



## Board of Trustees

William J. Fountain, Supervisor	Matthew J. Germane, Trustee
Larry N. Ciofu, Clerk	Summer L. McMullen, Trustee
Kathleen A. Horning, Treasurer	Denise M. O'Connell, Trustee
	Joseph M. Petrucci, Trustee

---

### Board of Trustees Regular Meeting Agenda Hartland Township Hall Tuesday, June 21, 2022 7:00 PM

1. Call to Order
  2. Pledge of Allegiance
  3. Roll Call
  4. Approval of the Agenda
  5. Call to the Public
  6. Approval of the Consent Agenda
    - [a.](#) Approve Payment of Bills
    - [b.](#) Approve Post Audit of Disbursements Between Board Meetings
    - [c.](#) 06-07-2022 Hartland Township Board Regular Meeting Minutes
    - [d.](#) 06-07-2022 Hartland Township Board Closed Session Meeting Minutes
    - [e.](#) Waldenwoods Fireworks Display Permit – July 22, 2022
    - [f.](#) Waldenwoods Fireworks Display Permit – August 28, 2022
  7. Pending & New Business
    - [a.](#) Site Plan Application #20-011 Villas of Hartland Planned Development (PD) – **REVISED**  
Preliminary Site Plan dated February 24, 2022
  8. Board Reports
- [BRIEF RECESS]
9. Information / Discussion
    - a. Manager's Report
    - [b.](#) Closed Session: to consider a periodic personnel evaluation of the Township Manager, at his request under MCL 15.268(a)
  10. Adjournment

## **Hartland Township Board of Trustees Meeting Agenda Memorandum**

**Submitted By:** Susan Case, Finance Clerk

**Subject:** Approve Payment of Bills

**Date:** June 14, 2022

### **Recommended Action**

Move to approve the bills as presented for payment.

### **Discussion**

Bills presented total \$34,784.54. The bills are available in the Finance office for review.

No notable invoices.

### **Financial Impact**

Is a Budget Amendment Required? ☐ Yes ☒ No

All expenses are covered under the amended FY23 budget.

### **Attachments**

Bills for 06.21.2022



06/14/2022 02:29 PM  
User: SUSANC  
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP  
EXP CHECK RUN DATES 06/21/2022 - 06/21/2022  
BOTH JOURNALIZED AND UNJOURNALIZED  
BOTH OPEN AND PAID - CHECK TYPE: PAPER CHECK

Page: 1/10

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
ALLSTAR	ALLSTAR ALARM LLC	06/01/2022	339763	FOA	7/1 - 9/30/22 MONITORING AT HERO TEE	
47559	8345 MAIN STREET	06/21/2022		N		150.00
06/01/2022	WHITMORE LAKE MI, 48189	/ /	0.0000	N		0.00
		06/21/2022		Y		150.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	150.00

VENDOR TOTAL: 150.00

APPLIED	APPLIED IMAGING	05/20/2022	1966544	FOA	4/23 - 5/22/22 - RICOH/MP6055SP	
47552	7718 SOLUTION CENTER	06/21/2022		N		38.17
05/20/2022	CHICAGO IL, 60677-7007	/ /	0.0000	N		0.00
		06/21/2022		N		38.17

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-172-930.000	REPAIRS & MAINTENANCE	38.17

VENDOR TOTAL: 38.17

CHLORIDESO	CHLORIDE SOLUTIONS, LLC	05/28/2022	1001	FOA	MAY 2022 DUST CONTROL	
47558	672 NORTH M-52	06/21/2022		N		8,090.43
05/28/2022	WEBBERVILLE MI, 48892	/ /	0.0000	N		0.00
		06/21/2022		Y		8,090.43

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-463-969.002	ROAD CHLORIDE	6,067.82
204-000-969.002	ROAD CHLORIDE	2,022.61
		8,090.43

VENDOR TOTAL: 8,090.43

CINTAS	CINTAS CORPORATION	05/27/2022	4120699107	FOA	MATS	
47618	P.O. BOX 630910	06/21/2022		N		46.34
05/27/2022	CINCINNATI OH, 45263	/ /	0.0000	N		0.00
		06/21/2022		N		46.34

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	46.34

CINTAS	CINTAS CORPORATION	06/13/2022	4122238495	FOA	MATS	
47623	P.O. BOX 630910	06/21/2022		N		57.47
06/13/2022	CINCINNATI OH, 45263	/ /	0.0000	N		0.00
		06/21/2022		N		57.47

Open

06/14/2022 02:29 PM  
User: SUSANC  
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP  
EXP CHECK RUN DATES 06/21/2022 - 06/21/2022  
BOTH JOURNALIZED AND UNJOURNALIZED  
BOTH OPEN AND PAID - CHECK TYPE: PAPER CHECK

Page: 2/10

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	57.47

VENDOR TOTAL: 103.81

CONSUMER	CONSUMERS ENERGY	06/03/2022	201719351320	FOA	JUNE 2022 WTP	
47627	PO BOX 740309	06/21/2022		N		15.00
06/03/2022	CINCINNATI OH, 45274-0309	/ /	0.0000	N		0.00
		06/21/2022		N		15.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-920.001	UTILITIES - GAS	15.00

CONSUMER	CONSUMERS ENERGY	06/03/2022	205990849127	FOA	JUNE 2022 HERO TEEN CENTER	
47626	PO BOX 740309	06/21/2022		N		34.68
06/03/2022	CINCINNATI OH, 45274-0309	/ /	0.0000	N		0.00
		06/21/2022		N		34.68

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-920.001	UTILITIES - GAS	34.68

VENDOR TOTAL: 49.68

DOUGIES	DOUGIE'S DISPOSAL & RECYCLING	06/01/2022	110379	FOA	JUNE 2022 - PARKS TRASH PICK-UP	
47553	PO BOX 241	06/21/2022		N		300.00
06/01/2022	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		06/21/2022		Y		300.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-801.000	CONTRACTED SERVICES	300.00

VENDOR TOTAL: 300.00

0071	DTE ENERGY-STREET LIGHTS	05/31/2022	200073668952	FOA	MAY 2022 - MILLPOINTE, FIDDLERS GROV	
47600		06/21/2022		N		1,325.82
	P.O. BOX 630795					
05/31/2022	CINCINNATI OH, 45263-0795	/ /	0.0000	N		0.00
		06/21/2022		N		1,325.82

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-448-921.000	STREET LIGHTS	1,033.01
101-000-282.001	MILLPOINTE STREETLIGHTS DEPOSIT	246.65
101-000-282.002	FIDDLAR GROVE STREETLIGHT DEPOSIT	22.29
101-000-282.003	WALNUT RIDGE STREETLIGHTS DEPOSIT	23.87
		1,325.82

06/14/2022 02:29 PM  
User: SUSANC  
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP  
EXP CHECK RUN DATES 06/21/2022 - 06/21/2022  
BOTH JOURNALIZED AND UNJOURNALIZED  
BOTH OPEN AND PAID - CHECK TYPE: PAPER CHECK

Page: 3/10

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

VENDOR TOTAL: 1,325.82

FIRSTCLASS	FIRST CLASS TIRE SHREDDERS	05/24/2022	90044	FOA	SCRAP TIRES	
47591	7302 W VIENNA RD	06/21/2022		N		741.00
05/24/2022	CLIO MI, 48420	/ /	0.0000	N		0.00
		06/21/2022		N		741.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-441-801.000	CONTRACTED SERVICES	741.00

FIRSTCLASS	FIRST CLASS TIRE SHREDDERS	05/24/2022	90045	FOA	SCRAP TIRES	
47592	7302 W VIENNA RD	06/21/2022		N		746.00
05/24/2022	CLIO MI, 48420	/ /	0.0000	N		0.00
		06/21/2022		N		746.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-441-801.000	CONTRACTED SERVICES	746.00

FIRSTCLASS	FIRST CLASS TIRE SHREDDERS	05/26/2022	90228	FOA	SCRAP TIRES	
47593	7302 W VIENNA RD	06/21/2022		N		1,079.80
05/26/2022	CLIO MI, 48420	/ /	0.0000	N		0.00
		06/21/2022		N		1,079.80

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-441-801.000	CONTRACTED SERVICES	1,079.80

VENDOR TOTAL: 2,566.80

MARKETEER	GEORGE MOSES CO	06/01/2022	060122	FOA	JUNE 2022	
47595	P.O. BOX 686	06/21/2022		N		175.00
06/01/2022	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		06/21/2022		N		175.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-956.000	FARMERS MARKET	175.00

VENDOR TOTAL: 175.00

HART	HART INTERCIVIC, INC.	05/31/2022	088728	FOA	8/1/22 - 9/30/23 - VERITY SERVICE/MA	
47613	DEPT 0453	06/21/2022		N		4,293.33
	P.O. BOX 120453					
05/31/2022	DALLAS TX, 75312-0453	/ /	0.0000	N		0.00
		06/21/2022		N		4,293.33

Open

06/14/2022 02:29 PM  
User: SUSANC  
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP  
EXP CHECK RUN DATES 06/21/2022 - 06/21/2022  
BOTH JOURNALIZED AND UNJOURNALIZED  
BOTH OPEN AND PAID - CHECK TYPE: PAPER CHECK

Page: 4/10

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

GL NUMBER	DESCRIPTION	AMOUNT
101-191-930.000	REPAIRS & MAINTENANCE	4,293.33
VENDOR TOTAL:		4,293.33

HACC	HARTLAND AREA COMMUNITY COUNCIL	05/28/2022	031	FOA	MEMORIAL DAY BOOKLET AD	
47609	PO BOX 133	06/21/2022		N		150.00
05/28/2022	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		06/21/2022		N		150.00
Open						

GL NUMBER	DESCRIPTION	AMOUNT
101-577-900.000	PRINTING & PUBLICATIONS	150.00
VENDOR TOTAL:		150.00

0150	HARTLAND CONSOLIDATED SCHOOLS	05/31/2022	173288	FOA	MAY 2022 FUEL	
47596	9525 E HIGHLAND ROAD	06/21/2022		N		999.70
06/01/2022	HOWELL MI, 48843	/ /	0.0000	N		0.00
		06/21/2022		N		999.70
Open						

GL NUMBER	DESCRIPTION	AMOUNT
101-239-860.000	GASOLINE	106.26
536-000-860.000	GASOLINE	893.44
		999.70
VENDOR TOTAL:		999.70

0001	HARTLAND TOWNSHIP GENERAL FUND	06/06/2022	060622	FOA	MAY 2022 DOG LICENSE PMTS	
47601		06/21/2022		N		22.50
06/06/2022	,	/ /	0.0000	N		0.00
		06/21/2022		N		22.50
Open						

GL NUMBER	DESCRIPTION	AMOUNT
701-000-290.250	DOG LICENSES ESCROW	22.50
VENDOR TOTAL:		22.50

HUNT2	HUNTINGTON NATIONAL BANK	05/02/2022	46636	FOA	7/1/22 - 6/30/23 MILLPOINTE RD SPEC	
47594	ATTN CORPORATE TRUST DEPT	06/21/2022		N		500.00
	L-3632					
05/02/2022	COLUMBUS OH, 43260	/ /	0.0000	N		0.00
		06/21/2022		N		500.00
Open						

GL NUMBER	DESCRIPTION	AMOUNT
358-000-996.000	BOND FEES	500.00

06/14/2022 02:29 PM  
User: SUSANC  
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP  
EXP CHECK RUN DATES 06/21/2022 - 06/21/2022  
BOTH JOURNALIZED AND UNJOURNALIZED  
BOTH OPEN AND PAID - CHECK TYPE: PAPER CHECK

Page: 5/10

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

VENDOR TOTAL: 500.00

HUTSON	HUTSON, INC.	06/01/2022	9524889	FOA	PRESSURE WASHER	
47604	3915 TRACTOR DR	06/21/2022		N		359.99
06/01/2022	HOWELL MI, 48855	/ /	0.0000	N		0.00
		06/21/2022		N		359.99

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	359.99

VENDOR TOTAL: 359.99

0220	LIVINGSTON COUNTY TREASURER	06/06/2022	060622	FOA	MAY 2022 DOG LICENSE PMTS	
47602	200 E. GRAND RIVER	06/21/2022		N		317.50
06/06/2022	HOWELL MI, 48843	/ /	0.0000	N		0.00
		06/21/2022		N		317.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
701-000-290.250	DOG LICENSES ESCROW	317.50

VENDOR TOTAL: 317.50

MIMUNRISK	MI MUNICIPAL RISK MGT AUTHORITY	06/01/2022	3074	FOA	RESCUE TASK FORCE TRAINING	
47560	14001 MERRIMAN ROAD	06/21/2022		N		150.00
06/01/2022	LIVONIA MI, 48154	/ /	0.0000	N		0.00
		06/21/2022		N		150.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000-084.336	DUE FROM FIRE AUTHORITY	150.00

VENDOR TOTAL: 150.00

LCDPA	MICHIGAN.COM	06/09/2022	PA8741424-060922	FOA	JULY 2022 SERVICE	
47615	PO BOX 742520	06/21/2022		N		7.58
06/09/2022	CINCINNATI OH, 45274-2520	/ /	0.0000	N		0.00
		06/21/2022		N		7.58

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-101-804.000	MEMBERSHIP & DUES	7.58

VENDOR TOTAL: 7.58

ORKIN	ORKIN	06/06/2022	228856746	FOA	PEST CONTROL AT HERO TEEN CENTER	
47598	21068 BRIDGE ST.	06/21/2022		N		70.88
06/06/2022	SOUTHFIELD MI, 48034	/ /	0.0000	N		0.00

06/14/2022 02:29 PM  
User: SUSANC  
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP  
EXP CHECK RUN DATES 06/21/2022 - 06/21/2022  
BOTH JOURNALIZED AND UNJOURNALIZED  
BOTH OPEN AND PAID - CHECK TYPE: PAPER CHECK

Page: 6/10

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

Open		06/21/2022		N		70.88
------	--	------------	--	---	--	-------

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	70.88

ORKIN	ORKIN	06/06/2022	228856804	FOA	PEST CONTROL AT TWP HALL	
47597	21068 BRIDGE ST.	06/21/2022		N		71.85
06/06/2022	SOUTHFIELD MI, 48034	/ /	0.0000	N		0.00
		06/21/2022		N		71.85

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	71.85

ORKIN	ORKIN	06/13/2022	228858901	FOA	PEST CONTROL AT WTP	
47619	21068 BRIDGE ST.	06/21/2022		N		68.00
06/13/2022	SOUTHFIELD MI, 48034	/ /	0.0000	N		0.00
		06/21/2022		N		68.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-801.000	CONTRACTED SERVICES	68.00

ORKIN	ORKIN	06/10/2022	233385854	FOA	PEST CONTROL AT TOWNSHIP HALL	
47620	21068 BRIDGE ST.	06/21/2022		N		71.85
06/10/2022	SOUTHFIELD MI, 48034	/ /	0.0000	N		0.00
		06/21/2022		N		71.85

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	71.85

VENDOR TOTAL: 282.58

1180	PETER'S TRUE VALUE HARDWARE	06/06/2022	K62838	FOA	MISC ITEMS	
47586	3455 W. HIGHLAND ROAD	06/21/2022		N		42.67
06/06/2022	MILFORD MI, 48380	/ /	0.0000	N		0.00
		06/21/2022		N		42.67

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-172-727.000	SUPPLIES & POSTAGE	14.99
536-000-740.000	OPERATING SUPPLIES	27.68
		42.67

1180	PETER'S TRUE VALUE HARDWARE	06/06/2022	K62842	FOA	ROLL CATCH	
47599	3455 W. HIGHLAND ROAD	06/21/2022		N		4.49
06/06/2022	MILFORD MI, 48380	/ /	0.0000	N		0.00
		06/21/2022		N		4.49

06/14/2022 02:29 PM  
User: SUSANC  
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP  
EXP CHECK RUN DATES 06/21/2022 - 06/21/2022  
BOTH JOURNALIZED AND UNJOURNALIZED  
BOTH OPEN AND PAID - CHECK TYPE: PAPER CHECK

Page: 7/10

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	4.49
1180	PETER'S TRUE VALUE HARDWARE	06/07/2022 K62859 FOA SCREW EXTRACTORS
47608	3455 W. HIGHLAND ROAD	06/21/2022 N 7.58
06/07/2022	MILFORD MI, 48380	/ / 0.0000 N 0.00
		06/21/2022 N 7.58

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	7.58
1180	PETER'S TRUE VALUE HARDWARE	06/09/2022 K62886 FOA WATER FOUNTAIN PARTS
47610	3455 W. HIGHLAND ROAD	06/21/2022 N 6.49
06/09/2022	MILFORD MI, 48380	/ / 0.0000 N 0.00
		06/21/2022 N 6.49

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-930.000	REPAIRS & MAINTENANCE	6.49
1180	PETER'S TRUE VALUE HARDWARE	06/09/2022 K62893 FOA TAPE RULE
47611	3455 W. HIGHLAND ROAD	06/21/2022 N 24.99
06/09/2022	MILFORD MI, 48380	/ / 0.0000 N 0.00
		06/21/2022 N 24.99

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	24.99
1180	PETER'S TRUE VALUE HARDWARE	06/09/2022 K62901 FOA WEED KILLER
47614	3455 W. HIGHLAND ROAD	06/21/2022 N 31.98
06/09/2022	MILFORD MI, 48380	/ / 0.0000 N 0.00
		06/21/2022 N 31.98

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	31.98

VENDOR TOTAL: 118.20

PBGFS	PITNEY BOWES GLOBAL FINANCIAL SERV.	05/28/2022 3315772595 FOA 4/1 - 6/30/22 LEASE OF POSTAGE MACHI
47557	P.O. BOX 981022	06/21/2022 N 440.73
05/28/2022	BOSTON MA, 02298-1022	/ / 0.0000 N 0.00
		06/21/2022 N 440.73

Open

GL NUMBER	DESCRIPTION	AMOUNT
-----------	-------------	--------

06/14/2022 02:29 PM  
User: SUSANC  
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP  
EXP CHECK RUN DATES 06/21/2022 - 06/21/2022  
BOTH JOURNALIZED AND UNJOURNALIZED  
BOTH OPEN AND PAID - CHECK TYPE: PAPER CHECK

Page: 8/10

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

101-172-930.000	REPAIRS & MAINTENANCE				440.73	
-----------------	-----------------------	--	--	--	--------	--

VENDOR TOTAL:	440.73
---------------	--------

RESCOM	RESCOM DOOR LLC	05/26/2022	2971	FOA	POLE BARN AT WTP	
47603	4088 E M-36	06/21/2022		N		195.00
05/26/2022	PINCKNEY MI, 48169	/ /	0.0000	N		0.00
		06/21/2022		Y		195.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-930.003	REPAIRS & MAINTENANCE BLD&GRDS	195.00

VENDOR TOTAL:	195.00
---------------	--------

RONALDS	RONALD'S TREE SERVICE LLC	05/31/2022	6444	FOA	TREE REMOVAL/TRIMMING AT PARSHALLVIL	
47612	9126 BENNETT LAKE RD	06/21/2022		N		3,835.00
05/31/2022	FENTON MI, 48430	/ /	0.0000	N		0.00
		06/21/2022		Y		3,835.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-567-930.000	REPAIRS & MAINTENANCE	3,835.00

VENDOR TOTAL:	3,835.00
---------------	----------

SANMARINO	SAN MARINO EXCAVATING, INC.	05/27/2022	146357	FOA	DUMPSTER RENTAL FOR CLEAN UP DAY EVE	
47585	5550 MITCHEL WAY	06/21/2022		N		6,635.00
05/27/2022	HOWELL MI, 48843	/ /	0.0000	N		0.00
		06/21/2022		Y		6,635.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-441-801.000	CONTRACTED SERVICES	6,635.00

VENDOR TOTAL:	6,635.00
---------------	----------

SERVICEPRO	SERVICEPRO	06/12/2022	APRIL 2022	FOA	APRIL 2022	
47624	7510 PARKWOOD DRIVE	06/21/2022		N		880.00
06/12/2022	FENTON MI, 48430	/ /	0.0000	N		0.00
		06/21/2022		Y		880.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	880.00

SERVICEPRO	SERVICEPRO	06/12/2022	MAY 2022	FOA	MAY 2022	
47625	7510 PARKWOOD DRIVE	06/21/2022		N		880.00
06/12/2022	FENTON MI, 48430	/ /	0.0000	N		0.00
		06/21/2022		Y		880.00



06/14/2022 02:29 PM  
User: SUSANC  
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP  
EXP CHECK RUN DATES 06/21/2022 - 06/21/2022  
BOTH JOURNALIZED AND UNJOURNALIZED  
BOTH OPEN AND PAID - CHECK TYPE: PAPER CHECK

Page: 9/10

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	880.00

VENDOR TOTAL: 1,760.00

STAPLES	STAPLES	06/04/2022	8066483075	FOA	PENS	
47583	PO BOX 660409	06/21/2022		N		5.72
06/04/2022	DALLAS TX, 75266-0409	/ /	0.0000	N		0.00
		06/21/2022		N		5.72

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-400-727.000	SUPPLIES & POSTAGE	5.72

STAPLES	STAPLES	06/11/2022	8066554319	FOA	MISC SUPPLIES	
47622	PO BOX 660409	06/21/2022		N		288.37
06/11/2022	DALLAS TX, 75266-0409	/ /	0.0000	N		0.00
		06/21/2022		N		288.37

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-172-727.000	SUPPLIES & POSTAGE	288.37

VENDOR TOTAL: 294.09

SPIRITOFLLI	THE SPIRIT OF LIVINGSTON	06/07/2022	53588	FOA	NAME BADGES	
47607	3280 W GRAND RIVER	06/21/2022		N		36.00
06/07/2022	HOWELL MI, 48855	/ /	0.0000	N		0.00
		06/21/2022		N		36.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-209-727.000	SUPPLIES & POSTAGE	12.00
101-441-727.000	SUPPLIES & POSTAGE	12.00
101-253-727.000	SUPPLIES & POSTAGE	12.00
		36.00

VENDOR TOTAL: 36.00

TOSHIBA	TOSHIBA AMERICA BUSINESS SOLUTIONS	05/23/2022	5784699	FOA	4/25 - 5/24/22 - ESTUDIO2830C COLOR	
47549	PO BOX 927	06/21/2022		N		12.63
05/23/2022	BUFFALO NY, 14240-0927	/ /	0.0000	N		0.00
		06/21/2022		N		12.63

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-172-930.000	REPAIRS & MAINTENANCE	12.63

06/14/2022 02:29 PM  
 User: SUSANC  
 DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP  
 EXP CHECK RUN DATES 06/21/2022 - 06/21/2022  
 BOTH JOURNALIZED AND UNJOURNALIZED  
 BOTH OPEN AND PAID - CHECK TYPE: PAPER CHECK

Page: 10/10

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

VENDOR TOTAL: 12.63

VC3, INC.	VC3, INC.	05/31/2022	79122	FOA	MICROSOFT 365 BUSINESS MAY 2022 - JU	
47621	P.O. BOX 746804	06/21/2022		N		1,575.00
05/31/2022	ATLANTA GA, 30374-6804	/ /	0.0000	N		0.00
		06/21/2022		N		1,575.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
577-000-946.000	PEG SERVER & SOFTWARE RENTAL	1,575.00

VENDOR TOTAL: 1,575.00

TOTAL - ALL VENDORS: 34,784.54

FUND TOTALS:

Fund 101 - GENERAL FUND	28,718.78
Fund 204 - MUNICIPAL STREET FUND	2,022.61
Fund 358 - MILLPOINTE ROAD DEBT SERVICE FUND	500.00
Fund 536 - WATER SYSTEM FUND	1,628.15
Fund 577 - CABLE TV FUND	1,575.00
Fund 701 - TRUST AND AGENCY	340.00

## **Hartland Township Board of Trustees Meeting Agenda Memorandum**

**Submitted By:** Susan Case, Finance Clerk

**Subject:** Approve Post Audit of Disbursements Between Board Meetings

**Date:** June 14, 2022

### **Recommended Action**

Move to approve the presented disbursements under the post-audit resolution.

### **Discussion**

The following disbursements have been made since the last board meeting:

Accounts Payable – \$8,758.98

June 15, 2022 Payroll - \$76,958.19

### **Financial Impact**

Is a Budget Amendment Required? ☐ Yes ☒ No

All expenses are covered under the amended FY23 budget.

### **Attachments**

Post Audit Bills List 06.09.2022

Payroll for 06.15.2022

Check Date	Bank	Check #	Payee	Description	GL #	Amount
06/09/2022	FOA	42814	CHASE BANK	SUPPLIES & POSTAGE	101-172-727.000	34.69
		42814		EDUCATION/TRAINING/CONVENTION	101-192-957.000	27.00
		42814		MEMBERSHIP & DUES	101-209-804.000	350.00
		42814		OPERATING SUPPLIES	101-265-740.000	15.89
		42814		TELEPHONE	101-265-851.000	38.43
		42814		CONTRACTED SERVICES	101-441-801.000	768.13
		42814		REPAIRS & MAINTENANCE	101-448-930.000	1,447.50
		42814		OPERATING SUPPLIES	101-577-740.000	747.05
		42814		CONTRACTED SERVICES	101-577-801.000	38.99
		42814		OPERATING SUPPLIES	536-000-740.000	288.23
		42814		WATER TREAT. CHEMICALS	536-000-740.001	2,920.55
		42814		INTERNET	536-000-805.000	308.69
		42814		TELEPHONE	536-000-851.000	71.77
		42814		PRINTING & PUBLICATIONS	536-000-900.000	26.99
		42814		REPAIRS & MAINTENANCE TRUCKS	536-000-930.002	166.72
		42814		CONTRACTED SERVICES & RENTALS	577-000-801.000	84.28
		42814		INTERNET	577-000-805.000	973.00
		42814		CABLE TV FEES	577-000-806.000	114.12
		42814		PEG SERVER & SOFTWARE RENTAL	577-000-946.000	15.90
						8,437.93
06/09/2022	FOA	42815	CONSUMERS ENERGY	STREET LIGHTS	101-448-921.000	210.46
		42815		UTILITIES - ELECTRIC	206-000-920.002	44.05
						254.51
06/09/2022	FOA	42816	DTE ENERGY	UTILITIES - ELECTRIC	101-751-920.002	48.57
06/09/2022	FOA	42817	PETTY CASH (TREASURER)	SUPPLIES & POSTAGE	101-101-727.000	17.97
TOTAL - ALL FUNDS				TOTAL OF 4 CHECKS		8,758.98
--- GL TOTALS ---						
101-101-727.000			SUPPLIES & POSTAGE		17.97	
101-172-727.000			SUPPLIES & POSTAGE		34.69	
101-192-957.000			EDUCATION/TRAINING/CONVENTION		27.00	
101-209-804.000			MEMBERSHIP & DUES		350.00	
101-265-740.000			OPERATING SUPPLIES		15.89	
101-265-851.000			TELEPHONE		38.43	
101-441-801.000			CONTRACTED SERVICES		768.13	
101-448-921.000			STREET LIGHTS		210.46	
101-448-930.000			REPAIRS & MAINTENANCE		1,447.50	
101-577-740.000			OPERATING SUPPLIES		747.05	
101-577-801.000			CONTRACTED SERVICES		38.99	
101-751-920.002			UTILITIES - ELECTRIC		48.57	
206-000-920.002			UTILITIES - ELECTRIC		44.05	
536-000-740.000			OPERATING SUPPLIES		288.23	
536-000-740.001			WATER TREAT. CHEMICALS		2,920.55	
536-000-805.000			INTERNET		308.69	
536-000-851.000			TELEPHONE		71.77	
536-000-900.000			PRINTING & PUBLICATIONS		26.99	

06/08/2022 02:25 PM  
User: SUSANC  
DB: Hartland

CHECK DISBURSEMENT REPORT FOR HARTLAND TOWNSHIP  
CHECK DATE FROM 06/09/2022 - 06/09/2022

Page 2/2

Check Date	Bank	Check #	Payee	Description	GL #	Amount
536-000-930.002				REPAIRS & MAINTENANCE TRUCKS		166.72
577-000-801.000				CONTRACTED SERVICES & RENTALS		84.28
577-000-805.000				INTERNET		973.00
577-000-806.000				CABLE TV FEES		114.12
577-000-946.000				PEG SERVER & SOFTWARE RENTAL		15.90
				TOTAL		8,758.98

Check Register Report For Hartland Township  
For Check Dates 06/15/2022 to 06/15/2022

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
06/15/2022	FOA	17150	ICMA VANTAGEPOINT TRANSFER AGENT	2,125.89	2,125.89	0.00	Open
06/15/2022	FOA	17151	ICMA VANTAGEPOINT TRANSFER AGENT	3,787.93	3,787.93	0.00	Open
06/15/2022	FOA	17152	ICMA VANTAGEPOINT TRANSFER AGENT	2,006.04	2,006.04	0.00	Open
06/15/2022	FOA	DD7847	BEAUDOIN, DIANA K	1,504.36	0.00	1,282.60	Cleared
06/15/2022	FOA	DD7848	BEDUHN, TIMOTHY L.A.	2,356.00	0.00	1,863.31	Cleared
06/15/2022	FOA	DD7849	BERNARDI, MELYNDA A	1,923.75	0.00	1,493.35	Cleared
06/15/2022	FOA	DD7850	BROOKS, TYLER J	3,604.70	0.00	2,473.43	Cleared
06/15/2022	FOA	DD7851	CASE, SUSAN E	2,152.50	0.00	1,397.14	Cleared
06/15/2022	FOA	DD7852	CIOFU, LARRY N	2,746.24	0.00	1,990.54	Cleared
06/15/2022	FOA	DD7853	DRYDEN-HOGAN, SUSAN A	3,601.41	0.00	2,559.84	Cleared
06/15/2022	FOA	DD7854	HAASETH, GWYN M	199.75	0.00	184.48	Cleared
06/15/2022	FOA	DD7855	HEASLIP, JAMES B	3,211.94	0.00	1,822.70	Cleared
06/15/2022	FOA	DD7856	HORNING, KATHLEEN A	2,746.24	0.00	1,991.44	Cleared
06/15/2022	FOA	DD7857	HUBBARD, TONYA S	2,176.88	0.00	1,752.90	Cleared
06/15/2022	FOA	DD7858	JOHNSON, LISA	2,286.90	0.00	1,446.57	Cleared
06/15/2022	FOA	DD7859	KENDALL, ANTHONY S	80.48	0.00	74.32	Cleared
06/15/2022	FOA	DD7860	KOPCZYK, MARY ANN	426.55	0.00	375.79	Cleared
06/15/2022	FOA	DD7861	LANGER, TROY D	3,592.16	0.00	2,521.87	Cleared
06/15/2022	FOA	DD7862	LOFTUS, DANIEL M	853.20	0.00	720.31	Cleared
06/15/2022	FOA	DD7863	LOUIS, CASEY	776.49	0.00	484.64	Cleared
06/15/2022	FOA	DD7864	LUCE, MICHAEL T	3,446.80	0.00	2,536.54	Cleared
06/15/2022	FOA	DD7865	MORGANROTH, CAROL L	2,186.73	0.00	1,678.01	Cleared
06/15/2022	FOA	DD7866	NIXON, MITCHELL A	1,339.00	0.00	1,092.28	Cleared
06/15/2022	FOA	DD7867	RADLEY, JAMES W	1,339.00	0.00	1,092.30	Cleared
06/15/2022	FOA	DD7868	SHOLLACK, DONNA M	2,497.46	0.00	1,886.83	Cleared
06/15/2022	FOA	DD7869	SOSNOWSKI, SHERI R	879.75	0.00	650.06	Cleared
06/15/2022	FOA	DD7870	VERMILLION, KAREN L	2,177.04	0.00	1,567.03	Cleared
06/15/2022	FOA	DD7871	WEST, ROBERT M	4,266.67	0.00	2,561.33	Cleared
06/15/2022	FOA	DD7872	WYATT, MARTHA K	3,401.96	0.00	2,235.00	Cleared
06/15/2022	FOA	EFT637	FEDERAL TAX DEPOSIT	13,264.37	13,264.37	0.00	Cleared

Totals:	Number of Checks: 030	76,958.19	21,184.23	39,734.61
---------	-----------------------	-----------	-----------	-----------

Total Physical Checks:	3
------------------------	---

Total Check Stubs:	27
--------------------	----

## **Hartland Township Board of Trustees Meeting Agenda Memorandum**

**Submitted By:** Larry Ciofu, Clerk

**Subject:** 06-07-2022 Hartland Township Board Regular Meeting Minutes

**Date:** June 15, 2022

### **Recommended Action**

Move to approve the Hartland Township Board Regular Meeting minutes for June 7, 2022.

### **Discussion**

Draft minutes are attached for review.

### **Financial Impact**

None

### **Attachments**

6-7-2022 HTB Minutes - DRAFT

# HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

June 07, 2022 – 7:00 PM

## **DRAFT**

### **1. Call to Order**

The meeting was called to order by Supervisor Fountain at 7:00 p.m.

### **2. Pledge of Allegiance**

### **3. Roll Call**

PRESENT: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane, Trustee O'Connell, Trustee Petrucci

ABSENT: Trustee McMullen

Also present was Township Manager Robert West.

### **4. Approval of the Agenda**

Treasurer Horning would like to make an addition to 6. e. Investment Policy Revision. The coversheet did not make it into the agenda packet and a copy is on the Board table for each Board Member.

#### **Move to approve the agenda for the June 7, 2022, Hartland Township Board meeting as amended.**

Motion made by Treasurer Horning, Seconded by Trustee O'Connell.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: Trustee McMullen

### **5. Call to the Public**

No one came forward.

### **6. Approval of the Consent Agenda**

#### **Move to approve the consent agenda for the June 7, 2022, Hartland Township Board Meeting as presented.**

Motion made by Trustee Petrucci, Seconded by Clerk Ciofu

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: Trustee McMullen

- a. Approve Payment of Bills
- b. Approve Post Audit of Disbursements Between Board Meetings
- c. 05-17-2022 Hartland Township Board Special Meeting Minutes
- d. 05-17-2022 Hartland Township Board Regular Meeting Minutes
- e. Investment Policy Revision
- f. Waldenwoods Fireworks Display Permit – 7-2-22
- g. Waldenwoods Fireworks Display Permit – 7-29-22



# HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

June 07, 2022 – 7:00 PM

## 7. Pending & New Business

### a) Resolution Adopting the Livingston County Hazard Mitigation Plan

Township Manager Bob West gave a brief overview of the Livingston County Hazard Mitigation Plan stating that in 2017 Hartland Township Board adopted a Hazard Mitigation Plan and it was updated in 2019. Every couple of years, FEMA requires all participating municipalities in a county to adopt a resolution of support. It makes Livingston County eligible for FEMA grants. This is a resolution adopting the Livingston County Hazard Mitigation Plan by Hartland Township so Livingston County will be eligible for Federal grants for emergency management.

#### **Move to approve Resolution 22-R016 Adoption of the Livingston County Hazard Mitigation Plan by Hartland Township.**

Motion made by Trustee Petrucci, Seconded by Treasurer Horning. Roll Call Vote Taken

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: Trustee McMullen

Motion passed: 6-0-1

### b) Dunham Road Pathway Project

Manager West provided a brief overview of the Dunham Road Sidewalk Project. He stated that the Township purchased some additional park property and relocated the Settler's Park path to install a conforming crosswalk along Dunham Road. We were unable to do this in prior years because the crosswalk could not be located at an intersection. We completed the conforming crosswalk last year, so what is before the Board is essentially the remainder of the pathway that will tie into the Hartland High School property. In partnership with the schools, as part of their arena project, they are going to do an 8-foot path that will tie into the park and continue all the way through the school property. This will complete the first connector essentially joining the Cromaine Library all the way down to south of M-59 via pathways, which has always been part of our pathways plan. Manager West stated that the project was sent out for bid, and we are seeking approval for \$175,703 plus a 20% contingency to be managed by the Public Works Director due to some wetland mitigation issues that are somewhat unknown at this time. Trustee Germane stated that we hired a new engineering firm for this project, and he inquired as to whether they met the expectations of the Township and if they came within the proposed budget that the Board previously approved. Manager West stated that they did and were under budget, the product quality was very good, and they exceeded our expectations on the timeline delivery. He stated they were very good in working with the Township and that he was very pleased with their performance. Trustee Germane inquired as to the comparison of the requested amount for this project and the original Capital Improvement Plan (CIP) allocation for this project. Manager West stated that this project was budgeted in the CIP for December 2021, for \$175,000. He stated, if we end up not using the contingency, we will be on budget, however we are seeing industry wide that all projects are exceeding projections that people had six to eight months ago. Manager West stated he is happy that we did land within target with the industry standards right now. Supervisor Fountain inquired as to the timeline for this project. Manager West stated that we are hoping to have this completed within the next 60 days and it will be completed before school starts. The schools will not be doing their section until next year. Trustee Germane stated that he noticed in the estimate that there was no line item for tree replacement, and he inquired as to whether this was in the scope of work. Manager West responded that the contractor went out on site and has proposed suggestions to go around the trees to save as many as possible. Only three trees will have to come down that will not

# HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

June 07, 2022 – 7:00 PM

be replaced along Dunham Road. Manager West stated that this project is ARPA eligible for funding.

**Move to approve the contract with Preiss Companies LLC., for the construction of the proposed Dunham Road sidewalk in the amount of \$175,703 and furthermore authorize a 20% contingency to be managed by the Public Works Director for a total project cost not to exceed \$210,843 as presented.**

Motion made by Trustee Germane, Seconded by Trustee Petrucci.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: Trustee McMullen

## c) Settlers Park Improvements

Manager West gave a brief overview of the Settler's Park Improvements for a picnic area and stated that this is a unique project. The field was mowed with a brush cutter and when finished, it was determined that there were so many ruts and divots that it was not suitable for a picnic area. He stated there was an enormous amount of feedback from patrons about how nice it looked when it was mowed and when patrons found out what the Township was looking to do, there was great resident support for this project. So, in addition to the picnic tables, benches, and garbage cans, we are looking to go in and level this area, put down topsoil, and reseed it. There is a natural ditch line between this area and the pavilion that will need a culvert that we will cover with grass as a direct walking area from the pavilion to the new picnic area. We are also asking for the Public Works Director to act on behalf of the Township to act as the project manager to help minimize costs in procuring the equipment. Treasurer Horning inquired as to whether additional benches could be installed at the playground area and Manager West stated that the plan includes adding two benches in the playground area.

**Move to approve the proposed Settlers Park improvements as presented in an amount not to exceed \$49,850 and authorize the Public Works Director to act on behalf of the Township as project manager executing contracts and purchase orders as necessary.**

Motion made by Treasurer Horning, Seconded by Trustee Germane.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: Trustee McMullen

## 8. Board Reports

Trustee Petrucci - No report.

Clerk Ciofu – Stated the Memorial Day Parade was wrapped with a post event meeting of the Hartland Area Community Council. Everyone thought that the parade was very well done even though we had a lot of new people manning many of the major areas, including parade staging and vendors. Everything seemed to go very well. As a group, the Community Council did want to let the DPW staff know that they did a wonderful job with all of the cemeteries. He stated the cemeteries were in immaculate shape and he thanked the DPW staff on a job well done.

Treasurer Horning – Stated she thought the cemeteries looked beautiful. Good job on the Parade and it was excellent to have it back.

Trustee Germane - No report.

# HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

June 07, 2022 – 7:00 PM

Trustee O'Connell - No report.

Supervisor Fountain - No report, but thanked those who worked on the Memorial day Parade.

[BRIEF RECESS]

## 9. Information / Discussion

### a) Manager's Report

Manager West also commended the work of the DPW staff on the Memorial Day Parade and thanked the Board for the resources provided to the DPW to be able to do this type of work. Manager West stated that we are still working on the Septage Receiving Station information and will likely need a closed session to discuss this with legal counsel if required. Manager West gave a brief update on the road work in the area stating we are having some difficulty getting information from MDOT on schedules and timing of projects. He did state that during the milling of the west bound M-59 lanes, MDOT did find some soft spots that will require an engineering review and that they now hope to complete this project by the end of this year's construction season. Supervisor Fountain inquired as to the effect of this delay on the west bound lane will have on the east bound side of M-59 and Manager West stated that they will now be working on both west and east bound sides of M-59 simultaneously. Manager West also stated MDOT will be starting work on U-S 23 and the detour signs have already been placed on Old US-23. Manager West confirmed that MDOT will be shutting down portions of US-23 from 9:00 p.m. to 6:00 a.m. nightly in addition to possible other closure times. Manager West stated they are getting negative feedback from residents along the route regarding the night work. Manager West stated that he will be contacting MDOT weekly to see if he can get information on progress to relay to our residents. Manager West stated that the water main extension project should start just after July 4<sup>th</sup>. He has also been working with the Livingston County Sheriff and our school partners on the cooperative agreement contract for police protection and it is now in review by the Livingston County legal department. Manager West stated that the Livingston County Sheriff's Department offers contract school resource officers, but our cooperative agreement will be the first in which the schools will participate in funding a community police officer. This will not be for a school resource officer.

- b) Closed Session: to consider a periodic personnel evaluation of the Township Manager, at his request under MCL 15.268(a)

**Move to go into closed session to consider a periodic personnel evaluation of the Township Manager at his request under MCL 15.268(a).**

Motion made by Treasurer Horning, Seconded by Trustee O'Connell      Roll call vote taken.

Voting Yea:      Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane, Trustee O'Connell, Trustee Petrucci

Voting Nay:      None

Absent:      Trustee McMullen

Motion passed: 6-0-1

Board is in closed session at 7:27 p.m.

Board came out of closed session at 7:37 p.m.

# HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

June 07, 2022 – 7:00 PM

## 10. Adjournment

### Move to adjourn the meeting at 7:38 p.m.

Motion made by Treasurer Horning, Seconded by Trustee O'Connell

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: Trustee McMullen

## **Hartland Township Board of Trustees Meeting Agenda Memorandum**

**Submitted By:** Larry Ciofu, Clerk

**Subject:** 06-07-2022 Hartland Township Board Closed Session Meeting Minutes

**Date:** June 15, 2022

### **Recommended Action**

Move to approve the Hartland Township Board Closed Session Meeting minutes for June 7, 2022.

### **Discussion**

Draft minutes are available in the Clerk's Office for review.

### **Financial Impact**

None

### **Attachments**

None

## **Hartland Township Board of Trustees Meeting Agenda Memorandum**

**Submitted By:** Larry Ciofu, Clerk

**Subject:** Waldenwoods Fireworks Display Permit – July 22, 2022

**Date:** June 15, 2022

### **Recommended Action**

Move to approve the Permit for Fireworks Display for Waldenwoods on July 22, 2022

### **Discussion**

Waldenwoods has applied to perform fireworks at 2975 Old US 23, which is Waldenwoods Resort property, for a wedding on Friday, July 22, 2022. Wolverine Fireworks will perform the fireworks and the applicant intends to launch the fireworks display from the shore of Lake Walden

The Hartland-Deerfield Fire Authority Fire Marshal's letter recommending approval, with conditions, is attached for review

### **Financial Impact**

None

### **Attachments**

Waldenwoods 7-22-22 Fireworks Application

# 2022 Application for Fireworks Other Than Consumer or Low Impact

FOR USE BY LEGISLATIVE BODY  
OF CITY, VILLAGE OR TOWNSHIP  
BOARD ONLY

DATE PERMIT(S) EXPIRE:

Authority: 2011 PA 256

The LEGISLATIVE BODY OF CITY, VILLAGE OR TOWNSHIP BOARD will not discriminate against any individual or group because of race, sex, religion, age, national origin, color, marital status, disability, or political beliefs. If you need assistance with reading, writing, hearing, etc., under the Americans with Disabilities Act, you may make your needs known to this Legislative Body of City, Village or Township Board.

TYPE OF PERMIT(S) (Select all applicable boxes)

- ☐ Agricultural or Wildlife Fireworks ☐ Articles Pyrotechnic ☐ Display Fireworks  
☐ Public Display ☒ Private Display  
☐ Special Effects Manufactured for Outdoor Pest Control or Agricultural Purposes

NAME OF APPLICANT <b>Waldenwoods</b>		ADDRESS OF APPLICANT <b>2975 Old US 23</b>	AGE OF APPLICANT 18 YEARS OR OLDER <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
NAME OF PERSON OR RESIDENT AGENT REPRESENTING CORPORATION, LLC, DBA OR OTHER <b>Anne Graham</b>		ADDRESS PERSON OR RESIDENT AGENT REPRESENTING CORPORATION, LLC, DBA OR OTHER <b>2975 Old US 23</b>	
IF A NON-RESIDENT APPLICANT (LIST NAME OF MICHIGAN ATTORNEY OR MICHIGAN RESIDENT AGENT)		ADDRESS (MICHIGAN ATTORNEY OR MICHIGAN RESIDENT AGENT)	TELEPHONE NUMBER
NAME OF PYROTECHNIC OPERATOR <b>Wolverine Fireworks</b>		ADDRESS OF PYROTECHNIC OPERATOR <b>205 West Seidlers Rod</b>	AGE OF PYROTECHNIC OPERATOR 18 YEARS OR OLDER <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
NO. YEARS EXPERIENCE	NO. DISPLAYS	WHERE	
NAME OF ASSISTANT		ADDRESS OF ASSISTANT	AGE OF ASSISTANT 18 YEARS OR OLDER <input type="checkbox"/> YES <input type="checkbox"/> NO
NAME OF OTHER ASSISTANT		ADDRESS OF OTHER ASSISTANT	AGE OF OTHER ASSISTANT 18 YEARS OR OLDER <input type="checkbox"/> YES <input type="checkbox"/> NO

EXACT LOCATION OF PROPOSED DISPLAY

**Waldenwoods**

DATE OF PROPOSED DISPLAY

**July 22, 2022**

TIME OF PROPOSED DISPLAY

**9:30pm**

MANNER AND PLACE OF STORAGE, SUBJECT TO APPROVAL OF LOCAL FIRE AUTHORITIES, IN ACCORDANCE WITH NFPA 1123, 1124 & 1126 AND OTHER STATE OR FEDERAL REGULATIONS. PROVIDE PROOF OF PROPER LICENSING OR PERMITTING BY STATE OR FEDERAL GOVERNMENT

**See attached certificate**

AMOUNT OF BOND OR INSURANCE (TO BE SET BY LOCAL GOVERNMENT)	NAME OF BONDING CORPORATION OR INSURANCE COMPANY
ADDRESS OF BONDING CORPORATION OR INSURANCE COMPANY	

NUMBER OF FIREWORKS	KIND OF FIREWORKS TO BE DISPLAYED (Please provide additional pages as needed)
	See attached form

SIGNATURE OF APPLICANT <i>Anne Graham</i>	DATE <b>6/14/22</b>
--	------------------------

## Application for Fireworks Other Than Consumer or Low Impact

[illegible]





HARTLAND DEERFIELD FIRE AUTHORITY  
**FIRE MARSHALS OFFICE**

Hartland Area Fire Dept.  
3205 Hartland Road  
Hartland, MI. 48353-1825

Voice: (810) 632-7676  
Fax: (810) 632-2176  
E-Mail: [jwhitbeck@hartlandareafire.com](mailto:jwhitbeck@hartlandareafire.com)

June 15, 2022

To: Hartland Township Board  
2655 Clark Rd.  
Hartland, MI 48353

Re: Waldenwoods application for fireworks

Based upon the review of the application named above and inspection of the proposed site for the fireworks display for July 22, 2022, we recommend approval of the request contingent upon the following:

- 1) Wolverine Fireworks Display, Inc. is responsible for ensuring that NFPA 1123 is followed.
- 2) Based upon vegetation / weather conditions, the fire department may have a brush truck at the launching site with sufficient personnel to handle any fire emergencies that may arise.
- 3) Due to the cart path access to the site, it is not recommended that apparatus other than a fire department brush truck be used in a non-emergency situation.
- 4) No one will be allowed within 100 yards of the launch site during the display.
- 5) Smoking and open flame will not be permitted within 50 feet of the launch site. Exception: Items required for the ignition of the displays by trained and certified professionals.
- 6) The display will not begin until all persons are off of the lake. The display will be stopped in the event anyone ventures onto the lake, and the display will not be resumed until the lake is cleared.
- 7) It is understood that the fire department will not allow the display to commence or continue in the event that these conditions are not met, or in the event of conditions arising, such as adverse weather or faulty firing of the displays, or any condition which this department deems unsafe for the display to continue.
- 8) Insurance as agreed upon by the Hartland Township Board.
- 9) Final approval and permitting by the Hartland Township Board.

The Waldenwoods fireworks displays continues to be a spectacular addition to events while keeping the safety and welfare of all spectators, workers, and buildings first on their agenda. Should you have any other questions, or we can be of further assistance, please call.

Yours In Fire Safety,

A handwritten signature in black ink, appearing to read 'Jenn Whitbeck'.

Jenn Whitbeck  
Fire Inspector





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

6/13/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> The Partners Group Ltd 11225 SE 6th St., Suite 110 Bellevue WA 98004	<b>CONTACT NAME:</b> Janet Nau	
	<b>PHONE (A/C, No, Ext):</b> 425-455-5640	<b>FAX (A/C, No):</b> 425-455-6727
<b>INSURED</b> Wolverine Fireworks Display, Inc. 205 West Seidlers Road Kawkawlin MI 48631	<b>E-MAIL ADDRESS:</b> jnau@tpgrp.com	
	<b>INSURER(S) AFFORDING COVERAGE</b>	
	<b>INSURER A:</b> Everest Indemnity Insurance Co	
	<b>INSURER B:</b> Arch Specialty Insurance Company	
	<b>INSURER C:</b>	
	<b>INSURER D:</b>	
<b>INSURER E:</b>		
<b>INSURER F:</b>		

**COVERAGES**

CERTIFICATE NUMBER: 981159409

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS														
A	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> <b>CLAIMS-MADE</b> <input checked="" type="checkbox"/> <b>OCCUR</b>  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> <b>POLICY</b> <input checked="" type="checkbox"/> <b>PRO-JECT</b> <input type="checkbox"/> <b>LOC</b>	Y		SI8ML02442221	2/1/2022	2/1/2023	<table border="1"><tr><td>EACH OCCURRENCE</td><td>\$ 1,000,000</td></tr><tr><td>DAMAGE TO RENTED PREMISES (Ea occurrence)</td><td>\$ 500,000</td></tr><tr><td>MED EXP (Any one person)</td><td>\$ Excluded</td></tr><tr><td>PERSONAL &amp; ADV INJURY</td><td>\$ 1,000,000</td></tr><tr><td>GENERAL AGGREGATE</td><td>\$ 2,000,000</td></tr><tr><td>PRODUCTS - COMP/OP AGG</td><td>\$ 2,000,000</td></tr><tr><td></td><td>\$</td></tr></table>	EACH OCCURRENCE	\$ 1,000,000	DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 500,000	MED EXP (Any one person)	\$ Excluded	PERSONAL & ADV INJURY	\$ 1,000,000	GENERAL AGGREGATE	\$ 2,000,000	PRODUCTS - COMP/OP AGG	\$ 2,000,000		\$
EACH OCCURRENCE	\$ 1,000,000																				
DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 500,000																				
MED EXP (Any one person)	\$ Excluded																				
PERSONAL & ADV INJURY	\$ 1,000,000																				
GENERAL AGGREGATE	\$ 2,000,000																				
PRODUCTS - COMP/OP AGG	\$ 2,000,000																				
	\$																				
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> <b>ANY AUTO</b> <input type="checkbox"/> <b>ALL OWNED AUTOS</b> <input type="checkbox"/> <b>HIRED AUTOS</b> <input type="checkbox"/> <b>SCHEDULED AUTOS</b> <input type="checkbox"/> <b>NON-OWNED AUTOS</b>						<table border="1"><tr><td>COMBINED SINGLE LIMIT (Ea accident)</td><td>\$</td></tr><tr><td>BODILY INJURY (Per person)</td><td>\$</td></tr><tr><td>BODILY INJURY (Per accident)</td><td>\$</td></tr><tr><td>PROPERTY DAMAGE (Per accident)</td><td>\$</td></tr><tr><td></td><td>\$</td></tr></table>	COMBINED SINGLE LIMIT (Ea accident)	\$	BODILY INJURY (Per person)	\$	BODILY INJURY (Per accident)	\$	PROPERTY DAMAGE (Per accident)	\$		\$				
COMBINED SINGLE LIMIT (Ea accident)	\$																				
BODILY INJURY (Per person)	\$																				
BODILY INJURY (Per accident)	\$																				
PROPERTY DAMAGE (Per accident)	\$																				
	\$																				
B	<b>UMBRELLA LIAB</b> <input checked="" type="checkbox"/> <b>OCCUR</b> <b>EXCESS LIAB</b> <input checked="" type="checkbox"/> <b>CLAIMS-MADE</b> <b>DED</b> <input checked="" type="checkbox"/> <b>RETENTION \$ \$0</b>			UXP104806300	2/1/2022	2/1/2023	<table border="1"><tr><td>EACH OCCURRENCE</td><td>\$ 4,000,000</td></tr><tr><td>AGGREGATE</td><td>\$ 4,000,000</td></tr><tr><td></td><td>\$</td></tr></table>	EACH OCCURRENCE	\$ 4,000,000	AGGREGATE	\$ 4,000,000		\$								
EACH OCCURRENCE	\$ 4,000,000																				
AGGREGATE	\$ 4,000,000																				
	\$																				
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A				<table border="1"><tr><td>WC STATUTORY LIMITS</td><td>OTH-ER</td></tr><tr><td>E.L. EACH ACCIDENT</td><td>\$</td></tr><tr><td>E.L. DISEASE - EA EMPLOYEE</td><td>\$</td></tr><tr><td>E.L. DISEASE - POLICY LIMIT</td><td>\$</td></tr></table>	WC STATUTORY LIMITS	OTH-ER	E.L. EACH ACCIDENT	\$	E.L. DISEASE - EA EMPLOYEE	\$	E.L. DISEASE - POLICY LIMIT	\$						
WC STATUTORY LIMITS	OTH-ER																				
E.L. EACH ACCIDENT	\$																				
E.L. DISEASE - EA EMPLOYEE	\$																				
E.L. DISEASE - POLICY LIMIT	\$																				
A	Excess Liability - Occurrence			SI8EX01908221	2/1/2022	2/1/2023	<table border="1"><tr><td>Each Occurrence</td><td>\$5,000,000</td></tr><tr><td>Aggregate</td><td>\$5,000,000</td></tr></table>	Each Occurrence	\$5,000,000	Aggregate	\$5,000,000										
Each Occurrence	\$5,000,000																				
Aggregate	\$5,000,000																				

**DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)**

The following are Additional Insured on General Liability as their interest may appear as respects operations performed by or on behalf of the Named Insured, as required by written contract:

Waldenwoods Resort and Hartland Township

Dates of Events:

July 2, 2022 Rain Date: July 3, 2022

July 22, 2022 Rain Date: N/A

July 29, 2022 Rain Date: N/A

August 28, 2022 Rain Date: N/A

See Attached...

**CERTIFICATE HOLDER****CANCELLATION**

Waldenwoods Resort  
2975 Old US 23  
Hartland MI 48353

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

© 1988-2010 ACORD CORPORATION. All rights reserved.

ACORD 25 (2010/05)

The ACORD name and logo are registered marks of ACORD

THIS CERTIFICATE SUPERSEDES PREVIOUSLY ISSUED CERTIFICATE



## ADDITIONAL REMARKS SCHEDULE

AGENCY The Partners Group Ltd		NAMED INSURED Wolverine Fireworks Display, Inc. 205 West Seidlers Road Kawkawlin MI 48631
POLICY NUMBER		
CARRIER	NAIC CODE	EFFECTIVE DATE:

### ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,  
 FORM NUMBER: 25 FORM TITLE: CERTIFICATE OF LIABILITY INSURANCE

Location of Event: Waldenwoods Resort, 2975 Old US 23, Hartland, MI 48353



# Wolverine FIREWORKS

205 West Seidlers Rd. • Kawkawlin, MI 48631  
Phone: 989.662.0121 • Fax: 989.662.0122

Display, Inc.

Visit us at [www.wolverinefireworks.com](http://www.wolverinefireworks.com)

## Contract Agreement

This Contract will engage the services of Wolverine Fireworks Display Inc. as vendor and display operator.

This agreement, between Waldenwoods Resort, herein after called "Sponsor" and Wolverine Fireworks Display Inc., 205 W Seidlers Rd., Kawkawlin, MI., Hereinafter called "Professional", is as follows.

The Sponsor and Professional, for mutual consideration hereinafter set forth, agree as follows:

- A: Professional agrees to provide Sponsor with correct amount, size and description of Fireworks as specified in proposal submitted to Sponsor 2022.
- B: Professional will provide Sponsor with Labor for the July 22, 2022 Fireworks Display at Waldenwoods Resort, 2975 Hartland, MI 48353.
- C: Rain Date N/A.
- D: Professional agrees to provide Sponsor with Liability Insurance in the amount of \$10,000,000.00. All individuals/entities listed on the certificate of insurance will be deemed an additional insured per this contract.
- E: Sponsor agrees that in case of inclement weather or any other circumstances not caused solely by Professional, Sponsor will be charged maximum fixed costs in the amount of \$625.00 per day and not for the unused Fireworks Package if display is cancelled *after* 5:00 p.m. the day before the display whether display *is or is not* rescheduled. If display is cancelled *prior* to 5:00 p.m. the day before the display and *is* rescheduled, Sponsor will be charged a minimum administration fee of \$100.00.
- F: Sponsor agrees to pay Professional a deposit of \$625.00 upon signing of contract, no later than 30 days prior to display date. If display is cancelled and not rescheduled by sponsor after deposit is paid but prior to 30 days before the display, Sponsor will forfeit 25% of deposit. If less than 30 days prior to display, Sponsor will forfeit 100% of deposit.
- G: Sponsor agrees to pay balance of \$1,875.00 (including applicable sales tax) within 10 days after show date of July 22, 2022.
- H: Sponsor agrees to indemnify, hold harmless, and defend Professional from and against any and all suits, claims, damages, liabilities, losses, expenses, and costs, including attorney fees (collectively "loss"), except to the extent such loss was caused by Professional's sole negligence.
- I: Sponsor agrees to procure and furnish a suitable place to display the fireworks in accordance with the NFPA 1123, and to secure all police, fire, and local and state permits, to arrange for any security bonds as required by law and to furnish all necessary and proper police and fire protection for the protection of Sponsor, the public, individuals who work in or around the display, for proper crowd control, vehicle parking and proper supervision. Sponsor further agrees to provide all necessary and proper discharge site security.
- J: If Professional, in its sole determination, is unable to supply the size and type of fireworks proposed due to supply chain issues, Professional will substitute with fireworks of equal monetary value, in its sole discretion, if possible. If no such supply is available, Professional will refund Sponsor any deposit paid and this agreement will be cancelled without penalty to Professional or Sponsor.

Anne Graham

Anne Graham (Jun 14, 2022 11:05 EDT)

Sponsor

Jennifer Campau

Professional



## 3 Minute Wedding Show 2022

\$2,500 Proposal

Includes Labor and Insurance

### OPENING

3      25 Shot    Cluster Bombs

### MAIN SHOW

36      2.5"    Assorted Flower Basket Shells  
36      3"      Assorted Lidu Shells W/Tails

### MID SHOW

6      2.5"    Chrysanthemums (In Wedding Colors)  
6      3"      Peonies (In Wedding Colors)

### MAIN SHOW Continued...

36      2.5"    Assorted Flower Basket Shells

### FINALE

2      100 Shot    Touchdown Cakes (Fast Barrage of Color, Whistling and Report)  
60      2.5"    Titanium Salute Finales (Chained 12/1)  
60      3"      Brocade Color and Report Finales (Chained 12/1)

## **Hartland Township Board of Trustees Meeting Agenda Memorandum**

**Submitted By:** Larry Ciofu, Clerk

**Subject:** Waldenwoods Fireworks Display Permit – August 28, 2022

**Date:** June 15, 2022

### **Recommended Action**

Move to approve the Permit for Fireworks Display for Waldenwoods on August 28, 2022

### **Discussion**

Waldenwoods has applied to perform fireworks at 2975 Old US 23, which is Waldenwoods Resort property, for a wedding on Sunday, August 28, 2022. Wolverine Fireworks will perform the fireworks and the applicant intends to launch the fireworks display from the shore of Lake Walden

The Hartland-Deerfield Fire Authority Fire Marshal's letter recommending approval, with conditions, is attached for review

### **Financial Impact**

None

### **Attachments**

Waldenwoods 8-28-22 Fireworks Application

# 2022 Application for Fireworks Other Than Consumer or Low Impact

FOR USE BY LEGISLATIVE BODY  
OF CITY, VILLAGE OR TOWNSHIP  
BOARD ONLY

DATE PERMIT(S) EXPIRE:

Authority: 2011 PA 256

The LEGISLATIVE BODY OF CITY, VILLAGE OR TOWNSHIP BOARD will not discriminate against any individual or group because of race, sex, religion, age, national origin, color, marital status, disability, or political beliefs. If you need assistance with reading, writing, hearing, etc., under the Americans with Disabilities Act, you may make your needs known to this Legislative Body of City, Village or Township Board.

TYPE OF PERMIT(S) (Select all applicable boxes)

☐ Agricultural or Wildlife Fireworks

☐ Articles Pyrotechnic

☐ Display Fireworks

☐ Public Display

☒ Private Display

☐ Special Effects Manufactured for Outdoor Pest Control or Agricultural Purposes

NAME OF APPLICANT

Waldenwoods

ADDRESS OF APPLICANT

2975 Old US 23

AGE OF APPLICANT 18 YEARS OR OLDER

☒ YES ☐ NO

NAME OF PERSON OR RESIDENT AGENT REPRESENTING  
CORPORATION, LLC, DBA OR OTHER

Anne Graham

ADDRESS PERSON OR RESIDENT AGENT REPRESENTING CORPORATION, LLC, DBA OR OTHER

2975 Old US 23

IF A NON-RESIDENT APPLICANT (LIST NAME OF MICHIGAN ATTORNEY  
OR MICHIGAN RESIDENT AGENT)

ADDRESS (MICHIGAN ATTORNEY OR MICHIGAN RESIDENT  
AGENT)

TELEPHONE NUMBER

NAME OF PYROTECHNIC OPERATOR

Wolverine Fireworks

ADDRESS OF PYROTECHNIC OPERATOR

205 West Seidlers Rod

AGE OF PYROTECHNIC OPERATOR 18 YEARS OR  
OLDER

☒ YES ☐ NO

NO. YEARS EXPERIENCE

NO. DISPLAYS

WHERE

NAME OF ASSISTANT

ADDRESS OF ASSISTANT

AGE OF ASSISTANT 18 YEARS OR OLDER

☐ YES ☐ NO

NAME OF OTHER ASSISTANT

ADDRESS OF OTHER ASSISTANT

AGE OF OTHER ASSISTANT 18 YEARS OR OLDER

☐ YES ☐ NO

EXACT LOCATION OF PROPOSED DISPLAY

Waldenwoods

DATE OF PROPOSED DISPLAY

August 28, 2022

TIME OF PROPOSED DISPLAY

9:30pm

MANNER AND PLACE OF STORAGE, SUBJECT TO APPROVAL OF LOCAL FIRE AUTHORITIES, IN ACCORDANCE WITH NFPA 1123, 1124 & 1126 AND OTHER STATE OR FEDERAL REGULATIONS.  
PROVIDE PROOF OF PROPER LICENSING OR PERMITTING BY STATE OR FEDERAL GOVERNMENT

See attached certificate

AMOUNT OF BOND OR INSURANCE (TO BE SET BY LOCAL GOVERNMENT)

NAME OF BONDING CORPORATION OR INSURANCE COMPANY

ADDRESS OF BONDING CORPORATION OR INSURANCE COMPANY

NUMBER OF FIREWORKS

KIND OF FIREWORKS TO BE DISPLAYED (Please provide additional pages as needed)

See attached form

SIGNATURE OF APPLICANT

Anne Graham

DATE

6/14/22







HARTLAND DEERFIELD FIRE AUTHORITY  
**FIRE MARSHALS OFFICE**

Hartland Area Fire Dept.  
3205 Hartland Road  
Hartland, MI. 48353-1825

Voice: (810) 632-7676  
Fax: (810) 632-2176  
E-Mail: [jwhitbeck@hartlandareafire.com](mailto:jwhitbeck@hartlandareafire.com)

June 15, 2022

To: Hartland Township Board  
2655 Clark Rd.  
Hartland, MI 48353

Re: Waldenwoods application for fireworks

Based upon the review of the application named above and inspection of the proposed site for the fireworks display for August 28, 2022, we recommend approval of the request contingent upon the following:

- 1) Wolverine Fireworks Display, Inc. is responsible for ensuring that NFPA 1123 is followed.
- 2) Based upon vegetation / weather conditions, the fire department may have a brush truck at the launching site with sufficient personnel to handle any fire emergencies that may arise.
- 3) Due to the cart path access to the site, it is not recommended that apparatus other than a fire department brush truck be used in a non-emergency situation.
- 4) No one will be allowed within 100 yards of the launch site during the display.
- 5) Smoking and open flame will not be permitted within 50 feet of the launch site. Exception: Items required for the ignition of the displays by trained and certified professionals.
- 6) The display will not begin until all persons are off of the lake. The display will be stopped in the event anyone ventures onto the lake, and the display will not be resumed until the lake is cleared.
- 7) It is understood that the fire department will not allow the display to commence or continue in the event that these conditions are not met, or in the event of conditions arising, such as adverse weather or faulty firing of the displays, or any condition which this department deems unsafe for the display to continue.
- 8) Insurance as agreed upon by the Hartland Township Board.
- 9) Final approval and permitting by the Hartland Township Board.

The Waldenwoods fireworks displays continues to be a spectacular addition to events while keeping the safety and welfare of all spectators, workers, and buildings first on their agenda. Should you have any other questions, or we can be of further assistance, please call.

Yours In Fire Safety,

Jenn Whitbeck  
Fire Inspector





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

6/13/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> The Partners Group Ltd 11225 SE 6th St., Suite 110 Bellevue WA 98004	<b>CONTACT NAME:</b> Janet Nau	
	<b>PHONE (A/C, No, Ext):</b> 425-455-5640	<b>FAX (A/C, No):</b> 425-455-6727
	<b>E-MAIL ADDRESS:</b> jnau@tpgrp.com	
	<b>INSURER(S) AFFORDING COVERAGE</b>	<b>NAIC #</b>
	<b>INSURER A:</b> Everest Indemnity Insurance Co	10851
	<b>INSURER B:</b> Arch Specialty Insurance Company	21199
	<b>INSURER C:</b>	
	<b>INSURER D:</b>	
	<b>INSURER E:</b>	
	<b>INSURER F:</b>	

**COVERAGES** **CERTIFICATE NUMBER:** 981159409 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS														
A	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> <b>CLAIMS-MADE</b> <input checked="" type="checkbox"/> <b>OCCUR</b>  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> <b>POLICY</b> <input checked="" type="checkbox"/> <b>PRO-JECT</b> <input type="checkbox"/> <b>LOC</b>	Y		SI8ML02442221	2/1/2022	2/1/2023	<table border="1"><tr><td>EACH OCCURRENCE</td><td>\$ 1,000,000</td></tr><tr><td>DAMAGE TO RENTED PREMISES (Ea occurrence)</td><td>\$ 500,000</td></tr><tr><td>MED EXP (Any one person)</td><td>\$ Excluded</td></tr><tr><td>PERSONAL &amp; ADV INJURY</td><td>\$ 1,000,000</td></tr><tr><td>GENERAL AGGREGATE</td><td>\$ 2,000,000</td></tr><tr><td>PRODUCTS - COMP/OP AGG</td><td>\$ 2,000,000</td></tr><tr><td></td><td>\$</td></tr></table>	EACH OCCURRENCE	\$ 1,000,000	DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 500,000	MED EXP (Any one person)	\$ Excluded	PERSONAL & ADV INJURY	\$ 1,000,000	GENERAL AGGREGATE	\$ 2,000,000	PRODUCTS - COMP/OP AGG	\$ 2,000,000		\$
EACH OCCURRENCE	\$ 1,000,000																				
DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 500,000																				
MED EXP (Any one person)	\$ Excluded																				
PERSONAL & ADV INJURY	\$ 1,000,000																				
GENERAL AGGREGATE	\$ 2,000,000																				
PRODUCTS - COMP/OP AGG	\$ 2,000,000																				
	\$																				
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> <b>ANY AUTO</b> <input type="checkbox"/> <b>ALL OWNED AUTOS</b> <input type="checkbox"/> <b>HIRED AUTOS</b> <input type="checkbox"/> <b>SCHEDULED AUTOS</b> <input type="checkbox"/> <b>NON-OWNED AUTOS</b>						<table border="1"><tr><td>COMBINED SINGLE LIMIT (Ea accident)</td><td>\$</td></tr><tr><td>BODILY INJURY (Per person)</td><td>\$</td></tr><tr><td>BODILY INJURY (Per accident)</td><td>\$</td></tr><tr><td>PROPERTY DAMAGE (Per accident)</td><td>\$</td></tr><tr><td></td><td>\$</td></tr></table>	COMBINED SINGLE LIMIT (Ea accident)	\$	BODILY INJURY (Per person)	\$	BODILY INJURY (Per accident)	\$	PROPERTY DAMAGE (Per accident)	\$		\$				
COMBINED SINGLE LIMIT (Ea accident)	\$																				
BODILY INJURY (Per person)	\$																				
BODILY INJURY (Per accident)	\$																				
PROPERTY DAMAGE (Per accident)	\$																				
	\$																				
B	<b>UMBRELLA LIAB</b> <input checked="" type="checkbox"/> <b>OCCUR</b> <input checked="" type="checkbox"/> <b>EXCESS LIAB</b> <input type="checkbox"/> <b>CLAIMS-MADE</b> <input type="checkbox"/> <b>DED</b> <input checked="" type="checkbox"/> <b>RETENTION \$ \$0</b>			UXP104806300	2/1/2022	2/1/2023	<table border="1"><tr><td>EACH OCCURRENCE</td><td>\$ 4,000,000</td></tr><tr><td>AGGREGATE</td><td>\$ 4,000,000</td></tr><tr><td></td><td>\$</td></tr></table>	EACH OCCURRENCE	\$ 4,000,000	AGGREGATE	\$ 4,000,000		\$								
EACH OCCURRENCE	\$ 4,000,000																				
AGGREGATE	\$ 4,000,000																				
	\$																				
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below <input type="checkbox"/> <b>Y/N</b> <input checked="" type="checkbox"/> <b>N/A</b>						<table border="1"><tr><td>WC STATU-TORY LIMITS</td><td>OTH-ER</td></tr><tr><td>E.L. EACH ACCIDENT</td><td>\$</td></tr><tr><td>E.L. DISEASE - EA EMPLOYEE</td><td>\$</td></tr><tr><td>E.L. DISEASE - POLICY LIMIT</td><td>\$</td></tr></table>	WC STATU-TORY LIMITS	OTH-ER	E.L. EACH ACCIDENT	\$	E.L. DISEASE - EA EMPLOYEE	\$	E.L. DISEASE - POLICY LIMIT	\$						
WC STATU-TORY LIMITS	OTH-ER																				
E.L. EACH ACCIDENT	\$																				
E.L. DISEASE - EA EMPLOYEE	\$																				
E.L. DISEASE - POLICY LIMIT	\$																				
A	Excess Liability - Occurrence			SI8EX01908221	2/1/2022	2/1/2023	<table border="1"><tr><td>Each Occurrence</td><td>\$5,000,000</td></tr><tr><td>Aggregate</td><td>\$5,000,000</td></tr></table>	Each Occurrence	\$5,000,000	Aggregate	\$5,000,000										
Each Occurrence	\$5,000,000																				
Aggregate	\$5,000,000																				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

The following are Additional Insured on General Liability as their interest may appear as respects operations performed by or on behalf of the Named Insured, as required by written contract:

Waldenwoods Resort and Hartland Township

Dates of Events:

July 2, 2022 Rain Date: July 3, 2022

July 22, 2022 Rain Date: N/A

July 29, 2022 Rain Date: N/A

August 28, 2022 Rain Date: N/A

See Attached...

