



10405 Merrill Road  
P.O. Box 157  
Hamburg, MI 48139  
(810) 231-1000  
[www.hamburg.mi.us](http://www.hamburg.mi.us)

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Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

## BOARD OF TRUSTEES REGULAR MEETING

Thursday, July 06, 2023 at 2:30 PM  
Hamburg Township Hall Board Room

### AGENDA

#### CALL TO ORDER

#### PLEDGE TO THE FLAG

#### ROLL CALL OF THE BOARD

#### CALL TO THE PUBLIC

#### APPROVAL OF THE AGENDA

#### CONSENT AGENDA

1. Board of Trustees Regular Meeting Minutes - June 20, 2023
2. BILLS LIST 7-6-23
3. Invoice A to Z mowing
4. Parks & Rec - Approved Meeting Minutes - May 30, 2023
5. Township Coordinator - Monthly Report - May 2023
6. Parks & Rec - Senior Center Report - June 2023
7. Parks & Rec - Clean Up Day Report 2023 - Final

#### UNFINISHED BUSINESS

8. Consumers Franchise Agreement - 2nd Reading & Adoption
9. SPA 23-003 Preliminary site plan approval for 6716 Winans Lake Road (Freedom River)

#### CURRENT BUSINESS

10. SPA 23-001 Final site plan review for 7749 E M-36 (Zander flex space)
11. Police Officer Hiring
12. Years of Service Recognition - Tabled for future meeting
13. Police Sergeant Promotion
14. Purchase of Communication Headsets
15. Sale of Police Vehicle
16. AED Purchase
17. Part-time firefighter FY 23-24 rates
18. New Chairs for Senior Center
19. Senior Center Patio Door Request
20. Finance Control Book - April 2023

**CALL TO THE PUBLIC**

**BOARD COMMENTS**

**ADJOURNMENT**



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 Hamburg, MI 48139  
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Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

**BOARD OF TRUSTEES REGULAR MEETING**

Tuesday, June 20, 2023 at 7:00 PM  
 Hamburg Township Hall Board Room

**MINUTES**

**CALL TO ORDER**

Supervisor Hohl called the meeting to order at 7:00 p.m.

**PLEDGE TO THE FLAG**

**ROLL CALL OF THE BOARD**

**PRESENT**

- Pat Hohl
- Mike Dolan
- Bill Hahn
- Chuck Menzies
- Cindy Michniewicz
- Patricia Hughes

**ABSENT**

- Jason Negri

**CALL TO THE PUBLIC**

A call was made with no response.

**CONSENT AGENDA**

Motion by Menzies, Seconded by Hughes to approve the Consent Agenda as presented but with the June 6, 2023 minutes being amended with the suggestions by Trustee Hughes and Supervisor Hohl.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

1. Board of Trustees Regular Board Meeting Minutes - June 6, 2023
2. Board of Trustees Budget Public Hearing Minutes - June 6, 2023
3. Board of Trustees Work-Study Session Minutes - June 6, 2023
4. Approved MUC Minutes - May 10, 2023
5. Public Information - Senior Monthly Newsletter

6. Bills List – June 20, 2023
7. Boomers – Invoice #2023-05, 9297-21, 2990-18
8. Parks & Rec - 2023 Clean-Up Day - Final Project Report
9. DPW Monthly Report - May 2023
10. Public Safety Monthly Report May 2023
11. Fireworks Permit

#### APPROVAL OF THE AGENDA

Motion made by Michniewicz, Seconded by Dolan, to approve as amended with 3 additions; purchase of a Durango, Holiday Building Closure, and Invoice for Green Oak Township.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

#### UNFINISHED BUSINESS

12. Sewer Rate Allocation for FY 23-24

Motion by Michniewicz, Seconded by Hahn to approve the Hamburg Township sewer rate at \$163.30 per quarter per REU effective July 1, 2023, with an allocation of \$121.08 towards operation and maintenance, and \$42.22 towards debt service.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

13. Budget Amendments - 4th Quarter

Motion by Dolan, Seconded by Michniewicz to approve the budget amendments for the 4th quarter as presented.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

14. Police Department Expansion

Motion by Hahn, Seconded by Hughes to authorize Supervisor Hohl to issue a notice to Midwest to proceed with the construction of the addition of the Police Department at a cost of \$1,000,070.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

#### CURRENT BUSINESS

15. Purchase of New Police Vehicle

Motion by Hohl, Seconded by Menzies, to approve the purchase of a 2024 Ford Expedition, with the attached specifications, from Lunghamer Ford of Owosso, MI for the state contract price of \$55,487.00.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

16. Rustic Pump Station Piping  
Motion by Michniewicz, Seconded by Menzies, for approval to hire Midwest Power Systems to perform the aforementioned repair work for the Rustic Pump Station for a total of \$37,000.  
Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes
17. Conditional Offer of Employment - B&G and DPW  
  
Motion by Michniewicz, Seconded by Hahn, to approve the conditional offer of employment for the part-time seasonal Building & Grounds position, at a rate of \$17.50 an hour (grade 1, step 5) to be contingent upon all appropriate pre-employment policies and procedures being met with regard to the employment of the applicant.  
Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes  
  
Motion by Michniewicz, Seconded by Hughes, to approve the on-call DPW Technician position, at a rate of \$26.27 an hour (grade 5, step 6). Contingent upon all appropriate pre-employment policies and procedures being met with regard to the employment of the applicant.  
Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes
18. Consumers Franchise Agreement - 1st Reading  
  
The Board has published in the packet and had the first reading of the Consumers Energy Franchise Agreement as amended by the Township's attorney. This will be brought back to the Board in July.
19. Board Appointments  
  
Motion by Hohl, Seconded by Dolan, to reappoint Jeffrey Muck and Victor LeBeau to the Planning Commission and reappoint Jim Hollenbeck as an alternate to the Zoning Board of Appeals with terms beginning July 1, 2023 and ending June 30, 2026 for all 3 appointments.  
Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes
20. 23/24 FY Work-Study Session Dates  
  
Motion by Dolan, Seconded by Hughes, to approve the Fiscal Year 2023-2024 Work-Study Session dates.  
Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes
21. Green Oak Invoice for Capital Improvement Bond Installment - Added at Table  
  
Motion by Michniewicz, Seconded by Hahn, to approve as presented for \$17,736.85.  
Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

22. Purchase Durango - Added at Table

Motion by Hohl, Seconded by Michniewicz, to approve the invoice under purchase order 20220872 for \$44,145.00 for the Dodge Durango 2023 as outlined in the invoice here today.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

23. Possible Building Closure - Added at Table

Building Closures will be discussed at the next Board meeting on July 6, 2023.

**BOARD COMMENTS**

Supervisor Hohl wishes everyone a pleasant Happy 4th of July, Independence Day. Take a few moments and reflect how we got to where we are. Should be a joyous day to celebrate but 1,191,000 military personnel have perished since the Revolutionary War to give us this freedom that we have, and this number does not even include injuries.

Freedom River is having their preliminary site plan on June 21, 2023 with the Planning Commission. Livingston County EDC will feature Freedom River with a little write up on what they are trying to do.

**CALL TO THE PUBLIC**

A call was made with no response.

**ADJOURNMENT**

Motion by Menzies, Seconded by Hahn, to adjorn.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

Meeting Adjourned at 7:44 pm



Karen L. Vermillion  
Recording Secretary



Mike Dolan  
Township Clerk

User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

DB: Hamburg

Item 2.

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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AFLACAME01 73870	AFLAC - AMERICAN FAMILY LIFE WORLDWIDE HEADQUARTERS 1932 WYNNNTON ROAD COLUMBUS GA, 31999-0001	06/28/2023 07/06/2023 / / 07/06/2023	307615  0.0000	GEN N N N	BN423 JUNE 2023	245.64  0.00 245.64
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-231.410	DUE TO AFLAC (BIWEEKLY)	245.64

VENDOR TOTAL: 245.64

ALERUSRETR 73865	ALERUS RETIREMENT SOLUTIONS P.O. BOX 64535 SAINT PAUL MN, 55164	07/01/2023 07/06/2023 / / 07/06/2023	7123  0.0000	GEN N N N	MERS DIVISION #304520 2023 CONTIBUTI	104,000.00 0.00 104,000.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-730.000	RETIREE HEALTH INSURANCE	104,000.00

VENDOR TOTAL: 104,000.00

AMERICAN01 73841	AMERICAN AWARDS & ENGRAVING 422 W. MAIN ST. BRIGHTON MI, 48116	06/27/2023 07/06/2023 / / 07/06/2023	20568  0.0000	GEN N N Y	MADE POSSIBLE BY HERO PLATE (2)	815.00 0.00 815.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
208-000.000-239.100	BENCHES DONATION PROGRAM	815.00

VENDOR TOTAL: 815.00

User: MarcyM

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Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
AMERICAN09 73843	AMERICAN UNITED LIFE INSURANCE AMERICAN UNITED LIFE INSURANCE 5870 RELIABLE PARKWAY CHICAGO IL, 60686-0058	06/27/2023 07/06/2023 / / 07/06/2023	62223  0.0000	GEN N N N	G 00617291-0001-000 7/1-7/31/23 ST	1,899.49  0.00 1,899.49

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-073.004	LIFE INSURANCE - LIBRARY	137.32
101-171.000-725.100	LONG/SHORT TERM DISABILITY	45.19
101-201.000-725.100	LONG/SHORT TERM DISABILITY	96.41
101-215.000-725.100	LONG/SHORT TERM DISABILITY	34.94
101-228.000-725.100	LONG/SHORT TERM DISABILITY	54.05
101-253.000-725.100	LONG/SHORT TERM DISABILITY	48.02
101-262.000-725.100	LONG/SHORT TERM DISABILITY	65.18
101-265.000-725.100	LONG/SHORT TERM DISABILITY	56.80
101-702.000-725.100	LONG/SHORT TERM DISABILITY	68.51
206-000.000-725.100	LONG/SHORT TERM DISABILITY	210.97
207-000.000-725.100	LONG/SHORT TERM DISABILITY	703.38
208-751.000-725.100	LONG/SHORT TERM DISABILITY	62.16
208-820.000-725.100	LONG/SHORT TERM DISABILITY	27.74
590-527.000-725.100	LONG/SHORT TERM DISABILITY	288.82
		1,899.49

AMERICAN09 73844	AMERICAN UNITED LIFE INSURANCE AMERICAN UNITED LIFE INSURANCE 5870 RELIABLE PARKWAY CHICAGO IL, 60686-0058	06/27/2023 07/06/2023 / / 07/06/2023	62223  0.0000	GEN N N N	G 00617291-0001-22207/1-7/31/23 LIFE	372.83  0.00 372.83
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-073.004	LIFE INSURANCE - LIBRARY	27.00
101-171.000-725.200	LIFE INSURANCE	7.59
101-201.000-725.200	LIFE INSURANCE	20.25
101-215.000-725.200	LIFE INSURANCE	7.08
101-228.000-725.200	LIFE INSURANCE	9.45
101-253.000-725.200	LIFE INSURANCE	16.43
101-262.000-725.200	LIFE INSURANCE	15.19
101-265.000-725.200	LIFE INSURANCE	13.33
101-702.000-725.200	LIFE INSURANCE	13.50
206-000.000-725.200	LIFE INSURANCE	39.20
207-000.000-725.200	LIFE INSURANCE	124.49
208-751.000-725.200	LIFE INSURANCE	11.48



User: MarcyM

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208-820.000-725.200	LIFE INSURANCE					6.75
590-527.000-725.200	LIFE INSURANCE					61.09
						372.83

VENDOR TOTAL: 2,272.32

AMERICANVO 73845	AMERICAN UNITED LIFE INSURANCE COMP 5870 RELIABLE PARKWAY CHICAGO IL, 60686-0058	06/27/2023 07/06/2023 / / 07/06/2023	62223 0.0000	GEN N N N	G 00617291-0002-000 7/1-7/31/23 VOL	564.43 0.00 564.43
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-231.420	VOL. LIFE INSURANCE	564.43

VENDOR TOTAL: 564.43

User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

DB: Hamburg

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Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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ASSURED01 73831	ASSURED PEST CONTROL STEPHEN D. RIDAL P.O. BOX 591 BRIGHTON MI, 48116-0592	06/26/2023 07/06/2023 / / 07/06/2023	111636  0.0000	GEN N N Y	PEST CONTROL TWP OFFICE 6/10/23	60.00  0.00 60.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-801.000		60.00

ASSURED01 73834	ASSURED PEST CONTROL STEPHEN D. RIDAL P.O. BOX 591 BRIGHTON MI, 48116-0592	06/26/2023 07/06/2023 / / 07/06/2023	111642  0.0000	GEN N N Y	PEST CONTROL PD 06/12/23	45.00  0.00 45.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-930.002	MAINTENANCE POLICE BUILDING	45.00

ASSURED01 73833	ASSURED PEST CONTROL STEPHEN D. RIDAL P.O. BOX 591 BRIGHTON MI, 48116-0592	06/26/2023 07/06/2023 / / 07/06/2023	111643  0.0000	GEN N N Y	PEST CONTROL FD#12 6/12/23	72.00  0.00 72.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-930.003	MAINTENANCE FIRE HALL	72.00

ASSURED01 73832	ASSURED PEST CONTROL STEPHEN D. RIDAL P.O. BOX 591 BRIGHTON MI, 48116-0592	06/26/2023 07/06/2023 / / 07/06/2023	111654  0.0000	GEN N N Y	PEST CONTROL FD#11 06/12/23	67.00  0.00 67.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-930.003	MAINTENANCE FIRE HALL	67.00

ASSURED01 73830	ASSURED PEST CONTROL STEPHEN D. RIDAL P.O. BOX 591 BRIGHTON MI, 48116-0592	06/26/2023 07/06/2023 / / 07/06/2023	6262023  0.0000	GEN N N	TWP/FD/PD PEST CONTROL SERV 3/4-6/2/334.00	334.00
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User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

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UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
		07/06/2023				334.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-801.000		60.00
206-000.000-930.003	MAINTENANCE FIRE HALL	139.00
207-000.000-930.002	MAINTENANCE POLICE BUILDING	135.00
		334.00

VENDOR TOTAL: 578.00

ATTMOBILIT 73859	AT&T MOBILITY P.O. BOX 6463 CAROL STREAM IL, 60197-6463	06/27/2023 07/06/2023 / / 07/06/2023	287318496818X061 0.0000	GEN N N N	PD/FD DEVICE SERVICE	694.73 0.00 694.73
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-853.000	PHONE/COMM/INTERNET	169.96
207-000.000-853.000	PHONE/COMM/INTERNET	524.77
		694.73

VENDOR TOTAL: 694.73

ATEAMPWRCL 73864	A-TEAM POWER CLEAN LLC 7890 VAN RADEN STREET PINCKNEY MI, 48169	06/28/2023 07/06/2023 / / 07/06/2023	0002 0.0000	GEN N N Y	P&R FIELD PAINTING 5/2-6/1/23	1,400.00 0.00 1,400.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-930.000	MAINTENANCE TWP HALL	675.00
208-751.000-930.020	MAINTENANCE - FERTILIZER	725.00
		1,400.00

VENDOR TOTAL: 1,400.00

User: MarcyM

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BIANCOTR01 73829	BIANCO TOURS 12555 UNIVERSAL DR. TAYLOR MI, 48180	06/26/2023 07/06/2023 / / 07/06/2023	6D95410 0.0000	GEN N N Y	SEN CTR TRIP HISTORIC WHITNEY	760.00 0.00 760.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
208-000.000-239.500	SENIOR CENTER TRIP DEPOSITS	760.00

VENDOR TOTAL: 760.00

BUSINESS02 73863	BIG PDQ BUSINESS IMAGING GROUP - BIG PDQ 7475 GRAND RIVER RD BRIGHTON MI, 48114-9383	06/28/2023 07/06/2023 / / 07/06/2023	280098 0.0000	GEN N N Y	PD BIZ CARDS HOGAN	74.62 0.00 74.62
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Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-752.000	SUPPLIES & SMALL EQUIPMENT	74.62

BUSINESS02 73836	BIG PDQ BUSINESS IMAGING GROUP - BIG PDQ 7475 GRAND RIVER RD BRIGHTON MI, 48114-9383	06/26/2023 07/06/2023 / / 07/06/2023	280126 0.0000	GEN N N Y	BLUEPRINTS HAMBURG CEMETERY	20.88 0.00 20.88
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-567.000-955.000	SUNDRY	20.88

VENDOR TOTAL: 95.50

User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

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C&ECONTR01 73827	C & E CONSTRUCTION CO., INC. P.O. BOX 1359 HIGHLAND MI, 48357	06/26/2023 07/06/2023 / / 07/06/2023	2820  0.0000	GEN N N N	GRINDER PUMP INSTALL 5733 WARREN WOO	5733 5,089.42 0.00 5,089.42
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Open

GL NUMBER	DESCRIPTION	AMOUNT
590-000.000-198.059	5733 WARREN WOOD LN	5,089.42

C&ECONTR01 73828	C & E CONSTRUCTION CO., INC. P.O. BOX 1359 HIGHLAND MI, 48357	06/26/2023 07/06/2023 / / 07/06/2023	2821  0.0000	GEN N N N	GRINDER PUMP INSTALL 5707 WARREN WOO	5707 5,183.14 0.00 5,183.14
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Open

GL NUMBER	DESCRIPTION	AMOUNT
590-000.000-198.058	5707 WARREN WOODS LN	5,183.14

VENDOR TOTAL: 10,272.56

GRANITBR01 73820	COLDSRING P.O. BOX 71037  CHICAGO IL, 60694-1037	06/22/2023 07/06/2023 / / 07/06/2023	RI 2058161  0.0000	GEN N N Y	977 SPLIT SCROLL 2 X 5/8 RAMEY VIRGI	128.00  0.00 128.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-567.000-955.000	SUNDRY	128.00

VENDOR TOTAL: 128.00

Item 2.

UNJOURNALIZED OPEN

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Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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CONSUMER01 73805	CONSUMERS ENERGY PO BOX 740309 PAYMENT CENTER CINCINNATI OH, 45274-0309	06/22/2023 07/06/2023 / / 07/06/2023	201186025208  0.0000	GEN N N	1030 3773 9556 05/13-06/13/23 REGENC	17.63  0.00 17.63
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Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-921.000	NATURAL GAS/HEAT	17.63

CONSUMER01 73802	CONSUMERS ENERGY PO BOX 740309 PAYMENT CENTER CINCINNATI OH, 45274-0309	06/22/2023 07/06/2023 / / 07/06/2023	202965759581  0.0000	GEN N N	1000 6018 7471 05/12-06/12/23 WINANS	27.43  0.00 27.43
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Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-921.000	NATURAL GAS/HEAT	27.43

CONSUMER01 73803	CONSUMERS ENERGY PO BOX 740309 PAYMENT CENTER CINCINNATI OH, 45274-0309	06/22/2023 07/06/2023 / / 07/06/2023	204033667454  0.0000	GEN N N	1000 1237 5075 05/13-16/13/23 SEN CT	48.68  0.00 48.68
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Open

GL NUMBER	DESCRIPTION	AMOUNT
208-820.000-921.000	NATURAL GAS/HEAT	48.68

CONSUMER01 73798	CONSUMERS ENERGY PO BOX 740309 PAYMENT CENTER CINCINNATI OH, 45274-0309	06/22/2023 07/06/2023 / / 07/06/2023	204033667455  0.0000	GEN N N	1000 1237 5166 05/13-06/13/23 TWP	136.37  0.00 136.37
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-921.000	NATURAL GAS/HEAT	136.37

CONSUMER01 73799	CONSUMERS ENERGY PO BOX 740309 PAYMENT CENTER CINCINNATI OH, 45274-0309	06/22/2023 07/06/2023 / / 07/06/2023	204033667456  0.0000	GEN N N	1000 1237 5224 05/13-06/13/23 PD	132.13  0.00 132.13
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User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

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DB: Hamburg

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		07/06/2023		N		132.13
Open						

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-921.000	NATURAL GAS/HEAT	132.13
CONSUMER01 73800	CONSUMERS ENERGY PO BOX 740309 PAYMENT CENTER CINCINNATI OH, 45274-0309	06/22/2023 07/06/2023 / / 07/06/2023
		204478608189
		GEN N N N
		1000 1266 6192 05/13-06/13/23 ENT PO 16.00 0.00 16.00

Open						
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GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-921.000	NATURAL GAS/HEAT	16.00
CONSUMER01 73801	CONSUMERS ENERGY PO BOX 740309 PAYMENT CENTER CINCINNATI OH, 45274-0309	06/22/2023 07/06/2023 / / 07/06/2023
		204478608190
		GEN N N N
		1000 1266 6259 05/13-06/13/23 WWTP 484.92 0.00 484.92

Open						
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GL NUMBER	DESCRIPTION	AMOUNT
590-537.000-921.000	NATURAL GAS/HEAT	484.92
CONSUMER01 73804	CONSUMERS ENERGY PO BOX 740309 PAYMENT CENTER CINCINNATI OH, 45274-0309	06/22/2023 07/06/2023 / / 07/06/2023
		206969775340
		GEN N N N
		1000 3979 7285 05/12-16/12/23 FD#12 174.56 0.00 174.56

Open						
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GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-920.000	ELECTRIC	174.56
CONSUMER01 73797	CONSUMERS ENERGY PO BOX 740309 PAYMENT CENTER CINCINNATI OH, 45274-0309	06/22/2023 07/06/2023 / / 07/06/2023
		207147145117
		GEN N N N
		1000 0019 5535 06/13-06/13/23 RUSTIC 20.91 0.00 20.91

Open						
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GL NUMBER	DESCRIPTION	AMOUNT
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User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

Item 2.

DB: Hamburg

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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590-527.000-921.000	NATURAL GAS/HEAT					20.91
VENDOR TOTAL:						1,058.63

CORRIGAN01 73851	CORRIGAN TOWING 775 N. SECOND STREET BRIGHTON MI, 48116	06/27/2023 07/06/2023 / / 07/06/2023	780804-IN 0.0000	GEN N N N	DYED ULTRA LOW SULPHER #2 DIESEL	1,132.13 0.00 1,132.13
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-758.000	DIESEL FUEL	426.64
590-527.000-758.000	DIESEL FUEL	705.49
		1,132.13
VENDOR TOTAL:		
		1,132.13

CRUISERS01 73862	CRUISERS, INC. 5977 BRIGHTON PINES CT. HOWELL MI, 48843	06/28/2023 07/06/2023 / / 07/06/2023	45642 0.0000	GEN N N N	BG DUMP TRUCK SOUND OFF EPLMB009G2	245.00 0.00 245.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-932.000	VEHICLE MAINTENANCE	245.00
VENDOR TOTAL:		
		245.00



User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

Item 2.

DB: Hamburg

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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DTEENRGY01 73846	DTE ENERGY PO BOX 740786 CINCINNATI OH, 45274-0786	06/27/2023 07/06/2023 / / 07/06/2023	62723  0.0000	GEN N N N	9200 279 0884 6 7201 WINANS SIREN 5/	18.69 0.00 18.69
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-920.100	SIREN ELECTRIC USAGE	18.69

DTEENRGY01 73847	DTE ENERGY PO BOX 740786 CINCINNATI OH, 45274-0786	06/27/2023 07/06/2023 / / 07/06/2023	62723  0.0000	GEN N N N	9200 279 0885 3 2952 SHEHAN SIREN 5/	18.69 0.00 18.69
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-920.100	SIREN ELECTRIC USAGE	18.69

VENDOR TOTAL: 37.38

DUBOISCO01 73858	DUBOIS-COOPER & ASSOCIATES 905 PENNIMAN PO BOX 6161 PLYMOUTH MI, 48170	06/27/2023 07/06/2023 / / 07/06/2023	272704  0.0000	GEN N N Y	DPW SENTRY DUPLEX PANEL	11,424.00 0.00 11,424.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-751.100	GRINDER PUMP PARTS	11,424.00

VENDOR TOTAL: 11,424.00

User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

Item 2.

DB: Hamburg

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
ELECTIONCE 73867	ELECTION CENTER 21946 ROYAL MONTREAL DR. STE. 100 KATY TX, 77450	07/01/2023 07/06/2023 / / 07/06/2023	15479  0.0000	GEN N N Y	KUZNER 633770 CONF REG 8/26-8/30-23	 1,038.00 0.00 1,038.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-262.000-910.000	PROFESSIONAL DEVELOPMENT	1,038.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
ELECTIONCE 73868	ELECTION CENTER 21946 ROYAL MONTREAL DR. STE. 100 KATY TX, 77450	07/01/2023 07/06/2023 / / 07/06/2023	15480  0.0000	GEN N N Y	PATON 195523 CONF REG 8/26-8/30/23	 1,038.00 0.00 1,038.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-262.000-910.000	PROFESSIONAL DEVELOPMENT	1,038.00

VENDOR TOTAL: 2,076.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
ELECTROCYC 73872	ELECTROCYCLE, INC. 23953 RESEARCH DR. FARMINGTON HILLS MI, 48335	06/28/2023 07/06/2023 / / 07/06/2023	41955  0.0000	GEN N N N	PD ONSITE DOC DESTRUCTION	 190.00 0.00 190.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-756.000	ACCREDITATION EXPENSES	190.00

VENDOR TOTAL: 190.00

User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

DB: Hamburg

Item 2.

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
HACHCOMP01 73855	HACH COMPANY, AMERICAN SIGMA & 2207 COLLECTIONS CENTER DRIVE CHICAGO IL, 60693	06/27/2023 07/06/2023 / / 07/06/2023	13618902  0.0000	GEN N N Y	USB/AC POWER ADAPTER KIT	196.00 0.00 196.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-537.000-752.000	SUPPLIES & SMALL EQUIPMENT	196.00

HACHCOMP01 73823	HACH COMPANY, AMERICAN SIGMA & 2207 COLLECTIONS CENTER DRIVE CHICAGO IL, 60693	06/22/2023 07/06/2023 / / 07/06/2023	13619068  0.0000	GEN N N Y	DPW KTO ELECTRODE FILLING SOLN	178.20 0.00 178.20
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Open

GL NUMBER	DESCRIPTION	AMOUNT
590-537.000-752.000	SUPPLIES & SMALL EQUIPMENT	178.20

VENDOR TOTAL: 374.20

User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

DB: Hamburg

UNJOURNALIZED OPEN

Item 2.

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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HOMEDEPO01 73810	HOME DEPOT CREDIT SERVICES DEPT 32-2501873644 P.O. BOX 78047 PHOENIX AZ, 85062-8047	06/22/2023 07/06/2023 / / 07/06/2023	4360095  0.0000	GEN N N Y	DPWMIKWAUKEE CORDLESS HAMMER DRILL	149.00  0.00 149.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
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590-527.000-752.000	SUPPLIES & SMALL EQUIPMENT	149.00
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HOMEDEPO01 73811	HOME DEPOT CREDIT SERVICES DEPT 32-2501873644 P.O. BOX 78047 PHOENIX AZ, 85062-8047	06/22/2023 07/06/2023 / / 07/06/2023	4562282  0.0000	GEN N N Y	DPWMILWAUKEECORDLESS HAMMER DRILL	149.00  0.00 149.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
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590-527.000-752.000	SUPPLIES & SMALL EQUIPMENT	149.00
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HOMEDEPO01 73808	HOME DEPOT CREDIT SERVICES DEPT 32-2501873644 P.O. BOX 78047 PHOENIX AZ, 85062-8047	06/22/2023 07/06/2023 / / 07/06/2023	5010634  0.0000	GEN N N Y	PARKS/B&G/CEMETERY TOOLS AND SUPPLIE	383.81  0.00 383.81
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Open

GL NUMBER	DESCRIPTION	AMOUNT
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208-751.000-930.005	MAINTENANCE PARK BUILDINGS	177.49
101-265.000-752.000	SUPPLIES & SMALL EQUIPMENT	206.32
		383.81

HOMEDEPO01 73809	HOME DEPOT CREDIT SERVICES DEPT 32-2501873644 P.O. BOX 78047 PHOENIX AZ, 85062-8047	06/22/2023 07/06/2023 / / 07/06/2023	5202019  0.0000	GEN N N Y	B&G KLEIN WIRE STRIPPER/ SCREWDRIVER	42.94  0.00 42.94
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Open

GL NUMBER	DESCRIPTION	AMOUNT
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590-527.000-752.000	SUPPLIES & SMALL EQUIPMENT	42.94
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HOMEDEPO01	HOME DEPOT CREDIT SERVICES	06/22/2023	9446315	GEN	DPW MILWAUKEE CORDLESS TRANSFER	20
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06/28/2023 01:52 PM  
 User: MarcyM  
 DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES  
 EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

Item 2.

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
73812	DEPT 32-2501873644 P.O. BOX 78047 PHOENIX AZ, 85062-8047	07/06/2023 / / 07/06/2023	0.0000	N N Y		229.00 0.00 229.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-752.000	SUPPLIES & SMALL EQUIPMENT	229.00

VENDOR TOTAL: 953.75

User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

Item 2.

DB: Hamburg

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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HRNVLLYGUN 73875	HURON VALLEY GUNS, LLC 56477 GRAND RIVER AVE. NEW HUDSON MI, 48165	06/28/2023 07/06/2023 / / 07/06/2023	254432  0.0000	GEN N N Y	FD UNIFORMS WEINBURGER	 123.98 0.00 123.98
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-768.100	TURN OUT GEAR	123.98

HRNVLLYGUN 73878	HURON VALLEY GUNS, LLC 56477 GRAND RIVER AVE. NEW HUDSON MI, 48165	06/28/2023 07/06/2023 / / 07/06/2023	254434  0.0000	GEN N N Y	FD UNIFORMS PAWLEY	 154.98 0.00 154.98
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-768.100	TURN OUT GEAR	154.98

HRNVLLYGUN 73881	HURON VALLEY GUNS, LLC 56477 GRAND RIVER AVE. NEW HUDSON MI, 48165	06/28/2023 07/06/2023 / / 07/06/2023	254436  0.0000	GEN N N Y	FD UNIFORMS ZERNICK	 390.95 0.00 390.95
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-768.100	TURN OUT GEAR	390.95

HRNVLLYGUN 73884	HURON VALLEY GUNS, LLC 56477 GRAND RIVER AVE. NEW HUDSON MI, 48165	06/28/2023 07/06/2023 / / 07/06/2023	254738  0.0000	GEN N N Y	FD UNIFORMS NEWTON	 120.98 0.00 120.98
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-768.000	UNIFORMS/ACCESSORIES	120.98

HRNVLLYGUN 73876	HURON VALLEY GUNS, LLC 56477 GRAND RIVER AVE. NEW HUDSON MI, 48165	06/28/2023 07/06/2023 / / 07/06/2023	254952  0.0000	GEN N N Y	FD UNIFORMS MILLER	 130.99 0.00 130.99
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-768.100	TURN OUT GEAR	130.99

User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

Item 2.

DB: Hamburg

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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HRNVLLYGUN 73879	HURON VALLEY GUNS, LLC 56477 GRAND RIVER AVE. NEW HUDSON MI, 48165	06/28/2023 07/06/2023 / / 07/06/2023	254953  0.0000	GEN N N Y	FD UNIFORMS ZERNICK	140.98 0.00 140.98
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-768.000	UNIFORMS/ACCESSORIES	140.98

HRNVLLYGUN 73874	HURON VALLEY GUNS, LLC 56477 GRAND RIVER AVE. NEW HUDSON MI, 48165	06/28/2023 07/06/2023 / / 07/06/2023	254954  0.0000	GEN N N Y	FD UNIFORMS YOST	328.45 0.00 328.45
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-768.100	TURN OUT GEAR	328.45

HRNVLLYGUN 73807	HURON VALLEY GUNS, LLC 56477 GRAND RIVER AVE. NEW HUDSON MI, 48165	06/22/2023 07/06/2023 / / 07/06/2023	255772  0.0000	GEN N N Y	PD PAUL POLO(6) PANTS(7) JACKET(2)	2,123.79 0.00 2,123.79
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Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-768.000	UNIFORMS/ACCESSORIES	2,123.79

HRNVLLYGUN 73806	HURON VALLEY GUNS, LLC 56477 GRAND RIVER AVE. NEW HUDSON MI, 48165	06/22/2023 07/06/2023 / / 07/06/2023	255773  0.0000	GEN N N Y	PD PEDERSEN DBLE OPEN MAG CASE	35.99 0.00 35.99
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Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-768.000	UNIFORMS/ACCESSORIES	35.99

HRNVLLYGUN 73877	HURON VALLEY GUNS, LLC 56477 GRAND RIVER AVE. NEW HUDSON MI, 48165	06/28/2023 07/06/2023 / / 07/06/2023	256179  0.0000	GEN N N Y	FD UNIFORMS STEINAWAY	81.99 0.00 81.99
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Open

GL NUMBER	DESCRIPTION	AMOUNT
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User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

DB: Hamburg

UNJOURNALIZED OPEN

Item 2.

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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206-000.000-768.000	UNIFORMS/ACCESSORIES					81.99
HRNVLLYGUN 73880	HURON VALLEY GUNS, LLC 56477 GRAND RIVER AVE. NEW HUDSON MI, 48165	06/28/2023 07/06/2023 / / 07/06/2023	256181  0.0000	GEN N N Y	FD UNIFORMS YOST	136.98 0.00 136.98

Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-768.000	UNIFORMS/ACCESSORIES	136.98

HRNVLLYGUN 73882	HURON VALLEY GUNS, LLC 56477 GRAND RIVER AVE. NEW HUDSON MI, 48165	06/28/2023 07/06/2023 / / 07/06/2023	256182  0.0000	GEN N N Y	FD UNIFORMS ZERNICK	95.00 0.00 95.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-768.000	UNIFORMS/ACCESSORIES	95.00

HRNVLLYGUN 73883	HURON VALLEY GUNS, LLC 56477 GRAND RIVER AVE. NEW HUDSON MI, 48165	06/28/2023 07/06/2023 / / 07/06/2023	256183  0.0000	GEN N N Y	FD UNIFORMS ZERNICK	68.99 0.00 68.99
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-768.000	UNIFORMS/ACCESSORIES	68.99

VENDOR TOTAL:						3,934.05
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HUTSONINC1 73853	HUTSON, INC. 3915 TRACTOR DRIVE HOWELL MI, 48855	06/27/2023 07/06/2023 / / 07/06/2023	10007494  0.0000	GEN N N N	DPW FASTNER (2) /NUT (2) /RING	170.10 0.00 170.10
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Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-931.000	EQUIPMENT MAINT/REPAIR	170.10

VENDOR TOTAL:						170.10
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User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

DB: Hamburg

Item 2.

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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IMEG CORP#1 73821	IMEG CORP. ATTN: ACCOUNTS RECEIVABLE 623 26TH AVE. ROCK ISLAND IL, 61201	06/22/2023 07/06/2023 / / 07/06/2023	23002524.00-2  0.0000	GEN N N Y	PROF SERV 5/1-5/31/23	249.00  0.00 249.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-101.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP	249.00

VENDOR TOTAL: 249.00

LANDSEND 73835	LAND'S END 1 LANDS END LANE DODGEVILLE WI, 53595	06/26/2023 07/06/2023 / / 07/06/2023	SIN11286628  0.0000	GEN N N Y	CERTIFICATES NEW HIRES	300.00 0.00 300.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-275.000-946.000	ENGINEERING SERVICES	300.00

VENDOR TOTAL: 300.00

User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

DB: Hamburg

Item 2.

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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LIVINGST28 73857	LCGIS 304 E. GRAND RIVER, STE. 101 HOWELL MI, 48843	06/27/2023 07/06/2023 / / 07/06/2023	11811  0.0000	GEN N N N	FD OSSI 1ST Q OSSI 23	900.00 0.00 900.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-933.000	SOFTWARE MAINTENANCE	900.00

LIVINGST28 73856	LCGIS 304 E. GRAND RIVER, STE. 101 HOWELL MI, 48843	06/27/2023 07/06/2023 / / 07/06/2023	11812  0.0000	GEN N N N	FD OSSI 2ND Q FEES/CAPITAL EQUIP FEE	500.00 0.00 500.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-933.000	SOFTWARE MAINTENANCE	500.00

LIVINGST28 73838	LCGIS 304 E. GRAND RIVER, STE. 101 HOWELL MI, 48843	06/27/2023 07/06/2023 / / 07/06/2023	11813  0.0000	GEN N N N	OSSI 1ST Q 23 (JAN, FEB MAR) CONNEC	17,837.28 0.00 17,837.28
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Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-933.000	SOFTWARE MAINTENANCE	900.00
207-000.000-933.000	SOFTWARE MAINTENANCE	16,937.28
		17,837.28

LIVINGST28 73839	LCGIS 304 E. GRAND RIVER, STE. 101 HOWELL MI, 48843	06/27/2023 07/06/2023 / / 07/06/2023	11814  0.0000	GEN N N N	OSSI CONNECTION FEES/IT EQUIPMENT 2N	1,400.00 0.00 1,400.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-933.000	SOFTWARE MAINTENANCE	1,400.00

VENDOR TOTAL: 20,637.28

User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

Item 2.

DB: Hamburg

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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LIVINGST24 73869	LIV. CO. MUNICIPAL CLERKS ASSOC. C/O DEBBY JOHNSON, 3525 BYRON ROAD HOWELL MI, 48855	07/01/2023 07/06/2023 / / 07/06/2023	62823  0.0000	GEN N N	2023/2024 DUES HAMBURG TWP	100.00  0.00 100.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-215.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	100.00

VENDOR TOTAL: 100.00

LIVINGST12 73819	LIVINGSTON COUNTY REGISTER OF DEEDS 200 E. GRAND RIVER AVE. SUITE 3 HOWELL MI, 48843	06/22/2023 07/06/2023 / / 07/06/2023	61623  0.0000	GEN N Y N	EASEMENT GRANT FORM KOVARIK	30.00  0.00 30.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-955.000	SUNDRY	30.00

LIVINGST12 73842	LIVINGSTON COUNTY REGISTER OF DEEDS 200 E. GRAND RIVER AVE. SUITE 3 HOWELL MI, 48843	06/27/2023 07/06/2023 / / 07/06/2023	62623  0.0000	GEN N Y N	SEWER AGREEMENT (2) /EASEMENT GRANT NO	120.00  0.00 120.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
590-538.000-955.000	SUNDRY	120.00

LIVINGST12 73837	LIVINGSTON COUNTY REGISTER OF DEEDS 200 E. GRAND RIVER AVE. SUITE 3 HOWELL MI, 48843	06/26/2023 07/06/2023 / / 07/06/2023	62623  0.0000	GEN N Y N	EASEMENT GRANT FORM-ROSE	30.00  0.00 30.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-955.000	SUNDRY	30.00

VENDOR TOTAL: 18 27

User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

Item 2.

DB: Hamburg

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
MAZURAUTOM 73860	MAZUR'S TOTAL AUTOMOTIVEOF PINCKNEY 5759 E. M36 PINCKNEY MI, 48169	06/27/2023 07/06/2023 / / 07/06/2023	RO#81961  0.0000	GEN N N Y	2007 RANGER 75752	 937.72 0.00 937.72

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-932.000	VEHICLE MAINTENANCE	937.72

VENDOR TOTAL: 937.72

FETTERSMIC 73813	MICHAEL FETTERS 8488 BAUDINE PINCKNEY MI, 48169	06/22/2023 07/06/2023 / / 07/06/2023	62123  0.0000	GEN N N Y	REFUND VARIANCE FILING FEE 21-0014	 500.00 0.00 500.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-702.000-618.000	ZONING BOARD OF APPEALS APPLIC	500.00

VENDOR TOTAL: 500.00

MAS 73873	MICHIGAN AIR SOLUTIONS 4439 S BUTTERMILK SUITE 400 HUDSONVILLE MI, 49426	06/28/2023 07/06/2023 / / 07/06/2023	S01-24000338  0.0000	GEN N N N	FD #12 CURTIS CA5 RECIPROCATING AIR	 3,400.00  0.00 3,400.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-930.003	MAINTENANCE FIRE HALL	3,400.00

VENDOR TOTAL: 3,400.00

User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

DB: Hamburg

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Item 2.

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
MIMUNICI03 73866	MICHIGAN MUNICIPAL RISK ATTN: TINA WHITE 14001 MERRIMAN LIVONIA MI, 48154	07/01/2023 07/06/2023 / / 07/01/2023	62823  0.0000	GEN N N N	M0001291 1ST INSTALLMENT LIABILITY/C	132,233.50  0.00 132,233.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-275.000-840.000	LIABILITY/CASUALTY INSURANCE	11,247.95
206-000.000-840.000	LIABILITY/CASUALTY INSURANCE	31,588.96
207-000.000-840.000	LIABILITY/CASUALTY INSURANCE	66,987.57
208-751.000-840.000	LIABILITY/CASUALTY INSURANCE	541.26
208-820.000-840.000	LIABILITY/CASUALTY INSURANCE	1,564.59
208-800.000-840.000	LIABILITY/CASUALTY INSURANCE	106.50
590-527.000-840.000	LIABILITY/CASUALTY INSURANCE	14,226.99
101-275.000-840.000	LIABILITY/CASUALTY INSURANCE	5,969.68
		<hr/> 132,233.50

VENDOR TOTAL: 132,233.50

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK Y	Invoice Description	Gross Amount Discount Net Amount
PINCKNEY01 73825	PINCKNEY CHRYSLER DODGE JEEP RAM PO BOX 109 1295 E-M6 PINCKNEY MI, 48169	06/22/2023 07/06/2023 / / 07/06/2023	CHCS369974  0.0000	GEN N N Y	19 DODGE 77003	205.59  0.00 205.59

Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-932.000	VEHICLE MAINTENANCE	205.59

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK Y	Invoice Description	Gross Amount Discount Net Amount
PINCKNEY01 73871	PINCKNEY CHRYSLER DODGE JEEP RAM PO BOX 109 1295 E-M6 PINCKNEY MI, 48169	06/28/2023 07/06/2023 / / 07/06/2023	CHCS3710018  0.0000	GEN N N Y	19 DODGE CHARGER 26909	24.95  0.00 24.95

Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-932.000	VEHICLE MAINTENANCE	24.95

VENDOR TOTAL: 230.54

User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

Item 2.

DB: Hamburg

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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R&RFIRE01 73824	R&R FIRE TRUCK REPAIR, INC. 751 DOHENY DRIVE NORTHVILLE MI, 48167	06/22/2023 07/06/2023 / / 07/06/2023	65564 0.0000	GEN N N N	FD #11 COMPRESSOR 742439901	350.80 0.00 350.80
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-932.000	VEHICLE MAINTENANCE	350.80

VENDOR TOTAL: 350.80

REDWINGSHO 73850	RED WING BUSINESS ADVANTAGE ACCOUNT P.O. BOX 844329 DALLAS TX, 75284-4329	06/27/2023 07/06/2023 / / 07/06/2023	153219 20220954 0.0000	GEN N N N	STEEL TOE OR COMPOSITE TOE WORK BOOT	206.99 0.00 206.99
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Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
590-527.000-768.000	STEEL TOE WORK BOOTS - ADAM COCHRANE	206.99	206.99

VENDOR TOTAL: 206.99

RESCOM 73849	RESCOM DOOR LLC 4088 E M 36 PINCKNEY MI, 48169	06/27/2023 07/06/2023 / / 07/06/2023	3972 0.0000	GEN N N N	INSTALL MISSING BOLTSIN J-ARM OPENER	95.00 0.00 95.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-930.003	MAINTENANCE FIRE HALL	95.00

VENDOR TOTAL: 95.00

User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

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DB: Hamburg

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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JOHNSNRO01 73817	ROSATI, SCHULTZ, JOPPICH & AMTSBUECHLER, P.C. 27555 EXECUTIVE DRIVE, SUITE 250 FARMINGTON HILLS MI, 48331	06/22/2023 07/06/2023 / / 07/06/2023	1079628  0.0000	GEN N N Y	GENERAL MATTERS 5/1-5/31/23	1,224.00  0.00 1,224.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-101.000-826.000	LEGAL FEES	782.00
101-702.000-826.000	LEGAL FEES	442.00
		1,224.00

JOHNSNRO01 73815	ROSATI, SCHULTZ, JOPPICH & AMTSBUECHLER, P.C. 27555 EXECUTIVE DRIVE, SUITE 250 FARMINGTON HILLS MI, 48331	06/22/2023 07/06/2023 / / 07/06/2023	1079630  0.0000	GEN N N Y	ORDINANCE ENFORMENT MATTERS 05/01-05	350.00  0.00 350.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-702.000-826.000	LEGAL FEES	350.00

JOHNSNRO01 73814	ROSATI, SCHULTZ, JOPPICH & AMTSBUECHLER, P.C. 27555 EXECUTIVE DRIVE, SUITE 250 FARMINGTON HILLS MI, 48331	06/22/2023 07/06/2023 / / 07/06/2023	1079631  0.0000	GEN N N Y	PLANNING AND ZONING 05/01-05/31/23	822.50  0.00 822.50
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-279.959	ORE LAKE ESTATES MASTER DEED REVIEW	35.00
101-702.000-826.000	LEGAL FEES	787.50
		822.50

JOHNSNRO01 73818	ROSATI, SCHULTZ, JOPPICH & AMTSBUECHLER, P.C. 27555 EXECUTIVE DRIVE, SUITE 250 FARMINGTON HILLS MI, 48331	06/22/2023 07/06/2023 / / 07/06/2023	1079632  0.0000	GEN N N Y	DISTRICT COURT PROSECUTIONS 5/1-5/31	140.00  0.00 140.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-826.000	LEGAL FEES	140.00

User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

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UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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JOHNSNRO01 73816	ROSATI, SCHULTZ, JOPPICH & AMTSBUECHLER, P.C. 2755 EXECUTIVE DRIVE, SUITE 250 FARMINGTON HILLS MI, 48331	06/22/2023 07/06/2023 / / 07/06/2023	179629  0.0000	GEN N N Y	MARY ANN & STEVEN LAMKIN 05/01-05/31	35.00  0.00 35.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-101.000-826.000	LEGAL FEES	35.00

VENDOR TOTAL: 2,571.50

LOCKESTEPH 73822	STEPHEN LOCKE ,	06/22/2023 07/06/2023 / / 07/06/2023	61723  0.0000	GEN N N N	REIMBURSEMENT MEALS-PROF DEV 6/11-6/	174.46 0.00 174.46
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Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-916.000	TRAINING	174.46

VENDOR TOTAL: 174.46

WALLACET01 73840	TONY WALLACE ,	06/27/2023 07/06/2023 / / 07/06/2023	61823  0.0000	GEN N N N	REIMBURSE MEALS PROG DEV OTOA CONF	180.00 0.00 180.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-916.000	TRAINING	180.00

VENDOR TOTAL: 180.00

TOSHIBA 73848	TOSHIBA BUSINESS SOLUTIONS PO BOX 927 BUFFALO NY, 14240-0927	06/27/2023 07/06/2023 / / 07/06/2023	6042149  0.0000	GEN N N Y	FD#12 CPC BW BILLING 5/6-6/5/23/CLR	9.56 0.00 9.56
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-801.000	CONTRACTUAL SERVICES	9.56



User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

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BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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VENDOR TOTAL: 9.56

TRUSTHEATN 73852	TRUSTED HEATING & COOLING SOLUTIONS, INC. 4730 E. M-36 PINCKNEY MI, 48169	06/27/2023 07/06/2023 / / 07/06/2023	I10852  0.0000	GEN N N Y	WWTP SYSTEM REPAIR	 573.20 0.00 573.20
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Open

GL NUMBER	DESCRIPTION	AMOUNT
590-537.000-930.007	BUILDING MAINTENANCE - WWTP	573.20

VENDOR TOTAL: 573.20

IRS 73826	UNITED STATES TREASURY DEPT OF THE TREASURY IRS OGDEN UT, 84201-0009	06/22/2023 07/06/2023 / / 07/06/2023	62223  0.0000	GEN N N N	38-1855320 FORM 720-V 2023	 147.00 0.00 147.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-275.000-718.500	HEALTH CARE REIMBURSEMENT	147.00

VENDOR TOTAL: 147.00

VERIZONW01 73885	VERIZON WIRELESS PO BOX 15062 ALBANY NY, 12212-5062	06/28/2023 07/06/2023 / / 07/06/2023	9937933554  0.0000	GEN N N N	DPW 6/23-7/22/23	 50.49 0.00 50.49
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Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-853.000	PHONE/COMM/INTERNET	50.49

VENDOR TOTAL: 50.49

User: MarcyM

EXP CHECK RUN DATES 07/06/2023 - 07/06/2023

Item 2.

DB: Hamburg

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
WJONEILCOM 73854	W.J. O'NEIL COMPANY 35457 INDUSTRIAL ROAD LIVONIA MI, 48150	06/27/2023 07/06/2023 / / 07/06/2023	10326  0.0000	GEN N N Y	WWTP SLUDGE HEAT EXCHANGER RNOVATION	 6,350.00 0.00 6,350.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-537.000-946.000	ENGINEERING SERVICES	6,350.00

VENDOR TOTAL: 6,350.00

W-4SIGNS01 73861	W-4 SIGNS 8200 GRAND RIVER AVE. BRIGHTON MI, 48114	06/28/2023 07/06/2023 / / 07/06/2023	25942  0.0000	GEN N N Y	BG DODGE RAM GRAPHICS	 230.00 0.00 230.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-932.000	VEHICLE MAINTENANCE	230.00

VENDOR TOTAL: 230.00

TOTAL - ALL VENDORS: 313,128.46

6/21/23  
 MLD

Item 2.

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
MYERSEXC01 73789	BOB MYERS EXCAVATING INC 8111 HAMMEL ROAD BRIGHTON MI, 48116	06/21/2023 06/20/2023 / / 06/20/2023	2022-758 0.0000	GEN N N N	ROAD GRADE 06/15 NORENE & PEARY	425.00 0.00 425.00
Open						

GL NUMBER	DESCRIPTION	AMOUNT
275-000.000-802.000	ROAD IMPROVEMENT	425.00

VENDOR TOTAL: 425.00

CONSUMER01 73796	CONSUMERS ENERGY PO BOX 740309 PAYMENT CENTER CINCINNATI OH, 45274-0309	06/21/2023 06/20/2023 / / 06/20/2023	206791966470 0.0000	GEN N N N	1000 1698 7719 3666 E M 36	144.86 0.00 144.86
Open						

GL NUMBER	DESCRIPTION	AMOUNT
590-537.000-921.000	NATURAL GAS/HEAT	144.86

VENDOR TOTAL: 144.86

BIGBARNE01 73781	DUST CONTROL LLC D/B/A BIG BARNEY'S PO BOX 483 HOWELL MI, 48844-0483	06/21/2023 06/20/2023 / / 06/20/2023	11131 0.0000	GEN N N Y	CCMB SUMMER BLEND-FUN FEST	1,650.00 0.00 1,650.00
Open						

GL NUMBER	DESCRIPTION	AMOUNT
208-751.000-930.005	MAINTENANCE PARK BUILDINGS	1,650.00

VENDOR TOTAL: 1,650.00

HRNVLLYGUN 73792	HURON VALLEY GUNS, LLC 56477 GRAND RIVER AVE. NEW HUDSON MI, 48165	06/21/2023 06/20/2023 / / 06/20/2023	254869 0.0000	GEN N N Y	PD NISEMBAUM SHIRTS/PANTS	301.96 0.00 301.96
Open						

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-768.000	UNIFORMS/ACCESSORIES	301.96

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BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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VENDOR TOTAL: 301.96

IMEGCORP#1 73793	IMEG CORP. ATTN: ACCOUNTS RECEIVABLE 623 26TH AVE. ROCK ISLAND IL, 61201	06/21/2023 06/20/2023 / / 06/20/2023	21002342.00-5  0.0000	GEN N N Y	PROF SERV 8/1/22-5/31/23	445.50  0.00 445.50
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-279.750	RED BARN MARKET-PETTYSVILLE	445.50

IMEGCORP#1 73795	IMEG CORP. ATTN: ACCOUNTS RECEIVABLE 623 26TH AVE. ROCK ISLAND IL, 61201	06/21/2023 06/20/2023 / / 06/20/2023	22006728.00-3  0.0000	GEN N N Y	PROF SERV 2/13-5/31/23	121.00  0.00 121.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-702.000-617.000	SITE PLAN FEES	121.00

IMEGCORP#1 73794	IMEG CORP. ATTN: ACCOUNTS RECEIVABLE 623 26TH AVE. ROCK ISLAND IL, 61201	06/21/2023 06/20/2023 / / 06/20/2023	23001935.00-3  0.0000	GEN N N Y	PROF SERV 05/01/23-5/31/23	933.00  0.00 933.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-279.970	ZANDER SITE PLAN	933.00

VENDOR TOTAL: 1,499.50

User: MarcyM

EXP CHECK RUN DATES 06/20/2022 - 06/20/2023

DB: Hamburg

Item 2.

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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MOTOROLA01 73785	MOTOROLA SOLUTIONS INC. 13104 COLLECTIONS CENTER DR CHICAGO IL, 60693	06/21/2023 06/20/2023 / / 06/20/2023	1411004234  0.0000	GEN N N N	PD EVIDENCE LIBRARY 12/6/23-9/1/23	 288.30 0.00 288.30
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Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-933.000	SOFTWARE MAINTENANCE	288.30

MOTOROLA01 73787	MOTOROLA SOLUTIONS INC. 13104 COLLECTIONS CENTER DR CHICAGO IL, 60693	06/21/2023 06/20/2023 / / 06/20/2023	1411004288  0.0000	GEN N N N	PD EVIDENCE LIBRARY VISTA ANN DEVIC	 231.69 0.00 231.69
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Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-933.000	SOFTWARE MAINTENANCE	231.69

MOTOROLA01 73788	MOTOROLA SOLUTIONS INC. 13104 COLLECTIONS CENTER DR CHICAGO IL, 60693	06/21/2023 06/20/2023 / / 06/20/2023	1411017644  0.0000	GEN N N N	PD EVIDENCE LIBRARY VISTA 3000 ANN	 158.31 0.00 158.31
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Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-933.000	SOFTWARE MAINTENANCE	158.31

MOTOROLA01 73786	MOTOROLA SOLUTIONS INC. 13104 COLLECTIONS CENTER DR CHICAGO IL, 60693	06/21/2023 06/20/2023 / / 06/20/2023	8230403235  0.0000	GEN N N N	PD VIDEO MGR DEVICE LICENSE AND SUP	 195.00 0.00 195.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-933.000	SOFTWARE MAINTENANCE	195.00

MOTOROLA01 73784	MOTOROLA SOLUTIONS INC. 13104 COLLECTIONS CENTER DR CHICAGO IL, 60693	06/21/2023 06/20/2023 / / 06/20/2023	8230403249  0.0000	GEN N N N	PD VIDEO MGR 8/23/22-8/22/23	 780.00 0.00 780.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-933.000	SOFTWARE MAINTENANCE	780.00

Item 2.

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
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VENDOR TOTAL: 1,653.30

HAMLETTREG 73782	REGINA HAMLETT 10722 STINCHFIELD WOODS RD PINCKNEY MI, 48169	06/21/2023 06/20/2023 / / 06/20/2023	506  0.0000	GEN N N N	SEN CTR COOKING CLASS 10-13-23	 150.00 0.00 150.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
208-820.000-804.000	SENIOR PROGRAMS	150.00

VENDOR TOTAL: 150.00

BOOMERSRJV 73791	RJV ENTERPRISES, INC. DBA BOOMERS PARTY STORE & PIZZA 8999 HAMBURG ROAD BRIGHTON MI, 48116	06/21/2023 06/20/2023 / / 06/20/2023	9297-21  0.0000	GEN N N N	SEN CTR FOOD PURCHASES	 145.00 0.00 145.00
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Open

GL NUMBER	DESCRIPTION	AMOUNT
208-000.000-239.300	SENIOR CENTER ACTIVITY FUND	145.00

VENDOR TOTAL: 145.00

SOARINGEAG 73783	SOARING EAGLE CASINO & RESORT 6800 SOARING EAGLE BOULEVARD MOUNT PLEASANT MI, 48858	06/21/2023 06/20/2023 / / 06/20/2023	#HAM001  0.0000	GEN N N Y	FD / PD EVENT 05-19-23	 590.40 0.00 590.40
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Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-916.000	TRAINING	295.20
207-000.000-916.000	TRAINING	295.20
		590.40

VENDOR TOTAL: 590.40

User: MarcyM

EXP CHECK RUN DATES 06/20/2022 - 06/20/2023

DB: Hamburg

Item 2.

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
WCAASSESSG 73790	WCA ASSESSING LLC 38110 N. EXECUTIVE #100 WESTLAND MI, 48185	06/21/2023 06/20/2023 / / 06/20/2023	61323 0.0000	GEN N N Y	ASSESSING SERV. JULY 23	  27,255.75 0.00 27,255.75
Open						

GL NUMBER	DESCRIPTION	AMOUNT
101-257.000-801.000	CONTRACTUAL SERVICES	27,255.75

VENDOR TOTAL: 27,255.75

TOTAL - ALL VENDORS: 33,815.77

MLD



2531 Jackson Ave Ste 336  
Ann Arbor, MI. 48103  
Phone 734.678.7530  
[a2zlawnservicesLLC@gmail.com](mailto:a2zlawnservicesLLC@gmail.com)  
[www.a2zlawnservices.com](http://www.a2zlawnservices.com)

GL Code \_\_\_\_\_  
Approved M. Dolores

JUN 29 2023

Entered \_\_\_\_\_  
Due Date \_\_\_\_\_

# INVOICE

INVOICE # 001422  
DATE 06-29-2023

**TO:** Hamburg Township Cemeteries and Mausoleum  
Julie Durkin – Cemetery Administrator/Sexton  
10405 Merrill Rd. | P.O. Box 157  
Hamburg, MI 48139  
Phone: (517) 376-8993  
Email: [jdurkin@hamburg.mi.us](mailto:jdurkin@hamburg.mi.us)  
[APHamburgTwp@hamburg.mi.us](mailto:APHamburgTwp@hamburg.mi.us)

**FOR** Lawn/Landscaping Services

Description		Amount
<b>Lawn mowing, trimming &amp; blowing for the following properties:</b>		
06-07-2023	South Hamburg Cemetery (weekly)	\$680.00
06-13-2023		\$680.00
06-21-2023		\$680.00
06-28-2023		\$680.00
06-13-2023	North Hamburg Cemetery (bi-weekly)	\$300.00
06-28-2023		\$300.00
06-13-2023	Placeway Cemetery (bi-weekly)	\$350.00
06-28-2023		\$350.00
<b>Total Due:</b>		<b>\$4020.00</b>

Payment is due upon receipt.  
Payment can be made directly on our website.  
Please make all checks payable to: **A2Z Lawn Services, LLC or Arturo Z Dolores**  
If you have any questions concerning this invoice, please contact phone or text:  
Arturo Z Dolores | 734.678.7530 Email: [a2zlawnservicesLLC@gmail.com](mailto:a2zlawnservicesLLC@gmail.com)

**THANK YOU – WE REALLY APPRECIATE YOUR BUSINESS!**



Hamburg Township  
Parks & Recreation Committee  
Regular Meeting  
Hamburg Township Hall  
Tuesday, May 30, 2023  
3:00 p.m.

1. Call to Order

Dolan called the meeting to order at 3:06 p.m.

2. Pledge to the Flag

3. Roll Call of the Parks & Recreation Committee

Board Members Present: Michniewicz (3:09 p.m.), Dolan, Muck, McCabe, Auxier

Board Members Absent: None

Also Present: Deby Henneman - Township Coordinator, Duane Hoepfner – Building & Grounds

4. Call to the Public

A call was made with no response.

5. Approval of the Agenda

**Motion by Auxier, supported by McCabe, to approve the agenda with the removal of Howell Recreation Organization – Park Use Discussion, as they will be moving their presentation to June.**

**VOICE VOTE: Ayes: 4 Absent: 1 (Michniewicz)**

**MOTION CARRIED**

6. Approval of the Minutes

**Motion by Muck, supported by Dolan, to approve the minutes from the April 25, 2023 Regular Meeting, with the addition of clarification of discussion on Howell Recreation.**

**VOICE VOTE: Ayes: 4 Absent: 1 (Michniewicz)**

**MOTION CARRIED**

7. Correspondence

Hamburg Historical Museum newsletter was received and filed.

8. Current Business

A. Howell Recreation Organization

Muck gave a recap of the proposal from Howell Recreation. He stated they are interested in expanding their programming offerings and are proposing a facility agreement to utilize our fields and help with field set-up. He stated they have a similar agreement with a group in Novi and staff does 2 field turnovers a week and garbage, and collect approximately \$11,000 per year for an April-June season.

B. Baseball Field Usage & Scheduling Concerns

Dolan suggested we do another de-briefing session with each of the clubs this fall to see how things are going.

Park Coordinator to reach out and arrange for PM joint meeting.

C. Portable Toilet Issues & other costs – Park Fee Discussion

Hohl suggested the Officials and Township Coordinator meet to discuss the budget as it relates to fees, and bring a proposal back to the committee.

Henneman is working on gathering bids for scheduling software and seeking out scheduling solutions. Working with Accounting to also find solutions for donations.

9. Old Business

**A. Parks & Recreation Master Plan/Pending Grants/Supervisor Report**

1. Iron Belle Trail/Lakelands Trail – Supervisor Update

Hohl stated that bridge for the railroad is being built and we will get the research on mussels. He stated the Huron River bridge is about a 1.5 million dollar project.

He stated all of the ARPA funds given to the Township have been allocated.

Muck mentioned public improvements could qualify for a Keep MI beautiful award, and to let him know if there are any projects we would like to have considered.

- Huron River free-span Bridge Project – Update above
- MDNR Spark Grant – ARPA-0863 – Deadline 6/2023
  - i. Lakelands Trail Restroom & Amenities Project
  - ii. Proposed \$700,000 request/\$100,000 match
  - iii. Drafting in house by Coordinator/Spicer Group assist

Henneman reported the grant is moving forward, and she will be starting on the draft ASAP.

- Ralph C. Wilson Jr. – Trail Maintenance Grant – Zukey Lake Footbridge – Award by 8/1/23
  - i. \$100,000 request/\$40,00 match
  - ii. Drafted in house by Coordinator

2. Master Design Plan – Spicer Group to design concept plan for entire park including “Park within a Park” concept for West Park Improvements (See grant)

3. Bennett Park & Senior Center – Coordinator Update

- TF22-0107 Bennett Park & Water Trail Access Improvements – Master Design plan pending
- LCCOA Grant – ADA Accessible Patio Doors & Other improvements – Awarded

Dolan reported on project and the funding received. Project will include 2<sup>nd</sup> set of Accessible Patio Doors, New Flooring, New Chairs, and room dividers.

- HERO Grant – Intergenerational Play Area Concept – Discussion took place regarding concerns with parts to the games and how they would be distributed. Concession stand improvements were discussed to accommodate vending machines, and ADA restroom facilities.

**B. Township Park Use Policy/Fee/Procedures**

1. Park Use Policy updates – No updates
2. Park Use Fees – When reviewing fees, additional charges for the Township arranging for portable toilet and garbage service will be investigated. The other alternative will be requiring that the Township vendor be used, and that user comply with suggested units based on the chart provided by the portable toilet vendor.

**C. Administrative Services**

1. Park Coordinator’s Report – May 2023 – Report received and filed
2. Senior Center Report – May 2023 – Report received and filed
3. Scholarship Request – None
4. Park Use Requests - None

**D. Special Projects**

1. Baseball Dugout Renovation Project – PHBSA repairs inadequate, B&G will make further repairs
2. Pickleball Court #3 – Is complete. Windbreakers and gates are ordered. Ribbon cutting TBD.
3. RC Car/Truck Track proposal – MOU needs to be signed, then final proposal will come to Parks Committee for recommendation and budget to the Township Board. No further update.
4. Sledding Hill (RC Field) – No update
6. Bennett Park & Water Trail Access Improvements – Pending Master Design
7. Scheduling Software/Invoicing and Donations – Digital Options – Bids being gathered.

**E. Sponsorships/Volunteerism**

1. Amenities and Beautification Committee – No report
2. Community Clean-Up – Recap Report

**F. Signage and Community Awareness**

1. Wayfinding & Safety Signage – Municipal Entrance sign installed
2. Winans/Hamburg Historical Marker – Hamburg Cemetery – New Marker Coming Soon. Ribbon Cutting will be arranged with State of MI and Historical Museum.

**G. Risk Management (Insurance/ADA)**

1. ADA Compliance in Parklands – No updates

10. Call to the Public

A call was made with no response.

11. Committee Comments

None

12. Adjourn Meeting

**Motion by Auxier, supported by Michniewicz, to adjourn the meeting.**

**VOICE VOTE: Ayes: 5**

**MOTION CARRIED**

Meeting adjourned at 4:05 p.m.

Respectfully submitted,



Debra Henneman  
Township Coordinator  
Parks, ADA, Grants, Ordinances

**Next meeting: Tuesday, June 27, 2023 – 3:00 p.m**



**Hamburg Township Offices  
10405 Merrill Rd., P.O. Box 157  
Hamburg, MI 48139  
(810)231-1000  
[www.hamburg.mi.us](http://www.hamburg.mi.us)**

To: Township Board of Trustees

From: Deby Henneman, Township Coordinator, Parks, ADA, Grants, Ordinances

Re: Township Coordinator's Report – May 2023

### **Parks:**

Spicer is working on a proposal for the 2023 Parks and Recreation Master Design plan which will include the concept plan for H8 and the Adult Workout. It will also include the scope items from approved Grant #TF22-0107, as well as ADA compliant pathways leading to the Outdoor Patio area at the Senior/Community Center. The plan will be presented to the Board for final approval and used for future Grants, Project Development, and Management.

I am gathering information and pricing for scheduling and invoicing solutions for Parks as well as the Senior/Community Center. I hope to complete the meetings/demos with vendors by the end of July, and gather information together for discussion in early fall for a possible January 2024 implementation. We will also need to revisit our existing fee schedule and should propose any changes to the Board prior to the new system being put in place. Our plan is to include a QR code donation collection program in order to streamline donations for Disc Golf, Pickleball, and other facilities.

I will be merging all approved procedures from the past few years into a revised Parks Policy and Procedure Manual, and hope to have a draft document by 7/1/23.

### **ADA**

I am attending the 2023 National ADA Symposium in Kansas, City, MO from May 21 to 24, 2023. This symposium provides credits supporting the ADA Coordinator Training Certification Program (ACTCP) which is specifically designed to meet the training and professional needs of ADA Coordinators. I hope to complete my certification by 2024. The courses I am taking at the conference will fulfill a large percentage of the requirements and I plan to take several free online courses for additional credits. Once the CEUs are obtained, I will be completing the testing for the National Certification.

It is my goal to have all inspections of completed ADA Transition Plan items done by the end of the 23/24 FY. An updated version of the Transition Plan was included in the 5/16/23 Township Board Packet for budgetary purposes.

The Manly Bennett East Park Monument, and Municipal entrance signs have been restored, and the directional sign for the main entrance driveway has been ordered. Smaller wayfinding signs listing the facilities at the end of each driveway will be next. Wayfinding signage and compliant entries/parking spaces are top priority for the upcoming fiscal year.

**Grants:**

The 2022 Trust Fund Grant application #TF22-0107 is pending the Agreement, which will come to the Township Board to execute. In the meantime, I will start gathering the materials that will be required to submit with that document. I have requested a quote from Spicer on pricing to act as the Prime Professional for that project when the time comes.

We signed a contract with Spicer to assist with the 2023 Spark Grant process to request funding for the Trailhead Restroom & Amenities Project.

The 2023 Ralph C. Wilson, Jr. – Trail Maintenance Grant #IG-202324346 was filed 5/12/23. The request is for the replacement of the Zukey Lake Footbridge, along with the addition of a bicycle repair pump and respite area. The bridge is located behind the old Carpet Depot building.

The 2023 AARP Challenge Grant – for the Senior/Community Center – Proposed sidewalks from Parking/Pickleball area to Outdoor Patio as well as relocation/expansion of community gardens was denied. All items proposed are needed regardless if we receive an award and will be included in the Master Design Plan being developed by Spicer.

2023 LCCOA – Senior/Community Center – Accessible Water fountain funding was received and improvement has been installed.

2023 Livingston County ARPA Funding – Senior/Community Center – Outdoor Patio ADA compliant access doors, new chairs for the building, new flooring, and moveable wall was applied for and approved in the amount of \$69,000. Improvements planned for the 23/24 FY.

**Ordinances**

Finalize Internal Policy & Procedure for Zoning & General Ordinance updates with new Zoning Administrator and staff.

Ordinances can be found at:

[https://library.municode.com/mi/hamburg\\_township\\_\(livingston\\_co.\)/codes/code\\_of\\_ordinances](https://library.municode.com/mi/hamburg_township_(livingston_co.)/codes/code_of_ordinances)

**Other projects:**

- Create Counter “Cheat Sheets” for all Township Coordinator functions ie:
- Organize and Scan all archive files into Docuware System
- Social Media
  - Policy Development and Handbook
  - Schedule FB Page posts a month out for all Township pages



June 13, 2023

To: Parks and Recreation Committee  
 From: Julie Eddings, Senior Program Director  
 Re: Senior Center Director's Report

**April Statistics:**

- Monthly Attendance: 2502
- Daily Average: 119
- Transportation Daily Average: 18
- Number of New Members: 19

**Upcoming Closures:**

- July 4 for Independence Day

**Programming:**

- Chair Massage on Mondays
- Sign Language Class on Tuesdays
- Chair Volleyball on Fridays
- Patio BBQ's on Friday, June 9 and June 23
- Card Making with Sharon on Tuesday, June 13
- Livingston County Catholic Charities Elder Abuse Triva on Wednesday, June 14
- Pampered Chef Fundraiser on Friday, June 16
- Brookdale Craft on June 21
- Spelling Bee on June 22
- Lunch Bunch to Red Balloon Saloon on June 28
- Bingo Blas on June 30
- Sock Hop Patio on July 7
- Identity Theft Talk with Catholic Charities on July 10
- AARP Smark Tek Driving Class on July 12
- Acrylic Paint Class on July 14
- Hamburg History Bus Tour on July 19
- Quarter Bingo on July 28
- Post Retirement Finance Presentation on August 16
- Kensington Boat Trip on August 24

**Other Information:**

- Senior Advisory Board Meeting will be held on July 12 at 10:00 am at the Senior Center.



## Hamburg Township Parks & Recreation

Hamburg Township Offices  
10405 Merrill Rd., P.O. Box 157  
Hamburg, MI 48139  
(810)222-1124  
www.hamburg.mi.us

### Hamburg Township Clean-Up Event 2023 Project Final Report

To: **Hamburg Township Board of Trustees**

From: **Township Coordinator**

Date: **June 8, 2023**

Re: **Hamburg Township Clean-Up Event – April 22, 2023**

This year's event took place on April 22, 2023, and held from 9 a.m. to 3 p.m. We had volunteers, as well as staff members present for the day, and the flow of traffic was steady even with the rain (and hail). I am happy to report that the event was a success and we hope to expand our offerings in 2024.

The Document Shredding portion of the event was a big hit and the vendor was amazing to work with. Residents really appreciated being able to watch their documents shredded on site and securely. Special thanks to Deputy Clerk Mary Kuzner for coordinating that effort!

#### Budget Breakdown (5,000, request was 6,000):

Item:	Cost
• Scrap Metal (Padnos donated dumpster & paid for metal)	<b>\$ -\$815.85</b>
• Rubbish (Monroe's)	
○ 5 - 30 yard for Garbage, Compost	Included
○ 1 - 20 yard for Tires	\$ 3,110.00
• On-Site Document Shredding – Electrocycle )	\$ 850.00
• Shirts for Volunteers (Have enough left for next year's event)	\$ N/A
• Water (3 cases donated by Advance Water)	\$ N/C
• Donuts/Lunch/Coffee/Ice for Volunteers	\$ 89.35
• Printing/Marketing/Social Posts	In House
<b>Sub-Total:</b>	<b>\$ 3,233.50</b>
<b>Payroll for Staff (B&amp;G, Clerk, Park, etc.)</b>	<b>\$ 904.28</b>
<b>Grand Total:</b>	<b>\$ 4,137.78</b>



These are some of the larger items we keep tabs on:

Clean Up Day Item Tally							
2018	2019	2020	2021	2022	2023	2024	Item
		None	None	2	1		Basketball Net
	5	None	None	4	3		Beds
9	7	None	None	2	7		Bicycles
	6	None	None	2	3		Coffee Tables
9	7	None	None	4	1		Couches
	8	None	None	5	4		Doors
	7	None	None	4			Dressers
		None	None	2			Drywall
	8	None	None	None	8		File Cabinets
		None	None	1			Fire Pit
7	10	None	None	4	8		Gas grills
3	3	None	None	None	2		Hot H2O/well tanks
	4	None	None	1			Humidifier
2		None	None	None	3		Ladders
6	5	None	None	3			Lawnmowers
31	19	None	None	8	6		Mattresses
		None	None	1	6		Microwave
		None	None	1			Mower Deck
	10	None	None	3			Office Chairs
		None	None	10			Patio Chairs
3	1	None	None	None			Pontoon boat seat sets
	3	None	None	None	3		Propane Tank
3	3	None	None	2			Refrigerators
		None	None	1			Snowmobile
	4	None	None	1			Stoves
		None	None	1			Surf Board
6	5	None	None	25	88		Tires (2023 - large truck tires)
		None	None	6	1		Toilets
	5	None	None	1	6		Treadmill
	5	None	None	1			Vacuums
4	3	None	None	4	3		Wash machines, dishwashers
	1	None	None	None	3		Well Pump
	2	None	None	5			Wheelbarrows

### Notes to consider:

**Next Year's event is proposed for: April 20, 2024**

- I recommend a **\$6,000** budget for a similar event in the 23/24 FY
- We may need more shirts to cover the volunteers for the 2024 Event
- More volunteers are needed in order to do clean-up in parks and on trail
- Supply bags work out great to hand to volunteers walking the trail, may need more
- Baseball's clean-up was the same day, they did better on directions
- Wayfinding signage directing traffic one way should be considered
- **Hazardous Waste Collection is recommended for 2024 Event**
- **Electronics Collection would be another recommendation, there were requests**

*New*

Item 8.

Possible Franchise Enactment Schedule  
REVOCABLE GAS FRANCHISE  
TOWNSHIP OF HAMBURG, LIVINGSTON COUNTY, MICHIGAN

First Meeting

Meeting of Township Board

Franchise Ordinance passed

Within 30 days

Publish complete franchise ordinance (in full)

ORDINANCE NO. \_\_\_\_\_

CONSUMERS ENERGY COMPANY GAS FRANCHISE ORDINANCE

AN ORDINANCE, granting to CONSUMERS ENERGY COMPANY, its successors and assigns, the right and authority to lay, maintain and commercially operate gas lines and facilities including but not limited to mains, pipes, services and on, under, along, and across public places including but not limited to highways, streets, alleys, bridges, and waterways, and to conduct a local gas business in the TOWNSHIP OF HAMBURG, LIVINGSTON COUNTY, MICHIGAN, for a period of thirty years.

THE TOWNSHIP OF HAMBURG ORDAINS:

SECTION 1. GRANT and TERM. The TOWNSHIP OF HAMBURG, LIVINGSTON COUNTY, MICHIGAN, hereby grants to Consumers Energy Company, its successors and assigns, hereinafter called "Consumers" the right and authority to lay, maintain and commercially operate gas lines and facilities including but not limited to mains, pipes, services and valves on, under, along, and across public places including but not limited to highways, streets, alleys, bridges, and waterways, and to conduct a local gas business in the TOWNSHIP OF HAMBURG, LIVINGSTON COUNTY, MICHIGAN, for a period of thirty years.

SECTION 2. CONDITIONS. No public place used by Consumers shall be obstructed longer than necessary during construction or repair, and shall be restored to the same order and condition as when work was commenced. All of Consumers' gas lines and related facilities shall be placed as not to unnecessarily interfere with the public's use of public places. Consumers shall have the right to trim or remove trees if necessary in the conducting of such business.

SECTION 3. HOLD HARMLESS. Consumers shall save the Township free and harmless from all loss, costs and expense to which it may be subject by reason of the negligent construction and maintenance of the lines and related facilities hereby authorized. In case any action is commenced against the Township on account of the permission herein given, Consumers shall, upon notice, defend the Township and its representatives and hold them harmless from all loss, costs and damage arising out of such negligent construction and maintenance.

SECTION 4. EXTENSIONS. Consumers shall construct and extend its gas distribution system within said Township, and shall furnish gas service to applicants residing therein in accordance with applicable laws, rules and regulations.

SECTION 5. FRANCHISE NOT EXCLUSIVE. The rights, power and authority herein granted, are not exclusive.

SECTION 6. RATES and CONDITIONS. Consumers shall be entitled to provide gas service to the inhabitants of the Township at the rates and pursuant to the conditions as approved by the Michigan Public Service Commission. Such rates and conditions shall be subject to review and change upon petition to the Michigan Public Service Commission.

SECTION 7. REVOCAION. The franchise granted by this ordinance is subject to revocation upon sixty (60) days written notice by either party. Upon revocation this ordinance shall be considered repealed and of no effect past, present or future.

SECTION 8. MICHIGAN PUBLIC SERVICE COMMISSION JURISDICTION. Consumers remains subject to the reasonable rules and regulations of the Michigan Public Service Commission applicable to gas service in the Township and those rules and regulations preempt any term of any ordinance of the Township to the contrary.

SECTION 9. REPEALER. This ordinance, when enacted, shall repeal and supersede the provisions of any previous Consumers' gas franchise ordinance adopted by the Township including any amendments.

SECTION 10. EFFECTIVE DATE. This ordinance shall take effect on \_\_\_\_\_.

We certify that the foregoing Franchise Ordinance was duly enacted by the Township Board of the TOWNSHIP OF HAMBURG, LIVINGSTON COUNTY, MICHIGAN, on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Patrick J. Hohl, Supervisor

Attest:

I, \_\_\_\_\_, Clerk of the TOWNSHIP OF HAMBURG, LIVINGSTON COUNTY, MICHIGAN, DO HEREBY CERTIFY that the ordinance granting Consumers Energy Company, a gas franchise, was properly adopted by the Township Board of the TOWNSHIP OF HAMBURG, LIVINGSTON COUNTY, MICHIGAN, and that all proceedings were regular and in accordance with all legal requirements.

\_\_\_\_\_  
Mike Dolan, Township Clerk

Dated: \_\_\_\_\_, 20\_\_

## Hamburg Township Ordinance Consumers Energy Company Gas Franchise Ordinance

An ordinance to amend Chapter 28 Street, Sidewalks and Other Public Places to add a new Article IV- Consumers Energy Franchise for granting to Consumers Energy Company, its successors and assigns, the right and authority to lay, maintain and commercially operate gas lines and facilities including but not limited to mains, pipes, services and on, under, along, and across public places including but not limited to highways, streets, alleys, bridges, and waterways, and to conduct a local gas business in the Township of Hamburg, Livingston County, Michigan, for a period of thirty years.

### THE TOWNSHIP OF HAMBURG ORDAINS

#### Section 1 of Ordinance

The Hamburg Township Code is amended by adding Section 28-80 through 28-89 in a new Article IV, Consumers Energy Franchise, of Chapter 28 Street, Sidewalks and Other Public Places to read as follows:

#### Article IV- Consumers Energy Franchise

##### Section+. -928-80. Grant And Term

The Township of Hamburg, Livingston County, Michigan, ("Township") hereby grants to Consumers Energy Company, its successors and assigns, {hereinafter called "ConsumersGrantee"} the right and authority to lay, maintain and commercially operate gas lines and facilities including but not limited to mains, pipes, services and valves on, under, along, and across public places including but not limited to highways, streets, alleys, bridges, and waterways, and to conduct a local gas business in the Township of Hamburg, Livingston County, Michigan, for a period of thirty years ('Franchise').

##### Section -2-: -928-81. Consideration

In consideration of the rights, power and authority hereby granted, Grantee shall faithfully perform all things required by the terms hereof.

##### Section28-82. Conditions

- .Q.,\_No public place used by Consumers Grantee shall be obstructed longer than necessary during construction, maintenance or repair, and unless weather or other factors outside of Grantee's control prevent it, shall be promptly restored within a reasonable time to the same order and condition as when work was commenced. If Grantee fails to complete required restoration within the time required, the Township may, after providing Grantee with a ten (10) business day written notice of the Township's intention to do so, perform

or secure performance of the required restoration, with the township's actual and reasonable administrative costs and expenses in doing so to be paid by Grantee to the Township within 60 days of the Township's billing or invoice.

b. Grantee shall comply with all current and future federal, state and local laws applicable to the installations and business for which this Franchise is granted. provided, however, that nothing herein shall be construed as a waiver by Grantee of any of its existing or future rights under state or federal law. Except for emergencies and service restoration work. Grantee shall not perform work without first securing any applicable governmental permits and approvals required for that work.

a-c. Except as necessary in an emergency or described by Grantee and approved by the Township as necessary in an application for and issuance of a permit to perform work. all of Grantee's gas lines and related facilities shall be placed in the highways and other public places so as not to interfere with the public's use of highways and other public places. Consumers Grantee shall have the right to trim or remove trees, if necessary, in the conducting of such business.

d. Grantee. at its own cost and expense, shall relocate or remove its installations in a public area for which this Franchise is granted, whenever such relocation or removal is required by a Township Board of Trustee's Resolution as being necessary for use of the public area for a public improvement in furtherance of a public purpose of the Township. This provision is not a waiver of Grantee's existing or future rights under state or federal law and does not restrict or impair Grantee's rights under any applicable laws regarding vacation or relocation of streets.

Section 3 4.0. 28-83 Hold Harmless

Consumers Grantee shall at all times keep and save the Township free and harmless from all loss, costs and expense to which it may be subject by reason of the negligent construction-af1tt repair. or maintenance of the lines and related facilities hereby authorized. In case any action is commenced against the Township on account of the permission herein given, Consumers Grantee shall, upon notice, defend the Township and its representatives and hold them harmless from all loss, costs and damage arising out of such negligent construction. repair. or aA€1-- maintenance.

Section-4--5-B28-84 .Extensions

Consumers Grantee shall construct and extend its gas distribution system within said Township, and shall furnish gas service to applicants residing therein in accordance with applicable laws, rules and regulations.

Section .s-&e28-85. Franchise Not Exclusive

The rights, power and authority herein granted, are not exclusive.

Section 6 -7:-G--28-86 Rates And Conditions

Consumers Grantee shall be entitled to provide gas service to the inhabitants of the Township at the rates and pursuant to the conditions as approved by the Michigan Public Service Commission. Such rates conditions shall be subject to review and change upon petition to the Michigan Public Service Commission.

Section 7- 28-87. Revocation

The franchise granted by this ordinance is subject to revocation upon sixty (60) days written notice by either party. Upon revocation this ordinance shall be considered repealed and of no effect past, present or future.

Section 8 -28-88 Michigan Public Service Commission Jurisdiction

Consumers Grantee shall, as to all other conditions and elements of service not herein fixed, remains subject to the reasonable rules and regulations of the Michigan Public Service Commission or its successors, applicable to gas service in the Township.! and those rules and regulations preempt any term of any ordinance of the Township to the contrary.

Section. 28-89 Sale, Assignment, And Transfer Of Franchise

Grantee shall not sell, assign, or transfer this Franchise without the written consent of the Township, which shall not be unreasonably withheld.

**Section 2 of Ordinance**

Section 9 Repealer. Prior Ordinance

This ordinance when enacted shall repeal and supersede the provisions of any previous Consumers' gas franchise ordinance adopted by the Township including any amendments intended to replace the franchise granted to Consumers Power Company as approved by the Township on October 20, 1993, including any amendments.

**Section 3 of Ordinance**

Section 12.0. Effective Date

This ordinance shall take effect on the Effective Date listed below as long as it is accepted by Grantee in writing. Upon acceptance and publication of this ordinance, it shall constitute a contract between the Township and Grantee.

CERTIFICATION

We-J certify that the foregoing Consumers Energy Franchise Ordinance was duly enacted by the Township Board of the Township of Hamburg, Livingston County, Michigan, on the \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Mike Dolan, Township Clerk

Dated: \_\_\_\_\_, 2023

Introduced:

Adopted:

Published:

Effective:



ORDINANCE NO. \_\_\_\_\_

CONSUMERS ENERGY COMPANY GAS FRANCHISE ORDINANCE

AN ORDINANCE, granting to CONSUMERS ENERGY COMPANY, its successors and assigns, the right and authority to lay, maintain and commercially operate gas lines and facilities including but not limited to mains, pipes, services and on, under, along, and across public places including but not limited to highways, streets, alleys, bridges, and waterways, and to conduct a local gas business in the TOWNSHIP OF HAMBURG, LIVINGSTON COUNTY, MICHIGAN, for a period of thirty years.

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SECTION 2. CONDITIONS. No public place used by Consumers shall be obstructed longer than necessary during construction or repair, and shall be restored to the same order and condition as when work was commenced. All of Consumers' gas lines and related facilities shall be placed as not to unnecessarily interfere with the public's use of public places. Consumers shall have the right to trim or remove trees if necessary in the conducting of such business.

SECTION 3. HOLD HARMLESS. Consumers shall save the Township free and harmless from all loss, costs and expense to which it may be subject by reason of the negligent construction and maintenance of the lines and related facilities hereby authorized. In case any action is commenced against the Township on account of the permission herein given, Consumers shall, upon notice, defend the Township and its representatives and hold them harmless from all loss, costs and damage arising out of such negligent construction and maintenance.

SECTION 4. EXTENSIONS. Consumers shall construct and extend its gas distribution system within said Township, and shall furnish gas service to applicants residing therein in accordance with applicable laws, rules and regulations.

SECTION 5. FRANCHISE NOT EXCLUSIVE. The rights, power and authority herein granted, are not exclusive.

SECTION 6. RATES and CONDITIONS. Consumers shall be entitled to provide gas service to the inhabitants of the Township at the rates and pursuant to the conditions as approved by the Michigan Public Service Commission. Such rates and conditions shall be subject to review and change upon petition to the Michigan Public Service Commission.

SECTION 7. REVOCATION. The franchise granted by this ordinance is subject to revocation upon sixty (60) days written notice by either party. Upon revocation this ordinance shall be considered repealed and of no effect past, present or future.

SECTION 8. MICHIGAN PUBLIC SERVICE COMMISSION JURISDICTION. Consumers remains subject to the reasonable rules and regulations of the Michigan Public Service Commission applicable to gas service in the Township and those rules and regulations preempt any term of any ordinance of the Township to the contrary.

SECTION 9. REPEALER. This ordinance, when enacted, shall repeal and supersede the provisions of any previous Consumers' gas franchise ordinance adopted by the Township including any amendments.

SECTION 10. EFFECTIVE DATE. This ordinance shall take effect on \_\_\_\_\_.

We certify that the foregoing Franchise Ordinance was duly enacted by the Township Board of the TOWNSHIP OF HAMBURG, LIVINGSTON COUNTY, MICHIGAN, on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Patrick J. Hohl, Supervisor

Attest:

I, \_\_\_\_\_, Clerk of the TOWNSHIP OF HAMBURG, LIVINGSTON COUNTY, MICHIGAN, DO HEREBY CERTIFY that the ordinance granting Consumers Energy Company, a gas franchise, was properly adopted by the Township Board of the TOWNSHIP OF HAMBURG, LIVINGSTON COUNTY, MICHIGAN, and that all proceedings were regular and in accordance with all legal requirements.

\_\_\_\_\_  
Mike Dolan, Township Clerk

Dated: \_\_\_\_\_, 20\_\_

Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

To: Township Board

From: Amy Steffens, AICP

Date: July 6, 2023

RE: **Preliminary Site Plan Review (SPA 23-0001)** for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River at 6716 Winans Lake Road (TID 4715-14-400-008 and 4715-23-100-002).

**PROJECT HISTORY:**

Site plan review application to allow for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River. The site improvements would be phased as discussed below.

The subject sites (4715-14-400-008 and 4715-23-100-002) total 92 acres on the south side of Winans Lake Road and north of the Huron River. The site is vacant of residential development but has been used historically for agricultural purposes.

At the April 19, 2023 Planning Commission meeting, the Commission recommended approval of a zoning map amendment for the portion of the site zoned Waterfront Residential to the Public and Private Recreational Facilities (PPRF) zoning district; the map amendment took effect on June 19, 2023. The portion of the site along Huron River remains in the Natural Rivers (NR) district.

Additionally, at the April 19 meeting, the Commission approved the special use permit (SUP 23-003) to permit a private campground and lodge with associated private outdoor recreational areas and indoor recreational buildings for military veterans and their families dedicated and designed for veterans and their families for relaxation and reflection with the following conditions:

Condition 1: The Special Use Permit for the private camp use is only valid with approval of a final site plan from Hamburg Township.

Condition 2: Prior to issuance of a land use permit a driveway permit from the Livingston County Road Commission will be required.

Condition 3: Prior to issuance of a land use permit all approvals from the Livingston County Health Department will be required.

Condition 4: A landscaping buffer, which may include a berm, shall be provided along the north, east, and west property boundaries.

Condition 5: The docks on the Huron River shall be reoriented, sized, and reduced in number to meet the Ordinance requirements.

Condition 6: No public use of the docks shall be permitted.

Condition 7: All required state permits shall be obtained prior to the installation of any docks in the Huron River.

Condition 8: The special land use permit for the private camp use shall be null and void unless a land use permit for the private camp use on the site is granted within one year from the date of this approval.

Condition 9: No lighting or amplification will be permitted on this site.

Condition 10: Special event usage to be coordinated with Township public safety committee.

At the June 21, 2023 Planning Commission meeting, the preliminary site plan was reviewed. Staff reviewed the zoning ordinance requirements; the project conforms to the PPRF and Natural Rivers district requirements for setbacks. There are no landscaping requirements specific to the PPRF district but staff made landscaping suggestions for the Winans Lake Road frontage, as well as the east, west, and south boundaries that are adjacent to residentially-zoned districts; the June 21 staff report is attached and includes discussion of and suggested landscaping. Lighting, parking, and signage are also discussed in the attached staff report.

After taking testimony from staff and the applicant, the Commission recommended approval of the preliminary site plan with the following conditions. No correspondence or comment was received from residents or the public on this project.

1. Prior to issuance of a land use permit the applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted.
2. All lighting shall be turned off between 11:00 PM and Sunrise. Lighting used for security between 11:00 pm and sunrise shall be controlled by a motion sensor.
3. Prior to issuance of a land use permit the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Engineering and Public Works Departments, Livingston County Drain Commissioner, Livingston County Road Commission, and Health Department.
4. All signage shall conform to Article XIII, Signs, and land use permits shall be issued prior to installation of signage.
5. No electronic display sign shall be permitted.
6. Any earth work that has a direct impact to the wetlands may be subject to a Part 303 EGLE permit and such permit shall be obtained prior to site work.
7. A vegetative berm shall be provided along the length of the west and southwest property boundaries that abut a single-family residential dwelling as shown on the site plan.
8. A buffer zone, which may include a berm, along Winans Lake Road shall be installed, with a concentration of vegetation at the entrance.
9. A vegetative screen, which may include a berm, shall be installed along the northern 1,200 linear feet of the east property boundary. Native species shall be planted on the top of the berm.

10. The docks on the Huron River shall be sized to meet the Ordinance requirements.
11. No public use of the docks shall be permitted.
12. All required state permits shall be obtained prior to the installation of any docks in the Huron River or Gut Lake.
13. Upon final approval of the site plan, construction or expansion of any permitted or special use shall conform to the site plan. The approval by the planning commission and Township Board of a site plan shall expire within one year after the date of such approval, unless a land use permit has been issued and construction has commenced.
14. No sound amplification will be permitted on this site.
15. Special event usage to be coordinated with Township public safety committee.

**RECOMMENDATION:**

Staff suggests that the Township Board discuss and review the June 21, 2023 Planning Commission Staff report, the recommendations by the Hamburg Township Planning Commission and the proposed project plans and application materials. The Board should make a determination on the final site plan in terms of its own judgment on particular factors related to the individual proposal. The Board should make a determination if the project meets the site plan review standards A-L in Section 36-73 (7).

Example Approval Motion

The Township Board approves the **Preliminary Site Plan Review (SPA 23-0003)** for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River at 6716 Winans Lake Road (TID 4715-14-400-008 and 4715-23-100-002) because with conditions one through 15, inclusive, the project does meet the site plan review standards A through L of Section 36-73(7) of the Zoning Ordinance as discussed at the July 6, 2023 Township Board meeting, at the June 21, 2023 Planning Commission meeting, and as presented in this staff report.

**ATTACHMENTS:**

- June 21, 2023 Planning Commission staff report and exhibits
- Draft June 21, 2023 Planning Commission meeting minutes

PHONE: 810-231-1000  
FAX: 810-231-4295



P.O. Box 157  
10405 Merrill Road  
Hamburg, Michigan 48139-0157

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**To:** Planning Commissioners

**From:** Amy Steffens, AICP  
Planning and Zoning Director

**Date:** June 21, 2023

**Project address and Description:** **Site Plan Review (SPA 23-0001)** for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River at 6716 Winans Lake Road (TID 4715-14-400-008 and 4715-23-100-002).

**Owner:** Freedom River

**Applicant:** Freedom River

**Agent:** Wade Trim



## **PROJECT HISTORY**

At the April 19, 2023 Planning Commission meeting, the Commission recommended approval of a zoning map amendment for the portion of the site zoned Waterfront Residential to the Public and Private Recreational Facilities (PPRF) zoning district; the map amendment will take effect on June 19, 2023. The portion of the site along Huron River remains in the Natural Rivers (NR) district.

Additionally, at the April 19 meeting, the Commission approved the special use permit (SUP 23-003) to permit a private campground and lodge with associated private outdoor recreational areas and indoor recreational buildings for military veterans and their families dedicated and designed for veterans and their families for relaxation and reflection with the following conditions:

**Condition 1:** The Special Use Permit for the private camp use is only valid with approval of a final site plan from Hamburg Township.

**Condition 2:** Prior to issuance of a land use permit a driveway permit from the Livingston County Road Commission will be required.

**Condition 3:** Prior to issuance of a land use permit all approvals from the Livingston County Health Department will be required.

**Condition 4:** A landscaping buffer, which may include a berm, shall be provided along the north, east, and west property boundaries.

**Condition 5:** The docks on the Huron River shall be reoriented, sized, and reduced in number to meet the Ordinance requirements.

**Condition 6:** No public use of the docks shall be permitted.

**Condition 7:** All required state permits shall be obtained prior to the installation of any docks in the Huron River.

**Condition 8:** The special land use permit for the private camp use shall be null and void unless a land use permit for the private camp use on the site is granted within one year from the date of this approval.

**Condition 9:** No lighting or amplification will be permitted on this site.

**Condition 10:** Special event usage to be coordinated with Township public safety committee.

## **PROJECT DESCRIPTION**

Site plan review application to allow for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River. The site improvements would be phased as discussed below.

The subject sites (4715-14-400-008 and 4715-23-100-002) total 92 acres on the south side of Winans Lake Road and north of the Huron River. The site is vacant of residential development but has been used historically for agricultural purposes.

Table 1: Subject Site	Current Zoning Classification	Current Use of Property	Future Land Use Designation
	PPRF/NR	Vacant residential / agricultural	Medium density residential
North	RA—medium density residential	Single-family residential	Medium density residential
South	NR—Natural Rivers	Vacant / single-family residential	Natural river residential
East	RA	Single-family residential	Medium density residential
West	WFR—medium density residential	Single-family residential	Medium density residential

Phase 1 of the project includes demolition of existing structures and foundations in the northeast corner of the site and construction of sanitary utilities and access drives throughout entire site. Additional amenities planned for Phase 1 include: 29 RV spots, two bathhouses, two volleyball courts, one soccer field, two baseball fields, four pickleball courts, two basketball courts, various 1,500-square foot shelters around the site, 7,200-square foot pole barn, and multiple parking areas throughout the site that will provide 118 parking spots. The applicant is proposing to maintain the access roads throughout the site as gravel; Section 36-330, Off-street parking, of the Ordinance would require the parking areas to be hard-surfaced unless granted a waiver by the Planning Commission. The Planning Commission could also require the access drives to be hard-surfaced.

Phase 2 of the project would include a tent camping area adjacent to Gut Lake, additional covered shelters, and fire pits. Phase 3 would include construction of 26 family cabins, a 4,800-square foot lodge with additional parking. Finally, Phase 4 would include a 1,613-square foot Gold Star Family cabin, fire pit, parking area, and a 1,643-square foot chapel. Future plans include a potential memorial plaza, equestrian bar, and service dog training area.

The project plans, building elevations, floorplans and sign plans are attached to this report for the Planning Commissions review.

**Table 1**  
**Development Review Compliance Table**

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<b>SETBACKS:</b>			
<b>PPRF</b>			
Front Yard	100 feet	100 feet	Conforms
Rear Yard	100 feet	160 feet	Conforms
Minimum Side	50 feet	190/284 feet	Conforms
<b>Natural River</b>			
Ordinary High Water Mark	125 feet	130 feet	Conforms



<b>Criteria/Regulation</b>	<b>Required by Regulations</b>	<b>Proposed Project</b>	<b>Status</b>
<b>Private Campground (36-185)</b>	200 feet from residential district	200 feet	Conforms
	100 feet from wetland	100 feet	Conforms
<b>NUMBER OF STORIES/ HEIGHT</b>	2.5 story/ 35 feet	2 story/ 26 feet	Conforms
<b>LOT SIZE:</b>	40 acres	Approximately 92 acres	Conforms

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p><b>SUGGESTED LANDSCAPING:</b></p> <p><b>North greenbelt:</b> A 20 foot-wide greenbelt along the Winans Lake right-of-way planted with equivalent of one canopy tree and four shrubs, rounded upwards, for every 40 linear feet of frontage planted with the greenbelt.</p> <p><b>West, east, and south buffer:</b> A 20-foot wide buffer zone to include a six-foot high continuous wall or required berm and 1 canopy tree, 1 evergreen tree, and 4 shrubs per each 30 linear feet along the property line.</p> <p><b>Parking lot landscaping:</b> In all commercial and multiple family districts, one canopy tree shall be required for each 2,000 square feet of paved driveway and parking lot surface, provided that in no case less than two trees provided.</p>	<p>46 canopy trees; 184 shrubs</p> <p>West: 45 canopy, 45 evergreen, 180 shrubs</p> <p>East: 44 canopy, 44 evergreen, 174 shrubs</p> <p>South: 44 canopy, 44 evergreen, 174 shrubs</p> <p>The applicant should provide a hard-surfaced parking area calculation and number of trees that would meet this requirement.</p>	<p>No landscaping plan submitted.</p> <p>A berm is proposed along the west property boundary but no details have been provided.</p>	

**Sec. 36-280. Existing plant material.**

(a) *Consideration of existing elements in the landscape design.* In instances where healthy plant material exists on a site prior to its development, the planning commission may permit substitution of such plant material in place of the requirements set forth in this section.

Criteria/Regulation	Required by Regulations	Proposed Project	Status
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**Staff Analysis:**

No landscaping plan was submitted. Because of the existing single-family dwellings to the west and east, staff would suggest that the Planning Commission require a berm with landscaping along the west and east property boundaries. The applicant could show what existing vegetative material is being preserved along the west and east.

A landscaped greenbelt along Winans Lake Road should be provided per the landscaping standards as shown in the above table. The greenbelt would provide screening from the use to the residential district to the north and from Winans Lake Road.

Additionally, parking lot landscaping should be considered to help break up the visual appearance of the parking areas, although those parking areas are likely to be visible only from internal to the site.

<b>LIGHTING:</b>			
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**Section 36-295:**

- 1. **Exterior lighting shall be fully shielded and directed downward toward the Earths surface, away from residential uses, roads, glass, water or other reflective materials which would create excessive off-site glare or incident rays.**

No lighting plan was submitted. It is staff’s understanding that the sports fields will not be lit but that low-level lighting will be installed in the camping areas.

**Staff Suggestion Condition:** A photometric plan shall be submitted for final site plan approval that conforms to the township lighting requirements.

- 2. **The Zoning Administrator and/or Planning Commission may approve decorative light fixtures as an alternative to shielded fixtures when it can be proven that there will be no off-site glare and the proposed fixtures will improve the appearance of the site.**

No lighting details have been submitted.

- 3. **Lights on poles shall not be taller than the building whose area they illuminate nor taller than fifteen (15) feet whichever is shorter. Lights on poles may exceed fifteen (15) feet up to twenty (20) feet if the fixtures are located a minimum of seventy-five (75) feet from any planned, zoned or used residential areas.**

No lighting details have been submitted.

- 4. **Lighting shall not be of a flashing, moving or intermittent type.**

No lighting details have been submitted.

- 5. **Except where used for security purposes, all outdoor lighting fixtures, existing or hereafter installed and maintained shall be turned off between 11:00 p.m. and sunrise, except when used for commercial and industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business. Businesses with light fixtures used for security purposes are encouraged to use a motion**

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p><b>detection device which is directed to detect motion within the property.</b></p> <p><b>Staff Suggested Condition:</b> All lighting shall be turned off between 11:00 PM and Sunrise except when used for commercial and industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business. Lighting used for security between 11:00 pm and sunrise shall be controlled by a motion sensor.</p> <p><b>6. Any light fixture must be placed in such a manner that no light emitting surface is visible from any residential area or public/private roadway, walkway, trail or other public way when viewed at ground level.</b> See above.</p> <p><b>7. The intensity of light within a site shall not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted. The only exception is with gas station canopy and automobile dealership lighting, where a maximum of twenty (20) footcandles is permitted within the site but the above standards shall apply to intensity at the property line.</b> See standard number one.</p>			
<p><b>PARKING:</b> Per EGLE Public Health Code Act 368 of 1978 vehicles parking equal to a minimum of 1.5 times the number of sites in a campground:</p> <p style="text-align: center;">RV sites Cabins Tents Total</p>	<p style="text-align: center;"><math>27 \times 1.5 = 41</math> <math>27 \times 1.5 = 41</math> <math>20 \times 1.5 = 30</math> 112</p>	<p style="text-align: center;">201 regular spaces provided; 19 barrier free spaces provided</p> <p style="text-align: center;">220 spaces total provides</p>	<p style="text-align: center;">Conforms</p>
<p><b>Staff analysis:</b> The Zoning Ordinance does not have parking requirements specific to the proposed use. However, the applicant has provided the above parking standards per the Public Health Code Act 368 of 1978. The 220 provided parking spaces exceeds the standards set forth by the Public Health Code and appears to be more than adequate for the array of proposed uses.</p>			
<p><b>Sec. 36-330 Off-street Parking</b></p> <p>(a) Off-street parking for residential uses shall be located on the same lot or parcel as the residence they are intended to serve.</p> <p>(b) Off-street parking for nonresidential uses shall be located on the same lot or</p>			<p style="text-align: center;">N/A</p>

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p>parcel or within 300 feet of the building it is intended to serve provided the provisions of section 36-331 are met.</p>			Conforms
<p>(c) A minimum area of 200 square feet shall be provided for each vehicle parking space and each space shall be designated and reserved for parking.</p>			Conforms
<p>(d) A suitable means of ingress and egress shall be provided and located to minimize traffic congestion and interference with pedestrian movement. The location of all entrances and exits and directional signs, shall be approved by the planning commission, and where required by the county road commission and the Michigan Department of Transportation.</p>			Conforms
<p>(e) Parking areas with a capacity of four or more vehicles shall be hard-surfaced (either concrete, bituminous asphalt or other stabilized engineered surface) prior to occupancy and shall provide adequate drainage facilities to dispose of all collected surface water. The requirement for paving may be waived by the planning commission through subsection (h) of this section.</p>			See paragraph h below.
<p>(f) Except for single-family residential lots, lighting shall be provided for use when a parking area is in operation. The installation of such lighting shall be hooded or shielded as to reflect the light away from abutting or neighboring property.</p>			No lighting proposed
<p>(g) When required off-street parking in a nonresidential district abuts a residential district, there shall be located a landscaped buffer strip 15 feet wide and parallel to the mutual boundary. The buffer strip shall be composed of trees and/or foliage. In lieu of a buffer strip, the planning commission may permit or require a solid fence or wall between six and eight feet in height shall be located along the mutual boundary.</p>			See landscaping discussion
<p>(h) Federal and state requirements regarding handicapped parking and access shall apply. Where the planning commission determines that a gravel off-street parking lot or loading area would be preferable to hard surface paving for environmental and drainage reasons, a gravel parking lot and/or loading area may be permitted. This determination will be based upon the following criteria:</p>			ADA requirements will be reviewed by LCBD. It is staff's understanding that ADA accessible parking spaces must be hard surfaced.
<p>(1) The types of uses to be conducted in the storage area;</p>			
<p>(2) The types and amounts of hazardous materials to be used at the site;</p>			
<p>(3) The extent of natural vegetation to filter dust generated by a gravel parking or loading area;</p>			
<p>(4) The existence of adjacent uses which may be impacted by dust generated by a gravel parking or loading area;</p>			
<p>(5) Existing hydrologic and ecologic features such as adjacent wetland complexes which may be better protected by the reduced runoff resulting from</p>			

Criteria/Regulation	Required by Regulations	Proposed Project	Status
gravel parking or loading area; (6) Existing soil permeability sufficient to provide desired infiltration; (7) The potential for, or ability to minimize, erosion and sedimentation from a gravel parking or loading area.			
<p><b>Staff analysis:</b> The Commission may grant a waiver to the hard-surfaced parking area per the standards of paragraph h. The township engineer reviewed the site plan with the understanding that the internal access drives would be hard-surfaced, but verbally indicated to staff that gravel access drives would not change the review and would make stormwater management easier due to less hard-surfaced area. The Commission should review the parking area surface waiver in terms of the overall site plan and expected impact to the natural features of the site and the adjacent residential uses.</p>			
<p><b>SIGNS</b> The following Zoning Ordinance requirements would apply to signs for this property.</p> <p><b>Sec. 36-473. - Exempt signs.</b>            (a.) A sign is exempt from the provisions of this article if it is not visible from a street, other public place, or an adjacent property. Exempt signs include, but are not limited to, signs placed inside a structure or building that are not visible or legible through windows or building openings.</p> <p><b>Sec. 36-476. Signs permitted in residential districts (CE, RAA, RA, RB, RC, WFR, NR, MHP, OH, PPRF, and VR)</b>            (b.) Nonresidential sign. One freestanding monument and one wall-sign are allowed on lots with nonresidential uses other than home occupations. The freestanding sign shall not exceed 20 square feet in area. The wall sign shall not exceed one square foot for every two linear feet of building frontage, or 100 square feet, whichever is less.            (d.) A sign or similar notice is allowed for every 150 feet along the property line of a lot, provided that each sign is no more than two square feet in area, is posted no higher than four feet above grade and is located entirely upon private property. These signs shall not be within 150 feet of another sign and are allowed on vacant sites.            (e.) Permanent signs in the residential zoning districts may be illuminated if they are located along one of the following roads: Bishop Lake Road, Chilson Road, Hamburg Road, M-36, McGregor Road, Pettysville Road, Strawberry Lake Road, Whitewood Road, and Winans Lake Road.            (f.) Permanent signs in residential zoning districts may be electronic display signs with approval of a special use permit under section 36-36, along one of the following roads: Bishop Lake Road, Chilson Road, Hamburg Road, M-36, McGregor Road, Pettysville Road, Strawberry Lake Road, Whitewood Road, and Winans Lake Road.</p> <p><b>Sec. 36-472 General conditions and design criteria.</b>            (t.) Sign illumination. In this article where signs are allowed to be illuminated the following is required:</p>			

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p>(1) Timer controls. Illuminated signs shall be equipped with a functional timer control. Signs shall not be illuminated after 10:00 p.m. or one-half hour after the use of the site ends for the day, whichever is later, nor before 6:00 a.m. or one-half hour before the beginning of the use of the site for the day, whichever is earlier.</p> <p>(2) Backlighting. Signs with internal illumination shall have the lettering and graphics in a lighter color than the background to the maximum extent practical.</p> <p>(3) Frequency. On signs with messages that change, they may change no faster than once every ten seconds.</p> <p>(4) Flashing and animation. Flashing or animated affects are not allowed, including, but not limited to, scrolling, fading in, video clips, moving characters or lettering.</p> <p>(5) Illumination used to attract business is only permitted as allowed above. All other illumination to attract business is not allowed except through section 36-479. (Examples: spot or search lights, lights strips around windows and doors, etc.)</p>			
<p><b>Staff Analysis:</b>            A freestanding monument sign, not more than six feet tall on a 24-inch base, with a maximum area of 20 square feet per sign face would be permitted. Permanent signs shall not be located within ten feet of the front property boundary, per Section 36-472. It appears that the sign would be located approximately five feet from the property boundary. No sign elevations or lighting details have been provided.</p> <p><b>Staff Suggested Conditions:</b>            All signage shall conform to Article XIII, Signs, and land use permits shall be issued prior to installation of signage.</p> <p>No electronic display sign shall be permitted.</p>			

**SITE PLAN REVIEW STANDARDS**

- In the review of all site plans, the Zoning Administrator and the Planning Commission shall endeavor to assure the following:**
- A. The proposed development conforms to all provisions of the Zoning Ordinances.**  
 Please see the development review compliance tables for analysis on the project compliance and consistency with the intent and purpose of the Township’s Zoning Ordinance.

A dock on Huron River may not exceed six feet in width or 20 feet in length. The dock on the river appears to be longer than 20 feet and should be reduced in size; there is no prohibition to having more than one dock so long as no more than three boats are moored. A facility that moors four or more boats is considered by both the Zoning Ordinance and the State of Michigan as a marina.

With staff's suggested conditions, staff believes the proposed development will conform to all the provisions of the Zoning Ordinance.

**B. All required information has been provided.**

The information submitted appears to be adequate to allow the Planning Commission to review the preliminary site plan for the subject site.

**C. The movement of vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.**

Kim Hiller from the Livingston County Road Commission indicated that *Mike and I have reviewed the left-turn lane analysis submitted yesterday and find it acceptable. When a commercial approach permit is issued, a condition of the permit will be that if the site is more successful than predicted or if it opens to the public in the future, a review of the traffic impacts and improvements to Winans Lake Road may be required.*

There are no sidewalks along this portion of Winans Lake Road and it is not expected, due to its intended use as a private campground for veterans, that pedestrian traffic will be coming from off-site. The layout of the internal access drives appears to provide safe and orderly movement through the site and is designed as a typical private campground use.

**D. The proposed development will be harmonious with existing and future uses in the immediate area and the community.**

The proposed development will provide for a private campground dedicated to military veterans and their families. The more impactful uses in terms of noise, those being the sports fields, are all located internally to the site and are not likely to be a nuisance to adjoining properties. The campground uses are all located outside of the required 200-foot setback required by Section 36-185. The Master Plan calls for residential uses to the north, south, east, and west, and staff finds that the proposed site design is compatible with residential uses.

**E. The proposed development provides the necessary infrastructure improvements, such as roads, drainage, pedestrian facilities and utilities, to serve the site, and be adequately coordinated with the current and future use of adjacent properties.**

This site, zoned PPRF, is likely to remain as a stand-alone development (i.e. not tied into an adjacent residential development) and thus the site infrastructure has been designed to accommodate the proposed campground use. Any use other than what was approved via the special use permit would require additional Planning Commission review and approval. Stormwater will be managed on-site, access is



from existing Winans Lake Road, and sanitary requirements will be addressed by the Livingston County Health Department and Hamburg Township. There is no proposed extension of water service from the south and existing sanitary sewer lines along Winans Lake Road will be utilized.

**F. The applicable requirements of Township, County and State agencies are met regarding grading and surface drainage and for the design and construction of storm sewers, storm water holding facilities, water mains, and sanitary sewers.**

As of this writing, the site plan is under review by the Fire Marshal, Utilities Department, Livingston County Road Commission, and the Livingston County Health Department. Prior to issuance of a building permit the applicant will need approvals from all the required local, state, and federal agencies.

