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**PLANNING COMMISSION MEETING**

**Wednesday, August 16, 2023 at 7:00 PM  
Hamburg Township Hall Board Room**

**AGENDA**

**CALL TO ORDER**

**PLEDGE TO THE FLAG**

**APPROVAL OF THE AGENDA**

**APPROVAL OF MINUTES**

1. Minutes June 21, 2023

**CALL TO THE PUBLIC**

**OLD BUSINESS**

2. Final Site Plan Approval SPA 23-0001

**NEW BUSINESS**

3. Sign Waiver PSPR 23-002

**ADJOURNMENT**



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Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

## PLANNING COMMISSION MEETING

Wednesday, June 21 at 7:00 PM  
Hamburg Township Hall Board Room

### MINUTES

#### CALL TO ORDER

Commissioner Muck called the meeting to order at 7:00 pm.

#### PLEDGE TO THE FLAG

#### ROLL CALL OF THE BOARD:

1) **PRESENT:**

Patricia Hughes  
Deborah Mariani  
Ron Muir  
Jeff Muck, Chair  
Joyce Priebe

2) **ABSENT:**

John Hamlin  
Victor Leabu Jr

#### APPROVAL OF MEETING AGENDA for tonight.

**Approval Motion** made by Commissioner Mariani, seconded by Commissioner Muir, to approve the agenda as presented.

**VOTE: MOTION CARRIED UNANIMOUSLY**

#### APPROVAL OF THE MEETING MINUTES

**Approval Motion** made by Commissioner Priebe, seconded by Commissioner Mariani, to approve May 31, 2023, Planning Commission Meeting Minutes with amendments as noted by Chair Muck.

**VOTE: MOTION CARRIED UNANIMOUSLY**

**CALL TO THE PUBLIC-** No public response

## OLD BUSINESS

- 1. Final Site Plan Review (SPA 23-0001)** for the construction of a 22,360 square foot multi-tenant commercial building, with associated parking and site improvements. Site location is 7749 E. M-36 (TID# 15-25-200-068).

Chair Muck opened the Planning Commission meeting to Amy Steffens, the Planning and Zoning Director. She briefed the commission on the history of this project. She let the PC know of the meeting with the applicant's architect Ted Calloway, Commissioner Leabu and herself regarding the building elevations and other designing issues brought forward at the May 31, 2023, PC meeting. Amy explained the color renderings from the architect were provided in their packets for tonight's meeting.

Amy read some requested changes to the preliminary site plan approval recommendation from the applicant. She read them from her staff report on page 3. Conditions #1 -Cross access easement for the pedestrian pathway shall be submitted for township attorney approval and recorded prior to issuance of a land use permit for any site improvements. **An easement is indicated on the site plan. Staff will work with the applicant and township attorney to formalize the easement for recording prior to issuance of land use permits.** #2 A floating easement to allow cross-access across subject site from adjacent properties should the subject site be redeveloped shall be submitted for township attorney approval and recorded prior to issuance of a land use permit for any site improvements. **An easement is indicated on the site plan. Staff will work with the applicant and township attorney to formalize the easement for recording prior to issuance of a land use permit for any site improvements.** #3 All sewer fees shall be paid in full prior to issuance of a land use permit for any site improvements. **The applicant's engineer has been in contact with Brittany Campbell, utilities coordinator. REU review will be required for each individual user and sewer fees paid in full prior to issuance of a land use permit.** #4 Prior to issuance of a land use permit, the applicant shall submit a photometric plan that shows the intensity of light within a site does not exceed 10 ten footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted. Applicant shall propose an exterior light that is similar to the suggested Village Center lighting. The light fixtures most recently installed for the project in the Village Center zoning district, Hampton Manor senior Housing facility, has been discontinued. **The applicant found fixtures of similar design (attached at the end of the report) that the Commission should consider and decide if any of those fixtures would be acceptable substitutes.** #5 Final site plan shall indicate required lighting along M-36 pathway and parking area. Light fixtures to match approved Village Center fixtures and shall comply with light intensity requirements. **See above.** #6 The final site plan shall note that "All lighting shall be turned off between 11:00pm and Sunrise except when used for commercial and industrial uses, such as in sales, assembly, and repair areas, where such use is open for business after 11:00pm but only for so long as such use open for business. Lighting used for security between 11:00 pm and sunrise shall be controlled by a

motion sensor. #7 Prior to issuance of a land use permit the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Utilities Department, Livingston County Drain Commissioner, MDOT, and Livingston County Water Authority. **The fire marshal has amended his review letter to no longer require a fire hydrant.** MDOT permit has been issued. #8 A sign program meeting the standards of Section 36-479 shall be submitted for approval by the Planning Commission prior to issuance of a land use permit for signage. #9 Tree preservation location and details shall be delineated on the final site plan (**Completed: see sheet LA1.1**). #10 A change of use shall be issued for every occupant of this structure. At the time of permit application, a parking count shall be provided by the property owner indicating the available parking for each use. #11 Parking space size may be reduced as indicated on the site plan. **Commission granted a waiver for reduced parking stall size.** #12 Final site plan shall show required screening of parking area and mechanical and electrical equipment. **A solid row of boxwoods is shown along the eastern property line, shielding the parking area from off-site views. The Commission should determine if this row of shrubs, to be maintained at a height of at least 3 feet, will be adequate to meet the intent of Section 36-187(i), Parking lot screening: All off street parking spaces or loading areas must be screened from view of any public road or pedestrian path right-of-way, or private road or pedestrian path easement by an evergreen hedge row or masonry wall, which is consistent with building architecture and site design, at least three feet in height.** #13 No outside storage areas are permitted. #14 Prior to final site plan approval architecture shall be approved by the Planning Commission. **As of this writing no revised building elevations have been submitted.** #15 Shrubs shall be maintained at three feet tall and additional screening shall be provided along the east property boundary. **See above.** #16 **Final site plan approval contingent on approved color scheme.**

Commissioner Muir asked two clarifying questions. First question was regarding the lone door on building A. He asked if that was the mechanical room. The architecture came up to the podium and said yes, it was. He stated that usually such doors normally have an awning over them. He asked the PC members if they should require one. Second question, he asked where the location of all of the electric and gas meters was at this site. The architect said that they will be either located in that mechanical room or along that western side.

Commissioner Hughes asked Amy if Commissioner Leabu was in favor of the last few images that she provided that showed awnings on the east side of the building. Amy said yes. Hughes continued to ask if the rolling glass doors went away on this building. The architecture said that the rolling glass doors on the southside of the building went away and would be replaced with regular doors and windows. She stated that there was an entrance for the southern studios to go out the east and southside of the building. She continued to say that this design was much more appealing. Commissioner Priebe clarified that he has provided elevations for this building site and that she supported them. Commissioner Mariani asked what the final color would be. The architect stated that they did not have enough time to submit color samples for this meeting. The architect clarified that he would sit down with the staff on the color scheme of the building. He said the renderings are only estimates so they will provide actual color samples to the PC in a future meeting.

Amy stated to Chairman Muck that the PC could make the final site plan contingent on architecture review committee (Commissioner Leabu and herself) if they would like to give them some guidance as to what they would like. At the suggestion of Commissioner Hughes, Amy read Commissioner Hamlin's questions to the commission in his absence. The front patio seems to incorporate the sidewalk, but Amy and the architect said it does not. The architect said that that the sidewalk butts up against the patio but

after that point, it is not a sidewalk. Hamlin's second point is that the decorative lighting shall not be exempt from the downward directed shield requirements. Amy agreed that they can't be exempt from the ordinance.

**Approval motion** by Commissioner Priebe, seconded by Commissioner Muir, to recommend that the Planning Commission recommend approval of the final site plan (SPA 23-0001) for the construction of a 22,360 square-foot multi-tenant commercial building, with associated parking and site improvements (site location 7749 E. M-36: TID 15-25-200-068) to the Township Board because as condition, the project meets the site plan review standards A-L in section 36-73 (7) and the additional approval standards of the Village Center district under section 36-187 as discussed at tonight's meeting and as presented in the staff report.

**Conditions:**

1. Cross access easement for the pedestrian pathway shall be submitted for township attorney approval and recorded prior to issuances of a land use permit for any site improvements.
2. A floating easement to allow cross-access across subject site from adjacent properties should the subject site be redeveloped shall be submitted for the township attorney approval and recorded prior to issuance of a land use permit for any site improvements.
3. All sewer fees shall be paid in full prior to issuance of a land use permit for any site improvements.
4. Prior to issuance of a land use permit the applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residential used or zoned site whereby a maximum of 0.5 footcandles is permitted. Applicant shall propose an exterior light that is similar to the suggested Village Center lighting.
5. Final site plan shall indicate required lighting along M-36 pathway and parking area. Light fixtures to match approved Village Center fixtures and shall comply with light intensity requirements. These need to be approved by Amy Steffens and Commissioner Leabu.
6. Prior to issuance of a land use permit, the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Utilities Department, Livingston County Drain Commission, MDOT, and Livingston County Water Authority.
7. A sign program meeting the standard of Section 36-479 shall be submitted for approval by the Planning Commission prior to issuance of a land use permits for signage.
8. Final site plan shall show required screening of parking area and mechanical and electrical equipment.
9. No outside storage area shall be permitted.
10. Shrubs along south and east property boundaries shall be maintained at no less than three feet tall.
11. Final site plan shall be conditioned on approvals by Commissioner Leabu and Amy Steffens.

Amy asked Chairman Muck for clarification. She asked if the PC is satisfied with the landscaping that is shown on the site plan by the applicant. He said yes. Amy asked if the PC had a suggested color scheme recommendation. Chair Muck said he would base it on what the architect team felt would work. (The final site plan shows the required easements; staff will work with the township attorney to formalize easement documents.)

**Roll Call Vote: Ayes (5); Hughes, Muir, Muck, Priebe, Mariani Nays (0); Absent (2)**

**Motion passed.**

## **NEW BUSINESS**

- 1. Site Plan Review (SPA 23-0001)** for the private campground dedicated to the use by United States Military veterans and their families to include sports field, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River at 6716 Winans Lake Road (TID 4715-14-400-008 and 4715-23-100-002).

Chair Muck opened the PC meeting to Amy Steffens for this preliminary site plan review. She briefed the commission on the history of this project. She reminded that this property has been rezoned through a zoning map amendment, making it a PPRF (Public and Private Recreational Zone) district. Amy continued to debrief the PC about this program through reading the staff report. The PPRF district does not have any landscaping requirements. There is a buffer zone that is used as a guide. See the staff report Landscaping Chart for what the strict compliance of the zoning ordinance would require of this project. Site plan is proposing to keep a vegetative berm on the south and west side of the property. Staff believes that a green belt along Winans Lake Rd is appropriate since it would provide screening from the use to the residential areas. She continued to read through the Hamburg Township Ordinance standards for lighting, signage, the Site Plan Review Standards, and the Schedule of use regulations for PPRF found in Section 36-185.

Commissioner Hughes asked Amy about clarification regarding the limitation on the size width of the river docks that would possibly serve disabled veterans wishing to utilize such amenities. She asked Amy if there was anyway that the applicants might seek a variance in this standard since this limitation in width size could possibly restrict their access to the river. The state natural river laws allow the municipality to deviate from the dock width restrictions if the applicant goes through the Zoning Board of Appeal's process. This site plan is still being reviewed by our fire marshal and the utilities department. The Livingston County Drain Commission will review and issue a soil erosion or sedimentation control permit prior to issuance of a building permit.

Chair Muck opened the meeting to the applicant's engineer. He declined to state anything, but Commissioner Hughes encouraged him to return to the podium for further clarification. She asked him if the gravel being proposed for the parking and trail areas would allow individual users who had mobility issues to be able to have access across areas. Jeff, the applicant came up to the podium to answer her questions. He stated that they would utilize 3 Track wheelchairs that could accommodate the needs of such immobile users. Chair Muck confirmed that fresh crushed gravel is ADA compliant. Commissioner Muir asked the other commissioners what their opinions were about parking the parking lot areas in the park. Chair Muck said that the gravel was very natural for this use for this park. The other commissioners agreed with Chair Muck's viewpoint on the gravel usage here.

Commissioner Mariani asked Amy how large the berms would be (height and width). Amy asked Mariani how large she wanted the berms to be. Amy said that the PC had the descension as to how large the berm should be here. Mariani said her only concern was the headlight beams at the residential dwellings nearby. She is hoping that the berm will shield the homes from such lights. Commissioner Priebe stated that she is concerned by the neglect that berms receive overtime, thus becoming weedy by such non care. She stated that she would rather see thick bushes rather than a berm here. She asked the other commissioners what they believed. Chair Muck

said that a rustic campground doesn't need to have a natural berm that is maintained like it is up on M-36. Commissioner Mariani agreed with Muck. Commissioner Muir asked the PC members if they should require landscaping along Winas Lake Rd. Chair Muck asked Amy if there is was any requirement for landscaping along the road frontage. She said that since this parcel was rezoned as PPRF, the ordinance does not require such landscaping. A buffer zone of 20 feet wide greenbelt could be required, with one canopy tree and 4 shrubs for every 40 linear feet. No berm is required though.

Commissioner Mariani asked the applicant's engineer about the 4 phases of development and what that would look like. Phase one would begin in April 2024 when state grant money is received for the project. Phase one is the most expensive phase. As funds are made available, then the next phase will begin. Seven million of funding is expected for this project.

Chair Muck asked if the applicant is proposing a pathway system for users to get from the parking lot to the sports field complex and dog training facility. He expressed his concern, in support of Commissioner Hughes earlier comments regarding individual users with mobility issues. Muck said there are no visible pathways to get users to these areas. Chair Muck stated that the engineer and applicant should consider developing a pathway system to ensure that all users can access these points of interest. He also brought to their attention that the soccer and pickle ball courts should be oriented north and south due to keep the sun out of user's eyes. He explained that he is a Parks and Recreation Manager and knows about these issues first hand. All of the commissioners were in agreement with Chair Muck that all handicapped parking areas will need to be hard surfaced with asphalt to be ADA compliant at the Lodge and other areas. Commissioner Mariani asked Amy if those spots will have handicapped signage to ensure that no other users park there. She said yes.

Commissioner Hughes asked Amy if Condition #8 should read a buffer zone, which may include a "buffer" should be "berm". Amy agreed that it was a typo, and she will correct it. Commissioner Priebe asked for clarification, if they would want a berm or a buffer on Winas Lake Rd. They all agreed no berm, only a buffer. A buffer zone would be 20 feet wide, but some discussion was had between commissioners about what to require the applicant to plant. Chair Muck stated that maybe the PC should allow the applicant to propose a suitable plan for landscaping that will meet the intent of the zoning ordinance regarding landscaping for their final site plan review. The applicant architect said they would be willing to propose landscaping. More discussion covered the buffer and landscaping near the residential homes. Chair Muck reminded the PC members that they should be respectful of the homeowners who came out at the last public meeting to express their concern regarding noise, lighting, and the need for buffering between this use and their homes. Muck said since the berm will not be maintained, he suggests that they require native plantings there to ensure that they remain attractive and non-invasive.

**Approval motion** by Commissioner Priebe, seconded by Commissioner Hughes, that the Planning Commission recommends approval of the preliminary Site Plan Review (SPA 23-0003) for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicles parking area, walking trails, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River at 6716 Winas Lake Road (TID 4715-14-400-008 and 4715-23-100-002).

The Planning Commission approves the parking surface waiver for all parking areas, excluding ADA parking spaces because it meets the standards set forth in Section 36-330 (h). The Commission recommended approval of the preliminary site plan with the following conditions.

1. Prior to issuance of a land use permit the applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted.

2. All lighting shall be turned off between 11:00 PM and Sunrise. Lighting used for security between 11:00 pm and sunrise shall be controlled by a motion sensor.
3. Prior to issuance of a land use permit the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Engineering and Public Works Departments, Livingston County Drain Commissioner, Livingston County Road Commission, and Health Department.
4. All signage shall conform to Article XIII, Signs, and land use permits shall be issued prior to installation of signage.
5. No electronic display sign shall be permitted.
6. Any earth work that has a direct impact to the wetlands may be subject to a Part 303 EGLE permit and such permit shall be obtained prior to site work.
7. A vegetative berm shall be provided along the length of the west and southwest property boundaries that abut a single-family residential dwelling as shown on the site plan.
8. A buffer zone, which may include a berm, along Winans Lake Road shall be installed, with a concentration of vegetation at the entrance.
9. A vegetative screen, which may include a berm, shall be installed along the northern 1,200 linear feet of the east property boundary. Native species shall be planted on the top of the berm.
10. The docks on the Huron River shall be sized to meet the Ordinance requirements.
11. No public use of the docks shall be permitted.
12. All required state permits shall be obtained prior to the installation of any docks in the Huron River or Gut Lake.
13. Upon final approval of the site plan, construction, or expansion of any permitted or special use shall conform to the site plan. The approval by the planning commission and Township Board of a site plan shall expire within one year after the date of such approval, unless a land use permit has been issued and construction has commenced.
14. No sound amplification will be permitted on this site.
15. Special event usage to be coordinated with Township public safety committee.

**Roll Call Vote: Ayes (5); Hughes, Muir, Muck, Priebe, Mariani      Nays (0); Absent (2)**

**Motion passed.**

#### **ZONING ADMINISTRATOR'S REPORT**

1. This is Amy's last Planning Commission Meeting as she is moving back to Indianapolis with family.
2. She said that she appreciated serving with professionals on the boards and that she will be leaving them in good hands with the next new Zoning Administrator, David Rohr who is experienced. She let them know that she will get him up to speed on upcoming projects.
3. Commissioner Mariani said that it was a pleasure to work with Amy since she prepares them with her well-written reports.
4. Chair Muck thanked Amy for coming back.

#### **ADJOURNMENT**

**Approval motion** was made by Commissioner Muir, seconded by Commissioner Hughes, to adjourn at 8:14 pm.



**VOTE: MOTION CARRIED UNANIMOUSLY**

Respectfully submitted,

**Lisa Perschke**

*Planning/Zoning Coordinator & Recording Secretary*

**Amy Steffens**

*Planning & Zoning Director*

The minutes were approved as presented/corrected: \_\_\_\_\_

\_\_\_\_\_

Commissioner Jeff Muck, Chairperson

PHONE: 810-231-1000  
FAX: 810-231-4295



P.O. Box 157  
10405 Merrill Road  
Hamburg, Michigan 48139-0157

**To:** Planning Commissioners  
**From:** David Rohr  
Planning and Zoning Director

**Date:** August 16, 2023

**Project address and Description:** **Final Site Plan Review (SPA 23-0001)** for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River at 6716 Winans Lake Road (TID 4715-14-400-008 and 4715-23-100-002).

**Owner:** Freedom River

**Applicant:** Freedom River

**Agent:** Wade Trim



## **PLANNING COMMISSION CONDITIONS**

Updated landscaping plan has been submitted for PC review. The updated plan addresses conditions 7-9 (listed below).

**Condition 7. A vegetative berm shall be provided along the length of the west and southwest property boundaries that abut a single-family residential dwelling as shown on the site plan.**

**Condition 8. A buffer zone, which may include a berm, along Winans Lake Road shall be installed, with a concentration of vegetation at the entrance.**

**Condition 9. A vegetative screen, which may include a berm, shall be installed along the northern 1,200 linear feet of the east property boundary. Native species shall be planted on the top of the berm.**

These landscaping conditions are the Planning Commission's primary reviewable conditions.

## **PROJECT HISTORY**

At the **July 6, 2023** Board of Trustees meeting, the Board voted to approve the Preliminary Site Plan Review (SPA 23- 0003) for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River at 6716 Winans Lake Road (TID 4715-14-400-008 and 4715-23-100-002) because with conditions one through 15, inclusive, the project does meet the site plan review standards A through L of Section 36-73(7) of the Zoning Ordinance as discussed at the July 6, 2023 Township Board of Trustees meeting and at the June 21, 2023 Planning Commission meeting, and as presented in this staff report and those conditions are listed in the staff report.

At the **June 21, 2023** Planning Commission meeting, the Planning Commission recommended approval of preliminary Site Plan (SPA 23-0003) for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicles parking area, walking trails, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River at 6716 Winans Lake Road (TID 4715-14-400-008 and 4715-23-100-002) with the following conditions:

**Condition 1.** Prior to issuance of a land use permit the applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted.

**Condition 2.** All lighting shall be turned off between 11:00 PM and Sunrise. Lighting used for security between 11:00 pm and sunrise shall be controlled by a motion sensor.

**Condition 3.** Prior to issuance of a land use permit the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Engineering and

Public Works Departments, Livingston County Drain Commissioner, Livingston County Road Commission, and Health Department.

**Condition 4.** All signage shall conform to Article XIII, Signs, and land use permits shall be issued prior to installation of signage.

**Condition 5.** No electronic display sign shall be permitted.

**Condition 6.** Any earth work that has a direct impact to the wetlands may be subject to a Part 303 EGLE permit and such permit shall be obtained prior to site work.

**Condition 7.** *A vegetative berm shall be provided along the length of the west and southwest property boundaries that abut a single-family residential dwelling as shown on the site plan.*

**Condition 8.** *A buffer zone, which may include a berm, along Winans Lake Road shall be installed, with a concentration of vegetation at the entrance.*

**Condition 9.** *A vegetative screen, which may include a berm, shall be installed along the northern 1,200 linear feet of the east property boundary. Native species shall be planted on the top of the berm.*

**Condition 10.** The docks on the Huron River shall be sized to meet the Ordinance requirements.

**Condition 11.** No public use of the docks shall be permitted.

**Condition 12.** All required state permits shall be obtained prior to the installation of any docks in the Huron River or Gut Lake.

**Condition 13.** Upon final approval of the site plan, construction, or expansion of any permitted or special use shall conform to the site plan. The approval by the planning commission and Township Board of a site plan shall expire within one year after the date of such approval, unless a land use permit has been issued and construction has commenced.

**Condition 14.** No sound amplification will be permitted on this site.

**Condition 15.** Special event usage to be coordinated with Township public safety committee.

At the **April 19, 2023** Planning Commission meeting, the Commission recommended approval of a zoning map amendment for the portion of the site zoned Waterfront Residential to the Public and Private Recreational Facilities (PPRF) zoning district; the map amendment will take effect on June 19, 2023. The portion of the site along Huron River remains in the Natural Rivers (NR) district.

Additionally, at the April 19 meeting, the Commission approved the special use permit (SUP 23-003) to permit a private campground and lodge with associated private outdoor recreational areas and indoor recreational buildings for military veterans and their families dedicated and designed for veterans and their families for relaxation and reflection with the following conditions:

**Condition 1:** The Special Use Permit for the private camp use is only valid with approval of a final site plan from Hamburg Township.

**Condition 2:** Prior to issuance of a land use permit a driveway permit from the Livingston County Road Commission will be required.

**Condition 3:** Prior to issuance of a land use permit all approvals from the Livingston County Health Department will be required.

**Condition 4:** A landscaping buffer, which may include a berm, shall be provided along the north, east, and west property boundaries.

**Condition 5:** The docks on the Huron River shall be reoriented, sized, and reduced in number to meet the Ordinance requirements.

**Condition 6:** No public use of the docks shall be permitted.

**Condition 7:** All required state permits shall be obtained prior to the installation of any docks in the Huron River.

**Condition 8:** The special land use permit for the private camp use shall be null and void unless a land use permit for the private camp use on the site is granted within one year from the date of this approval.

**Condition 9:** No lighting or amplification will be permitted on this site.

**Condition 10:** Special event usage to be coordinated with Township public safety committee.

**PROJECT DESCRIPTION**

Site plan review application to allow for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River. The site improvements would be phased as discussed below.

The subject sites (4715-14-400-008 and 4715-23-100-002) total 92 acres on the south side of Winans Lake Road and north of the Huron River. The site is vacant of residential development but has been used historically for agricultural purposes.

Table 1:	Current Zoning Classification	Current Use of Property	Future Land Use Designation
Subject Site	PPRF/NR	Vacant residential / agricultural	Medium density residential
North	RA—medium density residential	Single-family residential	Medium density residential
South	NR—Natural Rivers	Vacant / single-family residential	Natural river residential
East	RA	Single-family residential	Medium density residential
West	WFR—medium density residential	Single-family residential	Medium density residential

Phase 1 of the project includes demolition of existing structures and foundations in the northeast corner of the site and construction of sanitary utilities and access drives throughout entire site. Additional amenities planned for Phase 1 include: 29 RV spots, two bathhouses, two volleyball courts, one soccer field, two baseball fields, four pickleball courts, two basketball courts, various

1,500-square foot shelters around the site, 7,200-square foot pole barn, and multiple parking areas throughout the site that will provide 118 parking spots. The applicant is proposing to maintain the access roads throughout the site as gravel; Section 36-330, Off-street parking, of the Ordinance would require the parking areas to be hard-surfaced unless granted a waiver by the Planning Commission. The Planning Commission could also require the access drives to be hard-surfaced.

Phase 2 of the project would include a tent camping area adjacent to Gut Lake, additional covered shelters, and fire pits. Phase 3 would include construction of 26 family cabins, a 4,800-square foot lodge with additional parking. Finally, Phase 4 would include a 1,613-square foot Gold Star Family cabin, fire pit, parking area, and a 1,643-square foot chapel. Future plans include a potential memorial plaza, equestrian bar, and service dog training area.

The project plans, building elevations, floorplans and sign plans are attached to this report for the Planning Commissions review.

**Table 1**  
**Development Review Compliance Table**

<b>Criteria/Regulation</b>	<b>Required by Regulations</b>	<b>Proposed Project</b>	<b>Status</b>
<b>SETBACKS:</b>			
<b>PPRF</b>			
Front Yard	100 feet	100 feet	Conforms
Rear Yard	100 feet	160 feet	Conforms
Minimum Side	50 feet	190/284 feet	Conforms
<b>Natural River</b>			
Ordinary High Water Mark	125 feet	130 feet	Conforms
<b>Private Campground (36-185)</b>			
	200 feet from residential district	200 feet	Conforms
	100 feet from wetland	100 feet	Conforms
<b>NUMBER OF STORIES/ HEIGHT</b>	2.5 story/ 35 feet	2 story/ 26 feet	Conforms
<b>LOT SIZE:</b>	40 acres	Approximately 92 acres	Conforms

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p><b>SUGGESTED LANDSCAPING:</b></p> <p><b>North greenbelt:</b> A 20 foot-wide greenbelt along the Winans Lake right-of-way planted with equivalent of one canopy tree and four shrubs, rounded upwards, for every 40 linear feet of frontage planted with the greenbelt.</p> <p><b>West, east, and south buffer:</b> A 20-foot wide buffer zone to include a six-foot high continuous wall or required berm and 1 canopy tree, 1 evergreen tree, and 4 shrubs per each 30 linear feet along the property line.</p> <p><b>Parking lot landscaping:</b> In all commercial and multiple family districts, one canopy tree shall be required for each 2,000 square feet of paved driveway and parking lot surface, provided that in no case less than two trees provided.</p>	<p>46 canopy trees; 184 shrubs</p> <p>West: 45 canopy, 45 evergreen, 180 shrubs</p> <p>East: 44 canopy, 44 evergreen, 174 shrubs</p> <p>South: 44 canopy, 44 evergreen, 174 shrubs</p> <p>The applicant should provide a hard-surfaced parking area calculation and number of trees that would meet this requirement.</p>	<p>No landscaping plan submitted.</p> <p>A berm is proposed along the west property boundary but no details have been provided.</p>	<p>Conforms See landscaping plan.</p>

**Sec. 36-280. Existing plant material.**

(a) *Consideration of existing elements in the landscape design.* In instances where healthy plant material exists on a site prior to its development, the planning commission may permit substitution of such plant material in place of the requirements set forth in this section.

Criteria/Regulation	Required by Regulations	Proposed Project	Status
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**Staff Analysis:**

No landscaping plan was submitted. Because of the existing single-family dwellings to the west and east, staff would suggest that the Planning Commission require a berm with landscaping along the west and east property boundaries. The applicant could show what existing vegetative material is being preserved along the west and east.

A landscaped greenbelt along Winans Lake Road should be provided per the landscaping standards as shown in the above table. The greenbelt would provide screening from the use to the residential district to the north and from Winans Lake Road.

Additionally, parking lot landscaping should be considered to help break up the visual appearance of the parking areas, although those parking areas are likely to be visible only from internal to the site.

<b>LIGHTING:</b>			
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**Section 36-295:**

- 1. **Exterior lighting shall be fully shielded and directed downward toward the Earths surface, away from residential uses, roads, glass, water or other reflective materials which would create excessive off-site glare or incident rays.**

No lighting plan was submitted. It is staff’s understanding that the sports fields will not be lit but that low-level lighting will be installed in the camping areas.

**Staff Suggestion Condition:** A photometric plan shall be submitted for final site plan approval that conforms to the township lighting requirements.

- 2. **The Zoning Administrator and/or Planning Commission may approve decorative light fixtures as an alternative to shielded fixtures when it can be proven that there will be no off-site glare and the proposed fixtures will improve the appearance of the site.**

No lighting details have been submitted.

- 3. **Lights on poles shall not be taller than the building whose area they illuminate nor taller than fifteen (15) feet whichever is shorter. Lights on poles may exceed fifteen (15) feet up to twenty (20) feet if the fixtures are located a minimum of seventy-five (75) feet from any planned, zoned or used residential areas.**

No lighting details have been submitted.

- 4. **Lighting shall not be of a flashing, moving or intermittent type.**

No lighting details have been submitted.

- 5. **Except where used for security purposes, all outdoor lighting fixtures, existing or hereafter installed and maintained shall be turned off between 11:00 p.m. and sunrise, except when used for commercial and industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business. Businesses with light fixtures used for security purposes are encouraged to use a motion**



Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p><b>detection device which is directed to detect motion within the property.</b></p> <p><b>Staff Suggested Condition:</b>                      All lighting shall be turned off between 11:00 PM and Sunrise except when used for commercial and industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business. Lighting used for security between 11:00 pm and sunrise shall be controlled by a motion sensor.</p> <p><b>6. Any light fixture must be placed in such a manner that no light emitting surface is visible from any residential area or public/private roadway, walkway, trail or other public way when viewed at ground level.</b>                      See above.</p> <p><b>7. The intensity of light within a site shall not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted. The only exception is with gas station canopy and automobile dealership lighting, where a maximum of twenty (20) footcandles is permitted within the site but the above standards shall apply to intensity at the property line.</b>                      See standard number one.</p>			
<p><b>PARKING:</b>                      Per EGLE Public Health Code Act 368 of 1978 vehicles parking equal to a minimum of 1.5 times the number of sites in a campground:</p> <p style="text-align: center;">RV sites                      Cabins                      Tents                      Total</p>	<p style="text-align: center;"><math>27 \times 1.5 = 41</math>  <math>27 \times 1.5 = 41</math>  <math>20 \times 1.5 = 30</math>                      112</p>	<p style="text-align: center;">201 regular spaces provided; 19 barrier free spaces provided</p> <p style="text-align: center;">220 spaces total provides</p>	<p style="text-align: center;">Conforms</p>
<p><b>Staff analysis:</b> The Zoning Ordinance does not have parking requirements specific to the proposed use. However, the applicant has provided the above parking standards per the Public Health Code Act 368 of 1978. The 220 provided parking spaces exceeds the standards set forth by the Public Health Code and appears to be more than adequate for the array of proposed uses.</p>			
<p><b>Sec. 36-330 Off-street Parking</b></p> <p>(a) Off-street parking for residential uses shall be located on the same lot or parcel as the residence they are intended to serve.</p> <p>(b) Off-street parking for nonresidential uses shall be located on the same lot or</p>			<p style="text-align: center;">N/A</p>

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p>parcel or within 300 feet of the building it is intended to serve provided the provisions of section 36-331 are met.</p>			Conforms
<p>(c) A minimum area of 200 square feet shall be provided for each vehicle parking space and each space shall be designated and reserved for parking.</p>			Conforms
<p>(d) A suitable means of ingress and egress shall be provided and located to minimize traffic congestion and interference with pedestrian movement. The location of all entrances and exits and directional signs, shall be approved by the planning commission, and where required by the county road commission and the Michigan Department of Transportation.</p>			Conforms
<p>(e) Parking areas with a capacity of four or more vehicles shall be hard-surfaced (either concrete, bituminous asphalt or other stabilized engineered surface) prior to occupancy and shall provide adequate drainage facilities to dispose of all collected surface water. The requirement for paving may be waived by the planning commission through subsection (h) of this section.</p>			See paragraph h below.
<p>(f) Except for single-family residential lots, lighting shall be provided for use when a parking area is in operation. The installation of such lighting shall be hooded or shielded as to reflect the light away from abutting or neighboring property.</p>			No lighting proposed
<p>(g) When required off-street parking in a nonresidential district abuts a residential district, there shall be located a landscaped buffer strip 15 feet wide and parallel to the mutual boundary. The buffer strip shall be composed of trees and/or foliage. In lieu of a buffer strip, the planning commission may permit or require a solid fence or wall between six and eight feet in height shall be located along the mutual boundary.</p>			See landscaping discussion
<p>(h) Federal and state requirements regarding handicapped parking and access shall apply. Where the planning commission determines that a gravel off-street parking lot or loading area would be preferable to hard surface paving for environmental and drainage reasons, a gravel parking lot and/or loading area may be permitted. This determination will be based upon the following criteria:</p>			ADA requirements will be reviewed by LCBD.
<p>(1) The types of uses to be conducted in the storage area;</p>			Conforms. ADA accessible parking spaces are hard surfaced.
<p>(2) The types and amounts of hazardous materials to be used at the site;</p>			
<p>(3) The extent of natural vegetation to filter dust generated by a gravel parking or loading area;</p>			
<p>(4) The existence of adjacent uses which may be impacted by dust generated by a gravel parking or loading area;</p>			
<p>(5) Existing hydrologic and ecologic features such as adjacent wetland complexes which may be better protected by the reduced runoff resulting from</p>			

Criteria/Regulation	Required by Regulations	Proposed Project	Status
gravel parking or loading area; (6) Existing soil permeability sufficient to provide desired infiltration; (7) The potential for, or ability to minimize, erosion and sedimentation from a gravel parking or loading area.			

**Staff analysis:** The Commission may grant a waiver to the hard-surfaced parking area per the standards of paragraph h. The township engineer reviewed the site plan with the understanding that the internal access drives would be hard-surfaced, but verbally indicated to staff that gravel access drives would not change the review and would make stormwater management easier due to less hard-surfaced area. The Commission should review the parking area surface waiver in terms of the overall site plan and expected impact to the natural features of the site and the adjacent residential uses.

**SIGNS** The following Zoning Ordinance requirements would apply to signs for this property.

**Sec. 36-473. - Exempt signs.**

(a.) A sign is exempt from the provisions of this article if it is not visible from a street, other public place, or an adjacent property. Exempt signs include, but are not limited to, signs placed inside a structure or building that are not visible or legible through windows or building openings.

**Sec. 36-476. Signs permitted in residential districts (CE, RAA, RA, RB, RC, WFR, NR, MHP, OH, PPRF, and VR)**

(b.) Nonresidential sign. One freestanding monument and one wall-sign are allowed on lots with nonresidential uses other than home occupations. The freestanding sign shall not exceed 20 square feet in area. The wall sign shall not exceed one square foot for every two linear feet of building frontage, or 100 square feet, whichever is less.

(d.) A sign or similar notice is allowed for every 150 feet along the property line of a lot, provided that each sign is no more than two square feet in area, is posted no higher than four feet above grade and is located entirely upon private property. These signs shall not be within 150 feet of another sign and are allowed on vacant sites.

(e.) Permanent signs in the residential zoning districts may be illuminated if they are located along one of the following roads: Bishop Lake Road, Chilson Road, Hamburg Road, M-36, McGregor Road, Pettysville Road, Strawberry Lake Road, Whitewood Road, and Winans Lake Road.

(f.) Permanent signs in residential zoning districts may be electronic display signs with approval of a special use permit under section 36-36, along one of the following roads: Bishop Lake Road, Chilson Road, Hamburg Road, M-36, McGregor Road, Pettysville Road, Strawberry Lake Road, Whitewood Road, and Winans Lake Road.

**Sec. 36-472 General conditions and design criteria.**

(t.) Sign illumination. In this article where signs are allowed to be illuminated the following is required:

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p>(1) Timer controls. Illuminated signs shall be equipped with a functional timer control. Signs shall not be illuminated after 10:00 p.m. or one-half hour after the use of the site ends for the day, whichever is later, nor before 6:00 a.m. or one-half hour before the beginning of the use of the site for the day, whichever is earlier.</p> <p>(2) Backlighting. Signs with internal illumination shall have the lettering and graphics in a lighter color than the background to the maximum extent practical.</p> <p>(3) Frequency. On signs with messages that change, they may change no faster than once every ten seconds.</p> <p>(4) Flashing and animation. Flashing or animated affects are not allowed, including, but not limited to, scrolling, fading in, video clips, moving characters or lettering.</p> <p>(5) Illumination used to attract business is only permitted as allowed above. All other illumination to attract business is not allowed except through section 36-479. (Examples: spot or search lights, lights strips around windows and doors, etc.)</p>			
<p><b>Staff Analysis:</b>            A freestanding monument sign, not more than six feet tall on a 24-inch base, with a maximum area of 20 square feet per sign face would be permitted. Permanent signs shall not be located within ten feet of the front property boundary, per Section 36-472. It appears that the sign would be located approximately five feet from the property boundary. No sign elevations or lighting details have been provided.</p> <p><b>Staff Suggested Conditions:</b>            All signage shall conform to Article XIII, Signs, and land use permits shall be issued prior to installation of signage.</p> <p>No electronic display sign shall be permitted.</p>			

**SITE PLAN REVIEW STANDARDS**

- In the review of all site plans, the Zoning Administrator and the Planning Commission shall endeavor to assure the following:**
- A. The proposed development conforms to all provisions of the Zoning Ordinances.**  
 Please see the development review compliance tables for analysis on the project compliance and consistency with the intent and purpose of the Township’s Zoning Ordinance.

A dock on Huron River may not exceed six feet in width or 20 feet in length. The dock on the river appears to be longer than 20 feet and should be reduced in size; there is no prohibition to having more than one dock so long as no more than three boats are moored. A facility that moors four or more boats is considered by both the Zoning Ordinance and the State of Michigan as a marina.

With staff's suggested conditions, staff believes the proposed development will conform to all the provisions of the Zoning Ordinance.

**B. All required information has been provided.**

The information submitted appears to be adequate to allow the Planning Commission to review the preliminary site plan for the subject site.

**C. The movement of vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.**

Kim Hiller from the Livingston County Road Commission indicated that *Mike and I have reviewed the left-turn lane analysis submitted yesterday and find it acceptable. When a commercial approach permit is issued, a condition of the permit will be that if the site is more successful than predicted or if it opens to the public in the future, a review of the traffic impacts and improvements to Winans Lake Road may be required.*

There are no sidewalks along this portion of Winans Lake Road and it is not expected, due to its intended use as a private campground for veterans, that pedestrian traffic will be coming from off-site. The layout of the internal access drives appears to provide safe and orderly movement through the site and is designed as a typical private campground use.

**D. The proposed development will be harmonious with existing and future uses in the immediate area and the community.**

The proposed development will provide for a private campground dedicated to military veterans and their families. The more impactful uses in terms of noise, those being the sports fields, are all located internally to the site and are not likely to be a nuisance to adjoining properties. The campground uses are all located outside of the required 200-foot setback required by Section 36-185. The Master Plan calls for residential uses to the north, south, east, and west, and staff finds that the proposed site design is compatible with residential uses.

**E. The proposed development provides the necessary infrastructure improvements, such as roads, drainage, pedestrian facilities and utilities, to serve the site, and be adequately coordinated with the current and future use of adjacent properties.**

This site, zoned PPRF, is likely to remain as a stand-alone development (i.e. not tied into an adjacent residential development) and thus the site infrastructure has been designed to accommodate the proposed campground use. Any use other than what was approved via the special use permit would require additional Planning Commission review and approval. Stormwater will be managed on-site, access is

from existing Winans Lake Road, and sanitary requirements will be addressed by the Livingston County Health Department and Hamburg Township. There is no proposed extension of water service from the south and existing sanitary sewer lines along Winans Lake Road will be utilized.

**F. The applicable requirements of Township, County and State agencies are met regarding grading and surface drainage and for the design and construction of storm sewers, storm water holding facilities, water mains, and sanitary sewers.**

As of this writing, the site plan is under review by the Fire Marshal, Utilities Department, Livingston County Road Commission, and the Livingston County Health Department. Prior to issuance of a building permit the applicant will need approvals from all the required local, state, and federal agencies.

**G. Natural resources will be preserved to the maximum extent possible in the site design by developing in a manner which will not detrimentally affect or destroy natural features such as lakes, ponds, streams, wetlands, steep slopes, and woodlands.**

According to the natural features impact statement, there are wetlands areas around Gut Lake and adjacent to Huron River, as well as a pocket of wetlands in the central portion of the subject site. The grading plan indicates that no grading of the wetlands will be necessary. *Any earth work that has a direct impact to the wetlands may be subject to a Part 303 EGLE permit.*

A permanent dock in either Gut Lake or the Huron River would require a State of Michigan permit.

**H. The proposed development shall respect the natural topography to the maximum extent possible by minimizing the amount of cutting, filling, and grading required.**

The site plan does indicate that a stand of trees in the central portion of the site will be removed. See paragraph G above.

**I. The proposed development will not cause soil erosion or sedimentation.**

The LCDC will review and issue a soil erosion or sedimentation control permit prior to issuance of a building permit.

**J. Landscaping, including trees, shrubs and other vegetative material is provided to maintain, improve and/or restore the aesthetic quality of the site.**

While there is an existing heavy vegetative screen along the west property boundary, it appears to be scrub material. The applicants are proposing a berm along the west and southwest boundaries but no additional landscaping is proposed along the north and east boundaries.

**Staff suggested conditions:**

A vegetative berm shall be provided along the length of the west and southwest property boundaries that abut a single-family residential dwelling.

A buffer zone, which may include a buffer, along Winans Lake Road shall be installed.

A vegetative screen, which may include a berm, shall be installed along the northern 1,200 linear feet of the east property boundary.

**K. Conformance to the adopted Hamburg Township Engineering and Design Standards.**

The engineer has reviewed the plans for compliance with the Engineering and Design Standard and provided comment attached to this report.

**L. All proposed commercial, office, industrial, institutional and multiple family development shall utilize quality architecture to ensure that buildings are compatible with surrounding uses, protect the investment of adjacent landowners, blend harmoniously into the streetscape and meet the objectives the Township Master Plan. New buildings, additions and renovations shall be designed to preserve or complement the design character of existing development provide visual harmony between old and new buildings, and create a positive image for the Township's various commercial shopping nodes. Commercial, office, industrial, institutional and multiple family architecture shall be reviewed by the Planning Commission under the following criteria:**

1. **Buildings shall front towards and relate to the public street. Buildings shall be located to create a define streetscape through uniform setbacks and proper relationship to adjacent structures. Proper relationship to existing structures in the area shall be maintained through building mass, proportion, scale, roof line shapes and rhythm. Buildings within the area designated on the M-36 Corridor Plan/Master Plan as the "Hamburg Village" shall be compatible with the historic character of the unincorporated place commonly referred to as the "Old Hamburg Village."**
2. **Building materials and colors shall relate well and be harmonious with the surrounding area. Roof shape and materials shall be architecturally compatible with adjacent buildings and enhance the predominant streetscape. For any side of a principal building facing a public or private street, at least fifty percent (50%) of the facade shall be constructed of, or covered with, the following materials:**
  - a. **Brick;**
  - b. **Fluted or scored concrete block;**
  - c. **Cut stone;**
  - d. **Vinyl siding;**
  - e. **Wood siding;**
  - f. **Glass; or,**
  - g. **Other materials similar to the above as determined by the Planning Commission.**

3. Buildings shall possess architectural variety, but enhance the overall cohesive community character. Buildings shall provide architectural features, details and ornaments such as archways, colonnades, towers, cornices or peaked roof lines.
4. Building walls over 100 feet in length shall be broken up with a combination of the following: varying building lines, windows, architectural accents and trees.
5. Building entrances shall utilize windows, canopies and awnings; provide unity of scale, texture, and color; and provide a sense of place.
6. Where the rear facade of a building will be visible from a residential zoning district, or the rear of the site will be used for public access or parking, such rear facade shall be constructed to a finished quality comparable to the front facade.
7. Signs, landscaping, lighting and other site elements shall be coordinated and compatible with the building design, as well as harmonious with other nearby developments. Developments shall provide site features such as decorative entry signs, ornamental lighting, pedestrian plazas and/or pedestrian furniture.

