



## Planning Commission

|                                    |                              |
|------------------------------------|------------------------------|
| Larry Fox, Chairperson             | Summer L. McMullen, Trustee  |
| Michael Mitchell, Vice-Chairperson | Sue Grissim, Commissioner    |
| Tom Murphy, Secretary              | Jim Mayer, Commissioner      |
|                                    | Matthew Eckman, Commissioner |

**Planning Commission Meeting Agenda**  
**Hartland Township Hall**  
**Thursday, September 10, 2026**  
**7:00 PM**

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of the Agenda
5. Approval of Meeting Minutes
  - a. Planning Commission Meeting Minutes of August 13, 2026
6. Call to Public
7. Public Hearing
  - a. Site Plan with Special Land Use Application #26-006 - Request to construct a two family dwelling in the Village of Hartland (Avon Street)
8. Call to Public
9. Planner's Report
10. Committee Reports
11. Adjournment

HARTLAND TOWNSHIP PLANNING COMMISSION **DRAFT** MEETING MINUTES

August 13, 2026– 7:00 PM

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1. **Call to Order:** Vice-Chair Mitchell called the meeting to order at 7:00 p.m.
2. **Pledge of Allegiance:**
3. **Roll Call and Recognition of Visitors:**  
Present – Commissioners Eckman, Grissim, Mayer, McMullen, Mitchell, and Murphy  
Absent – Chair Fox
4. **Approval of the Meeting Agenda:**  
**Commissioner McMullen offered a Motion to approve the August 13, 2026, Planning Commission Meeting Agenda. Commissioner Grissim seconded. Motion carried unanimously.**
5. **Approval of Meeting Minutes:**
  - a. Planning Commission Work Session Meeting Minutes of July 9, 2026.  
**Commissioner Mayer offered a Motion to approve the Planning Commission Work Session Meeting Minutes of July 9, 2026. Commissioner Eckman seconded. Motion carried unanimously.**
6. **Call to the Public:**  
Derek Gardener, Hartland Township; commented on the draft Backyard Chicken Ordinance. He requested for larger lots, exceptions be made to allow chickens outside of the chicken run and/or for a mobile option to move the coop and run around the property.
7. **Public Hearing**
  - a. Site Plan with Special Land Use Application #26-007 (Kroger Automobile Fueling and Convenience Station)

**Vice-Chair Mitchell outlined the process for a public hearing and opened the Public Hearing at 7:05 PM stating all legal notification requirements have been met.**

Director Langer stated the following:

- Gave an overview of the location and scope of the project.
- Located North of M-59, west of Old US 23 in the Shops of Waldenwoods Planned Development south and west of the access drive.
- Notification requirements state that notices must be sent to property owners and occupants within three-hundred feet of the parcel. This parcel was split from a larger parcel, but the Assessing GIS map did not reflect that change, so notices were sent to property owners within three-hundred feet of the parent parcel to meet the requirement.
- Project is not directly on Highland Road but off of the access drive.

- The Shops at Waldenwoods Planned Development permitted uses included some exemptions that typically would require a Special Land Use Permit but did not include fuel stations by right; thus, a Special Land Use Permit is required along with a Public Hearing.
- Planning Commission will make a recommendation to the Township Board. The Township Board has the final approval for the Special Land Use Permit.

The Applicant, Matthew Pisco representing The Kroger Company of Michigan, introduced himself stating the following:

- Kroger Company is a publicly traded, risk-adverse company.
- Competitors are Meijer, Costco, and VG's, who all have their own fuel stations.
- In a perfect world, all Kroger fuel stations would be in the parking lots of the store; eighty percent are, this one is not.
- Entry may be gained via service roads and will not negatively impact traffic on M-59.
- Views it as an extension of the Kroger store.
- Hours will mimic those of the store.
- Meets the requirements other than frontage on M-59.
- Asking for the Planning Commission's help to increase their brand loyalty and offer one-stop shopping to their customers.

**Call to Public:**

None

Director Langer mentioned an email communication from a resident in the Hunter's Ridge Condominium development to the north. The resident may not have been aware that the proposed project is much farther to the south.

**Vice-Chair Mitchell closed the Public Hearing at 7:16 PM.**

Vice-Chair Mitchell referred to the staff memorandum dated July 29, 2026.

**SPECIAL LAND USE REVIEW - General Standards**

Vice-Chair Mitchell stated the applicant has provided responses to the Special Land Use general standards as an attachment, in the summary dated June 30, 2026.

**SPECIAL LAND USE REVIEW – Applicable Site Standards**

**Automobile Fueling and Convenience Station (Section 4.58)**

1. Frontage. Such uses shall have access to and front upon a hard surface, major thoroughfare. Vice-Chair Mitchell stated the subject site does not have frontage on a public or private street. The site has access from internal drive lanes that are associated with the Planned Development. Access to Highland is available via multiple driveways within the Planned Development.

7. Outdoor Storage. There shall be no outdoor storage or display, except within an area defined on the site plan approved by the Planning Commission and which extends no more than ten (10) feet beyond the building.

Vice-Chair Mitchell stated a defined area for outdoor storage is provided on the west side of the building, which has a tall screen wall at each end of the storage area (wall is 8'-6" in height). The storage area between the screen walls is approximately fourteen (14) feet long by three (3) feet

wide. Each screen wall is comprised of split face CMU on the base of the column and brick veneer above to match the building.

**SITE PLAN REVIEW – Applicable Site Standards**

**Parking Lot / Driveway / Internal Roads Setbacks (Sec. 5.8.3.)**

Vice-Chair Mitchell asked the Planning Commission about the 4 parking spaces located approximately 20 feet from the front (north) lot line rather than 25 feet.

Director Langer explained the Shops at Waldenwoods Planned Development (PD) was approved with certain known factors and this was one of them. This is an internal drive for the development, not a public or private street. A normal fuel station not in a PD would have to meet a 25-foot setback to the road. This is a PD. The Planning Commission approved the 20-foot setback.

**Loading (Sec. 5.9)**

Vice-Chair Mitchell stated typically a dedicated loading space has not been required to be shown on a plan. Planning Commission had no comment.

Commissioner Murphy asked about the distance between the fuel pumps as some in the area are tight. The Applicant stated it was 23 feet 3 inches between the two and the other was 30 feet 5 inches between the larger. Commissioner Murphy stated he was satisfied with that distance.

**Landscaping (Sec. 5.11 – Updated Landscape Ordinance version)**

Commissioner Grissim stated the following:

- Have been working with the Applicant.
- There is a detention pond between M-59 and the proposed station.
- Foundation planting was overlooked.
- Part of the building is under the canopy.
- There are options for some plantings in various spots around the building.
- Due to the other items planned around the building, we will not get to the math the Ordinance asks for but there is some room for foundation landscaping, some high windows and blank walls where landscaping could be added.
- Other fuel stations have not been permitted to pave around the entire perimeter; it is important enough to make an effort.

The Applicant stated they are willing to work with staff. Director Langer asked if the Applicant could work with staff and show this change in the Construction Plan set. Commissioner Grissim confirmed.

The Planning Commission briefly discussed the locations and options for adding landscaping.

Commissioner Mayer asked about outdoor storage, that the proposed screened area will be the only area where items will be permitted to be stored outside of the building. It is a problem on other sites. The Applicant stated they will comply.

Commissioner Mayer asked about the permits from the Michigan Department of Environment, Great Lakes and Energy (EGLE), how it is possible that a fuel station can be located within 2,000 feet of the community well. The Applicant stated their underground storage tank system is double walled with a brine reservoir. If there is a loss or gain, the alarms go off and the system shuts down. The piping is double walled. Through Kroger's diligence and design, they were able to seek and obtain waivers from EGLE and Licensing and Regulatory Affairs (LARA).



Commissioner Mayer asked if the EGLE and LARA permits must be issued prior to a Land Use Permit being issued. Director Langer confirmed.

Commissioner Murphy asked about the distance to the community well. The Applicant stated they located the tanks on the east side in order to gain the variance for the distance which is at least 820 feet.

The Planning Commission briefly discussed the location of the wellhead to the tower.

**Sidewalks and Pathways (Sec. 5.12)**

Commissioner Murphy asked for a north-south sidewalk on the east side of the property. Commissioner Grissim called attention to the north stubs from the existing residential development anticipating future sidewalks. Commissioner Mayer also expressed a desire for a sidewalk.

The Planning Commission discussed sidewalk options and how the Planned Development was approved.

It was ultimately decided that a sidewalk at that location would be up to the owners of the PD and not the responsibility of the Applicant at this time. In the future, when Shops at Waldenwoods eventually returns for another amendment, it can be part of that process.

**Lighting (Sec. 5.13)**

Director Langer offered the following comments on Intensity:

- Light intensity exceeds the maximum average allowed at the building entrance and in the parking area.
- This is fairly common.
- Adjustments can be made and shown on the Construction Plan set.

**Architecture / Building Materials (Sec. 5.24)**

Vice-Chair asked the Planning Commission to look at the façade renderings and give their opinion.

Director Langer explained the buildings are usually shipped in on a trailer and dropped on the site but there were some problems with the screening for the rooftop units (RTU). After some discussion, the Applicant stated they would be willing to actually construct a building on the site that would meet that requirement.

Commissioner Mayer asked for additional courses of brick to lower the percentage of aluminum being used. The Applicant stated they used the same the percentages from the Kroger storefront; however, they are not unwilling but must look at the engineering and architecture before committing.

**Fuel Canopy**

Vice-Chair Mitchell stated they requested the pillars for the fuel canopy be wrapped with similar materials as the main building with which they have complied.

