



Planning Commission

Larry Fox, Chairperson Summer L. McMullen, Trustee
Michael Mitchell, Vice-Chairperson Sue Grissim, Commissioner
Tom Murphy, Secretary Jim Mayer, Commissioner
Matthew Eckman, Commissioner

Planning Commission Agenda
Hartland Township Hall
Thursday, April 23, 2026
7:00 PM

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of the Agenda
5. Approval of Meeting Minutes
 - a. Planning Commission Regular and Work Session Meeting Minutes of March 26, 2026
6. Call to Public
7. Old and New Business
 - a. Site Plan Application #25-005 for a restaurant with pick-up window (Hartland Towne Square Planned Development)
 - b. Zoning Amendment #26-001 – Amendment to permit accessory dwelling units (ADU) in single family zoned districts.
8. Call to Public
9. Planner's Report
10. Committee Reports
11. Adjournment

HARTLAND TOWNSHIP PLANNING COMMISSION **DRAFT** MEETING MINUTES

MARCH 26, 2026– 7:00 PM

1. **Call to Order:** Chair Fox called the meeting to order at 7:00 p.m.
2. **Pledge of Allegiance:**
3. **Roll Call and Recognition of Visitors:**
Present – Commissioners Fox, Grissim, Mayer, McMullen, Mitchell, & Murphy
Absent – Commissioner Eckman
4. **Approval of the Meeting Agenda:**
Commissioner Mitchell offered a Motion to approve the March 26, 2026, Planning Commission Meeting Agenda. Commissioner Grissim seconded it. Motion carried unanimously.
5. **Approval of Meeting Minutes:**
 - a. Planning Commission Work Session Meeting Minutes of March 12, 2026.
Commissioner McMullen offered a Motion to approve the Planning Commission Work Session Meeting Minutes of March 12, 2026. Commissioner Mayer seconded it. Motion carried unanimously.
6. **Call to the Public:**
None
7. **Old and New Business**
 - a. Site Plan Application SP #26-004 - Amendment to the approved Preliminary PD Site Plan for proposed building addition at Grumlaw Church (8457 Highland Road)

Director Langer stated the following:

- Gave an overview of the location and scope of the project.
- Located west of Old US 23, east of Hacker Road, north of M-59.
- Originally a Planned Development (PD), Walnut Ridge later formed as a PD around the church property.
- Applicant is proposing an addition to the church building.
- Intend to match the building materials and landscaping for the original building.
- Will create a new playground area.
- Amendment to the original site plan which requires Planning Commission approval.

The Applicant, Josef Amini, the Grumlaw Church Campus Pastor and Construction Manager for this project, introduced himself.

Chair Fox referred to the staff memorandum dated March 19, 2026.

Chair Fox confirmed the following:

- This is a request for an approximate 5,000 square foot building addition.
- No additional staff or parking is part of this request.
- Intend to add three (3) classrooms, a bathroom, and some storage space.
- Will match existing building materials.
- Will adequately screen rooftop RTUs as required.
- Existing playground fence will be relocated to the new playground.
- Will continue the landscaping along the west side of the building.

Commissioner Grissim offered the following Motion:

Move to approve Site Plan Application #26-004, a request to amend the approved Preliminary PD Site Plan for Grumlaw Church, for a proposed building addition, as outlined in the staff memorandum dated March 19, 2026.

Approval is subject to the following conditions:

- 1. The applicant shall adequately address the outstanding items noted in the Planning Department’s memorandum, dated March 19, 2026, on the Construction Plan Set, subject to an administrative review by Planning staff prior to the issuance of a land use permit.**
- 2. Applicant complies with any requirements of the Township Engineering Consultant, Department of Public Works Director, the Fire Code requirements, and all other government agencies, as applicable.**

Commissioner Murphy seconded it. Motion carried unanimously.

8. Call to the Public:

None

9. Planner Report:

None

10. Committee Reports:

None

11. Regular Meeting Adjournment:

A Motion to adjourn the Regular Meeting was made by Commissioner Grissim and seconded by Commissioner Mitchell. Motion carried unanimously. The meeting was adjourned at approximately 7:15 PM.

[BRIEF RECESS]

The Planning Commission began the Work Session at approximately 7:20 PM.

12. Work Session:

- a. Zoning Amendment #26-001 – Amendment to permit accessory dwelling units (ADU) in single family zoned districts.**

March 26, 2026 – 7:00 PM

The Planning Commission discussed the proposed ADU zoning amendment and the additional language proposed by the Township Attorney.

13. Call to Public:

None

14. Work Session Adjournment:

A Motion to adjourn the Work Session was made by Commissioner Mitchell and seconded by Commissioner McMullen. Motion carried unanimously. The meeting was adjourned at approximately 7:43 PM.

Hartland Township Planning Commission Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Site Plan Application #25-005 for a restaurant with pick-up window (Hartland Towne Square Planned Development)

Date: April 16, 2026

Recommended Action

Move to approve Site Plan Application #26-005 a request to construct an approximate 2,385 square foot restaurant building with dining-in option and one (1) pick-up window, for pick-up service only.

Approval is subject to the following conditions:

1. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated April 16, 2026, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
2. A land use permit is required prior to construction.
3. Applicant complies with any requirements of the Township Engineering Consultant, Department of Public Works Director, the Fire Code requirements and all applicable government agencies as applicable.
4. *(Any other conditions the Planning Commission deems necessary)*

Discussion

Applicant Hartland Towne Square LLC

Site Description

The Hartland Towne Square Planned Development (PD) is located north of Highland Road (M-59) and west of Clark Road in Section 21 of Hartland Township. The entire planned development is approximately 81.34 acres in size and is comprised of multiple parcels.

The subject site is currently vacant; however, the site was prepared for development when Hartland Square Drive was constructed. The property is zoned PD (Planned Development). Per Township Assessing records, the site is approximately 1.04 acres in size (Tax Parcel ID #4708-21-402-003) and has approximately 148 feet of frontage along Hartland Square Drive and 185.88 feet of frontage along Highland Road.

On the development plans for Hartland Towne Square (Final Plan dated June 18, 2008), the subject site is labeled as Outlot #8. In 2019, Panda Express was approved under SP #19-002. The configuration of Outlot #8 was modified under a Land Division application for a boundary line adjustment in 2019.

In 2022, the Township approved the request to establish four (4) condominium units within the Hartland Towne Square Planned Development (Preliminary and Final Site Condominium Application #22-014), which includes Outlot #8.

The subject site is called Unit 3 Ring Road Condominium and is currently under the ownership of Hartland Towne Square LLC.

Background Information (Prior Requests)

The Hartland Towne Square Planned Development was approved by the Township on March 18, 2008, under SP #429F. As part of the approval of the PD, the plan depicted potential development within the subject property, but that plan was not an approved site plan, instead those were placeholders for potential future development on the subject property.

The approved plans for PD include the Planned Development Agreement (the “Agreement”), the Pattern Book for Hartland Towne Square (site design standards), and the Final Plan (detailed site and landscape plans). Together these documents, and applicable zoning standards, provide the development standards for Hartland Towne Square PD. Eight (8) amendments to the PD have occurred between 2008 and 2019 as outlined below:

1st Amendment

The first amendment to the PD was approved on July 1, 2008. The Agreement, Final Plan (Amended Final Plan, dated June 18, 2008), and Pattern Book (Rev. NO. 3 dated June 18, 2008) were updated in conjunction with the construction of Meijer’s.

2nd Amendment

The second amendment to the PD was approved on August 6, 2008, which facilitated the granting of certain alternate access easements within the PD site. The second amendment did not require changes to the previously approved site plans (Amended Final Plan) or Pattern Book.

3rd Amendment

On January 20, 2009, the third amendment to the PD Agreement was approved. The text of Paragraph 21 of the PD Agreement (Integration) was amended to establish the required signatories of any amendment to the PD Agreement. Changes to the Amended Final Plan and Pattern Book were not required.

4th Amendment

The fourth amendment was approved on March 30, 2009, which amended the text of Paragraph 14.3 of the Agreement as it related to the newly configured Hartland Road and the granting of the Highway Easement to the Livingston County Road Commission. Changes to the Amended Final Plan and Pattern Book were not required.

5th Amendment

On August 4, 2010, the fifth amendment was approved. The text of Paragraphs 2 (Intent) and Section 6.6.4 (Signs) were amended to provide for the incorporation of approved amendments to the Agreement into the Final Plan and to provide for the relocation of and replacement of a directional sign to direct traffic to businesses on Rovey Drive. Drawings of the directional sign and revised site plans showing the location of the sign are incorporated into the fifth amendment document and as part of Sign Application #715. The Amended Final Plan and Pattern Book were not formally amended.

6th Amendment

On February 7, 2017, the Township Board approved the sixth amendment, which amended the wall sign standards as outlined in the Hartland RAMCO Planned Development Agreement (Section 6.6.3) and Hartland Towne Square Pattern Book (Page 28), under Site Plan Application #439A.

7th Amendment

On March 5, 2019, the Township Board approved Site Plan #19-002, a request to amend the Planned Development (PD) Agreement for the Hartland Township Square PD to permit up to three (3) drive-through restaurants in the Hartland Towne Square Planned Development (PD) and a total of eight (8) drive-through businesses. The language in the original PD Agreement allows for one (1) drive through for a bagel, donut, or coffee shop, and this language was not amended.

8th Amendment

On September 19, 2019, the Township Board approved the request to amend the Planned Development (PD) Agreement and Pattern Book for the Hartland Towne Square PD as the 8th Amendment. This request was initiated by the Planning Department to address several concerns in the planned development that had come to staff's attention via several parties. The 8th Amendment established guidelines for the on-going maintenance of private roads within the development; allowed for improvements to the existing development monument sign at the northwest corner of Hartland Road and Highland Road; allowed for two (2) additional ground signs along Highland Road; allowed selective tree removals along the berm on Highland Road (near Culver's restaurant); adjusted the lighting standards for parking lot lighting (light pole style); and eliminated the restriction on the number of drive-through establishments.

Other History

Currently, Hartland Towne Square includes the following businesses: Meijer's, Taco Bell, Belle Tire, Tim Horton's/Cold Stone Creamery, Culver's, Emagine Theatre, Panda Express, and Buffalo Wild Wings. In addition to those businesses, an approximate 7,980 square foot multi-tenant building with one (1) drive through window was approved by the Planning Commission in 2021 under SP #21-014. The building is located at the intersection of Hartland Square Drive and Highland Road. This building has four (4) tenant suites with the current tenants being Starbucks, AT&T, and Athletico. The fourth tenant space is in transition from Wing Snob to a new business (which is currently under review with a land use permit application).

Site Plan Application #22-012 (Chipotle Restaurant)

On October 13, 2022, the Planning Commission reviewed Site Plan Application \$22-012, which was a request to construct an approximate 2,314 square foot restaurant (Chipotle) with dining-in option and one (1) pick-up window, for pick-up service only, in the Hartland Towne Square Planned Development. At the time the parcel was designated as the eastern portion of Outlot #7 on the submitted plans. The Planning Commission approved SP#22-102 on October 13, 2022, however the project did not proceed to the construction phase. The current request (SP #26-005) is on the same outlot.

Planned Development Procedure

New construction within the Hartland Towne Square PD must go through the Township's standard site plan approval process with review and approval by the Planning Commission. The proposed project will be reviewed for compliance with applicable standards with the Planned Development Agreement, Pattern Book and Final Plan that are associated with Hatland Towne Square PD, as well as the Township's Zoning Ordinance as applicable.

The Planning Commission has Site Plan review authority and will make a final decision on Site Plan #26-005. As noted above, there have been some amendments to the Planned Development (PD) Agreement to modify the number of drive-through businesses within this development. This particular project does not have a drive-through business, as outlined in the PD Agreement, or as outlined in the Zoning Ordinance. The proposed restaurant has a "pick-up" window, which differs from a "drive-through" window, in that customers must previously place their order before they arrive at the "pick-up" window. A menu ordering

board is not proposed. As a result, a separate special use permit or amendment to the PD is not required for the proposed pick-up window as it is a permitted use in the PD Agreement.

Project Summary for SP #26-005

Request

The applicant proposes to construct an approximate 2,385 square foot restaurant with one (1) pick-up window, for pick-up service only. Patrons will place food orders online or by phone ahead of time. The orders will be picked up inside the store or via the pick-up window, which is on the west side of the building. There will not be an option to drive up to a menu board and place an order. There is a dining-in option and an outdoor patio area on the south side of the building. Thirty-three (33) off-street parking spaces are provided.

Existing Site Conditions

The proposed restaurant is to be constructed on Outlot #8 (Unit 3 Ring Road Condominium). The subject site is within Development Area E on the Final Plan. This site is bound by Highland Road (M-59) on the south and Hartland Square Drive on the north. Panda Express restaurant is to the east and Buffalo Wild Wings is west of the site. The site is vacant of buildings but was prepared for development when Hartland Square Drive was constructed.

The proposed plan shows one (1) access point on the north from Hartland Square Drive and a 24-foot-wide internal drive connection along the south side of the subject site, to the Panda Express restaurant on the east, and Buffalo Wild Wings on the west. Utilities (water and sewer) are available, and a stormwater management plan is in place for the entire Hartland Towne Square PD development.

A landscaped berm is in place on the subject site, along the frontage of Highland Road. The landscaping was installed as part of the development of the PD sites (outlots along Highland Road) and generally follows the 2008 PD Landscape Plan for Outlot #8. The intent is to preserve this landscaping and install additional plants as shown on the proposed landscape plan.

Impact Assessment

No separate impact assessment is required for the proposed new use.

Traffic Generation

No separate traffic impact assessment is required for the proposed new use.

Access and Circulation

The site is accessed from a proposed driveway from Hartland Square Drive and an internal access drive that connects to the adjacent property on the east (Panda Express) and Buffalo Wild Wings on the west.

Requirements

Lot Size (Sec 3.1.18 of Zoning Ordinance)

- Required – Min. 20 acres for a Planned Development (entire development area); minimum lot size undefined for individual parcel or lot
- Proposed – 1.04 acre parcel for subject site, which is within the PD
- Meets Requirement? Minimum lot size undefined for individual lots
- Comments – (none)

Frontage

- Required – Minimum Frontage undefined for individual lots with an approved Planned Development
- Proposed – Approx. 185.88 ft. along Highland Road/M-59; and approx. 148 ft. along Hartland Square Drive
- Meets Requirement? – N/A
- Comments – (none)

Building Setbacks (Per approved Final Plan – Sheet SP 1.04 & Pattern Book – Page 34)

Setback	Required	Proposed	Meets Requirements? (Y / N)	Comment
Front (N) – Hartland Square Drive	20'	119'	Y	
Front (S) – Highland Road (M-59)	20'	59.8'	Y	
Side (E)	20'	77'	Y	
Side (W)	20'	60.7'	Y	

- Meets Requirement? – Yes
- Comments – (none)

Parking Lot / Driveway / Internal Roads Setbacks (Per Final Plan – Sheet SP 1.04 & Pattern Book – Page 34)

Setback	Required	Proposed	Meets Requirements? (Y / N)	Comment
Front (N) – Hartland Square Drive	20'	20'	Y (internal drive)	
Front (S) – Highland Road (M-59)	20'	20'	Y (internal drive)	
Side (E)	10'	12.2'	Y	
Side (W)	10'	10'	Y	

- Meets Requirement? – Yes
- Comment – (none)

Building Height (Per approved Pattern Book – Page 36, for Outlots along Hartland Square Drive)

- Required – Max. 24' from finished floor to roof parapet & 28' max. to any exterior feature element
- Proposed – 18'-8" to top of parapet wall of building on west elevation
- Meets Requirement? – Yes
- Comments – (none)

Lot Coverage

- Required – Undefined for a Planned Development, 75% for principal building in GC
- Proposed – 5.3%
- Meets Requirements? – Lot coverage undefined in the Planned Development standards
- Comment – (none)

Site Requirements

Off-Street Parking (Per Pattern Book Sec.8.5 & current Ord. standards for restaurant-standard w/o bar, Sec. 5.8.4.H.)

- Required – 1 space per each 100 square feet of gross floor area (Pattern Book), equates to 24 parking spaces (2,385 gross sq. ft. ÷ 100)
If use current zoning standards: 14 spaces per 1,000 sq. ft. of usable floor area (80% x 2,385 = 1,908 sq. ft); $1,908 \div 1,000 = 1.98$; $1.98 \times 14 = 28$ spaces, per Ordinance standards)
- Proposed – 33 spaces, 10' X 20' parking spaces
- Meets Requirements? – Yes, meets Final Plan and current parking standards
- Comments – (none)

Barrier-Free Parking (Per ADA guidelines and approved Pattern Book – Page 44)

- Required – 2 barrier-free spaces in a location most accessible to the building entrance, with at least 1 space van-accessible
- Proposed – 2 van-accessible barrier-free spaces, located near the building entrance (east side of building)
- Meets Requirements? – Yes
- Comments – (none)

Loading (Per approved Pattern Book – Page 41)

- Required – 10' X 50' loading area located away from primary/secondary entrances, not visible from the street, must be screened.
- Proposed – Loading area is not shown
- Meets Requirements? – TBD
- Comments – Although a separate loading area is not provided, it is assumed the deliveries will occur outside the normal business hours for the restaurant, thus avoiding conflicts with parking and vehicular circulation. The plan is similar with other approved sites in the Hartland Towne Square PD which do not show a loading area. Planning Commission to determine if a dedicated loading area is required.

Dumpster Enclosure (Per approved Pattern Book – Page 41)

- Required – Service and refuse areas should be incorporated into the structure as much as possible and screened from view via a minimum 6' high masonry enclosure to match building with a solid framed door. If not incorporated into the structure, refuse areas shall be located along the furthest drive to the west of the building and all other provisions shall remain. Final location to be approved by Hartland Township. Remote or detached refuse areas shall be screened with landscape materials.
- Proposed – A screened refuse enclosure, with two stalls, is shown north of the building with a 7'6" high screen walls on three (3) sides. The screen walls are comprised of brick products that match the building. The enclosure doors are comprised of galvanized corrugated metal. The door color is not stated on the plans. The Pattern Book calls for solid frame doors but does not state specific products. Thirteen (13) evergreen trees are planted along the perimeter of the screen wall.
- Meets Requirements? – Yes
- Comments – The color of the metal doors should be stated on the Construction Plan set.

Outdoor Eating Areas (Per approved Pattern Book – Section 3.6, Pages 39-41; Planned Development Agreement, Section 3.1.15; and Section 4.47 of Zoning Ordinance)

The references noted above outline the standards for outdoor seating and dining areas. These standards apply to the outdoor patio and seating area on the south side of the building. A detailed review of the standards is not provided in this memorandum, but the applicant has been made aware of the standards. A

3-foot-high metal fence is shown on three (3) sides of the patio. All applicable details and information shall be addressed on the Construction Plan set.

Lighting (Per approved Pattern Book – Pages 23 and 44 and Section 5.13 of Zoning Ordinance)

A. Intensity – Overall site

- Required – Light intensity to be measured at 5ft. above ground level on a vertical plane. Max. 0.5 fc along property line adjacent to residential, or 1.0 fc along property line adjacent to non-residential. Average footcandles between 2.4 and 3.6 fc (average) within main parking area, and up to 5.0 fc (average) at main building entrance(s) and exit/entry drive. Lighting level may not exceed 10 fc in any location.
- Proposed – Plan states footcandles values being measured at 5 ft. above grade. Max. 0.7 fc along west property line; Max.0.4 fc along south property line; Max. 0.6 fc along east property line; Max. 0.1 fc along north property line. Average footcandle value in the main parking area is 3.39 fc (west) and 3.20 (east) and complies. Average footcandle value at main building entrance is 4.8 fc. and complies. Average footcandle values at exit/entry (drive location not stated) is 1.5 fc and complies. Highest lighting level is 8.2 fc (SW corner of building).
- Meets Requirement? – Yes
- Comments – (none)

B. Fixture Height

- Required – Max. 28 feet (25-foot fixture on 3-foot base)
- Proposed – Overall height of pole and base is 18 ft.
- Meets Requirements? – Yes
- Comments – (none)

C. Fixture Type

- Required – Light pole fixture style shown on Page 6 of Pattern Book (8th Amendment); Black shoe-box fixture, fully recessed, consistent with overall development.
- Proposed – LED light fixtures on square, black light poles (2 double-head light poles and 8 single-head light poles); 6 wall-mounted light fixtures on the building; and 5 mini-LED light fixtures mounted the west side of the building (Fixture D).
- Meets Requirement? – TBD
- Comments – Light fixture D appears to create a wash of light in a star pattern on the wall. Planning Commission to determine if light fixture complies with lighting standards.

Landscaping Standards per the approved Pattern Book – Pages 10, 42, 43, and 44 as well as approved Final Plan/Landscape Plan for Development Area ‘E’, for reference of existing plant materials; and applicable current standards of Section 5.11 (Landscaping and Screening) of the Zoning Ordinance.

As an informational note, the proposed landscape plan submitted by the applicant is based on the current landscape design standards from Section 5.11 of the Township Zoning Ordinance. Staff’s analysis is based on the regulations in the PD Pattern Book and approved PD landscape plans unless noted otherwise.

A. Landscape plan requirements (Sec. 5.11.1.D. of Zoning Ord.)

- Required – Landscape plans are to be prepared by a Registered Landscape Architect (plans to have seal and signature)
- Proposed – Landscape plan is prepared by a Registered Landscape Architect
- Meets Requirement? – Yes
- Comment – (none)

B. Adjacent to Roads (Pattern Book/PD plan)

Hartland Square Drive

- Required – 1 deciduous or evergreen tree per 40 lineal feet of road frontage, PLUS 1 ornamental tree per 80 lineal feet of road frontage, PLUS 8 shrubs per 40 lineal feet of road. For approx. 148 lineal feet of road frontage, EQUATES TO: 4 deciduous/ evergreen trees, 2 ornamental

- trees, and 30 shrubs REQUIRED ($148 \div 40 = 4$ trees and 30 shrubs; and $148 \div 80 = 2$ ornamental trees)
- Required – Evergreen hedge screen, min. 3 ft. wide, along Hartland Square Drive side of parking (this would apply to the area adjacent to parking spaces on east side of site)
 - Proposed – 5 deciduous/canopy trees total along frontage; and 13 shrubs along Hartland Square Drive where adjacent to drive aisle (5 evergreen shrubs + 8 deciduous shrubs); and 4 evergreen shrubs adjacent to parking spaces on east (could be applied as meeting evergreen hedge screen requirement). Zero ornamental trees proposed.
 - Meets Requirement? – Yes, for number deciduous trees and evergreen hedge screen requirement; deficient in number of shrubs (30 required) and ornamental trees (2 required).
 - Comments – Planning Commission to determine if the proposed plan meets the intent of the PD landscape requirements.

Highland Road/M-59

- Required – 1 deciduous or evergreen tree per 40 lineal feet of road frontage, PLUS 1 ornamental tree per 80 lineal feet of road frontage, PLUS 8 shrubs per 40 lineal feet of road frontage. For approx. 185.88 lineal feet of road frontage, EQUATES TO: 3-foot-high-berm plus 5 deciduous/evergreen trees, 3 ornamental trees, and 37 shrubs REQUIRED
- Proposed – Existing berm and landscaping were previously installed and are to remain. Existing plant count is as follows: 6 deciduous trees and 9 shrubs. Proposed shrubs: 14 large shrubs = 23 shrubs total.
- Meets Requirement? – Yes for number of deciduous trees; no for number shrubs (37 required) and ornamental trees (3 required).
- Comments – Planning Commission to determine if proposed landscape plan meets the intent of the Pattern Book requirements.

C. Berm Requirements (Pattern Book/PD plan)

- Required – Area adjacent to a public right-of-way (Highland Road/M-59) shall be required to have a berm, with berm to be a minimum three feet in height
- Proposed – Existing landscaped berm along Highland Road /M-59
- Meets Requirements? – Yes
- Comments – (none)

D. Parking Lot Landscaping (Pattern Book/PD plan)

- Required – 10 sf of landscape area per parking space (330 sf of landscape area required for 33 parking spaces); 1 tree per 320 sf landscape area (1,179 sf landscape area proposed per plan note). EQUATES TO: 4 trees required); 50% (minimum) of each island/landscaped area must be “sod, shrubs, etc.” REQUIRED. Shredded hardwood mulch is the required type of mulch.
- Proposed – 1,179 sf of parking lot landscaping (330 sf required); and 7 canopy trees, with lawn areas.
- Meets Requirement? – Yes
- Comments – (none)

E. Open Space Landscaping (Pattern Book/PD plan)

- Required – 1 tree per 3,000 square feet of open space. Per previous landscape standards, (from the PD) the open space landscaping formula pertains to landscaped areas that are unpaved, open areas for which specific landscape requirements are not provided. In this case the landscape areas along the east and west property lines and the landscape area north of the dumpster are counted as open space. Per staff’s estimation: 4,864 sf of open space provided. EQUATES TO: 2 trees required ($4,864 \div 3,000 = 2$ trees) REQUIRED.
- Proposed – East: 5 canopy trees plus 20 shrubs and lawn; West: 4 canopy trees plus 16 shrubs and lawn; North: 2 canopy trees plus lawn.

- Meets Requirement? – Yes
 - Comments – (none)
- F. Foundation Landscaping (Pattern Book/PD plan)
- Required – Foundation landscaping required. Size, location and quantity will be determined by the Township prior to suite plan approval (Sec. 7.2 of Pattern Book, page 42).
 - Provided – foundation landscaping is not provided along perimeter of building.
 - Meets Requirement? – TBD
 - Comment – Landscape areas north (with 21 shrubs) and south (with 17 shrubs) of the building could be considered as foundation plantings. Planning Commission to determine if the proposed plan meets the intent of the Foundation Landscaping PD requirements and allows for plants to be counted as shown.
- G. Landscaping Species (Pattern Book/PD plan)
- Required – Follow plant species listed in the Pattern Book (page 43)
 - Proposed – Proposed plant species generally follow the plant standards called for in the Pattern Book.
 - Meets Requirement? – Yes
 - Comments – (none)
- H. Irrigation (Pattern Book/PD plan)
- Required – All plant material shall be irrigated, with underground irrigation system
 - Proposed – Irrigation system is provided per note on Sheet C-7 (Landscape Plan)
 - Meets Requirement? – Yes
 - Comments – An irrigation plan shall be included in the Construction Plan set.
- I. Screening of Ground Mounted Equipment (Sec 5.11.G.iii.)
- Required – Screening on three sides for utility cabinets (if 30 inches or more in height)
 - Proposed – 7 large evergreen shrubs are shown on three sides of the transformer; transformer height listed as 4.5 ft.
 - Meets Requirement? – Yes
 - Comment – (none)

Architecture / Building Materials (Per approved Pattern Book, Pages 24, and 36-38)

The following summary of the building materials is based on the building elevations dated April 7, 2026.

PD Requirements	Submitted Materials	Meets Requirements? (Y / N)
Building Articulation. Horizontal and vertical offsets, glazing and canopy and shading systems as well as exposed structural components. Use of a diverse but complimentary color and finish palette will be required	The building materials include the use of face brick (White Velour by Belden and Siena Ironspot by Endicott), applied in various patterns for visual interest; and black metal awnings/accents.	Y

Materials Used as Defined in the Pattern Book dated March 18, 2008		Materials: Clay brick in charcoal grey and white; metal canopies; and aluminum/glass storefront window system.		Y
Materials Schedule - Required		Materials Schedule – Proposed		
Brick (combined total of face brick by Belden and Endicott)	100% (40% min.)	East Elevation	66%	Y
		West Elevation	93%	Y
		North Elevation	89%	Y
		South Elevation	67%	Y
Metal (awnings and trim) Not specifically listed; used metal panel standard for max. percentage	20% Max.	East Elevation	0%	Y
		West Elevation	49%	Y
		North Elevation	5%	Y
		South Elevation	0%	Y
Storefront (Glass)	50% Max.	East Elevation	28%	Y
		West Elevation	3%	Y
		North Elevation	0%	Y
		South Elevation	27%	Y
EIFS	10%	East Elevation	6%	Y
		West Elevation	0%	Y
		North Elevation	6%	Y
		South Elevation	6%	Y

Architecture comments:

- General architectural characteristics – Brick is the dominant façade material on each elevation, using two (2) colors and two (2) patterns (running bond and stacked bond for visual interest. A black metal awning and trim are used as accent elements.
- Building materials – The brick products include Belden brick in Alaska White Velour and Endicott brick in Siena Ironspot. Black metal products are used for the awning over the pick-up window, around the pick-up window and doors.