**Staff Analysis:**

The proposed elevations are attached to the staff report for the Commission's review. Staff believes that the proposed materials, sizes, scale, colors, and height are fitting for both a private campground and to the surrounding residential districts. No elevations of the shelters or bath houses were submitted; the applicant's engineer indicated that the shelters would be open-sided shelters typically used in public parks and the bath houses would be split-faced block or similar.

**Sec. 36-185. Schedule of use regulations—PPRF Public and Private Recreational Facilities District.**

The following standards apply to the special uses of private outdoor recreational and indoor recreational buildings and private campgrounds. Staff comment is in red.

*(1) Private outdoor recreational areas and indoor recreational buildings, such as: recreational fields, rinks or courts, including football, baseball, batting cages, soccer, tennis, basketball, ice skating, swimming pools, animal racing and similar activities, and uses accessory to the above uses, such as refreshment stands, maintenance buildings, office for management functions, spectator seating, restrooms, and service areas. Such uses shall be subject to the following:*

- a. *The site size shall be adequate to accommodate the intended uses, parking, and extensive buffer areas without significant impact on nearby properties in terms of noise, traffic, lighting glare, views, odors, trespassing, dust blowing debris, as determined by the planning commission. The applicant shall provide documentation the site size is adequate using national facility standards.*
- b. *All ingress and egress shall be along a county road. Conforms*
- c. *No building shall be located within 100 feet of a property line. Conforms. Closest building is*



*d. All buildings shall be setback 100 feet from the edge of any wetland or the shoreline of any lake, pond, river or stream. Conforms*

*(2) Public or private campgrounds and lodges, including campgrounds for travel trailers, tent-campers, motor homes, tents, and cabins, subject to the following conditions:*

*a. Minimum lot size shall be 40 acres. Conforms. Lot size is 92 acres.*

*b. All ingress and egress shall be along a county road. Conforms. Winans Lake Road is a county road.*

*c. Development features including the principal and accessory buildings and structures shall be located and related to minimize adverse effects on adjacent properties. Minimum setbacks for any buildings, structures or use areas shall be 200 feet from any property line abutting a residential district. Conforms*

*d. All buildings shall be setback 100 feet from the edge of any wetland or the shoreline of any lake, pond, river or stream. Conforms*

*e. Each campsite shall be at least 2,000 square feet in size. Conforms.*

*f. Each camp site shall be provided with water and sanitary service approved by the health department or have convenient access to approved service buildings. Livingston County Health Department and Hamburg Township must approve sanitary services prior to issuance of permits.*

#### **RECOMMENDATIONS:**

Staff recommend the Planning Commission review, discuss and make a recommendation to the Township Board to either approval or denial of the preliminary Site Plan Application (PSPA23-0001) or table the application and request any additional information deemed necessary for review.

#### Site Plan Review 23-0001 Draft Approval Motion:

The Planning Commission recommends approval of the preliminary **Site Plan Review (SPA 23-0001)** for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River at 6716 Winans Lake Road (TID 4715-14-400-008 and 4715-23-100-002).

The Planning Commission approves the parking surface waiver for (please state the specific parking areas for which a waiver is granted) because it meets the standards set forth in Section 36-330 (h).

#### Conditions:

1. Prior to issuance of a land use permit the applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site

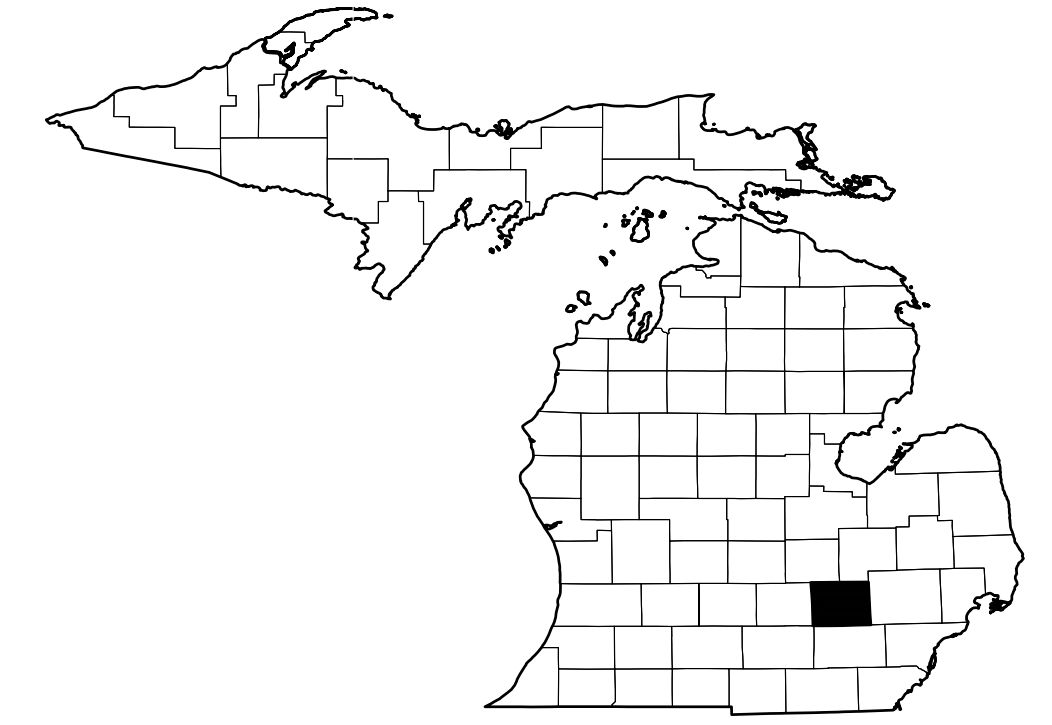
- whereby a maximum of 0.5 footcandles is permitted.
2. All lighting shall be turned off between 11:00 PM and Sunrise except when used for commercial and industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business. Lighting used for security between 11:00 pm and sunrise shall be controlled by a motion sensor.
  3. Prior to issuance of a land use permit the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Engineering and Public Works Departments, Livingston County Drain Commissioner, Livingston County Road Commission, and Health Department.
  4. All signage shall conform to Article XIII, Signs, and land use permits shall be issued prior to installation of signage.
  5. No electronic display sign shall be permitted.
  6. Any earth work that has a direct impact to the wetlands may be subject to a Part 303 EGLE permit and such permit shall be obtained prior to site work.
  7. A vegetative berm shall be provided along the length of the west and southwest property boundaries that abut a single-family residential dwelling.
  8. A buffer zone, which may include a buffer, along Winans Lake Road shall be installed.
  9. A vegetative screen, which may include a berm, shall be installed along the northern 1,200 linear feet of the east property boundary.
  10. The docks on the Huron River shall be sized to meet the Ordinance requirements.
  11. No public use of the docks shall be permitted.
  12. All required state permits shall be obtained prior to the installation of any docks in the Huron River or Gut Lake.
  13. Upon final approval of the site plan, construction or expansion of any permitted or special use shall conform to the site plan. The approval by the planning commission and Township Board of a site plan shall expire within one year after the date of such approval, unless a land use permit has been issued and construction has commenced.
  14. No sound amplification will be permitted on this site.
  15. Special event usage to be coordinated with Township public safety committee.

**EXHIBITS:**

Final Site Plan July 19, 2023.

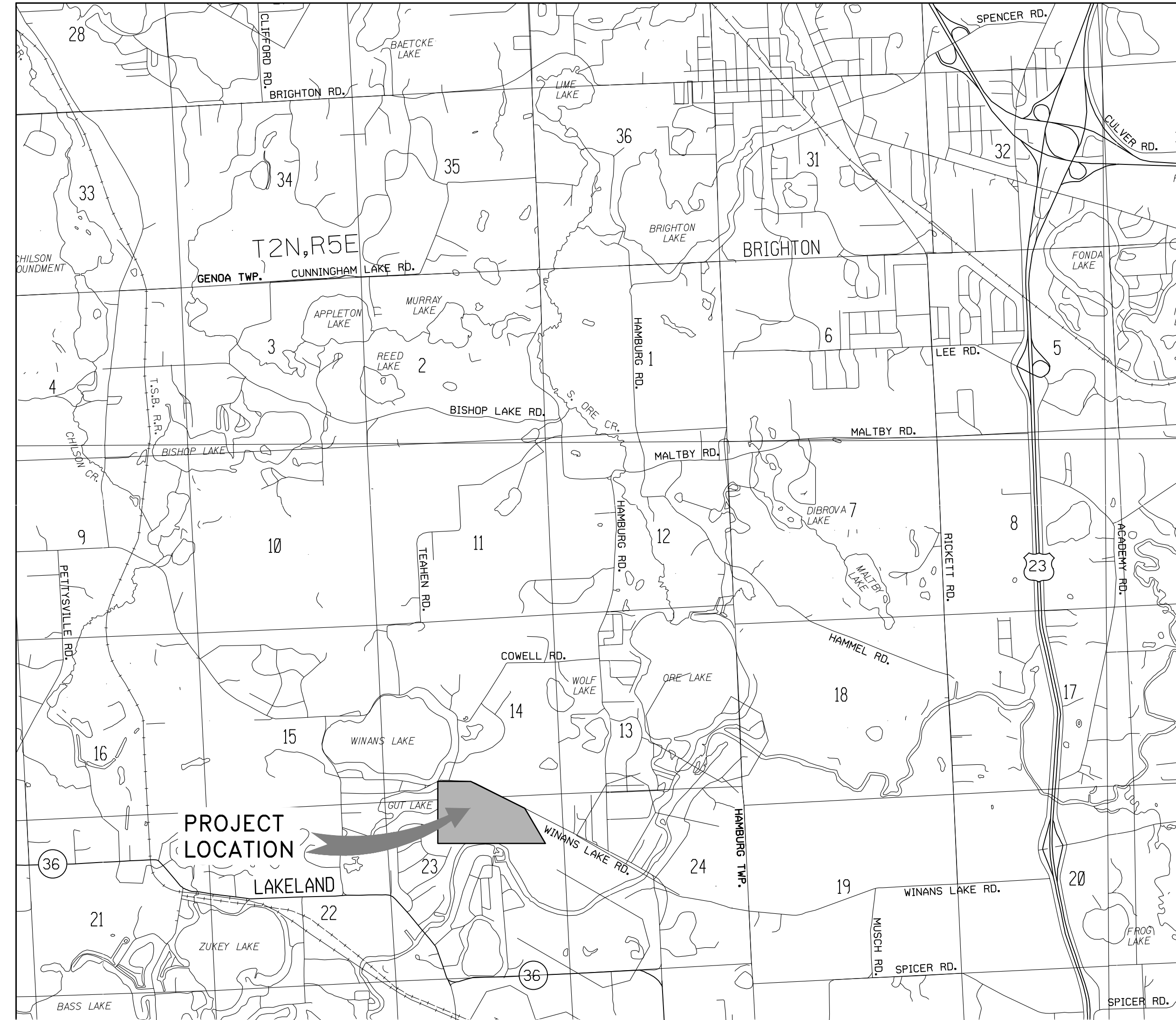
June 21, 2023, Planning Commission meeting minutes

# SITE PLANS FOR FREEDOM RIVER CAMPGROUND 6716 WINANS LAKE ROAD SECTIONS 14 AND 23, T1N, R5E LIVINGSTON COUNTY, HAMBURG TOWNSHIP, MI 48116



**KEY MAP**  
NOT TO SCALE

CONTACTS	
OWNER/DEVELOPER	FREEDOM RIVER, INC. 9305 HURON RAPIDS DRIVE, WHITMORE LAKE, MI 48189 734.231.2792 JANNA YEAKY
CIVIL ENGINEER	WADE TRIM 25251 NORTHLINE ROAD, TAYLOR, MI 48180 734.947.9700 GREG SPIESS, PE GSPIESS@WADETRIM.COM
ELECTRIC	DTE ENERGY 1095 LAWSON, HOWELL, MI 48843 734.332.8145
GAS	CONSUMERS ENERGY ONE ENERGY PLAZA, JACKSON, MI 49201 517.788.7194
WATER & SEWER	HAMBURG TOWNSHIP 10405 MERRILL ROAD, HAMBURG, MI 48139 810.231.1000
PLANNING & ZONING	HAMBURG TOWNSHIP 10405 MERRILL ROAD, HAMBURG, MI 48139 810.231.1000
ROADS	LIVINGSTON COUNTY ROAD COMMISSION 3535 GRAND OAKS DRIVE, HOWELL, MI 48843 517.546.4250
STORM WATER	LIVINGSTON COUNTY DRAIN COMMISSION 2300 E GRAND RIVER, HOWELL, MI 48843 517.546.0040
SOIL EROSION CONTROL	LIVINGSTON COUNTY DRAIN COMMISSION 2300 E GRAND RIVER, HOWELL, MI 48843 517.546.0040



**VICINITY MAP**  
NOT TO SCALE

SITE DATA TABLE	
TAX PARCEL #	4715-23-100-002 & 4715-14-400-008
EXISTING ZONING	WFR & NR
PROPOSED ZONING	PPRF (NR WILL REMAIN)
PROPOSED USE	CAMPGROUND, RECREATIONAL FACILITIES
MINIMUM LOT AREA	1,742,400 SF (40 ACRES)
TOTAL LOT AREA	3,678,694 SF
MINIMUM BUILDING SETBACKS	
FRONT	100'
SIDE	50'
REAR	100'
WETLANDS/BODY OF WATER	100'
ACTUAL SETBACKS	
FRONT (NORTH)	100.1'
SIDE (EAST)	284'
SIDE (WEST)	190.1'
REAR (SOUTH)	160.5'
REQUIRED PARKING SPACE SIZE	10'x20'
PROP. PARKING SPACE SIZE	10'x20'

\*PER SECTION 36-185.(b)(2)c - BUILDINGS, STRUCTURES, OR USE AREAS SHALL BE 200 FEET FROM ANY PROPERTY LINE WHEN ABUTTING A RESIDENTIAL DISTRICT.

PARKING REQUIREMENTS	
TYPE	NO. OF SPACES
REQUIRED	
PER EGLE PUBLIC HEALTH CODE ACT 368 OF 1978 SECTION R325-1558.2 "ROADS AND VEHICLES": A CAMPGROUND OWNER SHALL PROVIDE SPACE FOR VEHICLE PARKING EQUAL TO A MINIMUM OF 1.5 THE NUMBER OF SITES IN A CAMPGROUND	
RV SITES: 27 x 1.5 = 41 SPACES	
CABINS: 27 x 1.5 = 41 SPACES	
TENTS: 20 x 1.5 = 30 SPACES	
PARKING REQUIRED	112
REGULAR SPACES	107
BARRIER FREE SPACES	5 (1 VAN)
PARKING PROVIDED	220
REGULAR SPACES	201
BARRIER FREE SPACES	19

SHEET INDEX	
GENERAL SHEETS	SHEET NO.
COVER SHEET	C0.0
GENERAL NOTES AND LEGENDS	C0.1
EXISTING CONDITIONS PLAN	C1.0
SESC PLAN - A	C2.1
SESC PLAN - B	C2.2
SESC PLAN - C	C2.3
SESC PLAN - D	C2.4
SESC DETAILS	C2.5
DEMOLITION PLAN - A	C2.6
DEMOLITION PLAN - B	C2.7
DEMOLITION PLAN - C	C2.8
DEMOLITION PLAN - D	C2.9
OVERALL SITE PLAN	C3.0
SITE PLAN - A	C3.1
SITE PLAN - B	C3.2
SITE PLAN - C	C3.3
SITE PLAN - D	C3.4
SITE DETAILS	C3.5
DRAINAGE AREA PLAN	C4.0
STORMWATER CALCULATIONS	C4.1
OVERALL UTILITY PLAN - SANITARY	C5.0
OVERALL STM SWR PLAN - STORM	C5.1
UTILITY DETAILS	C5.2
SANITARY PROFILES - A	C5.3
SANITARY PROFILES - B	C5.4
SANITARY PROFILES - C	C5.5
OVERALL LANDSCAPE PLAN	L1.0
STREET BUFFER PLAN	L1.1
STREET BUFFER PLAN	L1.2
EAST GREENBELTPLAN	L1.3
EAST GREENBELTPLAN	L1.4
SOUTH GREENBELTPLAN	L1.5
PLANT SCHEDULE & DETAILS	L1.6
LANDSCAPE NOTES	L1.7

DATE	DESCRIPTION	BY
7/19/23	SITE PLAN SUBMITTAL REVISION #1	GLS
6/1/23	SITE PLAN SUBMITTAL	GLS

REVISIONS	
JOB NO.	SHEET
VCM2001	C0.0



PREPARED UNDER THE SUPERVISION OF:



*Gregory L. Spiess*  
GREGORY L. SPIESS, PE  
STATE OF MICHIGAN NO. 69058

**LEGAL DESCRIPTION:**

PARCEL NUMBER: 4715-23-100-002  
(OBTAINED FROM LIVINGSTON COUNTY GIS MAP DATA)

SEC 23 T1N R5E NE1/4 OF NW1/4 ALSO NW1/4 OF NE FRL 1/4 EXC 1.5 AC N OF HWY ALSO 7 AC IN SW1/4 OF NE FRL 1/4 NE OF HURON RIVER 85 AC

PARCEL NUMBER: 4715-14-400-008  
(OBTAINED FROM LIVINGSTON COUNTY GIS MAP DATA)

SEC 14 T1N R5E 8.5 AC OF SW 1/4 OF SE 1/4 S OF HWY & E 343.2 FT OF SE 1/4 OF SW 1/4 S OF HWY



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25201 Northline Rd.  
Farmington, MI 48330  
734.947.9700  
www.wadetrim.com



**FREEDOM RIVER, INC.**  
9305 HURON RAPIDS DRIVE  
WHITEMORE LAKE, MI 48189  
GENERAL NOTES AND LEGENDS  
FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR: DATE: BY:  
SPA 6/1/23 GLS  
SPA REV 1 7/19/23 GLS

JOB NO.  
VCM2001

SHEET  
C0.1

### EXISTING LEGEND

#### LINE WORK

BOUNDARY	
RIGHT OF WAY	
BUILDING/WETLAND SETBACK	
BUILDING	
CURB & GUTTER	
CHAIN LINK FENCE	
SHORE OR EDGE OF WATER	
WETLAND	
WETLAND BUFFER	
EDGE OF WOODS	
EDGE OF BRUSH	
MAJOR CONTOUR	
MINOR CONTOUR	
SANITARY SEWER MAIN	
OVERHEAD ELECTRIC	
GAS MAIN OR SERVICE	

#### TOPOGRAPHIC FEATURES

FOUND IRON ROD	
GOVERNMENT CORNER	
BENCHMARK	
MAIL BOX	
MONITORING WELL	
ROUND POST OR BOLLARD	
SIGN POST	
DECIDUOUS TREE OR BUSH	

#### UTILITIES SYMBOLS

SANITARY SEWER MANHOLE	
UTILITY POLE	
GAS METER	
TELEPHONE PEDISTAL	

### DEMOLITION NOTES

- ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH MIOSHA REGULATIONS INSOFAR AS THEY APPLY TO THE REQUIRED WORK. A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT WILL BE REQUIRED PRIOR TO DEMOLITION.
- THE CONTRACTOR SHALL REMOVE AND CLEAR ALL TREES, BRUSH, FENCES, BUILDINGS, CONCRETE, AND ASPHALT AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- ALL DEMOLITION MATERIAL SHALL BE PROPERLY REMOVED FROM THE SITE AND DISPOSED OF IN A LEGALLY DESIGNATED DISPOSAL AREA. NO ON-SITE BURNING WILL BE ALLOWED WITHOUT PROPER PERMISSION. PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
- THE EXACT LOCATION OF EXISTING UTILITIES ARE UNKNOWN. THE CONTRACTOR SHALL FIELD LOCATE EXISTING UTILITIES PRIOR TO COMMENCING WITH DEMOLITION.
- THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING EXCAVATION AREAS WITH M.D.O.T. CLASS II MATERIAL. ALL FILL MATERIAL SHALL BE BACKFILLED WITH MAX. 12" LIFTS & COMPACTED TO 95% MAX. DENSITY PER ASTM D1557 (MODIFIED PROCTOR).
- THE DEMOLITION CONTRACTOR SHALL COORDINATE ALL UTILITY REMOVAL/RELOCATION WITH THE APPROPRIATE UTILITY COMPANY.
- BUILDING REMOVAL TO INCLUDE ALL FOOTINGS, SLABS AND BELOW GRADE PORTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL MATERIALS OFF-SITE.
- ALL CONCRETE AND ASPHALT TO BE REMOVED SHALL BE SAW CUT WHERE REQUIRED ALONG PROPOSED LIMITS OF DEMOLITION.
- AT THE CONCLUSION OF THE DEMOLITION OPERATIONS, THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION. ALL PROTECTIVE DEVICES AND BARRIERS SHALL BE REMOVED.

### SITE PLAN NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVAL AND DISPOSAL OF DEMOLISHED ITEMS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO PAVEMENT, CONCRETE, STORM DRAINAGE STRUCTURES AND PIPING, VEGETATION AND TREES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITY'S REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN THE BASE BID.
- ALL PARKING LOT STRIPING SHALL BE IN ACCORDANCE WITH THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". ALL STRIPING SHALL BE WATERBORNE PER MDT SPECIFICATIONS AND ALL STRIPING SHALL BE 4" TRAFFIC YELLOW UNLESS OTHERWISE NOTED. CONTRACTOR SHALL APPLY 2 COATS OF PAVEMENT MARKINGS, 1 MONTH APART.
- ALL BARRIER FREE PARKING, SIGNAGE & STRIPING SHALL BE IN ACCORDANCE WITH MICHIGAN BARRIER FREE STANDARDS. STRIPING SHALL BE WATERBORNE PAVEMENT MARKING PER MDT SPECIFICATIONS, COLOR BLUE UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR IS RESPONSIBLE FOR PROPER TRAFFIC CONTROL DURING CONSTRUCTION IN ACCORDANCE WITH THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
- SITE CONTRACTOR SHALL REFER TO LIGHTING PLANS FOR LIGHTING LOCATIONS AND FOUNDATIONS. SITE CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL SITE LIGHTING AND CIRCUITRY PRIOR TO PLACING UTILITIES AND INSTALLING PAVEMENTS.
- CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH 4" OF TOPSOIL, SEED AND MULCH.
- ALL LIGHTING SHALL BE TURNED OFF BETWEEN 11:00PM AND SUNRISE. LIGHTING USED FOR SECURITY BETWEEN 11:00PM AND SUNRISE SHALL BE CONTROLLED BY A MOTION SENSOR.
- NO PUBLIC USE OF THE DOCKS SHALL BE PERMITTED.
- NO SOUND AMPLIFICATION WILL BE PERMITTED ON SITE.

#### BENCHMARKS

- BM#1:** SPIKE IN NORTH FACE OF UTILITY POLE 130' SOUTHWEST OF THE INTERSECTION OF WINANS LAKE RD. AND BUCKHORN LN.  
ELEV=892.31 (NAVD 88)
- BM#2:** SPIKE IN SOUTH SIDE OF 20" COTTONWOOD LOCATED 20' EAST OF LAKE CREST DR.  
ELEV=891.71 (NAVD 88)

### SESC LEGEND

TEMPORARY SILT FENCE	
MAJOR CONTOUR	
MINOR CONTOUR	
DRAINAGE SWALE	
DRAINAGE FLOW ARROW	
FILTER BERM OR CHECK DAM	
LIMITS OF DISTURBANCE/PROJECT LIMITS	
SOIL TYPE	
CONSTRUCTION ENTRANCE	
STAGING/STOCK PILE AREA	

### DEMOLITION LEGEND

SAWCUT FULL DPETH	
BUILDING REMOVAL	
WOODED AREA REMOVAL	

### PROPOSED LEGEND

#### SITE LEGEND

FIRE HYDRANT	
WATER VALVE IN BOX	
WATER MAIN	
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEAN OUT	
SANITARY PUMP STATION	
SANITARY SEWER MAIN	
STORM CATCH BASIN	
STORM MANHOLE	
STORM SEWER END SECTION	
STORM SEWER LINE	
DRAINAGE SWALE	
TOP OF BANK	
BUILDING LINE	
BUILDING SETBACK	
PARKING COUNT	
SIGN AND SIGN POST	
ACCESSIBLE SYMBOL	
CONCRETE SURFACE SEE DETAIL ON SHEET C3.5	
SOLAR FARM	

NOTE: FOR EXISTING FEATURES SEE TOPOGRAPHIC SURVEY OR EXISTING CONDITIONS PLAN.

#### GRADING LEGEND

CURB ELEVATION WHERE: T = TOP OF CURB G = GUTTER OR PVMT.	
THICKENED EDGE WALK ELEV. WHERE: T = TOP OF WALK P = PAVEMENT	
SPOT ELEV. WHERE XXX IS ONE OF THE FOLLOWING: TOP OF CONCRETE ELEV. TOC FINISH GRADE ELEV. FG DOOR ELEV. DOOR RIM ELEV. RIM BACK OF CURB ELEV. BOC GUTTER ELEV. GUT MATCH EXISTING ELEV. MATCH TOP OF PAVEMENT ELEV. T/P TOP OF WALL ELEV. TOW BOTTOM OF WALL ELEV. BOW TOP OF BANK ELEV. TOB TOE OF SLOPE ELEV. TOE FINISH FLOOR ELEV. FFE ADJUST RIM ELEV. ADJUST	
DRAINAGE FLOW	
DRAINAGE SLOPE	
FINISH GRADE SLOPE	
MAJOR CONTOUR	
MINOR CONTOUR	

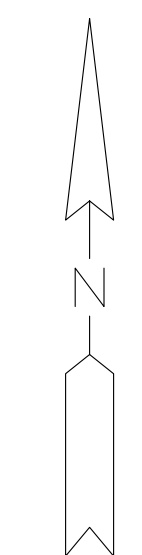
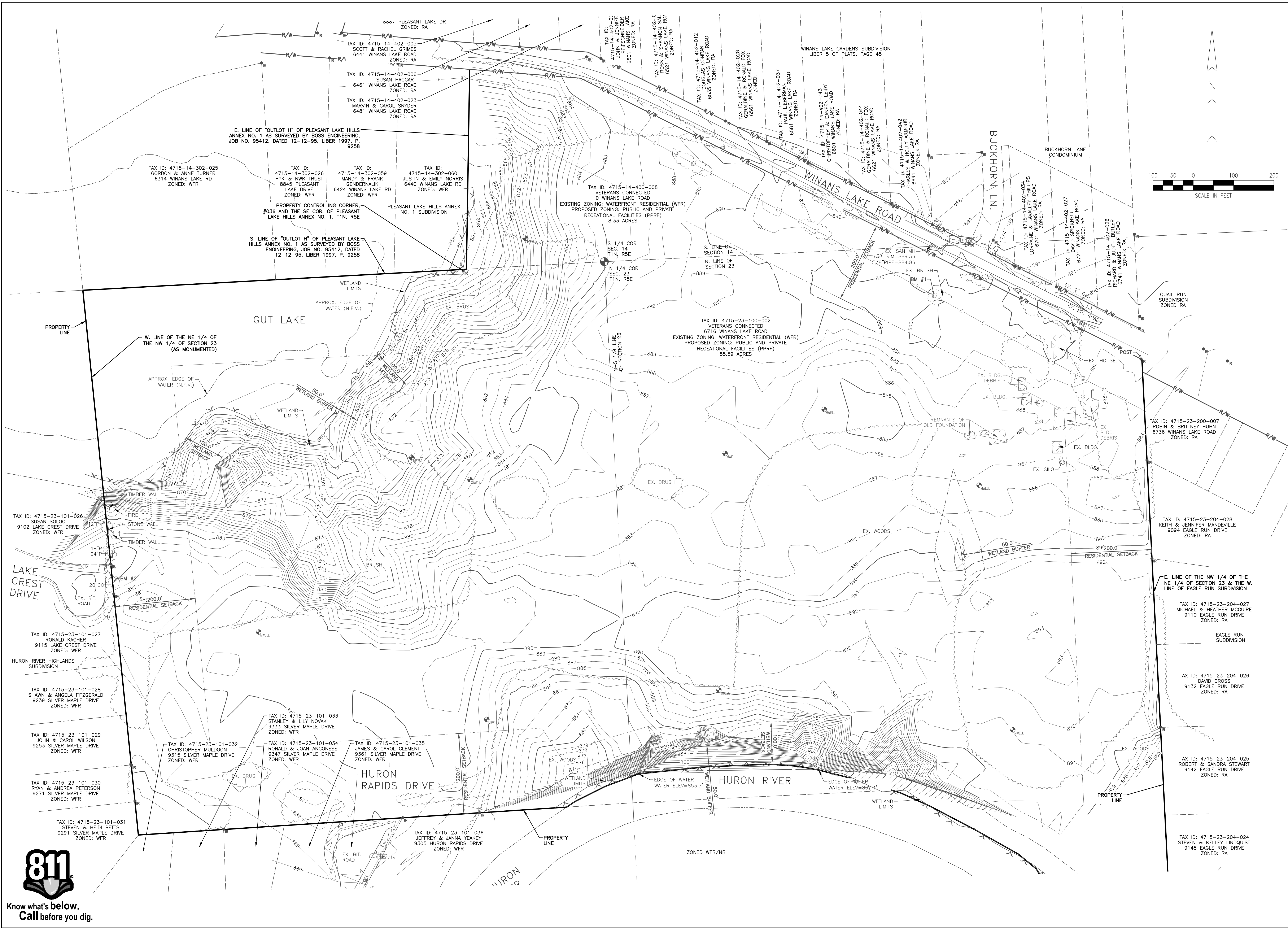


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FIELD BOOK INFORMATION: -  
PROJECT MANAGER: -  
C:\PW\_WORK\WADE-TRIM\_C10\_EXISTING\_CONDITIONS\_PLAN - PLOTTED 7/19/2023 3:49 PM BY SPIESS, GREG



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REV#	DATE	DESCRIPTION
1	7/19/23	SITE PLAN REVIEW

ISSUED FOR: SPA  
DATE: 6/1/23  
BY: GLS

DATE: 7/19/23  
BY: GLS

JOB NO. VCM2001

SHEET C1.0

811 logo

WADE TRIM logo

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**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
 EXISTING CONDITIONS PLAN  
 FOR  
 FREEDOM RIVER CAMPGROUND

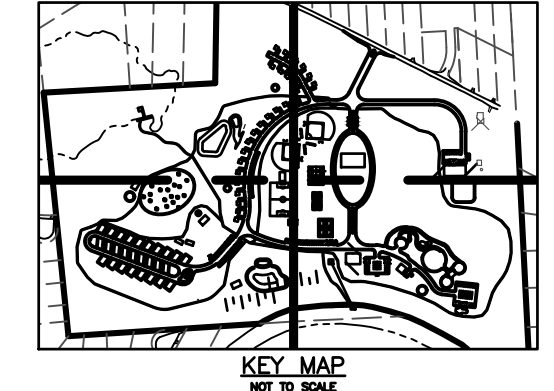
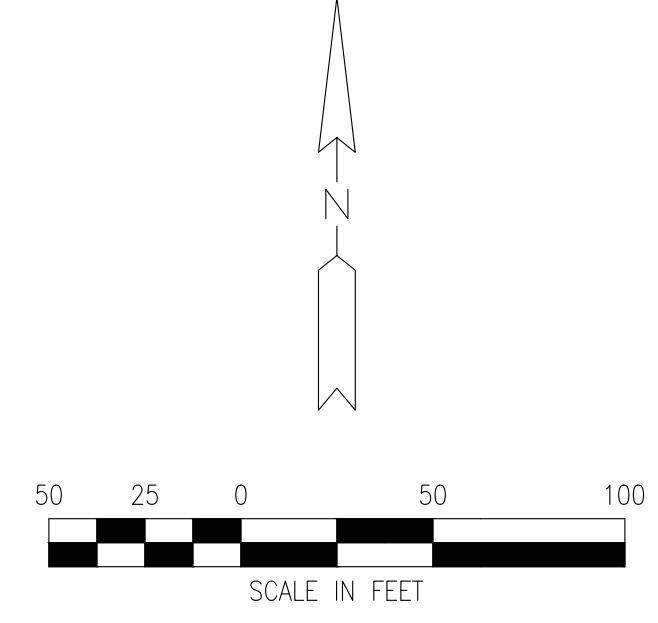
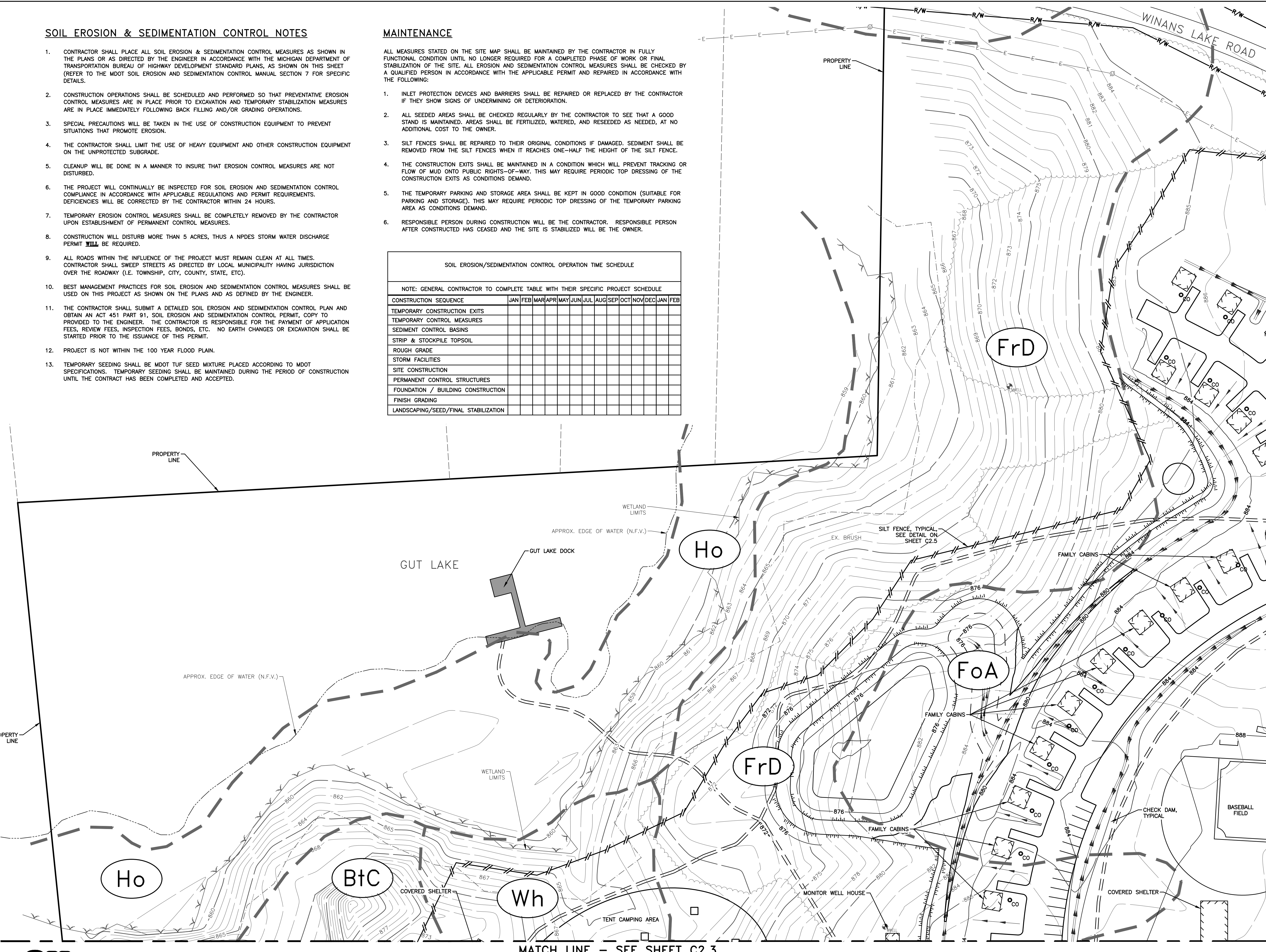
**SOIL EROSION & SEDIMENTATION CONTROL NOTES**

- CONTRACTOR SHALL PLACE ALL SOIL EROSION & SEDIMENTATION CONTROL MEASURES AS SHOWN IN THE PLANS OR AS DIRECTED BY THE ENGINEER IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLANS, AS SHOWN ON THIS SHEET (REFER TO THE MDT SOIL EROSION AND SEDIMENTATION CONTROL MANUAL SECTION 7 FOR SPECIFIC DETAILS).
- CONSTRUCTION OPERATIONS SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACK FILLING AND/OR GRADING OPERATIONS.
- SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
- THE CONTRACTOR SHALL LIMIT THE USE OF HEAVY EQUIPMENT AND OTHER CONSTRUCTION EQUIPMENT ON THE UNPROTECTED SUBGRADE.
- CLEANUP WILL BE DONE IN A MANNER TO INSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
- THE PROJECT WILL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENTATION CONTROL COMPLIANCE IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PERMIT REQUIREMENTS. DEFICIENCIES WILL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR UPON ESTABLISHMENT OF PERMANENT CONTROL MEASURES.
- CONSTRUCTION WILL DISTURB MORE THAN 5 ACRES, THUS A NPDES STORM WATER DISCHARGE PERMIT **WILL** BE REQUIRED.
- ALL ROADS WITHIN THE INFLUENCE OF THE PROJECT MUST REMAIN CLEAN AT ALL TIMES. CONTRACTOR SHALL SWEEP STREETS AS DIRECTED BY LOCAL MUNICIPALITY HAVING JURISDICTION OVER THE ROADWAY (I.E. TOWNSHIP, CITY, COUNTY, STATE, ETC).
- BEST MANAGEMENT PRACTICES FOR SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE USED ON THIS PROJECT AS SHOWN ON THE PLANS AND AS DEFINED BY THE ENGINEER.
- THE CONTRACTOR SHALL SUBMIT A DETAILED SOIL EROSION AND SEDIMENTATION CONTROL PLAN AND OBTAIN AN ACT 451 PART 91, SOIL EROSION AND SEDIMENTATION CONTROL PERMIT, COPY TO PROVIDED TO THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE PAYMENT OF APPLICATION FEES, REVIEW FEES, INSPECTION FEES, BONDS, ETC. NO EARTH CHANGES OR EXCAVATION SHALL BE STARTED PRIOR TO THE ISSUANCE OF THIS PERMIT.
- PROJECT IS NOT WITHIN THE 100 YEAR FLOOD PLAN.
- TEMPORARY SEEDING SHALL BE MDT TUF SEED MIXTURE PLACED ACCORDING TO MDT SPECIFICATIONS. TEMPORARY SEEDING SHALL BE MAINTAINED DURING THE PERIOD OF CONSTRUCTION UNTIL THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED.

**MAINTENANCE**

- ALL MEASURES STATED ON THE SITE MAP SHALL BE MAINTAINED BY THE CONTRACTOR IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE APPLICABLE PERMIT AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
  - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY BY THE CONTRACTOR TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED, AT NO ADDITIONAL COST TO THE OWNER.
  - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
  - THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
  - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
  - RESPONSIBLE PERSON DURING CONSTRUCTION WILL BE THE CONTRACTOR. RESPONSIBLE PERSON AFTER CONSTRUCTION HAS CEASED AND THE SITE IS STABILIZED WILL BE THE OWNER.

