

**PLAN COMMISSION MEETING
AGENDA**

Tuesday, March 18, 2025 at 6:00 PM

**Harrison Village Hall
W5298 State Road 114
Menasha, WI 54952**

-
- 1. Call to Order**
 - 2. Pledge of Allegiance**
 - 3. Roll Call**
 - 4. Public Comments (Non-Agenda Harrison Related Items)**

Please be advised per State Statute section 19.84(2), information will be received from the public; be further advised that there may be limited discussion on the information received; however, no action will be taken under public comments. It is the policy of the Village that there is a three-minute time limit per person. Time extensions may be granted by the President. Please register your name on the sign-in sheet prior to the start of the meeting.

- 5. Corrections and Approval of the Previous Meeting Minutes**

- a. Approve Minutes - February 18, 2025

- 6. New Business for Discussion, Consideration, and/or Action**

- a. Conditional Approval of an Outdoor Heating Device – Todd Wittmann – N8606 State Park Rd – Parcel 39304
 - b. Site Plan Review – New Harrison Fire Rescue Station – W5662 Manitowoc Rd – Parcel 39142
 - c. Harrison Future Land Use Map – Village of Harrison
 - d. Report: February Zoning Permits

- 7. Set Next Meeting Date**

- a. Tentatively April 22 at 6:00 pm

- 8. Adjournment**

Agenda posted and published:

March 13, 2025 at Harrison Village Hall and to www.VillageofHarrison-WI.org

/s/ Meghan Winkler Deputy Clerk/Deputy Treasurer/HR Officer

Accessibility:

Any person with hearing disabilities or requiring special accommodations to participate in the meeting should contact the Clerk's Office (920-989-1062) at least 24-hours prior to the meeting. This is a public meeting.

PLAN COMMISSION MEETING

VILLAGE OF HARRISON**From:**

Josh Sherman, Assistant Planner

Meeting Date:

March 18, 2025

Title:

Conditional Approval of an Outdoor Heating Device – Todd Wittmann – N8606 State Park Rd – Parcel 39304

Issue:

Should the Plan Commission conditionally approve the location of a fuel-fired outdoor heating device (wood burner) that is less than 150 feet from the front property line?

Background and Additional Information:

The applicant is seeking to place the location of a wood burner outdoor heating device roughly 95 feet from the front lot line. The applicant cites safety factors for the proposed location: distance from the accessory buildings behind the home, tall grasses on the north side of the home that border the ag land, and location of HVAC hook up to the farmhouse.

Per Section 117-129 of the Village Code:

(d) Location. A solid fuel-fired outdoor heating device may be installed in the village in accordance with the following provisions:

(1) The solid fuel-fired outdoor heating device shall be located at least 150 feet from all exterior property lines.

a. The plan commission may conditionally approve a location less than 150 feet from all exterior property lines on a case by case basis due to lot size, distance to adjacent residences, device efficiency, or any other information deemed pertinent by the plan commission.

(2) Solid fuel-fired outdoor heating devices shall be prohibited in all zoning districts except General Agricultural (AG) and Rural Residential (RR).

The subject parcel is zoned General Agriculture [AG] with the nearest residential neighbor roughly 500 feet southwest of the proposed wood burner location. There is a nuisance clause in Section 117-129—see condition #3 of the recommended action.

Recommended Action:

Staff recommends that the Plan Commission conditionally approve the proposed location of the fuel-fired outdoor hearing device that is less than 150 feet to the exterior property line with the following conditions:

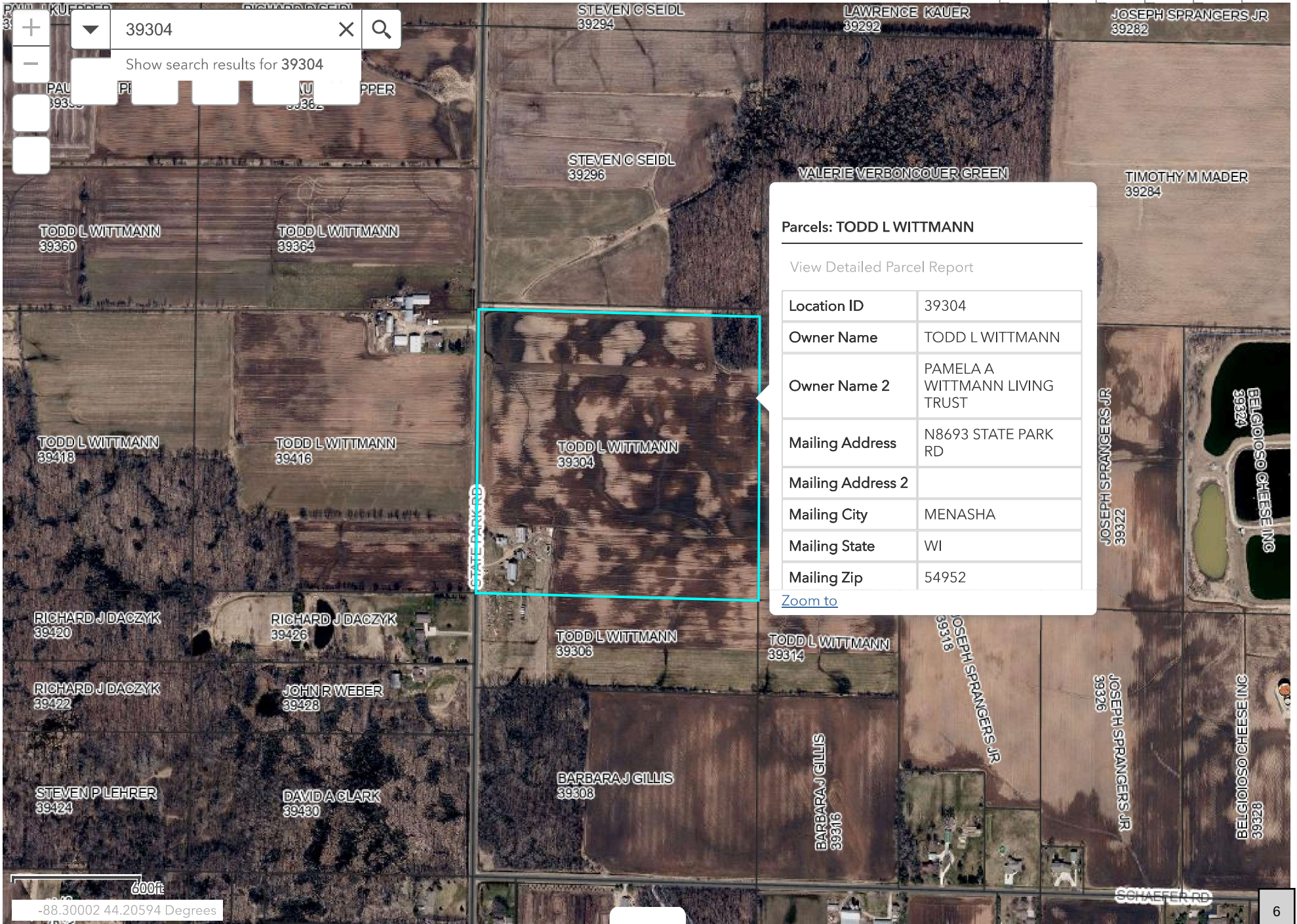
1. The applicant shall obtain a zoning permit and HVAC (building) permit before installing the fuel-fired outdoor heating device.
2. The applicant shall adhere to all regulations of Section 117-129

