



10405 Merrill Road
P.O. Box 157
Hamburg, MI 48139
(810) 231-1000
www.hamburg.mi.us

Supervisor Jason Negri **Clerk** Mike Dolan **Treasurer** Jennifer Daniels **Trustees** Chuck Menzies, Patricia Hughes, Nick Miller, Joanna Hardesty

PLANNING COMMISSION REGULAR MEETING

Wednesday, November 19, 2025 at 7:00 PM
Hamburg Township Hall Board Room

AGENDA

CALL TO ORDER

PLEDGE TO THE FLAG

APPROVAL OF THE AGENDA

APPROVAL OF MINUTES

1. Approval of the September 17, 2025 Planning Commission meeting minutes.

CALL TO THE PUBLIC

OLD BUSINESS

NEW BUSINESS

2. PMSP25-0001 Site Plan Amendment (The Crossing at Lakelands Trail)
3. Rezoning PZTA 25-0001

ZONING ADMINISTRATOR'S REPORT

4. Village Center Master Plan Working Group Update.

ADJOURNMENT



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Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

PLANNING COMMISSION MEETING
Wednesday, September 17, 2025, at 7:00 PM
Hamburg Township Hall Board Room

MINUTES

CALL TO ORDER

Vice Chair, Muir called the meeting to order at 7:00 pm.

PLEDGE TO THE FLAG

ROLL CALL OF THE BOARD:

1) PRESENT:

John Hamlin
Patricia Hughes
Victor Leabu Jr
Ron Muir, Vice Chair
Joyce Priebe

2) ABSENT:

Jeff Muck, Chair
Deborah Mariani

APPROVAL OF MEETING AGENDA for tonight.

Approval Motion made by Trustee Hughes, seconded by Commissioner Priebe, to approve the agenda as presented.

Voice Vote: Ayes (5); Absent (1) Commissioner Mariani and Chair Muck

VOTE: MOTION CARRIED

CALL TO THE PUBLIC- No public response

APPROVAL OF THE MEETING MINUTES

Approval Motion made by Commissioner Priebe, seconded by Trustee Hughes, to approve August 20, 2025, Planning Commission Meeting Minutes with corrections as noted by Trustee Hughes and Commissioner Muir.

Voice Vote: Ayes (5); Absent (1) Commissioner Mariani and Chair Muck

VOTE: MOTION CARRIED

OLD BUSINESS

None

NEW BUSINESS

1. **Request to extend Site Plan Approval (GPUD 24-0001)** Crossing at Lakeland Trail for one year.

Vice Chair Muir opened the public meeting to David so he could give an update to the Planning Commissioners regarding this site plan approval case extension. He stated that the PC gave Final Site Plan Approval on October 23, 2024, and the applicant is seeking a year extension due to some projects that have come up. David said that this project is anticipated to break ground this coming spring. He reminded the commissioners that our ordinance requires that the PC make a recommendation, one way or the other, forwarding such recommendations onto the Township Board for their final approval. We are looking for this extension to go for one year to October 2026.

Commissioner Leabu asked David if there was a limit to how many extensions can be issued for a site plan approval. David said that there is no limit to the number of extensions that can be given. Trustee Hughes and Commissioner Priebe discussed site plan extension ordinance language but came to an agreement in favor of David's response.

Bob Langan, the developer, was asked to come to the podium to answer Commissioner Leabu's questions. Bob stated that all his development projects are stalled right now because the banks aren't lending the amount of proceeds that people need to get their projects off the ground. He said that this is a new development that began at 2pm today when the Federal Reserve dropped the borrowing rates. Bob said they have allocated funds for both of his development projects. This funding is already established and in place right now. He said he is retooling his budgets and their proformas, along with the Federal Reserve behaving as it should, they would be able to get the amount of money needed to match their financial needs. Bob said he might need to resubmit all their financing in November as they retool their proforma forcing them to extend their construction timelines projections. He said they don't control the banks, but they feel confident in the way things are shaping up. He said that this is how he makes his living, so he has no intention of stalling on this project.

Commissioner Hamlin read that such extension requests shall be accompanied by a schedule for the commencement of this building project. Bob stated that he has a construction schedule in hand with him, but he is not sure how reliable they are. He said that they have a phase one land development starting in May 2026. Bob said he could email this schedule to David so he could share it with the commissioners. Bob walked over to David and handed him his paper copy of the schedule. Vice Chair

Muir asked if his South Lyon project was on this same schedule. Bob said that the S. Lyon Project is ahead of this project in terms of permits. Bob said they have the South Lyon permits and have already cleared the land there. He said they are currently stopped because they can't get an adequate financing package from the bank. He stated that they can start both building projects at the same time next year, if needed.

Bob said he bought and owns this Hamburg Township property. Trustee Hughes asked if Bob has cleared or graded the vacant land yet. He said no. Trustee Hughes stated that the surrounding neighbors are likely hoping that he will never develop this land. Commissioner Leabu said that there were residents out there looking forward to this development to allow them to stay in this area. Bob said that financing is his key hurdle right now. Vice Chair Muir said that a quarter percent drop was huge. Bob said the Federal Reserve has never dropped a quarter of a percent and then stopped. He continued that they have always had at least 75 basis points. He said the financial leaders are telling us to expect another quarter of a point drop. We feel confident in our chances of a submission. Trustee Hughes said that these financial individuals are saying that there will be two more before the end of the year. Bob agreed that there might be two more cuts, by the end of this year. Bob stated that if everything doesn't go sideways, they should be able to start building this coming spring.

Trustee Hughes and Commissioner Leabu discussed the previous builder proposal project failing. Bob stated that he knew the sellers and that they never made a living off developing their properties. Hughes continued that they had told the PC board that they couldn't get financing because the banks didn't think Hamburg Township needed any apartments. Commissioner Leabu said according to McKenna, based on the township's population ten years ago, that the township was about 300 apartments short. Bob said that every single community needs a certain baseline of rental properties and/or multifamily owner rental properties. Currently, Hamburg doesn't have that right now. Leabu said that younger people are having a problem investing \$300,000 to \$500,000 into a new home on the lake. Trustee Hughes said that builders need a lower interest rate. She continued that senior citizens who are living off their investments might want to rent but would not look favorably at a 0.002% on their investments. Bob said that there is a give and take with this market, and he reminded the commissioners that home buyers want a lower interest rate. They want to be able to afford to buy a home. Investors and bond buyers who rely on the money market accounts are not happy with this rate decrease either. Commissioner Leabu said that he hopes that Bob can move forward and build some apartments to broaden the township's ability to draw people to the community. Bob said that they have a building company that earns money by building these communities. They also have an ownership company that wants to own more of these communities. Bob said that they are not happy to have to wait on this development until next year. Vice Chair Muir asked Bob if they have their own construction crew. He said yes. They utilize a self-performing construction and development crew on these building projects. Their main company is a general contracting business. Bob said that they won the Southeast Michigan Builder's Association "Multi-family Builder of the Year Award" last year. The commissioners congratulated him. Bob said that they did work in South Lyon, Genoa and Lansing this year. Bob said that this is what they do for a living.

Approval motion made by Commissioner Hamlin, seconded by Commissioner Priebe, that the planning commission recommend the Township Board grant a 12-month extension for project GPUD 24-0001 (The Crossing at Lakelands Trail). The PC members had a discussion on what date to make the 12-month

extension begin and end. David stated that the Township Board's approval at their next meeting would set this extension's beginning and ending dates.

Voice Vote: Ayes (5); Absent (1) Commissioner Mariani and Chair Muck

VOTE: MOTION CARRIED

Bob thanked the commissioners for this extension. David let Bob know that this extension would go to the Township Board at their first meeting in October 2025. He said he would send him an email reminder.

ZONING ADMINISTRATOR'S REPORT:

David let the commissioner know there are no agenda items for next month's PC meeting. He said that they might have several agenda items for November 2025.

He let everyone know that the Village Center Master Plan Working Group starts meeting tomorrow at 9am. David said the working group consisted of PC Commissioners John Hamlin, Victor Leabu, (Township Supervisor) Jason Negri, (Member at Large) Craig Masserant, and David. David said that they will establish a timeline and set parameters on how they will approach this VC master plan review. He said that he will keep the PC board members updated monthly on their progress.

Commissioner Hamlin asked David when the Rezoning of the park land on both sides of Merrill for public use would be on the agenda. David said that this item will be on the November 2025 meeting agenda. Hamlin asked what the current zoning of this park land currently was. David said it was currently zoned as private residential RA. This rezoning change will help the township apply for needed park grants. David said he is waiting for the MDNR to get back to the parks department, ensuring that there will be no issue with this rezoning.

ADJOURNMENT

Approval motion was made by Trustee Hughes, seconded by Commissioner Leabu, to adjourn at 7:19 pm.

Voice Vote: Ayes (5); Absent (1) Commissioner Mariani and Chair Muck

VOTE: MOTION CARRIED

Respectfully submitted,

Lisa Perschke

Planning/Zoning Coordinator & Recording Secretary

David Rohr

Planning & Zoning Director

The minutes were approved as presented/corrected: _____

Commissioner Ron Muir, Vice Chairperson

TO: Hamburg Township Planning Commission

FROM: Planning & Zoning Department

DATE: November 19, 2025

AGENDA ITEM TOPIC: Amendment to Final Site Plan **PMSP25-0001**
The Crossing at Lakelands Trail (*previously PCPUD24-0001*)
10564 Learning Ln.
Tax Code #: 4715-22-400-048
Hamburg, MI 48139

Amendment of site plan

Sec. 36-74. – Amendment of site plan

A previously approved site plan may be amended by the planning commission upon application by the applicant in accordance with procedures provided in [section 36-73](#). Minor changes during construction or for expansion or certain changes in use may be approved by the zoning administrator or administratively, as described in [section 36-77](#) and below.

Project History

PCPUD24-0001, Site Plan Application for General Planned Unit Development received on April 15, 2024.

PCPUD24-0001 received preliminary site plan approval at the May 15, 2024, Planning Commission meeting.

PCPUD24-0001 received preliminary site plan approval at the June 4, 2024, Township Board of Trustees meeting.

PCPUD24-0001 received final site plan approval at the October 16, 2024, Planning Commission meeting.

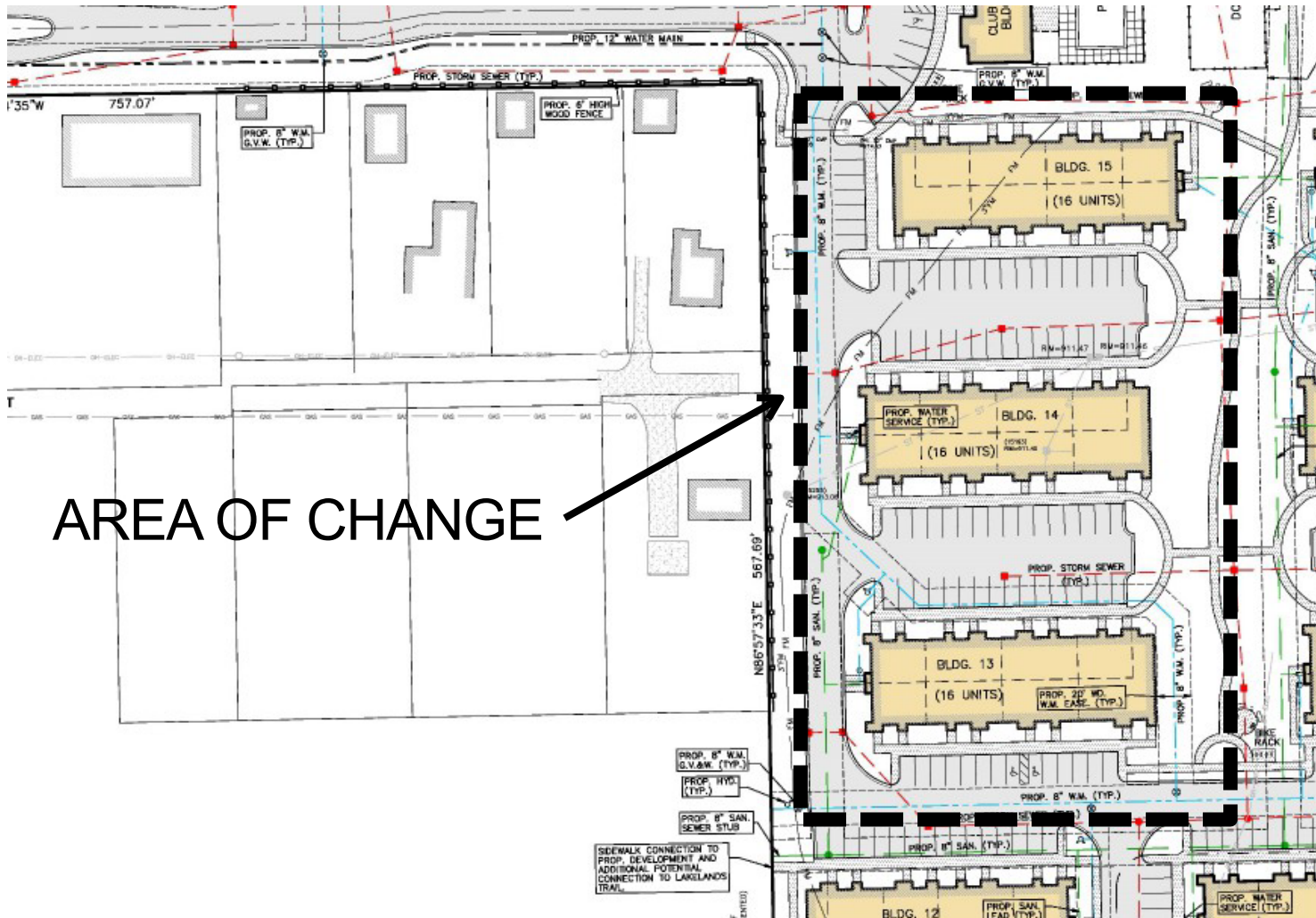
PCPUD24-0001 received final site plan approval at the October 23, 2024, Board of Trustees meeting.

PCPUD24-0001 received a one-year final site plan approval extension from the Board of Trustees on October 7, 2025.

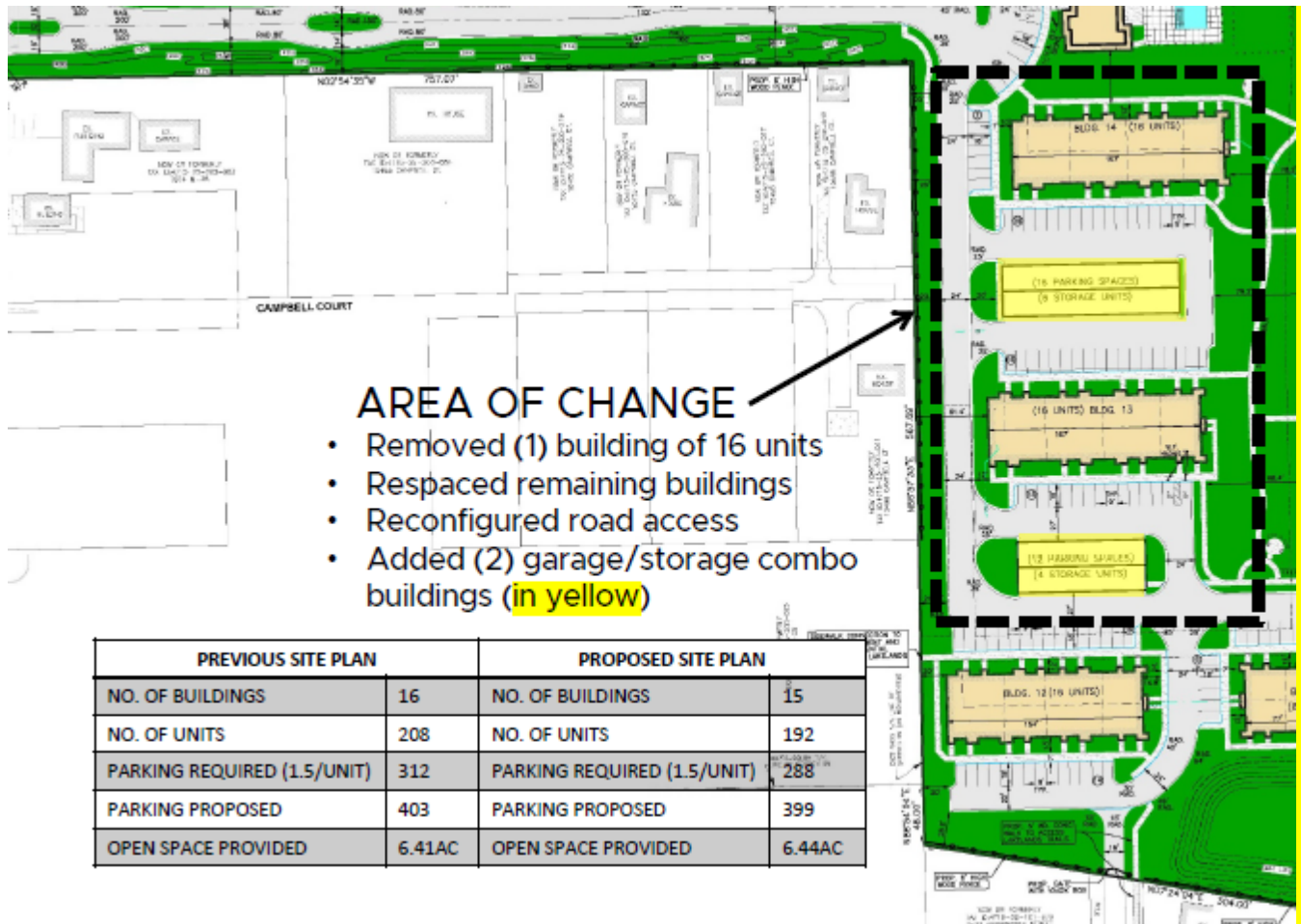
Project Amendment(s)

The proposed amendment will effect the northeast area of the development. (image below) The project developer beileves these changes to the site plan with will provide tenants with additional amenities therefore making the project more successful. Staff supports this minor site plan amendment and reccomends the Planning Commission approve the amendment.

Original site plan:



Amended site plan:





PHONE 810-231-1000
planning@hamburg.mi.us

P.O. Box 157
10405 Merrill Road
Hamburg, Michigan 48139

SITE PLAN APPROVAL APPLICATION

Please note: All required information, copies, fees, and other materials as appropriate must be submitted and complete before the Township Planning Commission will set a public hearing date on the Site Plan Approval Application.

Application fees and review fees are required at the time of application.

In the case of separate applications for Preliminary and Final reviews, separate application and review fees shall be collected. Review fees shall be placed into a non-interest bearing escrow account. Upon final review, review fee balances shall be returned upon receipt of final billing. The applicant shall be responsible for all costs incurred.

Note: Acreage calculations based upon the acreage being developed or utilized for the project (parking, buildings, walks, storm water retention etc.)

The undersigned hereby makes application for a Site Plan Approval for: (Check all that apply)

1. **TYPE OF PROJECT:** ☐ Open Space ☐ Echo ☐ Residential ☐ Condominium
☒ Apartments ☐ Commercial ☐ Industrial ☐ PUD ☐ Hardship PUD
2. **TYPE OF APPLICATION:** ☐ Preliminary Site Plan ☐ Optional Conceptual Site Plan Review by Planning Commission
☐ Final Site Plan ☐ Combined – Preliminary/Final Site Plan
☐ Minor Site Plan ☒ Site Plan Amendment (less than 25% area of site being changed) ☐ Site Plan Amendment (26% or more of site being changed)

3. **PROJECT NAME:** THE CROSSING AT LAKELANDS TRAIL Submittal Date: 10/13/2025

4. **PROJECT ADDRESS:** 10564 LEARNING LANE, HAMBURG TOWNSHIP

Tax Code Numbers: 15 - 25-400-042 15 - 25-400-013 15 - 25-200-056
15 - 25-200-107 15 - 25-101-084 15 -

☐ Metes & Bounds Parcel ☐ Subdivision Lot Numbers:

Zoning District Classification: COMM PUD (CPUD) Floodplain Classification:

Number of Lots Proposed: Acreage of Project: 16.1 AC

5. **PROJECT DESCRIPTION:** (14) 2-STORY BUILDINGS OF 192 UNITS TOTAL (UNIT MIX INCLUDES 1-, 2, AND 3-BEDROOM UNITS); (2) GARAGE/STORAGE UNIT BUILDINGS; (1) CLUBHOUSE WITH POOL; DOG PARK AND OTHER SITE AMENITIES.

6. **OWNER/PROPRIETOR INFORMATION:**

Name: 1127 N. HAGADORN LLC Phone Number(s): OFFICE: 248-344-1885
Email: bobl@elevate-property.com Address: 128 N. CENTER STREET
City: NORTHVILLE, MI 48167 State: _____ Zip: _____

7. **APPLICANT:**

Name: CROSSING APTS LLC Phone Number(s): OFFICE: 248-344-1885
Email: bobl@elevate-property.com Address: 128 N. CENTER STREET
City: NORTHVILLE, MI 48167 State: _____ Zip: _____

8. **DESIGNER INFORMATION:**

Name: SEE ATTACHED Phone Number(s): _____
Email: _____ Address: _____
City: _____ State: _____ Zip: _____

9. **SPECIAL USE PERMIT:**

Is a Special Use Permit required for this project? ☒ No ☐ Yes

IF YES, Attach Special Use Permit Application Form with this site plan review application form

APPLICANT CERTIFICATION:

I hereby certify that all structures and uses for which this application is made shall conform to the Ordinances of Hamburg Township, Livingston County and the State of Michigan. All information submitted as a part of the site plan application is to my knowledge accurate. If the information is determined either now or in the future to be inaccurate any permits granted for the incorrect information shall be void and any structures built or uses approved may be in violation of the required ordinances and must otherwise be brought into compliance with all regulations.

I further agree that any deviation from the plans submitted or the breach of any additional safeguards, conditions or requirements the Hamburg Township may impose in granting this application shall constitute a violation of the Ordinance and invalidate the permit granted.

PROPERTY OWNERS SIGNATURE: _____ DATE: _____

*If an agent submits the project to the Township for the property owner a letter authorizing must be submitted.

6. **OWNER/PROPRIETOR INFORMATION:**

Name: 1127 N. HAGADORN LLC Phone Number(s): OFFICE: 248-344-1885
 Email: bobl@elevate-property.com Address: 128 N. CENTER STREET
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Is a Special Use Permit required for this project? ☒ No ☐ Yes

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I further agree that any deviation from the plans submitted or the breach of any additional safeguards, conditions or requirements the Hamburg Township may impose in granting this application shall constitute a violation of the Ordinance and invalidate the permit granted.

PROPERTY OWNERS SIGNATURE:  DATE: 10-8-25

*If an agent submits the project to the Township for the property owner a letter authorizing must be submitted.

SITE PLAN APPROVAL APPLICATION

8. DESIGNER INFORMATION

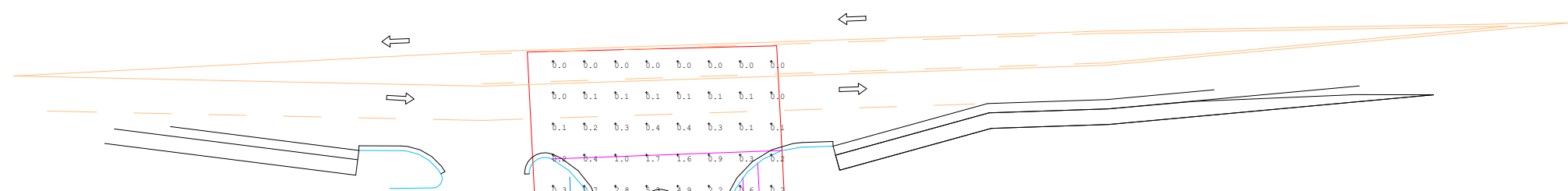
CIVIL ENGINEER: SEIBER KEIST LEHNER
Contact: Clif Seiber
39205 Country Club Drive, Suite C8
Farmington Hills, MI 48331
(248) 890-7650
Email: cs@seibereng.com

ARCHITECT: TK DESIGN
Contact: Todd Hallett
26030 Pontiac Trail
South Lyon, MI 48178
(248) 446-1960
Email: thallett@tkhomedesign.com

LANDSCAPE: ALLEN DESIGN
Contact: Jim Allen
557 Carpenter
Northville, MI 48167
(248) 467-4668
Email: jca@wideopenwest.com



THE CROSSING



Luminaire Schedule				
Symbol	Qty	Label	Description	
⬢	3	C	GC6220-NL_G2LED115-T4-40K	
⊙	80	D	GC6220-NL_G2LED115-T3-40K	
⬢	23	E	GB03_GBR50_CA_G5BOL26-T5-30K	
⊙	3	D2	GC6220-NL_G2LED115-T3-40K	

Calculation Summary				
Label	Units	Avg	Max	Min
CalcPts_1	Fc	2.00	28.3	0.0

MH: 12'

PROP LANDSCAPE BERM

BLDG 1

BLDG 2

BLDG 3

DRAWN BY: S.H.
DATE: 10/09/25
REV: 2



THE CROSSING



Luminaire Schedule				
Symbol	Qty	Label	Description	
□	3	C	GC6220-NL G2LED115-T4-40K	
○	80	D	GC6220-NL G2LED115-T3-40K	
□	23	E	GB03 GBR50 CA G5BOL26-T5-30K	
○	3	D2	GC6220-NL G2LED115-T3-40K	

Calculation Summary				
Label	Units	Avg	Max	Min
CalcPts_1	Fc	2.00	28.3	0.0

DRAWN BY: S.H.
DATE: 10/09/25
REV: 2

MEMO

VIA EMAIL: bobl@elevate-property.com

To: **Elevate Land Holdings**

From: **Jacob Swanson, PE, PTOE**
Aaron Wildrick, EIT
Fleis & VandenBrink

Date: **September 28, 2025**

Re: **The Crossing at Lakelands Trail**
Hamburg Township, Michigan
Traffic Impact Study - Addendum

This memorandum is an addendum to the Traffic Impact Study (TIS) prepared by F&V for this project dated September 5, 2024. The project site is located south of M-36, adjacent to the existing Learning Lane in Hamburg Township, Michigan, as shown in **Figure 1**. The project site is currently vacant and was formerly occupied by the Hamburg Elementary School. The proposed site plan for this project has subsequently been revised and includes **less** units than previously evaluated in the TIS. Therefore, the purpose of this addendum is to show the projected change in trip generation associated with the revised site plan.

The scope of work for this study was developed based on Fleis & VandenBrink's (F&V) understanding of the development program, professional experience, accepted traffic engineering practice, requirements of Hamburg Township, and the methodologies published by ITE.

FIGURE 1: SITE LOCATION MAP



27725 Stansbury Boulevard, Suite 195
Farmington Hills, MI 48334

P: 248.53

F: 248.53

www.fven.com

The vehicle trip generation included in the September 2024 TIS was compared to the projected trips that would be generated with the proposed site plan, in order to determine the potential impact associated with the site plan modifications.

The trip generation analysis included in the September 2024 TIS utilized the *ITE Trip Generation Manual, 11th Edition*. The *ITE Trip Generation Manual, 12th Edition* was published in August 2025 and was used to calculate the trip generation for the revised proposed site plan. The number of weekday peak hour (AM and PM) and daily vehicle trips that would be generated by the proposed site plan were compared to the trip generation evaluated in the September 2024 TIS. The trip generation comparison is summarized in **Table 1**.

Table 1: Trip Generation Summary

Site Plan	Land Use	ITE Code	Amount	Units	Average Daily Traffic (vpd)	AM Peak Hour (vph)			PM Peak Hour (vph)		
						In	Out	Total	In	Out	Total
2024 TIS (TGM 11 th)	Multi-Family (Low-Rise)	220	208	DU	1,409	21	66	87	69	41	110
Proposed (TGM 12 th)	Multi-Family (Low-Rise)	220	192	DU	1,201	19	61	80	62	38	100
Difference					-208	-2	-5	-7	-7	-3	-10

- The results of the trip generation comparison indicates that the proposed site plan revisions are expected to generate ***less*** trips, as compared to the previous site plan evaluated in the 2024 TIS.
- No changes to the results of recommendations of the TIS are expected with the revised site plan and no further analysis is recommended.

Any questions related to this memorandum, study, analysis, and/or results should be addressed to Fleis & VandenBrink.



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Michigan.

Jacob Swanson

Digitally signed by
Jacob Swanson
Date: 2025.09.28
17:48:53 -04'00'

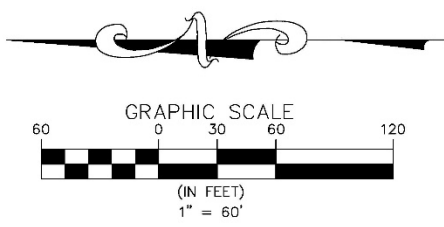
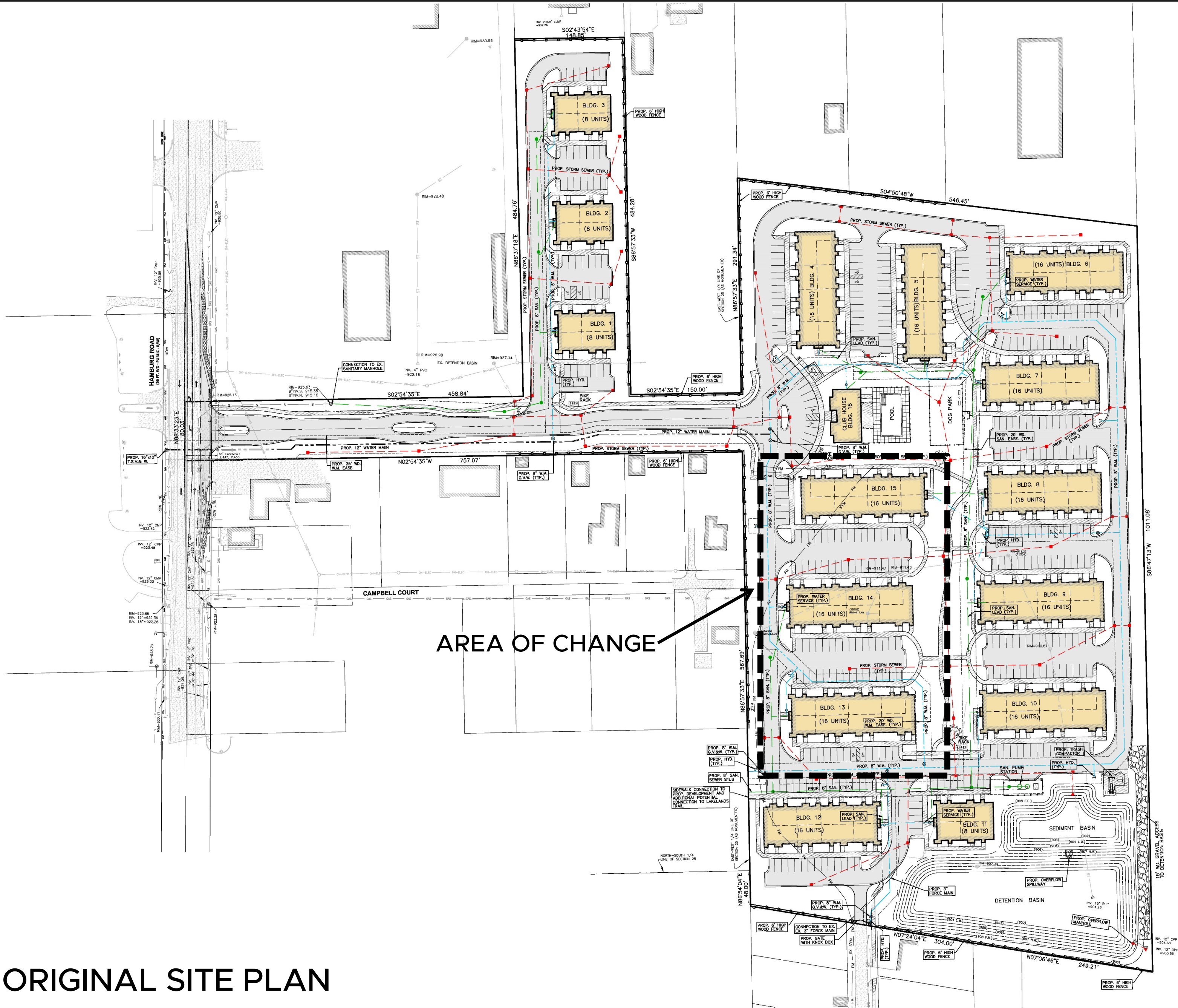
Attachments: Proposed Site Plan

The Crossing at Lakelands Trail

Hamburg, Michigan



ORIGINAL SITE PLAN



PROPOSED LEGEND

	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	DITCH/SWALE
	TREE PROTECTION FENCE
	SILT FENCE
	FLOODPLAIN
	WETLANDS
	CONTOUR
	CURB AND OUTTER
	SANITARY MANHOLE
	SANITARY CLEANOUT
	STORM MANHOLE
	YARD CATCH BASIN
	ROAD CATCH BASIN W/SILT SAC
	END SECTION
	FIRE HYDRANT
	GATE VALVE AND WELL
	PAVEMENT (ASPHALT)
	PAVEMENT (CONCRETE SIDEWALK)
	DIRECTION SURFACE WATER FLOW
	OVERFLOW ROUTE
	GRADE

SEIBER KEAST LEHNER
ENGINEERING | SURVEYING

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NO.	REVISIONS	DATE
1.	REV. LAYOUT PER HAMBURG TWP. REVIEW	4-22-24
2.	REV. ISLAND ADD VINYL FENCE	8-26-24
3.	SUBMIT TO HAMBURG TWP.	9-16-24
4.	SUBMIT TO HAMBURG TWP.	9-25-24

3 WORKING DAYS BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
TOTAL FREE FOR THE LOCATION OF UNDERGROUND UTILITIES

PROJECT NUMBER: 23-239	PROJECT MANAGER: B. EMERINE
DRAWN BY: C.S.	CHECKED BY: C.S.
DATE: 1/10/24	OFFICE: FARMINGTON HILLS

CLIENT INFO:

ELEVATE LAND HOLDINGS-
THE CROSSING
128 N. CENTER STREET
NORTHVILLE, MI 48167
248.344.1885

PROJECT NAME:
THE CROSSING AT
LAKELANDS TRAIL
PART OF E. 1/2 OF SEC. 25, T.1N., R.5E.,
HAMBURG TWP., LIVINGSTON COUNTY, MI

SHEET TITLE:
UTILITIES PLAN

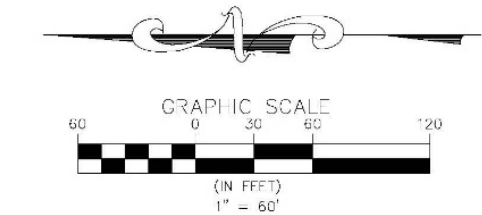
PAGE No.:
4

21

PROPOSED SITE PLAN

- AREA OF CHANGE**
- Removed (1) building of 16 units
 - Respaced remaining buildings
 - Reconfigured road access
 - Added (2) garage/storage combo buildings (in yellow)

PREVIOUS SITE PLAN		PROPOSED SITE PLAN	
NO. OF BUILDINGS	16	NO. OF BUILDINGS	15
NO. OF UNITS	208	NO. OF UNITS	192
PARKING REQUIRED (1.5/UNIT)	312	PARKING REQUIRED (1.5/UNIT)	288
PARKING PROPOSED	403	PARKING PROPOSED	399
OPEN SPACE PROVIDED	6.41AC	OPEN SPACE PROVIDED	6.44AC



BUILDING TYPE	1B/R	2B/R	3B/R	TOTAL UNITS PER BLDG TYPE	TOTAL B/R PER BLDG TYPE	NO OF BLDGS	TOTAL B/R ALL BLDG TYPE
77' WD.	4	4	0	8	12	4	48
154' WD.	10	4	2	16	24	6	144
167' WD.	6	8	2	16	28	4	100
1B/R UNITS	100	51%				14	282
2B/R UNITS	72	38%					
3B/R UNITS	20	11%					
	192	100%					

SITE DATA		REQUIRED	PREVIOUSLY APPROVED	PROPOSED
EXISTING ZONING: GENERAL PLANNED UNIT DEVELOPMENT (GPUD)				
SITE AREA = 15.478 ACRES				
MAX. DWELLING UNITS PER ACRE (VC): 10 DU/ACRE				
NO. OF BUILDING ON SITE:			16	15
NO. OF UNITS PROPOSED:			208	192
DWELLING UNITS PER ACRE:			13.44 DU/ACRE	12.41 DU/ACRE
(AMEND TO PUD AGREEMENT)				
BUILDING SETBACKS:				
FRONT (FROM PAVEMENT):		20'	N/A	N/A
SIDE:		10'	20' MIN.	20' MIN.
REAR: TO PROPERTY LINE		25'	20' MIN.	20' MIN.
BUILDING TO BUILDING:		35'	N/A	N/A
BUILDING FRONT TO SIDE:		N/A	N/A	N/A
BUILDING SIDE TO SIDE:		N/A	N/A	N/A
MAXIMUM BUILDING HEIGHT:		35'	35'	35'
MAXIMUM BUILDING STORIES:		2.5 STORIES	2 STORIES	2 STORIES
MINIMUM FLOOR AREA:				
1 BEDROOM		550 S.F.	741 S.F.	741 S.F.
2 BEDROOMS		650 S.F.	1,058 S.F.	1,058 S.F.
3 BEDROOMS			1,399 S.F.	1,399 S.F.
BUILDING COVERAGE:		50% MAX.	16.80%	17.06%
IMPERVIOUS AREA CALCULATION:		N/A	41.79%	41.33%
OPEN SPACE REQUIRED:				
1,500 S.F./ UNIT=1,500 x 208				
312,000 S.F. (7.16 AC.)		44%	41.41%	41.61%
OPEN SPACE PROVIDED:			6.41 AC.	6.44 AC.
PARKING REQUIRED: (1.5 SPACE/UNIT)			312 SPACES	288 SPACES
PARKING PROPOSED: OPEN PARKING -			393 SPACES	361 SPACES
BARRIER FREE PARKING -			10 SPACES	10 SPACES
COVERED PARKING -			N/A	28 SPACES
TOTAL PARKING PROPOSED:			403 SPACES	399 SPACES
			(1.94 SPACES/UNIT)	(2.08 SPACES/UNIT)
		PREVIOUSLY APPROVED PLANS	CURRENT PLANS	
SITE AREA		15.478 AC.	15.478 AC.	
NO. OF BUILDING ON SITE:		16	15	
NO. OF UNITS PROPOSED:		208	192	
DWELLING UNITS PER ACRE:		13.44 DU/ACRE	12.41 DU/ACRE	
BUILDING COVERAGE:		16.80%	17.06%	
PAVED SURFACE PARKING AND ROADS CIRCULATION		41.79%	41.33%	
OPEN SPACE:		41.41%	41.61%	
PARKING PROVIDED:		403 SPACES	399 SPACES	
		(1.94 SPACES/UNIT)	(2.08 SPACES/UNIT)	

SEE LANDSCAPE PLANS FOR SCREENING WALL DETAILS

PROPOSED LEGEND	
	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	DITCH/SWALE
	TREE PROTECTION FENCE
	SILT FENCE
	FLOODPLAIN
	WETLANDS
	CONTOUR
	CURB AND GUTTER
	SANITARY MANHOLE
	SANITARY CLEANOUT
	STORM MANHOLE
	YARD CATCH BASIN
	ROAD CATCH BASIN W/SILT SAC
	SAND SUCTION
	FIRE HYDRANT
	GATE VALVE AND WELL
	PAVEMENT (ASPHALT)
	PAVEMENT (CONCRETE SIDEWALK)
	DIRECTION SURFACE WATER FLOW
	OVERLOOK ROUTE
	GRADE

SEIBER KEAST LEHNER
ENGINEERING | SURVEYING

SKL

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DATE: 4-22-24
REVIEW: 6-26-24
SUBMIT TO HAMBURG TWP: 8-16-24
SUBMIT TO HAMBURG TWP: 9-25-24

NO. 1
NO. 2
NO. 3
NO. 4

REVISIONS

DESCRIPTION

1. REV. LAYOUT PER HAMBURG TWP.

2. REV. ISLAND, ADD VINYL FENCE

3. SUBMIT TO HAMBURG TWP.

4. SUBMIT TO HAMBURG TWP.

3 WORKING DAYS BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
TOLL FREE FOR THE LOCATION OF UNDERGROUND UTILITIES

PROJECT NUMBER: 23-239
PROJECT MANAGER: B. DIERNE
DRAWN BY: A. AWAD
CHECKED BY: J.S.
DATE: 1/10/24
OFFICE: FARMINGTON HILLS

CLIENT INFO:
ELEVATE LAND HOLDINGS -
THE CROSSING AT
LAKELANDS TRAIL
128 N. CENTER STREET
NORTHVILLE, MI 48167
248.344.1885

PROJECT NAME:
THE CROSSING AT
LAKELANDS TRAIL
PART OF E. 1/2 OF SEC. 25, T.1N., R.5E.,
HAMBURG TWP., LIVINGSTON COUNTY, MI

SHEET TITLE:
OVERALL PLAN AND
OPRN SPACE PLAN

PAGE No.: 3

Item 2.

22

WASHINGTON ST

HAMBURG RD / E
MICHIGAN 36

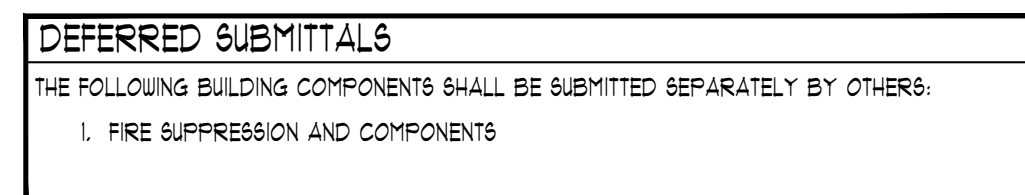
SITE

HALL ROAD

0 50
FEET

SITE LOCATION MAP


SCALE NOT TO SCALE



PLAN DRAWING INDEX

BED / BATH CONFIGURATION RECAP		
QUANTITY	CONFIGURATION	
	BED	BATH
4	1	1
4	2	2

UNIT SQUARE FOOTAGE						
	UNIT IDENTITY	CONFIGURATION		SQ. F T.	QUANTITY	TOTAL UNIT S.F.
		BED	BATH			
FIRST FLOOR	UNIT A	2	2	1034	2	2068
	UNIT B	1	1	TT1	2	1554
	RIGER / MECH. ROOM				1	71
	AC				4	91
SECOND FLOOR	STAIR				4	225
	UNIT C	2	2	1062	2	2124
	UNIT D	1	1	746	2	1492
	AC				4	78
	STOR.				4	91
	TOTAL BLDG S.F.					7914




STATE OF MICHIGAN

ANNETTE GUSMANO

ARCHITECT

13016617913

7-9-25



DESIGN

CREATIVE COLLABORATIVE

WWW.TK10MEDESIGN.COM

26030 PONTIAC TRAIL

SOUTH LYON, MI 48178

PHONE: (248)-446-1960

FAX: (248)-446-1961

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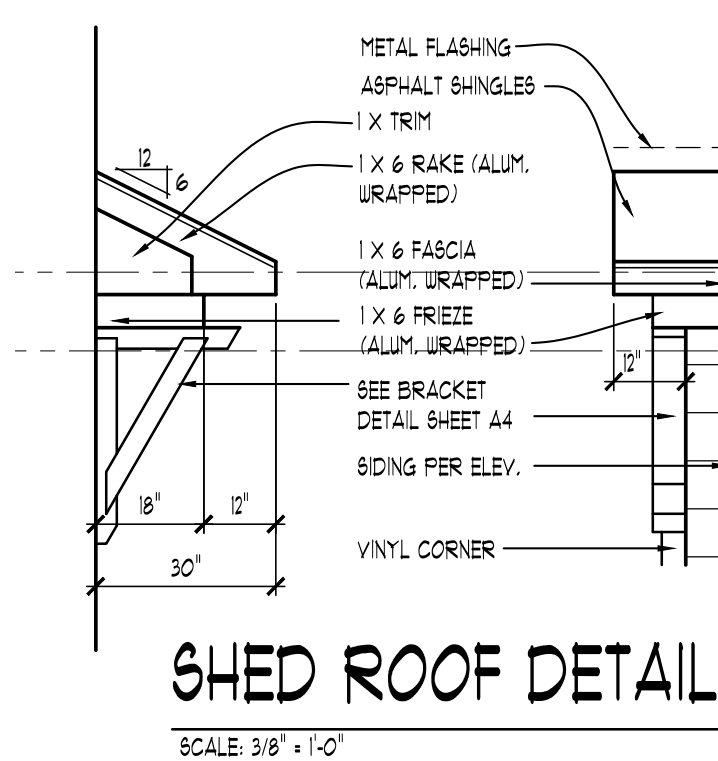
CONSTRUCTION, SPECIFICATIONS AND DESIGN CHANGES SHALL BE

REVIEWED TO PREVENT DISCREPANCIES OR INCONSISTENCIES

THIS DOCUMENT IS THE PROPERTY OF TK10ME DESIGN AND ASSOCIATES

CONTRACTORS ARE TO USE FOR THE PROJECT ONLY

CLIENT / PROJECT	ELEVATE LAND HOLDINGS AT THE CROSSINGS AT LAKELAND TRAIL 8-UNIT HAMBURG TWP. LIVINGSTON COUNTY, MI
JOB No.	24-201
DRAWN:	AG
CHECKED:	BF
FRAMED:	BF
FINAL	7-9-25
SCALE:	PER PLAN
SHEET #	COVER



ELEVATION NOTES

1. ALL ROOF SADDLES TO BE PLYWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
2. PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS
3. METAL FLASHING AS REQUIRED BY CODE.
4. ROOF & SOFFIT VENTS AS REQUIRED BY CODE.
5. PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

NOTE:

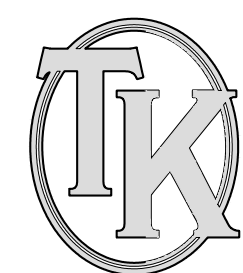
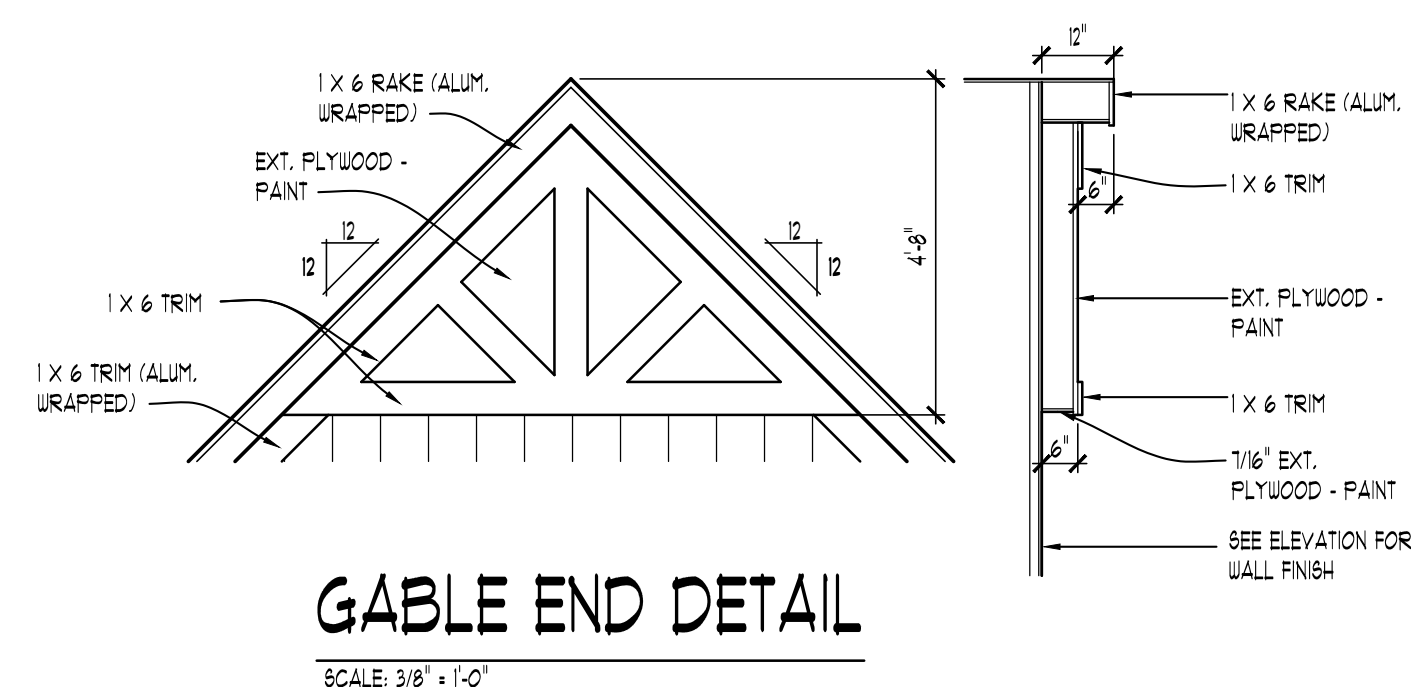
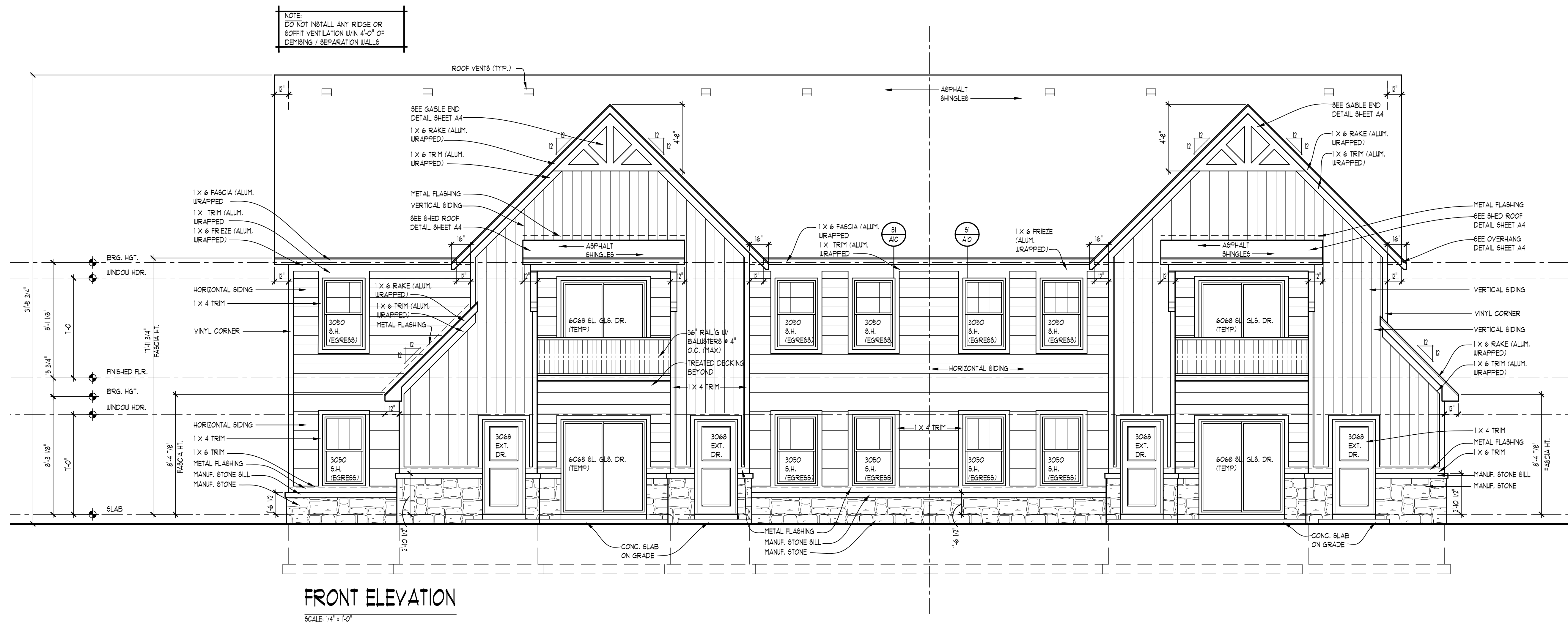
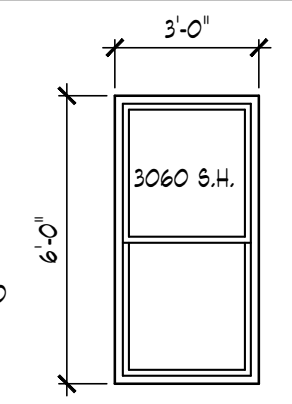
OVERHANG DIMENSIONS (O.H.) ARE
FROM SHEATHING U.N.O.

TYPICAL WINDOW DESIGNATION

NOTE:
GENERAL REFERENCE FOR
ROUGH OPENING SIZES
ONLY. CONSULT WITH
WINDOW MANUFACTURER
FOR EXACT WINDOW SIZES
& REQUIREMENTS.

NOTE:
ALL CASEMENT VENTING TO
BE VERIFIED BY BUILDER/
HOMEOWNER PRIOR TO
ORDERING WINDOWS

NOTE:
ALL WINDOW SILLS OVER 6'-0" ABOVE EXTERIOR GRADE OR
SURFACE BELOW TO BE MINIMUM 24" ABOVE FINISHED FLOOR
OR HAVE SASH LIMITERS PER CODE REQUIREMENTS



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-CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE PERMIT HOLDER

CLIENT / PROJECT
ELEVATE LAND
HOLDINGS
THE CROSSINGS AT
LAKE LAND TRAIL
8-UNIT
HAMBURG TWP.
LIVINGSTON
COUNTY, MI

JOB No.	24-201
DRAWN:	AG
CHECKED:	BF
FRAMED:	BF
FINAL	7-9-25

SCALE:
PER PLAN

SHEET #
A4

ELEVATION NOTES

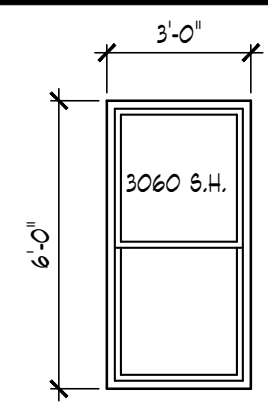
- ALL ROOF SADDLES TO BE PLYWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
- PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS.
- METAL FLASHING AS REQUIRED BY CODE.
- ROOF & SOFFIT VENTS AS REQUIRED BY CODE.
- PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

NOTE:

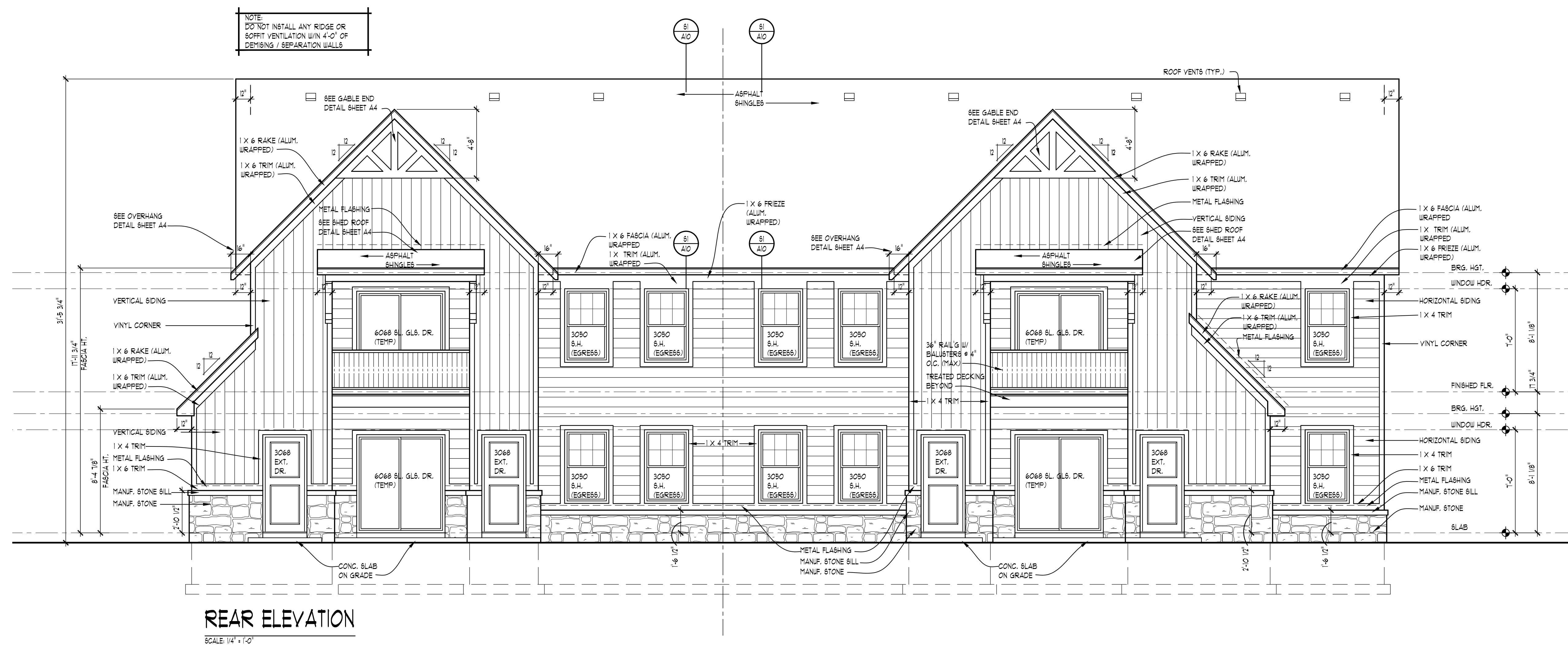
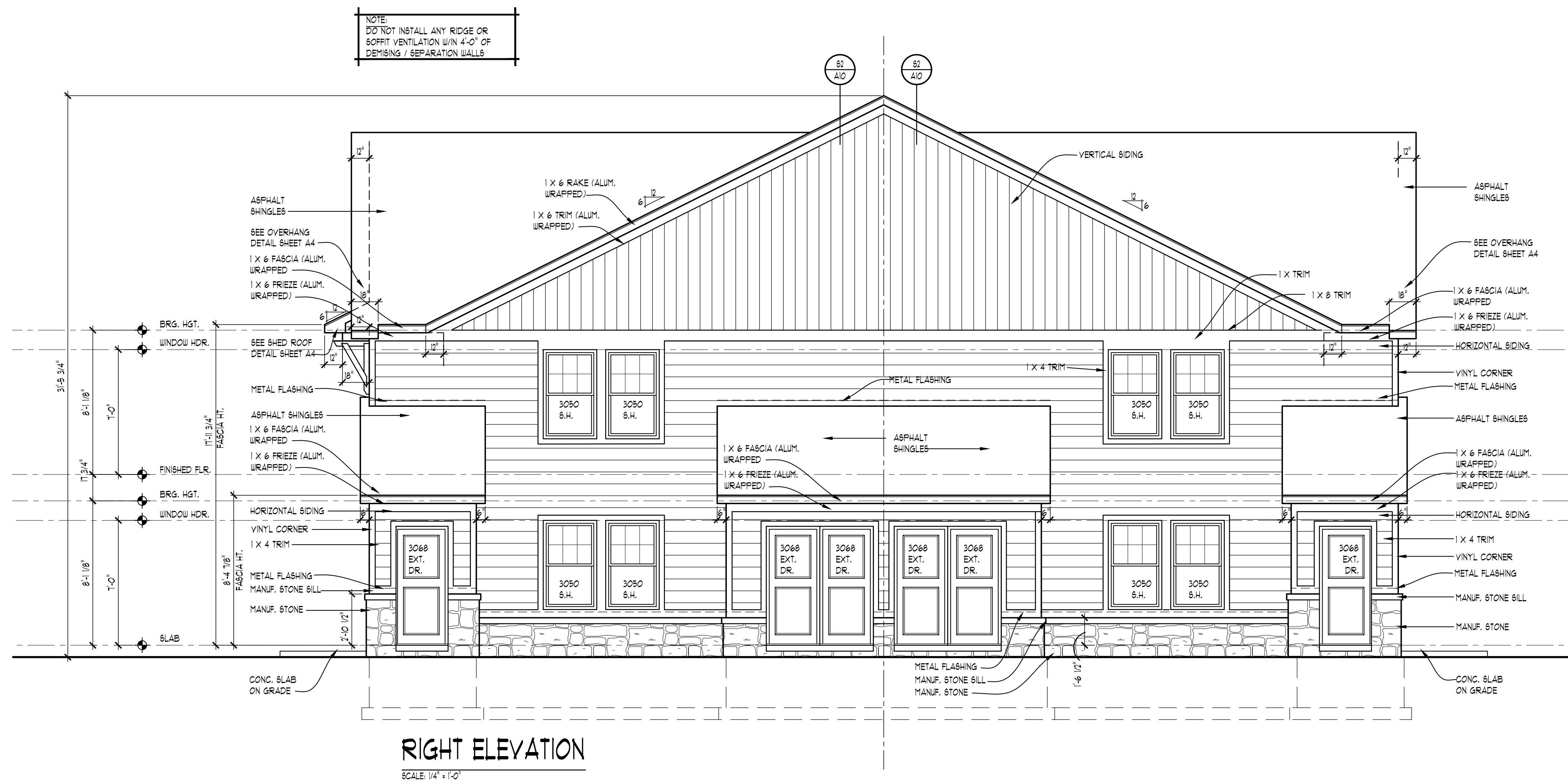
OVERHANG DIMENSIONS (O.H.) ARE FROM SHEATHING U.N.O.

TYPICAL WINDOW DESIGNATION

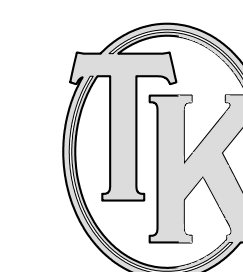
NOTE:
GENERAL REFERENCE FOR
ROUGH OPENING SIZES
ONLY. CONSULT WITH
WINDOW MANUFACTURER
FOR EXACT WINDOW SIZES
& REQUIREMENTS.



NOTE:
ALL WINDOW BILLS OVER 6'-0" ABOVE EXTERIOR GRADE OR
SURFACE BELOW TO BE MINIMUM 24" ABOVE FINISHED FLOOR
OR HAVE 5/8" LIMITERS PER CODE REQUIREMENTS



7-9-25



DESIGN
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SOUTH LYON, MI 48178
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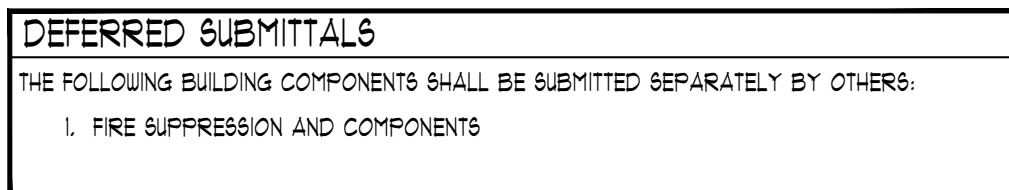
CLIENT / PROJECT
ELEVATE LAND HOLDINGS
THE CROSSINGS AT LAKELAND TRAIL
8-UNIT TWP. LIVINGSTON COUNTY, MI

JOB No. 24-201
DRAWN: AG
CHECKED: BF
FRAMED: BF
FINAL 7-9-25

SCALE:
PER PLAN

SHEET #
A5

SITE LOCATION MAP
SCALE: NOT TO SCALE

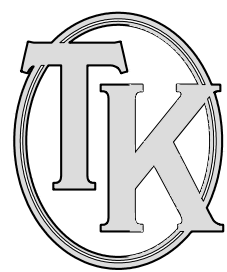


PLAN DRAWING INDEX

BED / BATH CONFIGURATION RECAP		
QUANTITY	CONFIGURATION	
	BED	BATH
10	1	1
4	2	2
2	3	2

PLUMBING FIXTURES:		STANDARD FIXTURES					
UNIT IDENTITY	QUANTITY	BATHROOMS			KITCHEN	DISHWASHER	WASHER /DRYER
		SINK	TOILET	TUB/SHOWER	SINK		
UNIT A - INT	2	4	4	4	2	2	2
UNIT B	2	2	2	2	2	2	2
UNIT B - INT	3	3	3	3	3	3	3
UNIT C - INT	2	4	4	4	2	2	2
UNIT D	2	2	2	2	2	2	2
UNIT D - INT	3	3	3	3	3	3	3
UNIT E	1	3	2	2	1	1	1
UNIT F	1	3	2	2	1	1	1
BLDG TOTAL =		24	24	24	16	16	16

UNIT SQUARE FOOTAGE						
	UNIT IDENTITY	CONFIGURATION		SQ. F T.	QUANTITY	TOTAL UNIT S.F.
		BED	BATH			
FIRST FLOOR	UNIT A - INT	2	2	1090	2	2180
	UNIT B	1	1	TT1	2	1554
	UNIT B - INT	1	1	TT3	3	2319
	UNIT E	3	2	1431	1	1431
	RISER / MECH. ROOM				1	71
SECOND FLOOR	AC				0	174
	STAIR				0	452
	UNIT C - INT	2	2	1058	2	2116
	UNIT D	1	1	746	2	1492
	UNIT D - INT	1	1	741	3	2223
	UNIT F	3	2	1399	1	1399
	AC				0	156
	STOR.				0	185
TOTAL BLDG S.F.						19,752



DESIGN
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CLIENT / PROJECT
ELEVATE LAND
HOLDINGS
THE CROSSINGS AT
LAKELAND TRAIL
154 FT. - 16-UNIT
HAMBURG TWP.
LIVINGSTON
COUNTY, MI

