



Board of Trustees

William J. Fountain, Supervisor	Matthew J. Germane, Trustee
Larry N. Ciofu, Clerk	Summer L. McMullen, Trustee
Kathleen A. Horning, Treasurer	Denise M. O'Connell, Trustee
	Joseph M. Petrucci, Trustee

Board of Trustees Regular Meeting Agenda Hartland Township Hall Tuesday, April 20, 2021 7:00 PM

1. Call to Order
 2. Pledge of Allegiance
 3. Roll Call
 4. Approval of the Agenda
 5. Call to the Public
 6. Approval of the Consent Agenda
 - [a.](#) Approve Post Audit of Disbursements Between Board Meetings
 - [b.](#) Approve Payment of Bills
 - [c.](#) 04-06-2021 Hartland Township Regular Board Meeting Minutes
 - [d.](#) 04-06-2021 Hartland Township Board Closed Session Meeting Minutes
 7. Pending & New Business
 - [a.](#) Hartland Enrichment and Recreation Organization (H.E.R.O.) Presentation
 - [b.](#) Resolution Honoring Jessica Witkowski for receiving Eagle Scout Award
 - [c.](#) Special Land Use Application #21-003 (Hungry Howie's)
 - [d.](#) 2021 Pavement Preservation Project
 - [e.](#) 2021-2023 M-59 Median Maintenance Agreement
 - [f.](#) 2021 Chloride Purchase
 - [g.](#) Water Tower Cleaning
 - [h.](#) M-59 Pathway Project
 8. Board Reports
- [BRIEF RECESS]
9. Information / Discussion
 - a. Manager's Report
 - [b.](#) Watermain extension project update
 - [c.](#) To consider the six-month evaluation of the Township Manager, at his request
 10. Adjournment

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Susan Case, Finance Clerk

Subject: Approve Post Audit of Disbursements Between Board Meetings

Date: April 13, 2021

Recommended Action

Move to approve the presented disbursements under the post-audit resolution.

Discussion

The following disbursements have been made since the last board meeting:

Accounts Payable – \$10,460.83

April 15, 2021 Payroll - \$70,991.37

Financial Impact

Is a Budget Amendment Required? ☐ Yes ☒ No

All expenses are covered under the amended FY21 budget and adopted FY22 budget.

Attachments

Post Audit Bills List 04.01.2021

Post Audit Bills List 04.06.2021

Payroll for 04.15.2021

Check Date	Bank	Check #	Payee	Description	GL #	Amount
04/01/2021	FOA	41091	AT&T	TELEPHONE	101-265-851.000	258.78
04/01/2021	FOA	41092	MUTUAL OF OMAHA	ACCRUED STD/LTD BENEFITS	001-000-257.103	135.71
		41092		EMPLOYMENT EXPENSE	101-192-716.000	91.59
		41092		EMPLOYMENT EXPENSE	101-209-716.000	92.86
		41092		EMPLOYMENT EXPENSE	101-215-716.000	60.77
		41092		EMPLOYMENT EXPENSE	101-253-716.000	66.99
		41092		EMPLOYMENT EXPENSE	101-400-716.000	109.04
		41092		EMPLOYMENT EXPENSE	101-441-716.000	41.36
		41092		EMPLOYMENT EXPENSE	536-000-716.000	80.22
						<hr/> 678.54
04/01/2021	FOA	41093	PRINCIPAL LIFE INSURANCE COMPANY	ACCRUED DENTAL BENEFITS	001-000-257.101	131.48
		41093		ACCRUED VISION BENEFITS	001-000-257.102	50.15
		41093		EMPLOYMENT EXPENSE	101-192-716.000	80.72
		41093		EMPLOYMENT EXPENSE	101-209-716.000	78.06
		41093		EMPLOYMENT EXPENSE	101-215-716.000	129.27
		41093		EMPLOYMENT EXPENSE	101-253-716.000	156.12
		41093		EMPLOYMENT EXPENSE	101-400-716.000	109.00
		41093		EMPLOYMENT EXPENSE	101-441-716.000	133.07
		41093		EMPLOYMENT EXPENSE	536-000-716.000	40.36
						<hr/> 908.23
04/01/2021	FOA	41094	PRIORITY HEALTH	ACCRUED MEDICAL BENEFITS	001-000-257.100	1,602.85
		41094		EMPLOYMENT EXPENSE	101-192-716.000	1,055.38
		41094		EMPLOYMENT EXPENSE	101-209-716.000	1,160.93
		41094		EMPLOYMENT EXPENSE	101-215-716.000	1,688.62
		41094		EMPLOYMENT EXPENSE	101-253-716.000	527.69
		41094		EMPLOYMENT EXPENSE	101-441-716.000	1,451.17
		41094		EMPLOYMENT EXPENSE	536-000-716.000	527.69
						<hr/> 8,014.33
TOTAL - ALL FUNDS				TOTAL OF 4 CHECKS		9,859.88

--- GL TOTALS ---

001-000-257.100	ACCRUED MEDICAL BENEFITS	1,602.85
001-000-257.101	ACCRUED DENTAL BENEFITS	131.48
001-000-257.102	ACCRUED VISION BENEFITS	50.15
001-000-257.103	ACCRUED STD/LTD BENEFITS	135.71
101-192-716.000	EMPLOYMENT EXPENSE	1,227.69
101-209-716.000	EMPLOYMENT EXPENSE	1,331.85
101-215-716.000	EMPLOYMENT EXPENSE	1,878.66
101-253-716.000	EMPLOYMENT EXPENSE	750.80
101-265-851.000	TELEPHONE	258.78
101-400-716.000	EMPLOYMENT EXPENSE	218.04
101-441-716.000	EMPLOYMENT EXPENSE	1,625.60
536-000-716.000	EMPLOYMENT EXPENSE	648.27
	TOTAL	9,859.88

Check Date	Bank	Check #	Payee	Description	GL #	Amount
04/06/2021	FOA	41122	POSTMASTER	SUPPLIES/POSTAGE	536-000-727.000	300.48
		41122		SUPPLIES & POSTAGE	590-000-727.000	300.47
						<hr/> 600.95
TOTAL - ALL FUNDS				TOTAL OF 1 CHECKS		600.95

GL TOTALS ---						
536-000-727.000			SUPPLIES/POSTAGE		300.48	
590-000-727.000			SUPPLIES & POSTAGE		300.47	
			TOTAL		600.95	

Check Register Report For Hartland Township
For Check Dates 04/01/2021 to 04/15/2021

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
04/15/2021	FOA	16989	ICMA VANTAGEPOINT TRANSFER AGENT	1,669.48	1,669.48	0.00	Open
04/15/2021	FOA	16990	ICMA VANTAGEPOINT TRANSFER AGENT	3,954.86	3,954.86	0.00	Open
04/15/2021	FOA	16991	ICMA VANTAGEPOINT TRANSFER AGENT	1,448.44	1,448.44	0.00	Open
04/15/2021	FOA	DD7098	BAGDON, KELLY M	1,914.26	0.00	1,333.93	Cleared
04/15/2021	FOA	DD7099	BEAUDOIN, DIANA K	1,688.10	0.00	1,422.42	Cleared
04/15/2021	FOA	DD7100	BERNARDI, MELYNDA A	1,407.84	0.00	1,087.12	Cleared
04/15/2021	FOA	DD7101	BROOKS, TYLER J	2,192.83	0.00	1,558.48	Cleared
04/15/2021	FOA	DD7102	CASE, SUSAN E	1,835.40	0.00	1,216.95	Cleared
04/15/2021	FOA	DD7103	CIOFU, LARRY N	2,583.33	0.00	1,866.35	Cleared
04/15/2021	FOA	DD7104	COBB, SUSAN M	260.25	0.00	229.28	Cleared
04/15/2021	FOA	DD7105	DRYDEN-HOGAN, SUSAN A	3,388.82	0.00	2,414.40	Cleared
04/15/2021	FOA	DD7106	HEASLIP, JAMES B	3,929.50	0.00	1,752.10	Cleared
04/15/2021	FOA	DD7107	HORNING, KATHLEEN A	2,583.33	0.00	1,864.49	Cleared
04/15/2021	FOA	DD7108	JOHNSON, LISA	2,228.70	0.00	1,570.96	Cleared
04/15/2021	FOA	DD7109	KENDALL, ANTHONY S	57.32	0.00	52.94	Cleared
04/15/2021	FOA	DD7110	KOPCZYK, MARY ANN	387.75	0.00	341.61	Cleared
04/15/2021	FOA	DD7111	LANGER, TROY D	3,380.26	0.00	2,383.95	Cleared
04/15/2021	FOA	DD7112	LOUIS, CASEY	923.26	0.00	597.59	Cleared
04/15/2021	FOA	DD7113	LUCE, MICHAEL T	3,250.00	0.00	2,387.44	Cleared
04/15/2021	FOA	DD7114	MITCHELL, KYLE J	2,977.16	0.00	2,275.51	Cleared
04/15/2021	FOA	DD7115	MORGANROTH, CAROL L	2,015.33	0.00	1,546.50	Cleared
04/15/2021	FOA	DD7116	SHOLLACK, DONNA M	1,842.96	0.00	1,397.55	Cleared
04/15/2021	FOA	DD7117	VERMILLION, KAREN L	2,001.68	0.00	1,478.28	Cleared
04/15/2021	FOA	DD7118	WEST, ROBERT M	4,058.33	0.00	2,402.62	Cleared
04/15/2021	FOA	DD7119	WYATT, MARTHA K	3,144.50	0.00	2,269.48	Cleared
04/15/2021	FOA	EFT587	HSA EMPLOYER CONTRIBUTIONS	4,400.00	4,400.00	0.00	Cleared
04/15/2021	FOA	EFT588	FEDERAL TAX DEPOSIT	11,334.59	11,334.59	0.00	Cleared
04/05/2021	FOA	16988	AMERICAN FAMILY LIFE ASSURANCE CO	133.09	133.09	0.00	Open

Totals:	Number of Checks: 028	70,991.37	22,940.46	33,449.95
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Total Physical Checks:	4
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Total Check Stubs:	24
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Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Susan Case, Finance Clerk

Subject: Approve Payment of Bills

Date: April 13, 2021

Recommended Action

Move to approve the bills as presented for payment.

Discussion

Bills presented total \$16,090.46. The bills are available in the Finance office for review.

No notable invoices.

Financial Impact

Is a Budget Amendment Required? ☐ Yes ☒ No

All expenses are covered under the amended FY21 budget and adopted FY22 budget.

Attachments

Bills for 04.20.2021

04/14/2021 01:38 PM
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INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 04/20/2021 - 04/20/2021
UNJOURNALIZED

Page: 1/14

Vendor Code	Vendor name	BOTH OPEN AND PAID	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold			Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK			Net Amount
		Due Date		1099			

59EAST	59 EAST \$5 CAR WASH	03/31/2021	1096	FOA	FORD ESCAPE CAR WASH		
44913	P.O. BOX 356	04/20/2021		N			5.00
03/31/2021	HARTLAND MI, 48353	/ /	0.0000	N			0.00
		04/20/2021		N			5.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-239-930.000	REPAIRS & MAINTENANCE	5.00

VENDOR TOTAL: 5.00

ADOBE	ADOBE INC	03/05/2021	1362716225	FOA	MARCH 2021		
44903		04/20/2021		N			15.89
03/05/2021	,	/ /	0.0000	N			0.00
		04/20/2021		N			15.89

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-740.000	OPERATING SUPPLIES	15.89

VENDOR TOTAL: 15.89

ALLSTAR	ALLSTAR ALARM LLC	04/01/2021	307024	FOA	5/1/21 - 7/31/21 MONITORING AT FIRE		
44860	8345 MAIN STREET	04/20/2021		N			246.00
04/01/2021	WHITMORE LAKE MI, 48189	/ /	0.0000	N			0.00
		04/20/2021		Y			246.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000-801.000	CONTRACTED SERVICES	246.00

ALLSTAR	ALLSTAR ALARM LLC	04/01/2021	307084	FOA	5/1/21 - 7/31/21 MONITORING AT TOWNS		
44859	8345 MAIN STREET	04/20/2021		N			717.00
04/01/2021	WHITMORE LAKE MI, 48189	/ /	0.0000	N			0.00
		04/20/2021		Y			717.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	717.00

VENDOR TOTAL: 963.00

AMAZON.COM	AMAZON.COM	03/02/2021	111-3363255-3404	FOA	MS SURFACE PRO 7 TOUCH SCREEN TABLET		
44881		04/20/2021		N			899.00
03/02/2021	,	/ /	0.0000	N			0.00
		04/20/2021		N			899.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-172-727.000	SUPPLIES & POSTAGE	899.00

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INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 04/20/2021 - 04/20/2021
UNJOURNALIZED

Page: 2/14

Vendor Code	Vendor name	BOTH OPEN AND PAID	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address		CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip		Disc. Date	Disc. %	Sep CK		Net Amount
			Due Date		1099		

AMAZON.COM	AMAZON.COM		03/01/2021	111-5810042-4069	FOA	PLASTIC FUNNELS	
44901			04/20/2021		N		5.67
03/01/2021	,		/ /	0.0000	N		0.00
			04/20/2021		N		5.67

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-740.000	OPERATING SUPPLIES	5.67

AMAZON.COM	AMAZON.COM		03/01/2021	111-7900109-7205	FOA	PLASTIC FUNNEL	
44902			04/20/2021		N		1.08
03/01/2021	,		/ /	0.0000	N		0.00
			04/20/2021		N		1.08

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-740.000	OPERATING SUPPLIES	1.08

AMAZON.COM	AMAZON.COM		03/09/2021	113-0487012-6295	FOA	FACE MASKS, DISINFECTING WIPES	
44904			04/20/2021		N		108.04
03/09/2021	,		/ /	0.0000	N		0.00
			04/20/2021		N		108.04

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-740.000	OPERATING SUPPLIES	108.04

AMAZON.COM	AMAZON.COM		03/08/2021	113-5966290-2480	FOA	SOLID WOOD CERTIFICATE FRAMES	
44880			04/20/2021		N		25.98
03/08/2021	,		/ /	0.0000	N		0.00
			04/20/2021		N		25.98

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-441-740.000	OPERATING SUPPLIES	25.98

AMAZON.COM	AMAZON.COM		03/08/2021	113-6394603-1038	FOA	STAINLESS STEEL UTILITY SINK WITH FA	
44879			04/20/2021		N		486.27
03/08/2021	,		/ /	0.0000	N		0.00
			04/20/2021		N		486.27

Open

GL NUMBER	DESCRIPTION	AMOUNT
401-751-970.006	SPRANGER FIELD	486.27

VENDOR TOTAL: 1,526.04

APEX	APEX SOFTWARE		04/01/2021	312992	FOA	5/1/21 - 5/1/22 ANNUAL MAINTENANCE R	
44892	P.O. BOX 100145		04/20/2021		N		810.00

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INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 04/20/2021 - 04/20/2021
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Page: 3/14

Vendor Code	Vendor name	BOTH OPEN AND PAID	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	Post Date	CK Run Date	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

03/27/2021	SAN ANTONIO TX, 78201-1445	/ /	0.0000	N		0.00
		04/20/2021		N		810.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-209-930.000	REPAIRS & MAINTENANCE	810.00

VENDOR TOTAL: 810.00

CINTAS	CINTAS CORPORATION	04/05/2021	4080438412	FOA	MATS	
44887	P.O. BOX 630910	04/20/2021		N		43.56
04/05/2021	CINCINNATI OH, 45263	/ /	0.0000	N		0.00
		04/20/2021		N		43.56

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	43.56

CINTAS	CINTAS CORPORATION	03/21/2021	9124920237	FOA	CREDIT ISSUED	
44914	P.O. BOX 630910	04/20/2021		N		(1.61)
03/21/2021	CINCINNATI OH, 45263	/ /	0.0000	N		0.00
		04/20/2021		N		(1.61)

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	(1.61)

VENDOR TOTAL: 41.95

CISCO	CISCO SYSTEMS, INC	03/03/2021	161-00176257	FOA	MARCH 2021 WEB-EX	
44878		04/20/2021		N		15.85
03/03/2021	,	/ /	0.0000	N		0.00
		04/20/2021		N		15.85

Open

GL NUMBER	DESCRIPTION	AMOUNT
577-000-946.000	PEG SERVER & SOFTWARE RENTAL	15.85

VENDOR TOTAL: 15.85

COMCAST	COMCAST CABLE	03/03/2021	030321	FOA	MARCH 2021 - PHONE/INTERNET AT WTP	
44867	P.O. BOX 7500	04/20/2021		N		204.46
03/03/2021	SOUTHEASTERN PA, 19398-7500	/ /	0.0000	N		0.00
		04/20/2021		N		204.46

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-851.000	TELEPHONE	66.50
536-000-805.000	INTERNET	137.96

204.46

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INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 04/20/2021 - 04/20/2021
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Page: 4/14

Vendor Code	Vendor name	BOTH OPEN AND PAID	Bank	Invoice Description	
Ref #	Address	Post Date Invoice	Hold		Gross Amount
Invoice Date	City/State/Zip	CK Run Date PO	Sep CK		Discount
		Disc. Date Disc. %	1099		Net Amount
		Due Date			

COMCAST	COMCAST CABLE	03/06/2021	030621	FOA	MARCH 2021 - CABLE/INTERNET AT TOWNS
44868	P.O. BOX 7500	04/20/2021		N	295.90
03/06/2021	SOUTHEASTERN PA, 19398-7500	/ /	0.0000	N	0.00
		04/20/2021		N	295.90

Open

GL NUMBER	DESCRIPTION	AMOUNT
577-000-805.000	INTERNET	178.35
577-000-806.000	CABLE TV FEES	117.55
		<u>295.90</u>

VENDOR TOTAL: 500.36

DOUGIES	DOUGIE'S DISPOSAL & RECYCLING	04/01/2021	82970	FOA	APRIL 2021 - TRASH PICK-UP AT PARKS
44863	PO BOX 241	04/20/2021		N	300.00
04/01/2021	HARTLAND MI, 48353	/ /	0.0000	N	0.00
		04/20/2021		Y	300.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-801.000	CONTRACTED SERVICES	300.00

DOUGIES	DOUGIE'S DISPOSAL & RECYCLING	04/05/2021	83438	FOA	MAY - JULY 2021 TRASH PICKUP AT TOWN
44885	PO BOX 241	04/20/2021		N	204.00
04/05/2021	HARTLAND MI, 48353	/ /	0.0000	N	0.00
		04/20/2021		Y	204.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-801.000	CONTRACTED SERVICES	204.00

VENDOR TOTAL: 504.00

0071	DTE ENERGY-STREET LIGHTS	03/31/2021	200472611625	FOA	MARCH 2021 STREETLIGHTS INCL MILLPOI
44886		04/20/2021		N	1,347.88
	P.O. BOX 630795				
03/31/2021	CINCINNATI OH, 45263-0795	/ /	0.0000	N	0.00
		04/20/2021		N	1,347.88

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-448-921.000	STREET LIGHTS	1,074.79
101-000-282.001	MILLPOINTE STREETLIGHTS DEPOSIT	250.80
101-000-282.002	FIDDLAR GROVE STREETLIGHT DEPOSIT	22.29
		<u>1,347.88</u>

VENDOR TOTAL: 1,347.88

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INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
 EXP CHECK RUN DATES 04/20/2021 - 04/20/2021
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Page: 5/14

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
FIRSTIMPRE	FIRST IMPRESSION PRINT & MARKETING	02/28/2021	77070	FOA	HARTLAND LIVING HOSTING	
44926	907 FOWLER ST.	04/20/2021		N		282.00
02/28/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00
		04/20/2021		N		282.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
577-000-801.000	CONTRACTED SERVICES & RENTALS	282.00

VENDOR TOTAL: 282.00

GODADDY	GO DADDY	03/06/2021	030621	FOA	.ORG DOMAIN RENEWAL	
44882		04/20/2021		N		31.16
03/06/2021	,	/ /	0.0000	N		0.00
		04/20/2021		N		31.16

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-577-801.000	CONTRACTED SERVICES	31.16

GODADDY	GO DADDY	03/11/2021	1836854771	FOA	HARTLANDWATER.COM RENEWAL	
44905		04/20/2021		N		24.99
03/11/2021	,	/ /	0.0000	N		0.00
		04/20/2021		N		24.99

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-900.000	PRINTING & PUBLICATIONS	24.99

VENDOR TOTAL: 56.15

0150	HARTLAND CONSOLIDATED SCHOOLS	03/31/2021	172743	FOA	MARCH 2021 FUEL	
44910	9525 E HIGHLAND ROAD	04/20/2021		N		179.48
04/05/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00
		04/20/2021		N		179.48

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-860.000	GASOLINE	179.48

VENDOR TOTAL: 179.48

0001	HARTLAND TOWNSHIP GENERAL FUND	03/31/2021	040721	FOA	FEB - MARCH 2021 DOG LICENSE PMTS	
44906		04/20/2021		N		57.00
04/07/2021	,	/ /	0.0000	N		0.00
		04/20/2021		N		57.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
701-000-290.250	DOG LICENSES ESCROW	57.00

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INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 04/20/2021 - 04/20/2021
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Page: 6/14

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

VENDOR TOTAL: 57.00

HARTTREASU	HARTLAND TOWNSHIP TREASURER	04/05/2021	10372 1STQTR2021	FOA	1ST QTR 2021 UB - MEDIANS	
44894	2655 CLARK RD	04/20/2021		N		372.45
04/05/2021	HARTLAND MI, 48353	/ /	0.0000	Y		0.00
		04/20/2021		N		372.45

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-463-920.005	UTILITIES - WATER	372.45

HARTTREASU	HARTLAND TOWNSHIP TREASURER	04/05/2021	2655-00 1STQTR21	FOA	1ST QTR 2021 UB - TOWNSHIP HALL DOME	
44895	2655 CLARK RD	04/20/2021		N		392.19
04/05/2021	HARTLAND MI, 48353	/ /	0.0000	Y		0.00
		04/20/2021		N		392.19

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-920.005	UTILITIES - WATER	392.19

HARTTREASU	HARTLAND TOWNSHIP TREASURER	04/05/2021	2655-01 1STQTR21	FOA	1ST QTR 2021 UB - TOWNSHIP HALL IRRI	
44896	2655 CLARK RD	04/20/2021		N		11.40
04/05/2021	HARTLAND MI, 48353	/ /	0.0000	Y		0.00
		04/20/2021		N		11.40

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-920.005	UTILITIES - WATER	11.40

HARTTREASU	HARTLAND TOWNSHIP TREASURER	04/05/2021	3191 1STQTR2021	FOA	1ST QTR 2021 UB - HERO TEEN CENTER	
44897	2655 CLARK RD	04/20/2021		N		265.03
04/05/2021	HARTLAND MI, 48353	/ /	0.0000	Y		0.00
		04/20/2021		N		265.03

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-920.004	UTILITIES - SEWER	144.21
101-265-920.005	UTILITIES - WATER	120.82
		265.03

HARTTREASU	HARTLAND TOWNSHIP TREASURER	04/05/2021	9751 1STQTR2021	FOA	1ST QTR 2021 UB - WATER TREATMENT PL	
44898	2655 CLARK RD	04/20/2021		N		831.98
04/05/2021	HARTLAND MI, 48353	/ /	0.0000	Y		0.00
		04/20/2021		N		831.98

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-920.004	UTILITIES - SEWER	831.98

04/14/2021 01:38 PM
User: SUSANC
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 04/20/2021 - 04/20/2021
UNJOURNALIZED

Page: 7/14

Vendor Code	Vendor name	BOTH OPEN AND PAID	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold			Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK			Net Amount
		Due Date		1099			

HARTTREASU	HARTLAND TOWNSHIP TREASURER	04/05/2021	SPRANGER1Q2021	FOA	1ST QTR 2021 UB - SPRANGER FIELD		
44899	2655 CLARK RD	04/20/2021		N		151.08	
04/05/2021	HARTLAND MI, 48353	/ /	0.0000	Y		0.00	
		04/20/2021		N		151.08	

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-920.004	UTILITIES - SEWER	151.08

VENDOR TOTAL: 2,024.13

HUBBELROTH	HUBBELL, ROTH & CLARK, INC.	03/04/2021	186165	FOA	WALDENWOODS CONSTR OBSER THRU 2/20/2		
44918	PO BOX 824	04/20/2021		N		1,680.00	
03/04/2021	BLOOMFIELD HILLS MI, 48303-0824	/ /	0.0000	N		0.00	
		04/20/2021		Y		1,680.00	

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-400-801.100-0012	WALDENWOODS CAMPGROUND IMPROVEMENTS	1,680.00

HUBBELROTH	HUBBELL, ROTH & CLARK, INC.	03/04/2021	186170	FOA	FOX RIDGE CONSTR OBSER THRU 2/20/21		
44919	PO BOX 824	04/20/2021		N		140.00	
03/04/2021	BLOOMFIELD HILLS MI, 48303-0824	/ /	0.0000	N		0.00	
		04/20/2021		Y		140.00	

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-400-801.100-0022	HUNTERS RIDGE	140.00

VENDOR TOTAL: 1,820.00

HUNT2	HUNTINGTON NATIONAL BANK	04/01/2021	32418	FOA	5/1/21 - 4/30/22 WATER SYSTEM SPEC A		
44891	ATTN CORPORATE TRUST DEPT	04/20/2021		N		500.00	
	L-3632						
03/02/2021	COLUMBUS OH, 43260	/ /	0.0000	N		0.00	
		04/20/2021		N		500.00	

Open

GL NUMBER	DESCRIPTION	AMOUNT
537-000-996.000	BOND FEES	500.00

VENDOR TOTAL: 500.00

IIMC	INT'L INSTITUTE OF MUNICIPAL CLERKS	03/18/2021	031821	FOA	ANNUAL MEMBERSHIP FEE		
44877	8331 UTICA AVE, #200	04/20/2021		N		185.00	
03/18/2021	RANCHO CUCAMONGA CA, 91730	/ /	0.0000	N		0.00	
		04/20/2021		N		185.00	

Open

GL NUMBER	DESCRIPTION	AMOUNT
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04/14/2021 01:38 PM
User: SUSANC
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 04/20/2021 - 04/20/2021
UNJOURNALIZED

Page: 8/14

Vendor Code	Vendor name	BOTH OPEN AND PAID	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address		CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip		Disc. Date	Disc. %	Sep CK		Net Amount
			Due Date		1099		

101-215-804.000	MEMBERSHIP & DUES					185.00	
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VENDOR TOTAL: 185.00

K&J	K & J ELECTRIC, INC	03/29/2021	9525	FOA	REPLACED DEFECTIVE BALLAST AT TWP HA		
44864	7219 EAST HIGHLAND RD	04/20/2021		N		95.00	
03/29/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00	
		04/20/2021		N		95.00	

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-930.000	REPAIRS & MAINTENANCE	95.00

K&J	K & J ELECTRIC, INC	04/08/2021	9533	FOA	REPAIR CROSS WALK SIGN AT SPRANGER F		
44922	7219 EAST HIGHLAND RD	04/20/2021		N		95.00	
04/08/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00	
		04/20/2021		N		95.00	

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-448-930.000	REPAIRS & MAINTENANCE	95.00

VENDOR TOTAL: 190.00

0220	LIVINGSTON COUNTY TREASURER	03/31/2021	040721	FOA	FEB - MARCH 2021 DOG LICENSE PMTS		
44907	200 E. GRAND RIVER	04/20/2021		N		718.00	
04/07/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00	
		04/20/2021		N		718.00	

Open

GL NUMBER	DESCRIPTION	AMOUNT
701-000-290.250	DOG LICENSES ESCROW	718.00

VENDOR TOTAL: 718.00

LDPA	LIVINGSTON DAILY PRESS & ARGUS	03/11/2021	031121	FOA	MARCH 2021		
44883		04/20/2021		N		8.99	
	3964 SOLUTIONS CENTER						
03/11/2021	CHICAGO IL, 60677-3009	/ /	0.0000	Y		0.00	
		04/20/2021		N		8.99	

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-577-801.000	CONTRACTED SERVICES	8.99

VENDOR TOTAL: 8.99

MASTERS	MASTERS TELECOM LLC	04/01/2021	8983	FOA	APRIL 2021 E-FAX SERVICE		
44869		04/20/2021		N		17.95	
03/24/2021	,	/ /	0.0000	N		0.00	

04/14/2021 01:38 PM
User: SUSANC
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 04/20/2021 - 04/20/2021
UNJOURNALIZED

Page: 9/14

Vendor Code	Vendor name	BOTH OPEN AND PAID	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	Post Date	CK Run Date	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

Open		04/20/2021		N		17.95
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GL NUMBER	DESCRIPTION	AMOUNT
101-265-851.000	TELEPHONE	17.95

VENDOR TOTAL: 17.95

MEIJER	MEIJER	03/05/2021	03/05/21	FOA	RETURNED NETWORK CABLE/MODEM	
44873	2160 HARTLAND RD	04/20/2021		N		(77.98)
03/05/2021	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		04/20/2021		N		(77.98)

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	(77.98)

MEIJER	MEIJER	03/03/2021	030321	FOA	NETWORK CABLE/MODEM	
44872	2160 HARTLAND RD	04/20/2021		N		77.98
03/03/2021	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		04/20/2021		N		77.98

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	77.98

VENDOR TOTAL: 0.00

MMTA	MICHIGAN MUNICIPAL TREASURERS ASSOC	04/01/2021	030321	FOA	2021 VIRTUAL ADVANCED INSTITUTE	
44865		04/20/2021		N		295.00
	PO BOX 324					
03/03/2021	TAWAS CITY MI, 48764	/ /	0.0000	N		0.00
		04/20/2021		N		295.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-253-957.000	EDUCATION/TRAINING/CONVENTION	295.00

VENDOR TOTAL: 295.00

0400	MICHIGAN TOWNSHIPS ASSOCIATION	02/08/2021	31341	FOA	MTA BOARD OF REVIEW VIRTUAL TRAINING	
44909	512 WESTSHIRE DR	04/20/2021		N		115.00
02/08/2021	LANSING MI, 48917-9757	/ /	0.0000	N		0.00
		04/20/2021		N		115.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-247-957.000	EDUCATION/TRAINING/CONVENTION	115.00

04/14/2021 01:38 PM
User: SUSANC
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 04/20/2021 - 04/20/2021
UNJOURNALIZED

Page: 10/14

Vendor Code	Vendor name	BOTH OPEN AND PAID	Bank	Invoice Description	
Ref #	Address	Post Date Invoice	Hold		Gross Amount
Invoice Date	City/State/Zip	CK Run Date PO	Sep CK		Discount
		Disc. Date Disc. %	1099		Net Amount
		Due Date			

VENDOR TOTAL: 115.00

ORKIN	ORKIN	04/08/2021	215155058	FOA	PEST CONTROL AT WTP	
44923	21068 BRIDGE ST.	04/20/2021		N		180.00
04/08/2021	SOUTHFIELD MI, 48034	/ /	0.0000	N		0.00
		04/20/2021		N		180.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-801.000	CONTRACTED SERVICES	180.00

VENDOR TOTAL: 180.00

1180	PETER'S TRUE VALUE HARDWARE	04/05/2021	K57140	FOA	WHITE PAINT	
44893	3455 W. HIGHLAND ROAD	04/20/2021		N		4.79
04/05/2021	MILFORD MI, 48380	/ /	0.0000	N		0.00
		04/20/2021		N		4.79

Open

GL NUMBER	DESCRIPTION	AMOUNT
401-751-970.006	SPRANGER FIELD	4.79

1180	PETER'S TRUE VALUE HARDWARE	04/07/2021	K57168	FOA	TRASH BAGS	
44908	3455 W. HIGHLAND ROAD	04/20/2021		N		29.98
04/07/2021	MILFORD MI, 48380	/ /	0.0000	N		0.00
		04/20/2021		N		29.98

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-740.000	OPERATING SUPPLIES	29.98

VENDOR TOTAL: 34.77

6598	POSTMASTER	04/08/2021	040821	FOA	RATE DIFFERENCE FOR 1ST QTR 2021 UB	
44911	10246 CROUSE RD	04/20/2021		N		17.17
04/08/2021	HARTLAND MI, 48353	/ /	0.0000	N		0.00
		04/20/2021		N		17.17

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-727.000	SUPPLIES/POSTAGE	8.59
590-000-727.000	SUPPLIES & POSTAGE	8.58

17.17

VENDOR TOTAL: 17.17

REALCOMP	REALCOMP	04/01/2021	386368	FOA	ASSESSOR QTRLY DUES	
44871		04/20/2021		N		201.00
03/10/2021	,	/ /	0.0000	N		0.00
		04/20/2021		N		201.00

04/14/2021 01:38 PM
User: SUSANC
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 04/20/2021 - 04/20/2021
UNJOURNALIZED

Page: 11/14

Vendor Code	Vendor name	BOTH OPEN AND PAID	Bank	Invoice Description	
Ref #	Address	Post Date Invoice	Hold		Gross Amount
Invoice Date	City/State/Zip	CK Run Date PO	Sep CK		Discount
		Disc. Date Disc. %	1099		Net Amount
		Due Date			

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-209-804.000	MEMBERSHIP & DUES	201.00
VENDOR TOTAL:		201.00

RBL	REALITY-BASED LEADERSHIP	03/31/2021	022821	FOA	MARCH 2021	
44866		04/20/2021		N		27.00
02/28/2021	,	/ /	0.0000	N		0.00
		04/20/2021		N		27.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-192-957.000	EDUCATION/TRAINING/CONVENTION	27.00
VENDOR TOTAL:		27.00

REDOLIVE	RED OLIVE RESTAURANT	03/10/2021	031021	FOA	BOARD OF REVIEW	
44870		04/20/2021		N		47.40
03/10/2021	,	/ /	0.0000	N		0.00
		04/20/2021		N		47.40

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-247-957.000	EDUCATION/TRAINING/CONVENTION	47.40
VENDOR TOTAL:		47.40

ROCKETENTE	ROCKET ENTERPRISE INC	03/31/2021	160336	FOA	TWP FLAGPOLE SERV CALL/REPAIRS	
44862	30660 RYAN ROAD	04/20/2021		N		110.00
03/31/2021	WARREN MI, 48092	/ /	0.0000	N		0.00
		04/20/2021		N		110.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-930.000	REPAIRS & MAINTENANCE	110.00
VENDOR TOTAL:		110.00

RURALKING	RURAL KING	03/02/2021	030221	FOA	TOOLS FOR TOWNSHIP HALL	
44874		04/20/2021		N		40.63
03/02/2021	,	/ /	0.0000	N		0.00
		04/20/2021		N		40.63

Open

GL NUMBER	DESCRIPTION	AMOUNT				
101-265-740.000	OPERATING SUPPLIES	40.63				
RURALKING	RURAL KING	03/15/2021	031521	FOA	SINK TAILPIECE & CONNECTOR	

04/14/2021 01:38 PM
User: SUSANC
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 04/20/2021 - 04/20/2021
UNJOURNALIZED

Page: 12/14

Vendor Code	Vendor name	BOTH OPEN AND PAID	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold			Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK			Net Amount
		Due Date		1099			

44875		04/20/2021		N			10.67
03/15/2021	,	/ /	0.0000	N			0.00
		04/20/2021		N			10.67

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-740.000	OPERATING SUPPLIES	10.67

RURALKING	RURAL KING	03/17/2021	031721	FOA	SINK FOR SPRANGER FIELD	
44876		04/20/2021		N		42.74
03/17/2021	,	/ /	0.0000	N		0.00
		04/20/2021		N		42.74

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751-740.000	OPERATING SUPPLIES	42.74

VENDOR TOTAL: 94.04

SHUTTERSTO	SHUTTERSTOCK.COM	04/01/2021	031721	FOA	APRIL 2021	
44884		04/20/2021		N		29.00
03/17/2021	,	/ /	0.0000	N		0.00
		04/20/2021		N		29.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-577-801.000	CONTRACTED SERVICES	29.00

VENDOR TOTAL: 29.00

STAPLES	STAPLES	04/10/2021	8061903011	FOA	MISC SUPPLIES	
44916	PO BOX 660409	04/20/2021		N		186.28
04/10/2021	DALLAS TX, 75266-0409	/ /	0.0000	N		0.00
		04/20/2021		N		186.28

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265-740.000	OPERATING SUPPLIES	5.89
101-751-740.000	OPERATING SUPPLIES	69.99
101-192-727.000	SUPPLIES & POSTAGE	26.77
101-209-727.000	SUPPLIES & POSTAGE	9.83
101-265-740.000	OPERATING SUPPLIES	37.31
101-751-740.000	OPERATING SUPPLIES	36.49
		186.28

VENDOR TOTAL: 186.28

TAPCO	TRAFFIC & PARKING CONTROL CO, INC.	03/25/2021	1693006	FOA	SCHOOL CROSSING BLINKER SIGN	
44861	5100 WEST BROWN DEER ROAD	04/20/2021		N		840.00
03/25/2021	BROWN DEER WI, 53223	/ /	0.0000	N		0.00

04/14/2021 01:38 PM
User: SUSANC
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 04/20/2021 - 04/20/2021
UNJOURNALIZED

Page: 13/14

Vendor Code	Vendor name	BOTH OPEN AND PAID	Bank	Invoice Description	
Ref #	Address	Post Date Invoice	Hold		Gross Amount
Invoice Date	City/State/Zip	CK Run Date PO	Sep CK		Discount
		Disc. Date Disc. %	1099		Net Amount

Open		04/20/2021	N		840.00
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GL NUMBER	DESCRIPTION	AMOUNT
101-448-930.000	REPAIRS & MAINTENANCE	840.00

VENDOR TOTAL: 840.00

SCADA	UTILITIES INSTRUMENTATION SERVICE	03/31/2021	530363322	FOA	INSTALL SOLA POWER SUPPLY FOR COMMUN	
44915	2290 BISHOP CIRCLE EAST	04/20/2021		N		368.88
04/12/2021	DEXTER MI, 48130	/ /	0.0000	N		0.00
		04/20/2021		N		368.88

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-930.001	REPAIRS & MAINTENANCE SYSTEM	368.88

VENDOR TOTAL: 368.88

WATERTECH	WATER TECH	03/31/2021	50142	FOA	MARCH 2021 COLIFORM ANALYSIS SAMPLES	
44929	718 S MICHIGAN	04/20/2021		N		44.00
04/11/2021	HOWELL MI, 48843	/ /	0.0000	N		0.00
		04/20/2021		N		44.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-740.000	OPERATING SUPPLIES	44.00

VENDOR TOTAL: 44.00

WOOD	WOOD ENVIRONMENT & INFRASTRUCTURE	03/30/2021	H06102869	FOA	WATER SUPPLY SERVICES THROUGH 3/19/2	
44858	P.O. BOX 74008618	04/20/2021		N		1,732.25
03/30/2021	CHICAGO IL, 60674-8618	/ /	0.0000	N		0.00
		04/20/2021		N		1,732.25

Open

GL NUMBER	DESCRIPTION	AMOUNT
536-000-816.000	ENGINEERING FEES	1,732.25

VENDOR TOTAL: 1,732.25

TOTAL - ALL VENDORS: 16,090.46

FUND TOTALS:

Fund 101 - GENERAL FUND	9,901.44
Fund 206 - FIRE OPERATING	246.00
Fund 401 - CAPITAL PROJECTS FUND	491.06
Fund 536 - WATER SYSTEM FUND	3,574.63
Fund 537 - WATER DEBT SERVICE FUND	500.00

04/14/2021 01:38 PM
User: SUSANC
DB: Hartland

INVOICE APPROVAL BY INVOICE REPORT FOR HARTLAND TOWNSHIP
EXP CHECK RUN DATES 04/20/2021 - 04/20/2021
UNJOURNALIZED

Page: 14/14

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
Fund 577 - CABLE TV FUND						593.75
Fund 590 - SEWER OPERATIONS & MAINTENANCE FUND						8.58
Fund 701 - TRUST AND AGENCY						775.00

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Larry Ciofu, Clerk

Subject: 04-06-2021 Hartland Township Regular Board Meeting Minutes

Date: April 14, 2021

Recommended Action

Move to approve the Hartland Township Board Regular Meeting minutes for April 6, 2021.

Discussion

Draft minutes are attached for review.

Financial Impact

None

Attachments

4-6-2021 HTB Minutes - DRAFT

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

April 06, 2021 – 7:00 PM

DRAFT

1. Call to Order

The meeting was called to order by Supervisor Fountain at 7:00 p.m.

2. Pledge of Allegiance

3. Roll Call

PRESENT: Supervisor Fountain, Clerk Ciofu, Trustee Germane, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

ABSENT: Treasurer Horning

4. Approval of the Agenda

Move to approve the agenda for the April 6, 2021, Hartland Township Board meeting as presented.

Motion made by Trustee Petrucci, Seconded by Trustee O'Connell.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Trustee Germane, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: Treasurer Horning

5. Call to the Public

No one came forward.

6. Approval of the Consent Agenda

Move to approve the consent agenda for the April 6, 2021, Hartland Township Board meeting as presented.

Motion made by Trustee Germane, Seconded by Trustee Petrucci.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Trustee Germane, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

Voting Nay: None.

Absent: Treasurer Horning

- a. Approve Payment of Bills
- b. Approve Post Audit of Disbursements Between Board Meetings
- c. 03-05-2021 Hartland Township Board Special Meeting Minutes
- d. 03-05-2021 Hartland Township Board Closed Session Meeting Minutes
- e. 3-9-2021 Hartland Township Board Special Meeting Minutes
- f. 3-9-2021 Hartland Township Board Closed Session Meeting Minutes
- g. 03-16-2021 Hartland Township Regular Board Meeting Minutes
- h. 03-23-2021 Hartland Township Special Board Meeting Minutes

7. Pending & New Business

- a. Resolution Honoring Jessica Witkowski for receiving Eagle Scout Award

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

April 06, 2021 – 7:00 PM

Supervisor Fountain asked Eagle Scout Award recipient Jessica Witkowski to come forward. Supervisor Fountain was proud to honor Jessica on being the first female earning the Eagle Rank in Hartland Township. Supervisor Fountain stated that in 2019 the Boy Scouts of America opened to females, becoming Scouts BSA. Jessica is among the first inaugural class of female scouts to earn the designation of Eagle Scout. What often takes scouts many years to achieve, Jessica has worked her way through all of the ranks of scouts since she joined in 2019, and she has set her sights high on Eagle Scout designation. Serving our community has been her ultimate goal. Last winter Jessica's life rank project involved building and installing bluebird houses at Settlers Park. Then when the pandemic struck last spring, Jessica changed her original Eagle Scout plans to focus on the greatest need in our community. With the help of classmates, coordinated over zoom meetings, Jessica was able to make and distribute over 600 fabric masks to the elderly population at Village Manor Retirement, the Hartland Senior Center and West Hickory Haven in Milford.

On behalf of Hartland Township, Supervisor Fountain had Trustee Germane read the following Proclamation to be presented this evening.

WHEREAS Jessica Witkowski, a member of the Scout Troop 2191 has completed the requirements and was examined by the Eagle Scout Board of Review which found her worthy of the rank of Eagle Scout, the highest rank in the Scouts BSA and;

WHEREAS the Eagle Scout Award has been awarded for more than 100 years and only five percent of all scouts have earned the award and;

WHEREAS the Hartland Township Board of Trustees wishes to recognize Jessica Witkowski for her personal achievement in building bluebird houses in Settler's Park, along with her Eagle rank project providing masks to the most vulnerable in our community and for her service and inspiration to Scouts who will follow suit.

NOW, THEREFORE, WE THE HARTLAND TOWNSHIP BOARD OF TRUSTEES, do hereby acknowledge and proclaim the achievement of Jessica Witkowski as a Scouts BSA Eagle Scout.

IN WITNESS THEREOF, the seven members of the Township Board of Trustees have signed the proclamation and we will present it to you now.

Congratulations were offered by all Board Members to Jessica. Ms. Witkowski thanked the community stating when she first started her project, she reached out to family members and friends and some of them posted about her project on social media. She stated she was so impressed with the community, as she had several complete strangers reach out and volunteer to help. She believes that is something that really demonstrates the importance of the community connection. She stated she was very proud of Hartland and Livingston County. She also thanked the 16 teenagers, who had never sewn before, that stepped up to help. She offered a big thank you to everyone who helped, and stated it was really amazing to see people come together to help protect our most vulnerable population. A brief recess was taken for photographs.

b. Resolution: 2021 Emergency Declaration

Supervisor Fountain gave a brief overview of the Resolution for an Emergency Declaration that would allow for virtual meetings to continue if needed. This resolution allows for us and other entities in the Township, such as the Hartland Consolidated Schools and the Cromaie Library to hold virtual meetings in compliance with the Open Meetings Act through December 31, 2021. Trustee Germane stated that the limit for the number of

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

April 06, 2021 – 7:00 PM

people in an in-person meeting had been increased from the 25 people limit as of yesterday, but this doesn't change the intent of the resolution. Clerk Ciofu read the following letter sent by Cromaine Library addressed to Supervisor Fountain and Township Manager Bob West:

"The Cromaine District Library Board of Trustees fully supports an emergency declaration that would allow the option of hosting our meetings virtually. Since March 2020, our board has held meetings virtually while under emergency order. Public attendance and participation have grown, signaling to us that residents accept and even appreciate this option. While the present rate of vaccinations is encouraging, we remain deeply concerned for the health and safety of our patrons, visitors, and staff. Many are not yet immunized, the number of COVID cases is rising, and variant strains are spreading in our county and across our state. We respectfully urge the Hartland Township Trustees to pass a resolution that will allow us to fulfill our obligations to open meetings while hosting virtual library board meetings for the remainder of this calendar year.

Sincerely, Kate DeRosier, President and Trustee, Cromaine District Library."

Clerk Ciofu also stated that the Livingston County Board of Commissioners originally issued a countywide emergency declaration and then rescinded it five days later. Clerk Ciofu stated that he spoke with Manager West and he had not been contacted by Hartland's Commissioners on an emergency declaration and inquired of the Board if any of them had been contacted by our County Board representatives regarding this whole situation. The response from the Board was that no one had been contacted.

Motion to approve the Resolution 2021 Emergency Declaration.

Motion made by Clerk Ciofu, Seconded by Trustee Petrucci. Roll call vote taken

Voting Yea: Supervisor Fountain, Clerk Ciofu, Trustee Germane, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

Voting Nay: None

Absent: Treasurer Horning

Motion passed: 6-0-1

8. Board Reports

Clerk Ciofu - No report.

Trustee Germane – Stated that we received a quarterly report for the sulfolane remediation project going on in Hartland Township and there has been further progress since last time he reported. There is just only one well that has a concentration around 100 parts per trillion, which is a very low number to begin with, but the state has set up a cleanup criteria of 10 parts per trillion in groundwater. So of the 45 wells that were installed, only 1 well remains contaminated and it is a screened deep well. There is no one getting drinking water from that area so there is no risk to anyone. I have forwarded the report to Hartland Township and it should be up on the website soon.

Trustee O'Connell - No report.

Trustee McMullen - No report.

Trustee Petrucci - No report.

Supervisor Fountain - No report.

[BRIEF RECESS]

9. Information / Discussion

a. Township Strategic Plan and Staff Action Plan Discussion

Supervisor Fountain gave a brief overview of the Strategic Planning process beginning with our Board Workshop with Dr. Lew Bender in late April. Information from the community, special reports and Board Member input provides the basis for discussion of the Strategic Plan. The Township Board then works with the Township Manager regarding the ideas developed in the workshop to set goals for the Manager for the coming year. The Township Manager then works with the Township Directors to establish the Staff Action Plan to complete these goals. Staff performance goals are then established, and the Township staff would then be working on the vision of the Board for the coming year. We track progress on the Strategic Plan goals and the Staff Action Plan monthly which ultimately provides the basis for staff performance evaluations. Supervisor Fountain reviewed the history of development of the Mission Statement, Vision Statement, Core Values, and the importance of Strategic Planning. He also reviewed the 2018 Vision Tour document of the items that were important to the Board and the community, highlighting improved parks, special events, Village improvements and police coverage. He stated the Board classified these items into three major goal areas, Quality of Life, Sustainability and Infrastructure. He reviewed the “increase partnerships with community organizations & other governmental units” goal, which led to the creation of the current Partner in Progress group of the Township, Hartland Consolidated Schools, Crounse Library and the Chamber of Commerce. He also gave a brief overview of the accomplishments in the goal of “Increasing communication with the community” of updating our website, community and business surveys, cable television, on-line agendas and minutes, live streaming of meetings and the State of the Township meeting which will be the State of the Community going forward. He also reviewed the Infrastructure goal of “protecting and maintaining road improvements” with the creation of the Roads Task Force, road millage and the road improvements that were completed. He then briefly reviewed the 2020 Strategic Plan and Staff Action Plan and the effects that the COVID pandemic had on this plan.

10. Closed Session

a. To consider the six-month evaluation of the Township Manager, at his request

Move to go into closed session to consider the six month evaluation of the Township Manager, at his request.

Motion made by Clerk Ciofu, Seconded by Trustee Petrucci.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Trustee Germane, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

Voting Nay: None.

Absent: Treasurer Horning

Board is in closed session at 7:45 p.m.

Board came out of closed session at 8:20 p.m.

HARTLAND TOWNSHIP BOARD OF TRUSTEES REGULAR MEETING MINUTES

April 06, 2021 – 7:00 PM

11. Adjournment

Move to adjourn the meeting at 8:20 p.m.

Motion made by Trustee O'Connell, Seconded by Trustee Petrucci.

Voting Yea: Supervisor Fountain, Clerk Ciofu, Trustee Germane, Trustee McMullen, Trustee O'Connell, Trustee Petrucci

Voting Nay: None.

Absent: Treasurer Horning

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Larry Ciofu, Clerk

Subject: 04-06-2021 Hartland Township Board Closed Session Meeting Minutes

Date: April 14, 2021

Recommended Action

Move to approve the Hartland Township Board Closed Session Meeting minutes of April 6, 2021.

Discussion

Draft minutes are available in the Clerk's Office for review.

Financial Impact

None

Attachments

None

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Robert M. West, Township Manager

Subject: Hartland Enrichment and Recreation Organization (H.E.R.O.) Presentation

Date: April 19, 2021

Recommended Action

No formal action required.

Discussion

The Hartland Enrichment and Recreation Organization (H.E.R.O.) has requested to provide the Township Board with a brief presentation regarding the Teen Center program.

Attachments

Agenda Memo (HERO)

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Robert M. West, Township Manager

Subject: Resolution Honoring Jessica Witkowski for receiving Eagle Scout Award

Date: April 1, 2021

Recommended Action

Adopt the Resolution Honoring Jessica Witkowski for receiving Eagle Scout Award

Discussion

When Boy Scouts of America opened to females in 2019, Hartland High School Sophomore Jessica Witkowski was prepared. With a passion for conservancy and environmental science, Jessica wasted no time in signing up. The now soon-to-be junior at Hartland High School was drawn to the Scouts because of their strong emphasis on leadership, life skills, and a variety of environmental and nature-related opportunities that meshed well with her own aspirations, among them, becoming an Eagle Scout.

As Jessica has worked her way through the ranks of Scouts, serving her community has been the ultimate goal. This past winter, Jessica's Life Rank project involved building and installing bluebird houses at Settler's Park. Much planning and research was put into the project and the same level of consideration was exercised as she worked toward the Scout's highest rank of Eagle Scout.

The coronavirus pandemic did not stop Jessica Witkowski from completing her Eagle Scout project. In fact, her project helped workers at the frontlines of COVID-19, as well as local seniors. For her Eagle Scout Project, Witkowski sewed and donated 600 fabric masks to local senior living facilities and centers to help reduce the spread of the coronavirus.

Jessica says she decided to join the Scouts because of the environmental aspects of the program, as well as the strong emphasis on leadership, life skills and a variety of environmental and nature-related opportunities. She plans to study environmental science, park management or wildlife biology in college, though she has not made any decisions yet.

As Jessica continues to find new ways to support her community, it's a safe bet that she will have her community supporting her as a member of the 1st inaugural class of female Eagle Scouts this September. The Hartland Township Board is proud to honor Jessica for her accomplishments and remains grateful for her contributions to our community.

Attachments

Resolution Honoring Jessica Witkowski for receiving Eagle Scout Award



Board of Trustees

William J. Fountain, Supervisor
Larry N. Ciofu, Clerk
Kathleen A. Horning, Treasurer

Matthew J. Germane, Trustee
Summer L. McMullen, Trustee
Denise M. O'Connell, Trustee
Joseph M. Petrucci, Trustee

RESOLUTION NO. 21-XX

PROCLAMATION HONORING JESSICA WITKOWSKI
FOR RECEIVING THE EAGLE SCOUT AWARD

At a meeting of the Township Board of Hartland Township ("Township Board"),
Livingston County, Michigan on April 6, 2021, at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following Resolution was offered by _____ and seconded
by _____.

