

**PLAN COMMISSION MEETING
AGENDA**

Tuesday, February 18, 2025 at 6:00 PM

**Harrison Utilities
N8722 Lake Park Rd
Menasha WI 54952**

Meeting will be held at Harrison Utilities, N8722 Lake Park Rd, Menasha, WI, 54952

- 1. Call to Order**
- 2. Pledge of Allegiance**
- 3. Roll Call**
- 4. Public Comments (Non-Agenda Harrison Related Items)**

Please be advised per State Statute section 19.84(2), information will be received from the public; be further advised that there may be limited discussion on the information received; however, no action will be taken under public comments. It is the policy of the Village that there is a three-minute time limit per person. Time extensions may be granted by the President. Please register your name on the sign-in sheet prior to the start of the meeting.

5. Corrections and Approval of the Previous Meeting Minutes

- a. Approve Minutes - January 21, 2025**

6. New Business for Discussion, Consideration, and/or Action

- a. Site Plan Review – Mt. Calvary Lutheran Church Addition (Excel Engineering) – N8728 S Coop Rd – Parcel 33578**
- b. Final Plat – Harrison Commerce Park – County N – Parcels 39138, 39144, 39142**
- c. Report: January 2025 Zoning Permits**

7. Set Next Meeting Date

- a. Tentatively March 18, 2025 at 6:00pm**

8. Adjournment

Agenda posted and published:

February 12, 2025 at Harrison Village Hall and to www.VillageofHarrison-WI.org

/s/ Meghan Winkler, Deputy Clerk/Deputy Treasurer/HR Officer

Accessibility:

Any person with hearing disabilities or requiring special accommodations to participate in the meeting should contact the Clerk's Office (920-989-1062) at least 24-hours prior to the meeting. This is a public meeting.

PLAN COMMISSION MEETING

VILLAGE OF HARRISON**From:**

Josh Sherman, Assistant Planner

Meeting Date:

February 18, 2025

Title:

Site Plan Review – Mt. Calvary Lutheran Church Addition (Excel Engineering) – N8728 S Coop Rd – Parcel 33578

Issue:

Should the Plan Commission recommend approval of the Mt. Calvary Lutheran Church site plan to the Village Board?

Background and Additional Information:

Mount Calvary Lutheran Church has submitted a proposal for a building addition for a new worship center at their facility at N8728 S Coop Rd. The facility also functions as a Lutheran School that has been providing worship services in the school gym.

The proposed addition is to the west of the existing building and is approximately 5,326 square feet. The addition will include a new worship space with narthex, restrooms, office, and a vestibule to the new space. Building materials for the new building will match the existing building. A new internal drive is proposed to the south of the addition for drop off and pick up at the new vestibule.

New exterior lighting will be provided within the soffit around the perimeter of the building addition as well as steeple lighting. Additional landscaping will also be added to the site along the north property line to further screen the proposed building addition to the north.

The stormwater and site plan is currently being reviewed by the village engineer and staff. The use of the church and school complies with the General Agriculture zoning district.

Recommended Action:

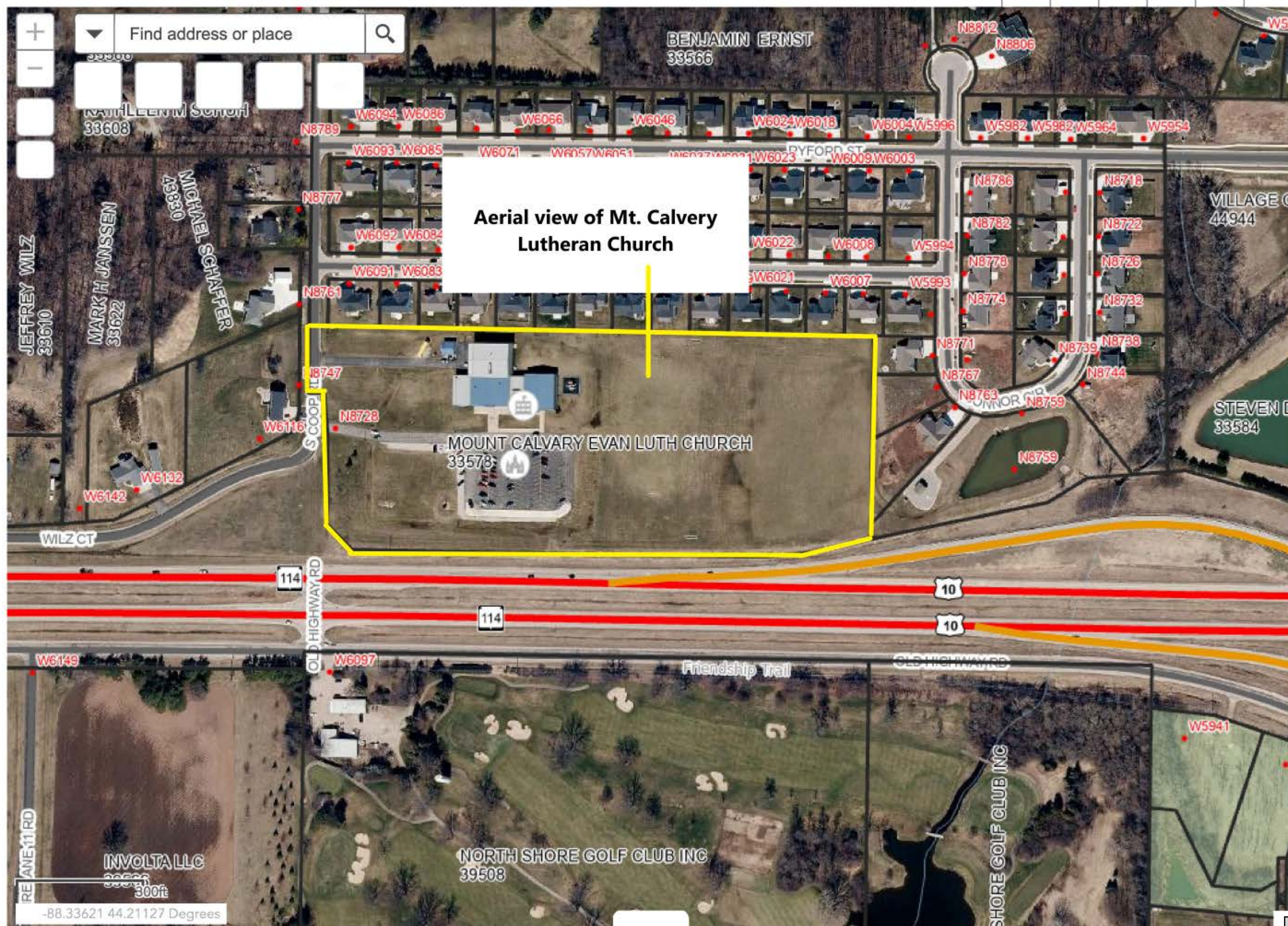
Staff recommends approval of the site plan with the following conditions. The conditions below must be met before the site plan permit is issued.

1. There shall be no light spillover into the neighboring residential subdivisions.
2. A detailed site plan review, pursuant to Article XIII of the zoning ordinance, shall be completed prior to issuance of zoning and building permits.
3. The site plan is subject to the review and recommendations of the Village of Harrison's engineer(s) of record.

4. A grading/drainage stormwater management plan and erosion control plan, along with application and fee, shall be reviewed and approved by the Village engineer and Village staff.
5. Only those uses permitted in the applicable zoning district shall be allowed within the development.
6. All applicable local, County, and State rules, regulations, and ordinances shall be met.

Attachments:

- Aerial Map
- Site Plan
- Project Narrative



PROJECT INFORMATION

PROPOSED ADDITION FOR:
MOUNT CALVARY LUTHERAN CHURCH
N 8728 S COOP ROAD • HARRISON, WI 54952

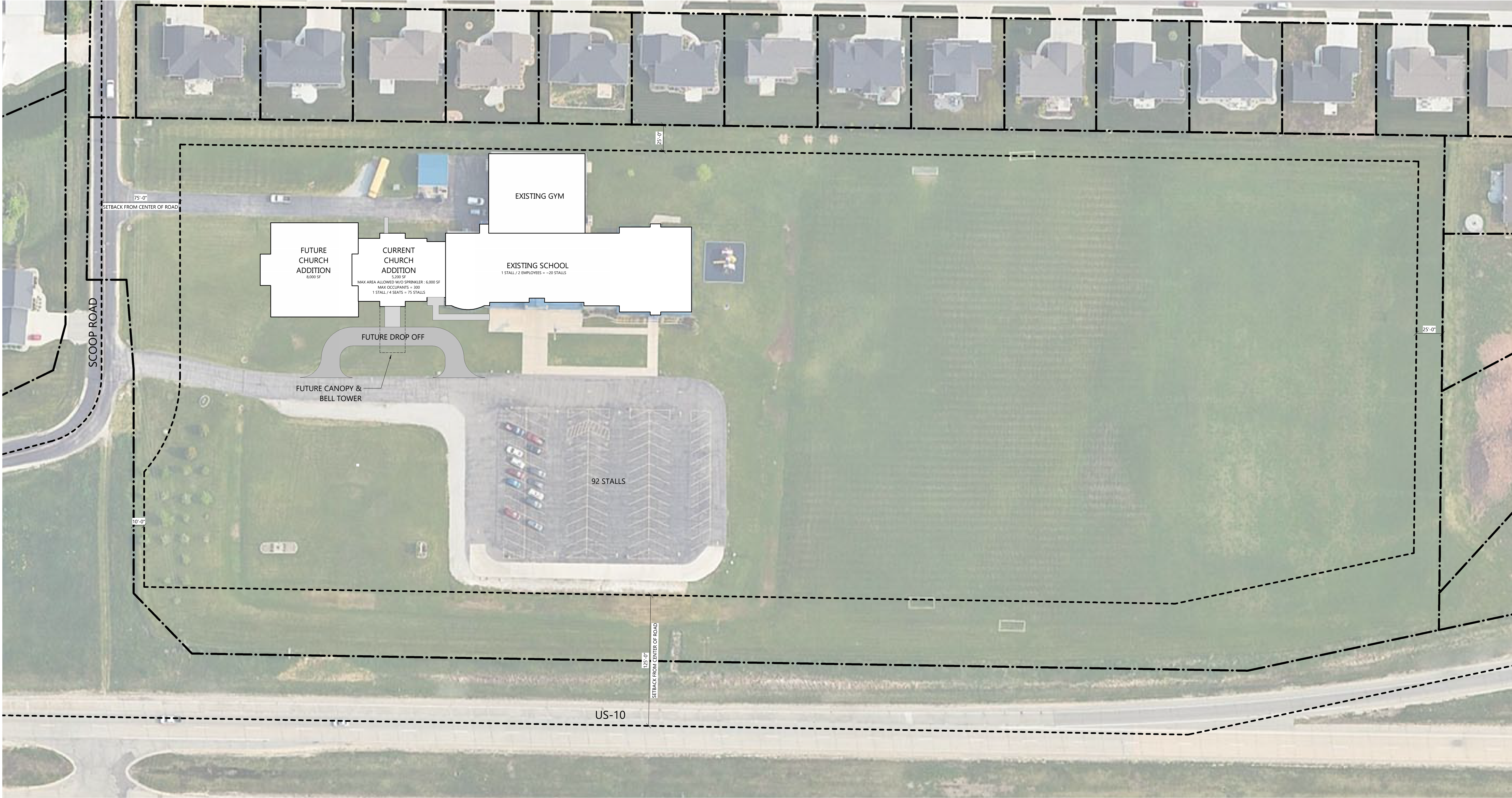
PROFESSIONAL SEAL

PRELIMINARY DATES
DEC. 18, 2024

NOT FOR CONSTRUCTION

JOB NUMBER
230471100

SHEET NUMBER
A1.0



1 SITE PLAN
A1.0 SCALE: 1" = 40'-0"



February 4, 2025

Project Narrative

Project: Mt Calvary Lutheran Church Addition
N8728 S Coop Road
Menasha, WI 54952

Mt Calvary Lutheran Church is requesting site plan review and approval for a new worship space building addition to their existing Shepherd of the Valley Lutheran School & Mt Calvary Lutheran Church facility located at N8728 S Coop Road in the Village of Harrison. The church has currently been providing worship services in the school gym. The property is zoned AG and the proposed project is a permitted use.

