ft. Foundation perimeter calcs.: 228 ft. X 60% = 137 ft.
 <u>EQUATES TO</u>: 5 ornamental/columnar trees; PLUS 40 small shrubs or 30 medium shrubs REQUIRED (total number)
 - Proposed –
 East: No foundation landscape bed or plantings proposed on the east side of the building.
 - Meets Requirement? **No**
 - Proposed **TBD**

West: Trees and shrubs in the Greenbelt area could be counted for Foundation landscaping.

- Comment Planning Commission determination required if proposed plan is acceptable.
- D. Parking Lot Landscaping (Sec. 5.11.2.E.) Only applicable for off-street parking areas with ten (10) or more parking spaces. The proposed plan has four (4) parking spaces.
- E. Screening of Ground Mounted Equipment (Sec. 5.11.2.G.iii.)
 - Required Screening on three sides for utility cabinets (if 30 inches or more in height)
 - Proposed 3 large shrubs are shown to screen the transformer on west; combination of small and large shrubs shown to screen 6 condenser units on west.
 - Meets Requirement? **TBD**
 - Comment The height of the transformer and each condenser unit should be stated on the plans. Evergreen shrubs should be used and of sufficient height to screen the transformer. The revisions shall be provided on the Construction Plan Set.

No roof-mounted mechanical equipment units are proposed or shown.

Other Landscaping and Site Comments

• Several areas on the landscape plan require plant material to cover a minimum of 80% of the ground surface. The areas are as follows: area on the south side of the building, between the building and

curbing associated with the drive lane; 3 parking islands on the east side of the building; and median area between the grass pavers and south property line. In particular, narrow habit ornamental trees or shrubs, ornamental grasses, or combination thereof should be provided in the median area between the grass pavers and south property line to provide visual/seasonal interest. Landscaping/plants/lawn should be used in said areas versus using 100% shredded hardwood mulch or a stone product. The landscape plan shall be revised to show landscaping in these areas on the Construction Plan Set.

- The required size of a canopy tree at the time of planting is 3" caliper. The plan states tree size of 2.5"-3" for each canopy tree species. Revisions to be provided on Construction Plan Set.
- Willow Oak (Quercus Phellos) is not hardy for this climate an alternate canopy tree species should be selected. Revisions to be provided on Construction Plan Set.
- Per the applicant's Waiver Narrative, dated March 18, 2024, waivers are requested for the rear (east) parking setback and side (north) parking setback. Staff is unsure about the yard designations stated on the site plans but will use those designations in the next section.
- Parking setbacks are found in Section 5.8.3.A.iii. and only apply to an off-street parking space and not the drive aisle/internal maneuvering lanes associated with a parking area. In this case the off-street parking spaces on the east side of the building meet the required 10-foot rear parking setback and a waiver is not required. A drive aisle is located on the north side of the building, but parking spaces are not present, thus a waiver is not required for off-street parking as requested.

Lighting (Sec. 5.13)

- A. Intensity
 - Required Max. 0.5 fc along property line adjacent to residential; or max.1.0 fc along property line adjacent to non-residential; average fc between 2.4 and 3.6 in main parking area and an average of 5.0 fc at main building entrance and at exit/entry drive; may not exceed 10 fc on site.
 - Proposed Photometric plan indicates footcandle values are less than 1.0 footcandle along each property line. Footcandle value less than 10 fc throughout the site. Average footcandle value in the main parking area is 3.4 fc (complies); average footcandle at main building entrance is 5.0 fc (complies); and average footcandle at exit/entry drives is 5.0 fc (complies). footcandle values are measured at 5 ft. above ground level.
 - Meets Requirement? Yes for light fixtures shown on plan.
 - Comment Wall-mounted light fixtures are not shown on the photometric plan and should be added. Footcandle values of the wall-mounted light fixtures shall be included in the calculations on the revised photometric plan, on Construction Plan Set.

B. Fixture Height

- Required Lighting fixtures shall not exceed a height of 25', or the height of the principal building, whichever is less, measured from the ground level to the centerline of the light source.
- Proposed The overall stated height of the light pole and base (Fixture A) on Sheet C-6, is 18 feet or 25 feet; height is shown as measured from ground level to bottom of light fixture.
- Meets Requirement? Height measurement is incorrect
- Comment Plan to be revised on Construction Plan Set to show height measured from ground level to top of light fixture.

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Fixture Type

- Required Details of all lighting fixtures needed including specifications for shielding, wattage, and illumination.
- Proposed Technical information on Fixture A (light pole) and wall mounted light fixtures provided.
- Meets Requirement? Yes
- Comment (None)

Water Supply and Wastewater Disposal (Sec. 5.16)

The site will be served by municipal water and sanitary sewer.

Architecture / Building Materials (Sec. 5.24)

Architecture Comments:

• Façade Materials Calculation – façade materials must comply with the specifications for Façade Materials Group #1; percentages for each elevation are provided on Sheet A400 of the Architectural plans.

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Elevation	Glass	Split-	Brick,	Spandrel	Limestone	Siding	O.H.	Metal	Drive-
	(50%	faced	Natural	Glass	(50%	(10%	Metal	Awning	thru
	max.)	Block-	Clay	(15%	max.)	max.)	Doors		O.H.
		(25%)	(30%	max.)					door
	Glass	max.)	min.)		Limestone	Hardie	(not	(not	(not
	curtain	Masonry			Sill	Plank	listed	listed in	listed
	wall	А	Masonry			Panels	in	Sec.	in
		Stained	B + C				Sec.	5.24)	Sec.
		&	combined				5.24)		5.24)
		scored						Blue	
		split						awning	
		faced							
North	4.0%	19.0%	37.0%	20.0%	2.0%	1.0%	17.0%	0.0%	0.0%
South	5.0%	34.0%	50.0%	8.0%	2.0%	1.0%	0.0%	0.0%	0.0%
East	9.0%	29.0%	40.0%	8.0%	2.0%	6.0%	0.0%	1.0%	5.0%
West	9.0%	11%	64.0%	7.0%	1.0%	4.0%	0.0%	1.0%	4.0%

Materials Group #1:	Proposed Fa	çade Materials by	Percentage by	y Elevation
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- Colors: Color renderings of the building are provided. Specific product information for each façade material is stated on Sheet A400. Earthtone colors are proposed for all products. Metal awnings are blue.
- Materials: Percentages are listed for each elevation side as indicated by the table; specifications on all materials are provided.
- Meets Requirement? **TBD**
- Comment Masonry A product is described as 8" by 16" split faced block with raked horizontal joints and stained with a Sherwin Williams product (stain color is Black Bean). Planning Commission to determine if the façade material Masonry A (stained and scored block) is acceptable.

Other Comments

Wall Sign (Section 5.26.8.H.)

Per Section 5.26.8.H. (wall) signs shall be located on the vertical face of the building wall's primary entrance generally parallel to the road right-of-way of the individual business. The primary entrance to the self-storage facility is on the east building elevation, which is the side that faces the right-of-way of US-23. The property also has frontage along the easement of the service drive on the west and is an exit point of the storage facility.

Per the Ordinance, two (2) wall signs are permitted for the facility, allowing for one (1) wall sign on the east elevation and one (1) wall sign on the west elevation, subject to other wall sign regulations.

The architectural plans show two (2) wall signs; one (1) wall sign on the west elevation, which is permitted, and one (1) wall sign on the south elevation. The wall sign on the south elevation does not meet the wall sign standards for sign location, thus a waiver is required.

The applicant has submitted a waiver request, dated April 18, 2024, to permit one (1) wall sign on the south elevation, in lieu of having a sign on the east elevation that would not be visible, per their letter.

Each wall sign is approximately 22.8 feet by 3.5 feet in dimensions, which equates to approximately 79.8 square feet per wall sign. Each wall sign is comprised of channel letters that are backlit. The wall signs comply with the Zoning Ordinance standards for size and design.

Monument Sign (Section 5.26.M.ii.)

One (1) monument sign is shown on the west side of the building and is set approximately ten (10) feet from the west property line. The monument sign has a masonry base (Masonry A product) and a sign on top that is comprised of an opaque metal box with internally illuminated die-cut letters. The total sign height is 6'-10" (maximum allowed height is seven (7) feet). The sign area (above base) is approximately 38.66 square feet. The monument sign complies with the Zoning Ordinance standards.

Other Requirements-Zoning Ordinance Standards

Nothing additional at this time.

Hartland Township DPW Review

The DPW Director has provided a review letter dated January 24, 2024.

Hartland Township Engineer's Review (Spaulding DeDecker)

The Township Engineer (SDA) has reviewed the Preliminary Site Plan and provided comments in the letter dated March 26, 2024.

Hartland Deerfield Fire Authority Review

The Hartland Deerfield Fire Authority has provided comments in the review letter dated March 25, 2024.

Attachments:

- 1. Township DPW review letter 01.24.2024 PDF version
- 2. Township Engineer (SDA) review letter 03.26.2024 PDF version
- 3. Hartland Deerfield Fire Authority review letter 03.25.2024 PDF version
- 4. Waiver Narrative 04.18.2024 PDF version
- 5. Community Recognizable Benefits Memorandum PDF version

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- 6. BYU Final Report 2011 PDF version
- 7. Chiswell Traffic Memorandum PDF version
- 8. Hours of Operation PDF version
- 9. LCRC email 12.06.2023 PDF version
- 10. MDOT email 12.06.2023 PDF version
- 11. Private Driveway Easement PDF version
- 12. Architectural Plans 03.07.2024 PDF version
- 13. Site Plans 03.18.2024 PDF version

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DEPARTMENT OF PUBLIC WORKS



Scott Hable, Public Works Director 2655 Clark Road Hartland MI 48353 Phone: (810) 632-7498

TO:	Planning Department
DATE:	1/24/2024
DEVELOPMENT NAME:	Hartland Storage
APPLICATION #:	SP PD# 24-001
REVIEW TYPE:	Site Plan

The Department of Public Works has reviewed the site plans for the proposed three-story self-storage facility and has determined that it will require .40 REU's for both water and sewer, based on the small size of the office and bathrooms.

	Sewer REUs	Water REUs	
Owned	0	0	
Required	0.40	0.40	
REU Difference	0.40	0.40	
Cost Each	\$9,439.20	\$5,816.01	
Total Due Each	\$3,775.68	\$2,326.40	
TOTAL REU COST	\$6,102.08		

Hartland Township Public Works approves the Hartland Storage site plan subject to inclusion of the following details on the construction plans:

- 1. Sanitary sewer material and sizes and connection detail sheet
- 2. Monitoring manhole for sewer connection and location if required
- 3. Utility easements noted as public or private.
- 4. Approval of the Livingston County Drain Commission.

Prior to interior construction, applicant will be required to purchase a "size to be determined" water meter from the Township. Please contact the Public Works Department (810-632-7498) to purchase the water meter.

Please feel free to contact me with any further questions or comments regarding this matter.

Scott Hable Public Works Director



Preliminary PD Site Plan Review

March 26, 2024

Mr. Troy Langer Planning Director Hartland Township 2655 Clark Road Hartland, Michigan 48353

Re: Proposed Self-Storage Facility – Preliminary PD Site Plan Review #4 SDA Review No. HL22-122

Dear Commission Members:

We have received the revised preliminary site plan submittal for the above referenced project prepared by Stonefield Engineering & Design dated March 18, 2024 and received by our office on March 18, 2024. The plans were reviewed in accordance with the Site Plan Review Checklist, Current Design and Engineering Standards, Standard Details, Code of Ordinances, and the 2021 International Fire Code and the following comments are our observations.

Recommendation

Approval of the Final Site Plan is recommended, conditional upon all of the below comments being addressed to the satisfaction of the Planning Commission.

Comments:

The Site Plan meets the general requirements of the Hartland Township Code of Ordinances and the Engineering Design Manual.

Project Summary

- Construction of a self-storage facility on the east side of the service drive east of N Old US 23 and north of Highland Road (M-59). Site access would be provided via private roadways. The private road is 30' from edge to edge connected to N Old US 23 and is 20' from edge to edge connected to Highland Rd (M-59). The site is noted as 1.2 acres.
- Water service would be provided by an existing 8" diameter water main located west of the proposed facility cutting through the old Walgreens (10081 Highland Rd) and current Chase Bank (10083 Highland Rd) properties that extends to the proposed facility with an existing hydrant located on the proposed property. An additional hydrant is proposed on the northeast corner of the property. The 8" diameter water main connects to the existing 12" water main located on N Old US 23.
- Sanitary sewer service would be provided by an existing 8" diameter sanitary sewer traversing through the property with no recorded easement. This existing line ties into an existing 15" diameter sanitary sewer along Highland Rd (M-59).
- The plans show an existing basin/depression in the southeast corner of the existing property that drains through a 12" storm sewer to the south. The proposed on-site drainage collects to



a proposed underground detention system and outlets to the existing 12" diameter storm sewer to the south on the Arby's property.

General

- 1. Five Waivers were requested from the Hartland Township Zoning Ordinance. These and any other variance in Land Use, Zoning and Landscaping shall be reviewed and approved by the Township.
- 2. No landscape will be allowed within the proposed easements unless approved by the Township and Board.

These comments are to assist in plan preparation in anticipation of your engineering review submittal and are **not required at this time** for site plan approval:

- 1. Drawing C-1: Update Architectural Plans date to 03/07/2024 in Plan Reference Materials.
- 2. Drawing C-2 and C-8: Concrete Wall Construction may require work within the MDOT right-ofway. All necessary permits shall be included.
- 3. Drawing C-5. All utility coordination including, but not limited to, underground electrical conduit, connection to existing 8" water main, connection to existing on site water valve, connection to existing sanitary manhole on neighboring property, gas, and telecommunication shall be conducted prior to issuing for bids and construction. A bypass or temporary relocation plan should be provided for disruption to existing storm sewer and sanitary sewer.

Water Main

These comments are to assist in plan preparation in anticipation of your engineering review submittal and are **not required at this time** for site plan approval:

- 1. Drawing C-5: Water main 20 foot wide easement is shown correctly, revise callout from Proposed 12 FT to Proposed 20 FT.
- 2. Drawing C-5: 8" water main shall be used from connection to existing water main to proposed hydrant.
- 3. The township records show that there is an existing 8-inch diameter water main along the private road from Old US-23 immediately adjacent to both parcels to a dead end with hydrant at the parcel south of the motel. Motels continuously use enough water to maintain water quality at a dead end, however the proposed use as a self-storage facility at the parcel to the south may not allow enough water use to maintain water quality for the site. Tapping the existing main west of the motel connection or constructing a water main from the dead end to the existing main in Highland Road may be required by the Township for adequate flow to maintain water quality for the self-storage property.

Sanitary Sewer

These comments are to assist in plan preparation in anticipation of your engineering review submittal and are **not required at this** time for site plan approval:

- 1. A proposed easement will be required along with pipe lengths, slopes, and materials as well as manholes and proposed inverts. A temporary bypass plan should be added to accommodate the existing 6" lines that currently tie in upstream of the proposed construction.
- 2. The developer will need to either enter into a shared-use agreement with the Best Western property owner to use this existing sewer or construct a new sewer with private easement to the Livingston Regional Drain sewer along the north side of Highland Road. The capacity of



this existing sewer, if used, will need to be sufficient to handle the proposed REU's produced by the proposed developments.

Storm Drainage

These comments are to assist in plan preparation in anticipation of your engineering review submittal and are **not required at this** time for site plan approval:

- 1. Drawing C-5: All storm sewers must be located in a public right-of way or an easement. The minimum storm sewer easement shall be 12 feet wide. The easement size will vary as required for maintenance and access. Any storm sewer that accepts runoff from abutting property or public right-of-way must be placed in a minimum 12 foot storm sewer easement.
- Drawing C-4: See Current Design and Engineering Standards, many items will require addressing via the link (<u>https://www.hartlandtwp.com/planning/page/hartland-townshipdesign-and-engineering-standards</u>)
- 3. Drawing C-4: Callouts on 12" RCP show slope pipes having slope of 0.30%, however inverts calculate a slope of 0.48%. Revise slope in callouts.
- 4. Drawing C-4: Use correct class of storm sewer for shallow cover.
- 5. Boundary & Topographical Survey: Ex 12" diameter storm sewer crosses the northwest corner of the property. Confirm with existing business connected that a maintenance agreement is not needed.
- 6. It is possible that the developer may be able to enter into a shared-use agreement with the Best Western/Arby's property owner to use this storm sewer. If this sewer is to be used, a capacity study will be necessary and onsite flow restriction may be required for both developments. Otherwise, the developer must construct a new storm sewer with private easement to an existing storm sewer subject to approval by the Livingston Regional Drain Commissioner.
- 7. Drawing C-11: Provide plan to tie underdrain shown in Grass Paver Specifications into shallow storm sewer or outlet properly if it is required.

Flood Plain

The 100-year flood plain does not appear to traverse the property.

Off-Site Easements

Any off-site utility easements anticipated must be executed prior to final approval of the plans. If you have note already done so, drafts of the easements must be submitted to our office for review and shall be approved prior to executing the easements.

The following must be submitted with the Revised Site Plan:

A letter from either the applicant or the applicant's engineer must be submitted with the Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

Please be aware that additional comments may arise with the submittal of the requested revisions and/or additional information.



The comments are not to be construed as approvals and are not necessarily conclusive. The final engineering plans for this development are to be prepared in accordance with the Current Design and Engineering Standards, Standard Details, and Code of Ordinances.

If you have any questions regarding this letter, please contact Mark Collins or Luisa Amici at (248) 844-5400 with any questions.

Sincerely,

SPALDING DEDECKER ASSOCIATES, INC.

Made D Collon

Mark Collins, PE Municipal Project Manager

Jus Ameri

Luisa Amici Engineer

HARTLAND DEERFIELD FIRE AUTHORITY



HARTLAND AREA FIRE DEPT.

3205 Hartland Road Hartland, MI. 48353-1825 *Voice*: (810) 632-7676 *E-Mail*: firemarshal@hartlandareafire.com

March 25, 2024

- To: Hartland Township Planning Commission Attn: Zoning Department
- Re: Self-Storage Facility Highland Road, Hartland MI 48353 (Between Best Western & Arby's)

This office has reviewed the Self-Storage Facility Site Plan dated March 6, 2024.

We have the following comments regarding the proposed facility.

- 1. Ensure turning radius is a minimum of fifty feet.
- 2. Twenty-six feet of drivable space for aerial apparatus placement. Ensuring this space is clear from weather or debris including snow removal.
- 3. Supra Box installed on the exterior of the building for access into individual units. Fire Department to provide order form.
- 4. Due to the potential unknown of items to be stored within the facility, it is highly recommended the entire structure be suppressed according to International Fire Code 2012 Chapter 9.
- 5. The structure will possess off-site monitoring for fire according to International Fire Code 2012 Chapter 9.

Any revised drawings affecting the Fire Department must be submitted for review.

Jon Schanke

Jon Dehanke Captain / Fire Inspector

STONEFIELD

April 18, 2024 Office of the Planning Director Troy Langer 2655 Clark Road Hartland, MI 48353

RE: Waiver Narrative Proposed Self Storage Facility PARCEL ID: 4708-21-300-033 Highland Road Hartland Township, Livingston County, Michigan

Troy:

This narrative is being submitted to request six (6) waivers from the Hartland Township Zoning Ordinance to construct a Self-Storage Facility.

I. Section 3.1.18.C.vi.c. ; Maximum Building Height of 35 feet - 40.0 feet proposed

The 1.2 acre lot size creates difficulty to provide the required storage capacity for the communities needs within the limited space while adhering to the ordinance height limit. The proposed design and site location being off of the main road, along a highway, will ensure minimal visual impact.

2. Section 3.1.18.B.ii ; Minimum Lot Size of 20 acres - 1.2 acres proposed

While the minimum lot size requirement is not met, the zoning ordinance states the waiver may be granted if the development provides a benefit to the community. With the absence of selfstorage facilities there is a demand within the community for the service. This waiver would allow for the facility to provide secure storage options to meet the communities needs. The proposed Self Storage Facility will provide residents with a nearby storage option. See "Community Benefit Narrative" for additional information.

3. Section 3.1.18.C.vi.a ; Minimum Front Yard Setback of 75 feet - 27.6 feet proposed

The required building setbacks result in 22,892 SF of developable building area. A 22,880 SF building area is proposed. A deviation from the setback requirement allows for a more efficient use of the land. The proposed building coverage is 43%, well under the permitted 75% coverage for a principal building.

4. Section 3.1.18.C.vi.a ; Minimum Rear Parking Setback of 20 feet - 8.8 feet proposed

The reduced parking setback proposed, located along the highway at the rear of the site, allows for the best use of the land to provide storage units, parking, and adequate drive aisles. The full site circulation is required to provide safety for customers and fire access.

5. Section 5.8.3.iii ; Minimum Side Parking Setback of 10 feet - 5.0 feet proposed

The reduced parking setback proposed, located along the northern property line which is a shared boundary to a property also owned by the petitioner, allows for the adequate fire circulation and aisle width. The full site circulation is required to provide safety for customers and fire access.

stonefieldeng.com



6. Section 5.26; Signs (I permitted for each road frontage, East & West) - Proposed South Wall Sign

Per the Zoning regulations, since the building has frontage on US-23 (east) and the shared roadway on the west, one (1) wall sign could be permitted on the east building elevation and one (1) wall sign could be permitted on the west building elevation. In lieu of having a sign on the east elevation that would not be visible, a sign is being proposed on the south elevation for added visibility.

Best regards,

J. Reid Cooksey, PE jcooksey@stonefieldeng.com Stonefield Engineering and Design, LLC

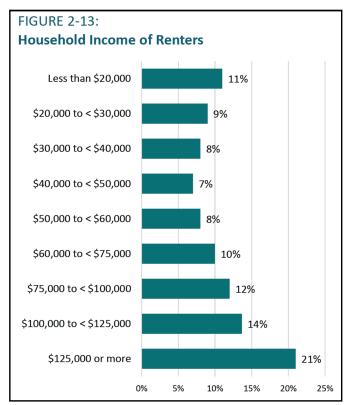
ih2h

Erin McMachen emcmachen@stonefieldeng.com Stonefield Engineering and Design, LLC

V:\DET\2022\DET-220363-onQ Commercial Real Estate-10087 Highland Road, Hartland, MI\Correspondence\Outgoing\Municipal\2024-04-18 Waiver Narrative.docx

Community Recognizable Benefit Statement

The subject self storage facility is focused on serving the short and long-term storage needs of primary local area residents. During the past several decades, the maturing self storage industry has identified that between 75% and 80% of all storage customers are area residents coming from roughly a 10 to 15-minute drive-time. The national Self Storage Association's research has shown that self storage is being used by all economic segments of the community as shown on the chart below. Local businesses, professional office and commercial retail customers will also be served by this conveniently located facility within the community.



Page 18 - <u>Self Storage Demand Study – 2023 Edition</u> prepared for the national Self Storage Association by C & R Research

This fully sprinklered facility will have a number of unique features to enhance the customer experience. First it has been designed by local architects and engineers to provide customers with a fully enclosed one-way drive aisle inside the building. The community also directly benefits from this inside drive-aisle since all business activity of customers will be total invisible to anyone driving by the facility during the day or at night.

Unlike many of the older existing self storage facilities limited to exterior drive-up units, customers at this location will be totally out of all weather elements, rain, snow, cold or hot weather will not interfere with the customer's convenient use of their

storage space. With the upper floors being serviced by several heavy-duty elevators, with the availability of free moving charts, all units within the building will be a convenient distance from where customers unload. With the exception of the few exterior drive-up units at the side of the structure, all of the interior units will be heated and cooled to provide a positive environment for whatever is being stored.

The state-of-the-art facility will feature multi-layer security to benefit the customers and the things that they will be storing in their spaces. The first step is that all customers will be required to present a government issued photo id at the time that they are signing their Rental Agreement. This Rental Agreement, prepared by one of the leading self storage attorney's in the nation, is in full compliance with the specific standards set forth in Michigan's Self Storage legislation. Due to the drive-in aspects of the business, only customers in good standing with their individual designated security code will be permitted access into the building at any time.

The final additional layer of security being provided to customers is that a digital surveillance system will monitor customer activity. The storage industry has recognized that when customers realize that their actions are being digitally recorded it results in a secure feeling for all customers.

As an additional community benefit, storage customers can have FedEx / UPS/ Postal Service or other delivers sent to their storage unit instead of having valuable items sitting unsecured on their porch or in the hallway of their apartment. The ability to have someone receive packages is being used by home-based business people across the country to eliminate truck deliveries into their neighborhood.

The subject property will be professionally managed and will take advantage of a variety of new software features that will allow, for example, customers to rent a storage unit online in addition to paying their monthly rent. The storage office will also feature a full line of moving and storage products available to purchase.

All of these features will not only benefit the storage facility's customer but will have a positive community benefit. The storage facility will have very minimal impact on area infrastructure with limited utility usage and almost insignificant traffic generation and no impact on area school, while at the same time generating additional property tax revenue for the community.



Introduction

The Brigham Young University (BYU) Institute of Transportation Engineers (ITE) student chapter recently completed the 2011 Data Collection Project as proposed to the ITE Western District. The data for this project were collected at a local mini-warehouse facility, which corresponds to Land Use Code 151. This project was a great learning experience for our student chapter; the funds we receive will help student chapter members attend the Western District ITE meeting in Anchorage, Alaska.

Ryan Hales, P.E., PTOE, AICP, of Hales Engineering, provided mentoring support and project review for this data collection effort. Craig Wagner, from Econolite, provided our student members with training on the use of our traffic data collection trailer on January 19 and February 23, 2011 (see Figure 1). Dr. Mitsuru Saito Ph.D., P.E. and Dr. Grant Schultz Ph.D., P.E., PTOE, both of BYU, have provided invaluable help and support and data collection equipment for the project.



Figure 1: Data Collection training with Craig Wagner.

1

Site Information

Data were collected on three different days at the mini-warehouse facility, shown in Figure 2. The facility is Hillside Storage, located at 2067 Ironton Blvd. in Provo, UT. The approximate square footage of the office building, number of employees, number of parking stalls, number of units, percent of units occupied, net rentable area, gross floor area, and total property area can be seen in Table 1. There are two parking areas at the site, one of which includes the entrance to the area that contains the storage units.

Characteristic	Value
Number of Employees	4 (2 FT, 2 PT)
Number of Units	420
Occupied Units	60%
Net Rentable Area	56,476 ft ²
Office Floor Space	$1,700 \text{ ft}^2$
Gross Floor Area	58,098 ft ²
Property Area	3.44 acres
Number of Parking Stalls	6 (1 handicap)

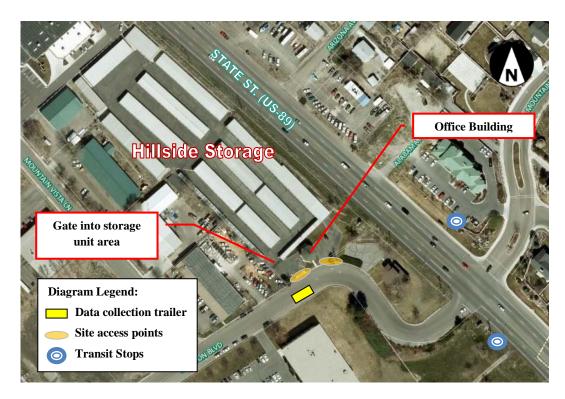


Figure 2: Site layout.

2

Methodology

Data were collected on Saturday, February 26, 2011; Sunday, February 27, 2011; and Tuesday, March 1, 2011. As stated in the proposal, trip generation was counted between the hours of 7am and 7pm on each day. The BYU Traffic Data Collection Trailer, shown in Figure 3, was used to collect data at the site.

The trailer is equipped with two video cameras that recorded each entrance to the site during the specified hours. These videos were then used to manually count vehicles entering and exiting the site through each access. The counts for the two driveways were totaled for each hour. The results of the trip generation are summarized in the attached Trip Generation Data Forms. Parking demand data were also collected every hour, on the hour, from 7am to 7pm. The parking data are attached in the Parking Demand Survey Forms.



Figure 3: BYU traffic data collection trailer at the site.

Results

The trip data for the morning peak period, the afternoon peak period, and the peak hour of generator are shown in Table 2, Table 3, and Table 4, respectively. Data about vehicle occupancy was not collected during this study. Furthermore, no pedestrian, bicycle, or transit trips were observed during the study. The trip rates shown are rates per occupied unit and per 1000 square feet of gross floor area (GFA). Table 5 shows a summary of trips counted for each day of the study.

3

Variable	Saturday 2/26/11	Sunday 2/27/11	Tuesday 3/1/11
Peak Hour	8:00-9:00 AM	8:00-9:00 AM	8:00-9:00 AM
All Vehicles	1	1	0
Trucks	0	0	0
Total Trips	1	1	0
Trip Rate (Occ. Units)	0.004	0.004	0.00
Trip Rate (GFA)	0.017	0.017	0.00
% Entering	100.0%	0.0%	0.0%
% Exiting	0.0%	100.0%	0.0%

Table 2: Morning Peak Period Trip Data for the Mini-Warehouse

 Table 3: Afternoon Peak Period Trip Data for the Mini-Warehouse

Variable	Saturday 2/26/11	Sunday 2/27/11	Tuesday 3/1/11
Peak Hour	5:00-6:00 PM	5:00-6:00 PM	5:00-6:00 PM
All Vehicles	3	0	4
Trucks	0	0	2
Total Trips	3	0	4
Trip Rate (Occ. Units)	0.012	0.00	0.016
Trip Rate (GFA)	0.052	0.00	0.069
% Entering	66.7%	0.0%	50.0%
% Exiting	33.3%	0.0%	50.0%

Table 4: Peak Hour of Generator Trip Data for the Mini-Warehouse

Variable	Saturday 2/26/11	Sunday 2/27/11	Tuesday 3/1/11
Peak Hour	11:00-12:00 PM	9:00-10:00 AM	5:00-6:00 PM
All Vehicles	4	2	4
Trucks	0	0	2
Total Trips	4	2	4
Trip Rate (Occ. Units)	0.016	0.008	0.016
Trip Rate (GFA)	0.069	0.034	0.069
% Entering	50.0%	100.0%	50.0%
% Exiting	50.0%	0.0%	50.0%

Table 5. Summary of Daily Trip Data

Saturday (2/26/11)			Sunday (2/27/11)		Tues	day (3/1/1	1)	
Entering	Exiting	Total	Entering Exiting Total		Entering	Exiting	Total	
13	12	25	4	4	8	11	8	19

Trip rates generated from this study have been calculated and are shown in Table 6 alongside average trip rates from *ITE Trip Generation*, 7^{th} *Edition*. The actual number of trips for each analysis period is shown alongside the number of trips predicted from ITE trip rates in Table 7.

Independent	Analysis	Saturday 2/26/11		Sunday 2/27/11		Tuesday 3/1/11	
Variable	Period	Calculated	ITE	Calculated	ITE	Calculated	ITE
Occupied	Full Day	0.099	0.250	0.032	0.180	0.075	0.280
Occupied Units	Peak Hour of Generator	0.016	0.040	0.008	0.030	0.016	0.030
Gross Floor	Full Day	0.430	2.330	0.138	1.780	0.327	2.500
Area	Peak Hour of Generator	0.069	0.400	0.034	0.300	0.069	0.290

Table 6. Comparison of Calculated and ITE Trip Generation Rates

Table 7. Comparison of Actual and Predicted Trips

Independent	Analysis	Saturday 2/26/11		Sunday 2/27/11		Tuesday 3/1/11	
Variable	Period	Actual	Predicted	Actual	Predicted	Actual	Predicted
Occupied	Full Day	25	63	8	45	19	71
Occupied Units	Peak Hour of Generator	4	10	2	8	4	8
Gross Floor	Full Day	25	135	8	103	19	145
Area	Peak Hour of Generator	4	23	2	17	4	17

The trip rates calculated from this data collection study are substantially lower than the average trip rates provided by ITE. The difference between the trip rates is much larger when using gross floor area as the independent variable. This is due to gross floor area including both the space of the occupied units and unoccupied units. At the time of collection about 40% of the units were unoccupied. One reason the calculated rates are lower than the average rates provided by ITE may be that the storage units are usually used for long term storage rather than short term storage. Some of the storage units are being occupied by Brigham Young University for long term storage, which results in a lower number of trips being made for these units. Sunday trip rates may further be impacted by the demographics of the area as a large proportion of the nearby population believes that work and business activities should be avoided on Sunday. Finally, some of the difference in trip rates could be due to the timing of the study. Temperatures in Utah during February and March are often cool and accompanied by precipitation in the form of rain and snow. Cooler weather affects the behavior of mini-warehouse clients, resulting in less trips being made.

Figure 4, Figure 5, and Figure 6 show the hourly counts of vehicles entering and exiting the site, as well as the parking demand for the specified hour, for the Saturday, Sunday, and Tuesday dates, respectively.

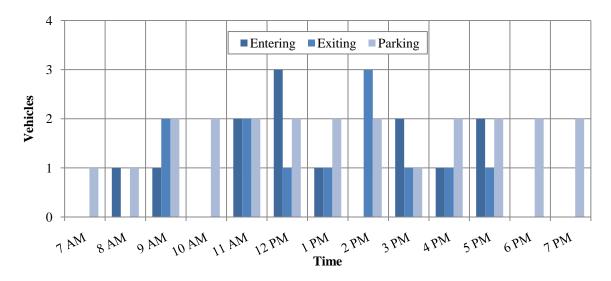


Figure 4: Counts for Saturday, February 26, 2011.

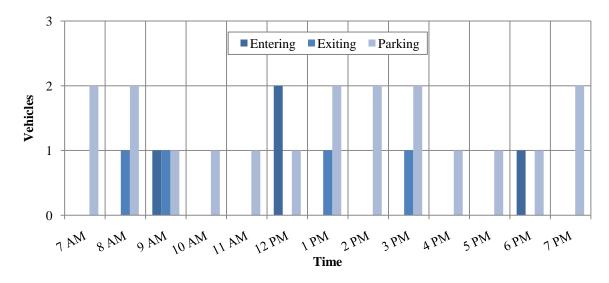


Figure 5: Counts for Sunday, February 27, 2011.

6

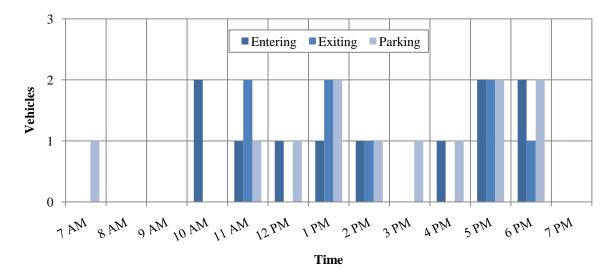


Figure 6: Counts for Tuesday, March 1, 2011.

Level of Effort

Many different BYU ITE student members were involved in this project. BYU ITE student chapter officers especially spent a lot of time organizing and carrying out the data collection efforts. A summary of hours spent on the project by student members is shown in Table 8.

Task	Number of Students	Hours per Student	Total Hours
Training	6	5	30
Data Collection	4	4	16
Data Reduction and Analysis	6	5	30
Writing and Revision	4	3	12
		Total:	88

	Table	8:	Level	of Effort
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7

ite Institute of Transportation Engineers

Trip Generation Data Form (Part 1)

Land Use/Building Type: Mini Warehouse (Storage facility)	ITE Land Use Code: 151
Source:	Source No. (ITE use only):
Name of Development: Hillside Storage	Day of the Week: Saturday, Sunday, Tuesday
City: Provide State/Province: (Italy Zip/Postal Code: 84606	Day: Month: February Year: 2011
Country: U.S.A.	Metropolitan Area: Provo, UT

1. For fast-food land use, please specify if hamburger- or nonhamburger-based.

Location Within A		CBD)	. ,		change Area (Rural)			Detailed Description of Development:3 Hillside Storage is a self storage
Independent Var	iable: (include data for as many as possible) ²	Actual	Estimated			Actual	Estimated	business located in
4	(1) Employees (#)	X		6	(9) Parking Spaces (% occupied:)	×		
	(2) Persons (#) rentaide				(10) Beds (% occupied:)			Provo, Utah. There
420	(3) Total Units (#) (indicate unit: Units)	X			_ (11) Seats (#)			are a variety of
252	(4) Occupied Units (#) (indicate unit: "entable units)				(12) Servicing Positions/Vehicle Fueling			units available for
	(5) Gross Floor Area (gross sq. ft.)				Positions			
	(% of development occupied)				(13) Shopping Center % Out-parcels/pads			rent and are open
56,476	(6) Net Rentable Area (sq. ft.)		X		(14) A.M. Peak Hour Volume of Adjacent Street Tr	affic 🗆		365 days each year.
,	(7) Gross Leasable Area (sq. ft.)				(15) P.M. Peak Hour Volume of Adjacent Street Tra	affic 🗆		The primary employees
	(% of development occupied)			1,700	(16) Other sq. ft. Total office Space		×	live on site.
3.44	(8) Total Acres (% developed:)		X		(17) Other			

2. Definitions for several independent variables can be found in the Trip Generation, Second Edition, User's Guide Glossary.

3. Please provide all pertinent information to describe the subject project, including the presence of bicycle/pedestrian facilities. To report bicycle/pedestrian volumes, please refer to Part 4 of this data form.

Other Data:				Transportation Demand Manag	ement (TDM) Information:	
Vehicle	e Occupancy ((#):		At the time of this study, was th	nere a TDM program (that may have impacted the	e trip generation characteristics of this site) underway?
A.M.	P.M.		_ 24-hour %	X No		
A.M.	ent by Transit: % P. ent by Carpool	M. %	_ 24-hour %		propriate box/boxes, describe the nature of the T ct. Attach additional sheets if necessary)	DM program(s) and provide a source for any studies that
A.M.	% P.	M. %	_ 24-hour %			
Employees by S	Shift:			□ (1) Transit Service	□ (5) Employer Support Measures	(9) Tolls and Congestion Pricing (4) Mark Work Hours (Compressed Work Work)
First Shift:	Start Time	End Time	Employees (#)	 (2) Carpool Programs (3) Vanpool Programs 	 (6) Preferential HOV Treatments (7) Transit and Ridesharing Incentives 	 (10) Variable Work Hours/Compressed Work Weeks (11) Telecommuting
Second Shift:	Start Time	End Time	Employees (#)	(4) Bicycle/Pedestrian Facilities and Site	 (8) Parking Supply and Pricing Management 	□ (12) Other
Third Shift:	Start Time	End Time	Employees (#)	Improvements	Management	
Parking Cost on	n Site:	Hourly	Daily			

Institute of Transportation Engineers Trip Generation Data Form (Part 2)

Summary of Driveway Volumes

(All = All Vehicles Counted, Including Trucks; Trucks = Heavy Duty Trucks and Buses)

	Average	Weekday	(M-F)				Saturda	y					Sunday					
	Enter		Exit		Total		Enter		Exit		Total		Enter		Exit		Total	
	A//	Trucks	All	Trucks	All	Trucks	All	Trucks	All	Trucks	All	Trucks	All	Trucks	All	Trucks	All	Trucks
24-Hour Volume	1]		8		19		13		12		25		4		4		8	
A.M. Peak Hour of Adjacent [,] Street Traffic (7 – 9)				4														
Time (ex.: 7:15 - 8:15):										And the second second	and the state			Sec. Sec.				1000
P.M. Peak Hour of Adjacent ¹ Street Traffic (4 – 6)																		
Time:																		
A.M. Peak Hour Generator ² Time: //:00 am -/2:00p	1		2		3													
P.M. Peak Hour Generator Time: 5-00-600 pm	2		2		4													
Peak Hour Generator ^a Time (Weekend): 12:60 -1							3		1		4		2		O		2	

^{1.} Highest hourly volume between 7 a.m. and 9 a.m. (4 p.m. and 6 p.m.). Please specify the peak hour.

² Highest hourly volume during the a.m. or p.m. period. Please specify the peak hour.

³ Highest hourly volume during the entire day. Please specify the peak hour.

Please refer to the Trip Generation User's Guide for full definition of terms.

Hourly Driveway Volumes- Average Weekday (M-F)

A.M. Period	Enter		Exit		Total		Mid-Day Period	Enter		Exit		Total		P.M. Period	Enter		Exit		Total	
	All	Trucks	All	Trucks	All	Trucks		All	Trucks	All	Trucks	All	Trucks		All	Trucks	All	Trucks	All	Trucks
6:00-7:00	0	<u>0</u>	0	CI	C	()	11:00-12:00	L	U	2	0	3	0	3:00-4:00	0	0	0	0	0	0
6:15-7:15	Ť		-0-	- V			11:15-12:15							3:15-4:15			0			
6:30-7:30							11:30-12:30							3:30-4:30						
6:45-7:45		1					11:45-12:45							3:45-4:45						
7:00-8:00	Δ	Ô	0	Δ	0	0	12:00-1:00	1	0	0	()	1	0	4:00-5:00	1	0	0	C		\mathcal{O}
7:15-8:15	V	1 ×	~	10	~		12:15-1:15				- V	<u>``</u>		4:15-5:15						
7:30-8:30							12:30-1:30							4:30-5:30						
7:45-8:45							12:45-1:45							4:45-5:45						
8:00-9:00	Ω	0	2	Ω	0	()	1:00-2:00	1	0	2	0	3	0	5:00-6:00	2	1	2	1	4	2

Check if Part 3, 4 and/or additional information is attached.

