



Planning Commission Agenda

September 19, 2023

7:00 PM

Chairperson: Todd Culver
Commissioners: Rhonda Giles, Jeremy Moritz, Kurt Kayner, Kent Wullenwaber, Susan Jackson and Joe Neely
Meeting Location: Harrisburg Municipal Center Located at 354 Smith St

PUBLIC NOTICES:

1. *This meeting is open to the public and will be tape-recorded.*
2. *Copies of the Staff Reports or other written documents relating to each item on the agenda are on file in the office of the City Recorder and are available for public inspection.*
3. *The City Hall Council Chambers are handicapped accessible. Persons with disabilities wishing accommodations, including assisted listening devices and sign language assistance are requested to contact City Hall at 541-995-6655, at least 48 hours prior to the meeting date. If a meeting is held with less than 48 hours' notice, reasonable effort shall be made to have an interpreter present. The requirement for an interpreter does not apply to an emergency meeting. ORS 192.630(5)*
4. *Persons contacting the City for information requiring accessibility for deaf, hard of hearing, or speech-impaired persons, can use TTY 711; call 1-800-735-1232, or for Spanish voice TTY, call 1-800-735-3896.*
5. *The City of Harrisburg does not discriminate against individuals with disabilities, and is an equal opportunity provider.*
6. *For information regarding items of discussion on this agenda, please contact City Administrator Michele Eldridge, at 541-995-2200.*
7. *The Municipal Center is disinfected prior to meetings. Seating is 6' apart, and only 50 people can be in the room, dependent upon adequate spacing.*
8. *Masks are not required currently. The City does ask that anyone running a fever, having an active cough or other respiratory issues, not to attend this meeting.*
9. *If you would like to provide testimony, and are unable to attend, please contact the City Recorder. We can accept written testimony up until 5:00 on the day of the meeting and can also call someone during the meeting if verbal testimony is needed.*

CALL TO ORDER AND ROLL CALL

CONCERNED CITIZEN(S) IN THE AUDIENCE. (Please limit presentation to two minutes per issue.)

APPROVAL OF MINUTES

- 1. MOTION TO APPROVE THE PLANNING COMMISSION MEETING MINUTES FOR JUNE 20, 2023**

PUBLIC HEARING

- 2. THE MATTER OF A VARIANCE AND SITE PLAN REQUEST FOR VINCENT FERRIS CONSTRUCTION**

STAFF REPORT EXHIBITS:

Exhibit A: Application

Exhibit B: Email from the Harrisburg Building Official

ACTION: MOTION TO:

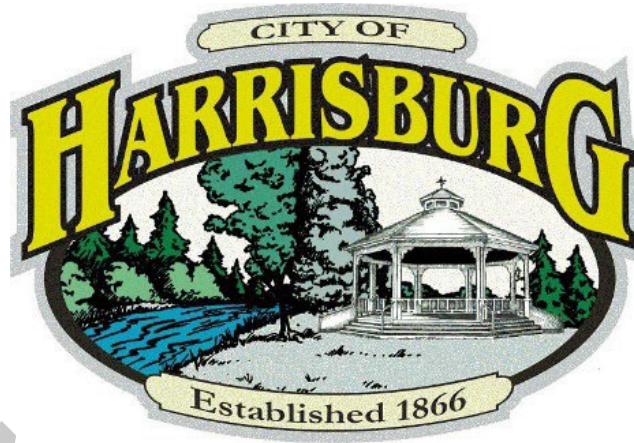
1. APPROVE THE VARIANCE REQUEST, LU 452-2023, SUBJECT TO THE CONDITIONS OF APPROVAL CONTAINED IN THE STAFF REPORT OF SEPTEMBER 11, 2023. THIS MOTION IS BASED ON FINDINGS CONTAINED IN THE STAFF REPORT OF SEPTEMBER 11, 2023, AND ON FINDINGS MADE DURING DELIBERATIONS ON THE REQUEST.

2. APPROVE SITE PLAN REQUEST, LU 453-2023, SUBJECT TO THE CONDITIONS OF APPROVAL CONTAINED IN THE STAFF REPORT OF SEPTEMBER 11, 2023. THIS MOTION IS BASED ON FINDINGS CONTAINED IN THE STAFF REPORT OF SEPTEMBER 11, 2023, AND ON FINDINGS MADE DURING DELIBERATIONS ON THE REQUEST.

APPLICANT: Vincent Ferris

OTHERS

ADJOURN



Planning Commission Meeting Minutes

June 20, 2023

Chairperson: Todd Culver, Presiding
Commissioners Present: Jeremy Moritz, Joe Neely, and Kent Wullenwaber
Absent: Rhonda Giles, Kurt Kayner, and Susan Jackson (Arrived at 7:57pm)
Staff Present: City Administrator/Planner Michele Eldridge, and Finance Officer/Deputy City Recorder Cathy Nelson
Meeting Location: Harrisburg Municipal Center located at 354 Smith St.

CALL TO ORDER AND ROLL CALL: Order was called at 7:00pm by Chairperson Todd Culver.

CONCERNED CITIZEN(S) IN THE AUDIENCE. Everyone present was there for items on the agenda.

APPROVAL OF MINUTES

Moritz motioned to approve the minutes for January 17, 2023, and was seconded by Neely. The Planning Commission then voted unanimously to approve the Minutes for January 17, 2023.

PUBLIC HEARING

THE MATTER OF AN ANNEXATION AND ZONE MAP CHANGE FOR 31.2 ACRES OF PROPERTY OWNED BY THE CITY OF HARRISBURG, AND OTHERWISE KNOWN AS EAGLE PARK.

Chairperson Todd Culver read aloud the order of proceedings, and noted the procedures for a continuance, and the process to keep the record open.

At the hour of 7:03PM, the Public Hearing was opened.

Culver asked if there were any Conflicts of Interest or any Ex Parte contacts.
None stated.

There were no rebuttals in relation to Conflicts of Interest, or Ex Parte Contacts.

Culver then read aloud the criteria that were relied upon for this land use hearing and noted

June 20, 2023

additional copies of criteria near the door. He also directed the audience on how they would need to direct testimony towards the applicable criteria, and how an appeal could be made.

STAFF REPORT: Eldridge advised the Planning Commission to refer to the new staff report that was handed out and not the one in the agenda packet. Several maps were also handed out, the UGB Area, GIS Map of 31.2 acres, GIS Map of Eagle Park, and concept map. Eldridge gave a brief background on the property.

- Culver asked if any farmland being currently farmed would be affected. Eldridge stated that it was a rock quarry for the last 80 years, so no farmers would be affected.

Eldridge referred to the Harrisburg Comprehensive Plan that covers the Oregon Statewide Planning Goals. We must address all 19 goals even though they don't apply to this property. The comprehensive plan is available on the website.

- Moritz asked if the city bought property or was it donated. Eldridge said it was done in a trade. This allowed the city to use the purchase price as matching grant funds.
- Wullenwaber asked if there was higher liability on the pond and if we were adding a boat ramp. Eldridge stated that "use at your own risk" is posted and that recreational immunity falls under this area. Yes, we are putting in a boat ramp.
- Moritz asked if this would create a strain on the city work crew. Eldridge said we will need to hire more when we get the water bond completed anyway; we are currently hiring. Once the park is developed, we will address maintenance. She reminded the commission that not all the 132 acres were being developed.

Eldridge highlighted the following criteria and statutes:

- 1 – does not apply.
- 2 – change from R-1 to Public Use Zone (PUZ). Criteria met
- 3 – Public facilities apply as pointed out on the conceptual map. The dog park will be larger than shown. Criteria met.
- 4 – Originally planned to be a (PUZ) and was included in the Park System Plan. Criteria met.
- Statute 222.111 – City boundary is along the annexed property. Criteria met.
- Statute 222.125 – Owners must agree. Criteria met.

APPLICANTS TESTIMONY: The City of Harrisburg is the applicant.

TESTIMONY IN FAVOR, IN OPPOSITION, AND NEUTRAL TESTIMONY WAS ASKED FOR.

- No testimony of any kind supplied for in favor.
- No testimony of any kind supplied for in opposition.
- Testimony letter on record from Philpot who is concerned about misuse of parkland and trespassing on his land.

There were there not any rebuttals on testimonies given.

(Commissioner Susan Jackson arrived at 7:57pm)

The public hearing was closed at the hour of 8:03 pm.

- Moritz moved to recommend to the City Council that they approve the Annexation (LU 448-2023) and Comprehensive Plan Map change (LU-449-2023) for 31.2 acres of property owned by the City of Harrisburg and otherwise known as Eagle Park, and was seconded by Wullenwaber. The Planning Commission then voted unanimously to recommend to the City Council that they approve the annexation (LU 448-2023) and Comprehensive Plan Map change (LU-449-2023) for 31.2 acres of property owned by the City of Harrisburg and otherwise known as Eagle Park.

June 20, 2023

WORK SESSION**THE MATTER OF RECONSIDERING SIZE LIMITATIONS IN HMC 18.50.150 – ACCESSORY STRUCTURES.**

STAFF REPORT: Eldridge shared that two (2) homeowners have asked for bigger accessory dwellings that are above the 500 sq. ft. limit we currently have. Staff would like the Planning Commission to review the 18.50.150 portion of code and increase the limit to a minimum of 750 sq. ft.

- Culver said it makes sense to clarify what is an accessory structure.
- Neely asked why a detached garage was considered an accessory structure. Eldridge said it applies to an attached or detached garage as per our code.
- Wullenwaber asked what if someone wants to go bigger than 750 sq. ft. Eldridge stated they would need a variance.
- Mortiz asked since accessory dwellings and accessory structures are different could someone have both. Jackson clarified that they are allowed three (3) accessory structures, one (1) primary residence and one (1) accessory dwelling if the setbacks and area required are met.
- Neeley asked if we could define a garage specifically. Eldridge said the definition of an accessory structure in the code is anything detached from the primary dwelling such as a garage, deck, or pumphouse. Neeley asked for further clarification on what makes a structure a garage. Eldridge stated that the state code defines a garage as an accessory structure.
- Moritz asked if they could go up to 1,000 sq. ft. Eldridge confirmed that they could.
- Wullenwaber **motioned to direct the City Administrator/Planner to amend HMC 18.50.150(3) to allow for an accessory structure up to 1,000 sq. ft. in size and was seconded** by Jackson. **The Planning Commission then voted with everyone in favor except for Neely. Motion passed to direct the City Administrator/Planner to amend HMC 18.50.150(3) to allow for an accessory structure up to 1,000 sq. ft. in size**

With no further discussion, the meeting was adjourned at the hour of 8:59 pm.

Chairperson

City Recorder

City of Harrisburg

CITY COUNCIL

NOTICE OF DECISION

REQUEST: The applicant requests approval of a Zoning Ordinance Map Amendment to apply the City’s Public Use zone to the subject site upon annexation.

LOCATION: A portion of Tax Lot 300 of Linn County Assessor’s Map 15S 04W 21, commonly known as Eagle Park

HEARING DATE: June 20, 2023

APPLICANT: City of Harrisburg

APPEAL DEADLINE: July 26, 2023

DECISION: The Harrisburg Planning Commission conducted a public hearing on June 20, 2023, and voted to recommend the City Council approve the request. The City Council held a de novo hearing on June 27, 2023, and voted to approve the request.

APPEALS: This decision may be appealed by filing an appeal with the State Land Use Board of Appeals.

EFFECTIVE DATE: July 27, 2023 unless an appeal has been filed with the State Land Use Board of Appeals.

Mayor _____
Robert Duncan

Staff Report Harrisburg Planning Commission Harrisburg, Oregon

THE MATTER OF A VARIANCE AND SITE PLAN REQUEST FOR VINCENT FERRIS CONSTRUCTION

STAFF REPORT EXHIBITS:

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ACTION: MOTION TO:

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APPLICANT: Vincent Ferris

LOCATION: 1070 S. 6th St. – 15S04W16D00213

HEARING DATE: September 19, 2023

ZONING: M-1 Limited Industrial, and M-2 General Industrial

OWNER: VFC Holdings LLC

BACKGROUND

The applicant had an approved Site Plan (LU430-2021) dated June 15, 2021. This was for a 7,200 sq. ft. structure, along with a 2,160 sq. ft open sided covered storage structure that would be located further back on the property. The applicant started with the secondary structure, which took some time to complete due to Pacific Power not

being available, and some other issues. The applicant was given more time to work on the larger structure but was unable to start construction before the deadline on the original site plan.

The applicant obtained permission from the City for the secondary vehicle storage structure to be approximately 56% larger (4,896 sq. ft.) than first approved, because it was located behind the primary storage building, did not increase parking or number of employees using the facility, and more importantly, allowed for more storage of equipment and vehicles, which were in plain sight of the road. The location of this secondary structure is also located 195' from the road, which was another reason for allowing the size change. The applicant did complete the landscaping on the property, and paved the driveway area that was required by the previously approved site plan. They also installed a fence, and completed other infrastructure work, such as the storm water plan, an extension of water and sewer lines, and the completion of the DEQ 1200-C Report due to the property being over 1-acre in size.

INTRODUCTION

The applicant is proposing a structure that has the same footprint as was approved in 2021, with a primary structure that is 7,200 sq. ft. The structure also has a second floor on the south end of the building, that provides for an additional 2,448 sq. ft. residential single-family dwelling, for a total of 9,648 sq. ft. A covered deck on the 2nd floor adds an additional 288 sq. ft., allowing it to function somewhat like a carport. The bottom warehouse includes 3 large 28'x60' spaces, with each space provided with an ADA restroom. The space closest to the office area has a pull through 'driveway' with openings at both ends of the storage space, but the other two are limited to entry/exit only on the east elevation of the structure. There are 3 offices located on the south side of the structure, along with a reception and lobby area. More storage space, at 1,080 sq. ft. is provided abutting this area, between Space 1 and the office area.

The applicant has stated that the spaces with ADA restrooms are all part of their normal business process as a general contractor. Staff verified with our building official that it's fairly standard for contractors to have areas set up like this, with their own restroom area, because they are typically used by subcontractors while working on specific projects. Staff was initially surprised by the inclusion of a full size 3 bedroom, two bath, 2,448 sq. ft. residential home on the 2nd Story of the structure. However, Mixed Use Development is allowed in the C-1, M-1 and M-2 zones in the Harrisburg development code, and in fact, HMC 18.50.080 addresses dwellings in these zones. There can't be more than two dwellings, nor can they exceed 2,500 sq. ft. They must also have sufficient off-street parking and are required to provide parking spaces for at least three vehicles. Those spaces are shown on the west elevation side of the primary structure.

A variance is also requested, as the applicant has funding for this structure based upon the original site plan request, which allowed for a gravel parking lot, and a gravel driveway, other than the first 50' of the driveway abutting S. 6th St. Current development code standards require that the parking lot and driveway be paved.

CRITERIA AND FINDINGS OF FACT

Criteria: 18.50.080 Dwellings in commercial and mixed employment zones.

1. *Purpose.* This section provides standards for residential uses in the C-1, M-1, M-2, and PUZ zones.
2. *Applicability.* This section applies to dwellings in the C-1, M-1, M-2, and PUZ zones.
3. *Standards.* Residential uses in the C-1, M-1, and PUZ zones shall conform to all of the following standards:
 - a. New residential uses shall not be located in a ground building floor space within the historical district overlay zone.
 - b. New residential uses within the historical district overlay zone shall be permitted only above or below a ground-floor space approved for a permitted nonresidential use.
 - c. New residential uses in the C-1 zone are not allowed except as part of a mixed-use development requiring a site plan review or master planned development application.
 - d. Single-family dwellings lawfully existing as of the date of adoption of this chapter may continue as permitted uses; and in the event of involuntary damage or destruction due to fire or other event beyond the owner's control, such single-family use may be rebuilt and reestablished pursuant to HMC [18.45.030](#) and applicable building codes.
 - e. New residential uses in the C-1, M-1, M-2, and PUZ zones shall consist of not more than two dwelling units per parcel, each dwelling unit not to exceed 2,500 square feet, and off-street parking provided for at least three vehicles, except for the historical district overlay.
 - f. New residential uses in the C-1, M-1, and M-2 zones shall not exceed a lot/parcel coverage ratio of 40 percent. [Ord. 987 § 1 (Exh. A), 2022.]

DISCUSSION: Purpose and applicability do apply to this project, but in 3, Standards, only sections e & f apply. As the applicant has already noted in their narrative, this project is not in a historical district, it is not a C-1 zone, and there is not an existing single-family dwelling on this property. Therefore, only e, new residential uses shall not exceed more than two dwelling units per parcel, and each unit is limited to not exceed 2,500 sq. ft. There is only one dwelling unit proposed, and it is slightly smaller than 2,500 sq. ft. Off-street parking is required for a minimum of three vehicles, and the applicant has provided for those on the west side of the new structure. The structure doesn't come close to having a ratio of 40 percent.

Because there is a full residential unit being applied here, there will be residential SDC's charged for the dwelling unit, but commercial SDC's will be charged for the remaining industrial portion of the project. Unfortunately, the current ¾" water line is not sufficient to cover the needs of a dwelling unit, on top of 3 new ADA restrooms, a restroom for the offices, and a restroom that was added to the original structure. Therefore, the applicant will need to install an additional water service line and meter on this project. (**Condition No. 2**) A connection fee and meter fee will also be charged for this connection. In addition, depending upon the building permit plans being submitted, the Harrisburg Building Official has stated that there is a possibility that sprinklers will be required in the industrial structure, as mentioned in **Exhibit B**. (A residential use inside the industrial structure can sometimes require a higher protection between those uses.) This becomes **Development Concern No. 1**. The addition of sprinklers will likely require either a larger connection line and meter, or a separate connection entirely. Luckily the sewer line that is present is adequate for the additional use on the property.

Condition No 1: Consistency with Plans – Development shall comply with the plans and narrative in the applicant's proposal, except where modified by the following conditions of approval.

Condition No. 2: Water Connection - Prior to submission of the building permit, the applicant will be required to install a secondary water line in order to accommodate additional services on the property, along with paying the connection fee. A water meter fee will be due and payable when the building permit is picked up.

Development Concern No. 1 – As per Exhibit B, the applicant is put on notice that depending upon how the structure is built, sprinklers might be required to be added to this structure. A larger water line and meter might be required in order to accommodate a sprinkler system.

FINDING: As conditioned, the applicable criteria are met.

Criteria: 18.70.030 Vehicular access and circulation.

2. *Permit Required. Vehicular access to a public street (e.g., a new or modified driveway connection to a street or highway) requires an approach permit approved by the applicable roadway authority. The City Administrator reviews permit requests for connections to City streets through a Type I procedure.*

3. *Traffic Study Requirements. The City, in reviewing a development proposal or other action requiring an approach permit, may require a traffic impact analysis or other traffic engineering analysis, pursuant to HMC [18.85.020](#), to determine compliance with this code.*

v. *Development that increases impervious surface area shall conform to the storm drainage and surface water management requirements of HMC [18.85.050](#).*

DISCUSSION: There is an existing driveway, which is already paved for the first 50', which is also 30' wide; the remainder of the driveway has been constructed to withhold a 75,000 lb. emergency vehicle. The current proposed use of this property won't generate enough traffic that the City will require a traffic impact analysis. HMC 18.70.030(4)(c) states that driveways shall be paved and meet applicable construction standards. The applicant is therefore asking for a variance in order to avoid paving the driveway, which will be addressed further in this staff report. (**Condition of Approval No. 6**). The types of use of this property, as well as those around this property, will not create any excess peak hour trips, nor does this project require traffic calming features. The driveway was also designed to accommodate truck/trailer turning movements, and it's unlikely that traffic will stack in this area, as there are no commercial businesses. The size of the parking lot is adequate to allow for vehicle turning radius. The development that is present already, as well as that in this proposal does increase the impervious surface area, which requires that it conform to the storm drainage and surface water management requirements of HMC 18.85.050. However, Staff notes that the applicant has already completed the full storm water management plan for the property, and also has an approved DEQ 1200-C permit in hand.

FINDING: As discussed above, and conditioned, this criterion has been met.

Criteria: 18.75.020 Applicability. (Landscaping, Fences & Walls, Outdoor Lighting)

1. *HMC [18.75.030](#) establishes design standards for landscaping and screening. Projects requiring site design review or land division approval shall meet the applicable landscape standards, including the standards in Tables 18.45.040.4 and 18.45.040.5 and any special use requirements under Chapter [18.55](#) HMC, and the requirements of this chapter. Property owners are required to maintain landscaping and screening pursuant to HMC [18.75.030](#)(7).*

2. *HMC [18.75.040](#) establishes design standards for when a fence or a wall not attached to a building is to be erected, extended, or otherwise altered. It also applies to situations where this*

code requires screening or buffering (e.g., outdoor or unenclosed storage uses). The standards of HMC [18.75.040](#) supplement the development standards in Tables 18.45.040.4 and 18.45.040.5 and any applicable special use requirements under Chapter [18.55](#) HMC.

3. HMC [18.75.050](#), Outdoor lighting, applies to all new outdoor lighting, i.e., located in new developments that require site design review approval.

DISCUSSION: The criteria above indicate that landscaping, fences & walls, and outdoor lighting are all applicable to the proposed project. The applicant does have 11,119 sq. ft. of landscaping buffer on the eastern edge of the property, on the outside of the fence. This comes to 8.37% of the total site. The applicant has suggested that the City accept the 8.37% figure, as the small portion of property that is zoned M-2 allows for only 5% landscaping. However, Harrisburg Municipal Code does suggest in several places that a combined zone should be treated as the zone that is the largest. In this case, that is the M-1 zone. In addition, landscaping increases the value of property, while curb appeal is important for this construction business. As such, Staff does require the applicant to install another 2,166 sq. ft. of landscaping on the property (**Condition No. 3**) and suggests that landscaping can be added to the inside of the property, along the fence and the driveway, and in a perimeter around the parking lot, or the structure itself. A fence is already present surrounding the property, and the outdoor storage currently on the property will now be screened by the large building being added. A trash/refuse area will be located behind the main structure and does not require additional screening. As already noted, buffering is already present in the existing 11,119 sq. ft. of landscaping already present on the property. Outdoor Lighting shall be located on the structures themselves, as the applicant is not planning on installation of pole lighting.

Condition No. 3: Landscaping – Applicant shall be required to add an additional 2,166 sq. ft. of landscaping to their location of choice on the property.

FINDING: As conditioned, this criterion has been met.

Criteria: 18.75.030 Landscaping and screening.

1. *General Landscape Standard.* All portions of a lot not otherwise developed with buildings, accessory structures, vehicle maneuvering areas, or parking shall be landscaped as required by Table 18.45.040.5. All developments requiring site plan review, subdivisions, or partitions shall include a formal landscape plan as part of their application.
2. *Minimum Landscape Area.* All lots shall conform to the minimum landscape area standards of the applicable zoning district, as contained in Tables 18.45.040.4 and 18.45.040.5. The City Administrator, consistent with the purposes in HMC [18.75.010](#), may allow credit toward the minimum landscape area for existing vegetation that is retained in the development. The City Administrator may apply landscaping credits for features such as patios, large rocks, barked or mulched areas, decorative concrete, etc.
3. *Plant Selection.* A combination of deciduous and evergreen trees, shrubs, and ground covers shall be used for all planted areas, the selection of which shall be based on local climate, exposure, water availability, and drainage conditions, among other factors. When new vegetation is planted, soils shall be amended, and necessary irrigation shall be provided to allow for healthy plant growth. The selection of plants shall be based on all of the following standards and guidelines:

Criteria: 18.75.040 Fences & Walls.