WHEREAS, achieving the status of Eagle Scout is the highest award that can be
bestowed upon a Scout; and

WHEREAS, such an award is earned, requiring the recipient to perform and successfully
complete and pass rigid requirements; and

WHEREAS, less than two percent of all Scouts actually achieve this goal; and

WHEREAS, Jessica Witkowski devoted many hours in attaining the status of Eagle
Scout, working with diligence and making sacrifices in order to achieve the highly coveted
award; and,

WHEREAS, Jessica Witkowski has served the Boy Scouts of America in an exemplary
manner and is deserving of the honor bestowed upon her; and,

WHEREAS, Jessica Witkowski serves as an example to our youth through her high level
of personal achievement, leadership and community service, and we are proud that she is a
member of our community; and,

WHEREAS, the Hartland Township Board wishes to recognize this noteworthy achievement of Jessica Witkowski.

NOW, THEREFORE, BE IT RESOLVED that the Supervisor and Board of the Township of Hartland hereby recognize and extend our sincere congratulations to Jessica Witkowski for having achieved the status of Eagle Scout conferred upon her by the Boy Scouts of America, an honor for both her and for those that guided her, with best wishes for a bright future.

BE IT FURTHER RESOLVED that this proclamation be reflected in the official minutes of this meeting and the Township Clerk transmit a copy thereof to Jessica Witkowski.

Hartland Township

ADOPTED:

YEAS: _____

NAYS: _____

STATE OF MICHIGAN)
)
COUNTY OF LIVINGSTON)

I, the undersigned, the duly qualified and acting Township Clerk of the Hartland Township, Livingston County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and complete copy of certain proceedings taken by the Township Board of said Township at a meeting held on April 6, 2021.

Larry Ciofu, Hartland Township Clerk

William J. Fountain, Supervisor

Kathleen A. Horning, Treasurer

Matthew J. Germane, Trustee

Denise M. O'Connell, Trustee

Joseph M. Petrucci, Trustee

Summer L. McMullen, Trustee

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Special Land Use Application #21-003 (Hungry Howie's)

Date: April 15, 2021

Recommended Action

Move to Approve Special Land Use Application #21-003, as outlined in the Staff Memorandum, dated April 15, 2021.

Move to Approve Special Land Use Application #21-003, a request to construct a multi-tenant building approximately 4,550 square feet in size, with retail/office space and two (2) carry out restaurants, each having drive-through/pick-up service, as a special land use, on a vacant parcel in Section 22 of the Township, north of Highland Road and East of Bella Vita Drive (Parcel ID #4708-22-400-025). The recommendation for approval is based on the following findings:

1. The proposed special land use, carry out restaurant with drive-through service, meets the intent and purposes of the Ordinance as well as the specific Special Use standards outlined in Section 6.6 (Special Uses) and the Planning Commission has determined the proposed drive lanes do not have to comply with the standards in Section 4.28 (Fast Food and Drive-through Restaurants), as the proposed drive lanes are of a different nature, but still shall be permitted as a special land use in the GC-General Commercial zoning district.
2. The proposed use is compatible with the existing and future land uses in the vicinity.
3. The proposed use will be served by public sanitary sewer and municipal water. The proposed use will be adequately served by existing essential facilities and public services, and the Fire Department has no objection.
4. The proposed use will not be detrimental, hazardous, or disturbing to the existing or future neighboring uses, persons, or the public welfare.
5. The proposed use will not create additional requirements at public cost for public facilities as the proposed site will be served by public sanitary sewer and municipal water.

Approval is subject to the following conditions:

1. The proposed Special Land Use, restaurant with drive-through service, is subject to approval by the Township Board.
2. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated April 1, 2021. Revised plans if necessary, shall be subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
3. The applicant understands and is in full agreement that the drive lanes as indicated on the site plans shall not be used for a drive-through restaurant, as outlined in Section 4.28 of the Ordinance, unless

the site plan has been modified to comply with the Ordinance and approved by the Planning Commission.

4. A land use permit is required after approval of the Site Plan and Special Use Permit and prior to construction.
5. Applicant complies with any requirements of the Department of Public Works Director, Township Engineering Consultant (HRC), Hartland Deerfield Fire Authority, and all other government agencies, as applicable.
6. (Any other conditions the Planning Commission deems necessary)

Discussion

Applicant: Steve Peterson

Site Description

The subject property, approximately 1.25 acres in size, is located on the north side of Highland Road, east of Arena Drive in Section 22 of the Township (Parcel ID #4708-22-400-025). The western boundary of the site is defined by a private road, Bella Vita Drive (the assumed road name although labeled as Golden Court on the plans), which provides the only access to the subject site via two (2) proposed driveways. This property is considered a corner lot with approximately 228.48 lineal feet along Highland Road and approximately 362.78 lineal feet along the private road.

The private road provides access to three (3) additional parcels, including Bella Vita Senior Living facility which is north and west of the subject site (2799 Bella Vita Drive). The remaining two (2) parcels are vacant.

The subject site is zoned GC-General Commercial, as is the parcel directly west of the site, on the west side of the private road (Parcel ID #4708-22-400-026). The property associated with Bella Vita Senior Living is zoned CA-Conservation Agriculture, as is the vacant parcel north of Bella Vita (Parcel ID #4708-22-400-028). The adjacent property east of the Hungry Howie's site is zoned CA-Conservation Agriculture.

The Future Land Use Map (FLUM) designates the subject parcel and the parcel west of Bella Vita Drive as Office. The adjacent parcel to the north (Bella Vita Senior Living) is shown as Multiple Family Residential. Adjacent land east of the subject parcel is designated as Office where there is frontage along Highland Road and north of that, the FLUM shows Multiple Family Residential as the category designation.

Overview and Background Information

The Planning Commission approved the Site Plan and recommended approval of the Special Land Use Permit at their April 8, 2021 regular meeting. The Special Land Use Permit requires the Township Board to make a final determination.

Historically, the subject parcel was originally part of an approximate 20.7-acre parcel, which had been occupied by Fairway Golf, a driving range. The driving range was approved by the Township as a conditional use permit in the early 1960's and operated until its closure around 2017. In 2017, the property was purchased (20.7 acres) and the new owner submitted an application to construct a nursing home, Bella Vita Senior Living (SP/SUP Application #17-016). Approximately 15.7 acres of the

property, northern section, is zoned CA-Conservation Agriculture. The remaining five (5) acres, the southern portion along Highland Road, is zoned GC-General Commercial.

Site Plan with Special Land Use Application #17-016

On November 16, 2017, the Planning Commission recommended approval of the Special Use Permit #17-016 for construction of the Bella Vita Senior Living Facility, an approximate 41,500 square foot nursing home. On December 5, 2017, the Hartland Township Board approved Special Use Permit #17-016 for the Bella Vita Senior Living Facility. The approved plan for the nursing home facility showed the building being located approximately in the center of the CA-zoned portion of the 20.7-acre site. A private access drive, commencing from Highland Road and ending at the parking lot of the nursing home, provided sole access to the facility.

Site Plan Application #20-004 (Private Road)

The existing private access drive, as approved under SP/SUP #17-016, was constructed according to private road standards and was inspected by the Township Engineer Consultant. In 2020, the property owner submitted a request for the approval of a private road under Site Plan Application #20-004. Essentially the private road request included approval of the built portion of the road (private access drive) and the construction of an extension of said road to the north, ending in a cul-de-sac. The intent of the private road was to provide access to four (4) parcels, which would be created under a separate land division application. Approval of the private road request had to be secured before the land division application could be considered.

On June 11, 2020, the Planning Commission recommended approval of Site Plan Application #20-004, a request to construct a private road, which is intended to provide access to four (4) parcels, to be created under a separate land division application.

On Tuesday, June 16, 2020, the Township Board approved Site Plan Application #20-004.

Land Division Application #20-004

LD #20-004 was a request for the division of the 20.7-acre parcel into four (4) separate parcels. Vehicular access to each parcel is provided via the private road, which was approved under SP #20-004. Two (2) of the parcels are zoned GC and have frontage along Highland Road and the private road. The other two (2) parcels are zoned CA and include the Bella Vita Senior Living facility and a vacant parcel north of said property. The land division request was approved by the Township in January 2021.

The proposed Hungry Howie's project is located in the southeast parcel of this land division request.

Proposed Use

The applicant is requesting to construct a multi-tenant building, with two (2) carry out type restaurants, each having drive-through service. One (1) drive-through service window is on the west side of the building for Tenant 1 and the other is on the east side of the building for Tenant 3 (Hungry Howie's). Tenant 2 is shown as office-retail use. Per Section 3.1.14D.xiv., a restaurant with drive-in or drive-through service is considered a special land use in the GC-General Commercial zoning district. Additional standards for fast-food and drive-through restaurants are provided in Section 4.28 of the Zoning Ordinance.

The proposed project also requires site plan approval thus there are two application elements: special land use and site plan approval for the proposed multi-tenant commercial building with two (2) carry out restaurants, each having a drive-through service. Although there are technically two elements, all are incorporated into one combined site plan which will be reviewed and approved concurrently.

Per the Hartland Township Zoning Ordinance and the State Enabling Act, a public hearing is required for the special land use application. Given the requirements for publishing a notice for the special land use, the public hearing has been scheduled for the April 8, 2021 Planning Commission meeting.

Request

The applicant is requesting site plan with special land use approval to construct a multi-tenant building, approximately 4,550 square feet in size, with a retail/office tenant space and two (2) carry out restaurants each with a drive-through service window and stacking spaces.

Per the applicant each restaurant is similar to a carry out restaurant, in that patrons will place food orders on-line or by phone to place an order. The orders will be picked inside the store or via the drive-through window. The applicant has termed this a pick-up restaurant. Dining-in does not appear to be an option. Also, there will not be an option to drive-up to a menu board and place an order. A menu board and ordering station are not shown on the plan for either restaurant. The floorplan for Hungry Howie's does not show tables or seating thus a dining-in option is not proposed. A floor plan for Tenant 1 was not provided.

The parking regulations in Section 5.8.4.H. provide the parking formula for various types of restaurants. A restaurant-carry out or delicatessen with less than six (6) tables and/or booths, requires six (6) parking spaces plus one (1) space for each employee on the peak shift. Stacking spaces are not listed as required for this type of use, which one would assume is because a menu board is not an option for the ordering of food, thus stacking spaces are not necessary. The Ordinance does not provide a specific parking formula for this type of restaurant, where food is pre-ordered and picked up in the store or at the drive-through window, without an ordering board option.

The proposed plan shows three (3) stacking spaces for Tenant 1 and two (2) stacking spaces for Hungry Howie's (Tenant 3). The proposed parking calculations are based on the specific uses shown on the plan: Tenant 1 (carry out restaurant); Tenant 2 (retail); and Tenant 3 (carry out restaurant). Each carry out use requires ten (10) parking spaces. The retail use requires five (5) spaces, for a total of 25 parking spaces. Twenty-six (26) parking spaces are proposed.

Another approach is to calculate parking for the multi-tenant building using the parking formula for retail or office uses and use the total square footage of the building (Gross Floor Area). Using this formula (1 parking space for each 300 feet of gross floor area), would eliminate the need to re-evaluate the parking calculations based on an individual use, should there be changes in the tenant mix in the future. Both parking formulas are provided and discussed under the Off-Street Parking section in this memorandum.

Of consideration though is the possibility of a pick-up restaurant transitioning to a traditional style fast food restaurant with an ordering board option and drive-through service window. In this case, a different parking formula applies, which requires more parking spaces plus ten (10) stacking spaces in proximity of the ordering station. Spatially, the proposed plan could not accommodate additional stacking or parking spaces. The Planning Commission should take this into consideration when reviewing the project and determine if language should be provided regarding what types of restaurants could be allowed.

The hours of operation for Hungry Howie's are Sunday through Thursday, from 11:00 a.m. to 10:00 p.m.; and Friday and Saturday from 11:00 a.m. to 12:00 midnight. Per the applicant it is anticipated that Tenant 1 will be of similar use. Tenant 2 will be a mercantile or business use, with the hours to be determined.

Approval Procedure

The proposed use, restaurant with drive-in or drive-through service, requires approval from the Township Board for the special land use. The Planning Commission has reviewed the special land use and site plan at their April 8, 2021 regular meeting, where they have approved the site plan and recommended approval of the special land use permit to the Township Board.

The project also requires the site plan to be reviewed by the Planning Commission who will make a final decision on the site plan. The plans will be reviewed using the development standards of the GC-General Commercial zoning district (Section 3.1.14.), standards associated with fast-food and drive-through restaurants (Section 4.28), and all applicable zoning standards in the Zoning Ordinance.

SPECIAL LAND USE REVIEW – General Standards

In accordance with Section 6.6, Special Uses, of the Hartland Township Zoning Ordinance, the following standards shall serve the Planning Commission and Township Board as the basis for decisions involving such uses. The standards are provided below, and the applicant has submitted a letter, as a separate attachment, which addresses the special use criteria.

- A. Be harmonious and in accordance with the objectives, intent, and purposes of this Ordinance.
- B. Be compatible with the natural environment and existing and future land uses in the vicinity.
- C. Be compatible with the Hartland Township Comprehensive Plan.
- D. Be served adequately by essential facilities and public services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to adequately provide any such service.
- E. Not be detrimental, hazardous, or disturbing to the existing or future neighboring uses, person, property, or the public welfare.
- F. Not create additional requirements at public cost for public facilities and services that will be detrimental to the economic welfare of the community.

The Planning Department believes the proposed use can and will meet the criteria listed above for the special land use request. The applicant has provided responses to the Special Land Use general standards as an attachment. The applicant will be responsible for all applicable approvals and permits from other agencies and departments for the proposed use.

SPECIAL LAND USE REVIEW – Applicable Site Standards

In addition to a finding by the Planning Commission and Township Board that the criteria above have been satisfied, the Use Standards of Section 4.28, Fast-food and Drive-through restaurants, apply. Those standards are listed below, followed by staff's findings on each standard.

Fast-food and Drive-through Restaurants (Section 4.28)

1. Minimum Frontage. The site shall have a minimum of two hundred (200) feet of frontage on a paved major thoroughfare unless accessed via a service drive or marginal access road.

The subject site complies with this standard, having approximately 228.48 feet of frontage on Highland Road and 362.78 feet of frontage along the private road.

2. Location of driveways. Ingress and egress points shall be located at least sixty (60) feet from the intersection of any two (2) streets (measured from the nearest right-of-way line). The use of secondary access drives in accordance with Section 5.10.2 is required.

The most southern of the two (2) commercial driveways into the site is located approximately 47 feet from the right-of way line of Highland Road and does not comply with this standard.

3. Control of Sound Level. Devices for the transmission of voices shall be so directed or muffled as to prevent sound from being audible beyond the boundaries of the site.

Ordering stations are not shown on the submitted plans.

4. Stacking space and lanes shall be provided as specified in Section 5.8, Off-Street Parking Requirements. Additionally, the site design must allow for unimpeded circulation around the building outside of the drive-through lanes.

The two (2) proposed restaurants provide carry out service/pick up service and each restaurant has its own drive-through window. Per Section 5.8.4.H., the restaurant category for carry-out or delicatessen, with less than six (6) tables or booths, does not require stacking spaces.

The proposed plan shows three (3) stacking spaces for Tenant 1 and two (2) stacking spaces for Tenant 3. A 12-foot-wide by-pass lane is provided on the east side of the stacking spaces for Tenant 3. A by-pass lane is not provided for Tenant 1. Drive aisles (24 feet wide) are provided around the building and should allow for adequate circulation. The applicant has stated that both of the drive lanes are designed for carry-out assistance for customers. Customers would not drive into the drive-lane, order food, and then proceed to a window to pay and obtain their order. Instead, customers would either place an order online or call from their home, and then drive to the restaurant and use the drive lane to pick up their order. In this scenario, the drive lane functions differently than a drive-through restaurant would. As such, the site plan does not comply with the required stacking spaces that would normally be required for a drive-through restaurant. The applicant is asking the Planning Commission to make a determination that the proposed drive lanes are somewhat different than drive-through lanes for a restaurant; and therefore, would be acceptable, as proposed.

SITE PLAN REVIEW – Applicable Site Standards

The applicable site standards include those standards related to the proposed use, restaurant with drive-in or drive-through service, as outlined in Section 3.1.14 (GC-General Commercial); Section 4.28 of the Zoning Ordinance, as discussed above; and all applicable zoning standards in the Zoning Ordinance.

In this case the applicant is requesting site plan with special land use approval to construct a multi-tenant building, approximately 4,549 square feet in size, with two (2) carry out restaurants each with a drive-through service.

Impact Assessment

No impact assessment was submitted, nor required, for the proposed use.

Traffic Generation

A traffic impact assessment was not required for the proposed use.

Dimensional Requirements (GC-General Commercial; Section 3.1.14)

Lot Size (Sec. 3.1.14)

- Required – 40,000 sq. ft. w/o sewer; or 20,000 sq. ft. with sewer

- Proposed – 1.25 acres (54,450 sq. ft.) with public sewer
- Meets Requirement? Yes
- Comment – (none)

Frontage (Sec. 3.1.14)

- Required – minimum lot width of 120 feet
- Proposed – lot width is approximately 190 feet (parallel to Highland Road at 80 ft. setback)
- Meets Requirement? – Yes
- Comment – (none)

Building Setbacks (Sec. 3.1.14)

Setback	Required	Proposed	Meets Requirements? (Y / N)
Front (south) Highland Road	80'	80'	Yes
Front (west) Private road	50'	50'	Yes
Rear (north) w/ sewer	0'	140'	Yes
Side (east)	15'	40'	Yes

Building Height (Sec. 3.1.14)

- Required – 35 feet or 2½ stories, whichever is less
- Proposed – 21'-6" at tallest point
- Meets Requirement? – Yes
- Comment – (none)

Lot Coverage (Sec. 3.1.14)

- Required – principal structure: 75% max.
- Proposed – 8.3%
- Meets Requirement? – Yes
- Comment – (none)

Site Requirements

Dumpster Enclosure (Sec. 5.7)

- Required – dumpster designed, enclosed, and screened per requirements; dumpster materials must match the building.
- Proposed – 7' by 16' concrete pad in front of dumpster, with 6-foot-high brick with split face block enclosure with materials that match the building; and solid, reinforced gates comprised of synthetic wood. Landscaping is provided around the enclosure with shrubs.
- Meets Requirement? – Yes
- Comment – (none)

Off-Street Parking (Sec. 5.8, for office/retail use; carry out restaurant uses)

Calculations by individual use:

- Required – 1 space per each 300 sq. ft. of gross floor area (GFA) for office/retail use; 6 spaces plus 1 space for each employee on peak shift for carry out restaurant or delicatessen use, with less than 6 tables and/or booths

EQUATES TO: 25 parking spaces REQUIRED (Retail - Tenant 2): $1,400 \text{ sq. ft. GFA} \div 300 = 5$ spaces PLUS carry out restaurant (Tenant 1) = 10 spaces and carry out restaurant (Tenant 3) = 10 spaces

- Proposed – 26 parking spaces, 10' X 20', and 5 pick-up stacking spaces

- Meets Requirement? – Yes

Calculations using retail/office formula for GFA (Gross Floor Area) of building (4,550 sq. ft.):

- Required – 1 space per each 300 sq. ft. of gross floor area for office/retail use;

EQUATES TO: 14 parking spaces REQUIRED (GFA of building 4,550 sq. ft. $\div 300 = 14$ spaces)

- Proposed – 26 parking spaces, 10' X 20', and 5 pick-up stacking spaces

- Meets Requirement? – **TBD**

- Comment – parking needs met for the proposed plan, using both parking formulas. The applicant is asking the Planning Commission to make a determination that the proposed drive lanes are somewhat different than drive-through lanes for a restaurant; and therefore, would be acceptable, as proposed. Determination by Planning Commission required as to what types of restaurant uses could be permitted on this site, given the potential parking and stacking limitations.

Barrier-Free Parking

- Required – barrier-free spaces in a location most accessible to the building entrance, with at least 1 space van-accessible (1 barrier-free space required per 25 parking spaces)

- Proposed – 2 barrier-free spaces, both van accessible, nearest the entrance (south side of parking lot)

- Meets Requirement? – Yes

- Comment – (none)

Parking Lot / Driveway / Internal Roads Setbacks (Sec. 5.8.3.)

- Required – off-street parking in commercial districts may only be located in a side or rear yard or non-required front yard; may not be permitted within 20' of a single-family district, nor within 10' of a road ROW, or 25' from a front lot line, nor 10' from a side or rear lot line.

Setback	Required	Proposed	Meets Requirements? (Y / N)
Front (south)	25'	25'	Yes
Side (east) Adjacent to CA zoning	20'	20'	Yes

- Meets Requirement? – Yes

- Comment – (none)

Loading (Sec. 5.9)

- Required – 1 loading space (10' X 50') required for up to 10,000 sq. ft. of floor area (for industrial use)

- Proposed – loading zone (10' by 50') on north side of building

- Meets Requirement? – Yes

- Comment – (none)

Access Management and Non-Residential Driveway Standards (Sec. 5.10)

- Required – Per Sec. 5.10.5.C., the minimum access spacing between commercial driveways on a street with a posted speed limit of 25 MPH or greater is 120 feet (private road-speed not posted)

- Proposed – the 2 proposed driveways have access off the private road and are approximately 120

feet apart (near edge to near edge of each driveway)

- Meets Requirement? – Yes
- Comment – (none)

Landscaping and Screening (Sec. 5.11)

A. Greenbelt Landscaping (Sec. 5.11.C.)

Calculations for Greenbelt along Highland Road

- Required – within the first 30 feet of the property, 1 canopy tree for every 30 ft of lineal of frontage; 3 small deciduous ornamental trees or large deciduous or evergreen shrubs for the initial 40 ft., and 1 per 20 ft. thereafter, for 228' of frontage along Highland Road. EQUATES TO: 8 canopy trees and 13 additional ornamental trees, or large deciduous or evergreen shrubs REQUIRED
- Proposed – 8 canopy trees; 13 ornamental trees; 44 deciduous shrubs, and 32 large evergreen shrubs within first 30 feet
- Meets Requirement? – Yes
- Comment – The total plant count exceeds the required number of ornamental trees and shrubs. To be noted, the evergreen shrubs labeled as TMD (Dense Yew) could also be counted toward the required screening of the parking lot (Perimeter Landscaping Sec. 5.11.2.E.ii.a.). Planning Commission to determine if the evergreen shrubs can be also counted as fulfilling requirement for Perimeter Landscaping (screening of parking lot).

Calculations for Greenbelt along private road

- Required – within the first 30 feet of the property, 1 canopy tree for every 30 ft of lineal of frontage; 3 small deciduous ornamental trees or large deciduous or evergreen shrubs for the initial 40 ft., and 1 per 20 ft. thereafter, for 326' of frontage along the private road. EQUATES TO: 11 canopy trees and 17 additional ornamental trees, or large deciduous or evergreen shrubs REQUIRED
- Proposed – 11 canopy trees (4 existing, 7 proposed); 57 medium shrubs within first 30 feet
- Meets Requirement? – Yes, for number of plants; evergreen shrub species too short if also counted as evergreen shrub screen for parking area-see notes below
- Comment – An evergreen shrub screen could be counted for the Greenbelt requirement as well as for the Perimeter Landscaping requirement (screening of the parking lot), however the proposed shrub (JT-Tamarax Juniper) is too short and will not reach the required 3-foot height within two years of planting, to serve as the required screening of the parking lot. An alternate evergreen shrub species should be chosen, possibly TMD (Dense Yew) to meet the height and screening requirement. Planning Commission to determine if the evergreen shrubs in the Greenbelt can be also counted for the Perimeter Landscaping (screening of parking lot), if a compliant evergreen shrub species was used.

B. Foundation Landscaping (Sec. 5.11.2.D.)

- Required – must equal 60% of the front and sides of the proposed building where facing road or adjacent to parking lot; must be 8-10 ft. in width, and consist of 1 ornamental or columnar tree, and 6 medium or 8 small shrubs for every 30 ft.; 147 ft. of building perimeter (used west, northwest, and south building dimensions). Foundation perimeter 147 ft. X 60% = 88 ft. EQUATES TO: 3 ornamental/columnar trees; PLUS 24 small shrubs or 17 medium shrubs REQUIRED.
- Proposed –
South: 4 curbed planters are installed in the sidewalk next to the drive aisle, with the edge of each curbed planter approximately 6.63 feet from the building. Two (2) planter beds have a total of 10 small shrubs PLUS 2 planter beds are planted with a sedge plant. Curbed planter

beds are 3 feet wide and required width is 8-10 ft.

West of building, in adjacent parking island: 10 medium/large shrubs and 9 small shrubs (closest to west side of island)

Northwest of building: 17 small shrubs

North portion of parking lot in landscape beds near dumpster enclosure: 3 ornamental trees plus 10 large shrubs.

- Meets Requirement? – **TBD**
- Comment – The total plant count exceeds the required number of ornamental trees and shrubs however the plants are not located around the building foundation. Due to spatial constraints foundation landscaping is planted in other areas on the site. The plans did not clearly identify which plants are being counted as foundation plantings, in areas noted as “planted in the north portion of the parking lot”, thus staff made the best attempt to interpret that note and designate which plants would be counted. Also, the planter beds on the south side of the building do not meet the required minimum width of 8 feet. Planning Commission to determine if the proposed arrangement is consistent with the intent of the Ordinance standards for Foundation Landscaping, and if the planter bed width is acceptable.

C. Parking Lot Landscaping (Sec. 5.11.2.E.i.)

- Required – landscaped end caps for parking areas of 10 or more spaces; 1 canopy tree per 180 sq. ft. of interior area, with 50% of the interior area covered with small and medium evergreen and deciduous shrubs. The remaining landscape area may include a combination of groundcover, perennials, annuals, lawn and mulch plants.
- EQUATES TO: 10 canopy trees and parking islands with a mix of small and medium deciduous shrubs and perennial plants.
- Proposed – 10 canopy trees and a mix of deciduous shrubs and perennial plants that provide the required coverage.
- Meets Requirement? – Yes, with changes noted below
- Comment – several parking islands are planted primarily with perennial flowers and/or deciduous shrubs. Evergreen shrubs should be incorporated into each area to provide seasonal interest. The west endcap of the parking area west of the building should be widened to 10 feet in order to meet the landscape requirements and one (1) canopy tree should be located there.

D. Perimeter Landscaping – For areas visible from a public road (facing Highland Road and private road; Sec. 5.11.2.E.ii.a.)

Calculations for Perimeter Landscaping – parking lot facing Highland Road

- Required – Landscape berm planted with a combination of evergreen and deciduous shrubs to effectively screen parking lot; or evergreen hedge row a minimum 3 ft. in height; or decorative screen wall
- Proposed – 3-ft. evergreen hedge row along parking lot facing Highland Road, in Greenbelt Landscaping area
- Meets Requirement – Yes; see note below
- Comment – Evergreen shrubs in hedge row area under consideration as also counting towards required landscaping in the Greenbelt Landscaping area. Planning Commission to determine if the evergreen shrubs can be also counted as fulfilling requirement for Greenbelt Landscaping.

Calculations for Perimeter Landscaping – parking lot facing private road

- Required – Landscape berm planted with a combination of evergreen and deciduous shrubs to effectively screen parking lot; or evergreen hedge row a minimum 3 ft. in height; or

decorative screen wall

- Proposed – 57 evergreen shrubs, intended to fulfill Greenbelt requirements
- Meets Requirement – Yes; see note below
- Comment – An evergreen shrub screen could be counted for the Perimeter Landscaping requirement (screening of the parking lot) as well as Greenbelt requirement, however the proposed shrub (JT-Tamarax Juniper) is too short and will not reach the required 3-foot height within two years of planting, to serve as the required screening of the parking lot. An alternate evergreen shrub species should be chosen, possibly TMD (Dense Yew) to meet the height and screening requirement. Planning Commission to determine if the evergreen shrubs in the Greenbelt can be also counted for the Perimeter Landscaping (screening of parking lot), if a compliant evergreen shrub species was used.

E. Perimeter Landscaping – For areas not visible from a public road (Sec. 5.11.2.E.ii.b.) – along east side of east access drive in parking lot

- Required – 1 canopy or evergreen tree for every 30 ft., along with understory shrubs for screening purposes for perimeter areas not visible from a ROW. East access drive = 140 ft. EQUATES TO: 5 canopy or evergreen trees and understory shrubs for screening REQUIRED.
- Proposed – 50 deciduous shrubs plus 36 evergreen trees, planted between two retaining walls
- Meets Requirement? – Yes
- Comment – The evergreen trees could also fulfill the requirement for buffering or screening requirement between land uses (see next section). Planning Commission to determine if this is acceptable.

F. Buffering or Screening (Sec. 5.11.2.G.i.) – screening between land uses (east property line where abutting single family zoned property)

To be noted, there are two (2) proposed boulder landscape walls, placed between the back of the curb of the eastern access drive aisle and the property line. Each wall is approximately 30 inches in height and planting areas are provided. A 4-foot-wide area is provided between the back of curb and the first boulder wall, and a 7-foot-wide planting area is shown between that boulder wall and the second boulder wall. The second boulder wall terminates approximately one (1) foot from the east property line.

- Required – evergreen trees planted in staggered or clustered pattern with varying tree heights, planted in landscape bed associated with a boulder landscape wall
- Proposed – combination of 2 different evergreen trees, varying in height from 8ft. to 20 ft., placed in the planting area between the first and second boulder wall. A row of shrubs and lawn are proposed between the back of curb and the first boulder wall.
- Meets Requirement? – Yes
- Comment – The evergreen trees could also fulfill the requirement for perimeter screening requirement. Planning Commission to determine if this is acceptable.

Staff would suggest the row of deciduous shrubs by the lawn area could be eliminated and replaced with lawn between the back of curb and the first boulder wall, as this area is limited in width and the shrubs could overtake the space.

G. Screening of Ground Mounted Equipment (Sec. 5.11.2.G.iii.)

- Required – screening on three sides for utility cabinets (if 30 inches or more in height)
- Proposed – large evergreen shrubs (15 ft. height) on the sides of the transformer pad

- Meets Requirement? – Yes
- Comment – (none)

H. Detention/Retention Area Landscaping – NA (detention provided off-site)

I. Other landscaping comments

Staff is concerned about too much plant material in some areas on the site and intends to work with applicant on possible reduction of plant material prior to the submittal of the construction plans.

Sidewalks and Pathways (Sec. 5.12)

- Required – the Planning Commission may require sidewalks or safety paths as a condition of site plan approval
- Proposed – a 5-ft. wide concrete sidewalk shown along the perimeter of the building on the north; 10-ft. wide sidewalk shown on south side of building, where four (4) curbed planters are also located; 5 ft. wide sidewalk from parking lot on south side of site to connect to proposed 8-ft. wide bituminous safety/bike path within Highland Road right-of-way
- Meets Requirement? – Yes
- Comment – (none)

Lighting (Sec. 5.13)

A. Intensity

- Required – max. 0.5 fc along property line adjacent to residential; or max.1.0 fc along property line adjacent to non-residential; average fc between 2.4 and 3.6 in main parking area and an average of 5.0 fc at main building entrance; may not exceed 10 fc on site
- Proposed – photometric plan indicates an average of 0.1 fc along all property lines; average of 3.2 fc in the parking area; and average of 5.1 fc at building entrance. Footcandle value less than 10 fc throughout the site
- Meets Requirement? – Yes
- Comment – Photometric plan states the light intensity (footcandle values) were taken at ground level, and the Ordinance requires light intensity to be measured at five (5) feet above ground level. A revised plan should be required as part of the construction set of plans.

B. Fixture Height

- Required – 25' or the height of the principal building, whichever is less, measured from the ground level to the centerline of the light source
- Proposed – 20' total height (light poles plus base)
- Meets Requirement? – Yes
- Comment – (none)

C. Fixture Type

- Required – details of all lighting fixtures needed including specifications for shielding, wattage and illumination
- Proposed – specifications for proposed LED light fixtures are shown on the photometric plan for light pole fixture, wall mounted light fixtures, and light bollards.
- Meets Requirement? – Yes
- Comment – Light fixture A (wall mounted cylinder) is not permitted to emit light from the top of the cylinder (description on the cut sheet was not clear if this was a possibility). The light bollards should be shown on the site plan and landscape plan.

Water Supply and Wastewater Disposal (Sec. 5.16)

The proposed development will be served municipal water and sanitary sewer.

Architecture / Building Materials (Sec. 5.24)

Architecture Comments:

- Façade Materials Calculation – façade materials must comply with the specifications for Façade Materials Group #1; percentages are proposed as follows:

Materials Group #1: Proposed Façade Materials by Percentage by Elevation

Group #1	Clay Brick (30% min.) Clay brick prop.	Decorative concrete masonry unit (Split faced-25% max.)	Decorative concrete masonry unit (smooth face, Accent Block, B-3)*	Glass/Entries (50% max.)	Molded cornices/trim (15% Max.)
East	78.5%	13.0%	0.5%	1.0%	7.0%
South	53.6%	6.7%	1.4%	31.3%	7.0%
West	77.9%	12.8%	0.8%	1.5%	7.0%
NW	74.9%	10.5%	0.0%	7.6%	7.0%
North	76.0%	11.2%	0.0%	6.1%	6.7%

* Ground, polished or burnished concrete masonry units forming an accent element in the building's design may be permitted with Planning Commission approval.

- Colors: the renderings illustrate earth tone colors as required; all specifications are provided.
- Materials: percentages are listed for each elevation side as indicated by the table; specifications on all materials are provided.
- Meets Requirement? – **TBD**
- Comment – Planning Commission approval required for the use of smooth face decorative concrete masonry unit (Accent Block B-3), as an accent element.

Other Requirements-Zoning Ordinance Standards

Nothing additional at this time.

Hartland Township DPW Review

A review letter is provided from the Hartland Township DPW Director, dated January 19, 2021.

Hartland Township Engineer's Review (HRC)

The Township Engineer (HRC) has reviewed the Preliminary PD plans and recommends approval subject to items being addressed in the letter dated January 22, 2021.

Hartland Deerfield Fire Authority Review

The Hartland Deerfield Fire Authority has reviewed the plans and provided comments in the letter dated March 18, 2021. Approval is subject to the contingencies being addressed as outlined in the letter.

Attachments:

1. DPW Review letter, dated January 19, 2021 -*PDF version only*
2. Township Engineer (HRC) letter dated January 22, 2021-*PDF version only*
3. Hartland Deerfield Fire Authority letter, dated March 18, 2021-*PDF version only*

SP/SUP Application #21-003 Hungry Howie's

April 15, 2021

Page 14

4. Applicant Summary letter dated March 30, 2021 – *PDF version only*
5. Site Plans dated March 12, 2021

CC:

HRC, Twp Engineer (via email)

M. Luce, Twp DPW Director (via email)

A. Carroll, Hartland FD Fire Chief (via email)

T:\PLANNING DEPARTMENT\PLANNING COMMISSION\2021 Planning Commission Activity\Site Plan Applications\SUP #21-003 Hungry Howies\Staff reports\SUP #21-003 staff report TB 04.15.2021.docx



DEPARTMENT OF PUBLIC WORKS

Michael Luce, Public Works Director
2655 Clark Road
Hartland MI 48353
Phone: (810) 632-7498

TO: Planning Department
DATE: 01/19/2021
DEVELOPMENT NAME: Hungry Howies
PIN#: 11935 Highland Rd
APPLICATION #: 21-003
REVIEW TYPE: Site Plan

The Department of Public Works (DPW) has reviewed the site plans for the proposed Hungry Howie's Restaurant. This 4,549 square takeout food restaurants would require 6.83 Water and 6.83 Sewer REUs. Parcel 4708-21-401-006 does not have any REUs assigned to it.

	Sewer REUs	Water REUs
Owned	0	0
Required	6.83	6.83
# REUs Needed	6.83	6.83
Cost Each	\$9,439.20	\$5,816.01
Total Due Each	\$64,469.74	\$39,723.35
TOTAL REU COST	\$104,193.09	

Public Works approves the above plans subject to applicant securing the required number of REUs and the inclusion of the following details on the site plans and construction plans:

Prior to interior construction, applicant will be required to purchase a 2" water meter from the Township. Please contact the Public Works Department (810-632-7498) to purchase the water meter.

Please feel free to contact me with any further questions or comments regarding this matter, and thank you for your time.

Michael Luce
Public Works Director

January 22, 2021

Hartland Township
2655 Clark Road
Hartland, MI 48353

Attn: Mr. Troy Langer, Planning Director

Re: Site Plan Review
Hungry Howies – Bella Vita Outlot

HRC Job No 20210089.02

Dear Mr. Langer:

As requested, this office has reviewed the site plan for the above project as prepared Desine, Inc. (plans dated December 29, 2021). The following items will need to be addressed:

General

1. All permits are to be obtained prior to the start of construction. At this time, the permits for this development may include EGLE Water Main, LCDC Sanitary Sewer, and LCDC Soil Erosion.
2. Applicable standard detail sheets shall be attached to the plans.
3. Plans shall be signed and sealed by a professional engineer or architect licensed to practice in the State of Michigan.

Water Supply

1. The water supply improvements must be designed in accordance with the Hartland Township Engineering Design Standards.
2. The fire hydrant coverage must be reviewed and approved by the Hartland Area Fire Department.
3. The water main for the fire hydrant may need to be 8-inch diameter if the run is longer than 75 feet. The connection to the existing main will need to be done with a tapping, sleeve, valve and well.

Sanitary Sewer

1. The sanitary sewer improvements must be designed in accordance with the Hartland Township Engineering Design Standards and reviewed by the Livingston County Drain Commission.
2. Livingston County Drain Commission standard detail sheets must be included with the plan set.
3. The plans show the sanitary sewer connecting to an existing sewer lead. This lead was installed to service the outlot on the west side of the Golden Court. The connection from this building need to connect directly to the sanitary sewer and not the existing lead. Further discussions with the LCDC will need to determine the actual connection location. An easement may need to be dedicated that convers the existing lead across this property (if one does not exist).

Storm Drainage

1. The proposed storm water collection and detention systems must be designed in accordance with the Hartland Township and Livingston County Engineering Design Standards.

Paving & Grading

1. The proposed paving and grading improvements must be designed in accordance with Hartland Township Engineering Design Standards.

Subject to these items being addressed in the construction plans, we have no objection to the approval of the preliminary site plan. One (1) complete set of the construction plans should be submitted to the Township Planning Department for review.

If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.


Michael P. Darga, P.E.

MPD/mpd

pc: Hartland Twp., B. West, M. Wyatt, M. Luce
HRC; R. Alix, File



HARTLAND DEERFIELD FIRE AUTHORITY
FIRE MARSHALS OFFICE

Hartland Area Fire Dept.
3205 Hartland Road
Hartland, MI. 48353-1825

Voice: (810) 632-7676

E-Mail: jwhitbeck@hartlandareafire.com

To: Hartland Township Planning Commission
Attn: Zoning Department

Re: Hungry Howie's Plaza Request for Site Plan Review
Highland Road, Hartland MI 48353

March 18, 2021

This office has reviewed the Hartland Plaza Site Plan dated March 9, 2021.

We have the following comments regarding Unit #1, Unit #2 and Unit #3.

1. An address visible from the center of Highland Rd. right-of-way. Numbers shall be a minimum of 6 inches high, or at a height and width required to be visible from the centerline by a person with corrected or uncorrected 20/20 vision, (Ordinance #77-505.1)
2. As it is already serviced by municipal water, we highly recommend evaluating the cost comparison and numerous substantial advantages to a fire suppression system throughout the building. Aside from the obvious protection of life and property, there are many cost savings in construction, along with insurance cost savings that will exceed the cost of the system day one or over the next few years.
3. All emergency lighting and exit signage to be wired to a dedicated and labeled circuit breaker. (Ordinance #77-506.1.2)
4. A Supra Brand lock box to be installed prior to obtaining the certificate of occupancy. An order form can be supplied by the Fire Department to be ordered. (Ordinance #77-506.1)
5. A LadderPort Ladder Receiver (Type 1, Type 2, Type 3 or Type 4) would be installed for equipment and/or appliances installed on the rooftop, in a location as agreed upon by this office. (MBC306.5 & Ordinance #77-5401.1) Exception: If the commercial building is 100% protected by an approved automatic fire suppression system, the access may be located in the interior of the building. (Ordinance #77-504.1.1.1) The Ladder Port is on the current plans.
6. Plans for a Commercial Hood Suppression System shall be submitted to Brighton Fire Department for review. Once approved the set of plans shall be picked up and taken to the Livingston County Building Department to pull a permit. *Note: UL300 system tests will be conducted using a "wet test" using an agent recommended by the manufacturer. (Ordinance #77-105.7.1.1)
7. Once structural work is complete, contact this office to schedule an Emergency Services Communications Test, the results of which may require a bi-directional amplifier be installed for interior emergency communications. (Ordinance #77-509)
8. Ensure that all corners are serviceable by the turning radius requirements for our apparatus. Requirements are sent separately in an attached document.
9. On page 18 in the site plan, the schematics for a dry hydrant should not be considered for this project and has been crossed off.
10. The street name will have to be confirmed for the alarm system to send the proper signal for dispatch to correctly notify emergency services.
11. Outside doors should be labeled to signify the address of the occupancy or if it is a mechanical room.

The Fire Marshals office approves with the above contingencies the submittal. Any revised drawings affecting the Fire Department must be submitted for review.

Yours In Fire Safety,

Jennifer Whitbeck
Fire Inspector



jeffery a. scott architects p.c.
architects • engineers

MEMORANDUM

TO: Troy Langer, Planning Director
Planning Department
2655 Clark Rd
Hartland, MI 48353

FROM: Jeffery A. Scott, AIA
Jeffery A. Scott Architects P.C.

Daniel J. Westendorf
Jeffery A. Scott Architects P.C.

DATE: March 30th, 2021

RE: Hungry Howie's Plaza
11935 Highland Rd
Email from planning director dated 03/23/2021

JSA Project No.: 20082

RESPONSE MEMO for (Email from planning director dated 03/23/2021)

Planning Department Special Use Standards, Issued on 03/23/2021

Issued By – Troy Langer, Planning Director:

- 1) Provide a summary of the business model for the “pick-up” style restaurant, explaining that style of restaurant, how it differs from a fast-food/other restaurant with drive-through service and ordering stations/menu board; how food ordering and pick-up will occur, whether dining-in is an option, how many tables for dining-in, and generally the hours of operation for Hungry Howie's at least.**

***Response:** This project proposes to relocate the existing Hungry Howie's restaurant from the shopping center down the road to the proposed new building. The operations would be similar to that of the existing restaurant with the addition of a drive-up pick-up window. Hungry Howie's drive-up window and the window proposed for the future tenant on the other side of the building will be pick-up service only with no ordering or menu boards and therefore do not provide the vehicle stacking required of a full drive-thru facility. Customers will place an order for carry-out ahead of time via phone or internet and be provided a pick-up time, thereby eliminating wait times and stacked cars. When the customers arrive they will have the option to either park and walk into the restaurant to pick up their order or*

drive their vehicle up to the window. There are currently no proposed dine-in tables. Hungry Howie's is open Sunday thru Thursday 11am to 10pm and Friday/Saturday 11am to 12 midnight. It is anticipated that Tenant 1 (West side) will be of similar use and Tenant 2 (middle) will be a mercantile or business use.

- 2) In accordance with Section 6.6, Special Uses, of the Hartland Township Zoning Ordinance, the following standards shall serve the Planning Commission and Township Board as the basis for decisions involving such uses. The standards are provided below and responses to each criteria are requested from the applicant.**

- a. Be harmonious and in accordance with the objectives, intent, and purposes of this ordinance.**

***Response:** Through multiple design iterations and discussions with the city staff, the site and building designs for this irregularly shaped parcel have been massaged to provide a quality, functional design that complies with the ordinance. A special land use is being requested to grant drive-up pick-up windows on the East and West sides which will allow more flexibility for the tenants. The pick-up windows will improve safety by reducing the number of pedestrians walking thru the parking lot. Additionally, the pick-up windows will reducing the amount of parking spaces needed.*

- b. Be compatible with the natural environment and existing and future land uses in the vicinity.**

***Response:** The site is located on M-59 at the transition from commercial to office use and has the ability to accommodate either (or both) as the needs of the community change. The perimeter landscaping includes a landscaped rock retailing wall along the East property line bordering a CA- Conservation Agricultural site.*

- c. Be compatible with the Hartland Township Comprehensive Plan.**

***Response:** The Hartland Township Comprehensive Plan encourages green space visible from the road as is provided by the landscape buffer along M-59 and Golden Circle. The site shares the existing joint access road (Golden Court) instead of requiring an individual curb cut along M-59. It also requires clay brick construction which is proposed along with other quality building materials. The proposed project broke up the parking field by creating multiple smaller parking areas separated by landscaped areas as is encouraged by the township's Comprehensive Plan. Additionally*

- d. Be served adequately by essential facilities and public services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to adequately provide any such service.**

***Response:** The existing drive aisle (Golden Court) and the proposed utilities will adequately service the proposed development.*

- e. **Not be detrimental, hazardous, or disturbing to the existing or future neighboring uses, person, property, or the public welfare.**

***Response:** The proposed development is typical of other users along M-59 and in line with the township's Comprehensive Plan.*

- f. **Not create additional requirements at public cost for public facilities and services that will be detrimental to the economic welfare of the community.**

***Response:** The proposed development of the existing vacant site will increase the township tax base and not cause unreasonable strain on city services.*

Should you have any additional questions regarding this matter, please contact our office.

END OF MEMORANDUM

SITE AND CONSTRUCTION PLANS FOR

11935 HIGHLAND ROAD

HUNGRY HOWIES - HARTLAND, MI.

A PART OF THE SOUTHWEST 1/4 OF SECTION 22, T 3 N, R 6 E,
HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

LEGAL DESCRIPTION

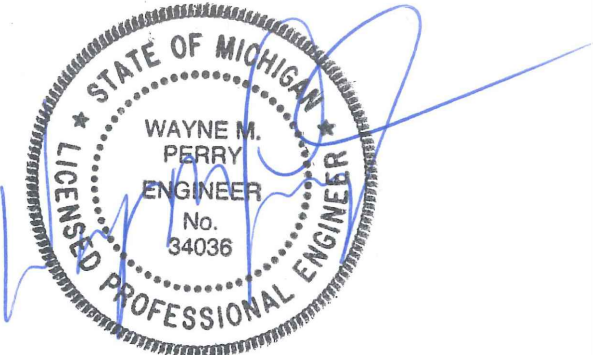
PART OF THE SOUTHWEST 1/4 OF SECTION 22, T03N-R06E, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, BEING FURTHER DESCRIBED AS: COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION; THENCE S88°17'15"E 2613.00 FEET ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION; THENCE N88°44'10" 545.79 FEET ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION; THENCE S01°00'12"W 1286.35 FEET TO THE POINT OF BEGINNING; THENCE S01°00'12"W 299.07 FEET TO THE NORTH RIGHT OF WAY LINE OF HIGHLAND ROAD (M-59); THENCE ALONG THE ARC OF A CURVE TO LEFT AN ARC DISTANCE OF 228.48 FEET, SAID CURVE HAVING A RADIUS OF 7799.50 FEET, CHORD BEARING AND DISTANCE OF S87°30'11"W 228.47 FEET AND CENTRAL ANGLE OF 01°40'42"; THENCE ALONG THE ARC OF A CURVE TO RIGHT AN ARC DISTANCE OF 36.5 FEET, SAID CURVE HAVING A RADIUS OF 126.53 FEET, CHORD BEARING AND DISTANCE OF N04°53'33"W 36.37 FEET AND CENTRAL ANGLE OF 16°31'42"; THENCE ALONG THE ARC OF A CURVE TO RIGHT AN ARC DISTANCE OF 152.58 FEET, SAID CURVE HAVING A RADIUS OF 230.00 FEET, CHORD BEARING AND DISTANCE OF N20°30'01"E 149.80 FEET AND CENTRAL ANGLE OF 38°00'37"; THENCE N39°30'59"E 155.41 FEET; THENCE ALONG THE ARC OF A CURVE TO LEFT AN ARC DISTANCE OF 18.29 FEET, SAID CURVE HAVING A RADIUS OF 230.00 FEET, CHORD BEARING AND DISTANCE OF N37°14'19"E 18.28 FEET AND CENTRAL ANGLE OF 04°33'21"; THENCE S 88°27'0" E, 74.23 FEET TO THE POINT OF BEGINNING, CONTAINING 1.25 ACRES, MORE OR LESS. SUBJECT TO AN EASEMENT FOR INGRESS-EGRESS BEING FURTHER DESCRIBED AS PART OF THE SOUTHWEST 1/4 OF SECTION 22, T03N-R06E, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, BEING FURTHER DESCRIBED AS: COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION; THENCE S88°17'15"E 2521.92 FEET ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION; THENCE S01°32'53"W 1653.55 TO THE RIGHT OF WAY LINE OF HIGHLAND ROAD (M-59); THENCE ALONG THE ARC OF CURVE TO THE RIGHT AN ARC DISTANCE OF 307.28 FEET, SAID CURVE HAVING A RADIUS OF 7799.50 FEET, CHORD BEARING AND DISTANCE OF N85°18'28"E 307.26 FEET AND CENTRAL ANGLE OF 02°15'26"; THENCE ALONG THE ARC OF CURVE TO THE LEFT AN ARC DISTANCE OF 41.15 FEET, SAID CURVE HAVING A RADIUS OF 70.00 FEET, CHORD BEARING AND DISTANCE OF N18°20'45"E 40.56 FEET AND CENTRAL ANGLE OF 33°40'45"; THENCE ALONG THE ARC OF CURVE TO THE RIGHT AN ARC DISTANCE OF 162.53 FEET, SAID CURVE HAVING A RADIUS OF 245.00 FEET, CHORD BEARING AND DISTANCE OF N20°30'41"E 159.57 FEET AND CENTRAL ANGLE OF 38°00'37"; THENCE N39°30'59"E 155.41 FEET; THENCE ALONG THE ARC OF CURVE TO THE LEFT AN ARC DISTANCE OF 144.52 FEET, SAID CURVE HAVING A RADIUS OF 215.00 FEET, CHORD BEARING AND DISTANCE OF N20°15'35"E 141.81 FEET AND CENTRAL ANGLE OF 38°30'47"; THENCE N01°00'12"E 401.32 FEET; THENCE S88°26'16"E 30.00 FEET; THENCE S01°00'12" W 401.32 FEET; THENCE ALONG THE ARC OF CURVE TO THE LEFT AN ARC DISTANCE OF 164.68 FEET, SAID CURVE HAVING A RADIUS OF 245.00 FEET, CHORD BEARING AND DISTANCE OF S20°15'35"W 161.60 FEET AND CENTRAL ANGLE OF 38°30'47"; THENCE 89°30'59"W 165.41 FEET; THENCE ALONG THE ARC OF CURVE TO THE LEFT AN ARC DISTANCE OF 121.07 FEET, SAID CURVE HAVING A RADIUS OF 215.00 FEET, CHORD BEARING AND DISTANCE OF S23°23'03"W 119.48 FEET AND CENTRAL ANGLE OF 32°15'52"; THENCE ALONG THE ARC OF CURVE TO THE RIGHT AN ARC DISTANCE OF 60.07 FEET, SAID CURVE HAVING A RADIUS OF 70.00 FEET, CHORD BEARING AND DISTANCE OF S17°19'50" E, 58.24 FEET AND CENTRAL ANGLE OF 49°09'54"; THENCE ALONG THE ARC OF CURVE TO THE LEFT AN ARC DISTANCE OF 61.85 FEET, SAID CURVE HAVING A RADIUS OF 7799.50 FEET, CHORD BEARING AND DISTANCE OF S86°39'49"W 61.85 FEET AND CENTRAL ANGLE OF 00°27'16" TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION OF RECORD PROVIDED BY CLIENT. SURVEYOR WAS NOT SUPPLIED WITH A TITLE SEARCH AT THIS TIME. REFER TO THE CURRENT POLICY FOR TITLE INSURANCE FOR PROOF OF OWNERSHIP AND ALL ENCUMBRANCES AFFECTING TITLE TO THE SURVEYED PARCEL.