Survey conducted by:	Name:	Steven	Dudley				Please return to:	Institute of Transportation Engineers
	Organization:	Brighan	n Young Un	iversity ITE	Student	Chapter		Technical Projects Division 1627 Eye Street, NW, Suite 600
	Address:	368 Chyd						Washington, DC 20006 USA
	City/State/Zip:	Provo	UT 846					Telephone: +1 202-785-0060
	Telephone #:	801-422-	- 2811	Fax #: 801-422	-0159	E-mail: byuite@gmail.con	า	Fax: +1 202-785-0609
								ITE on the Web: www.ite.org

		2=	Parking D	emand S	urvey Fo	rm	
		6	Institute of 7		-		
	- •		(fill in all highligh		•		
					, ,		
			Land Use Cod	e*	151		
			Name of Site	Hillside Storag	е		
			Brief Descript	ion of Site			
Transit*	Yes		Mini-warehouse	e site in south p	art of Provo I	UT	
Area*	SUB		City	Provo			
TMP*	NO		State	UT	Country	USA	
Parking Pr	rice*	\$-	Daily Rate	\$	Hourly Rate		
Site Size*	420		Storage units	Occupancy*	60%	Land	Use
Site Size	4		Employees	Occupancy			
Site Size	56,476		Net rentable ar	Occupancy			
Site Size	10,700		Office floor are				
Site Size	58,098		Gross floor are				
Site Size	3	Units	Acres	Occupancy			
			.				
Number of	Parking Spaces	Provided at	Site	6			
Highost O	bserved Parking I	Domand for	the following h	ours of the da	v (hour hoai	nning)*	
-	-		-		iy (nour begi	nning)	
Date	2/26/2011	2/27/2011	3/1/2011				
Day	Saturday	Sunday	Tuesday				
12 Mid							
1:00 AM							
2:00 AM							
3:00 AM							
4:00 AM							
5:00 AM							
6:00 AM							
7:00 AM	1	2	1				
8:00 AM	1	2	0				
9:00 AM	2	1	0				
10:00 AM	2	1	0				
11:00 AM	2	1	1				
12 Noon	2	1	1				
1:00 PM	2	2	2				
2:00 PM	2	2	1				
3:00 PM	1	2	1				
4:00 PM	2	1	1				
5:00 PM	2	1	2				
6:00 PM	2	1	2				
7:00 PM	2	2	0				
8:00 PM							
9:00 PM							
10:00 PM							
11:00 PM							
Person	Stoven Dudlov		1	Organization	BVILITE		
Person Phone	Steven Dudley 801-636-8821			organization	DIUIE		
Fax	001-030-0021						
Fax Email							
Notes	Includes only vehic	les parked a	t the office park	ing lot not the	e narked at t	he storage up	ite
							ແວ.
	the web at www.ite.org				Comments to: it	e_statf@ite.org	
	l on web site, please ma				000		
Institute of Tra	ansportation Engineers,	1627 Eye Stree	t, NVV Suite 600; V	ashington, DC 20	006		

Chiswell and Associates, LLC

7405 Brentford Terrace Fredericksburg, VA 22407 434-825-4204 www.selfstorageconsulting.com Chiswell@earthlink.net

December 1, 2023

Mr. Joe Qonja Old 23 Lot, LLC 10087 Highland Road Hartland, MI 48353

Mr. Qonja:

Thank you for the opportunity to provide you with my thoughts on the anticipated traffic for your proposed self storage facility in Hartland. Over my forty years of working within the self storage industry, the issue of traffic generation has always been a concern for municipal planners and community officials.

My decades of self storage industry experience have shown me that a self storage business is one of the lowest generators of customer traffic of all real estate uses. Many municipalities will look to the Institute of Transportation Engineers (ITE) Publication Trip Generation (currently the 11th Edition) for Land Use Code (LUC) 151 – Mini Warehouses. I have reviewed a number of industry related reports and studies using the ITE data over the years. I have included several of those as references for your consideration.

In a study for a 125,500 gross square foot facility in Livingston Township, New Jersey (smaller than your proposed project) the calculations prepared by their consulting firm, Dynamic Traffic, revealed the following:

Traffic Generation									
Projections of future traffic vol Transportation Engineers (ITE) – Mini-Warehouse. Table I su building utilizing the ITE data of	publica ımmariz	tion <i>Trip</i> es the p ne critica	<i>Generati</i> rojected	<i>ion, 10th 1</i> trips ge creet hou	E <i>dition</i> for merated	or Land U by the p	Jse Cod	e (LUC)	151
LandIlas	1	AM PSH	I]	PM PSH	I	5	SAT PSI	I
Land Use	Land UseAM PSHPM PSHSAT PSHInOutTotalInOutTotal					Total			
125,550 SF Self-Storage Building	8	5	13	10	11	21	23	16	39

In a different report, prepared by Doland & Dean Consulting Engineers for another large project in the Township of Franklin, New Jersey, their Report stated:

Within the most recent edition of the <u>Trip Generation Manual</u> are traffic generation rates specifically for "Mini Warehouse" which are defined as self-storage facilities. Daily and peak hour trip generation estimates were developed utilizing the proposed total building area. Shown on Table I is the projected trip generation for the proposed self-storage facility as developed using ITE rates.

Pro	Tabl Estimated Trif Oposed 120,750 SF S		
Time Period	Enter	Exit	Total
Morning Peak Hour	7	5	12
Evening Peak Hour	10	11	21
24-Hour Weekday	91	91	182
Saturday Peak Hour	22	15	37
24-Hour Saturday	117	118	235

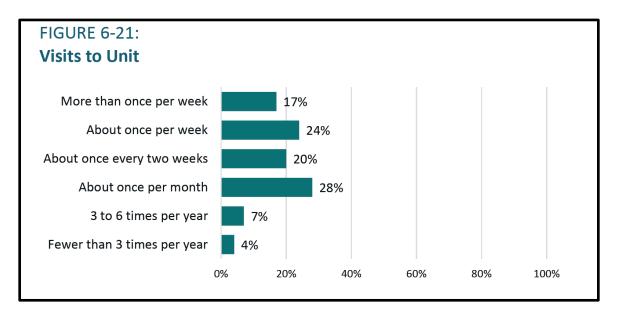
I've attached the complete report (several years old) from a The Brigham Young University (BYU) Institute of Transportation Engineers (ITE) student chapter. I found this 2011 Report interesting because the BYU student team compared actual data from an operating self storage facility compared to the ITE Handbook methodology.

You will see in their Report their following conclusion:

The trip rates calculated from this data collection study are substantially lower than the average trip rates provided by ITE. The difference between the trip rates is much larger when using gross floor area as the independent variable. This is due to gross floor area including both the space of the occupied units and unoccupied units. At the time of collection about 40% of the units were unoccupied. One reason the calculated rates are lower than the average rates provided by ITE may be that the storage units are usually used for long term storage rather than short term storage. Some of the storage units are being occupied by Brigham Young University for long term storage, which results in a lower number of trips being made for these units. Sunday trip rates may further be impacted by the demographics of the area as a large proportion of the nearby population believes that work and business activities should be avoided on Sunday. Finally, some of the difference in trip rates could be due to the timing of the study. Temperatures in Utah during February and March are often cool and accompanied by precipitation in the form of rain and snow. Cooler weather affects the behavior of mini-warehouse clients, resulting in less trips being made.

Independent	Analysis	Satur 2/26	· · · · ·		nday 27/11		iesday /1/11
Variable	Period	Calculate	d ITE	Calcula	ted ITE	Calcula	ted ITE
Occurried	Full Day	0.099	0.250	0.032	2 0.180	0.07	5 0.280
Occupied Units	Peak Hour of Generator	0.016	0.040	0.008	0.030	0.01	6 0.030
Cross Elses	Full Day	0.430	2.330	0.138	3 1.780	0.32	7 2.500
Gross Floor Area	Peak Hour of Generator	0.069	0.400	0.034	0.300	0.069	9 0.290
	P	7. Comparison	of Actual an	d Predicted	Trips	1	
Independent	Table	Satur	day	Su	nday		iesday /1/11
Independent Variable	P	Satur 2/26/	day	Su 2/2			esday /1/11 Predicted
Variable	Table Analysis	Satur 2/26/	day /11	Su 2/2	nday 27/11	3	/1/11
-	Table Analysis Period	Satur 2/26/ Actual P	day /11 redicted	Su 2/2 Actual	nday 27/11 Predicted	3 Actual	/1/11 Predicted
Variable Occupied	Table Analysis Period Full Day Peak Hour of	Satur 2/26/ Actual P 25	day /11 redicted 63	Su 2/2 Actual 8	nday 27/11 Predicted 45	3 Actual 19	/1/11 Predicted 71

The ITE data shows that self storage usage is one of the lowest traffic generators among real estate property types. I think it is also helpful to look at the patterns of use by self storage customers. The national Self Storage Association commissioned over multi-years a Self Storage Demand study and report. The most recent Report, released in 2023 using 2022 customer data, showed the following usage patterns:



As you study the usage patterns, it becomes clear just how few customers with storage units at your proposed facility will be visiting their storage units on a regular basis. My own personal research over the past 40 years, using client data from existing facilities, indicates average facility visits of 7 customers per 100 rented units. So, a facility with say 400 rental units and 90% occupancy (360 units) would be expected to generate 25.2 trips over a full day. This independent research produces a smaller result than the ITE calculations similar to the BYU Study. The bottom line to me, that I wanted to share with you, is that there is no denying the benign nature of customer traffic to and from a self storage facility.

Please let me know if you have any questions.

HARTLAND SELF STORAGE – SUMMARY OF OPERATIONS 01.26.24

Summary of the hours of operation, number of employees, and restrictions on what can be stored regarding hazardous materials.

Hartland Self Storage - Hours of Operation

I would anticipate that you will follow the operations of other facilities within the general market area. Office Mon-Friday 8 - 9 am to 5 - 6 pm Saturday 9 am to 3 - 4 pm. Sunday – Closed.

Access hours for Established Customers 6 am to 10 pm

Here are a few examples of nearby storage facilities with data directly from their websites on their hours of operations:

National Storage 700 Old US 23 in Brighton

Office Hours	Access Hours	Office Hours	Access Hours
Mon	9:00am - 5:30pm	Mon	24 Hours
Tue	Closed	Tue	24 Hours
Wed	9:00am - 5:30pm	Wed	24 Hours
Thu	9:00am - 5:30pm	Thu	24 Hours
Fri	9:00am - 5:30pm	Fri	24 Hours
Sat	9:00am - 5:30pm	Sat	24 Hours
Sun	Closed	Sun	24 Hours

AmeriGuard Storage Centers 8085 Old US 23 in Fenton

Fenton:

 $M-F \rightarrow 10:00am - 5:00pm$ Sat: $\rightarrow 10:00am - 2:00pm$

Sun: \rightarrow CLOSED

The AmeriGuard ACCESS hours:

The AmeriGuard gate can be accessed using your personalized electronic pin from **6:00am to 10:00pm** if you have an active rental with us.

<u>CubeSmart Self Storage</u> 9986 E. Grand River Avenue in Brighton

Office Hours

Monday–Friday: 9:30 AM–6:00 PM Saturday: 8:30 AM–5:00 PM Sunday: Closed

Access Hours

Daily: 6:00 AM-10:00 PM

Number of Employees

I would expect a total of three full and part-time employees. No more than two people on site at any time.

Storage of Hazardous Materials

All customers will be required to sign a written Occupancy Agreement that will be in total compliance with Michigan's Self-Service Storage Facility Act 148 of 1985. This Agreement will include various restricted activities including the storage of any Hazardous Materials. All customers will be required to provide a Government Issued Photo ID to be able to rent a space. This restriction in many cases will eliminate anyone trying to get around the rules of the facility.

In addition, it is important for community leaders to understand that only customers in good standing are permitted access to the building with the anticipated access security systems that will be used. There will also be a variety of digital video cameras that we provided recorded surveillance throughout the facility on all levels. The video surveillance system is a further deterrent to any customer violating the rules of the facility's operations.

Troy Langer

From: Sent: To: Subject: Troy Langer Wednesday, December 06, 2023 8:25 AM Troy Langer Self-storage facility

Hi Martha,

We've also looked it over and have no issues with the proposed use of the site or with traffic. Our only issue is with the poor condition of the driveway approach at Old US-23, which has deteriorated considerably in the last 5 to 10 years. If there is any way for the developer(s) to repair the driveway approach at Old US-23, that would be great.

Regards,

Mike Goryl Traffic and Safety Engineer Livingston County Road Commission 3535 Grand Oaks Drive Howell, MI 48843 517-546-4250 (office) 517-518-3019 (direct) 517-881-5012 (cell)

Troy Langer

From: Sent: To: Subject: Troy Langer Wednesday, December 06, 2023 8:23 AM Troy Langer Self-storage facility

Hello Martha,

Thank you for sharing with MDOT. In a perfect world, the driveway access on M-59 would already be a right in right out. But since it is existing driveway and the storage facility isn't adding much additional traffic, MDOT is fine with what is being proposed.

Thank you

Craig Heidelberg, P.E. MDOT Brighton TSC Operations Engineer 810-623-8341 C



Hartland Township Agreement for Private Driveway Easement Rights and Responsibilities

The undersigned, being all of the owners of that real estate described in Exhibit A, attached hereafter and incorporated by reference, which abuts a private driveway easement, situated in the Township of Hartland, Livingston County, Michigan and which is more fully described in Exhibit B, attached hereafter and incorporated by reference, hereby acknowledge that this private driveway is not the responsibility of the Township of Hartland or the Livingston County Road Commission, and is not paid for with public funds; therefore, the undersigned hereby enter into the following agreement for maintenance and repair of the private driveway casement.

Section 1: TERMS

This agreement shall be effective for the life of the private driveway casement or as provided by law. This agreement shall be a covenant running with all the lands described in Exhibit A, and shall irrevocably bind the land and their heirs, assigns, or personal representatives of the undersigned with respect to all of this agreement's terms and obligations.

Section 2: INTENT

It is the intent of this agreement to provide an effective and convenient mechanism for the afore described real estate owners to maintain a private driveway easement in a reasonably safe condition suitable for safe and efficient travel by the undersigned, their guests, government agencies, emergency service providers and public utilities. It is the intent of this agreement to maintain the private driveway easement in a reasonably suitable condition for travel. The undersigned agree that the private driveway shall, from time to time, require maintenance that could include grading, paving, restoration of the gravel base, restoration of the crown, cleaning and replacement of drainage improvements, and removal of snow and other hazards in order to safely travel on the driveway.

Section 3: GOVERMENTAL CONDITIONS

This agreement shall be in addition to any and all governmental restrictions or requirements that may be applicable to the maintenance and repair of the private driveway.

Section 4: EASEMENT DECLARATION

The parties hereto hereby grant, transfer, establish, and declare a non-exclusive perpetual private driveway easement for ingress, egress, improved or unimproved, and for the location of public and private utilities, over and across and for the benefit of the parcels described in Exhibit B, attached hereto and made a part hereof.

Section 5: VOTING

- Each parcel of property covered by this agreement which has a separate tax identification number, assigned by the Assessor of the Township of Hartland, Livingston County, Michigan, shall have one vote for any voting purposes pursuant to this agreement. The vote for each parcel may be exercised by any owner of that property with preference given to the owner in possession. In the event of any dispute as to whom should properly exercise the vote for a parcel, the parcel shall have no vote until the contesting parties unanimously agree as to whom shall properly exercise the vote for the parcel. Voting for a parcel may be done by written proxy duly witnessed and notarized and dated no sconer than thirty (30) days before the date of when voting will place. At least two-thirds (2/3) of those parcels eligible to vote shall be needed to vote in any action to be taken.
- 2. In the event of a tie vote or other outcome so that a decision by the owners cannot be determined, the voting owners shall request the Township to make a determination regarding required maintenance. The township decision shall be final and shall bind the parcel owners to proceed with maintenance as though the decision was made by the parcel owners. Further, any costs associated with the Township's decision shall be shared among the parcel owners.

Section 6: MAINTENANCE

In order to maintain the driveway casement in a safe condition suitable for safe and efficient travel by the undersigned, their guests, governmental agencies, emergency service providers and public utilities, each parcel owner is responsible for maintaining and improving the casement. It shall also be the responsibility of each parcel owner to ensure that regular maintenance and improvements to the private road casement's intersection with a public or private road is maintained in a safe condition. Performance under the terms of this agreement shall be at the sole discretion of Kalabat Investments, Inc.

- Each eligible vote for each parcel, as provided in Section 5, shall share equally in the cost of maintainin 2. the private road easement. The share of the cost shall be based upon the total number of parcels of property, each parcel being one vote and subject to the conditions and definitions established herein. 3.
- Prior to any costs incurred for normal maintenance or major improvements of the driveway, the owners shall agree to such normal maintenance being performed and the cost thereof. Any costs incurred for maintenance or other improvements of the private driveway casement as 4
- described herein shall be a burden upon the land with a lien therefore against any parcel for which the costs of maintenance or improvements have not been paid by the owner of such parcel. Any such lien shall be attached upon the filing and recording of an affidavit by the owners of the remaining parcels which are subject to and liable for such costs. The affidavit shall set forth the description of the parcel or property against which the lien is claimed, what the expenditure is for, the total amount of the expenditure, the portion attributable to such parcel or property, and the date or dates of expenditures. A copy of the affidavit shall be sent to the owner or owners of the parcel against which the lies is claimed by regular mail, with postage prepaid, at the last know address of the owner.
- The owner of each parcel shall be separately responsible to repair and for the costs thereof, of any 5. damage caused to the driveway due to extraordinary use by the parcel owner or agent of the parcel owner. Extraordinary use shall include, but is not limited to: movement of construction equipment, moving vans, commercial trucks, or other heavy loads; movement of recreational vehicles, or increased usage not ordinarily consistent with normal traffic. The owner of the parcel or parcels, whether improved or unimproved, shall not be responsible for repair costs until such time as the private driveway is used by them or construction has commenced on their parcel.

In the event that any owner or their agents, employees or guests cause the type of damage described herein shall fail to make the necessary repairs within ninety (90) days, the remaining parcel owners may do so after notice to the owner, and any costs so expended shall be a burden upon the land of such owner with a lien enforceable as set forth herein.

Section 7: ACCESS

Any parcel abutting and responsible for the shared driveway shall only access the parcel from the shared driveway.

SUBDIVISION

The private driveway casement described in Exhibit A may be used to serve additional parcels within the exterior boundary of all parcels combined in Exhibit A, but only with the consent of three-fourths (3/4) of the owners of all property described in Exhibit A. If any parcels are subdivided, all repair and maintenance charges that would have been levied in respect to the parcels shall be reallocated among all property abutting the shared driveway casement so that each existing and new parcels shall share equally in the cost of repair and maintenance. Any costs or so that each existing and new parcels shall anno equally in the cure of repair and all other costs resulting copenses relating to the improvement or upgrading of the private driveway easement and all other costs resulting from the subdivision shall be borne by the owner of the parcel or parcels being subdivided. It shall be the responsibility of the parcel owner to notify Hartland Township officials, the Livingston County Road Commission, and all other agencies that may have specific requirements or review authority over the proposed subdivision in order to determine the appropriate procedures for subdivision of a parcel.

EXTENSION OF PRIVATE DRIVEWAY EASEMENT Section 9:

The private driveway easement described in Exhibit A may be extended to serve additional parcels outside the exterior boundary of all parcels in Exhibit A, but only with the consent of three-fourths (3/4) of the owners of all exterior countary of an parcels in Exhibit A. Any parcels that will abut the private driveway or extension of the private driveway or extension of the private driveway shall be responsible for the maintenance of the driveway casement. All repair and maintenance charges that would have been levied in respect to the parcels shall be reallocated among all property abutting the private driveway easement so that each parcel shares equally in the costs of repair and maintenance. Any such extensions shall only be created with the approval of Hartland Township and all other governmental authorities exercising

control or review authority for the land and drainage facilities associated with the extension of the private driveway AMENDMENT

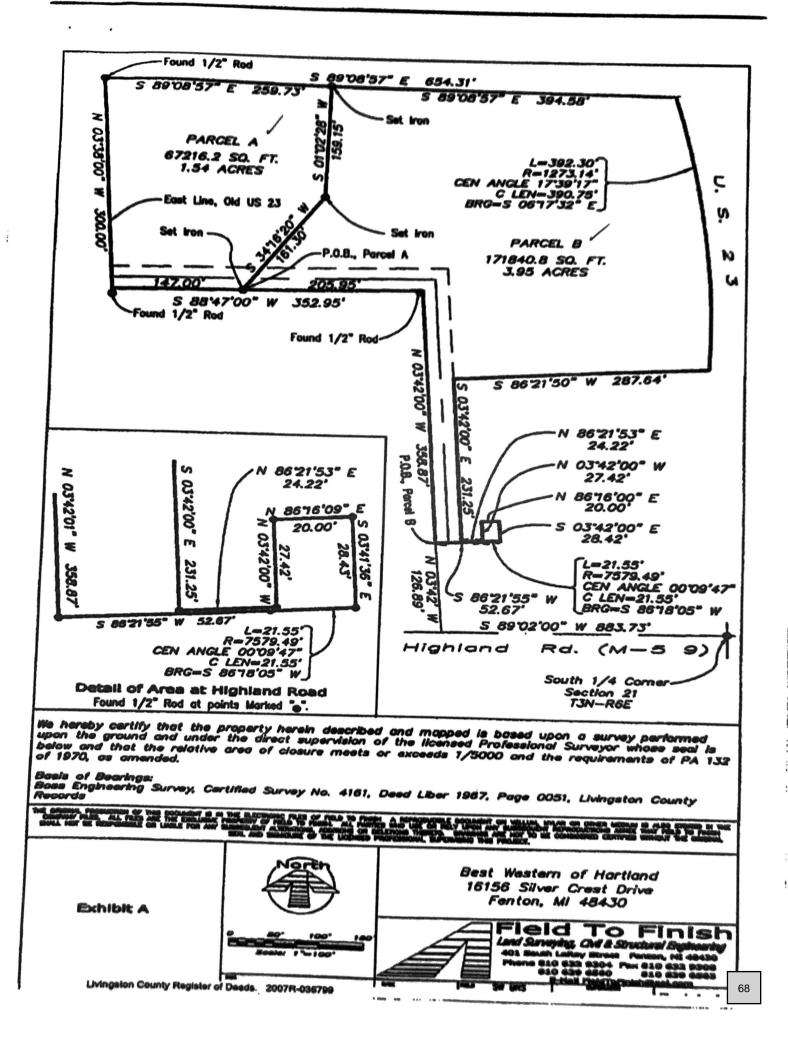
The provisions of this agreement may be amended, but only with three-fourths (3/4) of the owners of all property

FILING WITH TOWNSHIP

A copy of the executed and recorded agreement shall be filed with the Office of the Township Clerk.

Section 12:

If any part of this agreement is determined to be invalid for any reason, then it shall not affect the remaining IN WITNESS THEREOF, the parties hereto have set their hands and scals on the day and year as set forth in their respective acknowledgements. And this agreement, covenant and restrictions shall be binding upon the



Part of the East 1/2 of the Southwest 1/4 of Section 21, TJN-R6E, Hartland Township. Livingston County, Michigan described as follows: Commencing at the South 1/4 corner of said Section 21; thence S 89'02'00" W, 883.73 feet; thence N 03'42'00" W, 485.76 feet; thence S 88'47'00" W 205.95 feet to the point of beginning; thence continuing S 88'47'00" W 147.00 feet to the Easterly right of way of Old US 23; thence N 03"38'00" W along sold Easterly right of way, 300.00 feet; thence S 89"08'57" E, 259.73 feet; thence S 01"02"28" W 159.15 feet; thence S 34*16*20" W 161.31 feet to the point of beginning. The area described contains 1.54 acres and is together with and subject to a 30' wide easement for ingress, egress and public utilities, being part of the East 1/2 of the Southwest 1/4 of Section 21, T3N~R6E, Township of Hartland, Livingston County, Michigan, the centerline of which is described as follows; Commencing at the South 1/4 corner of said Section 21; thence S 89°02'00" W, 883.73 feat; thence N 0742'00" W. 883.73 feet; thence N 03"42'00" W, 126.89 feet; thence N 86"21'55" E 15.00 feet to the point of beginning of the centerline of the 30 foot wide easement; thence along the centerline of said 30' ecsement, N 03'42'00" W 373.87 feet; thence S 88'47'00" W, 367.95 feet to the Easterly right of way line of Old US 23 and the point of ending. Also subject to any ecsements, restrictions or rights of way which may or may not be of public record.

PARCEL B

Part of the East 1/2 of the Southwest 1/4 of Section 21, T3N-R6E, Hartland Township, Livingston County, Michigan described as follows: Commencing at the South 1/4 corner of said Section 21; thence S 89'02'00" W, 883.73 feet; thence N 03'42'00" W, 126.89 feet to the point of beginning; thence continuing N 03'42'00" W 358.87 feet; thence S 88'47'00" W 205.95 feet; thence N 34'16'20" E 161.30 feet; thence N 01'02'28" E 159.15 feet; thence S 205.85 reet; thence N 341620 E 151.30 reet; thence N 01 0225 E 155.15 reet; thence S 89'06'57" E, 394.58 feet to the Westerly right of way line of US 23 expressway; thence Southeasterly along said Westerly right of way 392.30 feet on an arc right having a central angle of 17'39'17", radius of 1273.14 feet and a long chord which bears S 06'17'32" E, 390.75 feet; thence S 86'21'50" W, 287.64 feet; thence S 03'42'00" E, 231.25 feet; thence N 86'21'53" E 24.22 feet; thence N 03'42'00" W 27.42 feet; thence N 86'16'00" E 20.00 feet; thence S 03'42'00" E, 28.42 feet to the Northerly right of way line of M-59; thence along the arc of a curve right 21.55 feet, said curve has a central angle of 00'09'47", a radius of 7579.49 feet and a long chord which bears S 86'18'05" W 21.55 feet; thence S 86'21'55" W along said Northerly right of way, 52.67 feet to the point of beginning. The area described contains 3.95 acres and is together with and subject to a 30' wide easement for ingress, egress and public utilities, being part of the East 1/2 of the Southwest 1/4 of Section 21, T3N-R6E, Township of Hartland, Livingston County, Michigan, the centerline of which is described as follows; Commencing at the South 1/4 corner of said Section 21; thence S 89°02'00" W, 883.73 feet; thence N 03'42'00" W, 126.89 feet; thence N 86°21'55" E 15.00 feet to the point of beginning of the centerline of the 30 foot wide easement; thence along the centerline of said 30' easement, N 03'42'00" W 373.87 feet; thence S 88'47'00" W. 367.95 feet to the Easterly right of way line of Old US 23 and the point of ending Also subject to any easements, restrictions or rights of way which may or may not be of public record.

AND THE REAL PROPERTY OF LODIE AND AND	
Exhibit B	Plat of Survey Best Western of Hartland 16156 Silver Crest Drive Fenton, MI 48430
Livingaton County Register of	Field To Finish

SIGNATURES AND ADDRESSES OF PROPERTY OWNERS
Keleber January In Schain Calles
Relater Incomments, Inc.
- IEbo Rockdele Court
WITNESSES:
STATE OF MICHIGAN COUNTY OF LIVINGSTON
On this <u>1</u> , day of <u>November</u> , 20 <u>07</u> , before me, a notary public, personally came the above named property owners known to be the persons who executed the foregoing agreement and acknowledge the same to be their free act and deed. Zokaw Kellaber Pres. Kellaber invision with inc.
Kist peur
Notary Public Klenesee County, State of Michigan
Drafted by: Field To Finish 401 S. LeRoy Street Fenton, MI 48430
When recorded, please send to Best Western of Hartland, 10087 M-59, Hartland, MI 48353

KRISTIN PLEW Notary Public, Stete of Michigan County C. Ganesse My Commission Exc. 28 Sep. 14, 2011 Acting in the County C. Lindon S. Charm

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Livingsion County Register of Deads. 2007R-036799

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PROPOSED HARTLAND STORAGE HARTLAND, MI



EAST ELEVATION CONCEPTUAL RENDERING



WEST ELEVATION CONCEPTUAL RENDERING

OWNER / DEVELOPER

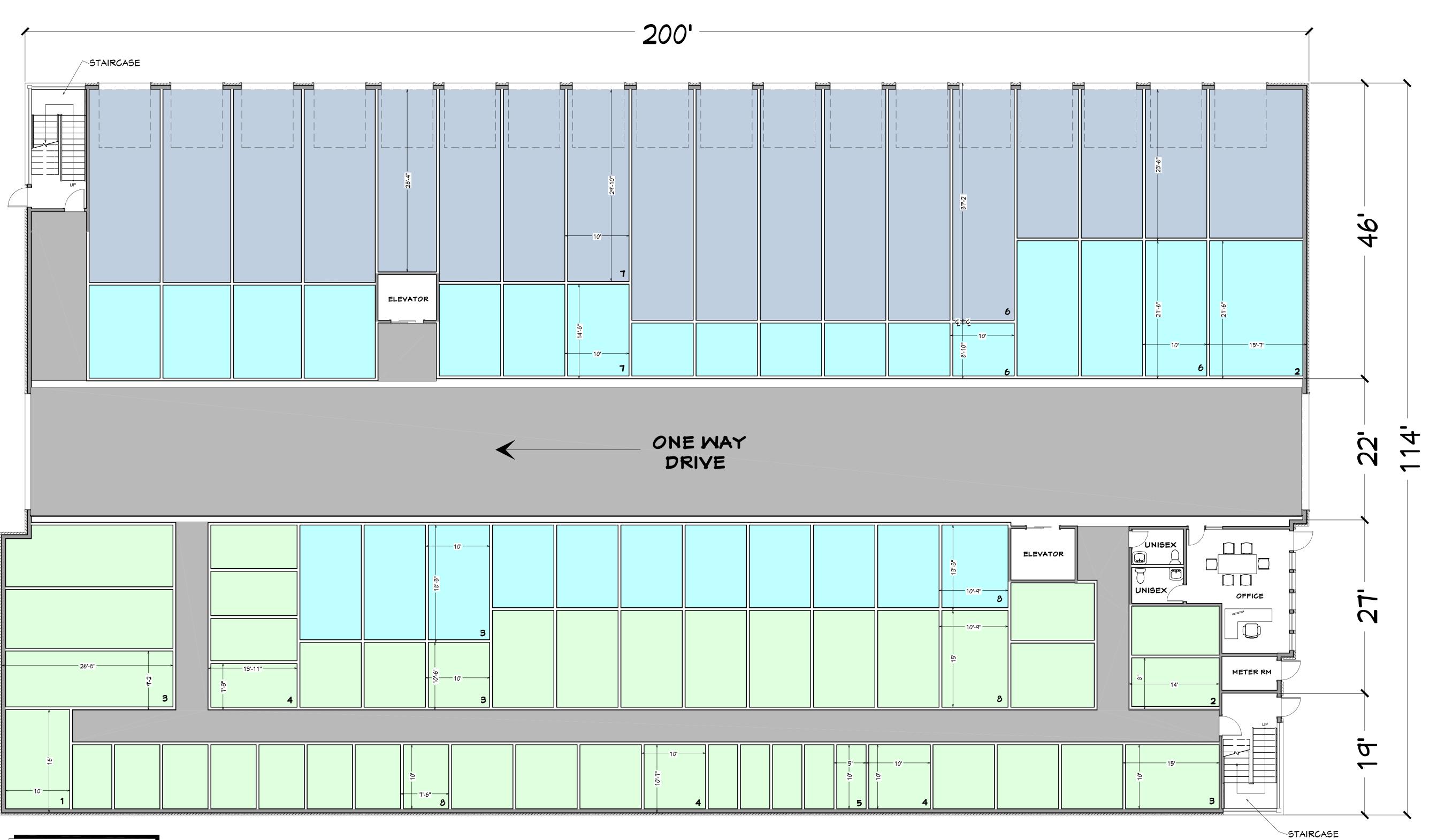
V/L HIGHLAND ROAD 10087 HIGHLAND ROAD HARTLAND, MI 48353 PHONE: 248-712-3300 FAX: N/A JOE@ONQCRE.COM

ARCHITECT

RON JONA PHONE: 248-357-3600 FAX: N/A RJONA@RONJONA.COM

SURVEYOR

FENTON LAND SURVEYING & ENGINEERING, INC. 14165 FENTON ROAD SUITE 101A **FENTON, MI 48430** PHONE: 810-354-8115 FAX: N/A INFO@FENTONLSE.COM



NOTE: ALL HVAC UNITS LOCATED IN INTERIOR OF BUILDING

>					10'-9" 8	ELEVATOR
З				-	10'-9"	
3					8 1 <u>5</u>	

	10'		- 10' - u	01 01		
	4		5	4		

FIRST FLOOR PLAN SCALE: 3/32"=1'-0"

RON JONA COLLABORATIVE 1066 COMMERCE STREET BIRMINGHAM MI. 48009 248.789.2001

OWNER/DEVELOPER

V/L HIGHLAND RD. 10087 HIGHLAND RD. HARTLAND MI, 48353 PHONE: 248.712.3300 JOE@ONQCRE.COM

ARCHITECT

ron Jona PHONE: 248.357.3600 RJONA@RONJONA.COM

SURVEYOR

FENTON LAND SURVEYING & ENGINEERING 14165 FENTON ROAD SUITE 101A FENTON, MI 48430 PHONE: 810.354.8115 INFO@FENTONLSE.COM

PROJECT

HARTLAND STORAGE

SHEET TITLE

FLOOR PLANS

TOTAL BUILDING 68,400 SF

TOTAL RENTABLE 50,750 SF

DATE ISSUED

8.01.2023

REVISIONS

8.22.2023

10.10.2023

12.27.2023 (ELEVATIONS)

01.22.2024 (PROJECT INFO)

02.05.2024 (revisions)

02.13.2024 (REVISIONS)

03.07.2024 (revisions)

SHEET NUMBER



TOTAL GROSS22,800 SFTOTAL RENTABLE15,790 SF



NOTE: ALL HVAC UNITS LOCATED IN INTERIOR OF BUILDING

		10'-4"		q'-11"						
		12		6 ,-10,						
— 10' — <u>→</u>	10'	10'-5"	- 5'-5" -		10' <u></u>	10'	10'		10' <u></u> →	
							12			
								A A A A A A A A A A A A A A A A A A A		
							10' q	20'-	1	
								क 12'-7"	10'-5"-	1
^							0'			
≟ົ:-1" → ີ່⊷ີ່ ↓ 12						- 2;-1	6			

SECOND/THIRD FLOOR SCALE: 3/32"=1'-0"
 TOTAL GROSS
 22,800

 TOTAL RENTABLE
 17,480



- 7'-10" -6'-1" 12'-7" 3 12 4 - 12'-6" — — 11'-1" — 4 9'-8" 9'-8" ----- 17' --STAIRCASE

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OWNER/DEVELOPER

V/L HIGHLAND RD. 10087 HIGHLAND RD. HARTLAND MI, 48353 PHONE: 248.712.3300 JOE@ONQCRE.COM

ARCHITECT

RON JONA PHONE: 248.357.3600 RJONA@RONJONA.COM

SURVEYOR

FENTON LAND SURVEYING & ENGINEERING 14165 FENTON ROAD SUITE 101A FENTON, MI 48430 PHONE: 810.354.8115 INFO@FENTONLSE.COM

PROJECT

HARTLAND STORAGE

SHEET TITLE SECOND & THIRD FLOOR PLANS

DATE ISSUED 8.01.2023

REVISIONS

8.22.2023

10.10.2023

12.27.2023 (ELEVATIONS)

01.22.2024 (PROJECT INFO)

02.05.2024 (revisions)

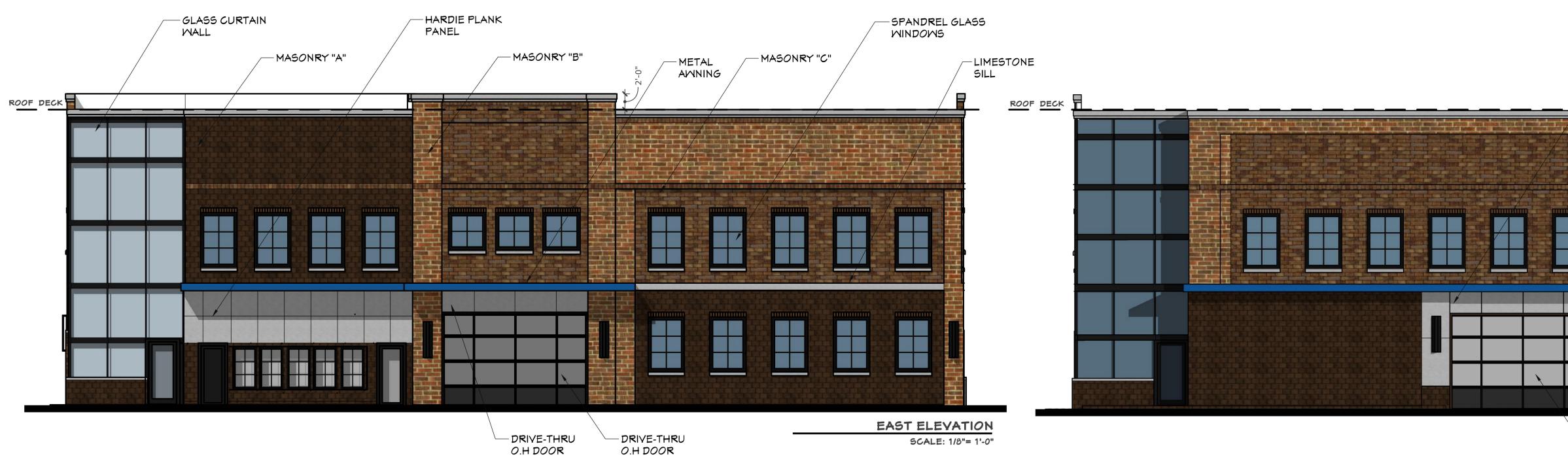
02.13.2024 (REVISIONS)

03.07.2024 (REVISIONS)

SHEET NUMBER





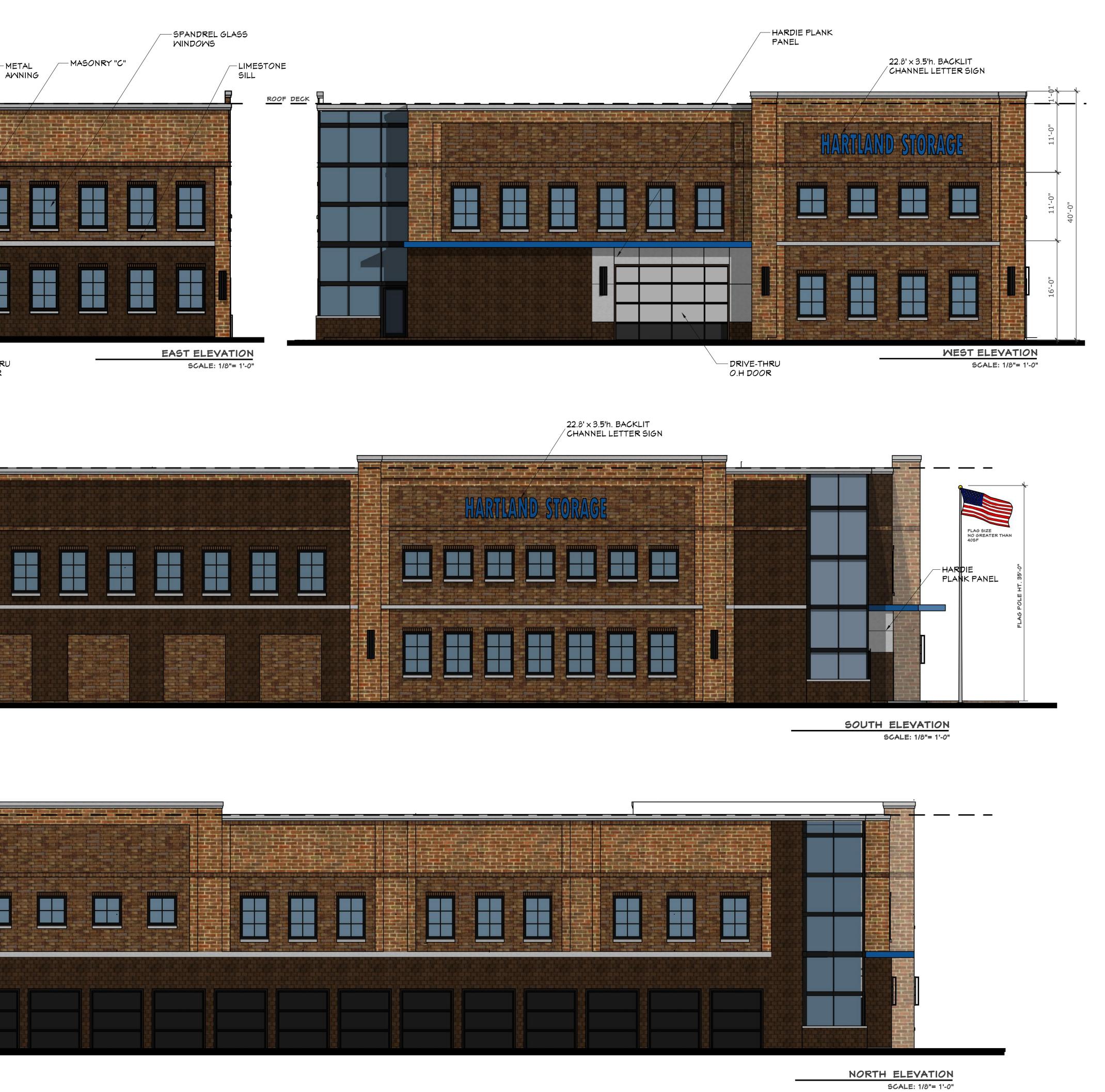


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NOTE: ALL HVAC UNITS LOCATED IN INTERIOR OF BUILDING

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RON JONA COLLABORATIVE 1066 COMMERCE STREET BIRMINGHAM MI. 48009 248.789.2001

OWNER/DEVELOPER

V/L HIGHLAND RD. 10087 HIGHLAND RD. HARTLAND MI, 48353 PHONE: 248.712.3300 JOE@ONQCRE.COM

ARCHITECT

RON JONA PHONE: 248.357.3600 RJONA@RONJONA.COM

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PROJECT

HARTLAND STORAGE

SHEET TITLE ELEVATIONS

DATE ISSUED 8.01.2023

REVISIONS

8.22.2023

10.10.2023

12.27.2023 (ELEVATIONS)

01.22.2024 (PROJECT INFO)

02.05.2024 (revisions)

02.13.2024 (REVISIONS)

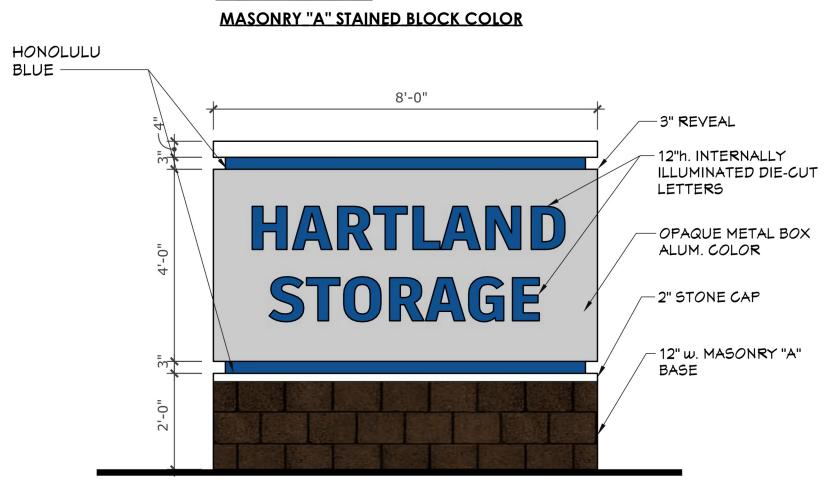
03.07.2024 (REVISIONS)

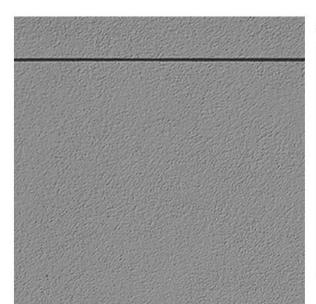
SHEET NUMBER

A 300

FAÇADE MATERIAL PERC	CENTAGES		
SOUTH ELEVATION	% COVERAGE	EAST ELEVATION	% COVERAGE
GLASS CURTAIN WALL	5%	GLASS CURTAIN WALL	9%
MASONRY "A"	34%	MASONRY "A"	29%
MASONRY "B"	22%	MASONRY "B"	17%
MASONRY "C"	28%	MASONRY "C"	23%
SPANDREL GLASS	8%	SPANDREL GLASS	8%
LIMESTONE SILL	2%	LIMESTONE SILL	2%
HARDIE PLANK PANEL	1%	DRIVE-THRU O.H DOOR	5%
		HARDIE PLANK PANEL	6%
		METAL AWNING	1%
NORTH ELEVATION	% COVERAGE	WEST ELEVATION	% COVERAGE
GLASS CURTAIN WALL	4%	GLASS CURTAIN WALL	9%
MASONRY "A"	19%	MASONRY "A"	11%
MASONRY "B"	24%	MASONRY "B"	19%
MASONRY"C"	13%	MASONRY "C"	45%
SPANDREL GLASS	20%	HARDIE PLANK PANEL	4%
LIMESTONE SILL	2%	SPANDREL GLASS	7%
O.H. METAL DOORS	17%	LIMESTONE SILL	1%
HARDIE PLANK PANEL	1%	DRIVE-THRU O.H DOOR	4%
		METAL AWNING	1%

GLASS CURTAIN WALL		
KAWNEER 1" INSUALTE	D GLASS & ALUM. FRAME	
CURTAIN WALL SYSTEM	LIGHT GREY TINT	
MASONRY "A"		
8x16 SPLITFACE BLOCK	W/ RAKED HORZ. JOINTS	
STAINED "SW 6006 BLA	CK BEAN"	
MASONRY "B"		
BRICKTECH FRENCH QU	ARTER "FRISCO BLEND"	
MODULAR BRICK		
MASONRY"C"		
	ARTER "BURGUNDY BLEND"	
MODULAR BRICK		
SPANDREL GLASS WINI		
KAWNEER SPANDRAL G	LASS SYSTEM	
LIGHT GREY TINT		
LIMESTONE SILL		
4" LIMESTONE SILL		
GARAGE DRIVE-THRU		
	L SERIES COMMERCIAL OVERHEAD)
FLUSH STEEL DOORS, BI	ACK, THERMALLY-BROKEN, INSULA	ATED GLASS PANEL
GARAGE METAL DOOR		
CLOPLAY COMMERICAL	O.H DOOR BLACK FINISH	
METAL AWNING		
METAL AWNING COLOF	"HONOLULU BLUE"	
HARDIE PLANK PANELS		
JAMES HARDIE FIBER CE		
ADCHITECTUDAL CEDIEC	FINE SAND GROOVED	





AVAILABLE SIZES

THICKNESS:	0.312"	
LENGTH: WIDTHS:	120" 48.197"	144" 48.19
	96" 48.197"	

JAMES HARDIE FIBER CEMENT

ARCHITECTURAL SERIES FINE SAND GROOVED PANELS PRE PRIMED PAINTED SW 7069 IRON ORE

EXTERIOR WALL SCONCE SPECIFICATIONS

DELIVERED LUMENS	1060
WATTS	38
VOLTAGE	Universal 120-277V, with integral transient 2.5kV surge protection (driver)
DIMMING	0-10, ELV
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Wall
PERFORMANCE OPTIONS	In-Line Fuse / Surge Protector
ССТ	2700K or 3000K
CRI	90+
COLOR BINNING	3 Step
BUG RATING	B0-U3-G1
DARK SKY	Non-compliant
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; >60,000 Hours
WARRANTY*	5 Years
WEIGHT	7 lbs.





