



## Planning Commission

Larry Fox, Chairperson	Summer L. McMullen, Trustee
Michael Mitchell, Vice-Chairperson	Sue Grissim, Commissioner
Tom Murphy, Secretary	Jim Mayer, Commissioner
	Matthew Eckman, Commissioner

**Planning Commission Special Meeting Agenda**  
**Hartland Township Hall**  
**Thursday, October 20, 2022**  
**7:00 PM**

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of the Agenda
5. Approval of Meeting Minutes
  - a. [Planning Commission Meeting Minutes of September 8, 2022](#)
6. Call to Public
7. Old and New Business
  - a. [Site Plan with Special Land Use Application #22-007 \(Automobile wash within completely enclosed building at 10382 Highland Road\)](#)
8. Call to Public
9. Planner's Report
10. Committee Reports
11. Adjournment

HARTLAND TOWNSHIP PLANNING COMMISSION **DRAFT** MEETING MINUTES

September 8, 2022– 7:00 PM

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1. **Call to Order:** Chair Fox called the meeting to order at 7:00 p.m.
2. **Pledge of Allegiance:**
3. **Roll Call and Recognition of Visitors:**  
Present – Commissioners Fox, Grissim, Mayer, McMullen, Mitchell, Murphy  
Absent – None
4. **Approval of the Meeting Agenda:**  
A Motion to approve the September 8, 2022 Planning Commission Meeting Agenda was made by Commissioner Mitchell. Seconded by Commissioner Grissim. Motion carried unanimously.
5. **Approval of Meeting Minutes:**
  - a. Planning Commission Meeting Minutes of August 25, 2022  
A Motion to approve the Meeting Minutes of August 25, 2022 was made by Commissioner Grissim and seconded by Commissioner McMullen. Motion carried unanimously.
6. **Call to the Public:**  
None
7. **Public Hearing:**
  - a. **Site Plan with Special Land Use Application #22-007 (Automobile wash within completely enclosed building at 10382 Highland Road)** a request to redevelop a commercial site and construct an approximate 6,500 square foot automobile wash, within a completely enclosed building, at 10382 Highland Road.

**Chair Fox opened the Public Hearing at 7:03 PM stating all public notice requirements for the Public Hearing have been met.**

Director Langer gave an overview of the location and scope of the request stating the following:

- Existing building located 10382 Highland Road, south of M59, east of US 23.
- Former Burger King site.
- Special Use Permit is required by the Ordinance for General Commercial.
- For a Special Use Permit the Planning Commission will make a recommendation; final approval will come from the Township Board.

Director Langer explained the site plan and layout of the site.

The Applicant, Max Buell, Engineer with Kimley-Horn and Raleigh Sadler representing Mister Car Wash introduced themselves.

**CALL TO PUBLIC:**

Barbara Krueger, Hartland Township; does not support another car wash as there are two already, did not care for the design, and feels construction at that location at this time would be irresponsible.

Chris Hall, owner of M59 Car Wash; concerned for his business as it is a local, family owned small business, Mister Car Wash is a big company and can put smaller operations out of business, concerned about the increased traffic, not going anywhere until they have to.

Tawny Hall, with M59 Car Wash; feels Hartland does not need three car washes within one-quarter mile, waste of resources, too much traffic now.

**Chair Fox closed the Public Hearing at 7:19 PM**

Chair Fox referred to the staff memorandum dated September 1, 2022

**SPECIAL LAND USE REVIEW – General Standards** – The Planning Commission had no additional comments.

**SPECIAL LAND USE REVIEW – Applicable Site Standards**  
**Automobile Wash Establishment (Section 4.17)**

**Layout**

Director Langer explained the layout in detail, specifically the location of the vacuuming activities stating historically, when the ordinance was written, car washes had large vacuum canisters and the desire was to not have those located in the front of the site. The system being proposed is different, there is no large canister at each station, only a nozzle and hose. The actual mechanical equipment for the vacuums is in a screened area to the rear of the site.

Chair Fox recounted when they reviewed the coin operated car wash and required the large canister vacuums to be located on the side or rear of the site. These vacuum stations are not like those. It is actually smaller than a fuel pump at a gas station. He said he is not opposed to it and also there will be landscape screening along Blaine Road which will cover most of them.

Commissioner Murphy asked if the Ordinance states the vacuums systems be located in the side or the rear, then it must be determined if the plan shows them in the side or the rear; if that is the case, even with the new design if they are to be screened because some might find them unsightly, then they should be located in the rear.

Commissioner Mayer concurred.

Commissioner Mitchel was not opposed to leaving them where are currently shown.

Commissioner Grissim stated she had nothing to add.

Commissioner McMullen stated she is not opposed to the style but as concerns about the noise as they are continuously on.

August 25, 2022 – 7:00 PM

The Applicant stated they are centrally powered and on continuously, but the noise is contained by the unit. One might hear some whistling but will not hear the vacuum itself until it is removed from the holster.

Commissioner Murphy asked if there is a decibel rating comparison for the two systems. The Applicant said he did not have that information, but he would ask the team and see if it could be provided.

Commissioner Mayer asked about the hours of operation. The Applicant stated Monday through Saturday 7:30 AM to 7:00 PM and 8:00 AM to 6:00 PM on Sundays. They are left on a little bit past closing as a service for their customers free of charge. Once the staff leaves, they are turned off.

Chair Fox stated again he is not opposed to having them where they are, they are quite different than the ones used when the Ordinance was written. He expects they certainly are not as loud as M59 or US 23 traffic.

The Planning Commission briefly discussed canopies over vacuum units.

Director Langer stated there is a setback from residential zoned property, but it is so far away he does not have a measurement of the distance.

### **Entrances and Exits**

Director Langer stated the following:

- Typically, a car wash is designed so the exit is at the street.
- Often, residual water can accumulate and, in the winter, create an ice hazard.
- This design has a drainage system to manage any residual water.

### **SITE PLAN REVIEW – Applicable Site Standards**

Chair Fox stated an Impact Assessment and Traffic Generation information was not provided but it is also not required for this project.

Commissioner Grissim asked if this use is more intense than the previous use of fast food vendor. Director Langer stated he cannot answer that question specifically but can give a general answer: He explained there is a manual, the ITT manual which is a collection of traffic data for many different uses throughout the country typically broken down by the square footage of the building. It is the document used by Traffic Engineers. He cannot answer specifically but for this project, there was not enough traffic projected to warrant a traffic study.

The Planning Commission briefly discussed traffic at that location and elsewhere.

Commissioner Murphy asked about staffing and the number of cars that can be managed at one time. The Applicant replied thirty-eight (38).

Commissioner Mitchell asked how many cars are anticipated in one day. The Applicant stated that is difficult to say as there are so many variables such as season and weather. They do have a process

to address any potential backups in the process. Their intent is to capture existing traffic in the area as opposed to generating new traffic.

Commissioner Mayer inquired as to how many Mister Car Wash sites are in the region. The Applicant replied nine in the Saginaw region. Commissioner Mayer asked what is the greatest number of vehicles that has been through the car wash in one day. The Applicant stated he was unable to disclose that information, there are so many variables, but did say they have A, B and C sites all over the nation that do a variety of volumes given the season and weather conditions. Commissioner Mayer repeated the question. The Applicant stated for their store back home, maybe 1000.

Commissioner Grissim asked how long it takes per car wash? The Applicant stated several cars can occupy the wash tunnel at one time.

Commissioner Murphy asked how many cars can exit at one time? The Applicant stated one at a time.

The Planning Commission discussed the following:

- Time it takes to complete a wash.
- Car wash is not typically a destination service, may not increase traffic volume.
- Cars exit onto Blaine at the light.

#### **Building Setbacks (Sec. 3.1.14) Dumpster Enclosure**

Director Langer stated the following:

- Trash and Vacuum enclosure are within the Blaine Road right-of-way but will be screened with Landscaping.
- There are several commercial lots with a road at the front and another to the rear that have these structures within the setback.
- Historically the Planning Commission has approved parking lots to be less than twenty-five (25) feet away.
- The building complies, it is the enclosure that does not.

Chair Fox stated this has been approved by the Planning Commission for many other recent commercial sites. If this were not permitted, it would create a huge issue for future development.

Commissioner Grissim asked if the thirty-two (32) foot aisle could be pared down to twenty-eight (28) feet to lessen the impact of all the pavement. The Applicant stated they can take that up with the development team and get back to the Planning Commission. Chair Fox suggested they go to twenty-four (24) feet and pull everything back eight (8) feet it would help their cause.

#### **Off-Street Parking (Sec. 5.8.4.H - Auto Wash - fully automatic car wash)**

Director Langer stated the following:

- Fourteen (14) parking spaces required by the Ordinance.
- Proposing sixty-five (65) spaces some of which are for vacuum services.
- The Planning Commission may modify the numerical number of off-street parking spaces, based on evidence that another standard would be more reasonable.
- Objective is to limit having more paved surface than necessary.

Commissioner Mitchell stated he is in favor of allowing the vacuum spaces to count toward the required number of parking spaces.

Commissioner Mayer stated he feels there is not enough spaces for employee parking, that some the employees will have to park on another site and walk over. The Applicant stated there are three (3) people on a typical shift with maybe an additional two (2) during shift change and they could utilize some of the vacuum parking if needed. It is uncommon that they are all taken at the same time.

Commissioner Mitchell asked why they need so many vacuum bays. In his car wash experience, there are just a few being used while the major line of cars is waiting for the car wash. The Applicant replied it would be unlikely to have all of the vacuum stalls occupied at one time; however, the vacuum stalls are an overflow asset at peak hours when the wash traffic is heavy. Those are definitely the place customers will spend more time which is part of the reason they are proposing so many. The vacuums are free and non-members are welcome to use them as well.

Commissioner Mitchell proposed that the vacuum stalls adjacent to Blaine Road be eliminated and the total number be reduced to eleven (11) to preclude any visual issues not addressed by the landscaping.

Commissioner Mayer asked if the approved landscaping is required to remain for perpetuity or can the occupant remove it later. Director Langer stated speaking hypothetically, if the site is approved and built, the required landscaping and trees are installed; then, the owner later decides he wants to remove the trees or screened vegetation, and they do not contact the Township before proceeding, the Township would contact them and require those landscaping items be replaced. Of course, they would have to replace the older, taller trees with smaller trees. He cannot say that it would be perfect and exactly what was approved but we would require them to replace trees.

**Parking Lot / Driveway / Internal Roads Setbacks (Sec. 5.8.3.)**

Director Langer pointed out there are three (3) spaces along the Blaine Road frontages that are less than twenty-five (25) feet from the right-of-way; they are ten (10) feet.

Chair Fox suggested these items be addressed at the end.

**Landscaping and Screening (Sec. 5.11)**

**Greenbelt Landscaping (Sec. 5.11.C.)**

Commissioner Grissim stated the following:

- Seven (7) trees required, they are proposing three (3), but the driveway takes up most of the space and adding more trees would be difficult.
- Shrubs required but none are shown on the plan.
- She would recommend keeping the number of trees at three (3) but add the required shrubs for additional screening. The Applicant and Planning Commission agreed.

**Calculations for Greenbelt along Blaine Road**

Commissioner Grissom stated the following:

- Requirement is it needs to be a solid screen, can add a berm, can be evergreen but must a minimum height of thirty (30) inches but may also count as Parking Lot screening.
- Can add one additional tree north of the parking bay along the edge.

Commissioner Murphy commented if vacuum stalls were removed along the Blaine Road frontage that would help reduce some of the screening needed.