**G. Natural resources will be preserved to the maximum extent possible in the site design by developing in a manner which will not detrimentally affect or destroy natural features such as lakes, ponds, streams, wetlands, steep slopes, and woodlands.**

According to the natural features impact statement, there are wetlands areas around Gut Lake and adjacent to Huron River, as well as a pocket of wetlands in the central portion of the subject site. The grading plan indicates that no grading of the wetlands will be necessary. *Any earth work that has a direct impact to the wetlands may be subject to a Part 303 EGLE permit.*

A permanent dock in either Gut Lake or the Huron River would require a State of Michigan permit.

**H. The proposed development shall respect the natural topography to the maximum extent possible by minimizing the amount of cutting, filling, and grading required.**

The site plan does indicate that a stand of trees in the central portion of the site will be removed. See paragraph G above.

**I. The proposed development will not cause soil erosion or sedimentation.**

The LCDC will review and issue a soil erosion or sedimentation control permit prior to issuance of a building permit.

**J. Landscaping, including trees, shrubs and other vegetative material is provided to maintain, improve and/or restore the aesthetic quality of the site.**

While there is an existing heavy vegetative screen along the west property boundary, it appears to be scrub material. The applicants are proposing a berm along the west and southwest boundaries but no additional landscaping is proposed along the north and east boundaries.

**Staff suggested conditions:**

A vegetative berm shall be provided along the length of the west and southwest property boundaries that abut a single-family residential dwelling.

A buffer zone, which may include a buffer, along Winans Lake Road shall be installed.

A vegetative screen, which may include a berm, shall be installed along the northern 1,200 linear feet of the east property boundary.

**K. Conformance to the adopted Hamburg Township Engineering and Design Standards.**

The engineer has reviewed the plans for compliance with the Engineering and Design Standard and provided comment attached to this report.

**L. All proposed commercial, office, industrial, institutional and multiple family development shall utilize quality architecture to ensure that buildings are compatible with surrounding uses, protect the investment of adjacent landowners, blend harmoniously into the streetscape and meet the objectives the Township Master Plan. New buildings, additions and renovations shall be designed to preserve or complement the design character of existing development provide visual harmony between old and new buildings, and create a positive image for the Township's various commercial shopping nodes. Commercial, office, industrial, institutional and multiple family architecture shall be reviewed by the Planning Commission under the following criteria:**

1. **Buildings shall front towards and relate to the public street. Buildings shall be located to create a define streetscape through uniform setbacks and proper relationship to adjacent structures. Proper relationship to existing structures in the area shall be maintained through building mass, proportion, scale, roof line shapes and rhythm. Buildings within the area designated on the M-36 Corridor Plan/Master Plan as the "Hamburg Village" shall be compatible with the historic character of the unincorporated place commonly referred to as the "Old Hamburg Village."**
2. **Building materials and colors shall relate well and be harmonious with the surrounding area. Roof shape and materials shall be architecturally compatible with adjacent buildings and enhance the predominant streetscape. For any side of a principal building facing a public or private street, at least fifty percent (50%) of the facade shall be constructed of, or covered with, the following materials:**
  - a. **Brick;**
  - b. **Fluted or scored concrete block;**
  - c. **Cut stone;**
  - d. **Vinyl siding;**
  - e. **Wood siding;**
  - f. **Glass; or,**
  - g. **Other materials similar to the above as determined by the Planning Commission.**

3. **Buildings shall possess architectural variety, but enhance the overall cohesive community character. Buildings shall provide architectural features, details and ornaments such as archways, colonnades, towers, cornices or peaked roof lines.**
4. **Building walls over 100 feet in length shall be broken up with a combination of the following: varying building lines, windows, architectural accents and trees.**
5. **Building entrances shall utilize windows, canopies and awnings; provide unity of scale, texture, and color; and provide a sense of place.**
6. **Where the rear facade of a building will be visible from a residential zoning district, or the rear of the site will be used for public access or parking, such rear facade shall be constructed to a finished quality comparable to the front facade.**
7. **Signs, landscaping, lighting and other site elements shall be coordinated and compatible with the building design, as well as harmonious with other nearby developments. Developments shall provide site features such as decorative entry signs, ornamental lighting, pedestrian plazas and/or pedestrian furniture.**

**Staff Analysis:**

The proposed elevations are attached to the staff report for the Commission's review. Staff believes that the proposed materials, sizes, scale, colors, and height are fitting for both a private campground and to the surrounding residential districts. No elevations of the shelters or bath houses were submitted; the applicant's engineer indicated that the shelters would be open-sided shelters typically used in public parks and the bath houses would be split-faced block or similar.

**Sec. 36-185. Schedule of use regulations—PPRF Public and Private Recreational Facilities District.**

The following standards apply to the special uses of private outdoor recreational and indoor recreational buildings and private campgrounds. Staff comment is in red.

*(1) Private outdoor recreational areas and indoor recreational buildings, such as: recreational fields, rinks or courts, including football, baseball, batting cages, soccer, tennis, basketball, ice skating, swimming pools, animal racing and similar activities, and uses accessory to the above uses, such as refreshment stands, maintenance buildings, office for management functions, spectator seating, restrooms, and service areas. Such uses shall be subject to the following:*

- a. *The site size shall be adequate to accommodate the intended uses, parking, and extensive buffer areas without significant impact on nearby properties in terms of noise, traffic, lighting glare, views, odors, trespassing, dust blowing debris, as determined by the planning commission. The applicant shall provide documentation the site size is adequate using national facility standards.*
- b. *All ingress and egress shall be along a county road.* **Conforms**
- c. *No building shall be located within 100 feet of a property line.* **Conforms. Closest building is**

*d. All buildings shall be setback 100 feet from the edge of any wetland or the shoreline of any lake, pond, river or stream. Conforms*

*(2) Public or private campgrounds and lodges, including campgrounds for travel trailers, tent-campers, motor homes, tents, and cabins, subject to the following conditions:*

*a. Minimum lot size shall be 40 acres. Conforms. Lot size is 92 acres.*

*b. All ingress and egress shall be along a county road. Conforms. Winans Lake Road is a county road.*

*c. Development features including the principal and accessory buildings and structures shall be located and related to minimize adverse effects on adjacent properties. Minimum setbacks for any buildings, structures or use areas shall be 200 feet from any property line abutting a residential district. Conforms*

*d. All buildings shall be setback 100 feet from the edge of any wetland or the shoreline of any lake, pond, river or stream. Conforms*

*e. Each campsite shall be at least 2,000 square feet in size. Conforms.*

*f. Each camp site shall be provided with water and sanitary service approved by the health department or have convenient access to approved service buildings. Livingston County Health Department and Hamburg Township must approve sanitary services prior to issuance of permits.*

#### **RECOMMENDATIONS:**

Staff recommend the Planning Commission review, discuss and make a recommendation to the Township Board to either approval or denial of the preliminary Site Plan Application (PSPA23-0001) or table the application and request any additional information deemed necessary for review.

#### Site Plan Review 23-0001 Draft Approval Motion:

The Planning Commission recommends approval of the preliminary **Site Plan Review (SPA 23-0001)** for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River at 6716 Winans Lake Road (TID 4715-14-400-008 and 4715-23-100-002).

The Planning Commission approves the parking surface waiver for (please state the specific parking areas for which a waiver is granted) because it meets the standards set forth in Section 36-330 (h).

#### Conditions:

1. Prior to issuance of a land use permit the applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site

- whereby a maximum of 0.5 footcandles is permitted.
2. All lighting shall be turned off between 11:00 PM and Sunrise except when used for commercial and industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business. Lighting used for security between 11:00 pm and sunrise shall be controlled by a motion sensor.
  3. Prior to issuance of a land use permit the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Engineering and Public Works Departments, Livingston County Drain Commissioner, Livingston County Road Commission, and Health Department.
  4. All signage shall conform to Article XIII, Signs, and land use permits shall be issued prior to installation of signage.
  5. No electronic display sign shall be permitted.
  6. Any earth work that has a direct impact to the wetlands may be subject to a Part 303 EGLE permit and such permit shall be obtained prior to site work.
  7. A vegetative berm shall be provided along the length of the west and southwest property boundaries that abut a single-family residential dwelling.
  8. A buffer zone, which may include a buffer, along Winans Lake Road shall be installed.
  9. A vegetative screen, which may include a berm, shall be installed along the northern 1,200 linear feet of the east property boundary.
  10. The docks on the Huron River shall be sized to meet the Ordinance requirements.
  11. No public use of the docks shall be permitted.
  12. All required state permits shall be obtained prior to the installation of any docks in the Huron River or Gut Lake.
  13. Upon final approval of the site plan, construction or expansion of any permitted or special use shall conform to the site plan. The approval by the planning commission and Township Board of a site plan shall expire within one year after the date of such approval, unless a land use permit has been issued and construction has commenced.
  14. No sound amplification will be permitted on this site.
  15. Special event usage to be coordinated with Township public safety committee.

**EXHIBITS:**

Site plan review application  
 Site plans file-dated June 1, 2023  
 Stormwater plans file-dated June 1, 2023  
 Floor plans  
 Architecture boards  
 Township engineer review  
 Natural features impact statement  
 Livingston County Road Commission communication  
 Livingston County Health Department communication  
 April 19, 2023 Planning Commission meeting minutes

RECEIVED

MAR 13 2023

Hamburg Township  
Planning & Zoning Department  
FAX 810-231-4295  
PHONE 810-231-1000



Hamburg Township  
a great place to grow

\$2000 PSPA 23-0003

\$750 PSUP  
23-0001

P.O. Box 157  
10405 Merrill Road  
Hamburg, Michigan 48139

Item 9.

### SITE PLAN APPROVAL APPLICATION

Please note: All required information, copies, fees, and other materials as appropriate must be submitted and complete before the Township Planning Commission will set a public hearing date on the Site Plan Approval Application.

Application fees and review fees are required at the time of application.

In the case of separate applications for Preliminary and Final reviews, separate application and review fees shall be collected. Review fees shall be placed into a non-interest bearing escrow account. Upon final review, review fee balances shall be returned upon receipt of final billing. The applicant shall be responsible for all costs incurred.

Note: Acreage calculations based upon the acreage being developed or utilized for the project (parking, buildings, walks, storm water retention etc.)

The undersigned hereby makes application for a Site Plan Approval for: (Check all that apply)

1. **TYPE OF PROJECT:**  Open Space     Echo     Residential     Condominium  
 Apartments     Commercial     Industrial     PUD     Hardship PUD

2. **TYPE OF APPLICATION:**  Preliminary Site Plan     Optional Conceptual Site Plan Review by Planning Commission  
 Final Site Plan     Combined - Preliminary/Final Site Plan  
 Minor Site Plan     Site Plan Amendment (less than 25% area of site being changed)     Site Plan Amendment (26% or more or site being changed)

3. **PROJECT NAME:** Freedom River Campground      Submittal Date: 3/13/2023

4. **PROJECT ADDRESS:** 6716 Winans Lake Road Brighton, MI 48116

Tax Code Numbers: 15 - 14-400-008      15 - 23-100-022      15 - \_\_\_\_\_  
15 - \_\_\_\_\_      15 - \_\_\_\_\_      15 - \_\_\_\_\_

Metes & Bounds Parcel     Subdivision \_\_\_\_\_      Lot Numbers: \_\_\_\_\_

Zoning District Classification: Residential Waterfront    Floodplain Classification: Class 8

Number of Lots Proposed: \_\_\_\_\_      Acreage of Project: 93.92

5. **PROJECT DESCRIPTION:** \_\_\_\_\_

Recreational facility dedicated and designed for veterans and their families as a place of relaxation and reflections. Campground to include RV camping, rent camping, and short stay cabins to accommodate varying stay durations.



## PRELIMINARY & FINAL SITE PLAN CHECKLIST

Each preliminary & Final Site Plan submitted for review shall provide the following information at the time of application.

\_\_\_\_\_ **A. General Information**

- 1. Name and address of the proprietor and proof of ownership, developer, and registered engineer, registered surveyor, registered architect, registered landscape architect, or registered community planner who prepared the site plan.
- 2. Date of plan preparation, north arrow, and scale of plan, which shall not be greater than one inch equals twenty feet (1" = 20') nor less than one inch equals two hundred feet (1" = 200').
- 3. Full legal description of parcel and dimensions of all lot and property lines showing the relationship to abutting properties, and in which district the subject property and abutting properties are located.
- 4. Area map showing the relationship of the parcel to the surrounding area within one-half mile.
- 5. The location and description of all existing structures within one hundred feet (100') of the parcel.

\_\_\_\_\_ **B. Physical Information**

- 1. Proposed plans for site grading, surface drainage, water supply and sewage disposal.
- 2. The location of existing and proposed landscaping, buffer areas, fences, or walls on the parcel.
- 3. Existing and proposed structure information including the following:
  - a. Footprint location, dimensions and setbacks.
  - b. Finished floor and grade line elevations.
  - c. Elevations drawings that illustrate building design, size, height, windows and doors, and describe construction materials. Elevations shall be provided for all sides visible from an existing or proposed public street or a residential zoning district.
  - d. The Planning Commission may require a color rendering of the building elevation required in paragraph c.
  - e. Proposed materials and colors shall be specified on the site plan. Color chips or samples shall also be submitted at or prior to the Planning Commission meeting to review the site plan. These elevations, colors and materials shall be considered part of the approved site plan.
- 4. The location and dimensions of all existing and proposed streets, driveways, sidewalks, service lanes and other vehicular and pedestrian circulation features within and adjacent to the parcel.
- 5. The location, dimensions, and numbers of off-street parking and loading spaces.



6. Location of existing and proposed service facilities above and below ground, including:
- a. Well sites.
  - b. Septic systems and other wastewater treatment systems. The location of the septic tank and drain field (soil absorption system) should be clearly distinguished.
  - c. Chemical and fuel storage tanks and containers.
  - d. Storage, loading, and disposal areas for chemicals, hazardous substances, salt and fuels.
  - e. Water mains, hydrants, pump houses, standpipes, and building services and sizes.
  - f. Sanitary sewers and pumping stations.
  - g. Stormwater control facilities and structures including storm sewers, swales, retention and detention basins, drainage ways and other facilities, including calculations for sizes.
  - h. Location of all easements.
7. Any other pertinent physical features.

——— C. **Natural Features**

1. Map of existing topography at two-foot (2') contour intervals with existing surface drainage indicated.
2. Soil characteristics of the parcel to at least the detail provided by the U.S. Soil Conservation Service "Soil Survey of Livingston County, Michigan."
3. On parcels of more than one acre, existing topography with a maximum contour interval of two feet indicated. Topography on the site and beyond the site for a distance of 100 feet in all directions should be indicated. Grading plan, showing finished contours at a maximum interval of two feet, correlated with existing contours so as to clearly indicate required cutting, filling and grading.
4. Location of existing drainage courses, including lakes, ponds, rivers and streams, and all elevations.
5. Location of existing wetlands, delineated under the requirements of section 3.6, Wetland Determination. A Michigan Department of Natural Resources (MDNR) permit shall be required for activities in a regulated wetland or an inland lake or stream. A copy of any correspondence with and applications to the MDNR shall be submitted with the site plan application. The Planning Commission shall not grant final site plan approval until all necessary permits have been obtained.
6. Location of natural resource features, including woodlands and areas with slopes greater than 10 percent (one foot of vertical elevation for every 10 feet of horizontal distance).
7. Location of the required 50 foot natural features setback.
8. Storm water management systems and facilities will preserve the natural drainage characteristics and enhance the aesthetics of the site to the maximum extent feasible, with the development not substantially reducing the natural retention of storage capacity of any wetland, water body, or water course, or cause alterations which could increase flooding or water pollution on or off site.

- 9. Wastewater treatment systems, including on-site septic systems will be located to minimize any potential degradation of surface water or groundwater quality.
- 10. Sites which include storage of hazardous materials or waste, fuels, salt, or chemicals will be designed to prevent spills and discharges or polluting materials to the surface of the ground, groundwater, or nearby water bodies.

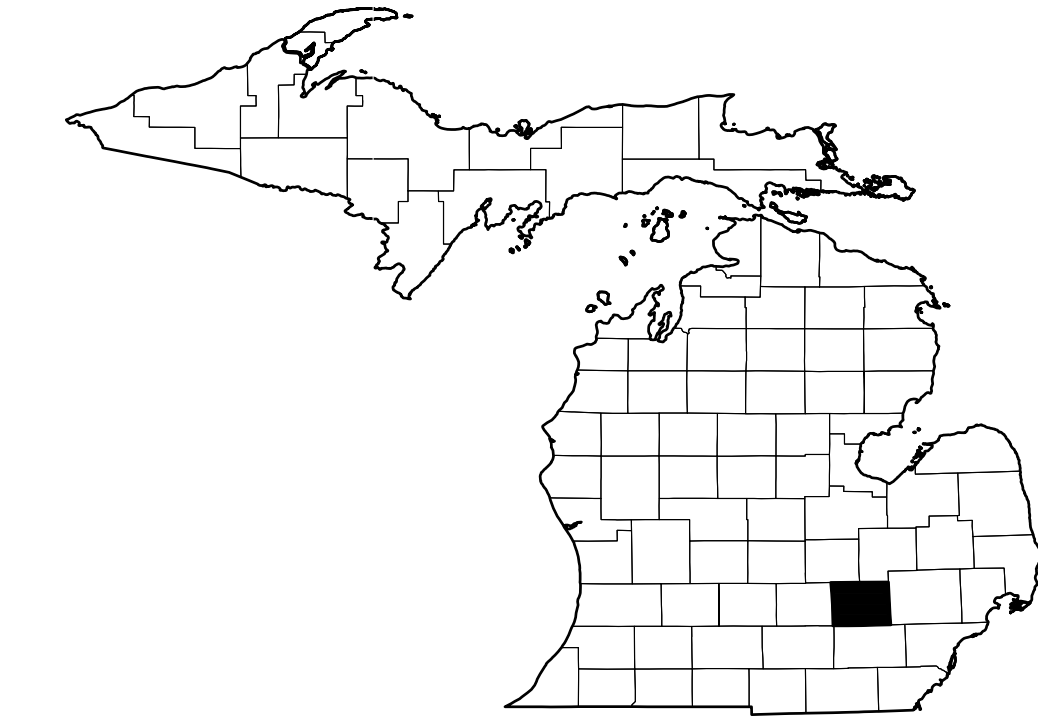
\_\_\_\_\_ D. **Natural Features Impact Statement.** The purpose of a Natural Features Impact Statement (NFIS) is to provide the Township with information regarding the impact of a proposed project on the physical, natural, social, and economic environment of the community. A complete report shall be required with all site plan applications. The Zoning Administrator (ZA) has the discretion to modify this requirement based on the specific application. When required the report will be reviewed by the ZA and Hamburg Environmental Review Board (HERB). The HERB may issue an Advisory Report to the Zoning Administrator for review by the Planning Commission. Contained in the Advisory Report will be a summary of the NFIS and appropriate comments and recommendations. The Advisory Report and the required site walk will be used to assist Zoning Ordinance Hamburg Township, Livingston County, Michigan, the Township Board and Planning Commission. The written NFIS will include the following information:

- 1. Name (s) and address (es) of person(s) responsible for preparation of the impact assessment and a brief statement of any relevant qualifications. The HERB may recommend a qualified individual to prepare the NFIS if deemed appropriate.
- 2. An impact assessment checklist on a form provided by the Township shall be completed and placed at the beginning of the document.
- 3. Map (s) and a written description/analysis of the project site including all existing structures, manmade facilities, and natural features. The analysis shall also include information for areas within 50 feet of the property. An aerial photograph or drawing may be used to delineate these areas.
- 4. Description of existing natural features: A description of the environmental characteristics of the site prior to development shall be provide in the form of written documentation and a site inventory map identifying the location of natural features consistent with subparagraph C of this section. In addition, dominant tree species shall be listed and all species greater than 16 inches caliper or greater. As defined in Article 2.00, natural features include but are not limited to: topography, soils, geology, ground water, wetlands, watercourses, plants and animals (including aquatic species), habitat, and scenery.
- 5. Impact on natural features: A written description of the impact on the identified existing natural features shall be provided. The report shall also provide a natural features protection plan, which identifies on a map the natural features potentially affected. Where disturbance of natural features both during and after construction is proposed, a written analysis of alternative plans, which were considered, shall be provided to justify the proposed plan. The HERB may recommend a mitigation plan be required which will describe how disturbed natural features were relocated or replace. (See Article 2.00 for complete definition of terms)
- 6. Impact on storm water management: Description of natural drainage patterns and soil infiltration and unsaturated soil capacity. A description of changes to site drainage and storm water

management facilities to be installed in compliance with the Township Storm Water Ordinance. Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the County Soil Conservation Service.

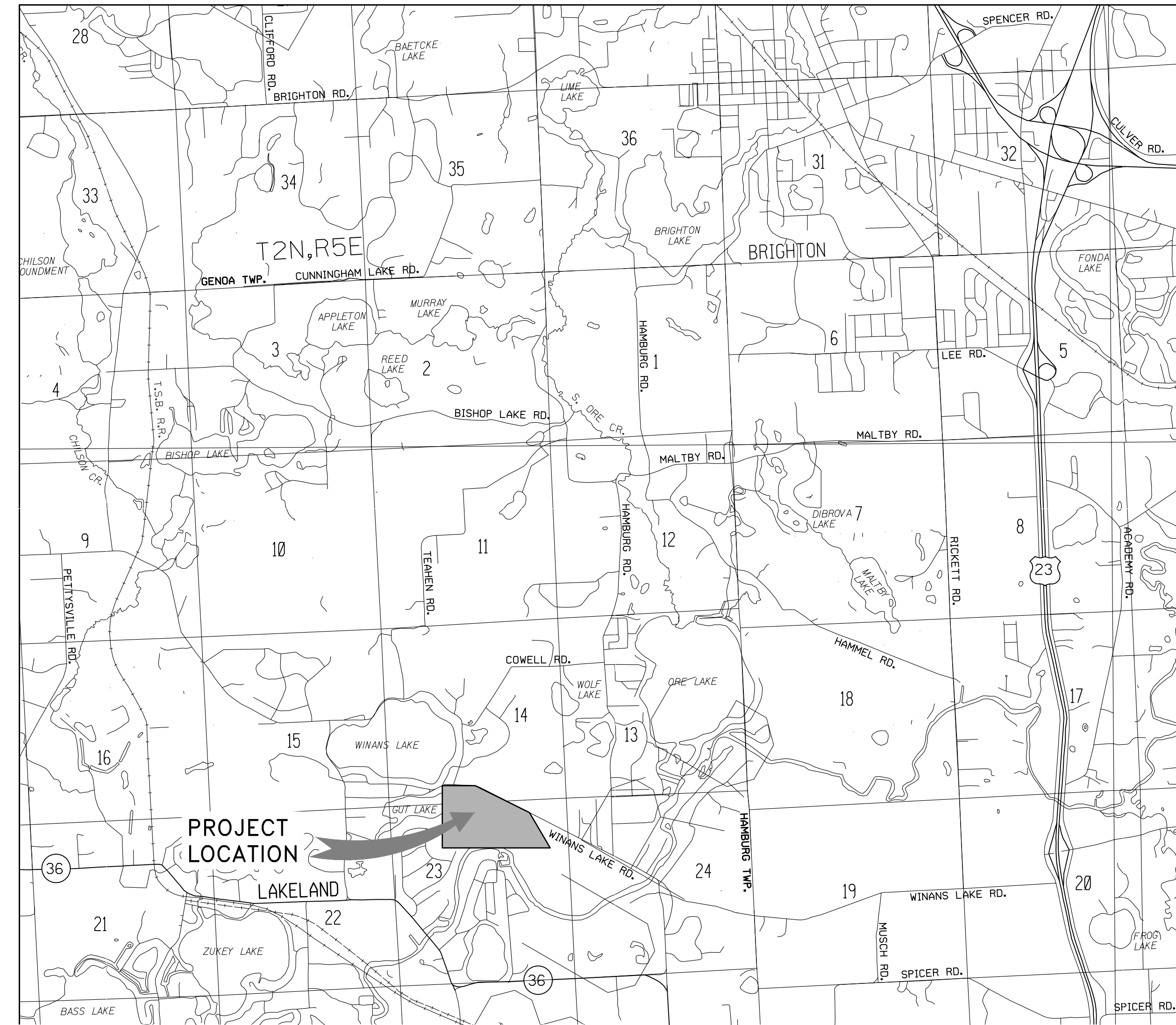
- 7. Special Provisions: Provide a general description of any existing deed restrictions, protective covenants, master deed or association bylaws as they relate to the protection of natural features. Zoning Ordinance Hamburg Township, Livingston County, Michigan
- 8. Information Sources: A list of all sources of information contained in the NFIS, if any shall be provided.
- 9. Previous Submittals: Any impact assessment previously submitted relative to the site and proposed development, which fulfills the above requirements (and contains accurate information of the site) may be submitted as the required Impact Assessment.

# SITE PLANS FOR FREEDOM RIVER CAMPGROUND 6716 WINANS LAKE ROAD SECTIONS 14 AND 23, T1N, R5E LIVINGSTON COUNTY, HAMBURG TOWNSHIP, MI 48116



**KEY MAP**  
NOT TO SCALE

CONTACTS	
OWNER/DEVELOPER	FREEDOM RIVER, INC. 9305 HURON RAPIDS DRIVE, WHITMORE LAKE, MI 48189 734.231.2792 JANNA YEAKY
CIVIL ENGINEER	WADE TRIM 25251 NORTHLINE ROAD, TAYLOR, MI 48180 734.947.9700 GREG SPIESS, PE GSPIESS@WADETRIM.COM
ELECTRIC	DTE ENERGY 1095 LAWSON, HOWELL, MI 48843 734.332.8145
GAS	CONSUMERS ENERGY ONE ENERGY PLAZA, JACKSON, MI 49201 517.788.7194
WATER & SEWER	HAMBURG TOWNSHIP 10405 MERRILL ROAD, HAMBURG, MI 48139 810.231.1000
PLANNING & ZONING	HAMBURG TOWNSHIP 10405 MERRILL ROAD, HAMBURG, MI 48139 810.231.1000
ROADS	LIVINGSTON COUNTY ROAD COMMISSION 3535 GRAND OAKS DRIVE, HOWELL, MI 48843 517.546.4250
STORM WATER	LIVINGSTON COUNTY DRAIN COMMISSION 2300 E GRAND RIVER, HOWELL, MI 48843 517.546.0040
SOIL EROSION CONTROL	LIVINGSTON COUNTY DRAIN COMMISSION 2300 E GRAND RIVER, HOWELL, MI 48843 517.546.0040



**VICINITY MAP**  
NOT TO SCALE

SITE DATA TABLE	
TAX PARCEL #	4715-23-100-002 & 4715-14-400-008
EXISTING ZONING	WFR & NR
PROPOSED ZONING	PPRF (NR WILL REMAIN)
PROPOSED USE	CAMPGROUND, RECREATIONAL FACILITIES
MINIMUM LOT AREA	1,742,400 SF (40 ACRES)
TOTAL LOT AREA	3,678,694 SF
MINIMUM BUILDING SETBACKS	
FRONT	100'
SIDE	50'
REAR	100'
WETLANDS/BODY OF WATER	100'
ACTUAL SETBACKS	
FRONT (NORTH)	100.1'
SIDE (EAST)	284'
SIDE (WEST)	190.1'
REAR (SOUTH)	160.5'
REQUIRED PARKING SPACE SIZE	10'x20'
PROP. PARKING SPACE SIZE	10'x20'

\*PER SECTION 36-185.(b)(2)c - BUILDINGS, STRUCTURES, OR USE AREAS SHALL BE 200 FEET FROM ANY PROPERTY LINE WHEN ABUTTING A RESIDENTIAL DISTRICT.

PARKING REQUIREMENTS	
TYPE	NO. OF SPACES
REQUIRED	
PER EGLE PUBLIC HEALTH CODE ACT 368 OF 1978 SECTION R325-1558.2 "ROADS AND VEHICLES": A CAMPGROUND OWNER SHALL PROVIDE SPACE FOR VEHICLE PARKING EQUAL TO A MINIMUM OF 1.5 THE NUMBER OF SITES IN A CAMPGROUND	
RV SITES: 27 x 1.5 = 41 SPACES	
CABINS: 27 x 1.5 = 41 SPACES	
TENTS: 20 x 1.5 = 30 SPACES	
PARKING REQUIRED	112
REGULAR SPACES	107
BARRIER FREE SPACES	5 (1 VAN)
PARKING PROVIDED	220
REGULAR SPACES	201
BARRIER FREE SPACES	19

SHEET INDEX	
GENERAL SHEETS	SHEET NO.
COVER SHEET	C0.0
GENERAL NOTES AND LEGENDS	C0.1
EXISTING CONDITIONS PLAN	C1.0
SESC PLAN - A	C2.1
SESC PLAN - B	C2.2
SESC PLAN - C	C2.3
SESC PLAN - D	C2.4
SESC DETAILS	C2.5
DEMOLITION PLAN - A	C2.6
DEMOLITION PLAN - B	C2.7
DEMOLITION PLAN - C	C2.8
DEMOLITION PLAN - D	C2.9
OVERALL SITE PLAN	C3.0
SITE PLAN - A	C3.1
SITE PLAN - B	C3.2
SITE PLAN - C	C3.3
SITE PLAN - D	C3.4
SITE DETAILS	C3.5
DRAINAGE AREA PLAN	C4.0
STORMWATER CALCULATIONS	C4.1
OVERALL UTILITY PLAN - SANITARY	C5.0
OVERALL STM SWR PLAN - STORM	C5.1
UTILITY DETAILS	C5.2
SANITARY PROFILES - A	C5.3
SANITARY PROFILES - B	C5.4
SANITARY PROFILES - C	C5.5

DATE	DESCRIPTION	BY
6/1/23	SITE PLAN SUBMITTAL	GLS

**REVISIONS**

JOB NO.	SHEET
VCM2001	C0.0



PREPARED UNDER THE SUPERVISION OF:



GREGORY L. SPIESS, PE  
STATE OF MICHIGAN NO. 69058

**LEGAL DESCRIPTION:**

PARCEL NUMBER: 4715-23-100-002  
(OBTAINED FROM LIVINGSTON COUNTY GIS MAP DATA)  
SEC 23 T1N R5E NE1/4 OF NW1/4 ALSO NW1/4 OF NE FRL 1/4 EXC 1.5 AC N OF HWY ALSO 7 AC IN SW1/4 OF NE FRL 1/4 NE OF HURON RIVER 85 AC  
PARCEL NUMBER: 4715-14-400-008  
(OBTAINED FROM LIVINGSTON COUNTY GIS MAP DATA)  
SEC 14 T1N R5E 8.5 AC OF SW 1/4 OF SE 1/4 S OF HWY & E 343.2 FT OF SE 1/4 OF SW 1/4 S OF HWY

PROJECT MANAGER: G:\P\WORK\WADE-TRIM\_GSPIESS\1228134\PLTS-COVER-SHEET.DWG - PLOTTED 6/1/2023 4:33 PM BY SPIESS, GREG



### DEMOLITION NOTES

1. THE DEMOLITION CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM THE APPROPRIATE GOVERNING AGENCY(S) PRIOR TO COMMENCING WITH DEMOLITION.
2. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING THE BUILDING EXCAVATION AREAS WITH M.D.O.T. CLASS II MATERIAL. ALL FILL MATERIAL SHALL BE BACKFILLED WITH MAX. 12" LIFTS & COMPACTED TO 95% MAX. DENSITY PER ASTM D1557 (MODIFIED PROCTOR).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE CONCRETE BASES AND APPURTENANCES FOR ALL FLAG POLES, LIGHT POLES, FENCE POLES, PIPE BOLLARDS AND SIGNS THAT ARE TO BE REMOVED, INCLUDING ANY NOT IDENTIFIED ON THIS PLAN.
4. ALL ASPHALT & CONCRETE TO BE REMOVED SHALL BE SAW CUT WHERE REQUIRED ALONG PROPOSED LIMITS OF DEMOLITION.
5. THE LOCATION OF THE EXISTING WATER SERVICE LINES ARE SHOWN PER MAPS OBTAINED FROM THE TOWNSHIP. THE CONTRACTOR SHALL FIELD LOCATE THE EXISTING WATER SERVICE LINES. THE EXISTING WATER SERVICES SHALL BE REMOVED PLUGGED AND ABANDONED. ALL PLUGS SHALL BE WATER TIGHT.
6. THE EXACT LOCATION OF ALL SANITARY SEWER SERVICE LEADS ARE UNKNOWN. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING SANITARY SEWER SERVICE LEADS AND FORCE MAINS. THE EXISTING SANITARY SEWER SYSTEM SHALL BE REMOVED FROM THE SITE.
7. THE EXACT LOCATION OF ALL EXISTING ON-SITE STORM SEWER PIPES ARE UNKNOWN. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING STORM SEWER SERVICE PIPES AND REMOVE TO EXISTING STRUCTURE. THE CONTRACTOR SHALL INSTALL A WATERTIGHT BULKHEAD WHERE APPLICABLE.
8. THE DEMOLITION CONTRACTOR SHALL COORDINATE ALL UTILITY REMOVAL/RELOCATION WITH THE APPROPRIATE UTILITY COMPANY.
9. BUILDING REMOVAL TO INCLUDE ALL FOOTINGS, SLABS AND BELOW GRADE PORTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL MATERIALS OFF-SITE.
10. CONTRACTOR SHALL COORDINATE ALL RETAINING WALL AND FENCE REMOVAL, REPLACEMENT, OR RELOCATION, ALONG PROPERTY LINES, WITH ADJACENT PROPERTY OWNER.
11. ALL CONCRETE CURB AND GUTTER ON-SITE SHALL BE REMOVED AND PROPERLY DISPOSED OF, INCLUDING ANY NOT SHOWN ON THIS PLAN.
12. ALL EXISTING ON-SITE VEGETATION TO BE REMOVED WITHIN THE WALGREENS PROPERTY LIMITS.
13. THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF SIGNS WITH THE EXISTING PROPERTY OWNER.

### SITE PLAN NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR DETAILS AND EXACT LOCATIONS, VESTIBULES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB OR FACE OF THICKENED EDGE SIDEWALK UNLESS OTHERWISE NOTED ON THE PLANS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITY'S REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN THE BASE BID.
5. THE SITE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE BUILDING CONTRACTOR.
6. PROVIDE ISOLATION JOINTS WHERE CONCRETE ABUTS PROPOSED BUILDING.
7. ALL PARKING LOT STRIPING SHALL BE IN ACCORDANCE WITH THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". ALL STRIPING SHALL BE WATERBORNE PER MDT SPECIFICATIONS AND ALL STRIPING SHALL BE 4" TRAFFIC YELLOW UNLESS OTHERWISE NOTED. ALL DIAGONAL STRIPING SHALL BE YELLOW OR BLUE AT 2 FT ON CENTER, ON A 45° ANGLE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL APPLY 2 COATS OF PAVEMENT MARKINGS, 1 MONTH APART.
8. ALL BARRIER FREE PARKING, SIGNAGE & STRIPING SHALL BE IN ACCORDANCE WITH MICHIGAN BARRIER FREE STANDARDS. DETECTABLE WARNING SURFACE SHALL BE INSTALLED AS REQ'D BY MICHIGAN BARRIER FREE STANDARDS AT ALL RAMPS AND OTHER LOCATIONS AS PROVIDED IN MICHIGAN BARRIER FREE STANDARDS. STRIPING SHALL BE WATERBORNE PAVEMENT MARKING PER MDT SPECIFICATIONS, COLOR BLUE UNLESS OTHERWISE SPECIFIED.
9. PLACEMENT OF SLEEVES FOR ANY ELECTRIC OR IRRIGATION SYSTEM SHALL BE COORDINATED WITH OWNER/ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
10. CONTRACTOR IS RESPONSIBLE FOR PROPER TRAFFIC CONTROL DURING CONSTRUCTION IN ACCORDANCE WITH THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
11. SITE CONTRACTOR SHALL REFER TO LIGHTING PLANS FOR LIGHTING LOCATIONS AND FOUNDATIONS. SITE CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL SITE LIGHTING AND CIRCUITRY PRIOR TO PLACING UTILITIES AND INSTALLING PAVEMENTS.

#### BENCHMARKS

- BM#1:** SPIKE IN NORTH FACE OF UTILITY POLE 130' SOUTHWEST OF THE INTERSECTION OF WINANS LAKE RD. AND BUCKHORN LN.  
ELEV=892.31 (NAVD 88)
- BM#2:** SPIKE IN SOUTH SIDE OF 20" COTTONWOOD LOCATED 20' EAST OF LAKE CREST DR.  
ELEV=891.71 (NAVD 88)

### LINE WORK

BOUNDARY	———
RIGHT OF WAY	—— R/W ———
BUILDING/WETLAND SETBACK	———
BUILDING	———
CURB & GUTTER	———
CHAIN LINK FENCE	—X—X—
SHORE OR EDGE OF WATER	———
WETLAND	———
WETLAND BUFFER	———
EDGE OF WOODS	———
EDGE OF BRUSH	———
MAJOR CONTOUR	——— 100 ———
MINOR CONTOUR	——— 101 ———
SANITARY SEWER MAIN	———
OVERHEAD ELECTRIC	—— E —— E ——
GAS MAIN OR SERVICE	—— G —— G ——

### SESC LEGEND

TEMPORARY SILT FENCE	———
MAJOR CONTOUR	——— 100 ———
MINOR CONTOUR	——— 101 ———
DRAINAGE SWALE	———
DRAINAGE FLOW ARROW	———
FILTER BERM OR CHECK DAM	———
LIMITS OF DISTURBANCE/PROJECT LIMITS	———
SOIL TYPE	(XXX)
CONSTRUCTION ENTRANCE	———
STAGING/STOCK PILE AREA	———

### DEMOLITION LEGEND

SAWCUT FULL DPETH	———
BUILDING REMOVAL	———
WOODED AREA REMOVAL	———

### EXISTING LEGEND

TOPOGRAPHIC FEATURES	UTILITIES SYMBOLS
FOUND IRON ROD	SANITARY SEWER MANHOLE
GOVERNMENT CORNER	UTILITY POLE
BENCHMARK	GAS METER
MAIL BOX	TELEPHONE PEDISTAL
MONITORING WELL	
SHORE OR EDGE OF WATER	
SIGN POST	
DECIDUOUS TREE OR BUSH	

### PROPOSED LEGEND

SITE LEGEND	GRADING LEGEND
FIRE HYDRANT	CURB ELEVATION
WATER VALVE IN BOX	WHERE: T = TOP OF CURB
WATER MAIN	G = GUTTER OR PVMT.
SANITARY SEWER MANHOLE	THICKENED EDGE WALK ELEV.
SANITARY SEWER CLEAN OUT	WHERE: T = TOP OF WALK
SANITARY PUMP STATION	P = PAVEMENT
SANITARY SEWER MAIN	SPOT ELEV.
STORM CATCH BASIN	WHERE XXX IS ONE OF THE FOLLOWING:
STORM MANHOLE	TOP OF CONCRETE ELEV. TOC
STORM SEWER END SECTION	FINISH GRADE ELEV. FG
STORM SEWER LINE	DOOR ELEV. DOOR
DRAINAGE SWALE	RIM ELEV. RIM
TOP OF BANK	BACK OF CURB ELEV. BOC
BUILDING LINE	GUTTER ELEV. GUT
BUILDING SETBACK	MATCH EXISTING ELEV. MATCH
PARKING COUNT	TOP OF PAVEMENT ELEV. T/P
SIGN AND SIGN POST	TOP OF WALL ELEV. T/W
ACCESSIBLE SYMBOL	BOTTOM OF WALL ELEV. BOW
CONCRETE SURFACE	TOP OF BANK ELEV. TOB
SOLAR FARM	TOE OF SLOPE ELEV. TOE
	FINISH FLOOR ELEV. FFE
	ADJUST RIM ELEV. ADJUST
	DRAINAGE FLOW
	DRAINAGE SLOPE
	FINISH GRADE SLOPE
	MAJOR CONTOUR
	MINOR CONTOUR

NOTE: FOR EXISTING FEATURES SEE TOPOGRAPHIC SURVEY OR EXISTING CONDITIONS PLAN.



Know what's below.  
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REV#	DATE	DESCRIPTION

25201 Northline Rd.  
Whitmore Lake, MI 48189  
734.947.7970  
www.wadetrim.com

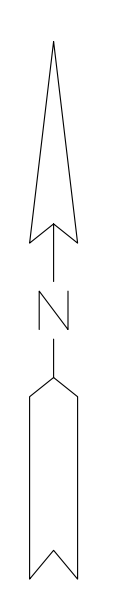
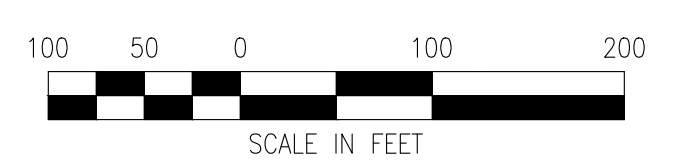
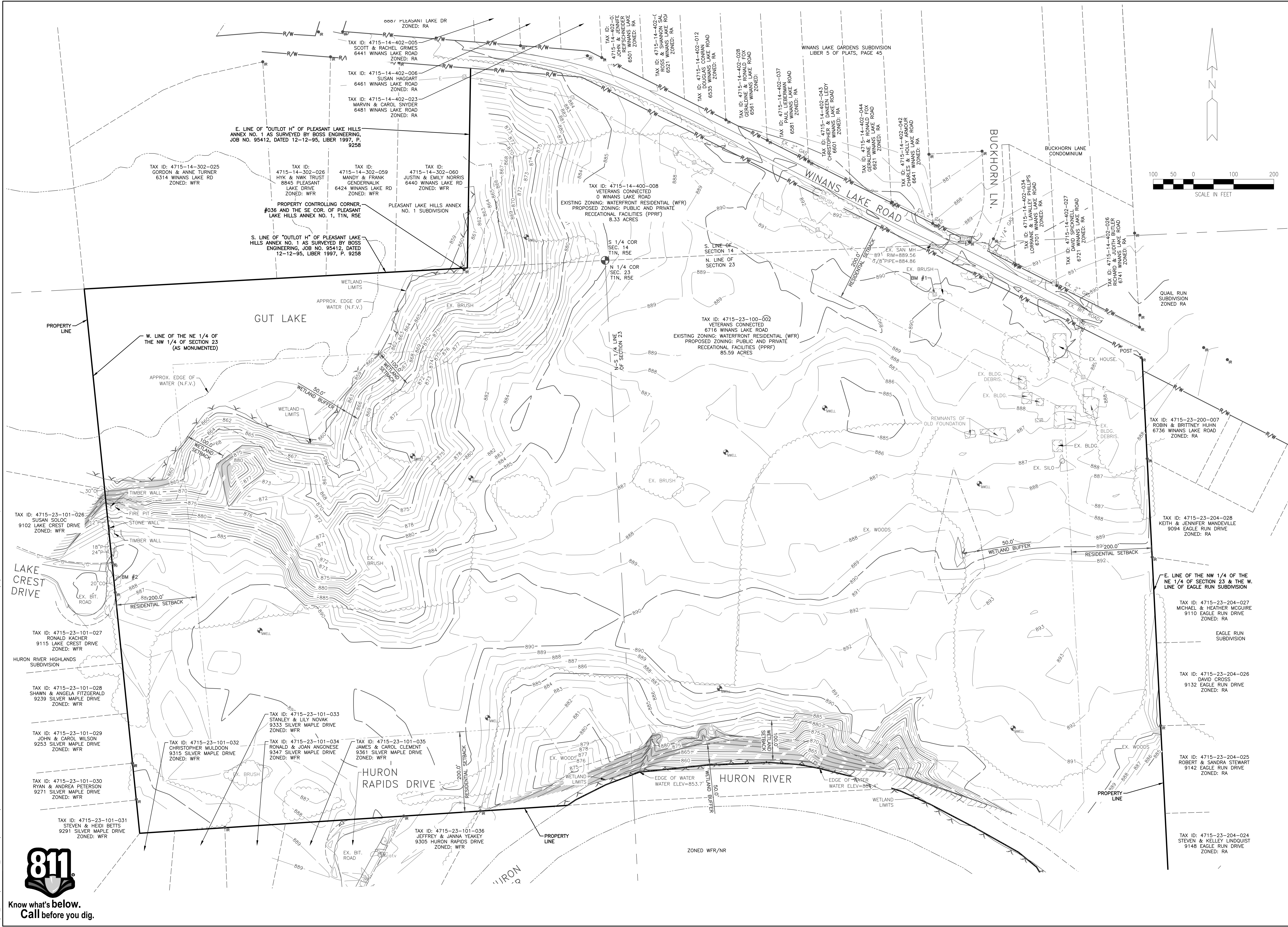
**FREEDOM RIVER, INC.**  
9305 HURON RAPIDS DRIVE  
WHITEMORE LAKE, MI 48189  
GENERAL NOTES AND LEGENDS  
FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
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JOB NO.  
VCM2001

SHEET  
C0.1

FIELD BOOK INFORMATION: -  
 PROJECT MANAGER: -  
 C:\PW\_WORK\WADE-TRIM\_C10\_EXISTING\_CONDITIONS\_PLAN - PLOTTED 6/1/2023 4:33 PM BY SPIESS, GREG



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25201 Northline Rd.  
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**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
 EXISTING CONDITIONS PLAN  
 FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR: DATE: BY:  
 SPA 6/1/23 GLS

JOB NO. VCM2001  
 SHEET C1.0

86

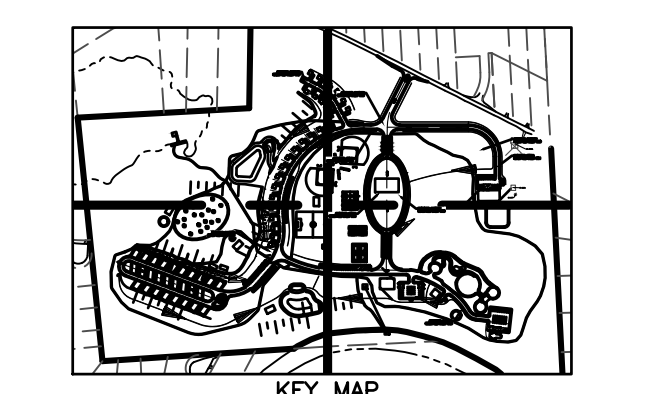
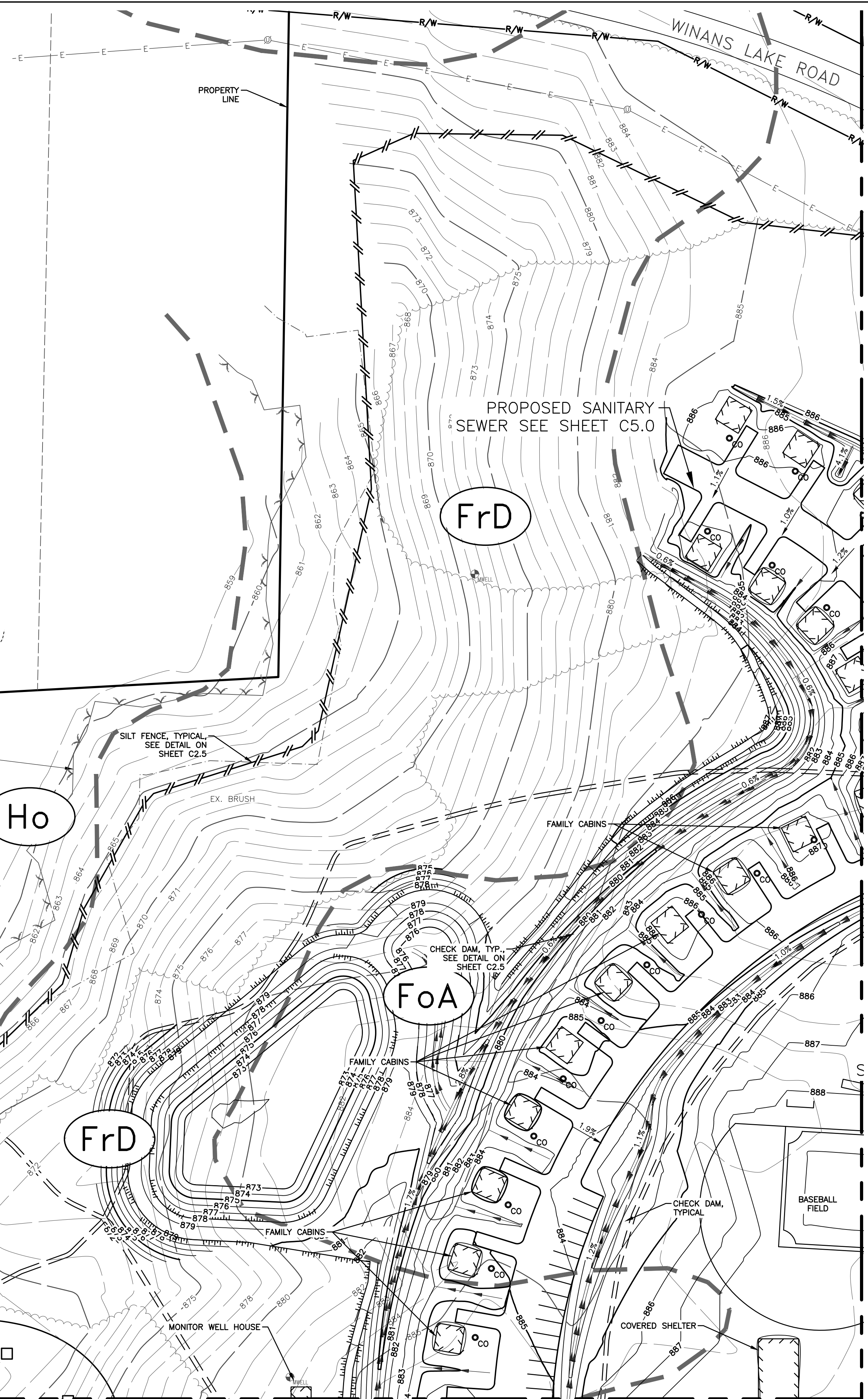
**SOIL EROSION & SEDIMENTATION CONTROL NOTES**

- CONTRACTOR SHALL PLACE ALL SOIL EROSION & SEDIMENTATION CONTROL MEASURES AS SHOWN IN THE PLANS OR AS DIRECTED BY THE ENGINEER IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLANS, AS SHOWN ON THIS SHEET (REFER TO THE MDT SOIL EROSION AND SEDIMENTATION CONTROL MANUAL SECTION 7 FOR SPECIFIC DETAILS).
- CONSTRUCTION OPERATIONS SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACK FILLING AND/OR GRADING OPERATIONS.
- SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
- THE CONTRACTOR SHALL LIMIT THE USE OF HEAVY EQUIPMENT AND OTHER CONSTRUCTION EQUIPMENT ON THE UNPROTECTED SUBGRADE.
- CLEANUP WILL BE DONE IN A MANNER TO INSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
- THE PROJECT WILL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENTATION CONTROL COMPLIANCE IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PERMIT REQUIREMENTS. DEFICIENCIES WILL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR UPON ESTABLISHMENT OF PERMANENT CONTROL MEASURES.
- CONSTRUCTION WILL DISTURB MORE THAN 5 ACRES, THUS A NPDES STORM WATER DISCHARGE PERMIT **WILL** BE REQUIRED.
- ALL ROADS WITHIN THE INFLUENCE OF THE PROJECT MUST REMAIN CLEAN AT ALL TIMES. CONTRACTOR SHALL SWEEP STREETS AS DIRECTED BY LOCAL MUNICIPALITY HAVING JURISDICTION OVER THE ROADWAY (I.E. TOWNSHIP, CITY, COUNTY, STATE, ETC).
- BEST MANAGEMENT PRACTICES FOR SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE USED ON THIS PROJECT AS SHOWN ON THE PLANS AND AS DEFINED BY THE ENGINEER.
- THE CONTRACTOR SHALL SUBMIT A DETAILED SOIL EROSION AND SEDIMENTATION CONTROL PLAN AND OBTAIN AN ACT 451 PART 91, SOIL EROSION AND SEDIMENTATION CONTROL PERMIT, COPY TO PROVIDED TO THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE PAYMENT OF APPLICATION FEES, REVIEW FEES, INSPECTION FEES, BONDS, ETC. NO EARTH CHANGES OR EXCAVATION SHALL BE STARTED PRIOR TO THE ISSUANCE OF THIS PERMIT.
- PROJECT IS NOT WITHIN THE 100 YEAR FLOOD PLAN.
- TEMPORARY SEEDING SHALL BE MDT TUF SEED MIXTURE PLACED ACCORDING TO MDT SPECIFICATIONS. TEMPORARY SEEDING SHALL BE MAINTAINED DURING THE PERIOD OF CONSTRUCTION UNTIL THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED.

**MAINTENANCE**

- ALL MEASURES STATED ON THE SITE MAP SHALL BE MAINTAINED BY THE CONTRACTOR IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE APPLICABLE PERMIT AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
  - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY BY THE CONTRACTOR TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED, AT NO ADDITIONAL COST TO THE OWNER.
  - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
  - THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
  - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
  - RESPONSIBLE PERSON DURING CONSTRUCTION WILL BE THE CONTRACTOR. RESPONSIBLE PERSON AFTER CONSTRUCTION HAS CEASED AND THE SITE IS STABILIZED WILL BE THE OWNER.

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE														
NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE														
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB
TEMPORARY CONSTRUCTION EXITS														
TEMPORARY CONTROL MEASURES														
SEDIMENT CONTROL BASINS														
STRIP & STOCKPILE TOPSOIL														
ROUGH GRADE														
STORM FACILITIES														
SITE CONSTRUCTION														
PERMANENT CONTROL STRUCTURES														
FOUNDATION / BUILDING CONSTRUCTION														
FINISH GRADING														
LANDSCAPING/SEED/FINAL STABILIZATION														



- DATA**
- SOIL TYPE:
- BtA, BOYER-OSSTEMO LOAMY SANDS, 0 TO 2 PERCENT SLOPES
  - BtB, BOYER-OSSTEMO LOAMY SANDS, 2 TO 6 PERCENT SLOPES
  - BtC, BOYER-OSSTEMO LOAMY SANDS, 6 TO 12 PERCENT SLOPES
  - BwA, BRONSON LOAMY SAND, 0 TO 2 PERCENT SLOPES
  - CarabA, CARLISLE MUCK, 0 TO 2 PERCENT SLOPES
  - FoA, FOX SANDY LOAM, 0 TO 2 PERCENT SLOPES
  - FoB, FOX SANDY LOAM, 2 TO 6 PERCENT SLOPES
  - FoC, FOX SANDY LOAM, 6 TO 12 PERCENT SLOPES
  - FrD, FOX-BOYER COMPLEX, 12 TO 18 PERCENT SLOPES
  - FrE, FOX-BOYER COMPLEX, 18 TO 25 PERCENT SLOPES
  - FrF, FOX-BOYER COMPLEX, 25 TO 40 PERCENT SLOPES
  - GD, GILFORD SANDY LOAM, 0 TO 2 PERCENT SLOPES
  - HghtaA, HOUGHTON MUCK, 0 TO 1 PERCENT SLOPES
  - LM, LINWOOD MUCK
  - MIB, METAMORA SANDY LOAM, 0 TO 4 PERCENT SLOPES
  - OKb, OAKVILLE FINE SAND, LOAMY SUBSTRATUM, 0 TO 6 PERCENT SLOPES
  - Wh, WASHTENAW SILT LOAM
- TOTAL DISTURBED AREA = X.XX ACRES
- CLOSEST BODY OF WATER:  
NAME: HURON RIVER  
DIST.: ON SITE

MATCH LINE - SEE SHEET C2.2

MATCH LINE - SEE SHEET C2.3

PROJECT MANAGER: G:\PW\_WORK\WADE-TRIM\_CSPRESS\1228134\PLTS-SESC\_PLN\DWG - C2.1\_SESC\_PLAN - A - PLOTTED 6/1/2023 4:33 PM BY: SPIESS, GREG



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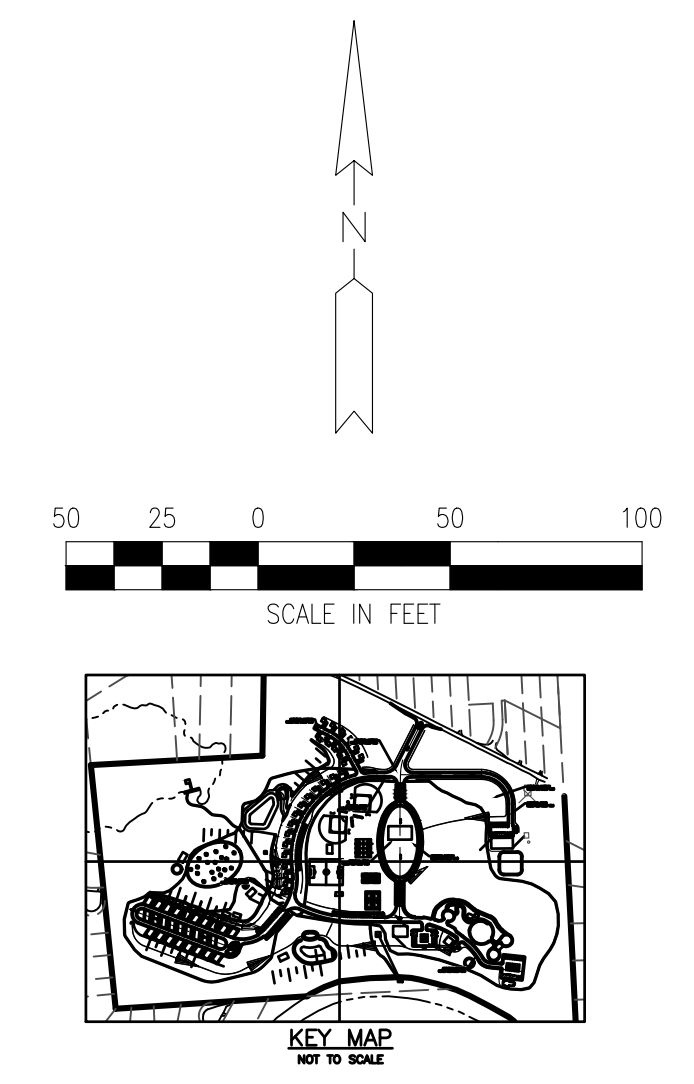
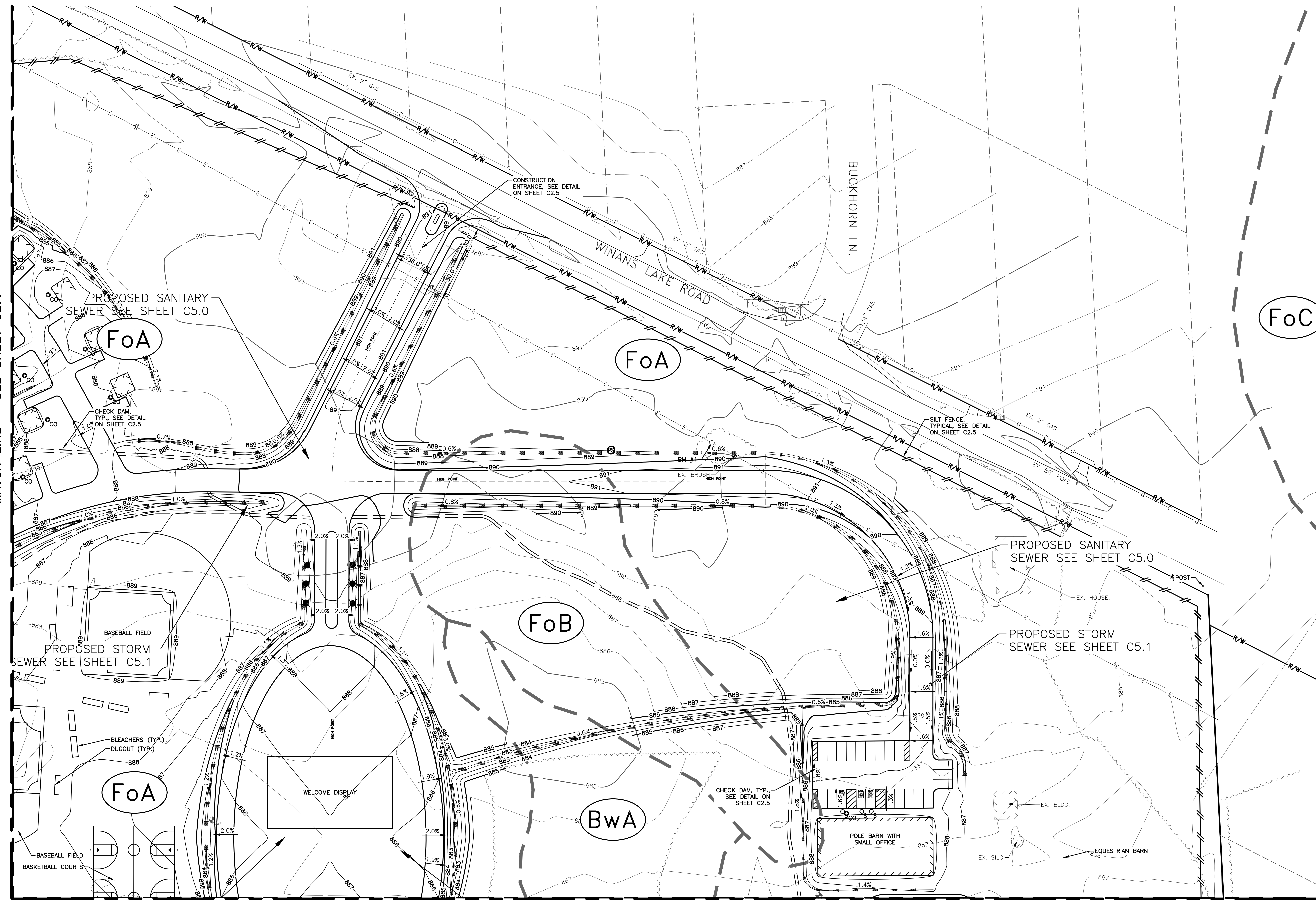
25201 Northline Rd.  
Whitmore Lake, MI 48189  
734.947.9700  
www.wade-trim.com

**FREEDOM RIVER, INC.**  
9305 HURON RAPIDS DRIVE  
WHITMORE LAKE, MI 48189

SESC PLAN - A  
FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
JOB NO. VCM2001	SHEET C2.1	

PROJECT MANAGER: C:\PW\_WORK\WADE-TRIM\_GSPRESS\1228134\PLTS-SESC\_PLAN\DWG - C2.2\_SESC\_PLAN - B - PLOTTED 6/1/2023 4:33 PM BY: SPIESS, GREG



MATCH LINE - SEE SHEET C2.1

MATCH LINE - SEE SHEET C2.4

REV#	DATE	DESCRIPTION

WADE TRIM

**FREEDOM RIVER, INC.**  
 9305 HURON RAPIDS DRIVE  
 WHITEMORE LAKE, MI 48189  
 SESC PLAN - B  
 FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA  
 DATE: 6/1/23  
 BY: GLS

JOB NO. VCM2001

SHEET C2.2

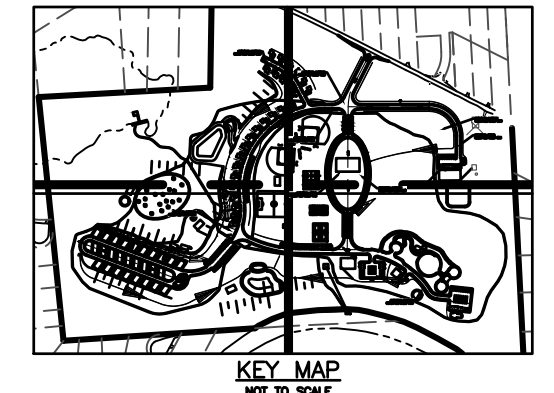




PROJECT MANAGER: W. J. ... FIELD BOOK INFORMATION: ... C:\PW\_WORK\WADE-TRIM\_GSP\SSS\1228134\PLTS-SESC\_PLAN\DWG - C2.3\_SESC\_PLAN - C - PLOTTED 6/1/2023 4:33 PM BY: SPIESS, GREG



MATCH LINE - SEE SHEET C2.1



MATCH LINE - SEE SHEET C2.4



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25251 Northline Rd.  
 48189 Whitefore Lake, MI  
 734.947.2700  
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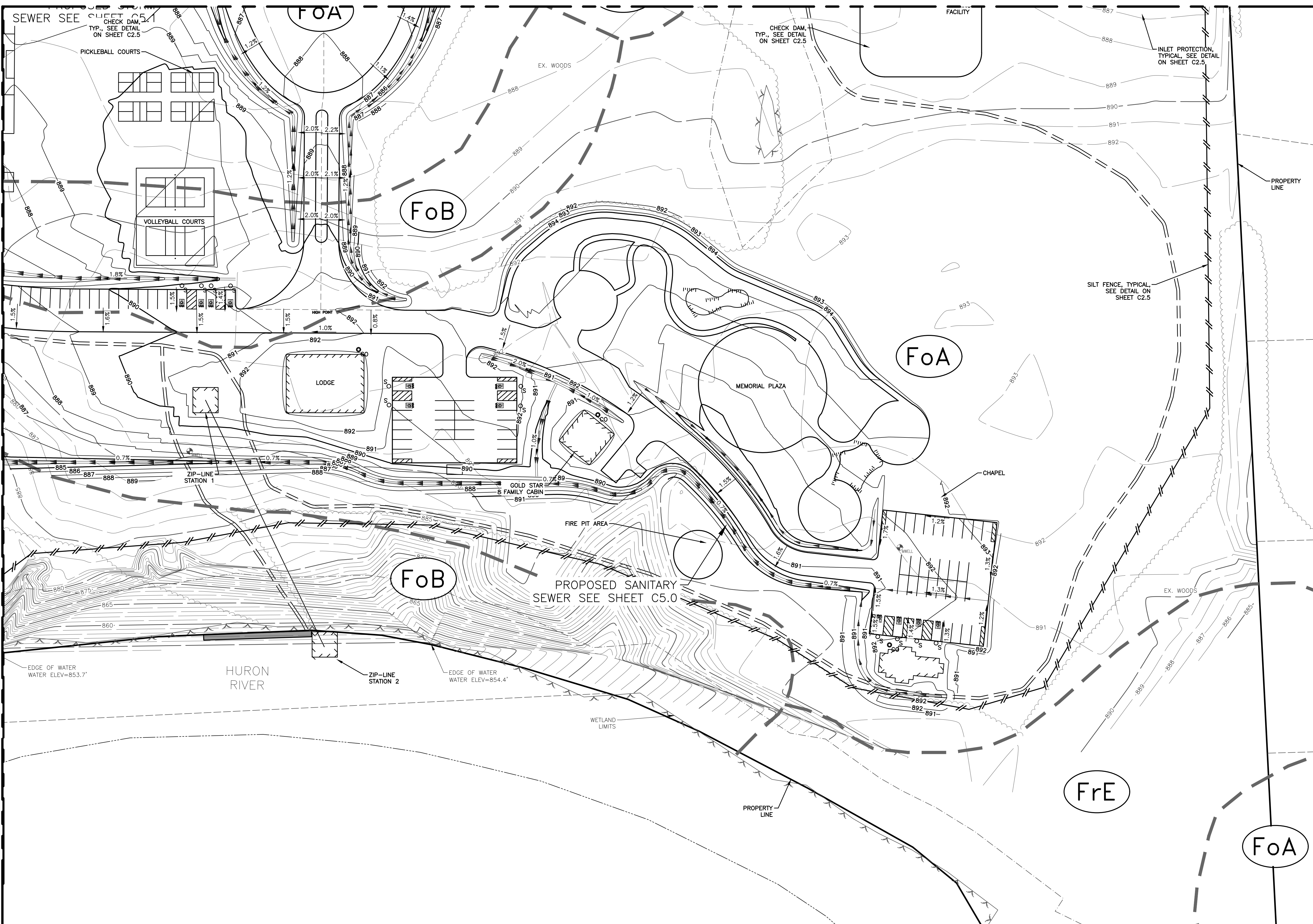
**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
 SESC PLAN - C  
 FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA    DATE: 6/1/23    BY: GLS

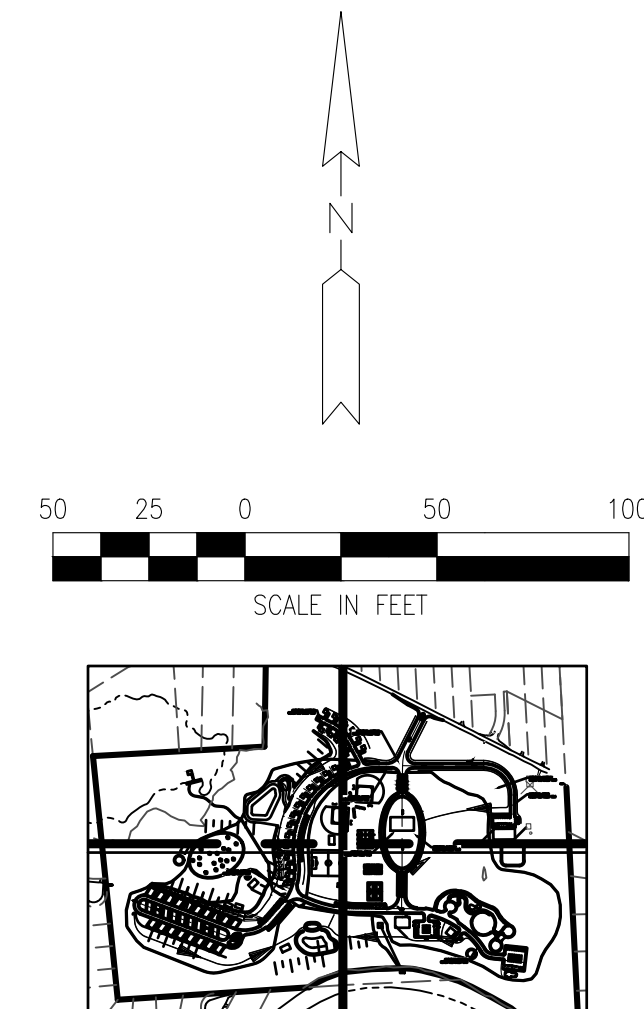
JOB NO. VCM2001

SHEET C2.3

MATCH LINE - SEE SHEET C2.2



MATCH LINE - SEE SHEET C2.3



REV#	DATE	DESCRIPTION

WADE TRIM

25241 Northline Rd.  
 Whittemore Lake, MI 48189  
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**FREEDOM RIVER, INC.**  
 9305 HURON RAPIDS DRIVE  
 WHITEMORE LAKE, MI 48189  
 SESC PLAN - D  
 FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR:	DATE:	BY:
SPA	6/1/23	GLS

JOB NO. VCM2001

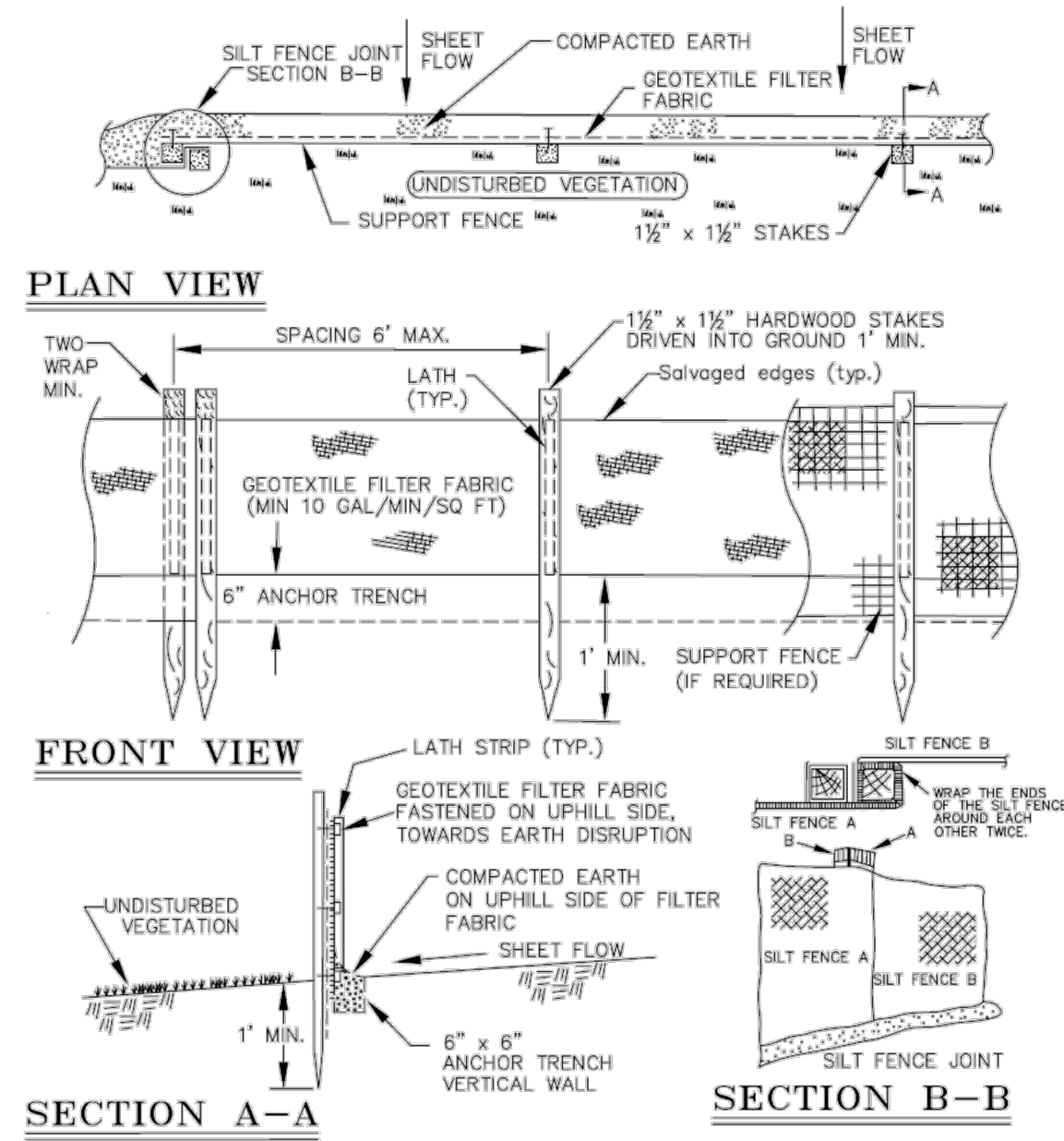
SHEET C2.4

PROJECT MANAGER: C:\PW\_WORK\WADE-TRIM\_GSP\SS\1228134\PLTS-SESC-PLAN\DWG - C2.4\_SESC\_PLAN - D - PLOTTED 6/1/2023 4:33 PM BY: SPIESS, GREG



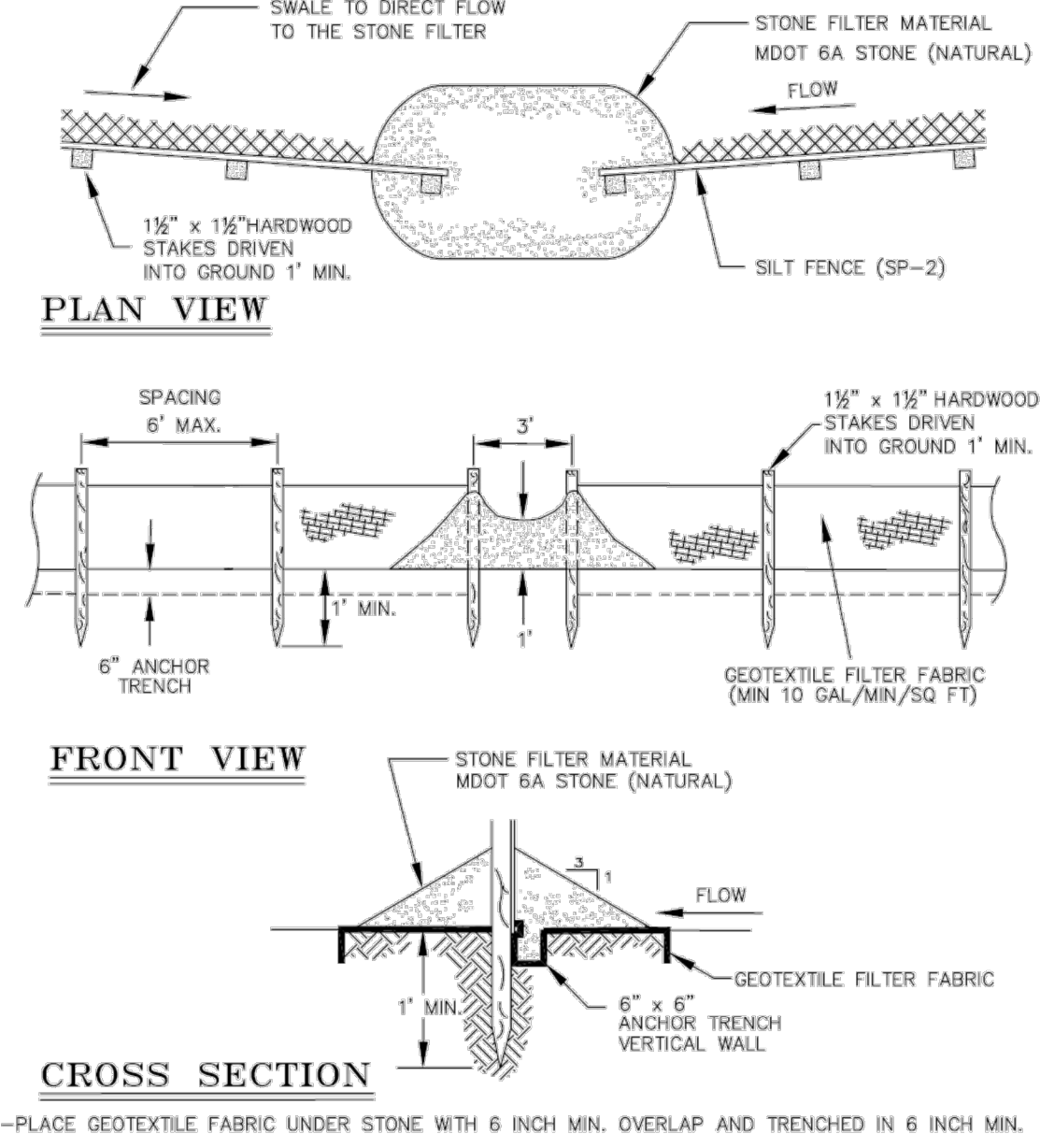
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**36" SILT FENCE**  
STANDARD CONTROL

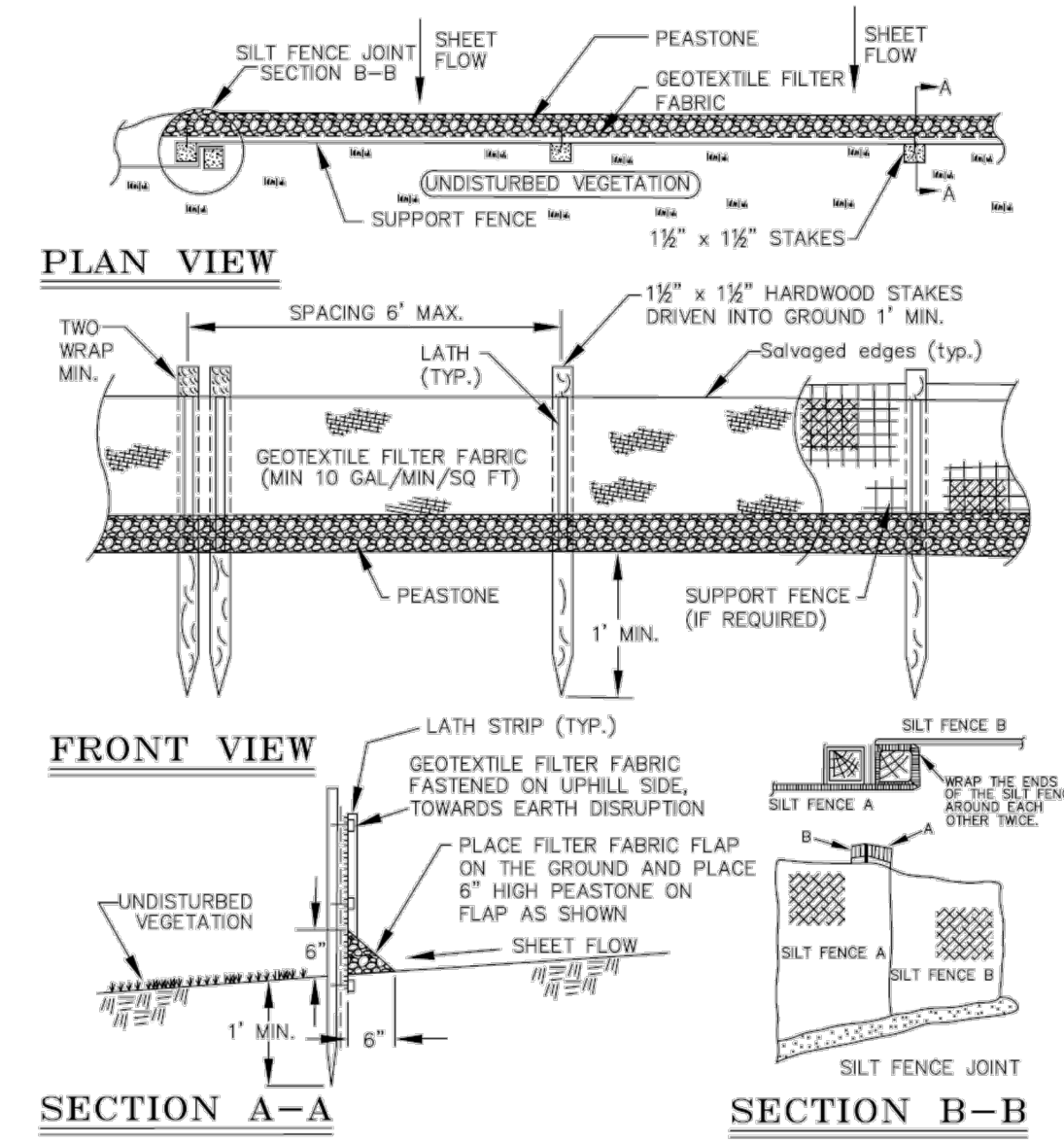


**36" SILT FENCE GRAVEL FILTER**  
STANDARD CONTROL

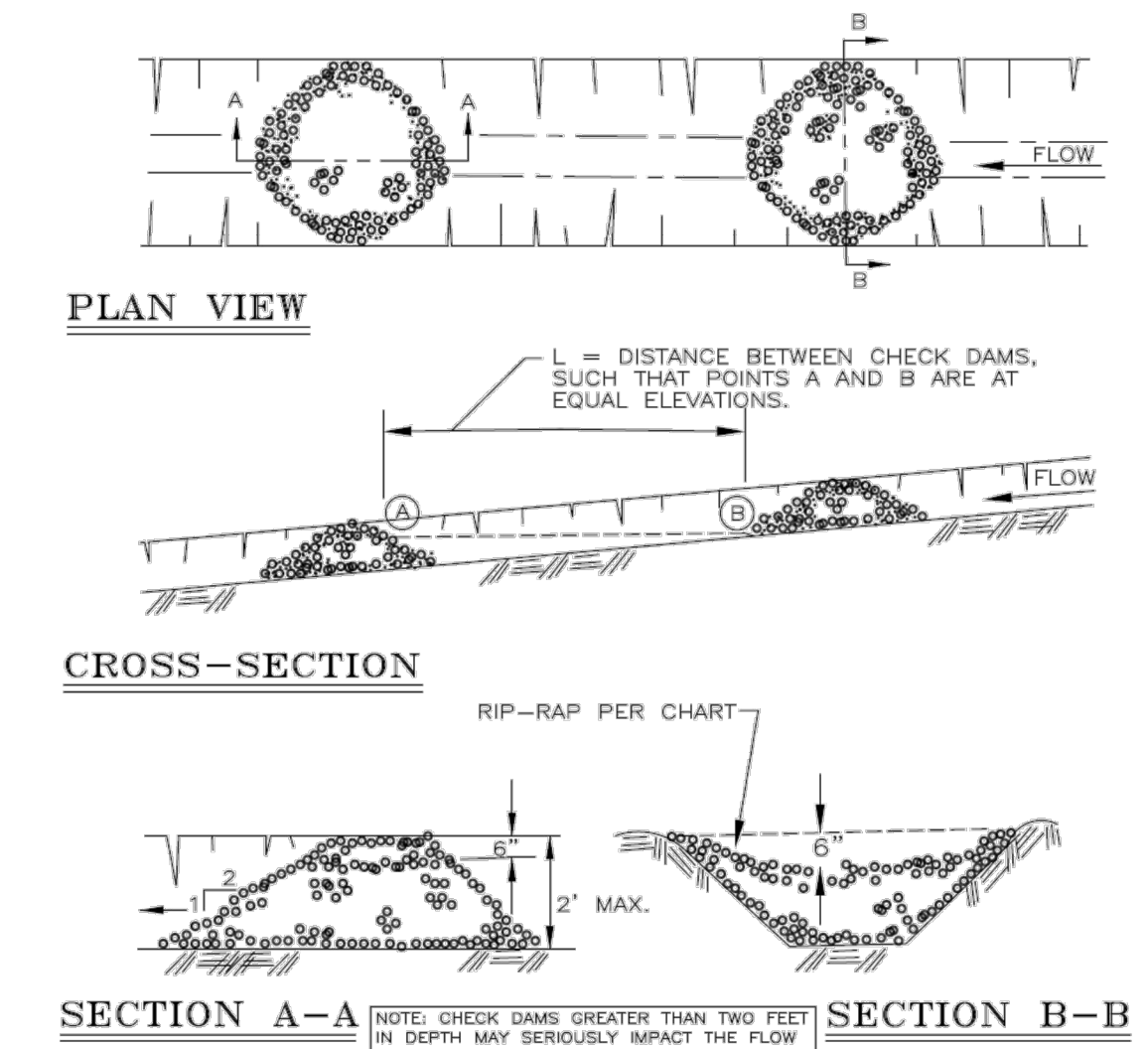
(ALL ALTERNATIVES MUST BE PRE-APPROVED BY THE INSPECTOR ON A CASE BY CASE BASIS)



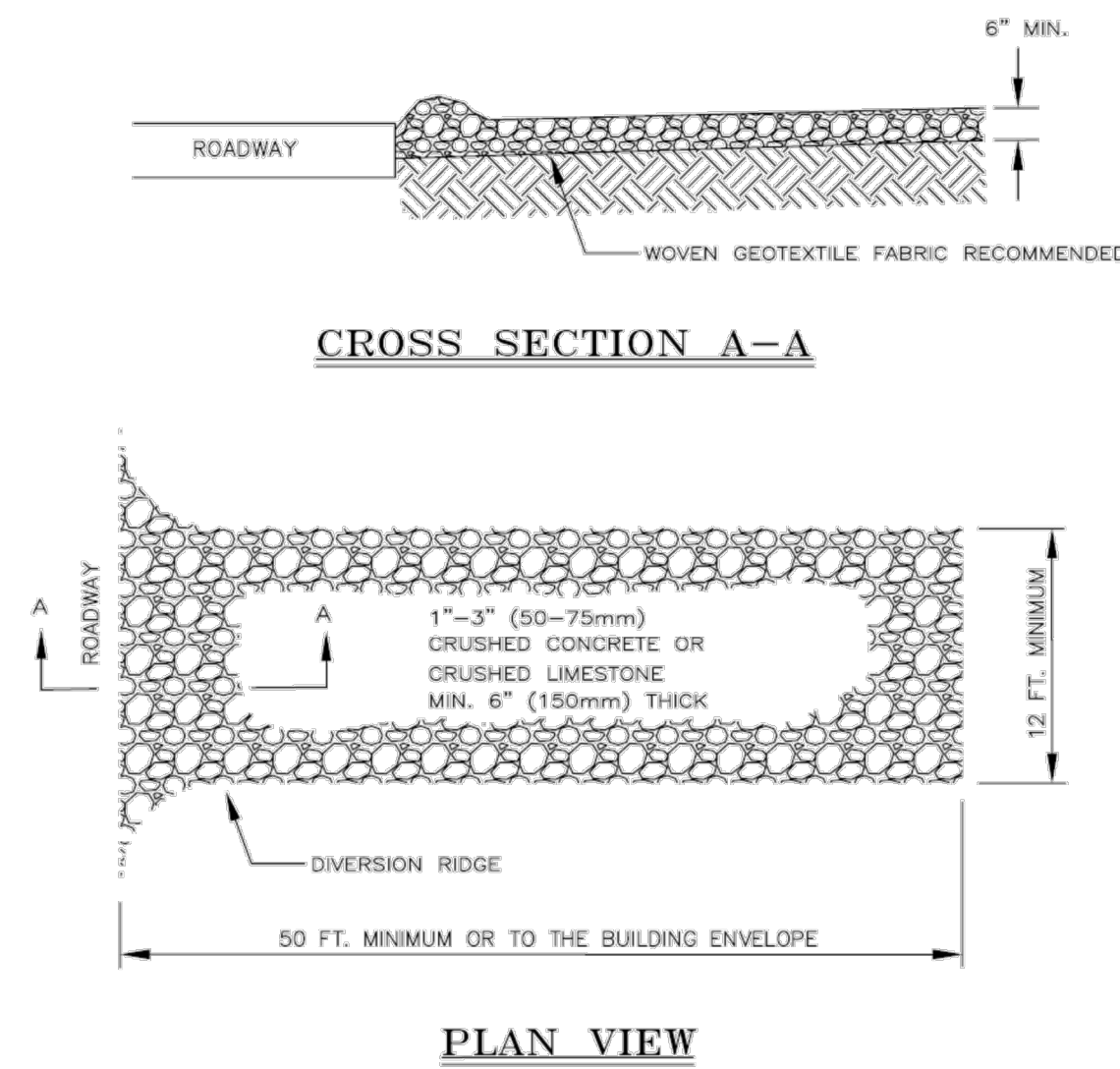
**36" SILT FENCE**  
WINTER FROZEN GROUND INSTALLATION  
STANDARD CONTROL



**ANGULAR RIP RAP CHECK DAM**  
STANDARD CONTROL

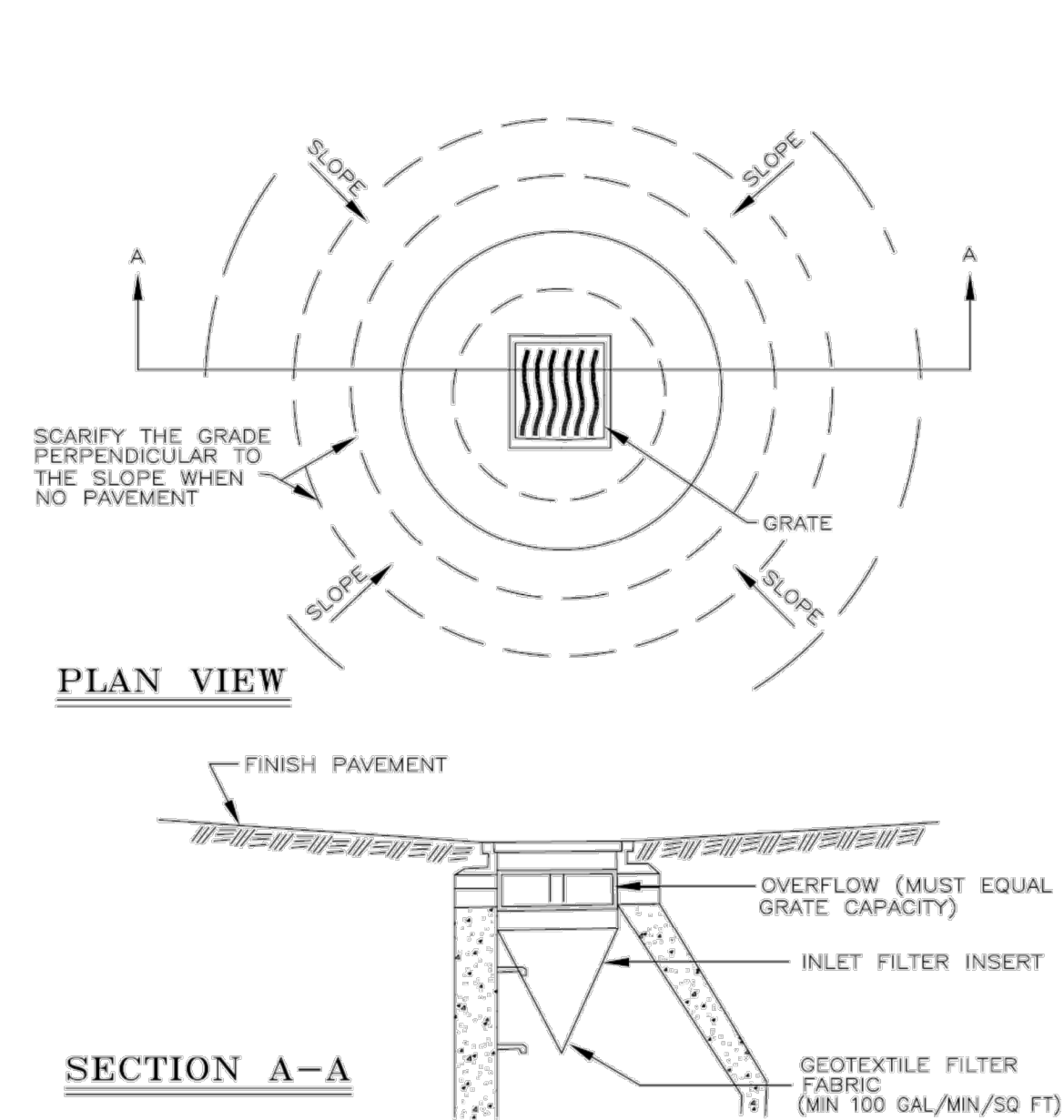


**TRACKING MAT**  
STANDARD CONTROL



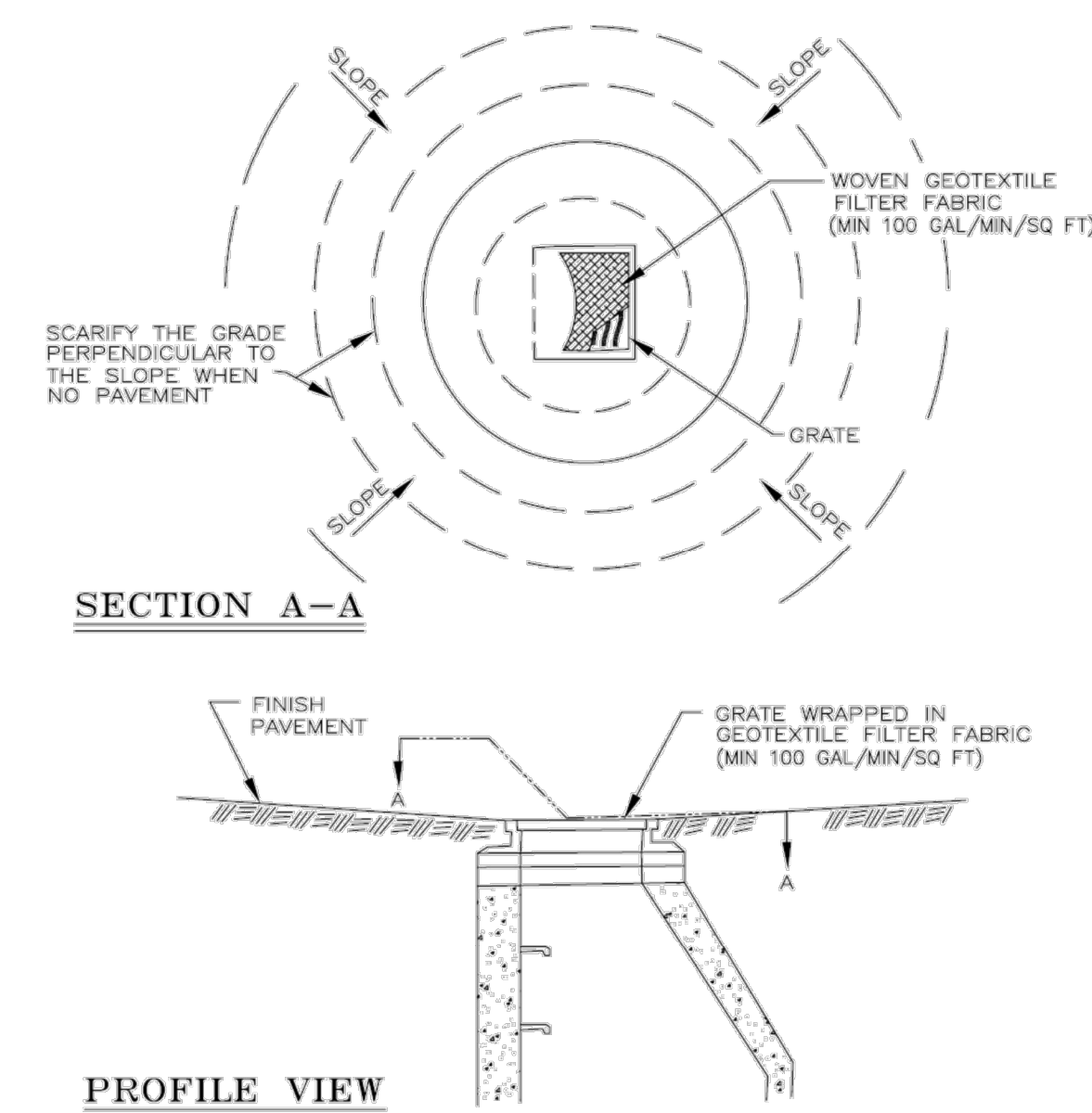
**SILT SACK OR APPROVED EQUAL LOW POINT/YARD INLET FILTER**  
STANDARD CONTROL YEAR ROUND OR WINTER USE

APPROVED FOR USE DURING WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



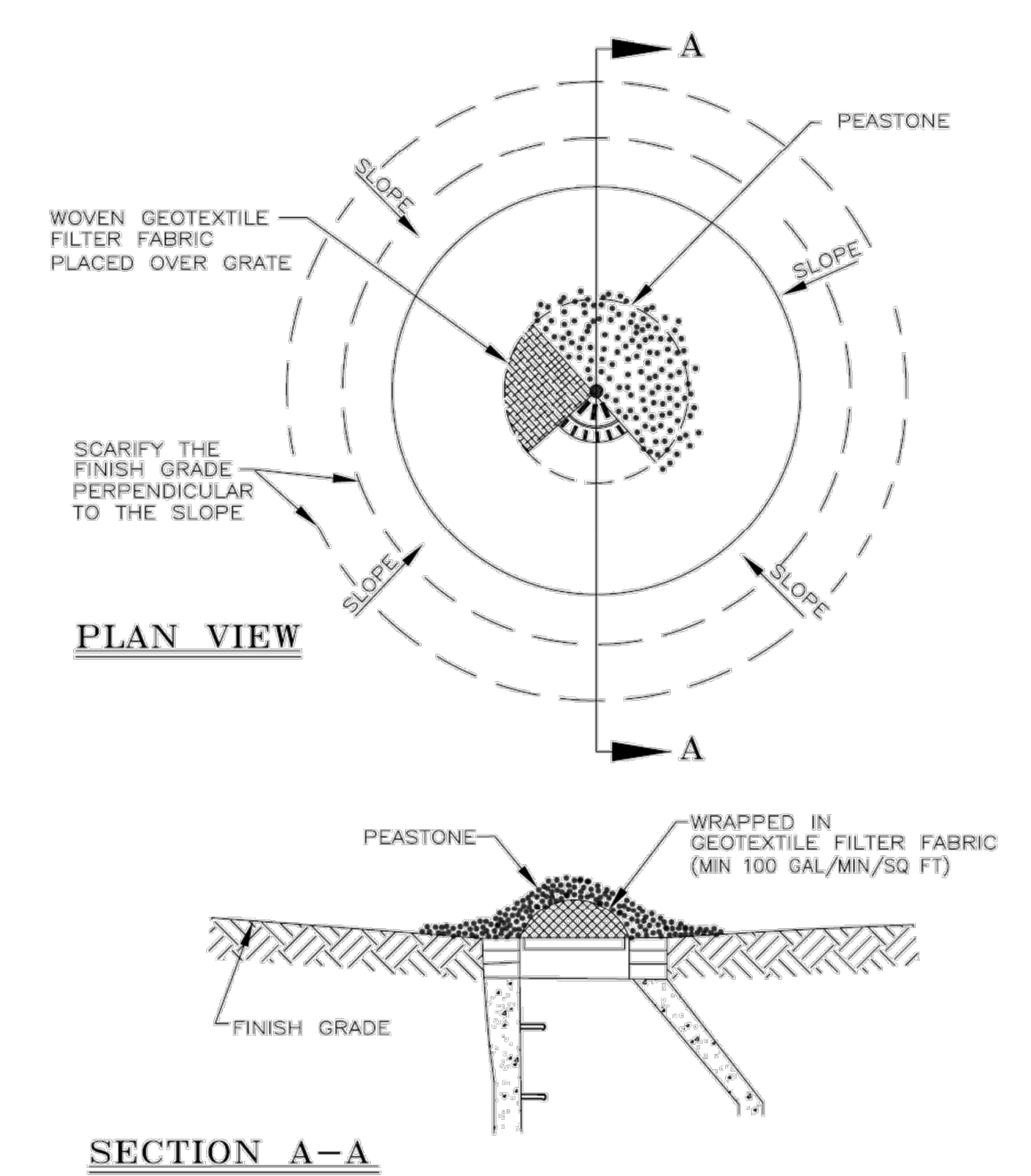
**GEOTEXTILE FABRIC LOW POINT/YARD INLET FILTER**  
STANDARD CONTROL NON-WINTER USE

NOT FOR USE IN WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



**GEOTEXTILE & PEASTONE LOW POINT/YARD INLET FILTER**  
STANDARD CONTROL NON-WINTER USE

NOT FOR USE IN WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



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Item #	DESCRIPTION
REV#	DATE

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Whitmore Lake, MI 48189  
734.947.2700  
www.wadetrिम.com



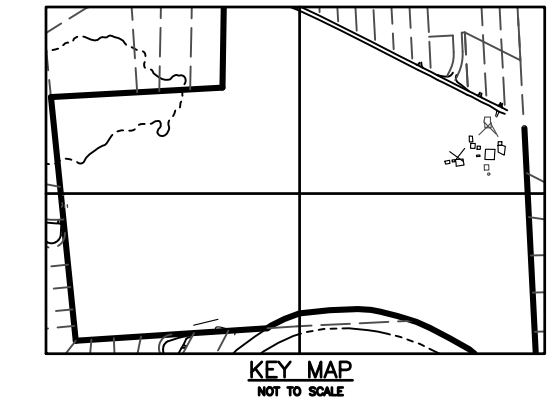
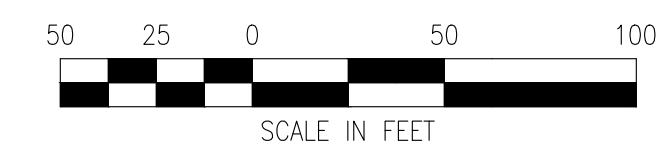
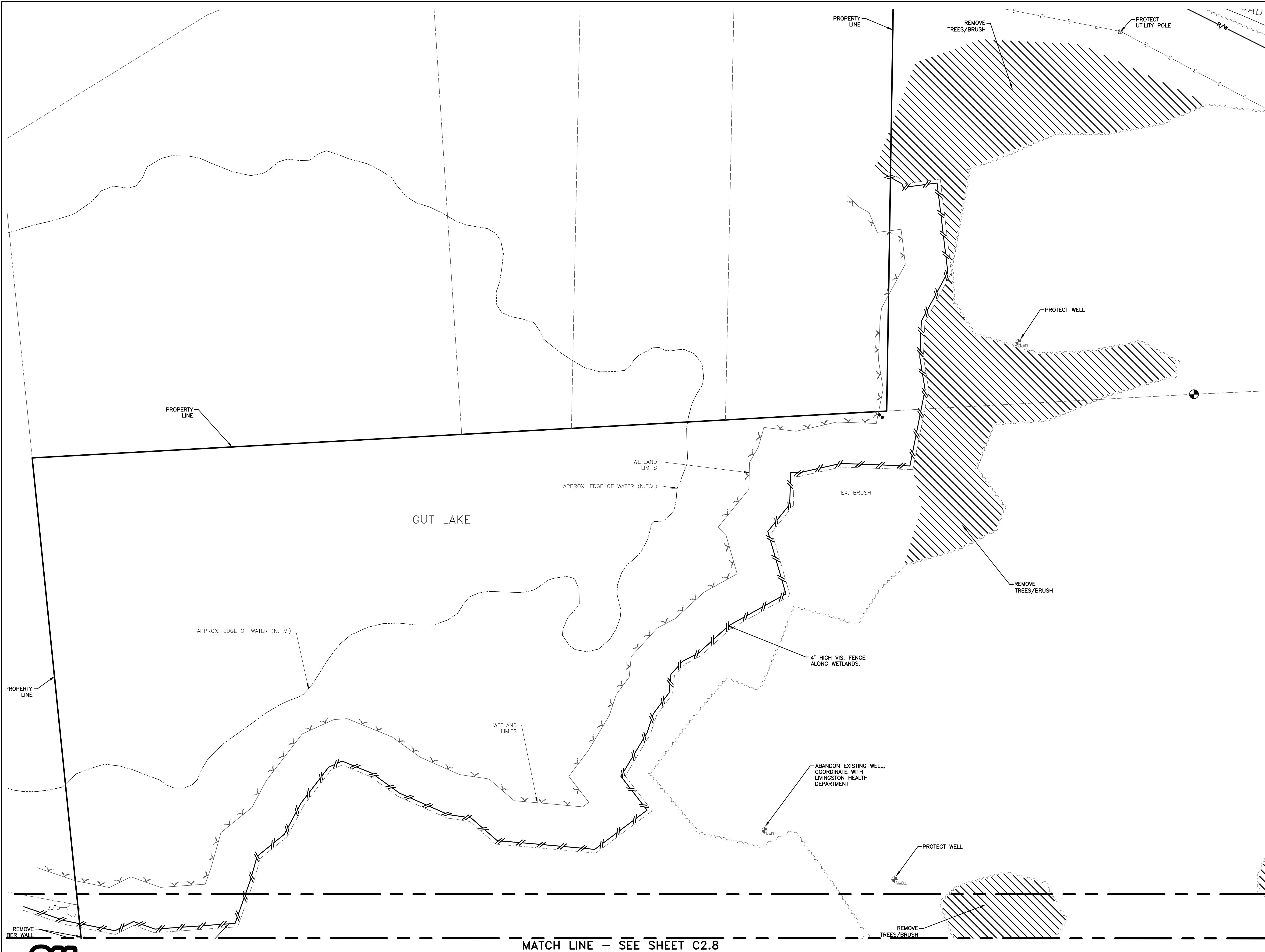
FREEDOM RIVER, INC.  
9305 HURON RAPIDS DRIVE  
WHITMORE LAKE, MI 48189  
SESC DETAILS  
FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA DATE: 6/1/23 BY: GLS

JOB NO. VCM2001

SHEET C2.5

PROJECT MANAGER: W. WORKMAN/VADE-TRIM\_CSPRESS/D1228134/P13-SITE\_DEMO.DWG - C2.6 DEMOLITION PLAN - A - PLOTTED: 6/1/2023 4:34 PM BY: SPIESS, GREG



MATCH LINE - SEE SHEET C2.7

MATCH LINE - SEE SHEET C2.8



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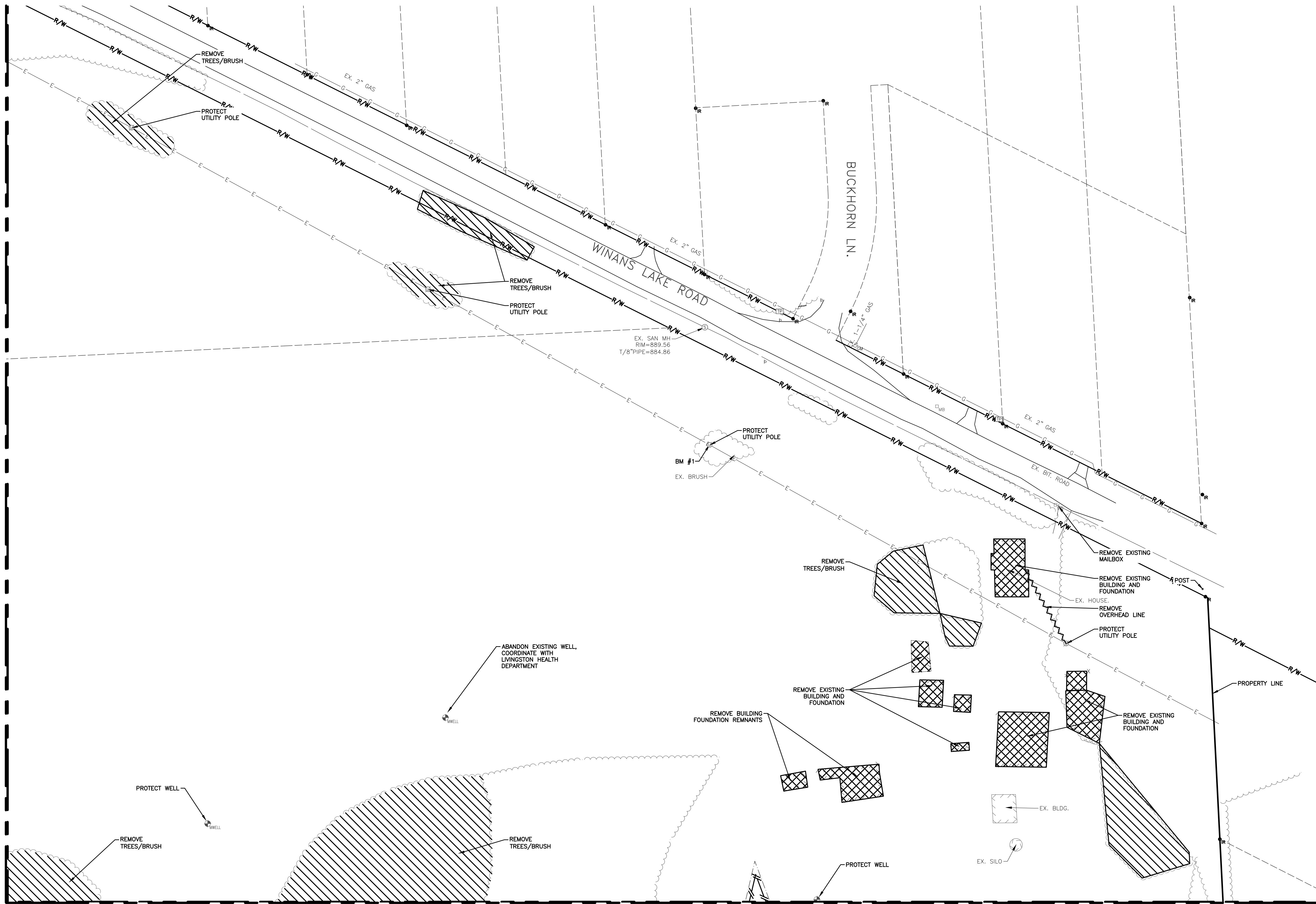
2520 Northline Rd.  
Liveston, MI 48150  
734.947.7070  
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**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
 DEMOLITION PLAN - A  
 FOR  
 FREEDOM RIVER CAMPGROUND