JOB No.	24-201-0001
---------	-------------

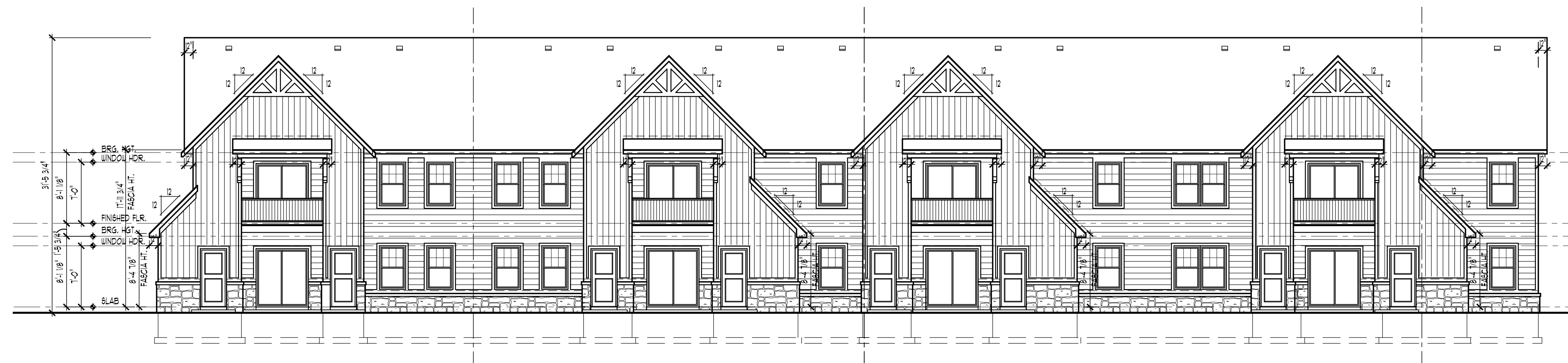
DRAWN:	AG
CHECKED:	BF
FRAMED:	BF

REVIEW	5-30-25
FINAL	8-7-25

SCALE:
PER PLAN

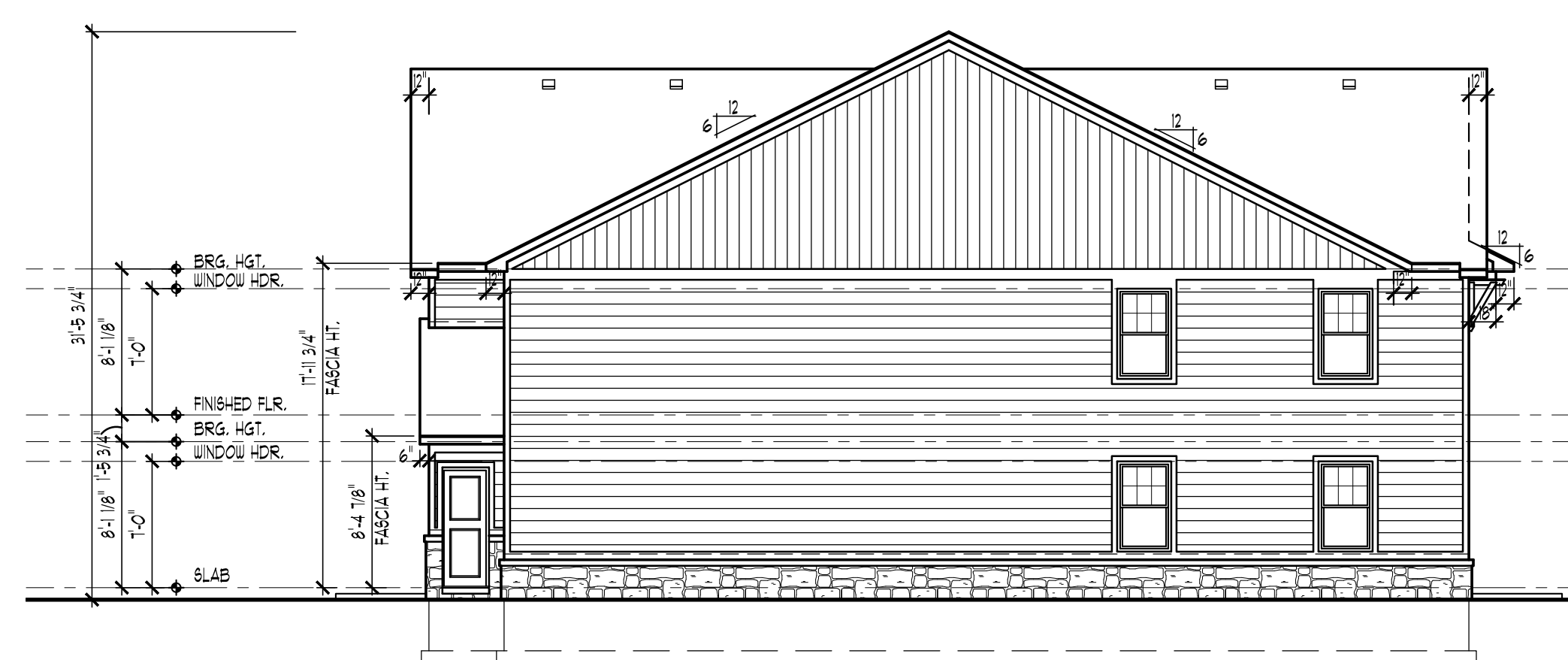
SHEET #
COVER

INSULATION
FOR ALL WALL ASSEMBLIES, CEILING & RIM JOISTS SEE RESCHECK OR PERFORMANCE
COMPLIANCE REPORT FOR INSULATION SPECIFICATIONS, (REPORT BY OTHERS)



(154 FT.- 16 UNIT) REAR ELEVATION

SCALE: 1/8" = 1'-0"



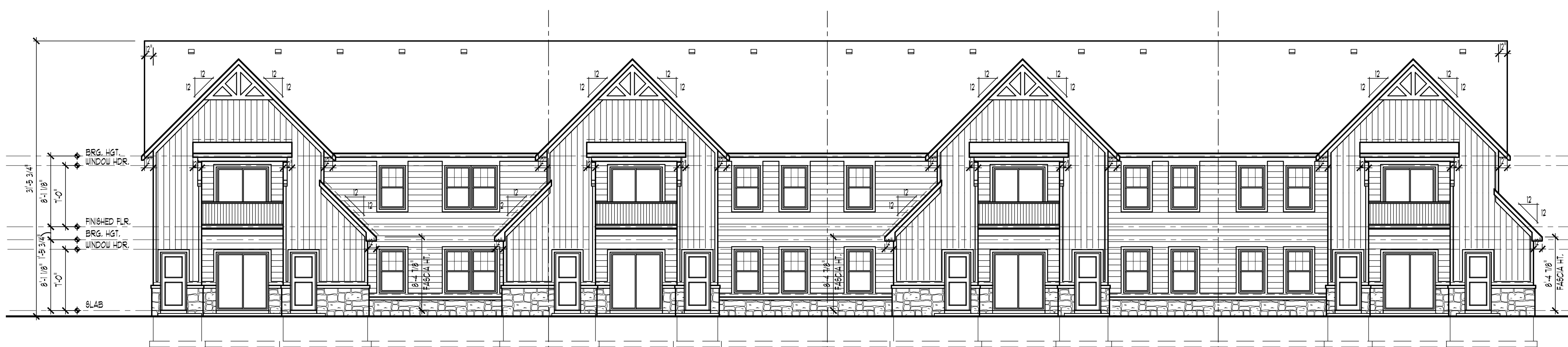
(154 FT.- 16 UNIT) LEFT ELEVATION

SCALE: 1/8" = 1'-0"



(154 FT.- 16 UNIT) RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



(154 FT.- 16 UNIT) FRONT ELEVATION

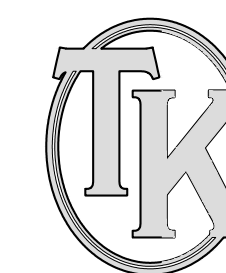
SCALE: 1/8" = 1'-0"

NOTE:
REFER TO SHEETS A1 THRU A5.1 FOR DETAILED
FLOOR PLANS & ELEVATIONS

BUILDING COMPILATION



8-7-25



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CONSTRUCTION. THE SOLE RESPONSIBILITY OF THE PROFESSIONAL

CLIENT / PROJECT
ELEVATE LAND
HOLDINGS
THE CROSSINGS AT
LAKELAND TRAIL
154 FT. - 16-UNIT
HAMBURG TWP.
LIVINGSTON
COUNTY, MI

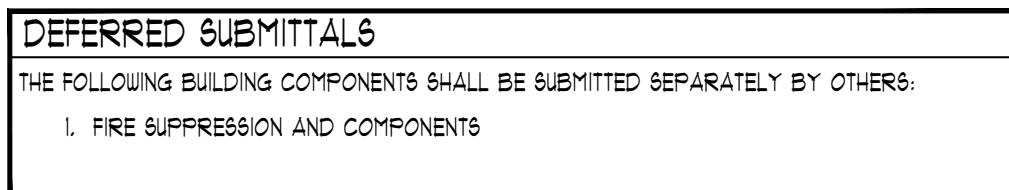
JOB No. 24-201-0001

DRAWN: AG
CHECKED: BF
FRAMED: BF
REVIEW: 5-30-25
FINAL: 8-7-25

SCALE:
PER PLAN

SHEET #
BC3

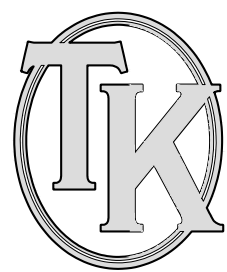
SITE LOCATION MAP
SCALE: NOT TO SCALE



PLAN DRAWING INDEX

BED / BATH CONFIGURATION RECAP		
QUANTITY	CONFIGURATION	
	BED	BATH
6	1	1
8	2	2
2	3	2

UNIT SQUARE FOOTAGE						
	UNIT IDENTITY	CONFIGURATION		SQ. F T.	QUANTITY	TOTAL UNIT S.F.
		BED	BATH			
FIRST FLOOR	UNIT A - INT	2	2	1090	2	2180
	UNIT B	1	1	TT1	2	1554
	UNIT B - INT	1	1	TT3	3	2319
	UNIT E	3	2	1431	1	1431
	RISER / MECH. ROOM				1	71
SECOND FLOOR	AC				0	174
	STAIR				0	452
	UNIT C - INT	2	2	1058	2	2116
	UNIT D	1	1	746	2	1492
	UNIT D - INT	1	1	741	3	2223
	UNIT F	3	2	1399	1	1399
	AC				0	156
	STOR.				0	185
TOTAL BLDG S.F.						19,752



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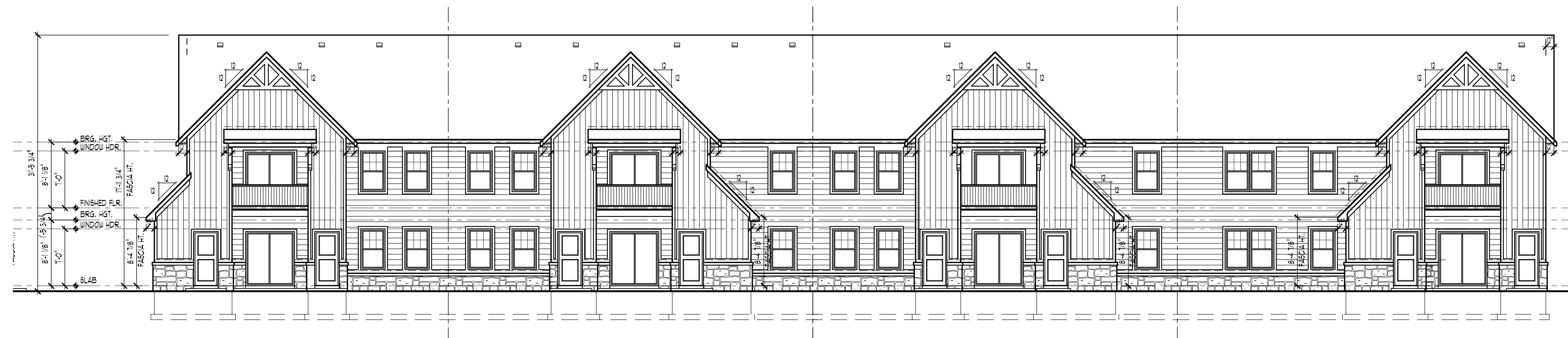
CLIENT / PROJECT
ELEVATE LAND
HOLDINGS
THE CROSSINGS AT
LAKELAND TRAIL
167 FT - 16-UNIT
HAMBURG TWP.
LIVINGSTON
COUNTY, MI

JOB No.	24-201-0003
DRAWN:	AG
CHECKED:	BF
FRAMED:	BF
REVIEW	6-24-25
FINAL	8-4-25
REVISED	

SCALE:
PER PLAN

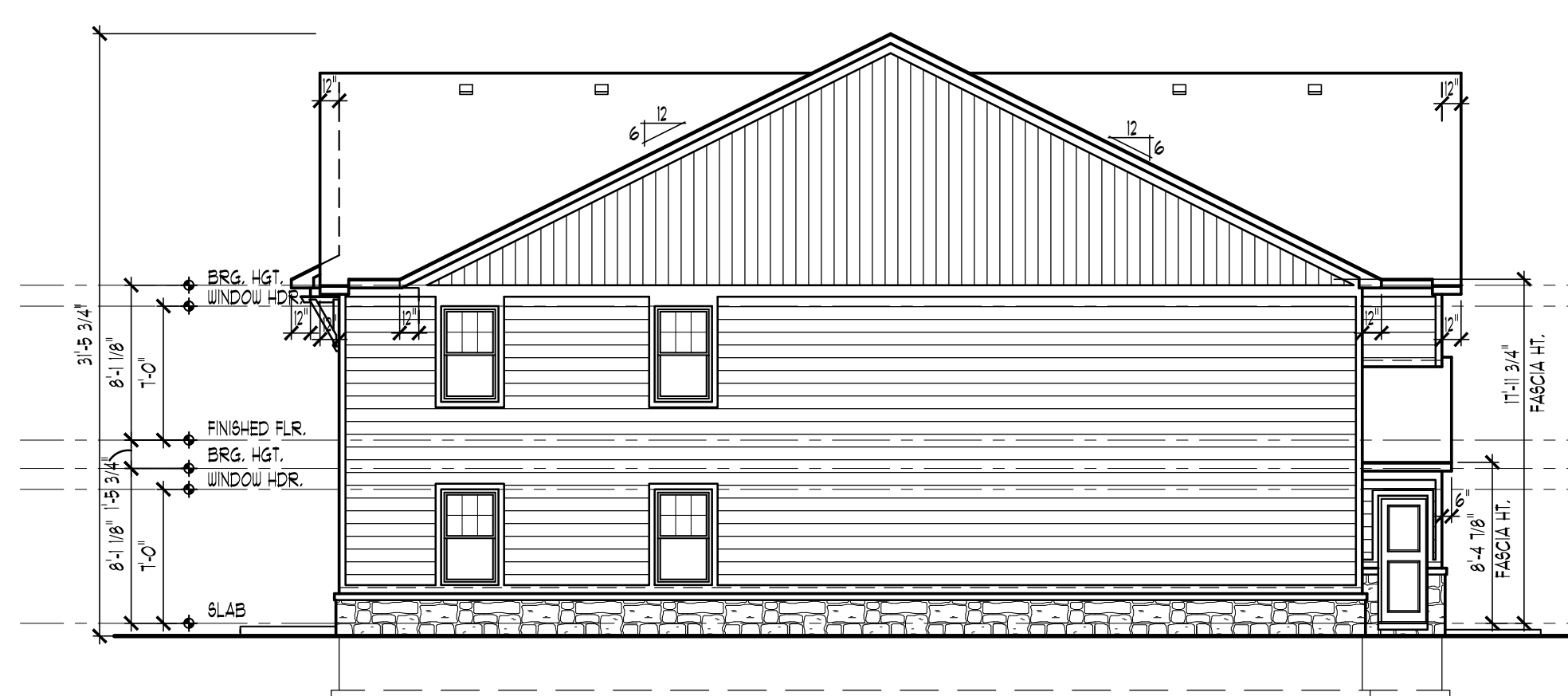
SHEET #
COVER

INSULATION
FOR ALL WALL ASSEMBLIES, CEILING & RIM JOISTS SEE RESCHECK OR PERFORMANCE COMPLIANCE REPORT FOR INSULATION SPECIFICATIONS. (REPORT BY OTHERS)



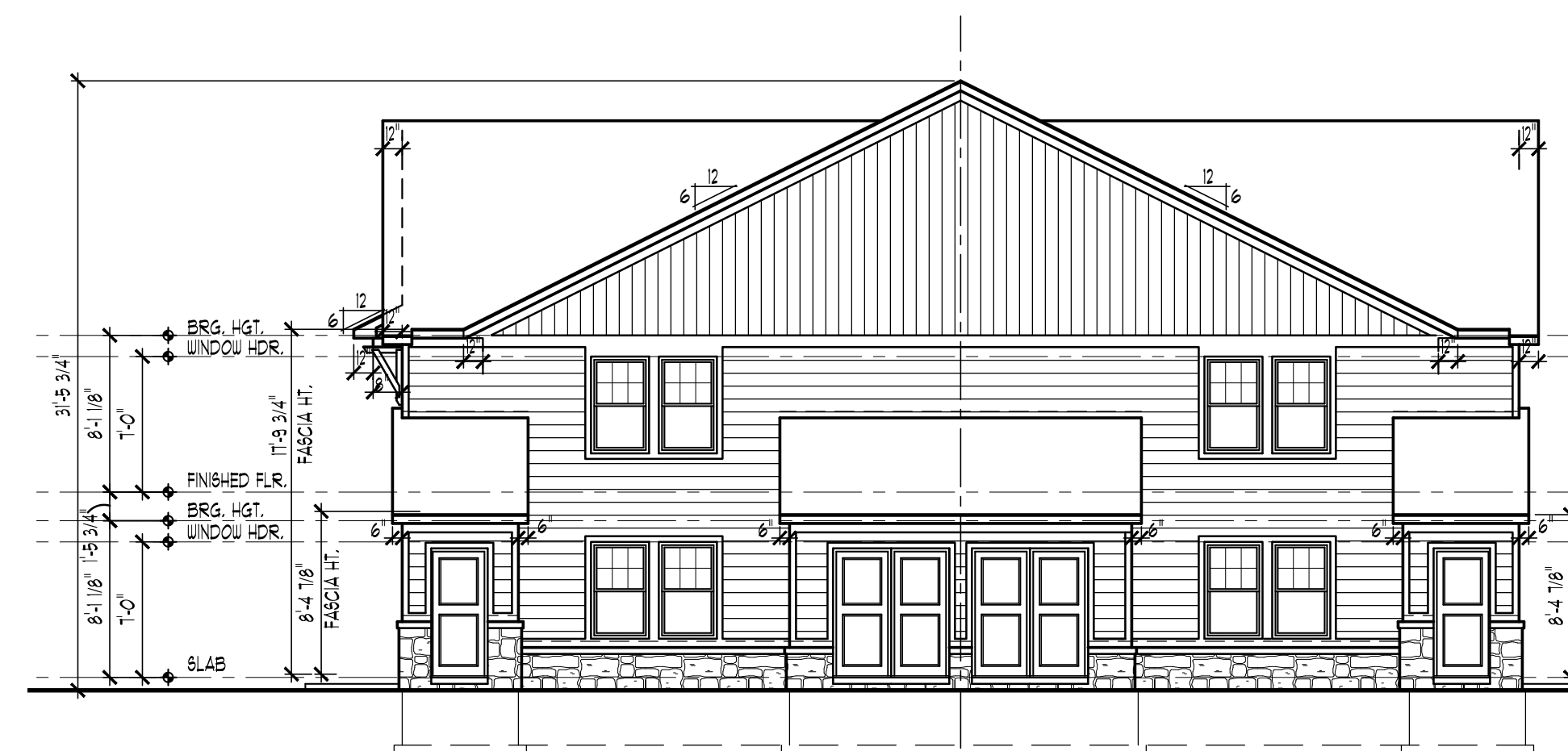
(16 UNIT) REAR ELEVATION

SCALE 1/8" = 1'-0"



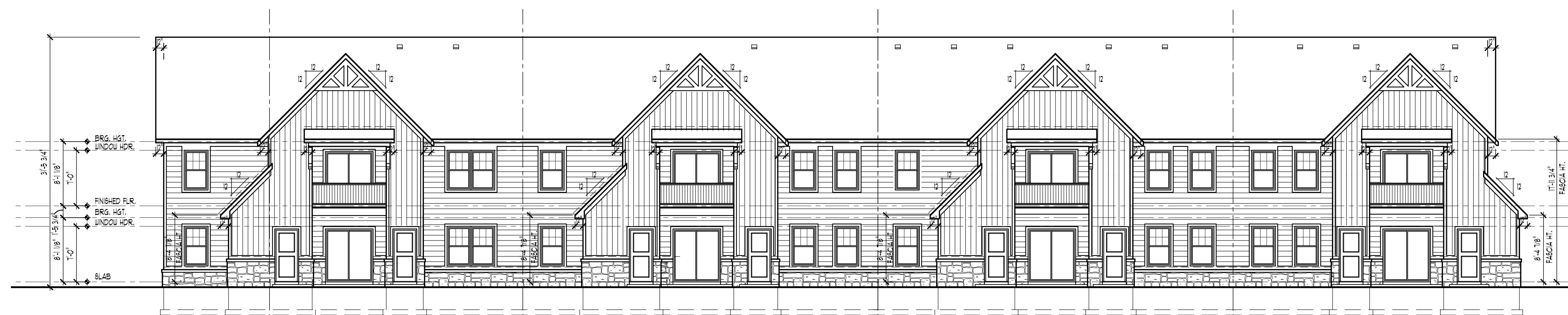
(16 UNIT) LEFT ELEVATION

SCALE 1/8" = 1'-0"



(16 UNIT) RIGHT ELEVATION

SCALE 1/8" = 1'-0"



(16 UNIT) FRONT ELEVATION

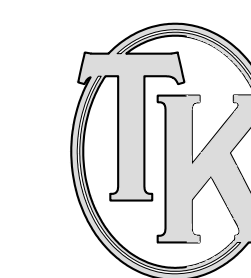
SCALE 1/8" = 1'-0"

NOTE:
REFER TO SHEETS A1 THRU A5.1 FOR DETAILED FLOOR PLANS & ELEVATIONS

BUILDING COMPILATION



8-4-25



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FAX: (248)-446-1961

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CONSTRUCTION. THE DESIGNER SHALL BE RESPONSIBLE FOR THE PERMANENCE

CLIENT / PROJECT
ELEVATE LAND
HOLDINGS
THE CROSSINGS AT
LAKELAND TRAIL
167 FT - 16-UNIT
HAMBURG TWP.
LIVINGSTON
COUNTY, MI

JOB No. 24-201-0003

DRAWN: AG

CHECKED: BF

FRAMED: BF

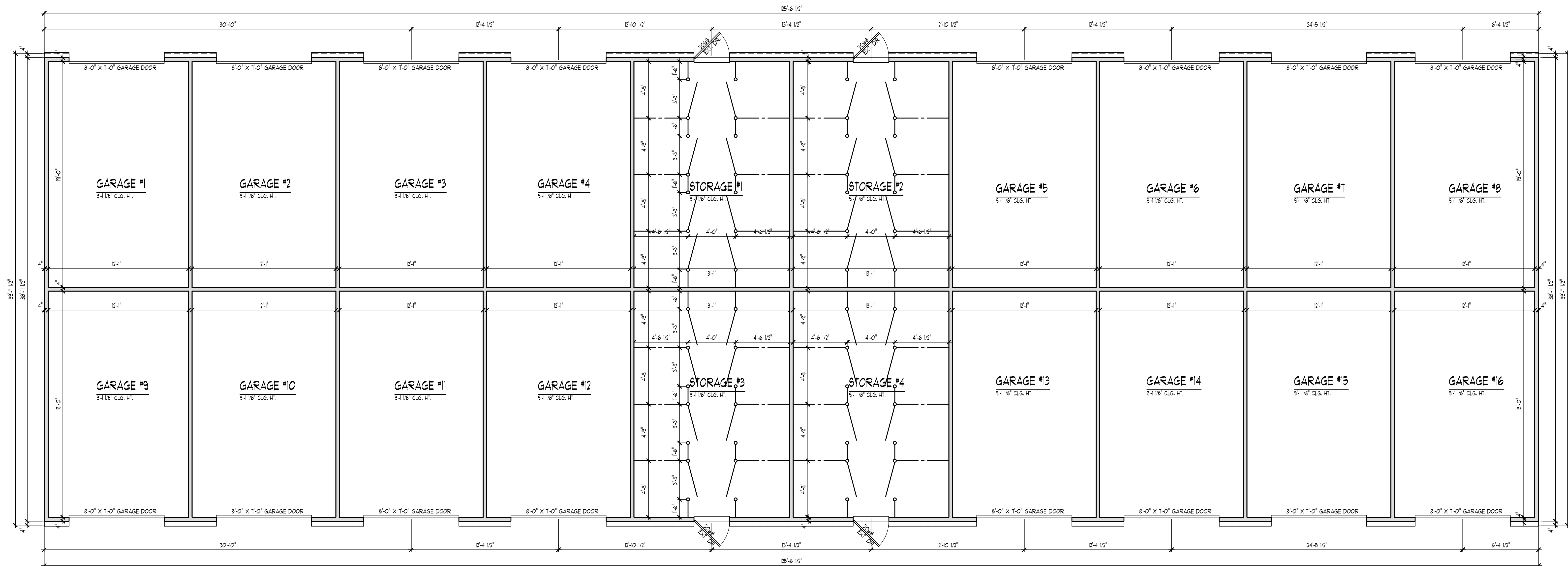
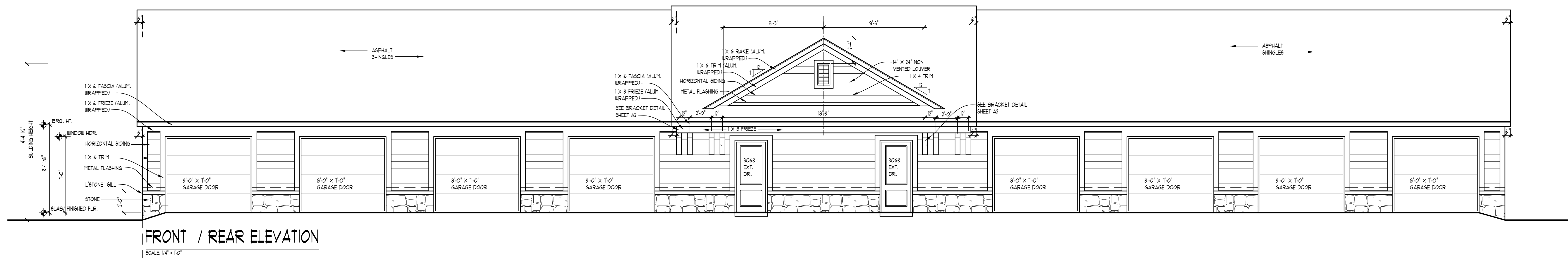
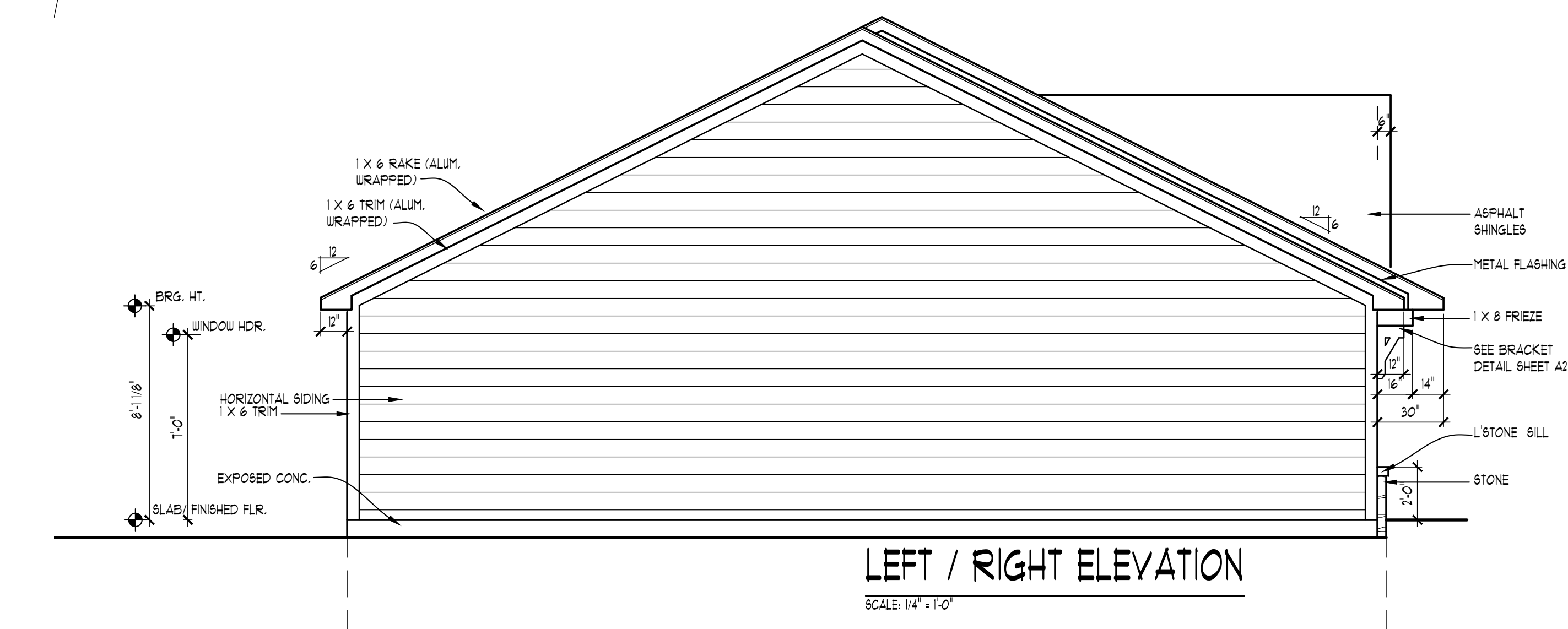
REVIEW 6-24-25

FINAL 8-4-25

REVISED

SCALE:
PER PLAN

SHEET #
BC3



WWW.TKHOMEDESIGN.COM
40200 GRAND RIVER AVE.
SUITE 300
NOVI, MI 48375
PHONE: (248)-446-1960
FAX: (248)-446-1961

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REPORTED TO THE DESIGNER IN WRITING. OWNER HANDS OFF
CALL MEASUREMENTS MUST BE TAKEN PRIOR TO ANY EXCAVATION
CONSTRUCTION. THE DESIGNER IS NOT RESPONSIBLE FOR THE PERMITS.

CLIENT / PROJECT
ELEVATE LAND
HOLDINGS
THE CROSSINGS AT
LAKELAND TRAIL
128 FT GARAGE
- STORAGE BLDG. # 1
HAMBURG TWP.
LIVINGSTON COUNTY, MI

JOB No. 24-201-0004

DRAWN: AG

CHECKED: -

FRAMED: -

REVIEW: 9-19-25

FINAL: -

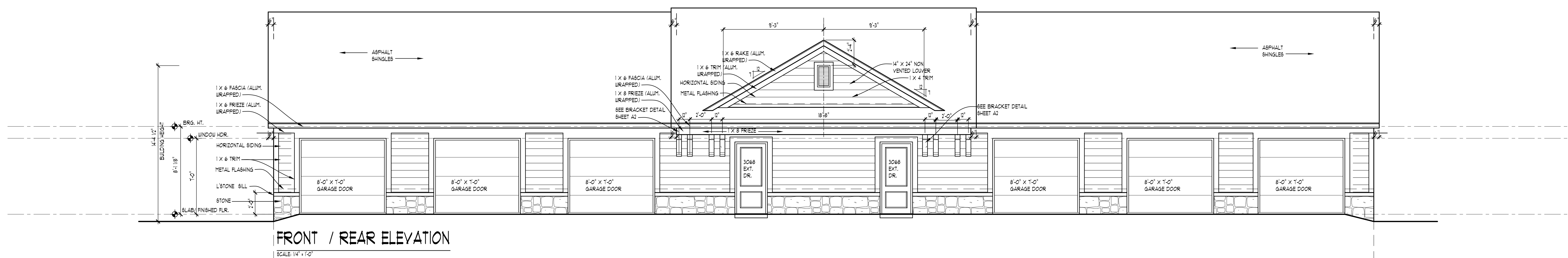
REVISION: -

SCALE:
PER PLAN

SHEET #
COVER

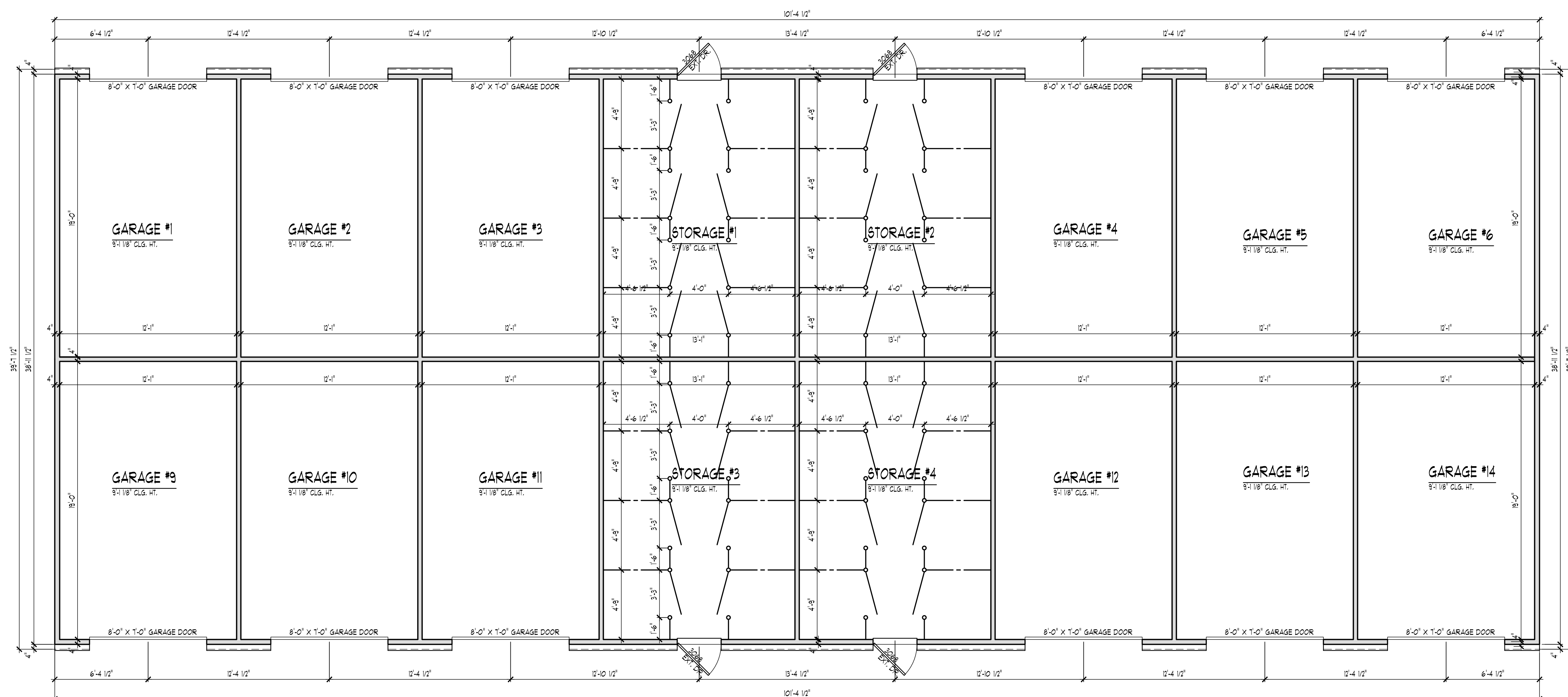
LEFT / RIGHT ELEVATION

SCALE: $1/4" = 1'-0"$



FRONT / REAR ELEVATION

5C.4 | $E_1 V_4^3 : 1'-2'$



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



WWW.TKHOMEDESIGN.COM
40200 GRAND RIVER AVE.
SUITE 300
NOVI, MI 48375
PHONE: (248)-446-1960
FAX: (248)-446-1961

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CLIENT / PROJECT
ELEVATE LAND
HOLDINGS
THE CROSSINGS AT
LAKELAND TRAIL
101 FT GARAGE
-STORAGE BLDG. # 2
HAMBURG TWP.
HAMBURG COUNTY, MI

JOB No. 24-201-0005

DRAWN: AG

CHECKED: -
FRAMER

FRAMED:	-
REVIEW:	0.10.25

REVIEW:	9-19-23
FINAL:	-

REVISION -

1000

1000

© 2006 The Authors
Journal compilation © 2006 Blackwell Publishing Ltd

SCALE:
PER PLAN

PERCENTAGE

SHEET #

COVER

1000

An architectural elevation drawing of a two-story house. The house features a combination of stone and horizontal siding. On the left, there is a gabled section with a stone base and a wooden upper section containing a large tripartite window. To the right of this is a central entrance with a small arched porch and a double door. Further right is another gabled section with a stone base and a wooden upper section containing three narrow vertical windows. The roof is gabled, and there is a small square window in the upper central part of the facade. The drawing is a black and white line art.