**Foundation Landscaping (Sec. 5.11.2.D.)**

Commissioner Grissim stated the following:

- Different materials are required along the foundation.
- Must equal sixty (60) percent of the front and sides of the building adjacent to a road or parking area.
- One requirement is for ornamental trees and there are none shown on the plan.
- Shrubs are required at the base
- A narrow ornamental tree would fit, the building is tall, there is room to add more.
  - The east side of the building has a couple of notches with canopies overhanging, trees would fit in those spaces very well and not interfere with the building.
  - On the north side of the building with the notch back and square area, an ornamental tree would fit there.
  - That would meet the four (4) required.
- Rock mulch is not permitted; recommend tighten up the size of the beds and use bark mulch. Director Langer added that if the blowers would interfere with the bark mulch on the south side, grass can also be used. Commissioner Grissim concurred.

**Parking Lot Landscaping (Sec. 5.11.2.E.i.)**

Commissioner Grissim stated the following:

- Also deficient in trees; requirement is five (5) canopy trees, two (2) are proposed.
- One option is the north end of the parking bay on the west side of the street. This would also count as a Greenbelt tree for Blaine Road.
- Require trees at the end caps, the ends of the rows of parking.
- On the east side of the vacuum bays, at the south end, there is approximately twelve (12) feet between the building and the first parking stall. It would also be considered an end cap tree. The Applicant mentioned they are trying to keep any debris such as mulch or leaves away from the blower area, but they will revisit that location with their landscape team.
- On the east side and the north end of that bay, in the lawn area, there is room for another tree.
- Trying to get the plan closer to what is required by the Ordinance.
- Along the sidewalk there could be a continuous evergreen hedge, at least thirty (30) inches high that would meet the thirty-six (36) inch height as it matures.

**Perimeter Landscaping - For areas visible from a public road (facing Highland Road and Blaine Road; Sec. 5.11.2.E.ii.a.)**

Commissioner Grissim stated an evergreen hedge row should be added next to barrier-free parking spaces to shield view of parking. Also focus on minimizes beds and consider turning them into lawn.

**Detention/Retention Area Landscaping (Sec. 5.11.2.H.)**

Director Langer stated the following:

- Focusing on the area along Blaine Road where there is a storm water detention basin.
- Not at the stage on this plan where storm water detention calculations are available, that comes later.

- Current landscape plans show trees planted in the detention area
- It is not a berm but the opposite of a berm, a depression.
- Just making a note so the Applicant is aware. The Applicant stated they will work with the Township to ensure it complies.

**Sidewalks and Pathways (Sec. 5.12)**

Director Langer stated there is a gap in the sidewalk that needs to be filled; it is at the discretion of the Planning Commission to require it be filled as part of Site Plan Approval. The Planning Commission agreed.

**Lighting (Sec. 5.13)**

Director Langer stated the following:

- Have been working with the Applicants on Lighting but have a little more work to do.
- Typically done at the end of a project.
- Will require an amended Lighting Plan.

**Architecture / Building Materials (Sec. 5.24)**

Director Langer stated he spoke with Eric from the St. Paul, Minnesota engineering firm about the brick material. Colored block must come from the factory colored. Painted block is not permitted. We have a written statement ensuring no painted block will be used for this building. A second question was related to the color of something on the top. They agreed it will be earth tone. No real changes.

Commissioner Grissim asked if they are permitted to have as many signs on the building as was shown on the plans. Chair Fox stated signage is handled by staff. Director Langer replied no, they will not be permitted as many signs as shown.

Commissioner Mayer asked if the car wash has plans to recycle or reclaim the fresh water that will be used. The Applicant replied on average, thirty-three (33) percent of the water is reclaimed and used again which is an integral part of their process. They are also taking steps to modify their blower gates, so they do not pull as many amps. Their chemicals do not have any dyes which helps the sewer system. Environmental issues are important to their company.

Commissioner Mayer expressed concern about phosphates and oils entering the sewer system and asked if they will be filtered out. The Applicant stated he would have to get back to the Commissioner with that information.

Commissioner Mayer stated he had a question about storm water detention but as discussed earlier, there was nothing in the plans about that at this time.

Director Langer stated there is some incentive for Mister Car Wash to use a recycler system for the water. In order to connect to the Township water system, they must purchase REUs (Residential Equivalency Units). If they do not have a recycler, they would need to purchase more REUs making it worth the expense of adding the recycler.



**Other buildings:**

**Vehicular Canopy (POS)**

Director Langer stated the following:

- Treated like a fuel station canopy.
- Under the canopy is a device where the customer would pay for the car wash.
- Has brick columns similar to fuel station canopies previously approved.
- Will be an earth tone color.

**Attendant Shelter**

Director Langer stated the following:

- Bottom half is brick, top half is EIFS.
- It has windows.
- May not completely comply but given the size of it, staff has no issues.

Chair Fox stated he feels the Planning Commission is not ready to approve the project and is looking for more information. He encouraged the Planning Commission to give their comments.

Commissioner Grissim stated she is interested in seeing some traffic information, also to minimize the number of vacuum stations, the amount of pavement, tighten up the site, use the different comments that have been made tonight and improve the site plan.

Commissioner Mayer concurred stating he would like to see them cut back on the number of vacuums and the amount of pavement while increasing the landscaping.

Commissioner Mitchell stated he agrees with the previous comments to eliminate some of the vacuum stations which would help with the parking side setbacks.

Commissioner Murphy stated he had nothing further to add except he is unclear as to how many vacuum stations there are, he counted twenty-six (26) rather than twenty-two (22). He suggests mirroring the plan to get the vacuum stations in the rear and it might help with the other issues like setbacks for parking.

Commissioner McMullen asked if they will be open 24 hours or specific set hours. The Applicant stated they will be open Monday Through Saturday 7:30AM to 7:00PM, Sunday 8:00AM to 6:00 PM and try to have consistency for all of their store's hours.

Chair Fox stated the Planning Commission cannot base their decisions on "We just don't want another one." That is how cases end up in lawsuits. When Meijer came it was "We don't need that, we have Kroger." When a new restaurant comes in it is "We can't have that, they will take my customers." That is not an element we can deal with. We understand that but it is not part of the Zoning Ordinance. The goal of the Planning Commission is to enforce the Zoning Ordinance standards for site development. The Township would not have a Meijer if the Planning Commission had heeded that kind of thinking. The Planning Commission must work within the parameters it has to work within. He said they would get answers and part of it is understanding what the Planning Commission does. The Applicant has more work to do. One should not interpret anything said as a yes or a no.

**8. Call to the Public:**

Tawny Hall, with M59 Car Wash; asked about the Special Use process. Chair Fox explained the five criteria discussed earlier in the meeting. Director Langer added a Special Use must also be heard at the Township Board level; so, they have to meet more standards and they have to go before the Board.

Ms. Hall continued stating the following:

- Traffic will be much more than the Applicant has said just knowing how many cars their car wash does. She thinks they will have possibly more than 1000 cars.
- Even more will be generated by the free vacuums.
- Believes their water/sewer use will be higher than estimated.

Chris Hall with M59 Car Wash; stated the following:

- Large car wash built to service a large volume of cars.
- Cannot be screened.
- Free vacuums will draw more traffic.
- Unlimited membership allows anyone around the country who has a membership to have as many washes as they choose.
- Believes it will take more employees.
- There will be a sound impact.
- Feels it will be an eyesore.
- Their intent is volume.

**9. Planner Report:**

Director Langer reported the following:

- Citizen Planner Forum, some dates for the in-person training conflict with Planning Commission meeting states. He spoke to the Chair to see if it would be acceptable to alter some of the meeting dates to allow Commissioners to have the training which was approved. If any of the Commissioners are interested, please contact the Director.
- New Planning Commissioner Matthew Eckman and his wife are in the audience this evening. Welcome!
- Planet Fitness is going into the former Food Town space at Hartland Plaza. The Township has issued a demo permit so they could get started while the remodel plans are being finalized.

**10. Committee Reports:**

None

**11. Adjournment:**

**A Motion to adjourn was made by Commissioner Mitchell and seconded by Commissioner McMullen. Motion carried unanimously. The meeting was adjourned at approximately 8:56 PM.**

# Hartland Township Planning Commission Meeting Agenda Memorandum

**Submitted By:** Troy Langer, Planning Director

**Subject:** Site Plan with Special Land Use Application #22-007 (Automobile wash within completely enclosed building at 10382 Highland Road)

**Date:** October 13, 2022

## Recommended Action

**Move to recommend approval of Special Land Use Permit and approve Site Plan Application #22-007**, a request to redevelop a commercial site and construct an approximate 6,500 square foot automobile wash, within a completely enclosed building, at 10382 Highland Road, in Section 28 of the Township (Tax Parcel ID #4708-28-201-061). The recommendation for approval is based on the following findings:

1. The proposed special land use, automobile wash within a completely enclosed building, meets the intent and purposes of the Ordinance as well as the specific standards outlined in Section 6.6 (Special Uses).
2. The proposed special land use is permitted in the GC (General Commercial), as outlined in Section 3.1.14.D.iii, and the proposed use is compatible with the existing uses in the vicinity.
3. The proposed use will be served by public water and sanitary sewer, by existing essential facilities and public services, and the Fire Department has no objection.
4. The proposed use will be served by public roads with direct access to Highland Road and Blaine Road.
5. The proposed use will not create additional requirements at public cost for public facilities as the proposed site will be served by public water and sanitary sewer.

## Approval is subject to the following conditions:

1. The proposed special land use, automobile wash within a completely enclosed building, is subject to approval by the Township Board.
2. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandums, dated September 1, 2022 and October 13, 2022, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
3. A land use permit is required after approval of the Site Plan and Special Use Permit and prior to construction.
4. Applicant complies with any requirements of the Department of Public Works Director, Township Engineering Consultant (SDA), Hartland Deerfield Fire Authority, and all other government agencies, as applicable.
5. (Any other conditions the Planning Commission deems necessary)

## **Discussion**

**Applicant:** Evanthia Bardwell

### **Site Description**

The subject property is located south of Highland Road, east of Blaine Road, and north of Hartland Marketplace Planned Development in Section 28 of the Township. It was formerly occupied by Burger King, since 1986. Burger King closed sometime in 2020. The existing Burger King building will be removed, and the parking lot will undergo some layout changes as part of the proposed automobile wash project. The site is zoned GC (General Commercial) and is 1.66 acres (Tax Parcel ID #4708-28-201-061). This property is considered a corner lot with approximately 120 lineal feet along Highland Road and approximately 382 lineal feet along Blaine Road.

The Future Land Use Map (FLUM) designates the subject site and adjacent properties to the south, east, and west as Commercial.

### **Proposed Use**

The applicant is requesting to demolish the existing Burger King building and construct an approximate 6,500 square foot building for a fully automated automobile wash (Mister Car Wash). The parking lot will be renovated as well to accommodate the building and circulation patterns.

Per Section 3.1.14.D.iii., an automobile wash, when within a completely enclosed building, is considered a special land use in the GC (General Commercial) zoning district. Additional standards for this special land use are provided in Section 4.17 of the Zoning Ordinance (Automobile Wash Establishment).

The proposed project also requires site plan approval thus there are two application elements: special land use and site plan approval for an automobile fueling and convenience station. Although there are technically two elements, all are incorporated into one combined site plan which will be reviewed and approved concurrently.

Per the Hartland Township Zoning Ordinance and the State Enabling Act, a public hearing is required for the special land use application. Given the requirements for publishing a notice for the special land use, the public hearing was held at the September 8, 2022, Planning Commission meeting.