1. *Purpose.* This section provides general development standards for fences, and walls that are not part of a building, such as screening walls and retaining walls.

2. *Applicability.* This section applies to all fences, and walls that are not part of a building, including modifications to existing fences and walls. This section supplements the development standards of Tables 18.45.040.4 and 18.45.040.5.

3. Height.

b. Nonresidential Zones. Fences and freestanding walls (i.e., exclusive of building walls) for nonresidential uses shall not exceed the following height above grade, where grade is measured from the base of the subject fence or wall:

(1) *Within front or street-side yard setback:* four feet if fence does not obstruct more than 50 percent visual clearance; three feet if sight is obscured more than 50 percent, except the following additional height is allowed for properties located within an industrial, public, or institutional zone:

(a) A fence or wall may be constructed to a maximum height of seven feet where the fence is set back behind the front or street-side property line behind a five-foot landscape buffer.

(b) A fence or wall may be constructed to a maximum height of eight feet where the fence or wall is set back behind the front or street-side property line behind an eight-foot landscape buffer.

(c) Where approved by the City Administrator, a fence constructed of open chain link or other “see-through” composition that allows 90 percent light transmission may reach a height of up to eight feet.

Criteria: 18.75.050 Outdoor lighting.

1. *Purpose.* This section contains regulations requiring adequate levels of outdoor lighting while minimizing negative impacts of light pollution.

2. *Applicability.* All outdoor lighting shall comply with the standards of this section.

3. Standards.

a. Light poles, except as required by a roadway authority or public safety agency, shall not exceed a height of 20 feet. Pedestal or bollard-style lighting is the preferred method illuminating walkways. This limitation does not apply to flag poles, utility poles, and streetlights.

b. Where a light standard is placed over a sidewalk or walkway, a minimum vertical clearance of eight feet shall be maintained.

c. Outdoor lighting levels shall be subject to review and approval as part of the site design review, subdivisions, or a Type II commercial or industrial application. Lighting levels shall be sufficient to provide for pedestrian safety, property or business identification, and crime prevention. (See also the City of Harrisburg Sign Code, Chapter [18.90](#) HMC.)

d. Except as provided for up-lighting of flags and permitted building-mounted signs, all outdoor light fixtures shall be directed downward, and have full cutoff and full shielding to preserve views of the night sky and to minimize excessive light spillover onto adjacent properties.

e. Lighting shall be installed where it will not obstruct public ways, driveways, or walkways.

f. Where a light standard is placed within a walkway, an unobstructed pedestrian through zone not less than 36 inches wide shall be maintained.

g. Lighting subject to this section shall consist of materials approved for outdoor use and shall be installed according to the manufacturer’s specifications.

DISCUSSION: As noted in previous findings, the applicant is being credited with existing landscaping (11,119 sq. ft.) meeting the prior standards. The City requires an additional 2,166 sq. ft. of landscaping and is allowing the applicant to decide where they would like to place the landscaping. If the applicant wishes to plant storm detention swales, they can count towards

the total square footage of landscaping. **Condition No. 4** establishes that the applicant must provide the City with a landscaping plan showing where the landscaping will be placed, and what kinds of landscaping will be installed. This will be due concurrently with the submission of the Building Permit. In addition, the applicant has provided locations for where exterior lighting will be placed on the building. The applicant has indicated that the lighting will match the lights shown on the existing storage building. These lights will be acceptable; however, the City will need to know where those are located. Therefore, **Condition No. 5** states that concurrently with the submission of the building permit, the applicant must provide elevation drawings showing where the lights will be placed on the new structure. The narrative provided states that the applicant plans on an 8' fence, but after checking with them, the applicant confirmed that they already have a fence surrounding the property and aren't planning on additional fencing at this time.

Condition No. 4: Landscaping Plan – Concurrently with the submission of the building permit, applicant will provide the City with a landscaping plan showing where the additional 2,166 sq. ft. of landscaping will be located and provide a basic landscaping plan showing what kind of landscaping is being provided.

Condition No. 5: Outdoor Lights – Concurrently with the submission of the building permit, applicant will provide elevation drawings that show the location of the outdoor lights on the new structure. Applicant shall use the same outdoor lights that are present on the existing structure.

FINDING: As conditioned, this criteria and design elements have been met.

Criteria: HMC 18.80.030 Parking & Loading

3. Calculations of Amounts of Required and Allowed Parking.

a. When computing parking spaces based on floor area, parking structures and nonleasable floor spaces, such as storage closets, mechanical equipment rooms, and similar spaces, are not counted.

b. The number of parking spaces is computed based on the primary uses on the site only, except as stated in subsection (3)(c) of this section. When there are two or more separate primary uses on a site, the minimum and maximum parking for the site is the sum of the required or allowed parking for the individual primary uses. For shared parking, see HMC [18.80.030\(3\)](#).

c. When more than 20 percent of the floor area on a site is in an accessory use, the required or allowed parking is calculated separately for the accessory use. An example would be a 10,000-square-foot building with a 7,000-square-foot warehouse and a 3,000-square-foot accessory retail area. The minimum and maximum parking would be computed separately for the retail and warehouse uses.

d. Required parking spaces periodically used for the storage of equipment or goods may be counted toward meeting minimum parking standards; provided, that such storage is an allowed use under HMC [18.45.030](#) and is permitted as a temporary use under HMC [18.50.140](#).

4. Parking Stall Design and Minimum Dimensions. Where a new off-street parking area is proposed, or an existing off-street parking area is proposed for expansion, the entire parking area shall be improved in conformance with this code. At a minimum the parking spaces and drive aisles shall be paved with asphalt, concrete, or other City-approved materials, provided the Americans with Disabilities Act requirements are met, and shall conform to the minimum dimensions in Table 18.80.030.5 and the figures below. All off-street parking areas shall contain

wheel stops, perimeter curbing, bollards, or other edging as required to prevent vehicles from damaging buildings or encroaching into walkways, landscapes, or the public right-of-way. Parking areas shall also provide for surface water management, pursuant to HMC [18.85.050](#).

DISCUSSION: Applicant is showing 9 spaces on the site plan, which is what was required with the previous development code. As per the standards in Table 18.80.030.1, there are 2.16 spaces required for the office/reception area, 2.16 spaces required for the storage/warehouse area in the new building, and 2.5 spaces required for the existing structure. Therefore the City only requires 7 spaces, plus 1 ADA space. (There are 3 additional spaces required for the dwelling unit, which are planned for the western elevation of the structure.) The applicant is welcome to provide additional spaces if desired. HMC 18.80.030.4 Automobile Parking does require that the parking area should be paved with asphalt, concrete, or other city approved materials. The applicant is asking for a variance to avoid being required to pave this area, as their financing for this entire project is based upon the previous site plan standards. **(Condition No. 6).** Off-street parking spaces shall contain wheel stops, perimeter curbing, bollards, or other edging in order to prevent vehicles from damaging buildings or encroaching into walkways, and landscapes. In addition, as per the letter provided by the Harrisburg Building Official, **Exhibit B**, the ADA space shall be hard surfaced, and must have a paved 'route' accessway to the handicapped access point in the building. **(Condition No. 7)**

Parking spaces/stalls shall also meet the dimensions as shown in Table 18.80.030.5, Parking Area Minimum Dimensions. The site plan is unclear as to where the parking spaces will be, although it looks as though the intent is in front of each man door on the east elevation of the proposed building. Therefore, concurrent with the submission of the building permit, the applicant must submit a new site plan showing the location, size and dimensions of the parking lot spaces, along with wheel stops, perimeter curbing, or other kind of edging. All markings shall be provided on the gravel surface. **(Condition No. 8)** As noted previously, the parking lot is of adequate size to allow for turn radius and maneuverability. In HMC 18.80.040, it does state that if the applicant plans on having trucks with a 40-foot or longer wheelbase on the property, and that they must show specific design information in relation to loading. The applicant is not planning on regular deliveries, nor deliveries by 40-foot vehicles, and therefore, the loading area that is shown in-between structures is adequate for their needs and needs no further design changes.

Condition No. 6: Variance for Paving Requirement: Prior to submission of the Building Permit, a variance must be approved by the Planning Commission in order for the applicant to avoid being required to pave the parking area, or the driveway.

Condition No. 7: ADA and Access Route Paving - Concurrent with submission of the Building Permit, applicant shall show on the parking plan the location of the ADA space, and access route, which must be paved.

Condition No. 8: Parking Lot Details – Concurrent with submission of the Building Permit, applicant shall show the parking plan, with the details in relation to location, size, and dimensions of each space, as well as installation of wheel stops, edging, or other perimeter treatment. All markings shall be provided on the gravel surface.

Finding: As conditioned, the criteria and design requirements will be met.

18.85.020 Transportation Standards

18.85.040 Sanitary sewer and water service improvements

18.85.050 Storm drainage and surface water management facilities

DISCUSSION: The new development code, similar to the old municipal code, requires that improvement of a property should include the addition of sidewalks, curbs and gutters. Staff notes that in HMC 18.85.020.e, standard street improvements may be deferred. The applicant has already provided the City with a waiver of remonstrance agreement, that in the future, if sidewalks shall be required, they will need to add them at that time without the ability to remonstrate. This application and proposed use of the property doesn't require that a traffic impact analysis be required. As per 18.85.040, in the previous site plan, the applicant was required to install sewer and water lines. Those are already in place, and a plumbing permit will be required in order to add further interior lines to accommodate the proposed structure.

In addition, the original site plan approved in 2021 included that the applicant must provide the City with a 25-year storm plan, as well as an approved DEQ 1200-C permit for the entire property. The applicant has existing storm swales and detention systems on site, while both the 25-year storm plan and 1200-C permit were already filed with the same size of the proposed storage/office structures as to what was previously approved. There are no changes required by the City to these standards for the storm plan, and 1200-C permit. However, the applicant is reminded that when the new structure is added to the property, that they shouldn't grade or fill anything outside of the immediate construction area without first checking with the DEQ.

FINDING: As previously conditioned, these criteria have been met.

Criterion: 19.15.050 Site Design Review and Approval Criteria.

An application for site design review shall be approved if the proposal meets all of the following criteria. The Harrisburg Planning Commission, in approving the application, may impose reasonable conditions of approval, consistent with the applicable criteria contained herein.

1. The application is complete, in accordance with HMC 19.15.040;

DISCUSSION: The application is deemed complete.

2. The application complies with all of the applicable provisions of Chapters [18.45](#) and [18.55](#) HMC, including, but not limited to, building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other applicable standards;

DISCUSSION: The site plan complies with the provisions of 18.45 and 18.55 HMC in terms of setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other details, with the exception of the structure exceeding 4,000 sq. ft., and therefore being required per ORS 671.010 section 2.c. of an Architect being listed on the plans. (**Condition No. 9**).

3. The proposal includes required upgrades, if any, to existing development that does not comply with the applicable land use district standards, pursuant to Chapter [18.25](#) HMC.

DISCUSSION: There are no non-conforming uses for the property, and none being created.

4. *The proposal complies with all of the development and design standards, as applicable, including, but not limited to:*

- a. Chapter [18.70](#) HMC, Access and Circulation;
- b. Chapter [18.75](#) HMC, Landscaping, Fences and Walls, Outdoor Lighting;
- c. Chapter [18.80](#) HMC, Parking and Loading; and
- d. Chapter [18.85](#) HMC, Public Facilities

DISCUSSION: The proposal complies with Chapters 18.70, 18.75, 18.80 and 18.85 as conditioned.

5. *For nonresidential uses, all adverse impacts to adjacent properties, such as light, glare, noise, odor, vibration, smoke, dust, or visual impact, shall be avoided; or where impacts cannot be avoided, they are minimized*

DISCUSSION: Adverse impacts to adjacent residential properties are minimized by conditions imposed upon the applicant.

6. *The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.*

DISCUSSION: Previous conditions of approval in relation to the original site plan have been met, with the exception of the requirement of a new Erosion & Sediment Control Plan. The applicant will need to provide a new erosion & sediment control plan. (**Condition No. 10**).

7. *As a condition of approval, the Planning Commission may require public improvements that are necessary to mitigate or prevent development impacts including, but not limited to, traffic, noise, odors, dust, pollution, or others that would affect surrounding existing uses or the City as a whole.*

DISCUSSION: The Planning Commission can require further public improvements that can mitigate or prevent development impacts, including, but not limited to traffic, noise, odors, dust, pollution, or others that would affect surrounding existing uses or the City as a whole.

Condition No. 9: Building Permit Plans – Concurrent with the submission of the building permits, the applicant shall have an architect listed on the plans, as per ORS 671.010 section 2.c.

Condition No. 10: Erosion & Sediment Control Plan – Prior to, or concurrent with the building permits, the applicant shall submit for review and approval an erosion and sediment control plan that demonstrates how the applicant will prevent sediment and runoff from the earthwork entering the storm water system or impacting other properties. This plan shall be reviewed and approved by the City's Public Works Director.

FINDING: As conditioned above, the criterion has been met.

CRITERION: *HMC 19.40.040 Variances.*

1. Applicability. *A variance is a code adjustment that does not otherwise meet the criteria under HMC 19.40.030. (Permitted uses, as provided in Chapters 18.40 to 18.55 HMC, shall not be adjusted with a variance.)*

2. Approval Criteria. *The Planning Commission through a Type III procedure may approve a variance upon finding that it meets all of the following criteria:*

a. The variance is necessary because the subject code provision does not account for special or unique physical or historical circumstances of the subject site, existing development patterns, or adjacent land uses. If an existing lot or development is nonconforming, the City may accept the nonconforming status as sufficient evidence of a hardship for purposes of approving a variance under this section;

DISCUSSION: The variance is requested because the development code changed in between the original site plan that was approved in 2021, and this site plan/variance request in 2023. The original site plan allowed for a gravel parking lot, and a driveway that was gravel, with the exception of the first 50' of driveway. The owner has indicated that the financing provided for this project is based upon the previous standards. Staff believes that allows for a special circumstance which should be taken into account.

b. The variance is the minimum necessary to address the special or unique physical circumstances related to the subject site;

DISCUSSION: The variance is the minimum necessary, which addresses the special circumstance related to the subject site.

c. The variance does not conflict with other applicable City policies or other applicable regulations;

DISCUSSION: The variance request does not conflict with other applicable city policies, or other applicable regulations

d. The variance will result in no foreseeable harm to adjacent property owners or to the public interest;

DISCUSSION: The approval of this variance does not cause foreseeable harm to adjacent property owners or to the public interest.

e. All applicable building code requirements and engineering design standards shall be met;

DISCUSSION: All applicable building code requirements and engineering design standards shall otherwise be met.

f. The variance is necessary for the preservation and enjoyment of the same property rights as possessed by owners of other property in the same zone.

DISCUSSION: The variance is necessary for the preservation and enjoyment of the same property rights as possessed by owners of other property in the same zone

g. In granting a variance, the Planning Commission may attach conditions which it finds necessary to protect the best interests of the surrounding property or the community as a whole.

DISCUSSION: The Planning Commission may attach any conditions that it finds necessary to protect the best interests of the surrounding property or the community as a whole.

FINDING: As shown in the discussion above, Staff believes that the criterion to satisfy a variance has been met.

CONCLUSIONS

The applicant has asked for approval of a variance – (LU 452-2023) to be allowed to place a 9,648 sq. ft. mixed use development structure on 3.05 acres. The variance will allow construction of the new structure, without being required to pave the parking lot, or the driveway on the property, other than the first 50' of driveway that is already paved. Staff feels that the applicant has met and shown that special circumstances should apply to this request, as the development code was recently updated. In addition, the applicant based their financial package upon the previous site plan approval, which didn't account for the cost of paving, other than the first 50' of the driveway. Staff recommends that the Planning Commission approve the variance request as requested.

The applicant also requests approval of a site plan to build a 9,648 sq. ft. 2-story mixed use development structure on 3.05 acres. A site plan was previously approved in 2021, as LU 430-2021, but the applicant was only able to build the storage structure, which was allowed to be expanded in size according to the Harrisburg Municipal Code. This mixed-use development is a new request, but should be allowed, because it is a good example of a flexible mixed use development policy, that meets the state's current goals in relation to the best use of property, as well as the inclusion of providing more housing units. As conditioned, Staff feels that the site plan meets the requirements of the Harrisburg Municipal Code and recommends that the Planning Commission approve the site plan as conditioned.

As demonstrated by the discussion, analysis and findings, the applicants request, as conditioned, complies with the applicable criteria from the Harrisburg Municipal Code.

PLANNING COMMISSION ACTION

The Planning Commission has three options with respect to the subject applications. They can:

1. Approve the request;
2. Approve the request with conditions; or
3. Deny the request.

Based upon the criteria, discussion, and findings of facts above, Staff recommends the Planning Commission motion to approve this variance and site plan request as conditioned.

RECOMMENDED MOTION(S)

Consistent with staff recommendations to the Planning Commission, the appropriate motions are shown at the top of this staff report.

RECOMMENDED CONDITIONS OF APPROVAL

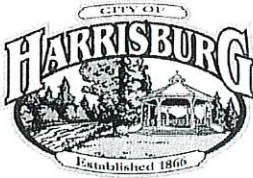
1. **Consistency with Plans** – Development shall comply with the plans and narrative in the applicant's proposal, except where modified by the following conditions of approval.
2. **Water Connection** - Prior to submission of the building permit, the applicant will be required to install a secondary water line in order to accommodate additional services on the property, along with paying the connection fee. A water meter fee will be due and payable when the building permit is picked up.
3. **Landscaping** – Applicant shall be required to add an additional 2,166 sq. ft. of landscaping to their location of choice on the property.
4. **Landscaping Plan** – Concurrently with the submission of the building permit, applicant will provide the City with a landscaping plan showing where the additional 2,166 sq. ft. of landscaping will be located and provide a basic landscaping plan showing what kind of landscaping is being provided.
5. **Outdoor Lights** – Concurrently with the submission of the building permit, applicant will provide elevation drawings that show the location of the outdoor lights on the new structure. Applicant shall use the same outdoor lights that are present on the existing structure.
6. **Variance for Paving Requirement** - Prior to submission of the Building Permit, a variance must be approved by the Planning Commission in order for the applicant to avoid being required to pave the parking area, or the driveway.
7. **ADA and Access Route Paving** - Concurrent with submission of the Building Permit, applicant shall show on the parking plan the location of the ADA space, and access route, which must be paved.
8. **Parking Lot Details** – Concurrent with submission of the Building Permit, applicant shall show the parking plan, with the details in relation to location, size, and dimensions of each space, as well as installation of wheel stops, edging, or other perimeter treatment. All markings shall be provided on the gravel surface.
9. **Building Permit Plans** – Concurrent with the submission of the building permits, the applicant shall have an architect listed on the plans, as per ORS 671.010 section 2.c.
10. **Erosion & Sediment Control Plan** – Prior to, or concurrent with the building permits, the applicant shall submit for review and approval an erosion and sediment control plan that demonstrates how the applicant will prevent sediment and runoff from the earthwork

entering the storm water system or impacting other properties. This plan shall be reviewed and approved by the City's Public Works Director.

DEVELOPMENT/BUILDING CODE REQUIREMENTS

Development/Building Code Requirement No. 1. As per Exhibit B, the applicant is put on notice that depending upon how the structure is built, sprinklers might be required to be added to this structure. A larger water line and meter might be required in order to accommodate a sprinkler system.

RECEIVED
AUG - 2 2023



City of Harrisburg
120 Smith Street
Harrisburg, OR 97446
Phone (541) 995-6655
www.ci.harrisburg.or.us/planning

LAND USE APPLICATION

STAFF USE ONLY

File Number: 452-2023 / 453-2023 Date Received: 8/2/23
Fee Amount: \$ 500 \$ 425 PAID 8-02-23

720 EMAIL: NO PAYMENT

APPLICATION TYPE

<input type="checkbox"/> Annexation*	<input type="checkbox"/> Property Line Adjustment
<input type="checkbox"/> Comprehensive Plan Amendment*	<input type="checkbox"/> Partition/Replat* Minor Major
<input type="checkbox"/> Conditional Use Permit*	<input checked="" type="checkbox"/> Site Plan Review*
<input type="checkbox"/> Historic Permit*	<input type="checkbox"/> Site Plan Review – Parking Only
<input type="checkbox"/> Resource Alteration	<input type="checkbox"/> Subdivision/Replat*
<input type="checkbox"/> Resource Demolition	<input type="checkbox"/> Vacation of street, alley or easement
<input type="checkbox"/> Historic Review – District	<input checked="" type="checkbox"/> Variance*
<input type="checkbox"/> Legal Lot Determination	<input type="checkbox"/> Zone Map Change*
<input type="checkbox"/> Zoning Ordinance Text Amendment*	

*A Pre-Application Conference with City Staff is Required

PLEASE PROVIDE A BRIEF SUMMARY OF THE PROPOSAL

Project Description	Previously approved Site Design Review File No. 430-2021 requires re-approval with added Variance application due to Harrisburg Municipal Code changes that were implemented prior to the property owner/applicant completing Site Design Review's approved site plan work. This application will be accompanied by an updated site plan to reflect current conditions on the subject property which include completed work approved under 430-2021.
Project Name	Ferris Site Design Review/ Variance Request

COMPLETED
APPLICATION

RECEIVED
AUG 1 7 2023

BY: *[Signature]*

PRIMARY CONTACT AND OWNER INFORMATION

Applicant's Name		VINCENT FERRIS	
Phone	541-272-1434	Email	VINCENTAFERRIS@yahoo.com
Mailing Address		893 Smith St Harrisburg Or	
Applicant's Signature		[Signature]	
		Date	5/2/23
Property Owner Name		VINCE FERRIS VFC HOLDINGS LLC	
Phone	SAME	Email	SAME
Mailing Address		SAME	
Owner Signature		[Signature]	
		Date	5/2/23
*If more than one property owner is involved, provide a separate attachment listing each owner or legal representative and their signature.			

PROPERTY DESCRIPTION

(general vicinity, side of street, distance to intersection, etc.)

Street Address		1070 S 6TH ST	
General Location Description		Harrisburg	
Assessor's Map Number(s)		Related Tax Lot(s)	
Map #	15-04-16D ✓	Tax Lot(s) #	000213 ✓ 00213
The Assessor's Map Number (Township, Section and Range) and the Tax Lot Number (parcel) can be found on your tax statement, at the Linn County Assessor's Office, or online at http://linn-web.co.linn.or.us/propertywebquerypublic/			
Lot Area	3.05 acres ✓		

LAND USE AND OVERLAY ZONES

Existing Zone(s) M-2/ M-1

Existing Comprehensive Plan Designation(s) M-2/ M-1

Please select any of the following zone overlays or natural areas that apply to the subject site:

- | | | |
|---|--|-------------------------------------|
| <input type="checkbox"/> Historic Overlay | <input type="checkbox"/> Willamette River Greenway | <input type="checkbox"/> Floodplain |
| <input type="checkbox"/> Riparian Corridors | <input type="checkbox"/> Wetlands | |

*Please include a discussion in the project narrative indicating how these overlays affect your proposal. For more information about any of these overlays, please contact the City Planner at (541) 995-6655.