3. The conditional approval is subject to Section 117-129 (e) **Nuisance**. *Should any solid fuel-fired outdoor heating device permitted under this chapter become hazardous, harmful, noxious, offensive or a nuisance to the surrounding neighborhood, or a hazard to the public roadway as determined by the building inspector and/or fire chief, then the owner shall correct, improve or abate the nuisance using whatever means are necessary in accordance with this section. If the nuisance cannot be abated then operation of the device shall be discontinued until a solution to the nuisance can be found.*

Attachments:

- Proposed location
- Aerial Map





PLAN COMMISSION MEETING

VILLAGE OF HARRISON**From:**

Josh Sherman, Assistant Planner

Meeting Date:

March 18, 2025

Title:

Site Plan Review – New Harrison Fire Rescue Station – W5662 Manitowoc Rd – Parcel 39142

Issue:

Should the Plan Commission recommend approval of the new Harrison Fire Rescue Station site plan to the Village Board?

Background and Additional Information:

The Village of Harrison, along with Wendall Architecture and Five Bugles Design, has submitted a proposal for a new fire rescue station located at the corner of County N and Manitowoc Rd, anchoring the south end of the Harrison Commerce Park. The proposed fire rescue station has been in the planning stage for over a year.

The stormwater and site plan has been prepared and reviewed by the village engineer and staff. A fire and rescue building is a permitted use under the Community Commercial [CC] zoning district

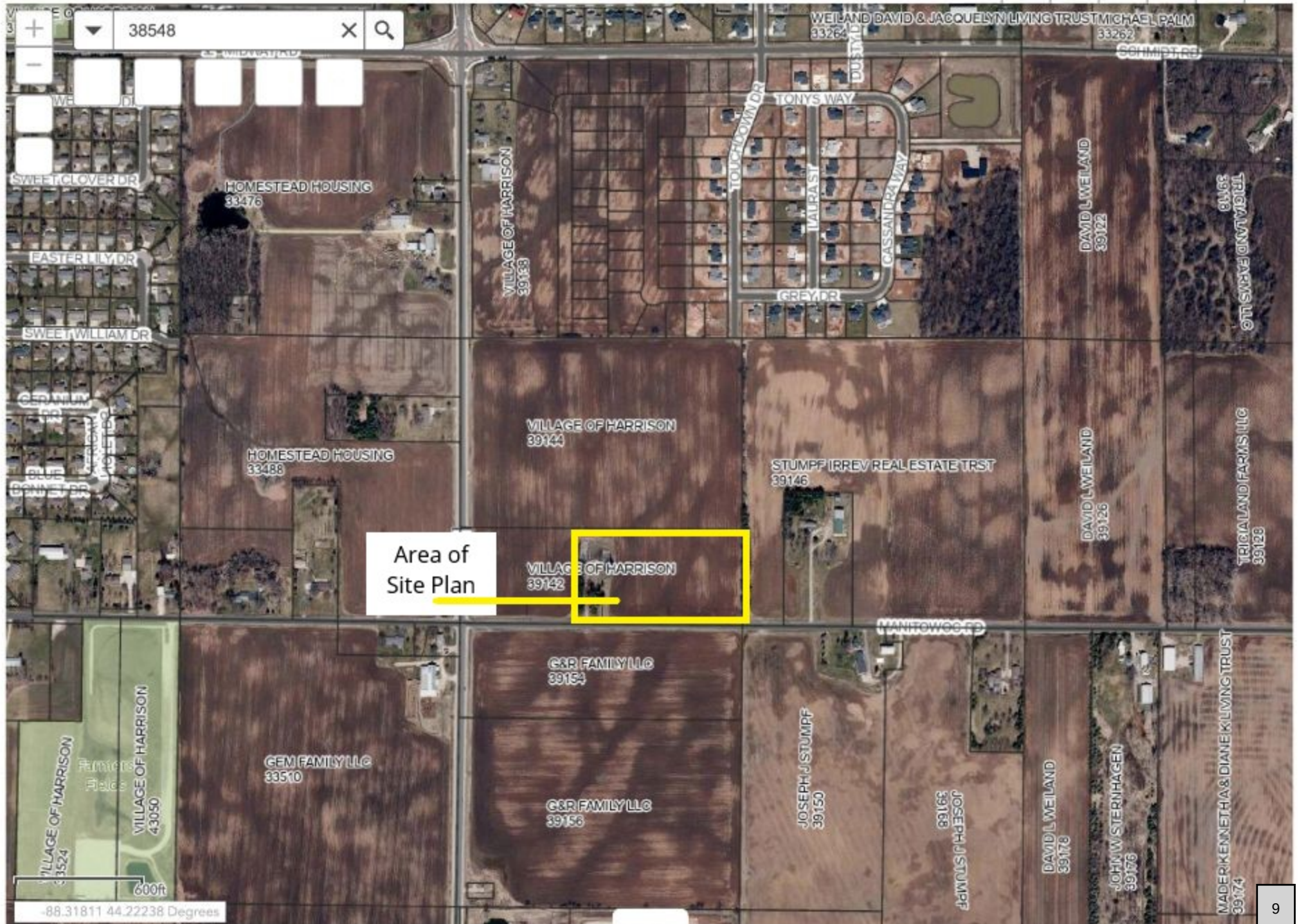
Recommended Action:

Staff recommends approval of the site plan with the following conditions. The conditions below must be met before the site plan permit is issued.