Roof appurtenances (Page 38 of Pattern Book)

- Required – All rooftop equipment is required to be screened with a parapet wall or roof structure in building materials that matches the structure or is visually compatible and shall not be visible from any direction. Sight line section drawings may be required. Metal panels may not be used for rooftop screening.
- Proposed – A parapet wall is shown on the west elevation. The roof deck and outline of each rooftop unit (RTU) are also shown on the elevations. Sight line perspective drawings (for RTUs) are provided and indicate the rooftop units are screened.

Pedestrian Access (Per the approved Pattern Book)

- Required – 7’ sidewalk where adjacent to parking spaces and 5’ sidewalk elsewhere; sidewalks required on all sides of the building where adjacent to parking.
- Proposed – 7-ft wide sidewalk is provided along east of the building, which is adjacent to parking spaces. The south side of the building has a concrete outdoor seating area, approximately 15 feet by 38 feet in dimensions.
- Meets Requirements? – Yes
- Comments – (none)

Signage

Any signage for the proposed project will be reviewed administratively through separate sign permit applications. Applicable sign regulations from PD documents and current Zoning Ordinance will be applied to the signs.

Other Requirements-Zoning Ordinance Standards

Nothing additional at this time.

Hartland Township DPW Review

The DPW Director has provided a review letter dated April 4, 2026.

Hartland Township Engineer's Review (Spaulding DeDecker)

The Township Engineer (SDA) has reviewed the Preliminary Site Plan and provided comments in the letter dated March 20, 2026.

Hartland Deerfield Fire Authority Review

The Hartland Deerfield Fire Authority has provided comments in the review letter dated March 26, 2026.

Attachments:

1. Township DPW review letter dated 04.07.2026 – PDF version
2. Township Engineer (SDA) review letter dated 03.20.2026 – PDF version
3. Hartland Deerfield Fire Authority review letter dated 03.26.2026– PDF version
4. Architectural 3-D Renderings dated 03.11.2026 – PDF version
5. Architectural Plans dated 04.07.2026
6. Site Plans dated 04.02.2026

CC: SDA, Twp Engineer (via email)

Scott Hable, Twp DPW Director (via email)

A. Carroll, Hartland FD Fire Chief (via email)

T:\PLANNING DEPARTMENT\PLANNING COMMISSION\2026 Planning Commission Activity\Site Plan Applications\SP #26-005 Chipotle
\Staff Reports\PC\SP #26-005 staff report 04.16.2026.docx



DEPARTMENT OF PUBLIC WORKS

Scott Hable, Public Works Director
2655 Clark Road
Hartland MI 48353
Phone: (810) 632-7498

TO: Planning Department
DATE: 4/7/2026
DEVELOPMENT NAME: Chipotle
APPLICATION #: #26-005
REVIEW TYPE: Site Plan

The Department of Public Works (DPW) has reviewed the site plans for the proposed Chipotle Restaurant. This proposed 2,385 square foot fast food drive-thru restaurant would require 7 Water and 7 Sewer REUs. Parcel 4708-21-402-003 does not have any REUs assigned to it.

	Sewer REUs	Water REUs
Owned	0	0
Required	7	7
# REUs Needed	7	7
Cost Each	\$9,439.20	\$5,816.01
Total Due Each	\$66,074.40	\$40,712.07
TOTAL REU COST	\$106,786.47	

Public Works approves the above plans subject to applicant securing the required number of REUs and the inclusion of the following details on the site plans and construction plans:

1. All review is subject to approval and must comply the Livingston County Drain Commission standards.
2. All Utility easements noted as public as well as a monitoring manhole if so, required by the Livingston County Drain Commission
3. Notes to indicate that all existing utility infrastructure within the development envelope will be required to be upgraded to the current design and engineering standards.

Prior to interior construction, applicant will be required to purchase a 2" water meter, flange kit, and MXU reading unit from the Township. Please contact the Public Works Department (810-632-7498) to purchase these items when ready.

Please feel free to contact me with any further questions or comments regarding this matter, and thank you for your time.

Scott Hable
Public Works Director

Site Plan Review

March 20, 2026

Mr. Troy Langer
Planning Director
Hartland Township
2655 Clark Road
Hartland, Michigan 48353

Re: Hartland Towne Square Restaurant w/ Drive-through - Site Plan Review
SDA Review No. HL26-102

Dear Commission Members:

We have received the preliminary site plan submittal for the above referenced project prepared by Stonefield Engineering & Design dated March 10, 2026 and received by our office on March 10, 2026. The plans were reviewed in accordance with the Site Plan Review Checklist, Current Design and Engineering Standards, Standard Details, and Code of Ordinances and the following comments are our observations.

Recommendation

Approval of the Preliminary Site Plan is recommended conditional upon all of the below comments being addressed to the satisfaction of the Planning Commission and at construction plan review stage.

Project Summary

- Construction of a restaurant with a drive through located off Hartland Square Drive just north of Highland Rd. east of US-23 in the Hartland Towne Square. It is currently a vacant parcel. Site access would be provided via Hartland Square Drive. The site is noted as 1.04 acres.
- Water service would be provided from the existing 8-inch diameter water main located along the north side of Hartland Square Dr. A 2-inch water service is provided to serve the restaurant.
- Sanitary service would be provided from the existing 8-inch diameter sanitary sewer along the north side of Hartland Square Dr. A 6-inch sanitary sewer lead would be provided.
- Storm water would be collected by proposed storm sewer collection systems and discharged to an unknown location. Our records indicate that the proposed site is accounted for in the Hartland Towne Square detention system. Refer to the notes below regarding storm calculations.

General

1. Provide standard detail sheets for both Livingston County and Hartland Township.
2. Address listed on cover sheet states 10540 Hartland Square Drive. However, this does not seem to align with Township records. Please clarify.

Water Main

1. A separate water service and fire service tap shall be provided.
2. The Hartland Township Fire Marshall shall review and approve the hydrant coverage for this site.

Sanitary Sewer

1. All sanitary sewer design requirements are to follow current Livingston County Drain Commissioner's (LCDC) standards and details. LCDC sanitary sewer detail sheets shall be attached to the proposed plans when applicable.

Storm Drainage

1. Any redevelopment project with a land disturbance area of 1.0 acre or larger or creates or replaces 0.5 acres of impervious surface will require a permit from Livingston County. The proposed work disturbance and impervious improvements appear to be over 0.8 acres. The existing storm sewer is to remain. It is possible that the area is served by a regional stormwater management, but this has not been provided. The original plans for Hartland Towne Square should be obtained and analyzed. A copy of the drainage plan and calculations shall be provided for review along with a comparison of the existing and proposed runoff coefficients for the site.
2. Confirm with Livingston Drain Commission that they will not require any additional detention capacity and water quality pre-treatment before connection to the existing system. There appears to be available underground space in the parking lot on site should an underground detention system be required by the County.
3. All storm water design calculations are to follow Hartland Township and Livingston County Drain Commissioner standards and details. Offsite surface runoff shall not be trapped along the development perimeter.
4. A drainage plan will be required during engineering review.
5. Provide additional information about what type of drainage will be leaving the dumpster area. Approval for dumpster drains may require Livingston County Building approval.

Site Paving

1. Provide a paving plan and truck maneuverability route for the garbage/recycling trucks to the trash enclosures and for fire trucks to the site. Show and label the vehicle overhang and tire path.

Permits and Agreements Required

Based on those improvements depicted on the plans, the following permits and agreements may be needed to be provided for review and approval:

- A draft copy of the Storm Drain Agreement. If required.
- A Land Use Permit will be granted after the pre-construction meeting.
- Livingston County Drain Commissioner approval and permit (Sanitary and Storm).
- Livingston County Road Commission approval and permit. If required.
- Soil Erosion and Sedimentation permit from Livingston County Drain Commissioner.
- Genesee County Drain Commissioner water and waste services approval and permit.
- MDOT Permit for proposed within M-59.

Please be aware that additional comments may arise with the submittal of the requested revisions and/or additional information.

The comments are not to be construed as approvals and are not necessarily conclusive. The final engineering plans for this development are to be prepared in accordance with the Current Design and Engineering Standards, Standard Details, and Code of Ordinances.

If you have any questions regarding this letter, please contact Mark Collins or Luisa Amici at (248) 844-5400 with any questions.

Sincerely,

SPALDING DEDECKER



Luisa Amici
Engineer



Mark Collins, PE
Project Manager

cc: Martha Wyatt, Hartland Township Planning Planner - Landscape Architect (via email)
Scott Hable, Hartland Township Public Works Director (via email)
Michael Luce, Hartland Township Manager (via email)



HARTLAND DEERFIELD FIRE AUTHORITY
HARTLAND AREA FIRE DEPT.

3205 Hartland Road
Hartland, MI. 48353-1825

Voice: (810) 632-7676
E-Mail: firemarshal@hartlandareafire.com

March 26, 2026

To: Hartland Township Planning Commission

Re: Chipotle Restaurant

The Hartland Deerfield Fire Authority has reviewed the Site Plan for Chipotle Restaurant located at Hartland Square Dr. dated March 10, 2026.

These are the following are recommendations:

1. A minimum of one isle is a minimum of twenty-six feet.
2. All turning radius is a minimum of fifty feet.
3. Required to purchase a Supra Box, Fire Department has ordering information.
4. Contact Fire Department regarding any fire suppression hood system.
5. Contact the Fire Department for Final Inspection.

This approval is subject to field inspection. This approval shall be valid for one year. If construction has not begun within 12 months of the date on this letter the plans must be resubmitted for approval. This approval does not exempt the project from complying with all applicable codes. Additional submittals and approvals may be required.

Jon Dehanke
Fire Marshal

HARTLAND, MI

EXTERIOR RENDERING DESIGN PACKAGE
2026-03-11

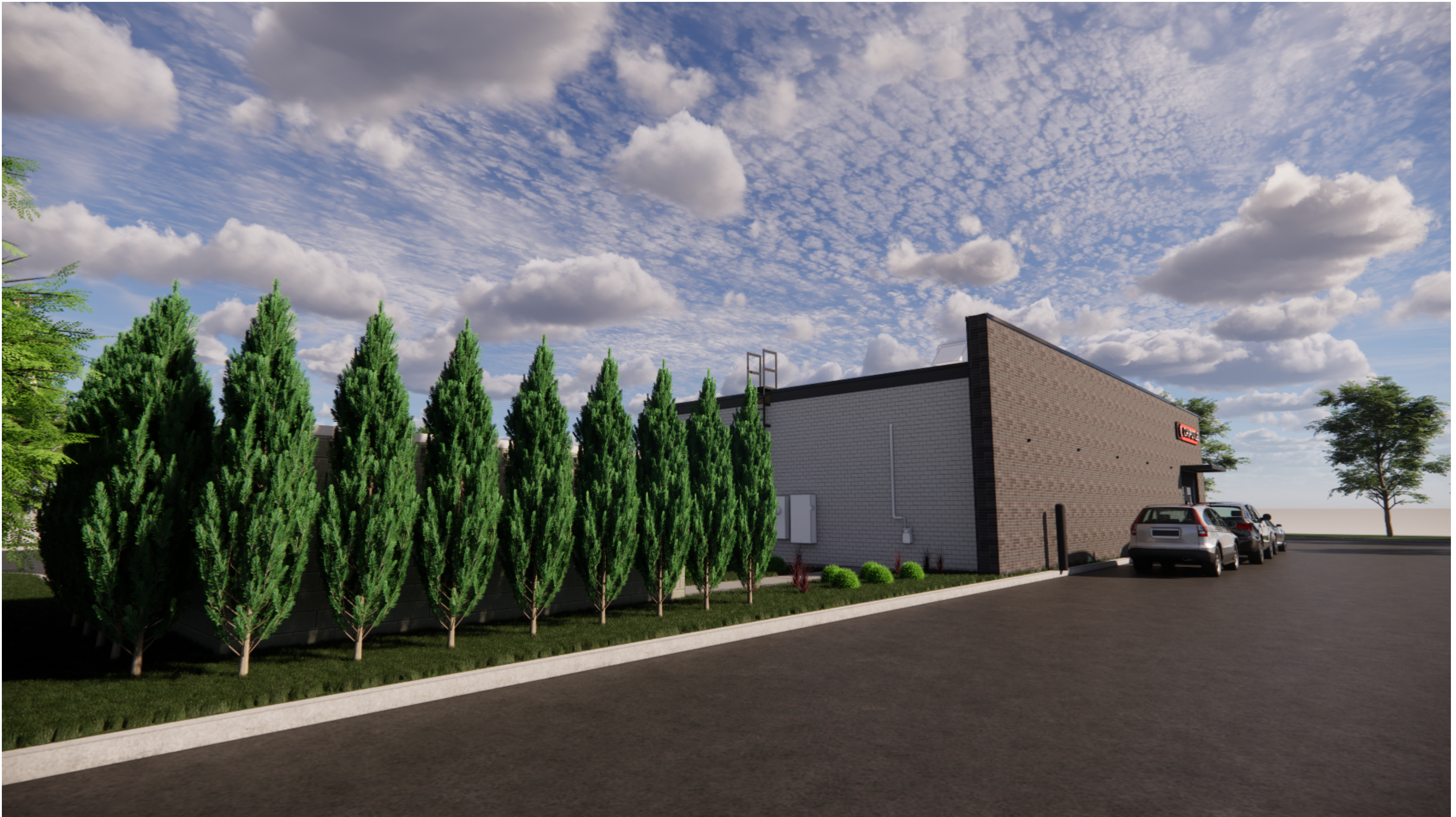










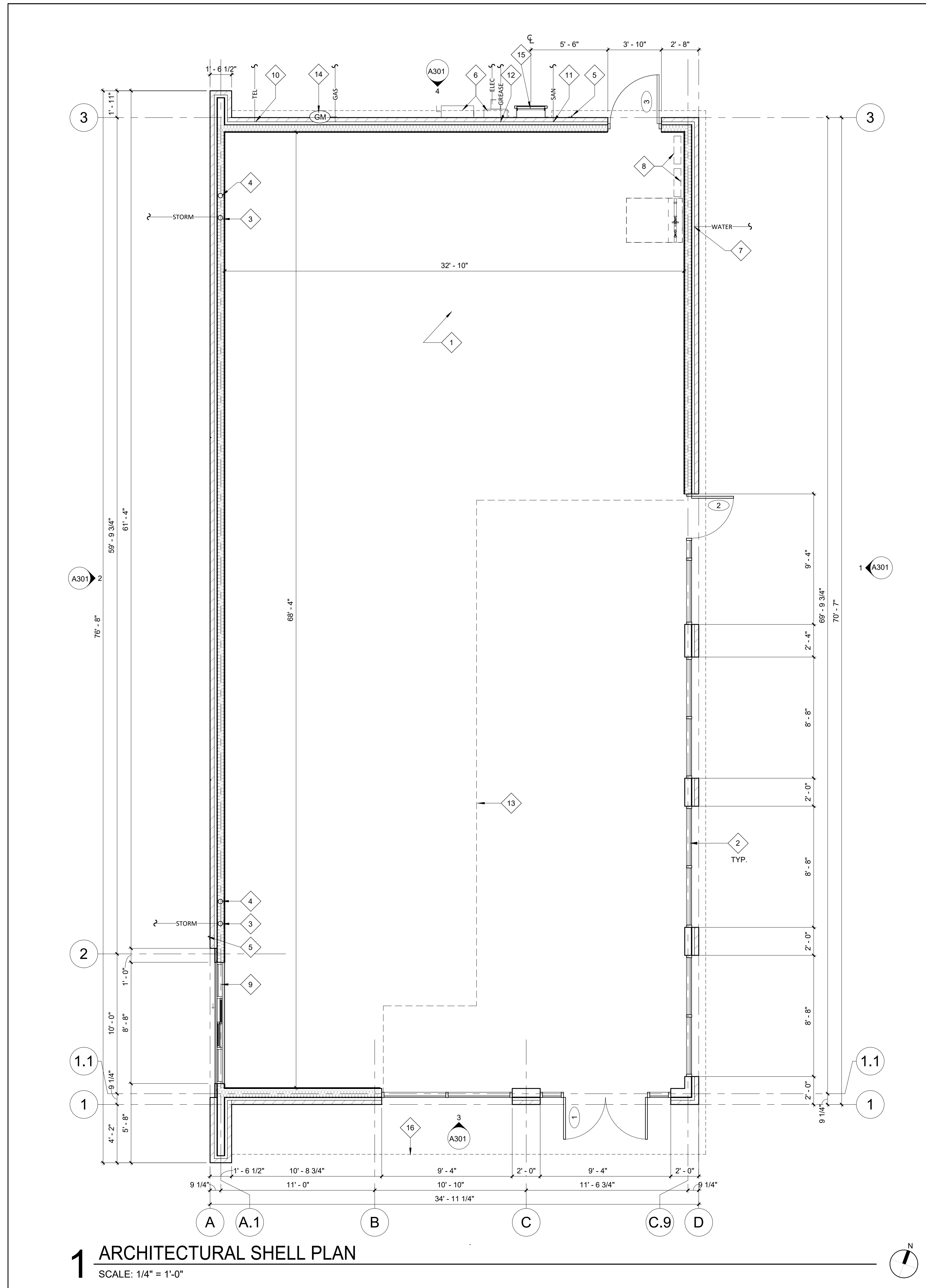






THANK YOU
WILKUS ARCHITECTS





- ### GENERAL NOTES - FLOOR PLAN
- 1 SAFETY GLAZING SHALL BE PROVIDED AT HAZARDOUS LOCATIONS, INCLUDING, BUT NOT LIMITED TO, GLAZING WITHIN 18" OF WALKING SURFACE, GLAZING IN DOORS AND AT WINDOWS ADJACENT TO DOORS.
 - 2 STRUCTURAL GRID DIMENSIONS ARE FROM CENTERLINE OF STRUCTURAL ELEMENTS UNLESS NOTED OTHERWISE.
 - 3 DIMENSIONS ARE TAKEN TO OUTSIDE FACE OF SHEATHING OF WALL ASSEMBLY UNLESS NOTED OTHERWISE.
 - 4 EXTERIOR LANDINGS SHALL BE FLUSH WITH THE INTERIOR FINISHED FLOOR SLAB AND SLOPE AWAY FROM THE FACE OF THE BUILDING TO PROVIDE POSITIVE DRAINAGE.
 - 5 PROVIDE VERTICAL AND HORIZONTAL CONTROL JOINTS IN GYPSUM BOARD SURFACES AT 30'-0" ON CENTER MAXIMUM.
 - 6 GENERAL CONTRACTOR TO INSTALL METAL CORNER BEADS AT OUTSIDE CORNERS OF GYPSUM BOARD SURFACES, UNLESS NOTED OTHERWISE.
 - 7 REFER TO STRUCTURAL SHEETS FOR STUD FRAMING CONFIGURATIONS, SIZES AND SPACING.
 - 8 USE ONLY NON-CORROSIVE FASTENERS ON PRESSURE TREATED LUMBER.
 - 9 LAP WEATHER RESISTANT BARRIERS AND THRU-WALL FLASHING IN A WATER SHEDDING FASHION. TAPE ALL EXPOSED EDGES.
 - 10 ALL EXTERIOR WOOD BLOCKING TO BE MOISTURE RESISTANT PRESERVATIVE TREATED (P.T.).
 - 11 FLASHING AND SEAMS BETWEEN SHEATHING IN COMPOSITE WOOD STUD WALL CONSTRUCTION CONDITIONS TO BE TAPED AND SEALED WITH TAPE SEALANT
 - 12 PROVIDE 5/8" TYPE X GYPSUM WALL BOARD ON INTERIOR SIDE OF ALL EXTERIOR WALLS FROM FLOOR TO BOTTOM OF ROOF DECK.
 - 13 TAPE SEALANT AT ALL ANCHOR LOCATIONS.
 - 14 EXTEND ALL THRU-WALL FLASHING TO 1/4 INCH PAST THE EXTERIOR FACE OF WALL.
 - 15 PROVIDE CONTINUOUS ANCHORAGE FOR ALL THRU-WALL FLASHING.
 - 16 EXTEND FLASHING VERTICALLY A MINIMUM OF 8 INCHES ABOVE THE BASE OF THE FLASHING.
 - 17 APPLY SEALANT TO ALL SHEATHING JOINTS AND FASTENER PENETRATIONS.
 - 18 PROVIDE FULLY ADHERED FLASHING AT ALL WINDOW AND DOOR OPENING HEADS, SILLS AND JAMBS
 - 19 ALL EXIT DOORS TO BE OPERABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE, KEY, OR EFFORT.
 - 20 A READILY VISIBLE SIGN SHALL BE ADJACENT TO THE MAIN PUBLIC DOORWAY STATING, "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS".
 - 21 GAS PIPING ON THE EXTERIOR, UNDER FLOOR, AND BELOW EXISTING ROOF/ CEILING, ASSEMBLY SHALL BE GALVANIZED.

- ### KEYNOTE LEGEND
- | | |
|----|---|
| 1 | FULL SLAB LEAVE-OUT - COMPACT SUB-GRADE AS REQUIRED. FUTURE CONCRETE SLAB AND VAPOR BARRIER TO BE PROVIDED BY TENANT. |
| 2 | THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING - CAULK AROUND ENTIRE PERIMETER OF OPENINGS EACH SIDE. |
| 3 | INTERIOR ROOF DRAIN LEADER - CONNECT TO STORM SEWER BELOW GRADE. |
| 4 | INTERIOR OVERFLOW ROOF DRAIN LEADER WITH STAINLESS STEEL COWS TONGUE. |
| 5 | FROST PROOF WALL HYDRANT. |
| 6 | ELECTRICAL METER AND DISCONNECT. |
| 7 | DOMESTIC WATER SERVICE ENTRY POINT - COORDINATE WITH CIVIL DRAWINGS FOR ADDITIONAL INFORMATION. |
| 8 | FUTURE TENANT ELECTRICAL PANELBOARDS - GENERAL CONTRACTOR TO PROVIDE CONDUCTORS TO LOCATION. |
| 9 | PREFINISHED DARK BRONZE ALUMINUM PASS-THRU WINDOW WITH INTEGRATED INTERIOR AIR CURTAIN, TRANSOM AND SIDELITES - CAULK AROUND ENTIRE PERIMETER OF OPENING EACH SIDE. |
| 10 | TELECOMMUNICATION ENTRY POINT - COORDINATE WITH CIVIL DRAWINGS FOR ADDITIONAL INFORMATION. |
| 11 | SANITARY SEWER ENTRY POINT - COORDINATE WITH CIVIL DRAWINGS FOR ADDITIONAL INFORMATION. |
| 12 | GREASE WASTE ENTRY POINT - COORDINATE WITH CIVIL DRAWINGS FOR ADDITIONAL INFORMATION. |
| 13 | DASHED LINE INDICATES LOCATION OF FUTURE OPEN CEILING ABOVE - EXPOSED STRUCTURE TO BE FREE AND CLEAR OF MARKINGS. |
| 14 | LOCATION OF GAS METER - COORDINATE WITH CIVIL DRAWINGS FOR ADDITIONAL INFORMATION. |
| 15 | EXTERIOR ROOF LADDER WITH LOCKING GATE |
| 16 | LINE OF OVERHANG ABOVE. |



HARVEY WEISS
WEISS PROPERTIES
32820 WOODWARD AVENUE, SUITE 200
ROYAL OAK, MICHIGAN 48073

PROJECT INFORMATION

**HARTLAND MI
SHELL BUILDING**
HIGHLAND RD & US-23N, OUTLOT 8
HARTLAND, MI 48353

SEAL

**NOT FOR
CONSTRUCTION**

PROJECT NO. 2025-0422
DRAWN BY SAS
CHECKED BY KAM

ISSUE DATE
ENTITLEMENTS 03-11-2026

REVISION DATE

TITLE
**ARCHITECTURAL
SHELL PLAN**

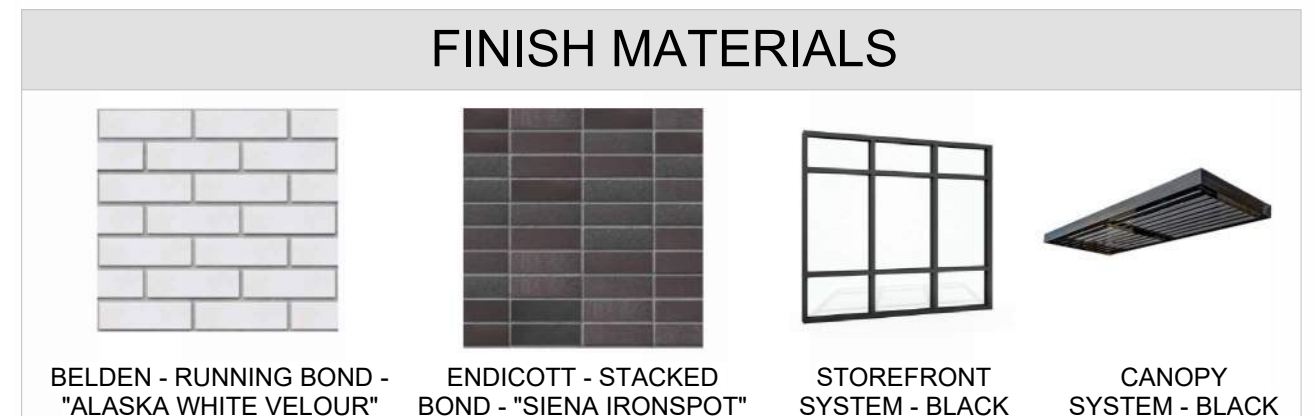
SHEET NUMBER
A100



- EXT ELEV GENERAL NOTES**
1. PAINT ANY ALLOWABLE UTILITY BOXES AND LINES 'PEGASUS'
 2. EXTERIOR SIGNAGE PROVIDED BY TSV AND INSTALLED BY TSV. GC TO MAKE FINAL CONNECTION
 3. EXTERIOR SIGNAGE LOCATIONS, SIZES, AND DESCRIPTIONS SHOWN FOR REFERENCE ONLY. PERMIT AND INSTALL BY OTHERS.
 4. PROVIDE BLOCKING, SUPPORTS, AND UTILITIES FOR EXTERIOR SIGNAGE AS REQUIRED.
 5. METAL CANOPY IS AVAILABLE FROM AMERICAN PRODUCTS, INC. (API), PHONE: (813)-925-0144, EMAIL: BIDS@AMERICANPROD.COM

