



Board of Trustees

William J. Fountain, Supervisor	Matthew J. Germane, Trustee
Larry N. Ciofu, Clerk	Summer L. McMullen, Trustee
Kathleen A. Horning, Treasurer	Denise M. O'Connell, Trustee
	Joseph M. Petrucci, Trustee

Board of Trustees Regular Meeting Agenda Hartland Township Hall Tuesday, September 05, 2023 7:00 PM

1. Call to Order
 2. Pledge of Allegiance
 3. Roll Call
 4. Approval of the Agenda
 5. Call to the Public
 6. Approval of the Consent Agenda
 - [a.](#) Approve Payment of Bills
 - [b.](#) Approve Post Audit of Disbursements Between Board Meetings
 - [c.](#) 08-15-23 Hartland Township Board Regular Meeting Minutes
 - [d.](#) Gen-X – Hartland High School Fireworks Permit Application
 - [e.](#) Site Plan #17-016 – Release of Performance Bond for Bella Vita
 7. Pending & New Business
 - [a.](#) Site Plan #23-009 Climate controlled self-storage facility Planned Development (PD) Concept Plan
 8. Board Reports
- [BRIEF RECESS]
9. Information / Discussion
 - a. Manager's Report
 10. Adjournment

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Susan Case, Finance Clerk

Subject: Approve Payment of Bills

Date: August 30, 2023

Recommended Action

Move to approve the bills as presented for payment.

Discussion

Bills presented total \$159,015.39. The bills are available in the Finance office for review.

Notable invoices include:

\$37,115.87 – Brown Drilling – (Well #1 repairs)

\$25,136.87 – Chloride Solutions – (August 2023 dust control)

\$10,374.50 – Foster, Swift, Collins & Smith – (July 2023 legal)

\$11,779.00 – K & J Electrical – (Lighting upgrades & hand dryers at Hero Teen Center)

\$42,242.94 – Spalding Dedecker – (Various engineering invoices)

Financial Impact

Is a Budget Amendment Required? ☐ Yes ☒ No

All expenses are covered under the amended FY24 budget.

Attachments

Bills for 09.05.2023

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INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 09/05/2023 - 09/05/2023
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ALLSTAR	ALLSTAR ALARM LLC	08/15/2023	374300	FOA	HERO TEEN CENTER ALARM REPAIR	
49614	8345 MAIN STREET	09/05/2023		N		243.62
08/15/2023	WHITMORE LAKE MI, 48189	/ /	0.0000	N		0.00
		09/05/2023		Y		243.62

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	243.62

VENDOR TOTAL: 243.62

APPLIED	APPLIED INNOVATION	08/25/2023	2286240	FOA	7/23/23 - 8/22/23 RICOH MP6055SP	
49644	7718 SOLUTION CENTER	09/05/2023		N		31.88
08/25/2023	CHICAGO IL, 60677-7007	/ /	0.0000	N		0.00
		09/05/2023		N		31.88

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-172-930.000	REPAIRS & MAINTENANCE	31.88

VENDOR TOTAL: 31.88

2900	BROWN DRILLING	08/15/2023	33919	FOA	REPAIRS TO WELL #1	
49615	7215 HIGHLAND ROAD	09/05/2023		N		37,115.87
08/15/2023	HOWELL MI, 48843	/ /	0.0000	N		0.00
		09/05/2023		N		37,115.87

Open

GL NUMBER	DESCRIPTION	AMOUNT
539-000-150.000	WATER CONSTRUCT IN PROGRESS	37,115.87

VENDOR TOTAL: 37,115.87

CHLORIDESO	CHLORIDE SOLUTIONS, LLC	08/12/2023	CS100428	FOA	AUGUST 2023 DUST CONTROL	
49591	672 NORTH M-52	09/05/2023		N		8,375.45
08/12/2023	WEBBERVILLE MI, 48892	/ /	0.0000	N		0.00
		09/05/2023		Y		8,375.45

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-463-969.002	ROAD CHLORIDE	6,281.59
204-000-969.002	ROAD CHLORIDE	2,093.86
		8,375.45

CHLORIDESO	CHLORIDE SOLUTIONS, LLC	08/18/2023	CS100434	FOA	AUGUST 2023 DUST CONTROL	
49630	672 NORTH M-52	09/05/2023		N		5,741.03
08/18/2023	WEBBERVILLE MI, 48892	/ /	0.0000	N		0.00
		09/05/2023		Y		5,741.03

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		Due Date		1099		

GL NUMBER	DESCRIPTION	AMOUNT
101-463-969.002	ROAD CHLORIDE	4,305.77
204-000-969.002	ROAD CHLORIDE	1,435.26
		<hr/> 5,741.03

CHLORIDESO	CHLORIDE SOLUTIONS, LLC	08/26/2023	CS100441	FOA	AUGUST 2023 DUST CONTROL	
49654	672 NORTH M-52	09/05/2023		N		11,020.39
08/26/2023	WEBBERVILLE MI, 48892	/ /	0.0000	N		0.00
		09/05/2023		Y		11,020.39

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-463-969.002	ROAD CHLORIDE	8,093.54
204-000-969.002	ROAD CHLORIDE	2,697.85
701-000-290.802	JENI LANE ROAD ESCROW	229.00
		<hr/> 11,020.39

VENDOR TOTAL: 25,136.87

CINTAS	CINTAS CORPORATION	08/21/2023	4165287139	FOA	MATS	
49619	P.O. BOX 630910	09/05/2023		N		49.90
08/21/2023	CINCINNATI OH, 45263	/ /	0.0000	N		0.00
		09/05/2023		N		49.90

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	49.90

CINTAS	CINTAS CORPORATION	08/16/2023	5171347586	FOA	FIRST AID SUPPLIES AT WTP	
49595	P.O. BOX 630910	09/05/2023		N		38.10
08/16/2023	CINCINNATI OH, 45263	/ /	0.0000	N		0.00
		09/05/2023		N		38.10

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	38.10

CINTAS	CINTAS CORPORATION	08/01/2023	9233688769	FOA	EYEWASH SERVICE AGREEMENT	
49613	P.O. BOX 630910	09/05/2023		N		100.00
08/01/2023	CINCINNATI OH, 45263	/ /	0.0000	N		0.00
		09/05/2023		N		100.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	100.00

VENDOR TOTAL: 188.00

CONSUMER	CONSUMERS ENERGY	08/30/2023	601013384358	FOA	JUNE 2023 - STREET LIGHTS	
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49651	PO BOX 740309	09/05/2023		N		104.82
06/30/2023	CINCINNATI OH, 45274-0309	/ /	0.0000	N		0.00
		09/05/2023		N		104.82

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-448-921.000	STREET LIGHTS	104.82

CONSUMER	CONSUMERS ENERGY	08/30/2023	601013384359	FOA	JULY 2023 - STREET LIGHTS	
49652	PO BOX 740309	09/05/2023		N		194.34
07/31/2023	CINCINNATI OH, 45274-0309	/ /	0.0000	N		0.00
		09/05/2023		N		194.34

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-448-921.000	STREET LIGHTS	194.34

VENDOR TOTAL: 299.16

ELECTROCYC	ELECTROCYCLE, INC.	08/08/2023	42803	FOA	AUG 2023 - ONSITE DOCUMENT DESTRUCTI	
49557	23953 RESEARCH DR	09/05/2023		N		42.00
08/08/2023	FARMINGTON HILLS MI, 48335	/ /	0.0000	N		0.00
		09/05/2023		N		42.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-172-801.000	CONTRACTED SERVICES	42.00

ELECTROCYC	ELECTROCYCLE, INC.	08/22/2023	43402	FOA	AUGUST 2023 - ONSITE DOCUMENT DESTRU	
49631	23953 RESEARCH DR	09/05/2023		N		42.00
08/22/2023	FARMINGTON HILLS MI, 48335	/ /	0.0000	N		0.00
		09/05/2023		N		42.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-172-801.000	CONTRACTED SERVICES	42.00

VENDOR TOTAL: 84.00

ETNA	ETNA SUPPLY COMPANY	08/22/2023	S104936774.001	FOA	2" OMNI METERS	
49641	P.O. BOX 772107	09/05/2023		N		2,430.00
08/22/2023	DETROIT MI, 48277-2107	/ /	0.0000	N		0.00
		09/05/2023		N		2,430.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-741.000	METER COSTS	2,430.00

ETNA	ETNA SUPPLY COMPANY	08/22/2023	S104936774.002	FOA	2" OMNI METERS	
49642	P.O. BOX 772107	09/05/2023		N		2,430.00

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08/22/2023	DETROIT MI, 48277-2107	/ /	0.0000	N		0.00
		09/05/2023		N		2,430.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-741.000	METER COSTS	2,430.00

ETNA	ETNA SUPPLY COMPANY	08/23/2023	S104936774.003	FOA	2" OMNI METERS	
49643	P.O. BOX 772107	09/05/2023		N		2,430.00
08/23/2023	DETROIT MI, 48277-2107	/ /	0.0000	N		0.00
		09/05/2023		N		2,430.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-741.000	METER COSTS	2,430.00

VENDOR TOTAL: 7,290.00

FISH	FISH WINDOW CLEANING	08/23/2023	2475-43897	FOA	WINDOW CLEANING	
49636	37460 HILLS TECH DR	09/05/2023		N		360.00
08/23/2023	FARMINGTON MI, 48331	/ /	0.0000	N		0.00
		09/05/2023		N		360.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-930.000	REPAIRS & MAINTENANCE	360.00

VENDOR TOTAL: 360.00

5888	FOSTER, SWIFT, COLLINS & SMITH	08/24/2023	864879	FOA	JULY 2023	
49639	313 S. WASHINGTON SQUARE	09/05/2023		N		10,374.50
08/24/2023	LANSING MI, 48933-2193	/ /	0.0000	N		0.00
		09/05/2023		Y		10,374.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-209-826.000	LEGAL FEES	235.00
536-000-826.000	LEGAL FEES	1,527.50
101-101-826.000	LEGAL FEES	23.50
590-000-826.000	LEGAL FEES	8,588.50
		10,374.50

VENDOR TOTAL: 10,374.50

HAFIRE	HARTLAND AREA FIRE DEPARTMENT	08/01/2023	080123	FOA	LIQUOR LAW INSPECTIONS	
49655	3205 HARTLAND RD	09/05/2023		N		1,625.00
08/01/2023	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		09/05/2023		N		1,625.00

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		Due Date		1099		

GL NUMBER	DESCRIPTION	AMOUNT
212-000-801.000	CONTRACTED SERVICES	1,625.00

VENDOR TOTAL: 1,625.00

HAYAA-F	HARTLAND AREA YOUTH ATHLETIC ASSOC	09/01/2023	SEPT 2023	FOA	SEPT 2023 PAYMENT PER AGREEMENT	
48799	HAYAA - FOOTBALL	09/05/2023		N		439.19
	P.O. BOX 359					
09/01/2023	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		09/05/2023		N		439.19

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-801.000	CONTRACTED SERVICES	439.19

VENDOR TOTAL: 439.19

HAYAA-B	HARTLAND AREA YOUTH ATHLETIC ASSOC.	09/01/2023	SEPT 2023	FOA	SEPT 2023 PAYMENT PER AGREEMENT	
48782	HAYAA - BASEBALL	09/05/2023		N		1,285.68
	P.O. BOX 110					
09/01/2023	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		09/05/2023		N		1,285.68

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-801.000	CONTRACTED SERVICES	1,285.68

VENDOR TOTAL: 1,285.68

HCSA	HARTLAND COMMUNITY SOCCER ASSN	09/01/2023	SEPT 2023	FOA	SEPT 2023 PAYMENT PER AGREEMENT	
48791	HARTLAND COMMUNITY EDUCATION	09/05/2023		N		873.92
	9525 HIGHLAND RD					
09/01/2023	HOWELL MI, 48843	/ /	0.0000	N		0.00
		09/05/2023		N		873.92

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-801.000	CONTRACTED SERVICES	873.92

VENDOR TOTAL: 873.92

HYL	HARTLAND YOUTH LACROSSE	09/01/2023	SEPT 2023	FOA	SEPT 2023 PAYMENT PER AGREEMENT	
48807	P.O. BOX 56	09/05/2023		N		439.19
09/01/2023	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		09/05/2023		N		439.19

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-801.000	CONTRACTED SERVICES	439.19

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VENDOR TOTAL: 439.19

HOMEDEPOT	HOME DEPOT CREDIT SERVICES	08/28/2023	6013243	FOA	TOOLBOX FOR HYDRANT REPAIRS, HAMMER	
49648	DEPT 32-2006361202	09/05/2023		N		109.94
	P.O. BOX 70614					
07/25/2023	PHILADELPHIA PA, 19176-0614	/ /	0.0000	N		0.00
		09/05/2023		N		109.94

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-930.001	REPAIRS & MAINTENANCE SYSTEM	65.00
536-000-740.000	OPERATING SUPPLIES	44.94
		109.94

VENDOR TOTAL: 109.94

1548	HORIZON LANDSCAPE INC.	08/03/2023	16714	FOA	MOWING M-59 MEDIANS	
49583	11765 HIBNER RD	09/05/2023		N		3,986.17
08/03/2023	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		09/05/2023		N		3,986.17

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-463-802.000	LAWN/SNOW MAINTENANCE	3,986.17

1548	HORIZON LANDSCAPE INC.	08/03/2023	16715	FOA	MOWING STATION 61	
49584	11765 HIBNER RD	09/05/2023		N		1,396.83
08/03/2023	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		09/05/2023		N		1,396.83

Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000-802.000	LAWN/SNOW MAINTENANCE	1,396.83

VENDOR TOTAL: 5,383.00

K&J	K & J ELECTRIC, INC	08/09/2023	10626	FOA	LIGHTING UPGRADES & HAND DRYERS AT T	
49585	7219 EAST HIGHLAND RD	09/05/2023		N		11,779.00
08/09/2023	HOWELL MI, 48843	/ /	0.0000	N		0.00
		09/05/2023		N		11,779.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
285-101-930.000	TWP HALL REPAIRS & MAINT	11,779.00

VENDOR TOTAL: 11,779.00

MARION	MARION, PATRICIA	08/09/2023	080923	FOA	REFUND SETTLERS PARK PAVILION RESERV	
49558	3821 SLOAN DR	09/05/2023		N		150.00

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08/09/2023	HOLLY MI, 48442	/ /	0.0000	N		0.00
		09/05/2023		N		150.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000-651.000	PARKS & REC USE FEES	150.00

VENDOR TOTAL: 150.00

REFUNDUB	MICHAILUK, ALEXANDER & AMALIA	08/09/2023	08/09/2023	FOA	UB refund for account: CRIS-002101-0	
49559	1389 CALLAWAY CT	09/05/2023		N		0.00
08/09/2023	HOWELL MI, 48843	09/05/2023	0.0000	N		0.00
		09/05/2023		N		100.80

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-601.002	METER REPLACEMENT	100.80

VENDOR TOTAL: 100.80

LCDPA	MICHIGAN.COM	09/01/2023	SEPT 2023	FOA	ACCOUNT PA8741424	
49563	PO BOX 742520	09/05/2023		N		63.00
08/10/2023	CINCINNATI OH, 45274-2520	/ /	0.0000	N		0.00
		09/05/2023		N		63.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-101-804.000	MEMBERSHIP & DUES	63.00

VENDOR TOTAL: 63.00

1180	PETER'S TRUE VALUE HARDWARE	08/28/2023	69039	FOA	NAILS, FRAMER, FURRING STRIP	
49649	3455 W. HIGHLAND ROAD	09/05/2023		N		95.28
08/28/2023	MILFORD MI, 48380	/ /	0.0000	N		0.00
		09/05/2023		N		95.28

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-930.000	REPAIRS & MAINTENANCE	95.28

1180	PETER'S TRUE VALUE HARDWARE	08/30/2023	69078	FOA	PAINT SUPPLIES FOR TWP HALL EXTERIOR	
49650	3455 W. HIGHLAND ROAD	09/05/2023		N		101.43
08/30/2023	MILFORD MI, 48380	/ /	0.0000	N		0.00
		09/05/2023		N		101.43

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-930.000	REPAIRS & MAINTENANCE	101.43

1180	PETER'S TRUE VALUE HARDWARE	08/21/2023	K68963	FOA	GARBAGE DISPOSAL REPLACEMENT FOR HER	
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49620	3455 W. HIGHLAND ROAD	09/05/2023		N		129.00
08/21/2023	MILFORD MI, 48380	/ /	0.0000	N		0.00
		09/05/2023		N		129.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-930.001	REPAIRS & MAINT - HERO TEEN CTR	129.00

VENDOR TOTAL: 325.71

PIETILA	PIETILA, CARSON	08/09/2023	080923	FOA	REFUND PERMIT APPLICATION FEE	
49561	11602 NORWAY DR	09/05/2023		N		35.00
08/09/2023	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		09/05/2023		N		35.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000-622.000	ZONING FEES	35.00

VENDOR TOTAL: 35.00

SANMARINO	SAN MARINO EXCAVATING, INC.	08/09/2023	151379	FOA	DUMPSTER RENTAL	
49567	5550 MITCHEL WAY	09/05/2023		N		530.00
08/09/2023	HOWELL MI, 48843	/ /	0.0000	N		0.00
		09/05/2023		N		530.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-801.000	CONTRACTED SERVICES	530.00

VENDOR TOTAL: 530.00

SECURITYLO	SECURITY LOCK SERVICE INC	08/15/2023	913	FOA	TEEN CENTER DOOR REPAIR	
49590	401 WASHINGTON ST	09/05/2023		N		341.20
08/15/2023	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		09/05/2023		N		341.20

Open

GL NUMBER	DESCRIPTION	AMOUNT
285-101-930.000	TWP HALL REPAIRS & MAINT	341.20

VENDOR TOTAL: 341.20

SPALDING	SPALDING DEDECKER	07/17/2023	95147	FOA	HARTLAND PLAZA THRU 7/2/23	
49461	905 SOUTH BLVD EAST	09/05/2023		N		525.00
07/17/2023	ROCHESTER HILLS MI, 48307	/ /	0.0000	N		0.00
		09/05/2023		N		525.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
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INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
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Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

101-400-801.100-0028	HARTLAND PLAZA - DAIRY QUEEN			525.00		
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SPALDING	SPALDING DEDECKER	07/17/2023	95148	FOA	BUFFALO WILD WINGS THRU 7/2/23	
49462	905 SOUTH BLVD EAST	09/05/2023		N		5,094.50
07/17/2023	ROCHESTER HILLS MI, 48307	/ /	0.0000	N		0.00
		09/05/2023		N		5,094.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-400-801.100-0042	PWRW LLC (BUFFALO WILD WINGS)	5,094.50

SPALDING	SPALDING DEDECKER	07/17/2023	95149	FOA	REDWOOD LIVING THRU 7/2/23	
49463	905 SOUTH BLVD EAST	09/05/2023		N		8,247.50
07/17/2023	ROCHESTER HILLS MI, 48307	/ /	0.0000	N		0.00
		09/05/2023		N		8,247.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-400-801.100-0026	REDWOOD USA LLC	8,247.50

SPALDING	SPALDING DEDECKER	07/17/2023	95151	FOA	YATOOMA OIL THRU 7/2/23	
49464	905 SOUTH BLVD EAST	09/05/2023		N		560.00
07/17/2023	ROCHESTER HILLS MI, 48307	/ /	0.0000	N		0.00
		09/05/2023		N		560.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-400-801.100-0033	YATOOMA OIL	560.00

SPALDING	SPALDING DEDECKER	07/17/2023	95153	FOA	HUNTERS RIDGE PH 2&3 THRU 7/2/23	
49465	905 SOUTH BLVD EAST	09/05/2023		N		5,843.50
07/17/2023	ROCHESTER HILLS MI, 48307	/ /	0.0000	N		0.00
		09/05/2023		N		5,843.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-400-801.100-0022	HUNTERS RIDGE	5,843.50

SPALDING	SPALDING DEDECKER	07/17/2023	95157	FOA	SENIOR LIVING THRU 7/2/23	
49466	905 SOUTH BLVD EAST	09/05/2023		N		19,575.00
07/17/2023	ROCHESTER HILLS MI, 48307	/ /	0.0000	N		0.00
		09/05/2023		N		19,575.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-400-801.100-0027	PIRHL	19,575.00

SPALDING	SPALDING DEDECKER	08/23/2023	95612	FOA	GIS	
49632	905 SOUTH BLVD EAST	09/05/2023		N		600.00
08/23/2023	ROCHESTER HILLS MI, 48307	/ /	0.0000	N		0.00

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Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

		09/05/2023		N		600.00
Open						

GL NUMBER	DESCRIPTION	AMOUNT
577-000-801.000	CONTRACTED SERVICES & RENTALS	600.00

SPALDING	SPALDING DEDECKER	08/23/2023	95613	FOA	WATER PLANT FILTER MEDIA REPLACEMENT	
49633	905 SOUTH BLVD EAST	09/05/2023		N		1,200.00
08/23/2023	ROCHESTER HILLS MI, 48307	/ /	0.0000	N		0.00
		09/05/2023		N		1,200.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-816.000	ENGINEERING FEES	1,200.00

SPALDING	SPALDING DEDECKER	08/25/2023	95633	FOA	M-59 SIDEWALK GAP THRU 7/30/23	
49647	905 SOUTH BLVD EAST	09/05/2023		N		597.44
08/25/2023	ROCHESTER HILLS MI, 48307	/ /	0.0000	N		0.00
		09/05/2023		N		597.44

Open

GL NUMBER	DESCRIPTION	AMOUNT
401-444-969.005	SIDEWALKS	597.44

VENDOR TOTAL: 42,242.94

STAPLES	STAPLES	08/12/2023	8071250832	FOA	MISC SUPPLIES	
49564	PO BOX 660409	09/05/2023		N		204.99
08/12/2023	DALLAS TX, 75266-0409	/ /	0.0000	N		0.00
		09/05/2023		N		204.99

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-740.000	OPERATING SUPPLIES	101.69
101-172-727.000	SUPPLIES & POSTAGE	103.30
		204.99

STAPLES	STAPLES	08/19/2023	8071325286	FOA	MISC SUPPLIES	
49604	PO BOX 660409	09/05/2023		N		259.84
08/19/2023	DALLAS TX, 75266-0409	/ /	0.0000	N		0.00
		09/05/2023		N		259.84

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-172-727.000	SUPPLIES & POSTAGE	39.33
101-265-740.000	OPERATING SUPPLIES	10.52
101-441-727.000	SUPPLIES & POSTAGE	209.99
		259.84

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Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

VENDOR TOTAL: 464.83

377	STATE OF MICHIGAN	08/15/2023	761-11105603	FOA	PFAS SAMPLE	
49618	EGLE	09/05/2023		N		290.00
	CASHIERS OFFICE					
08/15/2023	LANSING MI, 48909-8157	/ /	0.0000	N		0.00
		09/05/2023		N		290.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	290.00

VENDOR TOTAL: 290.00

HUNTINGBAN	THE HUNTINGTON NATIONAL BANK	08/17/2023	3584135204	FOA	CAPITAL IMPROVEMENT BONDS, SERIES 20	
49645	PO BOX 1558-GW4E64	09/05/2023		N		3,075.00
08/17/2023	COLUMBUS OH, 43216	/ /	0.0000	N		0.00
		09/05/2023		N		3,075.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
204-000-997.001	BOND INTEREST ROADS 2015	3,075.00

HUNTINGBAN	THE HUNTINGTON NATIONAL BANK	08/17/2023	3584172707	FOA	CAPITAL IMPROVEMENT BONDS, SERIES 20	
49646	PO BOX 1558-GW4E64	09/05/2023		N		5,625.00
08/17/2023	COLUMBUS OH, 43216	/ /	0.0000	N		0.00
		09/05/2023		N		5,625.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
204-000-997.002	BOND INTEREST ROADS 2016	5,625.00