DRIVE-THRU O.H DOORS



O.H. METAL DOORS



<u>GROUND SIGN</u>



5" <u>2.8"</u> 127 mm 71 mm

Aspen 26

ASPEN 26

Total Power:

PHOTOMETRICS*

Luminaire Efficacy:

Total Lumen Output: 1060

ASPEN 26 shown in charcoal

3000K Color Temp: CRI: 90 B0-U3-G1 BUG Rating: 180° 170° 173 130 130 173 217

38

28

All of our Steel Insulated Door models come with the following:

Joint Design: Tongue and groove section with continuous foam thermal break prevents cold or heat from passing through the section Paint System: 3-stage paint process delivers maintenance free finish that resists rust perforation Limited Warranty: 10-year paint / 10-year delamination / 1 year material and workmanship / 1 year hardware

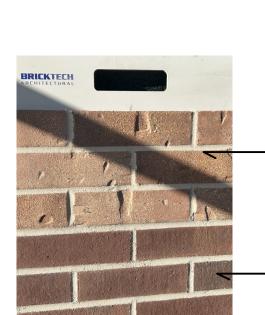
Model 3728/3729

Section Design/Emboss: (3728) 2" thick stucco embossed steel with flush exterior skin pattern

Steel Gauge:

(3729) 2" thick stucco embossed steel with minor ribbed exterior skin pattern 27 exterior; 27 interior





MASONRY SAMPLE

MASONRY "C" -BRICKTECH FRENCH QUARTER "BURGUNDY BLEND"

MASONRY "B" - BRICKTECH FRENCH QUARTER "FRISCO BLEND"

RON JONA COLLABORATIVE 1066 COMMERCE STREET BIRMINGHAM MI. 48009 248.789.2001

OWNER/DEVELOPER

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ARCHITECT

ron Jona PHONE: 248.357.3600 RJONA@RONJONA.COM

SURVEYOR

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PROJECT

HARTLAND STORAGE

SHEET TITLE FACADE SPECIFICATIONS

DATE ISSUED 8.01.2023

REVISIONS

8.22.2023

10.10.2023

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12.27.2023 (ELEVATIONS)
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01.22.2024 (PROJECT INFO)

02.05.2024 (revisions)

02.13.2024 (REVISIONS)

03.07.2024 (REVISIONS)

A 400

SHEET NUMBER

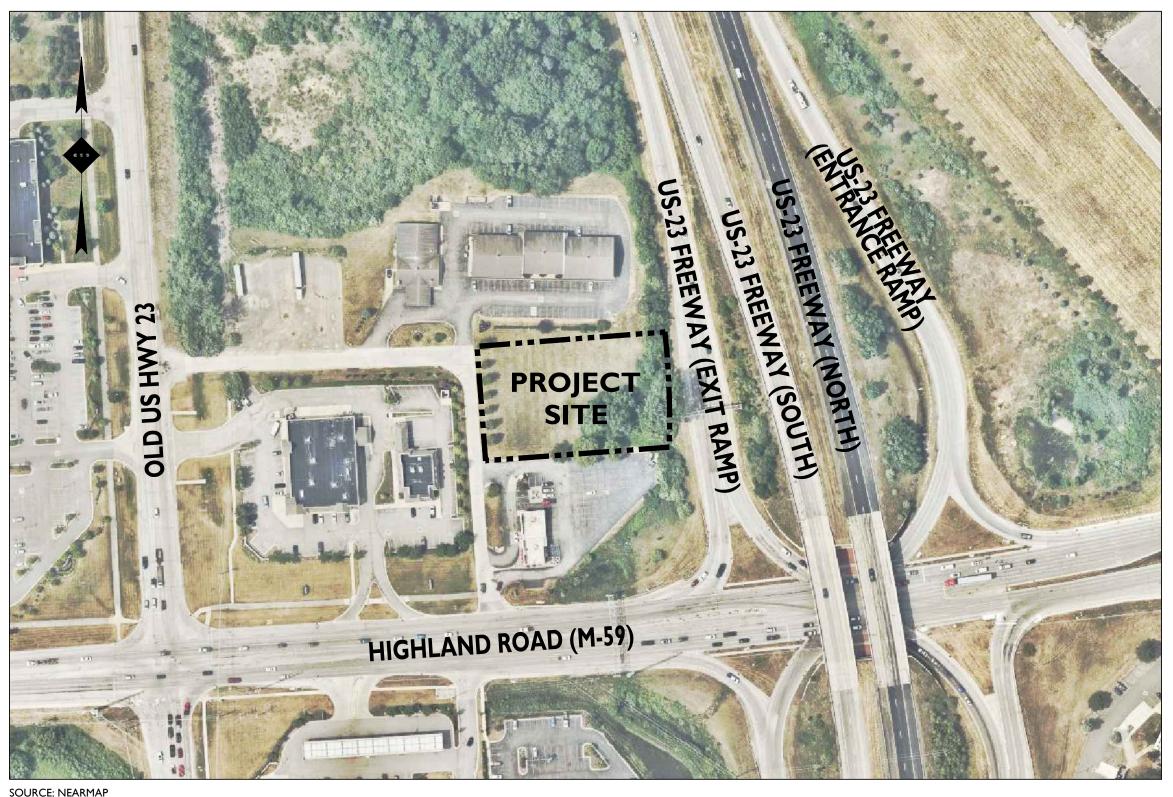


75

PRELIMINARY SITE DEVELOPMENT PLANS FOR **HIGHLAND ROAD** PLANNED DEVELOPMENT



LOCATION MAP SCALE: I" = 2,000'±



AERIAL MAP SCALE: |" = 150'±

PROPERTY DESCRIPTION:

PARCEL NUMBER 4708-21-300-039, V/L HIGHLAND ROAD QUIT CLAIM DEED, BOOK 2014R-022364, DATED 08-11-2014

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE TOWNSHIP OF HARTLAND, COUNTY OF LIVINGSTON, AND STATE OF MICHIGAN, TO-WIT:

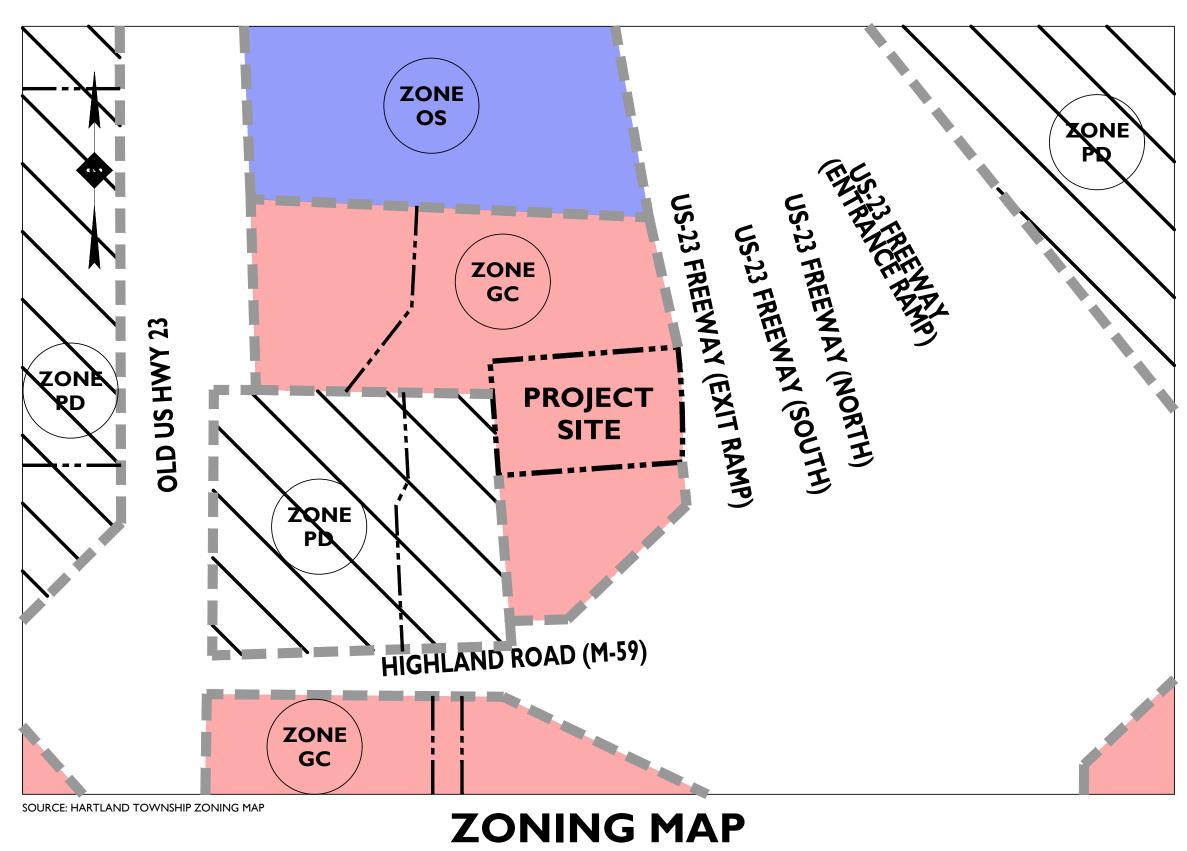
LAND IN THE SW 1/4 SECTION 21, T.3N.,R.6E., HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT, DISTANT S89°02'00"W, 883.73 FEET AND N03°42'00"W, 126.89 FEET AND N03°42'00"W, 232.24 FEET AND N86°21'50"E, 30.01 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 21; THENCE N03°42'00"W, 180.00 FEET; THENCE N86°21'50"E, 294.49 FEET; THENCE 180.27 FEET ALONG THE ARC OF A CURVE TO THE RIGHT ALONG HIGHWAY US-23, HAVING A RADIUS OF 1273.14 FEET, CENTRAL ANGLE OF 08°06'47" AND A CHORD BEARING AND DISTANCE OF \$01°31'16"E, 180.12 FEET; THENCE \$86°21'50"W, 287.64 FEET TO THE POINT OF BEGINNING. CONTAINING 1.21 ACRES.



Know what's **below Call** before you dig.

PROPOSED SELF-STORAGE FACILITY

PARCEL ID: 4708-21-300-039 HIGHLAND ROAD (M-59) (VACANT LAND) HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



SCALE: |" = 150'±

PLANS PREPARED BY:



Detroit, MI · New York, NY · Boston, MA Princeton, NJ \cdot Tampa, FL \cdot Rutherford, NJ www.stonefieldeng.com

607 Shelby Suite 200, Detroit, MI 48226 Phone 248.247.1115

PLAN REFERENCE MATERIALS:

- I. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS **INCLUDING, BUT NOT LIMITED TO:** BOUNDARY & TOPOGRAPHICAL SURVEY PREPARED BY FENTON LAND SURVEYING & ENGINEERING, INC.
- DATED 02/07/2023 ARCHITECTURAL PLANS PREPARED BY RON JONA
- COLLABORATIVE DATED 10/10/2023 AERIAL MAP OBTAINED FROM NEARMAP 09/28/2022
- LOCATION MAP OBTAINED FROM USGS ONLINE MAPPER
- 03/07/2023 2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS **RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND** REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION

			6 03/18/2024 ECM REVISED PER PRELIMINARY SITE PLAN REVIEW	5 02/07/2024 ECM REVISED PER PRELIMINARY SITE PLAN REVIEW	4 01/02/2024 ECM REVISED PER PRELIMINARY SITE PLAN REVIEW	3 12/07/2023 ECM REVISED PER PRELIMINARY SITE PLAN REVIEW	2 11/14/2023 ECM FOR PRELIMINARY SITE PLAN REVIEW	I 08/22/2023 JRC REVISED PER TOWNSHIP PLANNING COMMENT	0 05/16/2023 ECM / JRC FOR CLIENT REVIEW	ISSUE DATE BY DESCRIPTION
	NO	ΤΔΡ	PRO	VFL) F(ON	STR		
	NOT APPBLOADED FOR CONS. STOOR PORTON & BORDON PETELD Detroit, MI · New York, NY · Boston, MA Princeton, NJ · Tampa, FL · Rutherford, NJ www.stonefieldeng.com								2000 IM FILL COLUMN THE REAL	Phone 248.247.1115
	PRELIMINARY SITE DEVELOPMENT PLANS									HARTLAND TOWNSHIP LIVINGSTON COUNTY, MICHIGAN
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					VFES O		E			> L D

OWNER / DEVELOPER

V/L HIGHLAND ROAD 0087 HIGHLAND ROAD HARTLAND, MI 48353 PHONE: 248-712-3300 FAX: N/A JOE@ONQCRE.COM

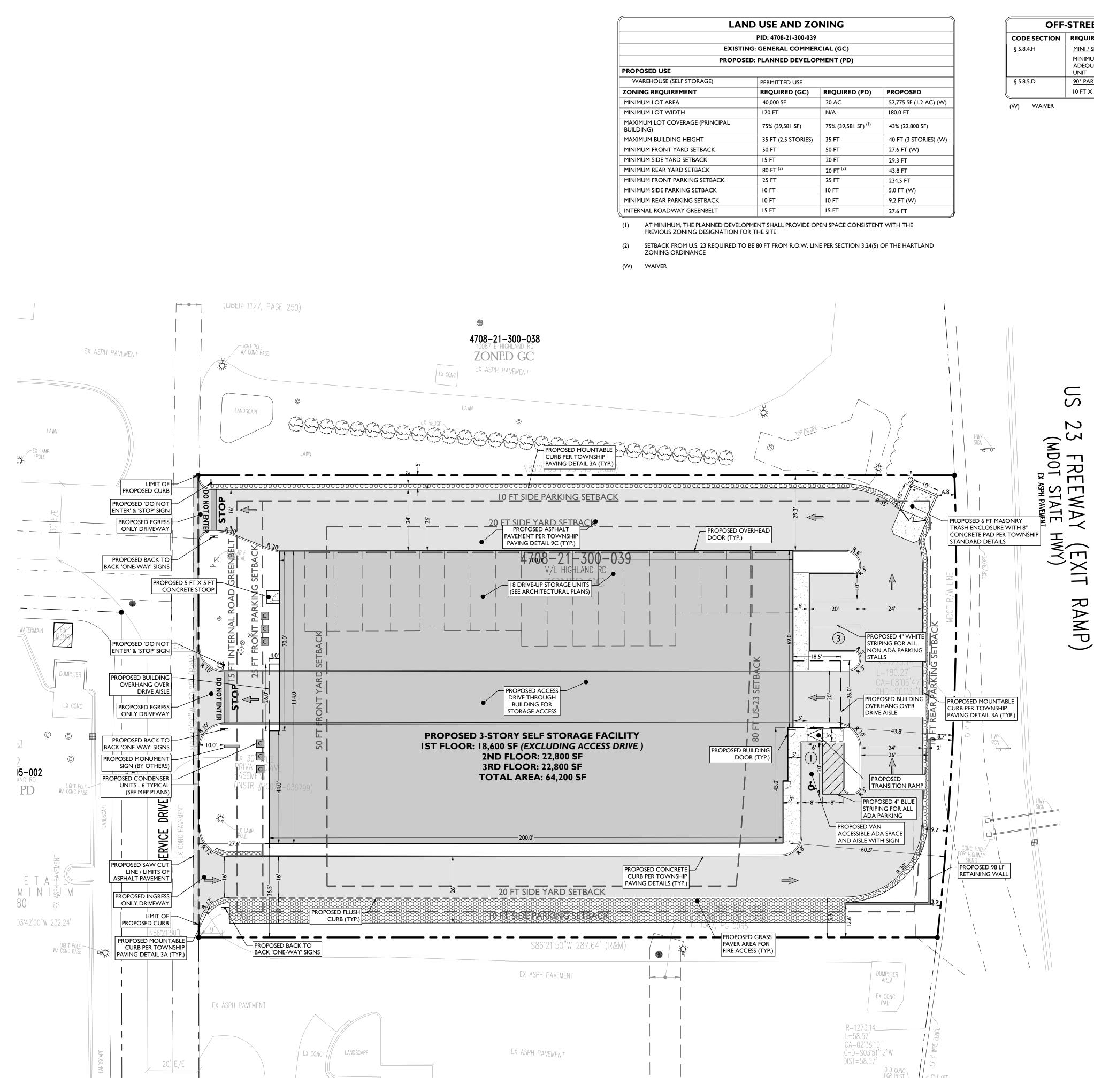
ARCHITECT

RON JONA PHONE: 248-357-3600 FAX: N/A RJONA@RONJONA.COM

SURVEYOR

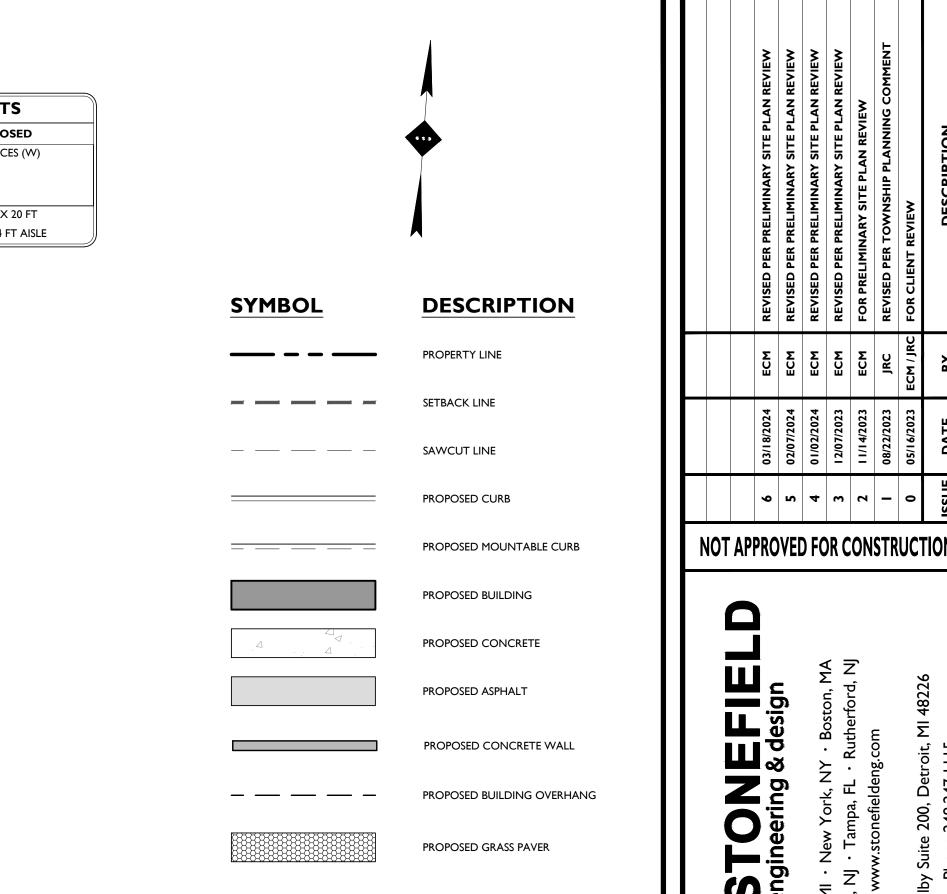
FENTON LAND SURVEYING & ENGINEERING, INC 14165 FENTON ROAD SUITE 101A ENTON, MI 48430 PHONE: 810-354-8115 FAX: N/A INFO@FENTONLSE.COM

SHEET INDEX						
DRAWING TITLE	SHEET #					
COVER SHEET	C-1					
SITE PLAN	C-2					
GRADING PLAN	C-3					
STORMWATER MANAGEMENT PLAN	C-4					
UTILITY PLAN	C-5					
LIGHTING PLAN	C-6					
LANDSCAPING PLAN	C-7					
FIRE TRUCK TURNING ANALYSIS	C-8					
REFUSE VEHICLE TURNING ANALYSIS	C-9					
CONSTRUCTION DETAILS	C-10 TO C-12					
ADDITIONAL SH	EETS					
DRAWING TITLE	SHEET #					
BOUNDARY & TOPOGRAPHICAL SURVEY	I OF 2					
TOWNSHIP STANDARD PAVING DETAILS	I OF I					
TOWNSHIP STANDARD WATER DETAILS	I OF I					
TOWNSHIP STANDARD STORM DETAILS	I OF I					



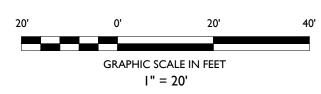
LAND USE AND ZONING									
	PID: 4708-21-300-039								
EXISTI	NG: GENERAL COMMER	CIAL (GC)							
PROPOSI	ED: PLANNED DEVELO	PMENT (PD)							
PROPOSED USE									
WAREHOUSE (SELF STORAGE)	PERMITTED USE								
ZONING REQUIREMENT	REQUIRED (GC)	REQUIRED (PD)	PROPOSED						
MINIMUM LOT AREA	40,000 SF	20 AC	52,775 SF (1.2 AC) (W)						
MINIMUM LOT WIDTH	120 FT	N/A	180.0 FT						
MAXIMUM LOT COVERAGE (PRINCIPAL BUILDING)	75% (39,581 SF)	75% (39,581 SF) ⁽¹⁾	43% (22,800 SF)						
MAXIMUM BUILDING HEIGHT	35 FT (2.5 STORIES)	35 FT	40 FT (3 STORIES) (W)						
MINIMUM FRONT YARD SETBACK	50 FT	50 FT	27.6 FT (W)						
MINIMUM SIDE YARD SETBACK	15 FT	20 FT	29.3 FT						
MINIMUM REAR YARD SETBACK	80 FT ⁽²⁾	20 FT ⁽²⁾	43.8 FT						
MINIMUM FRONT PARKING SETBACK	25 FT	25 FT	234.5 FT						
MINIMUM SIDE PARKING SETBACK	10 FT	10 FT	5.0 FT (W)						
MINIMUM REAR PARKING SETBACK	10 FT	10 FT	9.2 FT (W)						
INTERNAL ROADWAY GREENBELT	I5 FT	15 FT	27.6 FT						

CODE SECTION	REQUIRED	PROPO	
§ 5.8.4.H	MINI / SELF-STORAGE WAREHOUSE:	4 SPACE	
	MINIMUM SIX (6) SPACES PLUS ADEQUATE LOADING AREA AT EACH UNIT		
§ 5.8.5.D	90° PARKING:	10 FT X	
	10 FT X 20 FT W/ 24 FT AISLE	W/ 24 F	

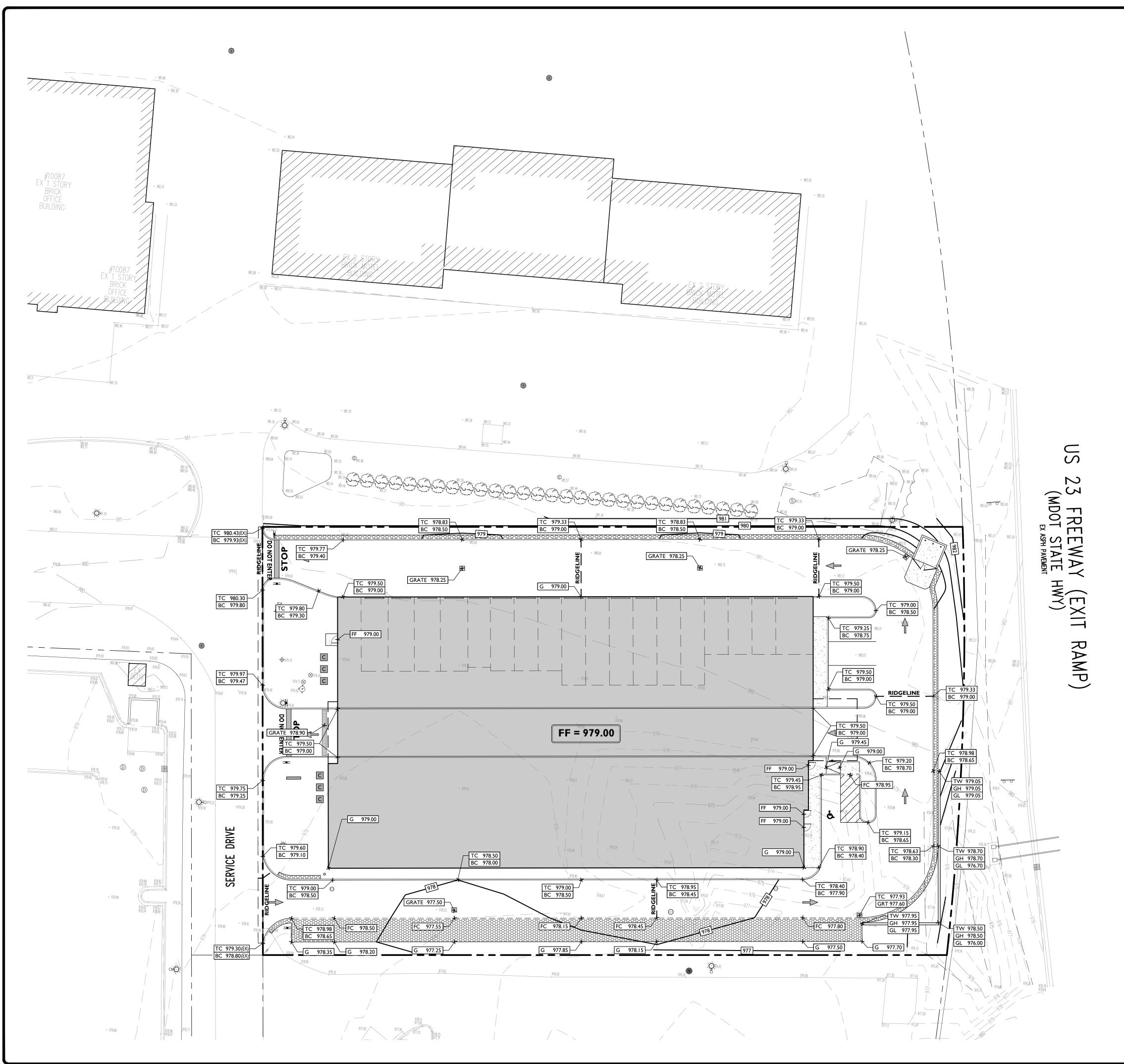


GENERAL NOTES

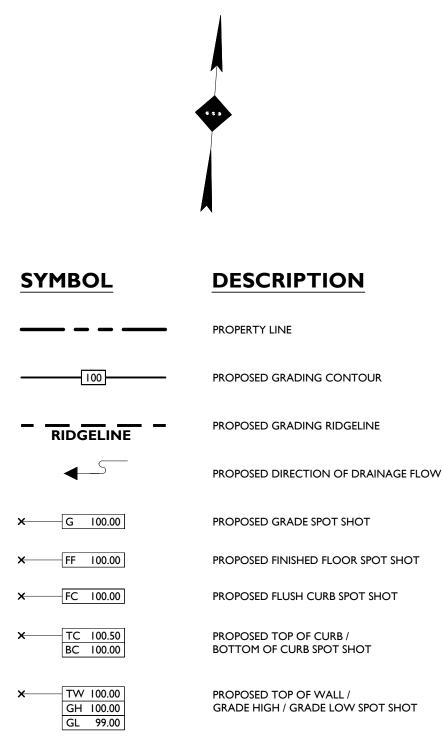
- I. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. PRIOR TO THE START OF CONSTRUCTION.
- 2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION. 3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY
- LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC. AND IT'S SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- 4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, 5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND
- METHODS OF CONSTRUCTION. 6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- 7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
- 8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC. WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET. 9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN
- ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. 10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE
- PROCUREMENT OF STREET OPENING PERMITS. 11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- 12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC. BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.







DET12022/DET-220363-ONQ COMMERCIAL REAL ESTATE-10087 HIGHLAND ROAD, HARTLAND, MI/CADD/PLOT/PUD DEVELOPMENT/SDP-03-GRAD.DV

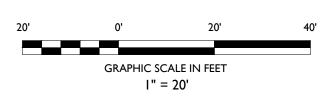


GRADING NOTES

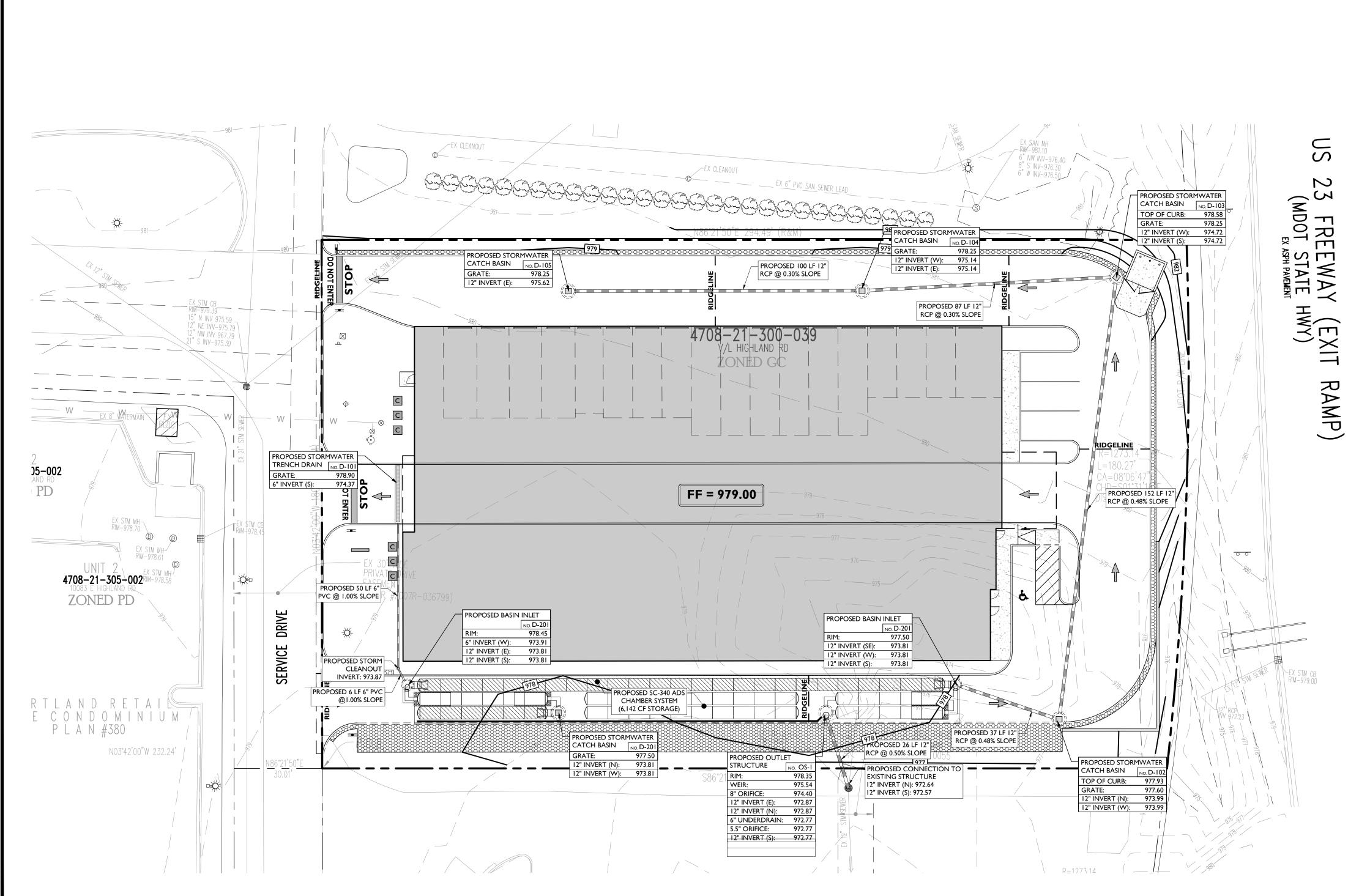
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR
- PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
- 3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
- THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
- CURB GUTTER: 0.50%
 CONCRETE SURFACES: 1.00%
- ASPHALT SURFACES: 1.00%
 5. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE
- FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
 6. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

ADA NOTES

- I. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- 4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- 5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE
- ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF ¹/₄ INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN ¹/₄ INCHES AND ¹/₂ INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP ¹/₄ INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN I UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- 9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN ½ INCH.



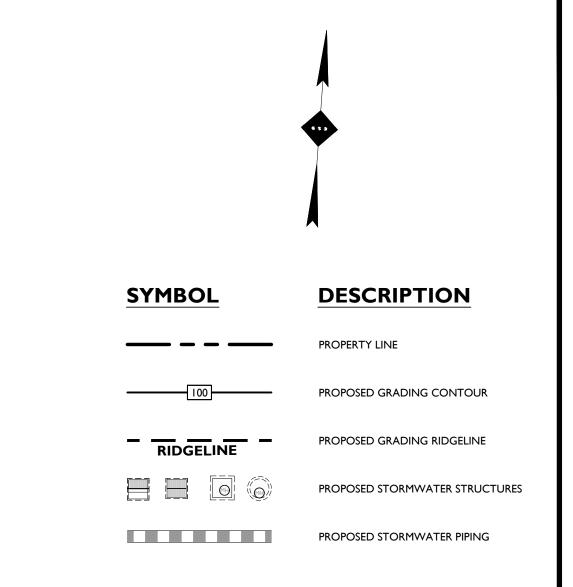
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NOT APPROACION Definition Berroit, March Berroit, March Detroit, MI + New York, NY + Boston, MA Berroit, MI + Boston, MA Princeton, NJ + Tampa, FL + Rutherford, NJ Wutherford, NJ Rononefieldeng.com March 607 Shelby Suite 200, Detroit, MI 48226 Phone 248.247.115								our sheiby suite 200, Detroit, MI 40220 Phone 248.247.1115	
PRELIMINARY SITE DEVELOPMENT PLANS						PROPOSED SELF-SI ORAGE FACILII T			HARTLAND TOWNSHIP LIVINGSTON COUNTY, MICHIGAN
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	MDOT DRAINAGE REQUIREMENTS												
		W TO MDOT ROW	PROPOSED FL	OW TO MDOT ROW	WITH DETENTION *								
FREQUENCY	DISCHARGE (CFS)	RUNOFF VOLUME (CFT)	DISCHARGE (CFS)	VELOCITY (FT/S) **	RUNOFF VOLUME (CFT)	DISCHARGE (CFS)	RUNOFF VOLUME (CFT)	WATER SURFACE ELEVATION (FT)					
2-YEAR STORM EVENT	0.91	2,107	2.97	N/A	6,844	0.81	6,844	974.00					
10-YEAR STORM EVENT	2.03	4,488	4.50	N/A	10,632	1.75	10,632	974.53					
50 YEAR STORM EVENT	3.90	8,561	6.64	N/A	16,075	2.87	16,075	975.30					
100-YEAR STORM EVENT	4.92	10,828	7.72	N/A	18,846	4.34	18,846	975.69					
DRAINAGE AREA (ACRES)	I.21 ACRES	1	1.21 ACRES	1	1	1.21 ACRES	1						
DESIGNED STORAGE VOLUME			1			-	6,142 CF						

NOT REQUIRED IF PROPOSED DISCHARGE IS LESS THAN OR EQUAL TO THE EXISTING DISCHARGE WITHOUT DETENTION *

** NOT APPLICABLE (N/A) IF "SHEET FLOW" INTO MDOT ROW OR DETENTION IS PROPOSED



DRAINAGE AND UTILITY NOTES

- I. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
- 2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP-GRADIENT. 3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD
- ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING. 4. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

- I. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION, THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET. 2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS
- BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD. 3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR
- ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC. AND THE OWNER PRIOR TO THE START OF CONSTRUCTION. 4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN
- EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS. 5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER

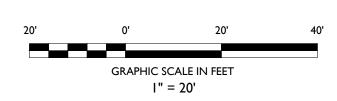
STORMWATER INFILTRATION BMP CONSTRUCTION NOTES

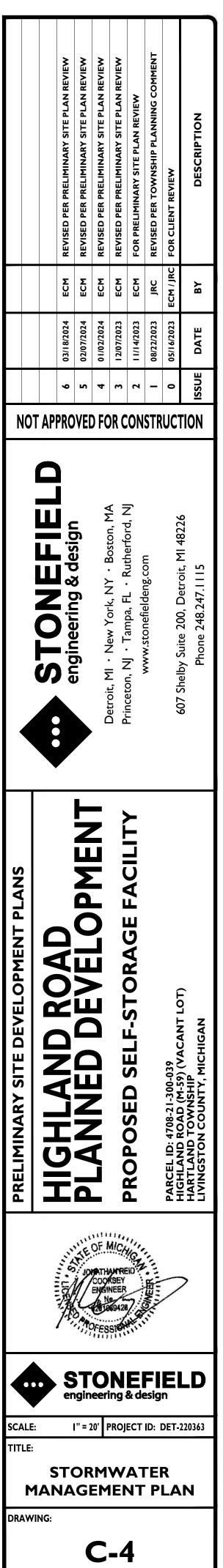
DISPOSAL.