## CERTIFICATE HOLDER

## CANCELLATION

Waldenwoods Resort  
2975 Old US 23  
Hartland MI 48353

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

© 1988-2010 ACORD CORPORATION. All rights reserved.

ACORD 25 (2010/05)

The ACORD name and logo are registered marks of ACORD

THIS CERTIFICATE SUPERSEDES PREVIOUSLY ISSUED CERTIFICATE

AGENCY CUSTOMER ID: 14347

LOC #: \_\_\_\_\_



## ADDITIONAL REMARKS SCHEDULE

Page 1 of 1

AGENCY The Partners Group Ltd		NAMED INSURED Wolverine Fireworks Display, Inc. 205 West Seidlers Road Kawkawlin MI 48631
POLICY NUMBER		
CARRIER	NAIC CODE	EFFECTIVE DATE:

### ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,  
 FORM NUMBER: 25 FORM TITLE: CERTIFICATE OF LIABILITY INSURANCE

Location of Event: Waldenwoods Resort, 2975 Old US 23, Hartland, MI 48353



# Wolverine FIREWORKS

205 West Seidlers Rd. • Kawkawlin, MI 48631  
Phone: 989.662.0127 • Fax: 989.662.0122

Display, Inc.

Visit us at [www.wolverinefireworks.com](http://www.wolverinefireworks.com)

## Contract Agreement

This Contract will engage the services of Wolverine Fireworks Display Inc. as vendor and display operator.

This agreement, between Waldenwoods Resort, herein after called "Sponsor" and Wolverine Fireworks Display Inc., 205 W Seidlers Rd., Kawkawlin, MI., Hereinafter called "Professional", is as follows.

The Sponsor and Professional, for mutual consideration hereinafter set forth, agree as follows:

- A: Professional agrees to provide Sponsor with correct amount, size and description of Fireworks as specified in proposal submitted to Sponsor 2022.
- B: Professional will provide Sponsor with Labor for the August 28, 2022 Fireworks Display at Waldenwoods Resort, 2975 Hartland, MI 48353.
- C: Rain Date N/A.
- D: Professional agrees to provide Sponsor with Liability Insurance in the amount of \$10,000,000.00. All individuals/entities listed on the certificate of insurance will be deemed an additional insured per this contract.
- E: Sponsor agrees that in case of inclement weather or any other circumstances not caused solely by Professional, Sponsor will be charged maximum fixed costs in the amount of \$625.00 per day and not for the unused Fireworks Package if display is cancelled after 5:00 p.m. the day before the display whether display is or is not rescheduled. If display is cancelled prior to 5:00 p.m. the day before the display and is rescheduled, Sponsor will be charged a minimum administration fee of \$100.00.
- F: Sponsor agrees to pay Professional a deposit of \$625.00 upon signing of contract, no later than 30 days prior to display date. If display is cancelled and not rescheduled by sponsor after deposit is paid but prior to 30 days before the display, Sponsor will forfeit 25% of deposit. If less than 30 days prior to display, Sponsor will forfeit 100% of deposit.
- G: Sponsor agrees to pay balance of \$1,875.00 (including applicable sales tax) within 10 days after show date of August 28, 2022.
- H: Sponsor agrees to indemnify, hold harmless, and defend Professional from and against any and all suits, claims, damages, liabilities, losses, expenses, and costs, including attorney fees (collectively "loss"), except to the extent such loss was caused by Professional's sole negligence.
- I: Sponsor agrees to procure and furnish a suitable place to display the fireworks in accordance with the NFPA 1123, and to secure all police, fire, and local and state permits, to arrange for any security bonds as required by law and to furnish all necessary and proper police and fire protection for the protection of Sponsor, the public, individuals who work in or around the display, for proper crowd control, vehicle parking and proper supervision. Sponsor further agrees to provide all necessary and proper discharge site security.
- J: If Professional, in its sole determination, is unable to supply the size and type of fireworks proposed due to supply chain issues, Professional will substitute with fireworks of equal monetary value, in its sole discretion, if possible. If no such supply is available, Professional will refund Sponsor any deposit paid and this agreement will be cancelled without penalty to Professional or Sponsor.

Anne Graham

Anne Graham (Jun 14, 2022 11:05 EDT)

Sponsor

Jennifer Campau

Professional



## 3 Minute Wedding Show 2022

\$2,500 Proposal

Includes Labor and Insurance

### OPENING

3      25 Shot    Cluster Bombs

### MAIN SHOW

36      2.5"      Assorted Flower Basket Shells  
36      3"        Assorted Lidu Shells W/Tails

### MID SHOW

6      2.5"      Chrysanthemums (In Wedding Colors)  
6      3"        Peonies (In Wedding Colors)

### MAIN SHOW Continued...

36      2.5"      Assorted Flower Basket Shells

### FINALE

2      100 Shot    Touchdown Cakes (Fast Barrage of Color, Whistling and Report)  
60      2.5"      Titanium Salute Finales (Chained 12/1)  
60      3"        Brocade Color and Report Finales (Chained 12/1)

# Hartland Township Board of Trustees Meeting Agenda Memorandum

**Submitted By:** Troy Langer, Planning Director

**Subject:** Site Plan Application #20-011 Villas of Hartland Planned Development (PD) –  
**REVISED** Preliminary Site Plan dated February 24, 2022

**Date:** June 7, 2022

## Recommended Action

**Move to approve Site Plan Application #20-011, the Preliminary Planned Development Site Plan for the Villas of Hartland,** as outlined in the staff report dated June 7, 2022

The actual approval with conditions is listed below:

**Move to approve Site Plan Application #20-011, the Preliminary Planned Development Site Plan for the Villas of Hartland,** subject to the following:

1. The Preliminary Planned Development Site Plan for the Villas of Hartland, SP #20-011, is subject to the approval of the Township Board.
2. Waiver request for substitution of evergreen trees for 50% of the required canopy trees in the greenbelt area (Hacker Road), is approved.
3. Waiver request to plant street trees within the Unit Envelope, behind the 12-foot-wide public utility easement, is approved; unless the Public Works Department authorizes the installation of street trees between the back of curb and sidewalk.
4. Waiver request to use existing deciduous and evergreen trees, in combination with new trees, along the north and south boundaries of the site, to fulfill the screening and buffering requirements of the Ordinance, is approved.
5. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated May 19, 2022, on the Construction Plan set, subject to an administrative review by Planning staff prior to the issuance of a land use permit.
6. Applicant complies with any requirements of the Township Engineering Consultant, Department of Public Works Director, Hartland Deerfield Fire Authority, and all other government agencies, as applicable.
7. The applicant shall install a second row of evergreen trees along Hacker Road between the existing wetland and Hacker Road, to act as a screen.
8. The applicant shall install a variety of trees in the open space area south of Pastir Lane and north of Morelli Court.



9. The applicant shall identify existing trees along Hacker Road that can be saved and shall make attempts to save those existing trees.

## **Discussion**

Applicant: Joseph Rotondo

### **Site Description**

The subject property is located east of Hacker Road, north of Highland Road (M-59), and west of the single-family, residential planned development commonly known as Walnut Ridge Estates (Planned Development), and Grumlaw Church (8457 Highland Road). The site is comprised of two (2) parcels, with a combined total of approximately 24.51 acres, in Section 19 of the Township. The northern parcel (Parcel ID #4708-19-300-013) is approximately eleven (11) acres in size. The southern parcel (Parcel ID #4708-19-300-014) is approximately 13.51 acres. Both parcels are currently zoned CA-Conservation Agricultural. The Future Land Use Map (FLUM) designates each parcel as Medium Suburban Density Residential (MSDR).

The property has approximately 855 feet of frontage along Hacker Road, a public road under the jurisdiction of the Livingston County Road Commission LCRC). Hacker Road is paved north of Highland Road to approximately the southern property line of the subject site, and then converts to a gravel road. The plans show a proposed extension of the paved surfacing on Hacker Road for approximately 380 feet, which terminates approximately 80 feet beyond the entrance to the proposed development, and then converts to gravel.

The applicant has provided an Impact Assessment dated February 24, 2022, with information on the natural features. Currently the property has open field areas and wooded areas along the north, east, and southeast property lines. Trees are shown along Hacker Road and are to be removed. The submitted plans show several on-site wetland areas (Existing Conditions and Clearing Plan), with several wetland areas labeled as "Regulated Wetland." The Impact Assessment provides more information on the wetlands. The applicant has not provided documentation that the wetland areas have been reviewed by the State of Michigan Department of Environment, Great Lakes, and Energy (EGLE) regarding their regulatory status or permit requirements.

East of the subject property is a planned development which includes Grumlaw Church (formerly Venture Church) and Walnut Ridge Estates Planned Development (PD), which is a single-family residential planned development with 65 site condominium units. The planned development, approximately 76 acres in total size, was approved in 2013 under Site Plan Application #511. Approval included the construction of the church complex initially and the anticipation of a future residential use, to be developed on vacant land north of the church site.

Walnut Ridge Estates PD was approved in 2016, as an amendment to Site Plan Application #530. The single-family residential PD consists of 65 site condominium units on the land north of Grumlaw Church, which is approximately 42 acres in area. All 65 condominium units have been constructed.

North and south of the proposed planned development the adjacent parcels are zoned CA-Conservation Agricultural and are occupied with single-family homes.

The Future Land Use Map (FLUM) designates the adjacent parcels (north, south, and east) as Medium Suburban Density Residential (MSDR).

Hacker Road is the western boundary of Hartland Township. Properties west of Hacker Road are in Oceola Township and are zoned Agricultural Residential per the Oceola Township zoning map. A church is located southwest of the project site and single-family homes are located on the west side of Hacker Road, north of the church.

### **Site History**

The subject property consists of two (2) separate tax parcels, totaling approximately 24.51 acres. Both parcels are under the same ownership of Hacker Road LLC, which acquired the property in 2016 under a land contract. It appears that both properties have been farmed in an agricultural manner and have never been developed.

### **Site Plan Application #19-007 Hacker Road Planned Development (PD) – Concept Plan**

The Concept Plan for Hacker Road Planned Development (now called Villas of Hartland PD) was discussed under Site Plan Application #19-007. The Planning Commission reviewed the project on September 12, 2019, followed up by the Township Board's review at their meeting on October 1, 2019.

### **Site Plan Application #20-011 Villas of Hartland Planned Development (PD) – Preliminary Site Plan (dated January 29, 2021)**

The Preliminary Site Plan for the Villas of Hartland PD was reviewed by the Planning Commission under SP #20-011, at the public hearing held on March 11, 2021. The site plan showed fifty-five (55) condominium units. Several topics were discussed at the meeting which could potentially lean toward design changes to the plans, such as the location of a secondary emergency access drive, stormwater management plans, and landscaping. The Planning Commission chose not to make a recommendation at the public hearing on March 11, 2021, and SP #20-011 was not presented to the Township Board. As a result, the Preliminary Site Plan as presented to the Planning Commission on March 11, 2021, was not approved by the Township.

### **Site Plan Application #20-011 Villas of Hartland Planned Development (PD) –Revised Preliminary Site Plan (dated February 24, 2022)**

The applicant has submitted revised plans for the SP #20-011, dated February 24, 2022, which are discussed in this memorandum. The revised plan shows fifty-seven (57) condominium units. The applicant's summary letter dated April 5, 2022, states the following changes have been completed on the proposed development plans:

- Road connection to Walnut Ridge Estates has been eliminated.
- An emergency access drive to Hacker Road has been provided.
- A more efficient road alignment has been designed, reducing the number of internal intersections.
- The existing wetland adjacent to Hacker Road has been delineated and surveyed.

The applicant also notes a landscape waiver request (dated March 1, 2021) and written summaries pertaining to recognizable benefits of the proposed planned development (letter dated January 27, 2021) were previously provided as part of the site plan application for the March 11, 2021 public hearing and still apply to the current Preliminary Site Plan request.

The Planning Commission held a public hearing on this request at their May 26, 2022 regular meeting. The Planning Commission recommended to approve the request. There were some residents that attended the public hearing to discuss the project. Copies of their communications are attached. The Planning Commission also discussed the proposed residential density, which requires approval of the bonus density to accomplish the proposed number of units. Some Planning Commission members were not supportive of the bonus density. The applicant has submitted a revised site plan to address these concerns.

### **Planned Development Procedure**

Section 3.1.18 of the Township's Zoning Ordinance provides standards and approval procedures for a Planned Development (PD). Approval of a Planned Development is a three-step process. A Concept Plan, Preliminary Plan, and Final Plan are all reviewed by the Planning Commission and the Township Board, with the Planning Commission making a recommendation and the Township Board having final approval at each step. The process usually requires a rezoning from the existing zoning district to the Planned Development (PD) zoning district.

As part of the rezoning, a public hearing is held before the Planning Commission consistent with the Michigan Zoning Enabling Act; this public hearing is held at the same meeting during which the Planning Commission reviews and makes a recommendation on the Preliminary Plan. Given the requirements for publishing a notice for the planned development, the public hearing to review the revised plans was held at the May 26, 2022 Planning Commission meeting.

Approval of the Final Plan by the Township Board usually constitutes a rezoning of the subject property to PD.

For all intents and purposes, the Preliminary Plan step is essentially the same as a preliminary site plan review for a conventional project in the Township. All the information and details required for a preliminary site plan approval must be provided for the Preliminary PD review and approval. Final PD review will involve detailed plans for those phases for which construction is intended to begin immediately and the planned development agreement.

### **Overview of the Preliminary Plan and Proposed Use**

The applicant has submitted a revised Preliminary Site Plan for a fifty-seven (57) unit single-family residential site condominium planned development, to be completed in two (2) phases. The property is approximately 24.51 acres in size. The previous plan proposed fifty-five (55) dwelling units, resulting in an estimated density of 2.24 dwelling units per acre (55 units ÷ 24.51 acres).

The revised plan shows fifty-seven (57) dwelling units, resulting in an estimated density of 2.33 dwelling units per acre (57 dwelling units ÷ 24.51 acres). More discussion on density is provided in the next section of this memorandum.

Public access to the development is via Hacker Road, with a boulevard entrance that is gated. Internal circulation is provided via private roads, with each road terminating in a cul-de-sac. A gravel surfaced, emergency access drive is proposed, from Pastir Lane to Hacker Road, on the west side of the site. The emergency access is gated at the Hacker Road right-of-way line and shown as twenty-two (22) feet wide. A detailed cross-section or profile drawing of the emergency access drive was not provided.

A gated, boulevard entrance provides access to the development via Hacker Road. A conceptual drawing is provided. Per the applicant the gates will be equipped with an electronic eye which will automate the opening and closing of the gates. The opening of the gates will be likely controlled by IR motion sensor or proximity loop in the pavement, per the applicant's explanation from the previous submittal. Details are not provided on the plans. Additional information will be required on how the gates for the emergency access drive operate. Clarification should be provided by the applicant and potentially be detailed in the Master Plan.

Phase 1 includes the construction of units 1-37, which are generally located in the western and northern areas of the site.

Phase 2 shows the construction of units 38-57 generally located north and south of Morelli Court (central and southern areas of the site).

The residential units are shown with dashed lines and labeled as “Typical unit envelope.” The envelope dimensions are stated as 46 feet wide and 80 feet deep, or approximately 3,680 square feet (0.084 acres) in area. Building setbacks are not stated or shown, nor is the distance between buildings/structures. Staff assumes the intent of the proposed unit envelope is that each residential structure and associated accessory structures, including pools and sheds, will be located within the envelope; however, the applicant should provide clarification on this matter. Lot coverage within the unit envelope is not stated on the plans.

The distance between unit envelopes, at the closest point (front line facing the street), is generally fourteen (14) feet. Distances between unit envelopes vary at the side and rear sides of the envelope. The front setback along a street is not stated on the plan however most of the unit envelopes are placed twenty-five (25) feet as measured from the building envelope to the edge of the 66-foot-wide right-of-way private road easement.

The applicant submitted plans for three types of residential buildings (elevations and floor plans) to be constructed. All show a combination of brick and siding with front entry garages. The floor area ranges from 1,840 square feet (ranch style) to 2,100 square feet (Cape Cod and Colonial, 2-story). Presumably, these design and architectural elements are included in the by-laws.

A conceptual drawing of a development entry sign is shown and consists of stonelike material and wood.

A proposed retention basin and associated forebay are shown in the northwest corner of the development.

Open space areas are shown on the south side and in the center of the development.

Municipal sanitary sewer and water service will be extended to the proposed development from the existing connections provided at the east property line. The applicant will need to work with the Livingston County Drain Commissioner’s office on municipal sanitary sewer and Hartland Township regarding municipal water service. Additionally, the applicant will need to work with the Hartland Township Public Works Department to acquire the necessary Residential Equivalent Units (REU’s) for this development.

The Livingston County Department of Public Works provided a letter dated February 21, 2020, stating the proposed Hacker Road development was not part of the existing sewer district. As a result, a capacity evaluation was completed in order to assess impacts to the existing pump station and receiving sewers. The capacity study revealed that the existing pump station does not have adequate capacity to serve an additional fifty-five (55) homes, and two (2) pumps will need to be replaced. The developer will be required to pay for the necessary upgrades. An updated study or communication from the applicant or LCDC has not been provided for this project, and the development that is now proposing fifty-seven (57) homes.

#### **Eligibility Criteria (Section 3.1.18.B.)**

To be eligible for PD approval, the applicant must demonstrate that the criteria in Section 3.1.18.B. will be met. The applicant previously provided information on this topic in the letter dated January 27, 2021.

- 1. Recognizable Benefits.** *The planned development shall result in a recognizable and substantial benefit to the ultimate uses of the project and to the community and shall result in a higher quality of development than could be achieved under conventional zoning.*

The applicant outlines the community benefits that the Villas of Hartland PD will provide as listed below:

- Preservation of natural features as open space areas.
- Provision of a low to no maintenance community that is in demand in Hartland Township by professionals and senior citizens.
- Luxury homes comprised of high-quality materials.
- Residents of the development may provide an increase in utilization of local businesses as they engage in the Hartland community.
- Provision of vehicular and pedestrian connections to the adjacent residential development, Walnut Ridge Estates PD, plus sidewalks are provided within the Villas development (not applicable to the current design).
- Extension of municipal sanitary sewer and water service to accommodate the proposed development, built to the Township and County standards.
- Install a second row of evergreen trees along Hacker Road between the existing wetland and Hacker Road, to act as a screen.
- Install a variety of trees in the open space area south of Pastir Lane and north of Morelli Court.
- Identify existing trees along Hacker Road that can be saved and shall make attempts to save those existing trees.

**2. Minimum Size.** *Planned Developments must be a minimum of 20 acres of contiguous land.*

The proposed project is approximately 24.51 acres in size, thus complying with the minimum size requirement.

**3. Use of Public Services.** *The proposed type and density of use shall not result in an unreasonable increase in the use of public services, facilities and utilities, and shall not place an unreasonable burden upon the subject site, surrounding land, property owners and occupants, or the natural environment.*

The proposed development is accessed from Hacker Road, which is an existing public roadway capable of supporting the proposed development. Hacker Road is under the jurisdiction of the Livingston County Road Commission (LCRC). A review letter from LCRC, dated September 29, 2020, outlines their comments and lists the required modifications to the proposed plans dated September 1, 2020. The applicant has provided reviews from the LCRC for the current set of plans for the proposed private road and emergency access from Hacker Road.

The proposed development will connect to the existing municipal sanitary sewer and water service leads at the common border with Walnut Ridge Estates. The proposed parcels have been previously included in modeling exercises for water capacity, however the study was based upon only forty (40) units. A subsequent review of the water capacity will be required to ensure adequate capacity with the water system for the total fifty-seven (57) units. The water capacity study is to be managed by Hartland Township Public Works Department. The DPW has outlined the number of water and sewer REU'S that will be required for the proposed development, in the letter dated May 16, 2022.

In 2020 a capacity study for municipal sanitary sewer was completed by the Livingston County Drain Commissioner's (LCDC) office, based on the previous development design with fifty-five (55) homes. Per the LCDC letter dated September 29, 2020, the developer will be required to upgrade the existing pump station with the purchase and installation of two new (2) pumps. This is required to provide the capacity needed to take on the additional flow from fifty-five (55) homes. An updated review from the LCDC has not been provided based on the new plan with fifty-seven (57) homes.

Traffic generation was discussed during the review of the Concept Plan for this development (SP #19-007). The Planning Commission determined that a Traffic Study was not required as the components are already in place with the recent addition of a traffic signal at Hacker Road and Highland Road.

The Hartland Deerfield Fire Authority will provide fire protection and will review the proposed plans for fire hydrant placement and other fire safety issues. A review letter for the project, dated May 12, 2022, has been provided. The Fire Authority will work with the applicant on the emergency road, associated gates, and maintenance agreement.

- 4. Compatibility with Comprehensive Plan.** *The proposed development shall not have an adverse impact upon the Comprehensive Plan for the Township. Notwithstanding this requirement, the Township may approve a Planned Development proposal that includes uses which are not called for on the Future Land Use Map, provided that the Planning Commission and Township Board determine that such a deviation from the Future Land Use Map is justified in light of the current planning and development objectives of the Township.*

The subject property is designated Medium Suburban Density Residential (MSDR) on the adopted 2015 Future Land Use Map. The MSDR designation envisions a density of 1 to 2 units per acre (0.5-1 acre per dwelling unit). Using the gross acreage of 24.51 acres, the Preliminary Plan proposes a density of 2.24 dwelling units per acre, which exceeds the density allowed in MSDR.

As a comparison, Fiddler Grove Planned Development was approved with a density of 2.78 dwelling units per acre. Walnut Ridge Estates Planned Development was approved with a density of 1.52 dwelling units per acre. Both of these developments are designated as Medium Suburban Density Residential (MSDR) on the adopted 2015 Future Land Use Map. The applicant notes that the proposed development provides a greater amount of open space than is minimally required by the ordinance standards.

- 5. Unified Control.** *The proposed development shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project, or assuring completion of the project, in conformity with the Ordinance.*

The applicant has provided a copy of the Warranty Deed which shows the sole ownership of the subject property (two parcels) is under Hacker Road, LLC.

#### **Planned Development Design Standards (Section 3.1.18.C.)**

This section outlines the design standards for a planned development. Additional site standards will be discussed from applicable sections of the Zoning Ordinance.

- 1. Permitted Uses.** *The predominant use on the site shall be consistent with the uses specified for the parcel on the Township's Comprehensive Plan for Future Land Uses.*

The two (2) parcels that comprise the proposed PD are designated as Medium Suburban Density Residential (MSDR) in the Township's Comprehensive Plan/FLUM. This designation is intended to provide slightly denser neighborhoods with larger lot homesites, when compared with other single-family residential categories in the Comprehensive Plan such as Estate Residential or Low Suburban Density Residential. These neighborhoods tend to be more suburban than rural in character. Walnut Ridge Estates PD, Hartland Estates, San Marino Estates, Meadow View Estates, Fiddler Grove, and Autumn Woods are examples of existing single-family developments that are located within the MSDR

designation.

- 2. Residential Density.** *Residential density in a planned development shall be consistent with the density designation within the Township's Comprehensive Plan.*

As noted previously, the Preliminary Plan proposes a density of 2.33 dwelling units per acre, and exceeds the density allowed for in the MSDR, which allows for a density of 1 to 2 units per acre. Per Section 3.1.18.C.iv., the Planning Commission may agree to recommend up to a forty (40%) percent increase in dwellings on a site in recognition of outstanding attributes as listed in this section. The Township Board in its sole discretion shall have the ability to approve such density increase up to forty (40%) percent subsequent to an affirmative recommendation from the Planning Commission.

In this case if the planned development land area could accommodate forty-nine (49) dwellings (24.51 acres x 2 units per acre), in accordance with the Comprehensive Plan, the planned development plan could include up to 69 dwellings (49 + 20 additional dwellings) if a maximum bonus (40% increase) were awarded by the Planning Commission and Township Board (40% x 49 = 20 additional dwellings; 49 + 20 = 69 dwellings). The proposed development has fifty-seven (57) dwelling units; thus, consideration of a density bonus is applicable.

The applicant is of the opinion that the project meets the density bonus criteria outlined in Section 3.1.18.C.iv.d., in that the residential density for the proposed development enhances the compatibility with the existing land use on adjacent land. In this case Walnut Ridge Estates PD abuts the Villas project on the east and is a single-family residential planned development, with a similar density (slightly lower density). Additionally, a greater amount of open space is provided in the proposed planned development, than the minimum requirements specified by the Township.

- 3. Design Details.** *The applicant shall prepare a detailed description of design details to be implemented in the proposed planned development, to be presented in a Pattern Book.*

The design details are provided on the submitted site plans and architectural drawings for the Planned Development. A Pattern Book was not provided.

- 4. Minimum Yard Requirements.** The minimum yard requirements are noted in the chart below per Section 3.1.18.C.vi.a. (Minimum Yard Requirements)

Setbacks	Minimum PD Standard	Proposed setback*	Complies Yes/No
Along Hacker Road	50 ft.	95 ft. (Unit 1)	Yes
Along perimeter, but not adjacent to a road (east, north, & south property lines)	40 ft.	40.2 ft. (east) 49.6 ft. (north) 44.0 ft. (south)	Yes Yes Yes
Along an internal collector or local road	40 ft.	12.0 ft. – proposed setback from private street ROW	No

\* As measured to closest point of unit envelope

- 5. Distances Between Buildings.** Spacing requirements for buildings in a planned development are outlined in Section 3.1.18.C.vi.b. *Any detached single-family structure shall be located at least thirty*

*(30) feet from any other detached single-family structure and shall provide a minimum side yard of fifteen (15) feet on both sides.*

The plan shows unit envelopes, within which all structures are to be located. Building footprints are not provided within the unit envelopes. The closest spacing between unit envelopes is fourteen (14) feet. If the house in each unit was at the unit envelope line, the distance between the structures could potentially be as close as fourteen (14) feet. This would not meet the minimum required spacing standards for single-family structures in a planned development. Per Section 3.1.18.C.vi.a., modification to yard setback requirements may be approved by the Township Board upon recommendation from the Planning Commission, upon making the determination other setbacks would be more appropriate.

6. **Building Height.** *No building in a planned development shall be greater than thirty-five (35) feet in height.*

Scaled building elevations were not provided however the designs include a typical 2-story, cape cod, and ranch style houses, thus staff would assume the building height meets the ordinance requirements.

7. **Landscaping.** Landscaping requirements are provided in Section 3.1.18.C.vi.e. These are considered minimum design standards, typically for a commercial or office development. A more detailed review of the landscaping is provided in this memorandum using the landscape standards outlined in Section 5.11 (Landscaping and Screening).
8. **Open Space.** *Open space shall be provided to complement and accentuate the high-quality design of the proposed planned development. At minimum the planned development shall provide open space consistent with the previous zoning designation for the site.*

Per this section of the Zoning Ordinance (Section 3.1.18.C.vi.f.), the planned development shall provide open space consistent with the previous zoning designation for the site, at a minimum. Currently the site is zoned CA-Conservation Agricultural. In CA, the open space requirement is a minimum of 85%, for a single-family detached dwelling. The proposed plan states the open space is 42% of the site, and thus would not comply. Historically however, open space requirements outlined in Section 3.15 of the Zoning Ordinance have been applied for other single-family residential planned developments in the Township such as Walnut Ridge Estates and Fiddler Grove.

Section 3.15 of the Zoning Ordinance states residential condominium developments (in several zoning district classifications) should provide a minimum of 25% open space, with a minimum of 10% of the total open space to be useable open space (“useable open space” is defined as land area suitable for active recreation). For the proposed development consisting of 24.51 acres, this would equate to a minimum of 6.13 acres of open space, with a minimum of 2.45 acres of useable open space.

The revised Preliminary Plan states the proposed open space is 44% of the site, or approximately 10.71 acres; and 3.08 acres as useable open space, or 12.6% of the site. The Open Space Plan shows useable open space (cross-hatched areas) along a southern portion of the frontage of Hacker Road, along the south side of the site, and in the center of the development. Details on what amenities are provided in the useable open space areas are not noted.

9. **Natural Features.** *Consistent with the stated intentions for creation of these regulation, the preservation of the natural features of the Township are an important planning consideration. A PD proposal must consider the natural topography and geologic features, scenic vistas, trees and other vegetation and natural drainage patterns that exist on the site and propose a development pattern which*



*preserves and avoids disruption of those natural features as much as possible.*

An Impact Assessment, dated February 24, 2022, was submitted by the applicant. The assessment report notes that there are several wetland areas on the subject site. The Existing Conditions and Clearing Plan indicates two (2) regulated wetland areas in the easterly portion of the site which will not be filled. In the western portion of the site, one (1) regulated wetland area is shown and will be retained. The non-regulated wetland area on the south will be filled. A wetland area is shown near the east property line. Approximately one-half of the wetland area is on the subject site and the other portion is off-site. The plans do not state if this wetland is regulated or non-regulated. The plans indicate that grading and construction activities are occurring in a portion of the wetland area, which are related to the extension of utilities.

The applicant did not provide information on whether the wetland areas were reviewed by the State of Michigan Department of Environment, Great Lakes, and Energy (EGLE) or not, regarding the delineation and/or the regulatory status of the wetland areas. In 2021 a complaint was filed with EGLE regarding the project. A representative from EGLE contacted the Township and requested a copy of the plans for the project, which the Township provided. EGLE did not provide comments to the Township prior to the public hearing on March 11, 2021, however EGLE is aware of this development.

A Tree Inventory was conducted for portions of the site, including the north and south property lines, and in the proposed right-of-way on Hacker Road. The Existing Conditions and Clearing Plan shows tree clearing in some areas on the south and north, and areas around the two (2) regulated wetlands on the east side of the site. A portion of the wooded area in the southeast corner will be retained. Some existing trees on the north and south property lines will be retained and used as part of the required screening, per the applicant. Existing trees along Hacker Road will be removed.

**10. Sidewalks and Pedestrian Access.** *The applicant must demonstrate the PD site and all uses within the site will be connected to any existing pedestrian and nonmotorized vehicle paths and trails within a public right-of-way or easement open to the public.*

A 5-foot-wide sidewalk is shown on both sides of each private road within the development. Crosswalks are shown at the main development entrance. The 5-foot sidewalk along each side of Morelli Court extends to the west property line of the development at the Hacker Road entrance. The sidewalks could connect to any future pathways or sidewalks on Hacker Road.

**Requirements for Preliminary Review (Section 3.1.18.E.ii)**

Following is a summary of items that have not been addressed in the previous review as part of the Design Standards section.

**1. Stormwater and Drainage Systems.**

The applicant has stated stormwater runoff will be collected by catch basins, conveyed through a storm sewer system, and discharged to a forebay and retention basin in the northwest corner of the site. The stormwater plans are subject to review and approval by the Livingston County Drain Commission office.

**2. Fiscal Impacts.** The applicant has provided a response to this topic stating the proposed development will bring revenue to the Township via taxes which will also benefit the school district. Residents in the development may also have a positive impact on businesses in the Township as they become patrons of Township businesses.

**3. Other.** Following is a discussion of design details not previously discussed in this memorandum.

**Internal Vehicular Circulation**

The sole public access to the development is via Hacker Road which has a boulevard entrance that is gated. Two (2) private roads provide internal circulation (Morelli Court and Pastir Lane), each ending in a cul-de-sac at the eastern end.

A secondary emergency access is provided to Hacker Road via a gravel drive from Pastir Lane. The 22-foot wide gravel access is gated with emergency access gates. Elevation drawings are provided for the access gates for the primary entrance on Hacker Road and the emergency access gate at Hacker Road.

Section 5.23.5 (Minimum Private Road Standards) of the Zoning Ordinance, states that private roads serving more than twenty-four (24) parcels, or twenty-four (24) dwelling units or any combination thereof equaling twenty-four (24), shall have at least two points of access to a public road. This standard would be applicable to the proposed planned development with fifty-seven (57) dwelling units.

The private roads in the proposed development will be required to meet the standards of Section 5.23 of the Zoning Ordinance for a road serving twenty-five (25) or more units or parcels, which requires the private road to be constructed consistent with public road requirements of the Livingston County Road Commission. The plans show the private roads to be paved with curb and gutter, 30 feet wide, with a 66- foot right-of-way easement. The Township Engineer's review letter dated April 15, 2022 speaks to the design of the proposed private road.

**Landscaping (Section 5.11)**

The Landscaping and Screening requirements of Section 5.11 apply to a Planned Development, including in this case the screening/buffering requirements between the proposed residential development relative to the lower-density developments adjacent to the subject site, on the north and south. The applicable sections of Section 5.11 are as follows:

**A. Landscaping of Divider Medians (Sec. 5.11.2.A.vii.) –**

- Required – minimum of 1 canopy tree or evergreen tree and 6 small shrubs for the initial 25 feet, PLUS 1 additional canopy or evergreen tree and 4 additional medium shrubs for every increment of 25 lineal feet (divider median is 120 lineal feet). EQUATES TO: 5 trees (canopy and/or evergreen trees) and 29 medium shrubs
- Proposed – 2 trees are proposed; lawn may be proposed but is not labeled
- Meets Requirement – **TBD**
- Comment – Due to the fact that the divider island has an entrance sign, entrance gates, and 2 street light poles, the available area for the required landscaping is limited. Staff is recommending 2 canopy trees and lawn be planted in the divider island. **Planning Commission to determine if staff's recommendation meets the intent of the Ordinance.**

**B. Greenbelt Landscaping (Sec. 5.11.2.C.i.) –**

Along Public or Private Road right-of-way – Hacker Road frontage- NORTH of development entrance

- Required – within the first 30 feet of the property, 1 canopy tree for every 30 ft of lineal frontage; PLUS 3 small deciduous ornamental trees or large deciduous or evergreen shrubs for the initial 40 ft., and 1 additional ornamental tree or large shrub per 20 ft. thereafter. Street frontage (Hacker Road) = 563 linear feet. EQUATES TO: 19 canopy trees; 29 additional ornamental trees or large deciduous or evergreen shrubs REQUIRED

- Proposed – 9 canopy trees; 12 evergreen trees; 0 ornamental trees; 35 large deciduous shrubs, located within the first 30 feet of the property
- Meets Requirement? – **No, for the number of required canopy trees (19 required; 9 proposed); plus 12 evergreen trees proposed. The number of evergreen trees = 57% of the trees**
- Comment – **The applicant had requested a waiver to allow the substitution of evergreen trees for 50% of the required canopy trees, per the waiver request from 2021. The current percentage of evergreen trees is 57%. Planning Commission to consider the waiver request and make a determination.**

Along Public or Private Road right-of-way – Hacker Road frontage- SOUTH of development entrance

- Required – within the first 30 feet of the property, 1 canopy tree for every 30 ft of lineal frontage; PLUS 3 small deciduous ornamental trees or large deciduous or evergreen shrubs for the initial 40 ft., and 1 additional ornamental tree or large shrub per 20 ft. thereafter. Street frontage (Hacker Road) = 194 linear feet. EQUATES TO: 7 canopy trees; 11 additional ornamental trees or large deciduous or evergreen shrubs REQUIRED
- Proposed – 4 canopy trees; 4 evergreen trees; 0 ornamental trees; 14 large deciduous shrubs, located within the first 30 feet of the property
- Meets Requirement? – **No, for the number of required canopy trees (7 required; 4 canopy trees proposed); plus 4 evergreen trees proposed.**
- Comment – **The applicant has requested a waiver to allow the substitution of evergreen trees for 50% of the required canopy trees. Planning Commission to consider the waiver request and make a determination.**

C. Canopy trees along Internal Roadways (Sec. 5.11.2.C.ii.) –

- Required – 15-foot-wide landscaped area along the length of internal roadways, planted with a minimum of 1 canopy tree or evergreen tree for every 30 feet or portion thereof.
- Proposed – a minimum 1 canopy tree per unit, planted between the unit envelope and the internal sidewalk
- Meets Requirement? – **TDB; street trees are planted farther than 15 feet from the roadway (back of curb)**
- Comment – **The applicant has requested a waiver to plant the street trees within the Unit Envelope, behind the 12-foot-wide public utility easement. Planning Commission to determine if the proposed street tree locations are acceptable.**

D. Buffering or Screening (Sec. 5.11.2.G.i.) – Screening between Land Uses (north and south property lines where abutting single-family zoned properties)

- Required – evergreen trees planted in a staggered or clustered pattern with varying tree heights
- Proposed –  
North: for the first 280 feet from Hacker Road right-of-way (NW corner of site), single row of existing evergreen trees in proximity of the north property line, possibly located on the adjacent property (Parcel ID #4708-19-300-010). Beyond that point there is an existing tree screen along the north property line (mix of deciduous trees) which the applicant intends to preserve.  
South: two proposed berms (3- to 4-foot-high berms) with a mix of canopy trees, evergreen trees, and ornamental trees; a 2-foot-high berm with a mix of trees. East of the last berm there is an existing tree screen (mix of deciduous trees), mostly in the southeast corner of the site, which the applicant intends to preserve and have it count toward the screening requirement.
- Meets Requirement? – **TBD; the proposed screening on the south is a mix of deciduous and**

**evergreen trees, and not an evergreen screen as required; proposed evergreen trees are not staggered or clustered, and varying heights of evergreen trees are not provided.**

- **Comment – The applicant has requested a waiver to use existing deciduous and evergreen trees, in combination with the proposed trees, along the north and south boundaries of the site, to fulfill the screening and buffering requirements of the Ordinance. Planning Commission to determine if the existing tree stock can count as satisfying the screening requirement. If counted as part of the screening requirement, staff would suggest protective fencing be provided in all applicable areas and be shown on the construction set of plans.**

**E. Detention/Retention Area Landscaping (Sec. 5.11.2.H.)**

- **Required – detention/retention ponds must be integrated into the overall design of the property and landscaped to provide a natural setting; 1 canopy or evergreen tree and 10 medium deciduous or evergreen shrubs, OR 6 large deciduous or evergreen shrubs or ornamental trees must be planted for every 50 ft. of pond perimeter. Pond Perimeter - approx. 883 lineal ft. EQUATES TO: 18 canopy or evergreen trees, and 180 medium shrubs, or 108 large shrubs or ornamental trees**
- **Proposed – 24 trees (9 deciduous and 15 evergreen trees); 117 large shrubs**
- **Meets Requirement? – Yes**
- **Comment – (none)**

**Street Lighting**

Street lighting is proposed, and the plans include a detail drawing of the light pole and light fixture. The plan shows two (2) street poles (double head) in the divider median at the main entrance into the development at Hacker Road. The light bulb in the light fixture is not fully shielded, however the Ordinance does not provide standards for outdoor lighting for single-family residential zoning.

**Architecture/Building Materials (Sec. 5.24)**

Architectural standards for façade materials are not provide for single-family residential buildings. The proposed façade materials include brick and siding options however specific product information was not provide on the plans.

**Other Requirements-Zoning Ordinance Standards**

Nothing additional at this time.

**Hartland Township DPW Review**

A review letter is provided from the Hartland Township DPW Director, dated May 16, 2022.

**Hartland Township Engineer's Review (Spaulding DeDecker - SDA)**

The Township Engineer (SDA) has reviewed the Preliminary PD plans and recommends approval subject to items being addressed in the letter dated April 15, 2022.

**Hartland Deerfield Fire Authority Review**

The Hartland Deerfield Fire Authority has reviewed the plans and provided comments in the letter dated May 12, 2022. Approval is subject to the contingencies being addressed as outlined in the letter.

**Attachments:**

1. DPW review letter, dated 05.16.2022 – *PDF version*
2. Township Engineer (SDA) review letter, dated 04.15.2022 – *PDF version*

3. Hartland Deerfield Fire Authority letter, dated 05.12.2022 – *PDF version*
4. Applicant's response letter dated 01.27.2021– *PDF version*
5. Landscape waiver request letter dated 03.01.2021 – *PDF version*
6. Applicant's summary letter dated 04.05. 2022 – *PDF version*
7. Applicant's PD resubmittal letter dated 06.07.2022 – *PDF version*
8. Impact Assessment dated 02.24.2022
9. LCDC letter dated 02.21.2020 – *PDF version*
10. LCRC letter dated 09.29.2020– *PDF version*
11. LCRC Emergency Access Road review dated 11.17.2021
12. LCRC Private Road review dated 01.17.2022 – *PDF version*
13. Planning Commission minutes dated 03.11.2021 – *PDF version*
14. Planning Commission minutes dated 05.26.2021 – *PDF version*
15. Communications. – *PDF version*
16. Site Plans dated 06.07.2022 – *PDF version*

T:\PLANNING DEPARTMENT\PLANNING COMMISSION\2020 Planning Commission Activity\Site Plan Applications\SP #20-011 Villas of Hartland PD Prelim Plans\2022 Submittals\Staff reports\TB staff reports\SP #20-011 staff report TB 06.14.2022.docx



## DEPARTMENT OF PUBLIC WORKS

Michael T Luce, Public Works Director  
2655 Clark Road  
Hartland MI 48353  
Phone: (810) 632-7498  
Fax: (810) 632-6950

TO: Planning Department  
DATE: May 16, 2022  
DEVELOPMENT NAME: Villas of Hartland  
PIN#: 4708-19-300-013 and 4708-19-300-014  
APPLICATION #: SP# Unknown  
REVIEW TYPE: Site Plan

---

The Department of Public Works (DPW) has reviewed the *Villas of Hartland* development site plan in regards to municipal utilities.

### Municipal Water

Parcels 4708-19-300-013 and 4708-19-300-014 associated with the development were never part of the municipal water district within Hartland Township. The proposed site plan would require 57 sewer REU's for full build out. All parcels seeking municipal water connection outside of the service district are required to undergo a capacity study to be managed by Hartland Township Public Works Department. It has been recently discovered the proposed parcels have been previously included in modeling exercises based upon only 40 units, and a subsequent review of the water capacity will be required to ensure adequate capacity within the water system for the total 57 units.

### Municipal Sewer

Parcels 4708-19-300-013 and 4708-19-300-014 associated with the development were never part of the municipal sewer district within Hartland Township. The proposed conceptual plan would require 57 sewer REU's for full build out. All parcels seeking municipal sewer connection outside of the service district are required to undergo a capacity study to be managed by the Livingston County Drain Commissioner's office. A preliminary review has been conducted, yet the Livingston County Drain Commission may require a formal review to ensure sewer capacity. Subsequently the lift station on M59 will have to be upgraded at the developers expense to handle the added capacity.

### REUs

According to the Township's records, Parcel 4708-19-300-013 nor 4708-19-300-014 do not have any REUs (Resident Equivalency Units), and therefor will be required to purchase the required REU's as each structure building permit is approved. The conceptual plan indicates 57-units, which based upon 2022 rates, will require 57 water REU's (\$5,816.01 each) and 55 sewer REU's (\$9,439.20 each) for a total of \$869,546.97 for the entire development. The developer may purchase the REU's prior to each structure being built in accordance with the REU pricing at the time of the building of each structure.

At this time, subsequent plans should include the following:

- Utility easements noted as public.

Please feel free to contact me with any further questions or comments regarding this matter, and thank you for your time.

Michael Luce  
Public Works Director

April 15, 2022

Troy Langer  
Planning Director  
Hartland Township, MI

Re: The Villas of Hartland Site Condominium – PD Site Plan Review  
SDA Review No. HL22-109

Dear Troy:

We have received the preliminary site plan submittal for the above referenced project prepared by Desine, Inc dated February 24, 2022 and received by our office on April 11, 2022. The plans were reviewed in accordance to Hartland Township Engineering Standards and the following comments are our observations.

A. General

The site is located along the west side of Hacker Road, north of Highland Road (M-59). It is noted as 18.16 acres total area. The site is currently vacant with several regulated and unregulated wetlands. The proposed development will construct an intersection at Hacker Road for two private roads to support a housing development.

Hartland Township Standard Detail Sheets are to be attached to the proposed plans when applicable.

B. Water Main

An existing water main of unknown size is located northeast of proposed Unit 17 of the site plan. Final approval of the water main connections will require knowing the size of the existing water main to the east of the proposed development. It should be demonstrated that there is sufficient capacity in the existing water system to handle the proposed development.

A 12" and 8" water main is proposed along Pastir Lane and Morelli court connecting to the existing water main of unknown size. The 8" water main branch is approximately 575 feet and terminates at a hydrant. Per Hartland Township standards, dead end mains must end with a hydrant and a gate valve and well. Also, a 12" water main is proposed with the improvements to Hacker Road along the eastern side of the right-of-way that will extend to each adjacent property of the proposed development to the north and south. Gate valves shall be spaced such that not more than 24 single family homes or two hydrants shall be out of service within a section of isolated water main.

All proposed water main is to be separated from sanitary and storm sewer by 10 feet. The proposed water main will be captured in a 20 foot wide easement. The hydrant layout must be reviewed and approved by the Hartland Fire Marshall.

C. Storm Drainage

Storm water runoff is to be captured via catch basins along the proposed roadway and along rear yard drains. The storm water will enter a proposed retention basin via a proposed forebay before entering the main basin. The bottom of the proposed basin is to be excavated to existing porous material and backfilled with acceptable material. An emergency overland overflow is proposed on the western side of the basin and will outlet to the Hacker Road Right-of-Way ditches. The ultimate outlet of the emergency overflow appears to be an existing body of water located to the west of Hacker Road.

All storm water design calculations are to follow Hartland Township and Livingston County Drain Commissioner standards and details. No outlet retention basins require soil borings and infiltration testing within the basin footprint. LCDC standards are to be following for requirements of the soil borings and infiltration testing.

Offsite surface runoff shall not be trapped along the development perimeter. If the existing runoff from adjacent properties path onto the proposed site, the retention basin and proposed storm sewers must be sized to accommodate.

D. Paving

Two proposed private roadways (Pastir Lane and Morelli Court) are shown to be 30 feet wide (BOC to BOC) with 5 foot wide sidewalks on either side of the roadways. Each roadway terminates at a cul-de-sac with a BOC radius of 55 feet. Both roadways are located in the center of a proposed 66 foot wide roadway right-of-way. There is a 12 foot wide easement for public utilities shown on either side of both roadways.

Private road shall meet the requirements of Hartland Township Zoning Ordinance Article 30.00. Private roads longer than 600 feet shall provide one or more additional easements to facilitate the development of a continuous road network. Morelli Court meets the 600 foot max length but Pastir Lane extends past the intersection with Morelli Court approximately 1050 feet.

E. Sanitary Sewer

A proposed public sanitary sewer is shown on the utility plan within a proposed 25 foot wide easement. The proposed sewer will connect to an existing sanitary manhole east of proposed Unit 18. All sanitary sewer design requirements are to follow current Livingston County Drain Commissioner's (LCDC) standards and details. LCDC sanitary sewer detail sheets shall be attached to the proposed plans when applicable. LCDC may require lift station upgrades to handle the additional flows from this development.

**Permits Required**

Based on those improvements depicted on the plans, the following permits may be required and will need to be provided to the Township once available. Any changes to the approved site plan from the following agencies that impact the design may require reapproval.

Hartland Township:



1. All necessary easements including water main. Easements must be on Hartland Township Standard Easement document and include a sketch. A current title policy for ownership verification shall be provided with all executed easement submittals, if applicable.
2. A Land Use Permit will be granted after the pre-construction meeting.
3. Storm Water Agreement (for the storm water improvements on the site).
4. Maintenance bond and insurance for the water main to be dedicated to the township.

Livingston County:

1. Copy of Livingston County Drain Commissioner approval and permit.
2. Copy of a Soil Erosion and Sedimentation permit from Livingston County Drain Commissioner.
3. Copy of Livingston County Road Commission approval and permit.

Michigan Department of Environment, Great Lakes, and Energy (EGLE):

1. MDEGLE Permit for all water main installation.
2. MDEGLE Permit for all public sanitary sewer installation.
3. NPDES Notice of Coverage Documentation.
4. MDEGLE Permit for all proposed work within the state-regulated wetlands, if applicable.

Please be aware that additional comments may arise with the submittal of the requested revisions and/or additional information.

**RECOMMENDATION**

We recommend approval of the site plan, conditional upon all of the above comments being addressed to the satisfaction of the Planning Commission. Final engineering approval is not recommended at this time due to the number and nature of the comments.

The comments are not to be construed as approvals and are not necessarily conclusive. The final engineering plans for this development are to be prepared in accordance with the Hartland Township Engineering Design Standards and 2008 Hartland Township Standard Details. Sanitary sewer and water benefit fees may be applicable for this project.

If you have any questions regarding this matter, please contact our office at your convenience.

Sincerely,

**SPALDING DEDECKER**



Adam Chludzinski  
Project Engineer

cc: Jeremy Schrot, Hartland Township Engineer (via email)



HARTLAND DEERFIELD FIRE AUTHORITY  
**FIRE MARSHALS OFFICE**

Hartland Area Fire Dept.  
3205 Hartland Road  
Hartland, MI. 48353-1825

Voice: (810) 632-7676  
Fax: (810) 632-2176  
E-Mail: [jwhitbeck@hartlandareafire.com](mailto:jwhitbeck@hartlandareafire.com)

May 12, 2022

To: Planning Commission  
Hartland Township  
2655 Clark Road  
Hartland, MI 48353

Re: Application for Site Plan, for Villas of Hartland

Based upon review of the site plan dated February 24, 2022, and electronically sent over by the Hartland Township on April 11, 2022, the project was drawn as being within the requirements for accessibility **contingent** upon the following:

- There is a maintenance agreement that specifies year around accessibility on the emergency vehicle access road leading out to Hacker Road from Pastir Lane. **(AHJ Requirement)**.
  1. The current maintenance agreement shows that:  
**4. Maintenance.** Each Party shall bear the full cost of repairing and maintaining the access drive on its own premises. Each Party agrees to keep its access drive in a reasonable state of repair so that normal access to and across the Easements on each Parcel is not impeded. This should be changed to reflect that the Villas of Hartland are the responsible party since the connection to Walnut Ridge is no longer going to happen.
  2. The maintenance agreement must include a vertical clearance of 13'6" and a minimum of 22' width on both the shared private drive as well as the emergency vehicle access. This includes snow removal and any other maintenance to preserve the roadway in a constant drivable condition.
- Crash gates are not an acceptable option for entrance into any gated community. A supra brand lock box shall be permanently mounted on the gate to ensure emergency access if a power outage occurs. Recommendation is for a dead man switch similar to Hartland Estates. Order form for the Supra Key box is provided by the fire department **(AHJ Requirement)**. **Section 506.1.1 Locks and Key switches.**
- Cul-de-sac radius appears to be 75' which is within specifications.
- Width of roadways within the sub are according to specifications.

The Fire Marshals Office **approves with the above contingencies\*** the submittal of the Site Plan Application for the Villas of Hartland. Any revised drawings affecting the Fire Department must be submitted for review.

Yours In Fire Safety,

Jenn Whitbeck  
Fire Inspector

January 27, 2021

**VIA ELECTRONIC MAIL**

Township of Hartland  
Attn: Martha Wyatt  
2655 Clark Road,  
Hartland, Michigan 48353

**Re: Villas of Hartland Condominium Project**

Dear Ms. Wyatt:

We are writing you in response to the correspondence you sent to Mr. Wayne M. Perry regarding the written documentation needed to move forward with the above-referenced development. In this correspondence, you requested a written summary from the applicant regarding the recognizable benefits of this panned development. There are many recognizable benefits of this development. This type of low to no maintenance community is exactly what a large majority of the public, specifically professionals and senior citizens, is currently looking for. The aforementioned citizens are attracted to these communities because they do not have to worry about cutting the grass, shoveling the driveway, watering the grass, etc. As for the benefits to the township, this community will drive new people into the community, which will increase the utilization of local businesses within the township.

As for your request for a statement regarding unified control of the development and legal documents of single ownership, please find the Warranty Deed dated February 1, 2016, enclosed. This Warranty Deed shows the sole ownership of the property in question by Hacker Road, LLC, a Michigan limited liability company. Therefore, this development is under single ownership and unified control.

In response to your request for the written summary regarding any outstanding design attributes that could result in the award of a density bonus, the proposed development would fall under Section 3.1.18(C)(iv)(d) and (e) of the Hartland Township Zoning Ordinance. The proposed development falls under these Sections because the proposed arrangement enhances the compatibility of proposed development with existing or planned land use on adjacent land and the proposed development proposes a greater amount of open space than is minimally required by the Township. The proposed development will also contain luxury real estate, using high quality materials. The developer will also be providing sidewalks throughout the community to give the members of the community a place to walk, ride bikes and enjoy the outdoors.

As to your request for a written explanation as to the need for the gated development, particularly the need for the emergency gates on the East, the simple answer is that the public likes them. The gates help the prestige of the subdivision, and makes the members of the community feel more secure, especially for families with children that play outside. It shall also be emphasized that the gates on the East are not meant to be emergency gates. My previous development, Hartland Estates, is also a gated community and has been very successful. The gates will also have an

electric eye, and the opening and closing of the gates will be automated. The presence of the gates will also slow down traffic through the community.

This proposed development will also bring in more revenue for the Township. Not only will this development be bringing in new families to the area, but due to the increase in the population, the Township will also see an increase in taxes collected. In addition to the increase in tax revenue, local businesses will also benefit from the proposed development. As more families and homeowners move into the area, local businesses will also see an increase in the traffic coming in and out of their business. There will also be many new senior citizens that will move to the area to be in these luxury, no maintenance homes. These senior citizens will be paying taxes, which will go to the school district, without utilizing these services. This increase in tax revenue to the schools without an increase in the utilization of the services should help the school district financially.

Should you have any questions or concerns, please feel free to contact us.

Very truly yours,

**HACKER ROAD, LLC,**  
a Michigan limited liability company,

Joseph M. Rotondo, Member



March 1, 2021

Mr. Troy Langer, Planning Director  
Hartland Township  
2655 Clark Road  
Hartland, Michigan 48353

Re: Villas of Hartland  
Landscape waiver request

Dear Mr. Langer:

The proposed landscape plan for Villas of Hartland has been prepared depicting landscaping to satisfy the intent of the Township Zoning Ordinance. Strict compliance with the Zoning Ordinance is not always feasible, or provide a benefit to the development or the community. We are requesting waivers for deviations from strict compliance with three specific landscape requirements of the ordinance. Specific deviations are requested as follows:

A greenbelt is required along the public road frontage for Hacker Road. Section 5.11.2.C.i.b. of the Zoning Ordinance specifies the planting of Deciduous trees in the greenbelt. The proposed landscape plan depicts planting 50% Evergreen trees and 50% Deciduous trees as allowed with approval of the Planning Commission. We are requesting the Planning Commission approve this modification as allowed by the Ordinance.

We are not able to plant required street trees within 15 feet of the back of curb as required by Section 5.11.2.C.ii of the Zoning Ordinance. The area between the back of curb and the front Unit line is 17 feet in width, containing a sidewalk and either a sanitary sewer main or a water main, in accordance with Hartland Township Engineering standards. The Zoning Ordinance does not allow planting trees within 10 feet of a utility main. We request the Planning Commission approve planting of street trees within the Unit area, behind the 12-foot wide public utility easement.

Screening and buffering between the proposed development and the adjacent properties to the North and South, as required in Section 5.11.2.G. of the Zoning Ordinance, is provided by a combination of existing trees and proposed Evergreen and Deciduous plantings. Existing trees along both the North and South property lines will provide a buffer for a majority of the property line. The adjacent parcel to the North of the property has an existing single-family residence with an outbuilding located near the Northwest corner of the project. The residential home will be screened by both existing trees and proposed landscaping. The adjacent parcel to the South of the

Troy Langer  
March 1, 2021  
Page 2

property has a barn near the property line and a single-family residential home farther to the South. The site will be adequately screened by both existing trees and proposed landscaping. We request the Planning Commission consider the landscape buffers proposed and determine they meet the intent of the ordinance for the proposed development.

We are requesting consideration and approval of the landscape waivers as requested for this project.

Should you have questions pertaining to the project, please contact me at your convenience.

Respectfully,  
**DESINE INC.**

  
Wayne M. Perry, P.E.

152775\Landscape Waiver request letter 03-01-2021





April 5, 2022

Mr. Troy Langer, Planning Director  
Hartland Township  
2655 Clark Road  
Hartland, Michigan 48353

Re: Villas of Hartland, Preliminary PUD resubmittal

Dear Mr. Langer:

We have revised the plans and supporting documentation for the Villas of Hartland. Plans have been revised to address comments previously provided. The following substantive changes have been completed to the proposed development plans:

- Road connection to Walnut Ridge has been eliminated
- An emergency access drive to Hacker Road has been provided
- A more efficient road alignment has been designed, reducing the number of internal intersections
- The existing wetland adjacent to Hacker Road has been delineated and surveyed.

Supporting documentation pertaining to the development

- Draft Master Deed and Bylaws have been prepared for the development
- Sight distance evaluation approvals from the Livingston County Road Commission for both the primary entrance and the emergency access
- Written summaries were previously provided pertaining to recognizable benefits of the proposed planned development, unified control of the development, outstanding design attributes, need for a gated development and fiscal impacts of the development.
- Landscape waiver request was previously provided

Enclosed are five sets of revised plans, Master Deed, Bylaws and LCRC sight distance approvals for review and consideration. Should you have questions pertaining to the project, or if additional information is required, please contact me at your convenience.

Respectfully,  
**DESINE INC.**

A blue ink signature of Wayne M. Perry, P.E. is written over the "DESINE INC." text and extends to the right.

Wayne M. Perry, P.E.

Encl: Preliminary PUD plans – revised 02-24-2022  
Livingston County Road Commission sight distance reviews  
Master Deed – revised 04-02-2022  
Bylaws – revised 04-02-2022





June 7, 2022

Mr. Troy Langer, Planning Director  
Hartland Township  
2655 Clark Road  
Hartland, Michigan 48353

Re: Villas of Hartland, Preliminary PUD resubmittal

Dear Mr. Langer:

We have revised the plans and supporting documentation for the Villas of Hartland. Plans have been revised to address comments provided during the Planning Commission meeting on May 26<sup>th</sup>. The following substantive changes have been completed to the proposed development plans:

- Proposed easements for water main and sanitary sewer have been identified as public.
- Existing water and sanitary sewer service to the East property line have been identified and pipe diameters have been provided.
- An additional tree has been added to the landscape island at the entrance to the project.
- Existing trees within the Hacker Road ROW that can be preserved have been identified on the landscape plan.
- A second row of trees has been added between the emergency access and the berm.
- Trees have been added to the central open space area.

Enclosed are revised plans for review and approval by the Township Board. Should you have questions pertaining to the project, or if additional information is required, please contact me at your convenience.

Respectfully,  
**DESINE INC.**

A handwritten signature in blue ink, appearing to read "Wayne M. Perry", is written over the typed name. The signature is fluid and stylized, with a long horizontal stroke extending to the right.

Wayne M. Perry, P.E.

Encl: Preliminary PUD plans – revised 06-07-2022

152775\Preliminary PUD resubmittal letter 06-07-2022

**VILLAS of HARTLAND**  
**Hartland Township, Michigan**  
**Site Plan Application**

**IMPACT ASSESSMENT**

**Owner:**

Hacker Road LLC  
20771 Randall  
Farmington Hills, Michigan 48336

**Prepared by:**

DESINE INC.  
2183 Pless Drive  
Brighton, Michigan 48114

**A. INTRODUCTION**

This impact assessment has been prepared pursuant to Article 6, Section 2 – IMPACT ASSESSMENT of the Zoning Ordinance for the Township of Hartland, Livingston County, Michigan. This assessment addresses the impact of the proposed residential site condominium subdivision on the surrounding community and the economic condition and social environment of the Township. The site consists of 24.51 acres of property located on the East side of Hacker Road, North of M-59/Highland Road, as shown on Figure 1.

The site plan as submitted presents the proposed single-family residential units, private roads, and utilities. Fifty-seven (57) units are proposed on site, including private roads.

This Impact Assessment has been prepared under the direction of Wayne Perry, P.E., DESINE INC., 2183 Pless Drive, Brighton, Michigan 48114. Mr. Perry is a licensed Civil Engineer, providing professional engineering services in Livingston County since 1988 with experience in private and municipal development including projects within Hartland Township and Livingston County.

**B. SITE CONDITIONS & DESCRIPTION**

The site, 24.51 acres in area, is currently zoned Conservation Agriculture (CA), and is located on the East side of Hacker Road, approximately nine hundred feet North of the intersection of Hacker Road and M-59/Highland Road. The site is vacant and contains several stands of trees, several small wetland areas, and fallow fields. The Existing Conditions Plan provides a detailed overview of the existing site features.

Adjacent parcels North and South of the property are zoned CA, and are currently occupied by single family homes. The parcel directly to the East is zoned as a Planned Development (PD) and contains a church on the South and single-family residences to the East of the proposed site. Homes are serviced by a private road network that will provide a secondary access to the proposed Villas of Hartland development. The homes in the existing planned development are served by public water and sewer service which have been extended to provide service to the Villas of Hartland.

The site plan as submitted presents the proposed residential units, private roads, and utilities. Fifty-seven (57) single family residential units are proposed on site, including private roads for access. The proposed private road system will also provide an emergency vehicle access from Hacker Road. Private roads within the Villas of Hartland will be accessed from Hacker Road. Sanitary sewer and water service for the proposed development will be extended from connections provided at the East property line. Drainage for the site will be provided by a storm sewer network connecting to a retention basin adjacent to Hacker Road.

The property is accessed from Hacker Road, a public road under the jurisdiction of the Livingston County Road Commission. Hacker Road is paved from Highland Road to the Southerly property line of the property. The developer is proposing to extend the bituminous surface on Hacker Road from the South line of the development to beyond the proposed entrance to the Villas of Hartland.

Woodlands on site are comprised primarily of farm field border tree lines with a wooded area in the Southeast corner of the property.

Topography on site rises uphill from Hacker Road, East to a high point located approximately two hundred feet West of the East property line. Drainage flows to several onsite and offsite wetland areas. Along the North side of the site, drainage flows Northerly to offsite wetland areas. No significant impact is anticipated to adjacent properties due to offsite drainage as storm water runoff from the developed portion of the property will be collected and discharged into the retention basin. Proposed grades at the property boundaries will match existing topography.

The site plan depicting the proposed site improvements is provided in Figure 2.

#### **C. IMPACT ON WETLANDS**

Several small wetland areas exist on site. Wetland areas in the Easterly portion of the property are regulated. Wetland area in the West portion of the property is also regulated. A non-regulated wetland area at the South end of the property will be filled as a part of the proposed construction of the development. The existing wetlands previously accepted drainage from the site and proposed drainage is designed to be accommodated within the proposed retention basin.

In areas where the wetlands will remain between homes, storm drain structures will be constructed to act as overflow structures. These structures will direct any overflow into the retention basin.

Offsite wetlands will not be negatively impacted by designing drainage areas on the proposed development to be equal to or less than their pre-development area. The site will be graded to match existing grades at the property lines to ensure that drainage continues to flow to its pre-development end points.

#### **D. IMPACT ON SURROUNDING LAND USES**

Properties to the North and South are zoned Conservation Agricultural (CA). These parcels are occupied by single family residential homes. The parcel to the East is zoned as Planned Development (PD) and is developed as a single-family residential site condominium. The

property immediately Southeast of the proposed development is being occupied by a church, also zoned PD. Properties on the West side of Hacker Road are located in Oceola Township. The Oceola Township zoning map depicts this area is zoned Agricultural Residential. Property to the Northwest is occupied by single family homes and land to the Southwest contains a church.

The Hartland Township Future Land Use Plan designates the property for Medium Suburban Density Residential. The future land use plan identifies surrounding property as having the same designation. This designation indicates a future use of single family homes on lots of a half-acre up to one acre. The proposed development conforms to the density anticipated in the future land use plan.

The proposed land use for single-family residential homes served by public utilities is consistent with proposed Planned Development (PD) zoning. PD zoning allows for flexible usage of the land for different types of developments, including single family residential. PD zoning enables the proposed development to make better use of the natural features of the site and incorporate them into the open spaces proposed.

The landscaping and architecture proposed will allow this site to be developed to compliment the surrounding areas and provide visually appealing areas for residents. The proposed development is designed to have minimal impact on the surrounding existing land uses.

Open spaces within the proposed development have been designed to protect a significant number of trees and other vegetation, as well as the regulated wetlands on site. These open spaces provide not only a buffer space between lots and roadways, but visual relief and natural drainage control.

Ambient noise levels on and around the property are largely generated by traffic along M-59/Highland Road. The proposed development containing individual residential homes will not significantly impact ambient noise in the area.

The proposed units within the development do not extend to the project boundaries, allowing for natural vegetation to be preserved as a buffer. Existing vegetation will provide a visual and auditory barrier between the proposed development and existing homes.

Lighting on the site will be limited to street lighting and residential light sources from the proposed homes. All street lighting will be shielded and down directed on the site. Residential lighting from the homes will be minimal and will not adversely impact nearby homes.

The proposed homes in the development will be designed to meet with the Township's architectural standards to provide a visually unified and harmonious neighborhood. Neighboring homes will be taken into consideration when choosing the available home designs and floor plans available in the proposed development.

The proposed residential development will not create any significant emissions of smoke, airborne solids, odors, gases, vibrations, noise or glare discernable and substantially annoying or injurious to person and/or property beyond the lot lines. No significant change in air pollution is anticipated.

The Contractor shall be responsible for initiating and maintaining adequate dust control measures during and after construction until the project site is fully stabilized and a vegetative cover established. Dust control measures used during construction may consist of site watering, mulching of completed areas, installation of windbreak fencing, and application of chemical dust control materials.

#### **E. IMPACT ON ENVIRONMENTAL FEATURES**

Regulated wetlands will be protected during construction. A non-regulated wetland area on the site will be filled. Wetland areas being preserved on the site will be provided with overflow structures to maintain the wetland elevations and prevent flooding. Site grading will be designed to match existing grades at property lines to ensure that drainage flow to offsite wetlands will not be adversely affected by this proposed development.

The site does contain a wooded area in the southeast corner of the site. The majority of trees in the southeast corner of the parcel will be preserved.

The site does not contain any major wildlife areas or habitat areas that will be significantly impacted by the development.

Soil erosion and sedimentation control measures will be installed prior to construction to ensure sediment from construction activities does not leave the site. Silt fence will be erected prior to any construction activity at the edge of all disturbed areas and will remain through the completion of the project. Sediment collection traps will be installed at all proposed storm drainage structures to prevent sediment from becoming trapped in the pipe system and preventing proper function. A stone tracking pad will be installed at the construction entrance to prevent construction vehicles from tracking sediment from the site onto roadways. After construction has been completed, the site will be stabilized, seeded and a vegetative cover re-established.

**F. IMPACT ON PUBLIC FACILITIES AND SERVICES**

The Livingston County Sheriff and Michigan State Police will provide Police protection. Public safety services required to accommodate the proposed use are anticipated to be minor.

The Hartland Deerfield Fire Authority will provide fire protection. No fire hydrants currently exist on site. The proposed site will include seven fire hydrants spaced to provide coverage to all proposed lots on site. An additional three fire hydrants will be installed along the extension of water main along Hacker Road

The proposed single-family homes would likely add new students to the local public school system.

**G. IMPACT ON PUBLIC UTILITIES**

The property is not currently being serviced by public water and sewer services.

Water service to the site will be provided by connecting to an existing water main stub from the existing adjacent residential development to the East. Sanitary sewer service to the site will be provided by connecting to the existing sanitary sewer system in the existing adjacent residential development to the East.

**H. IMPACT ON DRAINAGE**

Excavation and grading will be undertaken to construct private roads and proposed utilities as depicted on the grading plan. Earthwork will be required to direct storm water flow into the storm water collection system. This system will discharge surface water runoff generated by development of the property to the proposed retention basin. Grading on the site will match existing grades on adjoining properties at the property lines. No adverse impact to adjoining properties is anticipated due to the construction and grading of the property.