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE														
NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE														
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB
TEMPORARY CONSTRUCTION EXITS														
TEMPORARY CONTROL MEASURES														
SEDIMENT CONTROL BASINS														
STRIP & STOCKPILE TOPSOIL														
ROUGH GRADE														
STORM FACILITIES														
SITE CONSTRUCTION														
PERMANENT CONTROL STRUCTURES														
FOUNDATION / BUILDING CONSTRUCTION														
FINISH GRADING														
LANDSCAPING/SEED/FINAL STABILIZATION														



- DATA**
- SOIL TYPE:  
 BIA, BOYER-OSSTEMO LOAMY SANDS, 0 TO 2 PERCENT SLOPES  
 BtB, BOYER-OSSTEMO LOAMY SANDS, 2 TO 6 PERCENT SLOPES  
 BtC, BOYER-OSSTEMO LOAMY SANDS, 6 TO 12 PERCENT SLOPES  
 BwA, BRONSON LOAMY SAND, 0 TO 2 PERCENT SLOPES  
 CarabA, CARLISLE MUCK, 0 TO 2 PERCENT SLOPES  
 FoA, FOX SANDY LOAM, 0 TO 2 PERCENT SLOPES  
 FoB, FOX SANDY LOAM, 2 TO 6 PERCENT SLOPES  
 FoC, FOX SANDY LOAM, 6 TO 12 PERCENT SLOPES  
 FrD, FOX-BOYER COMPLEX, 12 TO 18 PERCENT SLOPES  
 FrE, FOX-BOYER COMPLEX, 18 TO 25 PERCENT SLOPES  
 FrF, FOX-BOYER COMPLEX, 25 TO 40 PERCENT SLOPES  
 GD, GILFORD SANDY LOAM, 0 TO 2 PERCENT SLOPES  
 HgtaA, HOUGHTON MUCK, 0 TO 1 PERCENT SLOPES  
 LM, LINWOOD MUCK  
 MIB, METAMORA SANDY LOAM, 0 TO 4 PERCENT SLOPES  
 OkB, OAKVILLE FINE SAND, LOAMY SUBSTRATUM, 0 TO 6 PERCENT SLOPES  
 Wh, WASHTENAW SILT LOAM
- TOTAL DISTURBED AREA = X.XX ACRES
- CLOSEST BODY OF WATER:  
 NAME: HURON RIVER  
 DIST.: ON SITE

MATCH LINE - SEE SHEET C2.2

MATCH LINE - SEE SHEET C2.3

PROJECT MANAGER: C:\PW\_WORK\WADE-TRIM\_CSPRESS\1228134\PLTS-SESC\_PLANDWG - C2.1\_SESC\_PLAN - A - PLOTTED 7/19/23 5:49 PM BY: SRESS, GREG



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REV#	DATE	DESCRIPTION
1	7/19/23	SITE PLAN REVIEW

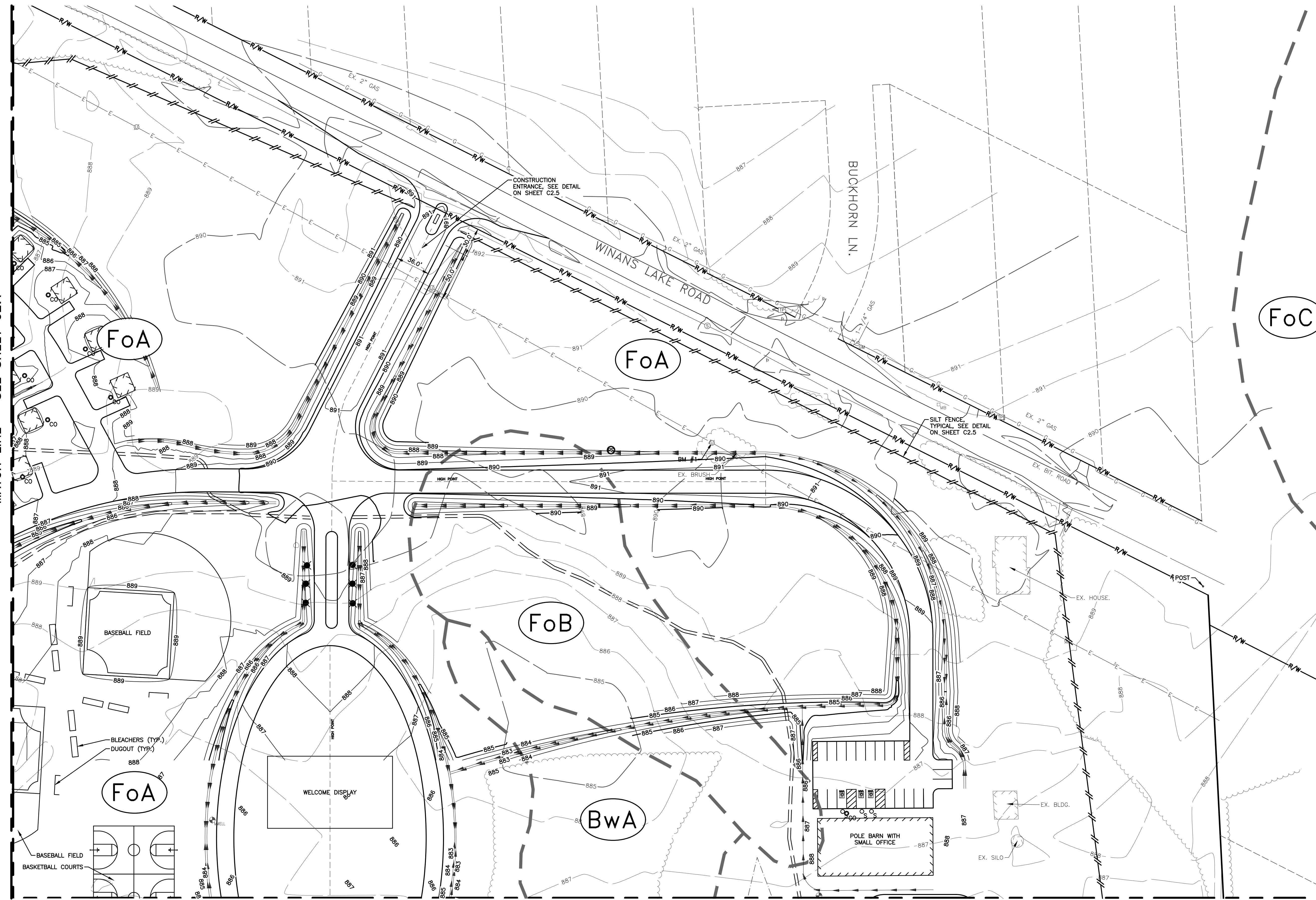
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**FREEDOM RIVER, INC.**  
 9305 HURON RAPIDS DRIVE  
 WHITEMORE LAKE, MI 48189

SESC PLAN - A  
 FOR  
 FREEDOM RIVER CAMPGROUND

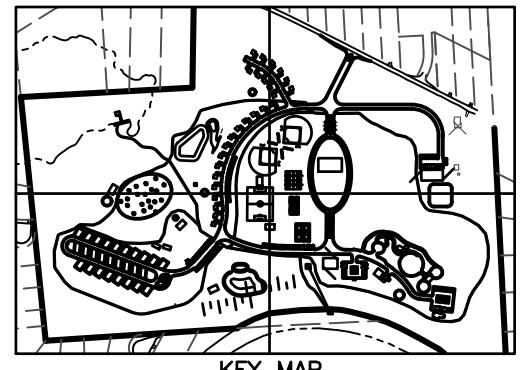
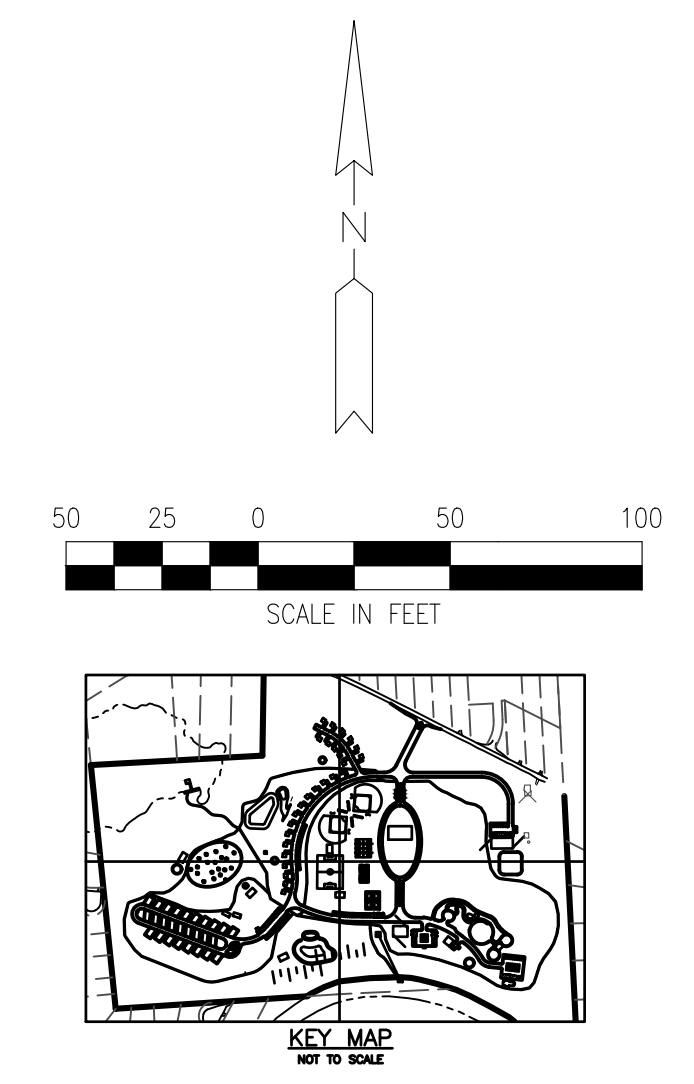
ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
SPA REV 1	7/19/23	GLS
JOB NO. VCM2001		
SHEET C2.1		

PROJECT MANAGER: C:\PW\_WORK\WADE-TRIM\_GSPRESS\1228134\PLTS-SESC\_PLAN\DWG - C2.2\_SESC\_PLAN - B - PLOTTED 7/19/2023 3:49 PM BY: SPSHES, DREG



MATCH LINE - SEE SHEET C2.1

MATCH LINE - SEE SHEET C2.4



Item 2	BY
1	7/19/23
REV#	DATE
SITE PLAN REVIEW DESCRIPTION	

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 WHITEMORE LAKE, MI 48189

SESC PLAN - B  
 FOR  
 FREEDOM RIVER CAMPGROUND

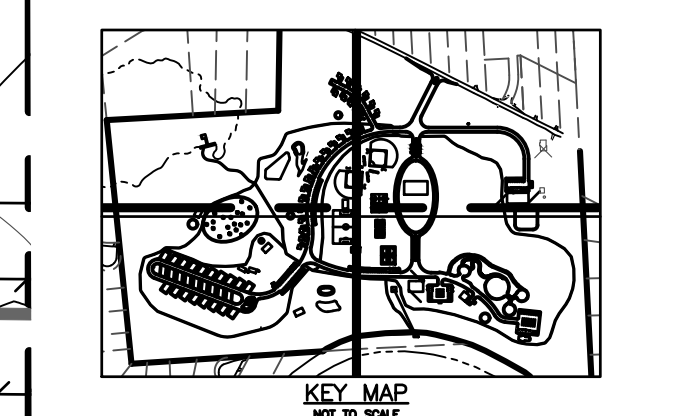
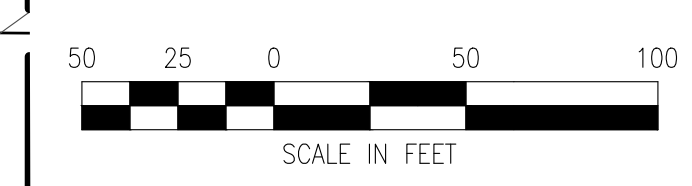
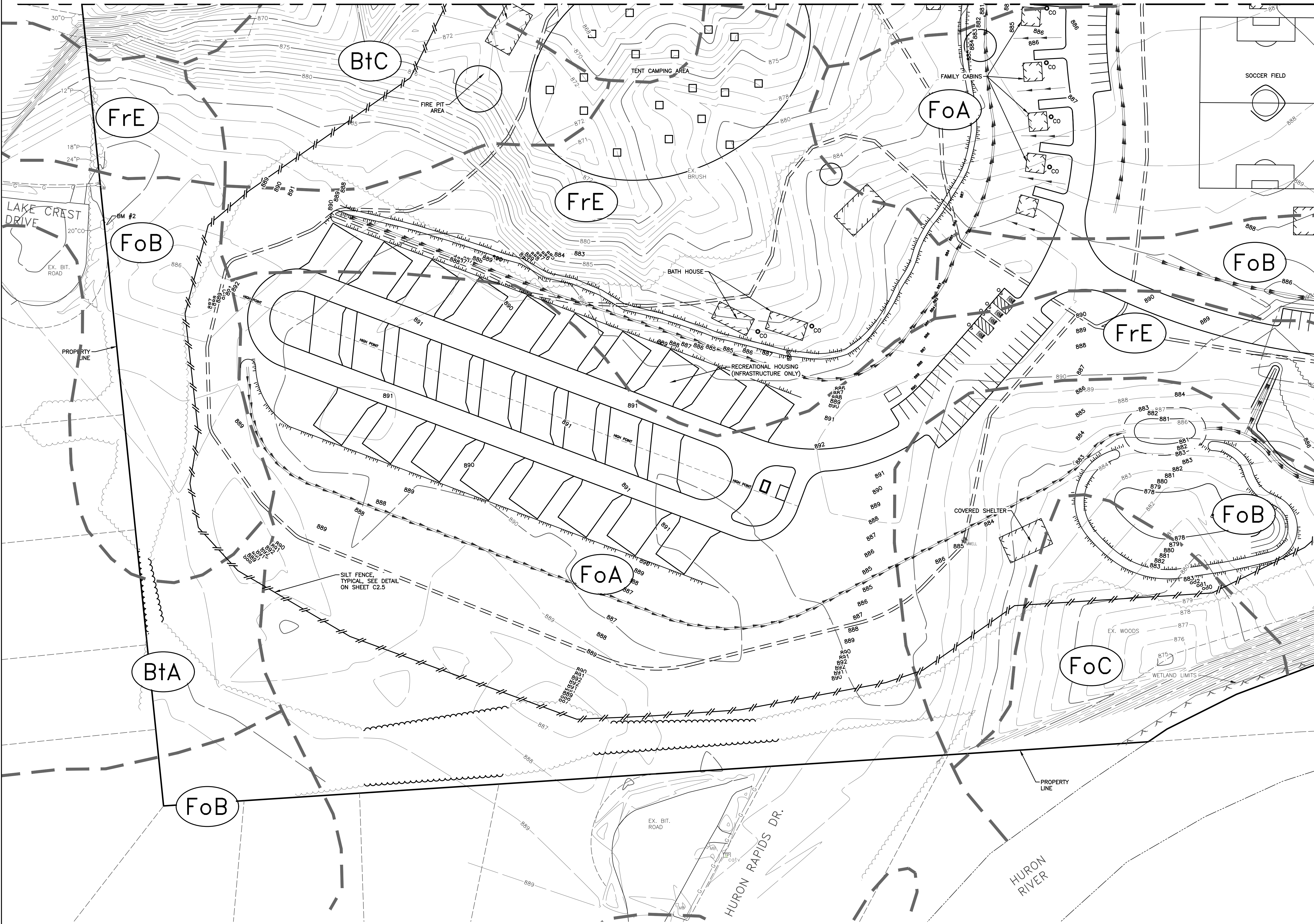
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JOB NO.	VCM2001	
SHEET	C2.2	

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MATCH LINE - SEE SHEET C2.1



MATCH LINE - SEE SHEET C2.4

REV#	DATE	DESCRIPTION
1	7/19/23	SITE PLAN REVIEW
BY		

**WADE TRIM**

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734.947.2700  
www.wadetrtrim.com

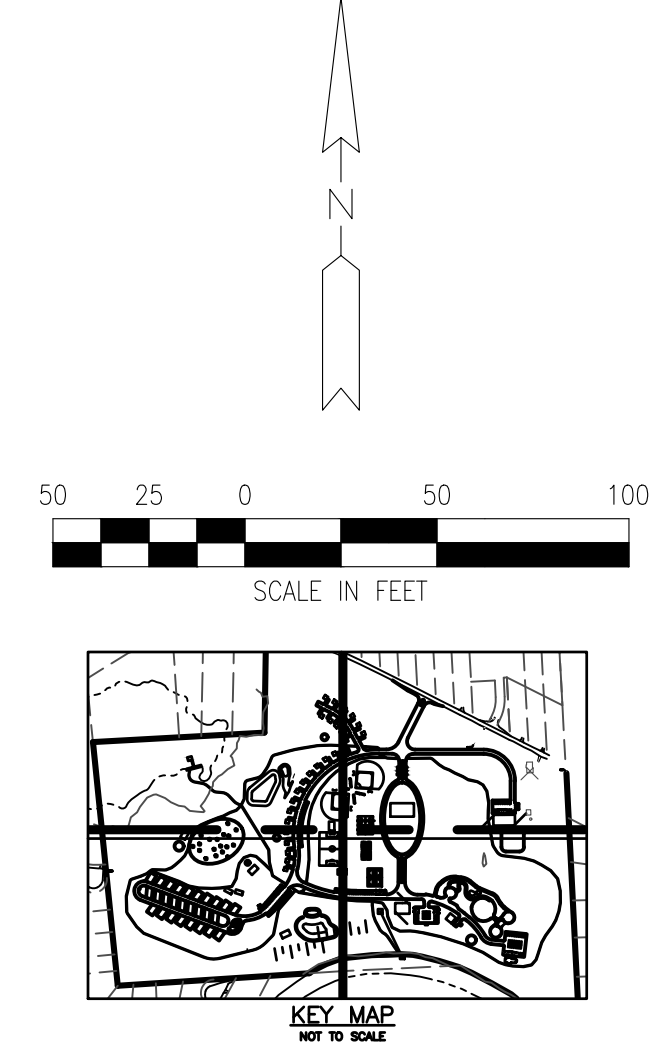
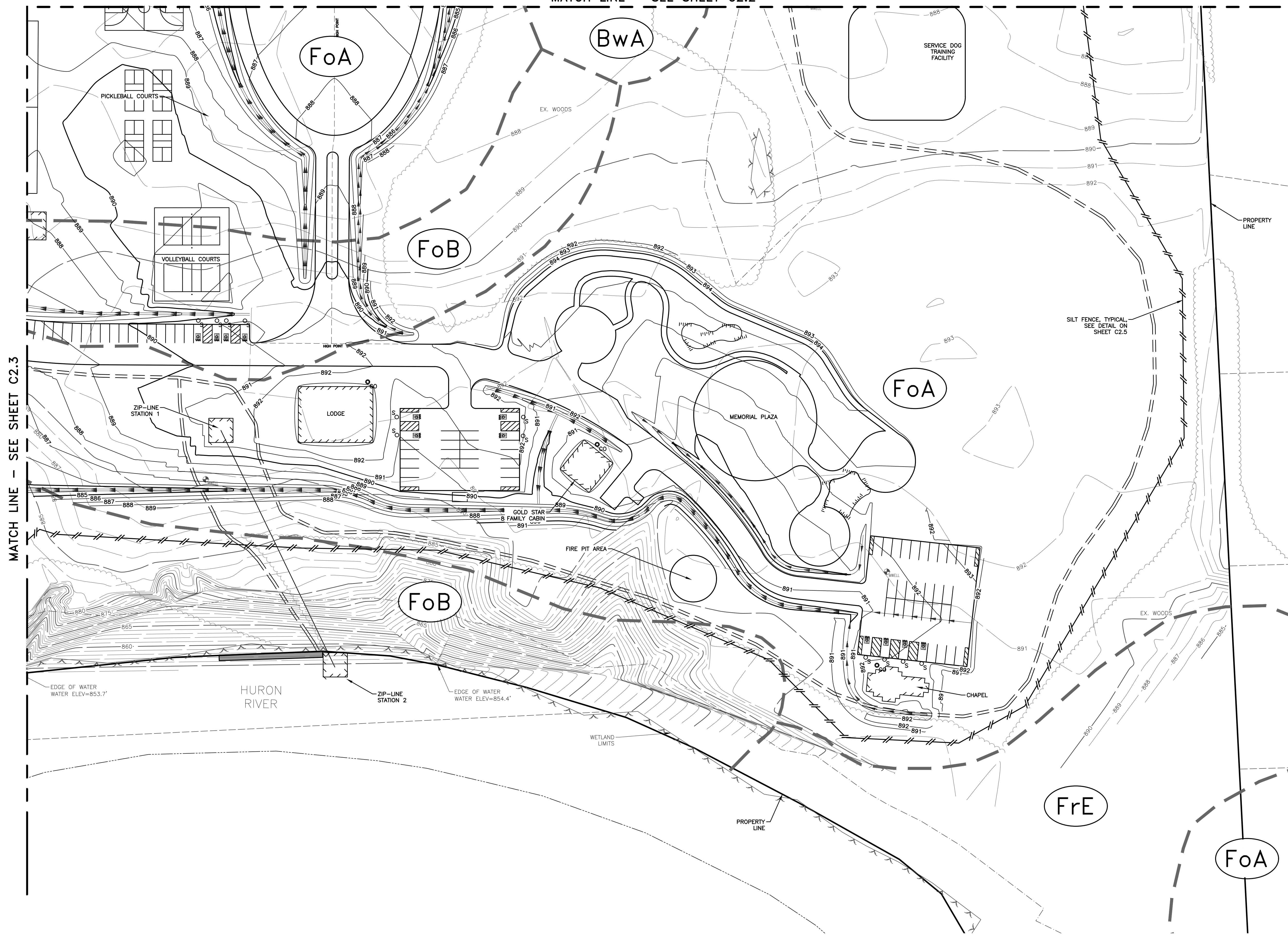
**FREEDOM RIVER, INC.**  
9305 HURON RAPIDS DRIVE  
WHITEMORE LAKE, MI 48189

SESC PLAN - C  
FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
SPA REV 1	7/19/23	GLS
JOB NO.	VCM2001	
SHEET	C2.3	



MATCH LINE - SEE SHEET C2.2



MATCH LINE - SEE SHEET C2.3

PROJECT MANAGER: G:\\_WORK\WADE-TRIM\_GSPRESS\1228134\PLTS-SESC-PLAN.DWG - C2.4 SESC PLAN - D - PLOTTED 7/19/2023 3:49 PM BY: SRESS, DREG



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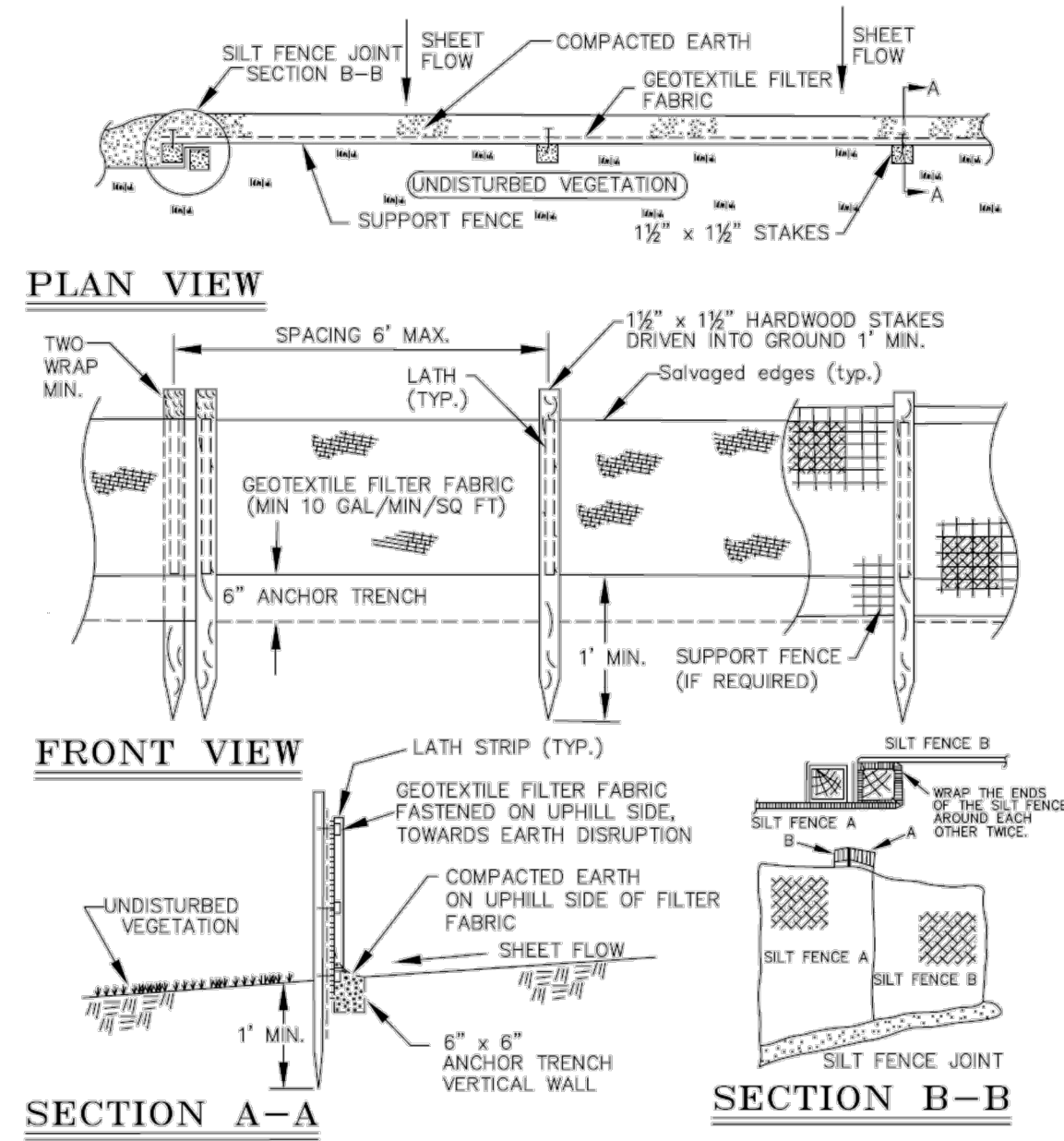
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WHITEMORE LAKE, MI 48189  
SESC PLAN - D  
FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR:	DATE:	BY:
SPA	6/1/23	GLS
SPA REV 1	7/19/23	GLS

JOB NO. VCM2001

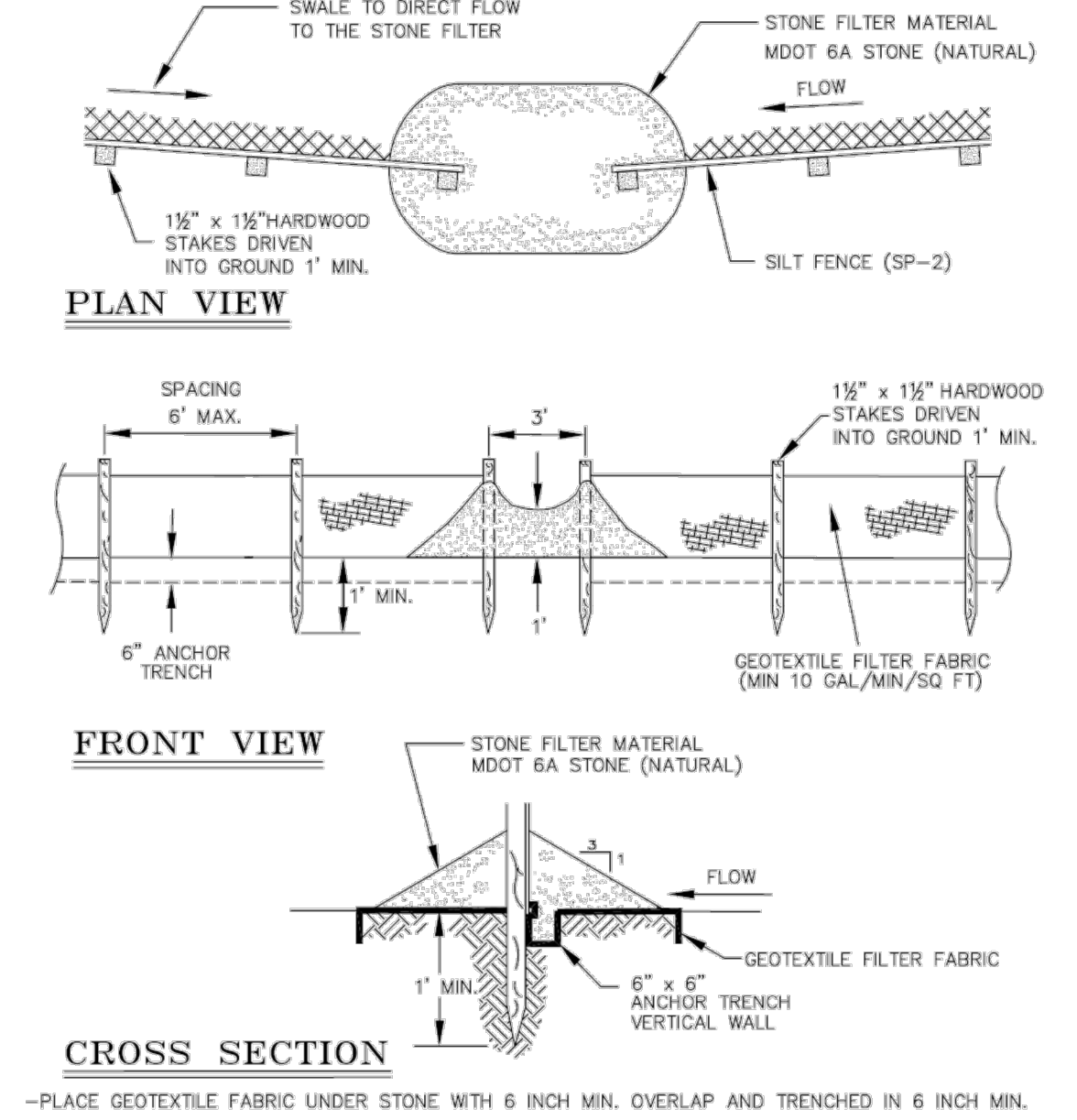
SHEET C2.4

**36" SILT FENCE  
STANDARD CONTROL**

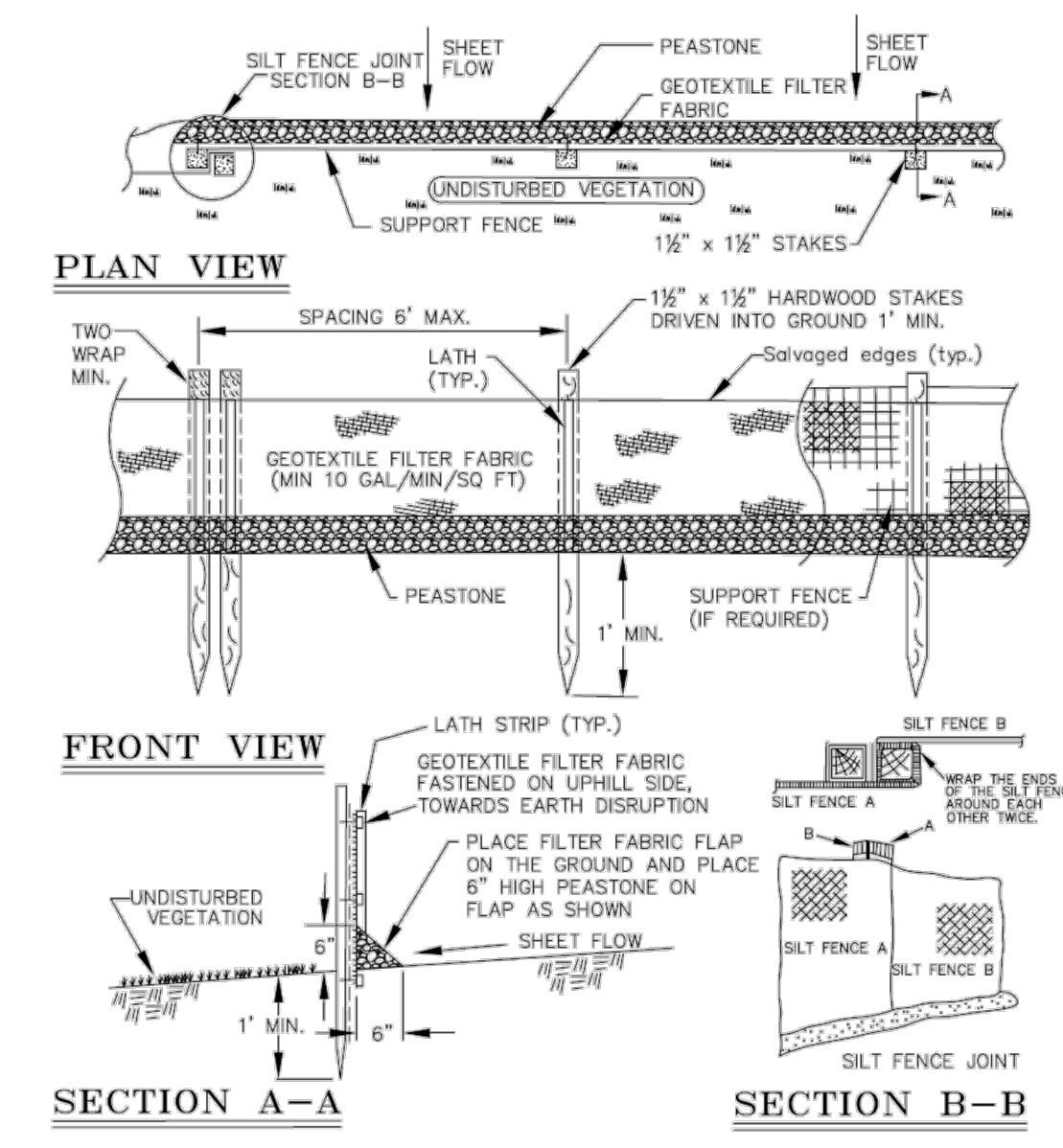


**36" SILT FENCE GRAVEL FILTER  
STANDARD CONTROL**

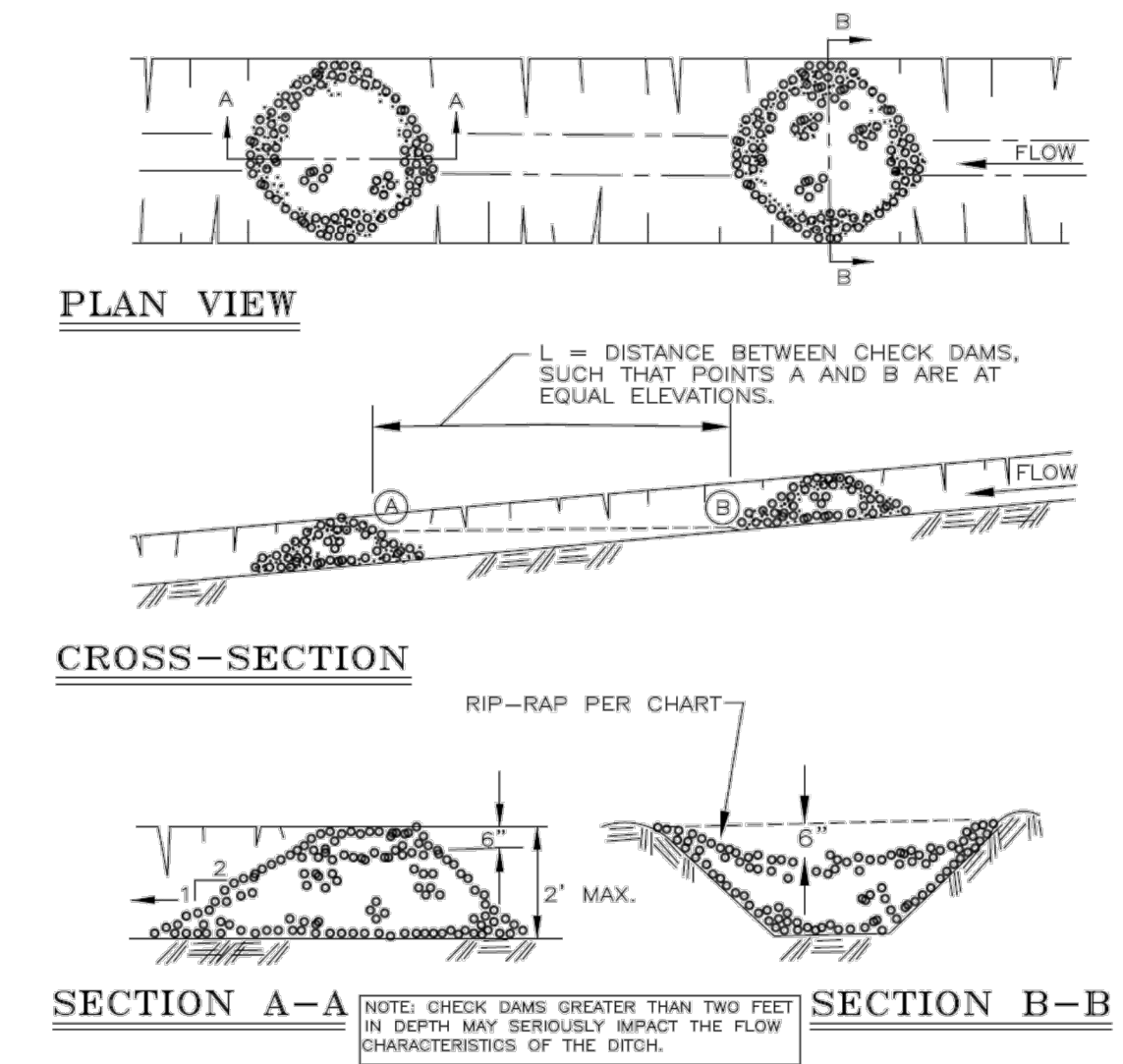
(ALL ALTERNATIVES MUST BE PRE-APPROVED BY THE INSPECTOR ON A CASE BY CASE BASIS)



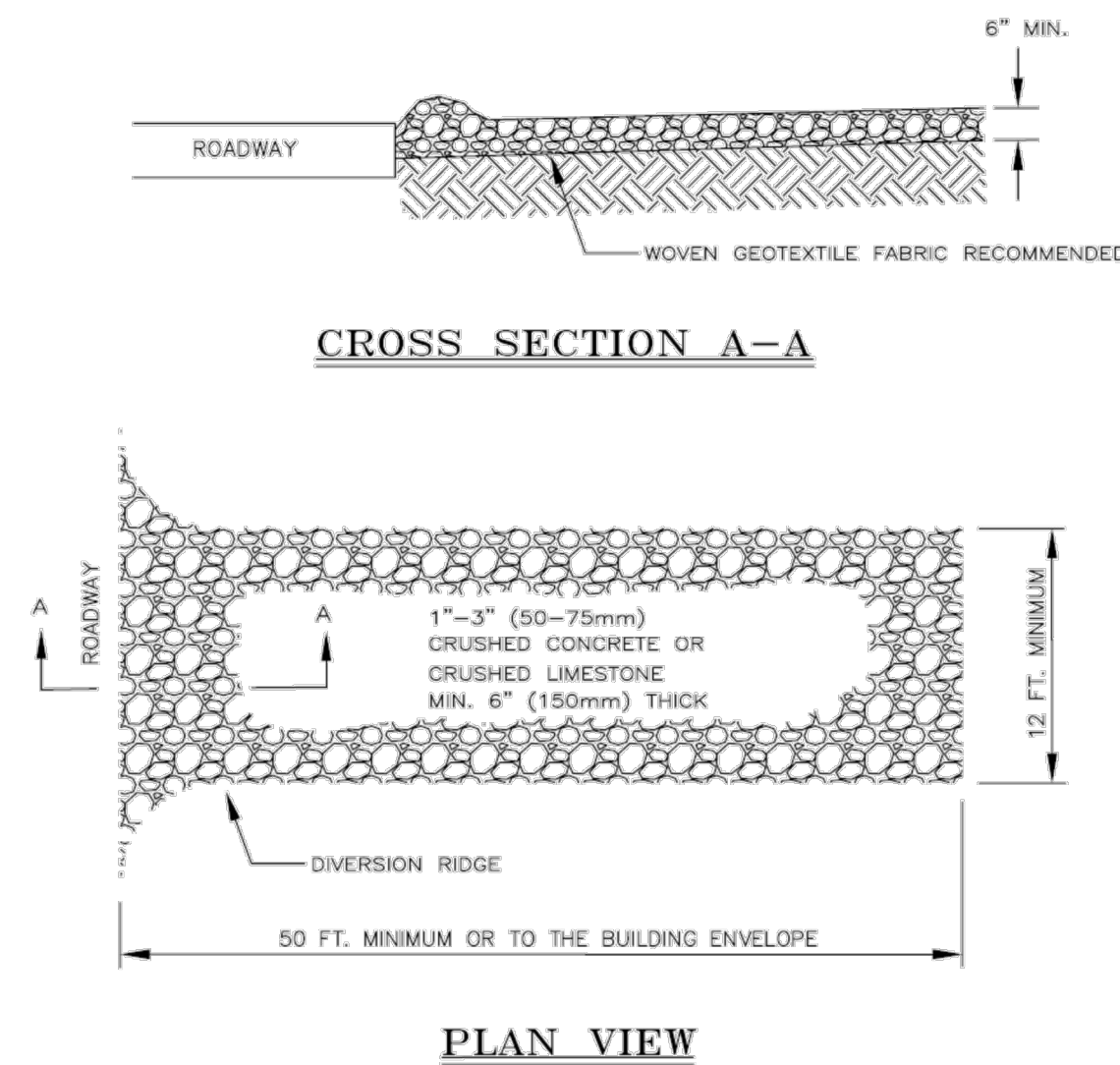
**36" SILT FENCE  
WINTER FROZEN GROUND INSTALLATION  
STANDARD CONTROL**



**ANGULAR RIP RAP CHECK DAM  
STANDARD CONTROL**

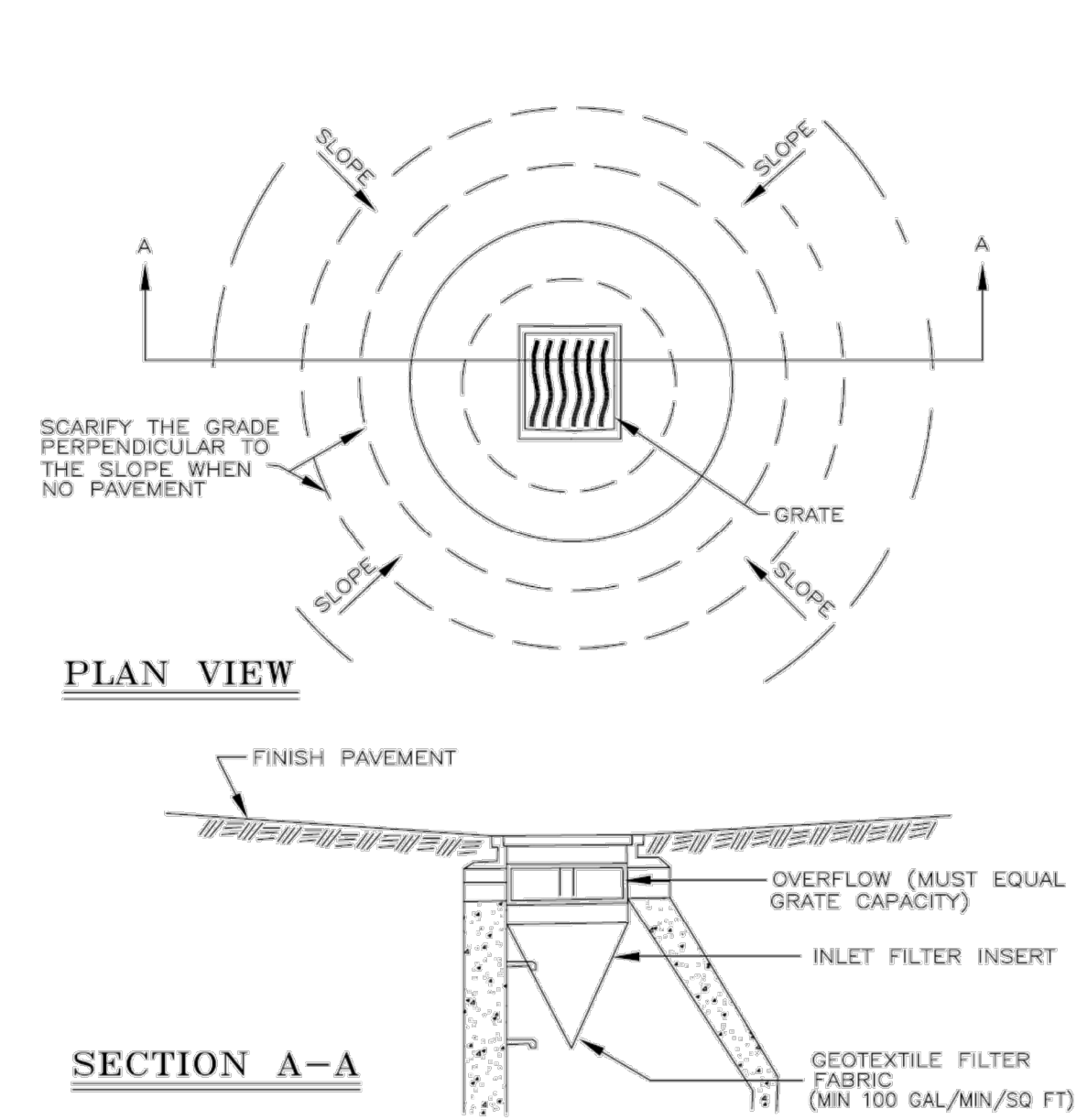


**TRACKING MAT  
STANDARD CONTROL**



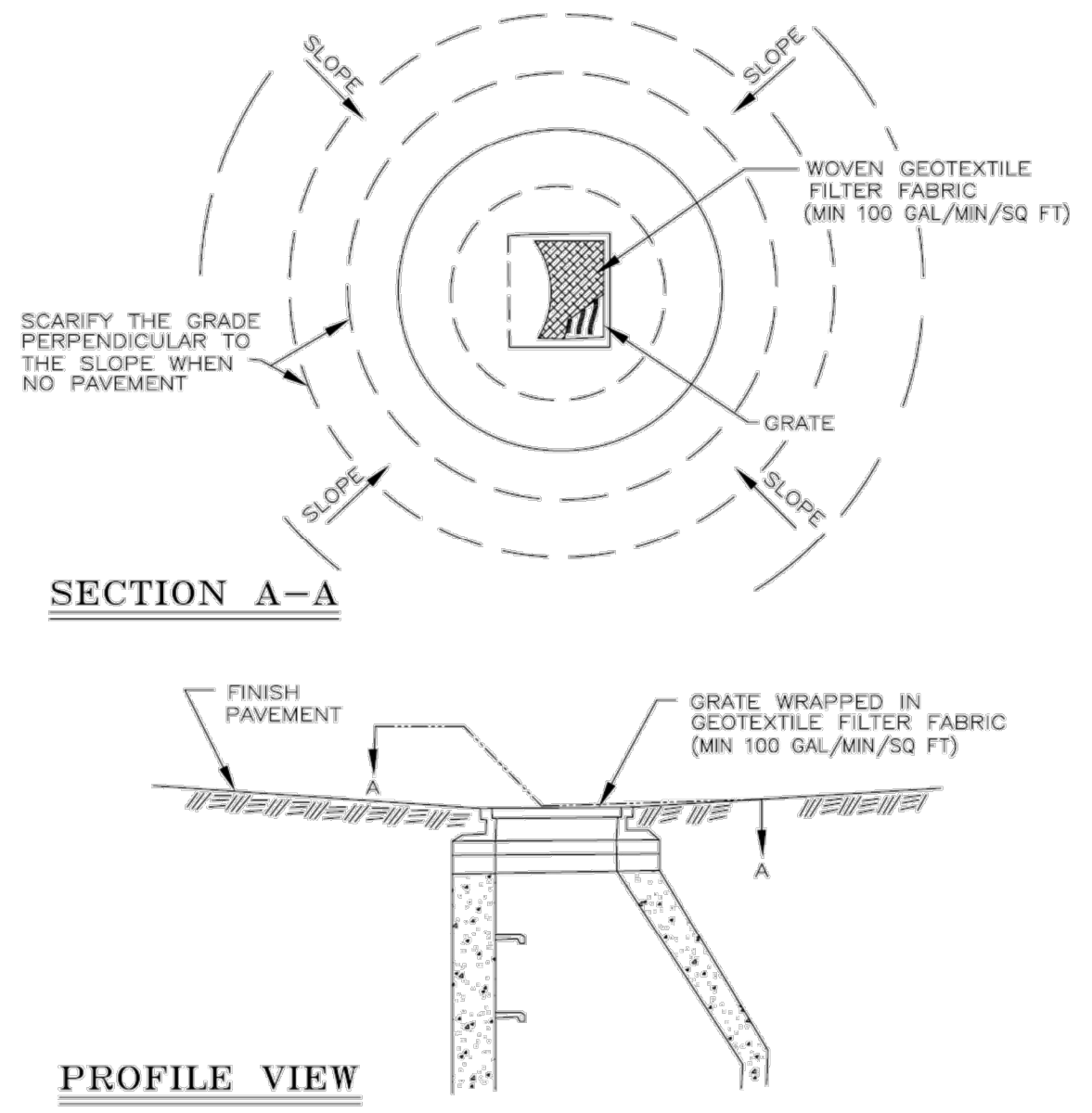
**SILT SACK OR APPROVED EQUAL LOW POINT/YARD  
INLET FILTER  
STANDARD CONTROL YEAR ROUND OR WINTER USE**