### **Request and Project Summary – Revised Site Plan dated October 6, 2022**

The applicant is requesting site plan with special land use approval to redevelop a commercial site and construct a fully automated automobile wash, which is within the building. On September 8, 2022, the Planning Commission held a public hearing on SP/SUP #22-007. Based on comments at the public hearing the applicant submitted revised plans, dated October 6, 2022. The plans include a site plan and landscape plan. A brief discussion of the revised plan is provided below. Please refer to the staff memorandum dated September 1, 2022, for additional details on the project. The building elevations presented as part of the staff memorandum dated September 1, 2022 remain unchanged.

The revised site plan shows the same layout for the building location, building size, vehicular canopy, parking, circulation, and two (2) vacuum enclosures.

Revisions to the site plan include the following changes:

- Reduction in the maneuvering lane width, in the parking area, from thirty-two (32) feet to twenty-six (26) feet.

- The row of parking spaces on the west side of the parking area has been shifted to the east, and parking is approximately 28.7 feet from the Blaine Road right-of-way (west property line), at its closest point. The required setback is twenty-five (25) feet.
- Twenty-five (25) parking spaces are provided in the parking area as follows:
  - 3 spaces for employees (10' by 20')
  - 20 parking spaces (13' by 20') – each with vacuuming equipment
  - 2 barrier-free parking spaces (13' by 20') – each with vacuuming equipment

Two (2) parking spaces (each with vacuuming equipment) were eliminated along the western row of parking when compared with the site plan dated July 26, 2022. Parking along the west side of the building remains the same as does the 38 stacking spaces on the east side of the building.

The applicant has submitted a revised landscape plan to address comments at the public hearing on September 8, 2022.

With regard to the applicable site standards, please review the prior staff memorandum, which outlines all of the applicable standards. However, below is a standard that remains unresolved by the Planning Commission:

1. The Planning Commission will need to make a determination on Section 4.17 of the Zoning Ordinance, which requires that all washing activities shall be carried on within a completely enclosed, roofed building. Vacuuming activities shall be permitted in the side or rear yard only, provided such activities are located at least fifty (50) feet from adjacent residentially zoned property. Entrances and exits shall not face abutting residentially zoned or used property.

*The proposed automobile wash is within a completely enclosed building, with entrances to the site that face Blaine Road or Highland Road. Adjacent properties (south and east) are zoned PD (Planned Development) and residentially zoned properties or uses are farther than fifty (50) feet from the subject site. Vacuuming equipment is in the front yard, which is the area between the leading edge of the building (west elevation) and the right-of-way line of Blaine Road. With regard to the proposed vacuums; at the time the ordinance was drafted, automobile vacuums were designed to contain a tall metal canister style system with a vacuum tube or in some cases, two (2) vacuum tubes. As a result, this older style vacuum system would contain many different tall metal canisters. In general, these were deemed something that would be better served to be screened behind a building. However, the applicant is proposing a different vacuum style system. This system has the mechanical equipment in an enclosure area and the vacuum hoses do not require their own motor or vacuum device. In the proposed vacuum system, no mechanical system is visible. The only item visible is the hoses. Since this is a completely different vacuum system, staff has raised this issue as a matter for the Planning Commission to determine if the proposed design is acceptable. Given the site design, and location on roadways, re-locating the vacuum system to not be in the front yard will create difficulties in traffic flow on this particular site. Essentially, the Planning Commission will have to determine if the vacuum hoses, as proposed would be permitted in the front yard area.*

### **Traffic Generation**

At the September 8, 2022 public hearing of the Planning Commission, there were questions raised about the amount of traffic that could be generated from the proposed car wash development. The applicant has provided some trip generation estimates comparing the proposed car wash with a fast foot restaurant with

a drive-through, since the property was previously a Burger King restaurant. The traffic information focused primarily on the PM Peak Hour traffic data, since the car wash is not projected to have much, if any traffic, in the AM Peak Hour. Essentially, the car wash would generate a total of 78 trip ends in the PM Peak Hour, and a fast food restaurant, with a drive through would generate 107 trip ends in the PM Peak Hour. As a result, the proposed car wash would actually be a reduction in trip ends compared to a fast food restaurant with a drive through.

#### **Approval Procedure**

The proposed use, automobile wash within a completely enclosed building, requires approval from the Township Board for the special land use. The Planning Commission will review the special land use and make a recommendation to the Township Board.

The project also requires the site plan to be reviewed by the Planning Commission who will make a final decision on the site plan. The plans will be reviewed using the development standards of the GC (General Commercial) zoning district (Section 3.1.14.), standards associated with Automobile Wash Establishment (Section 4.17), and all applicable zoning standards in the Zoning Ordinance. Please refer to the staff memorandum dated September 1, 2022 for the full site plan review.

#### **Other Requirements-Zoning Ordinance Standards/Comments**

No comments at this time.

#### **Attachments:**

1. Trip Generation Memo dated 09.23.2022 – PDF version
2. DPW Email REU 10.03.2022 – PDF version
3. SUP #22-007 PC Staff Report 09.01.2022 – PDF version
4. Site Plan dated 07.26.2022 – PDF version
5. Revised Site Plan dated 10.06.2022 – PDF version
6. Revised Landscape Plan dated 10.06.2022 – PDF version

CC:

SDA, Twp Engineer (via email)

M. Luce, Twp DPW Director (via email)

A. Carroll, Hartland FD Fire Chief (via email)

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## MEMORANDUM

To: Township of Hartland, Michigan

From: Will Matzek, PE  
Kimley-Horn and Associates, Inc.

Date: September 22, 2022

Subject: Mister Car Wash – Trip Generation

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## INTRODUCTION

The proposed site is located on the southwest corner of the intersection of Highway 59 & Blaine Road in Hartland, Michigan. The proposed approximately 1.66-acre site is currently occupied by other retail uses, and the proposed development includes a single car wash tunnel that is served by 3 inbound lanes and the site will also have 24 vacuum stalls. The proposed site plan is attached.

## TRIP GENERATION

The trip generation for the development was calculated based on the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11<sup>th</sup> Edition*. **Table 1** provides the PM peak hour trips for the proposed development based on ITE data. The Hartland Mister Car Wash is expected to generate approximately 78 PM peak hour trips. There is not ITE data for the daily or AM peak hours.

**Table 1 – Trip Generation**

Land Use Description	ITE Code	Intensity / Units	Daily	AM Peak Hour			PM Peak Hour		
				In	Out	Total	In	Out	Total
Automated Car Wash	948	1 car wash tunnel	-	-	-	-	39	39	78

## TRIP GENERATION COMPARISON

The trip generation for the existing site was calculated based on the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11<sup>th</sup> Edition*. For the existing land use, ITE Land Use Code LUC 934 (Fast Food Restaurant with Drive Through) was used to calculate the trip generation. **Table 2** provides the trip generation of the existing land uses. The existing site generated an estimated 145 trip in the AM peak hour, 107 trips in the PM peak hour and 1,519 daily trips.

**Table 2 – Existing Site Trip Generation**

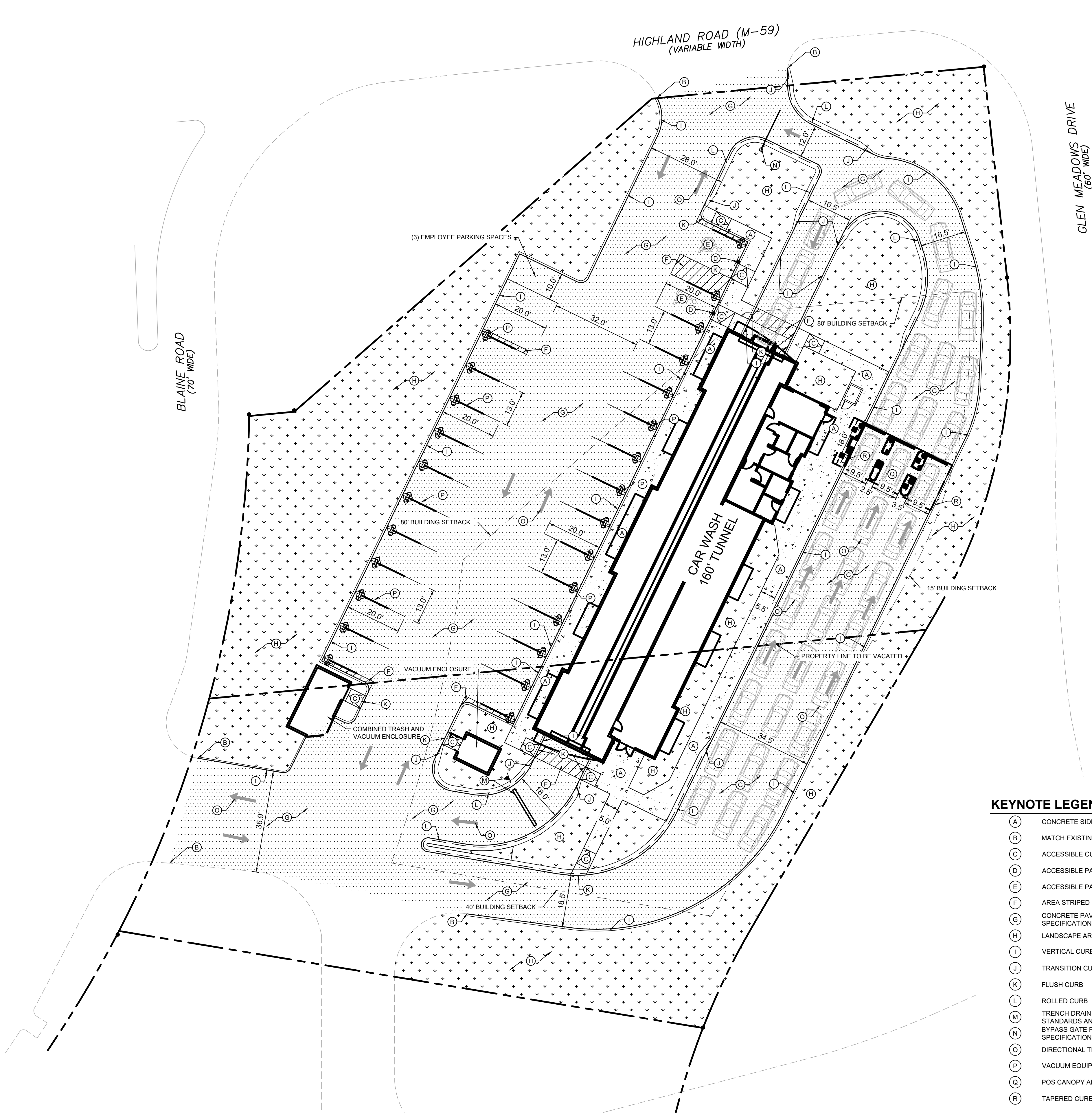
Land Use Description	ITE Code	Intensity / Units	Daily	AM Peak Hour			PM Peak Hour		
				In	Out	Total	In	Out	Total
Burger King	934	3,250 Sq. Ft.	1,519	74	71	145	55	52	107

Comparing the trip generation results in Tables 1 & 2, it is anticipated that the redevelopment of the site to Mister Car Wash will generate 29 less trips in the PM peak hour.

## CONCLUSION

The proposed car wash is anticipated to generate 78 trips generated during the PM peak hour. It is anticipated that the redevelopment of the site to Mister Car Wash will generate 29 less trips in the PM peak hour than the previous land uses and will not result in a significant difference in traffic generated in the area.