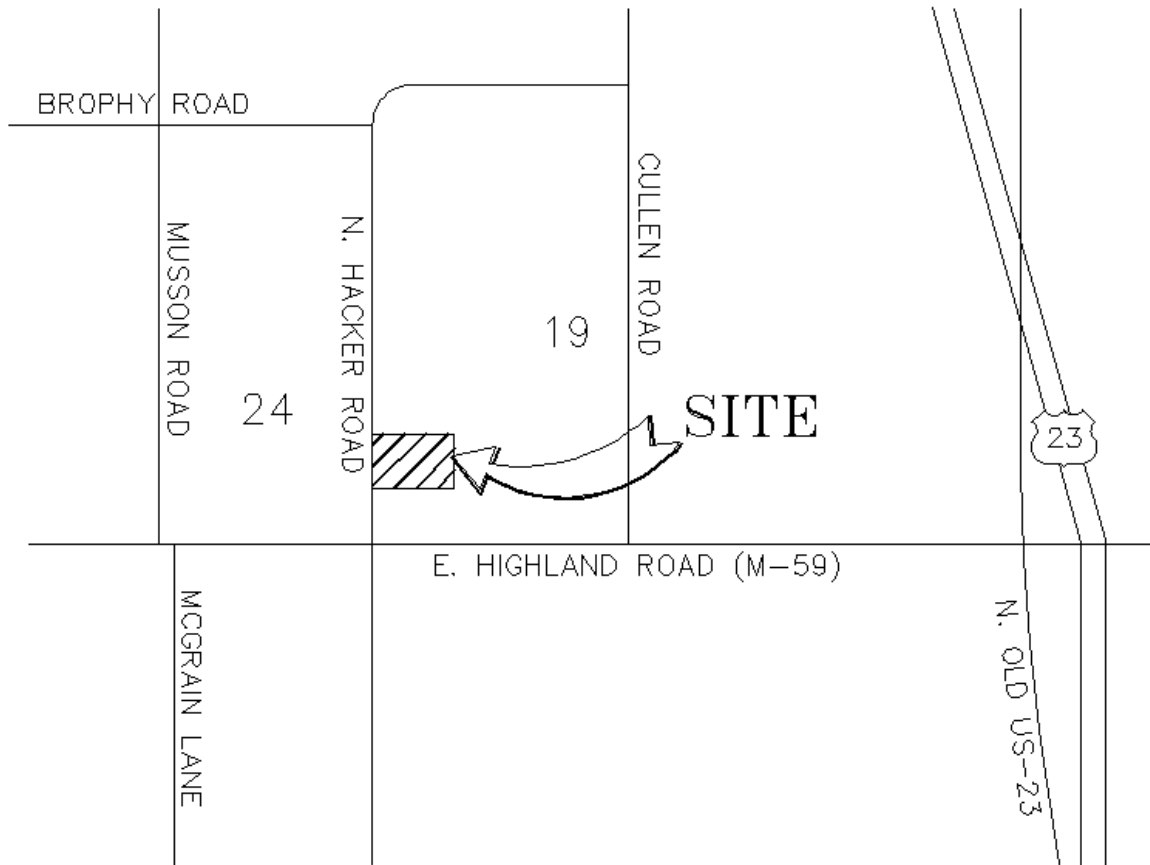
Surface water runoff generated from all improved areas of the site will be collected by catch basins, conveyed through a storm sewer system, and discharged to the retention basin located at the southwest corner of the property. The retention basin is designed to provide storage for a 100-year storm event in accordance with current Livingston County Drain Commission requirements.

Soil erosion and sedimentation are controlled by the Soil Erosion Control Act No. 347 of the Public Acts of 1972, as amended and is administered by the Livingston County Drain Commissioner. Silt fence will be required around the site. The Contractor shall comply with all regulations including control during and after construction.

Impact on adjoining properties drainage will be minimized by matching existing grading at the project boundaries, preserving existing vegetation at the project boundaries, and providing onsite retention of storm water runoff. Soil erosion measures such as silt fence will prevent sediment from eroding off site.



**FIGURE 1**



**LOCATION MAP**

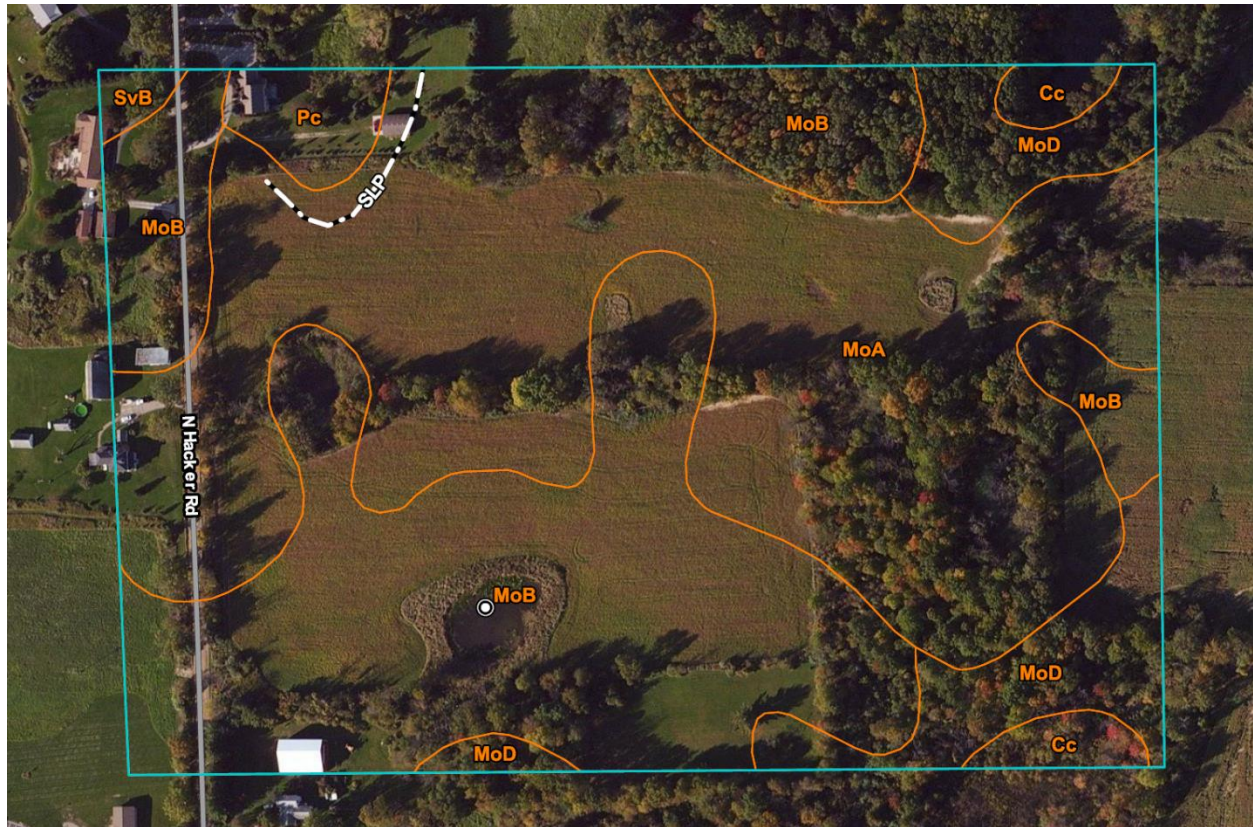
NOT TO SCALE

## **FIGURE 2**

## **SITE PLAN DEPICTING PROPOSED IMPROVEMENTS**

**NOT TO SCALE**



**FIGURE 3**

Map Unit Symbol	Map Unit Name
Cc	Carlisle muck
MoA	Miami loam, 0 to 2 percent slopes
MoB	Miami loam, 2 to 6 percent slopes
MoD	Miami loam, 12 to 18 percent slopes
Pc	Pewamo clay loam
SvB	Spinks-Oakville loamy sands, 0 to 6 percent slopes

**SOILS MAP****NOT TO SCALE**

**Livingston County**  
**Department of Public Works**  
2300 E. Grand River, Suite 105 • Howell Michigan 48843-7581  
517-546-0040 • Fax: 517-545-9658

RECEIVED

February 21, 2020

FEB 02 2021

Mr. Wayne M. Perry, P.E.  
DESINE, INC.  
2183 Pless Dr  
Brighton, MI 48114

HARTLAND TOWNSHIP

Dear Mr. Perry,

The Livingston County Department of Public Works completed a review of the Hacker Road Development proposed on Hacker Road, north of M-59 in Hartland Township. Based on the plans provided to our office, the developer, Mr. Rotondo, is proposing 55 residential homes that would connect to the Livingston Regional Sanitary System (LRSS) through the existing M-59 West Pump Station.

Other developments that currently connect to the M-59 West Pump Station include the Venture Church and Walnut Ridge, which are part of the existing sewer district. The Hacker Road development is not part of the existing sewer district. Therefore, a capacity evaluation was completed in order to assess impacts to the pump station and receiving sewers.

The results of the capacity evaluation demonstrate that the existing pump station does not have adequate capacity to take on the additional flow from the 55 homes. Consequently, the pumps will need to be replaced with Flygt Model NP3153.095-464. Kennedy Industries has provided a quote in the amount of \$44,900, which includes the purchase of two pumps. Installation will be an additional cost, for which we are still awaiting pricing. Since the upgrades are needed exclusively to accommodate the needs of this development, the developer will be required to pay for the upgrades.

Please note that the lead time for the pumps is 8-10 weeks. Livingston County can place the order for the pumps upon written notice from the developer agreeing to pay the costs prior to installation.

Please contact me if you have any questions.

Sincerely,



Michelle M. LaRose, P.E.  
Deputy Drain Commissioner

# Livingston County Road Commission

3535 Grand Oaks Drive • Howell, Michigan 48843-8575  
Telephone: (517) 546-4250 • Facsimile: (517) 546-9628  
Internet Address: [www.livingstonroads.org](http://www.livingstonroads.org)

September 29, 2020

Wayne Perry, P.E.  
Desine, Inc.  
2183 Pless Drive  
Brighton, MI 48114

Re: Bellavista Drive, Villas of Hartland, Hartland Township, Section 19  
LCRC# P-20-03

Dear Mr. Perry:

I have completed the review of the plans for a private road approach and improvements to Hacker Road, dated September 1, 2020, for the above-referenced project and offer the following comments.

1. A contractor needs to be selected and the selected contractor must submit a certificate of insurance to the LCRC with the following language: "The Board of Livingston County Road Commissioners, the Livingston County Road Commission, and their officers, agents, and employees are listed additional insured parties with respects to General Liability." Please note this is not required for plan approval.
2. The road names "Bellavista" and "Villa" are names of existing roads in Livingston County. Per the Livingston County addressing ordinance, duplicate road names within the county will not be approved. Please submit new road names for review and approval. Morelli Court is approved and has been reserved for this development.
3. Please verify sight distance can be obtained at the approach, looking to the south, at 15 feet off the proposed edge line of Hacker Road.
4. The deceleration taper should be 100 feet long to meet our standard requirement.
5. Proposed grades will be needed on the plan at the new back of curb along the acceleration taper, deceleration taper, right turn lane, radii of the approach, on the west side of Hacker Road and along the taper from the new pavement section to the existing gravel section.
6. Existing grades on the west side of Hacker Road within the project limits should be shown on the plans.
7. The limits of grading for the improvements to Hacker Road should be shown on the plans. Also, any trees that need to be removed and any mailboxes that need to be relocated will need to be identified.
8. The proposed type of MDOT curb should be identified on the plans and the detail should be included on the plans. The LCRC also requires edge drain to be installed under the curb within the Hacker Road right-of-way.

Bellavista Dr  
Villas of Hartland  
September 29, 2020  
Page 2

9. A soil erosion and sedimentation control plan will need to be included in the plan set.
10. Please provide a pavement striping plan for the improvements to Hacker Road.
11. Any existing traffic control signs that need to be removed and/or relocated for the improvements to Hacker Road will need to be called out on the plans. A note should also be included on the plans indicating the removal or relocation of those signs need to be coordinated with the road commission.

Please submit two (2) copies of revised plans for review. If you have any questions, please do not hesitate to contact me.

Sincerely,



Kim Hiller, P.E.  
Utilities and Permits Engineer

Cc: File

Troy Langer, Hartland Township (via email)

Ken Recker, Livingston County Drain Commissioner's Office (via email)





**LIVINGSTON COUNTY ROAD COMMISSION  
LAND SPLIT / SIGHT DISTANCE REVIEW**

**\*\* NOTE: THIS IS NOT A  
DRIVEWAY PERMIT \*\***

**Review Number 2109-010**

**Property Owner and Applicant Information**

Owner:	Hacker Road LLC	Applicant:	
Street Address:	20771 Randall	Company:	Desine Inc.
City, State, ZIP:	Farmington Hills, MI 48336	Address:	2183 Pless Drive
Day Phone:	(248) 474-0707	City, State:	Brighton MI, 48114
		Applicant Phone:	(810) 227-9533

**Location**

Township:	Hartland	Section	19	Roadway On:	Hacker Road	Side of Street:	East
Approach Type:	Commercial	Development:	Village of Hartland				
Speed Limit (if posted):	45	Speed Factors (if any):	Unposted Gravel Road				

**Comments:**

An emergency access drive could be permitted once a clear vision area is established. There are some small trees to the north that need to be removed.

Inspector:

*Sonny Newton*

**Field Measurements:** Location of existing property corners from nearest crossroad: 900 and 1750 feet North of M-59

Parcel	Prop/Emnt Corners	Access Point(s)	Sight Distance Req. Std	Min	Sight Distance Measured	S.D. Comply	CVA Comply	Neighbor Consent	Approve
Emergency Access	900 1750	1500	725	500	725 North 725 South	Yes	No	No	No

**\*\* This review is based on the survey/sketch provided to us at the time of application or during the review process. Any changes to property lines or driveway locations after the date of this review will void the review and may prevent approval or permits for any future driveway approaches.**





## HARTLAND TOWNSHIP PLANNING COMMISSION APPROVED REGULAR MEETING MINUTES

March 11, 2021 – 7:00 p.m.

**This meeting was held via video conference in compliance with the Department of Health and Human Resources Emergency Order of February 4, 2021 under MCL 333.2253**

---

1. **Call to Order:** Chair Fox called the meeting to order at approximately 7:05 p.m.
2. **Pledge of Allegiance:**
3. **Roll Call and Recognition of Visitors:**  
Present – Commissioners Fox (via video from Hartland Township, MI), Grissim (Hartland Township, MI), LaRose (Hartland Township, MI), McMullen (Hartland Township, MI), Murphy (Hartland Township, MI)  
Absent – Commissioners Mitchell, Voight
4. **Approval of the Agenda:**  
A Motion to approve the March 11, 2021 Planning Commission Regular Meeting Agenda was made by Commissioner LaRose and seconded by Commissioner Murphy. Motion carried unanimously.
5. **Approval of the Minutes:**
  - a. Planning Commission Minutes of February 11, 2021  
A Motion to approve the February 11, 2021 Planning Commission Meeting Minutes was made by Commissioner LaRose and seconded by Commissioner Grissim. Motion carried unanimously.
6. **Call to Public:**  
None
7. **Public Hearing:**
  - a. **Site Plan Application #20-011 Villas of Hartland Planned Development (PD) – Preliminary Site Plan.** A request for Preliminary Planned Development approval for a 55-unit residential development on two parcels; 4708-19-300-013 and 4708-19-300-014, totaling approximately 24.51 acres, in Section 19 of the Township.

Chair Fox explained the Public Hearing process.

**Chair Fox opened the Public Hearing at 7:11 PM stating all noticing requirements have been met.**

Director Langer summarized the request, location and process stating the following:

- Located north of M-59 and east of Hacker Road.
- Planned Development (PD) is a three-step process: Concept, Preliminary and Final. Each review is before both the Planning Commission and the Township Board.
- Tonight, is the Preliminary phase which requires a Public Hearing.

Wayne Perry of Desine, Inc. representing the Applicant, Joe Rotondo stated the following:

- Development is at the Preliminary stage.
- Currently proposed as a 55-unit condominium development with private roads, a gated community.
- Mr. Rotundo feels this provides a style of ownership that is desired by buyers in today's market.
- High quality single-family homes without large lawn areas.

Chair Fox confirmed that all of the written communications will be included in the record of this meeting.

**Call to Public**

- Henry Nykiel, N Hacker Road, Oceola Township; commented on some experiencing lack of connectivity for the meeting.
- Roger Myers, Attorney representing Walnut Ridge Homeowner's Association, Michigan Avenue, Howell; stated the following:
  - Concerns about connecting road and unrestricted gate to private roads within Walnut Ridge.
  - Walnut Ridge HOA will not grant ingress-egress access per Condition #6 of the proposed resolution.
  - Would prefer a restricted gate with unpaved emergency access connecting the two developments.
- Jim Jablonski, N Hacker Road, Oceola Township; expressed concerns about runoff negatively impacting existing wetlands and ponds. Would like the State of Michigan Department of Environment, Great Lakes and Energy (EGLE) to review the project.
- Henry Nykiel, N Hacker Road, Oceola Township; expressed concerns with [unintelligible] runoff negatively impacting existing wetlands and ponds and would like the developer to test the pond water, future flooding, and increased traffic.
- James Quigley, Hacker Road, Hartland Township; expressed concerns about the safety of foot traffic on Hacker Road, increased vehicle traffic, and increased trespass onto his property.
- Derek Niederquell, Walnut View Drive, Hartland Township; concerned about increased traffic due to connecting road.
- Sue LaRoy, Walnut View Drive, Hartland Township; concerned about increased traffic and safety due to connecting road.
- Joe Napieralski, Walnut View Drive, Hartland Township; agrees with previous comments, has concerns about connecting road (annex), speeding traffic, about not being able to have their concerns heard by the neighboring HOA, construction traffic in Walnut Ridge, and wear and tear on the existing roads.
- Dennis Pate, Walnut Ridge HOA President, Walnut View Drive, Hartland Township; his members are concerned about traffic and safety, tired of construction and all that comes with it, maintenance of the private road, opposed to connecting road.
- Steven Cotter, N Hacker Road, Oceola Township stated the following:
  - Feels this development is not compatible with the intent of the zoning.
  - Concerned about construction noise, increased traffic, light pollution, runoff into ponds and wetlands.
  - Request the Planning Commission require a buffer with a berm and evergreens, consider relocating the entrance farther to the south.

- Courtney Samson, Walnut View Drive, Hartland Township; concerned about safety and traffic.
- Gary LaRoy, Walnut View Drive, Hartland Township; concerned about traffic and safety as their development has sidewalks on one side of the street only.
- Aaron Harkness, Torrey Pine Court, Hartland Township; oppose the connecting road, concerned about traffic and safety.
- Chris Lucier, Walnut View Drive, Hartland Township; concerned about traffic, safety and preserving the family-friendly character of their development.

**Chair Fox closed the Public Hearing at 7:59 PM**

Chair Fox referred to the staff memorandum dated March 4, 2021.

**Eligibility Criteria (Section 3.1.18.B.)**

- 1. Recognizable Benefits.** *The planned development shall result in a recognizable and substantial benefit to the ultimate uses of the project and to the community and shall result in a higher quality of development than could be achieved under conventional zoning.*

The applicant outlined the community benefits that the Villas of Hartland PD will provide as listed below:

- Preservation of natural features as open space areas.
- Provision of a low to no maintenance community that is in demand in Hartland Township by professionals and senior citizens.
- Luxury homes comprised of high-quality materials.
- Residents of the development may provide an increase in utilization of local businesses as they engage in the Hartland community.
- Provision of vehicular and pedestrian connections to the adjacent residential development, Walnut Ridge Estates PD, plus sidewalks are provided within the Villas development.
- Extension of municipal sanitary sewer and water service to accommodate the proposed development, built to the Township and County standards.

- 2. Minimum Size.** *Planned Developments must be a minimum of 20 acres of contiguous land.*

The proposed project is approximately 24.51 acres in size, thus complying with the minimum size requirement.

- 3. Use of Public Services.** *The proposed type and density of use shall not result in an unreasonable increase in the use of public services, facilities and utilities, and shall not place an unreasonable burden upon the subject site, surrounding land, property owners and occupants, or the natural environment.*

- Review letter from Livingston County Road Commission (LCRC), dated September 29, 2020, outlines their comments and lists the required modifications to the proposed plans.
- Hartland DPW will manage a water capacity study for the total fifty-five (55) units (earlier modeling was based on forty (40) units.)

- Developer will be required to upgrade the existing pump station with the purchase and installation of two new (2) pumps to provide the additional sewer capacity.
  - Director Langer stated the following about Traffic:
    - It is anticipated development will not rise to the level of requiring a Traffic Study with the recent addition of a traffic signal at Hacker Road and Highland Road.
    - When Walnut Ridge was originally proposed, the two developers discussed the connection between the two developments and planned for it.
    - Concept was to have a connection to Hacker Road where a signal would eventually be installed at M-59 allowing the residents of Walnut Ridge the ability to make a safe and efficient left turn with the aid of a traffic light during peak times of traffic on M-59.
4. **Compatibility with Comprehensive Plan.** *The proposed development shall not have an adverse impact upon the Comprehensive Plan for the Township. Notwithstanding this requirement, the Township may approve a Planned Development proposal that includes uses which are not called for on the Future Land Use Map, provided that the Planning Commission and Township Board determine that such a deviation from the Future Land Use Map is justified in light of the current planning and development objectives of the Township.*

Chair Fox stated this development shall not have an adverse impact on the Comprehensive Plan; this will be discussed in detail later in the meeting.

5. **Unified Control.** *The proposed development shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project, or assuring completion of the project, in conformity with the Ordinance.*

The applicant has provided a copy of the Warranty Deed which shows the sole ownership of the subject property (two parcels) is under Hacker Road, LLC.

**Planned Development Design Standards (Section 3.1.18.C.)**

1. **Permitted Uses.** *The predominant use on the site shall be consistent with the uses specified for the parcel on the Township's Comprehensive Plan for Future Land Uses.*

Chair Fox stated the following:

- Single-family residential is compatible with the Comprehensive Plan and would be permitted.
- Fairly consistent with other Medium Suburban Density Residential (MSDR) developments in the area such as Walnut Ridge Estates PD, Hartland Estates, San Marino Estates, Meadow View Estates, Fiddler Grove, and Autumn Woods.

2. **Residential Density.** *Residential density in a planned development shall be consistent with the density designation within the Township's Comprehensive Plan.*

Director Langer stated the following:

- Preliminary Plan proposes a density of 2.24 dwelling units per acre exceeds the density allowed for in the MSDR, density of 1 to 2 dwelling units per acre.
- Planned Development process allows the applicant to seek up to a forty percent (40%) bonus density.
- Without the bonus density, forty-nine (49) dwelling units would be allowed.
- With the maximum bonus density, sixty-nine (69) dwelling units could be allowed.
- Proposed development has fifty-five (55) dwelling units; consideration of a density bonus is applicable.
- Planning Commission, and ultimately the Township Board, must decide if the project meets the requirements for the density bonus.
- If the density bonus is awarded, this development will be consistent with the Future Land Use Map (FLUM). If not, it would then be inconsistent with the FLUM.
- More information in the staff report for historical reference.

Commissioner LaRose expressed the following concerns:

- Density bonus is being considered but a waiver for some Landscaping requirements has been requested.
- Trying to understand the grading plan and proposed drainage, unsure if greater density can be accommodated.
- Building envelopes shown are pretty close together compared to what the Zoning Ordinance generally allows.

The Applicant stated the following:

- Building envelopes being proposed rather than lots.
- Various house designs provided which are all smaller than the building envelopes.
- Everything related to the residence must be constructed within the envelope depicted.
- Envelope will not be filled completely but decks and porches must be contained within that area.
- Envelope approach allows for some flexibility rather than proposing a specific footprint.
- Separation between units will not be less than what is depicted but probably more based on the house sizes provided.
- Conventional drainage is planned as the site is regraded, front to the road, back toward the rear.
- Not requesting a reduction in Landscaping but rather a modification which is up to the Planning Commission; change in percentage of deciduous trees to evergreen. They feel it is a better mix, but if the Planning Commission does not agree, they will comply.
- Feels the street trees cannot be placed in the location the Zoning Ordinance requires.

Commissioner LaRose asked if there is anything in the by-laws requiring a certain distance between the houses. The Applicant replied there are no setbacks but the minimum distance between building envelopes is fourteen (14) feet. Chair Fox asked the Applicant to confirm the house designs proposed do not fill the building envelopes left to right. The Applicant concurred.

- 3. Design Details.** *The applicant shall prepare a detailed description of design details to be implemented in the proposed planned development, to be presented in a Pattern Book.*

Chair Fox stated the Applicant has provided three (3) elevation plans giving some direction as to the look of this development. Mr. Rotondo also built Hartland Estates, a neighboring development to the east. The quality of that development speaks to what is being proposed here.

#### **4. Minimum Yard Requirements.**

Chair Fox stated the following:

- Setback from Hacker Road is 125 feet exceeding the standard of 50 feet.
- Along the perimeter the standard is 40 feet; proposed is 50.4 feet (east) 41.0 feet (north) 44.3 feet (south).
- Along an internal collector or local road 40 feet is required; 23.5 feet is the proposed setback from private road as measured to closest point of unit envelope

Commissioner Murphy asked the Applicant if any elements can exceed the building envelope. The Applicant stated the driveway, and sidewalks only. Commissioner Murphy asked if any elevated building materials could extend outside of the envelope. The Applicant stated if it is a deck or any other part of the house, it cannot extend outside of the building envelope.

Commissioner Murphy asked if there is enough room to walk around an average sized or larger vehicle parked in the driveway without covering the sidewalk. The Applicant stated they believe there is enough room.

Commissioner Murphy asked if sidewalks are planned for both sides of the street. The Applicant affirmed they are.

#### **5. Distances Between Buildings.** *Spacing requirements for buildings in a planned development are outlined in Section 3.1.18.C.vi.b. Any detached single-family structure shall be located at least thirty (30) feet from any other detached single-family structure and shall provide a minimum side yard of fifteen (15) feet on both sides.*

The Planning Commission briefly discussed the possibility of two houses being 14 feet apart if pushed to the extreme edges of the envelopes.

#### **6. Building Height.** *No building in a planned development shall be greater than thirty-five (35) feet in height.*

Chair Fox stated with two-stories they will meet the height limitation.

#### **7. Landscaping.**

Chair Fox stated the Landscaping would be discussed in depth later in the meeting.

#### **8. Open Space.** *Open space shall be provided to complement and accentuate the high-quality design of the proposed planned development. At minimum the planned development shall provide open space consistent with the previous zoning designation for the site.*

Director Langer stated the following:

- Two separate Ordinances apply:
  - Section 3.1.18.C.vi.f. CA Conservation Agriculture requires 85% but is more for traditional developments
  - Section 3.15 Residential Condominium Developments requires 25% with 10% usable open space
  - Proposed is 42% open space and 15.3% usable open space.

- 9. Natural Features.** *Consistent with the stated intentions for creation of these regulation, the preservation of the natural features of the Township are an important planning consideration. A PD proposal must consider the natural topography and geologic features, scenic vistas, trees and other vegetation and natural drainage patterns that exist on the site and propose a development pattern which preserves and avoids disruption of those natural features as much as possible.*

Director Langer stated the following:

- Two types of wetlands present on the site: regulated and nonregulated.
- Only the Michigan Department of Environment, Great Lakes and Energy (EGLE) can determine if a wetland is regulated or nonregulated.
- Several are present on the site.
- Applicant intends to fill some and not others.
- Off-site wetland in the vicinity of the connection road would be partially filled.
- Tree Inventory indicates the Applicant intends to keep some existing trees on the exterior portions of the site as part of the required screening as well as others throughout the site.

Commissioner LaRose expressed concern with proposed walkouts in the vicinity of wetlands.

- 10. Sidewalks and Pedestrian Access.** *The applicant must demonstrate the PD site and all uses within the site will be connected to any existing pedestrian and nonmotorized vehicle paths and trails within a public right-of-way or easement open to the public.*

Chair Fox stated a five-foot-wide sidewalk is shown on both sides of the street and a sidewalk on the north side of the future road will connect Walnut Ridge Estates and The Villas of Hartland.

#### **Requirements for Preliminary Review (Section 3.1.18.E.ii)**

**1. Stormwater and Drainage Systems.**

Commissioner LaRose expressed the following concerns:

- Wetland areas could cause potential flooding.
- Drainage between the homes.
- Wetland across Hacker Road.
- One retention basin soil boring started at 14.5 feet, what kind of soils were present in those 14.5 feet, only the last 1.5 feet was sandy soils. Unsure if the retention basin will work as designed. Needs more review.

- Not opposed to the development but not yet comfortable with the information and reviews provided.
- Potential impact of water downstream, it appears the pond does not have much room for additional water.

The Applicant stated the reason they proposed a retention basin rather than a detention basin was specifically to avoid any downstream impacts. The basin is designed in accordance with Livingston County Drain Commission specifications. It holds a 100-year storm, has an excess of three feet of freeboard and will hold at least two 100-year storms prior to any potential failure occurring. The soils are clay on top with sand underneath. All the way to the east to Hartland Estates there is sand underneath the clay. The soil borings confirm an extensive layer of sand capable of handling the run-off. Additionally, the Drain Commissioner now requires they create an infiltration chamber system at the bottom of the basin in the sand so even if the native sands at the bottom of the basin begin to plug off, the retention basin does not fail from an infiltration standpoint, the basin will continue to function.

Director Langer asked the Applicant about the overflow or outlet on the site plan towards Hacker Road and how that might work. The Applicant replied that is a requirement of the Livingston County Drain Code for any stormwater management system, retention or detention basin, you are required to provide an emergency overflow that would function should it ever need to. Normally in a detention basin situation, there is a significant possibility they could be put into use as detention basins do not have infiltration capability, that is why they have an outlet. They are designed to handle one 100-year storm. This retention basin is designed to handle one 100-year storm only to the high level and then there is over another three feet of storage for a second 100-year storm event. With the infiltration chamber system in the bottom, this system is anticipated never to use the required emergency overflow.

**2. Fiscal Impacts.**

Chair Fox stated the following:

- The Applicant stated the proposed development will bring revenue to the Township via taxes which will also benefit the school district.
- Schools will not be impacted much as it is intended for residents 55 and older.
- As some local residents relocate to this development, other housing will become available also increasing the tax base.

**3. Other.**

**Internal Vehicular Circulation**

Director Langer stated the following:

- Difficult to talk about The Villas without Walnut Ridge Estates
- Walnut Estates is required to have a secondary access due to the number of units.
- Two options were given: an emergency access that would connect to the church in case the main road was blocked, or a connection to the west.
- Two units were reserved for the access; whichever one was used, the other could be converted into another site for a home.



- Timetable in place of six years, if the property was not developed in that time frame, then the site could be used as a home site and the church option would be used.
- Same is true with The Villas; they also need a secondary access.
- Connection will serve both.
- The connection would also serve as a way for Walnut Ridge residents to make a safe left turn onto M-59 during peak traffic using the newly installed signal at Hacker Road.
- Roads for The Villas were designed for traffic calming to reduce speeding.
- Developer for The Villas is proposing a gated community.
- Will open automatically for any vehicle, if there was a loss of power, the gates can be manually opened.
- If gate system were one that would not allow traffic to flow through, consideration should be given to a secondary access for The Villas. The developer chose one that does allow all traffic to pass through.
- Comprehensive Plan states it is best for the community to have interconnectivity between neighborhoods to create better access for emergency vehicles, school buses, and mail carriers.
- Having interconnectivity is generally thought to reduce conflict points with major roadways such as M-59.
- Encourages walkability between subdivisions.
- Gates will act as a speed reducing device but also accomplish interconnectivity.

Char Fox added the following:

- Served on the Planning Commission during the review of Walnut Ridge Estates and can provide some history and context for the connection decision.
- Concept of the connecting road is Walnut Ridge is the benefactor from the traffic safety standpoint.
- Unlikely Villas residents would travel east through Walnut Ridge, other than possible church attendance.
- Safe alternative for teen drivers traveling back to the school complex during peak traffic times on M-59.
- Not stating a position, just sharing information.

#### **Landscaping (Section 5.11)**

##### **A. Landscaping of Divider Medians (Sec. 5.11.2.A.vii.)**

Chair Fox asked if a crossover should be added like Hartland Estates to allow vehicles to turn around and not enter the gate area. The Applicant stated the Hartland Estates gate was originally not intended to open for all vehicles, so the crossover was needed to exit the gate entry area. School buses were not intended to enter the community, so the turnaround had to be large enough to accommodate a school bus. That situation is not present in The Villas of Hartland as the gates are an aesthetic amenity and will open for all vehicles.

##### **B. Greenbelt Landscaping (Sec. 5.11.2.C.i.)**

Commissioner Grissim offered the following comments:

- Hacker Road north of the entrance is an approximate 20-foot-wide gravel road cradled on either side by large mature Hickory and Oak trees which is a huge traffic calming feature.

- Understands the desire to pave the road per Livingston County requirements but now it will be 35 feet wide with acceleration/deceleration lanes making it 47 feet wide in places.
- Due to the water main and utilities, the trees are pushed back to 50 feet making it feel like a highway.
- Going to increase speed, not be as safe, and will not have the feel it has today.
- Would like to see the shade trees as close to the road as they can to minimize the impact and bring back the character that is there today.

C. Canopy trees along Internal Roadways (Sec. 5.11.2.C.ii.)

Commissioner Grissim stated the following:

- Visited both Walnut Ridge and Hartland Estates.
- Ordinance requests street trees be within 15 feet of the edge of the road for the same reason, a traffic calming device and to create the street environment.
- Applicant stated they cannot plant trees over the utilities in the right of way. [ Photos of Walnut Ridge and Hartland Estates were compared]
- Areas with the trees in the right of way create a much better feel to the road; trees farther back feel like a highway and can encourage traffic to go faster.
- It can be done. Really pushing for those trees to be with 15 feet of the road.

The Applicant stated the following:

- It is the developer's desire to plant the trees between the sidewalk and the edge of the road; unfortunately, the Township Engineering Standards do not allow trees in the public utility easements.
- Caught between the Zoning Ordinance and the Township Engineering Standards.
- Open to do whatever the Planning Commission decides but cannot satisfy all parties involved.

Chair Fox asked what occurs in other communities.

The Applicant stated often sewer is under the pavement, but Hartland does not favor that placement of sanitary sewer. Placement is preferred back of curb, same with water main. Or there are communities that do not restrict the placement of trees within public utilities. There is lots of variability.

Director Langer commented they spoke with the Public Works Director who restated they do not prefer to have trees planted over water or sewer mains, but he did review the depth of the utilities and is willing to work with the Applicant and the Planning Commission to find a place for the trees.

Commissioner Mitchell stated he agrees with Commissioner Grissim and prefers the trees in between the sidewalk and the edge of the road, it is much more pleasant; he hopes they can work with Public Works to find an appropriate location.

Commissioner Murphy stated he too agrees with Commissioner Grissim and appreciates her comments. Whether it is the entrance to Hacker Road or the internal roadway, he agrees with both Commissioners Grissim and Mitchell.

Commissioner LaRose stated the following:

- Opposed to putting trees over the infrastructure.
- More costly to repair.
- People get very attached to trees and object when they are removed for a repair.
- Reason is root systems can cause damage those utilities.
- Her preference would be to avoid the utilities.

Commissioner Grissim disagreed responding with the following:

- Utilities are down quite deep.
- Root systems typically stay within the top three feet; utilities are down about five feet.
- Has not found it to be that expensive to remove a tree to do a repair and it does not happen very often.
- In many different developments there is an understanding if there is a problem, it is a non-issue with the developments she has been involved with.
- Would like to push the same issue along Hacker Road to keep the character.

Bob West, Township Manager commented the following:

- Familiar with Hartland Township Public Works.
- Positioning not only for the water main and sewer main but also for the private infrastructure. Tree roots can grow and damage sidewalks which can cause an issue with replacement and the homeowner.
- Where there is curb and gutter, those can be impacted.
- Root system may not be deep, but the edge drain is also not deep.
- Public Works will work with the Planning Commission and the Applicant but that is the recommendation.

The Planning Commission briefly discussed other communities that have street trees close to the road.

Commissioner McMullen agreed with Commissioner Grissim, she likes the look and has not seen too many issues with street trees and utilities.

Commissioner Murphy asked if items could be adjusted, utilities, sidewalk, to find a compromise, maybe trees that are slower growing with different root structure, to satisfy both departments.

Commissioner Grissim replied there are tree varieties that have more compatible root structures than others. She also commented the distance between the sidewalk and edge of road is ten feet which is much larger than some; usually five feet. Yes, different trees can be utilized, and elements can be moved around.

Chair Fox summarized saying he is hearing the Planning Commission would like to see the trees closer to the street between the sidewalk and the road, there could be a possible tree selection that would minimize impact to utilities and sidewalks.

D. Buffering or Screening (Sec. 5.11.2.G.i.)

Commissioner Grissim stated she believes the screening on the north and south with the existing trees remaining and the supplemental trees as shown should be adequate. The way the retention area is laid out, it should meet the Ordinance.

**Street Lighting**

Director Langer asked if the concerns about light trespass to the west are addressed in the Site Plan. Commission Grissim stated yes, there is a long distance, there are only two pole lights near the entrance, the rest are from the residences. She does not feel there will be light trespass; there are no streets lights in this development.

**Architecture/Building Materials (Sec. 5.24)**

Chair Fox stated according to the renderings submitted they look similar to what we have seen before; they seem to be very high quality and nice-looking units. The Planning Commission agreed.

Chair Fox asked if the Applicant had any comments on the consulting review letters. The Applicant had none.

Director Langer stated there is a lot to take in and appreciated participants' patience as well as all the comments shared and submitted. Hopefully, the Township and the Applicant can ultimately reach something that is good for the community.

Chair Fox agreed. He feels they need to send the Applicant back to do a few things.

The Planning Commission briefly discussed the proposed distance from the edge of the right of way to the building envelope. The Planning Commission is satisfied with the distance shown.

Commissioner McMullen stated the following:

- She has a problem with the gates; it is not truly a gated community.
- Gate is not a welcoming factor.
- Perception of not being inclusive to the community.
- Promotes a lack of diversity.
- She does not think that people move to Hartland to be in a gated area, sectioned off from the community.

Commissioner Mitchell stated the following:

- Was not originally in favor of the gates but feels better about them after this discussion.
- Not coded.
- Will visually discourage through traffic.
- Not a safety issue.

Commissioner LaRose restated her concerns about Landscaping that can hopefully be worked out. Also, she would like to see a more detailed review of the stormwater design by Livingston County Drain Commission. She felt the Engineering review was vague and she would like to see a more in-depth review. It can be a pretty substantial change if something has to be redesigned following a drainage review.

Chair Fox stated he is not prepared to make a recommendation to the Board tonight. He asked if the Planning Commission is comfortable asking the Applicant to do some of the things requested, Landscaping modification, drainage review.

Commissioner Mitchell stated he would like to see an updated Landscaping Plan showing the trees closer to the road as Commission Grissim has requested.

Commissioner LaRose stated she appreciates the people who spoke this evening about traffic and safety, she has children too and understands their comments. Nevertheless, she feels the connection road is a strong benefit and will be safer from a travel perspective as kids are learning to drive. The design does promote driving slower.

Commissioner Grissim agreed with Commissioner LaRose and the Planning Director. She grew up in a development where the streets were connected, and it still felt like a neighborhood. One of the community goals is to have a walkable and driving network. She wants to encourage the connection.

Commissioner Murphy stated he also agrees. He too was a Planning Commissioner when Walnut Ridge Estates was going through the approval process and recalls the discussion of the connector road being a benefit for those in Walnut Ridge trying to make a left turn during peak traffic, especially for newer drivers. It is a plus for safety. Also, as Commissioner Grissim mentioned, the neighborhood aspect. He feels Commission Grissim painted a good picture of how to use Landscaping to close in the open area of the entrance somewhat. He also would like to see what can be done to get the street trees between the sidewalk and the edge of the road as recommended by Commissioner Grissim.

Director Langer stated since we have asked the Applicant to make some modifications, he would ask the Planning Commissioners to listen to the Public Comment later tonight. Maybe some of the residents did not know the history of the connection road and maybe some will have a rebuttal. He would ask that they keep an open mind. It is a very important topic and worth taking some time to think about.

Commissioner Mitchell stated it should be pointed out that construction traffic will not be passing through Walnut Ridge.

The Applicant stated he had no further comments other than he would appreciate direction from the Planning Commission. There are a number of issues the easiest being placing the street trees on the other side of the sidewalk. Regarding the connection, they need some direction, or they can move forward.

Commissioner Mitchell clarified he is only in favor of the access if it has the electric gates that open up, it should not be a wide-open access.

Chair Fox asked if the Applicant needed any additional clarification. The Applicant stated he understands the Planning Commission position on the access and the rest of the comments they can work through.

Chair Fox stated this item will return to the Planning Commission at a later date, the difference being tonight was a Public Hearing that requires noticing property owners within 300 feet of the proposed project. The next meeting will not be a Public Hearing so there will not be a written notification. Interested residents can access the Hartland Township website and view upcoming agenda items. It will appear as Site Plan Application #20-011 Villas of Hartland

Planned Development (PD) – Preliminary Site Plan. Today was different as it was a Public Hearing. It will take much longer than a week or two to return.

The Planning Commission chose not to make a recommendation on Preliminary Planned Development.

**8. Call to Public:**

- Joe Napieralski, Walnut View Drive, Hartland Township; appreciated the history, still strongly opposed to the annex. Will follow up with the Homeowners and additional communications. Does not agree with the traffic benefit going all the way down to Hacker Road to make a left turn.
- Henry Nykiel, N Hacker Road, Oceola Township; still very concerned about water running over the road. He believes that eventually the water will reach the overflow. When filling wetlands, the water has to go somewhere. Concerned about the pond. Could be an issue in the future.

**9. Planner's Report:**

None

**10. Committee Reports:**

None

**11. Adjournment:**

**A Motion to adjourn was made by Commissioner Mitchell and seconded by Commissioner Murphy. Motion carried unanimously. The meeting was adjourned at approximately 9:50 p.m.**

**Submitted by,**



**Keith Voight,  
Planning Commission Secretary**

# HARTLAND TOWNSHIP PLANNING COMMISSION APPROVED MEETING MINUTES

May 26, 2022– 7:00 PM

---

1. **Call to Order:** Chair Fox called the meeting to order at 7:00 p.m.
2. **Pledge of Allegiance:**
3. **Roll Call and Recognition of Visitors:**  
Present – Commissioners Fox, Grissim, LaRose, Mayer, McMullen, Mitchell, Murphy  
Absent – None
4. **Approval of the Meeting Agenda:**  
A Motion to approve the May 26, 2022 Planning Commission Meeting Agenda was made by Commissioner Mitchell and seconded by Commissioner Grissim. Motion carried unanimously.
5. **Approval of Meeting Minutes:**
  - a. Planning Commission Meeting Minutes of April 14, 2022  
A Motion to approve the Meeting Minutes of April 14, 2022 was made by Commissioner Grissim and seconded by Commissioner Murphy. Motion carried unanimously.
6. **Call to the Public:**  
None
7. **Public Hearing:**
  - a. **Site Plan Application #20-011 Villas of Hartland Planned Development (PD) – REVISED Preliminary Site Plan (PD)** – a request for Preliminary Planned Development Site Plan approval for a fifty-seven (57) unit single-family residential site condominium planned development, to be completed in two (2) phases.

**Chair Fox opened the Public Hearing at 7:03 PM stating all public notice requirements for the Public Hearing have been met.**

Director Langer gave an overview of the location and scope of the request stating the following:

- Located east of Hacker Road, north of Highland Road (M-59), and west of the single-family, residential planned development commonly known as Walnut Ridge Estates (Planned Development), and Grumlaw Church (8457 Highland Road).
- Explained the three-step process for a Planned Development (PD); Conceptual, Preliminary, Final. All are heard before both the Planning Commission which makes a recommendation, and the Township Board which makes the final decision.
- In 2019, the Applicant submitted a Concept Plan and in 2020 a Preliminary Plan which did not progress primarily due to the considerable concerns with the connection to Walnut Ridge.
- The Applicant has revised the Preliminary Plan, relocated the secondary access, and this is the review of that submission.
- As the plan was changed, a second Public Hearing is being held to allow residents to participate in the process.

- Changes include requesting 57 units instead of 55, and a secondary emergency access to Hacker Road rather than connecting to Walnut Ridge.

Wayne Perry, Desine Inc., representing the Applicant Joe Rotundo, introduced himself and stated the following:

- Connection to the east was unsuccessful.
- Reconfigured the road by adding a cul-de-sac and secondary access to Hacker Road.
- Revised the stormwater management to accommodate the new design.
- Utility connections to the east are similar but modified to accommodate the new road configuration.
- Proposed entrance is the same.

**Call to the Public:**

Henry Nykiel, N Hacker Road, Oceola Township; concerned this project will impact wetlands and his pond; requests removal of drainage pipe. Feels the developer must be responsible for any negative effects caused by water runoff.

Steven Cotter, N Hacker Road, Oceola Township; has concerns about the impact of this development on his property value and enjoyment of his property, construction noise, increased traffic, light pollution, vehicle lights shining into his windows, runoff into his pond and wetlands. He requested the Planning Commission require a buffer with a berm and evergreens; consider requiring the developer to pave Hacker Road farther to the north to the edge of the property to give people along the road some benefit from the project.

Jim Jablonski, N Hacker Road, Oceola Township; expressed concerns about runoff negatively impacting existing wetlands and ponds; concerned about the design of the retention pond and the culvert, believes the water flows east to west and could flood his home and yard; does not feel there are enough outstanding attributes to award the density bonus.

Mike Foley, N Hacker Road, Hartland Township; concerned about density, wildlife, privacy, light pollution, construction noise, regular noise, traffic, Section 8 housing and crime. Would like higher berms, fencing, lower density, a pet waste remediation process, a Home Owners Association (HOA), controlled lighting, and provide entrance or exit onto a road other than Hacker.

William J. Bamber, E Clyde Road, Oceola Township; concerned about water leaving the site, Hacker Road paving, lights from cars exiting the site shining across the road and requested extra screening.

James Quigley, Hacker Road, Hartland Township; expressed concerns about increased vehicle traffic, noise, feels this development is not needed.

**Chair Fox closed the Public Hearing at 7:35 PM**



**Requirements for Preliminary Review (Section 3.1.18.E.ii)  
Stormwater and Drainage Systems.**

Director Langer stated the following:

- Stormwater calculations are not typically required at this point in the review; generally, that review happens during the construction phase.
- System is required to meet certain standards; designed to manage two one-hundred year flood events.
- Applicant's engineer has stated they believe the design can meet that standard.
- Township Engineer will review at the construction phase.

Commissioner LaRose expressed concern about the following:

- Requesting bonus density and should offer more recognizable benefits.
- Would like the Impact Assessment to look farther downstream to address where the water would go in an overflow event, current drainage pattern versus future, impact on the pond to the west.
- Understands concerns of the residents.
- Would like to see a soil boring within the proposed detention area.

The Applicant stated the following in response:

- Existing topography shows the property currently drains to the west, under the road, into the pond on the west side of Hacker Road.
- Proposal is not to construct a detention basin, but to construct a retention basin; a retention basin has no outlet, LCDC requirements for this site state it must manage the entire runoff of a two-inch rainfall event and infiltrate it 100% into the ground.
- Typical detention basin requirements are to temporarily hold back water, infiltrate some of that water but most often not, discharge the stormwater downstream onto the neighboring property.
- This basin is a 100% retention basin and does not discharge anything. All of the stormwater from this development, fully developed, infiltrates into the ground.
- Contrary to the previous discussion, the soil boring has been done, they did not have clay, through the clay there is a lot of sand below. This is a very sandy substrate on the bottom, there will be a filtration gallery in the bottom to ensure proper filtration.
- LCDC has also required three feet of additional free-board, additional capacity if it is needed for some larger storm event.
- On top of that, they went even further and added capacity for two back to back 100-year storm events without discharging anything from the property. It all infiltrates into the ground.
- There is zero runoff going toward Hacker Road. Currently, all of the runoff goes toward Hacker Road.
- The emergency overland overflow pipe is a requirement of Livingston County and EGLE. Every stormwater management system in Livingston County, regardless of what it is, is required to provide an emergency overflow. With two 100-year storm event capacity it will never be used, and he, being an engineer, does not say "never" very often.
- This retention pond is so far over designed it exceeds the requirements of both the Township and the County by a factor of two.

Chair Fox stated all projects approved in Hartland must comply with any requirements of the Township Engineering Consultant, Department of Public Works Director, Hartland Deerfield Fire

Authority, and all other government agencies, as applicable. If the Township approves a project and it cannot meet the requirements of all of those and other government agencies, it will not happen. The design engineer, the Township Engineer, the County will have to work out any issues prior to construction.

The Applicant stated all of those calculations have been provided in the submitted site plan; they have not been reviewed as it is not the Township Engineer's policy to review drainage calculations at this level of the review process, but they have been provided.

Chair Fox explained the reason the review is not required at this level is it would be a tremendous burden to place on any developer to ask that they cover the expense of such a review before they even know if they have a project.

Commissioner LaRose stated she thinks she has been told she is wrong, but she still has concerns and still feels the project does not meet the requirements for the bonus density.

Commissioner Grissim asked about the list of recognizable benefits; one had to be removed as the connection to the east for vehicles or pedestrians did not happen. She is not seeing items that are recognizable benefits to the community. There are many waivers being requested.

Chair Fox suggested the Planning Commission complete the review of what is there and discuss the 57 units at the end.

### **Internal Vehicular Circulation**

Director Langer gave an overview of the plan stating the following:

- Pavement of Hacker Road would be extended from the southern property boundary just north of the entrance to the development.
- There is an island and gates are proposed.
- Previously when gates were discussed, they were planned to have an electronic eye system and would automatically open to any approaching vehicle. In the event of a power failure, the gates could be manually opened.
- Inside there are two cul-de-sacs with sidewalks on both sides.
- Fire Department is requesting a key system for the emergency access gates.

### **Landscaping**

The Planning Commission discussed the following regarding Landscaping:

- Divider median has a variety of elements but there is room for 3 trees to be added before the gates, the rest can be lawn.
- Try to stay as close to the Ordinance as possible.
- When paved with acceleration and deceleration lanes, per the County, strongly recommend keeping as many of the existing trees as possible to calm traffic on Hacker Road and provide the country feel; if the trees are too far away from the road it will feel like a highway.
- Keep the screening on the site.
- Trees cannot be planted in the right-of-way, but they can be retained if existing.

- Right-of-way is approximately forty feet with the water main located within eight to ten feet from the edge.
- Internally the street trees are shown outside the right-of-way near the homes due to the location of the utilities, but the distance between the road and the trees is too great.
- May be possible to plant certain type of tree with a particular root system that could be planted closer to the utilities.
- Concern was expressed that street trees would not be planted until each house is constructed and it would be a challenge to monitor compliance.
- Applicant will put the required trees wherever the Township desires but the Township Street Tree Ordinance requirement conflicts with the Township Design Standards for utilities.

Director Langer suggested to add the street trees as a condition with the caveat the DPW accepts the location.

- Screening works along the property line.
- Additional screening for vehicular lights as a recognizable benefit.
- Trees to remain should be identified and shown on the plans.
- Paving the road to the northern property line would cause several of the existing trees to be removed affecting the character of the road more than is currently proposed.

### **Street Lighting**

Chair Fox confirmed there are a couple of decorative light fixtures at the entrance which are not fully shielded but that is not a requirement for residential developments.

The Applicant stated they are downward directed with LED lighting which allows for directional design.

### **Other**

Commissioner Murphy asked about a walkway connected to the development to the east. The Applicant stated there is no pedestrian connection; the lot was used for a building site by Walnut Ridge. The only connection is the two utility easements which are within the setbacks.

Commission McMullen stated she has a problem with the gates; she feels they are exclusionary.

Commissioner Mitchell confirmed that the gates open automatically to any vehicle, so he does not have a problem with the gates. They are a device to slow traffic.

Commissioner Murphy asked if they would stay open during busy times, and he has concerns about the maintenance.

The Planning Commission briefly discussed gates in other developments and if they stay open.

Director Langer pointed out one unit that did not meet the front setback, unit 15 on the cul-de-sac is twelve (12) feet in the front; usually it is 25 feet. The driveway is long enough it is just the way the unit intersects with the configuration of the cul-de-sac. The Planning Commission has the ability to accept this as it is a PD.

### **Density**

Commissioner Mitchell stated Fiddler Grove is about the same density, they have approved others with a higher density, this is a rural area, he has no problem with the requested density.

Commissioner LaRose stated she does not see the required amenities to warrant giving the density bonus.

Director Langer explained the density bonus option for Planned Developments.

- Future Land Use Map determines the underlying density for a PD; 49 units would be allowed by right, 69 would be allowed with the bonus density, 57 is in between.
- Planning Commission may award a 40% density bonus if the developer offers amenities.
- Amenities proposed include increased open space, 40% rather than 25%; possible screening on the other side of Hacker Road which was mentioned but not agreed to.

Commissioner Murphy stated he does not have a problem with the density. He likes that it is not as dense as Fiddler Grove. Appreciates the sidewalks on both sides of the road.

Chair Fox stated he does not have a problem with the density, there is market for this product. It is good to offer a variety of housing in the community, smaller homes provide an opportunity for existing residents to downsize and remain in the community allowing younger families to move in which helps the schools and keeps the community vibrant. The density is within the realm of other successful projects such as Fiddler Grove. This is just a different type of housing.

Commissioner Grissim stated the following about recognizable benefits:

- Open space, when joined with others, create corridors that support wildlife.
- Low to no maintenance community could be viewed as a benefit when there is a need for that product in the community, but it is also a selling attribute.
- Water and sewer extension is required for the project and not really a recognizable benefit to the community.
- What do we look for as a recognizable benefit for the community? How do we judge?

Commissioner McMullen reiterated she is not comfortable with the higher density.

Director Langer suggested the Planning Commission ask the Applicant if they are willing to add another recognizable benefit or change something that might change the mind of a Planning Commissioner.

The Planning Commission, Applicant and a member of the public discussed light from cars entering or leaving and the actual location of the property in question.

The Applicant agreed to add a second row of trees for screening on the western curve of the proposed Pastir Lane.

Commissioner Mayer asked about the soil balancing on the site and the height of the berm along Hacker Road.

The Applicant replied the site balances completely. The berm at the entrance is approximately four feet; near the retention pond, it is three feet.

Chair Fox suggested the extra screening might be better utilized in the area near the wetland. Trees on the development property is better than having them on the neighbor's property.

Commissioner Mayer asked about the proposed landscaping in between the rear of the units.

The Applicant stated those areas are lawn and usable open space.

Director Langer asked the Planning Commission to keep in mind the houses may not be precisely as shown on the site plan but would be within the building envelopes.

Commissioner Mayer stated the list of recognizable benefits to the community is not impressive. If the Applicant is willing to add the second row of evergreen for additional screening; and, as another benefit, add a variety of trees in the common area, those would be beneficial. The high density is to each his own; some people prefer the higher density and less maintenance.

The Applicant stated they would gladly add a variety of trees in the park area and a second row of pine trees for screening.

Commissioner Mayer stated he thinks that would make the neighbors happier. If the water retention is approved by the engineers and governing agencies as stated, no stormwater is going to leave the retention basin based on it holding two 100-year flood events, and there would be no overflow onto neighboring properties, he could support this project. He was concerned initially that the neighbors would experience flooding; they may even end up in a situation where that pond runs dry. He is not an engineer, but they get a lot of water from that area. If they are willing to add the screening and trees in the common area he will agree to the higher density.

Chair Fox stated they are going to have to meet or exceed the standards. The Applicant stated they do.

The Applicant stated Commissioner Mayer raised a good point; he does not believe in that area of the Township, with what he knows after developing here for thirty-five years, that they are going to run out of water in the existing pond. It sits low enough that he is not worried about it in this location. He does not believe the pond is surface-fed but spring-fed. They will not have an issue of running out of water and this project will eliminate all of the current run-off from this site.

[A brief discussion about the County required drainage pipe occurred between the Applicant and members of the public.]

Chair Fox stated they have to meet or exceed the standards of the Township, and the County; the Township has an engineer, the Applicant has engineers, the County has many engineers. If it does not meet or exceed the standards, it will not happen. It is that simple. He continued the property is listed on the Future Land Use Map for something like this; many do not know the difference between current Zoning and Future Land Use Categories. They are not asking for anything out of the ordinary of what could be. It has been that way for a long time.

Commissioner Mitchell answered an earlier question about Section 8 low income housing by stating the following:

- Average square footage of the single-story houses is 1800 square feet.
- Two-story is 2100 square feet.
- Will be using luxury materials.
- By that you can imagine that would leave out low income type of housing.
- He does not have a concern in that area.

Commissioner Mitchell asked about the traffic calculation.

The Applicant stated for a single-family development, it is approximately ten trips per day per household. There are 57 units planned.

Chair Fox suggested the Planning Commissioners think of a neighborhood they have lived in and image the traffic.

**Commissioner Mitchell offered the following Motion:**

**Move to recommend approval of Site Plan Application #20-011, the Preliminary Planned Development Site Plan for the Villas of Hartland, subject to the following:**

- 1. The Preliminary Planned Development Site Plan for the Villas of Hartland, SP #20-011, is subject to the approval of the Township Board.**
- 2. Waiver request for substitution of evergreen trees for 50% of the required canopy trees in the greenbelt area (Hacker Road), is approved.**
- 3. Waiver request to plant street trees within the Unit Envelope, behind the 12-foot-wide public utility easement, is approved.**
- 4. Waiver request to use existing deciduous and evergreen trees, in combination with new trees, along the north and south boundaries of the site, to fulfill the screening and buffering requirements of the Ordinance, is approved.**
- 5. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated May 19, 2022, on the Construction Plan set, subject to an administrative review by Planning staff prior to the issuance of a land use permit.**
- 6. Applicant complies with any requirements of the Township Engineering Consultant, Department of Public Works Director, Hartland Deerfield Fire Authority, and all other government agencies, as applicable.**

**Seconded by Commissioner Murphy. The Seconder proposed the following conditions:**

- 7. The applicant shall install a second row of evergreen trees along Hacker Road between the existing wetland and Hacker Road, to act as a screen.**

8. **The applicant shall install a variety of trees in the open space area south of Pastir Lane and north of Morelli Court.**
9. **The applicant shall identify existing trees along Hacker Road that can be saved and shall make attempts to save those existing trees.**

**The Maker and Seconder agreed.**

<b>RESULT:</b>	<b>RECOMMENDED APPROVAL</b>
<b>MOVER:</b>	<b>Commissioner Mitchell</b>
<b>SECONDER:</b>	<b>Commissioner Murphy</b>
<b>AYES:</b>	<b>Commissioners Fox, Grissim, Mayer, Mitchell, Murphy</b>
<b>NAYS:</b>	<b>Commissioners LaRose, McMullen</b>

**8. Call to the Public:**

Jim Jablonski, N Hacker Road, Oceola Township; feels the Applicant's dismissal of their stormwater concerns is alarming. The materials contain a letter from Spaulding DeDecker on page 27 that states the ultimate destination for the water is the pond. He also would like the Planning Commission to reconsider what would make the neighbors happy relative to the density; he is here with his neighbors, and no one is happy. Comparing it to Fiddler Grove is not the same thing. It does not belong on Hacker Road. It does not fit.

Henry Nykiel, N Hacker Road, Oceola Township; wants to know if water does leave the property, what can be done. Dams fail all the time, and this is an earthen dam.

Steven Cotter, N Hacker Road, Oceola Township; asked for the four foot berm to be continued to the emergency access, and have the road paved to the emergency access as a benefit since he believes his property value will fall.

Chair Fox thanked the members of the public attending the meeting for taking the time to come and share their views; the Planning Commission does hear the thoughts expressed by the public and those thoughts do have an impact on this and other projects.

**9. Planner Report:**

None

**10. Committee Reports:**

None

**11. Adjournment:**

**A Motion to adjourn was made by Commissioner Grissim and seconded by Commissioner LaRose. Motion carried unanimously. The meeting was adjourned at approximately 9:07 PM.**

HARTLAND TOWNSHIP PLANNING COMMISSION APPROVED MEETING MINUTES  
May 26, 2022 – 7:00 PM

Submitted by,

A handwritten signature in cursive script that reads "Michelle LaRose".

Michelle LaRose  
Planning Commission Secretary



My name is Henry Nykiel and I live within 300 feet of the proposed development I have concerns about this development that need to be addressed by the Hartland Township board and the developer Joe Rotundo.

1. The Zoning master plan has changed from one house on 2 acres which was the housing till now. The change proposes 2.32 houses on one acre what is the reason for the higher density change tax revenue or more profit for the builder this is not consistent with the current neighborhood.
2. Filling in of the wetlands to achieve the 57 home proposal. Wetlands are indispensable and fragile resources that act as filters for the environment plus habitat for the wildlife. I believe that the plan is inconsistent with your Hartland Township 2004 comprehensive plan in the section natural resource conservation and recreation section. There is approximately 1.5 acres of water surface area at unknown depth that will no longer be retained on the property during high water times snowmelt and heavy rain. Which means that less water will be retained because of all the hard surface areas ( roads) that will not allow water to be absorbed into the ground but flow to the retention pond along with roof to gutters to the street. Collecting water along with that whatever contaminants it picks up along the



way (salt, calcium chloride, automotive fluids, fertilizers and other unknown contaminants) that will flow through to the retention pond which in the previous proposal there was a fore bay which would have helped some to catch solids but not anything in solution of which will pass on to my neighbors and my property into a regulated wetlands pond. Now that the fore bay has been removed there is more of an increase chance that contaminants would be leaving the development property. In the 40 plus years our houses have been here we have never had any flooding in our houses there's a potential for this if the water is no longer being retained on the development property. What assurances will be in place in case of this happening is Mr. Retondo going to take out flood or water damage insurance on our homes? If Mr. Rotundo decides not to give Mr. Jablonski or Mr. Nykiel a mutually agreed time based assurance protection from flooding or property damage. Then this letter which is entered into public record notifying Mr Joe Rotundo that he will be personally liable for any damages.

3. Can the culvert be removed from under Hacker Road that joins our property to the planned development how was this authorized and documented? Can water be retained on the development property?
4. The pond is a healthy source of water for the fish mammals reptiles and migratory waterfowl we don't want any foreign contaminants to flow into the pond and change the



ecological balance from its current state. The only way to know what the current state is to have the water tested by a reputable company to get a current baseline before construction starts, and continue being testing during construction and tested for an agreed amount of time after the development is completed and fully occupied. This is the responsibility of Mr. Rotundo to protect the environment from the water runoff from the property that he is developing. Also if contamination should happen then Mr. Rotundo will be personally liable for damages cleanup and remediation of any problem.

5. Traffic since there will be proposed 57 homes develop that means that approximately 114 vehicles plus coming from the villas of Hartland onto hacker Road. This also will affect the flow of traffic with parishioners to and from Saint John's church as well as existing traffic creating even more congestion. Has there been or going to be a traffic study on this new increase access of vehicles onto Hacker Road ?
6. Lighting this is a rural setting and with the subdivision will there be street lights if so they should not be on all night long Grumlaw church has a 10 PM shut down this also should be applied here.

Thank you for consideration and attention I look forward to working with the township on this matter

RECEIVED

MAY 24 2022

HARTLAND TOWNSHIP

## Troy Langer

---

**From:** Jim Jablonski <groovinjim@gmail.com>  
**Sent:** Wednesday, May 25, 2022 4:42 PM  
**To:** Troy Langer  
**Cc:** Robert West; Larry Ciofu; Henry; krecker@livgov.com; wjbamber@oceolatwp.org; whmi@whmi.com  
**Subject:** Reiteration of concerns regarding Villas of Hartland planned development

Dear Mr. Langer,

Thank you for informing me of the public hearing regarding the revised plan for the Villas of Hartland planned development. I reside at 2345 N. Hacker Road. The parcels of property under proposed development are on the eastern border of my property, separated by Hacker Road.

During the public hearing on 11-March-2021, I raised concerns regarding the upsetting of the natural absorption and distribution of stormwater, and the enhanced risk of flooding my property if the planned development is approved. I provided a diagram showing how excess stormwater occasionally flows from the parcels into a twelve-inch culvert running under Hacker Road, into a seasonal creek that naturally splits my property, then makes its way to a private pond behind my house, owned by Henry Nykiel (my neighbor to the north) and me.

The proposed plan calls for the implementation of storm drains to divert water into a retention basin. This retention basin will be directly across the road from my property and adjacent to the culvert I noted above.

I would like to call attention to *Page 146 - "Emergency Overland Overflow"* in the meeting packet. As I understand it, a provision is built into the plan to allow excess stormwater to flow over the retention basin, into the culvert, and onto my property. Essentially, stormwater management Plan B is to flood my yard, the pond in my backyard, and my basement. (To further understand my concerns, please look at the elevations on *Page 150 - Morelli Court Road and Storm Plan and Profile.*)

The above is confirmed in the PD Site Plan Review completed by Spalding DeDecker and contained within the 26-May-2022 meeting packet on Pages 26-29, where (on Page 27) it is clearly stated "*the ultimate outlet of the emergency overflow appears to be an existing body of water located to the west of Hacker Road.*"

Mr. Langer, what "appears to be an existing body of water" is the pond in my backyard and private property. Using it for an emergency stormwater outlet to enable the Villas of Hartland planned development is unacceptable.

It is my personal view that the Hartland Township Planning Commission has a moral if not a legal obligation to look after your neighbors on Hacker Road by not allowing this plan to proceed, given the imminent flooding concerns resulting from the current storm drainage design.

I concluded my comments at the public hearing on 11-March-2021 with an invitation to walk my property to clearly see my concerns. While to date no one from the Planning Commission took me up on the offer, I extend it again at your convenience.

Respectfully submitted,

**Jim Jablonski**

**(248) 376-0599**

May 26, 2022

RECEIVED

MAY 26 2022

HARTLAND TOWNSHIP

Troy Langer  
Planning Director, Hartland Township  
2655 Clark Road  
Hartland, MI. 48353

Dear Mr Langer and the Planning Commission,

My name is Steven Cotter and i live at 2255 N. Hacker Road, directly across the street from the Villas of Hartland planned development. My neighbors and my family are some of the people that will be most affected by this development and I would like to go on the record as being strongly against it, as it is now planned. One of the main reasons I purchased my house in this area was due to the zoning being single-family homes with a minimum of 1+ acres of property and the peace and tranquility that came along with that. I believe this planned development is contrary to the original intent of this area and is very upsetting to me personally.

Additionally, I am against this planned development for these reasons which are very concerning to me:

1. The real and negative impact of our property/home values.
2. The substantially increased amount of traffic to the area.
3. The sheer density of this planned development.
4. The light pollution that will take place due to the street lighting and the number of vehicle lights driving in and out of the development and the fact that my living room and second-story bedrooms are directly across the street.
5. The destruction of one small natural wetland area that are used by water fowl and other wildlife in the area.
6. The negative impact that runoff from this development may have on the natural pond that is behind and adjacent to my house.

Again, I am strongly against this planned development and the many negative affects it will have on my neighbors, myself and the environment for many years to come.

Please see page 2

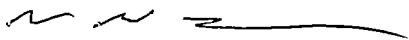
If this planned development is approved, I hope you will have some empathy and consideration for myself and my neighbors who will be enduring the impact of this development. I strongly request and hope you will seriously consider these two changes to the plan:

1. Require a buffer between the planned development and Hacker Road to include a natural/green area with multiple rows of large evergreen trees. This will act as a buffer from the light Pollution and noise that will be generated from this development and intruding into our homes.
2. Require lengthening the paving requirement of N. Hacker Rd. further north. I believe the paving should extend at least to the emergency entrance road, preferably to the end of the development property line. If this change is made the people most impacted by this development and would at least see some benefit.

These two changes would greatly help preserve our quality of life and the peace and tranquility we have enjoyed and had expected to enjoy for many years. These changes would also help offset the negative impact this development will have on our property/home values.

I know part of being on the planning commission is to look out for and help people that are impacted by development and I would like to thank you very much for your time and consideration in this matter.