**Commissioner Eckman offered the following Motion:**

**Move to recommend approval of Site Plan with Special Land Use Application #26-007 a request to construct an automobile fueling and convenience station in the Shops at Waldenwoods Planned Development, as outlined in the staff memorandum dated July 29, 2026.**

**The recommendation for approval is based on the following findings:**

- 1. The proposed special land use, automobile fueling and convenience station, meets the intent and purposes of the Ordinance as well as the specific Special Use standards outlined in Section 6.6 (Special Uses).**
- 2. The proposed use is permitted in the Shops at Waldenwoods PD (Planned Development), as outlined in the PD Agreement, which has references to the GC (General Commercial) standards. Standards for the proposed use are outlined in Section 3.1.14.D.xviii of the Zoning Ordinance. The proposed use is compatible with the existing uses in the vicinity.**
- 3. The proposed use will be served by public sanitary sewer, by existing essential facilities and public services, and the Fire Department has no objection.**
- 4. The proposed use will not create additional requirements at public cost for public facilities as the proposed site will be served by public sanitary sewer and municipal water.**

**Approval is subject to the following conditions:**

- 1. The proposed Special Land Use, automobile fueling and convenience station, is subject to approval by the Township Board.**
- 2. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated July 29, 2026, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.**
- 3. No outdoor storage is permitted on the site except in the area designated as outdoor storage on the approved plans.**
- 4. A land use permit is required after approval of the Site Plan and Special Use Permit and prior to construction.**
- 5. The applicant shall work with staff to install building foundation landscaping, in areas that work with both the applicant and staff. The plans shall be amended on the construction plans for the issuance of a land use permit.**
- 6. The applicant shall work with staff to install additional brick on the exterior elevation of the building to reduce the amount of aluminum siding on the exterior of the building. The applicant shall work with staff and if there are any changes, such changes shall be made on the final building plans for the issuance of a land use permit.**
- 7. Applicant complies with any requirements of the Department of Public Works Director, Township Engineering Consultant (SDA), Fire code requirements, and all other government agencies, as applicable.**

**Seconded by Commissioner McMullen.**

**Commissioner Murphy offered a friendly amendment to include language in the conditions regarding the changes to the landscaping and masonry as discussed. (See conditions 5 & 6 above.)**

**The Maker and Seconder agreed. Motion carried unanimously.**

**8. Call to the Public:**

None

**9. Planner Report:**

None

**10. Committee Reports:**

None

**11. Regular Meeting Adjournment:**

**A Motion to adjourn the meeting was made by Commissioner Mayer. Seconded by Commissioner Eckman. The meeting was adjourned at approximately 8:44 PM.**

# Hartland Township Planning Commission Meeting Agenda Memorandum

**Submitted By:** Troy Langer, Planning Director

**Subject:** Site Plan with Special Land Use Application #26-006  
Request to construct a two family dwelling in the Village of Hartland  
(Avon Street)

**Date:** September 3, 2026

## Recommended Action

**Move to recommend approval of Special Land Use Permit and approve Site Plan Application #26-006,** proposed two family dwelling on a vacant lot on Avon Street (Tax Parcel ID #4708-16-101-125).

The recommendation for approval is based on the following findings:

1. The proposed special land use, two family dwelling, meets the intent and purposes of the Ordinance as well as the specific standards outlined in Section 6.6 (Special Uses).
2. The proposed special land use is permitted in the LC (Limited Commercial) zoning district, as outlined in Section 3.1.12.D.i., and the proposed use is compatible with the existing uses in the vicinity.
3. The proposed use will be served by private well (water) and municipal sanitary sewer, by existing essential facilities and public services, and the Hartland Deerfield Fire Authority has no objection.
4. The proposed multiple family structure (duplex) meets the minimum requirements for usable floor area in each dwelling unit.
5. The proposed use will not create additional requirements at public cost for public facilities as the proposed site will be served by a private well (water) and municipal sanitary sewer.

## Approval is subject to the following conditions:

1. The proposed special land use, two family dwelling, is subject to approval by the Township Board.
2. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, September 3, 2026, on the plans submitted with a land use permit application, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
3. A land use permit is required after approval of the Site Plan and Special Land Use Permit.
4. The proposed use shall be served by municipal sanitary sewer.
5. Applicant complies with any requirements of the Department of Public Works Director, Township Engineering Consultant (SDA), Hartland Deerfield Fire Authority, and all other government agencies, as applicable.
6. (Any other conditions the Planning Commission deems necessary).

## **Discussion**

**Applicant:** Paul Mika

### **Site Description**

The subject property is undeveloped and is located on the east side of Avon Street in the Village of Hartland (Parcel ID #4708-07-16-101-125). The approximate 0.227-acre parcel is zoned LC (Limited Commercial) and is predominately covered with lawn with several trees located in the northeast corner of the lot. The site will be served by a private well (water). The applicant is pursuing a connection to the municipal sanitary sewer main along Avon Street and is currently in the process of seeking cost estimates for that project.

The adjacent parcel on the north is zoned LC (Limited Commercial) and is occupied by several commercial buildings. The adjacent parcel to the south is zoned LC (Limited Commercial) and is occupied by two (2) financial business entities in an office building (3508 Avon Street). The property to the west is zoned STR (Settlement Residential) and has a single-family home (3515 Washington Street).

The 2020-2021 Future Land Use Map (FLUM) designates the subject site and adjacent properties on the north and south as Village Commercial. The adjacent land to the east is shown as Village Residential.

### **Background Information**

#### **Metes & Bounds Application #696**

On April 8, 2004, the Planning Commission approved Metes & Bounds application #696, a request for a land division to split an existing parcel into two parcels. One of the resultant parcels is the subject site. At the time the subject property contained an existing septic field which was to be removed, per the survey dated April 5, 2004.

#### **Special Land Use Application #233 in conjunction with Site Plan Application #434 (May 24, 2007 Planning Commission meeting)**

In 2007, Special Land Use Application #233 was submitted in conjunction with Site Plan Application #434. This was a request to construct an office building approximately 4,179 gross square feet in size. Per the LC (Limited Commercial) zoning district, business and professional offices which contain more than 3,000 square feet but less than 5,000 square feet are considered a special land use and require a public hearing.

On May 24, 2007, the Planning Commission held a public hearing for Special Land Use application #233. Site Plan Application #434 was also presented at the meeting. Concerns arose regarding the plan not meeting the required parking setbacks along the side and rear lot lines. Additionally, the proposed access driveway did not meet the required 66-foot spacing between full access driveways (driveway on adjacent property to the north). The Planning Commission took no action on that date and directed the applicant to proceed to the Township Zoning Board of Appeals to seek applicable variances or consider adjusting the site layout to comply.

#### **ZBA Case No. 510**

On July 18, 2007, the Zoning Board of Appeals approved ZBA Case No. 510, which was a request to deviate from the required setbacks for the driveway and off-street parking along the rear and side lot lines.

#### **Special Land Use Application #233 in conjunction with Site Plan Application #434 (May 24, 2007)**

On September 13, 2007, the Planning Commission reviewed the revised plans and recommended approval of SUP #233 and SP #434. On November 6, 2007, the Township Board approved SUP #233 and SP #434. The project did not proceed with construction.

### **Proposed Use**

The applicant is requesting to construct a two family dwelling unit (duplex) on a vacant parcel in the Village of Hartland on Avon Street. The use, two family dwelling, is considered a special land use in the LC (Limited Commercial) zoning district, per Section 3.1.12.D.i. Additional standards for the special land use are provided in Section 3.24.10., regarding the minimum required floor area per dwelling unit in a multiple family structure.

The Hartland Township Zoning Ordinance provides a definition of Dwelling, Two-Family, under Section 2.2.79 as follows:

*Dwelling, Two-Family: A detached building designed for or occupied exclusively by two (2) families for residential purposes living independently of each other, with separate housekeeping, cooking, and bathroom facilities for each other. Also known as a duplex.*

Per the Hartland Township Zoning Ordinance and the State Enabling Act, a public hearing is required for the special land use application. Given the requirements for publishing a notice for the special land use, the public hearing has been scheduled for the September 10, 2026, Planning Commission meeting.

### **Request and Project Summary**

The applicant is requesting to construct a two family dwelling on a vacant parcel of land which is zoned LC (Limited Commercial). The one-story structure contains two (2) dwelling units. The overall dimensions of the duplex structure are approximately forty-seven (47) feet by fifty-seven (57) feet. The gross square footage of the duplex (combination of both dwelling units) is 2,553 square feet.

Each unit is approximately 978 square feet in area (useable living area), and has two (2) bedrooms, two (2) bathrooms, and an attached 1-stall garage. There is a roofed, unenclosed porch at the main entrance to each unit (west side of building).

Each unit has a cement patio (6 feet by 10 feet) on the side of the unit which is accessed by a sliding door. Additionally, each unit has a cement patio (8 feet by 21 feet) on the rear side of the unit, which is accessed by a sliding door.

The parcel has frontage on Avon Street which is under the jurisdiction of the Livingston County Road Commission (LCRC). Each unit has a paved driveway with direct access to Avon Street.

### **Approval Procedure**

The proposed use, two family dwelling unit, requires approval from the Township Board for the special land use. The Planning Commission will review the special land use and make a recommendation to the Township Board.

The project also requires the site plan to be reviewed by the Planning Commission who will make a final decision on the site plan. The plans will be reviewed using the development standards of the LC (Limited Commercial) zoning district (Section 3.1.12.) and all applicable zoning standards in the Zoning Ordinance.

### **SPECIAL LAND USE REVIEW – General Standards**

In accordance with Section 6.6, Special Uses, of the Hartland Township Zoning Ordinance, the following standards shall serve the Planning Commission and Township Board as the basis for decisions involving such uses. The standards are provided below.

- A. Be harmonious and in accordance with the objectives, intent, and purposes of this Ordinance.
- B. Be compatible with the natural environment and existing and future land uses in the vicinity.

- C. Be compatible with the Hartland Township Comprehensive Plan.
- D. Be served adequately by essential facilities and public services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to adequately provide any such service.
- E. Not be detrimental, hazardous, or disturbing to the existing or future neighboring uses, person, property, or the public welfare.
- F. Not create additional requirements at public cost for public facilities and services that will be detrimental to the economic welfare of the community.

The Planning Department believes the proposed use can and will meet the criteria listed above for the special land use request. The applicant has provided written responses to the special land use general standards, in his email dated August 13, 2026. The applicant will be responsible for all applicable approvals and permits from other agencies and departments for the proposed use.

#### **SPECIAL LAND USE REVIEW – Applicable Site standards**

In addition to a finding by the Planning Commission and Township Board that the criteria above have been satisfied, Section 3.24.10. (Notes to District Standards) applies to the proposed use (two family dwelling) regarding the minimum required floor area of each dwelling unit in a multiple family structure. The same standard is outlined in Section 3.1.12 (LC Zoning Standards). The standard is listed below followed by staff's findings.

#### **Notes to District Standards (Section 3.24.10.)**

Minimum required floor area per dwelling unit in a multiple family structure shall be as follows:

- A. Efficiency apartment: 400 sq. ft.
- B. One bedroom apartment: 650 sq. ft.
- C. Two bedroom apartment: 850 sq. ft.
- D. Three bedroom apartment: 1,050 sq. ft.

An additional one hundred square feet shall be added to the minimum floor area requirement for each bedroom in excess of three (3) bedrooms in the dwelling unit.