SHEET INDEX

EX	EXISTING CONDITIONS & DEMOLITION PLAN
SP	SITE PLAN
GR	GRADING AND PAVING PLAN
UT	UTILITY PLAN
SW	STORMWATER PLAN
LA	LANDSCAPE PLAN
1 OF 3	SITE PHOTOMETRIC PLAN
3 OF 3	SITE PHOTOMETRIC PLAN
SE	SOIL EROSION AND WATERSHED PLAN, NOTES & DETAILS
FA	FIRE APPARATUS ACCESS PLAN
DT1	SITE IMPROVEMENT NOTES & DETAILS
DT2	SITE IMPROVEMENT NOTES & DETAILS
	HARTLAND TOWNSHIP PAVEMENT STANDARDS
	HARTLAND TOWNSHIP STORM SEWER STANDARDS
	HARTLAND TOWNSHIP STORM SEWER STANDARDS
	HARTLAND TOWNSHIP WATER MAIN STANDARDS
A1.0	FLOOR PLAN
A2.0	EXTERIOR ELEVATIONS



OWNER/DEVELOPER
8351 PETERSON INVESTMENT GROUP, LLC
1151 STONE BARN
MILFORD, MI. 48380

ARCHITECT
JEFFERY SCOTT ARCHITECTS, P.C.
32316 GRAND RIVER AVE. STE. 200
FARMINGTON, MI. 48336
(248) 476-8800

CIVIL ENGINEER/LAND SURVEYOR
DESINE INC.
2183 PLESS DRIVE
BRIGHTON, MI. 48114
(810) 227-9533

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(810) 227-9533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

REVISED	SCALE: N/A
02-12-21	PROJECT No.: 9203954
03-09-21	DWG NAME: 3954-COV
	PRINT: MAR. 09, 2021

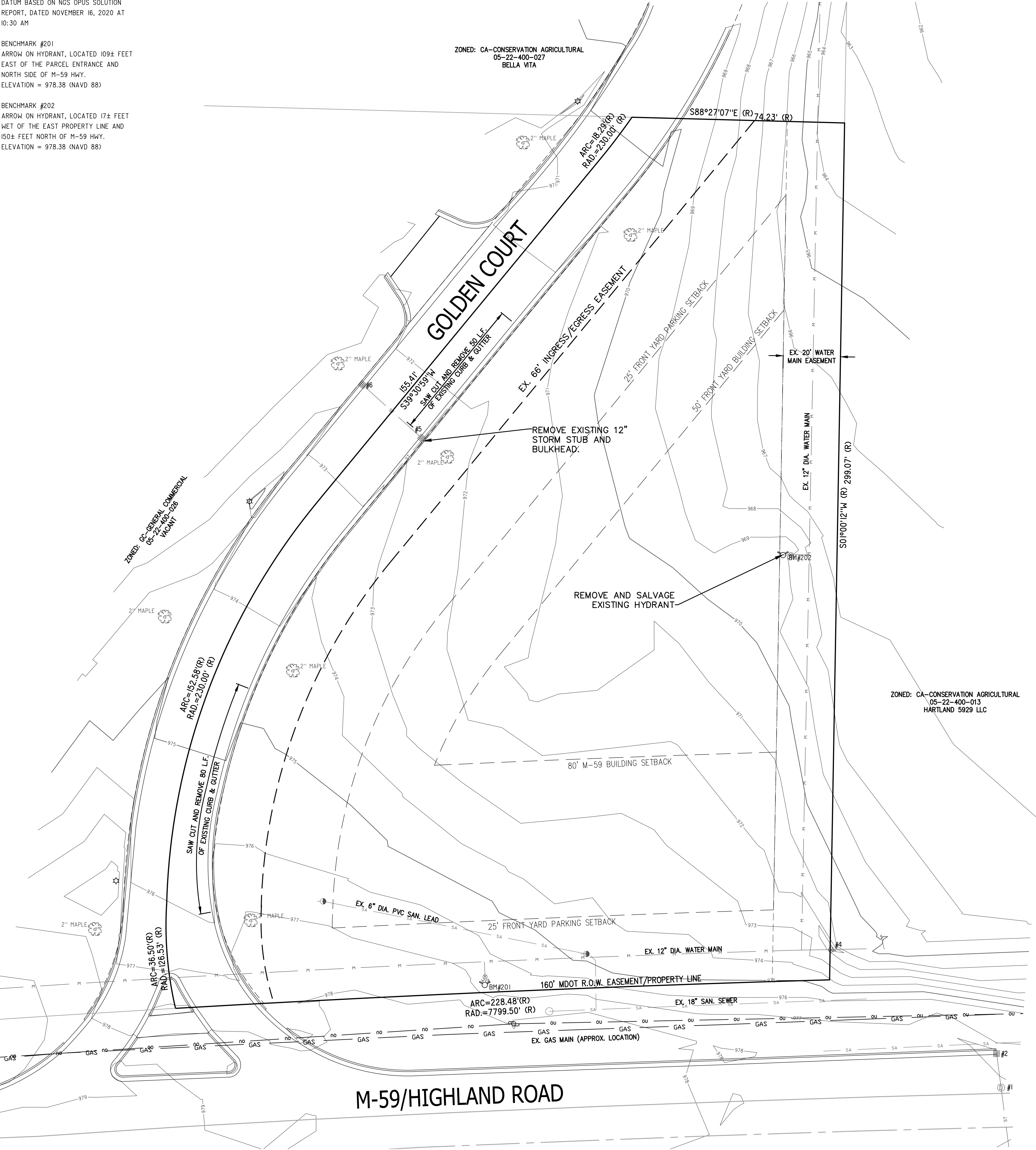
EXISTING UTILITY
STRUCTURE INVENTORY

INVERTS			
STORM MANHOLE #1			
NORTHERLY RIM	976.94		
INVERTS			
NORTHERLY 12" RCP	974.19		
SOUTHERLY 12" RCP	970.64		
CATCH BASIN #2			
ROAD SIDE RIM	976.73		
INVERTS			
SOUTHERLY 12" RCP	974.58		
GATE VALVE WELL #3			
NORTHERLY RIM	966.12		
INVERTS			
NLY - S'LY 12" IRON	960.92		
GATE VALVE WELL #4			
NORTHERLY RIM	973.52		
INVERTS			
E'LY - W'LY 12" IRON	968.39		
CATCH BASIN #5			
ROAD SIDE RIM	972.28		
INVERTS			
NORTHWESTERLY 12" RCP	967.03		
CATCH BASIN #6			
GUTTER	972.13		
INVERTS			
NORTHEASTERLY 18" RCP	966.73		
WESTERLY 18" RCP	967.08		
SOUTHEASTERLY 12" RCP (CAN'T SEE PIPE)			

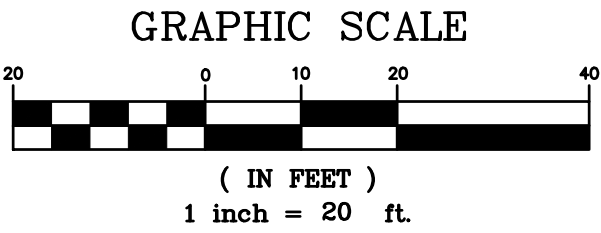
BENCHMARK
DATUM BASED ON NGS OPUS SOLUTION
REPORT, DATED NOVEMBER 16, 2020 AT
10:30 AM

BENCHMARK #201
ARROW ON HYDRANT, LOCATED 109± FEET
EAST OF THE PARCEL ENTRANCE AND
NORTH SIDE OF M-59 HWY.
ELEVATION = 978.38 (NAVD 88)

BENCHMARK #202
ARROW ON HYDRANT, LOCATED 17± FEET
WEST OF THE EAST PROPERTY LINE AND
150± FEET NORTH OF M-59 HWY.
ELEVATION = 978.38 (NAVD 88)



LEGEND	
	= MISC. STRUCTURE (AS LABELED)
	= SIGN
	= LIGHT BASE
	= STREET LIGHT
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	= EDGE OF GRAVEL
	= CONCRETE CURB (UNLESS OTHERWISE STATED)
	= SANITARY SEWER MANHOLE W/IDENTIFIER
	= SANITARY SEWER PIPE
	= CLEAN OUT
	= STORM WATER MANHOLE W/IDENTIFIER
	= CATCH BASIN W/IDENTIFIER
	= FLARED END SECTION
	= STORM WATER DRAINAGE PIPE
	= HYDRANT
	= WATER SHUT OFF
	= WATER VALVE
	= WATER VALVE BOX
	= WATER MAIN
	= GAS SHUT OFF
	= U/G GAS
	= SPOT ELEVATION
	= EXISTING 1' CONTOUR
	= EXISTING 5' CONTOUR



DEMOLITION NOTES:

- The demolition specifications of the Local Municipality are a part of this work. Refer to the General Notes on the project plans for additional requirements.
- Contractor shall contact the MISS DIG locating system, DIGGERS HOTLINE or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to performing demolition work. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
- Contractor shall contact the appropriate Agencies to coordinate disconnect of the electric, gas, phone, cable and other public utilities as necessary prior to performing demolition work.
- Contractor shall contact the appropriate Agencies to coordinate removal and/or relocation of any underground and/or overhead public utility lines as necessary prior to performing demolition work.
- Contractor shall recycle and/or dispose of all demolition debris in accordance with the appropriate Local, County, State and Federal regulations.
- All bituminous and concrete pavement to be removed shall be saw cut at the limits of removal to provide for a clean straight edge for future abutment.
- All existing irrigation lines to be removed shall be terminated at the limits of demolition or as necessary to allow for construction of the proposed site improvements. Ends of pipe shall be capped and the location of marked for future connection.
- All existing water main and sanitary sewer to be removed shall be terminated at the limits of demolition or as indicated on the project plans. Temporary plugs shall be installed in the ends of pipe in accordance with the appropriate Agency and the locations of marked for future connection. Permanent plugs shall be installed in the ends of pipe in accordance with the appropriate Agency. The Contractor shall record the location of all permanent plugs and provide the location information to the appropriate Agency.
- All existing storm sewer to be removed shall be terminated at the limits of demolition or as indicated on the project plans. Temporary plugs shall be installed in the ends of pipe in accordance with the appropriate Agency and the locations of marked for future connection. Permanent bulkheads shall be installed in the ends of pipe and/or openings in terminating structures in accordance with the appropriate Agency. The Contractor shall record the location of all permanent bulkheads and provide the location information to the appropriate Agency.
- All existing light sources to be removed shall have their power cables removed up to the power source or properly terminated for future connection at the limits of demolition or as necessary to allow for construction of the proposed site improvements. Removal and termination of power cables shall be performed in accordance with local electric codes.
- All existing utility meters to be removed shall be properly removed to allow for reuse. Any existing utility meters that are not to be reused as a part of this project shall be returned to the appropriate Agency.
- All trenches and/or excavations resulting from the demolition of underground utilities, building foundations, etc., that are located within the 1 on 1 influence zone of proposed structures, paved areas and/or other areas subject to vehicular traffic shall be backfilled with MDOT Class III granular material (or better) to the proposed subgrade elevation. Backfill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, modified proctor).

NOTE:
THERE ARE NO 8" DIAMETER TREES
LOCATED ON THE SUBJECT PARCEL.

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LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

DESIGN:WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: WMP						

11395 HIGHLAND ROAD
HUNGRY HOWIES
HARTLAND, MI.

EXISTING CONDITIONS
AND DEMOLITION
PLAN

CLIENT:
8351 PETERSON INVESTMENT GROUP, LLC

1151 STONE BARN
MILFORD, MI. 48380

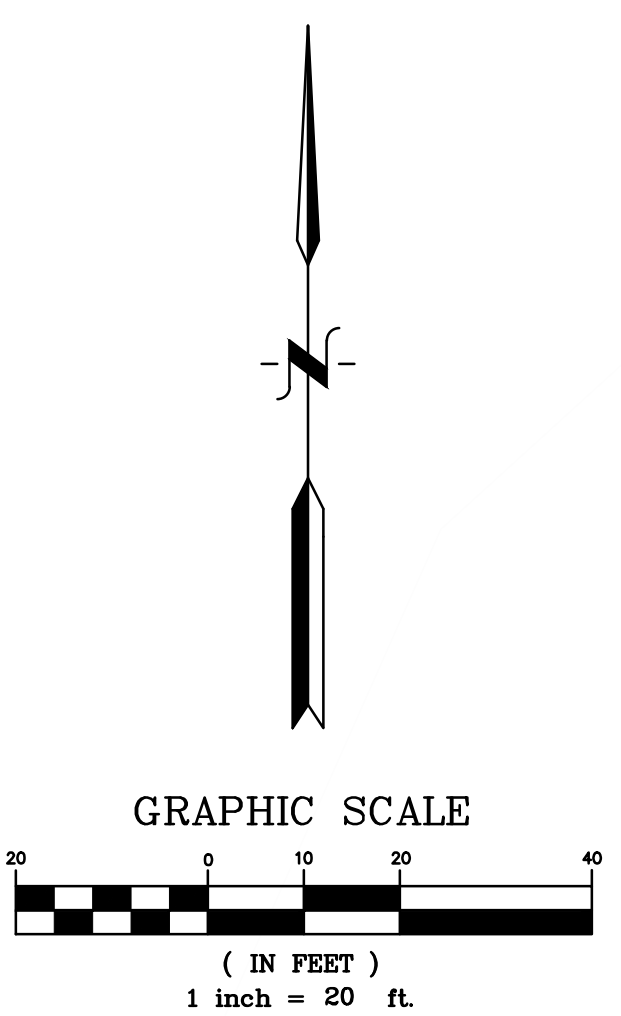
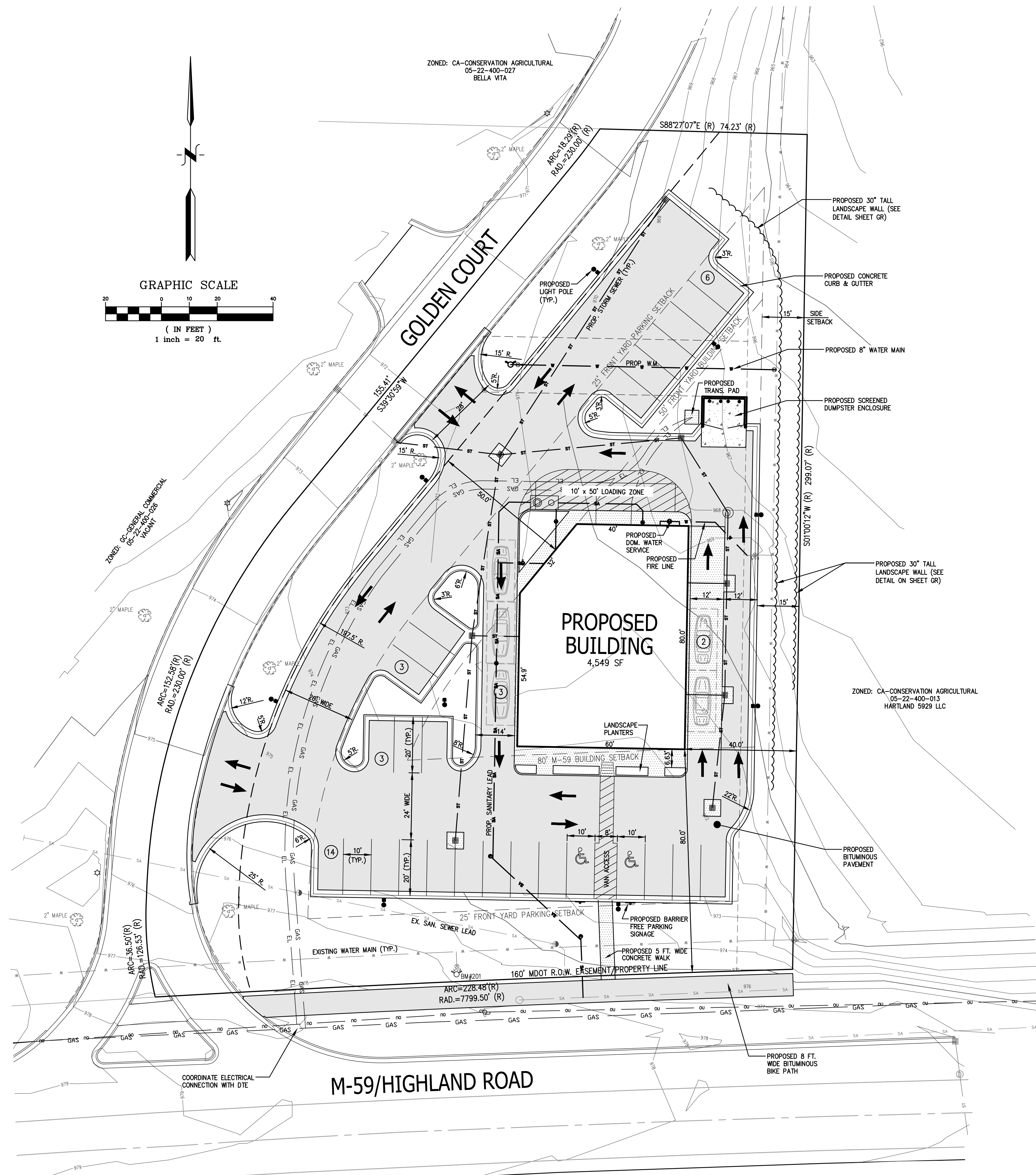
SCALE: 1"=20'

PROJECT No.: 9203954

DWG NAME: 3954-EX

ISSUED: DEC. 29, 2020

EX



- LEGEND**
- [Symbol] = MISC. STRUCTURE (AS LABELED)
 - [Symbol] = SIGN
 - [Symbol] = LIGHT BASE
 - [Symbol] = STREET LIGHT
 - [Symbol] = UTILITY METERS & BOXES (ELECTRIC METER, GAS METER, WATER METER, PHONE BOX, CATV BOX, MAIL BOX)
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 - [Symbol] = CLEAN OUT
 - [Symbol] = STORM WATER MANHOLE W/IDENTIFIER
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 - [Symbol] = FLARED END SECTION
 - [Symbol] = STORM WATER DRAINAGE PIPE
 - [Symbol] = HYDRANT
 - [Symbol] = WATER SHUT OFF
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 - [Symbol] = WATER MAIN
 - [Symbol] = GAS SHUT OFF
 - [Symbol] = U/G GAS
 - [Symbol] = SPOT ELEVATION
 - [Symbol] = EXISTING 1' CONTOUR
 - [Symbol] = EXISTING 5' CONTOUR
 - [Symbol] = PROPOSED LIGHT POLE
 - [Symbol] = PROPOSED WATER MAIN
 - [Symbol] = PROPOSED STORM SEWER
 - [Symbol] = PROPOSED STORM STRUCTURES
 - [Symbol] = PROPOSED CONCRETE WALK
 - [Symbol] = PROPOSED HEAVY DUTY CONCRETE PAVEMENT
 - [Symbol] = PROPOSED STANDARD DUTY BITUMINOUS PAVEMENT

SITE DATA:

PROJECT AREA:	1.25 ac.
CURRENT ZONING:	GC GENERAL COMMERCIAL
PROPOSED USE:	RETAIL; FOOD SERVICE
GROUND FLOOR AREA:	4,549 sq.ft.

	PROPOSED	REQUIRED
BUILDING HEIGHT:	SEE ARCH. PLANS	35 FEET
LOT COVERAGE:	8.3%	75%
SETBACKS:		
M-59	80.0'	80 FT.
GOLDEN CT.	50.0'	50 FT.
SIDE	40.0'	15 FT.
REAR	141.3'	N/A

PERCENT OF LOT COVERAGE OF BUILDINGS: 8.3%

IMPERVIOUS AREA: 29,742 SQ. FT. = 54.5%

PARKING REQUIREMENTS:

TENANT 1 (CARRY-OUT)	= 10 SPACES
TENANT 2 (OFFICE/RETAIL)	= 5 SPACES
TENANT 3 (CARRY-OUT)	= 10 SPACES
TOTAL PARKING REQ'D.	= 25 SPACES
PROVIDED PARKING:	= 26 SPACES

BENCHMARK
DATUM BASED ON NGS OPUS SOLUTION
REPORT, DATED NOVEMBER 16, 2020 AT 10:30 AM

BENCHMARK #201
ARROW ON HYDRANT, LOCATED 109± FEET EAST OF THE PARCEL ENTRANCE AND NORTH SIDE OF M-59 HWY.
ELEVATION = 978.38 (NAVD 88)

BENCHMARK #202
ARROW ON HYDRANT, LOCATED 17± FEET WEST OF THE EAST PROPERTY LINE AND 150± FEET NORTH OF M-59 HWY.
ELEVATION = 978.38 (NAVD 88)

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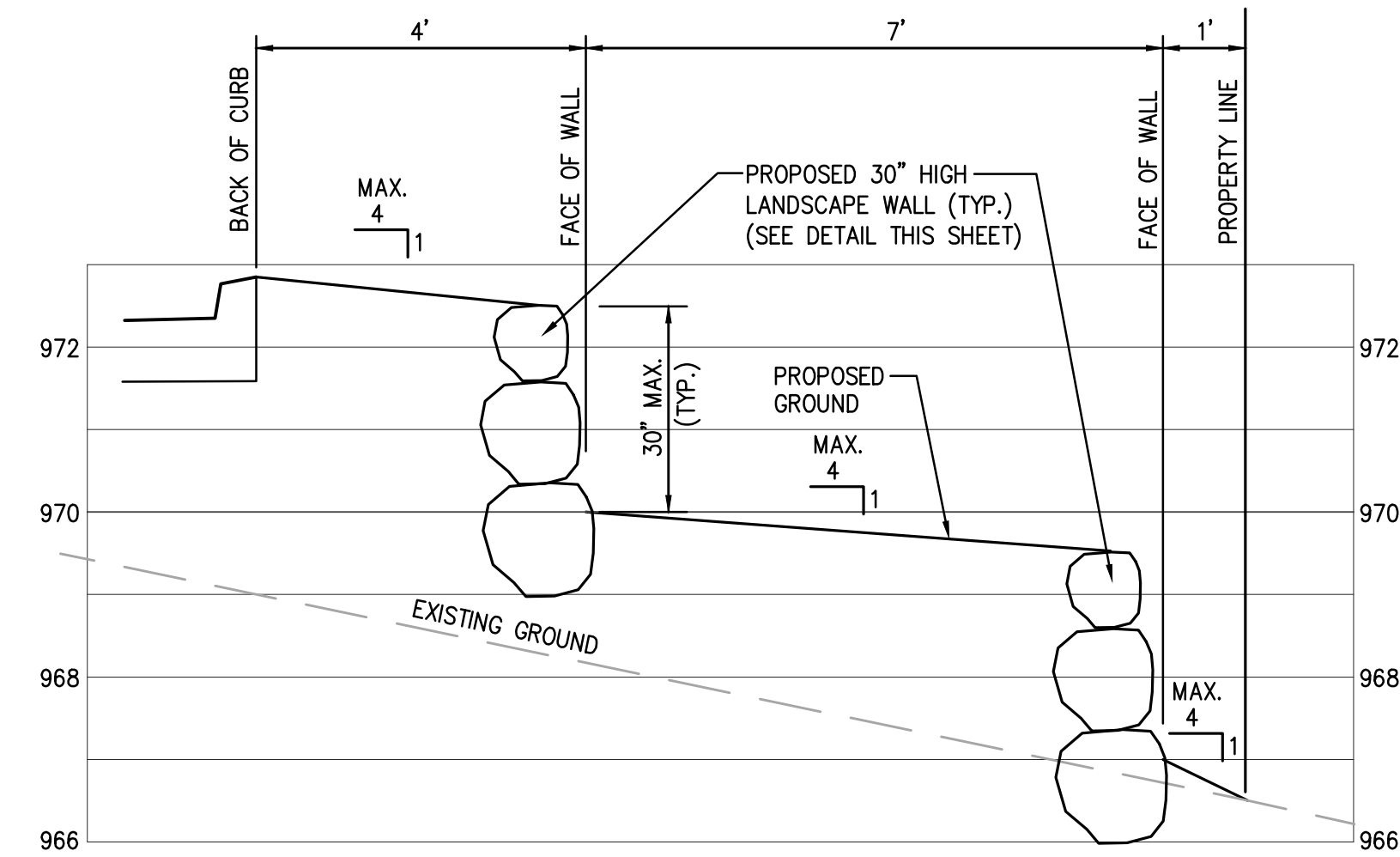
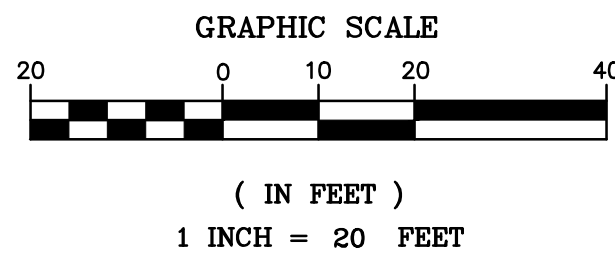
DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION	11935 HIGHLAND ROAD HUNGRY HOWIES HARTLAND TOWNSHIP	SITE PLAN	CLIENT: 8351 PETERSON INVESTMENT GROUP, LLC	SCALE: 1"=20'	PROJECT No.: 9203954	SP
DRAFT: L.F.		02-12-21	REVISED PER SITE PLAN REVIEW COMMENTS						1151 STONE BARN MILFORD, MI. 48380	DWG NAME: 3954-SP	ISSUED: MAR. 09, 2021	
CHECK: WMP		03-09-21	REVISED PER SITE PLAN REVIEW COMMENTS									

LEGEND

- MISC. STRUCTURE (AS LABELED)
- SIGN
- LIGHT BASE
- STREET LIGHT
- UTILITY METERS & BOXES (ELECTRIC METER, GAS METER, WATER METER, PHONE BOX, CATV BOX, MAIL BOX)
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- CONCRETE CURB (UNLESS OTHERWISE STATED)
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- SANITARY SEWER PIPE
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- WATER VALVE BOX
- WATER MAIN
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- SPOT ELEVATION
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
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- PROPOSED WATER MAIN
- PROPOSED STORM SEWER
- PROPOSED STORM STRUCTURES
- TOP OF WALK TOP OF PAVEMENT
- TOP OF CURB TOP OF PAVEMENT
- TOP OF WALL
- BOTTOM OF WALL
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- PROPOSED CONCRETE CURB & GUTTER W/STD. PITCH
- PROPOSED CONCRETE CURB & GUTTER W/REV. PITCH
- PROPOSED CONCRETE WALK
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED STANDARD DUTY BITUMINOUS PAVEMENT

LANDSCAPE WALL CROSS-SECTION A-A

SCALE: 1" = 2'



ROCKERY WALL NOTES:

- Non-reinforced gravity rockery walls shall not exceed 30 inches in height.
- The face of the rockery wall shall have a minimum batter of 15 degrees from vertical.
- Rockery walls shall be constructed on stable suitable soils or engineered fill. Unsuitable soils found within the 1 on 1 influence zone of the base of the wall, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced up to the proposed subgrade elevation with MDOT Class III granular material compacted to 95% maximum unit weight, modified proctor.
- Rocks shall be installed with the largest rocks at the base of the wall and then progressively smaller rocks as the height of the wall increases. Rocks utilized in construction of the rockery wall shall meet or exceed the minimum rock size requirements based on the wall height as specified in the Rock Size Description and Rock Size Designation Charts. Rocks shall be of sufficient quality and strength and shall be free of cracks, seams and foliation.
- The base course of rocks shall be embedded a minimum of 12" into the acceptable subgrade soils as measured at a point 4 feet in front of the face of wall. The long dimensions of the rock shall extend into the slope behind the rockery wall for maximum stability. Subsequent courses of rocks shall be placed to lock into the rocks in the lower course or tier.
- Proper drainage shall be provided behind the wall including a minimum of 12" of free drainage aggregate the entire height of the wall and a 4" minimum diameter drain tile behind the base of wall. The drain tile shall be extended beyond the face of wall to daylight at the ends of the wall, low points and at a maximum of 40 feet on center. Finish grade at the face of wall shall be graded to direct drainage away from the wall and shall not exceed a 1 on 3 slope.

ROCK SIZE DESIGNATION

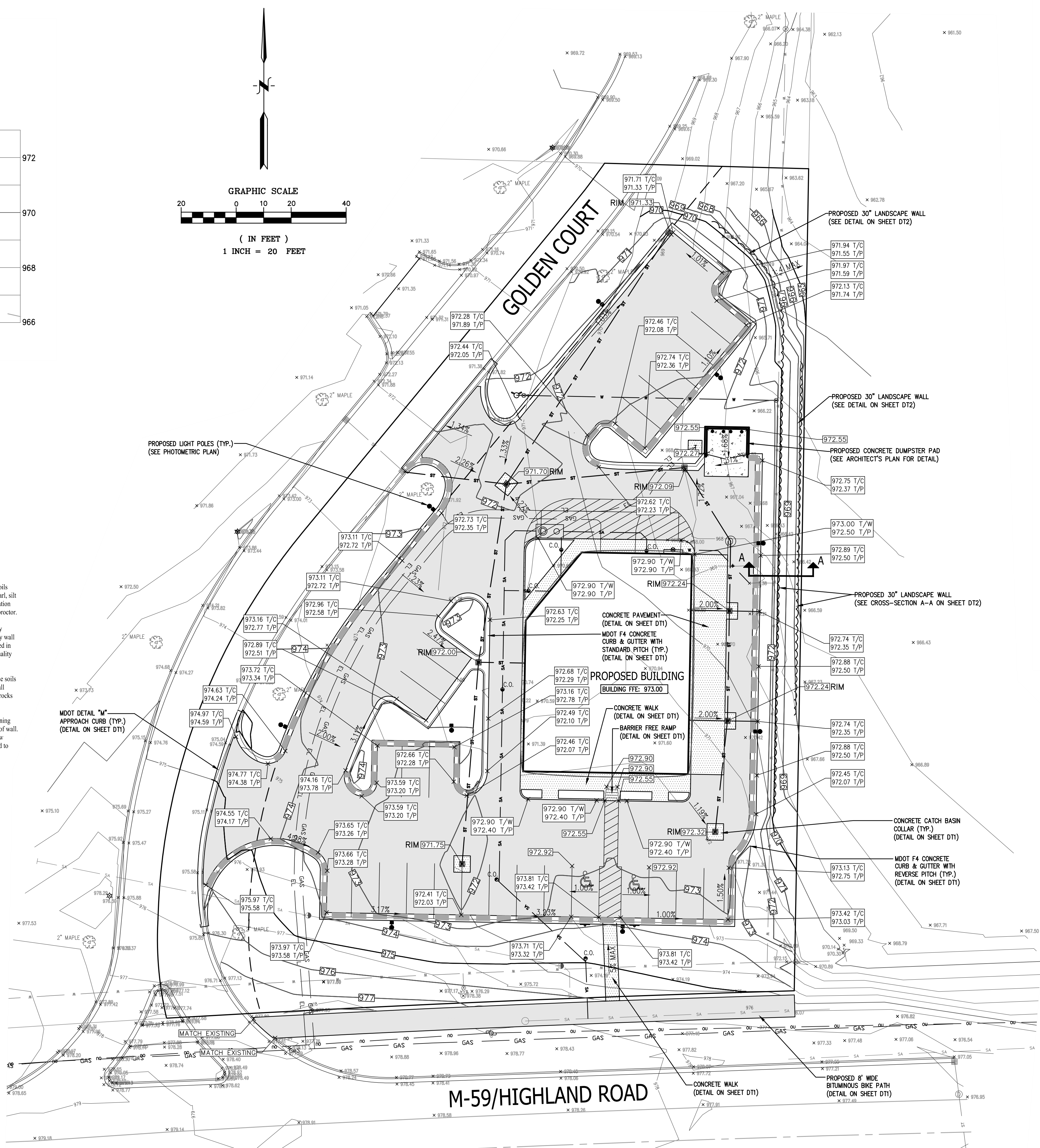
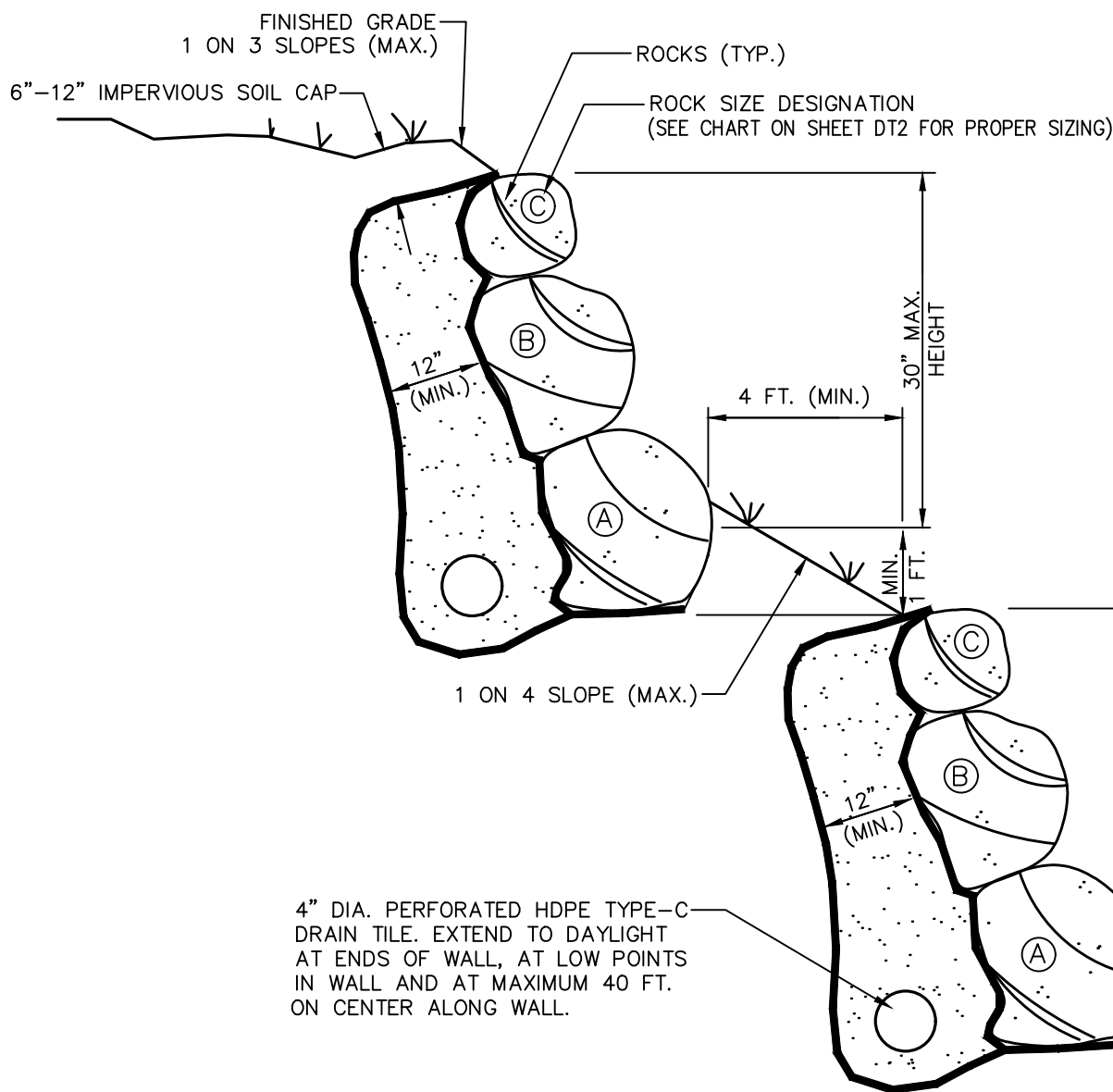
WALL HEIGHT 1/4" (FEET)	MINIMUM ROCK SIZE (MAN)	POSITION A	POSITION B	POSITION C
1	2	1	1	1
2	3	1	1	1
3	3	2	2	2
4	4	2	2	2
5	4	3	3	3
6	4	3	3	2

ROCK SIZE DESCRIPTION

ROCK SIZE	ROCK WEIGHT	AVERAGE DIMENSION
1-MAN	50-200 lbs.	12"-18"
2-MAN	200-700 lbs.	18"-28"
3-MAN	700-2,000 lbs.	28"-36"
4-MAN	2,000-4,000 lbs.	36"-48"
5-MAN	4,000-6,000 lbs.	48"-54"
6-MAN	6,000-8,000 lbs.	54"-60"

LANDSCAPE WALL DETAIL

NOT TO SCALE



BENCHMARK

DATUM BASED ON NOS OPUS SOLUTION REPORT, DATED NOVEMBER 16, 2020 AT 10:30 AM

BENCHMARK #201
ARROW ON HYDRANT, LOCATED 109+ FEET EAST OF THE PARCEL ENTRANCE AND NORTH SIDE OF M-59 HWY.
ELEVATION = 978.38 (NAVD 88)

BENCHMARK #202
ARROW ON HYDRANT, LOCATED 174 FEET WEST OF THE EAST PROPERTY LINE AND 150+ FEET NORTH OF M-59 HWY.
ELEVATION = 978.38 (NAVD 88)



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DESIGN:WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.		02-12-21	REVISED PER SITE PLAN REVIEW COMMENTS			
CHECK: WMP		03-09-21	REVISED PER SITE PLAN REVIEW COMMENTS			

HUNGRY HOWIES
HARTLAND, MI.

GRADING PLAN

CLIENT:
8351 PETERSON INVESTMENT GROUP, LLC

1151 STONE BARN
MILFORD, MI. 48380

SCALE: 1"=20'

PROJECT No.: 9203954

DWG NAME: 3954-GR

ISSUED: MAR. 09, 2021

GR

EXISTING UTILITY INVENTORY

INVERTS

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NORTHERLY RIM 976.94
INVERTS
NORTHERLY 12" RCP 974.19
SOUTHERLY 12" RCP 970.64

CATCH BASIN #2
ROAD SIDE RIM 976.73
INVERTS
SOUTHERLY 12" RCP 974.58

GATE VALVE WELL #3
NORTHERLY RIM 966.12
INVERTS
N'LY - S'LY 12" IRON 960.92

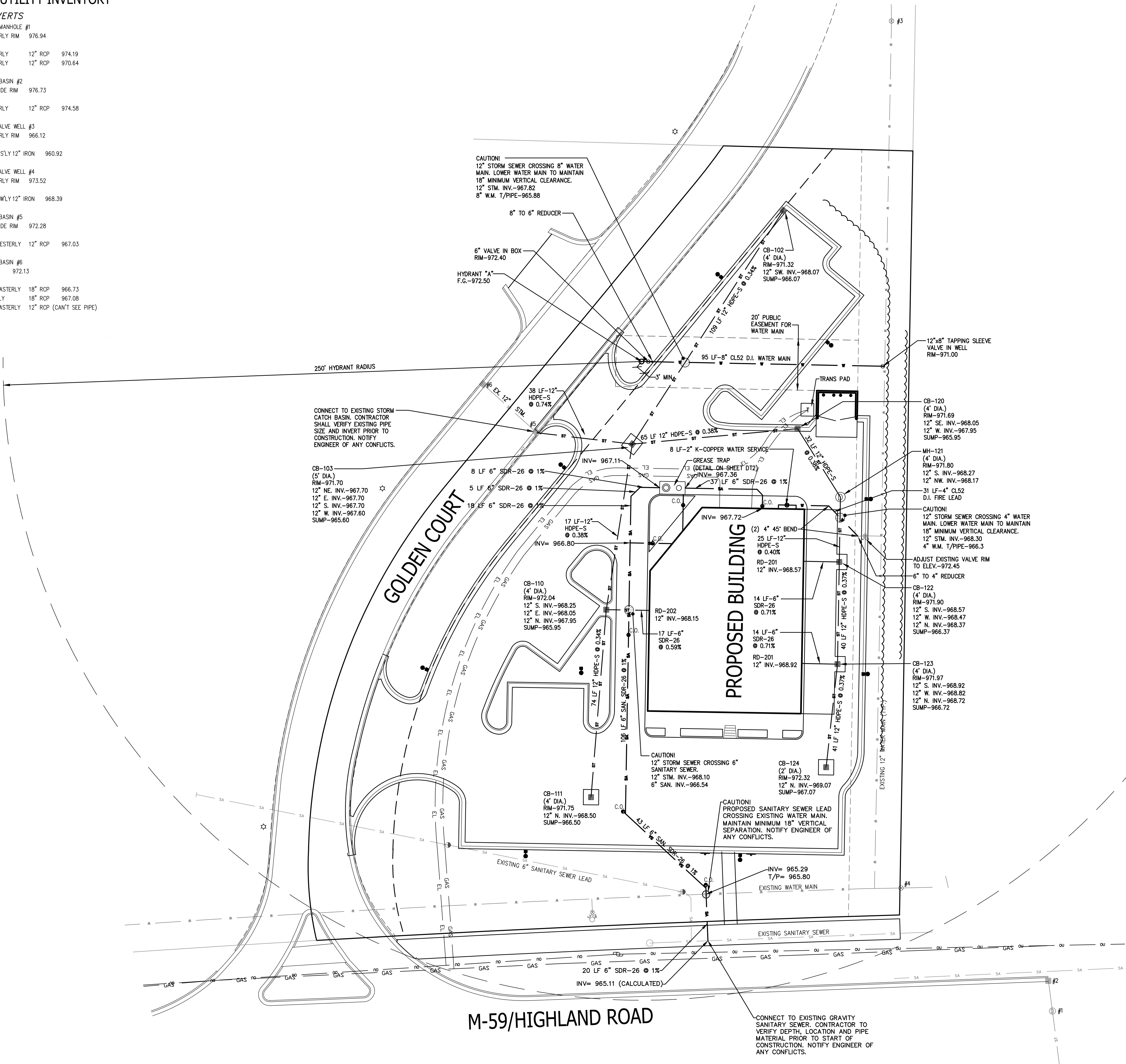
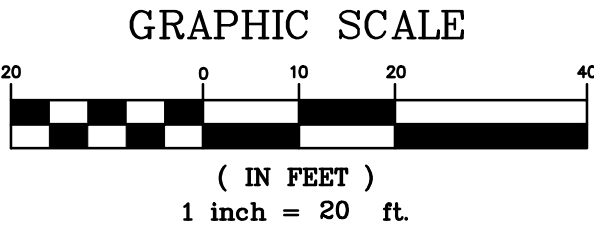
GATE VALVE WELL #4
NORTHERLY RIM 973.52
INVERTS
E'LY - W'LY 12" IRON 968.39

CATCH BASIN #5
ROAD SIDE RIM 972.28
INVERTS
NORTHWESTERLY 12" RCP 967.03

CATCH BASIN #6
GUTTER 972.13
INVERTS
NORTHEASTERLY 18" RCP 966.73
WESTERLY 18" RCP 967.08
SOUTHEASTERLY 12" RCP (CAN'T SEE PIPE)

LEGEND

- MISC. STRUCTURE (AS LABELED)
- SIGN
- LIGHT BASE
- STREET LIGHT
- UTILITY METERS & BOXES
(ELECTRIC METER, GAS METER, WATER METER,
PHONE BOX, CATV BOX, MAIL BOX)
- UTILITY MANHOLE (AS LABELED)
- UTILITY POLE W/GUY WIRE
- OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
- U/G UTILITY LINES (ELECTRIC/PHONE/CABLE)
- DECIDUOUS TREE W/IDENTIFIER
- CONIFEROUS TREE W/IDENTIFIER
- DECIDUOUS SHRUB
- EXISTING TREE DRIP LINE
- FENCE (CHAIN LINK UNLESS OTHERWISE STATED)
- EDGE OF GRAVEL
- CONCRETE CURB (UNLESS OTHERWISE STATED)
- SANITARY SEWER MANHOLE W/IDENTIFIER
- SANITARY SEWER PIPE
- CLEAN OUT
- STORM WATER MANHOLE W/IDENTIFIER
- CATCH BASIN W/IDENTIFIER
- FLARED END SECTION
- STORM WATER DRAINAGE PIPE
- HYDRANT
- WATER SHUT OFF
- WATER VALVE
- WATER VALVE BOX
- WATER MAIN
- GAS SHUT OFF
- U/G GAS
- SPOT ELEVATION
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED LIGHT POLE
- PROPOSED WATER MAIN
- PROPOSED STORM SEWER
- PROPOSED STORM STRUCTURES



SANITARY REU CALCULATIONS

STRUCTURE / CASTING SCHEDULE		
Structure	Diameter	Casting Type
Storm Sewer		
CB102 & 120	4 ft	EJWV 7000-M1-T1
MH121	4 ft	EJWV 1020 (FRAME) / TYPE-A (SOLID COVER)
CB103, CB110, CB111, & CB122	4 ft	EJWV 1020 (FRAME) / TYPE M1 (FLAT GRATE)
CB124	2 ft	EJWV 1020 (FRAME) / TYPE M1 (FLAT GRATE)
8" DIA ROOF DRAIN CLEANOUT (CO):		EJWV 1578Z-A
Sanitary Sewer		
CLEANOUT (C.O.):		EJWV 1574 A
MANHOLE (MH)		EJWV 1040 (SANITARY WATERTIGHT)

SANITARY REU CALCULATIONS

	Sewer REUs	Water REUs
Owned	0	0
Required	6.83	6.83
# REUs Needed	6.83	6.83
Cost Each	\$9,439.20	\$5,816.01
Total Due Each	\$64,469.74	\$39,723.35
TOTAL REU COST	\$104,193.09	

BENCHMARK

DATUM BASED ON NGS OPUS SOLUTION
REPORT, DATED NOVEMBER 16, 2020 AT 10:30
AM

BENCHMARK #201
ARROW ON HYDRANT, LOCATED 109± FEET
EAST OF THE PARCEL ENTRANCE AND NORTH
SIDE OF M-59 HWY.
ELEVATION = 978.38 (NAVD 88)

BENCHMARK #202
ARROW ON HYDRANT, LOCATED 17± FEET WEST
OF THE EAST PROPERTY LINE AND 150± FEET
NORTH OF M-59 HWY.
ELEVATION = 978.38 (NAVD 88)

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CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.		02-12-21	REVISED PER SITE PLAN REVIEW COMMENTS			
CHECK: WMP		03-09-21	REVISED PER SITE PLAN REVIEW COMMENTS			

11935 HIGHLAND ROAD
HUNGRY HOWIES
HARTLAND, MI.

UTILITY PLAN

CLIENT:
8351 PETERSON INVESTMENT GROUP, LLC

1151 STONE BARN
MILFORD, MI. 48380

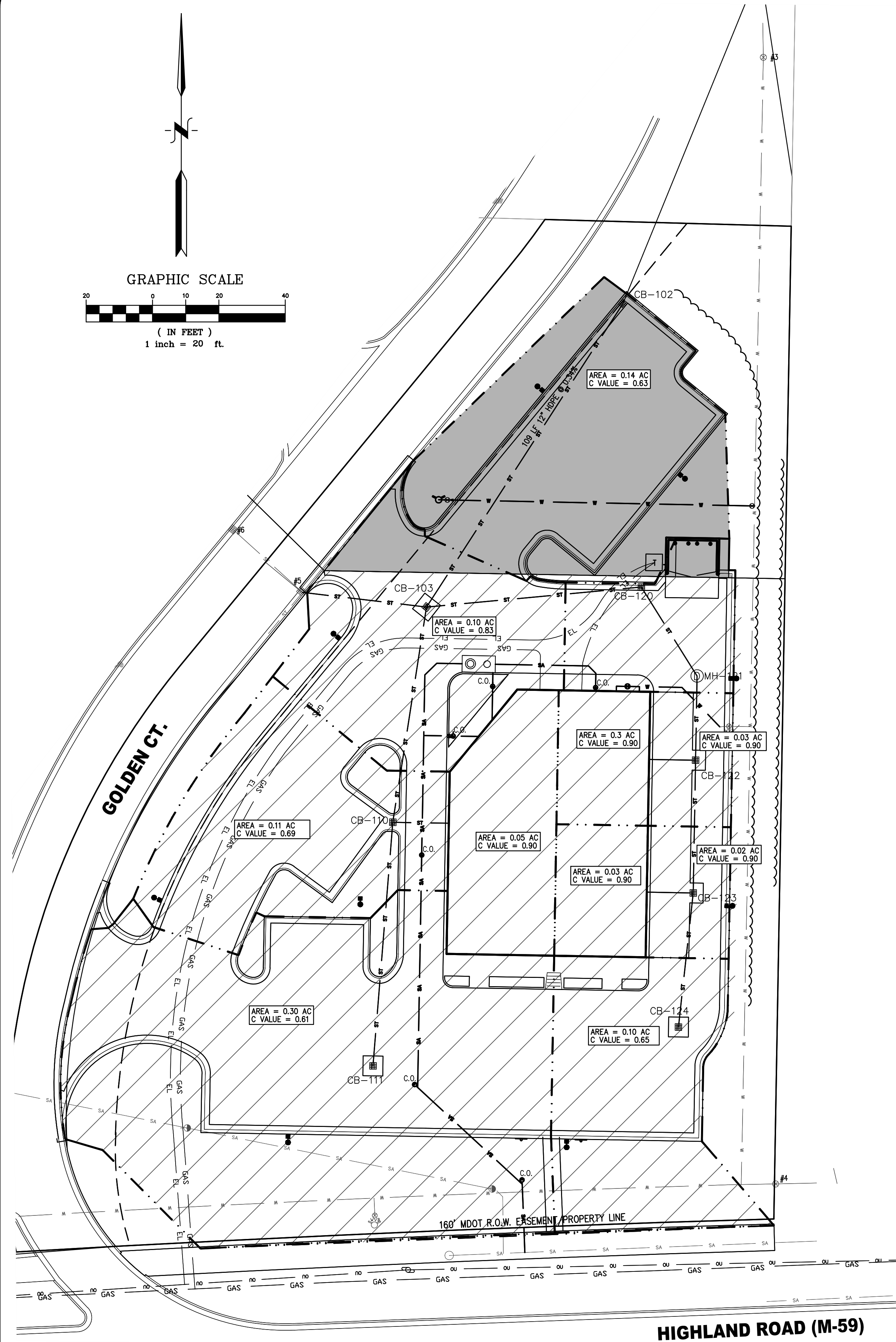
SCALE: 1"=20'

PROJECT No.: 9203954

DWG NAME: 3954-UT

ISSUED: MAR. 09, 2021

UT



C-VALUE CALCULATION:

DEVELOPMENT AREA DESIGNED C-VALUE									
"Area"	0.70	0.90	0.80	0.20	0.15	1.00	(ACRES)		
North	Gravel	Pavement	Building	Lawn	Woods	Water	Area	"C" Factor	
North							0.15	0.30	
South							0.79	0.70	

* Values taken from CHMP design calculations. Assumed C-Values taken from CHMP Construction Drawings

TOTAL AREA = 0.95
RUN-OFF COEFFICIENT = 0.64

DEVELOPMENT AREA PROPOSED C-VALUE									
"Area"	0.70	0.90	0.80	0.20	0.15	1.00	(ACRES)		
Total Area	Gravel	Pavement	Building	Lawn	Woods	Water	Area	"C" Factor	
Total Area	0.00	0.68	0.00	0.26	0.00	0.00	0.95	0.71	

TOTAL AREA = 0.95
RUN-OFF COEFFICIENT = 0.71

RUN OFF VOLUME CALCULATION:

OLD RUN OFF VOLUME CALCULATION:

DEVELOPMENT AREA DESIGNED 100 YR. VOLUME CALCULATION

Tributary Area (A) = 0.95 Acres

Run-off Coefficient (C) = 0.64

Design Constant (Ki) = 0.60

Allowable Outflow Rate (Qo)* = 0.19 cfs

LCDC REQUIREMENTS

100 YEAR STORM						
1	2	3	4	5	6	7
Duration (Minutes)	Duration (Seconds)	Intensity (100-yr Storm) (In/Hr)	Col. #2 x Col. #3 (Inches)	Inflow Volume = Col. #4 x Ki (Cu. Ft.)	Outflow Volume = Col. #2 x Qo (Cu. Ft.)	Storage Volume = Col. #5 - Col. #6 (Cu. Ft.)
5	300	9.17	2,750	1,651	57	1,594
10	600	7.86	4,714	2,830	113	2,717
15	900	6.88	6,188	3,714	170	3,544
20	1,200	6.11	7,333	4,402	227	4,176
30	1,800	5.00	9,000	5,403	340	5,063
60	3,600	3.24	11,647	6,992	680	6,311
90	5,400	2.39	12,913	7,752	1,021	6,731
120	7,200	1.90	13,655	8,197	1,361	6,837
180	10,800	1.34	14,488	8,697	2,041	6,656
240	14,400	1.04	14,943	8,971	2,722	6,249

Note: > Figures in Columns (3) are computed by the formula $I = 275 / (t + 25)$ (i.e. 100=yr Curve)

* Allowable outflow rate Qo is computed by one of the following cases:

Case 1: Qo = capacity of existing discharge conduit or channel.

Case 2: Qo = q * A where q = Permissible discharge rate per acre of tributary area = 0.20 cfs / Acre

STORMWATER NOTES:

ADDITIONAL VOLUME WILL BE GENERATED BY DEVELOPING PORTIONS OFF SITE.