LEGEND	
	PROPERTY LINE
	PROPOSED FENCE
	SETBACK LINE
	PROPOSED CURB AND GUTTER
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK

PROPERTY SUMMARY	
SPRING LAKE PARK, MN MISTER CAR WASH	
TOTAL PROPERTY AREA	±1.66 AC
ZONING SUMMARY	
EXISTING ZONING	GC - GENERAL COMMERCIAL
PROPOSED ZONING	GC - GENERAL COMMERCIAL
BUILDING SETBACKS	FRONT: 80' SIDE: 15' REAR: 40'

BUILDING DATA SUMMARY	
AREAS	
PROPOSED PROPERTY	±1.66 AC
BUILDING AREA	±6,500 SF
PARKING	
FULLY AUTOMATIC CAR WASH - REQUIRED PARKING	2 PARKING SPACES 3 EMPLOYEE SPACES 12 STACKING SPACES = 17 SPACES TOTAL
PROPOSED PARKING	24 PARKING SPACES 3 EMPLOYEE SPACES 38 STACKING SPACES = 65 SPACES TOTAL
ADA STALLS REQ'D / PROVIDED	2 STALLS / 2 STALLS

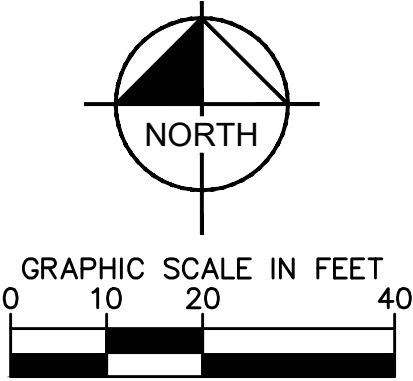
\* 3 EMPLOYEES ON PEAK SHIFT

SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL INNER CURBED RADII ARE TO BE 3' AND OUTER CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY MERIDIAN LAND SURVEYING, DATED 5/4/2022.  
  
KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
- TOTAL LAND AREA IS 1.66 ACRES.
- PYLON / MONUMENT SIGNS SHALL BE CONSTRUCTED BY OTHERS. SIGNS ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIZE, LOCATION AND ANY REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE PYLON / MONUMENT SIGN.
- CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
- NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
- REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
- REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
- ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.

KEYNOTE LEGEND

- |     |  |
|-----|--|
| (A) | CONCRETE SIDEWALK  |
| (B) | MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER                               |
| (C) | ACCESSIBLE CURB RAMP   |
| (D) | ACCESSIBLE PARKING SIGN  |
| (E) | ACCESSIBLE PARKING STALL   |
| (F) | AREA STRIPED WITH 4" SYSL @ 45° 2' O.C.                                      |
| (G) | CONCRETE PAVEMENT PER MISTER CARWASH STANDARDS AND SPECIFICATIONS            |
| (H) | LANDSCAPE AREA   |
| (I) | VERTICAL CURB (TYP.)   |
| (J) | TRANSITION CURB  |
| (K) | FLUSH CURB   |
| (L) | ROLLED CURB  |
| (M) | TRENCH DRAIN WITH EXIT SIGN PER MISTER CAR WASH STANDARDS AND SPECIFICATIONS |
| (N) | BYPASS GATE PER MISTER CAR WASH STANDARDS AND SPECIFICATIONS                 |
| (O) | DIRECTIONAL TRAFFIC ARROW, PER GREENBOOK STANDARDS                           |
| (P) | VACUUM EQUIPMENT: REF. ARCHITECTURAL PLANS                                   |
| (Q) | POS CANOPY AND EQUIPMENT: REF. ARCHITECTURAL PLANS                           |
| (R) | TAPERED CURB PER MISTER CAR WASH STANDARDS                                   |



PRELIMINARY - NOT FOR CONSTRUCTION

KHA PROJECT 160284008		DATE 07/26/2022		SCALE AS SHOWN		DESIGNED BY ACL		DRAWN BY ACL		CHECKED BY WDM		
MCW - HARTLAND, MI		PREPARED FOR MISTER CAR WASH		SHEET NUMBER C400		MICHIGAN		HARTLAND		REVISIONS		BY
Kimley»Horn		© 2022 KIMLEY-HORN OF MICHIGAN, INC. PHONE: 661-445-4197 WWW.KIMLEY-HORN.COM		No.		DATE						



## Troy Langer

**From:** Troy Langer  
**Sent:** Tuesday, October 04, 2022 9:02 AM  
**To:** Troy Langer  
**Subject:** FW: [EXT] Mister Car Wash - Hartland Township

I am reaching out today to provide some additional insight regarding the proposed Mister Car Wash development in Hartland Township, Michigan.

Based upon further research and data provided from your organization during recent conversations, it appears to be inconsistent information regarding the average amount of water per car during a wash, as well as the average number of vehicles. The Hartland Township organization has requested said information with different responses each time.

Based upon the information provided by your organization, your organization's public claims related to reclamation, and the historical data from existing facilities within the State of Michigan, Hartland Township has determined the conservative estimate of 85 REUs would be required to connect to the municipal water and sewer system. I have attached the financials for permitting as well as the estimated quarterly invoice for water and sewer service. Please feel free to contact me with any further questions or comments and thank you for your time.

Water REUs	85	\$5,816.01	\$494,360.85	
Sewer REUs	85	\$9,439.20	\$802,332.00	
Total REU Fees required for permitting:			\$1,296,692.85	
Billing Item	REU's	Usage	Rate	Amount
Meter Replacement 2"			\$23.92	\$23.92
Sewer Capital Charge	85		\$16.59	\$1,410.15
Sewer Commodity		1755	\$4.16	\$7,300.80
Sewer RTS	85		\$85.62	\$7,277.70
Water Service Charge 2"	85		\$86.08	\$7,316.80
Water Use		1755	\$1.40	\$2,457.00
Estimated Quarterly Invoice:				\$25,786.37



**Robert M. West**  
Township Manager  
810.632.7498 | 517.861.7889  
2655 Clark Road  
Hartland, MI 48353  
[www.hartlandtp.com](http://www.hartlandtp.com)

# Hartland Township Planning Commission Meeting Agenda Memorandum

**Submitted By:** Troy Langer, Planning Director

**Subject:** Site Plan with Special Land Use Application #22-007 (Automobile wash within completely enclosed building at 10382 Highland Road)

**Date:** September 1, 2022

## Recommended Action

**Move to recommend approval of Special Land Use Permit and approve Site Plan Application #22-007**, a request to redevelop a commercial site and construct an approximate 6,500 square foot automobile wash, within a completely enclosed building, at 10382 Highland Road, in Section 28 of the Township (Tax Parcel ID #4708-28-201-061). The recommendation for approval is based on the following findings:

1. The proposed special land use, automobile wash within a completely enclosed building, meets the intent and purposes of the Ordinance as well as the specific standards outlined in Section 6.6 (Special Uses).
2. The proposed special land use is permitted in the GC (General Commercial), as outlined in Section 3.1.14.D.iii, and the proposed use is compatible with the existing uses in the vicinity.
3. The proposed use will be served by public water and sanitary sewer, by existing essential facilities and public services, and the Fire Department has no objection.
4. The proposed use will be served by public roads with direct access to Highland Road and Blaine Road.
5. The proposed use will not create additional requirements at public cost for public facilities as the proposed site will be served by public water and sanitary sewer.

## Approval is subject to the following conditions:

1. The proposed special land use, automobile wash within a completely enclosed building, is subject to approval by the Township Board.
2. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated September 1, 2022, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
3. A land use permit is required after approval of the Site Plan and Special Use Permit and prior to construction.
4. Applicant complies with any requirements of the Department of Public Works Director, Township Engineering Consultant (SDA), Hartland Deerfield Fire Authority, and all other government agencies, as applicable.
5. (Any other conditions the Planning Commission deems necessary)

## **Discussion**

**Applicant:** Evanthia Bardwell

### **Site Description**

The subject property is located south of Highland Road, east of Blaine Road, and north of Hartland Marketplace Planned Development in Section 28 of the Township. It was formerly occupied by Burger King, since 1986. Burger King closed sometime in 2020. The existing Burger King building will be removed, and the parking lot will undergo some layout changes as part of the proposed automobile wash project. The site is zoned GC (General Commercial) and is 1.66 acres (Tax Parcel ID #4708-28-201-061). This property is considered a corner lot with approximately 120 lineal feet along Highland Road and approximately 382 lineal feet along Blaine Road.

The Future Land Use Map (FLUM) designates the subject site and adjacent properties to the south, east, and west as Commercial.

### **Overview and Background Information**

#### **Site Plan Applications #22 and #25; Special Use Application #134**

Plans for a Burger King restaurant were reviewed under Site Plan Application #22 (1981), Site Plan Application #25 (1981), and Special Use Application #134 (1982). Each application was denied.

#### **ZBA Application #159**

On April 14, 1981, the Zoning Board of Appeals denied a request for variances to locate parking (for Burger King) within the required setbacks; and also denied a variance to install a pylon sign (80 feet in height) that exceeded the maximum allowed sign height.

#### **Sign Permit Application #109**

A pylon sign was approved for Burger King on September 9, 1982, under Sign Permit Application #109. The sign dimensions are listed as 8 feet in width by 8 feet in length (64 sq. ft.) and the overall height of the pylon sign as 25 feet. Sign drawings were not found in the file information. The site plan approved for Burger King under SP #58 shows a pylon sign on the north side of the building.

#### **Site Plan Application #41**

This was a request to construct a gas station and convenience store on the subject site. The Planning Commission recommended approval on February 21, 1984; however, the project was deemed null and void on August 21, 1984, as the required permits were not obtained; thus, the project did not move forward.

#### **Site Plan Application #58**

On January 9, 1986, the Planning Commission recommended approval of Site Plan Application #58 for the construction of an approximate 3,300 square foot Burger King restaurant with drive-through service. The project was approved by the Township Board on January 21, 1986. The site plan shows an area on the north side of the building that is labeled as “greenhouse” (12 feet by 29 feet in size). Building elevations were not included with the site plans.

#### **Site Plan Application #59**

On February 13, 1986, the Planning Commission approved Site Plan Application #59, a minor amendment to the plans approved under SP #58. The changes included moving the coolers outside, behind the building, constructing a wall around them, and moving the dumpster enclosure 10 feet to the south. The Burger King restaurant was constructed in 1986 under Land Use Permit #1536.

Fourth Amendment to Hartland Marketplace Planned Development Agreement (2008)

The Hartland Marketplace Planned Development (PD) was approved by the Township in 2007 under SP #424. Four amendments to the PD Agreement occurred between 2007 and 2008. As part of the overall plan for the PD, off-site road improvements to Highland Road (M-59) were proposed. The Fourth Amendment to Hartland Marketplace Planned Development amended Section 12 of the original PD Agreement (entitled “Off-site Road Improvements for M-59”), “to conform with the proposed M-59 improvements and to reflect the change in the cost related thereto.” In addition, the Fourth Amendment amended Section 6.7, “Signs” of the Agreement, to add subsection 6.7.6. regarding the existing Burger King pylon sign.

Based on notes found in the site plan file, the Burger King pylon sign was moved in 2008 to its current location, however the land use permit was not found in the file. The pylon sign will be removed as part of the current project for the car wash. All new signs will be reviewed under a separate sign permit reviewed administratively by staff.

Site Plan Application #19-009

On November 7, 2019, the Planning Commission approved Site Plan Application #19-009, which was a request to remodel the existing Burger King building. The improvements included removal of the greenhouse portion of the building, new façade finishes on the building’s exterior, interior remodeling, and installation of new landscaping on the site. The remodeling project did not commence, and Burger King closed in 2020.

**Proposed Use**

The applicant is requesting to demolish the existing Burger King building and construct an approximate 6,500 square foot building for a fully automated automobile wash (Mister Car Wash). The parking lot will be renovated as well to accommodate the building and circulation patterns.