VENDOR TOTAL: 8,700.00

SPIRITOFLLI	THE SPIRIT OF LIVINGSTON	08/10/2023	54740	FOA	NAME PLATE FOR H. COSGROVE	
49617	3280 W GRAND RIVER	09/05/2023		N		12.00
08/10/2023	HOWELL MI, 48855	/ /	0.0000	N		0.00
		09/05/2023		N		12.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-215-727.000	SUPPLIES & POSTAGE	12.00

SPIRITOFLLI	THE SPIRIT OF LIVINGSTON	08/16/2023	54750	FOA	EMBROIDERY ON SHIRTS	
49653	3280 W GRAND RIVER	09/05/2023		N		90.00
08/16/2023	HOWELL MI, 48855	/ /	0.0000	N		0.00
		09/05/2023		N		90.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-209-727.000	SUPPLIES & POSTAGE	25.00

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Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

101-441-727.000	SUPPLIES & POSTAGE				65.00	
					90.00	
VENDOR TOTAL:						102.00

TOSHIBA	TOSHIBA AMERICA BUSINESS SOLUTIONS	08/17/2023	6096924	FOA	7/25/23 - 8/24/23 ESTUDIO2830C BLACK	
49638	PO BOX 927	09/05/2023		N		2.20
08/17/2023	BUFFALO NY, 14240-0927	/ /	0.0000	N		0.00
		09/05/2023		N		2.20

Open

GL NUMBER	DESCRIPTION	AMOUNT				
101-172-930.000	REPAIRS & MAINTENANCE	2.20				
TOSHIBA	TOSHIBA AMERICA BUSINESS SOLUTIONS	08/17/2023	6096933	FOA	7/25/23 - 8/24/23 ESTUDIO2830C COLOR	
49637	PO BOX 927	09/05/2023		N		1.72
08/17/2023	BUFFALO NY, 14240-0927	/ /	0.0000	N		0.00
		09/05/2023		N		1.72

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-172-930.000	REPAIRS & MAINTENANCE	1.72
VENDOR TOTAL: 3.92		

SCADA	UIS SCADA, INC.	08/11/2023	530371628	FOA	TROUBLESHOOT WELL	
49566	2290 BISHOP CIRCLE EAST	09/05/2023		N		324.00
08/11/2023	DEXTER MI, 48130	/ /	0.0000	N		0.00
		09/05/2023		N		324.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-930.001	REPAIRS & MAINTENANCE SYSTEM	324.00
VENDOR TOTAL: 324.00		

USA	USA BLUE BOOK	08/09/2023	99306	FOA	CHECK VALVE, 1/2" TUBE	
49560	P.O. BOX 9004	09/05/2023		N		811.81
08/09/2023	GURNEE IL, 60031-9004	/ /	0.0000	N		0.00
		09/05/2023		N		811.81

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-930.001	REPAIRS & MAINTENANCE SYSTEM	811.81
VENDOR TOTAL: 811.81		

WATERTECH	WATER TECH	06/30/2023	57760	FOA	JUNE 2023	
49562	718 S MICHIGAN	09/05/2023		N		44.00

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Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

06/30/2023	HOWELL MI, 48843	/ /	0.0000	N		0.00
		09/05/2023		N		44.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	44.00

WATERTECH	WATER TECH	08/23/2023	57904	FOA	JULY 2023 SAMPLES	
49635	718 S MICHIGAN	09/05/2023		N		746.00
07/31/2023	HOWELL MI, 48843	/ /	0.0000	N		0.00
		09/05/2023		N		746.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	746.00

VENDOR TOTAL: 790.00

WSP	WSP USA ENVIRONMENT	08/08/2023	H19221269	FOA	WATER SUPPLY ASSIST THRU 7/21/23	
49555	P.O. BOX 74008618	09/05/2023		N		214.50
08/08/2023	CHICAGO IL, 60674-8618	/ /	0.0000	N		0.00
		09/05/2023		N		214.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
539-000-150.000	WATER CONSTRUCT IN PROGRESS	214.50

WSP	WSP USA ENVIRONMENT	08/08/2023	H19221270	FOA	WWTP REPORTING THRU 7/21/23	
49556	P.O. BOX 74008618	09/05/2023		N		466.86
08/08/2023	CHICAGO IL, 60674-8618	/ /	0.0000	N		0.00
		09/05/2023		N		466.86

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-441-801.007	TREATMENT PLANT SAMPLING	466.86

VENDOR TOTAL: 681.36

TOTAL - ALL VENDORS: 159,015.39

FUND TOTALS:

Fund 101 - GENERAL FUND	68,488.93
Fund 204 - MUNICIPAL STREET FUND	14,926.97
Fund 206 - FIRE OPERATING	1,396.83
Fund 212 - LIQUOR LAW ENFORCEMENT	1,625.00
Fund 285 - CLFRF GRANT	12,120.20
Fund 401 - CAPITAL PROJECTS FUND	597.44
Fund 536 - WATER SYSTEM FUND	13,112.15
Fund 539 - WATER REPLACEMENT FUND	37,330.37

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
Fund 577 - CABLE TV FUND						600.00
Fund 590 - SEWER OPERATIONS & MAINTENANCE FUND						8,588.50
Fund 701 - TRUST AND AGENCY						229.00

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Susan Case, Finance Clerk

Subject: Approve Post Audit of Disbursements Between Board Meetings

Date: August 29, 2023

Recommended Action

Move to approve the presented disbursements under the post-audit resolution.

Discussion

The following disbursements have been made since the last board meeting:

Accounts Payable – \$187,007.75

August 31, 2023 Payroll - \$97,586.10

Financial Impact

Is a Budget Amendment Required? ☐ Yes ☒ No

All expenses are covered under the amended FY24 budget.

Attachments

Post Audit Bills List 08.17.2023

Post Audit Bills List 08.24.2023

Payroll for 08.31.2023

Check Date	Bank	Check #	Payee	Description	GL #	Amount
08/17/2023	FOA	43979	CONSUMERS ENERGY	UTILITIES - GAS	101-265-920.001	35.56
		43979		UTILITIES - GAS	536-000-920.001	14.48
						<hr/> 50.04
08/17/2023	FOA	43980	HARTLAND TOWNSHIP GENERAL FUND	MOBILE HOME FEES ESCROW	701-000-290.300	282.00
08/17/2023	FOA	43981	LIVINGSTON COUNTY TREASURER	MOBILE HOME FEES ESCROW	701-000-290.300	1,410.00
TOTAL - ALL FUNDS				TOTAL OF 3 CHECKS		1,742.04

--- GL TOTALS ---

101-265-920.001	UTILITIES - GAS	35.56
536-000-920.001	UTILITIES - GAS	14.48
701-000-290.300	MOBILE HOME FEES ESCROW	1,692.00
	TOTAL	1,742.04

CHECK DISBURSEMENT REPORT FOR HARTLAND TOWNSHIP
CHECK DATE FROM 08/24/2023 - 08/24/2023

Check Date	Bank	Check #	Payee	Description	GL #	Amount
08/24/2023	FOA	43982	DELTA DENTAL	ACCRUED DENTAL BENEFITS	001-000-257.101	223.16
		43982		EMPLOYMENT EXPENSE	101-192-716.000	70.64
		43982		EMPLOYMENT EXPENSE	101-215-716.000	66.64
		43982		EMPLOYMENT EXPENSE	101-253-716.000	133.28
		43982		EMPLOYMENT EXPENSE	101-400-716.000	187.83
		43982		EMPLOYMENT EXPENSE	101-441-716.000	242.38
		43982		EMPLOYMENT EXPENSE	536-000-716.000	191.83
						<hr/> 1,115.76
08/24/2023	FOA	43983	DTE ENERGY	UTILITIES - ELECTRIC	101-265-920.002	1,237.52
		43983		STREET LIGHTS	101-448-921.000	42.69
		43983		UTILITIES	101-567-920.000	15.13
		43983		UTILITIES - ELECTRIC	101-751-920.002	252.70
		43983		UTILITIES - ELECTRIC	536-000-920.002	4,575.11
						<hr/> 6,123.15
08/24/2023	FOA	43984	HARTLAND TWP 2016 SEWER BOND	HUNTINGTON CASH 2016 BOND	590-000-004.001	164,000.00
08/24/2023	FOA	43985	LIVINGSTON DAILY PRESS & ARGUS	PRINTING & PUBLICATIONS	101-215-900.000	110.00
		43985		PRINTING & PUBLICATIONS	101-400-900.000	160.00
						<hr/> 270.00
08/24/2023	FOA	43986	MUTUAL OF OMAHA	ACCRUED STD/LTD BENEFITS	001-000-257.103	190.60
		43986		EMPLOYMENT EXPENSE	101-192-716.000	108.63
		43986		EMPLOYMENT EXPENSE	101-209-716.000	155.25
		43986		EMPLOYMENT EXPENSE	101-215-716.000	67.42
		43986		EMPLOYMENT EXPENSE	101-253-716.000	79.04
		43986		EMPLOYMENT EXPENSE	101-400-716.000	124.66
		43986		EMPLOYMENT EXPENSE	101-441-716.000	89.29
		43986		EMPLOYMENT EXPENSE	536-000-716.000	138.06
						<hr/> 952.95
08/24/2023	FOA	43987	PRIORITY HEALTH	ACCRUED MEDICAL BENEFITS	001-000-257.100	2,289.60
		43987		EMPLOYMENT EXPENSE	101-192-716.000	1,267.56
		43987		EMPLOYMENT EXPENSE	101-215-716.000	1,394.34
		43987		EMPLOYMENT EXPENSE	101-253-716.000	633.78
		43987		EMPLOYMENT EXPENSE	101-441-716.000	3,485.88
		43987		EMPLOYMENT EXPENSE	536-000-716.000	2,376.72
						<hr/> 11,447.88
08/24/2023	FOA	43988	VERIZON WIRELESS	DUE TO EMPLOYEES	101-000-232.000	30.80
		43988		REPAIRS & MAINTENANCE	101-209-930.000	80.02
		43988		TELEPHONE	101-265-851.000	790.70
		43988		TELEPHONE	536-000-851.000	220.84

Check Date	Bank	Check #	Payee	Description	GL #	Amount
		43988		CONTRACTED SERVICES & RENTALS	577-000-801.000	40.01
						<u>1,162.37</u>
08/24/2023	FOA	43989	VSP INSURANCE CO. (CT)	DECEMBER 2022 PREMIUMS	001-000-257.102	38.72
		43989		DECEMBER 2022 PREMIUMS	101-192-716.000	14.20
		43989		DECEMBER 2022 PREMIUMS	101-215-716.000	11.95
		43989		DECEMBER 2022 PREMIUMS	101-253-716.000	23.90
		43989		DECEMBER 2022 PREMIUMS	101-400-716.000	31.62
		43989		DECEMBER 2022 PREMIUMS	101-441-716.000	39.34
		43989		DECEMBER 2022 PREMIUMS	536-000-716.000	33.87
						<u>193.60</u>
			TOTAL - ALL FUNDS	TOTAL OF 8 CHECKS		185,265.71

--- GL TOTALS ---

001-000-257.100	ACCRUED MEDICAL BENEFITS	2,289.60
001-000-257.101	ACCRUED DENTAL BENEFITS	223.16
001-000-257.102	ACCRUED VISION BENEFITS	38.72
001-000-257.103	ACCRUED STD/LTD BENEFITS	190.60
101-000-232.000	DUE TO EMPLOYEES	30.80
101-192-716.000	EMPLOYMENT EXPENSE	1,461.03
101-209-716.000	EMPLOYMENT EXPENSE	155.25
101-209-930.000	REPAIRS & MAINTENANCE	80.02
101-215-716.000	EMPLOYMENT EXPENSE	1,540.35
101-215-900.000	PRINTING & PUBLICATIONS	110.00
101-253-716.000	EMPLOYMENT EXPENSE	870.00
101-265-851.000	TELEPHONE	790.70
101-265-920.002	UTILITIES - ELECTRIC	1,237.52
101-400-716.000	EMPLOYMENT EXPENSE	344.11
101-400-900.000	PRINTING & PUBLICATIONS	160.00
101-441-716.000	EMPLOYMENT EXPENSE	3,856.89
101-448-921.000	STREET LIGHTS	42.69
101-567-920.000	UTILITIES	15.13
101-751-920.002	UTILITIES - ELECTRIC	252.70
536-000-716.000	EMPLOYMENT EXPENSE	2,740.48
536-000-851.000	TELEPHONE	220.84
536-000-920.002	UTILITIES - ELECTRIC	4,575.11
577-000-801.000	CONTRACTED SERVICES & RENTALS	40.01
590-000-004.001	HUNTINGTON CASH 2016 BOND	164,000.00
	TOTAL	185,265.71

Check Register Report For Hartland Township
For Check Dates 08/16/2023 to 08/31/2023

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
08/31/2023	FOA	17440	MISSION SQUARE	1,127.01	1,127.01	0.00	Open
08/31/2023	FOA	17441	MISSION SQUARE	3,068.94	3,068.94	0.00	Open
08/31/2023	FOA	17442	MISSION SQUARE	2,996.10	2,996.10	0.00	Open
08/31/2023	FOA	17443	MISSION SQUARE	200.00	200.00	0.00	Open
08/31/2023	FOA	17445	AMERICAN FAMILY LIFE ASSURANCE CO	32.30	32.30	0.00	Open
08/31/2023	FOA	DD8703	BEDUHN, TIMOTHY L.A.	2,367.75	0.00	1,842.64	Cleared
08/31/2023	FOA	DD8704	BERNARDI, MELYNDA A	2,051.20	0.00	1,600.40	Cleared
08/31/2023	FOA	DD8705	BROOKS, TYLER J	3,588.00	0.00	2,473.90	Cleared
08/31/2023	FOA	DD8706	CARRIGAN, AMANDA K	3,425.00	0.00	2,710.97	Cleared
08/31/2023	FOA	DD8707	CASE, SUSAN E	2,087.05	0.00	1,287.39	Cleared
08/31/2023	FOA	DD8708	CIOFU, LARRY N	2,856.09	0.00	2,059.79	Cleared
08/31/2023	FOA	DD8709	COBB, SUSAN M	56.22	0.00	49.53	Cleared
08/31/2023	FOA	DD8710	COSGROVE, HEATHER H	2,052.91	0.00	1,675.68	Cleared
08/31/2023	FOA	DD8711	DRYDEN-HOGAN, SUSAN A	3,777.57	0.00	2,683.95	Cleared
08/31/2023	FOA	DD8712	ECKMAN, MATTHEW A	195.00	0.00	171.79	Cleared
08/31/2023	FOA	DD8713	FOUNTAIN, WILLIAM J	2,856.09	0.00	2,399.53	Cleared
08/31/2023	FOA	DD8714	FOX, LAWRENCE E	360.00	0.00	317.16	Cleared
08/31/2023	FOA	DD8715	GERMANE, MATTHEW J	546.00	0.00	479.24	Cleared
08/31/2023	FOA	DD8716	GRISSIM, SUSAN L	195.00	0.00	180.08	Cleared
08/31/2023	FOA	DD8717	HAASETH, GWYN M	1,095.00	0.00	974.25	Cleared
08/31/2023	FOA	DD8718	HORNING, KATHLEEN A	3,106.09	0.00	2,158.66	Cleared
08/31/2023	FOA	DD8719	HUBBARD, TONYA S	1,840.23	0.00	1,198.19	Cleared
08/31/2023	FOA	DD8720	JOHNSON, LISA	2,456.84	0.00	1,587.40	Cleared
08/31/2023	FOA	DD8721	KENDALL, ANTHONY S	100.14	0.00	92.49	Cleared
08/31/2023	FOA	DD8722	LANGER, TROY D	4,017.92	0.00	2,838.98	Cleared
08/31/2023	FOA	DD8723	LOFTUS, DANIEL M	564.80	0.00	497.59	Cleared
08/31/2023	FOA	DD8724	LOUIS, CASEY	1,166.79	0.00	902.12	Cleared
08/31/2023	FOA	DD8725	LUCE, MICHAEL T	4,233.02	0.00	3,100.51	Cleared
08/31/2023	FOA	DD8726	MAYER, JAMES L	90.00	0.00	79.28	Cleared
08/31/2023	FOA	DD8727	MCMULLEN, SUMMER L	636.00	0.00	536.38	Cleared
08/31/2023	FOA	DD8728	MITCHELL, MICHAEL E	90.00	0.00	83.11	Cleared
08/31/2023	FOA	DD8729	MORGANROTH, CAROL L	2,355.49	0.00	1,818.93	Cleared
08/31/2023	FOA	DD8730	MURPHY, THOMAS A	226.00	0.00	199.09	Cleared
08/31/2023	FOA	DD8731	NALEPKA, EVAN C	1,170.00	0.00	968.78	Cleared

Check Register Report For Hartland Township
For Check Dates 08/16/2023 to 08/31/2023

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
08/31/2023	FOA	DD8732	NIXON, MITCHELL A	3,023.50	0.00	2,258.47	Cleared
08/31/2023	FOA	DD8733	O'CONNELL, DENISE	546.00	0.00	384.16	Cleared
08/31/2023	FOA	DD8734	PETRUCCI, JOSEPH M	546.00	0.00	457.10	Cleared
08/31/2023	FOA	DD8735	RADLEY, JAMES W	1,255.50	0.00	1,033.85	Cleared
08/31/2023	FOA	DD8736	SHOLLACK, DONNA M	1,722.37	0.00	1,311.76	Cleared
08/31/2023	FOA	DD8737	SOSNOWSKI, SHERI R	2,431.45	0.00	1,831.02	Cleared
08/31/2023	FOA	DD8738	WEST, ROBERT M	330.00	0.00	290.73	Cleared
08/31/2023	FOA	DD8739	WYATT, MARTHA K	3,403.80	0.00	2,249.08	Cleared
08/31/2023	FOA	EFT693	FEDERAL TAX DEPOSIT	14,279.56	14,279.56	0.00	Cleared
08/31/2023	FOA	EFT694	MI DEPT OF TREASURY	4,262.49	4,262.49	0.00	Cleared
08/22/2023	FOA	17444	MISSION SQUARE	7,516.33	7,516.33	0.00	Open
08/22/2023	FOA	EFT695	FEDERAL TAX DEPOSIT	1,254.62	1,254.62	0.00	Cleared
08/22/2023	FOA	EFT696	MI DEPT OF TREASURY	27.93	27.93	0.00	Cleared

Totals:		Number of Checks: 047	97,586.10	34,765.28	46,783.98
Total Physical Checks:	6				
Total Check Stubs:	41				

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Larry Ciofu, Clerk

Subject: 08-15-23 Hartland Township Board Regular Meeting Minutes

Date: August 31, 2023

Recommended Action

Move to approve the Hartland Township Board Regular Meeting Minutes for August 15, 2023.

Discussion

Draft minutes are attached for review.

Financial Impact

None

Attachments

8-15-23 HTB Minutes - DRAFT

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

August 15, 2023 – 7:00 PM

DRAFT

1. Call to Order

The meeting was called to order by Supervisor Fountain at 7:00 p.m.

2. Pledge of Allegiance

3. Roll Call

PRESENT: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane, Trustee McMullen, Trustee O'Connell

ABSENT: Trustee Petrucci

Also present were Interim Manager Mike Luce and Planning Director Troy Langer.

4. Approval of the Agenda

Move to approve the agenda for the August 15, 2023 Hartland Township Board meeting as presented.

Motion made by Trustee O'Connell, Seconded by Treasurer Horning.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane, Trustee McMullen, Trustee O'Connell

Voting Nay: None

Absent: Trustee Petrucci

5. Call to the Public

No one came forward.

6. Approval of the Consent Agenda

Trustee Germane requested a change to clarify an item in the Closed Session meeting minutes.

Move to Amend the Closed Session meeting minutes of August 1, 2023 to authorize the Administrative Committee to make a recommendation regarding any paid time off and other items that may be specified in the Manager's contract.

Motion made by Trustee Germane, Seconded by Trustee O'Connell.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane, Trustee McMullen, Trustee O'Connell

Voting Nay: None

Absent: Trustee Petrucci

Move to approve the consent agenda for the August 15, 2023 Hartland Township Board meeting as amended.

Motion made by Clerk Ciofu, Seconded by Trustee McMullen.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane, Trustee McMullen, Trustee O'Connell

Voting Nay: None

Absent: Trustee Petrucci

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

August 15, 2023 – 7:00 PM

- a. Approve Payment of Bills
- b. Approve Post Audit of Disbursements Between Board Meetings
- c. 08-01-23 Hartland Township Board Regular Meeting Minutes
- d. 08-01-23 Hartland Township Board Closed Session Minutes
- e. Manager to Project Specialist Compensation
- f. Interim Manager Compensation

7. Pending & New Business

- a. Site Plan #23-007 Redwood Living Planned Development Phase 2 – Concept Plan

Planning Director Troy Langer gave a brief overview of the proposed Redwood Living Planned Development Phase 2 Concept Plan identifying the property location as west of Phase 1 at the Hartland Glen Golf Course comprising approximately 28 acres of land. Director Langer gave a brief description on the Planned Development (PD) process consisting of the Conceptual review, where the applicant presents an idea to the Planning Commission (PC) and the Hartland Township Board. There is no formal action taken or decisions made in the Conceptual phase by the PC or the Board, instead just comments are provided. This is the phase we are at with this project and Director Langer stated it was reviewed by the PC at their meeting on July 27th. If the project were to move forward the applicant would proceed to the Preliminary phase where details would be provided on the layout of the site plan, the landscaping, building elevation, architecture, materials, and lighting. The PC would hold a public hearing to allow residents to speak on the project, and then the PC would make a formal recommendation to the Board. The Board would then review the Preliminary plan at a Board meeting to make a final determination regarding the project. If approved by the Board the project would move on to the Final phase of the PD process, where legal instruments, easements, and the PD agreement are reviewed by the PC and the Board.

This proposal would split off 28.7 acres of the Hartland Glen property and consist of 130 units that would mirror what was approved in Phase 1. There would be one change from the Phase 1 plan in that several of the Phase 2 units would have extended garages. Every thing else would basically match Phase 1. The PC was concerned with the driveways with regards to accommodating full size trucks without blocking the sidewalk, and that the width of the driveway would adequately accommodate two vehicles. The applicant stated that Phase 2 would be the same as Phase 1, and explained that the extended garages are offered for those with larger trucks so that they could still park in a garage. She stated the driveways would not be shorter, but the back of the unit would be extended to maintain the 25' driveway length. Supervisor Fountain inquired as to whether there may be a third phase to the west of this site and the applicant responded that they do not intend to do anything further to the west and this land would be used as a buffer to the existing homes in the area. Supervisor Fountain also inquired as to access roads for further development to the south and the applicant stated there was no current plan to expand at this time, but the option was left open and there is a planned access road to the south of the project. Supervisor Fountain also inquired as to whether the retention pond for Phase 1 would be used for Phase 2. The applicant stated that the intent would be to expand the retention pond in Phase 1 to accommodate Phase 2, but this would be engineering dependent. Trustee Germane inquired if the existing pond on the site would remain in the plan and the applicant stated it would be maintained as is. Trustee Germane also inquired as to the steep grades to the north portion of the property and to whether these would require modifications in the construction process. The applicant stated she would have to discuss this issue with the engineer.

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

August 15, 2023 – 7:00 PM

8. Board Reports

Trustee O'Connell - No report.
Trustee McMullen - No report.
Clerk Ciofu - No report
Treasurer Horning - No report.
Trustee Germane - No report.
Supervisor Fountain - No report.