APPROVED FOR USE DURING WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



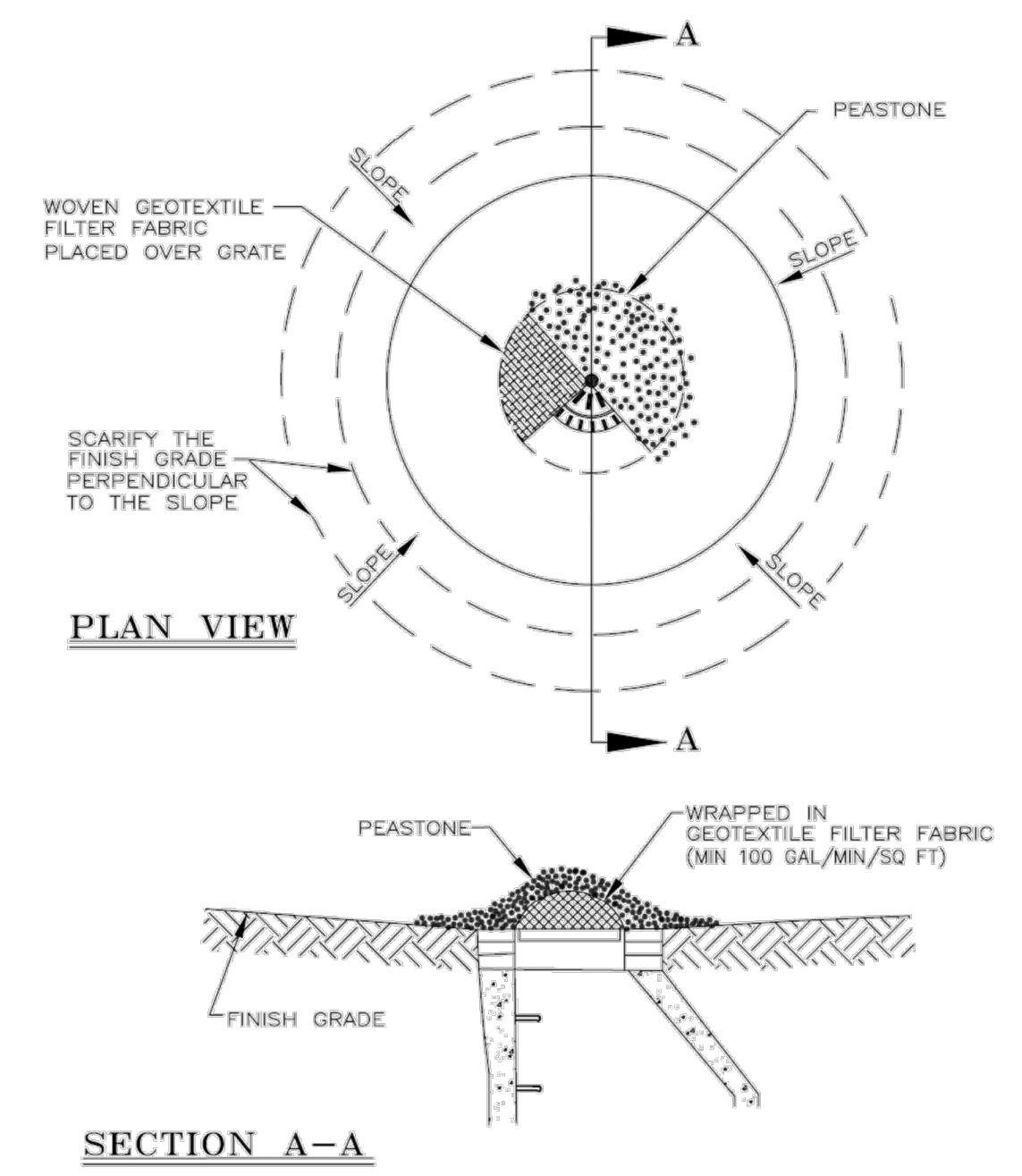
**GEOTEXTILE FABRIC LOW POINT/YARD INLET FILTER  
STANDARD CONTROL NON-WINTER USE**

NOT FOR USE IN WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



**GEOTEXTILE & PEASTONE LOW POINT/YARD  
INLET FILTER  
STANDARD CONTROL NON-WINTER USE**

NOT FOR USE IN WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



PROJECT MANAGER: C:\PW\_WORK\WADE-TRIM\_GSPRESS\1228134\PLTS-SESC-DETAILS.DWG - C2.5 SESC DETAILS - PLOTTED 7/19/23 3:50 PM BY: SPIESS, GREG



Item 2	DATE	7/19/23
REV#	1	
SITE PLAN REVIEW	DESCRIPTION	

2520 Northern Rd.  
Whitmore Lake, MI 48189  
734.917.9700  
www.wadetrिम.com

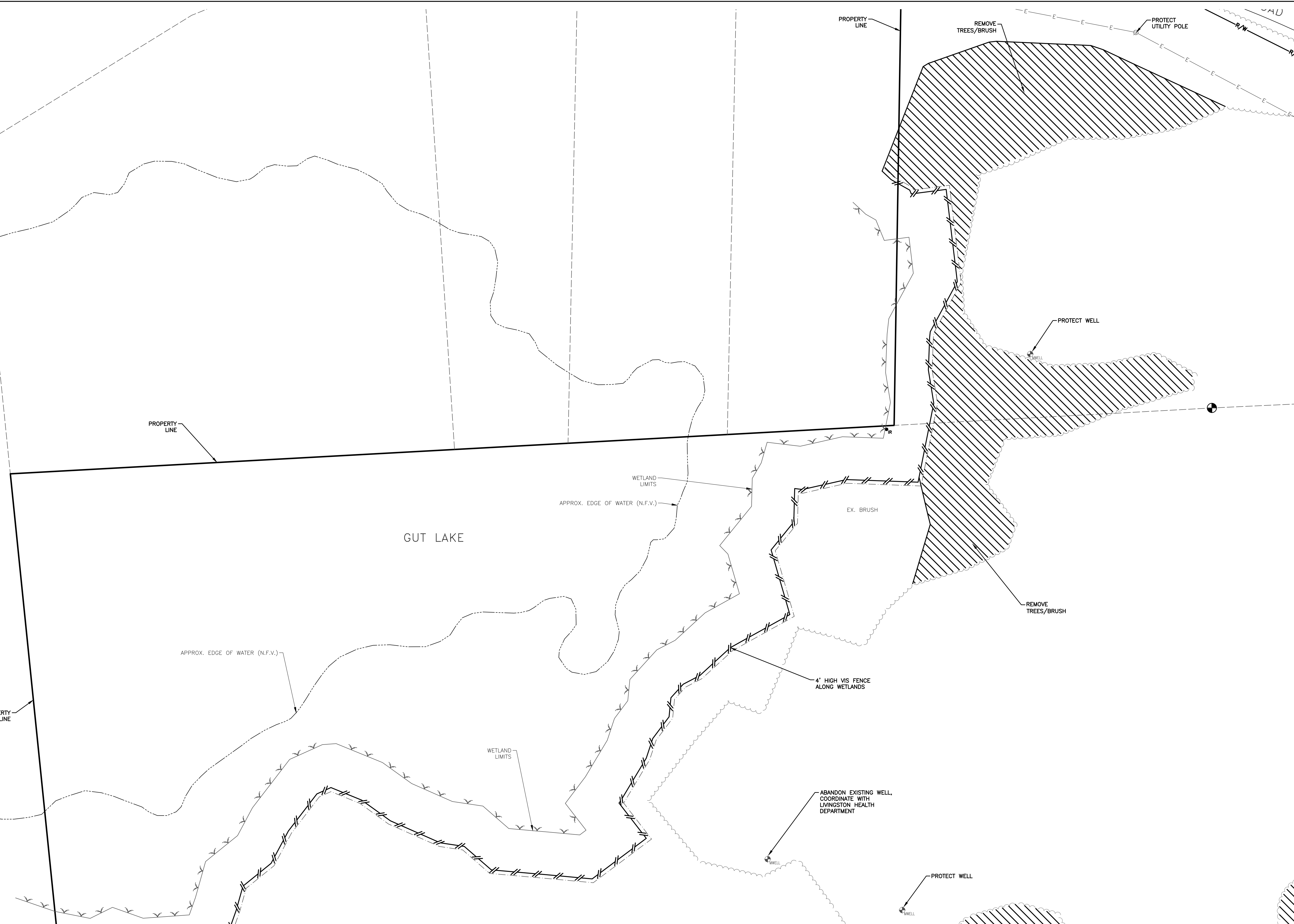
**WADE TRIM**

**FREEDOM RIVER, INC.**  
9305 HURON RAPIDS DRIVE  
WHITMORE LAKE, MI 48189

SESC DETAILS FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR:	DATE:	BY:
SPA	6/1/23	GLS
SPA REV 1	7/19/23	GLS
JOB NO.	VCM2001	
SHEET	C2.5	

PROJECT MANAGER: G:\FW\_WORK\WADE-TRIM\_GSPIESS\1228134\PLTS-SITE\_DEMO.DWG - C2.6 DEMOLITION PLAN - A - PLOTTED 7/19/23 3:50 PM BY SPIESS, GREG



MATCH LINE - SEE SHEET C2.8

MATCH LINE - SEE SHEET C2.7



REV#	DATE	DESCRIPTION
1	7/19/23	SITE PLAN REVIEW
		BY

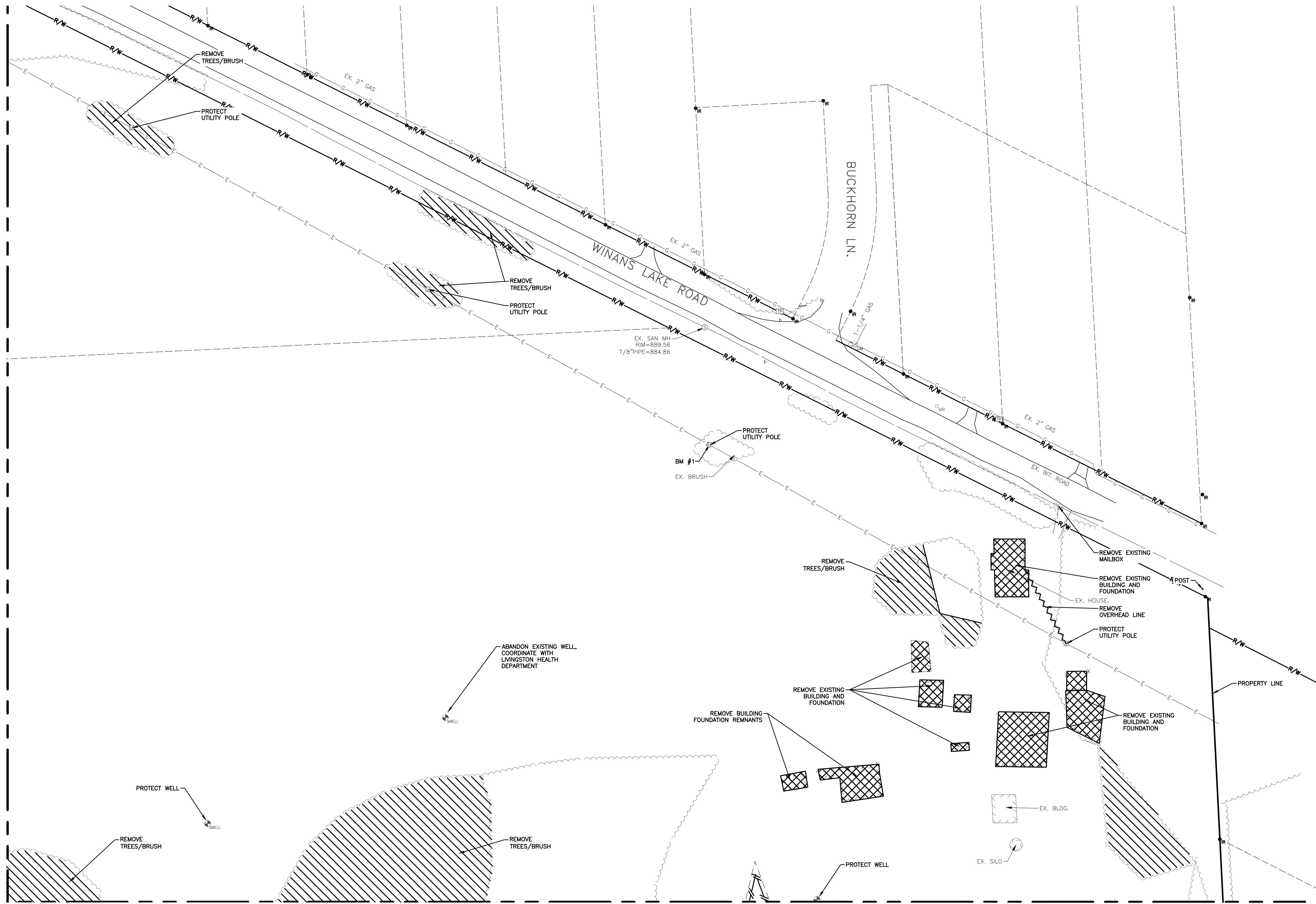
2520 Northline Rd.  
 Whitmore Lake, MI 48189  
 734.947.7870  
 www.wadetrिम.com

**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
 DEMOLITION PLAN - A  
 FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR:	DATE:	BY:
SPA	6/1/23	GLS
SPA REV 1	7/19/23	GLS

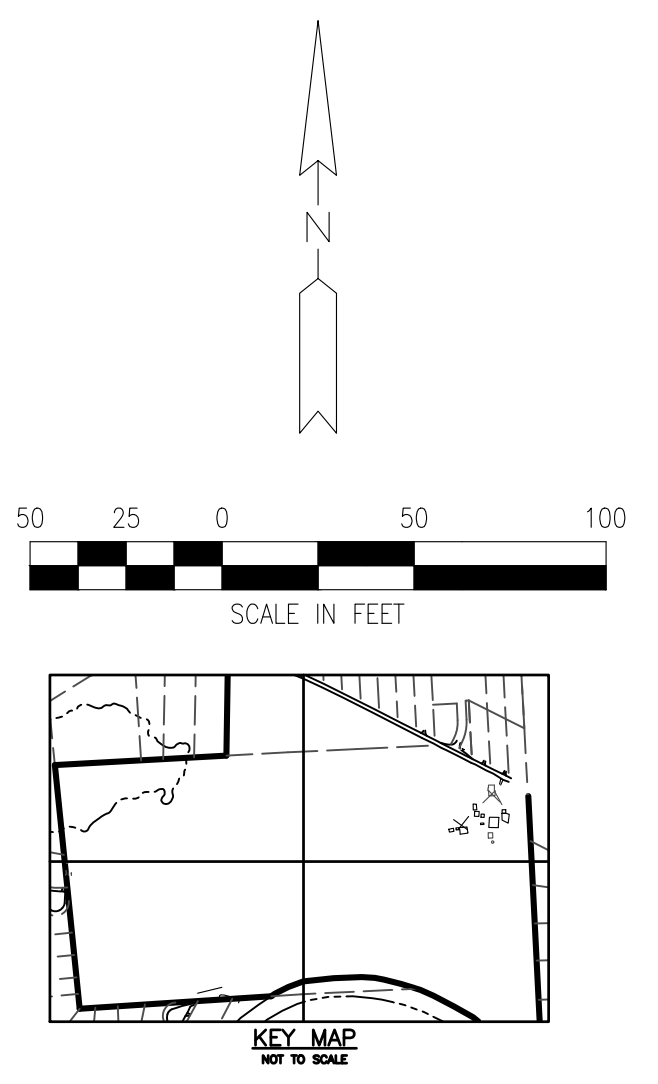
JOB NO. VCM2001

SHEET C2.6



MATCH LINE - SEE SHEET C2.6

MATCH LINE - SEE SHEET C2.9



Item 2	
REV#	DATE
1	7/19/23
SITE PLAN REVIEW	DESCRIPTION



FREEDOM RIVER, INC.  
9305 HURON RAPIDS DRIVE  
WHITEMORE LAKE, MI 48189  
DEMOLITION PLAN - B  
FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR:	DATE:	BY:
SPA	6/1/23	GLS
SPA REV 1	7/19/23	GLS

JOB NO. VCM2001

SHEET C2.7



Know what's below. Call before you dig.

PROJECT MANAGER: G:\FW\_WORK\WADE-TRIM\_GSPRESS\1228134\PLTS-SITE\_DEMO.DWG - C2.8 DEMOLITION PLAN - C - PLOTTED 7/19/23 3:50 PM BY: SPIESS, GREG

FIELD BOOK INFORMATION: -

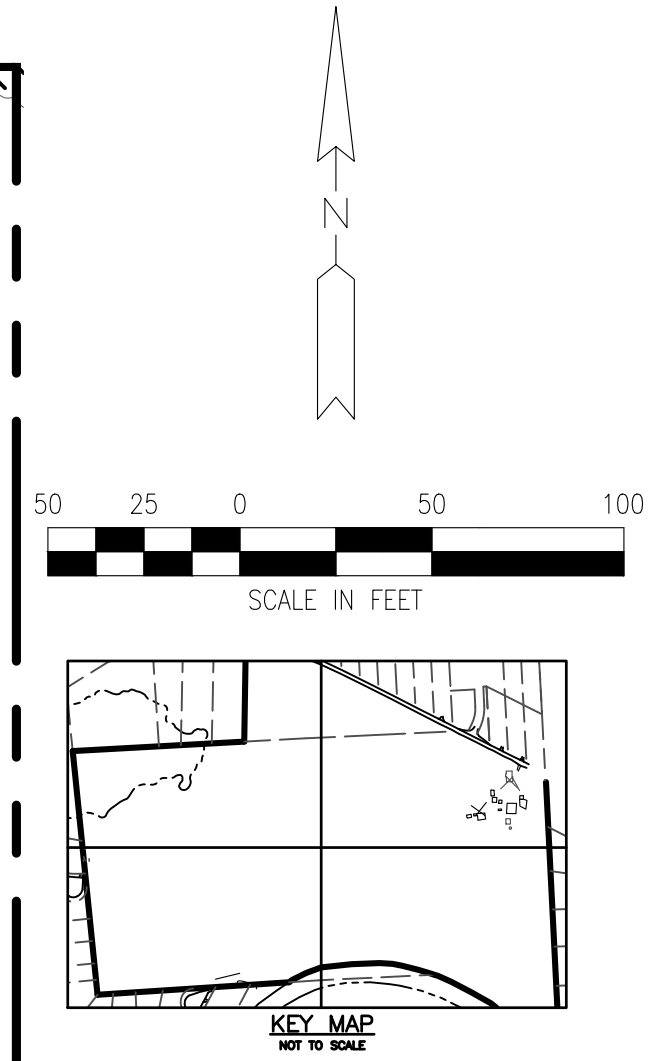


Know what's below.  
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MATCH LINE - SEE SHEET C2.6



MATCH LINE - SEE SHEET C2.9



**FREEDOM RIVER, INC.**  
9305 HURON RAPIDS DRIVE  
WHITEMORE LAKE, MI 48189  
DEMOLITION PLAN - C  
FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA  
DATE: 6/1/23  
BY: GLS  
SPA REV 1 7/19/23 GLS

JOB NO. VCM2001

SHEET C2.8

37

REV#	DATE	DESCRIPTION
1	7/19/23	SITE PLAN REVIEW

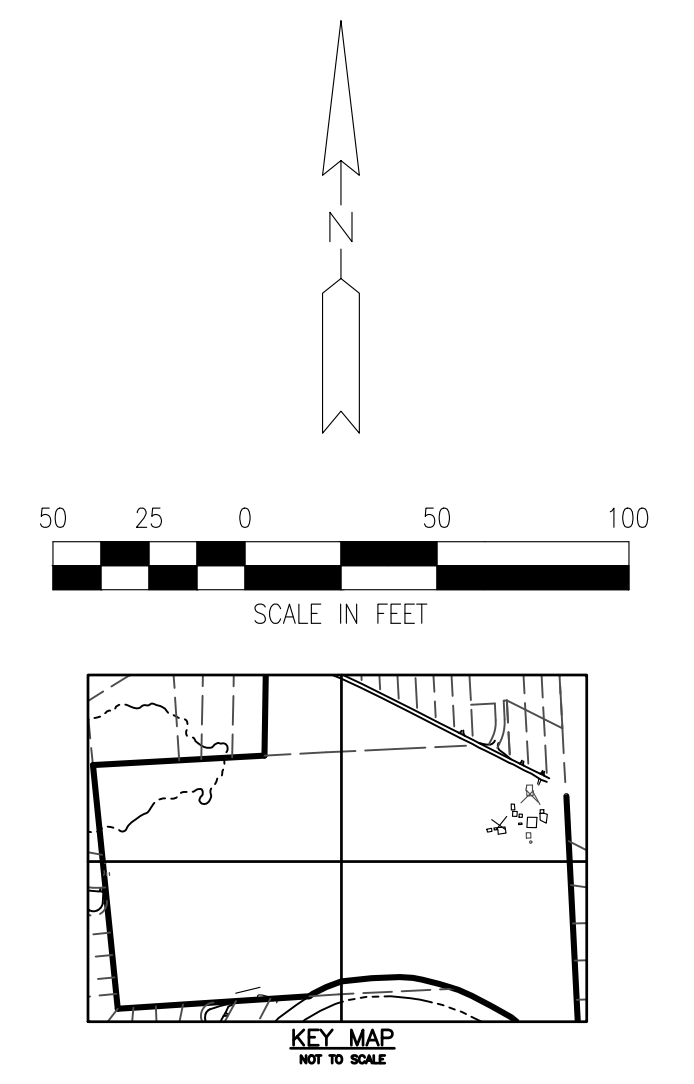
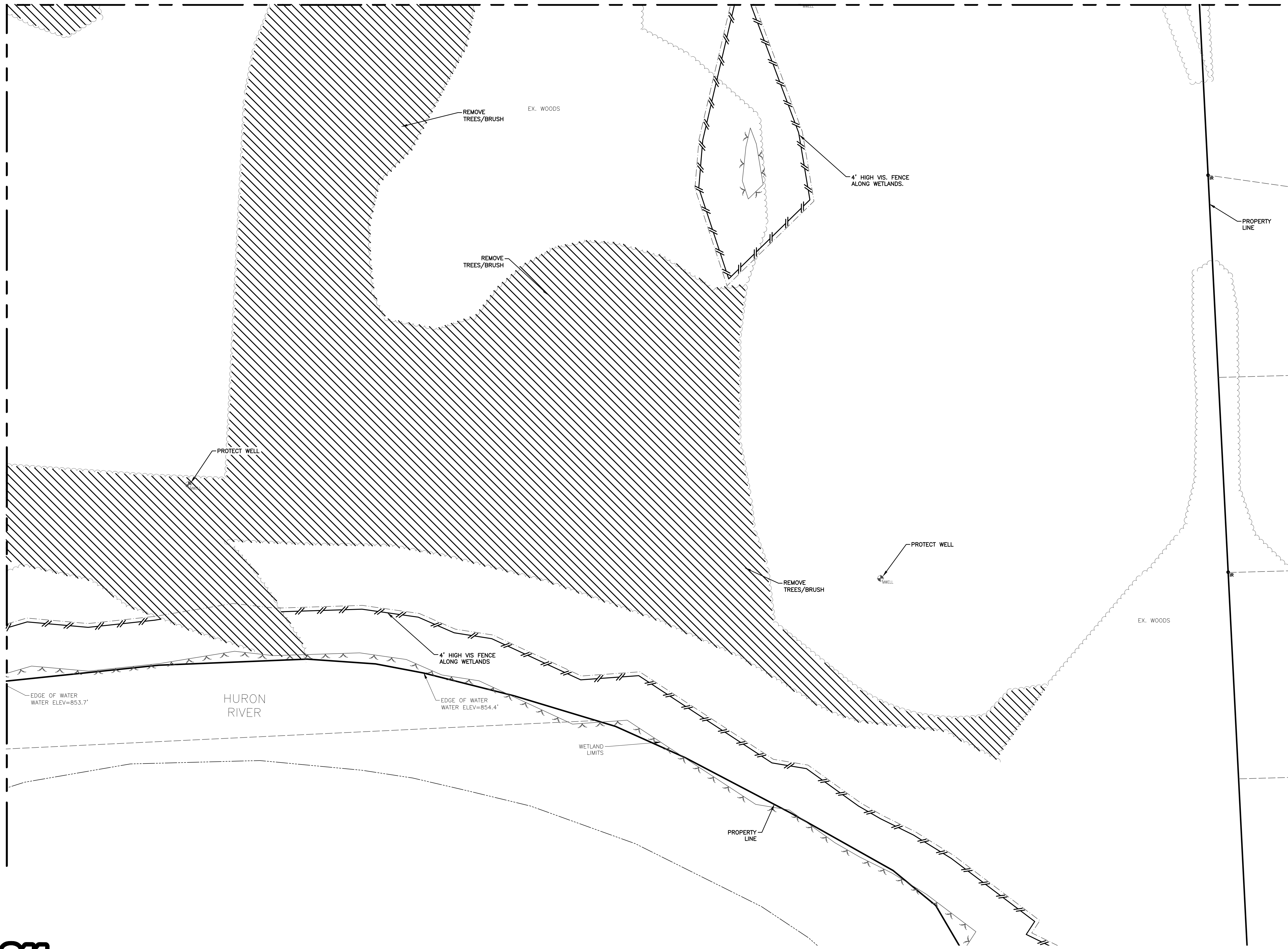
25251 Northline Rd.  
Whitemore Lake, MI 48189  
734.947.2700  
www.wadetrिम.com

Item 2  
BY

PROJECT MANAGER: WADE TRIM, GREG  
 C:\PW\_WORK\WADE-TRIM\_GSPRESS\1228134\PLTS-SITE\_DEMO.DWG - C2.9 DEMOLITION PLAN - D - PLOTTED 7/19/2023 3:50 PM BY: GREG

MATCH LINE - SEE SHEET C2.8

MATCH LINE - SEE SHEET C2.7



Item 2	
DATE	DESCRIPTION
7/19/23	1
DATE	REV#
7/19/23	1
DATE	REV#
7/19/23	1

2520 Northline Rd.  
 Whitmore Lake, MI 48189  
 734.947.7070  
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**WADE TRIM**

**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITMORE LAKE, MI 48189**  
 DEMOLITION PLAN - D  
 FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR:	DATE:	BY:
SPA	6/1/23	GLS
SPA REV 1	7/19/23	GLS

JOB NO. VCM2001

SHEET C2.9

Wade Trim Group, Inc.



PROJECT MANAGER: C:\PW\_WORK\WADE-TRIM\_CSPRESS\1228134\PLTS-OVERALL SITE PLAN WITH AERIAL.DWG - C3.0 OVERALL SITE PLAN - PLOTTED 7/19/2023 3:59 PM BY SPIESS, OREG  
 FIELD BOOK INFORMATION:



Know what's below.  
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REV#	DATE	DESCRIPTION
1	7/19/23	

WADE TRIM  
 25251 Northern Rd.  
 724.947.9700  
 www.wadetrim.com

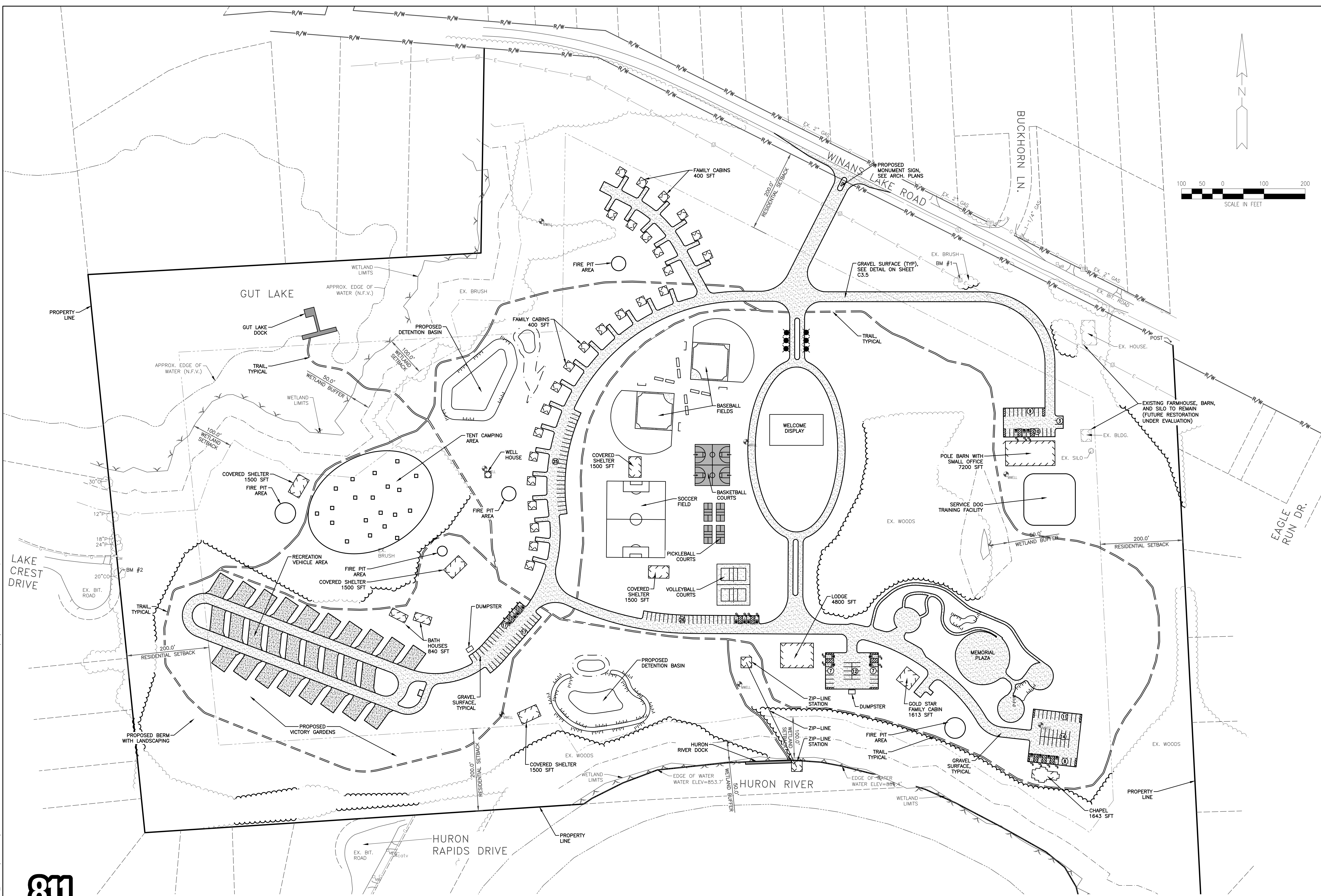
**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
 OVERALL SITE PLAN  
 FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA REV 1	DATE: 6/1/23 7/19/23	BY: GLS GLS
JOB NO. VCM2001	SHEET C3.0	

PROJECT MANAGER: G:\\_WORK\WADE-TRIM\_GSPRESS\1228134\PLTS-OVERALL SITE PLAN.DWG - C3.0 OVERALL SITE PLAN - PLOTTED 7/19/2023 3:50 PM BY: SPIESS, GREG



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REV#	DATE	DESCRIPTION
1	7/19/23	

25201 Northern Rd.  
25201 Northern Rd.  
724-947-2700  
www.wadetrim.com

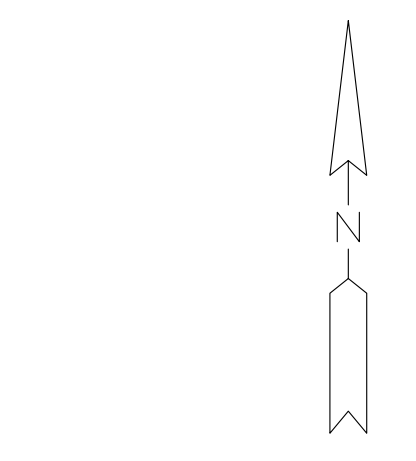
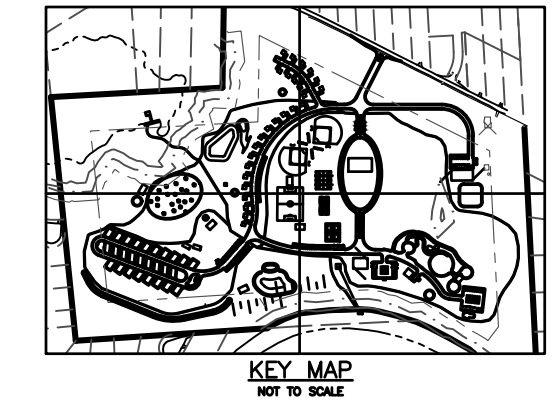
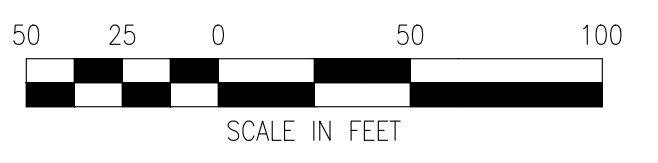
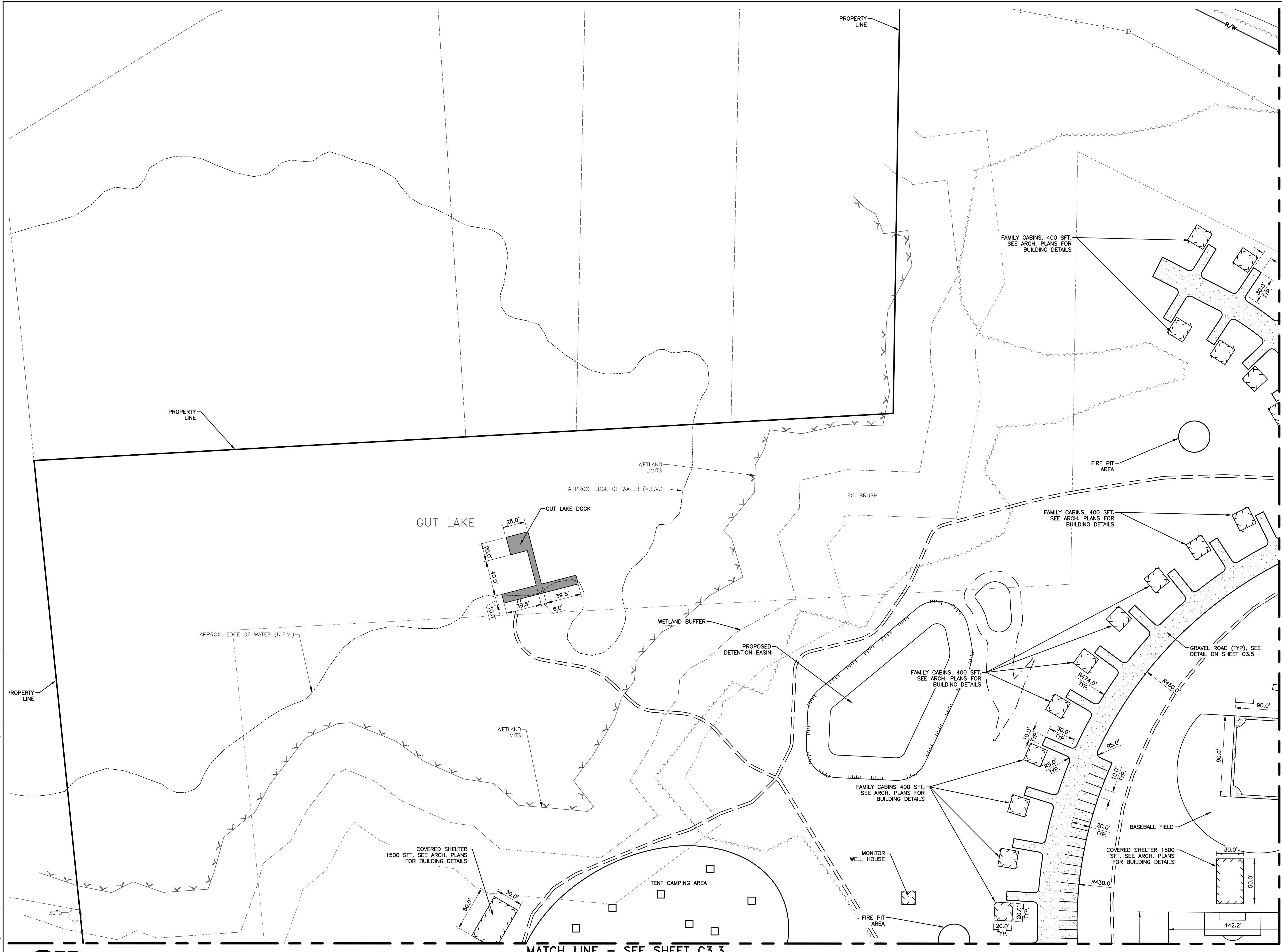
**FREEDOM RIVER, INC.**  
9305 HURON RAPIDS DRIVE  
WHITEMORE LAKE, MI 48189

OVERALL SITE PLAN  
FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
SPA REV 1	7/19/23	GLS
JOB NO. VCM2001		
SHEET C3.0		



PROJECT MANAGER: G:\PW\_WORK\WADE-TRIM\_GSPRESS\1228134\PLTS-SITE\_PLAN.DWG - C3.1 SITE PLAN - A - PLOTTED 7/19/2023 3:50 PM BY: SPIESS, GREG



Item 2	
BY	
DESCRIPTION	SITE PLAN REVIEW
DATE	7/19/23
REV#	1

**WADE TRIM**

25251 Northline Rd.  
Whitmore Lake, MI 48189  
734.947.7070  
www.wadetrtrim.com

**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITMORE LAKE, MI 48189**  
 SITE PLAN - A  
 FOR  
 FREEDOM RIVER CAMPGROUND

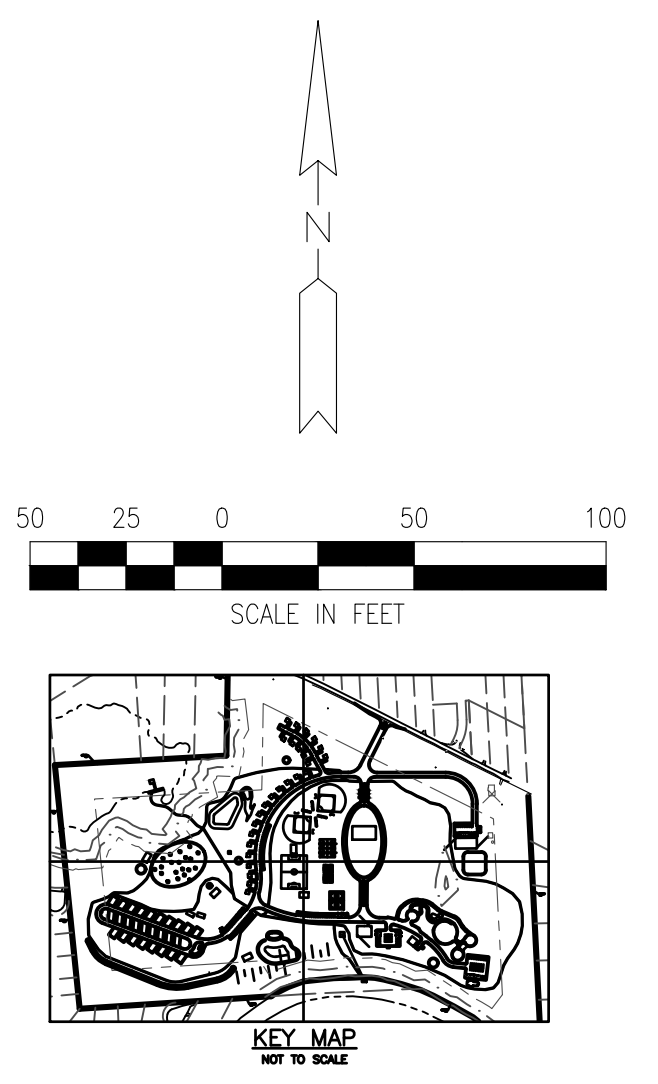
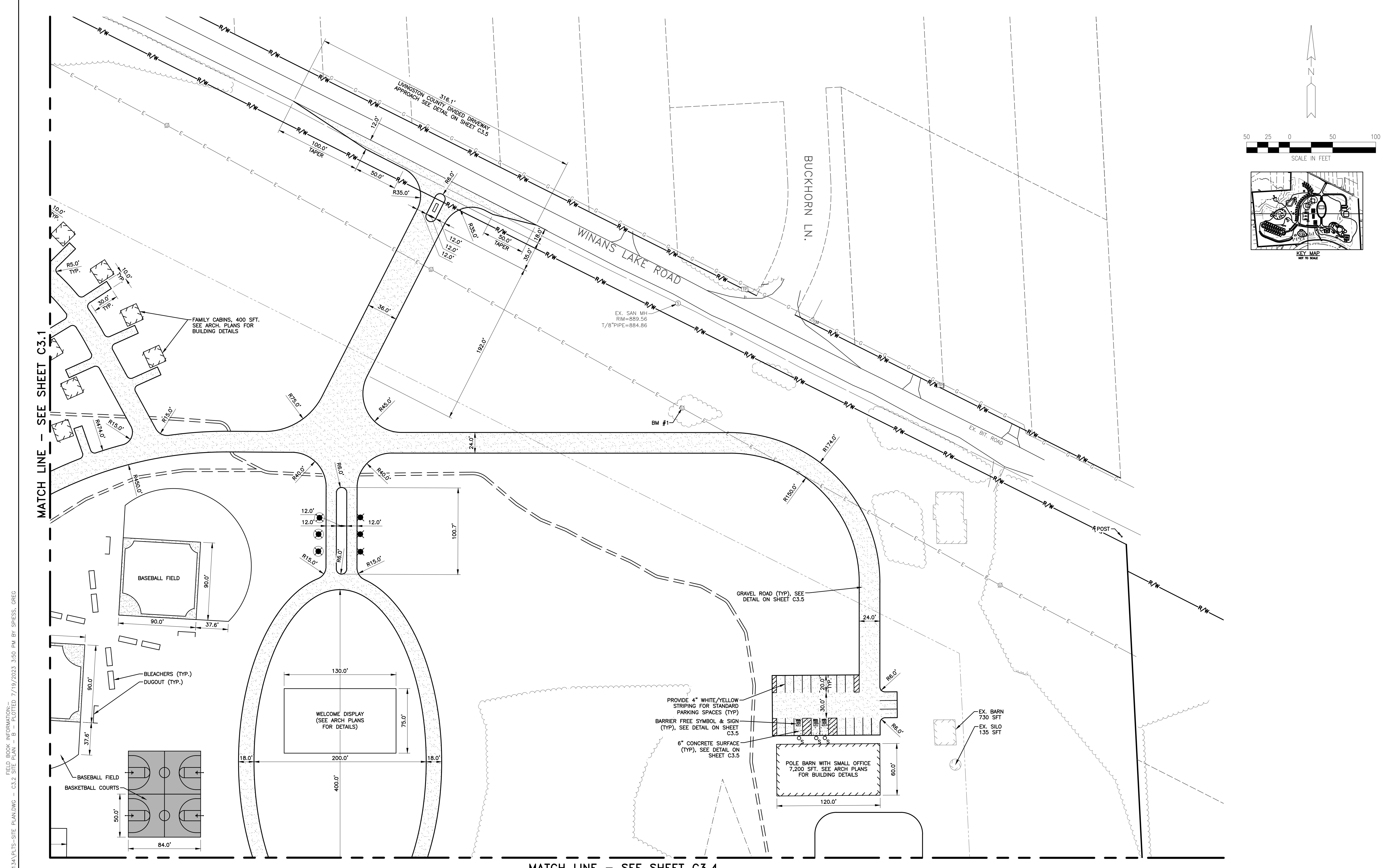
ISSUED FOR:	DATE:	BY:
SPA	6/1/23	GLS
SPA REV 1	7/19/23	GLS