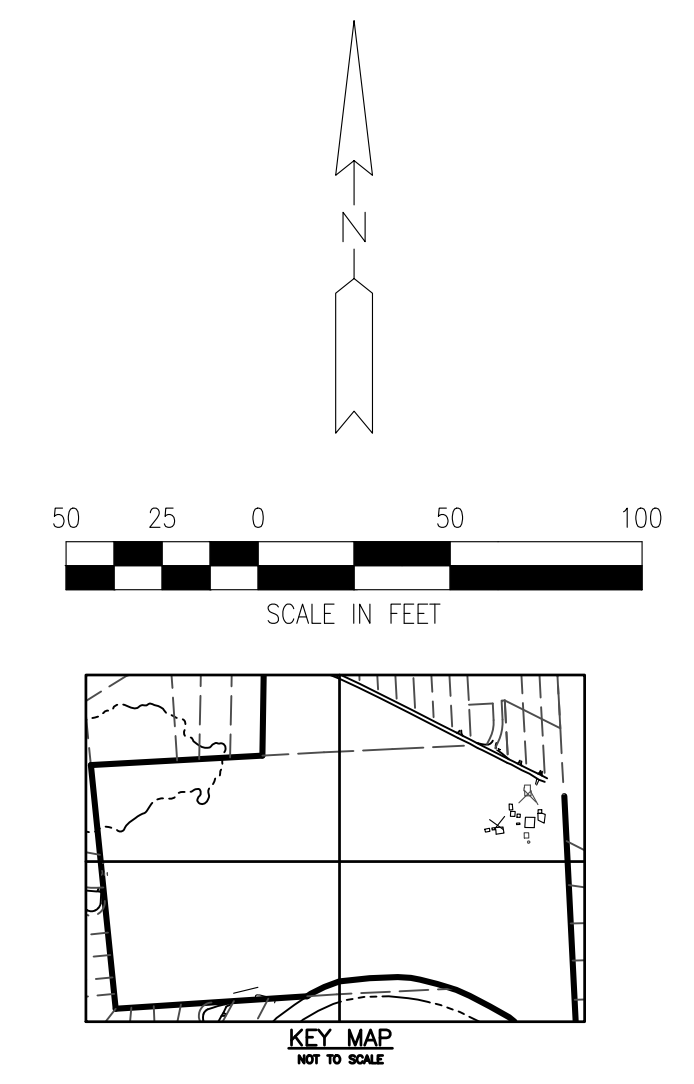
ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
JOB NO. VCM2001		
SHEET C2.6		

PROJECT MANAGER: C:\PW\_WORK\WADE-TRIM\_GSP\SSP\SSP\1228134\PLTS-SITE\_DEMO.DWG - C2.7 DEMOLITION PLAN - B - PLOTTED 6/1/2023 4:34 PM BY: SPIESS, GREG

MATCH LINE - SEE SHEET C2.6



MATCH LINE - SEE SHEET C2.9



REV#	DATE	DESCRIPTION

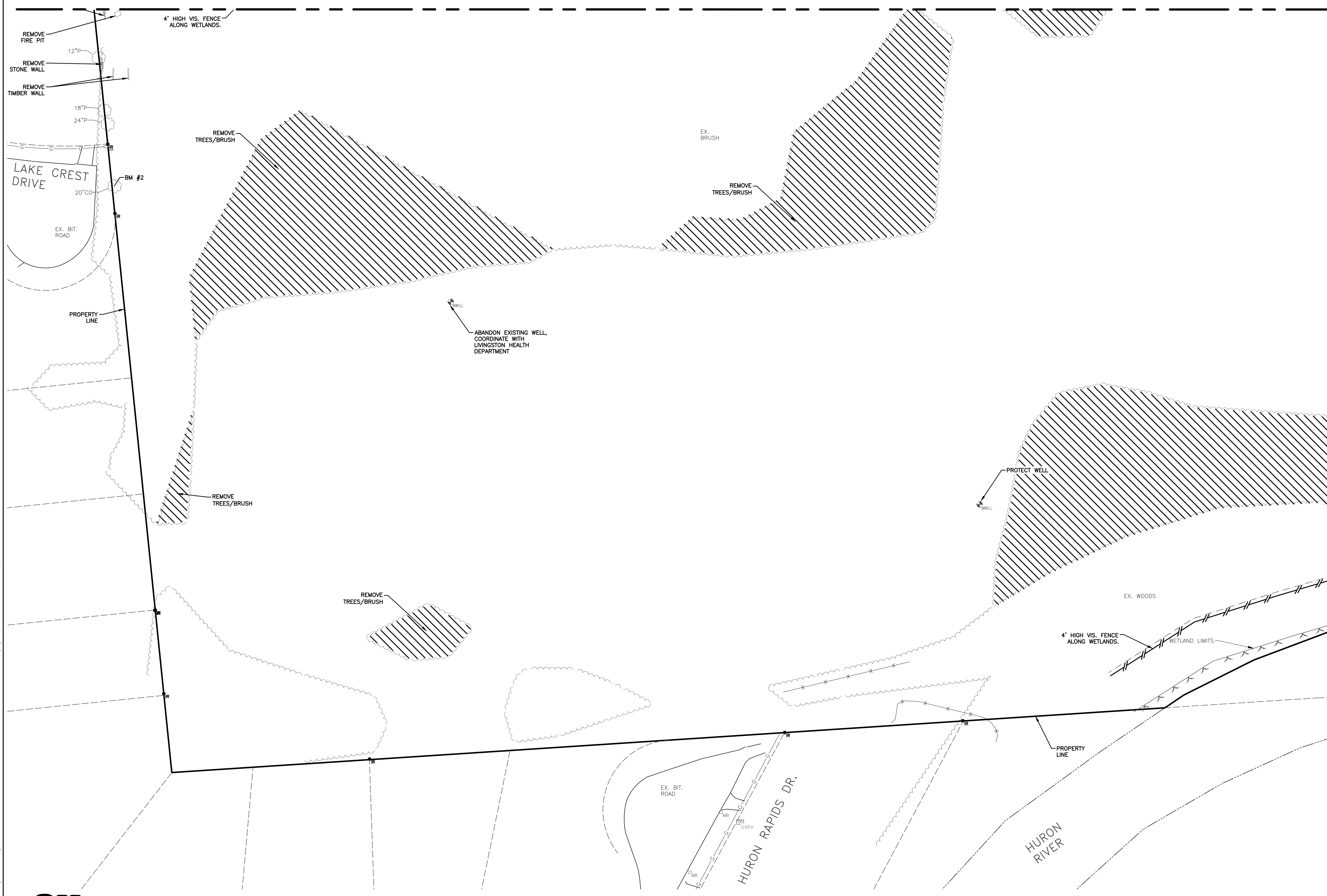
25251 Northline Rd.  
Whitefish Lake, MI 49783  
734.947.2700  
www.wadetrिम.com

**WADE TRIM**

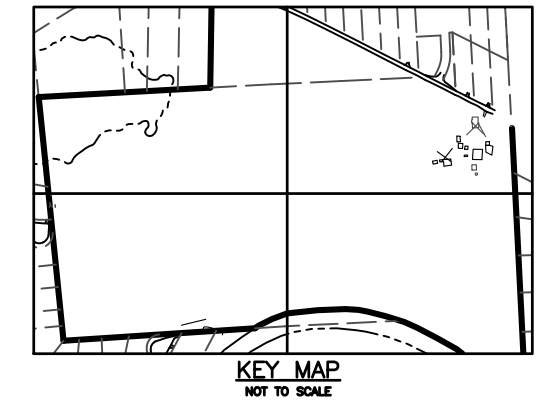
**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
 DEMOLITION PLAN - B  
 FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
JOB NO. VCM2001		
SHEET C2.7		

PROJECT MANAGER: G:\FW\_WORK\WADE-TRIM\_GSPRESS\1228134\PLTS-SITE\_DEMO.DWG - C2.8 DEMOLITION PLAN - C - PLOTTED 6/1/2023 4:34 PM BY: SPIESS, GREG



MATCH LINE - SEE SHEET C2.6



MATCH LINE - SEE SHEET C2.9



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25251 Northline Rd.  
Liveston, MI 48150  
734.947.2700  
www.wadetrim.com

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**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
 DEMOLITION PLAN - C  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA  
 DATE: 6/1/23  
 BY: GLS

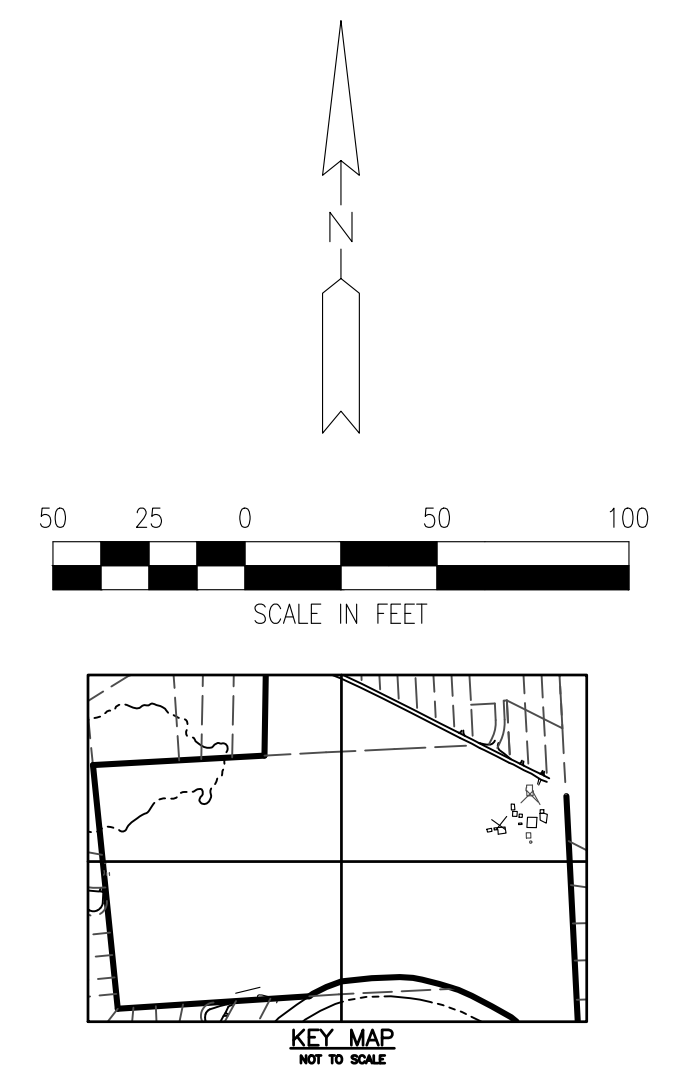
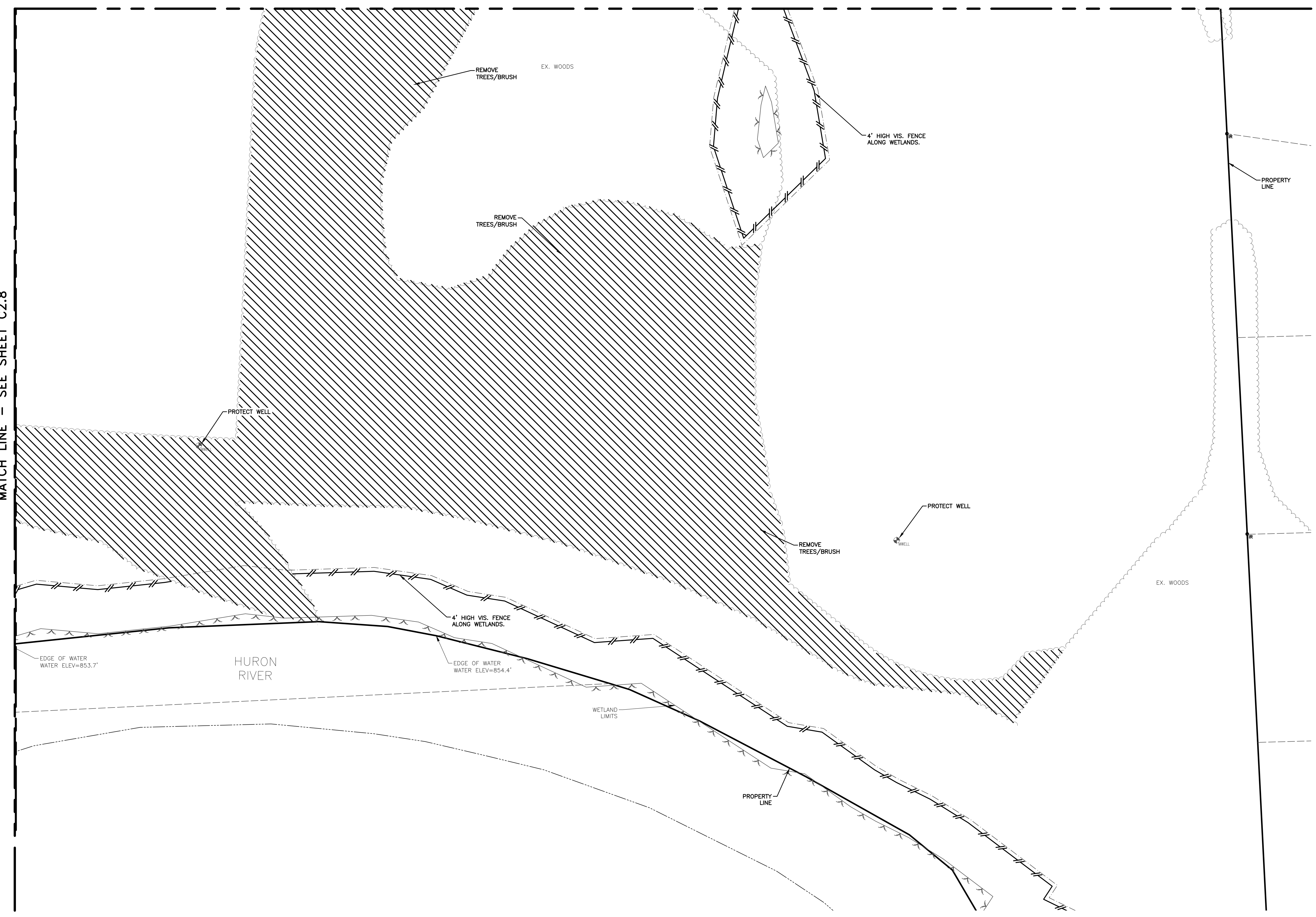
JOB NO. VCM2001

SHEET C2.8


PROJECT MANAGER: C:\PW\_WORK\WADE-TRIM\_CSPRESS\1228134\PLTS-SITE\_DEMO.DWG - C2.9 DEMOLITION PLAN - D - PLOTTED 6/1/2023 4:34 PM BY: SPIESS, GREG

MATCH LINE - SEE SHEET C2.8

MATCH LINE - SEE SHEET C2.7



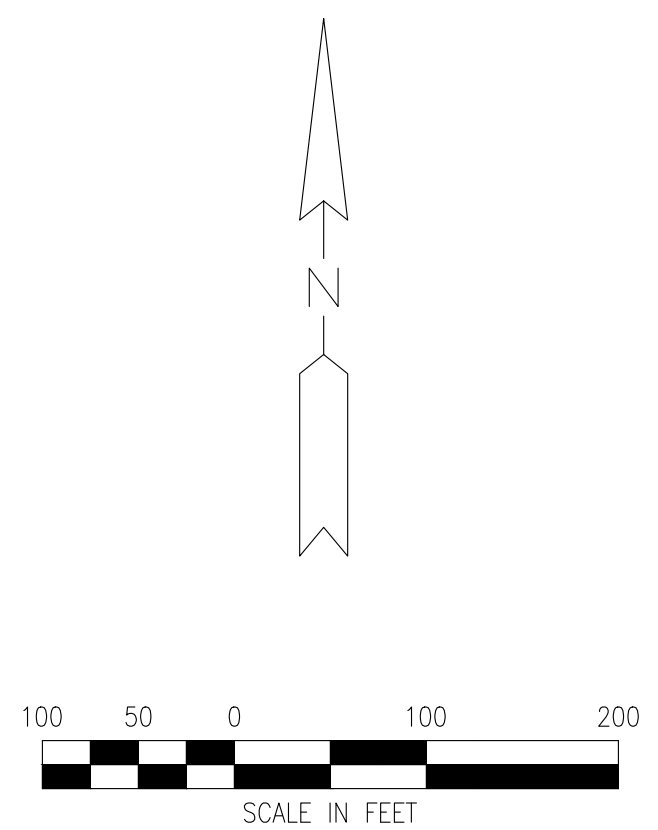
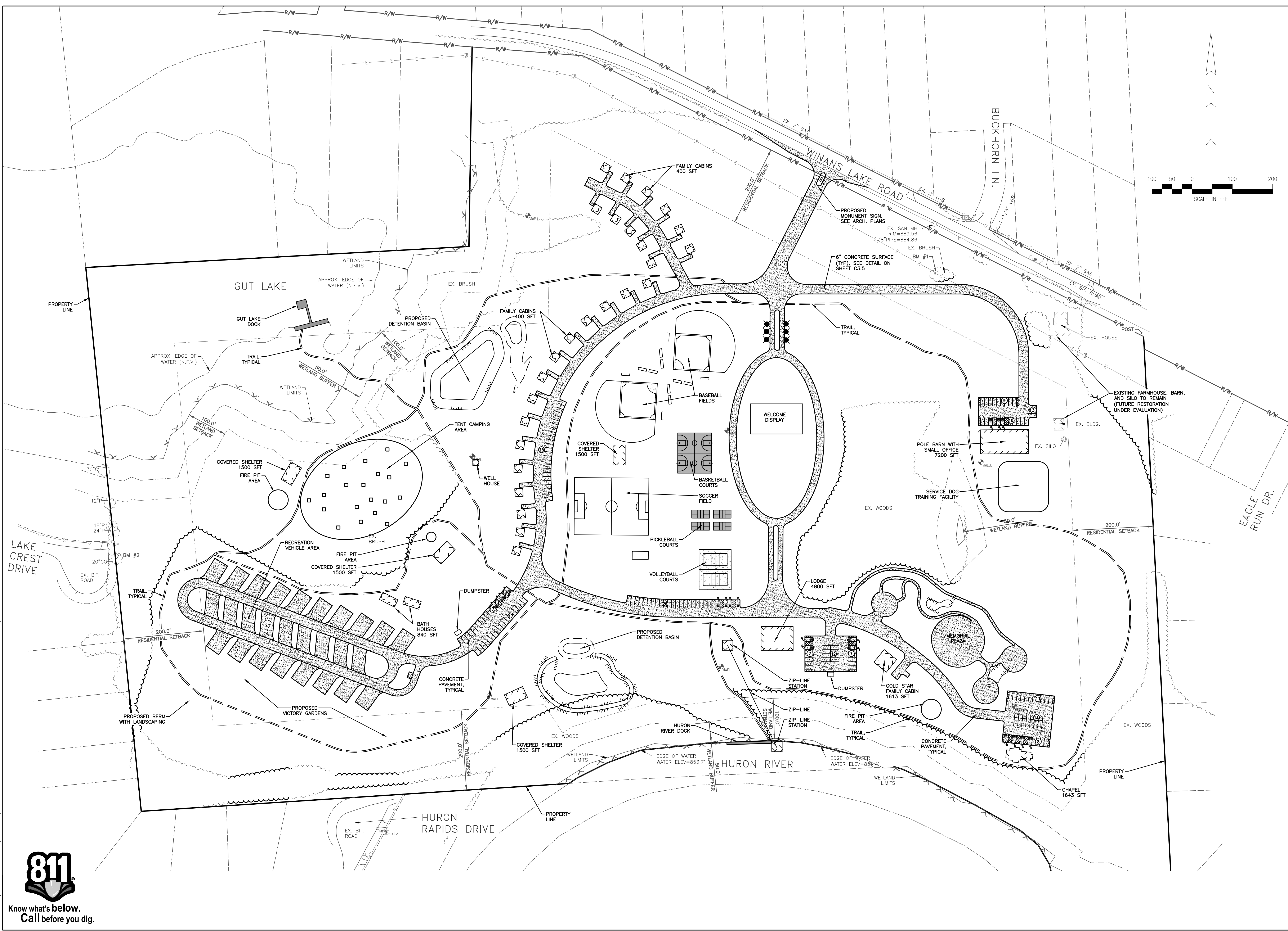
REV#	DATE	DESCRIPTION


  
 WADE TRIM
   
25251 Northline Rd.  
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**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
 FOR  
 DEMOLITION PLAN - D  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
JOB NO. VCM2001		
SHEET C2.9		

FIELD BOOK INFORMATION: C:\PW\_WORK\WADE-TRIM\_GSPRESS\1228134\PLTS-OVERALL SITE PLAN.DWG - C3.0 OVERALL SITE PLAN - PLOTTED 6/1/2023 4:34 PM BY SPRESS, GREG



REV#	DATE	DESCRIPTION

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 9305 HURON RAPIDS DRIVE  
 WHITEMORE LAKE, MI 48189

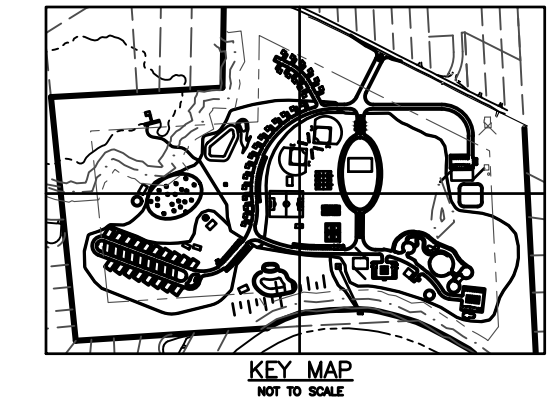
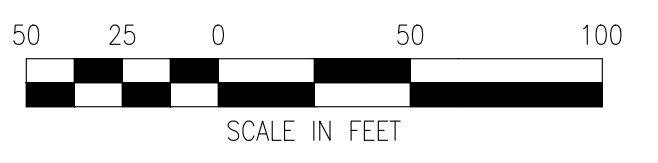
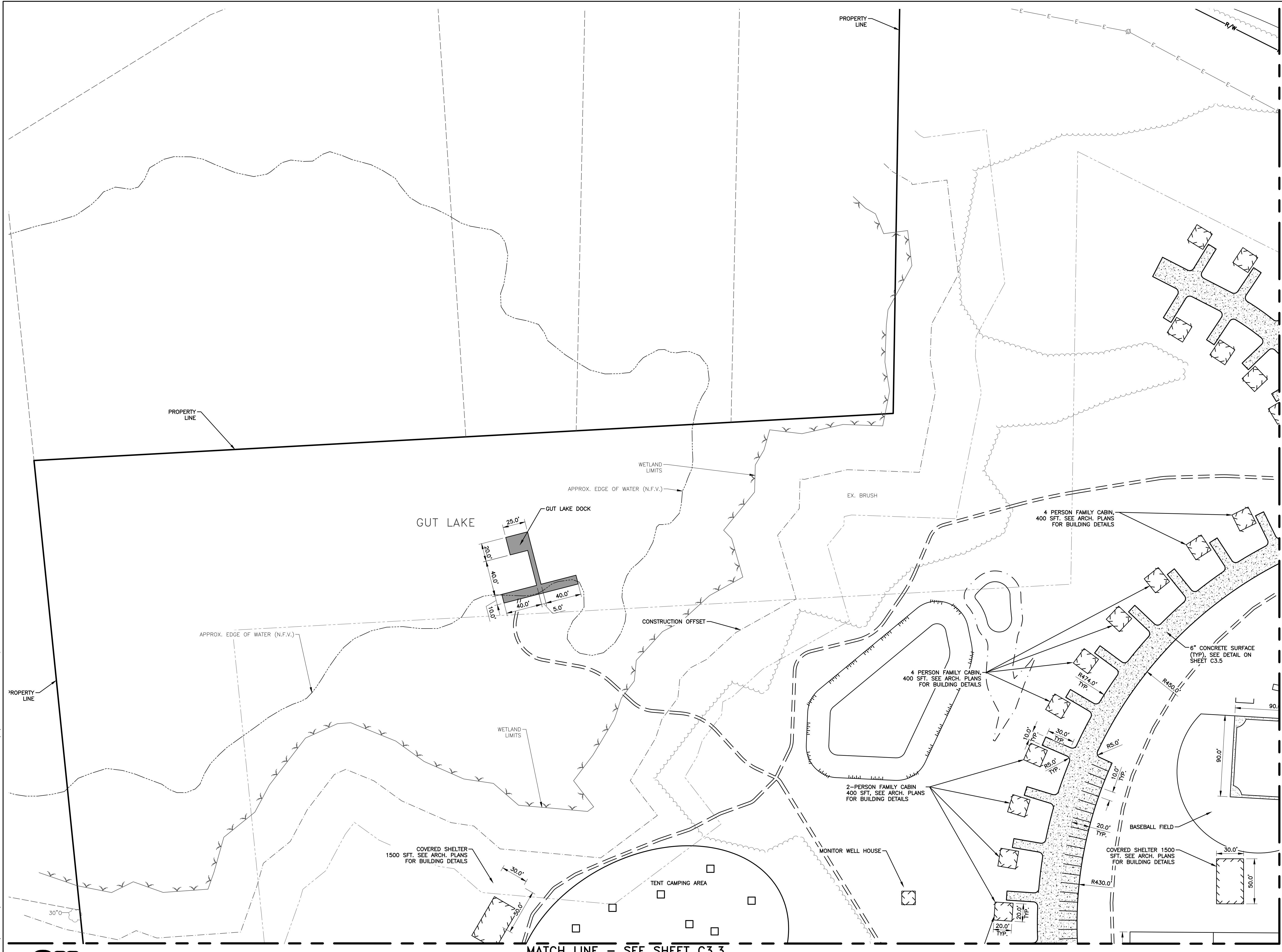
OVERALL SITE PLAN  
 FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
JOB NO. VCM2001		
SHEET C3.0		





PROJECT MANAGER: TRIM, WADE-TRIM, GSPRESS, D1228134\PLTS-SITE PLAN.DWG - C3.1 SITE PLAN - A - PLOTTED 6/17/2023 4:34 PM BY: SPIESS, GREG  
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REV#	DATE	DESCRIPTION

  
**WAIDE TRIM**  
 2520 Northline Rd.  
 Whittemore Lake, MI 48189  
 734.947.2700  
 www.waide-trim.com

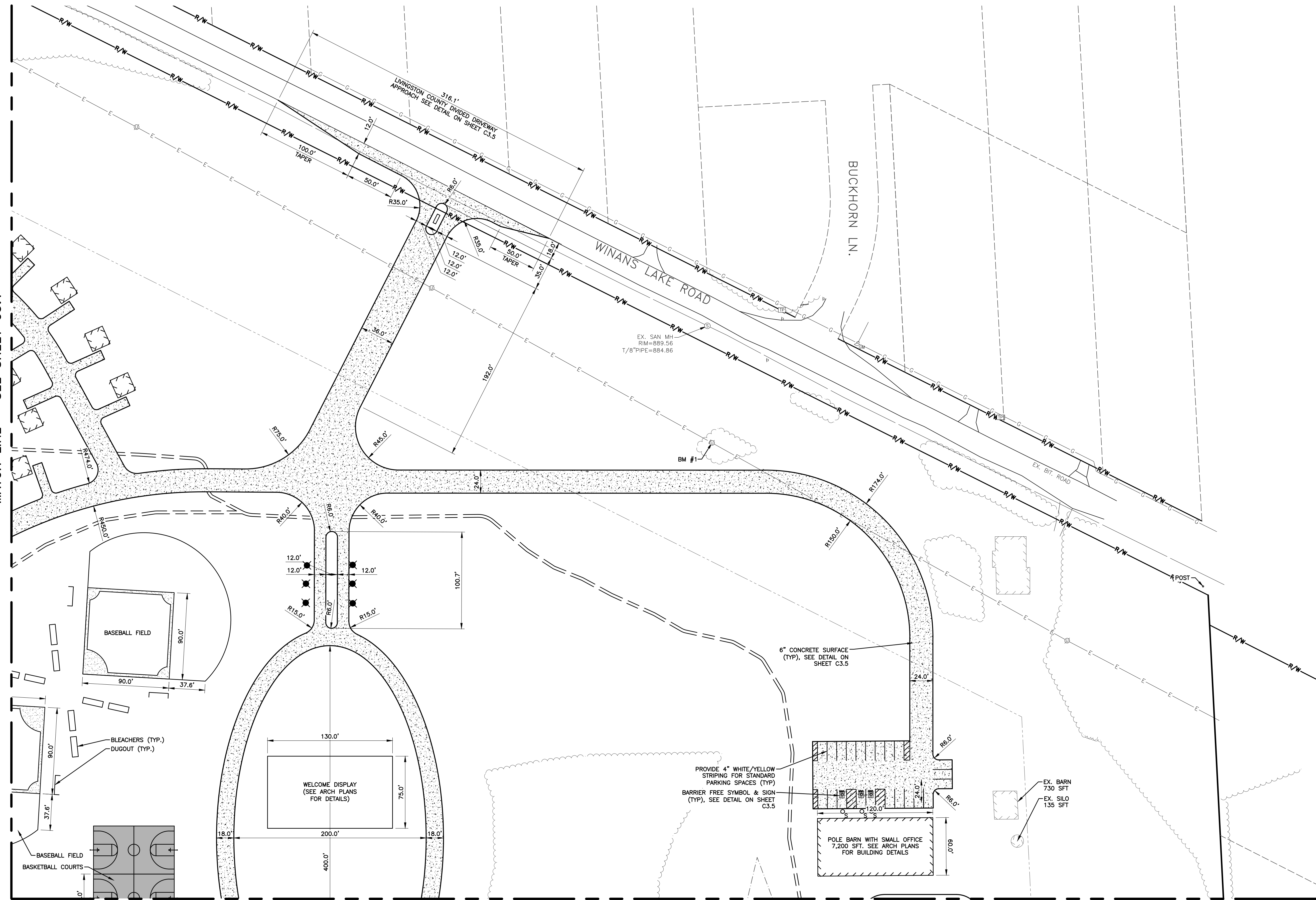
**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
 SITE PLAN - A  
 FOR  
 FREEDOM RIVER CAMPGROUND

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JOB NO. VCM2001		
SHEET C3.1		



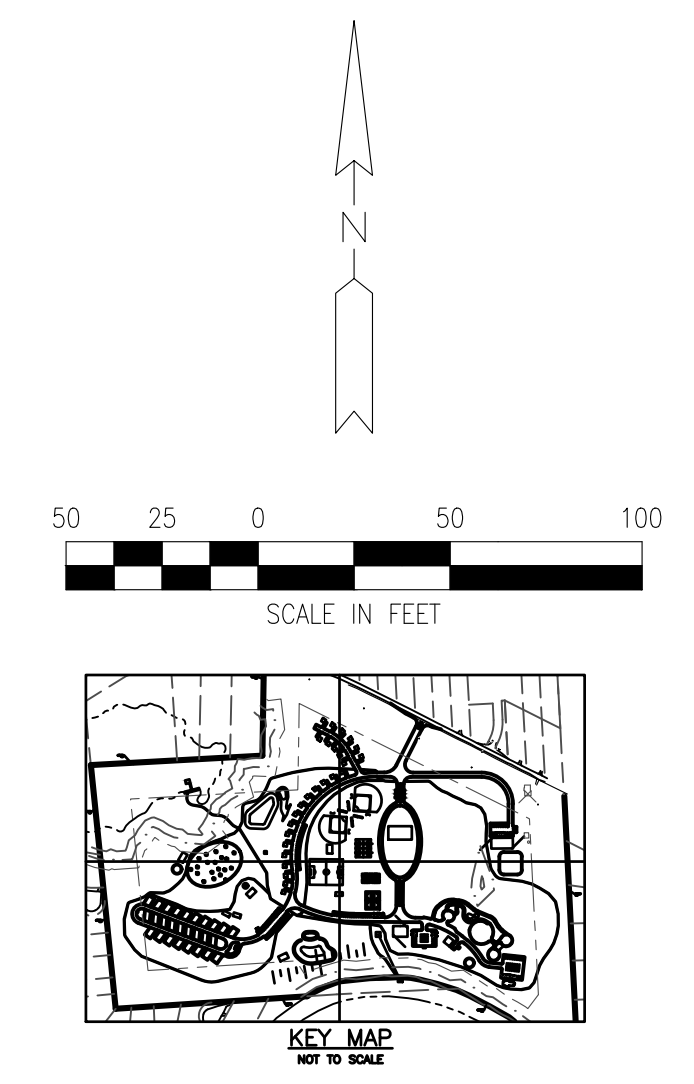
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MATCH LINE - SEE SHEET C3.1

MATCH LINE - SEE SHEET C3.4



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 SITE PLAN - B  
 FOR  
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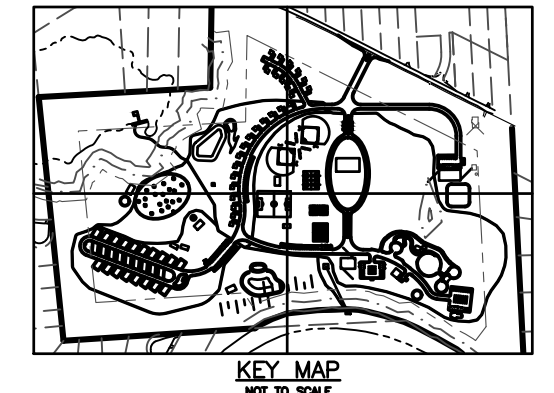
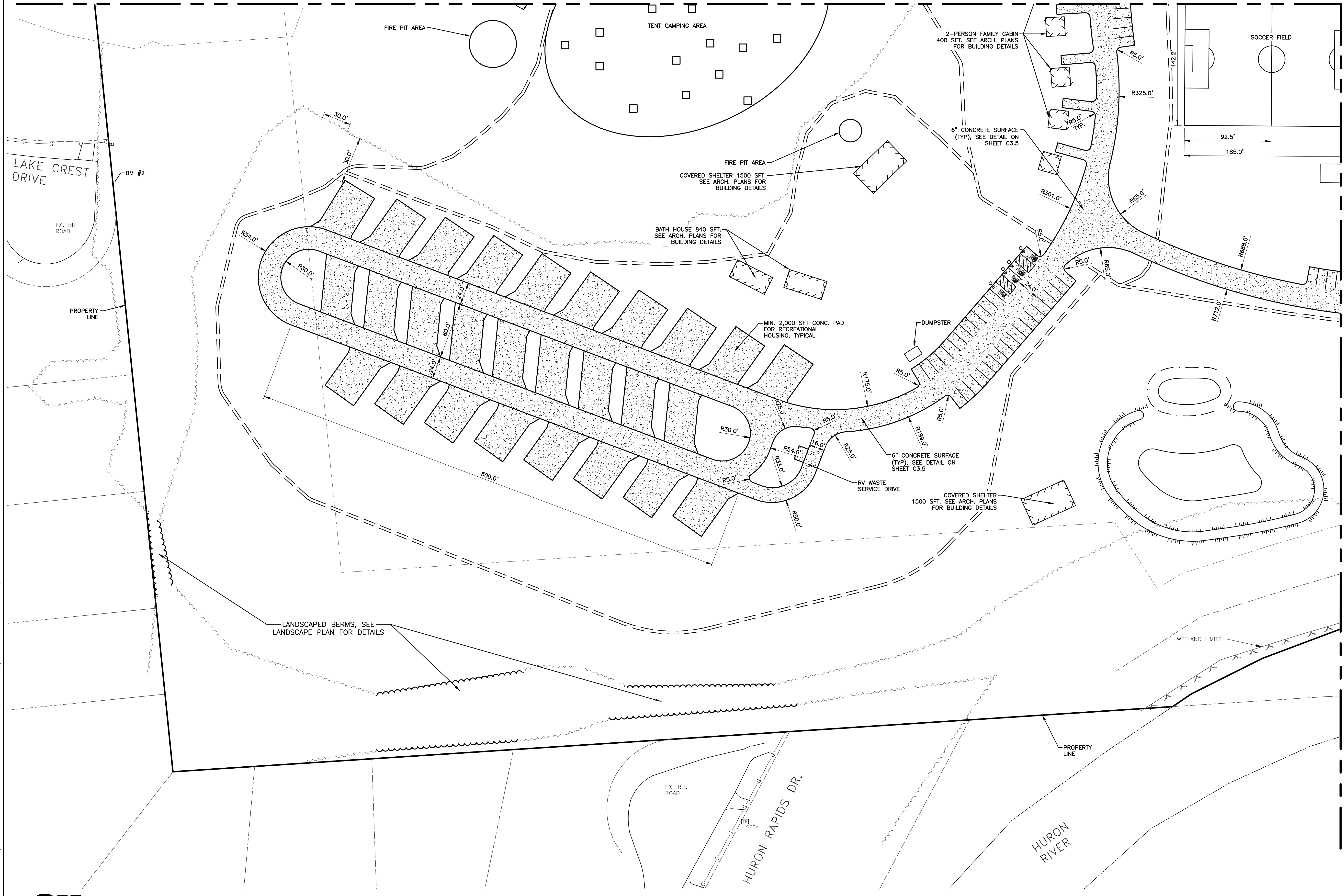
ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
JOB NO. VCM2001		
SHEET C3.2		

PROJECT MANAGER: W. WORK/VADE-TRIM\_CSPRESS/D1228134/PLTS-SITE\_PLAN.DWG - C3.3 SITE PLAN - C - PLOTTED 6/7/2023 4:34 PM BY SPRESS, GREG



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MATCH LINE - SEE SHEET C3.1



MATCH LINE - SEE SHEET C3.4

REV#	DATE	DESCRIPTION

25201 Northline Rd.  
Whitmore Lake, MI 48189  
734.947.2700  
www.wadetrim.com

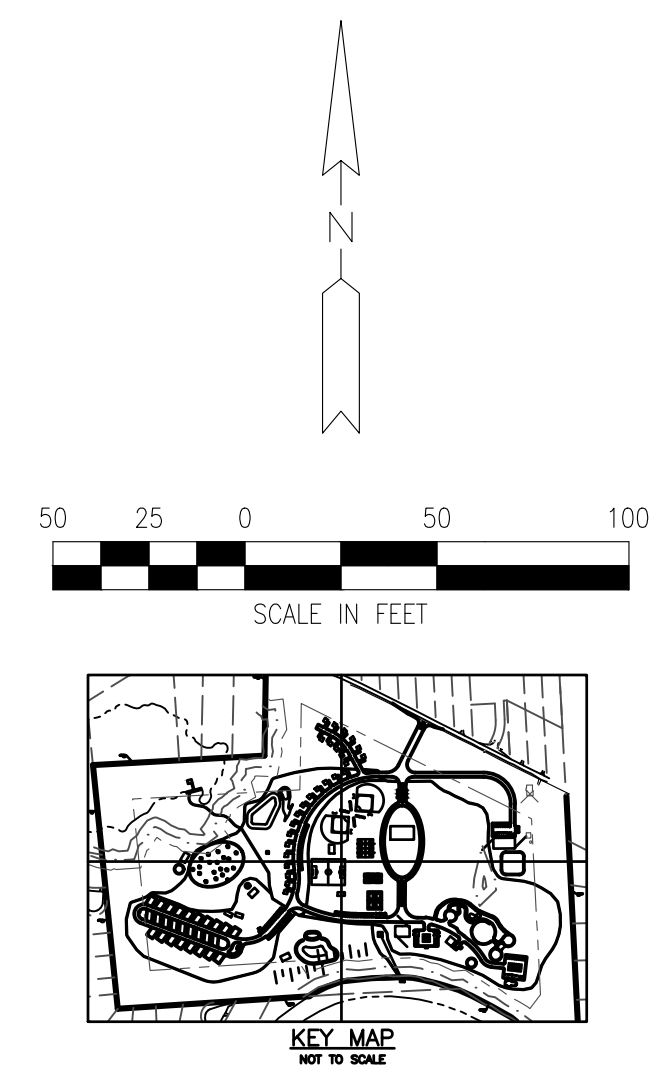
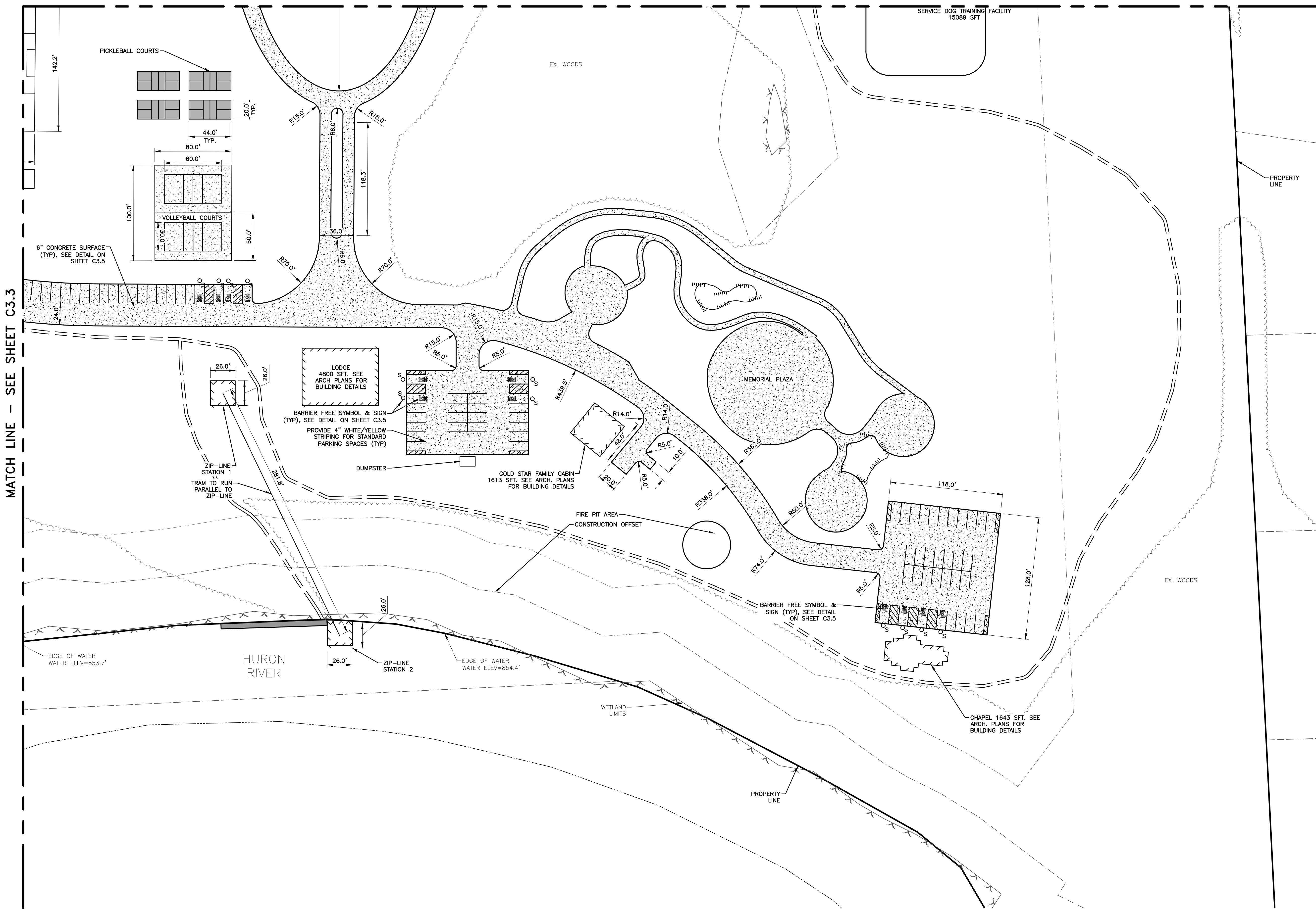
**FREEDOM RIVER, INC.**  
9305 HURON RAPIDS DRIVE  
WHITMORE LAKE, MI 48189  
SITE PLAN - C  
FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA DATE: 6/1/23 BY: GLS

JOB NO. VCM2001

SHEET C3.3

MATCH LINE - SEE SHEET C3.2



MATCH LINE - SEE SHEET C3.3

PROJECT MANAGER: C:\PW\_WORK\WADE-TRIM\_GSPRESS\1228134\PLTS-SITE\_PLAN.DWG - C3.4 SITE PLAN - D - PLOTTED 6/7/2023 4:34 PM BY SPRESS, GREG



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WADE TRIM

**FREEDOM RIVER, INC.**  
 9305 HURON RAPIDS DRIVE  
 WHITEMORE LAKE, MI 48189  
 SITE PLAN - D  
 FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
JOB NO. VCM2001		
SHEET C3.4		

**NOTES**

**CONCRETE NOTES**

- ALL CONCRETE SHALL BE 4500 PSI CONCRETE MIX UNLESS OTHERWISE NOTED.
- ALL POLY FIBER REINFORCED CONCRETE SHALL HAVE A MIX RATIO OF 1.5 LBS OF POLY FIBER PER 1.0 CYD OF CONCRETE.

**CONCRETE JOINTS**

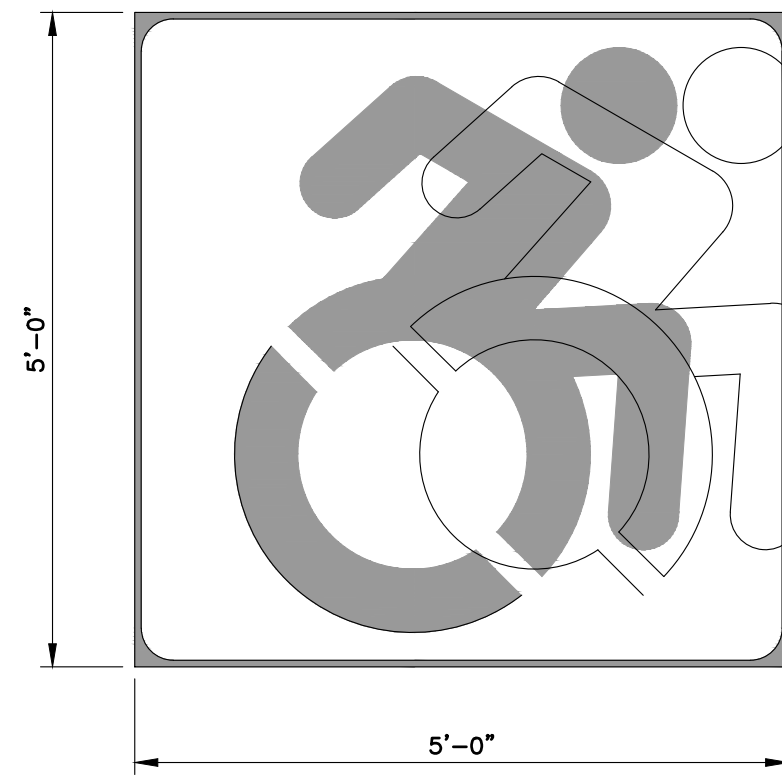
- THE CONTRACTOR MUST PREPARE A JOINTING PLAN AND SUBMIT TO ENGINEER AS A SHOP DRAWING FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE.
- BEGIN SAW CUTS AFTER THE CONCRETE HAS HARDENED ENOUGH TO PERMIT SAWING WITH OUT RAVELING OR DISPLACING AGGREGATES.
- IF CRACKS DEVELOP AHEAD OF THE SAWCUT, STOP SAWING THAT JOINT. ONCE THE CONCRETE HAS SUITABLY CURED USE CRACK SAWS TO FORM JOINT SEALANT RESERVOIRS ALONG THE CRACK LINE.
- JOINT SPACING:
  - MAXIMUM SLAB SIZE = 2 X SLAB THICKNESS (INCHES TO FEET). I.E.: 2 X 6 INCHES = 12 FEET - 15 FEET IS ABSOLUTE MAX.
  - RECOMMENDED MAXIMUM JOINT SPACING (SMALLER IS BETTER)
    - 4" SLAB: 6 FEET
    - 6" SLAB: 10 FEET
    - 8" SLAB: 14 FEET
    - 9" SLAB: 15 FEET
- CATCH BASIN AND MANHOLE CASTINGS REQUIRE A BOXOUT OR ISOLATION TO ALLOW FOR VERTICAL AND HORIZONTAL SLAB MOVEMENT.
- SAWCUT JOINTS SHALL BE CONTINUOUS ACROSS THE SLAB AND SHALL MATCH LOCATION OF JOINTS ON ABUTTING CONCRETE SLABS.
- CONTRACTOR SHALL PROVIDE ISOLATION/EXPANSION JOINTS BETWEEN SLABS OR AT STRUCTURES.
- THE CONTRACTOR SHALL PROVIDE CONSTRUCTION JOINTS AT EDGE OF POURS OR FORM LINES.
- THE CONTRACTOR SHALL PROVIDE CONTRACTION JOINTS (SAW CUTS OR TOOLED) EQUALLY SPACED AS IDENTIFIED IN NOTE 4 THIS SHEET.

**ASPHALT**

- THE LEVELING COURSE SHALL BE MDOT 4E1 OR APPROVED EQUAL (13A LVSP).
- THE WEARING COURSE SHALL BE MDOT 5E OR APPROVED EQUAL (36A).
- THE ASPHALT BINDER SHALL BE PG 58-28.

**MATERIALS**

- GRANULAR MATERIAL - MDOT CLASS II SAND
- OPEN GRADED AGGREGATE - MDOT 6A OR AASHTO #57
- DENSE GRADED AGGREGATE - MDOT 21AA CRUSHED LIMESTONE
  - CONTRACTOR CAN USE CRUSHED CONCRETE/ASPHALT MEETING MDOT 21AA SPECIFICATIONS AS AGGREGATE BASE MATERIAL. CONTRACTOR SHALL INCREASE BASE THICKNESS BY 25%.



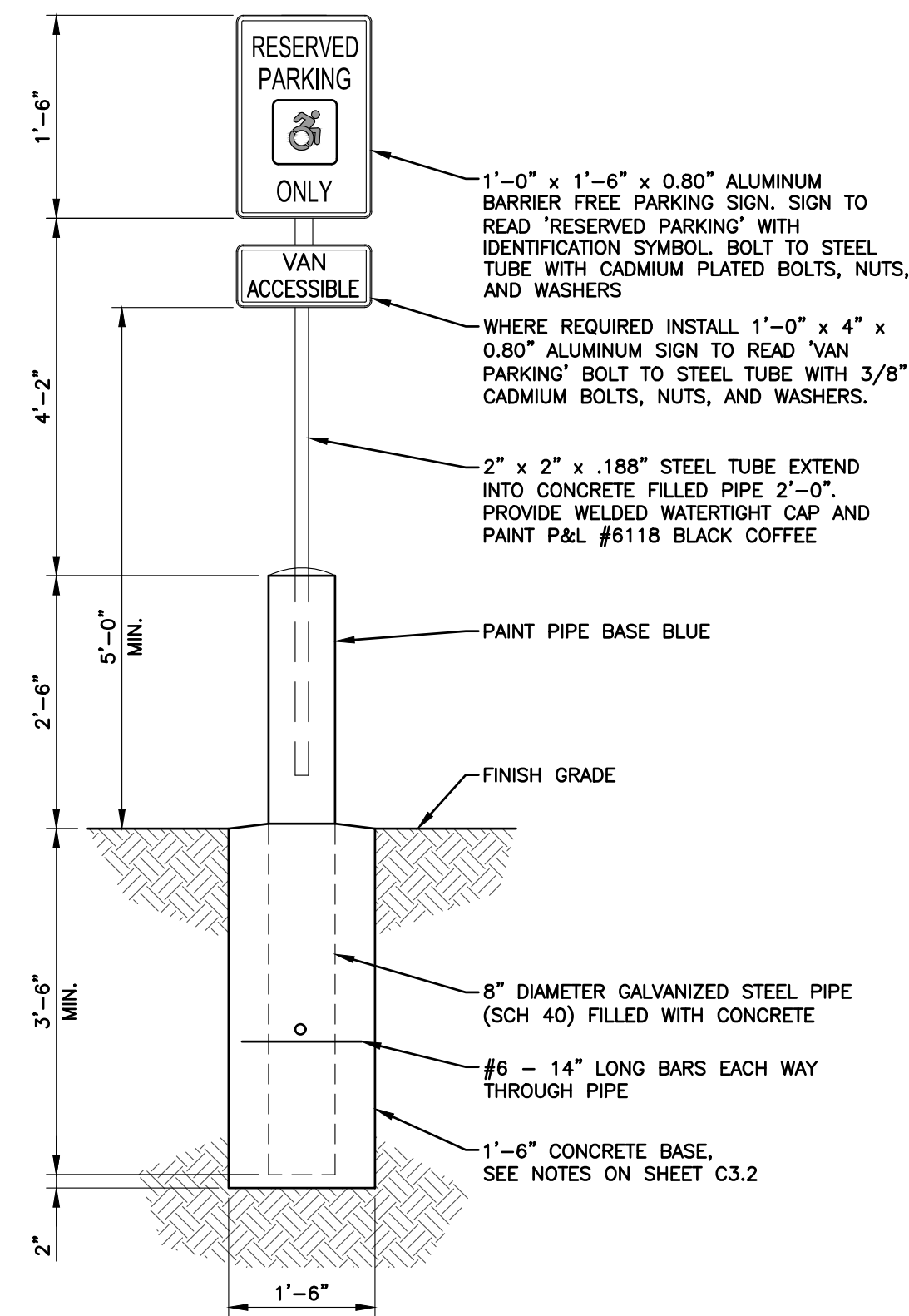
- NOTES:
- SYMBOL SHALL DEPICT A DYNAMIC CHARACTER LEANING FORWARD WITH A SENSE OF MOVEMENT.
  - PROVIDE CONTRASTING BACKGROUND WITH EITHER A WHITE SYMBOL ON BLUE BACKGROUND OR A BLUE SYMBOL ON A WHITE BACKGROUND.
  - SYMBOL SHALL BE SUBSTANTIALLY EQUIVALENT TO THE INTERNATIONAL SYMBOL OF ACCESS.
  - SYMBOL SHALL BE SIMPLE AND AVOID ANY SECONDARY MEANING.

BLUE PAINT DENOTING VAN ACCESSIBILITY WHERE APPLICABLE

**VAN**

**BARRIER FREE SYMBOL DETAIL**

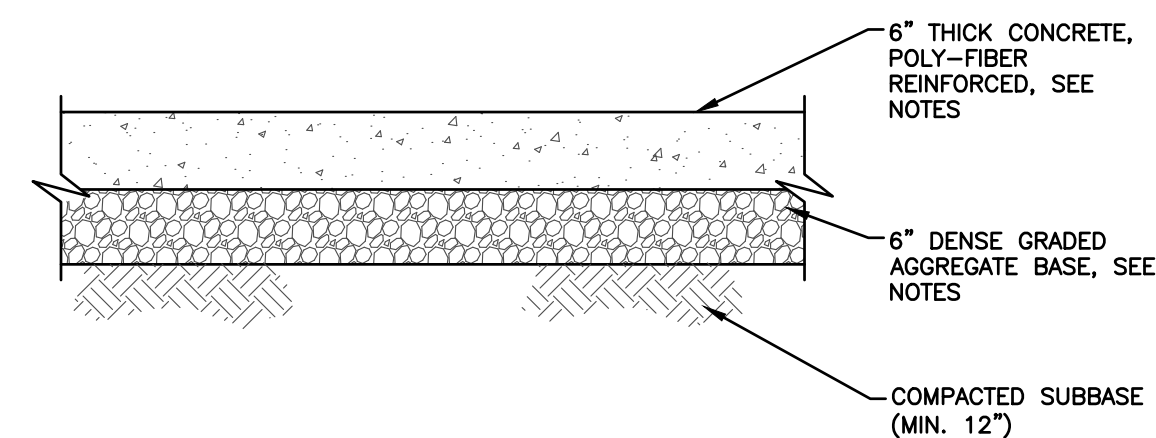
NOT TO SCALE



ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

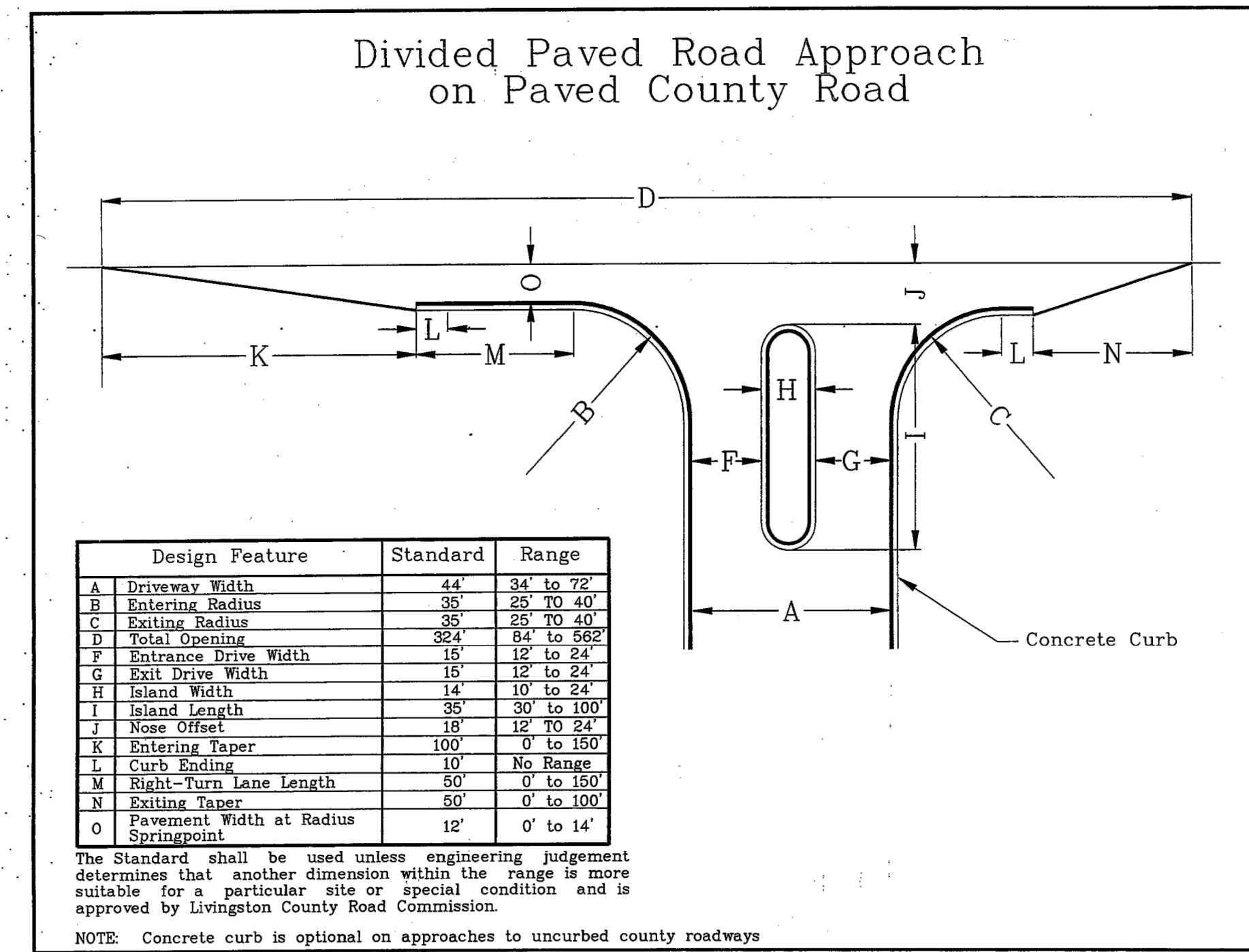
**BARRIER FREE SIGN DETAIL**

NOT TO SCALE



**6" CONCRETE SURFACE DETAIL**

NOT TO SCALE



PROJECT MANAGER: C:\PW\_WORK\WADE-TRIM\_GSPRESS\1228134\PLTS-SITE\_DETAILS.DWG - C3.5 SITE DETAILS - PLOTTED 6/17/2023 4:34 PM BY SPIESS, GREG



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734.947.2700  
www.wadetrtrim.com

**WADE TRIM**

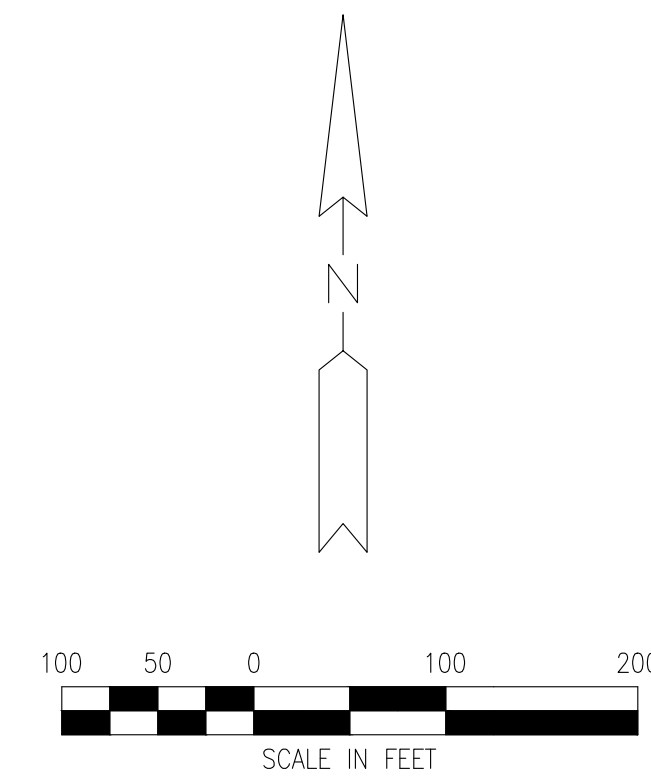
**FREEDOM RIVER, INC.**  
9305 HURON RAPIDS DRIVE  
WHITEMORE LAKE, MI 48189

SITE DETAILS  
FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
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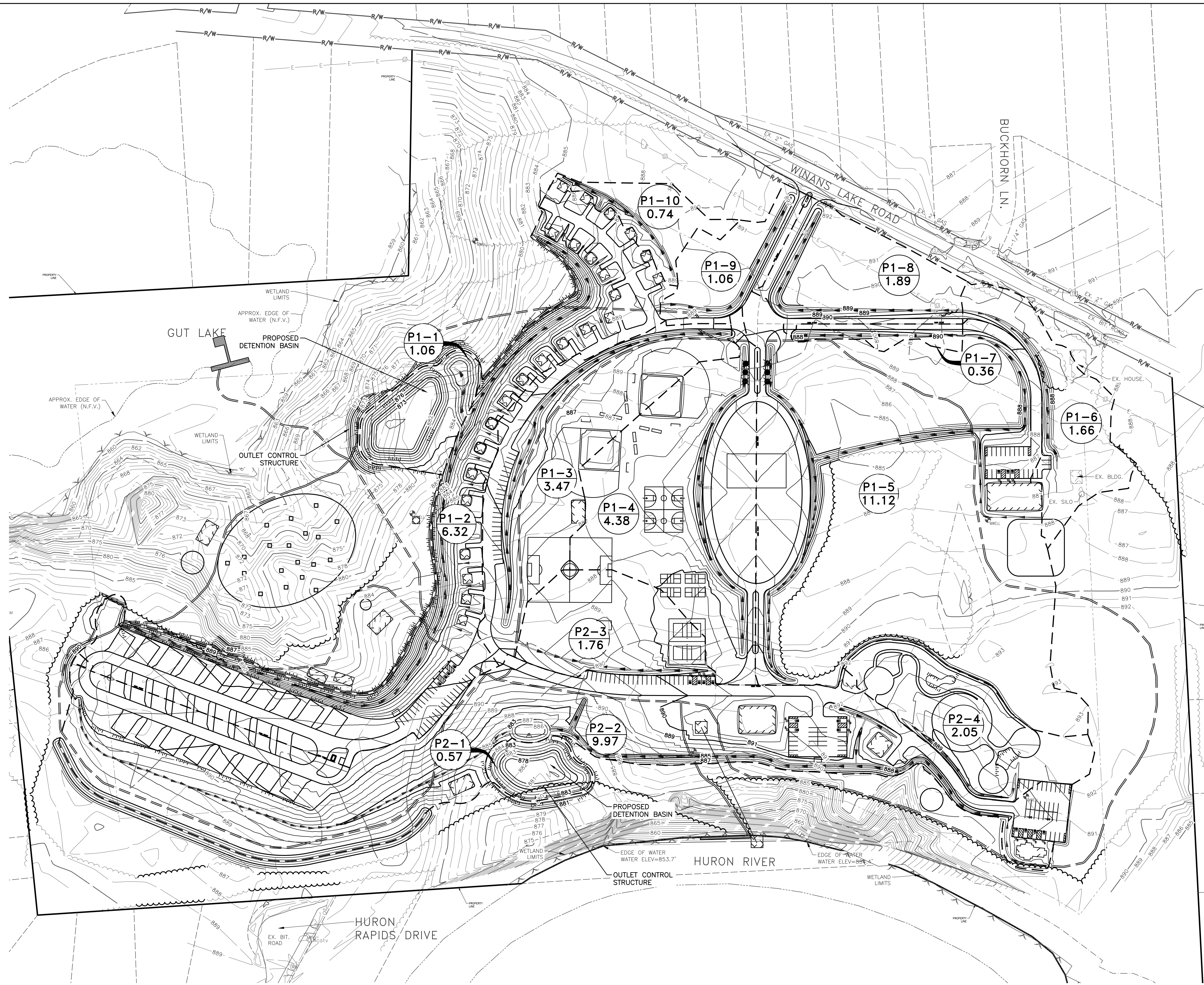
JOB NO. VCM2001

SHEET C3.5



**PROPOSED LEGEND**

DRAINAGE AREA DESIGNATION	<b>A-1</b>
DRAINAGE AREA IN ACRES	<b>0.04</b>
MAJOR CONTOUR	100
MINOR CONTOUR	101
100 YEAR WATER ELEVATION	---
FREEBOARD ELEVATION	---
DRAINAGE AREAS	---



PROJECT MANAGER: G:\PW\_WORK\WADE-TRIM\_GSP\SS12128134\PLTS-DRAINAGE\_AREA\_PLAN.DWG - C4.0 DRAINAGE AREA PLAN - PLOTTED 6/1/2023 4:35 PM BY: SPIESS, GREG



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Call before you dig.

REV#	DATE	DESCRIPTION



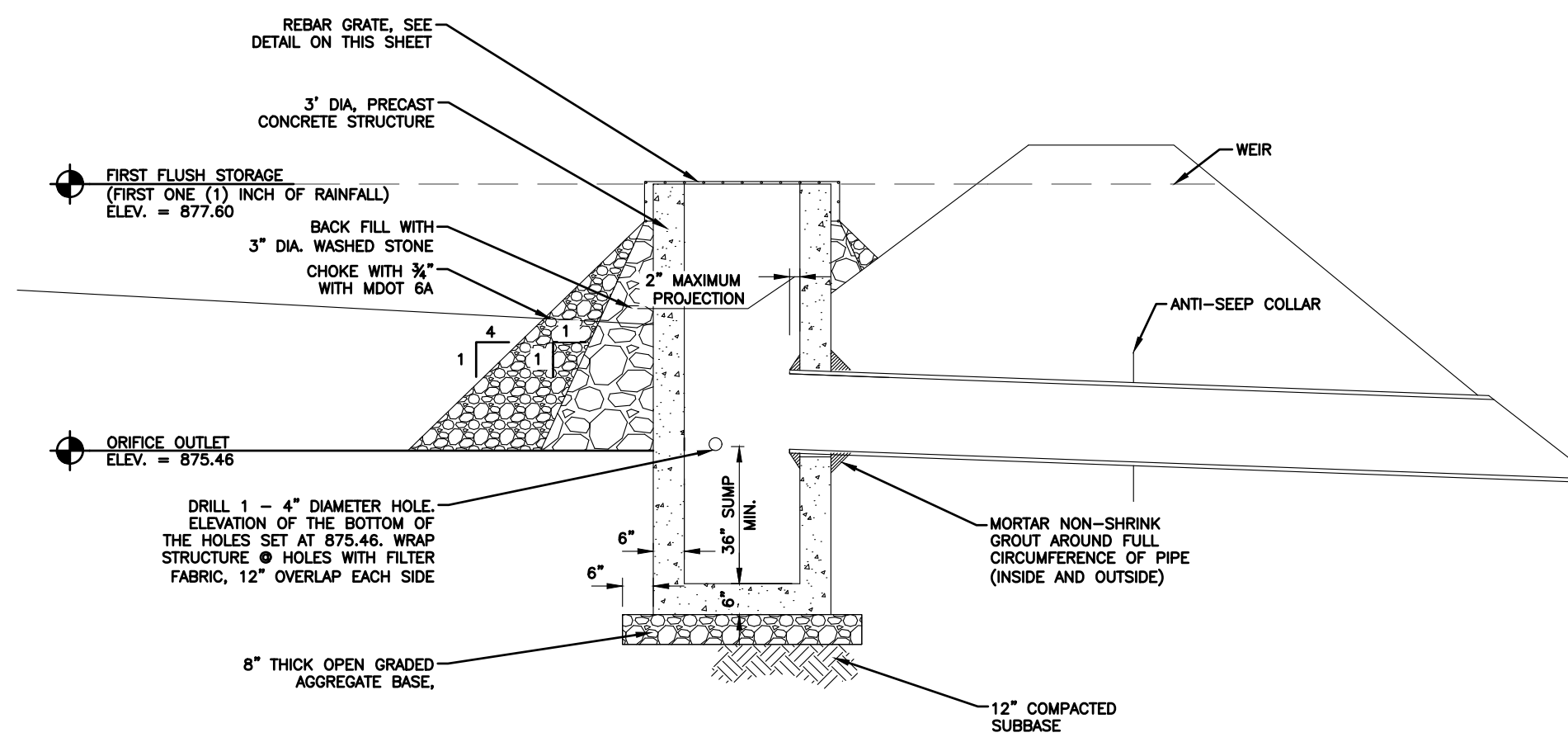
**FREEDOM RIVER, INC.**  
9305 HURON RAPIDS DRIVE  
WHITEMORE LAKE, MI 48189

OVERALL DRAINAGE PLAN  
FOR  
FREEDOM RIVER CAMPGROUND

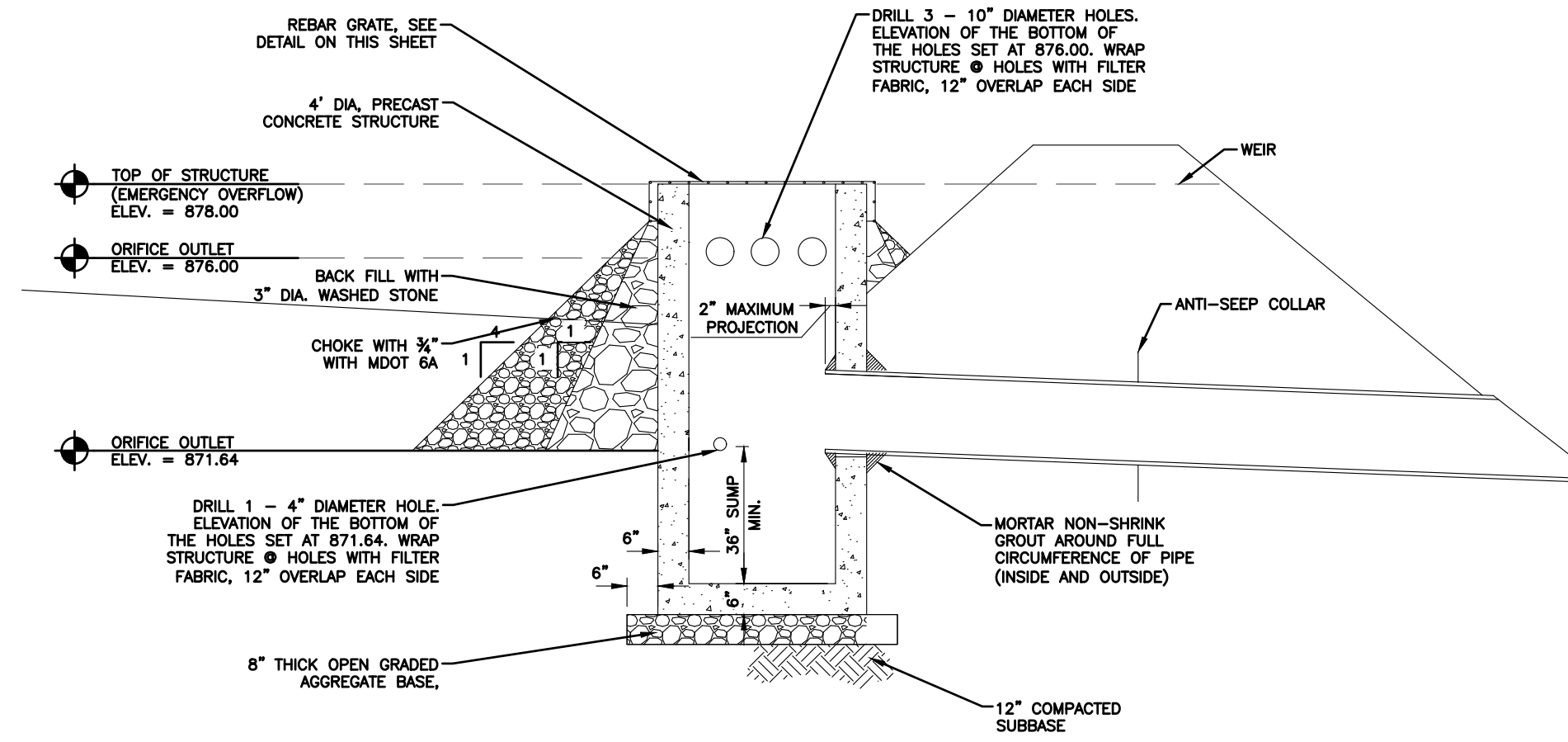
ISSUED FOR: SPA  
DATE: 6/1/23  
BY: GLS

JOB NO. VCM2001

SHEET C4.0



OCS #P1-2 DETAIL  
NOT TO SCALE



OCS #P1-1 DETAIL  
NOT TO SCALE

Proposed Detention Basin - Gut Lake

Elevation	Area (SF)	Vol (CFT)	Total Vol (CFT)
871.64	0	0	0
873	11131	5046	5046
874	13435	12265	17311
875	15896	14648	31959
876	18514	17188	49148
877	21289	19885	69033
878	24222	22740	91773
879	26456	25331	117104

Freeboard

Proposed Forebay - Gut Lake

Elevation	Area (SF)	Vol (CFT)	Total Vol (CFT)
875.46	0	0	0
876	1989	358	358
877	4193	3023	3381
877.6	5420	2876	6257

Freeboard

Proposed Detention Basin - Huron River

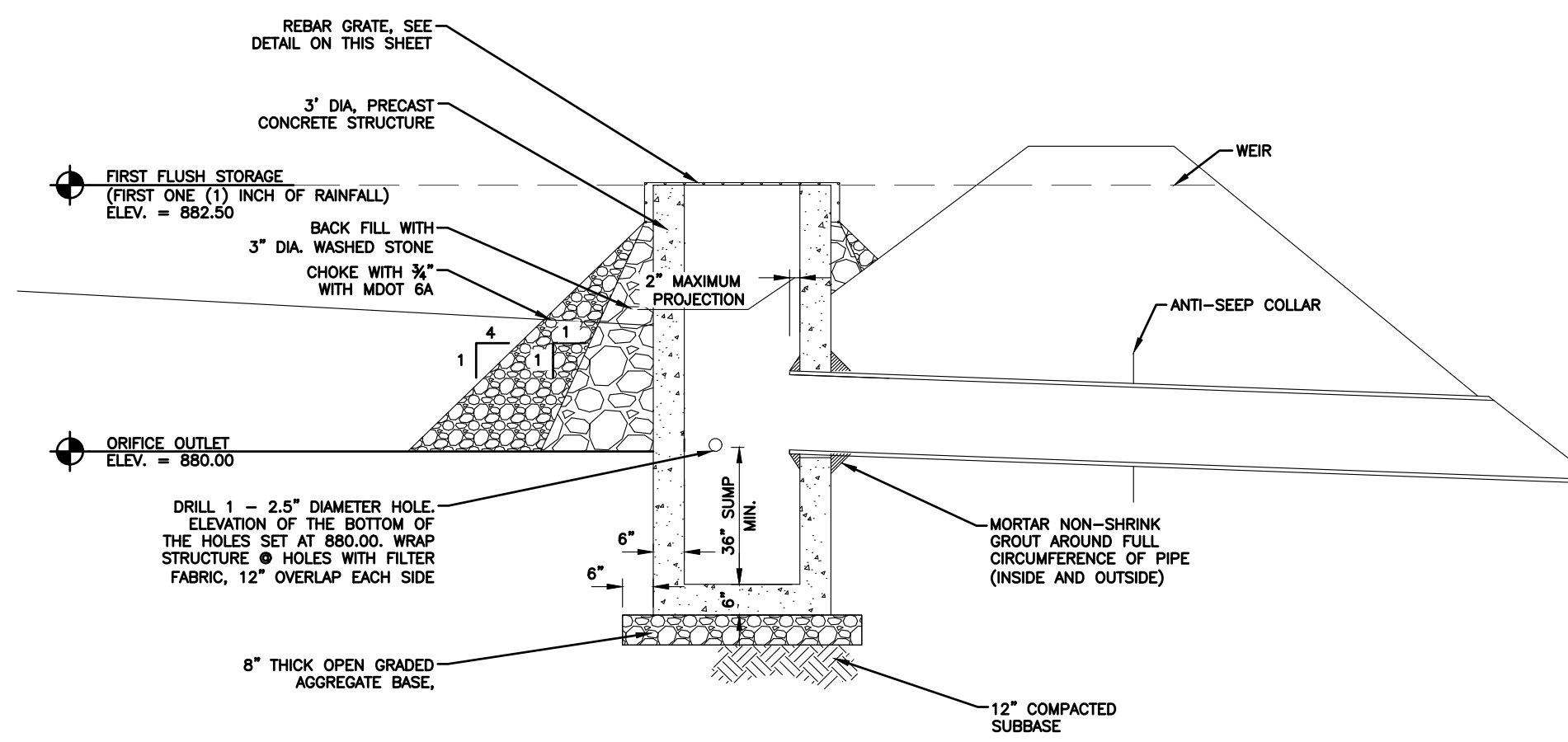
Elevation	Area (SF)	Vol (CFT)	Total Vol (CFT)
876.79	0	0	0
878	5618	2266	2266
879	7824	6691	8957
880	10340	9053	18009
881	13160	11722	29731
882	16107	14609	44340
883	19281	17670	62010
883.5	21326	10147	72157

Freeboard

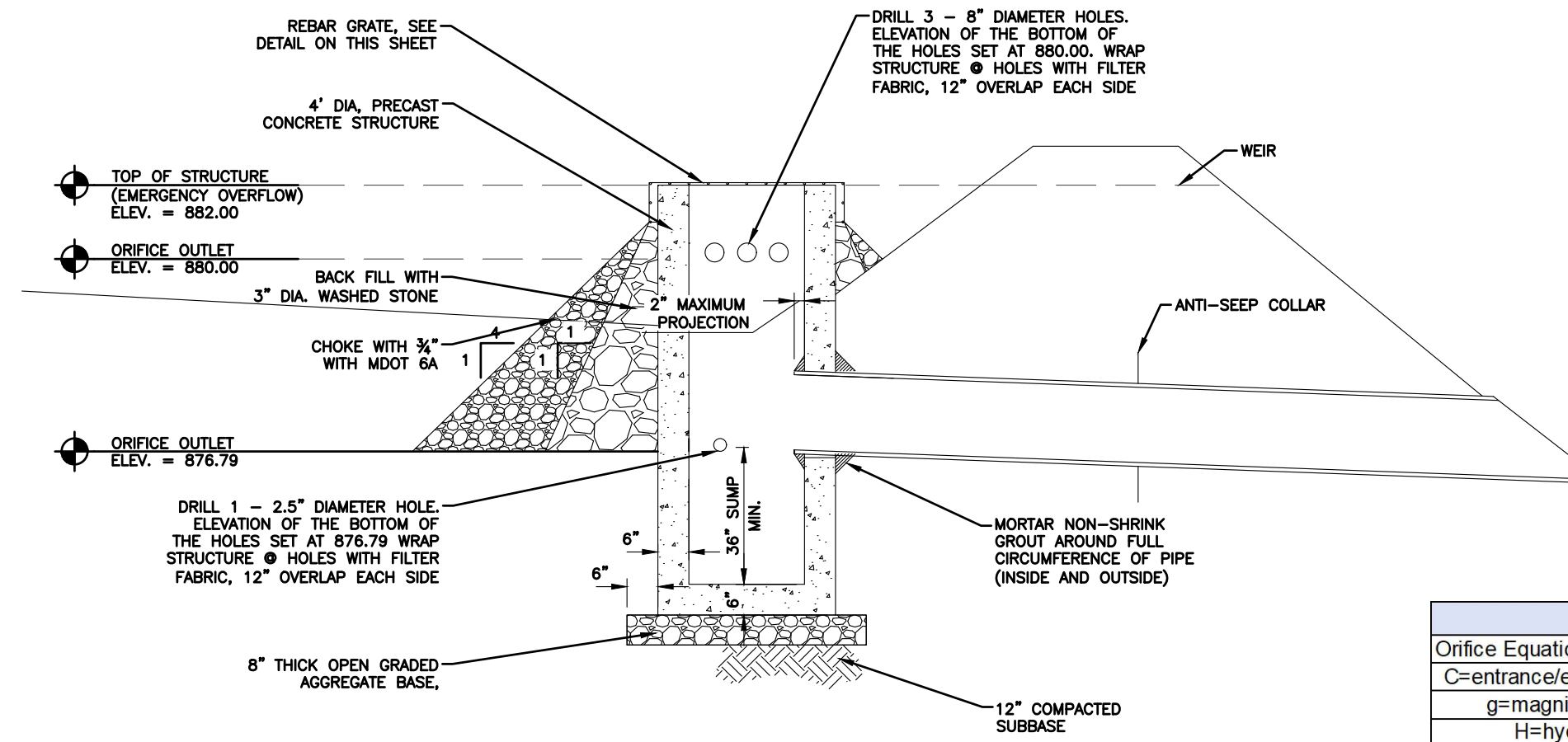
Proposed Forebay - Huron River

Elevation	Area (SF)	Vol (CFT)	Total Vol (CFT)
880	0	0	0
881	1534	511	511
882	2597	2042	2554
882.5	3215	1450	4004

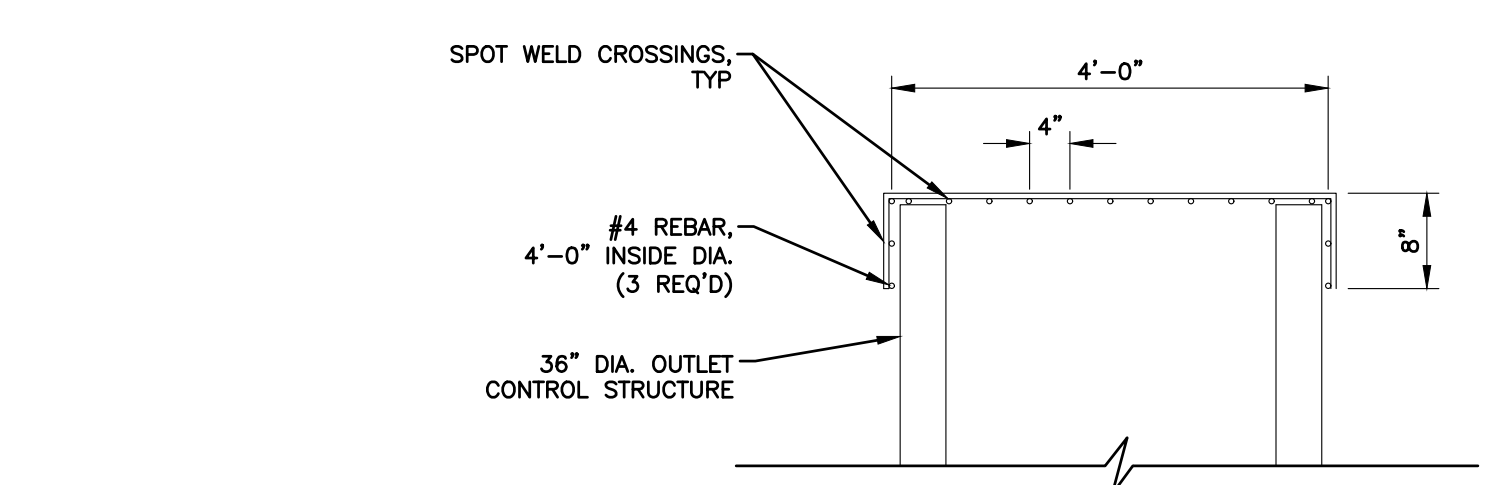
Freeboard



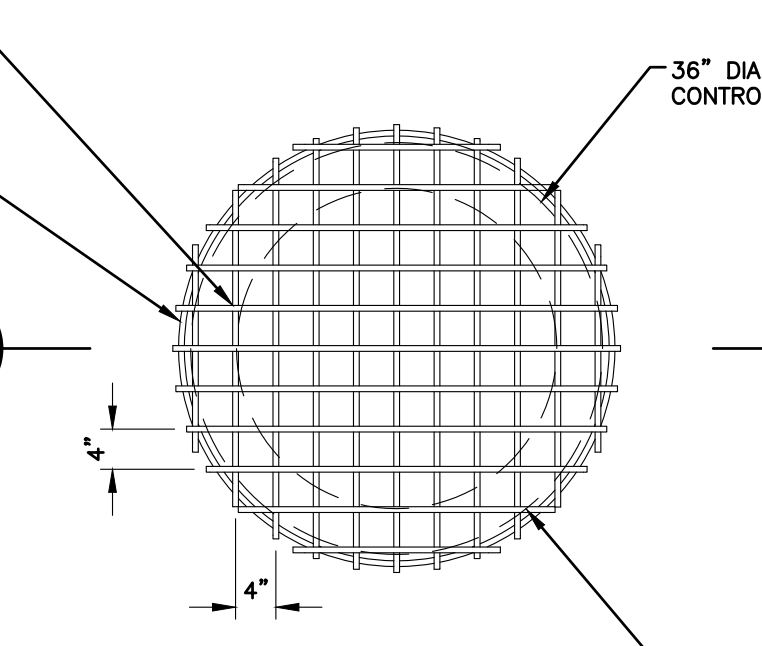
OCS #P2-2 DETAIL  
NOT TO SCALE



OCS #P2-1 DETAIL  
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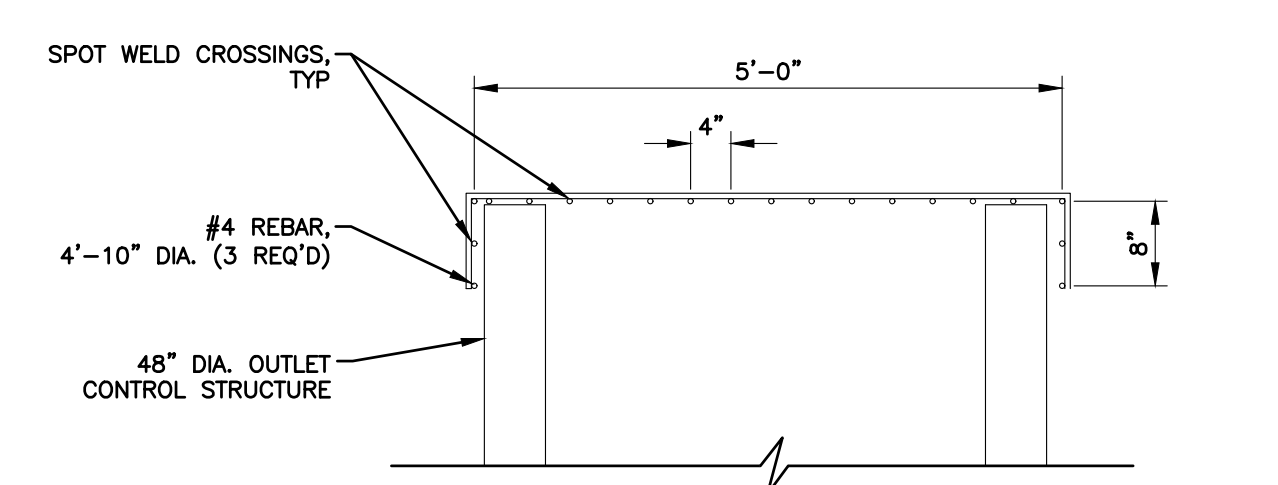


SECTION A

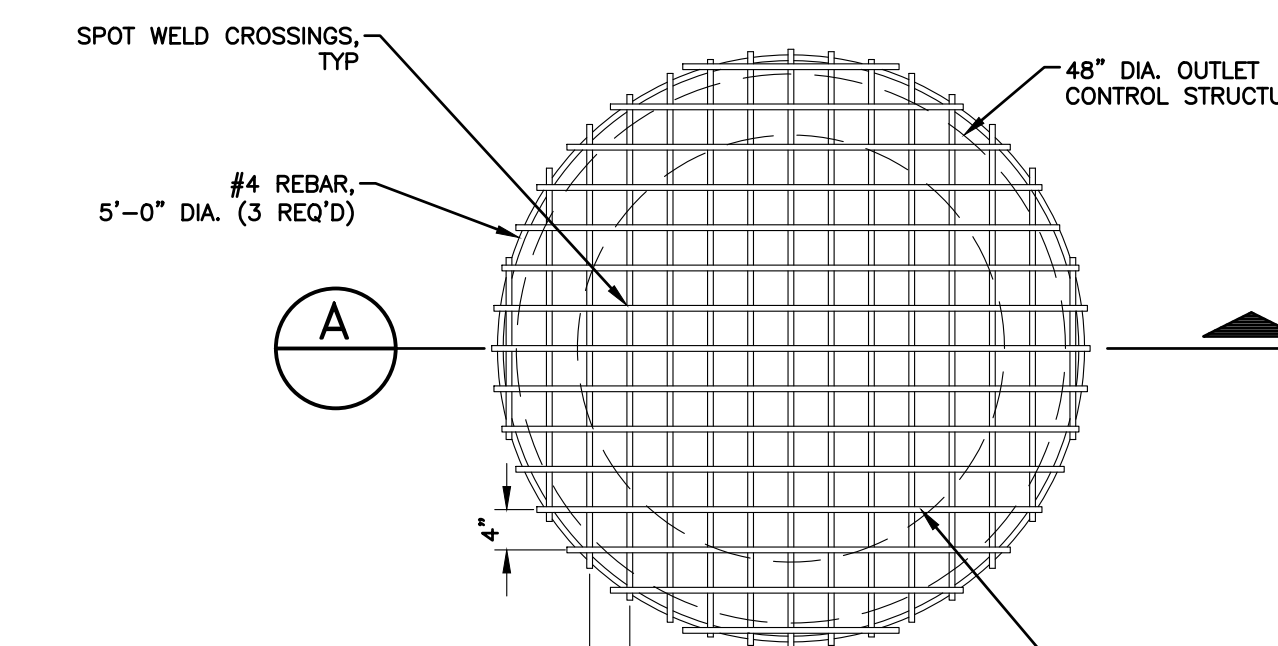


SECTION A

60" - REBAR GRATE DETAIL  
NOT TO SCALE



SECTION A



SECTION A

60" - REBAR GRATE DETAIL  
NOT TO SCALE

Orifice Equation - Extended Detention - Gut Lake

Orifice Equation:  $q = ca\sqrt{2gh}$   
 $C = \text{entrance/exit loss coefficient} = 0.62$   
 $g = \text{magnitude of gravity} = 32.2 \text{ ft/second}^2$   
 $H = \text{hydraulic head} = 1.07 \text{ ft}$   
 $Q_{EP} = 0.439 \text{ cfs}$

Calculated A = 0.08530 ft<sup>2</sup>

Diameter of Orifice Inches	Radius of Orifice Inches	Area of Orifice Square Inches	Area of Orifice Square Feet	Total Orifices	Total sft of opening
4.00	2	12.56	0.087222	1	0.087222

Orifice Equation - 100 Year Detention - Gut Lake

$Q_{max} = 12.54 \text{ cfs}$   
 $Q \text{ of } 4" \text{ orifice} = 0.726 \text{ cfs}$   
 $Q_{allow} = Q_{max} - Q \text{ } 2" = 11.814 \text{ cfs}$

Orifice Equation:  $q = ca\sqrt{2gh}$   
 $C = \text{entrance/exit loss coefficient} = 0.62$   
 $g = \text{magnitude of gravity} = 32.2 \text{ ft/second}^2$   
 $H = \text{hydraulic head} = 2 \text{ ft}$

Calculated A = 1.67896 ft<sup>2</sup>

Diameter of Orifice Inches	Radius of Orifice Inches	Area of Orifice Square Inches	Area of Orifice Square Feet	Total Orifices	Total sft of opening
10	5	78.500	0.5451	3	1.635417

Orifice Equation - Extended Detention - Huron River

Orifice Equation:  $q = ca\sqrt{2gh}$   
 $C = \text{entrance/exit loss coefficient} = 0.62$   
 $g = \text{magnitude of gravity} = 32.2 \text{ ft/second}^2$   
 $H = \text{hydraulic head} = 1.25 \text{ ft}$   
 $Q_{EP} = 0.214 \text{ cfs}$

Calculated A = 0.03847 ft<sup>2</sup>

Diameter of Orifice Inches	Radius of Orifice Inches	Area of Orifice Square Inches	Area of Orifice Square Feet	Total Orifices	Total sft of opening
2.50	1.25	4.90625	0.034071	1	0.034071

Orifice Equation - 100 Year Detention - Huron River

$Q_{max} = 7.93 \text{ cfs}$   
 $Q \text{ of } 2.5" \text{ orifice} = 0.284 \text{ cfs}$   
 $Q_{allow} = Q_{max} - Q \text{ } 2" = 7.646 \text{ cfs}$

Orifice Equation:  $q = ca\sqrt{2gh}$   
 $C = \text{entrance/exit loss coefficient} = 0.62$   
 $g = \text{magnitude of gravity} = 32.2 \text{ ft/second}^2$   
 $H = \text{hydraulic head} = 2 \text{ ft}$

Calculated A = 1.08669 ft<sup>2</sup>

Diameter of Orifice Inches	Radius of Orifice Inches	Area of Orifice Square Inches	Area of Orifice Square Feet	Total Orifices	Total sft of opening
8	4	50.240	0.3489	3	1.046667

	Total (ac)	Impervious (ac)	Pervious (ac)	C
Gut Lake	32.07	6.55	25.52	0.343
Huron River	14.17	3.61	10.56	0.378

Minimum Volume Requirements - Gut Lake

Water Quality Control (WQ) -  $V_{wq} = 3630 \text{ C}^* \text{A}$   
 $V_{wq} \text{ (cuft)} = 39926$

Forebay Storage Volume -  $V_f = 3630 \text{ C}^* \text{A} * 0.15$   
 $V_{wq} \text{ (cuft)} = 5989$

Channel Protection Volume Control (CPVC) -  $V_{cp} = 4719 \text{ C}^* \text{A}$   
 $V_{cp} \text{ (cuft)} = 51904$

Channel Protection Rate Control (CPRC) -  $V_{ed} = 6897 \text{ C}^* \text{A}$   
 $V_{ed} \text{ (cuft)} = 75860$

Extended Detention Volume Discharge Rate -  $V_{ed}$  discharged over 48-hours  
 $Q_{ed} \text{ (cfs)} = 0.439$

Variable Release Rate -  $Q_{vrr} = 1.1055 - 0.206 \ln(A)$   
 $Q_{vrr} \text{ (cfs/ac)} = 0.391$

Allowable 100-Year Discharge Rate -  $Q_{100p} = Q_{vrr} * A$   
 $Q_{100p} = 12.543$

100-Year Peak Runoff Volume -  $V_{100R} = 18985 \text{ C}^* \text{A}$   
 $V_{100R} \text{ (cuft)} = 208816$

100-Year Peak Inflow Rate -  $Q_{100IN} = C^* 100^* A$   
 $Q_{100IN} \text{ (cfs)} = 69.43$

Storage Curve Factor -  $R = 0.206 - 0.15 \ln(Q_{100p}/Q_{100IN})$   
 $R = 0.46$

100-Year Detention Volume -  $V_{100D} = (V_{100R} * R) - V_{CP-P}$   
 $V_{100D} = 96613.80$

$V_{100D} \geq V_{ED}$   
 Required Storage (cuft) = 96614

Minimum Volume Requirements - Huron River

Water Quality Control (WQ) -  $V_{wq} = 3630 \text{ C}^* \text{A}$   
 $V_{wq} \text{ (cuft)} = 19460$

Forebay Storage Volume -  $V_f = 3630 \text{ C}^* \text{A} * 0.15$   
 $V_{wq} \text{ (cuft)} = 2919$

Channel Protection Volume Control (CPVC) -  $V_{cp} = 4719 \text{ C}^* \text{A}$   
 $V_{cp} \text{ (cuft)} = 25299$

Channel Protection Rate Control (CPRC) -  $V_{ed} = 6897 \text{ C}^* \text{A}$   
 $V_{ed} \text{ (cuft)} = 36975$

Extended Detention Volume Discharge Rate -  $V_{ed}$  discharged over 48-hours  
 $Q_{ed} \text{ (cfs)} = 0.214$

Variable Release Rate -  $Q_{vrr} = 1.1055 - 0.206 \ln(A)$   
 $Q_{vrr} \text{ (cfs/ac)} = 0.559$

Allowable 100-Year Discharge Rate -  $Q_{100p} = Q_{vrr} * A$   
 $Q_{100p} = 7.926$

100-Year Peak Runoff Volume -  $V_{100R} = 18985 \text{ C}^* \text{A}$   
 $V_{100R} \text{ (cuft)} = 101779$

100-Year Peak Inflow Rate -  $Q_{100IN} = C^* 100^* A$   
 $Q_{100IN} \text{ (cfs)} = 33.84$

Storage Curve Factor -  $R = 0.206 - 0.15 \ln(Q_{100p}/Q_{100IN})$   
 $R = 0.42$

100-Year Detention Volume -  $V_{100D} = (V_{100R} * R) - V_{CP-P}$   
 $V_{100D} = 43125.81$

$V_{100D} \geq V_{ED}$   
 Required Storage (cuft) = 43126

TRIBUTARY TO POND 1 (GUT LAKE)

Drainage Area	Impervious (Acres)	Gravel (Acres)	Lawn (Acres)	Total	Cw-Value
P1-1	0.00	0.00	1.06	1.06	0.20
P1-2	2.27	0.00	4.04	6.32	0.45
P1-3	0.61	0.00	2.86	3.47	0.32
P1-4	2.08	0.00	2.30	4.38	0.53
P1-5	1.04	0.00	10.08	11.12	0.27
P1-6	0.07	0.00	1.60	1.66	0.23
P1-7	0.10	0.00	0.26	0.36	0.39
P1-8	0.23	0.00	1.66	1.89	0.28
P1-9	0.15	0.00	0.92	1.06	0.30
P1-10	0.00	0.00	0.74	0.74	0.20
Total	6.55	0.00	25.52	32.07	0.34

TRIBUTARY TO POND 2 (HURON RIVER)

Drainage Area	Impervious (Acres)	Gravel (Acres)	Lawn (Acres)	Total	Cw-Value
P2-1	0.00	0.00	0.57	0.57	0.20
P2-2	2.71	0.00	7.08	9.79	0.39
P2-3	0.19	0.00	1.58	1.76	0.27
P2-4	0.71	0.00	1.33	2.05	0.44
Total	3.61	0.00	10.56	14.17	0.38

FIELD BOOK INFORMATION: C:\PW\_MWORK\WADE-TRIM\_CSPFISS\1228134\PLTS-DRAINAGE AREA PLAN.DWG - CA.1 STORMWATER CALCULATIONS - PLOTTED 6/1/2023 4:35 PM BY: SPIESS, GREG



Item 9. BY

DESCRIPTION

DATE

REV#

WADE TRIM

25251 Northern Rd.  
 724-947-9700  
 www.wadetrim.com

FREEDOM RIVER, INC.  
 9305 HURON RAPIDS DRIVE  
 WHITEMORE LAKE, MI 48189

OVERALL DRAINAGE PLAN FOR FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA DATE: 6/1/23 BY: GLS

JOB NO. VCM2001

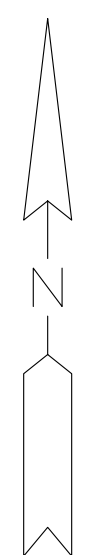
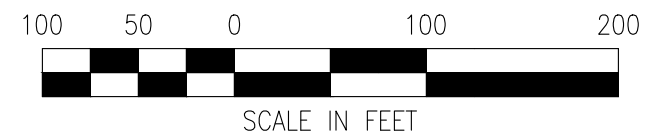
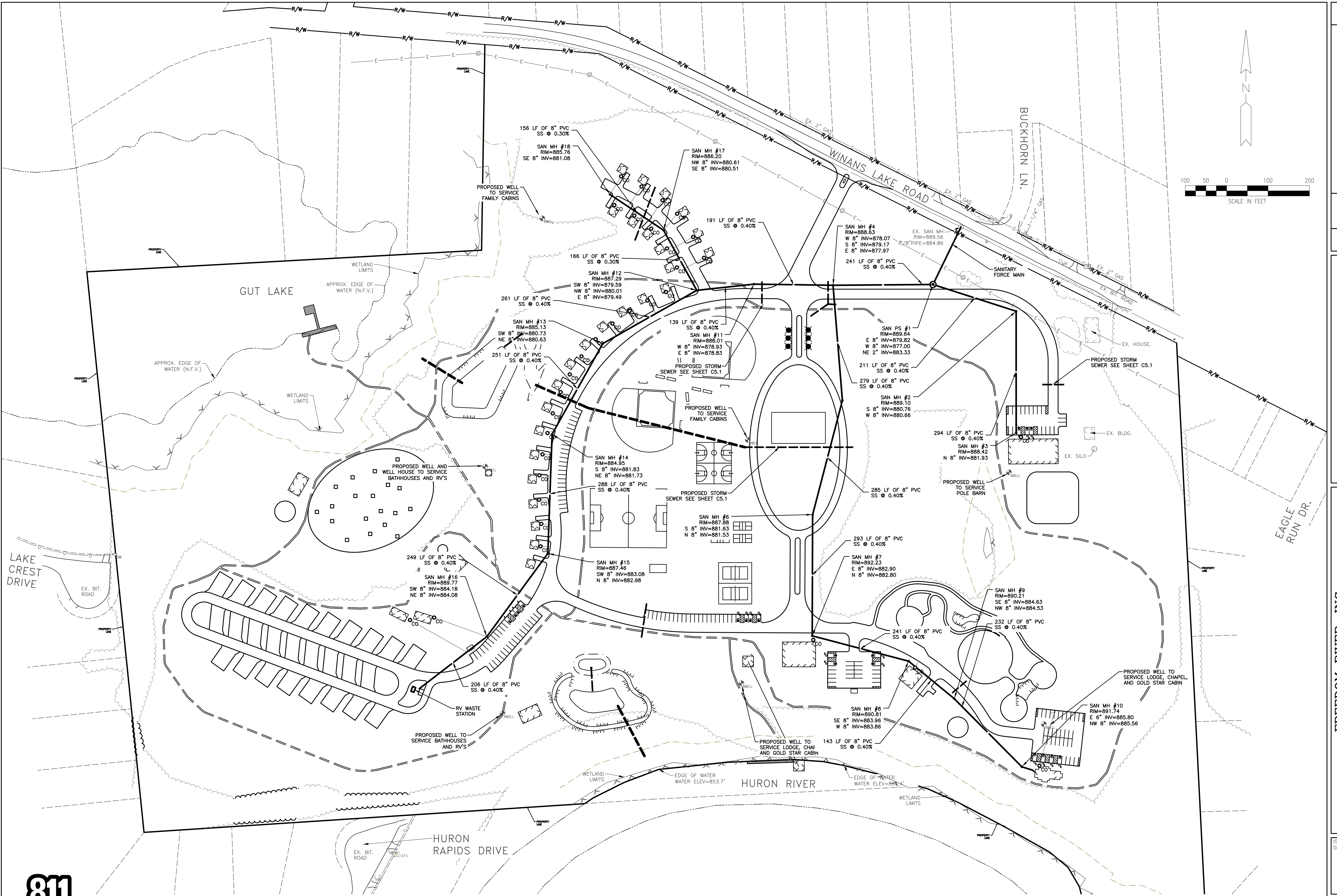
SHEET C4.1

103

FIELD BOOK INFORMATION: - C5.0 OVERALL SAN SWIR PLAN - PLOTTED 6/17/2023 4:35 PM BY SPIESS, GREG  
 PROJECT MANAGER: - TRIM, WADE - TRIM, WADE - TRIM, WADE - TRIM, WADE - TRIM, WADE - TRIM, WADE - TRIM, WADE - TRIM, WADE - TRIM, WADE - TRIM, WADE



Know what's below.  
 Call before you dig.



REV#	DATE	DESCRIPTION

25201 Northern Rd.  
 48189 Whitefore Lake, MI  
 734.947.2700  
 www.wadetrim.com

**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
 OVERALL UTILITY PLAN - SANITARY  
 FOR  
 FREEDOM RIVER CAMPGROUND

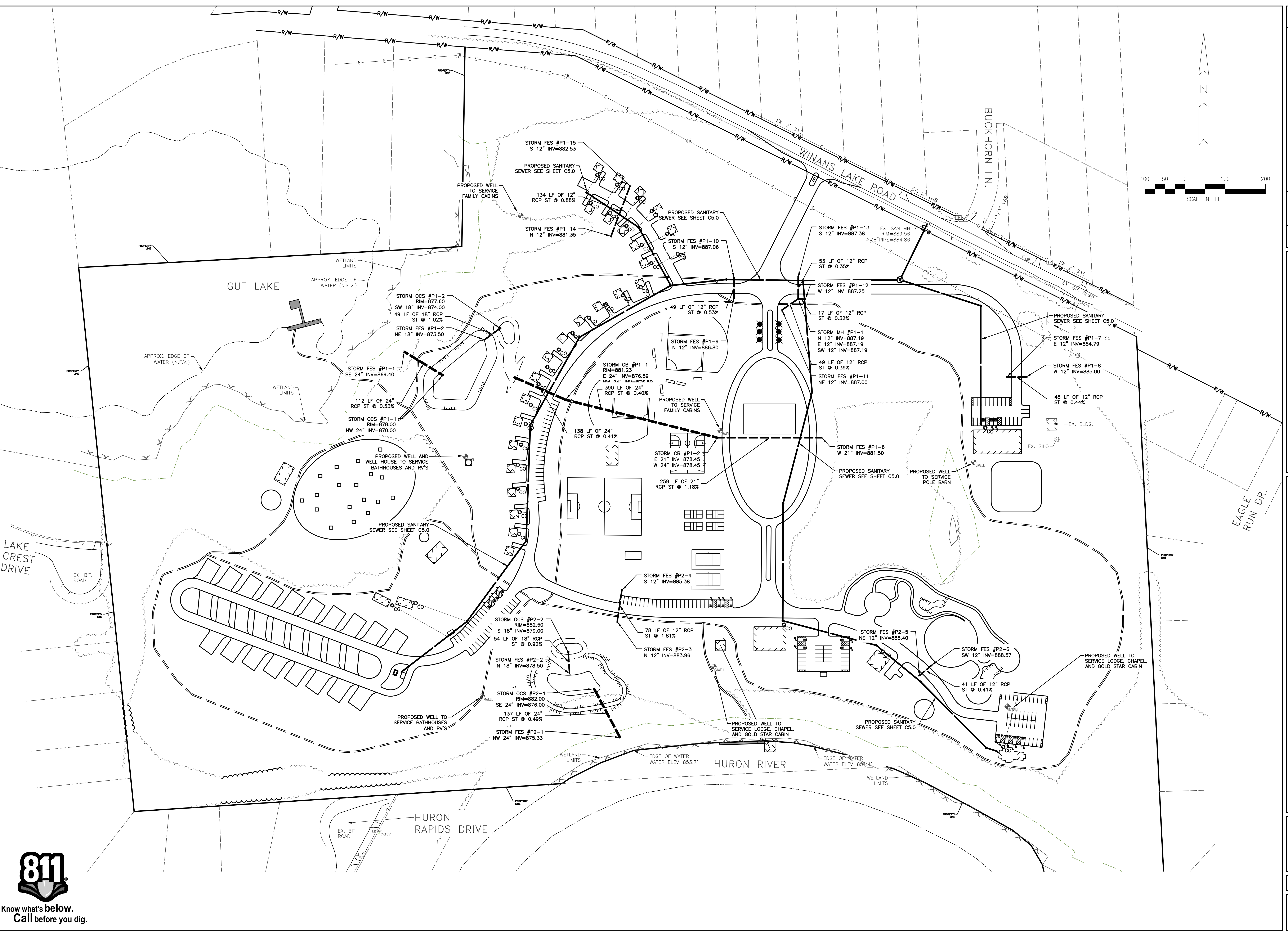
ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
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JOB NO. VCM2001
SHEET C5.0



Item 9.
DATE
REV#
DESCRIPTION

PROJECT MANAGER: G:\WORK\MORNADE-TRIM-GSPRESS\1228134\PLTS-UTILITY PLANDWG - C5.1 OVERALL STM SWR PLAN - PLOTTED 6/17/2023 4:35 PM BY: SPIESS, GREG



Know what's below.  
Call before you dig.