1. The Village Board consents to egress access points on Manitowoc Road, which is an access controlled road between Carpenter Street and State Park Road.
2. A detailed site plan review, pursuant to Article XIII of the zoning ordinance, shall be completed prior to issuance of zoning and building permits.
3. The site plan is subject to the review and recommendations of the Village of Harrison's engineer(s) of record.
4. A grading/drainage stormwater management plan and erosion control plan, along with application and fee, shall be reviewed and approved by the Village engineer and Village staff.
5. Only those uses permitted in the applicable zoning district shall be allowed within the development.
6. All applicable local, County, and State rules, regulations, and ordinances shall be met.

Attachments:

- Aerial Map
- Site Plan





VILLAGE OF HARRISON
FIRE-RESCUE STATION 70
MANITOWOC RD
HARRISON, WI, 54129

VILLAGE OF HARRISON
DESIGN DEVELOPMENT



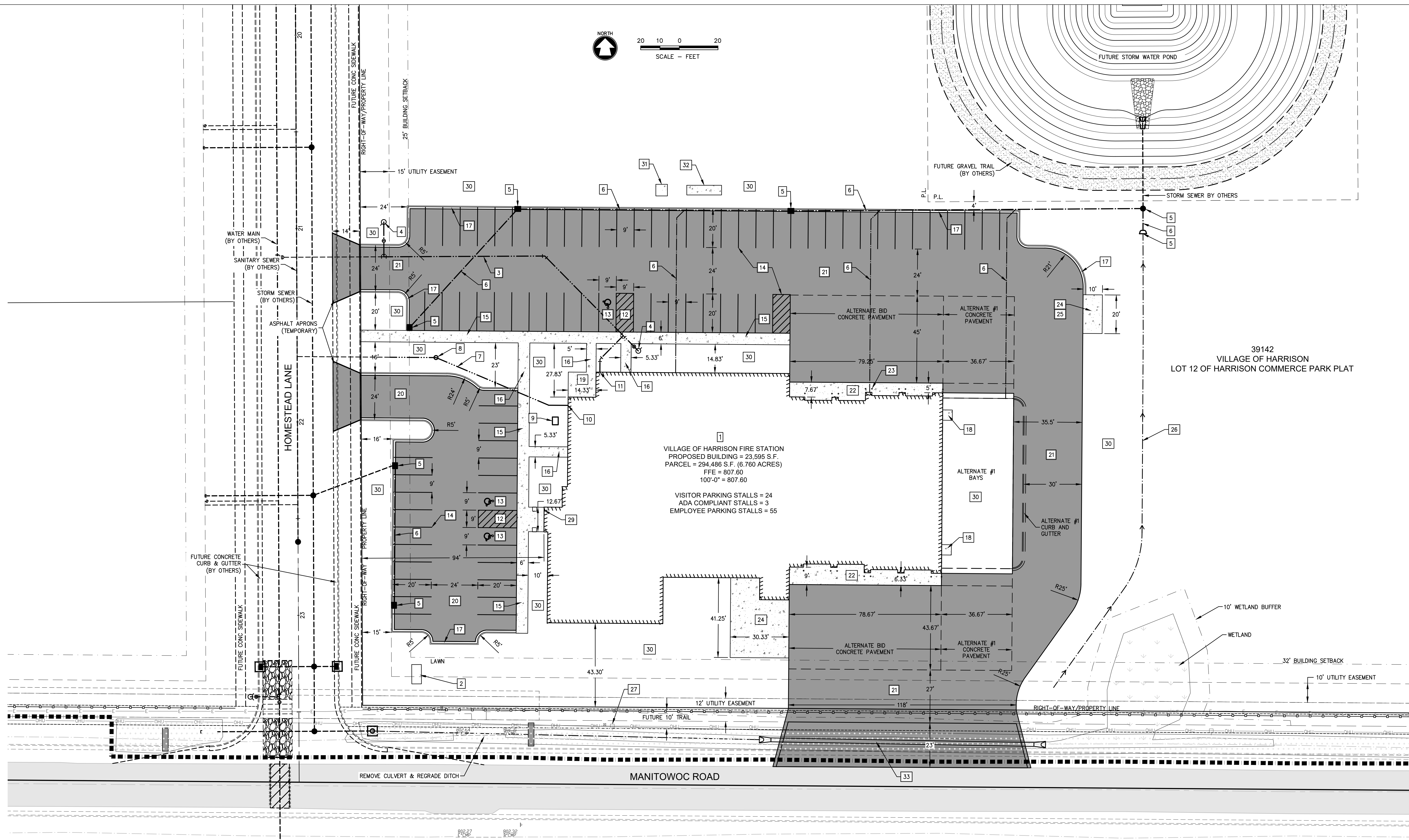
204 E. Grand Avenue, Suite 200
Eau Claire, WI 54701
www.wendelcompanies.com
p.716.688.0766 f.777.293.6335

Wendel Architecture, P.C.

39142
VILLAGE OF HARRISON
LOT 12 OF HARRISON COMMERCE PARK PLAT



20 10 0 20
SCALE - FEET



VILLAGE OF HARRISON FIRE STATION
PROPOSED BUILDING = 23,595 S.F.
PARCEL = 294,486 S.F. (6.760 ACRES)
FFE = 807.60
100'-0" = 807.60

VISITOR PARKING STALLS = 24
ADA COMPLIANT STALLS = 3
EMPLOYEE PARKING STALLS = 55

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03.05.2025
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CONSTRUCTION

NOTE:
THIS DOCUMENT AND THE REAL AND DESIGN INFORMATION HEREIN,
AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE
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NO.	REVISIONS	DATE

DWG. TITLE

PROPOSED SITE PLAN

0 1 2
GENERIC SCALE BAR
SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY.

DATE 03.05.2025

SCALE As indicated

DWN. BDJ CHK. MPK

PROJ. NO. 634501

DWG. NO.