[BRIEF RECESS]

9. Information / Discussion

a. Manager's Report

Interim Manager Mike Luce gave a brief overview of the Well # 1 repairs stating that pump seized up and the conclusion seems to be that the well was hit by a lightening strike as there was a large surge of electrical current recorded to the pump. When the pump was pulled we replaced three sections of pipe that had some corrosion along with the pump. The well is active right now and we will run bacteria tests on Wednesday and Thursday as we need two tests 24 hour apart, and the well should be back in service on Friday. He stated we do not have the final bill, but he does not believe it will be for the full amount that was approved for the repairs. Interim Manager Luce attended the Partners in Progress meeting today and updated the Board on the August 23rd All Partners meeting at 7:30 a.m. at the Old High School Board Room, the State of the Community presentation on October 25th at 5:00 p.m. at the Hartland Music Hall, where presentations will be made live this year, and that the Volunteer of the Year nominations are now being accepted and are live on the website. He also provided an update of the HERO Center improvements stating the lights, hand dryers in the bathrooms, and the doors have been installed and we are now looking at the soft ground issue behind the Center. He thanked all of the contractors for an excellent job and stated that the HERO Center staff wanted to specifically mention how professional and polite the door company was in completing their work. Interim Manager Luce gave an update on the Township Hall roof stating that we are having significant issues with leaks in the roof and that he and Finance Director Susan Dryden-Hogen have met with Garland Roofing who manufactures roofing products and vets out companies that do commercial roofing. The problem is that getting a roofing company to do the work is six to eight months out. He stated that we are past the life expectancy and warranty on our existing roof he is working on bringing a proposal to the Board for a new roof for the Township Hall. He stated we have some preliminary estimates, but no final quotes at this time. He also gave a brief update on the legal issues with the US-23/Bergin Road site and stated that the Township Attorney would provide an opinion on this which we would need to discuss in a closed session in the near future. Interim Manager Luce then led a brief discussion on the Township Hall landscaping. Discussions were held on the physical landscaping at the Township Hall, changes to the Landscaping Ordinances, and the enforcement of our Landscape Ordinances. Consensus of the Board was to have Interim Manager Luce meet with Planning Commissioner Sue Grissim to address the Township Hall landscaping and to have Interim Manager Luce and Planning Director Langer discuss a plan for enforcement of the Landscape Ordinance within the next few months.

Trustee Germane thanked Interim Manager Luce for accepting the Interim Manager's role and inquired as to whether we have looked at a metal roof for the Township Hall. Interim Manager Luce stated that we have a portion of the building with a membrane roof and a portion with asphalt shingles and that the membrane roof is okay, but the asphalt roof is beyond repair and needs to be

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

August 15, 2023 – 7:00 PM

replaced. He stated we are looking at both asphalt and metal roofing as options. Trustee Germane inquired if we have been planning for this financially and Interim Manager Luce stated we have talked about it but it has not been put in the budget. Interim Manager Luce stated that Garland Roofing would inspect all Township buildings and provide a life inspectancy of each roof at no cost. Trustee Germane stated that we need to get the discussions on the Road Millage back on track and he inquired as to the Fire Station Study Committee and Interim Manager Luce stated he would look into these items. Trustee Germane also stated he has been getting inquiries from residents regarding road chloride treatments. Interim Manager Luce stated that Livingston County is grading roads this week and they will be chloriding roads next week or around Labor Day. We may have another chloride treatment in October depending on the weather.

10. Adjournment

Move to adjourn the meeting at 8:00 p.m.

Motion made by Treasurer Horning, Seconded by Trustee O'Connell.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Treasurer Horning, Trustee Germane, Trustee McMullen, Trustee O'Connell

Voting Nay: None

Absent: Trustee Petrucci

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Larry Ciofu, Clerk

Subject: Gen-X – Hartland High School Fireworks Permit Application

Date: August 29, 2023

Recommended Action

Move to approve the Permit for a Fireworks Display for Gen-X Pyrotechnics on September 15, 2023 at Hartland High School

Discussion

Gen-X Pyrotechnics has applied to perform a firework's display at the conclusion of the Hartland High School football game on September 15, 2023. The applicant intends to launch the fireworks from the Hartland High School Soccer Field.

The Hartland-Deerfield Fire Authority Fire Marshal's letter recommending approval, with conditions, is attached for review.

Financial Impact

None

Attachments

Gen-X Fireworks Permit– Hartland High School – 9-15-23

2023 Hartland High School

GEN-X PYROTECHNICS

Gen-X Pyrotechnics offers the highest quality custom pyrotechnics designed specifically to meet the needs of our clients. We are a local company that markets on word of mouth advertising and now on the web. We specialize in one of a kind shows.

In this constantly changing world of pyrotechnics we strive to learn the most up-to-date innovations so we can continue to hone our craft.

We take pride in being trained in all the local and federal safety regulations and guidelines.

Jason Trudeau

Jason Trudeau



248.252.0029



genxpyro@comcast.net
info@genxpyrotechnics.com



www.genxpyrotechnics.com

2023 Application for Fireworks Other Than Consumer or Low Impact

FOR USE BY LEGISLATIVE BODY
OF CITY, VILLAGE OR TOWNSHIP
BOARD ONLY


DATE PERMIT(S) EXPIRE:

Authority: 2011 PA 256

The LEGISLATIVE BODY OF CITY, VILLAGE OR TOWNSHIP BOARD will not discriminate against any individual or group because of race, sex, religion, age, national origin, color, marital status, disability, or political beliefs. If you need assistance with reading, writing, hearing, etc., under the Americans with Disabilities Act, you may make your needs known to this Legislative Body of City, Village or Township Board.

TYPE OF PERMIT(S) (Select all applicable boxes)

- ☐ Agricultural or Wildlife Fireworks ☐ Articles Pyrotechnic ☒ Display Fireworks
- ☐ Public Display ☐ Private Display
- ☐ Special Effects Manufactured for Outdoor Pest Control or Agricultural Purposes

NAME OF APPLICANT Hartland High School Booster Club		ADDRESS OF APPLICANT	AGE OF APPLICANT 18 YEARS OR OLDER <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
NAME OF PERSON OR RESIDENT AGENT REPRESENTING CORPORATION, LLC, DBA OR OTHER		ADDRESS PERSON OR RESIDENT AGENT REPRESENTING CORPORATION, LLC, DBA OR OTHER	
IF A NON-RESIDENT APPLICANT (LIST NAME OF MICHIGAN ATTORNEY OR MICHIGAN RESIDENT AGENT)		ADDRESS (MICHIGAN ATTORNEY OR MICHIGAN RESIDENT AGENT)	TELEPHONE NUMBER
NAME OF PYROTECHNIC OPERATOR Gen-X Pyrotechnics		ADDRESS OF PYROTECHNIC OPERATOR 2906 Pine Needle Dr, White Lake, MI 48383	AGE OF PYROTECHNIC OPERATOR 18 YEARS OR OLDER <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO.
NO. YEARS EXPERIENCE 20+	NO. DISPLAYS 350+	WHERE Various locations in Michigan	
NAME OF ASSISTANT See Attached		ADDRESS OF ASSISTANT See Attached	AGE OF ASSISTANT 18 YEARS OR OLDER <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
NAME OF OTHER ASSISTANT See Attached		ADDRESS OF OTHER ASSISTANT See Attached	AGE OF OTHER ASSISTANT 18 YEARS OR OLDER <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
EXACT LOCATION OF PROPOSED DISPLAY Hartland HS Soccer Field			
DATE OF PROPOSED DISPLAY 9-15-23		TIME OF PROPOSED DISPLAY Conclusion of Football Game	
MANNER AND PLACE OF STORAGE, SUBJECT TO APPROVAL OF LOCAL FIRE AUTHORITIES, IN ACCORDANCE WITH NFPA 1123, 1124 & 1126 AND OTHER STATE OR FEDERAL REGULATIONS. PROVIDE PROOF OF PROPER LICENSING OR PERMITTING BY STATE OR FEDERAL GOVERNMENT ATF approved storage magazines			
AMOUNT OF BOND OR INSURANCE (TO BE SET BY LOCAL GOVERNMENT) See Attached		NAME OF BONDING CORPORATION OR INSURANCE COMPANY See Attached	
ADDRESS OF BONDING CORPORATION OR INSURANCE COMPANY See Attached			
NUMBER OF FIREWORKS	KIND OF FIREWORKS TO BE DISPLAYED (Please provide additional pages as needed)		
	10+ MultiShot Boxes		
SIGNATURE OF APPLICANT 		DATE 8/23/23	



HARTLAND DEERFIELD FIRE AUTHORITY
HARTLAND AREA FIRE DEPT.

3205 Hartland Road
Hartland, MI. 48353-1825

Voice: (810) 632-7676
E-Mail: firemarshal@hartlandareafire.com

August 23, 2023

To: Hartland Township Board
Attn: Clerk Larry Ciofu
2655 Clark Rd.
Hartland, MI 48353

Re: Gen-X Pyrotechnics for Hartland High School Booster Club

Based upon the review of the application named above and inspection of the proposed site for the fireworks display for September 15, 2023, we recommend approval of the request contingent upon the following:

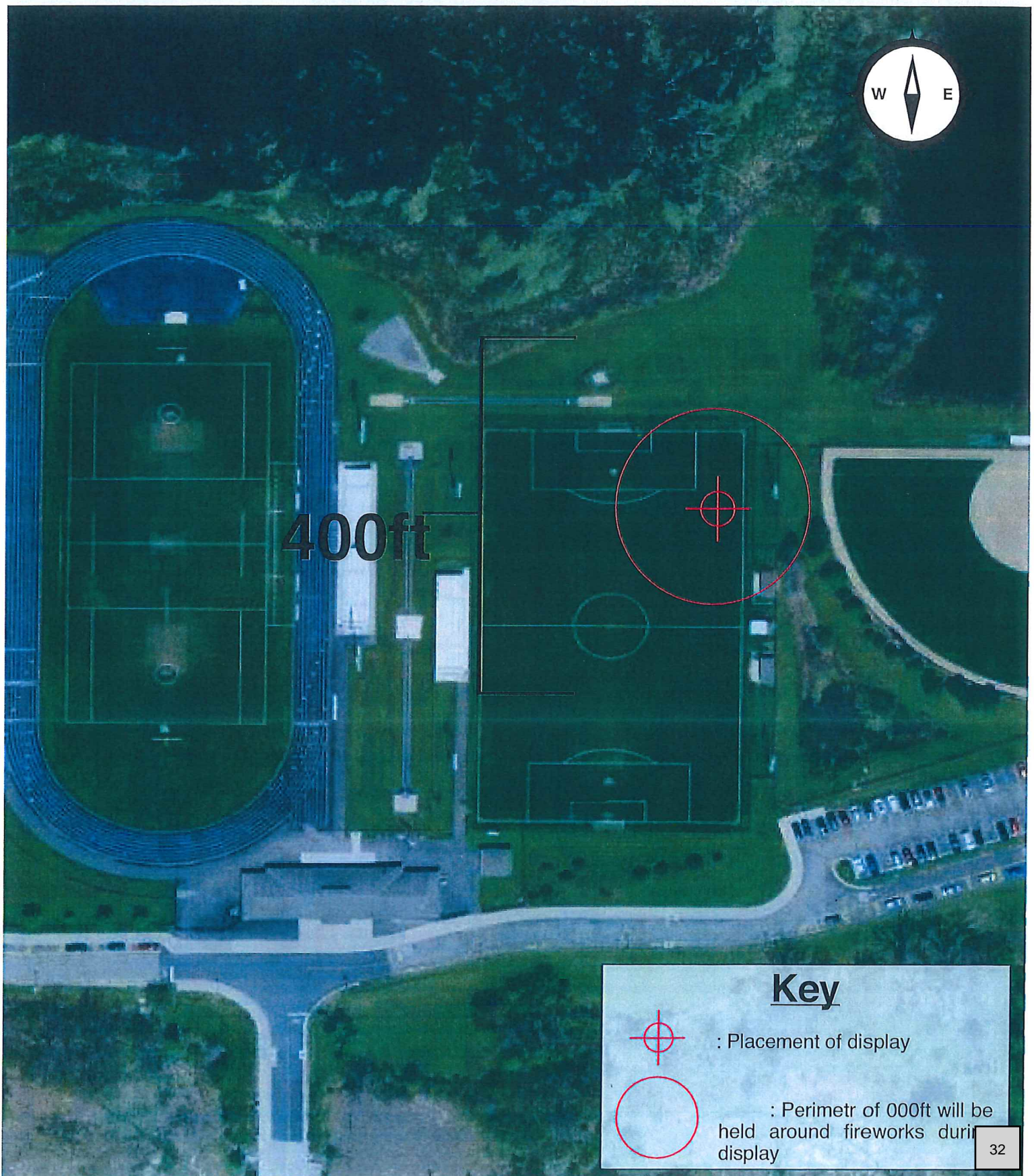
- 1) Gen-X Pyrotechnics is responsible for ensuring that NFPA 1123 is followed.
- 2) Based upon vegetation / weather conditions, the fire department may have a brush truck at the launching site with sufficient personnel to handle any fire emergencies that may arise.
- 3) Due to the cart path access to the site, it is not recommended that apparatus other than a fire department brush truck be used in a non-emergency situation.
- 4) No one will be allowed within 100 yards of the launch site during the display.
- 5) Smoking and open flame will not be permitted within 50 feet of the launch site. Exception: Items required for the ignition of the displays by trained and certified professionals.
- 6) The display will not begin until all persons are off the lake. The display will be stopped in the event anyone ventures onto the lake, and the display will not be resumed until the lake is cleared.
- 7) It is understood that the fire department will not allow the display to commence or continue if these conditions are not met, or in the event of conditions arising, such as adverse weather or faulty firing of the displays, or any condition which this department deems unsafe for the display to continue.
- 8) Insurance as agreed upon by the Hartland Township Board.
- 9) Final approval and permitting by the Hartland Township Board.

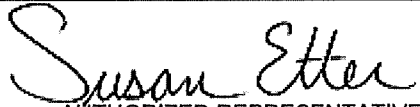
The football game fireworks displays continues to be a spectacular addition to events while keeping the safety and welfare of all spectators, workers, and buildings first on their agenda. Should you have any other questions, or we can be of further assistance, please call.

Captain, Fire Inspector

Hartland High School

Distance- 200 ft diameter
(NFPA regulation)



Certificate of Insurance 37274 Issue Date: 8/23/2023						
PRODUCER Professional Program Insurance Brokerage Division of SPG Insurance Solutions LLC 1304 Southpoint Blvd., Suite 101 Petaluma, CA 94954				THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.		
INSURED Gen-X Pyrotechnics, Inc. 2906 Pine Needle Drive White Lake, MI 48383				INSURERS AFFORDING COVERAGE		
				INSURER A: Certain Underwriter's at Lloyd's, London - AA-1128623		
				INSURER B:		
				INSURER C:		
INSURER D:		COVERAGES: THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE NAMED INSURED ABOVE FOR THE PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES.				
CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (DD/MM/YY)	POLICY EXPIRATION DATE (DD/MM/YY)	LIMITS	
A	GENERAL LIABILITY CLAIMS MADE	PY/23-0125	6/9/2023	6/9/2024	EACH ACCIDENT	\$5,000,000
					MEDICAL EXP (any one person)	
					FIRE LEGAL LIABILITY	\$50,000
					GENERAL AGGREGATE	\$5,000,000
					PRODUCTS-COMP/ OPS AGG	
DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS Certificate holder is additional insured as respects the following:						
Date(s) of Display:		9/15/2023				
Location:		Hartland highschool (soccer field)				
Additional Insured:		Hartland township Hartland consolidated schools				
Rain Date(s):						
Type of Display:		Aerial Fireworks Display				
CERTIFICATE HOLDER Hartland consolidated schools 10635 Dunham rd hartland mi 48353				SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.		
				 Susan Etter AUTHORIZED REPRESENTATIVE		

Federal Explosives License/Permit
(18 U.S.C. Chapter 40)

2018 RELEASE UNDER E.O. 14176

In accordance with the provisions of Title XI, Organized Crime Control Act of 1970, and the regulations issued thereunder (27 CFR Part 555), you may engage in the activity specified in this license or permit within the limitations of Chapter 40, Title 18, United States Code and the regulations issued thereunder, until the expiration date shown. **THIS LICENSE IS NOT TRANSFERABLE UNDER 27 CFR 555.53.** See "WARNINGS" and "NOTICES" on reverse.

Direct ATF ATF - Chief, FELC
Correspondence To 244 Needy Road
 Martinsburg, WV 25405-9431

License/Permit
Number

4-MI-125-54-4F-01210

Chief, Federal Explosives Licensing Center (FELC)

Expiration
Date

June 1, 2024

Name
GEN X PYROTECHNICS

Premises Address (Changes? Notify the FELC at least 10 days before the move.)

2906 PINE NEEDLE DR
WHITE LAKE, MI 48383-

Type of License or Permit

54-USER OF EXPLOSIVES

Purchasing Certification Statement

The licensee or permittee named above shall use a copy of this license or permit to assist a transferor of explosives to verify the identity and the licensed status of the licensee or permittee as provided by 27 CFR Part 555. The signature on each copy must be an original signature. A faxed, scanned or e-mailed copy of the license or permit with a signature intended to be an original signature is acceptable. The signature must be that of the Federal Explosives Licensee (FEL) or a responsible person of the FEL. I certify that this is a true copy of a license or permit issued to the licensee or permittee named above to engage in the business or operations specified above under "Type of License or Permit."

Mailing Address (Changes? Notify the FELC of any changes.)

GEN X PYROTECHNICS
2906 PINE NEEDLE DR
WHITE LAKE, MI 48383-

Licensee/Permittee Responsible Person Signature

Position/Title

Printed Name

Date

Previous Edition is Obsolete GEN X PYROTECHNICS:2906 PINE NEEDLE DR:48383-4-MI-125-54-4F-01210:June 1, 2024:54-USER OF EXPLOSIVES

ATF Form 5400.14/5400.15 Part I
Revised September 2011

Federal Explosives License (FEL) Customer Service Information

Federal Explosives Licensing Center (FELC)
244 Needy Road
Martinsburg, WV 25405-9431

Toll-free Telephone Number: (877) 283-3352
Fax Number: (304) 616-4401
E-mail: FELC@atf.gov

ATF Homepage: www.atf.gov

Change of Address (27 CFR 555.54(a)(1)). Licensees or permittees may during the term of their current license or permit remove their business or operations to a new location at which they intend regularly to carry on such business or operations. The licensee or permittee is required to give notification of the new location of the business or operations not less than 10 days prior to such removal with the Chief, Federal Explosives Licensing Center. The license or permit will be valid for the remainder of the term of the original license or permit. (The Chief, FELC, shall, if the licensee or permittee is not qualified, refer the request for amended license or permit to the Director of Industry Operations for denial in accordance with § 555.54.)

Right of Succession (27 CFR 555.59). (a) Certain persons other than the licensee or permittee may secure the right to carry on the same explosive materials business or operations at the same address shown on, and for the remainder of the term of, a current license or permit. Such persons are: (1) The surviving spouse or child, or executor, administrator, or other legal representative of a deceased licensee or permittee; and (2) A receiver or trustee in bankruptcy, or an assignee for benefit of creditors. (b) In order to secure the right provided by this section, the person or persons continuing the business or operations shall furnish the license or permit for for that business or operations for endorsement of such succession to the Chief, FELC, within 30 days from the date on which the successor begins to carry on the business or operations.

(Continued on reverse side)

Cut Here ✂

Federal Explosives License/Permit (FEL) Information Card

License/Permit Name: GEN X PYROTECHNICS

Business Name:

License/Permit Number: 4-MI-125-54-4F-01210

License/Permit Type: 54-USER OF EXPLOSIVES

Expiration: June 1, 2024

Please Note: Not Valid for the Sale or Other Disposition of Explosives.



U.S. Department of Justice
Bureau of Alcohol, Tobacco, Firearms and Explosives
Federal Explosives Licensing Center
244 Needy Road
Martinsburg, West Virginia 25405

901090: MH/FLS
5400
File Number: 4MI01210

05/19/2021

SUBJECT: RESPONSIBLE PERSON LETTER OF CLEARANCE for:

JASON ANTHONY TRUDEAU

PRESIDENT
(248)252-0029

2906 PINE NEEDLE DR
WHITE LAKE, MI 48383

and is ONLY valid under the following Federal explosives license/permit:

4-MI-125-54-4F-01210

GEN X PYROTECHNICS
2906 PINE NEEDLE DR
WHITE LAKE, MI 48383

Dear JASON TRUDEAU:

You have been approved as a responsible person under the above-listed Federal explosive license or permit. You may lawfully direct the management or policies of the business or operations as they pertain to explosives. You may also lawfully transport, ship, receive or possess explosive materials incident to your duties as a responsible person. **This clearance is only valid under the license or permit referenced above.**

Sincerely,

A handwritten signature in blue ink that reads "Marna Howard".

Marna Howard
Chief, Federal Explosives Licensing Center (FELC)

FELC Customer Service. If you believe that information on your "Letter of Clearance" is incorrect, please return a COPY of the letter to the Chief, Federal Explosives Licensing Center (FELC), with a statement showing the nature of the error. The Chief, FELC, shall correct the error, and return an amended letter to you.

Mail: ATF
Chief, FELC
Attn.: LOC Correction
244 Needy Road
Martinsburg, West Virginia 25405

Fax: 1-304-616-4401
Chief, FELC
Attn.: LOC Correction

Call toll-free: 1-877-283-3352



05/19/2021

NOTICE OF CLEARANCE

for individuals transporting, shipping, receiving, or possessing explosive materials.

ISSUED TO: GEN X PYROTECHNICS

Federal Explosives license/permit no.: 4-MI-125-54-4F-01210

NOTICE DATE: 05/19/2021

Expiration Date: **June 1, 2024**

EXPIRATION DATE: This Notice expires when superseded by a newer Notice which will list all current responsible persons and employee possessors, or when the license or permit expires - whichever comes first.

Explosives License/Permit Type: 54-USER OF EXPLOSIVES

- 1 **WARNING.** Only those individuals listed below as **RESPONSIBLE PERSONS** and **EMPLOYEE POSSESSORS** with a background clearance status of "CLEARED" or "PENDING" are authorized to transport, ship, receive, or possess explosive materials in the course of employment with you.
- 2 **"DENIED" STATUS.** If an employee possessor has a background clearance status of "DENIED", you **MUST** take immediate steps to remove the employee from a position requiring the transporting, shipping, receiving, or possessing of explosive materials. Also, if the employee has been listed as a person authorized to accept delivery of explosive materials, you **MUST** remove the employee from such list and immediately, and in no event later than the second business day after such change, notify distributors of such change, as stated in 27 CFR 555.33(a).
- 3 **CHANGE IN RESPONSIBLE PERSONS.** You **MUST** report any change in responsible persons to the Chief, Federal Explosives Licensing Center, within 30 days of the change and new responsible persons **MUST** include "appropriate identifying information" as defined in 27 CFR 555.11. Fingerprints and photos are **NOT** required, however they will be required upon renewal of the license or permit.
- 4 **CHANGE OF EMPLOYEES.** You **MUST** report any change of employee/possessors to the Chief, FELC, within 30 days. Reports relating to newly hired employees must be submitted on ATF Form 5400.28 for **EACH** employee.

Premises Address: 2906 PINE NEEDLE DR
WHITE LAKE, MI 48383

Mailing Address:

GEN X PYROTECHNICS
2906 PINE NEEDLE DR
WHITE LAKE, MI 48383

This 'Notice of Clearance' is provided to you as required by 18 U.S.C. 843(h) and **MUST** be retained as part of your permanent records and be made available for examination or inspection by ATF officers as required by 27 CFR 555.121. If you receive a Notice subsequent to this Notice, this Notice will no longer be valid.

In accordance with 27 CFR 555.33, Background Checks and Clearances, and 27 CFR 555.57, Change of Control, Change in Responsible Persons, and Change of Employees, ATF's Federal Explosives Licensing Center (FELC) has conducted background checks on the individual(s) you identified as a responsible person(s) and an employee/possessor(s) on your application, or reported after the issuance of your license/permit.

The following is a SUMMARY of the results of the background checks conducted on the individuals you reported as responsible persons and employee/possessors. ATF will be notifying ALL individuals listed on this document of their respective status by separate letter mailed to their residence address.