CHECK THE BOX NEXT TO INCLUDED EXHIBITS

- | | |
|--|---|
| <input checked="" type="checkbox"/> Narrative* (address all applicable HMC review criteria)
<input checked="" type="checkbox"/> Assessor's Map with Applicable Tax Lots Highlighted
<input checked="" type="checkbox"/> Site Plan
<input type="checkbox"/> Survey / ALTA
<input type="checkbox"/> Aerial Photograph / Existing Land Use(s) Map
<input type="checkbox"/> Zoning Map (if applicable, show proposed change(s))
<input type="checkbox"/> Comprehensive Plan Map(s) (if applicable, show proposed changes))
<input type="checkbox"/> Subdivision or Partition Plat | <input checked="" type="checkbox"/> Architectural Elevations
<input checked="" type="checkbox"/> Architectural Floor Plans
<input checked="" type="checkbox"/> Utilities Plan
<input type="checkbox"/> Geotechnical Report/Site
<input type="checkbox"/> Assessment
<input type="checkbox"/> Electronic Versions of Exhibits
<input type="checkbox"/> Application Fee
<input type="checkbox"/> Other |
|--|---|

*A written narrative is required for all application types. Typical drawings sizes are 24"X36", 11"X17", or 8.5"X11". Sizes of required drawings will depend on the type and scope of applications involved. Contact the City Planner to verify requirements. On your plans, include the following: property lines, points of access for vehicles, pedestrians, and bicycles, water courses, any natural features (wetlands, floodplain, etc.), existing and proposed streets and driveways, parking areas, utilities, pedestrian and bike paths, and existing easements. Please note there are additional specific graphic and narrative requirements for each application type. Refer to the Harrisburg Municipal Code for more information.

A Pre-application Conference is Required with City Staff prior to turning in your land use application. Please contact the City Administrator, or City Recorder/Assistant City Administrator to make an appointment. Date of Appointment:

PLEASE TELL US MORE ABOUT THE PROPOSAL AND ITS SITE

1. Are there existing structures on the site? ☒ Yes ☐ No If yes, please explain

One existing 36'x60' building for the storage of construction equipment.

2. Indicate the uses proposed and describe the intended activities:

Proposed buildings include one 120'x60' used for business operations and storage. On-site activities to include operations, management, and storage for residential and light construction contracting company - Vincent Ferris

3. How will open space, common areas and recreational facilities be maintained?

All spaces to be utilized for business operations; uses and associated maintenance plans are indicated on attached plan set.

4. Are there previous land use approvals on the development site? ☒ Yes ☐ No
If yes, please include a discussion in the project narrative describing how the prior approvals impact your proposal.

File No. 430-2021. ✓

5. Have you reviewed the Oregon Fire Code Applications Guide in relation to your land use request? ☐ Yes ☒ No Do you have questions about any element of these requirements? If yes, please explain:

AUTHORIZATION FOR STAFF & DECISION MAKERS TO ENTER LAND

City staff, Planning Commissioners, and City Councilors are encouraged to visit the sites of proposed developments as part of their review of specific land use applications. Decision maker site visits are disclosed through the public hearing process. Please indicate below whether you authorize City staff and decision makers to enter onto the property(-ies) associated with this application as part of their site visits.

☒ I authorize City staff and decision makers to enter onto the property(-ies) associated with this application.

☐ I do not authorize City decision makers to enter onto the property(-ies) associated with this application.



LAND USE PLANNING AND CONSULTING SERVICES

846 A STREET
SPRINGFIELD, OREGON 97477
(541) 302-9830
WWW.METROPLANNING.COM

SITE REVIEW AND VARIANCE - VINCENT FERRIS CONSTRUCTION

WRITTEN NARRATIVE

Submittal No.:	1
Document Date:	July 20, 2023
Applicant's Request:	Approval of Site Design Review and Variance
Applicant:	Vincent Ferris 893 Smith St Harrisburg, OR 97446
Applicant's Representative/ Project Coordinator:	Metro Planning, Inc. Katie Keidel, Associate Planner 846 A Street Springfield, OR 97477 (541) 302-9830
Subject Property:	1070 S 6 th Street Harrisburg, OR 97446 MTL 15-04-16-00-00213
Property Size:	3.06 acres
Zoning:	M-1 (Limited Industrial) M-2 (General Industrial)

Background:

This application requests new approval of a previously approved Site Design Review application (File No. 430-2021) which was active until its recent expiry on July 1, 2023, prior to completion of the approved site design plan. As no additional timeline extension for the active approval was available, in order to finalize the Conditions of Approval the applicant was advised that a Site Design Review re-application process would be appropriate. This narrative addresses Harrisburg Municipal Code (HMC) approval criteria for Site Design Review contained within Chapter 19.15. There are no changes proposed to the site design approved by File No. 430-2021; therefore, a Variance is also requested and addressed herein, per HMC Chapter 19.40, to allow the previously approved site design and accompanying conditions to be re-approved under the recently updated HMC.

The requested variance pertains to the revised M-1/ M-2 zones off-street parking requirements included in *Subsection 18.80.030 (4) – Parking Stall Design and Minimum Dimensions*. The previous Site Design Review application approved the use of gravel as appropriate and Code compliant for the off-street parking areas located on the subject property. Condition of Approval #4 of File No 430-2021, states, ***Parking – With the submission of the building permit, the applicant will show 9 parking spaces, one of which will be an ADA space. Spaces will be marked clearly on the gravel surface*** (emphasis added). Approving the continued use of gravel for the on-site parking areas is consistent with the Site Design Review approval for the subject property as well as with similar uses on adjacent properties, specifically JB RV Storage located to the southwest which maintains its parking area surface with gravel.

The subject property is split zoned with the majority of the property zoned M-1 and the smaller, westerly portion zoned M-2. The proposed use is permitted in both the M-1 and M-2 zones. The M-1 zone criteria is more restrictive therefore the application addresses compliance with the M-1 standards rather than the less restrictive M-2 standards. HMC sections included below are indicated in bold and/or italicized typeface; applicant responses follow in plain typeface.

19.15.050 Site Design Review – Approval Criteria.

An application for Site Design Review shall be approved if the proposal meets all of the following criteria. The Harrisburg Planning Commission, in approving the application, may impose reasonable conditions of approval, consistent with the applicable criteria contained within.

A. The application is complete, in accordance with Section 19.15.040, above;

Response: The application is complete per HMC Section 19.15.040(2)(a)(b)(c)(d)(e) and (g) as applicable. Should staff find that the application submittal is incomplete, the applicant will provide any items that staff may deem missing or incomplete.

B. The application complies with all of the applicable provisions of Chapter 18.45 and 18.55, including, but not limited to, building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture and other applicable standards.

Response: There is no minimum lot area for M-1 or M-2 zoning. There is no limit on building height for M-1 zoning where an additional structure is now proposed (see attached site plan). A 6-foot chain link fence surrounds the subject property which includes a minimum 5' landscape buffer along the front yard. Minimum streetside and interior side setbacks of at least 20 feet are shown on the attached site plan. Maximum lot coverage for the site will not exceed 90% per M-1 or M-2 zoning requirement. There is an 11,000-sf existing landscape buffer which totals 8.7% of the total site which also includes both zoning districts. This exceeds the requirements for M-2 zoning while being less than the 10% requirement for M-1 zoning. If the site were dimensioned to just include the area under M-1 zoning, then the landscaped area would exceed 10% coverage. This criterion is met. The proposed building and covered storage structure will be at setback at least 20 feet from the street and neighboring properties.

C. The proposal includes required upgrades, if any, to existing development that does not comply with the applicable land use district standards, pursuant to Chapter 18.25.

Response: The proposal does not include any required upgrades to existing development; all existing and proposed uses are permitted uses in the M-1 and M-2 zones.

D. The proposal complies with all of the Development and Design Standards, as applicable, including, but not limited to:

1. Chapter 18.70 Access and Circulation;

Subsection 18.70.030 Vehicular Access and Circulation.

(2) Permit Required

Response: Any required permit for access will be applied for, as needed.

(3) Traffic Study Requirements

Response: The applicant understands the potential requirement for a Traffic Impact Analysis with regards to the approach to and from S 6th Street. Please also note that the applicant does not believe the proposed use will increase traffic to the extent that would prompt an analysis; these vehicles will primarily be stationary.

(4) Approach and Driveway Development and Circulation Standards

Response: There is one paved driveway approach to serve as access to the subject lot. The applicant understands the City Engineer may require the location to be moved or limit the number of locations based on safety and future development needs. The driveway approach is paved to city standards. The driveway approach is at least 30 feet in width which should accommodate for emergency vehicles if necessary (see attached site plan). The driveway is designed and located so it will not cause any obstruction to the existing public right of way. The driveway location will avoid any conflicts with pedestrians, buildings, parking, or landscaped areas. The property is adjacent to a sidewalk and therefore will have a driveway apron installed between the driveway and the roadway edge. The applicant understands that roadway authority may require the apron to be installed outside the walkway surface if found necessary.

(5) Internal-on site Circulation of Vehicles

Response: The driveway egress will not impede the unrestricted access of pedestrians to the primary building. *B curbed pedestrian walkway connects parking lot to primary structure. The parking area will have enough space to accommodate for vehicle turning radius and enough parking spaces for larger vehicles if necessary. *D the development parking site will have sufficient space for a loading and unloading zone which will not interfere with passenger vehicle or pedestrian circulation. See site plan for details.

(6) Approach Separation from Street Intersections

Response: The approach and separation from street intersections for the subject property will be maintained as there is no intersection along S 6th Street within 100 feet of the property.

(7) Approach Spacing

Response: One approach will be used with this property. Therefore, spacing between approaches is not applicable.

(8) Vision Clearance

Response: Vision clearance areas shall be clear of obstructions within the 30-foot-wide gravel driveway.

(9) Exceptions and Adjustments to Spacing Standards

Response: No exceptions to subsections (5) or (6) will be required with this application.

(10) Joint Use Access Easement and Maintenance Agreement

Response: As the existing 30-foot gravel driveway only serves the subject property, no Joint Access Easement or Maintenance Agreement will be required.

2. Chapter 18.75 Landscaping, Fences and Walls, Outdoor Lighting;**Subsection 18.75.030 Landscaping and Screening.**

Response: There is a 25-foot landscape and screening buffer located on the eastern portion of the property. This buffer is 11,119 Sq. feet and will total 8.37% of the total site.

Subsection 18.75.040 Fences and Walls.

Response: An 8-foot proposed fence around the subject property. This fence will be setback at least 8 feet on the east side behind the landscape buffer. The interior and rear yard setbacks for the fence will also meet setback requirements.

Subsection 18.75.050 Outdoor Lighting.

Response: Lighting shall be reviewed and installed to city standards. In general, outdoor lights will not exceed 20 feet in height, will not obstruct pedestrian or vehicular accessways, will be shielded and facing downward.

3. Chapter 18.80 Parking and Loading; and

Response: There will be no trucks entering and exiting from the property with a 40-foot wheelbase, therefore no loading areas will be required.

4. Chapter 18.85 Public Facilities

Response: There are no public facilities proposed with this project.

E. For nonresidential uses, all adverse impacts to adjacent properties, such as light, glare, noise, odor, vibration, smoke, dust, or visual impact, shall be avoided; or where impacts cannot be avoided, they are minimized; and

Response: Vincent Ferris Construction, a mid-sized Construction Contracting business, is located on the subject property. The applicant will avoid and/or minimize all possible adverse impacts to adjacent properties that may exist due to the non-residential business operations and management.

F. The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.

Response: In 2021, a Site Design Review application for the subject property was submitted and a site plan was approved with conditions (File No. 430-2021). The applicant was in the process of meeting all Conditions of Approval attached to File No. 430-2021 when the approval expired on July 1, 2023

G. As a condition of approval, the Planning Commission may require public improvements that are necessary to mitigate or prevent development impacts including, but not limited to, traffic, noise, odors, dust, pollution, or others that would affect surrounding existing uses or the City as a whole.

Response: The applicant understands this section may require one or more conditions of approval.

Chapter 19.40 Adjustments and Variances

19.40.040 Variances.

1. Applicability. A Variance is a code adjustment that does not otherwise meet the criteria under Chapter 19.40.030. (Permitted uses, as provided in 18.40 to 18.55, shall not be adjusted with a Variance.)

Response: The applicant is requesting a variance to the new paving requirements included in **Chapter 18.80.030 (4) – Parking Stall Design and Minimum Dimensions** which state that off-street parking areas shall be paved. The applicant is requesting that Staff re-approve the use of gravel to surface the on-site parking areas of the subject property, consistent with the 2021 Site Design Review approval as well as development on the adjacent site to the southwest – JB RV Storage.

2. Approval Criteria. The Planning Commission through a Type III procedure may approve a Variance upon finding that it meets all of the following criteria:

a. The Variance is necessary because the subject Code provision does not account for special or unique physical or historical circumstances of the subject site, existing development patterns, or adjacent land uses. If an existing lot or development is nonconforming, the City may accept the nonconforming status as sufficient evidence of a hardship for purposes of approving a variance under Chapter 19.40.

Response: The applicant is requesting a variance to allow continuity of work that began in compliance with the 2021 Site Design Review approval 430-2021 that expired on July 1, 2023, which was approved under the previous Code criteria and provisioned for the parking area to consist of gravel material. The applicant's financial planning has relied on the approved site design plan, specifically this component of the approval. As paving is much more expensive than gravel, especially due to the size of the subject property, it would not only be cost-prohibitive but would decidedly cause the applicant economic hardship. The applicant respectfully requests approval of gravel surfaced parking areas as a non-conforming development for the reasons stated above.

b. The Variance is the minimum necessary to address the special or unique physical circumstances related to the subject site;

Response: The proposed variance is the most minimal solution possible to address the new Code standard requiring paving rather than gravel for off-street parking. As previously mentioned, this variance request is in response to an already approved Site Design for the subject property which unfortunately expired before the applicant was able to complete all Approval Conditions of File No. 430-2021. In this approval, gravel was the material approved to be used for the parking area. The applicant believes that this Variance request is reasonable and allows continued compliance with the findings and Conditions of Approval for File No. 430-2021 as well as the Harrisburg Municipal Code.

c. The Variance does not conflict with other applicable City policies or other applicable regulations;

Response: As far as the applicant can tell, the proposed variance does not conflict with any other applicable City policies or regulations as may pertain to the subject property.

d. The Variance will result in no foreseeable harm to adjacent property owners or to the public interest;

Response: The Variance will not result in any foreseeable harm to adjacent property owners or to the public interest. In fact, approval of the Variance will likely be of positive impact for adjacent property owners as a gravel parking area is consistent with the conditions on adjacent commercial properties, specifically JB RV Storage. Upholding conformity with neighboring properties is supportive of the local economy and therefore in the *best* interest of the adjacent properties as well as the community as a whole.

e. All applicable building code requirements and engineering design standards shall be met

Response: The applicant will comply with all applicable building code requirements and engineering design standards.

f. The variance is necessary for the preservation and enjoyment of the same property rights as possessed by owners of other property in the same zone; and

Response: See response to (d) above.

g. In granting a variance, the Planning Commission may attach conditions which it finds necessary to protect the best interests of the surrounding property or the community as a whole.

Response: The applicant understands that the Planning Commission may include conditions with the approval of the variance.

August 17, 2023

City of Harrisburg
Michele Eldridge, CMC
City Administrator
PO Box 378
120 Smith St.
Harrisburg, OR 97446
541-995-2200



Re: Notice of Incomplete Land Use Application
File No: LU 453-2023 Site Design Review; LU 452-2023 Variance Request

Submitted: July 20, 2023
Deemed Incomplete: August 10, 2023

Subject Property: Linn Co Assessor's Map 15S04W16D Tax Lot 213; 1070 S 6th Street

Dear Michele,

Please accept the following letter in response to the Notice of Incomplete Application for the Planning Action Files LU453-2023 (Site Design Review) & LU452-2023 (Variance Request) for Vincent Ferris Construction. Incomplete items (per staff), staff comments, and Harrisburg Municipal Code (HMC) sections, as applicable, are indicated herein by bold and/or italicized typeface; applicant responses follow in plain typeface.

Should you have questions, comments, or need further information please contact me without hesitation with the information provided below.

Best regards,

Katie Keidel
Associate Planner
Metro Planning, Inc.
846 A Street
Springfield, OR 97477
(541) 302-9830
kkeidel@metroplanning.com

1. Because you are choosing to add a watchman/caretaker dwelling to the industrial property, then you need to be addressing HMC 18.50.080. Please provide narrative on how you will meet the standards listed. (Only a few are applicable)

HMC 18.50.080 Dwellings in commercial and mixed employment zones.

1. Purpose. This section provides standards for residential uses in the C-1, M-1, M-2, and PUZ zones.

2. Applicability. This section applies to dwellings in the C-1, M-1, M-2, and PUZ zones.

3. Standards. Residential uses in the C-1, M-1, and PUZ zones shall conform to all of the following standards:

a. New residential uses shall not be located in a ground building floor space within the historical district overlay zone.

Response: The subject property is not included in the historic district; this criterion is not applicable.

b. New residential uses within the historical district overlay zone shall be permitted only above or below a ground-floor space approved for a permitted nonresidential use.

Response: The subject property is not included in the historic district; this criterion is not applicable.

c. New residential uses in the C-1 zone are not allowed except as part of a mixed-use development requiring a site plan review or master planned development application.

Response: The subject property is not zoned C-1; this criterion is not applicable.

d. Single-family dwellings lawfully existing as of the date of adoption of this chapter may continue as permitted uses; and in the event of involuntary damage or destruction due to fire or other event beyond the owner's control, such single-family use may be rebuilt and reestablished pursuant to HMC 18.45.030 and applicable building codes.

Response: The subject property does not contain an existing single-family dwelling; this criterion is not applicable.

e. New residential uses in the C-1, M-1, M-2, and PUZ zones shall consist of not more than two dwelling units per parcel, each dwelling unit not to exceed 2,500 square feet, and off-street parking provided for at least three vehicles, except for the historical district overlay.

Response: The new dwelling is proposed in the M-1 zone and, in compliance with Subsection (e) above, will establish one dwelling unit for the parcel that will not exceed 2,500 square feet and will have sufficient off-street parking behind the building to accommodate the use.

f. New residential uses in the C-1, M-1, and M-2 zones shall not exceed a lot/parcel coverage ratio of 40 percent.

Response: The proposed dwelling in the M-1 zoned portion of the site will be very small; given that the subject property is very large, the 40% threshold for lot coverage will not be exceeded.

2. Please address the occupancy requirements for this site plan/variance request.

Response: Occupancy requirements for the caretaker unit will be addressed at time of building permit. Other occupancy requirements can be made conditions of approval. Other uses are consistent with the M zoning district. If the City requires something more prior to final staff report the Applicant will respond accordingly.

3. Please provide us with a code summary for the interior of the building. It's likely that you will need fire separation or sprinklers in the interior of the industrial warehouse due to the presence of a residential dwelling, unless you provide us with the code allowance that shows that it doesn't require this treatment.

Response: Details on code compliance with the building code can be addressed at time of building permit and be made conditions of approval. If City staff requires additional information prior to final staff report the applicant will respond accordingly.

4. What kind of storage is proposed for the M-2 zoned portion of property located in the southwest corner?

Response: This area is for overflow RV storage as well as storage related to the owners businesses in the front buildings.

5. The site plan has a walkway title and arrow that looks like it's fallen to the south. Is there a walkway, and if so, where is it located. All pedestrian areas, including sidewalks, internal pathways, walkways, pathway connections to adjacent properties, and any bicycle lanes or trails should be shown on the site plan.

Response: There will only be a walkway from the handicapped parking space to the building entrance and maybe a 3-foot walk around the south end of the front building to an man gate that will be accessible only to the owner.

6. Please indicate the location, type and height of any outdoor lighting.

Response: Outdoor lighting will be downfacing on the site of the buildings (see attached). Any future lighting within the storage area will comply with City lighting standards.

7. Please provide us with a descriptor of the building materials, colors, and type. (If this matches the existing accessory structure, please provide us with a picture of the structure, and verify if the same materials will be used.)

Response: See attached photos of building. Any changes in colors will be subject to City approval, if required.