**FREEDOM RIVER, INC.**  
9305 HURON RAPIDS DRIVE  
WHITEMORE LAKE, MI 48189  
OVERALL STM SWR PLAN - STORM  
FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA    DATE: 6/1/23    BY: GLS

JOB NO. **VCM2001**

SHEET **C5.1**

**SANITARY SEWER NOTES**

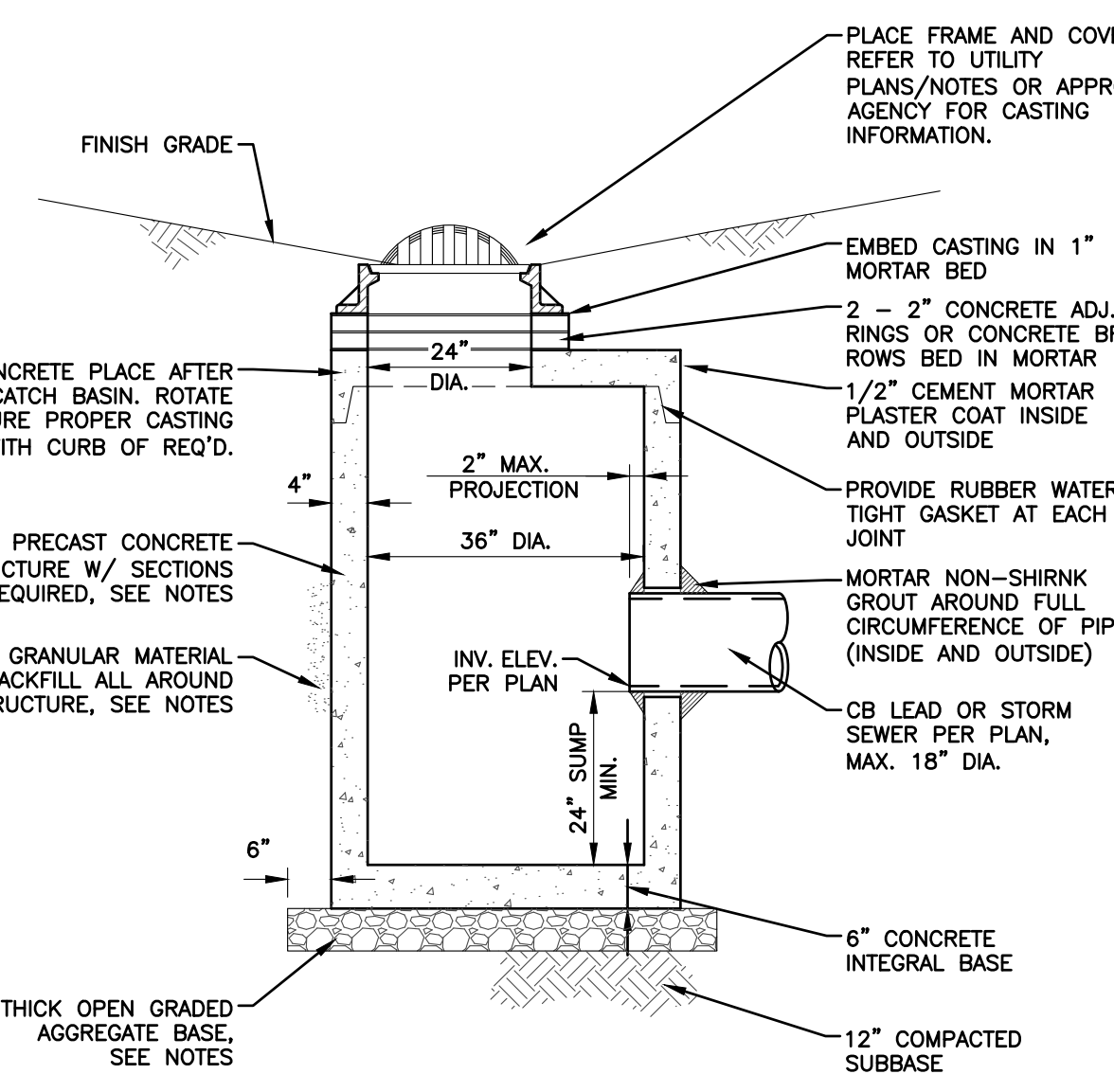
1. PRECAST CONCRETE MANHOLE, FLAT TOP SLABS, RISERS, CONE, TRANSITION SECTIONS AND BOTTOM SECTIONS SHALL CONFORM TO ASTM C478, AND SHALL BE CIRCULAR WITH CIRCULAR REINFORCEMENT.
2. 6-INCH THROUGH 24-INCH CONNECTIONS TO MANHOLES SHALL USE A MECHANICALLY COMPRESSIBLE FLEXIBLE JOINT, AS INDICATED ON THE PLANS.
3. RISER AND CONE SECTIONS OF A MANHOLE SHALL HAVE MODIFIED GROOVED TONGUE JOINTS WITH "O" RING GASKETS (OUTSIDE OF PAVEMENT OR TRAFFIC AREAS) OR A TONGUE AND GROOVE JOINT WITH A BUTYL RUBBER BASED GASKET TYPE SEALANT MEETING THE REQUIREMENTS OF AASHTO M 198 AND HAVING A NOMINAL SIZE OF 1-INCH.
4. ECCENTRIC CONE SECTIONS OF A MANHOLE SHALL HAVE MODIFIED GROOVED TONGUE JOINTS WITH "O" RING GASKETS AND BE PROVIDED WITH A STUD INSERTS CAST IN THE TOP. THE TOP SHALL HAVE A SMOOTH FINISHED SURFACE.
5. CONCRETE GRADE RINGS SHALL HAVE SMOOTH FINISHED TOP AND BOTTOM SURFACES. GRADE RINGS SHALL BE PROVIDED WITH "O" RING GASKETS.
6. ALL PIPE CONNECTIONS SHALL HAVE MECHANICALLY COMPRESSED FLEXIBLE JOINT. STYLE TO BE RES-SEAL, KOR-N-SEAL OR APPROVED EQUAL.
7. MANHOLE STEPS TO BE INSTALLED AT THE PLANT BY MFR. OF PRECAST MANHOLE SECTION WITH 16" SPACING AND SET 45° TO Ø OF MAIN SEWER WITH THE BOTTOM STEP TO BE 24" MAX. ABOVE BOTTOM. MANHOLE STEPS CAN BE:
  - 7.1. CAST IRON MANHOLE STEPS SHALL CONFORM TO ASTM A48, CLASS 30, GRAY IRON WITH A MINIMUM CROSS SECTION DIMENSION OF 1-INCH IN ANY DIRECTION.
  - 7.2. STEEL REINFORCED PLASTIC MANHOLE STEPS SHALL BE OF SUITABLY APPROVED CO-POLYMER POLYPROPYLENE CONFORMING TO ASTM D4101, PP0344B3534202 WITH 1/2 INCH MINIMUM DIAMETER DEFORMED REINFORCING BAR CONFORMING TO ASTM A615, GRADE 60 AND SHALL BE IN ACCORDANCE WITH ASTM C478.
8. MANHOLE FRAMES AND COVERS SHALL CONFORM TO ASTM A48, CLASS 30, GRAY IRON. CASTINGS SHALL BE NEATLY MADE AND FREE FROM CRACKS, COLD SHEETS, HOLES AND OTHER DEFECTS. SURFACES OF CASTING SHALL BE GROUNDED TO ASSURE PROPER FIT AND TO PREVENT ROCKING.
  - 8.1. FOR MANHOLES, USE A BOLTED WATERPROOF FRAME WITH A PRESSURE TIGHT COVER. BOLTED DOWN FRAME AND COVER SHALL BE INSTALLED AS INDICATED ON THE PLANS.
  - 8.2. MANHOLE COVERS STYLE SHALL BE APPROVED BY LOCAL APPROVING AGENCY PRIOR TO INSTALLATION.
9. PIPE MATERIAL SHALL BE AS NOTED ON PLAN OR AS APPROVED BY THE LOCAL APPROVING AGENCY THE FOLLOWING ARE A LIST OF PIPES:
  - 9.1. POLYVINYL CHLORIDE (PVC) TRUSS PIPE SHALL BE ASTM D2680. THE PIPE SHALL BE OF A DOUBLE WALL CONSTRUCTION, BRACED WITH A TRUSS-TYPE STRUCTURE WITH ALL 3 FORMED IN 1 EXTRUSION. THE TRUSS VOIDS ARE FILLED WITH LIGHTWEIGHT CONCRETE TO PROVIDE ADDITIONAL COMPRESSIVE STRENGTH AND BRACING.
  - 9.2. PVC SOLID WALL PIPE IN SIZES 6-INCH THROUGH 15-INCH SHALL BE ASTM D3034, SDR 35, AND IN SIZES 18-INCH THROUGH 27-INCH SHALL BE ASTM F679 SDR35, PVC.
  - 9.3. OTHER MATERIALS MAY BE ACCEPTABLE, HOWEVER ALL PIPE MATERIALS SHALL BE APPROVED BY THE LOCAL APPROVING AGENCY.
10. PIPE JOINTS SHALL BE:
  - 10.1. JOINTS FOR POLYVINYL CHLORIDE (PVC) PIPE SHALL BE ELASTOMERIC GASKETED CONFORMING TO ASTM D3212, PUSH ON TYPE JOINT.
  - 10.2. JOINTS FOR POLYVINYL CHLORIDE PIPE (PVC) SHALL BE ASTM D3212, PUSH-ON TYPE. A JOINT IN WHICH AN ELASTOMERIC RING GASKET IS COMPRESSED IN THE ANNULAR SPACE BETWEEN A BELL END OR SOCKET AND A SPIGOT END OF PIPE.
  - 10.3. IN THE EVENT OTHER PIPE MATERIAL IS USED OTHER THAN THAT LISTED, CONTACT THE ENGINEER FOR AN APPROVED JOINT STYLE.
11. BUILDING LEADS SHALL BE 6-INCH DIAMETER AND SHALL BE LAID ON A UNIFORM SLOPE AS INDICATED ON THE PLANS WITH A MIN. SLOPE OF 1.0% BUILDING LEADS SHALL BE INSTALLED TO WITH IN 1.0 FOOT OF THE PROPERTY LINE OR 5 FEET FROM THE PROPOSED BUILDING. THE CONTRACTOR SHALL INSTALL A WATER TIGHT PLUG FOR FUTURE CONNECTION BY THE PLUMBING CONTRACTOR AND MARKED WITH A 4X4 WOOD POST.
12. WYES OR TEES SHALL BE OF THE SAME MATERIAL AS THE MAINLINE PIPE. THEY SHALL BE A MOLDED WYE OR TEE FITTING PER ASTM D2680, WITH GASKETED JOINTS ON EACH END SUITABLE FOR DIRECTLY INSERTING IN THE MAINLINE PIPE. SADDLE CONNECTIONS ARE NOT ALLOWED.
13. ALL TRENCHES SHALL CONFORM TO THE DETAILS INCLUDED WITH THESE PLANS AND PIPE MANUFACTURERS REQUIREMENTS.
14. CLEANOUTS SHALL BE INSTALLED AT ALL PIPE BEND LOCATIONS ON A SERVICE LEAD, LOCATED ON THE UPSTREAM SIDE OF THE SERVICE LEAD. THE MAX. SPACING FOR ALL CLEAN OUTS IS 100 HORIZONTAL FEET.
15. CONTRACTOR SHALL EXPOSE THE EXISTING SANITARY SEWER AND STRUCTURES TO WHICH THE NEW WORK IS TO BE CONNECTED AND NOTIFY ENGINEER OF ANY CHANGES IN THE HORIZONTAL OR VERTICAL LOCATION. CONTRACTOR WILL VERIFY THE VERTICAL AND HORIZONTAL LOCATIONS OF THE EXISTING SYSTEM AND SHALL INFORM THE ENGINEER AS TO THE NECESSARY ADJUSTMENTS REQUIRED TO ALIGN THE NEW SANITARY SEWER WORK WITH THE EXISTING SYSTEM IF REQUIRED.
16. ALL CONCRETE USED FOR INSTALLATION OF FLOW CHANNELS AND BACKFILL SHALL BE 3500 PSI.
17. CONNECTIONS TO EXISTING PIPES SHALL BE MADE WITH ENGINEER APPROVED METHODS. STAINLESS STEEL SHEAR RING FERRECS SHALL BE USED IF FERRECO CONNECTIONS ARE ALLOWED BY AGENCY HAVING JURISDICTION.
18. IN ACCORDANCE WITH 10-STATE STANDARDS IF AN UPSTREAM SANITARY SEWER PIPE CONNECTION IS GREATER THAN 24" ABOVE THE DOWNSTREAM PIPE A DROP CONNECTION IS REQUIRED.

**STORM SEWER NOTES**

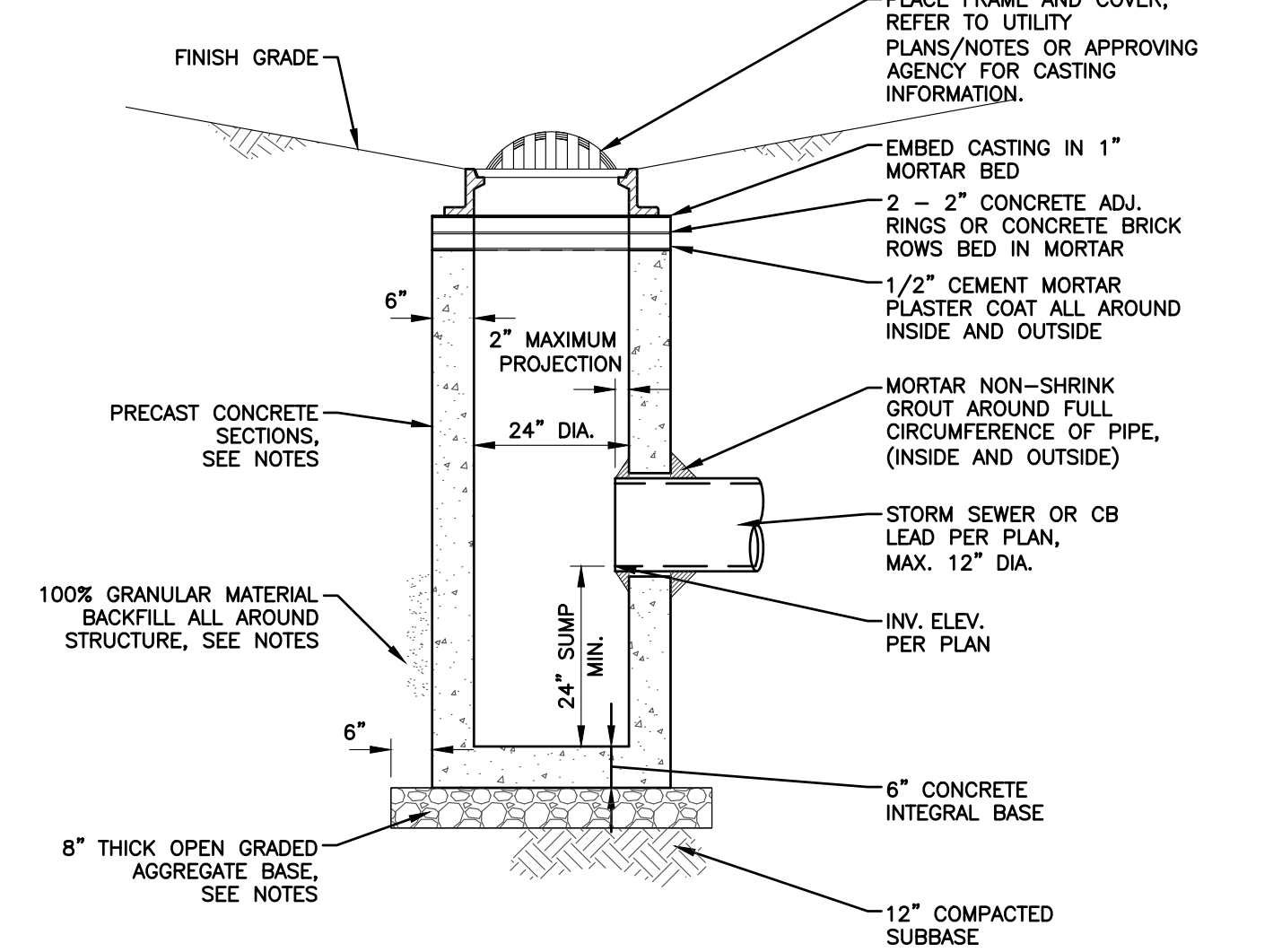
1. ALL STORM SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND GENERAL SPECIFICATION OF THE AGENCY OR AGENCIES HAVING JURISDICTION OF THE STORM SEWER AND CONSTRUCTION AREA.
  2. DETAILS ARE FOR STRUCTURES WITH NO MORE THAN TWO PIPES, 180° APART. LARGER DIAMETER STRUCTURES MAY BE REQUIRED FOR DIFFERENT CONFIGURATIONS.
  3. ALL STRUCTURES REQUIRE A MINIMUM OF 8-INCHES OF WALL BETWEEN PIPE OPENINGS. LARGER DIAMETER STRUCTURES MAY BE REQUIRED WHERE PIPE ENTERING THE STRUCTURE ARE LESS THAN 90° APART IN ANY DIRECTION.
  4. ALL CASTING RIMS SHALL BE SET TO GRADE OR AS SHOWN ON THE PLANS.
  5. MANHOLE STEPS SHALL BE INSTALLED AT LOCATIONS SHOWN ON THE DETAILS AND SHALL BE:
    - 5.1. CAST IRON CONFORMING TO ASTM A48, CLASS 30 GRAY IRON WITH A MIN. CROSS SECTION DIMENSION OF 1-INCH IN ANY DIRECTION.
    - 5.2. STEEL REINFORCED POLYPROPYLENE ASTM 4101, PP0344B3534202 WITH 1/2-INCH MIN. DIAMETER DEFORMED REINFORCING BAR CONFORMING TO ASTM A615, GRADE 60.
  6. MANHOLE AND CATCH BASINS FRAME AND COVER/GRADE SHALL BE CONFORM TO ASTM A48, CLASS 30, GRAY IRON AND BE AS FOLLOWS (\*\*):
    - 6.1. MANHOLES: EJ #1040 WITH A SOLID COVER (OR APPROVED EQUAL).
    - 6.2. CATCH BASINS:
      - LAWN AREA: EJ #1040 WITH A TYPE N OVAL GRATE (OR APPROVED EQUAL).
      - PAVEMENT (ROUND): EJ #1040 WITH A TYPE M1 GRATE "DUMP NO WASTE" (OR APPROVED EQUAL).
      - PAVEMENT (SQUARE): EJ #5724 FRAME AND GRATE (OR APPROVED EQUAL).
- CURB:
- 18" STANDARD CURB: EJ #7045Z W/ 7040 M1 GRATE & EJ #7050 T-1 BACK OR APPROVED EQUAL
  - 24" STANDARD CURB: EJ #7045Z W/ 7045 M1 GRATE EJ #7050 T-1 BACK OR APPROVED EQUAL
- ROLL CURB:
- EJ #7085 W/ M1 GRATE OR APPROVED EQUAL
- MOUNTABLE CURB:
- EJ #7250 OR APPROVED EQUAL
- WEDGE CURB & GUTTER: EJ #7300 W/ M GRATE OR APPROVED EQUAL
- DRIVEWAY GUTTER: EJ #7085 W/ 7045 M1 GRATE OR APPROVED EQUAL
- VALLEY GUTTER: EJ #4410 OR APPROVED EQUAL
- \*\*LOCAL APPROVING AGENCIES CASTINGS SHALL SUPERSEDE THE LIST PROVIDED HERE.
7. DIFFERENTIAL OF EXCAVATION AROUND EXISTING MANHOLES SHALL NOT EXCEED SIX FEET.
  8. PLACE GRANULAR MATERIAL BACKFILL WITHIN THREE FEET OF ALL STRUCTURES ALL BACK FILL SHALL BE COMPACTED IN MAX. 12" LIFTS COMPACTED TO A MINIMUM 95% OF THE MAXIMUM DRY DENSITY DETERMINED BY MODIFIED PROCTOR TEST.
  9. ALL STORM SEWER PIPE SHALL HAVE BEDDING PER THE DETAIL ON THIS SHEET UNLESS OTHERWISE NOTED ON THE PLANS.
  10. ALL PRECAST PRODUCTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-478.
  11. ALL JOINTS FOR PRECAST CONCRETE MANHOLE SECTIONS SHALL BE THE SAME AS RCP PIPE.
  12. ALL DRAINAGE PIPE SHALL BE AS NOTED ON PLANS.
  - 12.1. ALL REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO ASTM C76 CLASS IV, CIRCULAR REINFORCED.
  - 12.2. ALL HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE SMOOTH LINED CORRUGATED POLYETHYLENE PIPE MEETING AASHTO M252, TYPE S FOR SIZES 4" TO 10" DIAMETER AND AASHTO M294, TYPE S FOR 12" TO 48" DIAMETER.
  - 12.3. ALL CORRUGATED PLASTIC EDGE DRAINS / UNDERDRAINS (CPP) SHALL MEET THE REQUIREMENTS OF AASHTO M252 FOR POLYETHYLENE TUBING. ALL UNDERDRAINS SHALL BE WRAPPED IN A GEOTEXTILE WRAP. ALL CORRUGATED METAL PIPE (CMP) SHALL CONFORM TO AASHTO M36.
  - 12.4. ALL POLYVINYL CHLORIDE SOLID WALL PIPE (PVC) SHALL IN SIZES SHALL BE SDR 35.
  13. ALL PIPE JOINTS SHALL BE:
    - 13.1. RCP: ALL JOINTS SHALL BE PREMIUM JOINTS. PREMIUM JOINTS FOR CIRCULAR PIPE SHALL CONFORM TO ASTM C443 LIMITED AS FOLLOWS: SECTION 5.1 OF C443, "PHYSICAL REQUIREMENTS FOR GASKETS" SHALL BE REPLACED WITH SECTION 6.9 OF C361, "RUBBER GASKETS". ALSO, SECTION 5 OF C443 SHALL BE LIMITED TO A MODIFIED GROOVED TONGUE TO RECEIVE A RUBBER GASKET.
    - 13.2. HDPE: JOINTS SHALL BE BELL & SPIGOT TYPE WITH RUBBER GASKETS ON BOTH SIDES OF THE JOINT CONFORMING TO AND ASTM F477. SPLIT COLLAR COUPLERS ARE NOT ALLOWED. JOINTS SHALL BE WATERTIGHT MEETING THE PERFORMANCE REQUIREMENTS OF ASTM D3212.
    - 13.3. CMP: JOINTS FOR CORRUGATED METAL PIPE SHALL BE MADE BY USE OF COUPLING BANDS. COUPLING BANDS SHALL BE OF THE SAME MATERIAL AS SPECIFIED FOR THE PIPE AND SHALL PREVENT INFILTRATION OF THE SIDE FILL MATERIAL. COUPLING BANDS SHALL BE CORRUGATED TO MATCH THE CORRUGATIONS OF THE PIPE TO BE JOINTED. AND SHALL INCLUDE TWO (2) "O" RING NEOPRENE GASKETS FOR EACH JOINT. DIMPLE BANDS SHALL NOT BE USED. JOINTS SHALL BE WRAPPED WITH A 3 FOOT (1 M) WIDE GEOTEXTILE FILTER FABRIC CENTERED ON THE JOINT.
    - 13.4. PVC: JOINTS SHALL BE ASTM D3212, PUSH-ON TYPE. A JOINT IN WHICH AN ELASTOMERIC RING GASKET IS COMPRESSED IN THE ANNULAR SPACE BETWEEN A BELL END OR SOCKET AND A SPIGOT END OF PIPE.
  14. THE CONTRACTOR SHALL EXPOSE THE EXISTING STORM SEWER AND STRUCTURES TO WHICH THE NEW WORK IS TO BE CONNECTED AND VERIFY THE EXACT VERTICAL AND HORIZONTAL LOCATIONS OF THE EXISTING SYSTEM. HE SHALL INFORM ENGINEER AS TO THE NECESSARY ADJUSTMENTS REQUIRED TO ALIGN THE NEW STORM SEWER WORK WITH THE EXISTING SYSTEM IF REQUIRED.
  15. ALL CATCH BASIN STRUCTURES, SEE DETAIL THIS SHEET.
  16. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONNECT ALL BUILDING FOOTING DRAINS TO THE NEAREST DRAINAGE STRUCTURE, COORDINATE WITH ARCHITECTURAL PLANS.
  17. TRENCH BACKFILL:
    - 17.1. ALL PIPE THAT RUNS UNDER PAVEMENT, GRAVEL OR CONCRETE SURFACE AND WITHIN A 1 ON 1 INFLUENCE OF THE PAVEMENT, GRAVEL OR CONCRETE SURFACE TO RECEIVE 100% GRANULAR MATERIAL (SEE NOTE) COMPACTED TO A MINIMUM 95% OF THE MAXIMUM DRY DENSITY DETERMINED BY MODIFIED PROCTOR TEST.
    - 17.2. ALL PIPE THAT RUNS OUTSIDE THE PAVED, GRAVEL OR CONCRETE SURFACE SHALL BE BACKFILLED IN MAX 12" LIFTS WITH SUITABLE NATIVE MATERIAL COMPACTED TO A MINIMUM 95% OF THE MAXIMUM DRY DENSITY DETERMINED BY MODIFIED PROCTOR TEST.
  18. MATERIALS:
    - 18.1. GRANULAR MATERIAL - MDOT CLASS II SAND
    - 18.2. OPEN GRADED AGGREGATE - MDOT 6A OR AASHTO #57
    - 18.3. DENSE GRADED AGGREGATE - MDOT 22AA CRUSHED Limestone

STORM SEWER STRUCTURE TABLE						
STR. #	SIZE	RIM	INVERTS	NORTHING	EASTING	
STORM CB #P1-1	48"	881.23	E 24" 876.89 NW 24" 876.89	354046.12	13270926.82	
STORM CB #P1-2	48"	883.22	E 21" 878.45 W 24" 878.45	353951.56	13271304.97	
STORM FES #P1-1	48"	874.58	SE 24" 869.40	354165.52	13270525.76	
STORM FES #P1-2		875.71	NE 18" 873.50	354195.12	13270725.07	
STORM FES #P1-5		878.54	SE 24" 876.33	354101.70	13270800.08	
STORM FES #P1-6		883.17	W 21" 881.50	353951.60	13271563.79	
STORM FES #P1-7		886.46	E 12" 884.79	354102.85	13272025.01	
STORM FES #P1-8		886.67	W 12" 885.00	354102.85	13272073.01	
STORM FES #P1-9		888.47	N 12" 886.80	354300.40	13271345.69	
STORM FES #P1-10		888.73	S 12" 887.06	354349.40	13271345.99	
STORM FES #P1-11		888.67	NE 12" 887.00	354269.21	13271465.01	
STORM FES #P1-12		888.91	W 12" 887.25	354296.23	13271522.87	
STORM FES #P1-13		889.05	S 12" 887.38	354350.27	13271505.56	
STORM FES #P1-14		883.02	N 12" 881.35	354452.93	13271039.93	
STORM FES #P1-15		884.20	S 12" 882.53	354577.97	13271087.35	
STORM FES #P2-1	48"	878.08	NW 24" 875.33	353205.74	13271062.36	
STORM FES #P2-2	48"	880.71	N 18" 878.50	353364.54	13271936.78	
STORM FES #P2-3	48"	885.63	N 12" 883.96	353494.34	13271055.40	
STORM FES #P2-4	48"	887.05	S 12" 885.38	353571.96	13271066.98	
STORM FES #P2-5	48"	890.07	NE 12" 888.40	353359.67	13271807.08	
STORM FES #P2-6	48"	890.23	SW 12" 888.57	353385.75	13271838.14	
STORM MH #P1-1	48"	890.23	N 12" 887.19 E 12" 887.19 SW 12" 887.19	354297.27	13271505.55	
STORM OCS #P1-1	48"	878.00	NW 24" 870.00	354106.99	13270821.60	
STORM OCS #P1-2	36"	877.60	SW 18" 874.00	354224.11	13270764.48	
STORM OCS #P2-1	48"	882.00	SE 24" 876.00	353326.75	13270998.00	

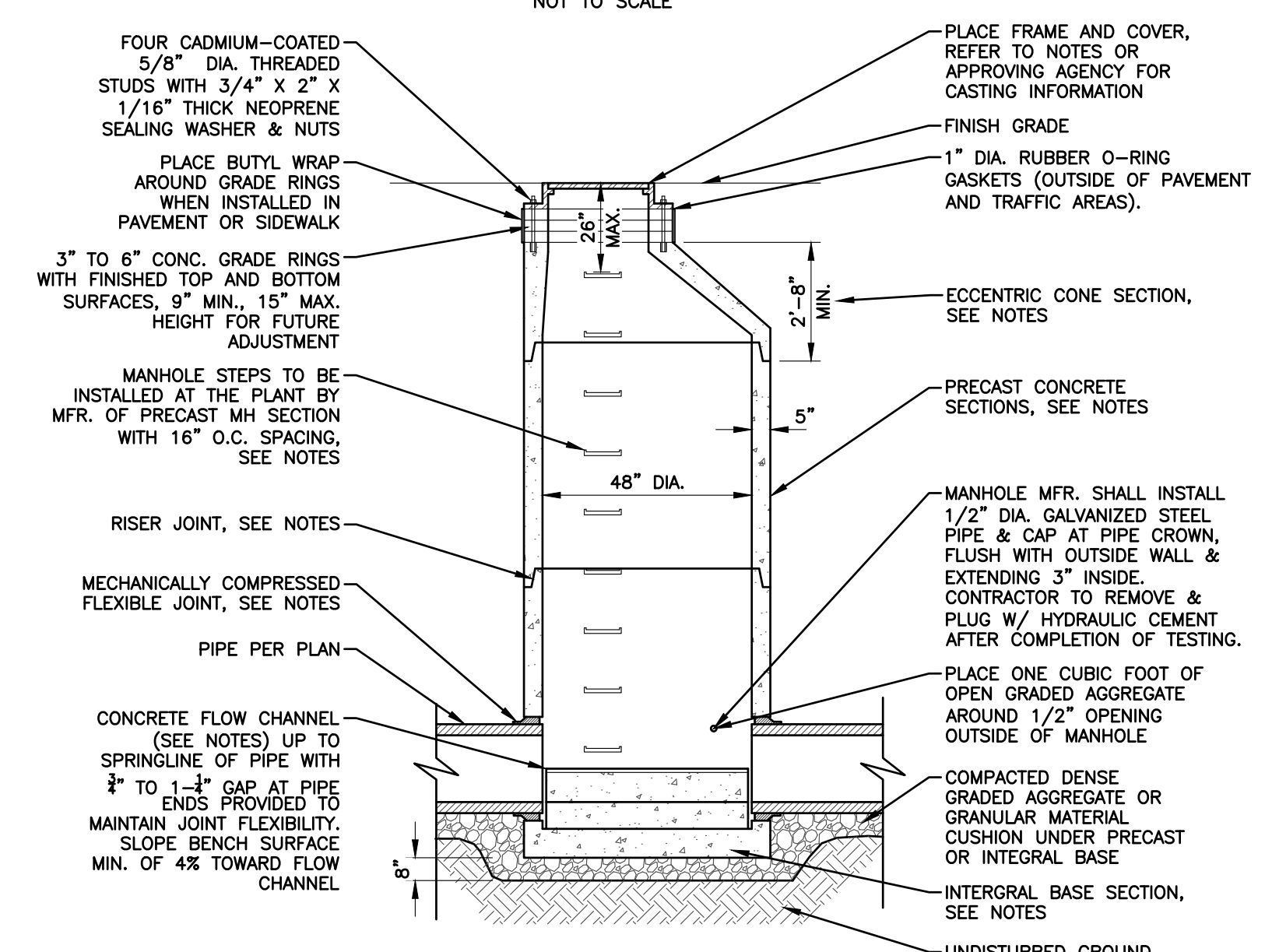
SANITARY SEWER STRUCTURE TABLE						
STR. #	SIZE	RIM	INVERTS	NORTHING	EASTING	
EX. SAN MH #1	48"	889.56	SW 2" 884.50	354483.28	13271826.53	
SAN MH #2	48"	889.10	S 8" 880.76 W 8" 880.66	354279.90	13271959.73	
SAN MH #3	48"	888.42	N 8" 881.93	353986.27	13271959.79	
SAN MH #4	48"	888.63	W 8" 878.07 E 8" 877.97 S 8" 879.17	354342.63	13271517.52	
SAN MH #5	48"	885.50	S 8" 880.39 N 8" 880.29	354064.63	13271540.14	
SAN MH #6	48"	887.88	S 8" 881.63 N 8" 881.53	353788.83	13271468.28	
SAN MH #7	48"	892.23	E 8" 882.90 N 8" 882.80	353496.20	13271467.19	
SAN MH #8	48"	890.81	SE 8" 883.96 W 8" 883.86	353434.96	13271700.11	
SAN MH #9	48"	890.21	SE 8" 884.63 NW 8" 884.53	353344.43	13271810.19	
SAN MH #10	48"	891.74	NW 8" 885.56 E 8" 885.80	353179.98	13271973.33	
SAN MH #11	48"	888.01	W 8" 878.93 E 8" 878.83	354345.36	13271326.66	
SAN MH #12	48"	887.29	SW 8" 879.59 E 8" 879.49 NW 8" 880.01	354330.41	13271188.54	
SAN MH #13	48"	885.13	SW 8" 880.73 NE 8" 880.63	354201.75	13270961.50	
SAN MH #14	48"	884.95	S 8" 881.83 N 8" 881.73	353982.94	13270839.12	
SAN MH #15	48"	887.46	SW 8" 883.08 N 8" 882.98	353695.01	13270828.79	
SAN MH #16	48"	889.77	SW 8" 884.18 NE 8" 884.08	353494.37	13270681.68	
SAN MH #17	48"	886.20	NW 8" 880.61 SE 8" 880.51	354475.47	13271108.26	
SAN MH #18	48"	885.76	SE 8" 881.08	354561.84	13270978.91	
SAN PS #1	48"	889.64	E 8" 879.82 W 8" 877.00 NE 2" 883.33	354344.48	13271581.91	



**36" DIA. CATCH BASIN DETAIL**



**24" DIA. CATCH BASIN DETAIL**



**STANDARD SANITARY MANHOLE**

Item No.	DESCRIPTION

25201 Northern Rd.  
25201 Northern Rd.  
724-847-0700  
www.wade-trim.com

**WADE TRIM**

**FREEDOM RIVER, INC.**  
9305 HURON RAPIDS DRIVE  
WHITEMORE LAKE, MI 48189

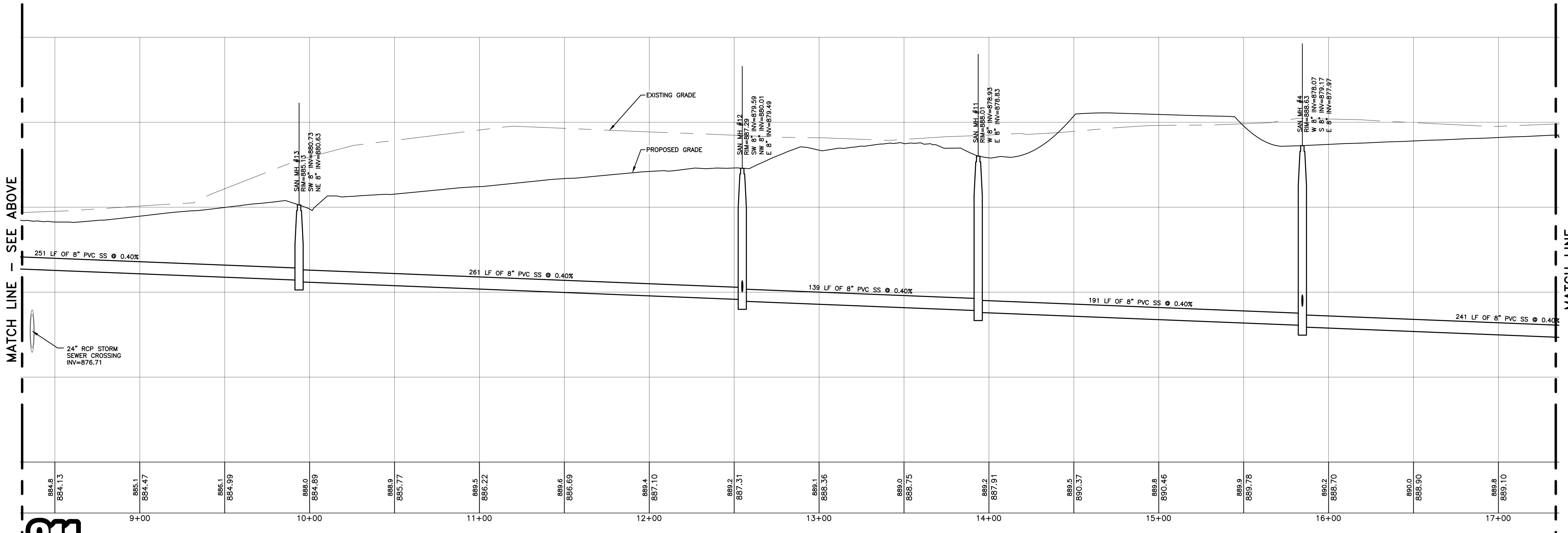
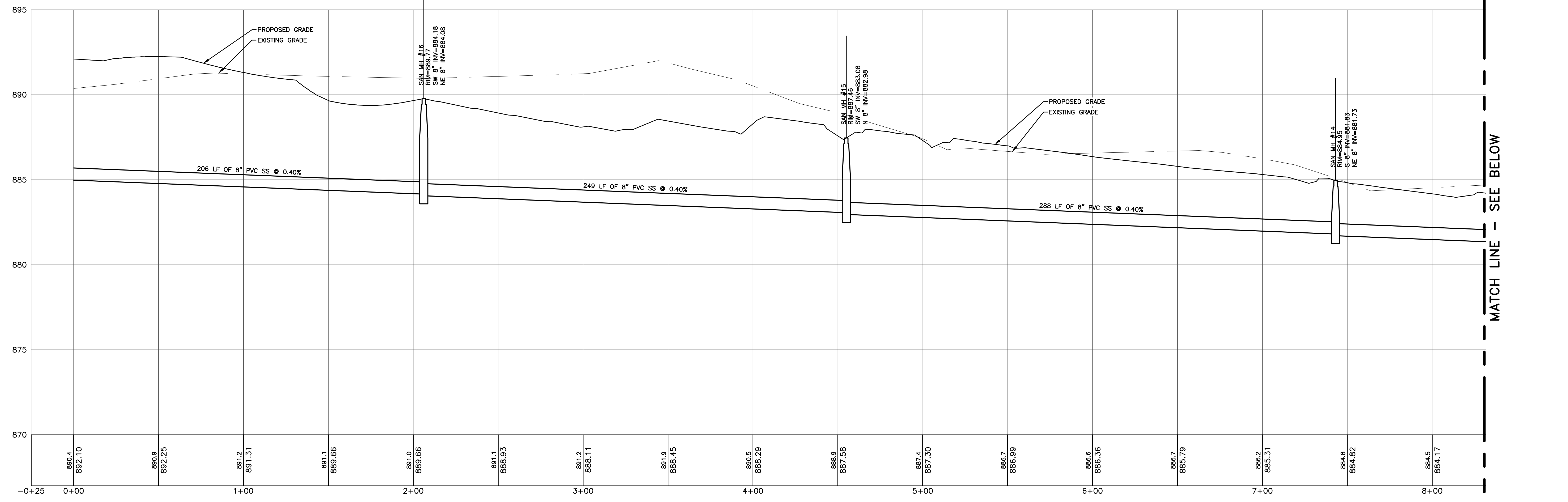
UTILITY DETAILS FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR:	DATE:	BY:
SPA	6/1/23	GLS
JOB NO.	VCM2001	
SHEET	C5.2	

FIELD BOOK INFORMATION: C:\P\_WORK\WADE-TRIM\_CSPRESS\0228134\PLANS-UTILITY-DETAILS.DWG - CS.1, UTILITY-DETAILS - PLOTTED 6/1/2023 4:35 PM BY: SPRESS, GREG

Know what's below.  
Call before you dig.

PROJECT MANAGER: C:\PW\_WORK\WADE-TRIM\_CSP\SS1-D128134\PLTS-SANITARY-PROFILES.DWG - A - PLOTTED 6/17/2023 4:35 PM BY: SPIESS, GREG



Know what's below.  
Call before you dig.

REV#	DATE	DESCRIPTION

2520 Northline Rd.  
 724-977-9700  
 www.wadetrtrim.com

**FREEDOM RIVER, INC.**  
 9305 HURON RAPIDS DRIVE  
 WHITEMORE LAKE, MI 48189  
 SANITARY PROFILES - A  
 FREEDOM RIVER CAMPGROUND

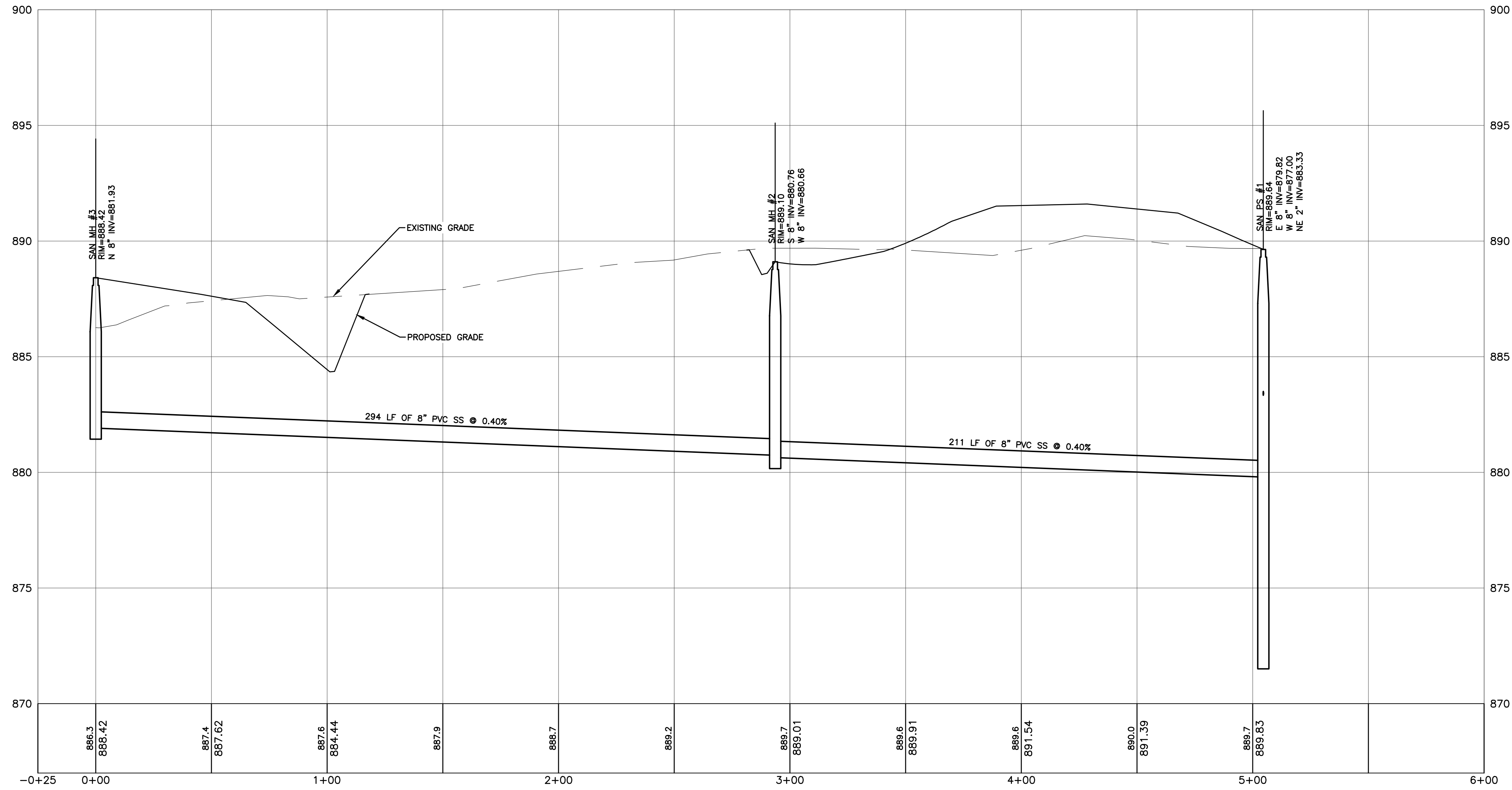
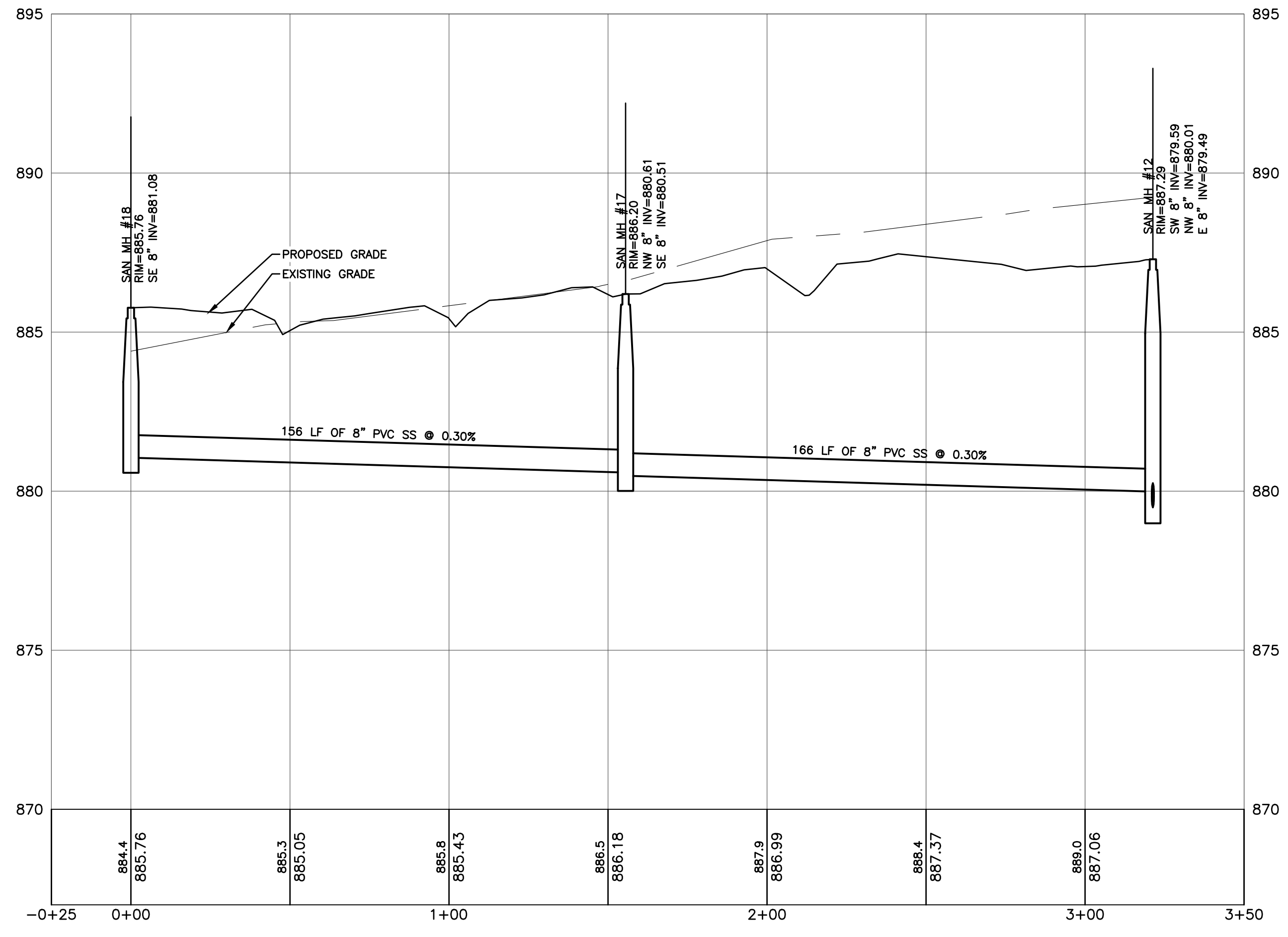
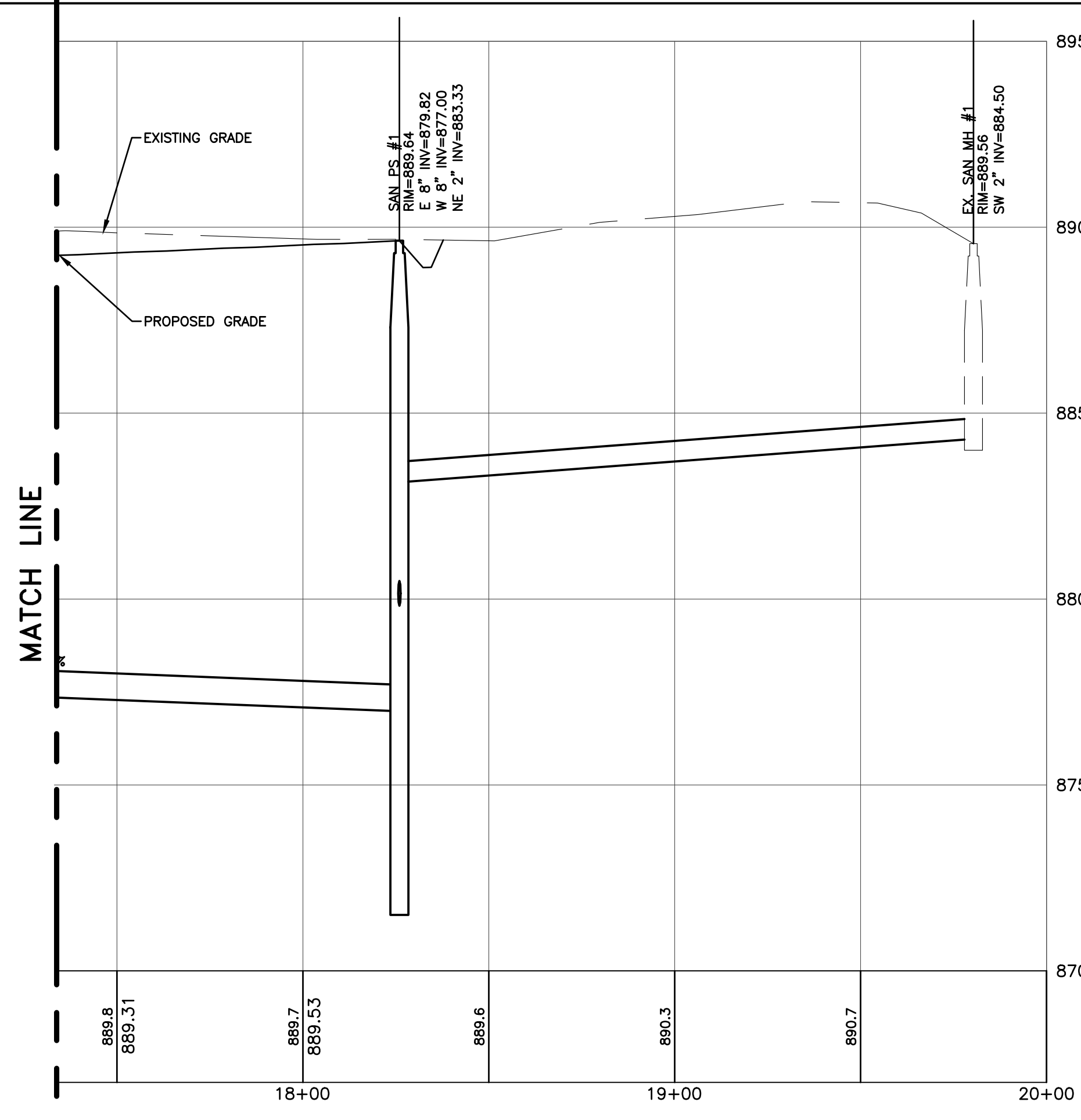
ISSUED FOR: SPA	DATE: 6/1/23	BY: GLS
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JOB NO. VCM2001

SHEET C5.3



Know what's below.  
Call before you dig.



REV#	DATE	DESCRIPTION



**FREEDOM RIVER, INC.**  
**9305 HURON RAPIDS DRIVE**  
**WHITEMORE LAKE, MI 48189**  
 SANITARY PROFILES - B  
 FOR  
 FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA  
 DATE: 6/1/23  
 BY: GLS

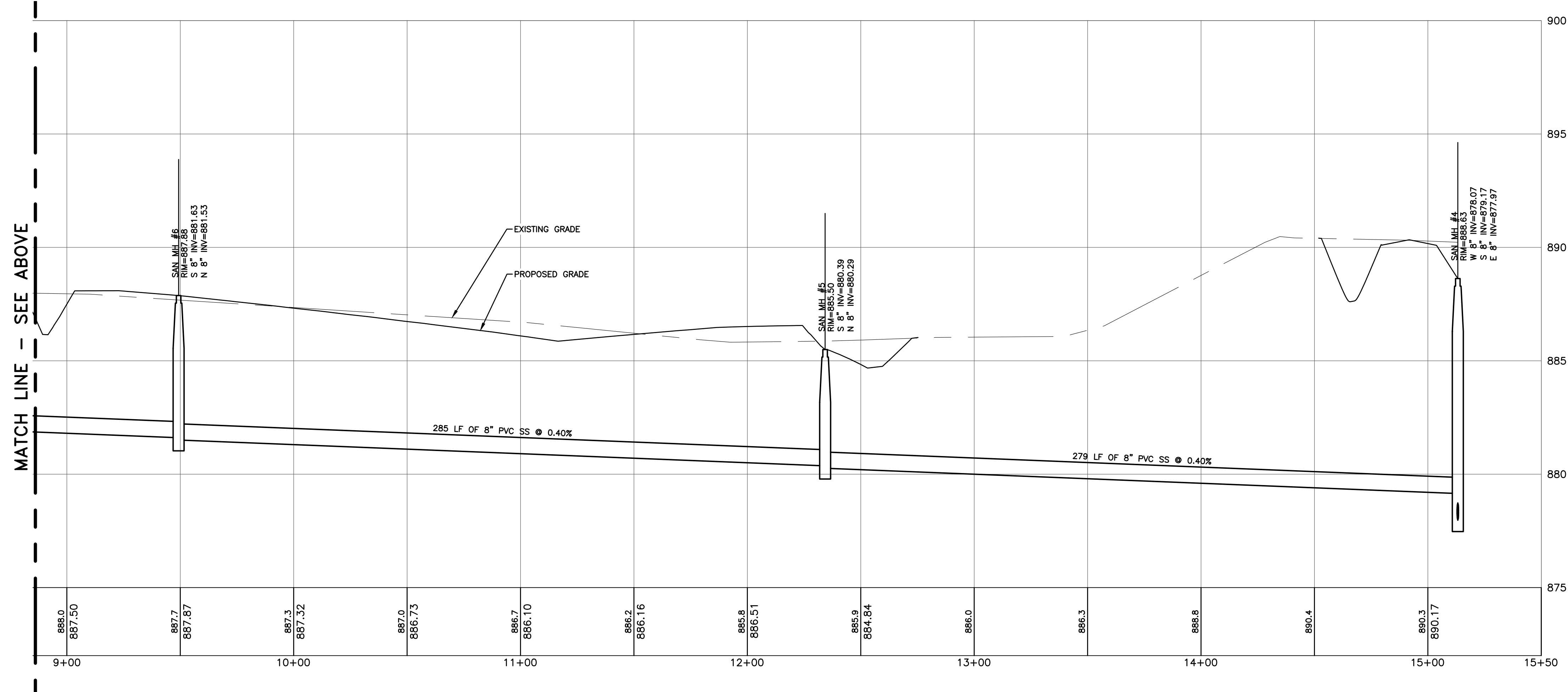
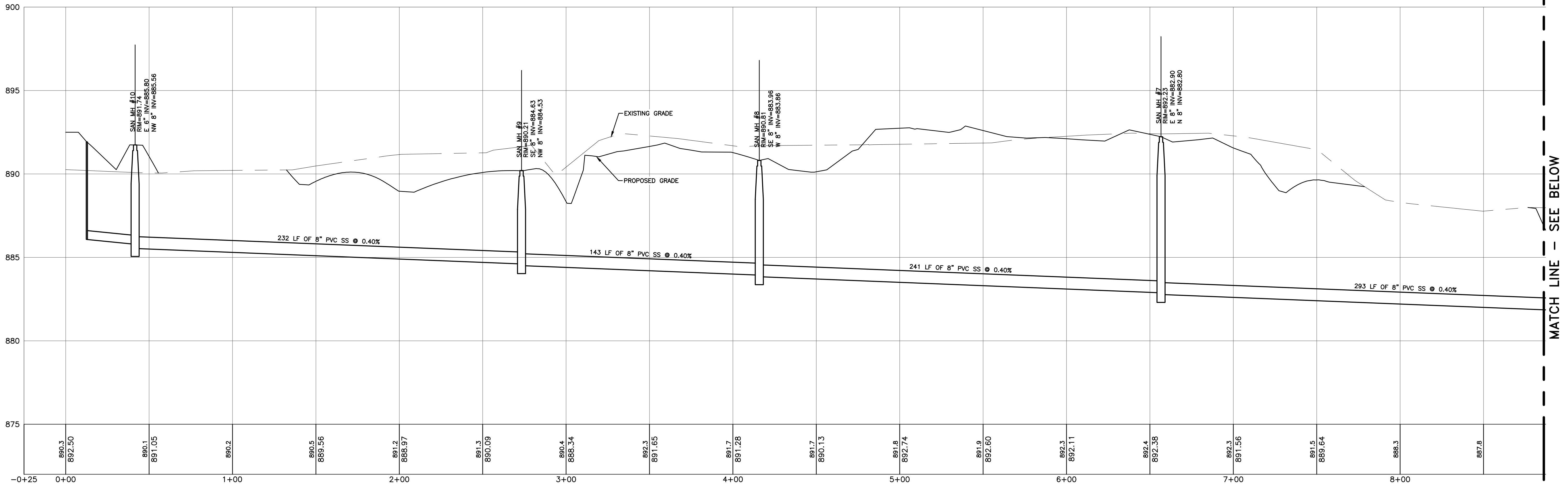
JOB NO.  
**VCM2001**

SHEET  
**C5.4**

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Know what's below.  
Call before you dig.



REV#	DATE	DESCRIPTION



FREEDOM RIVER, INC.  
9305 HURON RAPIDS DRIVE  
WHITEMORE LAKE, MI 48189  
SANITARY PROFILES - C  
FOR  
FREEDOM RIVER CAMPGROUND

ISSUED FOR: SPA DATE: 6/1/23 BY: GLS

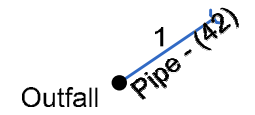
JOB NO. VCM2001

SHEET C5.5

Waide Trim Group, Inc.

# Hydraflow Storm Sewers Extension for Autodesk® Civil 3D® Plan

Item 9.



# Storm Sewer Inventory Report

Item 9.

Line No.	Alignment				Flow Data				Physical Data							Line ID	
	Dnstr Line No.	Line Length (ft)	Defl angle (deg)	Junc Type	Known Q (cfs)	Drng Area (ac)	Runoff Coeff (C)	Inlet Time (min)	Invert El Dn (ft)	Line Slope (%)	Invert El Up (ft)	Line Size (in)	Line Shape	N Value (n)	J-Loss Coeff (K)		Inlet/ Rim El (ft)
1	End	40.551	-40.020	Hdwl	0.00	2.05	0.53	25.0	888.40	0.42	888.57	12	Cir	0.013	1.00	890.23	Pipe - (42)

# Structure Report

Item 9.

Struct No.	Structure ID	Junction Type	Rim Elev (ft)	Structure			Line Out			Line In		
				Shape	Length (ft)	Width (ft)	Size (in)	Shape	Invert (ft)	Size (in)	Shape	Invert (ft)
1	STORM FES #P2-6	OpenHeadwall	890.23	n/a	n/a	n/a	12	Cir	888.57			



# Storm Sewer Summary Report

Item 9.

Line No.	Line ID	Flow rate (cfs)	Line Size (in)	Line shape	Line length (ft)	Invert EL Dn (ft)	Invert EL Up (ft)	Line Slope (%)	HGL Down (ft)	HGL Up (ft)	Minor loss (ft)	HGL Junct (ft)	Dns Line No.	Ju Type
1	Pipe - (42)	3.80	12	Cir	40.551	888.40	888.57	0.419	889.23*	889.79*	0.36	890.15	End	OpenHeadwall

Project File: Freedom River Storm.stm

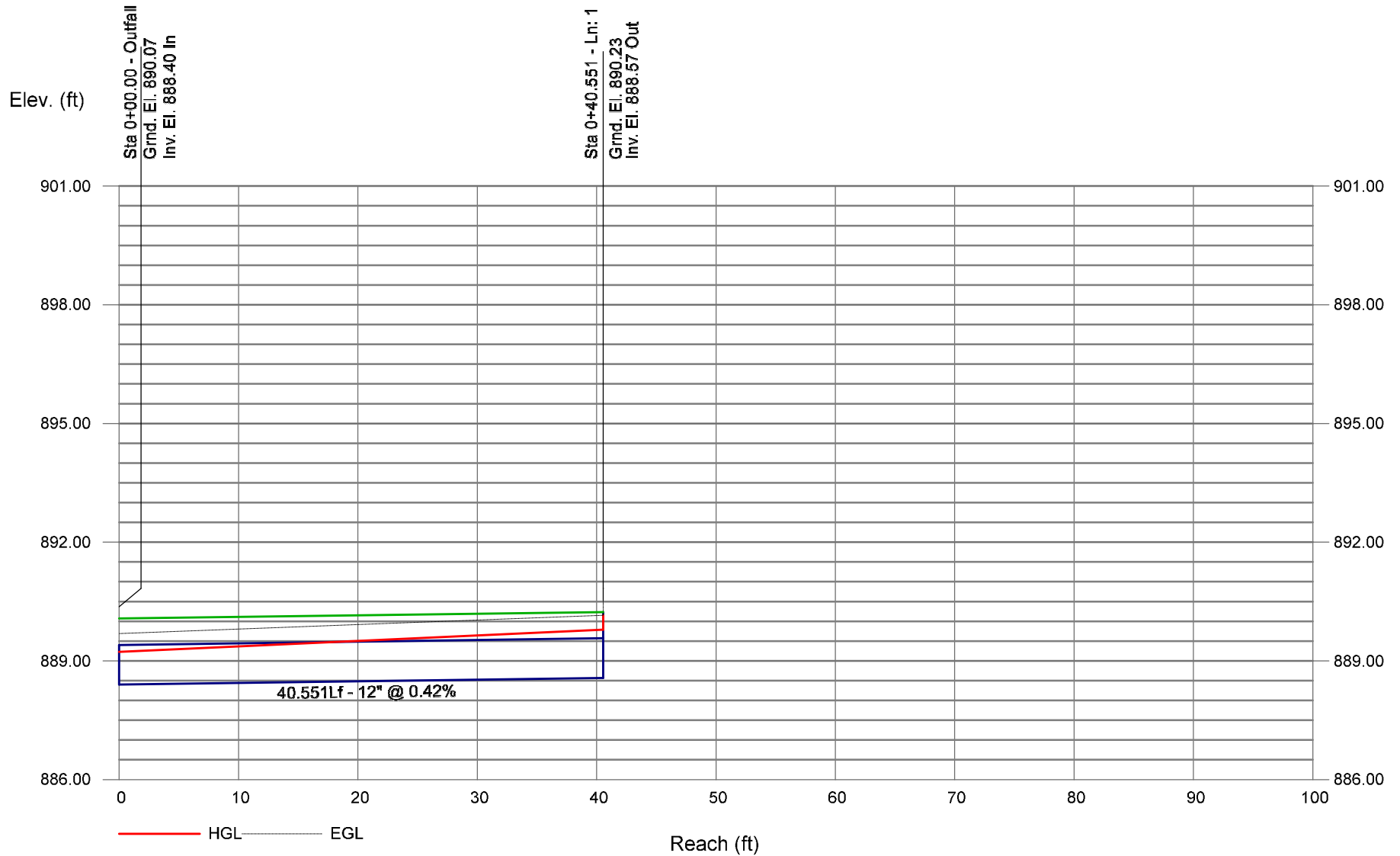
Number of lines: 1

Run Date: 6/1/2023

NOTES: Return period = 10 Yrs. ; \*Surcharged (HGL above crown).

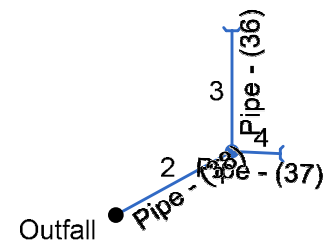
# Storm Sewer Profile

Item 9.



# Hydraflow Storm Sewers Extension for Autodesk® Civil 3D® Plan

Item 9.



# Storm Sewer Inventory Report

Item 9.

Line No.	Alignment				Flow Data				Physical Data							Line ID	
	Dnstr Line No.	Line Length (ft)	Defl angle (deg)	Junc Type	Known Q (cfs)	Drng Area (ac)	Runoff Coeff (C)	Inlet Time (min)	Invert EI Dn (ft)	Line Slope (%)	Invert EI Up (ft)	Line Size (in)	Line Shape	N Value (n)	J-Loss Coeff (K)		Inlet/ Rim EI (ft)
4	2	17.356	38.132	Hdwl	0.00	0.36	0.48	20.0	887.19	0.35	887.25	12	Cir	0.013	1.00	888.91	Pipe - (37)
3	2	53.000	-55.292	Hdwl	0.00	1.89	0.38	25.0	887.19	0.36	887.38	12	Cir	0.013	1.00	889.05	Pipe - (36)
2	End	49.297	-34.692	MH	0.00	0.00	0.00	0.0	887.00	0.39	887.19	12	Cir	0.013	0.85	890.23	Pipe - (38)

# Structure Report

Item 9.

Struct No.	Structure ID	Junction Type	Rim Elev (ft)	Structure			Line Out			Line In		
				Shape	Length (ft)	Width (ft)	Size (in)	Shape	Invert (ft)	Size (in)	Shape	Invert (ft)
4	STORM FES #P1-12	OpenHeadwall	888.91	n/a	n/a	n/a	12	Cir	887.25			
3	STORM FES #P1-13	OpenHeadwall	889.05	n/a	n/a	n/a	12	Cir	887.38			
2	STORM MH #P1-1	Manhole	890.23	Cir	4.00	4.00	12	Cir	887.19	12 12	Cir Cir	887.19 887.19

# Storm Sewer Summary Report

Item 9.

Line No.	Line ID	Flow rate (cfs)	Line Size (in)	Line shape	Line length (ft)	Invert EL Dn (ft)	Invert EL Up (ft)	Line Slope (%)	HGL Down (ft)	HGL Up (ft)	Minor loss (ft)	HGL Junct (ft)	Dns Line No.	Junction Type
4	Pipe - (37)	0.67	12	Cir	17.356	887.19	887.25	0.346	888.50*	888.50*	0.01	888.51	2	OpenHeadwall
3	Pipe - (36)	2.51	12	Cir	53.000	887.19	887.38	0.358	888.50*	888.76*	0.16	888.92	2	OpenHeadwall
2	Pipe - (38)	3.10	12	Cir	49.297	887.00	887.19	0.385	887.75*	888.29*	0.21	888.50	End	Manhole

Project File: Freedom River Storm.stm

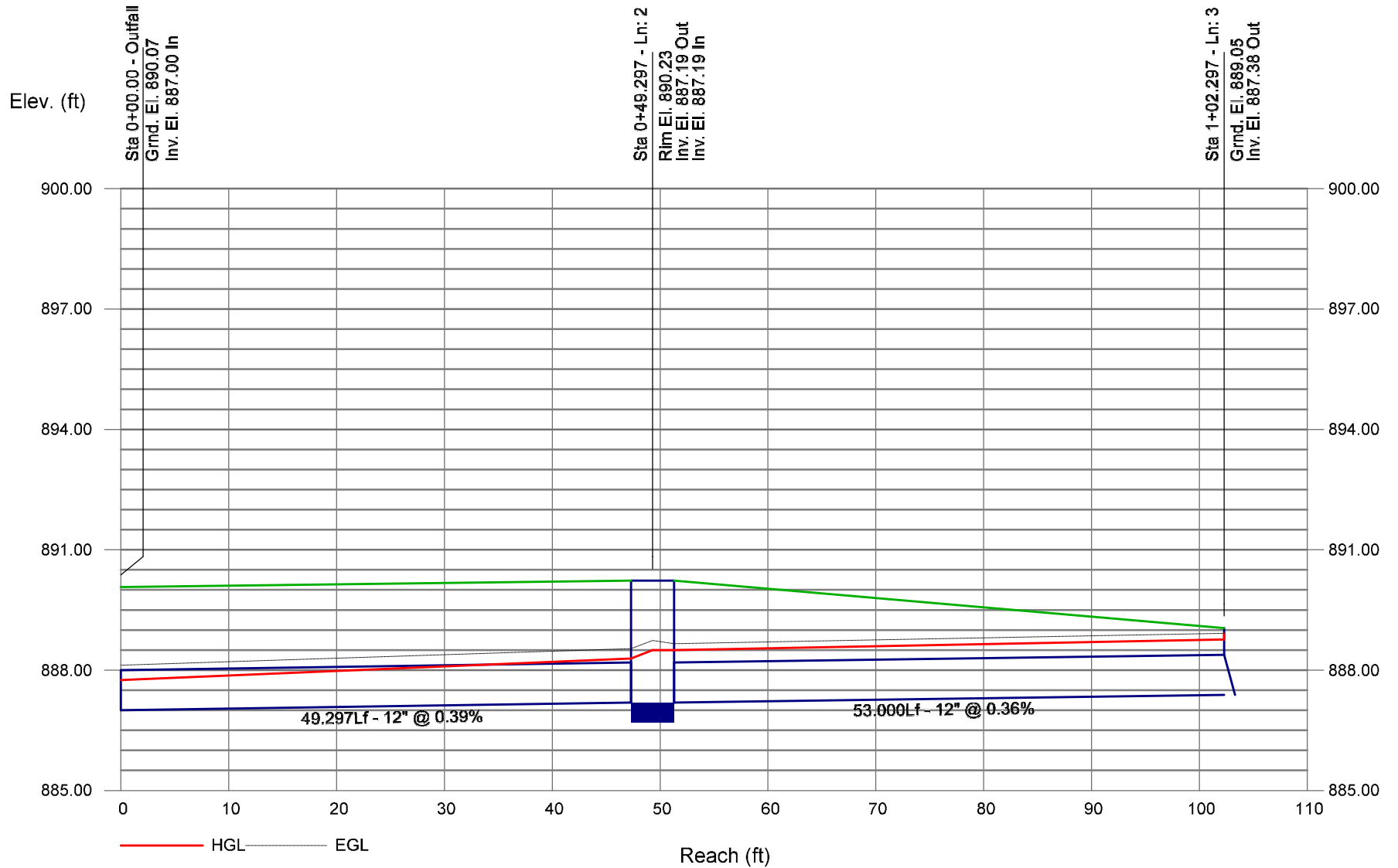
Number of lines: 3

Run Date: 6/1/2023

NOTES: Return period = 10 Yrs. ; \*Surcharged (HGL above crown).

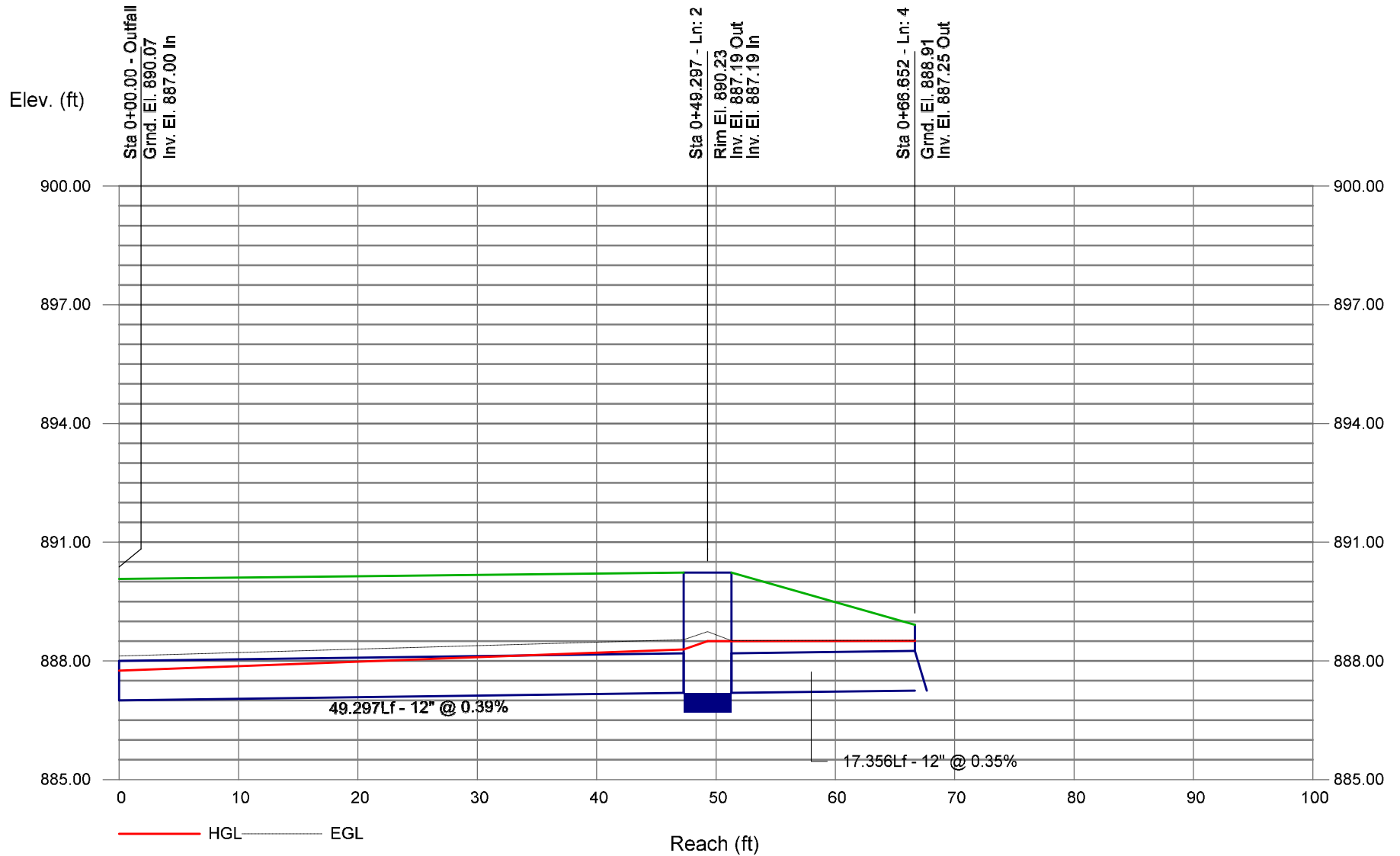
# Storm Sewer Profile

Item 9.



# Storm Sewer Profile

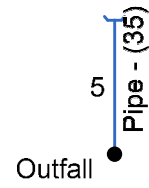
Item 9.





# Hydraflow Storm Sewers Extension for Autodesk® Civil 3D® Plan

Item 9.



# Storm Sewer Inventory Report

Item 9.

Line No.	Alignment				Flow Data				Physical Data							Line ID	
	Dnstr Line No.	Line Length (ft)	Defl angle (deg)	Junc Type	Known Q (cfs)	Drng Area (ac)	Runoff Coeff (C)	Inlet Time (min)	Invert El Dn (ft)	Line Slope (%)	Invert El Up (ft)	Line Size (in)	Line Shape	N Value (n)	J-Loss Coeff (K)		Inlet/ Rim El (ft)
5	End	49.000	-89.658	Hdwl	0.00	1.06	0.39	20.0	886.80	0.53	887.06	12	Cir	0.013	1.00	888.73	Pipe - (35)

# Structure Report

Item 9.

Struct No.	Structure ID	Junction Type	Rim Elev (ft)	Structure			Line Out			Line In		
				Shape	Length (ft)	Width (ft)	Size (in)	Shape	Invert (ft)	Size (in)	Shape	Invert (ft)
5	STORM FES #P1-10	OpenHeadwall	888.73	n/a	n/a	n/a	12	Cir	887.06			

# Storm Sewer Summary Report

Item 9.

Line No.	Line ID	Flow rate (cfs)	Line Size (in)	Line shape	Line length (ft)	Invert EL Dn (ft)	Invert EL Up (ft)	Line Slope (%)	HGL Down (ft)	HGL Up (ft)	Minor loss (ft)	HGL Junct (ft)	Dns Line No.	Ju Type
5	Pipe - (35)	1.61	12	Cir	49.000	886.80	887.06	0.531	887.34	887.65	0.17	887.82	End	OpenHeadwall

Project File: Freedom River Storm.stm

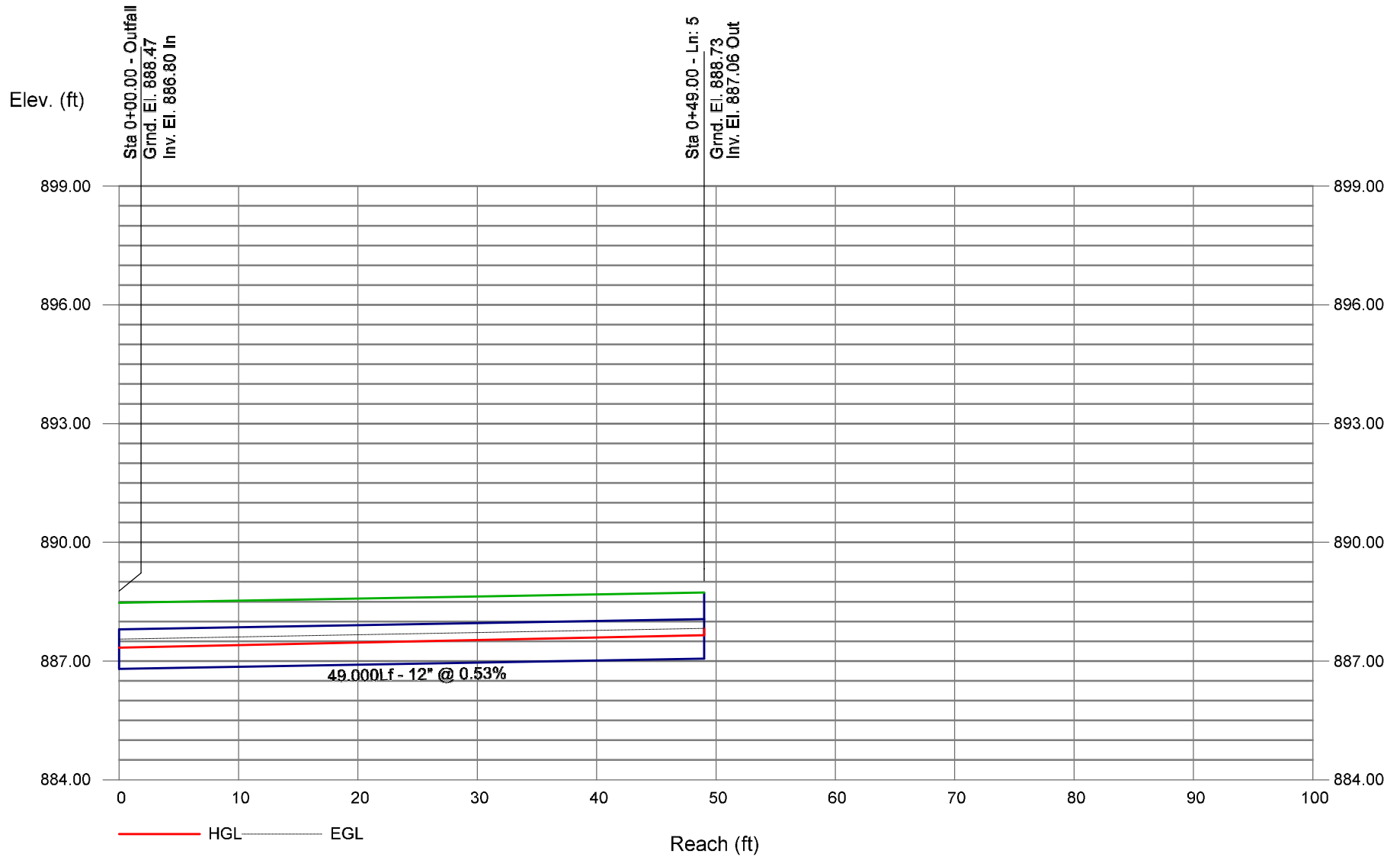
Number of lines: 1

Run Date: 6/1/2023

NOTES: Return period = 10 Yrs.

# Storm Sewer Profile

Item 9.



# Hydraflow Storm Sewers Extension for Autodesk® Civil 3D® Plan

Item 9.

Outfall Pipe - (26)  
6

# Storm Sewer Inventory Report

Item 9.

Line No.	Alignment				Flow Data				Physical Data							Line ID	
	Dnstr Line No.	Line Length (ft)	Defl angle (deg)	Junc Type	Known Q (cfs)	Drng Area (ac)	Runoff Coeff (C)	Inlet Time (min)	Invert EI Dn (ft)	Line Slope (%)	Invert EI Up (ft)	Line Size (in)	Line Shape	N Value (n)	J-Loss Coeff (K)		Inlet/ Rim EI (ft)
6	End	48.000	0.000	MH	0.00	1.66	0.33	20.0	884.79	0.44	885.00	12	Cir	0.013	1.00	886.67	Pipe - (26)

# Structure Report

Item 9.

Struct No.	Structure ID	Junction Type	Rim Elev (ft)	Structure			Line Out			Line In		
				Shape	Length (ft)	Width (ft)	Size (in)	Shape	Invert (ft)	Size (in)	Shape	Invert (ft)
6	STORM FES #P1-8	Manhole	886.67	Cir	0.00	0.00	12	Cir	885.00			



# Storm Sewer Summary Report

Item 9.

Line No.	Line ID	Flow rate (cfs)	Line Size (in)	Line shape	Line length (ft)	Invert EL Dn (ft)	Invert EL Up (ft)	Line Slope (%)	HGL Down (ft)	HGL Up (ft)	Minor loss (ft)	HGL Junct (ft)	Dns Line No.	Ju Type
6	Pipe - (26)	2.13	12	Cir	48.000	884.79	885.00	0.438	885.41	885.78	0.16	885.94	End	Manhole

Project File: Freedom River Storm.stm

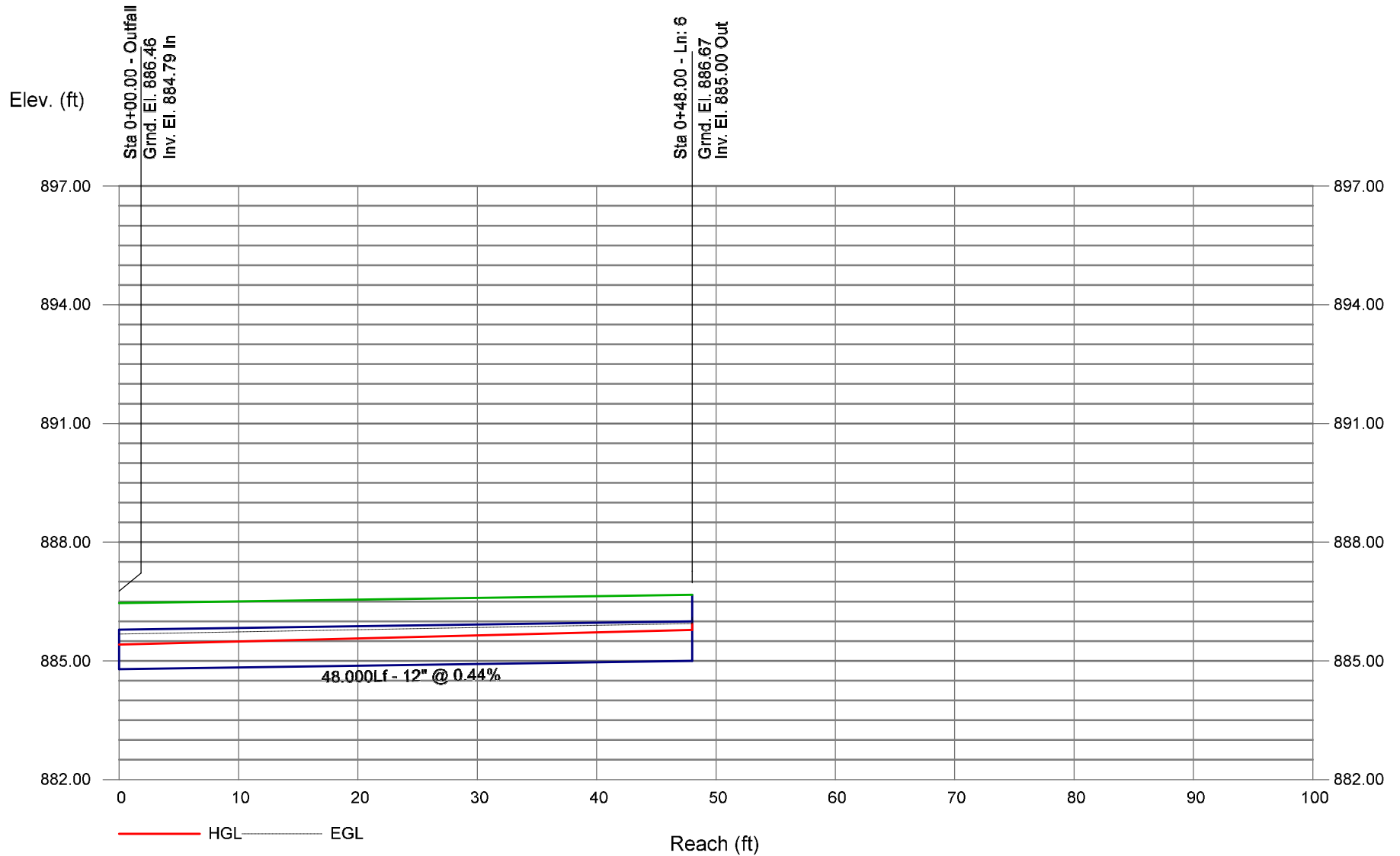
Number of lines: 1

Run Date: 6/1/2023

NOTES: Return period = 10 Yrs.

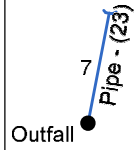
# Storm Sewer Profile

Item 9.



# Hydraflow Storm Sewers Extension for Autodesk® Civil 3D® Plan

Item 9.



# Storm Sewer Inventory Report

Item 9.

Line No.	Alignment				Flow Data				Physical Data							Line ID	
	Dnstr Line No.	Line Length (ft)	Defl angle (deg)	Junc Type	Known Q (cfs)	Drng Area (ac)	Runoff Coeff (C)	Inlet Time (min)	Invert El Dn (ft)	Line Slope (%)	Invert El Up (ft)	Line Size (in)	Line Shape	N Value (n)	J-Loss Coeff (K)		Inlet/ Rim El (ft)
7	End	78.476	-81.515	Hdwl	0.00	1.76	0.37	20.0	883.96	1.81	885.38	12	Cir	0.013	1.00	887.05	Pipe - (23)

# Structure Report

Item 9.

Struct No.	Structure ID	Junction Type	Rim Elev (ft)	Structure			Line Out			Line In		
				Shape	Length (ft)	Width (ft)	Size (in)	Shape	Invert (ft)	Size (in)	Shape	Invert (ft)
7	STORM FES #P2-4	OpenHeadwall	887.05	n/a	n/a	n/a	12	Cir	885.38			

# Storm Sewer Summary Report

Item 9.

Line No.	Line ID	Flow rate (cfs)	Line Size (in)	Line shape	Line length (ft)	Invert EL Dn (ft)	Invert EL Up (ft)	Line Slope (%)	HGL Down (ft)	HGL Up (ft)	Minor loss (ft)	HGL Junct (ft)	Dns Line No.	Ju Type
7	Pipe - (23)	2.53	12	Cir	78.476	883.96	885.38	1.809	884.64	886.06	n/a	886.06	End	OpenHeadwall

Project File: Freedom River Storm.stm

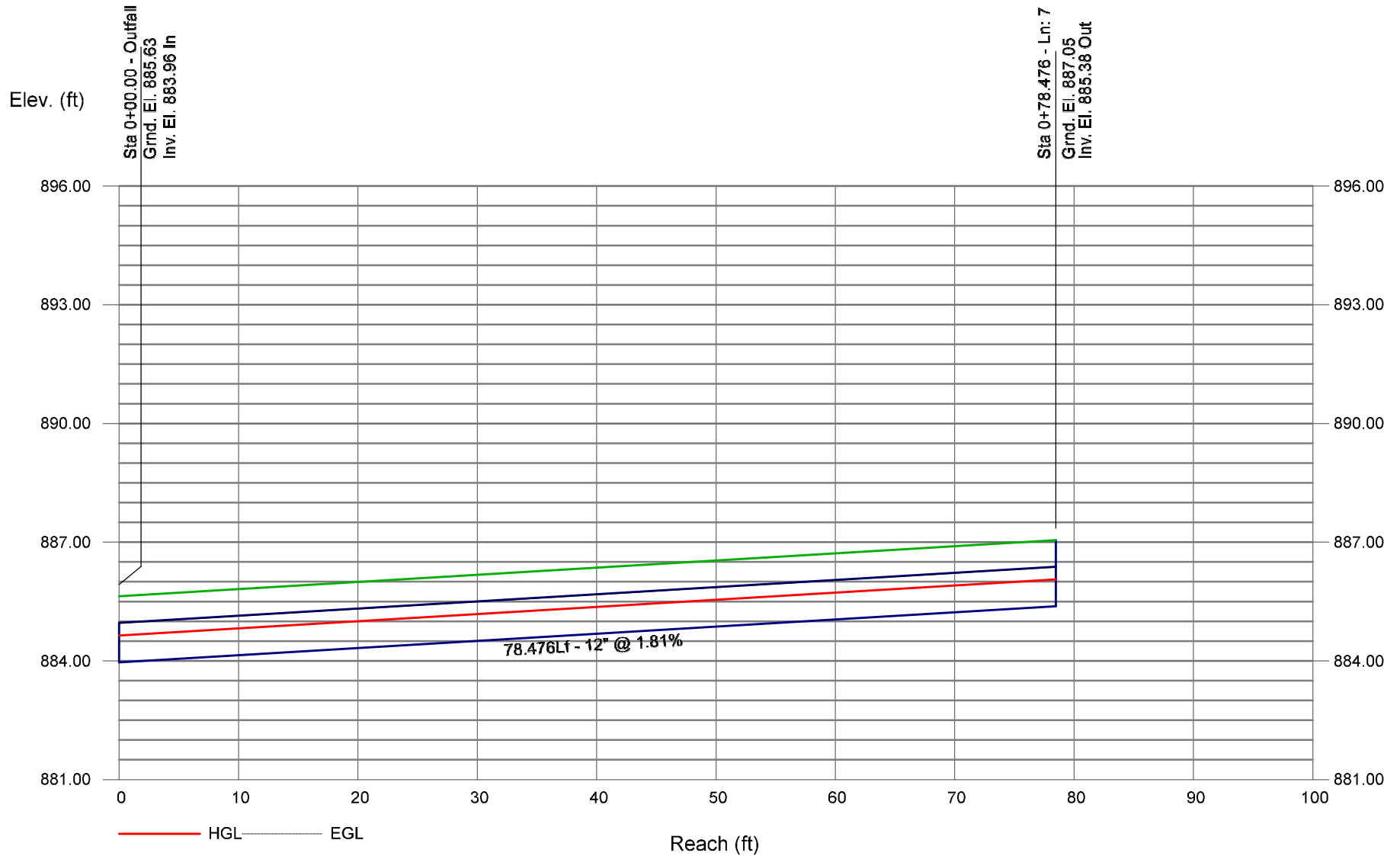
Number of lines: 1

Run Date: 6/1/2023

NOTES: Return period = 10 Yrs.

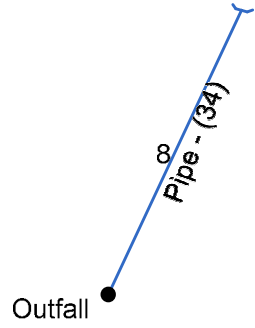
# Storm Sewer Profile

Item 9.



# Hydraflow Storm Sewers Extension for Autodesk® Civil 3D® Plan

Item 9.





# Storm Sewer Inventory Report

Item 9.

Line No.	Alignment				Flow Data				Physical Data							Line ID	
	Dnstr Line No.	Line Length (ft)	Defl angle (deg)	Junc Type	Known Q (cfs)	Drng Area (ac)	Runoff Coeff (C)	Inlet Time (min)	Invert El Dn (ft)	Line Slope (%)	Invert El Up (ft)	Line Size (in)	Line Shape	N Value (n)	J-Loss Coeff (K)		Inlet/ Rim El (ft)
8	End	133.734	-69.231	Hdwl	0.00	0.74	0.30	20.0	881.35	0.88	882.53	12	Cir	0.013	1.00	884.20	Pipe - (34)

# Structure Report

Item 9.

Struct No.	Structure ID	Junction Type	Rim Elev (ft)	Structure			Line Out			Line In		
				Shape	Length (ft)	Width (ft)	Size (in)	Shape	Invert (ft)	Size (in)	Shape	Invert (ft)
8	STORM FES #P1-15	OpenHeadwall	884.20	n/a	n/a	n/a	12	Cir	882.53			

# Storm Sewer Summary Report

Item 9.

Line No.	Line ID	Flow rate (cfs)	Line Size (in)	Line shape	Line length (ft)	Invert EL Dn (ft)	Invert EL Up (ft)	Line Slope (%)	HGL Down (ft)	HGL Up (ft)	Minor loss (ft)	HGL Junct (ft)	Dns Line No.	Ju Type
8	Pipe - (34)	0.86	12	Cir	133.734	881.35	882.53	0.882	881.74	882.92	n/a	882.92 j	End	OpenHeadwall

Project File: Freedom River Storm.stm

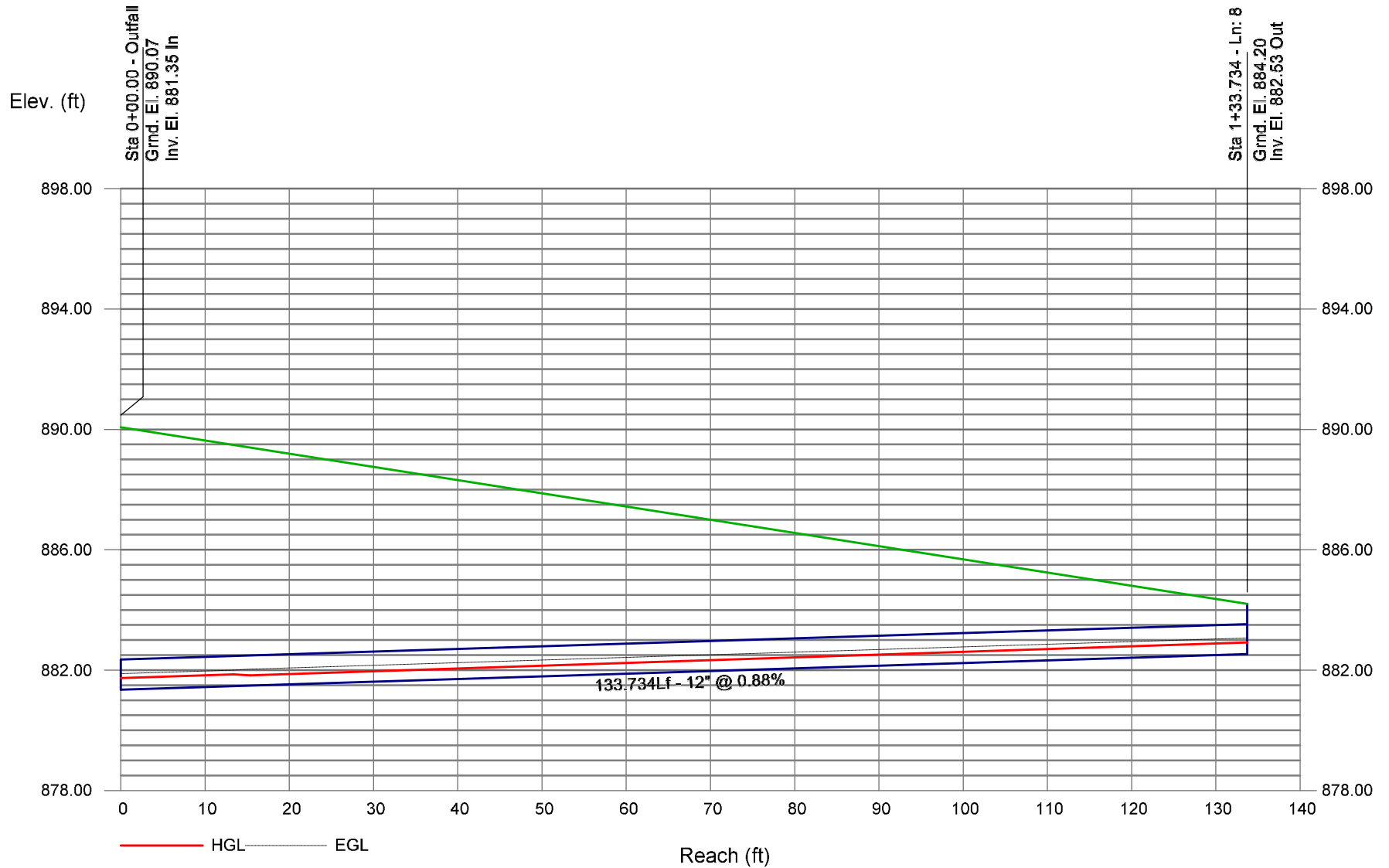
Number of lines: 1

Run Date: 6/1/2023

NOTES: Return period = 10 Yrs. ; j - Line contains hyd. jump.

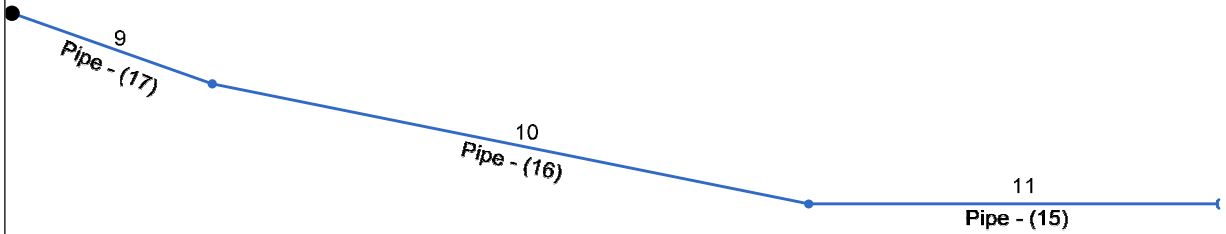
# Storm Sewer Profile

Item 9.



# Hydraflow Storm Sewers Extension for Autodesk® Civil 3D® Plan

Item 9.



# Storm Sewer Inventory Report

Item 9.

Line No.	Alignment				Flow Data				Physical Data							Line ID	
	Dnstr Line No.	Line Length (ft)	Defl angle (deg)	Junc Type	Known Q (cfs)	Drng Area (ac)	Runoff Coeff (C)	Inlet Time (min)	Invert EI Dn (ft)	Line Slope (%)	Invert EI Up (ft)	Line Size (in)	Line Shape	N Value (n)	J-Loss Coeff (K)		Inlet/ Rim EI (ft)
11	10	258.827	-14.049	Hdwl	0.00	11.12	0.27	30.0	878.45	1.18	881.50	21	Cir	0.013	1.00	883.17	Pipe - (15)
10	9	389.796	-9.639	MH	0.00	4.38	0.53	20.0	876.89	0.40	878.45	24	Cir	0.013	0.29	883.22	Pipe - (16)
9	End	138.386	23.678	MH	0.00	3.47	0.32	20.0	876.33	0.40	876.89	24	Cir	0.013	0.20	881.23	Pipe - (17)

# Structure Report

Item 9.

Struct No.	Structure ID	Junction Type	Rim Elev (ft)	Structure			Line Out			Line In		
				Shape	Length (ft)	Width (ft)	Size (in)	Shape	Invert (ft)	Size (in)	Shape	Invert (ft)
11	STORM FES #P1-6	OpenHeadwall	883.17	n/a	n/a	n/a	21	Cir	881.50			
10	STORM CB #P1-2	Manhole	883.22	Cir	4.00	4.00	24	Cir	878.45	21	Cir	878.45
9	STORM CB #P1-1	Manhole	881.23	Cir	4.00	4.00	24	Cir	876.89	24	Cir	876.89

# Storm Sewer Summary Report

Item 9.

Line No.	Line ID	Flow rate (cfs)	Line Size (in)	Line shape	Line length (ft)	Invert EL Dn (ft)	Invert EL Up (ft)	Line Slope (%)	HGL Down (ft)	HGL Up (ft)	Minor loss (ft)	HGL Junct (ft)	Dns Line No.	Junction Type
11	Pipe - (15)	9.55	21	Cir	258.827	878.45	881.50	1.178	881.93	882.83	0.37	883.20	10	OpenHeadwall
10	Pipe - (16)	16.60	24	Cir	389.796	876.89	878.45	0.400	879.70*	881.80*	0.13	881.93	9	Manhole
9	Pipe - (17)	19.63	24	Cir	138.386	876.33	876.89	0.405	878.54*	879.58*	0.12	879.70	End	Manhole

Project File: Freedom River Storm.stm

Number of lines: 3

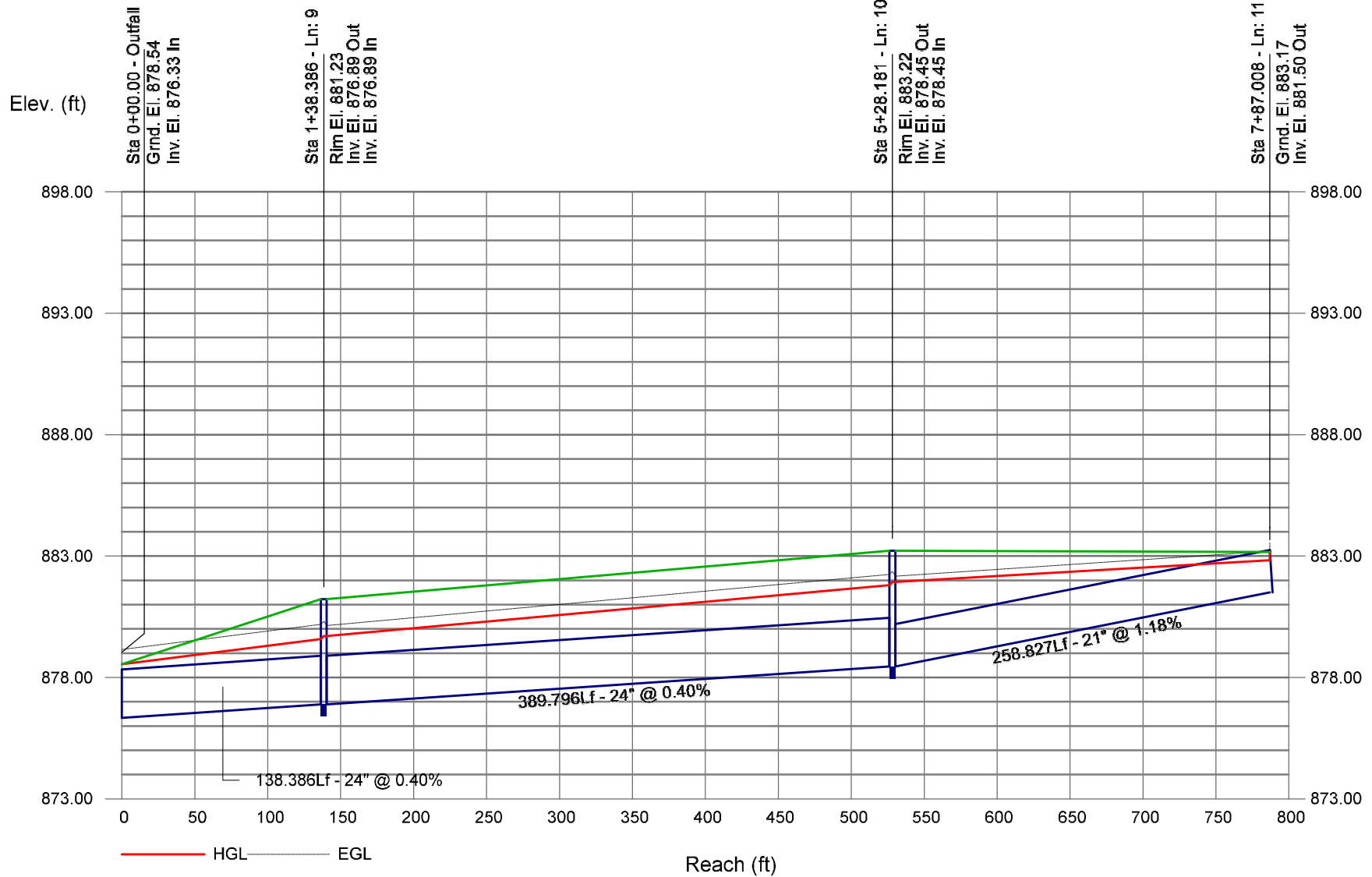
Run Date: 6/1/2023

NOTES: Return period = 10 Yrs. ; \*Surcharged (HGL above crown).



# Storm Sewer Profile

Item 9.



**FREEDOM RIVER**

PROPOSED PLAN DESIGNS

2-28-2023

PHASE 1

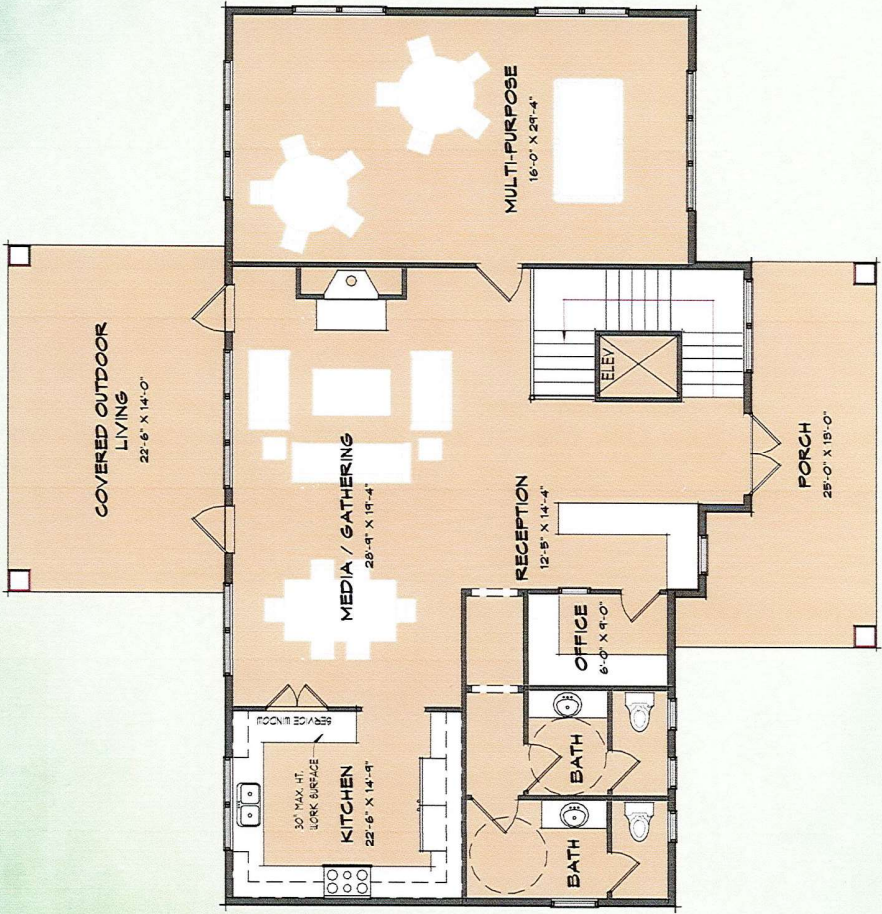
VERSION I



RECEIVED

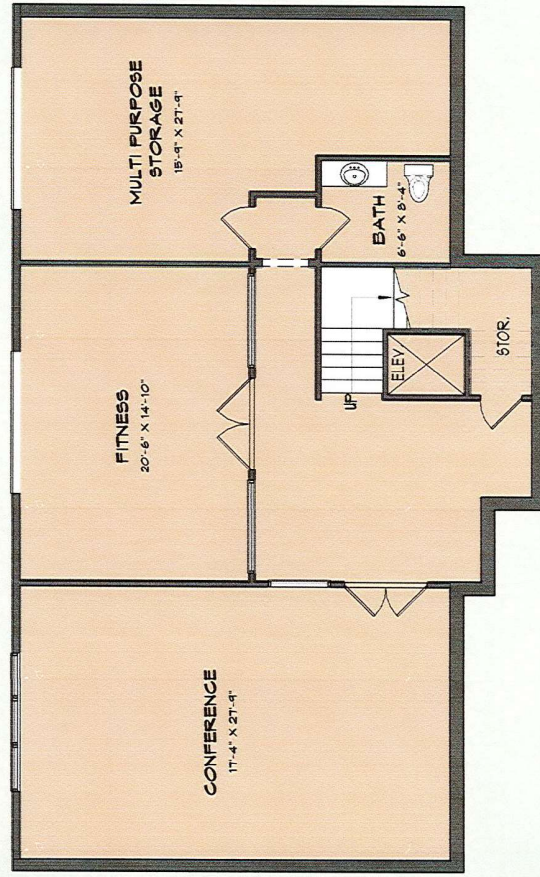
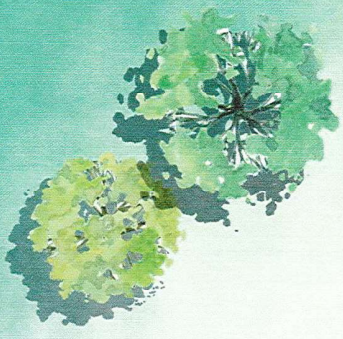
MAR 13 2023

Hamburg Township  
Planning and Zoning Department



**FIRST FLOOR PLAN**  
10'-1 1/8" CLG. HT.  
2 X 6 EXTERIOR WALLS  
1801 SQ. FT.

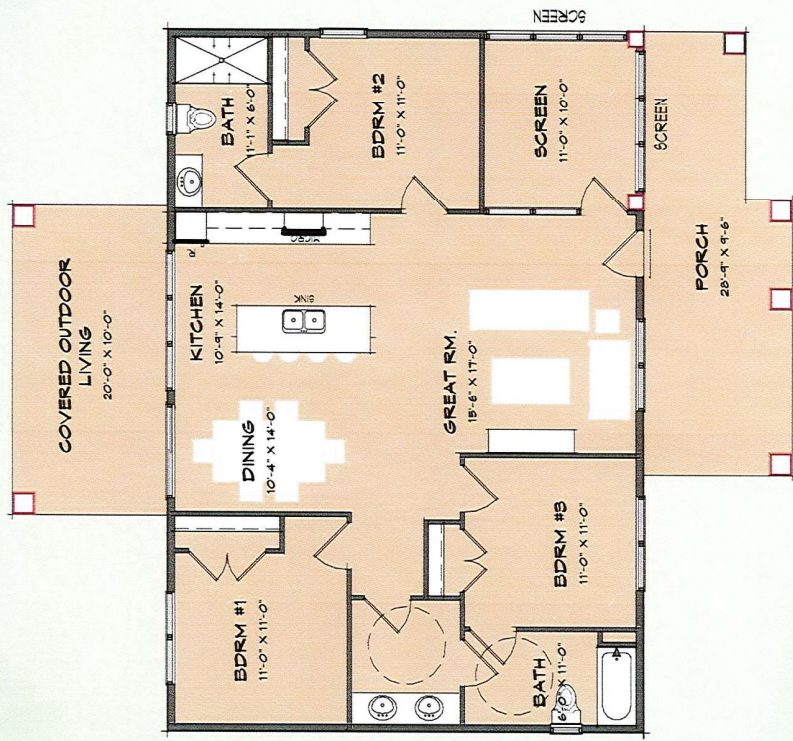
**WELCOME LODGE**



**WELCOME LODGE**

**FINISHED LOWER LEVEL**

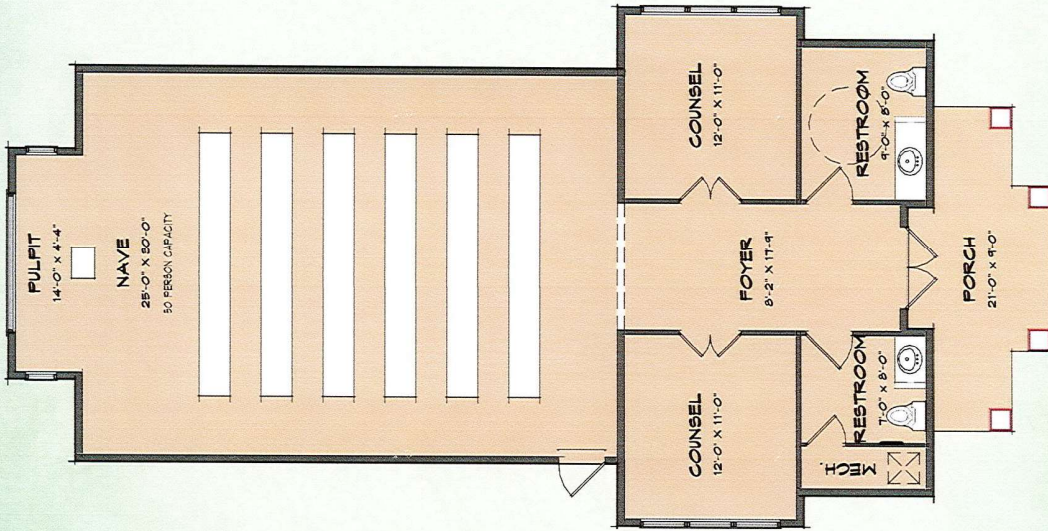
1,617 SF



NOTE: MECH. IN ATTIC SPACE  
 VERIFY WITH M.E.P., PROFESSIONAL

**FIRST FLOOR PLAN**  
 9'-1 1/8" CLG. HT.  
 2 X 6 EXTERIOR WALLS  
 1278 SQ. FT.

**GOLDSTAR CABIN**



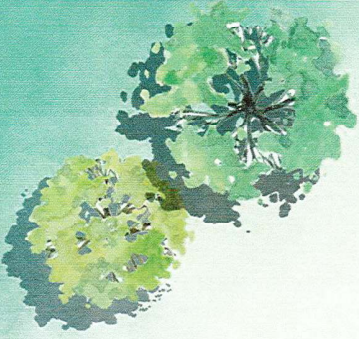
**FIRST FLOOR PLAN**

9'-1 1/8" CLG. HT.