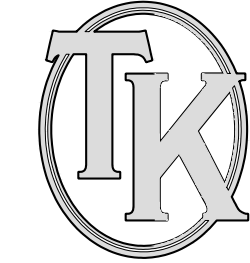


DEFERRED SUBMITTALS
THE FOLLOWING BUILDING COMPONENTS SHALL BE SUBMITTED SEPARATELY BY OTHERS: 1. TRUSS SUBMITTAL 2. FIRE ALARM SYSTEM

PLAN DRAWING INDEX

A1	FOUNDATION PLAN
A2	FIRST FLOOR PLAN
A3	FRONT / LEFT ELEVATION
A4	RIGHT / REAR ELEVATION
A5	WALL SECTION / BUILDING SECTION
A6	ENLARGED RESTROOM / NOTES
A7	INTERIOR ELEVATIONS
A8	DOOR & WINDOW KEY PLAN / FRAME ELEVATIONS

51	FOUNDATION PLAN STRUCTURE
52	FIRST FLOOR PLAN STRUCTURE



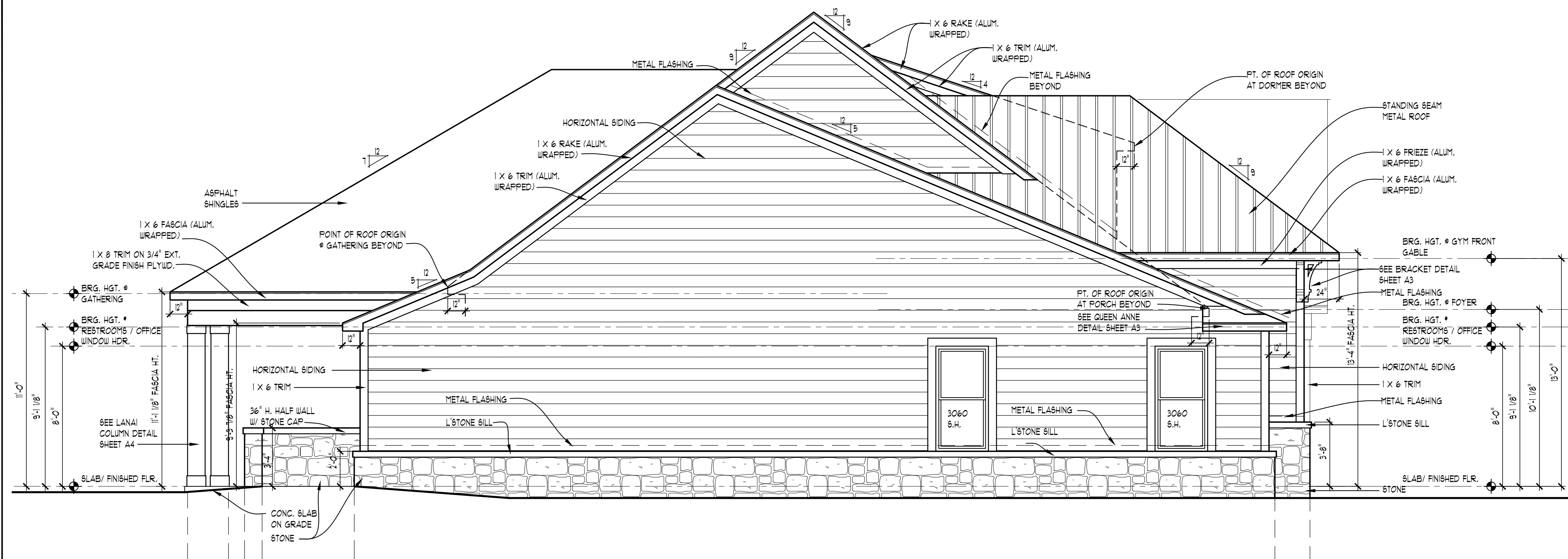
WWW.TKHOMEDSIGN.COM
26030 PONTIAC TRAIL
SOUTH LYON, MI 48178
PHONE: (248)-446-1960
FAX: (248)-446-1961

CLIENT / PROJECT
ELEVATE LAND HOLDINGS
WEST LAKE PLACE CLUBHOUSE
TORCH LAKE CIRCLE
SOUTH LYON, MI

DRAWN: AG
CHECKED: BF
FRAMED: BF

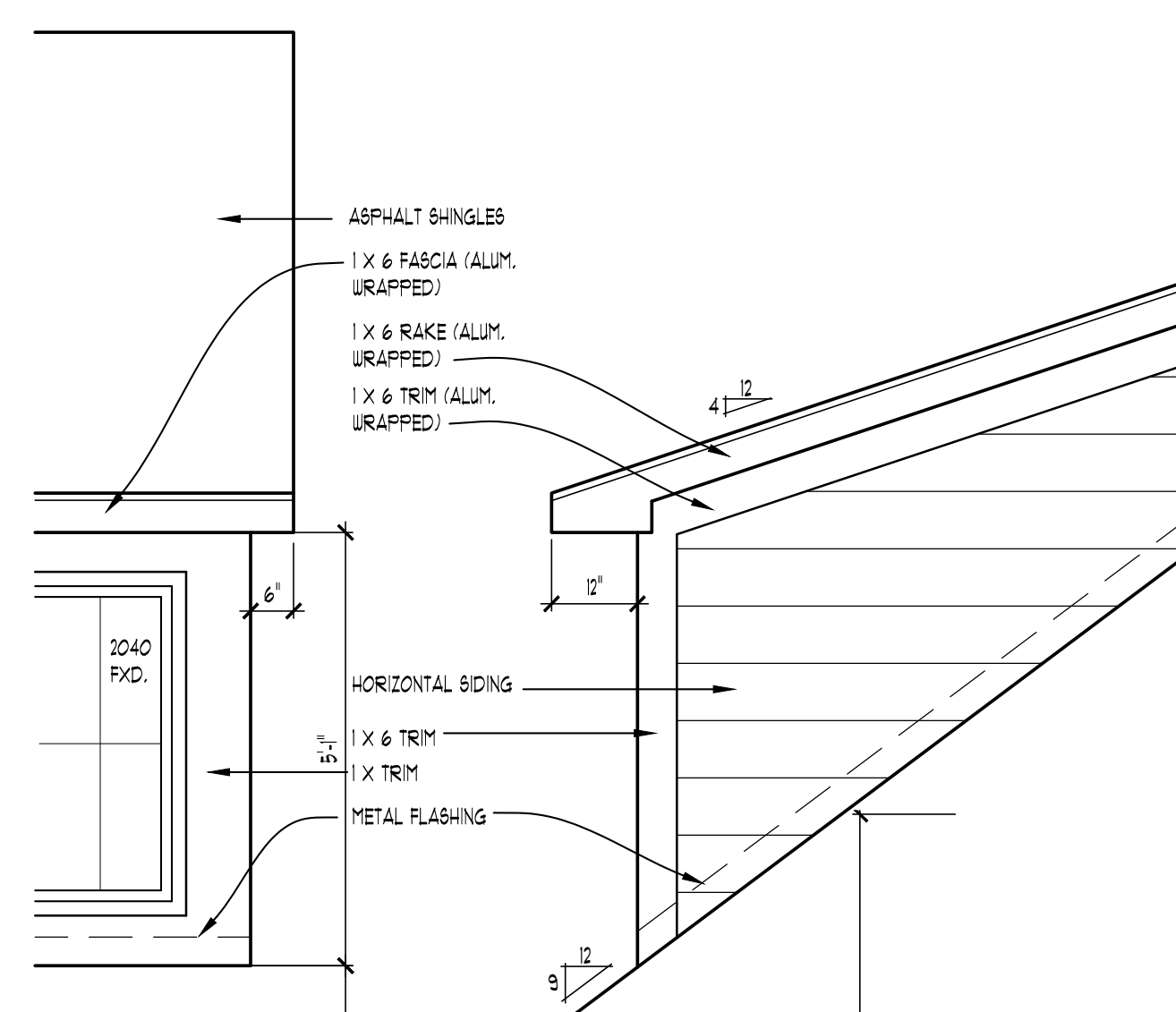
1 REVISED REFERENCE NOTES
5-20-25

SHEET #
COVER



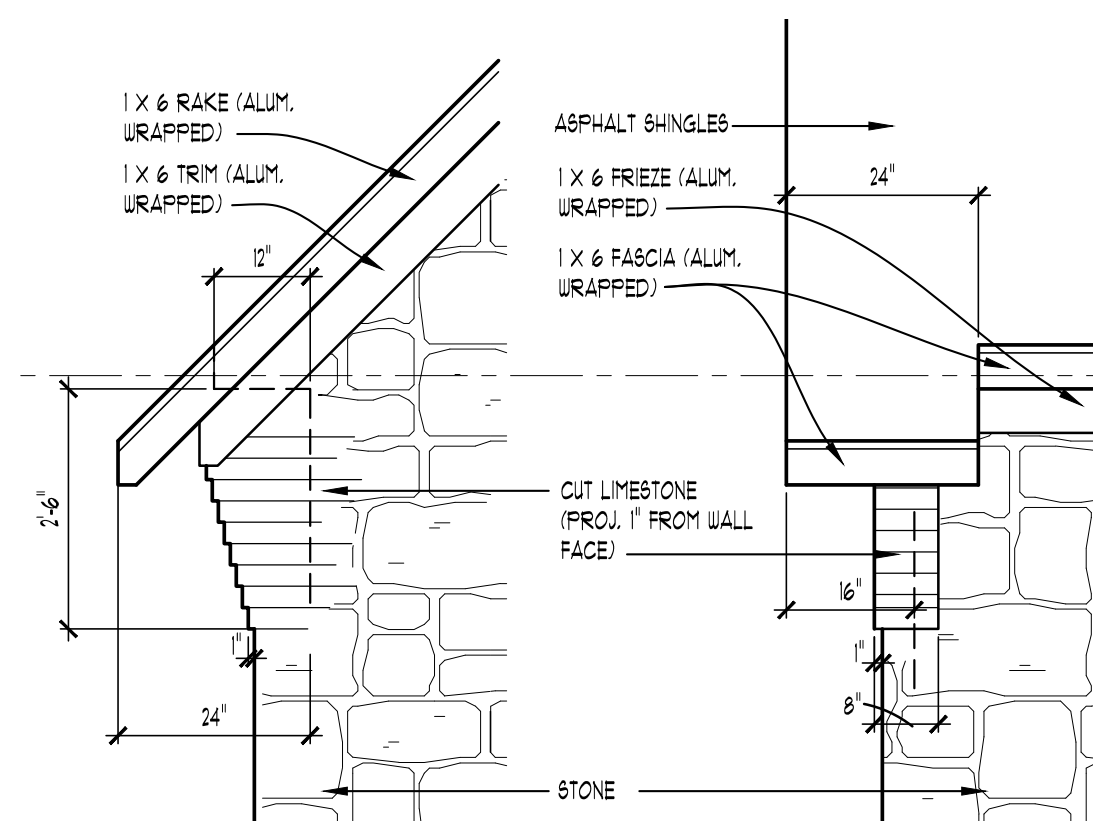
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



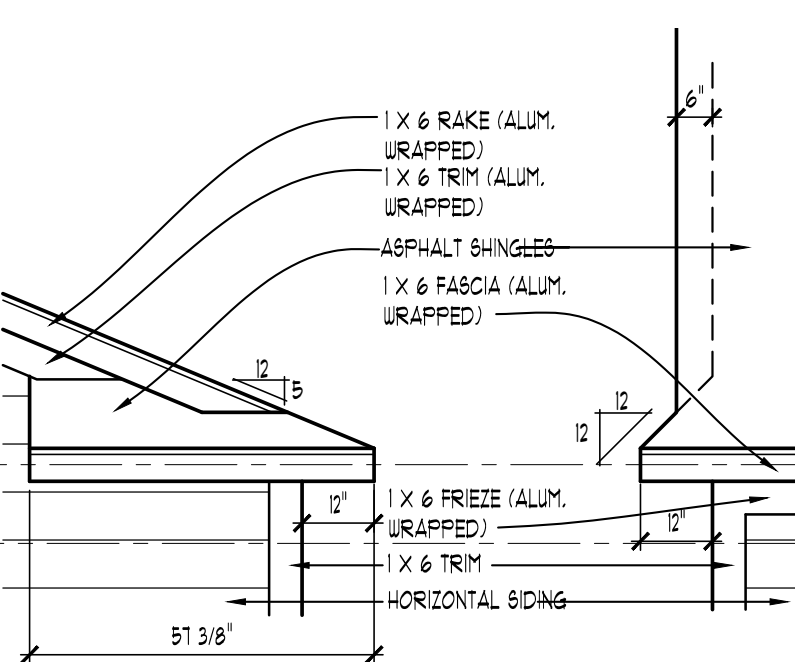
DORMER DETAIL

SCALE: 1/2" = 1'-0"



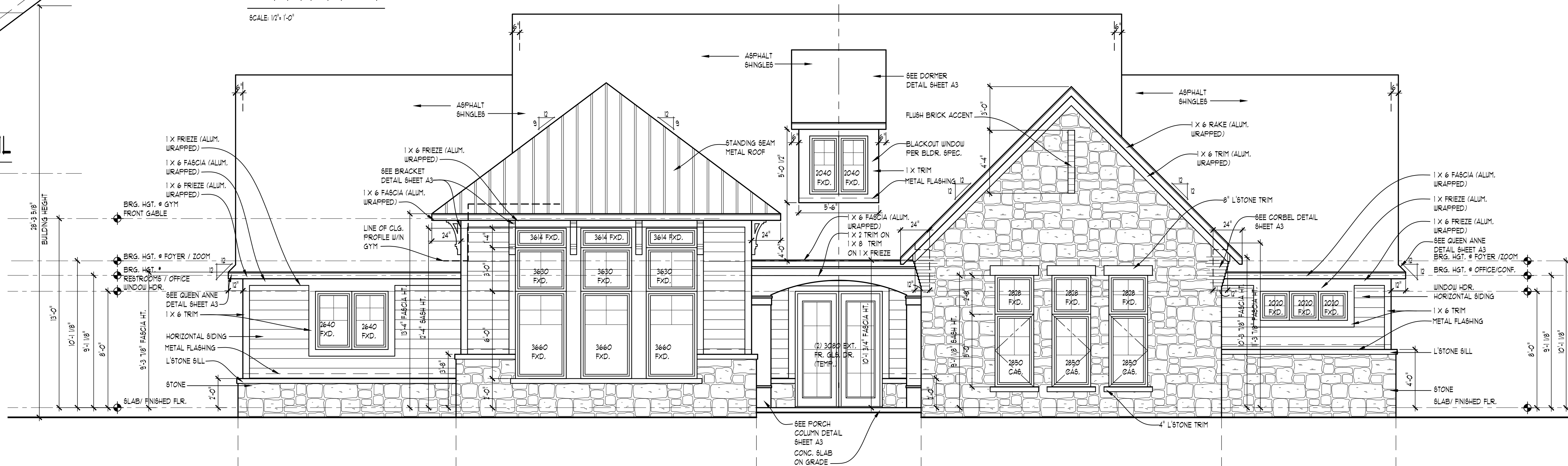
CORBEL DETAIL

SCALE: 1/2" = 1'-0"



QUEEN ANNE DETAIL

SCALE: 3/8" = 1'-0"

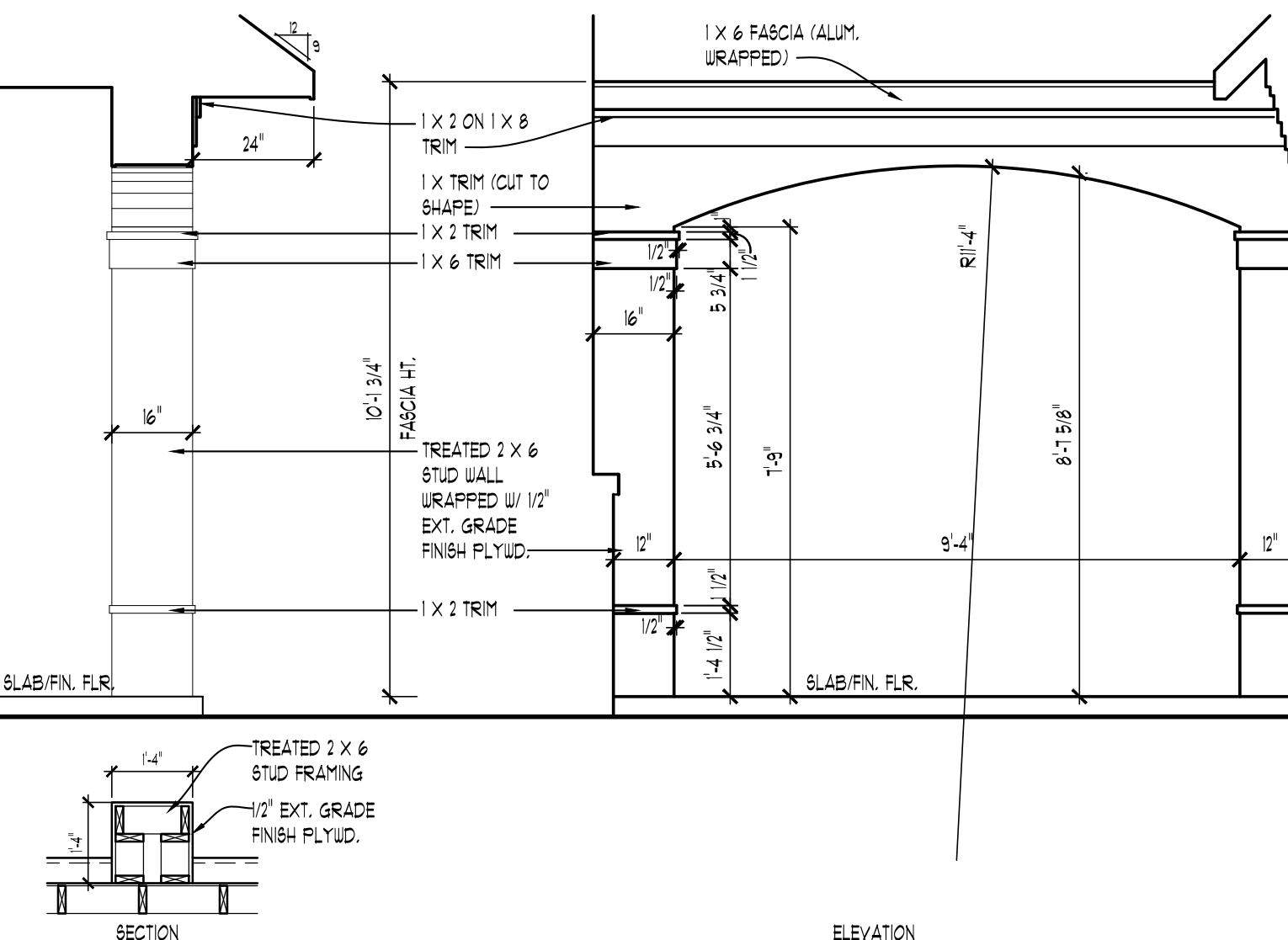


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

BRACKET DETAIL

SCALE: 1/2" = 1'-0"



PORCH COLUMN DETAIL

SCALE: 3/8" = 1'-0"

ELEVATION NOTES

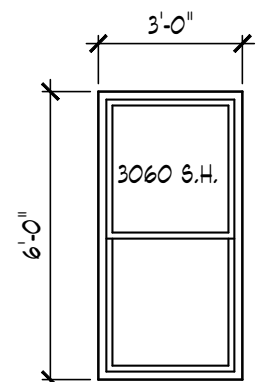
- ALL ROOF SADDLES TO BE PLYWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
- PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS
- METAL FLASHING AS REQUIRED BY CODE.
- ROOF & SOFFIT VENTS AS REQUIRED BY CODE.
- PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

NOTE:

OVERHANG DIMENSIONS (O.H.) ARE FROM SHEATHING U.N.O.

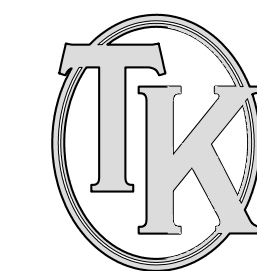
TYPICAL WINDOW DESIGNATION

NOTE:
GENERAL REFERENCE FOR
ROUGH OPENING SIZES
ONLY. CONSULT WITH
WINDOW MANUFACTURER
FOR EXACT WINDOW SIZES
& REQUIREMENTS.



NOTE:

ALL WINDOW SILLS OVER 6'-0" ABOVE EXTERIOR GRADE OR SURFACE BELOW TO BE MINIMUM 24" ABOVE FINISHED FLOOR OR HAVE SASH LIMITERS PER CODE REQUIREMENTS



DESIGN
CREATIVE COLLABORATIVE

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SOUTH LYON, MI 48178
PHONE: (248)-446-1960
FAX: (248)-446-1961

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REPORTED TO THE DESIGNER IN WRITING FROM IMMEDIATELY
CALL 482.927.33 DATE PRIOR TO ANY EXCAVATION
CONSTRUCTION. THE DESIGNER'S RESPONSIBILITY OF THE DESIGN.

CLIENT / PROJECT
ELEVATE LAND
HOLDINGS
WEST LAKE PLACE
CLUBHOUSE
TORCH LAKE CIRCLE
SOUTH LYON, MI

JOB No. 24-200-0001

DRAWN: AG
CHECKED: BF
FRAMED: BF

REVIEW 12-13-24
FINAL: 5-14-25

△ REVISED REFERENCE NOTES
5-20-25

SCALE:
PER PLAN

SHEET #
A3

ELEVATION NOTES

- ALL ROOF SADDLES TO BE PLYWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
- PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS
- METAL FLASHING AS REQUIRED BY CODE.
- ROOF & SOFFIT VENTS AS REQUIRED BY CODE.
- PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

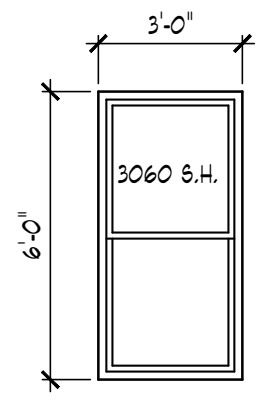
NOTE:

OVERHANG DIMENSIONS (O.H.) ARE FROM SHEATHING U.N.O.

TYPICAL WINDOW DESIGNATION

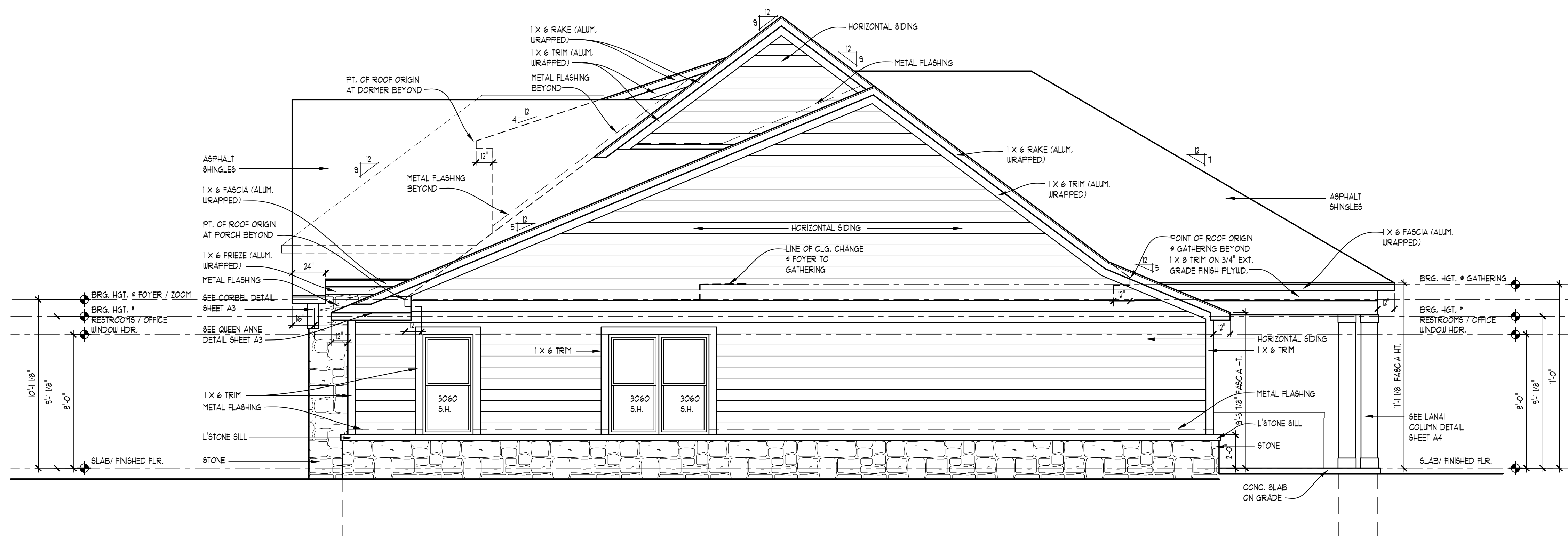
NOTE:
GENERAL REFERENCE FOR
ROUGH OPENING SIZES
ONLY. CONSULT WITH
WINDOW MANUFACTURER
FOR EXACT WINDOW SIZES
& REQUIREMENTS.

NOTE:
ALL CASEMENT VENTING TO
BE VERIFIED W/ BUILDER/
HOMEOWNER PRIOR TO
ORDERING WINDOWS



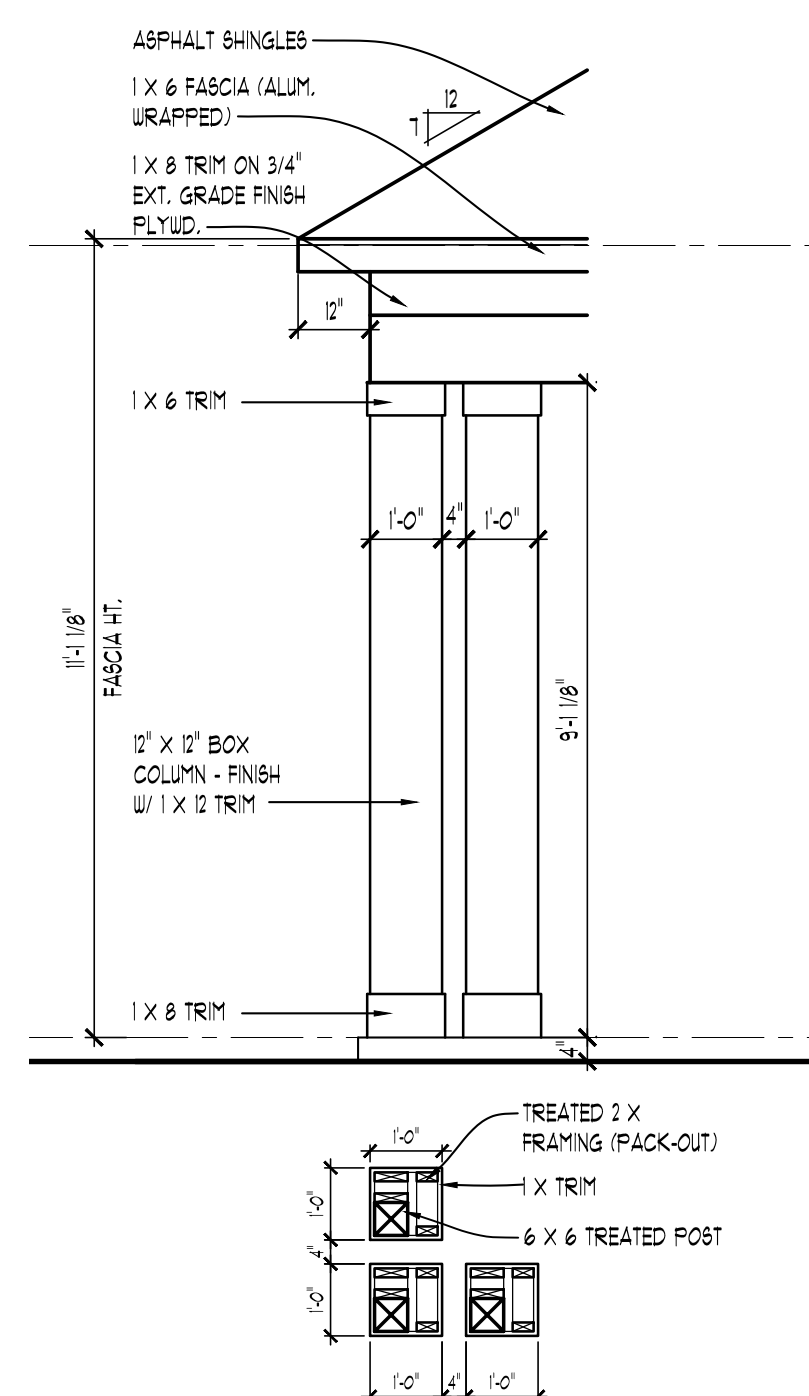
NOTE:

ALL WINDOW SILLS OVER 6'-0" ABOVE EXTERIOR GRADE OR SURFACE BELOW TO BE MINIMUM 24" ABOVE FINISHED FLOOR OR HAVE SASH LIMITERS PER CODE REQUIREMENTS



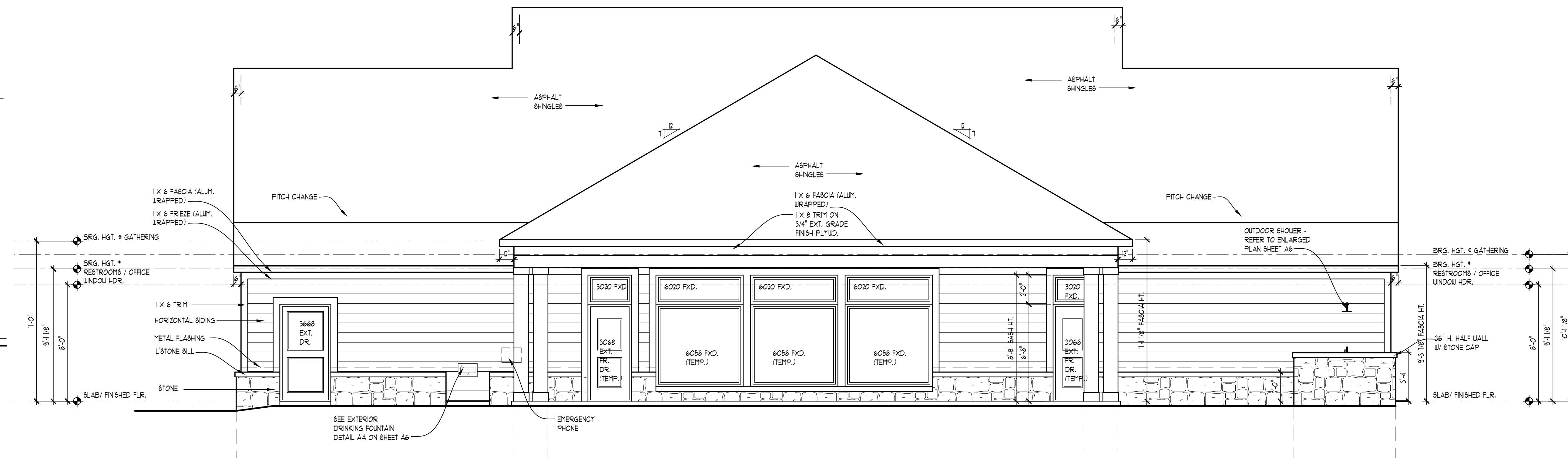
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LANAI COLUMN DETAIL

SCALE: 3/8" = 1'-0"

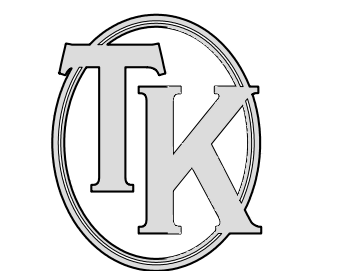


REAR ELEVATION

SCALE: 1/4" = 1'-0"



5-20-25



DESIGN
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CALL PROJECT AT 480-482-2271 3 DAYS PRIOR TO ANY EXCAVATION
CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE OWNER TO OBTAIN