C003

SITE PLAN KEY NOTES:

- 1 PROPOSED BUILDING. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- 2 MONUMENT SIGN AND FLAG POLE
- 3 COMBINATION WATER SERVICE. REFER TO UTILITY PLAN.
- 4 FIRE HYDRANT. REFER TO UTILITY PLAN.
- 5 STORM SEWER STRUCTURE. REFER TO UTILITY PLAN.
- 6 STORM SEWER PIPE. REFER TO UTILITY PLAN.
- 7 SANITARY SEWER LATERAL. REFER TO UTILITY PLAN.
- 8 SANITARY SEWER CLEANOUT. REFER TO UTILITY PLAN.

- 9 GREASE TRAP. REFER TO BUILDING PLUMBING PLAN.
- 10 SANITARY SEWER LATERAL CONNECTION POINT. REFER TO BUILDING PLUMBING PLANS.
- 11 WATER SERVICE CONNECTION POINT AND FIRE DEPARTMENT CONNECTION. REFER TO BUILDING PLUMBING PLANS.
- 12 ADA ACCESSIBLE ROUTE. FINAL SLOPE NOT TO EXCEED 1:50.
- 13 ADA ACCESSIBLE PARKING STALLS. ADA ACCESSIBLE PARKING STALL SIGNS REQUIRED. REFER TO CONSTRUCTION DETAILS.
- 14 4" YELLOW PAINT STRIPE (TYPICAL)
- 15 CURB FACED CONCRETE SIDEWALK.

- 16 STANDARD CONCRETE SIDEWALK.
- 17 18" CONCRETE CURB AND GUTTER
- 18 CONCRETE STOOP. REFER TO STRUCTURAL PLANS.
- 19 CONCRETE PATIO
- 20 ASPHALT PAVEMENT (LIGHT DUTY)
- 21 ASPHALT PAVEMENT (HEAVY DUTY)
- 22 CONCRETE PAVEMENT APRON. REFER TO STRUCTURAL PLANS.
- 23 BOLLARD (TYPICAL)

- 24 CONCRETE PAD
- 25 REFUSE/RECYCLING COLLECTION AREA WITH ENCLOSURE. REFER TO ARCHITECTURAL PLANS.
- 26 DRAINAGE SWALE.
- 27 EXISTING POWER POLE.
- 28 LIGHT BASE/FIXTURE. REFER TO ELECTRICAL PLANS.
- 29 KNOX BOX LOCATION
- 30 LAWN/LANDSCAPE AREA
- 31 ELECTRIC SERVICE TRANSFORMER

- 32 EMERGENCY GENERATOR
- 33 CULVERT PIPE REFER TO UTILITY PLAN

SITE PLAN NOTES:

- REFER TO PLAN SHEET C001 FOR ADDITIONAL PARCEL DATA AND PROJECT INFORMATION
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A SEPARATE PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE COMPLETED IN ACCORDANCE WITH THE CURRENT EDITION OF THE VILLAGE OF HARRISON DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.

PRELIMINARY
NOT FOR CONSTRUCTION

McMAHON
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE, NEENAH, WI 54956
Mailing: P.O. BOX 1025, NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM



VILLAGE OF HARRISON
FIRE-RESCUE STATION 70
MANITOWOC RD
HARRISON, WI, 54129

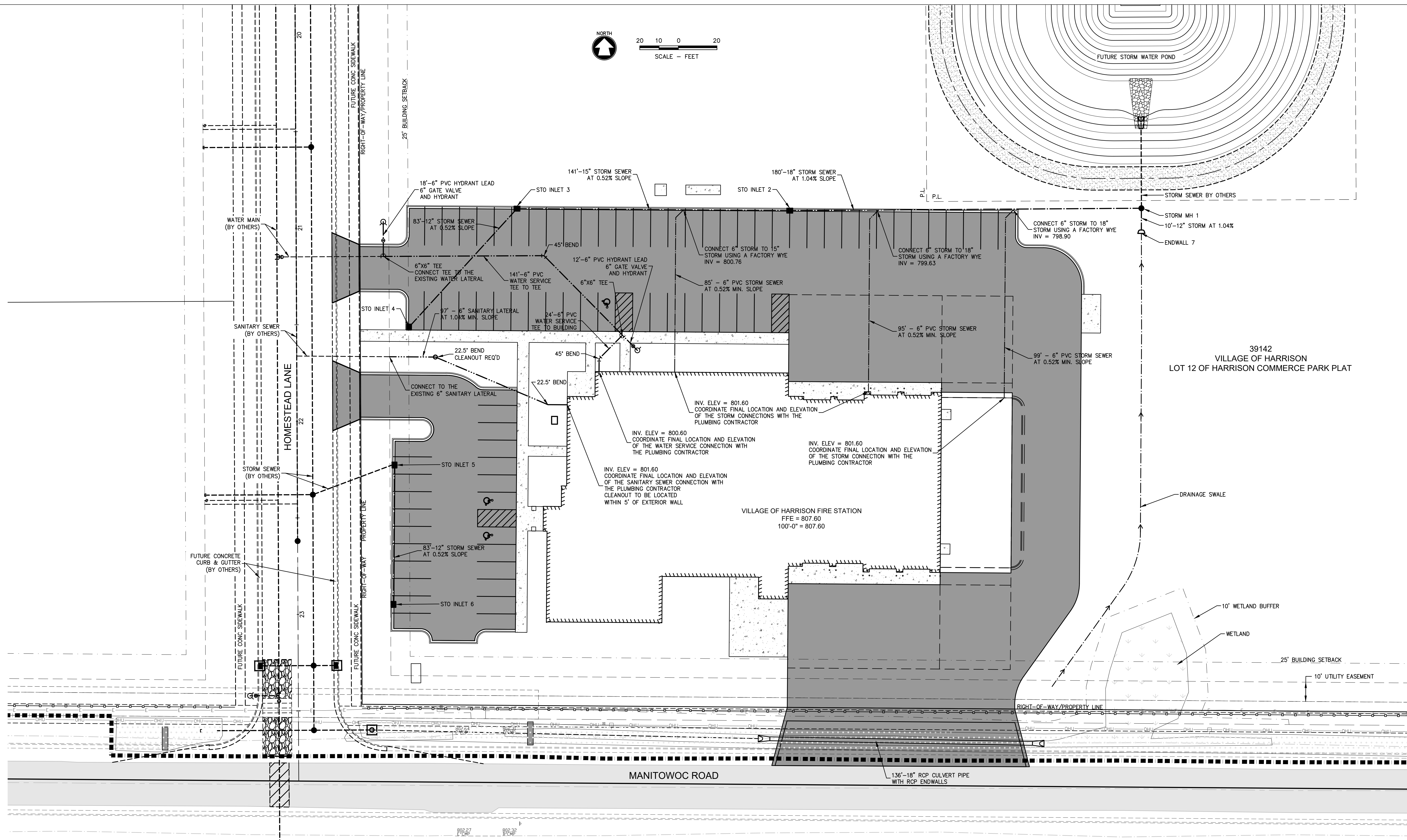
VILLAGE OF HARRISON
DESIGN DEVELOPMENT



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p.716.688.0766 f.877.293.6335

Wendel Architecture, P.C.