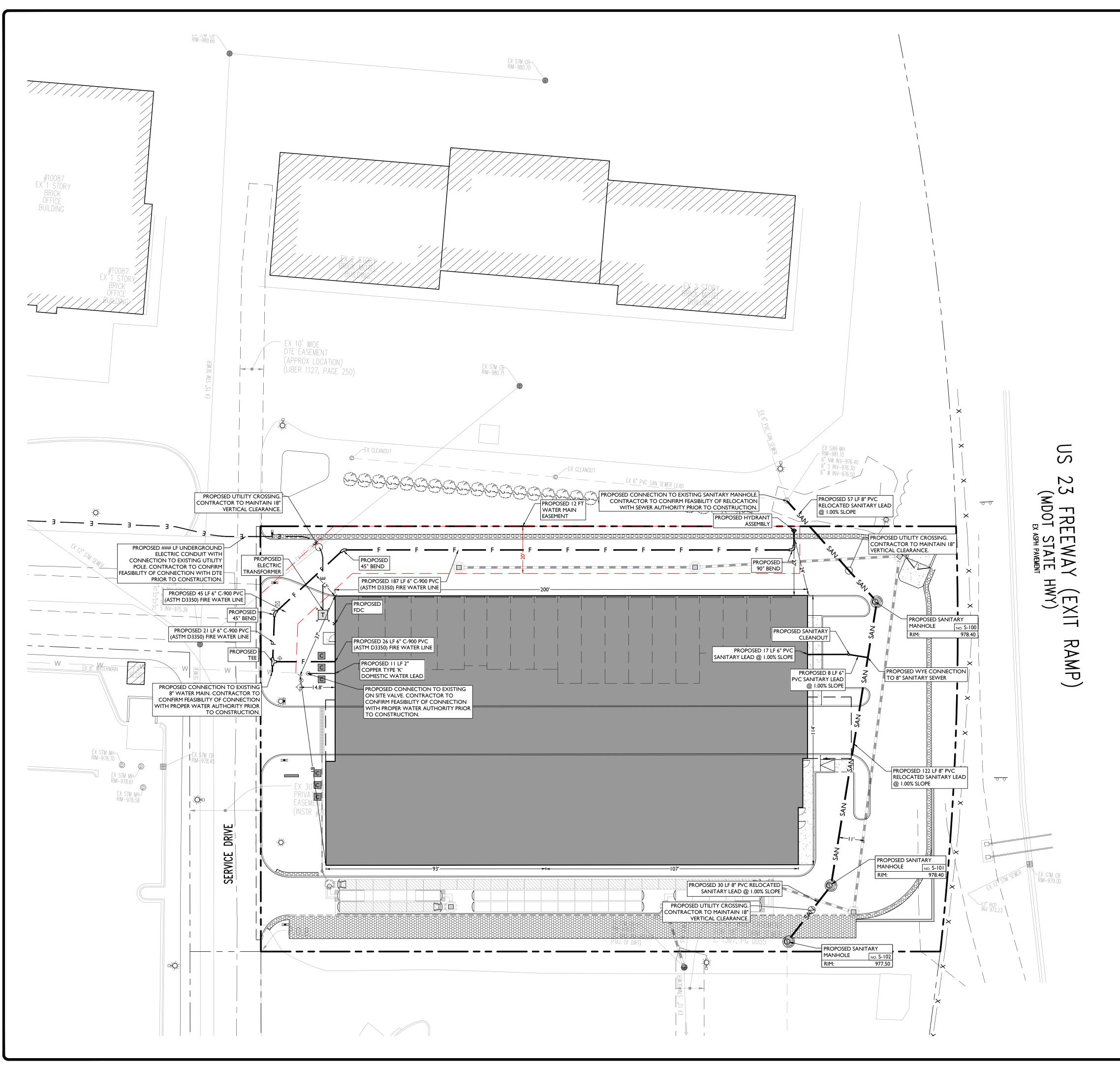
- I. PRIOR TO THE START OF CONSTRUCTION, ANY AREA DESIGNATED TO BE USED FOR AN INFILTRATION BMP (E.G. BASIN, BIORETENTION AREA, ETC.) SHALL BE FENCED OFF AND SHALL NOT BE UTILIZED AS STORAGE FOR CONSTRUCTION EQUIPMENT OR AS A STOCKPILE AREA FOR CONSTRUCTION MATERIALS. NO ACTIVITY SHALL BE PERMITTED WITHIN THE INFILTRATION BASIN AREA UNLESS RELATED TO THE CONSTRUCTION OF THE INFILTRATION BASIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL SUBCONTRACTORS OF BASIN AREA RESTRICTIONS. 2. THE CONTRACTOR SHALL MAKE EVERY EFFORT, WHERE PRACTICAL,
- TO AVOID SUBGRADE SOIL COMPACTION IN THE AREAS DESIGNATED TO BE USED FOR AN INFILTRATION BMP.
- 3. ALL EXCAVATION WITHIN THE LIMITS OF ANY INFILTRATION BMP SHALL BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT. ALL EXCAVATION EQUIPMENT SHALL BE PLACED OUTSIDE THE LIMITS OF THE BASIN WHERE FEASIBLE. THE USE OF LIGHT-WEIGHT, RUBBER-TIRED EQUIPMENT (LESS THAN 8 PSI APPLIED TO THE GROUND SURFACE) IS RECOMMENDED WITHIN THE BASIN
- 4. THE SEQUENCE OF SITE CONSTRUCTION SHALL BE COORDINATED WITH BASIN CONSTRUCTION TO ADHERE TO SEQUENCING LIMITATIONS.
- 5. DURING THE FINAL GRADING OF AN INFILTRATION BASIN, THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAW OR EQUIVALENT GRADING EQUIPMENT. ALL GRADING EQUIPMENT SHALL BE LOCATED OUTSIDE OF THE BASIN BOTTOM WHERE FEASIBLE. 6. FOLLOWING CONSTRUCTION OF AN INFILTRATION BASIN, SOIL
- INFILTRATION TESTING BY A LICENSED GEOTECHNICAL ENGINEER IS REQUIRED TO CERTIFY COMPLIANCE WITH THE DESIGN INFILTRATION RATES IN ACCORDANCE WITH APPENDIX E OF THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES MANUAL, LATEST EDITION. IF THE FIELD INFILTRATION RATES ARE LOWER THAN THE RATE USED DURING DESIGN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING IMMEDIATELY TO DETERMINE THE APPROPRIATE COURSE OF ACTION.
- 7. THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TO DETERMINE IF WITNESS TESTING IS REQUIRED DURING INFILTRATION BASIN EXCAVATION AND/OR SOIL INFILTRATION TESTING.

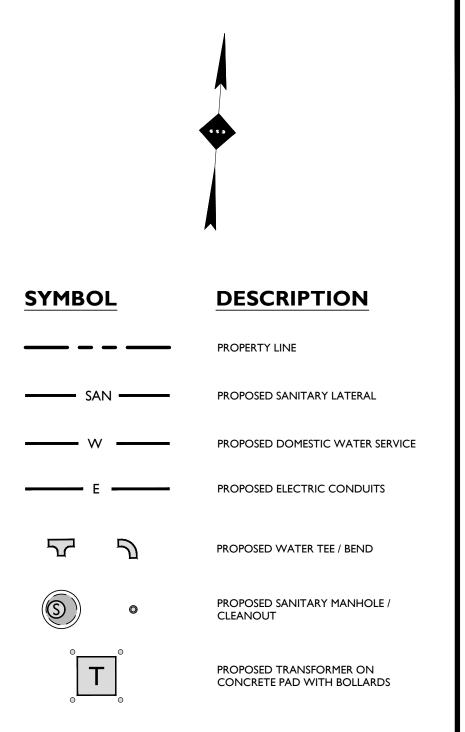
STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES

- I. THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S
- SPECIFICATIONS. 2. UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%.
- 3. NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.







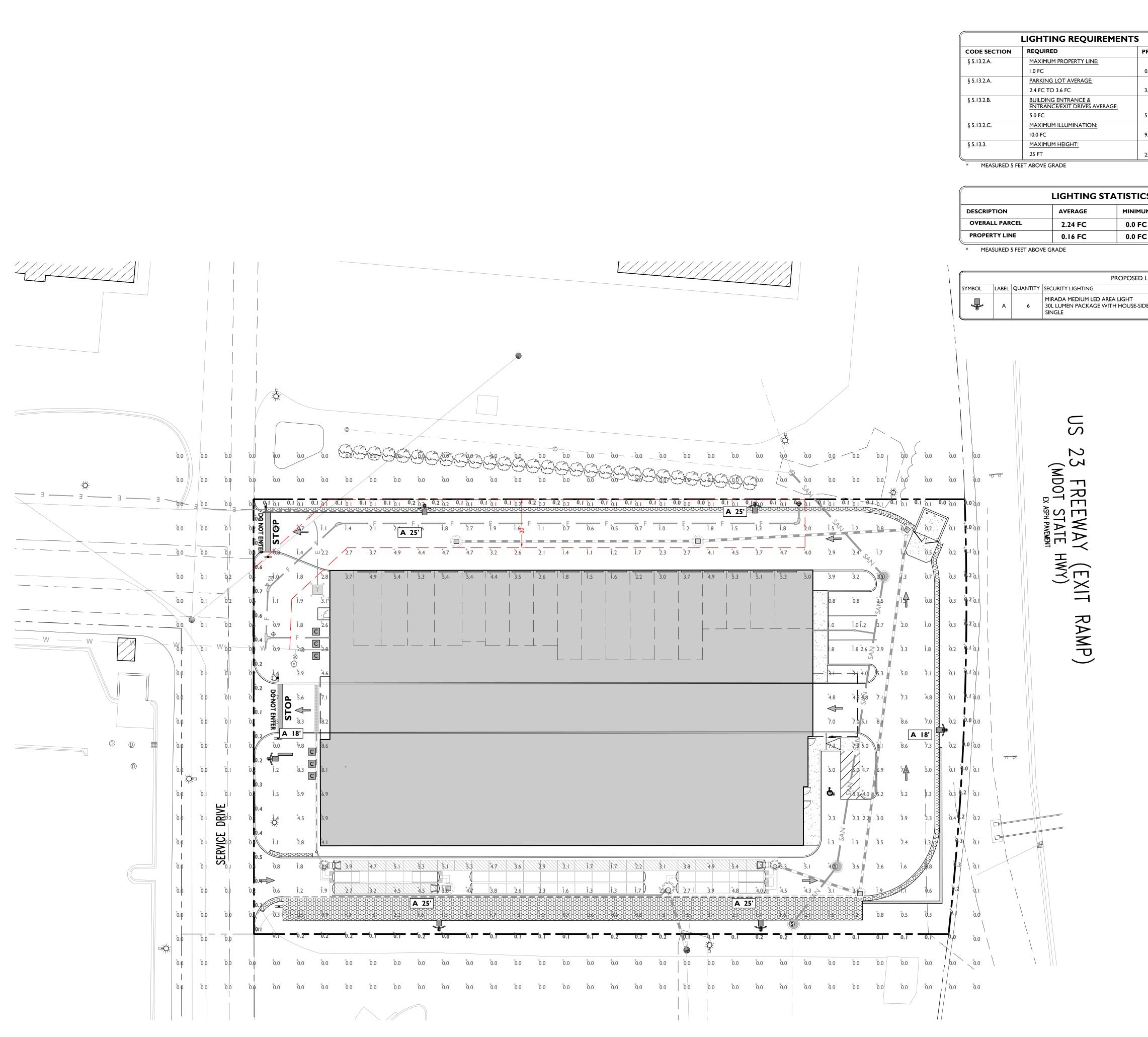


DRAINAGE AND UTILITY NOTES

- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING.
 THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
 THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF
- THE PROPOSED WORK DURING CONSTRUCTION.
 A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- AS APPROVED BY STONEHELD ENGINEERING & DESIGN, LLC.
 ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO
- CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
 CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY
- SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT.
 9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- 10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

GRAPHIC SCALE IN FEET I" = 20'

			ECM REVISED PER PRELIMINARY SITE PLAN REVIEW	ECM FOR PRELIMINARY SITE PLAN REVIEW	JRC REVISED PER TOWNSHIP PLANNING COMMENT	ECM / JRC FOR CLIENT REVIEW	BY DESCRIPTION			
			03/18/2024	02/07/2024	01/02/2024	2/07/2023	1/14/2023	08/22/2023	05/16/2023 E	DATE
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0.7 FC			
3.4 FC			
5 FC			
9.8 FC		SYMBOL	DESCRIPTION
25 FT			PROPERTY LINE
		A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
CS		+X.X	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
UM	MAXIMUM		
С	9.8 FC	*	PROPOSED AREA LIGHT
С	0.7 FC	J	

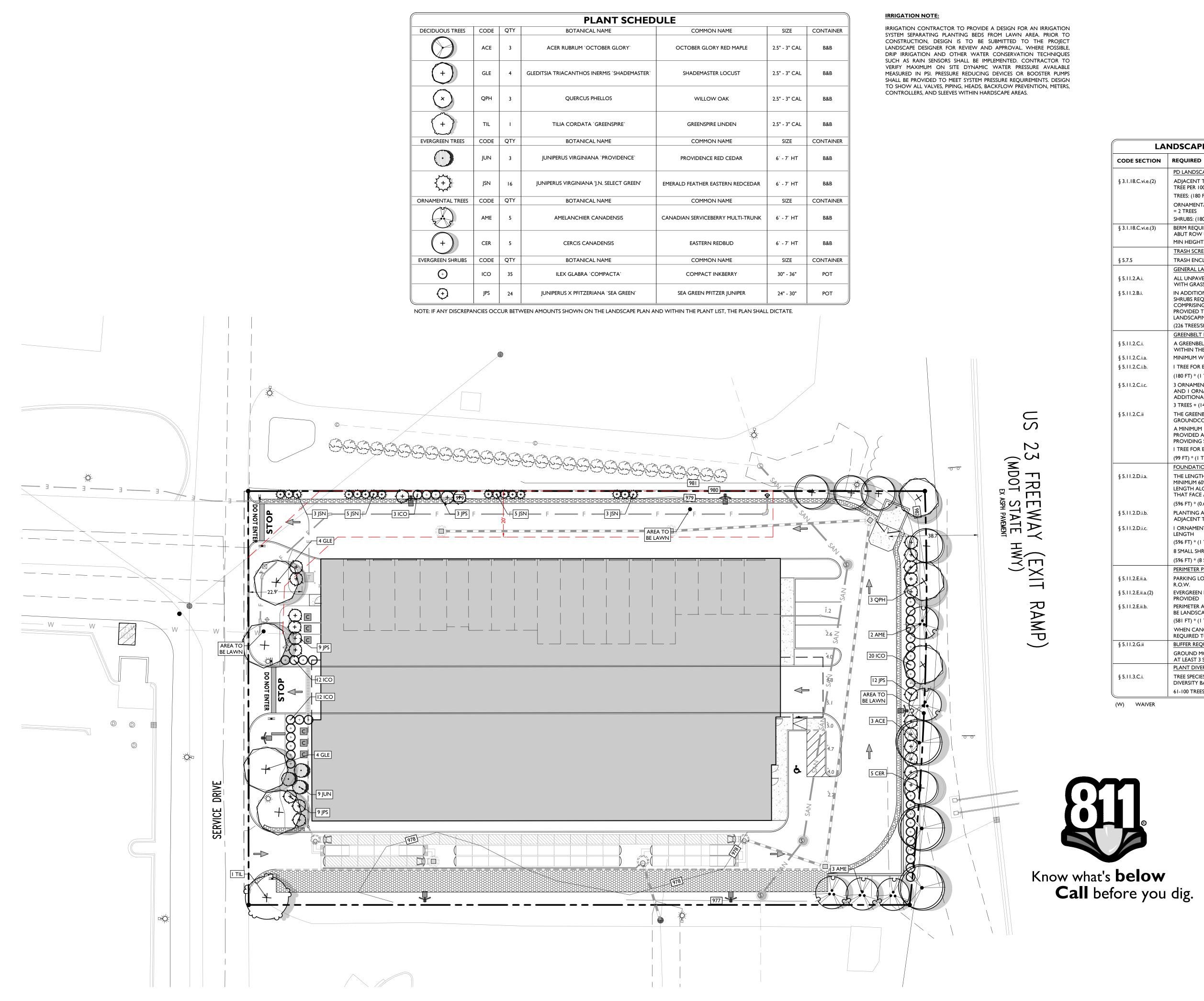
) LUMINAIRE SCHEDULE							
	DISTRIBUTION	LLF	MANUFACTURER	IES FILE			
IDE SHIELD	Ш	0.90	LSI INDUSTRIES	MRM-LED-30L-SIL-3-40-70CRI-IL			

GENERAL LIGHTING NOTES

- I. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH ARE WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
 UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LO FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 LIGHT EMITTING DIODES (LED): 0.90
 HIGH PRESSURE SODIUM: 0.72
- METAL HALIDE: 0.72
 THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING, PRIOR TO THE START OF CONSTRUCTION,
- OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS. 5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

GRAPHIC SCALE IN FEET l" = 20'

	ITE PLAN REVIEW	ITE PLAN REVIEW	ITE PLAN REVIEW	ITE PLAN REVIEW	4 REVIEW	ANNING COMMENT		NOI
	REVISED PER PRELIMINARY SITE PLAN REVIEW	FOR PRELIMINARY SITE PLAN REVIEW	REVISED PER TOWNSHIP PLANNING COMMENT	C FOR CLIENT REVIEW	DESCRIPTION			
			ECM	ECM	ECM	JRC	ECM / JRC	ВΥ
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STONFFIE	engineering & design		Detroit MI · New York NY · Boston MA	Drinceton NI • Tampa EI • Butherford NI	unicecon, ry ranpa, re manerolo, d		407 Shelby Suite 200 Detroit MI 48226	Phone 248.247.1115
PRELIMINARY SITE DEVELOPMENT PLANS		ANNED DEVELOPMEN					PARCEL ID: 4708-21-300-039 אוקאו מאוז מסמח (א-59) (עמכמאד ו סד)	HARTLAND TOWNSHIP LIVINGSTON COUNTY, MICHIGAN
PRELIMIN							PARCEL ID: 4708 HIGHI AND ROZ	HARTLAND TOV LIVINGSTON CO
PRELIMIN		10	F M	ALC ANTREY LE RANGE	LACTON LACTON		PARCEL ID: 4708	HARTLAND TOV LIVINGSTON CO
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	PLANT SCHED	ULE		
(BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	ACER RUBRUM `OCTOBER GLORY`	OCTOBER GLORY RED MAPLE	2.5" - 3" CAL	B&B
	GLEDITSIA TRIACANTHOS INERMIS `SHADEMASTER`	SHADEMASTER LOCUST	2.5" - 3" CAL	B&B
	QUERCUS PHELLOS	WILLOW OAK	2.5" - 3" CAL	B&B
	TILIA CORDATA `GREENSPIRE`	GREENSPIRE LINDEN	2.5" - 3" CAL	B&B
(BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	JUNIPERUS VIRGINIANA `PROVIDENCE`	PROVIDENCE RED CEDAR	6` - 7` HT	B&B
	JUNIPERUS VIRGINIANA 'J.N. SELECT GREEN'	EMERALD FEATHER EASTERN REDCEDAR	6` - 7` HT	B&B
(BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	AMELANCHIER CANADENSIS	CANADIAN SERVICEBERRY MULTI-TRUNK	6` - 7` HT	B&B
	CERCIS CANADENSIS	EASTERN REDBUD	6` - 7` HT	B&B
(BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	ILEX GLABRA `COMPACTA`	COMPACT INKBERRY	30" - 36"	РОТ
	JUNIPERUS X PFITZERIANA `SEA GREEN`	SEA GREEN PFITZER JUNIPER	24" - 30"	РОТ

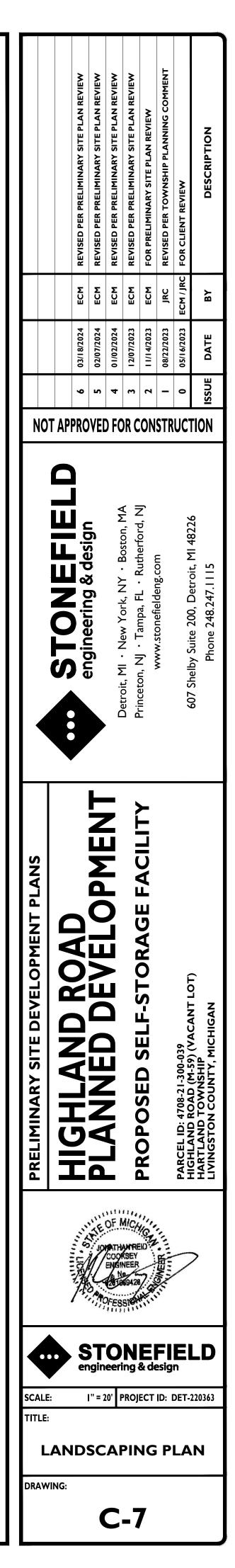
CODE SECTION	REQUIRED	PROPOSED
	PD LANDSCAPE REQUIRMENTS	
§ 3.1.18.C.vi.e.(2)	ADJACENT TO ROADS: I TREE PER 40 LF; I ORNAMENTAL	
	TREE PER 100 LF; 8 SHRUBS PER 40 LF	
	TREES: (180 FT) * (1 TREE / 30 FT FRONTAGE) = 6 TREES	6 TREES
	ORNAMENTAL TREES: (180 FT) * (1 TREE / 100 FT FRONTAGE)	
	= 2 TREES SHRUBS: (180 FT) * (8 PER 40 FT FRONTAGE) = 2 TREES	2 TREES
§ 3.1.18.C.vi.e.(3)	BERM REQUIRED WHEREVER FRONT, SIDE, OR REAR YARDS	ZINCES
y 5.1110.C. (i.c.(5)	ABUT ROW USED FOR PARKING.	
	MIN HEIGHT: 3 FT	3 FT
	TRASH SCREENING	
§ 5.7.5	TRASH ENCLOSURES SHALL BE SCREENED WITH PLANTINGS	COMPLIES
	GENERAL LANDSCAPING REQUIREMENTS	
§ 5.11.2.A.i.	ALL UNPAVED PORTIONS OF THE SITE SHALL BE PLANTED WITH GRASS, GROUNDCOVER OR SHRUBBERY	COMPLIES
§ 5.11.2.B.i.	IN ADDITION TO THE MINIMUM NUMBER OF TREES AND	
J - · · · · · ·	SHRUBS REQUIRED, ADDITIONAL TREES AND SHRUBS	
	COMPRISING 25% OF THE MINIMUM REQUIRED SHALL BE PROVIDED TO FURTHER ENHANCE THE SITE'S OVERALL	
	LANDSCAPING	
	(226 TREES/SHRUBS REQUIRED) * (0.25) = 283 TREES/SHRUBS	103 PLANTS
	GREENBELT REQUIREMENTS	
§ 5.11.2.C.i.	A GREENBELT SHALL BE PLANTED ALONG ANY R.O.W. WITHIN THE FIRST 30 FT OF THE PROPERTY	COMPLIES
§ 5.11.2.C.i.a.	MINIMUM WIDTH SHALL BE 20 FT	38.68 FT
§ 5.11.2.C.i.b.	I TREE FOR EVERY 30 LF OF FRONTAGE	55.5511
3 5.1 1.2. C.i.b.	(180 FT) * (1 TREE / 30 FT FRONTAGE) = 6 TREES	6 TREES
§ 5.11.2.C.i.c.	3 ORNAMENTAL TREES FOR THE INITIAL 40 LF OF FRONTAGE,	0 111220
y	AND I ORNAMENTAL TREE FOR EVERY 20 LF OF ADDITIONAL FRONTAGE	
	3 TREES + (140 FT * 1 TREE / 20 FT FRONTAGE) = 10 TREES	10 TREES
§ 5.11.2.C.ii	THE GREENBELT SHALL BE PLANTED WITH GRASS,	COMPLIES
-	GROUNDCOVER, SHRUBBERY, OR OTHER PLANT MATERIAL	
	A MINIMUM 15 FT WIDE LANDSCAPE AREA SHALL BE PROVIDED ALONG THE LENGTH OF INTERNAL ROADWAYS	22.90 FT
	PROVIDED ALONG THE LENGTH OF INTERNAL ROADWATS	
	I TREE FOR EVERY 30 FT	
	(99 FT) * (I TREE / 30 FT FRONTAGE) = 4 TREES	4 TREES
	FOUNDATION LANDSCAPING	
§ 5.11.2.D.i.a.	THE LENGTH OF THE PLANTING AREA SHALL EQUAL	
	MINIMUM 60% OF FRONT AND SIDES OF THE BUILDING LENGTH ALONG THE FRONT AND SIDES OF BUILDINGS	
	THAT FACE A ROAD OR IS ADJACENT TO A PARKING LOT	
	(596 FT) * (0.60) = 358 LF REQUIRED LANDSCAPE AREA	0.0 FT (W)
§ 5.11.2.D.i.b.	PLANTING AREAS SHALL BE MINIMUM 8 FT WIDE WHEN	DOES NOT
	ADJACENT TO THE BUILDING	COMPLY (W
§ 5.11.2.D.i.c.	I ORNAMENTAL TREE FOR EVERY 30 FT OF BUILDING LENGTH	
	(596 FT) * (I TREE / 30 FT FRONTAGE) = 20 TREES	0 TREES (W)
	8 SMALL SHRUBS FOR EVERY 30 FT OF BUILDING LENGTH	
	(596 FT) * (8 SHRUBS / 30 FT FRONTAGE) = 158 SHRUBS	0 SHRUBS (\
	PERIMETER PARKING LOT LANDSCAPING	
§ 5.11.2.E.ii.a.	PARKING LOTS SHALL BE SCREENED OR BUFFERED FROM THE R.O.W.	COMPLIES
§ 5.11.2.E.ii.a.(2)	EVERGREEN HEDGEROW MINIMUM 3 FT HIGH SHALL BE	COMPLIES
3	PROVIDED	
§ 5.11.2.E.ii.b.	PERIMETER AREAS NOT VISIBLE FROM A PUBLIC ROAD SHALL	
	BE LANDSCAPED WITH MINIMUM I TREE FOR EVERY 30 FT (581 FT) * (1 TREE / 30 FT) = 20 TREES	20 TREES
	WHEN CANOPY TREES ARE USED, UNDERSTORY SHRUBS ARE	COMPLIES
	REQUIRED TO BUFFER/SCREEN THE PARKING LOT	
§ 5.11.2.G.ii	BUFFER REQUIREMENTS	
	GROUND MOUNTED EQUIPMENT SHALL BE SCREENED ON	COMPLIES
	AT LEAST 3 SIDES	
8511201		
§ 5.11.3.C.i.	TREE SPECIES SHALL BE REQUIRED TO MEET THE LEVEL OF DIVERSITY BASED ON THEIR QUANTITY:	
	61-100 TREES REQUIRES MINIMUM 4 SPECIES	COMPLIES

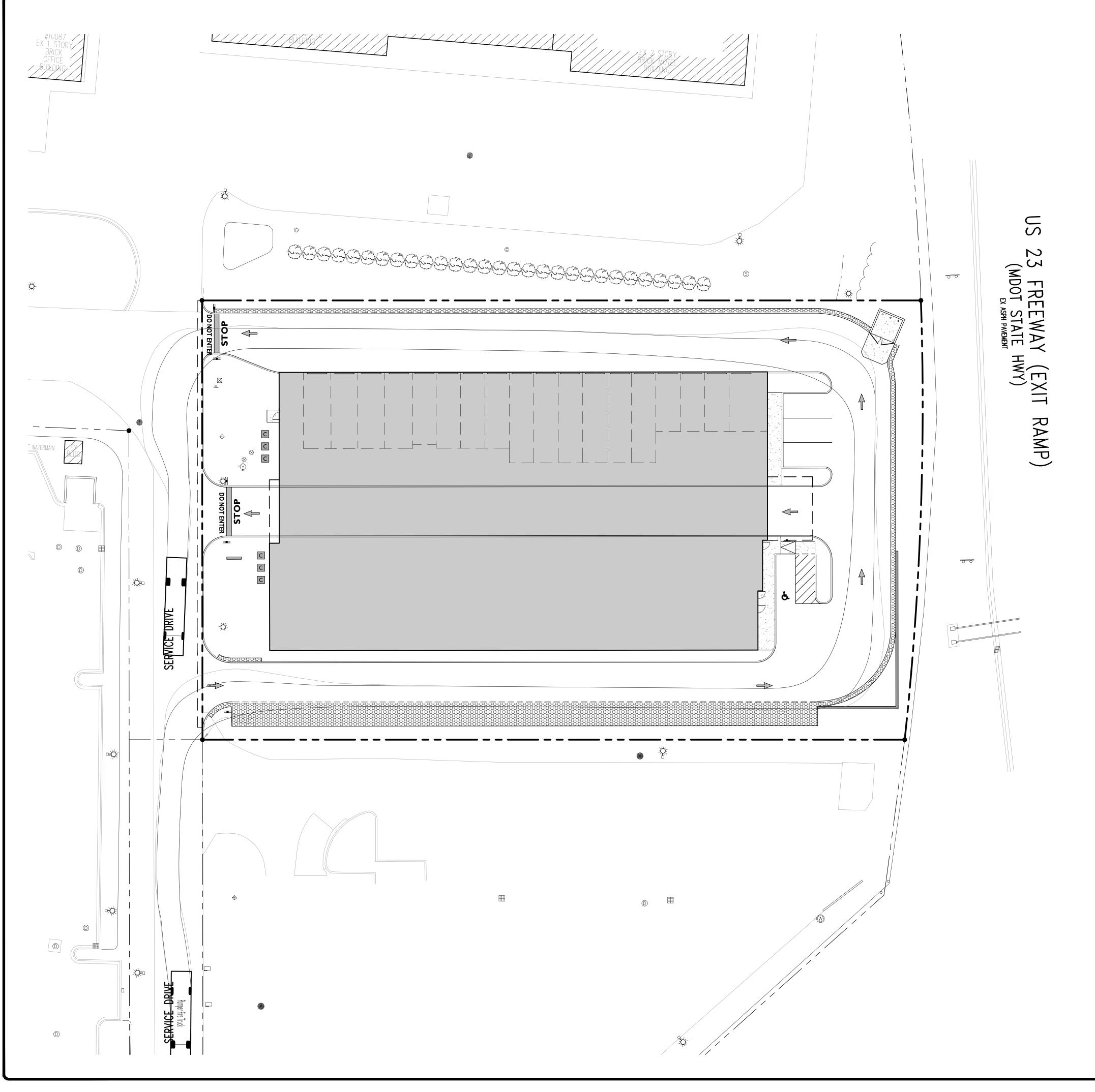
LANDSCAPING NOTES

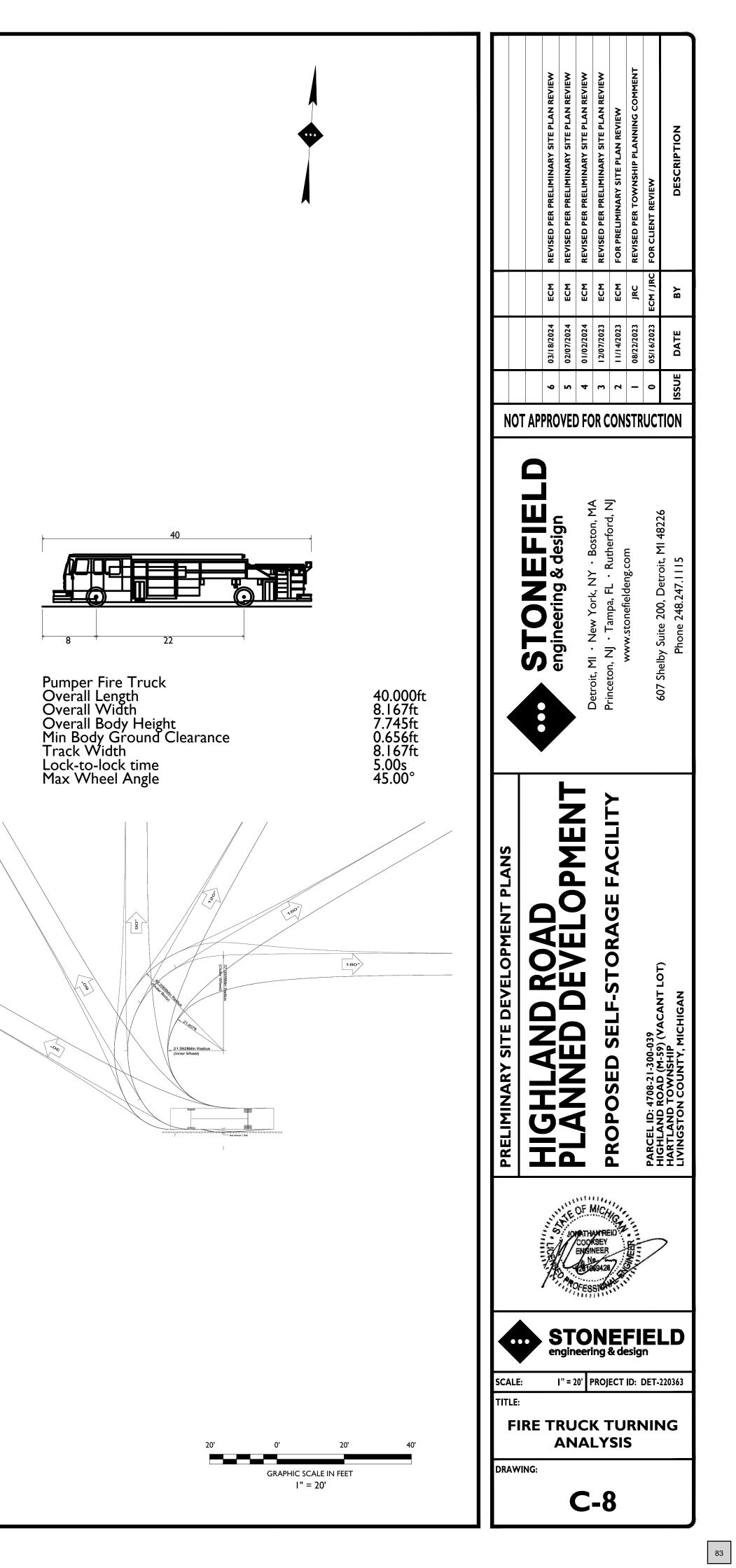
- I. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS

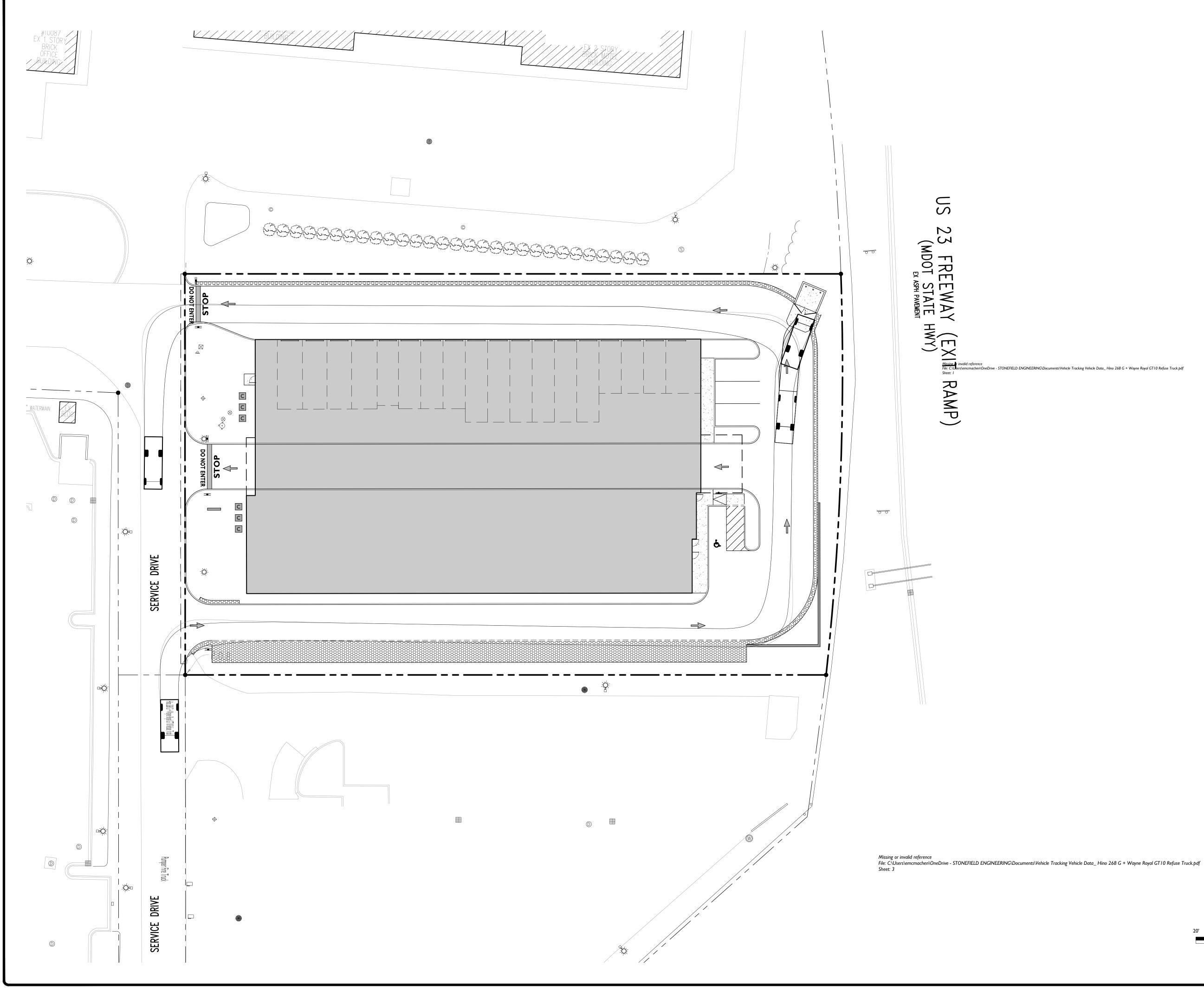
- LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
 THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
 THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO I FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS
- SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
 6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.

GRAPHIC SCALE IN FEET I" = 20'