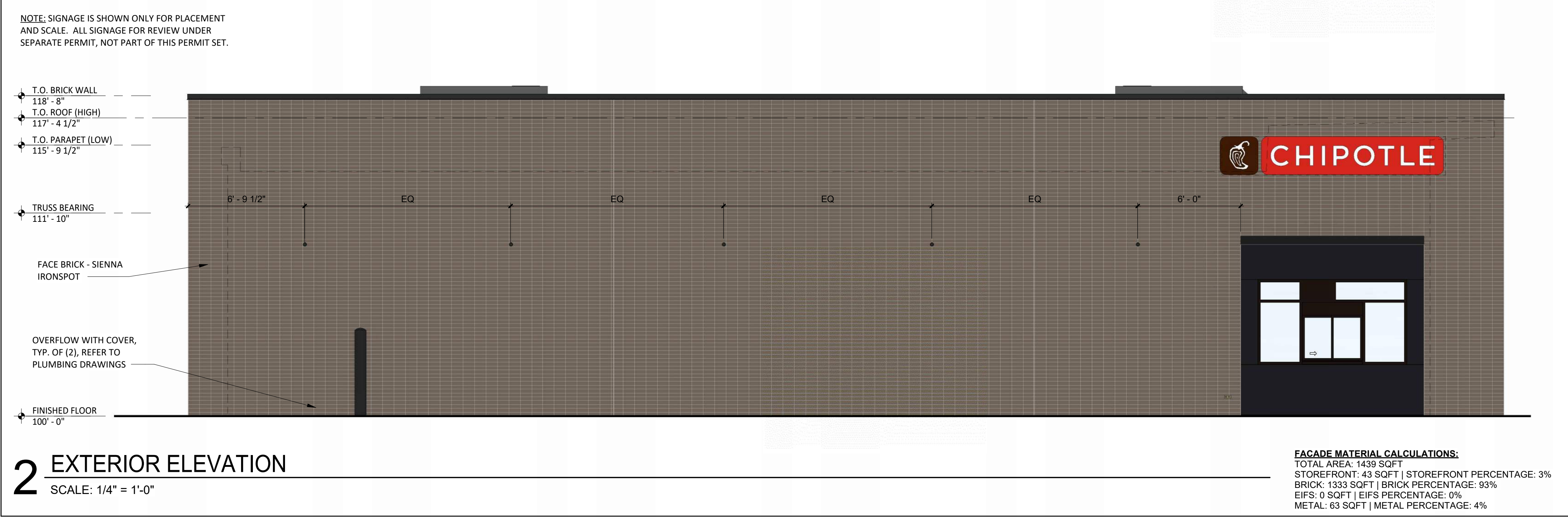
EXTERIOR FINISH SCHEDULE

FINISH	MATERIAL	COLOR	REMARKS
BR-1	BELDEN	ALASKA WHITE VELOUR	RUNNING BOND, SEE SPECS FOR GROUT COLOR
BR-2	ENDICOTT	SIENNA IRONSPOT SMOOTH	STACKED BOND, SEE SPECS FOR GROUT COLOR
EF-1	EIFS	MATCH PT-1	FLAT FINISH
EF-2	EIFS	MATCH PT-2	FLAT FINISH
MTL-1	PREFINISHED METAL COPING	MATCH PT-1	TO MATCH ADJACENT FINISH
PT-1	PAINT	PPG #1001-7 "BLACK MAGIC"	
PT-2	PAINT	PPG #1010-1 "PEGASUS"	



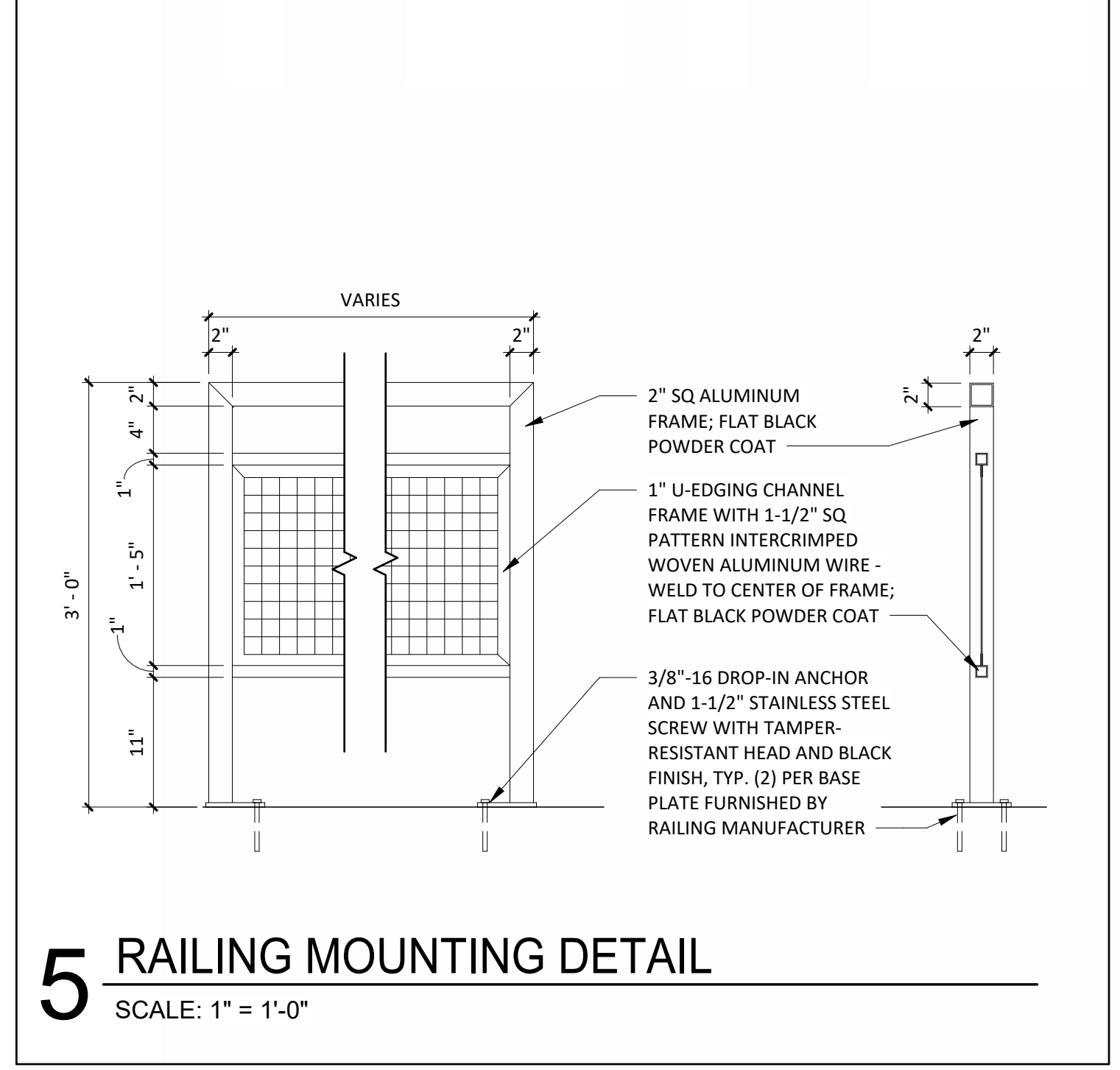
1 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

FACADE MATERIAL CALCULATIONS:
TOTAL AREA: 1161 SQFT
STOREFRONT: 319 SQFT | STOREFRONT PERCENTAGE: 28%
BRICK: 763 SQFT | BRICK PERCENTAGE: 66%
EIFS: 80 SQFT | EIFS PERCENTAGE: 6%
METAL: 0 SQFT | METAL PERCENTAGE: 0%



2 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

FACADE MATERIAL CALCULATIONS:
TOTAL AREA: 1439 SQFT
STOREFRONT: 43 SQFT | STOREFRONT PERCENTAGE: 3%
BRICK: 1333 SQFT | BRICK PERCENTAGE: 93%
EIFS: 0 SQFT | EIFS PERCENTAGE: 0%
METAL: 63 SQFT | METAL PERCENTAGE: 4%

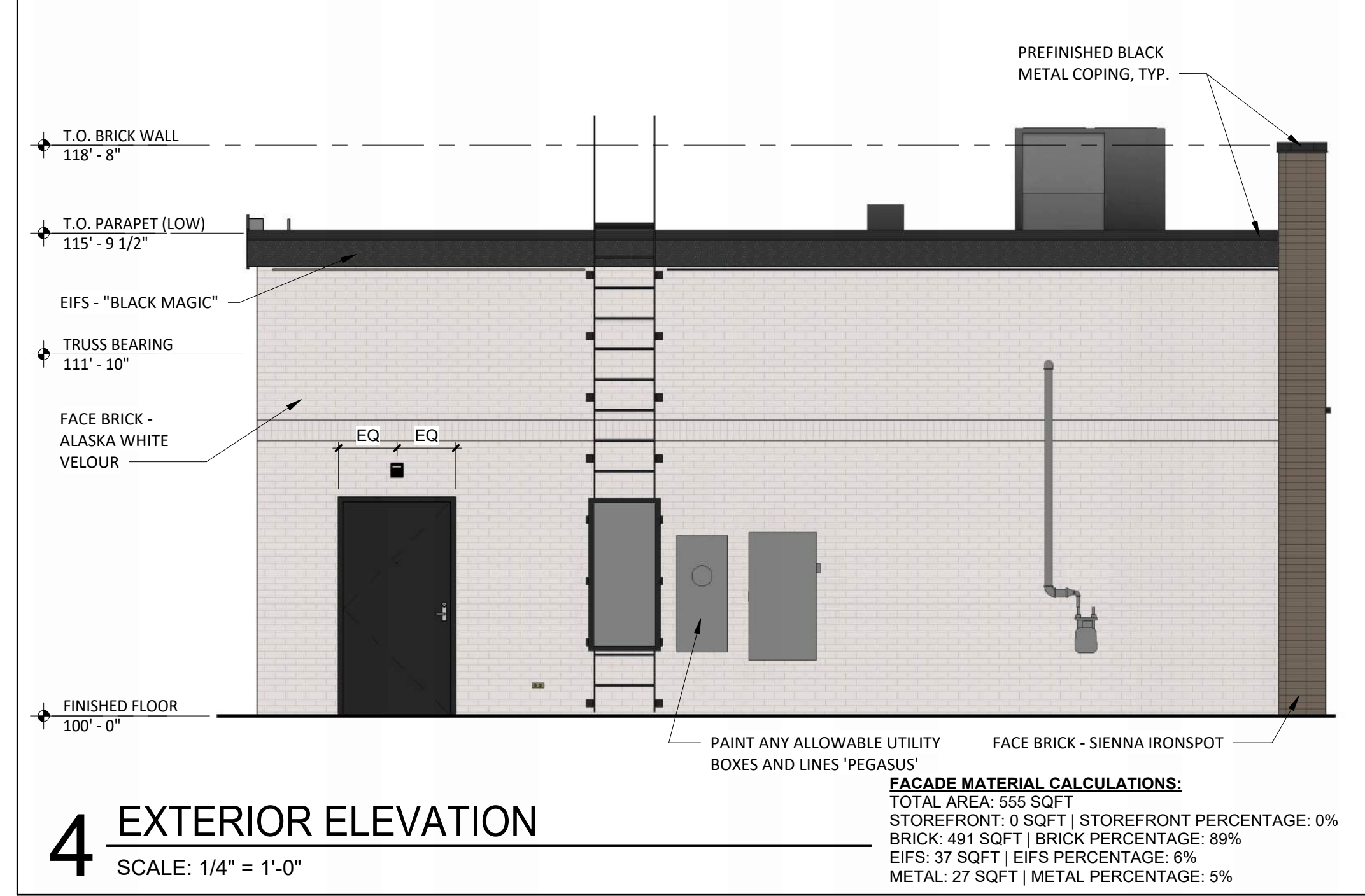


5 RAILING MOUNTING DETAIL
SCALE: 1" = 1'-0"



3 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

FACADE MATERIAL CALCULATIONS:
TOTAL AREA: 605 SQFT
STOREFRONT: 164 SQFT | STOREFRONT PERCENTAGE: 27%
BRICK: 404 SQFT | BRICK PERCENTAGE: 67%
EIFS: 37 SQFT | EIFS PERCENTAGE: 6%
METAL: 0 SQFT | METAL PERCENTAGE: 0%



4 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

FACADE MATERIAL CALCULATIONS:
TOTAL AREA: 556 SQFT
STOREFRONT: 0 SQFT | STOREFRONT PERCENTAGE: 0%
BRICK: 491 SQFT | BRICK PERCENTAGE: 89%
EIFS: 37 SQFT | EIFS PERCENTAGE: 6%
METAL: 27 SQFT | METAL PERCENTAGE: 5%

CONSULTANT

CLIENT

HARVEY WEISS
WEISS PROPERTIES
32820 WOODWARD AVENUE, SUITE 200
ROYAL OAK, MICHIGAN 48073

HARTLAND MI SHELL BUILDING
HIGHLAND RD & US-23N, OUTLOT 8
HARTLAND, MI 48353

PROJECT NO. 2025-0422
DRAWN BY SAS
CHECKED BY KAM

ISSUE DATE
ENTITLEMENTS 04-02-2026

REVISION DATE

TITLE: **EXTERIOR ELEVATIONS**

SHEET NUMBER: **A301**

NOT FOR CONSTRUCTION



HARVEY WEISS
WEISS PROPERTIES
32820 WOODWARD AVENUE, SUITE
200
ROYAL OAK, MICHIGAN 48073
PROJECT INFORMATION

**HARTLAND MI
SHELL BUILDING**
HIGHLAND RD & US-23N, OUTLOT 8
HARTLAND, MI 48353

**NOT FOR
CONSTRUCTION**

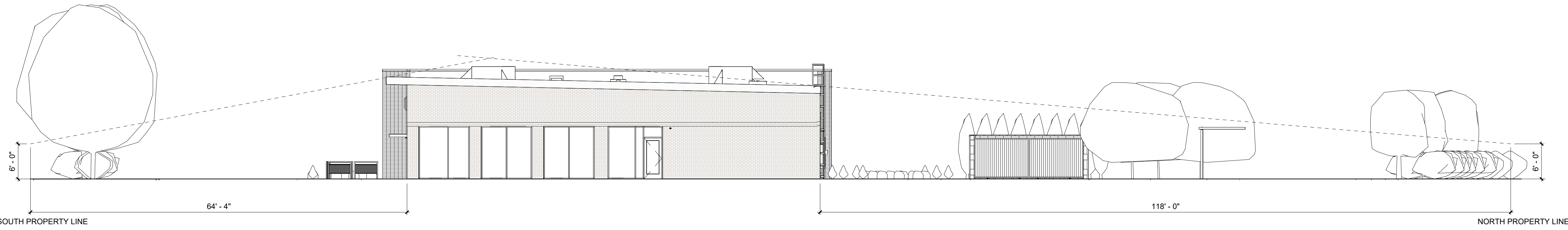
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DRAWN BY SAS
CHECKED BY KAM

ISSUE DATE
ENTITLEMENTS 04-02-2026

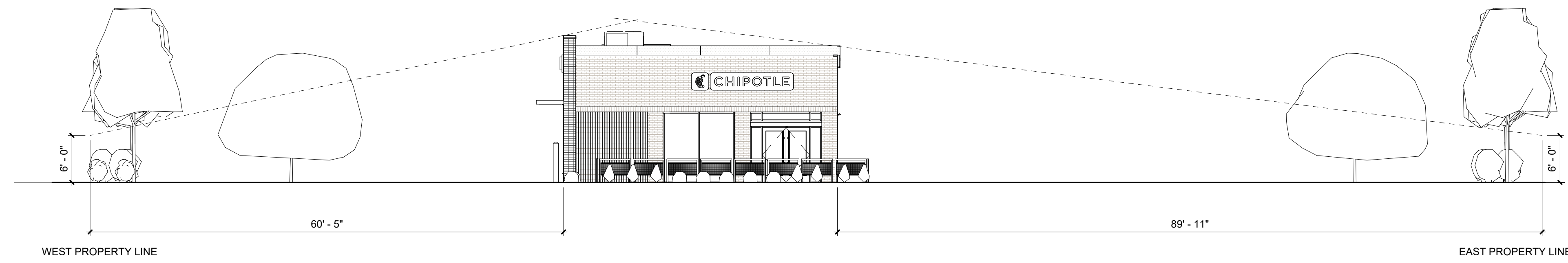
REVISION DATE

SIGHT LINE EXHIBIT

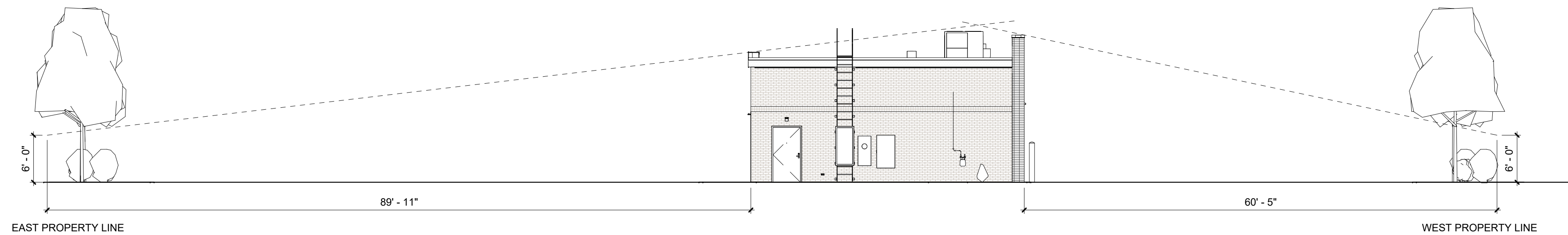
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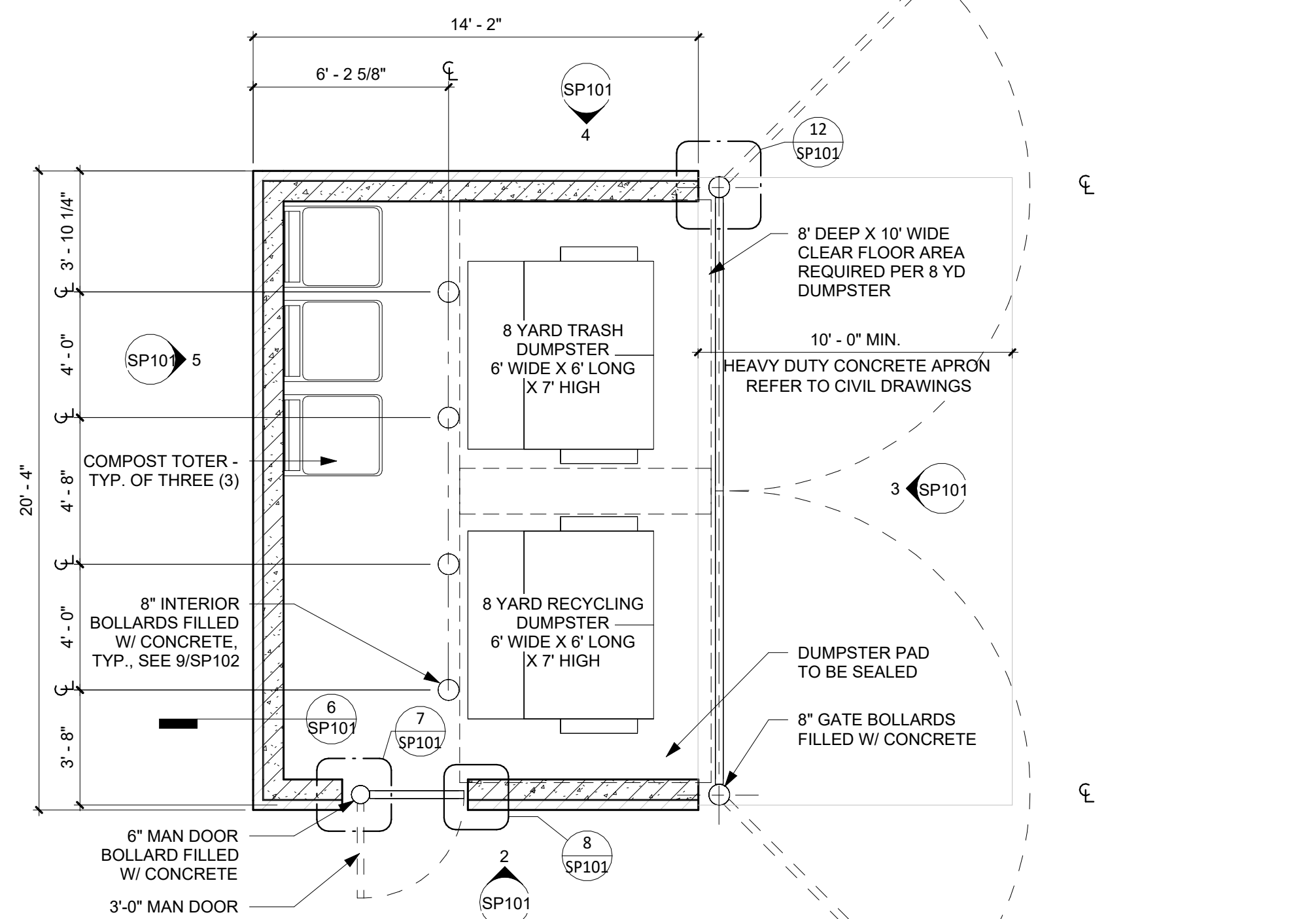
1 RTU SIGHT LINE - LOOKING WEST
SCALE: 1" = 10'-0"



2 RTU SIGHT LINE - LOOKING NORTH
SCALE: 1" = 10'-0"

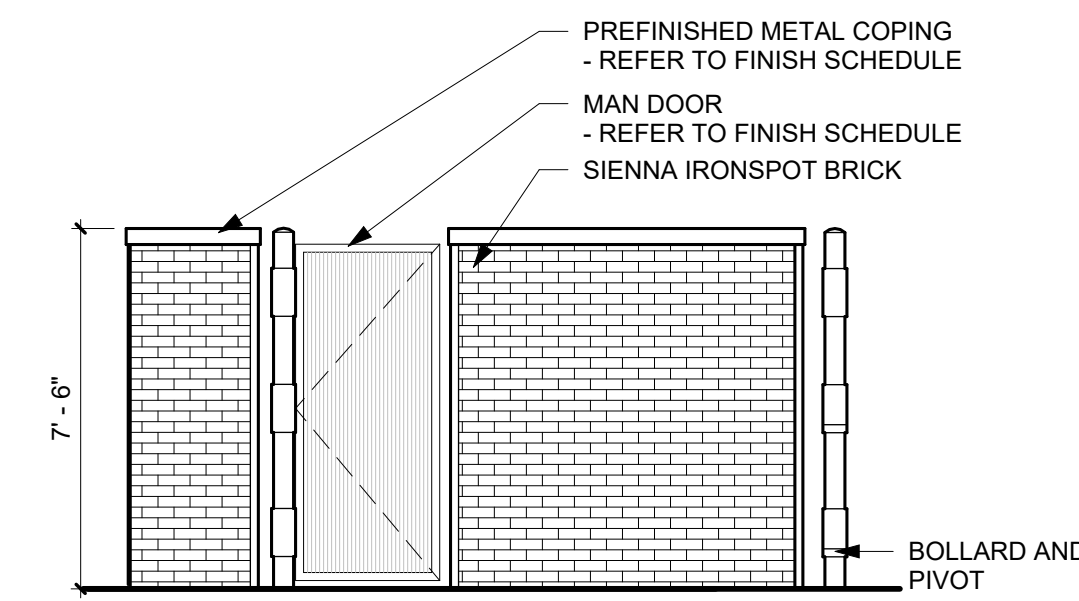


3 RTU SIGHT LINE - LOOKING SOUTH
SCALE: 1" = 10'-0"

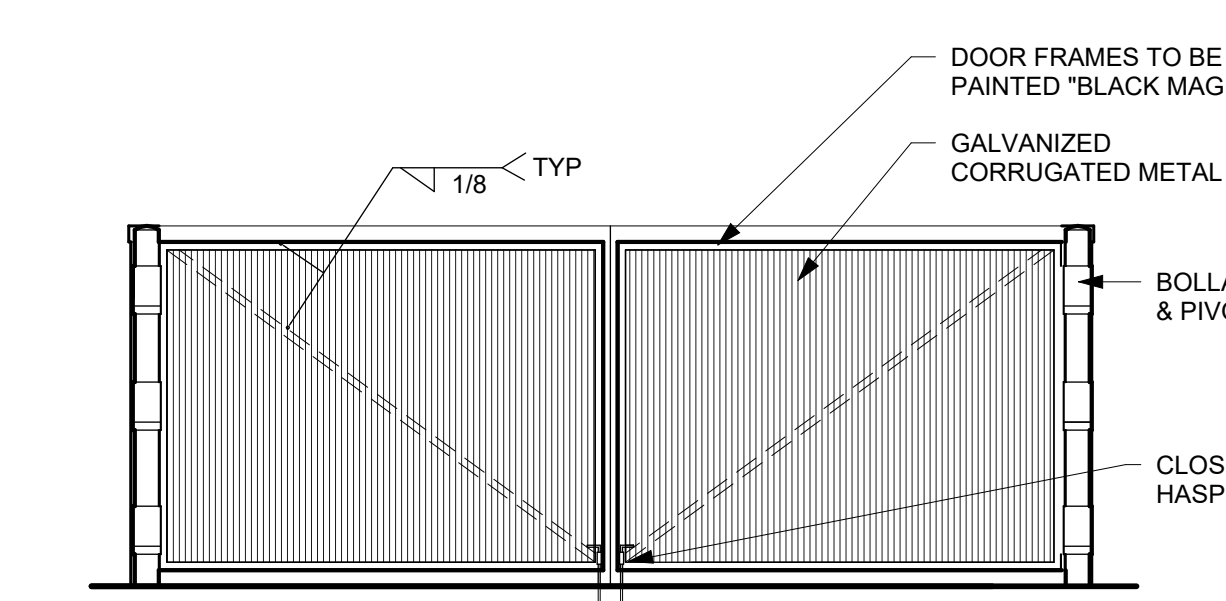


16 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

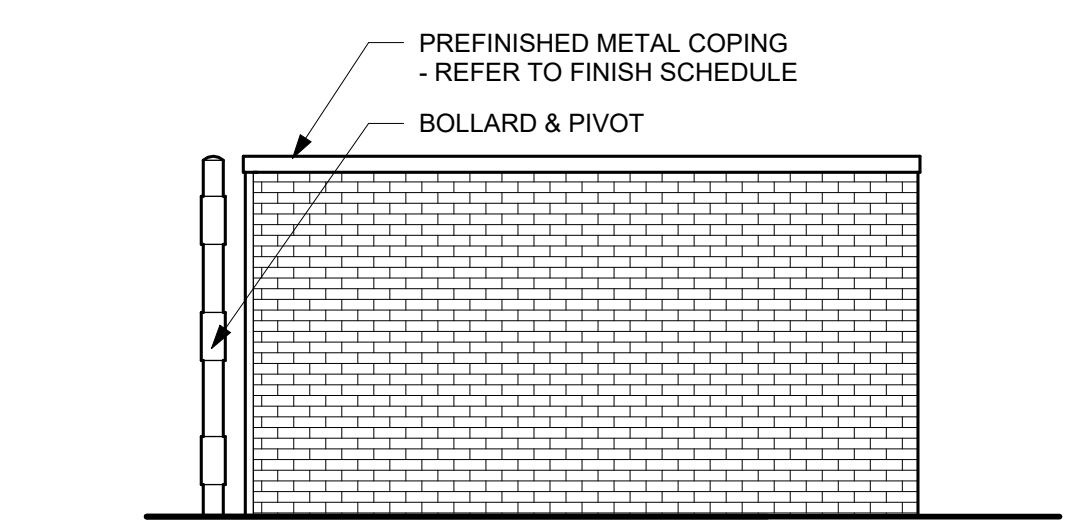
ENCLOSURE FINISH SCHEDULE	
MATERIAL	COLOR/FINISH
CMU - PRIMER	REFER TO PAINT SPECIFICATIONS, COLOR "WHITE"
CMU	PAINTED 'KNIGHT'S ARMOR' PPG 1001-6
METAL COPING	PREFINISHED BLACK
CORRUGATED METAL	GALVANIZED
DOOR FRAMES	PAINTED PPG #1001-7 "BLACK MAGIC"
BRICK	ENDICOTT SIENNA IRONSPOT