39142
VILLAGE OF HARRISON
LOT 12 OF HARRISON COMMERCE PARK PLAT



GENERAL UTILITY NOTES:

- ALL WORK RELATED TO THE SITE STORM SEWER, SITE WATERMAIN AND SITE SANITARY SEWER SHALL BE COMPLETED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) CHAPTER SPS 382.
- ALL SITE UTILITIES TO INCLUDE TRACER WIRE.
- ALL WORK RELATED TO WATERMAIN AND SANITARY SEWER CONNECTIONS TO THE VILLAGE OF HARRISON MAINS IN HOMESTEAD LANE SHALL BE COMPLETED IN ACCORDANCE WITH VILLAGE OF HARRISON DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS, LATEST EDITION.
- INSTALL BENDS OR DEFLECT JOINTS ON THE WATER SERVICE TO MAINTAIN ALIGNMENT SHOWN.
- COORDINATE WATER SERVICE, SANITARY SEWER LATERAL AND STORM SEWER ENTRANCES INTO BUILDING STRUCTURE WITH THE PLUMBING CONTRACTOR.
- STORM SEWER 10-INCHES AND SMALLER SHALL BE PVC SDR 35. STORM SEWER 12-INCHES AND LARGER SHALL BE HDPE, TYPE S (DUAL WALL WITH OUTER CORRUGATED PIPE WALL AND SMOOTH INNER LINER) INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL USE PVC SDR 35 FOR ALL SANITARY SEWER.
- CONTRACTOR SHALL USE PVC AWWA C900 DR18 FOR ALL PROPOSED PRIVATE WATER MAIN.
- THE WATER SERVICE SHALL BE INSTALLED WITH MINIMUM 7.0' COVER FROM FINISHED SURFACE.
- ANY EXCAVATION WITHIN THE VILLAGE RIGHT-OF-WAY WILL REQUIRE AN EXCAVATION PERMIT SUBMITTED TO THE VILLAGE OF HARRISON DEPARTMENT OF PUBLIC WORKS. REQUIRED PERMIT IS THE RESPONSIBILITY OF THE CONTRACTOR.

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NO.	REVISIONS	DATE

DWG. TITLE

UTILITY PLAN



GENERIC SCALE BAR
SCALE BAR SHOWN IS TWO FEET ON THE ORIGINAL DRAWING.
IF NOT TWO FEET ON THIS SHEET, ADJUST ACCORDINGLY.

DATE 03.05.2025
SCALE As indicated
DWN. BDJ
PROJ. NO. 634501
DWG. NO.

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ENGINEERS ARCHITECTS

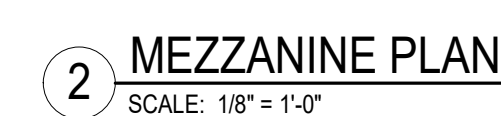
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C005

VILLAGE OF HARRISON
DESIGN DEVELOPMENT

Wendel Architecture, P.C.

- ADMINISTRATION
- APPARATUS BAY
- APPARATUS SUPPORT
- CIRCULATION
- DECONTAMINATION
- MECHANICAL
- STAFF SUPPORT
- TRAINING AND COMMUNITY OUTREACH

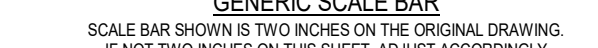


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DWG. TITLE

PRESENTATION FLOOR PLAN

PRESENTATION FLOOR PLAN



DATE	01/22/25		
SCALE	1/8" = 1'-0"		
DWN.	Author	CHK.	Checker
PROJ. No.	634501		
DWG. No.			

AP101



VILLAGE OF HARRISON
FIRE-RESCUE STATION 70
MANITOWOC RD
HARRISON, WI, 54129

VILLAGE OF HARRISON
DESIGN DEVELOPMENT



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NO.	REVISIONS	DATE

DWG TITLE

ISO VIEWS



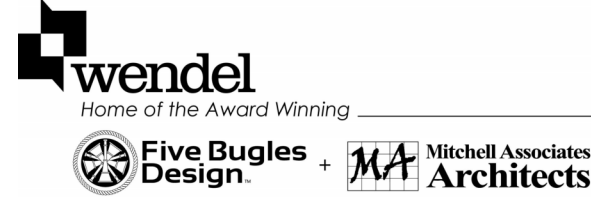
GENERIC SCALE BAR
SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING
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DATE 03.05.2025
SCALE 1 1/2" = 1'-0"
DWN. Author CHK. Checker
PROJ. No. 634501
DWG. No.



VILLAGE OF HARRISON
FIRE-RESCUE STATION 70
MANITOWOC RD
HARRISON, WI, 54129

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DWG TITLE

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DATE 03.05.2025

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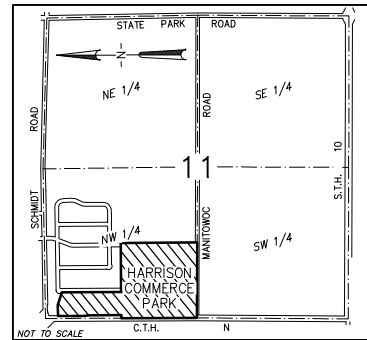
DWN. Author CHK. Checker

PROJ. No. 634501

DWG. No.