Per Section 3.1.14.D.iii., an automobile wash, when within a completely enclosed building, is considered a special land use in the GC (General Commercial) zoning district. Additional standards for this special land use are provided in Section 4.17 of the Zoning Ordinance (Automobile Wash Establishment).

The proposed project also requires site plan approval thus there are two application elements: special land use and site plan approval for an automobile fueling and convenience station. Although there are technically two elements, all are incorporated into one combined site plan which will be reviewed and approved concurrently.

Per the Hartland Township Zoning Ordinance and the State Enabling Act, a public hearing is required for the special land use application. Given the requirements for publishing a notice for the special land use, the public hearing has been scheduled for the September 8, 2022, Planning Commission meeting.

**Request and Project Summary**

The applicant is requesting site plan with special land use approval to redevelop a commercial site and construct a fully automated automobile wash, which is within the building. The existing Burger King building will be demolished. The site is accessed via existing driveways on Blaine Road and Highland Road.

The proposed 6,500 square foot car wash building is situated on the east side of the site, with parking spaces on the west side of the building. The car wash tunnel is approximately 160 feet in length. Parking spaces with vacuuming equipment are shown on the west side of the proposed car wash building. Vacuuming equipment is provided in 22 of 27 parking spaces.

To access the car wash tunnel, patrons enter the site and drive to the east side of the building, where there are three (3) one-way stacking lanes (one-way circulation). Thirty-eight (38) stacking spaces are shown. Payment for the car wash occurs under the vehicular canopy (POS- Point of Sales). The entrance to the car wash is on the north side of the building. The patron remains in the car and exits the car wash at the south end of the building.

A free-standing attendant building is shown east of the main building and northwest of the POS canopy. The attendant shelter is for the employee to use when working the POS lanes during inclement weather.

There are two (2) unroofed enclosures in the parking lot. One is labeled as the vacuum enclosure (southwest of the building). The second enclosure is on the west side of the parking lot and is labeled as combined trash and vacuum enclosure. These structures house the mechanical equipment for the vacuums.

### **Approval Procedure**

The proposed use, automobile wash within a completely enclosed building, requires approval from the Township Board for the special land use. The Planning Commission will review the special land use and make a recommendation to the Township Board.

The project also requires the site plan to be reviewed by the Planning Commission who will make a final decision on the site plan. The plans will be reviewed using the development standards of the GC (General Commercial) zoning district (Section 3.1.14.), standards associated with Automobile Wash Establishment (Section 4.17), and all applicable zoning standards in the Zoning Ordinance.

### **SPECIAL LAND USE REVIEW – General Standards**

In accordance with Section 6.6, Special Uses, of the Hartland Township Zoning Ordinance, the following standards shall serve the Planning Commission and Township Board as the basis for decisions involving such uses. The standards are provided below, and the applicant has submitted a letter, as a separate attachment, which addresses the special use criteria.

- A. Be harmonious and in accordance with the objectives, intent, and purposes of this Ordinance.
- B. Be compatible with the natural environment and existing and future land uses in the vicinity.
- C. Be compatible with the Hartland Township Comprehensive Plan.
- D. Be served adequately by essential facilities and public services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to adequately provide any such service.
- E. Not be detrimental, hazardous, or disturbing to the existing or future neighboring uses, person, property, or the public welfare.
- F. Not create additional requirements at public cost for public facilities and services that will be detrimental to the economic welfare of the community.

The Planning Department believes the proposed use can and will meet the criteria listed above for the special land use request. The applicant has provided responses to the special land use general standards as an attachment, in the email dated August 30, 2022. The applicant will be responsible for all applicable approvals and permits from other agencies and departments for the proposed use.

**SPECIAL LAND USE REVIEW – Applicable Site Standards**

In addition to a finding by the Planning Commission and Township Board that the criteria above have been satisfied, standards outlined in Section 4.17 (Automobile Wash Establishment), will apply. Those standards are listed below, followed by staff's findings on each standard.

**Automobile Wash Establishment (Section 4.17)**

1. Layout. All washing activities shall be carried on within a completely enclosed, roofed building. Vacuuming activities shall be permitted in the side or rear yard only, provided such activities are located at least fifty (50) feet from adjacent residentially zoned property. Entrances and exits shall not face abutting residentially zoned or used property.

*The proposed automobile wash is within a completely enclosed building, with entrances to the site that face Blaine Road or Highland Road. Adjacent properties (south and east) are zoned PD (Planned Development) and residentially zoned properties or uses are farther than fifty (50) feet from the subject site. Vacuuming equipment is in the front yard, which is the area between the leading edge of the building (west elevation) and the right-of-way line of Blaine Road. With regard to the proposed vacuums; at the time the ordinance was drafted, automobile vacuums were designed to contain a tall metal canister style system with a vacuum tube or in some cases, two (2) vacuum tubes. As a result, this older style vacuum system would contain many different tall metal canisters. In general, these were deemed something that would be better served to be screened behind a building. However, the applicant is proposing a different vacuum style system. This system has the mechanical equipment in an enclosure area and the vacuum hoses do not require their own motor or vacuum device. In the proposed vacuum system, no mechanical system is visible. The only item visible is the hoses. Since this is a completely different vacuum system, staff has raised this issue as a matter for the Planning Commission to determine if the proposed design is acceptable. Given the site design, and location on roadways, re-locating the vacuum system to not be in the front yard will create difficulties in traffic flow on this particular site.*

2. Entrances and Exits. Sufficient space shall be provided on the lot so that vehicles do not enter or exit the wash building directly from an adjacent street or alley. All maneuvering areas, stacking lanes, and exit aprons shall be located on the car wash parcel itself. Streets and alleys shall not be used for maneuvering or parking by vehicles to be serviced by the automobile wash.

*The proposed plan meets these standards.*

3. Orientation of Open Bays. Buildings should be oriented so that open bays, particularly for self-serve automobile washes, do not face onto any thoroughfares unless screened by landscaping.

*This standard does not apply as open bays are not proposed.*

4. Exit Lane Drainage. Exit lanes shall be sloped to drain water back to the wash building to drainage grates

*The plans do not have this level of detail, but the applicant has been advised.*

5. Truck Washes. Truck washes must be at least one hundred (100) feet from all property lines and entirely screened from residential uses. The screening shall include both a wall and landscaping.

*This standard does not apply to the proposed project.*

### **SITE PLAN REVIEW – Applicable Site Standards**

The applicable site standards include those standards related to the proposed use, automobile wash within a completely enclosed building, as outlined in Section 3.1.14 (GC-General Commercial); Section 4.17 of the Zoning Ordinance, as discussed above; and all applicable zoning standards in the Zoning Ordinance.

In this case the applicant is requesting site plan with special land use approval to construct an approximate 6,500 square foot building for a fully automated automobile wash.

### **Impact Assessment**

An impact assessment was not provided.

### **Traffic Generation**

A traffic impact assessment was not provided

### **Dimensional Requirements (GC-General Commercial; Section 3.1.14)**

#### **Lot Size (Sec. 3.1.14)**

- Required – 40,000 sq. ft. w/o sewer; or 20,000 sq. ft. with public sanitary sewer
- Proposed – 1.66 acres (72,310 sq. ft.) with public sanitary sewer
- Meets Requirement? Yes
- Comment – (none)

#### **Frontage (Sec. 3.1.14)**

- Required – Minimum lot width of 120 feet
- Proposed – 120 lineal feet along Highland Road and approximately 382 lineal feet along Blaine Road
- Meets Requirement? – Yes
- Comment – (none)

#### **Building Setbacks (Sec. 3.1.14)**

Setback	Required	Proposed	Meets Requirements? (Y / N)
Front (north) Highland Road - Car wash bldg.	80'	80'	Yes
Front (west) Blaine Road	80'	80'	Yes
Front (west) Blaine Road Trash/vacuum enclosure	80'	30' from Blaine Road ROW	TBD*
Rear (south) w/ sewer Car wash bldg.	40'	87'	Yes
Rear (south) w/ sewer Vacuum enclosure	40'	77'	Yes
Side (east) Car wash bldg.	15'	48'	Yes
Side (east) POS canopy	15'	15'	Yes



\*Historically the Planning Commission has allowed off-street parking in the front yard for several commercial sites and have used a 25-foot setback for off-street parking. Additionally, dumpster enclosures on several commercial sites are located in the front yard. In this case, the trash/vacuum enclosure is approximately thirty (30) feet from the Blaine Road right-of-way line and is in the front yard, and meets the 25-foot off-street parking setback, should the Planning Commission choose to apply this standard. The enclosure is used to also house the vacuum equipment. Relocation of this area away from the vacuums is not easy to do and would require a redesign of the entire site.

**Building Height (Sec. 3.1.14)**

- Required – 35 feet or 2½ stories, whichever is less
- Proposed – 35 feet
- Meets Requirement? – Yes
- Comment – (none)

**Lot Coverage (Sec. 3.1.14)**

- Required – Principal structure: 75% max.
- Proposed – 9% (6,500 sq. ft. bldg. ÷ 1.66 acres)
- Meets Requirement? – Yes
- Comment – (none)

**Site Requirements**

**Dumpster Enclosure (Sec. 5.7)**

- Required – Dumpster designed, enclosed, and screened per requirements; dumpster materials must match the building. enclosure height sufficient to screen dumpsters; minimum height is 6 feet.
- Proposed – dumpster enclosure provide with screen walls comprised of brick veneer to match the building.; 8'-4" in height, with solid gates.
- Meets Requirement? – Yes
- Comment – (none)

**Off-Street Parking (Sec. 5.8.4.H – Auto Wash – fully automatic car wash)**

- Required – 2 spaces; PLUS 1 designated space for each employee on a peak shift; PLUS 12 stacking spaces per bay for a fully automatic car wash.  
EQUATES TO: 14 parking spaces REQUIRED TOTAL (using 3 employees)
- Proposed – 65 parking spaces, 10' X 20' in dimension. 3 spaces for employees; 2 barrier-free spaces; 22 spaces with vacuum equipment; and 38 stacking spaces.
- Meets Requirement? – Yes
- Comment – *Although the site contains sufficient off-street parking spaces, many of these are related to spaces also dedicated for vacuum services. Section 5.8.4.H.i. indicates that the Planning Commission may modify the numerical number of off-street parking spaces, based on evidence that another standard would be more reasonable. In the event that the Planning Commission determines the spaces dedicated for vacuum services should not be counted toward the required off-street, then consideration should be given toward testimony from the applicant on the number of spaces they believe would be necessary for the proposed auto wash facility.*

**Barrier-Free Parking**

- Required – 2 barrier-free spaces in a location most accessible to the building entrance, with at least 1 space van-accessible (1 barrier-free space required per 25 parking spaces)

- Proposed – 2 barrier-free spaces, both van accessible, nearest the building entrance (west side of building)
- Meets Requirement? – Yes
- Comment – (none)

**Parking Lot / Driveway / Internal Roads Setbacks (Sec. 5.8.3.)**

- Required – Off-street parking in commercial districts may only be located in a side or rear yard or non-required front yard; may not be permitted within 20' of a single-family district, nor within 10' of a road ROW, or 25' from a front lot line, nor 10' from a side or rear lot line.

Setback	Required	Proposed	Meets Requirements? (Y / N)
Front (north) – Highland Road	25'	45'	Yes
Front (west) Blaine Road	25'	10' to closest point of northern pkg space	<b>TBD</b> (3 spaces less than 25' from ROW line)
Rear (south)	10'	NA	Parking not proposed
Side (east)	10'	NA	Parking not proposed

- Meets Requirement? – Yes
- Comment – Although Section 5.8.3 states off-street parking in commercial districts may only be located in a side or rear or non-required front yard, it appears that for similar automobile uses such as fueling station projects (Mugg and Bopps, Speedway, and Clyde Road gas station), a 25-foot setback from a front line was applied for off-street parking, even though off-street parking or a portion of was located within the required front yard. For this project, approximately 18 parking spaces are within the required front yard. In order to be consistent with prior applications of this ordinance standard, staff has applied the same 25-foot setback from the front lot line for this plan, for off-street parking facing Blaine Road. That said, three (3) parking spaces do not meet the 25-foot setback from the Blaine Road right-of-way line.