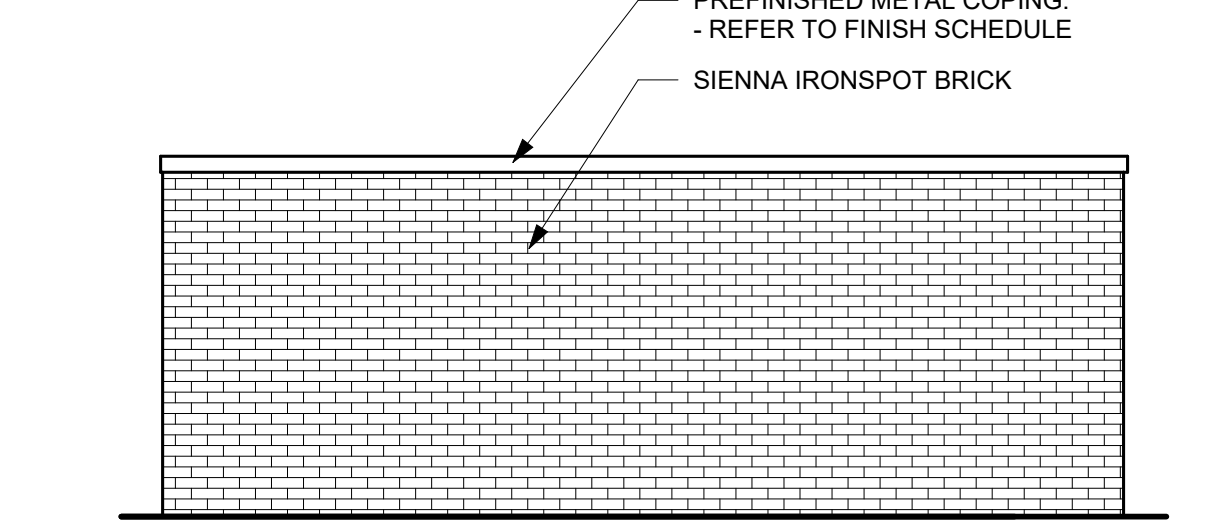
2 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



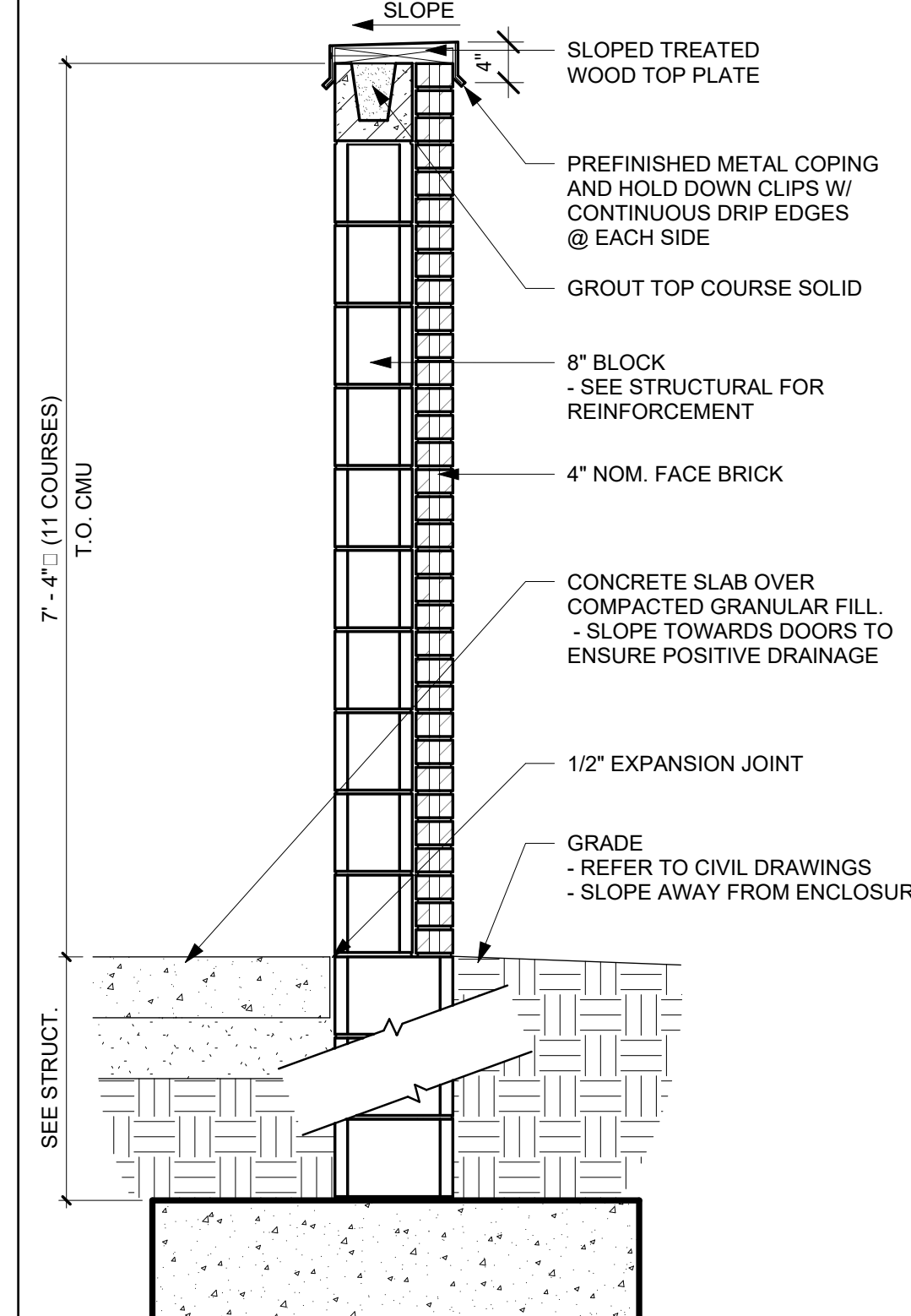
3 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



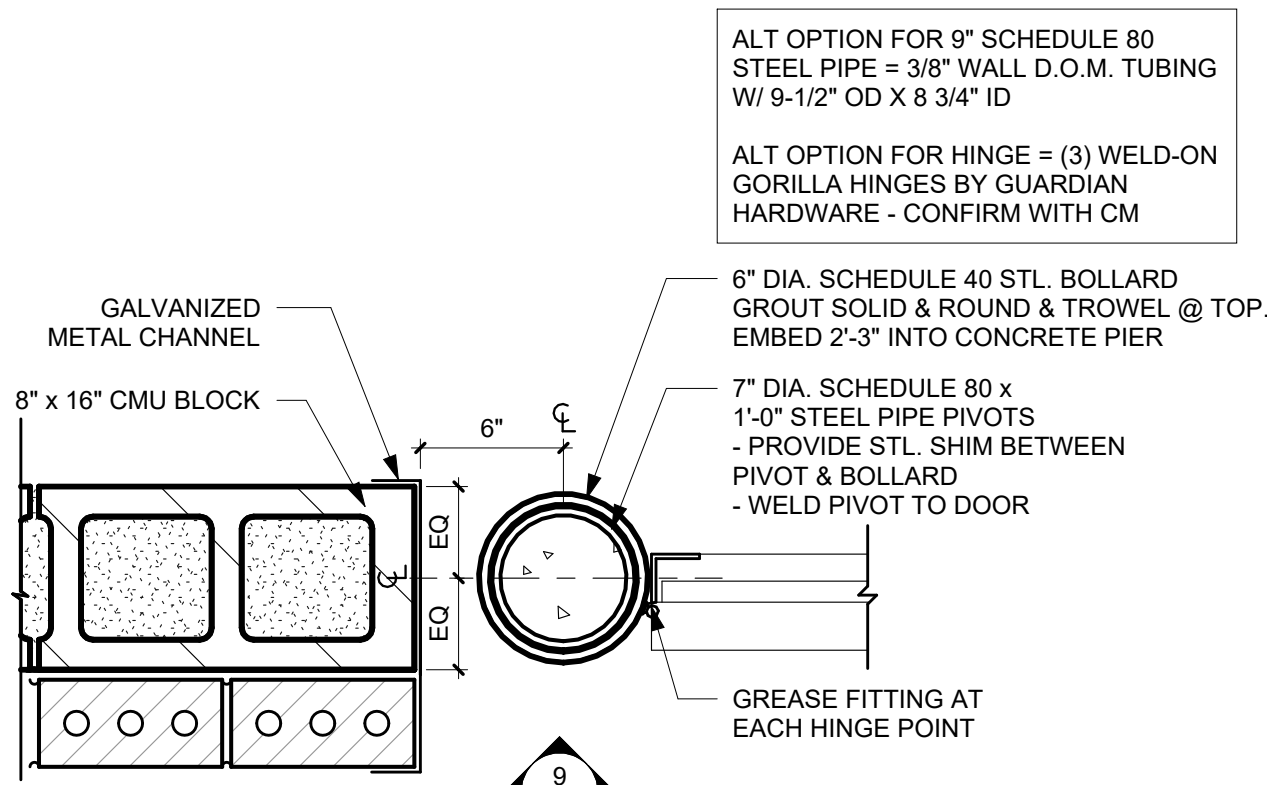
4 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



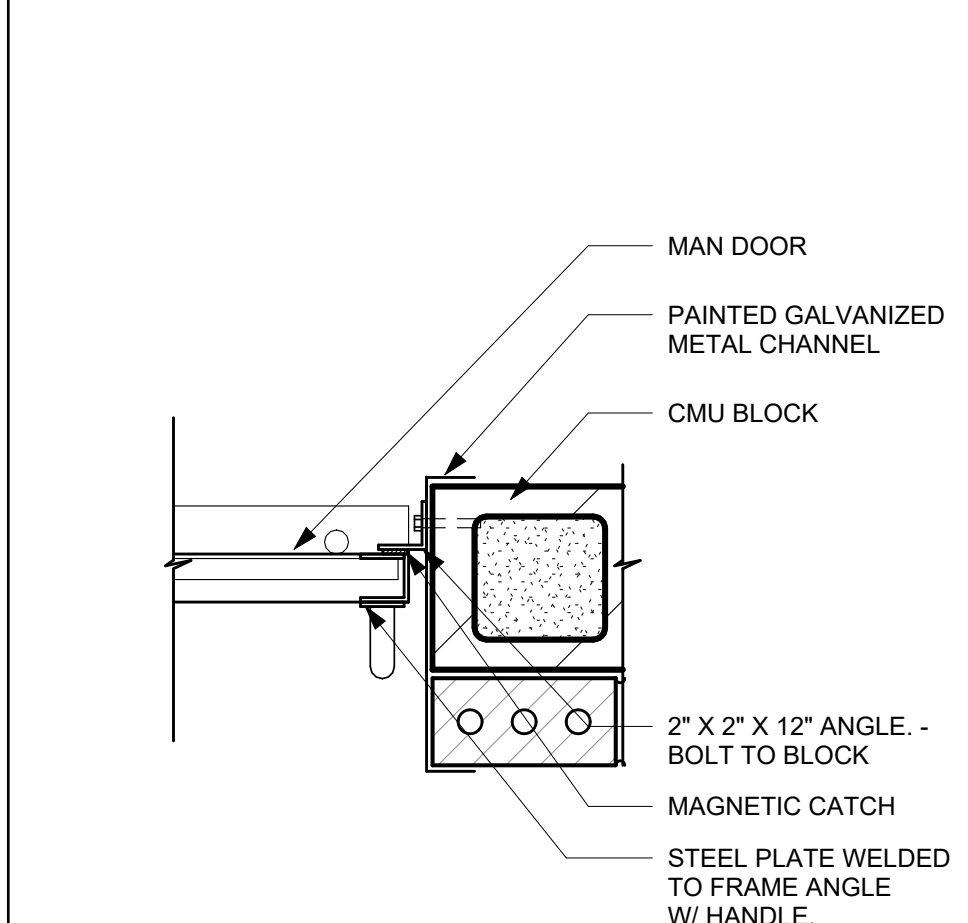
5 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



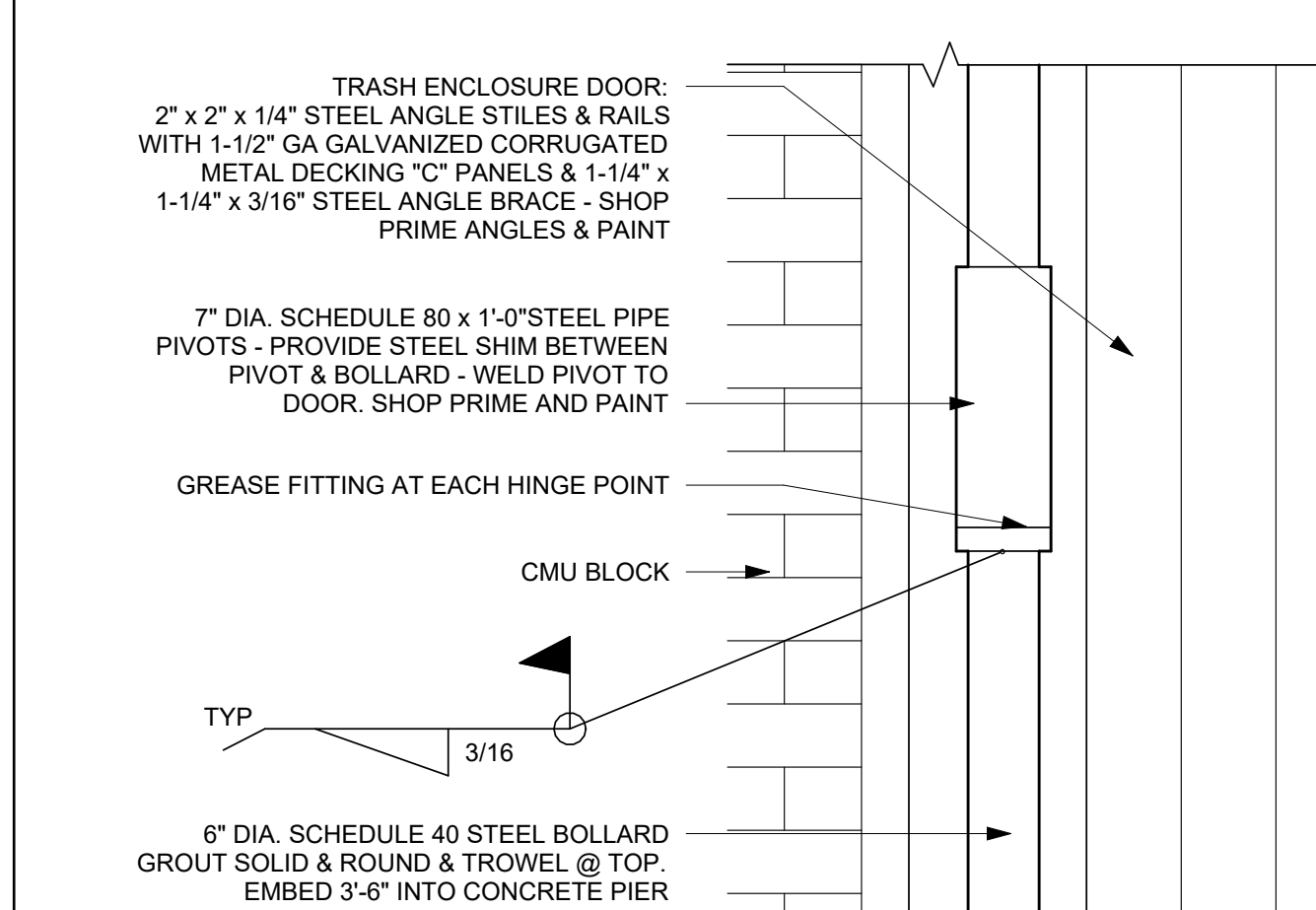
6 TYP. ENCLOSURE SECTION
SCALE: 3/4" = 1'-0"



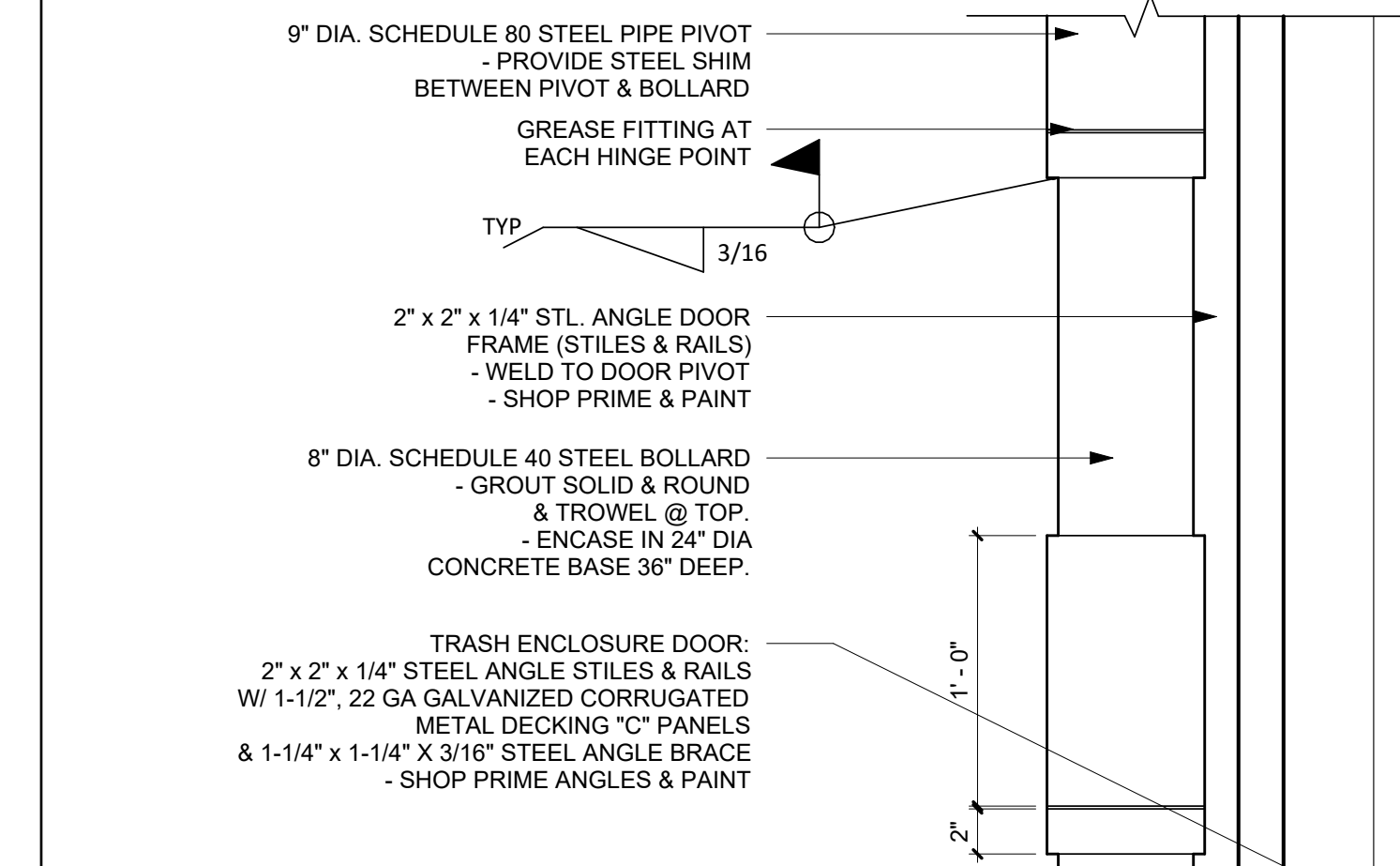
7 ENLARGED MAN DOOR PIVOT DETAIL
SCALE: 1 1/2" = 1'-0"



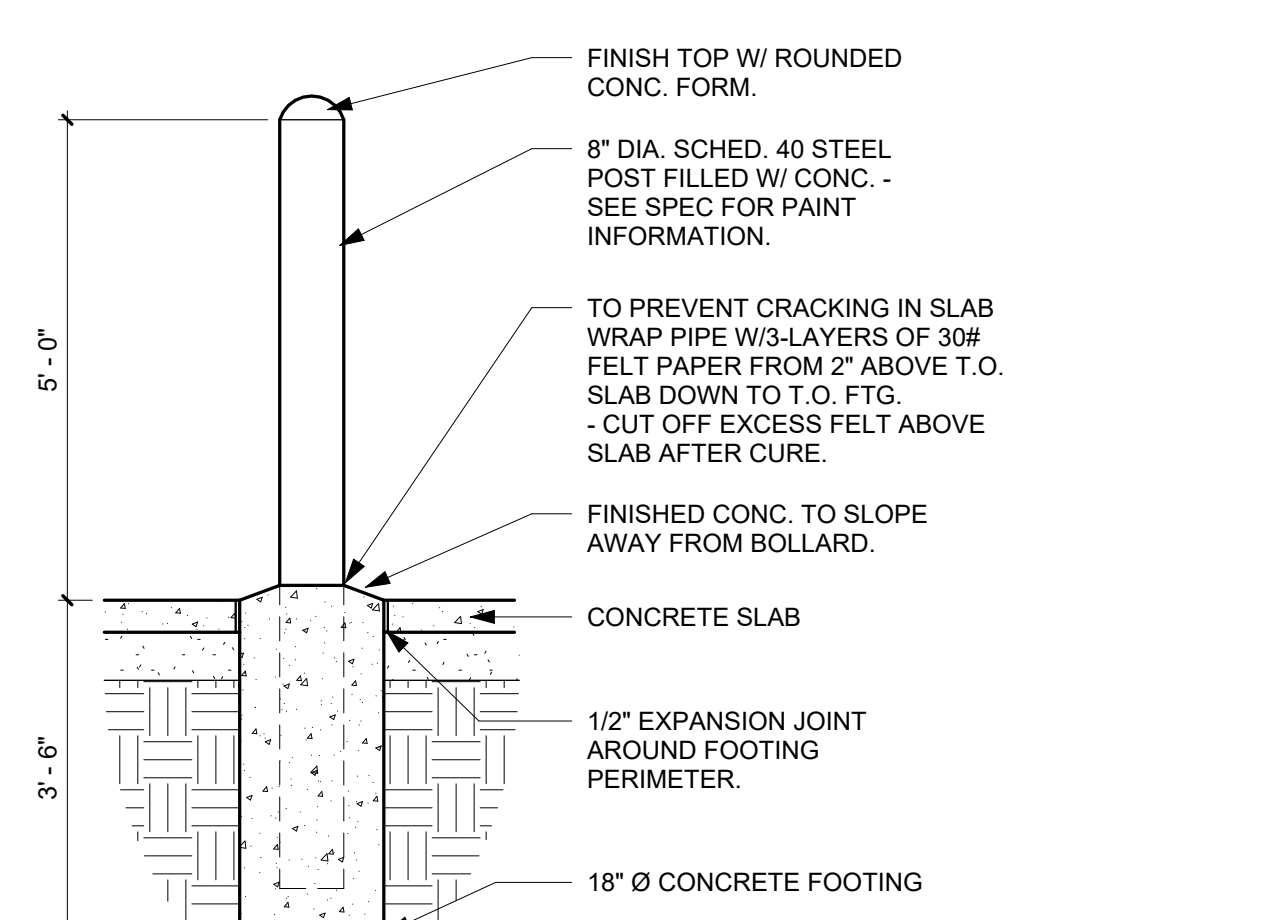
8 MAN DOOR LATCH DETAIL
SCALE: 1 1/2" = 1'-0"



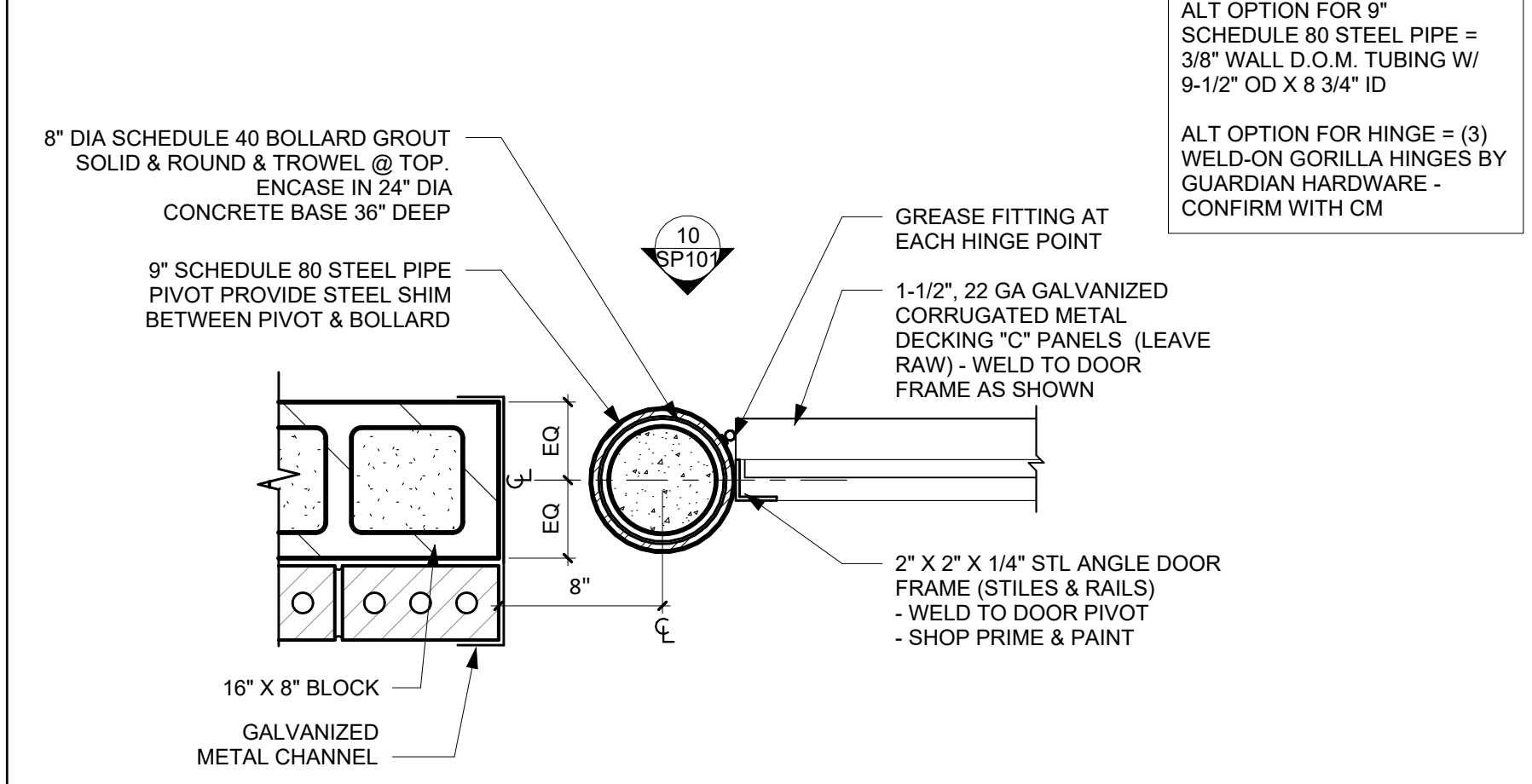
9 TRASH ENCLOSURE MAN DOOR PIVOT
SCALE: 1 1/2" = 1'-0"