The proposed multiple family structure has two (2) dwelling units. Each dwelling unit is approximately 978 square feet in area (useable living area) and has two (2) bedrooms. Each dwelling unit complies with Section 3.24.10. for the required minimum floor area.

As a note of information, The Hartland Township Zoning Ordinance provides a definition of Floor Area, Usable Residential, under Section 2.2.100 as follows:

*Floor Area, Usable Residential: The gross floor area minus areas in basements, unfinished attics, attached garages, and enclosed or unenclosed spaces.*

#### **SITE PLAN REVIEW – Applicable Site Standards**

The applicable site standards include those standards related to the LC (Limited Commercial) zoning district, as outlined in Section 3.1.12 (LC – Limited Commercial); Section 3.17 (Utilities in Specific Zoning Districts); Section 3.20 (Architecture in LC District); Section 3.21 (Sidewalks in the LC District); and Section 3.24.11. (Side Setbacks in the LC District).

#### **Impact Assessment**

An impact assessment was not required.

**Traffic Generation**

Traffic generation information was not required.

**Dimensional Requirements (LC- Limited Commercial; Section 3.1.12)**

**Lot Size (Sec. 3.1.12. E.)**

- Required – Same as existing lots or existing building if re-use
- Proposed – 0.227 acres
- Meets Requirement? – Yes
- Comment – (none)

**Frontage (Sec. 3.1.12.E.)**

- Required – Same as existing lots or existing building if re-use
- Proposed – 66 feet
- Meets Requirement? – Yes
- Comment – (none)

**Building Setbacks (Sec. 3.1.12.E.)**

| Setback       | Required              | Proposed | Meets Requirements?<br>(Y / N) |
|---------------|-----------------------|----------|--------------------------------|
| Front (west)  | Same as existing lots | 43'      | Yes                            |
| Rear (east)   | Same as existing lots | 48'      | Yes                            |
| Side (north)* | Same as existing lots | 9.5'     | Yes                            |
| Side (south)* | Same as existing lots | 9.5'     | Yes                            |

\*See Section 3.24.11. for side setback in LC where abutting a residential district

**Building Height (Sec. 3.1.12.E.)**

- Required – 35 feet or 2½ stories, whichever is less
- Proposed – 14'-6" (one story)
- Meets Requirement? – Yes
- Comment – (none)

**Lot Coverage (Sec. 3.1.12.E.)**

Lot coverage is not specified for the LC district.

**Utilities in Specific Zoning Districts (Sec. 3.17.2. – for LC District)**

- Required – An approved sanitary sewage disposal system is required for all development in the LC district. An approved public water supply is required if such system is available.
- Proposed – Connection to the municipal sanitary sewer main along Avon Road.
- Meets Requirement? – Yes
- Comment – Municipal water is not available for this lot thus the lot will be served by a private well (water) system.

**Architecture in the LC District (Sec. 3.20)**

The applicable standard for the proposed project, a residential structure, is Section 3.20.1. The other standards listed in this section pertain to commercial structures.



**Section 3.20.1.**

- Required – Buildings shall possess architectural variety but enhance the overall cohesiveness and historic settlement character.
- Proposed – One-story duplex structure (residential use)
- Meets Requirement? – Yes
- Comments – The architecture and façade materials are consistent with the surrounding residential structures in the Village of Hartland. The proposed façade materials include a combination of James Hardie cement siding products such as horizontal siding, sheeting with trim to simulate board and batten pattern, and cedarlike shakes. The roof has fiberglass asphalt shingles. The colors of the façade materials are not provided.

**Sidewalks in the LC District (Sec. 3.21)**

- Required – Sidewalks shall be provided along all public streets. All uses shall provide pedestrian links between public sidewalks and building entrances.
- Proposed – 4-foot-wide sidewalk along the frontage of the parcel
- Meets Requirement? – Yes
- Comment – (none)

**Side Setback (Sec. 3.24.11.)**

- Required – 15-foot side setback where walls of structures face interior side lot lines and contain windows or other openings. If the lot abuts a residential district, a side setback of 20 feet is required.
- Proposed – 9.5 foot setback on each interior side lot line (north and south lot lines;) sliding glass doors are proposed on the south and north elevations.
- Meets Requirement – TBD
- Comment – Per Section 3.1.12. E. (LC Development standards), a minimum side yard setback is not stated; the side yard setback requirement is stated as “same as adjacent lots or existing building if re-use.” The adjacent properties to the north and south are zoned LC and are currently occupied by buildings with office or commercial uses. The Planning Commission to determine if the proposed side yard setback of 9.5 feet on the north and south meets the intent of the Ordinance.

**Water Supply and Wastewater Disposal (Sec. 5.16)**

Currently the site is not developed and is not served by municipal water and sanitary sewer. The applicant is pursuing a connection to the existing municipal sanitary sewer main along Avon Street. Municipal water is unavailable for this site, and a private well water system will be required, via applicable permits and approvals from the Livingston County Health Department.

**Other Requirements-Zoning Ordinance Standards/Comments**

No other requirements at this time.

**Hartland Township DPW Review**

The DPW Director has provided a review letter dated August 11, 2026, and recommends approval subject to the items being addressed in the review letter.

**Hartland Township Engineer’s Review (SDA)**

The Township Engineer (SDA) has reviewed the plans and recommends approval subject to items being addressed in the letter dated April 27, 2026.

**Hartland Deerfield Fire Authority Review**

The Hartland Deerfield Fire Authority has reviewed the plans and has no concerns at this time, as noted in the letter dated April 27, 2026.

**Attachments:**

1. Hartland Township DPW review letter, dated 08.11.2026 – PDF version
2. Township Engineer (SDA) review letter dated 04.27.2026 – PDF version
3. Hartland Deerfield Fire Authority review letter dated 04.27.2026 – PDF version
4. Applicant's SUP criteria summary email dated 08.13.2026 – PDF version
5. Section 3.1.12 LC (Limited Commercial) Standards – PDF version
6. Avon Duplex Plans – PDF version
7. Avon Duplex Color Elevations 04.15.2026 – PDF version

**CC:**

SDA, Twp Engineer (via email)

S. Hable, Twp DPW Director (via email)

A. Carroll, Hartland FD Fire Chief (via email)

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## DEPARTMENT OF PUBLIC WORKS

Scott Hable, Public Works Director  
2655 Clark Road  
Hartland MI 48353  
Phone: (810) 632-7498

TO: Planning Department  
DATE: 8/11/2026  
DEVELOPMENT NAME: Avon Duplex  
PIN#: 4708-16-101-125  
APPLICATION #: SUP #26-006  
REVIEW TYPE: Site Plan

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The Department of Public Works (DPW) has reviewed the site plans for the proposed Avon Street Duplex. This proposed duplex will feature, 2, 2 bedroom units. Multi-family dwellings that are two bedroom require 0.7 REU's each. Therefore, the entire duplex will need 1.4 sewer REU's. As this property will be on a well water system, no water REU's will be required. Parcel 4708-16-101-125 does not have any REUs assigned to it.

|                       | Sewer REUs         | Water REUs |
|-----------------------|--------------------|------------|
| Owned                 | 0                  | 0          |
| Required              | 1.4                | 0          |
| # REUs Needed         | 1.4                | 0          |
| Cost Each             | \$9,439.20         | \$5,816.01 |
| Total Due Each        | \$13,214.88        | \$0        |
| <b>TOTAL REU COST</b> | <b>\$13,214.88</b> |            |

Public Works approves the above plans subject to applicant securing the required number of REUs and the inclusion of the following details on the site plans and construction plans:

1. All review is subject to approval and must comply the Livingston County Drain Commission standards.
2. All Utility easements noted as public as well as a monitoring manhole if so, required by the Livingston County Drain Commission
3. Notes to indicate that all existing utility infrastructure within the development envelope will be required to be upgraded to the current design and engineering standards.

\*A meter, horn, and MXU sending unit will need to be purchased from the township to be installed on the incoming well water line to the duplex to calculate sewer usage.\*

Please feel free to contact me with any further questions or comments regarding this matter, and thank you for your time.

Scott Hable  
Public Works Director

April 27, 2026

Mr. Troy Langer  
Planning Director  
Hartland Township  
2655 Clark Road  
Hartland, Michigan 48353

**Re: Residential Duplex – Site Plan Review**  
**SD Job#HL26103**  
**SUP #26-006**

Dear Mr. Langer:

We have reviewed the site plan submittal that includes a sketch and aerial for the above referenced project prepared by the applicant received on April 21, 2026. We have the following comments:

General

The subject site is an existing vacant located on the east side of Avon St. The site is approximately 0.22 acres with Parcel ID 08-16-101-125. The proposed project included a duplex building.

A. Water Main

There is no proposed public main near the site. It is anticipated that the building will be served by a well. All wells shall be approved by the Livingston County Health Department or other applicable authorities.

B. Sanitary Sewer

The township records indicate an existing 8-inch gravity main along Avon St. It shall be confirmed if a new lead connection shall be made or if there is an existing stub available for connection. All sanitary sewer design requirements are to follow current Livingston County Drain Commissioner's (LCDC) standards and details.

C. Storm Drainage

It shall be confirmed how the drainage will be addressed for the proposed building. Per Township standards, the grading of the development shall not create drainage problems, or make existing drainage problems worse, on adjacent property.

D. Site Paving

All proposed work within the Avon St ROW will require a permit from Livingston County Road Commission. The maximum allowable slope on the driveway shall be 8.0%.

Please be aware that additional comments may arise with the submittal of additional plans and information.

**Site Plan Review Recommendation**

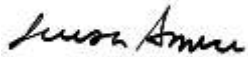
Overall, there are no evident issues with the construction plan from an engineering perspective. Future reviews will provide detailed analysis of the proposed improvements.

The comments are not necessarily conclusive. The site plan and final engineering plans for this development are to be prepared in accordance with the Hartland Township Engineering Design Standards and the latest Hartland Township Standard Details.

If you have any questions regarding this matter, please contact our office at your convenience.

Sincerely,

**SPALDING DEDECKER**



Luisa Amici  
Engineer



Mark Collins, PE  
Project Manager

cc: Martha Wyatt, Hartland Township Planning Planner - Landscape Architect (via email)  
Scott Hable, Hartland Township Public Works Director (via email)



HARTLAND DEERFIELD FIRE AUTHORITY  
**HARTLAND AREA FIRE DEPT.**

3205 Hartland Road  
Hartland, MI. 48353-1825

Voice: (810) 632-7676  
E-Mail: [firemarshal@hartlandareafire.com](mailto:firemarshal@hartlandareafire.com)

April 27, 2026

To: Hartland Township Planning

Re: Duplex on Avon St.