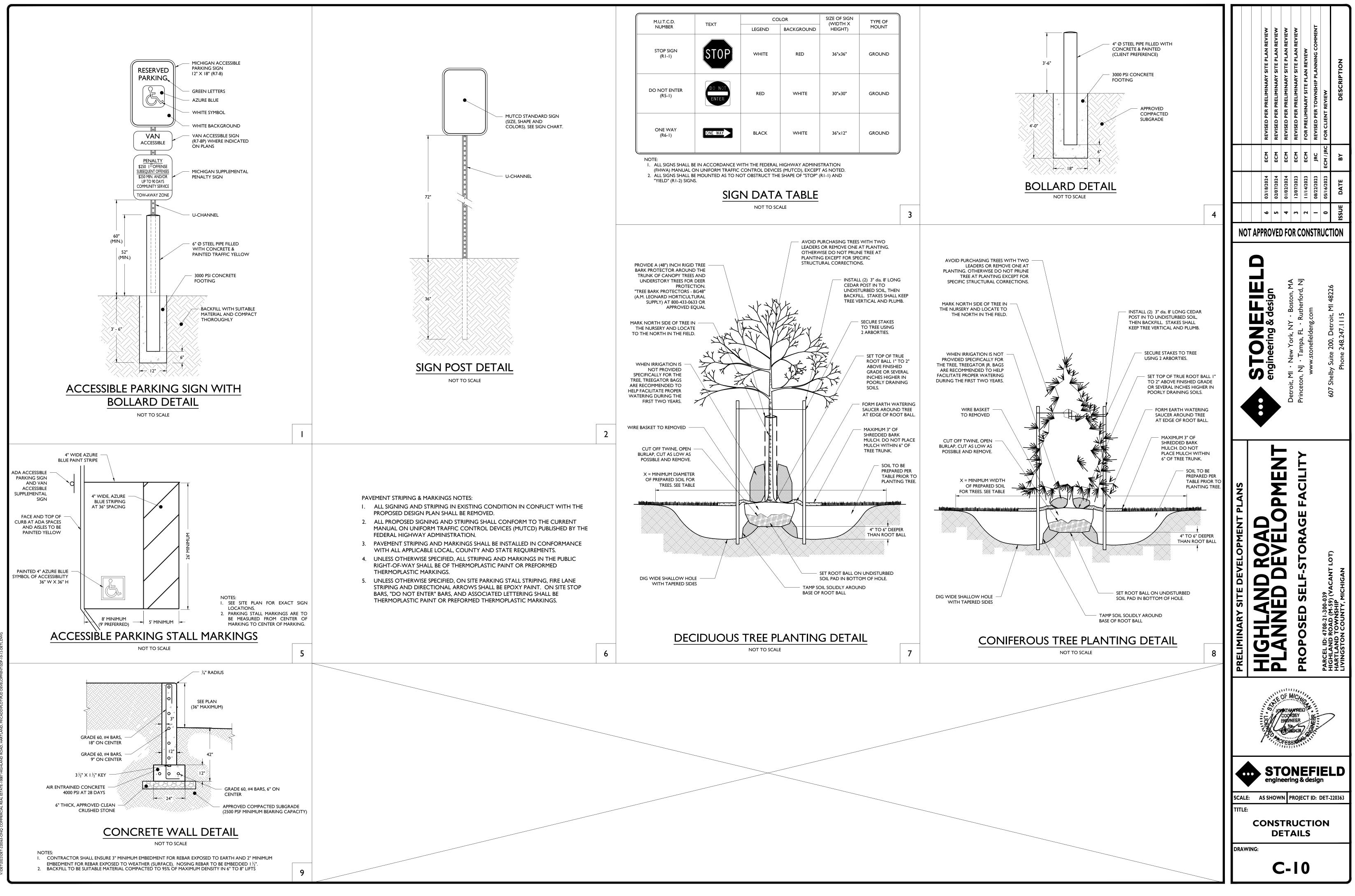


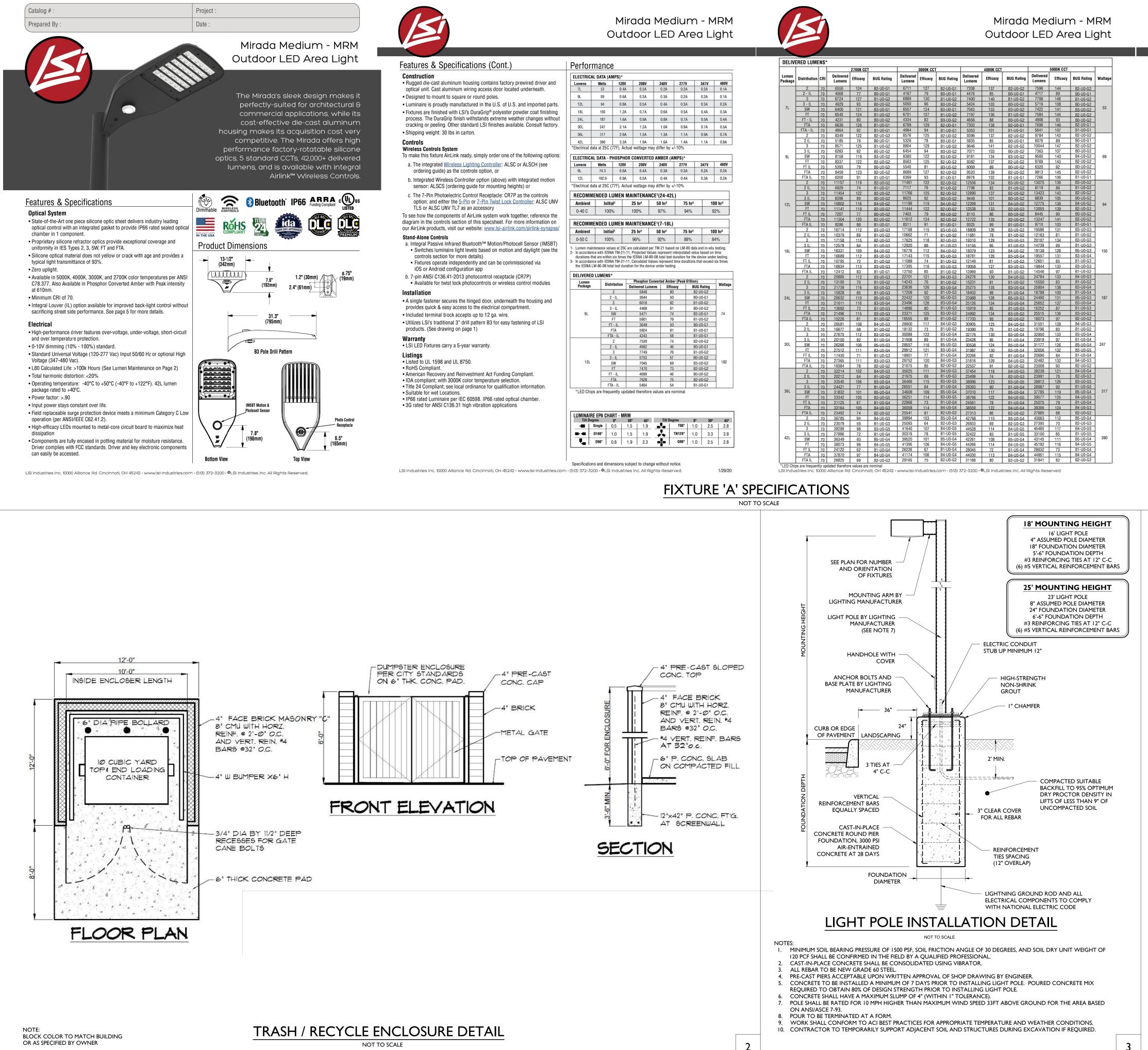




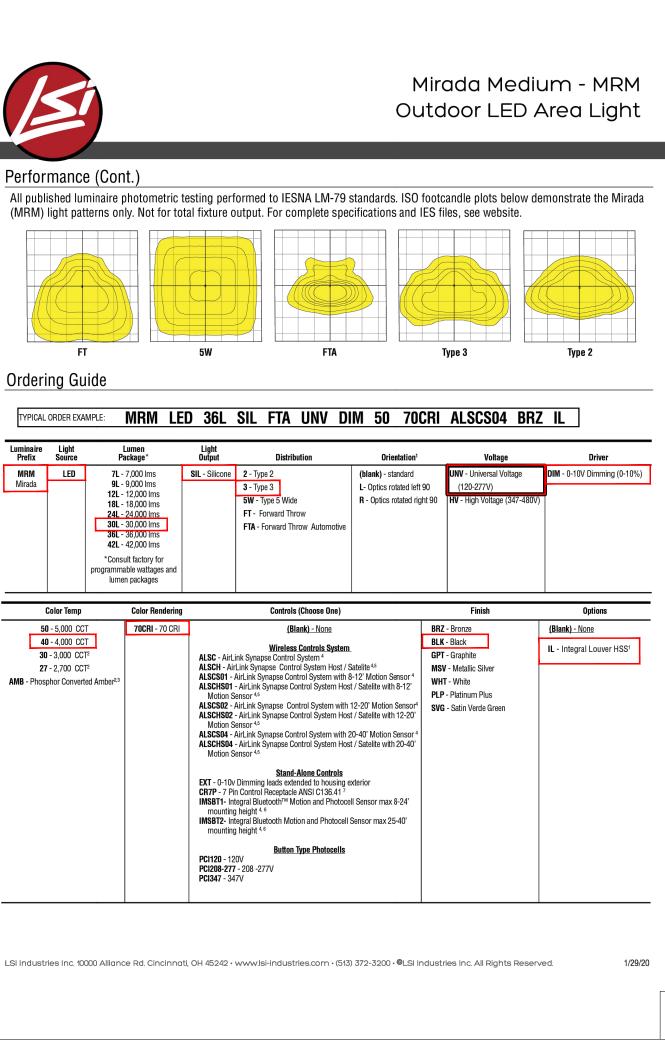


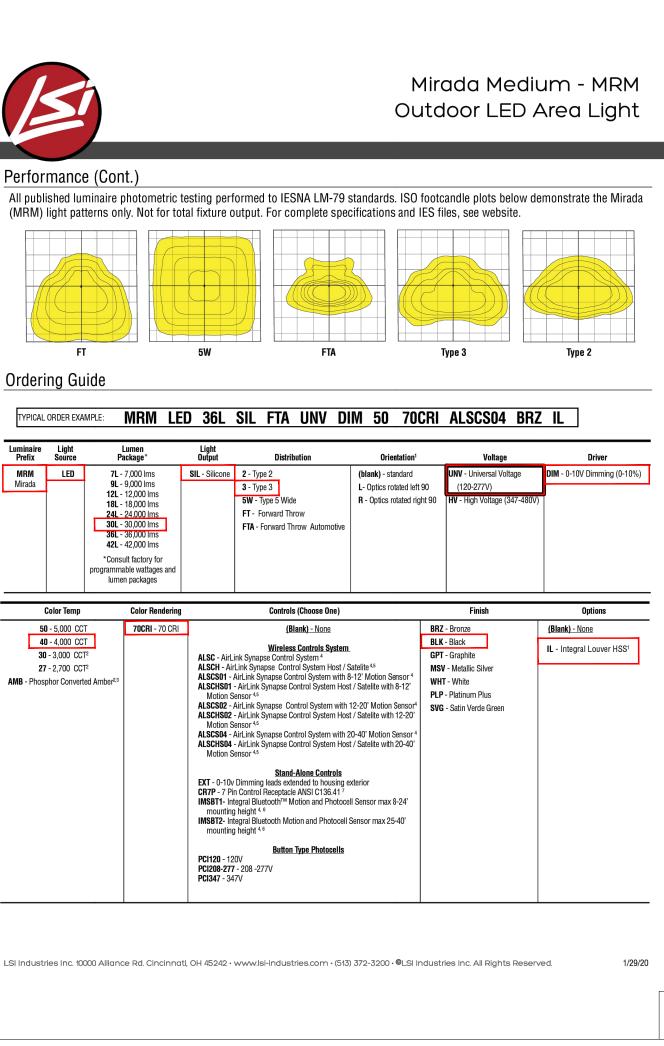
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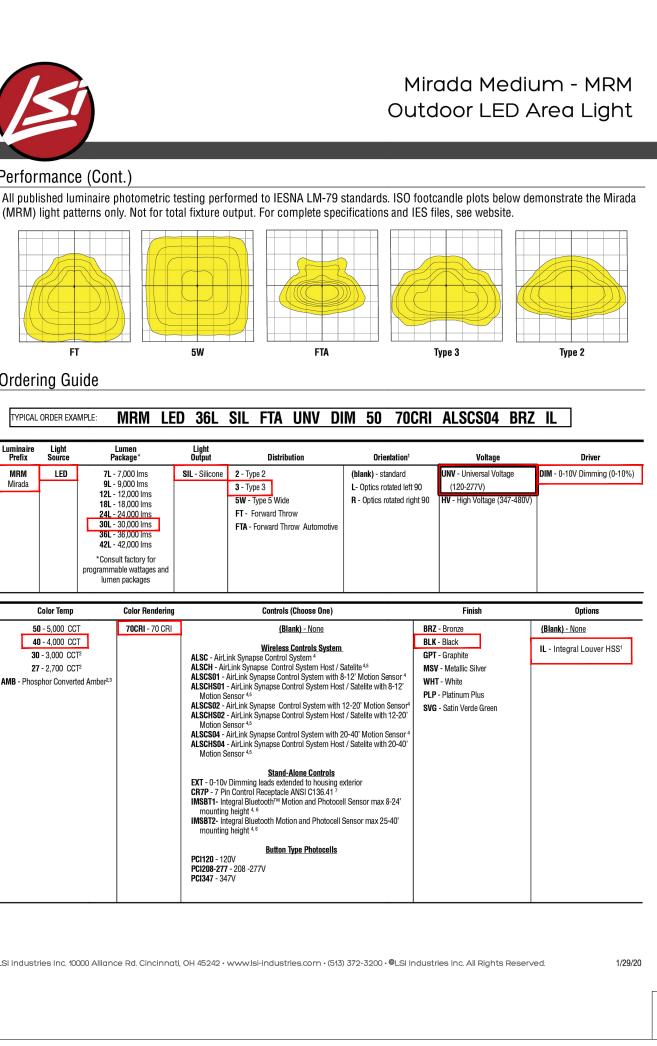


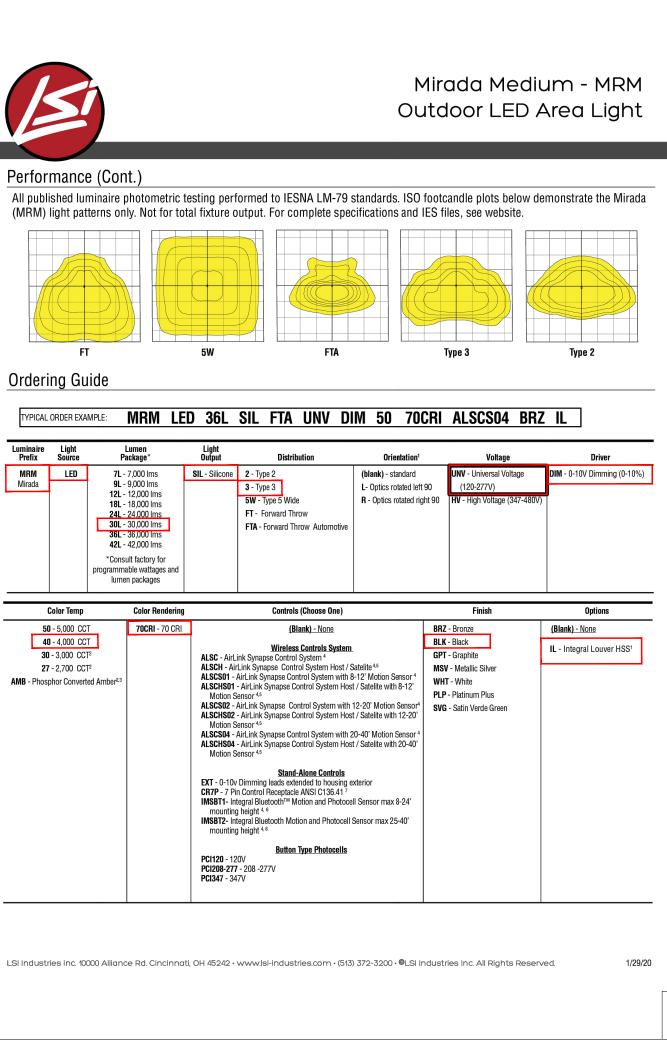


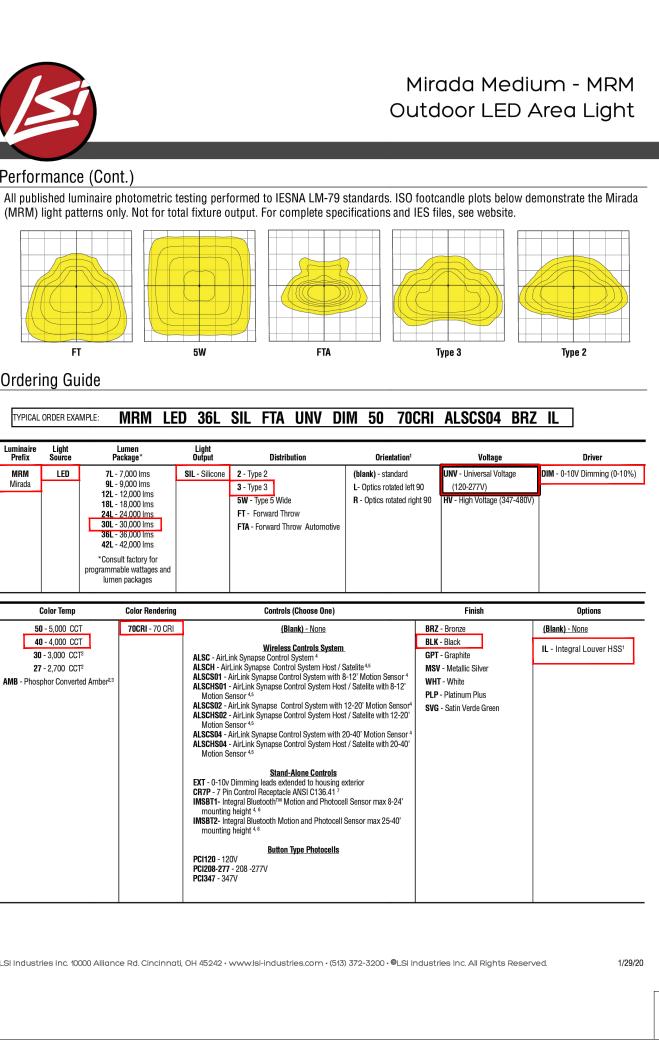








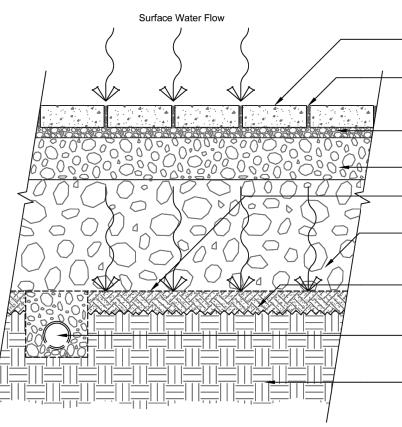




PERMEABLE PAVER

CROSS SECTION

Permeable Paver Detail - Low Infiltration - Heavy Duty



- Unilock Permeable Pavers Permeable Joint Opening Aggregate Open-Graded, Crushed, Angular Stone; ASTM No.8 or 1/8 to 3/16" Granite Chip (2-5mm)

REF: CS_COM_Permeable_Low_Infiltration_Heavy_Duty

1-1/2" Permeable Setting Bed Aggregate: Open-Graded, Crushed, Angular Stone; ASTM No.8 6" Min. Permeable Base Aggregate: Open -Graded, Crushed, Angular ASTM No.57 Drivegrid Geogrird or Geotextile

16" Min. Permeable Subbase - Aggregate: Open-Graded, Crushed, Angular Stone ASTM No.2 3" Infiltration Material Mix: Scarify

Subgrade Surface; Spread Sand, Till and Compact PVC Underdrain Pipe; Install

0.5"/HR; Wrap with Geotextile Subgrade Material: Min. - CBR - 5% (Compact if Less than 5%) Slope to Drain

if Infiltration is Less Than

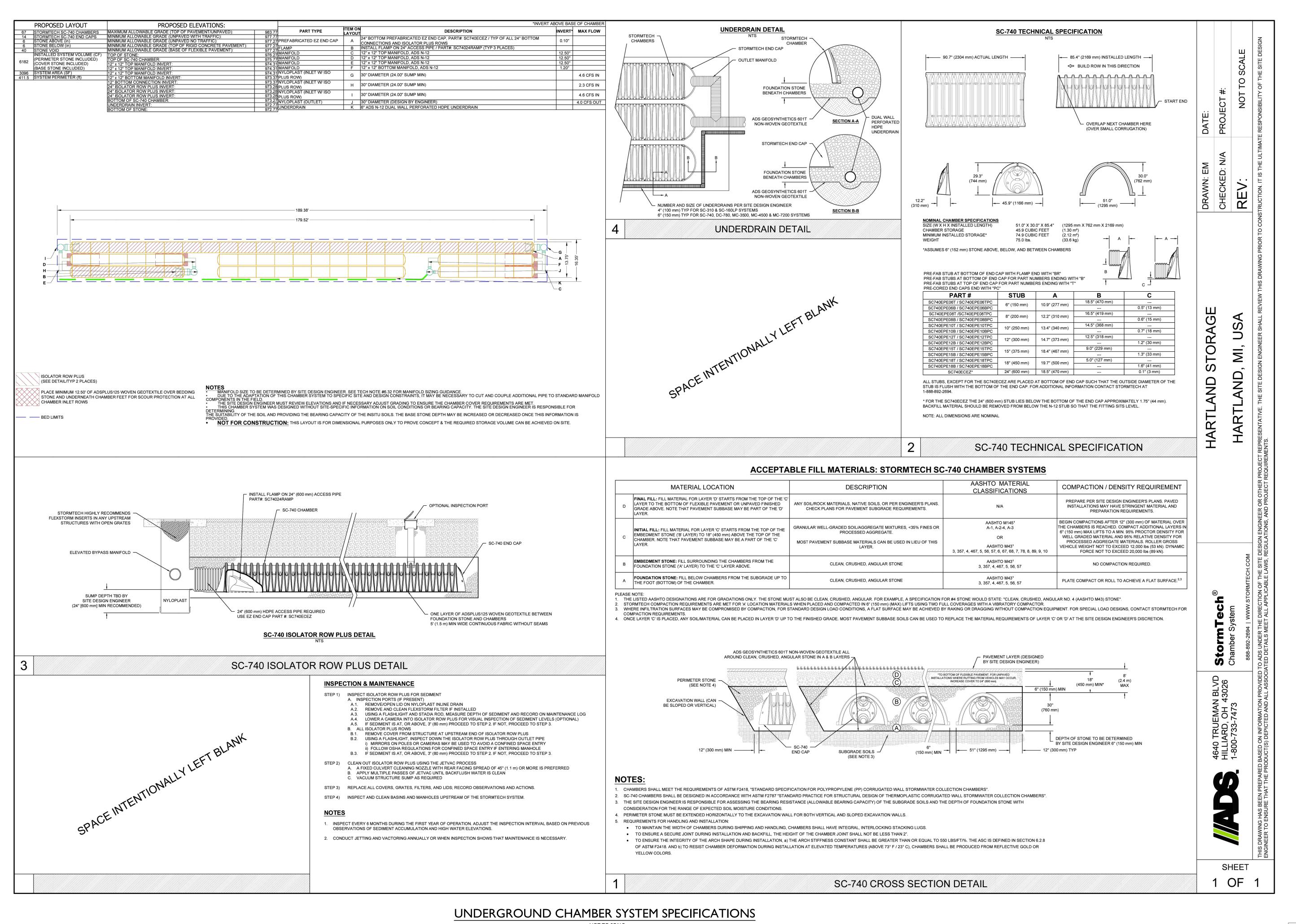


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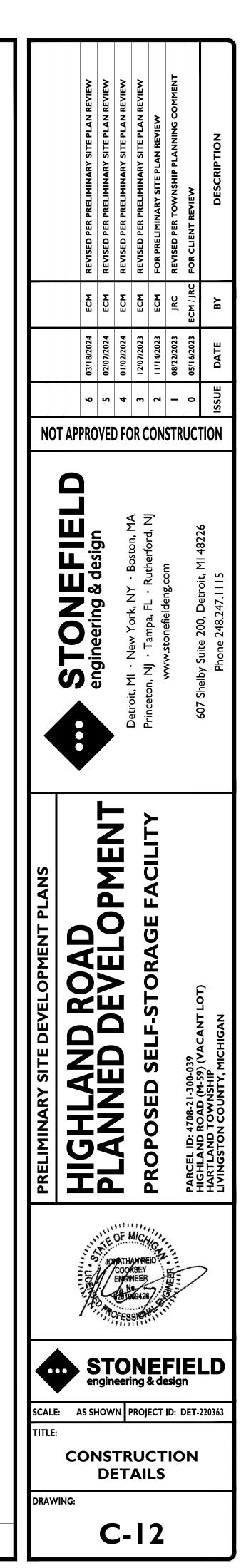


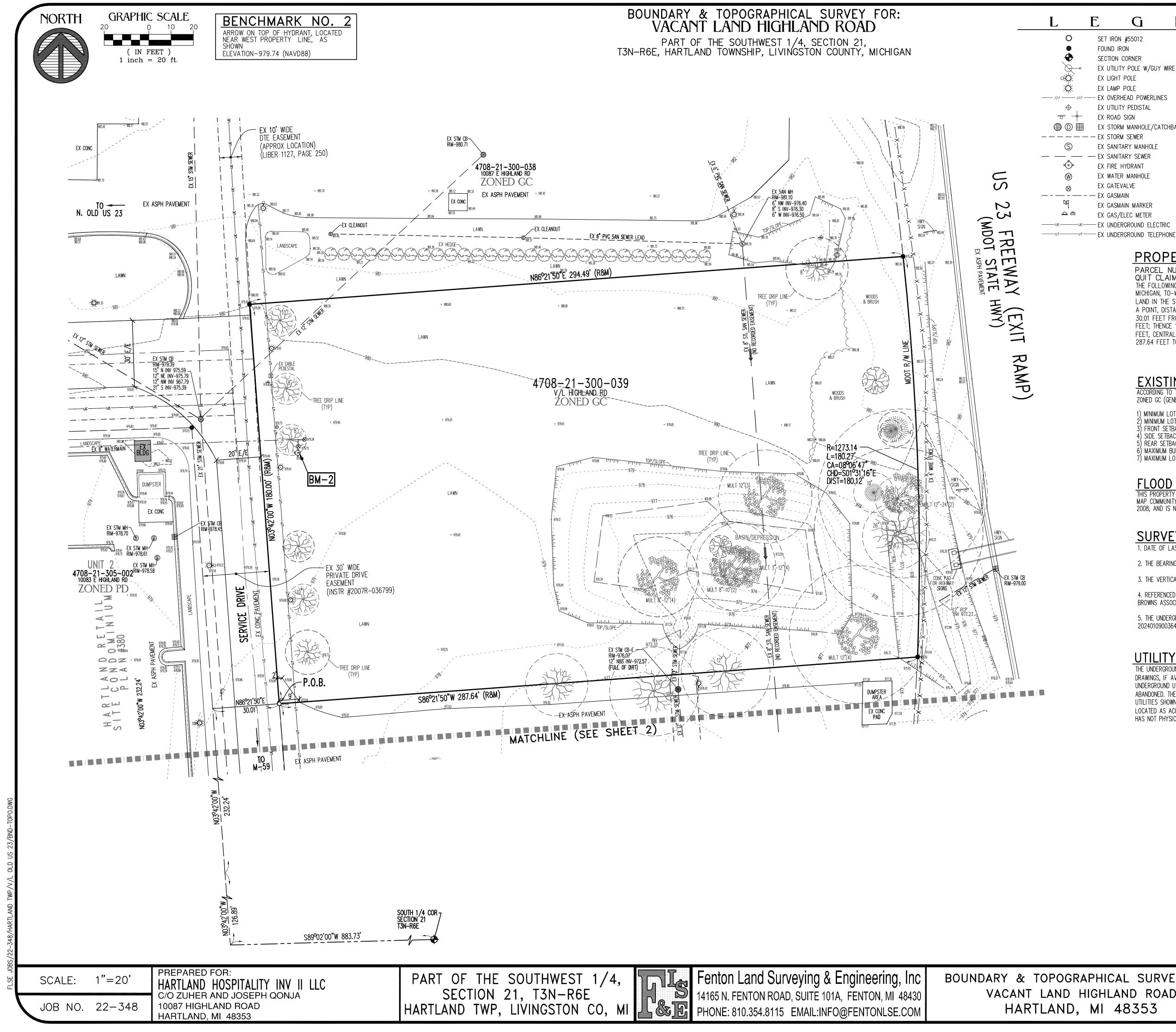
This cross section is intended for preliminary design purposes only. Confirm site conditions and consult with a qualified design professional or installer prior to installation

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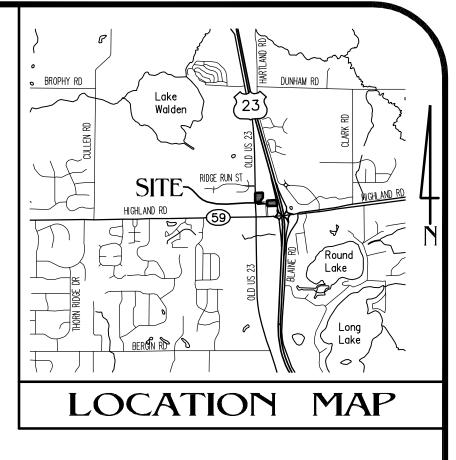
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PROPERTY DESCRIPTION

PARCEL NUMBER 4708-21-300-039, V/L HIGHLAND ROAD QUIT CLAIM DEED, BOOK 2014R-022364, DATED 08-11-2014

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE TOWNSHIP OF HARTLAND, COUNTY OF LIVINGSTON, AND STATE OF MICHIGAN, TO-WIT:

LAND IN THE SW 1/4 SECTION 21, T.3N., R.6E., HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT, DISTANT S89°02'00"W, 883.73 FEET AND N03°42'00"W, 126.89 FEET AND N03°42'00"W, 232.24 FEET AND N86°21'50"E, 30.01 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 21; THENCE N03°42'00"W, 180.00 FEET; THENCE N86°21'50"E, 294.49 FEET; THENCE 180.27 FEET ALONG THE ARC OF A CURVE TO THE RIGHT ALONG HIGHWAY US-23, HAVING A RADIUS OF 1273.14 FEET, CENTRAL ANGLE OF 08°06'47" AND A CHORD BEARING AND DISTANCE OF S01°31'16"E, 180.12 FEET; THENCE S86°21'50"W, 287.64 FEET TO THE POINT OF BEGINNING. CONTAINING 1.21 ACRES.

EXISTING ZONING INFORMATION:

ACCORDING TO THE CURRENT HARTLAND TOWNSHIP ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED GC (GENERAL COMMERCIAL DISTRICT), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:

- 1) MINIMUM LOT AREA = WITHOUT SEWER = 40,000 SF, WITH SEWER = 20,000 SF 2) MINIMUM LOT WIDTH = 120 FEET
- 3) FRONT SETBACK = 50 FEET
- 4) SIDE SETBACK = 15 FEET
- 5) REAR SETBACK = WITHOUT SEWER = 0 FEET, WITH SEWER 40 FEET
 6) MAXIMUM BUILDING HEIGHT = 35 FEET (2.5 STORIES)
 7) MAXIMUM LOT COVERAGE (PRINCIPLE STRUCTURE) = 75 PERCENT

FLOOD PLAIN NOTE:

THIS PROPERTY IS IN ZONE "X" (AREAS OF MINIMAL FLOODING) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 26093C0219D WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 17, 2008. AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR NOTES:

1. DATE OF LAST FIELD WORK: NOVEMBER 28, 2022.

- 2. THE BEARINGS ARE RELATIVE TO THE DESCRIPTION, AS PROVIDED BY CLIENT.
- 3. THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).

4. REFERENCED SURVEY BY BOSS ENGINEERING, JOB NO 88593-B, DATED 09-26-89 AND A SURVEY BY MASON BROWNS ASSOCIATES, LLC, JOB NO 13-018A.

5. THE UNDERGROUND ELECTRIC AND TELEPHONE LOCATIONS WERE PROVIDED BY MISS DIG, TICKET NO. 2024010900364-000, AND ARE SHOWN PER INFORMATION THEY PROVIDED US.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS, IF AVAILABLE. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



REVISIONS DRN. BY:

DSN BY:

CHK'D BY:

APPR BY: J.P.W.

02.07.2023

02.12.2024



J.R.B.

J.P.W.

D.S.S. 11.30.2022

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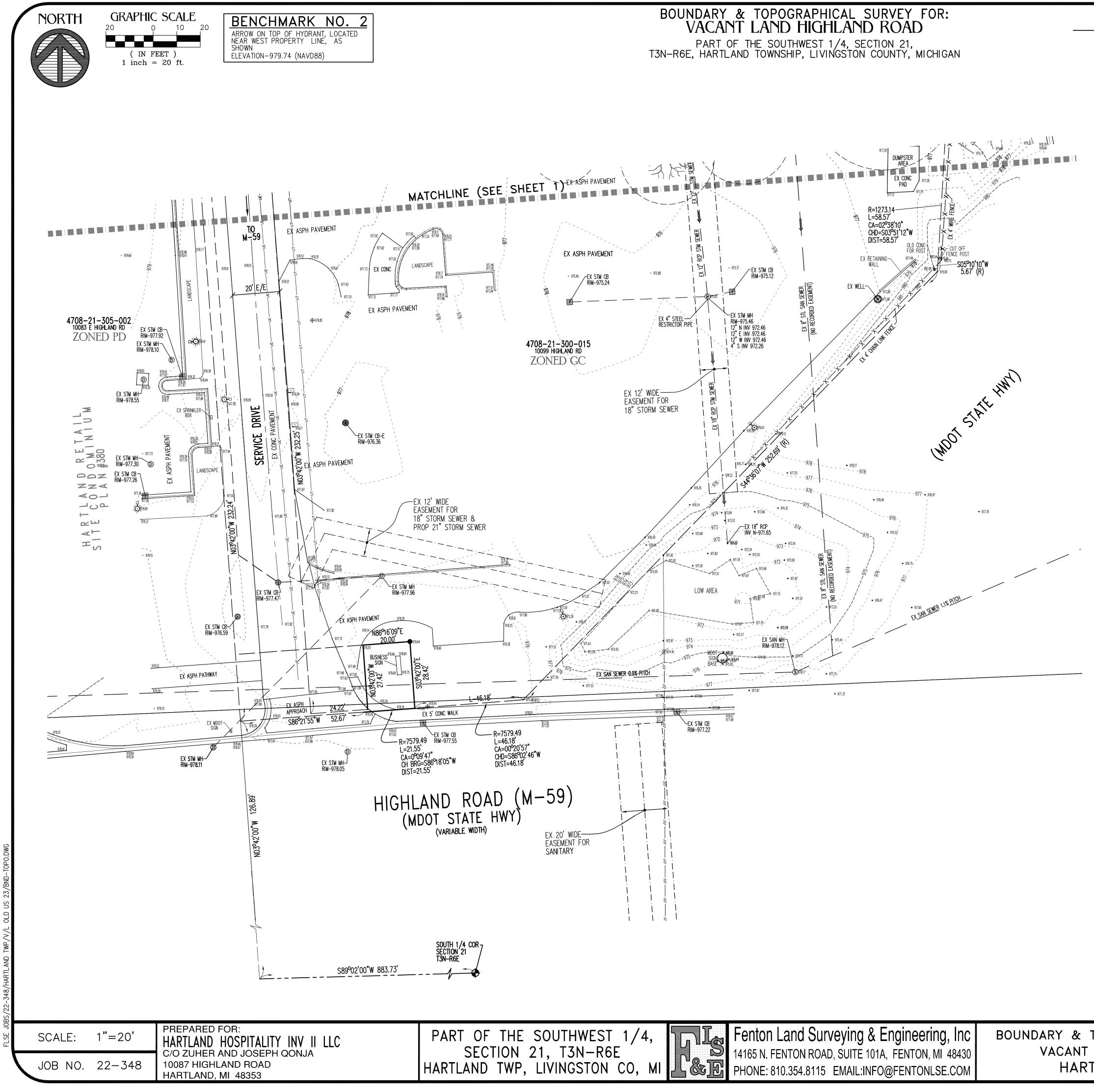
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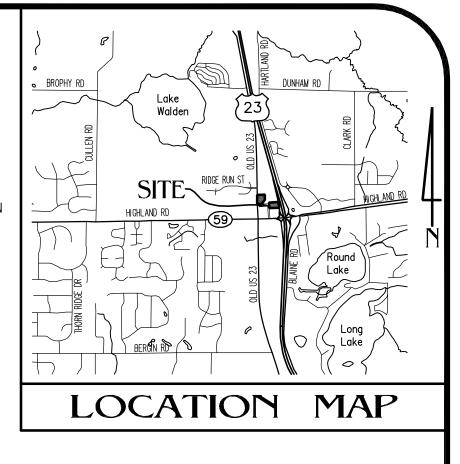


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------ EX UNDERGROUND TELEPHONE



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REVISIONS DRN. BY:

DSN BY:

CHK'D BY:

APPR BY:

02.07.2023

02.12.2024



J.R.B.

J.P.W.

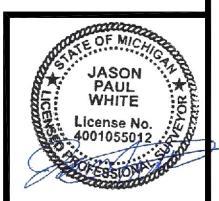
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Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By:	Troy Langer, Planning Director
Subject:	Site Plan with Special Land Use Application #24-004 Amend Special Land Use to permit microbrewery at winery building, at Spicer Orchards, 10411 Clyde Road
Date:	May 29, 2024

Recommended Action

Move to Approve of Site Plan with Special Land Use Application #24-004, request to amend the Special Land Use and permit a microbrewery at Spicer Orchards, at 10411 Clyde Road, as outlined in the staff memorandum dated May 16, 2024.

Approval is subject to the following conditions:

- 1. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated May 16, 2024, on the Construction Plan Set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
- 2. The applicant shall submit an updated Spicer Orchards Farm Market Event Schedule, as was approved under SUP #18-002, with the Construction Plan Set.
- 3. The plans shall be revised to show a grease interceptor on the Construction Plan Set, as applicable.
- 4. A land use permit is required prior to commencement of any interior renovations in the winery building for the microbrewery.
- 5. Applicant shall secure all applicable approvals, licenses, and permits from County agencies and any other government entity, as applicable.
- 6. Applicant complies with any requirements of the Township Engineering Consultant, Hartland Deerfield Fire Authority, and all other government agencies, as applicable.
- 7. Any new use, change in use, or modification(s) to the site shall require approvals from the Township prior to any such activities occurring.
- 8. The entire microbrewery shall be located within the existing winery building. No exterior equipment shall be permitted.
- 9. (Any other conditions the Planning Commission deems necessary)

Discussion

Applicant: Shannon Rowe

SP #24-004 Microbrewery at Spicer Orchards May 29, 2024 Page 2

Site Description

Spicer Orchards is located east of US-23, north of Clyde Road, and west of Hartland Road in Section 4 of Hartland Township. The farm operation is comprised of several parcels which are all zoned CA-Conservation Agricultural. The subject site (Parcel ID #04-300-003) includes the farm market building and the winery building. The parcel is approximately 28.5 acres in size. The site is served by private on-site well (water) and septic field(s).

Overview and Background Information

Spicer Orchards, per the information submitted by the applicant, began in 1967 with the original farm market operating out of an existing barn. At that time, the farm market offered a small retail area, bakery and cider press. The business has expanded over the years to include a winery and wine tasting facility. The history is summarized below, as applicable to the current request.

The Planning Commission recommended approval of the request at the public hearing on May 23, 2024.

Conditional Use Permit Application #116

On September 18, 1979, the Township Board approved Conditional Use Permit Application #116, to allow agricultural-related commercial activities at Spicer Orchards, which was considered a conditional use for AR-Agricultural and Residential. The subject site was zoned AR-Agricultural and Residential in 1979. The Township records are unclear if the conditional use permit had an expiration date. Approval of CU #116 allowed a farm market that sells primarily food produced on a farm, and the sale of other items produced on other farms such as food items, related gifts and antiques. A site plan was provided showing the layout of the farm operation and associated buildings in 1979. The farm market was housed in an existing barn, which is the same building used today for the farm market.

CU/SP #116

On November 14, 1990, the Planning Commission approved a minor amendment to the plans under CU #116, for the addition of restrooms to the barn/farm market building.

Small Wine Maker License Approval January 6, 2009

Grape production began on the property in 2008, as another product grown on the farm facility. The intent was to start a winery as another business at Spicer Orchards. On January 6, 2009, the Township Board passed a resolution to approve the Liquor License Control Commission application for a new Small Wine Maker License for Spicer's Orchard Winery, LLC at 10411 Clyde Road, to operate a winery and tasting room. At that time, the wine tasting room was housed in the existing farm market building.

Land Use Permit #8296

On February 5, 2013, a land use permit was approved under LU #8296 for the construction of a wine storage building, approximately 26 feet by 80 feet in size. The building is located east of the existing farm market building. Per the application, the intended use for the building was to store wine.

SP/SUP Application #18-002

On May 10, 2018, the Planning Commission recommended approval of Site Plan with Special Land Use application #18-002, for the operation of a farm market with winery and wine tasting room, at Spicer Orchards. On June 5, 2018, the Township Board approved SP/SUP #18-002.

As part of this Special Land Use application, the applicant provided a summary of the events held at Spicer Orchards throughout the calendar year and includes the winery and wine tasting room (year of 2018). Essentially the list was approved as part of SP/Special Land Use #18-002. Any changes or additions to that list requires an amendment to the Special Land Use permit.

SP #24-004 Microbrewery at Spicer Orchards May 29, 2024 Page 3

Land Use Permit #18-002

On December 12, 2018, Land Use Permit #18-002 was approved for the interior renovations to the wine storage building, as related to the winery and wine tasting use(s).

Request

The applicant is requesting to amend the originally approved Special Land Use Permit, SP/SUP #18-002, and request to add microbrewery as a special land use. The intent, per the applicant, is to expand the offerings at the current wine tasting room, with the addition of a selection of beer. The entire microbrewery and related equipment for brewing beer will be housed inside the winery building, based on the submitted floor plan. Other interior renovations, additions to the building, or outdoor equipment as related to the microbrewery, are not proposed or shown on the plans.

As background information, the wine tasting facility is generally open daily from 11 A.M. to 6 P.M. but days and hours vary throughout the year. Light food is available for purchase. Seating and tables for approximately 16 patrons are provided, based on the submitted floor plan.

Per the Hartland Township Zoning Ordinance and the State Enabling Act, a public hearing is required for the special land use application. Given the requirements for publishing a notice for the special land use, the public hearing has been scheduled for the May 23, 2024, Planning Commission meeting.

Approval Procedure

The request is to amend the Special Land Use permit and add a microbrewery as a new use at Spicer Orchards. The amendment requires approval from the Township Board. The Planning Commission will review the special land use and make a recommendation to the Township Board. The Township Board is the final approval authority for a special land use. The project does not require site plan approval as exterior site improvements are not proposed at this time. A land use permit is required for the interior improvements related to the microbrewery use.

SPECIAL LAND USE REVIEW – General Standards

In accordance with Section 6.6, Special Uses, of the Hartland Township Zoning Ordinance, the following standards shall serve the Planning Commission and Township Board as the basis for decisions involving such uses. The standards are provided below, and the applicant has submitted a letter, as a separate attachment, which addresses the special use criteria.

- A. Be harmonious and in accordance with the objectives, intent, and purposes of this Ordinance.
- B. Be compatible with the natural environment and existing and future land uses in the vicinity.
- C. Be compatible with the Hartland Township Comprehensive Plan.
- D. Be served adequately by essential facilities and public services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to adequately provide any such service.
- E. Not be detrimental, hazardous, or disturbing to the existing or future neighboring uses, person, property, or the public welfare.
- F. Not create additional requirements at public cost for public facilities and services that will be detrimental to the economic welfare of the community.

SP #24-004 Microbrewery at Spicer Orchards May 29, 2024 Page 4

The Planning Department believes the use, microbrewery, can and will meet the criteria listed above for the special land use request. The applicant has provided responses to the Special Use Criteria. The applicant will be responsible for all applicable approvals and permits from the Township, State, and County agencies and departments for the proposed use.

SPECIAL LAND USE REVIEW – Applicable Site Standards

The Zoning Ordinance does not provide separate use standards for a microbrewery in Section 4.0. and site plan review is not required at this time. The microbrewery and related equipment will be housed within the existing winery/wine tasting building. Additional parking needs are not anticipated. The submitted floor plan is consistent with the plans approved in 2018 under SP/SUP #18-002.

The Planning Commission, following full review and consideration of the special land use application as presented, shall prepare a recommendation for consideration by the Hartland Township Board of Trustees. Before any determination is made, a public hearing shall be held allowing for any members of the public to comment on the proposal. The Planning Commission may recommend approval, approval with conditions, or denial of the special use permit application.

The Planning Commission's decision, the basis for the decision, and all conditions imposed, shall be described in a written statement, which shall be made a part of the record of the meeting. The Township Board is the final approval authority for a special land use.

Other Requirements-Zoning Ordinance Standards

Nothing additional at this time.

Hartland Township DPW Review

The request does not require review by the Township DPW.

Hartland Township Engineer's Review (SDA)

The Township's Engineer (SDA) provided comments in the email dated April 30, 2024, which indicated that per current Township standards, a grease interceptor is required for all food service operations. Sufficient information was not provided to know if a grease interceptor is present on the site currently. Per the email, no domestic connections for domestic water will be allowed to the interceptor. Information/details about a grease interceptor should be provided on the Construction Plan Set, as applicable.

Hartland Deerfield Fire Authority Review

The Hartland Deerfield Fire Inspector noted a Fire and Life Safety inspection will be conducted once the new equipment is installed and ready for use.

Attachments:

- 1. Applicant's answers to SUP criteria PDF
- 2. Spicer Orchards Farm Market Event Schedule 2108 PDF
- 3. Site Plans dated 05.01.2018 PDF
- 4. Proposed floor plan 2024 PDF

T:\PLANNING DEPARTMENT\PLANNING COMMISSION\2024 Planning Commission Activity\Site Plan Applications\SUP #24-004 Spicer's Microbrewery\Staff reports\PC\SUP #24-004 staff report TB 05.29.2024.docx

All Special Land Use Permit have SUP criteria. All applicants provide answers to those criteria. I've attached the SUP criteria for you. Could you provide a written response to those criteria. We will provide your written response to the Planning Commission and Township Board.

Also, the plans that you submitted show that the area for the Microbrewery is in the same area as the Winery. Are there changes to the Winery? Will this reduce the capacity of the Winery? Or, will this area sufficiently handle both?

Also, do you plan to hire additional staff or change hours, due to the Microbrewery? Just general questions.

General Questions from Email

Yes, the microbrewery will be located in the same area as the winery. The equipment has a very small footprint with a 60 gallon capacity, which is approximately the size of two barrels. There will not be changes to the winery building or tasting room, just the addition of equipment and more options for customers. There should be no reduction in the capacity of the winery as the products all fall in similar categories, wine, hard cider, and now adding beers. We do not plan to hire additional staff or change our hours. This really is a very minor addition to our current operation.

Provide Short Answers to SUP Criteria:

- A. Yes, we feel the addition of a small microbrewery is harmonious to the current business plan. There are no real changes other than the addition of small size equipment for brewing to add additional offerings at our current winery. The size of the equipment is very small with a production capacity of 60 Gallons: For a visual reference, this is about 2 barrels.
- B. Yes, the addition is compatible with the natural environment as it does not make any changes to the current landscape.
- C. Yes, this fits with the Township Comprehensive Plan as this has been an existing business since 1967.
- D. Yes, this facility is served adequately by current infrastructure as the proposed additions are small and will not adversely affect the current infrastructure.
- E. The addition of the microbrewery will be encompassed in our current facility which is already licensed with a small wine makers permit, licensed outdoor service area, and tasting room permit. It is located in the middle of 300 contiguous acres so it does not have a large impact on neighboring persons or property.
- F. There should be no additional cost or requirements for the community as the current infrastructure well supports the current business plan.

Spicer Orchards Farm Market, Cider Mill, & Winery

Spicer Orchards seeks to provide a family themed farm adventure experience while educating people about the production of basic foods.

Farm Market is closed approximately 6 months of the year. One of the biggest challenges we face is trying to employ seasonal help when only being open ½ the year. It is difficult to retain and train staff for ½ the year. It also means 6 months with no income. The Winery helps us to overcome some of those challenges. Although the winery is open year round, it is very slow in the winter months without the Family Fun Activities of the Pick Your Own Operation.