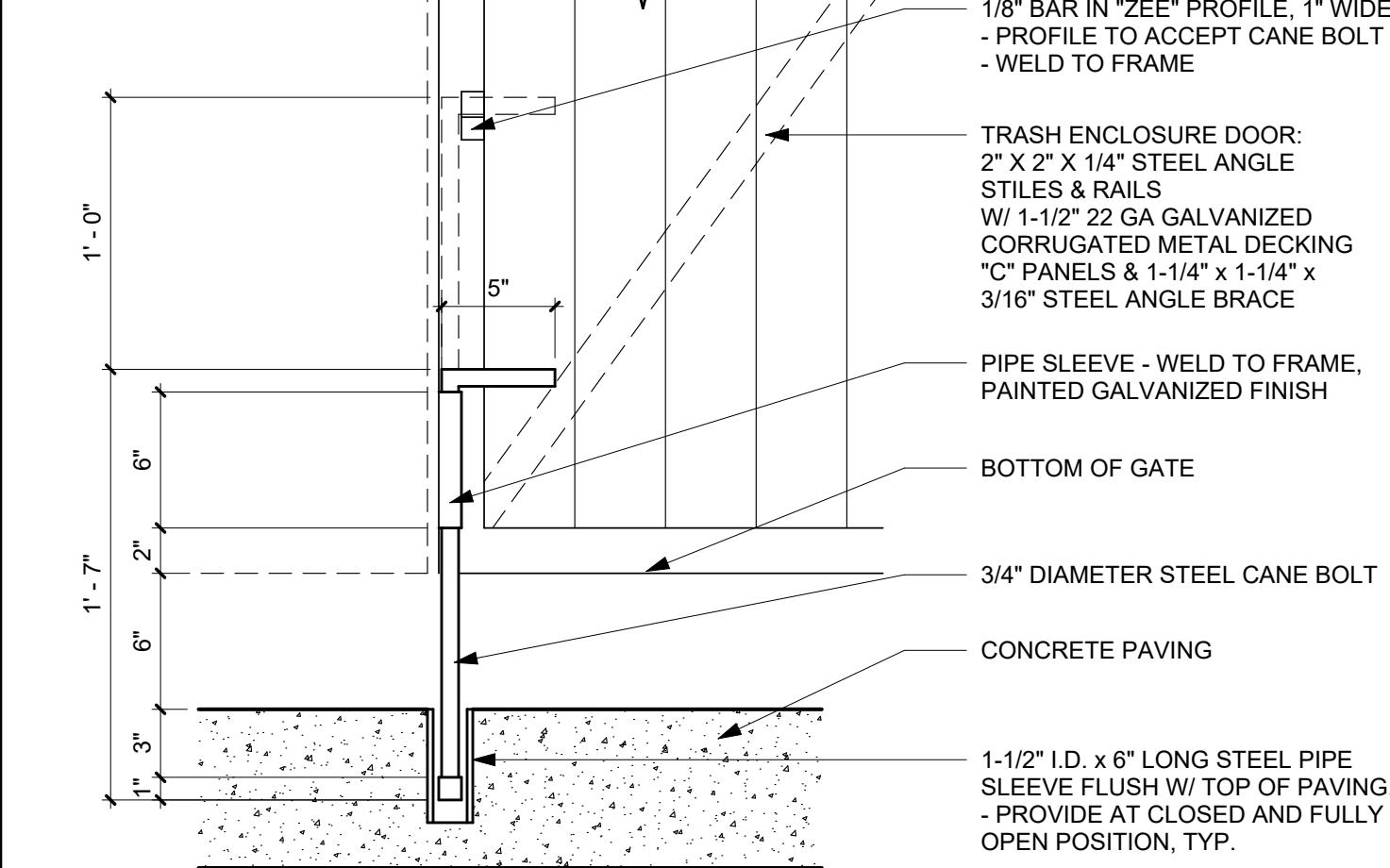
10 TRASH ENCLOSURE GATE PIVOT
SCALE: 1 1/2" = 1'-0"



11 TYP. BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



12 ENLARGED GATE PIVOT DETAIL
SCALE: 1 1/2" = 1'-0"



13 TYPICAL CANE BOLT DETAIL
SCALE: 1 1/2" = 1'-0"

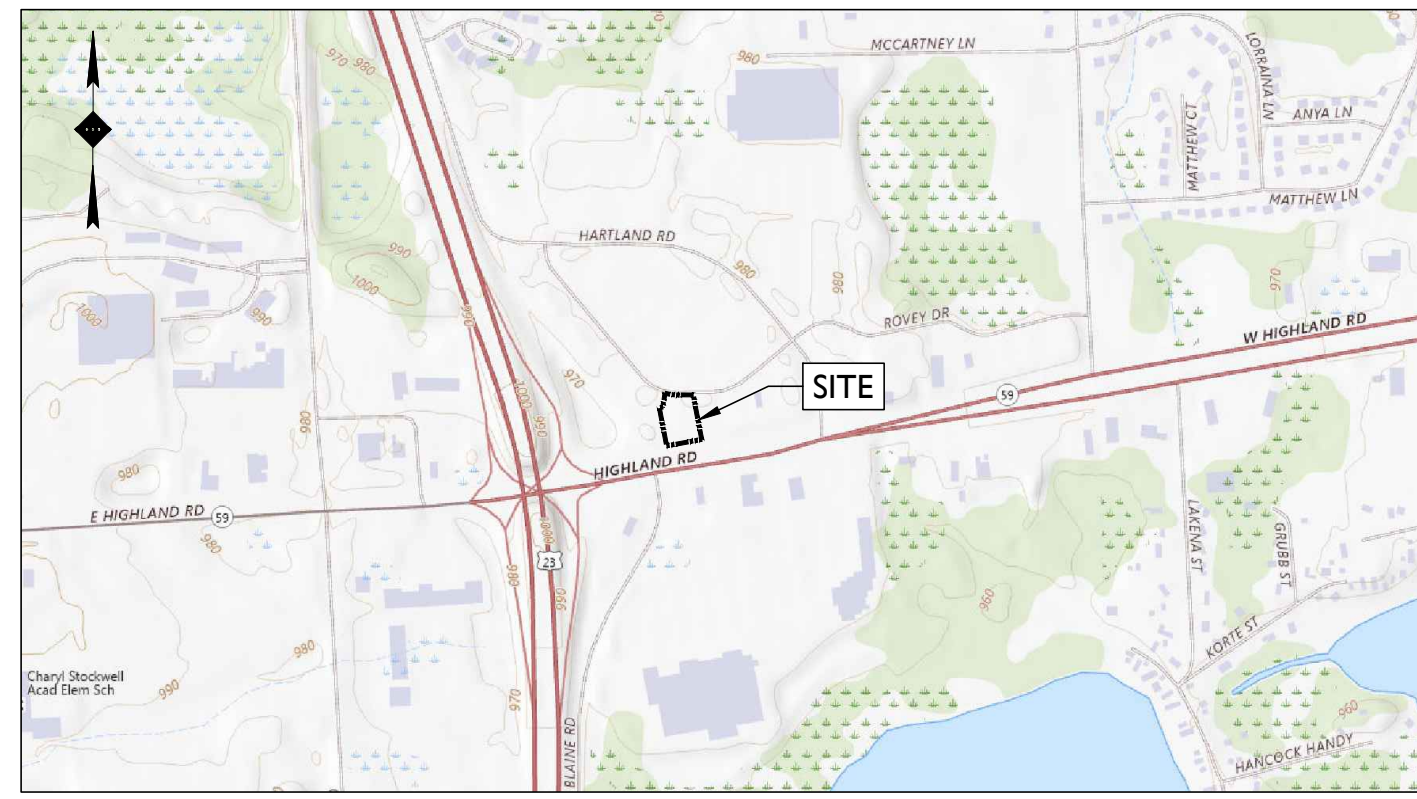
CONSULTANT
WILKUS ARCHITECTS
CLIENT
SAMONA WEISS PROPERTIES
HARVEY WEISS
WEISS PROPERTIES
32820 WOODWARD AVENUE, SUITE 200
ROYAL OAK, MICHIGAN 48073
PROJECT INFORMATION

HARTLAND MI SHELL BUILDING
HIGHLAND RD & US-23N, OUTLOT 8
HARTLAND, MI 48353

NOT FOR CONSTRUCTION

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ISSUE DATE
ENTITLEMENTS 04-02-2026
REVISION DATE
TITLE
TRASH ENCLOSURE PLAN & DETAILS
SHEET NUMBER
SP101

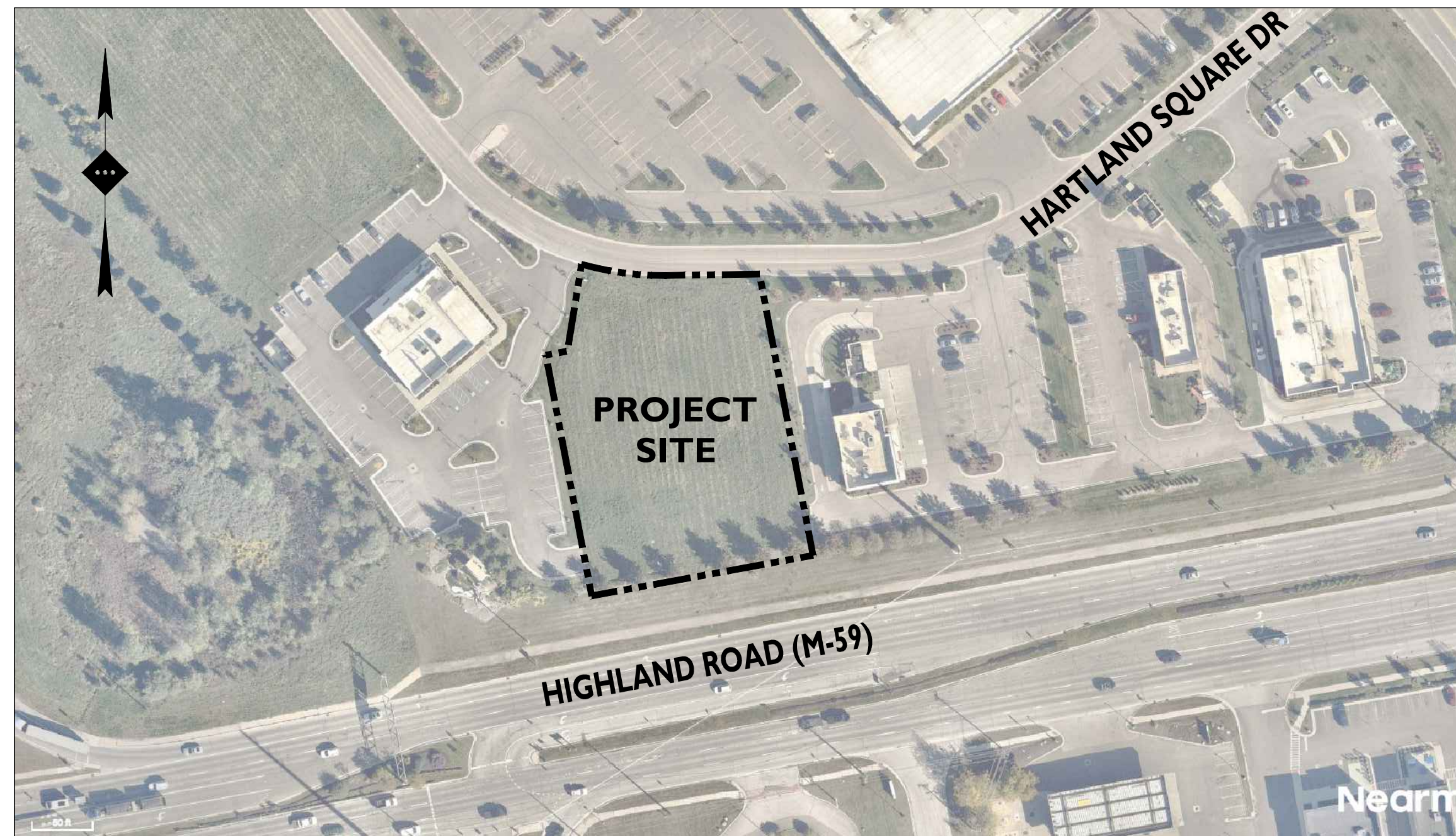
SITE DEVELOPMENT PLANS FOR HARTLAND SQUARE OUTLOT 8 PROPOSED RESTAURANT WITH PICK-UP WINDOW



LOCATION MAP

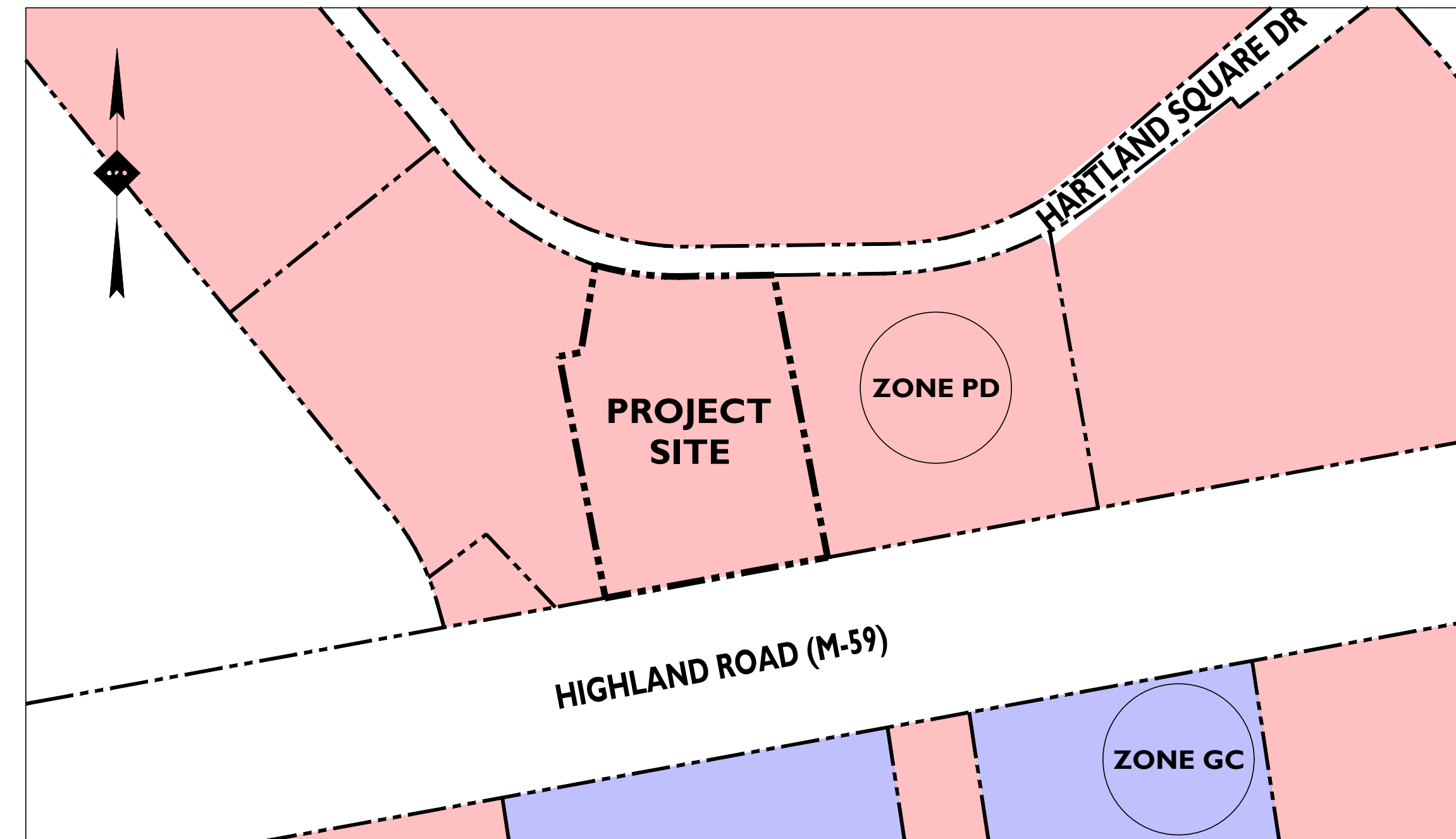
SCALE: 1" = 1000'±

PID: 4807-21-402-003
10540 HARTLAND SQUARE DRIVE
HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



AERIAL MAP

SCALE: 1" = 100'±



ZONING MAP

SCALE: 1" = 100'±

PROPERTY DESCRIPTION

LAND SITUATED IN THE TOWNSHIP OF HIGHLAND, COUNTY OF LIVINGSTON, STATE OF MICHIGAN, DESCRIBED AS:

PARCEL 4:
UNIT 3, RING ROAD CONDOMINIUM, ACCORDING TO THE MASTER DEED THEREOF, AS RECORDED IN INSTRUMENT NO. 2022R-030911, LIVINGSTON COUNTY RECORDS, AND DESIGNATED AS LIVINGSTON COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 451, TOGETHER WITH RIGHT IN GENERAL COMMON ELEMENTS AND LIMITED COMMON ELEMENTS AS SET FORTH IN SAID MASTER DEED, AND AS DESCRIBED IN ACT 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED.

ALSO KNOWN AS QL 7-B DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTH 1/4 OF SAID SECTION 21; THENCE NORTH 02 DEGREES 55 MINUTES 00 SECONDS WEST, 275.38 FEET ALONG THE NORTH-SOUTH 1/4 LINE (AS MONUMENTED) TO THE NORTH LINE OF M-59 (HIGHLAND ROAD); THENCE NORTH 80 DEGREES 05 MINUTES 11 SECONDS EAST 403.20 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING, THENCE NORTH 10 DEGREES 19 MINUTES 02 SECONDS WEST, 202.62 FEET; THENCE NORTH 80 DEGREES 05 MINUTES 05 SECONDS EAST, 18.03 FEET; THENCE NORTH 09 DEGREES 41 MINUTES 52 SECONDS EAST, 72.76 FEET TO THE SOUTHWESTERLY LINE OF HARTLAND SQUARE DRIVE EASEMENT; THENCE ALONG SAID SOUTHWESTERLY LINE 70.32 FEET ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 241.00 FEET, A CENTRAL ANGLE OF 16 DEGREES 43 MINUTES 06 SECONDS, AND CHORD BEARING SOUTH 81 DEGREES 58 MINUTES 58 SECONDS EAST, 70.07 FEET AND NORTH 89 DEGREES 39 MINUTES 29 SECONDS EAST, 77.59 FEET; THENCE SOUTH 10 DEGREES 19 MINUTES 02 SECONDS EAST, 236.69 FEET TO THE NORTH LINE OF M-59 (HIGHLAND ROAD); THENCE ALONG SAID NORTH LINE SOUTH 80 DEGREES 05 MINUTES 11 SECONDS WEST, 185.88 FEET TO THE POINT OF BEGINNING.



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Phone 248.247.1115

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ALTA / NSPS LAND TITLE SURVEY PREPARED BY KEM-TEC, DATED 2/11/2026
 - ARCHITECTURAL PLANS PREPARED BY WILKUS ARCHITECTS, DATED 12/19/2025
 - AERIAL MAP PROVIDED BY NEARMAPS ONLINE MAPPING SYSTEM, DATE RETRIEVED 03/05/2026
 - LOCATION MAP PROVIDED BY USGS TOPOGRAPHIC MAPS, DATE RETRIEVED 03/05/2026
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
SITE PLAN	C-2
GRADING PLAN	C-3
STORMWATER MANAGEMENT PLAN	C-4
UTILITY PLAN	C-5
LIGHTING PLAN	C-6
LANDSCAPING PLAN & DETAILS	C-7 & C-8
CONSTRUCTION DETAILS	C-9 & C-10

ADDITIONAL SHEETS

DRAWING TITLE	SHEET #
ALTA / NSPS LAND TITLE SURVEY	1 OF 1

APPLICANT

SAMONA WEISS PROPERTIES
32820 WOODWARD AVE, SUITE 200
ROYAL OAK, MI 48073
248-549-3600
HWEISS@SAMONAWEISS.COM

ARCHITECT

WILKUS ARCHITECTS
15 NINTH AVE N
HOPKINS, MN 55343
952-592-5086
SAS@WILKUSARCH.COM

ENGINEER

STONEFIELD ENGINEERING & DESIGN
555 S OLD WOODWARD AVE, SUITE 12L
BIRMINGHAM, MI 48009
248-247-1115
NBAUER@STONEFIELDENG.COM

NO.	DATE	BY	DESCRIPTION
2	04/02/2026	JD	REVISIONS FOR PRELIMINARY SITE PLAN APPROVAL
1	03/10/2026	NB	FOR PRELIMINARY SITE PLAN APPROVAL

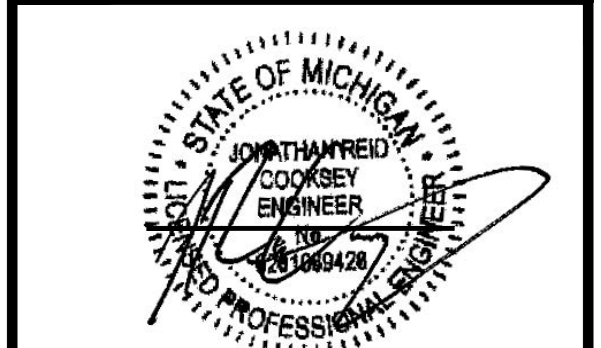
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SITE DEVELOPMENT PLANS
**HARTLAND SQUARE
OUTLOT 8**
PROPOSED RESTAURANT
WITH PICK-UP WINDOW
PID: 4708-21-402-003
10540 HARTLAND SQUARE DRIVE
HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MI



SCALE: AS SHOWN PROJECT ID: DET-260062

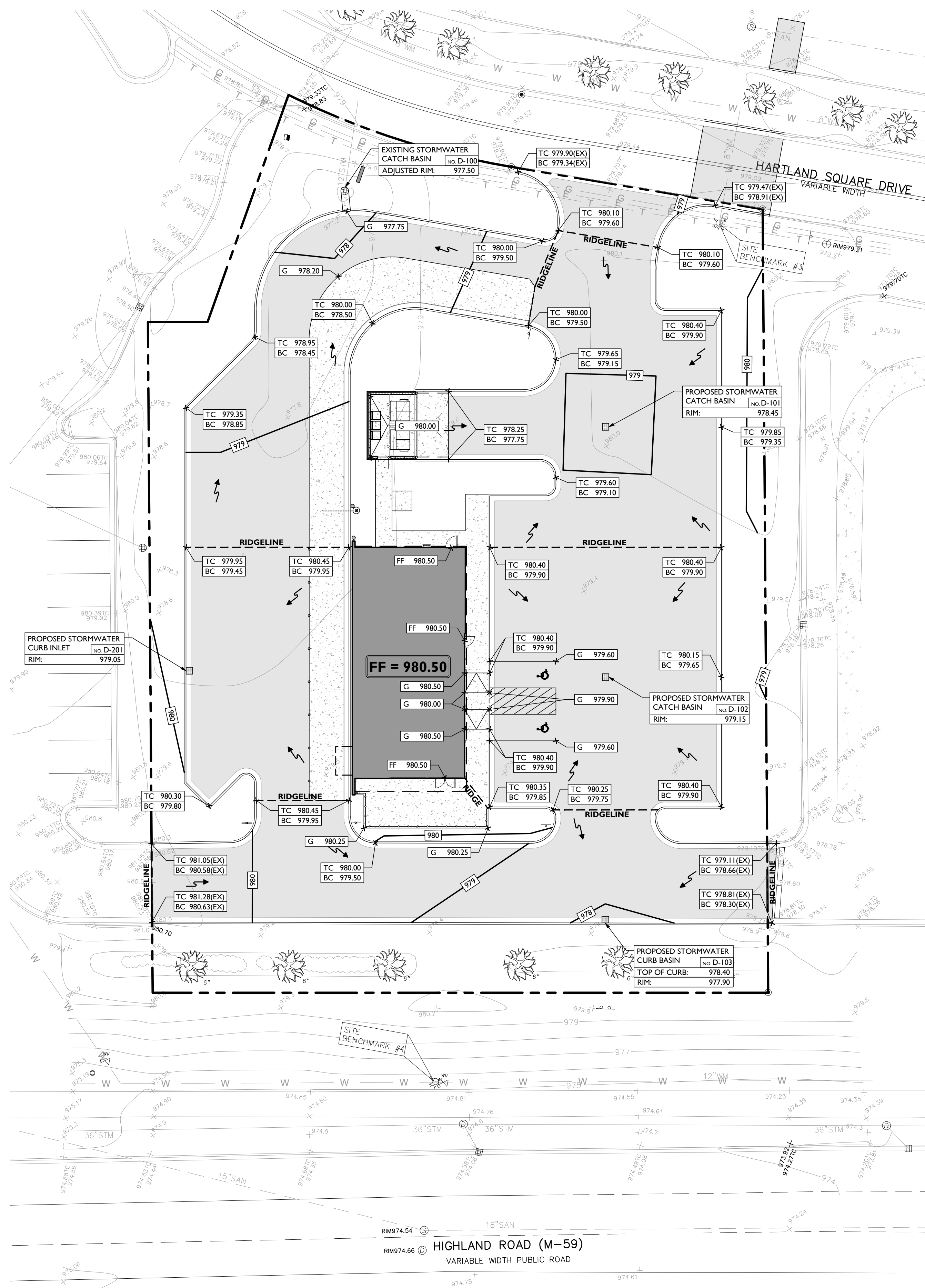
TITLE:
COVER SHEET

DRAWING:
C-1

BENCHMARK

SITE BENCHMARK #2
 ARROW ON HYDRANT, 14.4' SOUTH OF HARTLAND SQUARE DR, ±12' WEST OF NORTHEAST PROPERTY CORNER, PARCEL 4.
 ELEVATION = 981.23' (NAVD 88)

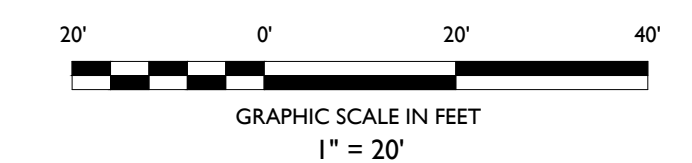
SITE BENCHMARK #4
 ARROW ON HYDRANT, 21'± NORTH OF NORTH EDGE OF HIGHLAND RD, ±85' EAST OF SOUTHWEST PROPERTY CORNER, PARCEL 4.
 ELEVATION = 977.27' (NAVD 88)



SYMBOL	DESCRIPTION
---	PROPERTY LINE
—100—	PROPOSED GRADING CONTOUR
---	PROPOSED GRADING RIDGELINE
←	PROPOSED DIRECTION OF DRAINAGE FLOW
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
 - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP; AT ACCESSIBLE BUILDING ENTRANCES; AT AN AREA IN FRONT OF A WALK-UP ATM; AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF ¼ INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN ¼ INCHES AND ½ INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP ¼ INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN ¼ INCH.



