

**Supervisor** Jason Negri **Clerk** Mike Dolan **Treasurer** Jennifer Daniels **Trustees** Chuck Menzies, Patricia Hughes, Nick Miller, Joanna Hardesty

## **BOARD OF TRUSTEES REGULAR MEETING**

**Tuesday, December 02, 2025 at 2:30 PM**  
**Hamburg Township Hall Board Room**

### **AGENDA**

#### **CALL TO ORDER**

#### **PLEDGE TO THE FLAG**

#### **ROLL CALL OF THE BOARD**

#### **CALL TO THE PUBLIC**

#### **CONSENT AGENDA**

1. 11-12-2025 Special Meeting Minutes
2. 11-18-2025 Work-Study Meeting Minutes
3. 11-18-2025 Regular Meeting Minutes
4. Bills List(s) 12.02.2025
5. Public Information: Draft 2026 Livingston County Master Plan (63-day review period)

#### **APPROVAL OF THE AGENDA**

#### **UNFINISHED BUSINESS**

6. Plante & Moran - Audit Report
7. Hamburg Fireworks Ordinance
8. Administrative Policies & Procedures

#### **CURRENT BUSINESS**

9. Annual Firefighter Physicals
10. Aquatic Plant Herbicide Treatment Contractor Renewal for Hamburg Aquatic Weed Control SAD
11. Amendment to Final Site Plan PMSP25-0001 The Crossing at Lakelands Trail
12. Gym Membership Reimbursement
13. Library Shared Maintenance Agreement
14. Agreement with AFF - revised
15. Township of Excellence
16. 2026 Committee Meeting Schedule
17. Road Millage renewal language
18. Breach of Peace ordinance revisions

#### **CALL TO THE PUBLIC**

#### **BOARD COMMENTS**



## ADJOURNMENT



10405 Merrill Road  
P.O. Box 157  
Hamburg, MI 48139  
(810) 231-1000  
[www.hamburg.mi.us](http://www.hamburg.mi.us)

**Supervisor** Jason Negri **Clerk** Mike Dolan **Treasurer** Jennifer Daniels **Trustees** Chuck Menzies, Patricia Hughes, Nick Miller, Joanna Hardesty

## BOARD OF TRUSTEES SPECIAL MEETING

Wednesday, November 12, 2025 at 3:00 PM  
Hamburg Township Hall Board Room

### MINUTES

#### CALL TO ORDER

Negri called the meeting to order at 3:02 pm

#### PLEDGE TO THE FLAG

#### ROLL CALL OF THE BOARD

##### PRESENT

Jason Negri  
Mike Dolan  
Jennifer Daniels  
Joanna Hardesty  
Patricia Hughes  
Chuck Menzies  
Nick Miller

#### CALL TO THE PUBLIC

A call was made with no response.

#### CONSENT AGENDA

Motion made by Dolan, Seconded by Hardesty, to approve the Consent Agenda as presented.

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

1. Email from Cindy Michniewicz

#### APPROVAL OF THE AGENDA

Motion made by Dolan, Seconded by Hardesty, to approve the Agenda with the addition of the Administrative Policies and Procedures.

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

**UNFINISHED BUSINESS**

None.

**CURRENT BUSINESS**

2. Closed Session - Discuss Legal opinion MCL 15.268(h) and MCL 15.243(1)(g)

Motion made by Dolan, Seconded by Hardesty, to go into Closed Session to discuss a written opinion from Township Counsel regarding MCL 15.268(h) and MCL 15.243(1)(g).

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

Closed Session started 3:05 pm

Closed Session ended 4:12 pm

No Action taken

3. Personnel Committee By-Laws

Motion made by Dolan, Seconded by Miller, to table the Personnel Committee By-Laws.

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

4. Fire Department Invoice

Discussion Only - No Action Taken.

5. Emergency Sewer Repair - Hamburg Rd. Pump Station

Discussion Only - No Action Taken.

6. Regular Board Meeting Schedule Update

Motion made by Dolan, Seconded by Hardesty, to approve the Regular Board Meeting Schedule with the changes presented, moving November 18, 2025 Work-Study Meeting to 5:00 pm and moving January 6, 2026 at 2:30 to January 8, 2026 at 2:30 and the packet to be sent out by January 5.

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

Added at the Table – Administrative Policies and Procedures Manual

Motion made by Dolan, Seconded by Hardesty, to table the Administrative Policies and Procedures Manual.

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

**CALL TO THE PUBLIC**

A call was made with no response.

**BOARD COMMENTS**

**ADJOURNMENT**

Motion made by Miller, Seconded by Hughes, to adjourn.