JOB NO.  
**VCM2001**

SHEET  
**C3.1**



**Know what's below.**  
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REV#	DATE	DESCRIPTION
1	7/19/23	

**WADE TRIM**

25251 Northern Rd.  
Whitmore Lake, MI 48189  
734.947.7970  
www.wadetrims.com

**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITMORE LAKE, MI 48189**

SITE PLAN - B  
 FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR:	DATE:	BY:
SPA	6/1/23	GLS
SPA REV 1	7/19/23	GLS

JOB NO. **VCM2001**

SHEET **C3.2**

PROJECT MANAGER: G:\\_WORK\WADE-TRIM\_GSPRESS\1228134\PLTS-SITE-PLAN.DWG - C3.2 SITE PLAN - B - PLOTTED 7/19/2023 3:50 PM BY: SPIESS, GREG

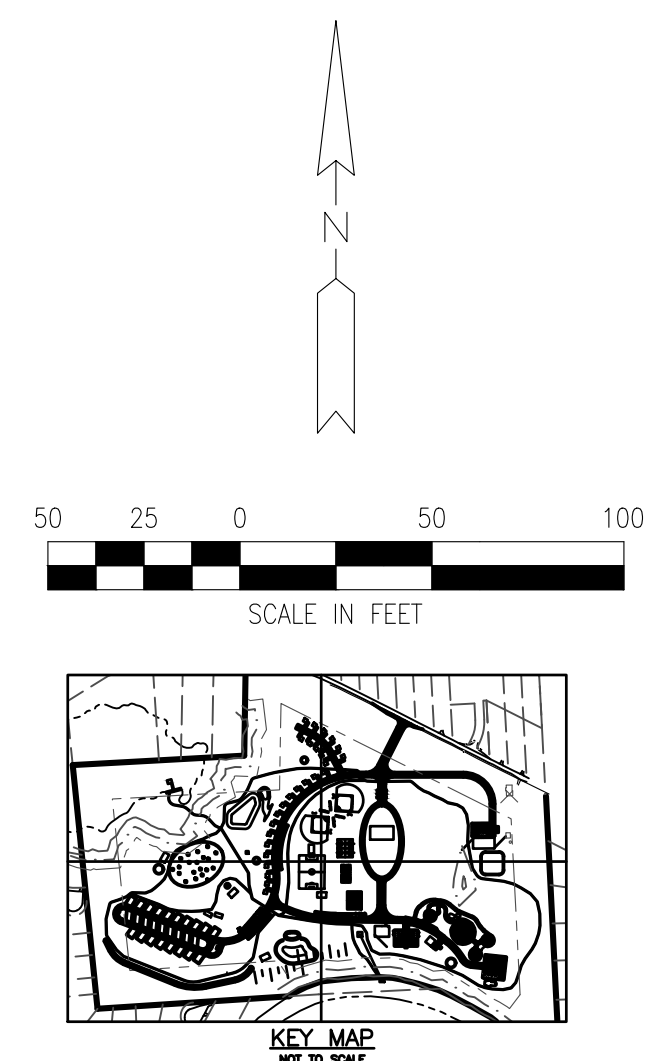
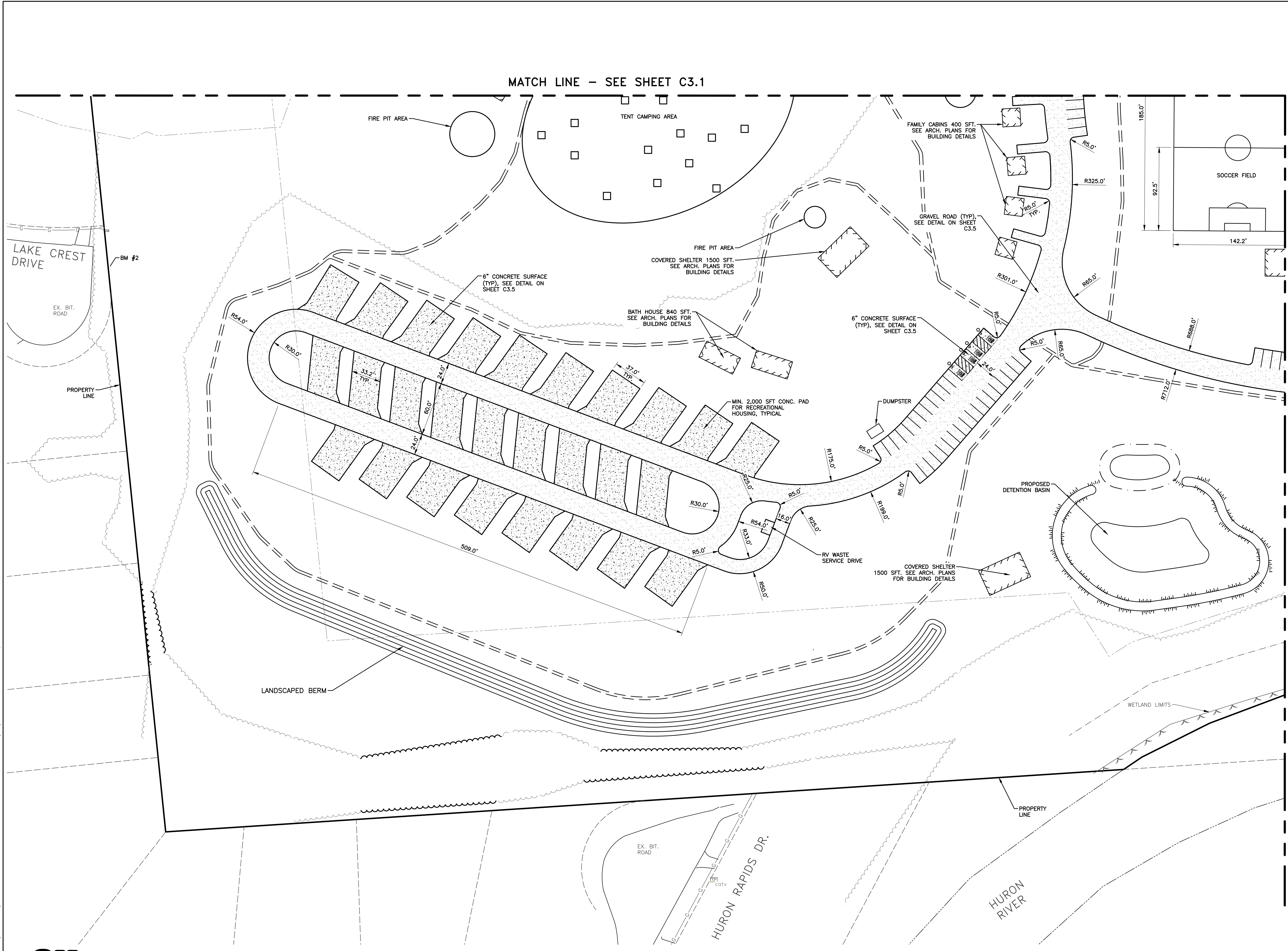


Know what's below.  
Call before you dig.

PROJECT MANAGER: G:\PW\_WORK\WADE-TRIM\_CSPRESS\1228134\PLTS-SITE\_PLAN.DWG - C3.3 SITE PLAN - C - PLOTTED 7/19/2023 3:50 PM BY SPIESS, GREG



Know what's below.  
Call before you dig.



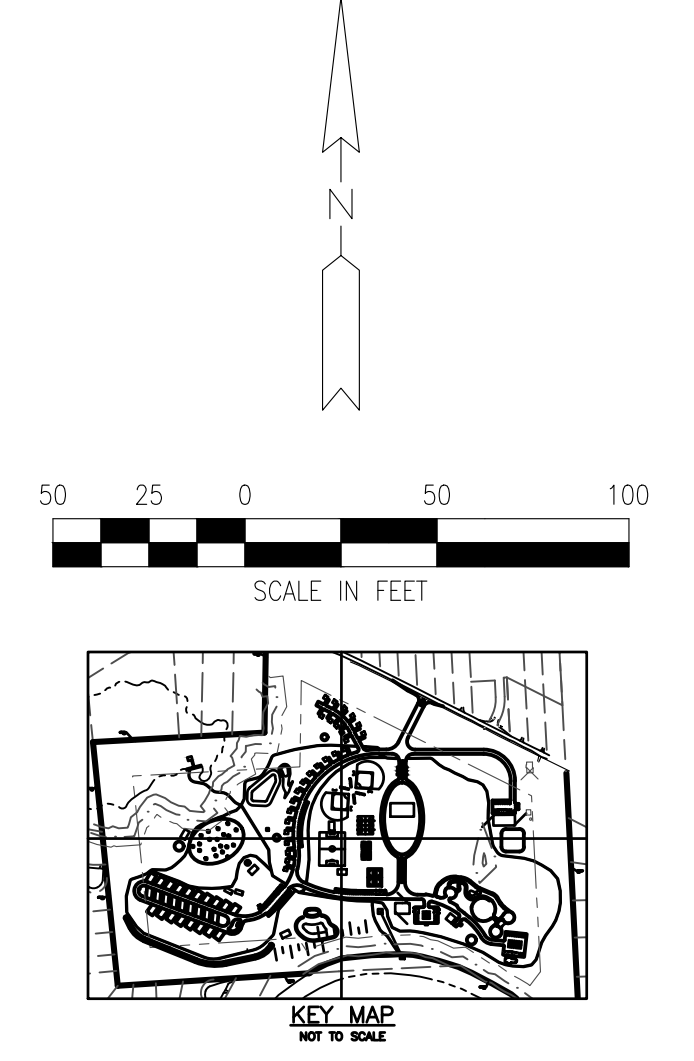
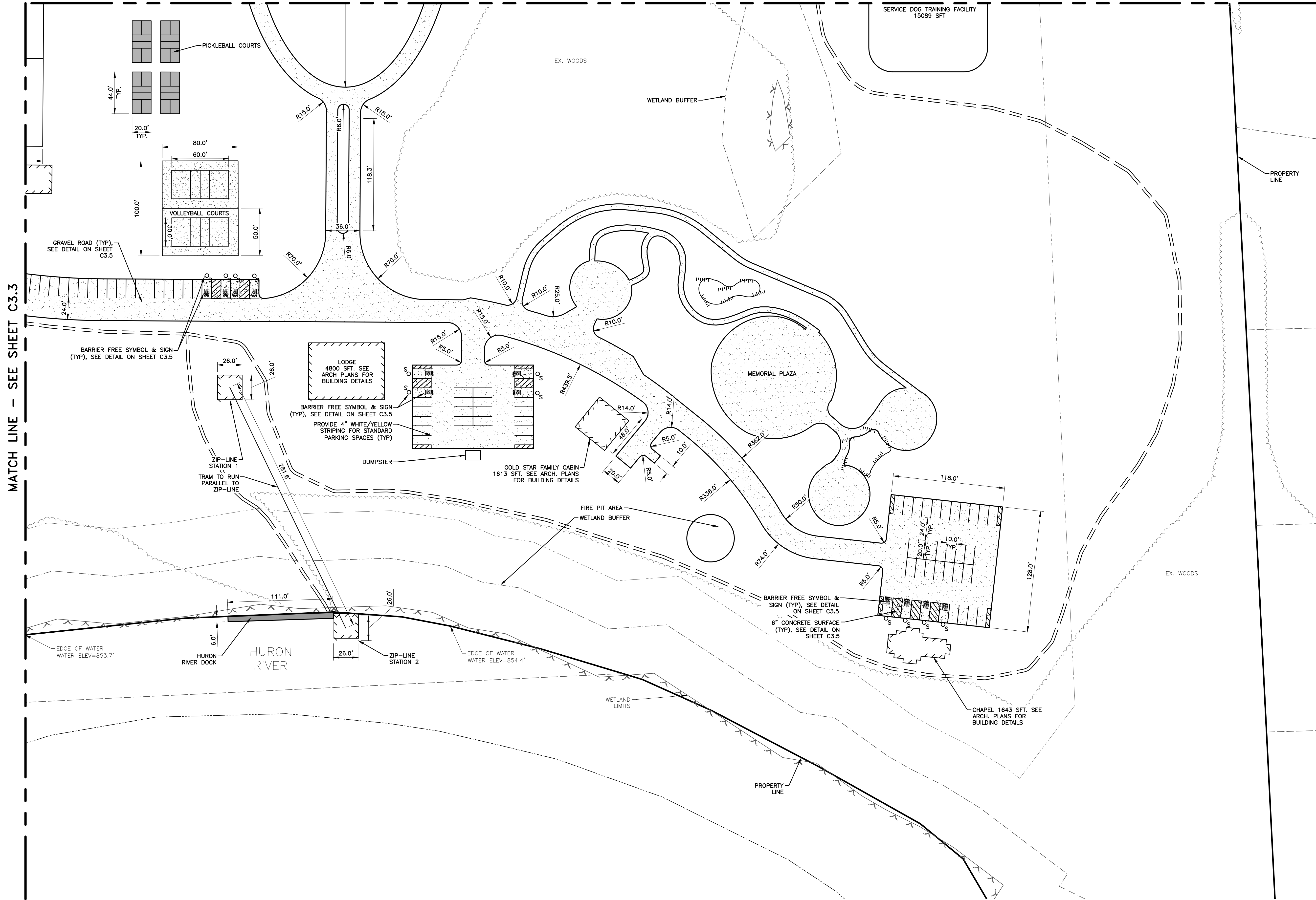
REV#	DATE	DESCRIPTION
1	7/19/23	SITE PLAN REVIEW

25201 Northline Rd.  
25201 Northline Rd.  
724-947-2700  
www.wadetrim.com

**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
 SITE PLAN - C  
 FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
SPA REV 1	7/19/23	GLS
JOB NO.	VCM2001	
SHEET	C3.3	

MATCH LINE - SEE SHEET C3.2



MATCH LINE - SEE SHEET C3.3

PROJECT MANAGER: WADE TRIM, INC. FIELD BOOK INFORMATION: C:\PW\_WORK\WADE-TRIM\_CSPRESS\1228134\PLTS-SITE-PLAN.DWG - C3.4 SITE PLAN - D - PLOTTED 7/19/2023 3:51 PM BY: SPIESS, GREG



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Item 2
BY
DESCRIPTION
SITE PLAN REVIEW
DATE
7/19/23
REV#
1

25251 Northline Rd.  
 48189 Whittemore Lake, MI  
 734.947.2700  
 www.wadetrिम.com

**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
 SITE PLAN - D  
 FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR:	DATE:	BY:
SPA	6/1/23	GLS
SPA REV 1	7/19/23	GLS

JOB NO. VCM2001

SHEET C3.4

NOTES

CONCRETE NOTES

- 1. ALL CONCRETE SHALL BE 4500 PSI CONCRETE MIX UNLESS OTHERWISE NOTED.
- 2. ALL POLY FIBER REINFORCED CONCRETE SHALL HAVE A MIX RATIO OF 1.5 LBS OF POLY FIBER PER 1.0 CYD OF CONCRETE.

CONCRETE JOINTS

- 1. THE CONTRACTOR MUST PREPARE A JOINTING PLAN AND SUBMIT TO ENGINEER AS A SHOP DRAWING FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE.
- 2. BEGIN SAW CUTS AFTER THE CONCRETE HAS HARDENED ENOUGH TO PERMIT SAWING WITH OUT RAVELING OR DISPLACING AGGREGATES.
- 3. IF CRACKS DEVELOP AHEAD OF THE SAWCUT, STOP SAWING THAT JOINT. ONCE THE CONCRETE HAS SUITABLY CURED USE CRACK SAWS TO FORM JOINT SEALANT RESERVOIRS ALONG THE CRACK LINE.
- 4. JOINT SPACING:
  - 4.1. MAXIMUM SLAB SIZE = 2 X SLAB THICKNESS (INCHES TO FEET), I.E.: 2 X 6 INCHES = 12 FEET - 15 FEET IS ABSOLUTE MAX.
  - 4.2. RECOMMENDED MAXIMUM JOINT SPACING (SMALLER IS BETTER)
    - 4.2.1. 4" SLAB: 6 FEET
    - 4.2.2. 6" SLAB: 10 FEET
    - 4.2.3. 8" SLAB: 14 FEET
    - 4.2.4. 9" SLAB: 15 FEET

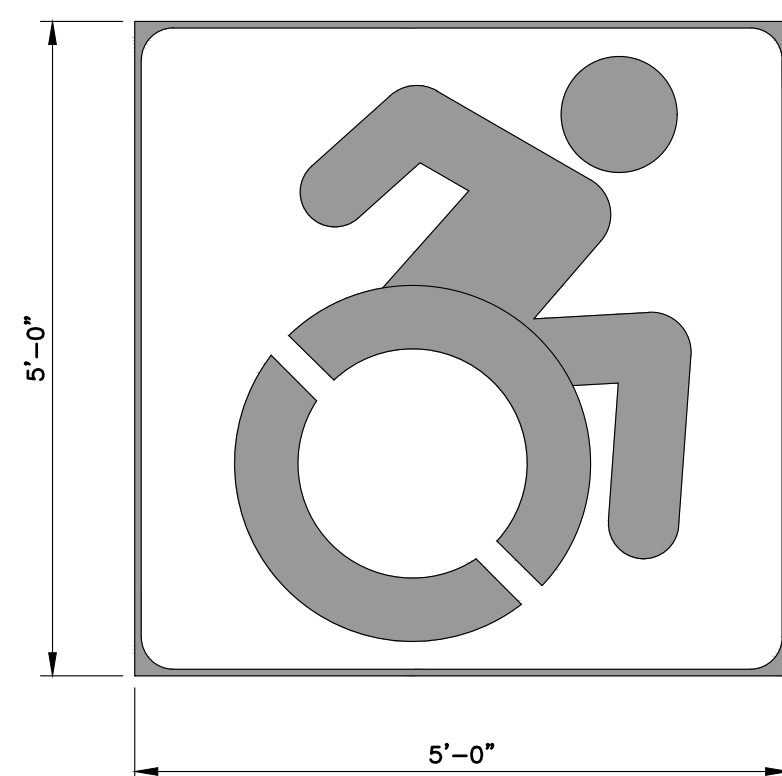
- 5. CATCH BASIN AND MANHOLE CASTINGS REQUIRE A BOXOUT OR ISOLATION TO ALLOW FOR VERTICAL AND HORIZONTAL SLAB MOVEMENT.
- 6. SAWCUT JOINTS SHALL BE CONTINUOUS ACROSS THE SLAB AND SHALL MATCH LOCATION OF JOINTS ON ABUTTING CONCRETE SLABS.
- 7. CONTRACTOR SHALL PROVIDE ISOLATION/EXPANSION JOINTS BETWEEN SLABS OR AT STRUCTURES.
- 8. THE CONTRACTOR SHALL PROVIDE CONSTRUCTION JOINTS AT EDGE OF POURS OR FORM LINES.
- 9. THE CONTRACTOR SHALL PROVIDE CONTRACTION JOINTS (SAW CUTS OR TOOLED) EQUALLY SPACED AS IDENTIFIED IN NOTE 4 THIS SHEET.

ASPHALT

- 1. THE LEVELING COURSE SHALL BE MDOT 4E1 OR APPROVED EQUAL (1.5A LVSP).
- 2. THE WEARING COURSE SHALL BE MDOT 5E OR APPROVED EQUAL (36A).
- 3. THE ASPHALT BINDER SHALL BE PG 58-28.

MATERIALS

- 1. GRANULAR MATERIAL - MDOT CLASS II SAND
- 2. OPEN GRADED AGGREGATE - MDOT 6A OR AASHTO #57
- 3. DENSE GRADED AGGREGATE - MDOT 21AA CRUSHED LIMESTONE
  - 3.1. CONTRACTOR CAN USE CRUSHED CONCRETE/ASPHALT MEETING MDOT 21AA SPECIFICATIONS AS AGGREGATE BASE MATERIAL. CONTRACTOR SHALL INCREASE BASE THICKNESS BY 25%.



NOTES:

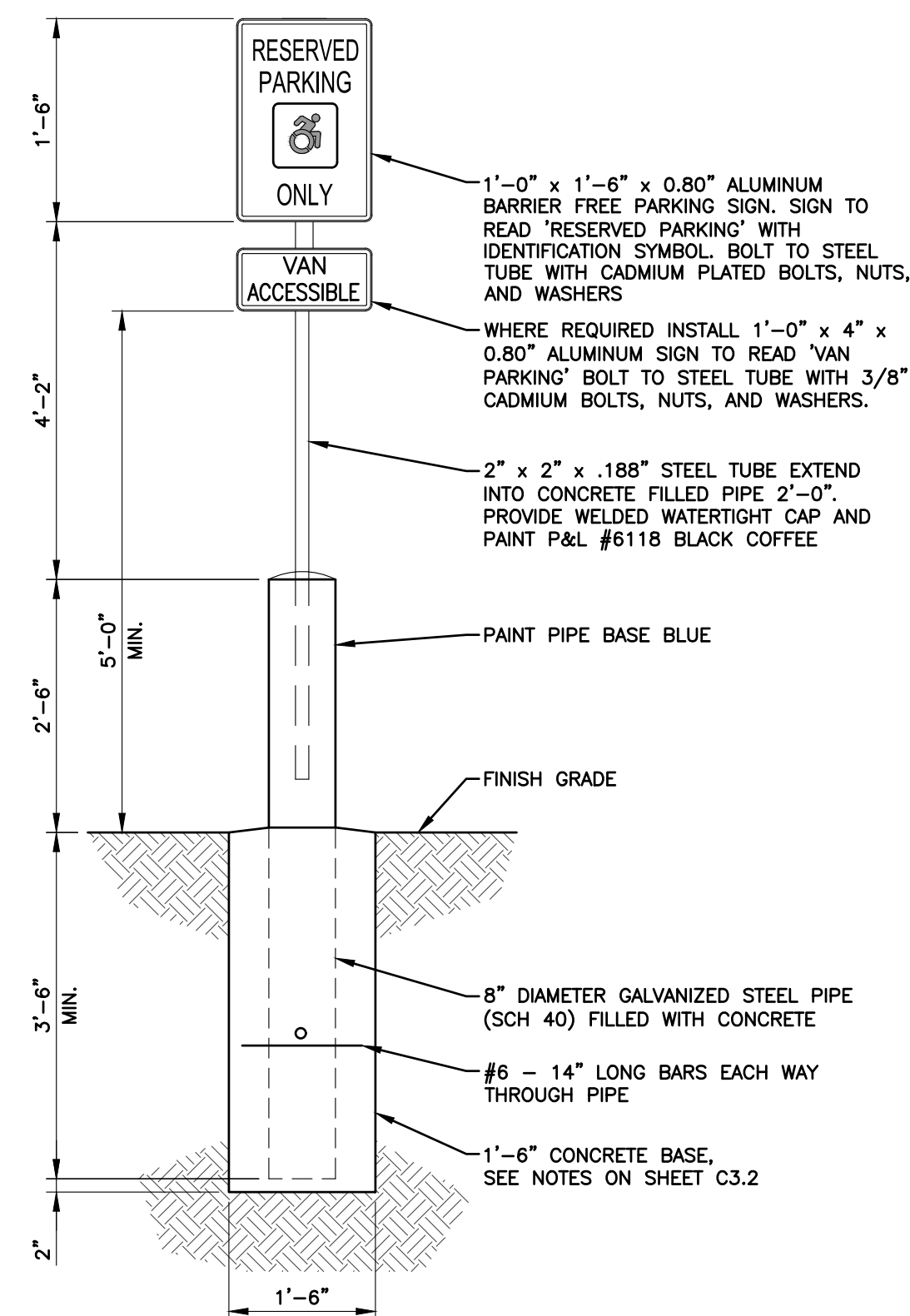
- 1. SYMBOL SHALL DEPICT A DYNAMIC CHARACTER LEANING FORWARD WITH A SENSE OF MOVEMENT.
- 2. PROVIDE CONTRASTING BACKGROUND WITH EITHER A WHITE SYMBOL ON BLUE BACKGROUND OR A BLUE SYMBOL ON A WHITE BACKGROUND.
- 3. SYMBOL SHALL BE SUBSTANTIALLY EQUIVALENT TO THE INTERNATIONAL SYMBOL OF ACCESS.
- 4. SYMBOL SHALL BE SIMPLE AND AVOID ANY SECONDARY MEANING.

BLUE PAINT DENOTING VAN ACCESSIBILITY WHERE APPLICABLE

**VAN**

BARRIER FREE SYMBOL DETAIL

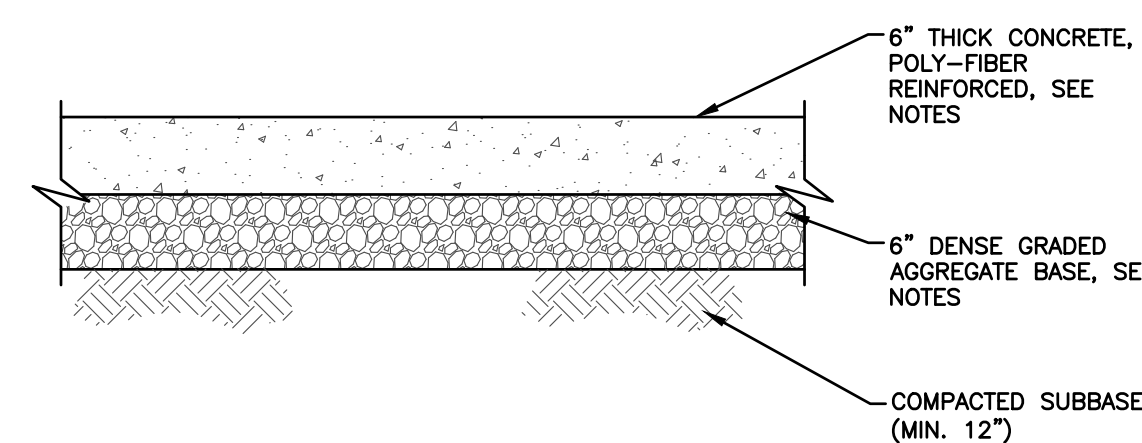
NOT TO SCALE



ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

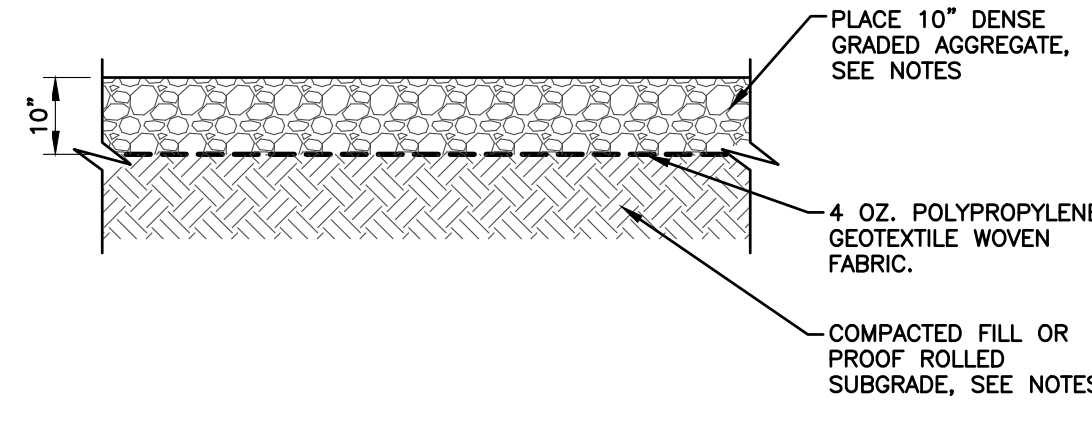
BARRIER FREE SIGN DETAIL

NOT TO SCALE



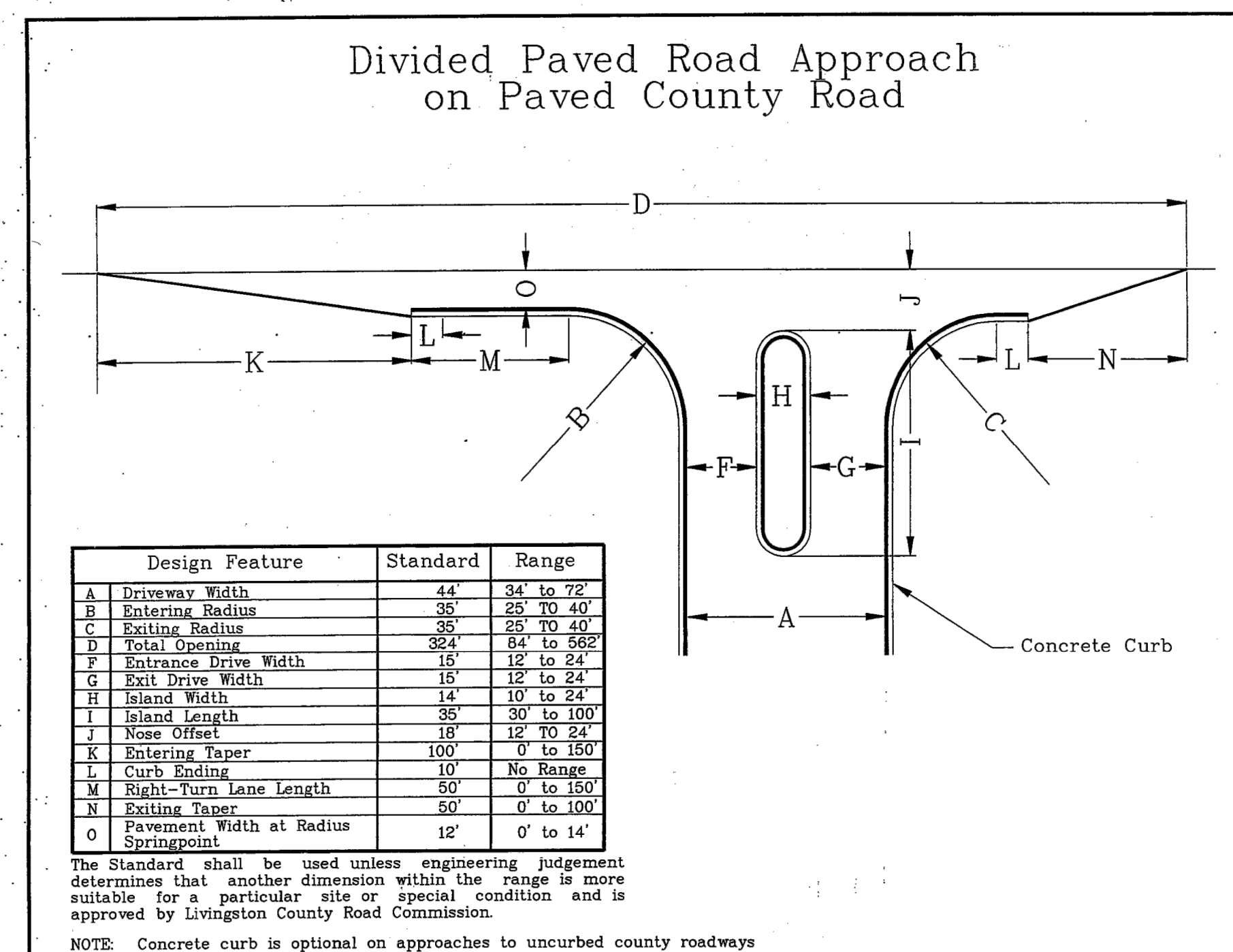
6" CONCRETE SURFACE DETAIL

NOT TO SCALE



GRAVEL SURFACE DETAIL

NOT TO SCALE



PROJECT MANAGER: G:\PW\_WORK\WADE-TRIM\_CSPRESS\1228134\PLTS-SITE\_DETAILS.DWG - C3.5 SITE DETAILS - PLOTTED 7/19/2023 3:51 PM BY SPIESS, GREG



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REV#	DATE	DESCRIPTION
1	7/19/23	SITE PLAN REVIEW

2520 Northline Rd.  
 SPA  
 734-977-0700  
 www.wadetrim.com

**WADE TRIM**

**FREEDOM RIVER, INC.**  
 9305 HURON RAPIDS DRIVE  
 WHITEMORE LAKE, MI 48189

SITE DETAILS FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
SPA REV 1	7/19/23	GLS
JOB NO. VCM2001		
SHEET C3.5		

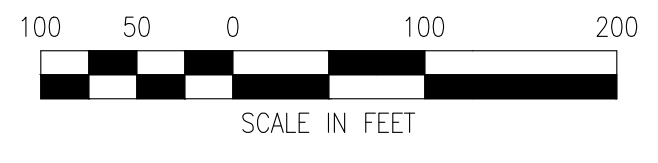
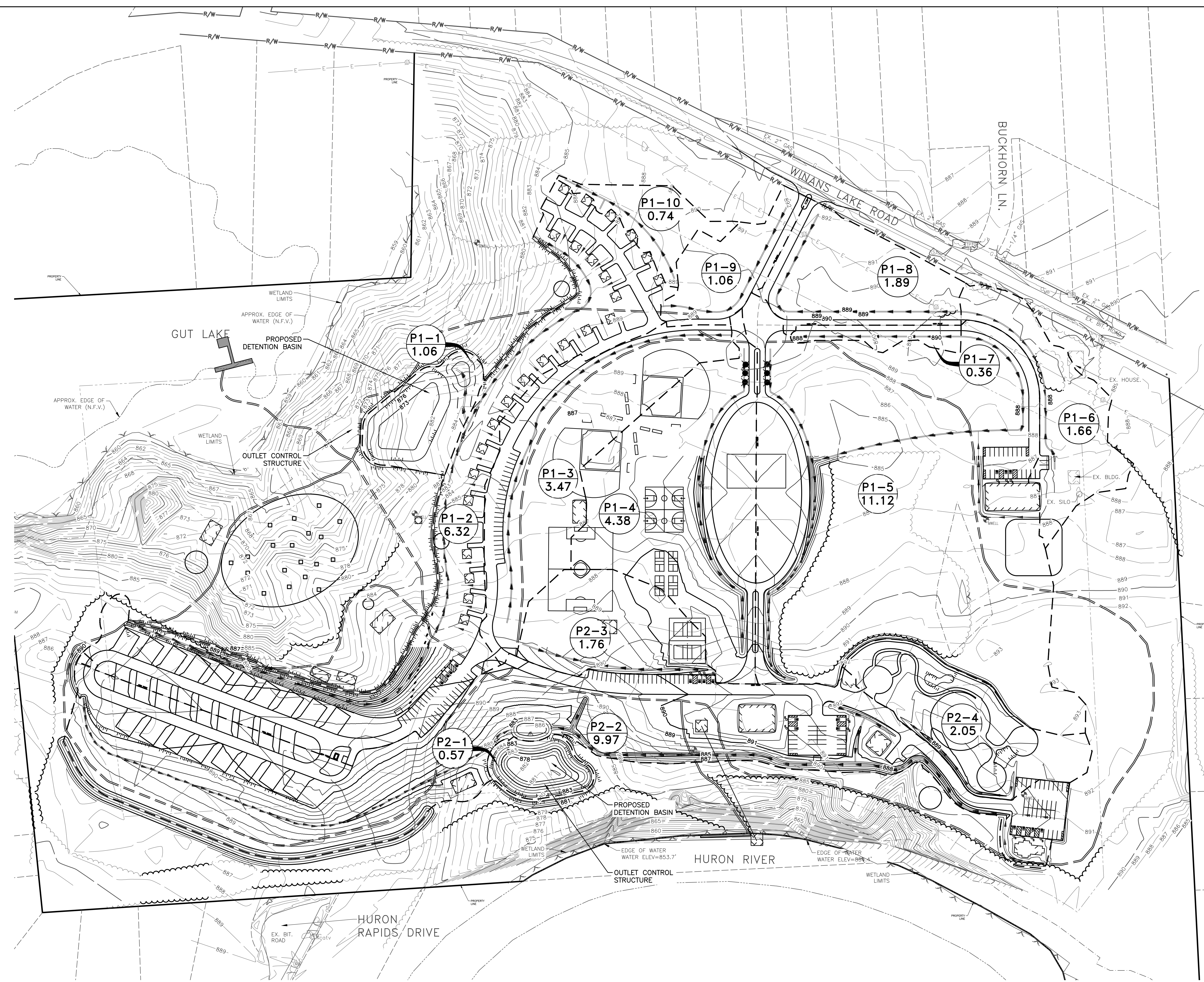


**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
OVERALL DRAINAGE PLAN  
FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA REV 1  
DATE: 6/1/23  
BY: GLS

JOB NO. VCM2001  
SHEET

C4.0



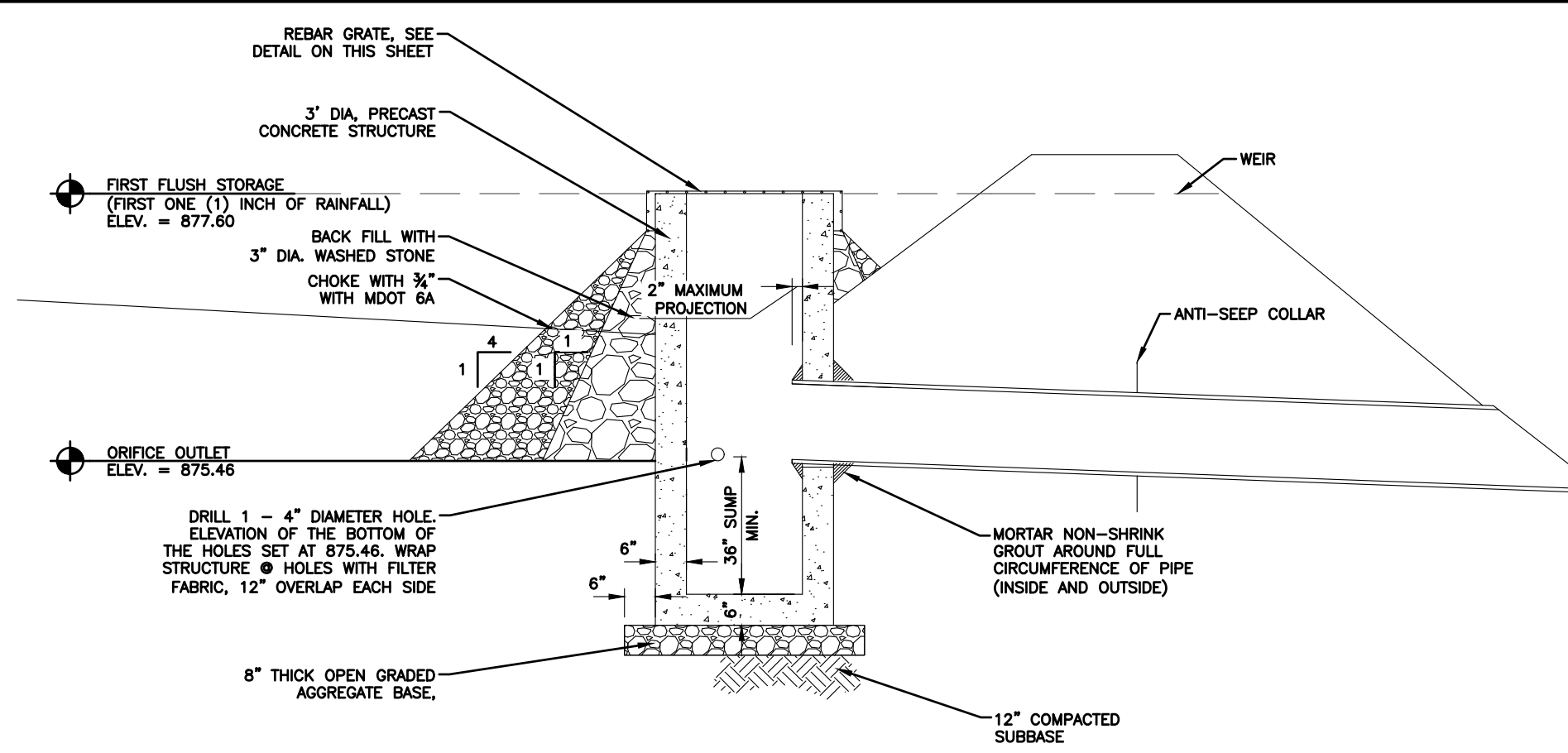
**PROPOSED LEGEND**

- DRAINAGE AREA DESIGNATION: A-1
- DRAINAGE AREA IN ACRES: 0.04
- MAJOR CONTOUR: 100
- MINOR CONTOUR: 101
- 100 YEAR WATER ELEVATION: (dashed line)
- FREEBOARD ELEVATION: (dotted line)
- DRAINAGE AREAS: (solid line)

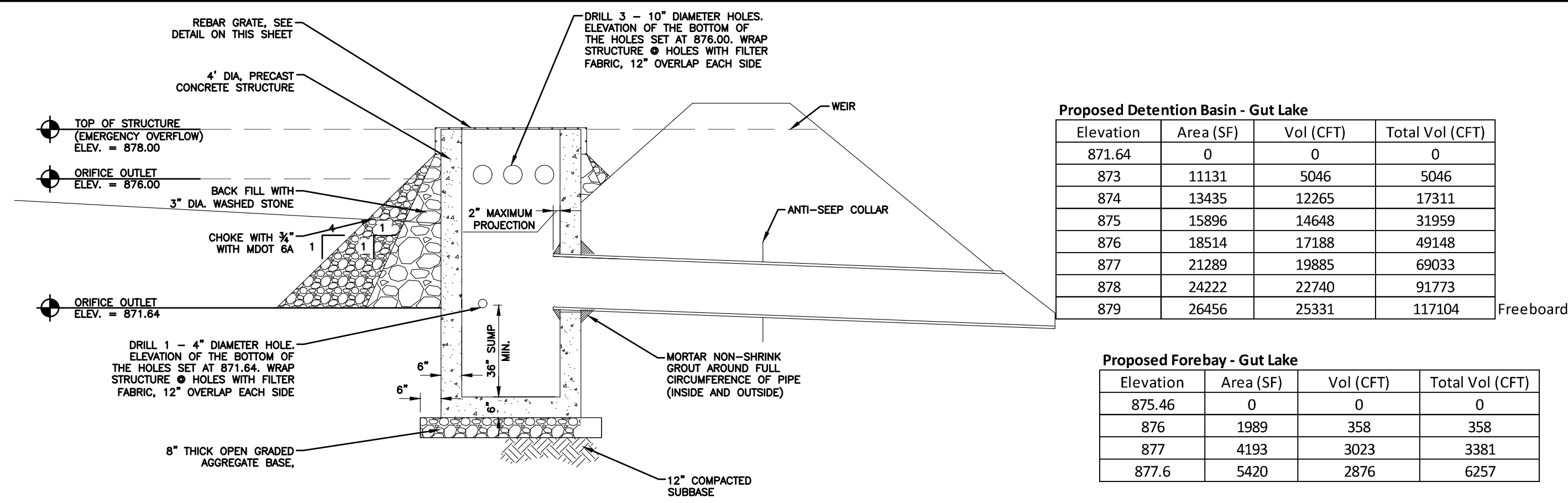
PROJECT MANAGER: TRIM, GSPRESS, D1228134 PLTS - DRAINAGE AREA PLAN.DWG - C4.0 DRAINAGE AREA PLAN - PLOTTED 7/19/2023 3:51 PM BY: SPRESS, GREG



Know what's below.  
Call before you dig.