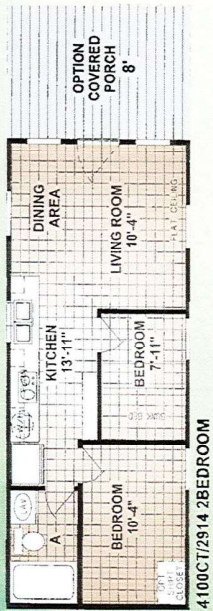
2 X 6 EXTERIOR WALLS

1604 SQ. FT.

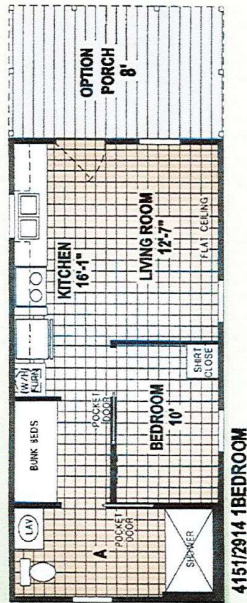
**CHAPEL**



Front Living Room



A.D.A. Compliant

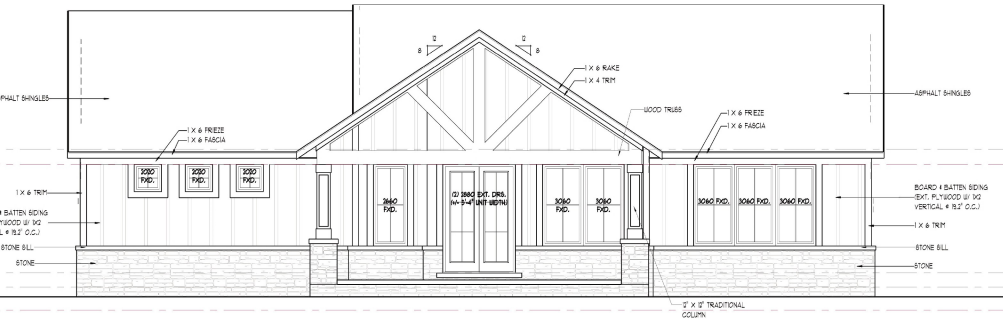


Front & Rear Bedrooms



# FLOOR PLANS FAMILY CABINS BY SKYLINE HOMES

# FREEDOM RIVER WELCOME LODGE



**HARDIE PANEL &  
HARDIE TRIM**



**HARDIE  
TRIM**



**W. LEDGE  
ASHEN**



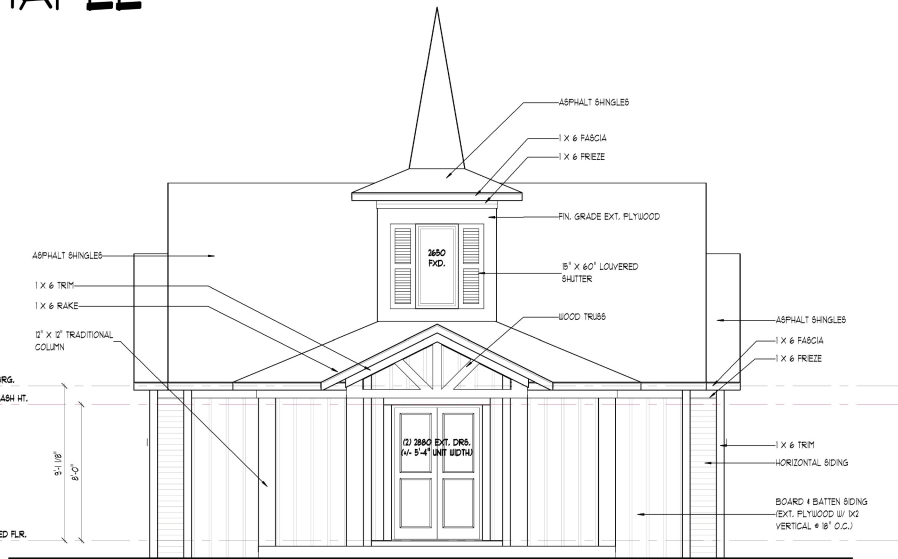
SW 3522  
**Banyan Brown**  
Exterior Stain

SW 6431  
**Leapfrog**  
Interior / Exterior  
Location Number: 155-C5





# FREEDOM RIVER CHAPEL



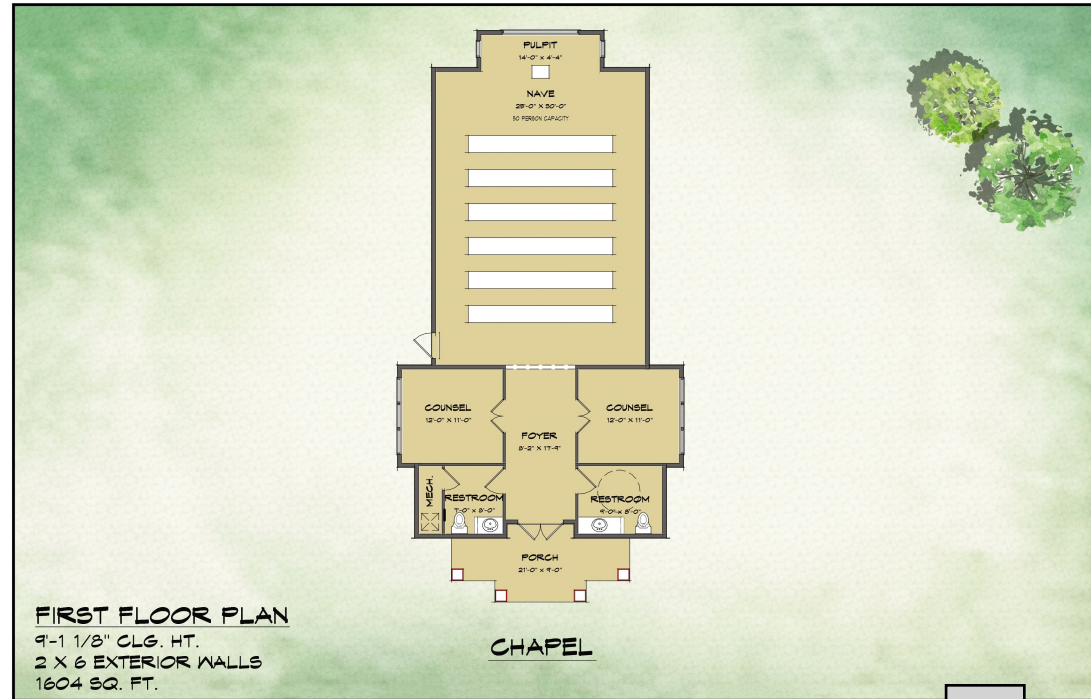
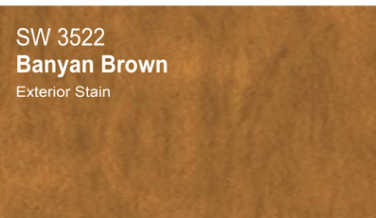
HARDIE PLANK



HARDIE TRIM



HARDIE PANEL & HARDIE TRIM



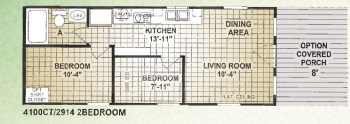
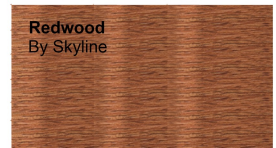
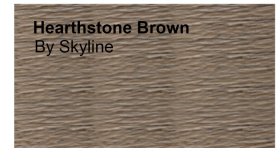
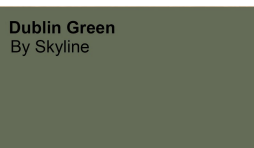
# FREEDOM RIVER FAMILY CABIN BY SKYLINE HOMES



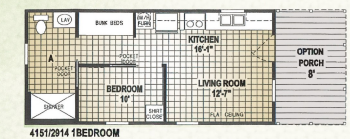
VINYL  
HORIZONTAL



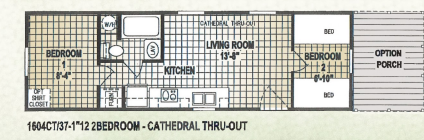
EXT. TRIM



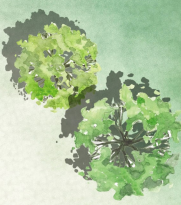
Front Living Room



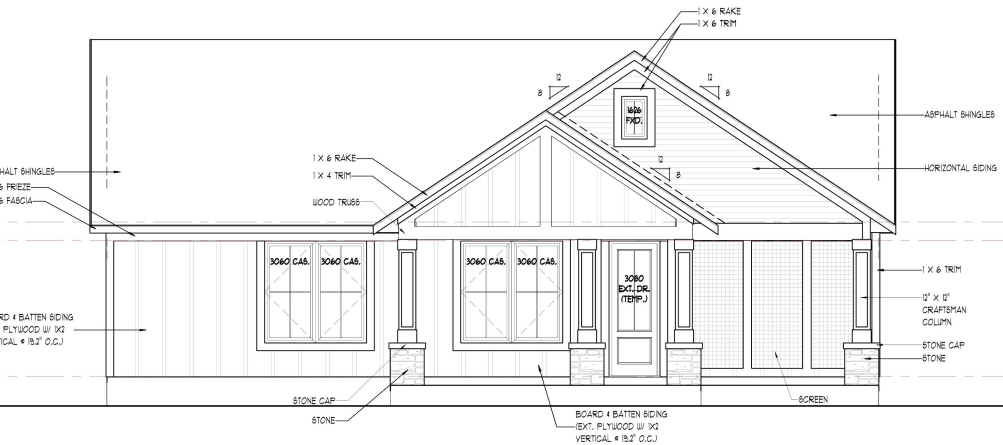
A.D.A. Compliant



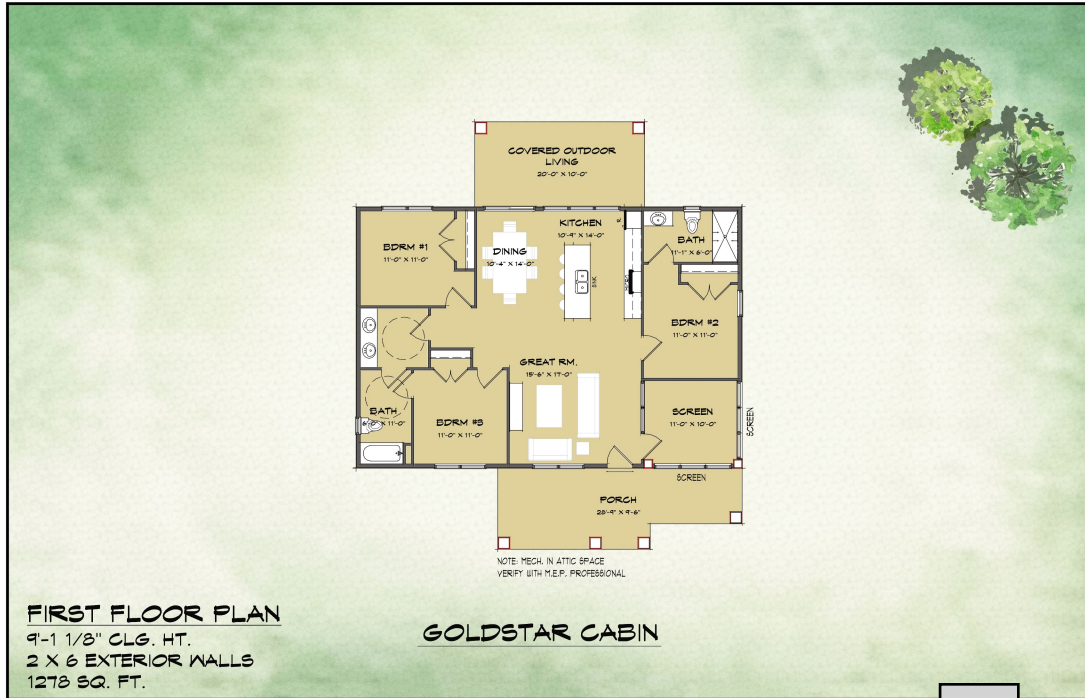
Front & Rear Bedrooms



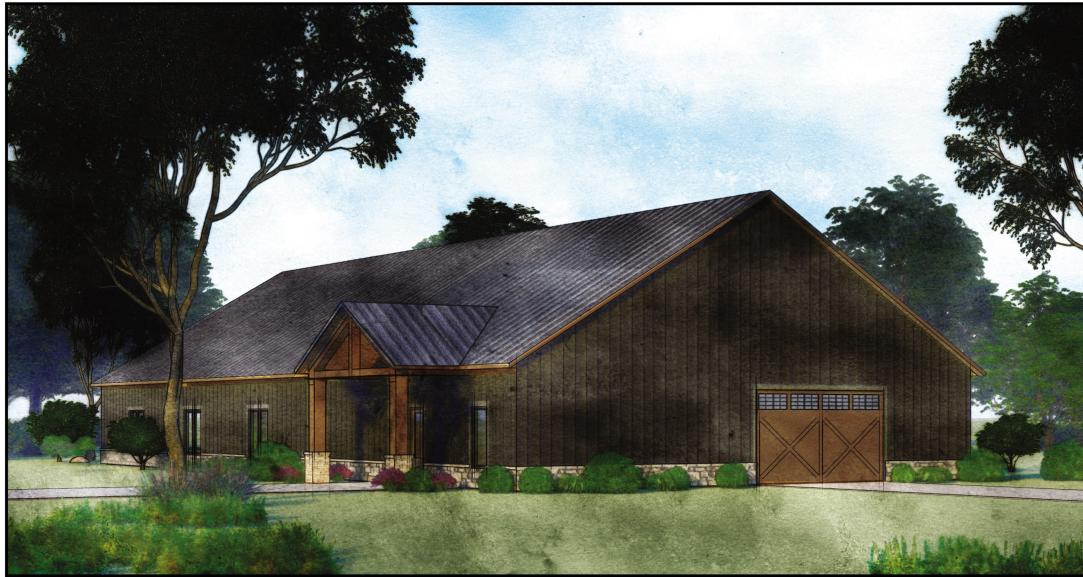
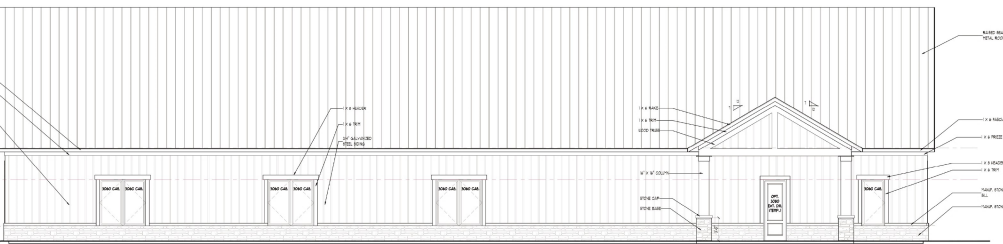
# REEDOM RIVER OLDSTAR CABIN



HARDIE PLANK      HARDIE PANEL & HARDIE TRIM      HARDIE TRIM      W. LEDGE ASHEN



# FREEDOM RIVER POLE BARN



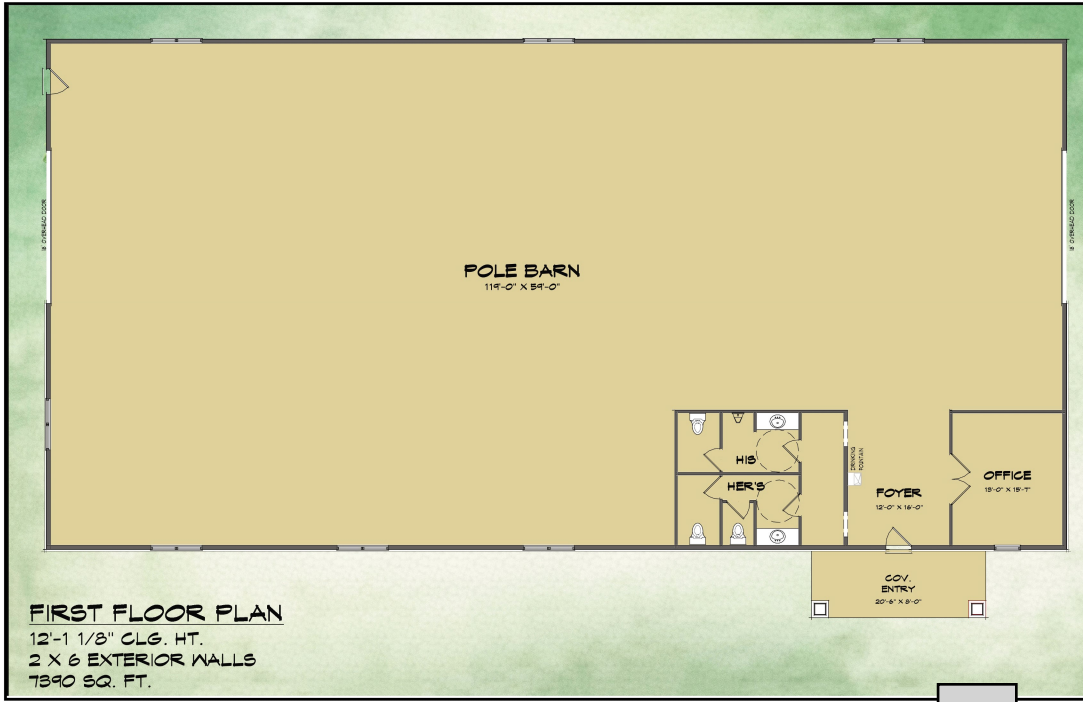
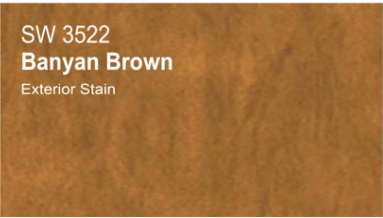
STEEL  
SIDING



HARDIE  
TRIM

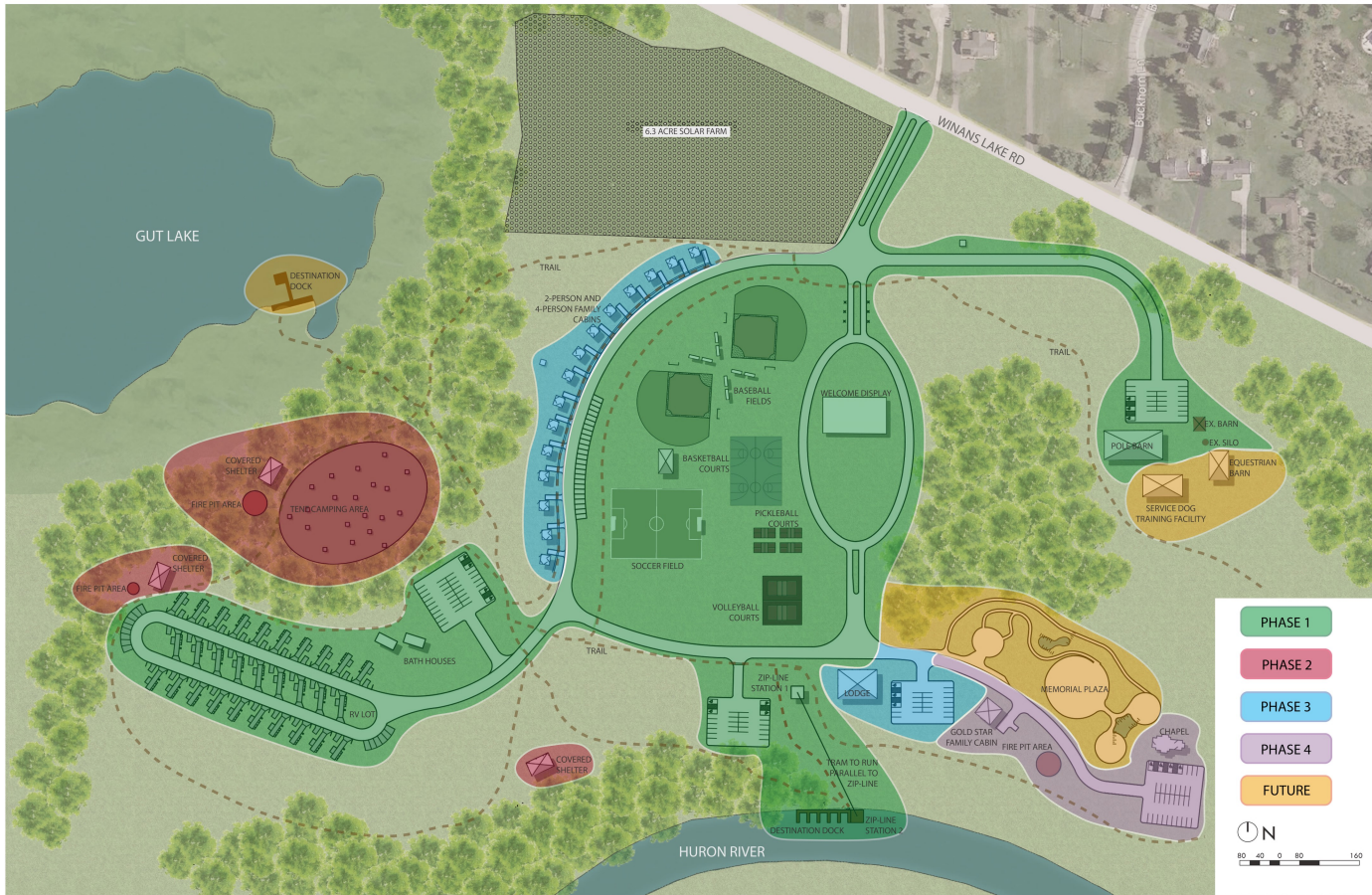


W. LEDGE  
ASHEN

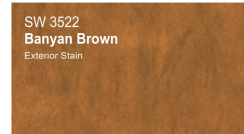


# FREEDOM RIVER

## VETERANS CAMPGROUND



FREEDOM RIVER PROJECT | SITE PLAN | BRIGHTON, MI | MARCH, 2023





June 15, 2023

Ms. Amy Steffens  
Planning and Zoning Director  
Hamburg Township  
P.O. Box 157  
Hamburg, Michigan 48139

Re: Freedom River Campground  
Site Plan Review

Dear Ms. Steffens,

We have reviewed the plans for the above referenced project dated June 1, 2023, as prepared by Wade Trim Inc. We offer the following comments for your consideration:

1. In general, the stormwater management system generally conforms to the Livingston County Drain Commissioner standards. However, we have the following comments:
  - a. A storm water narrative should be included.
  - b. The petitioner provided conveyance calculations as part of a "Hydraflow Storm Sewers Extension for Autodesk Civil 3D Plan". The report includes profiles of the proposed storm sewers, however, these profiles should be included on the construction drawings.
2. The petitioner should apply for a commercial sewer connection through the Township's Utility Department. A complete sanitary system review will be conducted after the application. We have the following preliminary comments:
  - a. The petitioner is proposing a gravity sewer system and pump station to connect into the existing 8" FM along Winans Lake Road. A basis of design detailing proposed flows is required.
  - b. All sewers should be placed at minimum grade per Ten States Standards.
3. The proposed concrete paving sections included on the plans is acceptable for the use. We understand the petitioner may propose to use gravel drives vs the currently proposed concrete. If so, they should provide a proposed cross section. The change of drive surface would not negatively impact the stormwater management.

Hamburg Township  
June 15, 2023

IMEG #23000378.00  
Page 2 of 2

Item 9.

In summary, we have no objection to the site plan approval contingent upon the above items.

If you have any questions, please contact me at (734) 657.4925.

Sincerely,

IMEG CONSULTING CORP.

Ted L. Erickson, P.E.  
Principal

\\files\Active\Projects\2023\23000378.00\Design\Civil



**To:** Hamburg Township Planning and Zoning

**Owner:** Freedom River, Inc.

**From:** Michael Kaminski, Wade Trim

**Date:** 3/13/2023

**Subject:** Natural Features Impact Statement

Natural features impact statement for proposed Freedom River Campground located at Winans Lake Road Brighton, Michigan 48116 tax parcels 15-14-400-008 and 15-23-100-022.

Please refer to attached resume for professional qualifications of environmental consultant Brandon Gnass, EP of Certus Environmental Group. Certus Environmental Group is located at 1201 E. M-36, Suite C Pinckney, Michigan 48169.

#### Impact Assessment Checklist

1. Description and analysis of the project site (including existing structures and manmade facilities).
2. Description of existing natural features (i.e. topography, soils, geology, ground water, wetlands, watercourses, plants and animals, habitat and scenery).
3. Impact on existing natural features.
4. Impact on storm water management and soil erosion control measures.
5. Special Provisions
6. Previous Submittals
7. Information Sources

#### 1. Description and analysis of the project site (including existing structures and manmade facilities).

Refer to the existing conditions plan for a survey of the existing site. The majority of the property consists of what used to be an agricultural field and some wooded areas. On the northwestern edge of the site sits Gut Lake with a wooded wetland and on the southern edge is the Huron River similarly with a wooded wetland. The only structures on site are an old farmhouse and the remnants of other old farming structures that remain at the northeast corner of the site. The two-story farmhouse is estimated to have been constructed in 1858 and is roughly 1,240 square feet. The other out-buildings were constructed prior to 1949 and include a silo, a pump house, a livestock barn, and a laundry house. There are eleven abandoned wells scattered across the property. One pit well was constructed in 1991 with the rest being drilled in 2018. Electric utility poles are running the length of the site along the south side of Winans Lake Road at. Surrounding the property are single family residential parcels on all sides other than where Gut Lake and Huron River are located.



## 2. Description of existing natural features (i.e. topography, soils, geology, ground water, wetlands, watercourses, plants and animals, habitat and scenery).

Refer to the existing conditions plan for a survey of the existing site including wetland delineation and tree/brush limits. Please see the SESC sheets for soil type boundaries.

Topography – The site consists of three (3) general areas as it pertains to topography, Gut Lake, Huron River, and the old agricultural fields. The old agricultural fields are relatively flat ranging from 5 to 8 feet in elevation change. This area consists of where the old fields were as well as the old farmhouse and the wooded area between them. It drains to either Gut Lake or the Huron River. The Gut Lake area is the wooded portion of the site to the northwest that drains to the lake. The change in elevation here ranges from 25 to 30 feet of drop from the old fields above down to Gut Lake. On the southern portion of the site is the Huron River area. This is a wooded area that slopes down from the old fields to the river. On the west side of this there is a gradual elevation drop of about 10 to 12 feet and then a steeper drop an additional 20 feet to the waters edge. As you move east along the river that gradual grade change reduces and the elevation change becomes more sudden for the full 30 feet to the water's edge.

Soils – The soils in the old agricultural fields and along the southern portion of the site are mostly Fox sandy loam. This is a well-drained sandy loam. In the wooded areas closer to Gut Lake the soils are a Fox Boyer Complex, a well-drained soil. Further down by Gut Lake the soils change to a Washtenaw silt loam and right at the edge of the lake is Linwood much and Houghton muck. These are poorly draining soils.

Geology – Previous boring performed on site revealed that the site consists of gravelly sand for the most part. A separate geotechnical investigation is being coordinated to reconfirm the previous findings.

Groundwater – The groundwater flow direction is estimated to be in a westerly to southwesterly directions. In coordination with the Livingston Health Department, in particular John Wilson, it has been determined that the underlying aquifers are a viable source of community water for the development. The water is known to have arsenic contamination and will require treatment through chlorination, filters, and softeners.

Wetlands – Marx Wetlands LLC performed a wetland delineation in June of 2022. It was determined that there are two main wetland areas, one around Gut Lake and the other around the Huron River, and an additional small one central to the site. The Gut Lake wetland adjoins Gut Lake in the northwest corner of the site and extends off site. This is primarily an emergent wetland system with the dominant vegetation being cattails, common reed, late goldenrod, sedges, sensitive fern, common buckthorn, silky dogwood, green ash silver maple, box-elder, and American elm. The Huron River wetland is a forested wetland fringe along Huron River that expands out into a larger emergent and forested wetland system extending off-site to the east, south, and west. The dominant vegetation here is sensitive fern, greater bladder sedge, green ash, cottonwood, silver maple, American elm, and riverbank grape. There is one additional small, forested wetland identified along a forested area edge in the east-central portion of the site.

Watercourses – The Huron River, at the southern limit of the property, has an associated floodplain with it. The floodplain does not extend beyond the steep shoreline up to the old agricultural fields but instead extends east and west with the river off site.

Habitats – Most of the site is undeveloped land consisting of upland fallow/old fields. The upland habitat includes smooth brome, Queen Anne’s lace, bluegrasses, thistles, dandelions, ox-eye daisy, bladder campion, orchard grass and tall goldenrod. The upland shrub/forest contains red-cedar, cottonwood, white mulberry, black cherry, common buckthorn, box-elder, black walnut, oaks, and hickories. Beyond the upland habitat is the wetland habitats describe above.

Scenery – The Huron River and Gut Lake are natural features that allow for scenic views within the site. Utilizing the natural contours of the property creates view points over and onto these waterways for scenic moments for the observer.

### **3. Impact on existing natural features.**

By coordinating with the Livingston County Drain Commission discharge rates there will be no proposed impacts to the Huron River and Gut Lake. The stormwater is controlled through onsite swales and is to be discharged through an outlet control structure to maintain the county standards.

The site is laid out in a way to create a minimal amount of impact on the existing natural site. Effort have been made to preserve as much of this wooded area, as well as the wooded area surrounding Gut Lake, as feasibility possible with the proposed developments. The intention of the campground is to interact with the natural environment instead of replacing it. Trails and paths will be laid throughout the property for better engagement with the site as a whole but specifically in attempt to create moments with Gut Lake and the Huron River.

Impacts to existing trees at the north, within the Winans Lake Road corridor, are limited to the clearing for the site entrance and any storm drainage swale grading efforts. Existing trees along the eastern, southern and western portions of the site will be maintained to create a natural buffer to the neighboring single family residential lots.

Natural Features Protection Plan – See the SESC plan sheets provided. In these plans it can be seen that during construction areas downslope from the proposed disturbed areas are to be protected from soil erosion measures with the installation of silt fence. The silt fence will prevent disturbed earth from washing into the natural waterways of Gut Lake and the Huron River. When catch basins are installed these will be installed with inlet protection.

### **4. Impact on storm water management and soil erosion control measures.**

The existing site drains predominantly to Gut Lake, roughly 45% of the site or around 40 acres. Another 25 acres drain to the Huron River or 27% of the site. The portion of the site running adjacent to Winans Lake Road drains into the existing drainage ditches along the road. This encompasses roughly 2% of the site. The remained of the site (about 26% of the property) doesn’t drain to any of these three drainage locations and instead drains to low points throughout the site without a dedicated stormwater outlet. It has been observed that these locations aren’t creating any ponding on the surface and using what we know about the soils it appears these locations are draining through infiltration into the subsoils. See the existing site survey plan sheet for the existing contours. Two areas to note under this condition are at the southwest corner of the site and another north of the wooded area central to the site.

A geotechnical investigation is being coordinated to reconfirm the findings and validate the soil drainage capacity.

The proposed grading plan will divide the larger existing drainage boundaries into smaller drainage areas. The proposed grading limits extend as needed to support site plan construction while minimizing encroachment of the natural features on site. This will result in approximately 65% of that area (24 acres) draining to Gut Lake, and approximately 35% of the area (13 acres) draining to the Huron River. The post-development percentage of impervious surfaces is approximately 25% for both drainage boundaries. Runoff generated by the proposed impervious surfaces will be conveyed into the proposed storm water management system, treated, stored, and discharged according to the County requirements. The preliminary acreage and runoff volumes for these drainage areas is highlighted in the attached Stormwater Calculations.

The storm water management facilities will include a combination of drainage swales/ditches, check dams, bio-retention/sump basins, and enclosed drainage conveyance systems to capture additional runoff from the site. With the large percentage of pervious areas post-development, the existing soil can be utilized as natural infiltration and retention to offset the amount of runoff and treatment volumes contributing to the proposed storm water management system. A series of drainage ditches, and bio-swales will help treat and detain runoff as it is conveyed to the enclosed drainage system. There will be one outlet discharging to Gut Lake and one outlet discharging to the Huron River. These outlets will be restricted/controlled so the discharge rates match pre-development flows and do not negatively impact the water courses' capacity.

As mentioned above, a geotechnical investigation will need to reconfirm the validity of existing soil drainage characteristics if they are to be utilized as part of the storm water management system. Due to the larger volume of runoff contributing to Gut Lake, additional storm water facilities including a detention basin may need to be installed to meet County drainage requirements. This is being coordinated with the Livingston County Drain Commission.

## 5. Special Provisions

There are no known existing deed restrictions, protective covenants, master deed or association bylaws related to the protection of natural features on this site.

## 6. Previous Submittals

No relevant previous submittals apply to this site.

## 7. Information Sources – Can be provided upon request.

- Phase 1 Environmental Site Assessment
- Wetland Evaluation Report: 6716 Winans Lake Road
- Stormwater Calcs
- Freedom River Site Plans

Submitted



By:

Date: 3/13/2023

Michael Kaminski  
VCM2001.01t

pw://WTPWINT16.wadetrin.com:projectwise/Documents/D{fafaed02-60b2-4581-86a7-fdf5b42705e2}

## Experience

Brandon has over 20 years of diverse experience as an environmental professional with environmental assessments, investigations, and remediation; Baseline Environmental Assessments; Due Care, wetland assessments; project permitting; release response management; expert witness testimony; and various other environmental investigation and compliance projects. He has performed investigative and/or remedial work in Michigan, Ohio, Indiana, Illinois, Kansas, Minnesota, and Florida. Additionally, Brandon meets the definition of an “Environmental Professional” (EP) under the ASTM standard (E 1527-21) for Phase I Environmental Site Assessments. Examples of project responsibilities include:

- Project management for investigation/remediation projects at residential, agricultural, commercial, and industrial sites for an array of clients including private individuals, large corporations, attorneys, lending institutions, schools, and municipalities. Client needs have often required coordination and negotiation with regulators, and conducting multiple projects concurrently while meeting strict deadlines.
  - Phase I and Phase II Environmental Site Assessments (ESAs)
  - Various Phase I ESAs to comply with All Appropriate Inquiries (AAI), Michigan State Housing Development Authority (MSHDA), Small Business Administration (SBA), and U.S. Housing and Urban Development (HUD) requirements
  - Vapor Intrusion (VI) assessments
  - Baseline Environmental Assessments (BEAs) and/or Section 7a Compliance Analysis (Due Care)
  - Part 201 investigations [bulk petroleum storage terminals, manufactured gas plant (MGP) sites, manufacturing facilities, chemical facilities, pipeline releases, dump sites].
  - Underground storage tank (UST) and leaking UST (LUST) [Part 211 and 213, respectively] removal/investigations/closure.
- Negotiating regulatory requirements with municipal representatives and local/state/federal regulators; and obtaining permits for various construction, environmental, and ecological projects.
- Coordinating and conducting fieldwork including soil and groundwater sampling in accordance with Michigan Department of Environment, Great Lakes, and Energy (EGLE) [formerly known as Michigan Department of Environmental Quality (MDEQ)] Operational Memoranda requirements and statistical sampling procedures/verification guidance. Also, participation/supervision during on-site activities including contractor oversight during soil boring completion, monitoring-well installation, and remedial excavations.

Project examples include:

- Devising and managing site investigation activities for multiple projects funded by the U.S. Environmental Protection Agency (EPA) Brownfields Program. Prepared work plans and quality assurance project plans (QAPPs) and obtained EPA approval; implemented the work plans; provided administrative project/budget updates; adhered to EPA and client scheduling deadlines; and achieved site objectives.
- Managing multiple Clean Michigan Initiative (CMI) projects funded by the State of Michigan. Management efforts included project coordination and meetings with project managers, site assessment, drafting work plans, LUST removal and Part 213 reporting, providing CMI-required project updates to MDEQ, securing off-site work access, devising and conducting soil boring/monitoring well investigations including bedrock drilling, and conducting groundwater sampling/modeling.

- Managing investigative/remedial activities at a bulk petroleum storage terminal for a former owner/operator to assist them in achieving a form of closure for their historical releases. Challenges encountered included current owner/operator and third party petroleum pipeline easement holders operating similar to historic operations. Investigative/remedial activities were concluded and acknowledgement of completion was requested from state regulators.
- Managing release response projects for a large pipeline client. The client experienced a release at one of their petroleum bulk storage facilities, and encountered aggressive state and federal agency involvement. Effective communications and negotiations with the regulators streamlined their response management demands, and ultimately “no further action” was achieved for the client in a timely and cost efficient manner with minimal disruption to site operations.
- Providing onsite project management as we were designated the lead consultant during emergency response, directed under Unified Command (UC) lead by the EPA, for a petroleum pipeline release that affected greater than 40 miles of creek and river resources. Responsibilities required organization, resource allocation, and quick decision-making in a fast-paced, chaotic environment assuring staff safety; team coordination for our staff, the client, other consultants, and regulators; and conducting research and generating documents to comply with UC demands.
- Assisting in the design and implementation of unique sampling and inspection protocols for petroleum pipeline maintenance dig sites that occurred across greater than 200 miles of pipeline. The protocols were devised to comply with Department of Transportation (DOT), client-specified, and local and state government requirements. The sampling and inspection protocols were ultimately implemented in different states along additional sections of pipeline.
- Assisting an out-of-state consultant through the MDEQ regulatory framework after a routine UST removal clean-closure scenario (no confirmed release) was unintentionally upgraded to a confirmed release. Site closure was achieved with less than \$3,000 effort vs. greater than \$50,000 as originally requested by MDEQ.
- Participating as an expert witness related to a former dry-cleaning operation after performing investigation and remedial excavation activities. Testimony was provided on behalf of the property owner pursuing compensation due to a breach of contract by the defendant, which operated for nearly 20 years. Also participated as an expert witness related to a proposed residential development due to the local unit of government opposing and attempting to prevent development, partially based on site ecological factors. Testimony was provided on behalf of the developer and property owner supporting the wetland findings reported.
- Preparing and obtaining MDEQ confirmation of a Category S BEA (a former BEA category) and Section 7a Compliance Analysis for a former gas station property with proposed use as an oil change facility. This BEA relied on engineering controls and isolation zones as methods of distinguishing a potential future release from existing contamination.

## Education

B.S., Resource Development, Michigan State University, 1998  
Associate Degree, Lansing Community College, 1995

## Certification

Environmental Professional  
Certified Hazardous Materials Manager (CHMM)  
40-hour OSHA HAZWOPER training with 8-hour annual refresher courses  
HAZWOPER Manager/Supervisor certification  
ASTM Risk-Based Corrective-Action training  
ASTM Phase I ESA and Vapor Intrusion trainings  
Wetland delineation certification (Wetland Training Institute)  
EGLE-certified Industrial Storm Water Operator

Gut Lake Drainage Boundaries								
Boundary ID	Size (sqft)	Size (ac)	Impervious (sqft)	Impervious (ac)	% Impervious	Pervious (sqft)	Pervious (ac)	% Pervious
DB-1	31742.75687	0.728713427	6818.74101	0.156536754	21.4812502	24924.01586	0.572176673	78.51874984
DB-2	32911.60206	0.75554642	6560.28523	0.150603426	19.9330474	26351.31683	0.604942994	80.06695263
DB-3	196474.3869	4.510431288	45188.52856	1.037385871	22.9997046	151285.8584	3.473045417	77.00029542
DB-4	214165.0192	4.916552324	26251.54721	0.602652599	12.2576261	187913.472	4.313899725	87.74237394
DB-5	208737.719	4.791958655	44467.78461	1.020839867	21.303186	164269.9344	3.771118788	78.69681396
DB-6	104996.225	2.410381656	22621.95687	0.51932867	21.5454955	82374.26808	1.891052986	78.45450455
DB-9	130337.9872	2.992148467	50947.66898	1.169597543	39.0888873	79390.31827	1.822550924	60.91111267
DB-10	122660.0125	2.815886422	49191.58676	1.129283442	40.1040125	73468.42579	1.686602979	59.89598751
Totals	1042025.709	23.92161866	252048.0992	5.786228173	24.1882803	789977.6096	18.13539049	75.8117197
Cumulative Runoff Coefficient		0.36						

Huron River Drainage Boundaries								
Boundary ID	Size (sqft)	Size (ac)	Impervious (sqft)	Impervious (ac)	% Impervious	Pervious (sqft)	Pervious (ac)	% Pervious
DB-7	111951.9885	2.570064015	21096.30295	0.484304475	18.8440627	90855.68556	2.08575954	81.15593726
DB-8	126611.0516	2.906589799	16140.021	0.370523898	12.7477189	110471.0306	2.536065901	87.25228107
DB-11	103684.2332	2.380262469	24487.02263	0.562144688	23.6169202	79197.21052	1.818117781	76.38307977
DB-12	99489.25918	2.283959118	36361.49389	0.834745039	36.5481603	63127.76529	1.449214079	63.45183974
DB-13	140137.3019	3.217109777	51301.48232	1.17771998	36.6080134	88835.81957	2.039389797	63.39198655
Totals	581873.8344	13.35798518	149386.3228	3.429438081	25.6733185	432487.5116	9.928547098	74.3266815
Cumulative Runoff Coefficient		0.38						

Minimum Volume Requirements - Gut Lake			
<b>Water Quality Control (WQ) - <math>V_{wq} = 3630 * C * A</math></b>			
Vwq (cuft)	31260.77126		
<b>Channel Protection Volume Control (CPVC) - <math>V_{cp} = 4719 * C * A</math></b>			
Vcp (cuft)	40639.00264		
<b>Channel Protection Rate Control (CPRC) - <math>V_{ed} = 6897 * C * A</math></b>			
Ved (cuft)	59395.4654		
<b>Extended Detention Volume Discharge Rate - Ved discharged over 48-hours</b>			
Qed (cfs)	0.343723758		

Minimum Volume Requirements - Huron River			
<b>Water Quality Control (WQ) - <math>V_{wq} = 3630 * C * A</math></b>			
Vwq (cuft)	18426.00475		
<b>Channel Protection Volume Control (CPVC) - <math>V_{cp} = 4719 * C * A</math></b>			
Vcp (cuft)	23953.80618		
<b>Channel Protection Rate Control (CPRC) - <math>V_{ed} = 6897 * C * A</math></b>			
Ved (cuft)	35009.40903		
<b>Extended Detention Volume Discharge Rate - Ved discharged over 48-hours</b>			
Qed (cfs)	0.202600747		

**From:** [Kaminski, Michael](#)  
**To:** [Amy Steffens](#)  
**Subject:** FW: Freedom River - Left Turn Warrant  
**Date:** Thursday, June 15, 2023 8:08:01 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)  
[image006.png](#)

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FYI here's the feedback from the road commission.

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**From:** Kim Hiller <[khiller@livingstonroads.org](mailto:khiller@livingstonroads.org)>  
**Sent:** Thursday, June 15, 2023 7:27 AM  
**To:** Spiess, Greg <[gspiess@wadetrim.com](mailto:gspiess@wadetrim.com)>  
**Cc:** Kaminski, Michael <[mkaminski@wadetrim.com](mailto:mkaminski@wadetrim.com)>; Mike Goryl <[mgoryl@livingstonroads.org](mailto:mgoryl@livingstonroads.org)>  
**Subject:** RE: Freedom River - Left Turn Warrant

**This message originated from outside of Wade Trim**

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Good morning Greg,

Mike and I have reviewed the left-turn lane analysis submitted yesterday and find it acceptable. When a commercial approach permit is issued, a condition of the permit will be that if the site is more successful than predicted or if it opens to the public in the future, a review of the traffic impacts and improvements to Winans Lake Road may be required.

Please let me know if you have any questions.

Thank you,

**Kim Hiller, P.E.**

Utilities and Permits Engineer  
Livingston County Road Commission  
3535 Grand Oaks Drive  
Howell, MI 48843  
Ph. (517) 546-4250  
[khiller@livingstonroads.org](mailto:khiller@livingstonroads.org)  
Office Hours: M-F 7:00 AM – 3:30 PM

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**From:** Spiess, Greg <[gspiess@wadetrim.com](mailto:gspiess@wadetrim.com)>  
**Sent:** Wednesday, June 14, 2023 10:30 AM  
**To:** Kim Hiller <[khiller@livingstonroads.org](mailto:khiller@livingstonroads.org)>  
**Cc:** Kaminski, Michael <[mkaminski@wadetrim.com](mailto:mkaminski@wadetrim.com)>; Cathy Tallman <[ctallman@livingstonroads.org](mailto:ctallman@livingstonroads.org)>  
**Subject:** Freedom River - Left Turn Warrant

Kim,

We sent out the attached memo a few weeks ago reviewing a possible left-turn lane for the Freedom River Campground project. The project is on the Planning Commission agenda next Wednesday the 21<sup>st</sup>. I just wanted to check back in to see if you have any questions or comments for us?

Thanks,



**Greg Spiess, PE**, Engineer  
25251 Northline Road, Taylor, MI 48180  
734.947.9700 office  
734.368.3937 cell





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## TECHNICAL MEMORANDUM

**TO:** Ms. Kim Hiller, PE, and Mr. Michael Goryl, PE

**FROM:** Bridget Bienkowski, PE, PTOE/WadeTrim

**DATE:** March 1, 2023

**RE:** Freedom River Campground Drive – Westbound Left Turn Lane Evaluation  
Brighton, Michigan

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### INTRODUCTION

Freedom River Campground is a new campground being designed between Winans Lake Road and the Huron River in Brighton, Michigan. The site plan for the campground development is shown in Figure 1. The campground is designed for use by veterans and is expected to include a tent camping area, cabins, 29 R/V spaces, athletic fields for baseball, basketball, soccer, pickleball, and volleyball courts, an equestrian area, a memorial plaza, a chapel, and a lodge.

There will be only one driveway to the campground from Winans Lake Road. Winans Lake Road is a two-lane, two-way road with a posted speed limit of 35 mph. At the proposed driveway location, the horizontal alignment of Winans Lake Road is tangent and the vertical alignment is flat. This alignment implies that a left-turn lane could be added to the campground driveway if it is warranted.

Due to the potential impacts of the lodge and chapel traffic, Wade Trim was asked to conduct a review to determine if a left turn lane would be warranted on Winans Lake Road at the campground driveway based on traffic volume.

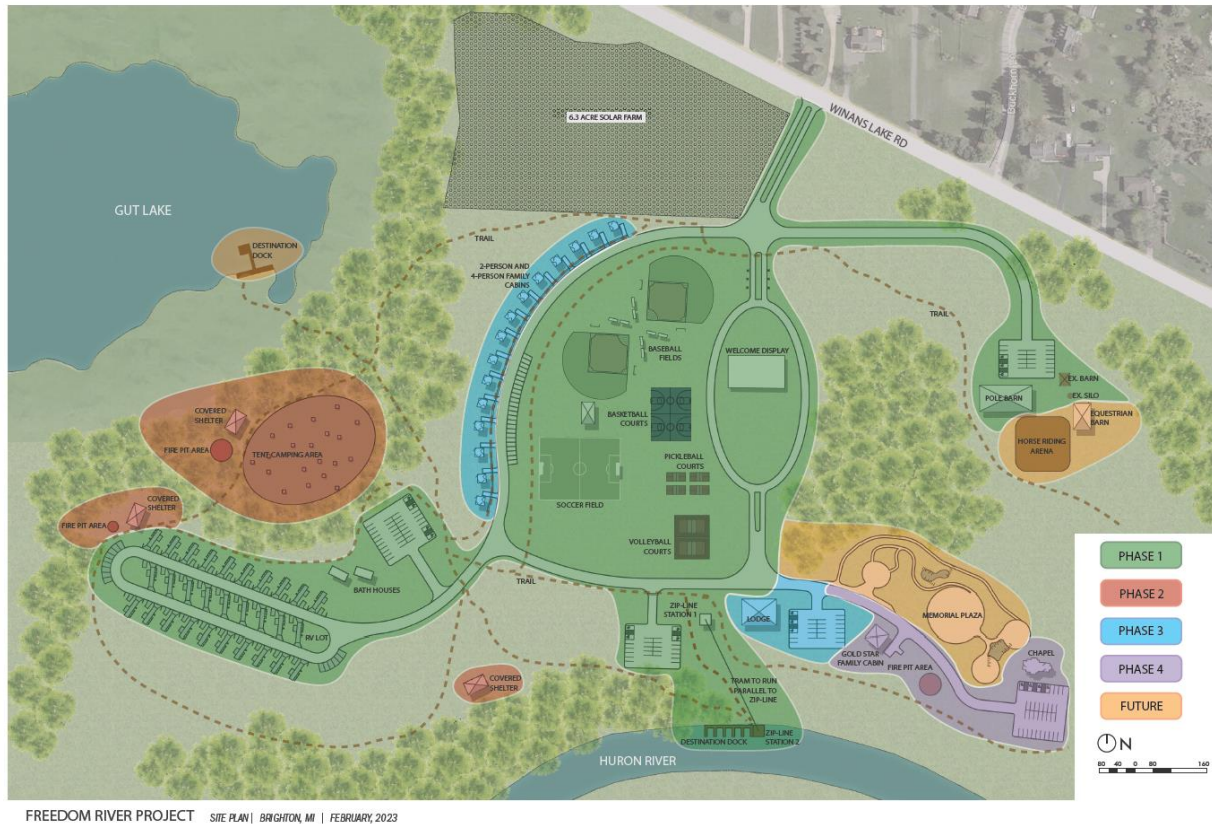


Figure 1. Freedom River Campground Site Plan.

Michigan Department of Transportation Left-Turn Guidelines

No traffic counts were conducted as part of this review. Weekday directional hourly counts from 2022 were taken from MDOT’s Transportation Data Management System. These volumes are provided in Attachment A. Using these counts, the peak hour for a weekday occurs from 5:00 pm to 6:00 pm. There was a total of 493 vehicles in this location during the peak hour with 302 westbound vehicles (61.3%) and 191 (38.7%) eastbound vehicles. The current volume on Winans Lake Road at the driveway location is:

$V_o$  (Opposing Eastbound Volume) = 191  
 $V_a$  (Advancing Westbound Volume) = 302  
 % left turns in  $V_a$  =  $0/302 = 0\%$

As there is no current development at this location, the following information was used to estimate trips for the driveway:

- A campground with 65 units including cabins, R/V spaces, and tent camping spots  
For a campground with 65 spots, the ITE trip generation data estimates 27 trips during the peak period of the generator, with 17 of those trips being entering vehicles.
- Chapel with 33 parking spaces  
For a conservative estimate, it was assumed that all 33 parking spaces were occupied and therefore, 33 entering trips during the afternoon peak period.
- Lodge with 22 parking spaces  
For a conservative estimate, it was assumed that all 22 parking spaces were occupied and therefore, 22 entering trips during the afternoon peak period.

Therefore, a total trip estimate of 72 trips entering during the peak hour was used. Using the existing traffic distribution mentioned above on Winans Lake Road, 44 of the trips would be on the westbound approach and 28 of the trips would be on the eastbound approach. For the MDOT left-turn lane warrant, the traffic volumes would be:

$$V_o \text{ (Opposing Eastbound Volume)} = 191 + 28 = 219$$

$$V_a \text{ (Advancing Westbound Volume)} = 302 + 45 = 346$$

$$\% \text{ left turns in } V_a = 45/346 = 12.7\%$$

These volumes were examined with the warrant for a two-lane road with a posted speed limit of 35 mph found in the Michigan Department of Transportation (MDOT) *Traffic Volume Guidelines for Left-Turn Lanes and Passing Flares* as noted on pages 15 and 16 in the **Michigan Geometric Design Guidelines**, published in September 2017. The warrant is shown in Figure 2. Based on the intersection of the two red lines in Figure 2, during the highest peak hour volumes, the volumes do not warrant a left-turn lane at this driveway.

It would be extremely unusual to expect arrivals for the parking areas and the peak hour of the entirely occupied campground to occur simultaneously. This estimate indicates a worst-case scenario where the entire parking area for the lodge and the chapel and, along with the peak time usage of all camping spots during a weekday.

Although no weekend counts are available, weekend vehicles traffic on the roadway is expected to be less than the weekday, resulting in even less peak hour traffic during the weekend, when the majority of events would be expected to be held.

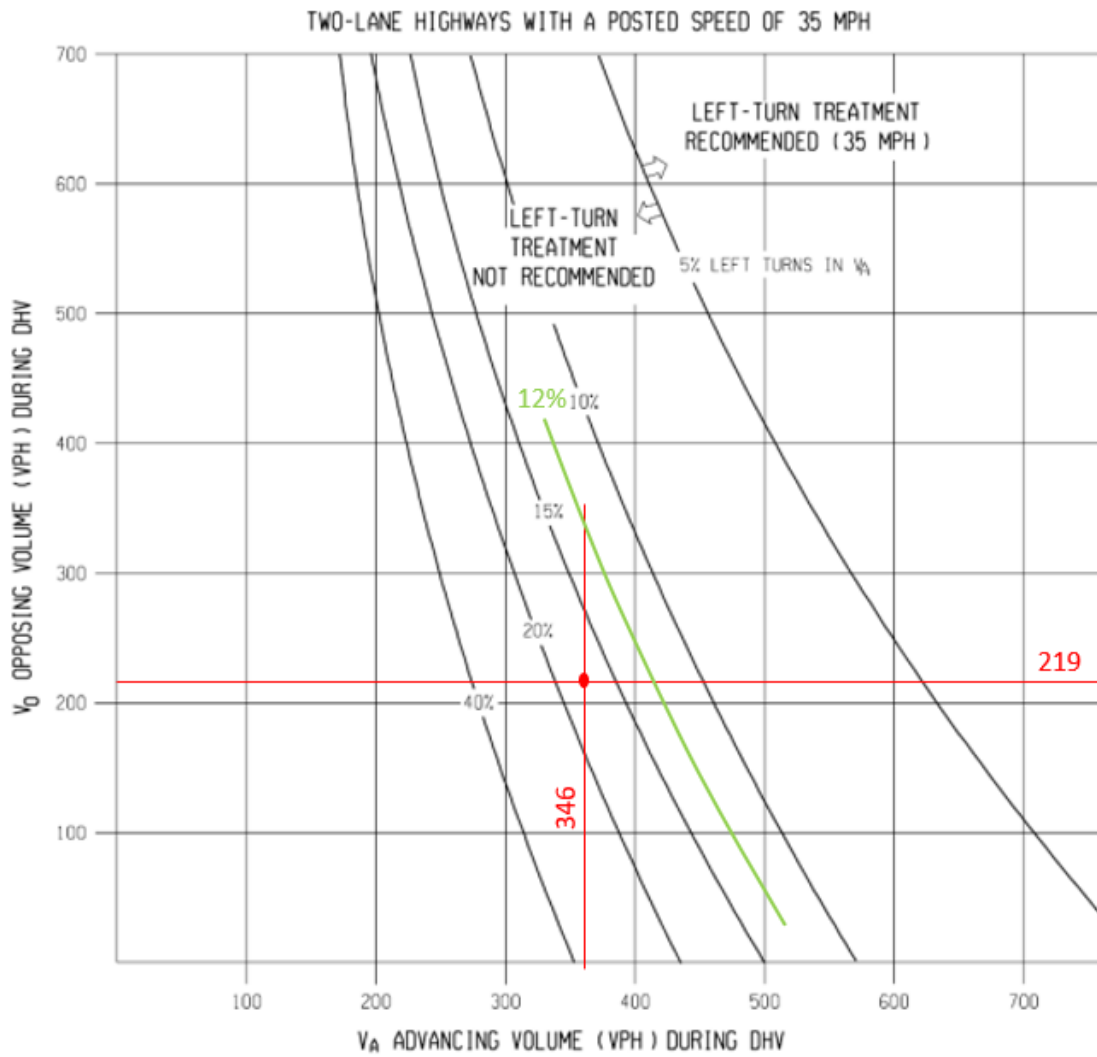


Figure 2. Left Turn Lane Warrant for the campground driveway with lodge and chapel.

### CONCLUSION

Based on MDOT guidelines for a left-turn lane on a two-lane road with a posted speed limit of 35 mph, an exclusive left-turn lane is not warranted based on the estimated volume of Winans Lake Road at the proposed campground driveway.

**ATTACHMENT A**  
**TRAFFIC COUNT ON WINANS LAKE ROAD**

Location Info	
Location ID	47-5219
County ID	47
Station ID	5219
Type	I-SECTION
Functional Class	5
Located On	Winans Lake Rd
BETWEEN	Pleasant Lake Dr AND Hamburg Rd
Direction	2-WAY
Community	Hamburg Twp - Livingston
MPO_ID	2781
HPMS ID	1_2_93_2156
Agency	Michigan Department of Transportation

Count Data Info	
Start Date	8/30/2022
End Date	8/31/2022
Start Time	12:00 PM
End Time	12:00 PM
Direction	2-WAY
Notes	
Count Source	XC39458 6396
File Name	
Weather	
Study	
Owner	andersont31
QC Status	Accepted

Interval: 15 mins					
Time	15 Min				Hourly Count
	1st	2nd	3rd	4th	
0:00-1:00	2	6	1	1	10
1:00-2:00	1	2	4	0	7
2:00-3:00	0	0	0	0	0
3:00-4:00	4	2	3	4	13
4:00-5:00	5	4	6	6	21
5:00-6:00	12	20	20	19	71
6:00-7:00	31	35	43	71	180
7:00-8:00	56	68	78	83	285
8:00-9:00	90	81	79	69	319
9:00-10:00	70	80	78	81	309
10:00-11:00	76	76	70	82	304
11:00-12:00	76	79	105	74	334
12:00-13:00	66	70	87	79	302
13:00-14:00	81	73	76	68	298
14:00-15:00	87	65	87	92	331
15:00-16:00	77	68	107	93	345
16:00-17:00	90	89	107	98	384
17:00-18:00	100	115	137	141	493
18:00-19:00	112	113	129	118	472
19:00-20:00	110	103	84	97	394
20:00-21:00	83	49	62	60	254
21:00-22:00	44	33	35	34	146
22:00-23:00	20	17	19	13	69
23:00-24:00	9	4	7	3	23
TOTAL					5364

NW Advancing

Time	15-min Interval				Hourly Count
	1st	2nd	3rd	4th	
0:00-1:00	1	3	1	1	6
1:00-2:00	0	0	4	0	4
2:00-3:00	0	0	0	0	0
3:00-4:00	1	1	0	0	2
4:00-5:00	1	0	4	3	8
5:00-6:00	5	0	5	3	13
6:00-7:00	12	9	12	29	62
7:00-8:00	28	26	19	27	100
8:00-9:00	40	40	33	23	136
9:00-10:00	32	43	45	33	153
10:00-11:00	27	39	32	42	140
11:00-12:00	37	45	62	36	180
12:00-13:00	36	38	42	41	157
13:00-14:00	38	44	39	29	150
14:00-15:00	44	36	48	53	181
15:00-16:00	54	40	55	62	211
16:00-17:00	59	58	58	59	234
17:00-18:00	62	74	80	86	302
18:00-19:00	72	62	89	75	298
19:00-20:00	68	49	45	58	220
20:00-21:00	50	31	37	34	152
21:00-22:00	23	23	21	27	94
22:00-23:00	12	11	14	8	45
23:00-24:00	3	3	2	1	9
Total					2,857
AM Peak	10:45-11:45 186				
PM Peak	17:15-18:15 312				

SE Opposing

Time	15-min Interval				Hourly Count
	1st	2nd	3rd	4th	
0:00-1:00	1	3	0	0	4
1:00-2:00	1	2	0	0	3
2:00-3:00	0	0	0	0	0
3:00-4:00	3	1	3	4	11
4:00-5:00	4	4	2	3	13
5:00-6:00	7	20	15	16	58
6:00-7:00	19	26	31	42	118
7:00-8:00	28	42	59	56	185
8:00-9:00	50	41	46	46	183
9:00-10:00	38	37	33	48	156
10:00-11:00	49	37	38	40	164
11:00-12:00	39	34	43	38	154
12:00-13:00	30	32	45	38	145
13:00-14:00	43	29	37	39	148
14:00-15:00	43	29	39	39	150
15:00-16:00	23	28	52	31	134
16:00-17:00	31	31	49	39	150
17:00-18:00	38	41	57	55	191
18:00-19:00	40	51	40	43	174
19:00-20:00	42	54	39	39	174
20:00-21:00	33	18	25	26	102
21:00-22:00	21	10	14	7	52
22:00-23:00	8	6	5	5	24
23:00-24:00	6	1	5	2	14
Total					2,507
AM Peak	07:15-08:15 207				
PM Peak	17:30-18:30 203				

**From:** [Kaminski, Michael](#)  
**To:** [John Wilson](#); [Amy Steffens](#)  
**Cc:** [Smith, Erich](#); [apiccinini@walbridge.com](mailto:apiccinini@walbridge.com)  
**Subject:** Freedom River Site Plan Coordination with Livingston Health Department  
**Date:** Wednesday, June 14, 2023 11:41:38 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)

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John –

As we discussed this morning Amy asked that we get something in writing from you describing our ongoing efforts for the Freedom River Campground site in relation to the wells and water supply. You request I write up the efforts for you to comment on here and this would act as that documentation. A summary of ongoing efforts is described below.

Wade Trim is working with Livingston Health Department to validate the peak water demands using a combination of the Fixture Method, Fixture Count Method, and Residential Unit Method. The site is to be split into four quadrants with each being supplied by its own independent well. We have gone through 2 or 3 iterations for the peak demands in each quadrant to date. These are near final just looking for some final validation with John.

With these rough number we have now moved into identifying wells to be used for each location. At this time we believe existing wells suffice for the Pole barn Area (NE), the lodge area (SE), and the family cabin area (NW). We are coordinating with a certified well driller to validate the family cabin area and the RV area. The family cabin area is simply a back check but the RV area is more discovery. Its understood the well there created drawdown with the past proposed development so we are working on confirming a well location that can provide our needed capacity while not adversely impacting the surrounding community. This will, of course, be resolved and confirmed with John and the Livingston Health Department before taking any next steps but it's in process.

John please ID anything I may have missed or provide any comments.



**Michael Kaminski**, Engineer  
25251 Northline Rd, Taylor, MI 48180  
734.947.9700 office • 734.945.1395 cell





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Hamburg, MI 48139  
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**Supervisor** Pat Hohl **Clerk** Mike Dolan **Treasurer** Jason Negri **Trustees** Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

**PLANNING COMMISSION MEETING**

**Wednesday, April 19 at 7:00 PM**  
**Hamburg Township Hall Board Room**

**MINUTES**

**CALL TO ORDER**

Commissioner Muck called the meeting to order at 7:00 pm.

**PLEDGE TO THE FLAG**

**ROLL CALL OF THE BOARD:**

- 1) **PRESENT:**
  - John Hamlin
  - Patricia Hughes
  - Deborah Mariani
  - Ron Muir
  - Jeff Muck, Chair
  - Joyce Priebe

- 2) **ABSENT:**
  - Victor Leabu Jr

**APPROVAL OF MEETING AGENDA for tonight.**

Motion made by Commissioner Mariani, seconded by Commissioner Hamlin to approve the agenda as presented.

**VOTE: MOTION CARRIED UNANIMOUSLY**

**APPROVAL OF THE MEETING MINUTES**

Motion made by Commissioner Hamlin, seconded by Commissioner Muir to approve the March 15, 2023, Planning Commission Meeting Minutes, with corrections.

**VOTE: MOTION CARRIED UNANIMOUSLY**

**CALL TO THE PUBLIC (For old business)**



None

## OLD BUSINESS

- I. **Final Site Plan Review (SPA 22-0006}** for a second-story addition over an existing commercial building to accommodate two residential units at 9704 Kress Road (TID 15-21- 405-016).

Chair Commissioner Muck opened the public meeting to Amy Steffens. On December 15, 2022, the applicant submitted a Special Use Permit (SUP) Application to consider the construction of two residential units as a second story addition to an existing commercial building on the corner of Kress Rd and Sha Gri La. On January 18, 2023, the Planning Commission held a hearing for this SUP application, and a motion to approve this SUP failed on a 3 to 1 vote, thereby tabling the SUP hearing and the site plan review. At the March 15, 2023, PC meeting, the PC approved the SUP permit and reviewed the site plan review application. The PC required the applicant to pave the parking area and to work with staff to create a landscaping plan for consideration at the final site plan approval. The PC approved the preliminary site plan with 6 conditions. The application was then forwarded on April 4, 2023, to the Hamburg Township Board as conditioned by the PC. The staff and applicant's landscape plan presented here will provide some of the landscape that was stipulated by the PC at the March 15 meeting.

Chair Commissioner Muck opened the meeting to the commissioners for comments and questions. Commissioner Muir asked about the photometric plan. Amy said the applicant can submit that with the land use permit later. He asked about the delineation of the four guest parking spots. Amy said he can submit that at the time of his site improvement permit. Some discussion about what shrubbery could be used on the front, that would survive cold winters and road salt. Boxwood shrubs were mentioned.

Commissioner Hamlin asked for clarification regarding the fencing on the property. Amy said those conditions had already been approved.

**Approval motion** by Commissioner Hamlin, seconded by Commissioner Priebe, that the Planning Commission recommends approval of the final site plan SPA 22-002 to the Township Board with the following conditions; because as conditioned the project meets the site plan review standards A-Lin Section 36-73 (7) and the additional approval standards of the Neighborhood Service District under Section 36-187 as discussed at tonight's meeting and as presented in the staff report.

**Condition 1:** Prior to issuance of a land use permit that applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residential used or zoned site whereby a maximum of 0.5 footcandles is permitted.

**Condition 2:** All lighting shall be turned off between 11:00PM and Sunrise except when used for commercial and industrial uses, such as in sales, assembly, and repair areas, where such use is open for business after 11 p.m. but only for so long as such use open for business. Lighting used for security between 11:00 p.m. and sunrise shall be controlled by a motion sensor.

**Condition 3:** Four parking spaces shall be delineated on the site plan and on-site using permanent signage as dedicated to the residents of the second-story dwelling units.

**Condition 4:** Prior to issuance of a land use permit for either site improvements or construction of the residential units the applicant shall receive approval from all required agencies including but not limited

to, Hamburg Township Fire, Engineering and Public Work Departments, Livingston County Drain Commissioner, Livingston County Road Commission, and Health Department.

**Condition 5:** All signage shall conform to Article XIII, Signs, and land use permits shall be issued prior to installation of signage.

**Roll Call Vote:**        **Ayes:6**        **Nays: 0**

**VOTE: MOTION CARRIED UNANIMOUSLY**

#### **CURRENT BUSINESS**

1. **ZMA #23-001 -Zoning Map Amendment** to change the zoning of the parcel commonly known as 6716 Winans Lake Rd (TID#4715-14-400-008 and 4715-23-100-002) from Water Front Residential (WFR) to Public and Private Recreation Facilities (PPRF) in (Zoning Ordinance Section 36-185).

Chair Commissioner Muck opened the public hearing to Amy Steffens to present her staff report. Applicant submitted a request to change the zoning district on this site from WFR to PPRF district on March 13, 2023. The portion along the Huron River that is in the Natural Rivers District (NR) will remain as NR zoning. The 2020 Master Plan identifies this parcel as medium density residential for future use plan. Each zoning district has a list of permitted uses that are permitted by right, that only requires a land use permit without Planning Commission Approval. Also, each zoning district has a list of special uses that are permitted, subject to PC approval and companion site plan review and approval. The Zoning Ordinance does not provide standards by which a map amendment needs to be considered. Staff offer the following for consideration by the PC.

- (1) The Zoning map amendment should be compatible with the goals, policies, and future land use map of the Master Plan. The 2020 master plan envisions this area as medium-density residential and natural river to the south by the Huron River. This rezoning would support goals 2, 7, and 8 of the Master Plan. The change in zoning district would allow for the permitted uses in the PPRF district and allow for the special use application for the special uses listed for this district. Section 36-71 specifies that the PC would have site plan review responsibility over permitted uses except for general and specialized farming activities.
- (2) Compatibility of the site's physical, hydrological, and other environmental features all uses permitted in the proposed zoning district compared to uses permitted under current zoning. The uses permitted in the PPRF district would be less impactful than single-family residential uses permitted in the WFR district. Single-family residential would require greater infrastructure whereas PPRF would keep a larger portion of this site undeveloped.
- (3) If the request is for a specific use, rezoning the land is considered to be more appropriate than amending the list of permitted or special land uses in the current zoning district to allow the use. The applicant has indicated that the zoning map amendment is in support of a proposed "recreational facility dedicated and designed for veterans and their families as a place of relaxation and reflection." Approval of the zoning map amendment does not imply that every special use in the PPRF district would be appropriate at this site, as the

Commission would have discretion to approve or disapprove a special use that does not comply with Section 36-36 of the Ordinance.

- (4) The parcel can meet the requirements of the proposed zoning district since it is 92-acres and adequately sized to accommodate site improvements, structures and utility installation that is in compliance with our Zoning Ordinance setback requirements.

Chair Commission Muck opened the public hearing to the applicant. Adorno Piccinini, the project director of Freedom River Retreat and Recover Campground spoke to the commission. This private campground is for veterans to relax, recover and rejuvenate in a natural setting. By-laws for Freedom River stipulate that it will always be under the control of a veteran-related organization if Freedom River ceases to exist. This property will not become a public campground. The boat launches will be permitted and meet the requirements of EGLE and MDNR divisions and will be in full compliance of rules and regulations. There will be no equestrian facility as proposed, but that area has been replaced with a service dog facility. The solar farm field is not a part of the current project scope.

Jeff and Janna Yeakey, residents of Hamburg Township as well as neighbors to this project, 9305 Huron Rapids Dr. Jeff is a U.S. Army veteran and serves as President & Director of Operations for Freedom River's Board. Janna is the Executive Director for Freedom River. Beverly Conatser is the Vice Chair Women of Freedom River. Beverly is an Army veteran and retired chief of Voluntary & Chaplin Services at the V.A. in Ann Arbor. Erich Smith is with Wade Trim Associates, the project civil engineer. Todd Hallett is a resident of Hamburg Township and owns TK Designs, the project architect. Mike Halloran, not present, is Chairman of the Board of Freedom River and will be the contractor of Freedom River.

Chair Commissioner Muck opened the Public Comment to the audience.

- Charles Armour -6641 Winas Lake Rd is a 24-year retired veteran in support of the project.
- Michelle Ormanian- 9497 Huron Rapids Dr has been a Hamburg Township resident for 24 years; spoke in opposition to the project.
- Joshua Muns- is a Marine veteran and is a Hamburg resident. He works as a social worker that stated that 660 veterans die by suicide each month. He is in support of this project.
- Laszlo Szalay- 7867 Kilkenny Dr is a disabled Marine veteran who did 18 ½ deployments in 18 years and served in the CIA. He is in support of this project.
- Kevin Guthrie- 9421Huron Rapids Dr is against this project due to the RV park.
- Kirt Lanam- is a 34-year Air Force veteran, 22 years of active combat and 38 deployments. He supports this project.
- Terran Frye- Howell resident, Marine veteran with 2 deployments to Iraq. This is a temporary campground not a permanent trailer park. He is in support of the project.
- Rick Beaudin- 9676 Zukey Lake Dr is a local Hamburg resident and a real estate agent. He is a member of the Putnam Pinckney Chamber of Commerce. He spoke about property values and sense of identity. He is supportive of this project.
- Carol Ann Wilson- 9253 Huron Rapids Drive, 45-year resident of Hamburg Township. Her husband who is a Vietnam veteran. She is not opposed to project but wonders if there is a better way to spend resources on helping veterans.

- Michael Bitondo -2020 Darwin Rd has lived in Hamburg Township since 1983 and has been served on government boards and a township Trustee off and on since 1986. He is in support of this project.
- Shawn Fitzgerald -9239 Silver Maple Rd is Carol Ann's neighbor. He is in support of this project. Is asking to relocate the RV park to the others side away from the neighborhood due to diesel fuel smells.
- Dale Brewer- 11548 East Shore Dr, Whitmore Lake is a Green Oaks resident but serves disabled American veterans every day. He is in support of this project.
- Candi Kutey- 7769 Athlone Dr is a caregiver for a veteran. She has witnessed other veteran parks and how the communities support the veterans. She is supportive of this project.
- Joanna Hardesty- 4277 E. M-36 has been a Hamburg resident since 1992. She served as Hamburg Township Clerk for 12 years. She has had many generations of veterans in her family, even two sons who served. She is serving as a director of Freedom River, and everyone working on this project are volunteers and the funding was gained through donations. She is in support of this project.
- Mark Kovach- a resident of Pinckney and serves as the command of the Livingston and Oakland County V.A. He is in support of this project.
- Christa Braun- 9489 Huron Rapids Dr is a concerned local resident. She is concerned by the sheer number of veterans that might show up on a given day. She is concerned by how close the park is to their neighborhood and there might be too many people on the land at one time.
- Anja Mackey- 8760 Tamarack Drive. She understands the concerns about the campground. She does not believe that Freedom River will have events that are loud and out of control. She is in support of this project.
- Ralph Pachinzki- Lake Kress Dr is a neighbor to this project. He raised concerns about setback violations, on-site stormwater, and use mature trees as a natural sound buffer rather than clearcutting them for more development. He is supportive of this project but wants it done tastefully.
- Commission received six letters from four people not in support of the project. Letters were placed in the file.

Chair Commissioner Muck closed the public meeting and opened it to the Commissioners. Commissioner Priebe thanked all the veterans for their service.

Commissioner Muir reminded the applicant that all site plan approvals need to go through the Planning Commission for review of campsites, stormwater, and engineering. We need to first approve the zoning map amendment to allow Freedom River to proceed.

Commissioner Hamlin felt that this project was much better than a subdivision with 78 homes. He indicated this is a straight rezoning request.

**Approval motion** by Commissioner Priebe, seconded by Commissioner Hamlin, that the Planning Commission recommend approval of the Zoning Map Amendment 23-001 to change the zoning of the parcel commonly known as 6716 Winans Lake Rd (TID#4715-14-400-008 and 4715-23-100-002) from Water Front Residential (WFR) to Public and Private Recreation Facilities (PPRF) in (Zoning Ordinance

Section 36-185) and directs staff to forward the request to the Livingston County Planning Commission for review and to draft an amendment to the Master Plan.

**Roll Call Vote:                   Ayes:6           Nays: 0**

**VOTE: MOTION CARRIED UNANIMOUSLY**

2. **Special Use Permit (SUP 23-001)** to permit a public or private campground and lodge with associated private outdoor recreational areas and indoor recreational buildings for military veterans and their families at parcel commonly known as 6716 Winans Lake Road (TID#4715-14-400-008 and 4715-23-100-002).

Chair Commissioner Muck opened the public hearing to Amy Steffens to present her staff report. She addressed the Discretionary Review Standards 1-7 for the Special Use Permit (Section 36-36 (C)). The preliminary engineering review is not back yet. Approval from Livingston County Health Department is needed. Amy spoke with John Wilson of the LCHD on April 18, 2023. John believes that the existing wells will be adequate to serve these uses. There is a sewer line on Winas Lake Road. The site plan shows 5 slips on the Huron River. The Township Ordinance stipulates 4 or more docks is defined as a marina and would not be allowed in this district. Staff have requested this number of docks be reduced in number. Staff has also asked that these docks be reoriented to meet the ordinance for the Natural Rivers District (NR). She also addresses the PPRF district additional regulations from Section 36-185 (b). Staff report notes where zoning requirements are met and not met.

Chair Commission Muck opened the Public Meeting to the audience.

- Kevin Guthrie- 9421Huron Rapids Dr is against this project due to the RV park.
- Terran Frye - Howell; Marine veteran with two deployments to Iraq. This is a temporary campground not a permanent trailer park.
- Laszlo Szalay- 7867 Kilkenny Dr is a disabled, Marine veteran who did 18 ½ deployments in 18 years and served in the CIA. He is in support of this project.
- Nancy Hubble- 6039 Winas Lake Rd have family and friends that are veterans of Vietnam. Residents that live nearby have concerns with this project, especially traffic and safety. Concerned with the type of boating allowed on Gut Lake. She is supportive of this project.
- Joshua Muns- is a Marine veteran and is a Hamburg resident. He works as a social worker that stated that 660 veterans die by suicide each month. He is in support of this project.
- Joanna Hardesty- 4277 E. M-36. She was on the township Board when the lake was made a no-wake lake; no motors permitted.

Chair Commission Muck closed the public comment and opened the meeting to the Commissioners. Commissioner Muir asked the applicant if the RV spots will have electricity. The applicant said they will have electric hook-up. Muir asked how the RV spots will be rented out through organizational standards. Renters will need a reservation to rent an RV for overnight, and facility users will be vetted prior to arriving.

Commissioner Hamlin asked the applicant who owns the property. The applicant said it was Freedom River. Hamlin asked which veterans will be eligible to use this park. Will it be Livingston County veterans only or all veterans? Target is toward Livingston County veterans, but available to any veteran. Hamlin asked if manager will be onsite and Janna said there will be someone there all the time to supervise. This is a 501 c 3 organization. It has been funded by private donations. Hamlin stated that the special land use permit should reflect the ideals of this is a recreational facility that is dedicated and designed for the veterans and their families as a place of relaxation and reflection, and the approval goes with the land.

Glad to hear there is no light and amplifications onsite and would like to keep this in the conditions for approval.

Commissioner Mariani asked about the solar farm. Janna indicated that DTE approached Freedom River about installing solar farm. The solar farm would require special use and is not a part of this application. The applicant said that the RV renters will have to fill up at the well, because each site will not have water hookup. The capacity of the site for campers, once built out, would be approximately 212.

Commissioner Hamlin mentioned that there are 169 parking spaces and asked if there would be a curfew for visitors to leave by if they were not staying overnight. Phase one is sun-up to sun-down since there is no lighting on the sports fields.

Chair Commissioner Muck asked Amy what process Freedom River would be required to follow to have large events on their site. Amy said she will have to review the Zoning Ordinance to see what that process would require. We would make it a condition of the site plan, to be reviewed for public safety and Livingston Road Commission. Muck said we need to include this requirement in the conditions of the Site Plan Review.

**Approval motion** by Commissioner Priebe, seconded by Commissioner Muir to approve Special Use permit (SUP23-003) to permit a private campground and lodge with associated private outdoor recreational areas and indoor recreational buildings for military veterans and their families dedicated and designed for veterans and their families for relaxation and reflection at parcel commonly known as 6716 Winans Lake Road (TID 4715-14-400-008 and 4715-23-100-002) (Zoning Ordinance Section 36-185) because as conditioned the project would comply with the standards of Sections 36-36 and 36-187 as presented at the April 19, 2023 hearing and in the staff report.

**Condition 1:** The Special Use Permit for the private camp use is only valid with approval of a final site plan from Hamburg Township.

**Condition 2:** Prior to issuance of a land use permit a driveway permit from the Livingston County Road Commission will be required.

**Condition 3:** Prior to issuance of a land use permit all approvals from the Livingston County Health Department will be required.

**Condition 4:** A landscaping buffer, which may include a berm, shall be provided along the north, east, and west property boundaries.

**Condition 5:** The docks on the Huron River shall be reoriented, sized, and reduced in number to meet the Ordinance requirements.

**Condition 6:** No public use of the docks shall be permitted.

**Condition 7:** All required state permits shall be obtained prior to the installation of any docks in the Huron River.

**Condition 8:** The special land use permit for the private camp use shall be null and void unless a land use permit for the private camp use on the site is granted within one year from the date of this approval.

**Condition 9:** No lighting or amplification will be permitted on this site.

**Condition 10:** Special event usage to be coordinated with Township public safety committee.

**Roll Call Vote:           Ayes:6       Nays:0**

**VOTE: MOTION CARRIED UNANIMOUSLY**

**Zoning Administrator's Report**

The Zoning Map Amendment will be forwarded to Livingston County Planning for consideration at their May 17, 2023 meeting, which is the same night as the next township Commission meeting. Staff will change the Township Commission meeting. Map amendment will go to Township Board of Trustees for consideration at their June 6, 2023 meeting.

**ADJOURNMENT**

**Motion by Hamlin**, support by Hughes to adjourn.

**VOTE: MOTION CARRIED UNANIMOUSLY**

Respectfully submitted,


**Lisa Perschke**

*Planning/Zoning Coordinator & Recording Secretary*

**Amy Steffens**

*Planning & Zoning Director*

The minutes were approved as presented/corrected: **CORRECTED**

  
\_\_\_\_\_  
Commissioner **Jeff Muck**, Chairperson

Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

To: Township Board

From: Amy Steffens, AICP

Date: July 6, 2023

RE: **Final Site Plan Review (SPA 23-0001)** for the construction of a 22,360-square foot multi-tenant commercial building, with associated parking and site improvements. Site location is 7749 E M-36; TID 15-25-200-068.

### PROJECT HISTORY:

On February 28, 2023, Hamburg Township received a site plan review application for the construction of a 27,461-square foot multi-tenant commercial structure and associated parking at the site of the old Roadies restaurant that was lost to fire in 2014. This site is zoned in the Village Center district. The applicant has since reduced the size of the structure to 22,360 square feet to allow for on-site stormwater management. On April 12, 2023, the Zoning Board of Appeals granted variance approval to permit a relocated driveway less than 225 feet from the commercial driveways to the east and west.

The Planning Commission considered the preliminary site plan at their May 31, 2023 meeting. Discussion was held on applicable zoning standards for this Village Center-zoned parcel. The Commission expressed concerns about the proposed architecture of the building and directed staff to work with the applicant on the architecture prior to final site plan approval as a condition of approval. (June 21 Commission meeting minutes forthcoming.)

At the June 6, 2023 Township Board meeting, preliminary site plan approval was granted with the same conditions imposed by the Commission. (June 6 Board meeting minutes attached.)

On June 13, 2023, Commissioner Leabu, applicant's architect Todd Callaway, and I (the architectural review committee) had a productive meeting to discuss what the Commission would likely approve. Mr. Callaway revised the plans to include the requested covered porch on the south (M-36) elevation, awnings over each entry and overhead door on the east elevation, and a variation of building materials (revised elevations attached).

On June 21, 2023, the Commission considered the final site plan approval. Between the preliminary approval and final site plan approval, the applicant addressed a number of preliminary approval conditions. The Planning Commission recommended approval of final site plan with the following conditions:



1. Cross access easement for the pedestrian pathway shall be submitted for township attorney approval and recorded prior to issuance of a land use permit for any site improvements.
2. A floating easement to allow cross-access across subject site from adjacent properties should the subject site be redeveloped shall be submitted for township attorney approval and recorded prior to issuance of a land use permit for any site improvements.
3. All sewer fees shall be paid in full prior to issuance of a land use permit for any site improvements.
4. Prior to issuance of a land use permit the applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted. Applicant shall propose an exterior light that is similar to the suggested Village Center lighting as approved by architecture committee.
5. Final site plan shall indicate required lighting along M-36 pathway and parking area. Light fixtures to match approved Village Center fixtures and shall comply with light intensity requirements.
6. Prior to issuance of a land use permit the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Utilities Department, Livingston County Drain Commissioner, MDOT, and Livingston County Water Authority.
7. A sign program meeting the standards of Section 36-479 shall be submitted for approval by the Planning Commission prior to issuance of a land use permits for signage.
8. Final site plan shall show required screening of parking area and mechanical and electrical equipment.
9. No outside storage areas are permitted.
10. Shrubs along south and east property boundaries shall be maintained at no less than three feet tall.
11. Final site plan conditioned on elevation colors as approved by architecture committee.

The final site plan shows the required easements; staff will work with the township attorney to formalize easement documents.

#### **RECOMMENDATION:**

Staff suggests that the Township Board discuss and review the June 21, 2023 Planning Commission Staff report, the recommendations by the Hamburg Township Planning Commission and the proposed project plans and application materials. The Board should make a determination on the final site plan in terms of its own judgment on particular factors related to the individual proposal. The Board should make a determination if the project meets the site plan review standards A-L in section 36-73 (7).

#### Example Approval Motion

The Township Board approves the **Final Site Plan Review (SPA 23-0001)** for the construction of a 22,360-square foot multi-tenant commercial building, with associated parking and site improvements at 7749 E M-36 (TID 15-25-200-068) because with conditions one through 11, inclusive, the project does meet the site plan review standards A through L of Section 36-73(7) of the Zoning Ordinance as discussed at the July 6, 2023 Township Board meeting, at the June 21, 2023 Planning Commission meeting, and as presented in this staff report.

**ATTACHMENTS:**

June 6, 2023 Township Board meeting minutes

June 21, 2023 Planning Commission staff report with site plan and lighting options

Revised architectural elevations

Draft June 21, 2023 Planning Commission meeting minutes (forthcoming)





10405 Merrill Road  
P.O. Box 157  
Hamburg, MI 48139  
(810) 231-1000  
www.hamburg.mi.us

Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

## BOARD OF TRUSTEES REGULAR MEETING

Tuesday, June 06, 2023 at 2:30 PM  
Hamburg Township Hall Board Room

### MINUTES

#### CALL TO ORDER

Supervisor Hohl called the meeting to order at 2:30 pm.

#### PLEDGE TO THE FLAG

#### ROLL CALL OF THE BOARD

##### PRESENT

Pat Hohl  
Mike Dolan  
Bill Hahn  
Chuck Menzies  
Cindy Michniewicz  
Patricia Hughes

##### ABSENT

Jason Negri

#### CALL TO THE PUBLIC

A call was made with no response.

#### CONSENT AGENDA

Motion by Menzies, Seconded by Hughes to approve the Consent Agenda as presented.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

1. May 16, 2023 Regular Meeting Minutes
2. Bills List 06-06-2023

#### APPROVAL OF THE AGENDA

Motion made by Dolan, Seconded by Menzies, to approve as presented with moving number 14 up to be first. (Zoning map amendment for 6716 Winans Lake Road)

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

### UNFINISHED BUSINESS

3. Adoption of FY2023/24 Budget

Motion made by Menzies, Seconded by Dolan, move to adopt the budget for the Fiscal Year of 2023/2024 that was presented in the Boards earlier meeting on page 1 of the Budget Public Hearing Packet.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

4. Grants - Parks & Rec - MLLT State Park Trailhead Improvement – Resolution

Motion made by Dolan, Seconded by Hughes, to move Resolution #230601 regarding the Spark Grant as published in the packet.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

### CURRENT BUSINESS

5. Purchase of Police Vehicle

Motion by Dolan, Seconded by Hohl, to approve the purchase of a 2023 Dodge Charger, with the attached specifications in the Board Packet, from LaFontaine CDJR in Lansing, MI for the state contract price of \$35,877.00 with the vehicle to be properly outfitted by Cruiser's, Inc. of Howell, MI in the amount not to exceed \$15,000.00.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

6. New Public Safety SOP

Motion by Hohl, Seconded by Dolan, to approve the Public Safety SOP 100-17 Military Deployment and Reintegration.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

7. Conditional Offer of Employment

Motion by Hughes, Seconded by Hohl, to approve the authority to extend a Conditional Offer of Employment to Jeffrey Fink for the position of full-time police officer pending successful completion of all pre-employment requirements including medical examination, psychological examination and drug screening.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

8. Memorandum of Understanding

Motion by Hohl, Seconded by Menzies, to approve the Memorandum of Understanding that is provided in the Board Packet today, June 6, 2023, Article 8 Job Postings.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

9. Final site plan review (SPA 23-004) for 10409 Merrill Road

Motion by Hohl, Seconded by Hughes, to approve the Final Site Plan SPA 23-004 for a 2,100-square foot addition to the Hamburg Township Police Department building at 10409 Merrill Road with the condition that prior to the issuance of the land use permit the applicant shall receive approval from all required agencies, including but not limited to, Fire, Engineering, Public Works Department, Livingston County Drain Commission, Livingston County Road Commission, and the Health Department. Project does meet the site plan review standards A-L section 36-73 of the Zoning Ordinance as discussed at the June 6, 2023 Township Board meeting, at the May 31, 2023 Planning Commission meeting, and as presented in the staff report.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

10. Sale of Property

Motion by Hohl, Seconded by Michniewicz, to approve the disposal of the property; jewelry, storage cases, computers, commercial vehicle lifts; as outlined in the Chief's memo dated May 30, 2023 with an understanding that the dispersion of that property will result in the deposit of the funds to separate accounts as required.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

11. Final site plan review (PSP 23-005) to amend Ore Lake Estates site condo development

Motion by Hughes, Seconded by Michniewicz, to approve the SPA 23-005 to amend Ore Lake Estates site condo development to reduce the number of lots to 7, remove a portion of the common elements, and add a portion of the property (formerly unit 8) to the common area. Parcel IDs 15-13-204-901, -001, -002, -003, -004, -005, -006, -007 because with the following conditions the project does meet the site plan review standards A through L of Section 36-73(7) of the Zoning Ordinance and Section 18-78 as discussed at the June 6, 2023 Township Board meeting, at the May 31, 2023 Planning Commission meeting, and as presented in the staff report with the 3 conditions that are mentioned on page 124 of the June 6, 2023 Board packet.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

12. Preliminary site plan approval (SPA 23-001) for 7749 E M-36

Motion by Dolan, Seconded by Hahn, to approve the Preliminary Site Plan Review (SPA 23-001) for the construction of a 22,484-square foot multi-tenant commercial building, with associated parking and site improvements at 7749 E M-36 (TID 15-25-200-068) because with conditions one through 15, inclusive, the project does meet the site plan review standards A through L of Section 36-73(7) of the Zoning Ordinance as discussed at the June 6, 2023

Township Board meeting, at the May 31, 2023 Planning Commission meeting, and as presented in the staff report.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

13. Preliminary site plan review (SPA 22-007) for 10776 Hall Road

Motion by Hohl, Seconded by Hahn, to approve the preliminary site plan for SPA 22-007 to consider the remodel of the existing building and construction of 10 new storage buildings at 10776 Hall Road (parcel number 15-25-400-014) because with conditions one through 10, inclusive, the project does meet the site plan review standards A through L of Section 36-73(7) of the Zoning Ordinance as discussed at the June 6, 2023 Township Board meeting, at the May 31, 2023 Planning Commission meeting, and contingency number 10 and including the construction, the dedication, of a 50 foot private road easement and the construction to the satisfaction of the Township's Municipal Engineer of an all base gravel necessary to construct a minimum of a 22 foot wide road to the private road standard with all construction in place with the exception of the installation of the hot mixed asphalt to the west line of the storage building phase and +-530 feet.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

14. Zoning Map Amendment (ZMA 23-001) for 6716 Winans Lake Road (TID 4715-14-400-008 and 4715-23-100-002)

Motion by Hohl, Seconded by Hughes, to approve the resolution #230602 to rezone as described in the Board packet.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

15. Planning & Zoning Director Hiring

Motion by Hohl, Seconded by Hahn, for the Board to direct the Director of HR to make an offer to the individual contemplated for the position of the Planning and Zoning Director to begin on June 26, 2023 at a Grade 10, Step 5 as on July 1, 2023 with the associated benefits as outlined in the memo including 80 hours of vacation upon hiring and 120 hours of vacation on the first employment anniversary date.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Hughes

Voting Nay: Michniewicz

16. Full-Time DPW Technician Hiring

Motion by Hohl, Seconded by Michniewicz, that we authorize the employment as outlined in the memo provided in the 1:30 packet that the position have a salary of \$23.22 per hour Grade 5, Step 1 with a probationary period of 6 months and all of the appropriate associated benefits and because this individual is currently part time seasonal Building and Grounds he has complied and fulfilled all preemployment physical and other requirements so the position will be available starting on June 7, 2023.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

Motion by Hohl, Seconded by Hahn, to approve the posting of the On-Call DPW Technician and part-time seasonal Building and Grounds positions and approval to conduct interviews and an extended conditional job offer can be given.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

17. Steel Storage Building Insulation

Motion by Michniewicz, Seconded by Menzies, to recommend that the Board gives the contract to the lowest bidder, SealTech Insulation for the quoted amount of \$16,969.64 and include the deposit amount required of \$3,393.93.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

18. Buildings & Grounds Tractor Purchase

Motion made by Hohl, Seconded by Hahn, to proceed with the purchase of the Kubota tractor from Boullion's Equipment at a total cost of \$33,098.25 as outlined in the memo from Tony Randazzo on June 1, 2023.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

19. DPW & Buildings & Grounds Trucks

Motion made by Dolan, Seconded by Michniewicz, to authorize the purchase from Lafontaine CDJR of Lansing of a 2023 Ram 3500 Tradesman regular cab 4x4 truck at the cost of \$47,209.00 and for it to be paid out of reserve funds.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

Motion made by Hohl, Seconded by Hughes, to authorize the purchase of the vehicles outlined here in the memo today, dated 5/31/2023, from Tony Randazzo, at a cost of \$69,606.40 and that we also authorize the disposal through Township approved policies of the 2 existing vehicles on MiBid.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

20. Huron River Chain of Lakes Water Improvement MOU

Motion by Hohl, Seconded by Menzies, to authorize the Supervisor to sign the Memo of Understanding.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

21. Campbell Drive SAD - Road Maintenance Bid Results

Motion by Hohl, Seconded by Hahn, that based upon the bids the two year service contract be awarded to Bob Myers Excavating and Big Barney Dust Control beginning June 20, 2023 and ending June 19, 2025 for the Campbell Drive Special Assessment District.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

22. Township Board Regular Meeting Dates FY 23/24

Motion by Dolan, Seconded by Michniewicz, to approve the 23/24 FY Township Board Regular Meeting Dates as presented.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

23. Senior Center Director

Motion by Dolan, Seconded by Menzies, effective July 3, 2023 we change the Senior Center Director Position to a Grade 7, Step 1.

**Motion Withdrawn**

Motion by Hohl, Seconded by Dolan, to establish a salary Grade 6, Step 6, for the Senior Center Director making the amendments to the job description and making it effective July 3, 2023.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

24. Elected Officials Salary Resolutions

Motion by Dolan, Seconded by Michniewicz, that the elected officials not receive any ECI increase as of this July 1, 2023 as proposed.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz

Voting Nay: Hughes

#### CALL TO THE PUBLIC

A call was made with no response.

#### BOARD COMMENTS

Hohl stated that Planning and Zoning Director Amy Steffen's last day at Hamburg Township will be July 14, 2023.

#### ADJOURNMENT



Motion by Menzies, Seconded by Michniewicz, to adjourn.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Hughes

Meeting Adjourned at 4:45 pm



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Karen L. Vermillion  
Recording Secretary



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Mike Dolan  
Township Clerk

PHONE: 810-231-1000  
FAX: 810-231-4295



P.O. Box 157  
10405 Merrill Road  
Hamburg, Michigan 48139-0157

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**To:** Planning Commissioners  
**From:** Amy Steffens, AICP  
Planning and Zoning Director  
**Date:** June 21, 2023

**Project address and Description:** **Site Plan Review (SPA 23-0001)** for the construction of a 22,360 square-foot multi-tenant commercial building, with associated parking and site improvements. Site location 7749 E M-36; TID 15-25-200-068.

**Owner:** Jet Set Group LLC  
**Applicant:** Nick Zander

**LOCATION:**



## PROJECT HISTORY

On February 28, 2023, Hamburg Township received a site plan review application for the construction of a 27,461-square foot multi-tenant commercial structure and associated parking at the site of the old Roadies restaurant that was lost to fire in 2014. This site is zoned in the Village Center district. The applicant has since reduced the size of the structure to 22,484 square feet to allow for on-site stormwater management. The existing curb cut off of M-36 will be relocated to the west by approximately 90 feet. On April 12, 2023, the Zoning Board of Appeals granted variance approval to permit a relocated driveway less than 225 feet from the commercial driveways to the east and west.

The Planning Commission considered the preliminary site plan at their May 31, 2023 meeting. Discussion was held on applicable zoning standards for this Village Center-zoned parcel: setbacks (which all comply), installation of a pedestrian pathway along M-36 (complies), and parking count (complies). The plans are deficient in required parking stall size (185 square feet provided whereas 200 square feet is required), four landscaped islands, parking area screening from M-36 and pathway, Village Center-style lighting, and lighting along pathway. The Commission granted waivers to the parking stall size and the landscaped parking islands.

Much discussion was had on staff's and Commissioner's concerns on the proposed architecture of the commercial structure. The Commission indicated that as proposed the building is not acceptable due to this site being in the gateway to the township and in the Village Center zoning district. Staff's report from May 31, 2023 provides in-depth analysis of the architecture as compared to the Village Center requirements of Section 36-73(7). The Commission made architectural approval a condition of final site plan approval.

Staff recommended to the Commission that a floating easement be considered over the property to encourage future connectivity from this property to the properties to the east and west should future redevelopment of any site occur. The easement is intended to connect uses along this portion of M-36 without having to use M-36.

After taking comment from both the applicant and staff, the Commission recommended preliminary site plan approval with the following conditions:

1. Cross access easement for the pedestrian pathway shall be submitted for township attorney approval and recorded prior to issuance of a land use permit for any site improvements.
2. A floating easement to allow cross-access across subject site from adjacent properties should the subject site be redeveloped shall be submitted for township attorney approval and recorded prior to issuance of a land use permit for any site improvements.
3. All sewer fees shall be paid in full prior to issuance of a land use permit for any site improvements.
4. Prior to issuance of a land use permit the applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted. Applicant shall propose an exterior light that is similar to the suggested Village Center lighting.

5. Final site plan shall indicate required lighting along M-36 pathway and parking area. Light fixtures to match approved Village Center fixtures and shall comply with light intensity requirements.
6. The final site plan shall note that “All lighting shall be turned off between 11:00 PM and Sunrise except when used for commercial and industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business. Lighting used for security between 11:00 pm and sunrise shall be controlled by a motion sensor.”
7. Prior to issuance of a land use permit the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Utilities Department, Livingston County Drain Commissioner, MDOT, and Livingston County Water Authority.
8. A sign program meeting the standards of Section 36-479 shall be submitted for approval by the Planning Commission prior to issuance of a land use permits for signage.
9. Tree preservation location and details shall be delineated on the final site plan.
10. A change of use permit shall be issued for every occupant of the structure. At the time of permit application, a parking count shall be provided by the property owner indicating the available parking for each use.
11. Parking space size may be reduced as indicated on the site plan.
12. Final site plan shall show required screening of parking area and mechanical and electrical equipment.
13. No outside storage areas are permitted.
14. Prior to final site plan approval architecture shall be approved by the Planning Commission.
15. Shrubs shall be maintained at three feet tall and additional screening shall be provided along the east property boundary.

At the June 6, 2023 Township Board meeting, the Board approved the preliminary site plan as conditioned by the Planning Commission at the May 31 meeting.

On June 6, 2023, the applicant submitted revised final site plans and a response letter (attached).

On June 13, 2023, the applicant’s architect, Todd Calloway, Commissioner Victor Leabu, and I (Amy Steffens), met to discuss building architecture. It was agreed that the Mr. Calloway would show elevations with a covered porch across the front south elevation, provide awnings above the entry and overhead doors on the east elevation, and provide additional masonry detail. As of this writing, no building elevations have been submitted but staff is confident that the applicant will work with the township to create a building that meets the intent of the Village Center zoning district.

Staff provides the following response to the conditions of the May 31 preliminary site plan approval recommendation:

1. Cross access easement for the pedestrian pathway shall be submitted for township attorney approval and recorded prior to issuance of a land use permit for any site improvements.  
**An easement is indicated on the site plan. Staff will work with the applicant and township attorney to formalize the easement for recording prior to issuance of land use permits.**
2. A floating easement to allow cross-access across subject site from adjacent properties should the subject site be redeveloped shall be submitted for township attorney approval and recorded prior to issuance of a land use permit for any site improvements.

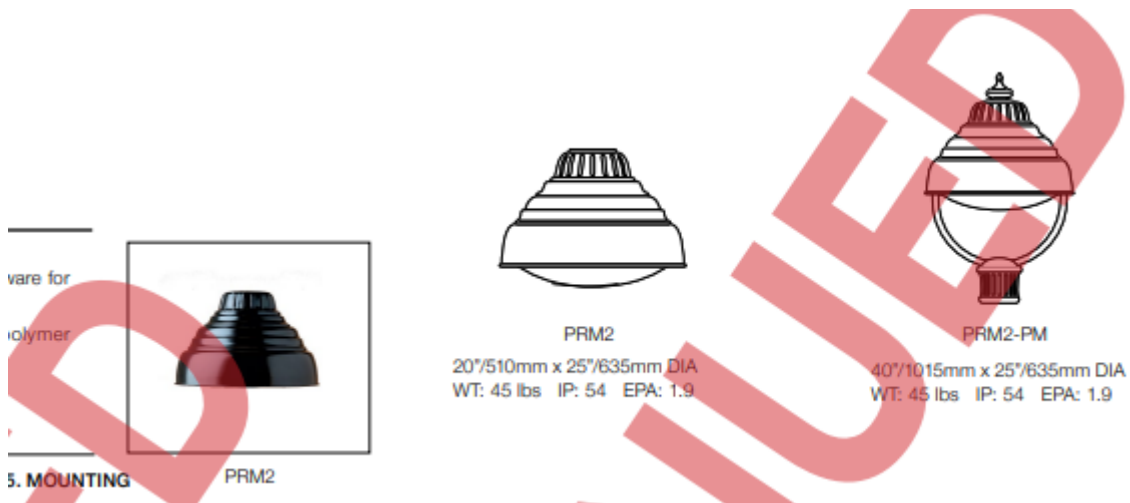
An easement is indicated on the site plan. Staff will work with the applicant and township attorney to formalize the easement for recording prior to issuance of land use permits.

- All sewer fees shall be paid in full prior to issuance of a land use permit for any site improvements.

The applicant's engineer has been in contact with Brittany Campbell, utilities coordinator. REU review will be required for each individual user and sewer fees paid in full prior to issuance of a land use permit.

- Prior to issuance of a land use permit the applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted. Applicant shall propose an exterior light that is similar to the suggested Village Center lighting.

The light fixtures most recently installed for a project in the Village Center zoning district, Hampton Manor senior housing facility, have been discontinued.



The applicant found fixtures of similar design (attached at end of report) that the Commission should consider and decide if any of those fixtures would be acceptable substitutes.

- Final site plan shall indicate required lighting along M-36 pathway and parking area. Light fixtures to match approved Village Center fixtures and shall comply with light intensity requirements.  
See above.
- The final site plan shall note that "All lighting shall be turned off between 11:00 PM and Sunrise except when used for commercial and industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business. Lighting used for security between 11:00 pm and sunrise shall be controlled by a motion sensor."
- Prior to issuance of a land use permit the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Utilities Department, Livingston County Drain Commissioner, MDOT, and Livingston County Water Authority.  
The fire marshal has amended his review letter to no longer require a fire hydrant. MDOT permit has been issued.

8. A sign program meeting the standards of Section 36-479 shall be submitted for approval by the Planning Commission prior to issuance of a land use permits for signage.
9. Tree preservation location and details shall be delineated on the final site plan.  
**Completed; see sheet LA1.1**
10. A change of use permit shall be issued for every occupant of the structure. At the time of permit application, a parking count shall be provided by the property owner indicating the available parking for each use.
11. Parking space size may be reduced as indicated on the site plan.  
**Commission granted a waiver for reduced parking stall size.**
12. Final site plan shall show required screening of parking area and mechanical and electrical equipment.  
*A solid row of boxwoods is shown along the eastern property boundary, shielding the parking area from off-site views. The Commission should determine if this row of shrubs, to be maintained at a height of at least 3 feet, will be adequate to meet the intent of Section 36-187(i), Parking lot screening: All off street parking spaces or loading areas must be screened from view of any public road or pedestrian path right-of-way, or private road or pedestrian path easement by an evergreen hedge row or masonry wall, which is consistent with building architecture and site design, at least three feet in height.*
13. No outside storage areas are permitted.
14. Prior to final site plan approval architecture shall be approved by the Planning Commission.  
**As of this writing no revised building elevations have been submitted.**
15. Shrubs shall be maintained at three feet tall and additional screening shall be provided along the east property boundary.  
**See above.**

### **RECOMMENDATIONS:**

Staff recommend the Planning Commission review, discuss and make a recommendation to the Township Board to either approval or denial of the Final Site Plan Application (PSPA23-0001) or table the application and request any additional information deemed necessary for review.

### Site Plan Review 23-0001 Draft Approval Motion:

The Planning Commission recommends approval of the final site plan (SPA23-0001) for the construction of a 22,360 square-foot multi-tenant commercial building, with associated parking and site improvements (site location 7749 E M-36; TID 15-25-200-068) to the Township Board because as conditioned the project meets the site plan review standards A-L in section 36-73 (7) and the additional approval standards of the Village Center district under section 36-187 as discussed at tonight's meeting and as presented in the staff report.

### Conditions:

1. Cross access easement for the pedestrian pathway shall be submitted for township attorney approval and recorded prior to issuance of a land use permit for any site improvements.
2. A floating easement to allow cross-access across subject site from adjacent properties should the subject site be redeveloped shall be submitted for township attorney approval and recorded prior to issuance of a land use permit for any site improvements.
3. All sewer fees shall be paid in full prior to issuance of a land use permit for any site improvements.

4. Prior to issuance of a land use permit the applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted. Applicant shall propose an exterior light that is similar to the suggested Village Center lighting.
5. Final site plan shall indicate required lighting along M-36 pathway and parking area. Light fixtures to match approved Village Center fixtures and shall comply with light intensity requirements.
6. Prior to issuance of a land use permit the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Utilities Department, Livingston County Drain Commissioner, MDOT, and Livingston County Water Authority.
7. A sign program meeting the standards of Section 36-479 shall be submitted for approval by the Planning Commission prior to issuance of a land use permits for signage.
8. Final site plan shall show required screening of parking area and mechanical and electrical equipment.
9. No outside storage areas are permitted.
10. Shrubs along south and east property boundaries shall be maintained at no less than three feet tall.

The subject site is a 2.0-acre parcel located on the north side of M-36, west of the Hamburg/Green Oak Twonship boundary. The site is currently vacant but was previously developed with a restaurant that was lost to a fire in 2014. Table 1, below, lays out the zoning districts, use, and future land use designations for immediate area.

<b>Table 1</b>	<b>Current Zoning Classification</b>	<b>Current Use of Property</b>	<b>Future Land use Designation</b>
<b>Subject Site</b>	Village Center	Vacant	South: Village Gateway District North: Industrial
<b>North</b>	Village Center	Office	Industrial
<b>South</b>	Village Center	CEI	Village Gateway District
<b>East</b>	Village Center	Office/professional	South: Village Gateway District North: Industrial
<b>West</b>	Village Center	Religious	South: Village Gateway District North: Industrial

**PROJECT DESCRIPTION**

Site plan review application to allow construction of a 22,360-square foot multi-tenant commercial building, with associated parking and site improvements. The proposed project would relocate the existing driveway location approximately 90 feet to the west to accommodate the multi-use building on the west side of the parcel and parking on the east side. The relocated driveway will be approximately 70 feet (centerline to centerline) from the curb cut for the commercial use to the east. Section 36-339 of the Zoning Ordinance requires that the minimum spacing between two commercial driveways on the same side of the road shall be determined based upon posted speed limits along the parcel frontage. The minimum spacings are measured from centerline to centerline. The posted speed limit along this stretch of M-36 is 40 miles per hour, which requires a minimum driveway spacing of 225 feet. On April 12, 2023 the Zoning Board of Appeals granted variance approval to permit a relocated driveway to be less than 225 feet from the commercial driveways to the east and west (meeting minutes attached).

The project plans and building elevations are attached to this report for the Planning Commissions review.

**Table 2 (Section 36-186)**

	<b>Required</b>	<b>Proposed</b>	<b>Status</b>
<b>Front</b>	No more than 20 feet from front lot line. PC may permit front yard setback greater than 20 feet but not to exceed average front yard setbacks for the adjacent buildings (181 feet)	18 feet	Conforms
<b>Rear</b>	15 feet		Conforms
<b>West Side</b>	Minimum 10 feet*	22.1 feet	Conforms
<b>East Side</b>	Minimum 10 feet*	52 feet	Conforms
<b>Height</b>	2.5 stories/35 feet maximum	1 story/27.6 feet	Conforms
<b>Lot size</b>	10,600 square feet with sanitary sewer		Conforms
<b>Lot coverage</b>			
<b>Buildings</b>	50 percent	32%	Conforms
<b>Impermeable</b>	80 percent	76%	Conforms
<b>Bikepath (Section 36-187)</b>	Required in locations designated in the Hamburg Village Master Plan	8-foot along south property boundary	Conforms

**Table 3**

	<b>Required</b>	<b>Proposed</b>	<b>Status</b>
<b>Section: 36-187(i): South M-ROW</b>	One canopy street tree shall be planted within five feet of the front lot line for each 40 linear feet of frontage.	5 trees	Deficient one tree
<b>North (237 linear feet)</b>	10-foot buffer zone: 1 canopy or evergreen tree or 4 shrubs for every 20 linear feet along property line rounded upward = 12 trees or 48 shrubs	12 trees, no shrubs	Conforms
<b>East (368)</b>	10-foot buffer zone: 1 canopy or evergreen tree or 4 shrubs for every 20 linear feet along property line rounded upward = 19 trees or 74 shrubs	19 trees (preserving one), no shrubs	Conforms
<b>West (368)</b>	10-foot buffer zone: 1 canopy or evergreen tree or 4 shrubs for every 20 linear feet along property line rounded upward = 19 trees or 74 shrubs	30 (preserving nine)	Conforms
<b>Section 36-283: Parking lot landscaping (26,100 square feet)</b>	One canopy tree required for each 2,000 square feet of paved driveway and parking lot surface; two tree minimum = 13 trees required within parking lot envelope, with 4 trees in landscaped islands	13 trees; no landscaped islands	No landscaped islands; waiver requested



**Section 36-187(i) Parking lot screening**

All off street parking spaces or loading areas must be screened from view of any public road or pedestrian path right-of-way, or private road or pedestrian path easement by an evergreen hedge row or masonry wall, which is consistent with building architecture and site design, at least three feet in height.

32 two-foot tall shrubs along south; none proposed along east parking area

Shrubs must be maintained at 3 feet tall; additional screening required along easter property boundary

**Sec. 36-280. Existing plant material.**

- (a) *Consideration of existing elements in the landscape design.* In instances where healthy plant material exists on a site prior to its development, the planning commission may permit substitution of such plant material in place of the requirements set forth in this section.
- (b) *Preservation of existing plant material.* Site plans shall show all existing trees which are located in the portions of the site that will be built upon or otherwise altered, and are six inches or greater in caliper, measured 12 inches above grade.
- (1) Trees shall be labeled "To Be Removed" or "To Be Saved" on the site plan. If existing plant material is labeled "To Be Saved" on the site plan, protective measures should be implemented, such as the placement of a tree guard at the dripline around each tree. No vehicle or other construction equipment shall be parked or stored within the dripline of any tree or other plant material intended to be saved.
- (2) In the event that healthy plant materials which are intended to meet the requirements of this article are cut down, damaged or destroyed during construction, said plant material shall be replaced with the same species as the damaged or removed tree or approved substitute, in accordance with the following schedule, unless otherwise approved by the zoning administrator based on consideration of the site and building configuration, available planting space, and similar considerations:

<i>Damaged Tree*</i>	<i>Replacement Tree</i>	<i>Replacement Ratio</i>
Less than 6 inches	2½ to 3 inches	1 for 1
More than 6 inches	2½ to 3 inches	1 replacement tree for each 6 inches in caliper or fraction thereof of damaged tree

**Staff analysis:** Existing plant material to be saved is not noted on the site plan; tree protection details are included in the site plan.

**Staff suggested condition:** Tree preservation details shall be delineated on the final site plan.

**Section 36-283:**

**Waivers and Modifications.** The Planning Commission may waive or modify the fencing or landscape buffering requirements upon a determination that a solid fence or landscaping buffer will not be necessary or effective for screening. In making such a determination, the following shall be considered.

1. Need for security;
2. Abutting district or existing use;
3. Extent that existing natural vegetation provides the desired screening;
4. Topography which would eliminate the benefits of required landscaping;
5. Building heights and views in relation to existing topography and vegetation as well as views from adjacent uses;

6. Similar conditions existing such that no good purpose would be served by providing the required landscaping plan.

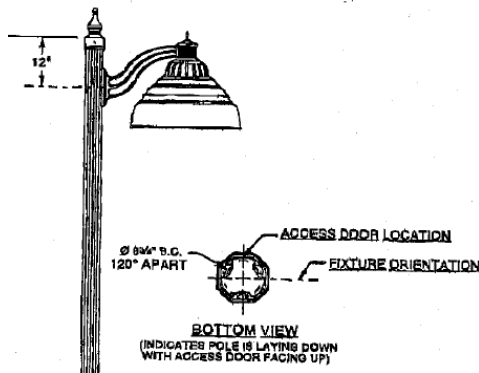
**Staff analysis:** The request for no landscaped parking islands appears to be reasonable, given that the site’s parking lot is designed to accommodate required parking, on-site stormwater management, and emergency vehicle access.