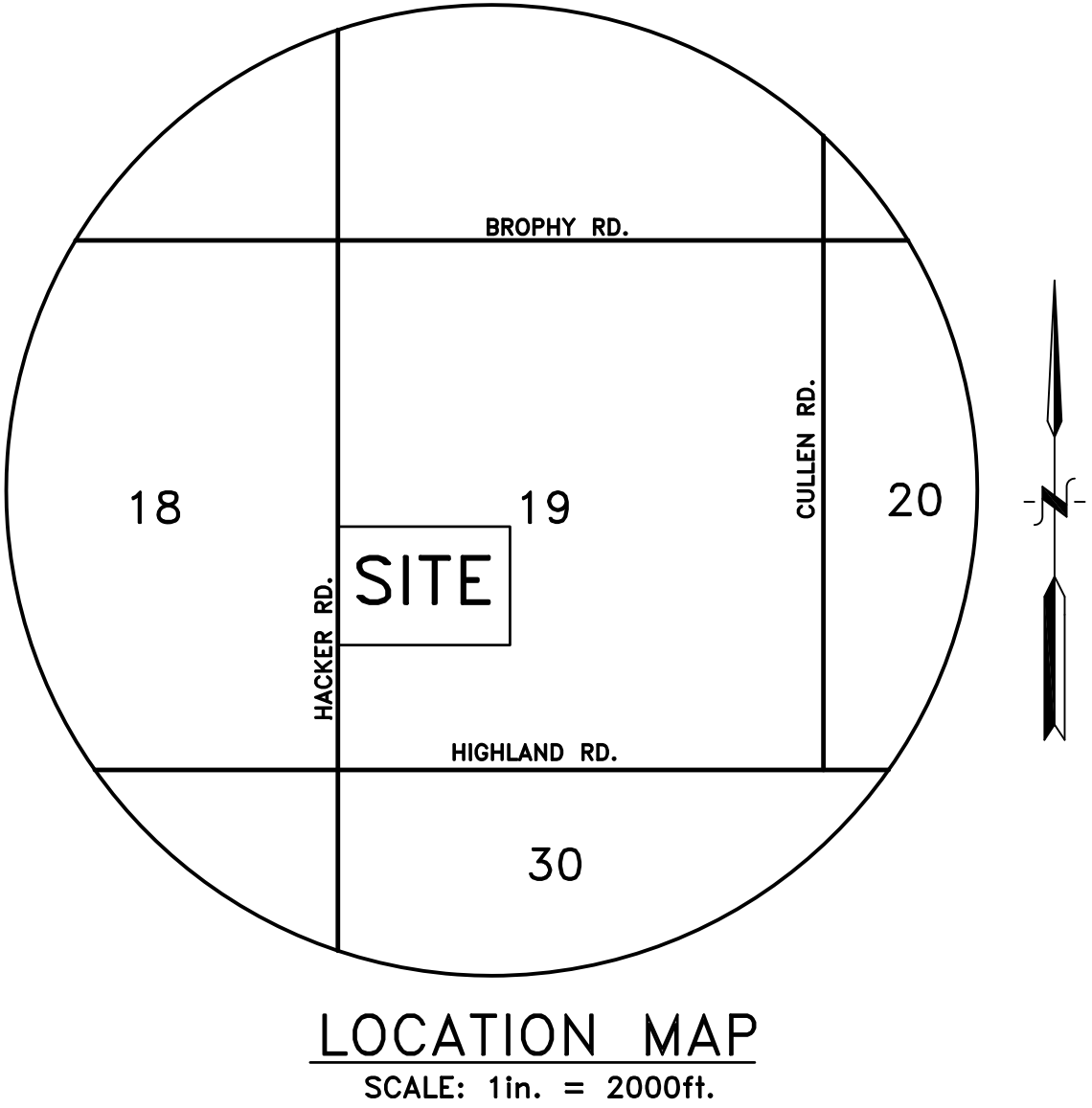
Sincerely,



Steven Cotter

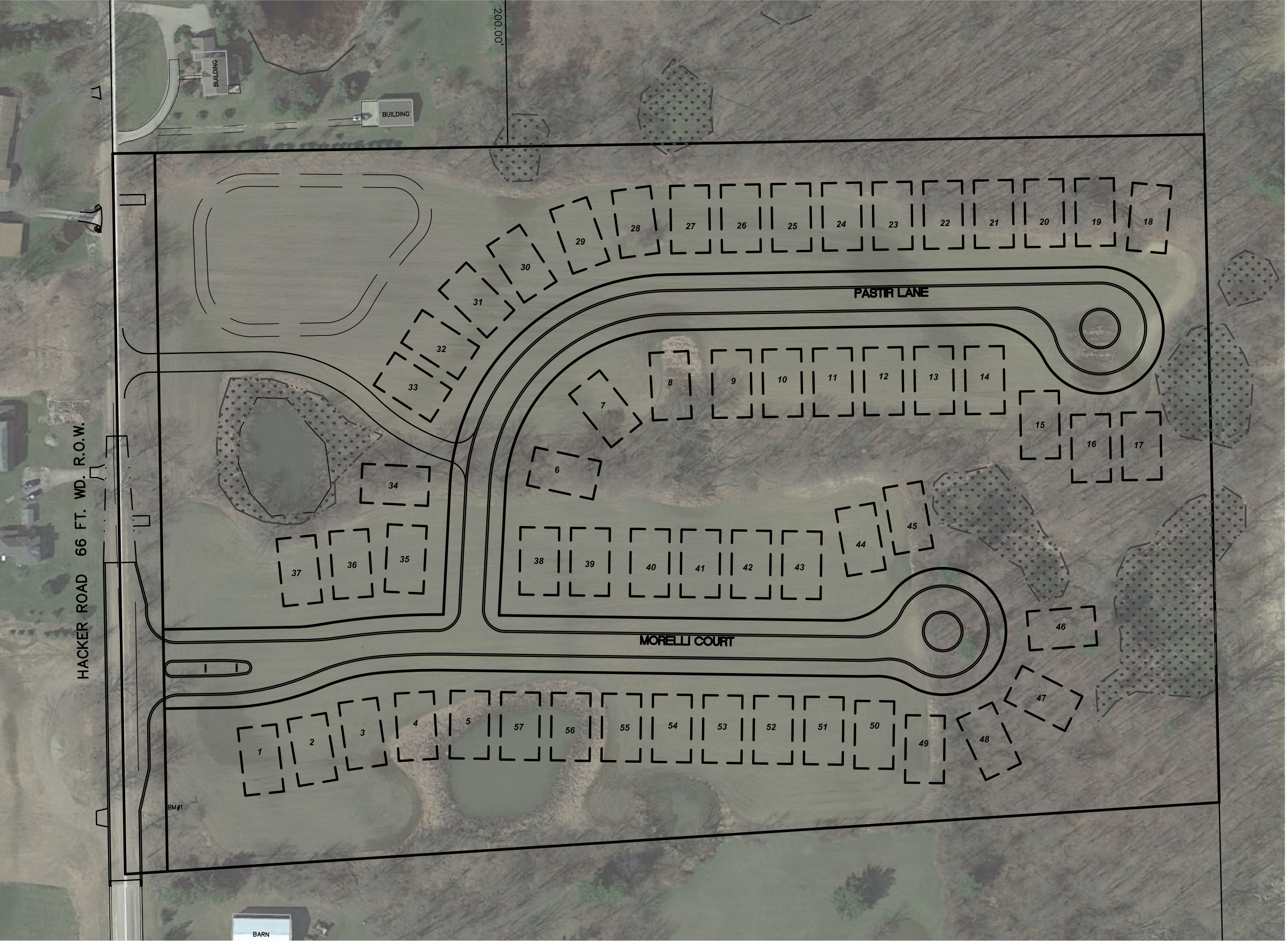


PRELIMINARY SITE PLAN FOR  
**VILLAS of HARTLAND**  
A SITE CONDOMINIUM PLANNED UNIT DEVELOPMENT  
BEING PART OF THE SOUTHWEST 1/4 SECTION 19, T3N, R6E, HARTLAND TOWNSHIP,  
LIVINGSTON COUNTY, MICHIGAN



**PARCELS 08-19-300-013 AND 18-19-300-014**  
(Part of Certified Land Survey,  
As Recorded In Liber 1970, Page 850, Livingston County Records)

Commencing at the West 1/4 Corner of Section 19, Town 3 North, Range 6 East, Hartland Township, Livingston County, Michigan; thence S 01°00'20" E 165.05 feet along the West line of Section 19 and the centerline of Hacker to the East 1/4 Corner of Section 24, Town 3 North, Range 5 East, Oceola Township, Livingston County, Michigan; thence continuing S 01°00'20" E 851.08 feet along said Section line and centerline to the **PLACE OF BEGINNING**; thence N 88°59'40" E 1294.14 feet; thence S 01°17'53" E 792.48 feet along the East line of the West 1/2 of the Southwest fractional 1/4 of Section 19 (as previously surveyed); thence S 86°14'30" W 1299.72 feet; thence N 01°00'20" W 854.89 feet along said West line and centerline to the Place of Beginning. Being a part of the Southwest 1/4 of Section 19, Town 3 North, Range 6 East, Hartland Township, Livingston County, Michigan. Containing 24.51 acres of land, more or less. Being subject to the rights of the public over the Westerly 33.00 feet thereof, as occupied by Hacker Road, also subject to easements and restrictions of record, if any.



**SHEET INDEX**

- EX1 EXISTING CONDITIONS AND CLEARING PLAN
- EX2 EXISTING CONDITIONS TREE LIST
- DV DEVELOPMENT PLAN
- SP SITE PLAN
- UT1 UTILITY PLAN
- UT2 UTILITY EASEMENT PLAN
- UT3 UTILITY CALCULATIONS
- GR1 GRADING PLAN
- GR2 RETENTION BASIN, CALCULATIONS & DETAILS
- GR3 SOIL BORING LOGS
- OS OPEN SPACE PLAN
- LS LANDSCAPE PLAN
- R1 MORELLI COURT ROAD AND STORM, PLAN & PROFILE
- R2 PASTIR LANE ROAD AND STORM, PLAN & PROFILE
- ST STORM SEWER PROFILES
- AP HACKER ROAD PLAN, PROFILE, & SECTIONS
- S1 MORELLI COURT SANITARY SEWER, PLAN & PROFILE
- S2 PASTIR LANE SANITARY SEWER, PLAN & PROFILE
- S3 SANITARY SEWER, PLAN & PROFILE
- W1 MORELLI COURT WATERMAIN, PLAN & PROFILE
- W2 PASTIR LANE WATERMAIN, PLAN & PROFILE
- W3 HACKER ROAD WATERMAIN, PLAN & PROFILE
- WS WATERSHED PLAN
- DT1 ROAD DETAILS
- DT2 STORM SEWER DETAILS
- DT3 SANITARY SEWER & WATER MAIN DETAILS
- DT4 SITE DETAILS

ARCH. PLAN - RANCH UNIT  
ARCH. PLAN - CAPE COD UNIT  
ARCH. PLAN - 2 STORY UNIT

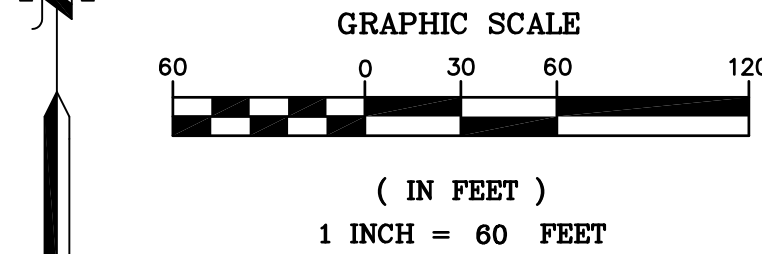
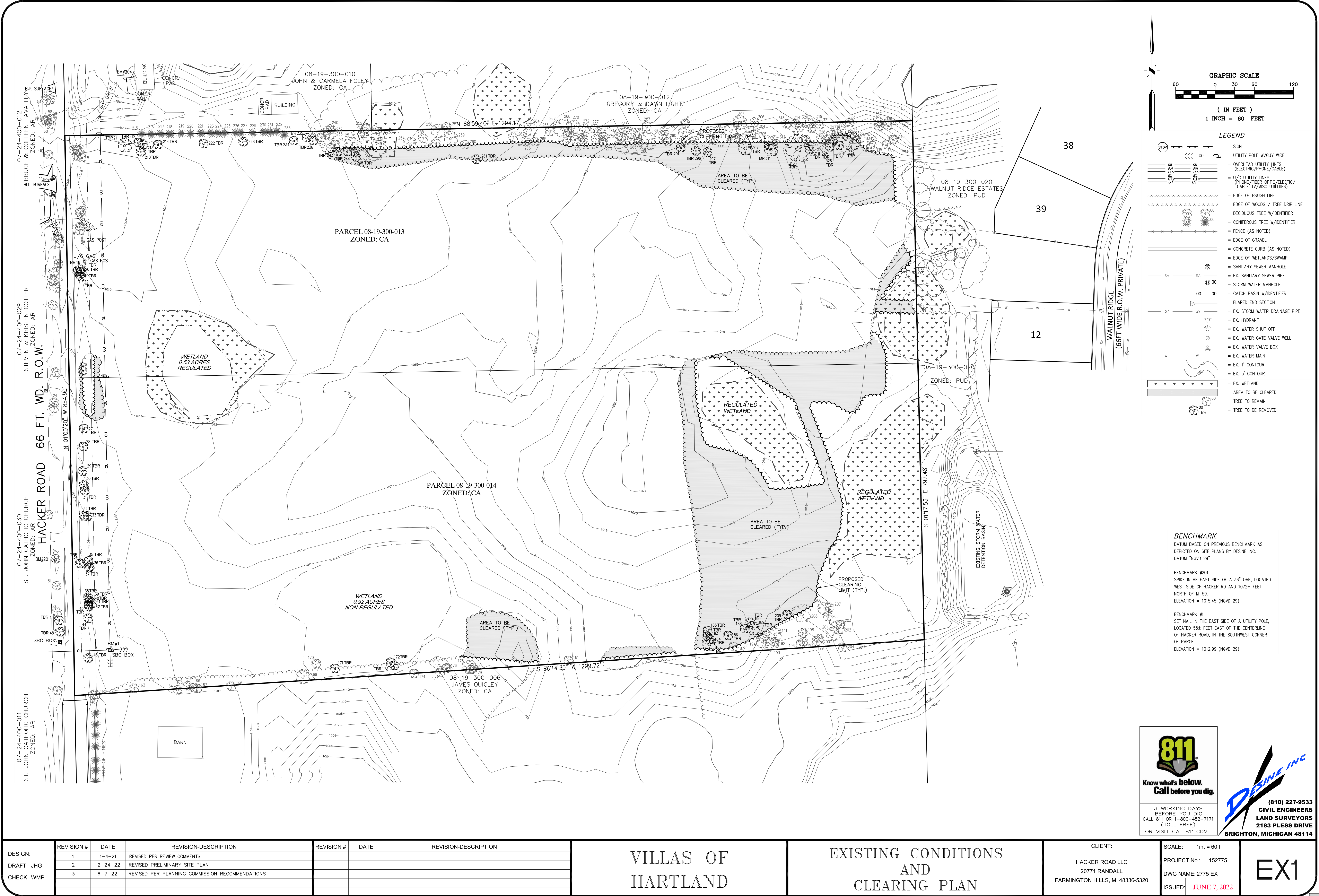
OWNER / DEVELOPER  
HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MICHIGAN 48336

ENGINEER  
DESINE, INC.  
2183 PLESS DR,  
BRIGHTON, MICHIGAN 48114  
810-227-9533

**DESINE INC**  
(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

REVISED	SCALE: NONE
SEPT. 1, 2020	PROJECT No.: 152775
JAN. 4, 2021	DWG NAME: 2775 COV
JAN. 29, 2021	PRINT: JUNE 7, 2022
FEB. 24, 2022	





- LEGEND
- = SIGN
  - = UTILITY POLE W/GUY WIRE
  - = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
  - = U/G UTILITY LINES (PHONE/FIBER/OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
  - = EDGE OF BRUSH LINE
  - = EDGE OF WOODS / TREE DRIP LINE
  - = DECIDUOUS TREE W/IDENTIFIER
  - = CONIFEROUS TREE W/IDENTIFIER
  - = FENCE (AS NOTED)
  - = EDGE OF GRAVEL
  - = CONCRETE CURB (AS NOTED)
  - = EDGE OF WETLANDS/SWAMP
  - = SANITARY SEWER MANHOLE
  - = EX. SANITARY SEWER PIPE
  - = STORM WATER MANHOLE
  - = CATCH BASIN W/IDENTIFIER
  - = FLARED END SECTION
  - = EX. STORM WATER DRAINAGE PIPE
  - = EX. HYDRANT
  - = EX. WATER SHUT OFF
  - = EX. WATER GATE VALVE WELL
  - = EX. WATER VALVE BOX
  - = EX. WATER MAIN
  - = EX. 1" CONTOUR
  - = EX. 5' CONTOUR
  - = EX. WETLAND
  - = AREA TO BE CLEARED
  - = TREE TO REMAIN
  - = TREE TO BE REMOVED

**BENCHMARK**  
DATUM BASED ON PREVIOUS BENCHMARK AS  
DEPICTED ON SITE PLANS BY DESINE INC.  
DATUM "NGVD 29"

BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED  
WEST SIDE OF HACKER RD AND 1072± FEET  
NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE,  
LOCATED 55± FEET EAST OF THE CENTERLINE  
OF HACKER ROAD, IN THE SOUTHWEST CORNER  
OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)

Know what's below.  
Call before you dig.

3 WORKING DAYS  
BEFORE YOU DIG  
CALL 811 OR 1-800-482-7171  
(TOLL FREE)  
OR VISIT CALL811.COM

(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	1-4-21	REVISED PER REVIEW COMMENTS			
CHECK: WMP	2	2-24-22	REVISED PRELIMINARY SITE PLAN			
	3	6-7-22	REVISED PER PLANNING COMMISSION RECOMMENDATIONS			

VILLAS OF  
HARTLAND

EXISTING CONDITIONS  
AND  
CLEARING PLAN

CLIENT:  
HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MI 48336-5320

SCALE: 1in. = 60ft.  
PROJECT No.: 152775  
DWG NAME: 2775 EX  
ISSUED: JUNE 7, 2022

EX1



TREE SCHEDULE

No.	DESCRIPTION
1	OAK 14"
2	ELM 12"
3	OAK 30"
4	OAK 36"
5	OAK 15"
6	ELM 12"
7	ELM 12"
8	HICKORY 18"
9	HICKORY 12"
10	OAK 12"
11	OAK 12"
12	OAK 40"
13	CHERRY 18"
14	CHERRY 18"
15	OAK 15"
16	OAK 12"
17	OAK 15"
18	HICKORY 15"
19	HICKORY 6"
20	HICKORY 6"
21	HICKORY 6"
22	OAK 18"
23	OAK 40"
24	OAK 15"
25	OAK 36"
26	HICKORY 24"
27	OAK 30"
28	HICKORY 24"
29	HICKORY 8"
30	HICKORY 12"
31	HICKORY 36"
32	OAK 30"
33	OAK 24"
34	OAK 15"
35	OAK 30"
36	COTTONWOOD 10"
37	COTTONWOOD 8"
38	COTTONWOOD 8"
39	COTTONWOOD 8"
40	COTTONWOOD 8"
41	COTTONWOOD 8"
42	COTTONWOOD 8"
43	COTTONWOOD 8"
44	COTTONWOOD 40"
45	OAK 40"
46	CHERRY 36"
47	MAPLE 8"
48	OAK 40"
49	OAK 10"
50	OAK 18"

TREE SCHEDULE

No.	DESCRIPTION
51	OAK 24"
52	OAK 36"
53	OAK 10"
54	OAK 12"
55	OAK 12" TRI
56	OAK 22"
57	COTTONWOOD 14"
58	COTTONWOOD 14"
59	OAK 8"
60	COTTONWOOD 14"
61	OAK 7"
124	HICKORY 24"
162	MAPLE 24"
163	COTTON 8"
164	COTTON 6"
165	BOXELDER 7"
166	BOXELDER 6"
167	BOXELDER 7"
168	BOXELDER 8" TRI
169	ELM 14"
170	MAPLE 6"
171	BOXELDER 6"
172	BOXELDER 9"
173	BOXELDER 8"
174	CHERRY 12" TWIN
175	BOXELDER 7"
176	ELM 11"
177	CHERRY 13" TWIN
178	CHERRY 16"
179	CHERRY 12"
180	BOXELDER 6"
181	OAK 12"
182	CHERRY 14"
183	CHERRY 10"
184	CHERRY 6"
185	BOXELDER 8" TWIN
186	APPLE 7"
187	CHERRY 8"
188	CHERRY 10"
189	OAK 17"
190	OAK 12"
191	OAK 18"
192	OAK 8"
193	OAK 14"
194	OAK 18"
195	APPLE 6"
196	ELM 6"
197	OAK 9"
198	OAK 17"

TREE SCHEDULE

No.	DESCRIPTION
199	ELM 7"
200	ELM 9"
201	OAK 18"
202	OAK 16"
203	OAK 9"
204	ELM 6"
205	CHERRY 6"
206	MAPLE 14"
207	CHERRY 9"
208	MAPLE 24"
209	ELM 11"
210	BIRCH 11" TWIN
211	OAK 16" TRI
212	ELM 6"
213	OAK 12"
214	OAK 7" TWIN
215	PINE 6"
216	PINE 7"
217	PINE 8"
218	PINE 12"
219	PINE 6"
220	PINE 6"

TREE SCHEDULE

No.	DESCRIPTION
221	PINE 6"
222	ELM 8" TWIN
223	PINE 7"
224	PINE 9"
225	PINE 7"
226	PINE 8"
227	PINE 6"
228	ELM 11" TWIN
229	PINE 8"
230	PINE 7"
231	PINE 8"
232	PINE 8"
233	PINE 6"
234	BOX 8"
235	HICKORY 7" TWIN
236	OAK 12"
237	OAK 9"
238	CHERRY 10"
239	OAK 18"
240	HICKORY 7"
241	OAK 12"
242	OAK 11"
243	HICKORY 11"
244	OAK 11"
245	OAK 16"
247	OAK 8"
248	OAK 8"
249	OAK 50" MULTI
251	DEAD 16" TWN
252	OAK 9"
253	OAK 15"
254	OAK 16"
255	HICKORY 9"
256	OAK 7"
257	OAK 6"
258	HICKORY 16"
259	HICKORY 14" TWIN
260	ELM 10"
261	ELM 8"
262	BOX ELDER 13"
263	OAK 8"
264	HICKORY 18" TWIN
265	OAK 12"
266	HICKORY 12" TWIN
267	OAK 22" TWIN
268	HICKORY 13" TRI
269	OAK 9"
270	HICKORY 14" TWIN
271	OAK 10"
272	HICKORY 14" TWIN
273	OAK 12" TRI
274	OAK 13"
275	OAK 8"
276	OAK 6"
277	OAK 10" TWIN
278	OAK 12" TWIN
279	OAK 12" TWIN
280	ELM 10" TWIN
281	HICKORY 15" TWIN

TREE SCHEDULE

No.	DESCRIPTION
282	OAK 36"
283	HICKORY 7"
284	HICKORY 12"
285	OAK 12"
286	OAK 28" TWIN
287	HICKORY 7"
288	OAK 16"
289	HICKORY 6"
290	HICKORY 14" TRI
291	OAK 8"
292	OAK 14" TWIN
293	HICKORY 13" TWIN
294	HICKORY 11"
295	HICKORY 14" TWIN
296	HICKORY 8" TWIN
297	HICKORY 12" TWIN
298	HICKORY 10" TWIN
299	OAK 11" TWIN
300	HICKORY 13"
301	MAPLE 16"
302	MAPLE 13"
303	MAPLE 18"
304	HICKORY 15"
305	OAK 7"
306	HICKORY 10"
307	OAK 18"
308	OAK 13"
309	OAK 14" TWIN
310	CHERRY 8"
311	HICKORY 15" TWIN
312	CHERRY 7"
313	OAK 14"
314	OAK 7"
315	HICKORY 14" TWIN
316	OAK 36"
317	CHERRY 14"
318	HICKORY 9"
319	OAK 13" 9"
320	HICKORY 12"
321	HICKORY 11"
322	OAK 14" TWIN
323	OAK 9"
324	OAK 10"
325	HICKORY 11"
326	OAK 12" TWIN
327	OAK 9" TWIN
328	OAK 12" TWIN
329	HICKORY 8"
330	HICKORY 12"
331	OAK 11" TRI
332	OAK 26"
333	OAK 8"
334	OAK 24" TWIN
335	HICKORY 10"
336	OAK 10" TRI
337	HICKORY 8"
338	HICKORY 9"
339	OAK 11"
340	OAK 8"



Know what's below.  
Call before you dig.

3 WORKING DAYS  
BEFORE YOU DIG  
CALL 811 OR 1-800-482-7171  
(TOLL FREE)  
OR VISIT CALL811.COM



(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	2-24-22	REVISED PRELIMINARY SITE PLAN			
CHECK: WMP						

VILLAS OF  
HARTLAND

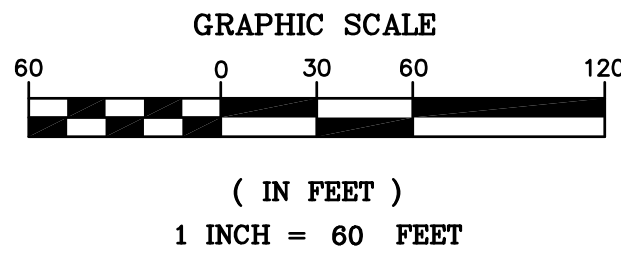
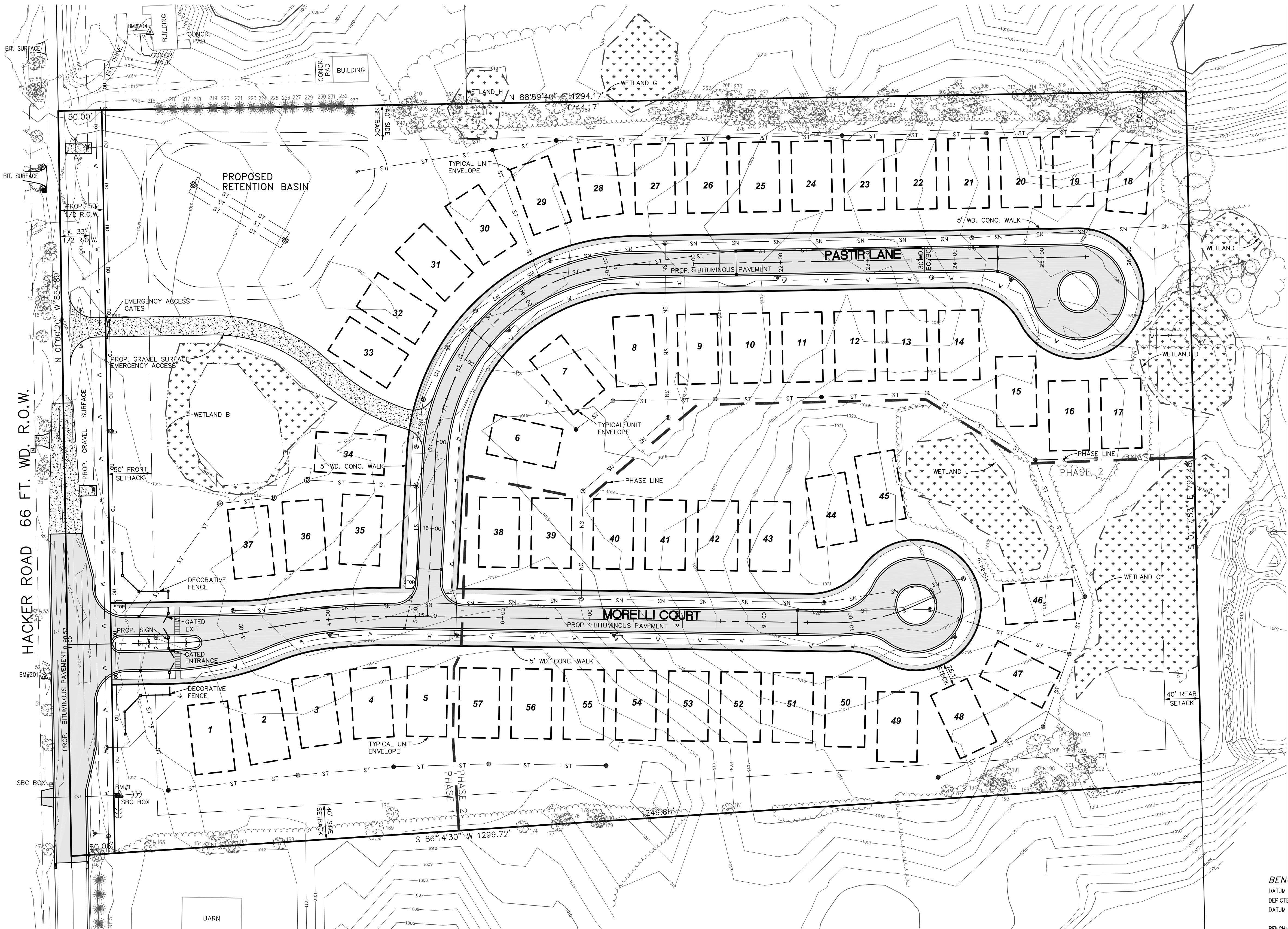
EXISTING CONDITIONS  
TREE LIST

CLIENT:  
HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MI 48336-5320

SCALE: NONE  
PROJECT No.: 152775  
DWG NAME: 2775 EX  
ISSUED: FEB. 24, 2022

EX2





- LEGEND**
- STOP SIGN
  - UTILITY POLE W/ GUY WIRE
  - OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
  - U/G UTILITY LINES (PHONE/FIBER/OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
  - EDGE OF BRUSH LINE
  - EDGE OF WOODS / TREE DRIP LINE
  - DECIDUOUS TREE W/ IDENTIFIER
  - CONIFEROUS TREE W/ IDENTIFIER
  - FENCE (AS NOTED)
  - EDGE OF GRAVEL
  - CONCRETE CURB (AS NOTED)
  - EDGE OF WETLANDS/SWAMP
  - SANITARY SEWER MANHOLE
  - EX. SANITARY SEWER PIPE
  - STORM WATER MANHOLE
  - CATCH BASIN W/ IDENTIFIER
  - FLARED END SECTION
  - EX. STORM WATER DRAINAGE PIPE
  - EX. HYDRANT
  - EX. WATER SHUT OFF
  - EX. WATER GATE VALVE WELL
  - EX. WATER VALVE BOX
  - EX. WATER MAIN
  - EX. 1' CONTOUR
  - EX. 5' CONTOUR
  - PROP. UNIT ENVELOPE
  - PROP. 2' CONC. CURB
  - PROPOSED PAVEMENT
  - PROPOSED GRAVEL SURFACE
  - PHASE LINE

**SITE DATA TABLE**

TAX ID.	18-19-300-013 18-19-300-014
TOTAL SITE AREA:	24.51 AC.
CURRENT ZONING:	CA
FUTURE LAND USE MAP (2015):	MEDIUM SUBURBAN DENSITY RESIDENTIAL
<b>DEVELOPMENT SCHEDULE</b>	
PHASE 1	FALL 2022
PHASE 2	FALL 2024

**BENCHMARK**  
DATUM BASED ON PREVIOUS BENCHMARK AS  
DEPICTED ON SITE PLANS BY DESINE, INC.  
DATUM "NGVD 29"

BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED  
WEST SIDE OF HACKER RD AND 1072+ FEET  
NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE,  
LOCATED 554 FEET EAST OF THE CENTERLINE  
OF HACKER ROAD, IN THE SOUTHWEST CORNER  
OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)

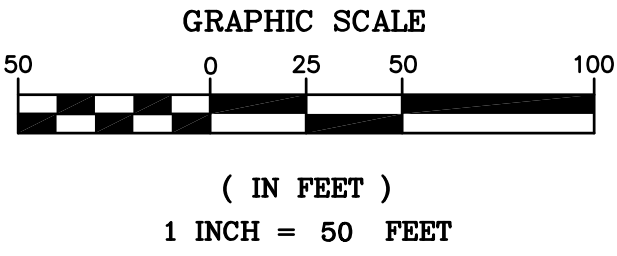
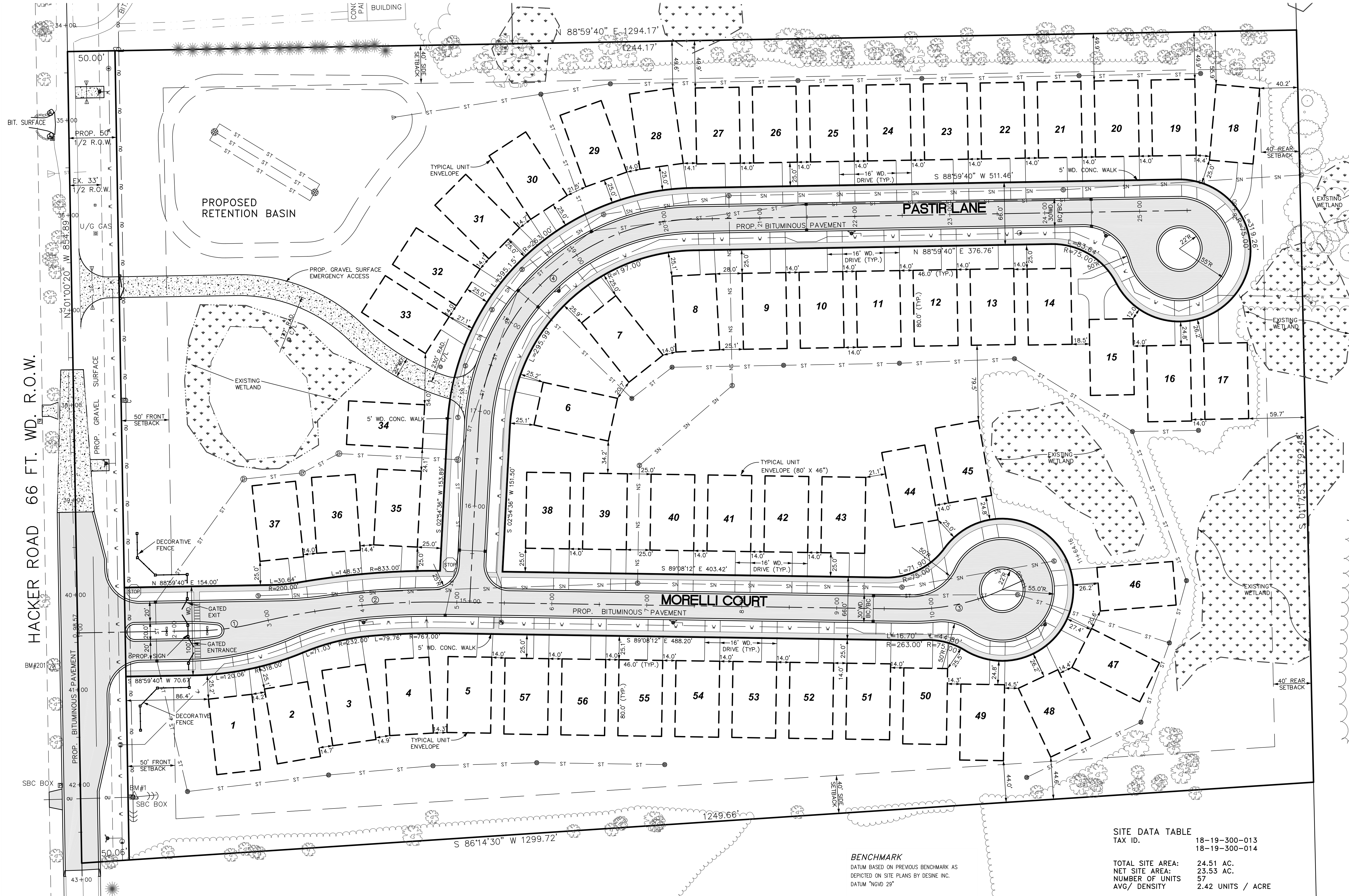
**811**  
Know what's below.  
Call before you dig.

3 WORKING DAYS  
BEFORE YOU DIG  
CALL 811 OR 1-800-482-7171  
(TOLL FREE)  
OR VISIT CALL811.COM

**DESINE, INC.**  
(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION	VILLAS OF HARTLAND	DEVELOPMENT PLAN	CLIENT:	SCALE:	PROJECT No.:	DWG NAME:	ISSUED:	DV
DRAFT: JHG	1	1-4-21	REVISED PER REVIEW COMMENTS						HACKER ROAD LLC	1in. = 60ft.	152775	27771 RANDALL	FEB. 24, 2022	
CHECK: WMP	2	11-22-21	REVISED ROAD AND UNIT LAYOUT						20771 RANDALL					
	3	2-24-22	REVISED PRELIMINARY SITE PLAN						FARMINGTON HILLS, MI 48336-5320					





- LEGEND**
- STOP SIGN
  - UTILITY POLE W/GUY WIRE
  - OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
  - U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
  - EDGE OF BRUSH LINE
  - EDGE OF WOODS / TREE DRIP LINE
  - DECIDUOUS TREE W/IDENTIFIER
  - CONIFEROUS TREE W/IDENTIFIER
  - FENCE (AS NOTED)
  - EDGE OF GRAVEL
  - CONCRETE CURB (AS NOTED)
  - EDGE OF WETLANDS/SWAMP
  - SANITARY SEWER MANHOLE
  - EX. SANITARY SEWER PIPE
  - STORM WATER MANHOLE
  - CATCH BASIN W/IDENTIFIER
  - FLARED END SECTION
  - EX. STORM WATER DRAINAGE PIPE
  - EX. HYDRANT
  - EX. WATER SHUT OFF
  - EX. WATER GATE VALVE WELL
  - EX. WATER VALVE BOX
  - EX. WATER MAIN
  - EX. 1" CONTOUR
  - EX. 5" CONTOUR
  - PROP. UNIT ENVELOPE
  - PROP. 2" CONC. CURB
  - PROP. SANITARY SEWER
  - PROP. STORM SEWER
  - PROP. WATER MAIN
  - PROP. HYDRANT
  - PROP. WATER VALVE
  - PROPOSED PAVEMENT
  - PROPOSED GRAVEL SURFACE

**SITE DATA TABLE**  
TAX ID. 18-19-300-013  
18-19-300-014

TOTAL SITE AREA: 24.51 AC.  
NET SITE AREA: 23.53 AC.  
NUMBER OF UNITS: 57  
AVG/ DENSITY: 2.42 UNITS / ACRE

CURRENT ZONING: CA

FUTURE LAND USE MAP (2015):  
MEDIUM SUBURBAN DENSITY RESIDENTIAL

SETBACKS:  
FRONT 50 FT.  
SIDE 40 FT.  
REAR 40 FT.

INTERNAL DEVELOPMENT:  
ROAD 24.8 FT.  
BLDG./BLDG. 14 FT.

**BENCHMARK**  
DATUM BASED ON PREVIOUS BENCHMARK AS  
DEPICTED ON SITE PLANS BY DESINE INC.  
DATUM "NGVD 29"

BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED  
WEST SIDE OF HACKER RD AND 1072± FEET  
NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE,  
LOCATED 55± FEET EAST OF THE CENTERLINE  
OF HACKER ROAD, IN THE SOUTHWEST CORNER  
OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD	BEARING
1	271.00'	59.95'	59.83'	N82°39'26"E
2	800.00'	203.07'	202.52'	N89°59'29"E
3	230.00'	100.98'	100.17'	N78°17'08"E
4	230.00'	345.57'	313.97'	S45°57'08"W

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG CHECK: WMP	1	1-4-21	REVISED PER REVIEW COMMENTS			
	2	11-22-21	REVISED ROAD ALIGNMENT AND UNIT LAYOUT			
	3	2-24-22	REVISED PRELIMINARY SITE PLAN			

VILLAS OF  
HARTLAND

SITE PLAN

CLIENT:  
HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MI 48336-5320

SCALE: 1in. = 50ft.  
PROJECT No.: 152775  
DWG NAME: 2775 SP  
ISSUED: FEB. 24, 2022

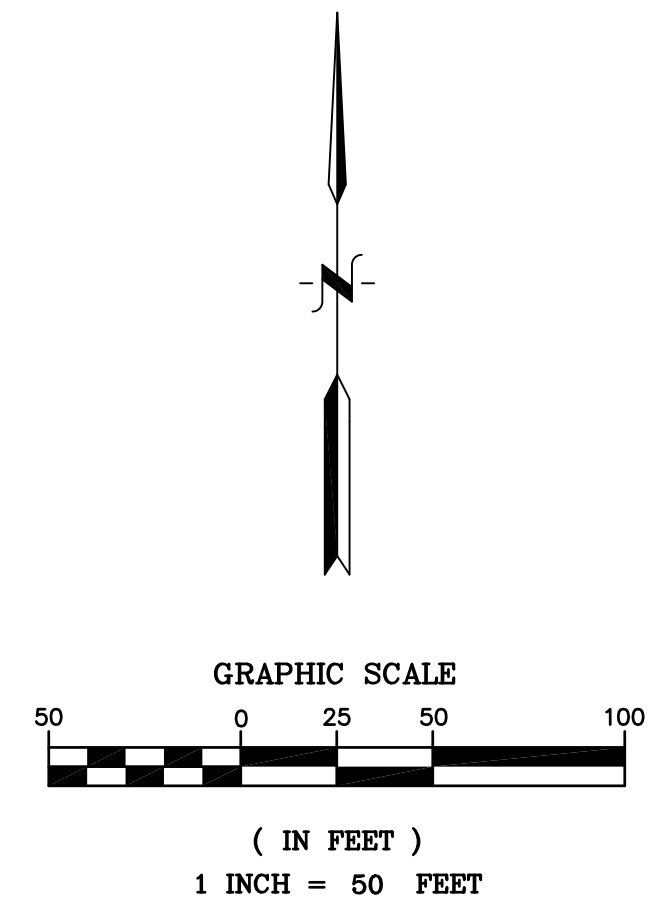
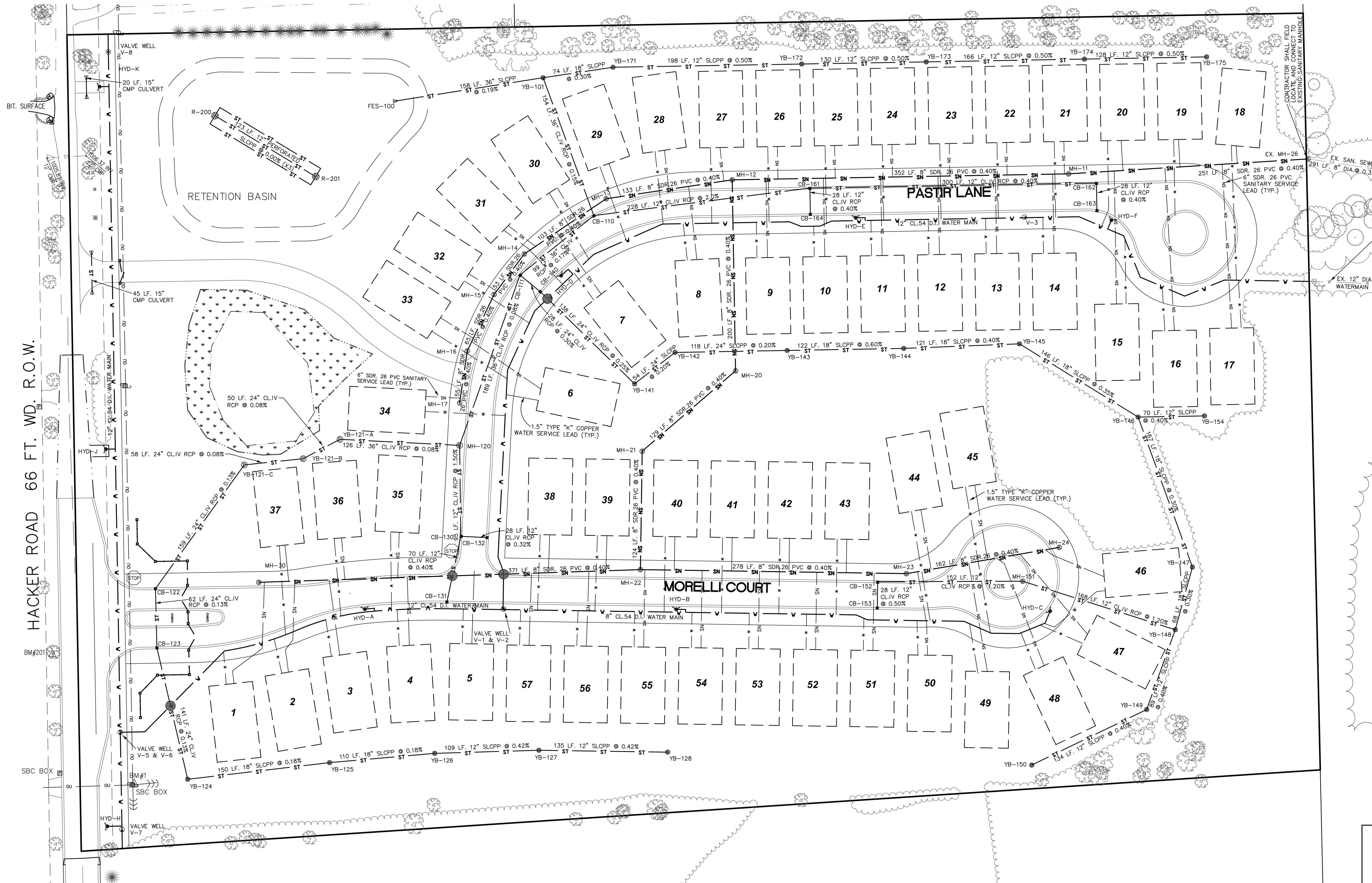
**811**  
Know what's below.  
Call before you dig.

3 WORKING DAYS  
BEFORE YOU DIG  
CALL 811 OR 1-800-482-7171  
(TOLL FREE)  
OR VISIT CALL811.COM

**DESINE INC**  
(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLEURS DRIVE  
BRIGHTON, MICHIGAN 48114

SP





- CONTRACTOR SHALL FIELD LOCATE AND CONNECT TO EXISTING 12" DIA. WATERMAIN
- CONTRACTOR SHALL FIELD LOCATE AND CONNECT TO EXISTING SANITARY MANHOLE
- LEGEND
- SIGN
  - UTILITY POLE W/GUY WIRE
  - OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
  - U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
  - EDGE OF BRUSH LINE
  - EDGE OF WOODS / TREE DRIP LINE
  - DECIDUOUS TREE W/IDENTIFIER
  - CONIFEROUS TREE W/IDENTIFIER
  - FENCE (AS NOTED)
  - EDGE OF GRAVEL
  - CONCRETE CURB (AS NOTED)
  - EDGE OF WETLANDS/SWAMP
  - SANITARY SEWER MANHOLE
  - EX. SANITARY SEWER PIPE
  - STORM WATER MANHOLE
  - CATCH BASIN W/IDENTIFIER
  - FLARED END SECTION
  - EX. STORM WATER DRAINAGE PIPE
  - EX. HYDRANT
  - EX. WATER SHUT OFF
  - EX. WATER GATE VALVE WELL
  - EX. WATER VALVE BOX
  - EX. WATER MAIN
  - EX. 1' CONTOUR
  - EX. 5' CONTOUR
  - PROP. UNIT ENVELOPE
  - PROP. 2' CONC. CURB
  - PROP. SANITARY SEWER
  - PROP. STORM SEWER
  - PROP. WATER MAIN
  - PROP. HYDRANT
  - PROP. WATER VALVE
  - WARNING! UTILITY CROSSING

**BENCHMARK**  
DATUM BASED ON PREVIOUS BENCHMARK AS DEPICTED ON SITE PLANS BY DESINE INC.  
DATUM "NGVD 29"

BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED WEST SIDE OF HACKER RD AND 1072± FEET NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE, LOCATED 55± FEET EAST OF THE CENTERLINE OF HACKER ROAD, IN THE SOUTHWEST CORNER OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)

NOTE:  
STORM SEWER STRUCTURE DATA ON SHEET UT3  
SANITARY SEWER STRUCTURE DATA ON SHEET UT3

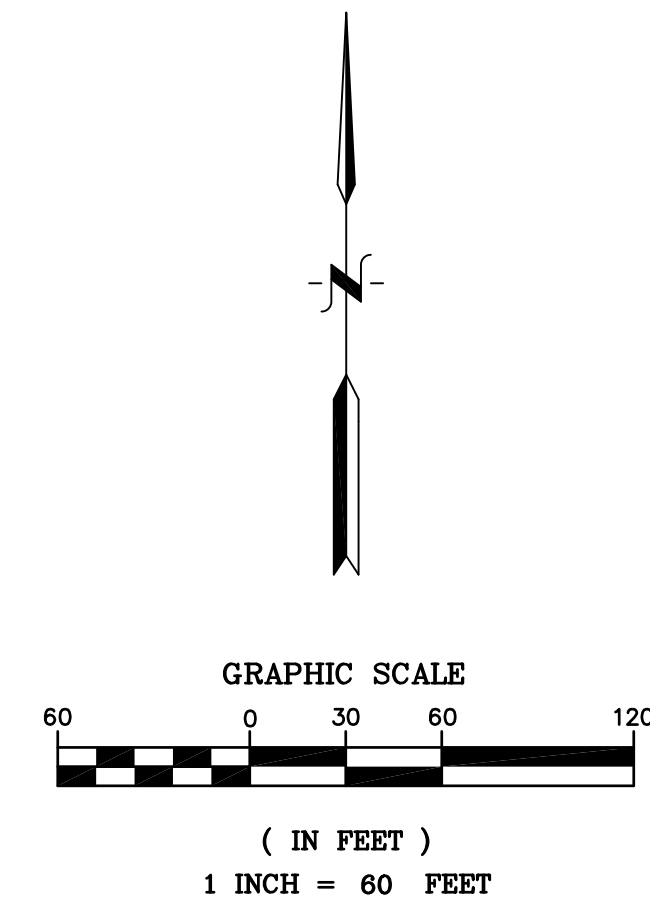
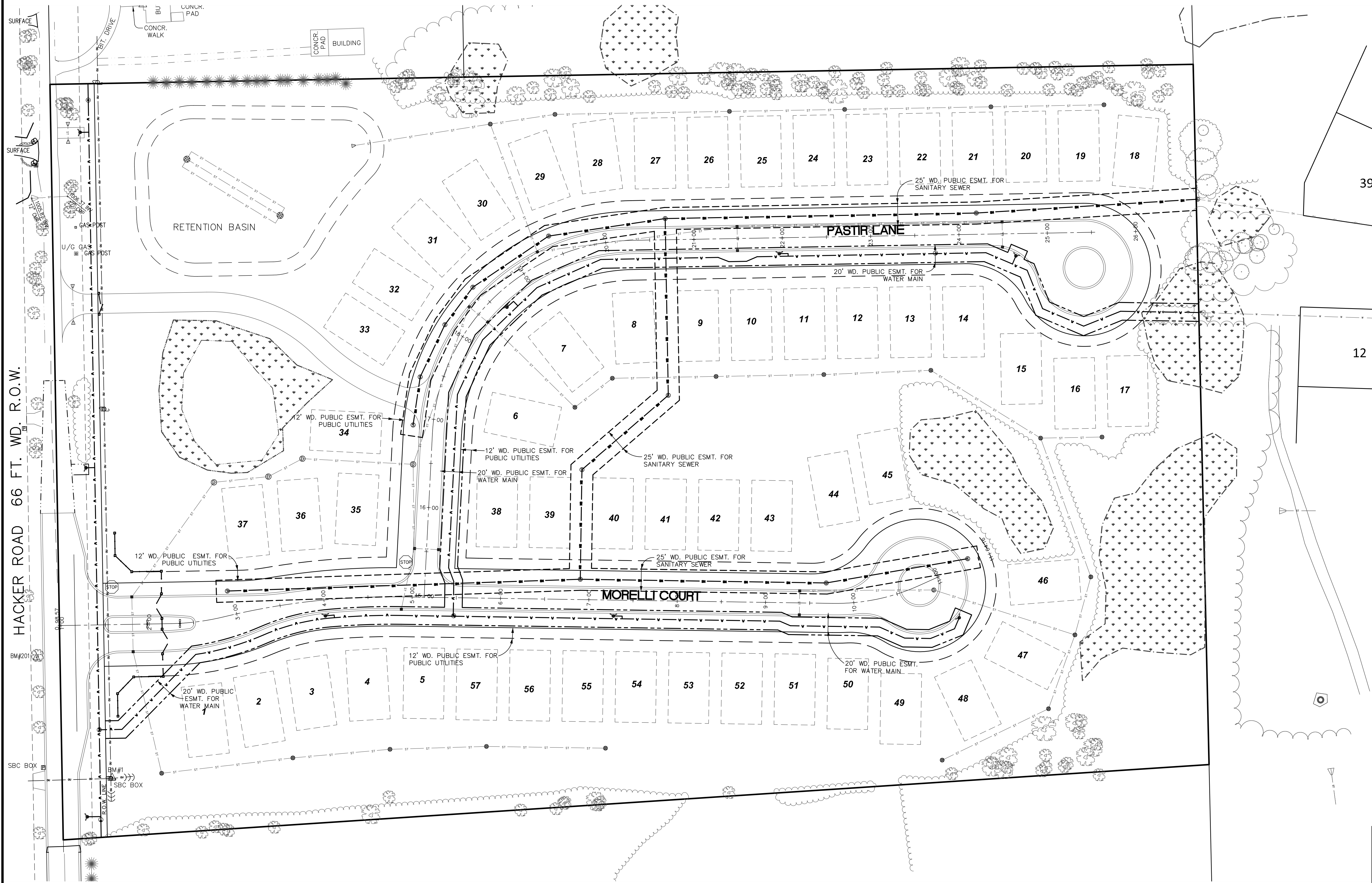
Know what's below.  
Call before you dig.

3 WORKING DAYS  
BEFORE YOU DIG  
CALL 811 OR 1-800-482-7171  
(TOLL FREE)  
OR VISIT CALL811.COM

(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION	VILLAS OF HARTLAND	UTILITY PLAN	CLIENT:	SCALE:	PROJECT No.:	UT1
DRAFT: JHG	1	2-24-22	REVISED PRELIMINARY SITE PLAN						HACKER ROAD LLC	1in. = 50ft.	152775	
CHECK: WMP	2	6-7-22	REVISED PER PLANNING COMMISSION RECOMMENDATIONS						20771 RANDALL		DWG NAME: 2775 UT	
									FARMINGTON HILLS, MI. 48336		ISSUED: JUNE 7, 2022	





- LEGEND**
- = SIGN
  - = UTILITY POLE W/GUY WIRE
  - = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
  - = U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
  - = EDGE OF BRUSH LINE
  - = EDGE OF WOODS / TREE DRIP LINE
  - = DECIDUOUS TREE W/IDENTIFIER
  - = CONIFEROUS TREE W/IDENTIFIER
  - = FENCE (AS NOTED)
  - = EDGE OF GRAVEL
  - = CONCRETE CURB (AS NOTED)
  - = EDGE OF WETLANDS/SWAMP
  - = SANITARY SEWER MANHOLE
  - = EX. SANITARY SEWER PIPE
  - = STORM WATER MANHOLE
  - = CATCH BASIN W/IDENTIFIER
  - = FLARED END SECTION
  - = EX. STORM WATER DRAINAGE PIPE
  - = EX. HYDRANT
  - = EX. WATER SHUT OFF
  - = EX. WATER GATE VALVE WELL
  - = EX. WATER VALVE BOX
  - = EX. WATER MAIN
  - = EX. 1' CONTOUR
  - = EX. 5' CONTOUR
  - = PROP. UNIT ENVELOPE
  - = PROP. 2' CONC. CURB
  - = PROP. SANITARY SEWER
  - = PROP. STORM SEWER
  - = PROP. WATER MAIN
  - = PROP. HYDRANT
  - = PROP. WATER VALVE

**811**  
Know what's below.  
Call before you dig.

3 WORKING DAYS  
BEFORE YOU DIG  
CALL 811 OR 1-800-482-7171  
(TOLL FREE)  
OR VISIT CALL811.COM

**DESIGN INC.**  
(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	2-24-22	REVISED PRELIMINARY SITE PLAN			
CHECK: WMP	3	6-7-22	REVISED PER PLANNING COMMISSION RECOMMENDATIONS			

VILLAS OF  
HARTLAND

UTILITY EASEMENT PLAN

CLIENT:  
HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MICHIGAN 48336

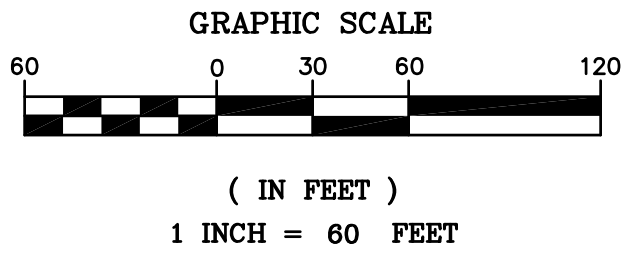
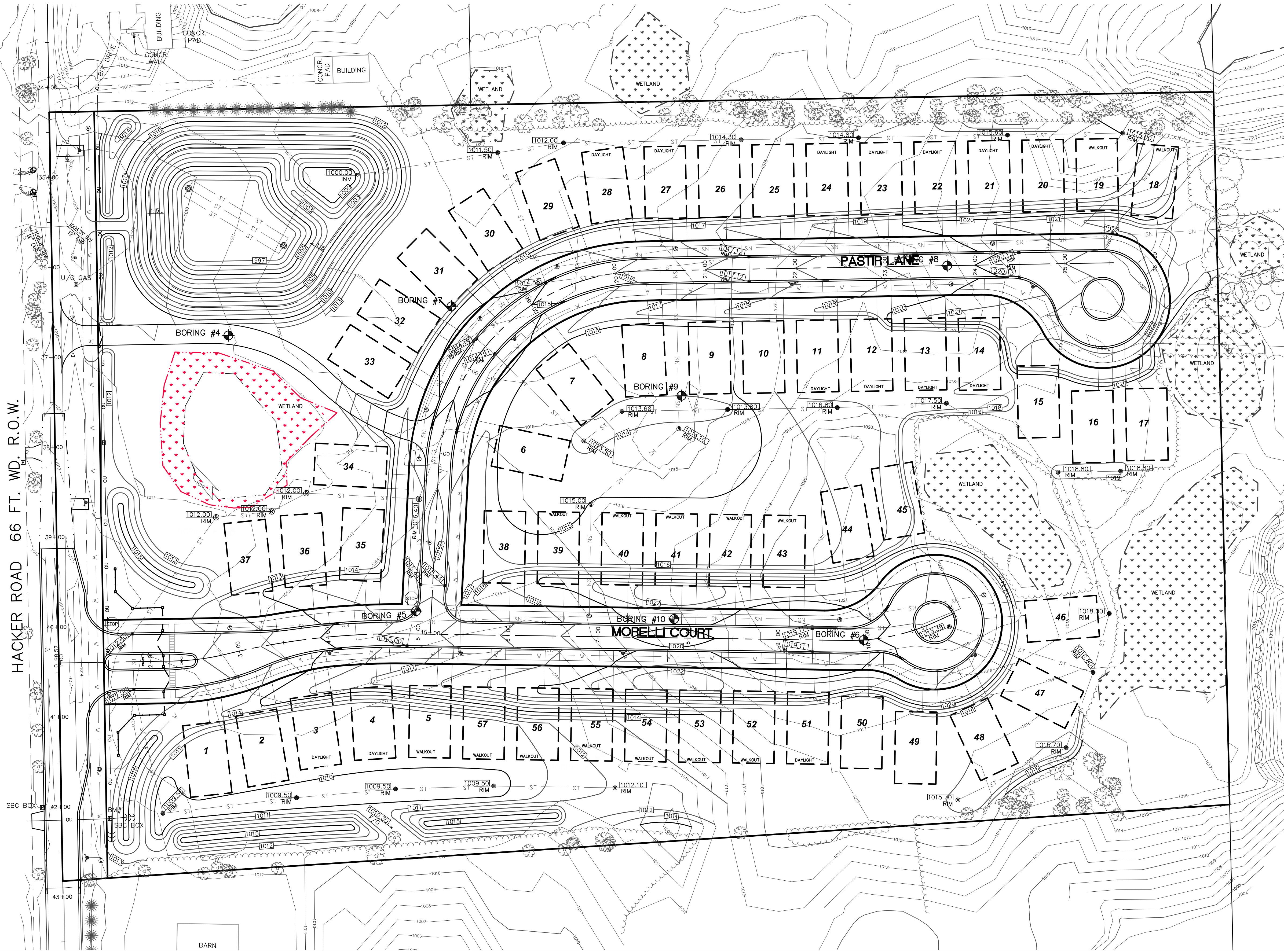
SCALE: 1in. = 60ft.  
PROJECT No.: 152775  
DWG NAME: 2775 UT2  
ISSUED: JUNE 7, 2022

UT2









- LEGEND**
- = SIGN
  - = UTILITY POLE W/GUY WIRE
  - = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
  - = U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
  - = EDGE OF BRUSH LINE
  - = EDGE OF WOODS / TREE DRIP LINE
  - = DECIDUOUS TREE W/IDENTIFIER
  - = CONIFEROUS TREE W/IDENTIFIER
  - = FENCE (AS NOTED)
  - = EDGE OF GRAVEL
  - = CONCRETE CURB (AS NOTED)
  - = EDGE OF WETLANDS/SWAMP
  - = SANITARY SEWER MANHOLE
  - = EX. SANITARY SEWER PIPE
  - = STORM WATER MANHOLE
  - = CATCH BASIN W/IDENTIFIER
  - = FLARED END SECTION
  - = EX. STORM WATER DRAINAGE PIPE
  - = EX. HYDRANT
  - = EX. WATER SHUT OFF
  - = EX. WATER GATE VALVE WELL
  - = EX. WATER VALVE BOX
  - = EX. WATER MAIN
  - = EX. 1' CONTOUR
  - = EX. 5' CONTOUR
  - = PROP. UNIT ENVELOPE
  - = PROP. 2" CONC. CURB
  - = PROP. SANITARY SEWER
  - = PROP. STORM SEWER
  - = PROP. WATER MAIN
  - = PROP. HYDRANT
  - = PROP. WATER VALVE
  - = PROP. 1' CONTOUR
  - = PROP. 5' CONTOUR

FLOOR ELEVATION TABLE

Unit	F/G	F/G	F/G	F/G	F/G
1	1014.19	1015.89	1006.09	1011.30	
2	1015.65	1017.35	1007.65	1011.30	
3	1016.66	1018.36	1008.66	1011.30	
4	1017.49	1019.19	1009.39	1011.30	
5	1018.75	1020.45	1010.65	1011.30	
6	1017.30	1019.00	1009.20	1014.10	
7	1017.14	1018.84	1009.04	1014.10	
8	1018.53	1020.23	1010.43	1014.10	
9	1019.23	1020.93	1011.13	1014.10	
10	1019.83	1021.53	1011.73	1015.10	
11	1020.43	1022.13	1012.33	1017.10	
12	1021.03	1022.73	1012.93	1017.30	
13	1021.47	1023.17	1013.37	1017.90	
14	1022.07	1023.77	1013.97	1018.00	
15	1024.83	1026.53	1016.73	1019.30	
16	1024.31	1026.01	1016.21	1019.30	
17	1025.11	1026.81	1017.01	1019.30	
18	1024.30	1026.00	1016.20	1015.50	
19	1023.73	1025.43	1015.63	1015.50	
20	1023.03	1024.73	1014.93	1016.10	
21	1022.38	1024.08	1014.28	1016.10	
22	1021.78	1023.48	1013.68	1016.10	
23	1021.18	1022.88	1013.08	1015.00	
24	1020.84	1022.54	1012.74	1015.00	
25	1019.88	1021.68	1011.88	1014.80	
26	1019.22	1020.92	1011.12	1014.80	
27	1018.62	1020.32	1010.52	1013.00	
28	1018.13	1019.83	1010.03	1012.00	
29	1017.65	1019.35	1009.55	1012.00	
30	1016.98	1018.68	1008.88	1012.00	
31	1016.78	1018.48	1008.68	1012.70	
32	1016.61	1018.31	1008.51	1013.00	
33	1017.10	1018.80	1009.00	1012.00	
34	1017.85	1019.55	1009.75	1012.50	
35	1017.56	1019.26	1009.46	1012.50	
36	1016.59	1018.29	1008.49	1012.50	
37	1015.57	1017.27	1007.47	1012.50	
38	1020.11	1021.81	1012.01	1014.90	
39	1021.10	1022.80	1013.00	1014.80	
40	1022.15	1023.85	1014.05	1015.40	
41	1022.37	1024.07	1014.27	1015.40	
42	1022.06	1023.76	1013.96	1015.40	
43	1021.52	1023.22	1013.42	1015.50	
44	1022.47	1024.17	1014.37	1015.90	
45	1022.99	1024.69	1014.89	1016.90	
46	1023.60	1025.30	1015.50	1018.30	
47	1023.44	1025.14	1015.34	1017.30	
48	1022.88	1024.58	1014.78	1017.30	
49	1022.22	1023.92	1014.12	1017.00	
50	1022.04	1023.74	1013.94	1016.00	
51	1021.45	1023.15	1013.35	1015.40	
52	1021.77	1023.47	1013.67	1013.60	
53	1022.31	1024.01	1014.21	1013.10	
54	1022.34	1024.04	1014.24	1012.50	
55	1021.76	1023.46	1013.66	1011.30	
56	1020.78	1022.48	1012.68	1011.30	
57	1019.79	1021.49	1011.69	1011.30	

**BENCHMARK**  
DATUM BASED ON PREVIOUS BENCHMARK AS  
DEPICTED ON SITE PLANS BY DESINE INC.  
DATUM "NGVD 29"

BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED  
WEST SIDE OF HACKER RD AND 1072+ FEET  
NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE,  
LOCATED 55+ FEET EAST OF THE CENTERLINE  
OF HACKER ROAD, IN THE SOUTHWEST CORNER  
OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)

Know what's below.  
Call before you dig.

3 WORKING DAYS  
BEFORE YOU DIG  
CALL 811 OR 1-800-482-7171  
(TOLL FREE)  
OR VISIT CALL811.COM

(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	1-4-21	REVISED PER REVIEW COMMENTS			
CHECK: WMP	2	2-24-22	REVISED PRELIMINARY SITE PLAN			

VILLAS OF  
HARTLAND

GRADING PLAN

CLIENT:

HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MI 48366-5320

SCALE: 1in. = 60ft.