The Hartland Deerfield Fire Authority has reviewed the Site Plan for a Duplex on Avon St. with a parcel number of 4708-16-101-125.

Based on the information provided, the Fire Department does not have any comments at this time.

A handwritten signature in black ink, reading "Jon Dehanke".

Jon Dehanke  
Fire Marshal

## Martha Wyatt

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**To:** Martha Wyatt  
**Subject:** FW: Duplex / Avon street

Sent: Thursday, August 13, 2026 10:38 AM  
To: Martha Wyatt <MWyatt@hartlandtwp.com>  
Subject: Duplex / Avon street

Morning Martha, here is my brief response regarding the special use questions A through E. My proposed duplex unit will be a single-story unit with about 1000 square foot per side. The unit architectural looks will be similar to the corner home arts and crafts theme. This I feel would blend nicely with that existing home next to my proposal and also the existing homes in the village. I am also contemplating using a green exterior collar theme to help accomplish this. The units will have a cement driveway for ample parking along with a side porch on each side with a privacy fence for grilling or relaxation. The exterior of the units will also have cement decks with a privacy fence. This should help blend the unit with the quant look and feel of the Hartland village. The units will be properly landscaped and maintained. The intent is to have longer term rentals for professionals, nurses ect., that commute to areas for needs of local hospitals or businesses.

Since I have been a Hartland citizen since 1967 I will make sure that the duplex unit will harmoniously fit in with the village of Hartland and hopefully the comprehensive plans.

## 3.1.12

## LC Limited Commercial

## A. INTENT

The intent of the “LC” Limited Commercial District is to provide for meaningful and realistic commercial utilization of appropriate portions of the settlements of Hartland and Parshallville while preserving the small town architectural character, mixture of uses, compact layout and historical nature of each community. In order to carry out this purpose only those uses and styles of architecture and landscaping existing, typical and amenable to the era during which these two settlements were developing shall be permitted in this district. More specifically, the Limited Commercial District is intended to achieve the following objectives:

- Implement the Village Commercial future land use category recommendations of the Comprehensive Plan.
- Encourage development which is consistent with the density and design of existing traditional settlement development.
- Provide a land use transition between the settlement areas and the more rural areas of the township.
- Establish a complimentary and integrated mixture of employment, shopping, entertainment and civic uses which create walkable communities with less reliance on automobile travel.
- Create district community centers and focal points in the township.
- Help ensure a consistent architectural theme without restricting innovative design.
- Integrate public gathering places.
- Promote long term viability in the established settlement areas.
- Enable development and redevelopment to occur in a manner that will be compatible with the existing and new settlement environments.



**User Note:** For uses listed in **bold blue**, refer to Article 4, or click on use, for use-specific standards

## B. PRINCIPAL PERMITTED USES

- i. Single family dwellings<sup>■</sup>
- ii. Retail stores containing less than 2,000 square feet of gross floor area, including:
  - a. Food and beverage stores
  - b. Food and beverage service establishments
  - c. Personal service establishments
  - d. Banking and financial institutions without drive-through service
  - e. Repair shops for bicycles, appliances, shoes, jewelry, small motors, and other such items but not motor vehicles
  - f. Music/dance studios and technical or vocational training facilities
- iii. Professional offices containing less than 3,000 square feet of gross floor area
- iv. Public buildings, post offices, libraries, libraries, community centers but not including warehouses, garages, or storage areas
- v. **Essential public service buildings, excluding storage yard** §4.26
- vi. **Outdoor seating and dining areas** §4.47

## C. ACCESSORY USES

- i. **Accessory buildings, uses and activities customarily incidental to any of the above-named principal permitted uses** §5.14

## D. SPECIAL LAND USES

- i. Two family dwellings<sup>■</sup>
- ii. Apartments
- iii. **Bed and breakfast facilities**<sup>■</sup> §4.18
- iv. Any principal permitted non-residential uses, except office-type uses, containing between two thousand (2,000) and three thousand (3,000) square feet of gross floor area
- v. **Outdoor retail sales or display, when accessory to a permitted use** §4.38
- vi. Any principal permitted professional offices containing between three thousand (3,000) and five thousand (5,000) square feet of gross floor area
- vii. **Adult day care facilities**<sup>■</sup> and **child care centers**<sup>■</sup> §4.12
- viii. Private clubs<sup>■</sup> and fraternal halls
- ix. **Churches and religious institutions**<sup>■</sup> §4.20
- x. **Public & private elementary, intermediate or high schools** §4.42
- xi. **Automobile repair - minor (provided all work is conducted indoors)** §4.60
- xii. Personal fitness centers<sup>■</sup>
- xiii. Uses of the same nature or class as uses listed in this district as either a permitted Principal Use or a Special Use, but not listed elsewhere in this Zoning Ordinance, as determined by the Planning Commission.





## E. DEVELOPMENT STANDARDS

### Lot Size

|                                  |                                                      |
|----------------------------------|------------------------------------------------------|
| Minimum lot area <sup>Ⓐ</sup> :  | Same as adjacent lots or existing building if re-use |
| Minimum lot width <sup>Ⓐ</sup> : | Same as adjacent lots or existing building if re-use |

### Setbacks<sup>Ⓐ</sup>

|                             |                                                      |
|-----------------------------|------------------------------------------------------|
| Minimum front yard setback: | Same as adjacent lots or existing building if re-use |
| Minimum rear yard setback:  | Same as adjacent lots or existing building if re-use |
| Minimum side yard setback:  | Same as adjacent lots or existing building if re-use |

### Building Height<sup>Ⓐ</sup>

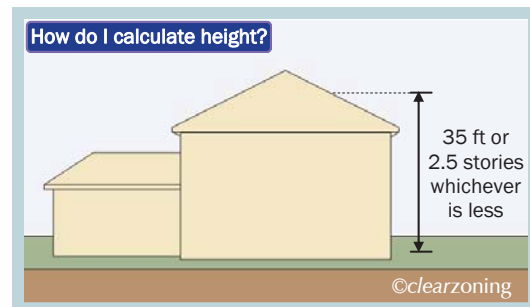
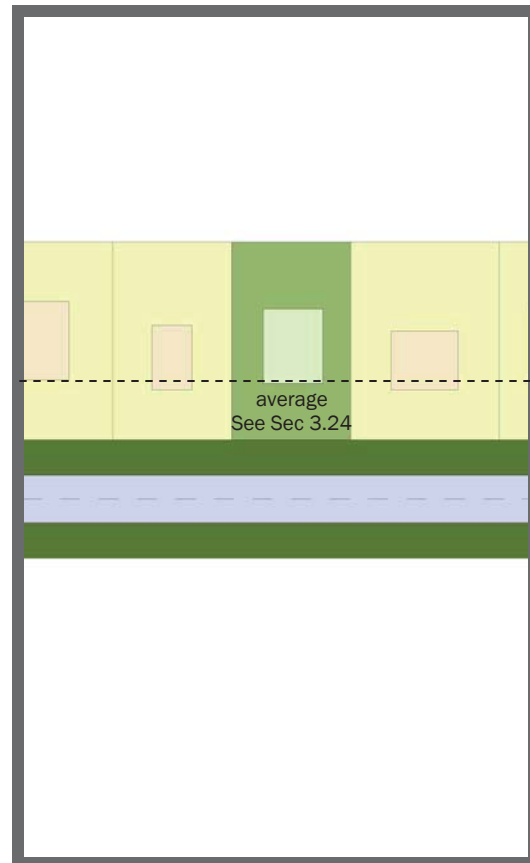
|                          |                                           |
|--------------------------|-------------------------------------------|
| Maximum building height: |                                           |
| Principal building       | 35 ft or 2.5 stories<br>whichever is less |
| Accessory structure      | 15 ft or 1 story                          |

### Floor Area<sup>Ⓐ</sup>

|                                                |              |
|------------------------------------------------|--------------|
| Minimum floor area per dwelling <sup>Ⓐ</sup> : |              |
| Efficiency apartment:                          | 400 sq. ft   |
| One bedroom apartment:                         | 650 sq. ft   |
| Two bedroom apartment:                         | 850 sq. ft   |
| Three bedroom apartment:                       | 1,050 sq. ft |

### NOTES

- For additions to the above requirements, refer to Section 3.24: 1, 5, 8, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 24, 27, 28.
- See *Suggested References* below for applicability



The above drawings are not to scale.

## SELECTED REFERENCES

### 3. Zoning Districts

- **LC District Standards** §3.19
- **Architecture in the LC District** §3.20
- **Sidewalks** §3.21
- **Utilities** §3.17.2
- **Single Family Lot Coverage Exemption** §3.25

### 5. Site Standards

- **Sidewalks & Pathways** §5.12
- **Landscaping** §5.11
- **Lighting** 5.13
- **Off-Street Parking and Loading Requirements** §5.8.4.H.ii
- **Access Management and Driveways** §5.10
- **Walls and Fences** §5.20
- **Performance Standards** §5.19
- **Architectural Standards** §5.24

### 6. Development Procedures

- **Site Plan Review** §6.1
- **Traffic Impact** §6.5
- **Special Use Review** §6.6

### 7. Admin. and Enforcement

- **7.3 - 7.8**

1 Purpose and Introduction

2 Definitions

3 Zoning Districts

4 Use Standards

5 Site Standards

6 Development Procedures

7 Admin and Enforcement





# GENERAL CONSTRUCTION NOTES

- All work to be performed in conformance to the 2009 Michigan Residential Building code.
- All local, state, and national codes are to be strictly adhered to.
- Builder/Architect and Homeowner to meet as needed to keep the project moving forward towards completion. All final decisions will have approval of the Homeowner
- Truss and TJI manufacturers drawings must be on site at all times with erection specifications and for rough and final building.
- Construction Site Housekeeping: Rubbish and debris shall not be allowed to accumulate on construction site for any long periods of time. All debris generated by subcontractors and trades to be placed in dumpster or trash container supplied by them. Builder will supply containers.
- Sanitary Facility or Portable Toilet will be provided by Builder on site at all times.
- All trench footings will be 12" wide and extend 42" below grade and will have 2#4 re-steel bars placed 6" off bottom of concrete footing.
- Provide approved anchor straps for 2x6 pressure treated plates at least 24" from corners and every 48" o.c. Anchor straps to be embedded 7" into concrete minimum.
- Poured Concrete Walls to be 10" wide and 9 feet tall and poured with a 6 bag concrete mix per yd. Provide a single reinforcing bar at mid point and top 1 foot horizontally and continuous.
- Concrete pad footings to be 20" wide and 10" tall and be poured with 6 bag mix and 2#4 re-steel bars horizontally and continuous.
- Provide large 24" tall anchor straps at each side of entrance to garage doors and straps to be embedded into concrete footing below. Anchor strap nail holes to be filled with approved fastening nails.
- Windows to be Andersen 400 Series windows and meet all egress and tempering requirements by the code. Windows will be equipped with opening limitation devices where lower clear opening of window is less than 24" above finished floor and the exterior vertical distance is 72" or greater. A 4" max opening hold open device will be installed and an override mechanism will be available on windows that serve as a means of egress.