OCS #P1-2 DETAIL  
NOT TO SCALE



OCS #P1-1 DETAIL  
NOT TO SCALE

Proposed Detention Basin - Gut Lake

Elevation	Area (SF)	Vol (CFT)	Total Vol (CFT)
871.64	0	0	0
873	11131	5046	5046
874	13435	12265	17311
875	15896	14648	31959
876	18514	17188	49147
877	21289	19885	69033
878	24222	22740	91773
879	26456	25331	117104

Freeboard

Proposed Forebay - Gut Lake

Elevation	Area (SF)	Vol (CFT)	Total Vol (CFT)
875.46	0	0	0
876	1989	358	358
877	4193	3023	3381
877.6	5420	2876	6257

Freeboard

Proposed Detention Basin - Huron River

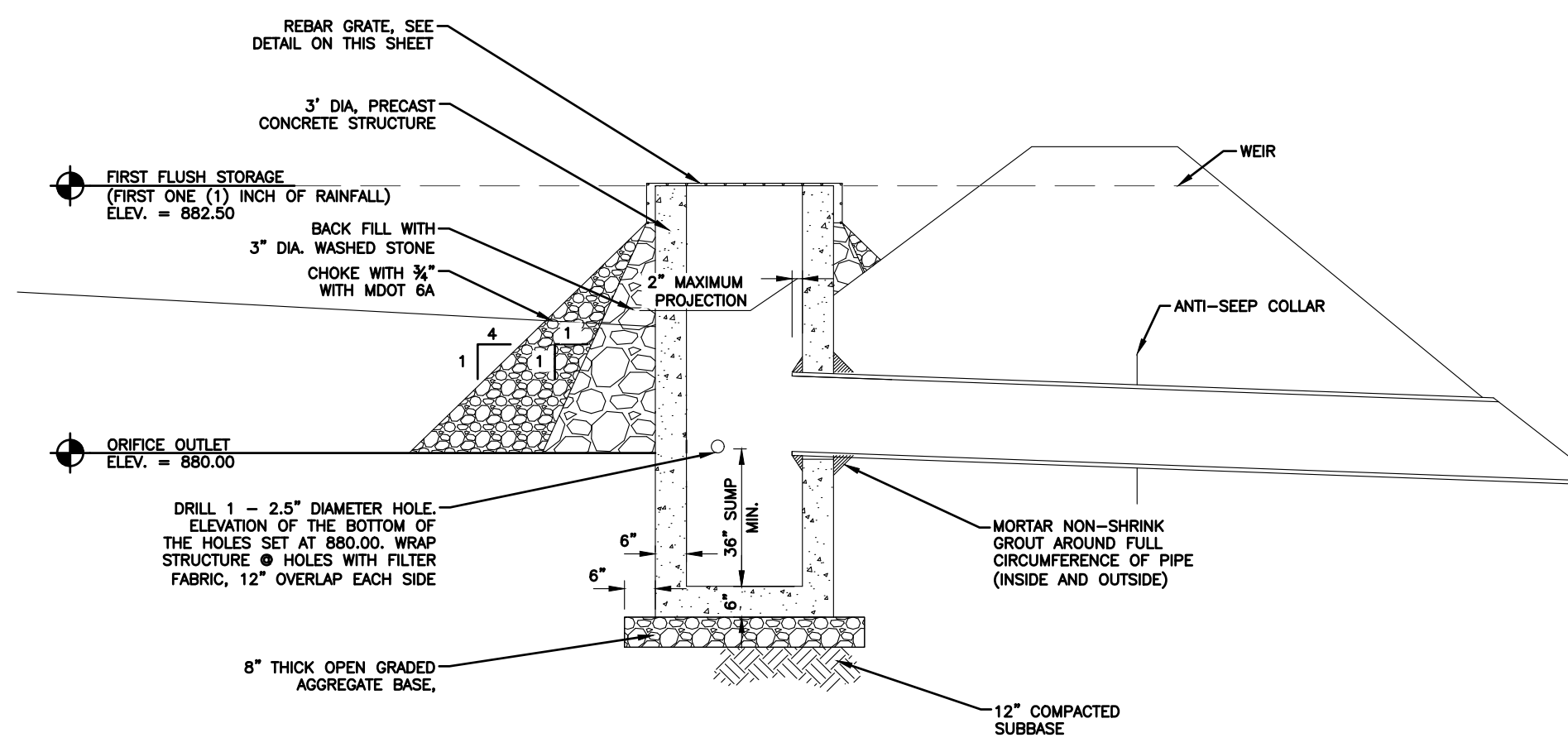
Elevation	Area (SF)	Vol (CFT)	Total Vol (CFT)
876.79	0	0	0
878	5618	2266	2266
879	7824	6691	8957
880	10340	9053	18009
881	13160	11722	29731
882	16107	14609	44340
883	19281	17670	62010
883.5	21326	10147	72157

Freeboard

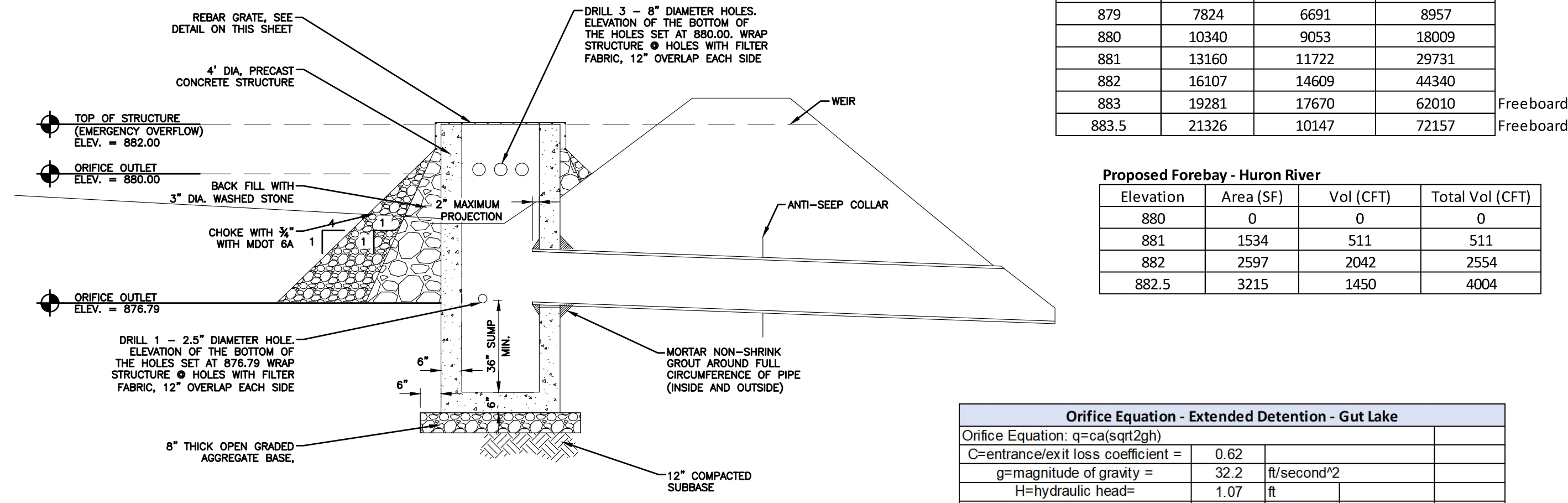
Proposed Forebay - Huron River

Elevation	Area (SF)	Vol (CFT)	Total Vol (CFT)
880	0	0	0
881	1534	511	511
882	2597	2042	2554
882.5	3215	1450	4004

Freeboard



OCS #P2-2 DETAIL  
NOT TO SCALE



OCS #P2-1 DETAIL  
NOT TO SCALE

Orifice Equation - Extended Detention - Gut Lake

Orifice Equation:  $q = ca\sqrt{2gh}$

C=entrance/exit loss coefficient = 0.62  
g=magnitude of gravity = 32.2 ft/second<sup>2</sup>  
H=hydraulic head= 1.07 ft  
 $Q_{EP} = 0.439$  cfs

Calculated A= 0.08530 ft<sup>2</sup>

Diameter of Orifice Inches	Radius of Orifice Inches	Area of Orifice Square Inches	Area of Orifice Square Feet	Total Orifices	Total sft of opening
4.00	2	12.56	0.087222	1	0.087222

Orifice Equation - 100 Year Detention - Gut Lake

$Q_{max} = 12.54$  cfs  
 $Q$  of 4" orifice = 0.726 cfs  
 $Q_{allow} = Q_{max} - Q$  = 11.814 cfs

Orifice Equation:  $q = ca\sqrt{2gh}$

C=entrance/exit loss coefficient = 0.62  
g=magnitude of gravity = 32.2 ft/second<sup>2</sup>  
H=hydraulic head= 2 ft  
 $Q_{EP} = 1.67896$  cfs

Calculated A= 1.67896 ft<sup>2</sup>

Diameter of Orifice Inches	Radius of Orifice Inches	Area of Orifice Square Inches	Area of Orifice Square Feet	Total Orifices	Total sft of opening
10	5	78.500	0.5451	3	1.635417

Orifice Equation - Extended Detention - Huron River

Orifice Equation:  $q = ca\sqrt{2gh}$

C=entrance/exit loss coefficient = 0.62  
g=magnitude of gravity = 32.2 ft/second<sup>2</sup>  
H=hydraulic head= 1.25 ft  
 $Q_{EP} = 0.214$  cfs

Calculated A= 0.03847 ft<sup>2</sup>

Diameter of Orifice Inches	Radius of Orifice Inches	Area of Orifice Square Inches	Area of Orifice Square Feet	Total Orifices	Total sft of opening
2.50	1.25	4.90625	0.034071	1	0.034071

Orifice Equation - 100 Year Detention - Huron River

$Q_{max} = 7.93$  cfs  
 $Q$  of 2.5" orifice = 0.284 cfs  
 $Q_{allow} = Q_{max} - Q$  = 7.646 cfs

Orifice Equation:  $q = ca\sqrt{2gh}$

C=entrance/exit loss coefficient = 0.62  
g=magnitude of gravity = 32.2 ft/second<sup>2</sup>  
H=hydraulic head= 2 ft  
 $Q_{EP} = 1.08669$  cfs

Calculated A= 1.08669 ft<sup>2</sup>

Diameter of Orifice Inches	Radius of Orifice Inches	Area of Orifice Square Inches	Area of Orifice Square Feet	Total Orifices	Total sft of opening
8	4	50.240	0.3489	3	1.046667

	Total (ac)	Impervious (ac)	Pervious (ac)	C
Gut Lake	32.07	6.55	25.52	0.343
Huron River	14.17	3.61	10.56	0.378

Minimum Volume Requirements - Gut Lake

Water Quality Control (WQ) -  $V_{wq} = 3630 \cdot C \cdot A$

$V_{wq}$  (cuft) = 39926

Forebay Storage Volume -  $V_f = 3630 \cdot C \cdot A \cdot 0.15$

$V_{wq}$  (cuft) = 5989

Channel Protection Volume Control (CPVC) -  $V_{cp} = 4719 \cdot C \cdot A$

$V_{cp}$  (cuft) = 51904

Channel Protection Rate Control (CPRC) -  $V_{ed} = 6897 \cdot C \cdot A$

$V_{ed}$  (cuft) = 75860

Extended Detention Volume Discharge Rate -  $V_{ed}$  discharged over 48-hours

$Q_{ed}$  (cfs) = 0.439

Variable Release Rate -  $Q_{vrr} = 1.1055 - 0.206 \ln(A)$

$Q_{vrr}$  (cfs/ac) = 0.391

Allowable 100-Year Discharge Rate -  $Q_{100p} = Q_{vrr} \cdot A$

$Q_{100p}$  = 12.543

100-Year Peak Runoff Volume -  $V_{100R} = 18985 \cdot C \cdot A$

$V_{100R}$  (cuft) = 208816

100-Year Peak Inflow Rate -  $Q_{100IN} = C \cdot 100 \cdot A$

$Q_{100IN}$  (cfs) = 69.43

Storage Curve Factor -  $R = 0.206 - 0.15 \ln(Q_{100p}/Q_{100IN})$

R = 0.46

100-Year Detention Volume -  $V_{100D} = (V_{100R} \cdot R) - V_{CP-P}$

$V_{100D}$  = 96613.80

$V_{100D} \geq V_{ED}$

Required Storage (cuft) = 96614

Minimum Volume Requirements - Huron River

Water Quality Control (WQ) -  $V_{wq} = 3630 \cdot C \cdot A$

$V_{wq}$  (cuft) = 19460

Forebay Storage Volume -  $V_f = 3630 \cdot C \cdot A \cdot 0.15$

$V_{wq}$  (cuft) = 2919

Channel Protection Volume Control (CPVC) -  $V_{cp} = 4719 \cdot C \cdot A$

$V_{cp}$  (cuft) = 25299

Channel Protection Rate Control (CPRC) -  $V_{ed} = 6897 \cdot C \cdot A$

$V_{ed}$  (cuft) = 36975

Extended Detention Volume Discharge Rate -  $V_{ed}$  discharged over 48-hours

$Q_{ed}$  (cfs) = 0.214

Variable Release Rate -  $Q_{vrr} = 1.1055 - 0.206 \ln(A)$

$Q_{vrr}$  (cfs/ac) = 0.559

Allowable 100-Year Discharge Rate -  $Q_{100p} = Q_{vrr} \cdot A$

$Q_{100p}$  = 7.926

100-Year Peak Runoff Volume -  $V_{100R} = 18985 \cdot C \cdot A$

$V_{100R}$  (cuft) = 101779

100-Year Peak Inflow Rate -  $Q_{100IN} = C \cdot 100 \cdot A$

$Q_{100IN}$  (cfs) = 33.84

Storage Curve Factor -  $R = 0.206 - 0.15 \ln(Q_{100p}/Q_{100IN})$

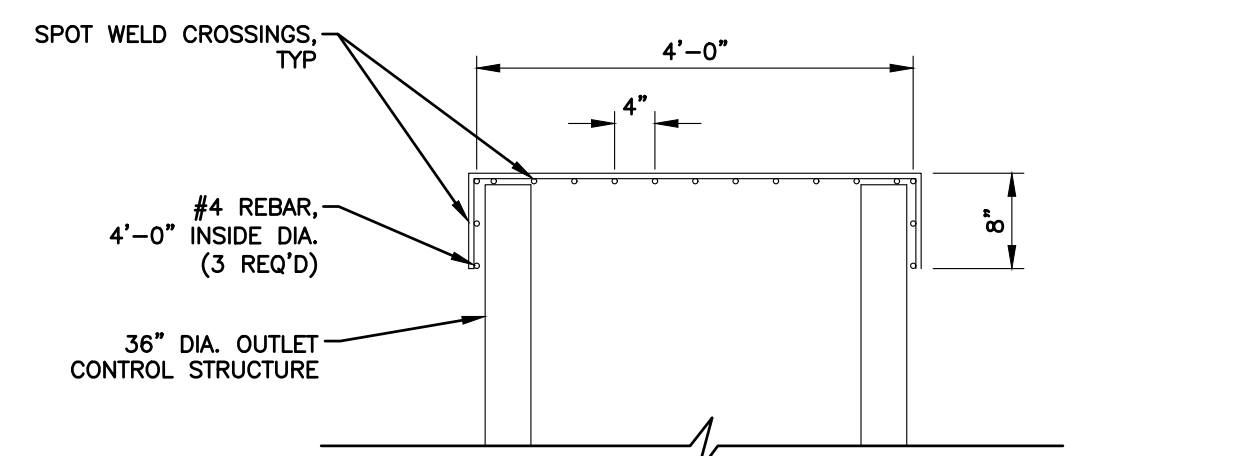
R = 0.42

100-Year Detention Volume -  $V_{100D} = (V_{100R} \cdot R) - V_{CP-P}$

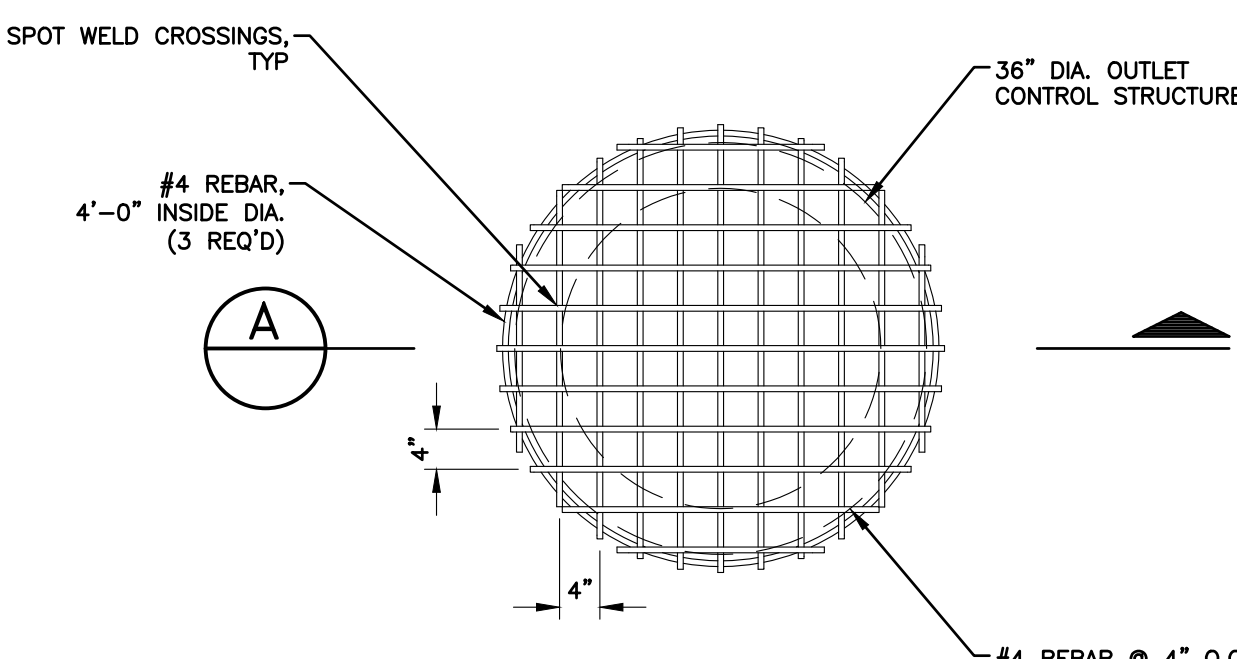
$V_{100D}$  = 43125.81

$V_{100D} \geq V_{ED}$

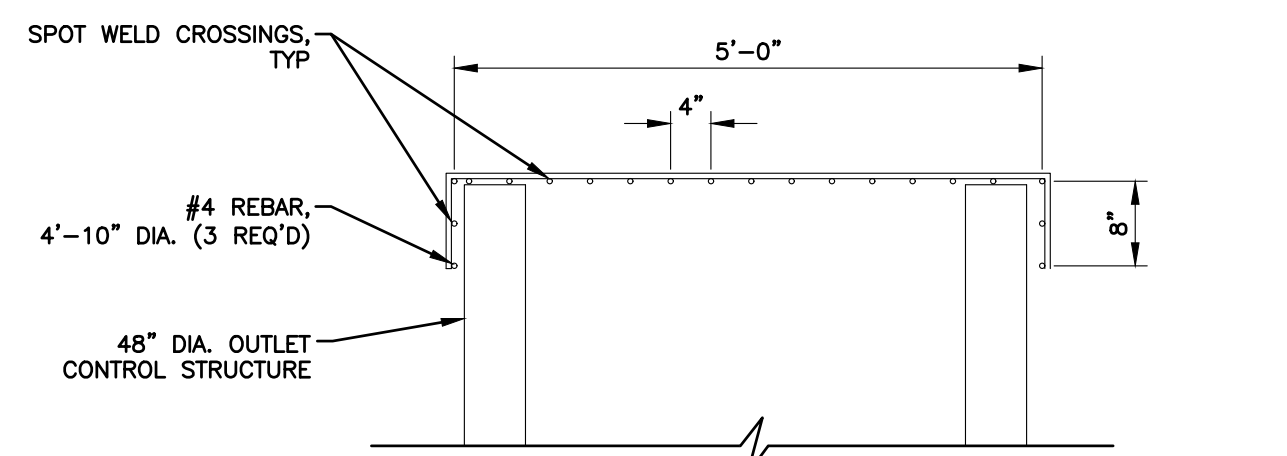
Required Storage (cuft) = 43126



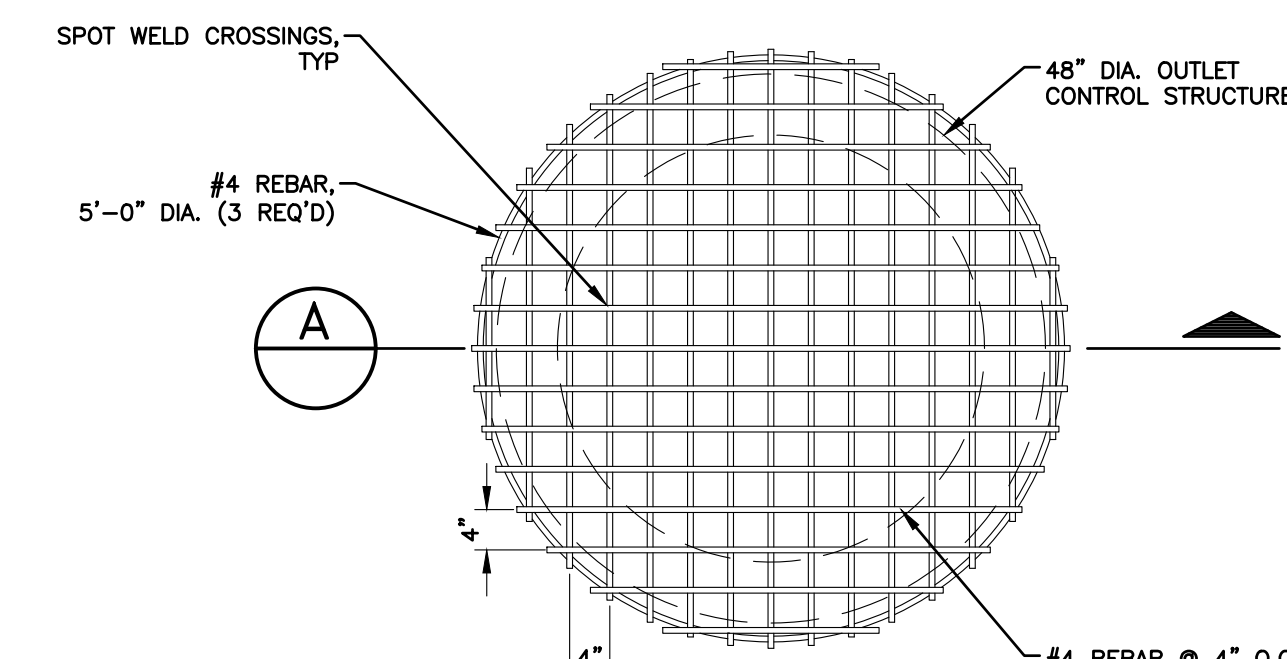
SECTION A



48" - REBAR GRATE DETAIL  
NOT TO SCALE



SECTION A



60" - REBAR GRATE DETAIL  
NOT TO SCALE

TRIBUTARY TO POND 1 (GUT LAKE)

Drainage Area	Impervious (Acres)	Gravel (Acres)	Lawn (Acres)	Total	Cw-Value
P1-1	0.00	0.00	1.06	1.06	0.20
P1-2	2.27	0.00	4.04	6.32	0.45
P1-3	0.61	0.00	2.86	3.47	0.32
P1-4	2.08	0.00	2.30	4.38	0.53
P1-5	1.04	0.00	10.08	11.12	0.27
P1-6	0.07	0.00	1.60	1.66	0.23
P1-7	0.10	0.00	0.26	0.36	0.39
P1-8	0.23	0.00	1.66	1.89	0.28
P1-9	0.15	0.00	0.92	1.06	0.30
P1-10	0.00	0.00	0.74	0.74	0.20
Total	6.55	0.00	25.52	32.07	0.34

TRIBUTARY TO POND 2 (HURON RIVER)

Drainage Area	Impervious (Acres)	Gravel (Acres)	Lawn (Acres)	Total	Cw-Value
P2-1	0.00	0.00	0.57	0.57	0.20
P2-2	2.71	0.00	7.08	9.79	0.39
P2-3	0.19	0.00	1.58	1.76	0.27
P2-4	0.71	0.00	1.33	2.05	0.44
Total	3.61	0.00	10.56	14.17	0.38

FIELD BOOK INFORMATION: C:\PW\_MWORK\WADE-TRIM\_CSPRESS\1228134\PLTS-DRAINAGE AREA PLANDWG - C4.1 STORMWATER CALCULATIONS - PLOTTED 7/19/2023 3:51 PM BY SPRESS, OREG



Item 2

DATE: 7/19/23

DESCRIPTION: SITE PLAN REVIEW

WADE TRIM

25251 Northern Rd.  
724-947-9700  
www.wadetrim.com

FREEDOM RIVER, INC.  
9305 HURON RAPIDS DRIVE  
WHITEMORE LAKE, MI 48189

OVERALL DRAINAGE PLAN FOR FREEDOM RIVER CAMPGROUND

ISSUED FOR: DATE: BY:  
SPA 6/1/23 GLS  
SPA REV 1 7/19/23 GLS

JOB NO. VCM2001

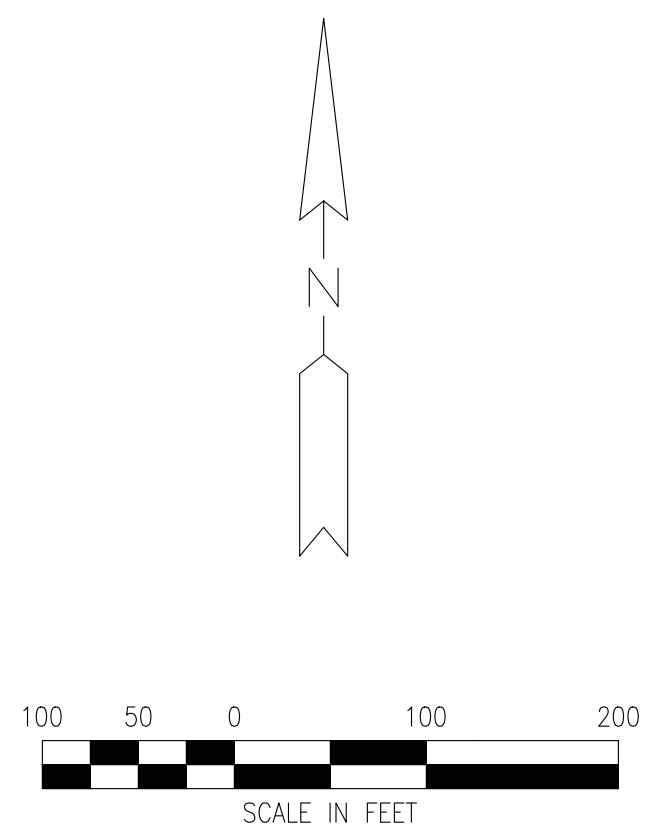
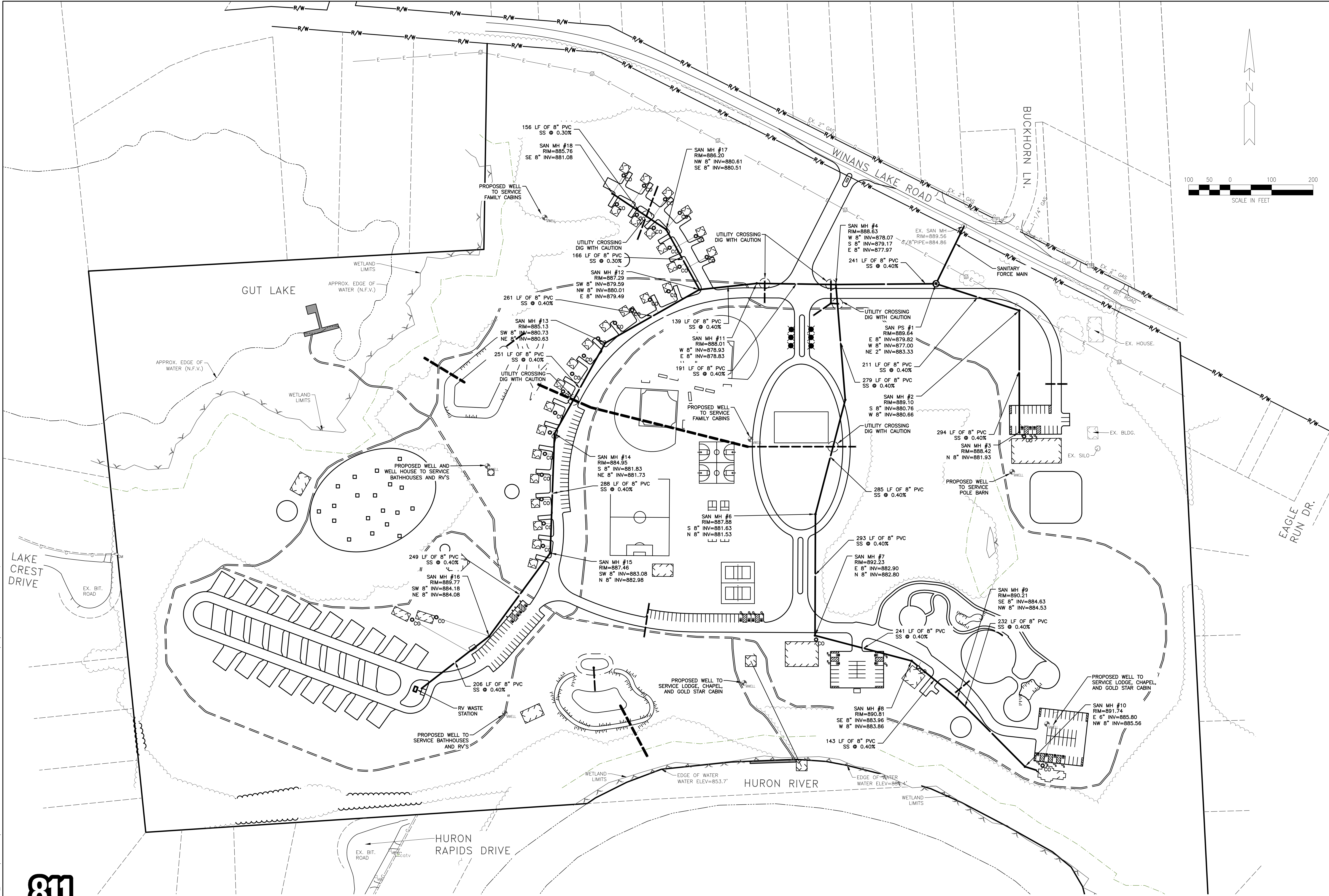
SHEET C4.1

47

PROJECT MANAGER: G:\\_WORK\WADE-TRIM\CSPRESS\1228134\PLTS-UTILITY PLANDWG - C5.0 OVERALL SAN SWR PLAN - PLOTTED: 7/19/2023 3:52 PM BY SPIESS, GREG



Know what's below.  
Call before you dig.



REV#	DATE	DESCRIPTION
1	7/19/23	

25201 Northern Rd.  
Whitefish Lake, MI 49783  
734.947.9700  
www.wadetrtrim.com

**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
 OVERALL UTILITY PLAN - SANITARY  
 FOR  
 FREEDOM RIVER CAMPGROUND

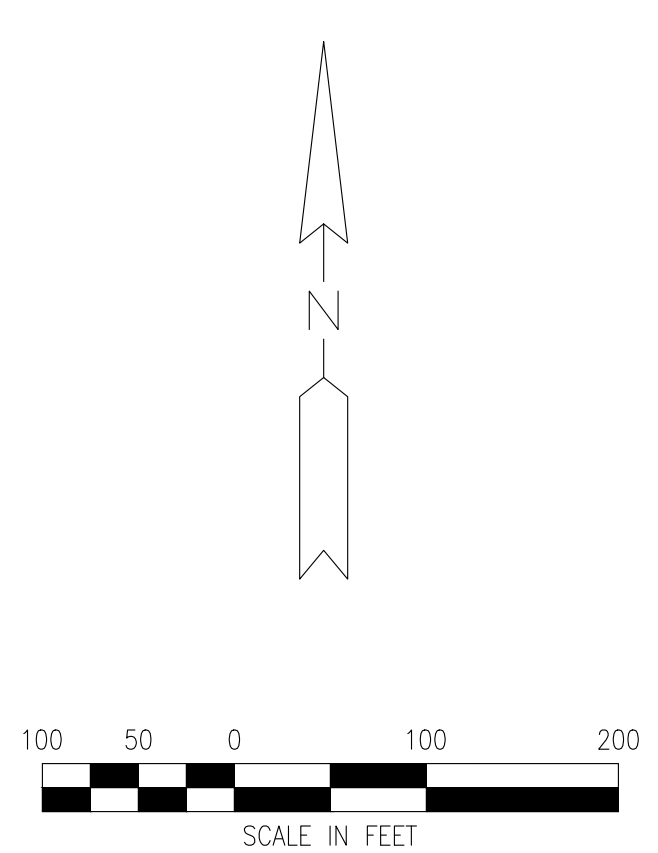
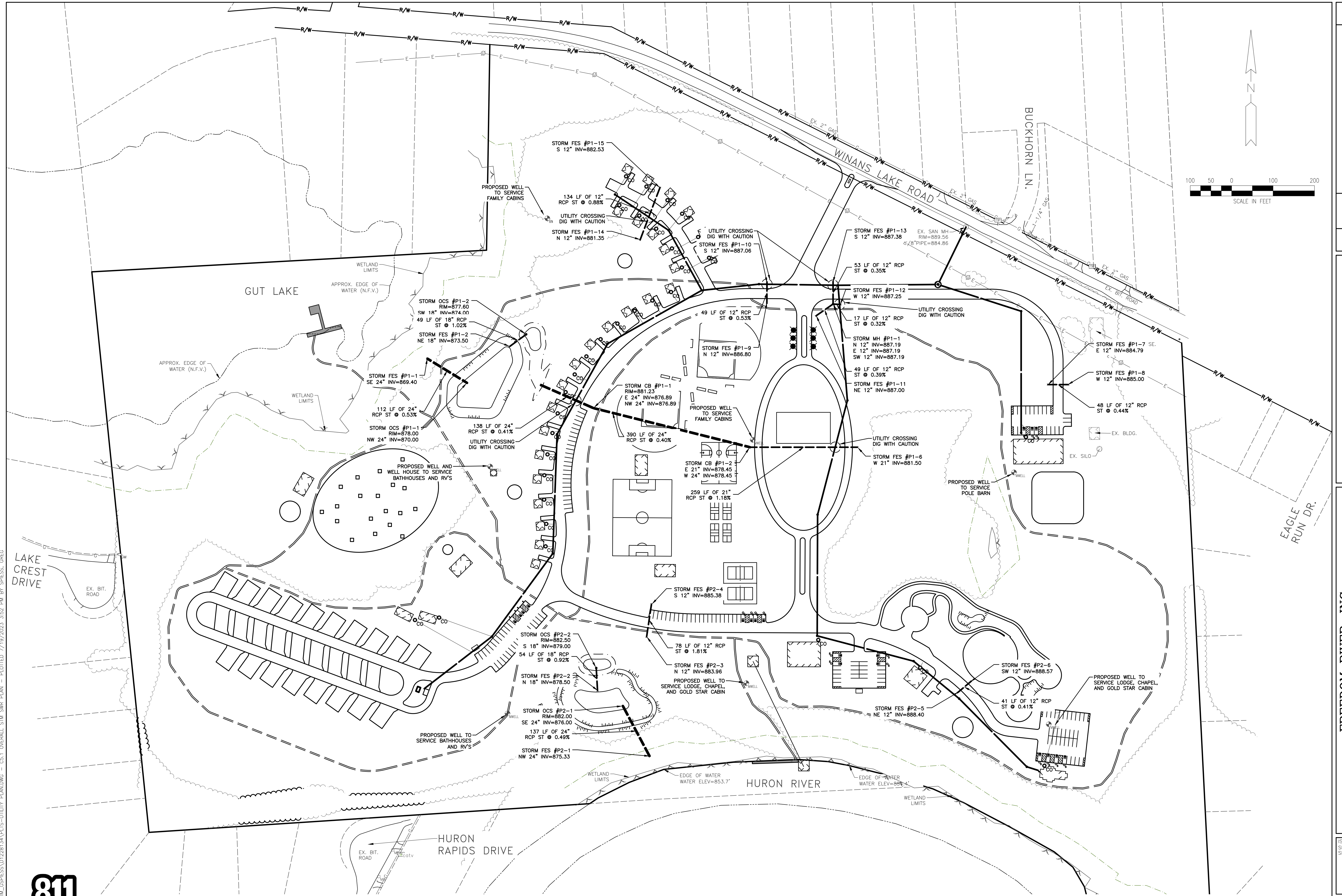
ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
SPA REV 1	7/19/23	GLS
JOB NO. VCM2001		
SHEET C5.0		



PROJECT MANAGER: G:\FW\_WORK\WADE-TRIM\_CSPRESS\1228134\PLTS-UTILITY\_PLANDWG - C5.1 OVERALL STM SWR PLAN - PLOTTED: 7/19/2023 3:52 PM BY SPIESS, GREG



Know what's below.  
Call before you dig.