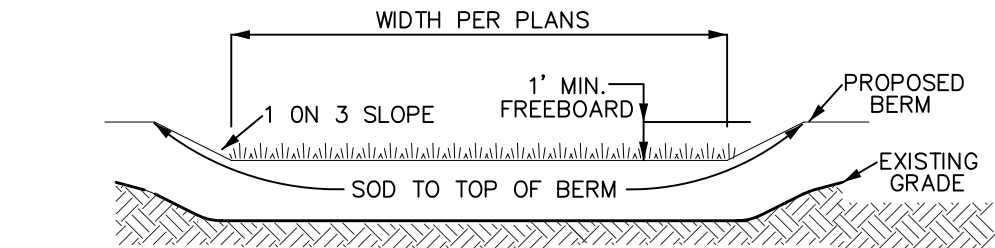
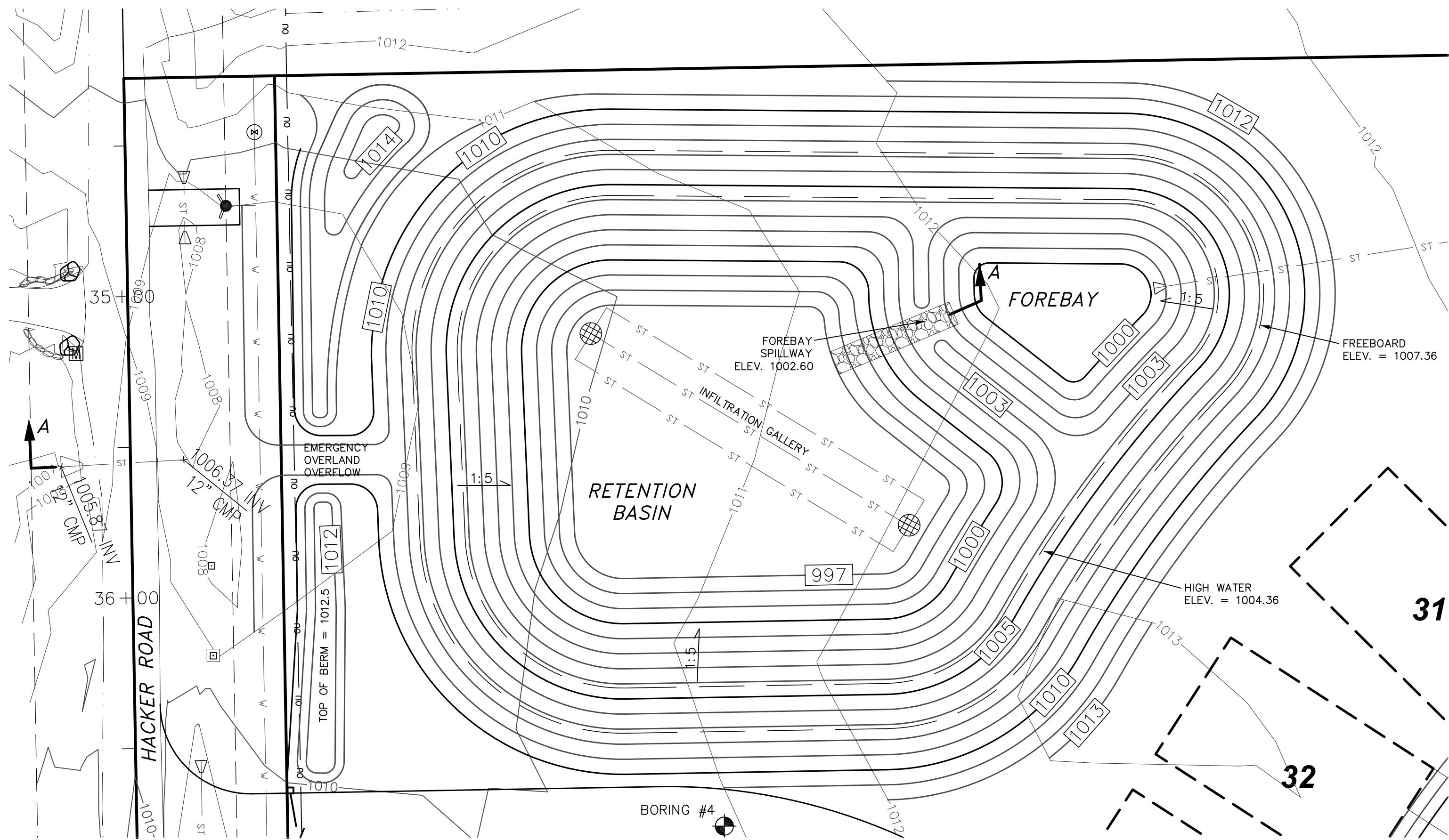
PROJECT No.: 152775

DWG NAME: 2775 GR

ISSUED: FEB. 24, 2022

GR1





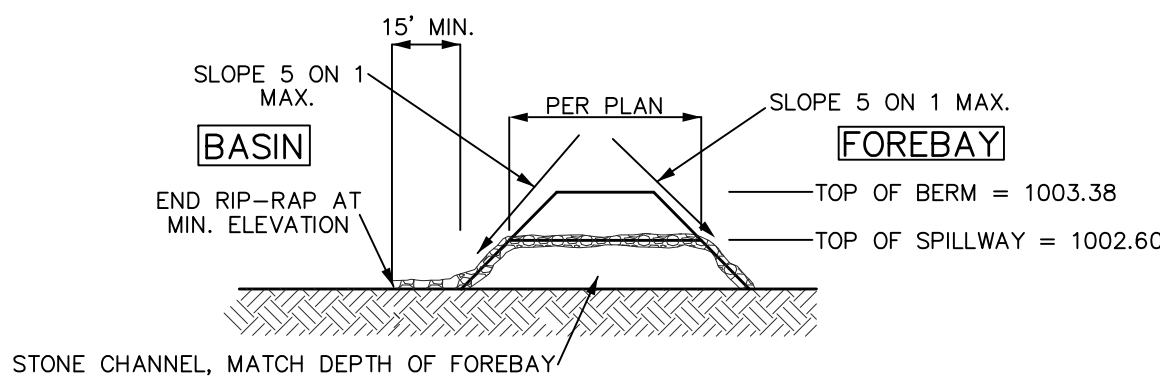
### EMERGENCY OVERLAND OVERFLOW

PROPOSED RETENTION BASIN CALCULATIONS				
WATERSHED AREA		=	20.57	Acres
Volume = (Watershed Area) x (43,560 sq.ft./ac) x (2 inches)/(12 ft./inch)				
Retention Volume Required		=	149,338	cubic feet
POND DEPTH (FT)	ELEV.	CONTOUR AREA (SF)	INCREMENTAL VOLUME (CF)	TOTAL VOLUME (CF)
BOTTOM	997.00	9,281	0	0
1.0	998.00	11,262	10,256	10,256
2.0	999.00	13,445	12,337	22,593
3.0	1000.00	17,364	15,363	37,956
4.0	1001.00	20,756	19,035	56,991
5.0	1002.00	24,494	22,589	79,580
6.0	1003.00	28,579	26,510	106,100
7.0	1004.00	32,773	30,652	136,752
8.0	1005.00	36,338	34,540	171,292
9.0	1006.00	40,059	38,183	209,476
10.0	1007.00	43,938	41,984	251,459
11.0	1008.00	47,973	45,941	297,400
12.0	1009.00	52,166	50,055	347,455

Retention Storage Elevation Calculation:				
LOWER	ELEV	VOLUME	VOLUME REQ.	ELEVATION
	1004.00	136,752	149,338	1004.36
HIGHER	1005.00	171,292		

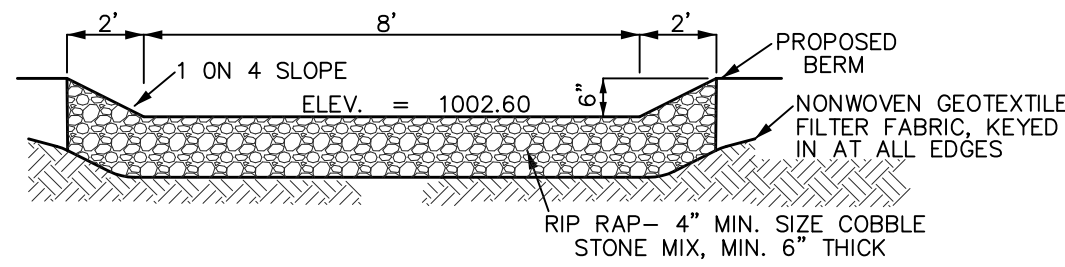
Forebay Storage Calculation:				
POND DEPTH (FT)	ELEV.	CONTOUR AREA (SF)	INCREMENTAL VOLUME (CF)	TOTAL VOLUME (CF)
BOTTOM	1000.00	1,589	0	0
1.0	1001.00	2,475	2,016	2,016
2.0	1002.00	3,534	2,989	5,005
3.0	1003.00	4,765	4,134	9,139

	ELEV	VOLUME	VOLUME REQ.	ELEVATION
LOWER	1002.00	5,005	7,467	1002.60
HIGHER	1003.00	9,139		

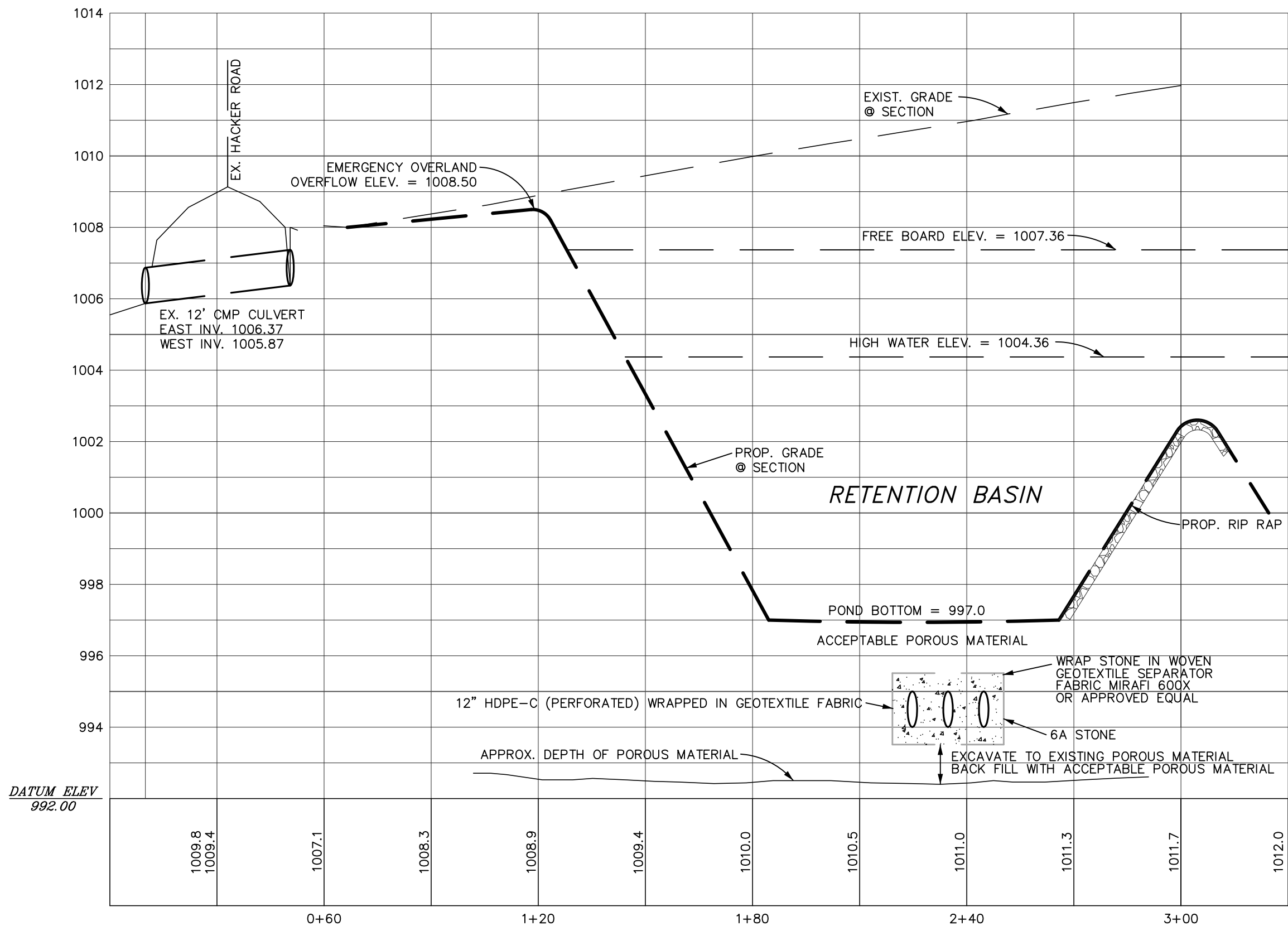


### FOREBAY SPILLWAY CROSS SECTION

- NOTES:
1. PROVIDE 10' MIN. WIDTH OF STONE OR PER PLANS.
  2. COVER THE SLOPE ON THE FOREBAY SIDE WITH A TEMPORARY NONWOVEN POLYPROPYLENE FABRIC, 8 OZ PER SQYD. REMOVE PRIOR TO CLOSING GRADING PERMIT.

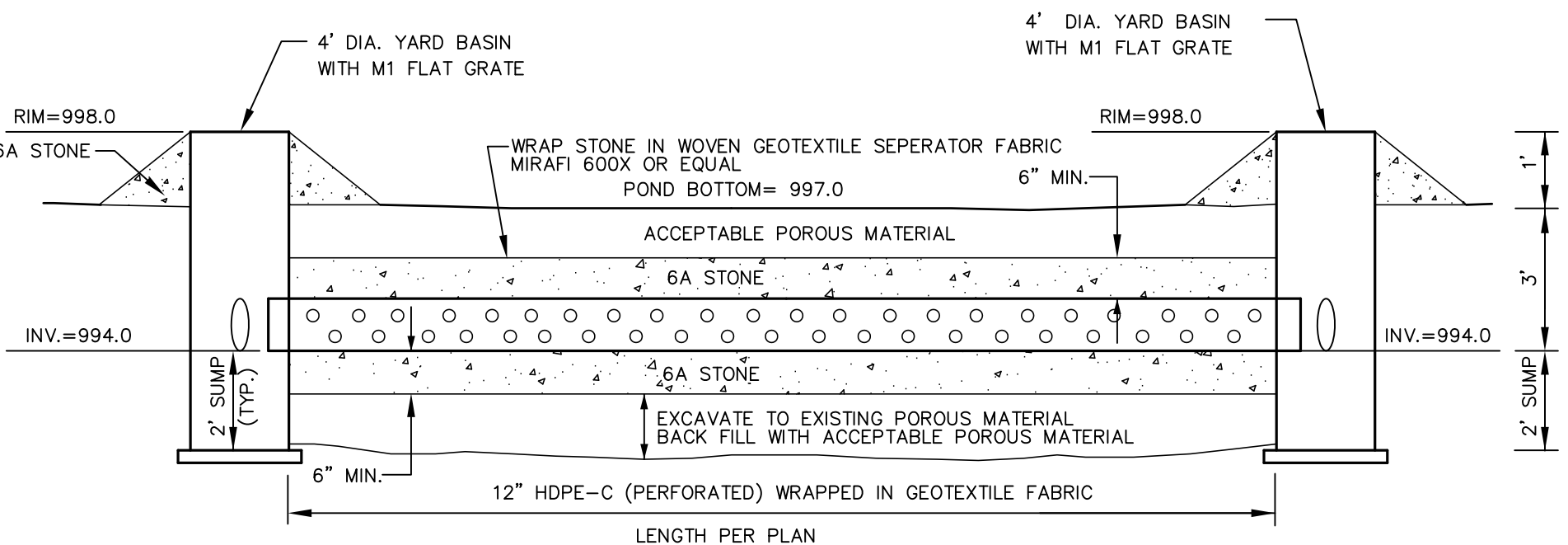


### FOREBAY SPILLWAY ELEVATION



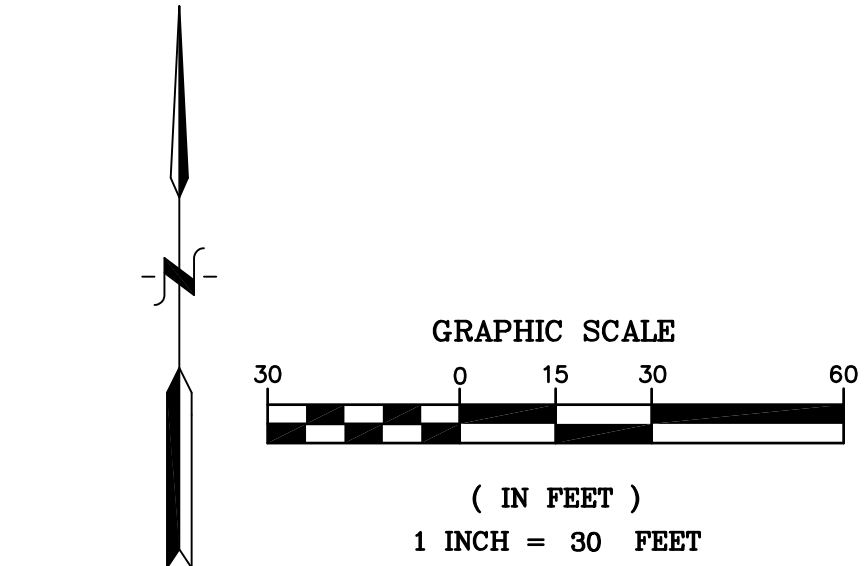
### SECTION A-A

SCALE: H. 1" = 30'  
V. 1" = 5'



### INFILTRATION GALLERY DETAIL

NOT TO SCALE



- LEGEND
- = SIGN
  - = UTILITY POLE W/GUY WIRE
  - = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
  - = U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
  - = EDGE OF BRUSH LINE
  - = EDGE OF WOODS / TREE DRIP LINE
  - = DECIDUOUS TREE W/IDENTIFIER
  - = CONIFEROUS TREE W/IDENTIFIER
  - = FENCE (AS NOTED)
  - = EDGE OF GRAVEL
  - = CONCRETE CURB (AS NOTED)
  - = EDGE OF WETLANDS/SWAMP
  - = SANITARY SEWER MANHOLE
  - = EX. SANITARY SEWER PIPE
  - = STORM WATER MANHOLE
  - = CATCH BASIN W/IDENTIFIER
  - = FLARED END SECTION
  - = EX. STORM WATER DRAINAGE PIPE
  - = EX. HYDRANT
  - = EX. WATER SHUT OFF
  - = EX. WATER GATE VALVE WELL
  - = EX. WATER VALVE BOX
  - = EX. WATER MAIN
  - = EX. 1' CONTOUR
  - = EX. 5' CONTOUR
  - = PROP. UNIT ENVELOPE
  - = PROP. 2' CONC. CURB
  - = PROP. SANITARY SEWER
  - = PROP. STORM SEWER
  - = PROP. WATER MAIN
  - = PROP. HYDRANT
  - = PROP. WATER VALVE
  - = PROP. 1' CONTOUR
  - = PROP. 5' CONTOUR

### BENCHMARK

DATUM BASED ON PREVIOUS BENCHMARK AS DEPICTED ON SITE PLANS BY DESINE INC. DATUM "NGVD 29"

BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED WEST SIDE OF HACKER RD AND 10724 FEET NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE, LOCATED 552 FEET EAST OF THE CENTERLINE OF HACKER ROAD, IN THE SOUTHWEST CORNER OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)

**811**  
Know what's below.  
Call before you dig.

3 WORKING DAYS BEFORE YOU DIG  
CALL 811 OR 1-800-482-7171 (TOLL FREE)  
OR VISIT CALL811.COM

**DESINE INC.**  
(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	2-24-22	REVISED PRELIMINARY SITE PLAN			
CHECK: WMP						

VILLAS OF  
HARTLAND

RETENTION BASIN  
CALCULATIONS & DETAILS

CLIENT:  
HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MI 4836-5320

SCALE: 1in. = 30ft.  
PROJECT No.: 152775  
DWG NAME: 2775 GR2  
ISSUED: FEB. 24, 2022

GR2



HASTINGS TESTING ENGINEERS  
AND ENVIRONMENTAL INC.  
"Testing to keep America on a firm foundation"  
4841 GOLF CLUB ROAD • HOWELL, MI 48843

REPORT OF SOIL BORING

TESTED FOR: Joe Rotundo  
20771 Randall  
Farmington Hills, MI 48336

REPORT # :6535  
CLIENT # :4018  
DATE :03/01/19  
PAGE :3

LOCATION :Soil Boring #4 - See Enclosed Diagram

Soil Description	Depth in Feet	Sample & Type	Blow Count *	N Val	% Water	Natural WT. P C F	Unconfined Strength
Silty Gray Clay	14.5	SSS	6	12	12.6		3500.
	15.0						
	15.5						
	16.0						
	16.5						
	17.0						
	17.5						
	18.0						
Fine Brown Sand	18.5		15				
	19.0		20				
	19.5	SS6	22	42	5.5		
End Of Soil Boring #4	20.0						

Type of Sample: SS - Split Spoon  
SL - Split Spoon With Liner  
ST - Shelby Tube

\* Standard Penetration Test - Driving 2" OD  
Sampler 18" with 140 # Hammer, Falling 30"  
Count made at 6" intervals.

DRILLING METHOD :Trailer Mounted Auger  
DRILLING FOREMAN :M. Smith  
BACKFILL MATERIAL:Existing Material

GROUND WATER ENCOUNTERED AT :None  
GROUND WATER AFTER COMPLETION:None  
GROUND WATER AFTER :

HASTINGS TESTING ENGINEERS  
AND ENVIRONMENTAL INC.  
"Testing to keep America on a firm foundation"  
4841 GOLF CLUB ROAD • HOWELL, MI 48843

REPORT OF SOIL BORING

TESTED FOR: Joe Rotundo  
20771 Randall  
Farmington Hills, MI 48336

REPORT # :6559  
CLIENT # :4018  
DATE :02/26/19  
PAGE :1

LOCATION :Soil Boring #5 - See Enclosed Diagram

Soil Description	Depth in Feet	Sample & Type	Blow Count *	N Val	% Water	Natural WT. P C F	Unconfined Strength
Organic Soil & Material	0.5						
Silty Medium Brown Sand	1.0						
	1.5						
	2.0						
	2.5	DCP1		10	9.3		
	3.0						
Silty Brown Clay	3.5						
	4.0						
	4.5						
	5.0	DCP2		12	14.5		2500.
	5.5						
	6.0						
	6.5						
End Of Soil Boring #5	7.0	DCP3		8	17.1		1500.

Type of Sample: SS - Split Spoon  
SL - Split Spoon With Liner  
ST - Shelby Tube

\* Standard Penetration Test - Driving 2" OD  
Sampler 18" with 140 # Hammer, Falling 30"  
Count made at 6" intervals.

DRILLING METHOD :Trailer Mounted Auger  
DRILLING FOREMAN :L. Caudill  
BACKFILL MATERIAL:Existing Material

GROUND WATER ENCOUNTERED AT :5' 0" BEG  
GROUND WATER AFTER COMPLETION:5' 0" BEG  
GROUND WATER AFTER :1 Hr.

HASTINGS TESTING ENGINEERS  
AND ENVIRONMENTAL INC.  
"Testing to keep America on a firm foundation"  
4841 GOLF CLUB ROAD • HOWELL, MI 48843

REPORT OF SOIL BORING

TESTED FOR: Joe Rotundo  
20771 Randall  
Farmington Hills, MI 48336

REPORT # :6560  
CLIENT # :4018  
DATE :02/26/20  
PAGE :1

LOCATION :Soil Boring #6 - See Enclosed Diagram

Soil Description	Depth in Feet	Sample & Type	Blow Count *	N Val	% Water	Natural WT. P C F	Unconfined Strength
Organic Soil & Material	0.5						
Silty Brown Clay With Silty	1.0						
Medium Brown Sand	1.5						
	2.0						
	2.5	DCP1		10	12.8		
	3.0						
	3.5						
Silty Brown Clay	4.0						
	4.5						
	5.0	DCP2		10	16.2		1500.
	5.5						
	6.0						
	6.5						
End Of Soil Boring #6	7.0	DCP3		13	14.8		2000.

Type of Sample: SS - Split Spoon  
SL - Split Spoon With Liner  
ST - Shelby Tube

\* Standard Penetration Test - Driving 2" OD  
Sampler 18" with 140 # Hammer, Falling 30"  
Count made at 6" intervals.

DRILLING METHOD :Trailer Mounted Auger  
DRILLING FOREMAN :L. Caudill  
BACKFILL MATERIAL:Existing Material

GROUND WATER ENCOUNTERED AT :2' 6" BEG  
GROUND WATER AFTER COMPLETION:2' 6" BEG  
GROUND WATER AFTER :1 Hr.

HASTINGS TESTING ENGINEERS  
AND ENVIRONMENTAL INC.  
"Testing to keep America on a firm foundation"  
4841 GOLF CLUB ROAD • HOWELL, MI 48843

REPORT OF SOIL BORING

TESTED FOR: Joe Rotundo  
20771 Randall  
Farmington Hills, MI 48336

REPORT # :6561  
CLIENT # :4018  
DATE :02/26/20  
PAGE :1

LOCATION :Soil Boring #7 - See Enclosed Diagram

Soil Description	Depth in Feet	Sample & Type	Blow Count *	N Val	% Water	Natural WT. P C F	Unconfined Strength
Organic Soil & Material	0.5						
Silty Brown Clay With Silty	1.0						
Medium Brown Sand	1.5						
	2.0						
Silty Brown Clay	2.5	DCP1		16	13.5		3500.
	3.0						
	3.5						
	4.0						
	4.5						
	5.0	DCP2		14	13.2		3000.
	5.5						
	6.0						
	6.5						
End Of Soil Boring #7	7.0	DCP3		8	16.0		2000.

Type of Sample: SS - Split Spoon  
SL - Split Spoon With Liner  
ST - Shelby Tube

\* Standard Penetration Test - Driving 2" OD  
Sampler 18" with 140 # Hammer, Falling 30"  
Count made at 6" intervals.

DRILLING METHOD :Trailer Mounted Auger  
DRILLING FOREMAN :L. Caudill  
BACKFILL MATERIAL:Existing Material

GROUND WATER ENCOUNTERED AT :3' 0" BEG  
GROUND WATER AFTER COMPLETION:3' 0" BEG  
GROUND WATER AFTER :1 Hr.

HASTINGS TESTING ENGINEERS  
AND ENVIRONMENTAL INC.  
"Testing to keep America on a firm foundation"  
4841 GOLF CLUB ROAD • HOWELL, MI 48843

REPORT OF SOIL BORING

TESTED FOR: Joe Rotundo  
20771 Randall  
Farmington Hills, MI 48336

REPORT # :6562  
CLIENT # :4018  
DATE :02/26/20  
PAGE :1

LOCATION :Soil Boring #8 - See Enclosed Diagram

Soil Description	Depth in Feet	Sample & Type	Blow Count *	N Val	% Water	Natural WT. P C F	Unconfined Strength
Organic Soil & Material	0.5						
Silty Brown Clay	1.0						
	1.5						
	2.0						
	2.5	DCP1		18	12.3		3000.
	3.0						
	3.5						
	4.0						
	4.5						
	5.0	DCP2		12	14.5		2000.
	5.5						
	6.0						
	6.5						
End Of Soil Boring #8	7.0	DCP3		10	16.2		1500.

Type of Sample: SS - Split Spoon  
SL - Split Spoon With Liner  
ST - Shelby Tube

\* Standard Penetration Test - Driving 2" OD  
Sampler 18" with 140 # Hammer, Falling 30"  
Count made at 6" intervals.

DRILLING METHOD :Trailer Mounted Auger  
DRILLING FOREMAN :L. Caudill  
BACKFILL MATERIAL:Existing Material

GROUND WATER ENCOUNTERED AT :  
GROUND WATER AFTER COMPLETION:  
GROUND WATER AFTER :

HASTINGS TESTING ENGINEERS  
AND ENVIRONMENTAL INC.  
"Testing to keep America on a firm foundation"  
4841 GOLF CLUB ROAD • HOWELL, MI 48843

REPORT OF SOIL BORING

TESTED FOR: Joe Rotundo  
20771 Randall  
Farmington Hills, MI 48336

REPORT # :6563  
CLIENT # :4018  
DATE :02/26/20  
PAGE :1

LOCATION :Soil Boring #9 - See Enclosed Diagram

Soil Description	Depth in Feet	Sample & Type	Blow Count *	N Val	% Water	Natural WT. P C F	Unconfined Strength
Organic Soil & Material	0.5						
Silty Brown Clay	1.0						
	1.5						
	2.0						
	2.5	DCP1		6	16.7		1000.
	3.0						
	3.5						
	4.0						
	4.5						
	5.0						
	5.5	DCP2		22	12.5		3000.
	6.0						
	6.5						
End Of Soil Boring #9	7.0	DCP3		16	14.1		2500.

Type of Sample: SS - Split Spoon  
SL - Split Spoon With Liner  
ST - Shelby Tube

\* Standard Penetration Test - Driving 2" OD  
Sampler 18" with 140 # Hammer, Falling 30"  
Count made at 6" intervals.

DRILLING METHOD :Trailer Mounted Auger  
DRILLING FOREMAN :L. Caudill  
BACKFILL MATERIAL:Existing Material

GROUND WATER ENCOUNTERED AT :1' 0" BEG  
GROUND WATER AFTER COMPLETION:1' 0" BEG  
GROUND WATER AFTER :1 Hr.

HASTINGS TESTING ENGINEERS  
AND ENVIRONMENTAL INC.  
"Testing to keep America on a firm foundation"  
4841 GOLF CLUB ROAD • HOWELL, MI 48843

REPORT OF SOIL BORING

TESTED FOR: Joe Rotundo  
20771 Randall  
Farmington Hills, MI 48336

REPORT # :6564  
CLIENT # :4018  
DATE :02/26/20  
PAGE :1

LOCATION :Soil Boring #10 - See Enclosed Diagram

Soil Description	Depth in Feet	Sample & Type	Blow Count *	N Val	% Water	Natural WT. P C F	Unconfined Strength
Organic Soil & Material	0.5						
Silty Brown Clay	1.0						
	1.5						
	2.0						
	2.5	DCP1		14	13.5		2000.
	3.0						
	3.5						
	4.0						
	4.5						
Silty Medium Brown Sand	5.0	DCP2		18	8.6		
	5.5						
Silty Brown Clay	6.0						
	6.5						
End Of Soil Boring #10	7.0	DCP3		13	14.8		1500.

Type of Sample: SS - Split Spoon  
SL - Split Spoon With Liner  
ST - Shelby Tube

\* Standard Penetration Test - Driving 2" OD  
Sampler 18" with 140 # Hammer, Falling 30"  
Count made at 6" intervals.

DRILLING METHOD :Trailer Mounted Auger  
DRILLING FOREMAN :L. Caudill  
BACKFILL MATERIAL:Existing Material

GROUND WATER ENCOUNTERED AT :2' 6" BEG  
GROUND WATER AFTER COMPLETION:2' 6" BEG  
GROUND WATER AFTER :1 Hr.

**811**  
Know what's below.  
Call before you dig.

3 WORKING DAYS  
BEFORE YOU DIG  
CALL 811 OR 1-800-482-7171  
(TOLL FREE)  
OR VISIT CALL811.COM

**DESIGN INC.**  
(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	2-24-22	REVISED PRELIMINARY SITE PLAN			
CHECK: WMP						

VILLAS OF  
HARTLAND

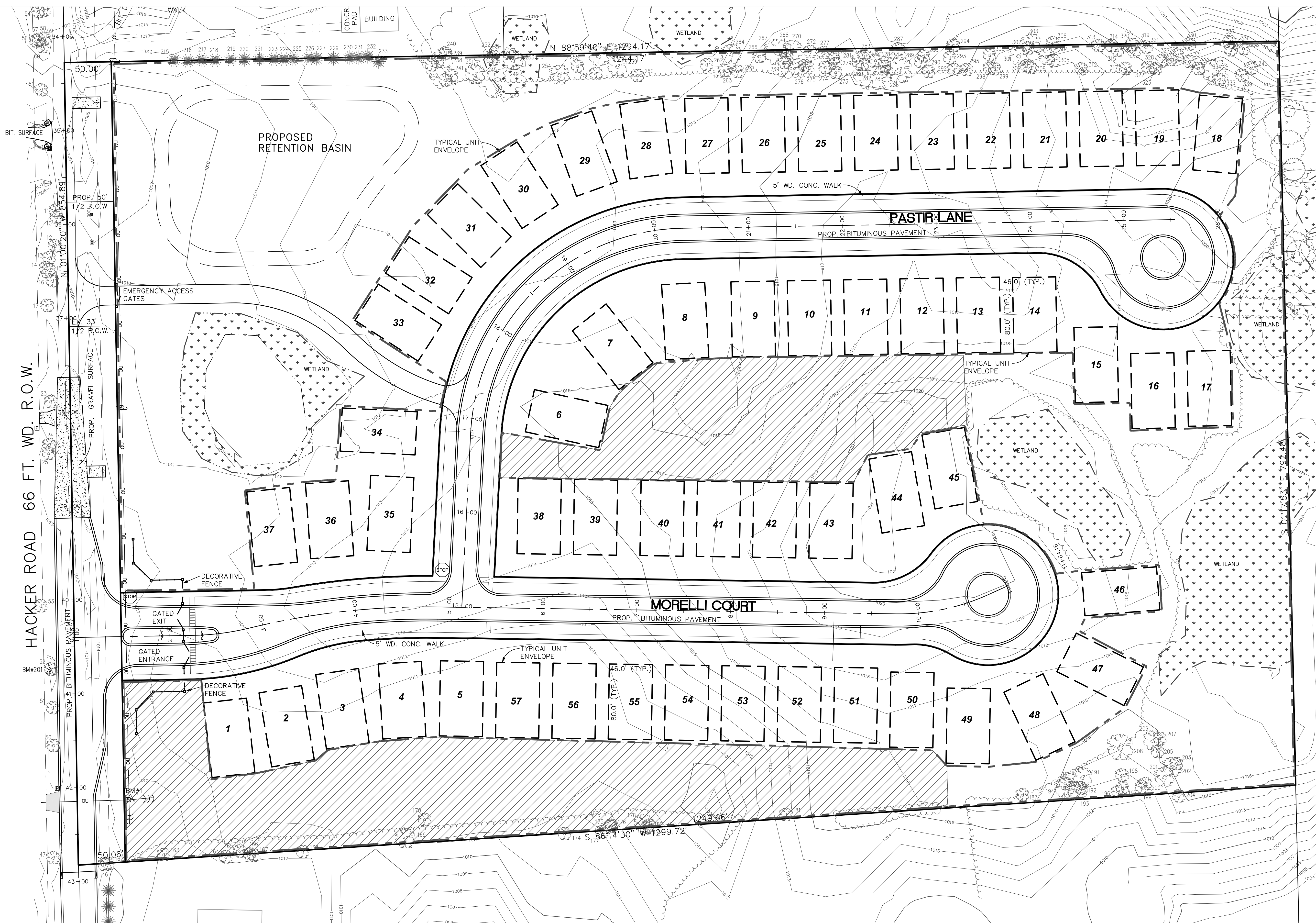
SOIL BORING LOGS

CLIENT:  
HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MI 4836-5320

SCALE: NONE  
PROJECT No.: 152775  
DWG NAME: 2775 GR  
ISSUED: FEB. 24, 2022

GR3





**GRAPHIC SCALE**  
50 0 25 50 100  
( IN FEET )  
1 INCH = 50 FEET

**LEGEND**

- SIGN
- UTILITY POLE W/GUY WIRE
- OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
- U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
- EDGE OF BRUSH LINE
- EDGE OF WOODS / TREE DRIP LINE
- DECIDUOUS TREE W/IDENTIFIER
- CONIFEROUS TREE W/IDENTIFIER
- FENCE (AS NOTED)
- EDGE OF GRAVEL
- CONCRETE CURB (AS NOTED)
- EDGE OF WETLANDS/SWAMP
- SANITARY SEWER MANHOLE
- EX. SANITARY SEWER PIPE
- STORM WATER MANHOLE
- CATCH BASIN W/IDENTIFIER
- FLARED END SECTION
- EX. STORM WATER DRAINAGE PIPE
- EX. HYDRANT
- EX. WATER SHUT OFF
- EX. WATER GATE VALVE WELL
- EX. WATER VALVE BOX
- EX. WATER MAIN
- EX. 1' CONTOUR
- EX. 5' CONTOUR
- PROP. UNIT ENVELOPE
- PROP. 2' CONC. CURB
- PROPOSED PAVEMENT
- PROPOSED GRAVEL SURFACE
- OPEN SPACE LINE
- USABLE OPEN SPACE

<b>SITE DATA TABLE</b>	
TAX ID.	18-19-300-013 18-19-300-014
TOTAL SITE AREA:	24.51 AC.
OPEN SPACE:	
REQUIRED:	25% OF TOTAL AREA 24.51x.25 = 6.13 AC. 10% OF TOTAL AREA AS USABLE 24.51x.10 = 2.45 AC.
PROVIDED:	10.71 AC. = 44% 3.08 AC. AS USABLE

**BENCHMARK**  
DATUM BASED ON PREVIOUS BENCHMARK AS  
DEPICTED ON SITE PLANS BY DESINE INC.  
DATUM "NGVD 29"

BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED  
WEST SIDE OF HACKER RD AND 1072± FEET  
NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE,  
LOCATED 55± FEET EAST OF THE CENTERLINE  
OF HACKER ROAD, IN THE SOUTHWEST CORNER  
OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)

Know what's below.  
Call before you dig.

3 WORKING DAYS  
BEFORE YOU DIG  
CALL 811 OR 1-800-482-7171  
(TOLL FREE)  
OR VISIT CALL811.COM

(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLEES DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	1-4-21	REVISED PER REVIEW COMMENTS			
CHECK: WMP	1	2-24-22	REVISED PRELIMINARY SITE PLAN			

VILLAS OF  
HARTLAND

OPEN SPACE PLAN

CLIENT:  
HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MI 48336-5320

SCALE: 1in. = 50ft.  
PROJECT No.: 152775  
DWG NAME: 2775 OS  
ISSUED: FEB. 24, 2022

OS

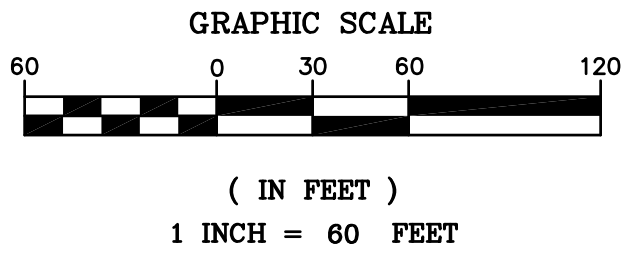
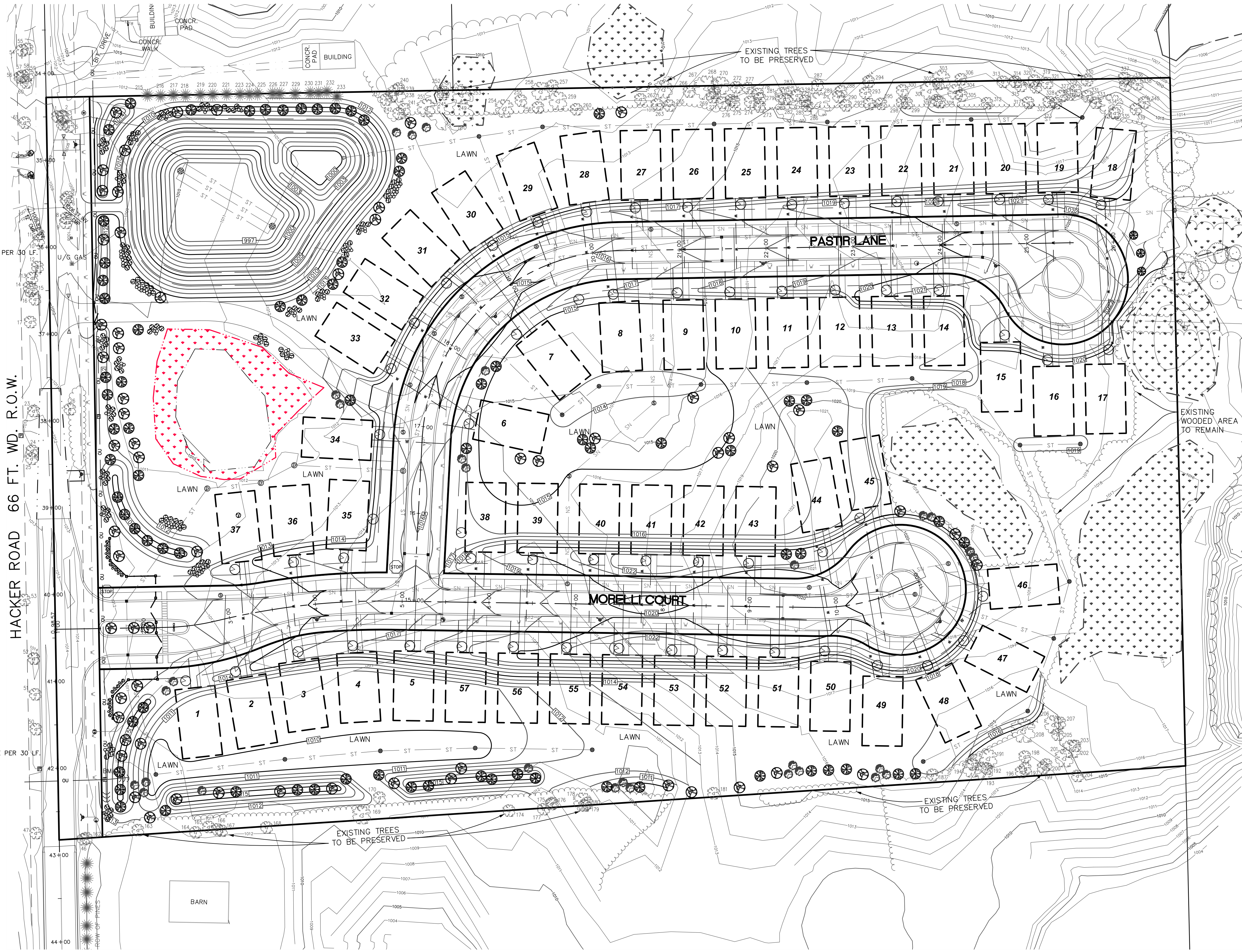


RETENTION BASIN SCREENING  
1 CANOPY/EVERGREEN TREE PER 30 LF. OF PERIMETER.  
10 SHRUBS PER 50 LF. OF PERIMETER.  
883/50 = 18 TREES  
(883/50)x10 = 180 SHRUBS

FRONTAGE BUFFER  
1 CANOPY/EVERGREEN TREE PER 30 LF.  
1 SHRUB PER 20 LF. +2  
563/30 = 19 TREES  
(563/20)+2 = 31 SHRUBS

FRONTAGE BUFFER  
1 CANOPY/EVERGREEN TREE PER 30 LF.  
1 SHRUB PER 20 LF. +2  
194/30 = 7 TREES  
(194/20)+2 = 12 SHRUBS

HACKER ROAD 66 FT. WD. R.O.W.



- LEGEND**
- = SIGN
  - = UTILITY POLE W/GUY WIRE
  - = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
  - = U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
  - = EDGE OF BRUSH LINE
  - = EDGE OF WOODS / TREE DRIP LINE
  - = DECIDUOUS TREE W/IDENTIFIER
  - = CONIFEROUS TREE W/IDENTIFIER
  - = FENCE (AS NOTED)
  - = EDGE OF GRAVEL
  - = CONCRETE CURB (AS NOTED)
  - = EDGE OF WETLANDS/SWAMP
  - = SANITARY SEWER MANHOLE
  - = EX. SANITARY SEWER PIPE
  - = STORM WATER MANHOLE
  - = CATCH BASIN W/IDENTIFIER
  - = FLARED END SECTION
  - = EX. STORM WATER DRAINAGE PIPE
  - = EX. HYDRANT
  - = EX. WATER SHUT OFF
  - = EX. WATER GATE VALVE WELL
  - = EX. WATER VALVE BOX
  - = EX. WATER MAIN
  - = EX. 1' CONTOUR
  - = EX. 5' CONTOUR
  - = PROP. UNIT ENVELOPE
  - = PROP. 2' CONC. CURB
  - = PROP. SANITARY SEWER
  - = PROP. STORM SEWER
  - = PROP. WATER MAIN
  - = PROP. HYDRANT
  - = PROP. WATER VALVE
  - = PROP. 1' CONTOUR
  - = PROP. 5' CONTOUR

**PLANT LEGEND**

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
	79	Picea glauca	White Spruce	8" HEIGHT	B&B
		Abies Concolor	Concolor Fir	5" SPREAD	B&B
		Pinus strobus	White Pine		B&B
	60	Acer rubrum	Red Sunset Maple		B&B
		Acer saccharum "Commemoration"	Commemoration Sugar Maple	3" CALIPER	B&B
		Tilia Tomentosa	Silver Linden		B&B
	36	Kerria Japonica	Japanese Kerria	24"	2 Gal.
		Chaenomeles Speciosa	Chinese Flowering Quince	24"	2 Gal.
		Cornus Alba	Tatarian Dogwood	24"	2 Gal.
		Syringa Patula	Miss Kim Lilac	24"	2 Gal.
	230	Euonymus alatus Compactus	Dwarf Burning Bush	24"	2 Gal.
		Physocarpus opulifolius	Common Ninebark	24"	2 Gal.
		Ilex verticillata	Winterberry Holly	24"	2 Gal.
	29	Magnolia Spellata	Star Magnolia		B&B
		Malus Floribunda	Japanese Flowering Crabapple	2" CALIPER	B&B
		Cornus Florida	Flowering Dogwood		B&B
	60	Acer rubrum	Red Sunset Maple		B&B
		Acer saccharum "Commemoration"	Commemoration Sugar Maple	3" CALIPER	B&B
		Tilia Tomentosa	Silver Linden		B&B

NOTE: STREET TREES TO BE PLANTED AT TIME OF UNIT COMPLETION. MINIMUM ONE PER UNIT EXCEPT UNITS 35, & 38 THAT SHALL REQUIRE ONE PER SIDE WITH STREET FRONTAGE.

**BENCHMARK**

DATUM BASED ON PREVIOUS BENCHMARK AS  
DEPICTED ON SITE PLANS BY DESINE INC.  
DATUM "NGVD 29"

BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED  
WEST SIDE OF HACKER RD AND 1072± FEET  
NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE,  
LOCATED 55± FEET EAST OF THE CENTERLINE  
OF HACKER ROAD, IN THE SOUTHWEST CORNER  
OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)

**811**  
Know what's below.  
Call before you dig.

3 WORKING DAYS  
BEFORE YOU DIG  
CALL 811 OR 1-800-482-7171  
(TOLL FREE)  
OR VISIT CALL811.COM

**DESINE INC.**  
(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG CHECK: WMP	1	1-4-21	REVISED PER REVIEW COMMENTS			
	2	1-29-21	REVISED PER REVIEW COMMENTS			
	3	2-24-22	REVISED PRELIMINARY SITE PLAN			
	4	6-7-22	REVISED PER PLANNING COMMISSION RECOMMENDATIONS			

VILLAS OF  
HARTLAND

LANDSCAPE PLAN

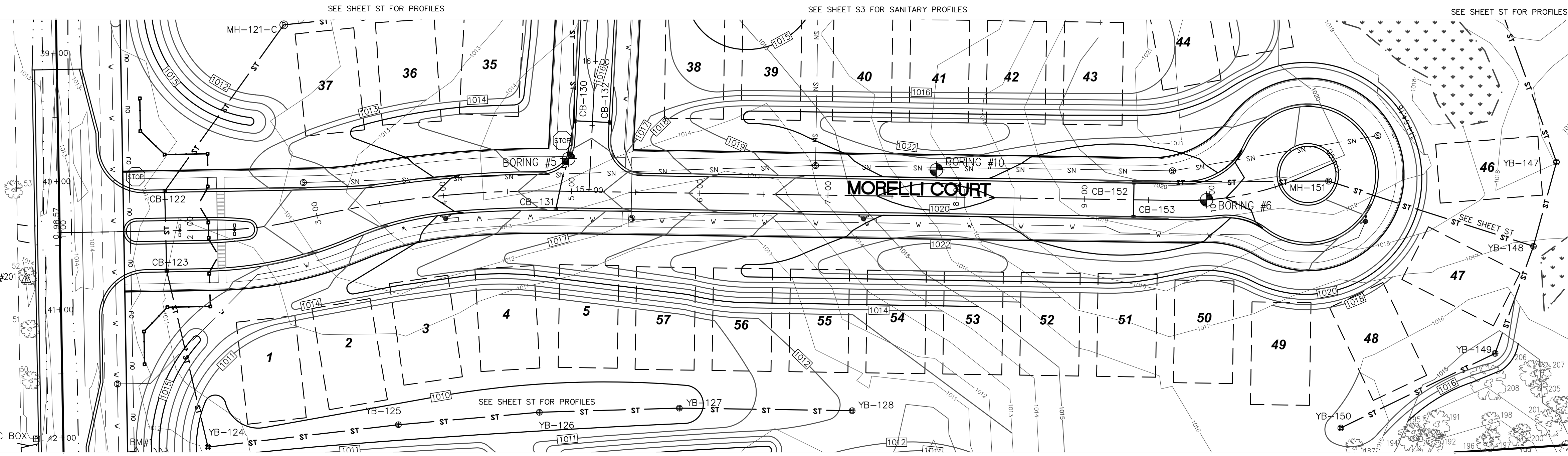
CLIENT:  
HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MI 4836-5320

SCALE: 1in. = 60ft.  
PROJECT No.: 152775  
DWG NAME: 2775 LS  
ISSUED: JUNE 7, 2022

LS

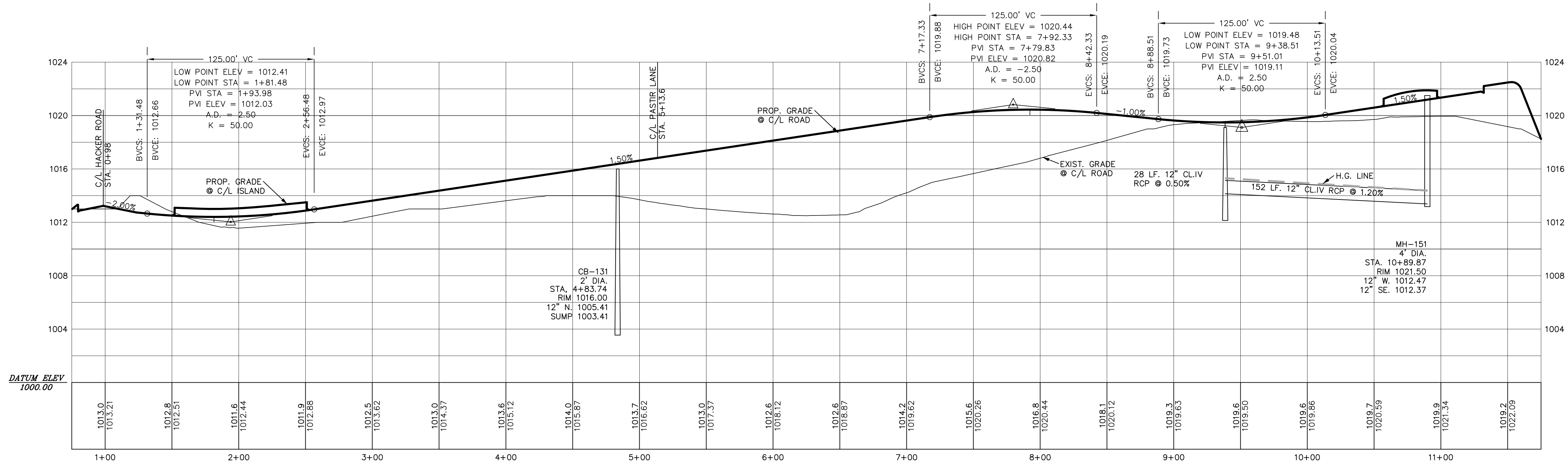


HACKER ROAD 66 FT. WD. R.O.W.



PLAN  
SCALE: 1in. = 50ft.

- LEGEND**
- STOP SIGN = SIGN
  - UTILITY POLE W/GUY WIRE
  - OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
  - U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTIC/CABLE TV/MISC UTILITIES)
  - EDGE OF BRUSH LINE
  - EDGE OF WOODS / TREE DRIP LINE
  - DECIDUOUS TREE W/IDENTIFIER
  - CONIFEROUS TREE W/IDENTIFIER
  - FENCE (AS NOTED)
  - EDGE OF GRAVEL
  - CONCRETE CURB (AS NOTED)
  - EDGE OF WETLANDS/SWAMP
  - SANITARY SEWER MANHOLE
  - SANITARY SEWER PIPE
  - STORM WATER MANHOLE
  - CATCH BASIN W/IDENTIFIER
  - FLARED END SECTION
  - EX. STORM WATER DRAINAGE PIPE
  - EX. HYDRANT
  - EX. WATER SHUT OFF
  - EX. WATER GATE VALVE WELL
  - EX. WATER VALVE BOX
  - EX. WATER MAIN
  - EX. 1' CONTOUR
  - EX. 5' CONTOUR
  - PROP. UNIT ENVELOPE
  - PROP. 2' CONC. CURB
  - PROP. SANITARY SEWER
  - PROP. STORM SEWER
  - PROP. WATER MAIN
  - PROP. HYDRANT
  - PROP. WATER VALVE
  - PROP. 1' CONTOUR
  - PROP. 5' CONTOUR



PROFILE  
SCALE: HORIZ. 1in. = 50ft.  
VERT. 1in. = 5ft.

**BENCHMARK**  
DATUM BASED ON PREVIOUS BENCHMARK AS  
DEPICTED ON SITE PLANS BY DESINE INC.  
DATUM "NGVD 29"

BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED  
WEST SIDE OF HACKER RD AND 1072± FEET  
NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE,  
LOCATED 55± FEET EAST OF THE CENTERLINE  
OF HACKER ROAD, IN THE SOUTHWEST CORNER  
OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)

**811**  
Know what's below.  
Call before you dig.

3 WORKING DAYS  
BEFORE YOU DIG  
CALL 811 OR 1-800-482-7171  
(TOLL FREE)  
OR VISIT CALL811.COM

**DESINE INC.**  
(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	1-4-21	REVISED PER REVIEW COMMENTS			
CHECK: WMP	2	2-24-22	REVISED PRELIMINARY SITE PLAN			

VILLAS OF  
HARTLAND

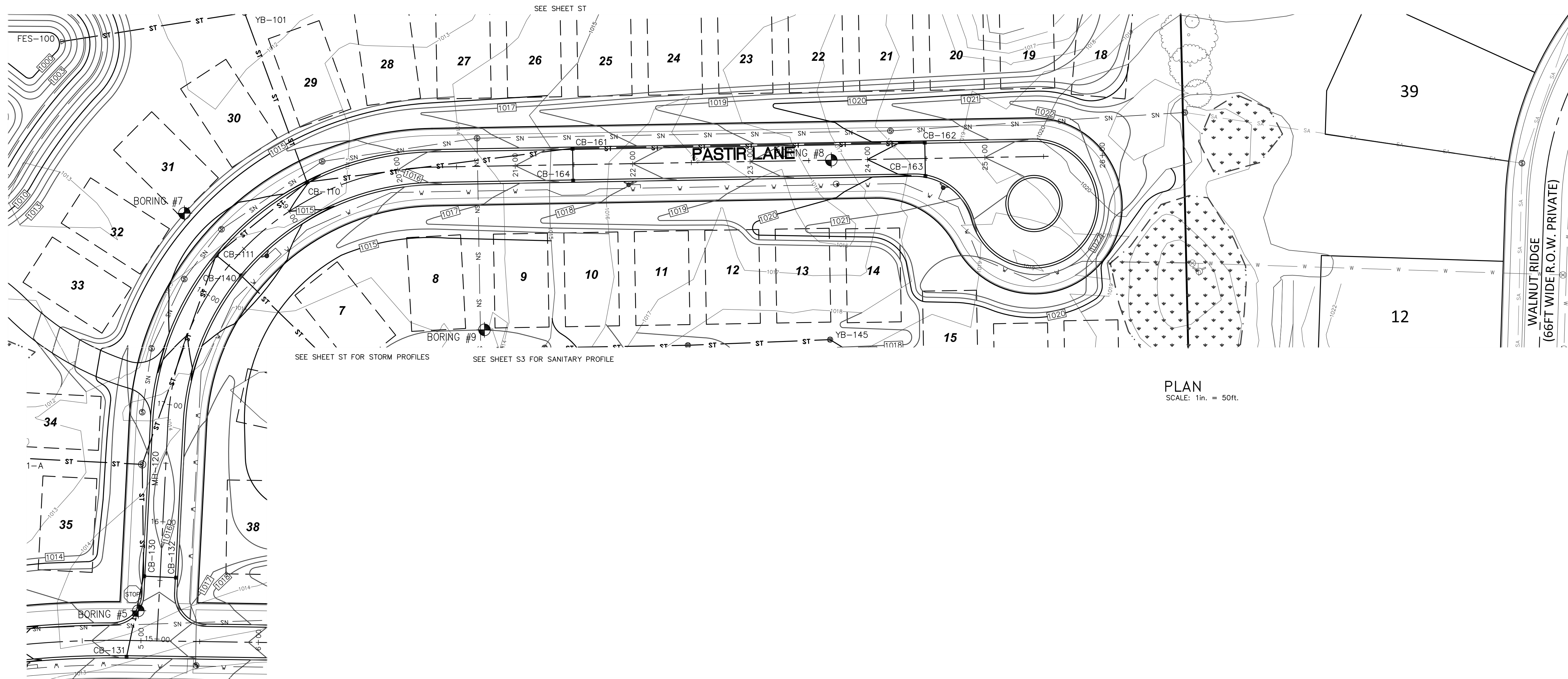
MORELLI COURT  
ROAD AND STORM  
PLAN & PROFILE

CLIENT:  
HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MICHIGAN 48336

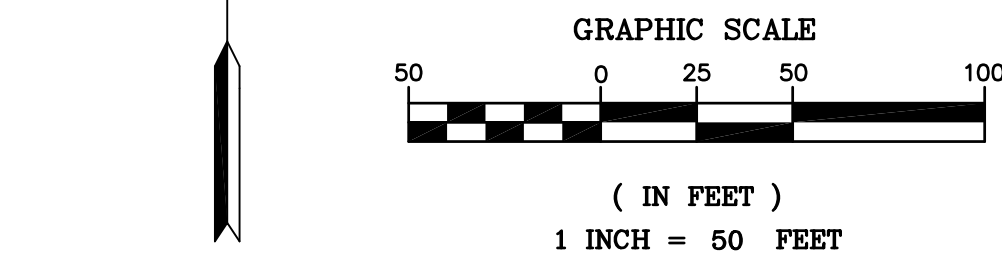
SCALE: 1in. = 50ft.  
PROJECT No.: 152775  
DWG NAME: 2775 R  
ISSUED: FEB. 24, 2022

R1





PLAN  
SCALE: 1in. = 50ft.



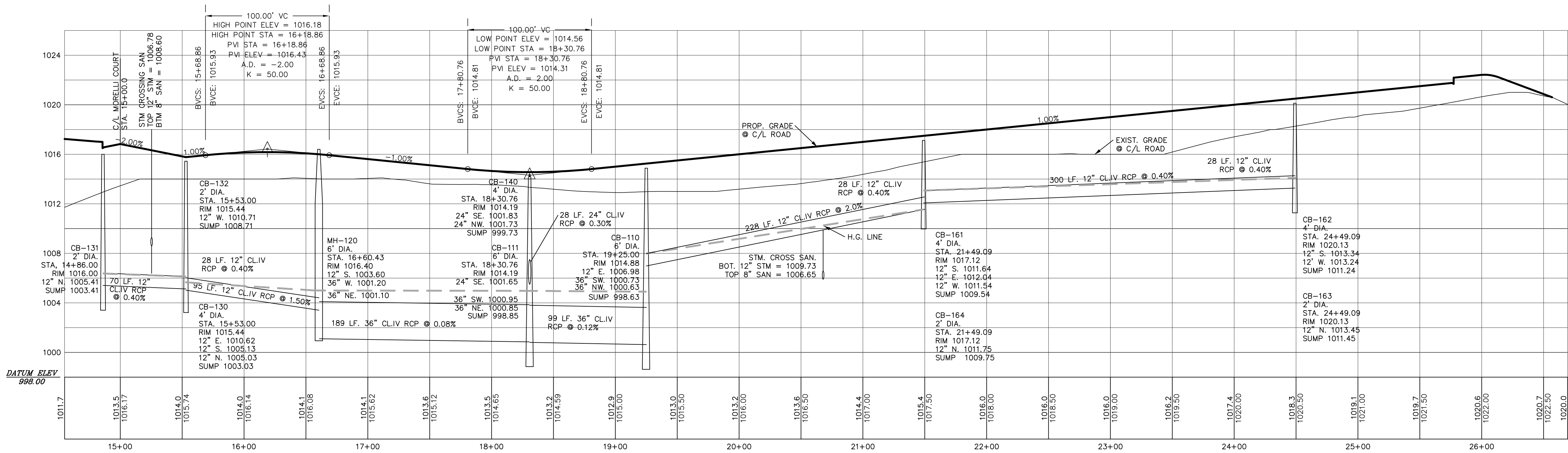
- LEGEND**
- = SIGN
  - = UTILITY POLE W/GUY WIRE
  - = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
  - = U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
  - = EDGE OF BRUSH LINE
  - = EDGE OF WOODS / TREE DRIP LINE
  - = DECIDUOUS TREE W/IDENTIFIER
  - = CONIFEROUS TREE W/IDENTIFIER
  - = FENCE (AS NOTED)
  - = EDGE OF GRAVEL
  - = CONCRETE CURB (AS NOTED)
  - = EDGE OF WETLANDS/SWAMP
  - = SANITARY SEWER MANHOLE
  - = EX. SANITARY SEWER PIPE
  - = STORM WATER MANHOLE
  - = CATCH BASIN W/IDENTIFIER
  - = FLARED END SECTION
  - = EX. STORM WATER DRAINAGE PIPE
  - = EX. HYDRANT
  - = EX. WATER SHUT OFF
  - = EX. WATER GATE VALVE WELL
  - = EX. WATER VALVE BOX
  - = EX. WATER MAIN
  - = EX. 1' CONTOUR
  - = EX. 5' CONTOUR
  - = PROP. UNIT ENVELOPE
  - = PROP. 2' CONC. CURB
  - = PROP. SANITARY SEWER
  - = PROP. STORM SEWER
  - = PROP. WATER MAIN
  - = PROP. HYDRANT
  - = PROP. WATER VALVE
  - = PROP. 1' CONTOUR
  - = PROP. 5' CONTOUR

**BENCHMARK**

DATUM BASED ON PREVIOUS BENCHMARK AS  
DEPICTED ON SITE PLANS BY DESINE INC.  
DATUM "NGVD 29"

BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED  
WEST SIDE OF HACKER RD AND 1072± FEET  
NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE,  
LOCATED 55± FEET EAST OF THE CENTERLINE  
OF HACKER ROAD, IN THE SOUTHWEST CORNER  
OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)



PROFILE  
SCALE: HORIZ. 1in. = 50ft.  
VERT. 1in. = 5ft.

**811**  
Know what's below.  
Call before you dig.

3 WORKING DAYS  
BEFORE YOU DIG  
CALL 811 OR 1-800-482-7171  
(TOLL FREE)  
OR VISIT CALL811.COM

**DESINE INC.**  
(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	2-24-22	REVISED PRELIMINARY SITE PLAN			
CHECK: WMP						

VILLAS OF  
HARTLAND

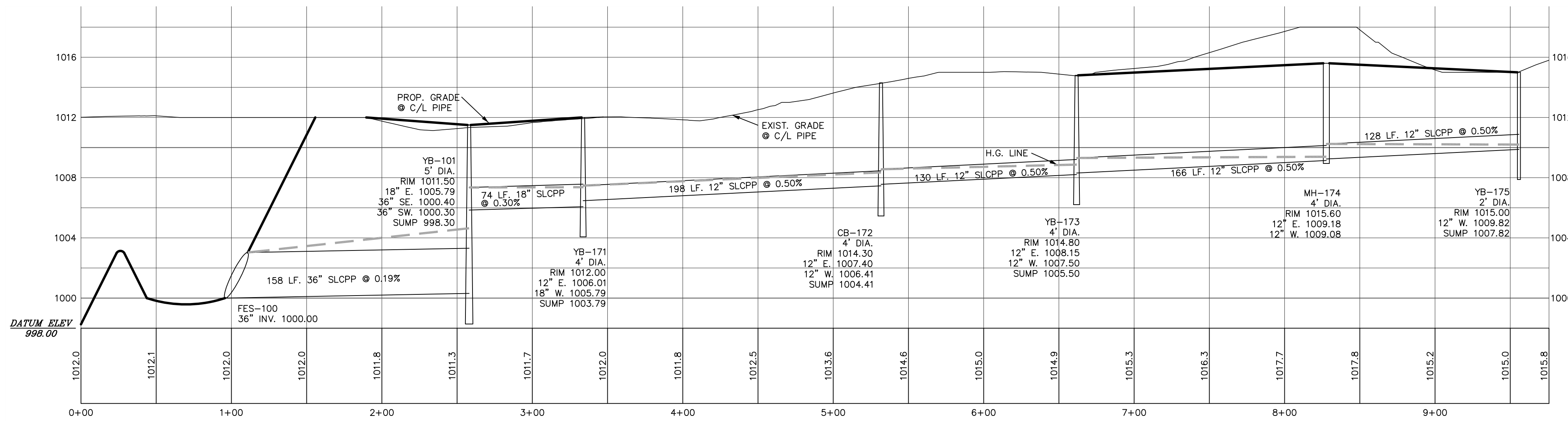
PASTIR LANE  
ROAD AND STORM  
PLAN & PROFILE

CLIENT:  
HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MICHIGAN 48336

SCALE: 1in. = 50ft.  
PROJECT No.: 152775  
DWG NAME: 2775 R  
ISSUED: FEB. 24, 2022

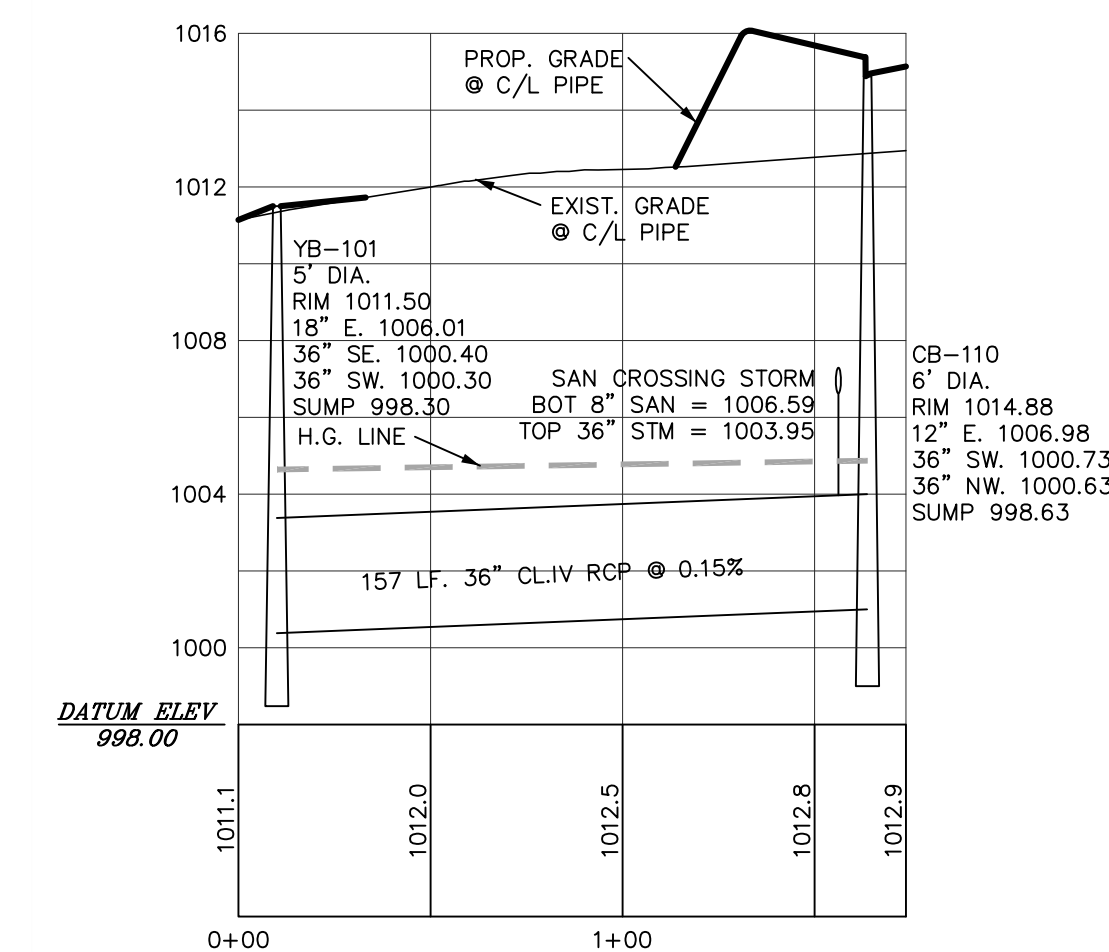
R2





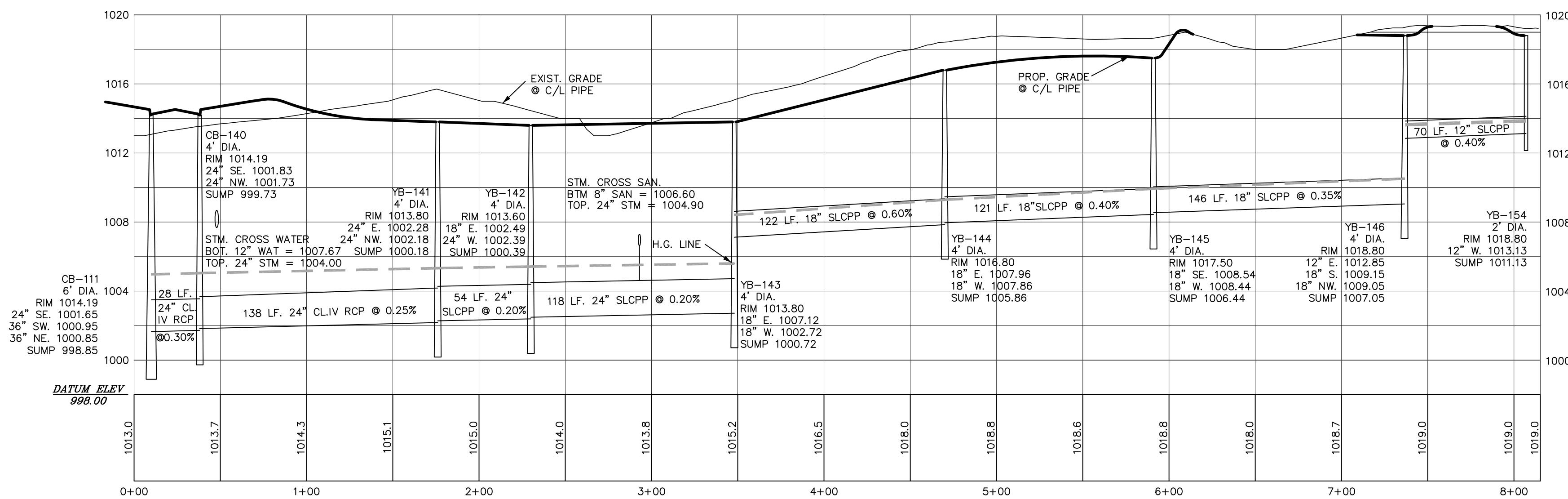
PROFILE: FES-100 THRU YB-175

SCALE: HORIZ. 1in. = 50ft.  
VERT. 1in. = 5ft.



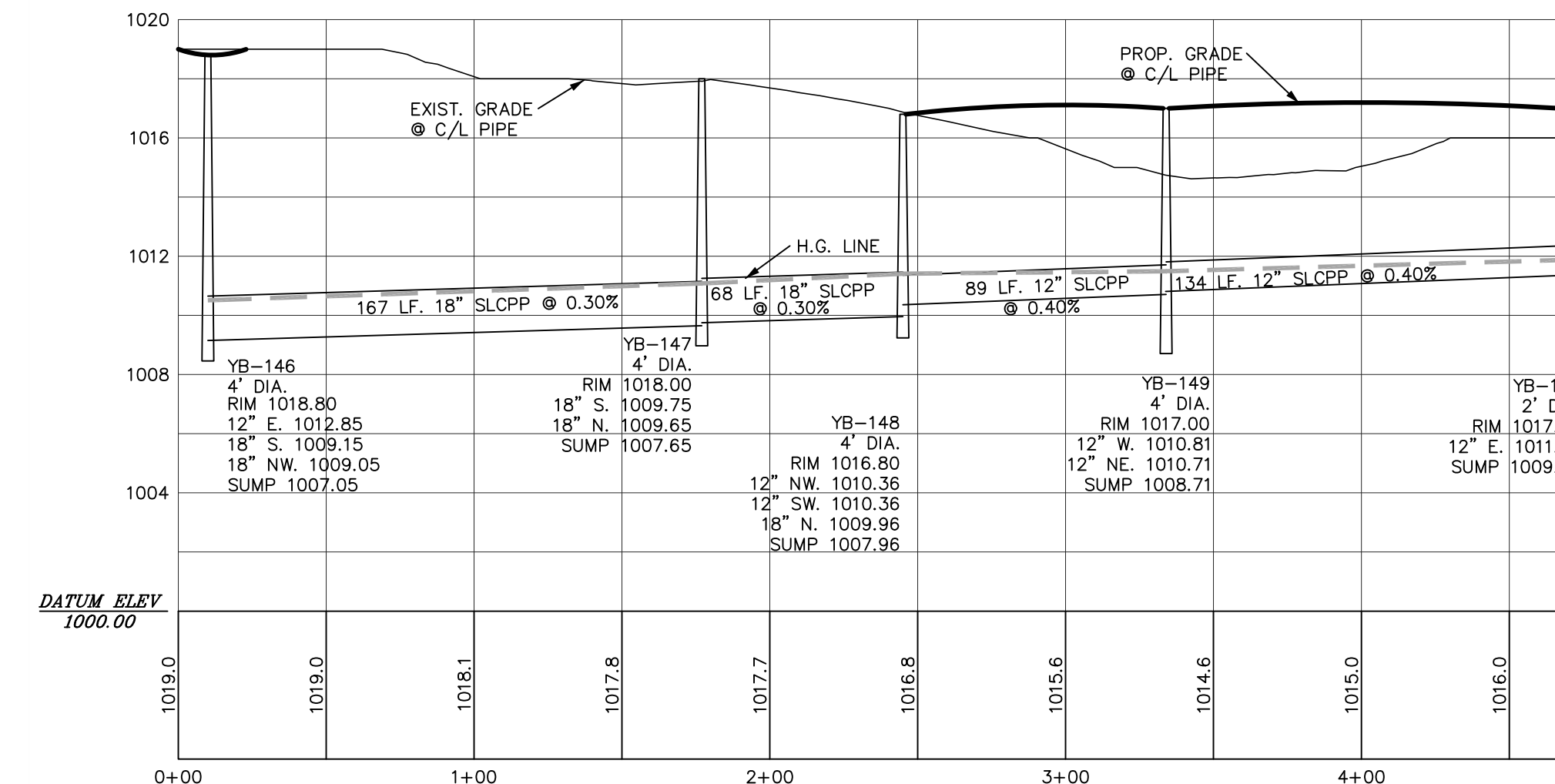
PROFILE: YB-101 THRU CB-110

SCALE: HORIZ. 1in. = 50ft.  
VERT. 1in. = 5ft.