REVISIONS FOR PRELIMINARY SITE PLAN APPROVAL	DATE	ISSUE	BY
1	03/10/2024	ISSUE	JD
2	04/02/2024		

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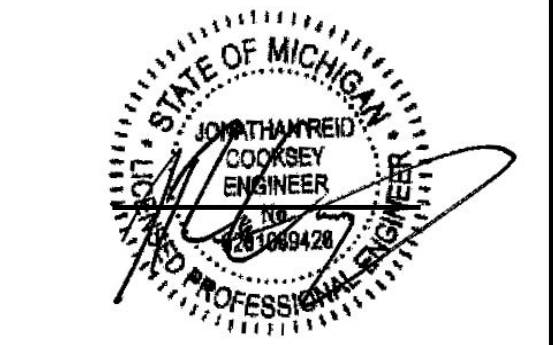
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SITE DEVELOPMENT PLANS

HARTLAND SQUARE
OUTLOT 8
PROPOSED RESTAURANT
WITH PICK-UP WINDOW

PID: 4708-21-402-003
 10540 HARTLAND SQUARE DRIVE
 HARTLAND TOWNSHIP
 LIVINGSTON COUNTY, MI



STONEFIELD
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SCALE: 1" = 20' PROJECT ID: DET-260062

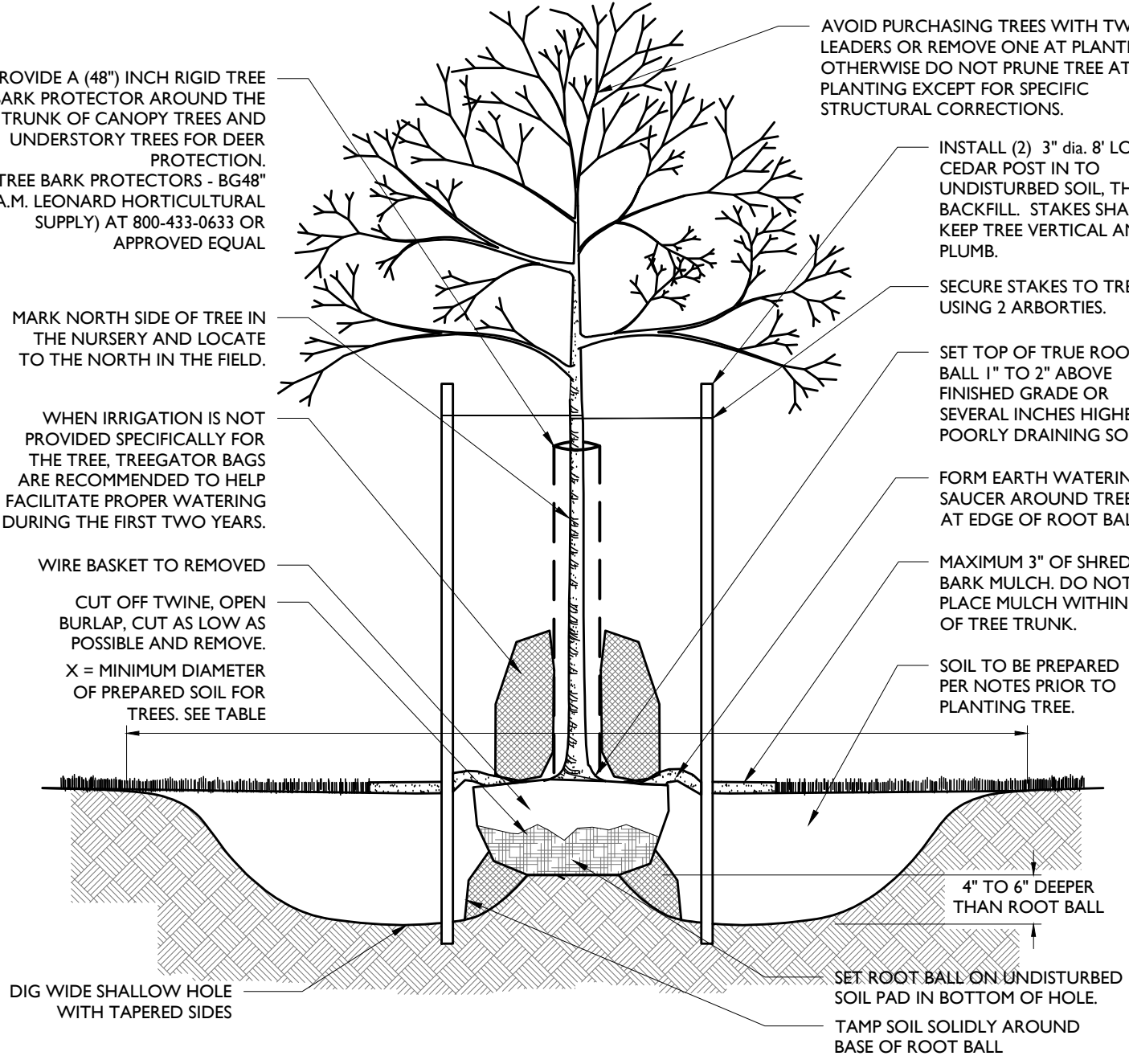
TITLE:
GRADING PLAN

DRAWING:
C-3

NOT FOR CONSTRUCTION. JONATHAN COOKSEY, 10540 HARTLAND SQUARE DRIVE, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MI 48009

NOTES:

- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX

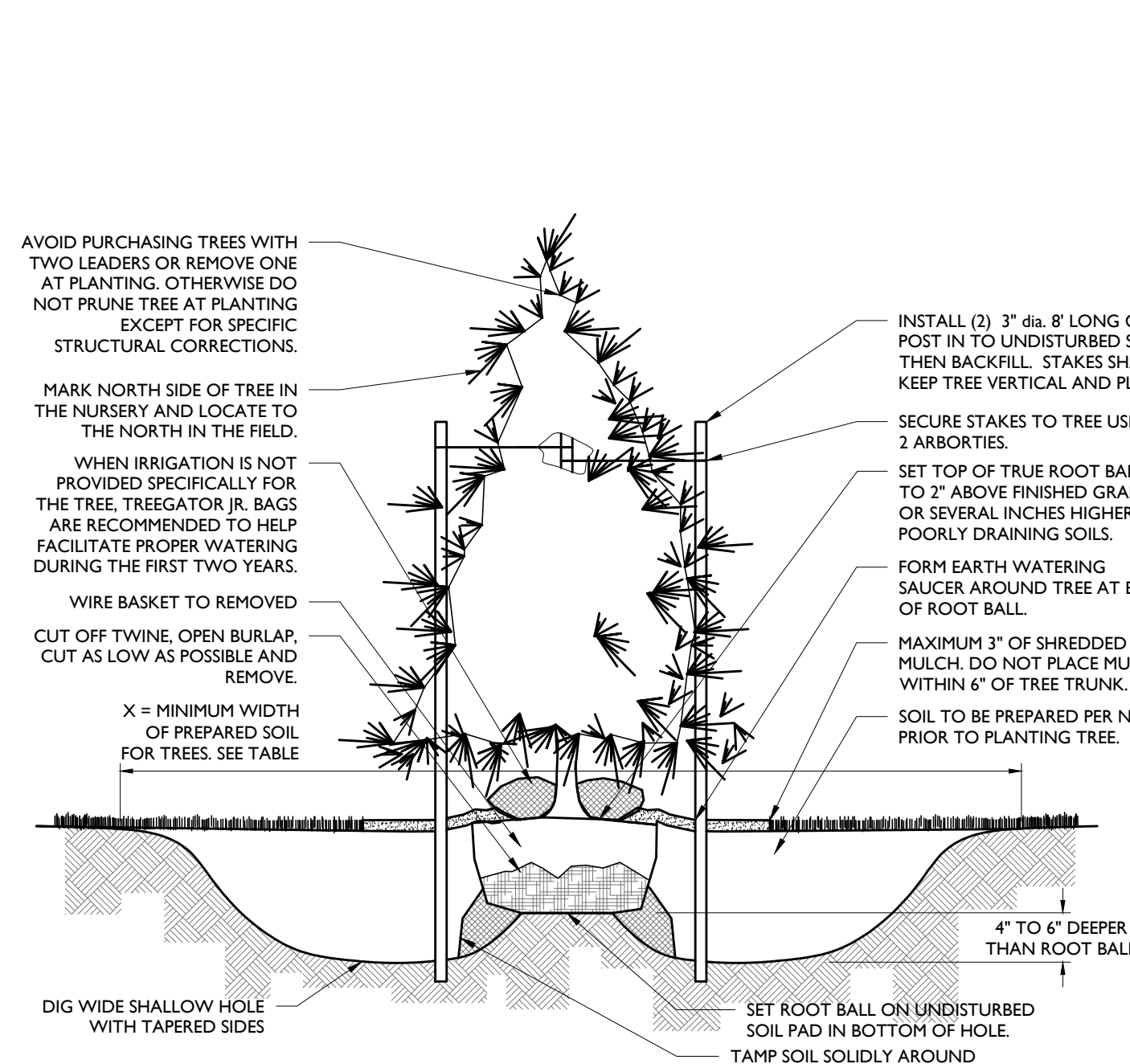


DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

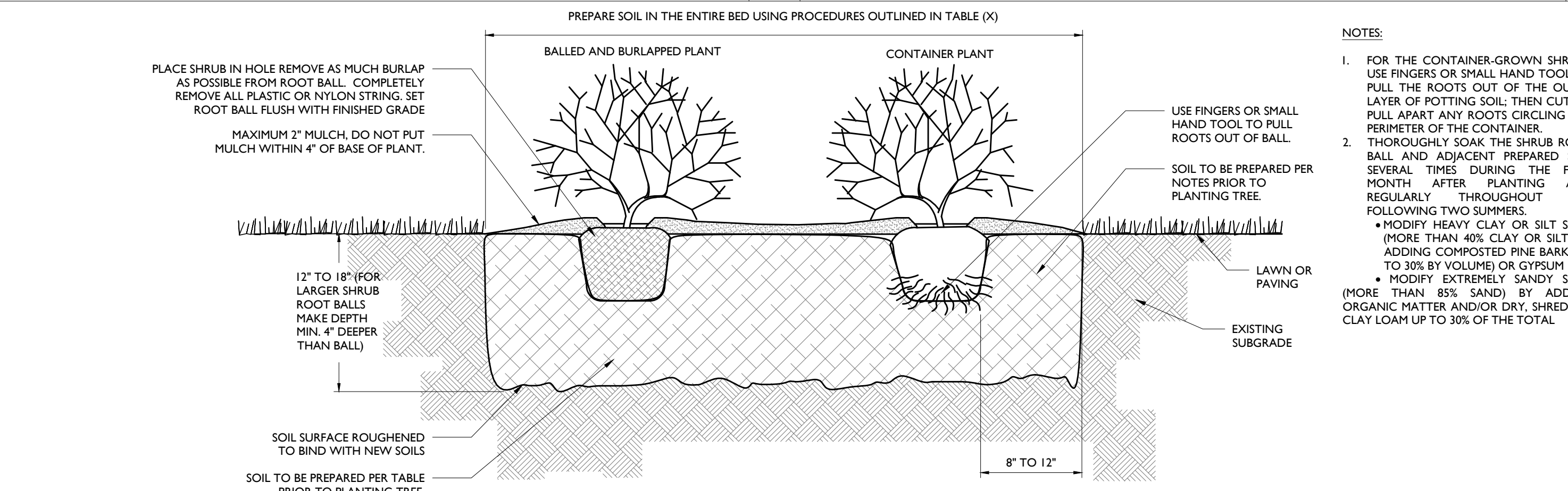
NOTES:

- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



CONIFEROUS TREE PLANTING DETAIL

NOT TO SCALE

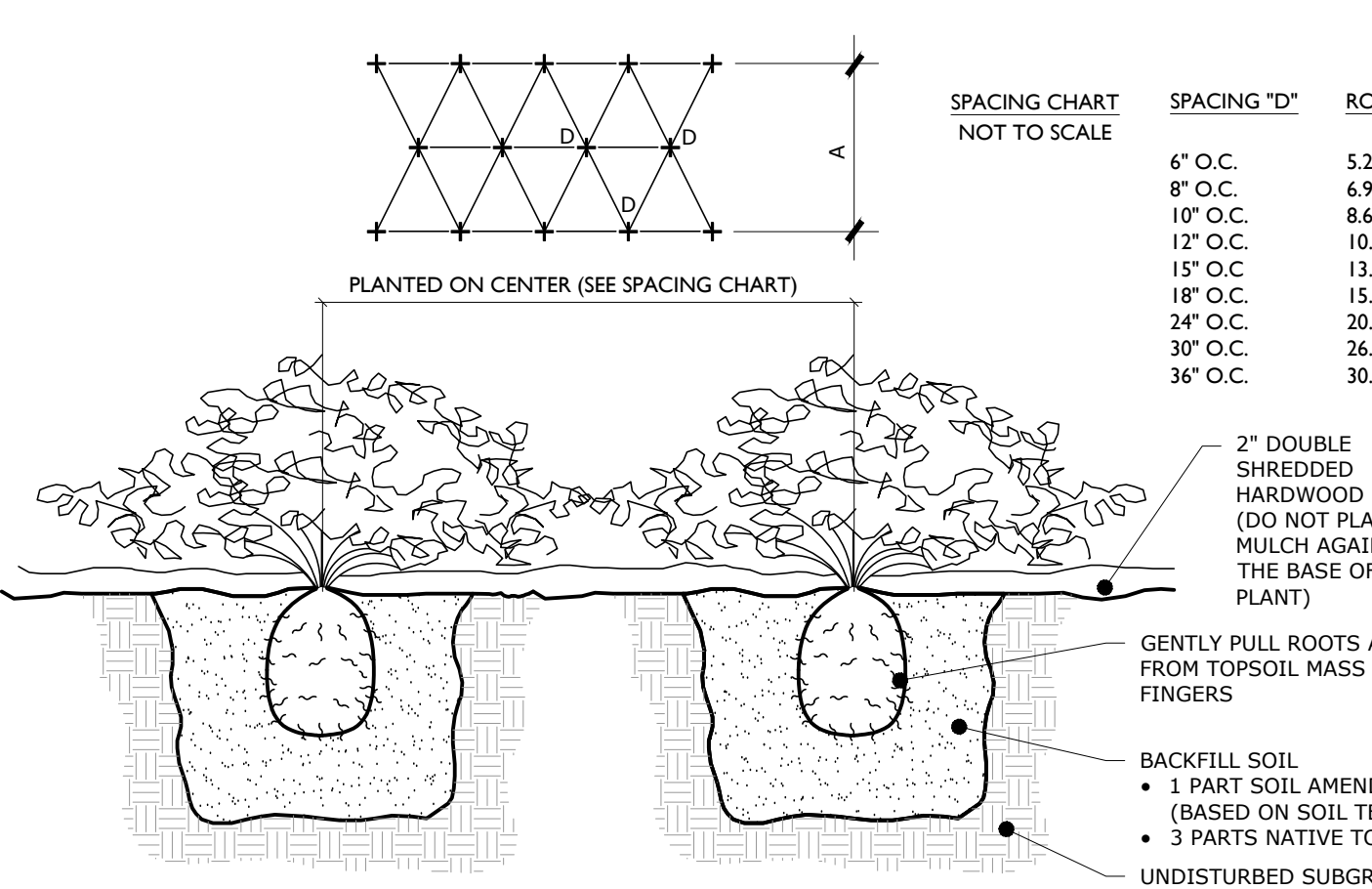


DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE

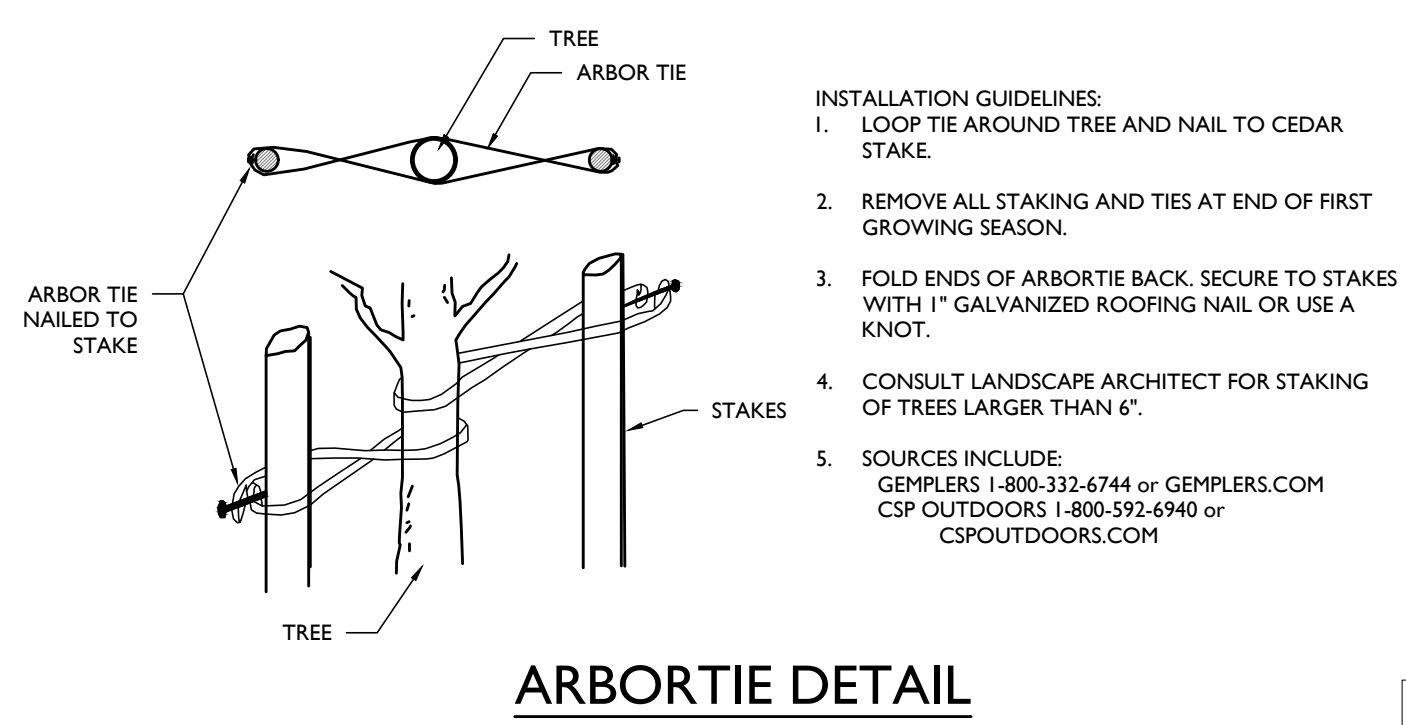
NOTES:

- THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX
- ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS



GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

NOT TO SCALE



ARBORTIE DETAIL

NOT TO SCALE

NOTES:

- FOR CONTAINER-GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



ARBORTIE DETAIL

NOT TO SCALE

GENERAL LANDSCAPING NOTES:

- THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENT OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
- WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
- IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
- UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.
- THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES:

- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE Drip-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED TREE PROTECTION DETAILS. NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
- IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
- IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE Drip-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
 - TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
 - RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") FROM APPROXIMATELY TWO INCHES (2") ABOVE THE FINISHED GRADE AT TREE TRUNK. GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
 - LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

- LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
- BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SOIL SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL, TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A VULCANIZED AREA, FREE FROM ALL CLAY, LUMPS, COARSE SAND, STONES, PEBBLES, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
- TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
- OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
- UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBED AREA OF THE SITE.
- LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
- ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
- DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR, GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
- WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
- SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
- APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
- ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:

- MYCORB® TREE SAVER** - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL TRIFENTS.
- DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCE IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE TRUNK ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
 - MYCORB® TREE SAVERS IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
 - SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
 - FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
 - OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

- HEALTHY START MACRO TABS 12-8-8**
- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
 - TABLETS ARE FORMULATED FOR SLOW RELEASE NUTRIENT DELIVERY AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPONENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

SIZE AT PLANTING	IRRIGATION FOR VITALITY	IRRIGATION FOR SURVIVAL
< 2" CALIPER	DAILY FOR TWO WEEKS, EVERY OTHER DAY FOR TWO MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR TWO TO THREE MONTHS
2"-4" CALIPER	DAILY FOR ONE MONTH, EVERY OTHER DAY FOR THREE MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR THREE TO FOUR MONTHS
4"-6" CALIPER	DAILY FOR SIX WEEKS, EVERY OTHER DAY FOR FIVE MONTHS, WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR FOUR TO FIVE MONTHS

- TABLE NOTES:**
- AT EACH IRRIGATION APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL, DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.
 - WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER, NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.
 - WHEN IRRIGATING FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION WILL BE REQUIRED IN THE NORMAL, HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

PLANT QUALITY AND HANDLING NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
- ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
- PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
- THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
- ALL PLANTS SHALL BE WELL WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEEL-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
- PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING SCHEDULE.

- LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED COMPOST MULCH. PLANTING MATERIAL SHALL BE SUPPLIED SO AS NOT TO ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNTIED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
- PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
- IF ROCKS OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REMOVE OR ENLARGE PLANTING HOLES TO AVOID OBSTRUCTION. PLANTS SHALL BE MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
- INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
 - PLANTS (MARCH 15 - DECEMBER 15)
 - LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
- THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPORT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):
 - ABIES CONCOLOR
 - ACER BUEBERIANUM
 - ACER BURNING
 - ACER RUBRUM
 - ACER SACCHARINUM
 - BETULA VARIETIES
 - CARPINUS VARIETIES
 - CEDRUS DEODARA
 - CELTIS VARIETIES
 - CERCIDIPHYLLUM VARIETIES
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - NYSSA SYLVATICA

- OSTRYA VIRGINIANA
 - PINUS NIGRA
 - PLATANUS VARIETIES
 - POPULUS VARIETIES
 - PRUNUS VARIETIES
 - PYRUS VARIETIES
 - QUERCUS VARIETIES (NOT Q. PALUSTRIS)
 - SALIX WEeping VARIETIES
 - SORBUS VARIETIES
 - TAXODIUM VARIETIES
 - TAXUS & BRACHYDONTES
 - TILIA TOMENTOSA VARIETIES
 - ULMUS PARVIFOLIA VARIETIES
 - ZELKOVA VARIETIES
- IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION ON THE FALL DIGGING HAZARD LIST. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
 - DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
 - THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
 - A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
 - MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUY'S IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
 - MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH, WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DRAINAGE OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS, AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
 - GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
 - SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
 - LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OF A WATERING TRUCK OR OTHER ACCEPTABLE MEANS.
 - THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
 - IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

PLANT MATERIAL GUARANTEE NOTES:

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
- ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
- THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES:

- SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
- SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION".
- REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEED OR LAID WITH SOD.
- SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION".
- PROTECT ALL LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

NO.	DATE	ISSUE	BY
1	01/10/2024		
2	04/02/2024		

NOT APPROVED FOR CONSTRUCTION

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HARTLAND SQUARE
OUTLOT 8

PROPOSED RESTAURANT
WITH PICK-UP WINDOW

PID: 4708-21-402-003
10540 HARTLAND SQUARE DRIVE
HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MI

DR. R. A. ...
LANDSCAPE ARCHITECT

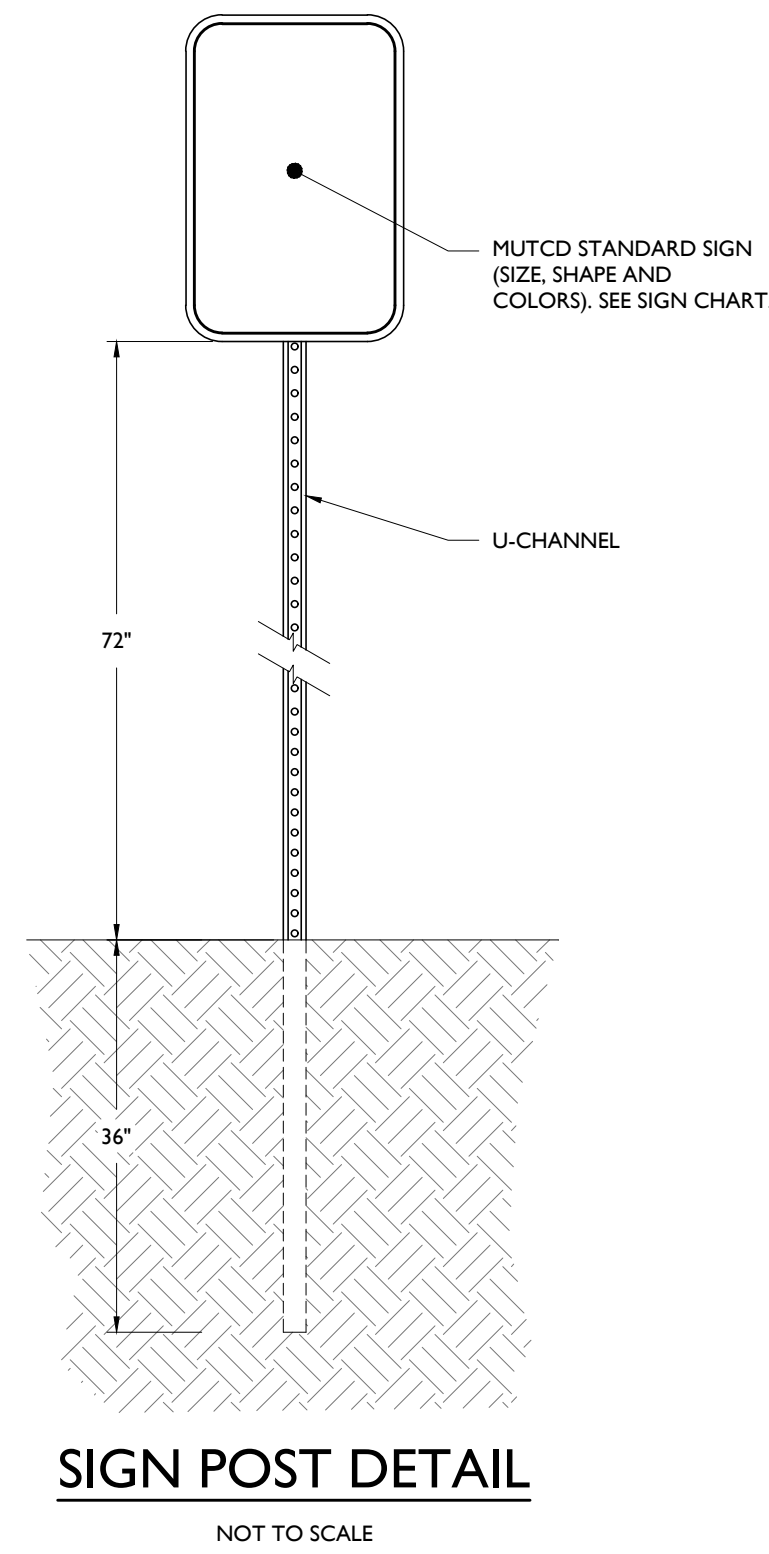
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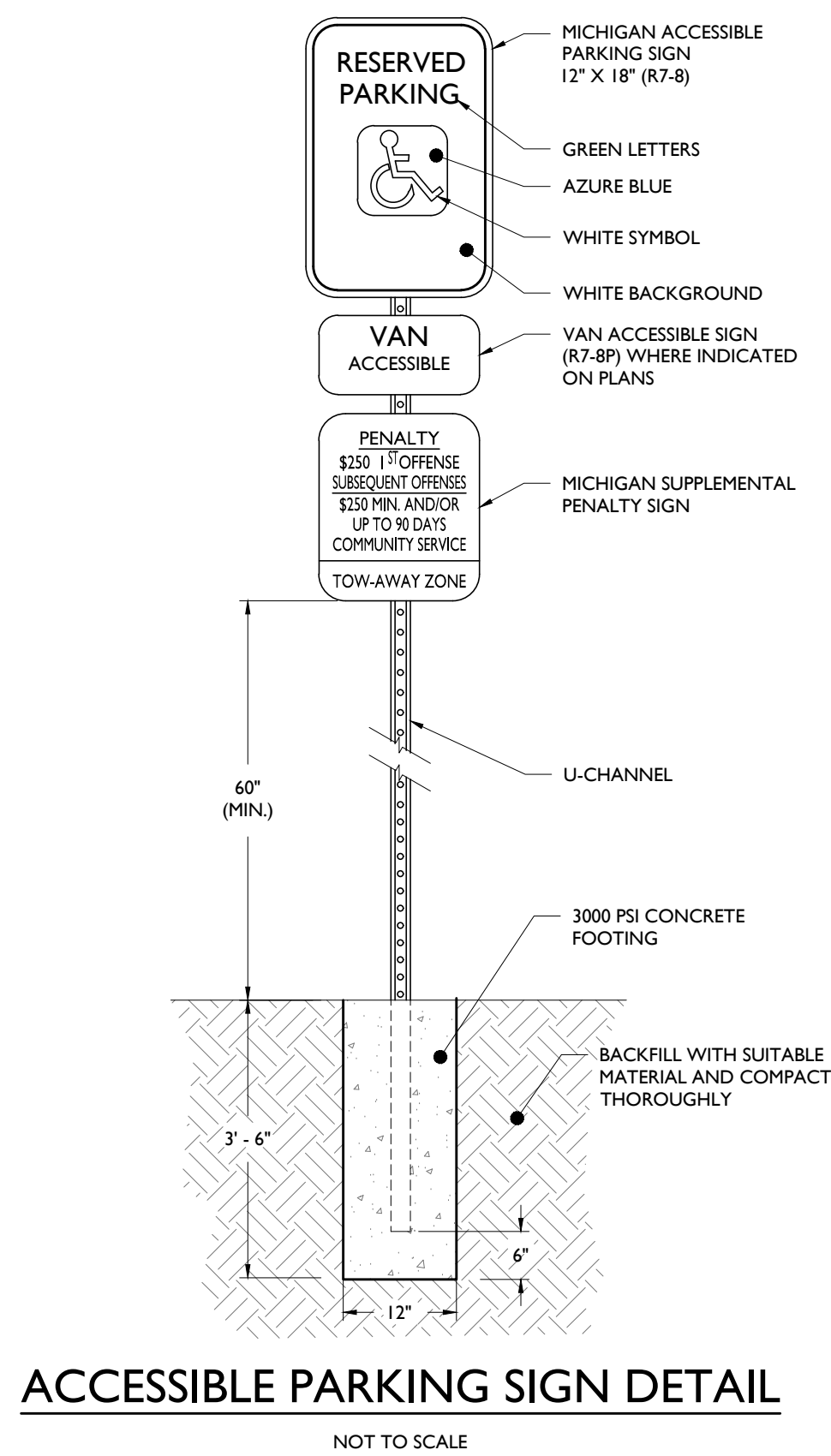
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DRAWING: C-8