**LIGHTING:**

**Section 36-295:**

- 1. Exterior lighting shall be fully shielded and directed downward toward the Earths surface, away from residential uses, roads, glass, water or other reflective materials which would create excessive off-site glare or incident rays.**

The lighting plan provided is adequate to determine the conformance to the zoning ordinance requirements. However, staff would suggest that the exterior light style does not match the Village Center lighting style that has been installed in various locations throughout the Village Center, most recently at the senior living facility on the south side of M-36 (below).



**Staff Suggestion Condition:** Applicant shall propose an exterior light that is similar to the suggested Village Center lighting and shall re-submit a photometric plan prior to issuance of a land use permit that is specific to the approved lighting style.

- 2. The Zoning Administrator and/or Planning Commission may approve decorative light fixtures as an alternative to shielded fixtures when it can be proven that there will be no off-site glare and the proposed fixtures will improve the appearance of the site.**

See discussion above.

- 3. Lights on poles shall not be taller than the building whose area they illuminate nor taller than fifteen (15) feet whichever is shorter. Lights on poles may exceed fifteen (15) feet up to twenty (20) feet if the fixtures are located a minimum of seventy-five (75) feet from any planned, zoned or used residential areas.**

No light poles are proposed.

- 4. Lighting shall not be of a flashing, moving or intermittent type.**

No flashing lighting is proposed.

5. **Except where used for security purposes, all outdoor lighting fixtures, existing or hereafter installed and maintained shall be turned off between 11:00 p.m. and sunrise, except when used for commercial and industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business. Businesses with light fixtures used for security purposes are encouraged to use a motion detection device which is directed to detect motion within the property.**

**Staff Suggested Condition:** Final site plan shall note that “all outdoor lighting fixtures, existing or hereafter installed and maintained shall be turned off between 11:00 p.m. and sunrise, except when used for commercial and industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business.”

6. **Any light fixture must be placed in such a manner that no light emitting surface is visible from any residential area or public/private roadway, walkway, trail or other public way when viewed at ground level.**
7. **The intensity of light within a site shall not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted. The only exception is with gas station canopy and automobile dealership lighting, where a maximum of twenty (20) footcandles is permitted within the site but the above standards shall apply to intensity at the property line.**

See discussion above under standard one.

#### **Section 36-187(i):**

##### *Lighting.*

1. A consistent type of pedestrian scale ornamental lighting shall be provided along all sidewalks, within any off-street parking lots and along road frontages.

**Staff analysis:** The site plan does not include lighting along the pedestrian path on M-36 or within the parking lot.

**Staff suggested condition:** Final site plan shall indicate required lighting along M-36 pathway and parking area. Light fixtures to match approved Village Center fixtures and shall comply with light intensity requirements.

#### **Sec. 36-295(e). Sign Lighting Standards.**

1. **Indirect illumination of signs, canopies and buildings is permitted provided a maximum 125 watt bulb is utilized and there is no glare.**
2. **The use of laser light source, searchlights or any similar high intensity light for outdoor advertisement or entertainment is prohibited.**
3. **Luminous tube and exposed bulb fluorescent lighting is prohibited as part of a sign provided the proposed luminous tube or exposed bulb fluorescent lighting is determined to be consistent with the architectural character of the building.**
4. **Internally illuminated signs shall have a minimum of 60% of the sign face composed of an opaque surface which allows no light to transmit through.**

**Staff analysis:** No signs have been submitted for review. Any future signage shall comply with the above lighting standards.

**Section 36-334 Parking space requirements**

The applicant proposes one parking space for every 400 square feet of floor area, which is the standard for both “Furniture and appliance stores, personal services (except beauty parlors and barbershops), household equipment or furniture repair shops, clothing or shoe repair or service shops, hardware stores” and for “general office building.” Without knowing the individual tenants, it is difficult for staff to determine if the provided parking is adequate. The applicant should be aware that for each change of use application submitted for each tenant, the parking for that user will be calculated using the standards set forth in 36-334. For example, if a restaurant use applied for a change of use, the restaurant parking requirements would be calculated at one parking space for each four-patron seats, plus one parking space for each two employees. If the sum total of every user in the commercial building exceeds the provided parking, the change of use permit application would not be approvable based on parking requirements.

**Staff suggested condition:** A change of use permit shall be required for every tenant. At the time of permit application a parking count shall be provided by the property owner indicating the available parking for each use.

**General Parking Requirements:**

- |   |  |
|---|--|
| <p>1. Off-street parking for non-residential uses shall be located on the same lot or parcel or within three hundred (300) feet of the building it is intended to serve provided the provisions of Section 10.2.2., Collective Parking, are met.</p>  | <p>Conforms</p>  |
| <p>2. A minimum area of 200 square feet shall be provided for each vehicle parking space and each space shall be designated and reserved for parking.</p>   | <p>Proposed parking space size 185 square feet; waiver requested</p> |
| <p>3. A suitable means of ingress and egress shall be provided and located to minimize traffic congestion and interference with pedestrian movement. The location of all entrances and exits and directional signs, shall be approved by the Planning Commission, and where required by the Livingston County Road Commission and the Michigan Department of Transportation.</p>  | <p>Conforms</p>  |
| <p>4. Parking areas with a capacity of four or more vehicles shall be hard surfaced (either concrete, bituminous asphalt or other stabilized engineered surface) prior to occupancy and shall provide adequate drainage facilities to dispose of all collected surface water. The requirement for paving may be waived by the Planning Commission through paragraph 10.2.1.I.</p> | <p>Conforms</p>  |
| <p>5. Except for single-family residential lots, lighting shall be provided for use when a parking area is in operation. The installation of such lighting shall be so hooded or shielded as to reflect the light away from abutting or neighboring property.</p>   | <p>See photometric plan</p>  |
| <p>6. When required off-street parking in a non-residential district abuts a residential district, there shall be located a landscaped buffer strip fifteen (15) feet wide and parallel to the mutual boundary. The buffer strip shall be composed of trees and/or foliage. In lieu of a buffer strip, the Planning Commission may permit or require</p>                          | <p>Conforms</p>  |

<p>a solid fence or wall between six (6) and eight (8) feet in height shall be located along the mutual boundary.</p> <p>7. Federal and State requirements regarding handicapped parking and access shall apply.</p> <p><b>Staff analysis:</b> A 185-square foot parking stall is not inappropriately sized and would be an acceptable deviation from the ordinance requirement.</p> <p><b>DRIVEWAYS: COMMERCIAL Section 36-335</b></p>	<p>Conforms; will be reviewed by LCBD</p>
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<p><b>General Standards</b></p> <p>A. Driveways shall be located so as to minimize interference with the free movement of traffic, to provide adequate sight distance, and to provide the most favorable driveway grade.</p> <p>B. Driveways, including the radii but not including right turn lanes, passing lanes and tapers, shall be located entirely within the right-of-way frontage, unless otherwise approved by Livingston County or the Michigan Department of Transportation and upon written certification from the adjacent property owner agreeing to such encroachment.</p>	<p><b>MDOT permit issued</b></p>
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**SIGNS**  
**Section 36-478:**

The following signs are permitted in the Village Center district. However, nonresidential multi-tenant developments must create a sign program. No signage or sign program has been submitted by the applicant.

*Wall signs.* Wall signs shall be placed generally **within a sign band located above the store front** and not to exceed 80 percent of the linear frontage. Maximum size per facade is 0.75 square feet per linear foot up to 24 square feet. Letters shall not exceed 18 inches and shall be mounted flush against the wall.

*Awning sign.* Sign lettering and/or logo shall not comprise more than 20 percent or ten square feet of the exterior surface of the canopy.

*Projecting signs.* signs shall not project more than 48 inches from the building face and shall have a maximum size of five square feet per side. These signs shall have wrought iron mounting hardware.

*Window signs.* Window signs shall not exceed ten percent of the window so that visibility into and out of the window is not obscured. Window signs shall be directly applied to the window or hung inside the window, concealing all mounting hardware and equipment.

*Freestanding signs.* Freestanding signs must be ground mounted and architecturally harmonious with the character of the building. They must meet the size requirements of this chapter and be located in a landscaped area.

*One-day portable signs.* must be made of wood or decorative metal with cast iron brackets and shall be architecturally compatible with the style, composition, materials, colors, and details of the building.

**Staff analysis:** A sign program must be submitted and approved by the Commission prior to issuance of a land use permit for signage.

**Section 36-187(i) VC and VR Village Center and Village Residential Districts:** the Zoning Ordinance specifies additional Village Center district standards, below, with staff analysis for each applicable standard.

(1) Design standards. The following design standards shall apply to all site plans reviewed under article III of this chapter special uses reviewed under section 36-36 subdivision plats reviewed under the subdivision control ordinance, and condominium projects reviewed under the condominium ordinance.

a. General. The overall design and mixture of uses shall be consistent with the intent of this district. Compatibility of uses shall be determined by the following:

1. The uses shall not create noise, dust, odors, fumes or other nuisances that will have an obnoxious effect on surrounding residences.

**Staff analysis:** There is no existing adjacent residential use that would be impacted by the proposed commercial project. If adjacent lots were to be developed with residential uses in the future, staff does not find that the commercial structure would have a negative impact in terms of noise, dust, odors, fumes, or other similar nuisances.

2. Traffic volumes generated by the use shall not have a negative impact on surrounding residential character.

**Staff analysis:** The expected traffic for a commercial use is not likely to have a negative impact on surrounding residential character. The Commission could request a traffic impact analysis be submitted for final site plan review.

3. Architecture shall meet the requirements of section 36-73(7).

**Staff analysis:** see below

4. Location and use of yards shall contribute to the continuation of open space areas within the immediate vicinity.

**Staff analysis:** There is no open space in the vicinity other than the required yards on adjacent parcels.

5. Location and design of landscaping and pedestrian areas shall be compatible with and enhance the area pedestrian and open space network.

**Staff analysis:** The sidewalk and streetscape landscaping will be pedestrian in scale.

6. Location, size and types of architectural projections such as porches or awnings shall be compatible with other structures along the same block.

**Staff analysis:** See architecture discussion below.

7. Location, scale and design of signs shall be consistent with the character of other signs, street elements structures and uses located along the same street.

**Staff analysis:** No signage is proposed but a sign program will be required for Planning Commission approval.

8. Residential development shall be designed to be compatible with surrounding land uses, while providing a mixture of housing types to meet the varied needs of Township residents.

**Staff analysis:** No residential development proposed.

b. Sidewalks/pedestrian circulation.

1. Site design shall demonstrate a special sensitivity to pedestrian circulation and safety.

2. Sidewalks at least five feet wide and at least seven feet wide where abutting parking shall be provided along public streets and private roads; bike paths shall be required in locations designated in the Hamburg Village master plan or to provide linkages with existing or planned bike paths.

3. All developments shall provide pedestrian linkages between public sidewalks and the building entrances.

**Staff analysis:** An eight-foot wide paved path along M-36 will be installed.

**Staff suggested condition:** Cross access easement agreement shall be approved by the township attorney

c. Common open space. For any development which includes ten or more dwelling units, 1,500 square feet of common open space shall be provided per dwelling unit. Such open space may be counted towards meeting open space requirements for minimum lot size reductions, provided that it meets all of the following requirements:

1. Open space shall be set aside by the developer through an irrevocable conveyance that is found acceptable to the planning commission, such as:

- (i) Recorded deed restrictions;
- (ii) Covenants that run perpetually with the land; or
- (iii) A conservation easement established per section 8204 of Public Act No. 451 of 1994 (MCL 324.8204).

2. The common open space shall be used for social, recreational and/or natural preservation. Common open space within the village shall be of a distinct geometric shape, generally rectilinear or square. The common open space shall include landscaping, sidewalks, pedestrian benches and pedestrian scale lamp posts. Open space at the edges of the village, as shown on the Hamburg Village master plan shall be left in a natural state, with the exception of trails or boardwalks.

**Staff analysis:** No residential uses proposed.

d. Parking/loading areas.



1. The amount of parking for nonresidential uses required under article IX of this chapter may be reduced by the planning commission by up to 50 percent upon a finding that patrons will be able to walk to the use from nearby residential areas, patrons are parked at other uses and visiting several uses, and/or on-street parking is available.

2. Off street parking lots shall be located behind the front line of the principal building. Where this is not feasible or practical, the planning commission may permit off street parking within the front yard. Parking lots must be setback from any front lot line a minimum of 20 feet.

**Staff analysis:** Proposed parking conforms to this standard.

3. All off street parking spaces or loading areas must be screened from view of any public road or pedestrian path right-of-way, or private road or pedestrian path easement by an evergreen hedge row or masonry wall, which is consistent with building architecture and site design, at least three feet in height.

**Staff analysis:** The proposed row of boxwoods would screen the parking lot from M-36, so long as the height is maintained at three feet, but additional boxwoods should be planted within the east setback to further screen parking from M-36.

4. Where parking or loading areas abut a residential use, a six-foot-tall masonry wall, which is consistent with building architecture and site design, shall be constructed between the parking lot or loading area and the adjacent residential use. The planning commission may substitute the masonry wall with one or more rows of six-foot-tall evergreens.

5. Loading/unloading from secondary streets may be permitted by the planning commission rather than the required on-site loading, upon demonstration by the applicant that through traffic flow and access to neighboring uses will not be disrupted.

**Staff analysis:** Not proposed

e. Architecture: See staff discussion of architecture under Site Plan Review Standards, below

1. Buildings shall possess architectural variety but enhance the overall cohesive and historic village character.

2. Building architecture shall meet the standards of section 36-73(7).

3. The first floor of front facades shall include at least 30 percent windows. The approximate size, shape, orientation and spacing shall match that of buildings on adjacent lots.

4. The mass and proportion of structures shall be similar to structures on adjacent lots and on the opposite side of the street. Larger buildings may be broken-up with varying building lines and rooflines to provide a series of smaller scale sections which are individually similar in mass and proportion to surrounding structures.

5. Buildings located on corner lots shall provide distinct and prominent architectural features or site elements which reflect the importance of the building's corner location and creates a positive visual landmark. An entry feature or site landmark shall be required at corners designated for such a feature in the Hamburg Village master plan. The architectural feature or site element shall be subject to planning commission approval.

On sites which contain commercial structures over 50 years old, no exterior portion of any commercial building or structure (including walls, fences, light fixtures, steps, pavement, or other appurtenant features), or aboveground utility structures shall be erected, altered, restored, moved or demolished without the review of the planning commission prior to the issuance of a land use permit. The purpose of the planning commission review is to advise on actions which may or may not be compatible with the desirable historic, architectural or cultural aspects of the district. The planning commission may consider Standards for Rehabilitation and Guidelines for Rehabilitation of Historic Buildings prepared by the U.S. Department of Interior for reviewing actions within the Old Hamburg Village. Such standards are made part of this chapter.

**Staff analysis:** Not applicable.

6. For proposed alterations to commercial structures for which site plan review is not required under article III of this chapter, the review of the planning commission shall be advisory to the zoning administrator in the issuance of a land use permit. The provisions of this section shall not be construed to prevent the ordinary maintenance or repair of any exterior feature. Further, the provisions of this section shall not prevent the construction, alteration, restoration or demolition of any feature which the building inspector certifies is required because of a threat to public safety.

f. Signs. Signs shall be designed to be compatible with the principal building's architecture and materials.

**Staff analysis:** Sign program will be required for Planning Commission approval.

g. Street and access design. Streets shall meet the following, with the acknowledgment that for any public streets, any more stringent standards of the county road commission or the Michigan Department of Transportation shall apply.

1. Access points to M-36 shall be spaced at least 500 feet apart.
2. Access points along streets or driveways intersecting with M-36 shall be setback at least 60 feet from the M-36 right-of-way line.
3. The Township may require shared access or connections between adjacent uses as a means to limit conflict points and preserve capacity along M-36.
4. The maximum length of blocks shall be 700 feet.

5. Street connections to adjacent parcels shall be provided where the master plan identifies a future street connection or there is the possibility to create future street connections. Road stubs for future connections shall be improved to the parcel line.

**Staff analysis:** No new street installation is proposed. Access will be from M-36 only.

h. Landscaping. All landscaping shall meet the minimum requirements of article VIII of this chapter. Because of the higher density of development permitted in the VC and VR districts, the following standards shall apply to frontage landscaping in place of the standards contained in article VIII of this chapter:

1. At least an 80-foot-wide landscaped greenbelt shall be provided along undeveloped areas of M-36, as designated on the Hamburg Village master plan, with at least two rows of trees spaced no greater than 25 feet on center. Trees shall be a mixture of evergreen and canopy trees meeting the minimum plant size requirements of article VIII of this chapter. Provision of this landscaped greenbelt may be counted towards the common open space requirements of subsection (c) of this section.

2. Along all road frontages, other than M-36 section identified in subsection (i)(1)h.1 of this section, one canopy street tree shall be planted within five feet of the front lot line for each 40 linear feet of frontage.

**Staff analysis:** One additional tree should be planted along the M-36 frontage in order to comply with this requirement.

i. Lighting.

1. A consistent type of pedestrian scale ornamental lighting shall be provided along all sidewalks, within any off-street parking lots and along road frontages.

**Staff analysis:** No lighting is proposed. Final site plan should indicate location and light fixture details for Commission approval.

2. Parking lot lighting shall not be greater than 20 feet in height.

(2) Approval standards. The following criteria shall be used, in addition to the standards contained in article III of this chapter or the subdivision control ordinance, as a basis upon which site plans or subdivision plats shall be reviewed and approved by the Township:

a. Compatibility with adjacent uses. The proposal shall be designed, constructed, and maintained to be compatible with permitted uses on surrounding land to the extent that is reasonably feasible, giving consideration to economic and site conditions. Consideration may be given to:

1. The location and screening of vehicular circulation and parking areas in relation to surrounding development, to the maximum extent feasible.

2. The location and screening of outdoor storage, outdoor activity and work areas, and mechanical equipment in relation to surrounding development.

3. The bulk, placement, and materials of construction of the proposed use in relation to surrounding development shall be compatible as determined by the general requirements listed in section 36-187(i)(1)a.

**Staff analysis:** With the additional screening along M-36 and the east property boundary of the parking lot, this requirement will be met, although mechanical equipment is not indicated on the site plan.

**Staff suggested condition:** Final site plan shall show location and screening of mechanical equipment.

4. Proposed site amenities.

5. The site grading and stormwater drainage plan.

b. Transportation and access. The proposed use shall be designed to minimize the impact of traffic generated by the use to the extent that is reasonably feasible, giving consideration to economic and site conditions. Consideration may be given to the following:

1. Relationship between the proposed development and existing and proposed streets.
2. Estimated traffic generated by the proposed use.
3. Location and access to on-street parking.
4. Location and access to off-street parking.
5. Provisions for vehicular traffic.
6. Continuation of the planned street network for the village.

The planning commission may require a traffic impact study for special uses.

**Staff analysis:** A roadway to the north of this site, connecting M-36 and Industrial Drive, is proposed in the Village Future Land Use plan. Staff's suggested condition of a floating easement for cross access could be used for this future connection between the two existing roadways.

c. Building architecture. In determining the appropriateness of buildings, design elements shall be evaluated in relation to existing and proposed surrounding buildings and uses. The design shall meet the standards of subsection (i)(1)g of this section

d. Emergency access. All buildings or groups of buildings shall be so arranged as to permit convenient and direct emergency vehicle access.

**Staff analysis:** Public Safety approval will be required prior to final site plan approval.

e. Health and safety concerns. Any use shall comply with applicable federal, state, county, and local health and pollution laws and regulations related to noise; dust, smoke and other air pollutants; vibration; glare and heat; fire and explosive hazards; gases; electromagnetic; radioactive materials; and toxic and hazardous materials. The planning commission may require an environmental impact study for special uses.

**Staff analysis:** No negative health or safety concerns are expected from proposed commercial development. Each tenant will require a change of use review by the township zoning administrator and fire marshal and will be reviewed in light of zoning requirements.

f. Screening. Off-street parking, outside refuse, storage areas, and mechanical and electrical equipment which are within sight of adjacent residential districts or public roads shall be adequately screened.

**Staff suggested condition:** Final site plan shall show required screening of parking area and mechanical and electrical equipment. No outside storage areas are proposed.

g. Appearance. Signs and other site features shall be designed and located on the site so that the proposed development is aesthetically pleasing and harmonious with nearby developments.

**Staff analysis:** A sign program will be required to be approved by the Commission prior to issuance of land use permits.

## **SITE PLAN REVIEW STANDARDS**

**In the review of all site plans, the Zoning Administrator and the Planning Commission shall endeavor to assure the following:**

**A. The proposed development conforms to all provisions of the Zoning Ordinances.**  
Please see the discussion of ordinance compliance for analysis on the project compliance and consistency with the intent and purpose of the Township's Zoning Ordinance.

Variances have been granted for the relocated driveway along M-36.

**B. All required information has been provided.**

The information submitted appears to be adequate to allow the Planning Commission to review and make comment on the preliminary site plan for the subject site.

**C. The movement of vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.**

Michigan Department of Transportation has approved the relocated driveway. Additionally, the proposed sidewalk along M-36 will connect with the walkway immediately in front of the commercial building.

**D. The proposed development will be harmonious with existing and future uses in the immediate area and the community.**

The proposed development will provide for a general use commercial structure, which is compatible with the zoning and the future uses of the Master Plan. However, staff has serious reservations about the architecture of the proposed building, as discussed

below, as well as providing future connectivity through this site to accommodate future redevelopment of this site.

- E. The proposed development provides the necessary infrastructure improvements, such as roads, drainage, pedestrian facilities and utilities, to serve the site, and be adequately coordinated with the current and future use of adjacent properties.**

The site is proposing on-site stormwater management, a pedestrian path, and one right-in only access point from a relocated driveway. However, a cross-access easement for the path and a floating easement for future connectivity to adjacent parcels would facilitate future connectivity and ensure that the pedestrian path remains accessible to the public.

**Staff suggested conditions:** Cross access easement for the pedestrian pathway shall be submitted for township attorney approval and recorded prior to issuance of a land use permit for any site improvements.

A floating easement to allow cross-access across subject site from adjacent properties should the subject site be redeveloped shall be submitted for township attorney approval and recorded prior to issuance of a land use permit for any site improvements.

- F. The applicable requirements of Township, County and State agencies are met regarding grading and surface drainage and for the design and construction of storm sewers, storm water holding facilities, water mains, and sanitary sewers.**

The site plan has been forwarded to the Township Engineer, Utilities Department and the Livingston County Water Authority. Prior to issuance of a building permit the applicant will need approvals from all the required local, state, and federal agencies. The Utilities Department has provided a preliminary opinion of probable cost for sewer REUs and has requested that a condition of site plan approval be as follows: *All sewer fees shall be paid in full prior to issuance of a land use permit for any site improvements.*

- G. Natural resources will be preserved to the maximum extent possible in the site design by developing in a manner which will not detrimentally affect or destroy natural features such as lakes, ponds, streams, wetlands, steep slopes, and woodlands.**

There are no natural features present on the site.

- H. The proposed development shall respect the natural topography to the maximum extent possible by minimizing the amount of cutting, filling, and grading required.**

The subject property is relatively flat and minimal grading will be required as a part of this project.

- I. The proposed development will not cause soil erosion or sedimentation.**

The LCDC will review the plans and issue a soil erosion and sedimentation control permit prior to issuance of a building permit.

- J. Landscaping, including trees, shrubs and other vegetative material is provided to maintain, improve and/or restore the aesthetic quality of the site.**  
Staff finds that the provided landscaping would improve the aesthetic quality of the site.
- K. Conformance to the adopted Hamburg Township Engineering and Design Standards.**  
The engineer has reviewed the plans for compliance with the Engineering and Design Standard and provided comments.
- L. All proposed commercial, office, industrial, institutional and multiple family development shall utilize quality architecture to ensure that buildings are compatible with surrounding uses, protect the investment of adjacent landowners, blend harmoniously into the streetscape and meet the objectives the Township Master Plan. New buildings, additions and renovations shall be designed to preserve or complement the design character of existing development provide visual harmony between old and new buildings, and create a positive image for the Township's various commercial shopping nodes. Commercial, office, industrial, institutional and multiple family architecture shall be reviewed by the Planning Commission under the following criteria:**
- 1. Buildings shall front towards and relate to the public street. Buildings shall be located to create a define streetscape through uniform setbacks and proper relationship to adjacent structures. Proper relationship to existing structures in the area shall be maintained through building mass, proportion, scale, roof line shapes and rhythm. Buildings within the area designated on the M-36 Corridor Plan/Master Plan as the "Hamburg Village" shall be compatible with the historic character of the unincorporated place commonly referred to as the "Old Hamburg Village."**
  - 2. Building materials and colors shall relate well and be harmonious with the surrounding area. Roof shape and materials shall be architecturally compatible with adjacent buildings and enhance the predominant streetscape. For any side of a principal building facing a public or private street, at least fifty percent (50%) of the facade shall be constructed of, or covered with, the following materials:**
    - a. Brick;**
    - b. Fluted or scored concrete block;**
    - c. Cut stone;**
    - d. Vinyl siding;**
    - e. Wood siding;**
    - f. Glass; or,**
    - g. Other materials similar to the above as determined by the Planning Commission.**
  - 3. Buildings shall possess architectural variety, but enhance the overall cohesive community character. Buildings shall provide architectural features, details and ornaments such as archways, colonnades, towers, cornices or peaked roof lines.**

4. **Building walls over 100 feet in length shall be broken up with a combination of the following: varying building lines, windows, architectural accents and trees.**
5. **Building entrances shall utilize windows, canopies and awnings; provide unity of scale, texture, and color; and provide a sense of place.**
6. **Where the rear facade of a building will be visible from a residential zoning district, or the rear of the site will be used for public access or parking, such rear facade shall be constructed to a finished quality comparable to the front facade.**
7. **Signs, landscaping, lighting and other site elements shall be coordinated and compatible with the building design, as well as harmonious with other nearby developments. Developments shall provide site features such as decorative entry signs, ornamental lighting, pedestrian plazas and/or pedestrian furniture.**

**Staff Analysis:** The proposed multi-tenant commercial building is a 77-foot by 292-foot metal clad structure, with a 18.25-foot wall plate and a metal roof with a 2/12 pitch. Five solid overhead doors are on the east elevation and three glazed overhead doors on the south elevation along M-36. Metal canopies are located over the three overhead doors on the south elevation and over each entry door on the east elevation. A masonry facade is proposed, three feet from grade, along the south and east elevations; no finishes are proposed along the west or north elevations.

Section 36-73(7) specifies that “For any side of a principal building facing a public or private street, at least 50 percent of the facade shall be constructed of, or covered with, the following materials: brick; fluted or scored concrete block; cut stone, vinyl siding; vinyl siding; glass; or other materials similar to the above as determined by the Planning Commission.” The metal siding would need to be approved by the Commission as an acceptable substitute to the noted materials.

Additionally, building walls over 100 feet in length shall be broken up with a combination of the following: varying building lines, windows, architectural accents, and trees. The only windows on the 292-foot long east elevation are the windows on the tenant space entry doors.

The proposed elevations are uninspired and wholly inappropriate for a commercial structure along a gateway into Hamburg Township that is zoned Village Center. There are multiple ways to add interest to a metal-sided rectangular building. Height and depth articulations, additional windows, and a mix of exterior finishes would break up the expansive east elevation and add aesthetic interest to the south elevation. Staff offers the images below as examples of architectural details that could be used on the proposed building. The Commission should also consider requiring additional finishes on the south and north elevations.





### **RECOMMENDATIONS:**

Staff recommend the Planning Commission review, discuss and make a recommendation to the Township Board to either approval or denial of the Preliminary Site Plan Application (PSPA23-0001) or table the application and request any additional information deemed necessary for review.

#### Site Plan Review 23-0001 Draft Approval Motion:

The Planning Commission recommends approval of the preliminary site plan (SPA23-0001) to the Township Board with the following conditions; because as conditioned the project meets the site plan review standards A-L in section 36-73 (7) and the additional approval standards of the Village Center district under section 36-187 as discussed at tonight's meeting and as presented in the Staff Report.

The Planning Commission approves the landscaping waiver for the parking lot islands (please state the specific landscaping requirements for which a waiver is granted) because it meets the standards set forth in Section 36-283.

1. Cross access easement for the pedestrian pathway shall be submitted for township attorney approval and recorded prior to issuance of a land use permit for any site improvements.
2. A floating easement to allow cross-access across subject site from adjacent properties should the subject site be redeveloped shall be submitted for township attorney approval and recorded prior to issuance of a land use permit for any site improvements.
3. All sewer fees shall be paid in full prior to issuance of a land use permit for any site improvements.
4. Prior to issuance of a land use permit the applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted. Applicant shall propose an exterior light that is similar to the suggested Village Center lighting.

5. Final site plan shall indicate required lighting along M-36 pathway and parking area. Light fixtures to match approved Village Center fixtures and shall comply with light intensity requirements.
6. The final site plan shall note that “All lighting shall be turned off between 11:00 PM and Sunrise except when used for commercial and industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business. Lighting used for security between 11:00 pm and sunrise shall be controlled by a motion sensor.”
7. Prior to issuance of a land use permit the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Utilities Department, Livingston County Drain Commissioner, MDOT, and Livingston County Water Authority.
8. A sign program meeting the standards of Section 36-479 shall be submitted for approval by the Planning Commission prior to issuance of a land use permits for signage.
9. Tree preservation location and details shall be delineated on the final site plan.
10. A change of use permit shall be issued for every occupant of the structure. At the time of permit application, a parking count shall be provided by the property owner indicating the available parking for each use.
11. All sewer fees shall be paid in full prior to issuance of a land use permit for any site improvements.
12. Final site plan shall show required screening of parking area and mechanical and electrical equipment.
13. No outside storage areas are permitted.

**EXHIBITS:**

April 2023 Zoning Board of Appeals meeting minutes  
 Project plans  
 Site plan application  
 Township engineer review letter  
 Fire marshal review letter  
 MDOT permit  
 Utilities letter  
 LCWA

June 6, 2023

Hamburg Township Board  
Hamburg Charter Township  
10405 Merrill Road  
P.O. Box 157  
Hamburg, Michigan 48189

**Re: Zander Flex Space, Responses to Conditions from**

Dear Board,

Below are the responses to the conditions as set forth by the Hamburg Township Board of Trustees meeting which occurred on June 06, 2023 at 2:30 pm and in which the owner complies.

1. Cross access easement for the pedestrian pathway shall be submitted for township attorney approval and recorded prior to issuance of a land use permit for any site improvements.

**Concur. Please see updated plans and legal description for review and record.**

2. A floating easement to allow cross-access across subject site from adjacent properties should the subject site be redeveloped shall be submitted for township attorney approval and recorded prior to issuance of a land use permit for any site improvements.

**Concur. Please see legal description for review and record.**

3. All sewer fees shall be paid in full prior to issuance of a land use permit for any site improvements.

**Concur. Fees are being accessed by Hamburg Utilities.**

4. Prior to issuance of a land use permit the applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted. Applicant shall propose an exterior light that is similar to the suggested Village Center lighting.

**Concur. Please see updated plans and details.**

5. Final site plan shall indicate required lighting along M-36 pathway and parking area. Light fixtures to match approved Village Center fixtures and shall comply with light intensity requirements.

**Concur. Please see updated plans and details.**

6. The final site plan shall note that “All lighting shall be turned off between 11:00 PM and Sunrise except when used for commercial and industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business. Lighting used for security between 11:00 pm and sunrise shall be controlled by a motion sensor.”

**Concur. Please see updated plans.**

7. Prior to issuance of a land use permit the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Utilities Department, Livingston County Drain Commissioner, MDOT, and Livingston County Water Authority.

**Concur. All agencies have reviewed the plans and made necessary comments other than the Livingston County Drain Commissioner who deferred to the review engineer IMEG and the Utilities Department. All comments have been fully addressed. Awaiting approval from the Utilities Department. Letters of approval are attached.**

8. A sign program meeting the standards of Section 36-479 shall be submitted for approval by the Planning Commission prior to issuance of a land use permits for signage.

**Concur.**

9. Tree preservation location and details shall be delineated on the final site plan.

**Concur. Please see updated plans.**

10. A change of use permit shall be issued for every occupant of the structure. At the time of permit application, a parking count shall be provided by the property owner indicating the available parking for each use.

**Concur.**

11. Parking space size may be reduced as indicated on the site plan.

**Concur. Plans reflect this size.**

12. Final site plan shall show required screening of parking area and mechanical and electrical equipment.

**Concur. Please see updated plans.**

13. No outside storage areas are permitted.

**Concur.**

14. Prior to final site plan approval architecture shall be approved by the Planning Commission.

**Concur. Please see updated attachments.**

15. Shrubs shall be maintained at three feet tall and additional screening shall be provided along the east property.

**Concur. Please see updated plans.**

We respectfully request that Hamburg approves the subject site plans for Final Approval. If any additional information is required, please contact us for further assistance.

Sincerely,



Marc McIntire, PE  
Open Door Consultants, LLC  
Engineering & Design  
PO Box 532  
Madison, MS 39130

# SITE PLANS FOR ZANDER FLEX SPACE WHITMORE LAKE, MICHIGAN 48189 JUNE 2023



**LOCATION MAP**  
N.T.S.



**VICINITY MAP**  
N.T.S.

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NO.	DATE	REVISION RECORD DESCRIPTION

**ZANDER COMPANIES**  
7879 WINANS LAKE RD  
BRIGHTON, MI 48116

**ZANDER FLEX SPACE**  
7749 E. M-36  
WHITMORE LAKE, MICHIGAN 48189

SUBMITTALS			
NO.	DATE	DESCRIPTION	BY
1	02/27/23	ISSUED FOR TOWNSHIP REVIEW	MM
2	05/01/23	ISSUED FOR TOWNSHIP REVIEW AND APPROVAL	MM
3	05/05/23	ISSUED FOR TOWNSHIP REVIEW AND APPROVAL	MM

COVER AND INDEX	
DATE: JUN 15, 2023	DRAWN BY: MM
DRAWN BY: MM	CHECKED BY: MM
PROJECT NO:	PROPOSED BY: MM

**G1.1**  
SHEET 1 OF 1

**LEGEND**

PROPERTY LINE	---
EX. CLIP	---
CLASS	---
GROUP	---
CONTINUOUS	---
CONCRETE	---
SETBACK LINE	---
EMBANKMENT LINE	---
SILT FENCE	---
PROP. SEWER MAIN (WITH SIZE)	---
PROP. WATER MAIN (WITH SIZE)	---
PROP. DRAINAGE FLOWLINE	---
EX. GAS LINE	---
EX. WATER MAIN	---
EX. SEWER MAIN	---
EX. OVERHEAD POWER LINE	---
EX. DRAINAGE FLOWLINE	---
EX. EDGE OF PAVEMENT WITH CURB	---
EX. FIBER OPTIC PANEL	---
EX. ELECT. TRANSFORMER	---
EX. GAS LINE MARKER	---
PROP. ROADWAY SIGN	---
HORIZONTAL VERTICAL CONTROL POINT	---
PROP. SEWER SERVICE	---
PROP. WATER METER	---
EX. FIRE HYDRANT W/ GATE VALVE	---
PROP. VALVE FOR WATER MAIN	---
PROP. SEWER MANHOLE	---
EX. SEWER MANHOLE	---
EX. WATER VALVE	---
FIRE MONITOR	---
EX. POWER POLE	---
EX. GUY WIRE	---
EX. LOT CORNER	---
PROP. ROOK DITCH CHECK	---
PROPOSE WATTLE	---
300 LB RIP RAP	---
DRAINAGE FLOW DIRECTION	---

**ABBREVIATIONS**

EX.	EXISTING
CLIP.	CLIPPED
GP	GROUP
CONT.	CONTINUOUS
CONC.	CONCRETE
PROP.	PROPOSED
MANH.	MANHOLE
CP	CONTROL POINT
SM	SMALL-DIA. SCHEDULE 40 STEEL METAL PIPE
CP	CORNER
D.C.	DRAINAGE CURVE
T.O.C.	TOP OF CURB
ELEV.	ELEVATION
REQD.	REQUIRED
AC	AREAS
UF	UNDER FOOT
EA	EACH
VS	VERTICAL
ST.	STATION
PRC	POINT OF REVERSE CURVATURE
PV	POST INDICATOR VALVE
HYD	HYDRANT
PT	POINT OF TANGENCY
RT	RIGHT
VT	VERTICAL CURVE
VC	VERTICAL CURVE
US	UPSTREAM
US	UPSTREAM
FL	FLOW LINE
FCP	FLOW CONTROL POINT
RCAP	REINFORCED CONCRETE ARCH PIPE
SY	SQUARE YARD
R.O.W.	RIGHT-OF-WAY
PL	PLAIN END
PE	FLANGED END
PE	PLAIN END
HP	HIGH DENSITY POLY ETHYLENE
DIP	DUCTILE IRON PIPE
FM	FIRE MONITOR
FM	FIRE MONITOR
PI	POINT OF INTERSECTION
BH	BORE HOLE LOCATION

**OWNER/DEVELOPER:**

ZANDER COMPANIES  
NICHOLAS ZANDER  
(910) 695-4508

**SURVEYOR:**

SEBORG GROUP, INC.  
TIMOTHY SEBORG  
(910) 254-4400

**ENGINEER:**

PAUL M. MONTGOMERY  
MARCUS MCINTIRE, PE  
(867) 275-1659

**ARCHITECT:**

TODD R. CALLAWAY & ASSOCIATES  
TODD R. CALLAWAY, AIA  
(980) 243-5848

**POWER:**

TEVOR LAUBER, PRESIDENT & CEO  
(313) 235-4000

**GAS:**

CONSUMERS ENERGY COMPANY  
GARRICK KROGHOW, PRESIDENT AND CEO  
(910) 290-7174

**WATER/SANITARY SEWER:**

HAMBURG TOWNSHIP SANITARY SEWER SYSTEM  
BRITTANY K. CAMPBELL UTILITIES COORDINATOR  
(910) 254-0041 EXT. 511

**GENERAL NOTES:**

- CONTRACTOR SHALL PROVIDE A MINIMUM 24 HOUR NOTICE TO THE ENGINEER PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS, SAMPLING, OR TESTING.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF ALL ITEMS WHETHER SPECIFICALLY INDICATED OR NOT.
- CONTRACTOR SHALL TAKE WHATEVER STEPS NECESSARY TO ENSURE THAT POSITIVE DRAINAGE OCCURS ON ALL AREAS OF PROJECT SITE DURING ALL STAGES OF CONSTRUCTION.
- ALL TOPSOIL WITHIN THE CONSTRUCTION LIMITS SHALL BE STRIPPED, STOCKPILED IN A DESIGNATED AREA TO BE APPROVED BY THE OWNER, AND REPLACED ON SLOPES OR AS DIRECTED BY THE ENGINEER. UPON COMPLETION OF GRADING, THE CONTRACTOR SHALL PLACE A SUFFICIENT QUANTITY OF TOPSOIL (MINIMUM 4") TO ENSURE GRASS GROWTH ON THE DESIGNATED AREA. ANY EXCESS TOPSOIL SHALL BE REMOVED FROM THE PROJECT SITE.
- SEEDMENT RUNOFF ON ANY AREA DISTURBED BY THE CONTRACTOR WILL BE CONTROLLED AT ALL TIMES. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE OF EROSION CONTROL MEASURES USED TO CONTROL SEDIMENT RUNOFF.
- CONTRACTOR SHALL SEED OR SOO, FERTILIZE, AND MULCH ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND ENSURE A COMPLETE STAND OF GRASS.
- ANY LOCAL, STATE OR FEDERAL PERMITTING REQUIRED FOR CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- TESTING SHALL BE PROVIDED BY CONTRACTOR.
- CONSTRUCTION STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- AT THE EXPENSE OF THE CONTRACTOR, THE CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE PATTERNS AND CONSTRUCT TEMPORARY STRUCTURES, EMBANKMENTS, AND CULVERTS AS REQUIRED TO MAINTAIN THE NECESSARY FOR RIAL DRAINAGE SYSTEM AND THE AREA RESTORED TO ITS ORIGINAL CONDITION. CURBS, EMBANKMENTS, AND CULVERTS CONSTRUCTED UPWARDS TO PROTECT THE PROGRESS OF WORK SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL FURNISH, PLACE, AND MAINTAIN ALL SHEETING, SHORING, AND BRACING REQUIRED TO SUPPORT THE DELAYS OF THE REQUIRED TRENCH EXCAVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- THE LOCATION, RIM, AND INVERT ELEVATIONS OF PROPOSED JULETS AND SEWER MANHOLES SHALL BE BASED ON DESIGN AND EARTHWORK GRADES. ANY CHANGES OR DEVIATIONS FROM THE FINISHED GRADES MAY REQUIRE ADJUSTMENTS TO THE RIM AND INVERT ELEVATIONS OF PREVIOUSLY MENTIONED STRUCTURES.
- SILT FENCE, EROSION CHECKS, AND TEMPORARY EROSION MEASURES SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND SHALL BE REMOVED BY THE CONTRACTOR WHEN COMPLETE.
- ALL DIMENSIONS AND ALL SPOT ELEVATIONS ARE REFERENCED TO THE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL AVOID WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROPRIATE LOCAL, COUNTY, STATE AND FEDERAL AGENCIES, AND ALL OTHER GOVERNMENT AND REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT. CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCIES IN ADVANCE OF EACH STAGE OF WORK IN ACCORDANCE WITH EACH AGENCY'S REQUIREMENTS. LOCAL AGENCIES WITH JURISDICTION OVER THE PROJECT INCLUDE: THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT), THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES (NCEM), THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT), THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES (NCEM), THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT), THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES (NCEM).
- CONTRACTOR SHALL COMPLY WITH ALL PERMIT, INSURANCE, LICENSING AND INSPECTION REQUIREMENTS ASSOCIATED WITH THE WORK. PRIOR TO CONSTRUCTION, CONTRACTOR AND OWNER DEVELOPER SHALL DETERMINE WHO IS RESPONSIBLE FOR OBTAINING EACH REQUIRED PERMIT. CONTRACTOR SHALL VERIFY THAT EACH REQUIRED PERMIT HAS BEEN OBTAINED PRIOR TO COMMENCEMENT OF EACH STAGE OF WORK.
- CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE AND PROPERTY DAMAGE INSURANCE TO SAVE HARMLESS THE OWNER, DEVELOPER, ARCHITECT, ENGINEER, SURVEY AND/OR GOVERNMENT AGENCIES FOR ANY ACCIDENTS OCCURRING DURING THE CONSTRUCTION PERIOD. REFER TO APPROPRIATE LOCAL, COUNTY AND STATE AGENCIES FOR ADDITIONAL REQUIREMENTS. COPIES OF INSURANCE CERTIFICATIONS SHALL BE MADE AVAILABLE TO THE OWNER.
- CONTRACTOR SHALL MAINTAIN A SAFE AND PROTECTIVE WORK AREA THROUGHOUT THE PROJECT. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
- CONTRACTOR SHALL COORDINATE SCHEDULING OF ALL WORK IN PROPER SEQUENCE INCLUDING THE WORK OF SUBCONTRACTORS. ADDITIONAL COST DUE TO IMPROPER PLANNING BY THE CONTRACTOR OR WORKER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL CONTACT THE MISSISSIPPI LOCATING SYSTEM (MILS) AND/OR OTHER APPROPRIATE LOCAL UTILITY LOCATING AGENCY, A MINIMUM OF 3 WORKING DAYS PRIOR TO CONSTRUCTION. EXISTING UTILITY LOCATIONS, LOCATIONS AND DEPTH OF ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED.
- CONTRACTOR SHALL COORDINATE SCHEDULING A PRECONSTRUCTION MEETING WITH THE OWNER PRIOR TO COMMENCEMENT OF WORK.
- THE LOCAL MUNICIPALITY, COUNTY, AND OR STATE IN WHICH THE PROJECT IS LOCATED MAY REQUIRE AN ENGINEER CERTIFICATION FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. CONTRACTOR SHALL OBTAIN THE CERTIFICATION AND ACCEPTANCE OF THE LOCAL MUNICIPALITY, COUNTY, AND OR STATE IN WHICH THE PROJECT IS LOCATED. CONTRACTOR SHALL OBTAIN THE CERTIFICATION AND ACCEPTANCE OF THE LOCAL MUNICIPALITY, COUNTY, AND OR STATE IN WHICH THE PROJECT IS LOCATED. CONTRACTOR SHALL OBTAIN THE CERTIFICATION AND ACCEPTANCE OF THE LOCAL MUNICIPALITY, COUNTY, AND OR STATE IN WHICH THE PROJECT IS LOCATED.
- CONTRACTOR SHALL INSTALL TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL DEVICES AT THE APPROPRIATE STAGES OF CONSTRUCTION IN ACCORDANCE WITH THE APPROPRIATE REGULATORY AGENCY. REFER TO EROSION CONTROL PLANS AND NOTES ON THE PROJECT PLANS.
- STRUCTURAL FILL SHALL BE PLACED AS SPECIFIED ON THE PROJECT PLANS, AND WITHIN THE 1' ON 1' INFLUENCE ZONE OF ALL STRUCTURES, PAVED AREAS AND OTHER AREAS SUBJECT TO VEHICLE TRAFFIC. STRUCTURAL FILL SHALL BE PLACED AS SPECIFIED ON THE PROJECT PLANS, AND WITHIN THE 1' ON 1' INFLUENCE ZONE OF ALL STRUCTURES, PAVED AREAS AND OTHER AREAS SUBJECT TO VEHICLE TRAFFIC. STRUCTURAL FILL SHALL BE PLACED AS SPECIFIED ON THE PROJECT PLANS, AND WITHIN THE 1' ON 1' INFLUENCE ZONE OF ALL STRUCTURES, PAVED AREAS AND OTHER AREAS SUBJECT TO VEHICLE TRAFFIC.
- ALL EXISTING MONUMENTS, PROPERTY CORNERS, GROUND CONTROL, AND BENCHMARK SHALL BE PROTECTED AND PRESERVED; AND IF DISTURBED BY THE CONTRACTOR, THEY SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE. CONTRACTORS WILL NOTIFY THE SURVEYOR OF ANY CONFLICT BETWEEN EXISTING MONUMENTS, PROPERTY CORNERS, GROUND CONTROL, AND BENCHMARKS AND THE PROPOSED SITE LOCATIONS.
- CONTRACTORS SHALL NOTIFY OWNERS OF SLOPES AND ENGINEERS IMMEDIATELY UPON ENCOUNTERING ANY FIELD CONDITIONS, WHICH ARE INCONSISTENT WITH THE PROJECT PLANS AND/OR SPECIFICATIONS.
- WHEN NOTES ON THE PROJECT PLANS FOR REMEDIATION AND/OR REMOVAL, CONTRACTOR SHALL REMOVE EXISTING STRUCTURES, BUILDING AND BERRIS AND RECYCLE AND/OR DISPOSE OF IN ACCORDANCE WITH LOCAL, COUNTY, STATE AND FEDERAL REGULATIONS.
- CONTRACTOR SHALL REMOVE EXCESS CONSTRUCTION MATERIALS AND DEBRIS FROM THE SITE AND PERFORM RESTORATION IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. DISPOSING OF EXCESS MATERIALS AND DEBRIS SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, COUNTY, STATE AND FEDERAL REGULATIONS.
- CONSTRUCTION ACCESS TO THE SITE SHALL BE AS ACCEPTABLE TO THE OWNER AND THE APPROPRIATE LOCAL, COUNTY AND/OR STATE AGENCY WITH JURISDICTION OVER THE ROADS.
- CONSTRUCTION ACCESS SHALL BE MAINTAINED AND CLEANED ACCORDING TO THE APPROPRIATE LOCAL, COUNTY, AND/OR STATE AGENCIES, AND AS DIRECTED BY THE OWNER AND/OR ENGINEER.
- CONTRACTOR'S ACTIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

NO.	DATE	DESCRIPTION
1	6/1/23	REVISED PER HAMBURG COMMENTS.

ZANDER COMPANIES  
7879 WINANS LAKE RD  
BRIGHTON, MI 48116

ZANDER FLEX SPACE  
7749 E. M-36  
WHITMORE LAKE, MICHIGAN 48189

LEGEND AND GENERAL NOTES



Item 10.



DEMOLITION PLAN

DATE:	JUNE 5, 2023
DRAWN BY:	MM
CHECKED BY:	1"=20'
PROJECT NO.:	MM
PROJECT NAME:	MM
APPROVED BY:	MM

ZANDER FLEX SPACE  
7749 E. M-36  
WHITMORE LAKE, MICHIGAN 48189

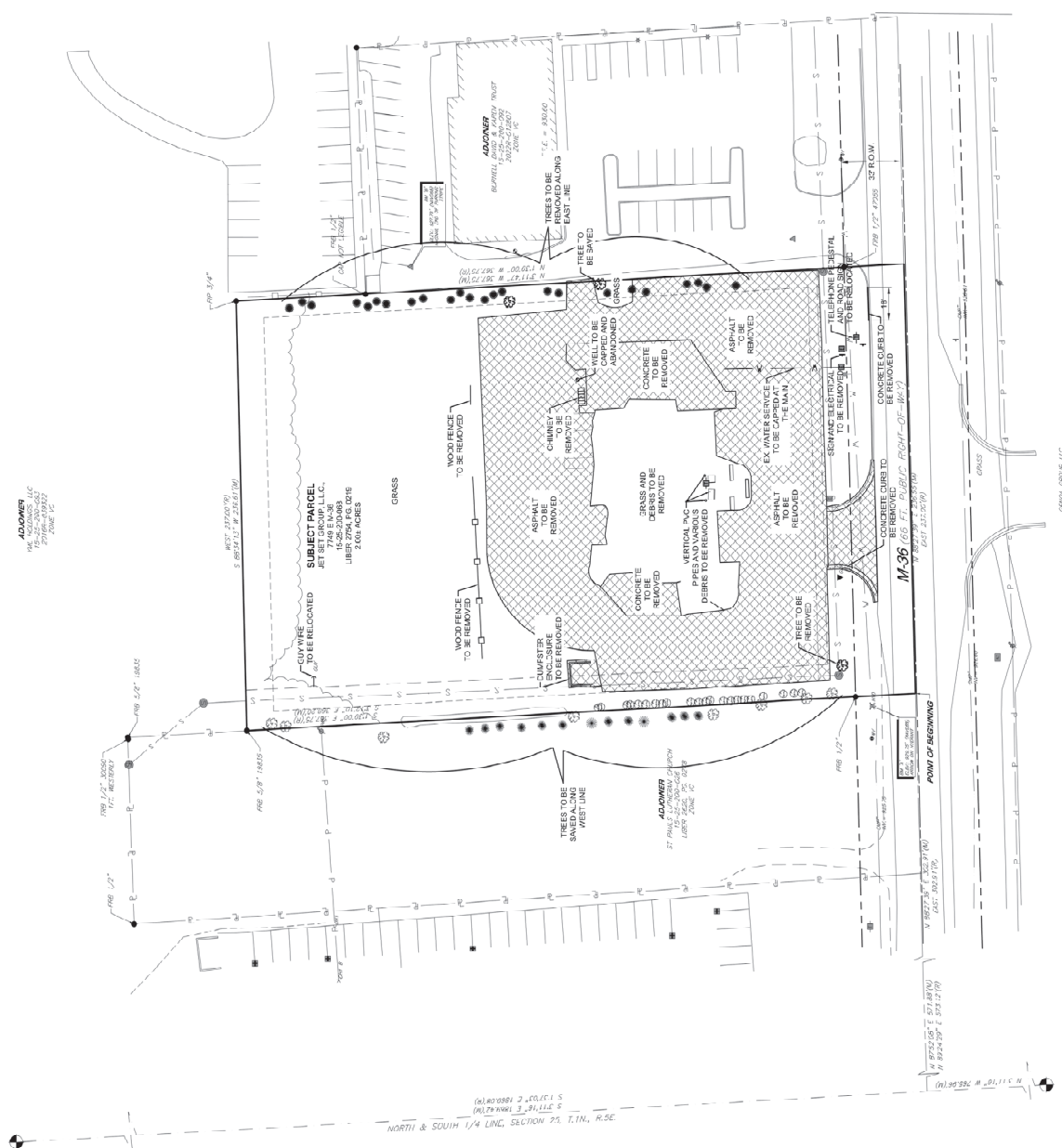
ZANDER COMPANIES  
7879 WINANS LAKE RD  
BRIGHTON, MI 48116

NO.	DATE	DESCRIPTION
1	6/1/23	REVISED PER HAMBURG COMMENTS



SCALE IN FEET  
0 25 50

LEGEND  
 AREA OF DEMOLITION





SITE PLAN

DATE:	JUNE 5, 2022
PROJECT NO.:	17-027
DRAWN BY:	BRADLEY BY
CHECKED BY:	
SCALE:	1" = 20'

ZANDER FLEX SPACE  
7749 E. M-36  
WHITMORE LAKE, MICHIGAN 48189

ZANDER COMPANIES  
7499 WINANS LAKE RD  
BRIGHTON, MI 48116

NO.	DATE	DESCRIPTION
1	6/17/22	REVISED PER MUT AND HANDBOOK COMMENTS.

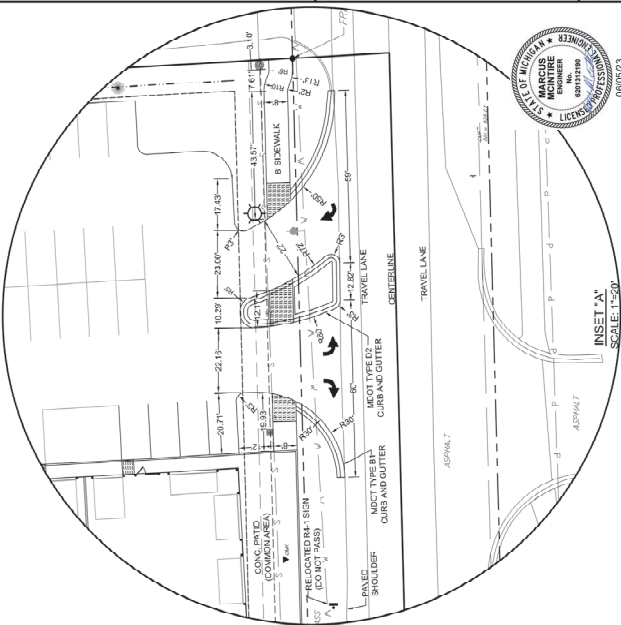
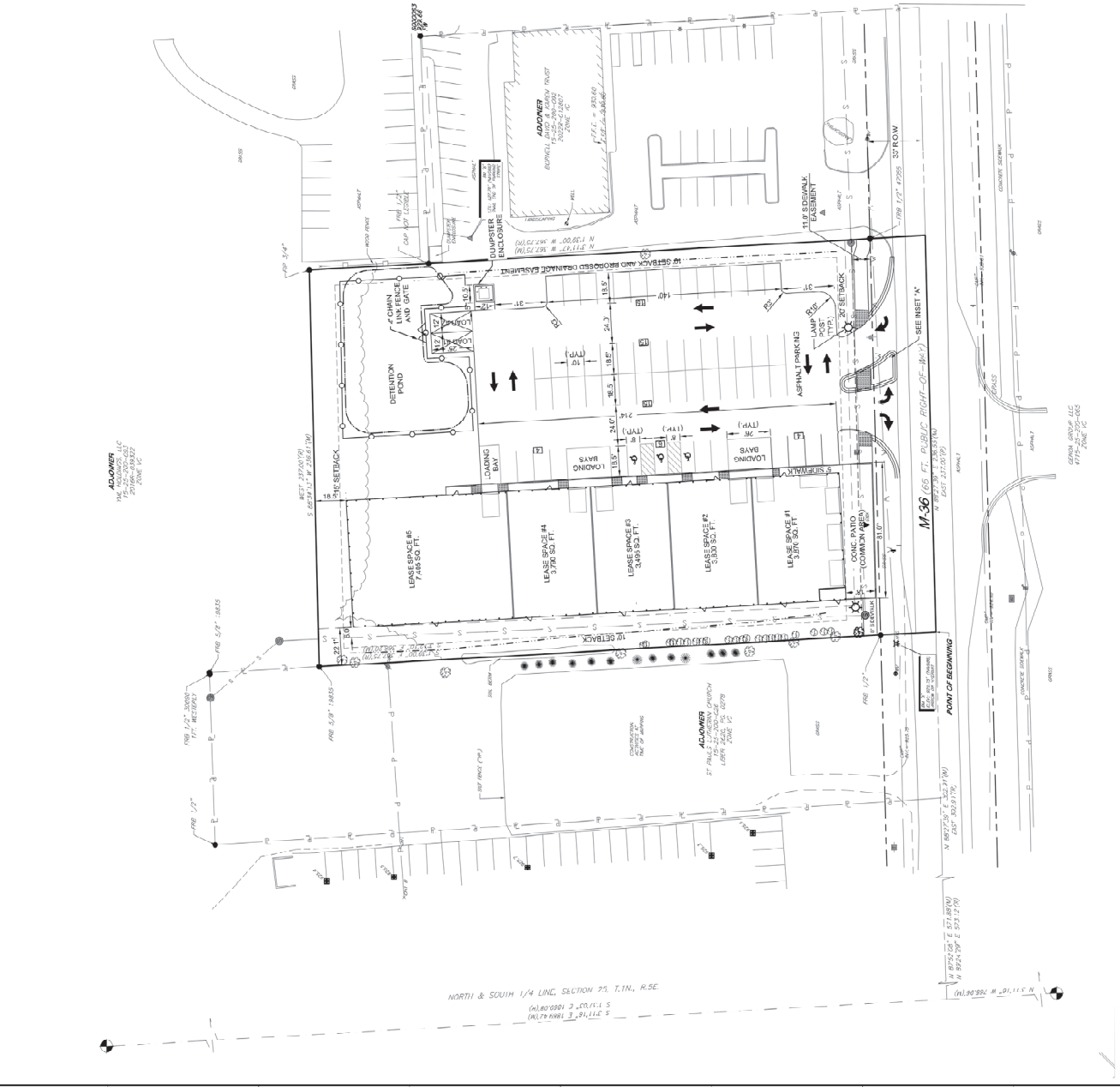


NOTES:

1. THE SUBJECT PROPERTY IS A 2.0 ACRE LOT AND ZONED VILLAGE CENTER (VC).
2. GROSS BUILDING AREA IS 22,300 SQ. FT.
3. THE PROJECT SHALL BE A MULTISTORY STRUCTURE DESIGNED TO ACCOMMODATE MULTIPLE GENERAL USE BUSINESS.
4. NUMBER OF PARKING SPACES REQUIRED EQUALS 22,300 / 400 EQUALS 56 SPACES.
5. NUMBER OF LOADING SPACES PROVIDED EQUALS 5 LOADING SPACES.
6. ALL DIMENSIONS ARE REFERENCED TO THE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
7. CONTRACTOR SHALL INCLUDE COST FOR 2" SCH 40 PVC CONDUIT AND POWER TO THE BUILDING.
8. LOCATIONS DETERMINED DURING CONSTRUCTION FOR COMMUNICATIONS SHALL BE INSTALLED AT THE LOCATIONS SHOWN IN THE DETAIL SHEET 06.1.
9. ALL STRIPPING FOR TYPICAL PARKING STALLS SHALL BE 4" PAINTED WHITE. HANDICAPPED ACCESSIBLE PARKING STALLS SHALL BE PAINTED AS SHOWN IN THE DETAIL SHEET 06.1.
10. VEHICLES PARKING AND WILL BE USED BY THE FORWARD VAN, BICYCLES, COMMERCIAL VEHICLES WILL PARK AT THE DESIGNATED LOAD SPACES AND TRANSPORT BY MEANS OF FORKLIIFT, PALLET JACK OR NECESSARY EQUIPMENT.
11. ENTRANCE SHALL BE CONSTRUCTION ACCORDING TO APPROVED PERMIT #1741-093197-23-BET120.
12. ASPHALT AND PARKING AREA LIGHT FIXTURES SHALL MATCH APPROVED VILLAGE CENTER FIXTURES AND SHALL BE 1500 MAINTENANCE FREE.
13. ALL LIGHTING SHALL BE TURNED OFF BETWEEN 1:00 PM AND SUNRISE EXCEPT WHEN USED FOR COMMERCIAL AND INDUSTRIAL USES, SUCH AS SALES, ASSEMBLY AND REPAIR AREAS, WHERE SUCH USE IS OPEN FOR BUSINESS AFTER 11:00 P.M. BUT ONLY FOR BUILDINGS SUCH AS USES OPEN FOR BUSINESS. LIGHTING USED FOR SECURITY BETWEEN 11:00 PM AND SUNRISE SHALL BE CONTROLLED BY A MOTION SENSOR.

Diastet	Minimum Lot Area (Square Feet)	Minimum Lot Width at Street (Feet)	Maximum Lot Coverage Building (Feet)	Maximum Yard Setback (Feet)	Maximum Building Height (Feet)	Additional Setback (Feet)
Village Center	16,207	6E	50/97	20'	35'	2.5
Prescriptive with Setback	16,207			10'	15'	2.5
MS, 207				25'	25'	25'

\* See Appendix, Township Code Provisions Sec. 3-116, Schedule of area, height, and bulk regulations for footcotes.



INSET 'A'  
SCALE: 1"=50'

Item 10.



**SUMMARY OF PROPOSED STORMWATER**

Pavement	Area (Ac)	Impervious Area (Ac)	Runoff Coefficient (C)	Runoff Volume (cu ft)	Peak Runoff Rate (cfs)
Asphalt	1.00	0.13	0.85	1.89	0.73
Concrete	2.87	0.45	0.91	2.08	0.77
<b>Total</b>	<b>3.87</b>	<b>0.58</b>	<b>0.88</b>	<b>3.97</b>	<b>1.50</b>

**REVISION RECORD**

No.	Date	Description
1	6/1/23	REVISED PER HANDBOOK COMMENTS

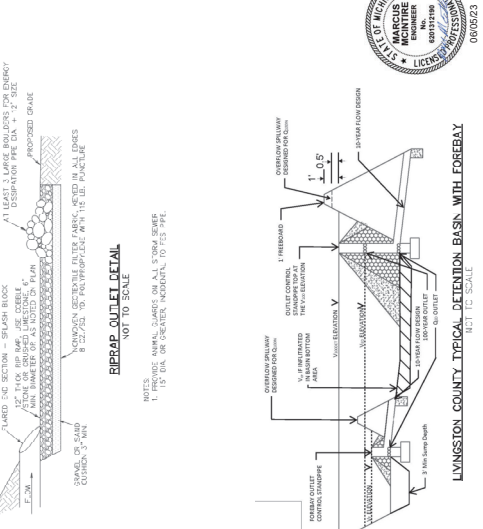
**Pond Report**  
 Pond No. 1 - POND 2  
 Pond Location: [Address]  
 Design Storm: 24" (0.85")  
 Pond Capacity: 10,000 gal (378 cu ft)  
 Pond Dimensions: 30' x 15' x 4' deep  
 Pond Slope: 1:1  
 Pond Material: Concrete  
 Pond Inlet: 12" dia. pipe  
 Pond Outlet: 12" dia. pipe  
 Pond Inlet Structure: 24" dia. pipe  
 Pond Outlet Structure: 24" dia. pipe  
 Pond Inlet Elevation: 102.50  
 Pond Outlet Elevation: 101.50  
 Pond Bottom Elevation: 101.00

**Hydrograph Return Period Recap**

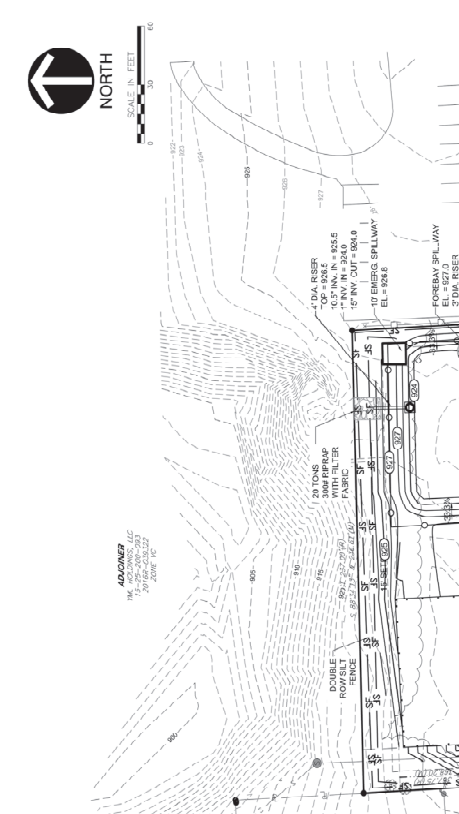
Return Period (yr)	Peak Flow (cfs)	Peak Time (hr)
1	1.50	0.12
2	1.80	0.15
5	2.20	0.20
10	2.50	0.25
25	3.00	0.30
50	3.50	0.35
100	4.00	0.40

**Hydrograph (Hydrograph Extension: 0.22h)**

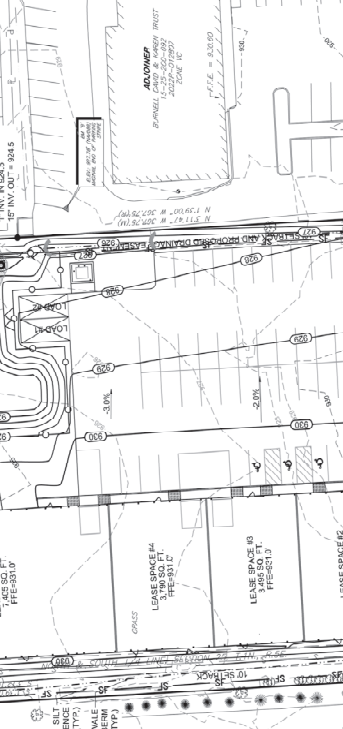
Time (hr)	Flow (cfs)
0.0	0.00
0.1	1.50
0.2	2.50
0.3	3.50
0.4	4.00
0.5	3.80
1.0	3.00
2.0	1.50
3.0	0.50
4.0	0.10
5.0	0.00



**General Information:**  
 Design Storm: 24" (0.85")  
 Pond Capacity: 10,000 gal (378 cu ft)  
 Pond Dimensions: 30' x 15' x 4' deep  
 Pond Slope: 1:1  
 Pond Material: Concrete  
 Pond Inlet: 12" dia. pipe  
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 Pond Inlet Structure: 24" dia. pipe  
 Pond Outlet Structure: 24" dia. pipe  
 Pond Inlet Elevation: 102.50  
 Pond Outlet Elevation: 101.50  
 Pond Bottom Elevation: 101.00



**Detention Pond Outlet Detail**

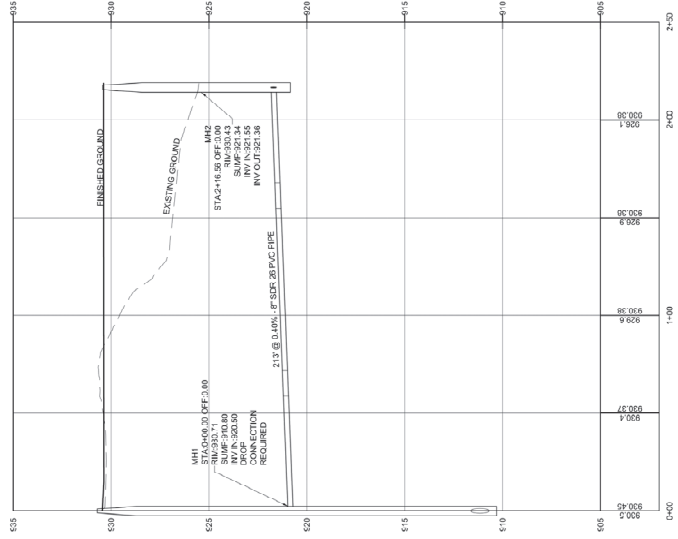


DATE:	JUNE 5, 2023
DRAWN BY:	MM
CHECKED BY:	MM
PROJECT NO.:	17-07
PROJECT NAME:	7749 E. M-36
CLIENT:	ZANDER FLEX SPACE
ADDRESS:	WHITMORE LAKE, MICHIGAN 48189
PROJECT TYPE:	UTILITY PLAN

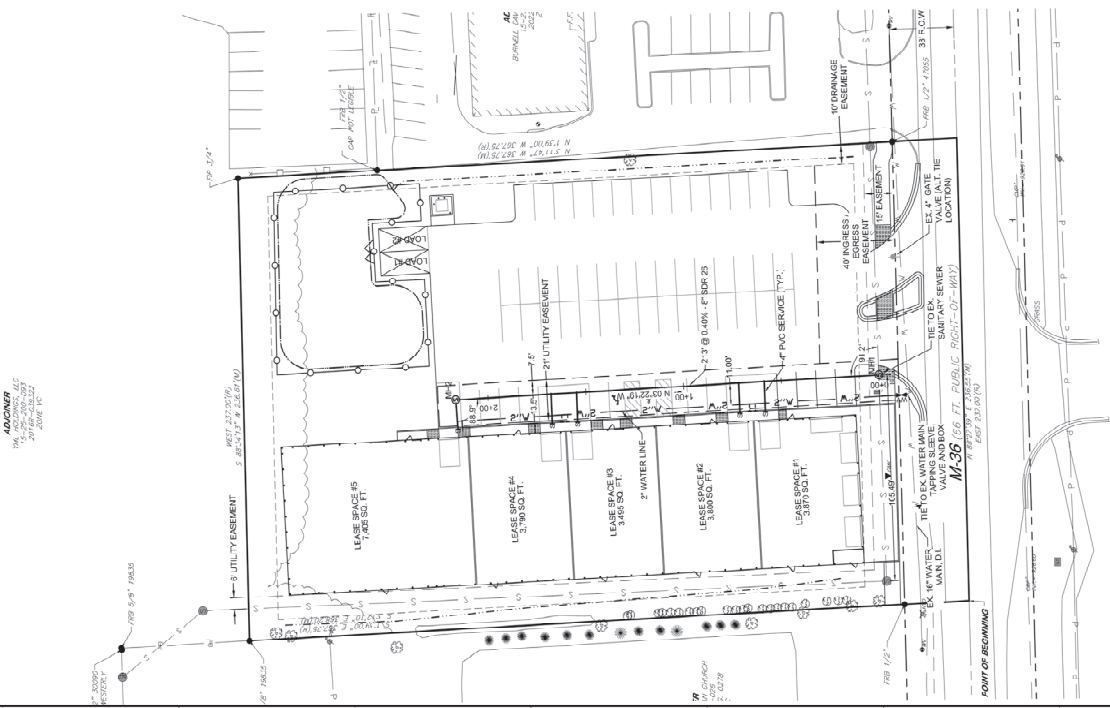
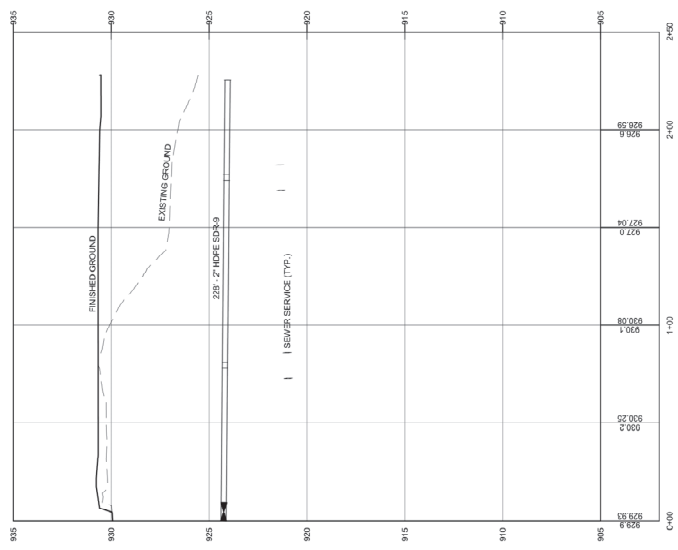


- NOTES:**
- SEE DETAILS FOR MORE INFORMATION ON SPECIFIC CONSTRUCTION REQUIREMENTS.
  - EASEMENTS ARE PROVIDED FOR ADEQUATE ACCESS TO THE PROVIDERS AND THE TOWNSHIP.
  - TRAFFIC-SAFE COVERS SHALL BE INSTALLED AT ALL BOX AND CLEANOUT LOCATIONS.
  - SEE STANDARD SPECIFICATIONS FOR CONSTRUCTION.
  - WATER METERS SHALL BE PER LOCAL STANDARDS.
  - WATER METER AND SHUT OFF VALVES SHALL BE LOCATED WITHIN EACH LEASE SPACE.
  - 2" WATER SERVICE LINE SHALL INCLUDE BEDDING MATERIAL AS SHOWN IN THE DETAILS. SEE WATER MAIN STANDARD DETAILS SHEETS FOR DETAILS.
  - 40" DRAINAGE EASEMENT SHALL BE MAINTAINED THROUGHOUT THE PROJECT. EACH TENANT SPACE SHALL BE EQUIPPED WITH ITS OWN 400 GALLON, 600X 60X 60" SUMP.
  - INTENT OF EACH TENANT SPACE SHALL BE PROVIDED TO THE HAMBURG TOWNSHIP FIRE DEPARTMENT FOR THE PURPOSE OF BUILDING PLAN REVIEW. ALL TENANT SPACES SHALL BE ADDRESSED WITH THE STANDARDS ESTABLISHED IN THE 2018 EDITION OF THE INTERNATIONAL FIRE MARSHAL ASSOCIATION (IFMA) FIRE MARSHAL HANDBOOK. ALL TENANT SPACE PLANS SHALL BE SUBMITTED TO THE HAMBURG TOWNSHIP FIRE DEPARTMENT PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY.

**SANITARY SEWER**



**WATER LINE**



ADONIS  
174-0000-2023-0000-0000-0000-0000-0000  
2023-06-05 10:00:00  
2023-06-05 10:00:00

NO.	DATE	REVISION
1	6/1/23	REVISED PER HAMBURG COMMENTS



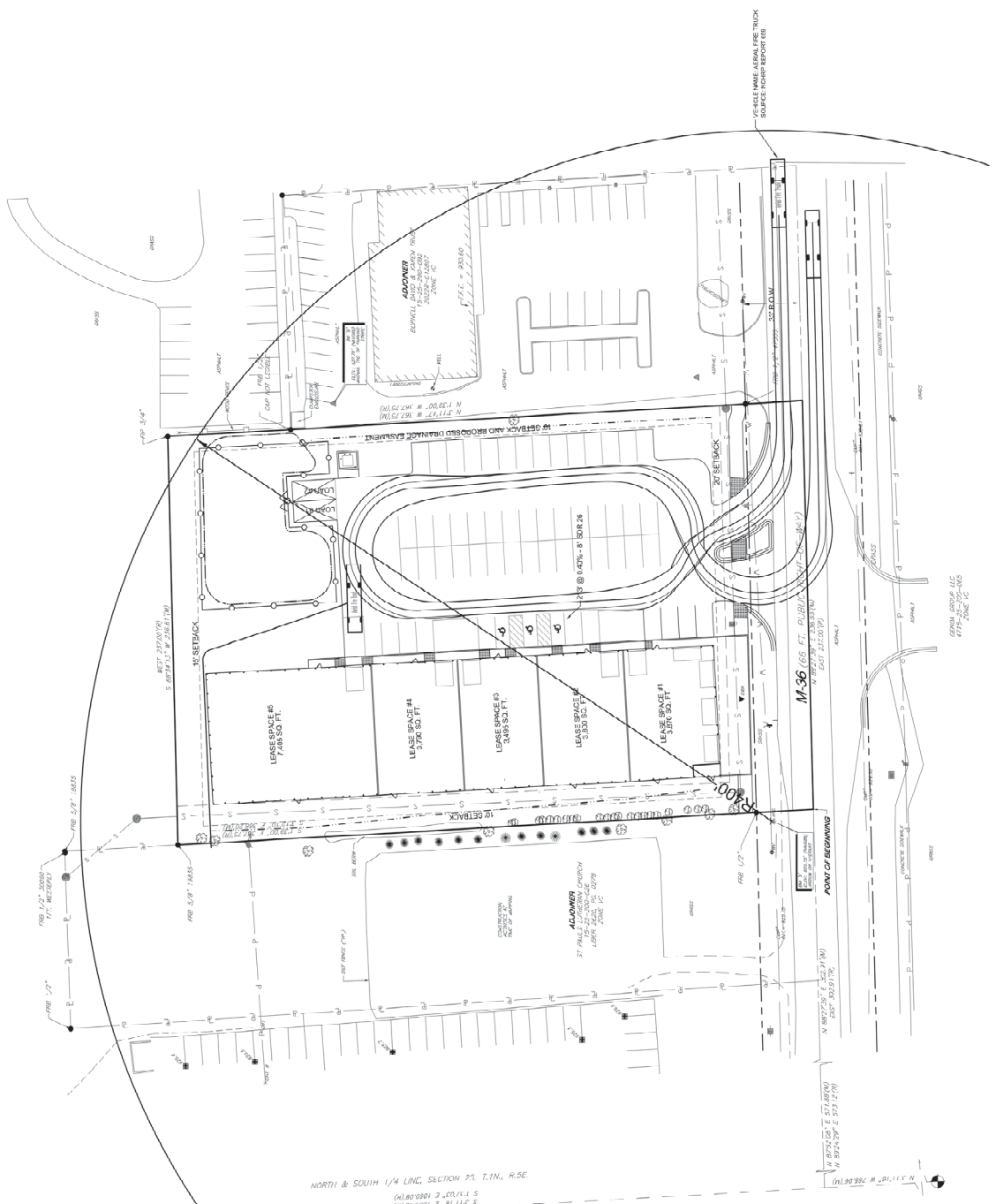
ADOWNER  
174 E. WILSON AVE  
ANN ARBOR, MI 48106  
734.769.0000  
ZONING 1C

ADOWNER  
27 PARK DRIVE  
ANN ARBOR, MI 48106  
734.769.0000  
ZONING 1C

ADOWNER  
174 E. WILSON AVE  
ANN ARBOR, MI 48106  
734.769.0000  
ZONING 1C

ADOWNER  
174 E. WILSON AVE  
ANN ARBOR, MI 48106  
734.769.0000  
ZONING 1C

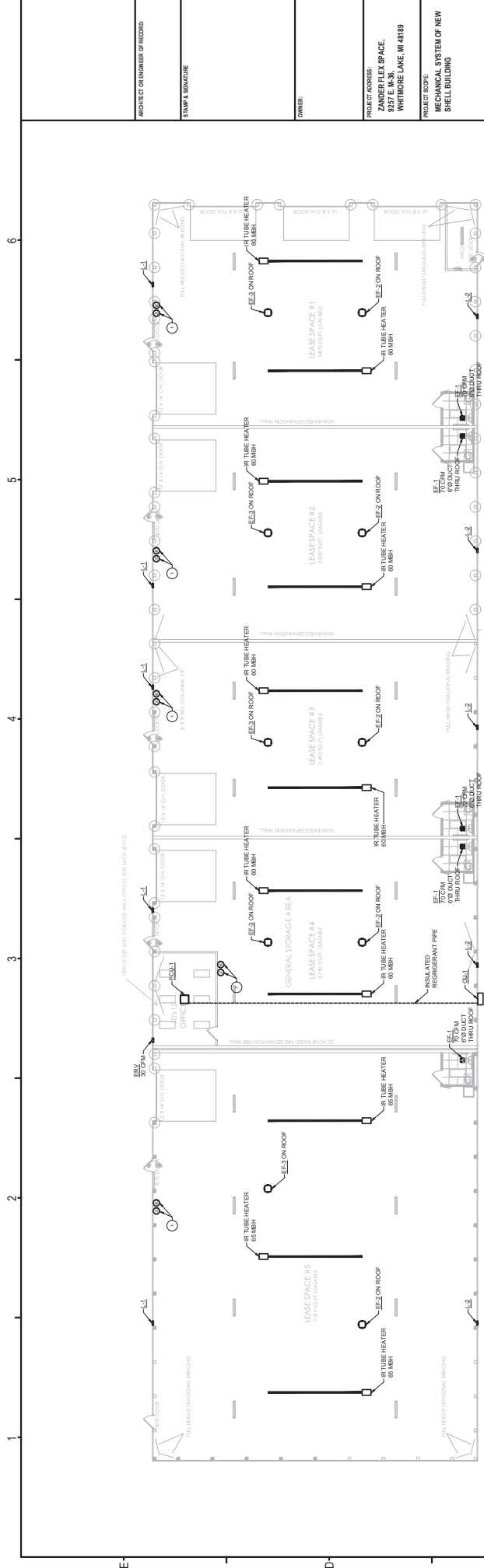
ADOWNER  
174 E. WILSON AVE  
ANN ARBOR, MI 48106  
734.769.0000  
ZONING 1C



NORTH & SOUTH 1/4 LINC. SECTION 25, T.1N., R.5E.  
S 171°18' E 1899.42(W)  
W 80.80(89) 2 - CORNER S

POINT OF BEGINNING  
N 89°25'02" E 232.67(80)  
W 89°25'02" E 232.67(80)  
N 89°25'02" E 232.67(80)  
W 89°25'02" E 232.67(80)





**MECHANICAL PLAN** SCALE: 3/32" = 1'-0" **DUCTLESS-SPLIT SYSTEM SCHEDULE**

**DRAWING NOTES**

- 1. OWNER TO CHOOSE COLOR & FINISH
- 2. PROVIDE MOTOR RATED SWITCH FOR EXHAUST FAN
- 3. PROVIDE MOUNTED
- 4. EXHAUST FAN CONTROL DEPENDS ON COINOX SENSOR

UNIT NO.	TYPE	COOLING CAPACITY (BTU/HR)	HEATING CAPACITY (BTU/HR)	CITY (MIN/MAX)	INDOOR UNIT		OUTDOOR CONDENSING UNIT		WEIGHT (LBS.)	MCA	SERV	V/P/R/W/Z	MCA	MCOOP	WEIGHT (LBS.)	MANUFACTURER & MODEL NO.
					UNIT NO.	WEIGHT (LBS.)	UNIT NO.	WEIGHT (LBS.)								
E-1	CASSETTE	12,700	19,700	270/475	0.54	40-1	15,300	21	308/360	14	24	127	MITSUBISHI, SZ-4F38NA/5LD-K43R4H2			

UNIT NO.	SERVES	SIZE (H"XW")	FREE AREA (SQ. FT.)	APD (IN. WG)	AIR FLOW (CFM)	MATERIAL	FINISH	NOTES
L-1	MAKE UP AIR	26x47.75	0.86	599	460	ALUMINUM	BY OWNER	1.3
L-2	MAKE UP AIR	44x43.75	4.40	0.07	655	2850	ALUMINUM	BY OWNER

UNIT NO.	FAN	TYPE	SP (IN. WG)	DRIVE	ELECTRICAL	NOTES
EF-1	EXHAUST FAN	DIRECT	13.5	120/160	L2.3	PARASONIC PDS10K20
EF-2	EXHAUST FAN	DIRECT	13.5	120/160	3	GREENHECK G-140-G
EF-3	EXHAUST FAN	DIRECT	17.5	208/160	3	GREENHECK G-140-G
E-4	ENERGY RECOVERY VENTILATOR	DIRECT	7	120/150	1	VENTUS LUS 841-50-2

**MECHANICAL LAYOUT & SCHEDULE**

SCALE: 3/32" = 1'-0"

**M-1.0**

SHEET OF

MECHANICAL LAYOUT & SCHEDULE

PROJECT ADDRESS: ZANDER FLEX SPACE, 9327 E. ML-36, WHITMORE LAKE, IL 48189

PROJECT SCOPE: MECHANICAL SYSTEM OF NEW SHELL BUILDING

PROJECT DATE: 06/28/2023

DRAWN BY: JHM

CHECKED BY:

DATE:

SCALE: 3/32" = 1'-0"

DRAWING NUMBER: M-1.0

SHEET OF

MECHANICAL LAYOUT & SCHEDULE

Item 10.

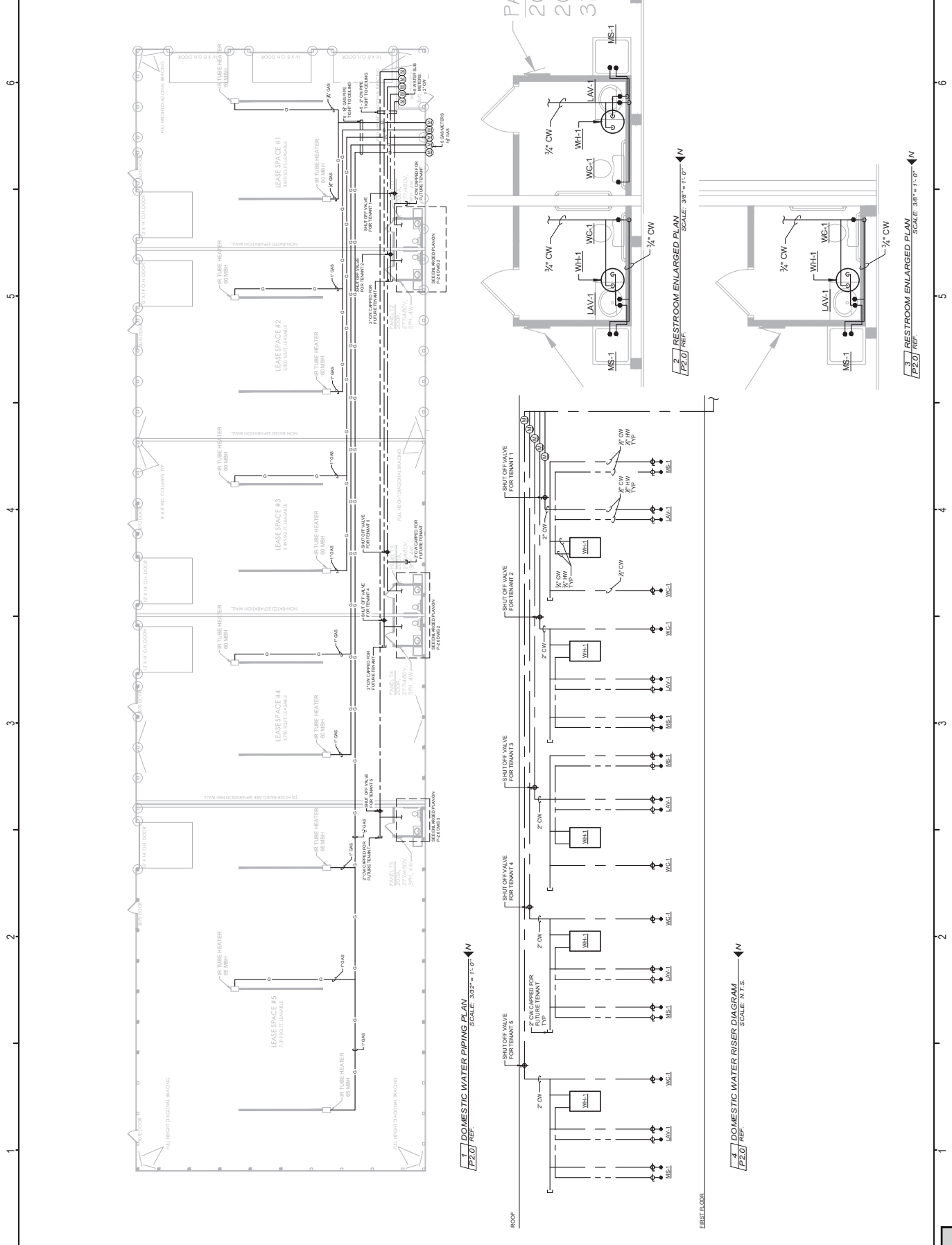
230

PROJECT OR NUMBER OF RECORD  
 DRAWING TITLE  
 OWNER  
 PROJECT ADDRESS  
 ZANDER FLEX SPACE,  
 937 E. M-36,  
 WHITMORE LAKE, MI 48189  
 PROJECT SCOPE  
 PLUMBING SYSTEM OF NEW  
 SHELL BUILDING

NO.	DATE	DESCRIPTION
1	02/28/2023	ISSUE FOR PERMITS
2	02/28/2023	ISSUE FOR PERMITS
3	02/28/2023	ISSUE FOR PERMITS

PROJECT  
 PROJECT DATE: 02/28/2023  
 DRAWN BY: JHM  
 CHECKED BY:  
 DATE:

DOMESTIC WATER PIPING PLAN  
 SCALE: 3/32" = 1'-0"  
 DRAWING NUMBER  
 P-2.0  
 SHEET  
 OF  
 DRAWINGS



1 DOMESTIC WATER PIPING PLAN  
 SCALE: 3/32" = 1'-0" REF.

2 DOMESTIC WATER RISER DIAGRAM  
 SCALE: 1/16" = 1'-0" REF.

2.1 RESTROOM ENLARGED PLAN  
 SCALE: 3/8" = 1'-0" REF.

3.1 RESTROOM ENLARGED PLAN  
 SCALE: 3/8" = 1'-0" REF.

June 2, 2023

Hamburg Fire Division  
Hamburg Charter Township  
10405 Merrill Road  
P.O. Box 157  
Hamburg, Michigan 48189

**Re: Zander Flex Space, Responses to Comments from Preliminary & Final Site Plan Review**

Dear Mr. Zernick,  
Below are the responses to the comments recieved.

1. Building shall be required to have a 3200 series. Each tenant space shall be equipped with its own 3200 series Knox Box.  
**Concur.**
2. Intended use of each tenant space shall be provided for the purpose of building plan review. Proper fire protection requirements cannot be determined without knowing the intended use of the space.  
**Concur. Although no tenants have been secured, future tenants and uses will be submitted for review.**
3. Fire Hydrant to be placed at the North end of the parking lot due to the lack of access to the northern portion of the building because of the detention pond. Fire hydrant shall meet the stands set forth by the Livingston Community Water Authority (LCWA).  
**Please review the attached exhibit which shows that we meet the 400' radius rule per the 2018 IFC that would exclude the addition of another hydrant. Also, the building was updated to a straight rectangular shape that allows for easy access.**
4. If Fire Alarm or suppression is deemed to be required, plans shall be submitted directly to the Hamburg Township Fire Department for review.  
**Fire suppression is not required. See fire rated walls detail on T1.1.**
5. It is requested that each individual tenant space to individually addressed.  
**Concur. Although no tenants have been secured, future tenants and uses will be submitted for review.**
6. Any alterations to these submitted plans shall require the submittal of As Built plans. Plans shall be submitted directly to the Hamburg Township Fire Department prior to the issuance of Certificate of Occupancy.  
**Concur.**
7. All tenant spaces shall be addressed with the standards established by the 2018 edition of the International Fire Code.  
**Concur. Although no tenants have been secured, future tenants shall meet the stated code.**

662.275.1959



mmcintire151@gmail.com



MARC MCINTIRE





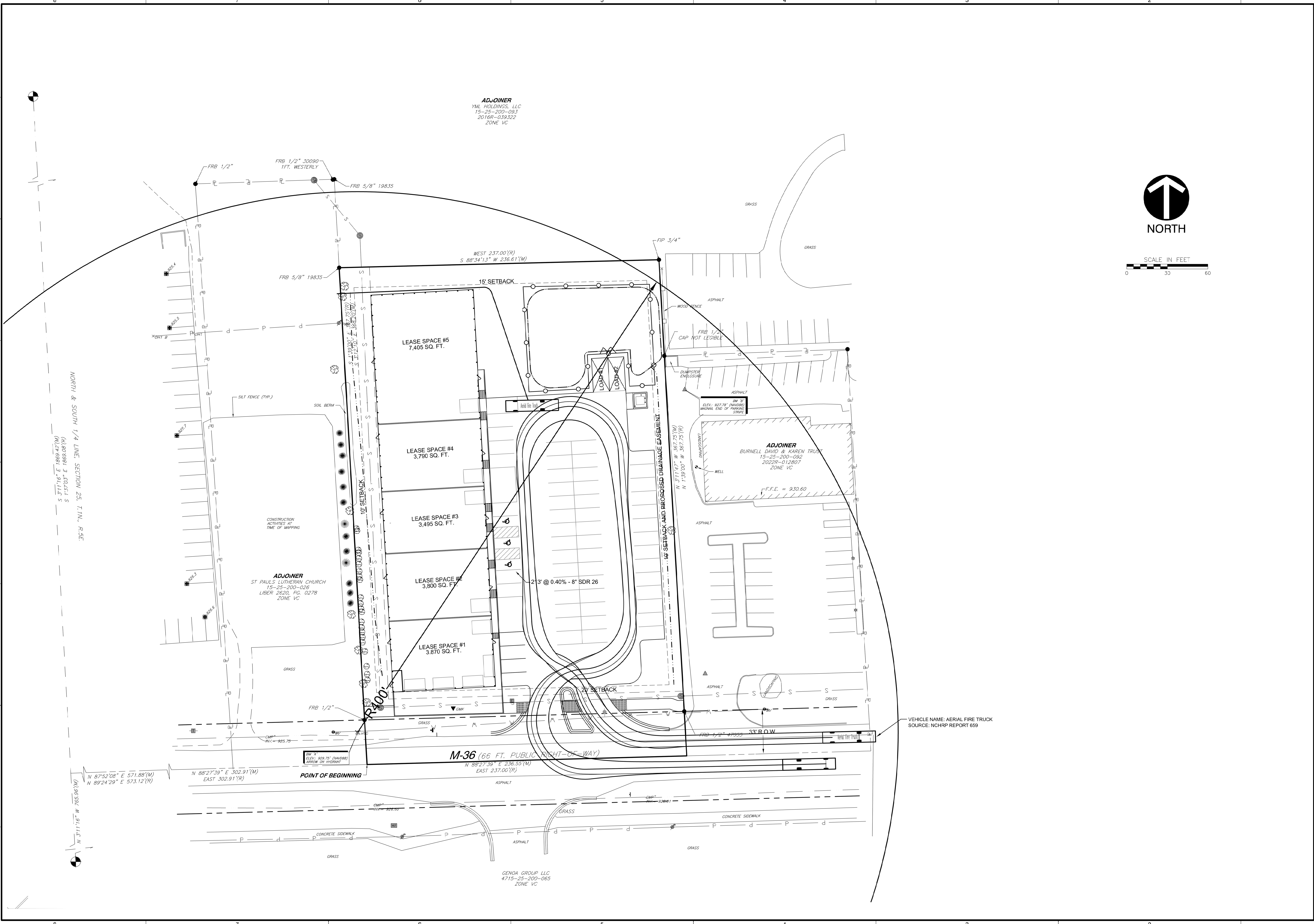
8. Architectural Building plans shall be submitted for review by the Fire Department.  
***Concur. The architectural plans are attached.***

We respectfully request that Hamburg Fire Division approves the subject site plans sends the corresponding letter of approval. If any additional information is required, please contact us for further assistance.

Sincerely,



Marc McIntire, PE  
Open Door Consultants, LLC  
Engineering & Design  
PO Box 532  
Madison, MS 39130



NO.	DATE	DESCRIPTION
1	5/1/23	REVISED PER HAMBURG COMMENTS.

**ZANDER COMPANIES**  
**7879 WINANS LAKE RD**  
**BRIGHTON, MI 48116**

**ZANDER FLEX SPACE**  
**7749 E. M-36**  
**WHITMORE LAKE, MICHIGAN 48189**

TURNING ROUTE PLAN	
DATE:	FEB. 10, 2023
DRAWN BY:	MMI
DIMS SCALE:	1"=30'
CHECKED BY:	MMI
PROJECT NO.:	
APPROVED BY:	

DRAWING NO. **C5.1**  
 SHEET 1 OF 1

**ADJOINER**  
 YML HOLDINGS, LLC  
 15-25-200-093  
 2016R-039322  
 ZONE VC

**ADJOINER**  
 ST PAULS LUTHERAN CHURCH  
 15-25-200-026  
 LIBER 2620, PG. 0278  
 ZONE VC

**ADJOINER**  
 BURNELL DAVID & KAREN TRUST  
 15-25-200-092  
 2022R-012807  
 ZONE VC

**GENDA GROUP LLC**  
 4715-25-200-065  
 ZONE VC

VEHICLE NAME: AERIAL FIRE TRUCK  
 SOURCE: NCHRP REPORT 659



SCALE IN FEET  
 0 30 60

NORTH & SOUTH 1/4 LINE, SECTION 25, T.1N., R.5E.

N 3711.16" E 1869.42'(M)  
 S 3711.16" E 1869.42'(M)  
 S 1377.03" E 1377.03'(M)

N 87°52'08" E 571.88'(M)  
 N 89°24'29" E 573.12'(R)

N 88°27'39" E 302.91'(M)  
 EAST 302.91'(R)

**M-36 (66 FT. PUBLIC RIGHT-OF-WAY)**  
 N 88°27'39" E 236.55'(M)  
 EAST 237.00'(R)

N 3711.47" W 367.75'(M)  
 N 1739.00" W 367.75'(R)

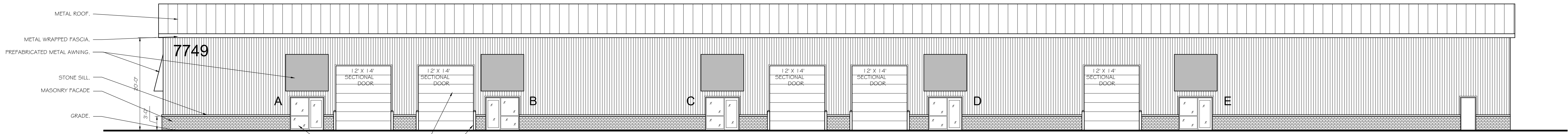


SHEET DATES / DESC.  
2/25/23 PERMITS  
4/30/23 PERMITS



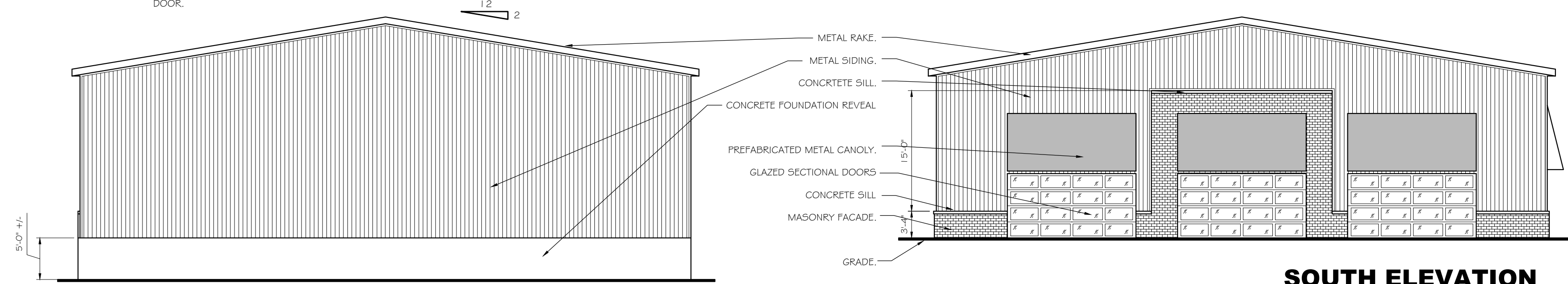
NEW BUILDING  
**ZANDER FLEX SPACE**  
9257 E. M-36  
WHITMORE LAKE, MICHIGAN

A1.3



**EAST ELEVATION**

SCALE: 3/32" = 1'-0"

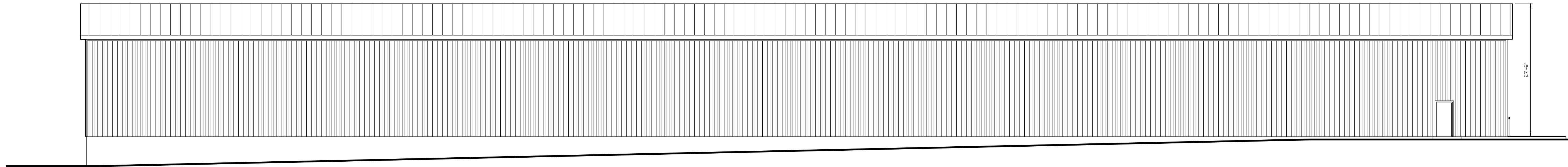


**NORTH ELEVATION**

SCALE: 3/32" = 1'-0"

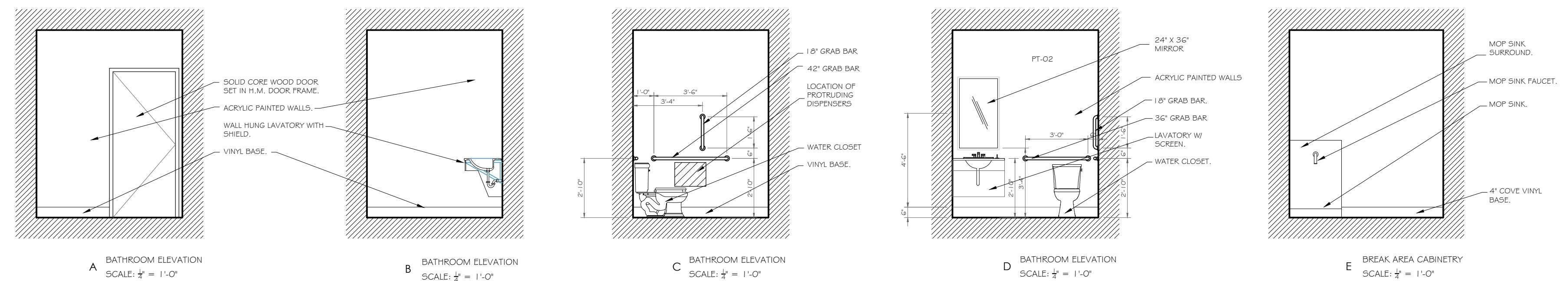
**SOUTH ELEVATION**

SCALE: 3/32" = 1'-0"



**WEST ELEVATION**

SCALE: 3/32" = 1'-0"



**INTERIOR ELEVATIONS**

SCALE: 1/4" = 1'-0"



# Hamburg Township Public Safety – Fire Division

Item 10.

10100 VETERANS MEMORIAL DRIVE  
P.O. BOX 157 ♦ HAMBURG, MI 48139-0157  
PHONE: 810-222-1100 ♦ FAX: 810-231-9401  
E-MAIL: [HTFD@HAMBURG.MI.US](mailto:HTFD@HAMBURG.MI.US)

## *DEPUTY FIRE CHIEF JORDAN ZERNICK* *PLAN REVIEW RESULTS*

**To:** Hamburg Twp. Zoning  
**From:** Deputy Chief, Jordan Zernick  
**CC:** Deputy Director – Fire Division Jeffrey Newton  
**Subject:** Preliminary Site Plan Review – 7749 E M36  
**Date:** May 24, 2023

I have completed the plan review of the Preliminary Site Plan submittal for the proposed occupancy at 7749 E M36 in Hamburg Township. The review was based on applicable Fire Codes and Hamburg Township Ordinance Requirements.

The plans are approved as submitted with the following requirements, revisions and clarification:

1. Building shall be required to have a 3200 series. Each tenant space shall be equipped with its own 3200 series Knox Box.
2. Intended use of each tenant space shall be provided for the purpose of building plan review. Proper fire protection requirements can not be determined without knowing the intended use of the space.
3. ~~Fire Hydrant to be placed at the North end of the parking lot due to the lack of access to the northern portion of the building because of the detention pond. Fire hydrant shall meet the stands set forth by the Livingston Community Water Authority (LCWA).~~
4. If Fire Alarm or suppression is deemed to be required, plans shall be submitted directly to the Hamburg Township Fire Department for review.
5. It is requested that each individual tenant space to individually addressed.
6. Any alterations to these submitted plans shall require the submittal of As Built plans. Plans shall be submitted directly to the Hamburg Township Fire Department prior to the issuance of Certificate of Occupancy.
7. All tenant spaces shall be addressed with the standards established by the 2018 edition of the International Fire Code.
8. Architectural Building plans shall be submitted for review by the Fire Department.



# Hamburg Township Public Safety – Fire Division

Item 10.

10100 VETERANS MEMORIAL DRIVE  
P.O. BOX 157 ♦ HAMBURG, MI 48139-0157  
PHONE: 810-222-1100 ♦ FAX: 810-231-9401  
E-MAIL: [HTFD@HAMBURG.MI.US](mailto:HTFD@HAMBURG.MI.US)

## *DEPUTY FIRE CHIEF JORDAN ZERNICK* **PLAN REVIEW RESULTS**

This approval is subject to field inspection. This approval shall be valid for one year. If construction has not begun within 12 months of the date on this letter the plans must be resubmitted for approval. This approval does not exempt the project from complying with all applicable codes. Additional submittals and approvals may be required.

A handwritten signature in blue ink, appearing to read "J Zernick".

Deputy Chief Jordan Zernick



**INDIVIDUAL CONSTRUCTION PERMIT**  
For Operations within State Highway Right-of-Way

**Issued To:**  
Zander Companies

7879 Winans Lake Road  
Brighton MI 48116

**Contact:**  
Marc McIntire  
662-275-1959(O)  
mmcintire151@gmail.com

**Permit Number:** 47041-093137-23-052623

**Permit Type:** Individual Application

**Permit Fee:** \$90.00

**Effective Date:** May 26, 2023 to May 25, 2024

**Bond Numbers:** EI8449

**Liability Insurance Expiration Date:** Jun 01, 2024

**Contractor:**

Zander Companies

7879 Winans Lake Rd  
Brighton MI 48116

**Contact:**

Marc McIntire

mmcintire151@gmail.com

**THIS PERMIT IS VALID ONLY FOR THE FOLLOWING PROPOSED OPERATIONS:**

**PURPOSE:**

The plans include removing the existing driveway and shifting it east to accommodate the new layout. The proposed drive slopes away from M-36 into the site. Additionally, the drive is located approximately at the crest of M-36 and requires no culvert, and an existing drive and utilities hamper large taper distances. Anticipated vehicles would include mostly passenger car traffic with some box trucks (26' or less) but no large truck traffic.

**STATE ROUTE:** M-36      **TOWNSHIP OF:** Hamburg      **COUNTY:** Livingston County

<b>NEAREST INTERSECTION:</b>	<b>SIDE OF ROAD:</b>	<b>DISTANCE TO NEAREST INTERSECTION:</b>	<b>(in feet)</b>	<b>DIRECTION TO NEAREST INTERSECTION:</b>
Hall Road	N S	200.00		East

<b>CONTROL SECTION:</b>	<b>MILE POINT FROM:</b>	<b>MILE POINT TO:</b>	<b>LOCATION:</b>			
			LEFT	MEDIAN	RIGHT	TRANSVERSE
47041	21.010	21.010	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**REQUISITION NUMBER:**      **WORK ORDER NUMBER:**      **MDOT JOB NUMBER:**      **ORG JOB NUMBER:**

47041-093137-23-052623 Issued To:Zander Companies

**This permit is incomplete without "General Conditions and Supplemental Specifications"****I certify that I accept the following:**

1. I am the legal owner of this property or facility, the owner's authorized representative, or have statutory authority to work within state highway Right-of-Way.
2. Commencement of work set forth in the permit application constitutes acceptance of the permit as issued.
3. Failure to object, ***within ten (10) days*** to the permit as issued constitutes acceptance of the permit as issued.
4. If this permit is accepted by either of the above methods, I will comply with the provisions of the permit.
5. I agree that Advance Notice for Permitted Activities for shall be submitted **5 days prior** to the commencement of the proposed work.  
I agree that Advance Notice for Permitted Utility Tree Trimming and Tree Removal Activities shall be submitted **15 days prior** to the commencement of the proposed work for an annual permit.

**CAUTION**

**Work shall NOT begin until the Advance Notice has been approved.  
Failure to submit the advance notice may result in a Stop Work Order.**

-----  
**Zander Companies****Pascal Bui**  
**MDOT****May 25, 2023**  
**Approved Date**  
-----**TSC Contact Info****Brighton TSC****(810) 227-4681****THE STANDARD ATTACHMENTS, ATTACHMENTS AND SPECIAL CONDITIONS MARKED BELOW ARE A PART OF THIS PERMIT.****STANDARD ATTACHMENTS:**

- 1 ENVIRONMENTAL REQUIREMENTS FORACTIVITIES WITHIN MDOT RIGHT-OF-WAY (2486)
- 2 General Conditions (General Conditions)

**ADDITIONAL ATTACHMENTS:**

- 1 Notice to Insurance or Surety Agent BTSC.docx
- 2 6651352 Copy of Executed Bond.pdf
- 3 Site Plan Zander Flex Space REV 4-11-23-attachements.pdf
- 4 ZANDER FLEX SPACE MDOT REVIEW 3-20-23-2.pdf
- 5 ZANDER FLEX SPACE PA-08.pdf
- 6 Site Plan Zander Flex Space REV 4-11-23.pdf

**47041-093137-23-052623 Issued To:Zander Companies**

**AMENDMENT ATTACHMENTS:**

**SPECIAL CONDITIONS:**

- 1 All disturbed areas within the right of way shall be top-soiled, seeded and mulched to match existing areas per current MDOT standards and specifications.





ARCHITECTS. ENGINEERS. PLANNERS.

June 2, 2023

Mr. Mark St. Charles, Chairperson  
 Livingston Community Water Authority (LCWA)  
 Green Oak Township Hall  
 10001 Silver Lake Road  
 Brighton, MI 48116

Re: 7749 M-36, Zander Flex Space  
 Plan Review for Site Plan Approval  
 OHM # 0019-23-0040

Dear Mr. St Charles:

A proposed development of approximately 27,000 square feet is being proposed at 7749 E M-36 (previously Roadies Restaurant) in Hamburg Township. The applicant has requested an approval by LCWA to obtain Site Plan approval from Hamburg Township. The applicant proposes water service to 5 individual metered units via a 2" water service connected to the 16" LCWA water main along the front of the property.

OHM provided preliminary comments on April 17, 2023, and reviewed updated plans dated 5/01/23 provided by Zander Companies. While we cannot approve the plans for a detailed engineering review at this time, the LCWA water main has the capacity and is adequate to provide water service needed for this site. We have no objection to a Site Plan approval which is granted by Hamburg Township not LCWA provided the following comments are addressed during detailed engineering:

1. The applicant will be responsible for obtaining the proper number of residential equivalent units( REU's) and applicable fees from Hamburg Township based on approved building use.
2. The Hamburg Township Fire Department has requested a fire hydrant to be added to service the northern limits of the building. The hydrant location will require LCWA and the Fire Department approval. If placed on private property the hydrant and associated water main piping will require a 25' wide LCWA easement and subject to a Michigan Department of Environment, Great Lakes, and Energy (EGLE) Part 399 Water Main Supply Permit. Details on the proposed connection to the LCWA water main (i.e.. tapping sleeve and valve or water shut down) must be submitted to LCWA for review.
3. Access to valves and hydrants must always be maintained. Trees and landscaping that would hinder access to the water main system are not permitted within 10 feet of the water main unless approved by LCWA.
4. The engineer shall provide copies of other agency permits or approvals including the Township and Livingston County.
5. It is understood that LCWA will not be funding any portion of the proposed water main work.
6. Additional construction requirements and inspection fees will be provided upon detailed engineering approval of the plans.
7. The LCWA Engineering Standards are attached.

Please note, additional comments may be provided during the detailed engineering phase. We are willing to meet with you and the applicant to review the above comments and LCWA requirements. If you have any questions, feel free to contact me at 734-466-4492.

Sincerely,  
OHM Advisors



Richard R. Hobgood, P.E.