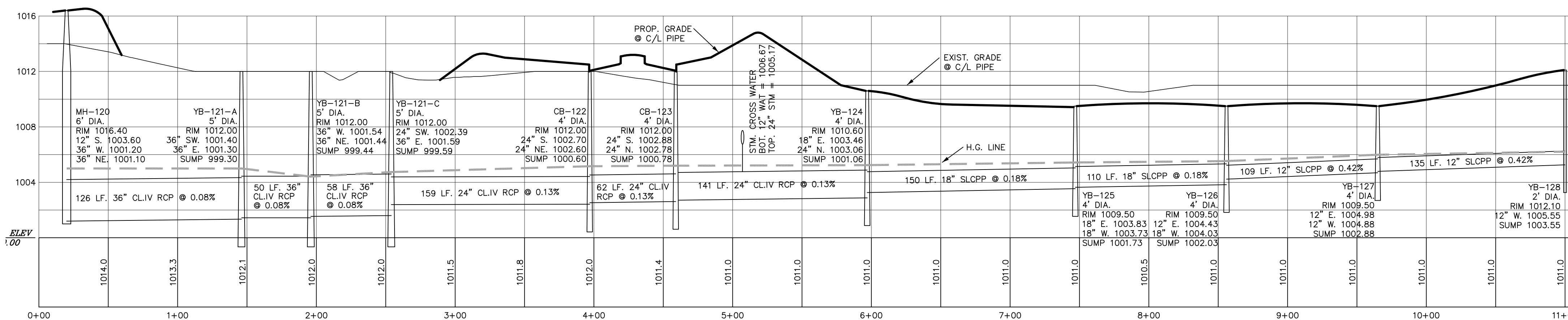
PROFILE: CB-111 THRU YB-154

SCALE: HORIZ. 1in. = 50ft.  
VERT. 1in. = 5ft.



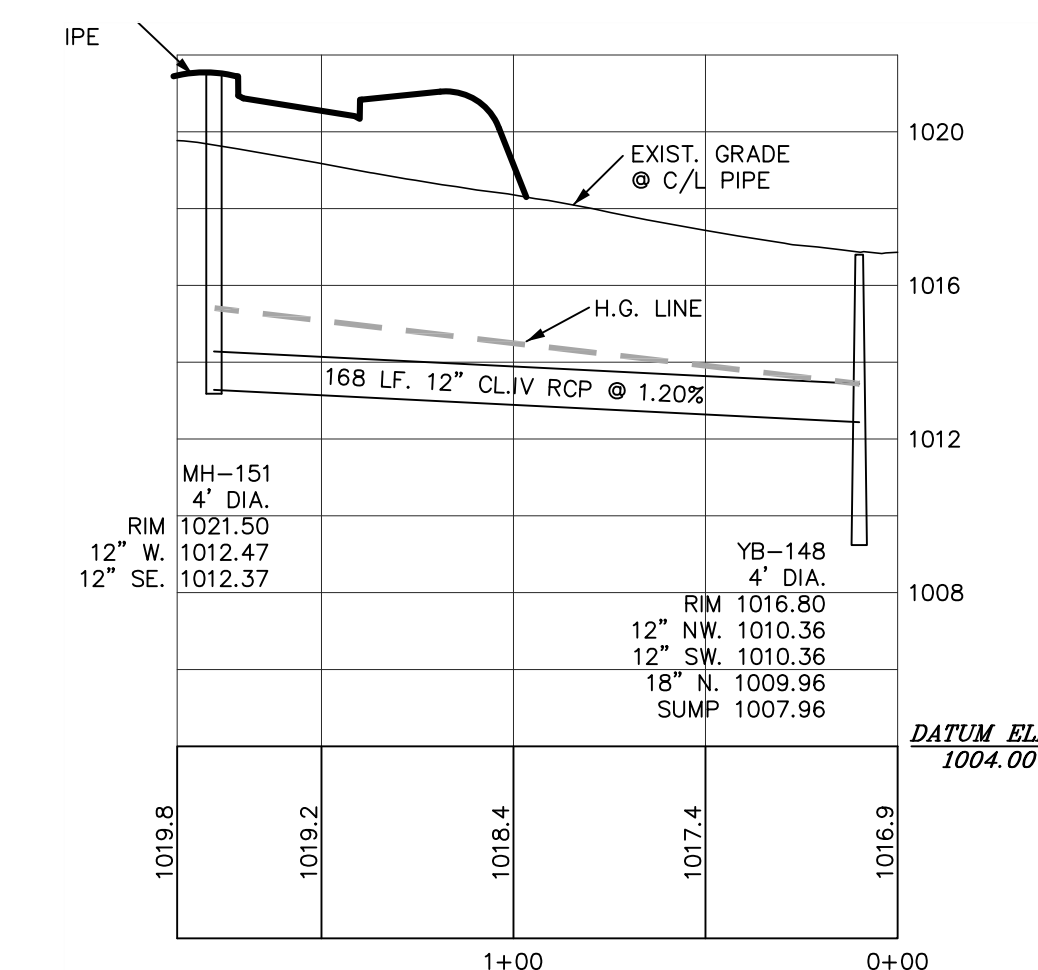
PROFILE: YB-146 THRU YB-150

SCALE: HORIZ. 1in. = 50ft.  
VERT. 1in. = 5ft.



PROFILE: MH-120 THRU YB-128

SCALE: HORIZ. 1in. = 50ft.  
VERT. 1in. = 5ft.



PROFILE: MH-151 THRU YB-148

SCALE: HORIZ. 1in. = 50ft.  
VERT. 1in. = 5ft.

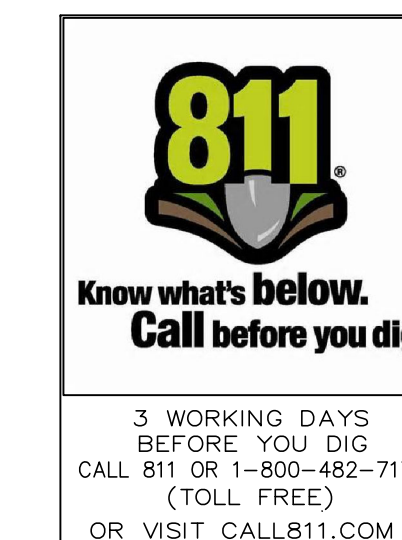
DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	2-24-22	REVISED PRELIMINARY SITE PLAN			
CHECK: WMP						

VILLAS OF  
HARTLAND

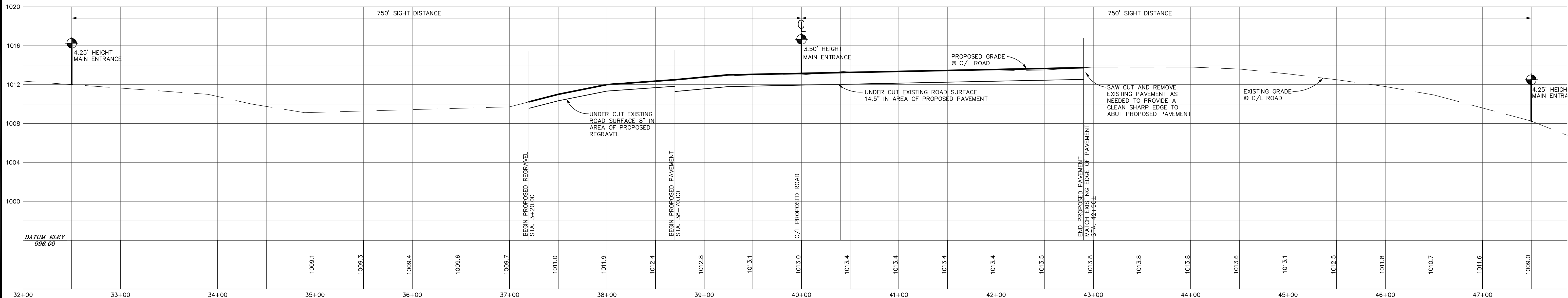
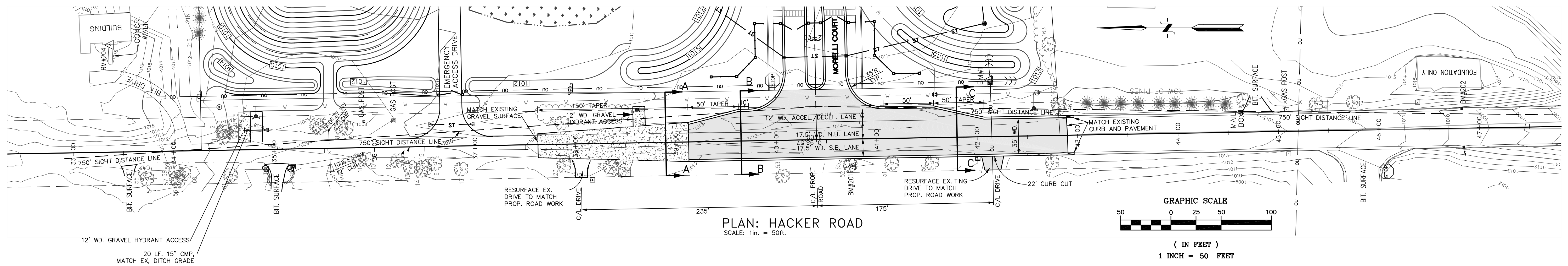
STORM SEWER PROFILES

CLIENT:	SCALE: 1in. = 50ft.
HACKER ROAD LLC	PROJECT No.: 152775
20771 RANDALL	DWG NAME: 2775 R
FARMINGTON HILLS, MICHIGAN 48336	ISSUED: FEB. 24, 2022

ST







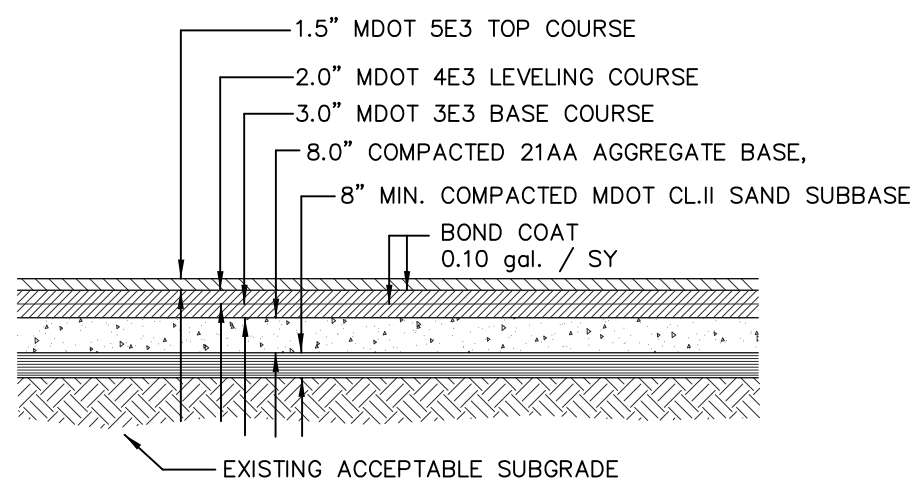
PROFILE: HACKER ROAD  
SCALE: HORIZ. 1in. = 50ft.  
VERT. 1in. = 5ft.

#### BENCHMARK

DATUM BASED ON PREVIOUS BENCHMARK AS  
DEPICTED ON SITE PLANS BY DESINE INC.  
DATUM "NGVD 29"

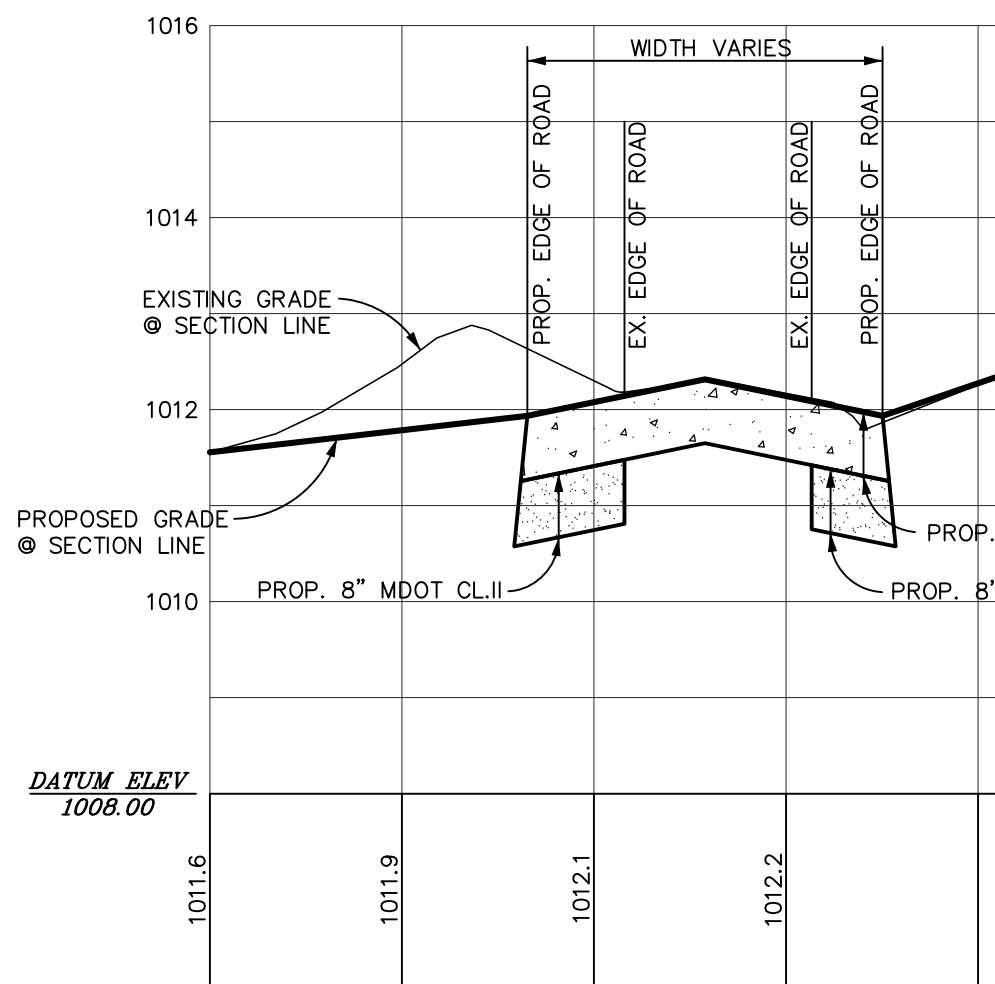
BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED  
WEST SIDE OF HACKER RD AND 1072± FEET  
NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE,  
LOCATED 55± FEET EAST OF THE CENTERLINE  
OF HACKER ROAD, IN THE SOUTHWEST CORNER  
OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)

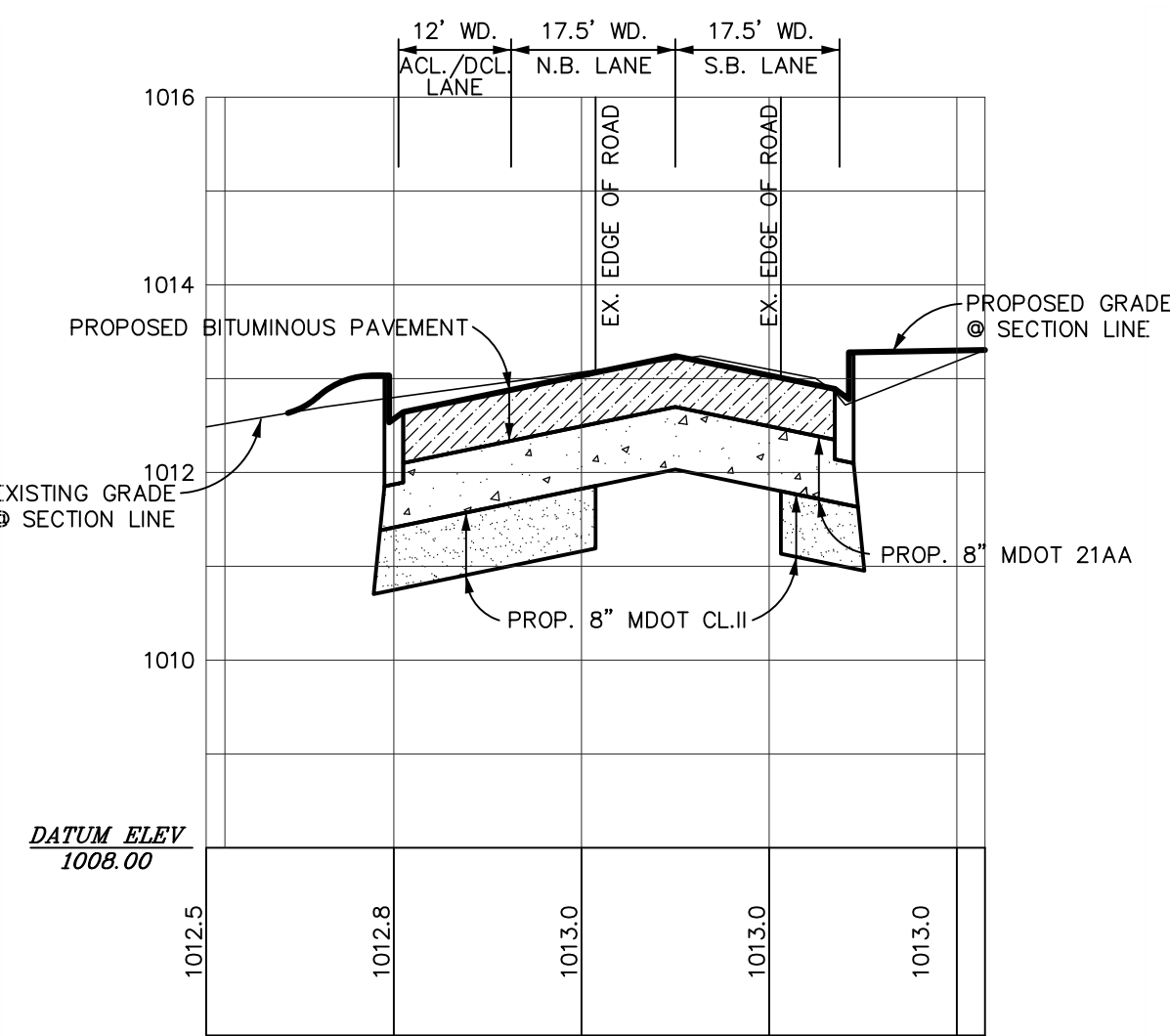


#### BITUMINOUS PAVEMENT A CROSS-SECTION

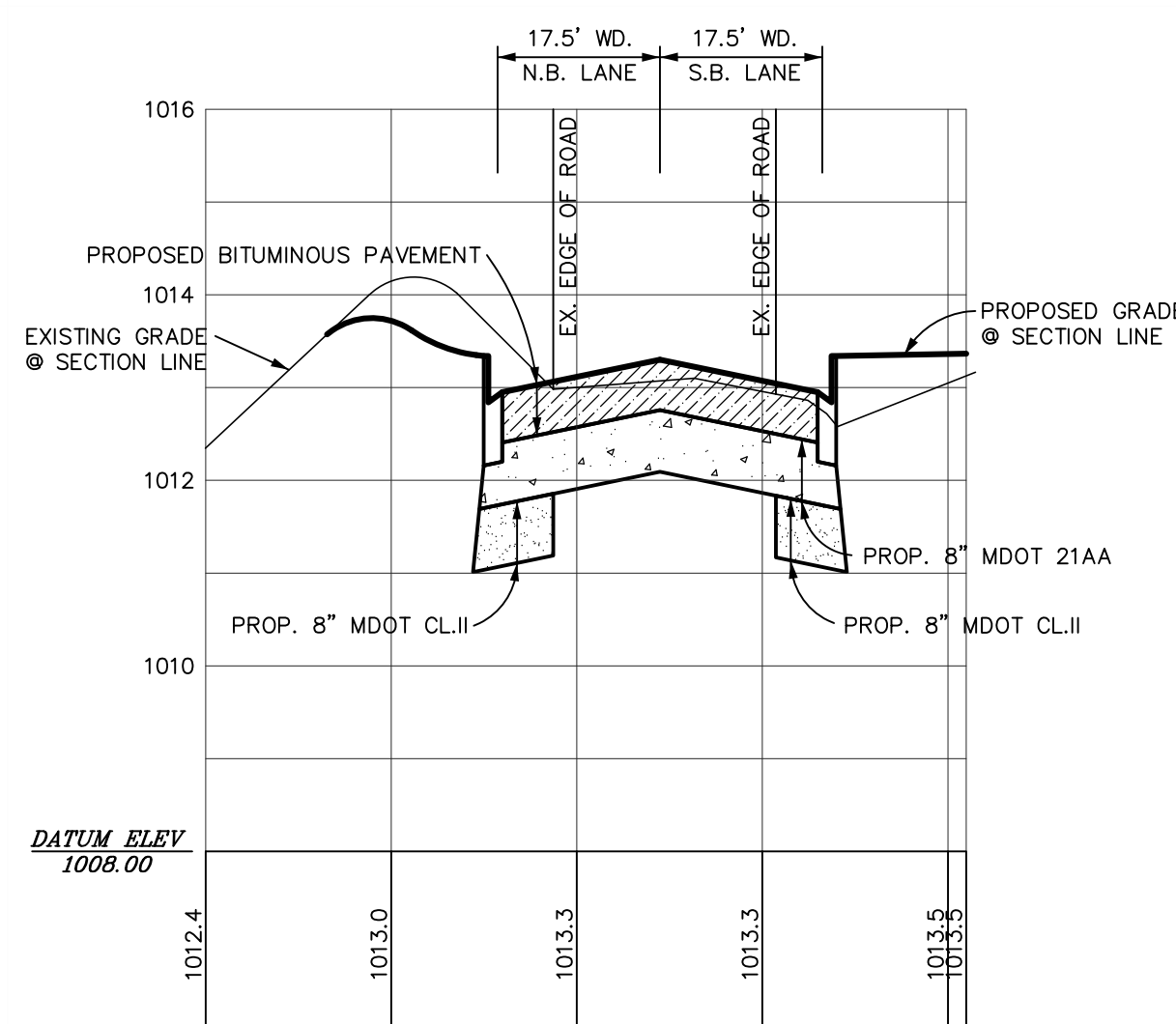
NOT TO SCALE  
(FOR USE WITHIN HACKER ROAD R.O.W.)



SECTION A-A  
SCALE: HORIZ. 1in. = 20ft.  
VERT. 1in. = 2ft.

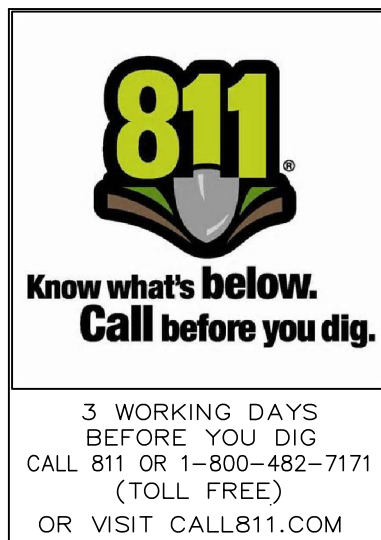


SECTION B-B  
SCALE: HORIZ. 1in. = 20ft.  
VERT. 1in. = 2ft.



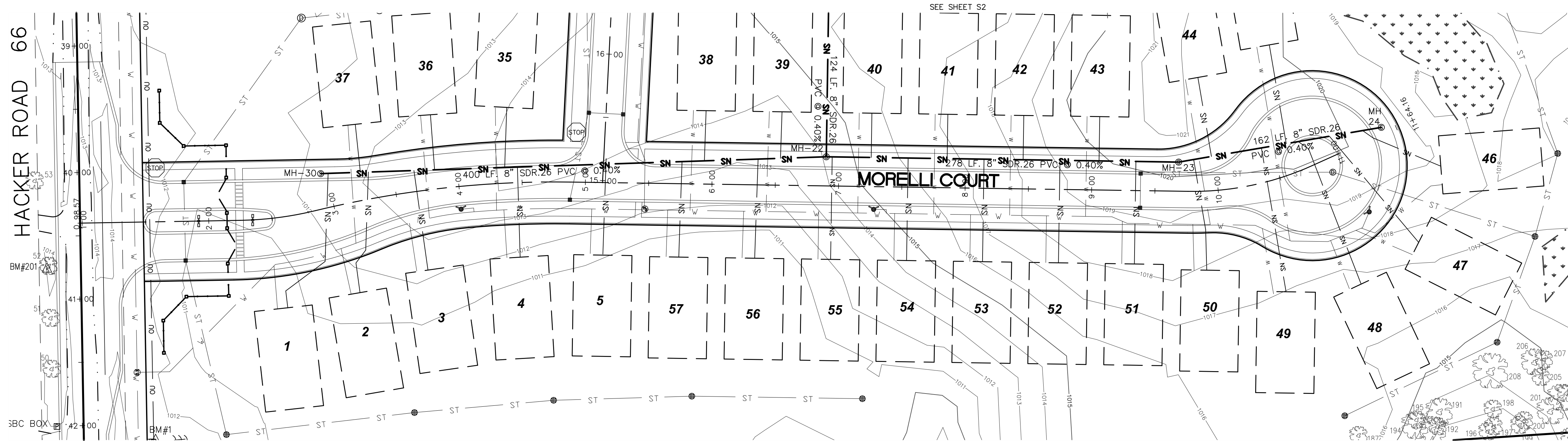
SECTION C-C  
SCALE: HORIZ. 1in. = 20ft.  
VERT. 1in. = 2ft.

- LEGEND**
- SIGN
  - UTILITY POLE W/GUY WIRE
  - OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
  - U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
  - EDGE OF BRUSH LINE
  - EDGE OF WOODS / TREE DRIP LINE
  - DECIDUOUS TREE W/IDENTIFIER
  - CONIFEROUS TREE W/IDENTIFIER
  - FENCE (AS NOTED)
  - EDGE OF GRAVEL
  - CONCRETE CURB (AS NOTED)
  - EDGE OF WETLANDS/SWAMP
  - SANITARY SEWER MANHOLE
  - EX. SANITARY SEWER PIPE
  - STORM WATER MANHOLE
  - CATCH BASIN W/IDENTIFIER
  - FLARED END SECTION
  - EX. STORM WATER DRAINAGE PIPE
  - EX. HYDRANT
  - EX. WATER SHUT OFF
  - EX. WATER GATE VALVE WELL
  - EX. WATER VALVE BOX
  - EX. WATER MAIN
  - EX. 1' CONTOUR
  - EX. 5' CONTOUR
  - PROP. UNIT ENVELOPE
  - PROP. 2' CONC. CURB
  - PROP. SANITARY SEWER
  - PROP. STORM SEWER
  - PROP. WATER MAIN
  - PROP. HYDRANT
  - PROP. WATER VALVE



DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION	VILLAS OF HARTLAND	HACKER ROAD PLAN, PROFILE, AND SECTIONS	CLIENT:	SCALE:	PROJECT No.:	DWG NAME:	ISSUED:	AP
DRAFT: JHG	1	1-4-21	REVISED PER REVIEW COMMENTS						HACKER ROAD LLC	AS NOTED	20771 RANDALL	2775 APPR	JUNE 7, 2022	
CHECK: WMP	2	2-24-22	REVISED PRELIMINARY SITE PLAN						20771 RANDALL					
	3	6-7-22	REVISED PER PLANNING COMMISSION RECOMMENDATIONS						FARMINGTON HILLS, MICHIGAN 48336					





PLAN  
SCALE: 1 in. = 50 ft.

- LEGEND**
- SIGN —
  - UTILITY POLE W/GUY WIRE —
  - OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE) —
  - U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES) —
  - EDGE OF BRUSH LINE —
  - EDGE OF WOODS / TREE DRIP LINE —
  - DECIDUOUS TREE W/IDENTIFIER —
  - CONIFEROUS TREE W/IDENTIFIER —
  - FENCE (AS NOTED) —
  - EDGE OF GRAVEL —
  - CONCRETE CURB (AS NOTED) —
  - EDGE OF WETLANDS/SWAMP —
  - SANITARY SEWER MANHOLE —
  - EX. SANITARY SEWER PIPE —
  - STORM WATER MANHOLE —
  - CATCH BASIN W/IDENTIFIER —
  - FLARED END SECTION —
  - EX. STORM WATER DRAINAGE PIPE —
  - EX. HYDRANT —
  - EX. WATER SHUT OFF —
  - EX. WATER GATE VALVE WELL —
  - EX. WATER VALVE BOX —
  - EX. WATER MAIN —
  - EX. 1' CONTOUR —
  - EX. 5' CONTOUR —
  - PROP. UNIT ENVELOPE —
  - PROP. 2' CONC. CURB —
  - PROP. SANITARY SEWER —
  - PROP. STORM SEWER —
  - PROP. WATER MAIN —
  - PROP. HYDRANT —
  - PROP. WATER VALVE —
  - PROP. 1' CONTOUR —
  - PROP. 5' CONTOUR —

**BENCHMARK**

DATUM BASED ON PREVIOUS BENCHMARK AS  
DEPICTED ON SITE PLANS BY DESINE INC.  
DATUM "NGVD 29"

BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED  
WEST SIDE OF HACKER RD AND 1072± FEET  
NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE,  
LOCATED 55± FEET EAST OF THE CENTERLINE  
OF HACKER ROAD, IN THE SOUTHWEST CORNER  
OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)

**811**  
Know what's below.  
Call before you dig.

3 WORKING DAYS  
BEFORE YOU DIG  
CALL 811 OR 1-800-482-7171  
(TOLL FREE)  
OR VISIT CALL811.COM

**DESINE INC.**  
(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	2-24-22	REVISED PRELIMINARY SITE PLAN			
CHECK: WMP						

VILLAS OF  
HARTLAND

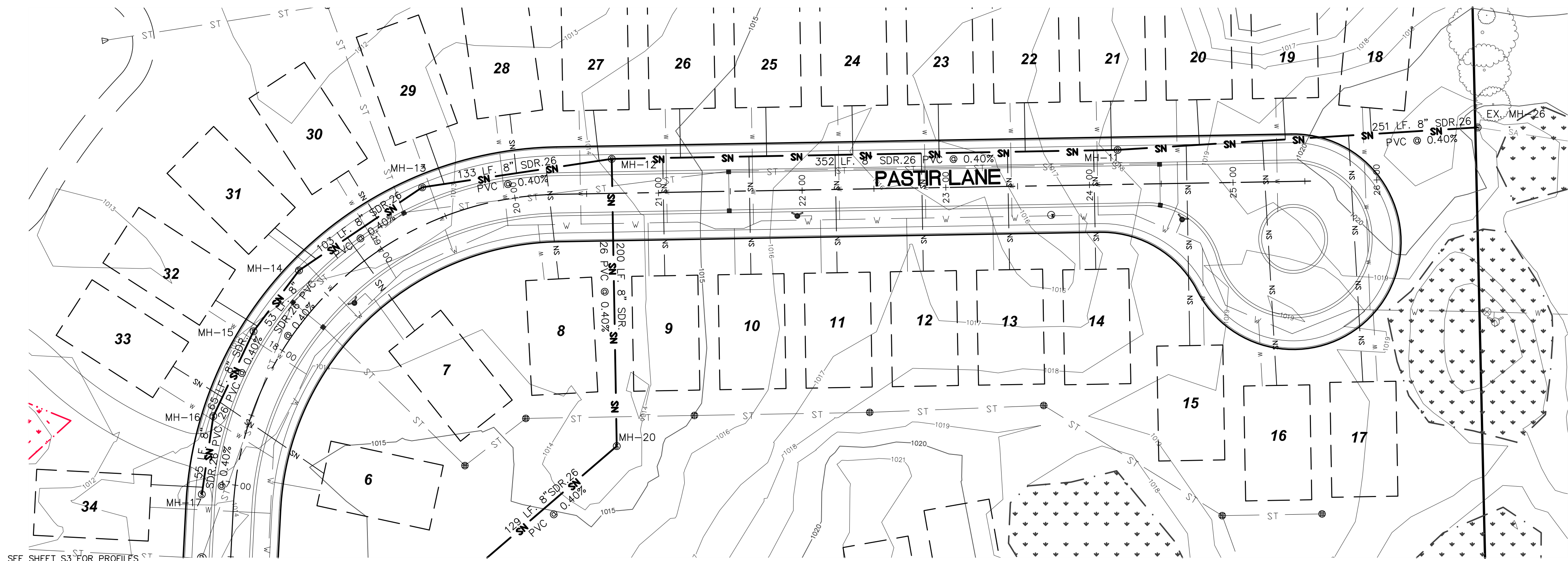
MORELLI COURT  
SANITARY SEWER  
PLAN & PROFILE

CLIENT:  
HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MICHIGAN 48336

SCALE: 1 in. = 50 ft.  
PROJECT No.: 152775  
DWG NAME: 2775 S  
ISSUED: FEB. 24, 2022

S1





PLAN  
SCALE: 1in. = 50ft.

- LEGEND**
- STOP SIGN = SIGN
  - UTILITY POLE W/ GUY WIRE = UTILITY POLE W/ GUY WIRE
  - OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE) = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
  - U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES) = U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
  - EDGE OF BRUSH LINE = EDGE OF BRUSH LINE
  - EDGE OF WOODS / TREE DRIP LINE = EDGE OF WOODS / TREE DRIP LINE
  - DECIDUOUS TREE W/ IDENTIFIER = DECIDUOUS TREE W/ IDENTIFIER
  - CONIFEROUS TREE W/ IDENTIFIER = CONIFEROUS TREE W/ IDENTIFIER
  - FENCE (AS NOTED) = FENCE (AS NOTED)
  - EDGE OF GRAVEL = EDGE OF GRAVEL
  - CONCRETE CURB (AS NOTED) = CONCRETE CURB (AS NOTED)
  - EDGE OF WETLANDS/SWAMP = EDGE OF WETLANDS/SWAMP
  - SANITARY SEWER MANHOLE = SANITARY SEWER MANHOLE
  - EX. SANITARY SEWER PIPE = EX. SANITARY SEWER PIPE
  - STORM WATER MANHOLE = STORM WATER MANHOLE
  - CATCH BASIN W/ IDENTIFIER = CATCH BASIN W/ IDENTIFIER
  - FLARED END SECTION = FLARED END SECTION
  - EX. STORM WATER DRAINAGE PIPE = EX. STORM WATER DRAINAGE PIPE
  - EX. HYDRANT = EX. HYDRANT
  - EX. WATER SHUT OFF = EX. WATER SHUT OFF
  - EX. WATER GATE VALVE WELL = EX. WATER GATE VALVE WELL
  - EX. WATER VALVE BOX = EX. WATER VALVE BOX
  - EX. WATER MAIN = EX. WATER MAIN
  - EX. 1' CONTOUR = EX. 1' CONTOUR
  - EX. 5' CONTOUR = EX. 5' CONTOUR
  - PROP. UNIT ENVELOPE = PROP. UNIT ENVELOPE
  - PROP. 2' CONC. CURB = PROP. 2' CONC. CURB
  - PROP. SANITARY SEWER = PROP. SANITARY SEWER
  - PROP. STORM SEWER = PROP. STORM SEWER
  - PROP. WATER MAIN = PROP. WATER MAIN
  - PROP. HYDRANT = PROP. HYDRANT
  - PROP. WATER VALVE = PROP. WATER VALVE
  - PROP. 1' CONTOUR = PROP. 1' CONTOUR
  - PROP. 5' CONTOUR = PROP. 5' CONTOUR

**BENCHMARK**

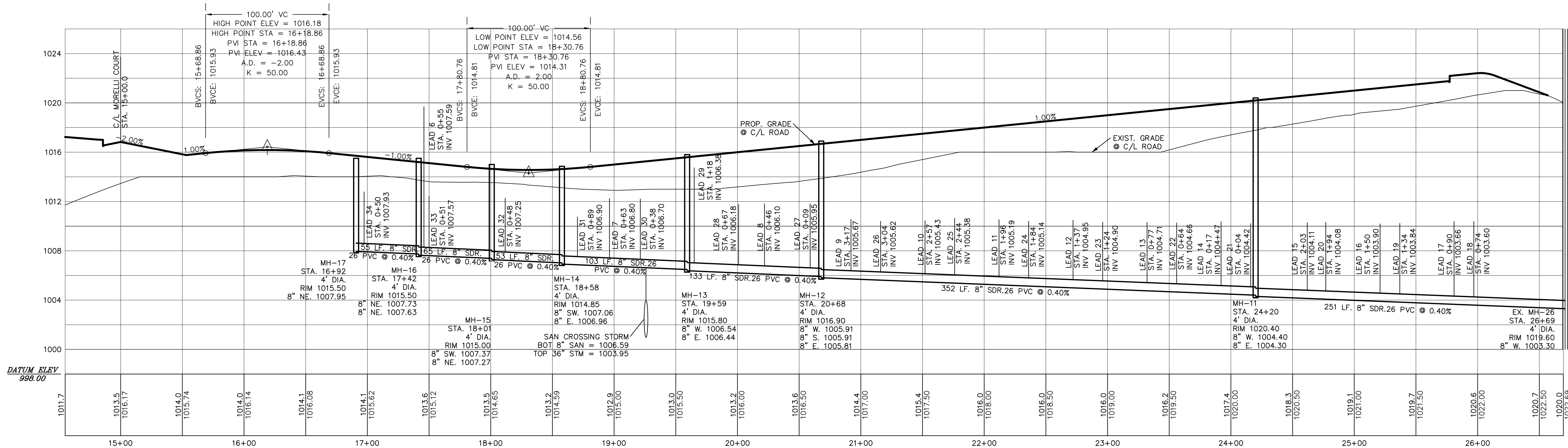
DATUM BASED ON PREVIOUS BENCHMARK AS  
DEPICTED ON SITE PLANS BY DESINE INC.  
DATUM "NGVD 29"

BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED  
WEST SIDE OF HACKER RD AND 1072± FEET  
NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE,  
LOCATED 55± FEET EAST OF THE CENTERLINE  
OF HACKER ROAD, IN THE SOUTHWEST CORNER  
OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)

**PROFILE**

SCALE: HORIZ. 1in. = 50ft.  
VERT. 1in. = 5ft.



DATUM ELEV  
998.00

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	2-24-22	REVISED PRELIMINARY SITE PLAN			
CHECK: WMP						

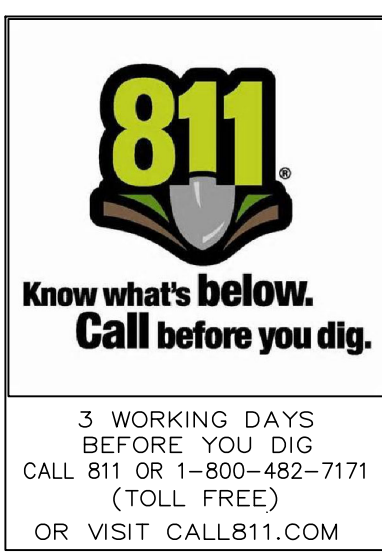
VILLAS OF  
HARTLAND

PASTIR LANE  
SANITARY SEWER  
PLAN & PROFILE

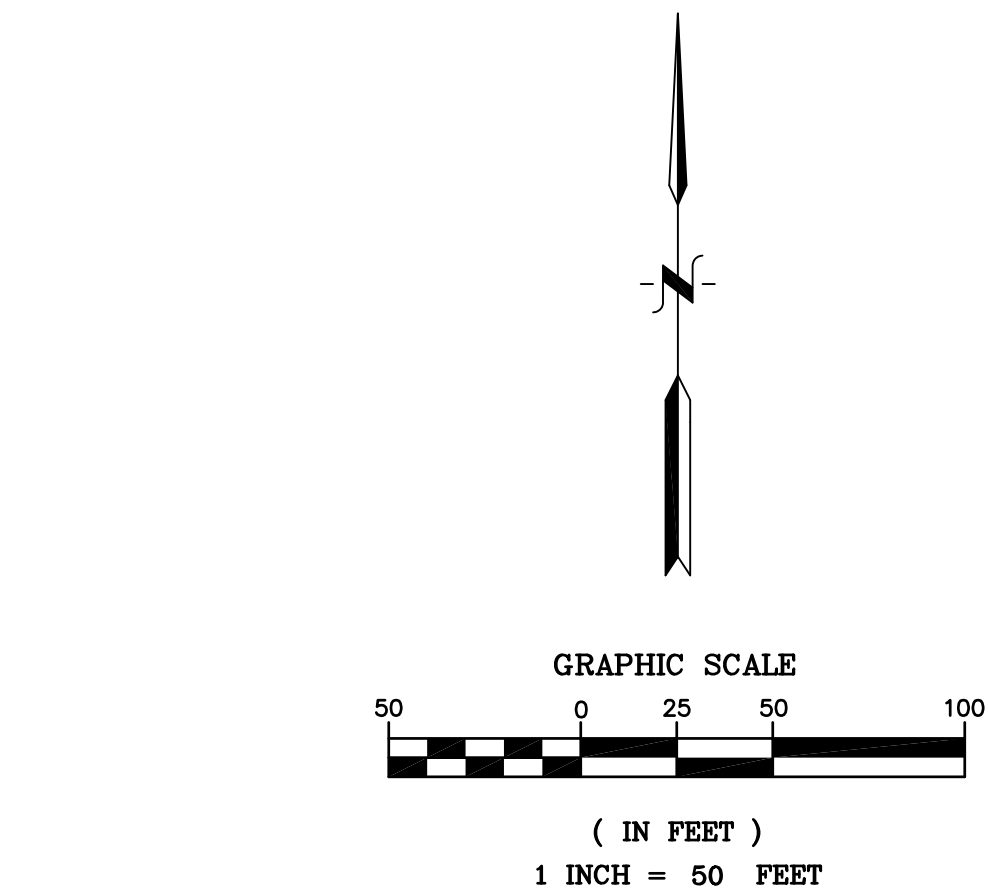
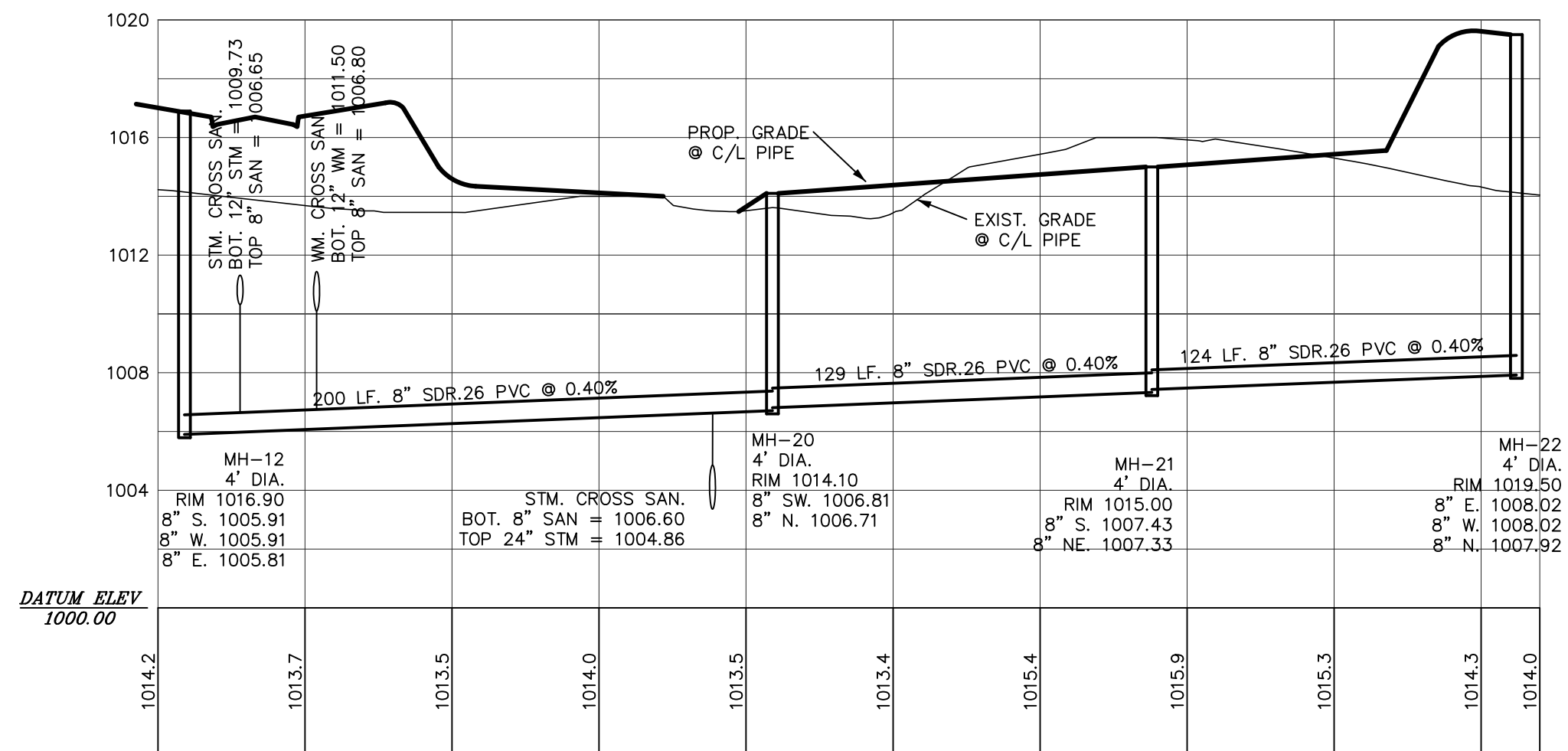
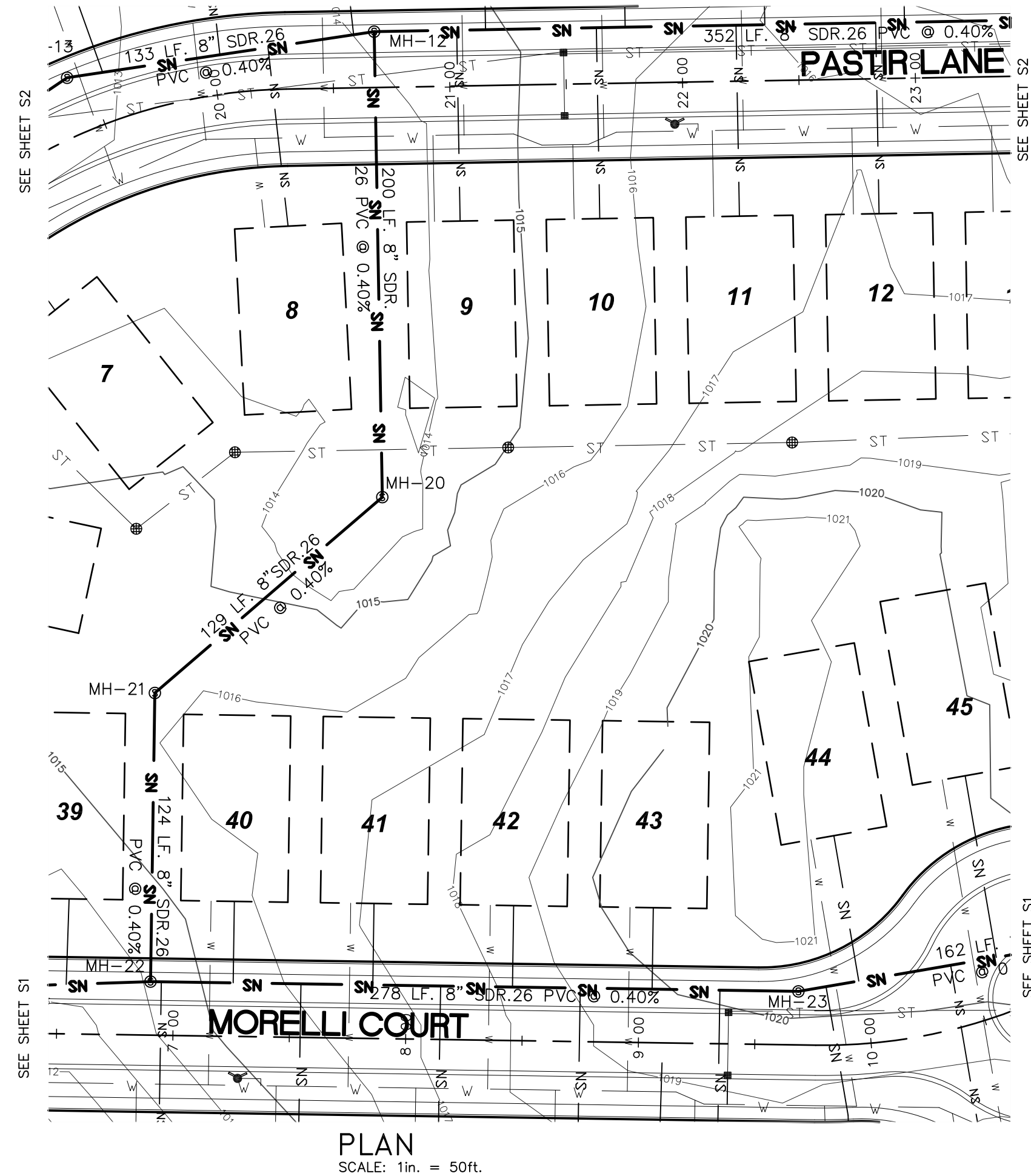
CLIENT:  
HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MICHIGAN 48336

SCALE: 1in. = 50ft.  
PROJECT No.: 152775  
DWG NAME: 2775 S  
ISSUED: FEB. 24, 2022

S2







- LEGEND
- = SIGN
  - = UTILITY POLE W/GUY WIRE
  - = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
  - = U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
  - = EDGE OF BRUSH LINE
  - = EDGE OF WOODS / TREE DRIP LINE
  - = DECIDUOUS TREE W/IDENTIFIER
  - = CONIFEROUS TREE W/IDENTIFIER
  - = FENCE (AS NOTED)
  - = EDGE OF GRAVEL
  - = CONCRETE CURB (AS NOTED)
  - = EDGE OF WETLANDS/SWAMP
  - = SANITARY SEWER MANHOLE
  - = EX. SANITARY SEWER PIPE
  - = STORM WATER MANHOLE
  - = CATCH BASIN W/IDENTIFIER
  - = FLARED END SECTION
  - = EX. STORM WATER DRAINAGE PIPE
  - = EX. HYDRANT
  - = EX. WATER SHUT OFF
  - = EX. WATER GATE VALVE WELL
  - = EX. WATER VALVE BOX
  - = EX. WATER MAIN
  - = EX. 1' CONTOUR
  - = EX. 5' CONTOUR
  - = PROP. UNIT ENVELOPE
  - = PROP. 2' CONC. CURB
  - = PROP. SANITARY SEWER
  - = PROP. STORM SEWER
  - = PROP. WATER MAIN
  - = PROP. HYDRANT
  - = PROP. WATER VALVE
  - = PROP. 1' CONTOUR
  - = PROP. 5' CONTOUR

BENCHMARK

DATUM BASED ON PREVIOUS BENCHMARK AS  
DEPICTED ON SITE PLANS BY DESINE INC.  
DATUM "NGVD 29"

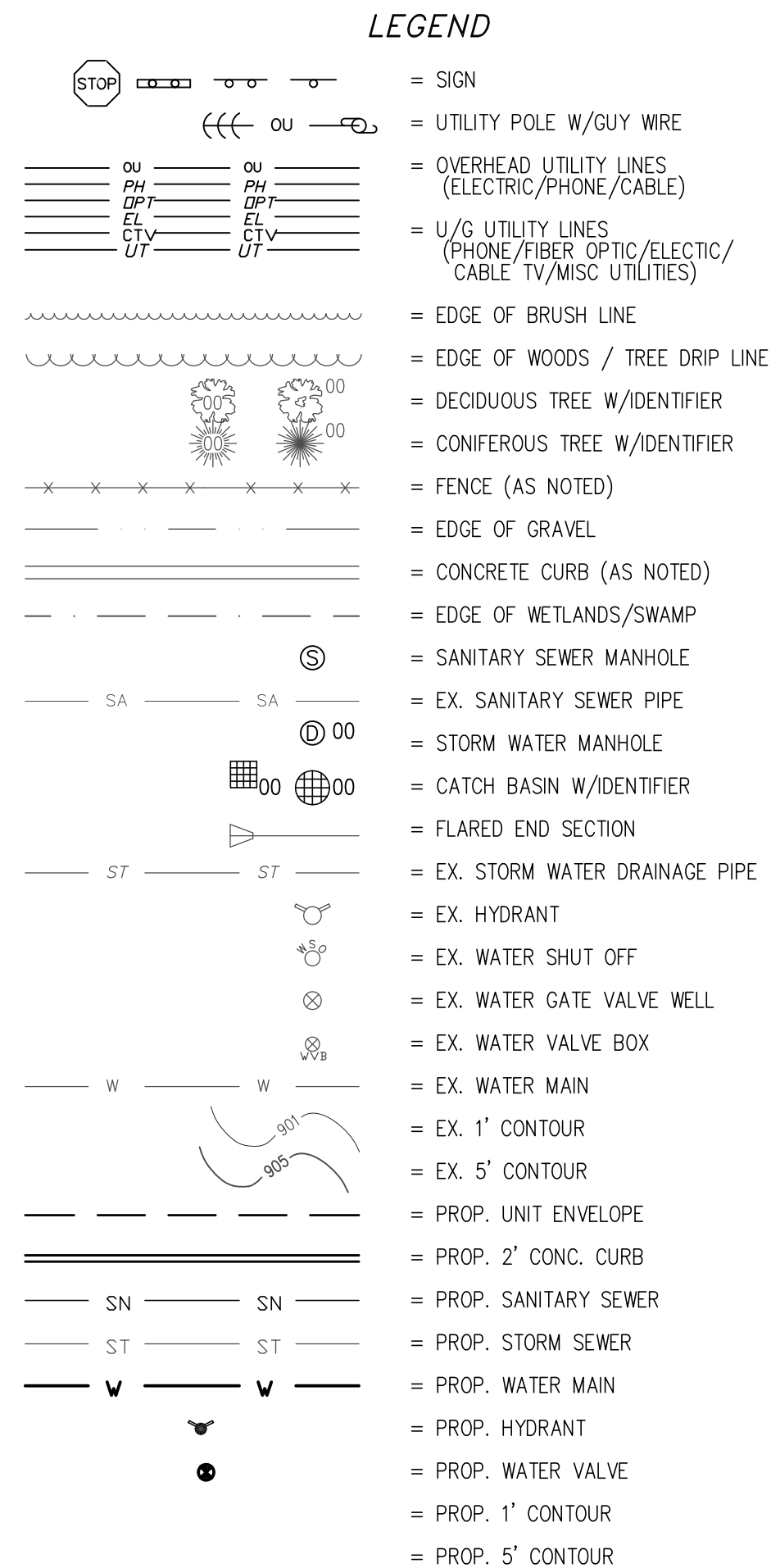
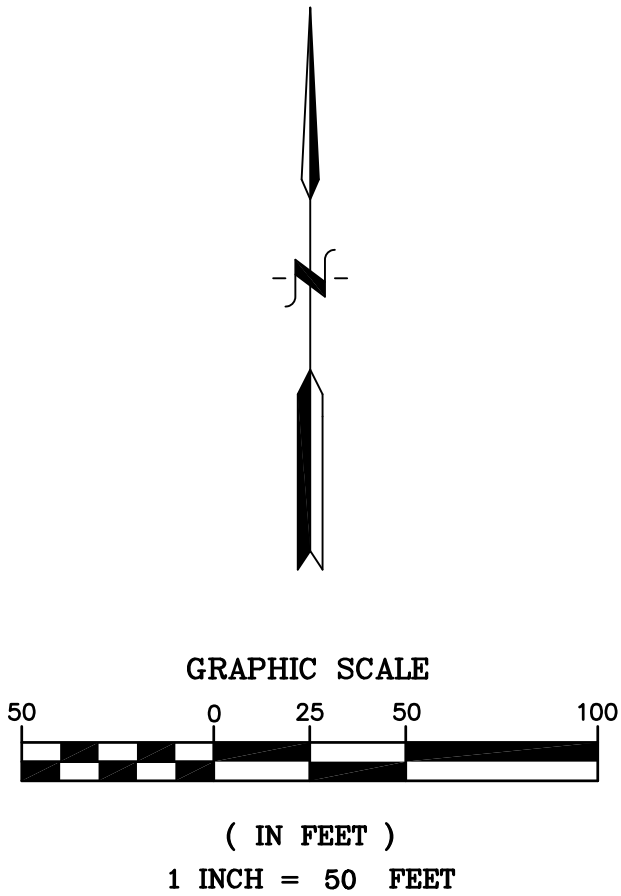
BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED  
WEST SIDE OF HACKER RD AND 1072± FEET  
NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE,  
LOCATED 55± FEET EAST OF THE CENTERLINE  
OF HACKER ROAD, IN THE SOUTHWEST CORNER  
OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)



DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION	VILLAS OF HARTLAND	SANITARY SEWER PLAN & PROFILE	CLIENT:	SCALE: 1in. = 50ft.	PROJECT No.: 152775	S3
DRAFT: JHG	1	2-24-22	REVISED PRELIMINARY SITE PLAN						HACKER ROAD LLC 20771 RANDALL FARMINGTON HILLS, MICHIGAN 48336	DWG NAME: 2775 S		
CHECK: WMP										ISSUED: FEB. 24, 2022		

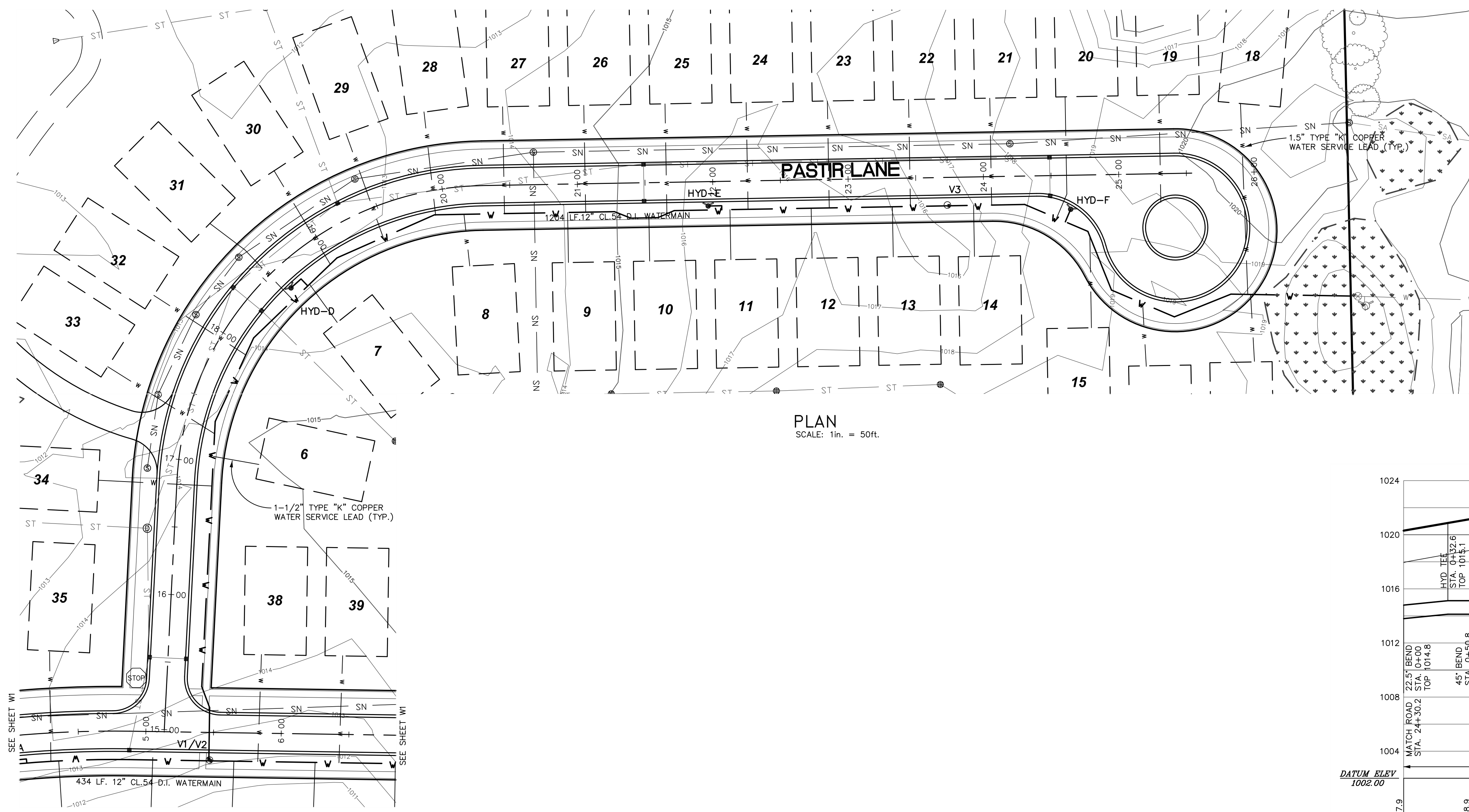




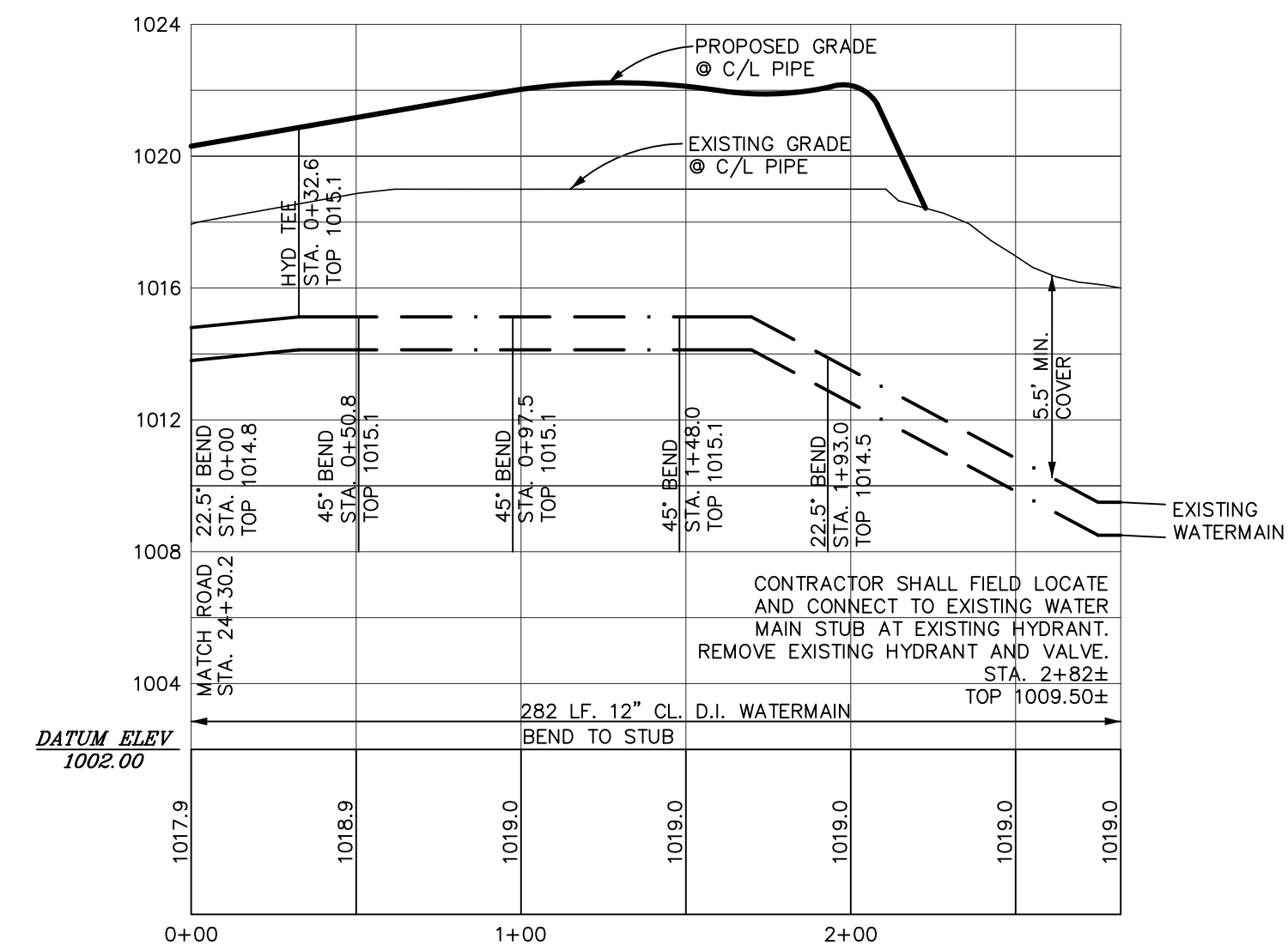
BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE,  
LOCATED 55± FEET EAST OF THE CENTERLINE  
OF HACKER ROAD, IN THE SOUTHWEST CORNER  
OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)

W1

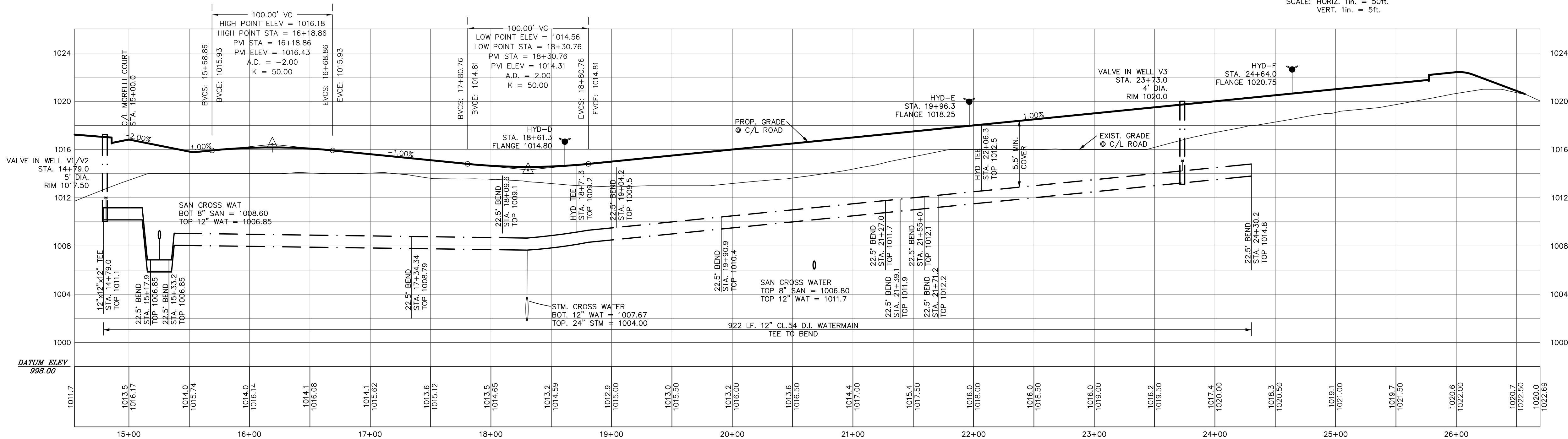




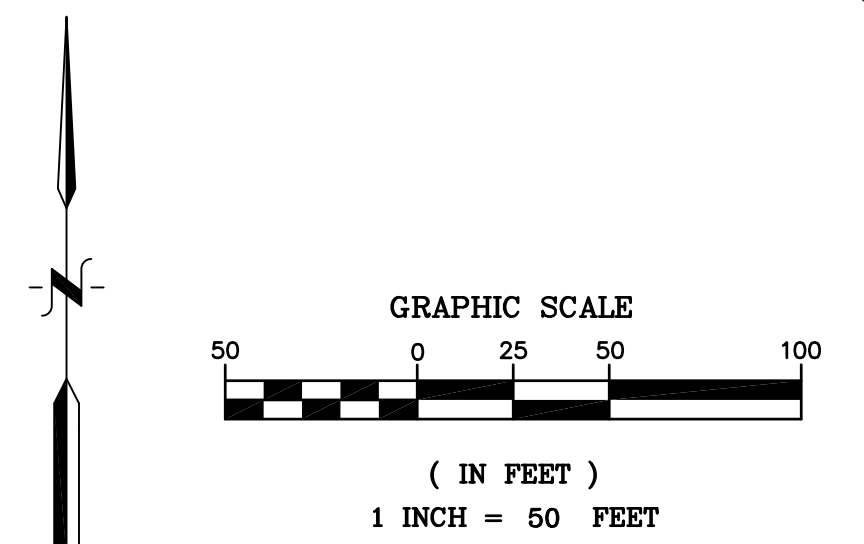
PLAN  
SCALE: 1in. = 50ft.



PROFILE: OVERLAND TO EX. VALVE  
SCALE: HORIZ. 1in. = 50ft.  
VERT. 1in. = 5ft.



PROFILE  
SCALE: HORIZ. 1in. = 50ft.  
VERT. 1in. = 5ft.