**Loading (Sec. 5.9)**

- Required – 1 loading space (10' X 50') required for up to 10,000 sq. ft. of floor area (for industrial use)
- Proposed – Loading zone not shown
- Meets Requirement? – Yes
- Comment – Typically this has not been required to be shown on a plan. There appears to be sufficient room in the parking lot to accommodate loading activities.

**Access Management and Non-Residential Driveway Standards (Sec. 5.10)**

- Required – Per Sec. 5.10.5.C., the minimum access spacing between commercial driveways on a street with a posted speed limit of 50 MPH or greater is 330 feet.
- Proposed – Existing commercial driveways on Highland Road and Blaine Road are to remain in their current locations.
- Meets Requirement? – NA
- Comment – (none)

**Landscaping and Screening (Sec. 5.11)**

- A. Greenbelt Landscaping (Sec. 5.11.C.)

***Calculations for Greenbelt along Highland Road***

- Required – within the first 30 feet of the property, 1 canopy tree for every 30 ft of lineal of frontage; 3 small deciduous ornamental trees or large deciduous or evergreen shrubs for the initial 40 ft., and 1 per 20 ft. thereafter, for 120' of frontage along Highland Road. EQUATES TO: 4 canopy trees and 7 additional ornamental trees, or large deciduous or evergreen shrubs REQUIRED
- Proposed – 3 canopy trees within first 30 feet; shrubs not proposed
- Meets Requirement? – **TBD**
- Comment – Planning Commission to determine if this is a sufficient number of trees, given that the existing driveway into the site from Highland Road occupies about 50% of the frontage and thus the planting area is limited. There may be sufficient room for shrubs in the greenbelt area.

***Calculations for Greenbelt along Blaine Road***

- Required – within the first 30 feet of the property, 1 canopy tree for every 30 ft of lineal of frontage; 3 small deciduous ornamental trees or large deciduous or evergreen shrubs for the initial 40 ft. and 1 per 20 ft. thereafter, for 382' of frontage along Blaine Road. EQUATES TO: 13 canopy trees and 17 additional ornamental trees, or large deciduous or evergreen shrubs REQUIRED
- Proposed – 8 canopy trees within first 30 feet; an evergreen shrub screen (3-foot height) shown with 47 medium shrubs, along the parking lot which could be counted for the Greenbelt requirement as well as for the Perimeter Landscaping requirement (screening of the parking lot).
- Meets Requirement? – No, for number of canopy trees, however a portion of this space also serves as an existing detention area and 8 canopy trees seem be sufficient given the spatial constraints. Evergreen shrub screen along the parking area could be counted as the shrub requirement - see notes below.
- Comment – An evergreen shrub screen could be counted for the Greenbelt requirement as well as for the Perimeter Landscaping requirement (screening of the parking lot), which has been applied in similar commercial settings. Planning Commission to determine if the evergreen shrubs in the Greenbelt can be also counted for the Perimeter Landscaping (screening of parking lot).

**B. Foundation Landscaping (Sec. 5.11.2.D.)**

- Required – Must equal 60% of the front and sides of the proposed building where facing road or adjacent to parking lot; must be 8-10 ft. in width, and consist of 1 ornamental or columnar tree, and 6 medium or 8 small shrubs for every 30 ft. Building perimeter = 205 feet (used west (160 ft.) and north (45 ft.) sides of building for dimensions). Foundation perimeter 205 ft. X 60% = 123 ft.  
EQUATES TO: 4 ornamental/columnar trees; PLUS 33 small shrubs or 25 medium shrubs REQUIRED
- Proposed –  
**North:** 10 medium shrubs in a 15-foot wide planting bed, and showing rock mulch.  
**West:** no landscaping proposed  
**East:** 30 medium shrubs and perennial flowers in 10-foot wide planting area.
- Meets Requirement? – Yes for shrub count; no for ornamental trees.
- Comment – The total plant count exceeds the required number of shrubs. Awnings on the building on the east somewhat restrict the area for ornamental trees.

C. Parking Lot Landscaping (Sec. 5.11.2.E.i.)

- Required – Landscaped end caps for parking areas of 10 or more spaces; 1 canopy tree per 180 sq. ft. of interior area, with 50% of the interior area covered with small and medium evergreen and deciduous shrubs. The remaining landscape area may include a combination of groundcover, perennials, annuals, lawn, and mulch. Approximate square footage of 4 endcaps & using each area as 200 sq. ft, each = 800 sq. ft. EQUATES TO: 5 canopy trees with a mix of shrubs, lawn, groundcover, perennial/annual plants.
- Proposed – 2 canopy trees (north and south of west parking area) plus lawn and evergreen shrub screen; 1 conifer tree and lawn on north; and mix of shrubs and perennial plants at south endcap by enclosure near building.
- Meets Requirement? – Yes, generally.
- Comment – the 2 enclosures (for vacuum equipment and dumpster) occupy some of the endcap areas so trees could not be planted immediately next to a parking space. Trees that were counted are not located directly next to the parking lot/encap.

D. Perimeter Landscaping – For areas visible from a public road (facing Highland Road and Blaine Road; Sec. 5.11.2.E.ii.a.)

***Calculations for Perimeter Landscaping – parking lot facing Highland Road***

- Required – Landscape berm planted with a combination of evergreen and deciduous shrubs to effectively screen parking lot; or evergreen hedge row a minimum 3 ft. in height; or decorative screen wall
- Proposed – Landscape bed with perennial flowers and ornamental grasses in a planting bed by sidewalk next to parking area.
- Meets Requirement – evergreen hedge row should be added next to barrier-free parking spaces to shield view of parking.
- Comment – Plan to be revised to add evergreen hedgerow on Construction plan set.

***Calculations for Perimeter Landscaping – parking lot facing Blaine Road***

- Required – Landscape berm planted with a combination of evergreen and deciduous shrubs to effectively screen parking lot; or evergreen hedge row a minimum 3 ft. in height; or decorative screen wall
- Proposed – evergreen shrub screen (3-foot height) shown with 47 medium shrubs, along the parking lot which could be counted for the Perimeter Landscaping requirement as well as for the Greenbelt Landscaping requirement.
- Meets Requirement – Yes; see note below
- Comment – The evergreen shrub screen could be counted for the Perimeter Landscaping requirement (screening of the parking lot) as well as Greenbelt requirement, subject to approval by the Planning Commission.

E. Perimeter Landscaping – For areas not visible from a public road (Sec. 5.11.2.E.ii.b.) – along east and south sides of the property

- Required – 1 canopy or evergreen tree for every 30 ft., along with understory shrubs for screening purposes for perimeter areas not visible from a ROW. South: 90 ft.; East: 160 ft. EQUATES TO: 3 trees on the south; 5 trees on the east, and understory shrubs for screening REQUIRED.
- Proposed – South: 3 evergreen trees on the south and 2 planting areas with shrubs, plus lawn; East: 4 evergreen trees and 3 planting areas with shrubs plus lawn.
- Meets Requirement? – Yes, for the number of required trees on the south; no for the number of trees on the east.

- Comment – Landscaping appears to be sufficient given that the adjacent properties on the south and east are commercial sites/uses and are zoned PD (Planned Development), and are part of the Hartland Marketplace PD. An entrance drive from Highland Road to Hartland Marketplace PD is adjacent to the east property line of the car wash site. Extra trees may not be necessary on the east.
- F. Buffering or Screening (Sec. 5.11.2.G.i.) – screening between land uses – NA as adjacent properties to the south and east are commercial sites/uses and zoned PD (Planned Development).
- G. Screening of Ground Mounted Equipment (Sec. 5.11.2.G.iii.)
- Required – screening on three sides for utility cabinets (if 30 inches or more in height)
  - Proposed – 2 brick enclosures are provided to screen dumpsters and vacuum equipment.
  - Meets Requirement? – Yes
  - Comment – (none)
- H. Detention/Retention Area Landscaping (Sec. 5.11.2.H.)
- Per older plans for this site, a detention area exists in the open area between Blaine Road and the western edge of the proposed parking lot. The current plans do not show the detention area thus comments are not provided at this time. Lawn and canopy trees are proposed, plus an evergreen shrub hedgerow by the parking spaces. Additional details on the stormwater plans may be forthcoming on the Construction plan set.

Other comments on landscaping

Rock mulch is shown in several planting beds which is not permitted. Plan is to be revised to show shredded hardwood mulch in all planting areas on the Construction set of plans.

**Sidewalks and Pathways (Sec. 5.12)**

- Required – the Planning Commission may require sidewalks or safety paths as a condition of site plan approval
- Existing – 7-foot wide sidewalk is in place along the Highland Road frontage.
- Meets Requirement? – Yes
- Comment – (none)

**Lighting (Sec. 5.13)**

A. Intensity

- Required – max. 0.5 fc along property line adjacent to residential; or max.1.0 fc along property line adjacent to non-residential; average fc between 2.4 and 3.6 in main parking area and an average of 5.0 fc at main building entrance and at exit/entry drive; may not exceed 10 fc on site; average lighting under vehicular canopy shall not exceed 5 fc and canopy light fixtures shall be installed so that the lens is recessed and adequately shielded.
- Proposed – photometric plan indicates an average of 0.1 fc along property lines; average of 2.9 fc in the parking area and exit/entry drives; average of 5.0 fc at building entrance; average of 7.0 fc under POS canopy. Footcandle value less than 10 fc throughout the site.
- Meets Requirement? – **No** -Average footcandle under vehicular canopy exceeds the maximum of 5 fc allowed (average fc).
- Comment – Photometric plan to be revised to meet the lighting standards for lighting under the vehicular canopy on the Construction plan set.

**B. Fixture Height**

- Required – 25' or the height of the principal building, whichever is less, measured from the ground level to the centerline of the light source
- Proposed – 20' pole plus 30" base
- Meets Requirement? – Yes
- Comment – (none)

**C. Fixture Type**

- Required – details of all lighting fixtures needed including specifications for shielding, wattage, and illumination
- Proposed – specifications for proposed LED light fixtures are shown on the photometric plan for light pole fixtures, wall mounted light fixtures, and lighting on the vacuuming apparatus.
- Meets Requirement? – Yes
- Comment – (none)

**Water Supply and Wastewater Disposal (Sec. 5.16)**

The site is served by municipal water and sanitary sewer.

**Architecture / Building Materials (Sec. 5.24)****Architecture Comments:**

- Façade Materials Calculation – façade materials must comply with the specifications for Façade Materials Group #1; percentages for the car wash building are proposed as follows:

**Materials Group #1: Proposed Façade Materials by Percentage by Elevation – Car Wash Building**

Elevation	Clay Brick (30% min.) Brick veneer prop.	Siding (Alumaboard proposed) (10% max.)	Standing seam metal roof (20% max.)	Glass (50% max.)	E.I.F.S trim (15% max.)	Awnings (10% max.)	Split-faced block (25% max.)
North	62.8%	10.0%	0.0%	8.0%	0.0%	0.9%	0.0 %
East	78.2%	8.1%	0.0%	3.4%	4.7%	0.0%	0.0%
South	66.6%	10.0%	0.0%	9.7%	0.0%	0.9%	0.0%
West	39.9%	8.6%	9.9%	9.7%	4.3%	1.0%	24.5%

- Colors: 3-D color renderings of the building and canopy are provided. Specific product information for each façade material is stated on the building elevations. Earthtone colors are proposed for all products.
- Materials: percentages are listed for each elevation side as indicated by the table; specifications on all materials are provided.
- Meets Requirement? – Yes
- Comment – (none)

**Other buildings****Attendant Shelter**

The free-standing attendant shelter is for the employee working the POS lanes during inclement weather. The building dimensions are approximately 5'-2 ½" by 6'9", and height of 10'-2". Façade material

percentages were not provided. Staff estimates that the upper one-half of the building is comprised of E.I.F.S. which is painted black. The lower one-half is comprised of brick veneer to match the main building. Windows are shown on three (3) sides and a glass door on the south side of the building.