REV#	DATE	DESCRIPTION
1	7/19/23	

25251 Northern Rd.  
Whitefish Bay, WI 53190  
724.847.9700  
www.wadetrim.com

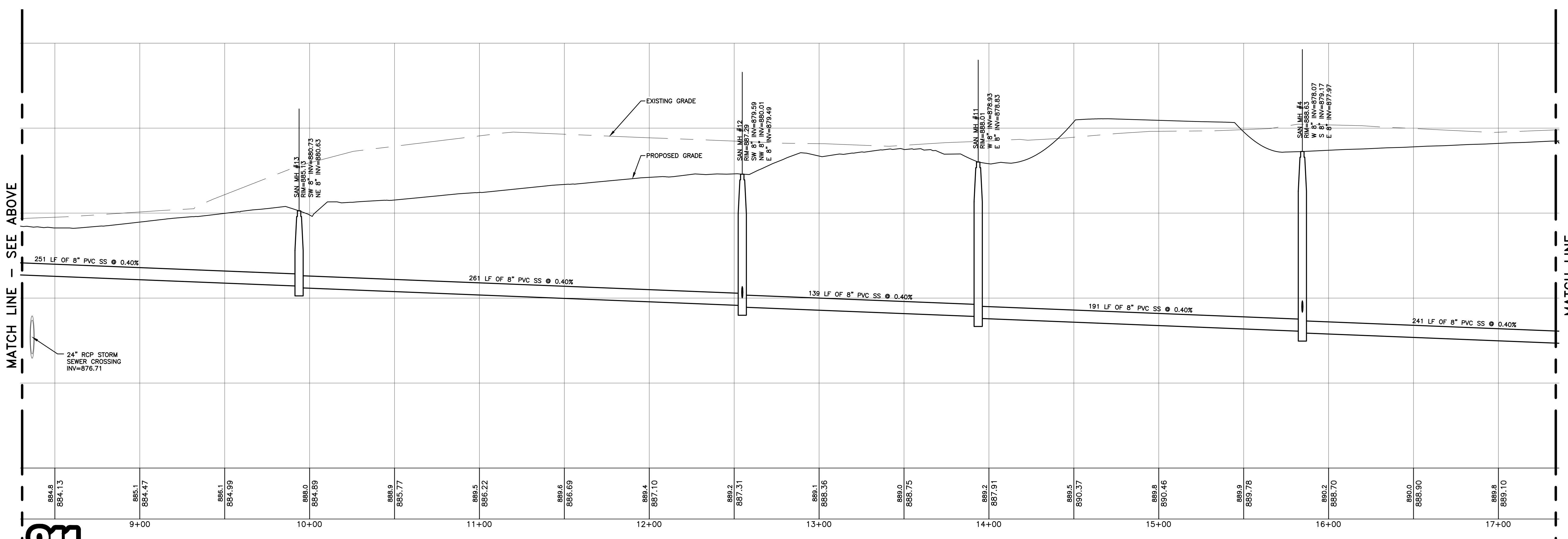
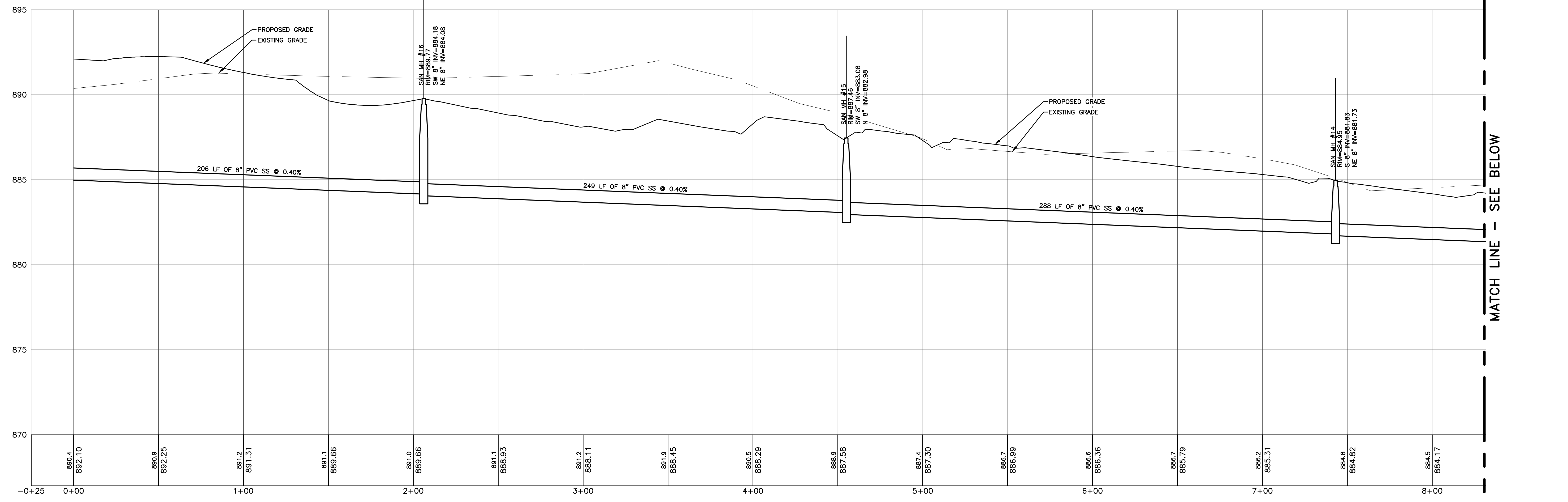
**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
 OVERALL STM SWR PLAN - STORM  
 FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR:	DATE:	BY:
SPA	6/1/23	GLS
SPA REV 1	7/19/23	GLS

JOB NO. VCM2001  
 SHEET C5.1



PROJECT MANAGER: C:\PW\_WORK\WADE-TRIM\_CSPRESS\1228134\PLTS-SANITARY PROFILES.DWG - A - PLOTTED 7/19/2023 3:52 PM BY SPIESS, GREG



Know what's below.  
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REV#	DATE	DESCRIPTION
1	7/19/23	SITE PLAN REVIEW

2520 Northline Rd.  
 724-977-9700  
 www.wadetrtrim.com

**FREEDOM RIVER, INC.**  
 9305 HURON RAPIDS DRIVE  
 WHITEMORE LAKE, MI 48189  
 SANITARY PROFILES - A  
 FREEDOM RIVER CAMPGROUND

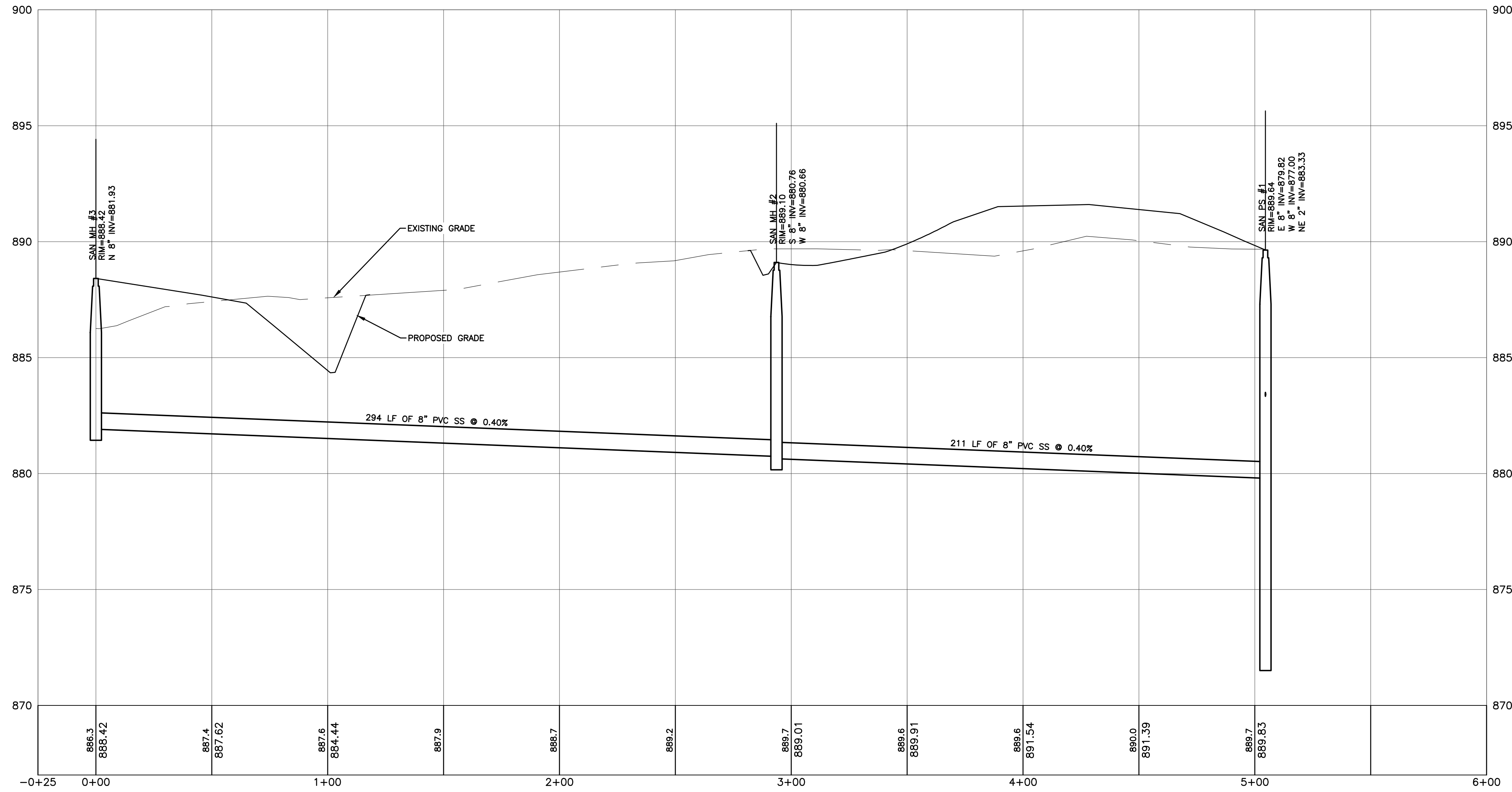
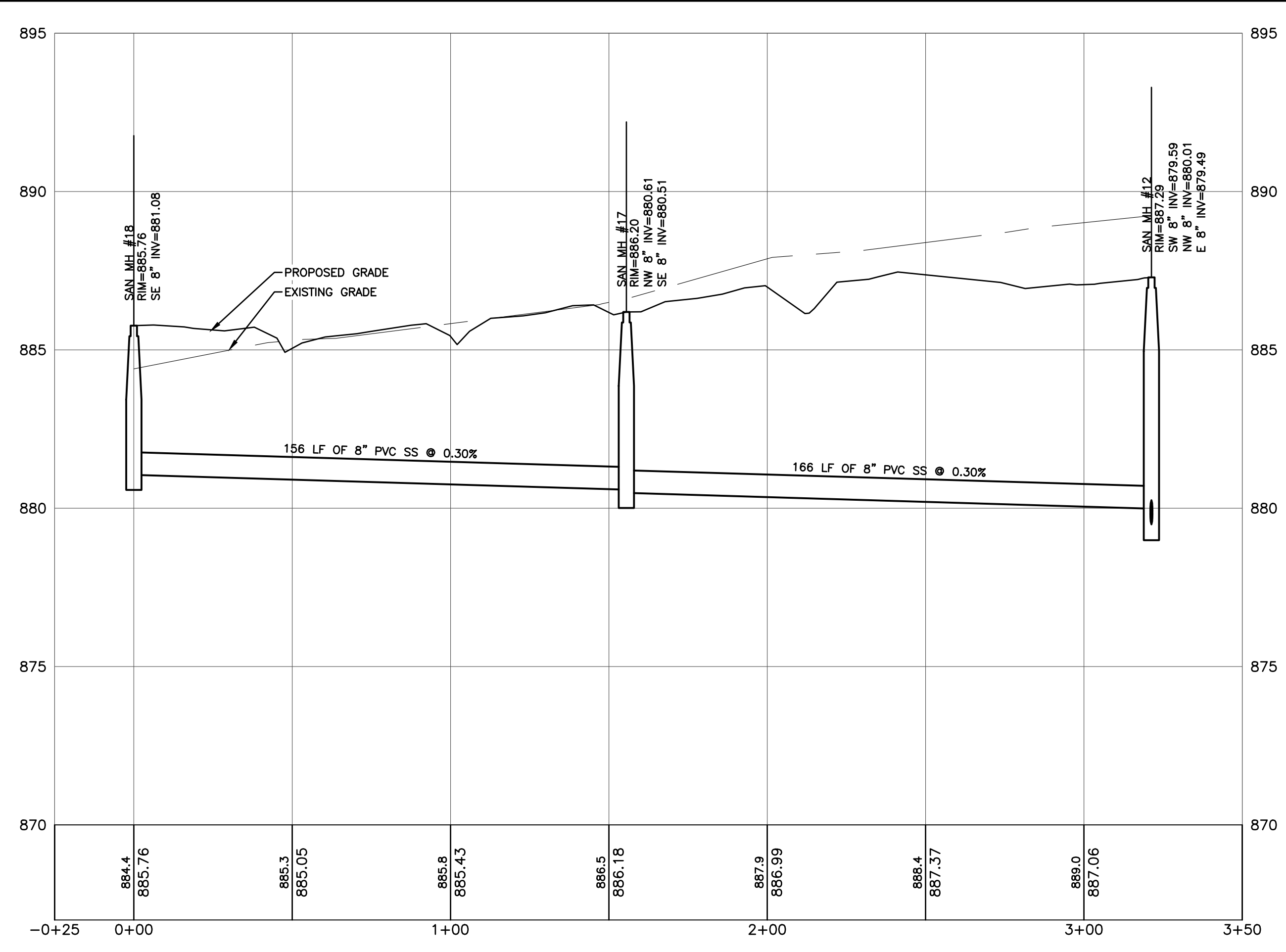
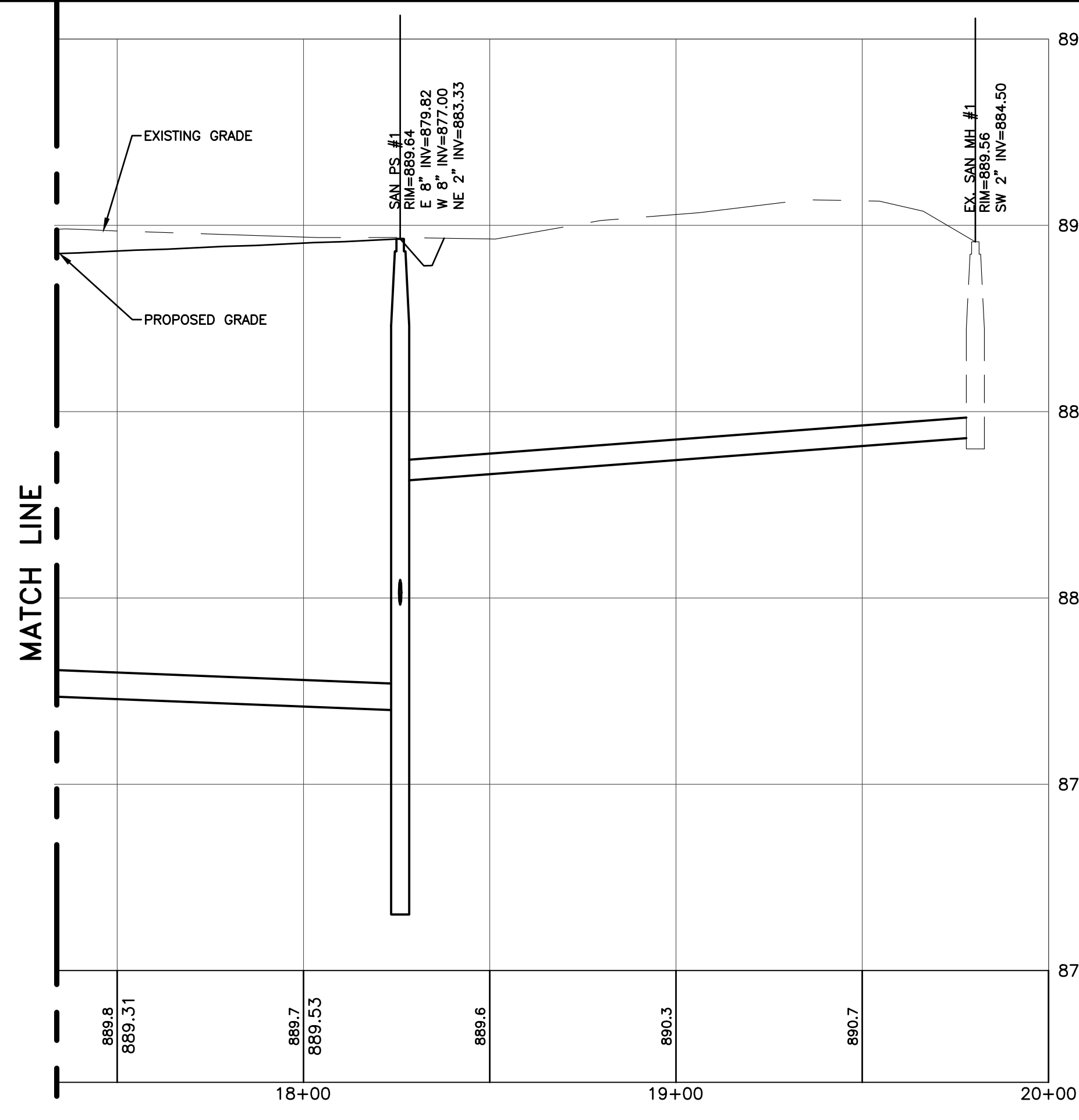
ISSUED FOR: SPA REV 1	DATE: 6/1/23 7/19/23	BY: G.L.S. G.L.S.
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JOB NO. VCM2001

SHEET C5.3



Know what's below.  
Call before you dig.



REV#	DATE	DESCRIPTION
1	7/19/23	

25201 Northline Rd.  
P.O. Box 160  
724-87-7070  
www.wadetrtrim.com

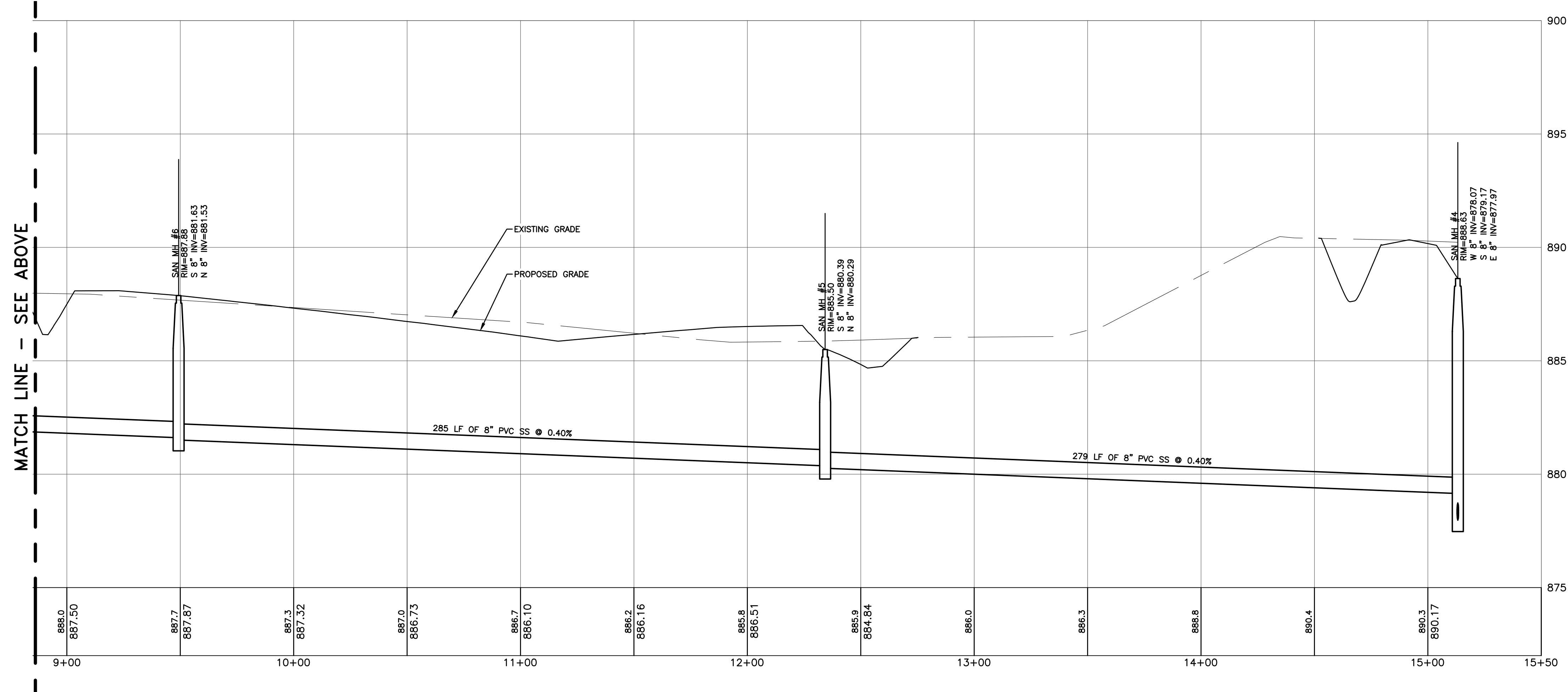
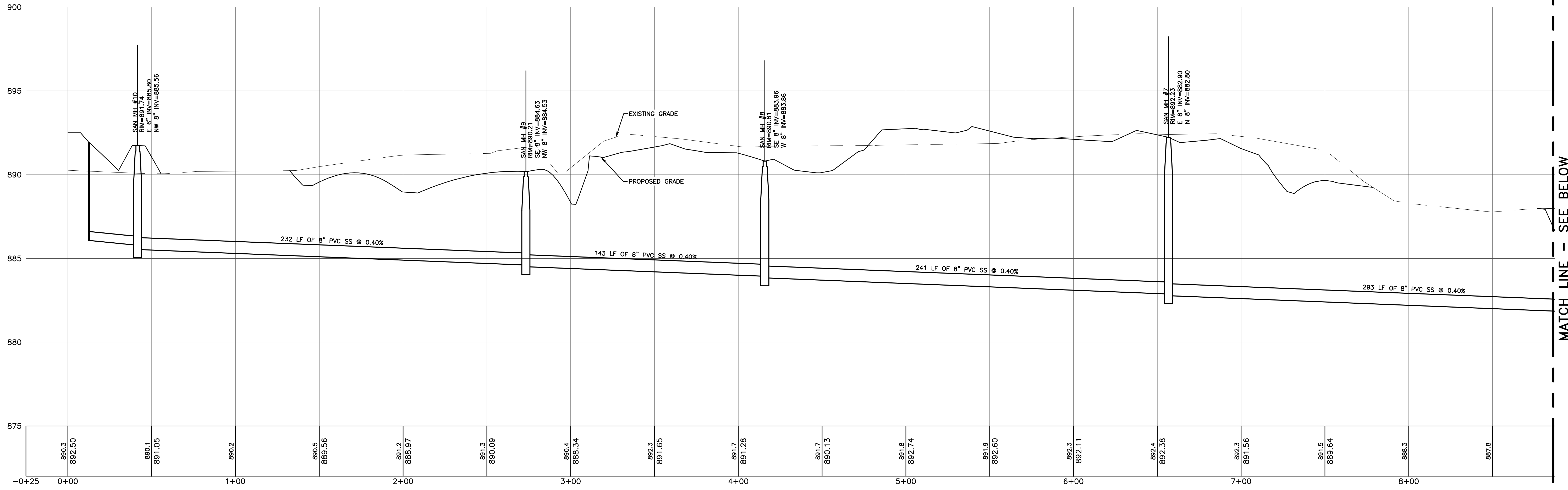
**FREEDOM RIVER, INC.**  
9305 HURON RAPIDS DRIVE  
WHITEMORE LAKE, MI 48189

SANITARY PROFILES - B  
FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR:	DATE:	BY:
SPA	6/1/23	GLS
SPA REV 1	7/19/23	GLS
JOB NO.	VCM2001	
SHEET	C5.4	



Know what's below.  
Call before you dig.



REV#	DATE	DESCRIPTION
1	7/19/23	SITE PLAN REVIEW



FREEDOM RIVER, INC.  
9305 HURON RAPIDS DRIVE  
WHITEMORE LAKE, MI 48189  
SANITARY PROFILES - C  
FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR:	DATE:	BY:
SPA	6/1/23	GLS
SPA REV 1	7/19/23	GLS

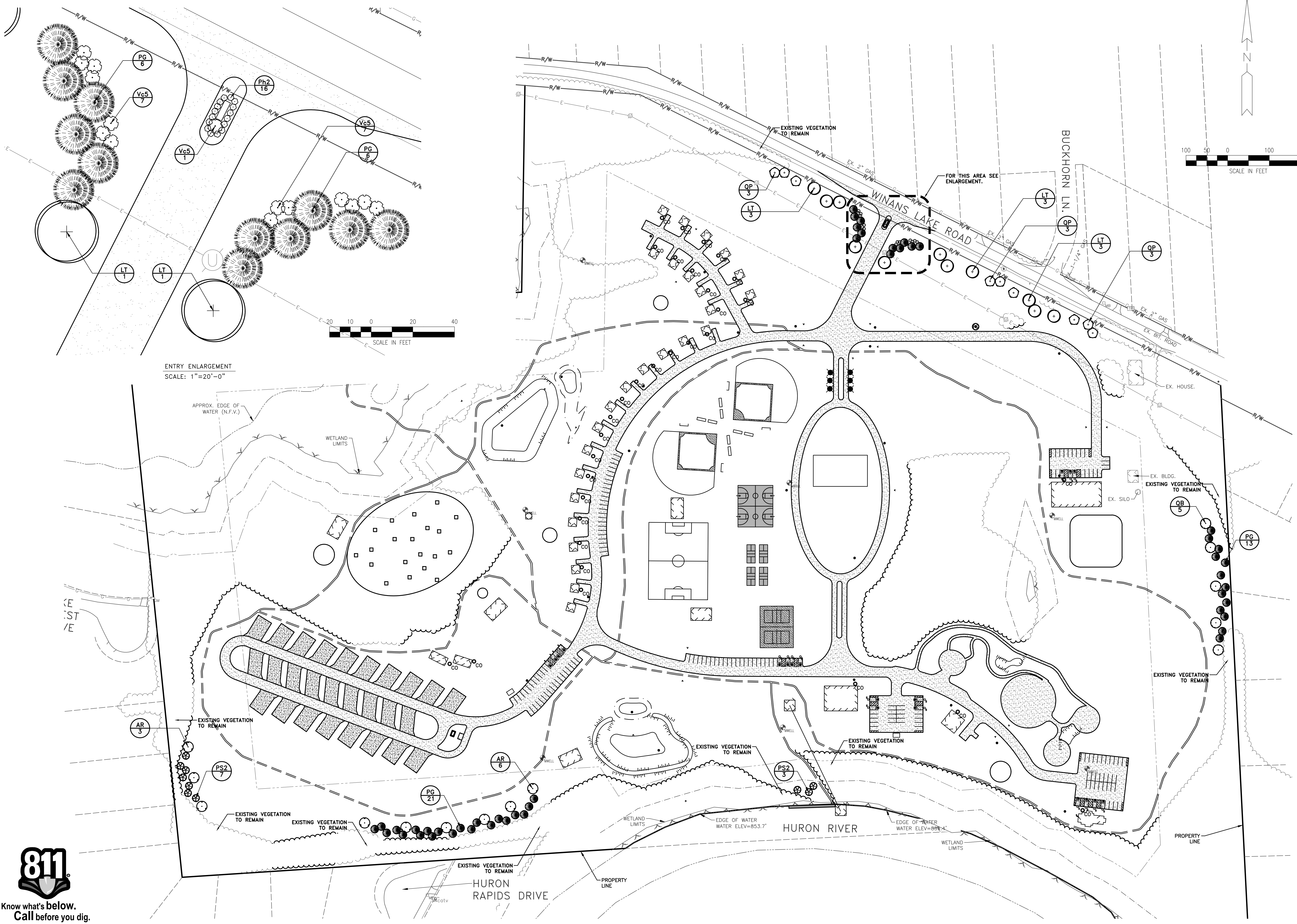
JOB NO.  
VCM2001

SHEET  
C5.5

PROJECT MANAGER: TRIM, DOERLICH | 1228134 | VLS - LANDSCAPE PLAN, L.DWG - L1.0 OVERALL LANDSCAPE PLAN - PLOTTED 8/19/2023 1:29 PM BY DIERLICH, DOUG



Know what's below.  
Call before you dig.



REV#	DATE	DESCRIPTION
1	7/19/23	

**WADE TRIM**  
25251 Northern Rd.  
Farmington, MI 48334  
734.947.9700  
www.wadetrim.com

**FREEDOM RIVER, INC.**  
9305 HURON RAPIDS DRIVE  
WHITEMORE LAKE, MI 48189  
OVERALL LANDSCAPE PLAN  
FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR:	DATE:	BY:
SPA	6/1/23	GLS
SPA REV 1	7/19/23	GLS
JOB NO.	VCM2001	
SHEET	L1.0	

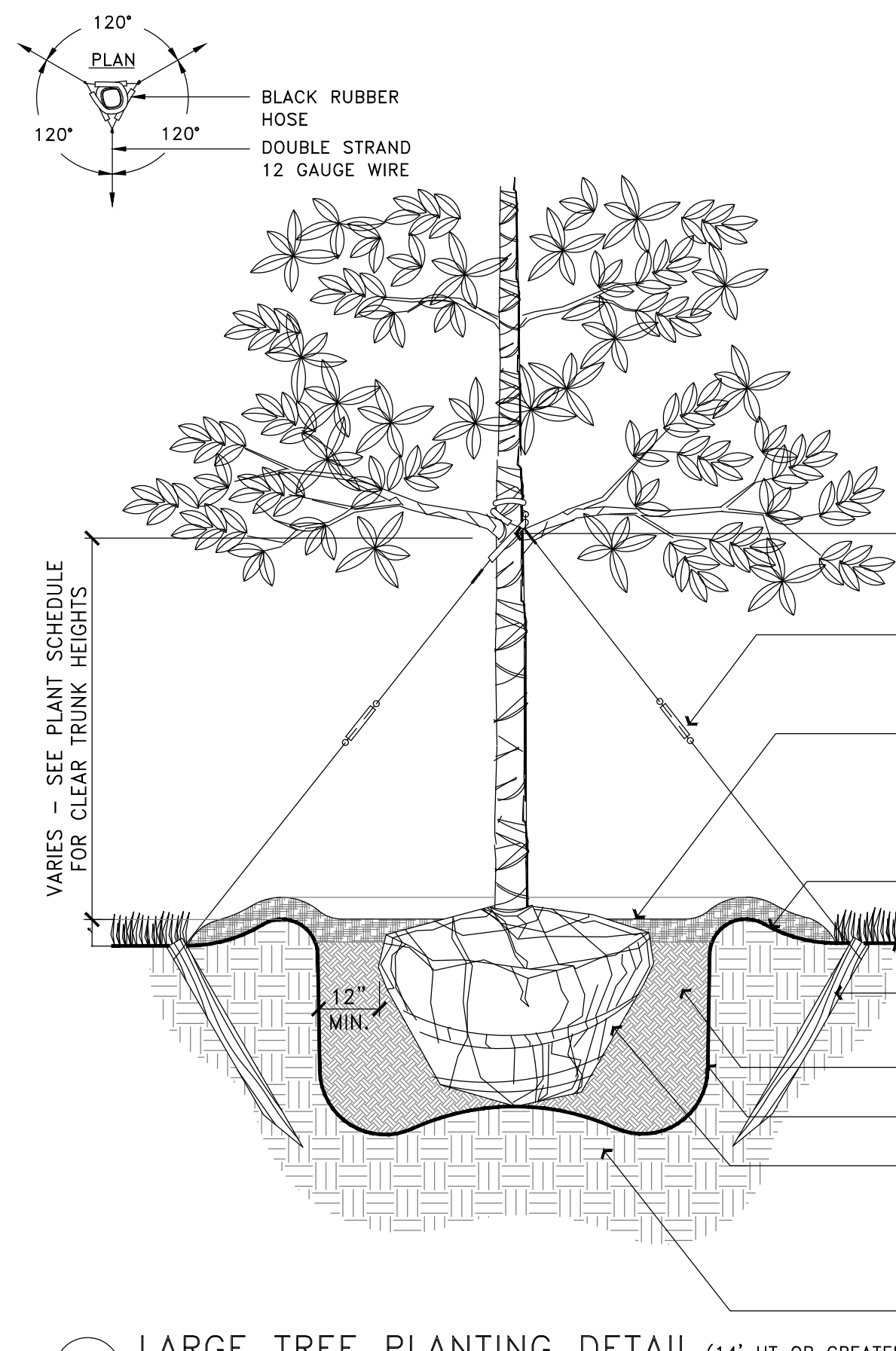
PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	CAL	HEIGHT	WIDTH	NATIVE	DROUGHT TOLERANT	REMARKS
	AR	9	Acer rubrum	Red Maple	B&B	2" Cal.	10' Ht.	5' Width	Yes	Medium	Full
	LT	16	Liriodendron tulipifera	Tulip Poplar	B&B	3" Cal.	12' Ht.	6' Width	Yes	Medium	Full, Well branched
	OB	5	Quercus bicolor	Swamp White Oak	B&B	2" Cal.	10' Ht.	6' Width	Yes	Low	Full, Well branched
	QP	9	Quercus palustris	Pin Oak	B&B	2" Cal.	10' Ht.	5' Width	Yes	High	Full, Well branched, Urban tolerant
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	CAL	HEIGHT	WIDTH	NATIVE	DROUGHT TOLERANT	REMARKS
	PG	58	Picea glauca	White Spruce	B&B	2" Cal.	8' Ht.	4' Width	Yes	High	Full
	PS2	10	Pinus strobus	White Pine	B&B	2.5 Cal.	8' Ht.	4' Width	Yes	Medium	Full
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	HEIGHT	WIDTH	NATIVE	DROUGHT TOLERANT	REMARKS	
	Vc5	30	Viburnum trilobum 'Wentworth'	Wentworth American Cranberrybush	7 gal.	36" Ht.	24" Width	Yes	Medium	Full	
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	HEIGHT	WIDTH	NATIVE	DROUGHT TOLERANT	REMARKS	
	Ph2	32	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	3 gal.	24" Ht.	12" Width	Yes	Medium	Full	

FESCUE LAWN LOW MAINTENANCE SEED MIX

Botanical Name	Common Name	PLS LBS/ACRE
<b>GRASSES</b>		
Festuca brevipila	Hard Fescue	40
Festuca ovina	Sheep Fescue	30
Festuca rubra commutata	Chewings Fescue	70
Festuca rubra arenaria	Creeping Red Fescue	60

RECOMMENDED SEEDING RATE: 200 LBS PER ACRE  
 4 VARIETIES OF NON-NATIVE TALL FESCUES  
 ~2,500 SEEDS PER SQ FT



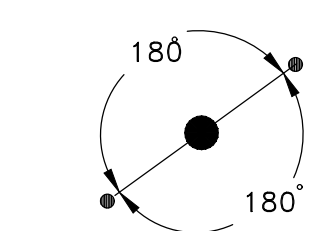
1 LARGE TREE PLANTING DETAIL (14' HT OR GREATER)  
 SCALE: 1"=1'-0"

- NOTE:
- FINAL TREE LOCATION TO BE APPROVED BY OWNER.
  - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
  - REMOVE ALL FLAGGING TAPE AND TAGS.
  - AMENDED SOIL: SOIL TESTS NEED TO BE PROVIDED TO THE OWNER AND THE LANDSCAPE ARCHITECT FOR APPROVAL. A TRUCKING PACKING LIST (SHIPPING TOTALS/MANIFEST) OF WHAT WAS HAULED TO THE SITE NEEDS TO BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT.
  - APPLY SUBDUE MAXX FUNGICIDE AND CLEARY 3336F FUNGICIDE PER MANUFACTURER'S INSTRUCTIONS.

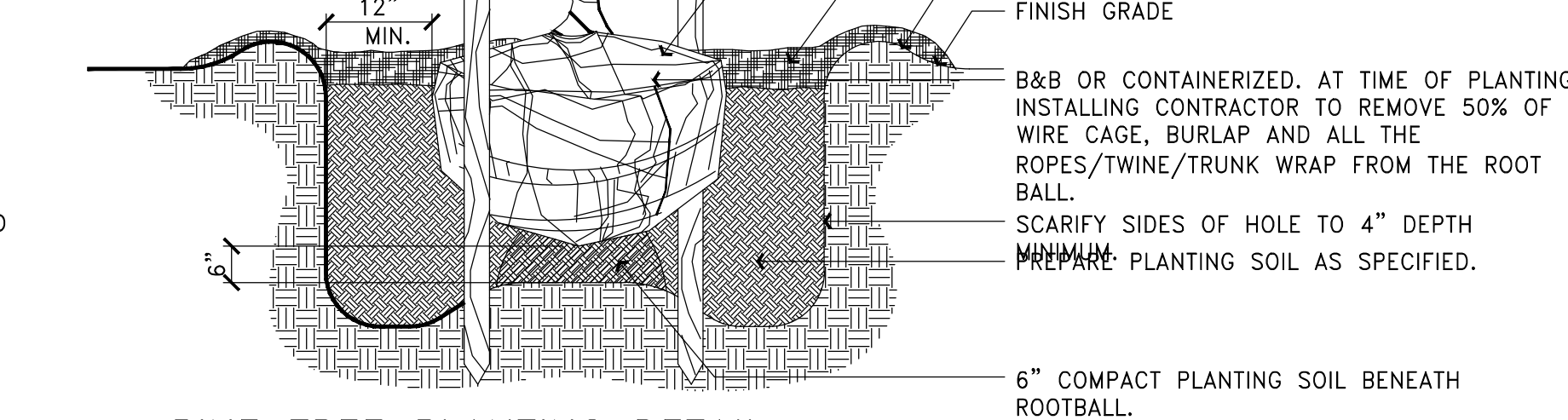
- PROTECT TREE TRUNK WITH BLACK RUBBER HOSE. ATTACHMENT POINT OF CABLE SHOULD BE 50-65% UP THE TRUNK AND ABOVE A MAJOR BRANCH.
- NO. 10 GAUGE WIRE WITH GALVANIZED TURNBUCKLE OR OTHER APPROVED METHOD. ATTACH COLORED REFLECTIVE SURVEY TAPE TO WIRE.
- MULCH (SEE SPACES). DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN MULCH WEED FREE FOR A MIN. OF (3) YEARS AFTER PLANTING.
- SOIL BERM TO HOLD WATER 4-6" HEIGHT. FILL 3 TIMES IMMEDIATELY AFTER PLANTING.
- FINISH GRADE  
 (3) 2"x4" STAKES (36" LONG) BURIED BELOW FINISH GRADE OR OTHER APPROVED METHOD.  
 AMENDED PLANTING SOIL WITH FERTILIZER SEE SPECIFICATIONS.  
 SCARIFY SIDES OF HOLE TO 4" DEPTH MINIMUM.  
 B&B OR CONTAINERIZED, SET ROOTBALL 6-8" HIGHER THAN FINISH GRADE.  
 CONTRACTOR TO REMOVE 50% OF WIRE CAGE, BURLAP AND ALL OF THE ROPES/TWINE/TRUNK WRAP FROM ROOT BALL. SET TREE PLUMB IN HOLE. COMPACT PLANTING SOIL BENEATH ROOTBALL.

NOTE:

- FINAL TREE STAKING TO BE APPROVED BY OWNER.
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

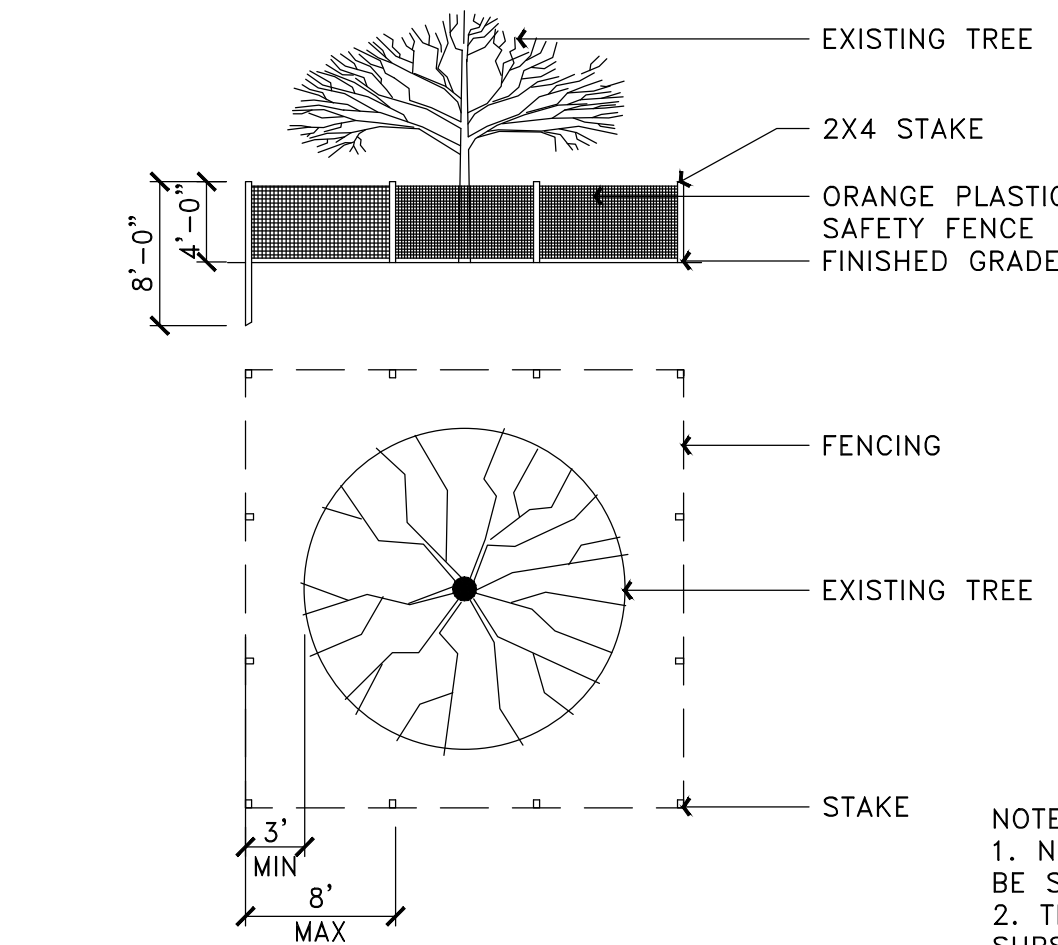


PLAN VIEW OF STAKING



2 PINE TREE PLANTING DETAIL  
 SCALE: NOT TO SCALE

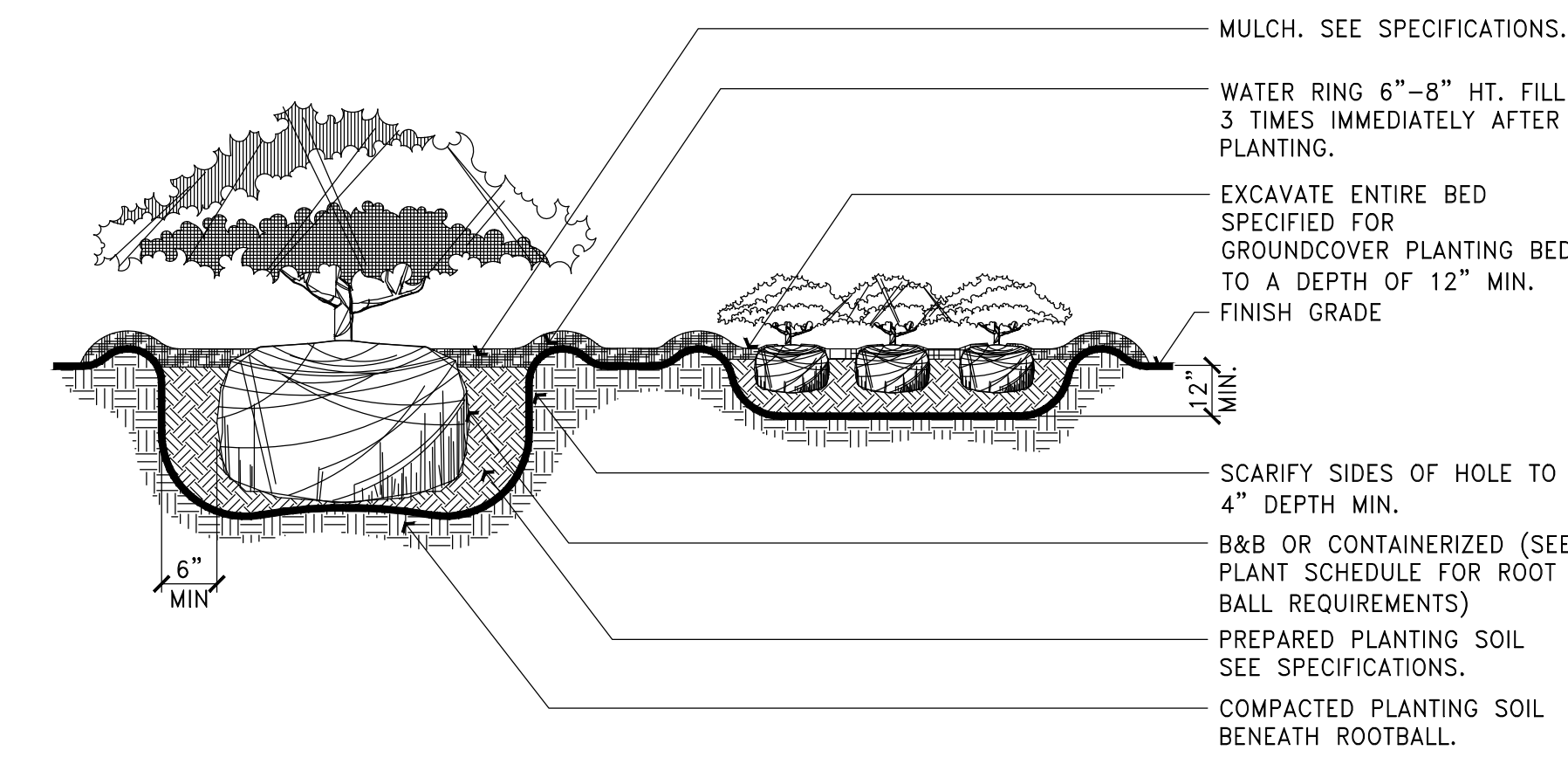
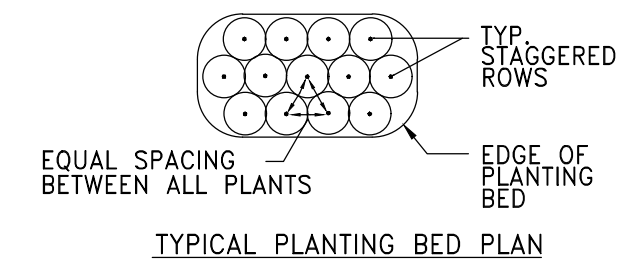
SCALE: NOT TO SCALE



3 EXISTING TREE PROTECTION  
 NTS

- NOTE:
- NO CONSTRUCTION MATERIALS SHALL BE STORED INSIDE FENCED AREA.
  - TREE PROTECTION TO REMAIN UNTIL SUBSTANTIAL COMPLETION OR AS DIRECTED BY THE LANDSCAPE ARCH.

- NOTES:
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
  - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2"-4" ABOVE FINISH GRADE. COORDINATE WITH LANDSCAPE ARCHITECT PRIOR TO SETTING ROOTBALL ELEVATIONS.



4 SHRUB AND GROUNDCOVER DETAIL  
 SCALE: NOT TO SCALE

PLANTING MIXTURE NOTES

- MIXTURE SHALL BE A MIXTURE OF 6 PARTS TOPSOIL, 4 PARTS MEDIUM-COARSE SAND, AND 1 PART COMPOST. ADD FERTILIZER AT THE QUANTITY AS RECOMMENDED BY THE MANUFACTURER. PLANTING MIXTURE SHALL BE FREE FROM, STICK, STONES, SOD CLODS, OR OTHER MATERIAL WHICH MIGHT LEAVE POCKETS AROUND THE ROOTS.
- TOPSOIL  
 2.1. TOPSOIL SHALL BE FERTILE, FRIABLE, SANDY CLAY LOAM WITHOUT ADMIXTURE OBUSOIL. TOPSOIL IS TO BE FREE OF GLASS, STONES GREATER THAN ONE (1) INCH IN ANY DIMENSION, WEEDS, UNDESIRABLE GRASSES AND OTHER EXTRANEOUS MATERIALS. TOPSOIL SHALL HAVE THE FOLLOWING RANGE OF VALUES:  
 pH 5.0 TO 7.5  
 SOLUBLE SALTS 500 PPM MAX  
 ORGANIC CONTENT 5% TO 30%  
 SILT CONTENT 35% TO 50%  
 CLAY CONTENT 5% TO 10%  
 DELETERIOUS MAT'L\* 5% MAX  
 \*ROCK, GRAVEL, STONE, STICKS, ROOTS, SOD, ETC.  
 2.2. TOPSOIL IS TO BE FINAL SCREENED THRU A 5/8" MAXIMUM MESH SCREEN PRIOR TO DELIVERY TO THE PROJECT SITE. ENGINEER SHALL REVIEW SOURCE AND FINAL SCREEN RESULTS PRIOR TO RELEASE OF TOPSOIL. CONTRACTOR SHALL SUBMIT A CERTIFIED ANALYSIS OF THE TOPSOIL FROM EACH SOURCE TO THE ENGINEER. TOPSOIL SHALL BE PLACED IN 4-INCH MINIMUM THICKNESS THROUGHOUT.
- SAND FOR PLANTING MIXTURE SHALL BE CLEAN, MEDIUM-COARSE, UNGRADED SAND CONFORMING TO ASTM C3 FOR FINE AGGREGATES.
- COMPOST SHALL BE COMPOSTED PINE BARK FINES OR OTHER HIGH-LIGNIN BARK FROM SPRUCE, FIR, OR OTHER CONIFERS.