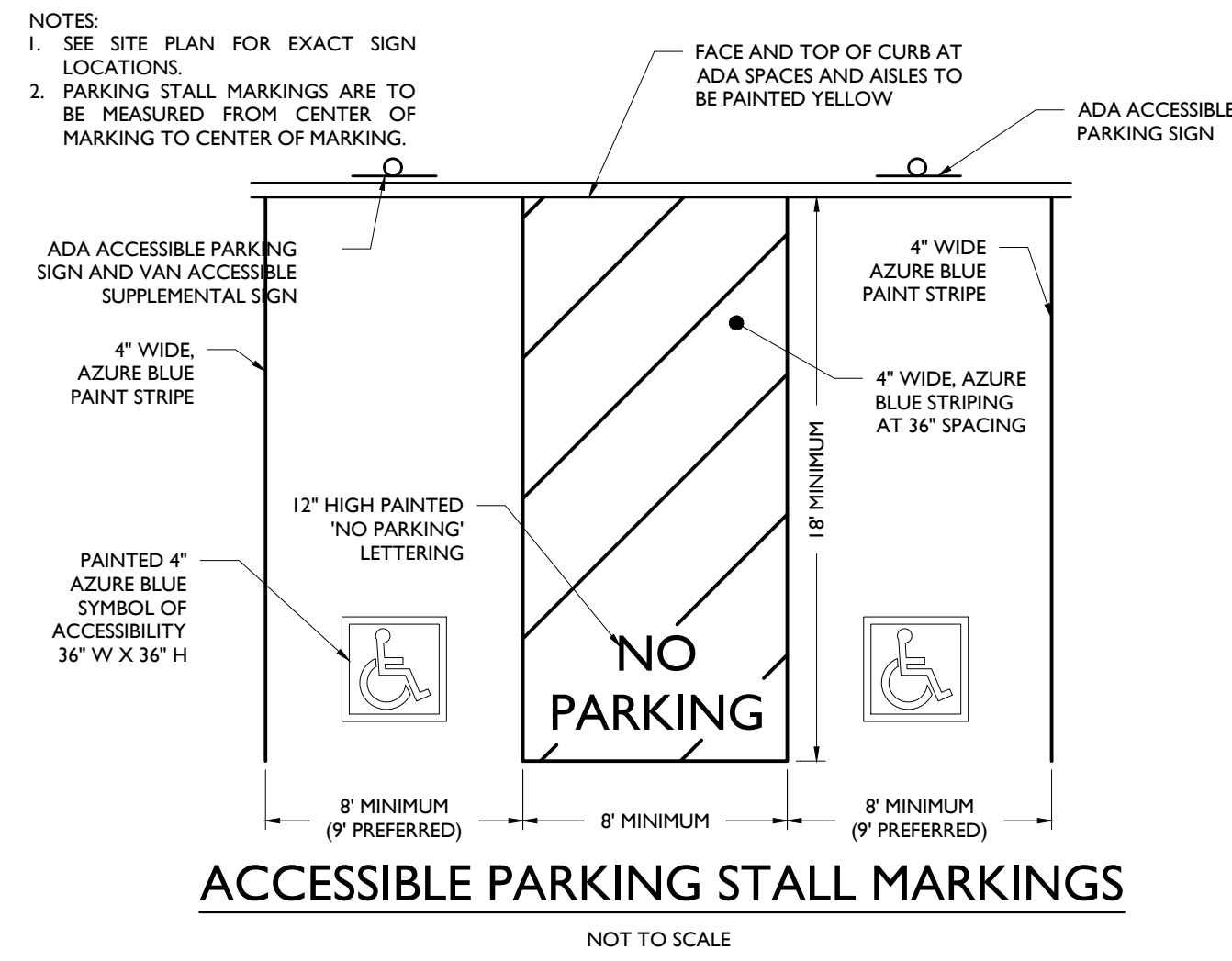
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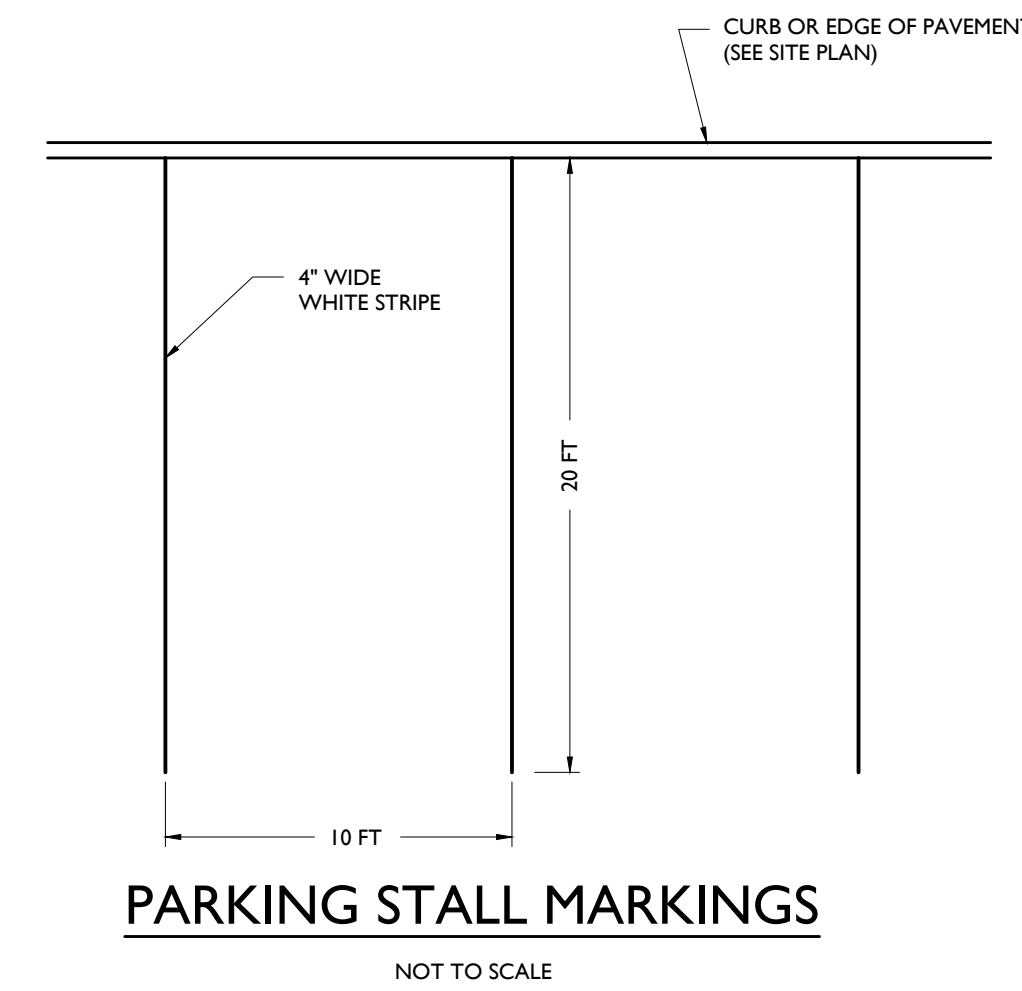
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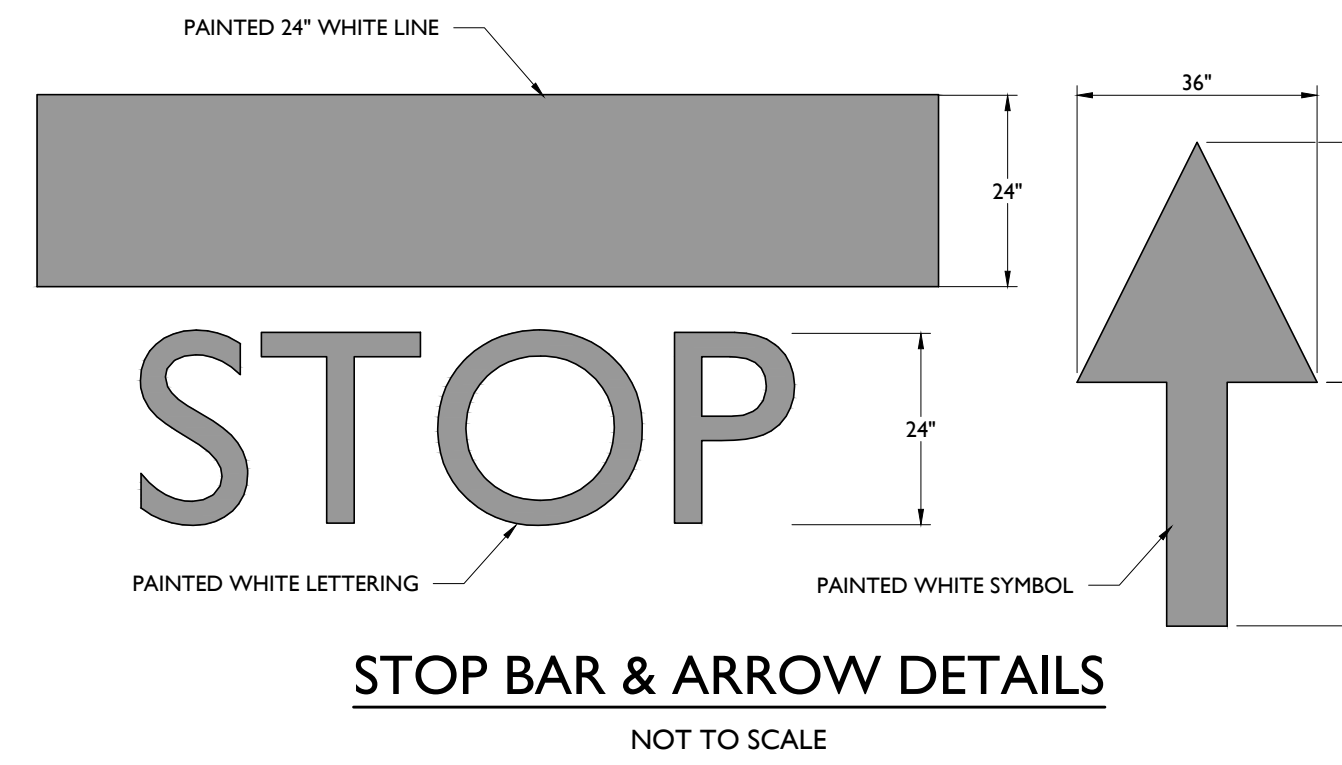
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



ACCESSIBLE PARKING STALL MARKINGS
NOT TO SCALE



PARKING STALL MARKINGS
NOT TO SCALE



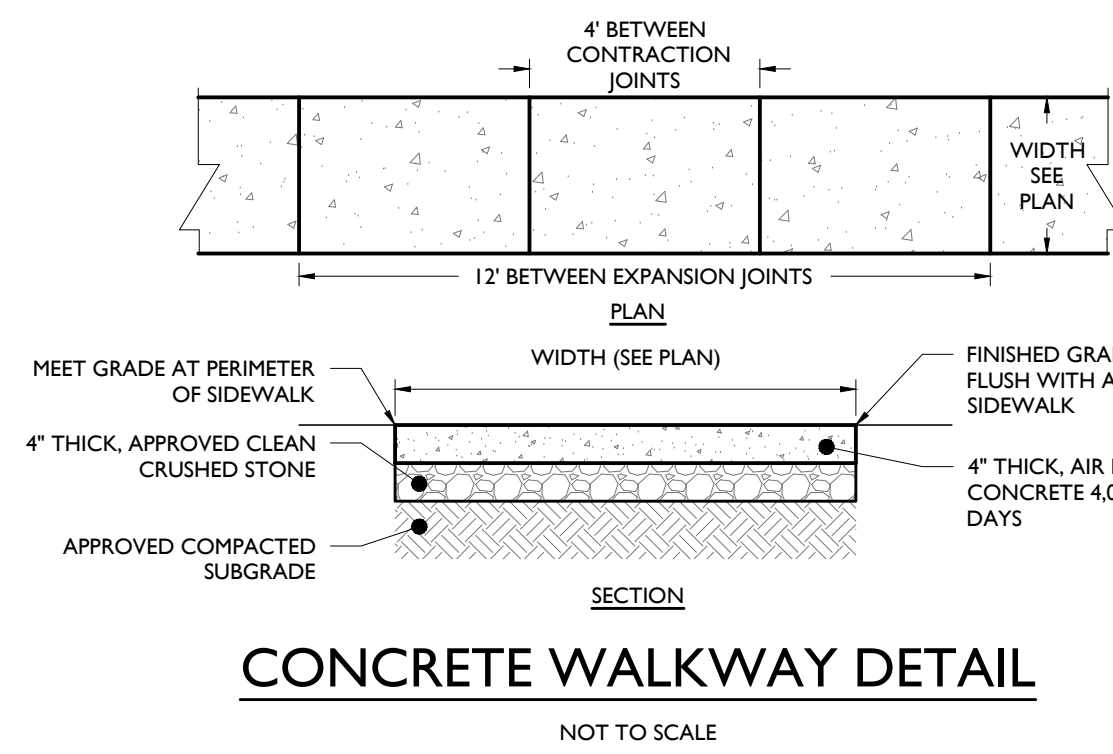
STOP BAR & ARROW DETAILS
NOT TO SCALE

- PAVEMENT STRIPING & MARKINGS NOTES:**
1. ALL STRIPING AND STRIPING IN EXISTING CONDITION IN CONFLICT WITH THE PROPOSED DESIGN PLAN SHALL BE REMOVED.
 2. ALL PROPOSED SIGNING AND STRIPING SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
 3. PAVEMENT STRIPING AND MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS.
 4. UNLESS OTHERWISE SPECIFIED, ALL STRIPING AND MARKINGS IN THE PUBLIC RIGHT-OF-WAY SHALL BE OF THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.
 5. UNLESS OTHERWISE SPECIFIED, ON SITE PARKING STALL STRIPING, FIRE LANE STRIPING AND DIRECTIONAL ARROWS SHALL BE EPOXY PAINT. ON SITE STOP BARS, "DO NOT ENTER" BARS, AND ASSOCIATED LETTERING SHALL BE THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		WHITE	RED	36"x36"	GROUND
DO NOT ENTER (RS-1)		RED	WHITE	30"x30"	GROUND

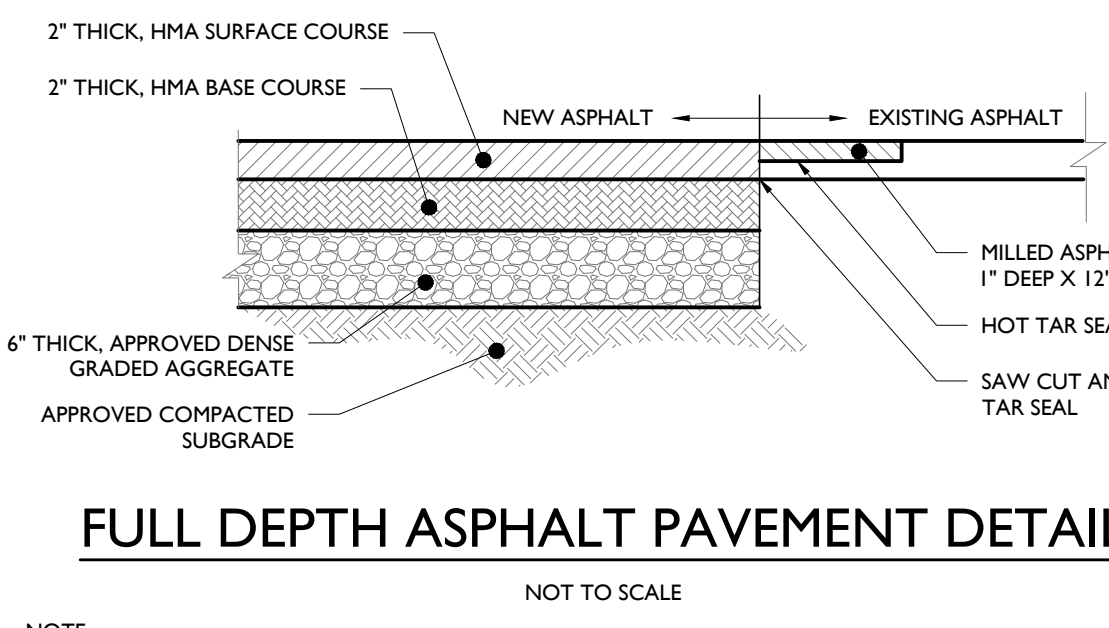
- NOTE:**
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
 2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE
NOT TO SCALE



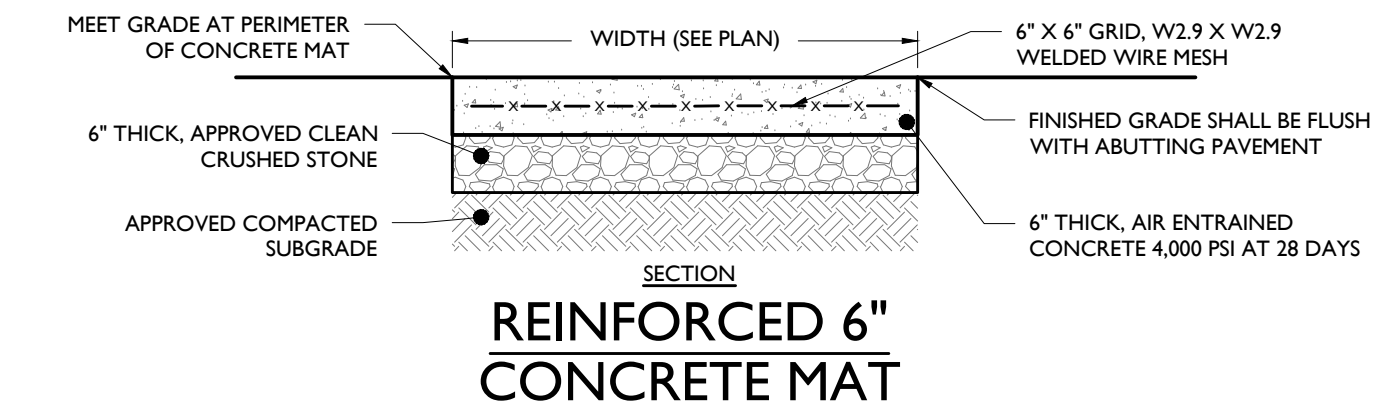
CONCRETE WALKWAY DETAIL
NOT TO SCALE

- NOTES:**
1. MAXIMUM CROSS SLOPE SHALL BE 1/2" PER FOOT.
 2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
 3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
 4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



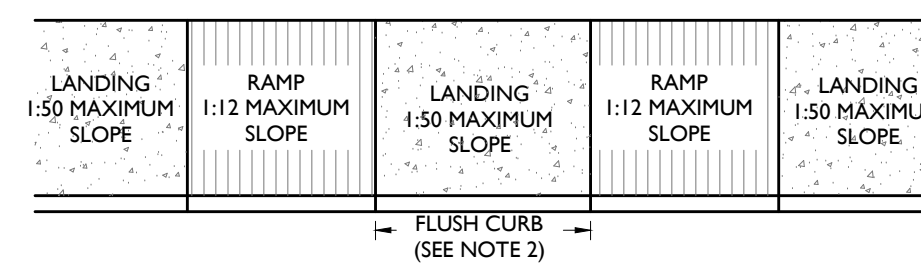
FULL DEPTH ASPHALT PAVEMENT DETAIL
NOT TO SCALE

- NOTE:** HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.



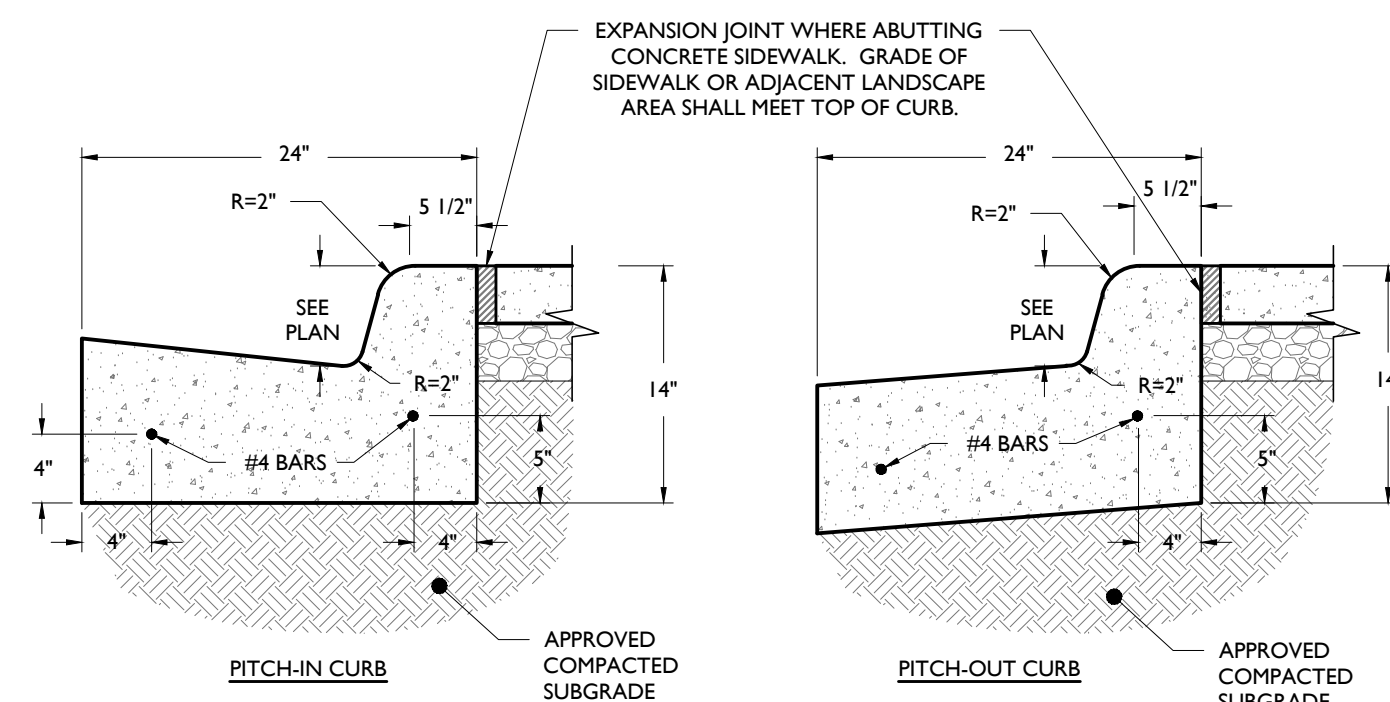
REINFORCED 6" CONCRETE MAT
NOT TO SCALE

- NOTES:**
1. 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
 2. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.
 3. CONCRETE SHALL RECEIVE BROOM FINISH.
 4. ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.



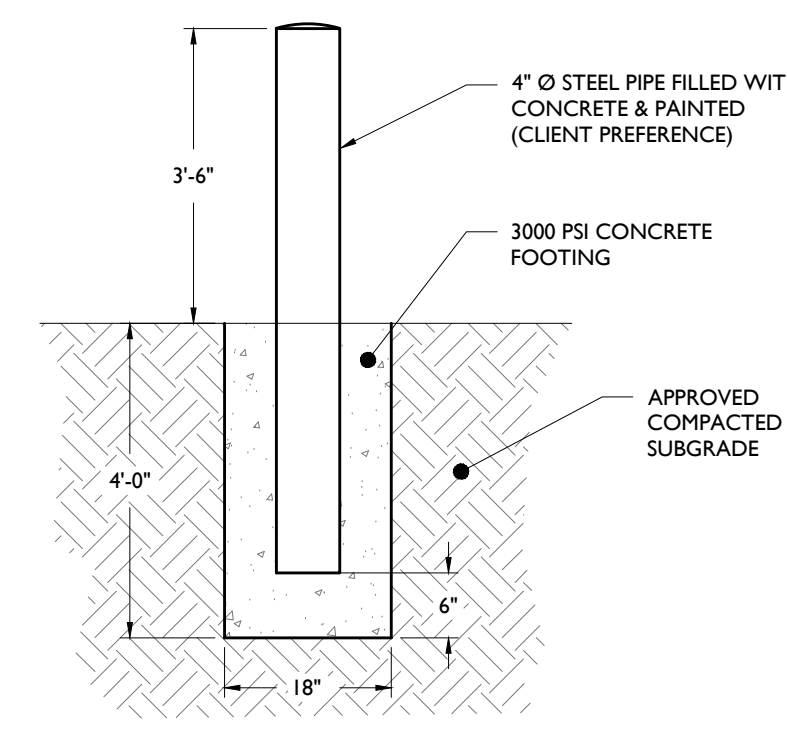
TRANSITION RAMP DETAIL
NOT TO SCALE

- NOTES:**
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%.
 2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
 3. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.



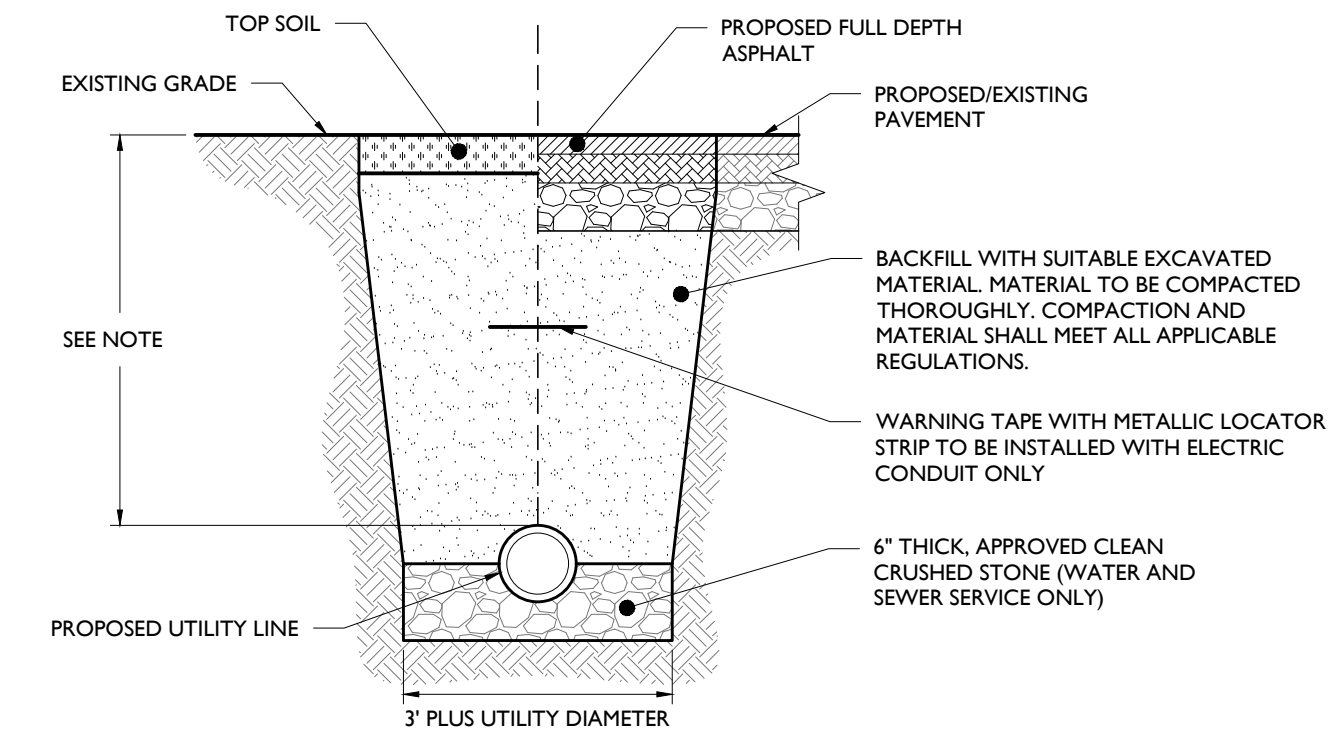
CONCRETE CURB AND GUTTER DETAIL
NOT TO SCALE

- NOTES:**
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
 3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 4. 14" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.