Crops currently grown on our Farm Include: Strawberries, Cherries, Blueberries, Peaches, Pears, Apricots, Apples, Pumpkins, Gourds, Squash, Corn, Hay, Tomatoes, Raspberries, Asparagus, Plums

January - February

Farm Market Closed Winery Open Thursday to Sunday 11 am to 6 pm Winery sells Cider/Donuts/Popular Farm Market Items along with Hard Cider, Wine that is produced at our Farm. Winery accepts private wine tasting parties. Attendance is limited to 25 people. Parties are typically after regular hours from 7 pm to 9 pm. Winery hosts Small Events-- 1 to 2 times per month because the demand for private events are rare. Events range from Book Club, Painting Night, Euchre Tournament Attendance limited to 25 or less depending on the event. March – April Farm Market Closed Winery

In Past years this was the same as January/February.

This year we are experimenting with being open 7 days a 11 to 6 during March and April. We want to see if we can make enough money to keep employees year round. It is difficult to train staff seasonally.

<u>May</u>

Farm Market Opens usually in Mid May depending on when the Strawberry crop comes in. Strawberries have opened anywhere from May 25 to June 15 depending on Mother Nature. We usually open the market in Mid May because customers start calling to find out when Strawberries open. We try to sell donuts and cider to help pay for the staff and use this as an opportunity to train seasonal staff.

June, July, August

Farm Market

Open 8 am to 7 pm - Summer Pick Your Own Hours-Farm Market Activities:

> Wagon-Train Rides to the PYO Field School/Child Care Farm Tours by appointment Cider/Donuts/Fudge/Ice Cream available at the Farm Bakery Fruit & Produce available - PYO or Ready Picked in the market. Farm Animals and Playground are open Farm Themed Birthday Parties (currently 15-20 per year) Farm Themed Family/Group Events (currently 1-3 per year) Farm Themed Weddings- Small Size 25-50 (1 per year)

We are considering the idea of hosting a 5K Farm Themed Run in August which is a very slow summer month. We have a hard time retaining seasonal employees because we have to reduce hours from Mid-July to 2nd week of September.

Winery

Open 11 to 7 – Summer Hours

Seasonal Winery Café is open 11 am to 3pm

Café serves Sandwiches. Everything is pre-cooked/prepared offsite and assembled in our small kitchen. We use our fruit/produce when we can.

Winery accepts private wine tasting parties. Attendance is limited to 25 people.

Parties are typically after regular hour from 7 pm to 9 pm.

September, October

Farm Market

Open 9 am to 7pm Farm Market Activities In Addition to the Items Listed in June, July, August Weekend activities begin After Labor Day which include: Bounce Houses in the Playground (Vendor) Corn Maze Opens Additional Vendors offer food choices Additional Vendors offer farm themed activities: ex. Face painting, Pony Rides, Artwork 1 Fall event: Harvest Festival/Craft show

Winery

Open 11 am to 7pm Same activities as previously listed.

November

Farm Market Open 9am to 6 pm All Farm Activities typically end. Pick Your Own closes for the season

Winery

Open 11 am to 6pm Winery Café Closes for the Season, will reopen in June when Strawberries arrive. Winery offers same Private Event Opportunities

December

Farm Market

Open Monday – Wednesday 9am to 6pm Open Thursday to Sunday 9am to 8pm or 9pm Farm Activities Include: Santa's Sleigh Workshop & Precut Christmas Tree Farm Opens

Winery

Same as November

SPICER ORCHARDS FARM MARKET, LLC "AS-BULT" DRAMNGS- MNERY BULD 10411 CLYDE ROAD, FENTON, MI 48430

CODE REVIEW/BUILDING DATA

PROJECT SCOPE IS TO PREPARE "AS-BUILT" DRAWINGS OF WINERY/TASTING ROOM BUILDING RENOVATIONS IN EXISTING STORAGE BUILDING.

	APPLICABLE CODES: MICHIGAN BUILDING CODE- 2015 MICHIGAN REHABILITATION CODE- 2015 ACCESSIBILITY: ICC/ANSI AIIT.I-2009 MICHIGAN MECHANICAL CODE- 2015 MICHIGAN PLUMBING CODE- 2015 STATE OF MICHIGAN ELECTRICAL CODE (NEC-2017) W/ PART & AMMENDMENTS
Δ	STATE OF MICHICAR ELECTRICAL CODE (NEC-2017) W PART & AMMENDMENTS
\Box	
$\left\langle \right\rangle$	I. USE GROUP: B: BUSINESS, (RESTAURANT W/ LESS THAN 50 OCCPANTS) M: MERCANTILE, (MARKET) F-2: LOW-HAZARD FACTORY INDUSTRIAL, (WINERY) S-2: LOW-HAZARD STORAGE, (FOOD PRODUCTS)
$\left<\right>$	2. TYPE OF CONSTRUCTION: A.) TYPE "VB" (5B), COMBUSTIBLE/ UNPROTECTED
$\left.\right\rangle$	3. HEIGHT AND AREA LIMITATIONS (TABLE 506.2): WORST CASE IS B OCCUPANCY CLASSIFICATION, TYPE "VB", = 9,000 SQ. FT.
$\left.\right>$	FRONTAGE INCREASE (SEC. 506.3) 9,000 SQ. FT. + 75% = 15,750 SQ. FT. ALLOWED
	EXISTING WINERY BUILDING: 2,018 SQ. FT.
	4. OCCUPANT LOAD (TABLE 1004.1.2): MERCANTILE AREAS= 60 SQ. FT.(GROSS)/PER OCCUPANT KITCHEN/MANUFACTURING AREAS= 200 SQ. FT.(GROSS)/PER OCCUPANT STORAGE/STOCK AREAS= 300 SQ. FT.(GROSS)/PER OCCUPANT DINING AREAS= 15 SQ. FT.(NET)/PER OCCUPANT
	MERCANTILE AREAS= 528 /60 SQ. FT.(GROSS)= 9 OCC. KITCHEN/MANUFACTURING AREAS= 920/200 SQ. FT.(GROSS)= 5 OCC STORAGE/STOCK AREAS= 170/300 SQ. FT.(GROSS)= 1 OCC. DINING AREAS= SEATING= 16 OCC. DECK/PORCH DINING AREAS= SEATING= 14 OCC.
	TOTAL OCCUPANCY: 45 PERSONS
	 AUTOMATIC SPRINKLER SYSTEMS (SECTION 903.2): AN AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED FOR "M", "F-I" AND "S-2" FIRE AREAS THAT DO NOT EXCEED I2,000 SQ.FT. THE EXISTING BUILDING DOES NOT CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM.
^	6. SEPARATION FROM OTHER USES, (MBC TABLE 508.3.3) A.) NO SEPERATION REQUIRED
$ \land $	
	 MINIMUM NUMBER OF EXITS AND CONTINUITY (SECTION 1006.2.1): TWO EXITS REQUIRED FROM MERCANTILE OCCUPANCY WHEN MAX. OCCUPANTS EXCEEDS 49 OR MAXIMUM TRAVEL DISTANCE EXCEEDS 75 FEET. MINIMUM ONE EXIT REQUIRED/ TWO EXITS PROVIDED.

- 8. EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2) A.) "M" AND "F-I" USE: W/O SPRINKLER= MAX. 200 FEET
- 9. CORRIDORS, DEAD-ENDS (SECTION 1020.4): DEAD-END CORRIDOR LENGTHS SHALL BE NO MORE THAN 20 FEET.
- 10. DOOR SWING (SECTION 1010.1.2): DOORS SHALL SWING IN THE DIRECTION OF EGRESS WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS.
- II. DOORS (SECTION 1010.1.1): DOORS SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES. TYPE, EXCEPT IN OFFICE AREAS WITH AN OCCUPANT LOAD OF 10 OR LESS, (SEC. 1008.1.2, EXCEPTION I).
- 12. DOOR HARDWARE (SECTION 1010.1.10):
- 13. TWO EXITS OR EXIT ACCESS DOORWAYS, SECTION 1015.2.1; WHERE A BUILDING IS NOT EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THROUGHOUT, THE SEPARATION DISTANCE OF THE EXIT DOORS SHALL NOT BE LESS THAN ONE-HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL OF THE AREA SERVED.
- 14. MEANS OF EGRESS DOORS (SECTION 1008): GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
- 15. MEANS OF EGRESS ILLUMINATION (SECTION 1008): THAN I FOOT-CANDLE AT THE WALKING SURFACE.
- 16. EXIT SIGNS (SECTION 1013):
- 17. PORTABLE FIRE EXTINGUISHERS, (SECTION 906.1): a.) THE CONTRACTOR SHALL PROVIDE A TEMPORARY PORTABLE FIRE EXTINGUISHER IS 75 FEET.

EGRESS DOORS SHALL BE OF THE PIVOTED OR SIDE-HINGED SWINGING

EACH MEANS OF EGRESS DOOR IN AREAS HAVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS SHALL BE EQUIPPED WITH PANIC HARDWARE.

THE MEANS OF EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. HARDWARE INCLUDING DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ARE REQUIRED TO BE BE ACCESSIBLE PER CHAPTER II OF THE BUILDING CODE AND SHALL NOT REQUIRE TIGHT

THE MEANS OF EGRESS SHALL BE ILLUMINATED AT ALL TIMES THE SPACE IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS

EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.

EXTINGUISHER ON THE PREMISES OF THE PROJECT DURING CONSTRUCTION. b.) PROVIDE A PERMANENT PORTABLE FIRE EXTINGUISHER MEETING REQUIREMENTS FOR LIGHT (LOW) HAZARD, CLASS A FIRES. MAXIMUM TRAVEL DISTANCE TO

- 18. GLASS AND GLAZING (CHAPTER 24): ALL INTERIOR GLAZING SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 2401 THROUGH 2407. 19. ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808. a.) WALL AND CEILING FINISHES (TABLE 803.11), NONSPRINKLED ROOMS OR SPACES OF USE GROUP M,F,S, SHALL HAVE A MINIMUM CLASS C RATING: FLAME SPREAD 76-200, SMOKE DEVELOPED 0-450. CORRIDORS SHALL HAVE A MINIMUM CLASS C RATING: FLAME SPREAD 76-200, SMOKE DEVELOPED 0-450. b.) INTERIOR FLOOR FINISHES (SECTION 804.4), IN ALL OCCUPANCIES INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS SHALL BE CLASS I (ONE) OR II (TWO) MATERIALS AND IN ACCORDANCE WITH NFPA 253, AND COMPLY WITH DOC FF-I "PILL TEST". 20. FIRE ALARM AND DETECTION SYSTEM SHALL BE PROVIDED AS REQUIRED PER SECTION 907 OF THE CODE. THE OCCUPANT LOADS DO NOT EXCEED THE NUMBER ALLOWED FOR F-2, S-2, OR M USES, THEREFORE NOT REQUIRED. 21. SERVICE COUNTER SHALL HAVE A PORTION A MINIMUM OF 36" WIDE AND MAX. 36" HIGH FOR BARRIER-FREE ACCESS. 22. MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (2015 MPC, TABLE 403.1):
- M, MERCANTILE (MARKET) WATER CLOSETS: MALE AND FEMALE; | PER 500 LAVATORIES: MALE AND FEMALE; | PER 750 BATH/SHOWER: N/A DRINKING FOUNTAIN: | PER 1,000 (I) SERVICE SINK
- 23. SEPERATE PLUMBING FACILITIES, (MPC, SECTION 403.2): EXCEPTION #2: SEPERATE EMPLOYEE FACILITIES ARE NOT REQUIRED IN OCCUPANCIES IN WHICH FEWER THAN 15 PEOPLE ARE EMPLOYED.

24. STAIR TREADS AND RISERS (SECTION 1011.5.2): STAIR RISER HEIGHTS SHALL BE MAX. 7" AND MIN. 4". TREAD DEPTH SHALL BE MIN. II"

25. HANDRAILS (SECTION 1014): HANDRAIL HEIGHT SHALL BE NOT LESS THAN 34 INCHES, AND NOT MORE THAN 38 INCHES. HANDRAILS SHALL EXTEND 12 INCHES HORIZONTALLY ABOVE THE TOP AND BOTTOM OF A RAMP. HANDRAILS SHALL EXTEND 12 INCHES HORIZONTALLY ABOVE THE TOP STAIR RISER, AND CONTINUE TO SLOPE FOR ONE TREAD BEYOND THE BOTTOM RISER.

26. GUARDS (SECTION 1015): GUARDS REQUIRED ALONG EDGE OF MEZZANINES, STAIRS, AND RAMPS SHALL BE A MINIMUM OF 42 INCHES HIGH ABOVE THE ADJACENT WALKING SURFACE.

27. AN ACCESSIBLE ROUTE IS NOT REQUIRED TO LEVELS AND MEZZANINES THAT HAVE AN AGGREGATE AREA OF NOT MORE THAN 3,000 SQ.FT. (SECTION 1104.4, EXCEPTION 1)

SCHEDULE OF DRAWINGS

COVER/TITLE SHEET

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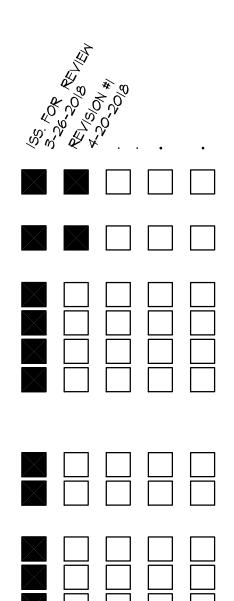
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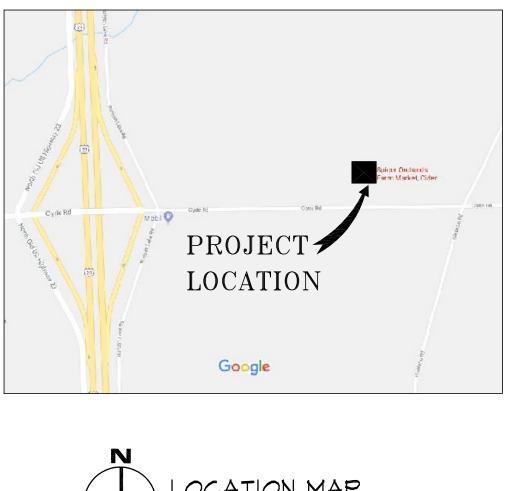
SITE PLAN AND NOTES

FLOOR PLAN AND NOTES EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS DOOR AND ROOM FINISH SCHEDULES

MECHANICAL PLAN AND NOTES PLUMBING PLAN AND NOTES

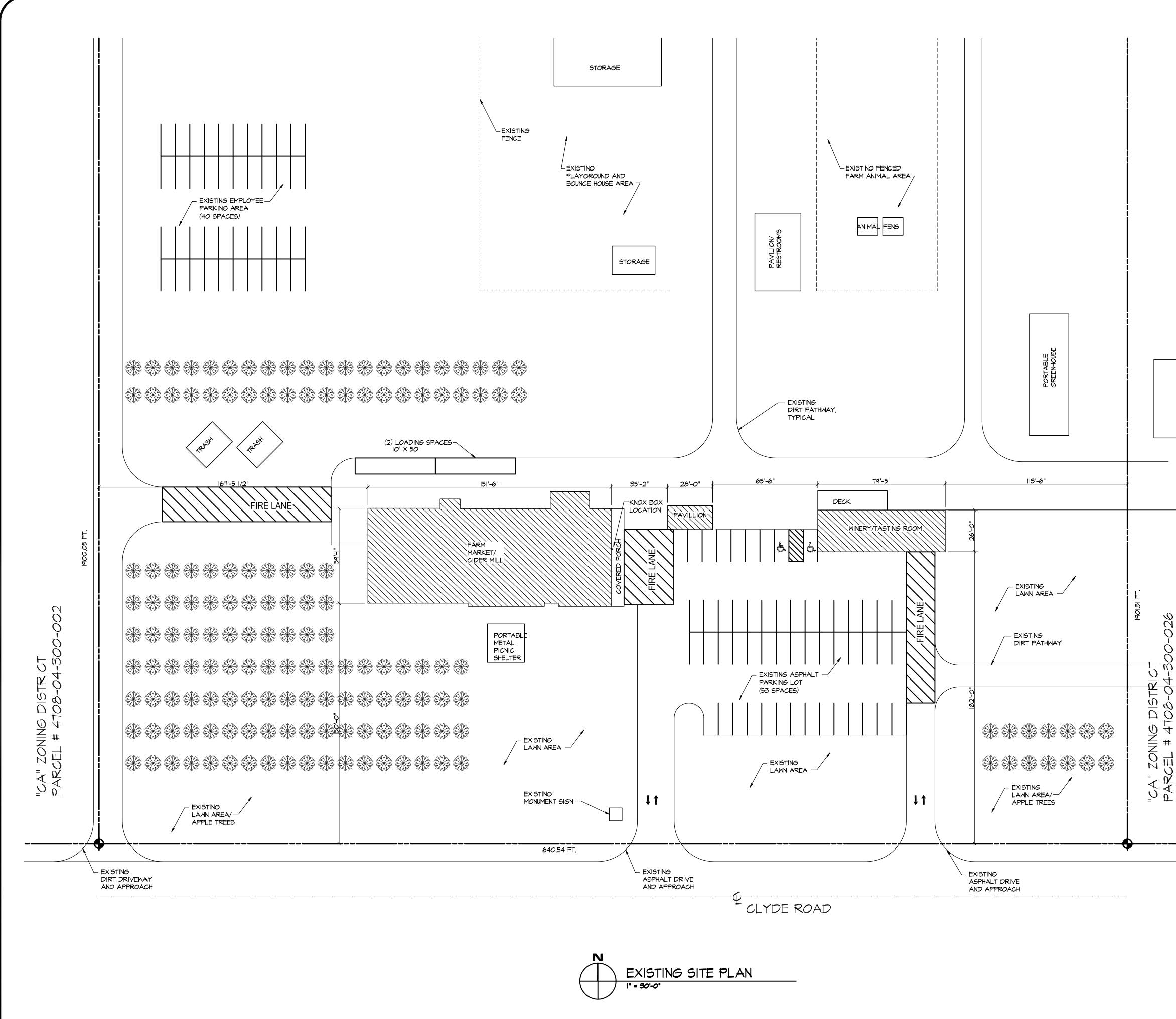
ELECTRICAL NOTES AND SCHEDULES LIGHTING PLAN AND NOTES POWER PLAN AND NOTES

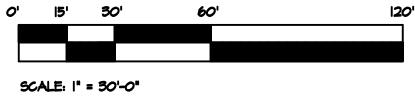




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	\square	LOCATION MAP	
	\bigcirc	NO SCALE	-

JOHN K. COSTA, AIA ARCHITECTURAL DESIGN & CONSULTATION, PLLC #17 OLD MILL DRIVE FLUSHING, MICHIGAN 48433 810-659-5275 FAX 810-659-53
AS-BUILT DRAWINGS FOR SPICER ORCHARDS FARM MARKET, LLC WINERY BUILDING 10411 CLYDE RD, FENTON, MI 48430
COVER-TITLE SHEET
REVISIONS
JOB NO: 018-010
DATE: 2-18-2018
DRAWN BY: JKC
SCALE: AS NOTED
SCALE: AS NOTED SHEET NO:



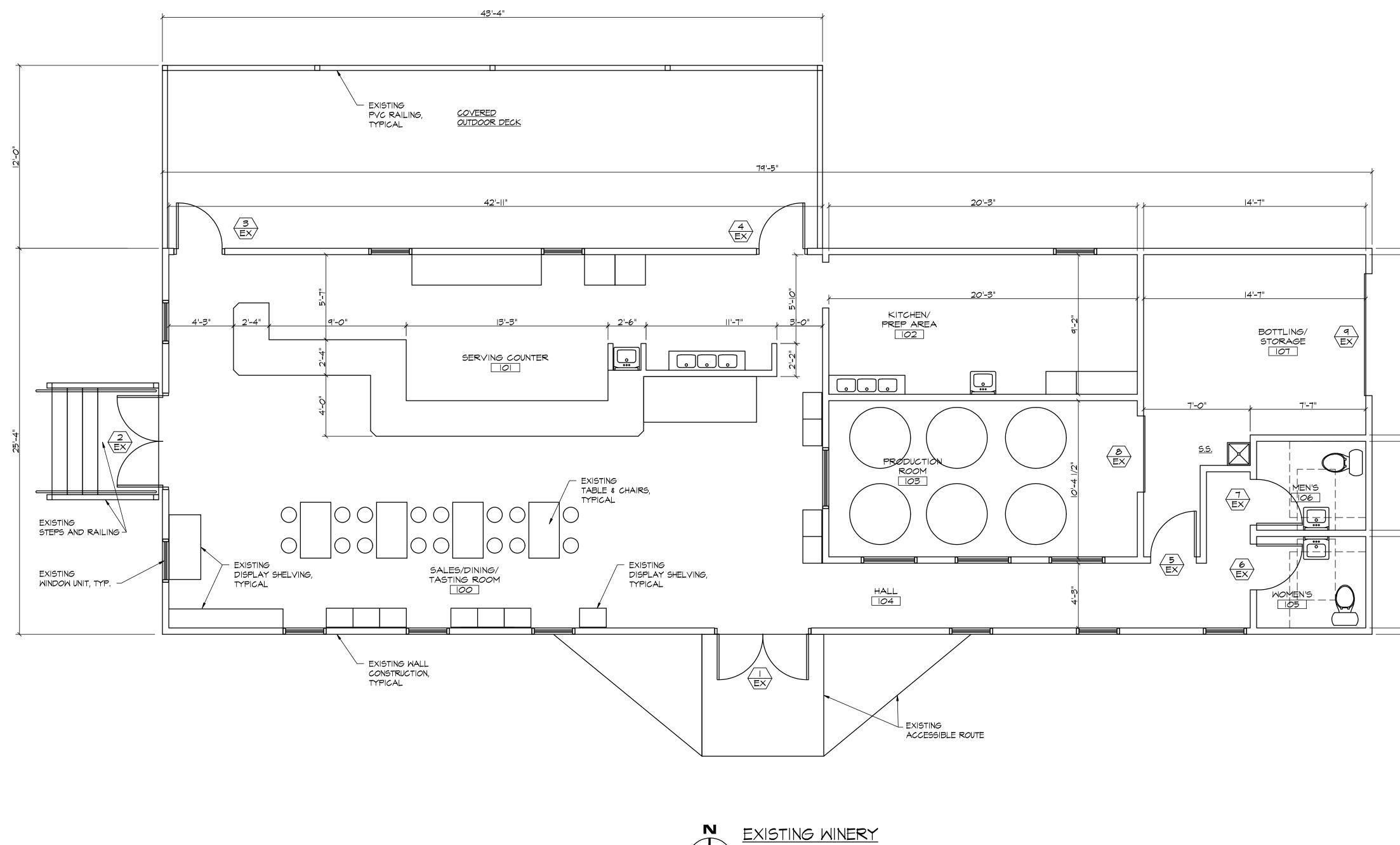


PROJECT OWNER REP./ CONTACT: ZONING: PARCEL#: REQUIRED SETBACKS: PARKING REQUIREMENTS:	5015 HARTLAND ROAD FENTON, MI 48430 SHANNON ROWE PHONE: (810) 632-7692 "CA", CONSERVATION AGRICULTURAL "SLU", SPECIAL LAND USE- FARM MARKET, CIDER MILL, AND YOU-PICK OPERATIONS ON A FARM 4708-04-300-003 FRONT YARD, 50 FT. REAR YARD, 50 FT. SIDE YARD, 15 FT. CLUSTERED COMMERCIAL: I SPACE/ 200 SQ FT USEABLE I SPACE PER EACH EMPLOYEE ON MAXIMUM WORKING SHIFT	JOHN K. COSTA, AIA ARCHITECTURAL DESIGN ALCONSULTATION, PLLC 417 OLD MILL DRIVI 810-659-5275 FAX 810-659-5399
BARRIER-FREE: LOADING/UNLOADING:	FARM MARKET: 5,442 SF (USEABLE)/200= 28 SPACESES REQUIRED WINERY: 2,012 SQ.FT. (USEABLE)/200= 10 SPACES REQUIRED 40 EMPLOYEES ON MAX. SHIFT= 40 SPACES REQUIRED TOTAL REQUIRED SPACES= 18 SPACES TOTAL PROVIDED SPACES= 93 SPACES 2 SPACE REQUIRED/ 2 SPACE PROVIDED 2 SPACE REQUIRED/2 SPACE PROVIDED	
LEGAL DE SEC. 4T3N R6E, EAST 1/2 OF FEET. CONTAINING 28.5 ACF	F SOUTHWEST 1/4 CORNER, EXCEPT THE NORTH 767	AS-BUILT DRAWINGS FOR SPICER ORCHARDS FARM MARKET & CIDER MILI 10411 CLYDE RD, FENTON, MI 48430
		EXISTING SITE PLAN AND NOTES
		REVISIONS 4-20-2018 A-20-2018 DIATE: 018-005 DATE: 2-18-2018 DRAWN BY: JKC SCALE: AS NOTED SHEET NO: C1

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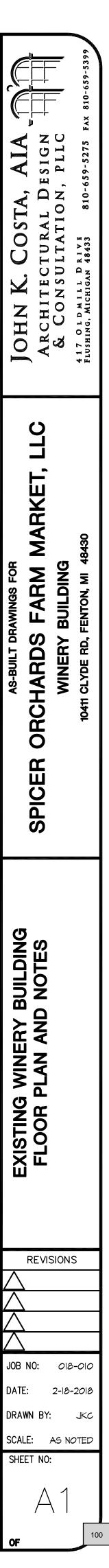
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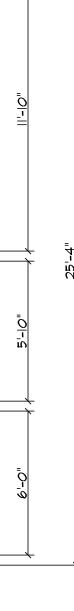
FLOOR PLAN

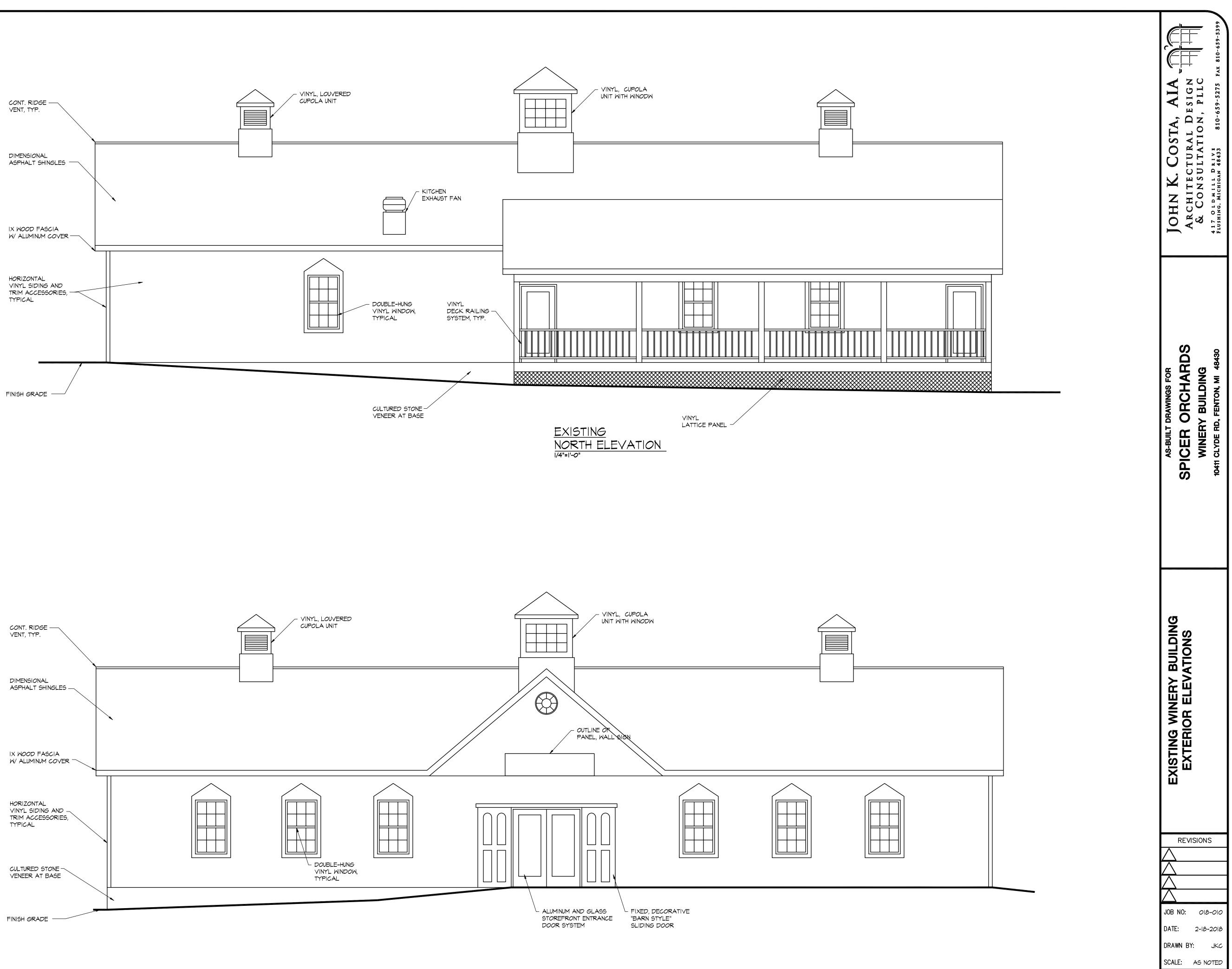
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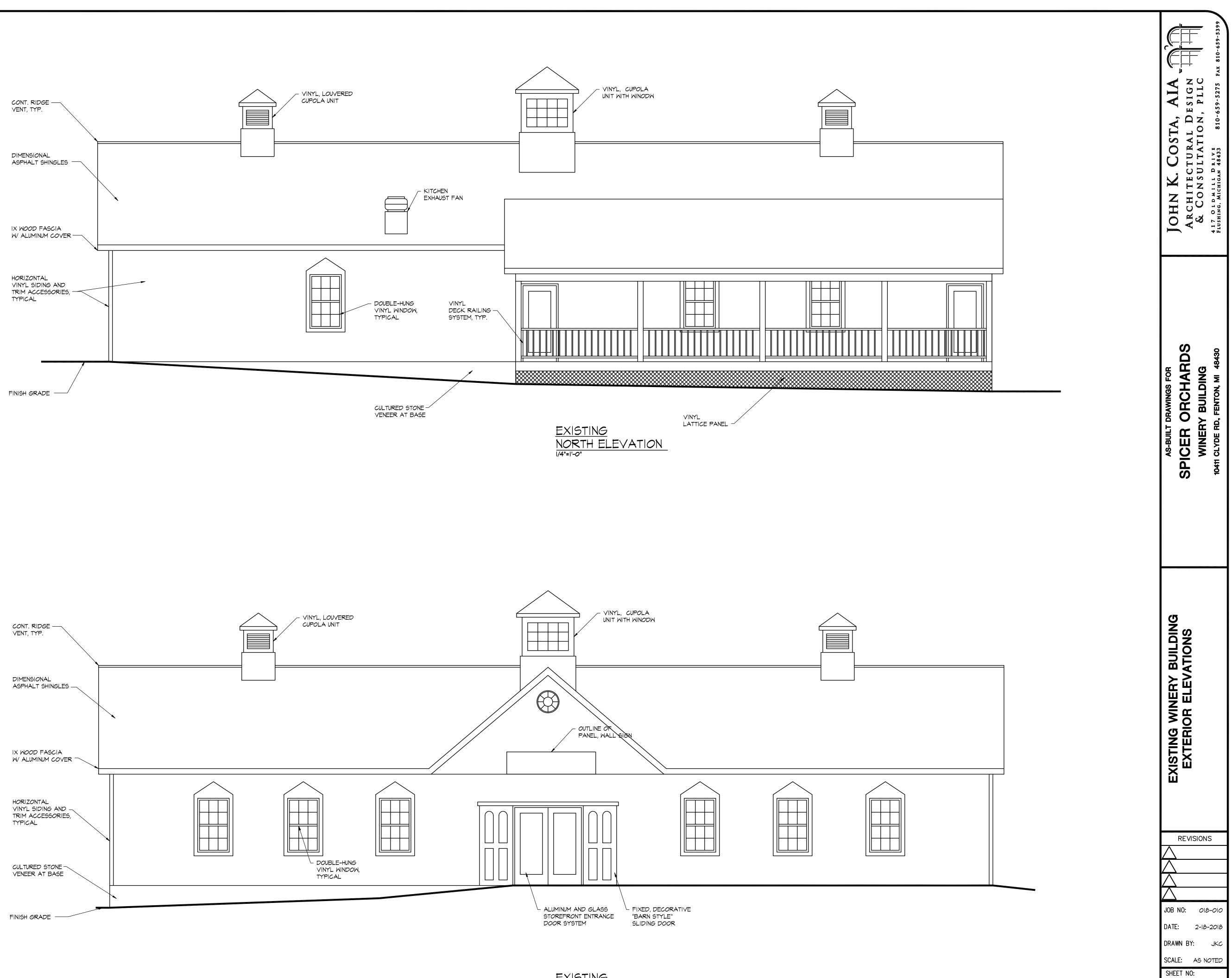


GENERAL NOTES: I. THE EXISTING LAYOUT AND DIMENS

- I. THE EXISTING LAYOUT AND DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE USED FOR BIDDING PURPOSES ONLY. ACTUAL, FIELD VERIFICATION, OF ALL EXISTING CONDITIONS SHALL BE UTILIZED PRIOR TO LAYOUT AND INSTALLATION OF ANY NEW CONSTRUCTION.
- 2. ALL WORK PROVIDED AND INSTALLED BY THE CONTRACTORS SHALL MEET THE LATEST EDITIONS OF ALL STATE, LOCAL, FEDERAL AND N.E.C. REGULATIONS AND CODES.
- 3. ALL INTERIOR DIMENSIONS ARE TO FINISH FACE OF GYP. BD., METAL LINER PANEL, OR WALL TILE (TYPICAL, UNLESS NOTED OTHERWISE).
- 4. ALL NEW INTERIOR PARTITIONS ARE 2X4 WOOD STUDS @ 16" O.C. w/ 5/8" GYP. BD. EACH SIDE (TYP., UNLESS NOTED OTHERWISE).
- 5. PROVIDE BARRIER FREE BUILDING SIGNAGE AT ENTRANCES AND TOILET ROOMS AS PER "MICHIGAN BARRIER-FREE" DESIGN REQUIREMENTS.
- 6. SHELVING AND EQUIPMENT LOCATIONS AND SIZES SHOWN ARE FOR REFERENCE ONLY. EXACT LOCATIONS AND SIZES ARE TO BE FIELD VERIFIED WITH OWNER AND EQUIPMENT SUPPLIER.
- 7. CONTRACTOR IS TO COORDINATE ALL WALL, CEILING, FLOOR, ETC. FINISHES, LOCATIONS AND MATERIAL SPECIFICATIONS WITH OWNER PRIOR TO CONSTRUCTION.
- 8. ALL NEW INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808.
- 9. PROVIDE WALL REINFORCEMENT, AND/OR PLYWOOD BACKING IN STUD WALLS FOR ATTACHMENT OF ALL ROOM ACCESSORIES, SHELVING, FURNITURE, ETC. INCLUDING OWNER SUPPLIED EQUIPMENT, ETC. COORDINATE EXACT LOCATIONS AND REQUIREMNTS WITH OWNER.
- IO. ALL NEW AND EXISTING DOOR HARDWARE SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTION IOIO.I.9, DOOR OPERATIONS.
- SERVICE COUNTER SHALL HAVE A PORTION A MINUMUM OF 36" WIDE AND A MAXIMUM 36" HIGH FOR BARRIER FREE ACCESS.
- 12. EXTERIOR WALL ASSEMBLY INCLUDES 5-1/2" BATT INSULATION IN WALL CAVITY. (MINIMUM WALL ASSEMBLY R-VALUE = R-21).
- 13. ROOF/CEILING ASSEMBLY INCLUDES 12" BATT INSULATION. (MINIMUM ROOF ASSEMBLY R-VALUE = R-38).

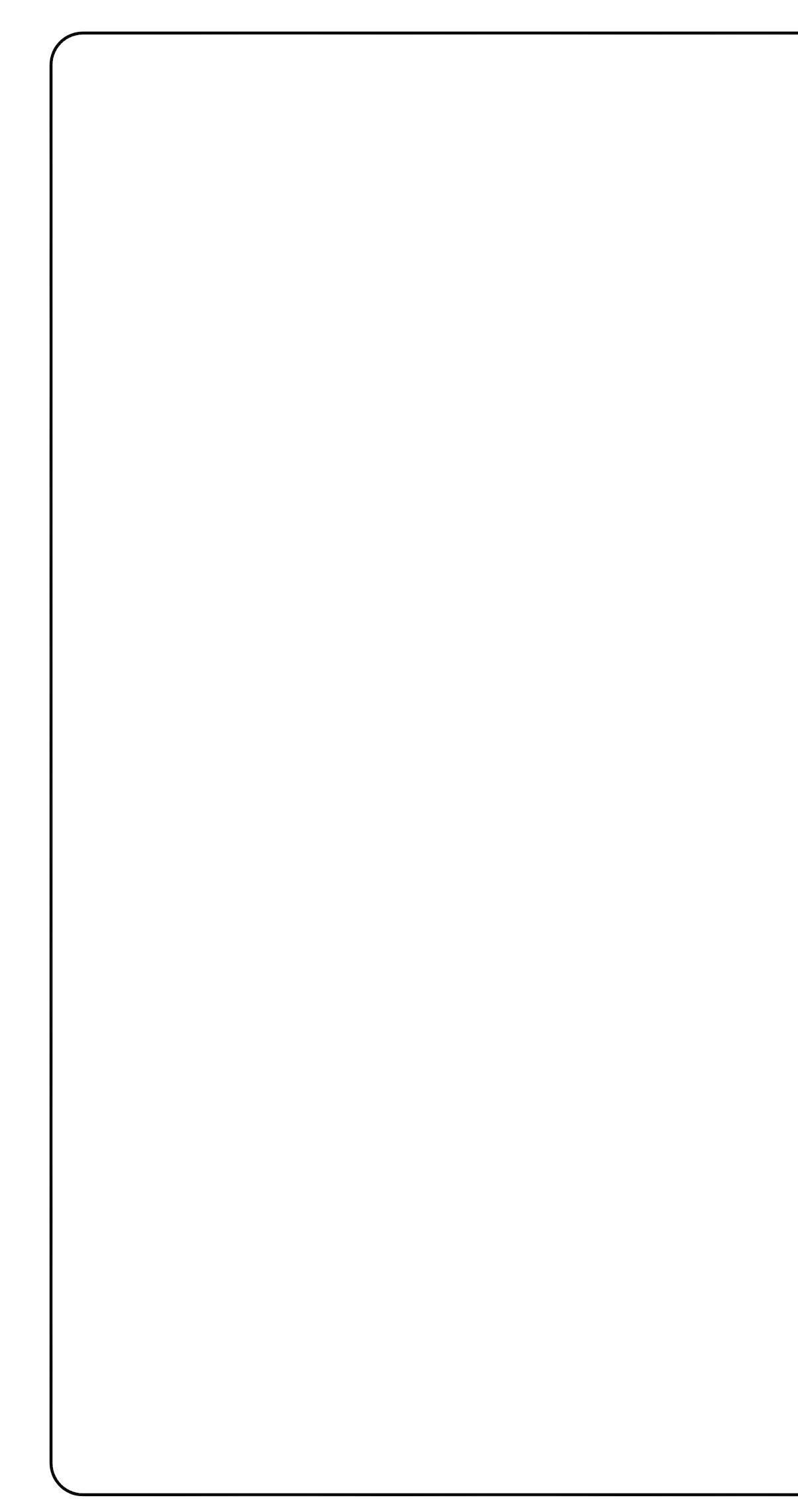


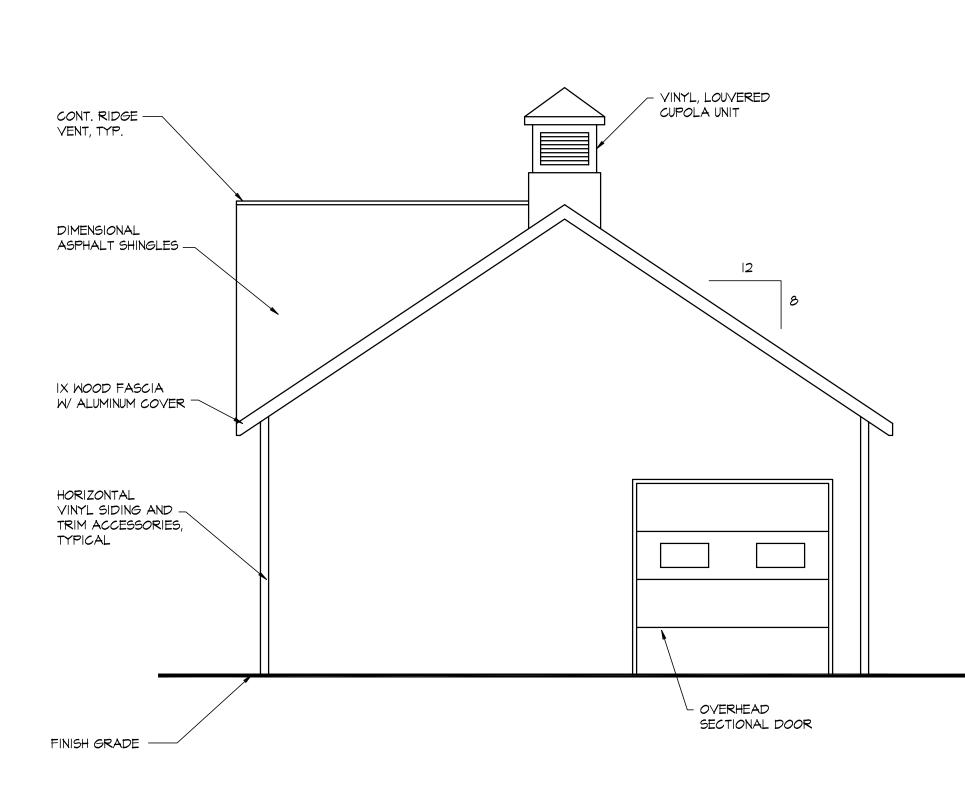




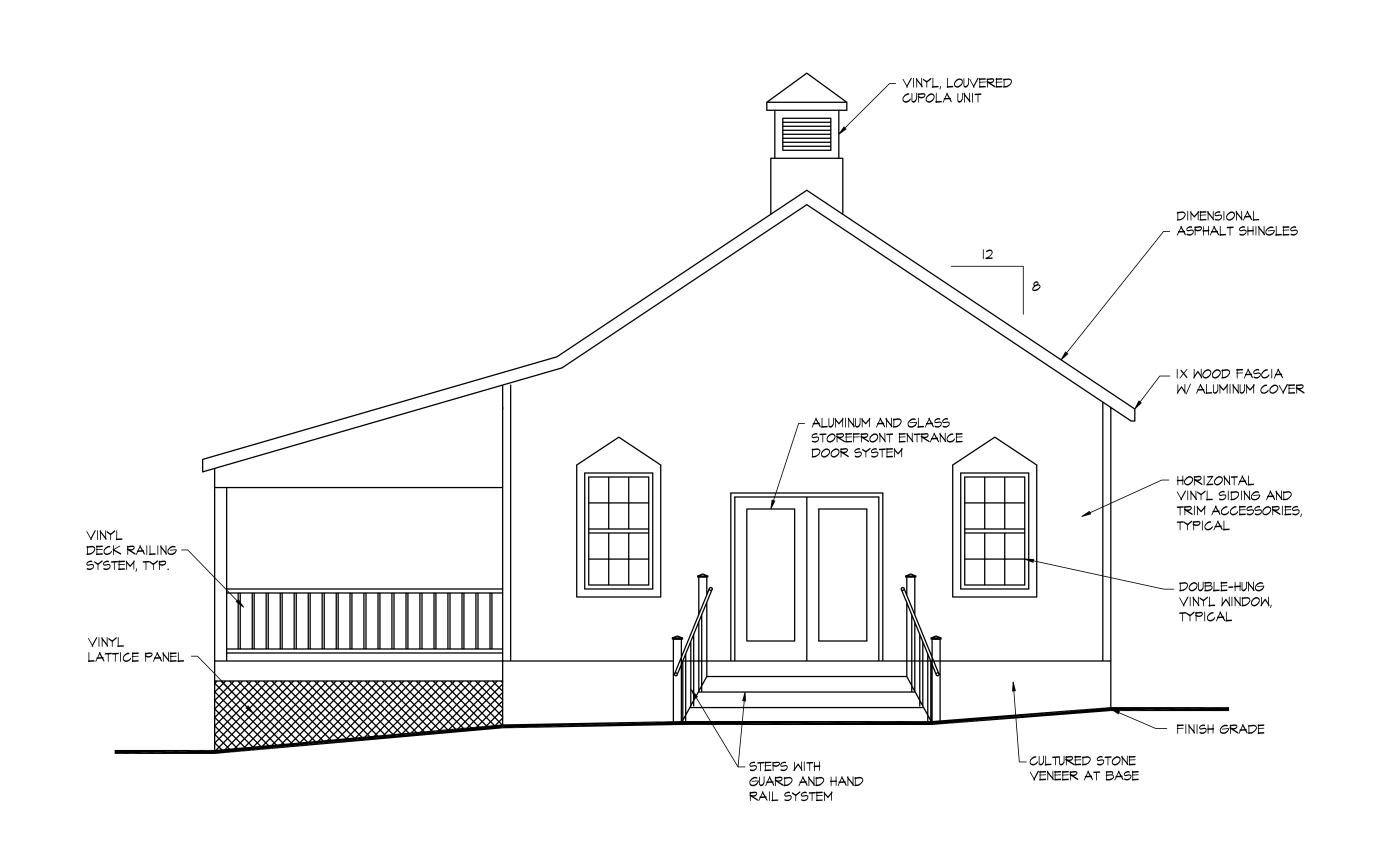
<u>EXISTING</u> SOUTH ELEVATION 1/4"=1'-0"