- LEGEND**
- STOP SIGN = SIGN
  - UTILITY POLE W/GUY WIRE = UTILITY POLE W/GUY WIRE
  - OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE) = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
  - U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES) = U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
  - EDGE OF BRUSH LINE = EDGE OF BRUSH LINE
  - EDGE OF WOODS / TREE DRIP LINE = EDGE OF WOODS / TREE DRIP LINE
  - DECIDUOUS TREE W/IDENTIFIER = DECIDUOUS TREE W/IDENTIFIER
  - CONIFEROUS TREE W/IDENTIFIER = CONIFEROUS TREE W/IDENTIFIER
  - FENCE (AS NOTED) = FENCE (AS NOTED)
  - EDGE OF GRAVEL = EDGE OF GRAVEL
  - CONCRETE CURB (AS NOTED) = CONCRETE CURB (AS NOTED)
  - EDGE OF WETLANDS/SWAMP = EDGE OF WETLANDS/SWAMP
  - SANITARY SEWER MANHOLE = SANITARY SEWER MANHOLE
  - EX. SANITARY SEWER PIPE = EX. SANITARY SEWER PIPE
  - STORM WATER MANHOLE = STORM WATER MANHOLE
  - CATCH BASIN W/IDENTIFIER = CATCH BASIN W/IDENTIFIER
  - FLARED END SECTION = FLARED END SECTION
  - EX. STORM WATER DRAINAGE PIPE = EX. STORM WATER DRAINAGE PIPE
  - EX. HYDRANT = EX. HYDRANT
  - EX. WATER SHUT OFF = EX. WATER SHUT OFF
  - EX. WATER GATE VALVE WELL = EX. WATER GATE VALVE WELL
  - EX. WATER VALVE BOX = EX. WATER VALVE BOX
  - EX. WATER MAIN = EX. WATER MAIN
  - EX. 1' CONTOUR = EX. 1' CONTOUR
  - EX. 5' CONTOUR = EX. 5' CONTOUR
  - PROP. UNIT ENVELOPE = PROP. UNIT ENVELOPE
  - PROP. 2' CONC. CURB = PROP. 2' CONC. CURB
  - PROP. SANITARY SEWER = PROP. SANITARY SEWER
  - PROP. STORM SEWER = PROP. STORM SEWER
  - PROP. WATER MAIN = PROP. WATER MAIN
  - PROP. HYDRANT = PROP. HYDRANT
  - PROP. WATER VALVE = PROP. WATER VALVE
  - PROP. 1' CONTOUR = PROP. 1' CONTOUR
  - PROP. 5' CONTOUR = PROP. 5' CONTOUR

**BENCHMARK**

DATUM BASED ON PREVIOUS BENCHMARK AS  
DEPICTED ON SITE PLANS BY DESINE INC.  
DATUM "NGVD 29"

BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED  
WEST SIDE OF HACKER RD AND 1072+ FEET  
NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE,  
LOCATED 55+ FEET EAST OF THE CENTERLINE  
OF HACKER ROAD, IN THE SOUTHWEST CORNER  
OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)

**811**  
Know what's below.  
Call before you dig.

3 WORKING DAYS  
BEFORE YOU DIG  
CALL 811 OR 1-800-482-7171  
(TOLL FREE)  
OR VISIT CALL811.COM

**DESINE INC.**  
(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	2-24-22	REVISED PRELIMINARY SITE PLAN
CHECK: WMP			

REVISION #	DATE	REVISION-DESCRIPTION

**VILLAGES OF  
HARTLAND**

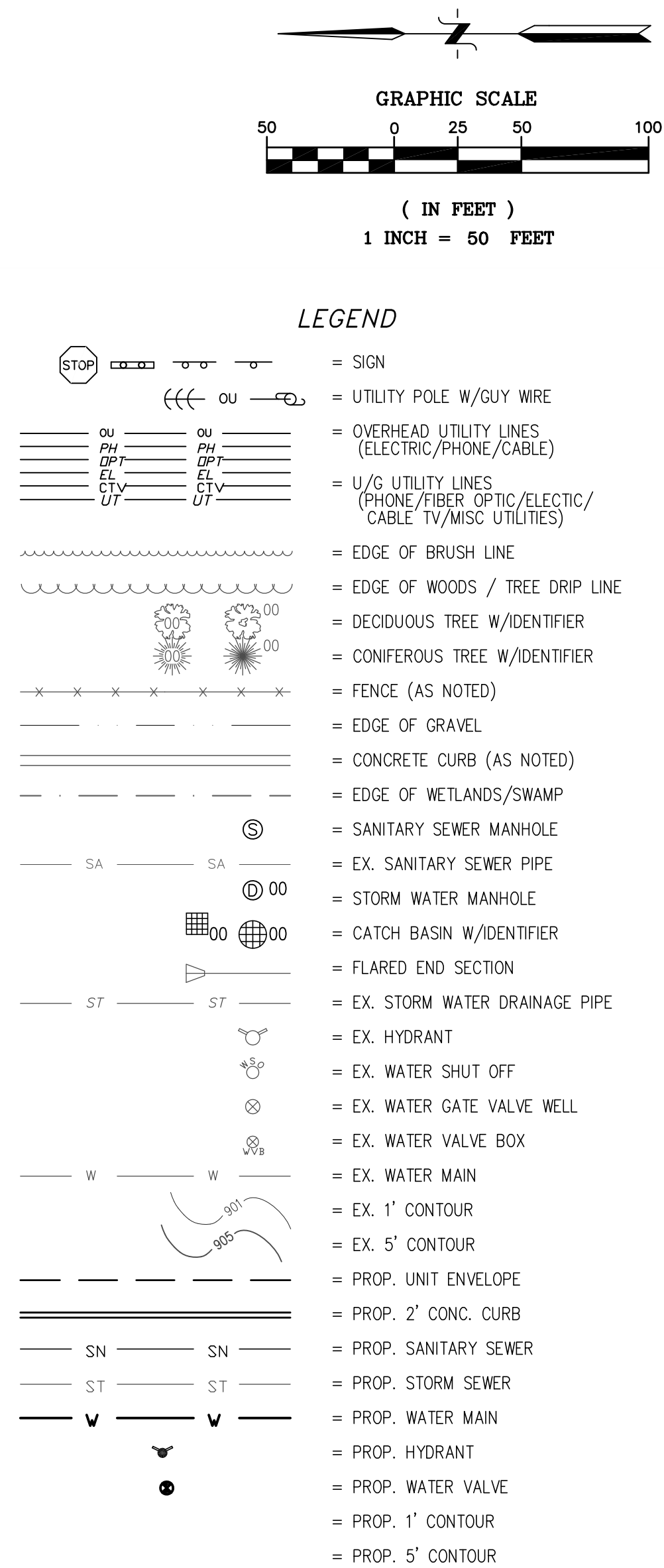
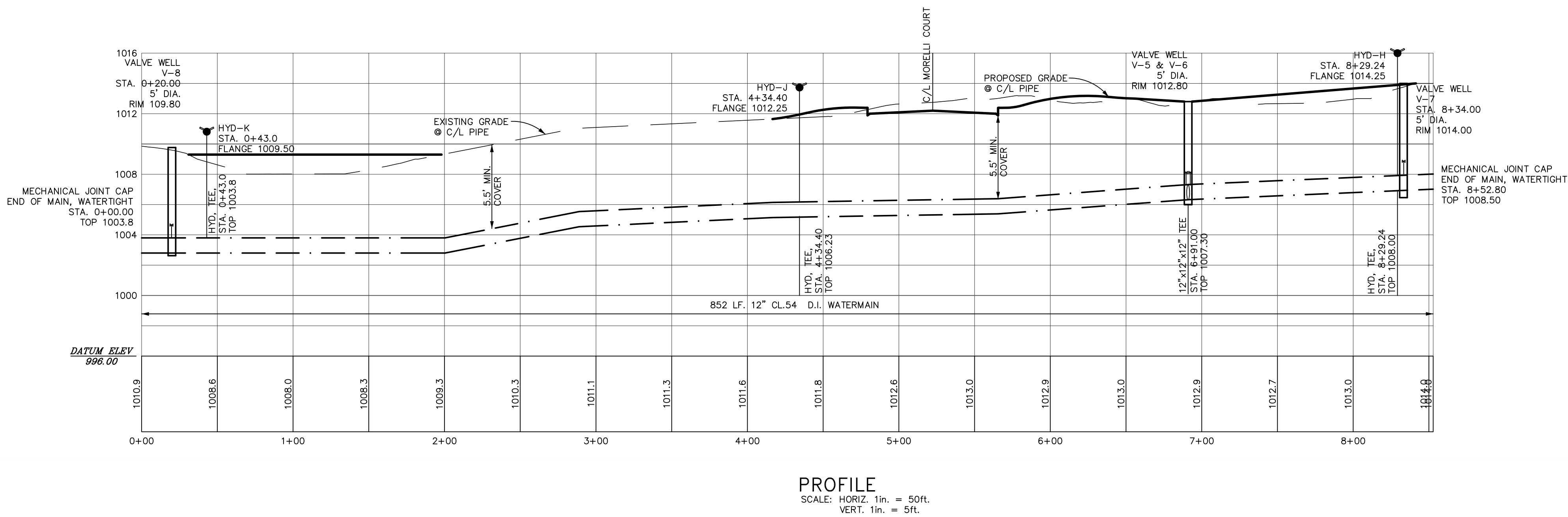
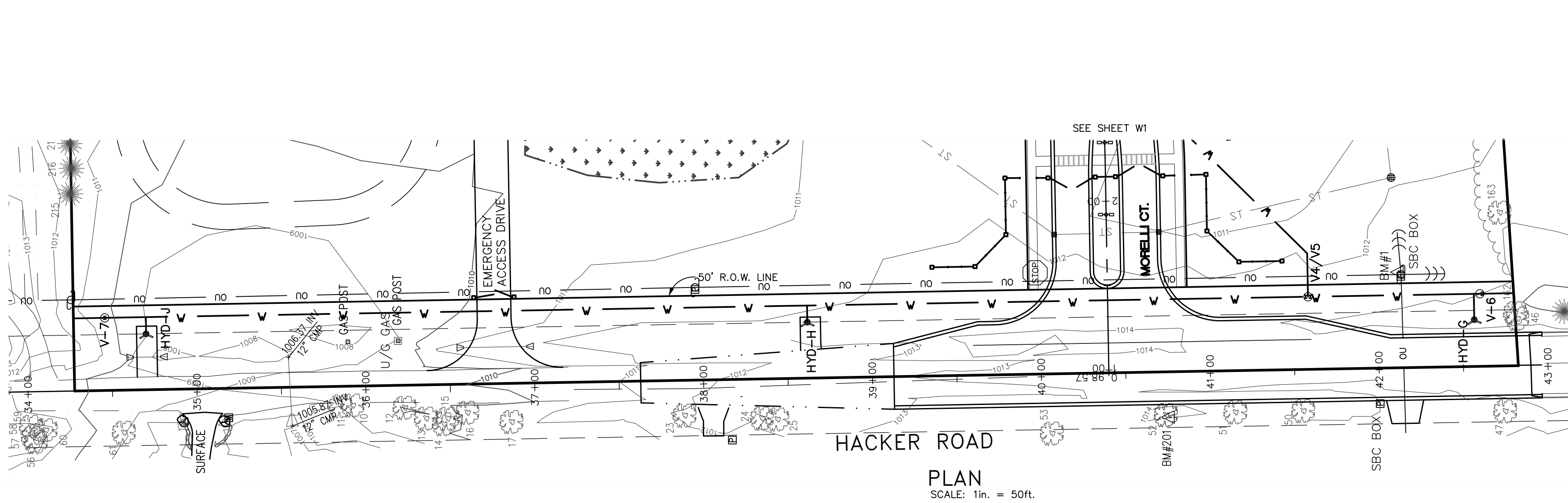
**PASTIR LANE  
WATERMAIN  
PLAN & PROFILE**

CLIENT:  
HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MICHIGAN 48336

SCALE: 1in. = 50ft.  
PROJECT No.: 152775  
DWG NAME: 2775 W  
ISSUED: FEB. 24, 2022

**W2**





#### BENCHMARK

DATUM BASED ON PREVIOUS BENCHMARK AS  
DEPICTED ON SITE PLANS BY DESINE INC.  
DATUM "NGVD 29"

BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED  
WEST SIDE OF HACKER RD AND 1072± FEET  
NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE,  
LOCATED 55± FEET EAST OF THE CENTERLINE  
OF HACKER ROAD, IN THE SOUTHWEST CORNER  
OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)



DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	2-24-22	REVISED PRELIMINARY SITE PLAN			
CHECK: WMP						

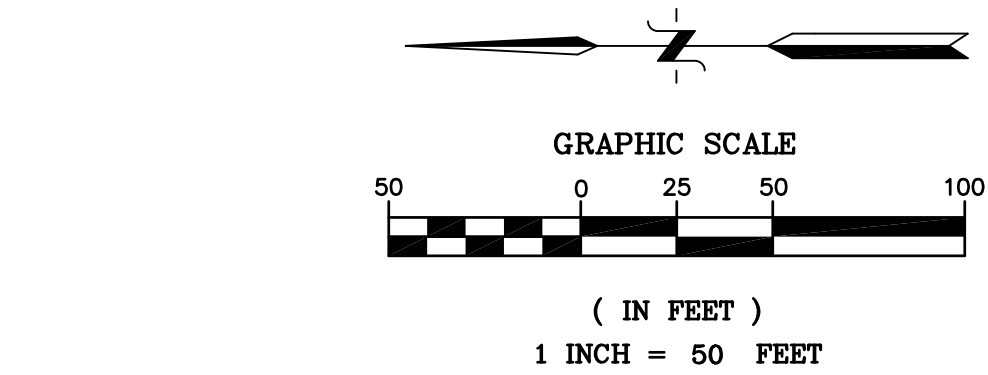
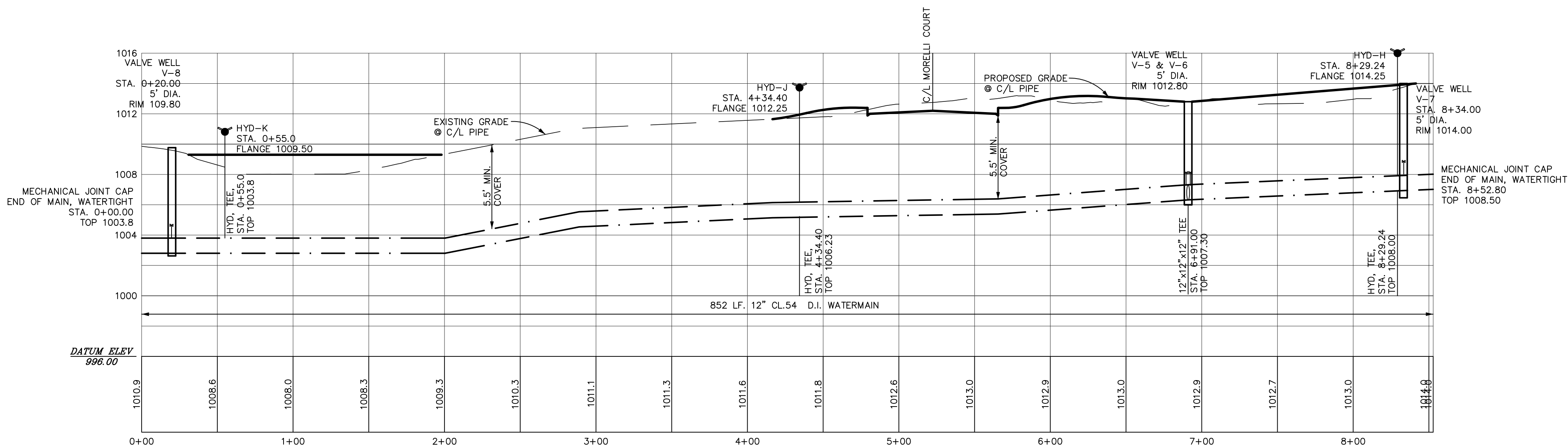
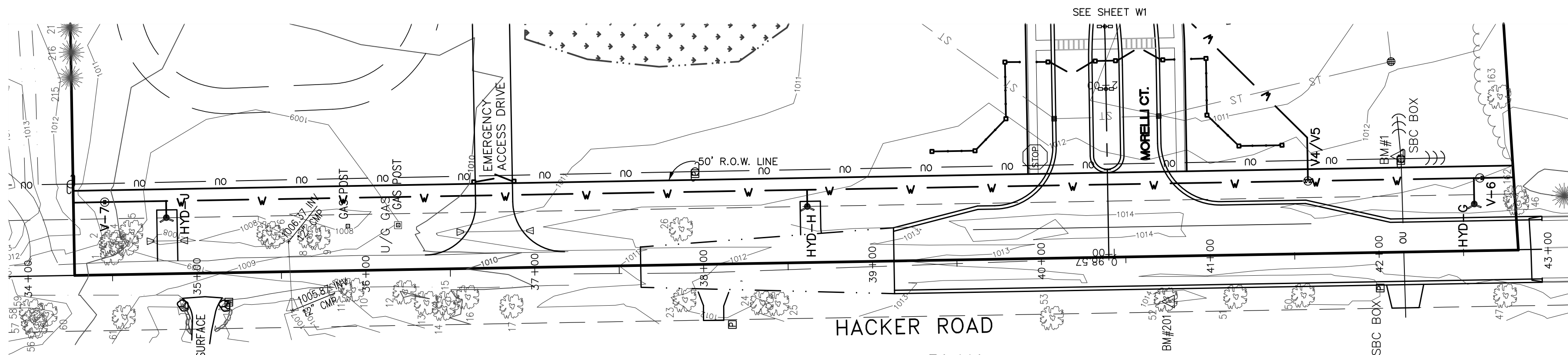
VILLAS OF  
HARTLAND

HACKER ROAD  
WATERMAIN  
PLAN & PROFILE

CLIENT:  
HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MICHIGAN 48336

SCALE: 1in. = 50ft.  
PROJECT No.: 152775  
DWG NAME: 2775 W  
ISSUED: FEB. 24, 2022

W3



- LEGEND**
- STOP SIGN = SIGN
  - UTILITY POLE W/ GUY WIRE = UTILITY POLE W/ GUY WIRE
  - OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE) = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
  - U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES) = U/G UTILITY LINES (PHONE/FIBER OPTIC/ELECTRIC/CABLE TV/MISC UTILITIES)
  - EDGE OF BRUSH LINE = EDGE OF BRUSH LINE
  - EDGE OF WOODS / TREE DRIP LINE = EDGE OF WOODS / TREE DRIP LINE
  - DECIDUOUS TREE W/ IDENTIFIER = DECIDUOUS TREE W/ IDENTIFIER
  - CONIFEROUS TREE W/ IDENTIFIER = CONIFEROUS TREE W/ IDENTIFIER
  - FENCE (AS NOTED) = FENCE (AS NOTED)
  - EDGE OF GRAVEL = EDGE OF GRAVEL
  - CONCRETE CURB (AS NOTED) = CONCRETE CURB (AS NOTED)
  - EDGE OF WETLANDS/SWAMP = EDGE OF WETLANDS/SWAMP
  - SANITARY SEWER MANHOLE = SANITARY SEWER MANHOLE
  - EX. SANITARY SEWER PIPE = EX. SANITARY SEWER PIPE
  - STORM WATER MANHOLE = STORM WATER MANHOLE
  - CATCH BASIN W/ IDENTIFIER = CATCH BASIN W/ IDENTIFIER
  - EX. STORM WATER DRAINAGE PIPE = EX. STORM WATER DRAINAGE PIPE
  - FLARED END SECTION = FLARED END SECTION
  - EX. HYDRANT = EX. HYDRANT
  - EX. WATER SHUT OFF = EX. WATER SHUT OFF
  - EX. WATER GATE VALVE WELL = EX. WATER GATE VALVE WELL
  - EX. WATER VALVE BOX = EX. WATER VALVE BOX
  - EX. WATER MAIN = EX. WATER MAIN
  - EX. 1' CONTOUR = EX. 1' CONTOUR
  - EX. 5' CONTOUR = EX. 5' CONTOUR
  - PROP. UNIT ENVELOPE = PROP. UNIT ENVELOPE
  - PROP. 2' CONC. CURB = PROP. 2' CONC. CURB
  - PROP. SANITARY SEWER = PROP. SANITARY SEWER
  - PROP. STORM SEWER = PROP. STORM SEWER
  - PROP. WATER MAIN = PROP. WATER MAIN
  - PROP. HYDRANT = PROP. HYDRANT
  - PROP. WATER VALVE = PROP. WATER VALVE
  - PROP. 1' CONTOUR = PROP. 1' CONTOUR
  - PROP. 5' CONTOUR = PROP. 5' CONTOUR

#### BENCHMARK

DATUM BASED ON PREVIOUS BENCHMARK AS  
DEPICTED ON SITE PLANS BY DESINE INC.  
DATUM "NGVD 29"

BENCHMARK #201  
SPIKE IN THE EAST SIDE OF A 36" OAK, LOCATED  
WEST SIDE OF HACKER RD AND 1072± FEET  
NORTH OF M-59.  
ELEVATION = 1015.45 (NGVD 29)

BENCHMARK #1  
SET NAIL IN THE EAST SIDE OF A UTILITY POLE,  
LOCATED 55± FEET EAST OF THE CENTERLINE  
OF HACKER ROAD, IN THE SOUTHWEST CORNER  
OF PARCEL.  
ELEVATION = 1012.99 (NGVD 29)



3 WORKING DAYS  
BEFORE YOU DIG  
CALL 811 OR 1-800-482-7171  
(TOLL FREE)  
OR VISIT CALL811.COM



DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	2-24-22	REVISED PRELIMINARY SITE PLAN			
CHECK: WMP	2	6-7-22	REVISED PER PLANNING COMMISSION RECOMMENDATIONS			

VILLAS OF  
HARTLAND

HACKER ROAD  
WATERMAIN  
PLAN & PROFILE

CLIENT:  
HACKER ROAD LLC  
20771 RANDALL  
FARMINGTON HILLS, MICHIGAN 48336

SCALE: 1 in. = 50 ft.  
PROJECT No.: 152775  
DWG NAME: 2775 W  
ISSUED: JUNE 7, 2022

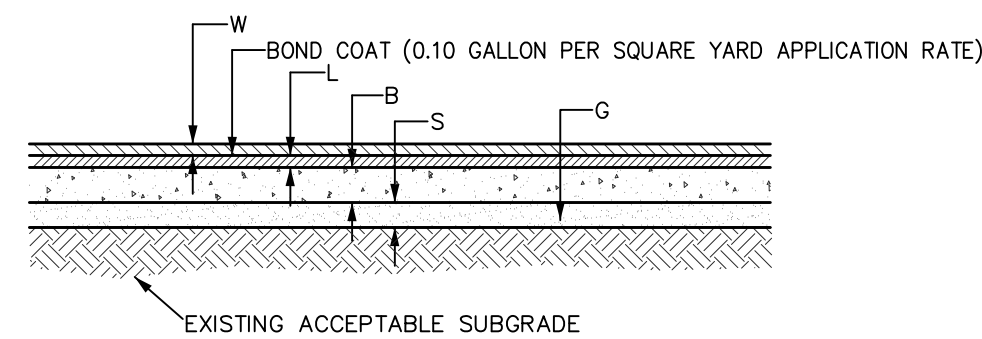
W3





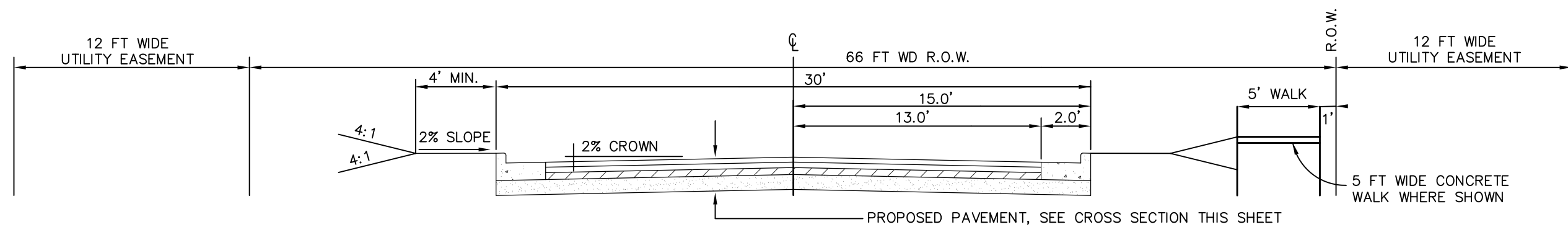
KEY	DESCRIPTION	DIMENSION	DIMENSION
A	ROAD RIGHT OF WAY WIDTH	66'	66'
B	CENTERLINE OFFSET TO RIGHT OF WAY	33'	33'
C	CURB AND GUTTER WIDTH	2'	2'
R1	PAVEMENT RADIUS	53'	53'
R2	RIGHT OF WAY RADIUS	75'	75'
R3	BACK OF CURB RETURN RADIUS	50'	50'
R4	RIGHT OF WAY RETURN RADIUS	75'	75'
R5	BACK OF CURB ISLAND RADIUS	22'	22'
R6	BACK OF CURB RETURN RADIUS	50'	50'
X	CURB RADIUS CENTER OFFSET	40'	40'
Y	R.O.W. RADIUS CENTER OFFSET		

1. The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes, Road and/or Parking Lot Construction Notes and Typical Road and/or Pavement Cross Section details on the project plans for additional requirements.
2. Unsuitable soils found within the 1 on 1 influence zone of the pavement, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced up to the proposed subgrade elevation with MDOT Class III granular material compacted to 95% maximum unit weight, modified proctor.
3. Contractor shall proof roll prepared subgrade as directed by Engineer. Unacceptable areas of subgrade shall be undercut and replaced as directed by Engineer.
4. Owner/Developer may delay placement of the bituminous wearing course outside of the public road right of way. Repair of the bituminous leveling course may be necessary due to any delay in placement of the bituminous wearing course. Substantial repair to the bituminous leveling course may be necessary if placement of the bituminous wearing course is delayed for more than 12 months after placement of the bituminous leveling course. The bituminous leveling course shall be repaired as directed by Engineer prior to placement of the bituminous wearing course

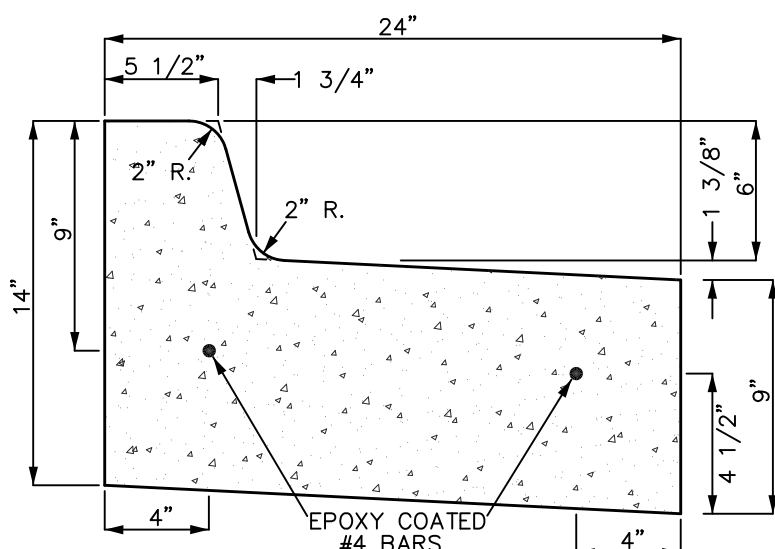


## STANDARD DUTY BITUMINOUS PAVEMENT CROSS SECTION

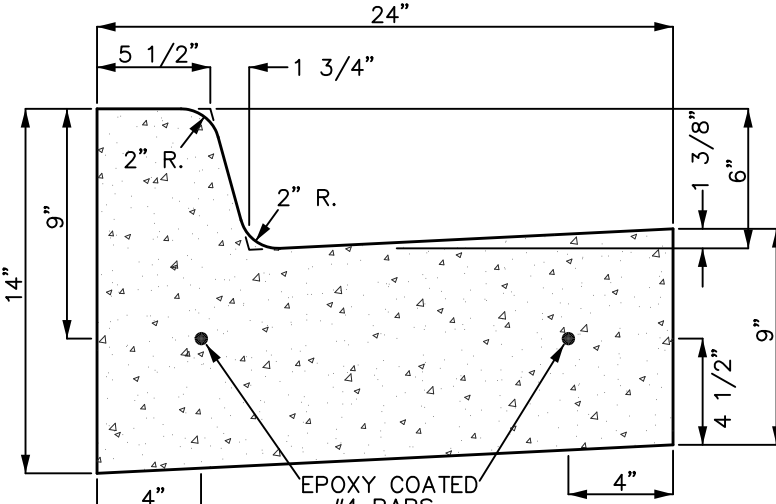
KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
W	WEARING COURSE	MDOT 5E3	1.5"
L	LEVELING COURSE	MDOT 4E3	2.5"
B	AGGREGATE BASE	MDOT 21AA LIMESTONE	7"
S	GRANULAR SUBBASE	MDOT CLASS II	6"
G	GEGRID	N/A	N/A



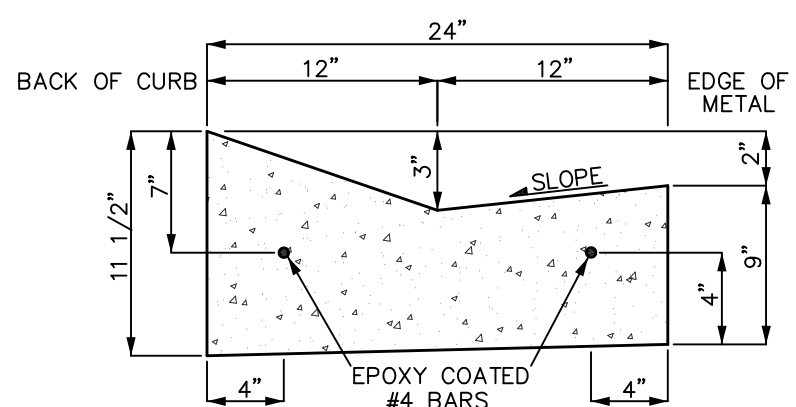
**TYPICAL PRIVATE ROAD CROSS SECTION**  
NOT TO SCALE



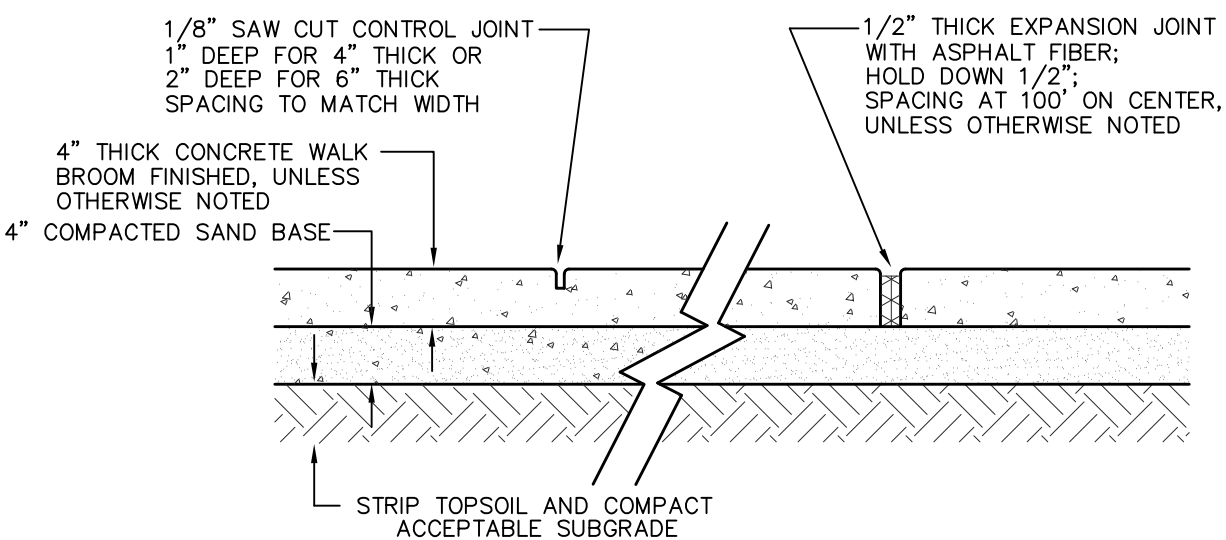
**MDOT TYPE F4 CURB**  
**REVERSE PITCH**  
NOT TO SCALE



**MDOT TYPE F4 CURB**  
NOT TO SCALE

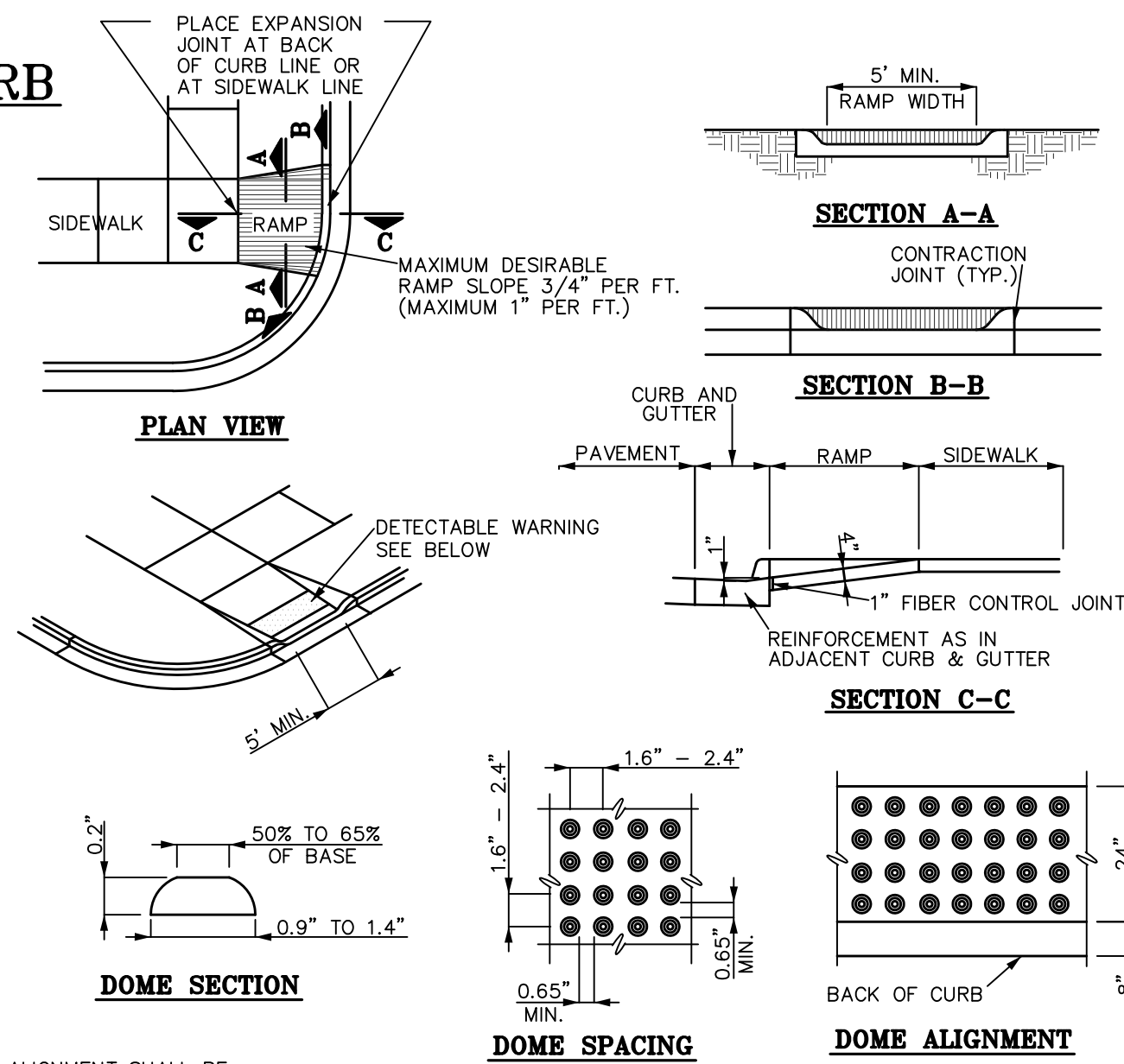


**3" MOUNTABLE CURB**  
NOT TO SCALE



**SIDEWALK CROSS SECTION**  
NOT TO SCALE

NOTES:  
1. SEE PLAN FOR WIDTH OF SIDEWALK.  
2. PROVIDE CONCRETE TYPE PER LOCAL CODE  
(3500 PSI AIR ENTRAINED)



## BARRIER FREE RAMP AND DETECTABLE WARNING DETAILS

1. Contractor shall perform the work in accordance with the requirements of the appropriate Local, County and State Agencies and all other Government and Regulatory Agencies with jurisdiction over the project. Contractor shall notify the appropriate Agencies in advance of each stage of work in accordance with each Agency's requirements.
2. Contractor shall comply with all permit, insurance, licensing and inspection requirements associated with the work. Prior to construction, Contractor and Owner/Developer shall determine who is responsible for obtaining each required permit. Contractor shall verify that the each required permit has been obtained prior to commencement of the stage of work associated with the required permit(s).
3. Contractor shall furnish liability insurance and property damage insurance to save harmless the Owner, Developer, Architect, Engineer, Surveyor and Government Agencies for any accident occurring during the construction period. Refer to the appropriate Local, County and State Agencies for additional requirements. Copies of insurance certifications shall be made available to the Owner/Developer.
4. Contractor shall conduct and perform work in a safe and competent manner. Contractor shall perform all necessary measures to provide for traffic and pedestrian safety from the start of work and through substantial completion. Contractor shall determine procedures and provide safety equipment such as traffic controls, warning devices, temporary pavement markings and signs as needed. Contractor shall comply with the safety standards of the State Department of Labor, the occupational health standards of the State Department of Health and safety regulations of the appropriate Local, County, State and Federal Agencies. Refer to the safety specifications of the appropriate Regulatory Agencies. The Contractor shall designate a qualified employee with complete job site authority over the work and safety precautions; said designated employee shall be on site at all times during the work.

5. Contractor shall coordinate scheduling of all work in the proper sequence, including work by Subcontractors. Additional costs due to improper planning by Contractor or work done out of sequence as determined by standard acceptable construction practices, shall be Contractor's responsibility.

6. Contractor shall contact the 811 Underground Public Utility Locating System or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to construction. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.

7. Contractor shall coordinate scheduling a Pre-Construction Meeting with Engineer prior to commencement of work.

8. The Local Municipality, County and/or State in which the project is located may require an Engineer's Certification of construction of the proposed site improvements. Contractor shall verify the certification requirements with Engineer prior to commencement of work. Contractor shall coordinate construction staking, testing, documentation submittal and observation with the appropriate Agency, Surveyor and/or Engineer as required for Engineer's Certification and Government Agency Acceptance. All materials used in work done shall meet or exceed the requirements of certification and acceptance, the contract documents and the material specifications noted on the project plans. Any materials used or work done that does not meet said requirements, contract documents and/or specifications shall be replaced and/or redone at Contractor's expense. The Owner/Developer may wait for test results, certifications and/or Agency reviews prior to accepting work.

9. Engineer may provide surface soil evaluation results, if available, to Contractor upon request. Subsurface soil evaluation results, soils maps and/or any other documentation does NOT guarantee existing soil conditions or that sufficient, acceptable on-site granular material is available for use as structural fill, pipe bedding, pipe backfill, road subbase or use as any other granular material specified on the project plans. On-site granular material that meets or exceeds the material specifications noted on the project plans may be used as structural fill, pipe bedding, pipe backfill and/or road subbase material. On-site granular material shall be stockpiled and tested as acceptable to the appropriate Agency and/or Engineer prior to use.

10. During the performance of their work, Contractor shall be solely responsible for determining soil conditions and appropriate construction methods based on the actual field conditions. Contractor shall furnish, install and maintain sheeting, shoring, bracing and/or other tools and equipment and/or construction techniques as needed for the safety and protection of the workers, pedestrians and vehicular traffic and for protection of adjacent structures and site improvements.

11. Contractor shall install temporary and permanent soil erosion and sedimentation control devices at the appropriate stages of construction in accordance with the appropriate regulatory Agencies. Refer to Soil Erosion and Sedimentation Control Plans and Notes on the project plans.

12. Structural fill shall be placed as specified on the project plans and within the 1 on 1 influence zone of all structures, paved areas and other areas subject to vehicular traffic. Structural fill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, modified proctor). Fill material shall meet or exceed the specifications noted on the project plans or as directed by Engineer when not specified on the project plans.

13. All existing monuments, property corners, ground control and benchmarks shall be protected and preserved; and if disturbed by Contractor, shall be restored at Contractor's expense. Contractor shall notify Surveyor of any conflicts between existing monuments, property corners, ground control and/or benchmarks and the proposed site improvements.

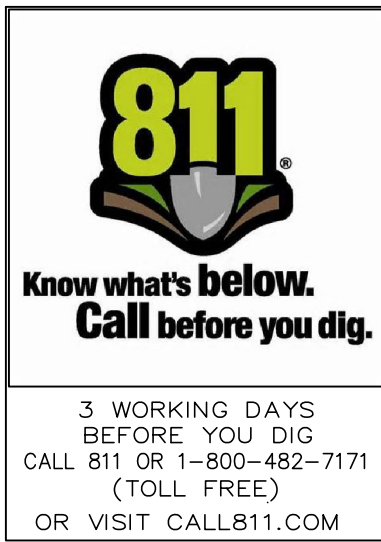
14. Contractor shall notify Owner/Developer and Engineer immediately upon encountering any field conditions, which are inconsistent with the project plans and/or specifications.

15. When noted on the project plans for demolition and/or removal, Contractor shall remove existing structures, building and debris and recycle and/or dispose of in accordance with Local, County, State and Federal regulations.

16. Contractor shall remove excess construction materials and debris from site and perform restoration in accordance with the project plans and specifications. Disposing of excess materials and debris shall be performed in accordance with Local, County, State and Federal regulations.

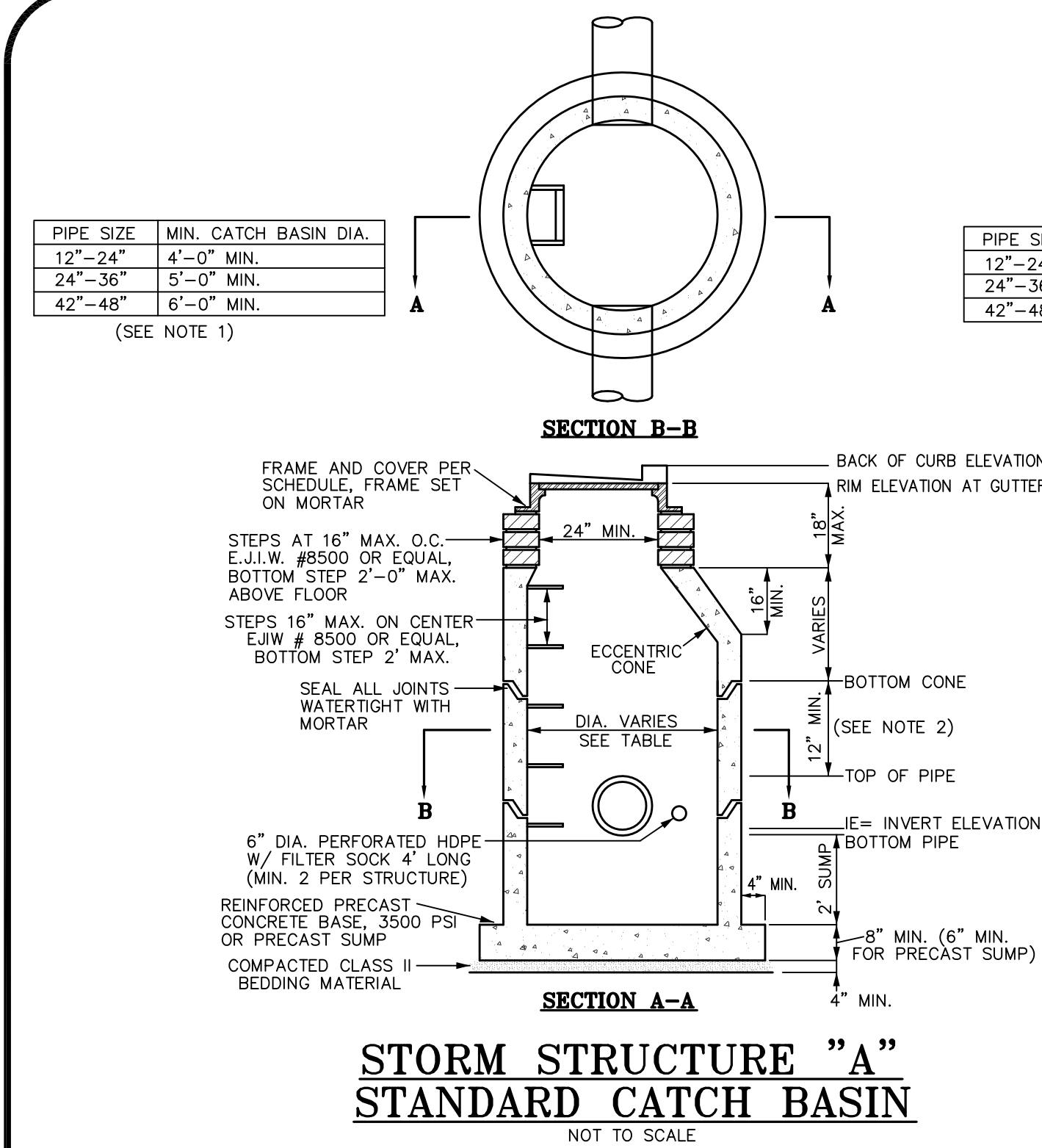
17. Construction access to the site shall be located as acceptable to the Owner/Developer and to the appropriate Local, County and/or State Agency with jurisdiction over the road(s) providing access to the site. Construction access shall be maintained and cleaned in accordance with the appropriate Local, County and/or State Agencies and as directed by Owner/Developer and/or Engineer.

18. Contractor shall take necessary precautions to protect all site improvements from heavy equipment and construction procedures. Damage resulting from Contractor actions shall be repaired at Contractor's expense.

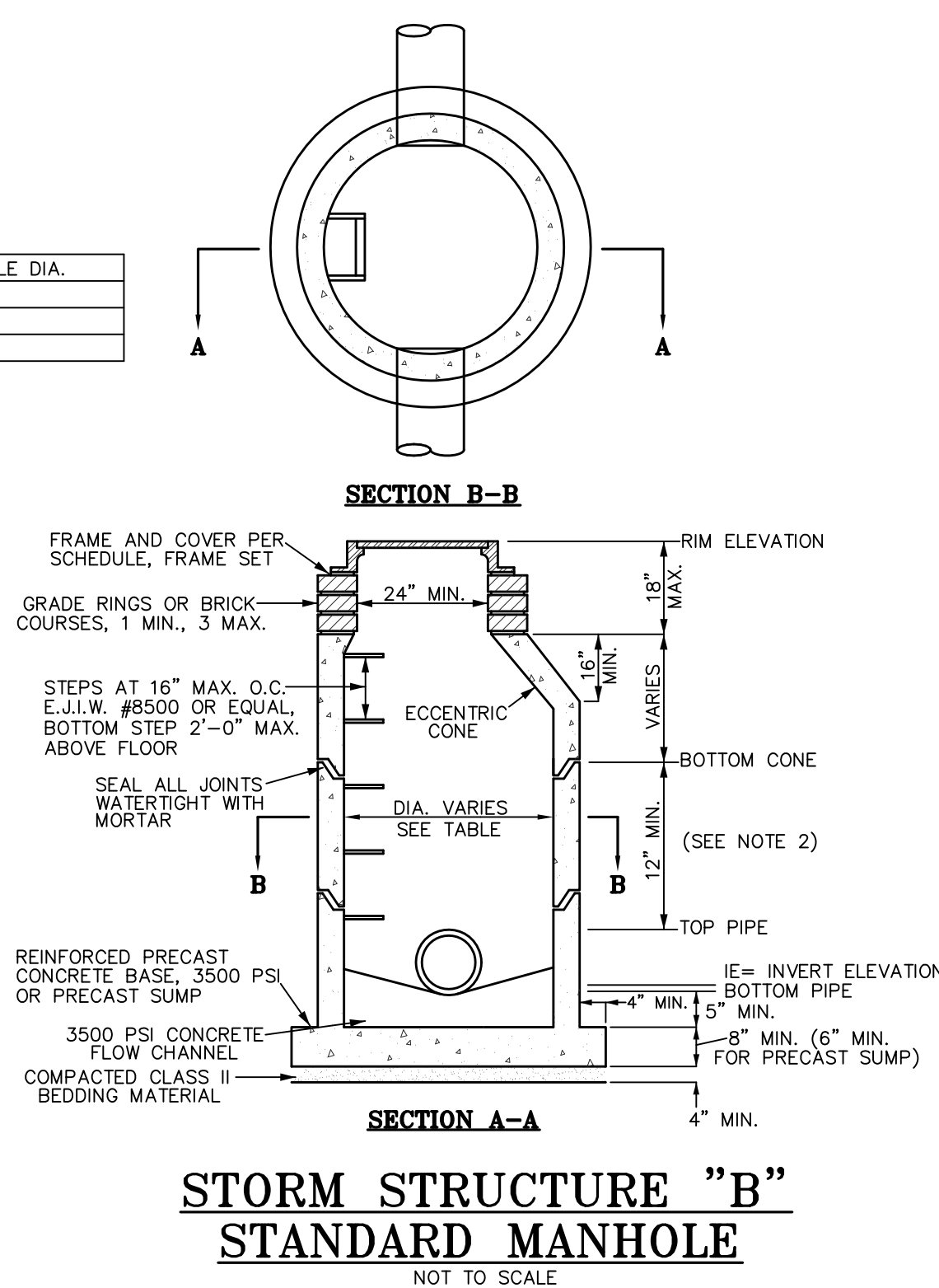


DESIGN: DRAFT: JHG CHECK: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION	VILLAS OF HARTLAND	ROAD DETAILS	CLIENT: HACKER ROAD, LLC 20771 RANDALL FARMINGTON HILLS, MI 48336-5320	SCALE: AS NOTED	DT1
	1	2-24-22	REVISED PRELIMINARY SITE PLAN							PROJECT No.: 152775	
										DWG NAME: 2775 DT	
										ISSUED: FEB. 24, 2022	

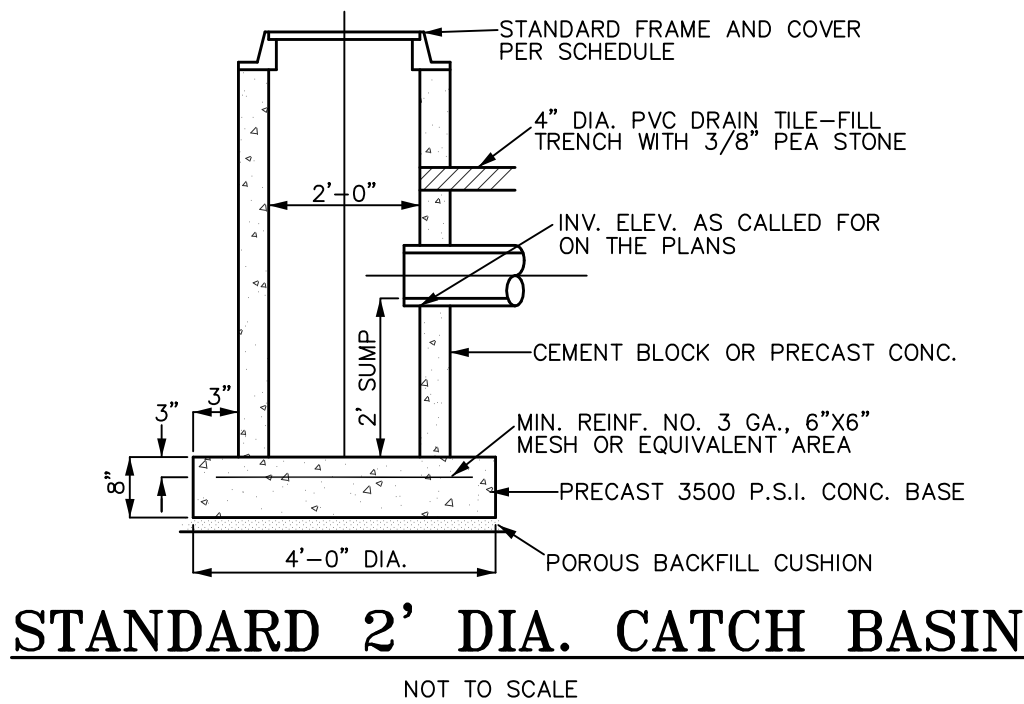




- NOTES:**
1. FURNISH LARGER STRUCTURE DIAMETER AS NEEDED TO MAINTAIN 6" MIN CLEAR BETWEEN PIPE OPENINGS.
  2. FURNISH LOW PROFILE STRUCTURE ONLY WHEN NECESSARY TO MAINTAIN PROPER CLEARANCE ABOVE PIPES.

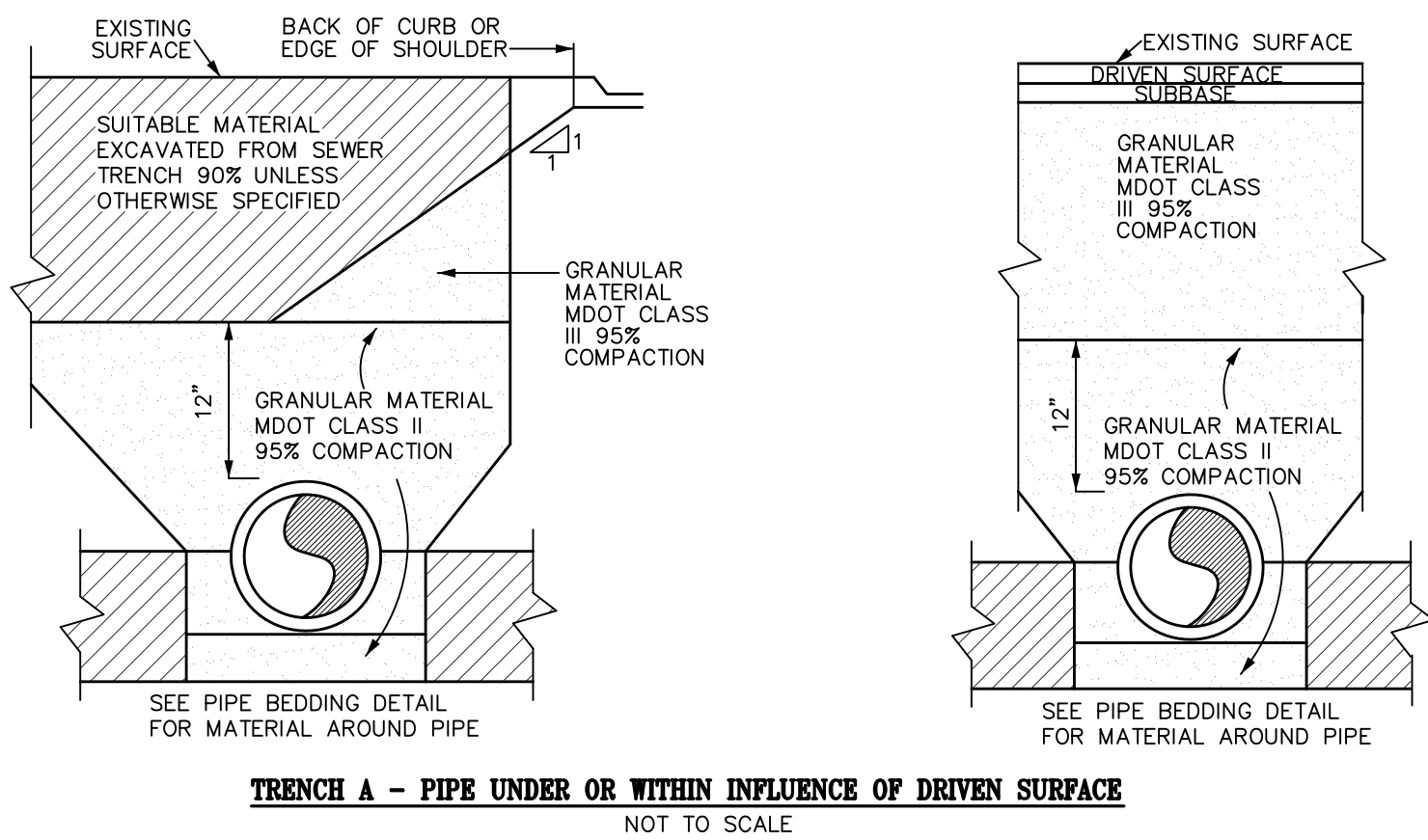


- NOTES:**
1. FURNISH LARGER STRUCTURE DIAMETER AS NEEDED TO MAINTAIN 6" MIN CLEAR BETWEEN PIPE OPENINGS.
  2. FURNISH LOW PROFILE STRUCTURE ONLY WHEN NECESSARY TO MAINTAIN PROPER CLEARANCE ABOVE PIPES.

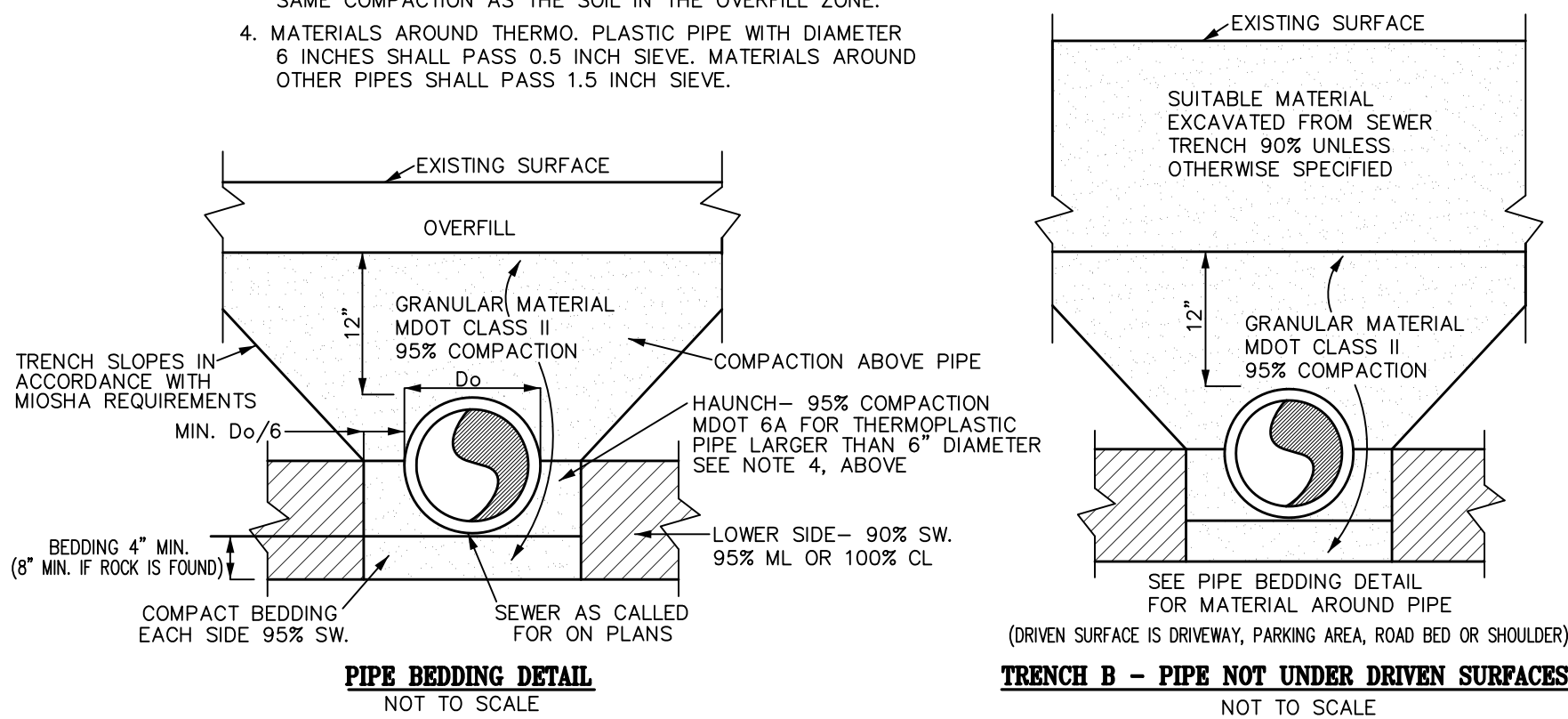


## STANDARD 2' DIA. CATCH BASIN

NOT TO SCALE

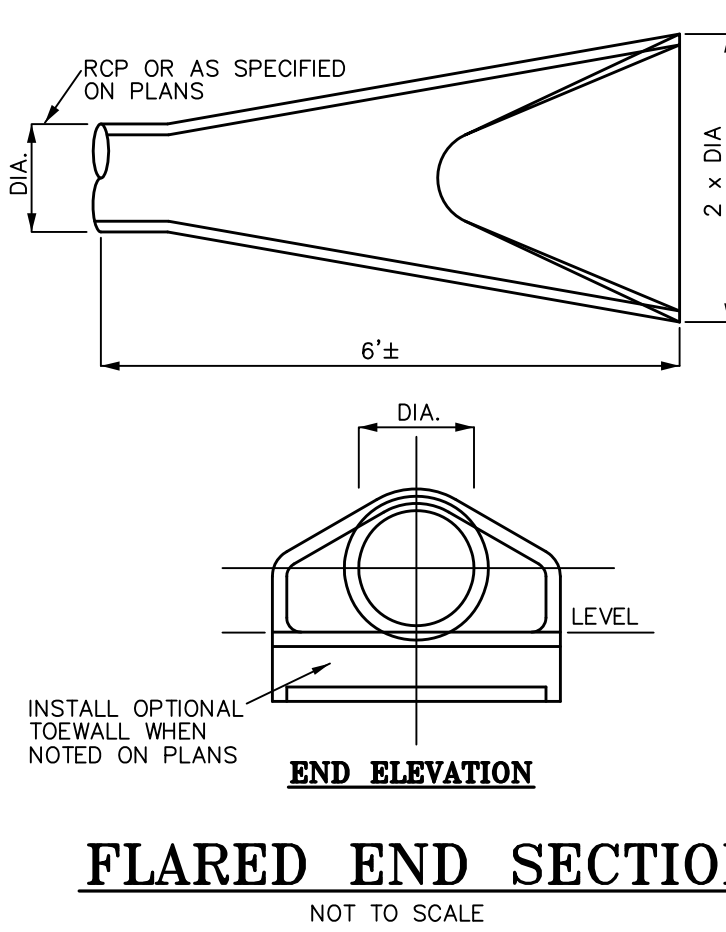


- NOTES:**
1. COMPACTION PRESENTED AS STANDARD PROCTOR VALUES.
  2. SOIL TYPES   **AASHTO DESIG.**
  - GRAVEL SANDY (SW)   A1, A3
  - SANDY SILTY (ML)   A2, A4
  - SILTY CLAY (CL)   A5, A6, A7
  3. SOIL IN HAUNCH AND LOWER SIDE ZONES OUTSIDE OF  $D_o/6$  FROM SPRING LINE SHALL BE COMPACTIONED TO AT LEAST THE SAME COMPACTION AS THE SOIL IN THE OVERFILL ZONE.
  4. MATERIALS AROUND THERMO. PLASTIC PIPE WITH DIAMETER 6 INCHES SHALL PASS 0.5 INCH SIEVE. MATERIALS AROUND OTHER PIPES SHALL PASS 1.5 INCH SIEVE.



## TRENCH DETAILS

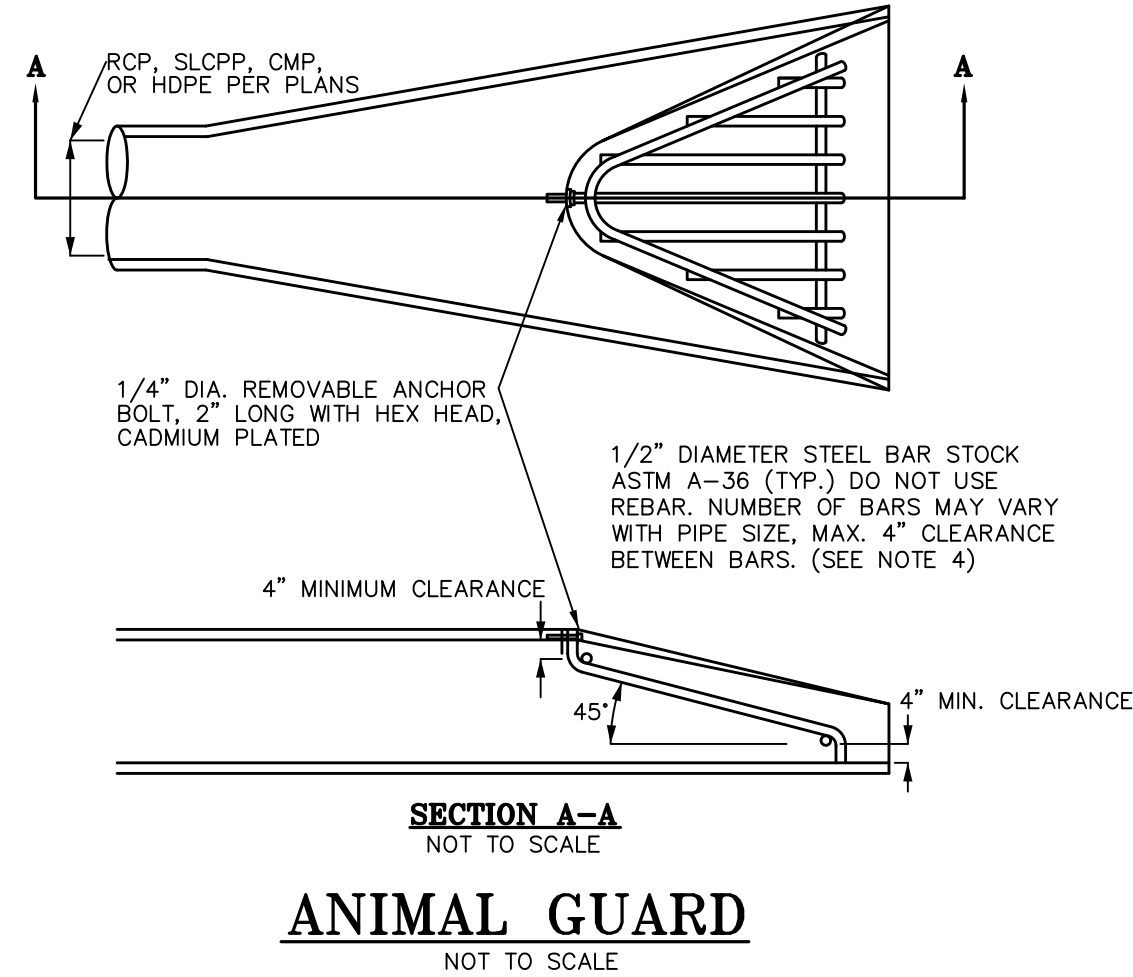
NOT TO SCALE



## FLARED END SECTION

NOT TO SCALE

- NOTES:**
1. RCP FLARED END SECTION SHOWN, PROVIDE SIMILAR FLARED END SECTION FOR CMP, SLOPP OR HDPE PIPE.
  2. PROVIDE RIP-RAP PER RIP-RAP DETAILS FOR ALL OUTLET FLARED END SECTIONS.
  3. INSTALL FLARED END SECTION WITH INVERT ELEVATION ELEVATION LEVEL AS VIEWED FROM END.



- NOTES:**
1. ANIMAL GUARD REQUIRED ON ALL FLARED END SECTIONS OF 15" DIAMETER PIPE OR GREATER.
  2. CONTRACTOR MAY SUBSTITUTE ALTERNATE GRATING LAYOUT AS APPROVED BY OWNER/ENGINEER/AGENCY PRIOR TO INSTALLATION.
  3. DETAIL SHOWN FOR RCP FLARED END SECTION, PROVIDE SIMILAR ANIMAL GUARD FOR FLARED END SECTIONS ON CMP, HDPE, AND SLOPP.
  4. WELD ALL CONNECTIONS FULL STRENGTH PER AMERICAN WELDING SOCIETY STANDARDS.

## STORM SEWER NOTES:

1. The storm sewer and stormwater management specifications of the Local Municipality are a part of this work. Refer to the General Notes on the project plans for additional requirements.
2. Storm sewer work shall include clearing of vegetation and tree stumps, stripping and stockpiling of topsoil for reuse, excavation of pipe trench, placement of pipe bedding, placement of pipe and structures including castings, connection to existing structures, tuck pointing of structures, backfill of pipe trench, compaction of backfill, finish grading to provide positive drainage to structures, adjustment of castings to match finish grade, topsoil placement, seed & mulch, site cleanup and restoration, and other work as shown on the project plans and specifications.
3. Existing and proposed grades shown in profile view, when provided on the project plans, may be in relation to the centerline of road or item other than the centerline of pipe. The pipe lengths and grades shown in profile view on the project plans may not be to scale.
4. RCP when shown on the project plans shall be reinforced concrete pipe and shall conform to the specifications for reinforced concrete pipe per ASTM C76. RCP pipe joints shall be bell-and-spigot with rubber gaskets conforming to ASTM C433. Non-gasketed joints shall only be utilized when authorized by the Owner, Engineer AND Municipality. Non-gasketed joints of pipe having a diameter of 30 inches or greater shall be tuck-pointed on the inside with cement mortar after the backfill process is complete. Install reinforced concrete end sections incidental to work. Saw cut pipes to length as needed. When pipe class is not shown on the project plans, provide the following:  
Pipe cover to proposed grade: 0 to 4 feet Class V  
4.1 to 10 feet Class III\*  
10.1 to 18 feet Class IV  
18.1 feet and greater Class V  
\* Use Class IV under paved surfaces
5. CMP when shown on the project plans shall be corrugated metal pipe and shall conform to the specifications for corrugated metal pipe per AASHTO Designation M36. CMP shall be 16-gauge steel minimum for 24 inch diameter or smaller and 14-gauge steel minimum for 30 inch diameter or greater. Install galvanized steel end sections and connection bands, incidental to work. Connection bands for CMP pipe joints located under paved surfaces shall be gasketed couplers. Saw cut pipes to length as needed.
6. HDPE - Type S when shown on the project plans shall be high density polyethylene pipe with a smooth interior and shall conform to the specifications for high density polyethylene pipe per AASHTO Designation M252 Type S for pipes of 3" to 10" diameter and per AASHTO Designation M294 Type S for pipes of 12" to 60" diameter. HDPE - Type S pipe joints shall be bell-and-spigot type conforming to ASTM D3212 with rubber gaskets conforming to ASTM F477. Tamp backfill at spring line of HDPE - Type S pipe. Install high density polyethylene end sections incidental to work. Saw cut pipes to length as needed.
7. HDPE - Type C when shown on the project plans shall be high density polyethylene pipe with a corrugated interior and shall conform to the specifications for high density polyethylene pipe per AASHTO Designation M252 for pipes of 3" to 10" diameter and per AASHTO Designation M294 for pipes of 12" to 60" diameter. HDPE - Type C pipe joints shall be bell-and-spigot type conforming to ASTM D3212 with rubber gaskets conforming to ASTM F477. Tamp backfill at spring line of HDPE - Type C pipe. Install high density polyethylene end sections incidental to work. Saw cut pipes to length as needed.
8. CPVC when shown on the project plans shall be corrugated polyvinyl chloride pipe and shall conform to the specifications for corrugated polyvinyl chloride pipe per ASTM F794 and F949. CPVC pipe joints shall be bell-and-spigot type conforming to ASTM D3212 with rubber gaskets conforming to ASTM F477. Tamp backfill at spring line of CPVC pipe. Install high density polyethylene end sections incidental to work. Saw cut pipes to length as needed.
9. PVC when shown on the project plans shall be polyvinyl chloride pipe and shall conform to the specifications for polyvinyl chloride pipe per ASTM D2751, maximum SDR of 26. PVC pipe joints shall be bell-and-spigot type conforming to ASTM D3212 with rubber gaskets conforming to ASTM F477 or solvent welded type conforming to ASTM D2564. Tamp backfill at spring line of PVC pipe. Saw cut pipes to length as needed.
10. Concrete storm structures shall be pre-cast and shall conform to the specification of pre-cast concrete structures per ASTM C478. Joints of concrete storm structure sections shall be bell-and-spigot with rubber gaskets conforming to ASTM C433. Brick, concrete block or cast in place storm structures may be substituted for pre-cast storm structures ONLY when authorized by the Owner, Engineer AND Municipality; refer to MDOT standard plan R-1, latest revision. Pipe openings in pre-cast structures shall be factory installed. All temporary openings in storm structures shall be tuck-pointed watertight with cement mortar. Refer to MDOT standard plan R-2, latest revision, for alternate on-line storm structure details when pipe exceeds 42 inch diameter.
11. Tap existing structures as acceptable to the Engineer and Municipality, incidental to work. All temporary openings in storm structures shall be tuck-pointed watertight with cement mortar.
12. Backfill all storm sewer in accordance with the Pipe Trench details provided on the project plans. Provide pipe bedding that meets or exceeds both the specifications of the Pipe Trench details on the project plans and the recommendation of the pipe manufacturer, incidental to work.
13. When edge drains and/or under drains are shown on the project plans, connection to storm structures is incidental to work. During storm sewer construction, install first 10 linear feet of edge drain and/or under drain from the storm structures in each specified direction and install temporary cap at end. Complete installation of edge drain following preparation of the subgrade when under paved surface or following finish grade when not under paved surface.
14. Install removable plugs in storm sewer stubs as acceptable to Engineer and Municipality, incidental to work. Mark the end of all storm sewer stubs with a 2" x 4" wooden stake extending a minimum of 12" above finish grade, incidental to work.
15. Storm structure castings shall be coated with water based asphaltic paint by the manufacturer. Seams and temporary openings between storm structures and castings shall be tuck-pointed water tight with cement mortar. Coordinate correct curb box / hood / "T" back as needed to match curb profile. See casting schedule on project plans for additional requirements.
16. Provide 3.5' minimum cover from the top of pipe of all roof drain pipes to the proposed finish grade when site conditions allow. When pipe cover is less than 3.5', install 2" thick by 24" wide Styrofoam insulation centered over the top of pipe at 12" above top of pipe or as required by the Local Municipality.