ORRIN LEHR/ SHANNON- GOODPASTURE LEHR

EXISTING CONDITIONS

Date Prepared: JUNE 02, 2023

SITE ADDRESS:
1070 S 6TH ST
HARRISBURG, OR 97446

OWNER:
ORRIN LEHR
893 SMITH ST
HARRISBURG, OR 97446

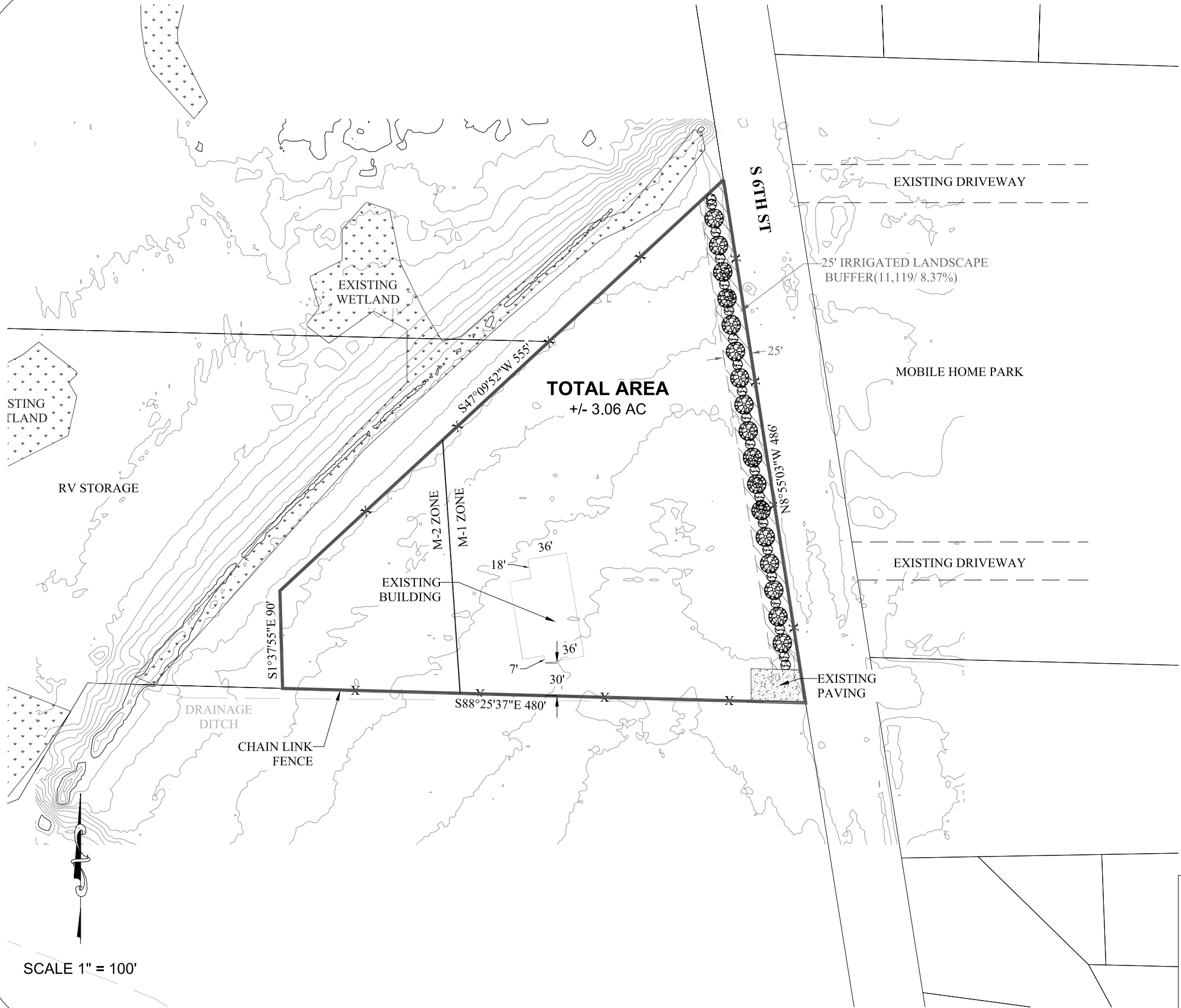
SHANNON- GOODPASTURE LEHR
893 SMITH ST
HARRISBURG, OR 97446

VINCENT FERRIS
893 SMITH ST
HARRISBURG, OR 97446

APPLICANT:
VINCENT FERRIS
893 SMITH ST
HARRISBURG, OR 97446

OWNER/APPLICANT REPRESENTATIVE:
METRO PLANNING, INC
846 A STREET
SPRINGFIELD, OREGON 97477
PH: 541-302-9830

ZONING:
M-1 (LIMITED INDUSTRIAL)
M-2 (GENERAL INDUSTRIAL)



ASSESSORS MAP: 15-04-16 TAX LOT: 00213

Prepared By: GTX



METRO PLANNING, INC
846 A STREET
SPRINGFIELD, OR. 97477
541-302-9830
JOB NO. 22-086



ORRIN LEHR/ SHANNON- GOODPASTURE LEHR

SITE PLAN

Date Prepared: JUNE 02, 2023

SITE ADDRESS:
1070 S 6TH ST
HARRISBURG, OR 97446

OWNER:
ORRIN LEHR
893 SMITH ST
HARRISBURG, OR 97446

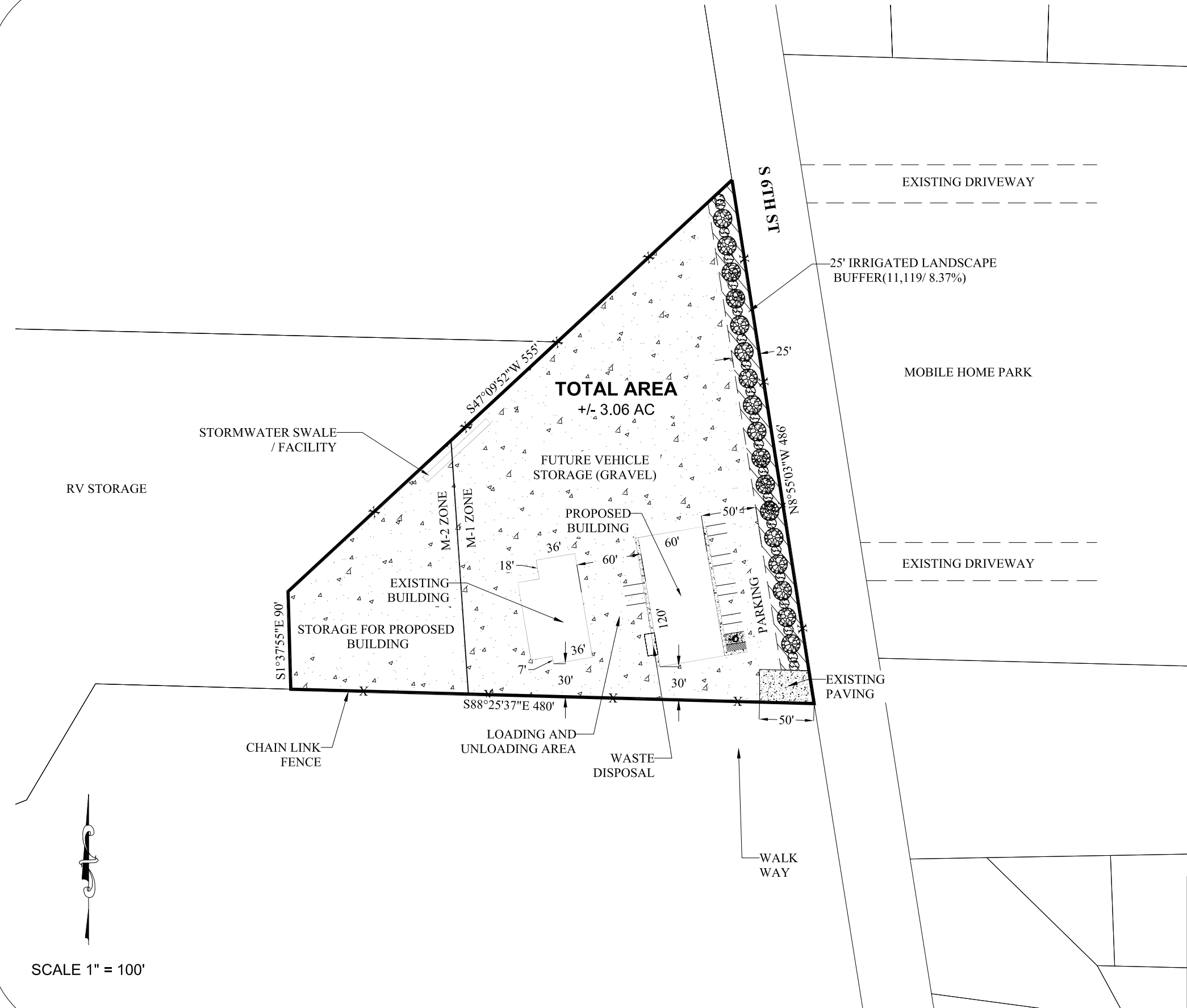
SHANNON- GOODPASTURE LEHR
893 SMITH ST
HARRISBURG, OR 97446

VINCENT FERRIS
893 SMITH ST
HARRISBURG, OR 97446

APPLICANT:
VINCENT FERRIS
893 SMITH ST
HARRISBURG, OR 97446

OWNER/APPLICANT REPRESENTATIVE:
METRO PLANNING, INC
846 A STREET
SPRINGFIELD, OREGON 97477
PH: 541-302-9830

ZONING:
M-1 (LIMITED INDUSTRIAL)
M-2 (GENERAL INDUSTRIAL)



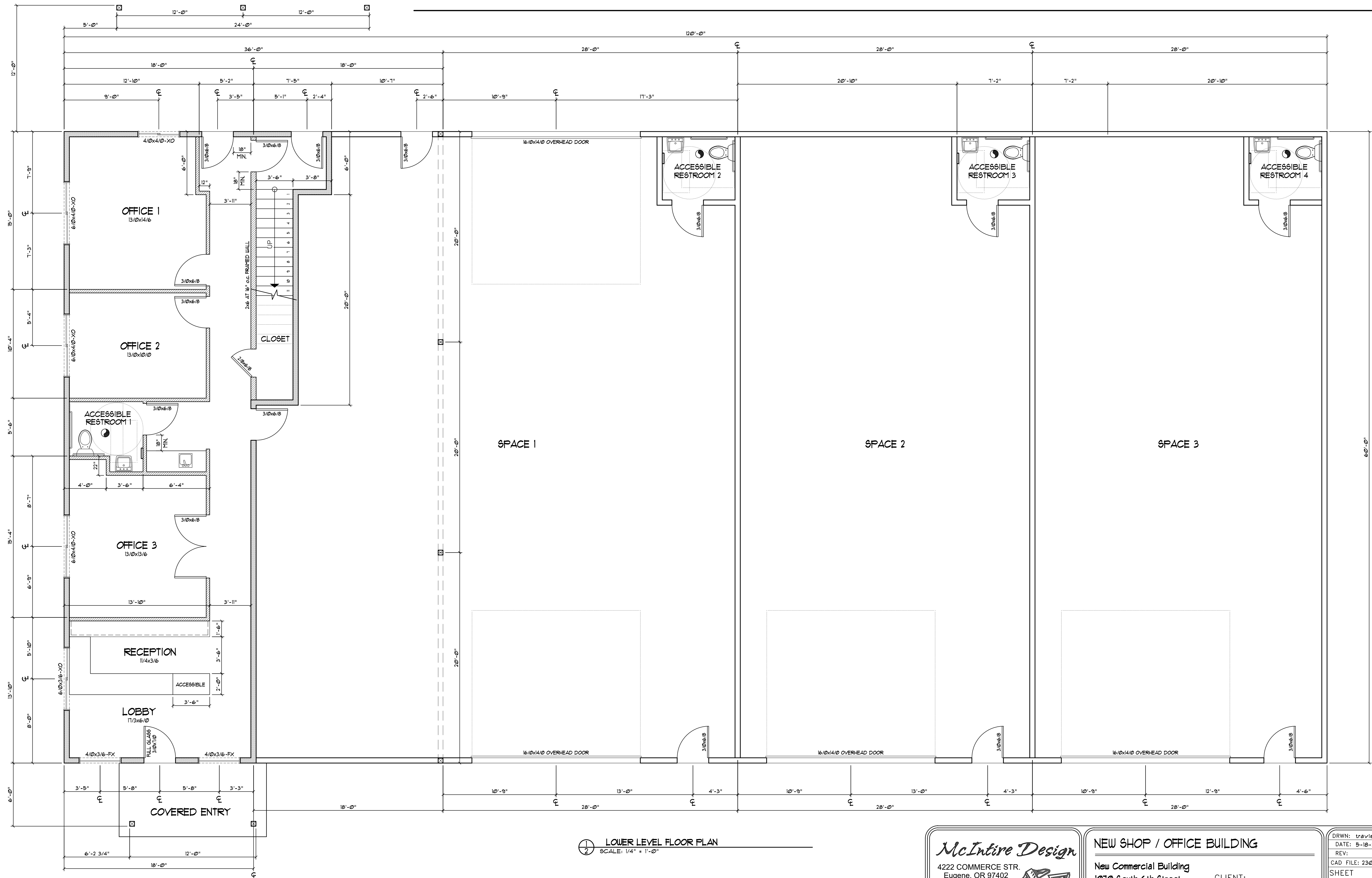
SCALE 1" = 100'

ASSESSORS MAP: 15-04-16 TAX LOT: 00213

Revised By: GTX



METRO PLANNING, INC
846 A STREET
SPRINGFIELD, OR. 97477
541-302-9830
JOB NO. 22-086

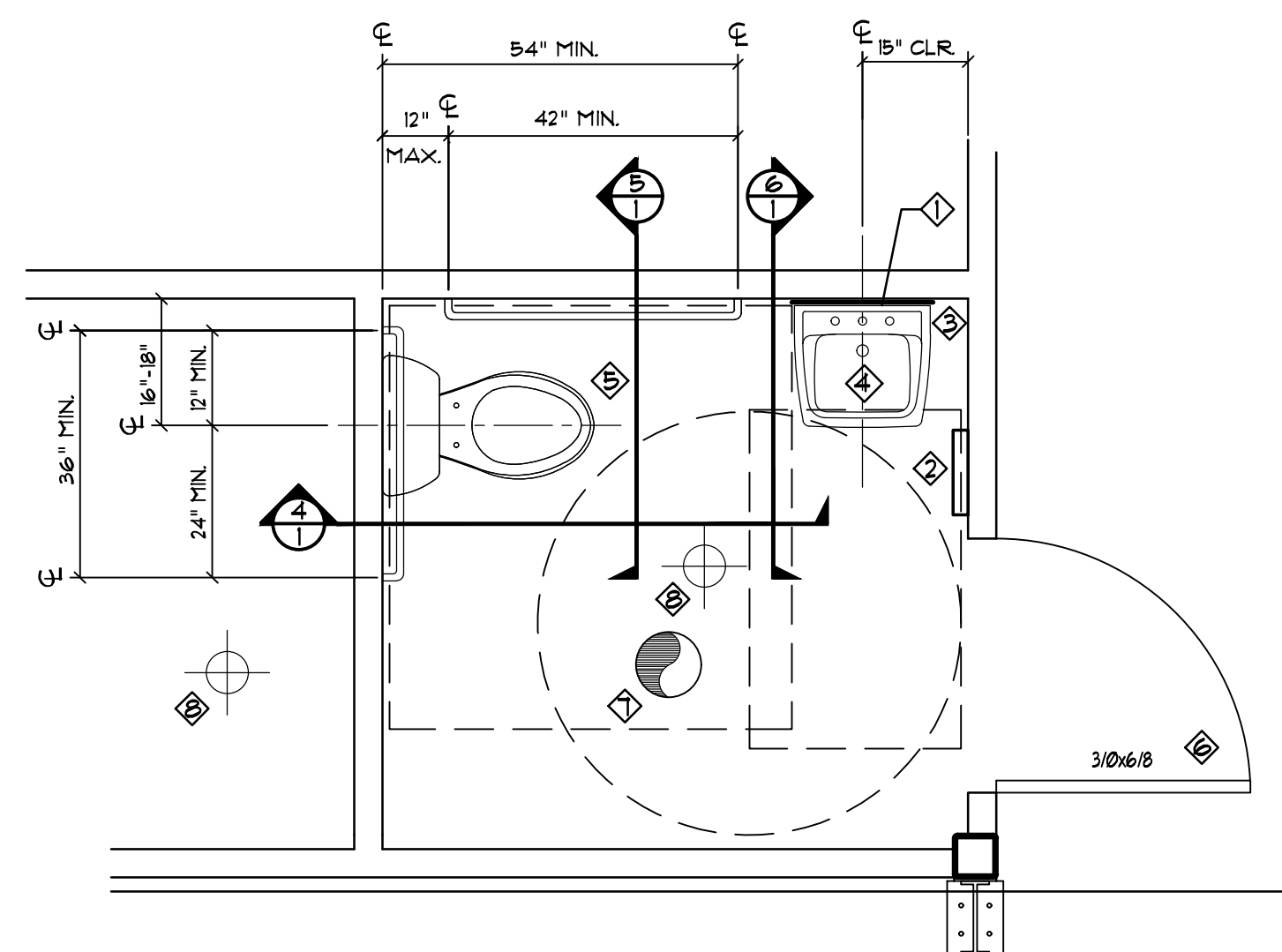
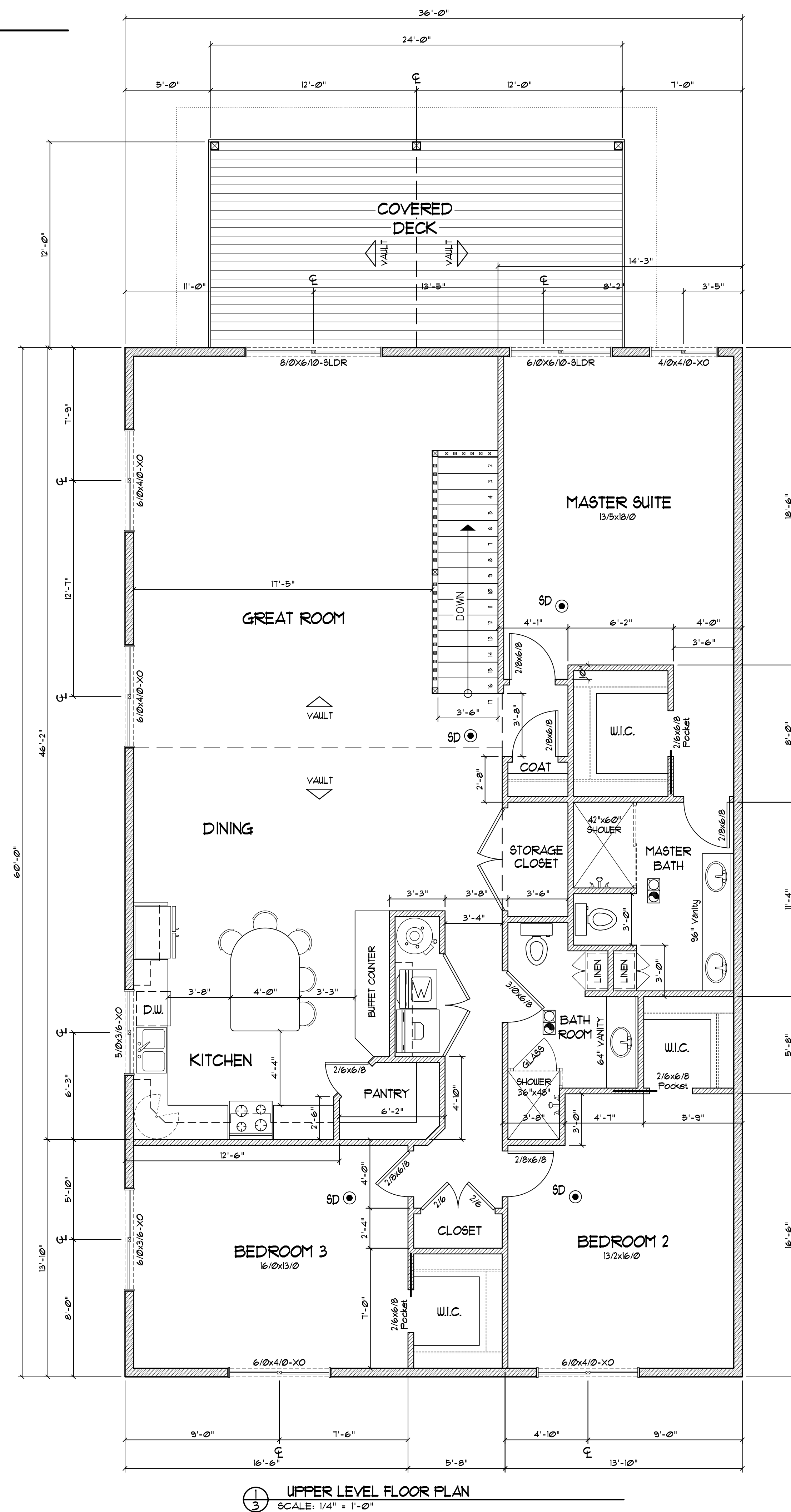


1
2 LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

McIntire Design
4222 COMMERCE STR.
Eugene, OR 97402
SUITE - 2K
(541) 284-2126
Cell: (541) 517-4304
mcintiredesign@gmail.com

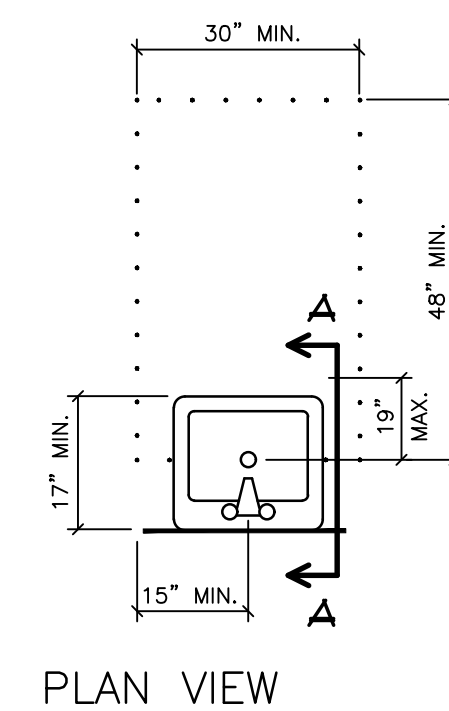
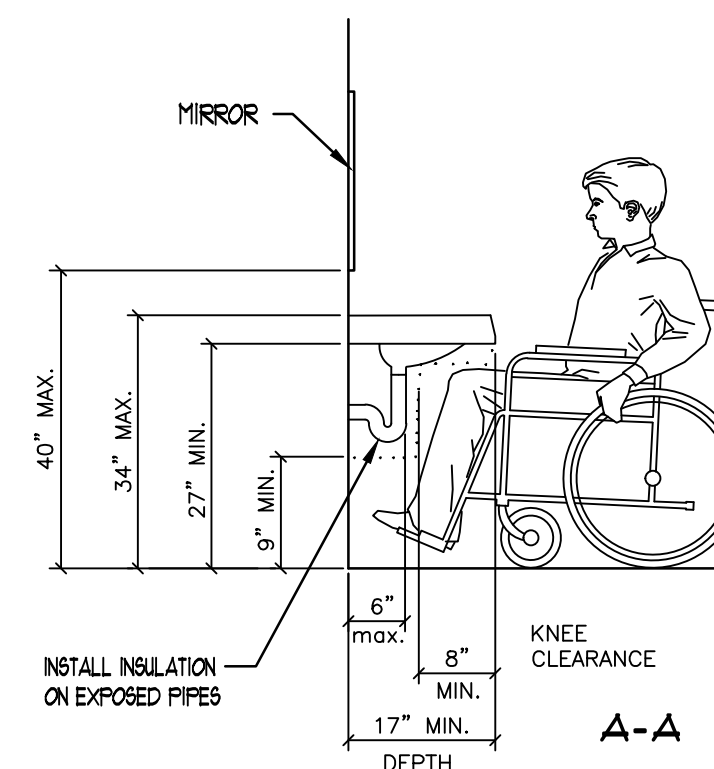
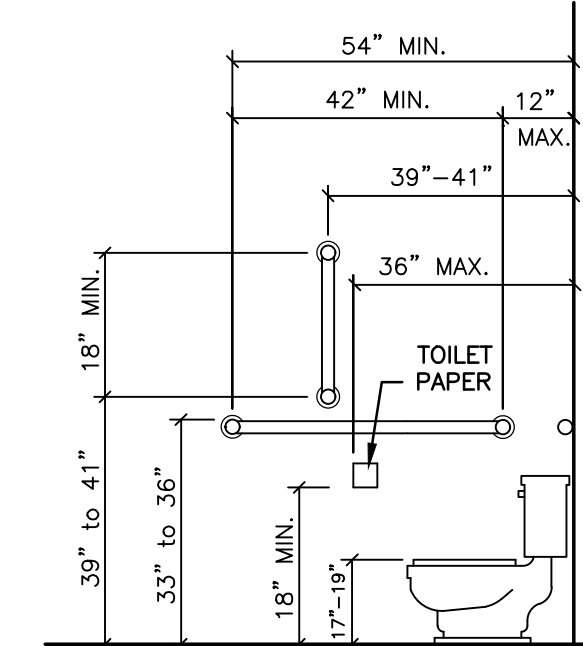
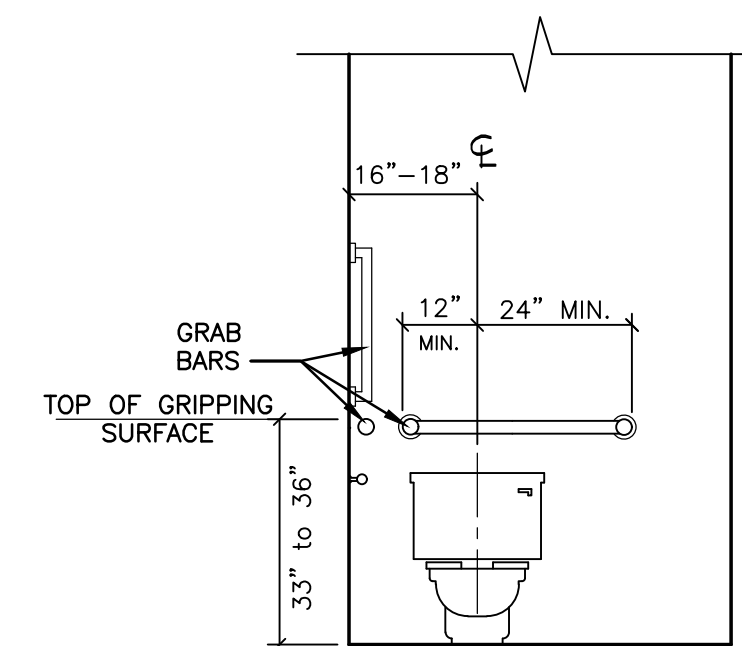
NEW SHOP / OFFICE BUILDING
New Commercial Building
1070 South 6th Street
HARRISBURG OREGON
CLIENT:
VINCENT FARRIS CONST.
893 SMITH STREET
HARRISBURG, OR 97446
(541) 212-1434

DRWN: travis
DATE: 5-10-23
REV:
CAD FILE: 23020
SHEET
2
OF X SHEETS



REST ROOM NOTES:

- ◆ PROVIDE MIRROR NOT MORE THAN 40" ABOVE FINISHED FLOOR
- ◆ PROVIDE PAPER TOWEL DISPENSER AT NO MORE THAN 34" ABOVE FINISHED FLOOR
- ◆ PROVIDE ADA ACCESSIBLE SOAP DISPENSER
- ◆ PROVIDE ACCESSIBLE LAVATORY, SEE SECTION 4/A1
- ◆ PROVIDE ACCESSIBLE TOILET, SEE SECTIONS 2/A1 AND 3/A1 FOR TOILET AND GRAB BAR DETAILS
- ◆ PROVIDE PUSH PLATE AND PULL HANDLE DOOR HARDWARE. INSTALL CLOSER ON DOOR.
- ◆ PROVIDE OPTIONAL ADA ACCESSIBLE URINAL, SEE DETAIL 5/A1.
- ◆ PROVIDE ADA ACCESSIBLE SHOWER, SEE DETAIL 6/A1 AND 7/A1. INSTALL FIBER FAB MODEL 384 (ANSI) ITI ADA COMPLIANT SHOWER STALL. VERIFY WALL FRAMING DIMENSIONS WITH MANUFACTURER.
- VINYL WANSCOT OR FORMICA WALL COVERING WITHIN 48" OF WATERCLOSET (BACK AND SIDE WALLS)
- USE METAL BRIDGING IF VINYL WANSCOT INSTALLED ON WALLS
- INSTALL VINYL OR EPOXY PAINT FLOOR FINISH
- TOILET PAPER DISPENSER BRADLEY MODEL No. 5105 OR EQUAL
- GRAB BARS BRADLEY MODEL No. 8200 OR EQUAL
- THE MAXIMUM USE FOR FIXTURES IS:
1/6 gpf TOILETS
25 gpm INTERIOR FAUCETS
- ALL FIXTURES, COMPONENTS, AND FLOOR CLEAR SPACES IN RESTROOMS TO COMPLY WITH ICC A117-2009 CHAPTER 6.