LANDSCAPE NOTES

- ALL PLANTS TO BE INSTALLED IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- CONTRACTOR SHALL PROVIDE A PLANTING MIXTURE MEETING THE FOLLOWING REQUIREMENTS. IF THE ENGINEER HAS ANY CONCERNS WITH THE QUALITY OF THE PLANTING MIXTURE, THE ENGINEER SHALL BE ALLOWED TWO WEEKS TO OBTAIN SOIL TEST TO DETERMINE SPECIFICATION COMPLIANCE. NO PLANT MATERIAL SHALL BE PLANTED PRIOR TO ENGINEER APPROVAL OF PLANTING MIXTURE. ALL PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR IN A VIGOROUS GROWING CONDITION DURING THIS TIME AT NO ADDITIONAL COST.
- SPACING OF PLANT MATERIALS SHALL BE AS SHOWN ON DRAWING OR ON PLANT LIST. THE ENGINEER SHALL REVIEW THE PLACEMENT OF PLANT MATERIAL PRIOR TO AND AFTER INSTALLATION AND RESERVES THE RIGHT TO ADJUST LAYOUT TO ACCOMMODATE SITE CONDITIONS AND DESIGN INTENT.
- ALL PLANT MATERIALS SHALL CONFORM TO PLANT SCHEDULES. SIZES SHALL BE THE MINIMUM STATED ON THE PLANT LIST OR LARGER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "A.A.N. STANDARDS FOR NURSERY STOCK."
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND REVIEWED BY THE ENGINEER.
- FINAL PLANT LOCATIONS SHALL BE MARKED BY CONTRACTOR THREE WORKING DAYS PRIOR TO PLANTING FOR ENGINEER REVIEW.
- ALL PLANTED PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING.
- PLANT MATERIAL, ESPECIALLY EVERGREENS, TO BE PLANTED HIGHER THAN NORMAL WHEN HEAVY SOIL CONDITIONS (CLAY, ETC.) PREVAIL.
- FOR ANY REASON ANY BALLED AND BURLAPED PLANT MATERIALS NEED TO BE STORED ON SITE LONGER THAN A 24-HOUR PERIOD, THEIR ROOT BALLS SHALL BE PROTECTED. ALL PLANTS SHALL BE THOROUGHLY WATERED EACH DAY THEY ARE STORED ON SITE. PLANTS MAY BE STORED ON SITE FOR A MAXIMUM OF TWO (2) WEEKS, OR 14 DAYS. ANY PLANTS ALLOWED TO DRY OUT AS DETERMINED BY THE ENGINEER WILL BE REJECTED.
- NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL WRAPPING MATERIALS MADE OF SYNTHETIC OR PLASTICS SHALL BE COMPLETELY REMOVED AT TIME OF PLANTING.
- THE CONTRACTOR SHALL FILL PLANT PIT WITH PREPARED PLANT MIX TO 1/2 DEPTH OF ROOT BALL OR ROOT MASS, PACK FIRMLY, PUDDLE WITH WATER; THEN FOR BALLED AND BURLAPED MATERIAL, THE BURLAP AND ALL LACING (INCLUDING WIRE BASKET IF NECESSARY) SHALL BE REMOVED FROM THE UPPER 1/3 OF ROOTBALL, THEN FINISH BACKFILLING ADDING SOLID FERTILIZER TO THE PLANT MIX, PACK FIRMLY AND WATER. A SAUCER SHALL BE PLACED AROUND EVERY PLANT AND SHALL BE APPROVED PRIOR TO PLACEMENT OF ANY MULCH.
- ALL DISTURBED LAWNS SHALL BE RESTORED WITH 4-INCHES OF TOPSOIL, SPREAD, FINE GRADED, AND SEEDED/SODDED AS SPECIFIED. PRIOR TO INSTALLATION OF TOPSOIL, LOOSEN SUBGRADE TO A DEPTH OF 2 INCHES. THIS WORK SHALL BE INCIDENTAL TO THE PROJECT.
- TOPSOIL SHALL CONSIST OF FRIABLE, SHREDDED, AND SCREENED SOIL REASONABLY FREE OF GRASS, ROOTS, WEEDS, STICKS, STONES OR OTHER FOREIGN MATERIALS. THE TOPSOIL MATERIAL SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. SOIL COMPOSITION SHOULD CONTAIN AN ORGANIC CONTENT OF 2 TO 6 PERCENT AND BE CLASSIFIED AS A LOAM OR SANDY LOAM AS SPECIFIED IN THE "GUIDE FOR U.S.D.A. SOIL TEXTURAL CLASSIFICATION".
- ALL TREES AND SHRUBS ARE TO BE FERTILIZED ONCE ROOTS SYSTEM IS ESTABLISHED WITH AGRIFORM 21-GRAM FERTILIZER TABLETS AT RATES RECOMMENDED BY MANUFACTURER.
- ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
- AT PLANTING TIME, ALL DEAD AND BROKEN BRANCHES SHALL BE PRUNED ON ALL DECIDUOUS TREES.
- CONTRACTOR SHALL APPLY ENGINEER APPROVED PRE-EMERGENT HERBICIDE, "PREEN" OR EQUAL, TO SHRUB AND GROUND COVER PLANTING AREAS AT THE TIME OF PLANTING (IF SPRING PLANTED) OR THE FOLLOWING SPRING. CONTRACTOR SHALL ENSURE THE PLANT MATERIALS ARE RESISTANT TO THE HERBICIDES PROPERTIES. HERBICIDE SHALL BE APPLIED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND IN ACCORDANCE WITH SOUND HORTICULTURAL PRACTICES.
- ALL TREES, SHRUBS AND PERENNIAL GROUND COVER SHALL RECEIVE A MINIMUM DEPTH OF THREE INCHES DOUBLE SHREDDED HARDWOOD BARK MULCH. WHERE PLANT BEDS MEET PAVEMENTS, LAWN, OR STEEL EDGING CUT THE GRADE TO ALLOW FOR MULCH AND THREE-INCH DROP FROM ADJOINING FINISH GRADE.
- ALL PLANT BEDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 8-INCHES AND BACKFILLED WITH SPECIFIED PLANT MIX AS PER PLANTING BED DETAILS. BEDS SHALL BE EDGED WITH METAL EDGING AROUND PERIMETER. ALL EDGING SHALL BE 4" WIDE - 12 GAUGE STEEL, COLOR BLACK. CONTRACTOR SHALL LAYOUT EDGING FOR APPROVAL AND INSTALL PER MANUFACTURERS RECOMMENDATIONS.
- PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE. ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1) FULL YEAR FOLLOWING PLANTING. ALL DISEASED, DAMAGED, OR DEAD MATERIAL SHOWN ON THE SITE PLAN SHALL BE REPLACED BY THE END OF THE FOLLOWING GROWING SEASON.
- APPLICATIONS OF FERTILIZER BEYOND THE INITIAL TOPSOIL AND SEEDING SHALL BE A FERTILIZER WITH NO PHOSPHOROUS.

FIELD BOOK INFORMATION: - C:\PW\_WORK\WADE-TRIM-CAMP-DETAILS - PLOTTED 8/10/2023 2:01 PM BY DERLICH, DOUG



Know what's below.  
 Call before you dig.

REV#	DATE	DESCRIPTION
1	7/19/23	

25251 Northline Rd.  
 SPA, MI 48189  
 734.947.9700  
 www.wadetrims.com

**WADE TRIM**

**FREEDOM RIVER, INC.**  
 9305 HURON RAPIDS DRIVE  
 WHITEMORE LAKE, MI 48189

PLANT SCHEDULE & DETAILS  
 FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR:	DATE:	BY:
SPA	6/1/23	GLS
SPA REV 1	7/19/23	GLS

JOB NO. VCM2001  
 SHEET L1.7



PHONE 810-231-1000  
planning@hamburg.mi.us

P.O. Box 157  
10405 Merrill Road  
Hamburg, Michigan 48139

## SITE PLAN APPROVAL APPLICATION

Please note: All required information, copies, fees, and other materials as appropriate must be submitted and complete before the Township Planning Commission will set a public hearing date on the Site Plan Approval Application.

Application fees and review fees are required at the time of application.

In the case of separate applications for Preliminary and Final reviews, separate application and review fees shall be collected. Review fees shall be placed into a non-interest bearing escrow account. Upon final review, review fee balances shall be returned upon receipt of final billing. The applicant shall be responsible for all costs incurred.

Note: Acreage calculations based upon the acreage being developed or utilized for the project (parking, buildings, walks, storm water retention etc.)

The undersigned hereby makes application for a Site Plan Approval for: (Check all that apply)

1. **TYPE OF PROJECT:**  Open Space     Echo     Residential     Condominium  
 Apartments     Commercial     Industrial     PUD     Hardship PUD

2. **TYPE OF APPLICATION:**  Preliminary Site Plan     Optional Conceptual Site Plan Review by Planning Commission  
Sign Review  Final Site Plan     Combined – Preliminary/Final Site Plan  
 Minor Site Plan     Site Plan Amendment (less than 25% area of site being changed)     Site Plan Amendment (26% or more or site being changed)

3. **PROJECT NAME:** MARATHON GAS STATION    Submittal Date: \_\_\_\_\_

4. **PROJECT ADDRESS:** 9191 PETTYSONIE RD

Tax Code Numbers: 15 - \_\_\_\_\_ 15 - \_\_\_\_\_ 15 - \_\_\_\_\_  
15 - \_\_\_\_\_ 15 - \_\_\_\_\_ 15 - \_\_\_\_\_

Metes & Bounds Parcel     Subdivision \_\_\_\_\_    Lot Numbers: 15-20-201-022

Zoning District Classification: NS    Floodplain Classification: \_\_\_\_\_

Number of Lots Proposed: \_\_\_\_\_    Acreage of Project: 2.01 Acres

5. **PROJECT DESCRIPTION:** INSTALL MARATHON IMAGE ON GAS STATION CANOPY.  
INSTALL MARATHON IMAGE ON GAS STATION PRICE SIGN.



# Handwritten Title

Handwritten text, possibly a list or notes, covering the upper portion of the page.



Handwritten text lines in the middle section of the page.

Handwritten text line in the lower middle section.

Handwritten text lines at the bottom of the page.

6. **OWNER/PROPRIETOR INFORMATION:**

Name: Michael Yatooma Phone Number(s): 586 202 2355  
Email: Michael@yatoomaoil.com Address: 51300 Danview Tech Ct.  
City: Shelby State: MI Zip: 48315

7. **APPLICANT:**

Name: HANBAK BADREDDINE Phone Number(s): 313 410 1075  
Email: Hbad@image1contracting.com Address: 26286 Simone  
City: Dearborn Heights State: MI Zip: 48127

8. **DESIGNER INFORMATION:**

Name: \_\_\_\_\_ Phone Number(s): \_\_\_\_\_  
Email: \_\_\_\_\_ Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

9. **SPECIAL USE PERMIT:**

Is a Special Use Permit required for this project?  No  Yes  
IF YES, Attach Special Use Permit Application Form with this site plan review application form

**APPLICANT CERTIFICATION:**

I hereby certify that all structures and uses for which this application is made shall conform to the Ordinances of Hamburg Township, Livingston County and the State of Michigan. All information submitted as a part of the site plan application is to my knowledge accurate. If the information is determined either now or in the future to be inaccurate any permits granted for the incorrect information shall be void and any structures built or uses approved may be in violation of the required ordinances and must otherwise be brought into compliance with all regulations.

I further agree that any deviation from the plans submitted or the breach of any additional safeguards, conditions or requirements the Hamburg Township may impose in granting this application shall constitute a violation of the Ordinance and invalidate the permit granted.

PROPERTY OWNERS SIGNATURE:  DATE: 7/19/23

\*If an agent submits the project to the Township for the property owner a letter authorizing must be submitted.

Handwritten text, likely bleed-through from the reverse side of the page.

Handwritten text, likely bleed-through from the reverse side of the page.

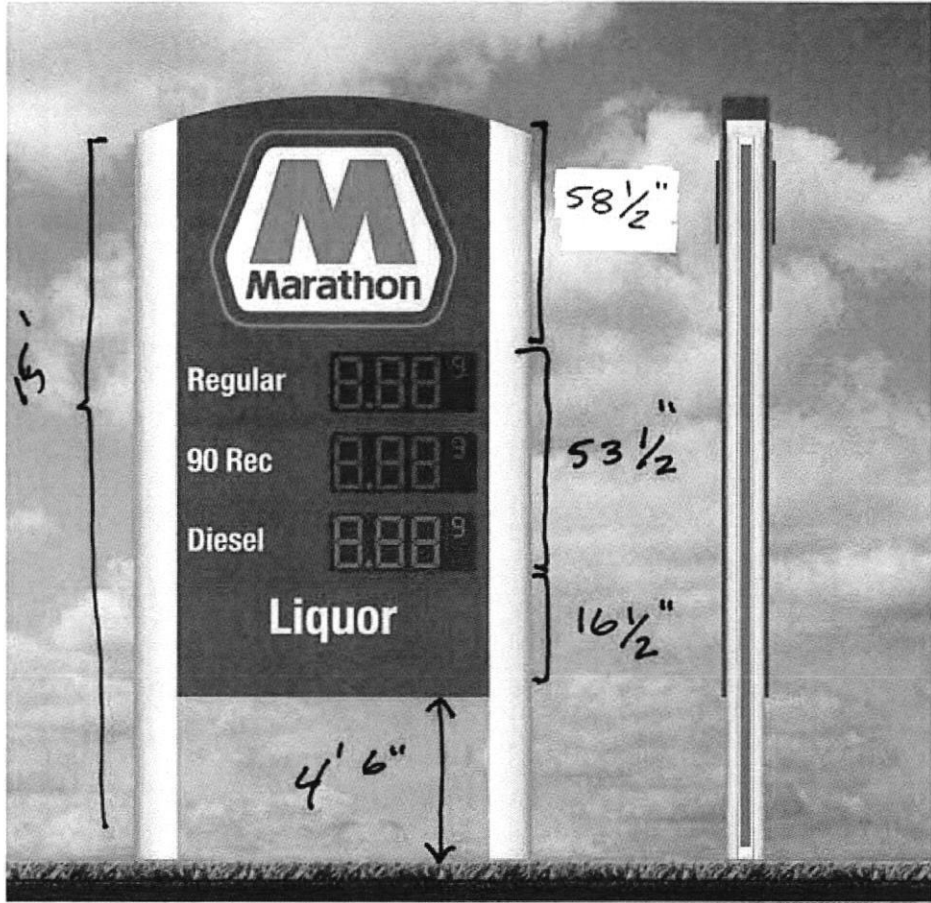
I Michael Yatooma, Property owner at 9191 Pettysville Rd authorize Haidar badreddine of Image 1 Contracting to submit the sign review application.

Michael Yatooma

586-202-2355

Michael@Yatoomail.com

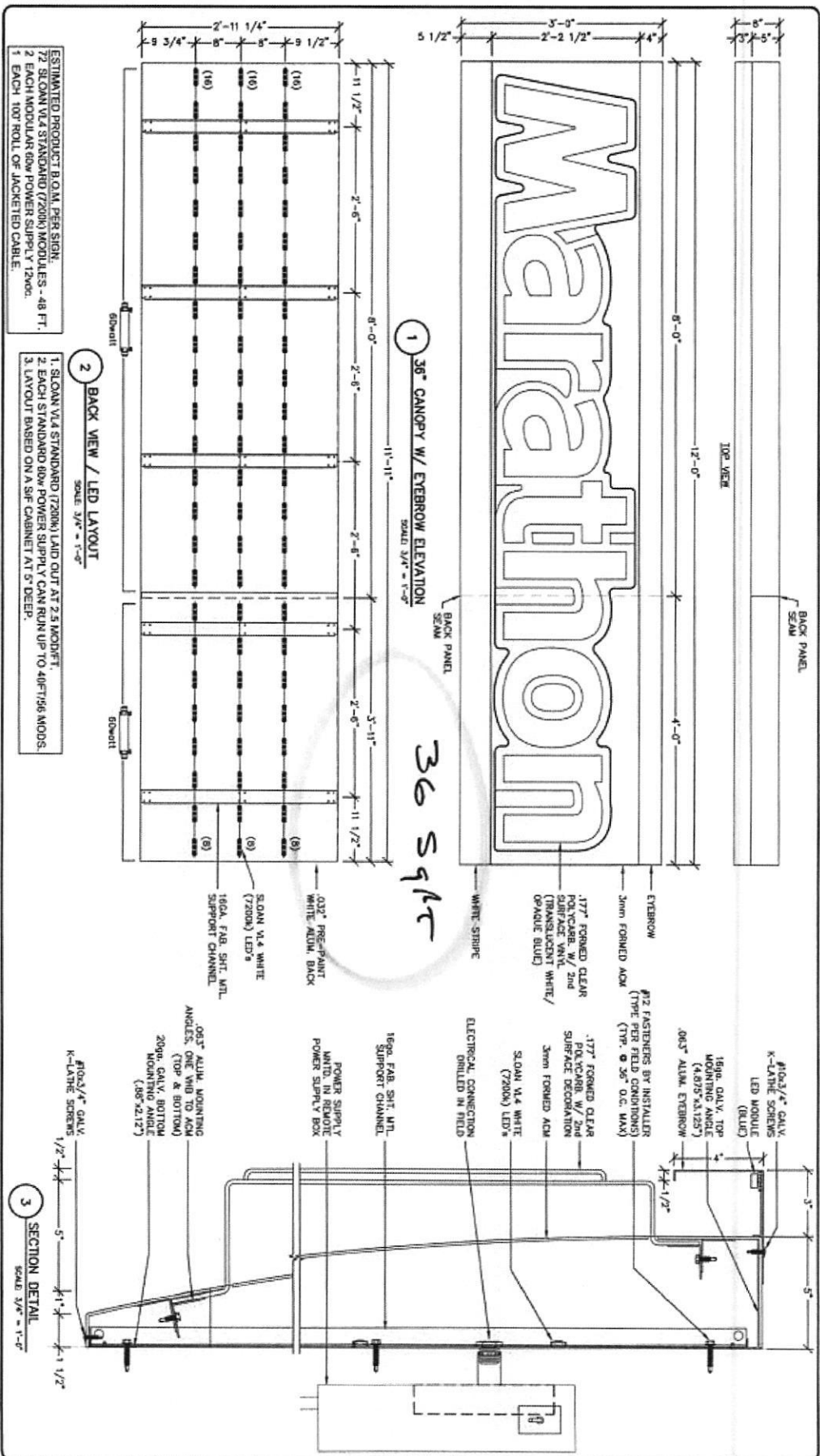
A handwritten signature in black ink, appearing to read 'Michael Yatooma', with a long horizontal flourish extending to the right.



- Notes:**  
V10 6' System - HWL  
Overall Sign Height: 179.12"  
Chassis Height: 141.5"  
Chassis Width: 73.12"  
Chassis SQ Footage: 71.9  
Pole Height: 171"  
Illuminated Cladding  
\*\*\*\*\*  
**Detail 1: Marathon Endurance Logo**  
Size: 58.5"  
\*\*\*\*\*  
**Detail 2: Priceline**  
VO: 53.5"H X 71.125"W  
Digit Type: Lumidigit 4 (Flat Faces)  
Priceline 1: Red 12", Right  
Priceline 2: Red 12", Right  
Priceline 3: Green 12", Right  
\*\*\*\*\*  
**Detail 3: Text**  
VO: 16.5"H X 71.125"W  
Marathon Endurance Flat Imprint Face  
Text Line 1: Liquor  
\*\*\*\*\*  
**Detail 4: Utility Trough**  
Size: 9"  
\*\*\*\*\*  
**Electrical Service**  
Lamping - 5.55 Amps  
Pricers - 2 Amps  
(2) 20 Amp Circuits REQ

		<small>DISCLAIMER. Renderings are for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to engineering specifications and install drawings. These drawings and designs are the exclusive property of Everbrite LLC. Use of, or duplication in any manner without express written permission of Everbrite LLC is prohibited.</small>	
<b>Customer: Marathon Endurance</b> <b>Project No: E00459822</b>		<b>Description:</b>	
<b>Date: 05/19/2023</b>	<b>Scale: N/A</b> <b>Drawn By: AR</b>	<b>Customer Approval: NOTE: Unless specified by customer, all depth of embossing will be determined by Everbrite Engineering or existing customer specifications on file. Colors and graphics on file will be used unless otherwise specified by customer.</b>	
<b>Location &amp; Site No:</b>		<b>Revised:</b>  <b>Revision: 4</b>	
		Please read carefully, check appropriate <input type="checkbox"/> Sketch OK as is <input type="checkbox"/> box and fax back to Everbrite: <input type="checkbox"/> New Sketch Required <input type="checkbox"/>	
		_____ SIGNATURE DATE	

1 Sign Rais Size



ESTIMATED PRODUCT B.O.M. PER SIGN:  
72 SLOAN V4.4 STANDARD (7200K) MODULES - 48 FT.  
2 EACH MODULAR 60w POWER SUPPLY 12000.  
1 EACH 100' ROLL OF JACKETED CABLE.

1 SLOAN V4.4 STANDARD (7200K) LAMP OUT AT 2.5 KILOHRT  
2 EACH STANDARD 60w POWER SUPPLY CAN RUN UP TO 40FT/156 MODS.  
3 LAYOUT BASED ON A SF CABINET AT 5' DEEP.



This original drawing is provided as part of a planned project and is not to be exhibited, copied or reproduced without the permission of the author or the sign company.

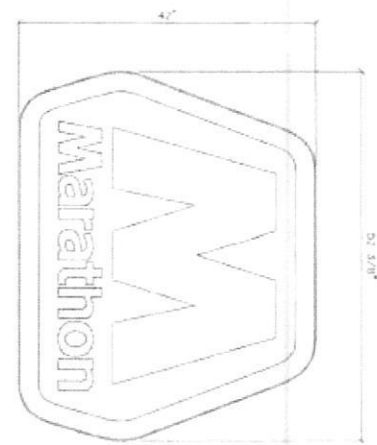
NO.	REVISIONS	DATE	BY
1	ISSUE FOR PERMIT	07/23/23	SS
2	ISSUE FOR PERMIT	07/23/23	SS
3	ISSUE FOR PERMIT	07/23/23	SS



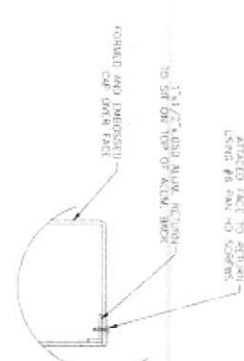
DESIGN NO:	36" CANOPY C	PROJECT NO.:	C. TUDHY
DRAWN BY:	D. DIPWELL	DATE:	MAY 3, 2022
JOB NO:	35-75041-00		

SHEET NO. S-1 OF 2

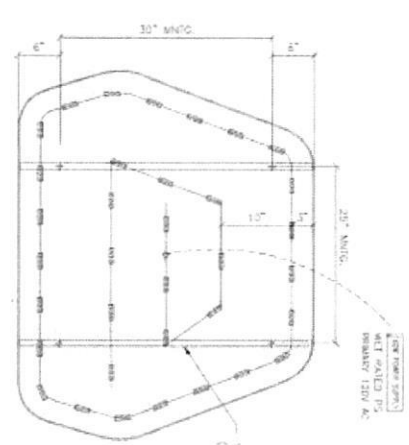
2 Signs This Size



CORNERED CANOPY SIGN ELEVATION VIEW  
SCALE 1"=1'-0"



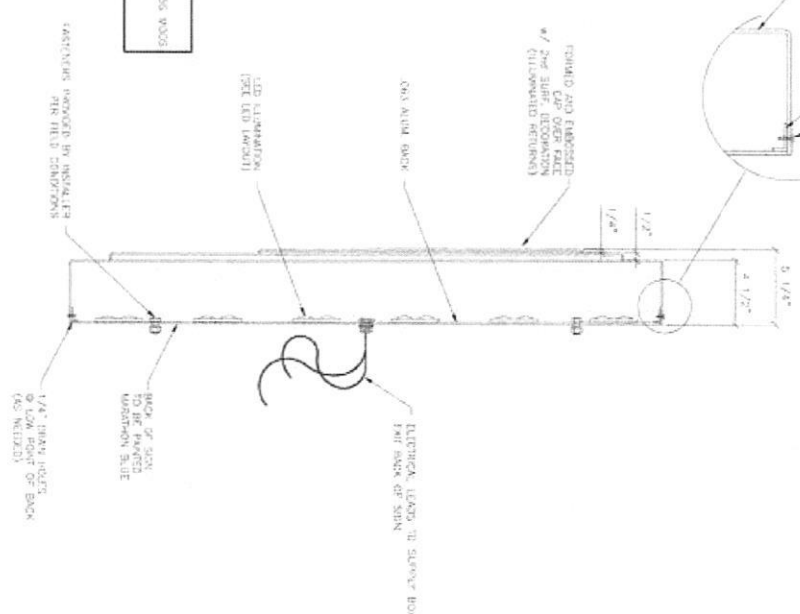
ATTACHED FACE TO RETURN  
LEAD IN SIGN TO SQUARE



ELECTRICAL / LED LAYOUT DETAIL VIEW  
SCALE 1"=1'-0"

- ESTIMATED MATERIAL QUANTITIES:
- 1) 4x4 STANDARD (2000K) 120 BOUT AT 1'4" WOOD/FT.
- 2) 2x4 STANDARD (2000K) 120 BOUT AT 1'4" WOOD/FT.
- 3) 4x4 STANDARD (2000K) WOOD/FT.
- 4) 2x4 STANDARD (2000K) WOOD/FT.
- 5) 1/2" ALUM. BRD ON 4 5/8" CABLE AT 45" CAN FRONT.

15.2 sqft



QTS. CGO DETAIL VIEW  
SCALE 1/2"=1'-0"

**SIGN SPECIFICATIONS:**

1. SIGN TYPE: CANOPY SIGN

2. SIGN SIZE: 42" WIDE X 42" HIGH

3. SIGN COLOR: WHITE

4. SIGN MOUNTING: 4x4 STANDARD (2000K) WOOD/FT.

5. SIGN FINISH: POLYURETHANE COATING

6. SIGN WEIGHT: APPROX. 15.2 LBS

7. SIGN LEAD TIME: APPROX. 4-6 WEEKS

8. SIGN WARRANTY: 1 YEAR

9. SIGN MANUFACTURER: FEDERAL VISUAL COMMUNICATIONS

**FEDERAL VISUAL COMMUNICATIONS**  
1900 N. BRIDGES, JACKSONVILLE, TX 75766  
(850) 398-2100

The original drawing is provided as part of a project and is not to be reproduced without the written consent of the original artist.

NO.	DESCRIPTION	QTY.	UNIT
1	42" WOOD SIGN	1	EA.
2	42" WOOD SIGN	1	EA.
3	42" WOOD SIGN	1	EA.
4	42" WOOD SIGN	1	EA.
5	42" WOOD SIGN	1	EA.
6	42" WOOD SIGN	1	EA.
7	42" WOOD SIGN	1	EA.
8	42" WOOD SIGN	1	EA.
9	42" WOOD SIGN	1	EA.
10	42" WOOD SIGN	1	EA.

42" MARATHON CANOPY LOGO SIGN  
CANOPY - VACUUM CORNERED  
LED ILLUMINATION

JOB NO: 222408  
DRAWN BY: R\_BOS  
DATE: 10/12/11  
DRAWING NO: M4\_42\_LG\_12V

1

# Canopy Layout

Item 3.

Approved By:

Date:

**MARATHON** Plan View

Fascia: **36"** Logo: **Standard**

Extension Kit  Radius Kit

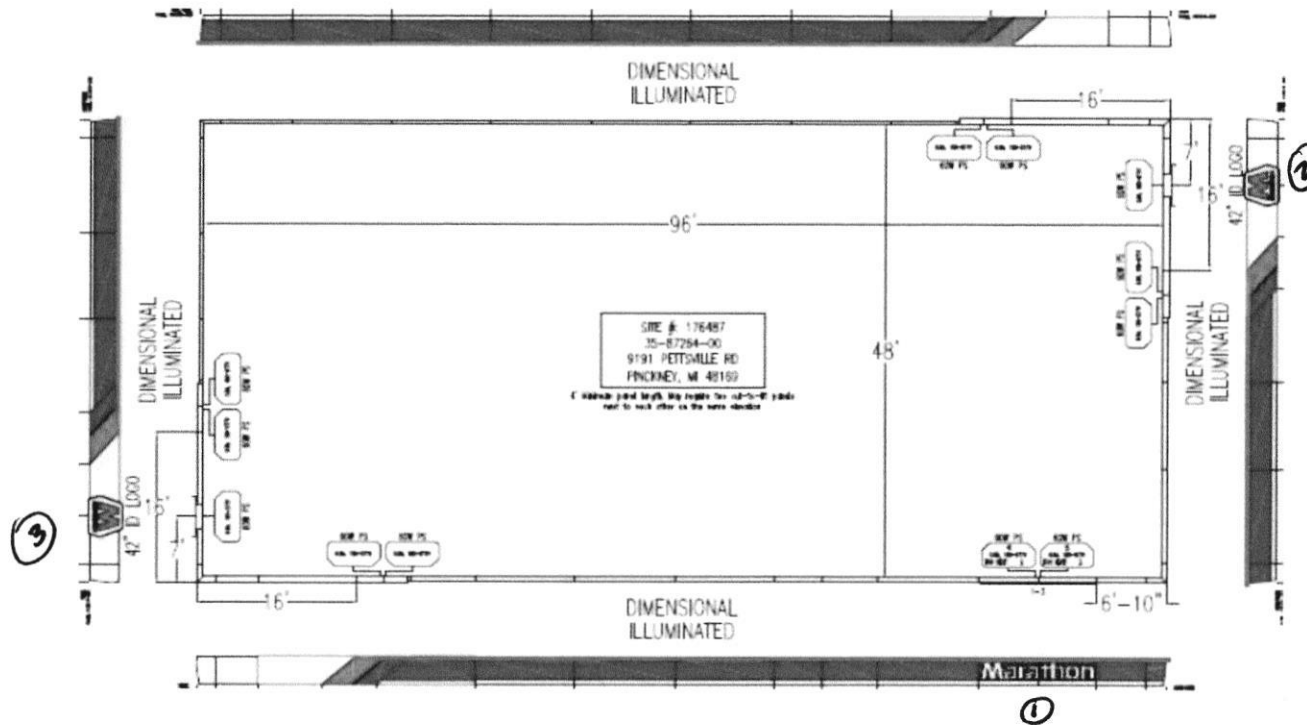
Approved By: \_\_\_\_\_

Special Note(s):

Date: \_\_\_\_\_

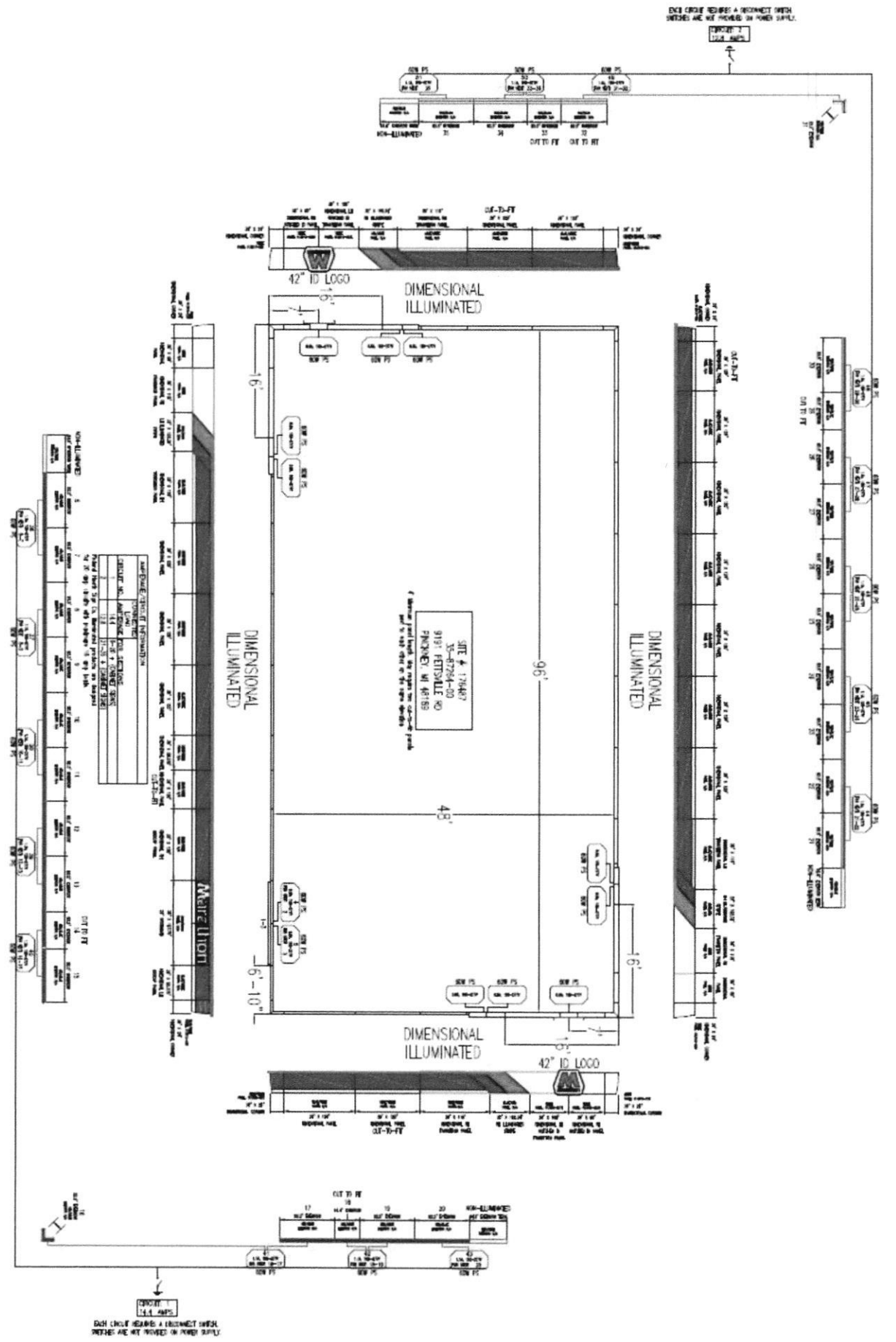
Lead Time: Approx 4 weeks

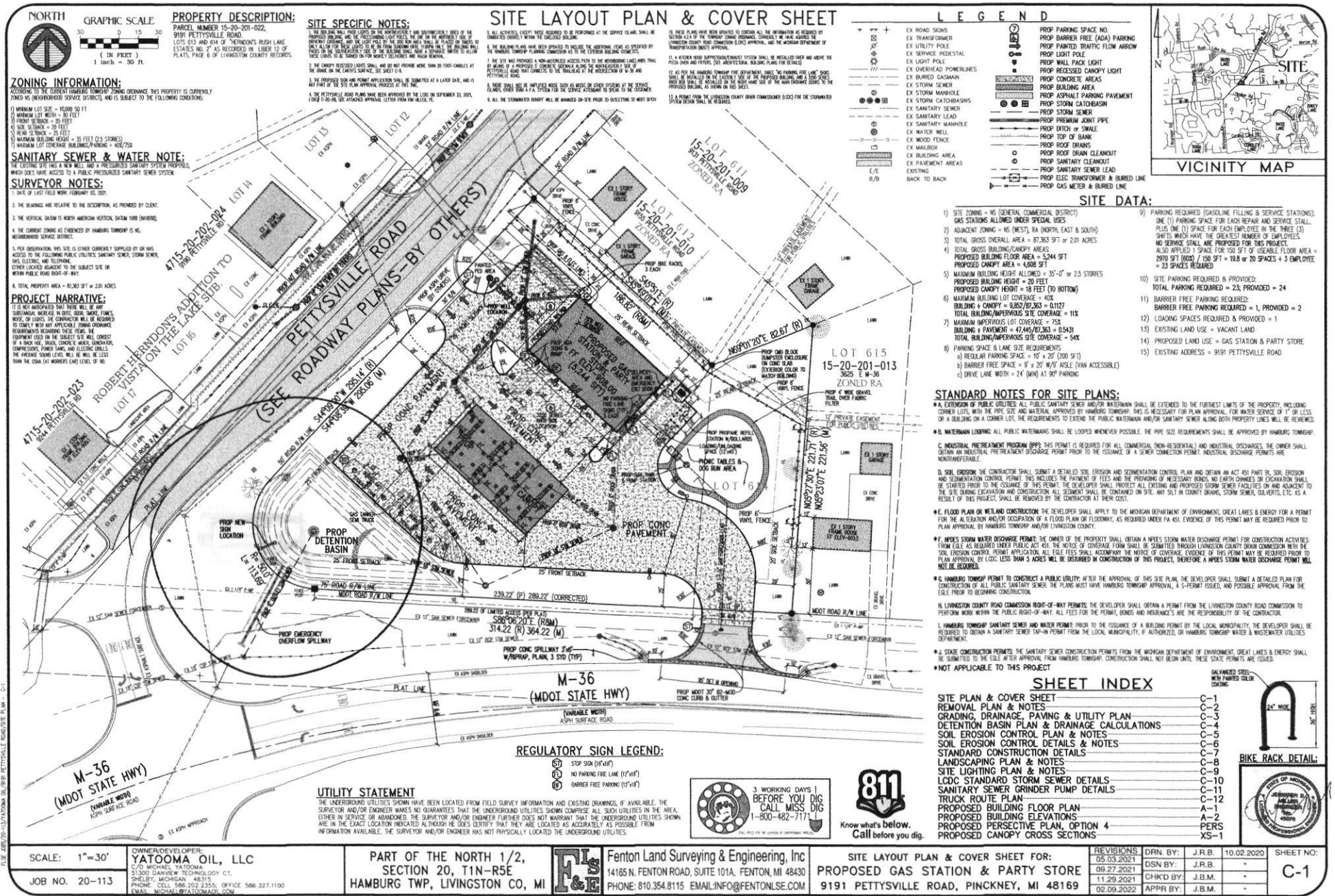
STORE



Note:  
- Layout must be approved and returned to process order.









**To:** Planning Commissioners

**From:** David Rohr

**Date:** August 16, 2023

**Agenda Item:**

**Project Address and description:** 9191 Pettysville Rd.  
(15-20-200-022)

**Waiver to the sign regulations to permit one pole sign  
and three wall signs for the Marathon Gas station.**

**Owner:** Michael Yatooma

**Applicant:** Haidar Barreddine

### **Project Description:**

The project is located at 9191 Pettysville Rd. (Approval December 15, 2021) for the construction of a 5,244 square foot new standalone building that will be used as a convenience store for a new sixteen pump gas station. The new convenience store will include a restaurant area that will have prepared foods, large coolers for cold beverages and foods, shelving for other goods and restrooms. This store will also sell alcoholic beverages. The proposed gas station and convenience store will be open 24 hours a day 7 days a week and will have a maximum of three employees at the store at a single time.

The subject site is currently vacant. Red Barn Market, a commercial use, is located to the west. Single family residential is located to the east. Single family residential is located to the north. Trail head parking is located to the east across M-36.

**Project Analysis:**

All permanent signage without an approved sign program within the Neighborhood Service (NS) district requires Planning Commission approval (Section 36-479). Signs permitted in the NS district include One freestanding, one wall sign, and one projecting or hanging sign per lot. Each sign must meet the size requirements of the zoning ordinance.

**Proposed Signs: Sec. 36-477**

**Pole Sign: One Total**

Section	Type	Permitted	Proposed	Status
36.472.f.	Pole Sign	ROW setback: 10ft	0 ft setback	Waiver required
36.472.q.2.	Pole Sign	Pole sign max height: 15ft	15 ft sign	No waiver
36.477.1.a.	Pole Sign	Sign area max: 25sqft	49.2 sqft	Waiver required

**Wall Sign: Three Total**

Section	Type	Permitted	Proposed	Status
36.477.1.a.	Wall Sign (Marathon)	One sign, 20 sqft regardless of building frontage.	Channel letter sign, 36 sq ft.	Waiver required
36.477.1.a.	Wall Sign (Logo)	One sign	Marathon Logo, 15.2sq ft	Waiver required
36.477.1.a.	Wall Sign (Logo)	One sign	Marathon Logo, 15.2sq ft	Waiver required

Section 36-479, sign regulation waivers, allows the Commission the ability to waive or modify any of the regulations of the Sign Ordinance, provided that the following criteria are met. These regulations serve as appropriate proxy standards by which to evaluate the proposed sign request.

1. **The applicant provides all requested information and pays all applicable application and review fees, to be determined by the Township Board fee schedule.**  
 The applicant has submitted all required information and fees.
  
2. **If more than one sign is proposed as a part of the project or the sign is part of a non-residential multi-tenant development the signs shall be submitted as a part of a sign program for the entire site.**  
 A sign program has been submitted for the entire site.

- 3. The proposed sign does not endanger the public health, safety, and welfare by virtue of being distracting to drivers, obscuring vision, being unnecessarily bright, being designed or constructed poorly, or in any other way.**

The proposed pole sign will abut the front parcel line and be approximately 80ft from the Pettsville road edge and 107 ft from the M-36 road edge.

The sign location will not interfere with intersection visibility for vehicles entering or exiting the site. The sign will comply with the illumination requirements of Section 36-472.T.5.; the internal illumination will be timer controlled to be shut off from 10:00 pm, or one half hour after the use of the site ends for the day (whichever is later), or earlier than 6:00 am or one half hour before the beginning of the use of the site for the day (whichever is earlier).

- 4. A sign meeting the regulations of the Article would not meet the needs of the use on the subject site.**

Several of the proposed signs do meet the regulations of Article 13 and require Planning Commission approval only because the site does not have an approved sign program.

- 5. The proposed sign utilizes high quality materials and design.**

The proposed pole and wall signs will use similar materials as other gas station signs.

- 6. Signs shall be in harmony and consistent with the architecture of the building and relate to the features of the building in terms of location, scale, size, color, lettering, materials and texture.**

As noted above, the proposed signs will be similar to other Marathon gas stations signs and logos. The sign design should have no effect on the character of the surrounding area.

- 7. The design of the sign shall be consistent with the character of the surrounding area.**

See comments under 5 and 6 above.

- 8. The sign does not block the view of other nearby signs to the extent that it would harm the ability of neighboring businesses to operate.**

The proposed pole and wall sign(s) will not block the view of other nearby signs or harm the ability of neighboring businesses to operate.

- 9. The sign will not be a nuisance to any residential uses.**

A residential use is located only to the west, behind the station building, and will not be impacted by the proposed sign program.

**Recommendations:**

The Planning Commission should consider the sign permit in terms of its own judgment on factors related to the individual proposal and its conformance to the standards of **Section 36-479**, one through nine. After reviewing the project the Planning Commission should make a decision to approve or deny the sign permit application.

**Recommended Approval Motion:**

The Planning Commission recommends approval of the sign permit application at 9191 Pettsville Rd. for:

- A 49.2-square foot freestanding sign.

- Three wall signs totaling 66.4 sq feet.

The signs shall comply with all requirements of Article 13 and be designed in substantial compliance with the submitted sign program.

**Exhibits:**

Exhibit A-Application Materials