**Vehicular Canopy (POS)**

The vehicular canopy is on the east side of the building and the canopy is not attached to the main building. The canopy is 15'-2" in height and the support posts are faced with brick veneer to match the building. The vertical surfaces of the canopy are black metal.

**Other Requirements-Zoning Ordinance Standards/Comments**

No comments at this time.

**Hartland Township DPW Review**

A review letter is provided from the Hartland Township DPW Director, dated August 22, 2022.

**Hartland Township Engineer's Review (SDA)**

The Township Engineer (SDA) has reviewed the plans and recommends approval subject to items being addressed in the letter dated July 18, 2022.

**Hartland Deerfield Fire Authority Review**

The Hartland Deerfield Fire Authority has reviewed the plans and provided comments in the letter dated August 25, 2022. Approval is subject to the contingencies being addressed as outlined in the letter.

**Attachments:**

1. Hartland Township DPW review letter, dated 08.22.2022 – *PDF version only*
2. Township Engineer (SDA) review letter dated 07.18.2022 – *PDF version only*
3. Hartland Deerfield Fire Authority review letter, dated 08.25.2022 – *PDF version only*
4. Applicant's summary dated 08.30.2022 – *PDF version only*
5. Architectural plans dated 08.30.2022
6. Photometric plans dated 07.01.2022
7. Landscape Plan dated 08.15.2022
8. Site Plan dated 07.26.2022

CC:

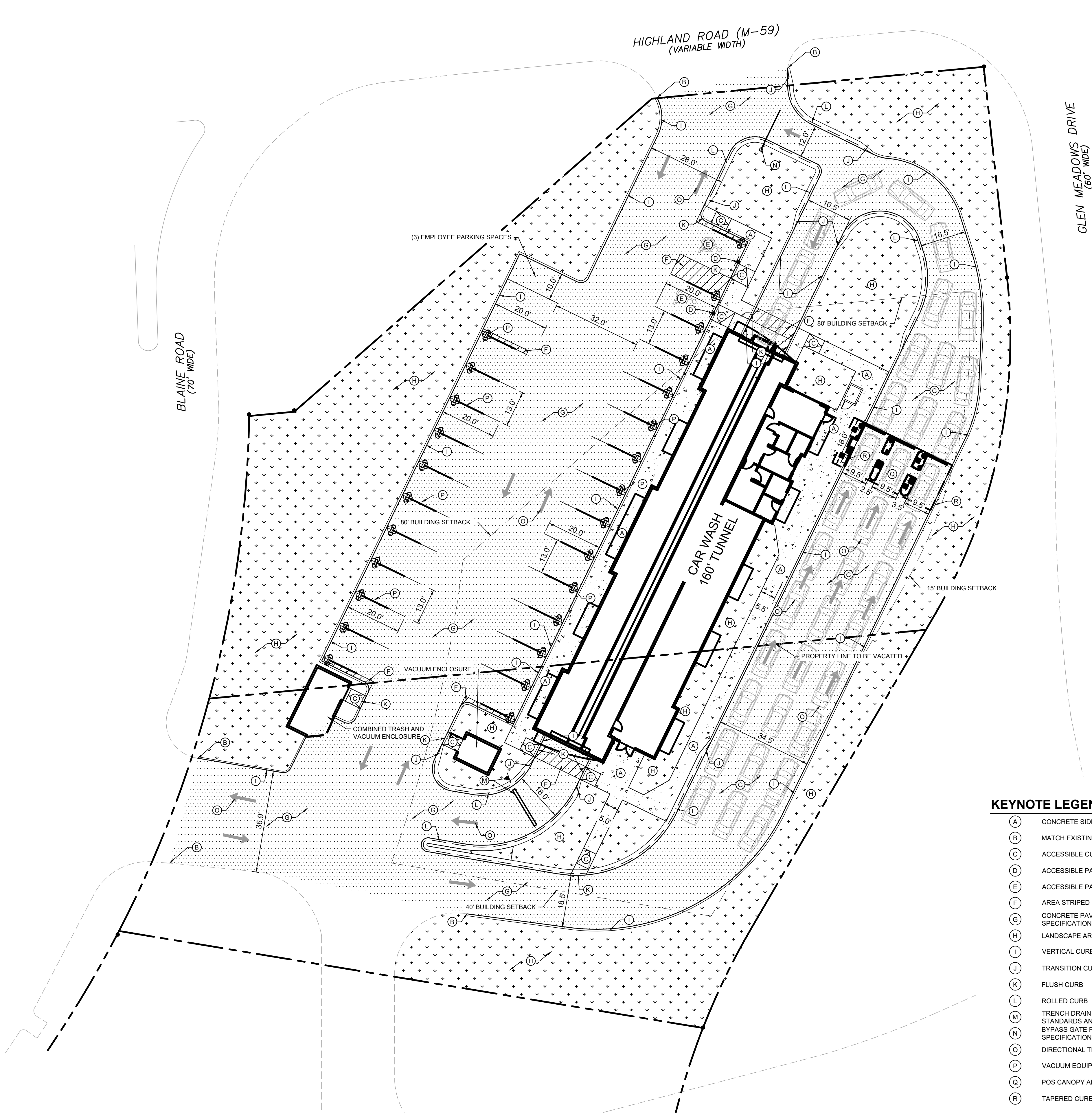
SDA, Twp Engineer (via email)

M. Luce, Twp DPW Director (via email)

A. Carroll, Hartland FD Fire Chief (via email)

T:\PLANNING DEPARTMENT\PLANNING COMMISSION\2022 Planning Commission Activity\Site Plan Applications\SUP #22-007 Mister Car Wash\Staff reports\Planning Commission\SUP #22-007 PC staff report 09.01.2022.docx





KEYNOTE LEGEND

- (A) CONCRETE SIDEWALK
- (B) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- (C) ACCESSIBLE CURB RAMP
- (D) ACCESSIBLE PARKING SIGN
- (E) ACCESSIBLE PARKING STALL
- (F) AREA STRIPED WITH 4" SYSL @ 45° 2' O.C.
- (G) CONCRETE PAVEMENT PER MISTER CARWASH STANDARDS AND SPECIFICATIONS
- (H) LANDSCAPE AREA
- (I) VERTICAL CURB (TYP.)
- (J) TRANSITION CURB
- (K) FLUSH CURB
- (L) ROLLED CURB
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- (N) BYPASS GATE PER MISTER CAR WASH STANDARDS AND SPECIFICATIONS
- (O) DIRECTIONAL TRAFFIC ARROW, PER GREENBOOK STANDARDS
- (P) VACUUM EQUIPMENT: REF. ARCHITECTURAL PLANS
- (Q) POS CANOPY AND EQUIPMENT: REF. ARCHITECTURAL PLANS
- (R) TAPERED CURB PER MISTER CAR WASH STANDARDS

LEGEND

- PROPERTY LINE
- PROPOSED FENCE
- SETBACK LINE
- PROPOSED CURB AND GUTTER
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK

PROPERTY SUMMARY

SPRING LAKE PARK, MN MISTER CAR WASH	
TOTAL PROPERTY AREA	±1.66 AC
ZONING SUMMARY	
EXISTING ZONING	GC - GENERAL COMMERCIAL
PROPOSED ZONING	GC - GENERAL COMMERCIAL
BUILDING SETBACKS	FRONT: 80' SIDE: 15' REAR: 40'

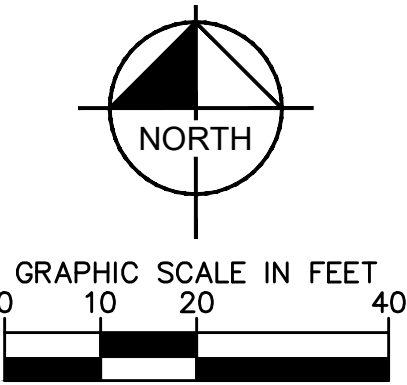
BUILDING DATA SUMMARY

AREAS	
PROPOSED PROPERTY	±1.66 AC
BUILDING AREA	±6,500 SF
PARKING	
FULLY AUTOMATIC CAR WASH - REQUIRED PARKING	2 PARKING SPACES 3 EMPLOYEE SPACES 12 STACKING SPACES = 17 SPACES TOTAL
PROPOSED PARKING	24 PARKING SPACES 3 EMPLOYEE SPACES 38 STACKING SPACES = 65 SPACES TOTAL
ADA STALLS REQ'D / PROVIDED	2 STALLS / 2 STALLS

\* 3 EMPLOYEES ON PEAK SHIFT

SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL INNER CURBED RADII ARE TO BE 3' AND OUTER CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
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- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY MERIDIAN LAND SURVEYING, DATED 5/4/2022.  
  
KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
- TOTAL LAND AREA IS 1.66 ACRES.
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- NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
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- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
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- ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.