HARRISON COMMERCE PARK

ALL OF LOTS 1 AND 2 OF CERTIFIED SURVEY MAP NO. 1978, RECORDED IN VOLUME 14 OF CERTIFIED SURVEY MAPS ON PAGES 123-125 AS DOCUMENT NO. 265890, BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4; AND ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 4075, RECORDED IN VOLUME 37 OF CERTIFIED SURVEY MAPS ON PAGES 296-299 AS DOCUMENT NO. 582769, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4; ALL IN SECTION 11, TOWNSHIP 20 NORTH, RANGE 18 EAST, VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN



LOCATION MAP
SECTION 11, TOWNSHIP 20 NORTH, RANGE 18 EAST,
VILLAGE OF HARRISON, CALUMET COUNTY, WISCONSIN

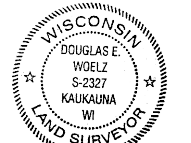
LEGEND

- 1 1/4" x 18" ROUND STEEL REBAR
WEIGHING 4.3 lbs./lineal ft. SET
- 1 1/4" REBAR FOUND
- 3/4" IRON REBAR FOUND
- ALL OTHER LOT CORNERS STAKED WITH 3/4"
X 18" ROUND STEEL REBAR, WEIGHING 1.50
LBS./LIN. FT.
- CERTIFIED LAND CORNER CALUMET COUNTY
- S.F. - SQUARE FEET
- () - RECORDED BEARING AND/OR DISTANCE
- EXISTING POWER POLE
- EXISTING OVERHEAD UTILITY LINE
- RESTRICTED ACCESS (LOTS 1-11)
- RIGHT-OF-WAY (R.O.W.) LINE
- PROPERTY LINE
- SECTION LINE
- BUILDING SETBACK LINE
- UTILITY EASEMENT (15' UNLESS NOTED)

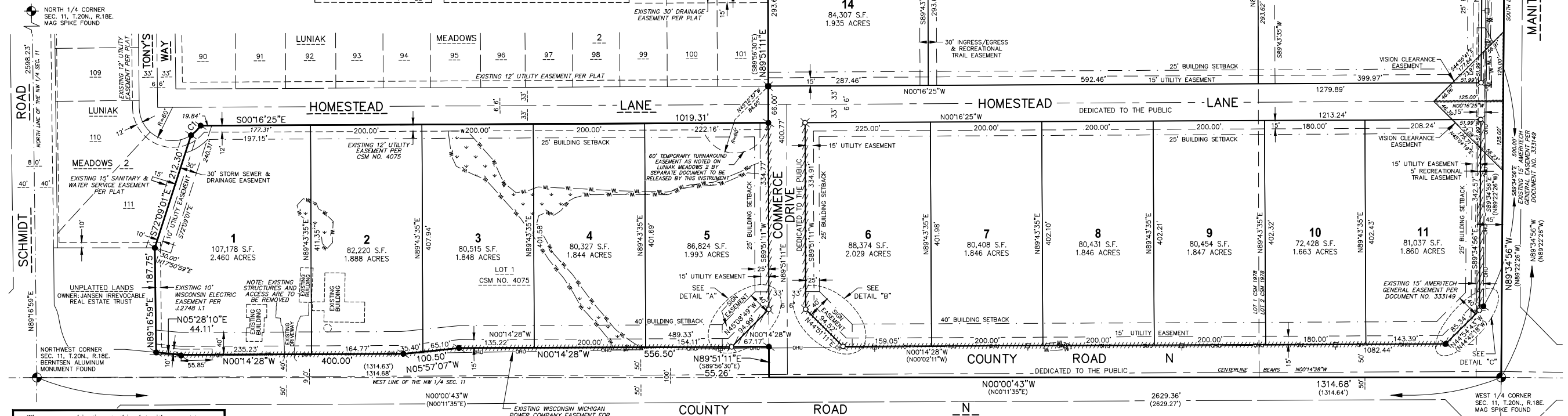
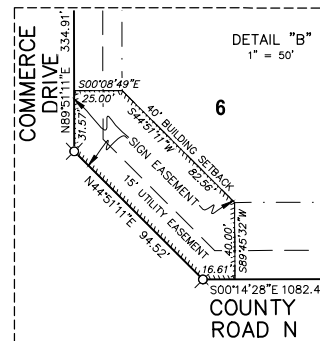
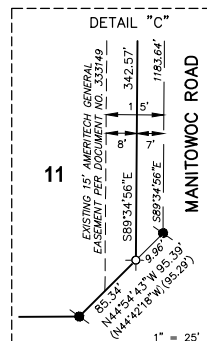
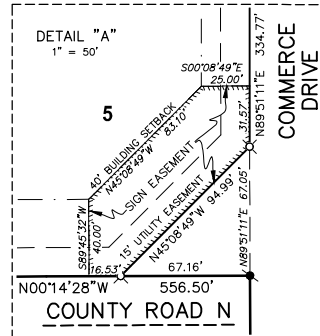
- WETLANDS AS DELINEATED BY
TRAVIS A. STRUCK OF DAVEL
ENGINEERING & ENVIRONMENTAL, INC.,
DATED JUNE 24, 2021 AND STACEY
CAPLAN OF MCMAHON ASSOCIATES, INC.,
DATED FEBRUARY 13, 2024 (FIELD WORK
COMPLETED ON MAY 15, 2023)

BEARINGS ARE REFERENCED TO THE WEST LINE OF
THE NORTHWEST 1/4 OF SECTION 11, TOWNSHIP 20
NORTH, RANGE 18 EAST, WHICH BEARS N00°00'43"W
PER THE WISCONSIN COUNTY COORDINATE SYSTEM
AS PUBLISHED FOR CALUMET COUNTY

SCALE - FEET
1" = 100'



02-12-2025



There are no objections to this plat with respect to
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),
Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



CURVE DATA
C1
RADIUS = 60.00'
DELTA = 023°34'51"
LENGTH = 24.69'
CHORD = 54°06'52"E
TANGENT IN = S33°19'26"E
TANGENT OUT = S56°54'17"E

EXISTING WISCONSIN MICHIGAN
POWER COMPANY EASEMENT FOR
TRANSMISSION LINES AND POLES
RECORDED IN VOL. 0 PG. 59
(WIDTH NOT SPECIFIED)

ACCESS RESTRICTED NOTE:
AS OWNER I HEREBY RESTRICT LOTS 1 THROUGH 11, IN THAT NO OWNER,
POSSESSOR, USER, NOR LICENSEE, NOR OTHER PERSON SHALL HAVE ANY
RIGHT OF DIRECT VEHICULAR INGRESS OR EGRESS WITH C.T.H. N, COMMERCE
DRIVE AND MANITOWOC ROAD, AS SHOWN ON THE PLAT; IT BEING EXPRESSLY
INTENDED THAT THIS RESTRICTION SHALL CONSTITUTE A RESTRICTION FOR THE
BENEFIT OF THE PUBLIC ACCORDING TO S. 236.293, STATS., AND SHALL BE
ENFORCEABLE BY THE VILLAGE OF HARRISON.