Att: LCWA Engineering Standards  
cc: Anthony Dowson, Highland Treatment (via email)  
Vicki Putala, P.E., OHM (via email)  
Chris Donajkowski, OHM (via email)  
Patrick Hohl, Township Supervisor (via email)  
Ted L. Erickson, IME Group (via email)  
Marc McIntire, Open Door Consultants (via email)  
Nicholas Zander II, Zander Companies (via email)  
File



May 16, 2023

Ms. Amy Steffens  
Planning and Zoning Director  
Hamburg Township  
P.O. Box 157  
Hamburg, MI 48139

Re: Zander Flex Space  
Site Plan Review

Dear Ms. Steffens

We have reviewed the plans for the reference project dated May 1, 2023 as prepared by Open Door Consultants along with supplemental drainage information provided May 15, 2023. We offer the following comments for your consideration.

1. There is a small typo in the Legal Description on Page 3. We assume the last line should read "South 01°39'00" East 237 Feet to the Point of Beginning". The petitioner should verify and correct.
2. The petitioner should apply for a commercial sewer connection through the Township's Utility Department. A sanitary system review will be conducted after the application.
3. The proposed pavement section is appropriate for the use.
4. The stormwater water management plan is in general conformance with the Livingston County Drain Commissioner standards.
5. We understand preliminary approval from MDOT for the driveway has been received. The petitioner should provide the final approval when received.

In summary, we have no objection to the approval of the site plan contingent on the above items.

If you have any questions, please contact me at (734) 657.4925.

Sincerely,

Ted L. Erickson, P.E.  
Principal

\\files\Active\Projects\2023\23001935.00\Design\Civil\SitePlanReview

Fits Pole Size

- 5" pole (1)
- 6" pole (1)

Lighting Applications

- Exterior (245)
- Area / Site (231)
- Pedestrian (197)
- Roadway (35)

Category Width

- 10-13" (3)
- 21-27" (1)

FILTER PRODUCTS

Featured Products



(catalog/eq101)  
EQ101  
12" (catalog/eq101)



(catalog/eq113)  
EQ111 | EQ112 | EQ113  
12", 15", 18" (catalog/eq113)



(catalog/eq123)  
EQ121 | EQ122 | EQ123  
14", 16", 19" (catalog/eq123)



(catalog/slp39)  
SLP34 | SLP39  
34", 39" (catalog/slp39)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)



BVA 01  
16", 20", 24", 30" (catalog/bva2001)



BVA 02  
20", 24", 30" (catalog/bva2002)



BVA 04  
20", 24", 30" (catalog/bva2004)

(catalog/bva2001)

(catalog/bva2002)

(catalog/bva2004)



BVA 06  
20", 24", 30" (catalog/bva2006)



BVA 07  
20", 24", 30" (catalog/bva2007)



BVA 09  
20", 24", 30" (catalog/bva2009)

(catalog/bva2006)

(catalog/bva2007)

(catalog/bva2009)



BVB 01  
16", 20", 24", 30" (catalog/bvb2001)



BVB 02  
20", 24", 30" (catalog/bvb2002)



BVB 04  
20", 24", 30" (catalog/bvb2004)

(catalog/bvb2001)

(catalog/bvb2002)

(catalog/bvb2004)

Item 10.



BVB 06  
20", 24", 30" (catalog/bvb2006)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin



BVB 07  
20", 24", 30" (catalog/bvb2007)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin



BVB 09  
20", 24", 30" (catalog/bvb2009)

(/architectur  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/bvb2006)

(catalog/bvb2007)

(catalog/bvb2009)



BVF 01  
16", 20", 24", 30" (catalog/bvf2001)

(/architectural-  
site-  
lightir  
pedes  
site-  
and-  
roadw  
lightir



BVF 02  
20", 24", 30" (catalog/bvf2002)

(/architectural-  
site-  
lighti  
pede  
site-  
and-  
road  
lighti



BVF 04  
20", 24", 30" (catalog/bvf2004)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/bvf2001)

(catalog/bvf2002)

(catalog/bvf2004)



BVF 06  
20", 24", 30" (catalog/bvf2006)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin



BVF 07  
20", 24", 30" (catalog/bvf2007)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin



BVF 09  
20", 24", 30" (catalog/bvf2009)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/bvf2006)

(catalog/bvf2007)

(catalog/bvf2009)



EQ101  
12" (catalog/eq101)

(/architectural-  
site-  
light  
pede  
site-  
and-  
road  
light



EQ111 | EQ112 | EQ113  
12", 15", 18" (catalog/eq113)

(/architectural-  
sit  
ligl  
pe  
sit  
an  
ro  
ligl



EQ121 | EQ122 | EQ123  
14", 16", 19" (catalog/eq123)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/eq101)

(catalog/eq113)

(catalog/eq123)



LA002 | LA003 | LA004  
12", 15", 18" (catalog/la004)

(/architectural-  
site-  
lightir  
pede  
site-  
and-  
roadw  
lightir



LA060 | LA061 | LA062  
17", 20", 24" (catalog/la062)

(/architectural-  
site-  
lighti  
pede  
site-  
and-  
road  
lighti



LA071 | LA072 | LA073  
12", 16", 24" (catalog/la073)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la004)

(catalog/la062)

(catalog/la073)



LA076  
17" (catalog/la076)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin



LA094  
18" (catalog/la094)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin



LA100 | LA101 | LA102  
12", 15", 18" (catalog/la102)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la076)

(catalog/la094)

(catalog/la102)



LA111 | LA112 | LA113  
11", 16", 19" (catalog/la113)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la113)



LA122 | LA123 | LA124  
12", 15", 17" (catalog/la124)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la124)



LA130 | LA131 | LA132  
14", 17", 19" (catalog/la132)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la132)



LA133  
19" (catalog/la133)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la133)



LA138 | LA140 | LA142  
13", 15", 18" (catalog/la142)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la142)



LA160 / LA161  
28", 20" (catalog/la160)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la160)



LA162 | LA163 | LA164  
24", 29", 33" (catalog/la164)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la164)



LA167 | LA168 | LA169  
24", 29", 33" (catalog/la169)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la169)



LA192  
25" (catalog/la192)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la192)



LA193  
16" (catalog/la193)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la193)



LA194  
30" (catalog/la194)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la194)



LA195  
30" (catalog/la195)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la195)



LA196  
25" (catalog/la196)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la196)



LA197 | LA198  
17", 15" (catalog/la197)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la197)



LA199  
18" (catalog/la199)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la199)



LA200  
22" (catalog/la200)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la200)



LA210 Collection  
19", 23", 28", 32" (catalog/la213)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la213)



LA220 Collection  
10", 14", 18", 21" (catalog/la223)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la223)

Item 10.



LA225  
33" (catalog/la225)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la225)



LA230 Collection  
10", 14", 18", 21" (catalog/la233)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la233)



LA260 | LA262  
13", 20" (catalog/la262)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la262)



LA2662 (catalog/la2662)

(/architectural-  
site-  
lighting  
pedestr  
site-  
and-  
roadwa  
lighting

(catalog/la2662)



LA312 | LA313  
21", 25" (catalog/la313)

(/architectural-  
site-  
lighting  
pedestr  
site-  
and-  
roadwa  
lighting

(catalog/la313)



LA333  
15" (catalog/la333)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la333)



LA383  
20" (catalog/la383)

(/architectural-  
site-  
lighti  
pede  
site-  
and-  
road  
lighti

(catalog/la383)



LA390  
12" (catalog/la390)

(/architectural-  
site-  
lighti  
pede  
site-  
and-  
road  
lighti

(catalog/la390)



LA391  
17" (catalog/la391)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la391)



LA401  
20" (catalog/la401)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la401)



LA402  
20" (catalog/la402)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la402)



LA403  
12" (catalog/la403)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la403)



LA404  
20" (catalog/la404)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la404)



LA405  
20" (catalog/la405)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la405)



LA433  
18" (catalog/la433)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la433)



LA440 thru LA443  
11", 14", 16", 18" (catalog/la443)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la443)



LA503  
17" (catalog/la503)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la503)



LA513  
21" (catalog/la513)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la513)



LA533  
17" (catalog/la533)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la533)



LA553  
20" (catalog/la553)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la553)



LA563  
25" (catalog/la563)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la563)



LA601  
15" (catalog/la601)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la601)



LA603  
28" (catalog/la603)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la603)



LA604  
23" (catalog/la604)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la604)



LA613  
24" (catalog/la613)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la613)



LA621 | LA622 | LA623  
17", 20", 22" (catalog/la623)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la623)



LA631 | LA632 | LA633  
12", 15", 17" (catalog/la633)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la633)



LA652  
20" (catalog/la652)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la652)



LA663  
15" (catalog/la663)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la663)



LA664 | LA665  
15", 18" (catalog/la664)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la664)



LA762  
14" (catalog/la762)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la762)



LA772 | LA773 | LA774  
12", 17", 18" (catalog/la774)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la774)



LA780 Collection  
11", 15", 18", 20" (catalog/la783)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la783)



LA790 Collection  
11", 15", 18", 20" (catalog/la793)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la793)



LA810 | LA811 | LA812  
11", 15", 19" (catalog/la812)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/la812)



LA830 | LA831 | LA832  
12", 15", 18" (catalog/la832)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/la832)



Item 10.



LA841  
13" (catalog/la841)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin



LA844  
21" (catalog/la844)

(catalog/la844)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin



LA902 | LA903 | LA904  
12", 15", 17" (catalog/la904)

(catalog/la904)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)



LA912  
13" (catalog/la912)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin



LA922  
13" (catalog/la922)

(catalog/la922)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin



LA923  
13" (catalog/la923)

(catalog/la923)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)



LA950  
18" (catalog/la950)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin



LA960  
18" (catalog/la960)

(catalog/la960)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin



LA961  
18" (catalog/la961)

(catalog/la961)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)



LA962  
18" (catalog/la962)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin



LA980  
11" (catalog/la980)

(catalog/la980)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin



LA983  
16" (catalog/la983)

(catalog/la983)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)



LC0121  
6" Smooth Column (catalog/lc0121)

(/architectural-  
site-  
lighting/  
pedestri  
site-  
and-  
roadwa  
lighting



LC0122  
6"-4" Reverse Tapered Column (catalog/lc0122)

(catalog/lc0122)

(/architectural-  
site-  
lighting/  
pedestri  
site-  
and-  
roadway  
lighting/



LC0123  
6"-4" Transition Column (catalog/lc0123)

(catalog/lc0123)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)



LF0118 | LF0120  
18", 20" (catalog/lf0120)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)



LF0130 | LF0135  
14", 16" (catalog/lf0135)

(catalog/lf0135)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)



LF0136 (catalog/lf0136)

(catalog/lf0136)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

Item 10.



LF0140 | LF0143  
13", 15" (catalog/lf0143)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0143)



LF0141 | LF0144  
13", 15" (catalog/lf0144)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0155)



LF0155 (catalog/lf0155)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0144)



LF0153 (catalog/lf0153)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0153)



(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0162)

LF0182 (catalog/lf0182)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0182)



LF0318 | LF0320  
18", 20" (catalog/lf0320)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0320)



LF0330 | LF0335  
14", 16" (catalog/lf0335)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0335)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0335)



LF0336 (catalog/lf0336)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0336)



LF0340 | LF0343  
13", 15" (catalog/lf0343)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0343)



LF0341 | LF0344  
13", 15" (catalog/lf0344)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0355)



LF0355 (catalog/lf0355)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0344)



LF0353 (catalog/lf0353)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0353)



(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0362)

LF0382 (catalog/lf0382)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0382)



LF0518 | LF0520  
18", 20" (catalog/lf0520)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0520)



LF0530 | LF0535  
14", 16" (catalog/lf0535)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0535)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0535)



LF0536 (catalog/lf0536)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0536)

Item 10.



LF0540 | LF0543  
13", 15" (catalog/lf0543)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0543)



LF0541 | LF0544  
13", 15" (catalog/lf0544)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0555)



LF0555 (catalog/lf0555)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0544)



LF0553 (catalog/lf0553)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0553)



LF0582 (catalog/lf0582)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0562)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0582)



LF0918 | LF0920  
18", 20" (catalog/lf0920)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0920)



LF0930 | LF0935  
14", 16" (catalog/lf0935)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0935)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0935)



LF0936 (catalog/lf0936)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0936)



LF0940 | LF0943  
13", 15" (catalog/lf0943)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0943)



LF0941 | LF0944  
13", 15" (catalog/lf0944)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0944)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0944)



LF0953 (catalog/lf0953)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0953)



LF0955 (catalog/lf0955)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0955)



LF0962 (catalog/lf0962)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0962)



LF0982 (catalog/lf0982)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf0982)



LF1018 | LF1020  
18", 20" (catalog/lf1020)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf1020)



LF1030 | LF1035  
14", 16" (catalog/lf1035)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf1035)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf1035)



LF1036 (catalog/lf1036)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf1036)

Item 10.



LF1040 | LF1043  
13", 15" (catalog/lf1043)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf1043)



LF1041 | LF1044  
13", 15" (catalog/lf1044)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf1055)



LF1055 (catalog/lf1055)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1044)



LF1053 (catalog/lf1053)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1053)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/lf1062)



LF1082 (catalog/lf1082)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1082)



LF1318 | LF1320  
18", 20" (catalog/lf1320)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1320)



LF1330 | LF1335  
14", 16" (catalog/lf1335)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf1343)



LF1340 | LF1343  
13", 15" (catalog/lf1343)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1335)



LF1336 (catalog/lf1336)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1336)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1344)



LF1353 (catalog/lf1353)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1353)



LF1355 (catalog/lf1355)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf1355)



LF1362 (catalog/lf1362)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/lf1362)



LF1382 (catalog/lf1382)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1382)



LF1418 | LF1420  
18", 20" (catalog/lf1420)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1420)



LF1430 | LF1435  
14", 16" (catalog/lf1435)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1435)



LF1436 (catalog/lf1436)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1436)

Item 10.



LF1440 | LF1443  
13", 15" (catalog/lf1443)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf1443)



LF1441 | LF1444  
13", 15" (catalog/lf1444)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf1455)



LF1455 (catalog/lf1455)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1444)



LF1453 (catalog/lf1453)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1453)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf1462)



LF1482 (catalog/lf1482)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1482)



LF1518 | LF1520  
18", 20" (catalog/lf1520)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1520)



LF1530 | LF1535  
14", 16" (catalog/lf1535)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf1543)



LF1540 | LF1543  
13", 15" (catalog/lf1543)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1535)



LF1536 (catalog/lf1536)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1536)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1544)



LF1553 (catalog/lf1553)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1553)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf1555)



LF1555 (catalog/lf1555)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf1562)



LF1582 (catalog/lf1582)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1582)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1820)



LF1818 | LF1820  
18", 20" (catalog/lf1820)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1835)



LF1836 (catalog/lf1836)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1836)

LF1830 | LF1835  
14", 16" (catalog/lf1835)

Item 10.



LF1840 | LF1843  
13", 15" (catalog/lf1843)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf1843)



LF1841 | LF1844  
13", 15" (catalog/lf1844)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf1855)



LF1855 (catalog/lf1855)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1844)



LF1853 (catalog/lf1853)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1853)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2020)



LF2018 | LF2020  
18", 20" (catalog/lf2020)



LF2030 | LF2035  
14", 16" (catalog/lf2035)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf2043)



LF2040 | LF2043  
13", 15" (catalog/lf2043)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf1862)



LF1882 (catalog/lf1882)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf1882)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2035)



LF2036 (catalog/lf2036)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2036)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2044)



LF2053 (catalog/lf2053)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2053)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf2055)



LF2055 (catalog/lf2055)



LF2062 (catalog/lf2062)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2320)



LF2318 | LF2320  
18", 20" (catalog/lf2320)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf2062)



LF2082 (catalog/lf2082)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2082)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2335)



LF2336 (catalog/lf2336)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2336)



LF2340 | LF2343  
13", 15" (catalog/lf2343)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf2343)



LF2341 | LF2344  
13", 15" (catalog/lf2344)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf2355)



LF2355 (catalog/lf2355)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2344)



LF2353 (catalog/lf2353)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2353)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/lf2362)



LF2382 (catalog/lf2382)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2382)



LF2418 | LF2420  
18", 20" (catalog/lf2420)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2420)



LF2430 | LF2435  
14", 16" (catalog/lf2435)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf2443)



LF2440 | LF2443  
13", 15" (catalog/lf2443)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2435)



LF2436 (catalog/lf2436)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2436)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2444)



LF2453 (catalog/lf2453)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2453)



LF2455 (catalog/lf2455)

(/architectural-  
site-  
lightin  
pedes-  
site-  
and-  
roadw  
lightin

(catalog/lf2455)



LF2462 (catalog/lf2462)

(/architectural-  
site-  
lightin  
pedes  
site-  
and-  
roadw  
lightin

(catalog/lf2462)



LF2482 (catalog/lf2482)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2482)



LF2618 | LF2620  
18", 20" (catalog/lf2620)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2620)



LF2630 | LF2635  
14", 16" (catalog/lf2635)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2635)



LF2636 (catalog/lf2636)

(/architectural-  
site-  
lighting/all-  
pedestrian-  
site-  
and-  
roadway-  
lighting/#)

(catalog/lf2636)

Item 10.



LF2640 | LF2643  
13", 15" (catalog/lf2643)

(/architectural-site-lighting/pedestrian-site-and-roadway-lighting)

(catalog/lf2643)



LF2641 | LF2644  
13", 15" (catalog/lf2644)

(/architectural-site-lighting/pedestrian-site-and-roadway-lighting)

(catalog/lf2655)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf2644)



LF2653 (catalog/lf2653)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf2653)



LF2655 (catalog/lf2655)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3020)



LF2662 (catalog/lf2662)

(/architectural-site-lighting/pedestrian-site-and-roadway-lighting)

(catalog/lf2662)



LF2682 (catalog/lf2682)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf2682)



LF3018 | LF3020  
18", 20" (catalog/lf3020)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3043)



LF3030 | LF3035  
14", 16" (catalog/lf3035)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3035)



LF3036 (catalog/lf3036)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3036)



LF3040 | LF3043  
13", 15" (catalog/lf3043)

(/architectural-site-lighting/pedestrian-site-and-roadway-lighting)

(catalog/lf3055)



LF3041 | LF3044  
13", 15" (catalog/lf3044)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3044)



LF3053 (catalog/lf3053)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3053)



LF3055 (catalog/lf3055)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3220)



LF3062 (catalog/lf3062)

(/architectural-site-lighting/pedestrian-site-and-roadway-lighting)

(catalog/lf3062)



LF3082 (catalog/lf3082)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3082)



LF3218 | LF3220  
18", 20" (catalog/lf3220)

(catalog/lf3220)



LF3230 | LF3235  
14", 16" (catalog/lf3235)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3235)



LF3236 (catalog/lf3236)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3236)



Item 10.



LF3240 | LF3243  
13", 15" (catalog/lf3243)

(/architectural-site-lighting/pedestrian-site-and-roadway-lighting)

(catalog/lf3243)



LF3241 | LF3244  
13", 15" (catalog/lf3244)

(/architectural-site-lighting/pedestrian-site-and-roadway-lighting)

(catalog/lf3255)



LF3255 (catalog/lf3255)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3244)



LF3253 (catalog/lf3253)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3253)

(/architectural-site-lighting/pedestrian-site-and-roadway-lighting)

(catalog/lf3262)



LF3282 (catalog/lf3282)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3282)



LF3318 | LF3320  
18", 20" (catalog/lf3320)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3320)



LF3330 | LF3335  
14", 16" (catalog/lf3335)

(/architectural-site-lighting/pedestrian-site-and-roadway-lighting)

(catalog/lf3343)



LF3340 | LF3343  
13", 15" (catalog/lf3343)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3335)



LF3336 (catalog/lf3336)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3336)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3344)



LF3353 (catalog/lf3353)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3353)



LF3355 (catalog/lf3355)

(/architectural-site-lighting/pedestrian-site-and-roadway-lighting)

(catalog/lf3355)



LF3362 (catalog/lf3362)

(/architectural-site-lighting/pedestrian-site-and-roadway-lighting)

(catalog/lf3362)



LF3382 (catalog/lf3382)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/lf3382)



SBWFT18  
18" (catalog/sbwft18)

(/architectural-site-lighting/pedestrian-site-and-roadway-lighting)

(catalog/sbwft18)



SLP34 | SLP39  
34", 39" (catalog/slp39)

(/architectural-site-lighting/pedestrian-site-and-roadway-lighting)

(catalog/slp39)



WG012 thru WG022  
12", 16", 18", 20", 22" (catalog/wg022)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/wg022)

Item 10.



(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)



(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(catalog/wg122)

(catalog/wg222)

WG112 thru WG122  
12", 16", 18", 20", 22" (catalog/wg122)

WG212 thru WG222  
12", 16", 18", 20", 22" (catalog/wg222)

The Premier Manufacturer of Decorative Architectural and RLM Lighting Fixtures

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

(/architectural-site-lighting/all-pedestrian-site-and-roadway-lighting/#)

Follow us on

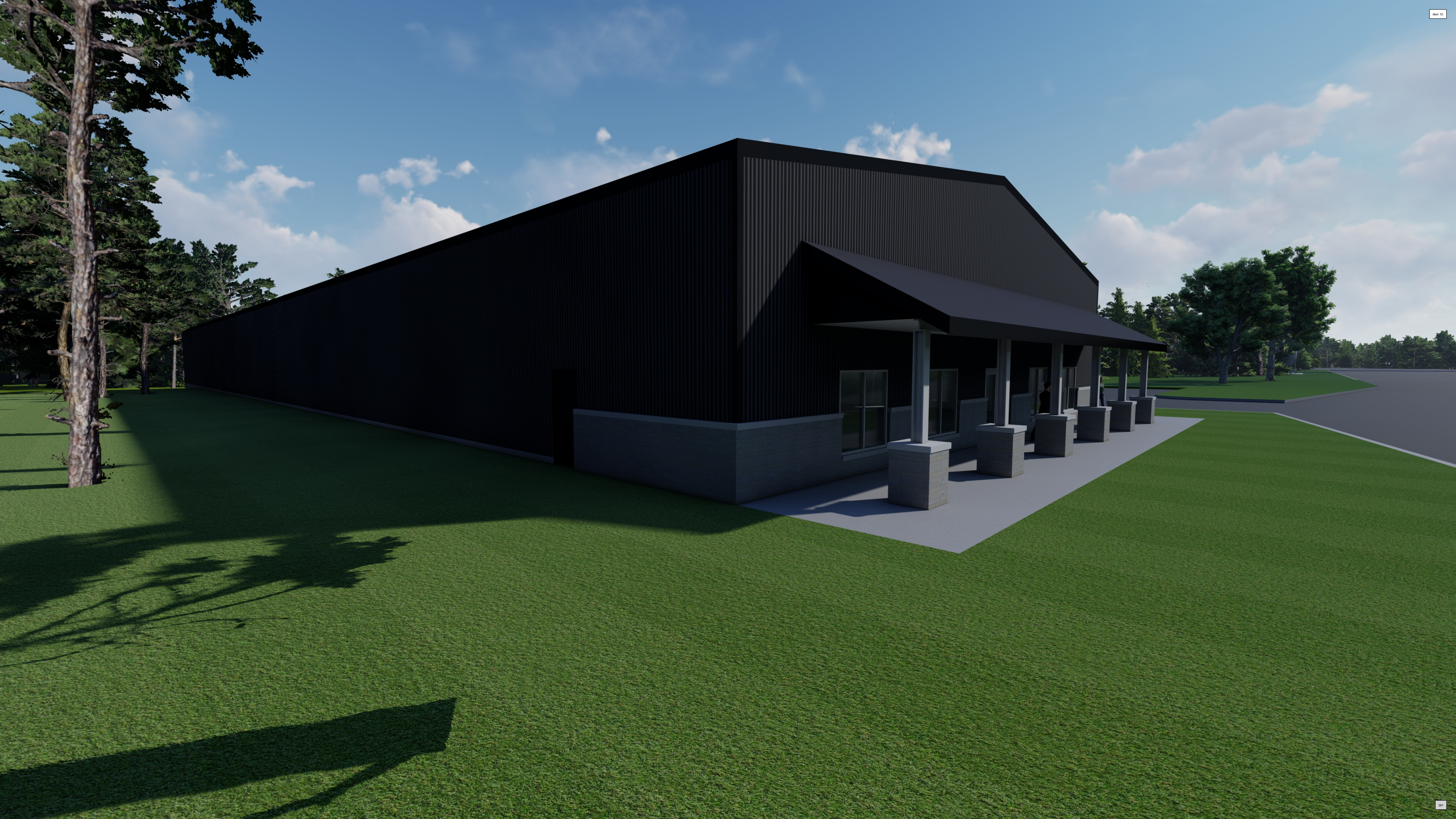


(https://www.anplighting.com/)

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SITE MAP (SITEMAP.XML/SITEMAP/SITETREE/1) | LOGIN (REP-LOGIN/)









# Hamburg Township Public Safety Department

PO BOX 157 · HAMBURG, MICHIGAN 48139  
PHONE: (810) 231-9391 · FAX: (810) 231-9401  
EMAIL: [HATP@hamburg.mi.us](mailto:HATP@hamburg.mi.us)

RICHARD DUFFANY, DIRECTOR OF PUBLIC SAFETY



Item 11.

---

**TO:** Hamburg Township Board  
**FROM:** Chief Richard Duffany  
**DATE:** June 28, 2023  
**RE:** Agenda Item Topic: **New Police Officer Hiring**  
General Ledger #: N/A  
Number of Supporting Documents: N/A  
NEW/OLD BUSINESS: **XXX** New Business

---

## **Requested Action**

- Motion to approve the hiring of Jeffrey Finke to the position of full-time police officer effective immediately.

## **Background**

On June 6, 2023, the Township Board authorized me to offer a conditional offer of employment to Jeffrey Finke pending successful completion of all pre-employment requirements. Mr. Finke has subsequently passed his required medical evaluation, psychological evaluation and drug-screening test. As such, I am requesting that the Board approve the hiring of Mr. Finke to the position of full-time police officer.

## **Budget Impact**

This position is included in the approved FY 23/24 budget and will not have any adverse effect on the FY 23/24 budget.

Respectfully,

Chief Richard Duffany  
Director of Public Safety



# Hamburg Township Public Safety Department

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RICHARD DUFFANY, DIRECTOR OF PUBLIC SAFETY



Item 12.

---

**TO:** Hamburg Township Board  
**FROM:** Chief Richard Duffany  
**DATE:** June 28, 2023  
**RE:** Agenda Item Topic: **Years of Service Recognition**  
General Ledger #: N/A  
Number of Supporting Documents: N/A  
NEW/OLD BUSINESS: **XXX** New Business

---

## Background

FF Chris Birk completed his 30<sup>th</sup> year of service with Hamburg Township Fire in June of 2023. I am respectfully requesting an opportunity to public recognize FF Birk for his 30 years of service to our community during the Township Board meeting.

Respectfully,

Chief Richard Duffany  
Director of Public Safety



# Hamburg Township Public Safety Department

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PHONE: (810) 231-9391 · FAX: (810) 231-9401

EMAIL: [HATP@hamburg.mi.us](mailto:HATP@hamburg.mi.us)

RICHARD DUFFANY, DIRECTOR OF PUBLIC SAFETY



Item 13.

---

**TO:** Hamburg Township Board  
**FROM:** Chief Richard Duffany  
**DATE:** June 28, 2023  
**RE:** Agenda Item Topic: **Police Sergeant Promotion**  
General Ledger #: N/A  
Number of Supporting Documents: N/A  
NEW/OLD BUSINESS: **XXX** New Business

---

## **Requested Action**

- Motion to approve the promotion of Officer Daniel Bromley to the rank of Sergeant effective immediately.

## **Background**

Due to a retirement within the department, there is a current Police Sergeant vacancy. In anticipation of this vacancy, a promotional examination process was conducted to establish an eligibility list. Officer Daniel Bromley finished as the top candidate and I am respectfully requesting that he be promoted to the rank of Sergeant.

## **Budget Impact**

This position is included in the approved FY 23/24 budget and will not have any adverse effect on the FY 23/24 budget.

Respectfully,

Chief Richard Duffany  
Director of Public Safety





# Hamburg Township Public Safety Department

PO BOX 157 · HAMBURG, MICHIGAN 48139  
PHONE: (810) 231-9391 · FAX: (810) 231-9401

EMAIL: [HATP@hamburg.mi.us](mailto:HATP@hamburg.mi.us)

RICHARD DUFFANY, DIRECTOR OF PUBLIC SAFETY



Item 14.

**TO:** Hamburg Township Board

**FROM:** Chief Richard Duffany

**DATE:** June 28, 2023

**RE:** Agenda Item Topic: **Purchase of Fire Communication Headsets**

General Ledger #: **207-000.000-980.000**

Number of Supporting Documents: **2**

NEW/OLD BUSINESS: **XXX** New Business

\_\_\_\_\_ Old Business – Previous Agenda #:

### **Requested Board Action**

- Motion to approve the purchase of seven (7) wired David-Clark communication headset systems, as outlined in the attached quotes, through Mallory Safety & Supply, LLC at a total cost of \$31,096.42.

### **Background Information**

One of the goals in this fiscal year was to equip all five (5) fire apparatus and both of the fire command vehicles with communication headsets. These headsets are hardwired into the radios of the vehicles and provide hearing protection to the operators as well as more reliable two-way communications especially while responding to emergencies.

The fire command staff tested and researched multiple headset systems and determined that the wired David-Clark headset system was the most reliable system on the market and best suited for the department’s needs. These headsets can be obtained through Mallory Safety & Supply, LLC under Omnia Contract pricing (contract #159498) providing the lowest price available. (Note: Omnia is a national public sector purchasing program that secures the lowest prices for government entities on I.T. equipment).

### **Budget Impact**

The cost for the purchase of these communication headsets has been included in the adopted FY 23/24 budget and this purchase will not adversely impact the FY 23/24 budget.



# Hamburg Township Public Safety Department

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EMAIL: [HATP@hamburg.mi.us](mailto:HATP@hamburg.mi.us)

*RICHARD DUFFANY, DIRECTOR OF PUBLIC SAFETY*



Item 14.

Respectfully,

A handwritten signature in cursive script, appearing to read "Richard Duffany".

Chief Richard Duffany  
Director of Public Safety



# MALLORY

SAFETY AND SUPPLY LLC

645 Wilson St ■ Eugene, OR 97402  
Ph: 541-683-9333 ■ Fax: 541-683-8107

QUOTA Item 14.

**Purchase Order Address:**  
PO Box 2068  
Longview, WA 98632

Order Number	
3229977	
Order Date	Page
6/16/2023 08:20:25	1 of 2
ESTIMATED DATE	
8/23/2023 00:00:00	

Quote Expires On 7/28/2023

**Bill To:**

HAMBURG TOWNSHIP- PUBLIC SAFETY (gov)  
ATTN; ACCOUNTS PAYABLE  
10100 VETERANS MEMORIAL DRIVE  
HAMBURG, MI 48139

810-222-1100

**Ship To:**

HAMBURG TOWNSHIP PUBLIC SAFETY  
10100 VETERANS MEMORIAL DR  
HAMBURG, MI 48139  
US

Requested By: JEFFREY NEWTON

**Customer ID:** 161818

**Freight Code:**

**Job Name:** UPDTED 6.16.23

PO Number	Carrier	Ship Route	Taker
WIRED APPARATUS SETUP	UPS FC our account #973787		DGERBER

Line No	Quantities					Item ID Item Description	Pricing UOM Unit Size	Unit Price	Extended Price
	Ordered	Allocated	Remaining	UOM Unit Size	Disp.				

**Delivery Instructions:** OMNIA #159498 THIS PRICING IS FOR  
HAMBURG TOWNSHIP PUBLIC SAFETY  
AND IS NOT ELIGIBLE FOR OTHER  
PUBLIC OR NON-PROFIT AGENCIES

1	5.0000	0.0000	5.0000	EA		DAVID-18745G-01 1.0 MASTER STATION 12 TO 24 VDC	EA 1.0	643.83	3,219.15
2	5.0000	0.0000	5.0000	EA		DAVID-40135G-01 1.0 RADIO CORD JUNCTION MODULE	EA 1.0	299.70	1,498.50
3	10.0000	0.0000	10.0000	EA		DAVID-18932G-01 1.0 RADIO INTERFACE MODULE/HEADSET STATION	EA 1.0	407.10	4,071.00
4	5.0000	0.0000	5.0000	EA		DAVID-40136G-01 1.0 RADIO INTERFACE/HEADSET STATION	EA 1.0	470.61	2,353.05
5	10.0000	0.0000	10.0000	EA		DAVID-18747G-05 1.0 JUMPER CORD 12FT	EA 1.0	125.74	1,257.40
6	5.0000	0.0000	5.0000	EA		DAVID-18748G-01 1.0 POWER CORD 20FT	EA 1.0	92.90	464.50
7	5.0000	0.0000	5.0000	EA		DAVID-18747G-06 1.0 RADIO INTERFACE CORD 21FT	EA 1.0	118.93	594.65
8	10.0000	0.0000	10.0000	EA		DAVID-18747G-47 1.0 CORD 20FT-RADIO INTERFACE MOD. TO U3805	EA 1.0	185.21	1,852.10
13	10.0000	0.0000	10.0000	EA		DAVID-40583G-03 1.0 BEHIND-THE-HEAD 6' EXT. COIL CORD	EA 1.0	387.04	3,870.40



**MALLORY**  
SAFETY AND SUPPLY LLC

645 Wilson St ■ Eugene, OR 97402  
Ph: 541-683-9333 ■ Fax: 541-683-8107

**QUOTA** Item 14.

**Purchase Order Address:**  
PO Box 2068  
Longview, WA 98632

Order Number	
3229977	
Order Date	Page
6/16/2023 08:20:25	2 of 2
ESTIMATED DATE	
8/23/2023 00:00:00	

Quote Expires On 7/28/2023

Line No	Quantities					Item ID Item Description	Pricing UOM Unit Size	Unit Price	Extended Price
	Ordered	Allocated	Remaining	UOM Unit Size	Disp.				
						MIC ON/OFF			
9	5.0000	0.0000	5.0000	EA		DAVID-18667G-48	EA	363.03	1,815.15
					1.0	UTILITY RADIO ADAPTER 15' EXT COIL CORD DC BIAS			
10	5.0000	0.0000	5.0000	EA		DAVID-18352G-16	EA	34.61	173.05
					1.0	BULKHEAD CONNECTOR KIT MS FOR C3019B			
11	250.0000	0.0000	250.0000	EA		DAVID-09271P-34	EA	5.99	1,497.50
					1.0	CABLE- 6 CONDUCTOR (PER FOOT)			
12	5.0000	0.0000	5.0000	EA		DAVID-18352G-17	EA	36.75	183.75
					1.0	MS CONNECTOR - 6 SOCKET			

Total Lines: 13

**SUB-TOTAL:** 22,850.20  
**TAX:** 0.00  
**AMOUNT DUE:** 22,850.20

U.S. Dollars



# MALLORY

SAFETY AND SUPPLY LLC

645 Wilson St ■ Eugene, OR 97402  
Ph: 541-683-9333 ■ Fax: 541-683-8107

QUOTA Item 14.

**Purchase Order Address:**  
PO Box 2068  
Longview, WA 98632

Order Number	
3229906	
Order Date	Page
6/16/2023 08:11:15	1 of 2
ESTIMATED DATE	
8/23/2023 00:00:00	

Quote Expires On 8/15/2023

**Bill To:**

HAMBURG TOWNSHIP- PUBLIC SAFETY (gov)  
ATTN; ACCOUNTS PAYABLE  
10100 VETERANS MEMORIAL DRIVE  
HAMBURG, MI 48139

810-222-1100

**Ship To:**

HAMBURG TOWNSHIP PUBLIC SAFETY  
10100 VETERANS MEMORIAL DR  
HAMBURG, MI 48139  
US

Requested By: JEFFREY NEWTON

**Customer ID:** 161818

**Freight Code:**

**Job Name:** UPDATED 6.22.23

PO Number	Carrier	Ship Route	Taker
WIRED COMMAND VEHICLE	UPS FC our account #973787		DGERBER

Line No	Quantities					Item ID Item Description	Pricing UOM Unit Size	Unit Price	Extended Price
	Ordered	Allocated	Remaining	UOM Unit Size	Disp.				

**Delivery Instructions:** OMNIA #159498 THIS PRICING IS FOR HAMBURG TOWNSHIP PUBLIC SAFETY AND IS NOT ELIGIBLE FOR OTHER PUBLIC OR NON-PROFIT AGENCIES

1	2.0000	0.0000	2.0000	EA		DAVID-18745G-01	EA	643.83	1,287.66
					1.0	MASTER STATION 12 TO 24 VDC	1.0		
2	4.0000	0.0000	4.0000	EA		DAVID-40135G-01	EA	299.70	1,198.80
					1.0	RADIO CORD JUNCTION MODULE	1.0		
3	2.0000	0.0000	2.0000	EA		DAVID-40535G-01	EA	782.72	1,565.44
					1.0	DUAL-RADIO INTERFACE/HEADSET STATION	1.0		
4	4.0000	0.0000	4.0000	EA		DAVID-18747G-05	EA	125.74	502.96
					1.0	JUMPER CORD 12FT	1.0		
5	2.0000	0.0000	2.0000	EA		DAVID-18748G-01	EA	92.90	185.80
					1.0	POWER CORD 20FT	1.0		
7	4.0000	0.0000	4.0000	EA		DAVID-18747G-06	EA	118.93	475.72
					1.0	RADIO INTERFACE CORD 21FT	1.0		
6	8.0000	0.0000	8.0000	EA		DAVID-18747G-47	EA	185.21	1,481.68
					1.0	CORD 20FT-RADIO INTERFACE MOD. TO U3805	1.0		
8	4.0000	0.0000	4.0000	EA		DAVID-40583G-03	EA	387.04	1,548.16
					1.0	BEHIND-THE-HEAD 6' EXT. COIL CORD MIC ON/OFF	1.0		



# MALLORY

SAFETY AND SUPPLY LLC

645 Wilson St ■ Eugene, OR 97402  
Ph: 541-683-9333 ■ Fax: 541-683-8107

**QUOTA** Item 14.

**Purchase Order Address:**  
PO Box 2068  
Longview, WA 98632

<b>Order Number</b>	
3229906	
<b>Order Date</b>	<b>Page</b>
6/16/2023 08:11:15	2 of 2
<b>ESTIMATED DATE</b>	
8/23/2023 00:00:00	

Quote Expires On 8/15/2023

Line No	Quantities					Item ID Item Description	Pricing UOM Unit Size	Unit Price	Extended Price
	Ordered	Allocated	Remaining	UOM Unit Size	Disp.				

Total Lines: 8

**SUB-TOTAL:** 8,246.22  
**TAX:** 0.00  
**AMOUNT DUE:** **8,246.22**  
*U.S. Dollars*



# Hamburg Township Public Safety Department

PO BOX 157 · HAMBURG, MICHIGAN 48139  
PHONE: (810) 231-9391 · FAX: (810) 231-9401  
EMAIL: [HATP@hamburg.mi.us](mailto:HATP@hamburg.mi.us)

RICHARD DUFFANY, DIRECTOR OF PUBLIC SAFETY



Item 15.

---

**TO:** Hamburg Township Board  
**FROM:** Chief Richard Duffany  
**DATE:** June 28, 2023  
**RE:** Agenda Item Topic: **Sale of Police Vehicle**  
General Ledger #: N/A  
Number of Supporting Documents: N/A  
NEW/OLD BUSINESS: **XXX** New Business

---

## Requested Action

- Motion to approve the sale of a 2015 Ford Interceptor Sedan (VIN: 1FAHP2MK2FG126063) via the MI BID auction system.

## Background

The department is in possession of 2015 Ford Interceptor Sedan (VIN: 1FAHP2MK2FG126063) that is a retired patrol vehicle which has been utilized by the department as a pool vehicle. The vehicle has over 125,000 miles and is experiencing significant mechanical issues (with an estimate of \$4,000 to fix these issues). As such, it is my recommendation that the vehicle be sold via the State of Michigan MI BID auction system.

Respectfully,

Chief Richard Duffany  
Director of Public Safety



# MALLORY

SAFETY AND SUPPLY LLC

645 Wilson St ■ Eugene, OR 97402  
Ph: 541-683-9333 ■ Fax: 541-683-8107

**QUOTA** Item 16.

**Purchase Order Address:**  
PO Box 2068  
Longview, WA 98632

<b>Order Number</b>	
3246055	
<b>Order Date</b>	<b>Page</b>
7/5/2023 05:52:57	1 of 1
<b>ESTIMATED DATE</b>	
9/29/2023 00:00:00	

Quote Expires On 9/3/2023

**Bill To:**

HAMBURG TOWNSHIP POLICE DEPT  
ATTN: ACCOUNTS PAYABLE  
PO BOX 157  
HAMBURG , MI 48139

810-231-9391

**Ship To:**

HAMBURG TOWNSHIP POLICE DEPT  
10409 MERRILL RD  
ATTN: DEPUTY CHIEF NISENBAUM  
HAMBURG , MI 48139  
US

Requested By: DARIUSZ NISENBAUM

**Customer ID:** 78357      **Freight Code:**

**Job Name:**

<i>PO Number</i>	<i>Carrier</i>	<i>Ship Route</i>	<i>Taker</i>
AED/DEPUTY CHIEF NISENBAUM	PS FC EUGENE our account #86265		AARENZ

<i>Line No</i>	<i>Quantities</i>					<i>Item ID</i> <i>Item Description</i>	<i>Pricing UOM</i> <i>Unit Size</i>	<i>Unit Price</i>	<i>Extended Price</i>
	<i>Ordered</i>	<i>Allocated</i>	<i>Remaining</i>	<i>UOM Unit Size</i>	<i>Disp.</i>				

**Delivery Instructions:** OMNIA # 159498 THIS PRICING IS FOR HAMBURG POLICE DEPT. AND IS NOT ELIGIBLE FOR OTHER PUBLIC OR NON-PROFIT AGENCIES.

1	5.0000	0.0000	5.0000	EA		ZOLLM-XBTAED001 REPLACEMENT BATTERY G5	EA 1.0	391.22	1,956.10
3	5.0000	0.0000	5.0000	EA		ZOLLM-G5SA80ATSO POWERHEART G5 TSO KIT SEMI AUTO, US EN	EA 1.0	1,890.59	9,452.95

Total Lines: 2

**SUB-TOTAL:** 11,409.05  
**TAX:** 0.00  
**AMOUNT DUE:** 11,409.05

*U.S. Dollars*





10405 Merrill Item 17.  
P.O. Box 157  
Hamburg, MI 48139  
(810) 231-1000  
[www.hamburg.mi.us](http://www.hamburg.mi.us)

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Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

**TO: Board of Trustees**

**FROM: Michelle DeLancey, Director of Accounting**  
**Rick Duffany, Public Safety Director**  
**Jeff Newton, Deputy Public Safety Director - Fire**

**DATE: June 28, 2023**

**SUBJECT: Part-time firefighter FY 23-24 rates**

It has occurred to us that during the budget process for FY 23-24 the part-time firefighter rates were not presented and approved by the board. We'd appreciate a **motion to: Approve the part-time firefighter FY 23-24 rates as presented.**

1 attachment

**HAMBURG TOWNSHIP  
FIRE DEPARTMENT PART TIME RATES**

	<u>20-21 Rates</u>	<u>21-22 Rates</u>	<u>22-23 Rates</u>	<u>23-24 Rates</u>	
	<u>2.50%</u>	<u>2.10%</u>	<u>Vary</u>	<u>5.0%</u>	
Lieutenant	22.06	22.52	25.55	<b>26.83</b>	10% higher than the Sgt.
Sergeants	20.05	20.47	23.23	<b>24.39</b>	10% higher than FF/EMT
FF /EMT	18.22	18.60	21.12	<b>22.18</b>	
FF (or EMT)	13.97	14.26	19.20	<b>20.16</b>	
FF Trainee	9.89	10.10	16.00	<b>16.80</b>	



10405 Merrill Road  
P.O. Box 157  
Hamburg, MI 48139  
(810) 231-1000  
[www.hamburg.mi.us](http://www.hamburg.mi.us)

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**TO:** Board of Trustees  
**FROM:** Mike Dolan, Township Clerk  
**DATE:** June 29, 2023  
**AGENDA ITEM TOPIC:** New Chairs for Senior Center

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**Requested Action**

- Motion to approve the purchase of new chairs for the Hamburg Senior Center from National Business Furniture at a cost of \$13,011.95 to be paid for from Livingston County ARPA Funds.

**Background**

This purchase is apart of the ARPA fund request approved from Livingston County.



Livingston Leadership  
Council on Aging

2023-2026

Senior Project Application

<b>Agency Name</b>	Hamburg Township Senior Center
<b>Contact Name</b>	Julie Eddings
<b>Contact Email</b>	<a href="mailto:jeddings@hamburg.mi.us">jeddings@hamburg.mi.us</a>
<b>Project/Program/Service Name</b>	Senior Center Capital Improvement
<b># of Applications from this Agency</b>	1
<b>If more than one application, priority ranking</b>	Priority _____1_____ of _____1_____ number of applications

Application Type	One Time Funding Item	3 Year Funding Item
Check one		X

<b>Program Purpose:</b>	The Hamburg Senior Center has seen significant membership increase in the last two years doubling in size. With the increased membership, we need portable walls to accommodate greater programming, new chairs to meet membership demands, and a handicap accessible door for safer access and exit to the outside patio. We would like to replace the original flooring throughout the building. The flooring is over 30 years old and is failing in areas. It also requires frequent stripping and waxing with chemicals and fumes that are difficult on our members with breathing difficulties.
-------------------------	--

Number of Clients you intend to serve through this program/ project/ service:	Year One	Year Two	Year Three
	1100 members	1250 members (based on growth)	1500 members (based on growth)


<b>Expected Accomplishments/ Goal: (List 1-3 Program/ Project/ Service Goals)</b>	<p>Year 1:</p> <ul style="list-style-type: none"> <li>• ADA Accessible Automatic Door to the Outside Patio (Project cost: 12,000-15,000)</li> <li>• Armchairs (40) for Activity Room (Projected Cost: 6,000-8,000)</li> </ul> <p>Year 2:</p> <ul style="list-style-type: none"> <li>• Stackable Chairs (60) for Congregate Dining and Activity Programming (Projected Cost: 8,000-12,000)</li> <li>• Movable Wall Partitions (4) (Projected Cost: 9,000-10,000)</li> </ul> <p>Year 3:</p> <ul style="list-style-type: none"> <li>• New Laminate Flooring Throughout Building (Projected Cost: 40,000: Split Funding 23,000 from ARPA)</li> </ul>
---	--

<b>Measurable Impact: (List quantitative/ qualitative metrics for the Goals outlined above)</b>	The Hamburg Senior Center tracks attendance for activities each day. Typically, the Senior Center has a monthly attendance ranging from 1500 – 2300 participants with a daily average ranging from 80-112 people per day. On average we engage in 5 – 6 activities per day. Once we have been approved for chairs and movable walls, we can increase programming and activities which will increase opportunities for seniors in Livingston County.
---	---

<b>Please share how this Project would complement Senior Services in Livingston County?</b>	With the support of these funds, the Hamburg Senior Center will be able to continually provide a community focal point where older adults come together for services and activities that reflect their experiences and skills, responding to their diverse needs and interests, enhancing their dignity, supporting their independence, and encouraging their involvement in and with the senior center and the community.
---	--

<b>The Livingston County Needs Assessment Quality Points - please mark all that apply:</b>	
X	Active Aging (geriatric services, health and fitness opportunities)
X	Aging in Place (safe, affordable housing, either in their own(ed) home or communal)
X	Community Engaging Seniors (keeping them involved, and regarded as valued)
X	Community Infrastructure (gathering spots, transportation, health care, food)

<b>Proposed Project/Program/Service</b>	<b>Total Grant Program Request (projected 3-year program budget is required)</b>
Capital Improvements for the Hamburg Senior Center including ADA Accessible automatic door, 100 new stackable chairs, 4 movable partitions, 7000 sq ft of vinyl plank flooring.	\$23,000 Annually (\$69,000 over 3 years)

<b>Signature</b>	
<b>Name</b>	Julie Eddings
<b>Date</b>	2/7/23



# NATIONAL BUSINESS FURNITURE

**Quote # QM675059** (v1)

**National Business Furniture, LLC**

770 South 70th Street Milwaukee, WI 53214  
phone (800) 558-1010 x3613 fax: (800) 329-9349

Item 18.

**Ship-To Address** mdolan@hamburg.mi.us;csimmons@hamburg.mi.us

MIKE DOLAN  
CLERK  
HAMBURG TOWNSHIP  
10405 MERRILL RD  
WHITMORE LAKE, MI 48189  
(810) 222-1123 ext. 0

Source: 99  
Cat: 46  
Cust#: CH9543

**Bill-To Address** mdolan@hamburg.mi.us;csimmons@hamburg.mi.us

**SAME**

Item #	Qty	Description	Options	Lead Time	Catalog Price	Discount Price	Total Merch
51312	49	Stack Chair 2" Seat with Arms	Navy Vinyl/Sandtex Black Frame	2-4 Wks	\$149.00	\$125.84	\$6,166.16
51344	49	Armless Stack Chair 2" Seat	Deep Navy Vinyl/Sandtex Black Frame	2-4 Wks	\$129.00	\$109.12	\$5,346.88
	1	<b>LIFETIME GUARANTEE</b>			<b>FREE</b>		

### Important Information:

DELIVERY LEVEL - TAILGATE DELIVERY, YOU WILL NEED PERSONNEL OR EQUIPMENT TO LOWER THE ITEMS FROM THE TRUCK AND BRING THEM INSIDE. PLEASE CONTACT US IF INSIDE DELIVERY IS REQUIRED

Price reflects quoted discount, valid for 30 days from 6/29/2023, with the exception of dated sales and promos.

Sales Tax will be included only for shipments into locations where we are registered to collect sales tax. Customer may be liable for self-assessment if shipment is into a location where we are not registered to collect tax. If you feel any taxes are charged in error, please make sure we have received the proper exemption documentation. All documentation will be reviewed to ensure it meets state & local requirements prior to removing any taxes.

Need a copy of our W-9? Please visit our website at:  
<https://www.nbf.com/Customer-Services/FAQs/Duns-and-Federal-Tax-Identification-Numbers>

Merchandise	\$13,622.00
Total Discount	2,108.96
Merchandise Subtotal	11,513.04
Shipping	1,498.91
<b>Subtotal</b>	<b>13,011.95</b>
Total Tax	0.00
<b>Order Total</b>	<b>\$13,011.95</b>

**Customer PO#:** **Quoted By:** KATIE SUMNER **Ext:** 3613 **On:** 06/29/23 Page 1

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# Security Lock Service sent you an estimate

We look forward to working with you.

## Customer

Tony Randazzo  
Hamburg Township  
TRandazzo@hamburg.mi.us  
P.O. Box 157  
Hamburg, MI 48139

## Additional Recipients

dhoepner@hamburg.mi.us

## Estimate #000187

June 28, 2023

Hide full details ^

### Senior Center doors

#### Pair of doors and frame to fit 74" x 80" rough opening

\$7,427.00

- Unequal pair of medium stile doors, Main door is 42" x 79" tall, ADA compliant threshold and opening size, ADA 10" bottom rail. Extra width allows wheelchairs room to pass through the door without constraint.
- Right door is 30 x 79, and can be opened whenever large deliveries are needed. Top and bottom flush bolts secure the door during normal use, and it functions as a sidelight panel.
- Locking hardware: pair of push pad exit devices, see attached spec sheet

Item 19.

- Exterior: 10" pull handle, offset smooth tubular design
- 1" Clear tempered safety glass, insulated
- Dark Bronze Anodized Aluminum doors and frame provide long life in a commercial environment, can be repaired and maintained over the life of the door.
- Built in weather seals around perimeter of the door and frame provide double layer of protection against hot/cold air transfer
- Door sweeps along bottom of door protect from air transfer

**Labor** \$1,740.00

*Labor: remove and replace door set. Anchor door frame to 2x6 wall stud. Caulk around exterior door jamb, threshold, and any trim needed to resolve gap along brick. Reuse interior trim where possible, some light drywall patching and/or trim may be needed (by others).*

**7000 Series Low Energy Door Operator with Power Assist** \$1,620.00

- Detects obstruction and automatically reduces power and stops operation
- Fully programmable open, close, back check power and speeds.
- Long arm option for wall header mount
- Onboard relay control for lock control
- Made in USA (TX) 1 year warranty
- Compliant with ADA act of 1990

**HCAP Button 4 1/2" Square with surface mount box** \$165.00  
 (\$82.50 ea.) × 2

**42" Bollard post for approach from outside** \$312.00

**Wireless receiver for HCAP OP** \$52.50

**Wireless transmitter for HCAP Buttons - 9 volt standard battery** \$105.00  
 (\$52.50 ea.) × 2

**Labor** \$870.00  
*Labor: install handicap door operator*

**Subtotal** \$12,291.50

**Total** **\$12,291.50**

**Security Lock Service**  
 401 Washington St  
 Brighton, MI 48116



Item 19.

+1 (810) 227-5153

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[Square Privacy Policy](#) | [Security](#)





10405 Merrill Road ♦ P.O. Box 157  
Hamburg, MI 48139  
Phone: 810.231.1000 ♦ Fax: 810.231.4295  
[www.hamburg.mi.us](http://www.hamburg.mi.us)

06/29/23

To: Hamburg Township Board  
From: Tony Randazzo

Re: Replacement of 2<sup>nd</sup> Set of Senior Center Patio Doors

As you recall, we replaced the one set of patio doors at the Senior Center over the winter, which has been well received by the members. Now with additional ARPA money in hand, the Senior Center would like to move forward with replacing the other set. The doors to be replaced are original to the building (1986), have an unacceptably high threshold, and can only be opened manually. Coupled with the increased utilization of the outdoor patio space at the Senior Center along the uptick in patrons, this project is more than worthwhile.

Security Lock has given us a quote for \$12,291.50 for the new set of doors, which is exactly the same as we were charged for the first set over the winter. As was the case the first time, one 42" door will be installed that has a powered operator and the adjacent door will be 30" wide and open manually. I recommend that the Board approve the quote from Security Lock for the quoted amount of \$12,291.50.

# HAMBURG TOWNSHIP FINANCE CONTROL BOOK



PERIOD ENDING April 30, 2023

## **Table of Contents**

### **Tab 1**

- Summary
- Revenue and Expenditure Report
- Cash Summary by Account

### **Tab 2**

- Summary
- Cash Flow Analysis
- Debt Payment Schedule
- Debt Payment Schedule

### **Tab 3**

- Summary
- Ten Year Tax Collection Comparison
- Property Tax Roll Ten Year Graph Tax
- Roll Distribution Chart

### **Tab 4**

- Summary
- Monthly Bank and Investment Report
- Approved Financial Institution List

### **Tab 5**

- Summary
- 5 Year Forecast and Capital Reserve

## TAB 1

### BUDGET AND FINANCIAL STATUS SUMMARY:

Fiscal Year 2022/23

The Budget v. Actual report reflects transactions through April 2023 and includes General, Roads, Fire, Police, Parks and Sewer Funds. All departments and funds are at or under budget as of April 30, 2023, considering the timing issues related to the Township's revenues and expenditures.

Timing of Revenues: Township tax collections for general fund, police fund and fire fund start on December 1, 2022 and run through February 28, 2023. **Revenues are posted to the general ledger in December when they are billed.** State shared revenue payments are bi-monthly and start on October 31, 2022. The last revenue sharing payment for FY 21/22 will be paid on October 31, 2023.

This tab also includes a Cash Summary by Account report which states the balance in each general ledger cash account as of April 30, 2023.

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDGT
		AMENDED BUDGET	04/30/2023	MONTH 04/30/2023	BALANCE	USED
Fund 101 - General Fund						
Revenues						
Dept 000.000						
101-000.000-402.000	CURRENT PROPERTY TAX	981,700.00	984,167.15	0.00	(2,467.15)	100.25
101-000.000-412.000	DELINQUENT PP TAX	2,500.00	2,115.34	0.00	384.66	84.61
101-000.000-415.000	CHARGE BACKS/MTT/BOARD OF REVIEW	2,000.00	112.20	(7.40)	1,887.80	5.61
101-000.000-434.000	TRAILER PARK TAX FEES	2,200.00	1,666.00	165.00	534.00	75.73
101-000.000-447.000	PROPERTY TAX ADMIN FEE	495,000.00	373,406.44	0.00	121,593.56	75.44
101-000.000-448.000	SET COLLECTION FEE	30,500.00	26,264.50	0.00	4,235.50	86.11
101-000.000-477.000	FRANCHISE FEE - CABLE	350,000.00	174,542.80	5,000.00	175,457.20	49.87
101-000.000-478.000	SPECIAL USE PERMITS	750.00	750.00	0.00	0.00	100.00
101-000.000-479.000	LAND USE PERMITS	25,000.00	18,975.00	2,385.00	6,025.00	75.90
101-000.000-485.000	DOG LICENSES	300.00	232.50	18.00	67.50	77.50
101-000.000-501.000	FEDERAL GRANT REVENUE	0.00	0.00	0.00	0.00	0.00
101-000.000-528.000	OTHER FEDERAL GRANTS	1,238,433.00	294,709.00	0.00	943,724.00	23.80
101-000.000-540.000	STATE GRANTS	0.00	0.00	0.00	0.00	0.00
101-000.000-574.000	STATE SHARED REVENUES	2,276,972.00	2,031,608.00	353,631.00	245,364.00	89.22
101-000.000-577.000	STATE ROW MAINTENANCE FEE-CABLE	12,000.00	0.00	0.00	12,000.00	0.00
101-000.000-606.000	FOIA REQUESTS	1,067.00	1,066.70	0.00	0.30	99.97
101-000.000-607.000	NON-TAX ADMIN FEE	8,600.00	8,480.91	0.00	119.09	98.62
101-000.000-631.000	SCHOOL ELECTION CHARGES	0.00	0.00	0.00	0.00	0.00
101-000.000-636.000	COPIES/MAPS	100.00	62.50	7.00	37.50	62.50
101-000.000-643.000	SALE OF CEMETERY LOTS	8,900.00	8,750.00	0.00	150.00	98.31
101-000.000-643.001	CEMETERY SERVICES OPEN/CLOSE	11,000.00	10,042.34	1,500.00	957.66	91.29
101-000.000-645.000	MAUS SALES REVENUE	6,825.00	9,454.50	0.00	(2,629.50)	138.53
101-000.000-657.000	ORDINANCE FINES	0.00	0.00	0.00	0.00	0.00
101-000.000-659.000	RETURNED CHECK FEE	50.00	72.00	0.00	(22.00)	144.00
101-000.000-664.000	INTEREST REVENUE	193,000.00	161,884.54	26,394.39	31,115.46	83.88
101-000.000-665.010	INTEREST REVENUE MAUS INSTALL AGREEMENT	0.00	0.00	0.00	0.00	0.00
101-000.000-667.000	RENTAL INCOME	0.00	25,000.00	25,000.00	(25,000.00)	100.00
101-000.000-671.000	OTHER REVENUE - CONTRACT SERVICE	15,000.00	15,000.00	1,500.00	0.00	100.00
101-000.000-674.000	CONTRIBUTIONS/DONATIONS/GRANTS	0.00	0.00	0.00	0.00	0.00
101-000.000-676.000	REIMBURSEMENTS & COST RECOVERY	3,575.00	6,390.95	2,819.00	(2,815.95)	178.77
101-000.000-677.000	SUNDRY	250.00	35.78	0.00	214.22	14.31
101-000.000-693.000	SALE OF FIXED ASSETS	0.00	0.00	0.00	0.00	0.00
101-000.000-698.245	TRANSFER IN CAPITAL RESERVE	0.00	0.00	0.00	0.00	0.00
101-000.000-699.204	TRANS IN FROM FUND 204	0.00	0.00	0.00	0.00	0.00
101-000.000-699.206	TRANSFER IN 206-OPERATIONS	0.00	0.00	0.00	0.00	0.00
101-000.000-699.207	TRANSFER IN 207-OPERATIONS	0.00	0.00	0.00	0.00	0.00
101-000.000-699.208	TRANSFER IN RECREATION FUND	0.00	0.00	0.00	0.00	0.00
101-000.000-699.590	FROM SEWER ENTERPRISE	115,000.00	95,833.40	9,583.34	19,166.60	83.33
101-000.000-699.999	APPROPRIATION FROM SURPLUS	298,266.42	0.00	0.00	298,266.42	0.00
Total Dept 000.000		6,078,988.42	4,250,622.55	427,995.33	1,828,365.87	69.92
Dept 702.000 - PLANNING AND ZONING						
101-702.000-613.000	LAND DIVISION/COMBINATION FEES	600.00	600.00	0.00	0.00	100.00
101-702.000-615.000	REZONING FEES	1,000.00	1,000.00	0.00	0.00	100.00
101-702.000-616.000	ADDRESS SIGN FEE	0.00	0.00	0.00	0.00	0.00
101-702.000-617.000	SITE PLAN FEES	14,700.00	14,700.00	0.00	0.00	100.00
101-702.000-618.000	ZONING BOARD OF APPEALS APPLIC	6,900.00	7,950.00	1,050.00	(1,050.00)	115.22
101-702.000-619.000	SPECIAL MEETING FEES - VARIED	0.00	0.00	0.00	0.00	0.00
101-702.000-626.000	REINSP/INSPECTION/EASEMENT/LGL	0.00	0.00	0.00	0.00	0.00
101-702.000-626.100	ZONING ADMIN FEE	0.00	0.00	0.00	0.00	0.00

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23 AMENDED BUDGET	YTD BALANCE 04/30/2023	ACTIVITY FOR MONTH 04/30/2023	AVAILABLE BALANCE	% BDGT USED
Fund 101 - General Fund						
Revenues						
Total Dept 702.000 - PLANNING AND ZONING		23,200.00	24,250.00	1,050.00	(1,050.00)	104.53
TOTAL REVENUES		6,102,188.42	4,274,872.55	429,045.33	1,827,315.87	70.05
Expenditures						
Dept 101.000 - Township Board						
101-101.000-703.100	TRUSTEES SALARIES	30,266.00	25,222.40	2,522.24	5,043.60	83.34
101-101.000-704.000	PART-TIME EMPLOYEE SALARIES	0.00	0.00	0.00	0.00	0.00
101-101.000-704.100	PER DIEM	8,840.00	5,005.00	650.00	3,835.00	56.62
101-101.000-709.000	TOWNSHIP FICA	2,400.00	2,312.67	242.70	87.33	96.36
101-101.000-716.000	DEFINED CONTRIBUTION	4,000.00	2,969.66	0.00	1,030.34	74.24
101-101.000-801.500	ECONOMIC DEVELOPMENT CONSULTANT	20,300.00	0.00	0.00	20,300.00	0.00
101-101.000-826.000	LEGAL FEES	35,000.00	16,501.58	1,978.00	18,498.42	47.15
101-101.000-861.000	MILEAGE	0.00	0.00	0.00	0.00	0.00
101-101.000-900.000	LEGAL NOTICES/ADVERTISING	8,000.00	9,370.00	0.00	(1,370.00)	117.13
101-101.000-910.000	PROFESSIONAL DEVELOPMENT	250.00	0.00	0.00	250.00	0.00
101-101.000-946.000	ENGINEERING/PROFESSIONAL SERV	31,500.00	25,384.44	0.00	6,115.56	80.59
101-101.000-955.000	SUNDRY	8,000.00	2,553.75	0.00	5,446.25	31.92
101-101.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	15,000.00	12,267.49	0.00	2,732.51	81.78
101-101.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP	2,123,946.00	136,875.00	0.00	1,987,071.00	6.44
Total Dept 101.000 - Township Board		2,287,502.00	238,461.99	5,392.94	2,049,040.01	10.42
Dept 171.000 - Township Supervisor						
101-171.000-702.000	FULL-TIME EMPLOYEE SALARIES	9,552.00	10,654.65	734.80	(1,102.65)	111.54
101-171.000-703.200	ELECTED OFFICIALS SALARIES	80,453.00	65,290.57	6,188.68	15,162.43	81.15
101-171.000-704.000	PART-TIME EMPLOYEE SALARIES	0.00	0.00	0.00	0.00	0.00
101-171.000-709.000	TOWNSHIP FICA	7,000.00	5,862.01	533.16	1,137.99	83.74
101-171.000-716.000	DEFINED CONTRIBUTION	10,615.00	8,474.98	0.00	2,140.02	79.84
101-171.000-718.000	HEALTH/DENTAL/VISION INSURANCE	19,812.00	17,246.01	0.00	2,565.99	87.05
101-171.000-725.100	LONG/SHORT TERM DISABILITY	511.00	517.67	45.19	(6.67)	101.31
101-171.000-725.200	LIFE INSURANCE	91.00	86.85	7.59	4.15	95.44
101-171.000-752.000	SUPPLIES & SMALL EQUIPMENT	0.00	0.00	0.00	0.00	0.00
101-171.000-853.000	PHONE/COMM/INTERNET	600.00	500.00	50.00	100.00	83.33
101-171.000-861.000	MILEAGE	200.00	0.00	0.00	200.00	0.00
101-171.000-900.000	LEGAL NOTICES/ADVERTISING	0.00	0.00	0.00	0.00	0.00
101-171.000-910.000	PROFESSIONAL DEVELOPMENT	0.00	0.00	0.00	0.00	0.00
101-171.000-931.000	EQUIPMENT MAINT/REPAIR	0.00	0.00	0.00	0.00	0.00
101-171.000-933.000	SOFTWARE MAINTENANCE	0.00	0.00	0.00	0.00	0.00
101-171.000-955.000	SUNDRY	200.00	0.00	0.00	200.00	0.00
101-171.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP	0.00	0.00	0.00	0.00	0.00
Total Dept 171.000 - Township Supervisor		129,034.00	108,632.74	7,559.42	20,401.26	84.19
Dept 201.000 - ACCOUNTING						
101-201.000-702.000	FULL-TIME EMPLOYEE SALARIES	204,860.00	213,107.63	42,362.31	(8,247.63)	104.03
101-201.000-707.000	TEMPORARY EMPLOYEES	0.00	0.00	0.00	0.00	0.00
101-201.000-709.000	TOWNSHIP FICA	15,920.00	16,582.48	3,244.57	(662.48)	
101-201.000-712.000	PAY IN LIEU OF MEDICAL INS	6,000.00	4,500.00	0.00	1,500.00	
101-201.000-713.000	OVERTIME	0.00	0.00	0.00	0.00	

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23 AMENDED BUDGET	YTD BALANCE 04/30/2023	ACTIVITY FOR	AVAILABLE BALANCE	% BDGT USED
				MONTH 04/30/2023		
Fund 101 - General Fund						
Expenditures						
101-201.000-716.000	DEFINED CONTRIBUTION	25,100.00	22,661.72	0.00	2,438.28	90.29
101-201.000-718.000	HEALTH/DENTAL/VISION INSURANCE	22,440.00	23,817.30	0.00	(1,377.30)	106.14
101-201.000-725.100	LONG/SHORT TERM DISABILITY	1,240.00	1,231.26	85.81	8.74	99.30
101-201.000-725.200	LIFE INSURANCE	243.00	233.31	17.76	9.69	96.01
101-201.000-853.000	PHONE/COMM/INTERNET	0.00	50.00	50.00	(50.00)	100.00
101-201.000-861.000	MILEAGE	250.00	437.50	0.00	(187.50)	175.00
101-201.000-910.000	PROFESSIONAL DEVELOPMENT	8,200.00	1,627.95	0.00	6,572.05	19.85
101-201.000-914.000	TUITION REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-201.000-933.000	SOFTWARE MAINTENANCE	0.00	0.00	0.00	0.00	0.00
101-201.000-955.000	SUNDRY	250.00	120.00	120.00	130.00	48.00
101-201.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	2,000.00	1,227.75	0.00	772.25	61.39
101-201.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP	0.00	0.00	0.00	0.00	0.00
101-201.000-980.600	RESERVE FOR SOFTWARE REPLACEMENT	0.00	0.00	0.00	0.00	0.00
Total Dept 201.000 - ACCOUNTING		286,503.00	285,596.90	45,880.45	906.10	99.68
Dept 215.000 - CLERK'S OFFICE						
101-215.000-702.000	FULL-TIME EMPLOYEE SALARIES	97,985.00	59,616.39	5,732.48	38,368.61	60.84
101-215.000-702.500	LEAVE TIME PAYOUT	0.00	0.00	0.00	0.00	0.00
101-215.000-703.200	ELECTED OFFICIALS SALARIES	80,453.00	65,290.57	6,188.68	15,162.43	81.15
101-215.000-704.000	PART-TIME EMPLOYEE SALARIES	0.00	0.00	0.00	0.00	0.00
101-215.000-709.000	TOWNSHIP FICA	14,200.00	10,136.59	914.62	4,063.41	71.38
101-215.000-712.000	PAY IN LIEU OF MEDICAL INS	0.00	0.00	0.00	0.00	0.00
101-215.000-713.000	OVERTIME	7,500.00	6,628.52	0.00	871.48	88.38
101-215.000-716.000	DEFINED CONTRIBUTION	16,300.00	15,614.51	0.00	685.49	95.79
101-215.000-718.000	HEALTH/DENTAL/VISION INSURANCE	62,820.00	41,013.61	(384.25)	21,806.39	65.29
101-215.000-725.100	LONG/SHORT TERM DISABILITY	1,100.00	863.51	48.92	236.49	78.50
101-215.000-725.200	LIFE INSURANCE	226.00	169.25	13.85	56.75	74.89
101-215.000-752.000	SUPPLIES & SMALL EQUIPMENT	0.00	0.00	0.00	0.00	0.00
101-215.000-853.000	PHONE/COMM/INTERNET	1,000.00	850.00	85.00	150.00	85.00
101-215.000-861.000	MILEAGE	750.00	316.72	0.00	433.28	42.23
101-215.000-910.000	PROFESSIONAL DEVELOPMENT	5,000.00	6,142.81	0.00	(1,142.81)	122.86
101-215.000-914.000	TUITION REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-215.000-931.000	EQUIPMENT MAINT/REPAIR	500.00	37.99	0.00	462.01	7.60
101-215.000-955.000	SUNDRY	2,000.00	660.95	0.00	1,339.05	33.05
101-215.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	1,000.00	1,120.42	0.00	(120.42)	112.04
101-215.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP	5,000.00	5,000.00	0.00	0.00	100.00
Total Dept 215.000 - CLERK'S OFFICE		295,834.00	213,461.84	12,599.30	82,372.16	72.16
Dept 228.000 - TECHNICAL/UTILITIES SERVICES						
101-228.000-702.000	FULL-TIME EMPLOYEE SALARIES	132,400.00	114,714.01	10,304.86	17,685.99	86.64
101-228.000-702.500	LEAVE TIME PAYOUT	2,605.00	1,335.88	0.00	1,269.12	51.28
101-228.000-704.000	PART-TIME EMPLOYEE SALARIES	30,701.00	11,309.51	0.00	19,391.49	36.84
101-228.000-707.000	TEMPORARY EMPLOYEES	0.00	0.00	0.00	0.00	0.00
101-228.000-709.000	TOWNSHIP FICA	12,575.00	9,927.28	812.80	2,647.72	78.94
101-228.000-712.000	PAY IN LIEU OF MEDICAL INS	3,000.00	2,500.00	250.00	500.00	83.33
101-228.000-713.000	OVERTIME	250.00	81.66	0.00	168.34	32.66
101-228.000-716.000	DEFINED CONTRIBUTION	11,300.00	12,274.97	0.00	(974.97)	
101-228.000-718.000	HEALTH/DENTAL/VISION INSURANCE	15,705.00	14,556.41	0.00	1,148.59	
101-228.000-725.100	LONG/SHORT TERM DISABILITY	5756.00	779.75	67.60	(204.75)	



\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23 AMENDED BUDGET	YTD BALANCE 04/30/2023	ACTIVITY FOR MONTH 04/30/2023	AVAILABLE BALANCE	% BDGT USED
Fund 101 - General Fund						
Expenditures						
101-228.000-725.200	LIFE INSURANCE	138.00	132.93	11.47	5.07	96.33
101-228.000-861.000	MILEAGE	150.00	213.91	145.41	(63.91)	142.61
101-228.000-910.000	PROFESSIONAL DEVELOPMENT	0.00	0.00	0.00	0.00	0.00
101-228.000-933.000	SOFTWARE MAINTENANCE	0.00	0.00	0.00	0.00	0.00
101-228.000-948.000	COMPUTER SERVICES	0.00	0.00	0.00	0.00	0.00
101-228.000-955.000	SUNDRY	0.00	0.00	0.00	0.00	0.00
101-228.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	0.00	0.00	0.00	0.00	0.00
101-228.000-965.100	CONTRACTED SUPPORT	0.00	0.00	0.00	0.00	0.00
101-228.000-980.000	OFFICE EQUIP & FURNITURE	0.00	0.00	0.00	0.00	0.00
101-228.000-980.500	RESERVE FOR EQUIPMENT PURCHASE	0.00	0.00	0.00	0.00	0.00
Total Dept 228.000 - TECHNICAL/UTILITIES SERVICES		209,399.00	167,826.31	11,592.14	41,572.69	80.15
Dept 229.000 - COMPUTER/CABLE						
101-229.000-704.000	PART-TIME EMPLOYEE SALARIES	0.00	0.00	0.00	0.00	0.00
101-229.000-709.000	TOWNSHIP FICA	0.00	0.00	0.00	0.00	0.00
101-229.000-853.000	PHONE/COMM/INTERNET	4,000.00	3,406.90	2,926.52	593.10	85.17
101-229.000-910.000	PROFESSIONAL DEVELOPMENT	1,000.00	0.00	0.00	1,000.00	0.00
101-229.000-931.000	EQUIPMENT MAINT/REPAIR	0.00	0.00	0.00	0.00	0.00
101-229.000-933.000	SOFTWARE MAINTENANCE	95,000.00	106,735.37	7,523.00	(11,735.37)	112.35
101-229.000-946.000	ENGINEERING SERVICES	3,000.00	135.00	0.00	2,865.00	4.50
101-229.000-955.000	SUNDRY	250.00	0.00	(1,305.64)	250.00	0.00
101-229.000-980.000	CAPITAL EQUIPMENT	59,000.00	12,043.69	0.00	46,956.31	20.41
101-229.000-980.500	RESERVE FOR CABLE TV EQUIP PURCHASE	2,500.00	0.00	0.00	2,500.00	0.00
Total Dept 229.000 - COMPUTER/CABLE		164,750.00	122,320.96	9,143.88	42,429.04	74.25
Dept 247.000 - Board of Review						
101-247.000-704.100	PER DIEM	2,800.00	1,105.00	195.00	1,695.00	39.46
101-247.000-709.000	TOWNSHIP FICA	215.00	84.54	14.92	130.46	39.32
101-247.000-900.000	LEGAL NOTICES/ADVERTISING	500.00	315.00	0.00	185.00	63.00
101-247.000-955.000	SUNDRY	50.00	30.00	0.00	20.00	60.00
Total Dept 247.000 - Board of Review		3,565.00	1,534.54	209.92	2,030.46	43.04
Dept 253.000 - Treasurer						
101-253.000-702.000	FULL-TIME EMPLOYEE SALARIES	69,471.00	56,510.93	5,384.24	12,960.07	81.34
101-253.000-703.200	ELECTED OFFICIALS SALARIES	40,226.00	33,837.32	3,094.34	6,388.68	84.12
101-253.000-704.000	PART-TIME EMPLOYEE SALARIES	50,100.00	46,163.31	3,190.03	3,936.69	92.14
101-253.000-709.000	TOWNSHIP FICA	12,300.00	10,458.02	894.43	1,841.98	85.02
101-253.000-712.000	PAY IN LIEU OF MEDICAL INS	0.00	0.00	0.00	0.00	0.00
101-253.000-713.000	OVERTIME	400.00	110.68	0.00	289.32	27.67
101-253.000-716.000	DEFINED CONTRIBUTION	12,900.00	9,668.73	0.00	3,231.27	74.95
101-253.000-718.000	HEALTH/DENTAL/VISION INSURANCE	44,870.00	37,395.34	0.00	7,474.66	83.34
101-253.000-725.100	LONG/SHORT TERM DISABILITY	445.00	415.93	37.90	29.07	93.47
101-253.000-725.200	LIFE INSURANCE	81.00	74.25	6.75	6.75	91.67
101-253.000-826.000	LEGAL FEES	0.00	0.00	0.00	0.00	0.00
101-253.000-851.000	POSTAGE	8,900.00	10,832.33	0.00	(1,932.33)	
101-253.000-853.000	PHONE/COMM/INTERNET	1,020.00	800.00	85.00	220.00	
101-253.000-861.000	MILEAGE	600.00	752.06	0.00	(152.06)	

Item 20.

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23 AMENDED BUDGET	YTD BALANCE 04/30/2023	ACTIVITY FOR MONTH 04/30/2023	AVAILABLE BALANCE	% BDGT USED
Fund 101 - General Fund						
Expenditures						
101-253.000-902.100	TAX ROLL PREP/TAX BILL PREP	4,500.00	2,090.18	0.00	2,409.82	46.45
101-253.000-910.000	PROFESSIONAL DEVELOPMENT	0.00	0.00	0.00	0.00	0.00
101-253.000-914.000	TUITION REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-253.000-916.000	TRAINING	2,650.00	2,516.60	0.00	133.40	94.97
101-253.000-931.000	EQUIPMENT MAINT/REPAIR	0.00	0.00	0.00	0.00	0.00
101-253.000-933.000	SOFTWARE MAINTENANCE	0.00	0.00	0.00	0.00	0.00
101-253.000-955.000	SUNDRY	250.00	115.83	0.00	134.17	46.33
101-253.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	750.00	827.00	0.00	(77.00)	110.27
101-253.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP	0.00	0.00	0.00	0.00	0.00
101-253.000-980.500	RESERVE FOR EQUIPMENT PURCHASE	0.00	0.00	0.00	0.00	0.00
Total Dept 253.000 - Treasurer		249,463.00	212,568.51	12,692.69	36,894.49	85.21
Dept 257.000 - Assessing						
101-257.000-702.000	FULL-TIME EMPLOYEE SALARIES	0.00	0.00	0.00	0.00	0.00
101-257.000-709.000	TOWNSHIP FICA	0.00	0.00	0.00	0.00	0.00
101-257.000-712.000	PAY IN LIEU OF MEDICAL INS	0.00	0.00	0.00	0.00	0.00
101-257.000-713.000	OVERTIME	0.00	0.00	0.00	0.00	0.00
101-257.000-716.000	DEFINED CONTRIBUTION	0.00	0.00	0.00	0.00	0.00
101-257.000-718.000	HEALTH/DENTAL/VISION INSURANCE	0.00	0.00	0.00	0.00	0.00
101-257.000-725.100	LONG/SHORT TERM DISABILITY	0.00	0.00	0.00	0.00	0.00
101-257.000-725.200	LIFE INSURANCE	0.00	0.00	0.00	0.00	0.00
101-257.000-752.000	SUPPLIES & SMALL EQUIPMENT	0.00	0.00	0.00	0.00	0.00
101-257.000-759.000	VEHICLE FUEL	0.00	0.00	0.00	0.00	0.00
101-257.000-801.000	CONTRACTUAL SERVICES	330,500.00	296,668.50	27,255.75	33,831.50	89.76
101-257.000-853.000	PHONE/COMM/INTERNET	0.00	0.00	0.00	0.00	0.00
101-257.000-861.000	MILEAGE	0.00	0.00	0.00	0.00	0.00
101-257.000-900.000	LEGAL NOTICES/ADVERTISING	0.00	0.00	0.00	0.00	0.00
101-257.000-902.200	ASSESSMENT ROLL PREP	6,500.00	5,736.61	0.00	763.39	88.26
101-257.000-910.000	PROFESSIONAL DEVELOPMENT	0.00	0.00	0.00	0.00	0.00
101-257.000-914.000	TUITION REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-257.000-931.000	EQUIPMENT MAINT/REPAIR	0.00	0.00	0.00	0.00	0.00
101-257.000-932.000	VEHICLE MAINTENANCE	0.00	0.00	0.00	0.00	0.00
101-257.000-933.000	SOFTWARE MAINTENANCE	0.00	0.00	0.00	0.00	0.00
101-257.000-955.000	SUNDRY	500.00	0.00	0.00	500.00	0.00
101-257.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	0.00	0.00	0.00	0.00	0.00
101-257.000-980.000	OFFICE EQUIP & FURNITURE	0.00	0.00	0.00	0.00	0.00
101-257.000-980.500	RESERVE FOR EQUIPMENT PURCHASE	0.00	0.00	0.00	0.00	0.00
101-257.000-981.000	CAPITAL EXPENSE - VEHICLE	0.00	0.00	0.00	0.00	0.00
101-257.000-981.500	RESERVE FOR VEHICLE PURCHASE	0.00	0.00	0.00	0.00	0.00
Total Dept 257.000 - Assessing		337,500.00	302,405.11	27,255.75	35,094.89	89.60
Dept 262.000 - Elections						
101-262.000-702.000	FULL-TIME EMPLOYEE SALARIES	104,825.00	83,147.09	7,340.34	21,677.91	79.32
101-262.000-704.000	PART-TIME EMPLOYEE SALARIES	0.00	0.00	0.00	0.00	0.00
101-262.000-707.000	TEMPORARY EMPLOYEES	66,500.00	64,694.32	1,748.00	1,805.68	97.28
101-262.000-709.000	TOWNSHIP FICA	16,000.00	8,716.32	696.56	7,283.68	54.48
101-262.000-712.000	PAY IN LIEU OF MEDICAL INS	0.00	0.00	0.00	0.00	0.00
101-262.000-713.000	OVERTIME	25,000.00	9,074.53	0.00	15,925.47	
101-262.000-716.000	DEFINED CONTRIBUTION	11,600.00	11,006.80	0.00	593.20	

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23		ACTIVITY FOR		AVAILABLE BALANCE	% BDGT USED
		AMENDED BUDGET	YTD BALANCE 04/30/2023	MONTH 04/30/2023			
Fund 101 - General Fund							
Expenditures							
101-262.000-718.000	HEALTH/DENTAL/VISION INSURANCE	44,862.00	37,395.44	0.00		7,466.56	83.36
101-262.000-725.100	LONG/SHORT TERM DISABILITY	660.00	594.31	20.76		65.69	90.05
101-262.000-725.200	LIFE INSURANCE	162.00	141.64	6.74		20.36	87.43
101-262.000-752.001	SUPPLIES FOR ELECTIONS	25,000.00	20,873.65	0.00		4,126.35	83.49
101-262.000-861.000	MILEAGE	750.00	88.35	0.00		661.65	11.78
101-262.000-900.000	LEGAL NOTICES/ADVERTISING	2,500.00	210.00	0.00		2,290.00	8.40
101-262.000-910.000	PROFESSIONAL DEVELOPMENT	1,144.00	1,144.00	0.00		0.00	100.00
101-262.000-931.000	EQUIPMENT MAINT/REPAIR	9,000.00	7,838.00	0.00		1,162.00	87.09
101-262.000-955.000	SUNDRY	13,000.00	12,927.87	0.00		72.13	99.45
101-262.000-980.000	OFFICE EQUIP & FURNITURE	5,000.00	3,531.30	0.00		1,468.70	70.63
101-262.000-980.500	RESERVE FOR EQUIPMENT PURCHASE	5,000.00	0.00	0.00		5,000.00	0.00
Total Dept 262.000 - Elections		331,003.00	261,383.62	9,812.40		69,619.38	78.97
Dept 265.000 - Township Buildings							
101-265.000-702.000	FULL-TIME EMPLOYEE SALARIES	102,848.00	60,406.66	5,837.72		42,441.34	58.73
101-265.000-702.500	LEAVE TIME PAYOUT	0.00	0.00	0.00		0.00	0.00
101-265.000-704.000	PART-TIME EMPLOYEE SALARIES	63,400.00	53,582.05	5,144.65		9,817.95	84.51
101-265.000-709.000	TOWNSHIP FICA	13,800.00	10,378.81	967.72		3,421.19	75.21
101-265.000-713.000	OVERTIME	5,500.00	5,324.86	226.59		175.14	96.82
101-265.000-716.000	DEFINED CONTRIBUTION	9,850.00	8,960.10	0.00		889.90	90.97
101-265.000-718.000	HEALTH/DENTAL/VISION INSURANCE	32,041.00	25,973.80	0.00		6,067.20	81.06
101-265.000-725.100	LONG/SHORT TERM DISABILITY	660.00	614.28	57.88		45.72	93.07
101-265.000-725.200	LIFE INSURANCE	172.00	154.38	14.34		17.62	89.76
101-265.000-752.000	SUPPLIES & SMALL EQUIPMENT	7,000.00	7,359.79	765.96		(359.79)	105.14
101-265.000-758.000	DIESEL FUEL	5,500.00	2,370.63	0.00		3,129.37	43.10
101-265.000-759.000	VEHICLE FUEL	8,000.00	5,866.90	0.00		2,133.10	73.34
101-265.000-768.000	UNIFORMS/ACCESSORIES	3,500.00	3,231.43	92.22		268.57	92.33
101-265.000-801.000	CONTRACTUAL SERVICES	2,000.00	1,647.00	0.00		353.00	82.35
101-265.000-822.000	PERMIT FEES	0.00	0.00	0.00		0.00	0.00
101-265.000-853.000	PHONE/COMM/INTERNET	420.00	315.00	35.00		105.00	75.00
101-265.000-861.000	MILEAGE	0.00	0.00	0.00		0.00	0.00
101-265.000-910.000	PROFESSIONAL DEVELOPMENT	550.00	550.81	0.00		(0.81)	100.15
101-265.000-917.000	SEWER USAGE	4,000.00	2,239.20	0.00		1,760.80	55.98
101-265.000-919.000	TRASH DISPOSAL	1,700.00	1,409.70	122.13		290.30	82.92
101-265.000-920.000	ELECTRIC	20,000.00	15,623.49	0.00		4,376.51	78.12
101-265.000-921.000	NATURAL GAS/HEAT	5,000.00	5,471.58	570.10		(471.58)	109.43
101-265.000-930.000	MAINTENANCE TWP HALL	10,000.00	11,192.28	2,257.32		(1,192.28)	111.92
101-265.000-930.004	MAINTENANCE DPW GARAGE/OLD PACKR	3,000.00	3,790.32	900.00		(790.32)	126.34
101-265.000-930.008	MAINTENANCE LIBRARY	1,500.00	1,060.29	0.00		439.71	70.69
101-265.000-930.012	MAINTENANCE OLD LIBRARY	0.00	0.00	0.00		0.00	0.00
101-265.000-930.020	MAINTENANCE - FERTILIZER	1,500.00	996.89	271.89		503.11	66.46
101-265.000-931.000	EQUIPMENT MAINT/REPAIR	7,500.00	7,674.71	1,760.92		(174.71)	102.33
101-265.000-932.000	VEHICLE MAINTENANCE	6,000.00	7,523.25	0.00		(1,523.25)	125.39
101-265.000-955.000	SUNDRY	500.00	632.72	127.48		(132.72)	126.54
101-265.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP	55,000.00	49,589.01	24,801.32		5,410.99	90.16
101-265.000-980.100	ARPA FUNDS STORAGE FACILITY	169,952.42	162,997.64	0.00		6,954.78	95.91
101-265.000-980.500	RESERVE FOR EQUIPMENT PURCHASE	1,500.00	0.00	0.00		1,500.00	0.00
101-265.000-981.000	CAPITAL EXPENSE - VEHICLE	0.00	0.00	0.00		0.00	0.00
101-265.000-981.500	RESERVE FOR VEHICLE PURCHASE	5,000.00	0.00	0.00		5,000.00	0.00
Total Dept 265.000 - Township Buildings		547,393.42	456,937.58	43,953.24		90,455.84	85.10

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23 AMENDED BUDGET	YTD BALANCE 04/30/2023	ACTIVITY FOR MONTH 04/30/2023	AVAILABLE BALANCE	% BDGT USED
Fund 101 - General Fund						
Expenditures						
Dept 275.000 - OTHER EXPENSES						
101-275.000-704.200	PORTAGE/BASE LAKES GROSS WAGES	1,500.00	0.00	0.00	1,500.00	0.00
101-275.000-708.000	UNEMPLOYMENT COMPENSATION	800.00	469.71	0.00	330.29	58.71
101-275.000-709.000	TOWNSHIP FICA	115.00	0.83	0.01	114.17	0.72
101-275.000-718.500	HEALTH CARE REIMBURSEMENT	80,000.00	66,755.21	4,119.50	13,244.79	83.44
101-275.000-727.000	WORKERS' COMPENSATION	10,000.00	4,083.53	0.00	5,916.47	40.84
101-275.000-752.000	SUPPLIES & SMALL EQUIPMENT	18,500.00	19,659.70	2,646.39	(1,159.70)	106.27
101-275.000-801.000	CONTRACTUAL SERVICES	12,500.00	7,029.37	0.00	5,470.63	56.23
101-275.000-802.100	ROAD MAINTENANCE	7,500.00	0.00	0.00	7,500.00	0.00
101-275.000-840.000	LIABILITY/CASUALTY INSURANCE	25,000.00	22,010.27	0.00	2,989.73	88.04
101-275.000-851.000	POSTAGE	17,500.00	10,290.00	290.00	7,210.00	58.80
101-275.000-853.000	PHONE/COMM/INTERNET	6,000.00	2,898.03	(2,567.56)	3,101.97	48.30
101-275.000-910.000	PROFESSIONAL DEVELOPMENT	0.00	0.00	0.00	0.00	0.00
101-275.000-931.000	EQUIPMENT MAINT/REPAIR	2,500.00	1,474.74	0.00	1,025.26	58.99
101-275.000-933.200	RECORD RETENTION PROJECT	0.00	0.00	0.00	0.00	0.00
101-275.000-946.000	ENGINEERING SERVICES	3,500.00	0.00	0.00	3,500.00	0.00
101-275.000-953.000	PAYROLL PROCESSING	12,500.00	14,462.72	1,079.52	(1,962.72)	115.70
101-275.000-954.000	AUDIT	28,780.00	29,640.00	0.00	(860.00)	102.99
101-275.000-955.000	SUNDRY	2,200.00	4,795.88	45.00	(2,595.88)	217.99
101-275.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	500.00	2,368.23	602.21	(1,868.23)	473.65
101-275.000-960.000	FOIA EXPENSES	100.00	98.43	0.00	1.57	98.43
101-275.000-967.200	ADA COMPLIANCE PROJECTS	20,000.00	0.00	0.00	20,000.00	0.00
101-275.000-980.000	OFFICE EQUIP & FURNITURE	8,100.00	0.00	0.00	8,100.00	0.00
101-275.000-985.591	LCWA WELL IMPROVEMENTS	0.00	0.00	0.00	0.00	0.00
101-275.000-995.208	TRANSFER OUT RECREATION FUND	400,000.00	266,666.64	0.00	133,333.36	66.67
101-275.000-995.591	TRANSFER OUT WATER FUND	154,000.00	128,333.40	12,833.34	25,666.60	83.33
Total Dept 275.000 - OTHER EXPENSES		811,595.00	581,036.69	19,048.41	230,558.31	71.59
Dept 345.000 - Public Safety (Police & Fire)						
101-345.000-704.000	PART-TIME EMPLOYEE SALARIES	0.00	0.00	0.00	0.00	0.00
101-345.000-704.100	PER DIEM	1,040.00	585.00	65.00	455.00	56.25
101-345.000-709.000	TOWNSHIP FICA	60.00	44.72	4.97	15.28	74.53
101-345.000-995.207	TRANSFER OUT POLICE OPERATIONS	0.00	0.00	0.00	0.00	0.00
Total Dept 345.000 - Public Safety (Police & Fire)		1,100.00	629.72	69.97	470.28	57.25
Dept 448.000 - Street Lighting						
101-448.000-926.000	STREET LIGHTING	17,500.00	12,117.38	0.00	5,382.62	69.24
Total Dept 448.000 - Street Lighting		17,500.00	12,117.38	0.00	5,382.62	69.24
Dept 567.000 - CEMETERY						
101-567.000-704.000	PART-TIME EMPLOYEE SALARIES	11,318.00	13,703.04	1,970.62	(2,385.04)	121.07
101-567.000-704.100	PER DIEM	0.00	0.00	0.00	0.00	0.00
101-567.000-709.000	TOWNSHIP FICA	925.00	1,070.56	152.94	(145.56)	115.74
101-567.000-713.000	OVERTIME	0.00	0.00	0.00	0.00	0.00
101-567.000-759.000	VEHICLE FUEL	0.00	0.00	0.00	0.00	0.00
101-567.000-801.000	CONTRACTUAL SERVICES	20,000.00	19,520.00	2,700.00	480.00	
101-567.000-853.000	PHONE/COMM/INTERNET	420.00	350.00	35.00	70.00	

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23		ACTIVITY FOR		AVAILABLE BALANCE	% BDGT USED
		AMENDED BUDGET	YTD BALANCE 04/30/2023	MONTH 04/30/2023			
Fund 101 - General Fund							
Expenditures							
101-567.000-861.000	MILEAGE	0.00	0.00	0.00		0.00	0.00
101-567.000-931.000	EQUIPMENT MAINT/REPAIR	5,000.00	1,696.00	0.00		3,304.00	33.92
101-567.000-933.000	SOFTWARE MAINTENANCE	0.00	0.00	0.00		0.00	0.00
101-567.000-949.000	MAUS COMMISSION EXP	0.00	0.00	0.00		0.00	0.00
101-567.000-949.500	MAUSOLEUM MARKETING EXPENSE	0.00	0.00	0.00		0.00	0.00
101-567.000-955.000	SUNDRY	6,350.00	6,677.89	607.32		(327.89)	105.16
101-567.000-980.000	OFFICE EQUIP & FURNITURE	0.00	0.00	0.00		0.00	0.00
101-567.000-991.000	DEBT SERVICE PRINCIPAL	0.00	0.00	0.00		0.00	0.00
101-567.000-992.000	INTEREST EXPENSE	0.00	0.00	0.00		0.00	0.00
Total Dept 567.000 - CEMETERY		44,013.00	43,017.49	5,465.88		995.51	97.74
Dept 701.000 - Planning Commission							
101-701.000-704.000	PART-TIME EMPLOYEE SALARIES	1,200.00	470.00	0.00		730.00	39.17
101-701.000-704.100	PER DIEM	5,640.00	2,495.00	875.00		3,145.00	44.24
101-701.000-709.000	TOWNSHIP FICA	523.00	226.77	66.95		296.23	43.36
101-701.000-752.000	SUPPLIES & SMALL EQUIPMENT	0.00	0.00	0.00		0.00	0.00
101-701.000-826.000	LEGAL FEES	1,000.00	0.00	0.00		1,000.00	0.00
101-701.000-900.000	LEGAL NOTICES/ADVERTISING	500.00	535.00	0.00		(35.00)	107.00
101-701.000-910.000	PROFESSIONAL DEVELOPMENT	500.00	0.00	0.00		500.00	0.00
101-701.000-946.000	ENGINEERING SERVICES	0.00	0.00	0.00		0.00	0.00
101-701.000-955.000	SUNDRY	0.00	0.00	0.00		0.00	0.00
101-701.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	0.00	0.00	0.00		0.00	0.00
Total Dept 701.000 - Planning Commission		9,363.00	3,726.77	941.95		5,636.23	39.80
Dept 702.000 - PLANNING AND ZONING							
101-702.000-702.000	FULL-TIME EMPLOYEE SALARIES	124,750.00	93,667.48	9,822.15		31,082.52	75.08
101-702.000-704.000	PART-TIME EMPLOYEE SALARIES	95,276.00	34,107.17	2,157.30		61,168.83	35.80
101-702.000-704.100	PER DIEM	4,020.00	2,420.00	270.00		1,600.00	60.20
101-702.000-707.000	Temporary Salary	0.00	0.00	0.00		0.00	0.00
101-702.000-709.000	TOWNSHIP FICA	17,250.00	10,705.15	1,001.16		6,544.85	62.06
101-702.000-712.000	PAY IN LIEU OF MEDICAL INS	3,000.00	750.00	0.00		2,250.00	25.00
101-702.000-713.000	OVERTIME	600.00	519.36	0.00		80.64	86.56
101-702.000-716.000	DEFINED CONTRIBUTION	13,900.00	9,788.10	0.00		4,111.90	70.42
101-702.000-718.000	HEALTH/DENTAL/VISION INSURANCE	39,110.00	27,776.40	0.00		11,333.60	71.02
101-702.000-725.100	LONG/SHORT TERM DISABILITY	753.00	655.16	68.51		97.84	87.01
101-702.000-725.200	LIFE INSURANCE	162.00	141.52	13.50		20.48	87.36
101-702.000-752.010	ADDRESS SIGNS	0.00	0.00	0.00		0.00	0.00
101-702.000-759.000	VEHICLE FUEL	0.00	0.00	0.00		0.00	0.00
101-702.000-826.000	LEGAL FEES	8,000.00	7,872.50	2,222.50		127.50	98.41
101-702.000-853.000	PHONE/COMM/INTERNET	1,760.00	835.00	85.00		925.00	47.44
101-702.000-861.000	MILEAGE	200.00	148.03	0.00		51.97	74.02
101-702.000-900.000	LEGAL NOTICES/ADVERTISING	1,680.00	2,050.00	0.00		(370.00)	122.02
101-702.000-910.000	PROFESSIONAL DEVELOPMENT	960.00	1,049.15	0.00		(89.15)	109.29
101-702.000-914.000	TUITION REIMBURSEMENT	0.00	3,000.50	3,000.50		(3,000.50)	100.00
101-702.000-933.000	SOFTWARE MAINTENANCE	0.00	0.00	0.00		0.00	0.00
101-702.000-946.000	ENGINEERING SERVICES	3,000.00	0.00	0.00		3,000.00	0.00
101-702.000-951.000	STORM WATER DISCHARGE	500.00	500.00	0.00		0.00	
101-702.000-955.000	SUNDRY	300.00	319.77	0.00		(19.77)	
101-702.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	2,700.00	413.00	0.00		2,287.00	

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\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23 AMENDED BUDGET	YTD BALANCE 04/30/2023	ACTIVITY FOR MONTH 04/30/2023	AVAILABLE BALANCE	% BDGT USED
Fund 101 - General Fund						
Expenditures						
101-702.000-981.500	RESERVE FOR VEHICLE PURCHASE	0.00	0.00	0.00	0.00	0.00
Total Dept 702.000 - PLANNING AND ZONING		317,921.00	196,718.29	18,640.62	121,202.71	61.88
Dept 703.000 - LAKES, RIVERS & STREAMS						
101-703.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	0.00	0.00	0.00	0.00	0.00
101-703.000-967.000	SPECIAL PROJECTS	58,750.00	58,551.12	0.00	198.88	99.66
101-703.000-975.500	RESERVE FOR RIVER WEED HARVESTING	0.00	0.00	0.00	0.00	0.00
Total Dept 703.000 - LAKES, RIVERS & STREAMS		58,750.00	58,551.12	0.00	198.88	99.66
Dept 803.000 - HISTORICAL MUSEUM						
101-803.000-704.000	PART-TIME EMPLOYEE SALARIES	0.00	(437.37)	0.00	437.37	100.00
101-803.000-709.000	TOWNSHIP FICA	0.00	51.07	0.00	(51.07)	100.00
101-803.000-752.000	SUPPLIES & SMALL EQUIPMENT	0.00	0.00	0.00	0.00	0.00
101-803.000-853.000	PHONE/COMM/INTERNET	0.00	137.97	0.00	(137.97)	100.00
101-803.000-917.000	SEWER USAGE	0.00	0.00	0.00	0.00	0.00
101-803.000-920.000	ELECTRIC	0.00	0.00	0.00	0.00	0.00
101-803.000-921.000	NATURAL GAS/HEAT	0.00	0.00	0.00	0.00	0.00
101-803.000-931.000	EQUIPMENT MAINT/REPAIR	0.00	0.00	0.00	0.00	0.00
Total Dept 803.000 - HISTORICAL MUSEUM		0.00	(248.33)	0.00	248.33	100.00
TOTAL EXPENDITURES		6,102,188.42	3,266,679.23	230,258.96	2,835,509.19	53.53
Fund 101 - General Fund:						
TOTAL REVENUES		6,102,188.42	4,274,872.55	429,045.33	1,827,315.87	70.05
TOTAL EXPENDITURES		6,102,188.42	3,266,679.23	230,258.96	2,835,509.19	53.53
NET OF REVENUES & EXPENDITURES		0.00	1,008,193.32	198,786.37	(1,008,193.32)	100.00
Fund 204 - Road Fund						
Revenues						
Dept 000.000						
204-000.000-402.000	CURRENT PROPERTY TAX	1,208,691.00	1,208,675.16	0.00	15.84	100.00
204-000.000-412.000	DELINQUENT PP TAX	4,000.00	2,591.21	0.00	1,408.79	64.78
204-000.000-415.000	CHARGE BACKS/MTT/BOARD OF REVIEW	0.00	(221.19)	0.00	221.19	100.00
204-000.000-664.000	INTEREST REVENUE	6,300.00	10,668.26	3,629.06	(4,368.26)	169.34
204-000.000-699.101	TRANSFER IN 101-OPERATIONS	0.00	0.00	0.00	0.00	0.00
204-000.000-699.373	TRANS IN FROM HURON RIVER	0.00	0.00	0.00	0.00	0.00
204-000.000-699.999	APPROPRIATION FROM SURPLUS	140,409.00	0.00	0.00	140,409.00	0.00
Total Dept 000.000		1,359,400.00	1,221,713.44	3,629.06	137,686.56	89.87
TOTAL REVENUES		1,359,400.00	1,221,713.44	3,629.06	137,686.56	
Expenditures						

Item 20.