- Stair requirements: Stair risers shall not be greater than 8 1/4" and treads not less than 9" with a nosing of not less than 1/4" or greater than 1 3/4". Handrails shall be 34" to 38" on a stair tread climb, measured vertically from front of nosing. Maximum allowable opening will be 4" between balusters. Stair landing dimensions shall not be less than 3 feet x 3 feet. Stairs must meet these geometry requirements and the riser heights must be consistent in a stair case rise within 3/8" of one another.
- Graspable handrail must be installed on stairs with more than 3 risers. Handrail shall extend from the top riser to the bottom riser and must be returned at each end back to the wall. The installation height shall be between 34" and 38" measured vertically above the front of the stair tread nosing. Handrail must maintain a 1 1/2" clearance below the handrail and any object including wall for the entire length of handrail.
- Guardrails shall be a minimum of 36" above finish floor (residential) and be able to withstand a 250# horizontal load.
- All interior stairways shall be provided with a means of illumination with controls at both top and bottom of stairway. All exterior lighting shall be controlled within the dwelling unless approved weatherproof switching is installed on exterior.
- Provide tempered glazing within 3 feet of all egress doors, with glass over allowable size, and within 3 feet of tubs. All shower doors to be tempered glass also.
- Provide necessary fireblocking at all required spaces to cut off all draft openings both horizontally and vertically and to form and effective fire barrier between stories and roof spaces. Under bathtubs dropped soffits, etc.
- Smoke alarms shall be wired and interconnected and have battery back up in all bedrooms in immediate vicinity of bedrooms and one per each story of dwelling including basement.
- An approved carbon monoxide detector shall be installed outside the immediate vicinity of all bedrooms.
- Every attic space greater than 30" of headroom shall have an attic access a min size of 22"x 30".

# GENERAL NOTES FLOOR PLANS

- All drywall installed will be 1/2" drywall on all walls and ceilings with 16" oc framing space and 5/8" drywall on all walls and ceilings with 24" oc framing.
- Provide type X drywall from garage to house fire separation. 1/2" drywall on walls and 5/8" drywall on ceiling.
- All Headers above doors and windows to be 2x10 minimum with a 2x bottom nailer for drywall. Install header where possible on outside edge of wall and to allow space on inside for insulation.
- All exterior walls to be 2x6 stud construction @ 16" oc with 7/16" osb exterior sheathing. Provide a continuous building wrap around home between heated space and exterior.
- All interior walls to be 2x4 wood studs @ 16" oc construction unless noted otherwise.
- Exterior stone veneer to be installed per manufacturers recommendations. In case of premanufactured stone veneer on top of building wrap vapor barrier, there will be 30# building felt wire mesh, parged with type s or better concrete and the stone veneer applied. Stone veneer to be applied with CSC-4 type mortar which has an adhesion additive in the mix. Veneer if dry stacked to have the joints as tight as possible.
- Wood sills and lumber in contact with masonry or concrete or less than 6" above grade to be pressure treated wood.
- Every sleeping space and basement with habitable space shall have at least one emergency escape window or door that meets the requirement for egress windows and doors.

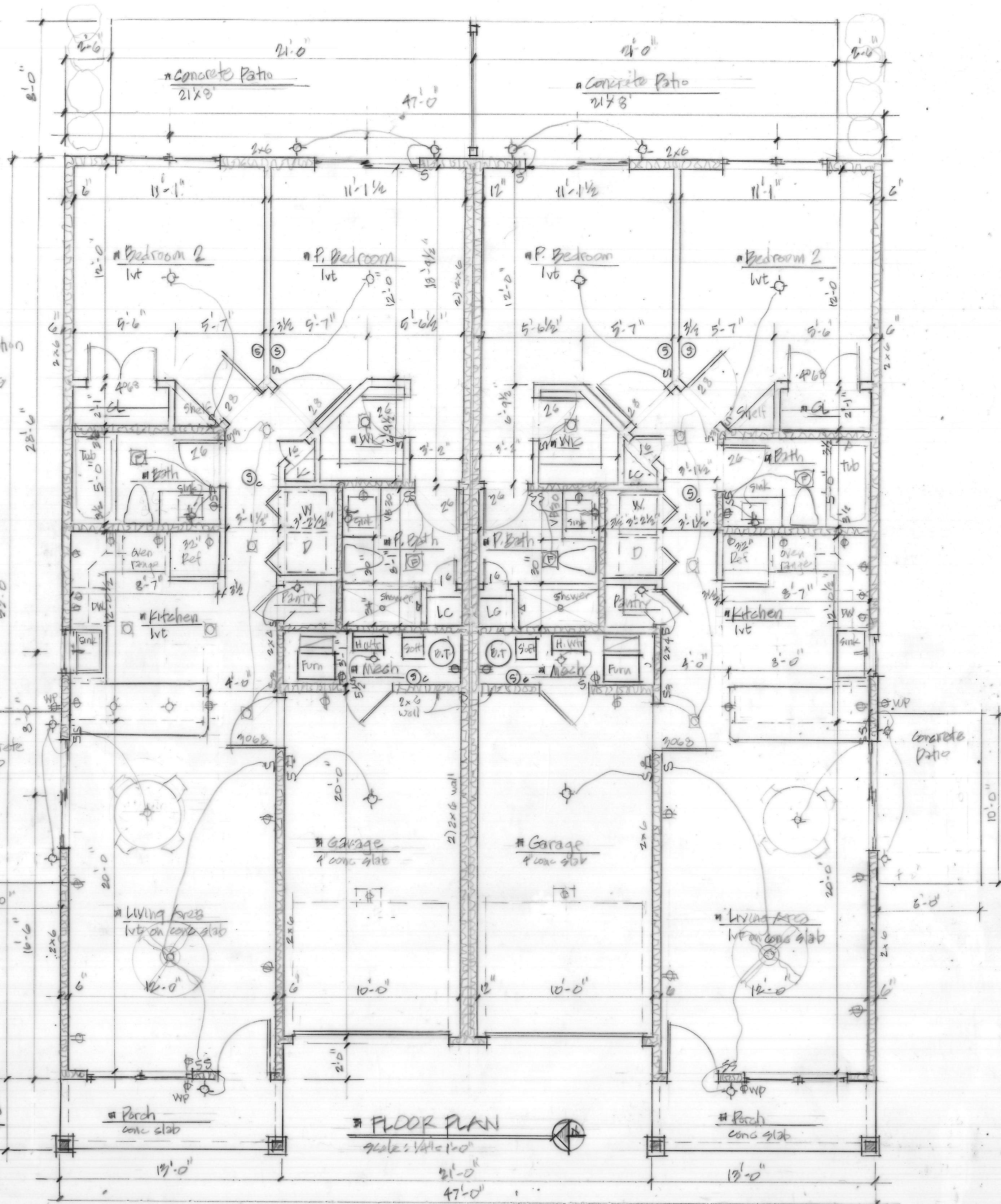
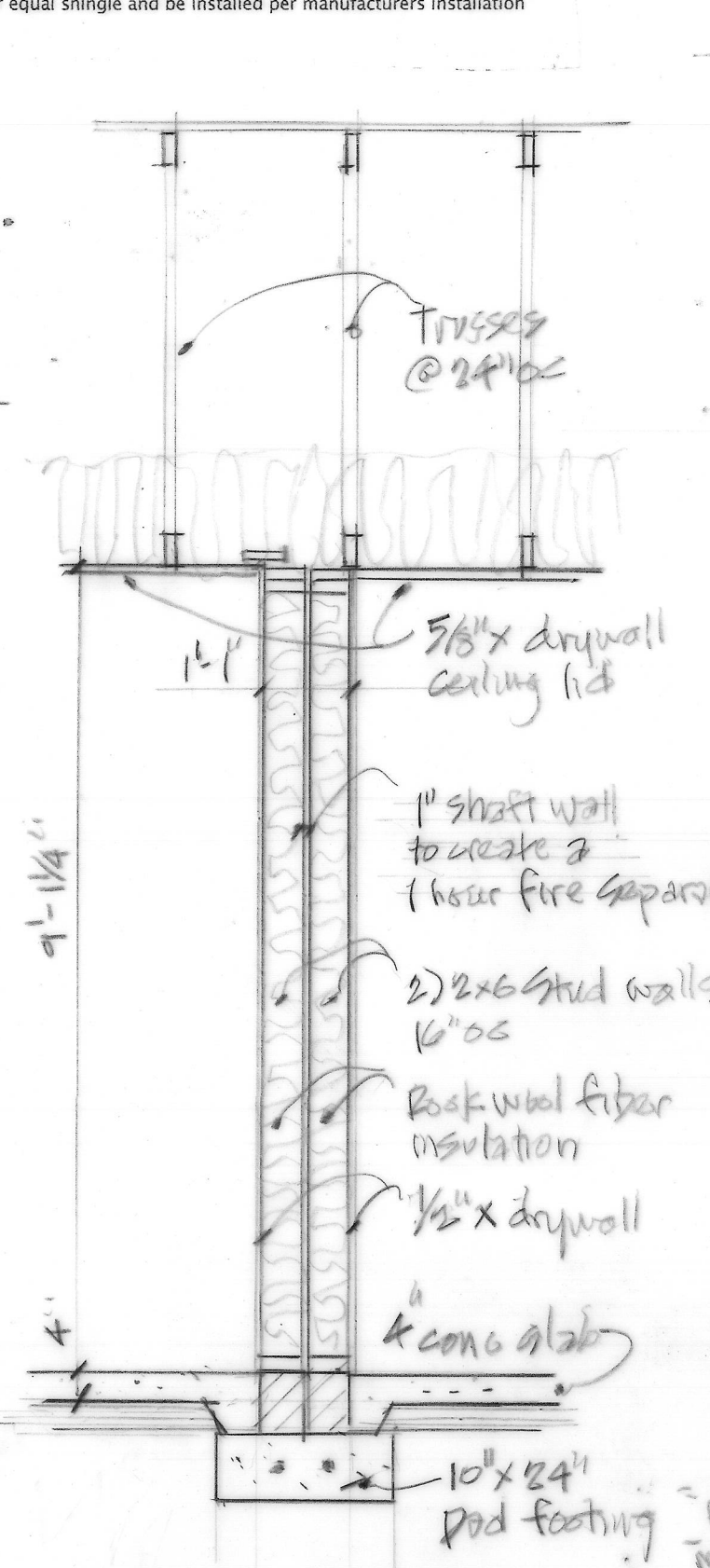
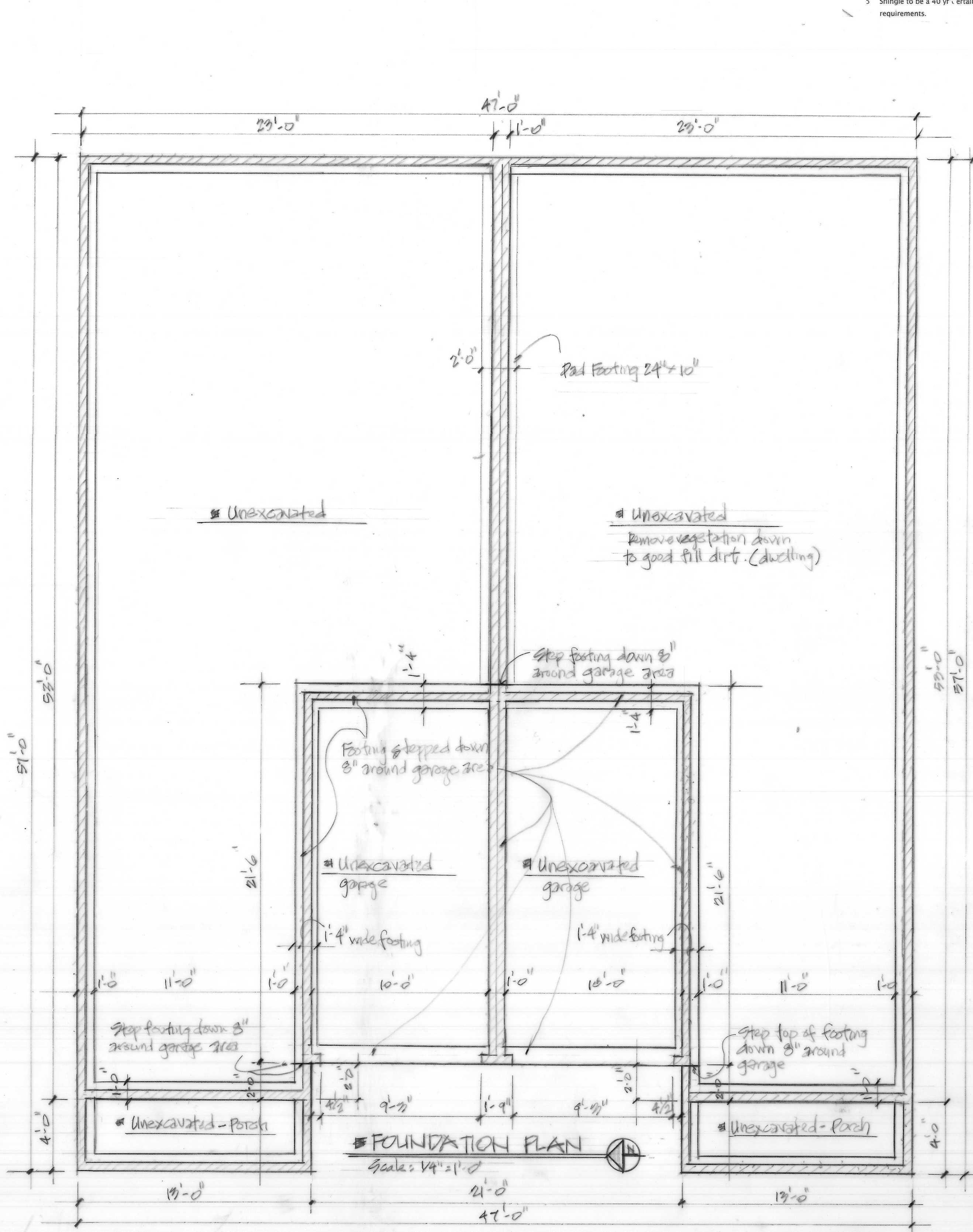
# ROOFING NOTES