PLEASE BE ADVISED THAT IT IS UNLAWFUL FOR ANY PERSON REFLECTING A STATUS OF "DENIED" TO TRANSPORT, SHIP, RECEIVE, OR POSSESS EXPLOSIVE MATERIALS.

Please carefully review this Notice to ensure that all the information is accurate. If this Notice is incorrect, please return the Notice to the Chief, FELC, with a statement showing the nature of the error(s). The Chief, FELC, shall correct the error, and return a corrected Notice.

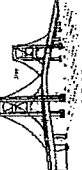
Number of RESPONSIBLE PERSON(S) : 1
Number of EMPLOYEE POSSESSOR(S): 7

LAST NAME, First Name, Middle Name	Clearance Status
RESPONSIBLE PERSONS:	1
0001 TRUDEAU, JASON ANTHONY	Cleared

EMPLOYEE POSSESSORS:	
EMPLOYEE POSSESSORS:	7
0001 CARRIGER, JEREMY ROBERT	Cleared
0002 CARRIGER, JOSHUA ROY	Cleared
0003 DOBRIN, DAVID JASON	Cleared
0004 HOFELICH, GREGORY DAVID	Cleared

continued

LAST NAME, First Name, Middle Name	Clearance Status
0005 MORGAN, DRAKE LANTZ	Cleared
0006 RAGNOLI, ADAM MICHAEL	Cleared
0007 KENNEDY, JAMES MICHAEL	Pending

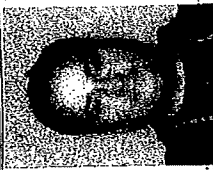




MICHIGAN
COMMERCIAL DRIVER LICENSE

I 630 373 067 896 ISS 11-20-2018
 DOB 11-23-1968 EXP 11-23-2022 112368

JASON ANTHONY TRUDEAU
 2806 FINE NEEDLE DR
 WHITE LAKE, MI 48393-2253

Sex M Hgt 601 Eyes BRO
 Lic Type CC End H
 Restrictions K-DOL Immediate only, L-No air brk
 DMV

DD:00844717182

Rev 07-21-2011

MSDS - *Material Safety Data Sheet*
UN0335, FIREWORKS 1.3G, PGII

Emergency Call Info Trac (800) 535-5053 ACE Pyro Contract #100630

Section II - Hazardous Ingredients / Identity Information

Contains Pyrotechnic Compositions that are mixtures of solid oxidizers and fuels that contained in paper and cardboard containers. No Hazard exists during normal handling and storage.

OSHA PEL - N/A

ACGIH TLV - N/A

OTHER LIMITS - N/A

Section III - Physical / Chemical Characteristics

Boiling Point: - N/A

Specific Gravity: - N/A

Vapor Pressure: - N/A

Melting Point: - N/A

Vapor Density: - N/A

Evaporation Rate: - N/A

Solubility in Water: - N/A

Appearance and Odor: - Pyrotechnic Composition is contained in paper or cardboard casings that may be shaped as cylinders, balls or tubes. Odor is not apparent.

Section IV - Fire and Explosion Hazard Data

Flash Point: - N/A

Flammable Limits: - N/A

LEL: - N/A

UEL: - N/A

Extinguishing Media: Deluge with large quantities of water as quickly as possible by FIRE HOSE from a PROTECTED location. Materials are self-oxidizing.

Special Fire Fighting Procedures: Do not attempt to fight a fire in the immediate area of 1.3G Fireworks- EVACUATE THE AREA.

Section IV - Fire and Explosion Hazard Data- Continued

Unusual Fire and Explosion Hazards: Fireworks 1.3G MAY MASS EXPLODE IN A FIRE. DO NOT ALLOW FIREWORKS TO GET WET- Hazardous Decomposition May Result in a FIRE or EXPLOSION. EXPLOSION MAY OCCUR IF EXPOSED TO SPARKS OR FLAME.

Section V - Reactivity Data

Stability: - Stable

Conditions to Avoid: - Open Flames, Sparks, High Temperatures, Friction or Impact.

Incompatibility (*Materials to Avoid*): - Do Not Allow Fireworks to Get Wet.

Hazardous Decomposition or Byproducts: - Decomposition does not occur under normal circumstances. Smoke Generated by Fireworks may contain gasses that are irritating to the eyes or mucous membranes. Prolonged Exposure and Inhalation of smoke may cause shortness of breath or more serious problems when a chronic respiratory condition exists.

Hazardous Polymerization: Will Not Occur

Conditions to Avoid: - Storage in High Temperatures, Moist or Wet Conditions, Keep away From Open Flame or Sparks.

Section VI – Health Hazard Data

Route(s) of Entry: - N/A Inhalation: -N/A Skin: - N/A Ingestion: - N/A

Health Hazards (Acute and Chronic): - N/A

Carcinogenicity: N/A NTP?: - N/A IARC Monographs?: -N/A

OSHA Regulated: - NO

Signs and Symptoms of Exposure: - Prolonged Exposure to smoke that is Generated during Normal use of Fireworks may cause Irritation to Eyes and to Mucous Membranes.

Medical Conditions Generally Aggravated by Exposure: - Eye Sensitivity, Respiratory Conditions.

Emergency and First Aid Procedure: - EYES should be flushed with water. Move to Fresh Air and avoid additional Inhalation of Smoke.

Section VII – Precautions for Safe Handling and Use

Steps to Be Taken in Case Material is Released or Spilled: - If Fireworks are spilled, carefully pick up the material and place in a Cardboard Carton. Keep OPEN FLAMES and Sparks AWAY and NO SMOKING.

Waste Disposal Method: - Fireworks that fail to go off should be soaked in a bucket of water and returned to the source where it was obtained. Dry components or powder should be carefully swept up and placed in a cardboard container then soaked with water. Burning of Fireworks Waste must be performed in compliance with local and state laws.

Precautions in Handling and Storing: - Keep from OPEN FLAMES, NO SMOKING, AVOID IMPACT of MATERIALS and CONTAINERS of MATERIALS, STORE FIREWORKS IN A COOL AND DRY ENVIORMENT. FIREWORKS 1.3G MUST BE STORED AND TRANSPORTED IN COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS.

Other Precautions: - UN0335 Fireworks 1.3G can cause SERIOUS INJURY or DEATH. They should only be Handled by Properly Trained and Qualified Personnel. When Shooting these Fireworks; PERSONNEL SHOULD WEAR PROPER EYE PROTECTION, HEAD PROTECTION AND NON-SYNTHETIC CLOTHING.

Section VIII – Control Measures

Respiratory Protection: N/A

Ventilation: - N/A Local Exhaust: - N/A Special: - N/A

Mechanical: -N/A Other: - N/A

Protective Gloves:- N/A Eye Protection: - When Shooting Fireworks 1.3G

Other Protective Clothing or Equipment: - Protective Head Gear and Non-Synthetic Clothing when Shooting Fireworks 1.3G.

Work / Hygienic Practices: - Store Fireworks in a Cool Dry and Well Ventilated area. Protect Against Physical Damage and Moisture. Fireworks should be Isolated from all Heat Sources, Sparks and Open Flame. No Smoking.

Firework Disposal Procedure

Please follow the two simple guidelines below for the proper disposal of any unused display fireworks

1. If any display fireworks are found, submerge the firework in a five-gallon bucket of water.
2. Contact Jason Trudeau with Gen-X Pyrotechnics for proper pickup.

Gen-X Pyrotechnics will pick up any unused display fireworks and take them to an authorized facility for a proper disposal.



248.252.0029



genxpyro@comcast.net
info@genxpyrotechnics.com



www.genxpyrotechnics.com

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Site Plan #17-016 – Release of Performance Bond for Bella Vita

Date: August 28, 2023

Recommended Action

Approve the release of the performance cash bond of \$60,000 for the purpose of ensuring the installation of the topcoat of asphalt has been properly applied to the development site.

Discussion

Applicant: Transnation Title Agency – Bella Vita – Chuck Sekrenes

Site Description

The Bella Vita Memory Care facility was approved under Special Land Use Permit #17-016. One of the last remaining items to be completed with this project was the installation of the topcoat of asphalt on the private drive and off-street parking areas. The Township required a cash performance guarantee of \$60,000 to ensure the asphalt would be completed in compliance with the approved Site Plan.

On August 9, 2023, the applicant notified the Township that the required topcoat of asphalt had been properly installed, and the Township performed a site inspection to confirm.

As a result, Hartland Township has authorized the issuance of a certificate of occupancy for the Bella Vita project and the \$60,000 cash performance guarantee can be refunded to the applicant.

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Site Plan #23-009 Climate controlled self-storage facility Planned Development (PD) Concept Plan

Date: August 29, 2023

Recommended Action

No formal action shall be taken by the Planning Commission or the Township Board as part of a Planned Development Concept Plan review. The Planning Department should provide comments to the applicant about the proposed climate controlled self-storage facility Concept Plan and whether it is indicative of a plan that can and will meet the intent, design standards, and eligibility criteria of the Planned Development process.

Discussion

Applicant: Joe Qonja

Site Description

The proposed planned development (PD) is shown north of Highland Road, west of US-23, and located between Best Western of Hartland motel and Arby's restaurant. The subject parcel, zoned GC (General Commercial), is approximately 1.21 acres in size and is undeveloped (Parcel ID #4708-21-300-039). As a side note, the submitted plans incorrectly state the Parcel ID number as 4708-21-300-033 and should be revised on the next set of plans.

Arby's restaurant is to the south (10099 Highland Road) and is zoned GC. To the north, is the Best Western of Hartland (10087 Highland Road) which is also zoned GC. Southwest of the subject site is Chase Bank which is zoned PD (Planned Development).

Public access to the proposed development is via an existing service drive which commences from Highland Road on the south, travels north to the Best Western motel, then turns west to connect to Old US-23. Currently Arby's restaurant has access from the service drive via two (2) driveways as does Best Western. A vacant parcel is situated west of Best Western and north of the service drive. Township records are not clear as to who has legal access to the service drive. The applicant should due their due diligence to provide documentation that legal access will be available to the subject property via the existing service drive.

The Planning Commission discussed the proposed development at the August 24, 2023 regular meeting.

Site History

SUP #183 (Best Western Motel 1984)

The subject property for the climate controlled self-storage facility was originally part of a larger parcel that included the Best Western motel. SUP #183 for the Best Western motel was approved by the Township Board on August 21, 1984. The plan showed two (2) phases for the development of the site that included two (2) motel buildings, a separate motel office building, restaurant, donut shop, and associated parking areas.

Land Use Permit #1433 (1985)

Land Use Permit #1433 was approved on January 24, 1985, for the construction of the motel building, in its current location. It is unclear if the separate motel office building and pool were also approved under this permit.

Metes and Bounds Land Division Application #771 (2007)

The Planning Commission approved M & B Land Division Application #771 on June 28, 2007. This was a request to split the existing parcel into two (2) parcels, that included Parcel A (1.54 acres vacant land, NW corner of the site, adjacent to Old US-23) and Parcel B (3.95 acres, with motel buildings, paved parking areas, and undeveloped land to the south). A thirty (30) foot wide easement is shown on Parcel A and Parcel B, for ingress, egress, and public utilities. The easement connects to Old US-23 on the west and Highland Road to the south. The document was recorded in 2007.

Land Division Application #840 (2014)

This was a request to split Parcel B (3.95 acres) into two (2) parcels. Parcel B1 (2.72 acres) includes the existing motel building, office/indoor pool building, and parking area. Parcel B2 (1.21 acres) is the site of the proposed climate controlled self-storage PD. The 2014 recorded survey for the land division, for Parcel B1, shows a 30-foot-wide segment of land that appears to be the approximate location of the north-south portion of the ingress-egress easement described in the 2007 recorded document. However, a legal description of the 30-wide easement is not provided on this survey.

Planned Development Procedure

Section 3.1.18 of the Township's Zoning Ordinance provides standards and approval procedures for a PD Planned Development. Approval of a Planned Development is a three-step process. A Concept Plan, Preliminary Plan, and Final Plan are all reviewed by the Planning Commission and the Township Board, with the Planning Commission making a recommendation and the Board having final approval at each step. The process usually requires a rezoning from the existing zoning district to the Planned Development (PD) zoning district. As part of the rezoning, a public hearing is held before the Planning Commission consistent with the Michigan Zoning Enabling Act; this public hearing is held at the same meeting during which the Planning Commission reviews and makes a recommendation on the Preliminary Plan. Approval of the Final Plan by the Township Board usually constitutes a rezoning of the subject property to PD.

Proposed Concept Plan

A. General

The applicant has submitted a Concept Plan for a 3-story, climate controlled self-storage facility, to be developed as a planned development. The property is currently zoned GC (General Commercial) which does not allow for a self-storage facility or mini warehouse use. The LI (Light Industrial) zoning district is the only district where mini warehouses are allowed as a Principal Permitted Use or Special Land Use.

Section 2.265 (Definitions) defines a warehouse as follows:

A building used primarily for storage of goods and materials.

A mini warehouse facility typically consists of single-story buildings with multiple storage units per building, and drive aisles around the buildings. The storage unit/building may or may not be climate controlled. Each storage unit is typically accessed directly from a garage door (drive-up storage unit). Separate standards for Mini Warehouses are found in Section 4.35.

The proposed self-storage facility consists of one, 3-story building that is climate controlled, and has drive-up storage units that are accessed from the north side of the building. Staff presumes additional storage units are accessed from inside the building on the second and third floors. Specific zoning standards are not provided for this type of facility. The Planning Commission should evaluate the proposed use and determine if the standards in Section 4.35 (Mini Warehouses) would apply.

The subject parcel is approximately 1.21 acres. Per Section 3.1.18.B.ii, the minimum size for a Planned Development is twenty (20) acres of contiguous land. The Township Board, upon recommendation from the Planning Commission may permit a smaller Planned Development subject to meeting the requirements in Section 3.1.18.B.ii, such as the project offers unique characteristics and benefits or the parcel in question has unique characteristics that significantly impact development. The applicant is to submit a letter to the Township requesting a waiver of the minimum Planned Development size requirements and explaining the basis for the request. A waiver request was not submitted with this application but would be required for the Preliminary Site Plan application; however, the Planning Commission should identify any concerns they may have at this time.

Regarding the site layout for the proposed facility, the building is positioned in the center of the site. The plan shows three (3) driveways to the site from the existing service drive. The southern driveway provides ingress to the site and is one-way (west to east). The internal drive wraps around the building on the east and north, with an egress driveway on the north. The center driveway is the exit point from the building. Vehicular access into the building is via a garage door on the east side of the building. Drive-up storage units on the first floor are shown on the plan. The exit point is on the west side of the building, with a driveway connection to the service drive. The drive lane width varies from sixteen (16) feet on the south side of the building, to twenty-four (24) feet on the east and north sides of the building. The outer edge of the paved drive lane has a mountable curb, and an approximate 2-foot-wide grass paver area for fire access, as was requested by the Township Fire Department.

Four (4) parking spaces are shown on the east side of the building. One (1) space is barrier-free parking. The parking formula listed on the plan appears to be for Light Industrial Manufacturing (from Section 5.8.4.H.), however staff is not sure this parking standard is applicable. The applicant should provide information on typical parking needs for a similar facility for the Planning Commission to consider.

The total square footage of the 3-story, climate-controlled building is approximately 64,000 square feet. The first floor is 18,600 square feet excluding the access drive that runs through the center of the first floor. The second and third floors are each 22,800 square feet. A concept plan for the first floor is in the plan set. Floor plans for the second and third floors were not provided, which shows twenty (20) drive-up storage units on the north side of the building. Each storage unit is accessed via a garage door, on the north side of the building. Each storage unit is approximately ten (10) feet by thirty (30) feet in size. It should be noted that the elevation drawing of the north façade shows eighteen (18) garage doors for the drive-up storage units.

The building elevations note that the primary façade materials consist of three (3) masonry products labeled as Masonry A, B, and C. Prefab composite panels are used as accent features on the building. Specific product information was not provided. Additional product information and a sample board of façade materials will be required with the next application.

The building height is 43'-0" for the 3-story building. This height exceeds the maximum allowed height of thirty-five (35) feet in a Planned Development. A waiver request to exceed the maximum building height is required from the applicant, with an explanation of the reasons for the height deviation. This would be required as part of the Preliminary Site Plan application.

The plans list building setbacks as required for GC (General Commercial) zoning, and parking setbacks per the Zoning Ordinance. Section 3.1.18.C.vi.a. (PD section) provides the minimum yard setbacks for a planned development. Further discussion on this will occur as part of the Preliminary Site Plan application. Municipal water and sanitary sewer will be required for this development.

Stormwater management plans show an underground detention area on the south side of the building. Additional details may be required with the next application.

Section 3.1.18.E. has specific requirements for information to be included within a planned development Concept Plan submittal. Based on the submitted plans, the Planning Department feels the information provided is sufficient to consider complete.

B. Proposed Density (Not applicable)

C. Public Road Access

As noted previously, public access to the subject site is via the existing service drive which runs along the west side of the subject site. Staff is unaware of an easement for the service drive and if access to the subject site is allowed. An easement and agreement should be considered, with draft documents to be submitted with the Preliminary Site Plan application. The Livingston County Road Commission (LCRC) and Michigan Department of Transportation (MDOT) may have comments during the Preliminary review.

D. Traffic Generation

The applicant has not submitted a traffic impact analysis as part of the Concept Plan submittal; this is one of the requirements for Preliminary Site Plan submittal.

E. Internal Vehicular/Pedestrian Circulation

The proposed development is accessed from the existing service drive. Internally a looped circulation system is shown, with one-way vehicle traffic around the building. The entry point to the building for vehicles is on the east side of the building, and exiting occurs on the west side of the building. Five-foot wide sidewalks are shown adjacent to the parking spaces.

F. Utilities

The applicant will need to work with the Hartland Township Public Works Department to acquire the necessary Residential Equivalent Units (REU)'s for this development.

G. Design Details

A Pattern Book with specific design details was not submitted with the Concept Plan, although elevation drawings were submitted. Floor plans for each floor should be submitted with the Preliminary Site Plan application. The building elevations should include a chart listing the façade materials and percentage of each material, for every elevation.

H. Open Space

Section 3.1.18.C requires a Planned Development to include open space; at a minimum that open space should meet the requirements of the site's previous zoning district. In this case, a minimum of 25% open space is required in the GC zoning district. The plans do not show areas designated as open space and it is unlikely the site could provide 25% open space. Nonetheless, an Open Space plan will be required as part of the Preliminary Site Plan submittal. A waiver may be required.

I. Landscaping

A landscape plan was submitted. Generally, the plan shows landscaping around the perimeter of the site, between the drive lane and the property lines. A detailed review will occur as part of the Preliminary Site Plan application. To be noted, seven (7) canopy trees exist along the western property line and consideration could be given to preserving some of the trees, which could count toward required landscaping along the site in that area.

J. Dumpster and Enclosure

A dumpster and enclosure were not shown on the plans but should be if proposed.

K. Exterior Lighting

A lighting plan was provided and will be reviewed in detail as part of Preliminary Site Plan application. Specification sheets for all light fixtures should be submitted at that time.

Recognizable Benefits

One of the eligibility criteria for a planned development is that it “shall result in a recognizable and substantial benefit to the ultimate users of the project and to the community and shall result in a higher quality of development than could be achieved under conventional zoning.” It is not clear based on the Concept Plan whether the proposed development satisfies these criteria. It will be ultimately up to the applicant, Planning Commission, and Township Board to come to an agreement on the extent to which a recognizable benefit shall be provided for the proposed development.

Other

The Preliminary Site Plan will include more details with respect to traffic impacts, lighting, open space plan, building façade materials (percentages, sample products), and applicable waiver requests. It would be in the Applicant’s best interest to provide a summary of design details (amenities, open space, and façade materials) as part of the Preliminary Site Plan.

Hartland Township DPW Review

The Director of the Public Works Department has provided comments in the letter dated August 10, 2023.

Hartland Township Engineer’s Review (SDA)

The Township Engineer (SDA) has provided comments in the letter dated October 22, 2022.

Hartland Deerfield Fire Authority Review

Comments on the project are provided in the review letter dated June 20, 2023.

Attachments:

1. Township DPW review letter 08.10.2023 – *PDF version*
2. Township Engineer (SDA) review letter 10.22.2022 – *PDF version*
3. Hartland Deerfield Fire Authority review letter 06.20.2023 – *PDF version*
4. Building elevations dated 06.15.2023 – *PDF version*
5. Concept plans dated 05.16.2023 – *PDF version*

CC:

SDA, Twp Engineer (via email)

M. Luce, Twp DPW Director (via email)

A. Carroll, Hartland FD Fire Chief (via email)

SP/PD #23-009 Climate Controlled Self-Storage Concept Plan

August 17, 2023

Page 6

T:\PLANNING DEPARTMENT\PLANNING COMMISSION\2023 Planning Commission Activity\Site Plan Applications\SP PD #23-009 Climate Control Storage PD Concept Plan\Staff reports\SP PD #23-009 Climate controlled self storage PD Concept Plan PC 08.17.2023.docx



DEPARTMENT OF PUBLIC WORKS

Michael Luce, Public Works Director
2655 Clark Road
Hartland MI 48353
Phone: (810) 632-7498

TO: Planning Department
DATE: 8/10/2023
DEVELOPMENT NAME: Self Storage
PIN#: 4708-21-300-039
APPLICATION #: 23-009
REVIEW TYPE: Site Plan

The Department of Public Works (DPW) has reviewed the site plans for the proposed Self Storage facility. This proposed 64,200 square foot storage facility would require 6.42 Water and 6.42 Sewer REUs. Parcel 4708-21-300-039 does not have any REUs assigned to it.

	Sewer REUs	Water REUs
Owned	0	0
Required	6.42	6.42
# REUs Needed	6.42	6.42
Cost Each	\$9,439.20	\$5,816.01
Total Due Each	\$60,599.66	\$37,338.78
TOTAL REU COST	\$97,938.44	

Public Works approves the above plans subject to applicant securing the required number of REUs and the inclusion of the following details on the site plans and construction plans:

1. All review is subject to approval and must comply with the Livingston County Drain Commission standards.
2. All Utility easements noted as public as well as a monitoring manhole if so, required by the Livingston County Drain Commission
3. Notes to indicate that all existing utility infrastructure within the development envelope will be required to be upgraded to the current design and engineering standards.

Prior to interior construction, applicant will be required to purchase a water meter from the Township. Please contact the Public Works Department (810-632-7498) to purchase the water meter.

Please feel free to contact me with any further questions or comments regarding this matter and thank you for your time.

Michael Luce
Public Works Director

October 24, 2022

Mr. Troy Langer
Planning Director
Hartland Township
2655 Clark Road
Hartland, Michigan 48353

**Re: Concept Review for 10087 Highland Rd – Retail and Self-Storage Developments
SD Job#HL22122**

Dear Mr. Langer:

A. General

The sites are located north of Highland Road between N Old US Hwy 23 and US-23 on either side of the existing Best Western motel (10087 Highland Road). The proposed retail development west of the motel is at the site of an existing gravel parking lot and the proposed self-storage development south of the motel is an existing vacant lot. The parcels are:

- Parcel ID 08-21-300-033 = retail site west of motel
- Parcel ID 08-21-200-039 = self-storage site south of motel

Both sites are located on individual tax parcels.

B. Water Main

The township records show that there is an existing 8-inch diameter water main along the private road from Old US-23 immediately adjacent to both parcels to a dead end with hydrant at the parcel south of the motel. Motels continuously use enough water to maintain water quality at a dead end, however the proposed use as a self-storage facility at the parcel to the south may not allow enough water use to maintain water quality for the site. Tapping the existing main west of the motel connection or constructing a water main from the dead end to the existing main in Highland Road may be required by the Township for adequate flow to maintain water quality for the self-storage property.

C. Sanitary Sewer

Based on the property description, it is assumed that a private sanitary sewer from the Best Western motel exists within the private road that extends from Highland Road to the motel property. The developer will need to either enter into a shared-use agreement with the Best Western property owner to use this existing sewer or construct a new sewer with private easement to the Livingston Regional Drain sewer along the north side of Highland Road. The capacity of this existing sewer, if used, will need to be sufficient to handle the proposed REU's produced by the proposed developments.