PROPOSED VOLUME GENERATED (NEW C VALUES) - FORMER ASSUMED VOLUME GENERATED (OLD C VALUES) = ADDITIONAL VOLUME GENERATED BY DEVELOPMENT.

7,745 - 6,837 = 908 CU. FT. ADDITIONAL

DETENTION BASIN INFO:

100-YEAR VOLUME PER CHMP CALCULATIONS = 50,266 CU. FT.
NEW 100-YEAR VOLUME POST PROPOSED DEVELOPMENT = 50,266 + 908 = 51,174 CU. FT.
DETENTION BASIN VOLUME PROVIDED PER CHMP CALCULATIONS = 55,427 CU. FT.

PIPE CAPACITY CALCULATIONS:

Hartland Township Hungry Howie's																	
Design Criteria: 10 yr event (I = 175/t + 25) RCP n= 0.013 SLCPP n= 0.010																	
From MH# CB# FES#	To MH# CB# FES#	Inc. 0.00	"A" "C"	Eqv. Area 100% CA	Total Area 100% CA	T Time Min.	I Inch Per Hour	Q (CIA) c.f.s.	Dia. of pipe inch	Slope pipe %	Slope H.G. %	Length of line ft.	Vel. Flow full ft./sec.	Time of flow min.	Cap of pipe c.f.s.	H.G. Elev. upper end	Invert Elev. Upper end Lower end
CB124	CB123	0.10	0.65	0.06	0.06	15.0	4.38	0.28	12	0.37	0.01	41	2.74	0.2	2.15	969.92	972.32 971.97 969.07 968.92
RD201	CB123	0.03	0.90	0.02	0.02	15.0	4.38	0.10	12	0.71	0.00	14	3.83	0.1	3.01	969.82	- 971.97 968.92 968.82
CB123	CB122	0.02	0.90	0.02	0.11	15.2	4.35	0.47	12	0.37	0.02	40	2.78	0.2	2.18	969.58	971.97 971.90 968.72 968.57
RD200	CB122	0.03	0.90	0.02	0.02	15.2	4.35	0.10	12	0.71	0.00	14	3.83	0.1	3.01	969.47	- 971.90 968.57 968.47
CB122	MH121	0.03	0.90	0.02	0.15	20.0	3.89	0.60	12	0.40	0.03	25	2.87	0.1	2.25	969.30	971.90 971.80 968.37 968.27
MH121	CB120	0.00	0.00	0.00	0.15	20.1	3.88	0.59	12	0.38	0.03	32	2.78	0.2	2.18	969.30	971.80 971.69 968.17 968.05
CB120	CB103	0.05	0.89	0.04	0.19	15.3	4.34	0.84	12	0.38	0.06	65	2.81	0.4	2.21	969.32	971.69 971.70 967.95 967.70
CB111	CB110	0.30	0.61	0.18	0.18	15.7	4.30	0.79	12	0.34	0.05	74	2.64	0.5	2.07	969.29	971.75 972.40 968.50 968.25
RD202	CB110	0.05	0.90	0.05	0.05	16.2	4.25	0.21	12	0.59	0.00	17	3.48	0.1	2.73	969.05	- 972.04 968.15 968.05
CB110	CB103	0.11	0.69	0.07	0.31	20.0	3.89	1.19	12	0.38	0.11	66	2.79	0.4	2.19	968.77	972.04 971.70 967.95 967.70
CB102	CB103	0.14	0.63	0.09	0.09	20.0	3.89	0.33	12	0.34	0.01	109	2.64	0.7	2.08	968.71	971.32 971.70 968.07 967.70
CB103	EX CB5	0.10	0.83	0.09	0.67	15.0	4.38	2.94	12	0.74	0.68	38	3.89	0.2	3.06	968.58	971.70 972.40 967.60 967.32
EX CB5	EX CB6	0.10	0.90	0.09	0.76	15.2	4.36	3.32	12	0.80	0.87	28	4.23	0.1	3.19	968.24	972.40 972.40 967.22 967.00

LEGEND

NORTH AREA - C VALUE 0.30
SOUTH AREA - C VALUE 0.70
PROPOSED DRAINAGE AREAS

NEW RUN OFF VOLUME CALCULATION:

DEVELOPMENT AREA PROPOSED 100 YR. VOLUME CALCULATION

Tributary Area (A) = 0.95 Acres

Run-off Coefficient (C) = 0.71

Design Constant (Ki) = 0.67

Allowable Outflow Rate (Qo)* = 0.19 cfs

LCDC REQUIREMENTS

100 YEAR STORM						
1	2	3	4	5	6	7
Duration (Minutes)	Duration (Seconds)	Intensity (100-yr Storm) (In/Hr)	Col. #2 x Col. #3 (Inches)	Inflow Volume = Col. #4 x Ki (Cu. Ft.)	Outflow Volume = Col. #2 x Qo (Cu. Ft.)	Storage Volume = Col. #5 - Col. #6 (Cu. Ft.)
5	300	9.17	2,750	1,834	57	1,777
10	600	7.86	4,714	3,144	113	3,030
15	900	6.88	6,188	4,126	170	3,956
20	1,200	6.11	7,333	4,890	227	4,663
30	1,800	5.00	9,000	6,001	340	5,661
60	3,600	3.24	11,647	7,766	680	7,086
90	5,400	2.39	12,913	8,611	1,021	7,590
120	7,200	1.90	13,655	9,105	1,361	7,745
180	10,800	1.34	14,488	9,661	2,041	7,619
240	14,400	1.04	14,943	9,964	2,722	7,243

Note: > Figures in Columns (3) are computed by the formula $I = 275 / (t + 25)$ (i.e. 100=yr Curve)

* Allowable outflow rate Qo is computed by one of the following cases:

Case 1: Qo = capacity of existing discharge conduit or channel.

Case 2: Qo = q * A where q = Permissible discharge rate per acre of tributary area = 0.20 cfs / Acre

STORM STRUCTURE TABLE

CB102 RIM: 971.32
CB103 RIM: 971.70
CB110 RIM: 972.40
CB111 RIM: 971.75
CB120 RIM: 971.69
MH121 RIM: 971.80
CB122 RIM: 971.90
CB123 RIM: 971.97
CB124 RIM: 972.32

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BRIGHTON, MICHIGAN 48114

DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.		02-12-21	REVISED PER SITE PLAN REVIEW COMMENTS			
CHECK: WMP		03-09-21	REVISED PER SITE PLAN REVIEW COMMENTS			

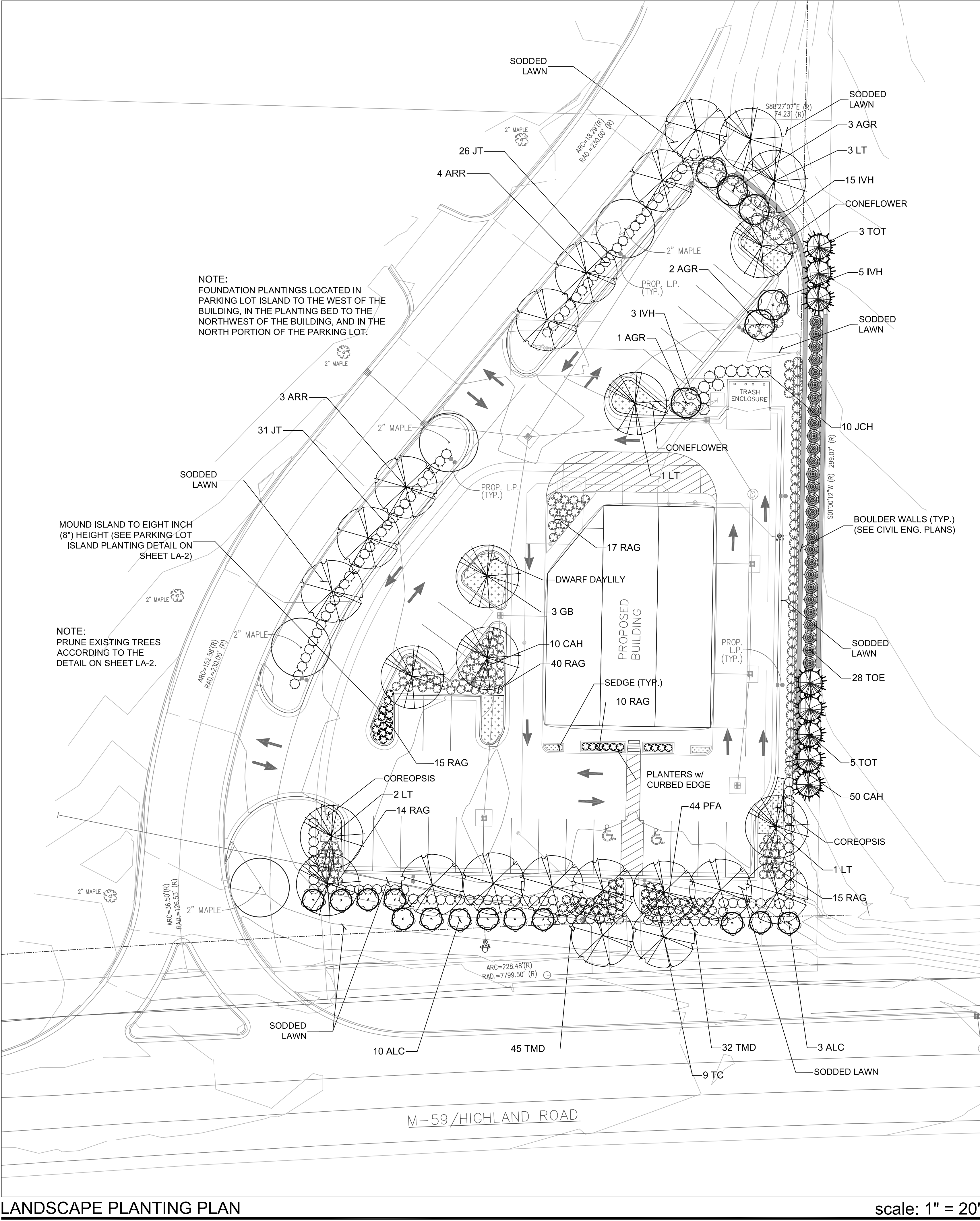
11935 HIGHLAND ROAD
HUNGRY HOWIES
HARTLAND, MI.

STORMWATER CALCULATIONS
PLAN

CLIENT:
8351 PETERSON INVESTMENT GROUP, LLC
1151 STONE BARN
MILFORD, MI. 48380

SCALE: 1"=20'
PROJECT No.: 9203954
DWG NAME: 3954-SW
ISSUED: MAR. 09, 2021

SW

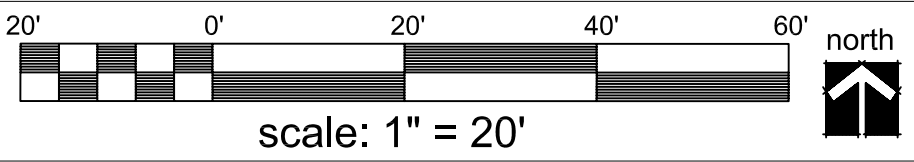


PLANT LIST			
KEY	QTY.	BOTANICAL NAME	COMMON NAME
GREENBELT (Highland Road)			
ALC	13	<i>Amelanchier laevis</i> 'Cumulus'	Cumulus Serviceberry
PFA	44	<i>Potentilla fruticosa</i> 'Abbottswood'	Abbottswood Shrub Cinquefoil
RAG	29	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac
TC	9	<i>Tilia cordata</i> 'Greenspire'	Greenspire European Linden
GREENBELT (Golden Court)			
ARR	7	<i>Acer rubrum</i> 'Red Sunset'	Red Sunset Red Maple
FOUNDATION PLANTING (South elevation - in grade level planters)			
RAG	10	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac
CP	38	<i>Carex pensylvanica</i>	Pennsylvania Sedge
FOUNDATION PLANTING (Remaining elevations - in parking lot island west & north of building)			
AGR*	6	<i>Amelanchier x grandiflora</i>	Robin Hill
CAH	10	<i>Clethra alnifolia</i> 'Hummingbird'	Hummingbird Summersweet
RAG	57	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac
INTERIOR PARKING LOT PLANTING			
GB	4	<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Maidenhair Tree
LT	6	<i>Liriodendron tulipifera</i>	Tuliptree
IVH	23	<i>Itea virginiana</i> 'Henry's Garnet'	Henry's Garnet Sweetspire
RAG	15	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac
CVM	98	<i>Coreopsis verticillata</i> 'Moonbeam'	Moonbeam Threadleaf Coreopsis
EPM	110	<i>Echinacea purpureum</i>	Pixie Meadowbrite
HHR	116	<i>Hemerocallis</i> sp. 'Happy Returns'	Happy Returns Dwarf Daylily
PERIMETER PARKING LOT PLANTING			
JT	57	<i>Juniperus tamariscifolia</i>	Tamarax Juniper
TMD	77	<i>Taxus x media</i> 'Densiformis'	Densiformis Yew
BUFFER PLANTING			
CAH	50	<i>Clethra alnifolia</i> 'Hummingbird'	Hummingbird Summersweet
TOT	8	<i>Thuja occidentalis</i> 'Techny'	Techny Upright Arborvitae
TOE	28	<i>Thuja occidentalis</i> 'Emerald'	Emerald Green Upright Arborvitae
GENERAL SITE PLANTING			
JCH	10	<i>Juniperus chinensis</i> 'Hetz Columnaris'	Hetz Columnar Upright Juniper
* Located in north portion of the parking lot but counted as foundation planting.			

LANDSCAPE CALCULATIONS:

- GREENBELT**
- Hartland Road (228.48 l.f.)**
- * One (1) canopy tree for every 30 l.f. or portion thereof of lot frontage equals 8 trees
 - * Three (3) ornamental trees or large shrubs for the initial 40 l.f. equals 3 ornamental trees
 - * One (1) ornamental tree or large shrub for every 20 l.f. of remaining frontage equals 9 trees
- Golden Court (326.27 l.f.)**
- * One (1) canopy tree for every 30 l.f. or portion thereof of lot frontage equals 11 trees
- FOUNDATION PLANTING (130 l.f.)**
- South Elevation (60 l.f.)**
- * One (1) ornamental tree per 30 l.f. equals 2 trees
 - * Eight (8) small shrubs per 30 l.f. equals 16 shrubs
- Remaining Elevations (208 l.f.)**
- * Sixty percent (60%) of building frontage to include foundation plantings equals 125 l.f.
 - * One (1) ornamental tree per 30 l.f. equals 4 trees
 - * Six (6) medium shrubs or eight (8) small shrubs per 30 l.f. equals 25 medium shrubs or 33 small shrubs
- PARKING LOT LANDSCAPING & PERIMETER PLANTING**
- Landscaping within Parking Lots (1,828 sq. ft.)**
- * One (1) deciduous shade tree or ornamental tree shall be provided for each 180 sq. ft. of interior planting island
 - * 1,828 sq. ft. divided by 1 tree per 180 sq. ft. equals 10 trees
 - * Fifty percent (50%) of the interior planting island to consist of small and medium shrubs
 - * 914 sq. ft. divided by 1 shrub per 16 sq. ft. equals 57 shrubs
 - * Fifty percent (50%) of the interior planting island to consist of groundcover, perennials, annuals, or mulch
 - * 914 sq. ft. divided by 1 perennial per 4 sq. ft. equals 230 perennials
- Perimeter Planting for Parking Lots**
- * For parking lots visible from a public street, a berm, wall, or evergreen hedge (30" min. ht.) will be installed
 - * For parking lots not visible from a public street, one (1) tree shall be installed for every 30 l.f.

NOTE:
* See Sheet LA-2 for notes, typical unit planting detail and corresponding plant list, planting details, landscape berm detail, and pruning detail.



date: December 30, 2020
revised:
02-24-2021 Revise for Township review.
03-11-2021 Revise for Township review.

LANDSCAPE PLAN FOR:
Jeffery A. Scott Architects
32316 Grand River Ave.
Suite 200
Farmington, Michigan 48336
(248) 476-8800

PROJECT LOCATION:
Hungry Howie's
Retail Center
11935 Highland Road
Hartland Township,
Michigan

LANDSCAPE PLAN BY:
Nagy Devlin Land Design
31736 West Chicago Ave.
Livonia, Michigan 48150
(734) 634-9208

STATE OF MICHIGAN
J. BRIAN DEVLIN
NO. 1260
LANDSCAPE ARCHITECT

AUTOCAD SIGNATURE
ORIGINAL IN BLUE



LA-1: LANDSCAPE PLANTING PLAN

* Base data provided by Desine, Inc.

PLANTING

1. Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by Hartland Township, Michigan.
2. The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
3. The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
4. Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
5. Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
6. The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
7. When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
8. Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Only natural color shredded hardwood bark mulch will be accepted.
9. Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems.
10. All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
11. Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
12. All lawn areas shall be seeded with a Grade A Kentucky Blue Grass blend over the topsoil. Existing lawn in generally good condition but with bare, sparse, or weedy areas must be renovated by filling in low areas, raking, overseeding, and top dressing all sparse and bare spots and continuing with a weed and feed program.
13. All plantings shall be completed within three (3) months, and no later than November 30, from the date of issuance of a certificate of occupancy if such certificate is issued during the April 1 thru September 30 period; if the certificate is issued during the October 1 thru March 31 period, the planting shall be completed no later than the ensuing May 31; plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
14. Plant trees and shrubs no closer than the following minimum distances from sidewalks, curbs, and parking stalls:

a. Shade/Canopy Trees	Three feet (3')
b. Ornamental/Flowering Trees	Five feet (5')
c. Evergreen Trees	Ten feet (10')
d. Evergreen/Flowering Shrubs	Four feet (4')

 Trees and shrubs shall not be planted within ten feet (10') of a fire hydrant.
15. Backfill directly behind all curbs and along sidewalks and compact to the top of the curbs or walk to support vehicle and pedestrian weight without settling.
16. All landscape areas, especially parking lot islands and landscape beds next to buildings shall be excavated of all building materials and poor soils to a depth of twelve inches to eighteen inches (12"-18") and backfilled with good, medium-textured planting soil (loam or light yellow clay loam). Add four inches to six inches (4"-6") of topsoil over the fill material and crown a minimum of six inches (6") above the top of curbs and/or walks after earth settling unless otherwise noted on the landscape plan.
17. Conversion of all asphalt and gravel areas to landscape planting beds shall be done in the following manner:
 - a. Remove all asphalt, gravel, and compacted earth to a depth of six inches to eighteen inches (6"-18") depending on the depth of the sub base and dispose of off site;
 - b. Call the Township for an inspection prior to backfilling;
 - c. Replace excavated material with good, medium-textured planting soil (loam or light yellow clay loam) to a minimum of two inches (2") above the top of the curb and sidewalk, add four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth settling, unless otherwise noted on the landscape plan.
 If conversion from asphalt to landscape occurs in or between an existing landscape area(s), replace excavated material from four inches to six inches (4"-6") below adjacent existing grade with good, medium-textured planting soil (loam or light yellow clay loam) and add four inches to six inches (4"-6") of topsoil to meet existing grades after earth settling.
18. Edging shall consist of Ryerson Steel edging, Perma-Loc aluminum edging, spaded edge, or approved equivalent.
19. Elevate the rootballs of Yew shrubs to allow for better drainage.

MATERIAL

1. Required landscape material shall satisfy the criteria of the *American Association of Nurserymen Standards for Nursery Stock* and be: a. Nursery grown; b. State Department of Agriculture inspected; c. No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted); d. Staked, wrapped, watered, and mulched according to the details provided; and e. Guaranteed for one (1) year.
2. Topsoil shall be friable, fertile soil of clay loam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay clumps, coarse sand, plant roots, sticks, and other foreign materials.
3. The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/Sheri/Adelphi" at sixty percent (60%), Chewing Fescue at twenty-five percent (25%), Creeping Red Fescue at ten percent (10%), and Perennial Rye Grass at five percent (5%). Weed content shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
4. Sod shall be two (2) year old "Baron/Sheri/Adelphi" Kentucky Blue Grass blend grown in a sod nursery on loam soil.
5. Proposed perennials shall be full, well-rooted plants.
6. Gallery Pear (*Pyrus calleryana*) and Norway Maple (*Acer platanoides*) shall not be substituted for any tree species in the plant list. Contact the Landscape Architect for acceptable plant substitutions.

GENERAL

1. Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
2. The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
3. The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
4. All landscape areas including parking lot islands shall be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering.
5. All written dimensions override scale dimensions on the plans.
6. Report all changes, substitutions, or deletions to the Owner's representative.
7. All bidders must inspect the site and report any discrepancies to the Owner's representative.
8. All specifications are subject to change due to existing conditions.
9. The Owner's representative reserves the right to approve all plant material.
10. All ground mounted mechanical units shall be screened on three (3) sides with living plant material.

MAINTENANCE OF GENERAL LANDSCAPE AREAS

1. The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
2. The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), pruning at appropriate times, watering, and snow removal during winter.
3. The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
4. All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or within one (1) year, whichever comes first.
5. Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
6. All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.
7. Annual beds shall be kept free of weeds and mulched with sphagnum peat of a neutral pH as needed. Perennial beds shall be kept free of weeds and mulched with fine textured shredded bark as needed. Cut spent flower stalks from perennial plants at regular intervals.

NOTES:

- STAKE TREES UNDER FOUR INCH (4") CALIPER.
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- SET TOP OF BALL THREE INCHES (3") ABOVE FINISH GRADE.
- SET STAKES VERTICAL & EVENLY SPACED.
- STAKES OR GUYS TO BE SECURED ABOVE THE FIRST BRANCH.
- DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
- REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE DAMAGE.

- ① STAKE TREE JUST BELOW FIRST BRANCH USING TWO INCH TO THREE INCH (2"-3") WIDE BELT-LIKE MATERIAL OF NYLON, PLASTIC, OR OTHER ACCEPTABLE MATERIAL. (NO WIRE OR HOSE TO BE USED TO GUY TREES.)
- ② THREE (3) GUYS EVENLY SPACED PER TREE. REMOVE AFTER ONE (1) WINTER SEASON.
- ③ 2 x 2 HARDWOOD STAKES. POSITION SIX INCHES TO EIGHT INCHES (6"-8") OUTSIDE OF ROOTBALL AND EXTEND EIGHTEEN INCHES (18") BELOW TREE PIT INTO UNDISTURBED SOIL.
- ④ APPLY TREE WRAP AND SECURE WITH A BIODEGRADABLE MATERIAL AT TOP AND BOTTOM. REMOVE AFTER ONE (1) WINTER.
- ⑤ SHREDDED BARK MULCH OF A NATURAL COLOR AT FOUR INCH (4") MINIMUM DEPTH. LEAVE A THREE (3") CIRCLE OF BARE SOIL AT THE BASE OF THE TREE.
- ⑥ MOUND TO FORM TREE SAUCER.
- ⑦ FINISH GRADE SLOPED AWAY FROM TREE.
- ⑧ CUT AND REMOVE WIRE, BURLAP, AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- ⑨ WIDTH OF ROOTBALL ON EACH SIDE.
- ⑩ PLANTING MIX SHALL BE AMENDED PER SITE CONDITIONS AND PLANT REQUIREMENTS.
- ⑪ SCARIFY BOTTOM AND SIDES OF PLANTING PIT TO FOUR INCH (4") DEPTH.

NOTES:

- * STAKE ALL EVERGREEN TREES UNDER TWELVE FEET (12') HIGH.
- * GUY ALL EVERGREEN TREES TWELVE FEET (12') HIGH AND OVER.
- * CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- * NEVER CUT CENTRAL LEADER. PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES.
- * SET STAKES VERTICAL AND EVENLY SPACED.
- * REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

- ① STAKE TREE AS INDICATED USING TWO INCH TO THREE INCH (2"-3") WIDE BELT-LIKE MATERIAL OF NYLON, PLASTIC, OR OTHER ACCEPTABLE MATERIAL. (NO WIRE OR HOSE TO BE USED TO GUY TREES). (THREE (3) GUYS EVENLY SPACED PER TREE. REMOVE AFTER ONE (1) WINTER SEASON.
- ② 2 x 2 HARDWOOD STAKES. POSITION SIX INCHES TO EIGHT INCHES (6"-8") OUTSIDE OF ROOTBALL AND EXTEND EIGHTEEN INCHES (18") BELOW TREE PIT INTO UNDISTURBED SOIL.
- ③ SHREDDED BARK MULCH OF A NATURAL COLOR AT FOUR INCH (4") MINIMUM DEPTH. LEAVE A THREE INCH (3") CIRCLE OF BARE SOIL AT THE BASE OF THE TREE.
- ④ MOUND TO FORM TREE SAUCER.
- ⑤ FINISH GRADE SLOPED AWAY FROM TREE.
- ⑥ CUT AND REMOVE WIRE, BURLAP, AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- ⑦ PLANTING MIX SHALL BE AMENDED PER SITE CONDITIONS AND PLANT REQUIREMENTS.
- ⑧ WIDTH OF ROOTBALL ON EACH SIDE.
- ⑨ SCARIFY BOTTOM AND SIDES OF PLANTING PIT TO FOUR INCH (4") DEPTH.

GENERAL NOTES FOR ALL PLANTINGS:

- * DO NOT CUT CENTRAL LEADER.
- * REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER NON-BIODEGRADABLE MATERIALS (EXCEPT LABEL FOR PLANT NAME) FROM PLANT STEMS OR CROWN WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
- * PLANTS SHALL BEAR THE SAME RELATION TO FINISH GRADE AS IT BORE TO THE PREVIOUS GRADE IN THE NURSERY. SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING GRADE IF PLANTING IN CLAY SOILS.
- * CENTER THE ROOTBALL IN THE PLANTING HOLE. LEAVE THE BOTTOM OF THE PLANTING HOLE FIRM. USE WATER TO SETTLE THE PLANTING MIX AND REMOVE ANY AIR POCKETS AND FIRMLY SET THE TREE OR SHRUB. GENTLY TAMP IF NEEDED.

NOTE:

- * **CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.**
- * **PERENNIALS TO BE PLANTED UP TO THE EDGE OF THE SAUCER AROUND A TREE OR SHRUB BED.**

- ① SEE PLANT LIST FOR SPACING DISTANCE.
- ② SHREDDED HARDWOOD BARK OF A NATURAL COLOR MULCH AT FOUR INCH (4") MINIMUM DEPTH.
- ③ 3/16" x 4" ALUMINUM EDGING (OR APPROVED EQUIVALENT) OR SPADED EDGE.
- ④ EXCAVATE PLANTING BED AND BACKFILL WITH PREPARED PLANTING MIX AT A TEN INCH (10") DEPTH.
- ⑤ UNDISTURBED SUBGRADE.
- ⑥ PLANTING MIX TO CONSIST OF EQUAL PARTS OF SAND, LEAF COMPOST, AND NATIVE SOIL.
- ⑦ LAWN.

NOTE:

- * See Sheet LA- 1: LANDSCAPE PLANTING PLAN for overall planting plan, plant list, and summary of landscape requirements.

date: March 11, 2021
revised:

scale: as indicated



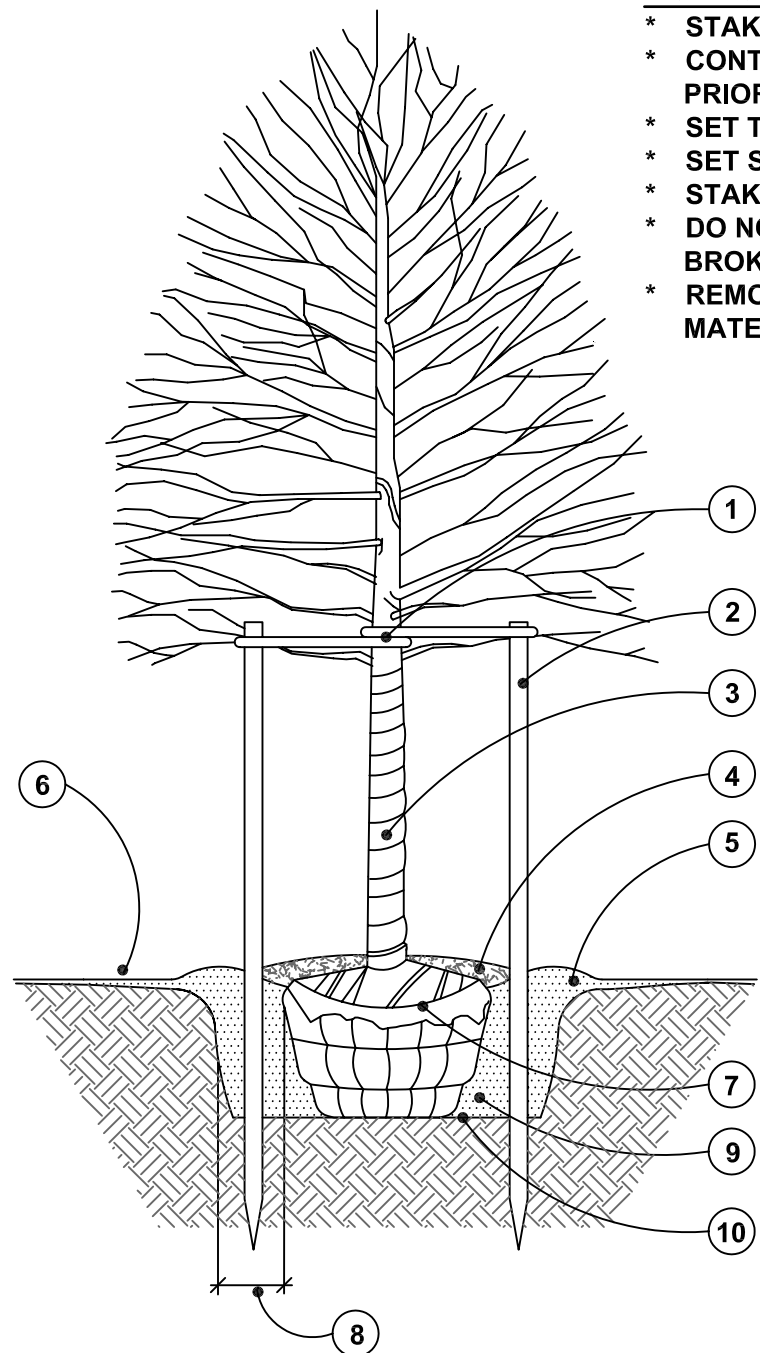
LANDSCAPE PLAN FOR:
Jeffery A. Scott Architects
32316 Grand River Ave.
Suite 200
Farmington, Michigan 48336
(248) 476-8800

PROJECT LOCATION
Hungry Howie's
Retail Center
11935 Highland Road
Hartland Township
Michigan

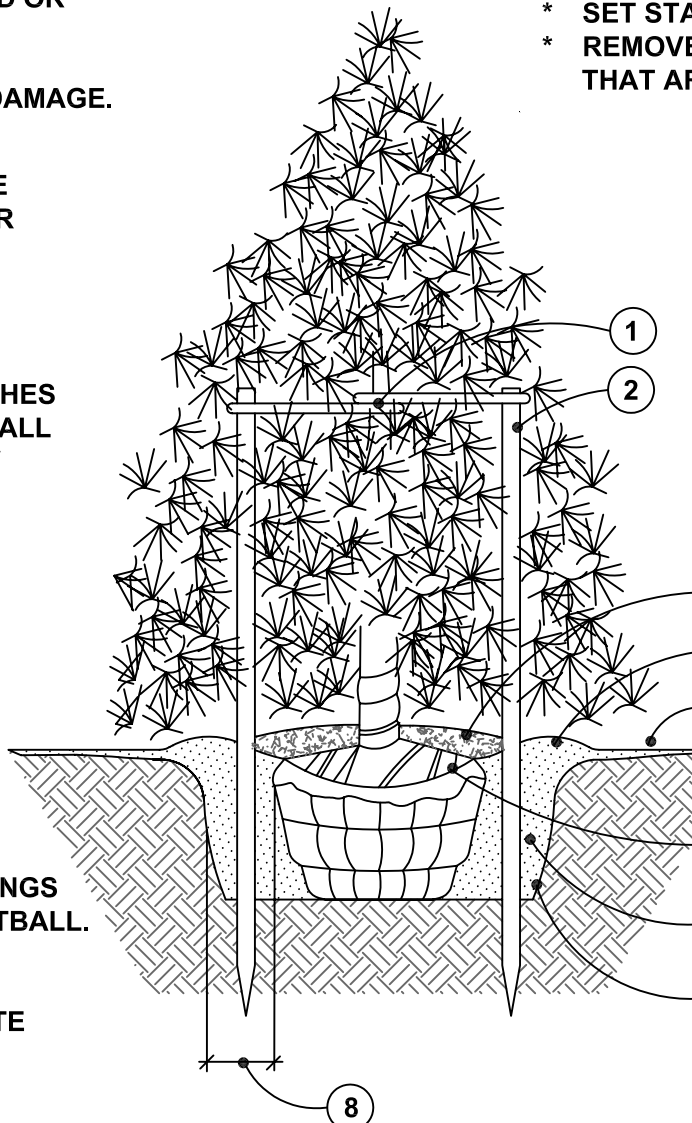


LANDSCAPE PLAN BY:
Nagy Devlin Land Design
31736 West Chicago Ave.
Livonia, Michigan 48150
(734) 634-9208

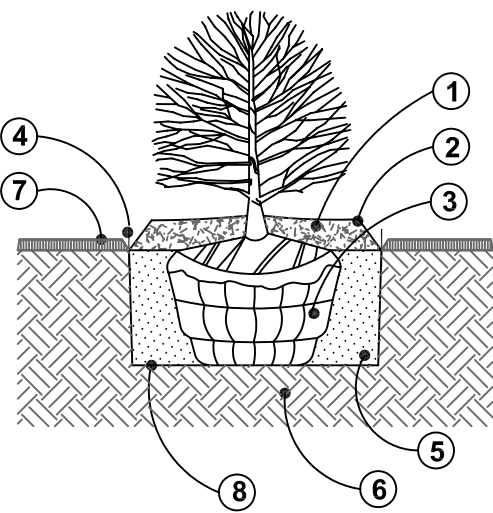
J. Brian Devlin
AUTOCAD SIGNATURE
ORIGINAL IN BLUE



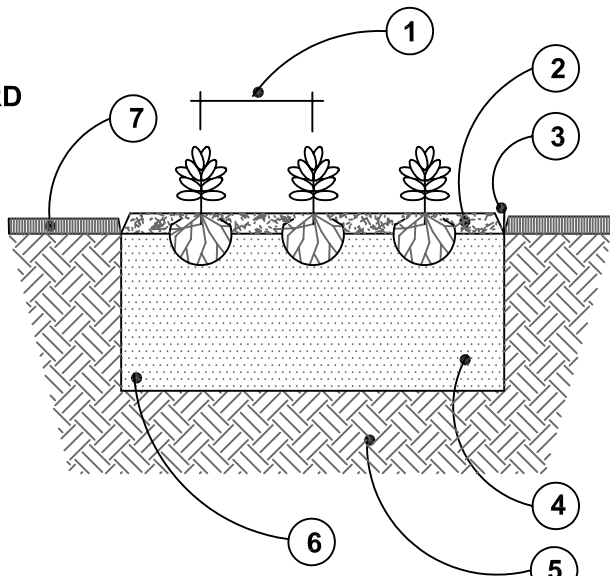
DECIDUOUS TREE PLANTING DETAILS



EVERGREEN TREE

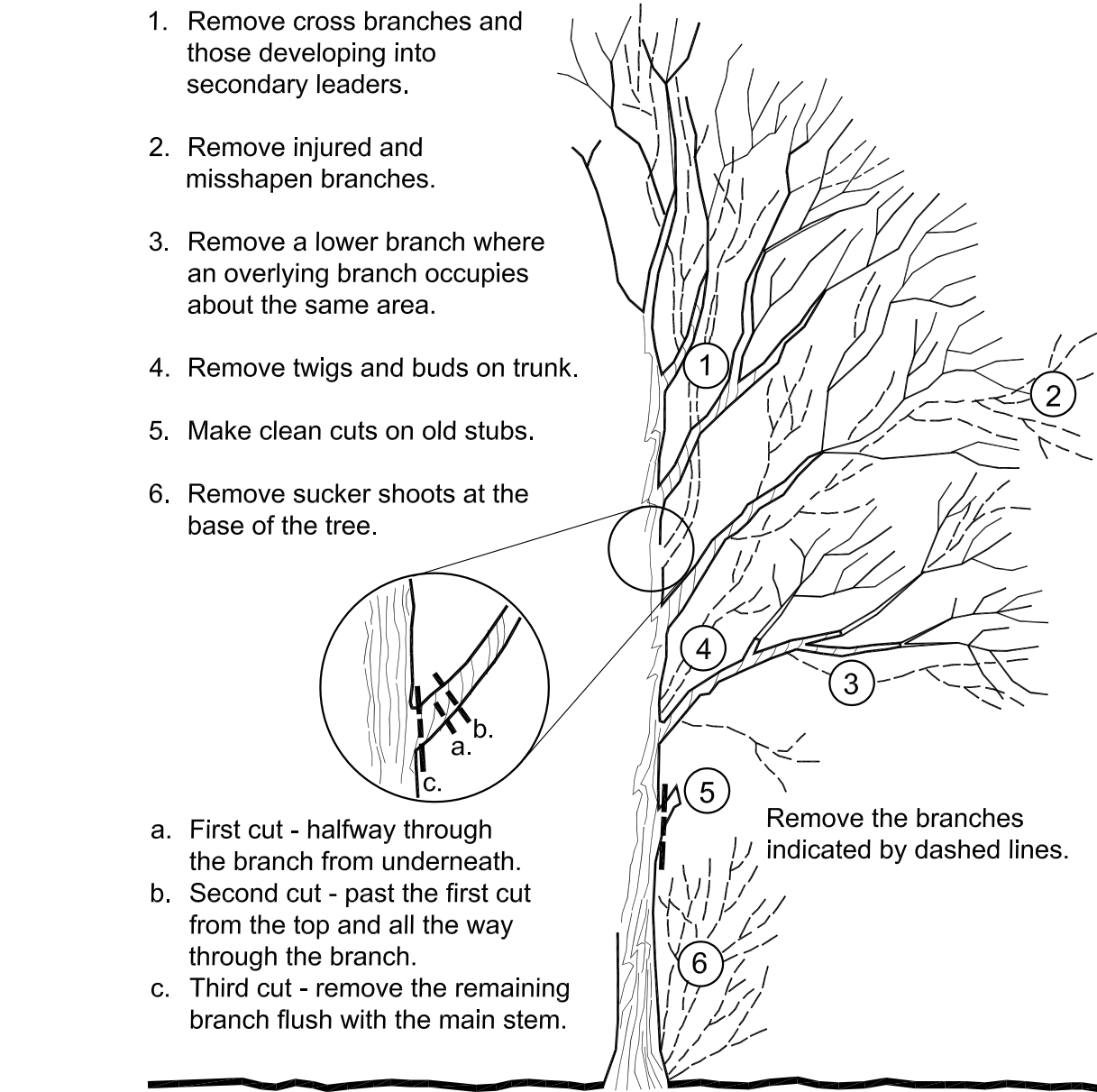


SHRUB

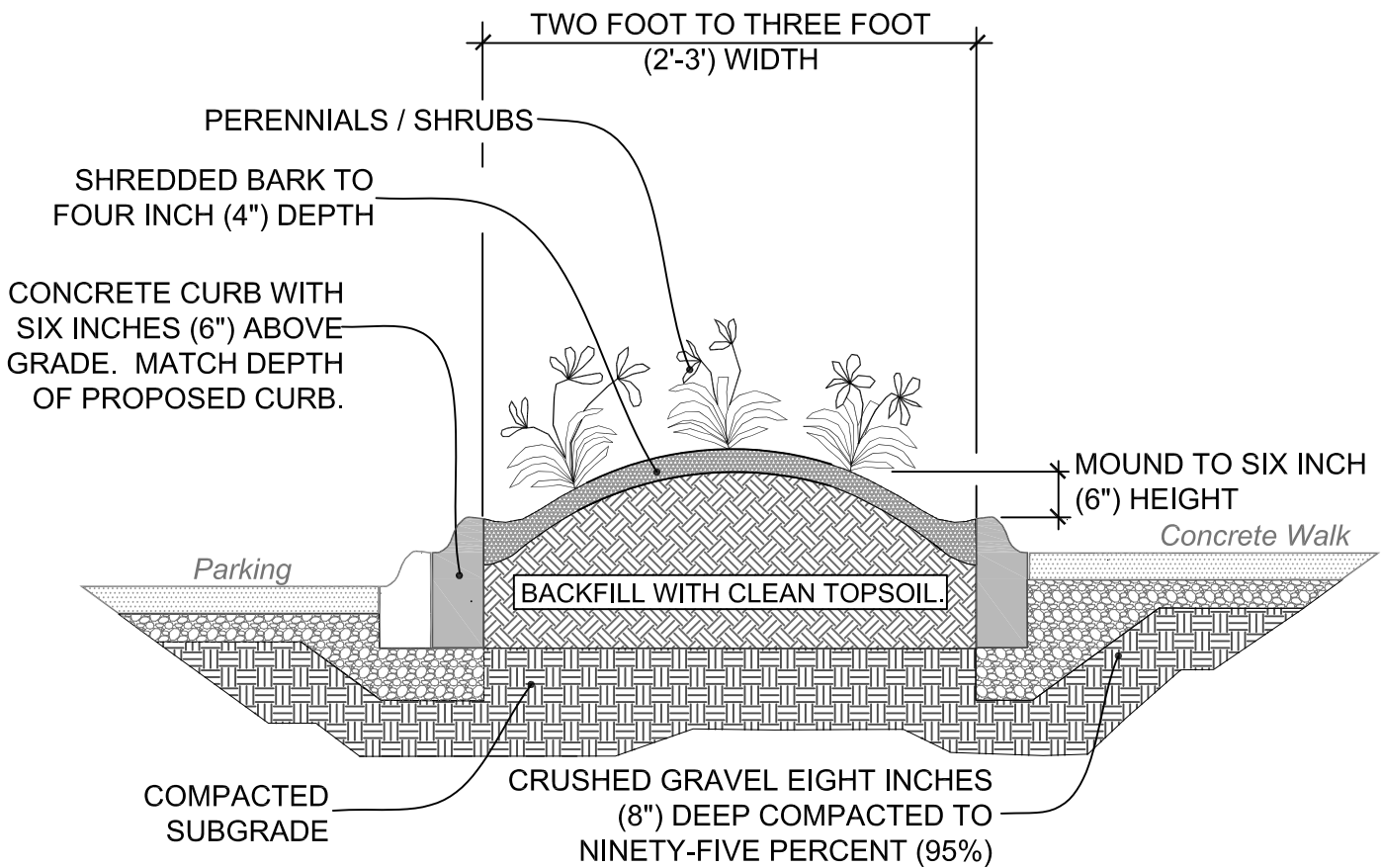


ANNUAL / PERENNIAL / GROUNDCOVER

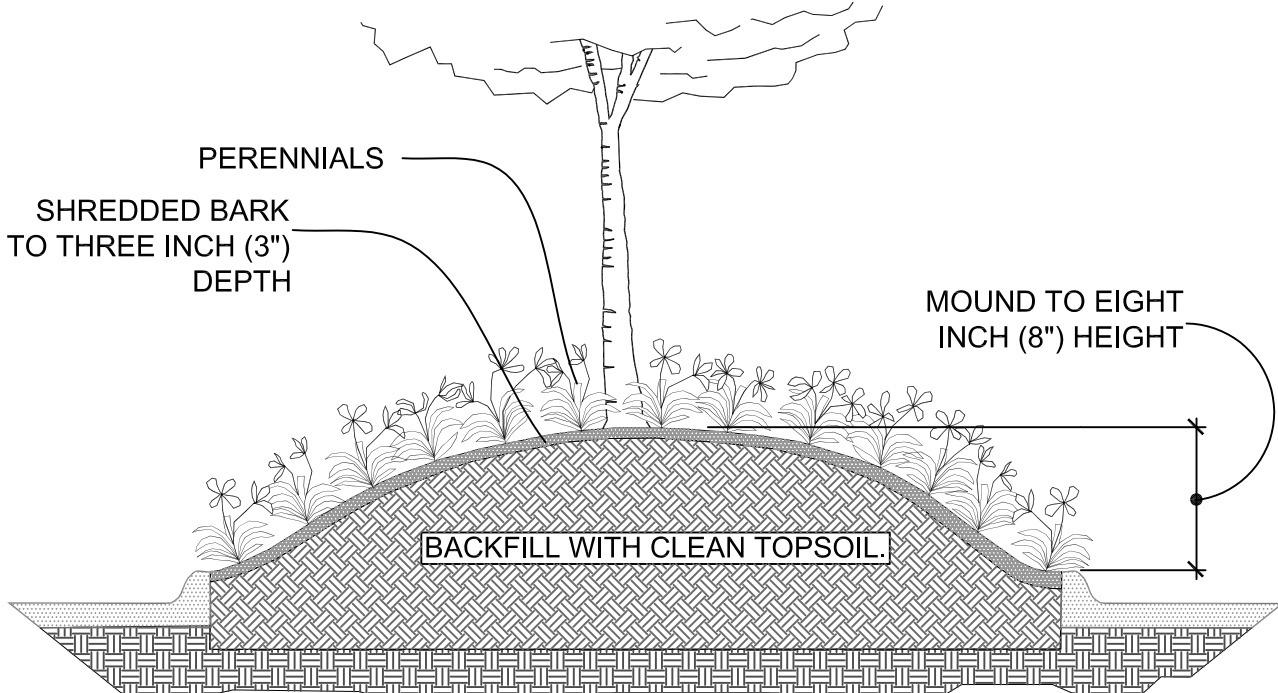
not to scale



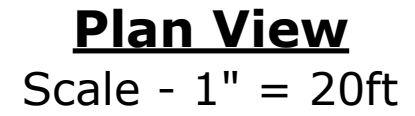
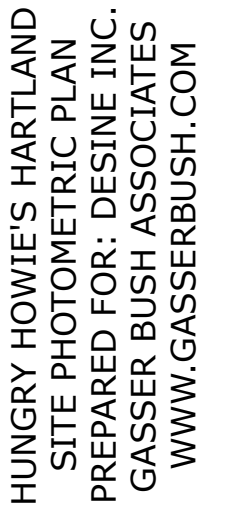
PRUNING DETAIL not to scale



PLANTER ISLAND DETAIL not to scale



PARKING LOT ISLAND PLANTING DETAIL not to scale



TIME LINE OF SOIL EROSION CONTROL AND CONSTRUCTION SEQUENCE

CONSTRUCTION & WORK CATEGORIES*	2014				
	MONTH 1	MONTH 2	MONTH 3	MONTH 4	MONTH 5
1 - OBTAIN PERMITS					
2 - SESC MEASURES					
3 - INSPECT / MAINTAIN					
4 - DEMOLITION WORK					
5 - EARTH WORK					
6 - UTILITIES					
7 - BUILDING					
8 - PAVEMENT					
9 - IRRIGATION					
10 - TOPSOIL/VEGETATION					
11 - LANDSCAPING					
12 - RESTORATION					
13 - PERMIT CLOSURE					

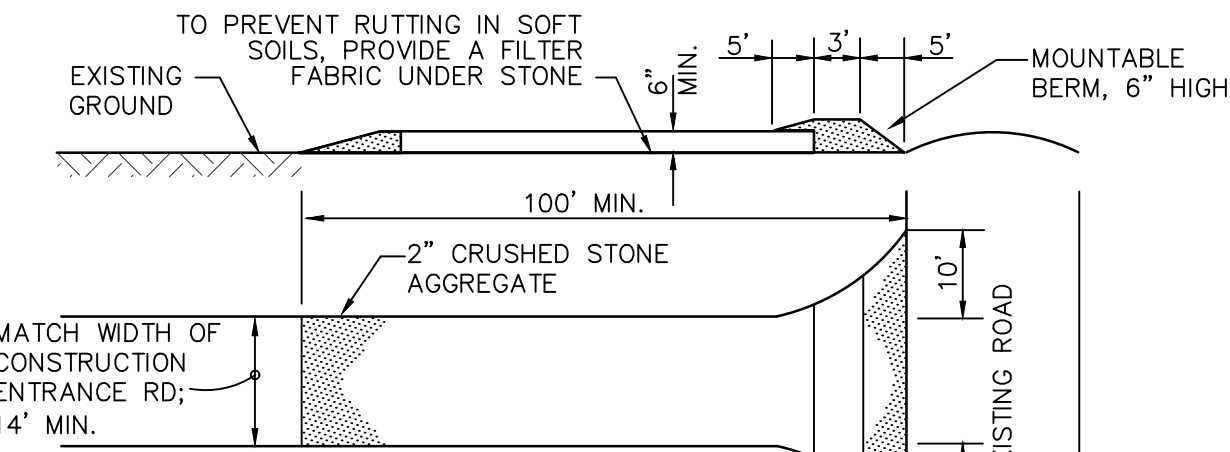
*REFER TO THE MAJOR WORK ITEMS OUTLINED IN THE SOIL EROSION CONTROL AND CONSTRUCTION SEQUENCE NOTES.

SOIL TYPES

Livingston County, Michigan (MI093)			
Livingston County, Michigan (MI093)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
FoB	Fox sandy loam, 2 to 6 percent slopes	0.1	1.0%
FoC	Fox sandy loam, 6 to 12 percent slopes	0.9	17.5%
MoA	Wawasee loam, 0 to 2 percent slopes	0.4	7.4%
MoB	Wawasee loam, 2 to 6 percent slopes	4.0	74.1%
Totals for Area of Interest		5.4	100.0%

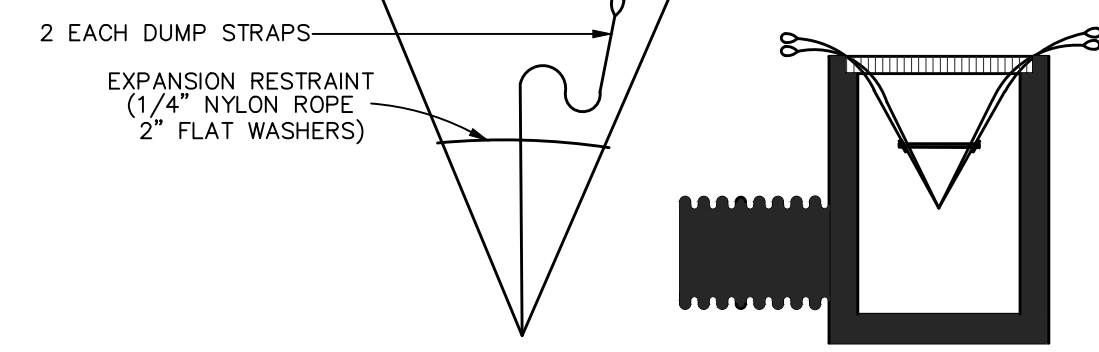


SOILS MAP
NOT TO SCALE



14 MUD TRACKING CONTROL DIAPHRAGM

NOTE:
A. WHEN ACCEPTABLE TO ENGINEER, CONTRACTOR MAY INSTALL STONE BELOW THE SUBGRADE ELEVATION; THUS STONE MAY BE LEFT IN PLACE BELOW PAVEMENT.