- Provide ice and water guard at all eaves of roof. Extend ice and water guard 2 ft horizontally beyond the exterior heated wall.
- Install ice and water guard in all valleys at least 18" on either side if valley.
- Provide all necessary metal drip edge, face flashing, step flashing, and roofing mastic to make the roof water and ice proof.
- Provide continuous concealed ridge vent at a minimum of .12/f2 per lineal foot and continuous soffit or eave vent at .11/f2 per lineal foot. Provide attic ventilation at 1/150 f2 ratio of attic space. This can be reduced to 1/300 f2 ratio if ventilation provided has 50 to 80% of ventilation through top ridge (higher than 3 ft above eave vent) and balance can come from eave vent.
- Shingle to be a 40 yr warranted or equal shingle and be installed per manufacturers installation requirements.

# Andersen NFRC Certified Total Unit Performance - 100 Series Windows and Patio Doors

For current performance information please visit [andersenwindows.com](http://andersenwindows.com).

| U-Factor       | SHGC | Visible Transmittance |
|----------------|------|-----------------------|
| Without Glides | 0.30 | 0.32                  |
| With Glides    | 0.30 | 0.32                  |
| Without Glides | 0.29 | 0.31                  |
| With Glides    | 0.29 | 0.31                  |
| Without Glides | 0.28 | 0.30                  |
| With Glides    | 0.28 | 0.30                  |