D. Storm Drainage

There appears to also be an existing storm sewer within the private road that extends from Highland Road to the motel property. Storm manholes can be seen along this private road, however we are unable to find any further information regarding the sewer. It is possible that the developer may be able to enter into a shared-use agreement with the Best Western property owner to use this storm sewer. If this sewer is to be used, a capacity study will be necessary and onsite flow restriction may be required for both developments. Otherwise, the developer must construct a new storm sewer with private easement to an existing storm sewer subject to approval by the Livingston Regional Drain Commissioner sewer where available.

E. Site Paving

The proposed site plan for the retail development shows a single two-way commercial-width driveway with two-way traffic loop around the multi-unit building. The private road along the property appears to be part of the parcel. The developer will need to confirm ownership. There is an existing sidewalk along the east side Old US-23 which terminates short of the private road. It is recommended that a sidewalk be constructed along the front of the proposed retail development with ramp opposite the existing walk which should be extended by the Township in the future.

The proposed site plan for the self-storage development shows one-way driveways on both sides of the property frontage forming a one-way counterclockwise traffic loop around the building. Based on the property description, the Best Western motel owns the private road that extends to Highland Road, therefore the developer will need to enter into a shared-use agreement with the Best Western property owner to use this property for access and egress.

Concept Review

It is recommended that the developer looks further into access to storm and sanitary sewers, and use of the private road owned by Best Western as soon as possible as this may pose issues moving forward if agreements with the motel owner cannot be made. Future reviews will provide detailed analysis of the proposed improvements. Let us know what you think and if you have any questions or concerns.

Thank you,

SPALDING DEDECKER ASSOCIATES, INC.



Al Loebach, PE
Senior Municipal Engineer



HARTLAND DEERFIELD FIRE AUTHORITY
HARTLAND AREA FIRE DEPT.

3205 Hartland Road
Hartland, MI. 48353-1825

Voice: (810) 632-7676
E-Mail: firemarshal@hartlandareafire.com

June 20, 2023

To: Hartland Township Planning Commission
Attn: Zoning Department

Re: Self-Storage Facility
Highland Road, Hartland MI 48353 (Between Best Western & Arby's)

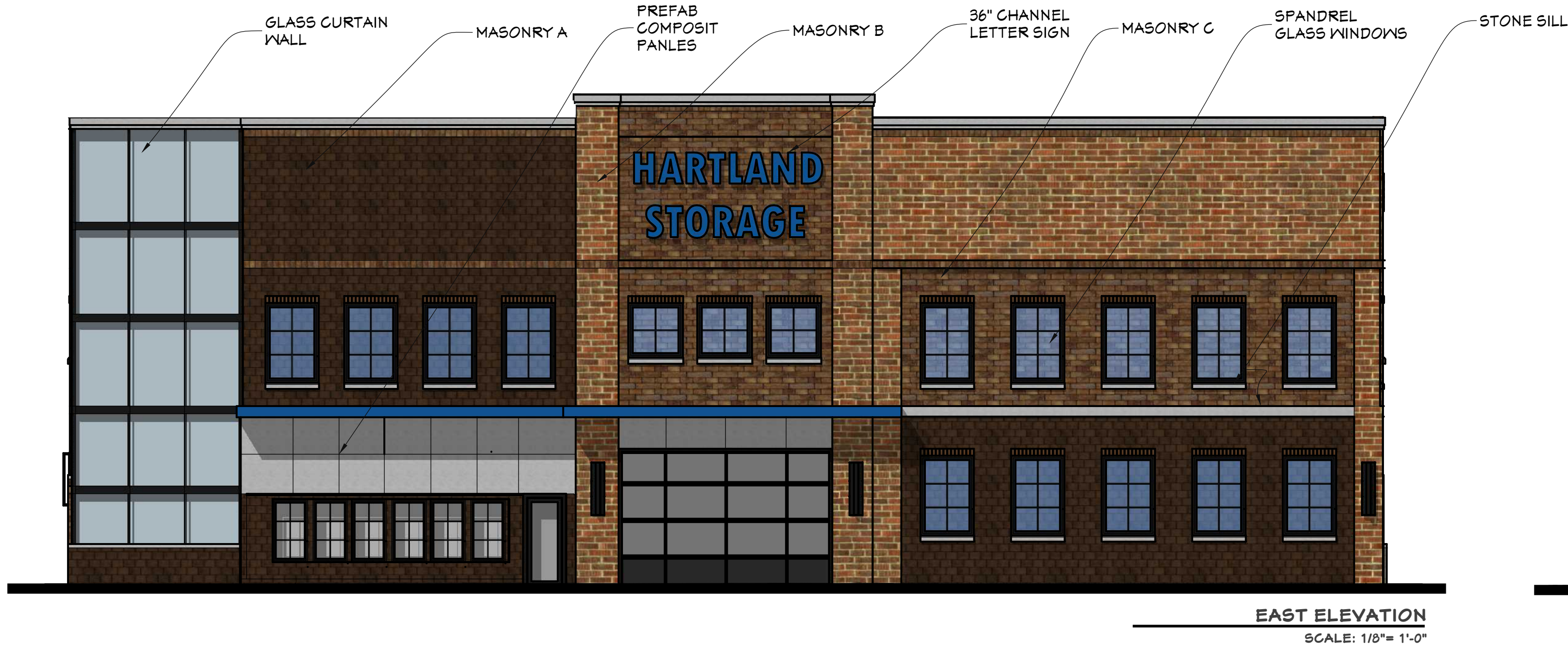
This office has reviewed the Self-Storage Facility Site Plan dated May 16, 2023.

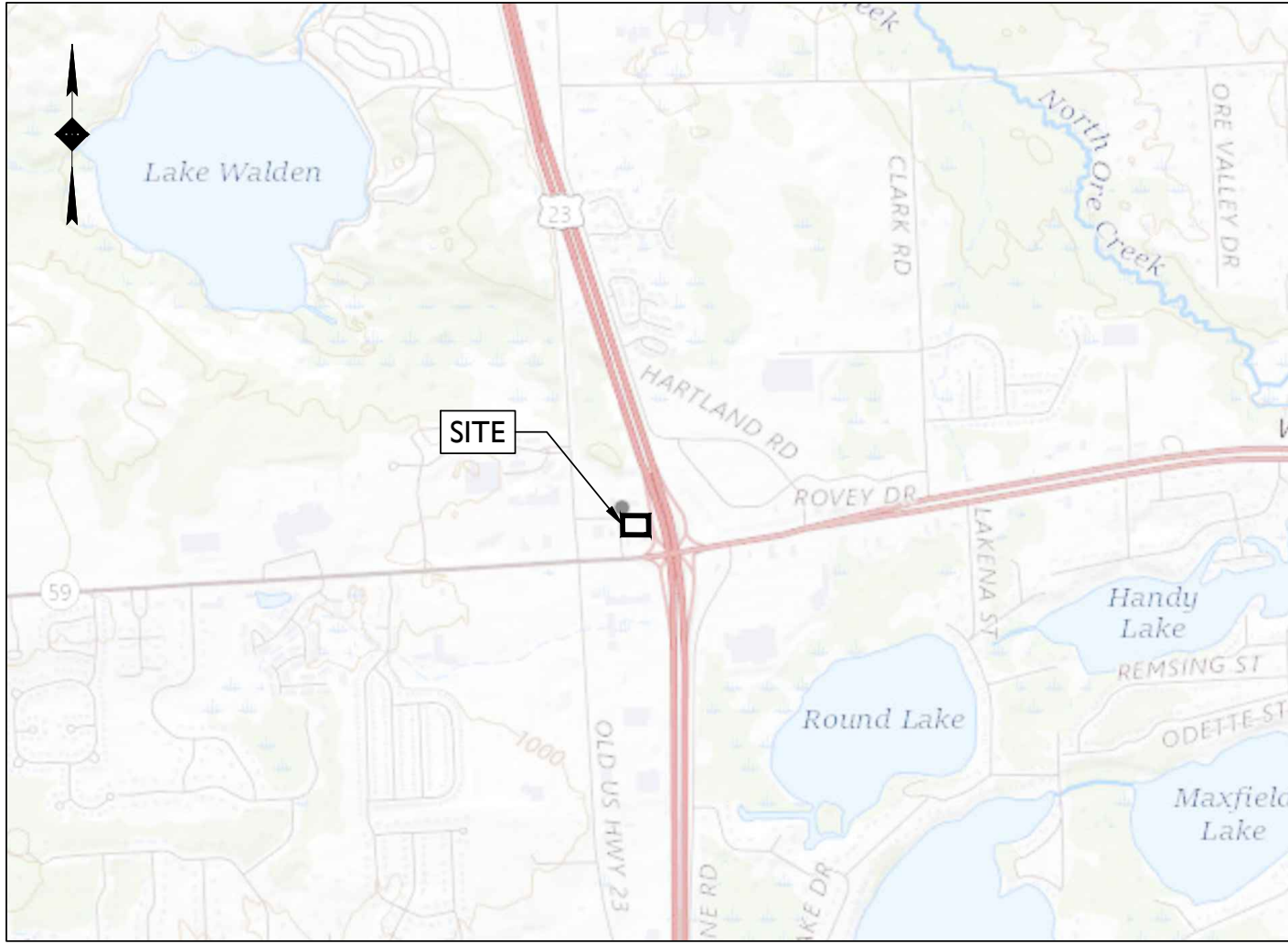
We have the following comments regarding the proposed facility.

1. Ensure turning radius is a minimum of fifty feet.
2. One driveway has a usable width of twenty-six feet for aerial apparatus placement.
3. Supra Box installed on the exterior of the building for access into individual units. Fire Department to provide order form.
4. Due to the potential unknown of items to be stored within the facility, it is highly recommended the entire structure be suppressed according to International Fire Code 2012 Chapter 9.
5. The structure will possess off-site monitoring for fire according to International Fire Code 2012 Chapter 9.

Any revised drawings affecting the Fire Department must be submitted for review.

Jon Dehanke
Captain / Fire Inspector

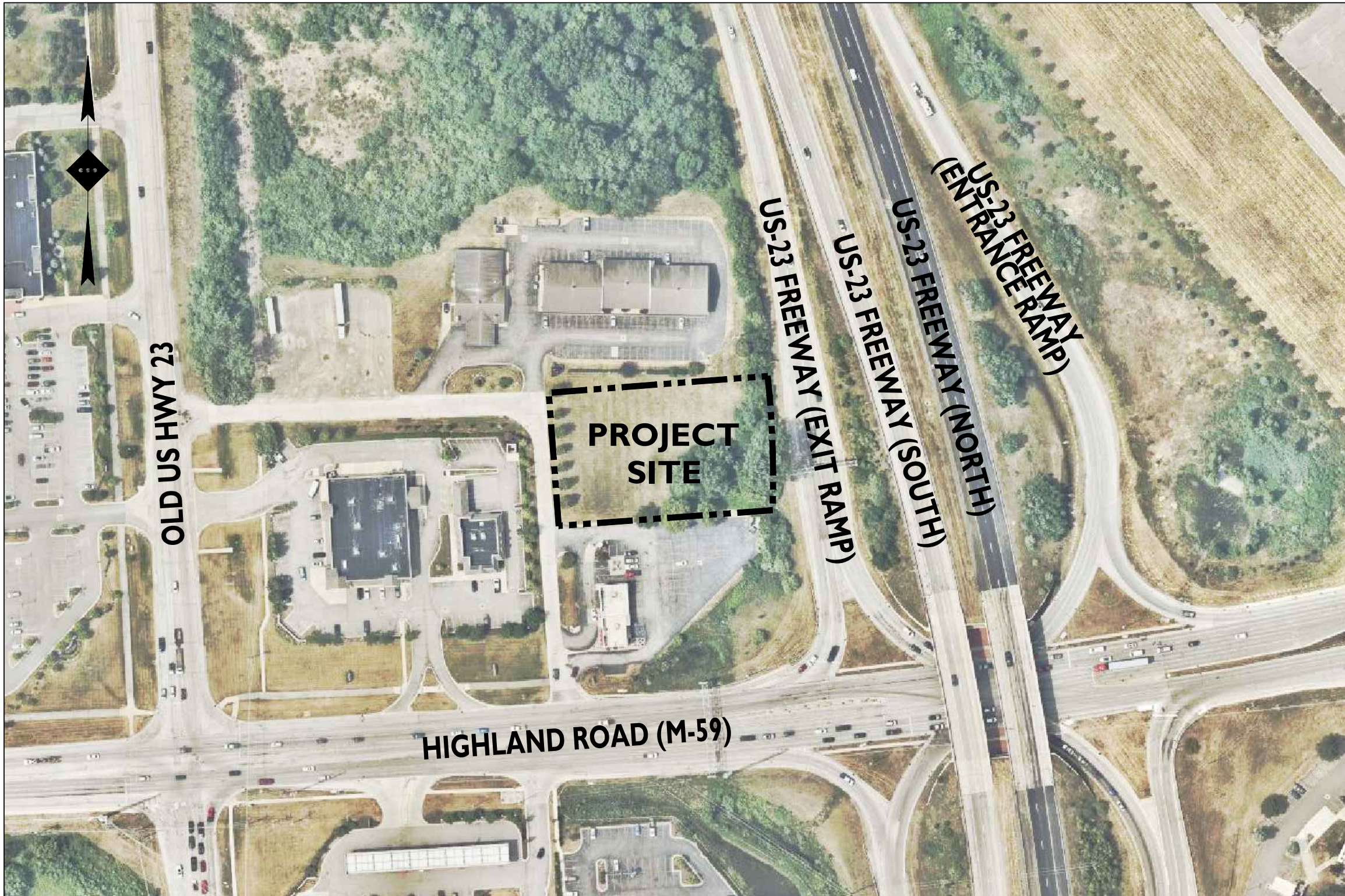




SOURCE: USGS ONLINE MAPPER

LOCATION MAP

SCALE: 1" = 2,000'±



SOURCE: NEARMAP

AERIAL MAP

SCALE: 1" = 150'±



Know what's below
Call before you dig.

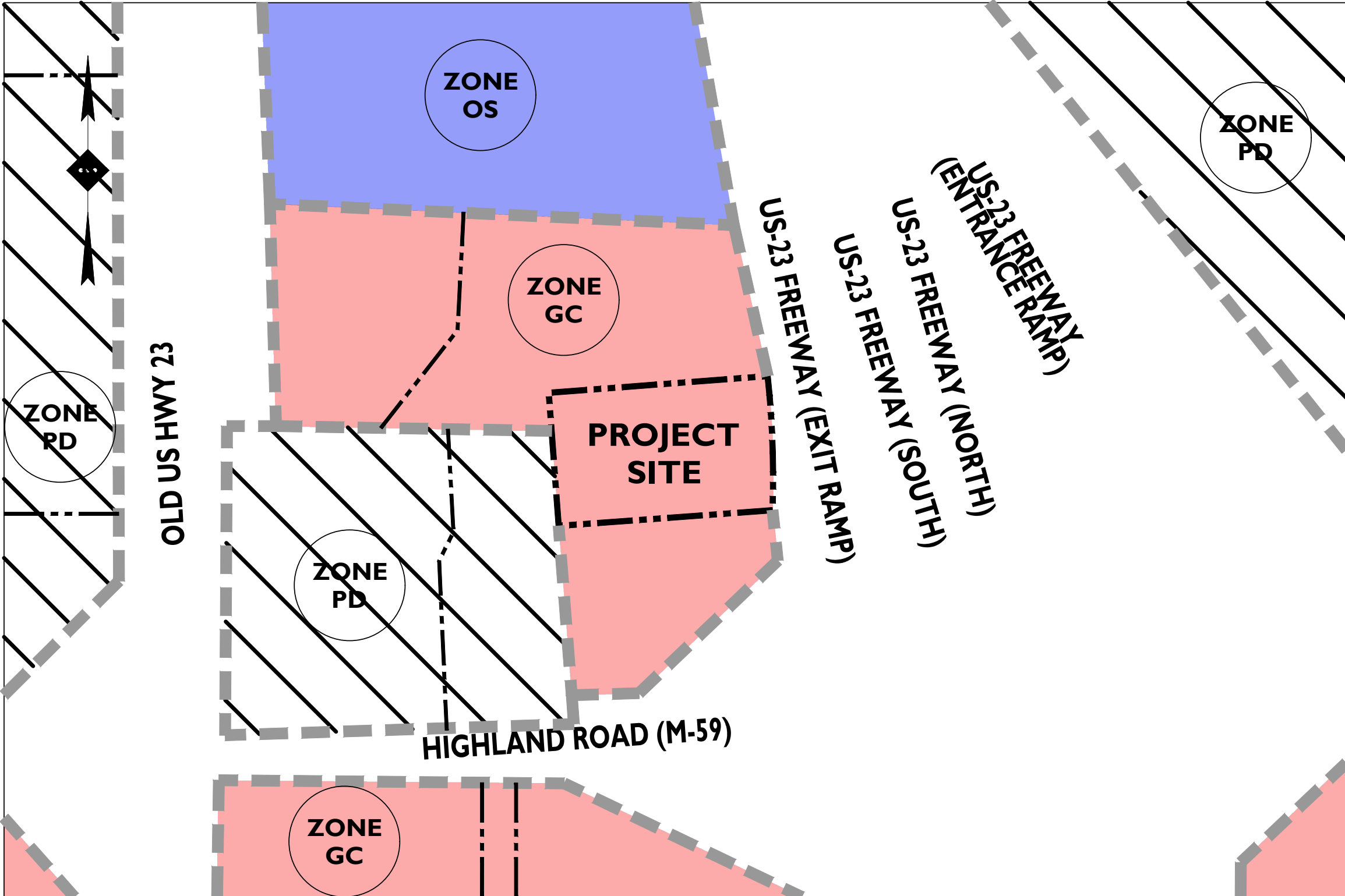
PROPERTY DESCRIPTION:

PARCEL NUMBER 4708-21-300-033, V/L OLD US 23
FIRST AMERICAN TITLE INSURANCE COMPANY, POLICY NO 673673, DATED 10-31-2014

THE LAND REFERRED TO IN THIS POLICY, SITUATED IN THE COUNTY OF LIVINGSTON, TOWNSHIP OF HARTLAND, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:
PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWN 3 NORTH, RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 21; THENCE SOUTH 89 DEGREES 02 MINUTES 00 SECONDS WEST, 883.73 FEET; THENCE NORTH 03 DEGREES 42 MINUTES 00 SECONDS WEST, 485.76 FEET; THENCE SOUTH 88 DEGREES 47 MINUTES 00 SECONDS WEST, 205.95 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 88 DEGREES 47 MINUTES 00 SECONDS WEST 147.00 FEET TO THE EASTERLY RIGHT OF WAY OF OLD US 23; THENCE NORTH 03 DEGREES 38 MINUTES 00 SECONDS WEST ALONG SAID EASTERLY RIGHT OF WAY, 300.00 FEET; THENCE SOUTH 89 DEGREES 08 MINUTES 57 SECONDS EAST, 259.73 FEET; THENCE SOUTH 01 DEGREE 02 MINUTES 28 SECONDS WEST, 159.15 FEET; THENCE SOUTH 34 DEGREES 16 MINUTES 20 SECONDS WEST, 161.31 FEET TO THE POINT OF BEGINNING.

PRELIMINARY SITE DEVELOPMENT PLANS
FOR
HIGHLAND ROAD
PLANNED DEVELOPMENT
PROPOSED SELF-STORAGE FACILITY

PARCEL ID: 4708-21-300-033
HIGHLAND ROAD (M-59) (VACANT LAND)
HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

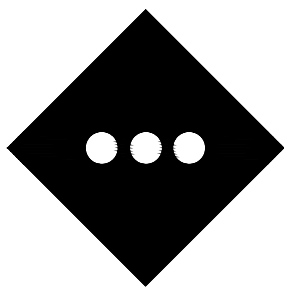


SOURCE: HARTLAND TOWNSHIP ZONING MAP

ZONING MAP

SCALE: 1" = 150'±

PLANS PREPARED BY:



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www.stonefieldeng.com

607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - BOUNDARY & TOPOGRAPHICAL SURVEY PREPARED BY FENTON LAND SURVEYING & ENGINEERING, INC. DATED 02/27/2023
 - ARCHITECTURAL PLANS PREPARED BY RON JONA AERIAL MAP OBTAINED FROM NEARMAP 09/28/2022
 - LOCATION MAP OBTAINED FROM USGS ONLINE MAPPER 03/07/2023
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

OWNER / DEVELOPER

V/L HIGHLAND ROAD
10087 HIGHLAND ROAD
HARTLAND, MI 48353
248-712-3300
JOE@ONQCRE.COM

ARCHITECT

RON JONA
248-357-3600
RJONA@RONJONA.COM

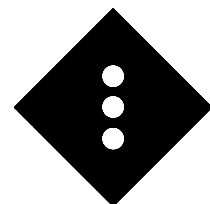
SURVEYOR

FENTON LAND SURVEYING & ENGINEERING, INC.
14165 FENTON ROAD SUITE 101A
FENTON, MI 48430
810-354-8115
INFO@FENTONLSE.COM

DATE	BY	DESCRIPTION
05/14/2023	ECM/JRC	FOR CLIENT REVIEW
0		ISSUE

NOT APPROVED FOR CONSTRUCTION

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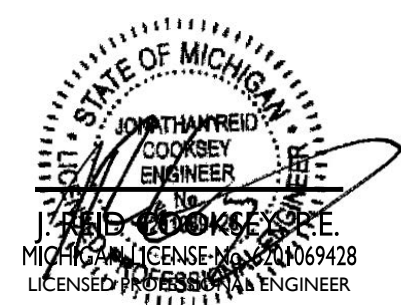


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PRELIMINARY SITE PLANS
HIGHLAND ROAD
PLANNED DEVELOPMENT
PROPOSED SELF-STORAGE FACILITY

PARCEL ID: 4708-21-300-033
HIGHLAND ROAD (M-59) (VACANT LOT)
HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN



STONEFIELD
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SCALE: AS SHOWN PROJECT ID: DET-220363

TITLE:

COVER SHEET

DRAWING:

C-1

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
SITE PLAN	C-2
GRADING PLAN	C-3
STORMWATER MANAGEMENT PLAN	C-4
UTILITY PLAN	C-5
LIGHTING PLAN	C-6
LANDSCAPING PLAN	C-7
CONSTRUCTION DETAILS	C-8 TO C-9

ADDITIONAL SHEETS

DRAWING TITLE	SHEET #
BOUNDARY & TOPOGRAPHICAL SURVEY	I OF 2

LAND USE AND ZONING			
PID: 4708-21-300-033			
EXISTING: GENERAL COMMERCIAL (GC)			
PROPOSED: PLANNED DEVELOPMENT (PD)			
PROPOSED USE			
WAREHOUSE (SELF STORAGE)	PERMITTED USE		
ZONING REQUIREMENT	REQUIRED (GC)	REQUIRED (PD)	PROPOSED
MINIMUM LOT AREA	40,000 SF	N/A	52,775 SF (1.2 AC)
MINIMUM LOT WIDTH	120 FT	N/A	180.0 FT
MAXIMUM LOT COVERAGE	75% (39,581 SF)	75% (39,581 SF) ⁽¹⁾	78% (41,284 SF) (W)
MAXIMUM BUILDING HEIGHT	35 FT (2.5 STORIES)	35 FT	35 FT (3 STORIES)
MINIMUM FRONT YARD SETBACK	50 FT	50 FT	30.0 FT (W)
MINIMUM SIDE YARD SETBACK	15 FT	20 FT	32.0 FT
MINIMUM REAR YARD SETBACK	80 FT ⁽²⁾	20 FT ⁽²⁾	41.1 FT
MINIMUM FRONT PARKING SETBACK	25 FT	25 FT	> 25.0 FT
MINIMUM SIDE/REAR PARKING SETBACK	10 FT	10 FT	10.0 FT
INTERNAL ROADWAY GREENBELT	15 FT	15 FT	30.0 FT