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23 AMENDED BUDGET	YTD BALANCE 04/30/2023	ACTIVITY FOR MONTH 04/30/2023	AVAILABLE BALANCE	% BDGT USED
Fund 204 - Road Fund						
Expenditures						
Dept 000.000						
204-000.000-801.000	CONTRACTUAL SERVICES	2,400.00	2,406.92	0.00	(6.92)	100.29
204-000.000-802.000	ROAD IMPROVEMENT	1,357,000.00	1,295,679.23	0.00	61,320.77	95.48
Total Dept 000.000		1,359,400.00	1,298,086.15	0.00	61,313.85	95.49
TOTAL EXPENDITURES		1,359,400.00	1,298,086.15	0.00	61,313.85	95.49
Fund 204 - Road Fund:						
TOTAL REVENUES		1,359,400.00	1,221,713.44	3,629.06	137,686.56	89.87
TOTAL EXPENDITURES		1,359,400.00	1,298,086.15	0.00	61,313.85	95.49
NET OF REVENUES & EXPENDITURES		0.00	(76,372.71)	3,629.06	76,372.71	100.00
Fund 206 - Fire Fund						
Revenues						
Dept 000.000						
206-000.000-402.000	CURRENT PROPERTY TAX	2,063,365.00	2,063,362.64	0.00	2.36	100.00
206-000.000-412.000	DELINQUENT PP TAX	100.00	20.29	0.00	79.71	20.29
206-000.000-415.000	CHARGE BACKS/MTT/BOARD OF REVIEW	0.00	(381.17)	0.00	381.17	100.00
206-000.000-441.000	PERS PROPERTY TAX REIMB - STATE OF MI	5,000.00	4,456.93	0.00	543.07	89.14
206-000.000-501.000	FEDERAL GRANT REVENUE	0.00	0.00	0.00	0.00	0.00
206-000.000-540.000	STATE GRANTS	0.00	0.00	0.00	0.00	0.00
206-000.000-626.200	FIRE TRAINING REVENUE	0.00	0.00	0.00	0.00	0.00
206-000.000-628.000	FIRE INSPECTION FEES	0.00	100.00	50.00	(100.00)	100.00
206-000.000-636.000	COPIES/MAPS	0.00	31.64	0.00	(31.64)	100.00
206-000.000-664.000	INTEREST REVENUE	16,000.00	18,699.87	5,094.25	(2,699.87)	116.87
206-000.000-674.000	CONTRIBUTIONS/DONATIONS/GRANTS	2,500.00	0.00	0.00	2,500.00	0.00
206-000.000-676.000	REIMBURSEMENTS & COST RECOVERY	1,500.00	1,250.00	0.00	250.00	83.33
206-000.000-677.000	SUNDRY	50.00	5.00	0.00	45.00	10.00
206-000.000-693.000	SALE OF FIXED ASSETS	0.00	0.00	0.00	0.00	0.00
206-000.000-699.101	TRANSFER IN 101-OPERATIONS	0.00	0.00	0.00	0.00	0.00
206-000.000-699.999	APPROPRIATION FROM SURPLUS	216,373.00	0.00	0.00	216,373.00	0.00
Total Dept 000.000		2,304,888.00	2,087,545.20	5,144.25	217,342.80	90.57
TOTAL REVENUES		2,304,888.00	2,087,545.20	5,144.25	217,342.80	90.57
Expenditures						
Dept 000.000						
206-000.000-702.000	FULL-TIME EMPLOYEE SALARIES	444,000.00	390,193.62	38,674.14	53,806.38	87.88
206-000.000-702.500	LEAVE TIME PAYOUT	5,154.00	2,560.80	0.00	2,593.20	49.69
206-000.000-704.000	PART-TIME EMPLOYEE SALARIES	40,000.00	27,862.20	3,272.42	12,137.80	69.66
206-000.000-704.500	PART TIME FIRE FIGHTERS	500,000.00	487,197.01	35,114.90	12,802.99	97.44
206-000.000-709.000	TOWNSHIP FICA	82,500.00	81,162.40	7,914.88	1,337.60	98.38
206-000.000-712.000	PAY IN LIEU OF MEDICAL INS	4,200.00	3,500.00	350.00	700.00	83.33
206-000.000-713.000	OVERTIME	142,000.00	135,707.41	14,242.07	6,292.59	
206-000.000-714.000	LONGEVITY PAY	10,500.00	11,559.43	11,559.43	(1,059.43)	
206-000.000-716.000	DEFINED CONTRIBUTION	50,000.00	49,867.31	0.00	132.69	

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDGT
		AMENDED BUDGET	04/30/2023	MONTH 04/30/2023	BALANCE	USED
Fund 206 - Fire Fund						
Expenditures						
206-000.000-718.000	HEALTH/DENTAL/VISION INSURANCE	116,800.00	95,784.51	0.00	21,015.49	82.01
206-000.000-725.100	LONG/SHORT TERM DISABILITY	7,000.00	7,009.96	247.97	(9.96)	100.14
206-000.000-725.200	LIFE INSURANCE	470.00	472.05	45.90	(2.05)	100.44
206-000.000-727.000	WORKERS' COMPENSATION	56,800.00	15,830.38	0.00	40,969.62	27.87
206-000.000-752.000	SUPPLIES & SMALL EQUIPMENT	15,500.00	15,064.41	129.86	435.59	97.19
206-000.000-754.000	MEDICAL AND SCENE SUPPLIES	20,000.00	11,173.43	655.87	8,826.57	55.87
206-000.000-758.000	DIESEL FUEL	550.00	376.83	0.00	173.17	68.51
206-000.000-759.000	VEHICLE FUEL	30,000.00	27,303.99	0.00	2,696.01	91.01
206-000.000-768.000	UNIFORMS/ACCESSORIES	22,200.00	24,689.52	433.81	(2,489.52)	111.21
206-000.000-768.100	TURN OUT GEAR	50,000.00	31,583.21	0.00	18,416.79	63.17
206-000.000-801.000	CONTRACTUAL SERVICES	27,000.00	26,980.84	0.00	19.16	99.93
206-000.000-826.000	LEGAL FEES	8,000.00	745.00	0.00	7,255.00	9.31
206-000.000-840.000	LIABILITY/CASUALTY INSURANCE	39,000.00	38,655.88	0.00	344.12	99.12
206-000.000-843.100	EMPLOYEE PHYSICALS/VACCINATION	28,000.00	24,170.00	1,365.00	3,830.00	86.32
206-000.000-853.000	PHONE/COMM/INTERNET	11,000.00	6,850.61	449.70	4,149.39	62.28
206-000.000-870.000	HAZMAT YEARLY DUES	4,000.00	3,000.00	0.00	1,000.00	75.00
206-000.000-900.000	LEGAL NOTICES/ADVERTISING	0.00	0.00	0.00	0.00	0.00
206-000.000-914.000	TUITION REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
206-000.000-916.000	TRAINING	25,000.00	23,619.25	1,025.00	1,380.75	94.48
206-000.000-916.500	FIRE PREVENTION	7,500.00	2,495.63	0.00	5,004.37	33.28
206-000.000-917.000	SEWER USAGE	2,000.00	1,244.00	0.00	756.00	62.20
206-000.000-918.000	WATER USAGE	2,000.00	1,300.50	0.00	699.50	65.03
206-000.000-919.000	TRASH DISPOSAL	3,500.00	3,192.34	246.76	307.66	91.21
206-000.000-920.000	ELECTRIC	35,000.00	37,815.93	1,987.29	(2,815.93)	108.05
206-000.000-920.100	SIREN ELECTRIC USAGE	2,000.00	1,401.40	0.00	598.60	70.07
206-000.000-930.003	MAINTENANCE FIRE HALL	108,000.00	116,727.36	2,194.57	(8,727.36)	108.08
206-000.000-930.020	MAINTENANCE - FERTILIZER	2,500.00	1,090.00	420.00	1,410.00	43.60
206-000.000-931.000	EQUIPMENT MAINT/REPAIR	14,000.00	10,724.55	1,181.18	3,275.45	76.60
206-000.000-931.100	EMERGENCY SIREN MAINTENANCE/REPAIRS	4,000.00	766.79	0.00	3,233.21	19.17
206-000.000-932.000	VEHICLE MAINTENANCE	60,000.00	31,526.84	0.00	28,473.16	52.54
206-000.000-933.000	SOFTWARE MAINTENANCE	4,000.00	6,015.98	0.00	(2,015.98)	150.40
206-000.000-955.000	SUNDRY	3,000.00	1,448.50	0.00	1,551.50	48.28
206-000.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	7,500.00	8,586.49	554.95	(1,086.49)	114.49
206-000.000-967.000	SPECIAL PROJECTS	10,000.00	4,324.99	0.00	5,675.01	43.25
206-000.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP	205,500.00	54,895.67	26,043.46	150,604.33	26.71
206-000.000-981.000	CAPITAL EXPENSE - VEHICLE	94,714.00	93,627.80	0.00	1,086.20	98.85
Total Dept 000.000		2,304,888.00	1,920,104.82	148,109.16	384,783.18	83.31
TOTAL EXPENDITURES		2,304,888.00	1,920,104.82	148,109.16	384,783.18	83.31
Fund 206 - Fire Fund:						
TOTAL REVENUES		2,304,888.00	2,087,545.20	5,144.25	217,342.80	90.57
TOTAL EXPENDITURES		2,304,888.00	1,920,104.82	148,109.16	384,783.18	83.31
NET OF REVENUES & EXPENDITURES		0.00	167,440.38	(142,964.91)	(167,440.38)	100.00
Fund 207 - Police Fund						
Revenues						
Dept 000.000						
207-000.000-402.000	CURRENT PROPERTY TAX	2,978,850.00	2,978,851.33	0.00	(1.33)	100.00



\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23 AMENDED BUDGET	YTD BALANCE 04/30/2023	ACTIVITY FOR MONTH 04/30/2023	AVAILABLE BALANCE	% BDGT USED
Fund 207 - Police Fund						
Revenues						
207-000.000-412.000	DELINQUENT PP TAX	100.00	29.92	0.00	70.08	29.92
207-000.000-415.000	CHARGE BACKS/MTT/BOARD OF REVIEW	0.00	(550.25)	0.00	550.25	100.00
207-000.000-441.000	PERS PROPERTY TAX REIMB - STATE OF MI	6,500.00	6,434.28	0.00	65.72	98.99
207-000.000-480.000	LIQUOR LICENSE FEES	9,700.00	9,682.20	0.00	17.80	99.82
207-000.000-481.000	SOLICITATION FEES	100.00	180.00	0.00	(80.00)	180.00
207-000.000-501.000	FEDERAL GRANT REVENUE	2,500.00	0.00	0.00	2,500.00	0.00
207-000.000-628.100	INSPECTION FEES	6,800.00	1,200.00	0.00	5,600.00	17.65
207-000.000-629.000	GUN PERM/FINGERPRINTS/VIN INSP	200.00	205.00	20.00	(5.00)	102.50
207-000.000-629.100	BREATHALIZER TEST REQUIRED	0.00	35.00	10.00	(35.00)	100.00
207-000.000-630.200	SALVAGE VEHICLE INSPECTION	100.00	0.00	0.00	100.00	0.00
207-000.000-636.000	COPIES/MAPS	1,000.00	1,214.75	166.73	(214.75)	121.48
207-000.000-657.000	ORDINANCE FINES	10,000.00	8,215.28	562.47	1,784.72	82.15
207-000.000-664.000	INTEREST REVENUE	4,300.00	6,891.11	2,680.55	(2,591.11)	160.26
207-000.000-674.000	CONTRIBUTIONS/DONATIONS/GRANTS	2,500.00	922.00	0.00	1,578.00	36.88
207-000.000-676.000	REIMBURSEMENTS & COST RECOVERY	2,000.00	2,333.17	200.00	(333.17)	116.66
207-000.000-676.200	OVERTIME REIMB - OTHER	2,500.00	1,099.20	412.20	1,400.80	43.97
207-000.000-677.000	SUNDRY	250.00	19.35	0.00	230.65	7.74
207-000.000-678.000	PA302 TRAINING REIMB	1,100.00	0.00	0.00	1,100.00	0.00
207-000.000-693.000	SALE OF FIXED ASSETS	14,200.00	14,091.30	0.00	108.70	99.23
207-000.000-699.101	TRANSFER IN 101-OPERATIONS	0.00	0.00	0.00	0.00	0.00
207-000.000-699.265	TRANSFER IN 265-OPERATION	0.00	0.00	0.00	0.00	0.00
207-000.000-699.932	APPROPRIATION FROM BLDG RESERVE	0.00	0.00	0.00	0.00	0.00
207-000.000-699.999	APPROPRIATION FROM SURPLUS	200,532.00	0.00	0.00	200,532.00	0.00
Total Dept 000.000		3,243,232.00	3,030,853.64	4,051.95	212,378.36	93.45
TOTAL REVENUES		3,243,232.00	3,030,853.64	4,051.95	212,378.36	93.45
Expenditures						
Dept 000.000						
207-000.000-702.000	FULL-TIME EMPLOYEE SALARIES	1,561,559.00	1,383,179.36	149,326.75	178,379.64	88.58
207-000.000-702.500	LEAVE TIME PAYOUT	4,555.00	1,908.40	0.00	2,646.60	41.90
207-000.000-704.000	PART-TIME EMPLOYEE SALARIES	36,000.00	25,293.47	2,228.62	10,706.53	70.26
207-000.000-705.550	RESERVE FOR RET LEAVE TIME PA	0.00	0.00	0.00	0.00	0.00
207-000.000-706.000	HOLIDAY PAY	89,500.00	75,129.27	0.00	14,370.73	83.94
207-000.000-709.000	TOWNSHIP FICA	134,590.00	120,837.87	11,935.67	13,752.13	89.78
207-000.000-712.000	PAY IN LIEU OF MEDICAL INS	7,300.00	6,000.00	650.00	1,300.00	82.19
207-000.000-713.000	OVERTIME	88,000.00	63,553.00	3,723.17	24,447.00	72.22
207-000.000-713.100	OVERTIME - DRUNK DRIVING (FED REIMB)	0.00	0.00	0.00	0.00	0.00
207-000.000-716.000	DEFINED CONTRIBUTION	279,200.00	254,999.01	0.00	24,200.99	91.33
207-000.000-718.000	HEALTH/DENTAL/VISION INSURANCE	287,600.00	239,837.74	(748.42)	47,762.26	83.39
207-000.000-725.100	LONG/SHORT TERM DISABILITY	8,332.00	8,091.61	796.35	240.39	97.11
207-000.000-725.200	LIFE INSURANCE	1,860.00	1,343.61	120.28	516.39	72.24
207-000.000-726.500	EQUIPMENT ALLOWANCE	11,200.00	11,200.00	0.00	0.00	100.00
207-000.000-727.000	WORKERS' COMPENSATION	47,336.00	14,893.56	0.00	32,442.44	31.46
207-000.000-729.500	MERS FUNDING DEFICIENCY	0.00	0.00	0.00	0.00	0.00
207-000.000-730.000	RETIREE HEALTH INSURANCE	104,000.00	104,000.00	0.00	0.00	100.00
207-000.000-731.000	EDUCATION INCENTIVE BONUS	12,000.00	12,000.00	0.00	0.00	100.00
207-000.000-752.000	SUPPLIES & SMALL EQUIPMENT	10,000.00	9,159.61	677.06	840.39	91.60
207-000.000-752.100	AMMUNITION	10,000.00	8,498.23	0.00	1,501.77	
207-000.000-756.000	ACCREDITATION EXPENSES	10,000.00	5,439.94	184.08	4,560.06	
207-000.000-758.000	DIESEL FUEL	250.00	100.72	0.00	149.28	

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GL NUMBER	DESCRIPTION	2022-23 AMENDED BUDGET	YTD BALANCE 04/30/2023	ACTIVITY FOR MONTH 04/30/2023	AVAILABLE BALANCE	% BDGT USED
Fund 207 - Police Fund						
Expenditures						
207-000.000-759.000	VEHICLE FUEL	50,000.00	43,014.16	0.00	6,985.84	86.03
207-000.000-768.000	UNIFORMS/ACCESSORIES	10,000.00	10,334.48	1,641.40	(334.48)	103.34
207-000.000-768.500	UNIFORM CLEANING	4,000.00	3,117.75	374.00	882.25	77.94
207-000.000-801.000	CONTRACTUAL SERVICES	7,500.00	8,191.38	190.09	(691.38)	109.22
207-000.000-807.000	SWAT TEAM EXPENSES	6,000.00	4,280.39	0.00	1,719.61	71.34
207-000.000-807.001	CODE ENFORCEMENT EXPENSES	1,250.00	891.30	0.00	358.70	71.30
207-000.000-809.000	JANITORIAL SERVICES	8,000.00	8,911.43	789.66	(911.43)	111.39
207-000.000-826.000	LEGAL FEES	10,500.00	11,017.06	755.00	(517.06)	104.92
207-000.000-840.000	LIABILITY/CASUALTY INSURANCE	125,500.00	101,194.47	0.00	24,305.53	80.63
207-000.000-851.000	POSTAGE	200.00	50.57	17.75	149.43	25.29
207-000.000-853.000	PHONE/COMM/INTERNET	12,000.00	9,947.26	883.10	2,052.74	82.89
207-000.000-914.000	TUITION REIMBURSEMENT	10,500.00	10,499.00	0.00	1.00	99.99
207-000.000-916.000	TRAINING	12,000.00	14,267.62	859.00	(2,267.62)	118.90
207-000.000-917.000	SEWER USAGE	3,000.00	1,741.60	0.00	1,258.40	58.05
207-000.000-920.000	ELECTRIC	12,000.00	10,394.29	0.00	1,605.71	86.62
207-000.000-921.000	NATURAL GAS/HEAT	3,000.00	2,819.73	278.87	180.27	93.99
207-000.000-930.002	MAINTENANCE POLICE BUILDING	12,000.00	10,064.92	3,543.89	1,935.08	83.87
207-000.000-930.017	RESERVE FOR BLDG MAINTENANCE	0.00	0.00	0.00	0.00	0.00
207-000.000-930.020	MAINTENANCE - FERTILIZER	500.00	280.93	135.93	219.07	56.19
207-000.000-931.000	EQUIPMENT MAINT/REPAIR	3,000.00	1,246.74	1,200.00	1,753.26	41.56
207-000.000-932.000	VEHICLE MAINTENANCE	50,000.00	46,883.70	3,320.05	3,116.30	93.77
207-000.000-933.000	SOFTWARE MAINTENANCE	20,000.00	16,791.42	324.93	3,208.58	83.96
207-000.000-933.300	LAW ENFORCEMENT INFO NETWORK	6,000.00	3,299.00	0.00	2,701.00	54.98
207-000.000-955.000	SUNDRY	2,000.00	2,195.50	0.00	(195.50)	109.78
207-000.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	1,500.00	1,541.74	0.00	(41.74)	102.78
207-000.000-967.000	SPECIAL PROJECTS	15,000.00	14,485.68	409.58	514.32	96.57
207-000.000-967.100	FEDERAL GRANT EXPENDITURES	0.00	0.00	0.00	0.00	0.00
207-000.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP	54,500.00	55,889.60	0.00	(1,389.60)	102.55
207-000.000-981.000	CAPITAL EXPENSE - VEHICLE	100,000.00	0.00	0.00	100,000.00	0.00
207-000.000-981.500	RESERVE FOR VEHICLE PURCHASE	0.00	0.00	0.00	0.00	0.00
207-000.000-999.101	TRANSFER OUT GENERAL FUND	0.00	0.00	0.00	0.00	0.00
Total Dept 000.000		3,243,232.00	2,738,817.12	183,616.81	504,414.88	84.45
TOTAL EXPENDITURES		3,243,232.00	2,738,817.12	183,616.81	504,414.88	84.45
Fund 207 - Police Fund:						
TOTAL REVENUES		3,243,232.00	3,030,853.64	4,051.95	212,378.36	93.45
TOTAL EXPENDITURES		3,243,232.00	2,738,817.12	183,616.81	504,414.88	84.45
NET OF REVENUES & EXPENDITURES		0.00	292,036.52	(179,564.86)	(292,036.52)	100.00
Fund 208 - SENIORS, PARKS, LL TRAIL						
Revenues						
Dept 000.000						
208-000.000-402.000	CURRENT PROPERTY TAX	0.00	0.00	0.00	0.00	0.00
208-000.000-412.000	DELINQUENT PP TAX	0.00	0.28	0.00	(0.28)	100.00
208-000.000-415.000	CHARGE BACKS/MTT/BOARD OF REVIEW	0.00	0.00	0.00	0.00	0.00
208-000.000-441.000	PERS PROPERTY TAX REIMB - STATE OF MI	0.00	0.00	0.00	0.00	0.00
208-000.000-664.000	INTEREST REVENUE	11,500.00	11,649.25	1,879.60	(149.25)	298
208-000.000-699.101	TRANSFER IN 101-OPERATIONS	370,000.00	266,666.64	0.00	103,333.36	72.07

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GL NUMBER	DESCRIPTION	2022-23 AMENDED BUDGET	YTD BALANCE 04/30/2023	ACTIVITY FOR MONTH 04/30/2023	AVAILABLE BALANCE	% BDGT USED
Fund 208 - SENIORS, PARKS, LL TRAIL						
Revenues						
208-000.000-699.999	APPROPRIATION FROM SURPLUS	352,008.00	0.00	0.00	352,008.00	0.00
Total Dept 000.000		733,508.00	278,316.17	1,879.60	455,191.83	37.94
Dept 751.000 - Recreation Board						
208-751.000-651.000	PARKS & RECREATION FEES	15,000.00	17,161.62	5,520.26	(2,161.62)	114.41
208-751.000-674.000	CONTRIBUTIONS/DONATIONS/GRANTS	8,750.00	7,279.13	0.00	1,470.87	83.19
208-751.000-674.001	DONATIONS FOR SENIOR CENTER	0.00	0.00	0.00	0.00	0.00
208-751.000-674.100	MMRMA RAP GRANT	0.00	0.00	0.00	0.00	0.00
208-751.000-676.000	REIMBURSEMENTS & COST RECOVERY	4,092.00	4,092.00	0.00	0.00	100.00
208-751.000-693.000	SALE OF FIXED ASSETS	0.00	0.00	0.00	0.00	0.00
208-751.000-699.101	TRANSFER IN 101-OPERATIONS	0.00	0.00	0.00	0.00	0.00
Total Dept 751.000 - Recreation Board		27,842.00	28,532.75	5,520.26	(690.75)	102.48
Dept 800.000 - LAKELAND TRAIL						
208-800.000-674.000	CONTRIBUTIONS/DONATIONS/GRANTS	0.00	263.00	0.00	(263.00)	100.00
208-800.000-699.101	TRANSFER IN GENERAL CAPITAL	0.00	0.00	0.00	0.00	0.00
Total Dept 800.000 - LAKELAND TRAIL		0.00	263.00	0.00	(263.00)	100.00
Dept 820.000 - SENIOR CENTER						
208-820.000-651.001	SENIOR CENTER RENTALS	3,120.00	3,590.00	120.00	(470.00)	115.06
208-820.000-674.000	CONTRIBUTIONS/DONATIONS/GRANTS	0.00	1,000.00	1,000.00	(1,000.00)	100.00
208-820.000-699.101	TRANSFER IN 101-OPERATIONS	0.00	0.00	0.00	0.00	0.00
Total Dept 820.000 - SENIOR CENTER		3,120.00	4,590.00	1,120.00	(1,470.00)	147.12
TOTAL REVENUES		764,470.00	311,701.92	8,519.86	452,768.08	40.77
Expenditures						
Dept 751.000 - Recreation Board						
208-751.000-702.000	FULL-TIME EMPLOYEE SALARIES	43,110.00	30,444.46	3,016.17	12,665.54	70.62
208-751.000-704.000	PART-TIME EMPLOYEE SALARIES	6,098.00	3,646.39	715.77	2,451.61	59.80
208-751.000-704.100	PER DIEM	3,900.00	2,480.66	0.00	1,419.34	63.61
208-751.000-709.000	TOWNSHIP FICA	3,800.00	2,694.07	176.75	1,105.93	70.90
208-751.000-713.000	OVERTIME	100.00	66.16	0.00	33.84	66.16
208-751.000-716.000	DEFINED CONTRIBUTION	3,600.00	3,574.27	0.00	25.73	99.29
208-751.000-718.000	HEALTH/DENTAL/VISION INSURANCE	15,702.00	14,959.47	0.00	742.53	95.27
208-751.000-725.100	LONG/SHORT TERM DISABILITY	226.00	239.53	21.88	(13.53)	105.99
208-751.000-725.200	LIFE INSURANCE	57.00	51.92	4.72	5.08	91.09
208-751.000-727.000	WORKERS' COMPENSATION	452.00	451.09	0.00	0.91	99.80
208-751.000-752.000	SUPPLIES & SMALL EQUIPMENT	3,250.00	3,527.07	0.00	(277.07)	108.53
208-751.000-758.000	DIESEL FUEL	1,500.00	1,605.80	0.00	(105.80)	107.05
208-751.000-759.000	VEHICLE FUEL	0.00	0.00	0.00	0.00	0.00
208-751.000-809.000	JANITORIAL SERVICES	500.00	0.00	0.00	500.00	0.00
208-751.000-826.000	LEGAL FEES	153.00	153.00	0.00	0.00	
208-751.000-840.000	LIABILITY/CASUALTY INSURANCE	500.00	(114.04)	0.00	614.04	
208-751.000-900.000	LEGAL NOTICES/ADVERTISING	400.00	479.05	0.00	(79.05)	

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GL NUMBER	DESCRIPTION	2022-23 AMENDED BUDGET	YTD BALANCE 04/30/2023	ACTIVITY FOR MONTH 04/30/2023	AVAILABLE BALANCE	% BDGT USED
Fund 208 - SENIORS, PARKS, LL TRAIL						
Expenditures						
208-751.000-900.100	PRINTING	1,500.00	0.00	0.00	1,500.00	0.00
208-751.000-910.000	PROFESSIONAL DEVELOPMENT	2,000.00	609.54	0.00	1,390.46	30.48
208-751.000-917.000	SEWER USAGE	700.00	311.00	0.00	389.00	44.43
208-751.000-919.000	TRASH DISPOSAL	1,500.00	1,599.45	183.20	(99.45)	106.63
208-751.000-920.000	ELECTRIC	4,000.00	2,280.71	0.00	1,719.29	57.02
208-751.000-921.000	NATURAL GAS/HEAT	100.00	56.24	0.00	43.76	56.24
208-751.000-930.005	MAINTENANCE PARK BUILDINGS	12,500.00	14,259.04	450.00	(1,759.04)	114.07
208-751.000-930.015	RESERVE FOR PARKS MAINTENANCE	1,000.00	835.00	0.00	165.00	83.50
208-751.000-930.020	MAINTENANCE - FERTILIZER	12,000.00	11,946.50	3,166.50	53.50	99.55
208-751.000-930.200	PLAYGROUND/FIELD REPAIR	123,000.00	128,899.02	0.00	(5,899.02)	104.80
208-751.000-930.300	PLAYGROUND INSPECTION	750.00	0.00	0.00	750.00	0.00
208-751.000-931.000	EQUIPMENT MAINT/REPAIR	0.00	0.00	0.00	0.00	0.00
208-751.000-932.000	VEHICLE MAINTENANCE	0.00	0.00	0.00	0.00	0.00
208-751.000-942.000	PORTABLE TOILETS	22,950.00	15,167.32	1,971.22	7,782.68	66.09
208-751.000-943.000	EVENT COMMITTEE EXPENSE	5,000.00	950.00	850.00	4,050.00	19.00
208-751.000-943.001	PARK IT! EVENT	0.00	0.00	0.00	0.00	0.00
208-751.000-946.000	ENGINEERING SERVICES	12,000.00	14,375.75	0.00	(2,375.75)	119.80
208-751.000-955.000	SUNDRY	2,500.00	794.52	20.57	1,705.48	31.78
208-751.000-955.278	EVERY CHILD SHALL PLAY SCHOLARSHIP	0.00	0.00	0.00	0.00	0.00
208-751.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	500.00	500.00	0.00	0.00	100.00
208-751.000-967.600	WINKELHAUS PARK	4,000.00	477.00	0.00	3,523.00	11.93
208-751.000-967.700	SPECIAL PROJECTS - BASEBALL FENCING	0.00	0.00	0.00	0.00	0.00
208-751.000-967.701	SPECIAL PROJECTS - TRUNCATED DOME	0.00	0.00	0.00	0.00	0.00
208-751.000-967.703	SPECIAL PROJECTS - CROSSWALK IMP	0.00	0.00	0.00	0.00	0.00
208-751.000-967.962	SPECIAL PROJECTS - MISC IMPROVEMENT	50,000.00	27,178.26	400.00	22,821.74	54.36
208-751.000-975.300	GRANT MATCH	0.00	0.00	0.00	0.00	0.00
208-751.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP	20,000.00	20,000.00	0.00	0.00	100.00
208-751.000-980.500	RESERVE FOR EQUIPMENT PURCHASE	20,000.00	13,776.35	0.00	6,223.65	68.88
208-751.000-999.101	TRANSFER OUT GENERAL FUND	0.00	0.00	0.00	0.00	0.00
208-751.000-999.590	TRANSFER OUT ENTERPRISE FUND	0.00	0.00	0.00	0.00	0.00
Total Dept 751.000 - Recreation Board		379,348.00	318,274.60	10,976.78	61,073.40	83.90
Dept 800.000 - LAKELAND TRAIL						
208-800.000-826.000	LEGAL FEES	0.00	0.00	0.00	0.00	0.00
208-800.000-840.000	LIABILITY/CASUALTY INSURANCE	230.00	201.28	0.00	28.72	87.51
208-800.000-900.100	PRINTING	0.00	0.00	0.00	0.00	0.00
208-800.000-919.000	TRASH DISPOSAL	0.00	0.00	0.00	0.00	0.00
208-800.000-920.000	ELECTRIC	300.00	199.70	0.00	100.30	66.57
208-800.000-931.000	EQUIPMENT MAINT/REPAIR	0.00	0.00	0.00	0.00	0.00
208-800.000-938.000	LAKELAND TRAIL MAINTENANCE	45,000.00	(52,972.74)	2,960.28	97,972.74	(117.72)
208-800.000-938.018	RESERVE FOR LL TRAIL MAINTENANCE	0.00	0.00	0.00	0.00	0.00
208-800.000-938.500	LL TRAIL RAILROAD MAINT FEE	1,000.00	1,000.00	0.00	0.00	100.00
208-800.000-942.000	PORTABLE TOILETS	6,000.00	9,997.78	1,327.80	(3,997.78)	166.63
208-800.000-946.000	ENGINEERING SERVICES	0.00	0.00	0.00	0.00	0.00
208-800.000-955.000	SUNDRY	500.00	500.00	0.00	0.00	100.00
208-800.000-975.300	GRANT MATCH	111,000.00	110,331.48	0.00	668.52	99.40
208-800.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP	4,000.00	0.00	0.00	4,000.00	0.00
208-800.000-999.101	TRANSFER OUT GENERAL FUND	0.00	0.00	0.00	0.00	0.00
208-800.000-999.590	TRANSFER OUT ENTERPRISE FUND	0.00	0.00	0.00	0.00	0.00
Total Dept 800.000 - LAKELAND TRAIL		168,030.00	69,257.50	4,288.08	98,772.50	300

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23 AMENDED BUDGET	YTD BALANCE 04/30/2023	ACTIVITY FOR MONTH 04/30/2023	AVAILABLE BALANCE	% BDGT USED
Fund 208 - SENIORS, PARKS, LL TRAIL						
Expenditures						
Dept 820.000 - SENIOR CENTER						
208-820.000-702.000	FULL-TIME EMPLOYEE SALARIES	49,680.00	40,326.33	3,822.40	9,353.67	81.17
208-820.000-704.000	PART-TIME EMPLOYEE SALARIES	38,700.00	32,178.26	3,678.68	6,521.74	83.15
208-820.000-709.000	TOWNSHIP FICA	6,800.00	5,722.06	693.02	1,077.94	84.15
208-820.000-712.000	PAY IN LIEU OF MEDICAL INS	0.00	0.00	0.00	0.00	0.00
208-820.000-713.000	OVERTIME	0.00	286.68	0.00	(286.68)	100.00
208-820.000-716.000	DEFINED CONTRIBUTION	6,485.00	4,782.85	0.00	1,702.15	73.75
208-820.000-718.000	HEALTH/DENTAL/VISION INSURANCE	22,431.00	16,826.65	0.00	5,604.35	75.02
208-820.000-725.100	LONG/SHORT TERM DISABILITY	315.00	303.68	27.74	11.32	96.41
208-820.000-725.200	LIFE INSURANCE	81.00	74.25	6.75	6.75	91.67
208-820.000-727.000	WORKERS' COMPENSATION	900.00	0.00	0.00	900.00	0.00
208-820.000-752.000	SUPPLIES & SMALL EQUIPMENT	4,500.00	3,148.93	0.00	1,351.07	69.98
208-820.000-801.000	CONTRACTUAL SERVICES	22,000.00	16,210.65	0.00	5,789.35	73.68
208-820.000-804.000	SENIOR PROGRAMS	7,000.00	4,852.73	69.00	2,147.27	69.32
208-820.000-840.000	LIABILITY/CASUALTY INSURANCE	2,700.00	2,661.20	0.00	38.80	98.56
208-820.000-853.000	PHONE/COMM/INTERNET	4,000.00	3,477.68	50.00	522.32	86.94
208-820.000-860.000	TRANSPORTATION	0.00	0.00	0.00	0.00	0.00
208-820.000-861.000	MILEAGE	0.00	0.00	0.00	0.00	0.00
208-820.000-900.200	NEWSLETTER/PUBLICATIONS	3,000.00	0.00	0.00	3,000.00	0.00
208-820.000-910.000	PROFESSIONAL DEVELOPMENT	1,000.00	0.00	0.00	1,000.00	0.00
208-820.000-917.000	SEWER USAGE	1,750.00	877.02	0.00	872.98	50.12
208-820.000-919.000	TRASH DISPOSAL	2,000.00	1,600.00	160.00	400.00	80.00
208-820.000-920.000	ELECTRIC	4,500.00	4,137.54	0.00	362.46	91.95
208-820.000-921.000	NATURAL GAS/HEAT	2,500.00	2,955.53	298.29	(455.53)	118.22
208-820.000-930.001	MAINTENANCE COMM CENTER	10,500.00	8,831.13	790.27	1,668.87	84.11
208-820.000-930.016	RESERVE FOR COMM CTR MAINTENANCE	0.00	0.00	0.00	0.00	0.00
208-820.000-930.020	MAINTENANCE - FERTILIZER	500.00	135.93	135.93	364.07	27.19
208-820.000-931.000	EQUIPMENT MAINT/REPAIR	2,000.00	1,058.37	0.00	941.63	52.92
208-820.000-937.000	IMPROVEMENTS	2,000.00	0.00	0.00	2,000.00	0.00
208-820.000-955.000	SUNDRY	1,000.00	275.66	0.00	724.34	27.57
208-820.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	750.00	270.29	0.00	479.71	36.04
208-820.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP	20,000.00	19,348.86	12,291.50	651.14	96.74
208-820.000-999.101	TRANSFER OUT GENERAL FUND	0.00	0.00	0.00	0.00	0.00
208-820.000-999.590	TRANSFER OUT ENTERPRISE FUND	0.00	0.00	0.00	0.00	0.00
Total Dept 820.000 - SENIOR CENTER		217,092.00	170,342.28	22,023.58	46,749.72	78.47
TOTAL EXPENDITURES		764,470.00	557,874.38	37,288.44	206,595.62	72.98
Fund 208 - SENIORS, PARKS, LL TRAIL:						
TOTAL REVENUES		764,470.00	311,701.92	8,519.86	452,768.08	40.77
TOTAL EXPENDITURES		764,470.00	557,874.38	37,288.44	206,595.62	72.98
NET OF REVENUES & EXPENDITURES		0.00	(246,172.46)	(28,768.58)	246,172.46	100.00
Fund 590 - SEWER FUND						
Revenues						
Dept 000.000						
590-000.000-673.000	SALE OF FIXED ASSETS	0.00	0.00	0.00	0.00	
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\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23 AMENDED BUDGET	YTD BALANCE 04/30/2023	ACTIVITY FOR MONTH 04/30/2023	AVAILABLE BALANCE	% BDGT USED
Fund 590 - SEWER FUND						
Revenues						
Total Dept 000.000		0.00	0.00	0.00	0.00	0.00
Dept 527.000 - SEWER OPERATING						
590-527.000-501.000	FEDERAL GRANT REVENUE	607,346.15	607,346.15	0.00	0.00	100.00
590-527.000-528.000	OTHER FEDERAL GRANTS	430,215.00	0.00	0.00	430,215.00	0.00
590-527.000-540.000	STATE GRANTS	0.00	0.00	0.00	0.00	0.00
590-527.000-653.000	O&M USAGE FEES	1,501,500.00	1,254,664.95	166,903.54	246,835.05	83.56
590-527.000-653.001	O&M LATE PENALTY	27,000.00	21,752.48	(11.33)	5,247.52	80.56
590-527.000-653.002	ADMIN FEE FOR DELINQ ON TAXES	44,340.00	22,340.60	0.00	21,999.40	50.38
590-527.000-659.000	RETURNED CHECK FEE	0.00	0.00	0.00	0.00	0.00
590-527.000-664.001	INTEREST REVENUE - O&M ACCOUNTS	5,000.00	8,200.11	3,148.26	(3,200.11)	164.00
590-527.000-667.000	RENTAL INCOME	18,500.00	16,589.38	1,671.93	1,910.62	89.67
590-527.000-674.000	CONTRIBUTIONS/DONATIONS/GRANTS	0.00	0.00	0.00	0.00	0.00
590-527.000-676.000	REIMBURSEMENTS & COST RECOVERY	23,500.00	26,185.30	817.24	(2,685.30)	111.43
590-527.000-677.000	SUNDRY	2,500.00	2,450.00	0.00	50.00	98.00
590-527.000-693.000	SALE OF FIXED ASSETS	0.00	0.00	0.00	0.00	0.00
590-527.000-699.101	TRANSFER IN 101-OPERATIONS	0.00	0.00	0.00	0.00	0.00
590-527.000-699.208	TRANSFER IN RECREATION FUND	0.00	0.00	0.00	0.00	0.00
590-527.000-699.999	APPROPRIATION FROM SURPLUS	(361,705.15)	0.00	0.00	(361,705.15)	0.00
Total Dept 527.000 - SEWER OPERATING		2,298,196.00	1,959,528.97	172,529.64	338,667.03	85.26
Dept 537.000						
590-537.000-637.300	PORTAGE MONTHLY SEWER OP	75,600.00	69,623.41	6,652.68	5,976.59	92.09
590-537.000-637.400	PORTAGE ADD'L FEES	10,000.00	9,805.03	871.04	194.97	98.05
Total Dept 537.000		85,600.00	79,428.44	7,523.72	6,171.56	92.79
Dept 538.000						
590-538.000-607.000	NON-TAX ADMIN FEE	15,000.00	6,511.60	1,600.00	8,488.40	43.41
590-538.000-620.200	GRINDER PUMP INSTALLATION	150,000.00	31,687.52	0.00	118,312.48	21.13
590-538.000-626.000	Reinsp/inspection/easement/lgl	0.00	200.00	50.00	(200.00)	100.00
590-538.000-636.100	AERIAL/TOPOGRAPHICAL MAPS	0.00	0.00	0.00	0.00	0.00
590-538.000-640.000	APPLICATION FEES - SEWERS	10,000.00	3,400.00	600.00	6,600.00	34.00
590-538.000-642.100	DIRECT TAP FEE	146,000.00	175,875.00	30,000.00	(29,875.00)	120.46
590-538.000-642.200	WATER TAP FEE LCWA	0.00	0.00	0.00	0.00	0.00
590-538.000-642.300	INDIRECT TAP FEE	442,500.00	127,500.00	0.00	315,000.00	28.81
590-538.000-644.100	MAIN LINE EXTENSION	50,000.00	9,809.45	0.00	40,190.55	19.62
590-538.000-646.200	GRINDER PUMP PURCHASE	100,000.00	85,920.00	20,560.00	14,080.00	85.92
590-538.000-646.300	REVENUE SALE OF GRINDER PUMPS	5,140.00	5,140.00	0.00	0.00	100.00
590-538.000-664.002	INTEREST REVENUE - CAPITAL ACCTS	28,500.00	31,691.38	6,496.95	(3,191.38)	111.20
590-538.000-664.004	INTEREST REVENUE - MYSTIC RIDGE	0.00	0.00	0.00	0.00	0.00
590-538.000-675.590	CONTRIBUTED CAPITAL FROM OTHER	34,000.00	0.00	0.00	34,000.00	0.00
590-538.000-676.000	REIMBURSEMENTS & COST RECOVERY	0.00	0.00	0.00	0.00	0.00
590-538.000-677.000	SUNDRY	0.00	0.00	0.00	0.00	0.00
590-538.000-696.000	BOND/LOAN PROCEEDS	0.00	0.00	0.00	0.00	0.00
Total Dept 538.000		981,140.00	477,734.95	59,306.95	503,405.05	48.69

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23		ACTIVITY FOR		AVAILABLE BALANCE	% BDGT USED
		AMENDED BUDGET	YTD BALANCE 04/30/2023	MONTH 04/30/2023	MONTH 04/30/2023		
<b>Fund 590 - SEWER FUND</b>							
<b>Revenues</b>							
590-539.000-472.000	SPECIAL ASSESSMENT REVENUE	25,000.00	2,215.79	0.00		22,784.21	8.86
590-539.000-642.100	DIRECT TAP FEE	0.00	0.00	0.00		0.00	0.00
590-539.000-654.000	WWTP DEBT FEE	715,000.00	467,967.40	62,185.54		247,032.60	65.45
590-539.000-654.001	WWTP DEBT LATE PENALTY	12,000.00	8,643.01	(4.22)		3,356.99	72.03
590-539.000-664.003	INTEREST REVENUE SAD'S & OTHER	29,500.00	32,629.63	6,593.10		(3,129.63)	110.61
590-539.000-677.000	SUNDRY	0.00	0.00	0.00		0.00	0.00
<b>Total Dept 539.000</b>		<b>781,500.00</b>	<b>511,455.83</b>	<b>68,774.42</b>		<b>270,044.17</b>	<b>65.45</b>
<b>Dept 540.000</b>							
590-540.000-620.100	WATER METER INSTALLATION	300.00	100.00	0.00		200.00	33.33
590-540.000-637.500	WATER CONNECTION ADM FEE	2,000.00	700.00	0.00		1,300.00	35.00
590-540.000-642.100	DIRECT TAP FEE	0.00	0.00	0.00		0.00	0.00
590-540.000-654.500	WATER CHARGE O&M	40,000.00	40,847.75	0.00		(847.75)	102.12
590-540.000-654.501	WATER CHARGE PENALTY (10%)	1,000.00	646.86	0.00		353.14	64.69
590-540.000-654.502	WATER CHARGE ADMIN FEE (10%)	0.00	0.00	0.00		0.00	0.00
590-540.000-664.001	INTEREST REVENUE - O&M ACCOUNTS	200.00	(83.04)	0.00		283.04	(41.52)
<b>Total Dept 540.000</b>		<b>43,500.00</b>	<b>42,211.57</b>	<b>0.00</b>		<b>1,288.43</b>	<b>97.04</b>
<b>TOTAL REVENUES</b>		<b>4,189,936.00</b>	<b>3,070,359.76</b>	<b>308,134.73</b>		<b>1,119,576.24</b>	<b>73.28</b>
<b>Expenditures</b>							
<b>Dept 527.000 - SEWER OPERATING</b>							
590-527.000-702.000	FULL-TIME EMPLOYEE SALARIES	424,096.00	390,881.14	35,701.33		33,214.86	92.17
590-527.000-702.500	LEAVE TIME PAYOUT	1,675.00	572.52	0.00		1,102.48	34.18
590-527.000-704.000	PART-TIME EMPLOYEE SALARIES	12,250.00	14,782.91	978.24		(2,532.91)	120.68
590-527.000-704.100	PER DIEM	1,560.00	1,040.00	130.00		520.00	66.67
590-527.000-709.000	TOWNSHIP FICA	37,100.00	34,455.41	3,116.93		2,644.59	92.87
590-527.000-712.000	PAY IN LIEU OF MEDICAL INS	0.00	0.00	(310.00)		0.00	0.00
590-527.000-713.000	OVERTIME	47,500.00	40,396.43	3,887.15		7,103.57	85.05
590-527.000-716.000	DEFINED CONTRIBUTION	47,851.00	44,473.03	0.00		3,377.97	92.94
590-527.000-718.000	HEALTH/DENTAL/VISION INSURANCE	84,800.00	79,401.54	0.00		5,398.46	93.63
590-527.000-725.100	LONG/SHORT TERM DISABILITY	3,800.00	2,701.49	179.21		1,098.51	71.09
590-527.000-725.200	LIFE INSURANCE	571.00	577.59	47.60		(6.59)	101.15
590-527.000-727.000	WORKERS' COMPENSATION	8,668.00	2,034.44	0.00		6,633.56	23.47
590-527.000-728.000	ON-CALL COMPENSATION	0.00	0.00	0.00		0.00	0.00
590-527.000-751.100	GRINDER PUMP PARTS	325,000.00	223,178.05	4,212.00		101,821.95	68.67
590-527.000-751.200	GRINDER PUMP CORES	130,000.00	129,600.00	0.00		400.00	99.69
590-527.000-752.000	SUPPLIES & SMALL EQUIPMENT	25,000.00	20,716.49	1,500.87		4,283.51	82.87
590-527.000-758.000	DIESEL FUEL	2,000.00	768.57	0.00		1,231.43	38.43
590-527.000-759.000	VEHICLE FUEL	12,000.00	11,467.07	0.00		532.93	95.56
590-527.000-768.000	UNIFORMS/ACCESSORIES	10,000.00	8,928.61	810.92		1,071.39	89.29
590-527.000-801.000	CONTRACTUAL SERVICES	15,500.00	15,287.70	0.00		212.30	98.63
590-527.000-826.000	LEGAL FEES	4,000.00	5,944.00	0.00		(1,944.00)	148.60
590-527.000-840.000	LIABILITY/CASUALTY INSURANCE	27,000.00	14,209.98	0.00		12,790.02	52.63
590-527.000-843.000	MISC MEDICAL EXPENSES	2,000.00	1,000.00	0.00		1,000.00	50.00
590-527.000-851.000	POSTAGE	7,500.00	7,713.68	0.00		(213.68)	102.85
590-527.000-853.000	PHONE/COMM/INTERNET	16,000.00	8,531.20	1,343.00		7,468.80	
590-527.000-861.000	MILEAGE	200	201.76	140.18		(201.76)	
590-527.000-900.000	LEGAL NOTICES/ADVERTISING	400.00	110.00	0.00		290.00	27.50

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23 AMENDED BUDGET	YTD BALANCE 04/30/2023	ACTIVITY FOR MONTH 04/30/2023	AVAILABLE BALANCE	% BDGT USED
Fund 590 - SEWER FUND						
Expenditures						
590-527.000-901.000	BAD DEBT EXPENSE	0.00	0.00	0.00	0.00	0.00
590-527.000-910.000	PROFESSIONAL DEVELOPMENT	4,000.00	4,082.00	0.00	(82.00)	102.05
590-527.000-917.500	TREATMENT EXPENSE	115,000.00	84,729.30	27,828.38	30,270.70	73.68
590-527.000-920.000	ELECTRIC	30,000.00	20,042.69	0.00	9,957.31	66.81
590-527.000-921.000	NATURAL GAS/HEAT	4,000.00	3,480.00	280.56	520.00	87.00
590-527.000-930.006	BLDG MAINT-ENT @ LRG(RENTAL HOME)	0.00	0.00	0.00	0.00	0.00
590-527.000-930.010	SEWER MAINTENANCE GARAGE	1,500.00	866.00	0.00	634.00	57.73
590-527.000-930.011	ENTERPRISE POLE BARN(OIGINAL)	4,000.00	4,689.49	0.00	(689.49)	117.24
590-527.000-931.000	EQUIPMENT MAINT/REPAIR	2,500.00	1,436.34	0.00	1,063.66	57.45
590-527.000-932.000	VEHICLE MAINTENANCE	4,000.00	4,746.31	0.00	(746.31)	118.66
590-527.000-933.000	SOFTWARE MAINTENANCE	2,000.00	1,027.41	0.00	972.59	51.37
590-527.000-934.100	PUMP & MAIN REPAIR/MAINTENANCE	156,000.00	186,270.13	3,000.00	(30,270.13)	119.40
590-527.000-934.200	GRINDER PUMP REPLACEMENT	78,000.00	81,068.75	0.00	(3,068.75)	103.93
590-527.000-946.000	ENGINEERING SERVICES	10,000.00	(6,273.00)	0.00	16,273.00	(62.73)
590-527.000-955.000	SUNDRY	500.00	560.00	0.00	(60.00)	112.00
590-527.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	4,000.00	3,998.55	0.00	1.45	99.96
590-527.000-968.000	DEPRECIATION	750,000.00	0.00	0.00	750,000.00	0.00
590-527.000-969.003	AMORT EXP OF BOND DISCOUNT	0.00	0.00	0.00	0.00	0.00
590-527.000-973.500	RESERVE FOR GRINDER PUMP PURCHASE	0.00	0.00	0.00	0.00	0.00
590-527.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP	20,000.00	819.65	0.00	19,180.35	4.10
590-527.000-980.001	CONTRACT S.A.D. SEWER CONNECTIONS	0.00	0.00	0.00	0.00	0.00
590-527.000-980.017	CAPITAL IMPROVEMENTS-SEWER LOOP (ARPA)	600,215.00	608,442.25	10,689.00	(8,227.25)	101.37
590-527.000-981.000	CAPITAL EXPENSE - VEHICLE	28,000.00	0.00	0.00	28,000.00	0.00
590-527.000-981.500	RESERVE FOR VEHICLE PURCHASE	0.00	0.00	0.00	0.00	0.00
590-527.000-999.101	TRANSFER OUT GENERAL FUND	57,500.00	47,916.70	4,791.67	9,583.30	83.33
Total Dept 527.000 - SEWER OPERATING		3,117,486.00	2,106,876.18	98,327.04	1,010,609.82	67.58
Dept 537.000						
590-537.000-752.000	SUPPLIES & SMALL EQUIPMENT	20,000.00	14,824.06	2,222.25	5,175.94	74.12
590-537.000-753.000	CHEMICALS	45,500.00	45,273.52	0.00	226.48	99.50
590-537.000-758.000	DIESEL FUEL	250.00	969.16	0.00	(719.16)	387.66
590-537.000-801.000	CONTRACTUAL SERVICES	0.00	0.00	0.00	0.00	0.00
590-537.000-853.000	PHONE/COMM/INTERNET	250.00	259.46	0.00	(9.46)	103.78
590-537.000-910.000	PROFESSIONAL DEVELOPMENT	1,000.00	0.00	0.00	1,000.00	0.00
590-537.000-917.600	SLUDGE REMOVAL EXPENSE WWTP	55,000.00	36,414.00	0.00	18,586.00	66.21
590-537.000-919.000	TRASH DISPOSAL	1,500.00	1,129.74	129.40	370.26	75.32
590-537.000-920.000	ELECTRIC	75,000.00	57,372.77	0.00	17,627.23	76.50
590-537.000-921.000	NATURAL GAS/HEAT	25,000.00	29,769.65	5,711.16	(4,769.65)	119.08
590-537.000-930.007	BUILDING MAINTENANCE - WWTP	2,500.00	339.60	0.00	2,160.40	13.58
590-537.000-931.000	EQUIPMENT MAINT/REPAIR	8,000.00	7,961.58	129.75	38.42	99.52
590-537.000-934.100	PUMP & MAIN REPAIR/MAINTENANCE	37,000.00	18,707.43	706.51	18,292.57	50.56
590-537.000-946.000	ENGINEERING SERVICES	12,000.00	90.00	0.00	11,910.00	0.75
590-537.000-952.000	LAB ANALYSIS - WWTP	9,000.00	11,246.00	0.00	(2,246.00)	124.96
590-537.000-952.100	LAB ANALYSIS FEES - PORTAGE	10,000.00	8,186.00	0.00	1,814.00	81.86
590-537.000-955.000	SUNDRY	250.00	0.00	0.00	250.00	0.00
590-537.000-955.100	ANNUAL GRNDWATER DISCHARGE FEE	5,000.00	5,285.25	0.00	(285.25)	105.71
590-537.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	500.00	0.00	0.00	500.00	0.00
590-537.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP	7,500.00	1,004.00	0.00	6,496.00	13.39
Total Dept 537.000		315,250.00	238,832.22	8,899.07	76,417.78	



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\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23 AMENDED BUDGET	YTD BALANCE 04/30/2023	ACTIVITY FOR MONTH 04/30/2023	AVAILABLE BALANCE	% BDGT USED
<b>Fund 590 - SEWER FUND</b>						
Expenditures						
Dept 538.000						
590-538.000-826.000	LEGAL FEES	0.00	0.00	0.00	0.00	0.00
590-538.000-903.000	ARIAL/TOPOGRAPHICAL MAPPING	0.00	0.00	0.00	0.00	0.00
590-538.000-946.000	ENGINEERING SERVICES	2,500.00	0.00	0.00	2,500.00	0.00
590-538.000-955.000	SUNDRY	1,000.00	990.00	240.00	10.00	99.00
590-538.000-999.101	TRANSFER OUT G/F ADMIN FEE	57,500.00	47,916.70	4,791.67	9,583.30	83.33
<b>Total Dept 538.000</b>		<b>61,000.00</b>	<b>48,906.70</b>	<b>5,031.67</b>	<b>12,093.30</b>	<b>80.17</b>
Dept 539.000						
590-539.000-955.000	SUNDRY	0.00	0.00	0.00	0.00	0.00
590-539.000-991.000	DEBT SERVICE - PRINCIPAL	525,000.00	205,815.90	0.00	319,184.10	39.20
590-539.000-992.000	INTEREST EXPENSE	130,000.00	113,211.28	0.00	16,788.72	87.09
590-539.000-993.000	AGENT FEES	1,200.00	750.00	0.00	450.00	62.50
<b>Total Dept 539.000</b>		<b>656,200.00</b>	<b>319,777.18</b>	<b>0.00</b>	<b>336,422.82</b>	<b>48.73</b>
Dept 540.000						
590-540.000-917.900	WATER PURCHASE CITY OF BRIGHTON	40,000.00	43,386.00	5,868.00	(3,386.00)	108.47
<b>Total Dept 540.000</b>		<b>40,000.00</b>	<b>43,386.00</b>	<b>5,868.00</b>	<b>(3,386.00)</b>	<b>108.47</b>
<b>TOTAL EXPENDITURES</b>		<b>4,189,936.00</b>	<b>2,757,778.28</b>	<b>118,125.78</b>	<b>1,432,157.72</b>	<b>65.82</b>
<b>Fund 590 - SEWER FUND:</b>						
TOTAL REVENUES		4,189,936.00	3,070,359.76	308,134.73	1,119,576.24	73.28
TOTAL EXPENDITURES		4,189,936.00	2,757,778.28	118,125.78	1,432,157.72	65.82
NET OF REVENUES & EXPENDITURES		0.00	312,581.48	190,008.95	(312,581.48)	100.00
<b>Fund 591 - WATER DEBT SERVICE FUND</b>						
Revenues						
Dept 000.000						
591-000.000-472.000	SPECIAL ASSESSMENT REVENUE	81,000.00	83,497.08	0.00	(2,497.08)	103.08
591-000.000-654.503	LCWA-WATER CONNECTION FEES	0.00	520,000.00	0.00	(520,000.00)	100.00
591-000.000-664.000	INTEREST REVENUE	500.00	12,721.14	3,046.49	(12,221.14)	2,544.23
591-000.000-664.020	INTEREST REVENUE LCWA	0.00	0.00	0.00	0.00	0.00
591-000.000-677.000	SUNDRY	0.00	0.00	0.00	0.00	0.00
591-000.000-699.101	TRANSFER IN GENERAL CAPITAL	146,308.00	128,333.40	12,833.34	17,974.60	87.71
591-000.000-699.999	APPROPRIATION FROM SURPLUS	44,892.00	0.00	0.00	44,892.00	0.00
<b>Total Dept 000.000</b>		<b>272,700.00</b>	<b>744,551.62</b>	<b>15,879.83</b>	<b>(471,851.62)</b>	<b>273.03</b>
<b>TOTAL REVENUES</b>		<b>272,700.00</b>	<b>744,551.62</b>	<b>15,879.83</b>	<b>(471,851.62)</b>	<b>273.03</b>

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\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2022-23 AMENDED BUDGET	YTD BALANCE 04/30/2023	ACTIVITY FOR MONTH 04/30/2023	AVAILABLE BALANCE	% BDGT USED
Fund 591 - WATER DEBT SERVICE FUND						
Expenditures						
591-000.000-826.000	LEGAL FEES	0.00	0.00	0.00	0.00	0.00
591-000.000-991.000	DEBT SERVICE - PRINCIPAL	200,000.00	200,000.00	0.00	0.00	100.00
591-000.000-992.000	INTEREST EXPENSE	71,000.00	62,550.00	0.00	8,450.00	88.10
591-000.000-992.001	INTEREST EXPENSE ON INTERFUND NOTE	0.00	0.00	0.00	0.00	0.00
591-000.000-993.000	AGENT FEES	1,700.00	950.00	0.00	750.00	55.88
Total Dept 000.000		272,700.00	263,500.00	0.00	9,200.00	96.63
TOTAL EXPENDITURES		272,700.00	263,500.00	0.00	9,200.00	96.63
Fund 591 - WATER DEBT SERVICE FUND:						
TOTAL REVENUES		272,700.00	744,551.62	15,879.83	(471,851.62)	273.03
TOTAL EXPENDITURES		272,700.00	263,500.00	0.00	9,200.00	96.63
NET OF REVENUES & EXPENDITURES		0.00	481,051.62	15,879.83	(481,051.62)	100.00
TOTAL REVENUES - ALL FUNDS						
		18,236,814.42	14,741,598.13	774,405.01	3,495,216.29	80.83
TOTAL EXPENDITURES - ALL FUNDS						
		18,236,814.42	12,802,839.98	717,399.15	5,433,974.44	70.20
NET OF REVENUES & EXPENDITURES						
		0.00	1,938,758.15	57,005.86	(1,938,758.15)	100.00

CASH SUMMARY BY ACCOUNT FOR HAMBURG TWP  
 FROM 04/01/2023 TO 04/30/2023  
 FUND: ALL FUNDS  
 CASH ACCOUNTS

Item 20.

Fund Account	Description	Beginning Balance 04/01/2023	Total Debits	Total Credits	Ending Balance 04/30/2023
Fund 101	General Fund				
002.000	CASH/SAVINGS	4,845,430.73	953,821.59	807,397.99	4,991,854.33
002.100	ARPA FUNDING	2,285,711.74	0.00	0.00	2,285,711.74
002.179	TPA HEALTH CARE REIMB	6,654.31	1,500.00	3,739.50	4,414.81
002.200	ESCROW PERFORMANCE BONDS	128,170.75	0.00	0.00	128,170.75
002.279	ZONING REVIEW ESCROW	161,047.27	488.10	1,835.50	159,699.87
002.701	CASH 701 FUND	0.00	0.00	0.00	0.00
004.000	PETTY CASH	200.00	0.00	0.00	200.00
004.100	SENIOR CENTER PETTY CASH	300.00	0.00	0.00	300.00
008.000	CHANGE ACCOUNT	250.00	0.00	0.00	250.00
008.003	HAYCRK/CHAMBERSRDCONSTESCROW	41,578.13	0.00	0.00	41,578.13
008.004	HAYCRK/CHAMBERSRDENGESCROW	27,339.00	0.00	0.00	27,339.00
	General Fund	7,496,681.93	955,809.69	812,972.99	7,639,518.63
Fund 151	CEMETERY TRUST FUND				
003.005	RESTRICTED CEMETERY TRUST	7,748.54	23.75	0.00	7,772.29
Fund 204	Road Fund				
002.000	CASH/SAVINGS	1,183,754.65	3,629.06	0.00	1,187,383.71
Fund 206	Fire Fund				
002.000	CASH/SAVINGS	1,848,274.50	5,309.97	186,805.90	1,666,778.57
004.000	PETTY CASH	300.00	0.00	0.00	300.00
	Fire Fund	1,848,574.50	5,309.97	186,805.90	1,667,078.57
Fund 207	Police Fund				
002.000	CASH/SAVINGS	1,122,947.74	5,831.38	251,733.99	877,045.13
004.000	PETTY CASH	200.00	0.00	0.00	200.00
	Police Fund	1,123,147.74	5,831.38	251,733.99	877,245.13
Fund 208	SENIORS, PARKS, LL TRAIL				
002.000	CASH/SAVINGS	657,019.33	10,453.16	52,488.59	614,983.90
Fund 211	Act 302 Training Fund				
002.000	CASH/SAVINGS	1,643.79	0.00	165.00	1,478.79
Fund 243	BROWNFIELD REDEVELOPMENT AUTHORITY FUND				
002.000	CASH/SAVINGS	3,778.43	11.58	0.00	3,790.01
Fund 245	Public/Capital Improvements				
002.000	CASH/SAVINGS	0.00	0.00	0.00	0.00
Fund 252	HAMBURG TWP AQUATIC WEED CONTROL SAD				
002.000	CASH/SAVINGS	134,420.28	412.09	0.00	134,832.37
Fund 265	Drug Enforcement Fund				
002.000	CASH/SAVINGS	2,631.93	11.57	0.00	2,643.50
002.003	FEDERAL FORFEITURE FUNDS	980.13	0.00	0.00	980.13
002.005	STATE FORFEITURE FUNDS	142.23	0.00	0.00	142.23
	Drug Enforcement Fund	3,754.29	11.57	0.00	3,765.86
Fund 272	Rustic/Lake Pointe Road SAD				
002.000	CASH/SAVINGS	6,273.48	18.77	150.00	6,142.25
Fund 273	Scott Drive ROAD SAD				
002.000	CASH/SAVINGS	2,484.92	0.00	160.00	2,324.92
Fund 274	Crystal Drive/Beach Rd Maint				
002.000	CASH/SAVINGS	2,328.86	0.00	710.00	1,618.86
Fund 275	Norene Ct/Peary Dr SAD - Rd Mn				
002.000	CASH/SAVINGS	4,954.01	14.73	150.00	4,8

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CASH SUMMARY BY ACCOUNT FOR HAMBURG TWP  
 FROM 04/01/2023 TO 04/30/2023  
 FUND: ALL FUNDS  
 CASH ACCOUNTS

Item 20.

Fund Account	Description	Beginning Balance 04/01/2023	Total Debits	Total Credits	Ending Balance 04/30/2023
Fund 276 002.000	Community Dr SAD - Road Maint CASH/SAVINGS	3,442.28	10.55	0.00	3,452.83
Fund 277 002.000	Edgelake/Burton Drive SAD CASH/SAVINGS	989.32	0.00	0.00	989.32
Fund 278 002.000	Downing Drive SAD CASH/SAVINGS	2,497.38	0.00	0.00	2,497.38
Fund 279 002.000	Riverside/Century/Lagoon SAD CASH/SAVINGS	28,478.11	85.01	750.00	27,813.12
Fund 280 002.000	Island Shore/Schlenker SAD CASH/SAVINGS	6,024.08	17.63	275.00	5,766.71
Fund 281 002.000	Campbell Drive SAD CASH/SAVINGS	3,840.45	11.34	140.00	3,711.79
Fund 282 002.000	Mumford Park Lighting SAD CASH/SAVINGS	589.98	0.00	127.36	462.62
Fund 283 002.000	KINGSTON DRIVE MAINTENANCE SAD CASH/SAVINGS	13,900.35	42.61	0.00	13,942.96
Fund 284 002.000	Winans Drive SAD CASH/SAVINGS	9,204.79	27.54	220.00	9,012.33
Fund 285 002.000	STRAWBERRY INDIANOLA IMP SAD CASH/SAVINGS	0.00	0.00	0.00	0.00
003.497	S'BERRY INDIANOLA DEBT CASH	103,140.01	316.20	0.00	103,456.21
	STRAWBERRY INDIANOLA IMP SAD	103,140.01	316.20	0.00	103,456.21
Fund 286 002.000	SHAN-GRI-LA AQUATIC WEED CONTROL CASH/SAVINGS	3,758.84	11.52	0.00	3,770.36
Fund 287 002.000	DOWNING DR ROAD IMP SAD CASH/SAVINGS	0.00	0.00	0.00	0.00
003.499	DOWNING DEBT CASH	26,329.08	80.72	0.00	26,409.80
	DOWNING DR ROAD IMP SAD	26,329.08	80.72	0.00	26,409.80
Fund 302 002.000	Twp FIRE STN Cap Imp Debt Ser CASH/SAVINGS	(25,973.59)	0.00	0.00	(25,973.59)
002.302	CASH	116,569.33	277.74	0.00	116,847.07
	Twp FIRE STN Cap Imp Debt Ser	90,595.74	277.74	0.00	90,873.48
Fund 375 002.000	Mumford Dredging Debt Retirement CASH/SAVINGS	0.00	0.00	0.00	0.00
003.908	2004 BOND DEBT	3,306.64	10.14	0.00	3,316.78
	Mumford Dredging Debt Retirement	3,306.64	10.14	0.00	3,316.78
Fund 376 002.000	Buhl Rd Improve. Debt Retirement CASH/SAVINGS	0.00	0.00	0.00	0.00
Fund 590 002.000	SEWER FUND CASH/SAVINGS	852.04	130,712.46	130,712.46	852.04
002.002	WATER RECEIPTS FROM BILLS	6,774.54	6,737.63	0.00	13,512.17
002.008	CASH - INFRASTRUCTURE DEPOSIT	0.00	0.00	0.00	0.00
002.590	SAVINGS - O&M	996,982.14	194,016.32	175,289.15	1,015,709.31
002.908	2004 BOND SERIES CONSTRUCTION	0.00	0.00	0.00	0.00
003.590	SAVINGS - CAP ACTIVITY-ENTERPRS	666,486.59	54,937.47	8,980.80	712,443.26
003.905	98 CONTRACT SAD'S RESTRICTED	0.00	0.00	0.00	0.00
003.906	01 CSAD'S/MA/TOW/GALL-WHT/BCK	843,711.76	2,586.58	0.00	846,298.34
003.908	2004 BOND DEBT	76,591.10	234.81	0.00	76,825.91

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CASH SUMMARY BY ACCOUNT FOR HAMBURG TWP  
 FROM 04/01/2023 TO 04/30/2023  
 FUND: ALL FUNDS  
 CASH ACCOUNTS

Item 20.

Fund Account	Description	Beginning Balance 04/01/2023	Total Debits	Total Credits	Ending Balance 04/30/2023
003.912	MIDLAND SEWER CONTRACT SAD DEBT	0.00	0.00	0.00	0.00
003.918	NIMS CONTRACT SAD SEWER CONNECTION	0.00	0.00	0.00	0.00
005.465	WWTP BOND RESERVE	472,523.19	1,448.62	0.00	473,971.81
006.465	WWTP PRINCIPAL/INTER REDEMPTN	688,076.32	74,123.85	2,113.89	760,086.28
006.590	EQUIPMENT RESERVE - ENTERPRISE	1,408,961.62	4,319.48	0.00	1,413,281.10
	SEWER FUND	5,160,959.30	469,117.22	317,096.30	5,312,980.22
Fund 591	WATER DEBT SERVICE FUND				
002.000	CASH/SAVINGS	541,815.57	14,533.74	0.00	556,349.31
003.907	WATER SYSTEM DEBT (Well)	3,719.69	11.40	0.00	3,731.09
003.910	M36 CORRIDOR WATER DISTRICT DEBT	435,361.41	1,334.69	0.00	436,696.10
	WATER DEBT SERVICE FUND	980,896.67	15,879.83	0.00	996,776.50
Fund 703	Winter Tax Collection Fund				
002.000	CASH/SAVINGS	1,515.60	0.00	0.00	1,515.60
Fund 805	SPECIAL ASSESSMENT CAPITAL PROJECT FUND				
002.000	CASH/SAVINGS	0.00	0.00	0.00	0.00
Fund 811	PETTYS ROAD REHAB DISTRICT				
002.000	CASH/SAVINGS	0.00	0.00	0.00	0.00
Fund 854	2020-ROAD SAD FUND				
002.000	CASH/SAVINGS	305,955.13	3,486.32	0.00	309,441.45
002.854	2020 SAD ROAD IMPROVE	831,239.78	0.00	0.00	831,239.78
	2020-ROAD SAD FUND	1,137,194.91	3,486.32	0.00	1,140,681.23
Fund 857	HILLSIDE LAKES DRIVE ROAD IMPROVEMENT SA				
002.000	CASH/SAVINGS	21,137.22	64.80	0.00	21,202.02
	TOTAL - ALL FUNDS	20,074,365.50	1,470,964.92	1,623,945.13	19,921,385.29

## TAB 2

### CASH FLOW ANALYSIS/DEBT PAYMENT SCHEDULES

The cash flow analysis is included in tab 2. The cash flow analysis has actual cash flows for April 2023.

The funds included in the pooled cash flow are general, fire, police, parks, public capital improvements and sewer operations and maintenance, WWTP debt accounts, cemetery, sewer equipment reserve, road maintenance SADs, performance bonds, SAD debt and escrows.

Tab 2 also includes a debt payment schedules for fiscal year 2022-23.

The cash flow analysis and the debt payment schedules assist the Treasurer's staff in determining maturity dates on future investments by determining cash needs for each month.

HAMBURG TOWNSHIP  
 POOLED CASH  
 FY 22/23

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CASH INFLOWS	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER	JANUARY	FEBRUARY	MARCH	APRIL	MAY	JUNE	Total for All Periods
PROPERTY TAXES	-	-	85,838	-	-	689,889	668,380	1,295,247	1,261,575	-	344,956	266,627	\$4,612,511
STATE REVENUE SHARING	-	420,587	-	438,480	-	415,584	-	403,326	-	353,631	16,268	384,868	\$2,432,744
CABLE FRANCHISE FEES	-	80,424	-	-	80,132	-	-	81,106	-	-	76,573	-	\$318,234
INTEREST EARNINGS	14,312	15,793	23,295	15,197	22,429	36,538	42,056	27,075	38,828	60,672	4,583	8,670	\$309,449
PROPERTY TAX ADMIN FEES	-	26,265	-	-	-	-	-	-	-	-	-	-	\$26,265
OTHER CASH RECEIPTS	341,232	1,377,972	-	211,391	1,207,175	2,552,750	1,581,946	219,888	262,475	63,249	153,804	1,216,723	\$9,188,606
UTILITY BILL RECEIPTS	416,386	235,536	66,911	300,231	132,749	24,481	229,990	151,922	34,945	207,693	134,044	29,792	\$1,964,679
NEW SEWER HOOKUPS	-	55,109	18,929	101,916	22,440	-	39,720	-	-	52,760	31,562	-	\$322,436
MMRMA LIAB INS EXCESS DIST	25,519	-	69,617	-	-	-	-	-	-	-	-	-	\$95,136
FROM FORFEITURE - BUDGETED	-	-	-	-	-	-	-	-	-	-	-	-	\$0
SAD PAYOFFS	-	-	-	-	-	-	-	-	-	-	-	-	\$0
ANNUAL SAD ON TAX BILLS	-	-	-	-	-	-	-	-	186,390	-	-	-	\$186,390
<b>Total Cash Inflows</b>	<b>\$797,449</b>	<b>\$2,211,687</b>	<b>\$264,589</b>	<b>\$1,067,215</b>	<b>\$1,464,925</b>	<b>\$3,719,241</b>	<b>\$2,562,092</b>	<b>\$2,178,564</b>	<b>\$1,784,213</b>	<b>\$738,006</b>	<b>\$761,790</b>	<b>\$1,906,680</b>	<b>\$19,456,451</b>

CASH OUTFLOWS	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER	JANUARY	FEBRUARY	MARCH	APRIL	MAY	JUNE	Total for All Periods
MONTHLY PAYROLL	471,980	429,030	665,417	304,607	269,039	343,218	434,873	416,875	648,881	470,099	240,834	309,855	\$5,004,707
BENEFITS	231,198	150,123	175,492	124,228	129,303	186,894	151,743	171,942	199,710	170,900	192,748	150,513	\$2,034,795
AUDIT	-	16,084	32,450	-	-	-	-	-	-	-	-	-	\$48,534
LIABILITY/CASUALTY INSURANCE	123,603	-	-	-	65,833	-	-	-	-	-	-	-	\$189,436
UTILITIES	-	23,036	25,750	16,454	21,523	25,174	48,347	24,719	68,981	11,274	50,578	18,692	\$334,529
DUST CONTROL	-	4,774	5,495	-	5,113	-	5,255	2,690	1,190	16,395	5,939	29,956	\$76,806
TREATMENT/SLUDGE HAUL EXP	10,560	-	-	149,620	-	-	63,505	13,482	-	-	-	56,507	\$293,674
OTHER EXPENDITURES	408,982	311,999	1,235,260	161,587	263,255	270,953	324,127	276,036	284,128	156,435	292,359	487,654	\$4,472,775
FUEL	-	11,243	14,075	9,538	7,635	10,897	9,894	8,927	9,525	9,376	4,775	-	\$95,885
VEHICLE PURCHASE	-	-	-	-	-	-	-	-	-	-	-	-	\$0
GRINDER PARTS/PUMP MAINT	40,971	37,060	36,689	714,137	129,600	64,440	15,398	45,386	1,053	4,212	1,755	126,628	\$1,217,330
CAPITAL EQUIPMENT	390	15,753	127,949	227,018	229,647	179,057	247,886	15,481	88,453	73,825	8,836	186,528	\$1,400,824
ROAD IMPROVEMENTS	-	502,893	517,312	135,616	488,896	-	-	-	-	-	-	-	\$0
DEBT	-	-	394,828	-	-	-	-	-	749,716	-	-	-	\$1,144,543
<b>Total Cash Outflows</b>	<b>\$1,287,684</b>	<b>\$1,501,996</b>	<b>\$3,377,324</b>	<b>\$1,842,805</b>	<b>\$1,609,843</b>	<b>\$1,080,633</b>	<b>\$1,301,028</b>	<b>\$975,538</b>	<b>\$2,051,637</b>	<b>\$912,517</b>	<b>\$797,823</b>	<b>\$1,366,334</b>	<b>\$18,105,162</b>

SUMMARY	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER	JANUARY	FEBRUARY	MARCH	APRIL	MAY	JUNE	Total for All Periods
<b>Net Cash Flow</b>	<b>(\$490,235)</b>	<b>\$709,691</b>	<b>(\$3,112,736)</b>	<b>(\$775,590)</b>	<b>(\$144,919)</b>	<b>\$2,638,609</b>	<b>\$1,261,064</b>	<b>\$1,203,026</b>	<b>(\$267,424)</b>	<b>(\$174,512)</b>	<b>(\$36,033)</b>	<b>\$540,347</b>	<b>\$1,351,289</b>
Beginning cash balance	\$19,012,222	18,521,987	19,231,678	16,118,943	15,343,352	15,198,434	17,837,042	19,098,107	20,301,133	20,033,709	19,859,197	19,823,164	\$19,012,222
<b>Cumulative Net Cash Flow</b>	<b>\$18,521,987</b>	<b>\$19,231,678</b>	<b>\$16,118,943</b>	<b>\$15,343,352</b>	<b>\$15,198,434</b>	<b>\$17,837,042</b>	<b>\$19,098,107</b>	<b>\$20,301,133</b>	<b>\$20,033,709</b>	<b>\$19,859,197</b>	<b>\$19,823,164</b>	<b>\$20,363,511</b>	<b>\$20,363,511</b>
	18,521,987	19,231,678	16,118,943	15,343,352	15,198,434	17,837,042	19,098,107	20,301,133	20,033,709	19,859,197	19,012,222	19,552,569	
	-	-	-	-	-	-	(0.00)	(0.00)	(0.30)	(0.00)	810,942.34	810,942.34	

POOLED CASH:  
 GENERAL(101), FIRE(206), POLICE(207), REC(208), ACT 302(211), PUBLIC CAP IMP(245), SEWER O&M, ROAD MAINT SAD, CEMETERY, EQUIPMENT RESERVE, ESCROW, DEBT ACCOUNTS

HAMBURG TOWNSHIP  
DEBT PAYMENT SCHEDULE  
FISCAL YEAR 2022-23

DEBT ISSUE	INTEREST DUE DATE	PRIN & INTEREST DUE DATE	ADMIN FEE DUE DATE	INVOICE ANTICIPATED DATE	ANTICIPATED TRANSFER/ INVESTMENT LIQUIDATION DATE	AMOUNT DUE	PRINCIPAL OUTSTANDING FY 2022-23	principal		Terms	
								principal	interest		
\$2,595,000 Bond Sale	12 REFUNDING (04 SAD)	10/1/2022			8/20/2018	9/7/2021	3,075	205,000		3,075	10/1/2022
			4/1/2023		2/20/2019	3/15/2021	205,000		205,000	3,075	
				4/1/2023	4/1/2019	3/15/2021	750				
\$1,1730,000 Bond Sale	12 REFUNDING (2002 WATER)			4/1/2023	4/1/2019	3/15/2021	750	820,000			10/1/2031
		4/1/2023			2/20/2019	3/15/2021	14,900			16,400	
			10/1/2022		8/20/2018	9/7/2020	114,900		100,000		14,900
\$1,455,000 Bond Sale	2008 WATER SYS PROJ	10/1/2022			8/20/2018	9/7/2020	15,625	525,000		15,625	4/1/2028
				4/1/2023	4/1/2019	3/15/2021	750				
				4/1/2023	2/20/2019	3/15/2021	115,625		100,000		15,625
5308-01 Project MFA	2009 ORE LAKE SRF	4/1/2023			2/20/2019	3/15/2021	6,928	489,202		6,928	10/1/2029
			10/1/2022		8/20/2018	9/7/2020	71,927		65,000	6,927	
\$445,000 SAD Bond Sale	2010 IND/DOWNING	10/1/2022			8/20/2018	9/7/2020	4,713	137,000		4,713	
		4/1/2023			2/20/2019	3/15/2021	29,713		25,000	4,713	4/1/2030
5301-01 Project MFA	2010 WWTP IMP		10/1/2022		8/20/2018	9/7/2020	190,875	1,500,000	170,000	20,875	10/1/2030
		4/1/2023			2/20/2019	3/15/2021	18,750			18,750	
\$4,590,000 Bond Sale	2007 WWTP REFUNDING	7/1/2022			11/19/2019	12/21/2021	294,684	1,160,000	265,000	-	7/1/2026
				1/1/2023	5/1/2019	4/20/2021	750		-	-	
				1/1/2023	5/20/2019	6/21/2020	24,219		-	24,219	
\$3,315,000 Bond Sale	Special Assessments	10/1/2022					14,735	2,740,000		14,735	4/1/2030
			4/1/2023				354,735		340,000	14,735	
		7/1/2022					750				
						1,734,003	7,815,902	1,509,700	194,694	1,700,644 Including yearly fees	





10405 Merrill Road ♦ P.O. Box 157  
 Hamburg, MI 48139  
 Phone: 810.231.1000 ♦ Fax: 810.231.4295  
[www.hamburg.mi.us](http://www.hamburg.mi.us)

## TAB 3

### PROPERTY TAXES:

#### Fiscal Year 2022/23:

The 2022/23 tax collection cycle began July 1, 2022 and will end March 1, 2023. All unpaid tax bills on March 2, 2023 will be turned over delinquent to the Livingston County Treasurer for further collection efforts. Hamburg Township will no longer be able to collect payments on those tax bills turned over. Any unpaid tax bills must be paid directly to the Livingston County Treasurer.

The first section of Tab 3 contains a 10-year comparison table of the following information: 1) taxable values for all properties in Hamburg Township; 2) taxes billed on all properties; and, 3) the percentage of delinquent tax bills sent to Livingston County.

Section 2 of Tab 3 is a chart of the past 10 years of annual budgeted millage rate.

Section 3 of Tab 3 is a table that shows the millage rates for each taxing entity for which the township collects taxes. These entities are Hamburg Township, Hamburg Township Library, Livingston County, Pinckney, Brighton, and Dexter Schools, Livingston and Washtenaw County Intermediate School Districts, and Dexter Library.

**Hamburg Township**  
**Fiscal Year 2022-23 Annual Budget**  
**History of Taxable Values**

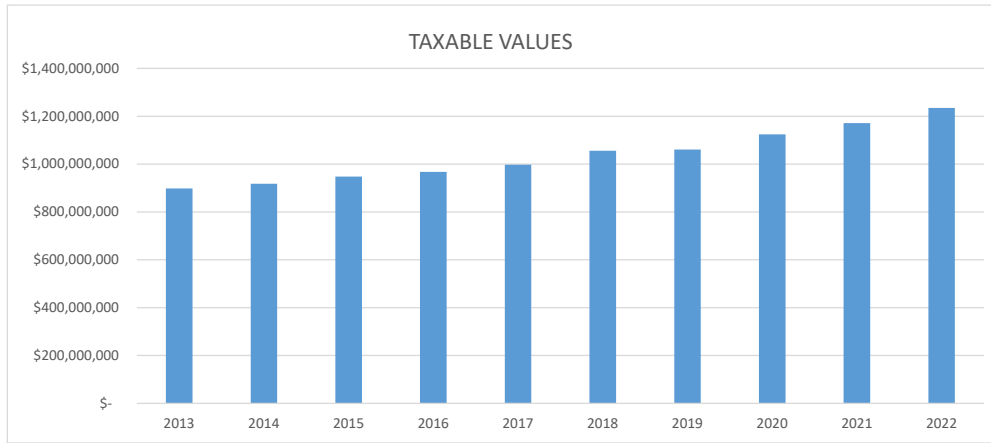
Item 20.

Property Taxes:

Property taxes are expressed in terms of millage with one mill being equal to \$1.00 per thousand dollars of taxable value. Assessing records maintain two values for each property in the Township. Prior to Proposal A, all property was taxed based on the State Equalized Value (S.E.V.), which represents 50% of the true cash value. Proposal A limits the increase in value attributed to market changes to the lesser of 5% or the Inflation Rate Multiplier (previously referred to as Consumer Price Index). The one exception refers to properties that change ownership, which brings the taxable value equal to the S.E.V.

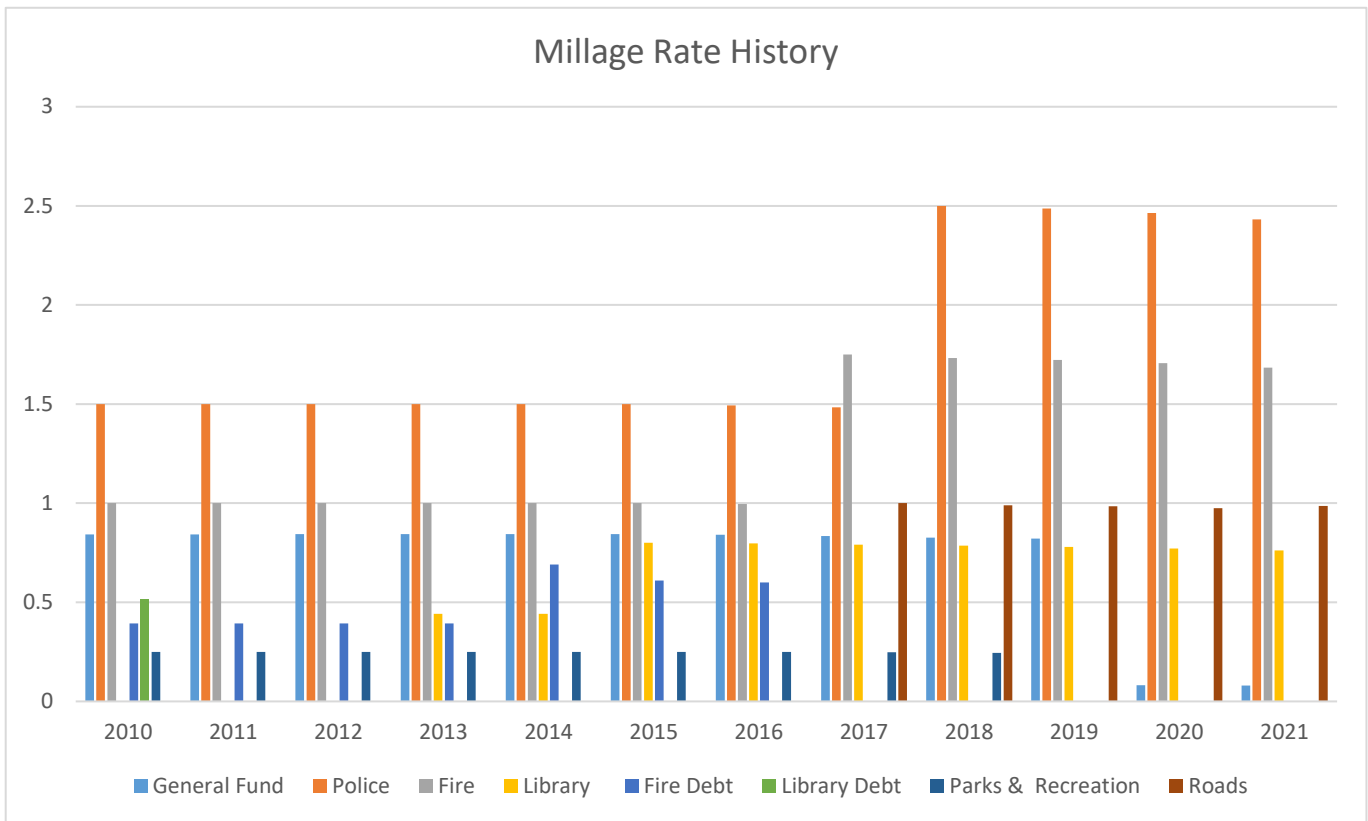
The following shows the history of taxable values of prior years.

Tax Year	Taxable Value
2013	\$ 897,809,412
2014	\$ 917,520,530
2015	\$ 948,085,112
2016	\$ 967,818,734
2017	\$ 997,810,022
2018	\$ 1,055,544,188
2019	\$ 1,061,210,928
2020	\$ 1,123,880,169
2021	\$ 1,171,442,304
2022	\$ 1,235,111,138



**Hamburg Township  
Fiscal Year 2022-2023 Annual Budget  
Millage Rate History  
Actual from Fiscal Year 2010 - 2021**

Fiscal Year	General Fund	Police	Fire	Library	Fire Debt	Library Debt	Parks & Recreation	Roads
2010	0.8422	1.5000	1.0000		0.3932	0.5159	0.2500	
2011	0.8422	1.5000	1.0000		0.3932		0.2500	
2012	0.8442	1.5000	1.0000		0.3932		0.2500	
2013	0.8442	1.5000	1.0000	0.4418	0.3932		0.2500	
2014	0.8442	1.5000	1.0000	0.4418	0.6904		0.2500	
2015	0.8442	1.5000	1.0000	0.8000	0.6100		0.2500	
2016	0.8405	1.4935	0.9957	0.7965	0.6000		0.2489	
2017	0.8349	1.4836	1.7500	0.7912			0.2472	1.0000
2018	0.8262	2.5000	1.7318	0.7859			0.2445	0.9896
2019	0.8217	2.4867	1.7226	0.7787				0.9843
2020	0.08143	2.4645	1.7072	0.7717				0.9755
2021	0.08034	2.4317	1.6844	0.7614				0.9867



\*\* Fire Millage voted in August of 2016

\*\* Road Millage voted in August of 2016

\*\* Police millage voted in August 2018

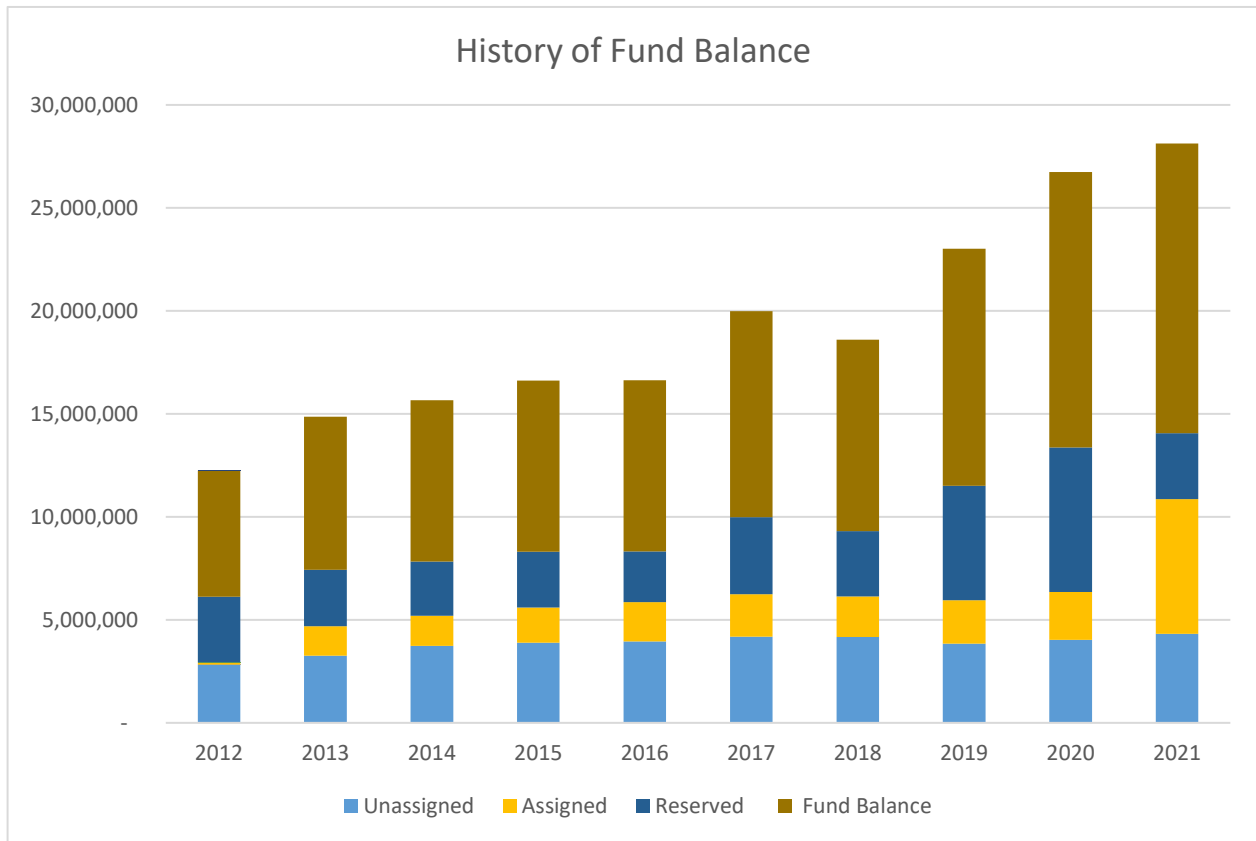
**Hamburg Township  
Fiscal Year 2022-23 Annual Budget  
History of Fund Balance**

Year End	Unreserved Unassigned	Designated Assigned	Restricted Reserved	Total Fund Balance
2012	2,822,180	109,700	3,188,111	6,119,991
2013	3,256,455	1,430,998	2,743,028	7,430,481
2014	3,741,357	1,459,918	2,626,759	7,828,034
2015	3,889,089	1,706,751	2,712,022	8,307,862
2016	3,957,943	1,909,150	2,451,521	8,318,614
2017	4,187,873	2,054,559	3,749,157	9,991,589
2018	4,173,323	1,968,604	3,158,128	9,300,055
2019	3,837,996	2,117,364	5,550,531	11,505,891
2020	4,027,984	2,325,398	7,020,424	13,373,806
2021	4,322,432	6,538,932	3,203,356	14,064,720

Restricted/Reserved: Prepaid, Long term receiveables, Roads, Police, Fire, Debt service, Parks & Recreation, Cemetery, SAD maint.

Unreserved/Unassigned: General Fund

Assigned: Library, Building Maintenance, Equipment, Vehicles, Flood Prevention



**Monthly Report**  
**4/30/2023**

BANK	TOTAL BAL	BALANCE VERIFICATION DATE
MICHIGAN CLASS	\$ 4,476,208.57	4/30/2023
FLAGSTAR	\$4,624,921.97	4/30/2023
STATE BANK	\$3,070,893.23	4/30/2023
CIBC	\$1,779,422.22	4/30/2023
MICHIGAN STATE CREDIT UNION	\$709,010.63	4/30/2023
PFM	\$1,020,021.91	4/30/2023
HORIZON BANK	\$2,759,240.04	4/30/2023
ROBERT BAIRD & CO.	\$750,017.92	4/30/2023
CONSUMERS CREDIT UNION	\$250,000.00	4/30/2023
INDEPENDENT BANK	\$500,000.00	4/30/2023
Total	\$19,939,736.49	
final numbers		

**Michigan Class**  
**4/30/2023**

ACCOUNT NAME	INV TYPE	INV/RENEW	MATURITY	INT RATE		INT EARNED	CURRENT BAL
POOLED	CASH	MONEY MKT		5.02%		\$ 17,116.71	\$ 4,476,208.57
BANK TOTAL							

\*\*interest payment does not affect the montly current balance; funds hit the pooled account

**Flagstar CDARS CD's**  
**4/30/2023**

	INV NAME	INV/RENEW	MATURITY	INT RATE			CURRENT BAL
1998 SEWER SAD	INDEPENDENT BANK	4/27/2023	10/26/2023	4.42%		\$907.12	\$59,112.87
2004 SAD CONSTRUCTION	BANK OF NEW YORK	2/9/2023	5/11/2023	4.07%			\$189,427.87
2004 SAD CONSTRUCTION	BANK OF AMERICA	4/27/2023	7/27/2023	4.39%		\$4,978.27	\$246,000.00
2004 SAD CONSTRUCTION	EAST WEST BANK	4/27/2023	7/27/2023	4.39%			\$78,409.54
HEY CREEK CONSTRUCTION	ST. LOUIS BANK	2/16/2023	8/17/2023	4.30%			\$40,839.48
HEY CREEK ENGINEERING	CD TERMS 152 DAYS	3/22/2023	8/21/2023	4.52%			\$28,077.65
2004 SAD CONSTRUCTION	CD TERMS 120 DAYS	1/24/2023	5/24/2023	4.38%			\$57,850.43
POOLED	CD TERMS 60 DAYS	3/10/2023	5/9/2023	4.34%			\$24,337.55

POOLED	CD TERMS 91 DAYS	4/24/2023	7/24/2023	4.54%		\$411.60	\$55,479.69
POOLED	CD TERMS 120 DAYS	4/24/2023	8/22/2023	4.58%		\$595.23	\$55,356.60
POOLED	CD TERMS 120 DAYS	3/16/2023	7/14/2023	4.46%			\$55,061.41
POOLED	checking account			0.95%		\$3,145.98	\$3,724,847.11
PAYROLL	checking account						
DISBURSEMENT	checking account						
HEALTH REIMBURSEMENT	reimbursement account			0.95%		\$5.73	\$6,355.91
FEDERAL DRUG	savings account			3.75%		\$11.57	\$3,765.86
						\$10,055.50	\$4,624,921.97

**CIBC**  
**4/30/2023**

ACCOUNT NAME	INV TYPE	INV/RENEW	MATURITY	INT RATE	PRIOR BAL	INT EARNED	CURRENT BAL
POOLED	CD	4/13/2023	7/12/2023	4.65%	\$272,633.39	\$2,726.33	\$275,359.72
POOLED	CD	9/26/2022	9/26/2023	3.45%	\$250,000.00		\$250,000.00
POOLED	CD	3/25/2023	8/22/2023	4.75%	\$254,062.50		\$254,062.50
POOLED	CD	5/24/2022	5/24/2023	1.50%	\$500,000.00		\$500,000.00
POOLED	CD	12/27/2022	6/30/2023	4.15%	\$500,000.00		\$500,000.00
					\$1,776,695.89	\$2,726.33	\$1,779,422.22

**The State Bank**  
**4/30/2023**

ACCOUNT NAME	INV TYPE	INV/RENEW	MATURITY	INT RATE	PRIOR BAL	INT EARNED	CURRENT BAL
MONEY MARKET	MONEY MARKET	1/14/2019		3.07%	\$3,062,670.17	\$ 8,223.06	\$3,070,893.23
<b>BANK TOTAL</b>					<b>\$3,062,670.17</b>	<b>\$ 8,223.06</b>	<b>\$3,070,893.23</b>

**Michigan State Credit Union**  
**4/30/2023**

ACCOUNT NAME	INV TYPE	INV/RENEW	MATURITY	INT RATE	PRIOR BAL	INT EARNED	CURRENT BAL
POOLED	CD	1/21/2023	7/21/2023	4.21%	\$507,808.20		\$507,808.20
POOLED	CD	4/30/2022	5/30/2023	1.05%	\$201,196.74		\$201,196.74
General Account	Savings account				\$5.69		\$5.69
					<b>\$709,010.63</b>		<b>\$709,010.63</b>

**PFM**  
**4/30/2023**

ACCOUNT NAME	INV TYPE	INV/RENEW	MATURITY	INT RATE	PRIOR BAL	INT EARNED	CURRENT BAL
POOLED	TERM RATE	7/18/2022	4/17/2023	3.40%	\$500,000.00	\$12,668.49	
					\$507,353.42		\$27,194.66
POOLED	MILAF TERM	4/18/2023	8/16/2023	5.40%			\$1,000,000.00
					<b>\$1,007,353.42</b>	<b>\$12,668.49</b>	<b>\$1,027,194.66</b>
plus the 7,353.42 is in the 203340 t	rest of the funds reinvested	for 1 million					

**Horizon Bank**  
**4/30/2023**

ACCOUNT NAME	INV TYPE	INV/RENEW	MATURITY	INT RATE	PRIOR BAL	INT EARNED	CURRENT BAL
POOLED	CD	4/13/2022	4/8/2023	1.62%	\$245,000.00	\$3,943.42	
POOLED	CD	12/27/2022	6/27/2023	4.38%	\$504,630.09		\$504,630.09
POOLED	CD	9/26/2022	9/26/2023	3.97%	\$250,000.00		\$250,000.00
POOLED	CD	11/7/2022	5/8/2023	4.36%	\$250,000.00		\$250,000.00
POOLED	CD	1/31/2023	4/29/2023	4.51%	\$1,000,000.00		\$1,000,000.00
POOLED	CD	3/28/2023	3/28/2024	5.00%			\$500,000.00
POOLED	CD	3/27/2023	6/25/2023	4.60%			\$254,609.95
moved 19693 to flagstar pooled	did not reinvest						
					<b>\$2,249,630.09</b>	<b>\$3,943.42</b>	<b>\$2,759,240.04</b>

**Robert Baird & Co.**  
**4/30/2023**

ACCOUNT NAME	INV TYPE	INV/RENEW	MATURITY	INT RATE	PRIOR BAL	INT EARNED	CURRENT BAL
POOLED	government AGY BOND	4/19/2022	4/18/2024	2.58%	\$250,017.92		\$250,017.92
POOLED		7/28/2022	7/28/2023	2.50%	\$500,000.00		\$500,000.00
					<b>\$750,017.92</b>		<b>\$750,017.92</b>

**Consumers Credit Union**  
**4/30/2023**

ACCOUNT NAME	INV TYPE	INV/RENEW	MATURITY	INT RATE	PRIOR BAL	INT EARNED	CURRENT BAL
POOLED	Savings Account				\$25.00		\$ 25.00
POOLED	CD	12/28/2022	6/28/2023	4.16%	\$249,975.00		\$ 249,975.00
<b>BANK TOTAL</b>					<b>\$250,000.00</b>		<b>\$ 250,000.00</b>

**Independent Bank**  
**4/30/2023**

ACCOUNT NAME	INV TYPE	INV/RENEW	MATURITY	INT RATE	PRIOR BAL	INT EARNED	CURRENT BAL
POOLED	CD	12/28/2022	12/23/2023	4.15%	\$500,000.00		\$ 500,000.00
<b>BANK TOTAL</b>					<b>\$500,000.00</b>		<b>\$ 500,000.00</b>



**Hamburg Township  
Approved Financial Institutions  
Revised 11/17/2022**

Item 20.

<b>Ann Arbor State Bank 125 W. William St. Ann Arbor, MI 48104</b>	<b>Robert W. Baird &amp; Co. 4017 Hillsboro Pike Suite 403 Nashville, TN 37215</b>
<b>Brighton Commerce Bank 8700 No. Second Street Brighton, MI 48116</b>	<b>The State Bank 175 N Leroy St. P.O. Box 725 Fenton, MI 48430-0725</b>
<b>CIBC 34901 Woodward Avenue Suite 200 Birmingham, MI 48009</b>	<b>PNC 5290 W. Pierson Rd Flushing, MI 48433</b>
<b>Comerica Bank Municipalities Group PO Box 75000 Detroit, MI 48226</b>	<b>Independent Bank 201 W. Big Beaver Rd. Suite 125 Troy, MI 48084</b>
<b>Fifth Third Bank Public Funds Banking 1000 Town Center, Suite 1400 Southfield, MI 48075</b>	<b>MSU Federal Credit Union 3777 West Rd East Lansing MI 48823</b>
<b>First National Bank 101 East Grand River Howell, MI 48843</b>	<b>PFM Asset Management 535 Griswold Street, Suite 550 I Detroit, MI. 48226</b>
<b>Flagstar Bank Public Funds Group 5151 Corporate Drive Troy, MI 48098</b>	<b>Consumers Credit Union 7200 Elm Valley Drive Kalamazoo, MI 49009</b>
<b>Huntington Bank 801 W. Big Beaver Rd. Troy, MI 48084</b>	
<b>JP Morgan Chase Municipal Banking Group 620 S. Capitol Ave Lansing, MI 48933</b>	
<b>Level One 32991 Hamilton Ct Farmington Hills, MI 48334</b>	
<b>Michigan Class 3135 S. State Street, Suite 108 Ann Arbor, MI 48108</b>	
<b>Old National Bank 205 W. Grand River Ave Suite 102 Brighton, MI 48116</b>	
<b>Horizon Bank 2555 Crooks Road Suite 100 Troy, MI 48084</b>	

**TAB 5**

FIVE-YEAR FORECAST

Tab 5 is the five-year forecast for the Township, which was updated in June 2022. Also, included is the capital reserve schedule.

**HAMBURG TOWNSHIP  
GENERAL FUND FINANCIAL PROJECTION**

Item 20.

	Actual FY 2019/20	Actual FY 2020/21	PROJECTED YEAR-End 2021/22	<b>PROPOSED</b> FY <b>2022/23</b>	PROJECTED FY 2023/24	PROJECTED FY 2024/25	PROJECTED FY 2025/26	PROJECTED FY 2026/27
<b>REVENUES:</b>								
PROPERTY TAXES	885,813	921,075	943,666	<b>981,700</b>	1,001,334	1,021,361	1,041,788	1,062,624
PROP TAX ADMIN FEE	338,157	351,112	492,124	<b>495,000</b>	504,900	514,998	525,298	535,804
STATE SHARED REVENUE	1,889,284	2,227,926	3,131,853	<b>2,276,972</b>	2,322,511	2,368,962	2,416,341	2,464,668
CABLE FRANCHISE FEE	345,266	336,447	350,000	<b>350,000</b>	350,000	350,000	350,000	350,000
ADMIN FEE FROM SEWER FUND	115,000	115,000	115,000	<b>115,000</b>	115,000	115,000	115,000	115,000
INTEREST REVENUE	88,591	3,032	8,500	<b>5,000</b>	8,500	9,500	9,500	9,500
ALL OTHER	278,791	158,902	202,753	<b>1,281,981</b>	255,000	257,550	260,126	262,727
<b>TOTAL REVENUES &amp; TRANSFERS</b>	<b>3,940,902</b>	<b>4,113,494</b>	<b>5,243,896</b>	<b>5,505,653</b>	<b>4,557,245</b>	<b>4,637,370</b>	<b>4,718,052</b>	<b>4,800,322</b>
<b>EXPENDITURES:</b>								
SALARIES AND WAGES	1,564,477	1,619,670	1,467,510	<b>1,500,871</b>	1,575,915	1,654,710	1,737,446	1,824,318
HEALTH INSURANCE	286,945	328,193	277,392	<b>297,790</b>	312,680	328,313	344,729	361,966
RETIREMENT	141,274	243,389	121,916	<b>117,780</b>	123,669	129,852	136,345	143,162
FICA	121,920	125,187	110,624	<b>115,213</b>	120,557	126,585	132,915	139,560
OTHER PERSONNEL COSTS	7,829	7,986	8,145	<b>8,308</b>	8,724	9,160	9,618	10,099
BLDG & MAUSOLEUM DEBT	22,000	22,000	22,000	-	-	-	-	-
OTHER OPERATING COSTS	852,536	777,014	1,453,307	<b>3,404,450</b>	1,200,000	1,224,000	1,248,480	1,273,450
TRANSFER TO POLICE OPERATING	250,000	250,000	250,000	-	-	-	-	-
TRANSFER TO PARKS - OPERATING	450,363	423,120	429,890	<b>400,000</b>	420,000	420,000	420,000	420,000
<b>TOTAL EXPENDITURES</b>	<b>\$ 3,697,345</b>	<b>\$ 3,796,558</b>	<b>\$ 4,140,784</b>	<b>\$ 5,844,412</b>	<b>\$ 3,761,544</b>	<b>\$ 3,892,621</b>	<b>\$ 4,029,533</b>	<b>\$ 4,172,555</b>
<b>OPERATING SURPLUS (SHORTFALL)</b>	\$ 243,557.85	\$ 316,936	\$ 1,103,112	\$ (338,759)	\$ 795,701	\$ 744,749	\$ 688,520	\$ 627,767
FUND BALANCE - BEGINNING OF YEAR	\$ 4,746,737	\$ 4,990,295	\$ 5,307,231	\$ 6,410,343	\$ 6,071,584	\$ 6,867,285	\$ 7,612,034	\$ 8,300,553
FUND BALANCE - END OF YEAR	\$ 4,990,295	\$ 5,307,231	\$ 6,410,343	\$ 6,071,584	\$ 6,867,285	\$ 7,612,034	\$ 8,300,553	\$ 8,928,321
FUND BALANCE RESERVED FOR WATER RECEIVABLE***	459,648	459,648	459,648	<b>459,648</b>	459,648	459,648	459,648	459,648
OTHER DESIGNATED FUND BALANCE **	502,661	502,701	502,741	<b>502,781</b>	502,821	502,861	502,901	502,941
<b>UNDESIGNATED FUND BALANCE</b>	<b>\$ 4,027,986</b>	<b>\$ 4,344,882</b>	<b>\$ 5,447,954</b>	<b>\$ 5,109,155</b>	<b>\$ 5,904,816</b>	<b>\$ 6,649,525</b>	<b>\$ 7,338,004</b>	<b>\$ 7,965,732</b>

\*\* Committed Fund Balances, Assets held for resale, prepaids

\*\*\* Long-term receivable

Board Resolution FB 125% of operating expenses	4,621,681	4,745,698	5,175,980	<b>7,305,515</b>	4,701,930	4,865,777	5,036,916	5,215,693
difference	\$ 368,614	\$ 561,533	\$ 1,234,363	<b>\$ (1,233,931)</b>	\$ 2,165,355	\$ 2,746,257	\$ 3,263,638	\$ 3,712,627

**HAMBURG TOWNSHIP  
POLICE FUND FINANCIAL PROJECTION**

Item 20.

	Actual FY 2018/19	Actual FY 2019/20	Actual FY 2020/21	PROJECTED YEAR-End 2021/22	PROPOSED FY 2022/23	PROJECTED FY 2023/24	PROJECTED FY 2024/25
<b>REVENUES:</b>							
PROPERTY TAXES	2,588,969	\$ 2,691,489	2,772,279	2,863,620	<b>2,971,200</b>	3,090,048	3,182,749
TRANSFER FROM GENERAL FUND - OPERATING	1,198,700	250,000	250,000	250,000	-	-	-
TRANSFER FROM FORFEITURE	-	-	-	-	-	-	-
TRANS FROM G/F - BLDG DEBT	-	-	-	-	-	-	-
ALL OTHER	72,137	96,201	240,633	98,106	<b>41,750</b>	43,003	44,293
<b>TOTAL REVENUES &amp; TRANSFERS</b>	<b>\$ 3,859,806</b>	<b>\$ 3,037,690</b>	<b>\$ 3,262,912</b>	<b>\$ 3,211,726</b>	<b>\$ 3,012,950</b>	<b>\$ 3,133,051</b>	<b>\$ 3,227,042</b>
<b>EXPENDITURES:</b>							
SALARIES AND WAGES	1,311,228	1,612,755	1,713,028	1,665,011	<b>1,761,614</b>	1,814,462	1,868,896
HEALTH INSURANCE	232,900	256,979	262,479	277,051	<b>279,195</b>	293,155	307,812
RETIREMENT	206,041	268,370	284,153	277,051	<b>351,817</b>	362,372	373,243
RETIREE HEALTH CARE	82,500	82,500	88,000	104,000	<b>104,000</b>	104,000	104,000
FICA	112,556	124,227	131,944	127,737	<b>134,590</b>	138,806	142,971
OTHER PERSONNEL COSTS	453,198	48,998	49,977	58,846	<b>60,468</b>	61,677	62,911
BLDG DEBT	-	-	-	-	-	-	-
OTHER OPERATING COSTS	537,679	669,106	847,028	578,061	<b>524,298</b>	540,027	556,228
<b>TOTAL EXPENDITURES</b>	<b>\$ 2,936,102</b>	<b>\$ 3,062,935</b>	<b>\$ 3,376,608</b>	<b>\$ 3,087,757</b>	<b>\$ 3,215,982</b>	<b>\$ 3,314,499</b>	<b>\$ 3,416,061</b>
<b>OPERATING SURPLUS (SHORTFALL)</b>	<b>\$ 923,704</b>	<b>\$ (25,244)</b>	<b>\$ (113,696)</b>	<b>\$ 123,969</b>	<b>\$ (203,032)</b>	<b>\$ (181,449)</b>	<b>\$ (189,019)</b>
FUND BALANCE - BEGINNING OF YEAR	\$ 99,734	\$ 1,023,438	\$ 998,193	\$ 884,498	<b>\$ 1,008,467</b>	\$ 805,435	\$ 623,986
FUND BALANCE - END OF YEAR	<b>\$ 1,023,438</b>	<b>\$ 998,193</b>	<b>\$ 884,498</b>	<b>\$ 1,008,467</b>	<b>\$ 805,435</b>	<b>\$ 623,986</b>	<b>\$ 434,967</b>
FB DESIGNATED FOR VEHICLES	20,000	20,000	20,000	20,000	-	-	-
FB DESIGNATED FOR LEAVE TIME P/O	20,742	20,000	20,000	20,000	<b>40,000</b>	30,000	30,000
FB DESIGNATED FOR BLDG MAINT	25,000	25,000	25,000	25,000	-	-	-
OTHER DESIGNATED FUND BALANCE **	\$ 20,000	\$ 20,000	\$ 20,000	\$ 20,000	<b>\$ 20,000</b>	\$ 20,000	\$ 20,000
<b>UNDESIGNATED FUND BALANCE</b>	<b>\$ 937,696</b>	<b>\$ 913,193</b>	<b>\$ 799,498</b>	<b>\$ 923,467</b>	<b>\$ 745,435</b>	<b>\$ 573,986</b>	<b>\$ 384,967</b>

\*\* Committed Fund Balances, Assets held for resale, prepaid

Board Resolution FB 25% of operating expenses	734,026	765,734	844,152	771,939	<b>803,996</b>	828,625	854,015
difference	\$ 289,412	\$ 232,460	\$ 40,346	\$ 236,527	<b>\$ 1,439</b>	\$ (204,639)	\$ (419,048)

HAMBURG TOWNSHIP  
FIRE FUND FINANCIAL PROJECTION

Item 20.

	Actual FY FY 2018/19	Actual FY 2019/20	Actual FY 2020/21	PROJECTED YEAR-End 2021/22	PROPOSED FY 2022/23	PROJECTED FY 2023/24	PROJECTED FY 2024/25	PROJECTED FY 2025/26	PROJECTED FY 2026/27	PROJECTED FY 2027/28
<b>REVENUES:</b>										
PROPERTY TAXES	1,792,305	1,862,464	1,920,387	1,983,641	2,058,065	2,119,807	2,183,401	2,248,903	2,293,881	2,339,759
TRANSFER IN FROM GENERAL FUND	-	-	-	-	-	-	-	-	-	-
ALL OTHER	38,655	42,346	217,083	11,626	9,150	9,608	10,088	10,290	10,290	10,495
<b>TOTAL REVENUES &amp; TRANSFERS</b>	<b>\$ 1,830,960</b>	<b>\$ 1,904,810</b>	<b>\$ 2,137,470</b>	<b>\$ 1,995,267</b>	<b>\$ 2,067,215</b>	<b>\$ 2,129,414</b>	<b>\$ 2,193,489</b>	<b>\$ 2,259,193</b>	<b>\$ 2,304,171</b>	<b>\$ 2,350,254</b>
<b>EXPENDITURES:</b>										
SALARIES AND WAGES	772,096	900,975	908,157	1,066,164	1,059,154	1,090,929	1,123,656	1,157,366	1,192,087	1,227,850
HEALTH INSURANCE	49,812	74,565	70,966	98,882	109,500	114,975	120,724	126,760	133,098	139,753
RETIREMENT	27,605	36,950	39,818	46,941	50,000	51,500	53,045	54,636	56,275	57,964
FICA	58,324	69,521	70,178	86,576	82,500	83,456	85,960	87,679	89,432	91,221
OTHER PERSONNEL COSTS	43,904	63,003	64,263	81,642	78,970	81,339	83,779	86,293	88,881	91,548
OTHER OPERATING COSTS	236,979	259,180	338,472	418,152	444,050	452,931	466,519	480,514	494,930	509,778
OTHER CAPITAL EQUIPMENT PURCHASES	70,000	108,396	205,782	250,000	205,500	75,000	81,000	82,620	84,272	85,958
CAPITAL PURCHASES FOR APPARATUS	-	51,434	1,155,054	37,000	55,197	700,000	93,000	45,000	805,000	45,000
RESERVE FOR SCBA EQUIPMENT	20,000	20,000	-	-	-	-	-	-	-	-
RESERVE FOR EQUIPMENT PURCHASES	-	-	-	-	-	174,000	54,000	59,000	59,000	59,000
RESERVE FOR APPARATUS REPLACEMENT	135,000	-	-	-	-	-	-	-	-	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 1,413,720</b>	<b>\$ 1,584,025</b>	<b>\$ 2,852,690</b>	<b>\$ 2,085,357</b>	<b>\$ 2,084,871</b>	<b>\$ 2,824,130</b>	<b>\$ 2,161,683</b>	<b>\$ 2,179,869</b>	<b>\$ 3,002,977</b>	<b>\$ 2,308,071</b>
<b>OPERATING SURPLUS (SHORTFALL)</b>	<b>\$ 417,239</b>	<b>\$ 320,784</b>	<b>\$ (715,221)</b>	<b>\$ (90,091)</b>	<b>\$ (17,657)</b>	<b>\$ (694,716)</b>	<b>\$ 31,805</b>	<b>\$ 79,323</b>	<b>\$ (698,807)</b>	<b>\$ 42,182</b>
FUND BALANCE - BEGINNING OF YEAR	\$ 1,471,003	\$ 1,888,242	\$ 2,209,026	\$ 1,493,805	\$ 1,403,714	\$ 1,386,057	\$ 691,341	\$ 723,146	\$ 802,469	\$ 103,662
<b>FUND BALANCE - END OF YEAR</b>	<b>1,888,242</b>	<b>2,209,026</b>	<b>1,493,805</b>	<b>1,403,714</b>	<b>1,386,057</b>	<b>691,341</b>	<b>723,146</b>	<b>802,469</b>	<b>103,662</b>	<b>145,845</b>
FUND BALANCE DESIGNATED FOR VEHICLE	365,892	635,892	-	-	-	200,000	200,000	400,000	400,000	400,000
OTHER DESIGNATED FUND BALANCE **	26,779	46,779	46,779	46,779	46,779	46,779	46,779	46,779	46,779	46,779
<b>UNDESIGNATED FUND BALANCE</b>	<b>\$ 1,475,571</b>	<b>\$ 1,526,355</b>	<b>\$ 1,447,026</b>	<b>\$ 1,356,935</b>	<b>\$ 1,339,278</b>	<b>\$ 444,562</b>	<b>\$ 476,367</b>	<b>\$ 355,690</b>	<b>\$ (343,117)</b>	<b>\$ (300,934)</b>
Board Resolution FB 25% of operating expense difference	353,430	396,006	713,172	521,339	521,218	706,032	540,421	544,967	750,744	577,018
	1,534,812	1,813,020	780,633	882,375	864,840	(14,691)	182,725	257,502	(647,082)	(431,173)

\*\* Committed Fund Balances, Assets held for resale, prepaid

\*\*\* Millage expires in 12/2025

**HAMBURG TOWNSHIP  
REC FUND FINANCIAL PROJECTION**

Item 20.

	Actual FY 2018/19	Actual FY 2019/20	Actual FY 2020/21	PROJECTED YEAR-End 2021/22	PROJECTED FY 2022/23	PROJECTED FY 2023/24	PROJECTED FY 2024/25
<b>REVENUES:</b>							
PROPERTY TAXES	253,008	-	-	-	-	-	-
ALL OTHER	48,442	22,283	20,984	67,976	17,000	17,000	17,000
TRANSFER IN FROM GENERAL FUND	120,000	450,363	423,120	429,890	400,000	470,146	481,168
<b>TOTAL REVENUES &amp; TRANSFERS</b>	<b>\$ 421,450</b>	<b>\$ 472,646</b>	<b>\$ 444,104</b>	<b>\$ 497,866</b>	<b>\$ 417,000</b>	<b>\$ 487,146</b>	<b>\$ 498,168</b>
<b>EXPENDITURES:</b>							
SALARIES AND WAGES	103,561	106,602	102,012	107,283	106,658	108,791	110,967
HEALTH INSURANCE	31,620	35,636	34,125	38,182	43,131	45,288	47,552
RETIREMENT	9,497	10,046	10,124	9,104	10,085	10,388	10,699
FICA	8,375	8,210	7,863	7,928	10,600	10,918	11,246
OTHER PERSONNEL COSTS	5,255	1,789	1,825	1,861	1,898	1,936	1,975
OTHER OPERATING COSTS	129,323	153,178	224,381	227,079	436,713	445,447	454,356
<b>TOTAL EXPENDITURES</b>	<b>\$ 287,631</b>	<b>\$ 315,460</b>	<b>\$ 380,330</b>	<b>\$ 391,437</b>	<b>\$ 609,085</b>	<b>\$ 622,767</b>	<b>\$ 636,795</b>
<b>OPERATING SURPLUS (SHORTFALL)</b>	<b>\$ 133,819</b>	<b>\$ 157,186</b>	<b>\$ 63,774</b>	<b>\$ 106,429</b>	<b>\$ (192,085)</b>	<b>\$ (135,621)</b>	<b>\$ (138,627)</b>
FUND BALANCE - BEGINNING OF YEAR	\$ 471,599	\$ 605,418	\$ 762,604	\$ 826,378	\$ 932,807	\$ 740,722	\$ 605,101
<b>FUND BALANCE - END OF YEAR</b>	<b>\$ 605,418</b>	<b>\$ 762,604</b>	<b>\$ 826,378</b>	<b>\$ 932,807</b>	<b>\$ 740,722</b>	<b>\$ 605,101</b>	<b>\$ 466,474</b>
FB DESIGNATED FOR PARKS MAINTENANCE	61,775	54,283	54,283	54,283	54,283	54,283	54,283
FB DESIGNATED FOR LL TRAIL MAINT	187,250	187,250	217,250	237,250	237,250	237,250	237,250
FB DESIGNATED FOR SR CTR MAINT	70,000	70,000	70,000	50,000	50,000	50,000	50,000
FB DESIGNATED FOR EQUIPMENT	140,000	140,000	160,000	160,000	160,000	160,000	160,000
OTHER DESIGNATED FUND BALANCE **	-	-	-	-	-	-	-
<b>UNDESIGNATED FUND BALANCE</b>	<b>\$ 146,393</b>	<b>\$ 311,071</b>	<b>\$ 324,845</b>	<b>\$ 431,274</b>	<b>\$ 239,189</b>	<b>\$ 103,568</b>	<b>\$ (35,059)</b>

451,533

\*\* Committed Fund Balances, Assets held for resale, prepaids

\*\*\*Voted Parks Millage 11/09 - .2457  
Expires 2018

**Hamburg Township Road Fund  
Financial Projections  
Fiscal Year 2022-23**

	Actual FY 2018/19	Actual FY 2019/20	Current FY 2019-2020	Actual FY 2020/21	Projected Year-End 2021/22	<b>Projected FY 2022/23</b>	Projected FY 2023/24	Projected FY 2024/25	Projected FY 2025/26
Property Tax Revenue	1,028,097	1,064,198	1,066,161	1,097,404	1,161,851	<b>1,204,850</b>	1,216,899	1,229,067	1,241,358
Other Revenue	-	-	-	-	-	-	-	-	-
Interest Income	9,299	31,357	20,000	5,977	1,000	<b>1,000</b>	4,000	4,000	3,000
<b>Total Revenue</b>	<b>1,037,396</b>	<b>1,095,555</b>	<b>1,086,161</b>	<b>1,103,381</b>	<b>1,162,851</b>	<b>1,205,850</b>	<b>1,220,899</b>	<b>1,233,067</b>	<b>1,244,358</b>
Expenditures	88,349	164,498	1,300,000	1,342,242	1,875,140	<b>1,357,000</b>	660,000	660,000	660,000
Excess of Revenue Over (Under) Expenditures	949,048	931,056	(213,839)	(238,861)	(712,289)	<b>(151,150)</b>	560,899	573,067	584,358
Beginning Fund Balance	123,872	1,072,920	1,072,920	2,003,986	1,765,125	<b>1,052,836</b>	901,686	1,462,585	2,035,652
Ending Fund Balance	<b>\$ 1,072,920</b>	<b>\$ 2,003,976</b>	<b>\$ 859,081</b>	<b>\$ 1,765,125</b>	<b>\$ 1,052,836</b>	<b>\$ 901,686</b>	<b>\$ 1,462,585</b>	<b>\$ 2,035,652</b>	<b>\$ 2,620,010</b>

Millage voted November 2016: 1  
Levied on December 1 collected through February 28

Millage expires in 2020

**Millage renewal December of 20 for levy on 12/1/21**