McIntire Design
4222 COMMERCE STR.
Eugene, OR 97402
SUITE - 2K
(541) 284-2126
Cell: (541) 517-4304
mcintiredesign@gmail.com

NEW SHOP / OFFICE BUILDING

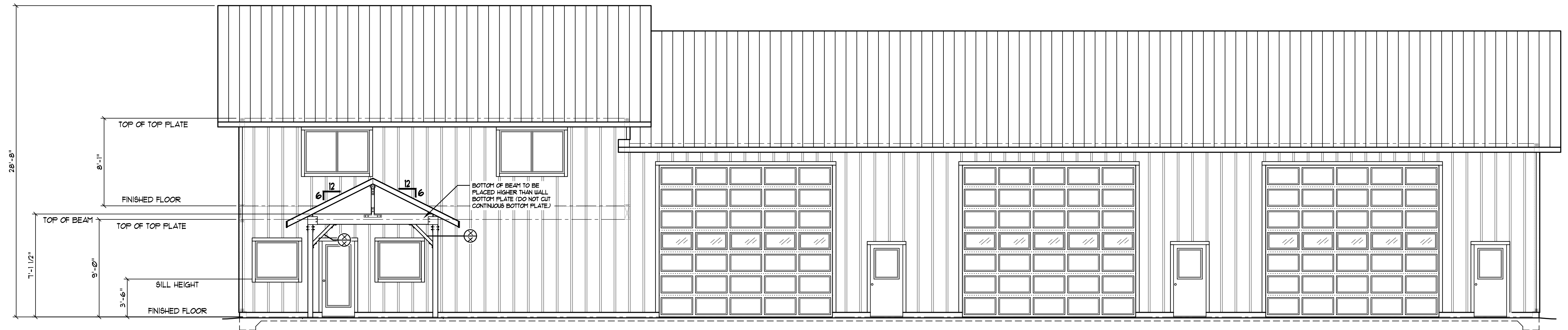
New Commercial Building
1070 South 6th Street
HARRISBURG OREGON

CLIENT:

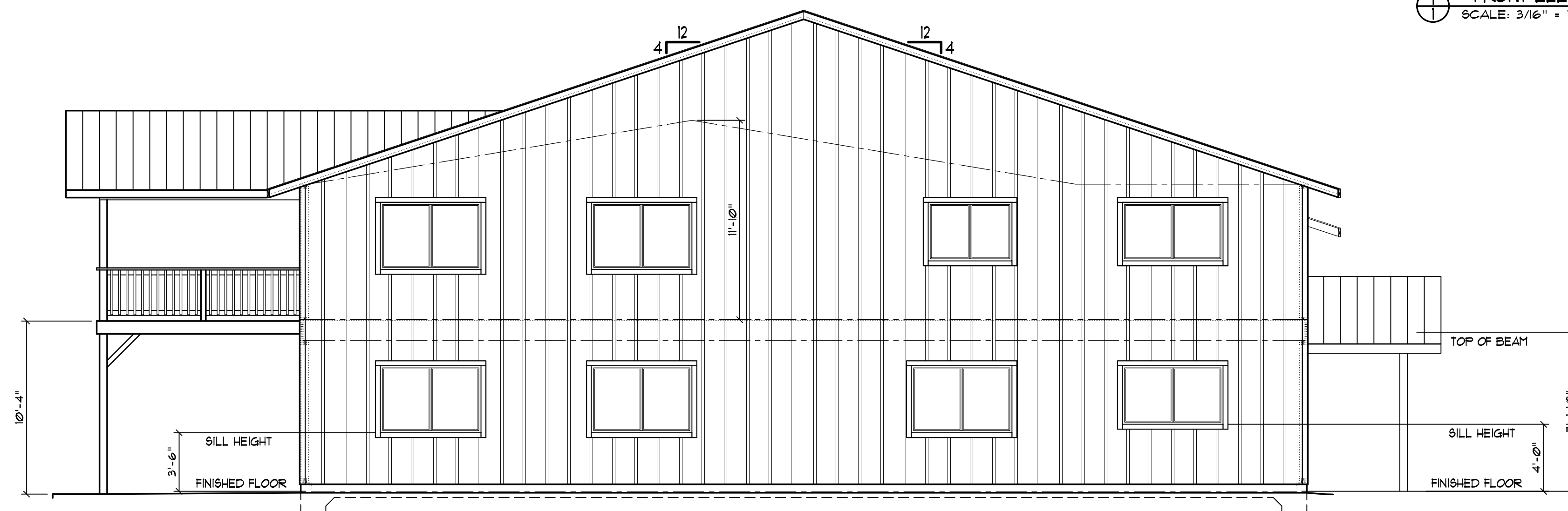
VINCENT FARRIS CONST.
893 SMITH STREET
HARRISBURG, OR 97446
(541) 212-1434

DRWN: travis
DATE: 5-18-23
REV:
CAD FILE: 230208
SHEET

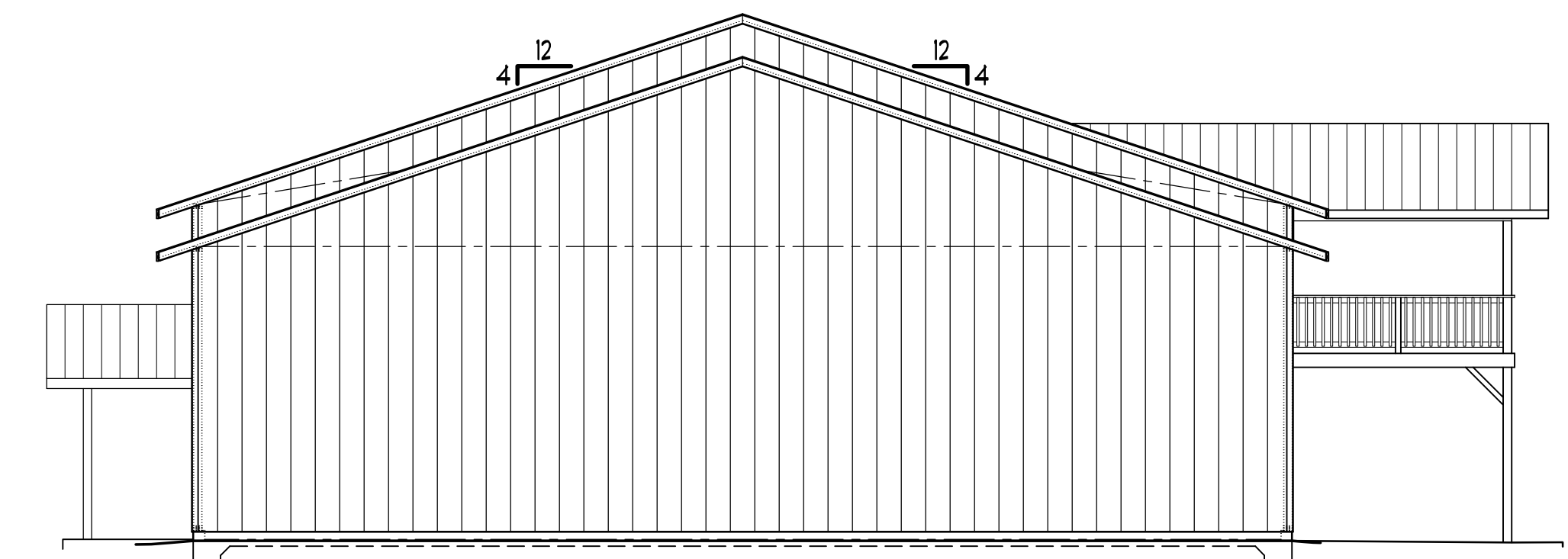
3
OF X SHEETS



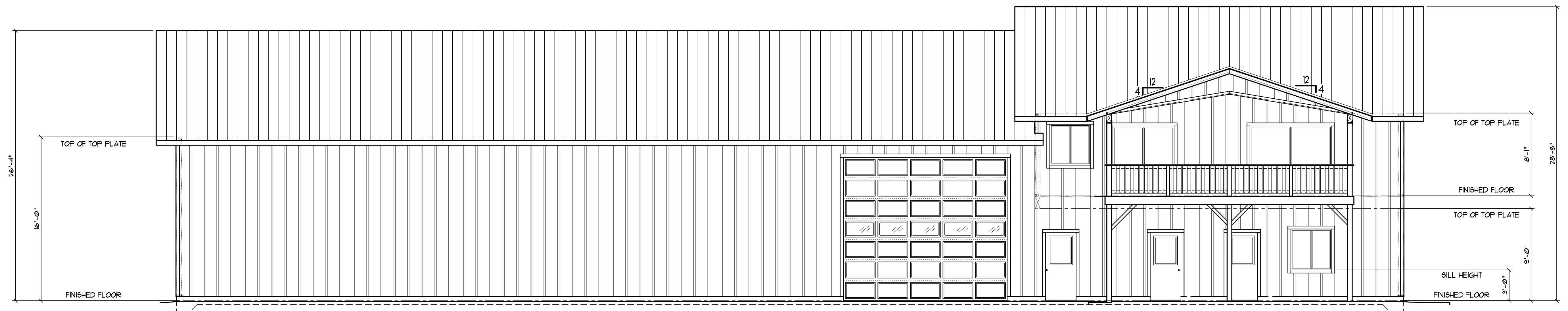
⊕ FRONT ELEVATION
SCALE: 3/16" = 1'-0"



⊕ LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



⊕ RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



⊕ BACK ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR SPECIFICATIONS AND NOTES:

- WINDOW AND DOOR FLASHING: ALL EXTERIOR UNPROTECTED DOORS AND WINDOWS WITH TRIM SURROUNDS TO HAVE "Z" METAL FLASHING ABOVE.
- ALL DIMENSIONS ARE TO BE FACE OF FRAMING UNLESS NOTED OTHERWISE, CONTRACTOR TO VERIFY ALL DIMENSIONS.
- ALL EXPOSED JOINTS AND GAPS TO BE FILLED WITH HIGH GRADE SILICONE LATEX CAULKING OR AS RECOMMENDED BY MATERIAL MANUFACTURER.
- OTHER: CONTRACTORS TO CONSULT WITH OWNER FOR FULL EXTERIOR TRIM DETAILS AND MATERIALS.
- WINDOWS: TO BE U-035, VINYL CLADDED, LOW-E.
- THE TYPE OF EXTERIOR FINISHES, THE INSTALLATION AND THE WATERPROOFING DETAILS ARE ALL TO BE THE FULL RESPONSIBILITY OF THE OWNER AND BUILDER. THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR THE INTEGRITY OF THE BUILDING ENVELOPE.

THE TYPE OF EXTERIOR FINISH, THE INSTALLATION AND THE WATERPROOFING DETAILS ARE ALL TO BE THE FULL RESPONSIBILITY OF THE OWNER/BUILDER. THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR THE INTEGRITY OF THE BLDG ENVELOPE.

THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE CORRECT INSTALLATION OF ALL EXTERIOR FINISHES AND WEATHERPROOFING.

McIntire Design

4222 COMMERCE STR.
Eugene, OR 97402
SUITE - 2K
(541) 284-2126
Cell: (541) 517-4304
mcintiredesign@gmail.com

NEW SHOP / OFFICE BUILDING

New Commercial Building
1070 South 6th Street
HARRISBURG OREGON

CLIENT:

VINCENT FARRIS CONST.
833 5TH STREET
HARRISBURG, OR 97446
(541) 212-1434

DRWN: travis
DATE: 5-18-23
REV:
CAD FILE: 230228
SHEET

1
OF X SHEETS

GRADING & DRAINAGE PLAN FOR VINCENT FERRIS CONSTRUCTION SE 1/4 SEC. 16, T 15 S. R 4 W. W.M. MAP NO. 15S04W16D, TAX LOT 213 HARRISBURG, LINN COUNTY, OREGON

GENERAL NOTES

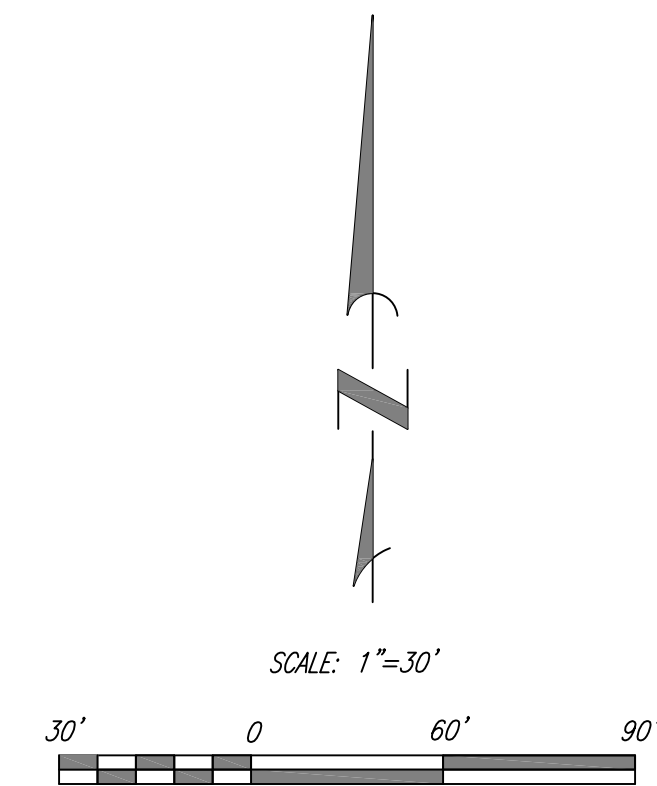
- PROPERTY LINES SHOWN ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD.
- ELEVATIONS BASED ON GPS DERIVED DATA USING GEOID 12A (NAVD88).
- THIS MAP SHALL NOT BE CONSIDERED A BOUNDARY SURVEY.
- CONTRACTOR IS RESPONSIBLE TO CALL FOR UTILITY LOCATES 48 HOURS BEFORE ANY DIGGING. FOR UTILITY LOCATES CALL 1-800-332-2344.

GRADING LEGEND

AC	ASPHALT GRADE
BW	BACK OF WALK
CB	CATCH BASIN GRADE
CONC	CONCRETE
EX	EXISTING
FFE	FINISH FLOOR ELEVATION
FL	FLOWLINE
FG	FINISH GRADE
NG	NATURAL GROUND
TOB	TOP OF BANK
TC	TOP OF CURB

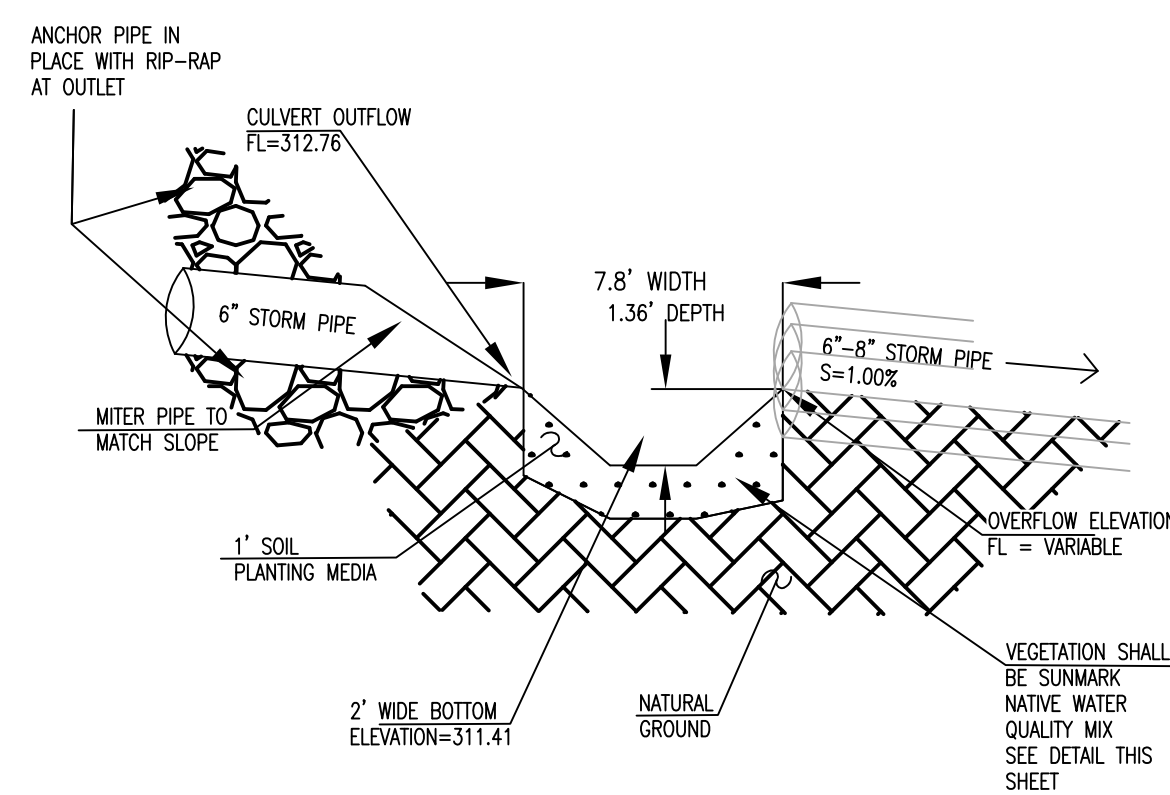
STORM CONSTRUCTION NOTES

446. CONST VEGETATED FLOW SPREADER PER DETAIL ON THIS SHEET.
476. CONST 4" STORM DRAIN PIPE, ABS WITH SOLVENT WELDED JOINTS.
477. CONST 4"x4"x6" WYE, PVC D3034 WITH RUBBER GASKET JOINTS
478. CONST 6" STORM DRAIN PIPE, PVC D3034 WITH RUBBER GASKET JOINTS.
479. CONST 8" STORM DRAIN PIPE, PVC D3034 WITH RUBBER GASKET JOINTS.

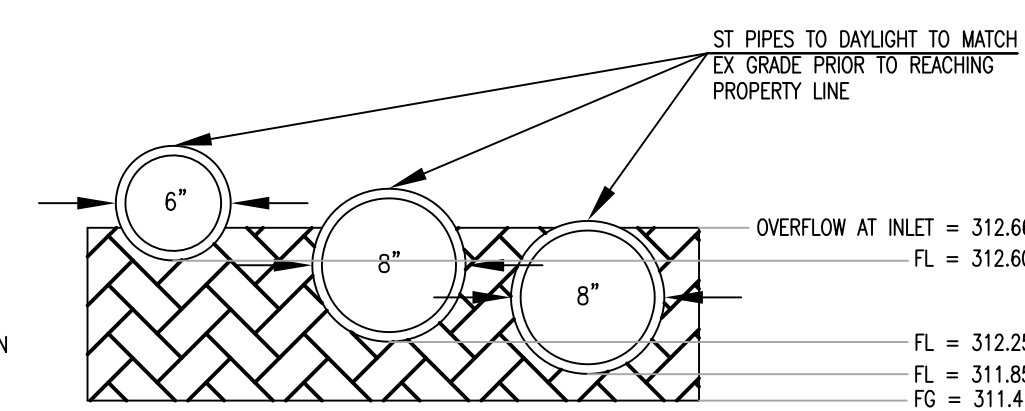


LEGEND

---	EXISTING BOUNDARY
---	ADJACENT PROPERTIES
==	EXISTING CURB LINE
-X-X-	EXISTING FENCE
8"W	EXISTING WATER MAIN
W	EXISTING WATER METER
⊗	EXISTING WATER VALVE
⊙	EXISTING FIRE HYDRANT
WW 8"WW	EXISTING WASTEWATER SYSTEM
C	EXISTING CLEANOUT
ST 24"SD	EXISTING STORM DRAINAGE SYSTEM
▢	EXISTING CATCH BASIN
⊠	EXISTING CURB INLET
⊙	EXISTING STREET LIGHT
UGE	EXISTING UNDERGROUND ELECTRIC
▲	EXISTING TRANSFORMER
P	EXISTING TELEPHONE PEDESTAL
PHN	EXISTING TELEPHONE LINE
2"G	EXISTING GAS MAIN
⊕	EXISTING GAS VALVE
W	PROPOSED WATER METER
8"WW	PROPOSED WASTEWATER LINE
WW	PROPOSED WASTEWATER MANHOLE
⊙	PROPOSED WASTEWATER CLEANOUT
12"ST	PROPOSED STORM LINE
⊙	PROPOSED STORM MANHOLE
⊙	PROPOSED STORM CLEANOUT
⊠	PROPOSED CURB INLET
➔	DRAINAGE ARROW
▨	PROPOSED GRAVEL (FUTURE STORAGE AREA)
▨	PROPOSED GRAVEL



VEGETATED FLOW SPREADER
NTS



VEGETATED FLOW SPREADER (PROFILE)
NTS

A & O Engineering L.L.C.