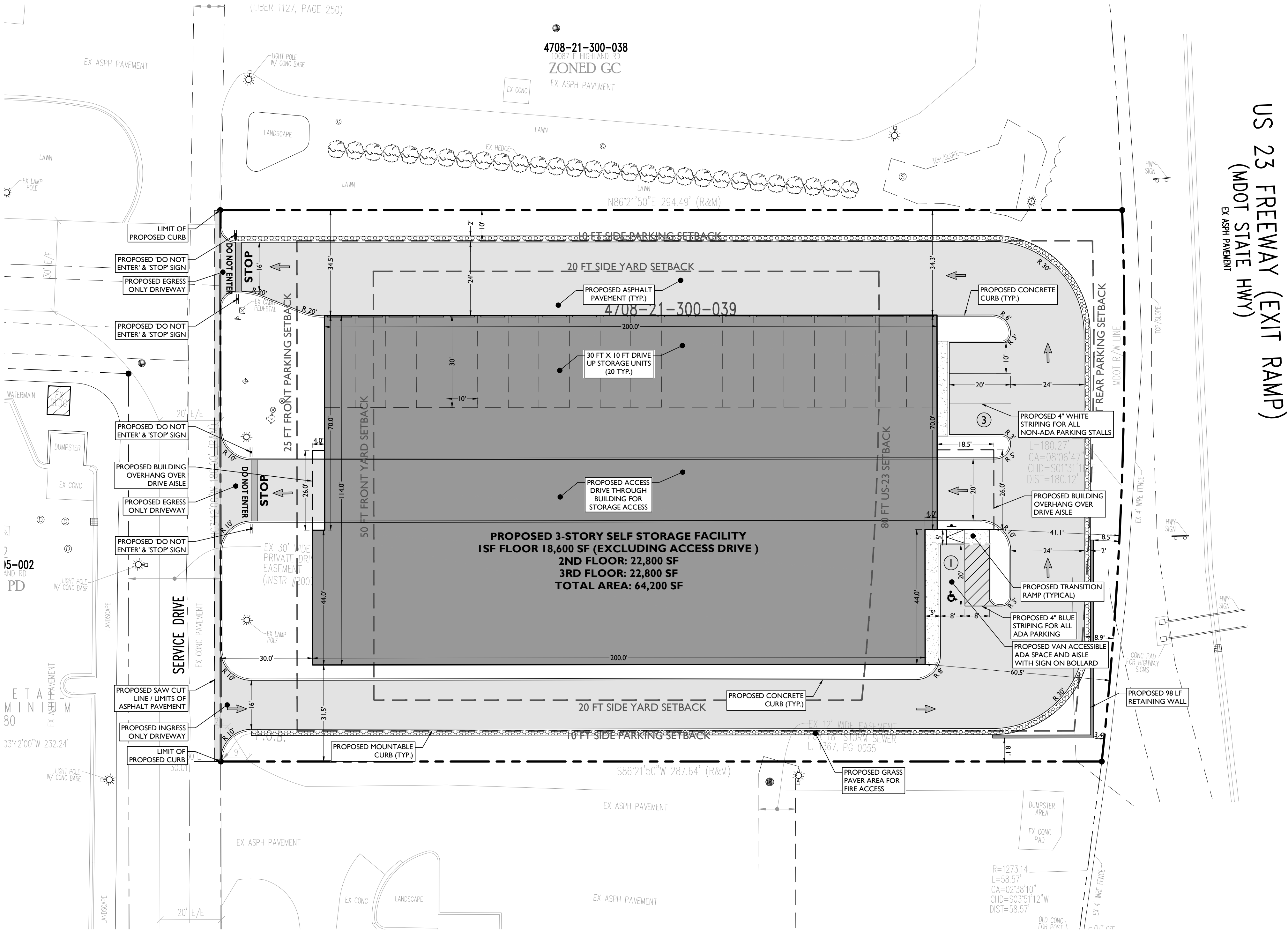
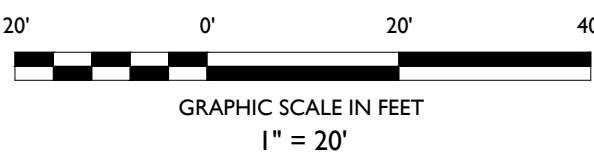
- (1) AT MINIMUM, THE PLANNED DEVELOPMENT SHALL PROVIDE OPEN SPACE CONSISTENT WITH THE PREVIOUS ZONING DESIGNATION FOR THE SITE
- (2) SETBACK FROM U.S. 23 REQUIRED TO BE 80 FT FROM R.O.W. LINE PER SECTION 3.24(5) OF THE HARTLAND ZONING ORDINANCE
- (W) WAIVER

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 5.8.4.H	WAREHOUSING: 1 SPACES PER 500 SF GROSS FLOOR AREA, PLUS 1 SPACE PER EACH 350 SF OFFICE/SALES SPACE (59,472 SF)(1 SPACE/500 SF) = 119 SPACES	4 SPACES ⁽¹⁾
§ 5.8.5.D	90° PARKING: 10 FT X 20 FT W/ 24 FT AISLE	10 FT X 20 FT W/ 24 FT AISLE

(1) SUBJECT TO DETERMINATION BY THE PLANNING COMMISSION

SYMBOL	DESCRIPTION
	PROPERTY LINE
	SETBACK LINE
	SAWCUT LINE
	PROPOSED CURB
	PROPOSED MOUNTABLE CURB
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	PROPOSED CONCRETE WALL
	PROPOSED BUILDING OVERHANG
	PROPOSED GRASS PAVER

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEViate FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



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PRELIMINARY SITE PLANS

**HIGHLAND ROAD
PLANNED DEVELOPMENT**

PROPOSED SELF-STORAGE FACILITY

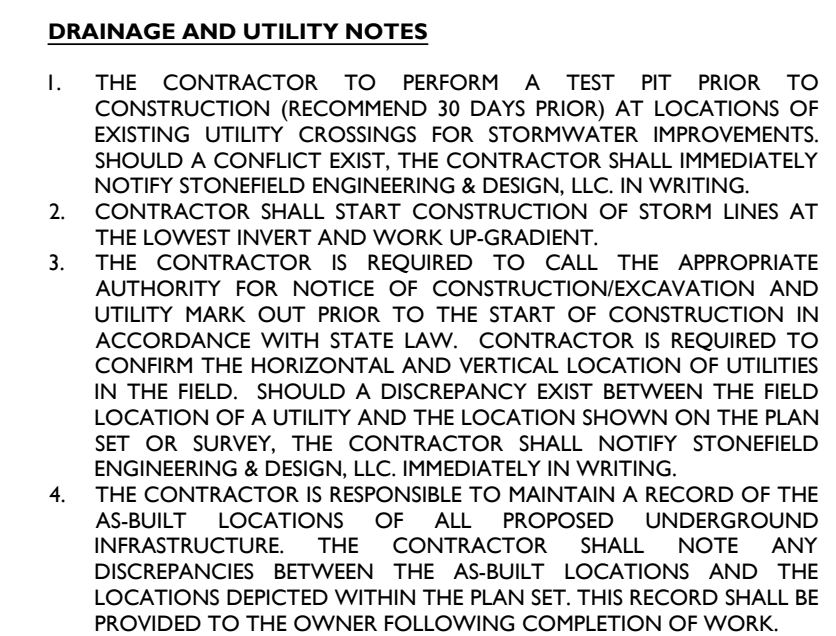
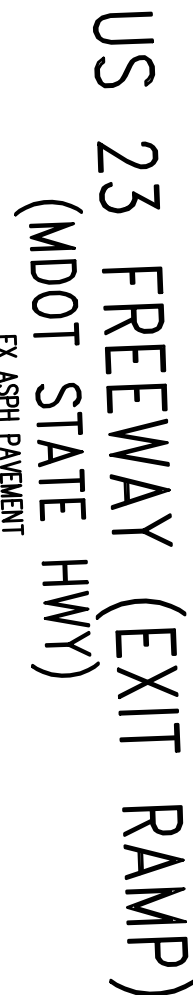
PARCEL ID: 4708-21-300-033
HIGHLAND ROAD (M-59) (VACANT LOT)
HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: DET-220343

TITLE: **SITE PLAN**

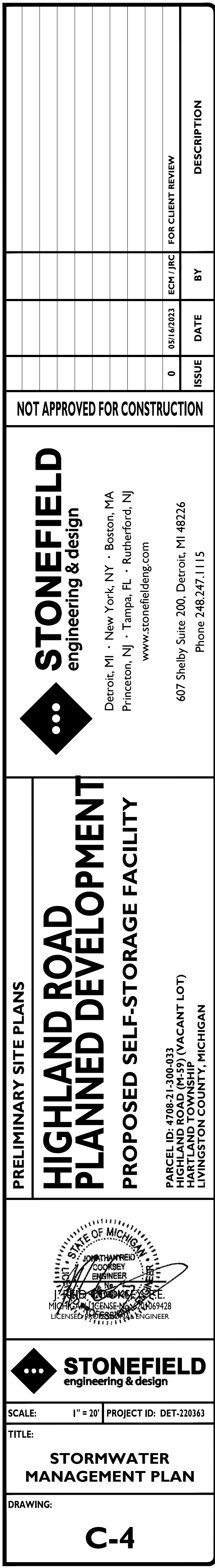
DRAWING: **C-2**

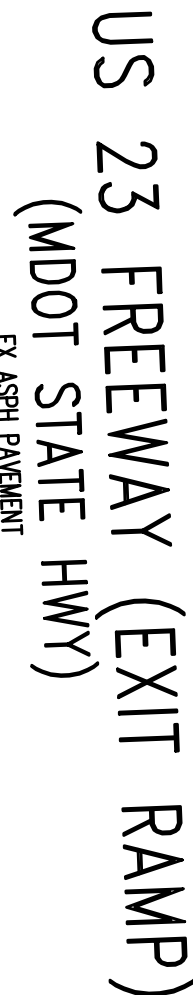


- ### **EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES**
1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE CONSIDERING A PART OF THE PLAN.
 2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER.
 3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL ENGINEER. DESIGN SHALL BE SUBMITTED TO THE STONEFIELD ENGINEERING & DESIGN, LLC AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
 4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
 5. THE CONTRACTOR IS RESPONSIBLE FOR ANY Dewatering DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN AND MAINTAIN PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

- ## STORMWATER INFILTRATION BMP CONSTRUCTION NOTES
- PRIOR TO THE START OF CONSTRUCTION, ANY AREA DESIGNATED TO BE USED FOR AN INFILTRATION BASIN (E.G., CONSTRUCTION AREA, ETC.) SHALL BE FENCED OFF AND SHALL NOT BE UTILIZED AS STORAGE FOR CONSTRUCTION EQUIPMENT OR AS A STOCKPILE AREA FOR CONSTRUCTION MATERIALS. NO ACTIVITY SHALL BE PERFORMED WITHIN THE INFILTRATION BASIN OR ANY AREA DESIGNATED TO THE CONSTRUCTION OF THE INFILTRATION BASIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL SUBCONTRACTORS OF BASIN AREA RESTRICTIONS.
2. PRIOR TO CONSTRUCTION OF THE INFILTRATION BASIN, WHERE PRACTICAL, TO AVOID SUBGRADE SOIL COMPRESSION IN THE AREAS DESIGNATED TO BE USED FOR AN INFILTRATION BMP.
 3. ALL EXCAVATION WITHIN THE LIMITS OF AN INFILTRATION BMP SHALL BE PERFORMED WITHIN THE LIMITS OF AN EXCAVATION EQUIPMENT. ALL EXCAVATION EQUIPMENT SHALL BE PLACED OUTSIDE THE LIMITS OF THE BASIN WHERE FEASIBLE. THE USE OF LIGHT-WEIGHT, RUBBER-TIRED EQUIPMENT (LESS THAN 8 PSI) APPLIED TO THE GROUND SURFACE IS RECOMMENDED WITHIN THE BASIN LIMITS.
 4. THE SEQUENCE OF SITE CONSTRUCTION SHALL BE COORDINATED WITH THE BASIN CONSTRUCTION TO ACHIEVE TO SUCCEEDING LIMITATIONS.
 5. DURING THE FINAL GRADING OF AN INFILTRATION BASIN, THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TINE OR DISC HARROW, AND THEN SMOOTHED WITH A GRADING LEVELING DRAW OR EQUIVALENT GRADING EQUIPMENT. ALL GRADING EQUIPMENT SHALL BE LOCATED OUTSIDE OF THE BASIN BOTTOM WHERE FEASIBLE.
 6. PRIOR TO CONSTRUCTION OF AN INFILTRATION BASIN, SOIL INFILTRATION TESTING BY A LICENSED GEOTECHNICAL ENGINEER IS REQUIRED TO CERTIFY COMPLIANCE WITH THE DESIGN INFILTRATION RATES IN ACCORDANCE WITH APPENDIX E OF THE TECHNICAL DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR MANAGEMENT PRACTICES MANUAL, LATEST EDITION. IF THE FIELD INFILTRATION RATES ARE LOWER THAN THE RATE USED DURING DESIGN, THE CONTRACTOR SHALL NOTIFY THE STATIONED FIELD INSPECTOR AND A LICENSED GEOTECHNICAL ENGINEER IMMEDIATELY TO DETERMINE THE APPROPRIATE COURSE OF ACTION.
 7. THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TO DETERMINE THE FITNESS TESTING IS REQUIRED DURING INFILTRATION BASIN EXCAVATION AND GRADING. INFILTRATION TESTING SHALL BE

- STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES**
1. THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
 2. UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%.
 3. NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.





DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO MARK THE HORIZONTAL LOCATION OF ALL UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, INC. IMMEDIATELY.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS REQUIRED TO PROTECT ALL UTILITIES ADJACENT TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
 - A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED FOR ANY SANITARY SEWER AND ANY WATER LINES IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AND PROTECTED BY STONEFIELD ENGINEERING & DESIGN, INC.
 - ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE WATER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, INC.
4. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (MINIMUM 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS. WATER AND SANITARY SEWER CONSTRUCTION IMPROVEMENTS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, INC.
5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
6. THE CONTRACTOR SHALL STOP CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT.
7. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF FIELD ACTING PHOTOGRAPHS OF ALL EXISTING UTILITIES THAT HAVE BEEN CAPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES PERFORMED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
8. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

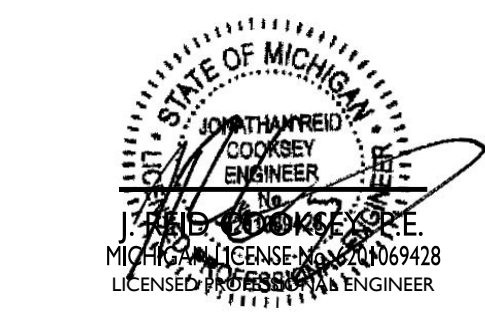
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2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS REQUIRED TO PROTECT ALL UTILITIES ADJACENT TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
 - A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED FOR ANY SANITARY SEWER AND ANY WATER LINES IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AND PROTECTED BY STONEFIELD ENGINEERING & DESIGN, INC.
 - ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE WATER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, INC.
4. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (MINIMUM 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS. WATER AND SANITARY SEWER CONSTRUCTION IMPROVEMENTS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, INC.
5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
6. THE CONTRACTOR SHALL STOP CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT.
7. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF FIELD LOCATING DATA FOR ALL UTILITIES. IF ANY UTILITIES HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES PERFORMED IN THIS PLAN SET, THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
8. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

PRELIMINARY SITE PLANS

HIGHLAND ROAD PLANNED DEVELOPMENT PROPOSED SELF-STORAGE FACILITY

PARCEL ID: 4708-21-300-033
HIGHLAND ROAD (M-59) (VACANT LOT)
HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN



SCALE:	1" = 20'	PROJECT ID: DET-220363
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TITLE:

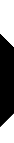
UTILITY PLAN

DRAWING:

C-5

[illegible]

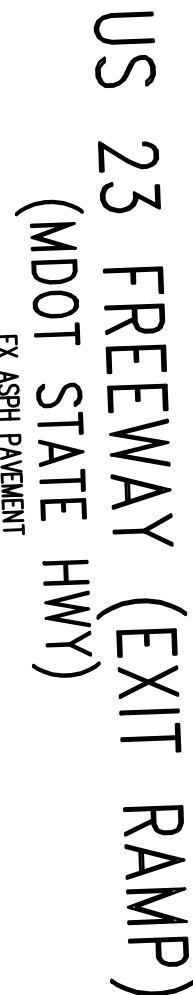
NOT APPROVED FOR CONSTRUCTION



STONEFIELD
engineering & design

Detroit, MI • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Rutherford, NJ
www.stonefieldeng.com

607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

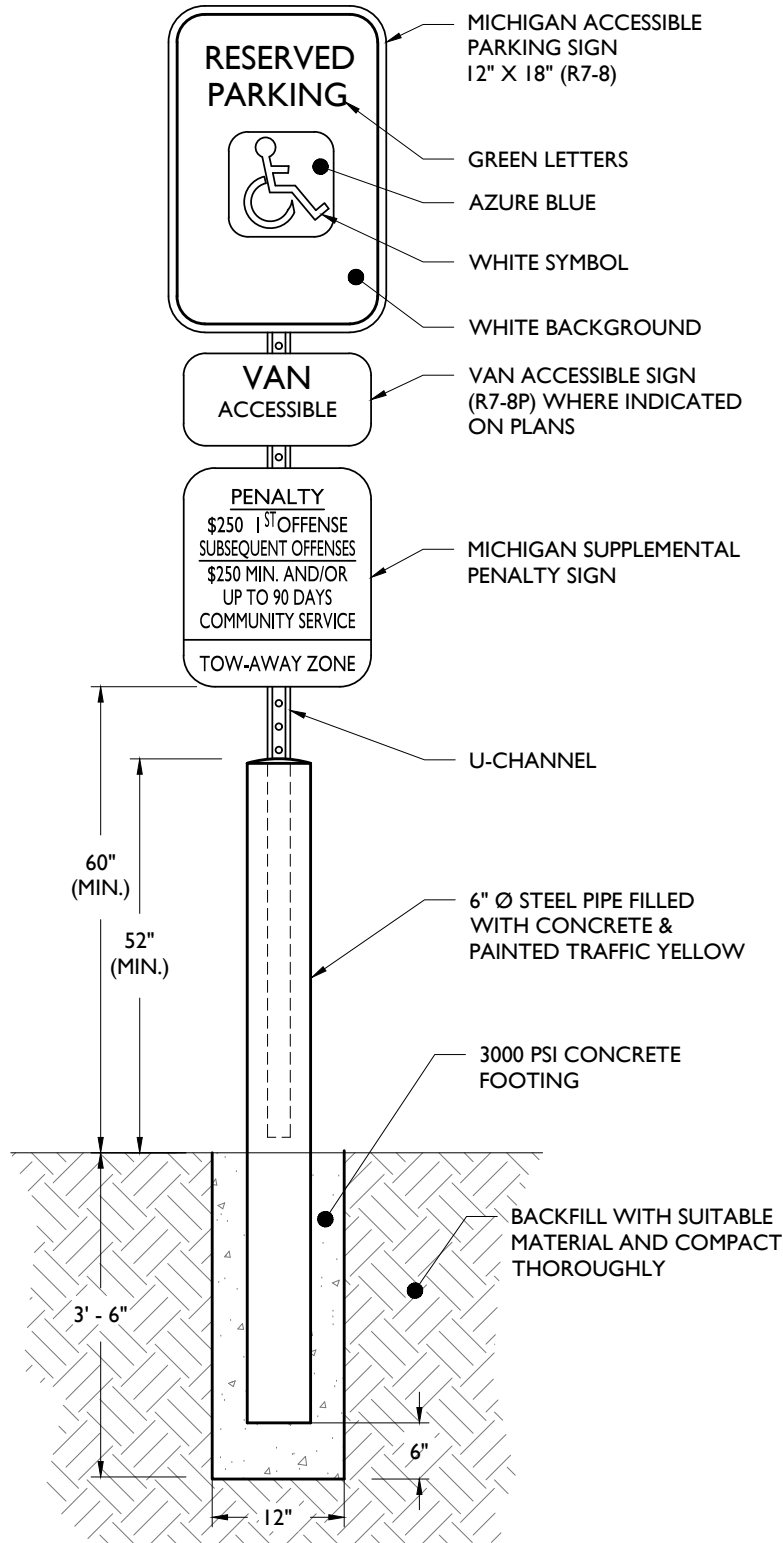


20' 0' 20' 40'

GRAPHIC SCALE IN FEET

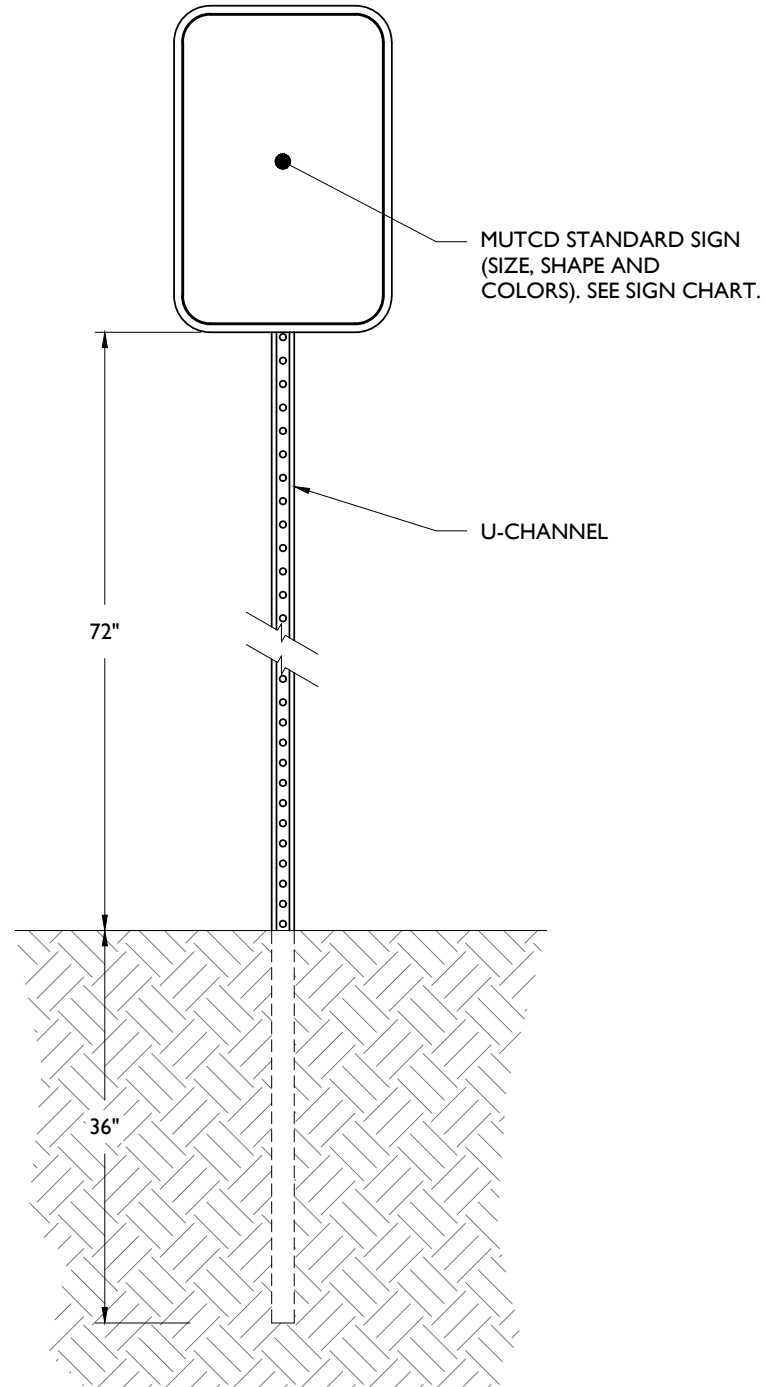
1" = 20'