BOLLARD DETAIL
NOT TO SCALE

- NOTE:** MINIMUM PIPE COVER SHALL BE AS FOLLOWS:
- ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
 - GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
 - SEWER SERVICE - 36" MINIMUM
 - WATER SERVICE - 48" MINIMUM



UTILITY TRENCH DETAIL
NOT TO SCALE

- NOTE:** MINIMUM PIPE COVER SHALL BE AS FOLLOWS:
- ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
 - GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
 - SEWER SERVICE - 36" MINIMUM
 - WATER SERVICE - 48" MINIMUM

NO.	DATE	ISSUE	BY	DESCRIPTION
2	04/02/2026	JD		REVISIONS FOR PRELIMINARY SITE PLAN APPROVAL
1	03/10/2026	NB		FOR PRELIMINARY SITE PLAN APPROVAL

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
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Salem, MA · Princeton, NJ · Tampa, FL
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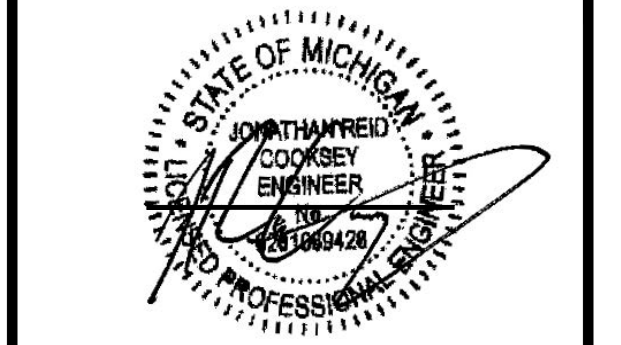
555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

SITE DEVELOPMENT PLANS

HARTLAND SQUARE
OUTLOT 8

PROPOSED RESTAURANT
WITH PICK-UP WINDOW

PID: 4708-21-402-003
10540 HARTLAND SQUARE DRIVE
HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MI



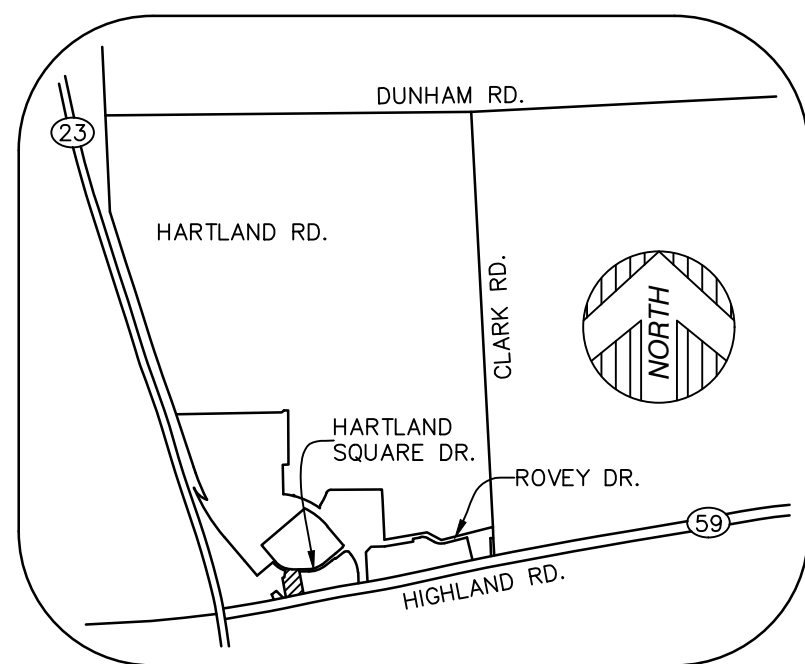
STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: DET-260062

TITLE: **CONSTRUCTION DETAILS**

DRAWING: **C-9**

NOT FOR CONSTRUCTION. LARSONAL VIEWS PROPERTIES, 10540 HARTLAND SQUARE DRIVE, HARTLAND, MI 48031. 03/10/2026



VICINITY MAP

PARKING

NO MARKED PARKING ON SITE.

PARCEL AREA

45,361± SQUARE FEET = 1.04± ACRES

BASIS OF BEARING

NORTH 02°55'00" WEST, BEING THE NORTH AND SOUTH 1/4 LINE OF SECTION 21, AS DESCRIBED.

BENCHMARK

SITE BENCHMARK #3
ARROW ON HYDRANT, ±4.4' SOUTH OF HARTLAND SQUARE DR, ±12' WEST OF NORTHEAST PROPERTY CORNER, PARCEL 4.
ELEVATION = 981.23' (NAVD 88)

SITE BENCHMARK #4
ARROW ON HYDRANT, 21'± NORTH OF NORTH EDGE OF HIGHLAND RD, ±85' EAST OF SOUTHWEST PROPERTY CORNER, PARCEL 4.
ELEVATION = 977.27' (NAVD 88)

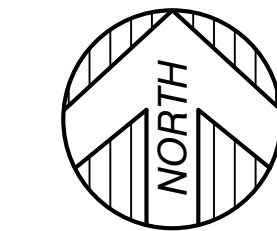
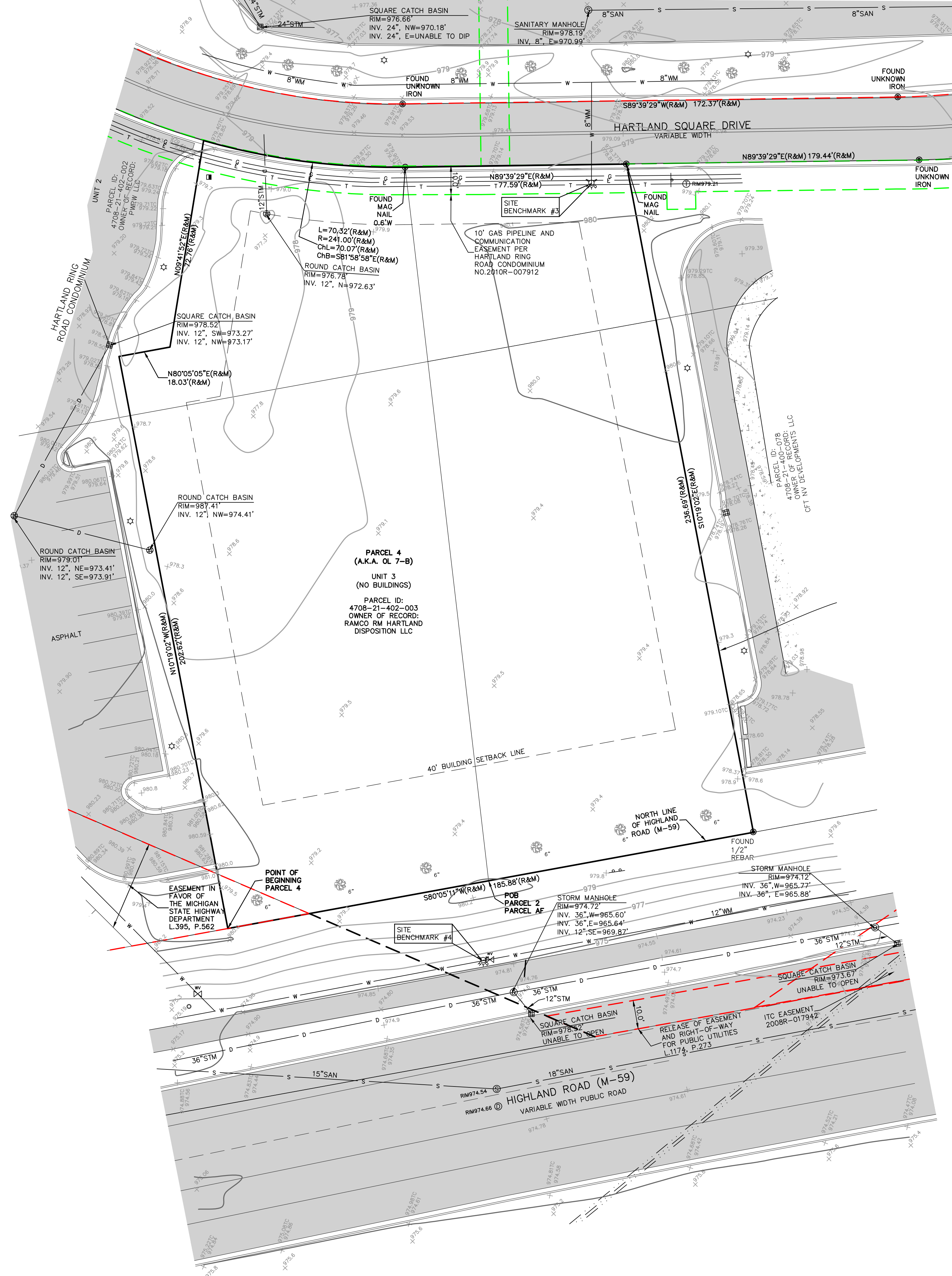
SURVEYOR'S NOTES

- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS AND DRAWINGS PROVIDED BY VARIOUS UTILITY COMPANIES AND/OR MUNICIPAL AGENCIES. UNDERGROUND UTILITIES WHICH ARE LOCATED ON PRIVATE PROPERTY ARE TYPICALLY NOT SHOWN ON PLANS PROVIDED BY THE UTILITY COMPANIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.
- SOME OF THE DIMENSIONS AND/OR BEARINGS USED ON THIS SURVEY ARE AS TAKEN FROM A PREVIOUS SURVEY BY PROFESSIONAL ENGINEERING ASSOCIATES (PEA), JOB NO. 2007-066, DATED JANUARY 7, 2015.
- DUE TO SNOW COVER AT TIME OF SURVEY, SOME SURFACE LEVEL FEATURES MAY NOT BE SHOWN.

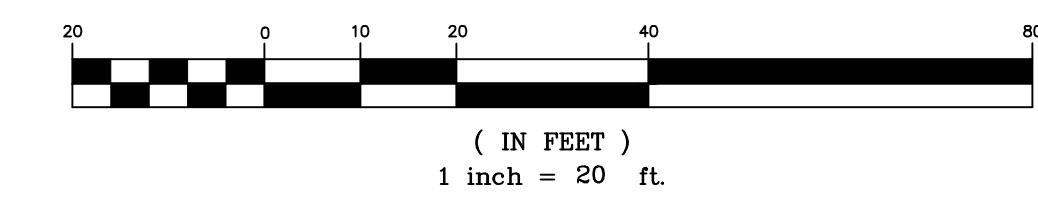
LEGEND

	FOUND MONUMENT (AS NOTED)
	RECORD AND MEASURED DIMENSION
	GROUND ELEVATION
	TELEPHONE RISER
	UTILITY POLE
	GAS LINE MARKER
	TELEPHONE MANHOLE
	SANITARY MANHOLE
	ROUND CATCH BASIN
	SQUARE CATCH BASIN
	STORM DRAIN MANHOLE
	FIRE HYDRANT
	WATER VALVE
	LIGHTPOST/LAMP POST
	SINGLE POST SIGN
	DOUBLE POST SIGN
	DECIDUOUS TREE (AS NOTED)
	PARCEL BOUNDARY LINE
	PLATTED LOT LINE
	EASEMENT (AS NOTED)
	CONCRETE CURB
	PARKING
	EDGE OF CONCRETE (CONC.)
	EDGE OF ASPHALT (ASPH.)
	SANITARY LINE
	GAS LINE
	STORM LINE
	WATER LINE
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	ASPHALT
	CONCRETE

PRIOR TO CONSTRUCTION ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD. CALL MISS DIG 3 WORKING DAYS PRIOR TO CONSTRUCTION.



GRAPHIC SCALE



PROPERTY DESCRIPTION

LAND SITUATED IN THE TOWNSHIP OF HIGHLAND, COUNTY OF LIVINGSTON, STATE OF MICHIGAN, DESCRIBED AS:

PARCEL 4:
UNIT 3, RING ROAD CONDOMINIUM, ACCORDING TO THE MASTER DEED THEREOF, AS RECORDED IN INSTRUMENT NO. 2022R-030911, LIVINGSTON COUNTY RECORDS, AND DESIGNATED AS LIVINGSTON COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 451, TOGETHER WITH RIGHT IN GENERAL COMMON ELEMENTS AND LIMITED COMMON ELEMENTS AS SET FORTH IN SAID MASTER DEED, AND AS DESCRIBED IN ACT 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED.

ALSO KNOWN AS OL 7-B DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTH 1/4 OF SAID SECTION 21; THENCE NORTH 02 DEGREES 55 MINUTES 00 SECONDS WEST, 275.38 FEET ALONG THE NORTH-SOUTH 1/4 LINE (AS MONUMENTED) TO THE NORTH LINE OF M-59 (HIGHLAND ROAD); THENCE NORTH 80 DEGREES 05 MINUTES 11 SECONDS EAST 403.20 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING; THENCE NORTH 10 DEGREES 19 MINUTES 02 SECONDS WEST, 202.62 FEET; THENCE NORTH 80 DEGREES 05 MINUTES 05 SECONDS EAST, 18.03 FEET; THENCE NORTH 09 DEGREES 41 MINUTES 52 SECONDS EAST, 72.76 FEET TO THE SOUTHWESTERLY LINE OF HARTLAND SQUARE DRIVE EASEMENT; THENCE ALONG SAID SOUTHWESTERLY LINE 70.32 FEET ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 241.00 FEET, A CENTRAL ANGLE OF 16 DEGREES 43 MINUTES 06 SECONDS, AND CHORD BEARING SOUTH 81 DEGREES 58 MINUTES 58 SECONDS EAST, 70.07 FEET AND NORTH 89 DEGREES 39 MINUTES 29 SECONDS EAST, 77.59 FEET; THENCE SOUTH 10 DEGREES 19 MINUTES 02 SECONDS EAST, 236.69 FEET TO THE NORTH LINE OF M-59 (HIGHLAND ROAD); THENCE ALONG SAID NORTH LINE SOUTH 80 DEGREES 05 MINUTES 11 SECONDS WEST, 185.88 FEET TO THE POINT OF BEGINNING.

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-1264468-MPH, REVISION 1, DATED OCTOBER 6, 2025, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

17. TERMS, CONDITIONS, PROVISIONS, RESTRICTIONS AND EASEMENTS AS CONTAINED IN A MASTER DEED FOR HARTLAND RING ROAD CONDOMINIUM RECORDED AS DOCUMENT NUMBER 2022R-030911, (AFFECTS PARCELS 3, 4 AND 6) [10' GAS PIPELINE EASEMENT AND 10' TELEPHONE LINE EASEMENT ARE AS SHOWN; AREA OF RESERVATIONS, RESTRICTIONS OR EASEMENTS AS SHOWN ON HARTLAND RING ROAD CONDOMINIUM PER DOCUMENT NO. 2010R-007912 IS AS SHOWN]

20. TERMS, CONDITIONS, PROVISIONS, RESTRICTIONS AND EASEMENTS AS CONTAINED IN AN EASEMENT IN FAVOR OF THE MICHIGAN STATE HIGHWAY DEPARTMENT RECORDED IN LIBER 395 PAGE 562, (AFFECTS PARCELS 1, 3, 4 AND 6) [AFFECTS PARCELS 1, 3, 4, & 6; NOT PLOTTABLE. SEE DOCUMENT FOR TERMS AND CONDITIONS. EASEMENT OVER AN UNPLOTTABLE 0.75 ACRE PORTION OF THE ARE IDENTIFIED AS EXCEPTION 20 ON THE SURVEY]

21. TERMS, CONDITIONS, PROVISIONS, RESTRICTIONS AND EASEMENTS AS CONTAINED IN AN EASEMENT IN FAVOR OF CONSUMERS POWER COMPANY RECORDED IN LIBER 509 PAGE 548, [AFFECTS PARCEL 1; NO EXACT LOCATION GIVEN FOR GAS MAIN, THIS DOCUMENT HAS BEEN SUPERCEDED AND REPLACED BY DOCUMENT NO. 2008R-026204]

SAID EASEMENT IS AMENDED, RESTATED AND SUPERCEDED BY EASEMENT FOR GAS PIPELINE RECORDED AS DOCUMENT NUMBERS 2008R-26202, 2008R-026203, 2008R-026204 [AS SHOWN], 2008R-026205 AND 2008R-11454, (AFFECTS PARCELS 1, 2, 3, 4 AND 6) [ALL OF THE DOCUMENTS REPLACES AND SUPERCEDES LIBER 509, PAGE 548. SEE DOCUMENTS FOR TERMS AND CONDITIONS].

23. TERMS, CONDITIONS, PROVISIONS, RESTRICTIONS AND EASEMENTS AS CONTAINED IN AN AGREEMENT AND RELEASE OF EASEMENT AND RIGHT-OF-WAY FOR PUBLIC UTILITIES IN FAVOR OF THE TOWNSHIP OF HARTLAND, LIVINGSTON COUNTY, MICHIGAN RECORDED IN LIBER 1174 PAGE 273, (AFFECTS PARCELS 1, 2, 3 AND 4) [THE 15' FOR PUBLIC UTILITIES EASEMENT AFFECTS PARCEL 3, AS SHOWN. THE 10' EASEMENT FOR PUBLIC UTILITIES AS SHOWN DOES NOT ABUT OR CROSS SUBJECT PROPERTY]

45. TERMS, CONDITIONS, PROVISIONS, RESTRICTIONS AND EASEMENTS AS CONTAINED IN A GRANT IN FAVOR OF INTERNATIONAL TRANSMISSION COMPANY RECORDED AS DOCUMENT NUMBER 2008R-017942, (AFFECTS PARCELS 2, 3 AND 4) [2x 33' ITC EASEMENTS ARE AS SHOWN. SUBJECT EASEMENTS DO NOT ABUT OR CROSS SUBJECT PROPERTY]

NOTE: ONLY THE EASEMENTS ON OR ADJACENT TO THE SUBJECT PROPERTY ARE LISTED AND SHOWN.

SURVEYOR'S CERTIFICATION

TO HARTLAND TOWNE SQUARE, LLC AND FIRST AMERICAN TITLE INSURANCE COMPANY, AND FIRST AMERICAN TITLE INSURANCE COMPANY NATIONAL COMMERCIAL SERVICES:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4, 5, 7A, 8, 9, 11A, AND 11B OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 01/13/26.

DATE OF PLAT OR MAP: 02/11/26

DRAFT

ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
TSycko@kemttec-survey.com

KEM-TEC
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ALTA / NSPS LAND TITLE SURVEY
PREPARED FOR: HARTLAND TOWNE SQUARE, LLC - HTSL
VACANT LAND, HIGHLAND TOWNSHIP, MICHIGAN,
PART OF SECTION 21,
TOWN 3 NORTH, RANGE 6 EAST

NO.	REVISION	DATE	BY	DESCRIPTION
1				

Hartland Township Planning Commission Meeting Agenda Memorandum

Submitted By: Troy Langer, Planning Director

Subject: Zoning Amendment #26-001 – Amendment to permit accessory dwelling units (ADU) in single family zoned districts.

Date: April 16, 2026

Recommended Action

Move to recommend approval of Zoning Amendment Text Amendment #26-001, as outlined in the staff memorandum and attached draft ordinance amendment.

Discussion

Overview and Background Information for Request

In February of 2024, the Livingston County Planning Commission sent out an email to provide some preliminary background information on Accessory Dwelling Units (ADU's). This email was passed along to the Planning Commission, and the Planning Commission expressed some interest in drafting regulations that would permit ADU's. In March of 2024, the Planning Commission directed the Ordinance Review Committee to proceed with a draft ordinance. Draft versions of the ordinance were reviewed by the Ordinance Review Committee between March 2024 and October 2025.

As background, an ADU would essentially be a second dwelling unit on a parcel zoned in a single family residential zoning district. In general, single family residential zoning districts only permit one (1) dwelling unit, per parcel. Hartland Township Zoning Regulations do permit something similar to an ADU in the CA (Conservation Agricultural) zoning district; however, it is limited to farming purposes. The property must be a farm, and the second dwelling unit must be related to that farming operation. This is outlined in Section 3.1.1.D.v. and it reads “duplex or two dwelling for farm family only, in conjunction with a farm operation.”

Although permitting a second dwelling unit on the property may seem similar to a duplex or two (2) dwelling unit structure, in theory the ADU is thought of more as an accessory structure (or part of) in comparison to the principal structure. Whereas a duplex or two (2) dwelling unit structure, the dwelling units are very similar in size and appearance. Although legally, it may be very difficult to distinguish an ADU from a duplex, in practice, the principal structure is typically much larger than the ADU.

The Zoning Amendment was discussed at the February 12, 2026, regular meeting of the Planning Commission and at the March 26, 2026, work session meeting of the Planning Commission.

During the discussion, the Planning Director indicated that the Township Attorney had some draft language to be considered as part of the Ordinance. As a result, the Planning Commission elected to wait to see the draft language.

The Township Attorney has provided some draft language, and it pertains to limiting the Accessory Dwelling Unit (ADU) to only family members. The Planning Commission discussed this topic at the February 12, 2026, meeting and elected to not limit the ADU's to just family members.

In addition, the Planning Commission added additional language to limit the amount of usable floor area in an accessory structure/building that contains an ADU.

Zoning Amendment #26-001 Accessory Dwelling Units

April 16, 2026

Page 2

Attachments:

1. Draft Ordinance Amendment – Accessory Dwelling Unit 04.08.2026 – PDF version

T:\PLANNING DEPARTMENT\PLANNING COMMISSION\2026 Planning Commission Activity\Zoning Amendments\ZA #26-001 Accessory dwelling units\Staff reports\PC\ZA 26-001 ADU staff report PH PC 04.16.2026.docx

TOWNSHIP OF HARTLAND

**AMENDMENT TO PERMIT ACCESSORY DWELLING UNITS
IN SINGLE FAMILY DISTRICTS**

PROPOSED AMENDMENT

Section 2. Definitions

76. DWELLING, MULTIPLE FAMILY: A **structure or** building used or designed as a ~~residence~~ **dwelling** for three (3) or more families **or functional families** for residential purposes living independently of one another, ~~with separate housekeeping, cooking and bathroom facilities for each.~~ Multiple family dwellings may include the following:

- A. Apartment: An apartment is an attached dwelling unit with party wall, contained in a building with other apartment units, which are commonly ~~reached off~~ **accessed from** a common stair landing or walkway. Apartments are typically rented by the occupants. Apartment buildings often may have a central heating system ~~and other~~ **or** central utility connections. Apartments typically do not have their own yard space. Apartments are also commonly known as garden apartments or flats.
- B. Efficiency Unit: An efficiency unit is a type of multiple-family or apartment unit consisting ~~of~~ **primarily with** one (1) principal room, ~~plus bathroom and kitchen facilities, hallways, closets, and/or a dining alcove located directly off the principal room~~ **and the other items to be a dwelling unit.**

78. DWELLING, SINGLE-FAMILY: A detached building **or structure** designed for or occupied exclusively by one (1) family, **or functional family**, for residential purposes.

80. DWELLING UNIT: Any ~~house, apartment, condominium unit,~~ **structure**, building, or part thereof, ~~which is occupied or intended to be occupied as home, residence, or sleeping place of or by a family or unrelated persons either permanently or transiently~~ **that is used for residential purposes and is either a completely separate structure or is separated from any other portion of the structure; and has its own independent sleeping place or bedroom; a bathroom; and cooking facilities, a kitchen, or capable of being used as a kitchen.** The dwelling unit may be used by a family, a functional family, or an individual.

A. **ACCESSORY DWELLING UNIT (ADU):** is a second dwelling unit on the same property as the principal dwelling unit and may be either attached or detached, as outlined below:

- 1) **Attached Accessory Dwelling Units (ADU)** shall consist of any separate dwelling unit that is located within an existing single family residential structure, such as within a basement, attic or upper level, above the garage, garage conversion, or attached to the principal dwelling unit.
- 2) **Detached Accessory Dwelling Units (ADU)** shall consist of any separate dwelling unit that is completely detached from the existing single family residential structure.

100. FLOOR AREA, USABLE RESIDENTIAL: The gross floor area minus areas in basements, unfinished attics, attached garages, and enclosed or unenclosed porches.



Source: AARP

- B. PRINCIPAL DWELLING UNIT (PDU):** The single-family dwelling that serves as the primary dwelling for a family or functional family and is located on the same parcel as an Accessory Dwelling Unit (ADU).

Section 5.14.4 Accessory Dwelling Unit Standards

- A. Accessory Dwelling Units (ADU) are only permitted within single-family residential zoning districts, subject to the following requirements:**
1. Accessory Dwelling Units (ADU) shall obtain approval of a Land Use Permit prior to any work commencing. Accessory Dwelling Units shall also have all required permits from other agencies.
 2. Accessory Dwelling Units (ADU) shall comply with all setbacks, lot coverage, and building height requirements of the zoning district, in which the Accessory Dwelling Unit (ADU) is located.
 3. Detached and attached Accessory Dwelling Units (ADU) shall be permitted in the CA (Conservation Agricultural) zoning district. Only attached Accessory Dwelling Units (ADU) shall be permitted in the RUR (Rural Residential) district, RR (Residential Recreational) district, STR (Settlement Residential) district, RE (Rural Estate District) district, and SR (Suburban Residential) district.
 4. No more than one (1) Accessory Dwelling Unit (ADU) shall be permitted on a parcel and Accessory Dwelling Units (ADU) shall only be permitted on property that has an existing single-family dwelling. Accessory Dwelling Units (ADU) are not permitted on parcels with an existing duplex/apartment, even if they are considered legal non-conforming.
 5. The Accessory Dwelling Unit (ADU) shall be designed and constructed of the same quality of materials as the existing principal single family structure. The Accessory Dwelling Unit (ADU) shall also be a similar appearance as the existing single-family dwelling. Any garage that is converted to an accessory dwelling unit shall have the garage door replaced with a compliant wall that complies with this Section. Further, the ADU shall not detract from the appearance of the lot as a place of one (1) residence.
 6. Any driveway and parking associated with an Accessory Dwelling Unit (ADU) shall comply with the zoning district requirements for the zoning district the Accessory Dwelling Unit (ADU) is located within.

7. An owner(s) of the property must reside on the property where an Accessory Dwelling Unit (ADU) is located. The owner may reside in either the Principal Dwelling Unit (PDU) or the Accessory Dwelling Unit (ADU), as long as both units are not rented. In the event that both units are being rented, then the Accessory Dwelling Unit (ADU) shall no longer be deemed valid.
8. The Principal Dwelling Unit (PDU) and Accessory Dwelling Unit (ADU) may share common water, septic, electric, and gas facilities, if permitted and in compliance with State and County Codes. Otherwise, they are permitted to have separate facilities.
9. The minimum floor area of the Principal Dwelling Units (PDU) may not decrease below the required minimum floor area in the zoning district, as a result of the separate attached Accessory Dwelling Unit (ADU).
10. Attached Accessory Dwelling Units (ADU) shall not have its access to the accessory dwelling unit on the same building elevation as the Principal Dwelling Units (PDU) primary entrance, unless the existing structure already has two (2) entrances on the same elevation.
11. Detached Accessory Dwelling Units (ADU) shall be treated in a similar manner to an Accessory Structure in the zoning district in which they are located.
12. Accessory Dwelling Units (ADU) shall have a solid foundation around the perimeter of the entire structure, which also complies with the Michigan Residential Code and approved by the Livingston County Building Department.
13. Accessory Dwelling Units (ADU) shall not be trailers or mobile homes.
14. Accessory Dwelling Units (ADU) shall comply with the following size requirements:

Attached Accessory Dwelling Units:	190 square foot minimum size.
	1,200 square foot maximum size.
Detached Accessory Dwelling Units:	190 square foot minimum size.
	1,200 square foot maximum size, or 50% of Principal Dwelling Unit, which ever limits the size of the ADU.
15. The Accessory Dwelling Unit (ADU) and Principal Dwelling Unit (PDU) shall have separate addresses that are visible from the driveway and at the primary entrance.
16. Accessory Structures/Buildings containing an Accessory Dwelling Unit (ADU) shall not exceed the size limitation for “floor area, usable residential” as defined in this ordinance, for the entire accessory structure/building.