CONSULTING ENGINEERS & SITE PLANNING

380 Q ST. SUITE 200
SPRINGFIELD, OR 97477
PHONE: (541) 302-9790
aao@aoengineering.biz



GRADING & DRAINAGE PLAN
FOR
VINCENT FERRIS CONSTRUCTION
HARRISBURG LINN COUNTY Oregon

PROJECT No. 5331
DRAWN BY: KRC
REVIEWED BY: SDM
PROJECT DATES:
07-27-2022

SHEET
C-1.0

EROSION AND SEDIMENT CONTROL PLAN
FOR
VINCENT FERRIS CONSTRUCTION
1070 S. 6TH STREET
SE 1/4 SEC. 16, T 15 S. R 4 W. W.M.
MAP NO. 15S04W16D, TAX LOT 213
HARRISBURG, LINN COUNTY, OREGON

OWNER / DEVELOPER/
VINCENT FERRIS CONSTRUCTION
893 SMITH STREET
HARRISBURG, OR 97446
(541) 272-1434

DESIGN ENGINEER
A & O ENGINEERING L.L.C.
380 Q STREET STE. 200
SPRINGFIELD, OREGON 97477
PHONE: (541) 302-9790

CESCL:
GARRETT CASTLE
A & O ENGINEERING L.L.C.
380 Q STREET STE. 200
SPRINGFIELD, OREGON 97477
PHONE: (541) 520-6984
EMAIL: GARRETTCASTLE@AO-ENGR.COM
QUALIFICATION: CERTIFIED AS CESCL
CESCL ID ECO-3-8311801

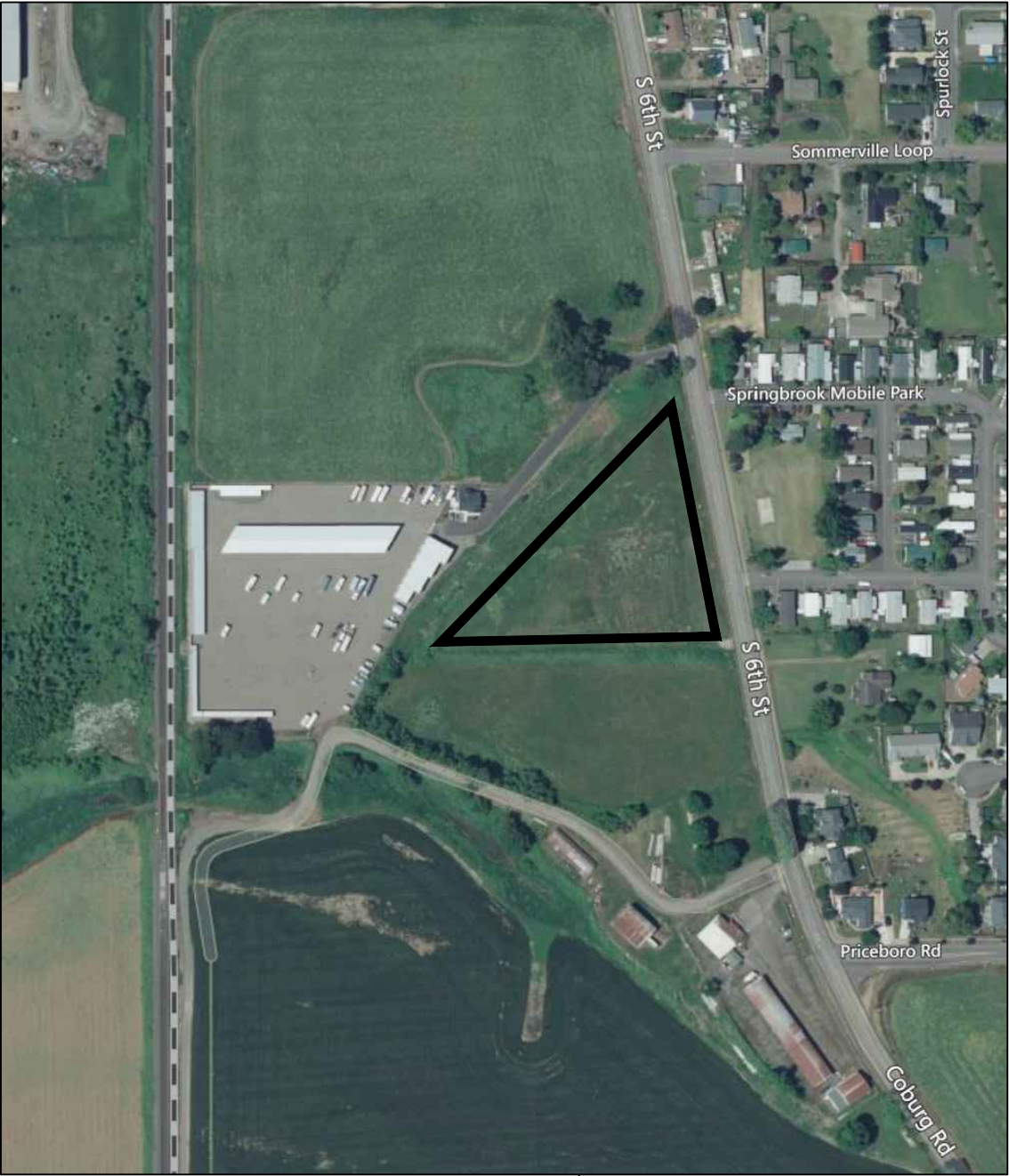
FRANCHISE UTILITY PROVIDERS
ELECTRIC – PACIFIC POWER
WATER – CITY OF HARRISBURG
GAS – NW NATURAL
SEWER – CITY OF HARRISBURG
CABLE/PHONE – COMCAST

ESCP PREPARER:
SCOTT MORRIS, P.E.
A & O ENGINEERING L.L.C.
380 Q STREET STE. 200
SPRINGFIELD, OREGON 97477
PHONE: (541) 302-9790

SITE CONTRACTOR
VINCENT FERRIS CONSTRUCTION
SAME AS OWNER

BMP INSTALLER/MAINTAINER:
VINCENT FERRIS CONSTRUCTION
SAME AS OWNER

RAIN GAUGE:
BETHEL (KOREUGEN327) WEATHER STATION ELEV 387 FT, 44.08 °N, 123.18 °W
HYPERLINK: <https://www.wunderground.com/weather/us/or/eugene>



VICINITY MAP
NTS

SITE INFORMATION:
TYPE OF DEVELOPMENT: COMMERCIAL BUILDING WITH PARKING AREA, WASTEWATER, STORM DRAINAGE, & WATER SYSTEMS.

1. CONSTRUCTION ACTIVITY WILL CONSIST OF:
-GRAVEL PARKING AREA
-PRIVATE WASTEWATER AND STORM DRAINAGE SYSTEMS.
-COMMERCIAL BUILDING CONSTRUCTION

2. PROJECT TIMELINE:
BEGINNING DATE: MARCH 2022
COMPLETION DATE: SEPTEMBER 2022

3. PROJECT SITE AREAS:
TOTAL AREA = 133,002 SF – 3.05 ACRES
DISTURBED AREA = 133,002 SF
PERCENT OF SITE DISTURBED = 100%

4. ONSITE SOIL TYPES PER WEB SOIL SURVEY:
AMITY SILT LOAM – HSG C/D
DAYTON SILT LOAM – HSG D

5. SEED MIX FOR TEMPORARY SITE COVER:
SUNMARK TURFWORX RECOVERY BLEND: 45% ANNUAL RYEGRASS, 25% PERENNIAL RYEGRASS, 30% CREEPING RED FESCUE. SEE SHEET EC-7.0

6. SEED MIX FOR FINAL STABILIZATION OF SITE COVER:
SUNMARK TURFWORX RECOVERY BLEND: 45% ANNUAL RYEGRASS, 25% PERENNIAL RYEGRASS, 30% CREEPING RED FESCUE. SEE SHEET EC-7.0

7. CUT AND FILL DATA:
-CUT: 300 CU. YD.
-FILL (1.20 FACTOR): 300 CU. YD.
-NET ADJUSTED: 00 CU. YD. (BALANCED)

8. ELEVATIONS BASED ON GPS DERIVED DATA USING GEOID 12A (NAVD88)

BUSINESS DAYS/HOURS:
MONDAY 7:00-6:00
TUESDAY 7:00-6:00
WEDNESDAY 7:00-6:00
THURSDAY 7:00-6:00
FRIDAY 7:00-6:00
SATURDAY 7:00-6:00
SUNDAY –NO WORK–

SHEET INDEX
EC-1.0 ESCP COVER SHEET

EC-2.0 EXISTING CONDITIONS

EC-3.0 ESCP CLEARING AND GRADING PHASE

EC-4.0 ESCP UTILITY PHASE

EC-5.0 FINAL STABILIZATION PHASE

EC-6.0 ESCP NOTES AND DETAILS

1. Include a list of all personnel (by name and position) that are responsible for the design, installation and maintenance of stormwater control measures (e.g. ESCP developer, BMP installer (see Section 4.10), as well as their individual responsibilities. (Section 4.4.c.ii)
2. Visual monitoring inspection reports must be made in accordance with DEQ 1200-C permit requirements. (Section 6.5)
3. Inspection logs must be kept in accordance with DEQ's 1200-C permit requirements. (Section 6.5.q)
4. Retain a copy of the ESCP and all revisions on site and make it available on request to DEQ, Agent, or the local municipality. (Section 4.7)
5. The permit registrant must implement the ESCP. Failure to implement any of the control measures or practices described in the ESCP is a violation of the permit. (Sections 4 and 4.11)
6. The ESCP must be accurate and reflect site conditions. (Section 4.8)
7. Submission of all ESCP revisions is not required. Submittal of the ESCP revisions is only under specific conditions. Submit all necessary revision to DEQ or Agent within 10 days. (Section 4.9)
8. Sequence clearing and grading to the maximum extent practical to prevent exposed inactive areas from becoming a source of erosion. (Section 2.2.2)
9. Create smooth surfaces between soil surface and erosion and sediment controls to prevent stormwater from bypassing controls and ponding. (section 2.2.3)
10. Identify, mark, and protect (by construction fencing or other means) critical riparian areas and vegetation including important trees and associated rooting zones, and vegetation areas to be preserved. Identify vegetative buffer zones between the site and sensitive areas (e.g., wetlands), and other areas to be preserved, especially in perimeter areas. (Section 2.2.1)
11. Preserve existing vegetation when practical and re-vegetate open areas. Re-vegetate open areas when practicable before and after grading or construction. Identify the type of vegetative seed mix used. (Section 2.2.5)
12. Maintain and delineate any existing natural buffer within the 50-feet of waters of the state. (Section 2.2.4)
13. Install perimeter sediment control, including storm drain inlet protection as well as all sediment basins, traps, and

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By: Blair Edwards
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- barriers prior to land disturbance. (Sections 2.1.3)
14. Control both peak flow rates and total stormwater volume, to minimize erosion at outlets and downstream channels and streambanks. (Sections 2.1.1, and 2.2.16)
 15. Control sediment as needed along the site perimeter and at all operational internal storm drain inlets at all times during construction, both internally and at the site boundary. (Sections 2.2.6 and 2.2.13)
 16. Establish concrete truck and other concrete equipment washout areas before beginning concrete work. (Section 2.2.14)
 17. Apply temporary and/or permanent soil stabilization measures immediately on all disturbed areas as grading progresses. Temporary or permanent stabilizations measures are not required for areas that are intended to be left unvegetated, such as dirt access roads or utility pole pads. (Sections 2.2.20 and 2.2.21)
 18. Establish material and waste storage areas, and other non-stormwater controls. (Section 2.3.7)
 19. Keep waste container lids closed when not in use and close lids at the end of the business day for those containers that are actively used throughout the day. For waste containers that do not have lids, provide either (1) cover (e.g., a tarp, plastic sheeting, temporary roof) to prevent exposure of wastes to precipitation, or (2) a similarly effective means designed to prevent the discharge of pollutants (e.g., secondary containment). (Section 2.3.7)
 20. Prevent tracking of sediment onto public or private roads using BMPs such as: construction entrance, graveled (or paved) exits and parking areas, gravel all unpaved roads located onsite, or use an exit tire wash. These BMPs must be in place prior to land-disturbing activities. (Section 2.2.7)
 21. When trucking saturated soils from the site, either use water-tight trucks or drain loads on site. (Section 2.2.7.f)
 22. Control prohibited discharges from leaving the construction site, i.e., concrete wash-out, wastewater from cleanout of stucco, paint and curing compounds. (Sections 1.5 and 2.3.9)
 23. Ensure that steep slope areas where construction activities are not occurring are not disturbed. (Section 2.2.10)
 24. Prevent soil compaction in areas where post-construction infiltration facilities are to be installed. (Section 2.2.12)
 25. Use BMPs to prevent or minimize stormwater exposure to pollutants from spills; vehicle and equipment fueling, maintenance, and storage; other cleaning and maintenance activities; and waste handling activities. These pollutants include fuel, hydraulic fluid, and other oils from vehicles and machinery, as well as debris, fertilizer, pesticides and herbicides, paints, solvents, curing compounds and adhesives from construction operations. (Sections 2.2.15 and 2.3)
 26. Provide plans for sedimentation basins that have been designed per Section 2.2.17 and stamped by an Oregon Professional Engineer. (See Section 2.2.17.a)
 27. If engineered soils are used on site, a sedimentation basin/impoundment must be installed. (See Sections 2.2.17 and 2.2.18)
 28. Provide a dewatering plan for accumulated water from precipitation and uncontaminated groundwater seepage due to shallow excavation activities. (See Section 2.4)
 29. Implement the following BMPs when applicable: written spill prevention and response procedures, employee training on spill prevention and proper disposal procedures, spill kits in all vehicles, regular maintenance schedule for vehicles and machinery, material delivery and storage controls, training and signage, and covered storage areas for waste and supplies. (Section 2.3)
 30. Use water, soil-binding agent or other dust control technique as needed to avoid wind-blown soil. (Section 2.2.9)
 31. The application rate of fertilizers used to reestablish vegetation must follow manufacturer's recommendations to minimize nutrient releases to surface waters. Exercise caution when using time-release fertilizers within any waterway riparian zone. (Section 2.3.5)
 32. If an active treatment system (for example, electro-coagulation, flocculation, filtration, etc.) for sediment or other pollutant removal is employed, submit an operation and maintenance plan (including system schematic, location of system, location of inlet, location of discharge, discharge dispersion device design, and a sampling plan and frequency) before operating the treatment system. Obtain Environmental Management Plan approval from DEQ before operating the treatment system. Operate and maintain the treatment system according to manufacturer's specifications. (Section 1.2.9)
 33. Temporarily stabilize soils at the end of the shift before holidays and weekends, if needed. The registrant is responsible for ensuring that soils are stable during rain events at all times of the year. (Section 2.2)

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34. As needed based on weather conditions, at the end of each workday soil stockpiles must be stabilized or covered, or other BMPs must be implemented to prevent discharges to surface waters or conveyance systems leading to surface waters. (Section 2.2.8)
35. Sediment fence: remove trapped sediment before it reaches one third of the above ground fence height and before fence removal. (Section 2.1.5.b)
36. Other sediment barriers (such as biobags): remove sediment before it reaches two inches depth above ground height and before BMP removal. (Section 2.1.5.c)
37. Catch basins: clean before retention capacity has been reduced by fifty percent. Sediment basins and sediment traps: remove trapped sediments before design capacity has been reduced by fifty percent and at completion of project. (Section 2.1.5.d)
38. Within 24 hours, significant sediment that has left the construction site, must be remediated. Investigate the cause of the sediment release and implement steps to prevent a recurrence of the discharge within the same 24 hours. Any in-stream clean-up of sediment shall be performed according to the Oregon Department of State Lands required timeframe. (Section 2.2.19.a)
39. The intentional washing of sediment into storm sewers or drainage ways must not occur. Vacuuming or dry sweeping and material pickup must be used to cleanup released sediments. (Section 2.2.19)
40. Document any portion(s) of the site where land disturbing activities have permanently ceased or will be temporarily inactive for 14 or more calendar days. (Section 6.5.f.)
41. Provide temporary stabilization for that portion of the site where construction activities cease for 14 days or more with a covering of blown straw and a tackifier, loose straw, or an adequate covering of compost mulch until work resumes on that portion of the site. (Section 2.2.20)
42. Do not remove temporary sediment control practices until permanent vegetation or other cover of exposed areas is established. Once construction is complete and the site is stabilized, all temporary erosion controls and retained soils must be removed and disposed of properly, unless needed for long term use following termination of permit.

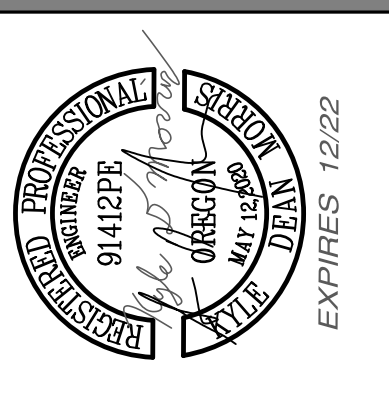
Site Condition	Minimum Frequency
1. Active period	On initial date that land disturbance activities commence. Within 24 hours of any storm event, including runoff from snow melt, that results in discharge from the site. At least once every 14 days, regardless of whether stormwater runoff is occurring.
2. Inactive periods greater than fourteen (14) consecutive calendar days	The Inspector may reduce the frequency of inspections in any area of the site where the stabilization steps in Section 2.2.20 have been completed to twice per month for the first month; no less than 14 calendar days apart, then once per month.
3. Periods during which the site is inaccessible due to inclement weather	If safe, accessible and practical, inspections must occur daily at a relevant discharge point or downstream location of the receiving waterbody.
4. Periods during which construction activities are suspended and runoff is unlikely due to frozen conditions.	Visual monitoring inspections may be temporarily suspended. Immediately resume monitoring upon thawing, or when weather conditions make discharges likely.
5. Periods during which construction activities are conducted and runoff is unlikely during frozen conditions.	Visual monitoring inspections may be reduced to once a month. Immediately resume monitoring upon thawing, or when weather conditions make discharges likely.

1. Hold a pre-construction meeting of project construction personnel that includes the inspector to discuss erosion and sediment control measures and construction limits. (Schedule A.8.c.i.(3))
2. All inspections must be made in accordance with DEQ 1200-C permit requirements. (Schedule A.12.b and Schedule B.1)
3. Inspection logs must be kept in accordance with DEQ's 1200-C permit requirements. (Schedule B.1.e and B.2)
4. Retain a copy of the ESCP and all revisions on site and make it available on request to DEQ, Agent, or the local municipality. During inactive periods of greater than seven (7) consecutive calendar days, the above records must be retained by the permit registrant but do not need to be at the construction site. (Schedule B.2.c)
5. All permit registrants must implement the ESCP. Failure to implement any of the control measures or practices described in the ESCP is a violation of the permit. (Schedule A.8.a)
6. The ESCP must be accurate and reflect site conditions. (Schedule A.12.c.i)
7. Submission of all ESCP revisions is not required. Submittal of the ESCP revisions is only under specific conditions. Submit all necessary revision to DEQ or Agent within 10 days. (Schedule A.12.c.iv. and v)
8. Phase clearing and grading to the maximum extent practical to prevent exposed inactive areas from becoming a source of erosion. (Schedule A.7.a.ii)
9. Identify, mark, and protect (by construction fencing or other means) critical riparian areas and vegetation including important trees and associated rooting zones, and vegetation areas to be preserved. Identify vegetative buffer zones between the site and sensitive areas (e.g., wetlands), and other areas to be preserved, especially in perimeter areas. (Schedule A.8.c.i.(1) and (2))
10. Preserve existing vegetation when practical and re-vegetate open areas. Re-vegetate open areas when practicable before and after grading or construction. Identify the type of vegetative seed mix used. (Schedule A.7.a.v)
11. Maintain and delineate any existing natural buffer within the 50-feet of waters of the state. (Schedule A.7.b.i and (2)(b)(b))
12. Install perimeter sediment control, including storm drain inlet protection as well as all sediment basins, traps, and barriers prior to land disturbance. (Schedule A.8.c.i.(5))
13. Control both peak flow rates and total stormwater volume, to minimize erosion at outlets and downstream channels and streambanks. (Schedule A.7.c)
14. Control sediment as needed along the site perimeter and at all operational internal storm drain inlets at all times during construction, both internally and at the site boundary. (Schedule A.7.d.i)
15. Establish concrete truck and other concrete equipment washout areas before beginning concrete work. (Schedule A.8.c.i.(6))
16. Apply temporary and/or permanent soil stabilization measures immediately on all disturbed areas as grading progresses. Temporary or permanent stabilizations measures are not required for areas that are intended to be left unvegetated, such as dirt access roads or utility pole pads. (Schedule A.8.c.i.(7))
17. Establish material and waste storage areas, and other non-stormwater controls. (Schedule A.8.c.i.(7))
18. Prevent tracking of sediment onto public or private roads using BMPs such as: construction entrance, graveled (or paved) exits and parking areas, gravel all unpaved roads located onsite, or use an exit tire wash. These BMPs must be in place prior to land-disturbing activities. (Schedule A.7.d.ii and A.8.c.i.(4))
19. When trucking saturated soils from the site, either use water-tight trucks or drain loads on site. (Schedule A.7.d.ii.(5))
20. Control prohibited discharges from leaving the construction site, i.e., concrete wash-out, wastewater from cleanout of stucco, paint and curing compounds. (Schedule A.6)
21. Use BMPs to prevent or minimize stormwater exposure to pollutants from spills; vehicle and equipment fueling, maintenance, and storage; other cleaning and maintenance activities, and waste handling activities. These pollutants include fuel, hydraulic fluid, and other oils from vehicles and machinery, as well as debris, fertilizer, pesticides and herbicides, paints, solvents, curing compounds and adhesives from construction operations. (Schedule A.7.e.i.(2))
22. Implement the following BMPs when applicable: written spill prevention and response procedures, employee training on spill prevention and proper disposal procedures, spill kits in all vehicles, regular maintenance schedule for vehicles and machinery, material delivery and storage controls, training and signage, and covered storage areas for waste and supplies. (Schedule A.7.e.iii.)
23. Use water, soil-binding agent or other dust control technique as needed to avoid wind-blown soil. (Schedule A.7.a.iv)
24. The application rate of fertilizers used to reestablish vegetation must follow manufacturer's recommendations to minimize nutrient releases to surface waters. Exercise caution when using time-release fertilizers within any waterway riparian zone. (Schedule A.9.b.iii)
25. If an active treatment system (for example, electro-coagulation, flocculation, filtration, etc.) for sediment or other pollutant removal is employed, submit an operation and maintenance plan (including system schematic, location of system, location of inlet, location of discharge, discharge dispersion device design, and a sampling plan and frequency) before operating the treatment system. Obtain plan approval before operating the treatment system. Operate and maintain the treatment system according to manufacturer's specifications. (Schedule A.9.d)
26. Temporarily stabilize soils at the end of the shift before holidays and weekends, if needed. The registrant is responsible for ensuring that soils are stable during rain events at all times of the year. (Schedule A.7.b)
27. As needed based on weather conditions, at the end of each workday soil stockpiles must be stabilized or covered, or other BMPs must be implemented to prevent discharges to surface waters or conveyance systems leading to surface waters. (Schedule A.7.e.i.(2))
28. Construction activities must avoid or minimize excavation and bare ground activities during wet weather. (Schedule A.7.a.i)
29. Sediment fence: remove trapped sediment before it reaches one third of the above ground fence height and before fence removal. (Schedule A.9.c.i)
30. Other sediment barriers (such as biobags): remove sediment before it reaches two inches depth above ground height and before BMP removal. (Schedule A.9.c.i.)
31. Catch basins: clean before retention capacity has been reduced by fifty percent. Sediment basins and sediment traps: remove trapped sediments before design capacity has been reduced by fifty percent and at completion of project. (Schedule A.9.c.iii & iv)
32. Within 24 hours, significant sediment that has left the construction site, must be remediated. Investigate the cause of the sediment release and implement steps to prevent a recurrence of the discharge within the same 24 hours. Any in-stream clean-up of sediment shall be performed according to the Oregon Division of State Lands required timeframe. (Schedule A.9.b.i)
33. The intentional washing of sediment into storm sewers or drainage ways must not occur. Vacuuming or dry sweeping and material pickup must be used to cleanup released sediments. (Schedule A.9.b.ii)
34. The entire site must be temporarily stabilized using vegetation or a heavy mulch layer, temporary seeding, or other method should all construction activities cease for 30 days or more. (Schedule A.7.E.i)
35. Provide temporary stabilization for that portion of the site where construction activities cease for 14 days or more with a covering of blown straw and a tackifier, loose straw, or an adequate covering of compost mulch until work resumes on that portion of the site. (Schedule A.7.E.ii)
36. Do not remove temporary sediment control practices until permanent vegetation or other cover of exposed areas is established. Once construction is complete and the site is stabilized, all temporary erosion controls and retained soils must be removed and disposed of properly, unless doing so conflicts with local requirements. (Schedule A.8.c.iii.(1) and D.3.c.ii and iii)

NOTE
1. CONTRACTOR WILL KEEP SPILL KITS AND CONTAINMENT SUPPLIES (WATTLES, ETC.) ON SITE TO BE IMMEDIATELY AVAILABLE IN THE EVENT OF A SPILL DURING THE COURSE OF CONSTRUCTION.