PROJECT

**CONSTRUCTION DRAWINGS**

Plan Plan / Foundation Plan / Notes

OWNER

**DUPLEX RESIDENCE**

144 U.C. / PAUL MIKA

4450 Sunny Lake Dr.

Hartland, Michigan 48031

**SHEET A-1**

REVISIONS

OWNER REVIEW 7/7/16

OWNER REVIEW 7/7/16

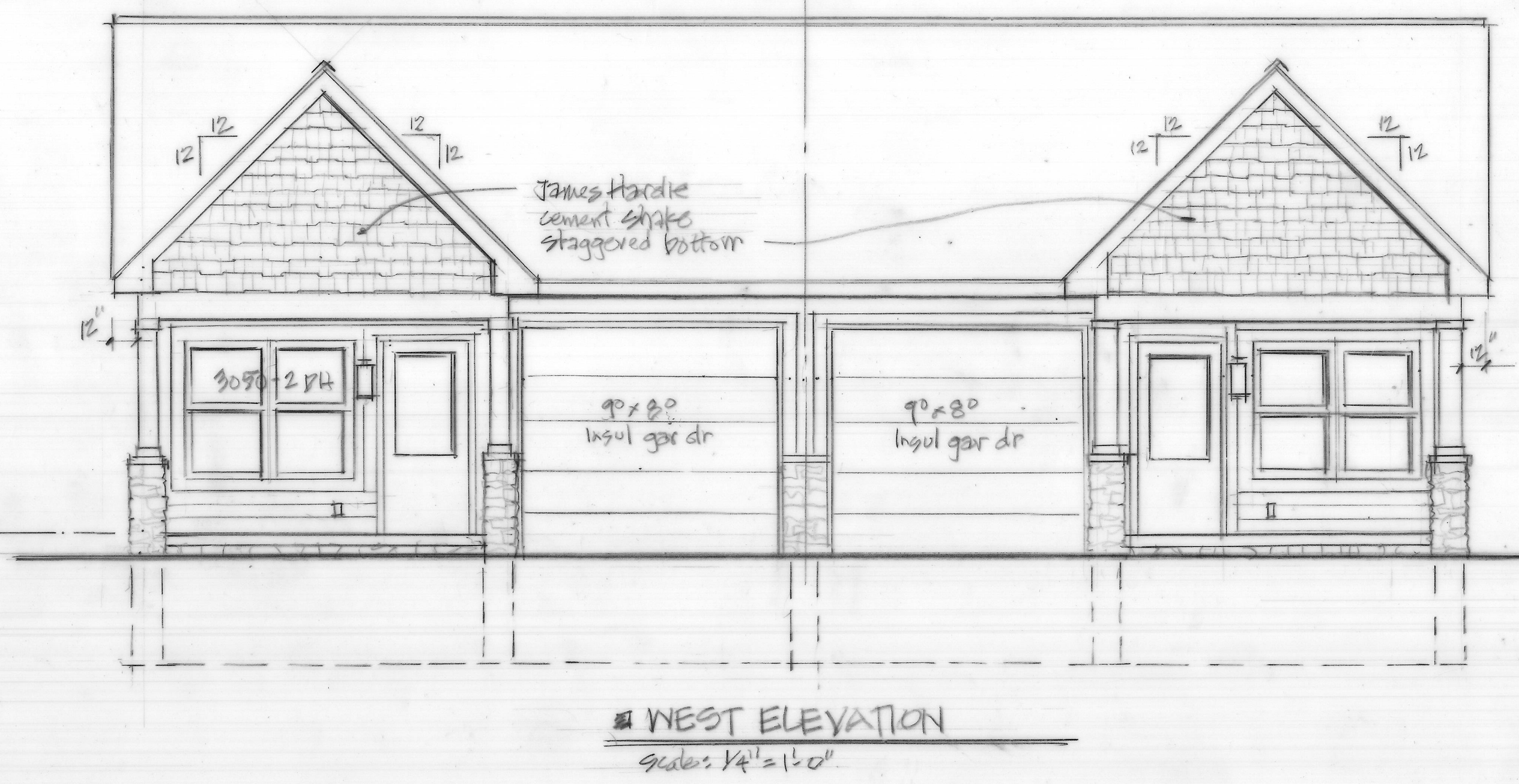
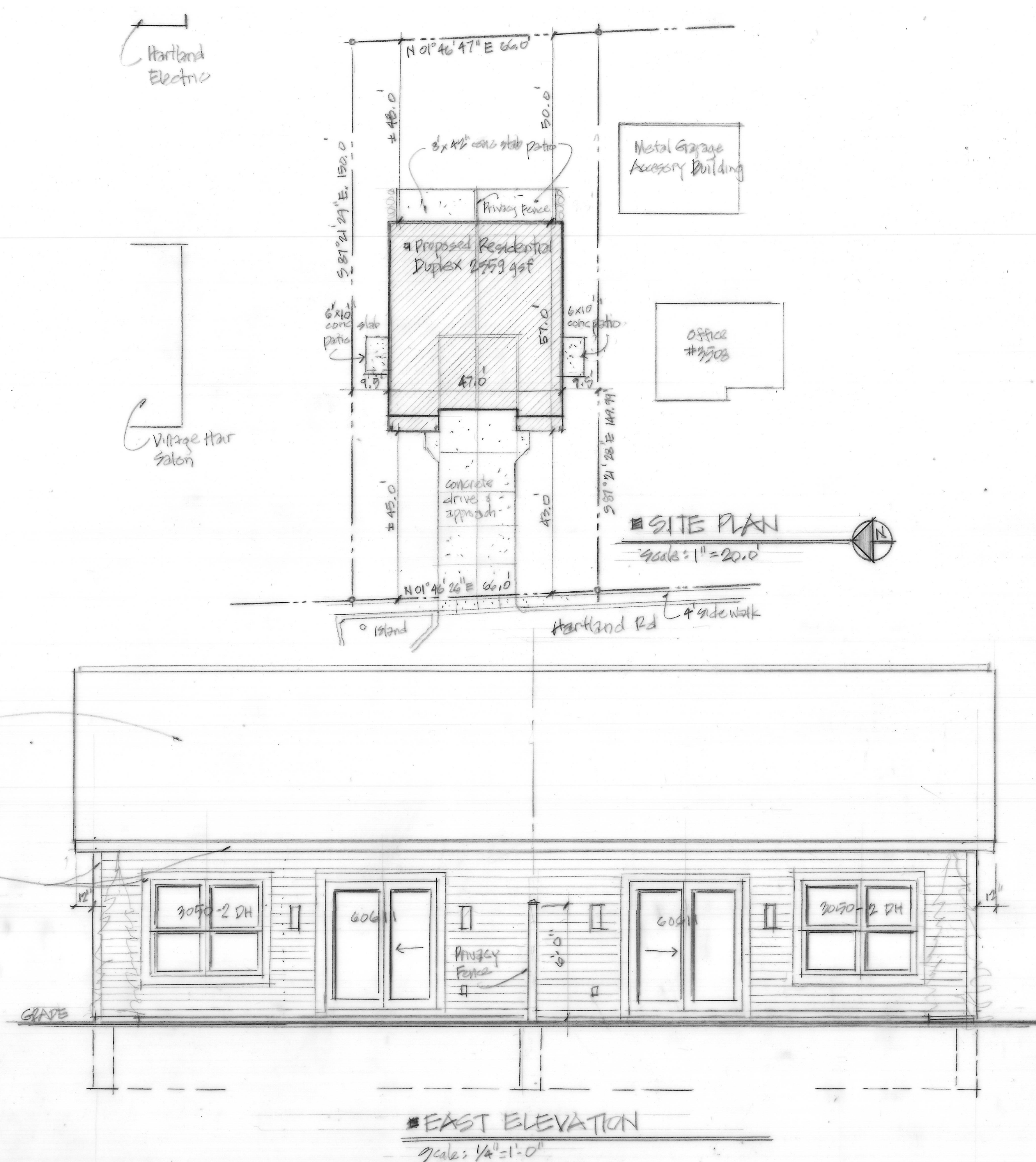
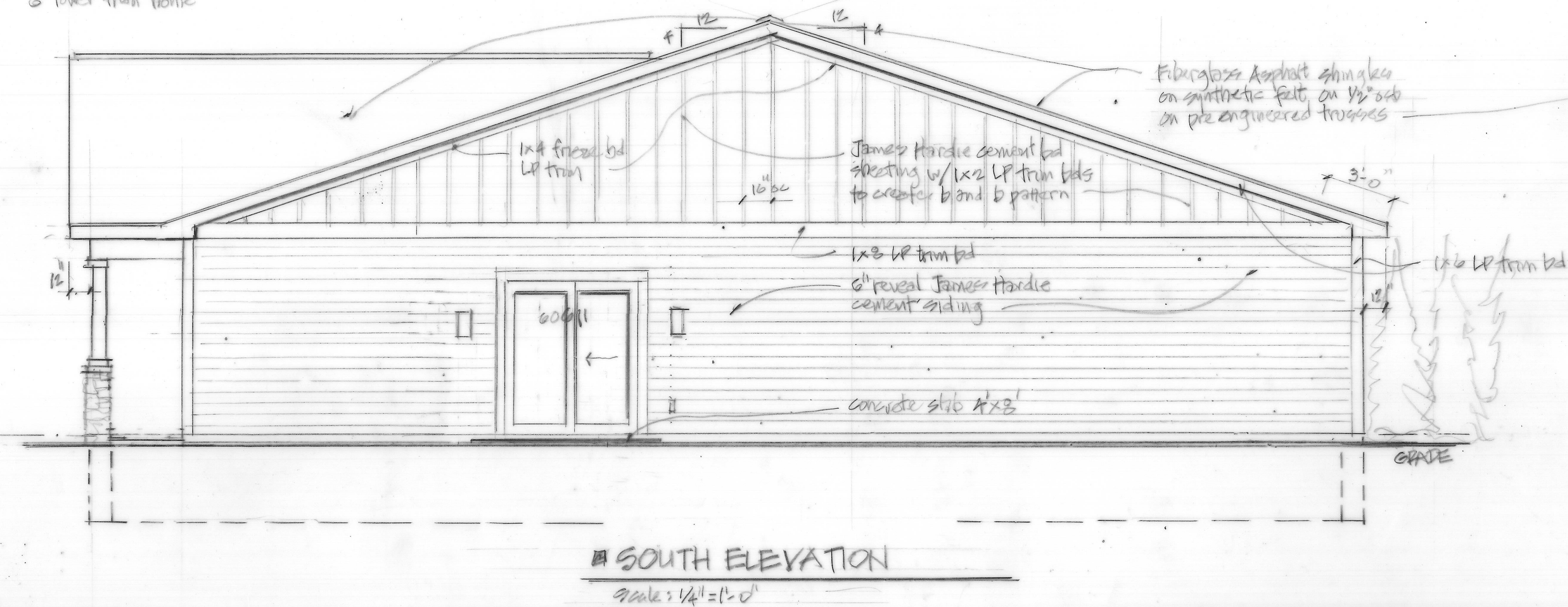
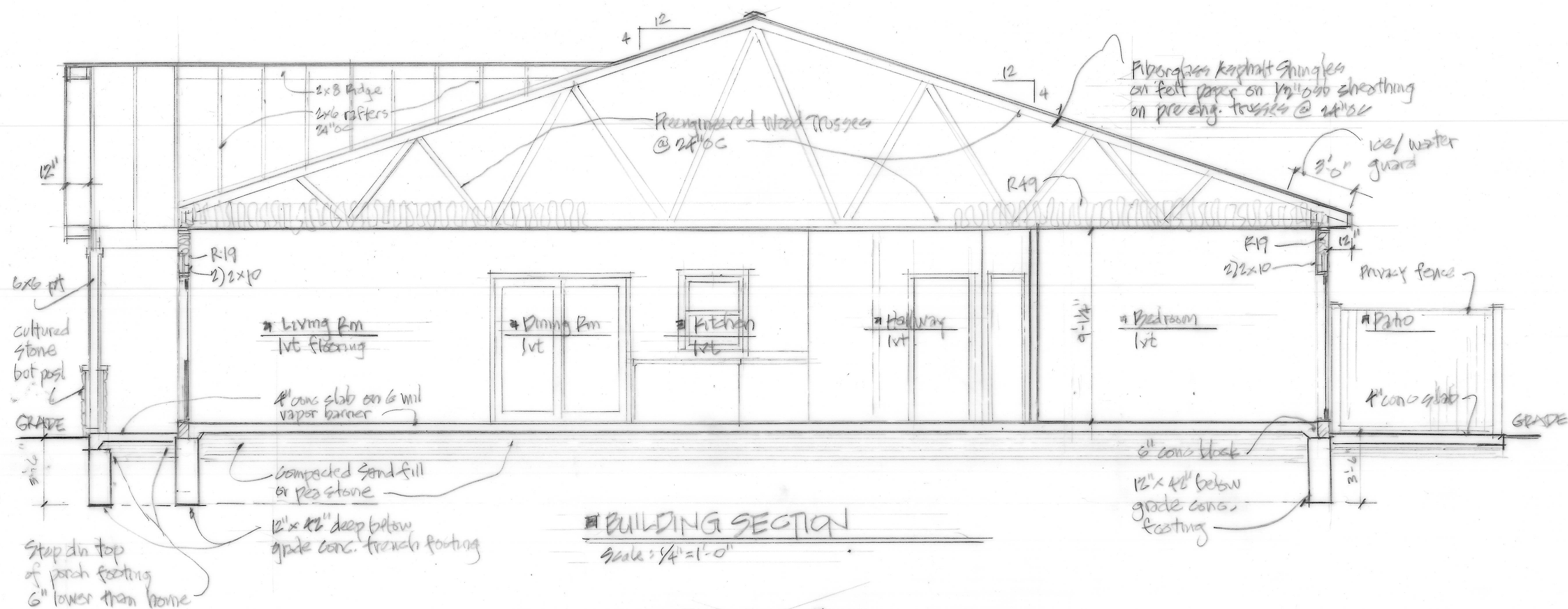
**Creative design & construction**

Architecture Design & General Contracting

Custom residential construction  
additions and remodeling  
general building maintenance

5494 cullen st.  
Hartland, Michigan 48031  
Cell: (888) 628-3021  
ksum548@gmail.com  
Kelly Summerfield