C-6



ACCESSIBLE PARKING SIGN WITH BOLLARD DETAIL

NOT TO SCALE



SIGN POST DETAIL

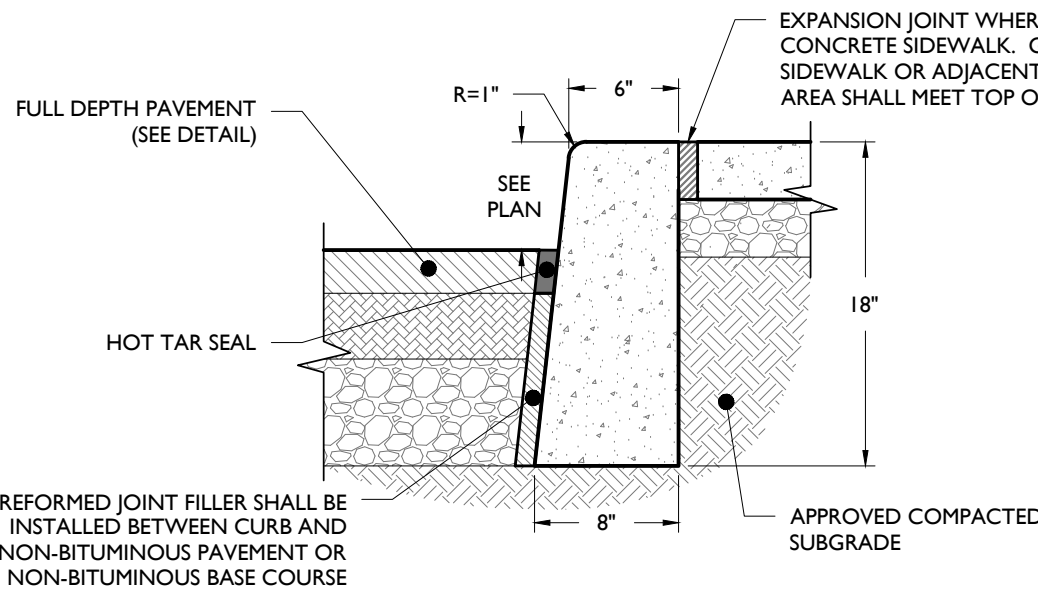
NOT TO SCALE

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)	STOP	WHITE	RED	36"x36"	GROUND
DO NOT ENTER (R5-1)	DO NOT ENTER	RED	WHITE	30"x30"	GROUND

NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE

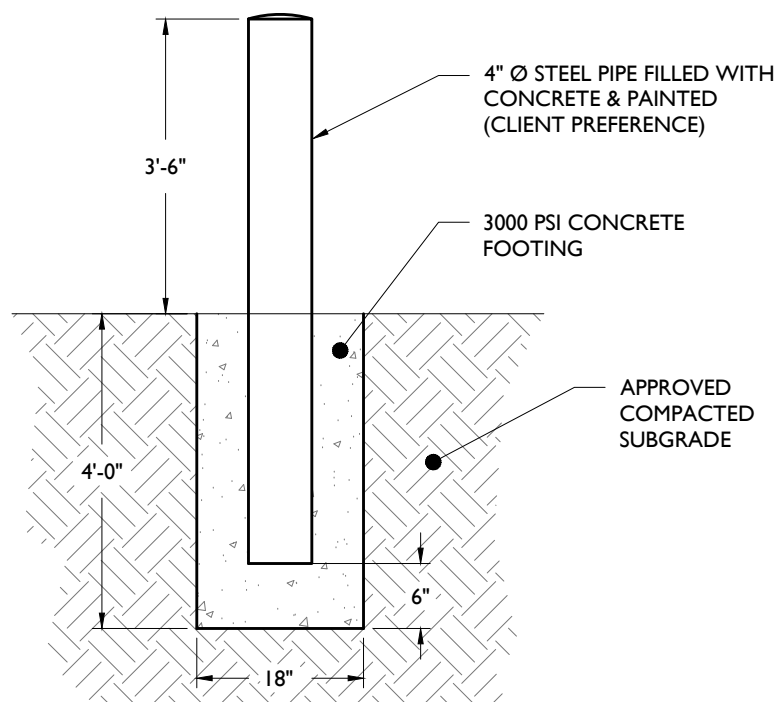
NOT TO SCALE



CONCRETE CURB DETAIL

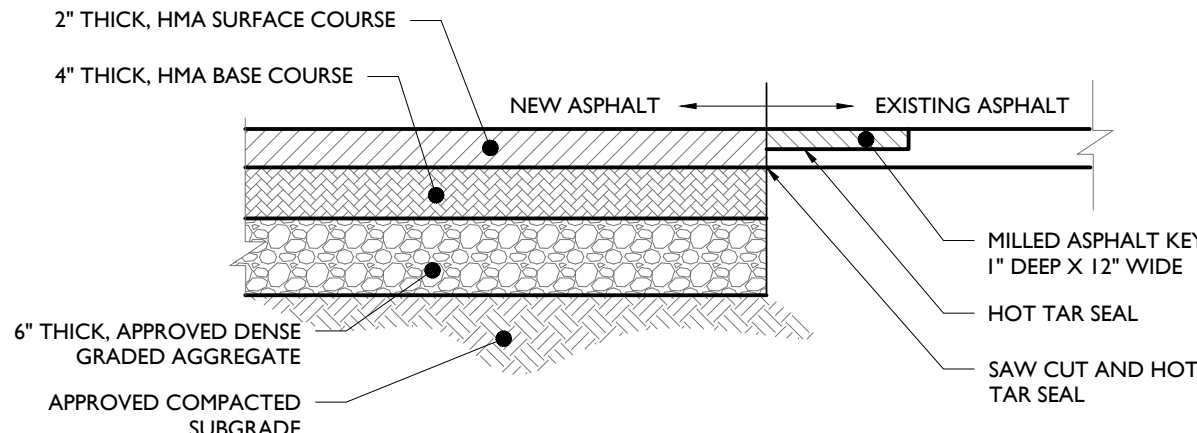
NOT TO SCALE

NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.



BOLLARD DETAIL

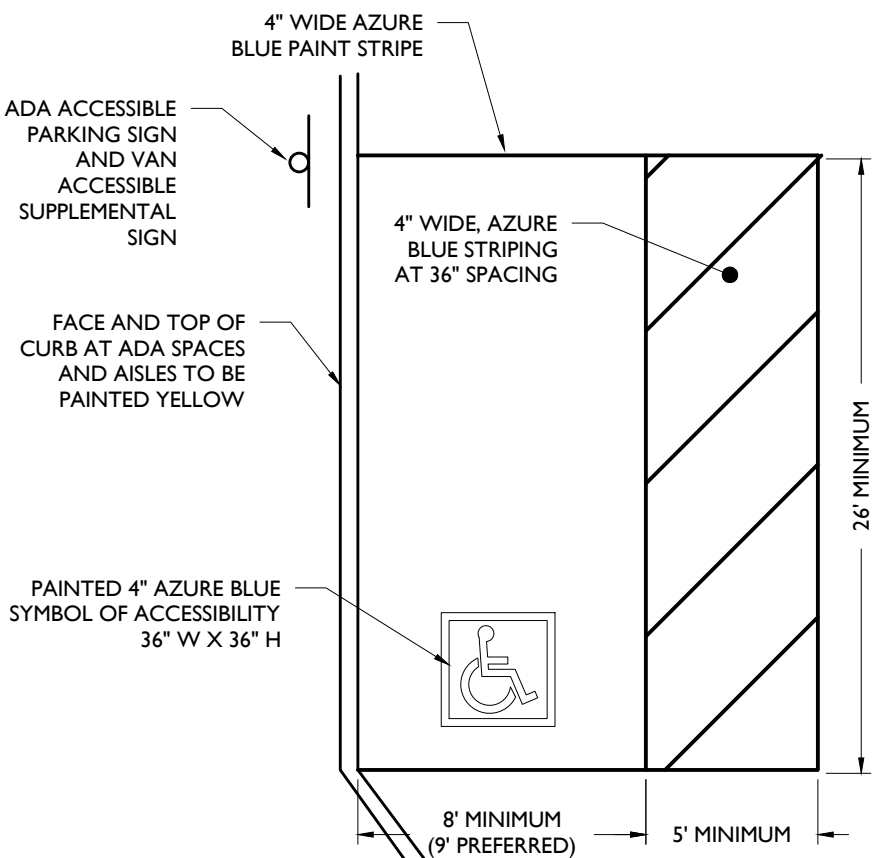
NOT TO SCALE



FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

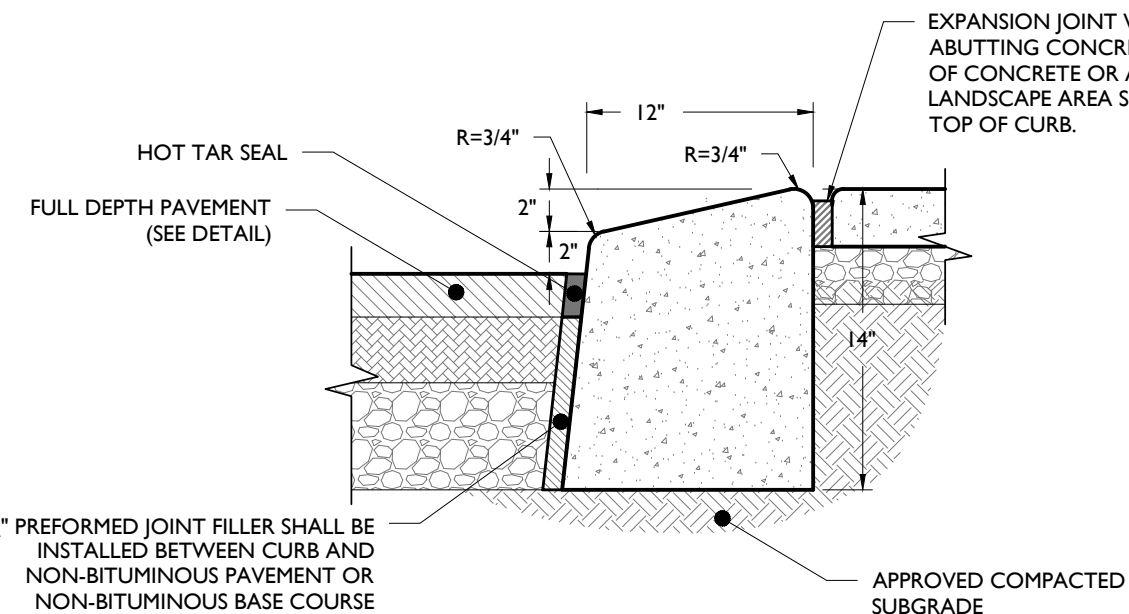
NOTE:
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.



ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

NOTES:
1. SEE SITE PLAN FOR EXACT SIGN LOCATIONS.
2. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.



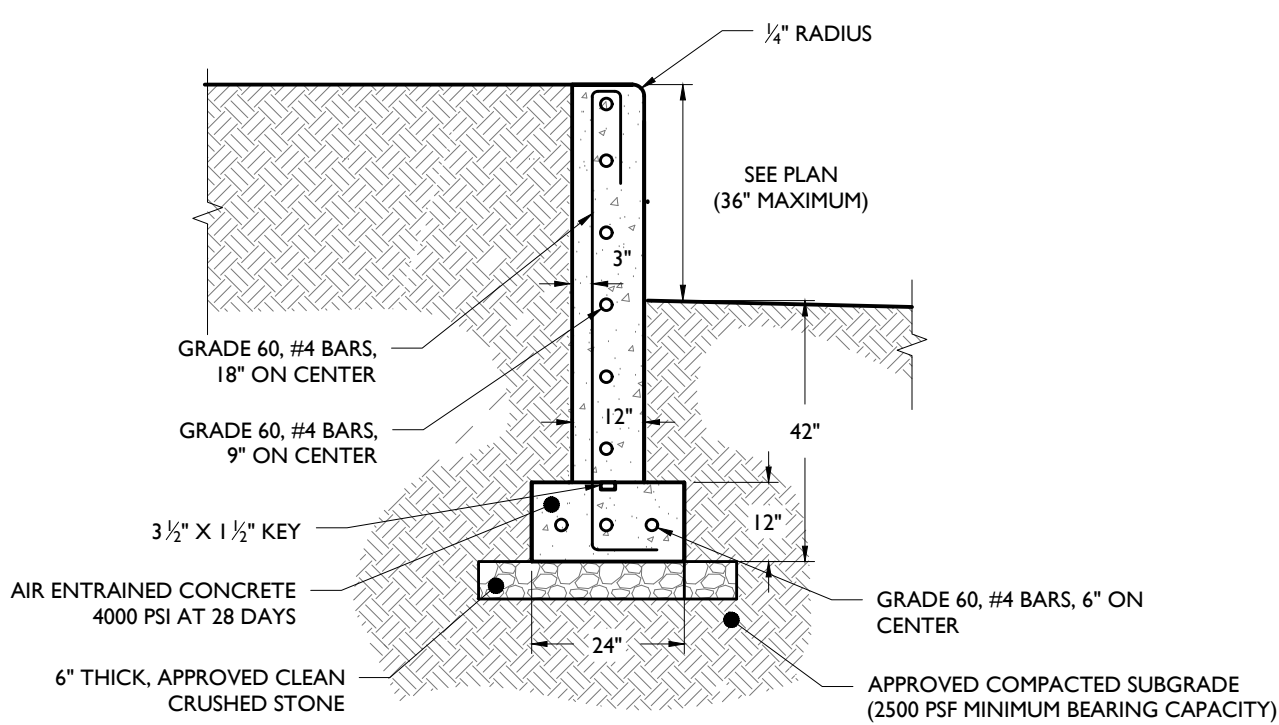
MOUNTABLE CONCRETE CURB DETAIL

NOT TO SCALE

NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

PAVEMENT STRIPING & MARKINGS NOTES:

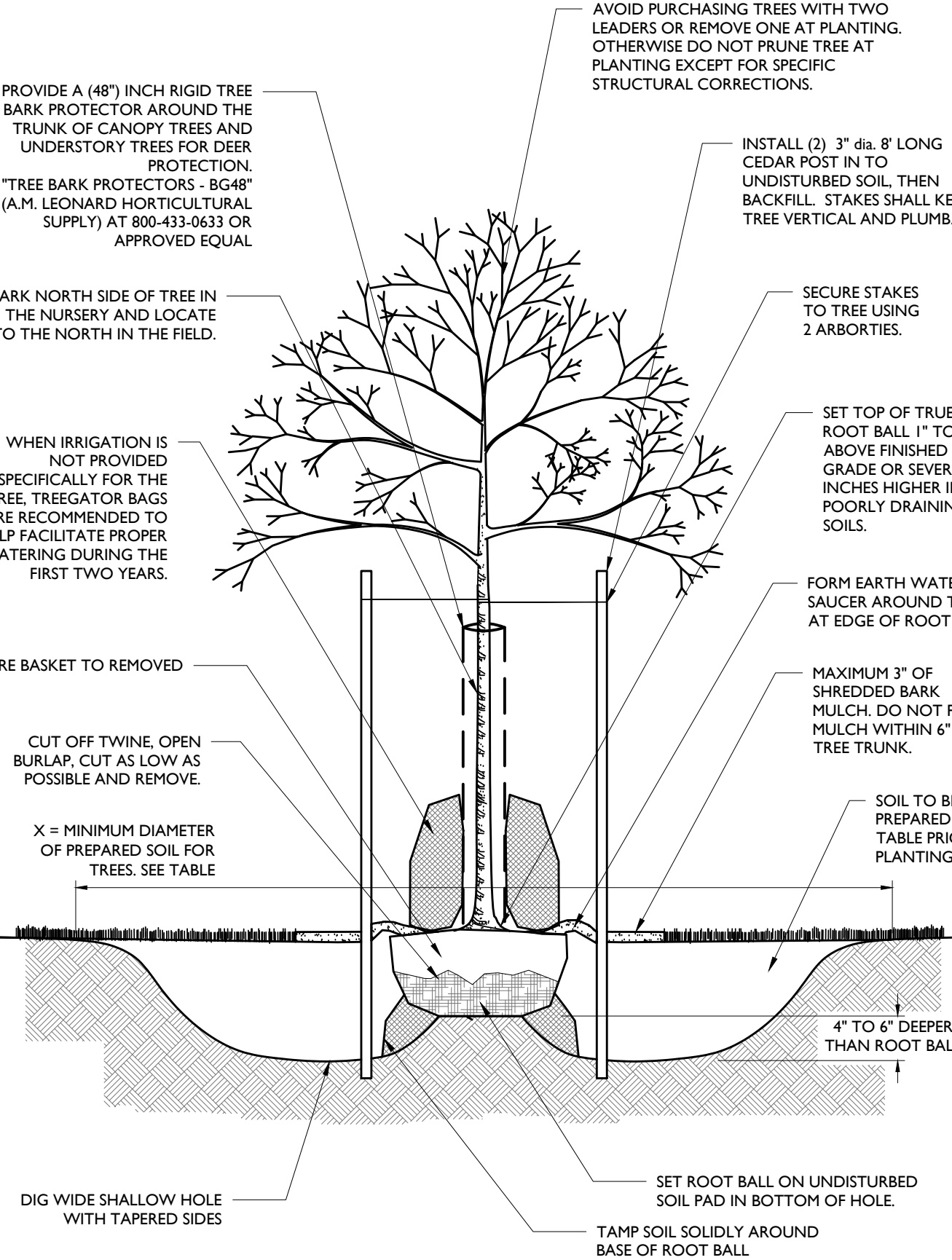
1. ALL SIGNING AND STRIPING IN EXISTING CONDITION IN CONFLICT WITH THE PROPOSED DESIGN PLAN SHALL BE REMOVED.
2. ALL PROPOSED SIGNING AND STRIPING SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
3. PAVEMENT STRIPING AND MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS.
4. UNLESS OTHERWISE SPECIFIED, ALL STRIPING AND MARKINGS IN THE PUBLIC RIGHT-OF-WAY SHALL BE OF THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.
5. UNLESS OTHERWISE SPECIFIED, ON SITE PARKING STALL STRIPING, FIRE LANE STRIPING AND DIRECTIONAL ARROWS SHALL BE EPOXY PAINT. ON SITE STOP BARS, "DO NOT ENTER" BARS, AND ASSOCIATED LETTERING SHALL BE THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.



CONCRETE WALL DETAIL

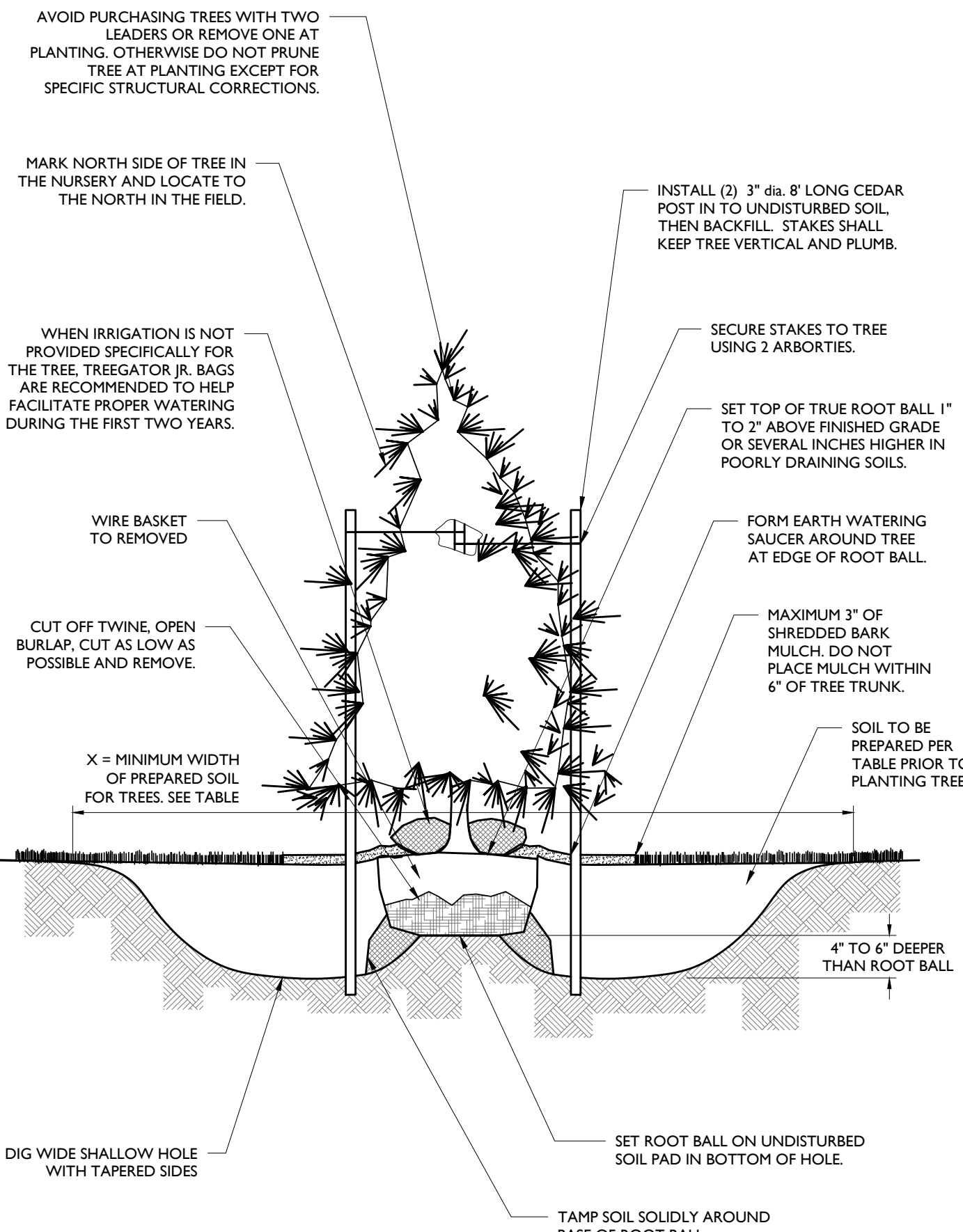
NOT TO SCALE

NOTES:
1. CONTRACTOR SHALL ENSURE 3" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO EARTH AND 2" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO WEATHER (SURFACE). NOSING REBAR TO BE EMBEDDED 1 1/2".
2. BACKFILL TO BE SUITABLE MATERIAL COMPACTED TO 95% OF MAXIMUM DENSITY IN 6" TO 8" LIFTS.



DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



CONIFEROUS TREE PLANTING DETAIL

NOT TO SCALE

VERTICAL TEXT: 22093-000 COMMERCIAL REAL ESTATE (089) HIGHLAND ROAD, HARTLAND, MICHIGAN 49030-1000 DEVELOPMENT/STORAGE/DEVELOPMENT

STONEFIELD engineering & design

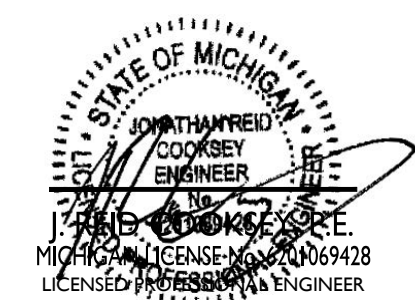
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www.stonefieldeng.com

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Phone 248.247.1115

PRELIMINARY SITE PLANS
HIGHLAND ROAD
PLANNED DEVELOPMENT
PROPOSED SELF-STORAGE FACILITY

PARCEL ID: 4708-21-300-033
HIGHLAND ROAD (M-59) (VACANT LOT)
HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN



STONEFIELD engineering & design

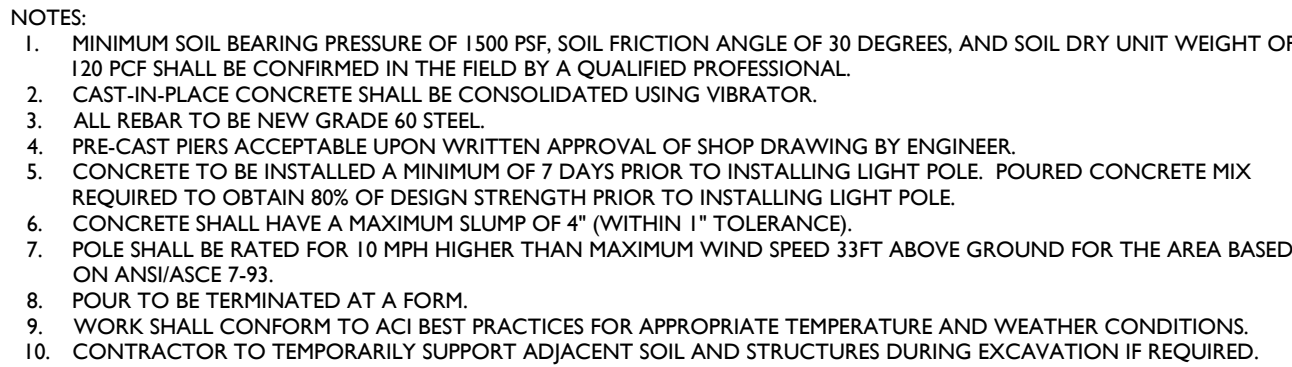
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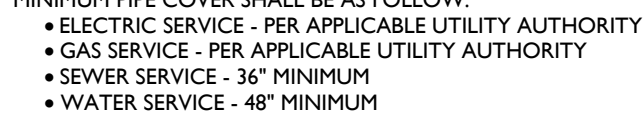
CONSTRUCTION DETAILS

DRAWING:

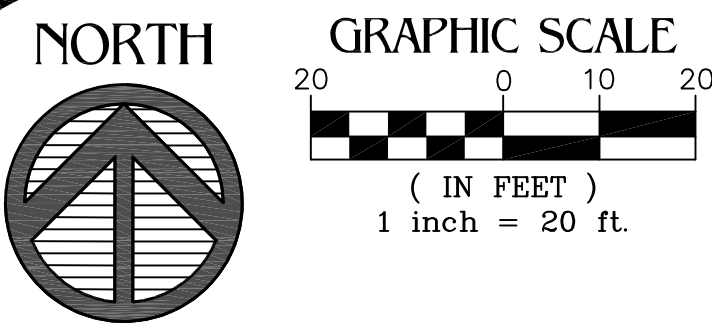
C-8



2



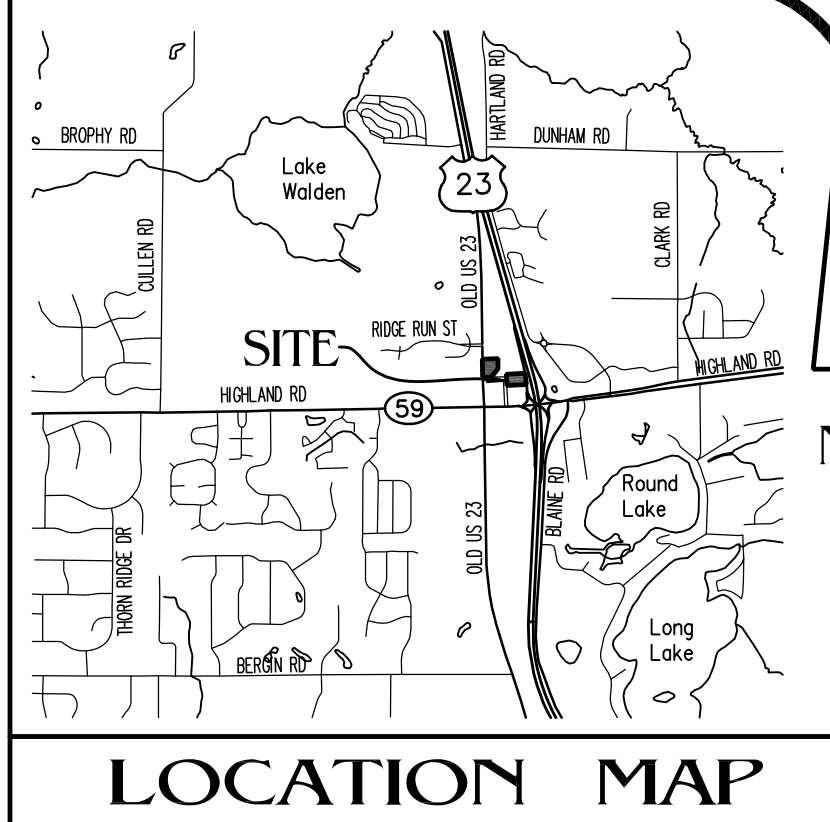
3



BENCHMARK NO. 2
ARROW ON TOP OF HYDRANT, LOCATED
NEAR WEST PROPERTY LINE, AS
SHOWN
ELEVATION=979.74 (NAVD88)

**BOUNDARY & TOPOGRAPHICAL SURVEY FOR:
VACANT LAND HIGHLAND ROAD**
PART OF THE SOUTHWEST 1/4, SECTION 21,
T3N-R6E, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

LEGEND	
	SET IRON #55012
	FOUND IRON
	SECTION CORNER
	EX UTILITY POLE W/GUY WIRE
	EX LIGHT POLE
	EX LAMP POLE
	EX OVERHEAD POWERLINES
	EX UTILITY PEDISTAL
	EX ROAD SIGN
	EX STORM MANHOLE/CATCHBASIN
	EX STORM SEWER
	EX SANITARY MANHOLE
	EX SANITARY SEWER
	EX FIRE HYDRANT
	EX WATER MANHOLE
	EX GATE VALVE
	EX GASMAIN
	EX GASMAIN MARKER
	EX GAS/ELEC METER
	EX TREE LINE
	EX CHAIN LINK FENCE
	EX WOOD FENCE
	EX CENTERLINE DITCH
	EX TOP OF BANK
	TOE OF BANK/SLOPE
	EX SURFACE ELEVATION
	EX SURFACE CONTOUR
	(M) MEASURED
	(R) RECORDED
	(C) CALCULATED
	RIGHT OF WAY
	CONC CONCRETE
	ASPH ASPHALT
	EX EXISTING
	E/E EDGE TO EDGE
	V/L VACANT LAND
	EX BUILDING AREA
	EX ASPH AREAS
	EX CONC AREAS



PROPERTY DESCRIPTION

PARCEL NUMBER 4708-21-300-039, V/L HIGHLAND ROAD
QUIT CLAIM DEED, BOOK 2014R-022364, DATED 08-11-2014
THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE TOWNSHIP OF HARTLAND, COUNTY OF LIVINGSTON, AND STATE OF MICHIGAN, TO-WIT:
LAND IN THE SW 1/4 SECTION 21, T3N,R6E., HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT, DISTANT S89°02'00"W, 883.73 FEET AND N03°42'00"W, 126.89 FEET AND N03°42'00"W, 232.24 FEET AND N86°21'50"E, 30.01 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 21; THENCE N03°42'00"W, 180.00 FEET; THENCE N86°21'50"E, 294.49 FEET; THENCE 180.27 FEET ALONG THE ARC OF A CURVE TO THE RIGHT ALONG HIGHWAY US-23, HAVING A RADIUS OF 1273.14 FEET, CENTRAL ANGLE OF 08°06'47" AND A CHORD BEARING AND DISTANCE OF S01°31'16"E, 180.12 FEET; THENCE S86°21'50"W, 287.64 FEET TO THE POINT OF BEGINNING, CONTAINING 1.21 ACRES.

EXISTING ZONING INFORMATION:

ACCORDING TO THE CURRENT HARTLAND TOWNSHIP ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED GC (GENERAL COMMERCIAL DISTRICT), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:

- 1) MINIMUM LOT AREA = WITHOUT SEWER = 40,000 SF, WITH SEWER = 20,000 SF
- 2) MINIMUM LOT WIDTH = 120 FEET
- 3) FRONT SETBACK = 50 FEET
- 4) SIDE SETBACK = 15 FEET
- 5) REAR SETBACK = WITHOUT SEWER = 0 FEET, WITH SEWER 40 FEET
- 6) MAXIMUM BUILDING HEIGHT = 35 FEET (2.5 STORIES)
- 7) MAXIMUM LOT COVERAGE (PRINCIPLE STRUCTURE) = 75 PERCENT

FLOOD PLAIN NOTE:

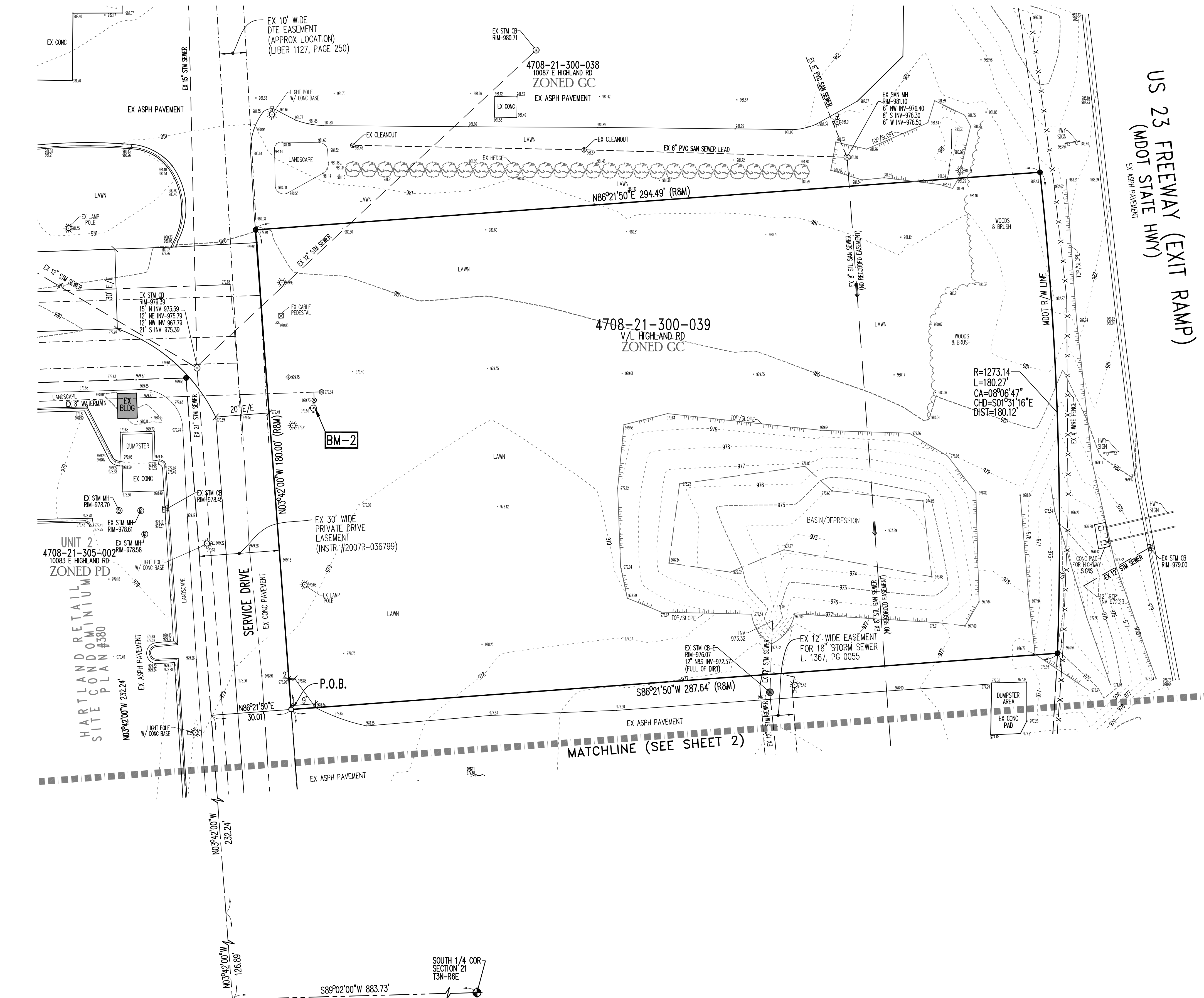
THIS PROPERTY IS IN ZONE "X" (AREAS OF MINIMAL FLOODING) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 26093C0219D WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 17, 2008, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR NOTES:

1. DATE OF LAST FIELD WORK: NOVEMBER 28, 2022.
2. THE BEARINGS ARE RELATIVE TO THE DESCRIPTION, AS PROVIDED BY CLIENT.
3. THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
4. REFERENCED SURVEY BY BOSS ENGINEERING, JOB NO 88593-B, DATED 09-26-89 AND A SURVEY BY MASON BROWNS ASSOCIATES, LLC, JOB NO 13-018A.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS, IF AVAILABLE. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

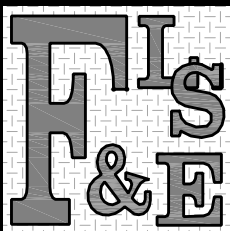


ELSE JOBS 22-348/HARTLAND TWP/V/L OLD US 23/END-TOPO.DWG

SCALE: 1"=20'
JOB NO. 22-348

PREPARED FOR:
HARTLAND HOSPITALITY INV II LLC
C/O ZUHER AND JOSEPH QONJA
10087 HIGHLAND ROAD
HARTLAND, MI 48353

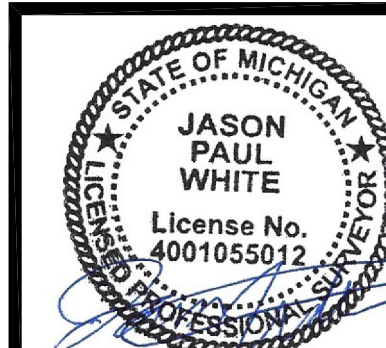
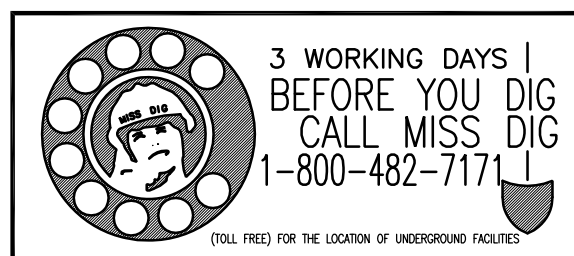
PART OF THE SOUTHWEST 1/4,
SECTION 21, T3N-R6E
HARTLAND TWP, LIVINGSTON CO, MI



Fenton Land Surveying & Engineering, Inc
14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430
PHONE: 810.354.8115 EMAIL: INFO@FENTONLSE.COM

BOUNDARY & TOPOGRAPHICAL SURVEY FOR:
VACANT LAND HIGHLAND ROAD
HARTLAND, MI 48353

REVISIONS	DRN. BY:	D.S.S.	11.30.2022	SHEET NO:
02.07.2023	DSN BY:	J.R.B.	"	1 of 2
	CHK'D BY:	J.P.W.	"	
	APPR BY:	J.P.W.	"	



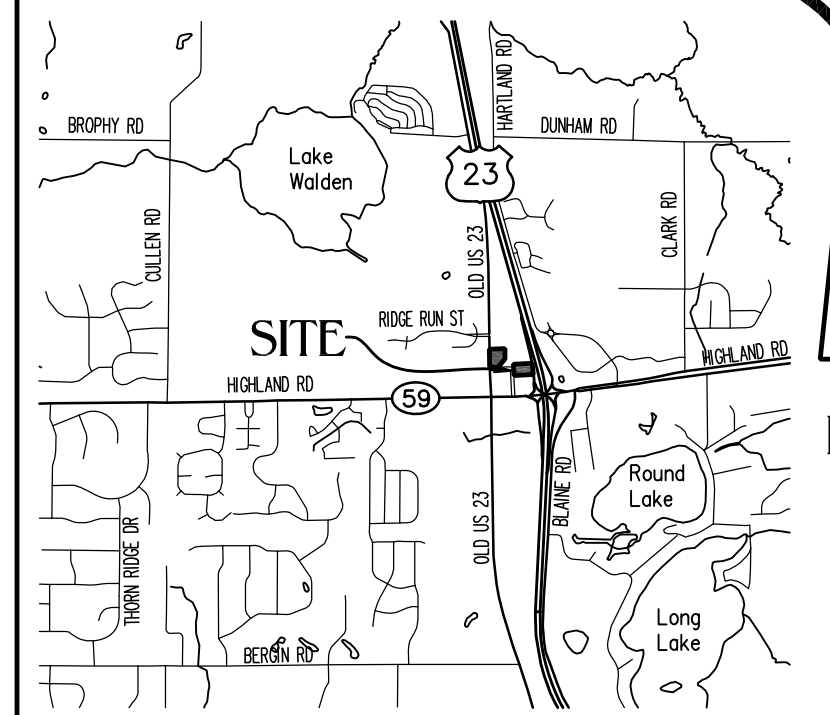


GRAPHIC SCALE
20 0 10 20
(IN FEET)
1 inch = 20 ft.

BENCHMARK NO. 2
ARROW ON TOP OF HYDRANT, LOCATED
NEAR WEST PROPERTY LINE, AS
SHOWN
ELEVATION=979.74 (NAVD88)

**BOUNDARY & TOPOGRAPHICAL SURVEY FOR:
VACANT LAND HIGHLAND ROAD**
PART OF THE SOUTHWEST 1/4, SECTION 21,
T3N-R6E, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

L E G E N D	
	SET IRON #55012
	FOUND IRON
	SECTION CORNER
	EX UTILITY POLE W/GUY WIRE
	EX LIGHT POLE
	EX LAMP POLE
	EX OVERHEAD POWERLINES
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	EX FIRE HYDRANT
	EX WATER MANHOLE
	EX GATE VALVE
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	EX TREE LINE
	EX CHAIN LINK FENCE
	EX WOOD FENCE
	EX CENTERLINE DITCH
	EX TOP OF BANK
	TOE OF BANK/SLOPE
	EX SURFACE ELEVATION
	EX SURFACE CONTOUR
	(M) MEASURED
	(R) RECORDED
	(C) CALCULATED
	R/W RIGHT OF WAY
	CONC CONCRETE
	ASPH ASPHALT
	EX EXISTING
	E/E EDGE TO EDGE
	V/L VACANT LAND
	EX BUILDING AREA
	EX ASPH AREAS
	EX CONC AREAS



LOCATION MAP

PROPERTY DESCRIPTION

PARCEL NUMBER 4708-21-300-039, V/L HIGHLAND ROAD
QUIT CLAIM DEED, BOOK 2014R-022364, DATED 08-11-2014
THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE TOWNSHIP OF HARTLAND, COUNTY OF LIVINGSTON, AND STATE OF MICHIGAN, TO-WIT:
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FLOOD PLAIN NOTE:

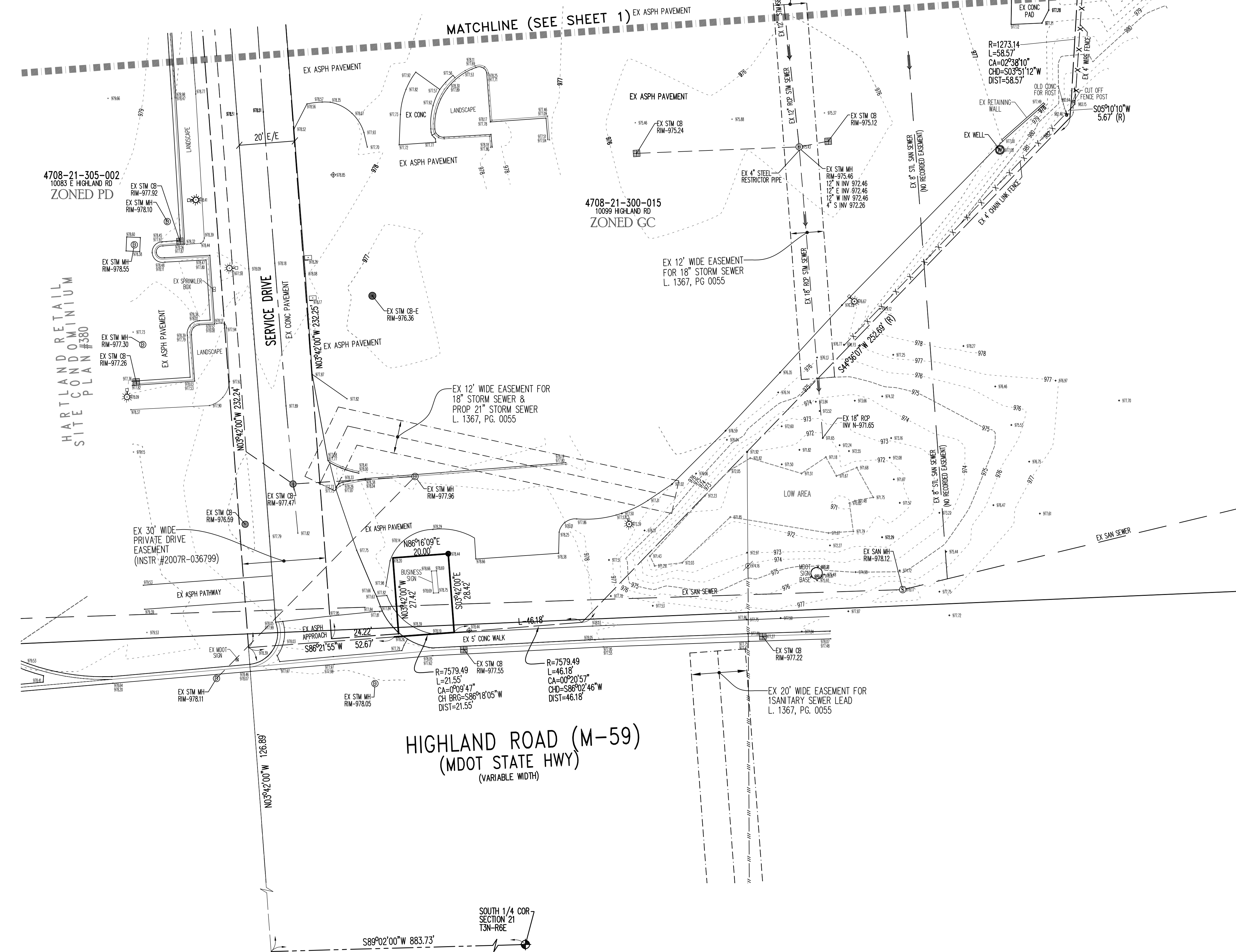
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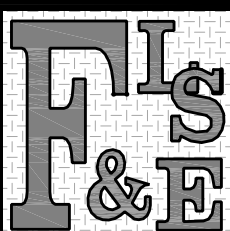


FILE: JOBS/22-348/HARTLAND TWP/V/L OLD US 23/END-TOPO.DWG

SCALE: 1"=20'
JOB NO. 22-348

PREPARED FOR:
HARTLAND HOSPITALITY INV II LLC
C/O ZUHER AND JOSEPH QONJA
10087 HIGHLAND ROAD
HARTLAND, MI 48353

PART OF THE SOUTHWEST 1/4,
SECTION 21, T3N-R6E
HARTLAND TWP, LIVINGSTON CO, MI



Fenton Land Surveying & Engineering, Inc
14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430
PHONE: 810.354.8115 EMAIL: INFO@FENTONLS.COM

BOUNDARY & TOPOGRAPHICAL SURVEY FOR:
VACANT LAND HIGHLAND ROAD
HARTLAND, MI 48353

REVISIONS	DRN. BY:	D.S.S.	11.30.2022	SHEET NO:
02.22.2023	DSN BY:	J.R.B.	"	2 of 2
	CHK'D BY:	J.P.W.	"	
	APPR BY:	J.P.W.	"	