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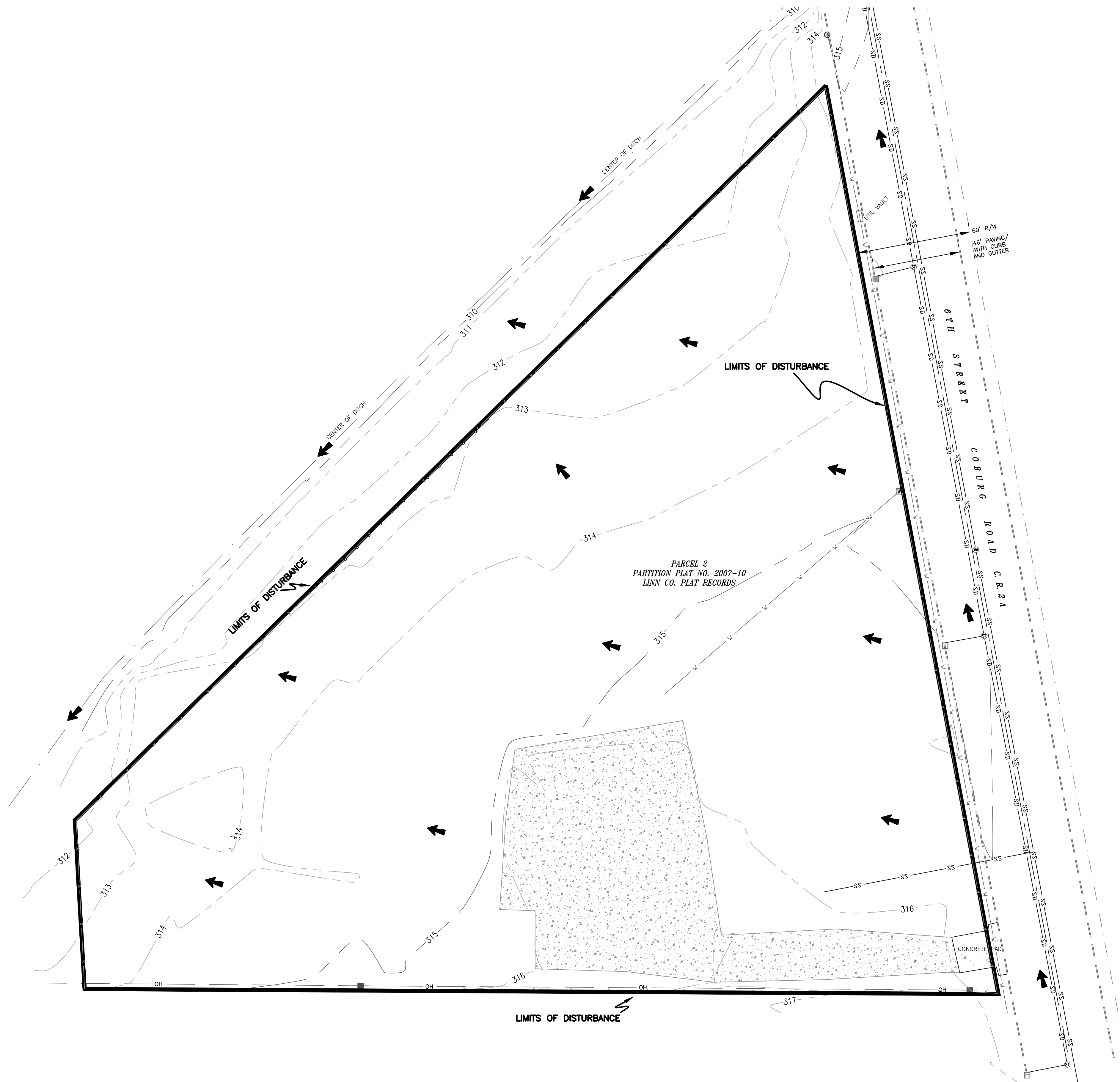
CONSULTING ENGINEERS & SITE PLANNING
380 Q ST. SUITE 200
SPRINGFIELD, OR 97477
PHONE: (541) 302-9790
scott@aoengineering.biz



ESCP Cover Sheet
FOR
Vincent Ferris Construction
Harrisburg Linn County Oregon

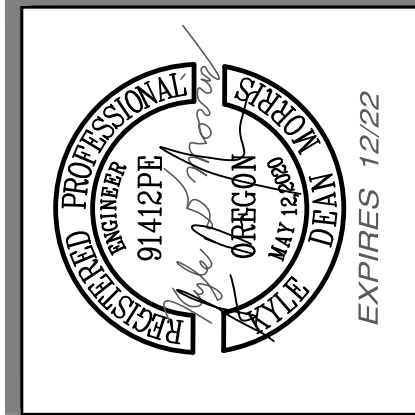
PROJECT NO. 5331
DRAWN BY: KRC
REVIEWED BY: KOM/SDM
PROJECT DATES:

SHEET
EC-1.0



LEGEND	
	EXISTING CONTOURS
	EXISTING BOUNDARY
	ADJACENT PROPERTIES
	EXISTING CURB LINE
	EXISTING FENCE
	EXISTING WATER MAIN
	EXISTING WATER METER
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING WASTEWATER SYSTEM
	EXISTING CLEANOUT
	EXISTING STORM DRAINAGE SYSTEM
	EXISTING CATCH BASIN
	EXISTING CURB INLET
	EXISTING STREET LIGHT
	EXISTING UNDERGROUND ELECTRIC
	EXISTING TRANSFORMER
	EXISTING TELEPHONE PEDESTAL
	EXISTING TELEPHONE LINE
	EXISTING GAS MAIN
	EXISTING GAS VALVE
	EXISTING POWER POLE
	PROPOSED WATER METER
	PROPOSED WASTEWATER LINE
	PROPOSED WASTEWATER MANHOLE
	PROPOSED WASTEWATER CLEANOUT
	PROPOSED STORM LINE
	PROPOSED STORM MANHOLE
	PROPOSED STORM CLEANOUT
	PROPOSED CURB INLET
	EXISTING CONCRETE SURFACE
	EXISTING GRAVEL SURFACE
	DRAINAGE FLOW ARROW

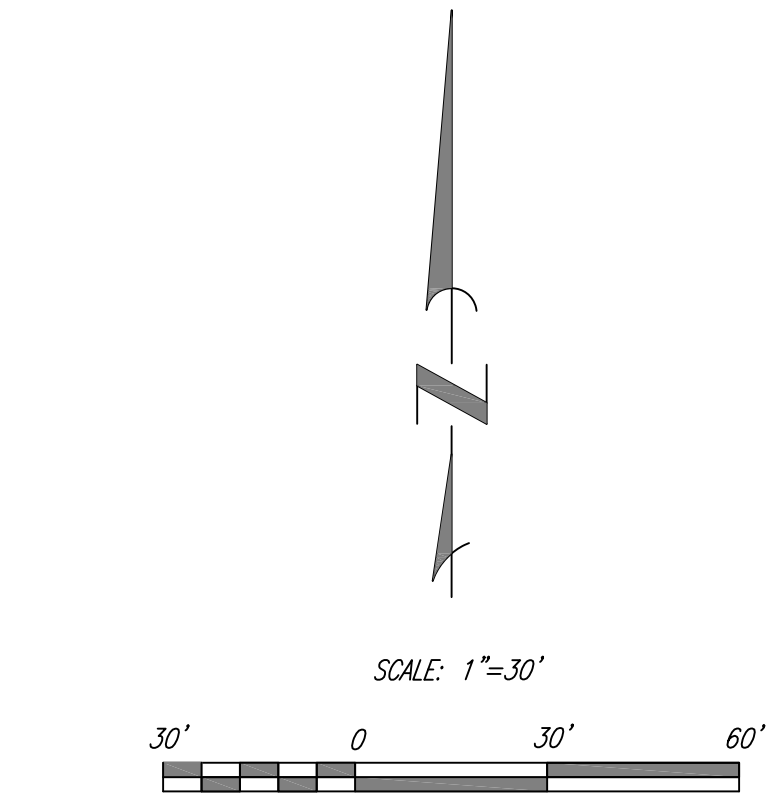
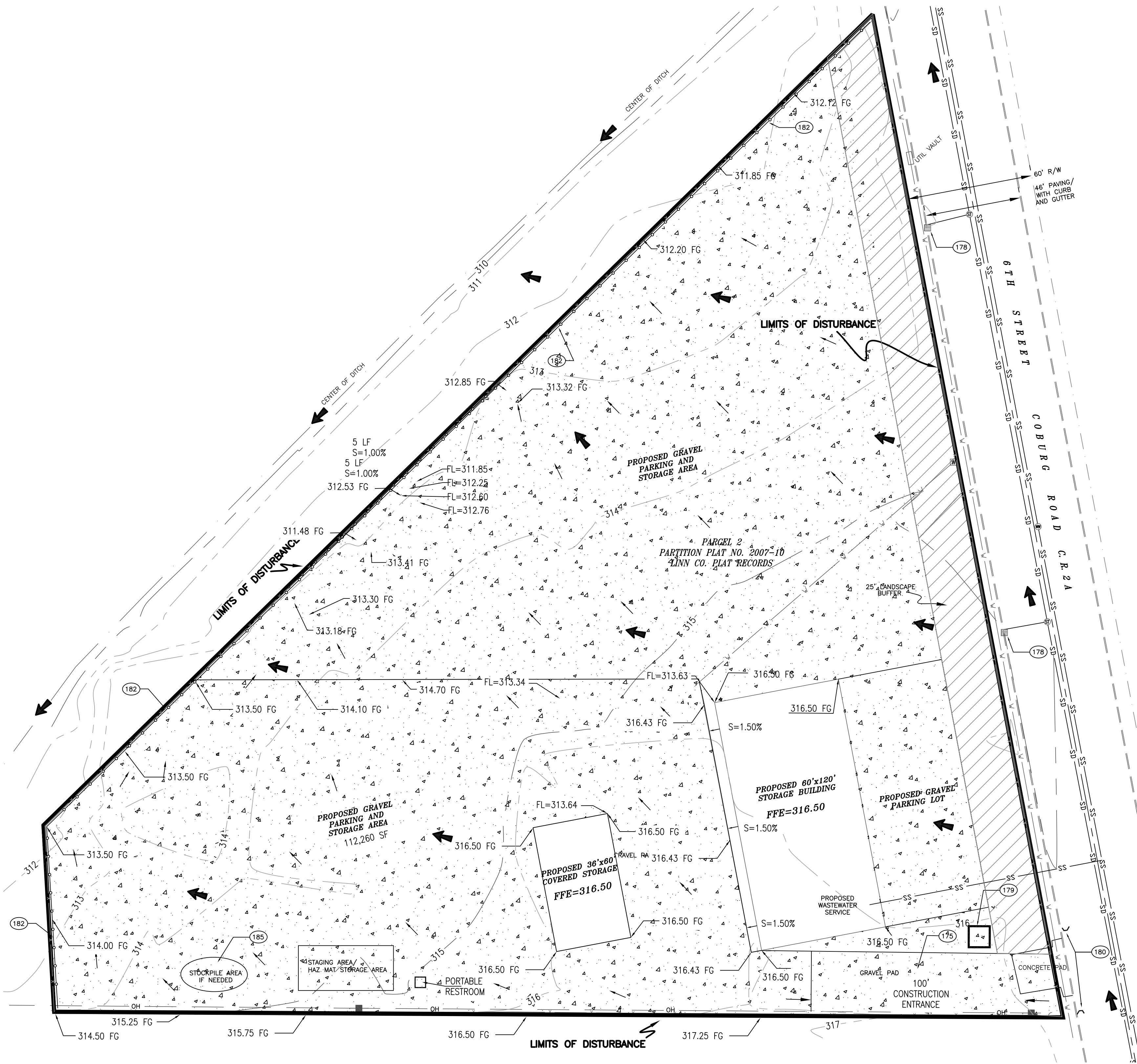
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ESCP Existing Conditions
FOR
Vincent Ferris Construction
Harrisburg Linn County Oregon

PROJECT No. 5331
DRAWN BY: KRC
REVIEWED BY: KOM/SDM
PROJECT DATES:

SHEET
EC-2.0



LEGEND

- EXISTING 1' CONTOUR LINE
- EXISTING AND PROPOSED CONTOURS ARE RELATIVELY THE SAME AND ARE NOT DELINEATED HEREON
- PROPOSED DRAINAGE FLOW ARROW
- EXISTING DRAINAGE FLOW ARROW

CONSTRUCTION NOTES

- CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE TYPE 1 PER DETAIL. REFER TO SHEET EC-6.0.
- INSTALL CATCH BASIN SEDIMENT CONTROL PER DETAIL. REFER TO SHEET EC-6.0.
- CONSTRUCT CONCRETE WASHOUT AREA AS PER DETAIL. REFER TO SHEET EC-6.0.
- CONSTRUCT STRAW WATTLE PER DETAIL. REFER TO SHEET EC-6.0.
- CONSTRUCT SEDIMENT FENCE. SEE DETAIL ON SHEET EC 6.0
- STOCK PILE TO BE COVERED WITH PLASTIC HELD DOWN BY SANDBAGS WHEN NOT IN USE DURING WINTER RAIN SEASON.

BMP IMPLEMENTATION NOTES

- CONSTRUCTION ENTRANCES TO BE INSTALLED PRIOR TO ANY SITE DISTURBANCE.
- CONCRETE WASHOUT TO BE INSTALLED PRIOR TO SIDEWALK OR FOUNDATION WORK.
- CATCH BASIN SEDIMENT CONTROL TO BE INSTALLED PRIOR TO GRADING OF SITE.

GRADING PHASE INFORMATION:

- ONSITE SOIL TYPES:
 - AMITY SILT LOAM HSG-C/D
 - DAYTON SILT LOAM HSG-C
- EXISTING VEGETATION CONSISTS OF MOSTLY GRASS
- CUT AND FILL DATA:
 - CUT: 300 CU. YD.
 - FILL (1.20 FACTOR): 300 CU. YD.
 - NET ADJUSTED: 0 CU. YD. BALANCED
- PHASE SCHEDULE:
 - START: MARCH 2022
 - FINISH: SEPTEMBER 2022

GRADING PHASE NOTES:

- IN CASE OF SPILLS FROM THE PORTABLE RESTROOM. REFER TO THE SPILL PLAN.
- STRAW MULCH, HYDROSEED, OR APPROVED EQUIVALENT SHALL BE USED FOR TEMPORARY STABILIZATION OF EXPOSED SOILS AFTER EXCAVATION.
- HYDROSEED FOR TEMPORARY STABILIZATION TO BE SUNMARK SEEDS TURF WORX MIX PER DETAIL ON SHEET EC-6.0.

GENERAL NOTES

- STOCK PILES TO BE FULLY COVERED PRIOR TO WINTER RAIN SEASON. COORDINATE WITH PROJECT INSPECTOR.
- EXISTING SURFACE UTILITIES SHALL BE PROTECTED AT ALL TIMES WITH WARNING TAPE AND TRAFFIC CONES.
- NO CUT OR FILL OF GREATER THAN 1 FOOT IS EXPECTED.
- CONSTRUCTED FLOW SPREADER SHALL BE PROTECTED FROM CONSTRUCTION TO AVOID OVER COMPACTION OF EXISTING SOILS. ONLY EQUIPMENT SPECIFICALLY NEEDED FOR STORMWATER FACILITY CONSTRUCTION SHALL BE ALLOWED WITHIN STORMWATER FACILITY AREA.

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ESCP Clearing and Grading Phase

FOR
Vincent Ferris Construction
Harrisburg Linn County Oregon

PROJECT No. 5331
DRAWN BY: KRC
REVIEWED BY: KRM/SDM
PROJECT DATES:

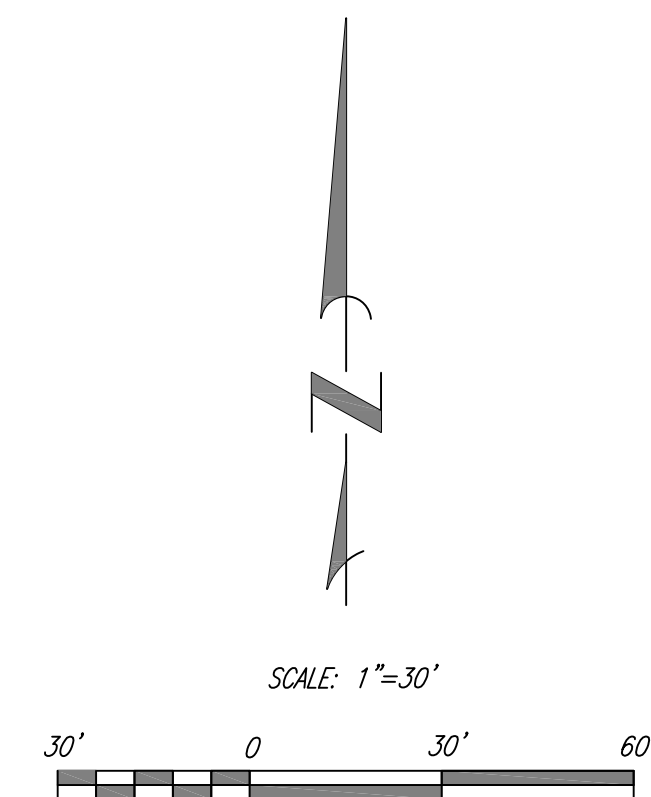
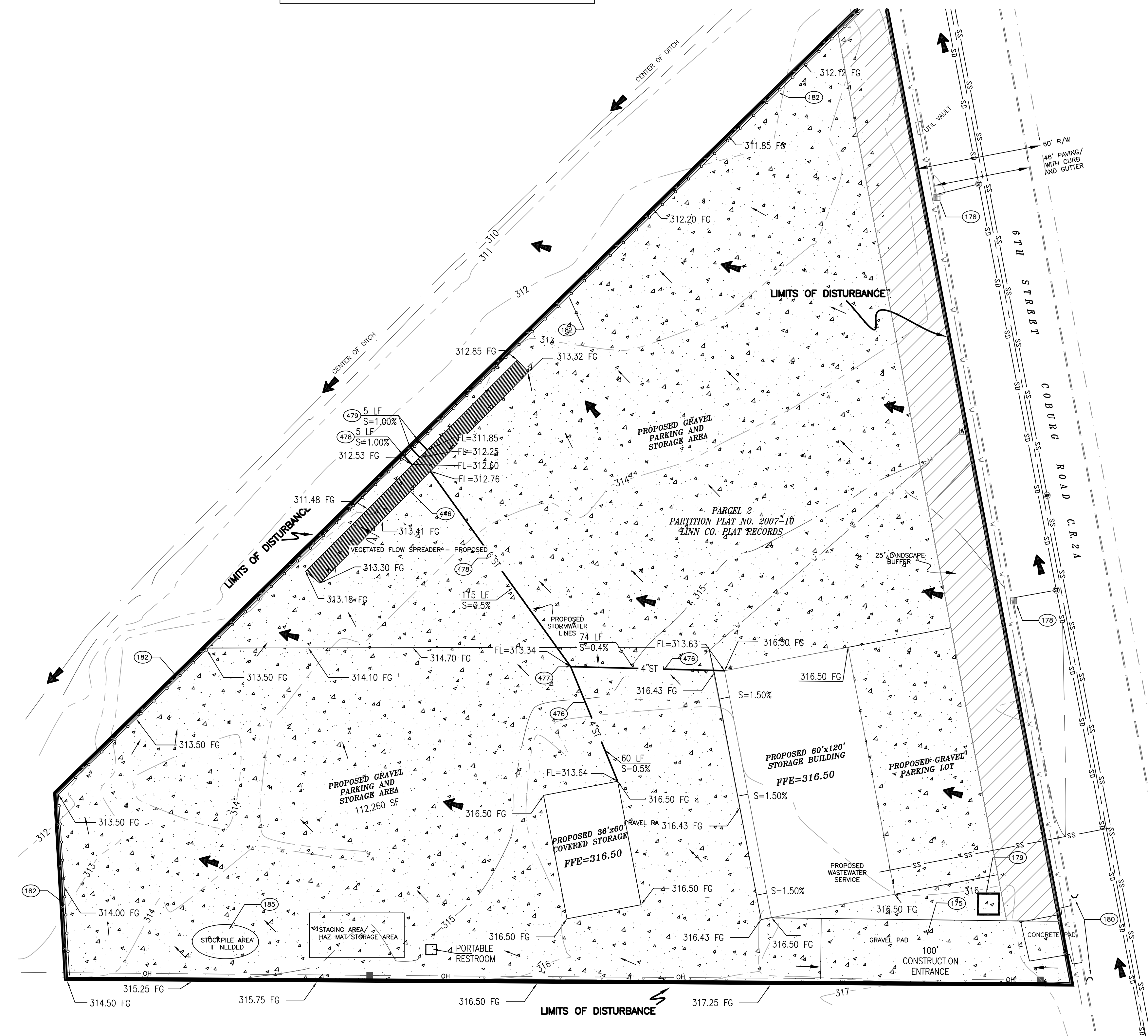
SHEET
EC-3.0

UTILITIES PHASE INFORMATION:

1. PHASE SCHEDULE:
START: MAY 2022
FINISH: AUGUST 2022

UTILITIES PHASE NOTES:

1. PROPOSED VEGETATED FLOW SPREADER TO BE DISCHARGE POINT FOR ALL STORMWATER RUNOFF CONVEYANCE.
2. ANY TRENCH DEWATERING SHALL BE DISCHARGED THROUGH A FILTER BAG INTO THE EXISTING STREET STORMWATER SYSTEM.
3. STRAW MULCH AND/OR HYDROSEED SHALL BE USED FOR TEMPORARY STABILIZATION OF ANY EXPOSED TRENCH SPOILS (INCLUDING STOCKPILE IF PLASTIC SHEETING DOESN'T WORK).