A2101









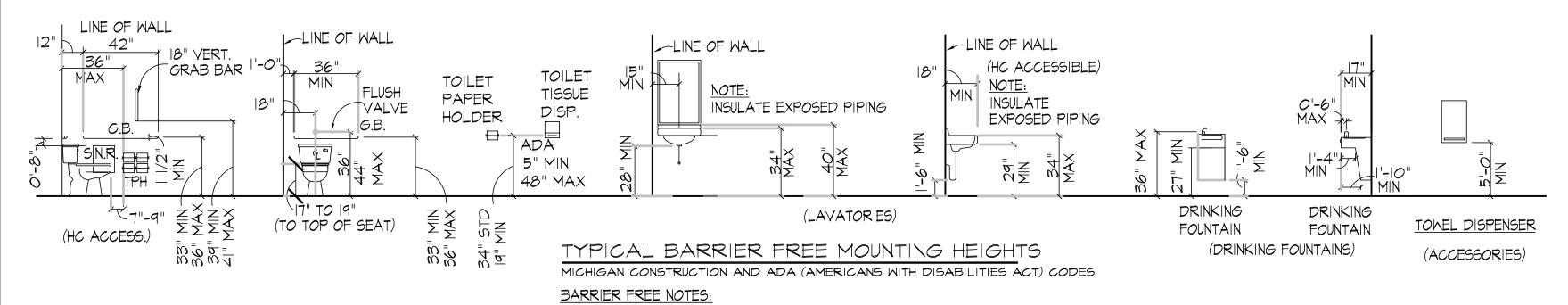
<u>EXISTING</u> WEST ELEVATION 1/4"=1'-0"

Ì J AIA ESIGN JOHN K. COSTA, ARCHITECTURAL DE & CONSULTATION, #17 OLD MILL DRIVE FLUSHING, MICHIGAN 48433 810-65 SPICER ORCHARDS WINERY BUILDING 10411 CLYDE RD, FENTON, MI 48430 EXISTING WINERY BUILDING EXTERIOR ELEVATIONS REVISIONS JOB NO: 018-010 DATE: 2-18-2018 DRAWN BY: JKC SCALE: AS NOTED SHEET NO: 3

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NO.	ROOM NAME	F	LC	OR	2		Ŧ	ЗA	SE			MA	LL						CE	ΞLΙ	NE	5	REMARKS	NO.
		RETE																1ATE	RIA	L		HEIGHT		
		SEALED/STAINED CONCRETE					ДООМ					GYP. BOAKD (PAINT) FRP WALL PANEL				GYPSUM BOARD (PAINT)	TONGUE & GROOVE WOOD							
			2	3	4 :	56	Ι	2	3	4 !	5	2	3 ·	4 5	6	1	2		4	56	6			
100	SALES/DINING/TASTING ROOM																2						CATHEDRAL CEILING	100
101	SERVING COUNTER	1					Ι					2												101
102	KITCHEN/ PREP AREA	1					Ι					2				1								102
103	PRODUCTION ROOM	1						2				2				1								103
104	HALL	1					Ι					1												104
105	WOMAN'S RESTROOM	1					Ι					1												105
106	MEN'S RESTROOM	1					Ι					1				1								106
107	BOTTLING/ STORAGE							2				2												101
108																								108
109																								109



ALL CONTROLS & OPERATING MECHANISMS SHALL BE OPERABLE w/ (I) HAND & SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.

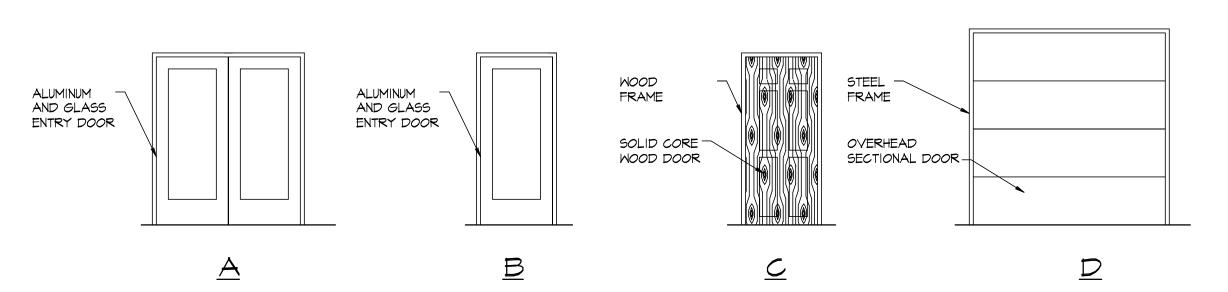
2. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN (5) POUNDS.

NOTES:

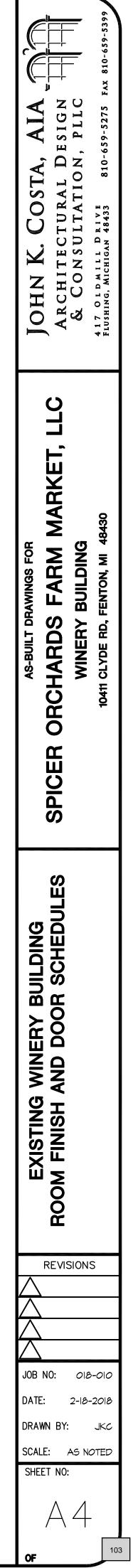
- I. ALL WORK PROVIDED AND INSTALLED BY THE CONTRACTORS SHALL MEET THE LATEST EDITIONS OF ALL STATE, LOCAL, FEDERAL AND N.E.C. REGULATIONS AND CODES.
- 2. ALL NEW DOOR HARDWARE SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTION 1008.1.9, DOOR OPERATIONS.
- 3. CONTRACTOR TO COORDINATE ALL HARDWARE AND KEYING REQUIREMENTS WITH OWNER AND SUBMIT TO LOCAL BUILDING OFFICIAL FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- 4. CONTRACTOR IS TO COORDINATE ALL WALL, CEILING, FLOOR, ETC. FINISHES, LOCATIONS AND MATERIAL SPECIFICATIONS WITH OWNER PRIOR TO CONSTRUCTION.
- 5. ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808. ALL WALL AND CEILING FINISHES SHALL BE A MINIMUM RATING OF CLASS C: FLAME SPREAD 76-200; SMOKE DEVELOPED 0-450, (TABLE 803.9).

ACCESSORIES SCHEDULE

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MARK		SIZ	Ξ						Ľ	20	0F	र						F۴	RA	١M	E	HDW.	REMARKS
						TYPE		MΑ	TE	RI	AL		FINISH		M	AT	ER	RIA	L		FINISH		*COORDINATE HARDWARE AND KEYING
	0-, L × "C		_	OVERHEAU			SOLID CORE MOOD	ALUMINUM AND GLASS	INSULATED METAL PANEL					ДООМ	MINIMI								REQUIREMENTS WITH OWNER
1		2 5 2	3 4	4 5				2	3	4	5	6	PREFINISHED	+	2		4	4 5		6	PREFINISHED		
2		2			-	A		2					PREFINISHED	+		_	+		+	-	PREFINISHED		
 3		2			-	A B		2					PREFINISHED	+		_	+		+	-	PREFINISHED		
4					-	в В		2					PREFINISHED	+		_	-		+	-	PREFINISHED		
					-			2						+		-	-		+	-			
5					╉	<u>د</u>							STAIN	+	-		+		+	-	STAIN		
6			_	_	_	<u>с</u>							STAIN	+	_	+	_	_	_	_	STAIN		
7			_		+	C							STAIN	+	_	-	_		_		STAIN		
8			3		+				3				PREFINISHED	+		3	_		_	-	PREFINISHED		SLIDING COOLER DOOR
٩			4	4	\downarrow	D			3				PREFINISHED	\perp		3	_		_		PREFINISHED		
10																							







			F	URNA	чСЕ	SCH	HEDUL	E			
TAG	MNFR.	MODEL	CFM	MIN OA	ESP	FAN HP	ELEC.	COOLING MBH	GAS H MBH IN	EATING MBH OUT	NOTES
F-1	LUXAIRE	TM9T100C19MP11B	1600	NATURAL	1"	3/4	120V-1ø	48	100	96	1, 2, 3, 4, 5, 6

NOTES: 1. PROVIDE UNIT WITH ZONE CONTROLLER THERMOSTAT(S). 2. PROVIDE UNIT WITH CONCENTRIC VENT/AIR INTAKE ROOF/WALL TERMINATION KIT.

3. UNIT SHALL BE VERTICAL UP-FLOW GAS FURNACE WITH ADD-ON COOLING COIL.

PROVIDE UNIT WITH FILTER RACK AND DISPOSABLE FILTERS.
 DISCONNECT SWITCH SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR.
 TWO STAGE HEATING.

		CONDE	NSIN(g un	VIT S	CHEDULE				
TAG	MNFR.	MODEL	ASSOC. UNIT	TOTAL MBH	SUCTION TEMP.	ELEC.	QNTY. COMP.	МСА	МОР	NOTES
C-1	LUXAIRE	TCJD48S41S3A	F-1	48	45	208/230-3p	1	21.1	35	1, 2, 3

NOTES: 1. COOLING CAPACITY IS BASED ON 80°F DB/67°F WB AND 95°F AMBIENT.

PROVIDE WITH HARD START KIT AND ANTI-SHORT CYCLE TIMER 3. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL GFI RECEPTACLE AND DISCONNECT SWITCH.

		NA	TURAL VENTIL	ATION OPENING	SCHEDULE				
SPACE	FLOOR AREA (SQ. FT.)	MINIMUM OPENING AREA REQUIRED (4%) FOR SPACE ONLY	MINIMUM OPENING AREA REQUIRED (8%) FOR ADJOINING SPACES	OPENING AREA PROVIDED PER OPENING	OPENING AREA PROVIDED PER TYPE	TOTAL OPENING AREA PROVIDED			
				(10) 28x29 WINDOW OPENINGS	(10) 5.6 SF = 56 SF				
MAIN SPACE	1248		100 SF	(2) 3' x 7.5' DOOR OPENINGS	(10) 22.5 SF = 45 SF	191 SF			
				(2) 6' x 7.5' DOOR OPENINGS	(2) 45 SF = 90 SF				
KITCHEN	196	7.4		(1) 3' x 7.5' DOOR OPENING	22.5 SF	22.5 SF			
WORK SPACE	235		18.8 SF	(1) 8' x 8' DOOR OPENING	64 SF	64 SF			
TANK ROOM	216	8.6 SF		(1) 5' x 7.5' DOOR OPENING	37.5 SF	37.5 SF			
NOTES: 1. TOTAL OUTDOOR AIR PROVIDED IS IN COMPLIANCE W/ THE REQUIRED OUTDOOR VENTILATION AIR PER TABLE 403.3 OF THE 2015 MMC.									

EQUIPMENT SCHEDULE

EF-1,2 BROAN EXHAUST FAN MODEL L-100, 70 CFM AT 0.375" SP USING A 67 WATT 120V-P MOTOR, PROVIDE WITH BACK DRAFT DAMPER, DISCONNECT AND DISCHARGE CAP

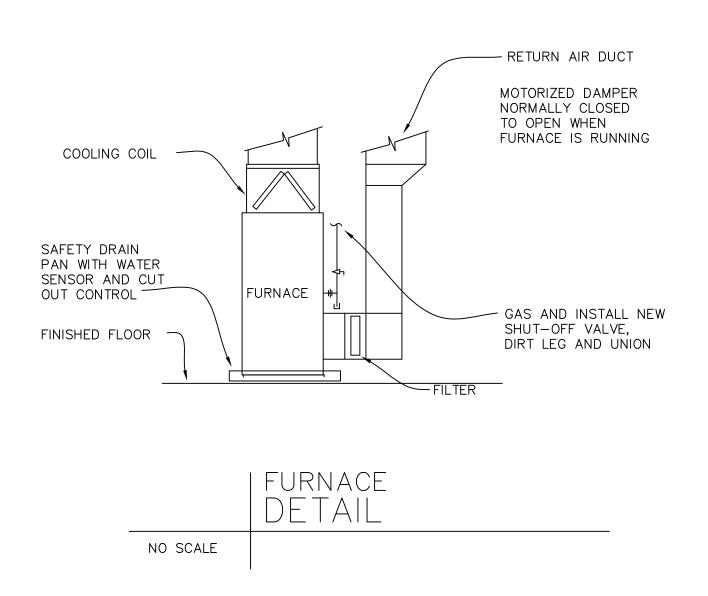
WATER HEATER SEE PLUMBING EQUIPMENT SCHEDULE

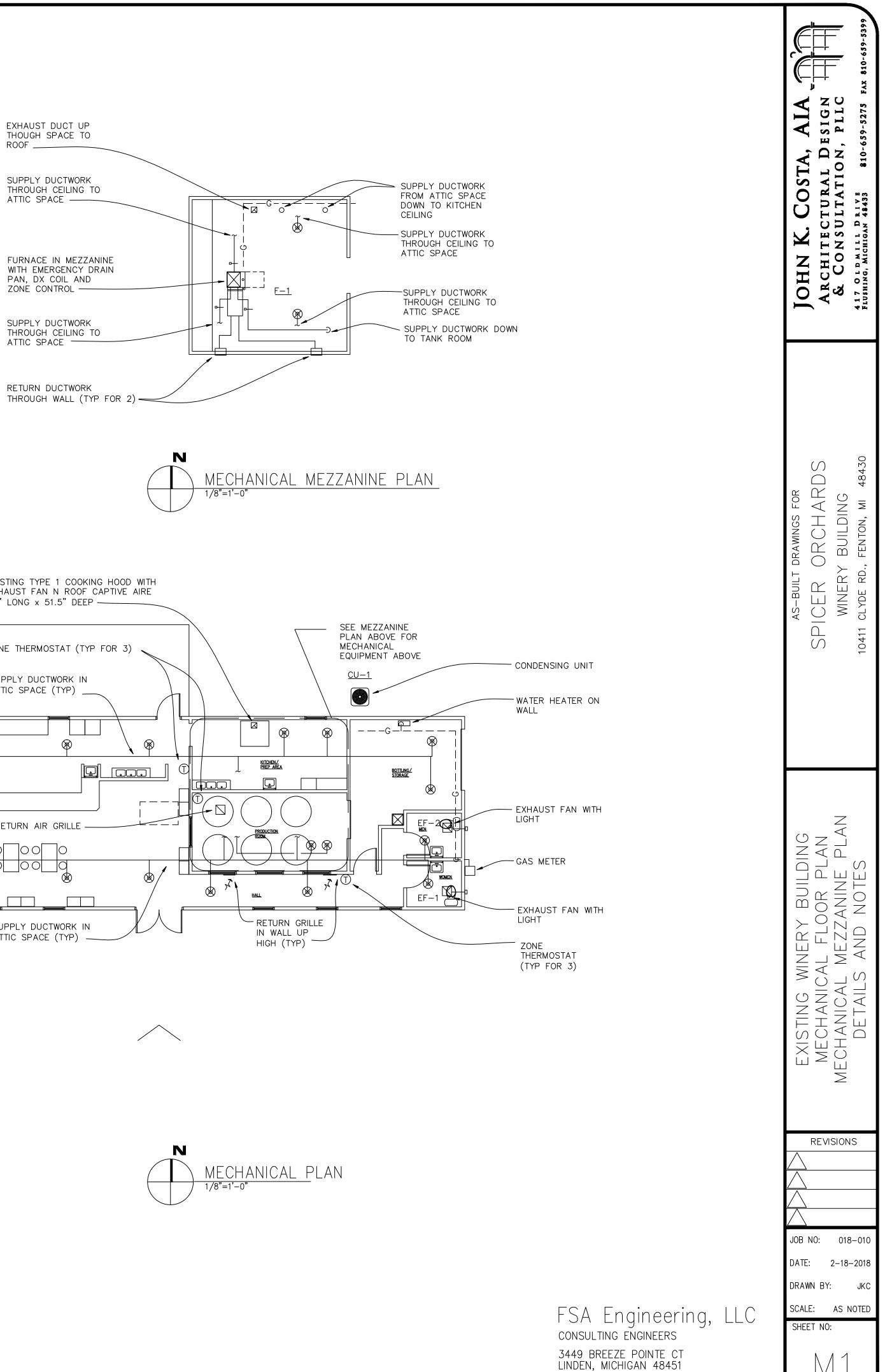
MECHANICAL NOTES:

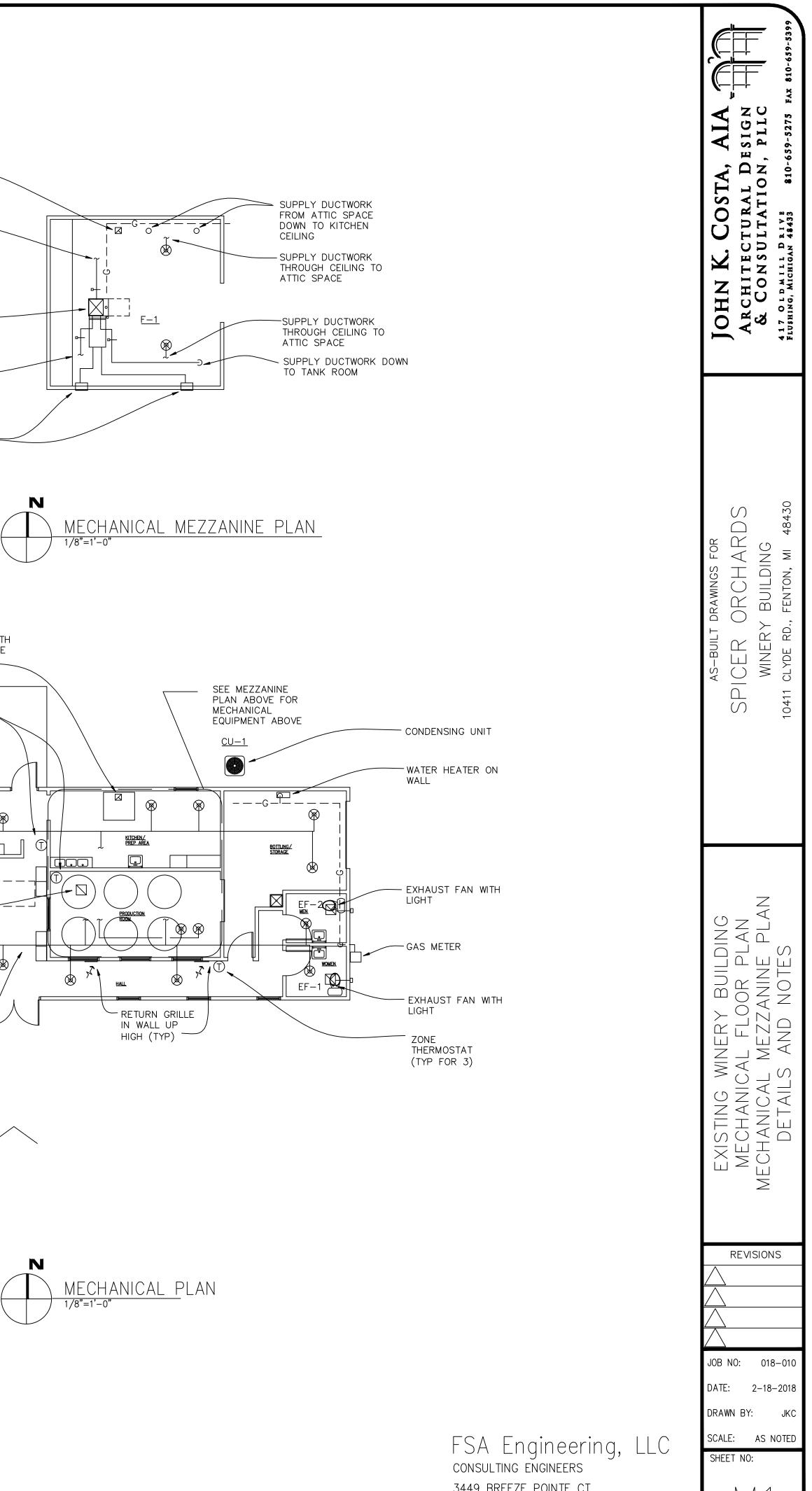
ALL DUCT WORK SHALL INSTALLED PER SMACNA STANDARDS AND SHALL HARD METAL

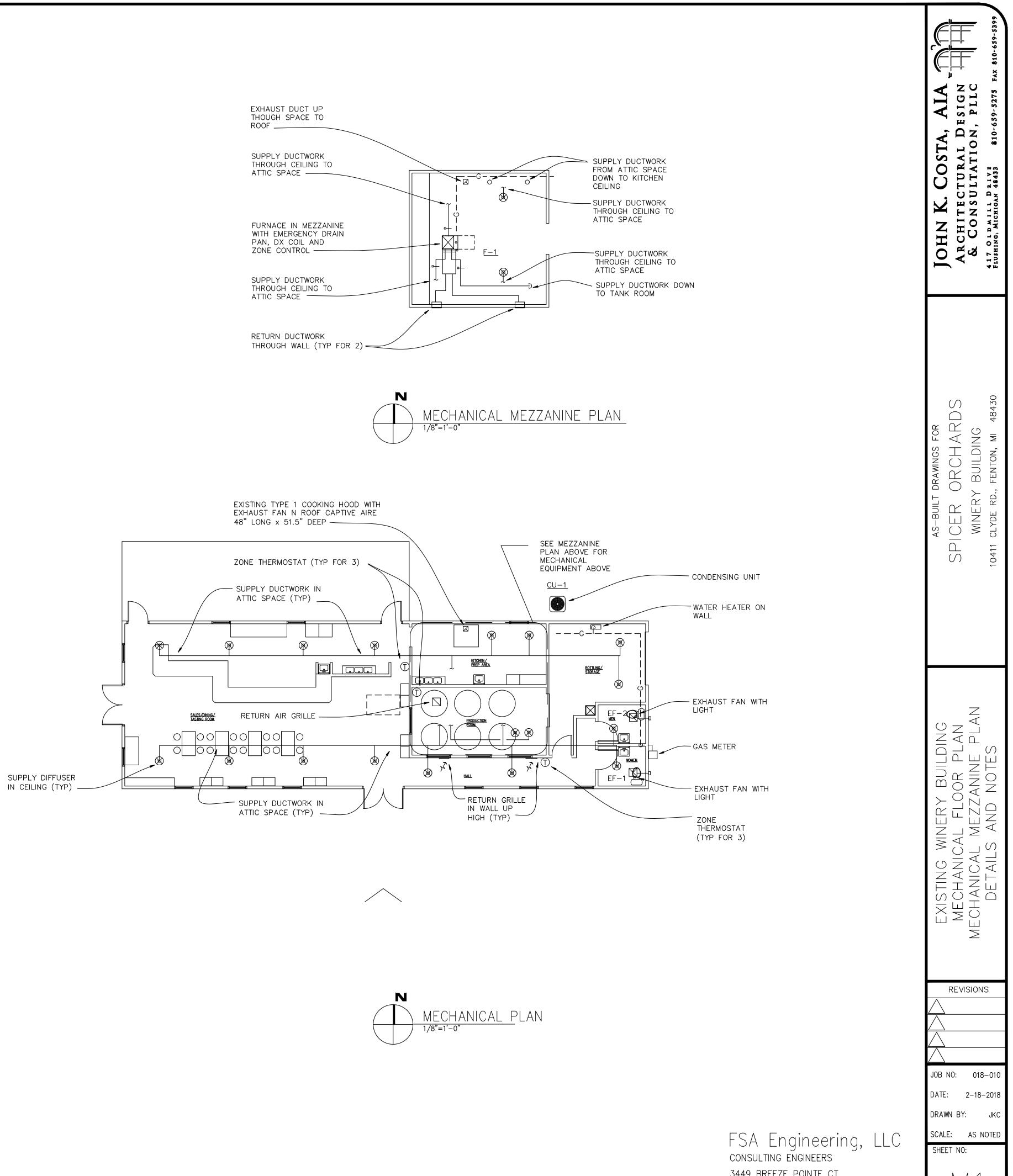
INSULATE ALL EXHAUST DUCTWORK FROM FAN TO DISCHARGE.

INSULATE SUPPLY DUCTWORK IN CEILING SPACE WITH DUCT WRAP WITH VAPOR BARRIER.









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(810) 394-1379 C (810) 714-4206 F

PLUMBING NOTES:

ALL PLUMBING WORK SHALL MEET LOCAL, STATE AND FEDERAL PLUMBING CODES AND HEALTH DEPARTMENT REQUIREMENTS.

THE PLUMBING CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL DRAWINGS. THEY SHALL COMPLETELY SATISFY THEMSELVES WITH CONDITIONS OF WORK TO BE PERFORM AND ANY ADJUSTMENTS TO MEET CODE REQUIREMENTS BEFORE SUBMITTING THEIR BID.

THE ARCHITECT AND OWNER RESERVE THE RIGHT TO MAKE MINOR CHANGES TO THE LOCATION OF EQUIPMENT, PIPING, VENTING ETC AT THE TIME OF ROUGH-IN WITHOUT ADDITIONAL COMPENSATION.

PLUMBING CONTRACTOR IS RESPONSIBLE FOR PAYING AND ARRANGING ALL REQUIRED PERMITS, INSPECTIONS AND ASSOCIATED COST.

PLUMBING CONTRACTOR SHALL PROVIDE VENTING FOR ALL PLUMBING FIXTURES PER CODE REQUIREMENTS.

COORDINATE FLOOR DRAIN LOCATIONS AND INSTALL TRAP RPIMER AT ALL FLOOR DRAINS.

PLUMBING CONTRACTOR IS RESPONSIBLE FOR VERIFY ALL SIZE OF ALL PIPING.

INSULATE ALL HOT AND COLD WATER PIPING. INSULATION TO MEET 25/50 FLAME SPREAD REQUIREMENTS.

PROVIDE AND INSTALL STOPS, RISERS, TRAPS ETC FOR COMPLETE INSTALLATION OF PLUMBING EQUIPMENT.

ALL EQUIPMENT AND PLUMBING FIXTURES SHALL HAVE STOPS OR VALVE FOR ISOLATION. COORDINATE LOCATION OF ALL STOPS/VALVES WITH GENERAL TRADES TO MAKE SURE THEY WILL BE ACCESSIBLE.

INSTALL ASSE 1070 APPROVED MIXING VALVE AT LAVATORIES.

FIELD CHANGES MADE BY THE PLUMBING CONTRACTOR SHALL BE APPROVED BY THE ARCHITECT. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING AS BUILT DRAWINGS FOR THESE APPROVED CHANGES TO THE ARCHITECT PRIOR TO FINAL INSPECTION.

ALL PLUMBING TO CONFORM TO THE 2015 MICHIGAN PLUMBING CODE.

ALL NEW PLUMBING TO BE PERMITTED, TESTED AND INSPECTED PRIOR TO COVERING.

ALL PLUMBING FIXURES TO BE VENTED IN ACCORDANCE TO CHAPTER 9 OF THE MICHIGAN PLUMBING CODE AND WILL FIELD VERFIED BY PLUMBING INSPECTOR.

PLUMBING FIXTURE SCHEDULE

WC MANSFIELD MODEL 4977-3916, SMART HEIGHT, TANK TYPE WATER CLOSET, ELONGATED BOWL, 16-3/4" HIGH, ADA, PROVIDE WITH OPEN FRONT SEAT.

LAV MANSFIELD 2018C VITREOUS CHINA, WALL MOUNTED LAVATORY, WITH DELTA MODEL 501 SINGLE LEVER FAUCET, PROVIDE WITH, ASSE 1070 MIXING VALVE, GRID STRAINER AND TRUEBRO LAV GUARD

SS 24x24 FLOOR SINK, WITH WALL MOUNTED FAUCET WITH VACUUM BREAK

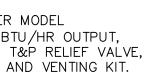
HS AMTEKCO OR EQUAL HAND SINK, WITH LEVER HANDLE FAUCET PROVIDE WITH ASSE 1070 MXING VALVE, TRAP AND RISERS

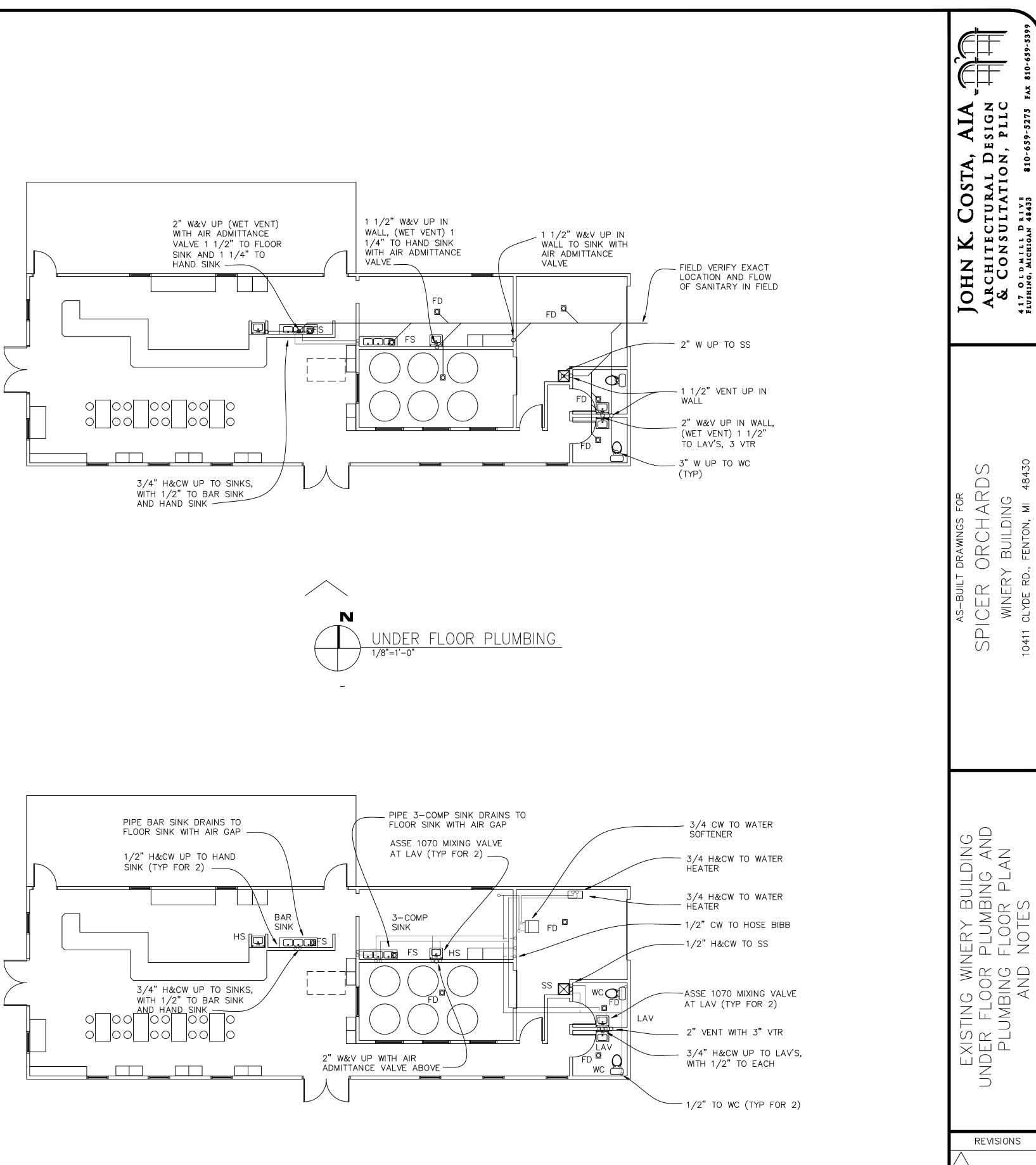
3-COMP SINK 3-COMP SINK. 18X18X12 COMPARTMENT, NSF APPROVED, STAINLESS STEEL, 18" DRAIN BOARDS AT EACH END, SINGLE FAUCET. PROVIDE WITH TRAP AND RISERS

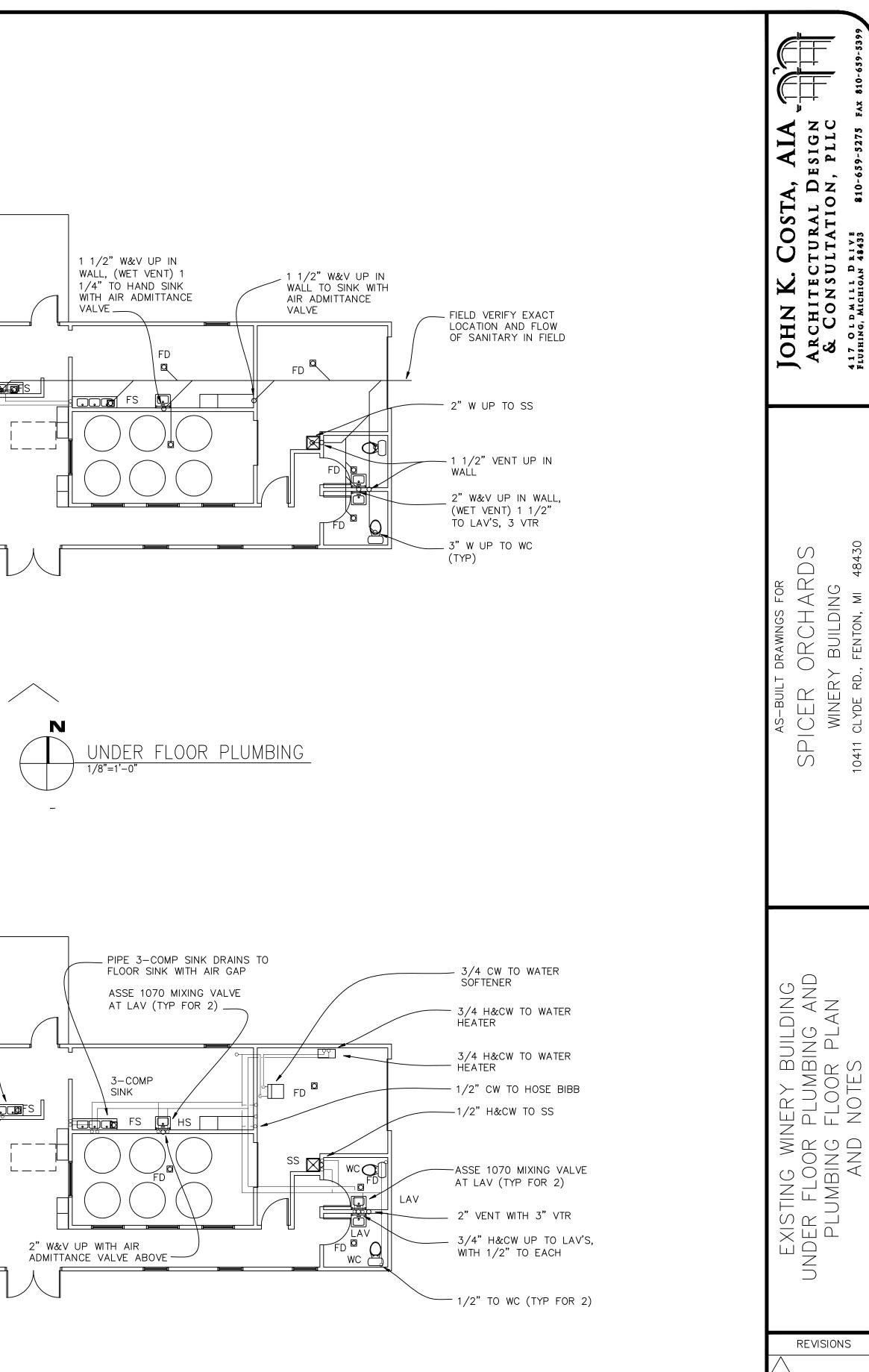
BAR SINK KROWNE 3-COMPARTMENT BAR SINK MODEL 21-63C, STAINLESS STEEL, 18" DRAIN BOARDS, 72" LONG WITH 10x14x10 COMPARTMENTS, NSF APPROVED, PROVIDE WITH LEVEL HANDEL FAUCET AND DRAIN AND TAIL PIECES.

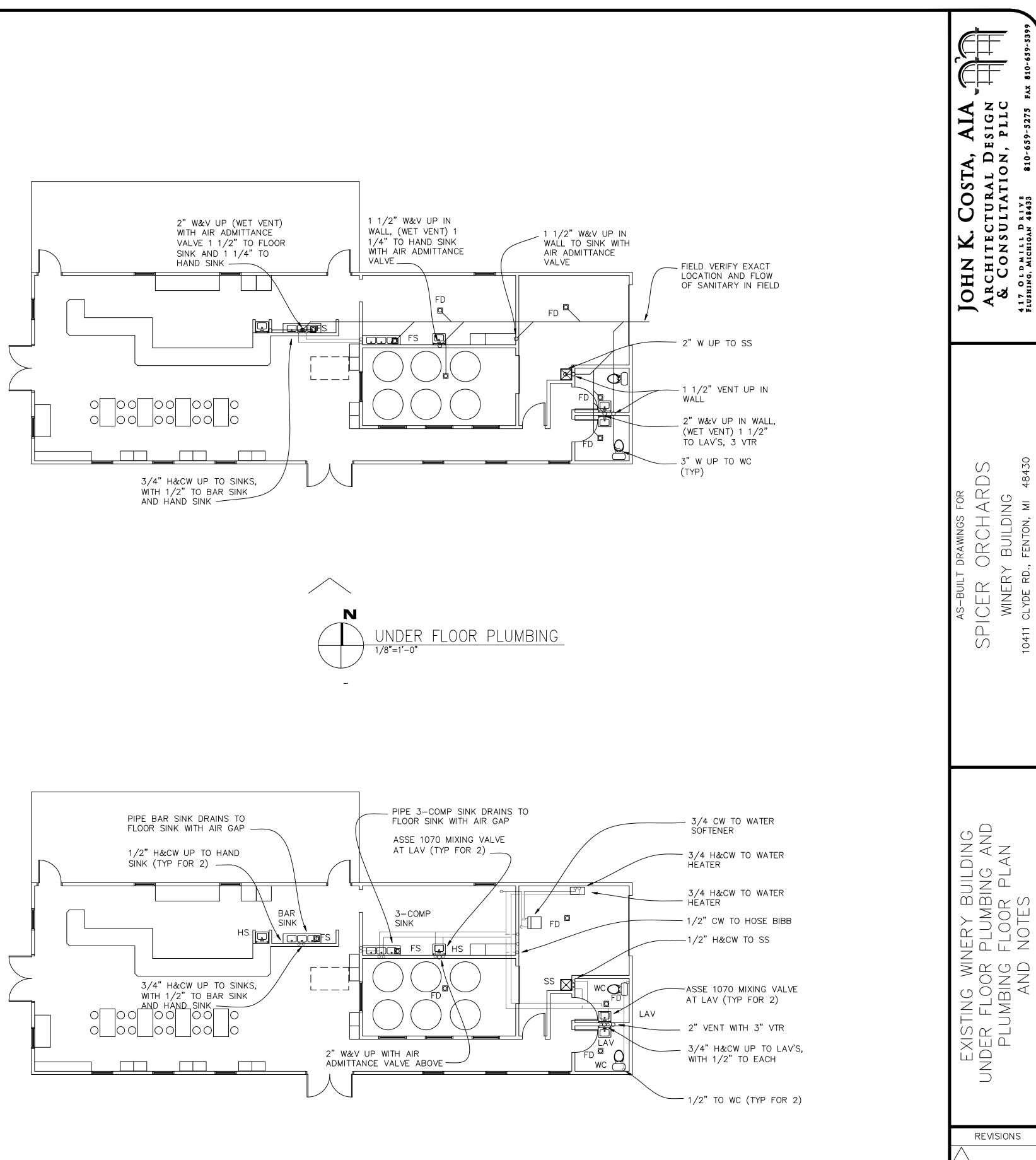
PLUMBING EQUIPMENT SCHEDULE

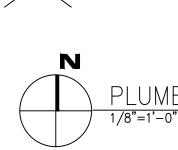
NAVIEN TANKLESS WATER HEATER MODEL NEP-240A, 19,900 TO 199,900 BTU/HR OUTPUT, 97% EFFICIENCY, PROVIDED WITH T&P RELIEF VALVE, CONDENSATE TRAP AND INTAKE AND VENTING KIT.