58 INLET SEDIMENT FILTER

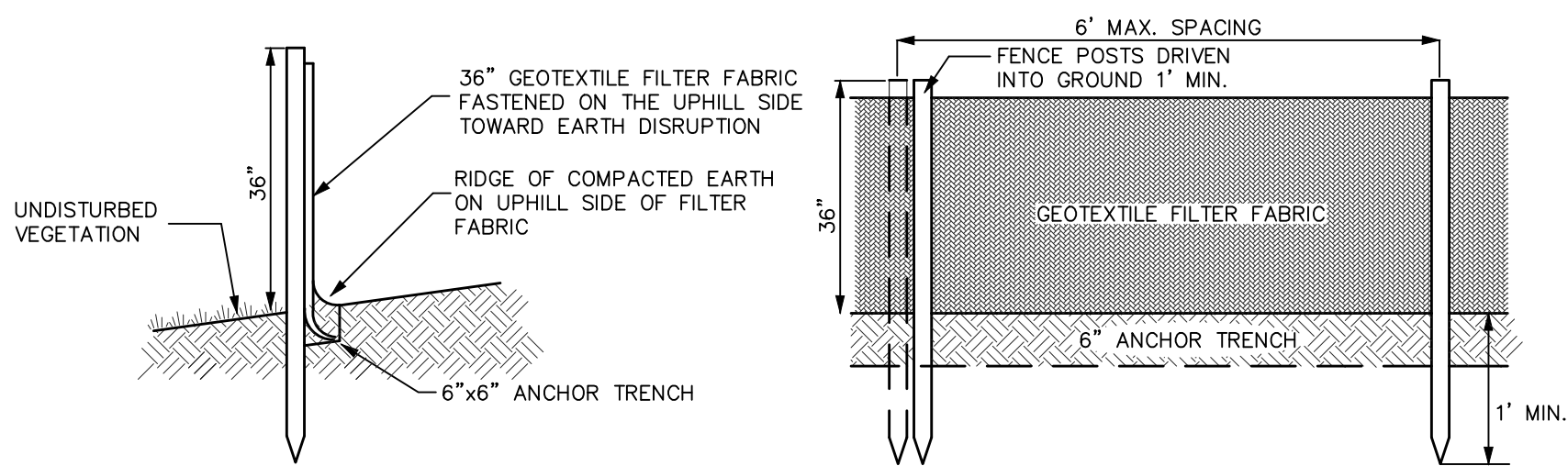
LEGAL DESCRIPTION

SITUATED IN THE TOWNSHIP OF HARTLAND, COUNTY OF LIVINGSTON AND STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:

PARCEL ONE DESCRIPTION
(CURRENTLY PART OF 4708-22-300-018)

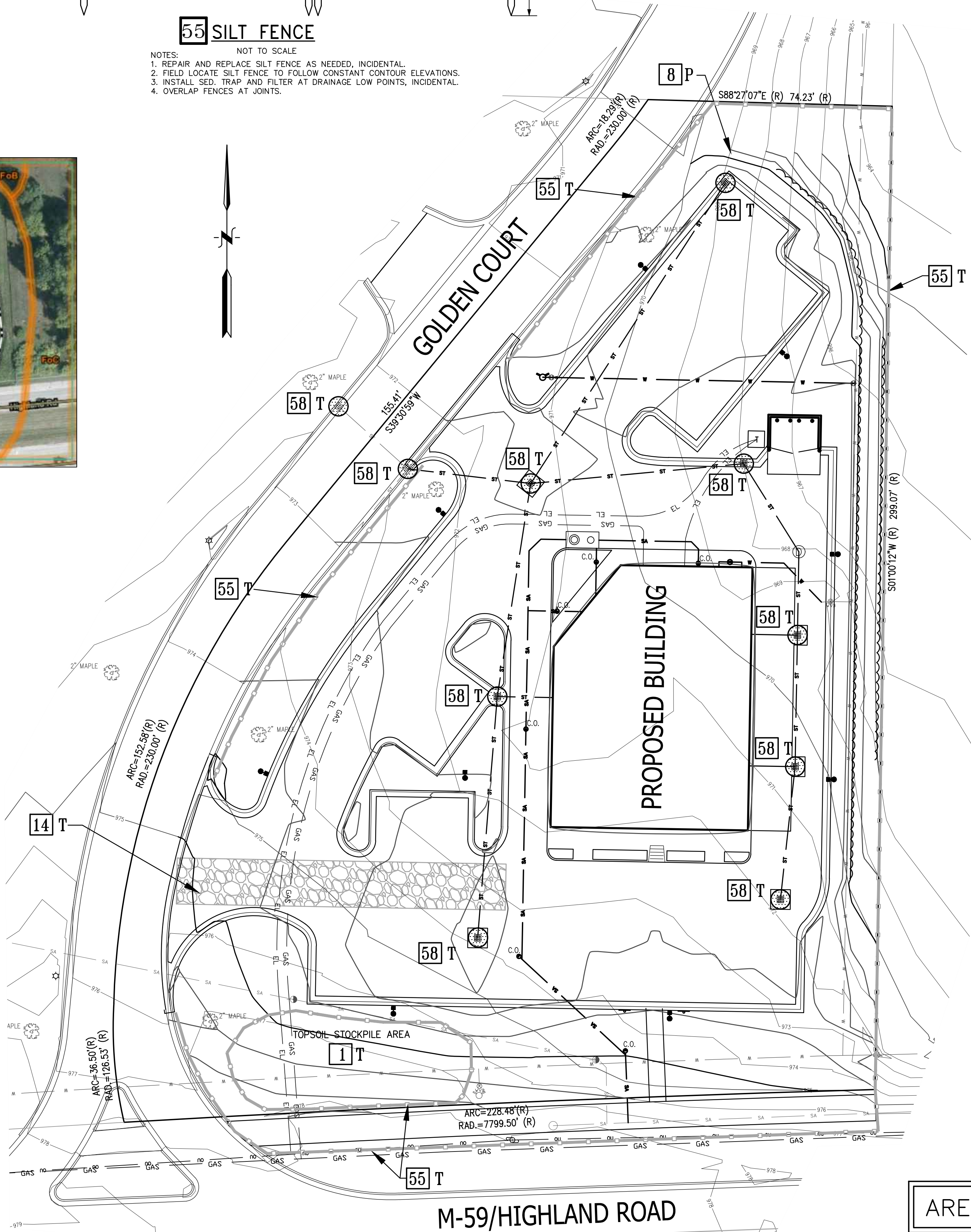
PART OF THE SOUTHWEST 1/4 OF SECTION 22, T03N-R06E, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, BEING FURTHER DESCRIBED AS: COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION; THENCE S88°17'15\"/>

LEGAL DESCRIPTION OF RECORD PROVIDED BY CLIENT. SURVEYOR WAS NOT SUPPLIED WITH A TITLE SEARCH AT THIS TIME. REFER TO THE CURRENT POLICY FOR TITLE INSURANCE FOR PROOF OF OWNERSHIP AND ALL ENCUMBRANCES AFFECTING TITLE TO THE SURVEYED PARCEL.



55 SILT FENCE

NOT TO SCALE
NOTES:
1. REPAIR AND REPLACE SILT FENCE AS NEEDED, INCIDENTAL.
2. FIELD LOCATE SILT FENCE TO FOLLOW CONSTANT CONTOUR ELEVATIONS.
3. INSTALL SED. TRAP AND FILTER AT DRAINAGE LOW POINTS, INCIDENTAL.
4. OVERLAP FENCES AT JOINTS.



MAINTENANCE NOTES FOR SOIL EROSION CONTROL MEASURES:

The Construction Site and all Soil Erosion Control Measures shall be inspected periodically in accordance with the appropriate local municipality/authority and the DEQ NPDES rules and regulations. At a MINIMUM, inspections shall be performed once a week and within 24 hours following a storm event resulting in 1\"/>

CATCH BASINS: Catch basins shall be inspected for accumulation of solids and sediment. Solids and sediment shall be removed from the catch basins by vacuum or adductor cleaning. Cleaning should be performed before the catch basin sumps are half full.

MUD TRACKING CONTROL DEVICE / CONSTRUCTION ACCESS: Mud tracking control devices shall be inspected for significant mud accumulation and to ensure the access is not ending into public rights of way or drainage features. Add additional layers of stone or remove and replace stone each time the stone becomes covered with mud. All sediment dropped or eroded onto public rights of way shall be removed immediately. Sweeping of the public rights of way and/or paved access route shall be performed as necessary to maintain the access route free of sediment and debris.

SEEDING: Newly seeded areas shall be inspected until substantial vegetative growth is obtained. Topsoil stockpiles shall be stabilized with vegetative growth (or matted with straw during the non-growing season) to prevent wind and water erosion. A temporary diversion berm and/or silt fence shall encompass all earthen material stockpiles, including but not limited to topsoil, sand and gravel.

SILT FENCE: Silt fencing shall be inspected for soil accumulation/clogging, undercutting, overtopping and sagging. Soil accumulation shall be removed from the face of the silt fence each time it reaches half the height of the fence. Removed sediment shall be disposed of in a stable upland site or added to a spoils stockpile. When undercutting occurs, grade out areas of concentrated flow upstream of the silt fence to remove channels and/or gulleys and repair or replace silt fence ensuring proper trenching techniques are utilized. Silt fencing, which sags, falls over or is not staked in place shall be repaired or replaced immediately. Silt fencing fabric, which decomposes or becomes ineffective, shall be removed and replaced with new fabric immediately. Silt fencing shall be removed once vegetation is well established and the up-slope area is fully stabilized.

SOD: Newly sodded areas shall be inspected to ensure sod is maturing. Sod shall be inspected for failure, erosion or damage. Slipping or eroding sod on steep slopes shall be immediately repaired or replaced and staked in place. Damaged or failed sod shall be immediately replaced.

STOCKPILES: Temporary and permanent topsoil and spoils stockpiles shall be seeded to promote vegetative growth. Stockpiles shall be inspected to ensure excessive erosion has not occurred. When runoff or wind erosion is evident, reduce the side slopes of the stockpile or stabilize the stockpile with pieces of staked sod laid perpendicular to the slope. When filter fencing is used around a stockpile, the fencing shall be inspected to ensure piping has not occurred under the fencing and to ensure the fencing has not collapsed due to soil slippage or access by construction equipment. Repair or replace damaged fencing immediately. Berms at the base of stockpiles, which become damaged, shall be replaced.

STORM STRUCTURE INLET FILTER: Inlet filters shall be inspected for sediment accumulation, clogging and damage. When stone is used in conjunction with inlet filter fabric, replace the stone each time it becomes clogged with sediment. Clean or replace the inlet filter fabric each time it becomes clogged with sediment. Reinstall or replace fallen filter fabrics immediately. Replace damaged filter fabrics immediately.

SOIL EROSION MEASURES

1	STRIPPAGE & STOCKPILE TOPSOIL	TOPSOIL MAY BE STOCKPILED ABOVE BERM WIDTH TO ACT AS A DIVERSION. TOPSOIL SHOULD BE TOPGRESSED/SEED.
8	SEEDING	PROVIDE MAXIMUM PROTECTION. EASY TO PLACE. MAY BE REPAIRED IF DAMAGED. SEEDING SHOULD BE TOPGRESSED/SEED.
14	ROCKPILE COVER	STABILIZES SOIL SURFACE. THIS MINIMUM PROTECTION. STORMS CONSTRUCTION TRAFFIC. IN ADVANCE REPAIRS. MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS.
55	REMOVABLE SILT FENCE	USES GEOTEXTILE AND POSTS OR PILES. MAY BE CONSTRUCTED OR PREPARED. BEST TO CONSTRUCT AND LOCATE AS NECESSARY.
58	PERMANENT FILTER	USES PERMANENT GEOTEXTILE SODS. FILTERS SEDIMENT FROM RUNOFF AT CATCH BASIN INLET. BEST TO CONSTRUCT AND LOCATE AS NECESSARY.

T=TEMPORARY P=PERMANENT

36\"/>

AREA OF DISTURBANCE=1.18 AC.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- The Soil Erosion and Sedimentation Control Specifications of the appropriate Local, County and/or State Agencies are a part of this work. Refer to the General Notes on the Project Plans for additional requirements.
- The Soil Erosion and Sedimentation Control (SESC) Permit Holder shall be responsible for compliance with the SESC Permit requirements for the duration of the project and until receipt of final approval from the Permitting Agency. For any site with an earth disturbance area of 1 acre or greater, the SESC Permit Holder shall retain a Certified Storm Water Operator in accordance with the SESC Permit requirements. The Certified Storm Water Operator shall perform routine inspections of the site and the SESC measures and file inspection reports in accordance with the SESC Permit requirements. For any site with an earth disturbance area of 5 acres or greater, the SESC Permit Holder shall file a National Pollutant Discharge Elimination System (NPDES) Notice of Coverage Form with the State DEQ prior to any earth disruption.
- The Contractor shall install the appropriate Soil Erosion Control Measures in accordance with the Project Plans prior to massive earth disruption, including but not limited to; silt fence, mud tracking control mats and sediment filters on existing storm sewer structures. Demolition work may be necessary prior to installation of some soil erosion control measures. In such cases, postpone installation of affected soil erosion control measures until immediately following demolition work. Refer to the Project Plans and the Soil Erosion Control and Construction Sequence for additional requirements.
- The Contractor shall schedule work so as to minimize the period of time that an area is exposed and disturbed. The Contractor shall observe the grading limits and limits of disturbance in accordance with the Project Plans. The Contractor shall maintain an undisturbed vegetative buffer around the work when shown on the Project Plans.
- The Contractor shall install and maintain Soil Erosion Control Measures in accordance with the Project Plans during the appropriate phases of construction. The Project Plans show the minimum requirements for Soil Erosion Control Measures. The Contractor shall install additional Soil Erosion Control Measures as necessary due to site conditions and as directed by the Permitting Agency and/or Engineer. The Contractor shall perform routine inspection and maintenance of all Soil Erosion Control Measures to ensure compliance with the permit requirements and proper operation of the Soil Erosion Control Measures.
- The Contractor shall strip and stockpile topsoil from all areas of proposed disturbance. Topsoil stockpiles shall be located in accordance with the Project Plans. Topsoil stockpiles shall be stabilized with vegetative growth (or matted with straw during the non-growing season) to prevent wind and water erosion. A temporary diversion berm and/or silt fence shall encompass all earthen material stockpiles, including but not limited to topsoil, sand and gravel.
- The Contractor shall install Soil Erosion Control Measures associated with the proposed storm sewer system during storm sewer construction. Inlet structure filters shall be installed immediately following completion of each storm inlet structure. Riprap shall be installed immediately following the installation of each flared end section with the following exception: Storm drain outlets that do NOT empty into a Retention, Detention or Sedimentation Basin shall have a temporary 5' wide x 10' long x 3' deep sump installed at the termination of the storm sewer. Upon completion of the stabilization work, the sump area shall be filled and riprap shall be installed in accordance with the Project Plans.
- The Contractor shall install filter stone around the storm basin control structure(s) in accordance with the Project Plans immediately following installation of the control structure(s). The filter stone shall be monitored for sediment build up. The filter stone may need to be cleaned and/or replaced as site conditions require and as directed by the Permitting Agency and/or the Engineer.
- All disturbed areas outside of paved areas shall be restored within 15 days of finish grading. Proposed vegetative areas shall be restored with a minimum of 3-inches of topsoil, then seeded and mulched; unless noted otherwise on the Project Plans. During the non-growing season, temporary stabilization shall be provided using straw matting or as directed by the Permitting Agency and/or the Engineer.

Seeding, Fertilizer and Mulch Bare Ground Ratio:

This information is provided as minimum guidance for acceptable application rates. Actual amounts depending on soil conditions and site topography shall be detailed on the construction plans.

Top-Soil 3 inches in depth.

Grass Seed 210 lbs. per acre.

Fertilizer 150 lbs. per acre.

Straw Mulch 3\"/>

(All mulch must have a tie down, such as tackifier, net binding, etc.)

Hydro-Seeding: Hydro-seeding is not acceptable for slopes exceeding 1% in such cases; stabilization shall be done with seed and straw mulch with a tackifier.

- Following complete site restoration and stabilization; sediment shall be removed from all storm sewer structures, paved areas and storm basins. The SESC Permit Holder shall contact the Permitting Agency to request closure of the SESC Permit. For any site with an earth disturbance area of 5 acres or greater, the SESC Permit Holder shall file a NPDES Notice of Termination Form with the State DEQ.

SOIL EROSION CONTROL AND CONSTRUCTION SEQUENCE:

- Obtain all necessary Soil Erosion and Sedimentation Control related permits from the appropriate Local, County and/or State Agencies. Refer to the General Notes on the project plans for additional requirements.
- Prior to commencement of any earth disruption install Silt Fence and Mud Tracking Control Device(s) in accordance with the Soil Erosion and Sedimentation Control Plan.
- Construct Retention/Detention and Sedimentation Basins, including associated spillways, in accordance with the project plans. Finish grade and establish vegetative growth in Retention/Detention and Sedimentation Basins prior to massive earth disruption. Install temporary Soil Erosion Control Measures as necessary to stabilize Retention/Detention and Sedimentation Basins.
- Strip and stockpile topsoil. Perform mass grading and land balancing. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan.
- Install proposed underground utilities, (i.e.; storm and sanitary sewer, water main, etc.) Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan.
- Construct building(s) if required on the project plans. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan.
- Construct roadways and/or parking areas. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan.
- Finish grade all disturbed areas outside of pavement. Perform final restoration, including placement of topsoil and establishment of vegetative growth outside of pavement.
- Following establishment of sufficient vegetative ground cover and receipt of approval from the Permitting Agency, remove all temporary Soil Erosion Control Measures, clean all storm sewer structures and repair all permanent Soil Erosion Control Measures.



3 WORKING DAYS BEFORE YOU DIG
CALL 811 OR 1-800-482-7171
(TOLL FREE)
OR VISIT CALL811.COM

DESIGN INC.
(810) 227-9533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION
	02-12-21		REVISED PER SITE PLAN REVIEW COMMENTS
DRAFT: L.F.	03-09-21		REVISED PER SITE PLAN REVIEW COMMENTS
CHECK: WMP			

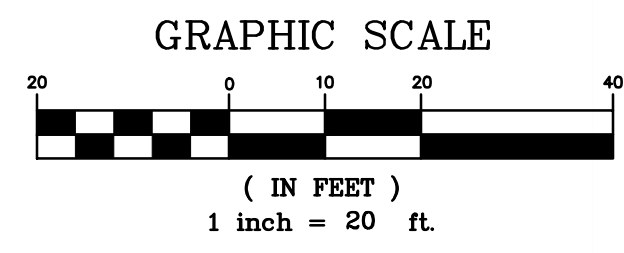
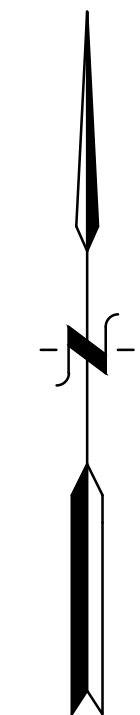
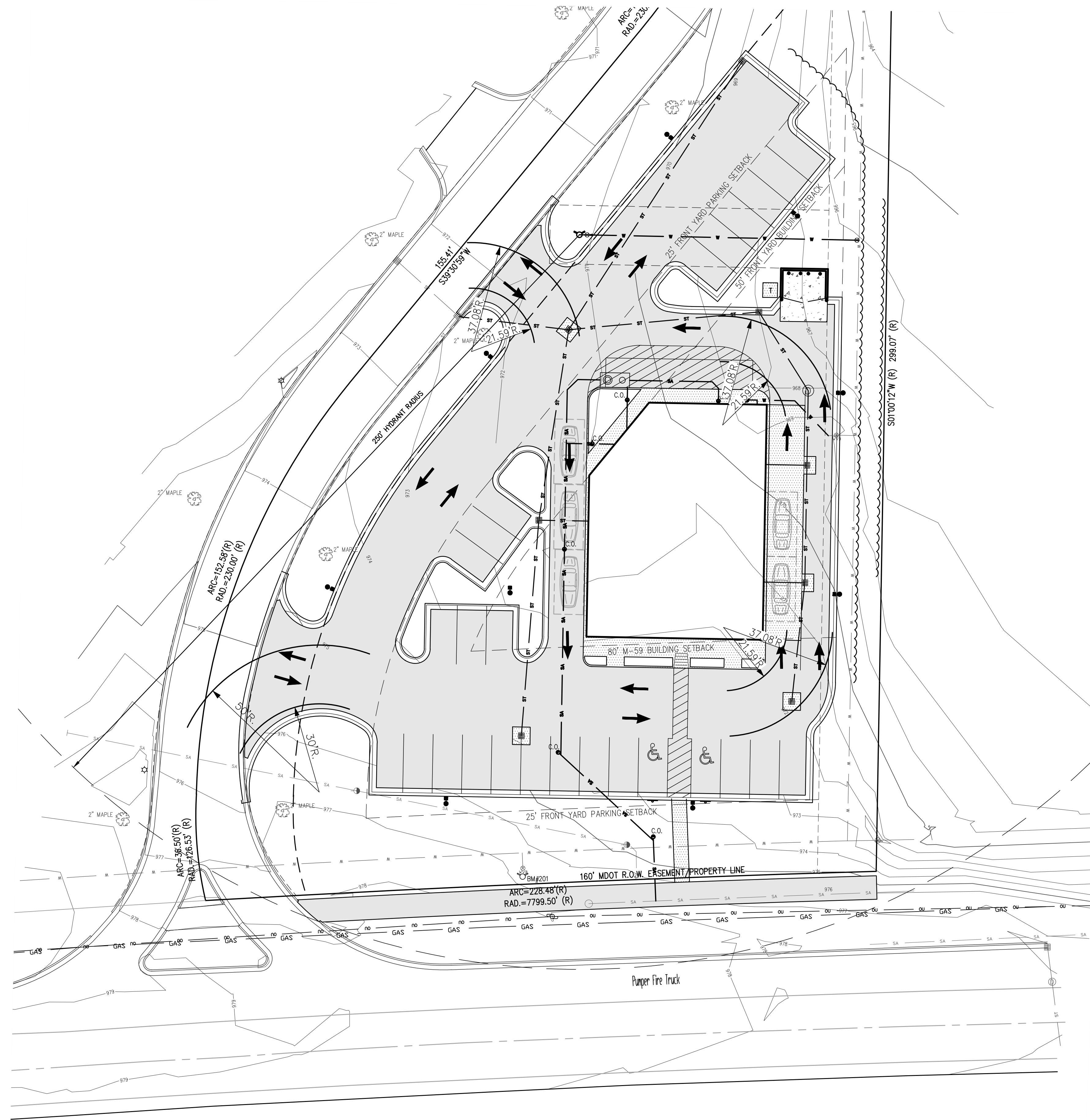
REVISION #	DATE	REVISION-DESCRIPTION

11395 HIGHLAND ROAD
HUNGRY HOWIES
HARTLAND, MI.

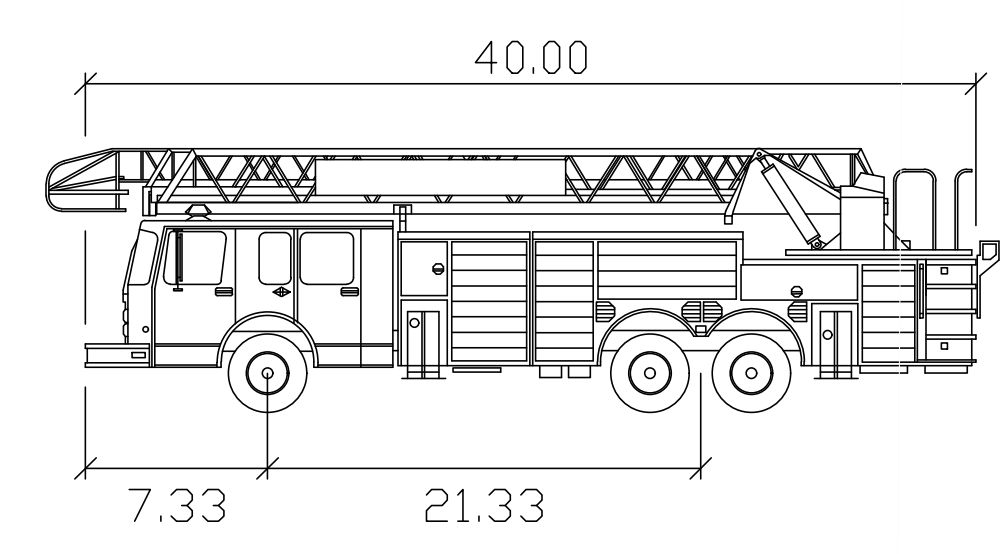
SOIL EROSION AND
WATERSHED PLAN,
NOTES AND DETAILS

CLIENT:	SCALE: 1\"/>
8351 PETERSON INVESTMENT GROUP, LLC	PROJECT No.: 9203954
1151 STONE BARN MILFORD, MI. 48380	DWG NAME: 3954-SE
	ISSUED: MAR. 09, 2021

SE



- ### LEGEND
- = MISC. STRUCTURE (AS LABELED)
 - = SIGN
 - = LIGHT BASE
 - = STREET LIGHT
 - = UTILITY METERS & BOXES (ELECTRIC METER, GAS METER, WATER METER, PHONE BOX, CATV BOX, MAIL BOX)
 - = UTILITY MANHOLE (AS LABELED)
 - = UTILITY POLE W/GUY WIRE
 - = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
 - = U/G UTILITY LINES (ELECTRIC/PHONE/CABLE)
 - = DECIDUOUS TREE W/IDENTIFIER
 - = CONIFEROUS TREE W/IDENTIFIER
 - = DECIDUOUS SHRUB
 - = EXISTING TREE DRIP LINE
 - = FENCE (CHAIN LINK UNLESS OTHERWISE STATED)
 - = EDGE OF GRAVEL
 - = CONCRETE CURB (UNLESS OTHERWISE STATED)
 - = SANITARY SEWER MANHOLE W/IDENTIFIER
 - = SANITARY SEWER PIPE
 - = CLEAN OUT
 - = STORM WATER MANHOLE W/IDENTIFIER
 - = CATCH BASIN W/IDENTIFIER
 - = FLARED END SECTION
 - = STORM WATER DRAINAGE PIPE
 - = HYDRANT
 - = WATER SHUT OFF
 - = WATER VALVE
 - = WATER VALVE BOX
 - = WATER MAIN
 - = GAS SHUT OFF
 - = U/G GAS
 - = SPOT ELEVATION
 - = EXISTING 1' CONTOUR
 - = EXISTING 5' CONTOUR
 - = PROPOSED LIGHT POLE
 - = PROPOSED WATER MAIN
 - = PROPOSED STORM SEWER
 - = PROPOSED STORM STRUCTURES
 - = PROPOSED CONCRETE WALK
 - = PROPOSED HEAVY DUTY CONCRETE PAVEMENT
 - = PROPOSED STANDARD DUTY BITUMINOUS PAVEMENT



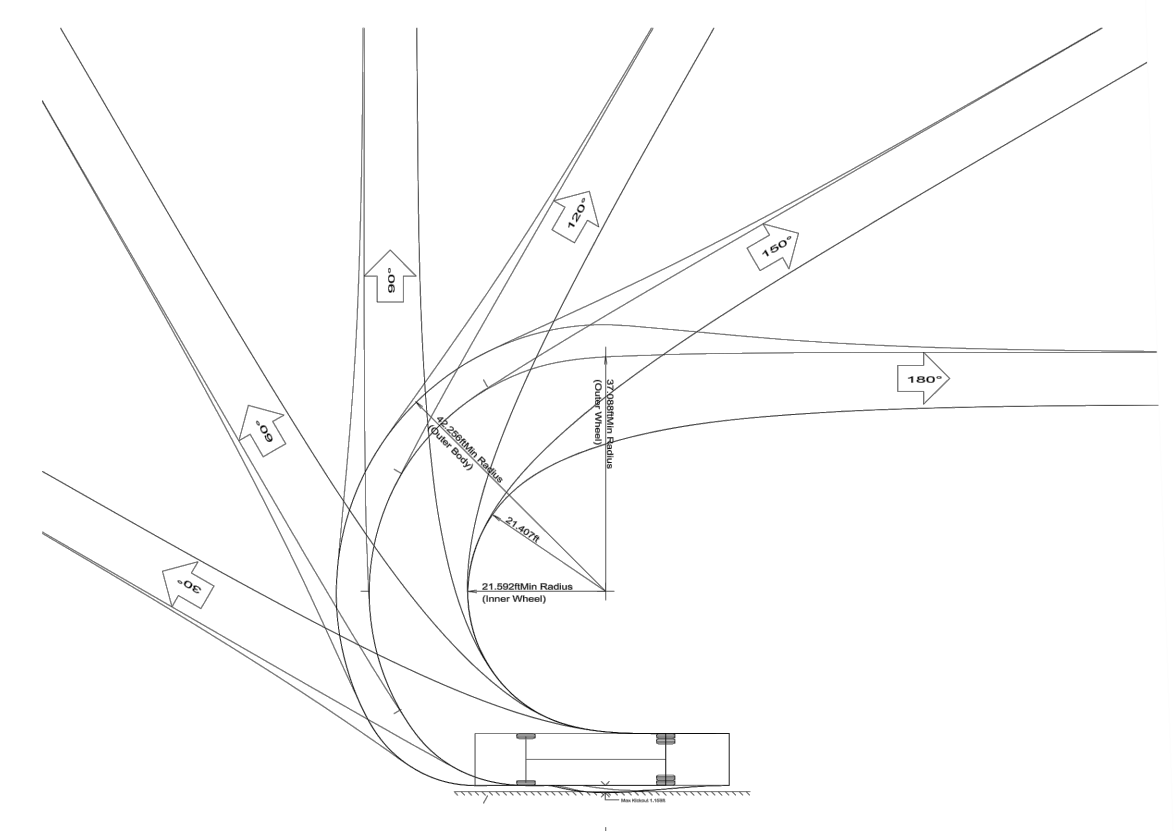
40 FT FIRE feet

Width : 9.77

Track : 7.84

Lock to Lock Time : 6.00

Steering Angle : 45.00



BENCHMARK

DATUM BASED ON NGS OPUS SOLUTION
REPORT, DATED NOVEMBER 16, 2020 AT 10:30 AM

BENCHMARK #201
ARROW ON HYDRANT, LOCATED 109± FEET
EAST OF THE PARCEL ENTRANCE AND NORTH
SIDE OF M-59 HWY.
ELEVATION = 976.38 (NAVD 88)

BENCHMARK #202
ARROW ON HYDRANT, LOCATED 17± FEET WEST
OF THE EAST PROPERTY LINE AND 150± FEET
NORTH OF M-59 HWY.
ELEVATION = 978.38 (NAVD 88)

Know what's below.
Call before you dig.

3 WORKING DAYS
BEFORE YOU DIG
CALL 811 OR 1-800-482-7171
(TOLL FREE)
OR VISIT CALL811.COM

(810) 227-9533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

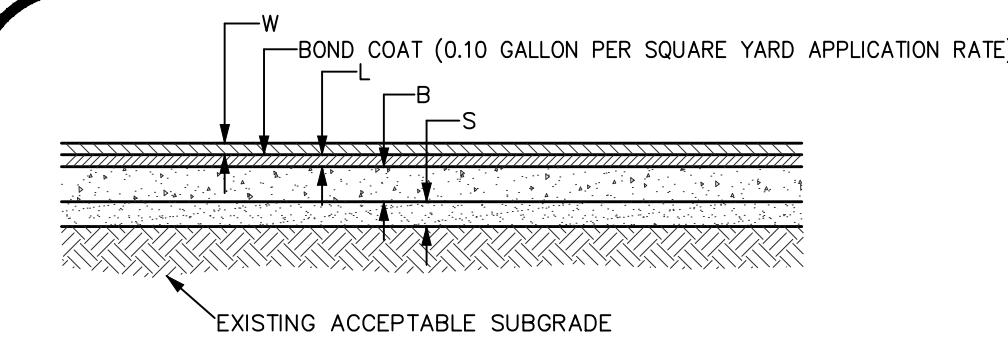
DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.		02-12-21	REVISED PER SITE PLAN REVIEW COMMENTS			
CHECK: WMP		03-09-21	REVISED PER SITE PLAN REVIEW COMMENTS			

11935 HIGHLAND ROAD
HUNGRY HOWIES
HARTLAND TOWNSHIP

FIRE APPARATUS
MOVEMENT PLAN

CLIENT: 8351 PETERSON INVESTMENT GROUP, LLC	SCALE: 1"=30'
1151 STONE BARN MILFORD, MI. 48380	PROJECT No.: 9203954
	DWG NAME: 3954-SP
	ISSUED: MAR. 09, 2021

FA

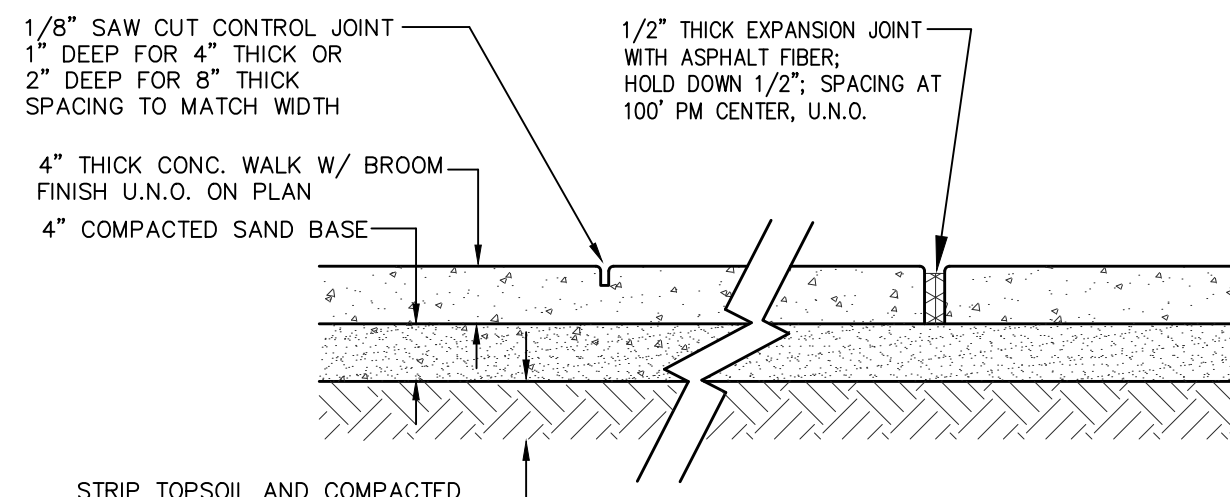


BITUMINOUS PAVEMENT CROSS SECTION

KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
W	WEARING COURSE	MDOT 13A	2"
L	LEVELING COURSE	MDOT 13A	2"
B	AGGREGATE BASE	MDOT 21AA	8"
S	GRANULAR SUBBASE	N/A	N/A

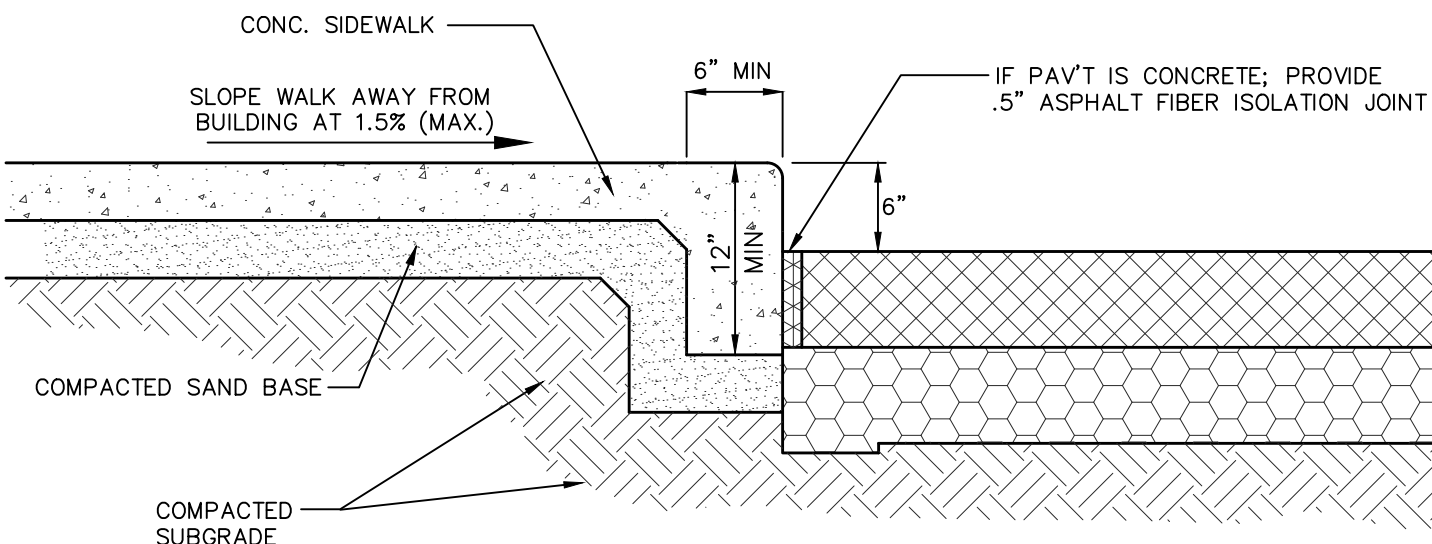
BITUMINOUS PAVEMENT NOTES:

- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes, Road and/or Parking Lot Construction Notes and Typical Road and/or Pavement Cross Section details on the project plans for additional requirements.
- Unsuitable soils found within the 1 on 1 influence zone of the pavement, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced up to the proposed subgrade elevation with MDOT Class III granular material compacted to 95% maximum unit weight, modified proctor.
- Contractor shall proof roll prepared subgrade as directed by Engineer. Unacceptable areas of subgrade shall be undercut and replaced as directed by Engineer.
- Owner/Developer may delay placement of the bituminous wearing course outside of the public road right of way. Repair of the bituminous leveling course may be necessary due to any delay in placement of the bituminous wearing course. Substantial repair to the bituminous leveling course may be necessary if placement of the bituminous wearing course is delayed for more than 12 months after placement of the bituminous leveling course. The bituminous leveling course shall be repaired as directed by Engineer prior to placement of the bituminous wearing course.



SIDEWALK CROSS SECTION

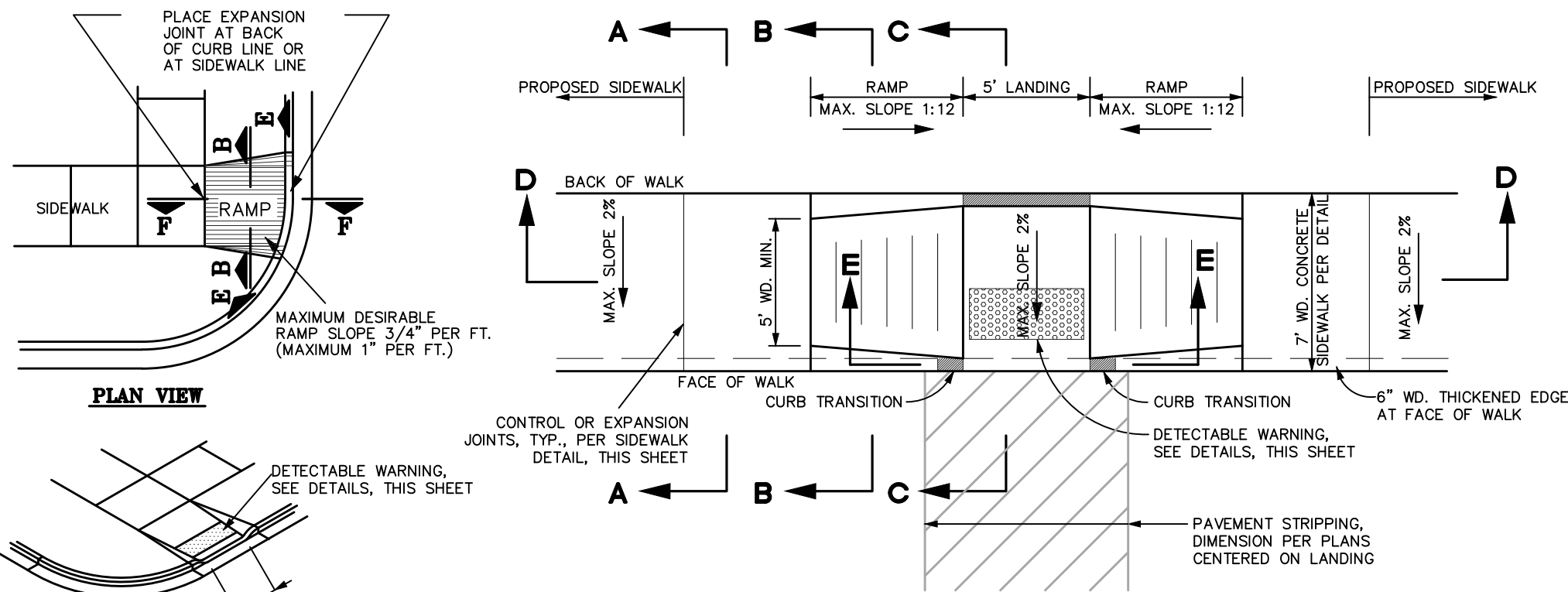
- NOTES:
- SEE PLAN FOR WIDTH OF SIDEWALK.
 - PROVIDE CONCRETE TYPE PER LOCAL CODE. (3500 PSI AIR ENTRAINED)



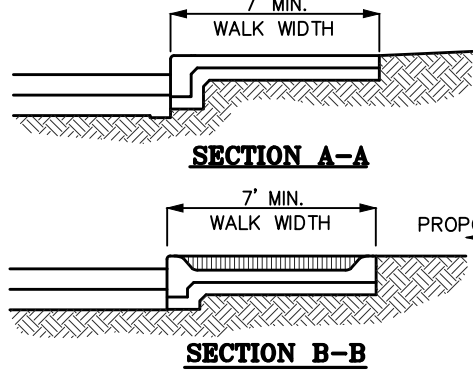
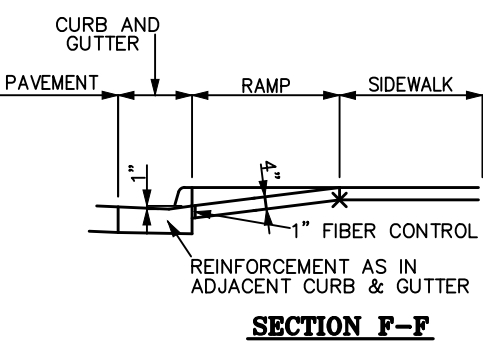
THICKENED EDGE WALK & ISOLATION JOINT DETAIL

SIDEWALK CROSS SECTION NOTES:

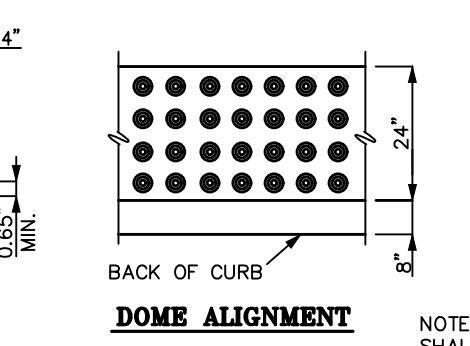
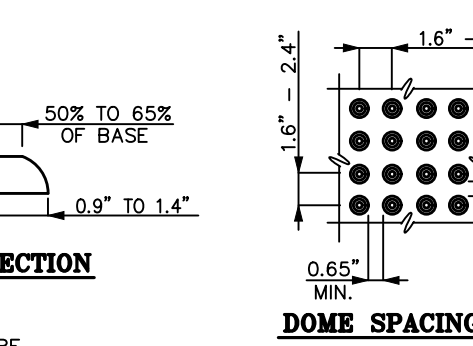
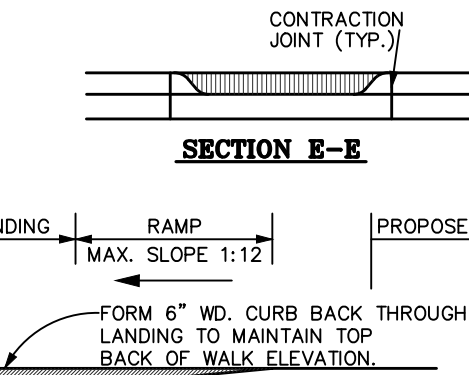
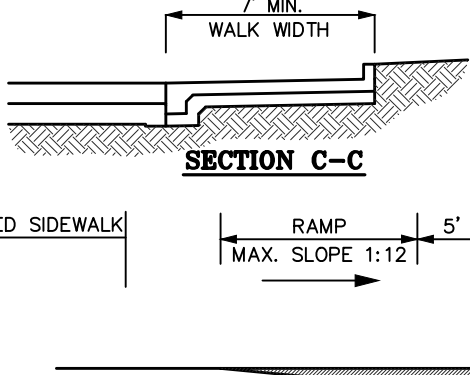
- The construction specifications of the Local Municipality are a part of this work. Refer to the General Notes and the Sidewalk Cross Section Details on the Project Plans for additional requirements.
- Sidewalk widths may vary. See the Project Plans for the proposed sidewalk width at each location. Increase sidewalks to 6" minimum thickness at driveways and other areas exposed to vehicular traffic.
- The existing subgrade soils shall be prepared prior to placement of the granular subbase. Unsuitable soils found within the 1 on 1 influence zone of the proposed sidewalk areas, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced with structural fill. Structural fill shall be MDOT Class II granular material placed in accordance with the General Notes on the Project Plans.
- The sidewalk compacted subbase material shall be MDOT CL II sand. No subbase material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. The subbase shall be compacted to a minimum of 95% of the maximum unit weight, modified proctor.
- Concrete material shall be MDOT P1 (I-A) 6.0 sack concrete pavement mixture with a minimum 28 day design compressive strength of 4,000 PSI and 6.5% (+/-1.5%) entrained air. The Contractor shall submit the concrete mix design and aggregate mechanical analysis report to the Material Testing Engineer and/or Project Engineer for review and approval prior to use.
- Install transverse contraction control joints in accordance with the Sidewalk Cross Section Detail. Space contraction control joints to match sidewalk width, but no greater than 10' on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in accordance with the Sidewalk Cross Section Detail. Space expansion control joints at 50 feet on center maximum. Transverse expansion control joints shall be 1/2" thick asphalt fiber joint filler matching entire sidewalk cross section.
- Provide 1" asphalt fiber control joint between concrete sidewalks and all other concrete structures, such as concrete building foundations, concrete curb and concrete driveways.
- Construct all Barrier Free Sidewalk Ramps in accordance with the American Disabilities Act and the Barrier Free Design Requirements of the appropriate Local, County or State Agency with jurisdiction over the project. Refer to MDOT Standard Plan R-28, latest revision.



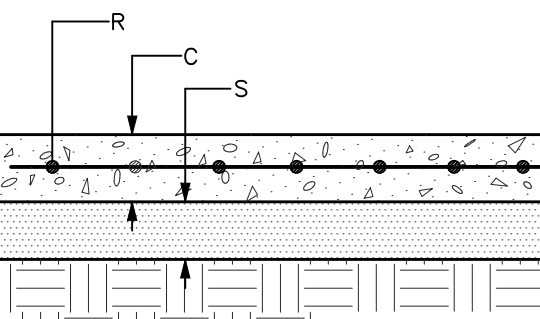
PLAN VIEW, TYP. A RAMP



PLAN VIEW, TYP. B RAMP



BARRIER FREE RAMP AND DETECTABLE WARNING DETAILS

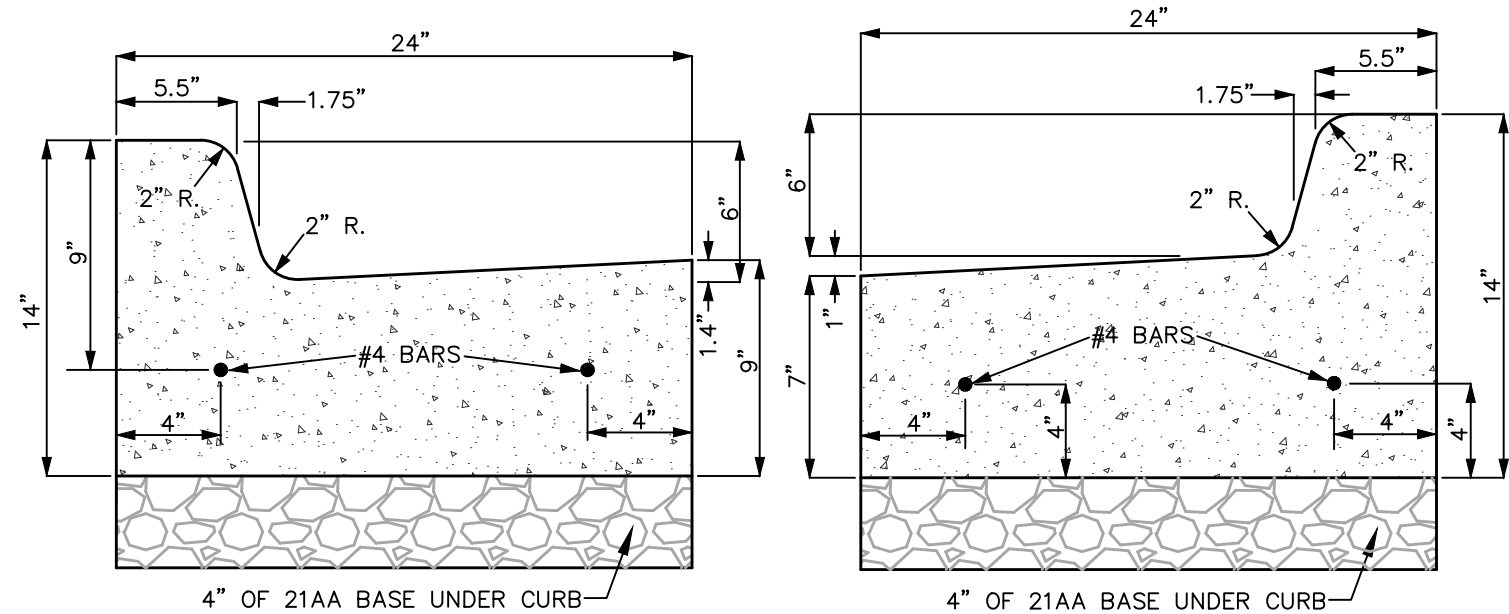


CONCRETE PAVEMENT CROSS-SECTION

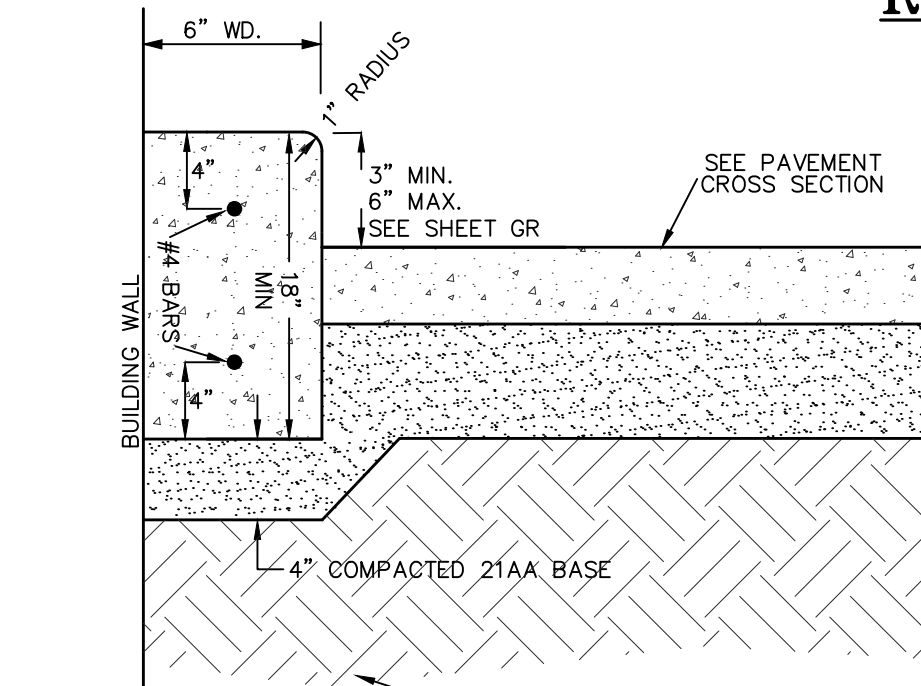
KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM THICKNESS
R	REINFORCEMENT	N/A	N/A
C	CONCRETE	MDOT 601, P1	8"
S	AGG. BASE	21AA	6"

CONCRETE PAVEMENT NOTES:

- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes, Road and/or Parking Lot Construction Notes and Typical Road and/or Pavement Cross Section details on the project plans for additional requirements.
- Unsuitable soils found within the 1 on 1 influence zone of the pavement, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced up to the proposed subgrade elevation with MDOT Class II granular material compacted to 95% maximum unit weight, modified proctor.
- Contractor shall proof roll prepared subgrade as directed by Engineer. Unacceptable areas of subgrade shall be undercut and replaced as directed by Engineer.
- Concrete material shall meet or exceed the specification requirements of the appropriate Local Municipality. If not specified by the Local Municipality, then the concrete material shall be MDOT P1 (I-A) 6.0 sack concrete pavement mixture with a minimum 28 day design compressive strength of 4,000 PSI and 6.5% (+/-1.5%) entrained air. Contractor shall submit concrete mix design and aggregate mechanical analysis report to the Local Municipality and Engineer for review and approval prior to use.
- Install transverse contraction control joints in accordance with the Local Municipality requirements. If not specified by the Local Municipality, then install transverse contraction control joints in curb with 1" minimum depth at 10' on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in accordance with the Local Municipality requirements. If not specified by the Local Municipality, then install transverse expansion control joints in curb as follows: 300' maximum on center. Transverse expansion control joints shall be 1" thick asphalt fiber joint filler matching entire concrete cross section.
- Provide lane ties when specified on the Project Plans, otherwise provide 0.5" asphalt fiber control joint between concrete pavement and all other concrete structures, such as concrete curb, sidewalks and concrete driveways.