**LEGEND**

- EXISTING 1" CONTOUR LINE
- EXISTING AND PROPOSED CONTOURS ARE RELATIVELY THE SAME AND ARE NOT DELINEATED HEREON
- PROPOSED DRAINAGE FLOW ARROW
- EXISTING DRAINAGE FLOW ARROW

GENERAL NOTES

1. STOCK PILE TO BE FULLY COVERED PRIOR TO WINTER RAIN SEASON. COORDINATE WITH PROJECT INSPECTOR.
2. EXISTING SURFACE UTILITIES SHALL BE PROTECTED AT ALL TIMES WITH WARNING TAPE AND TRAFFIC CONES.
3. VEGETATED FLOW SPREADER SHALL BE PROTECTED FROM CONSTRUCTION TO AVOID OVER COMPACTION OF EXISTING SOILS.

BMP IMPLEMENTATION NOTES

1. CONSTRUCTION ENTRANCES TO BE INSTALLED PRIOR TO ANY SITE DISTURBANCE.
2. CONCRETE WASHOUT TO BE INSTALLED PRIOR TO SIDEWALK, VALLEY GUTTER, ADA RAMP AND DRIVEWAY CONSTRUCTION.
3. CATCH BASIN SEDIMENT CONTROL TO BE INSTALLED PRIOR TO FINISH GRADING OF ROADWAY.

CONSTRUCTION NOTES

175. CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE TYPE 1 PER DETAIL. REFER TO SHEET EC-6.0.
178. INSTALL CATCH BASIN SEDIMENT CONTROL PER DETAIL. REFER TO SHEET EC-6.0.
179. CONSTRUCT CONCRETE WASHOUT AREA AS PER DETAIL. REFER TO SHEET EC-6.0.
180. CONSTRUCT STRAW WATTLE PER DETAIL. REFER TO SHEET EC-6.0.
182. CONSTRUCT SEDIMENT FENCE. SEE DETAIL ON SHEET EC 6.0
185. STOCK PILE TO BE COVERED WITH PLASTIC HELD DOWN BY SANDBAGS WHEN NOT IN USE DURING WINDER RAIN SEASON.

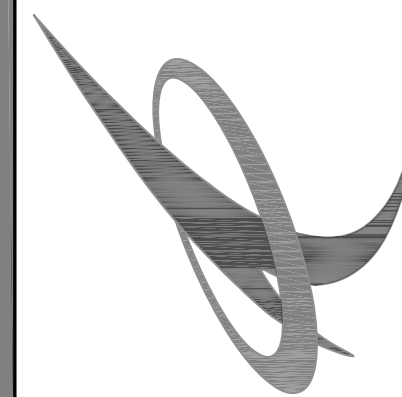
STORM CONSTRUCTION NOTES

446. CONST VEGETATED FLOW SPREADER PER DETAIL ON SHEET EC-6.0.
476. CONST 4" STORM DRAIN PIPE, ABS WITH SOLVENT WELDED JOINTS.
477. CONST 4"x4"x6" WYE, PVC D3034 WITH RUBBER GASKET JOINTS
478. CONST 6" STORM DRAIN PIPE, PVC D3034 WITH RUBBER GASKET JOINTS.

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ESCP Utility Phase

FOR

Vincent Ferris Construction

Harrisburg Linn County Oregon

PROJECT NO. 5331

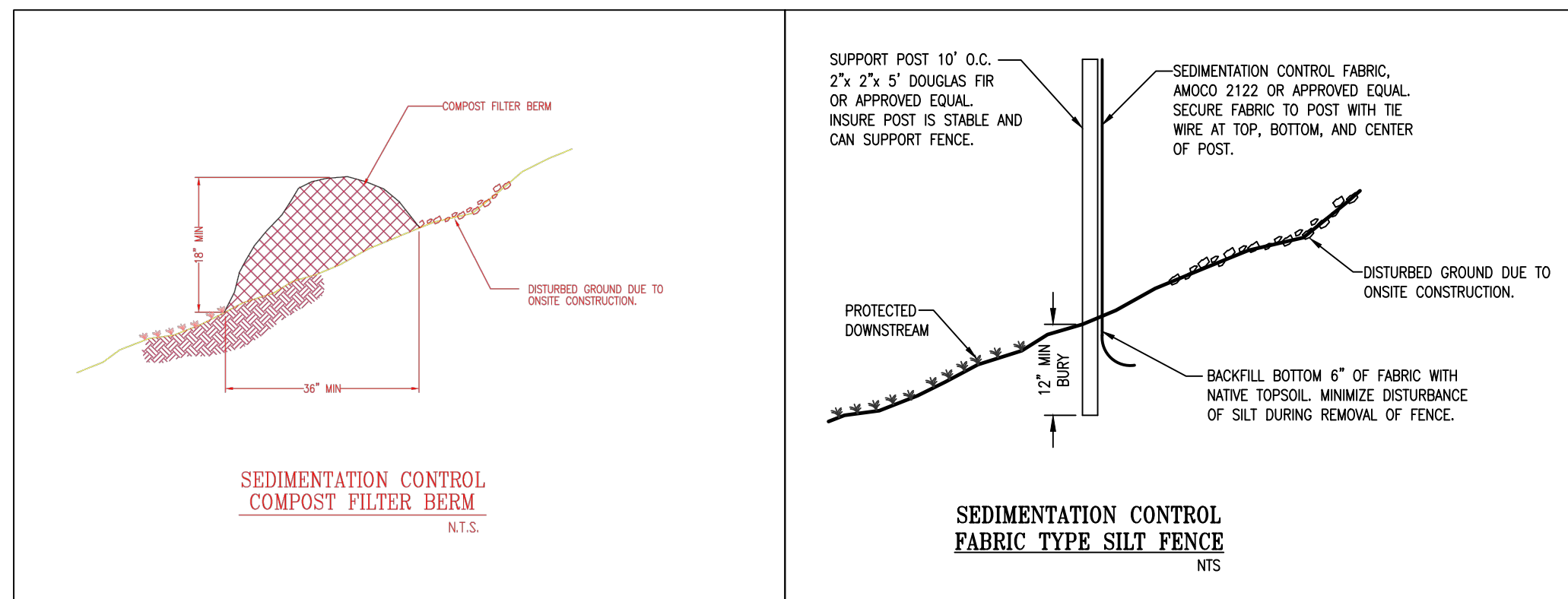
DRAWN BY: KRC

REVIEWED BY: KOM/SDM

PROJECT DATES:

SHEET
EC-4.0

SHEET
EC-5.0



SUNMARK SEEDS INTERNATIONAL, INC.
PO Box 1210
Fairview OR 97024
503-241-7333
888-214-7333

Native Water Quality

KEEP IT CLEAN



DRAINS TO RIVER

Acres: 1
Quantity: 43.38 lbs.

Sunmark Native Water Quality Mix

Botanical Name	Common Name	% by weight	Seeds per lb. of Mix	Seeds per lb.	Actual % by seed size	Lbs. Needed	Requested %
<i>Elymus glaucus</i>	Blue Wildrye	46.0%	50600	110,000	8.26%	23.0	8%
<i>Festuca rubra rubra</i>	Native Red Fescue	38.0%	209000	550,000	34.12%	16.5	34%
<i>Deschampsia caespitosa</i>	Tufted Hairgrass	12.0%	300000	2,500,000	48.97%	5.2	50%
<i>Glyceria occidentalis</i>	Western Mannagrass	2.0%	30000	1,500,000	4.90%	0.9	5%
<i>Beckmannia syzigachne</i>	American Sloughgrass	2.0%	23000	1,150,000	3.75%	0.9	3%
TOTALS:		100.00%	612600		100%	43.38	100%

Seeding Rate

1.00 PLS lbs. per 1000 sq. ft.
43.38 PLS lbs. per acre



Water Quality is designed as a native bio-filtration seed mix. This salmon-friendly native mix will perform well in the bottom of drainage swales, storm water retention ponds, and bio-filtration swales. This mixture will range from the continuously wet lowlands, up into the riparian zone, offering erosion control and habitat development.

SUNMARK SEEDS INTERNATIONAL, INC.
PO Box 1210
Fairview OR 97024
503-241-7333
888-214-7333



Acres: 1
Quantity: 450 lbs.

Sunmark TurfWorx Recovery Blend

Botanical Name	Common Name	% by Weight	Seeds per lb. of Mix	Seeds per lb.	Actual % by Seed Size	Lbs. Needed	Requested %
<i>Lolium multiflorum</i> var. TXR	TXR Turf-Type Annual Ryegrass	60.00%	135000	225000	51.43%	202.50	45%
<i>Lolium perenne</i>	Perennial Ryegrass	30.00%	82500	275000	31.43%	112.50	25%
<i>Festuca rubra</i>	Creeping Red Fescue	10.00%	45000	450000	17.14%	135.00	30%
TOTALS:		100.00%	262500		100.00%	450.00	100%

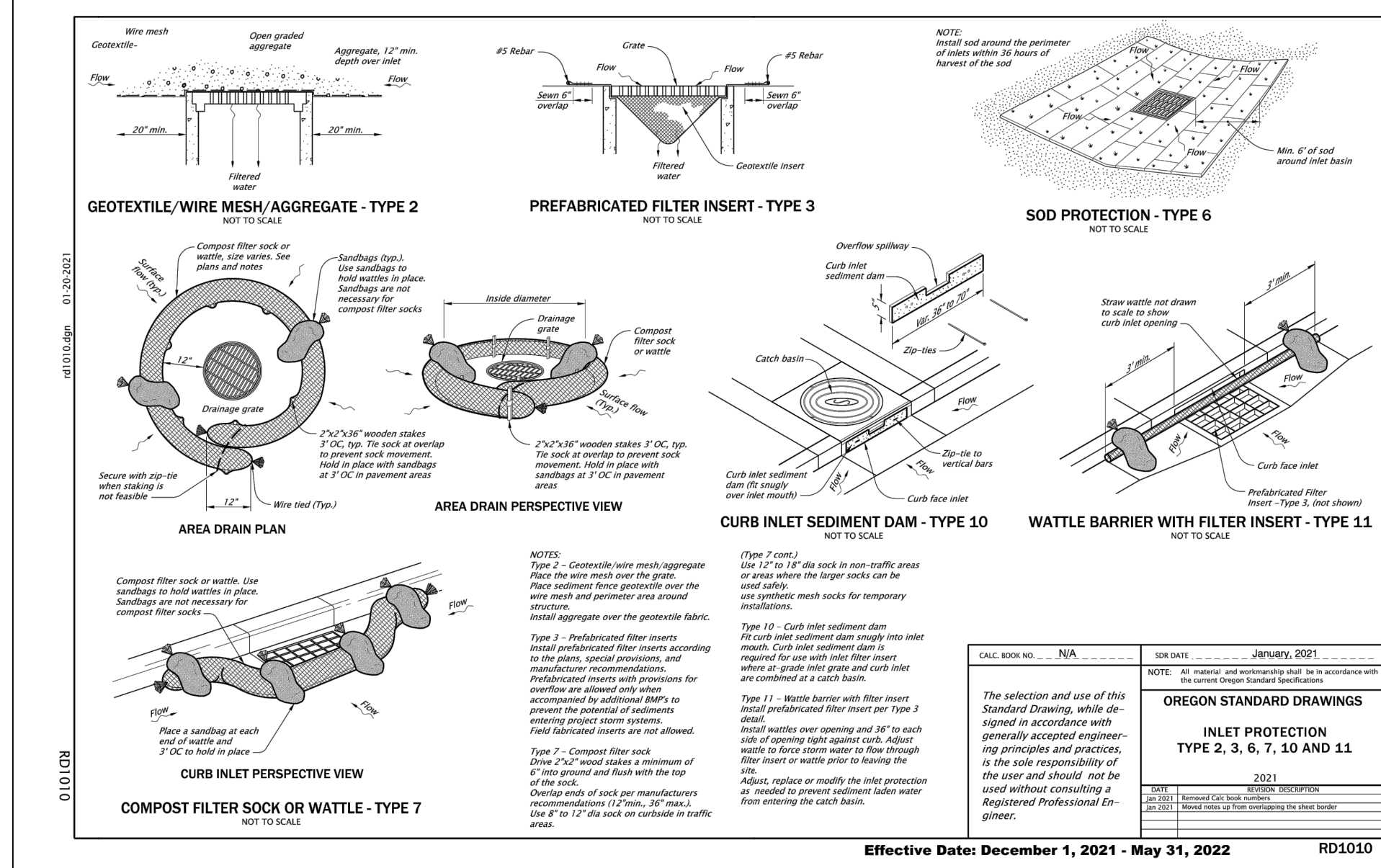
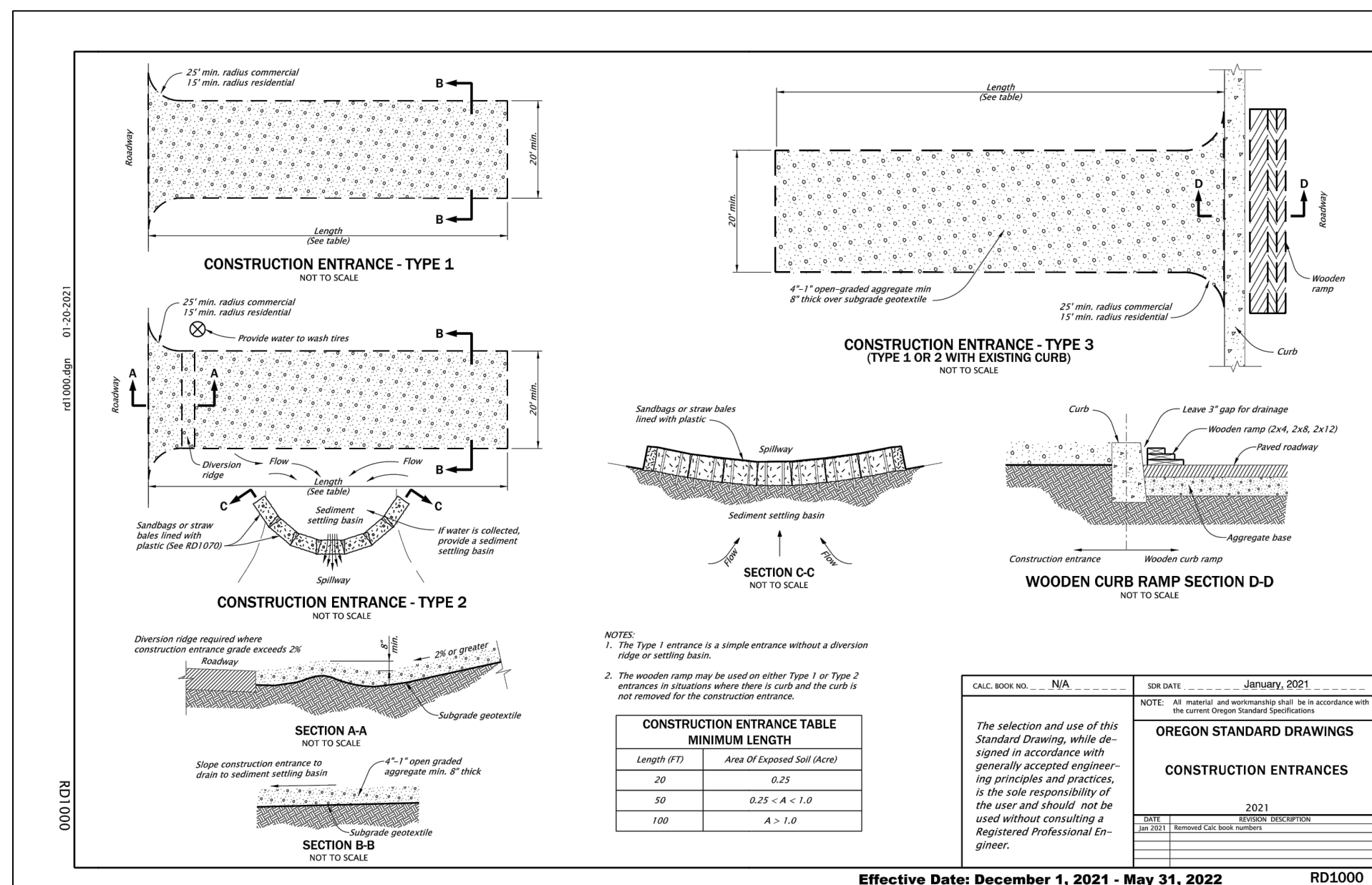
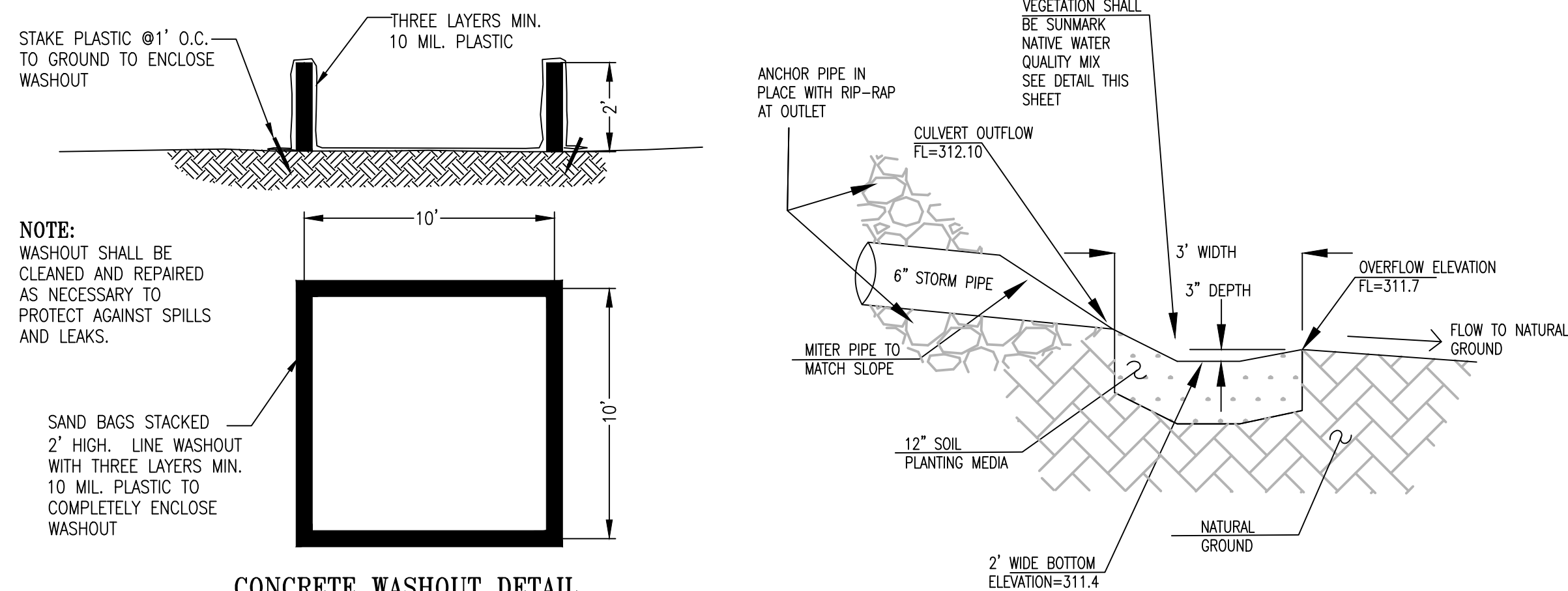
Seeding Rate

10.00 PLS Pounds Per 1000 Square Feet
450.00 PLS Pounds Per Acre



TurfWorx is an excellent, inexpensive, quick-establishment contractor mix. TurfWorx is a blend of 60% transitional annual ryegrass, 30% perennial ryegrass, and 10% creeping red fescue. It is an excellent choice where quick establishment is required along with high erosion protection. TXR Transitional Annual Ryegrass is a cutting-edge turf-type annual ryegrass, featuring quick establishment, superior turf quality, and rapid springtime transition.

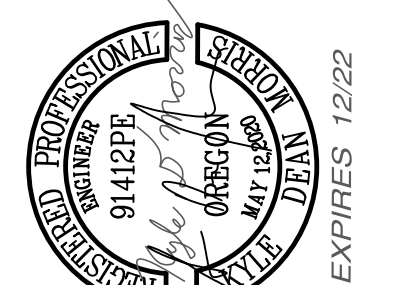
Recommended seeding rate is 2-10 lbs per 1,000 sq. ft.



A & O Engineering L.L.C.

CONSULTING ENGINEERS & SITE PLANNING

380 Q ST. SUITE 200
SPRINGFIELD, OR 97477
PHONE: (541) 302-9790
scott@aoengineering.biz



ESCP Notes & Details

FOR

Vincent Ferris Construction

Harrisburg Linn County Oregon

PROJECT NO. 5331

DRAWN BY: KRC

REVIEWED BY: KOM/SDM

PROJECT DATES:

SHEET

EC-6.0

From: [Jason Johannesen](#)
To: [Michele Eldridge](#)
Subject: RE: E-Routing Harrisburg Land Use Application for Comment - Case Number LU 452-2023 & LU 453-2023 - Comments due by Sept 5, 2023
Date: Thursday, August 24, 2023 9:23:53 AM
Attachments: [image001.jpg](#)

Michele,

The only issue that I see is that they appear to be proposing to have the required accessible parking space be a gravel surface. I do not believe that ordinary gravel will comply with ICC A117.1-2009 section 302.1 "Floor surfaces shall be stable, firm, and be slip resistant..." Normally in situations like this the accessible space(s) will be concrete or asphalt pavement and the other parking spaces may be gravel. They will also need an accessible route to connect the accessible parking to the accessible entrance of the building per OSSC 1104.1 (unless the building is somehow exempt from the accessibility requirements) I also noticed that there is not an Architect listed on the plans. This building exceeds the 4000 sf threshold and does require a licensed architect per ORS 671.010 section 2.c. This building will also likely require fire sprinklers per OSSC section 903.2.8.

Let me know if you have any questions about my comments.

Thanks,

JASON JOHANNESSEN

City of Junction City Building Official
jjohannesen@ci.junction-city.or.us
Cell: 541 224-3593

From: Michele Eldridge <meldridge@ci.harrisburg.or.us>
Sent: Saturday, August 19, 2023 6:00 PM
Subject: E-Routing Harrisburg Land Use Application for Comment - Case Number LU 452-2023 & LU 453-2023 - Comments due by Sept 5, 2023

Good Evening;

You will find attached the land use application for Vincent Ferris Construction, for a Variance and Site Plan Request for his property located at 1070 S. 6th St. (This ROI is being sent early, due to my vacation at the end of the month).

If you have any questions, or comments to provide, please do so by the deadline of Sept 5, 2023.

Thanks!



Michele Eldridge, CMC
City Administrator

*PO Box 378
120 Smith St.
Harrisburg, OR 97446
541-995-2200*

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