PLUMBING FLOOR PLAN

FSA Engineering, LLC CONSULTING ENGINEERS 3449 BREEZE POINTE CT LINDEN, MICHIGAN 48451 (810) 394-1379 C (810) 714-4206 F

JOB NO: 018-01

DATE: 2–18–2018

DRAWN BY: JKC

SCALE: AS NOTE

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SHEET NO:

					FIXTURE SCHEDULE	
SYMBOL	TYPE	NO		MOUNTING HEIGHT	DESCRIPTION	MANUFACTURER
⊢ I	A	2	32W T8 82CRI 3500K	S	4' LONG LOW PROFILE FLUORESCENT STRIP FIXTURE 3500K. 32W T8 LAMPS WITH ELECTRONIC BALLAST. 82 CRI WHITE COLOR CHANNEL. 120V OPERATION	1. LITHONIA C CHANNEL SERIES
	В	2	32W T8 82CRI 3500K	S	4' LONG LOW PROFILE SURFACE MOUNTED FLUORESCENT WRAPAROUND FIXTURE 3500K. 32W T8 LAMPS WITH ELECTRONIC BALLAST. 82 CRI WHITE COLOR CHANNEL AND ACRYLIC LENS . 120V OPERATION	1. LITHONIA LB TRADITIONAL WRAP
0	С	1	60W INC.	R	6" ROUND RECESSED DOWNLIGHT WITH INCANDESCENT LAMP AND WHITE TRIM AND WHITE BAFFLE. WHITE COLOR . 120V OPERATION	1. LITHONIA INCANDESCENT DOWNLIGHT.
-¢-	D	1	60W INC.	Р	DECORATIVE PENDANT FIXTURE PROVIDED BY OWNER. CHAIN HUNG, BLACK COLOR. 120V OPERATION	1. OWNER PROVIDED
Ж	E	1	70W HID	S	SURFACE MOUNTED OUTDOOR HID FIXTURE , BLACK COLOR. 120V OPERATION	1. OWNER PROVIDED
ß	x		LED	S	SURFACE MOUNTED EMERGENCY FIXTURE DUAL VOLTAGE OPERATION. UNIT SHALL BE COMPLETELY SELF—CONTAINED WITH MAINTENANCE FREE NICKEL CADIUM BATTERY CAPABLE OF PROVIDING 90 MINUTE FULL LIGHT OPERATION.	1. LITHONIA ELM SERIES 2. COOPER LIGHTING 3. COLUMBIA LIGHTING
ک	X1		LED	S	COMBINATION EXIT/EMERGENCY LIGHT SHALL BE UNIVERSAL MOUNT, DIE CAST ALUMINUM CONSTRUCTION, HIGH OUTPUT LED DIFFUSE LIGHT PANEL, RED LETTERS AND DIRECTIONAL ARROWS AS INDICATED ON PLANS. FIXTURE SHALL HAVE SELF-DIAGNOSTICS AND BE SUITABLE FOR DUAL VOLTAGE OPERATION. UNIT SHALL BE COMPLETELY SELF-CONTAINED WITH MAINTENANCE FREE NICKEL CADIUM BATTERY CAPABLE OF PROVIDING 90 MINUTE FULL LIGHT OPERATION.	1. LITHONIA LHQM SERIES 2. COOPER LIGHTING 3. COLUMBIA LIGHTING

|R - RECESSED, S - SURFACE, P-PENDANT, C-CEILING

MAIN MAIN LUGS _____ DESC TANK RM KITCHEN I KITCHEN I KITCHEN KITCHEN KITCHEN KITCHEN FRONT W. REAR LTS BACK BAI FURNACE KITCHEN BAR REC BAR REC

ELECTRICAL NOTES

ELECTRICAL WORK SHALL COMPLY WITH LATEST NATIONAL ELECTRICAL CODE, LIFE SAFETY CODE AND APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

ELECTRICAL EQUIPMENT AND WIRING SHALL BE NEW AND SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACTOR, UNLESS OTHERWISE NOTED.

WIRING SHALL BE IN CONDUIT. CONDUIT SHALL BE 3/4" MIN. CONDUITS IN FINISHED AREAS SHALL BE CONCEALED. CONTRACTOR MAY USE SURFACE RACEWAYS AND FITTINGS FOR WIRING IN FINISHED AREAS WHERE CONDUITS CAN NOT BE CONCEALED, ONLY WITH PRIOR APPROVAL FROM DESIGN PROFESSIONAL.

NEW WIRES SHALL BE TYPE THHN. MINIMUM SIZE SHALL BE #12 AWG, UNLESS OTHERWISE NOTED.

RECEPTACLE CIRCUITS SHALL HAVE A DEDICATED GROUND AND DEDICATED NEUTRAL.

NO METAL CLAD FLEXIBLE WIRING SHALL BE USED EXCEPT FROM JUNCTION BOX TO FIXTURES AND SHALL NOT EXCEED 6 FEET IN LENGTH.

FINAL CONNECTIONS TO EQUIPMENT, FURNISHED AND INSTALLED BY OTHERS, SHALL BE PROVIDED BY THIS CONTRACTOR.

VERIFY LOCATION OF LIGHTING FIXTURES, MECHANICAL EQUIPMENT IN CEILING, SPEAKERS AND POWER OUTLETS ETC, WITH DESIGN PROFESSIONAL PRIOR TO ROUGH-IN.

VERIFY AND COORDINATE WITH ARCHITECTURAL DRAWINGS EXACT LOCATION AND MOUNTING HEIGHTS OF POWER AND DATA OUTLETS.

CIRCUIT BREAKER ARRANGEMENT INDICATED ON THE ELECTRICAL RISER DIAGRAM DOES NOT NECESSARILY CORRESPOND TO THE ACTUAL BREAKER ARRANGEMENT OR PANEL PHASING. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO BALANCE THE LOADS ON THE PANEL AT THE TIME OF INSTALLATION. EVERY ATTEMPT SHOULD BE MADE TO GROUP SIMILAR LOADS AND LOCATE ALL SPARES AND SPACES AT THE BOTTOM OF THE PANEL.

PROVIDE A TYPEWRITTEN DIRECTORY IN THE PANEL DOOR, ACCURATELY INDICATING ROOMS AND EQUIPMENT BEING SERVED. CONTRACTOR SHOULD MAKE EVERY ATTEMPT TO IDENTIFY ALL CIRCUITS.

BUS RATING	00A			F	ANEL		FED F	ROM P	OWER		ANY M	ETER	
BREAKER 20)0A						FEEDE	R CABL	e size	- 4#3/	/0&1#6	<u>GND 2"</u>	'C
s							VOLTS	S	120/	/208		PHASE _	3 NO WIRES 4
SCRIPTION	KW PER PHASE			CIRC.		A B		С	CIRC.	KW PE	R PHASE		DECODIDITION
	A	В	C	NO					NO	A	В	С	DESCRIPTION
	1.1			1	<u>_20</u>			<u>20</u>	2	0.4			SPARE
M REC		1.0		8				<u>20</u>	4		1.0		
			0.8	8					8			0.8	TANK RM REC
I FREEZER	1.0			7	20~				8	0.8			
PREP TABLE REC		0.8		9				~ 20	10		1.0		REAR LIGHTS EM
I COUNTER REC			1.2	11	\Box		Ĩ	$\overline{}$	12			1.2	BACK AND TANK RM RE
I COUNTER REC	1.0			13			Ī	<u>20</u>	14	1.2			
I COUNTER REC		0.8		15		1			18		1.2		TANK RM REC
I COUNTER REC			1.0	17			1	50	18			1.2	DONUT MACHINE
COUNTER REC	1.2			19					20	3.7			
VALL REC		1.1		21		1		15	22		3.7		
IS COUPALA			1.3	23					24			3.7	_
AR COOLER	3.7			25				~20	26	3.7			LIGHTS
E		3.7		27		1		<u></u> 30	28		3.7		
EXH FAN			3.7	29					30			3.7	COND UNIT A/C
С	0.8			31			1	20	32	1.7			BAR REC
				33		1			34				
				35					36				
				37					38				
				39		1		<u>~</u> 20	40				BACK RM GLYCOL TANK
				41					42				- DACK KM GETCOL TANK
		•							-			•	
PHASE A KW				20					ATION	BACK ROOM	4		
PHASE B KW PHASE C KW				_	18.0 19.6				INTING				
ECTED LOAD KW				_	.9			PRO	JECT	SPICER OR	CHARD	DATE	10-31-2016
ID LOAD KW	•			_	.5								
GN AMPS				11	2.1								

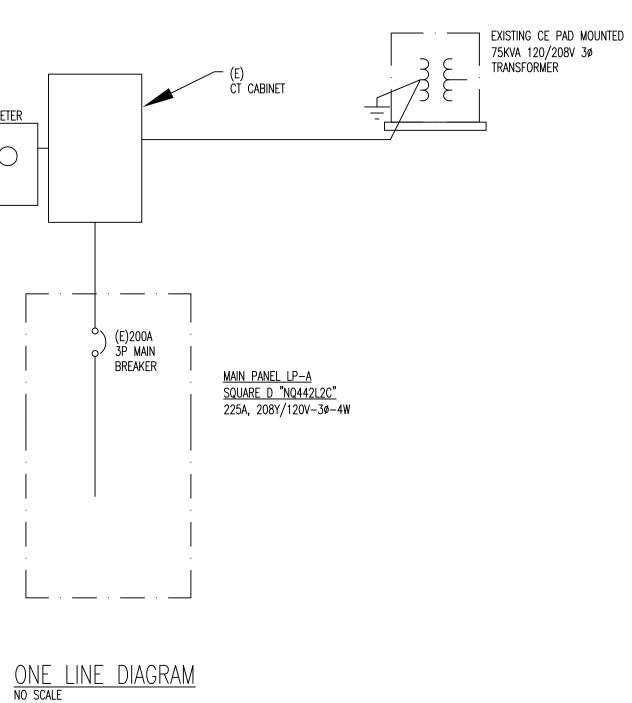
TELECOMMUNICATION

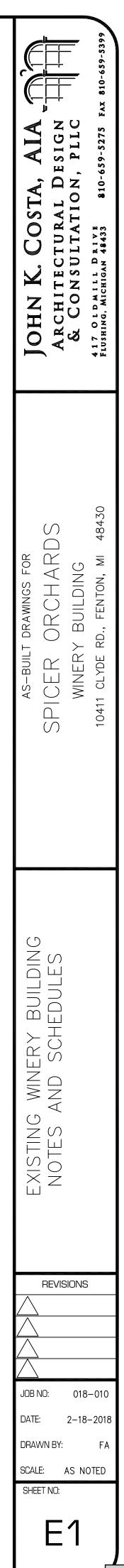
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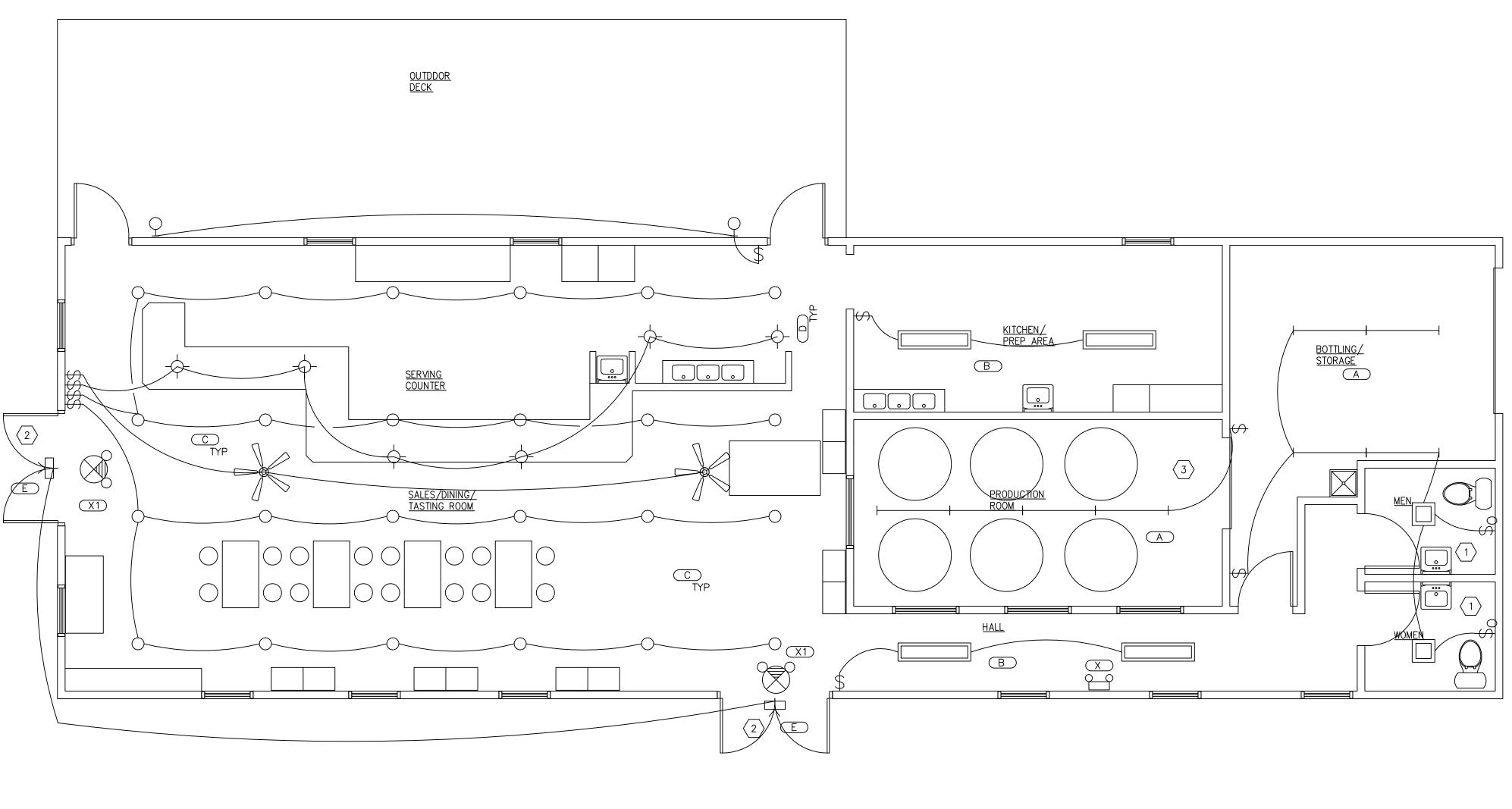
	LEGEND
POWER	
	HOME RUN TO PANEL INDICATED. 2#12&1#12 GND 3/4"C UNLESS NOTED OTHERWISE.
	CONDUIT CONCEALED IN WALL OR ABOVE CEILING
V 777	CIRCUIT BREAKER POWER PANEL 120/208V 3Ø 4W.
Φc	DUPLEX RECEPTACLE 20A—1 PHASE—120V 18" AFF, UNO. C—CEILING MTD
Ϋ́	DOT INDICATES REC MOUNTED 6" ABOVE COUNTER, UNO.
Φ_{GFI}	DUPLEX RECEPTACLE-GROUND FAULT CIRCUIT INTERRUPTER TYPE-20A-1 PHASE-120V.
₽	QUADRUPLEX RECEPTACLE 120V 1-PHASE
\square_{F}	DISCONNECT SWITCH-F INDICATES FUSED
6	MOTOR-SIZE AS INDICATED ON DRAWINGS
0	JUNCTION BOX
<u>LIGHTING</u>	SEE FIXTURE SCHEDULE FOR EXTENDED DESCRIPTION
	1'X4' SURFACE FLUORESCENT FIXTURE
$\uparrow \boxtimes$	CEILING MOUNTED EXIT SIGN W/ DIRECTIONAL ARROW HATCH INDICATES FACE OF SIGN
H⊗J	WALL MOUNTED EXIT SIGN HATCH INDICATES FACE OF SIGN
(A2)	FIXTURE TYPE
09	OCCUPANCY SENSOR
\$	SWITCH - SINGLE POLE
\$_3	SWITCH - THREE-WAY
\$	DIMMER SWITCH
\$⊤	TIMED SWITCH BY WATT STOPPER OR EQUAL
\$o	OCCUPANCY SENSOR WALL MOUNTED BY WATT STOPPER OR EQUAL

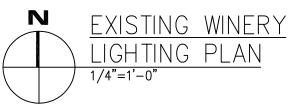
COMBINATION VOICE AND DATA OUTLET-SINGLE GANG

DUPLEX DATA OUTLET-SINGLE GANG







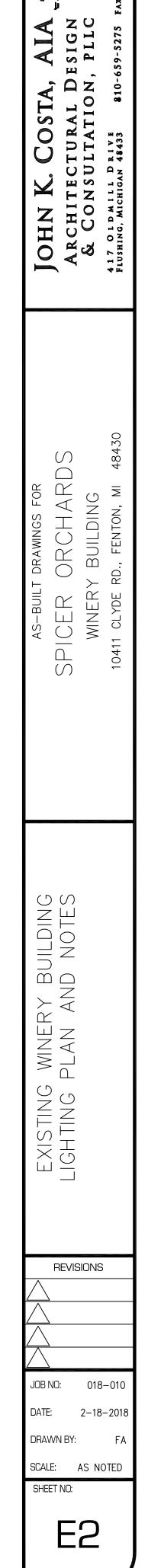


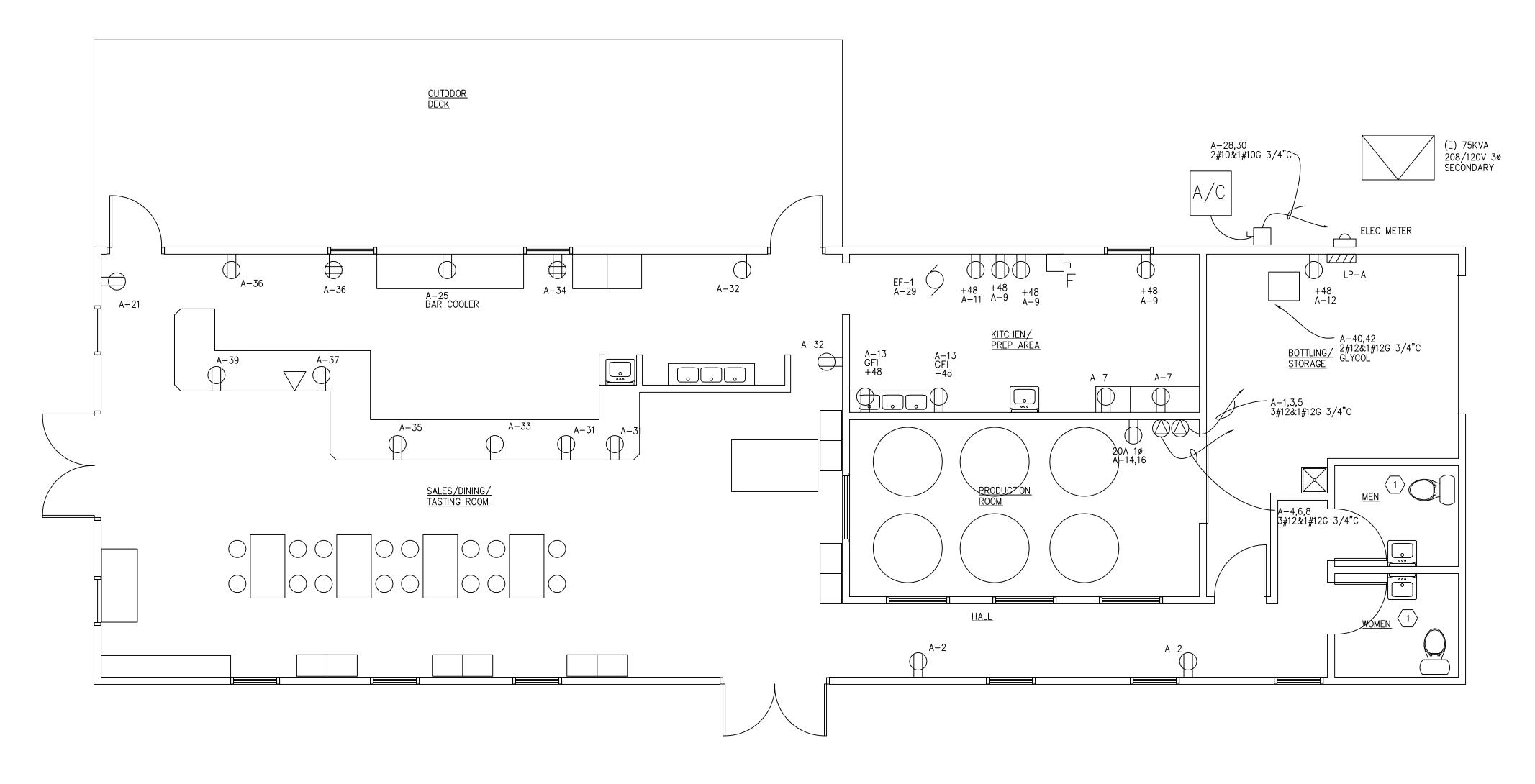
LIGHTING GENERAL NOTES

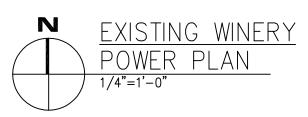
- 1. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF ALL LIGHTING FIXTURES UNLESS OTHERWISE NOTED.
- ANY 120 VOLT BRANCH CIRCUIT FEEDER LONGER THAN 120'-0" TO LAST DEVICE SHALL BE SIZED TO THE NEXT LARGER STANDARD AWG SIZE. E.C. SHALL FIELD VERIFY ALL LENGTHS OF FEEDERS.
- 3. SEE LIGHT FIXTURE SCHEDULE SHEET E1.00.
- 4. ALL ELECTRICAL DEVICES ON THIS SHEET SHALL BE NEW UNLESS OTHERWISE NOTED.
- EXIT LIGHTS AND EMERGENCY BATTERY UNITS SHALL BE UNCONTROLLED AND TIED AHEAD OF LOCAL AREA LIGHTING SWITCH, UNLESS CIRCUITED OTHERWISE.
- WHERE MORE THEN ONE LIGHT SWITCH IS INDICATED TO BE INSTALLED AT THE SAME LOCATION, THEY SHALL BE GROUPED UNDER ONE COMMON FACEPLATE.

LIGHTING KEYED NOTES

- WALL MOUNTED OCCUPANCY SENSOR SWITCH BY "LEVITON", LEGRAND OR EQUAL. CONNECT TO EXISTING COMBINATION FAN/LIGHT.
 WALL MOUNTED HID FIXTURED, CONNECT TO TIME CLOCK AND PHOTOCELL.
- $\overline{\langle 3 \rangle}$ existing mezzanine with type "A" fixture and switch above this area.







POWER GENERAL NOTES

- 1. ALL ELECTRICAL DEVICES SHOWN ON THIS PLAN SHALL BE NEW UNLESS OTHERWISE NOTED.
- ANY 120 VOLT BRANCH CIRCUIT FEEDER LONGER THAN 120'-0" TO LAST DEVICE SHALL BE SIZED TO THE NEXT LARGER STANDARD AWG SIZE. E.C. SHALL FIELD VERIFY ALL LENGTHS OF FEEDERS.
- 3. ALL RECEPTACLES SHALL BE 20A. RATED.
- 4. ALL DISCONNECT SWITCHES SHALL BE HEAVY DUTY TYPE.
- 5. ALL RECEPTACLES WITHIN 6'-0" OF SINK OR OTHER WATER SUPPLY SHALL BE GFCI TYPE RECEPTACLE.
- 6. REFER TO ARCHITECTURAL FLOOR PLAN AND ELEVATIONS FOR EXACT LOCATION OF DEVICES.
- 7. ALL JUNCTION BOXES SERVING BRANCH CIRCUIT WIRING SHALL BE LABELED WITH CIRCUITS SERVED.
- 8. ALL 120 VOLT CIRCUITS SHALL UTILIZE A SEPARATE NEUTRAL.
- 9. ALL CONDUITS SERVING 120 VOLTS OR GREATER SHALL INCLUDE A GROUND WIRE.
- 10. ALL CONDUITS SHALL BE ROUTED CONCEALED UNLESS NOTED OTHERWISE.
- 11. ALL ELECTRICAL EQUIPMENT MOUNTED ON THE FLOOR SHALL BE MOUNTED ON A 4" CONCRETE HOUSE KEEPING PAD.

POWER KEYED NOTES

- 1 CONNECT EXHAUST FAN TO LIGHT SWITCH AND LIGHTING CIRCUIT.
- 2 ALL RECEPTACLES IN KITCHEN AREA SHALL BE GFI PROTECTED.

JOHN K. COSTA, AIA
AS-BUILT DRAWINGS FOR SPICER ORCHARDS WINERY BUILDING 10411 CLYDE RD., FENTON, MI 48430
EXISTING WINERY BUILDING POWER PLAN AND NOTES
REVISIONS

108

CODE REVIEW/BUILDING DATA

APPLICABLE CODES:

MICHIGAN BUILDING CODE- 2015 MICHIGAN REHABILITATION CODE- 2015

ACCESSIBILITY: ICC/ANSI AII7.1-2009

MICHIGAN MECHANICAL CODE- 2015 MICHIGAN PLUMBING CODE- 2015

STATE OF MICHIGAN ELECTRICAL CODE (NEC-2014) W/ PART & AMMENDMENTS

I. USE GROUP: M: MERCANTILE, (MARKET)

F-I: MODERATE-HAZARD FACTORY INDUSTRIAL, (FOOD PROCESSING/COMMERCIAL KITCHEN) S-2: LOW-HAZARD STORAGE, (FOOD PRODUCTS)

2. TYPE OF CONSTRUCTION: A.) TYPE "VB" (5B), COMBUSTIBLE/ UNPROTECTED

3. HEIGHT AND AREA LIMITATIONS (TABLE 506.2): WORST CASE IS F-I OCCUPANCY CLASSIFICATION, TYPE "VB", = 8,500 SQ. FT. FRONTAGE INCREASE (SEC. 506.3)

8,500 SQ. FT. + 75% = 14,875 SQ. FT. ALLOWED

EXISTING MARKET/ CIDER MILL BUILDING: 9,387 SQ. FT.

EXISTING PAVILLION BUILDING: 1,395 SQ. FT.

4. OCCUPANT LOAD (TABLE 1004.1.2): MERCANTILE AREAS= 60 SQ. FT.(GROSS)/PER OCCUPANT KITCHEN/MANUFACTURING AREAS= 200 SQ. FT.(GROSS)/PER OCCUPANT STORAGE/STOCK AREAS= 300 SQ. FT.(GROSS)/PER OCCUPANT DINING AREAS= 15 SQ. FT.(NET)/PER OCCUPANT

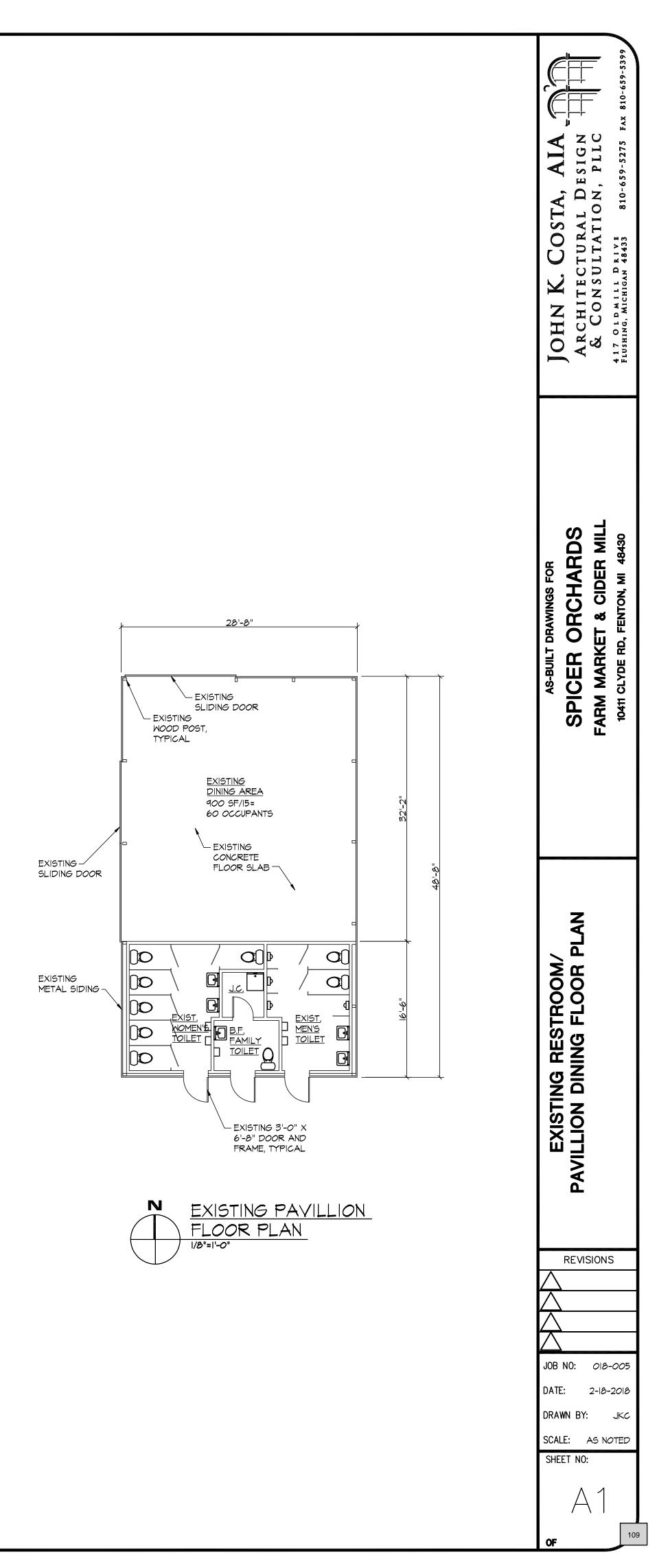
MERCANTILE AREAS= 1,484/60 SQ. FT.(GROSS)= 25 OCC. KITCHEN/MANUFACTURING AREAS= 3,481/200 SQ. FT.(GROSS)= 18 OCC STORAGE/STOCK AREAS= 1,330/300 SQ. FT.(GROSS)= 5 OCC. DINING AREAS= 225/15 SQ. FT.(NET)= 15 OCC. TOTAL OCCUPANCY: 63 PERSONS

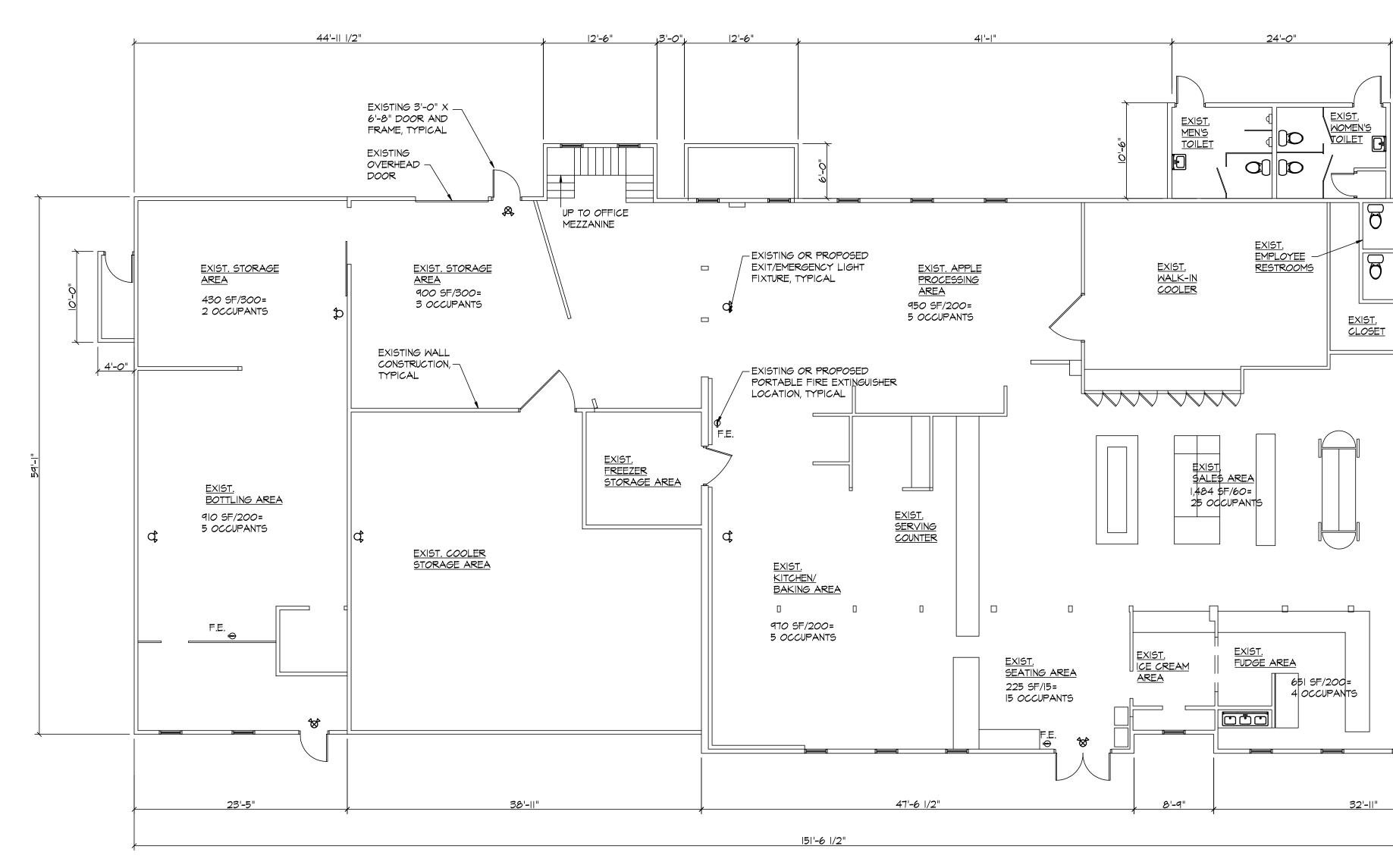
- 5. AUTOMATIC SPRINKLER SYSTEMS (SECTION 903.2): AN AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED FOR "M", "F-I" AND "S-2" FIRE AREAS THAT DO NOT EXCEED 12,000 SQ.FT. THE EXISTING BUILDING DOES NOT CONTAIN AN AUTOMATIC FIRE SPRINKLER SYSTEM.
- 6. SEPARATION FROM OTHER USES, (MBC TABLE 508.3.3) A.) NO SEPERATION REQUIRED
- 7. MINIMUM NUMBER OF EXITS AND CONTINUITY (SECTION 1006.2.1): TWO EXITS REQUIRED FROM MERCANTILE OCCUPANCY WHEN MAX. OCCUPANTS EXCEEDS 49 OR MAXIMUM TRAVEL DISTANCE EXCEEDS 75 FEET. MINIMUM TWO EXITS REQUIRED PER SPACE.
- 8. EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2) A.) "M" AND "F-I" USE: W/O SPRINKLER= MAX. 200 FEET
- 9. CORRIDORS, DEAD-ENDS (SECTION 1020.4): DEAD-END CORRIDOR LENGTHS SHALL BE NO MORE THAN 20 FEET.
- 10. DOOR SWING (SECTION 1010.1.2): DOORS SHALL SWING IN THE DIRECTION OF EGRESS WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS.
- II. DOORS (SECTION IOIO.I.I): DOORS SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES. EGRESS DOORS SHALL BE OF THE PIVOTED OR SIDE-HINGED SWINGING TYPE, EXCEPT IN OFFICE AREAS WITH AN OCCUPANT LOAD OF 10 OR LESS, (SEC. 1008.1.2, EXCEPTION I).
- 12. DOOR HARDWARE (SECTION 1010.1.10): EACH MEANS OF EGRESS DOOR IN AREAS HAVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS SHALL BE EQUIPPED WITH PANIC HARDWARE.

- 13. TWO EXITS OR EXIT ACCESS DOORWAYS, SECTION 1015.2.1; WHERE A BUILDING IS NOT EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THROUGHOUT, THE SEPARATION DISTANCE OF THE EXIT DOORS SHALL NOT BE LESS THAN ONE-HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL OF THE AREA SERVED.
- 14. MEANS OF EGRESS DOORS (SECTION 1008): THE MEANS OF EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. HARDWARE INCLUDING DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ARE REQUIRED TO BE BE ACCESSIBLE PER CHAPTER II OF THE BUILDING CODE AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
- 15. MEANS OF EGRESS ILLUMINATION (SECTION 1008): THE MEANS OF EGRESS SHALL BE ILLUMINATED AT ALL TIMES THE SPACE IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN I FOOT-CANDLE AT THE WALKING SURFACE.
- 16. EXIT SIGNS (SECTION 1013): EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.
- 17. PORTABLE FIRE EXTINGUISHERS, (SECTION 906.1): a.) THE CONTRACTOR SHALL PROVIDE A TEMPORARY PORTABLE FIRE EXTINGUISHER ON THE PREMISES OF THE PROJECT DURING CONSTRUCTION. b.) PROVIDE A PERMANENT PORTABLE FIRE EXTINGUISHER MEETING REQUIREMENTS FOR LIGHT (LOW) HAZARD, CLASS A FIRES. MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER IS 75 FEET.
- 18. GLASS AND GLAZING (CHAPTER 24): ALL INTERIOR GLAZING SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 2401 THROUGH 2407.
- 19. ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808.
- 20. FIRE ALARM AND DETECTION SYSTEM SHALL BE PROVIDED AS REQUIRED PER SECTION 907 OF THE CODE. THE OCCUPANT LOADS DO NOT EXCEED THE NUMBER ALLOWED FOR F-I, S-2, OR M USES, THEREFORE NOT REQUIRED.
- 21. RECEPTION/SERVICE COUNTER SHALL HAVE A PORTION A MINIMUM OF 36" WIDE AND MAX. 36" HIGH FOR BARRIER-FREE ACCESS.
- 22. MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (2015 MPC, TABLE 403.1): <u>M, MERCANTILE (MARKET)</u> WATER CLOSETS: MALE AND FEMALE; I PER 500 LAVATORIES: MALE AND FEMALE; I PER 750
- BATH/SHOWER: N/A DRINKING FOUNTAIN: | PER 1,000 (I) SERVICE SINK
- F-I AND S-2, FACTORY/STORAGE OCCUPANCY

WATER CLOSETS: I PER 100 MALE, I PER 100 FEMALES LAVATORIES: I PER 100 MALE, I PER 100 FEMALE DRINKING FOUNTAIN: 1 SERVICE SINK: I

23. SEPERATE PLUMBING FACILITIES, (MPC, SECTION 403.2): EXCEPTION #2: SEPERATE EMPLOYEE FACILITIES ARE NOT REQUIRED IN OCCUPANCIES IN WHICH FEWER THAN 15 PEOPLE ARE EMPLOYED.



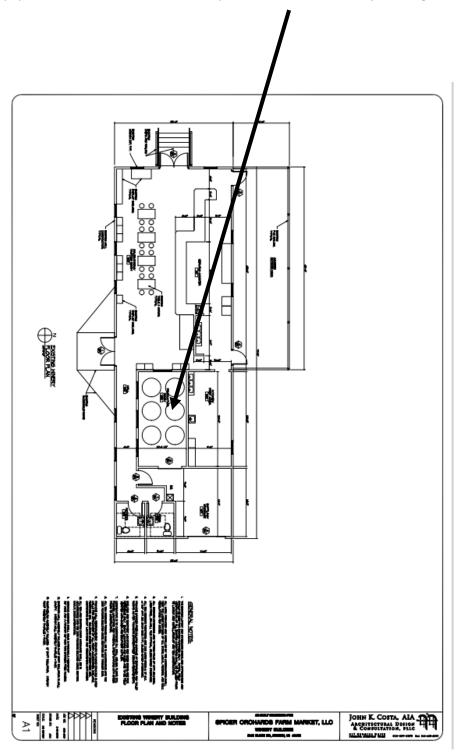


N EXISTING FARM MARKET/ CIDER MILL FLOOR PLAN

	JOHN K. COSTA, AIA ARCHITECTURAL DESIGN & CONSULTATION, PLLC
	AS-BUILT DRAWINGS FOR AS-BUILT DRAWINGS FOR BRANKET & CIDER MILL TOATI CLYDE RD, FENTON, MI 48430
EXIST. CHECK-OUT FE CHECK-OUT FE CHECK-OUT FE COVERED PORCH EXIST. COVERED PORCH CU3'-O" DOOR AND FRAME. TYPICAL TYPICAL	EXISTING FARM MARKET/ CIDER MILL FLOOR PLAN
	REVISIONS

2024 Spicer's Orchard Winery Microbrewery Project

The Spicer and Cartwright families seek to expand the offerings at our current Winery tasting room. We want to add a selection of beer to reach an additional group of customers who are visiting the farm. There are no planned additions to our buildings. We are just adding equipment for brewing. The equipment will be located in current space located in our winery building.



Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By:	Michael Luce, Township Manager
Subject:	Closed session to consult with the Townships attorney regarding trial or settlement strategy.
Date:	May 30, 2024

Recommended Action

Motion to adjourn to closed session to consult with the Townships attorney regarding trial or settlement strategy in connection with the case of Hartland Township v Livingston County *et al* the discussion of which in an open meeting would have a detrimental financial effect on the litigating or settlement position of the Township. In accordance with the Open Meetings Act, MCL 15.268(1)(e)

Discussion

Closed session to consult with the Townships attorney regarding trial or settlement strategy in connection with the case of Hartland Township v Livingston County *et al* the discussion of which in an open meeting would have a detrimental financial effect on the litigating or settlement position of the Township. In accordance with the Open Meetings Act, MCL 15.268(1)(e)

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Michael Luce, Township Manager

Subject: Closed Session: to consider a periodic personnel evaluation of the Township Manager, at his request under MCL 15.268(a)

Date: May 23, 2024