- NOTES:
- THIS SUBDIVISION IS ALL OF TAX PARCEL ID NUMBERS 39138, 39144 AND 39142.
 - SEE SHEET 2 FOR ADDITIONAL NOTES, RESTRICTIONS AND PROVISIONS.
 - THIS PLAT IS SUBJECT TO PROTECTIVE COVENANTS AND RESTRICTIONS PREPARED
BY THE DEVELOPER AND RECORDED IN A SEPARATE INSTRUMENT.

McMAHON
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

THIS INSTRUMENT DRAFTED BY: AMY SEDLAR

SHEET 1 OF 2

VILLAGE BOARD MEETING**From:**

Josh Sherman, Assistant Planner

VILLAGE OF HARRISON**Meeting Date:**

March 18, 2025

Title:

Harrison Future Land Use Map – Village of Harrison

Item for Discussion:

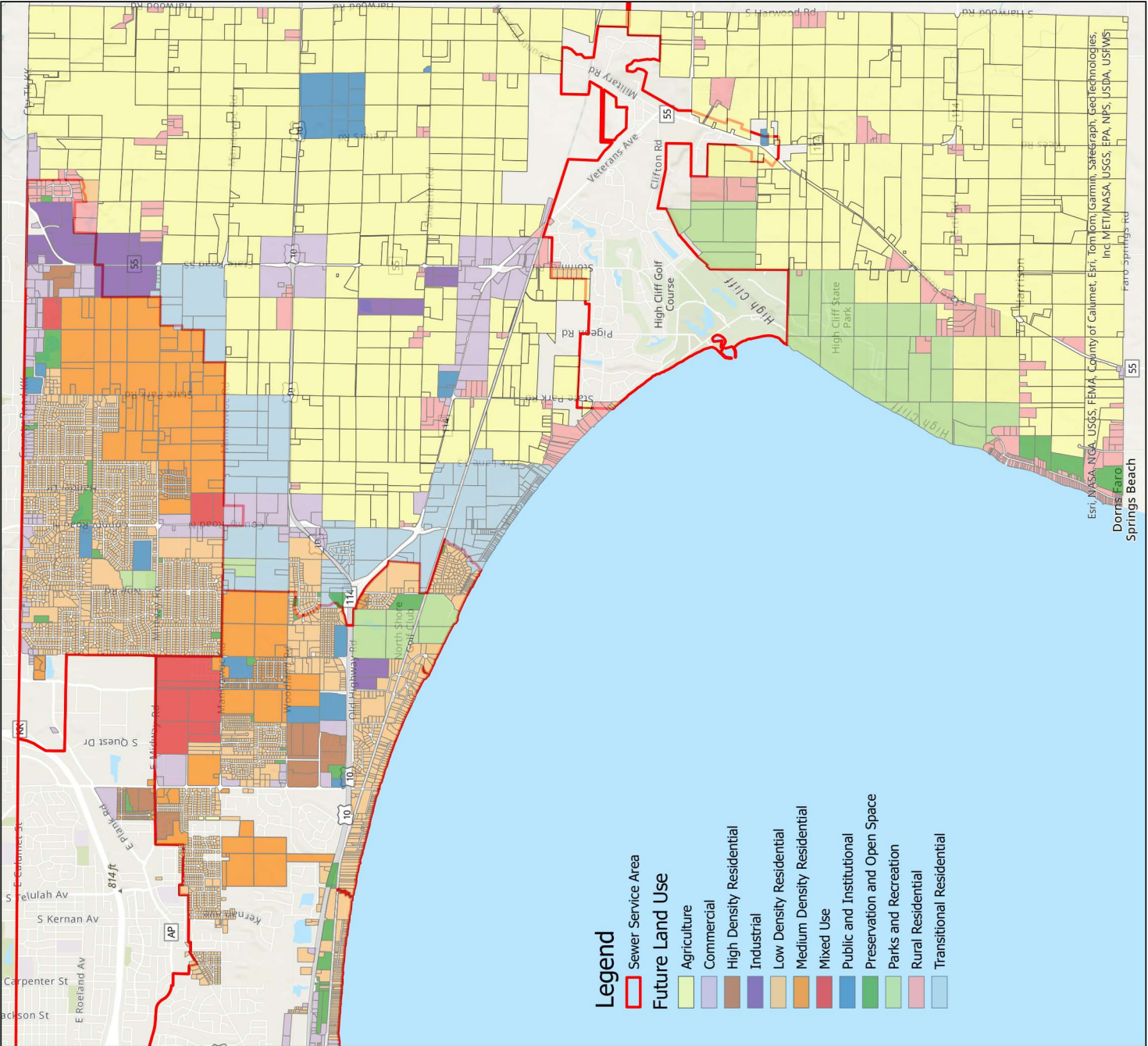
The Village has contracted with SRF Consulting in conjunction with Calumet County to update the Village's Comprehensive Plan. State law requires a rewrite of the plan every 20 years, and an update every 10 years. The last plan for the Village was approved in 2017. Even though we are not at the 10-year mark, the Village Board and staff have decided that due to all the changes happening in the village, it's prudent to partner with the County to get our plan updated.

The focus of the Comprehensive Plan update is the Future Land Use Map, which is used in the decision-making process for the Plan Commission and the Village Board. Minor changes will occur with the chapter text to upgrade demographic area. Completed chapters will be reviewed with the Plan Commission in April.

Based on prior community engagement through a village survey, Village Board input, (3 Board Meetings in 2024) and staff input, the draft of the Future Land Use Map was prepared. This meeting will review the Plan Commission comments on the plan. Then on March 20, there will be an open house for the public to review the draft plan as well as an online survey. The plan will have a public hearing, as required by state statute, and will either be adopted in April or May 2025.