CONC. CURB DETAIL -MDOT TYPE F

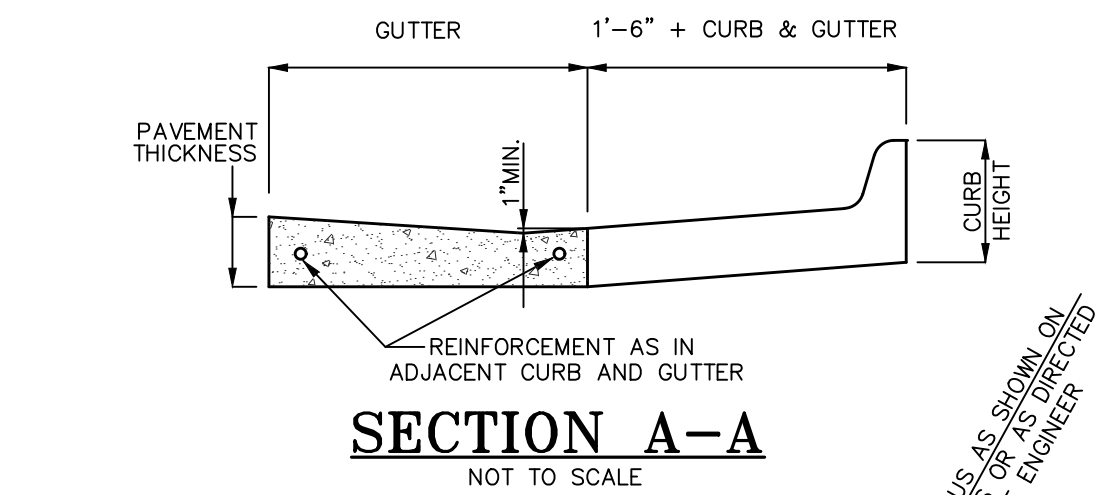


PRIVATE DEVELOPMENT CURB NOTES:

- Refer to the project plans for the proposed locations of the specific curb types.
- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the Private Road Construction Notes and/or Driveway and Parking Lot Construction Notes and the General Notes on the project plans for additional requirements.
- Concrete material shall meet or exceed the specification requirements of the appropriate Local Municipality. Unless specified otherwise by the Local Municipality, concrete material shall be air-entrained and shall have a minimum 28-day class design strength of 3500 psi. Contractor shall submit concrete mix design and aggregate mechanical analysis report to the Local Municipality and Engineer for review and approval prior to use.
- Install transverse contraction control joints in accordance with the Local Municipality requirements. If not specified by the Local Municipality, then install transverse expansion control joints in curb as follows: 300' maximum on center, at spring points of intersecting streets and within 10' on each side of catch basins. Transverse expansion control joints shall be 1" thick asphalt fiber joint filler matching entire curb cross section.
- Install transverse expansion control joints in accordance with the Local Municipality requirements. If not specified by the Local Municipality, then install transverse expansion control joints in curb as follows: 300' maximum on center, at spring points of intersecting streets and within 10' on each side of catch basins. Transverse expansion control joints shall be 1" thick asphalt fiber joint filler matching entire curb cross section.
- Provide 0.5" asphalt fiber control joint between back of curb and all other concrete structures, such as concrete sidewalks and concrete driveways.
- Curb Contractor shall provide final adjustment of catch basin castings in curb line. Castings shall be tucked pointed to structure water tight with concrete or mortar inside and outside of casting.
- Install curb cuts for all existing and proposed sidewalks and pedestrian ramps in accordance with the American Disabilities Act and the Barrier Free Design requirements of the appropriate Local, County and/or State Agency. Install curb cuts for all existing and proposed vehicular ramps and drives as noted on the project plans.

DRIVEWAY AND PARKING LOT CONSTRUCTION NOTES:

- The grading, driveway and parking lot specifications of the Local Municipality are a part of this work. Refer to the General Notes on the project plans for additional requirements.
- Driveway and Parking Lot work shall include site clearing of vegetation and tree stumps; stripping and stockpiling of topsoil for reuse; mass grading cuts and fills; removal of unsuitable soils from the paved surface influence area; culvert placement; subgrade preparation including fine grading and proof roll; subgrade undercut and/or placement of geotextile fabric if needed; placement and preparation of granular subbase and aggregate base courses including fine grading and compaction; placement of concrete curb and gutter; watering of aggregate base within 24 hours of paving to obtain optimum moisture content; bituminous and/or concrete pavement including placement, compaction and bond coats; cleaning of bituminous pavements between courses if needed; preparation, finish work and restoration as needed to connect to existing pavements, ditches, driveways, etc.; adjustment of storm and utility structure castings to match finish grade; placement of shoulders and finish grading of ditches; pavement markings; topsoil placement; seed & mulch; site cleanup; restoration; and other work as shown on the project plans and specifications.
- Existing and proposed grades shown in the driveway profile view(s) are along the centerline of each driveway. Refer to the plan view and curve tables on the project plans for horizontal alignment and curve data. Proposed contours for ditches, curbs, driveway crown and pavement slope may not be shown in the plan view and/or grading plan.
- Contractor shall coordinate scheduling a Pre-Construction Meeting with Engineer prior to commencement of driveway and/or parking lot work.
- Contractor shall coordinate construction staking, testing, documentation submittal and observation with the appropriate Agency, Surveyor and/or Engineer as required for construction, certification and/or acceptance of the driveway(s) and/or parking lot(s). All materials used and work done shall meet or exceed the requirements and specifications noted on the project plans. Any materials used or work done that does not meet said requirements and/or specifications shall be replaced and/or redone at Contractor's expense. The Owner/Developer may wait for test results, certifications and/or Agency reviews prior to accepting work.
- Contractor shall take all appropriate job site safety precautions. Refer to the Traffic Control specifications of the appropriate Regulatory Agency for work within a public road right of way.
- Contractor shall take precautions to prevent contamination of driveway and/or parking lot materials during handling, installation and construction procedures. Contaminated materials shall be removed and replaced at Contractor's expense.
- Clear vision areas shall be created where required; refer to the Clear Vision Area detail on the project plans. Relocate existing signs/utilities as acceptable to the appropriate Agency. Owner/Developer shall coordinate installation of permanent street signage after completion of roadwork.
- When side slopes within utility easements exceed 1 on 10 (10%), Contractor shall rough grade a flat shelf within the easement area as acceptable to Engineer and restore following underground utility installation.



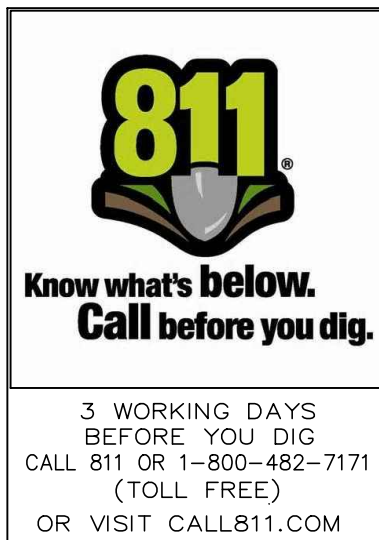
CONCRETE DRIVEWAY OPENING - MDOT DETAIL "M"

MDOT DETAIL "M" DRIVEWAY OPENING NOTES:

- The construction specifications of the Local Municipality are a part of this work. Refer to MDOT Standard Plan R-29, latest revision, the Concrete Curb Notes, General Notes and "M" Opening Details on the Project Plans for additional requirements.
- The Bituminous Pavement Contractor shall hand tamp the bituminous pavement adjacent to the concrete gutter to ensure proper compaction of the bituminous material in areas that are not accessible by a roller.
- The Concrete Opening shall not be exposed to vehicular traffic until the concrete has reached at least 75% of the design flexural strength.

GENERAL NOTES:

- Contractor shall perform the work in accordance with the requirements of the appropriate Local, County and State Agencies and all other Government and Regulatory Agencies with jurisdiction over the project. Contractor shall notify the appropriate Agencies in advance of each stage of work in accordance with each Agency's requirements.
- Contractor shall comply with all permit, insurance, licensing and inspection requirements associated with the work. Prior to construction, Contractor and Owner/Developer shall determine who is responsible for obtaining each required permit. Contractor shall verify that the each required permit has been obtained prior to commencement of the stage of work associated with the required permit(s).
- Contractor shall furnish liability insurance and property damage insurance to save harmless the Owner, Developer, Architect, Engineer, Surveyor and Government Agencies for any accident occurring during the construction period. Refer to the appropriate Local, County and State Agencies for additional requirements. Copies of insurance certifications shall be made available to the Owner/Developer.
- Contractor shall conduct and perform work in a safe and competent manner. Contractor shall perform all necessary measures to provide for traffic and pedestrian safety from the start of work and through substantial completion. Contractor shall determine procedures and provide safety equipment such as traffic controls, warning devices, temporary pavement markings and signs as needed. Contractor shall comply with the safety standards of the State Department of Labor, the occupational health standards of the State Department of Health and safety regulations of the appropriate Local, County, State and Federal Agencies. Refer to the safety specifications of the appropriate Regulatory Agencies. The Contractor shall designate a qualified employee with complete job site authority over the work and safety precautions; said designated employee shall be on site at all times during the work.
- Contractor shall coordinate scheduling of all work in the proper sequence, including work by Subcontractors. Additional costs due to improper planning by Contractor or work done out of sequence as determined by standard acceptable construction practices, shall be Contractor's responsibility.
- Contractor shall contact the MISS DIG locating system, or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to construction. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
- Contractor shall coordinate scheduling a Pre-Construction Meeting with Engineer prior to commencement of work.
- The Local Municipality, County and/or State in which the project is located may require an Engineer's Certification of construction of the proposed site improvements. Contractor shall verify the certification requirements with Engineer prior to commencement of work. Contractor shall coordinate construction staking, testing, documentation submittal and observation with the appropriate Agency, Surveyor and/or Engineer as required for Engineer's Certification and Government Agency Acceptance. All materials used and work done shall meet or exceed the requirements of certification and acceptance, the contract documents and the material specifications noted on the project plans. Any materials used or work done that does not meet said requirements, contract documents and/or specifications shall be replaced and/or redone at Contractor's expense. The Owner/Developer may wait for test results, certifications and/or Agency reviews prior to accepting work.
- Engineer may provide subsurface soil evaluation results, if available, to Contractor upon request. Subsurface soil evaluation results, soils maps and/or any other documentation does NOT guarantee existing soil conditions or that sufficient, acceptable on-site granular material is available for use as structural fill, pipe bedding, pipe backfill, road subbase or use as any other granular material specified on the project plans. On-site granular material that meets or exceeds the material specifications noted on the project plans may be used as structural fill, pipe bedding, pipe backfill and/or road subbase material. On-site granular material shall be stockpiled and tested as acceptable to the appropriate Agency and/or Engineer prior to use.
- During the performance of their work, Contractor shall be solely responsible for determining soil conditions and appropriate construction methods based on the actual field conditions. Contractor shall furnish, install and maintain sheeting, shoring, bracing and/or other tools and equipment and/or construction techniques as needed for the safety and protection of the workers, pedestrians and vehicular traffic and for protection of adjacent structures and site improvements.
- Contractor shall install temporary and permanent soil erosion and sedimentation control devices at the appropriate stages of construction in accordance with the appropriate regulatory Agencies. Refer to Soil Erosion and Sedimentation Control Plans and Notes on the project plans.
- Structural fill shall be placed as specified on the project plans and within the 1 on 1 influence zone of all structures, paved areas and other areas subject to vehicular traffic. Structural fill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, modified proctor). Fill material shall meet or exceed the specifications noted on the project plans or as directed by Engineer when not specified on the project plans.
- All existing monuments, property corners, ground control and benchmarks shall be protected and preserved; and if disturbed by Contractor, shall be restored at Contractor's expense. Contractor shall notify Surveyor of any conflicts between existing monuments, property corners, ground control and/or benchmarks and the proposed site improvements.
- Contractor shall notify Owner/Developer and Engineer immediately upon encountering any field conditions, which are inconsistent with the project plans and/or specifications.
- When noted on the project plans for demolition and/or removal, Contractor shall remove existing structures, building and debris and recycle and/or dispose of in accordance with Local, County, State and Federal regulations.
- Contractor shall remove excess construction materials and debris from site and perform restoration in accordance with the project plans and specifications. Disposing of excess materials and debris shall be performed in accordance with Local, County, State and Federal regulations.
- Construction access to the site shall be located as acceptable to the Owner/Developer and to the appropriate Local, County and/or State Agency with jurisdiction over the road(s) providing access to the site. Construction access shall be maintained and cleaned in accordance with the appropriate Local, County and/or State Agencies and as directed by Owner/Developer and/or Engineer.
- Contractor shall take necessary precautions to protect all site improvements from heavy equipment and construction procedures. Damage resulting from Contractor actions shall be repaired at Contractor's expense.



DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.						
CHECK: WMP						

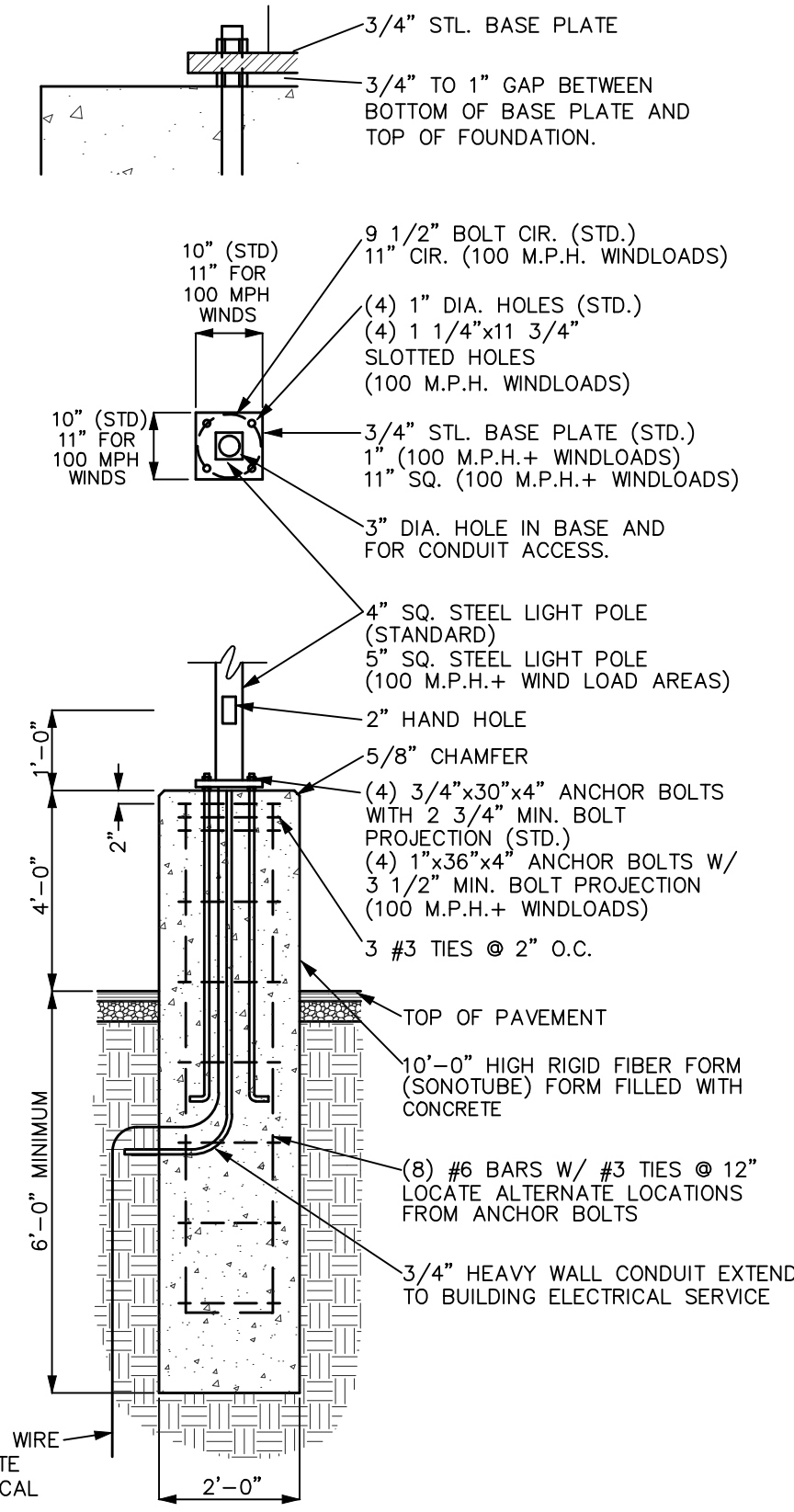
11935 HIGHLAND ROAD
HUNGRY HOWIES
HARTLAND, MI.

SITE DEVELOPMENT
NOTES AND
DETAILS

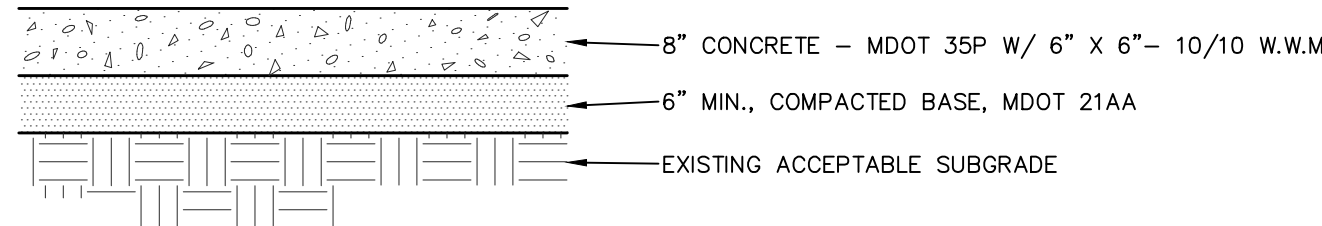
CLIENT:
8351 PETERSON INVESTMENT GROUP, LLC
1151 STONE BARN
MILFORD, MI. 48380

SCALE: N/A
PROJECT No.: 9203954
DWG NAME: 3954-DTS
ISSUED: DEC. 29, 2020

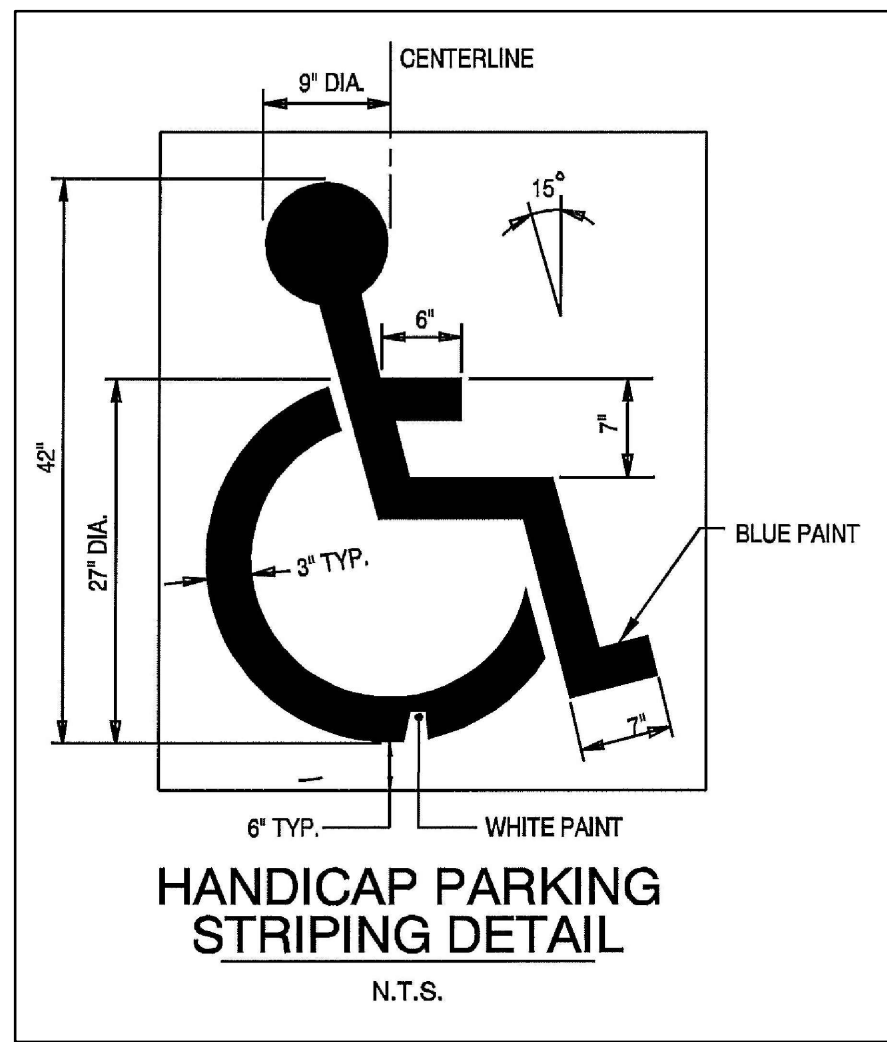
DT1



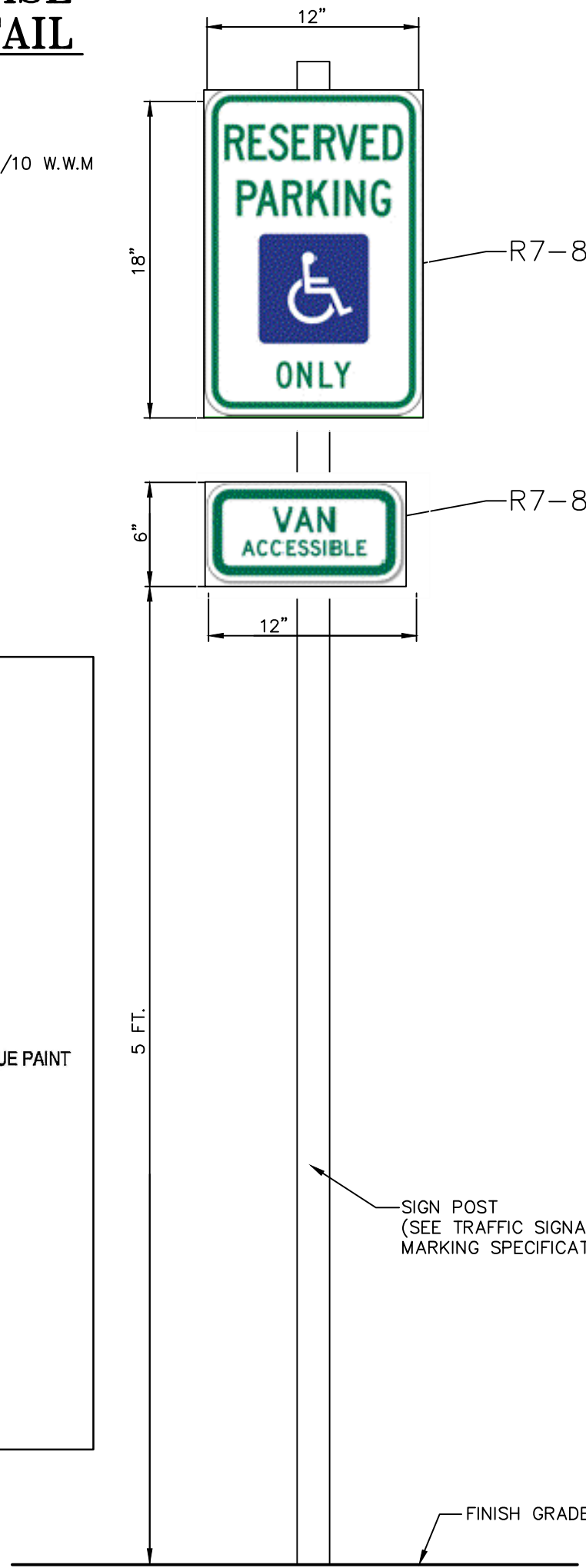
LIGHT POLE BASE
STANDARD DETAIL
NOT TO SCALE



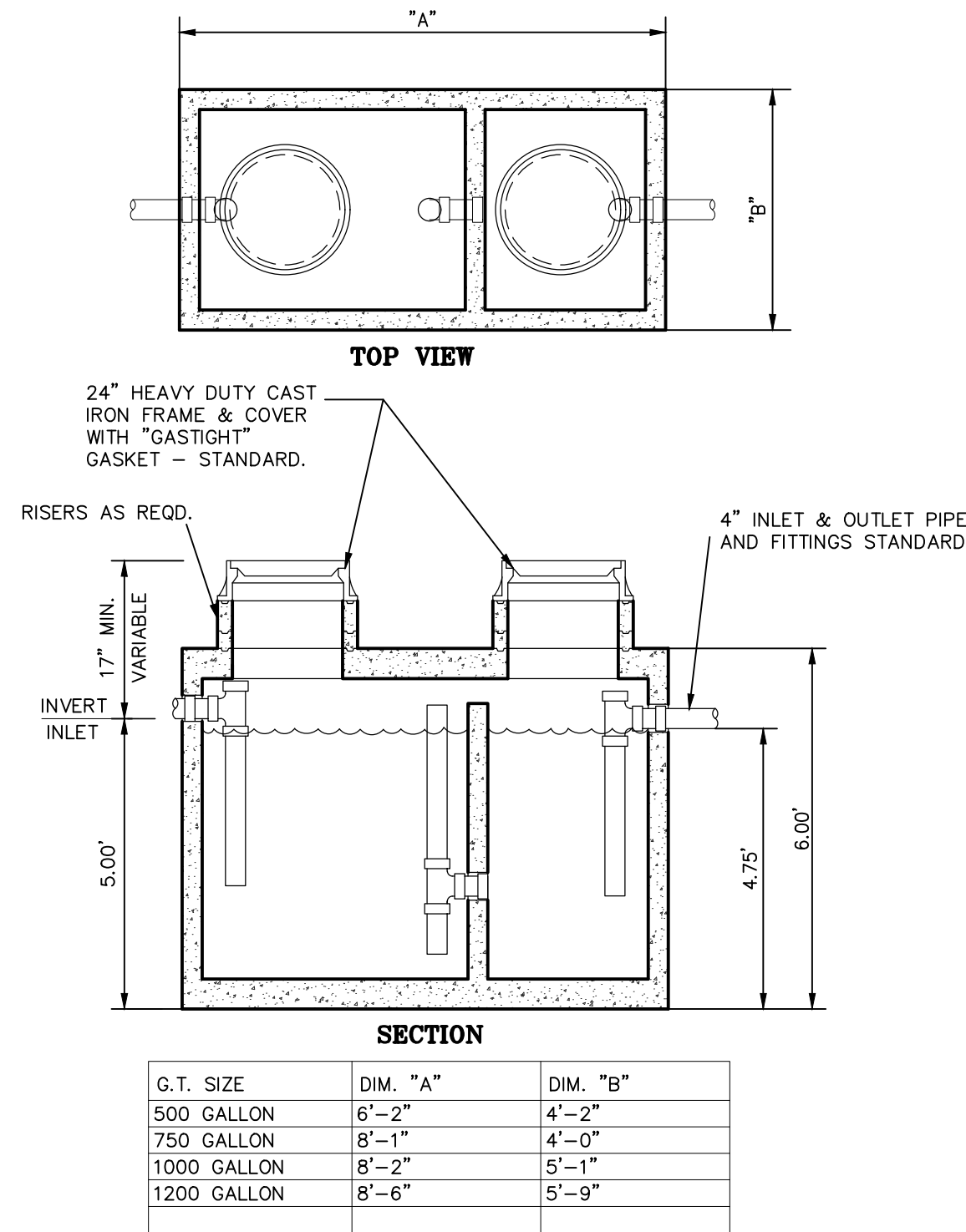
DUMPSTER PAD CROSS SECTION
NOT TO SCALE



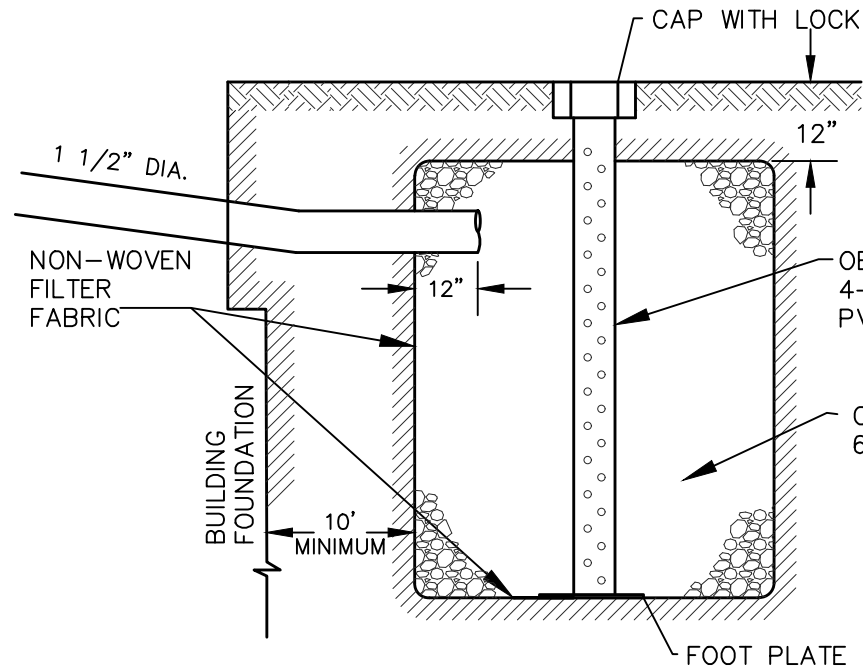
HANDICAP PARKING
STRIPING DETAIL
N.T.S.



BARRIER FREE PARKING
SIGN DETAIL
NOT TO SCALE



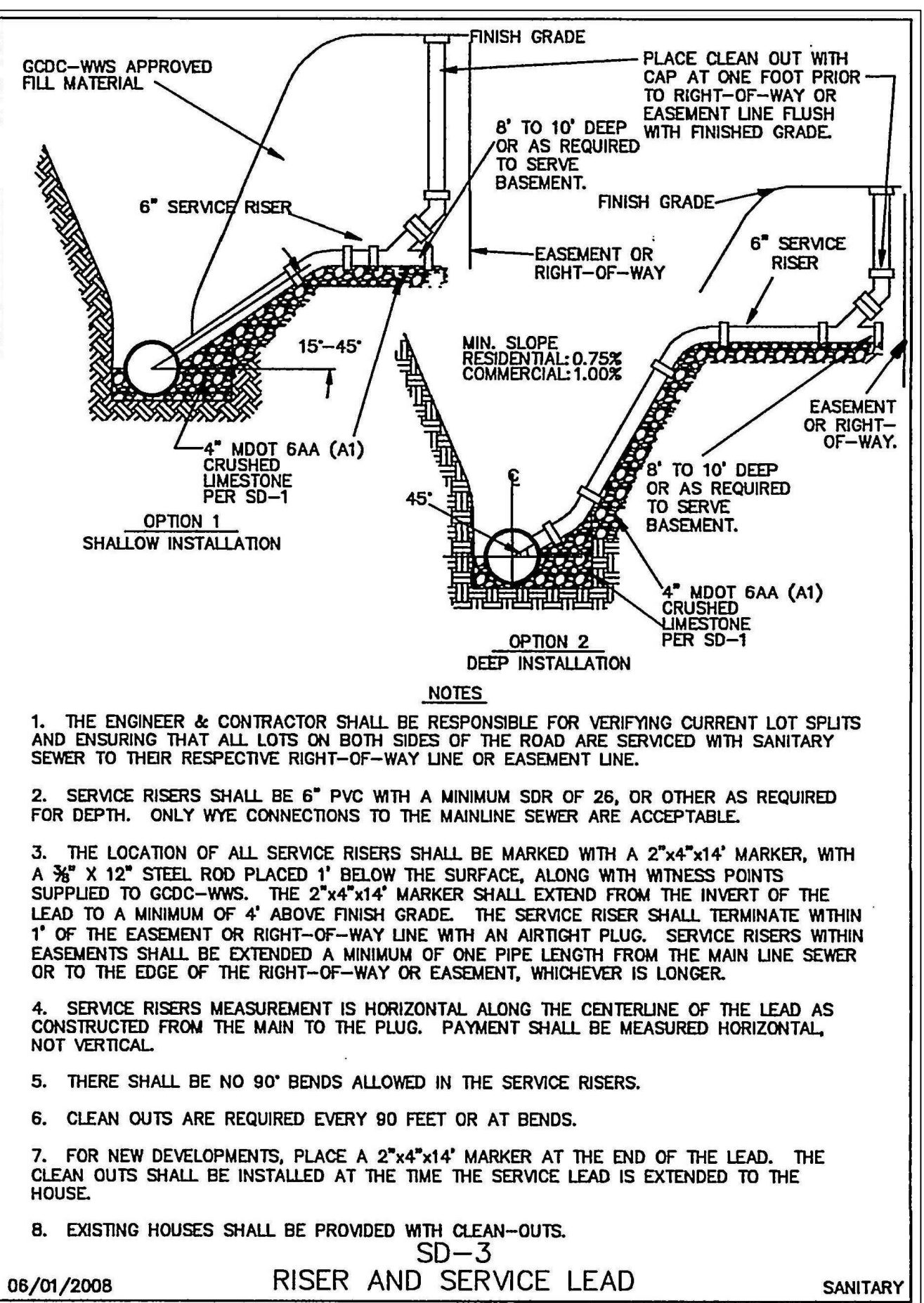
EXTERIOR GREASE TRAP
NOT TO SCALE



DRY WELL DETAIL
NOT TO SCALE

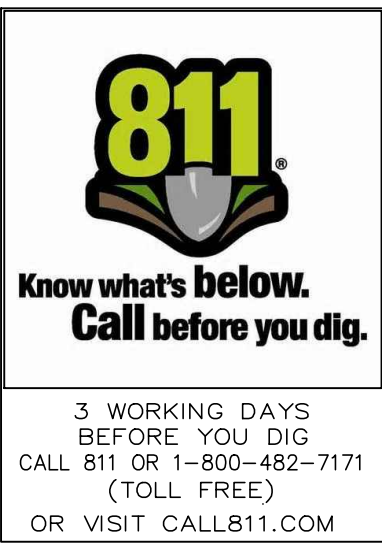
- NOTES:
- Drywells can be constructed by excavating an area in the ground and backfilling as shown on the detail. Pre-cast concrete and plastic drywell tanks can also be utilized.
 - All drywells must be a minimum of 10 feet from the house or building.
 - The bottom of the drywell must be 4 feet above the seasonally high groundwater level.
 - Soil corings, borings or test pits must be performed to determine the adequacy of soil to accept the design flow rates.
 - Generally, soils in the area of the drywell should be in the SCS Class A or B range.
 - Refer to computations for drywell sizing.

DRYWELL COMPUTATIONS	
Storage Required:	
Amount of water used during regeneration:	50 gal.
Assumed regenerations per day:	7
Total cubic feet of discharge per day:	46.79 cf
Storage Provided:	
Type of Stone:	6A washed
Void Volume:	40% (dumped, corrected)
Required amount of 6A stone:	117 cf
Summary: Contractor shall provide a drywell with at least 117 cubic feet of 6A stone per the detail above.	



GUARD POST DETAIL
NOT TO SCALE

NOTE:
PAINT ALL EXTERIOR SURFACES
WITH ONE COAT METAL PRIMER
AND ONE COAT EXT. PAINT



DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: L.F.		02-12-21	REVISED PER SITE PLAN REVIEW COMMENTS			
CHECK: WMP						