The proposed addition is proposed to the west of the existing building and is approximately 5,326 square feet. The addition will include a new worship space with narthex, (2) restrooms, office, parent's room and a vestibule to the new space. Building materials for the new building can be seen in the included elevations and will be comprised of split face masonry and Board and Batten siding in colors to match the existing building. In addition to the building addition, a new internal drive is proposed to the south of the addition to allow for drop off and pick up at the new vestibule. A new internal connector sidewalk is also proposed. New exterior lighting will be provided within the soffit around the perimeter of the building addition as well as steeple lighting. Additional landscaping will also be added to the site along the north property line to further screen the proposed building addition to the north. Total area of disturbance is 0.56 acres.

Stormwater from the current facility and proposed addition will drain to an existing dry pond on site that is located south of the existing parking lot. Sanitary sewer service and water service will continue to connect to existing mains within S Coop Road, with alterations to the existing service lines proposed to accommodate the proposed addition.

There is an alternate to deduct the proposed driveway from the project. There is also an alternate to add a 6" domestic water and fire service to the building and provide a site hydrant.

The sanctuary worship space will accommodate up to 239 occupants. Total number of employees, including both school and church is 7 full time and 4 part time. Hours of operation are Monday through Friday 8 AM – 4 PM and Sunday from 9 AM – 11 AM. Sanctuary or narthex or existing school or existing gym will not be used simultaneously. Total parking provided within the southern parking lot is 88 spaces, 4 of which are handicap accessible, which complies with the village required parking of 40 spaces for the 239 person occupancy within the proposed sanctuary.

PLAN COMMISSION MEETING

VILLAGE OF HARRISON**From:**

Josh Sherman, Assistant Planner

Meeting Date:

February 18, 2025

Title:

Final Plat – Harrison Commerce Park – County N – Parcels 39138, 39144, 39142

Issue:

Should the Plan Commission recommend approval of the Final Plat for the Harrison Commerce Park to the Village Board?

Background and Additional Information:

The proposed final plat is a new commercial/central business district, developed by the Village of Harrison, and located along County N, south of Schmidt Rd but north of Manitowoc Rd, and wholly within parcels 39138, 39144, and 39142.

The plat consists of 14 lots. Lots 1 - 11 average about two acres with County N frontage and are egressed off Homestead Lane via Commerce Drive. Lot 12, access from Manitowoc Rd and Homestead Ln, will occupy a new Fire Station 70 complex slated to start construction in 2025. Lots 13 & 14 provide development opportunities for large-scale commercial.

The area borders Luniak Meadows 2 subdivision to the northeast. The developer of Luniak Meadows 2 will share in the cost of constructing Homestead Lane. The lower half of the plat borders agriculture land. The development will include pedestrian pathways along County N that make the development walkable.

Protective covenants and design guidelines have been created for the development. The plat includes a future park to serve the adjacent residential subdivision and business park.

All roadways are proposed to be dedicated to the public. Sewer and water will be extended through the business district and will be serviced by Darboy Sanitary.

Recommended Action:

Staff recommends approval of the Final Plat for Harrison Commerce Park with the following conditions:

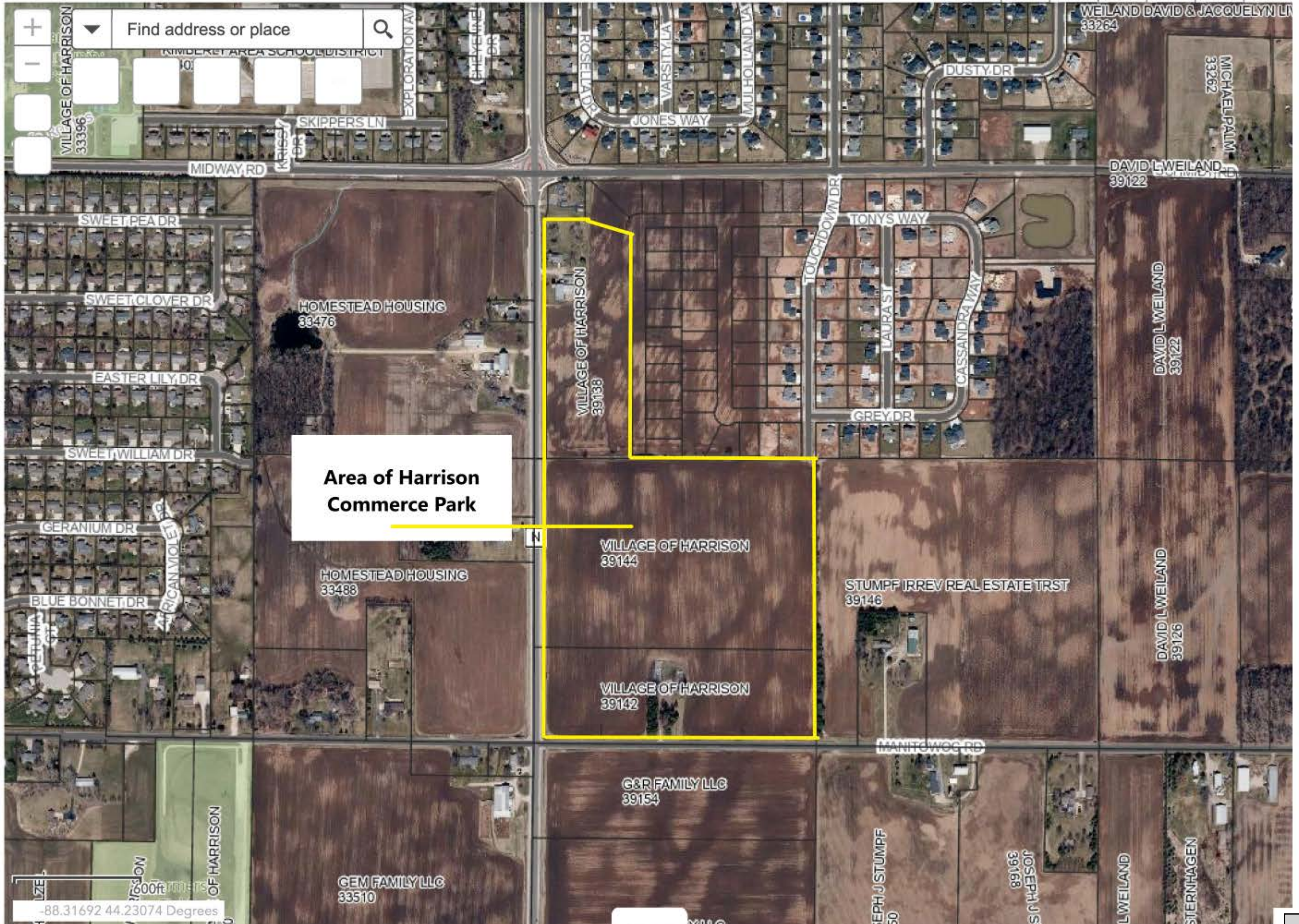
1. The sale and development of all lots are subject to the Commercial Development Design Guidelines Manual and the Harrison Commerce Park Protective Covenants and Restrictions
2. The wetlands on Lot 4 must be remediated or permitted prior to the sale of Lot 4.

Attachments:

- Preliminary Plat
- Aerial Map

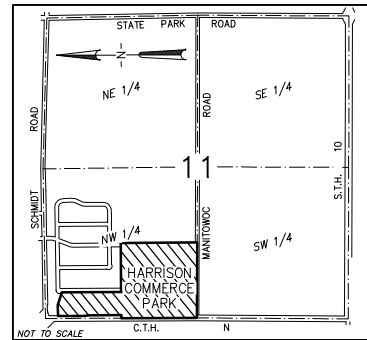
Calumet County Interactive Map

Menasha GIS Appleton GIS Calumet Land Informa



HARRISON COMMERCE PARK

ALL OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 1978, RECORDED IN VOLUME 14 OF CERTIFIED SURVEY MAPS ON PAGES 123-125 AS DOCUMENT NO. 265890, BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4; AND ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 4075, RECORDED IN VOLUME 37 OF CERTIFIED SURVEY MAPS ON PAGES 296-299 AS DOCUMENT NO. 582769, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4; ALL IN SECTION 11, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN



LOCATION MAP
SECTION 11, TOWNSHIP 20 NORTH, RANGE 18 EAST,
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

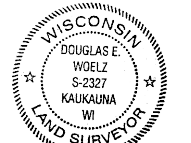
LEGEND

- 1 1/4" x 18" ROUND STEEL REBAR
WEIGHING 4.3 lbs./lineal ft. SET
- 1 1/4" REBAR FOUND
- 3/4" IRON REBAR FOUND
- ALL OTHER LOT CORNERS STAKED WITH 3/4"
X 18" ROUND STEEL REBAR, WEIGHING 1.50
LBS./LIN. FT.
- CERTIFIED LAND CORNER CALUMET COUNTY
- S.F. - SQUARE FEET
- () - RECORDED BEARING AND/OR DISTANCE
- EXISTING POWER POLE
- EXISTING OVERHEAD UTILITY LINE
- RESTRICTED ACCESS (LOTS 1-11)
- RIGHT-OF-WAY (R.O.W.) LINE
- PROPERTY LINE
- SECTION LINE
- BUILDING SETBACK LINE
- UTILITY EASEMENT (15' UNLESS NOTED)

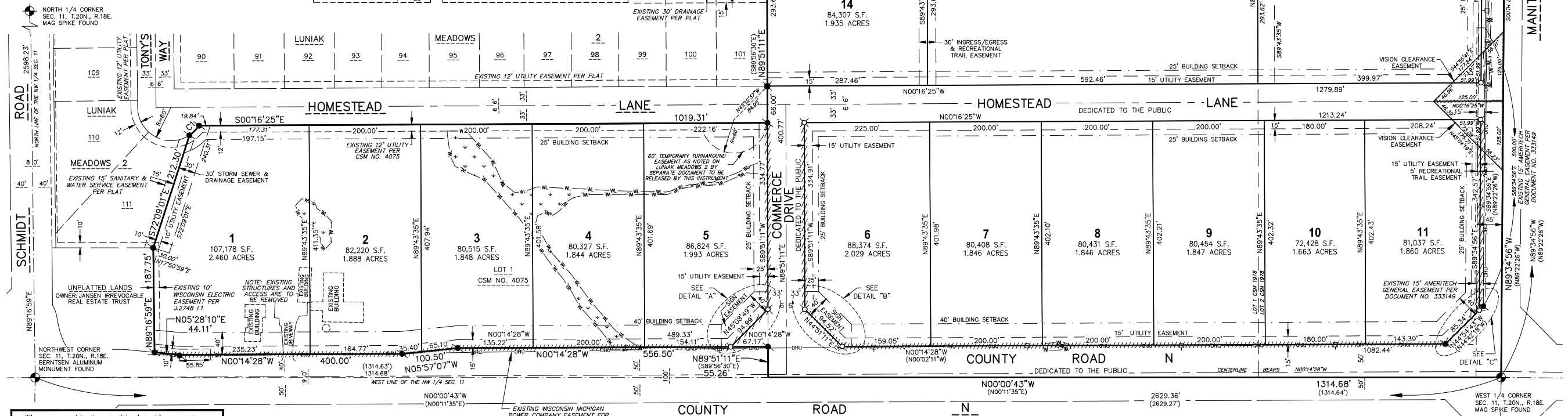
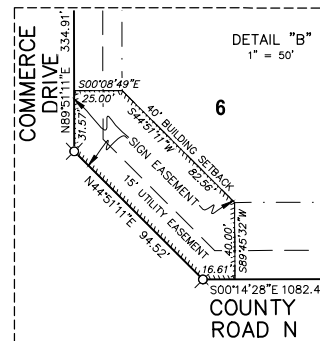
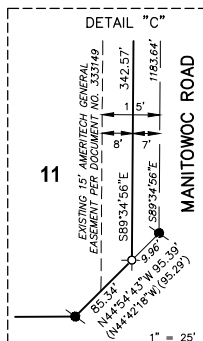
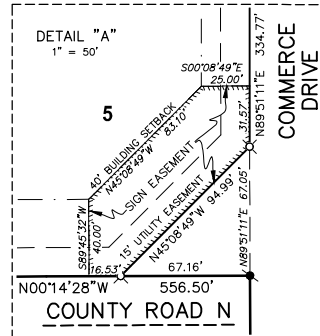
- WETLANDS AS DELINEATED BY
TRAVIS A. STRUCK OF DAVEL
ENGINEERING & ENVIRONMENTAL, INC.,
DATED JUNE 24, 2021 AND STACEY
CAPLAN OF MCMAHON ASSOCIATES, INC.
DATED FEBRUARY 13, 2024 (FIELD WORK
COMPLETED ON MAY 15, 2023)