Attachments:

- DRAFT – Future Land Use Map

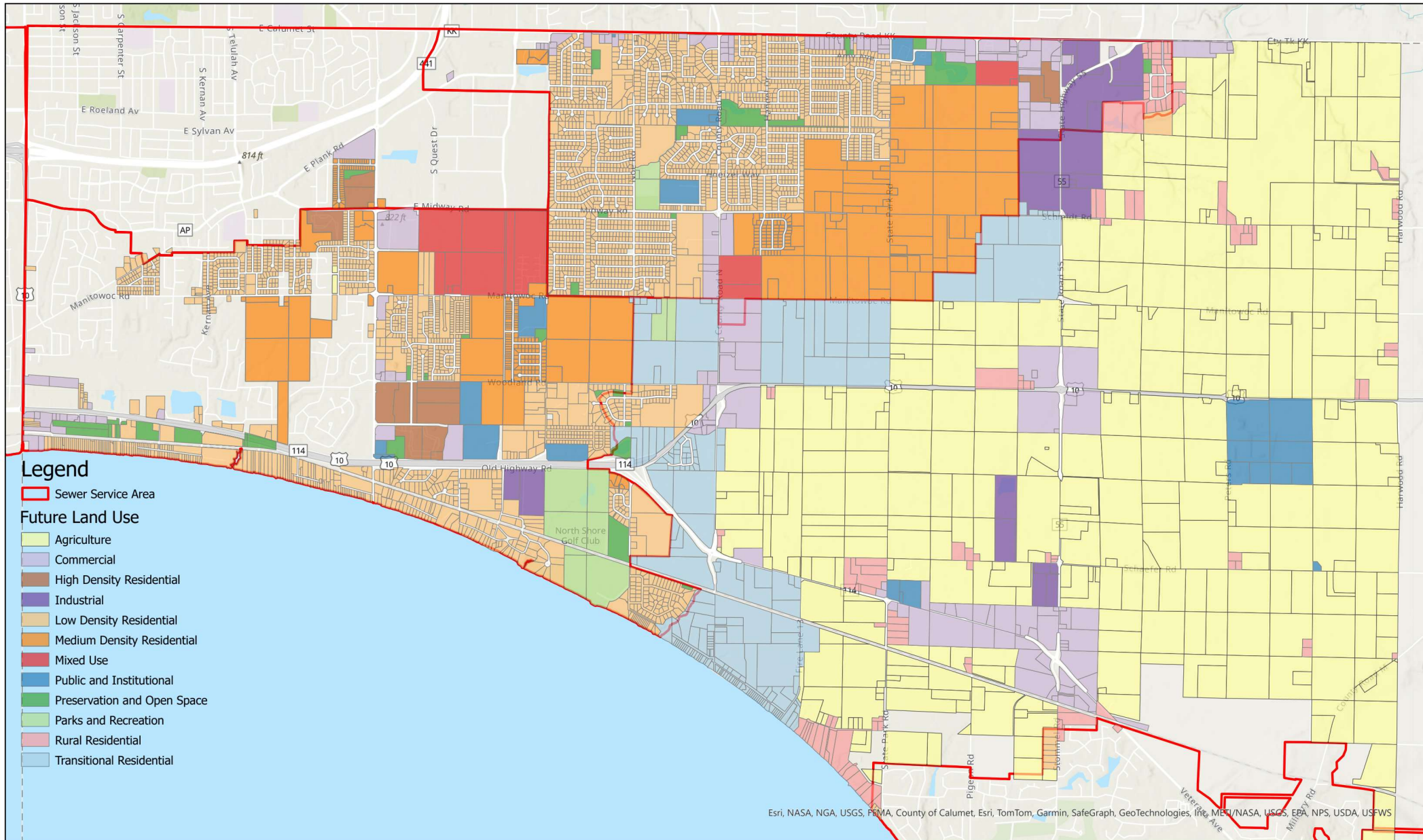


- Legend**
- Sewer Service Area
 - Future Land Use**
 - Agriculture
 - Commercial
 - High Density Residential
 - Industrial
 - Low Density Residential
 - Medium Density Residential
 - Mixed Use
 - Public and Institutional
 - Preservation and Open Space
 - Parks and Recreation
 - Rural Residential
 - Transitional Residential

Please provide your comments on the Draft Future Land Use Map in the box below and directly on the maps included in this packet:

Draft Future Land Use Map: Village Board Review Worksheet

February 4, 2025



Village of Harrison
February-25 Zoning Permit Report

	Current Year					Previous Year				
	Permits		YTD Permits	Estimated Value	YTD Estimate Value	Permits		YTD Permits	Estimated Value	YTD Estimate Value
Residential										
Single Family	4		9	\$ 2,385,000	\$ 5,285,000	6		14	\$ 2,981,000	\$ 7,181,000
Two Family (units)	0	(0)	0	\$ 0	\$ 0	0	(0)	0	\$ 0	\$ 0
Multi Family (units)	0	(0)	0	\$ 0	\$ 0	0	(0)	0	\$ 0	\$ 0
Additions	0		2	\$ 0	\$ 45,300	1		1	\$ 70,000	\$ 70,000
Acc. Structures	2		4	\$ 112,000	\$ 184,200	0		1	\$ 0	\$ 1,000
Miscellaneous	4		9	\$ 33,600	\$ 64,000	6		10	\$ 50,800	\$ 77,600
Total Residential	10		24	\$ 2,530,600	\$ 5,578,500	13		26	\$ 3,101,800	\$ 7,329,600
Com./Ind.										
New	1		1	\$ 278,100	\$ 278,100	0		0	\$ 0	\$ 0
Additions	0		0	\$ 0	\$ 0	0		0	\$ 0	\$ 0
Acc. Structures	0		0	\$ 0	\$ 0	0		0	\$ 0	\$ 0
Miscellaneous	1		1	\$ 4,900	\$ 4,900	1		1	\$ 35,000	\$ 35,000
Total Com./Ind.	2		2	\$ 283,000	\$ 283,000	1		1	\$ 35,000	\$ 35,000
Combined Total	12		26	\$ 2,813,600	\$ 5,861,500	14		27	\$ 3,136,800	\$ 7,364,600