CLIENT / PROJECT
ELEVATE LAND
HOLDINGS
WEST LAKE PLACE
CLUBHOUSE
TORCH LAKE CIRCLE
SOUTH LYON, MI

JOB No. 24-200-0001

DRAWN: AG
CHECKED: BF
FRAMED: BF

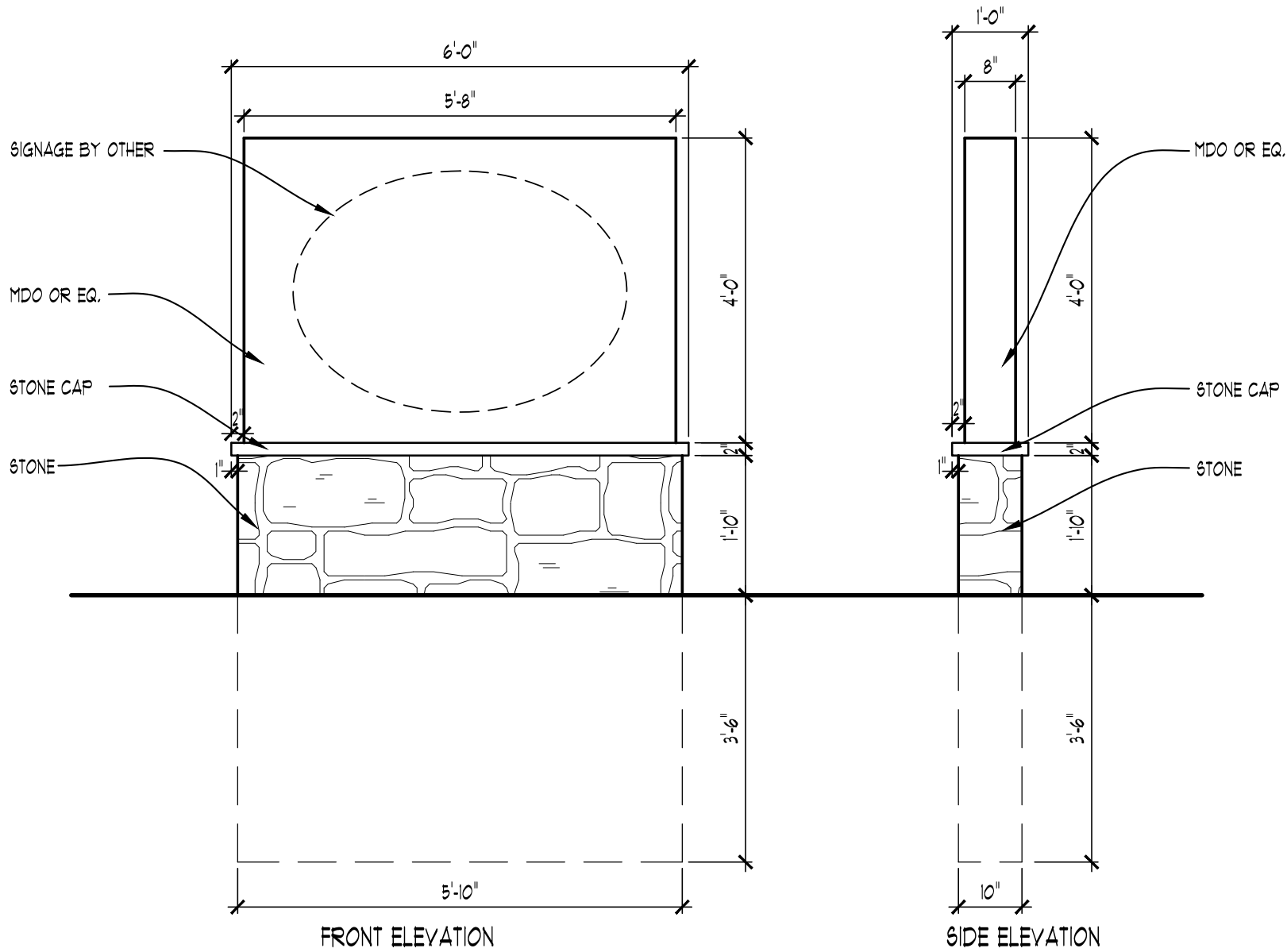
REVIEW 12-13-24
FINAL: 5-14-25


△ REVISED REFERENCE NOTES
5-20-25

SCALE:
PER PLAN

SHEET #

A4



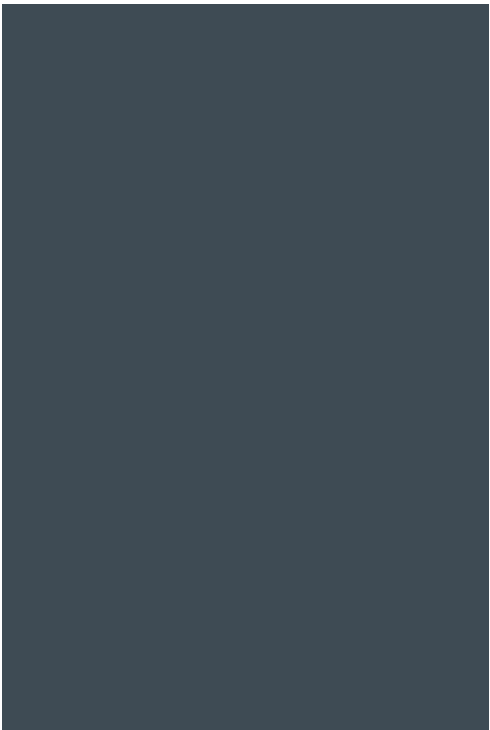
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WWW.TKHOMEDESIGN.COM 26030 PONTIAC TRAIL SOUTH LYON, MI 48178 PHONE: (248)-446-1960 FAX: (248)-446-1961	
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CLIENT / PROJECT	THE CROSSING AT LAKELANDS TRAIL HAMBURG, MI

SIGNAGE DETAIL

SCALE: 1/2" = 1'-0"



Shingles:
GAF Timberline HDZ High-Definition
Lifetime Shingles
Color: Slate



Door Color:
Sherwin-Williams
SW7615 Sea Serpent



Siding:
Certaineed Mainstreet D4/D6
Vinyl Siding
Color: Sterling Gray



Stone:
ProVia Manufactured Stone
Style/Color: Limestone Harbor
*Note: This is the same stone
on the entry/boulevard sign:*

EXTERIOR FINISHES*

*REFER TO ACTUAL SAMPLES – DIGITAL AND PRINTED IMAGES MAY NOT BE
ACCURATE REPRESENTATIONS OF ACTUAL COLOR/TEXTURE OF PRODUCT

THE PAXTON

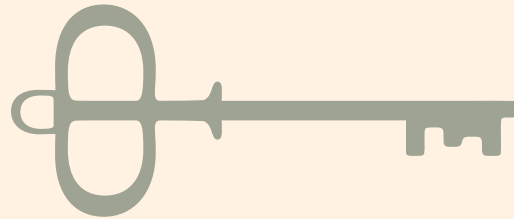
LOGO CONCEPTS - R1 REVISIONS

SEPTEMBER 2025



POSITIONING + APPROACH

The Paxton provides residents with a true escape into nature, offering a home environment that embraces relaxation and laidback living. Nestled near Hamburg, Michigan, the community is tucked away from the bustle of the city while remaining within easy reach of Ann Arbor's lifestyle and charming atmosphere. Designed to foster connection, The Paxton features lush resident spaces that encourage neighborly interaction, along with convenient access to scenic hiking trails and the serene beauty of Zukey Lake. These brand identity concepts position The Paxton as an idyllic retreat where peace, comfort, and relaxation take center stage.



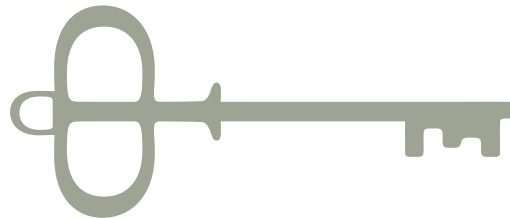
YOUR KEY TO HOME

BOUTIQUE | ELEGANT | EARTHY

This concept embodies a timeless aesthetic that draws inspiration from the natural environment. Utilizing a refined serif typeface creates a balanced yet distinguished presence. The color palette is rooted in nature, featuring deep moss green paired with muted tones of sage and tan to evoke a sense of organic sophistication. The additional brand assets add versatility and distinction. This concept conveys an elevated lifestyle that is both refined and richly connected to its surroundings.

CONCEPT 1A: LOGO

PRIMARY

PAXTON
THEADDITIONAL
MARKS

PAXTON

CONCEPT 1A



PAXTON

CONCEPT 1B



CONCEPT 1A & 1B: SAMPLE BUSINESS CARDS



CONCEPT 1A (ORIGINAL)



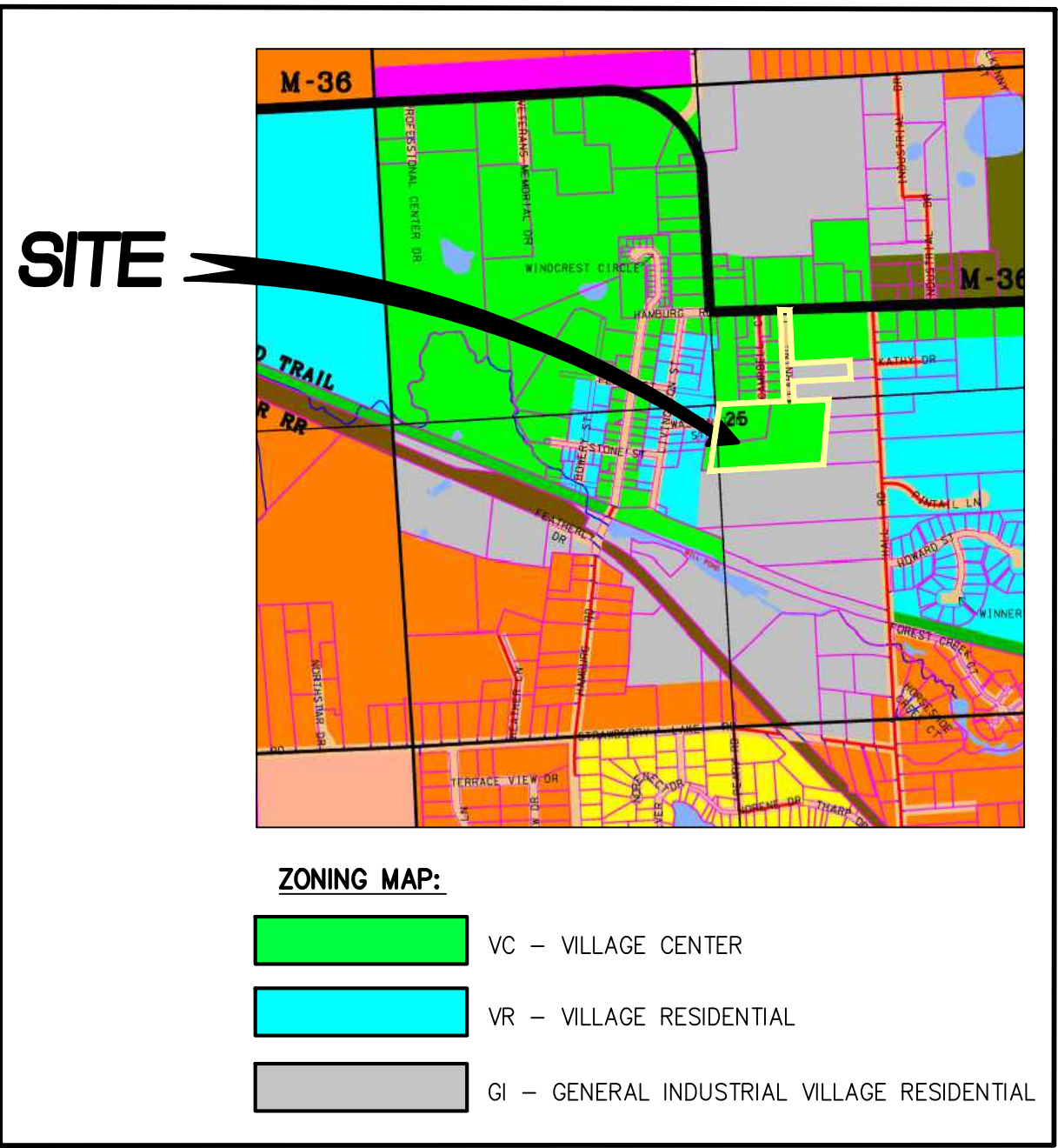
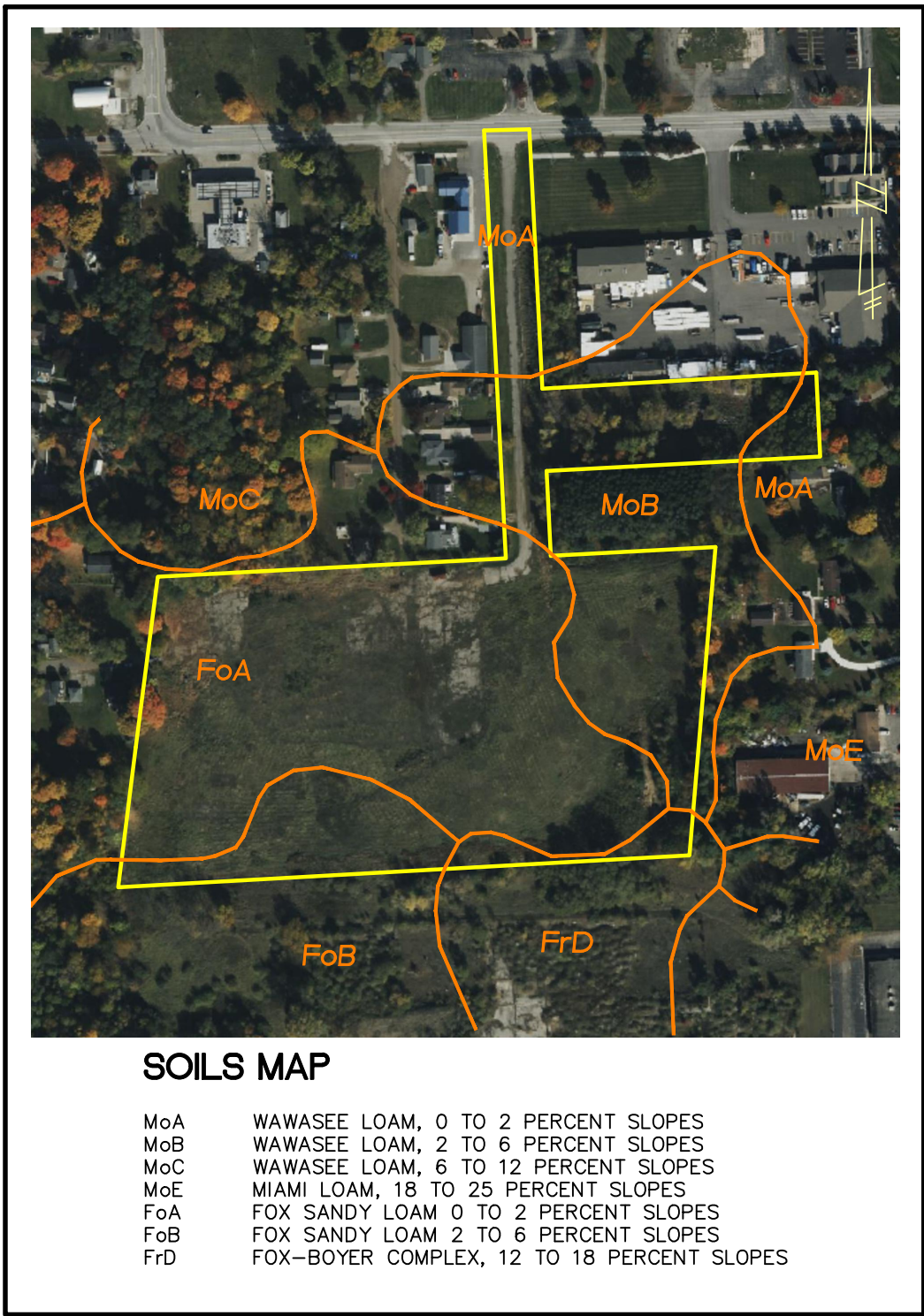
CONCEPT 1B

PRELIMINARY SITE PLANS FOR:

THE CROSSING AT LAKELANDS TRAIL

PART OF E. 1/2 OF SECTION 25, TOWN 1 NORTH, RANGE 5 EAST
HAMBURG TWP., LIVINGSTON COUNTY, MICHIGAN

PREPARED FOR:
ELEVATE LAND HOLDINGS - THE CROSSING
128 N. CENTER STREET
NORTHVILLE, MICHIGAN 48167
248.344.1885



SHEET INDEX

ENGINEERING PLANS:

1. COVER SHEET
2. PREVIOUSLY APPROVED OPEN SPACE PLAN
3. OVERALL PLAN AND OPEN SPACE PLAN
4. UTILITIES PLAN
5. GRADING PLAN
6. GRADING PLAN
7. GRADING PLAN
8. STORM WATER MANAGEMENT PLAN

LANDSCAPE PLANS:

1. LANDSCAPE PLAN
2. LANDSCAPE PLAN
3. LANDSCAPE PLAN
4. LANDSCAPE DETAILS

ARCHITECTURAL PLANS PREPARED BY:
TK DESIGN & ASSOCIATES
26030 PONTIAC TRAIL
SOUTH LYON, MICHIGAN,
48178
PHONE: 248.446.1960

LANDSCAPE PLANS PROVIDED BY:
ALLEN DESIGN
557 CARPENTER
NORTHVILLE, MICHIGAN
48167
PHONE: 248.467.4668

TOPOGRAPHIC SURVEY PREPARED BY:
M. E. G. A.
298 VETERANS DRIVE
FOWLerville, MICHIGAN,
48836
PHONE: 517.223.3512

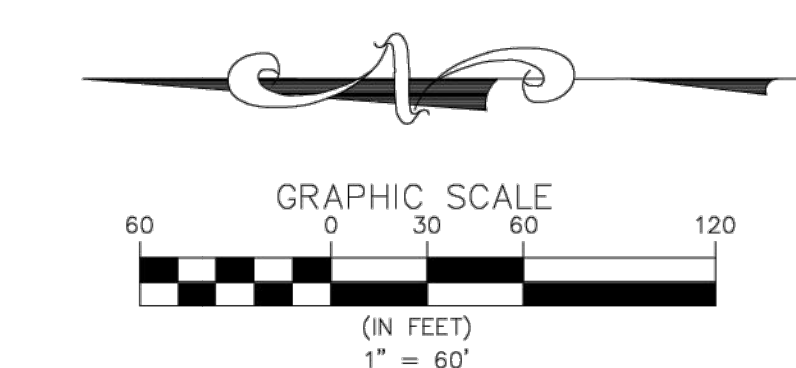


SEIBER KEAST LEHNER
ENGINEERING | SURVEYING

CLINTON TOWNSHIP OFFICE
17001 NINETEEN MILE ROAD, SUITE 3
CLINTON TOWNSHIP, MI 48038
586.412.7050

FARMINGTON HILLS OFFICE
39205 COUNTRY CLUB DRIVE, SUITE C8
FARMINGTON HILLS, MI 48331
248.308.3331

R E V I S I O N S			ENGINEER'S SEAL
NO.	ITEM	DATE	
1.	PRE-APP SUBMITTAL	4-22-24	
2.	SUBMIT TO HAMBURG TWP.	8-16-24	
3.	SUBMIT TO HAMBURG TWP.	9-25-24	
4.	SUBMIT TO HAMBURG TWP.	10-08-25	
DATE: 1-5-2024			DESIGNED BY: A.A.
			CHECKED BY: C.S.
			JOB NUMBER: 23-239
			DRAWING FILE: 1-23239-CV.dwg



BUILDING TYPE	1B/R	2B/R	3B/R	TOTAL UNITS PER BLDG TYPE	TOTAL B/R PER BLDG TYPE	NO OF BLDGS	TOTAL B/R ALL BLDGS TYPE
77' WD.	4	4	0	8	12	4	48
154' WD.	10	4	2	16	24	6	144
167' WD.	6	8	2	16	28	5	140
1B/R UNITS	106	51%				15	332
2B/R UNITS	80	38%					
3B/R UNITS	22	11%	206	100%			

SITE DATA
EXISTING ZONING: GENERAL PLANNED UNIT DEVELOPMENT (GPUD)
SITE AREA = 15.478 ACRES
MAX. DWELLING UNITS PER ACRE (VC): 10 DU/CCRE
NO. OF BUILDING ON SITE: 16
NO. OF UNITS PROPOSED: 208
DWELLING UNITS PER ACRE: 13.44 DU/CCRE (AMEND TO PUD AGREEMENT)

	REQUIRED	PREVIOUSLY APPROVED	PROPOSED
BUILDING SETBACKS:			
FRONT (FROM PAVEMENT):	20'	15'	N/A
SIDE:	10'	15'	20' MIN.
REAR: TO PROPERTY LINE	25'	30'	20' MIN.
BUILDING TO BUILDING:	35'	N/A	N/A
BUILDING FRONT TO SIDE:	N/A	25'	N/A
BUILDING SIDE TO SIDE:	N/A	15'	N/A
MAXIMUM BUILDING HEIGHT:	35'	35'	35'
MAXIMUM BUILDING STORIES:	2.5 STORIES	2 STORIES	2 STORIES
MINIMUM FLOOR AREA:			
1 BEDROOM	550 S.F.	875 S.F.	815 S.F.
2 BEDROOMS	650 S.F.	1,100 S.F.	1,106 S.F.
3 BEDROOMS		N/A	1,435 S.F.
BUILDING COVERAGE:	50% MAX.	16%	16.8%
IMPERVIOUS AREA CALCULATION:	N/A	32%	37.85%
OPEN SPACE REQUIRED: 1,500 S.F./UNIT=1,500 x 208 312,000 S.F. (7.16 AC.)	44%	37%	42.56%
OPEN SPACE PROVIDED:		6.03 AC.	6.41 AC.
PARKING REQUIRED: (1.5 SPACE/UNIT) 1.5 x 208 = 312 SPACES			
PARKING PROVIDED: 403 SPACES (INCLUDING 10 B.F. SPACES) (1,966 SPACES/UNIT)			

	PREVIOUSLY APPROVED PLANS	CURRENT PLANS
SITE AREA	16.1 AC.	15.478 AC.
NO. OF BUILDING ON SITE:	23	16
NO. OF UNITS PROPOSED:	208	208
DWELLING UNITS PER ACRE:	12.91 DU/CCRE	13.44 DU/CCRE
BUILDING COVERAGE:	16%	15.8%
PAVED SURFACE PARKING AND ROADS CIRCULATION	32%	35.4%
OPEN SPACE:	37%	41.41%
PARKING PROVIDED:	406 SPACES (1,952 SPACES/UNIT)	403 SPACES (1,937 SPACES/UNIT)

SEE LANDSCAPE PLANS FOR SCREENING WALL DETAILS

PROPOSED LEGEND	
	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	DITCH/SWALE
	TREE PROTECTION FENCE
	SILT FENCE
	FLOODPLAIN
	WETLANDS
	CONTOUR
	CURB AND GUTTER
	SANITARY MANHOLE
	SANITARY CLEANOUT
	STORM MANHOLE
	YARD CATCH BASIN
	ROAD CATCH BASIN W/SILT SAC
	END SECTION
	FIRE HYDRANT
	GATE VALVE AND WELL
	PAVEMENT (ASPHALT)
	PAVEMENT (CONCRETE SIDEWALK)
	DIRECTION SURFACE WATER FLOW
	OVERFLOW ROUTE
	GRADE

SEIBER KEAST LEHNER
ENGINEERING | SURVEYING

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NO.	REVISIONS	DESCRIPTION	DATE
1	REV. LAYOUT PER HAMBURG TWP.	REVIEW	4-22-24
2	REV. ISLAND ADD VINYL FENCE		6-26-24
3	SUBMIT TO HAMBURG TWP.		8-16-24
4	SUBMIT TO HAMBURG TWP.		9-25-24

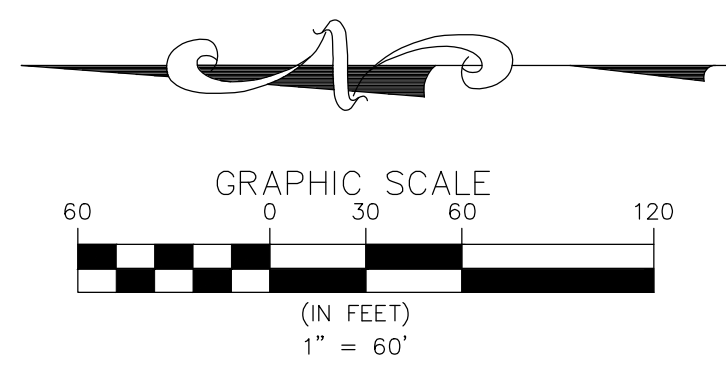
3 WORKING DAYS BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
TOLL FREE FOR THE LOCATION OF UNDERGROUND UTILITIES

CLIENT INFO:
ELEVATE LAND HOLDINGS-
THE CROSSING
128 N. CENTER STREET
NORTHVILLE, MI 48167
248.344.1885

PROJECT NAME:
THE CROSSING AT
LAKELANDS TRAIL
PART OF E. 1/2 OF SEC. 25, T.1N., R.5E.,
HAMBURG TWP., LIVINGSTON COUNTY, MI

SHEET TITLE:
PREVIOUSLY APPROVED
SITE PLAN - OPEN SPACE

PAGE No.:
2



BUILDING TYPE	1B/R	2B/R	3B/R	TOTAL UNITS PER BLDG TYPE	TOTAL B/R PER BLDG TYPE	NO OF BLDGS	TOTAL B/R ALL BLDG TYPE
77' WD.	4	4	0	8	12	4	48
154' WD.	10	4	2	16	24	6	144
167' WD.	6	8	2	16	28	4	100
1B/R UNITS	100	51%				14	282
2B/R UNITS	72	38%					
3B/R UNITS	20	11%	100%				

SITE DATA		REQUIRED	PREVIOUSLY APPROVED	PROPOSED
EXISTING ZONING: GENERAL PLANNED UNIT DEVELOPMENT (GPUD)				
SITE AREA = 15.478 ACRES				
MAX. DWELLING UNITS PER ACRE (VC): 10 DU/CCRE				
NO. OF BUILDING ON SITE:			16	15
NO. OF UNITS PROPOSED:			208	192
DWELLING UNITS PER ACRE:			13.44 DU/ACRE	12.41 DU/ACRE
(AMEND TO PUD AGREEMENT)				
BUILDING SETBACKS:				
FRONT (FROM PAVEMENT):		20'	N/A	N/A
SIDE:		10'	20' MIN.	20' MIN.
REAR: TO PROPERTY LINE		25'	20' MIN.	20' MIN.
BUILDING TO BUILDING:		35'	N/A	N/A
BUILDING FRONT TO SIDE:		N/A	N/A	N/A
BUILDING SIDE TO SIDE:		N/A	N/A	N/A
MAXIMUM BUILDING HEIGHT:		35'	35'	35'
MAXIMUM BUILDING STORIES:		2.5 STORIES	2 STORIES	2 STORIES
MINIMUM FLOOR AREA:				
1 BEDROOM		550 S.F.	741 S.F.	741 S.F.
2 BEDROOMS		650 S.F.	1,058 S.F.	1,058 S.F.
3 BEDROOMS			1,399 S.F.	1,399 S.F.
BUILDING COVERAGE:		50% MAX.	16.80%	17.06%
IMPERVIOUS AREA CALCULATION:		N/A	41.79%	40.69%
OPEN SPACE REQUIRED: 1,500 S.F./ UNIT			46.26%	42.71%
OPEN SPACE PROVIDED:			41.41%	42.25%
			6.41 AC.	6.54 AC.
PARKING REQUIRED: (1.5 SPACE/UNIT)			312 SPACES	288 SPACES
PARKING PROPOSED: OPEN PARKING -			393 SPACES	347 SPACES
BARRIER FREE PARKING -			10 SPACES	10 SPACES
COVERED PARKING -			N/A	28 SPACES
TOTAL PARKING PROPOSED:			403 SPACES (1.94 SPACES/UNIT)	387 SPACES (2.02 SPACES/UNIT)
			PREVIOUSLY APPROVED PLANS	CURRENT PLANS
SITE AREA			15.478 AC.	15.478 AC.
NO. OF BUILDING ON SITE:			16	15
NO. OF UNITS PROPOSED:			208	192
DWELLING UNITS PER ACRE:			13.44 DU/ACRE	12.41 DU/ACRE
BUILDING COVERAGE:			16.80%	17.06%
PAVED SURFACE PARKING AND ROADS CIRCULATION			41.79%	40.69%
OPEN SPACE:			41.41%	42.25%
PARKING PROVIDED:			403 SPACES (1.94 SPACES/UNIT)	387 SPACES (2.02 SPACES/UNIT)

PROPOSED LEGEND	
	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	DITCH/SWALE
	TREE PROTECTION FENCE
	SILT FENCE
	FLOODPLAIN
	WETLANDS
	CONTOUR
	CURB AND GUTTER
	SANITARY MANHOLE
	SANITARY CLEANOUT
	STORM MANHOLE
	YARD CATCH BASIN
	ROAD CATCH BASIN W/SILT SAC
	END SECTION
	FIRE HYDRANT
	GATE VALVE AND WELL
	PAVEMENT (ASPHALT)
	PAVEMENT (CONCRETE SIDEWALK)
	DIRECTION SURFACE WATER FLOW
	OVERFLOW ROUTE
	GRADE

SEE LANDSCAPE PLANS FOR SCREENING WALL DETAILS.

SEIBER KEAST LEHNER
ENGINEERING | SURVEYING

SKL

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NO. 1

DATE

DESCRIPTION

REVISIONS

1. REV. LAYOUT PER HAMBURG TWP. REVIEW

4-22-24

2. REV. ISLAND, ADD VINYL FENCE

6-26-24

3. SUBMIT TO HAMBURG TWP.

8-16-24

4. SUBMIT TO HAMBURG TWP.

9-25-24

5. SUBMIT TO HAMBURG TWP.

10-08-25

3 WORKING DAYS BEFORE YOU DIG

CALL MISS DIG

1-800-482-7171

TOLL FREE FOR THE LOCATION OF UNDERGROUND FACILITIES

PROJECT NUMBER: 23-239

PROJECT MANAGER: B. EMERINE

DRAWN BY: A. AWAD

CHECKED BY: J. S. S.

DATE: 1/10/24

OFFICE: FARMINGTON HILLS

CLIENT INFO:

ELEVATE LAND HOLDINGS-
THE CROSSING AT
LAKELANDS TRAIL
128 N. CENTER STREET
NORTHVILLE, MI 48167
248.344.1885

PROJECT NAME:

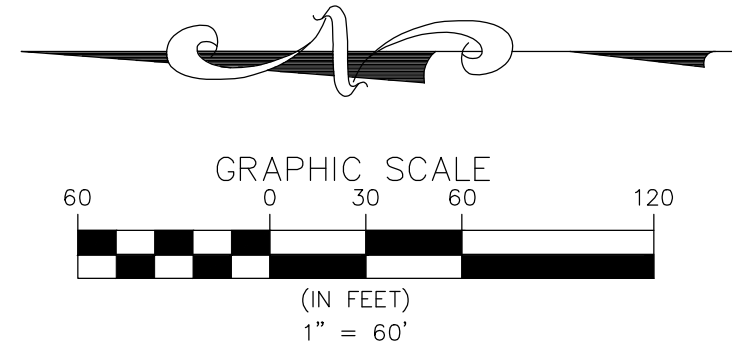
THE CROSSING AT
LAKELANDS TRAIL
PART OF E. 1/2 OF SEC. 25, T.1N., R.5E.,
HAMBURG TWP., LIVINGSTON COUNTY, MI

SHEET TITLE:

OVERALL PLAN AND
OPRN SPACE PLAN

PAGE No.:

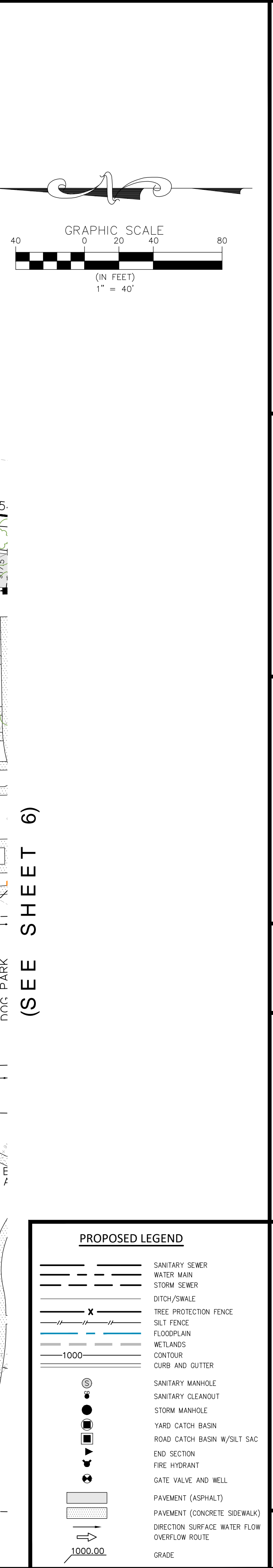
3



3 WORKING DAYS!
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
TOLL FREE FOR THE LOCATION
OF UNDERGROUND FACILITIES

CLIENT INFO:
ELEVATE LAND HOLDINGS—
THE CROSSING
128 N. CENTER STREET
NORTHVILLE, MI 48167
248.344.1885

4



PROJECT NAME:		CLIENT INFO:	
THE CROSSING AT LAKELANDS TRAIL		ELEVATE LAND HOLDINGS- THE CROSSING 128 N. CENTER STREET NORTHVILLE, MI 48167	
PART OF E. 1/2 OF SEC. 25, T.1N., R.5E., HAMBURG TWP., LIVINGSTON COUNTY, MI		248.344.1885	
PAGE No.: 5			
SHEET TITLE: GRADING PLAN			
PROJECT NUMBER: B. EMERINE		PROJECT MANAGER: B. EMERINE	
DRAWN BY: A. AWAD		CHECKED BY: G.S.	
DATE: 1/10/24		DATE: 1/10/24	
OFFICE: FARMINGTON HILLS			

3 WORKING DAYS!
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
TOLL FREE FOR THE LOCATION
OF UNDERGROUND UTILITIES

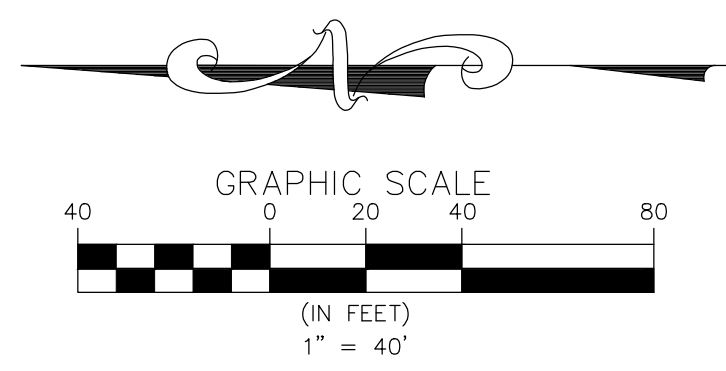
REVISIONS	
NO.	DESCRIPTION
1.	REV. LAYOUT PER HAMBURG TWP. REVIEW
2.	REV. ISLAND, ADD VINYL FENCE
3.	SUBMIT TO HAMBURG TWP.
4.	SUBMIT TO HAMBURG TWP.
5.	SUBMIT TO HAMBURG TWP.