BEARINGS ARE REFERENCED TO THE WEST LINE OF
THE NORTHWEST 1/4 OF SECTION 11, TOWNSHIP 20
NORTH, RANGE 18 EAST, WHICH BEARS N00°00'43"W
PER THE WISCONSIN COUNTY COORDINATE SYSTEM
AS PUBLISHED FOR CALUMET COUNTY

SCALE - FEET
1" = 100'



02-12-2025



There are no objections to this plat with respect to
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),
Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



CURVE DATA
C1
RADIUS = 60.00'
DELTA = 023°34'51"
LENGTH = 24.69'
CHORD = 54°06'52"E
TANGENT IN = S33°19'26"E
TANGENT OUT = S56°54'17"E

EXISTING WISCONSIN MICHIGAN
POWER COMPANY EASEMENT FOR
TRANSMISSION LINES AND POLES
RECORDED IN VOL. 0 PG. 59
(WIDTH NOT SPECIFIED)

ACCESS RESTRICTED NOTE:
AS OWNER I HEREBY RESTRICT LOTS 1 THROUGH 11, IN THAT NO OWNER,
POSSESSOR, USER, NOR LICENSEE, NOR OTHER PERSON SHALL HAVE ANY
RIGHT OF DIRECT VEHICULAR INGRESS OR EGRESS WITH C.T.H. N, COMMERCE
DRIVE AND MANIWOC ROAD, AS SHOWN ON THE PLAT; IT BEING EXPRESSLY
INTENDED THAT THIS RESTRICTION SHALL CONSTITUTE A RESTRICTION FOR THE
BENEFIT OF THE PUBLIC ACCORDING TO S. 236.293, STATS., AND SHALL BE
ENFORCEABLE BY THE VILLAGE OF HARRISON.

- NOTES:
- THIS SUBDIVISION IS ALL OF TAX PARCEL ID NUMBERS 39138, 39144 AND 39142.
 - SEE SHEET 2 FOR ADDITIONAL NOTES, RESTRICTIONS AND PROVISIONS.
 - THIS PLAT IS SUBJECT TO PROTECTIVE COVENANTS AND RESTRICTIONS PREPARED
BY THE DEVELOPER AND RECORDED IN A SEPARATE INSTRUMENT.

McMAHON
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

THIS INSTRUMENT DRAFTED BY: **AMY SEDLAR**

SHEET 1 OF 2

Village of Harrison
January-25 Zoning Permit Report

	Current Year					Previous Year				
	Permits		YTD Permits	Estimated Value	YTD Estimate Value	Permits		YTD Permits	Estimated Value	YTD Estimate Value
Residential										
Single Family	5		5	\$ 2,900,000	\$ 2,900,000	8		8	\$ 4,200,000	\$ 4,200,000
Two Family (units)	0	(0)	0	\$ 0	\$ 0	0	(0)	0	\$ 0	\$ 0
Multi Family (units)	0	(0)	0	\$ 0	\$ 0	0	(0)	0	\$ 0	\$ 0
Additions	2		2	\$ 45,300	\$ 45,300	0		0	\$ 0	\$ 0
Acc. Structures	2		2	\$ 72,200	\$ 72,200	1		1	\$ 1,000	\$ 1,000
Miscellaneous	5		5	\$ 30,400	\$ 30,400	4		4	\$ 26,800	\$ 26,800
Total Residential	14		14	\$ 3,047,900	\$ 3,047,900	13		13	\$ 4,227,800	\$ 4,227,800
Com./Ind.										
New	0		0	\$ 0	\$ 0	0		0	\$ 0	\$ 0
Additions	0		0	\$ 0	\$ 0	0		0	\$ 0	\$ 0
Acc. Structures	0		0	\$ 0	\$ 0	0		0	\$ 0	\$ 0
Miscellaneous	0		0	\$ 0	\$ 0	0		0	\$ 0	\$ 0
Total Com./Ind.	0		0	\$ 0	\$ 0	0		0	\$ 0	\$ 0
Combined Total	14		14	\$ 3,047,900	\$ 3,047,900	13		13	\$ 4,227,800	\$ 4,227,800