PRELIMINARY - NOT FOR CONSTRUCTION

MCW - HARTLAND, MI

PREPARED FOR

MISTER CAR WASH

HARTLAND MICHIGAN

SITE PLAN

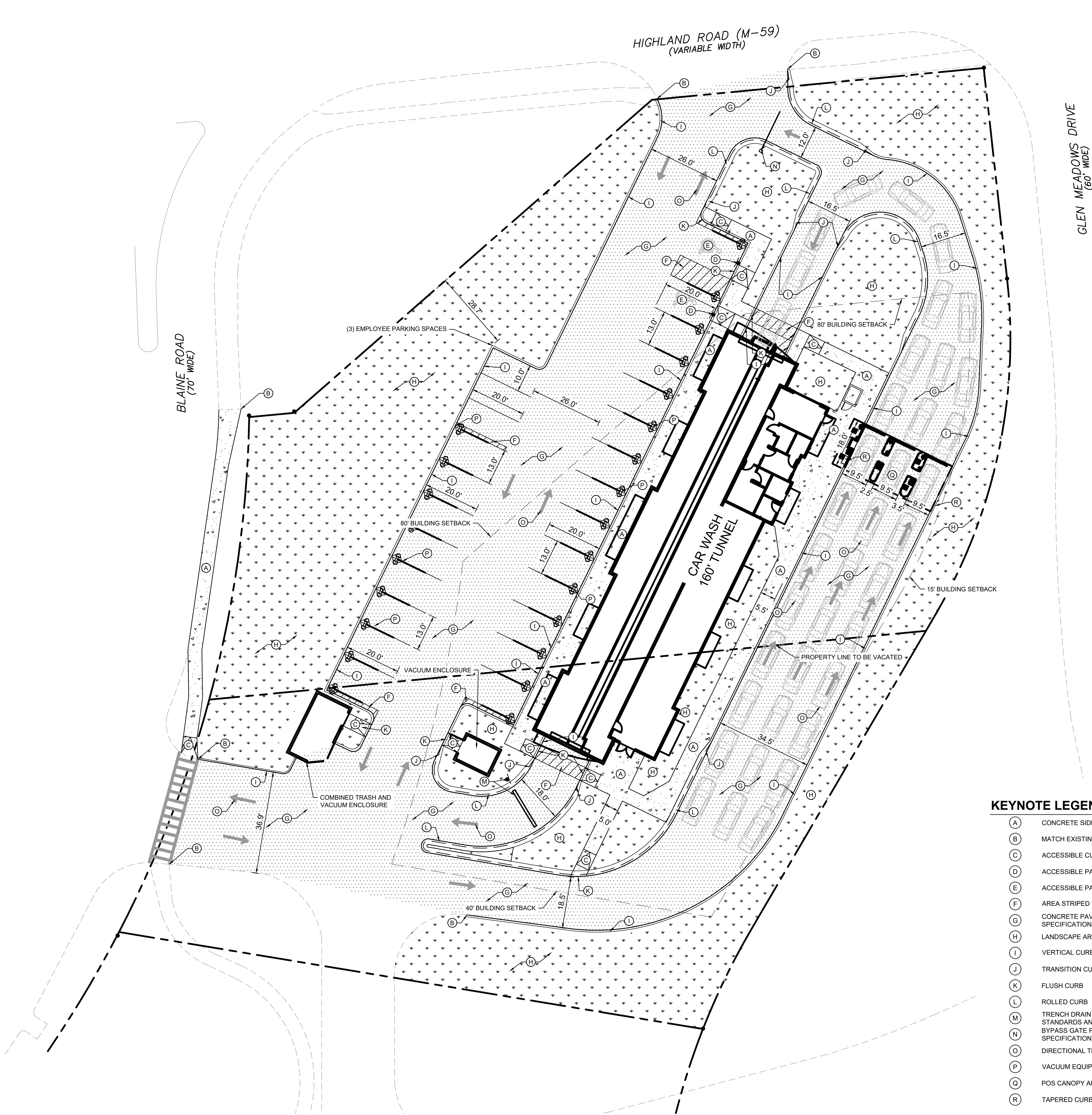
KHA PROJECT	160284008
DATE	07/26/2022
SCALE	AS SHOWN
DESIGNED BY	ACL
DRAWN BY	ACL
CHECKED BY	WDM

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PHONE: 651-445-4197  
WWW.KIMLEY-HORN.COM

SHEET NUMBER  
C400





KEYNOTE LEGEND

- (A) CONCRETE SIDEWALK
- (B) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
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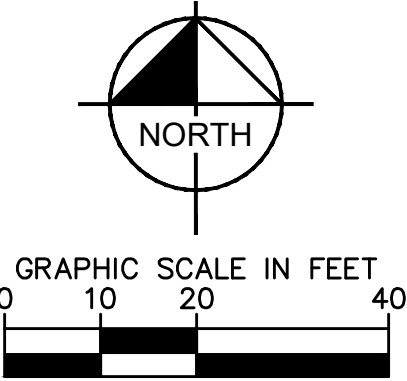
BUILDING DATA SUMMARY

AREAS	
PROPOSED PROPERTY	±1.66 AC
BUILDING AREA	±6,500 SF
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FULLY AUTOMATIC CAR WASH - REQUIRED PARKING	2 PARKING SPACES 3 EMPLOYEE SPACES 12 STACKING SPACES = 17 SPACES TOTAL
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ADA STALLS REQ'D / PROVIDED	2 STALLS / 2 STALLS

\* 3 EMPLOYEES ON PEAK SHIFT

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MCW - HARTLAND, MI

PREPARED FOR  
MISTER CAR  
WASH

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SITE PLAN

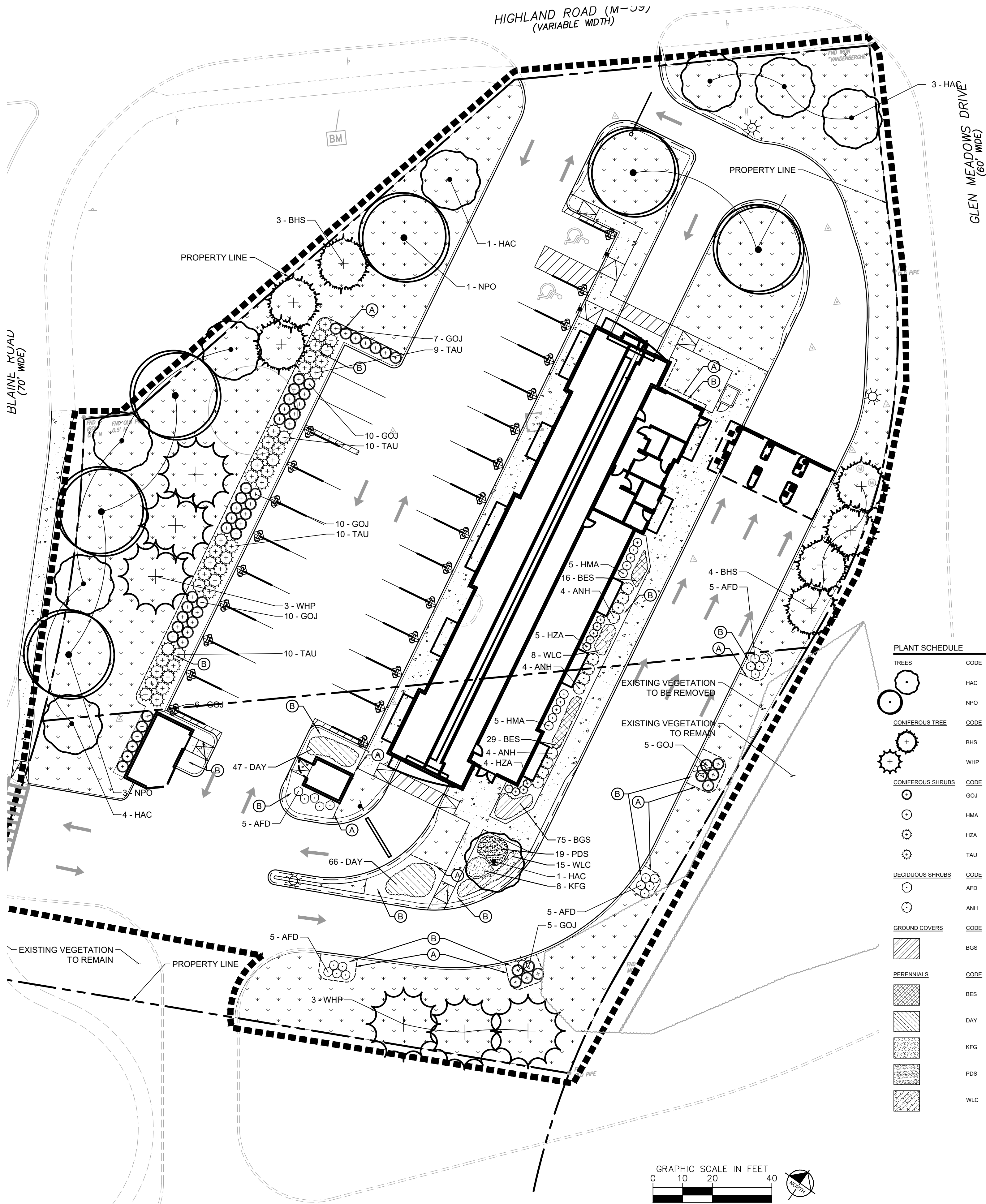
KHA PROJECT 160284008	DATE 10/06/2022	SCALE AS SHOWN	DESIGNED BY ACL	DRAWN BY ACL	CHECKED BY WDM
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LANDSCAPE LEGEND

- EXISTING VEGETATION (TYP.)
- EDGER (TYP.)
- APPROXIMATE LIMITS OF SOD / IRRIGATION, SOD ALL DISTURBED AREAS (TYP.)
- SEED/ SOD EDGE (TYP.)
- ROCK MULCH (TYP.)
- SHREDDED HARDWOOD MULCH (TYP.)
- KENTUCKY BLUEGRASS SEED MIX (TYP.)

LANDSCAPE KEYNOTES

- EDGER (TYP.)
- DOUBLE SHREDDED HARDWOOD MULCH (TYP.)

LANDSCAPE SUMMARY

REQUIRED TREES 15 = 1 CANOPY OR EVERGREEN TREE PER 30 FT. OF BUILDING FRONTAGE

PROPOSED TREES 28 = 15 CANOPY TREES, 13 EVERGREEN TREES AT ROUGHLY 450 FT. OF BUILDING FRONTAGE

PLANT SCHEDULE

TREES				
CODE	BOTANICAL NAME	COMMON NAME	CONT	CAU/SIZE
HAC	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	3" CAL.
NPO	QUERCUS ELLIPSOIDALIS 'BAILSIES' TM	MAJESTIC SKIES PIN OAK	B & B	3" CAL.
CONIFEROUS TREE				
CODE	BOTANICAL NAME	COMMON NAME	CONT	CAU/SIZE
BHS	PICEA GLAUCA 'DENSATA'	BLACK HILLS WHITE SPRUCE	B & B	8' HT.
WHP	PINUS STROBUS	WHITE PINE	B & B	8' HT.
CONIFEROUS SHRUBS				
CODE	BOTANICAL NAME	COMMON NAME	CONT	SPACING
GOJ	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	#5 CONT.	4' O.C.
HMA	THUJA OCCIDENTALIS 'HOLMSTRUP'	HOLMSTRUP ARBORVITAE	#5 CONT.	3' O.C.
HZA	THUJA OCCIDENTALIS 'HETZ MIDGET'	HETZ MIDGET ARBORVITAE	#5 CONT.	3' O.C.
TAU	TAXUS X MEDIA 'TAUNTONII'	TAUNTON YEW	#5 CONT.	5' O.C.
DECIDUOUS SHRUBS				
CODE	BOTANICAL NAME	COMMON NAME	CONT	SPACING
AFD	CORNUS SERICEA 'ARTIC FIRE'	ARTIC FIRE DOGWOOD	#5 CONT.	3' O.C.
ANH	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	#5 CONT.	4' O.C.
GROUND COVERS				
CODE	BOTANICAL NAME	COMMON NAME	CONT	SPACING
BGS	SEDUM X 'BLOODGOOD'	BLOODGOOD STONECROP	#1 CONT	12"
PERENNIALS				
CODE	BOTANICAL NAME	COMMON NAME	CONT	SPACING
BES	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK-EYED SUSAN	#1 CONT	18" o.c.
DAY	HEMEROCALLIS X 'APRICOT SPARKLES'	APRICOT SPARKLES DAYLILY	#1 CONT.	18" o.c.
KFG	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1 CONT	30" o.c.
PDS	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1 CONT	24" o.c.
WLC	NEPETA X FAASSENII 'WALKERS LOW'	WALKERS LOW CATMINT	#1 CONT	30" o.c.

LANDSCAPE NOTES

- CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIMEN GRADE, MICHIGAN-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS: ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC. ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING. CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER MILA & ANSI STANDARD PLANTING PRACTICES.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MDOT STANDARD SPECIFICATION (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 3" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. DOUBLE SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH DOUBLE SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND COLORED RED, OR APPROVED EQUAL. ROCK MULCH TO BE GRAY TRAP, 1 1/2" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- EDGING TO BE COMMERCIAL GRADE STEEL (OR EQUAL) EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNAPOT GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MNDOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
- PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- MAINTAIN TREES, SHRUBS, AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD: 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 45 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECITES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES.

PRELIMINARY - NOT FOR CONSTRUCTION

MCW - HARTLAND, MI

PREPARED FOR  
MISTER CAR  
WASH

HARTLAND MICHIGAN

SHEET NUMBER  
L100

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