NO.	DATE
4-22-24	
6-26-24	
8-16-24	
9-25-24	
10-08-25	

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(SEE SHEET 6)



PROPOSED LEGEND	
	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	DITCH/SWALE
	TREE PROTECTION FENCE
	SILT FENCE
	FLOODPLAIN
	WETLANDS
	CONTOUR
	CURB AND GUTTER
	SANITARY MANHOLE
	SANITARY CLEANOUT
	STORM MANHOLE
	YARD CATCH BASIN
	ROAD CATCH BASIN W/SILT SAC
	END SECTION
	FIRE HYDRANT
	GATE VALVE AND WELL
	PAVEMENT (ASPHALT)
	PAVEMENT (CONCRETE SIDEWALK)
	DIRECTION SURFACE WATER FLOW
	OVERFLOW ROUTE
	GRADE

PROJECT NAME:
**THE CROSSING AT
LAKELANDS TRAIL**
PART OF E. 1/2 OF SEC. 25, T.1N., R.5E.,
HAMBURG TWP., LIVINGSTON COUNTY, MI

PAGE No.:
7

CLIENT INFO:
**ELEVATE LAND HOLDINGS-
THE CROSSING
128 N. CENTER STREET
NORTHVILLE, MI 48167
248.344.1885**

PROJECT NUMBER:
23-239
PROJECT MANAGER:
B. EMERINE
DRAWN BY:
A. AWAD
CHECKED BY:
D.S.
DATE:
1/10/24
OFFICE:
FARMINGTON HILLS

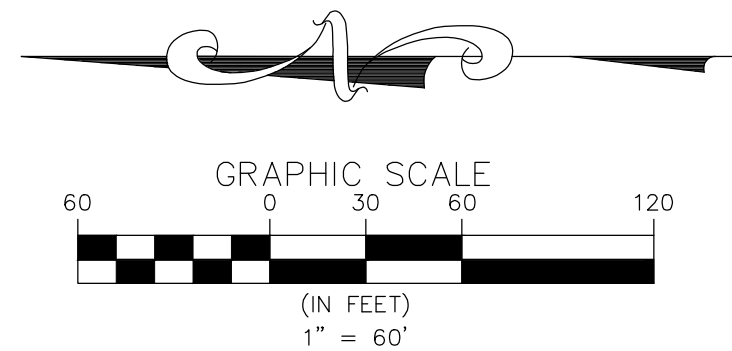
GRADING PLAN

3 WORKING DAYS
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1-800-482-7171
TOLL FREE FOR THE LOCATION
OF UNDERGROUND UTILITIES

NO.	REVISIONS	DATE
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3.	SUBMIT TO HAMBURG TWP.	8-16-23
4.	SUBMIT TO HAMBURG TWP.	9-25-23
5.	SUBMIT TO HAMBURG TWP.	10-06-23

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**WATER QUALITY VOLUME REQUIRED**

A = 15.11 Ac
C = 0.64
Vw-q = 3,630 x C x A = 35,104 ft³ required < Vv-a ok

CHANNEL PROTECTION VOLUME CONTROL - CPVC

A = 15.11 Ac (Area Tributary to Detention Basin)
A_{crit} = 0.00 Ac (Offsite Acreage Trib. to Det. Basin)
C = 0.64
Vcpvc = 4,719 x C x A = 45,635 ft³ required

CHANNEL PROTECTION RATE CONTROL - CPVC EXTENDED DETENTION

A = 15.11 Ac (Area Tributary to Detention Basin)
A_{crit} = 0.00 Ac (Offsite Acreage Trib. to Det. Basin)
C = 0.64
Ved-r = 6,897 x C x A = 66,697 ft³ required
to be discharged over 48 hours

EXTENDED DETENTION VOLUME DISCHARGE RATE

Q_{ed-r} = VED(48 hr)(60 min)(60 sec)
Q_{ed-r} = 94,682/172,800 0.39 cfs

DETERMINE DETENTION REQUIREMENTS (100-YEAR STORM)

A_c = 15.11 Ac (Onsite Area Tributary to Basin)
A_{crit} = 0.00 Ac (Offsite Area Tributary to Basin)
Q_{all} = 2.27 cfs/ac
C = 0.64
Restricted release rate 0.15 cfs/ac

CALCULATE VARIABLE RELEASE RATE

Q_{vrr} = 1.1055-0.206 ln(A) Q_{vrr} = Allowable release rate in cfs/acre
A = Contribution area in acres

Q_{vrr} = 0.55 cfs/acre

Q_{100p} = Q_{vrr} x A

Q_{100p} = 2.27 cfs

Q_{100p} = Allowable 100-year post-development peak flow rate in cfs
The lesser of Q_{vrr} or County drain restricted flow rate:
1- The restricted rate for the existing 12" outlet GOVERNS
2- The prorated share of the drain's capacity (cfs/ac.)
3- The variable release rate (Q_{vrr}) (cfs/ac.)

CALCULATE 100-YEAR DETENTION VOLUME (V_{100D})

A_c = 15.11 Ac (Onsite Area Tributary to Basin)
A_{crit} = 0.00 Ac (Offsite Area Tributary to Basin)
V_{100D} = 18985 x C x A
V_{100D} = 183593 cf

CALCULATE 100-YEAR PEAK INFLOW RATE (Q_{100IN})

A_c = 15.11 Ac (Onsite Area Tributary to Basin)
A_{crit} = 0.00 Ac (Offsite Area Tributary to Basin)
Q_{100IN} = C x I₁₀₀ x A
I₁₀₀ = 83.3/(Tc+9.17)^{0.81}
I₁₀₀ = 5.385 in/hr
Q_{100IN} = 52.07 cfs
Tc = 20.24 min
from storm sewer calcs

CALCULATE STORAGE CURVE FACTOR FOR THE 100-YEAR DETENTION VOLUME (R)

R = [0.206-0.151N (Q_{100P}/Q_{100IN})]
R = 0.676 R = STORAGE CURVE FACTOR

CALCULATE 100-YEAR REQUIRED DETENTION BASIN VOLUME

V_{100D} = (V_{100R} x R) - VCP-P
V_{100D} = Required 100-year detention volume in cf
V_{100R} = 100-Year runoff volume in cf
R = Storage curve factor
Vcp-p = Provided CVPC Volume in cf
V_{100D} = VED

V_{100D} = 124,095 C.F.

The site plan must be designed to accommodate the following volumes:

Vcpvc = 45,635 cubic feet
Ved = 66,697 cubic feet
V_{100D} = 124,095 cubic feet

DETERMINE STORAGE IN SEDIMENT BASIN

	Elevation	Area	Volume (c.f.)
LW	904.4	9332	0
	905	10369	5910
	906	12172	17181
	907	14117	30325
	908	16221	45404
HW	908.5	17294	53873
	909	18393	62795

HW EL = 908.0 Volume at HW = 53873

DETERMINE STORAGE IN DETENTION BASIN

	Elevation	Area	Basin Volume (c.f.)	BS+FB VOL. (c.f.)
LW	904	13291	0	0
	905	15833	14562	20472
	906	18489	31723	48904
	907	21261	51598	81623
	908	24142	74500	119794
HW	908.5	25994	86834	140707
	909	27514	100211	163005

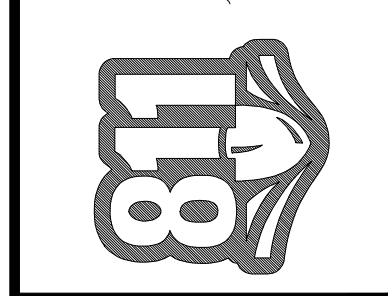
HW EL = 907.0 Volume at HW = 140707

C-Factor Determination

Tributary Area =	15.11 Acres
Impervious Areas	
Bldgs, Roads and S/W =	8.75 Ac. at C = 0.90
Pervious Areas	
Lawn Areas =	5.68 Ac. at C = 0.20
Low Water	0.68 Ac. at C = 1.00
C Avg. =	0.64

REVISIONS		
NO.	DESCRIPTION	DATE
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5.	SUBMIT TO HAMBURG TWP.	10-08-25

3 WORKING DAYS
BEFORE YOU DIG
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1-800-482-7171
TOLL FREE FOR THE LOCATION
OF UNDERGROUND UTILITIES



PROJECT NUMBER: 23-239	PROJECT MANAGER: B. EMERINE
DRAWN BY: A. AWAD	CHECKED BY: J.S.
DATE: 1/10/24	OFFICE: FARMINGTON HILLS

CLIENT INFO:
ELEVATE LAND HOLDINGS-
THE CROSSING
128 N. CENTER STREET
NORTHVILLE, MI 48167
248.344.1885

PROJECT NAME:
THE CROSSING AT
LAKELANDS TRAIL
PART OF E. 1/2 OF SEC. 25, T.1N., R.5E.,
HAMBURG TWP., LIVINGSTON COUNTY, MI

SHEET TITLE:
STORM WATER
MANAGEMENT PLAN

PAGE No.:

STATE OF MICHIGAN
JAMES C. ALLEN
Landscape
Architect
No. 1066
REGISTERED LANDSCAPE ARCHITECT

Landscape Plan

Lakeland Trails

Hamburg Township, Michigan

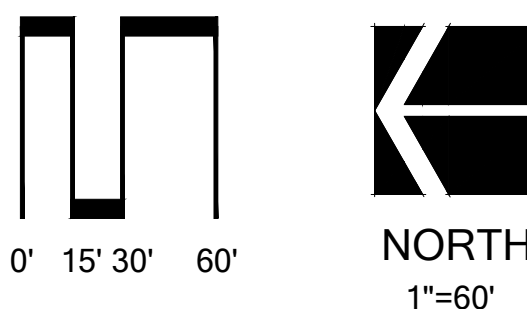
Elevate Property Partners, LLC
128 North Center
Northville, Michigan 48167

Review	April 11, 2024
Revised	April 22, 2024
Revised	August 16, 2024
Revised	September 25, 2024
Revised	February 19, 2025
Revised	October 8, 2025

24-019

jca

jca



L-1

Landscape Plan

Lakeland Trails

Hamburg Township, Michigan

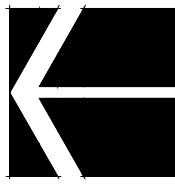
Elevate Property Partners, LLC
128 North Center
Northville, Michigan 48167

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Revised	April 22, 2024
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Revised	September 25, 2024
Revised	February 19, 2025
Revised	October 8, 2025

24-019

jca

jca



0' 15' 30' 60'

NORTH
1"=60'



Know what's below.
Call before you dig.

L-2



Existing Zoning	GPUD
Land Use Buffers	
Buffer Length - West and North	1,033 l.f. (Type B)
Deciduous Trees Required	34.4 Trees (1,033 / 30)
Deciduous Trees Provided	35 Trees
Evergreen Trees Required	34.4 Trees (1,033 / 30)
Evergreen Trees Provided	35 Trees
Shrubs Required	137.7 Shrubs (1,033 / 30) x 4
Shrubs Provided	138 Shrubs
Buffer Length - South	262 l.f. (Type C)
Trees Required	13.1 Trees (262 / 20)
Trees Provided	14 Trees
Shrubs Required	52.4 Shrubs (262 / 20) x 4
Shrubs Provided	53 Shrubs
Parking Lot Landscaping	
Parking Lot Area	
Trees Required	23.4 Trees (46,798 / 2,000)
Trees Provided	24 Trees

Plant List - This Sheet

sym.	qty.	botanical name	common name	caliper	spacing	root	height
Land Use Buffers							
ARB	11	Acer x. freemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5"	as shown	B&B	
ARB	5	Acer rubrum 'Redpoint'	Redpoint Maple	2.5"	as shown	B&B	
ASB	8	Acer saccharum 'Legacy'	Sugar Maple	2.5"	as shown	B&B	
EAB	57	Euonymus alata 'Compacta'	Burning Bush		as shown	cont	24"
LTB	4	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B	
PAB	23	Picea abies	Norway Spruce		as shown	B&B	6'
PEB	5	Platanus x acerifolia 'Exclamation'	Exclamation London Planetree	2.5"	as shown	B&B	
POB	64	Physocarpus opulifolius 'Diablo'	Diablo Ninebark		as shown	cont	24"
PSB	20	Pinus strobus	White Pine		as shown	B&B	6'
SPB	70	Spirea j. 'Little Princess'	Little Princess Spirea		as shown	cont	24"
TAB	3	Tilia americana 'Redmond'	Redmond Linden	2.5"	as shown	B&B	
UPB	5	Ulmus americana 'Princeton'	Princeton Elm	2.5"	as shown	B&B	
	84	Trees Provided					
	191	Shrubs Provided					
sym.	qty.	botanical name	common name	caliper	spacing	root	height
Parking Lot Trees							
AFP	7	Acer x. freemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5"	as shown	B&B	
ARP	7	Acer rubrum 'Redpoint'	Redpoint Maple	2.5"	as shown	B&B	
ASP	5	Acer saccharum 'Legacy'	Sugar Maple	2.5"	as shown	B&B	
LTP	2	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B	
TAP	3	Tilia americana 'Redmond'	Redmond Linden	2.5"	as shown	B&B	
	24	Trees Provided					
sym.	qty.	botanical name	common name	caliper	spacing	root	height
General Plantings							
AR	1	Acer rubrum 'Redpoint'	Redpoint Maple	2.5"	as shown	B&B	
AS	2	Acer saccharum 'Legacy'	Sugar Maple	2.5"	as shown	B&B	
LT	3	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B	
MP	3	Malus 'Profusion'	Profusion Crab Apple	2.0"	as shown	B&B	
PA	5	Picea abies	Norway Spruce		as shown	B&B	6'
PE	4	Platanus x acerifolia 'Exclamation'	Exclamation London Planetree	2.5"	as shown	B&B	
PS	5	Pinus strobus	White Pine		as shown	B&B	6'
QR	2	Quercus rubra	Red Oak	2.5"	as shown	B&B	
TA	3	Tilia americana 'Redmond'	Redmond Linden	2.5"	as shown	B&B	
UP	4	Ulmus americana 'Princeton'	Princeton Elm	2.5"	as shown	B&B	

STATE OF MICHIGAN
JAMES C. ALLEN
Landscape
Architect
No. 146
REGISTERED LANDSCAPE ARCHITECT

Landscape Plan

Lakeland Trails

Hamburg Township, Michigan

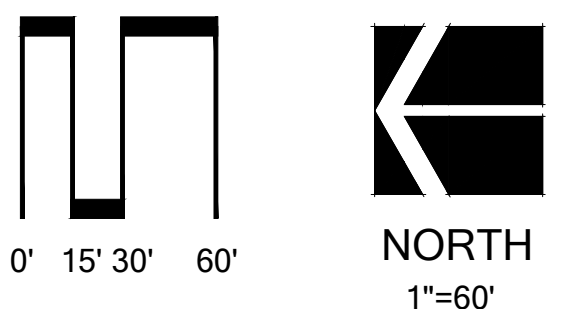
Elevate Property Partners, LLC
128 North Center
Northville, Michigan 48167

Review	April 11, 2024
Revised	April 22, 2024
Revised	August 16, 2024
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Revised	October 8, 2025

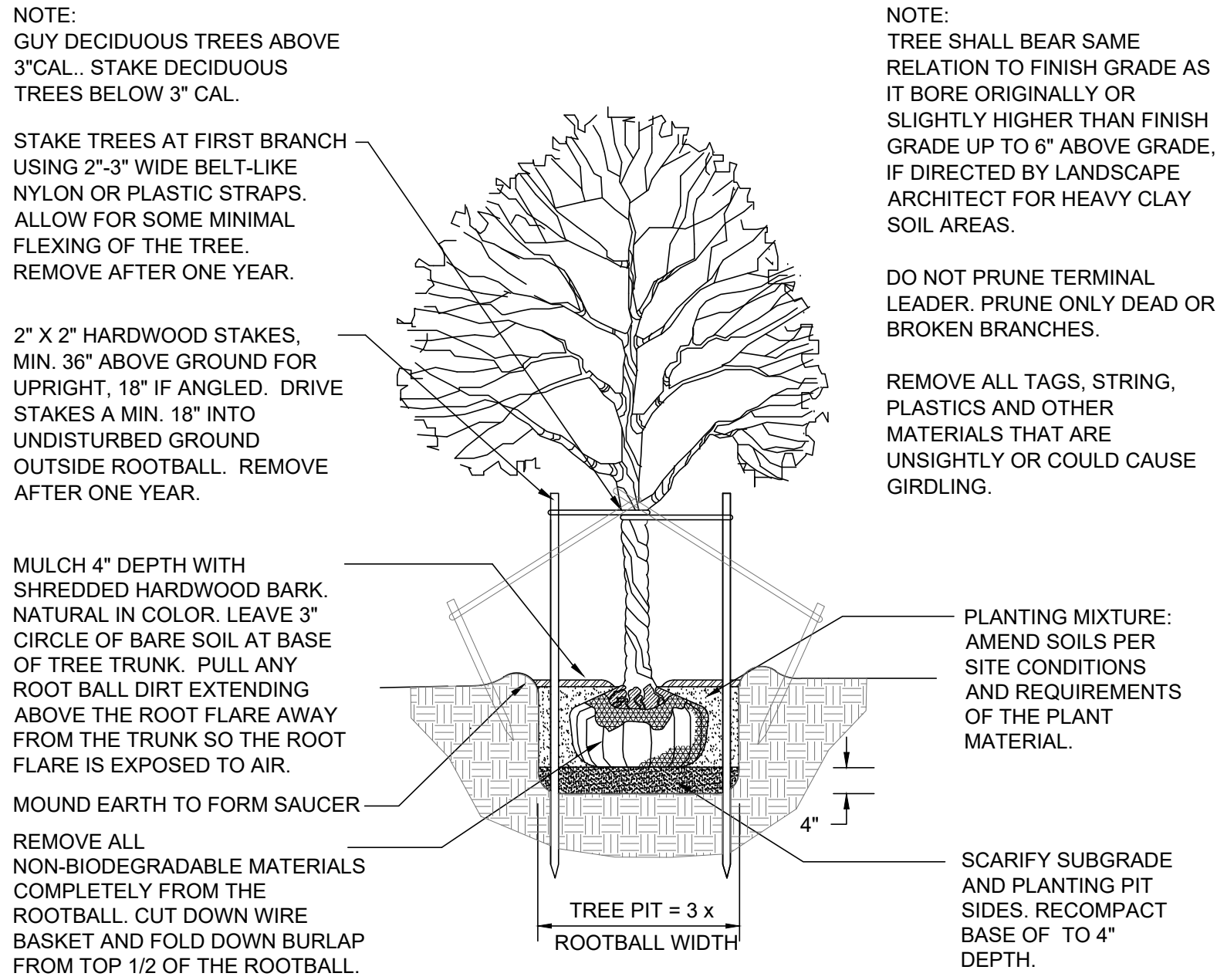
24-019

jca

ca

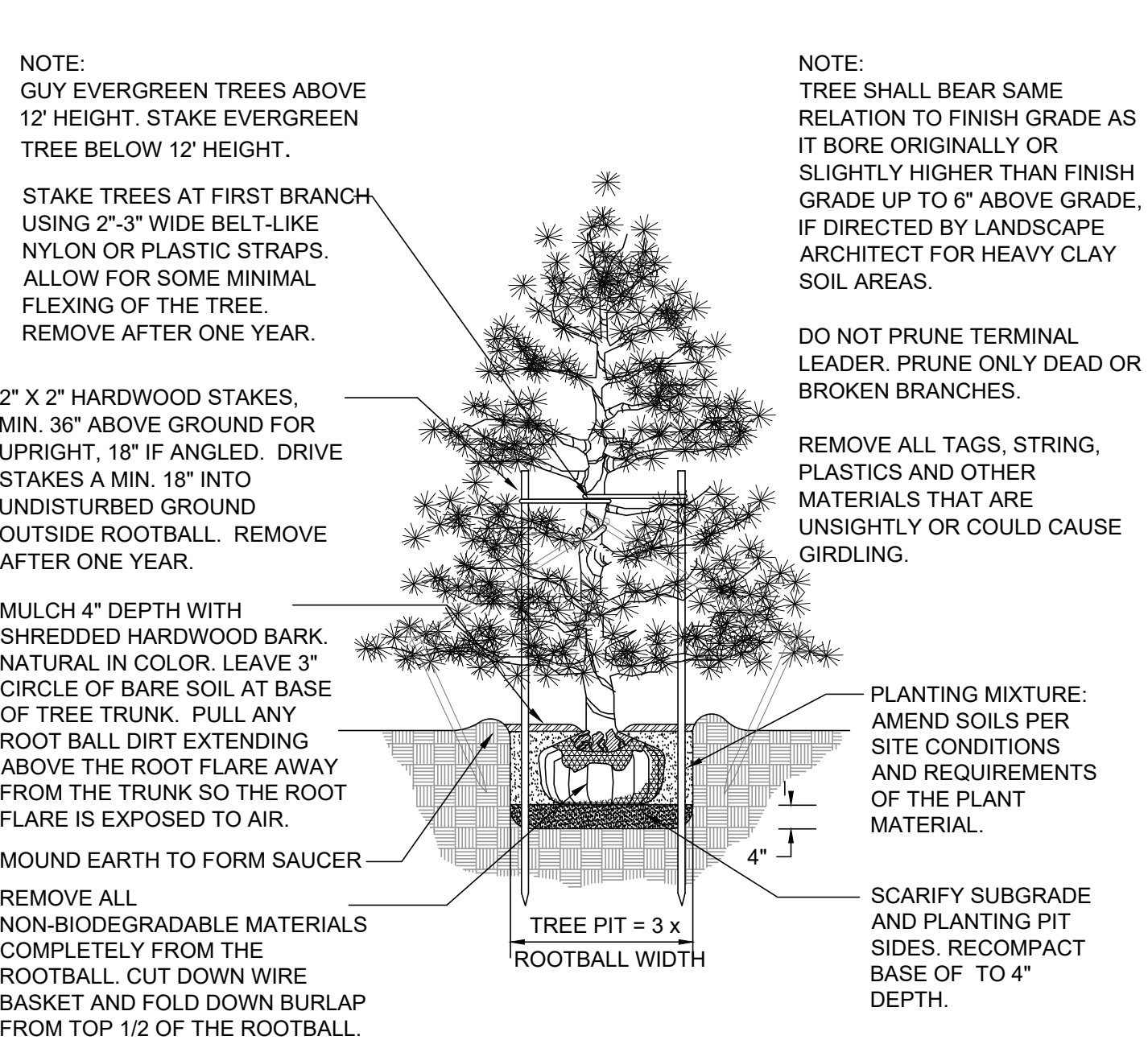


-3



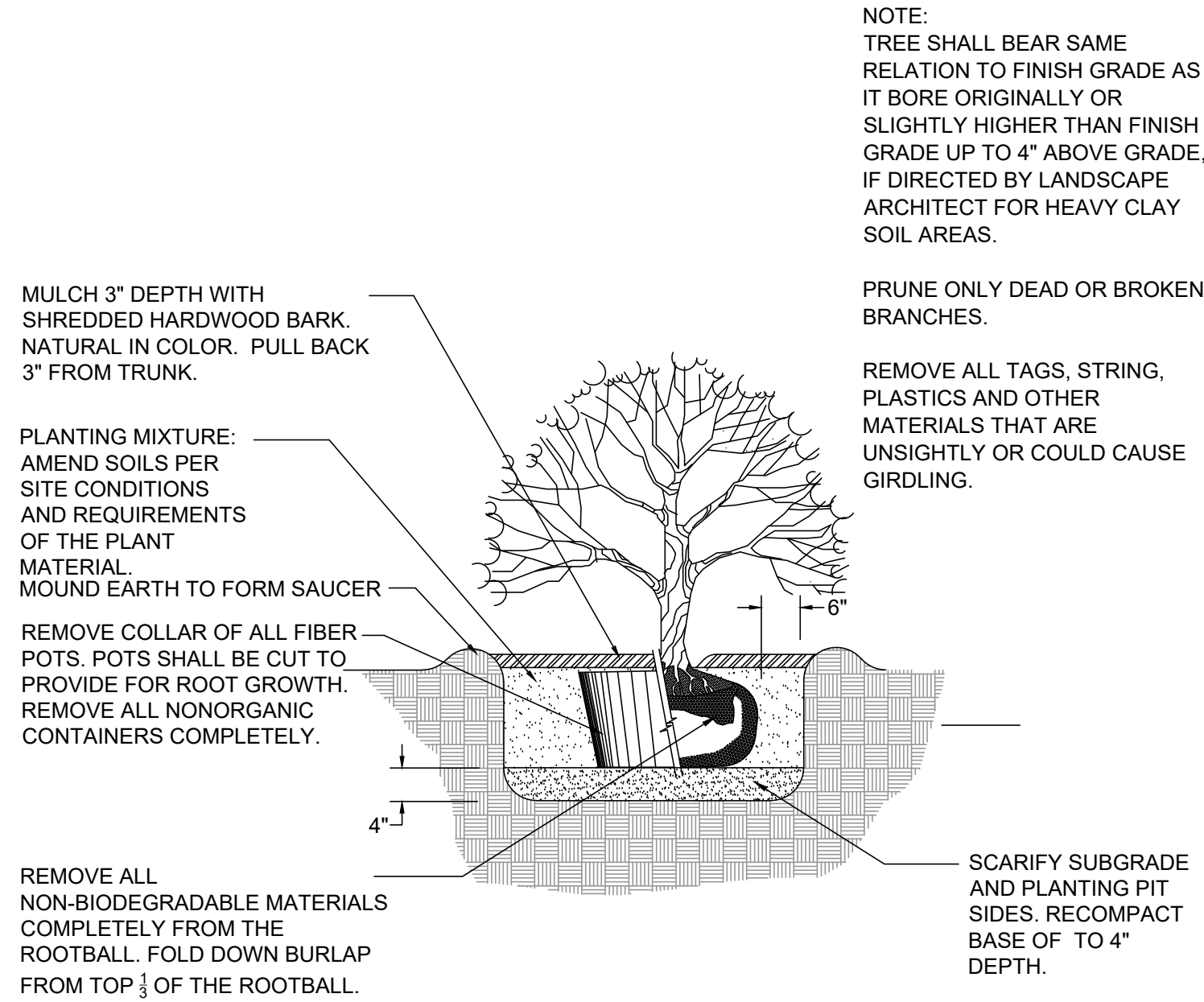
DECIDUOUS TREE PLANTING DETAIL

Not to scale



EVERGREEN TREE PLANTING DETAIL

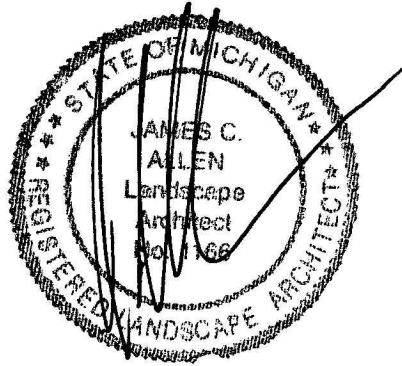
Not to scale



SHRUB PLANTING DETAIL

NOT TO SCALE

Seal:



Title:

Landscape Details

Project:

Lakeland Trails
Hamburg Township, Michigan

Prepared for:

Elevate Property Partners, LLC
128 North Center
Northville, Michigan 48167

Revision:

Review
Revised
Revised
Revised
Revised
Revised

Issued:

April 11, 2024
April 22, 2024
August 16, 2024
September 25, 2024
February 19, 2025
October 8, 2025

Job Number:

24-019

Drawn By:

jca

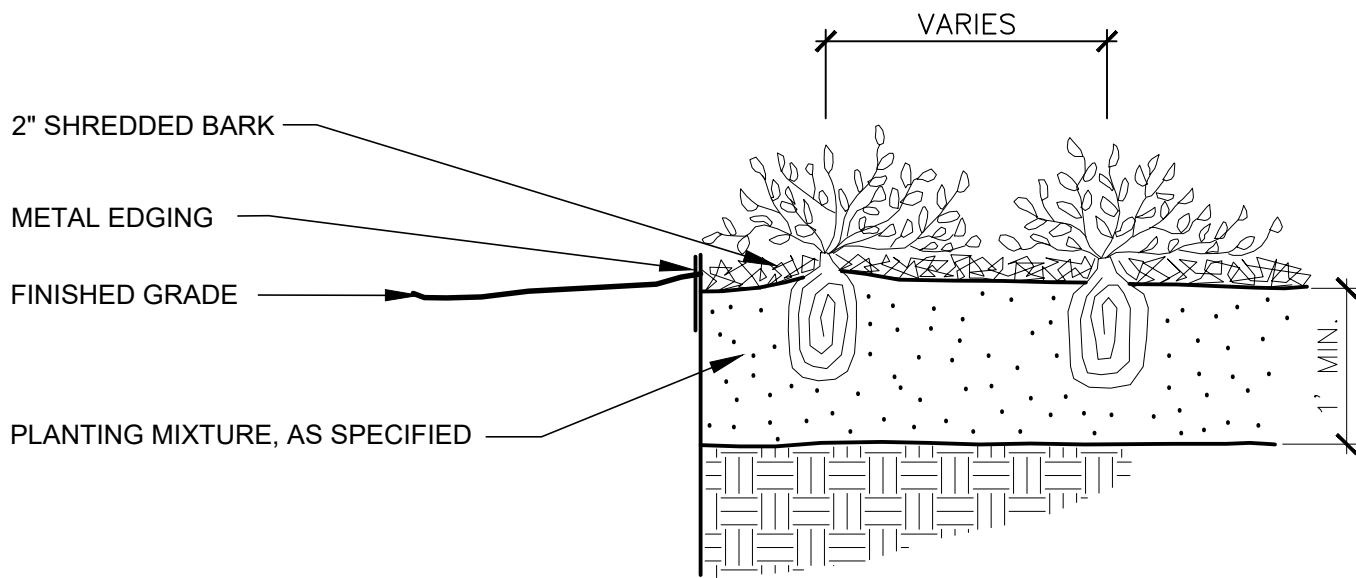
Checked By:

jca

Sheet No.

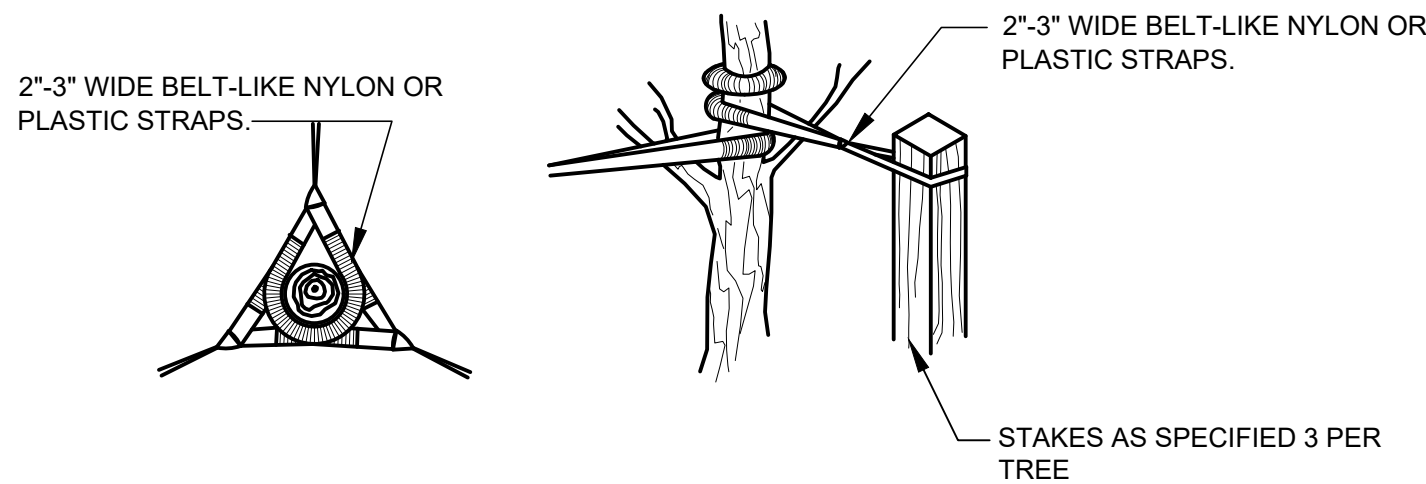
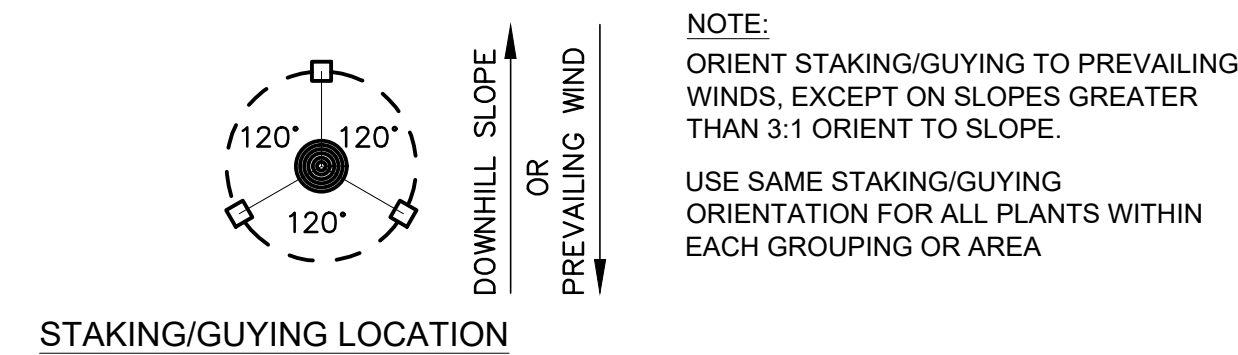


L-4



PERENNIAL PLANTING DETAIL

Not to scale



GUYING DETAIL

STAKING DETAIL

TREE STAKING DETAIL

Not to scale



Size: 6' High, 8' Long Panels with Structural Members
Facing Project Site

LANDSCAPE NOTES

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following Township approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
- "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 peat, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The Landscape Architect shall be notified in writing of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- All landscape areas shall be provided with an underground automatic sprinkler system.
- Sod shall be two year old "Baron/Cheriadelpi" Kentucky Blue Grass grown in a sod nursery on loam soil.