11935 HIGHLAND ROAD
HUNGRY HOWIES
HARTLAND, MI.

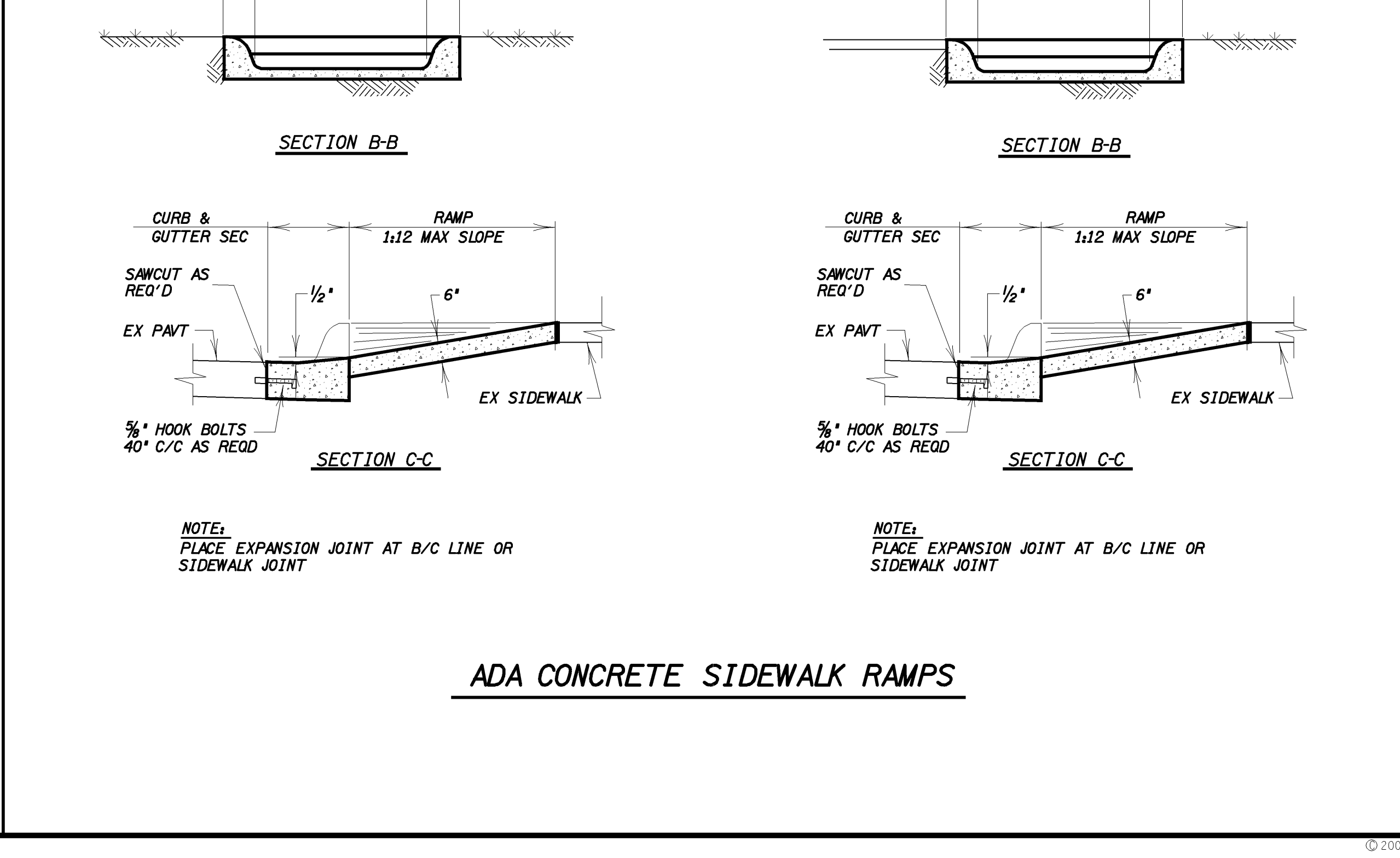
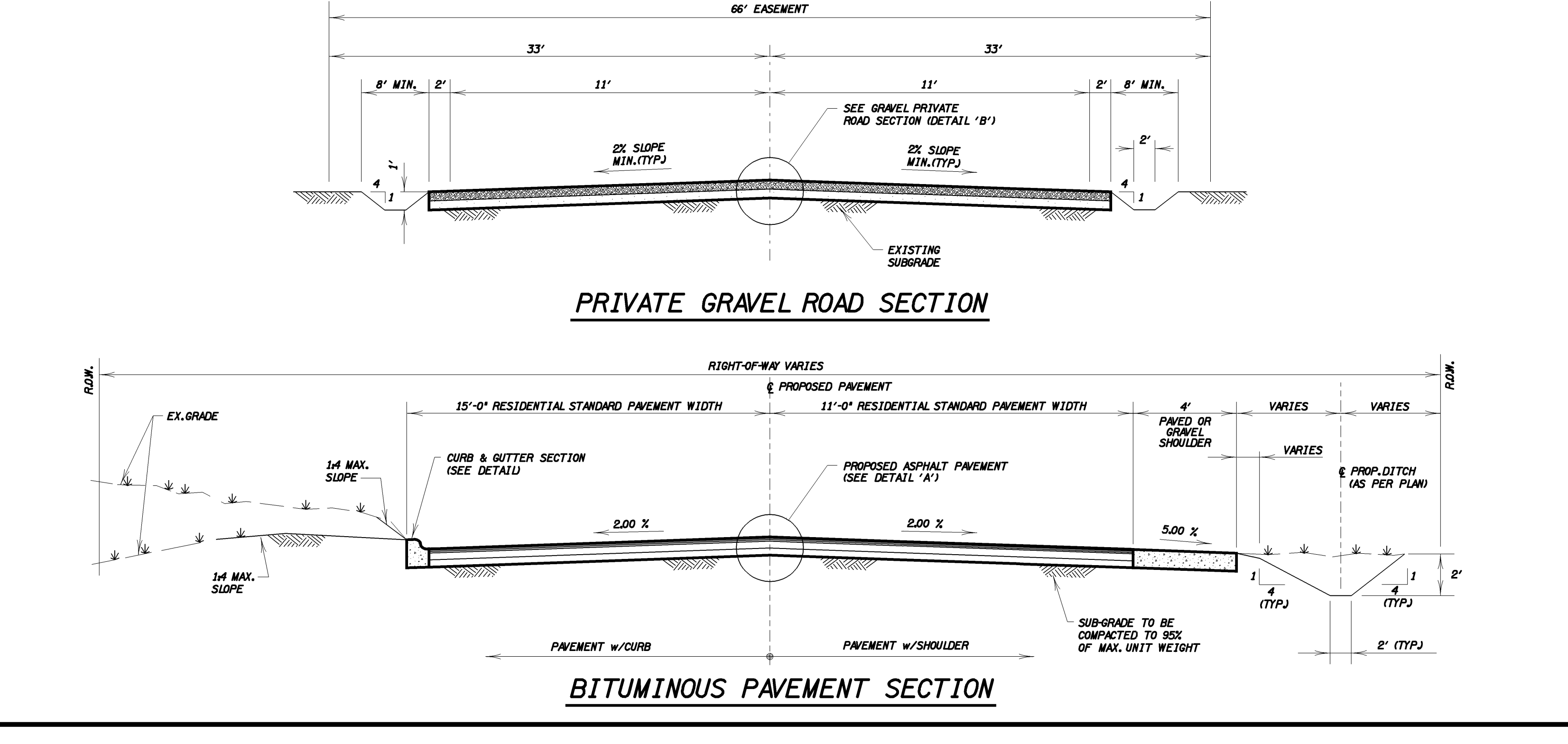
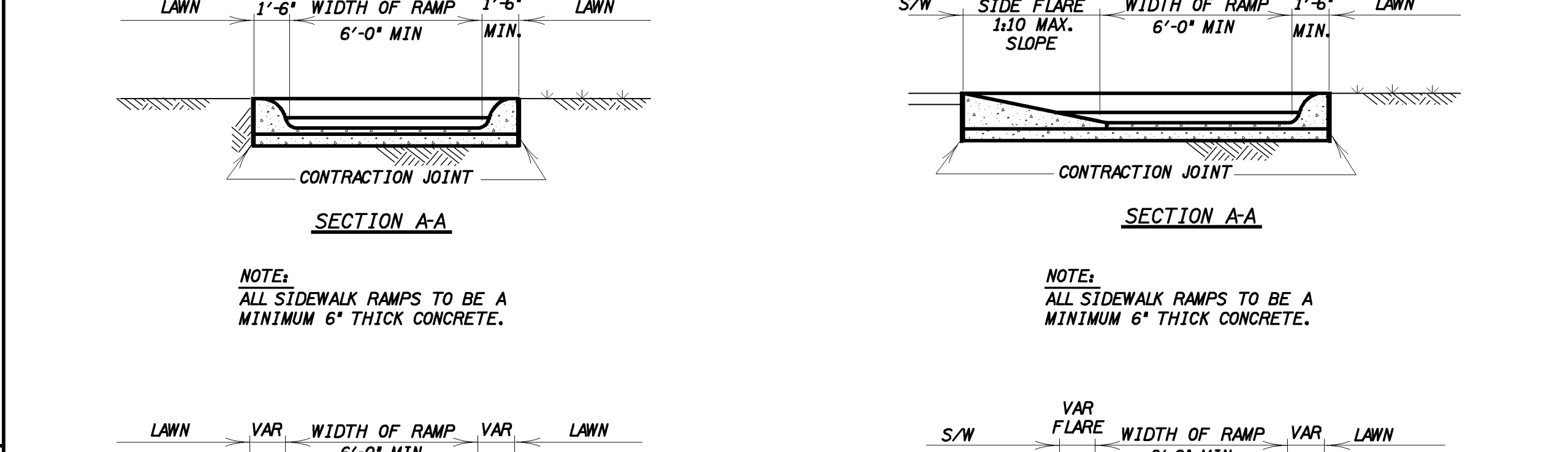
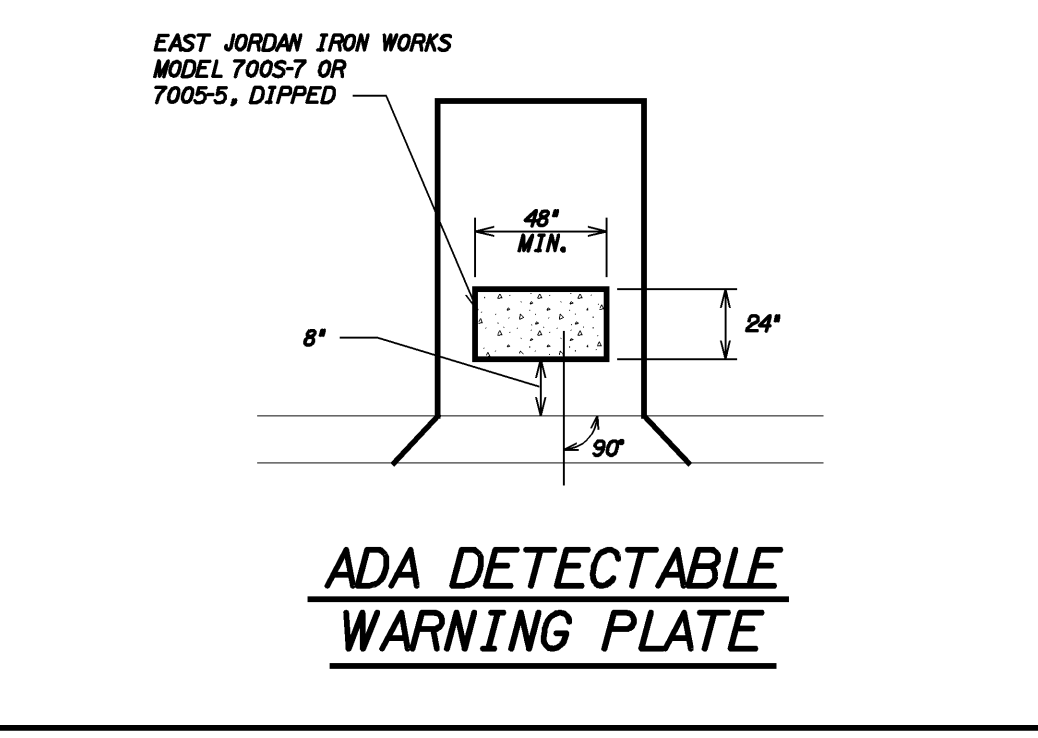
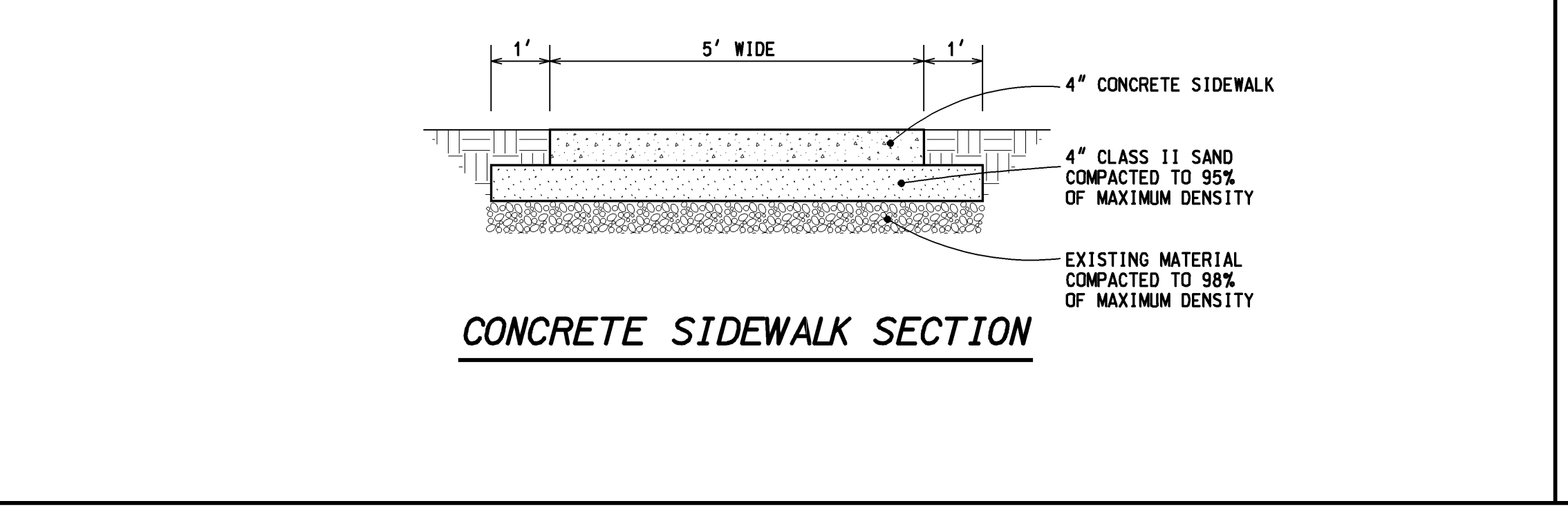
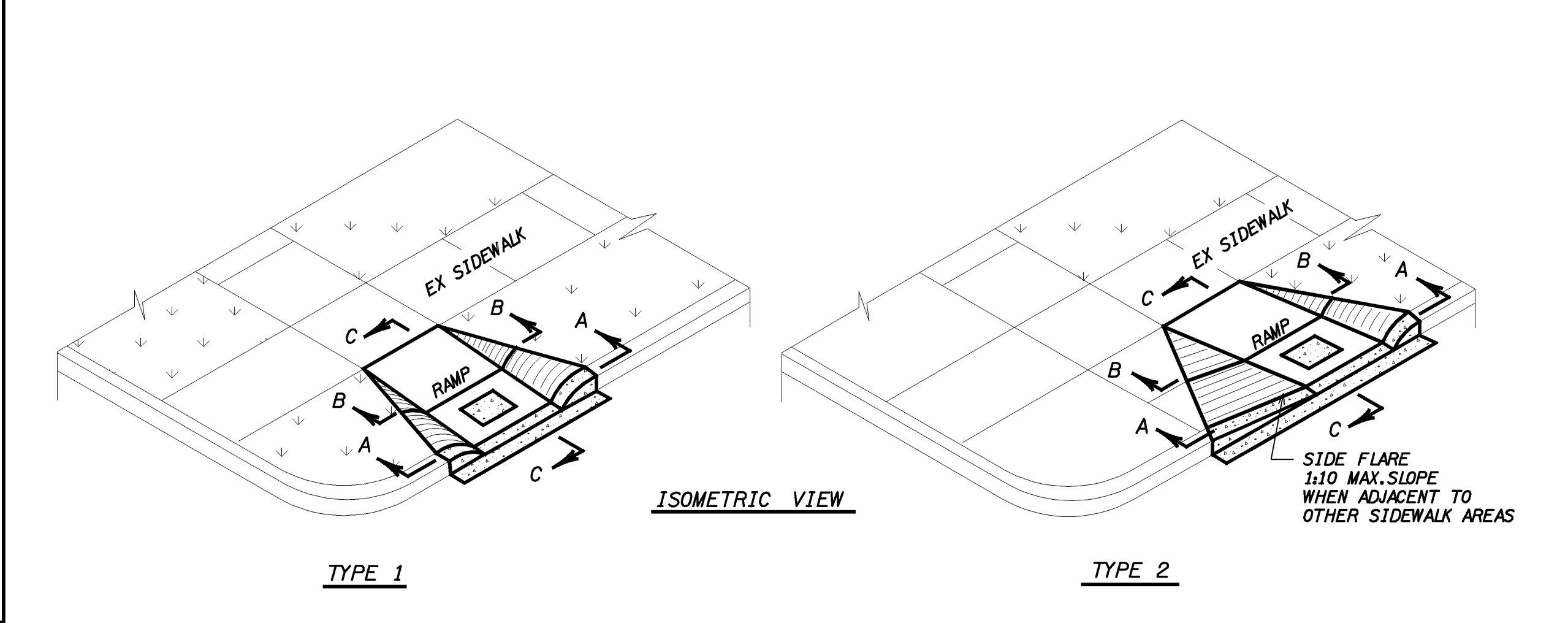
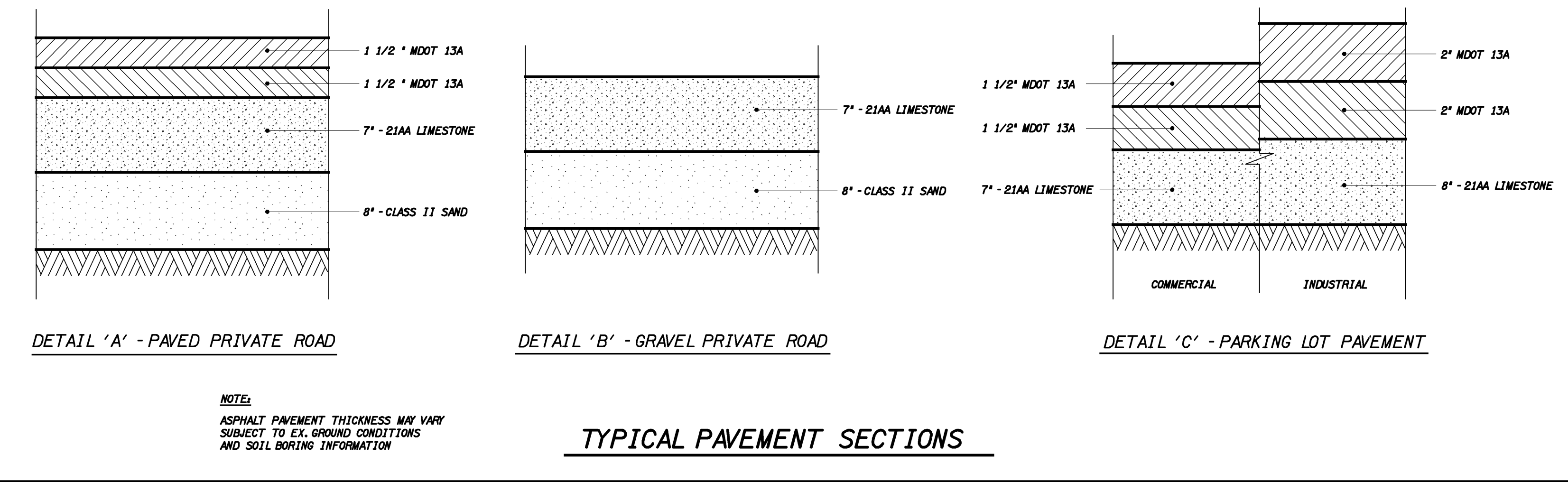
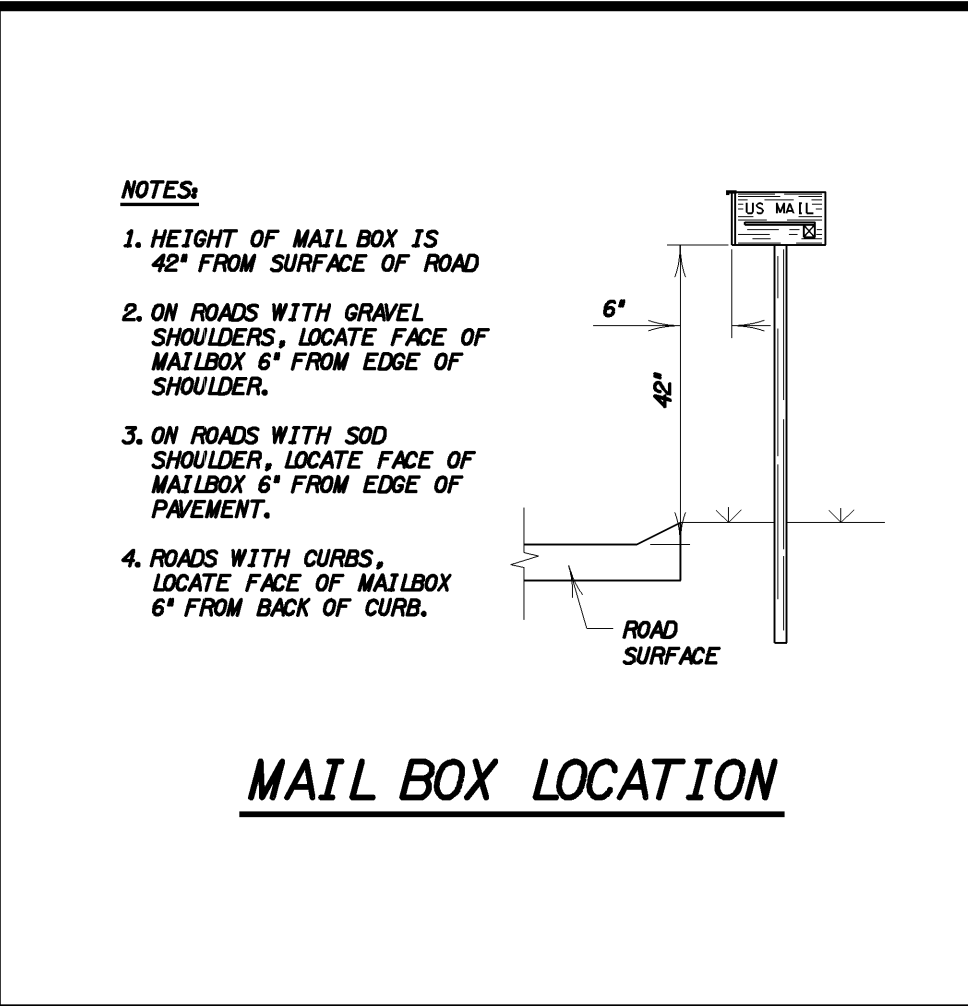
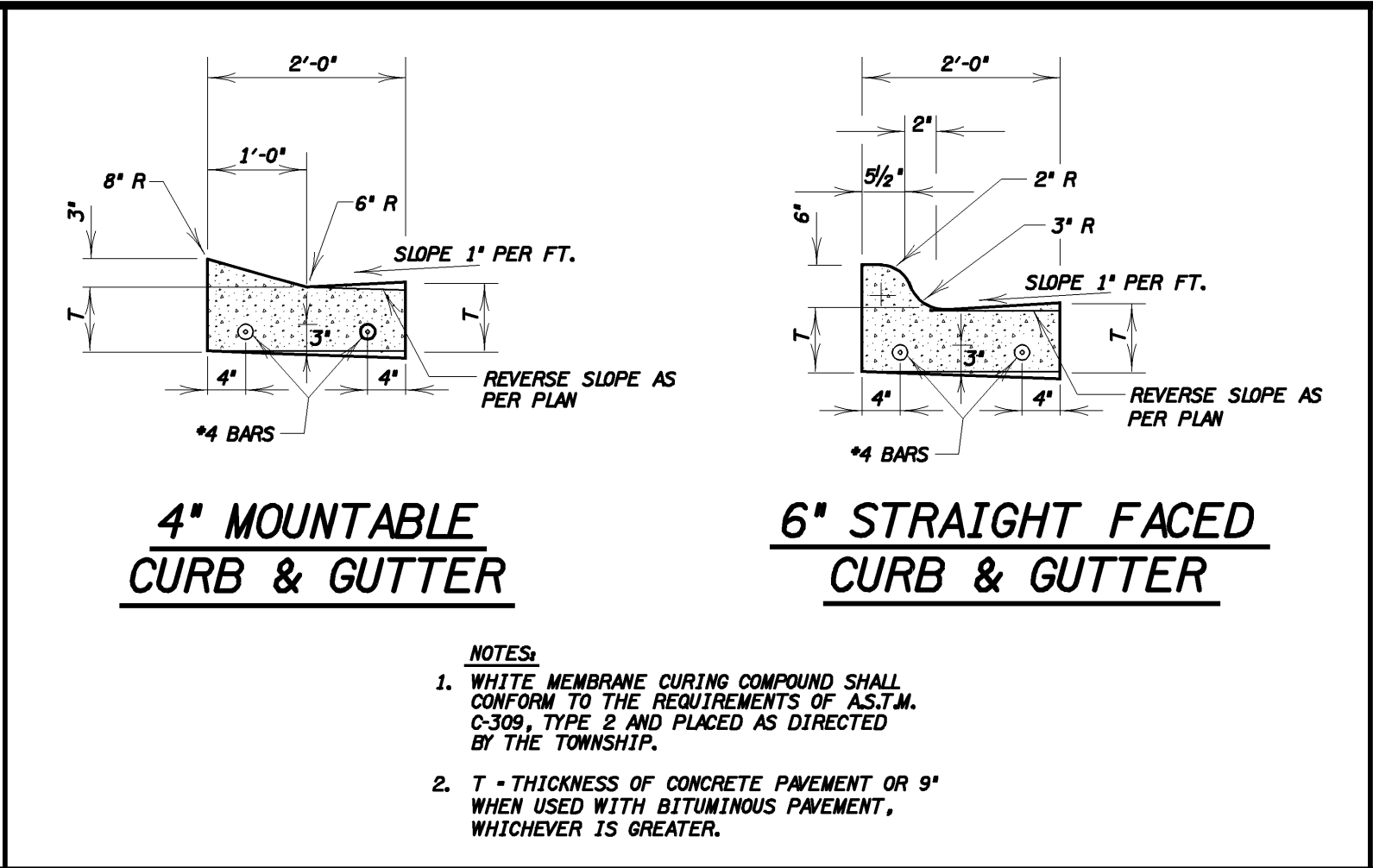
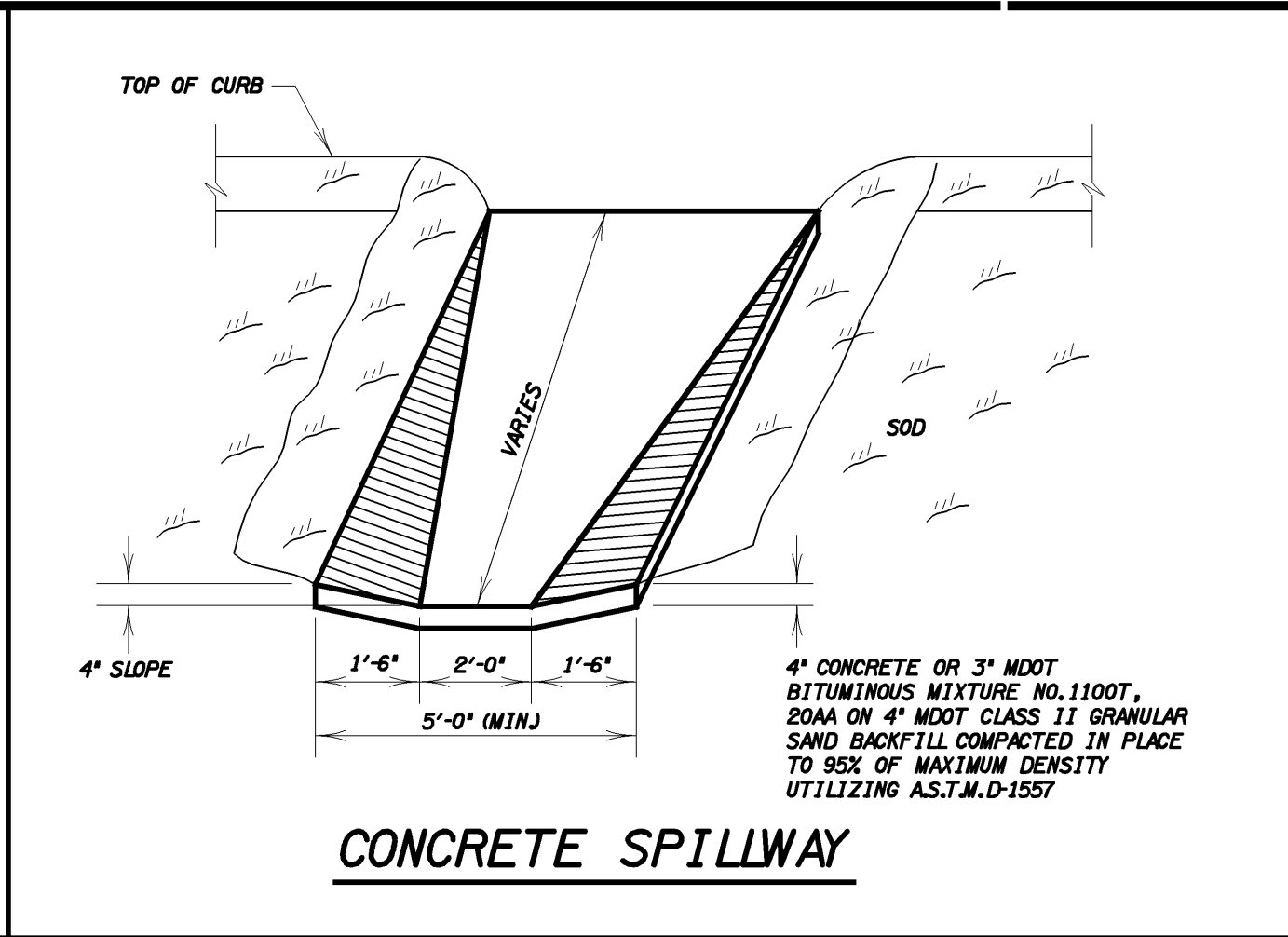
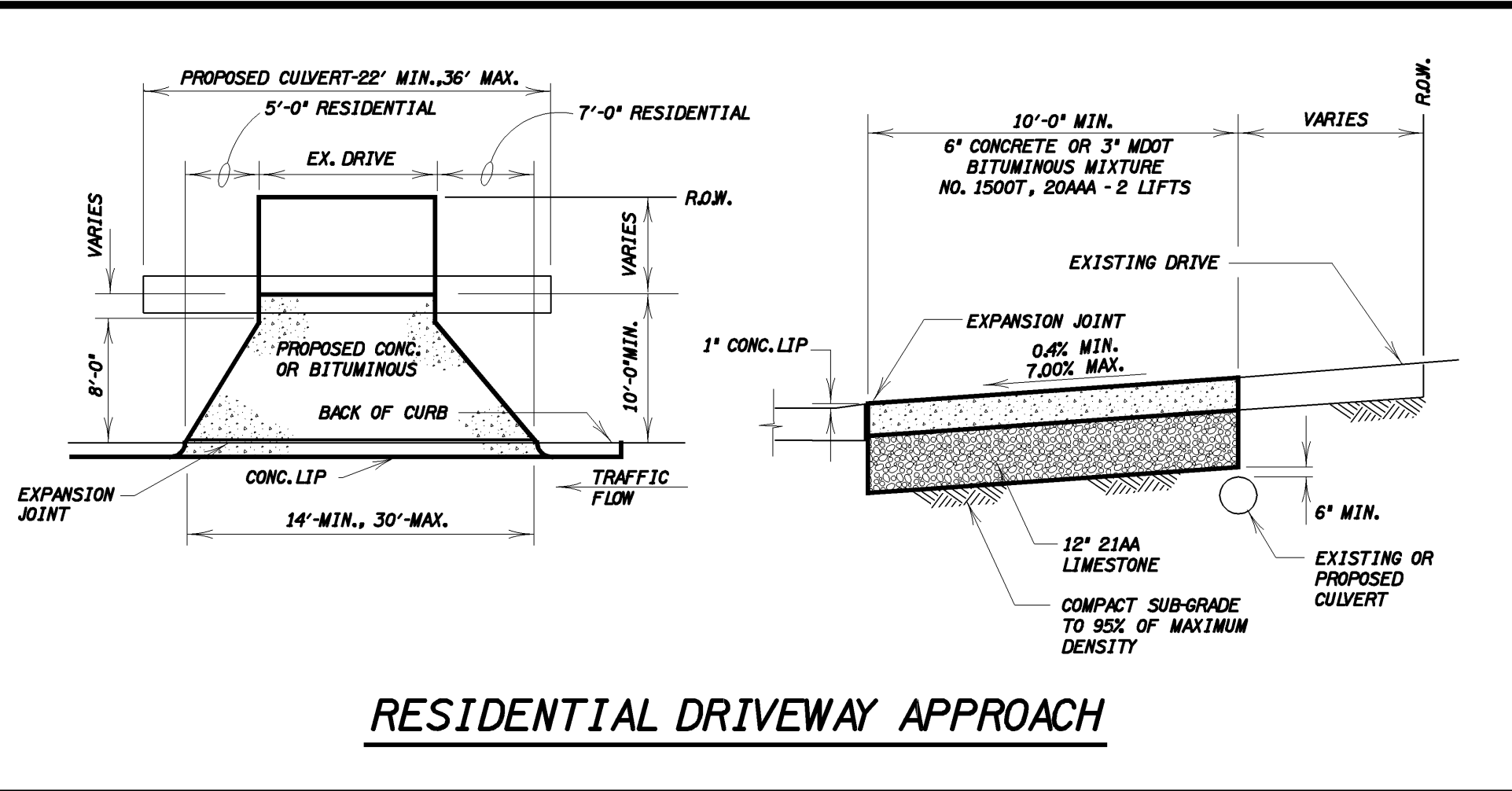
SITE DEVELOPMENT
NOTES AND
DETAILS

CLIENT:
8351 PETERSON INVESTMENT GROUP, LLC
1151 STONE BARN
MILFORD, MI. 48380

SCALE: N/A
PROJECT No.: 9203954
DWG NAME: 3954-DTS
ISSUED: FEB. 12, 2021

DT2

TIME: 20-NOV-2008 13:53
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QUEUE: 1\tracolor2.tbl
DESIGN FILE: W:\200708\200708TAC\DWG\DWG01.V8.dgn
USER NAME: hllfong



HARTLAND TOWNSHIP

HRC
HUBBELL, ROTH & CLARK, INC.
Consulting Engineers

3399 E. GRAND RIVER AVE. SUITE 102
HOWELL, MICHIGAN 48843-7555

PHONE: (248) 454-6300
DIRECT PHONE: (517) 552-9199
FAX: (517) 552-8099
WEB SITE: <http://www.hrc-engr.com>

11-18-08	
DATE	ADOPTED BY TOWNSHIP BOARD
DESIGNED	
DRAWN	J. REC
CHECKED	J. HEINTZ
APPROVED	J. BOOTH
V:\200708\200708TAC\DWG\DWG01.V8.dgn	

HARTLAND TOWNSHIP

STANDARD CONSTRUCTION DETAILS

PAVEMENT STANDARDS

HRC JOB NO.	SCALE
20070878	NONE

DATE	SHEET NO.
JULY 2008	1 OF 1

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DETENTION BASIN OUTLET STRUCTURE DETAIL

END SECTION AND BAR SCREEN DETAIL

HDPE BEDDING DETAIL

PROPOSED PROJECT:
MULTI-TENANT BUILDING
HIGHLAND ROAD, HARTLAND, MICHIGAN

PARCEL NUMBER: 4708-22-400-025

ARCHITECT:

**jeffery a. scott
architects p.c.**
32316 grand river ave.
suite 200
farmington, mi 48336
248-476-8800
JSCOTTARCHITECTS.COM
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LIST OF CONTACTS

ARCHITECT-ENGINEER:

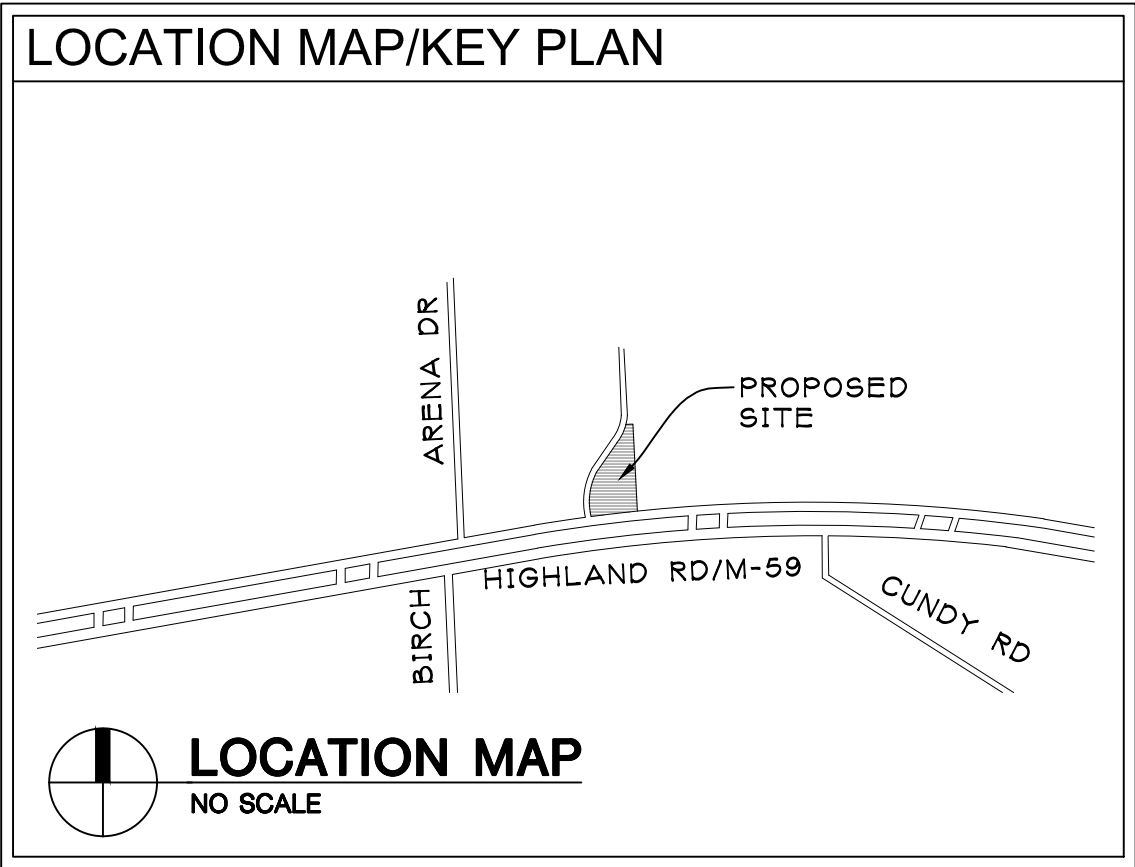


jeffery a.
scott
architects p.c.

32316 grand river ave. suite 200
farmington, michigan 48336-3261
(248) 476-8800 JSCOTTARCHITECTS.COM

OWNER:

PETERSON INVESTMENT GROUP, LLC
ATTN: MIKE PETERSON
1151 STONE BARN
MILFORD, MI 48380

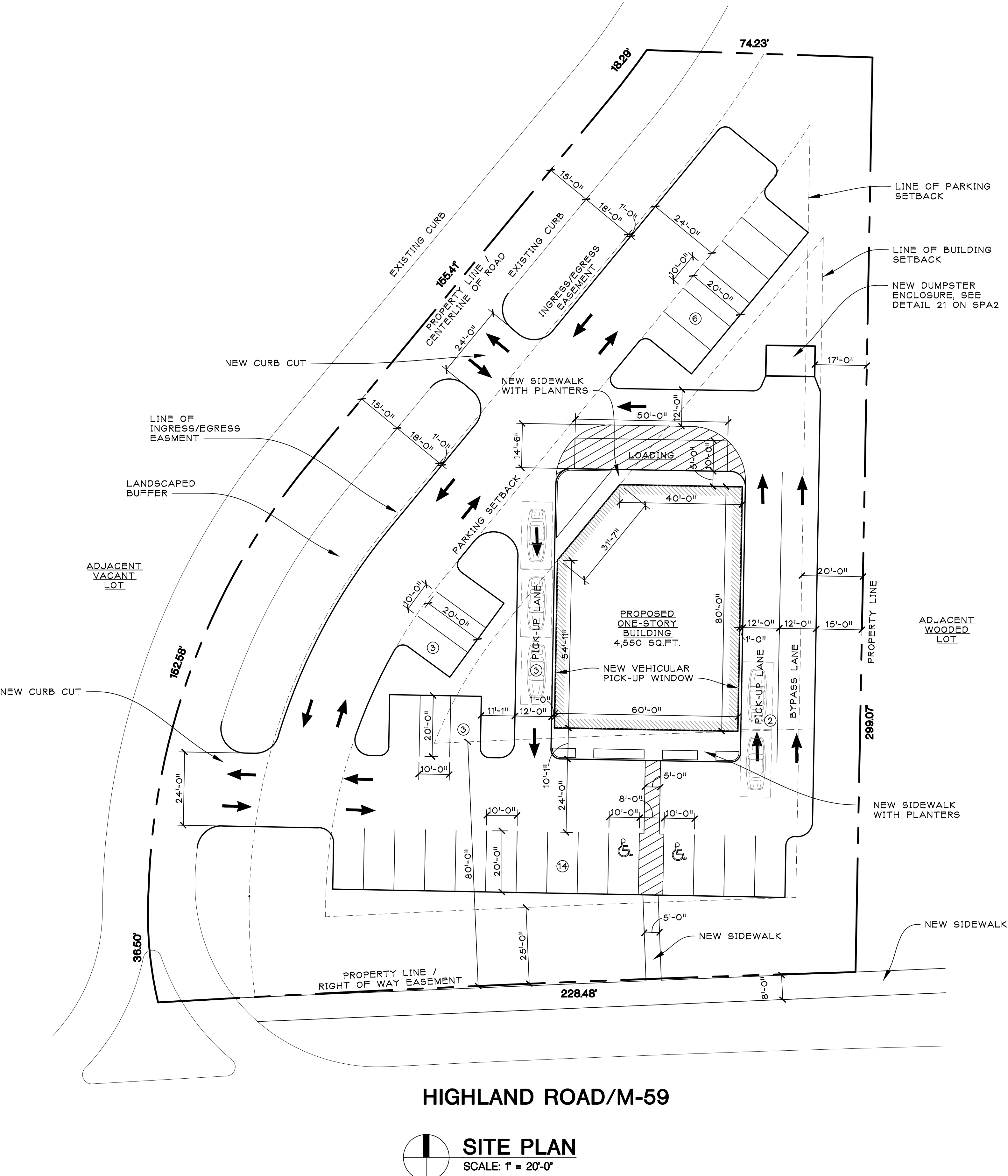


SITE DATA

PARCEL ID:	4708-22-400-025
CURRENT ZONING:	GC - GENERAL COMMERCIAL
LOT SIZE:	54,544 SQ.FT. (125 ACRES)
BUILDING AREA:	4,550 SQ.FT.
LOT COVERAGE ALLOWED:	75.0% PROVIDED: 8.3%
SETBACKS	
PARKING	REQUIRED PROVIDED
SOUTH (FRONT)	25 FT. 25 FT.
WEST (FRONT)	25 FT. 25 FT.
NORTH (BACK)	10 FT. 45 FT.
EAST (SIDE)	20 FT. 23 FT.
BUILDING	REQUIRED PROVIDED
SOUTH (FRONT)	80 FT. 80 FT.
WEST (FRONT)	50 FT. 50 FT.
NORTH (BACK)	40 FT. 142 FT.
EAST (SIDE)	15 FT. 40 FT.
PARKING	
REQUIRED	
TENANT 1: (CARRY-OUT)	6 + 1/EMP. =10
TENANT 2: (RETAIL)	1/300 SQ.FT. GROSS =5
TENANT 3: (CARRY-OUT)	6 + 1/EMP. =10
TOTAL PARKING REQUIRED BY USE:	=25
PROVIDED	
STANDARD:	24
PICK-UP STACKING:	5
ACCESSIBLE:	2
TOTAL PARKING PROVIDED:	31 SPACES

BUILDING DATA


USE GROUP: (301-312)	B - BUSINESS
CONSTRUCTION TYPE: (601)	5B
FIRE PROTECTION: (903.3)	NON-SPRINKLED
SEPARATION:	NON-SEPARATED
LEASE AREAS:	
TENANT 1:	1,370 SQ.FT.
TENANT 2:	1,496 SQ.FT.
TENANT 3:	1,653 SQ.FT.
LANDLORD:	31 SQ.FT.
TOTAL BUILDING AREA:	4,550 SQ.FT.
FLOOR AREAS:	
ALLOWED: (TABLE 506.2)	9,000 SQ.FT.
PROPOSED:	
TENANT 1:	1,226 SQ.FT.
TENANT 2:	1,400 SQ.FT.
TENANT 3:	1,481 SQ.FT.
LANDLORD:	18 SQ.FT.
TOTAL FLOOR AREA:	4,125 SQ.FT.
OCCUPANT LOAD: (1004.12)	
TENANT 1: (ESTIMATED)	
STANDING (1/5)	30/5 = 6
KITCHEN (1/200)	975/200 = 5
TENANT 1 TOTAL:	= 11 PERSONS
TENANT 2: (ESTIMATED)	
RETAIL (1/60)	730/60 = 12
STORAGE (1/300)	486/300 = 2
TENANT 2 TOTAL:	= 14 PERSONS
TENANT 3:	
STANDING (1/5)	33/5 =7
KITCHEN (1/200)	1,095/200 =6
TENANT 3 TOTAL:	= 13 PERSONS
TOTAL OCCUPANT LOAD:	= 38 PERSONS



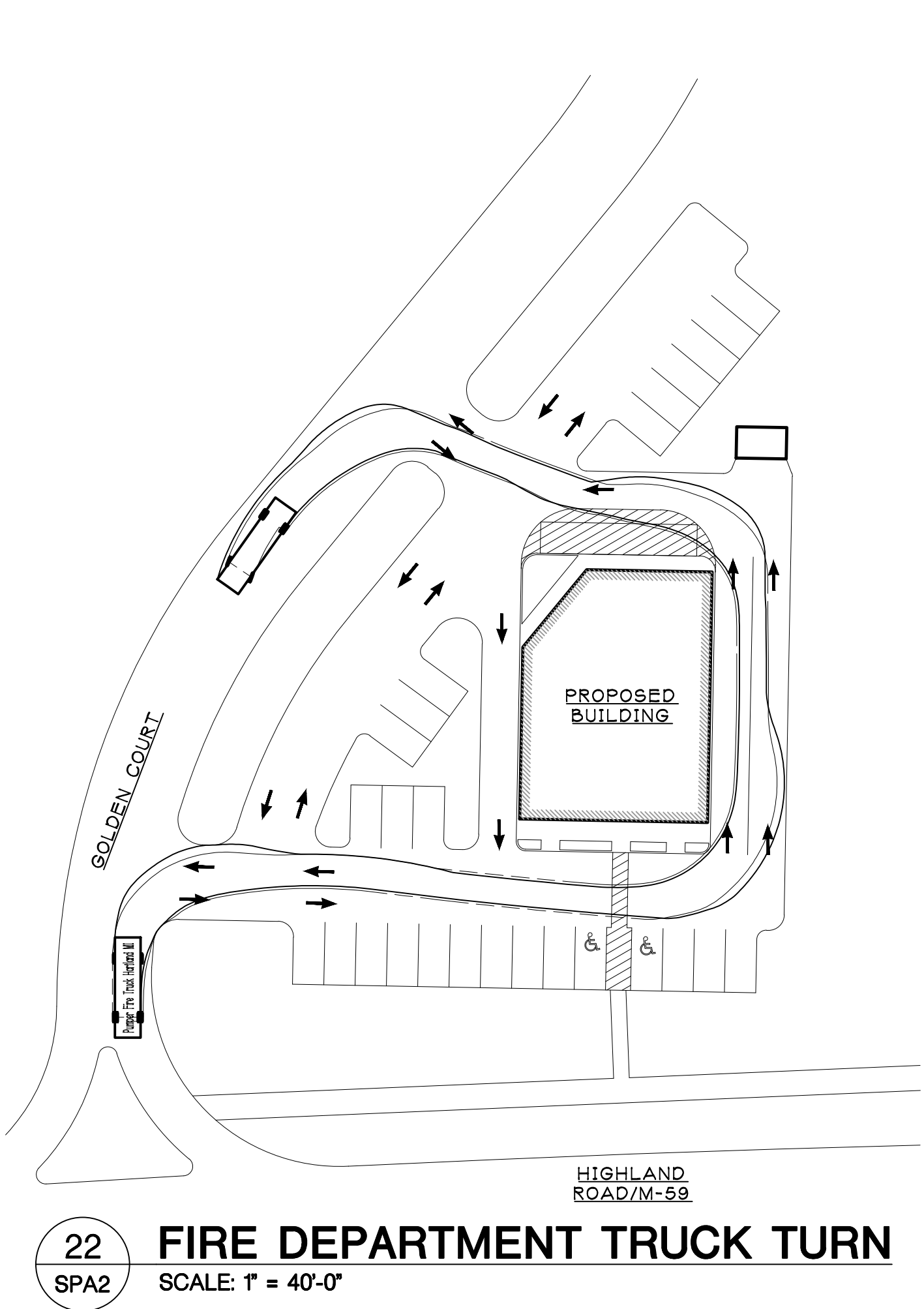
SHEET TITLE:
**ARCHITECTURAL
SITE PLAN**

PROJECT:
**PROPOSED PROJECT:
MULTI-TENANT
BUILDING
HIGHLAND ROAD
HARTLAND, MI**

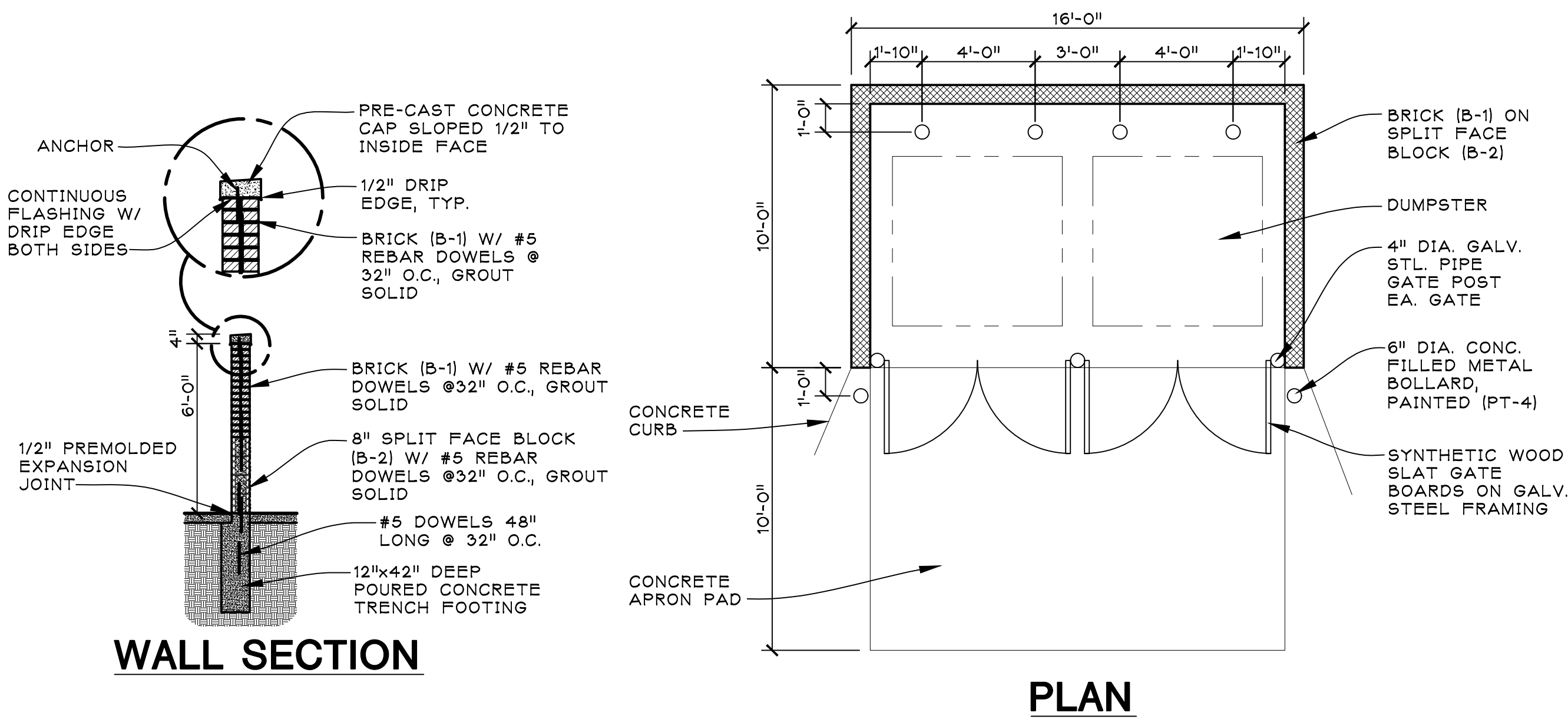
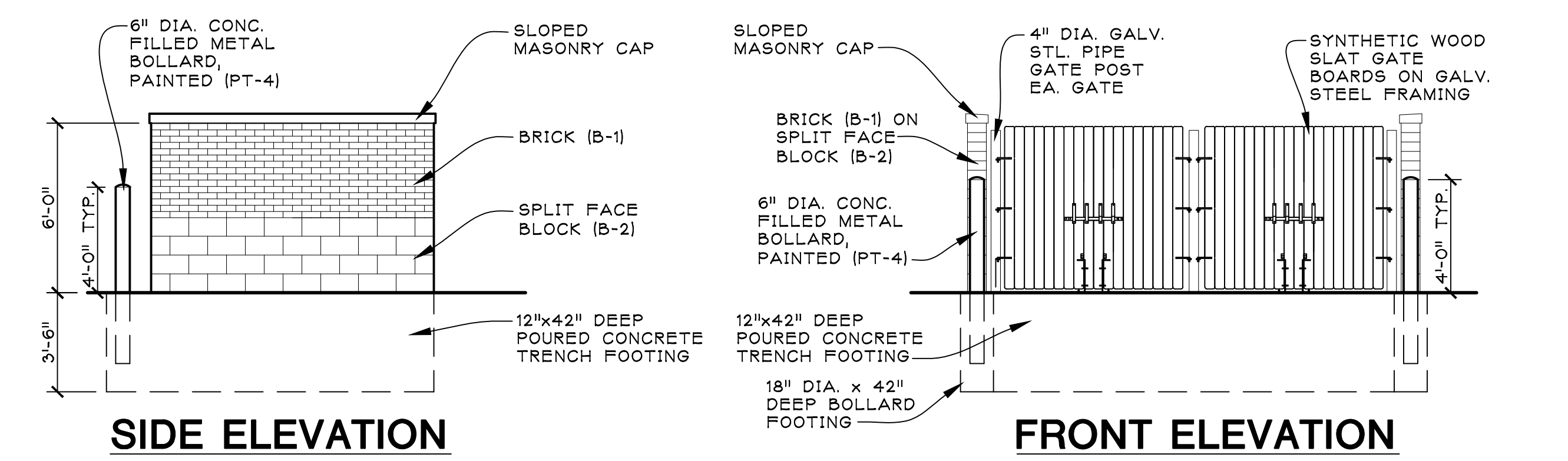
ISSUED FOR:
SITE PLAN APP. 01/05/2021
REVISION 02/26/2021
REVISION 03/12/2021


DO NOT SCALE PRINTS
USE FIGURED DIMENSIONS ONLY
JOB NO.

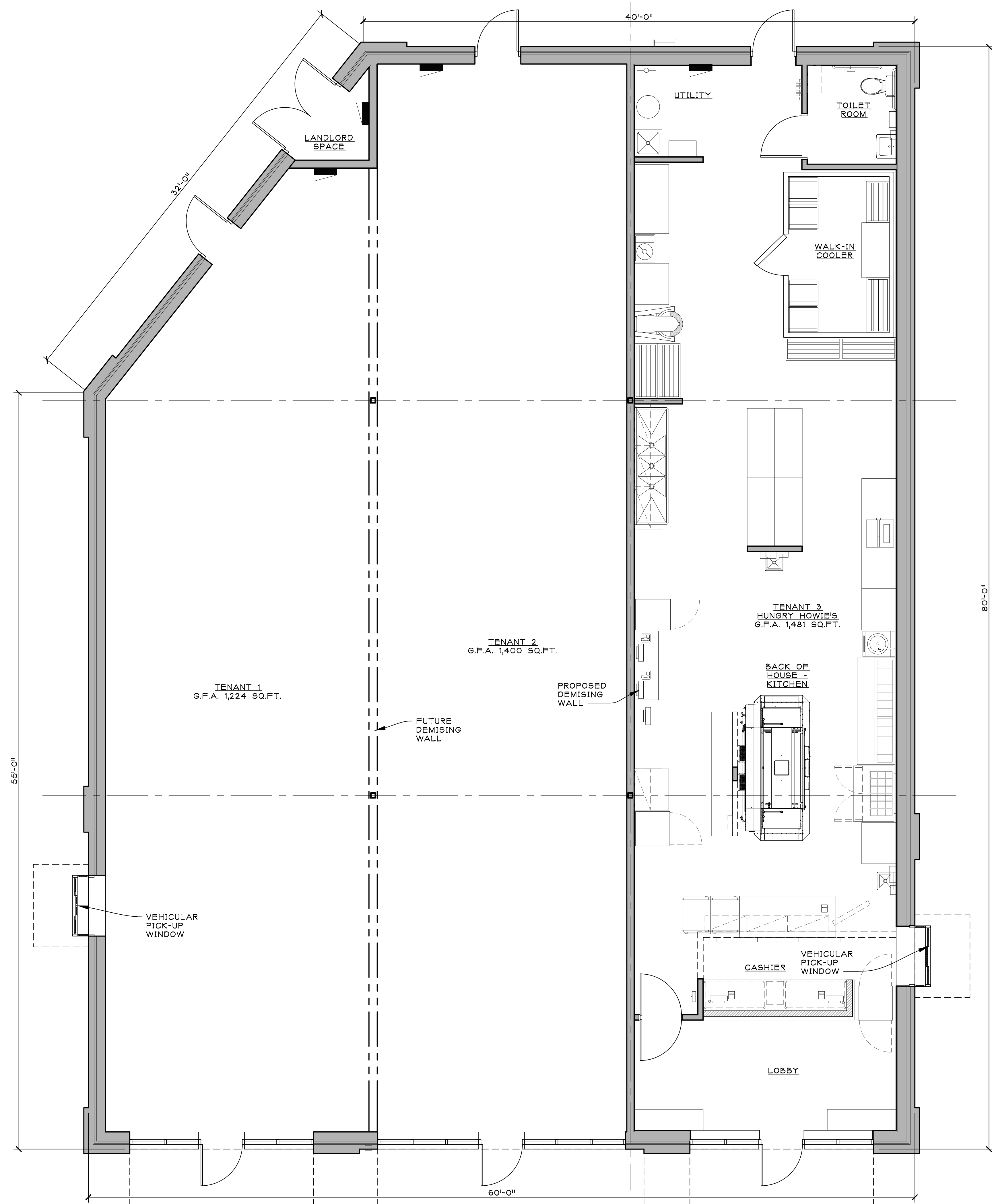
20082
SHEET NO.
SPA1
PLOT SIZE: 36"X24"



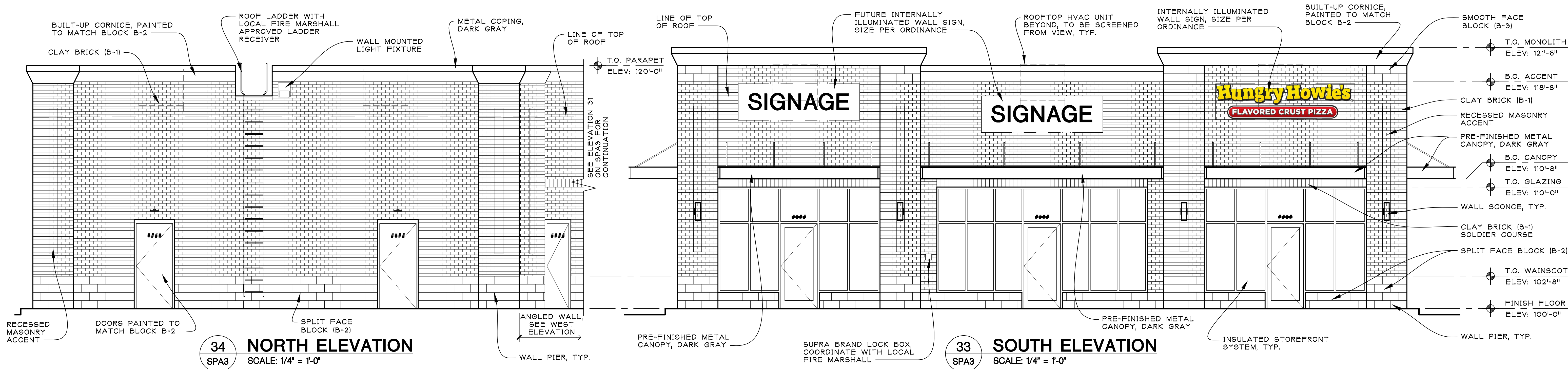
22 FIRE DEPARTMENT TRUCK TURN
SPA2 SCALE: 1" = 40'-0"



21 DUMPSTER ENCLOSURE DETAILS
SPA1 SCALE: 1/4" = 1'-0"



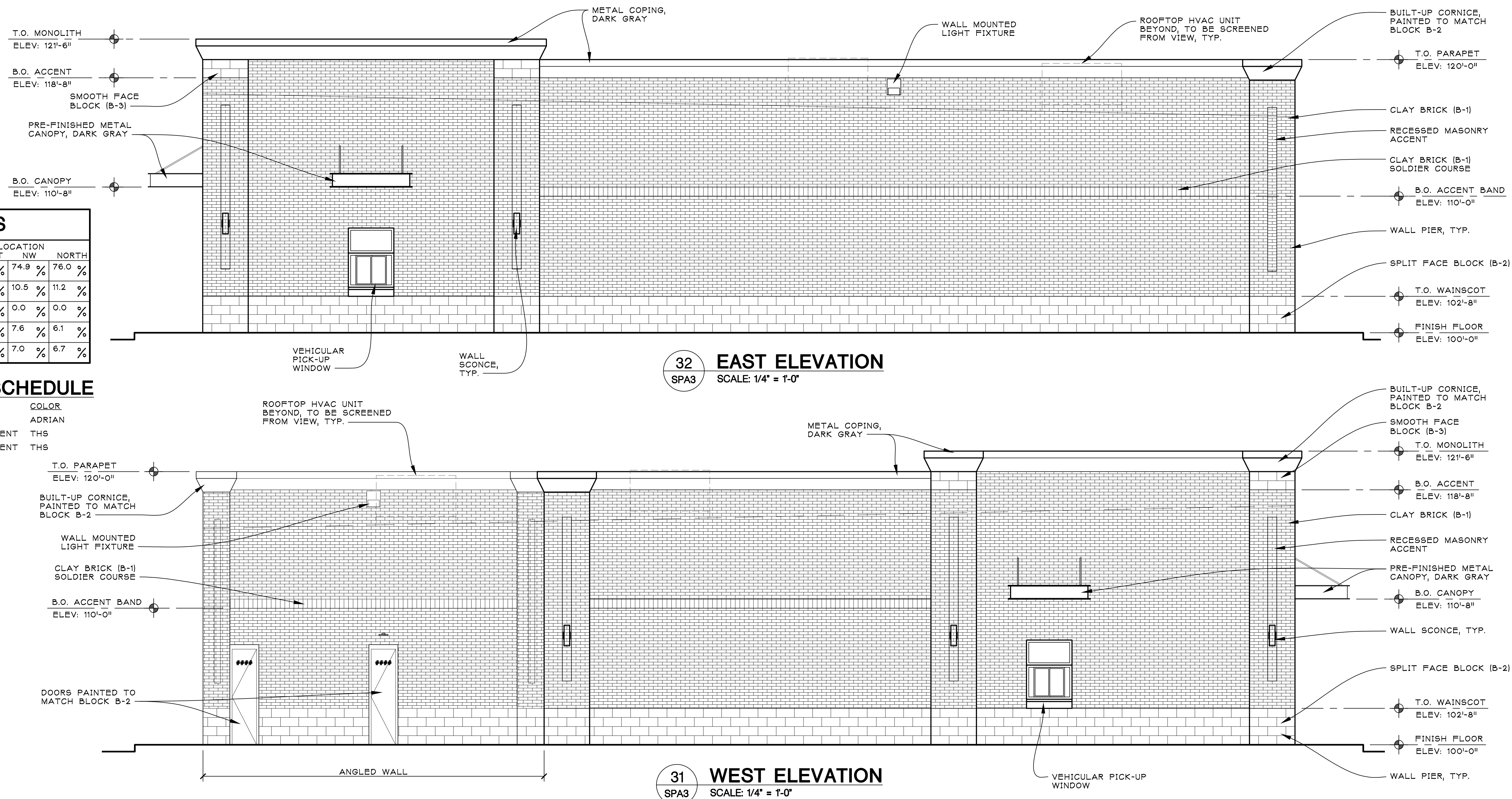
FLOOR PLAN
SCALE: 1/4" = 1'-0"



BUILDING MATERIALS						
BUILDING MATERIAL	EAST		ELEVATION LOCATION		NORTH	
CLAY BRICK (B-1)	78.5 %	53.6 %	77.9 %	74.9 %	76.0 %	
SPLIT-FACE BLOCK (B-2)	13.0 %	6.7 %	12.8 %	10.5 %	11.2 %	
ACCENT BLOCK (B-3)	0.5 %	1.4 %	0.8 %	0.0 %	0.0 %	
WINDOWS/ENTRY	1.0 %	31.3 %	1.5 %	7.6 %	6.1 %	
CORNICE/TRIM	7.0 %	7.0 %	7.0 %	7.0 %	6.7 %	

EXTERIOR MATERIALS SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	COLOR
B-1	UTILITY BRICK	GLEN-GERY	ADRIAN
B-2	SPLIT-FACE BLOCK	GRAND BLANC CEMENT	THS
B-3	CONCRETE BLOCK	GRAND BLANC CEMENT	THS



ARCHITECT:
jeffery a. scott
architects p.c.
32316 grand river ave.
suite 200
farmington, mi 48336
248-476-8800
JSCOTTARCHITECTS.COM
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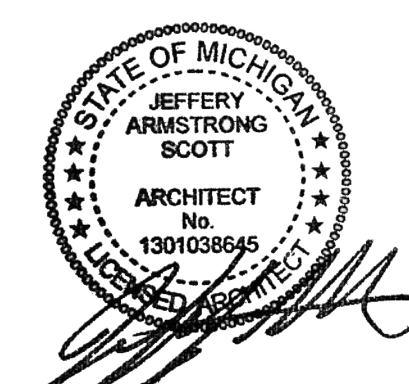
SHEET TITLE:

EXTERIOR
ELEVATIONS

PROJECT:

PROPOSED PROJECT:
**MULTI-TENANT
BUILDING**
HIGHLAND ROAD
HARTLAND, MI

ISSUED FOR:
SITE PLAN APP. 01/05/2021
REVISION 02/26/2021
REVISION 03/12/2021

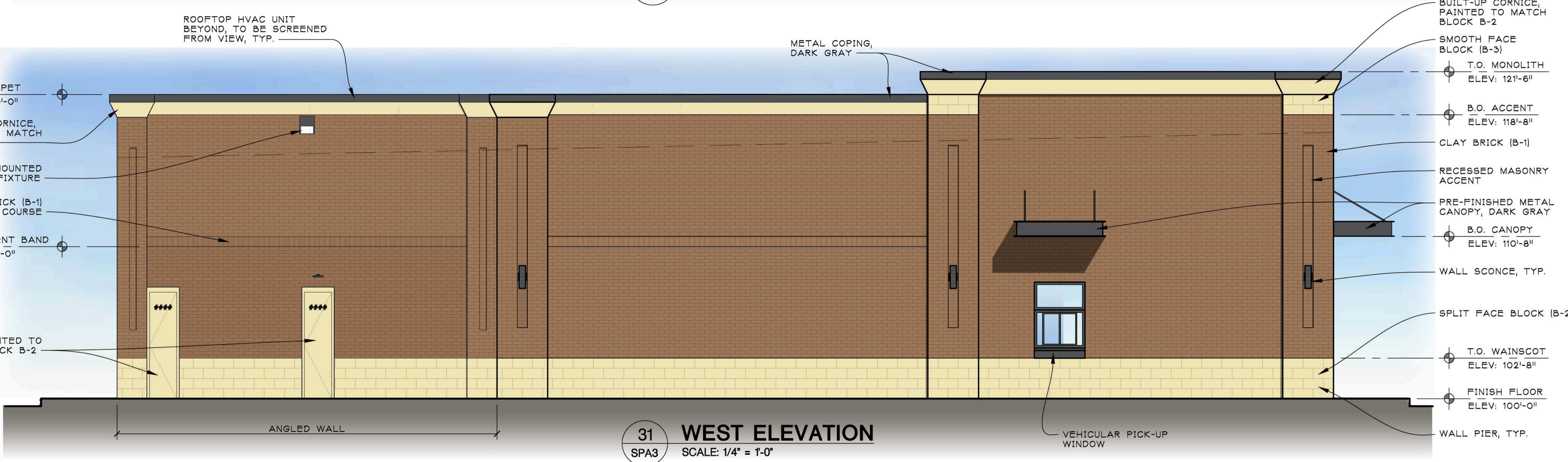
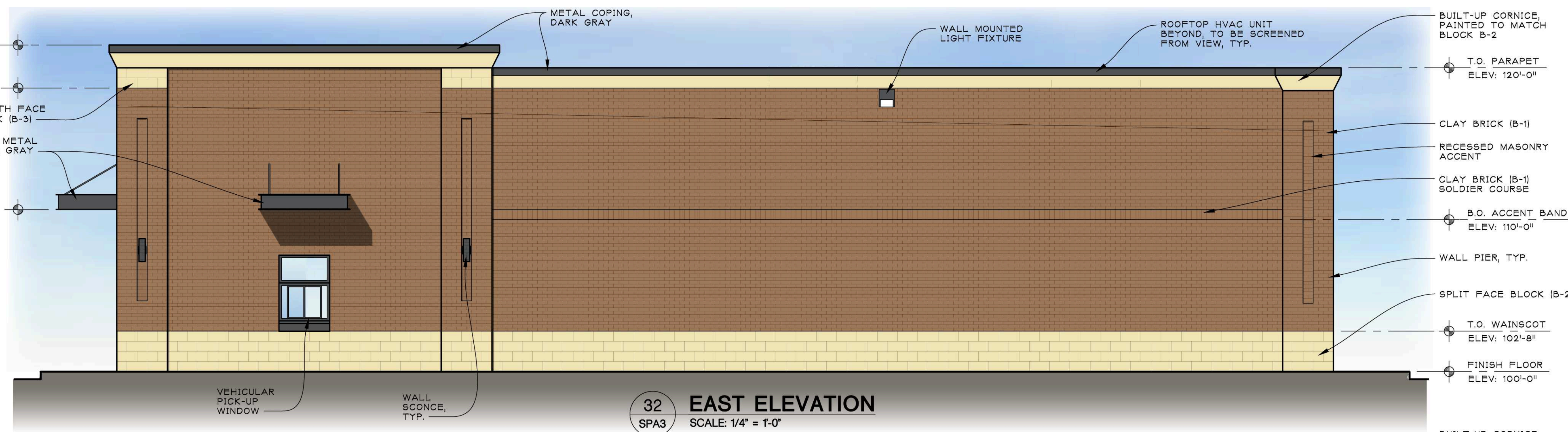
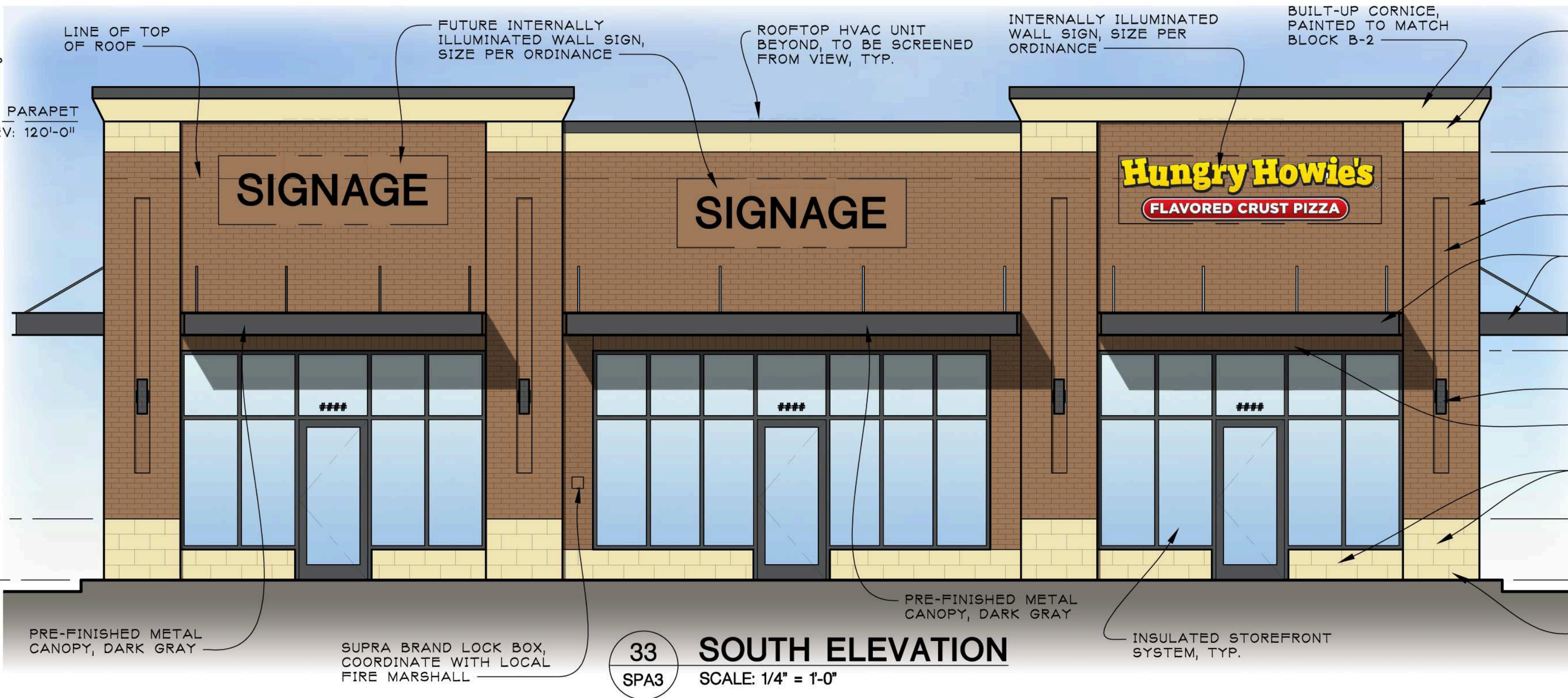
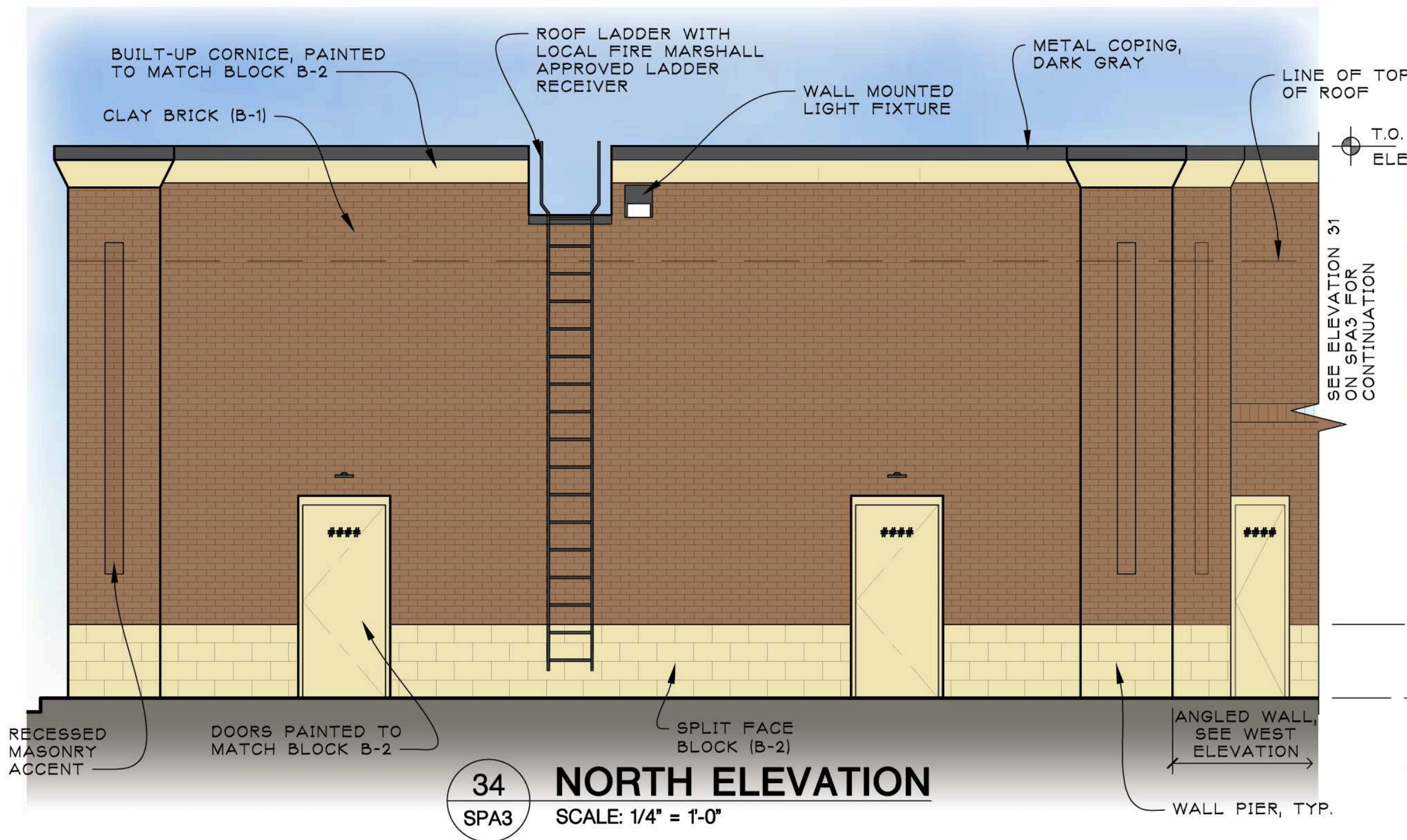


DO NOT SCALE PRINTS
USE FIGURED DIMENSIONS ONLY
JOB NO.

20082
SHEET NO.

SPA3

PLOT SIZE: 36"X24"



BUILDING MATERIALS						
BUILDING MATERIAL	EAST		ELEVATION LOCATION		NORTH	
CLAY BRICK (B-1)	78.5 %	53.6 %	77.9 %	74.9 %	76.0 %	
SPLIT-FACE BLOCK (B-2)	13.0 %	6.7 %	12.8 %	10.5 %	11.2 %	
ACCENT BLOCK (B-3)	0.5 %	1.4 %	0.8 %	0.0 %	0.0 %	
WINDOWS/ENTRY	1.0 %	31.3 %	1.5 %	7.6 %	6.1 %	
CORNICE/TRIM	7.0 %	7.0 %	7.0 %	7.0 %	6.7 %	

EXTERIOR MATERIALS SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	COLOR
B-1	UTILITY BRICK	GLEN-GERY	ADRIAN
B-2	SPLIT-FACE BLOCK	GRAND BLANC CEMENT	THS
B-3	CONCRETE BLOCK	GRAND BLANC CEMENT	THS

ARCHITECT:

jeffery a. scott
architects p.c.
32316 grand river ave.
suite 200
farmington, mi 48336
248-476-8800
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SHEET TITLE:

EXTERIOR
ELEVATIONS

PROJECT:

PROPOSED PROJECT:
**MULTI-TENANT
BUILDING**
HIGHLAND ROAD
HARTLAND, MI

ISSUED FOR:
SITE PLAN APP. 01/05/2021
REVISION 02/26/2021
REVISION 03/12/2021



DO NOT SCALE PRINTS
USE FIGURED DIMENSIONS ONLY
JOB NO.

20082
SHEET NO.
SPA3

PLOT SIZE: 36"X24"

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Michael Luce, Director of Public Works

Subject: 2021 Pavement Preservation Project

Date: April 13, 2021

Recommended Action

Approve the contract and associated budget amendment for the rehabilitation of Parshallville Road as part of the Livingston County Road Commission 2021 Pavement Preservation Program in an amount not to exceed \$82,500.

Discussion

Hartland Township has been selected as a recipient of the 2021 Livingston County Road Commission Pavement Preservation Program.

The project would consist of an asphalt mix wedge and asphalt overlay of the approximately 0.34 miles from the end of the current pavement on Parshallville Rd to Linden Rd. LCRC has projected the project to cost \$165,000 and the Township would be responsible for 50% of the cost. The project, if approved by the Township Board, has not been included in the current budget, yet would be funded from the road fund balance.

Financial Impact

The project was not included in the current approved Township Budget. The funding, if approved, would be transferred from the Road Fund balance through a budget amendment.

Attachments

LCRC Contract

PROJECT AGREEMENT

JOB NUMBER: _____

This Agreement made and entered into this _____ day of _____, 2021 by and between the TOWNSHIP of HARTLAND Livingston County, Michigan, hereinafter referred to as "TOWNSHIP" and the BOARD OF COUNTY ROAD COMMISSIONERS OF THE COUNTY OF LIVINGSTON, hereinafter referred to as "ROAD COMMISSION."

WITNESSETH

The Township has selected the following road to be improved as described below:

PARSHALLVILLE ROAD
(END OF PAVEMENT TO LINDEN ROAD)
APPROXIMATELY 0.34 MILES
PLACE A HOT MIX ASPHALT WEDGE AND A HOT MIX ASPHALT OVERLAY,
ALTOGETHER WITH THE NECESSARY RELATED WORK

The parties agree as follows:

1. The Engineer's Opinion of Probable Cost is \$165,000. The Township shall pay the Road Commission 50% of the cost of the project not to exceed \$82,500. The remaining balance will be paid by the Livingston County Road Commission.
 - A. The balance shall be paid promptly as invoiced.
 - B. The Road Commission shall furnish the Township with a final breakdown of its actual expenses upon completion of the project.
 - C. The Township will not withhold payments because of any set-off, counterclaim, or any other claim which it may have against the Road Commission arising out of this or any other matter. If there is a dispute over the balance due upon completion, the Township will pay the amount claimed by the Road Commission, and such payment shall not be a waiver by the Township of any claims it may have arising from this contract and the completion of the project.
2. All work shall be performed in a good workmanlike manner and in accordance with plans and specifications adopted by the Road Commission.
3. The Road Commission shall hold the Township harmless from any liability arising from the work performed pursuant to this contract.
4. The work will be completed within the current contract year, unless the parties otherwise so agree.
5. In the event the project cannot be completed due to circumstances beyond the control of the Road Commission, and through no fault of the Road Commission, the contract price for later completion will be subject to renegotiation.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the date and year first above written.

TOWNSHIP OF HARTLAND

BY: _____
_____ **SUPERVISOR**

_____, **CLERK**

**BOARD OF COUNTY ROAD COMMISSIONERS
OF THE COUNTY OF LIVINGSTON**

BY: _____
STEVEN J. WASYLK, MANAGING DIRECTOR

TERRY E. PALMER, DIRECTOR OF FINANCE

Livingston County Road Commission

3535 Grand Oaks Drive • Howell, Michigan 48843-8575
Telephone: (517) 546-4250 • Facsimile: (517) 546-9628
Internet Address: www.livingstonroads.org

March 15, 2021

MEMORANDUM TO: Hartland Township Board of Trustees
FROM: Steve Wasylk, Managing Director
SUBJECT: Project Agreement (s), Parshallville Rd

The enclosed project agreement has been prepared for your review and approval. Once approved, please have all copies signed by the Supervisor and Clerk and returned to our office marked for the attention of Cathy Jones. **PLEASE DO NOT DATE THE DOCUMENT(S).**

After submittal to the Board of County Road Commissioners for their approval, a dated fully executed copy will be returned to you for your files.

SW/cj

enc: 2 copies of 1 agreement

cc: Jodie Tedesco, County Highway Engineer

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Michael Luce, Director of Public Works

Subject: 2021-2023 M-59 Median Maintenance Agreement (\$20,402/yr)

Date: April 14, 2021

Recommended Action

Move to approve the Horizon Landscape 2021-2023 M-59 Median Maintenance Agreement as presented, not to exceed \$20,402 per year and corresponding budget amendment.

Discussion

Public Works is recommending the contract provided for the M-59 Median Maintenance for the 2021-2023 seasons.

Horizon Landscape has agreed to hold their cost for the next three seasons. This will include all maintenance encompassed in the medians from spring cleanup, mulch, turf treatments to irrigation start up and fall shut down. These medians are a major focal point of the community and business area maintaining them can be cumbersome and hazardous for Public Works staff. With staff shifting to maintain the Cemeteries this year contracting this maintenance to Horizon Landscape would be the most viable option. Public Works has always been pleased with the work of Horizon as they continue to deliver a great service for the community.

Financial Impact

A small budget amendment is necessary of \$402 to line item 101-463-804.000.

Attachments

21-23 59 Median Maint.pdf



11765 Hibner Road • Hartland, MI 48353 • (810) 632-9292


Hartland Township M-59 Median Maintenance
2021-2023 seasons

Pricing

Spring Clean Up	\$425.00
Trim Shrubs twice per season	\$966.00
Fertilization shrubs and Trees once per season	\$385.00
Spade Cut Edges of Beds and Clean up once per season	\$1984.00
Install up to 56yds of Double Shredded Hardwood Mulch once season	\$4816.00
Snapshot Weed Preventer twice per season	\$580.00
Weeding of Beds 13 times per season	\$3120.00
Mowing 26 times per season	\$4410.00
Mowing Triangles 6 times per season	\$744.00
One time Crabgrass preventer application	\$108.00
Four Weed and Feed Application	\$384.00
Irrigation Start Up/System Check	\$95.00
Irrigation Monthly Audits and Average Repairs	\$1820.00
Irrigation Winterization	\$129.00
Fall Clean Up once per season	\$436.00

\$20402.00 Total Billed 6 months at \$3400.33

Labor Rate of \$64.00 per man hour for additional services

Signed: 

Date: 3/17/2021

Signed: _____

Date: _____

Livingston County Road Commission

3535 Grand Oaks Drive • Howell, Michigan 48843-8575
Telephone: (517) 546-4250 • Facsimile: (517) 546-9628
Internet Address: www.livingstonroads.org

March 22, 2021

Hartland Township
Mr. William Fountain, Supervisor
2655 Clark Road
Hartland, MI 48353

Subject: Annual Chloride Application and Permit

Dear Mr. Fountain,

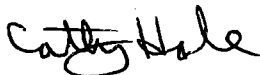
It is that time of the year again to start thinking about who you want to use for your chloride provider this year. LCRC is using Chloride Solutions this year; however you are welcome to use whomever you choose.

Please find enclosed (3) copies of the Application and Permit form.

- 1.) Make sure everything is correct under the applicant, sign and date the forms.
- 2.) Then forward the forms onto your Chloride provider and have them fill out the contractor part, sign and date.
- 3.) We will also need a certificate of insurance from your selected chloride provider. The certificate must include the following language: "The Board of County Road Commissioners, The Livingston County Road Commission, and their officers, agents, and employees are listed as additional insured parties".
- 4.) When all forms are complete, please keep **one** copy and send **two** back to me with a copy of the insurance certificate.

Thank you for your attention in this matter. If you have any questions, please feel free to Contact me at 517-546-4250 Ext. 138.

Sincerely,



Cathy Hale
Maintenance Administrative Secretary

Enclosure

Chloride Solutions

Ice & Dust Control

RATE QUOTE

Date: February 19, 2021

Customer: *Hartland Township*

Product: Dust Control - Mineral Well Brine

Applied Rate: \$.194 per gallon / 9,000 gallon per load

Discount Offered: 1% net 10 days of receipt; net 30 days

Customer Signature: _____

Date: _____

Quoted By: *Brian Hitchcock, President*

If awarded this bid, please sign and return to our office.

~ Fax: 517-338-5005 ~ Telephone: 517-803-4726 ~

~ Email: brian@mbhtrucking.net~

Chloride Solutions, LLC

672 N. M-52

Webberville, MI. 48892

Quote is good through the 2021 season

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Michael Luce, Director of Public Works

Subject: 2021 Chloride Purchase

Date: April 13, 2021

Recommended Action

Authorize the Public Works Director to act on behalf of the Township to facilitate the purchase and application of roadway chloride with Chloride Solutions in an amount not to exceed \$101,000

Discussion

Public Works is recommending the purchase of roadway chloride through Chloride Solutions, LLC in a cooperative purchase with the Livingston County Road Commission.

Chloride Solutions has extended their 2020 rate for 2021 and has provided satisfactory results for the past four years. LCRC has used Chloride Solutions for the past five years as well with success.

The approved budget allocation for road chloride for the 2021 season includes \$80,000 from the General Fund for the first three applications and \$21,000 for the fourth application from the Road Millage Fund. The budget is based upon 4,000 gallons per mile, however lesser rates are applied if road moisture content is higher than expected. A cost savings has been recognized in the prior five years based on a climate adjusted application rate.

Financial Impact

Is a Budget Amendment Required? ☐ Yes ☒ No

Attachments

Chloride Solutions Contract
LCRC chloride application permit

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Michael Luce, Director of Public Works

Subject: Water Tower Cleaning (\$4,250)

Date: April 13, 2021

Recommended Action

Move to approve the Supervisor to sign the estimate with H2O Towers LCC for the cleaning of the Township Water Tower, not exceed \$4,250, and the corresponding budget amendment.

Discussion

Public Works is recommending approving the cost of cleaning and washing the water tower provided form H2O Towers LLC.

Public Works has the water tower cleaned every 2 to 3 years, this depends on other community's schedules as well. In having the work performed in conjunction with neighboring communities a better price is provided for all. As the weather begins to get warmer the tower will "sweat". With a field directly to the south of the tower contributing to dust, dirt and other elements that stick to the tower making it appear dirty. A fungicide will be applied to the tower to kill mildew spores and remove atmospheric carbons. After this process, the entire tower will be rinsed with water.

Financial Impact

Is a Budget Amendment Required? ☒ Yes ☐ No

This expense was budgeted in FY21, but not completed.

Increase line item 536-000-930.001 - \$4,250.00

Attachments

Tower Wash EST 2021.pdf

H2O TOWERS LLC
 PO Box 398
 Saline, MI 48176 US
 +1 7344291828
 bob@h2otowers.com
 www.H2OTowers.com

Estimate

ADDRESS
Hartland Township 9751 E Highland Rd Howell, MI 48353 Kyle Mitchell 517-861-0709 kmitchell@hartlandtwp.com

ESTIMATE #	DATE	
2410	03/22/2021	

DESCRIPTION	AMOUNT
<p>H2O Towers will supply all labor and materials necessary, in order to: Clean the exterior of Hartland Township's 500,000 gallon, 130' Sphere Water Tower.</p> <p>Apply fungicide (from high water level to the ground) using United Weather-Zyme 727 cleaner in order to kill mildew spores and remove atmospheric carbons. (1 part United Weather-Zyme 727, 3 part chlorine and 1 part water).</p> <p>The Tank will be pressure washed cleaned (high water level to the ground).</p> <p>The Tank will be rinsed with water.</p> <p>Our 15 story man-lift will be used to clean the water tower.</p> <p>Owner to supply water.</p>	<p>4,250.00</p>
TOTAL	\$4,250.00

Accepted By

Accepted Date

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Michael Luce, Director of Public Works

Subject: M-59 Pathway (\$354,369)

Date: April 13, 2021

Recommended Action

Approve the contract for the M-59 Pathway with TLS Construction, subsequent HRC construction engineering fees and contingency funding in an amount not to exceed \$354,369 as presented.

Discussion

The southwest quadrant M-59 pathway project was originally scheduled to move forward in early 2020 but was abruptly halted due to the Coronavirus pandemic. The funding for the pathway has been transferred from the prior budget to the current budget in anticipation of moving forward as intended pre-pandemic.

Public Works solicited bids for the proposed M-59 Pathway project on April 8th, 2021 with 3 bids received on the project TLS Construction came out as the low bidder in the amount of \$284,000. HRC construction engineering has been quoted at an additional \$42,910. Public Works is seeking an additional \$27,459 contingency for the construction, resulting in a total project cost of \$354,369.

This project is intended to run on the south side of M-59 and connect the areas between Oakbrooke Apartments to Old US-23. The proposed section of pathway will connect the Fiddler Grove community to the US-23/M-59 interchange. This section will conclude the most extensive pathway connector to date within the community.

The project will take place once school concludes for summer break and be completed before students return in the fall. The price of the project is in line with our targeted cost of \$354,369 presented in the current FY 21-22 budget and recently approved CIP.

Financial Impact

Is a Budget Amendment Required? ☐ Yes ☒ No

Attachments

TLC Construction Contract
HRC Engineering Proposal
Township CIP

April 11, 2021

Hartland Township
2655 Clark Road
Hartland, MI 48353

Attn: Mr. Michael Luce, Director of Public Works

Re: Award Recommendation
M-59 Sidewalk – Oak Brooke to Old US-23

Dear Mr. Luce:

On Thursday April 8, 2021, the Township received and opened bids for the M-59 Sidewalk project. A total of three (3) contractors submitted bids which ranged from a low of \$284,000 to a high of \$356,676. The low bid was submitted by TLS Construction of Howell. Attached is one (1) copy of the bid tab for your records.

TLS Construction has completed similar work for other municipalities and have successfully completed their projects in accordance with the contract documents. Therefore, we have no objections to award the M-59 Sidewalk contract to TLS Construction.

If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.


Michael P. Darga, PE

MPD
Attachment

pc: Hartland Twp; R. West, L. Ciofu
HRC; R. Alix, A. Malczewski, File

BID TABULATION
M-59 SIDEWALK PROJECT
HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN

Bids Due: Thursday, April 8, 2021 at 10:00 a.m.
HRC Job # 20191178

TLS Construction
2000 N. Burkhart Road
Howell, MI 48855
Phone (517) 225-5071

San Marino Excavating, Inc.
5550 Mitchell Way
Milford, MI 48843
Phone (517) 518-8890

Lacaria Concrete Construction
3720 Central Street
Detroit, MI 48210
Phone (313) 843-3865

Item	Quantity	Unit	Unit Price	Total Cost	Unit Price	Total Cost	Unit Price	Total Cost
1. Mobilization, Max 10%	1	LS	\$15,000.00	\$15,000.00	\$32,100.00	\$32,100.00	\$25,000.00	\$25,000.00
2. Clearing	0.75	Acre	\$7,000.00	\$5,250.00	\$20,000.00	\$15,000.00	\$10,000.00	\$7,500.00
3. Culv Rem, Less than 24 inch	1	EA	\$460.00	\$460.00	\$500.00	\$500.00	\$200.00	\$200.00
4. Curb and Gutter, Rem, Special	45	Ft	\$26.00	\$1,170.00	\$20.00	\$900.00	\$25.00	\$1,125.00
5. Exploratory Investigation, Vertical	150	Ft	\$46.00	\$6,900.00	\$10.00	\$1,500.00	\$30.00	\$4,500.00
6. Granular material, CI II	210	Cyd	\$25.75	\$5,407.50	\$55.00	\$11,550.00	\$30.00	\$6,300.00
7. Sidewalk Grading, Special	24.32	Sta	\$1,530.00	\$37,209.60	\$3,000.00	\$72,960.00	\$1,500.00	\$36,480.00
8. Erosion Control, Silt Fence	4,864	Ft	\$1.75	\$8,512.00	\$1.75	\$8,512.00	\$10.50	\$51,072.00
9. Aggregate Base, 8 inch, 21AA, Special	325	Syd	\$24.80	\$8,060.00	\$11.50	\$3,737.50	\$23.00	\$7,475.00
10. Subgrade Undercutting, 1x3, Special	100	Cyd	\$80.40	\$8,040.00	\$42.00	\$4,200.00	\$35.00	\$3,500.00
11. Geogrid, Special	300	Syd	\$8.60	\$2,580.00	\$9.00	\$2,700.00	\$10.00	\$3,000.00
12. Maintenance Gravel	50	Ton	\$37.25	\$1,862.50	\$15.00	\$750.00	\$30.00	\$1,500.00
13. Culv End Sect, Conc, 12 inch	3	Ea	\$885.00	\$2,655.00	\$500.00	\$1,500.00	\$350.00	\$1,050.00
14. Culv, CI A, Conc, 12 inch	64	Ft	\$61.00	\$3,904.00	\$100.00	\$6,400.00	\$45.00	\$2,880.00
15. Dr Structure, 24 inch dia	1	Ea	\$1,655.00	\$1,655.00	\$2,000.00	\$2,000.00	\$3,500.00	\$3,500.00
16. Hand Patching, Special	35	Ton	\$214.00	\$7,490.00	\$250.00	\$8,750.00	\$250.00	\$8,750.00
17. Lane Tie, Epoxy Anchored	20	Ea	\$14.25	\$285.00	\$30.00	\$600.00	\$9.00	\$180.00
18. Rockery Wall, Special	450	Sft	\$60.00	\$27,000.00	\$40.00	\$18,000.00	\$65.00	\$29,250.00
19. Curb and Gutter, Conc, Match Existing, Special	120	Ft	\$42.75	\$5,130.00	\$27.00	\$3,240.00	\$25.00	\$3,000.00
20. Detectable Warning Surface	25	Ft	\$51.00	\$1,275.00	\$20.00	\$500.00	\$90.00	\$2,250.00
21. Curb Ramp Opening, Conc, Special	25	Ft	\$43.00	\$1,075.00	\$19.00	\$475.00	\$35.00	\$875.00
22. Sidewalk, Conc, 4 inch, Special	11,759	Sft	\$6.80	\$79,961.20	\$5.95	\$69,966.05	\$6.59	\$77,491.81
23. Sidewalk Ramp, Conc, 6 inch, Special	250	Sft	\$9.30	\$2,325.00	\$12.00	\$3,000.00	\$7.50	\$1,875.00
24. Post, Wood, 4 inch by 6 inch	30	Ft	\$29.00	\$870.00	\$12.00	\$360.00	\$50.00	\$1,500.00
25. Sign, Type III, Erect, Salv	1	Ea	\$75.00	\$75.00	\$400.00	\$400.00	\$100.00	\$100.00
26. Pavt Mrkg, Ovly Cold Plastic, 6 inch, Crosswalk	432	Ft	\$3.60	\$1,555.20	\$5.00	\$2,160.00	\$9.00	\$3,888.00
27. Barricade, Type III, High Intensity, Double Sided, Furn	5	Ea	\$93.00	\$465.00	\$100.00	\$500.00	\$300.00	\$1,500.00
28. Barricade, Type III, High Intensity, Double Sided, Oper	5	Ea	\$0.01	\$0.05	\$1.00	\$5.00	\$1.00	\$5.00
29. Channelizing Device, 42 inch, Furn	100	Ea	\$22.00	\$2,200.00	\$20.00	\$2,000.00	\$65.00	\$6,500.00
30. Channelizing Device, 42 inch, Oper	100	Ea	\$0.01	\$1.00	\$1.00	\$100.00	\$10.00	\$1,000.00
31. Lighted Arrow, Type C, Furn	2	Ea	\$565.00	\$1,130.00	\$500.00	\$1,000.00	\$2,500.00	\$5,000.00
32. Lighted Arrow, Type C, Oper	2	Ea	\$0.01	\$0.02	\$100.00	\$200.00	\$100.00	\$200.00
33. Minor Traf Devices	1	LS	\$4,891.13	\$4,891.13	\$8,000.00	\$8,000.00	\$2,500.00	\$2,500.00
34. Plastic Dreum, High Intensity, Furn	50	Ea	\$24.25	\$1,212.50	\$20.00	\$1,000.00	\$65.00	\$3,250.00
35. Plastic Dreum, High Intensity, Oper	50	Ea	\$0.01	\$0.50	\$1.00	\$50.00	\$10.00	\$500.00
36. Sign, Type B, Temp, Prismatic, Furn	500	Sft	\$7.15	\$3,575.00	\$7.00	\$3,500.00	\$5.00	\$2,500.00
37. Sign, Type B, Temp, Prismatic, Oper	500	Sft	\$0.01	\$5.00	\$1.00	\$500.00	\$1.00	\$500.00
38. Traffic Regulator Control	1	LS	\$7,500.00	\$7,500.00	\$19,000.00	\$19,000.00	\$2,500.00	\$2,500.00
39. Turf Establishment, Special	2,540	Syd	\$5.82	\$14,782.80	\$8.00	\$20,320.00	\$12.00	\$30,480.00
40. Gate Box, Adj, Case 2	10	Ea	\$675.00	\$6,750.00	\$350.00	\$3,500.00	\$500.00	\$5,000.00
41. Audio/Video Route Survey, Special	1	SL	\$1,275.00	\$1,275.00	\$3,500.00	\$3,500.00	\$6,000.00	\$6,000.00
42. Sprinkler Line, Special	200	Ft	\$6.25	\$1,250.00	\$5.00	\$1,000.00	\$10.00	\$2,000.00
43. Sprinkler Head, Relocate, Special	15	Ea	\$97.00	\$1,455.00	\$60.00	\$900.00	\$100.00	\$1,500.00
44. Sprinkler Head, Replace, Special	15	Ea	\$120.00	\$1,800.00	\$110.00	\$1,650.00	\$100.00	\$1,500.00

TOTAL BID AMOUNT

\$284,000.00

\$338,485.55 *

\$356,676.81 *

ENGINEER: Michael P. Darga, P.E.
Hubbell, Roth & Clark, Inc.
105 W Grand River Ave
Howell, MI 48843

Corrected by Engineer *

April 12, 2021

Hartland Township
2655 Clark Road
Hartland, MI 48353

Attn: Mr. Michael Luce, Director of Public Works

Re: Construction Engineering Services Proposal
M-59 Sidewalk

HRC Job No. 20191178

Dear Mr. Luce:

In accordance with your request, Hubbell, Roth & Clark, Inc. (HRC) is pleased to submit this proposal to provide full Construction Engineering services for the M-59 Sidewalk project. The scope of work includes full-time field representation, construction layout/staking, contract administration, and materials testing. The tasks below are also included in the estimated hours and costs shown on the spreadsheet summary.

Schedule Assumptions:

HRC's scope of work is based on the following:

- As detailed in the Contract Documents, the project schedule requires substantial completion by July 16, 2021. Restoration and final project acceptance by November 1, 2021.
- Staff – HRC has included three (3) weeks of a full-time field observation to be accomplished by one (1) full time HRC employee, if construction moves at a pace slower than this additional compensation may be required.

Construction Administration

HRC will provide all management services for this construction project. This task will be overseen by Warren Kelley and Andy Malczewski who will act as the Project Manager. Mr. Kelley is assigned as Construction Services Manager for all projects within Hartland Township and he will be responsible to assign and manage the staff providing the services for this construction project.

HRC will prepare an "Issued for Construction" set of construction drawings and provide necessary copies to the contractor and Township. HRC will advise and consult project objectives with the Township, stakeholders, and contractor, manage contract changes and modifications, interpret Contract Documents, and maintain project records throughout construction. HRC will track construction progress through the inspector's daily field reports and quantities. HRC will review and coordinate all pay requests monthly for agreement with the contract bid items, work completed and construction progress.

Meetings

HRC will coordinate and facilitate the pre-construction meeting and all progress meetings with the Township and Contractor. For the duration of the project, weekly progress meetings have been included for budgeting purposes. Lastly, a final walkthrough meeting will be held to finalize the punch list and prepare for project completion.

On-Site Observation

HRC will provide qualified and competent field observers for the project throughout the duration of construction. HRC has assigned a construction observer who will be the full-time person on site. The observers will provide daily observation reports of project construction, monitor, and observe contractor progress, handle day to day resident/stakeholder complaints, maintain field records and ensure the Township and Project Manager are kept up to date on decisions made in the field.

Construction Layout

HRC will provide full surveying services for the construction layout of this project which includes staking the back of walk and sidewalk ramps as needed.

Material Testing

HRC will utilize its full-service materials testing laboratory to provide material quality assurance on the project. HRC's Materials Testing Laboratory is MDOT certified and will provide compaction testing for the subgrade and concrete compressive strength testing. HRC will perform all testing services and provide reporting to the Township as required. All failing tests will be addressed in a timely manner by HRC's Testing Engineer. All staff have the appropriate Testing Certification applicable to the specific test. In addition, the concrete mix design will be reviewed.

Finalizing Project Documentation

At the completion of the project, HRC will deliver to the Township any original diaries, logs, notebooks, accounts, records, reports, and other documents prepared during the performance of this project.

Fee:

HRC proposes to complete our Construction Engineering Services as described herein for a **not to exceed fee of \$42,910.00**. We will only invoice the Township for the actual time spent on this project and will not exceed this amount without authorization. A breakdown of the items of work within each task of the Project along with our estimated hours and associated fees is provided on the attached worksheet.

If you have any questions or require any additional information, please contact the undersigned.
Very truly yours,

HUBBELL, ROTH & CLARK, INC.



Roland N. Alix, PE
Executive Vice-President



Michael P. Darga, PE
Associate

Attachment

pc: Hartland Twp; R. West
HRC; A. Malczewski, File

STAFF HOUR PROJECTIONS - CONSTRUCTION ENGINEERING
HARTLAND TOWNSHIP
M-59 Sidewalk
April 12, 2021
HRC JN 20191178

TASK		STAFF HOURS BY LABOR CATEGORY									TOTAL HOURS	TOTAL ESTIMATED COST
		ASSOCIATE	PROJECT MANAGER	GRADUATE ENG II	FIELD SUPER	CONST OBSERVER	TESTING OFFICE TECH	TESTING TECH	SURVEY PARTY CHIEF	SURVEY TECH		
		\$148	\$128	\$76	\$108	\$72	\$65	\$65	\$90	\$83		
1	CONSTRUCTION SURVEY & LAYOUT											
	1. Establish control datum		6						8	8	22	\$ 2,150
	2. Sidewalk Layout		4						36	36	76	\$ 6,740
	SUBTOTALS	0	10	0	0	0	0	0	44	44	98	\$ 8,890
2	CONSTRUCTION OBSERVATION											
	1. Observation				40	130					170	\$ 13,680
	SUBTOTALS	0	0	0	40	130	0	0	0	0	170	\$ 13,680
3	CONSTRUCTION ADMIN											
	1. Project Start Up	8	8	16							32	\$ 3,420
	2. Preconstruction Meeting	2	4	8	2	4					20	\$ 1,920
	3. Progress Meetings (2 ea)	2	4	4	2	2					14	\$ 1,470
	4. Pay Estimates (3 ea)		3	16		4					23	\$ 1,890
	5. Project Closeout	2	8	8	10	24					52	\$ 4,740
	SUBTOTALS	14	27	52	14	34	0	0	0	0	141	\$ 13,440
4	MATERIAL TESTING											
	1. Field Testing							40			40	\$ 2,600
	2. Office Testing & Reporting	8					40	8			56	\$ 4,300
	SUBTOTALS	8	0	0	0	0	40	48	0	0	96	\$ 6,900
	TOTALS	22	37	52	54	164	40	48	44	44	505	\$ 42,910





Hartland Township CIP
2021-2023

Funding Source	<u>Completed</u> FY 19-20	<u>Proposed</u> FY 20-21	<u>Proposed</u> FY 21-22	<u>Proposed</u> FY 22-23	<u>Future TBD</u>
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Pathways

Hartland Road Sidewalks	401	\$ 77,067	\$ 21,198		\$ -	\$ -
M59 South Pathway Connector	401		\$ 39,381	\$ 354,369	\$ -	\$ -
Totals:		\$ 77,067	\$ 60,579	\$ 354,369	\$ -	\$ -

Township Hall and Grounds

Township Hall Security Improvements	401	\$ 10,012				
HERO Center Exterior Painting	401	\$ 3,700				
Township Hall HVAC (placeholder)	401	\$ -	\$ -	\$ 8,500	\$ 8,500	\$ 8,500
Township Hall Parking Lot Rehab	401			Moved to future	\$ 191,100	
Totals:	401	\$ 13,712	\$ -	\$ 8,500	\$ 199,600	\$ 8,500

Parks

Heritage Park Construction	401	\$ 2,373				
Settlers Park Construction	401	\$ 15,431				
Spranger Field Upgrades	401	\$ 138,355	\$ 87,672			
Settlers Pathway Sealcoat	401			\$ 48,000		
Settlers Park Plant Management	401			Moved to future	\$ 53,813	
Totals:	401	\$ 156,159	\$ 87,672	\$ 48,000	\$ 53,813	

Miscellaneous Projects

Contingencies	401		\$ 20,000	\$ 20,000	\$ 20,000	
Streetlights - LED Conversion	401	\$ 15,223				
Bullard Lake Woods Road SAD	401	\$ 168,850				
Gateway Signs - updated cost + 20% ('C)	401			Moved to future	\$ 60,000	
M59 Median Improvements	401			Moved to future	\$ 40,000	
Election Equipment (projected in year 2027)	401					\$ 100,000
New Township Truck	401		\$ 24,979			
Totals:	401	\$ 677,950	\$ 341,481	\$ 841,738	\$ 626,826	\$ 117,000

Fire Fund

Station 61 replacement roof	206	\$ -	\$ 48,950			
Station 61 parking lot replacement	206				\$ 150,000	
Station 62 interior light replacement project	206			\$ 5,500		
Station 61 drain repair	206			\$ 6,500		
Station 62 parking lot sealcoating	206			\$ 18,000		
Station 61 carpet replacement	206			\$ 12,000		
Tornado Sirens	206			\$ 20,000		\$ 20,000
Station 62 HVAC replacement unit	206					\$ 10,000
Station 62 replacement roof	206					\$ 35,000
Totals:	206	\$ -	\$ 48,950	\$ 62,000	\$ 150,000	\$ 65,000

Road Fund

Maxfield/Blaine Road (with Brighton TWP.)	204	\$ 218,412				
Crack seal Clyde,Hibner,Read,Bergin	204	\$ 23,715				
Tree Removal	204		\$ 1,250			
Road Chloride - 1 application	204			\$ 21,000	\$ 21,000	\$ 21,000
Transfer to Water 539 for road restoration	204			\$ 125,000		
Hacker Rd crack seal	204			\$ 21,250		
Clyde Rd (gravel) limestone	204			\$ 214,000		
Bergin Limestone	204			\$ 96,000		
Pleasant Valley Rd limestone	204			\$ 108,000		
Totals:	204	\$ 242,127	\$ 1,250	\$ 585,250	\$ 21,000	\$ 21,000

Water Fund

Engineering Water Extension to Fenton Road	539	\$ 24,130	\$ 170,266			
Booster Station	539	\$ -	\$ 13,128			
Pole Barn	539	\$ 9,422				
Mowers, Trailer	539	\$ 23,194				
Annual Repairs	539	\$ 14,269	\$ 8,610	\$ 15,000	\$ 15,000	
Updated Water Master Plan	539				\$ 50,000	
Fixed Network Meter Reading System	539		\$ 75,000			
New Supply Well Engineering	539			\$ 9,000	\$ 45,000	
Install Water Main (12" & 16") to East M-59	539			\$ 2,000,000	\$ 950,000	



Hartland Township CIP
2021-2023

Funding
Source

Completed
FY 19-20

Pathways

Hartland Road Sidewalks	401	\$ 77,067
M59 South Pathway Connector	401	

Township Hall and Grounds

Township Hall Security Improvements	401	\$ 10,012
HERO Center Exterior Painting	401	\$ 3,700
Township Hall HVAC (placeholder)	401	\$ -
Township Hall Parking Lot Rehab	401	

Parks

Heritage Park Construction	401	\$ 2,373
Settlers Park Construction	401	\$ 15,431
Spranger Field Upgrades	401	\$ 138,355
Settlers Park Pathway Sealcoating	401	
Settlers Park Plant Management	401	

Miscellaneous Projects

Contingencies	401	
Streetlights - LED Conversion	401	\$ 15,223
Bullard Lake Woods Road SAD	401	\$ 168,850
New Township Truck	401	
Gateway Signs - updated cost + 20% ('C)	401	
M59 Median Improvements	401	
Election Equipment (projected in year 2027)	401	

Beginning Capital Project Fund Balance:	401	\$ 256,673
Annual Project Totals:	401	\$ 431,011
Other Misc Revenues	401	\$ 26,700
Annual Capital Fund Transfer Projection:	401	\$ 820,185
EOY Capital Fund Project Balance:	401	\$ 672,546

<u>Projected</u> FY 20-21	<u>Proposed</u> FY 21-22	<u>FY 22-23</u>	<u>Future TBD</u>
\$ 21,198			
\$ 39,381	\$ 354,369		
\$ -	\$ 8,500	\$ 8,500	\$ 8,500
	Moved to future	\$ 191,100	
\$ 87,672			
	\$ 48,000		
	Moved to future	\$ 53,813	
\$ 20,000	\$ 20,000	\$ 20,000	
\$ 24,979			
	Moved to future	\$ 60,000	
	Moved to future	\$ 40,000	
			\$ 100,000
\$ 672,546	\$ 992,464	\$ 1,011,595	\$ 1,088,182
\$ 193,230	\$ 430,869	\$ 373,413	\$ 108,500
\$ 26,604	\$ 12,500	\$ 12,500	\$ 12,500
\$ 513,148	\$ 450,000	\$ 450,000	\$ 450,000
\$ 992,464	\$ 1,011,595	\$ 1,088,182	\$ 1,429,682



Hartland Township CIP
2021-2023

Funding
Source

Completed
FY 19-20

Fire Fund

Station 61 replacement roof	206	\$ -
Station 61 parking lot replacement	206	
Station 62 interior light replacement project	206	
Station 61 drain repair	206	
Station 62 parking lot sealcoating	206	
Station 61 carpet replacement	206	
Tornado Sirens	206	
Station 62 HVAC replacement unit	206	
Station 62 replacement roof	206	

Beginning Cash Balance	206	\$ 1,231,705
Annual Project Totals:	206	\$ -
Annual Expenses excluding Capital Projects		\$ 1,230,487
Annual Taxes & Revenues designated for Fire	206	\$ 1,287,689
EOY Capital Fund Project Balance:	206	\$ 1,288,907

<u>Proposed</u> <u>FY 20-21</u>	<u>Proposed</u> <u>FY 21-22</u>	<u>FY 22-23</u>	<u>Future TBD</u>
\$ 48,950			
		\$ 150,000	
	\$ 5,500		
	\$ 6,500		
	\$ 18,000		
	\$ 12,000		
	\$ 20,000		\$ 20,000
			\$ 10,000
			\$ 35,000
\$ 1,288,907	\$ 1,370,242	\$ 1,626,972	\$ 1,774,363
\$ 48,950	\$ 62,000	\$ 150,000	\$ 65,000
\$ 1,223,546	\$ 1,259,543	\$ 1,296,695	\$ 1,300,000
\$ 1,353,831	\$ 1,578,273	\$ 1,594,086	\$ 1,355,719
\$ 1,370,242	\$ 1,626,972	\$ 1,774,363	\$ 1,765,082



Hartland Township CIP
2021-2023

Funding Source	<u>Completed</u> <u>FY 19-20</u>	<u>Projected</u> <u>FY 20-21</u>	<u>Proposed</u> <u>FY 21-22</u>	<u>Proposed</u> <u>FY 22-23</u>	<u>Proposed</u> <u>FY23-24</u>
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Road Fund

Maxfield/Blaine Road (with Brighton TWP.)	204	\$ 218,412				
Crack seal Clyde,Hibner,Read,Bergin	204	\$ 23,715				
Tree Removal	204		\$ 1,250			
Road Chloride - 1 application	204			\$ 21,000	\$ 21,000	\$ 21,000
Transfer to Water 539 for road restoration	204			\$ 125,000		
Hacker Rd crack seal	204			\$ 21,250		
Clyde Rd (gravel) limestone	204			\$ 214,000		
Bergin Limestone	204			\$ 96,000		
Pleasant Valley Rd limestone	204			\$ 108,000		

Beginning Road Fund Cash Balance	204	\$ 1,388,809	\$ 1,587,149	\$ 2,061,523	\$ 1,989,770	\$ 2,479,221
Annual Project Totals:	204	\$ 242,127	\$ 1,250	\$ 585,250	\$ 21,000	\$ 21,000
Annual Bond Payments (P&I) & Non capital expenses	204	\$ 588,836	\$ 605,250	\$ 594,200	\$ 608,000	\$ 600,900
Annual Taxes & Revenues designated for Roads	204	\$ 1,029,303	\$ 1,080,874	\$ 1,107,697	\$ 1,118,451	\$ 1,125,000
EOY Capital Fund Project Balance:	204	\$ 1,587,149	\$ 2,061,523	\$ 1,989,770	\$ 2,479,221	\$ 2,982,321

*FY24 last year of collections



Hartland Township CIP
2021-2023

Funding Source	<u>Completed</u> <u>FY 19-20</u>	<u>Projected</u> <u>FY 20-21</u>	<u>Proposed</u> <u>FY 21-22</u>	<u>FY 22-23</u>	<u>Future TBD</u>
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Water Fund

Engineering Water Extension to Fenton Road	539	\$ 24,130	\$ 170,266			
Booster Station	539	\$ -	\$ 13,128			
Pole Barn	539	\$ 9,422				
Mowers, Trailer	539	\$ 23,194				
Annual Repairs	539	\$ 14,269	\$ 8,610	\$ 15,000	\$ 15,000	
Updated Water Master Plan	539				\$ 50,000	
Fixed Network Meter Reading System	539		\$ 75,000			
New Supply Well Engineering	539			\$ 9,000	\$ 45,000	
Install Water Main (12" & 16") to East M-59	539			\$ 2,000,000	\$ 950,000	
Water Plant Filter Improvements with media	539				\$ 775,000	
New Supply Well Construction	539				\$ 178,000	

Beginning Capital Project Fund Balance:	539	\$ 570,408	\$ 695,908	\$ 604,218	\$ 1,881,734	\$ 405,054
Annual Project Totals:	539	\$ 71,015	\$ 267,004	\$ 2,024,000	\$ 2,013,000	\$ -
Transfers In + Surcharge/Connection/Other Revenues	539	\$ 196,515	\$ 175,314	\$ 3,301,516	\$ 536,320	\$ 150,000
EOY Capital Fund Project Balance:	539	\$ 695,908	\$ 604,218	\$ 1,881,734	\$ 405,054	\$ 555,054

Accounting Notes:

Beginning balance includes all cash accounts + \$24K due from O&M

Project amounts shown tie to depreciation schedules & actual amounts paid

EOY balance ties w/in \$74, not material. See workpapers in 539 fund folder under capital projects.

Transfers In:	FY22	FY23
Amounts from Developers/Twp for Water Extension	\$ 3,131,516.00	
Forecasted REU connections (25) + Surcharge Fees	170,000.00	\$ 170,000.00
Rotondo REUs purchased (20 out of 55)		\$ 116,320.00
Transfer from 536 O&M: Estimated surplus		250,000.00
	<u>\$ 3,301,516.00</u>	<u>\$ 536,320.00</u>

Date	Whom?
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2/10/2021	sdh
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2/10/2021	sdh
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2/16/2021	BW
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What updates did you make?

Updated summary and finalized initial cash balances and project expenses for FY20 & FY21
Projected) for General Fund and Fire Fund

Fixed formulas on Summary page

Fixed formatting - added settlers park pathway sealcoating

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Robert M. West, Township Manager

Subject: Watermain extension project update

Date: April 15, 2021

Recommended Action

No formal action required at this time.

Discussion

The watermain extension project contract was expected to be awarded this evening, yet the project has been placed into a holding pattern at this time due to anomalies with the developers financing. The developers are projecting a 60-90 day delay before resolving the current issues. The primary risk for the developers at this time is the bid amount will most likely expire as a result of the delay.

Manager West will provide the Township Board with an update on the watermain extension project and be available for questions or comments regarding the situation.

Hartland Township Board of Trustees Meeting Agenda Memorandum

Submitted By: Robert M. West, Township Manager

Subject: To consider the six-month evaluation of the Township Manager, at his request

Date: March 29, 2021

Recommended Action

Move to go into closed session to consider the six-month evaluation of the Township Manager, at his request.

Discussion

The Township Board started conducting six-month evaluations after the Board retreat in 2015. By design, it is intended to provide another opportunity for systemic feedback and guidance from the Board as a whole.

Please accept this formal request for a closed session to discuss my personnel evaluation. I always appreciate the candid back and forth about our strengths and opportunities.