Project  
# ELEVATIONS, BUILDING SECTION  
# SITE PLAN

Project  
# DUPLEX RESIDENCE  
Hartland Rd  
Hartland, Michigan 48353

Owner  
# 144 LLC / PAUL MIKA  
4430 Sunny Lake Dr.  
Hartland, Michigan 48353

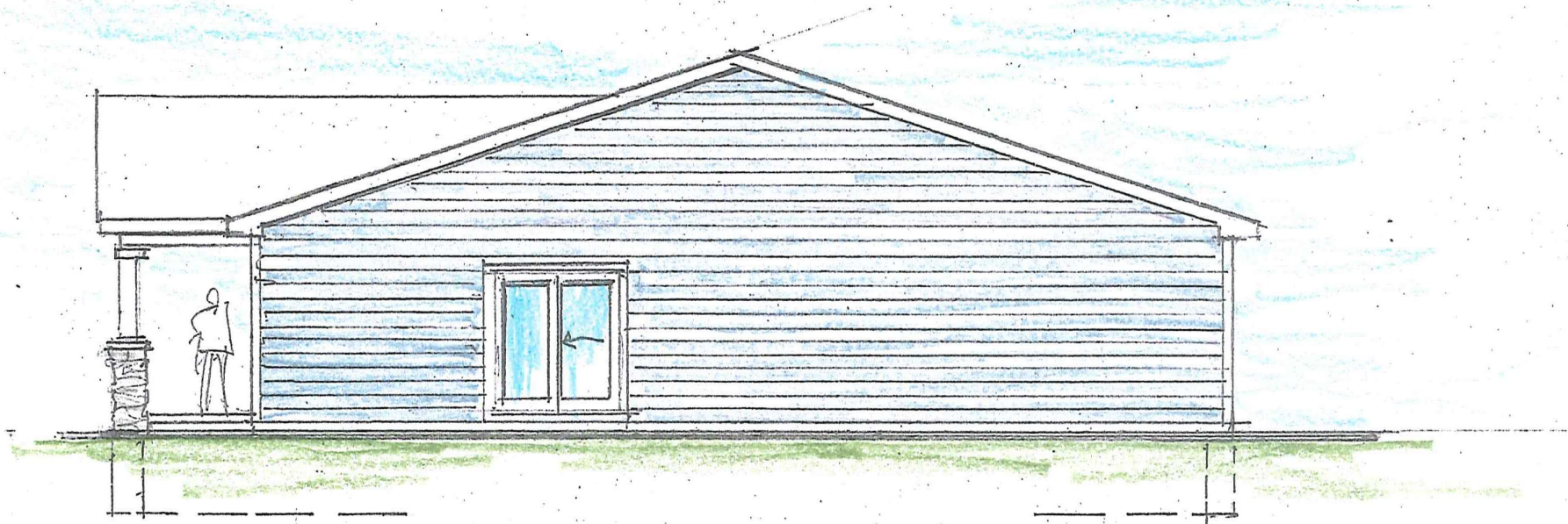
# SHEET A-2

# REVISIONS  
OWNER REVIEW 7/1/16  
OWNER REVIEW 7/17/16

Creative  
design &  
construction  
Architecture Design &  
General Contracting

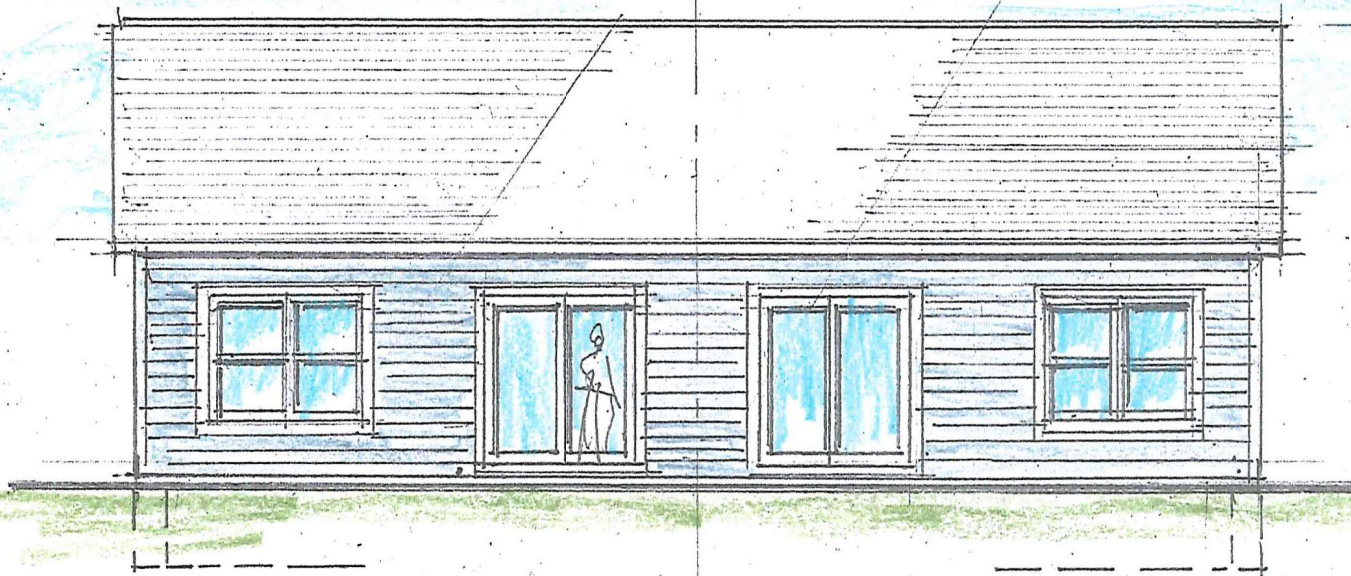
5454 Milton Rd.  
Farmington, Michigan 48330  
Cell: (888) 929-3628  
ksummit@icloud.com  
Kelly Summerfield





SOUTH ELEVATION

Scale:  $\frac{1}{8"} = 1'-0"$



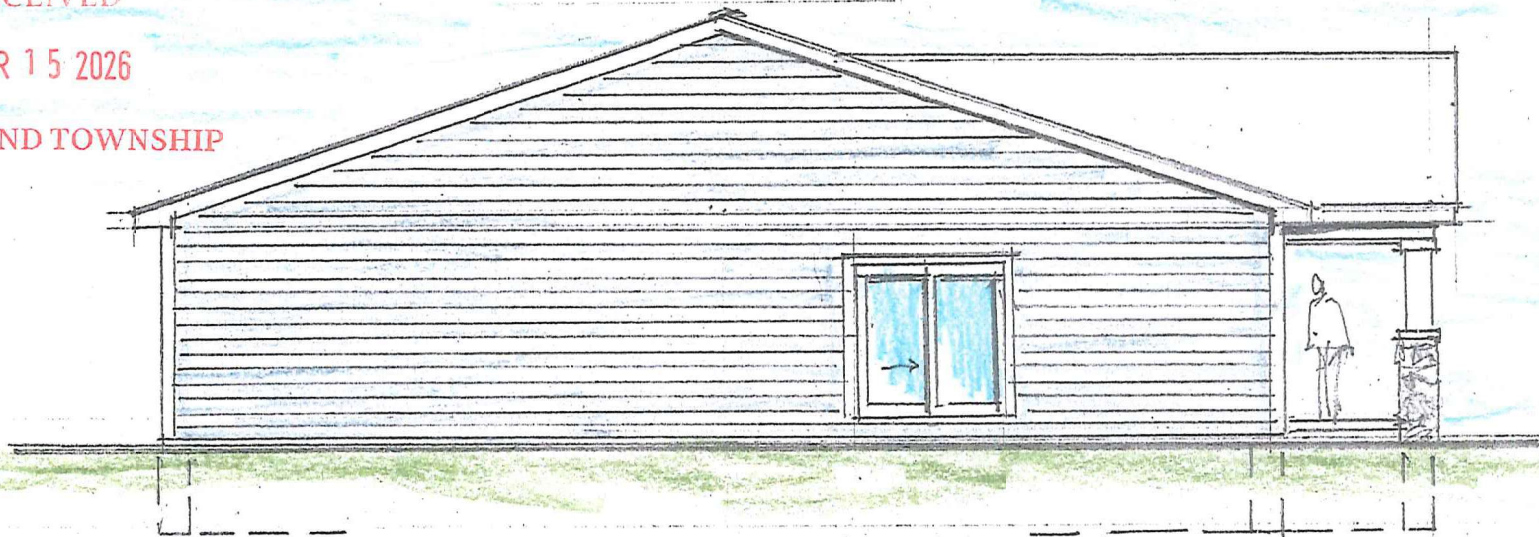
EAST ELEVATION



RECEIVED

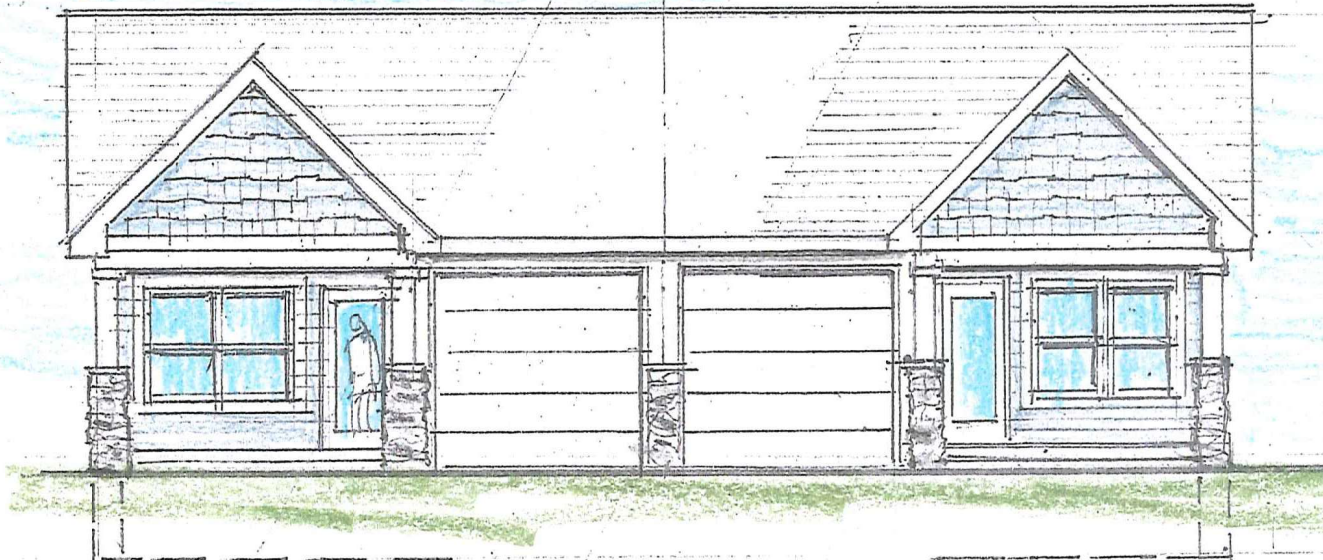
APR 15 2026

HARTLAND TOWNSHIP



NORTH ELEVATION

$9/16" = 1'-0"$



WEST ELEVATION