November 4, 2025

Mr. David Rohr, Planning and Zoning Director
Hamburg Township
10405 Merrill Road
P.O. Box 157
Hamburg, Michigan 48139

Re: The Crossings at Lakes Trail
Preliminary Site Plan Review

Dear David:

We have reviewed the plans for the referenced site plan dated October 6, 2025, as prepared by Seiber Keast Lehner. We offer the following comments for your consideration:

1. Plans should be signed and sealed by a Michigan professional engineer.
2. A gravity sanitary sewer collection system with a pump station is proposed. The applicant will be required to go through the Township's sewer use application when appropriate. Ideally, the capacity of the proposed pump station is coordinated with the development to the north.
3. The pool shall not drain to the sanitary sewer.
4. The proposed water main will be reviewed and approved by LCWA prior to submitting for an Act 399 permit. Likely a second water main feed into the development will be required.
5. Insufficient detail is provided to determine any impacts offsite from the grading. The applicant should show proposed contours.
6. The preliminary storm water management calculations are generally in conformance with the Livingston County Drain Commissioner standards with the following comments.
 - a. The time of concentration (TofC) shall be documented and justified.
 - b. The applicant shall provide an analysis and consideration for infiltration.
 - c. Conveyance calculations are required for the final site plan.

- d. Drainage areas for each catch basin should be delineated and the C Factor should be calculated for each.
 - e. There should be consideration of passing the allowable outflow from the development to the north through the detention basin. This would remove that flow from Pearl Street. It is not the intent of this comment to increase the detention on the Lakeland site, only to allow the drainage to pass through.
7. An MDOT permit will be required for the entrance on M-36.
8. Full constructions details will be required to be approved prior to construction, including utility profiles, road sections, sidewalk and ramps, etc

In summary, we offer no objection to the approval of the final site plan contingent upon these comments.

If you have any questions, please contact me at (734) 657-4925.

Sincerely,

 Ted Erickson
Digitally signed by Ted Erickson
DN: cn=US
E=t.ed Erickson@imegcorp.com,
O=IMEG Consultants Corp.,
C=US
Date: 2025.11.04 13:12:41-05'00'

Ted L. Erickson
Principal

TLE/jdf

\\files\Active\Projects\2024\24002543.00\Design\Civil\Crossings at Lakeland Trail SPR_20240909.docx



PHONE: 810-231-1000
FAX: 810-231-4295



P.O. Box 157
10405 Merrill Road
Hamburg, Michigan 48139-0157

To: Planning Commissioners

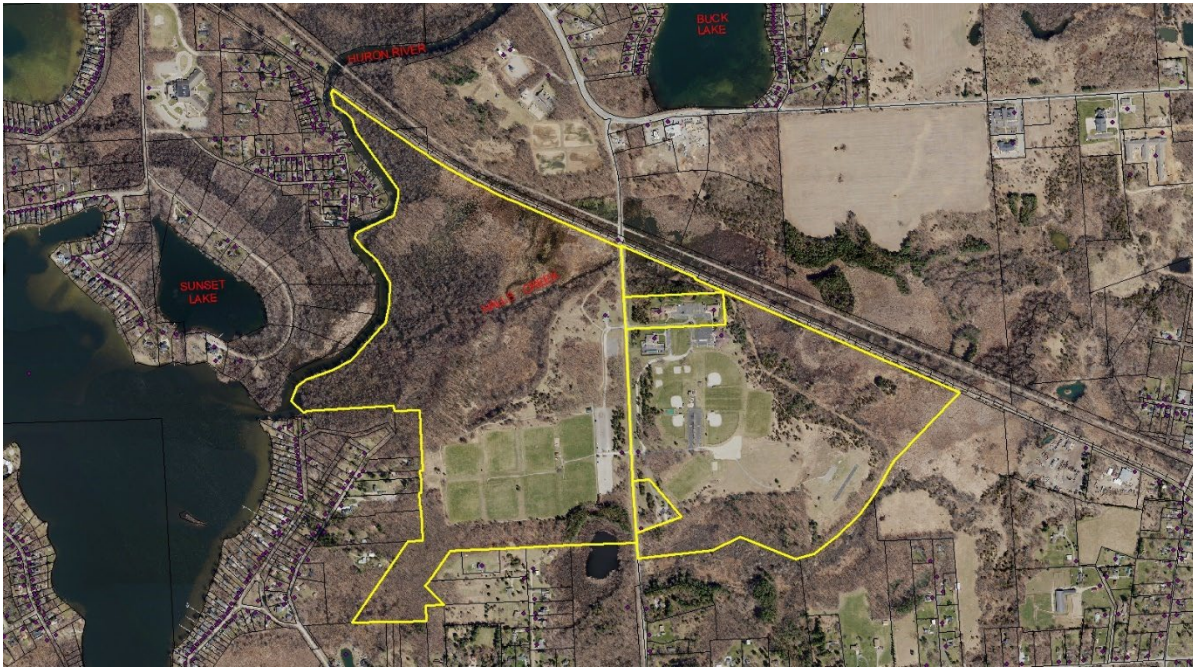
From: David Rohr
Planning and Zoning Director

Date: November 19, 2025

Project address and Description: Zoning Map Amendments PZTA25-0001:

1. Change the zoning of the parcel commonly known as 10405 Merrill Rd. (TID 4715-26-100-028) East, from Medium Density Residential (RA) to Public & Private Recreational Facilities District (PPRF).
2. Change the zoning of the parcel commonly known as 10405 Merrill Rd. (TID 4715-26-100-023) West, from Medium Density Residential (RA)/Natural Rivers (NR)/Waterfront Residential (WFR) to Public & Private Recreational Facilities District (PPRF).

Owner: Hamburg Township

Parcel(s):

The subject sites (4715-26-100-028) East park (114.2 acres) and (4715-26-100-023) West park total (181 acres), located on Merril Rd. The subject sites are owned by Hamburg Township and currently zoned Medium Density Residential (RA). The [2020 Master Plan](#) subject sites have a Future Land Use Designation of **Private Recreational Facilities District (PPRF)**.

PROJECT DESCRIPTION

Request from the Hamburg Township Parks Department. - See attached memorandum.

The full list of permitted and special uses in the Medium Density Residential (RA) district is as follows:

Sec. 36-169. – Permitted Use Table - Medium Density Residential (RA); See attached.

The full list of permitted and special uses in the **Private Recreational Facilities District (PPRF)** district is as follows:

Sec. 36-169. – Permitted Use Table – Private Recreational Facilities District (PPRF); – See attached.

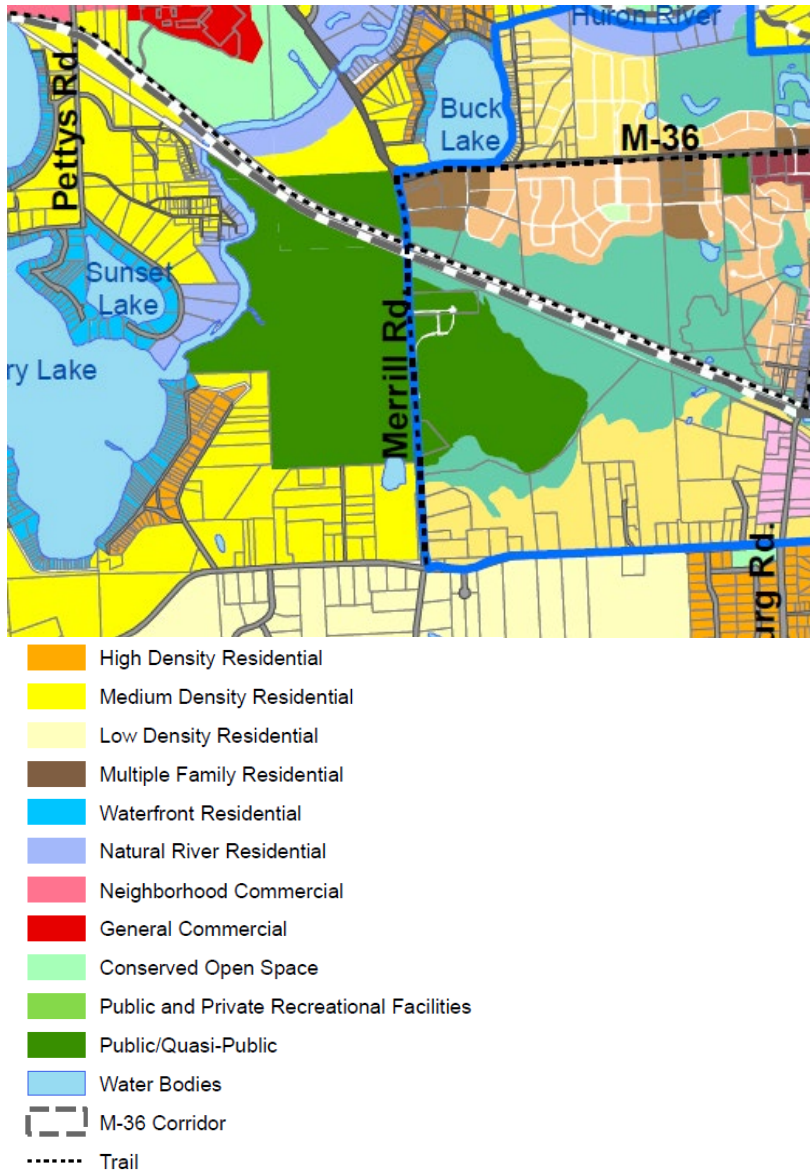
PROJECT ANALYSIS

The Hamburg Township Zoning Ordinance provides for a process, following [Public Act 110 of 2006](#), to change the zoning map but does not provide standards by which a map amendment should be considered. Staff offers the following for consideration by the Planning Commission.

1. The zoning map amendment should be compatible with the goals, policies, and future land use map of the Master Plan.

The 2020 Master Plan envisions the subject sites as Private Recreational Facilities District (PPRF).

Future Land Use Map



Staff finds that the proposed **Private Recreational Facilities District (PPRF)** could further the following goals and objectives of the Master Plan:

Goal 1: *Protect and promote the public health, safety, comfort and general welfare.*

Objective A: *Manage the Land Use, Transportation and Environmental aspects of the Township.*

Objective B: *Create a healthy and safe community.*

Goal 2: *Preserve the natural and historic character of Hamburg Township by accommodating a reasonable amount of development, but ensuring the development is in harmony with the natural features and the unique environmental requirements of the Township.*

Objective A: *Direct future development to areas most suited for that type of development.*

2. Compatibility of the site's physical, geological, hydrological, and other environmental features with all uses permitted in the proposed zoning district compared to uses permitted under current zoning.

This site has been used for public recreation for several decades.

3. If the request is for a specific use, rezoning the land is considered to be more appropriate than amending the list of permitted or special land uses in the current zoning district to allow the use.

Rezoning in this case makes logical sense given the parcels historical use and future land use designation.

4. The parcels can meet the requirements of the proposed zoning district.

Both parcels are conforming and adequately sized to accommodate the current structures and any future utility/site improvements.

Parcel Id 4715-26-100-028 (East park) 114.2 acres

Parcel Id 4715-26-100-023 (West park) 181 acres

RECOMMENDATIONS:

Staff recommends the Planning Commission open the public hearing, take testimony from the applicant and staff as appropriate, discuss, and make a determination on zoning map amendment PZTA25-0004 to change the zoning of the parcel from Medium Density Residential (RA) to **Private Recreational Facilities District (PPRF)**.

Example Approval Motion:

The Planning Commission recommends approval of Zoning Map Amendment **PZTA25-0001** to change the zoning of the parcels commonly known as **TID 4715-26-100-028** and **TID 4715-26-100-023** from Medium Density Residential (RA) to **Private Recreational Facilities District (PPRF)**, (Zoning Ordinance Section 36-164) *for the following reasons* and directs staff to forward the request to Livingston County Planning for review.

Example Denial Motion:

The Planning Commission denies approval of Zoning Map Amendment **PZTA25-0001** to change the zoning of the parcels commonly known as **TID 4715-26-100-028** and **TID 4715-26-100-023** from Medium Density Residential (RA) to **Private Recreational Facilities District (PPRF)**, (Zoning Ordinance Section 36-164) *for the following reasons* and directs staff to forward the request to Livingston County Planning for review.

EXHIBITS:

- Application
- Park Department memo.
- Zoning Ordinance Section 36-169 Permitted Use Table
- Parks and Rec. memo.



PHONE 810-231-1000
planning@hamburg.mi.us

P.O. Box 157
10405 Merrill Road
Hamburg, Michigan 48139

ZONING AMENDMENT APPLICATION

Please note: All required information, copies, fees, and other materials as appropriate must be submitted and complete before the Township Planning Commission will set a public hearing date on the Zoning Amendment Application.

Application fees and review fees are required at the time of application.

Zoning Amendments have application fees and review fees. Review fees shall be placed into a non-interest bearing escrow account. Upon final review, review fee balances shall be returned upon receipt of final billing. The applicant shall be responsible for all costs incurred.

The undersigned hereby makes application for a Zoning Amendment for: (Check all that apply)

1. **TYPE OF PROJECT:** ☐ Zoning Text Amendment ☒ Zoning Map Amendment
2. **PROJECT NAME:** Township Parkland Rezoning Submittal Date: 8-5-25
3. **PROJECT ADDRES:** 10405 Merrill Rd., Hamburg, MI 48139
Tax Code Numbers: 15 - 26-100-028 15 - 26-100-023 15 - _____
15 - _____ 15 - _____ 15 - _____
☒ Metes & Bounds Parcel ☐ Subdivision _____ Lot Numbers: _____
4. **ZONING MAP AMENDMENT:** (please attached the existing zoning map and a proposed zoning map as a separate document)
Existing Zoning District Classification: RA Proposed Zoning District Classification PPRF
Number of Lots Proposed: _____ Acreage of Project: 114 3 181
5. **ZONING TEXT AMENDMENT:** (please attached the existing zoning ordinance and the proposed revisions as a separate document)
Zoning Ordinance Section proposed to be amended _____

6. **PROJECT DESCRIPTION (reason for amendment):** _____

7. **OWNER/PROPRIETOR INFORMATION:**

Name: Hamburg Township Phone Number(s): 810-231-1000
Email: _____ Address: 10405 Merrill Rd.
City: Hamburg State: MI Zip: 48139

8. APPLICANT:

Name: Hamburg Township Phone Number(s): 810-231-1000
 Email: _____ Address: 10405 Merrill Rd.
 City: Hamburg State: MI Zip: 48139

ZONING AMENDMENT PROCESS: (Zoning Ordinance, Article 12)

1. Application. Petitions for amendments by individual property owners shall be submitted to the Zoning Administrator on a standard application form provided and shall be accompanied by a fee in accordance with the duly adopted schedule of fees, to cover administrative and publication costs. No part of such fee shall be returnable to the petitioner if the public hearing is held.
2. Referral to Planning Commission. All proposals for amendment shall be referred to the Planning Commission for their review and recommendation. The Planning Commission shall consider each proposal for amendment in terms of its own judgment on particular factors related to the individual proposal, the most likely effect on the community's physical development, and conformance with the Township Master Plan. The Planning Commission may recommend any additions or modifications to the original amendment proposal.
3. Public Hearing. Upon receipt of an application for an amendment, the Planning Commission shall hold a public hearing in accordance with the notification procedures described in Section 3.8.
4. Upon receipt of recommendation from the Planning Commission and the County Planning Commission, the Township Board shall consider the proposed amendment. The Township Board may hold additional hearings it deems necessary. Notice of a public hearing held by the Township Board shall be published in a newspaper of general circulation in the Township not more than fifteen (15) days nor less than five (5) days before the hearing.
5. If the Township Board shall deem any changes to the proposed amendment advisable, it shall refer the same to the Planning Commission for a report within a time specified by the Township Board. After receiving the report, the Township Board shall grant a hearing on the proposed amendment to a property owner who by certified mail addressed to the Township Clerk requests a hearing. The Township Board shall request the Planning Commission to attend the hearing.
6. Thereafter, the Township Board may adopt the amendment with or without changes by majority vote in accordance with procedures of Act 184 of 1943, as amended.
7. No application for a rezoning which has been denied by the Township Board shall be resubmitted for a period of one (1) year from the date of the last denial, except on grounds of newly discovered evidence or proof of changed conditions found upon inspection by the Township Board to be valid.
8. Amendments adopted by the Township Board shall be filed with the Township Clerk and one notice of amendment adoption shall be published in a newspaper of general circulation in the Township within fifteen (15) days after adoption. The notice of amendment adoption shall contain the following information: either a summary of the regulatory effect of the amendment, including the geographic area affected, or the text of the amendment; the effective date of the amendment; and, the time and place where a copy of the amendment may be purchased or inspected.

APPLICANT CERTIFICATION:

I hereby certify that all uses for which this application is made shall conform to the Ordinances of Hamburg Township, Livingston County and the State of Michigan. All information submitted as a part of the zoning amendment application is to my knowledge accurate. If the information is determined either now or in the future to be inaccurate any permits granted for the incorrect information shall be void and any structures built or uses approved may be in violation of the required ordinances and must otherwise be brought into compliance with all regulations.

I further agree that any deviation from the application submitted or the breach of any additional safeguards, conditions or requirements the Hamburg Township may impose in granting this application shall constitute a violation of the Ordinance and invalidate the permit granted.

PROPERTY OWNERS SIGNATURE: _____

DATE: 10/15/25

*If an agent submits the project to the Township for the property owner a letter authorizing must be submitted.



10405 Merrill Road
P.O. Box 157
Hamburg, MI 48139
(810) 231-1000
www.hamburg.mi.us

TO: Zoning Department, Planning Commission & Township Board of Trustees

FROM: Deby Henneman, Township Coordinator

DATE: September 11, 2025

AGENDA ITEM TOPIC: Zoning Map Amendment Request for Manly Bennett Parklands from RA to PPRF

Number of Supporting Documents: 6

Requested Action

To approve Zoning Map Amendment for both Manly Bennett Parkland parcels, 15-26-100-028 (East Park) and 15-26-100-023 (West Park), from its current zoning of RA to PPRF - Public & Private Recreational Facility District, as grants secured through the MDNR Trust Fund, and pursuant to the written Agreement(s) signed by the Township, require that the parcels remain parkland in perpetuity.

Background

In the 1980s, Hamburg Township was the recipient of some grant funding through the MDNR and as part of the process agreed to retain the land as parkland in perpetuity. At the time, the parcel was used as a whole for the agreement. In 1986 the Township Hall and Senior Center was built, and then in 2001 the Police Station and Library. When a later grant was applied for, it was realized that these buildings were built on parcels which the Township had agreed to retain as parkland, and a mitigation process was started.

In late 2008, the Township Board agreed to purchase property which the MDNR agreed would be of the same value, and in early 2011 that mitigation process was completed. That parcel was developed into the Village Trailhead and was also awarded funds in 2013 under the MDNR Trust Fund grant process and should also be labeled as parkland.

In early 2022 when preparing for the West Park Trust Fund grant #TF22-0107, I needed to secure documents confirming the boundaries for both East and West Park. It was at that time that I uncovered that the lot splits intended for the municipal buildings were drawn up but never completed. It was discussed that it would be in the best interest of the Township to have the parcels clearly defined for future grants. In late 2023, the boundaries for West Park needed to be clarified, and the attached map was added to the funding agreement. In early 2024 Alpine Land Surveying was hired to complete a survey. That survey has now been completed, so the final step is to have the parkland re-categorized into a Zoning type that preserves the future parkland as intended, and allows the municipal buildings more flexibility with use of their specific parcels.

Because parklands have different needs for signage, rules & regulations, and use, having a PPRF designation makes sense for our Township and the growing need for municipal parkland. MDNR has reviewed and approved this request.

FAX 810-231-4295
PHONE 810-231-1000



P.O. Box 157
10405 Merrill Road
Hamburg, Michigan 48139

HAMBURG TOWNSHIP BOARD OF TRUSTEES
SPECIAL MEETING
HAMBURG TOWNSHIP HALL BOARD ROOM
MONDAY, NOVEMBER 17, 2008
6:00 P.M.

1. Call to Order

Supervisor Pine called the meeting to order at 6:02 p.m.

2. Pledge to the Flag

3. Roll Call of the Board

Present: Hohl, Menzies, Hardesty, Pine, Balon-Vaughn, Bitondo

Absent: Majoros

Also Present: John Drury, Township Attorney, Angela Rabb, Director of Accounting

4. CALL TO THE PUBLIC

Call was made with no response.

5. Approval of the Agenda

Motion by Balon-Vaughn, supported by Menzies to approve the Agenda as presented.

Voice Vote: AYES: 6 NAYS: 0 ABSENT: 1 (Majoros) MOTION CARRIED.

6. Old Business

03042.017C Parkland Conversion / MDNR

Balon-Vaughn presented the Board with a proposal from Livingston Community Bank for the loan necessary for the Township to purchase property from Joe Vallerdita as negotiated. The proposal from Livingston Community Bank quotes an interest rate of 4.65%, fixed rate for 5 years, and an amortization table for 10 years with a balloon payment at the end of 5 years.

John Drury reported that Jim Keifer, Bond Counsel, has reviewed and given his approval for this type of loan and provided the Township with the Resolution for the Installment Purchase Agreement.

Hardesty moved the Resolution, supported by Bitondo to authorize the Installment Purchase Agreement as submitted by Jim Keifer, Bond Counsel.

MOTION & SUPPORT WITHDRAWN.

Hohl confirmed with John Drury that, statutorily, a budget amendment must be approved before the Resolution to spend money can be approved.

Motion by Hardesty, supported by Bitondo to approve a budget amendment in the amount of \$24,704.21 from the General Fund 101 to the Capital Projects Fund 401.

Voice Vote: AYES: 6 NAYS: 0 ABSENT: 1 (Majoros) MOTION CARRIED.

Motion by Hardesty, supported by Bitondo to allow Balon-Vaughn to abstain from voting on the Resolution to approve the Installment Purchase Agreement by virtue of her position on the Board of Directors of Livingston Community Bank.

Voice Vote: AYES: 6 NAYS: 0 ABSENT: 1 (Majoros) MOTION CARRIED.

Hardesty moved the Resolution, supported by Bitondo to approve the Installment Purchase Agreement as prepared by Jim Keifer, Bond Counsel.

Roll Call Vote: Hohl – Y, Menzies – Y, Hardesty – Y, Pine – Y, Balon-Vaughn – ABSTAIN,
 Bitondo – Y, Majoros – Absent RESOLUTION PASSED.

Attorney John Drury explained the reason for this land purchase. He stated that when Township Hall Complex was constructed, the Township inadvertently built on an area designated as parkland by the MDNR. Sometime later, when the Township was submitting applications for MDNR grant funds, we were notified that there was a problem. In order to rectify this, the MDNR mandated that the Township purchase land at another location in the Township comparable in acreage and value.

Since that time, the Township has been working to find the solution but until this point, could not find property that matched the criteria set by the MDNR. Finally, the opportunity arose to purchase Mr. Vallerdita's property, and while we're still waiting for final approval from MDNR, Mr. Drury is confident that this purchase will meet the criteria and allow the Township to close the books on this issue.

11082.004 Employee Salary Rates 2008-2009 FY

Pine began the discussion by stating for the record, the following:

"I don't think that we can measure performance objectively without having performance objectives in place and none have been established for our employees. The proposal that came out from the Personnel Committee was based on subjective criteria."

"I feel there's no great urgency to provide pay increases at this time with all the recent layoffs that have been announced in the private sector and the impending bankruptcy of GM before year-end, I don't think there's a lot of upward pressure on competitive pay however it's the next board that needs to balance the budget in the next four years and I think they should have the chance to weigh in on compensation. I value our workforce very highly, we have some hard workers, we have some extremely talented individuals in our workforce and they deserve compensation for what they're doing. However, with this being the very end of this Board and the next Board having financial issues and financial challenges, I'm of the opinion that the next Board ought to get into this quickly."

Hardesty's responded stating that 3 years ago, time and money were spent to complete a compensation study, which this Board approved, with a three-year roll out plan. Year one of the three year plan was adopted, but subsequent years have not followed the plan.

Further, she stated that her proposal incorporated the recommendations made by the Personnel Committee and that there is money in the General Fund to move forward with these recommendations as the health insurance premiums increased by 4%, but 15% was budgeted in each department.



RICK SNYDER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF NATURAL RESOURCES & ENVIRONMENT
LANSING



Item 3.

January 26, 2011

Nelson ✓
Haymon
CRSO
Elected

Mr. Bob Anderson
U.S. Department of the Interior
National Park Service – Midwest Region
601 Riverfront Drive
Omaha, NE 68102-2571

Dear Mr. Anderson:

SUBJECT: Formal Conversion Proposal for Hamburg Township (Livingston County)
Manly W. Bennett Memorial Park (Merrill Field)
Land and Water Conservation Fund Grants 26-01104B and 26-01274

The Department of Natural Resources and Environment (DNRE), Grants Management requests the National Park Service's review and approval of the formal conversion proposal for Hamburg Township, Livingston County. Hamburg Township has worked diligently to complete the conversion proposal for Manly W. Bennett Memorial Park.

In 1980, Hamburg Township received a development grant (26-01104B) in the amount of \$25,044.83 for a concession/restroom building with water, sewage disposal and electricity, site restoration and landscaping, parking area and a LWCF sign. In 1983, the township received another development grant (26-01274) in the amount of \$29,133 for landscaping, entrance signs, road and parking lot improvements, play structure asphalt walkway, litter barrels, bleachers, service gate and a LWCF sign.

In 1986, the township hall and senior center was constructed, and in 2001 the police station and library was constructed within the 6(f)3 boundaries of the above-referenced LWCF grants. The proposed conversion proposal would delete these four municipal buildings (12.01 acres) from the project boundaries and the proposed mitigation parcel, railroad corridor (7.41 acres), would replace the land lost due to the conversion. Appraisals were conducted on both parcels of land, and it was determined that the mitigation parcel's fair market value exceeded the value of the converted property.

Mr. Bob Anderson
Page 2
January 26, 2011

The DNRE supports the proposed mitigation parcel of land which connects two segments of the existing Lakeland Recreation Trail. It is the DNRE's belief that this mitigation parcel would be a great benefit for the public in southeast Michigan.

If you have any questions regarding this formal conversion proposal, please contact Ms. Shamika Askew-Storay at 517-241-3128 or askews2@michigan.gov. If you wish to contact us in writing, our address is: **Grants Management, Department of Natural Resources and Environment, P.O. Box 30425, Lansing, MI 48909-7925.**

Sincerely,



Steven J. DeBrabander, Manager
Grants Management
517-241-3687
debrabanders@michigan.gov

SD:lh

cc: Mr. Jim Krejci, National Park Service
[REDACTED]
Mr. Walter Bolt, Mannik & Smith Group, Inc.
Mr. John Drury, Kizer Law Firm, P.C.
Mr. John Cherry, DNRE
Ms. Shamika T. Askew-Storay, DNRE

RESOLUTION

AMENDMENTS – MITIGATION of LOST PARKLANDS LAND and WATER CONSERVATION FUND PROJECT AGREEMENT 26-01104B and 26-01274, AMENDMENT No. 1 RECREATION BOND FUND PROGRAM PROJECT AGREEMENT BF89-092, AMENDMENT No. 5

At a regular meeting of the Board of Trustees of the Township of Hamburg, Livingston County, State of Michigan, held at the Hamburg Township Hall on March 22, 2011, beginning at 10:00 a.m., there were:

PRESENT: Carlson, Hahn, Hohl, Menzies, Neilson, Semprevivo

ABSENT: Dolan

and the following preamble and resolution were moved for adoption by Carlson supported by Neilson:

WHEREAS, all requirements for the mitigation of Lost Parklands associated with Project 26-01104B, 26-01274, and BF89-092 have been fully resolved to the satisfaction of the Michigan Department of Natural Resources and Environment, and

WHEREAS, amendments to the original Project Agreements are necessary to properly amend the legal description and boundary maps that have resulted from this conversion.

NOW THEREFORE BE IT RESOLVED, that the Hamburg Township board of Trustees hereby directs Hamburg Township Supervisor, Patrick Hohl, to sign copies of amendments to Projects, 26-01101B, 26-01274, and BF89-092 as provided on March 4, 2011 by The Michigan Department of Natural Resources and Environment.

Upon a roll call vote of the Board, the following voted:

AYES: Carlson, Hahn, Hohl, Menzies, Neilson, Semprevivo


NAYS: None

ABSENT: Dolan

Resolution Declared: Adopted

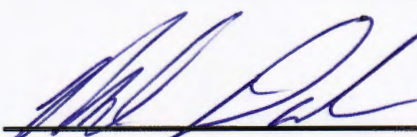
CERTIFICATION

I, James A Neilson, being the duly elected Clerk of the Township of Hamburg, Livingston County, Michigan, hereby certify that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board, and the vote taken thereon, at the meeting described in the introductory paragraph, at which time a quorum was present and remained throughout; (2) the original of such resolution is on file in the Clerk's office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended) and (4) minutes of such meeting were kept and have been or will be made available as required thereby.

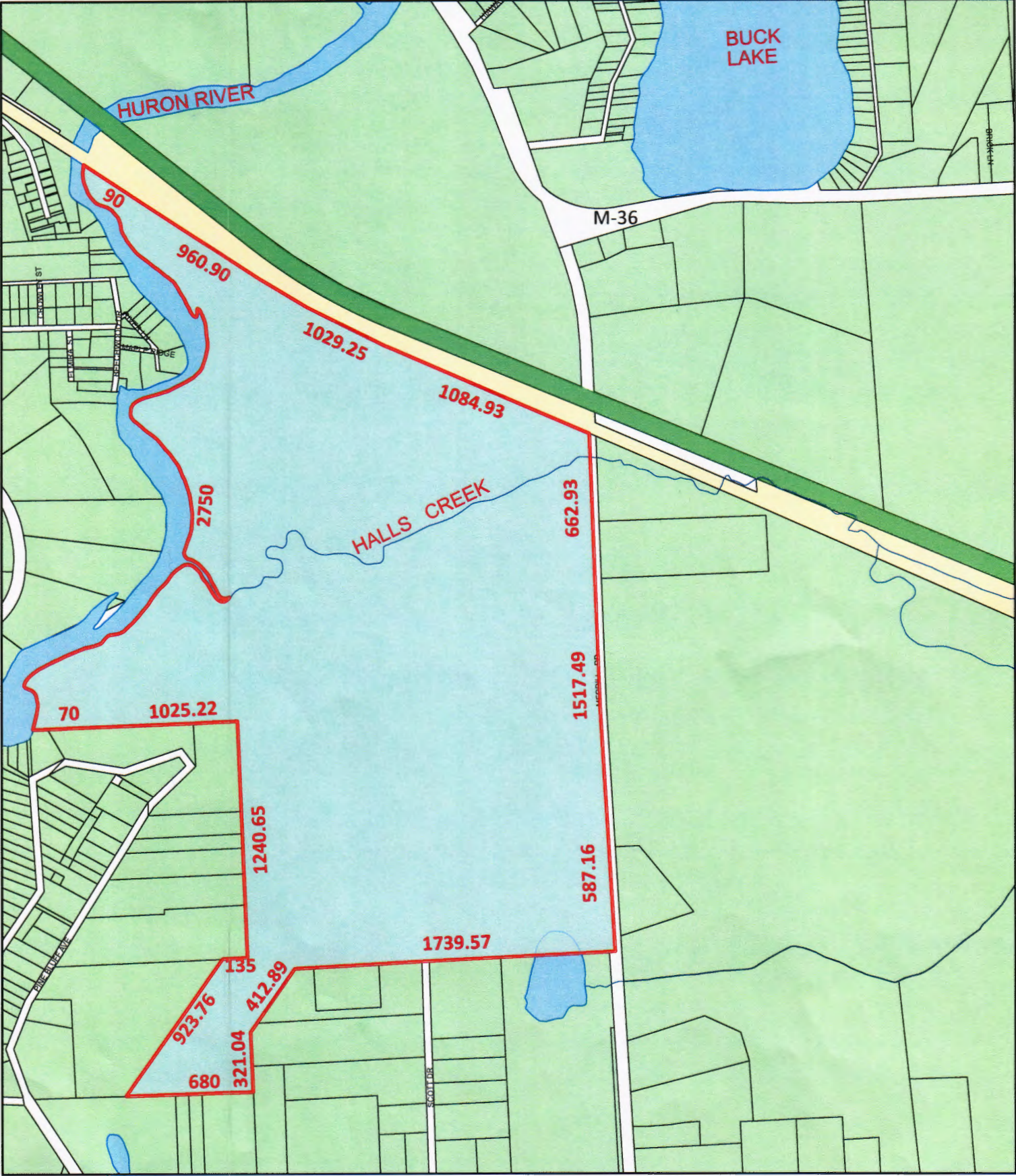


James A. Neilson
Hamburg Township Clerk

HAMBURG TOWNSHIP WEST PARK

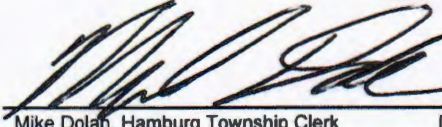


Mike Dolan, Hamburg Township Clerk-10/3/23

Item 3.