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	2-24-22	REVISED PRELIMINARY SITE PLAN
CHECK: WMP			

REVISION #	DATE	REVISION-DESCRIPTION

VILLAS OF  
HARTLAND

STORM SEWER DETAILS

CLIENT:	SCALE: AS NOTED
HACKER ROAD, LLC	PROJECT No.: 152775
20771 RANDALL	DWG NAME: 2775 DT
FARMINGTON HILLS, MI 48336-5320	ISSUED: FEB. 24, 2022

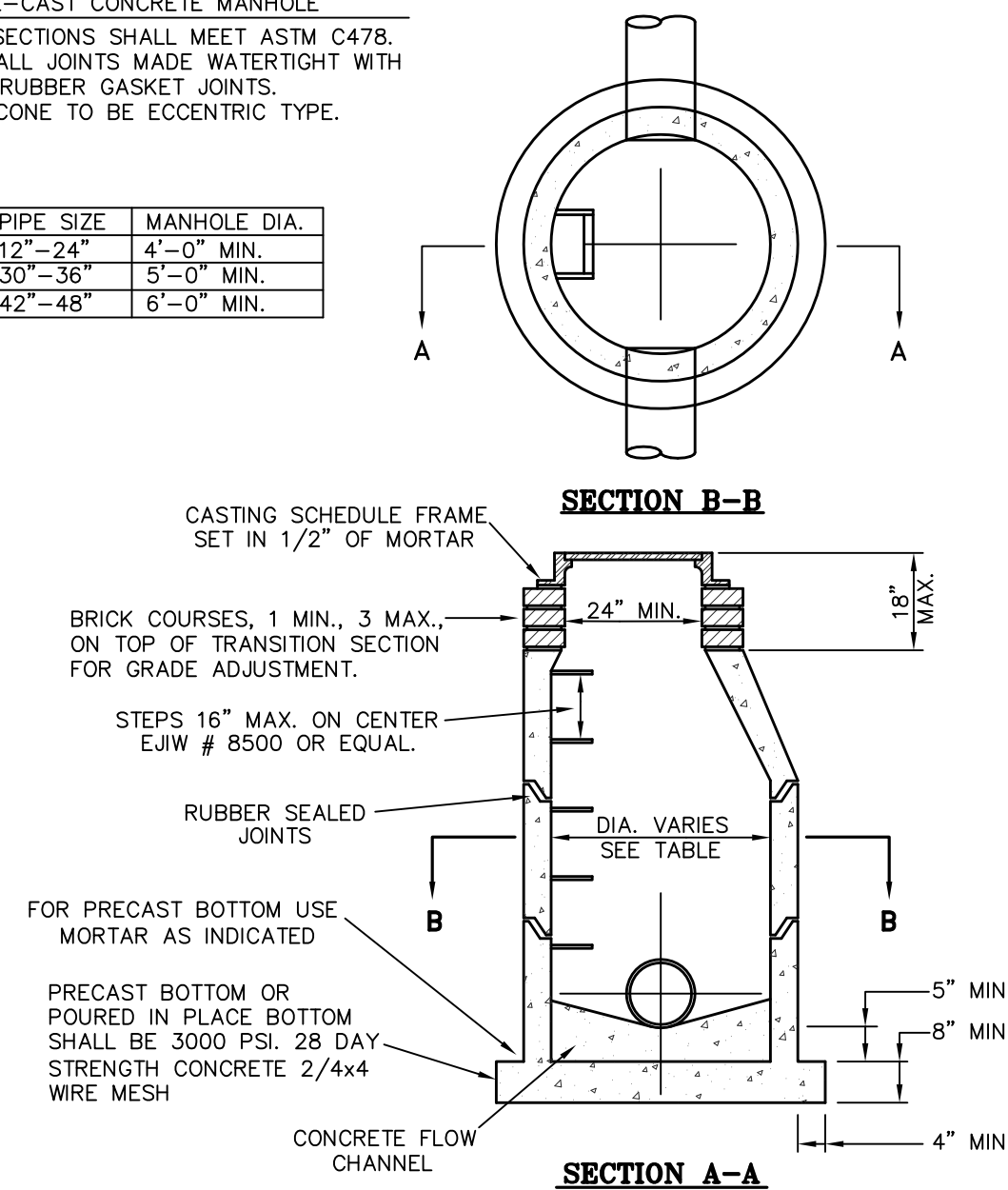
DT2

**DESIGN INC.**  
(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

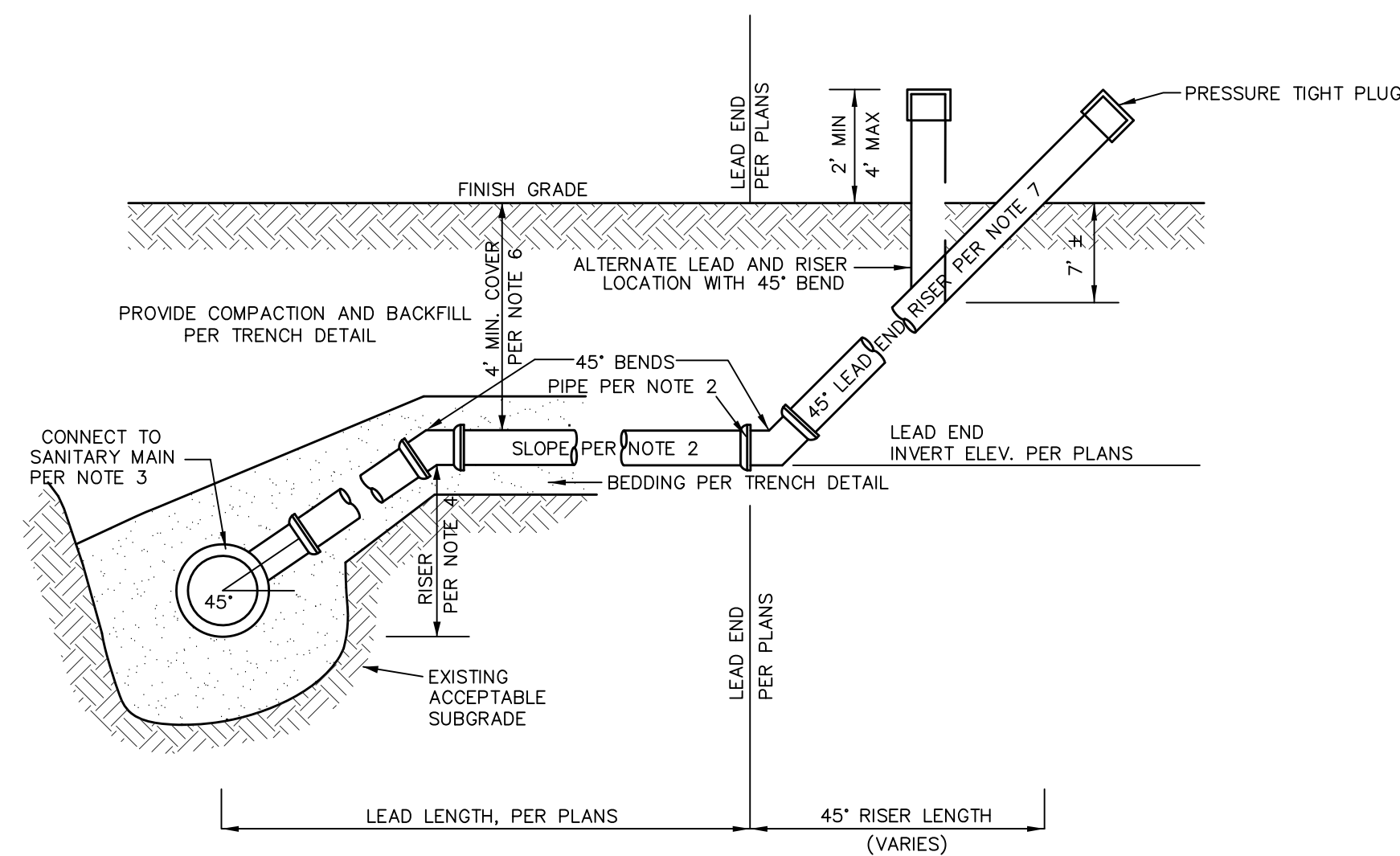


1. SECTIONS SHALL MEET ASTM C478.
2. ALL JOINTS MADE WATERTIGHT WITH RUBBER GASKET JOINTS.
3. CONE TO BE ECCENTRIC TYPE.

PIPE SIZE	MANHOLE DIA.
12"-24"	4'-0" MIN.
30"-36"	5'-0" MIN.
42"-48"	6'-0" MIN.



NOT TO SCALE



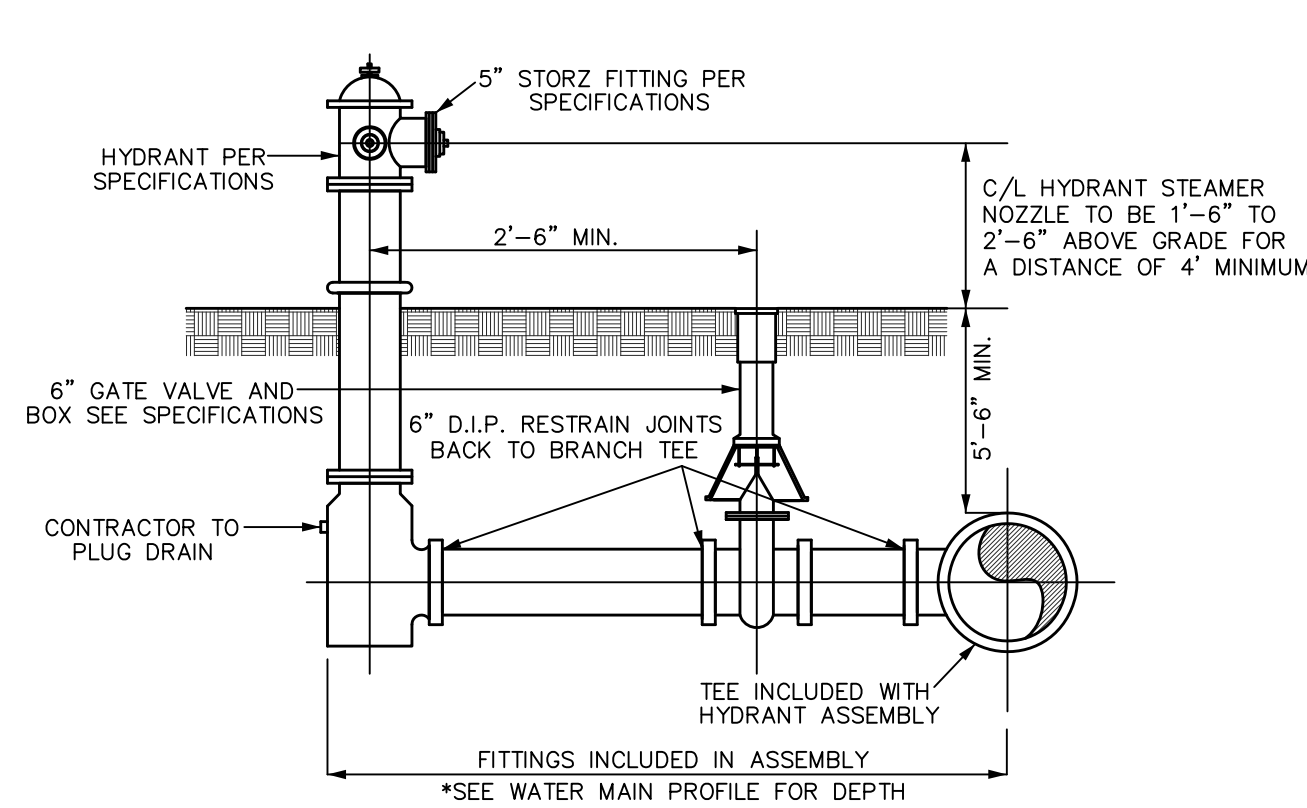
NOT TO SCALE

## GROUND BURIED PRESSURE PIPE- DUCTILE IRON AND PVC PIPE

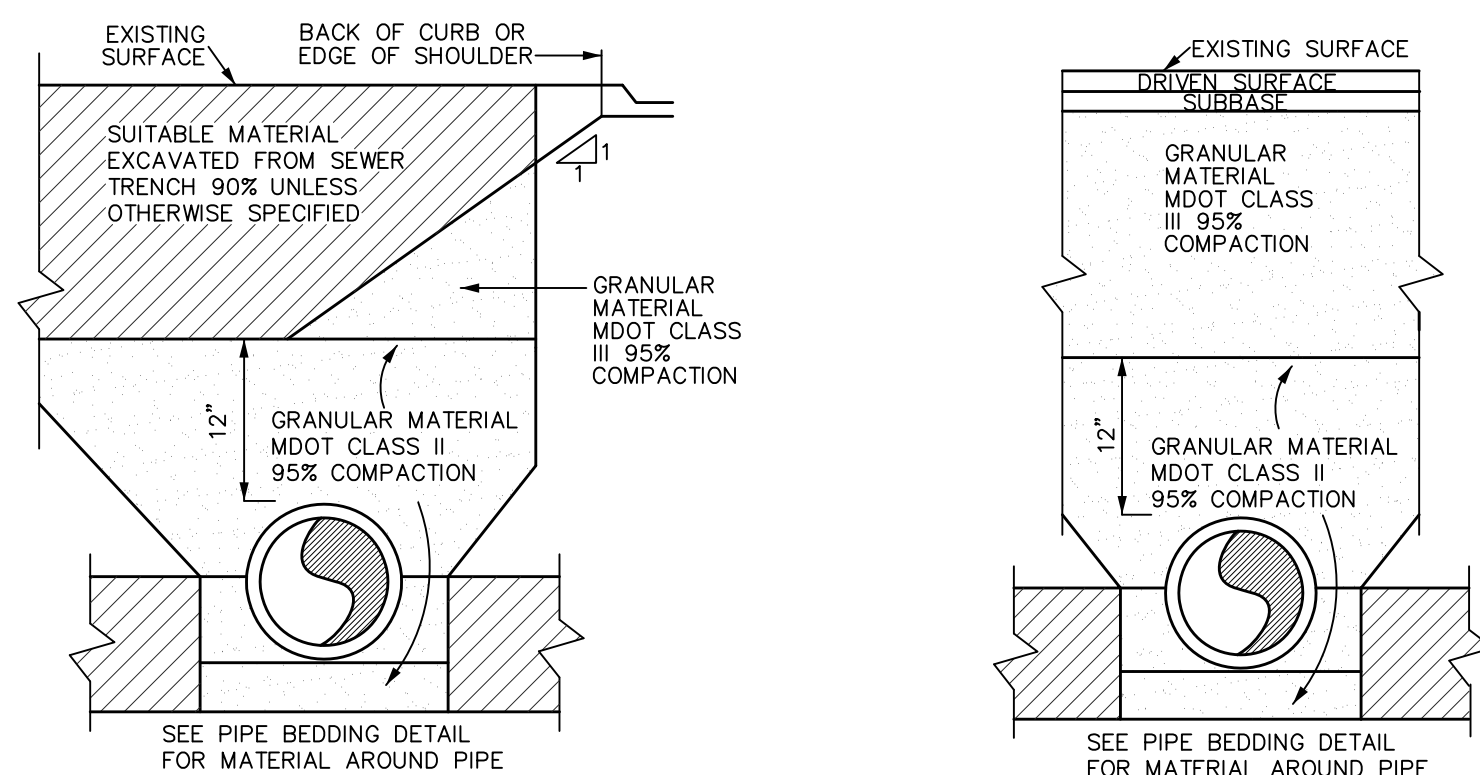
PIPE DIAMETER	TEES, 90° BENDS	45° BENDS	22-1/2° BENDS	11-1/4° BENDS	DEAD ENDS	REDUCERS (ONE SIZE REDUCTION)*	REDUCERS (TWO SIZE REDUCTION)
4	11	5	2	1	28	--	--
6	16	7	3	2	41	21	--
8	21	9	4	2	52	21	49
12	30	12	6	3	75	40	81
16	38	16	8	4	97	41	96
20	46	19	9	5	118	42	94
24	54	22	11	5	139	42	92
30	65	27	13	6	169	59	117
36	75	31	15	7	197	59	132

BASED UPON: INTERNAL PRESSURE:  
PIPE DEPTH:  
BEDDING CLASS:  
SOIL TYPE:  
SAFETY FACTOR:

SERVICE PIPE	CORP. STOP	CURB STOP	SERVICE BOX
1"	1"	1"	2 1/2"
1 1/2"	1 1/4" X 1 1/2"	1 1/2"	3"
2"	1 1/2" X 2"	2"	3"
1 1/4"	1 1/4"	1 1/4"	3"



NOT TO SCALE



NOT TO SCALE

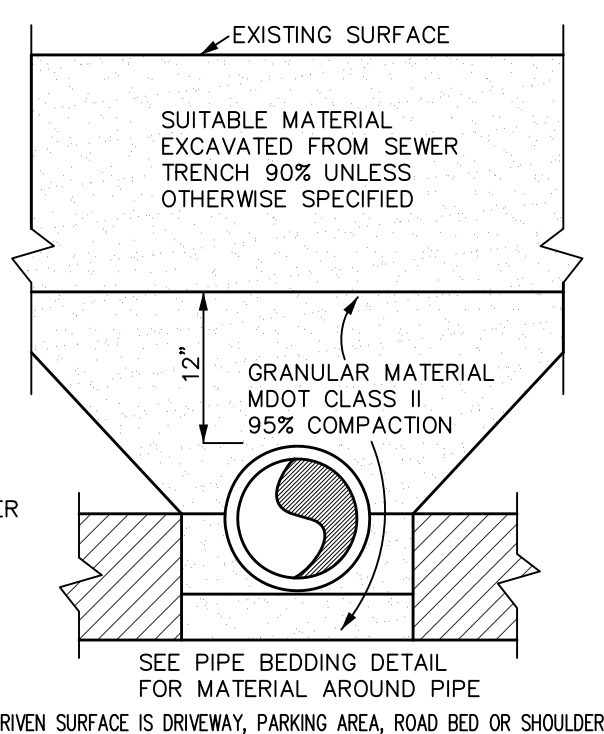
Diagram illustrating the construction details for a sewer installation, showing the relationship between the existing surface, overfill, granular material, pipe, haunch, and bedding.

Labels and Dimensions:

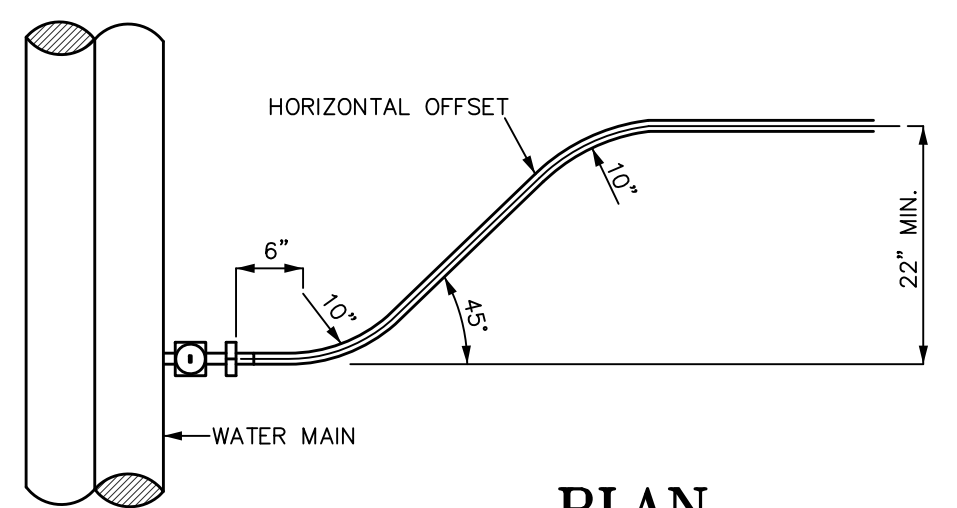
- EXISTING SURFACE
- OVERFILL
- 12"
- GRANULAR MATERIAL  
MDOT CLASS II  
95% COMPACTION
- COMPACTION ABOVE PIPE
- HAUNCH - 95% COMPACTION  
MDOT 6A FOR THERMOPLASTIC  
PIPE LARGER THAN 6" DIAMETER  
SEE NOTE 4, ABOVE
- LOWER SIDE - 90% SW.  
95% ML OR 100% CL
- SEWER AS CALLED FOR ON PLANS
- PIPE BEDDING  
DE 95% SW.
- NTS
- $D_o/6$
- $D_o$

NOT TO SCALE

NOT TO SCALE

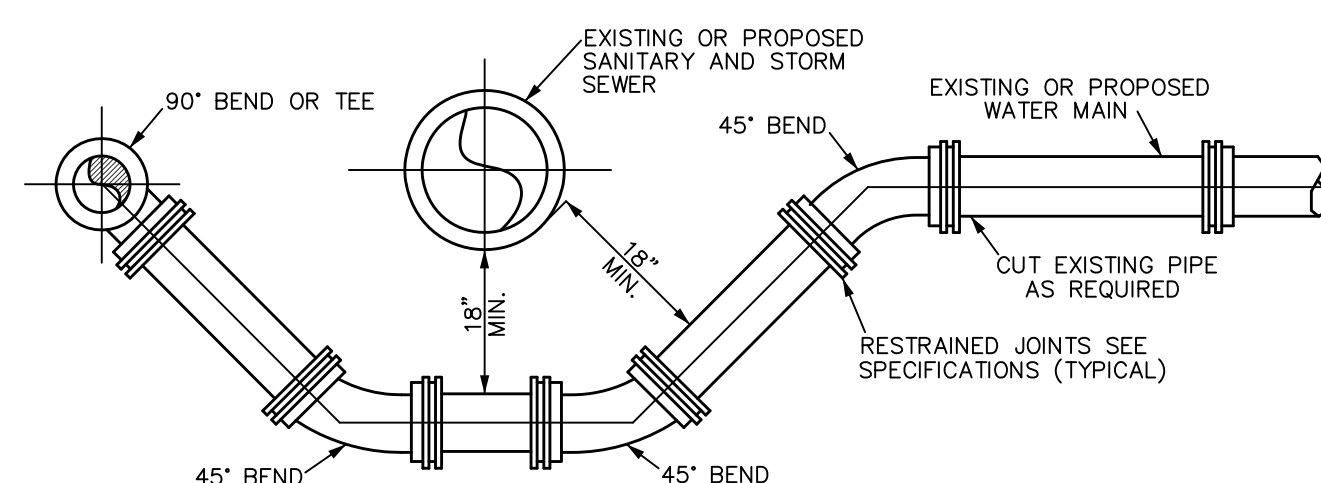


NOT TO SCALE



The diagram illustrates the installation of a curb stop. On the left, a 'WATER MAIN' is shown with a 'CORPORATION STOP' attached. A 'SERVICE PIPE' runs horizontally from the corporation stop to the curb stop. The section of pipe between the corporation stop and the curb stop is labeled 'VARIABLE (ONE PIECE OF PIPE)'. The curb stop is installed in a 'CAST IRON CURB BOX' which is set into the ground. The top of the curb box is at 'FIN. GRADE' (finished grade), and the bottom of the curb stop is at 'LOT LINE'. The distance from the finished grade to the top of the curb stop is '5'-6" MIN.'. The distance from the lot line to the bottom of the curb stop is '6"'. The curb stop has a 'PEENED END' on the right side.

## WATER SERVICE CONNECTION



NOT TO SCALE

- NOTE:**
1. FOR PLASTIC PIPE, WRAP TRACER WIRE AROUND TOP OF VALVE BOX.
  2. INSTALL COUPLINGS/FITTINGS AS NEEDED.
  3. PROVIDE MECHANICAL JOINT RESTRAINTS FOR ALL GATE VALVES.

14. Contractor shall flush, test and chlorinate the water main in accordance with the Local Municipality.

# VILLAS OF HARTLAND

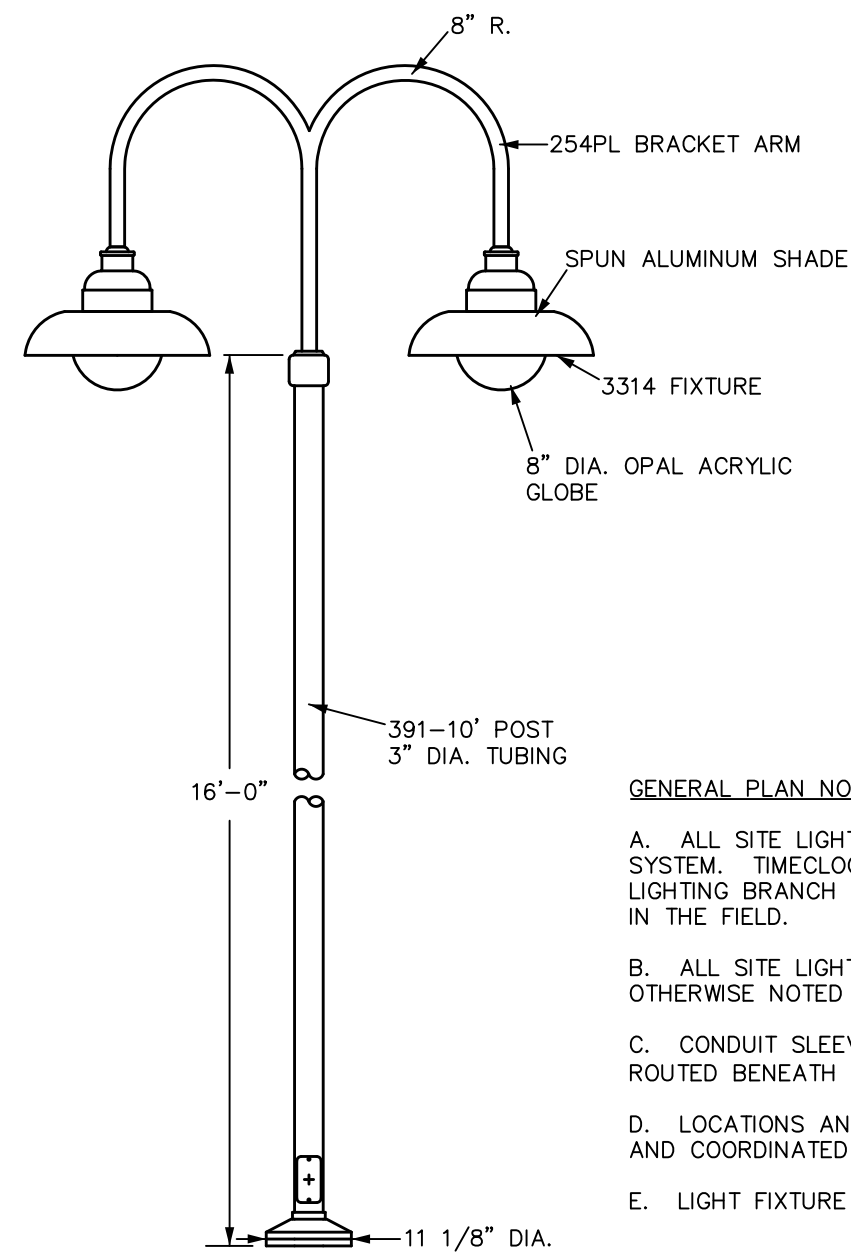
## SANITARY SEWER & WATERMAIN DETAILS

CLIENT:  
HACKER ROAD, LLC  
20771 RANDALL  
FARMINGTON HILLS, MI 48336-5320

SCALE: AS NOTED  
PROJECT No.: 152775  
DWG NAME: 2775 DT  
ISSUED: FEB. 24, 2022

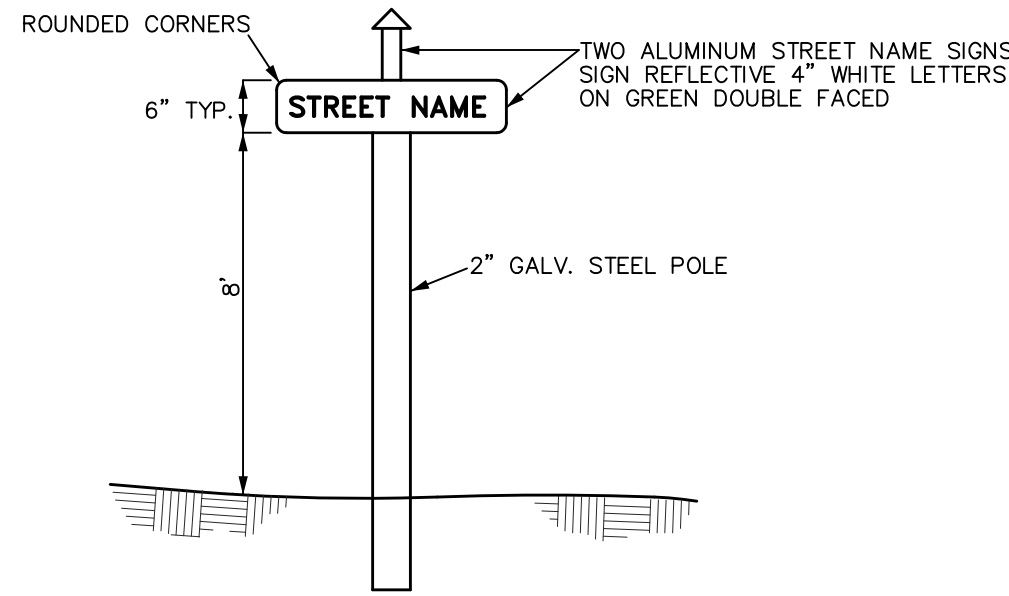
DT3





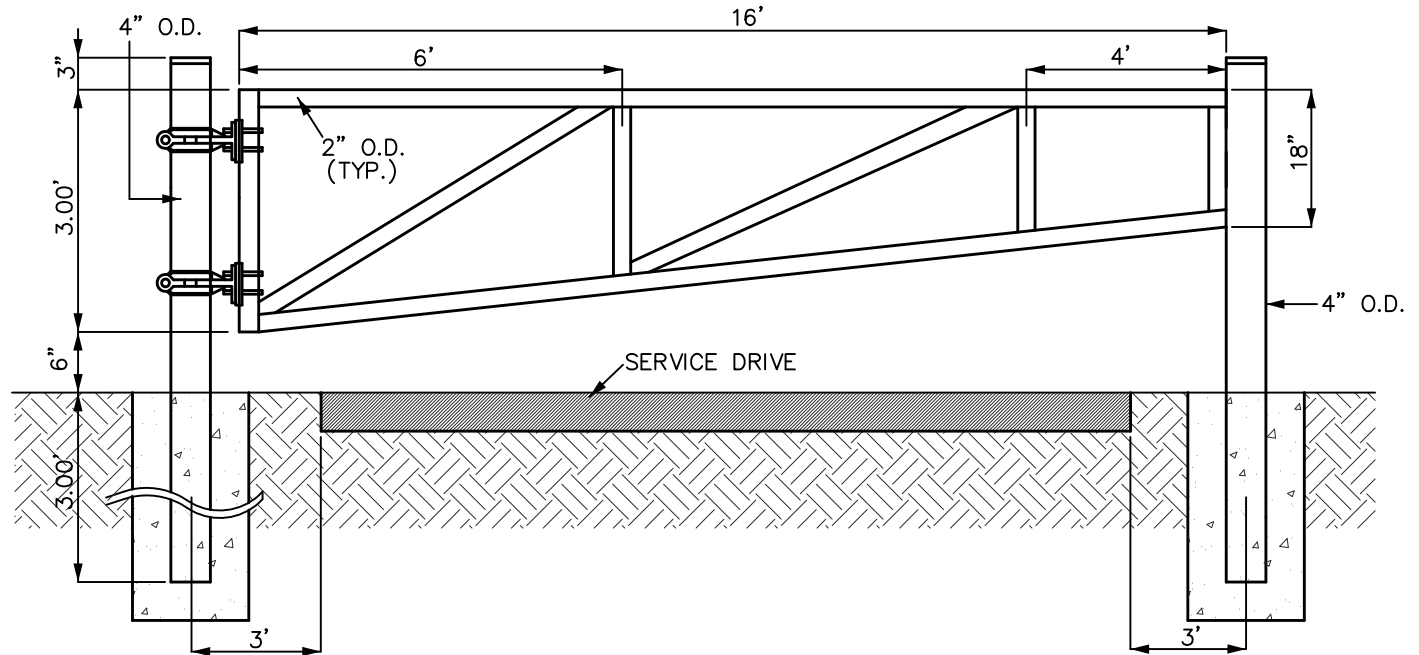
**LIGHT POLE**  
NOT TO SCALE

- GENERAL PLAN NOTES**
- A. ALL SITE LIGHTING SHALL BE CONTROLLED VIA PHOTOCELL INITIATED TIMECLOCK SYSTEM. TIMECLOCK SHALL BE LOCATED ADJACENT TO PANEL FOR WHICH SITE LIGHTING BRANCH CIRCUITS ORIGINATE. COORDINATE EXACT LOCATION OF PHOTOCELL IN THE FIELD.
  - B. ALL SITE LIGHTING BRANCH CIRCUITS SHALL UTILIZE DIRECT BURIAL, UNLESS OTHERWISE NOTED BY THESE DRAWINGS.
  - C. CONDUIT SLEEVES SHALL BE PROVIDED FOR ALL BRANCH CIRCUITS AND FEEDERS ROUTED BENEATH PAVED SURFACES/AREAS.
  - D. LOCATIONS AND ROUTING OF ALL ELECTRICAL SITE UTILITIES SHALL BE VERIFIED AND COORDINATED WITH RESPECTIVE UTILITY COMPANY.
  - E. LIGHT FIXTURE TO BE PROPERLY SHIELDED.



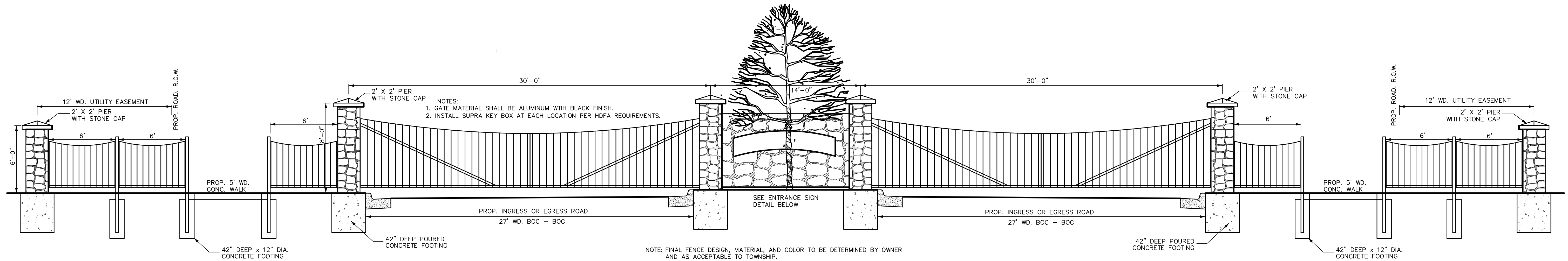
**STREET NAME SIGN DETAIL**  
NOT TO SCALE

SIGN SCHEDULE					
SIGN	KEY	SIZE (W x H)	TYPE OR MOUNT	MOUNTING HEIGHT	QUANTITY
	RI-1	30" x 30"	POST MOUNTED	7'-0"	2



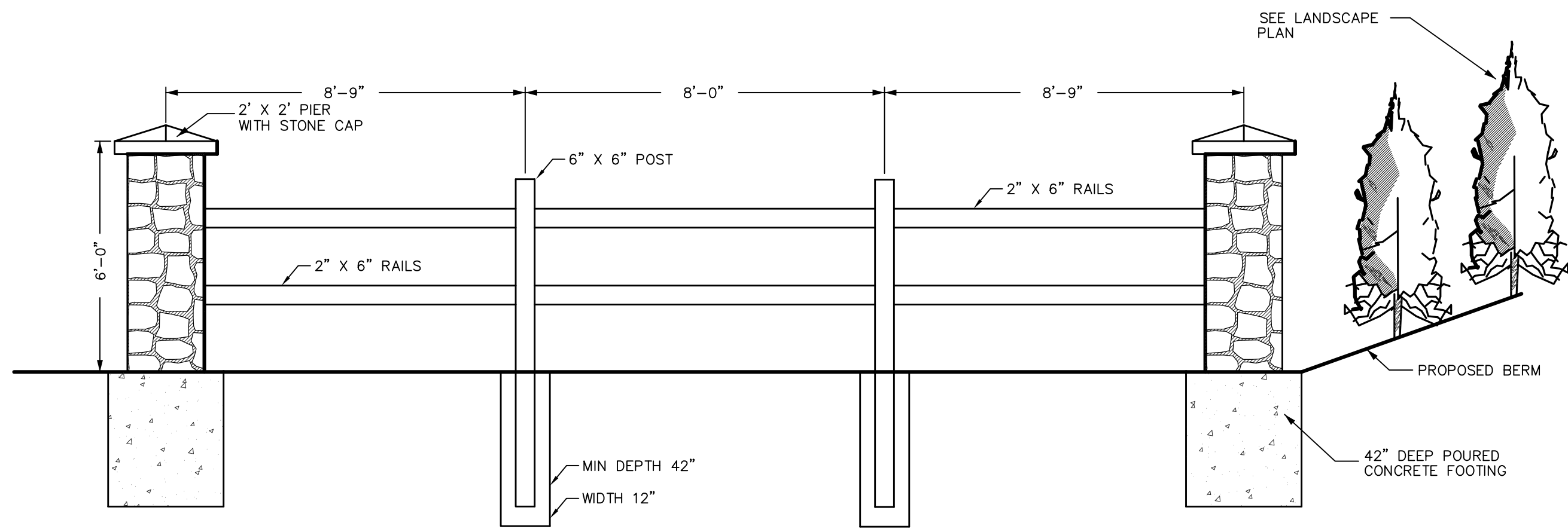
**EMERGENCY ACCESS GATE DETAIL**  
NOT TO SCALE

NOTES:  
1. GATE MATERIAL SHALL BE ALUMINUM WITH BLACK FINISH.  
2. INSTALL SUPRA KEY BOX AT EACH LOCATION PER HDFA REQUIREMENTS.



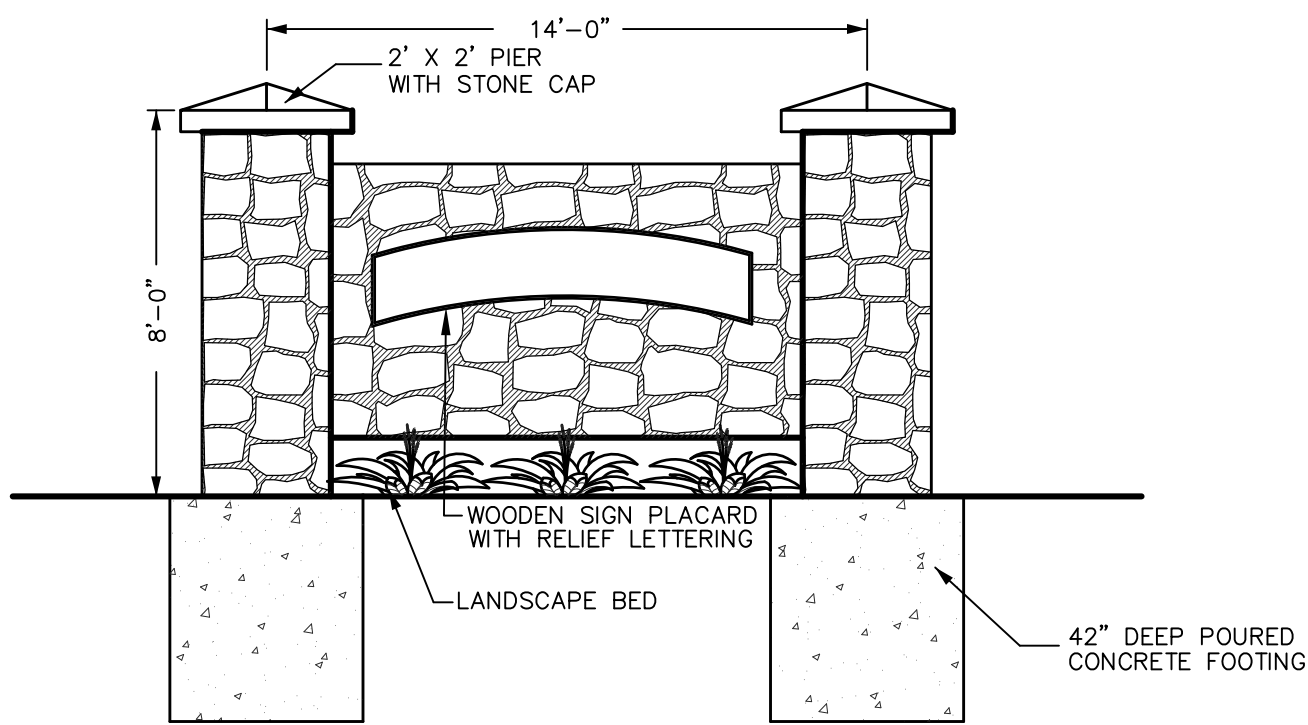
**CONCEPTUAL DECORATIVE GATE DETAIL**  
NOT TO SCALE

NOTE: FINAL FENCE DESIGN, MATERIAL, AND COLOR TO BE DETERMINED BY OWNER AND AS ACCEPTABLE TO TOWNSHIP.



**CONCEPTUAL DECORATIVE FENCE DETAIL**  
NOT TO SCALE

NOTE: FINAL FENCE DESIGN, MATERIAL, AND COLOR TO BE DETERMINED BY OWNER AND AS ACCEPTABLE TO TOWNSHIP.



**ENTRANCE SIGN DETAIL**  
SCALE: 1"=3'

DESIGN:	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG	1	1-4-21	REVISED PER REVIEW COMMENTS			
CHECK: WMP	2	1-29-21	REVISED PER REVIEW COMMENTS			
	3	2-24-22	REVISED PRELIMINARY SITE PLAN			

VILLAS OF  
HARTLAND

SITE DETAILS

CLIENT:  
HACKER ROAD, LLC  
20771 RANDALL  
FARMINGTON HILLS, MI 48336-5320

SCALE: AS NOTED  
PROJECT No.: 152775  
DWG NAME: 2775 DT  
ISSUED: FEB. 24, 2022

DT4

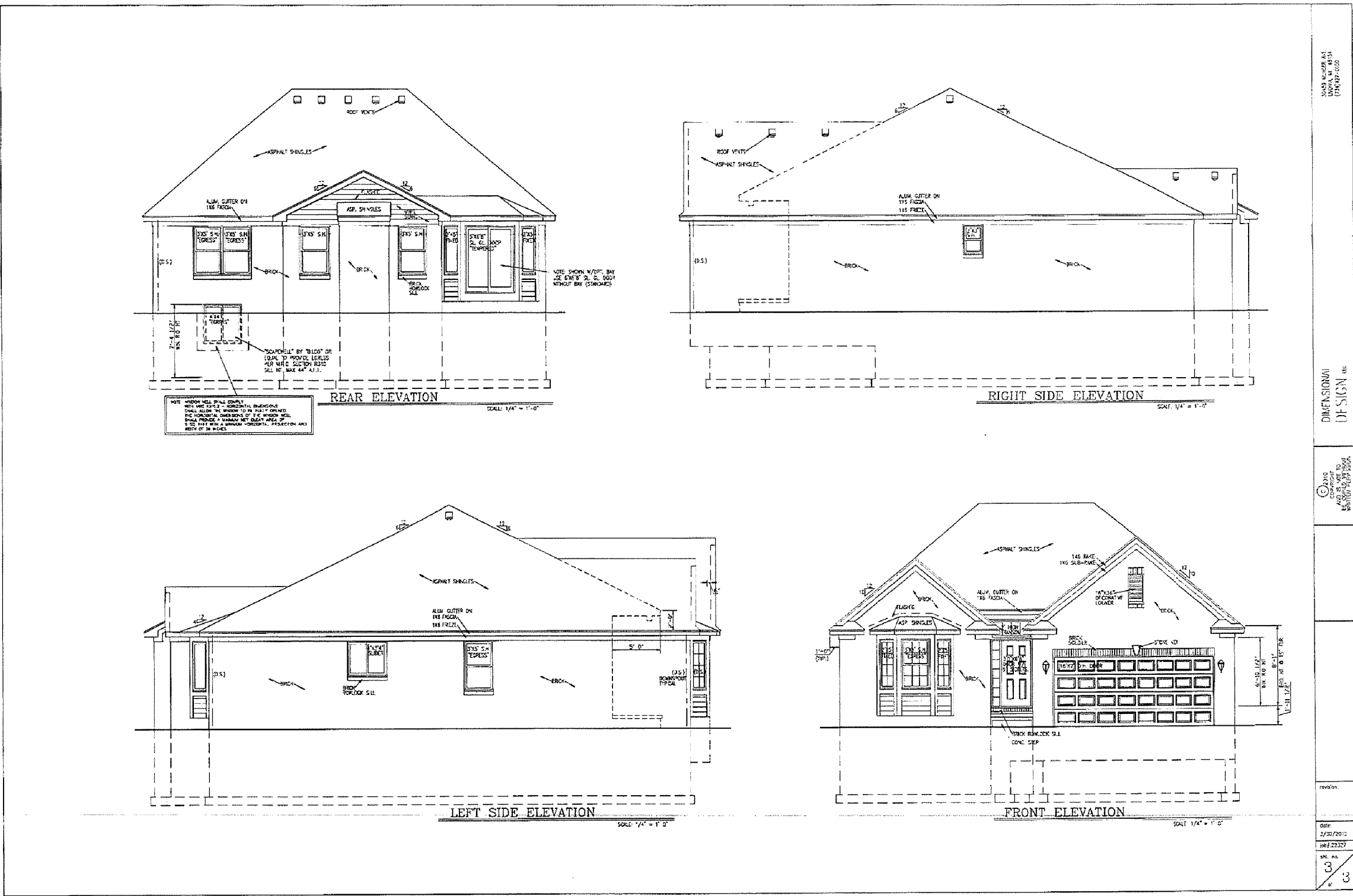
**DESIGN INC.**  
(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114



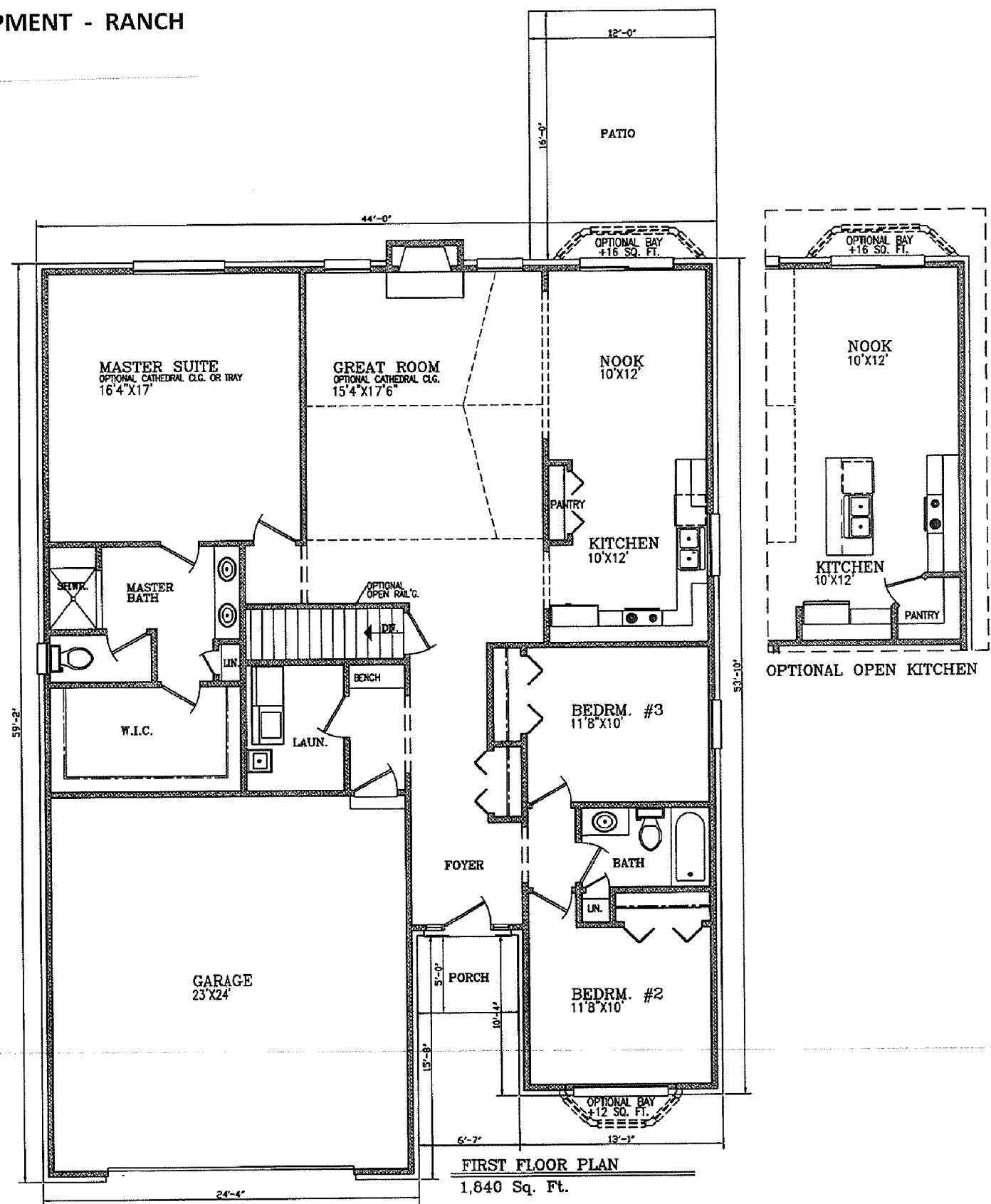


HACKER ROAD DEVELOPMENT - RANCH

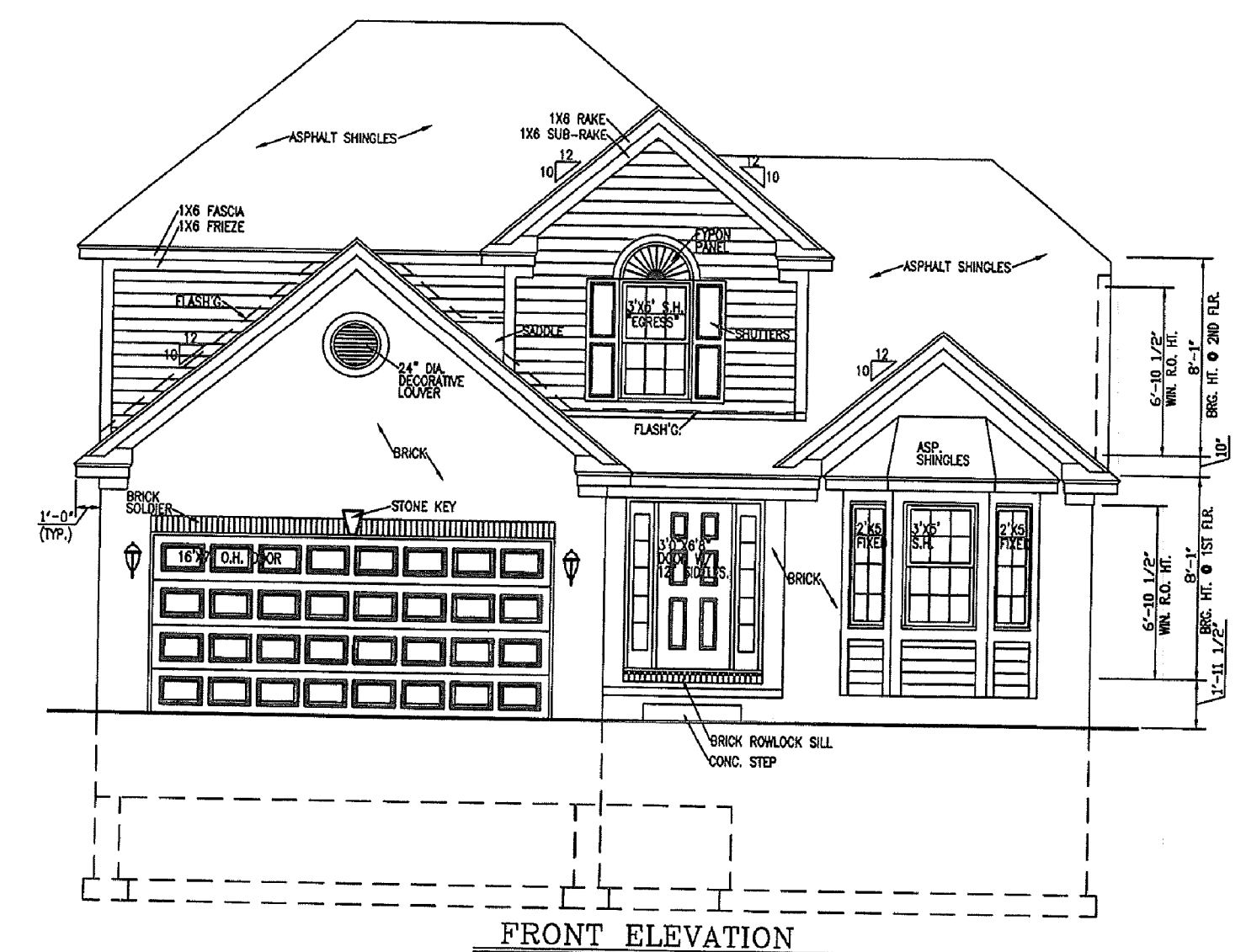
HACKER ROAD DEVELOPMENT - RANCH



HACKER ROAD DEVELOPMENT - RANCH









HACKER ROAD DEVELOPMENT - 3 & 4 BEDROOM TWO-STORY

3 Bedroom Colonial



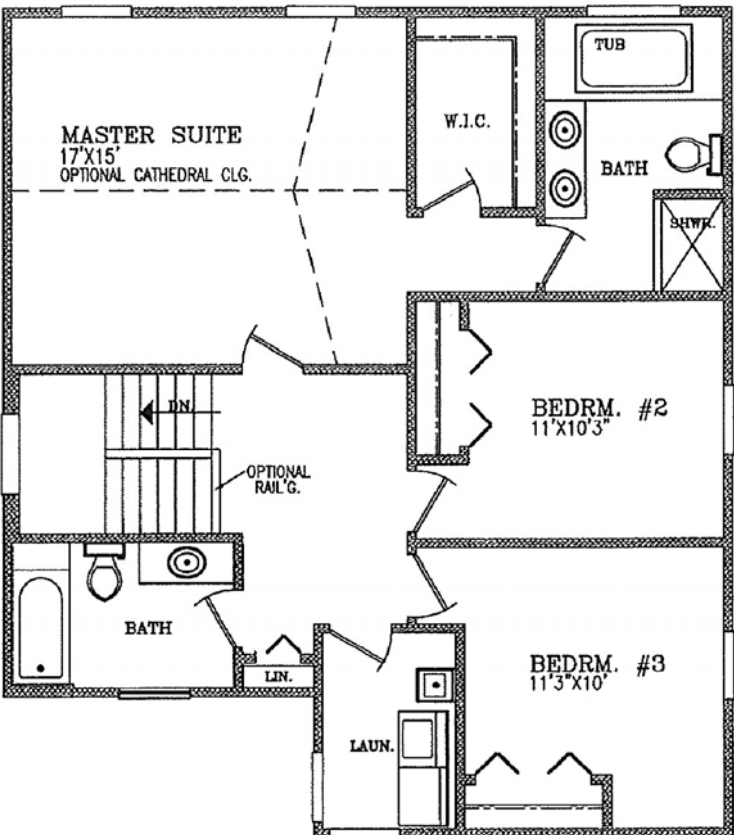
ELEVATION - A



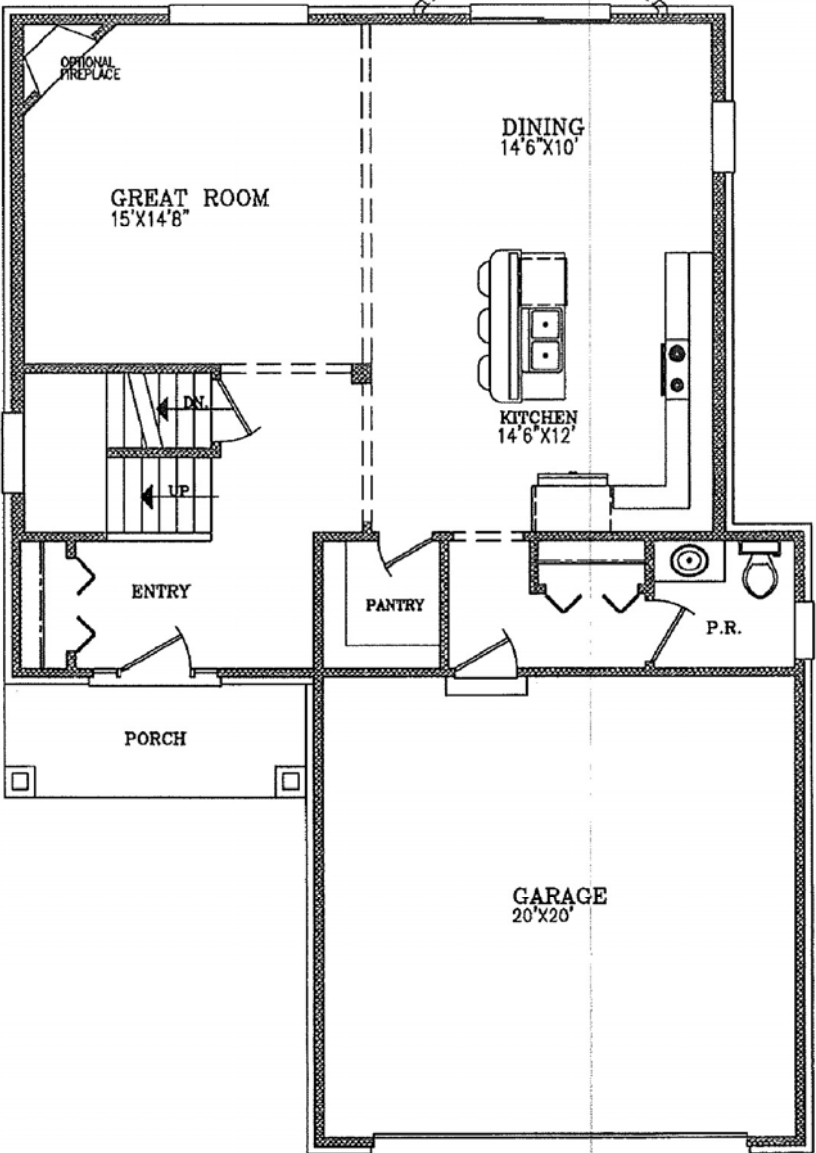
ELEVATION - B

HACKER ROAD DEVELOPMENT - 3 & 4 BEDROOM TWO-STORY

3 Bedroom Colonial  
1,907 Sq. Ft.



SECOND FLOOR PLAN



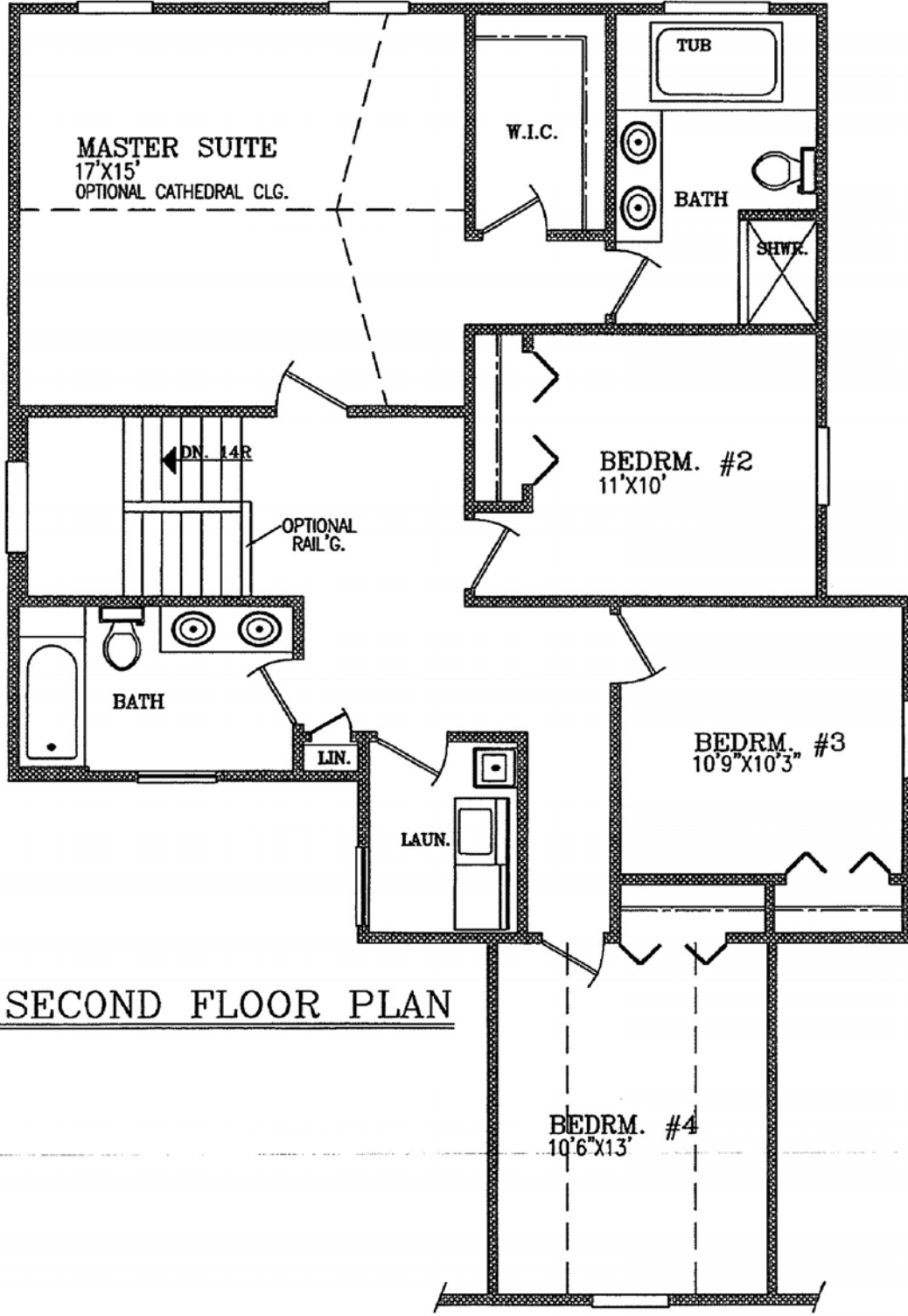
FIRST FLOOR PLAN



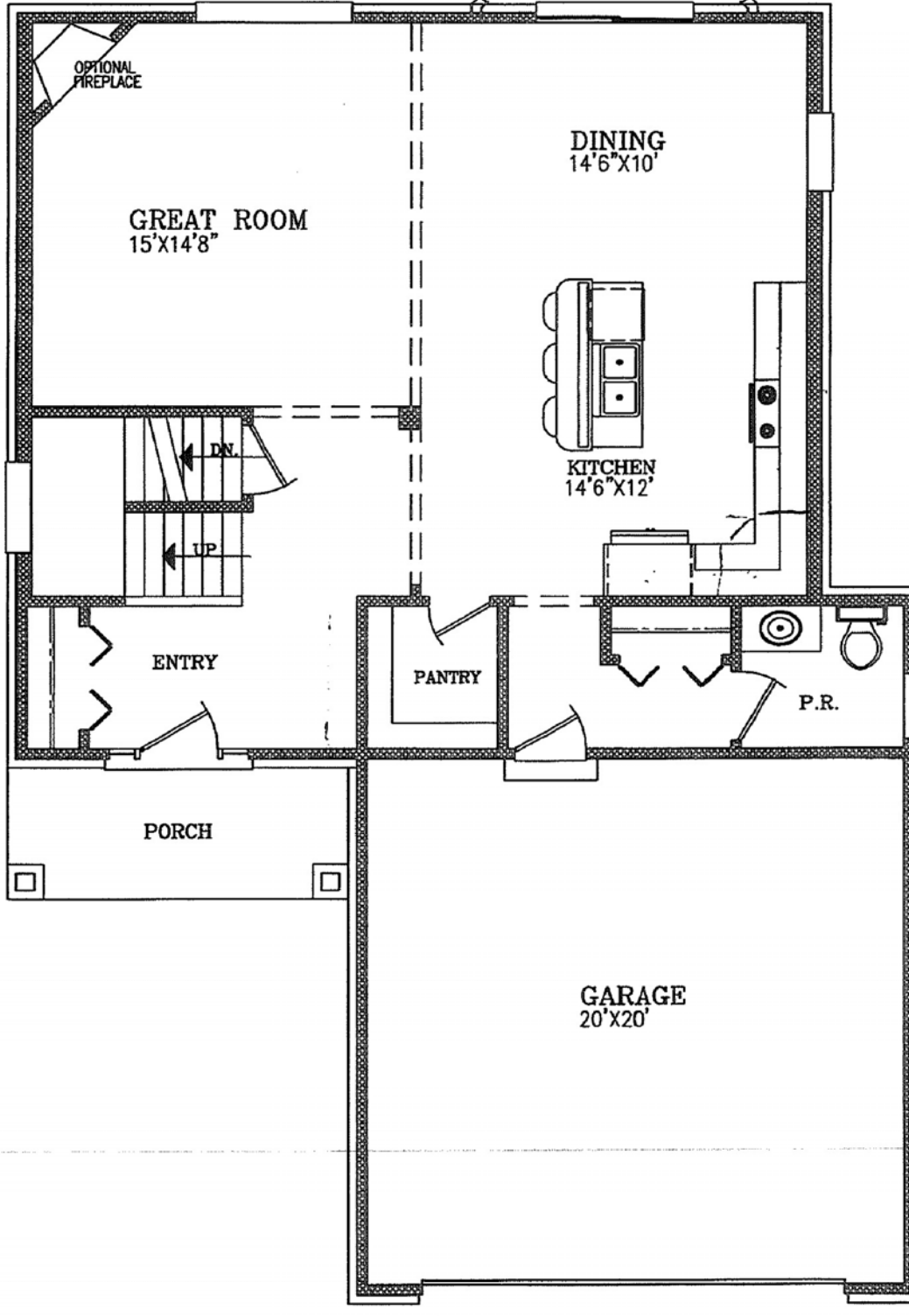
HACKER ROAD DEVELOPMENT - 3 & 4 BEDROOM TWO-STORY

HACKER ROAD DEVELOPMENT - 3 & 4 BEDROOM TWO-STORY

4 Bedroom Colonial  
2,100 Sq. Ft.



SECOND FLOOR PLAN



FIRST FLOOR PLAN



## **Hartland Township Board of Trustees Meeting Agenda Memorandum**

**Submitted By:** Robert M. West, Township Manager

**Subject:** Closed Session: to consider a periodic personnel evaluation of the Township Manager,  
at his request under MCL 15.268(a)

**Date:** June 13, 2022



## Board of Trustees

William J. Fountain, Supervisor  
Larry N. Ciofu, Clerk  
Kathleen A. Horning, Treasurer

Matthew J. Germane, Trustee  
Summer L. McMullen, Trustee  
Denise M. O'Connell, Trustee  
Joseph M. Petrucci, Trustee

---

June 1, 2022

Hartland Township Board  
2655 Clark Road  
Hartland, MI 48353

Please accept this correspondence as a formal request for a periodic evaluation of my performance as Hartland Township Manager in closed session.

Please feel free to contact me with any further questions or comments regarding this matter and thank you for your time.

Sincerely,

Robert M. West  
Township Manager