0 500 1,000 2,000 Feet

PROJECT BOUNDARY MAP
TF22-0107
BENNETT PARK RENOVATIONS & WATER TRAIL ACCESS IMPROVEMENTS


Mike Dolan, Hamburg Township Clerk
Date 

Item 3. **3**





Alpine Land Surveying
Your Flood Zone Expert

376 Beech Farm Circle, Suite 1293, Highland, MI 48357
Phone: 810-207-8050

April 24, 2024

Patrick Hohl
Township Supervisor
10405 Merrill Road
Hamburg, MI 48139

Re: Parcel Split for 6 Parcels / PA 132

Mr. Hohl:

We are sending this letter to confirm the costs associated with completing a Parcel Split resulting in 6 parcels for the property's located at 10405 Merrill Road, Hamburg, MI (Current Parcel #'s 4715-26-100-017, 4715-26-100-016, and 4715-26-100-15).

PROJECT DESCRIPTION / SCOPE OF SERVICES:

STEP 1: We will complete a Preliminary Drawing which will illustrate the 6 newly proposed parcels, together with existing structures. = \$5000

STEP 2: Once the Preliminary Drawing is approved, we will move forward with your final PA132 Parcel Split Drawing. This will include setting irons and writing new legal descriptions for the 6 new parcels = \$5280

Total cost to complete project - \$10,280

FEES / PAYMENT / TIMEFRAME:

The Preliminary Drawing should take approximately 6 – 8 weeks to complete, provided there are no unforeseen problems. If you would like me to proceed with scheduling, please sign and date a copy of this letter and return it to our office, along with a check in the amount of \$5000 (cost of STEP 1). The balance will be due when the final drawing is complete and ready for delivery.

Please feel free to contact me if you have any additional questions or concerns.

Sincerely,

Karol L. Grove
Professional Land Surveyor #39075

I hereby accept the terms as described above and would like you to proceed with the work as described.

Name

5-10-24
Date

From: [Campbell, Erin \(DNR\)](#)
To: [Deby Henneman](#)
Cc: [Dietz, Kelsey \(DNR\)](#); [Dennison, Charles \(DNR\)](#); [Hegdal, Sage \(DNR\)](#)
Subject: RE: Zoning Map Amendment & Historical Mitigation - Manly Bennett Park - Hamburg Township - Request for Review and Support
Date: Friday, September 5, 2025 9:31:36 AM

Hello Deby,

Your email made its way to us (Kelsey and I) in the DNR recreation grants section. Thank you for your patience while we sorted through the historical files to be sure of the history (conversion) and current encumbrances at Manly Bennet Park (and West Park).

We appreciate you checking with us on the zoning changes proposed for the encumbered parkland as part the effort to split off the previously converted parcels. We don't typically provide formal approval or comment on local zoning issues. In this case, you could use this email as documentation that we are in support of the proposed zoning changes. Property that is grant-assisted and encumbered in perpetuity should be zoned as some type of public parkland as a best practice. We are in support of the zooming changing from RA (Residential) to PPRF (Public & Private Recreational Facility District).

Please let us know if you have any additional questions or comments regarding the encumbrances, we value the open communication.

Thank you,

Erin Campbell
 Compliance and Stewardship Specialist
 Grants Management Section
 Michigan Department of Natural Resources
 Call/text: 269.300.9698 - CampbellE6@Michigan.gov

From: Deby Henneman <dhenneman@hamburg.mi.us>
Sent: Tuesday, August 5, 2025 12:50 PM
To: Dennison, Charles (DNR) <DennisonC@michigan.gov>; Hegdal, Sage (DNR) <HegdalS@michigan.gov>
Subject: Zoning Map Amendment & Historical Mitigation - Manly Bennett Park - Hamburg Township - Request for Review and Support
Importance: High

CAUTION: This is an External email. Please send suspicious emails to abuse@michigan.gov

Hi Chuck & Sage:

Hope this message finds you both well! I wasn't sure who this would go to, so thought I would start with you both and figured you could let me know who should get included.

We had received some funding in the 1980s for the parks and in the 1990s we built the Municipal buildings on those parcels. When we applied for another grant in the 2000s is when the error was realized. We went through the Mitigation process to “replace” the park property used for the Municipal complex and purchased the Village Trailhead parcel in 2011. It has since been developed with a Trust Fund grant. When I started pursuing grants for Manly Bennett, it was realized that the work was done to split the parcels and was approved by the DNR when property values were compared, but had never been finalized. That work has been completed and I am attaching the survey with the new parcels giving each of the 4 buildings their own ID.

I am now working with the Zoning Department to get the park parcels rezoned from RA (Residential) to PPRF (Public & Private Recreational Facility District) to further secure these parcels as parkland in perpetuity, and to allow us a little more flexibility with the zoning requirements as relates signage, use, etc. I just wanted to pass this information along to the MDNR to receive their blessing on this Map Amendment request, and to provide the updated Survey information for what is known as Manly Bennett Park East. My next request for a Map Amendment will be the Village Trailhead parcel, as well as the parcel known as Manly Bennett Park West, which should also be PPRF moving forward.

I am attaching my memo and supporting docs, as well as the Zoning Administrator’s memo to the Planning Commissioners and a copy of the Survey. If you could please forward a letter in support of these requested changes for my file, I would appreciate it. If you need further information, or have any questions, please don’t hesitate to reach out.

Thank you so much!

Best,

Deby Henneman, ADAC
Hamburg Township Coordinator
Parks, ADA, Grants, Ordinances
(810) 222-1124
dhenneman@hamburg.mi.us

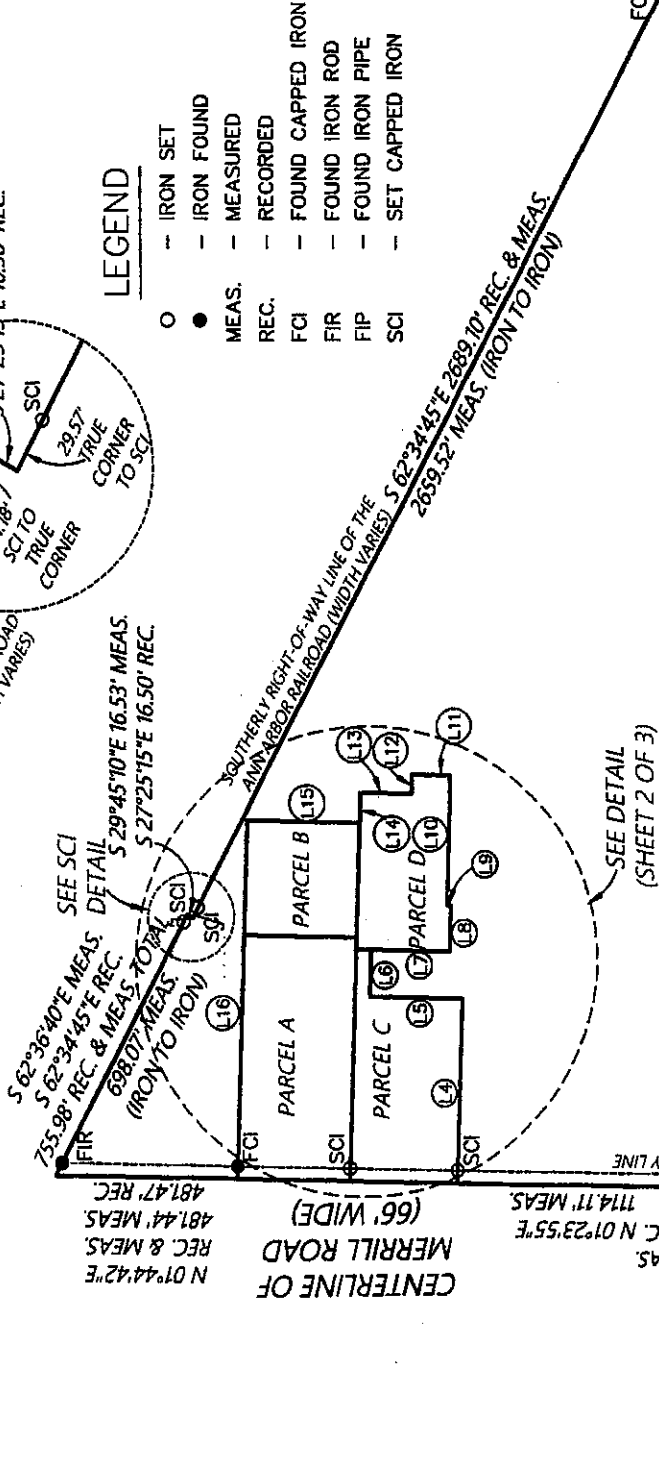
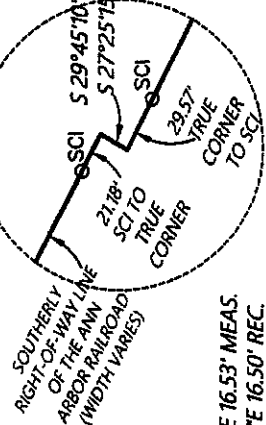
Please note: The Hamburg Township Offices are closed on Fridays

CERTIFICATE OF SURVEY

Prepared For: HAMBURG TOWNSHIP
Legal Descriptions:
(SEE SHEET 6 OF 6)

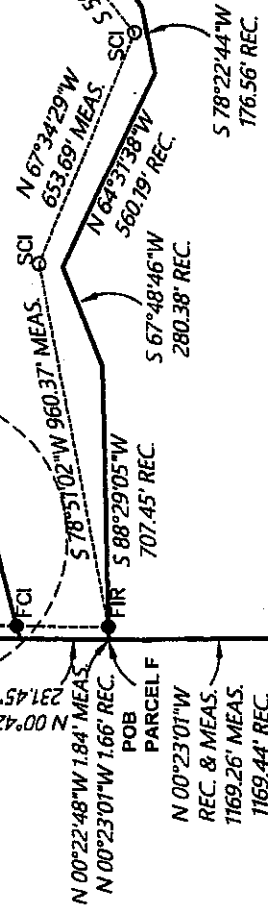
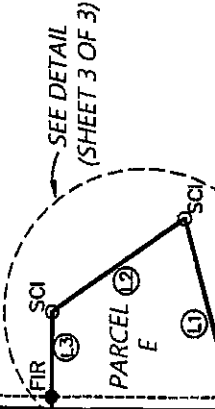
DETAIL OF
PARCEL F

SCI DETAIL
SCALE 1" = 100'



- LEGEND
- -- IRON SET
 - -- IRON FOUND
 - MEAS.
 - REC.
 - FCI
 - FIR
 - FIP
 - SCI
 - FOUND CAPPED IRON ROD
 - FOUND IRON PIPE
 - SET CAPPED IRON

PARCEL F
114.2 ACRES

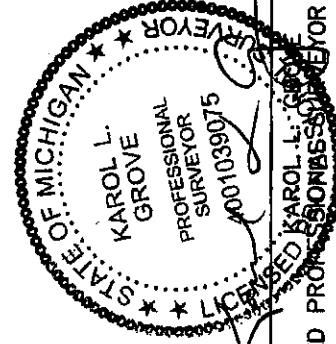


PARCEL LINE DETAIL	
LINE	BEARING & DISTANCE
1	N 74°55'43" E 518.56' MEAS.
2	N 34°21'48" W 422.97'
3	N 89°22'46" W 251.11' MEAS.
4	S 88°21'50" E 476.98'
5	N 01°23'55" E 245.00'
6	S 88°36'05" E 123.00'
7	S 01°24'00" W 206.42'
8	S 88°36'05" E 120.00'
9	N 01°23'53" E 10.00'
10	S 88°36'05" E 340.00'
11	N 01°23'55" E 100.00'
12	N 88°36'05" W 50.00'
13	N 01°23'55" E 134.54'
14	N 88°36'05" W 78.41'
15	N 01°37'15" E 299.53'
16	N 88°21'40" W 931.76'

NOTES:
NO RECENT TITILEWORK WAS SUPPLIED.
THEREFORE ALL EASEMENTS OF RECORD
MAY NOT BE SHOWN.

JUL 16 2025

I hereby certify that I have surveyed the above described on April 3, 2025, and that the relative positional precision of each corner is within limits accepted by the Michigan Professional Surveyors, and that all of the requirements of Act No. 132, P.A. 1970 (as amended) have been complied with.



ALPINE
Land Surveying, Inc.

376 BEECH FARM CIRCLE SUITE # 1293
HIGHLAND, MICHIGAN, 48357
PHONE: 810-207-8050

FIELD: KG DATE: 04-03-2025
DRAWN: DJS JOB NO: 24-6720
CHECKED: KG SHEET: 1 OF 6
REVISED:

LICENSED PROFESSIONAL SURVEYOR #4001039075

CERTIFICATE OF SURVEY

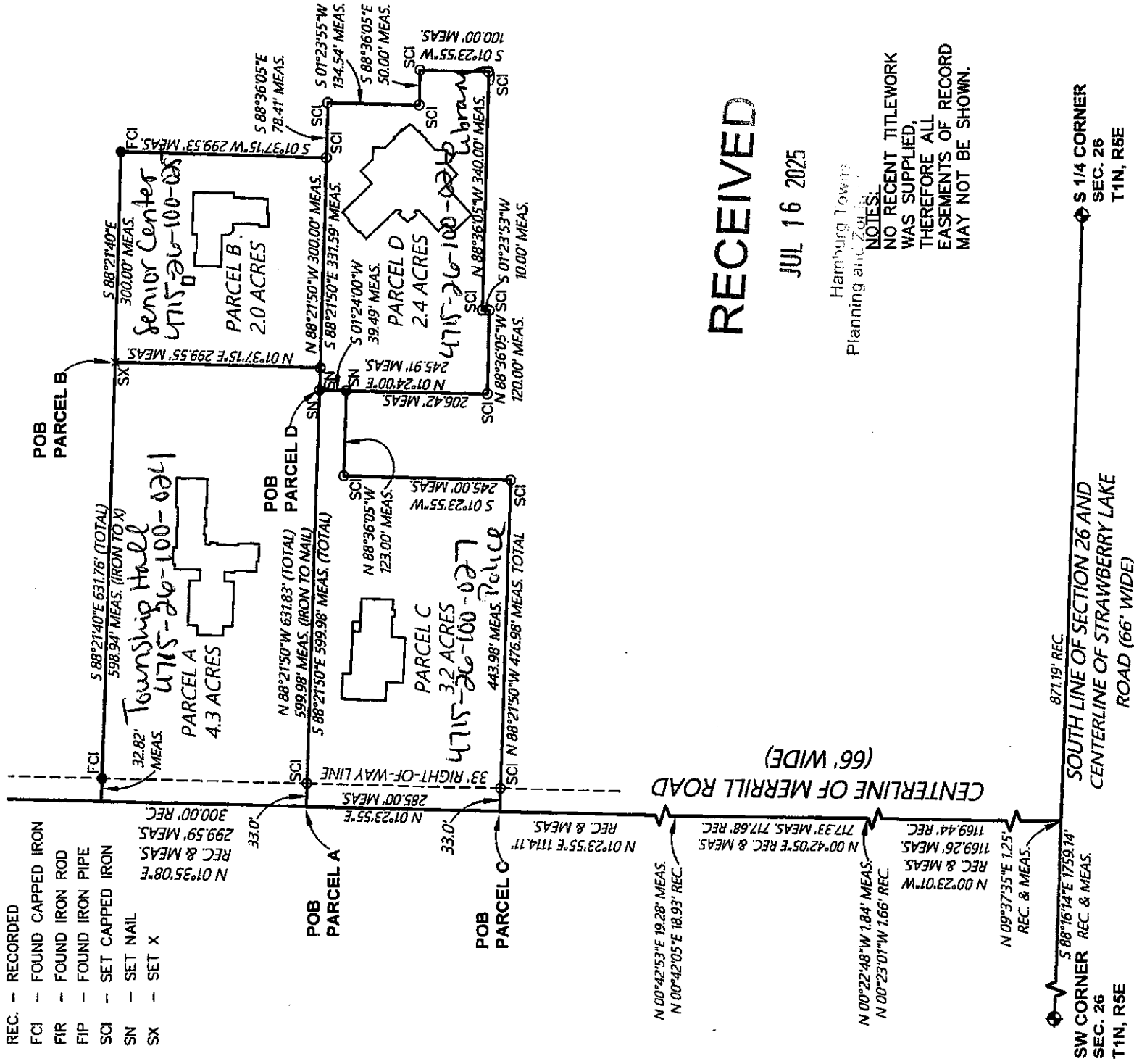
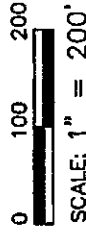
Prepared For: HAMBURG TOWNSHIP

Legal Descriptions:
(SEE SHEET 5 OF 6)

LEGEND

- - IRON SET
- ⊗ - SET NAIL
- x - SET X
- - IRON FOUND
- MEAS. - MEASURED
- REC. - RECORDED
- FCI - FOUND CAPPED IRON
- FIR - FOUND IRON ROD
- FIP - FOUND IRON PIPE
- SCI - SET CAPPED IRON
- SN - SET NAIL
- SX - SET X

DETAIL OF
PARCELS
A THROUGH D



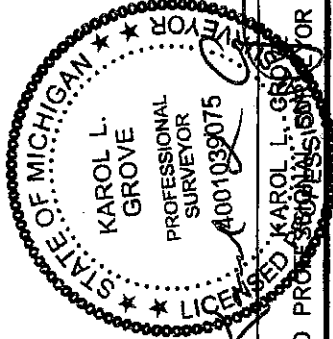
RECEIVED

JUL 16 2025

Hamburg Township
Planning and Zoning

NOTES:
NO RECENT TITLEWORK
WAS SUPPLIED,
THEREFORE ALL
EASEMENTS OF RECORD
MAY NOT BE SHOWN.

I hereby certify that I have surveyed the land herein platted and described on April 3, 2025, and that the relative positional precision of each corner is within limits accepted by the practice for Michigan Professional Surveyors, and that all of the requirements of Act No. 132, P.A. 1970 (as amended) have been complied with.



LICENSED PROFESSIONAL SURVEYOR #4001039075

ALPINE
Land Surveying, Inc.

376 BEECH FARM CIRCLE SUITE # 1283
HIGHLAND, MICHIGAN, 48357
PHONE: 810-207-8050

FIELD:	KG	DATE:	04-03-2025
DRAWN:	DJS	JOB NO:	24-6720
CHECKED:	KG	SHEET:	2 OF 6
REVISED:			

Item 3.

CERTIFICATE OF SURVEY

Prepared For: HAMBURG TOWNSHIP

PARENT TRACT LEGAL DESCRIPTIONS:

PARCEL ID: 15-26-100-015

A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence N 09°00'00" E, 1.25 feet along the centerline of said Merrill Road; thence continuing along said centerline the following 3 courses: N 00°23'00" W, 1171.10 feet and N 00°42'00" E, 736.61 feet and N 01°00'00" E, 1399.11 feet; thence S 88°00'00" E, 631.57 feet to the POINT OF BEGINNING; thence N 01°00'00" E, 300.00 feet; thence S 88°00'00" E, 300.00 feet; thence S 01°00'00" W, 300.00 feet; thence N 88°00'00" W, 300 feet; to the POINT OF BEGINNING; as per Livingston County records. Containing 2.07 Acres of land. 17, T

PARCEL ID: 15-26-100-016

A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence along the centerline of said Merrill Road the following 2 courses: N 09°00'00" E, 1.25 feet and N 00°23'00" W, 1171.10 feet; thence N 00°42'00" E, 231.92 feet to the POINT OF BEGINNING; thence N 00°42'00" E, 485.76 feet; thence S 89°00'00" E, 157.34 feet; thence S 36°00'00" E, 456.64 feet; thence S 74°00'00" W, 451.21 feet to the POINT OF BEGINNING; as per Livingston County records. Containing 3.08 Acres of land.

PARCEL ID: 15-26-100-017

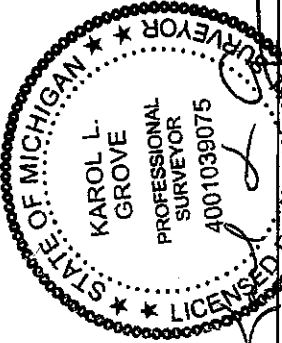
A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence along the centerline of said Merrill Road the following 2 courses: N 09°37'35" E, 1.25 feet and N 00°23'01" W, 1169.44 feet to the POINT OF BEGINNING; thence continuing along said centerline of Merrill Road the following 2 courses: N 00°23'01" W, 1.66 feet and, N 00°42'05" E, 231.92 feet; thence N 74°55'43" E, 451.21 feet; thence N 36°27'34" W, 456.64 feet; thence N 89°17'55" W, 157.34 feet; thence N 00°42'05" E, 18.93 feet; thence N 01°23'55" E, 1399.11 feet; thence S 88°21'50" E, 931.57 feet; thence N 01°38'08" E, 300.00 feet; thence N 88°21'48" W, 931.83 feet; thence N 01°44'42" E, 481.47 feet to the Southerly Right-of-Way Line of the Ann Arbor Railroad (width varies); thence along said Southerly Right-of-Way Line the following 3 courses: S 62°34'45" E, 755.98 feet and, S 27°25'15" W, 16.50 feet and, S 62°34'45" E, 2689.10 feet; thence S 48°22'07" W, 896.95 feet; thence S 32°45'46" W, 278.92 feet; thence S 37°26'22" W, 87.68 feet; thence S 40°41'28" W, 229.15 feet; thence S 52°13'41" W, 291.96 feet; thence S 56°09'08" W, 260.33 feet; thence S 78°22'44" W, 176.56 feet; thence N 64°31'38" W, 560.19 feet; thence S 67°48'46" W, 280.38 feet; thence S 88°29'05" W, 707.45 feet to the centerline of Merrill Road and the POINT OF BEGINNING; as per Livingston County records. Containing 120.5 Acres of land. 17, THE

RECEIVED

JUL 16 2025

Hamburg Township
Planning and Zoning Department

I hereby certify that I have surveyed the land herein platted and described on April 3, 2025, and that the relative positional precision of each corner is within limits accepted by the practice for Michigan Professional Surveyors, and that all of the requirements of Act No. 132, P.A. 1970 (as amended) have been complied with.



LICENSED PROFESSIONAL SURVEYOR #4001039075

376 BEECH FARM CIRCLE SUITE # 1293
HIGHLAND, MICHIGAN, 48357
PHONE: 810-207-8050

ALPINE
Land Surveying, Inc.

FIELD:	KG	DATE:	04-03-2025
DRAWN:	DJS	JOB NO:	24-6720
CHECKED:	KG	SHEET:	4 OF 6
REVISED:			

Item 3.

CERTIFICATE OF SURVEY

Prepared For: HAMBURG TOWNSHIP

New Legal Descriptions

Legal Description: PARCEL A: -4715-26-100-024

A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence along the centerline of said Merrill Road the following 6 courses: N 09°37'35" E, 1.25 feet and, N 00°23'01" W, 1169.26 feet (recorded as 1169.44 feet) and, N 00°22'48" W, 1.84 feet (recorded as N 00°23'01" W, 1.66 feet) and, N 00°42'05" E, 717.33 feet (recorded as 717.68 feet) and, N 00°42'53" E, 19.28 feet (recorded as N 00°42'05" E, 18.93 feet) and, N 01°23'55" E, 1399.11 feet to the POINT OF BEGINNING; thence continuing along the centerline of said Merrill Road N 01°35'08" E, 299.59 feet (recorded as 300.00 feet); thence S 88°21'40" E, 631.76 feet; thence S 01°37'15" W, 299.55 feet; thence N 88°21'50" W, 631.83 feet to the POINT OF BEGINNING. Containing 4.3 Acres of land and subject to all the easements and encumbrances of record.

Legal Description: PARCEL B: -4715-26-100-025

A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence along the centerline of said Merrill Road the following 7 courses: N 09°37'35" E, 1.25 feet and, N 00°23'01" W, 1169.26 feet (recorded as 1169.44 feet) and, N 00°22'48" W, 1.84 feet (recorded as N 00°23'01" W, 1.66 feet) and, N 00°42'05" E, 717.33 feet (recorded as 717.68 feet) and, N 00°42'53" E, 19.28 feet (recorded as N 00°42'05" E, 18.93 feet) and, N 01°23'55" E, 1399.11 feet and, N 01°35'08" E, 299.59 feet (recorded as 300.00 feet); thence S 88°21'40" E, 631.76 feet to the POINT OF BEGINNING; thence continuing S 88°21'40" E, 300.00 feet; thence S 01°37'15" W, 299.53 feet; thence N 88°21'50" W, 300.00 feet; thence N 01°37'15" E, 299.55 feet to the POINT OF BEGINNING. Containing 2.0 Acres of land and subject to all the easements and encumbrances of record.

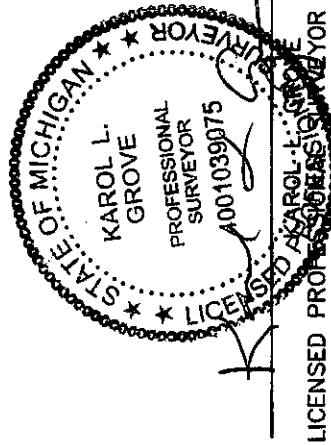
Legal Description: PARCEL C: -4715-26-100-027

A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence along the centerline of said Merrill Road the following 6 courses: N 09°37'35" E, 1.25 feet and, N 00°23'01" W, 1169.26 feet (recorded as 1169.44 feet) and, N 00°22'48" W, 1.84 feet (recorded as N 00°23'01" W, 1.66 feet) and, N 00°42'05" E, 717.33 feet (recorded as 717.68 feet) and, N 00°42'53" E, 19.28 feet (recorded as N 00°42'05" E, 18.93 feet) and, N 01°23'55" E, 1114.11 feet to the POINT OF BEGINNING; thence continuing along the centerline of said Merrill Road N 01°23'55" E, 285.00 feet; thence S 88°21'50" E, 599.98 feet; thence S 01°24'00" W, 39.49 feet; thence N 88°36'05" W, 123.00 feet; thence S 01°23'55" W, 245.00 feet; thence N 88°21'50" W, 476.98 feet to the POINT OF BEGINNING. Containing 3.2 Acres of land and subject to all the easements and encumbrances of record.

Legal Description: PARCEL D: -4715-26-100-026

A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence along the centerline of said Merrill Road the following 6 courses: N 09°37'35" E, 1.25 feet and, N 00°23'01" W, 1169.26 feet (recorded as 1169.44 feet) and, N 00°22'48" W, 1.84 feet (recorded as N 00°23'01" W, 1.66 feet) and, N 00°42'05" E, 717.33 feet (recorded as 717.68 feet) and, N 00°42'53" E, 19.28 feet (recorded as N 00°42'05" E, 18.93 feet) and, N 01°23'55" E, 1399.11 feet; thence S 88°21'50" E, 599.98 feet to the POINT OF BEGINNING; thence S 88°21'50" E, 331.59 feet; thence S 88°36'05" E, 78.41 feet; thence S 01°23'55" W, 134.54 feet; thence S 88°36'05" E, 50.00 feet; thence S 01°23'55" W, 100.00 feet; thence N 88°36'05" W, 340.00 feet; thence S 01°23'53" W, 10.00 feet; thence N 88°36'05" W, 120.00 feet; thence N 01°24'00" E, 245.91 feet to the POINT OF BEGINNING. Containing 4.3 Acres of land and subject to all the easements and encumbrances of record.

I hereby certify that I have surveyed the land herein platted and described on April 3, 2025, and that the plat is a true and correct representation of the land as surveyed and that all of the precision of each corner is within limits accepted by the practice for Michigan Professional Surveyors, and that all of the requirements of Act No. 132, P.A. 1970 (as amended) have been complied with.



ALPINE
Land Surveying, Inc.

376 BEECH FARM CIRCLE SUITE # 1293
HIGHLAND, MICHIGAN, 48357
PHONE: 810-207-8050

FIELD:	KG	DATE:	04-03-2025
DRAWN:	DJS	JOB NO:	24-6720
CHECKED:	KG	SHEET:	5 OF 6
REVISED:			

LICENSED PROFESSIONAL SURVEYOR #4001039075

Item 3.

CERTIFICATE OF SURVEY

Prepared For: HAMBURG TOWNSHIP

Legal Description: PARCEL E: 4715-26-100-029

A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence along the centerline of said Merrill Road the following 4 courses: N 09°37'35" E, 1.25 feet and N 00°23'01" W, 1169.26 feet (recorded as 1169.44 feet) and, N 00°22'48" W, 1.84 feet (recorded as N 00°23'01" W, 1.66 feet) and, N 00°42'05" E, 231.45 feet (recorded as 231.92 feet) to the POINT OF BEGINNING; thence continuing N 00°42'05" E, 485.88 feet along the said centerline of Merrill Road; thence S 89°22'46" E, 251.11 feet; thence S 34°21'48" E, 422.97 feet; thence S 74°55'43" W, 518.56 feet to the POINT OF BEGINNING. Containing 3.75 Acres of land and subject to all the easements and encumbrances of record.

Legal Description: PARCEL F: 4715-26-100-028

A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence along the centerline of said Merrill Road the following 2 courses: N 09°37'35" E, 1.25 feet and N 00°23'01" W, 1169.26 feet (recorded as 1169.44 feet) to the POINT OF BEGINNING; thence continuing along said centerline of Merrill Road the following 2 courses: N 00°22'48" W, 1.84 feet (recorded as N 00°23'01" W, 1.66 feet) and, N 00°42'05" E, 231.45 feet (recorded as 231.92 feet); thence N 74°55'43" E, 518.56 feet; thence N 34°21'48" W, 422.97 feet; thence N 89°22'46" W, 251.11 feet to the said centerline of Merrill Road; thence continuing along said centerline of Merrill Road the following 2 courses: N 00°42'53" E, 19.28 feet (recorded as N 00°42'05" E, 18.93 feet); thence N 01°23'55" E, 1114.11 feet; thence S 88°21'50" E, 476.98 feet; thence N 01°23'55" E, 245.00 feet; thence S 88°36'05" E, 123.00 feet; thence S 01°24'00" W, 206.42 feet; thence S 88°36'05" E, 120.00 feet; thence N 01°23'53" E, 10.00 feet; thence S 88°36'05" E, 340.00 feet; thence N 01°23'55" E, 100.00 feet; thence N 88°36'05" W, 50.00 feet; thence N 01°23'55" E, 134.54 feet; thence N 88°36'05" W, 78.41 feet; thence N 01°37'15" E, 299.53 feet; thence N 88°21'40" W, 931.76 feet to the said centerline of Merrill Road; thence continuing along said centerline of Merrill Road, N 01°44'42" E, 481.44 feet (recorded as 481.47 feet) to the Southerly Right-of-Way Line of the Ann Arbor Railroad (width varies); thence along said Southerly Right-of-Way Line the following 3 courses: S 62°36'40" E (recorded as S 62°34'45" E), 755.98 feet and, S 29°45'10" E, 16.53 feet (recorded as S 27°25'15" E, 16.50 feet) and, S 62°34'45" E, 2689.10 feet; thence S 48°22'07" W, 896.95 feet; thence S 32°45'46" W, 278.92 feet; thence S 37°26'22" W, 87.68 feet; thence S 40°41'28" W, 229.15 feet; thence S 52°13'41" W, 291.96 feet; thence S 56°09'08" W, 260.33 feet; thence S 78°22'44" W, 176.56 feet; thence N 64°31'38" W, 560.19 feet; thence S 67°48'46" W, 280.38 feet; thence S 88°29'05" W, 707.45 feet to the centerline of Merrill Road and the POINT OF BEGINNING. Containing 114.2 Acres of land and subject to all the easements and encumbrances of record.

WITNESSES:

SOUTHWEST CORNER, SECTION 26

T1N-R5E

FND REMON DISC 1.5' DEEP 5' SOUTH OF SOUTH EDGE ASPHALT PAVEMENT STRAWBERRY LAKE ROAD

S 70° W, 36.90' FND SPIKE ON THE NORTH SIDE POWER POLE

N 55° W, 77.72' FND SPIKE ON THE SOUTH SIDE 30" LOCUST

S 16° E, 71.20' NE CORNER HOUSE #5980

N 20° W, 40.13' FND SURVEY IRON PIPE

SOUTH 1/4 CORNER, SECTION 26

T1N-R5E

FND REMON DISC IN WEST BASE 36' OAK

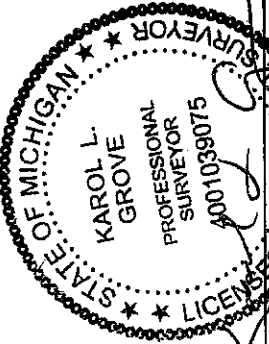
S 13° E, 21.43' SET NAIL & TAG #39075 ON THE WEST SIDE OF 18" OAK

N 4° E, 1.42' SET NAIL & TAG #39075 ON THE NORTHWEST SIDE OF 36" OAK

S 70° E, 27.85' SET NAIL & TAG #39075 ON THE SOUTH SIDE OF 24" OAK

N 89° W, 46.76' SET NAIL & TAG #39075 ON SOUTH SIDE 18" HICKORY

I hereby certify that I have surveyed the land herein platted and described on April 3, 2025, and that the relative positional precision of each corner is within limits accepted by the practice for Michigan Professional Surveyors, and that all of the requirements of Act No. 132, P.A. 1970 (as amended) have been complied with.



LICENSED PROFESSIONAL SURVEYOR #4001039075

RECEIVED

JUL 16 2025

Hamburg Township
Planning and Zoning Department

376 BEECH FARM CIRCLE SUITE # 1293
HIGHLAND, MICHIGAN, 48357
PHONE: 810-207-8050

ALPINE
Land Surveying, Inc.

FIELD:	KG	DATE:	04-03-2025
DRAWN:	DJS	JOB NO:	24-6720
CHECKED:	KG	SHEET:	6 OF 6
REVISED:			

Item 3.

Supervisor Jason Negri **Clerk** Mike Dolan **Treasurer** Jennifer Daniels **Trustees** Joanna Hardesty, Patricia Hughes, Chuck Menzies, Nick Miller

To: Planning Commission

From: David Rohr

Date: November 19, 2025

RE: Village Center Master Plan Working Group

The Planning Commission tasked a small working group to review the Village Center Master Plan and return a recommendation to the Planning Commission. The working group met three times from September to October. The working group reviewed the Village Center plan in great detail and discussed many issues and ideas, with the consensus being no changes being necessary at this time.

At the conclusion of their work, the working group recommends no changes to the Village Center Master Plan at this time.

Respectfully,

David Rohr,
Planning and Zoning Director