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

Meeting Adjourned at 4:37 pm

Respectfully submitted,



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Mike Dolan  
Township Clerk



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P.O. Box 157  
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## **TOWNSHIP BOARD WORK-STUDY SESSION**

**Tuesday, November 18, 2025 at 5:00 PM**  
**Hamburg Township Hall Board Room**

### **MINUTES**

#### **CALL TO ORDER**

Negri called the meeting to order at 5:04

#### **PLEDGE TO THE FLAG**

#### **ROLL CALL OF THE BOARD**

##### **PRESENT**

Jason Negri  
Mike Dolan  
Jennifer Daniels  
Joanna Hardesty  
Patricia Hughes  
Chuck Menzies  
Nick Miller

#### **CALL TO THE PUBLIC**

A call was made with no response.

#### **CONSENT AGENDA**

None.

#### **APPROVAL OF THE AGENDA**

Motion made by Hughes, Seconded by Hardesty, to approve the Agenda as presented.

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

## UNFINISHED BUSINESS

### 1. Township Hall Capital Improvements

Discussion was had about Township Hall Capital Improvement.

### 2. Administrative Policies & Procedure Manual

Discussion and edits were made to the APPM.

## CURRENT BUSINESS

### CALL TO THE PUBLIC

A call was made with no response.

### BOARD COMMENTS

### ADJOURNMENT

Motion made by Menzies, Seconded by Miller, to adjourn.

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

Meeting Adjourned at 6:48 pm

Respectfully submitted,



Courtney Paton  
Recording Secretary



Mike Dolan  
Township Clerk



10405 Merrill Road  
P.O. Box 157  
Hamburg, MI 48139  
(810) 231-1000  
[www.hamburg.mi.us](http://www.hamburg.mi.us)

**Supervisor** Jason Negri **Clerk** Mike Dolan **Treasurer** Jennifer Daniels **Trustees** Chuck Menzies, Patricia Hughes, Nick Miller, Joanna Hardesty

## BOARD OF TRUSTEES REGULAR MEETING

**Tuesday, November 18, 2025 at 7:00 PM**  
**Hamburg Township Hall Board Room**

### MINUTES

#### CALL TO ORDER

Negri called the meeting to order at 7:00 pm

#### PLEDGE TO THE FLAG

#### ROLL CALL OF THE BOARD

#### PRESENT

Jason Negri  
Mike Dolan  
Jennifer Daniels  
Joanna Hardesty  
Patricia Hughes  
Chuck Menzies  
Nick Miller

#### CALL TO THE PUBLIC

Jay Grusin, 6224 Cowell Rd, discussed his concerns for an law firm agreement.

#### CONSENT AGENDA

Motion made by Hardesty, Seconded by Menzies, to approve the consent agenda.

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

1. Bills List(s) 11.18.2025
2. 11-4-2025 Work Study Meeting Minutes
3. 11-4-2025 Regular Meeting Minutes
4. Closed Session Meeting Minutes 11/12/2025
5. Approved MUC Meeting Minutes - October 14, 2025
6. DPW Monthly Report - October 2025

7. Public Safety Monthly Report October, 2025

**APPROVAL OF THE AGENDA**

Motion made by Hardesty, Seconded by Dolan, to amend the agenda with the removal of Administrative Policies & Procedures and Flooring Purchase, and the addition of Close Session.

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

**UNFINISHED BUSINESS**

8. Administrative Policy & Procedures  
Tabled.

**CURRENT BUSINESS**

9. Finance Control Book AUG 2025

Motion made by Daniels, Seconded by Hardesty, to receive, file and publish the Finance Control Book for August 2025.

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

10. Finance Control Book SEPT 2025

Motion made by Daniels, Seconded by Hardesty, to receive, file and publish the Finance Control Book for September 2025.

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

11. Videographer Position

Motion made by Negri, Seconded by Menzies, to approve the hiring of a videographer to record Township meetings at a rate of \$23.82 per hour, with a two hour minimum per meeting.

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

12. Flooring Purchase

Tabled.

Added at Table – Closed Session – Fire Union Contract Negotiations Update

Motion made by Dolan, Seconded by Miller, to go into Closed Session to discuss Fire Union Contract Negotiations.

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

Closed Session began 7:10 pm



Open Session began 7:49 pm

Motion by Negri, Seconded by Miller, to proceed as discussed.

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

#### CALL TO THE PUBLIC

A call was made with no response.

#### BOARD COMMENTS

#### ADJOURNMENT

Motion made by Negri, Seconded by Hardesty, to adjourn.

Voting Yea: Negri, Dolan, Daniels, Hardesty, Hughes, Menzies, Miller

Meeting Adjourned at 8:03 pm

Respectfully submitted,



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Courtney Paton  
Recording Secretary



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Mike Dolan  
Township Clerk

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Due Date	Amount	check #
Fund 101 General Fund							
Dept 000.000							
101-000.000-073.002	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	164.86	
101-000.000-073.004	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	25.00	
101-000.000-231.420	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0002-000 12/01-12/31/202	11242025	12/02/25	2,119.74	
101-000.000-231.500	11/19/25	MUNICIPAL EMPLOYEE'S RETIRE-	2025-11	00173298-4	12/02/25	11,319.38	
101-000.000-231.500	10/15/25	MUNICIPAL EMPLOYEE'S RETIRE-	2025-09	00172264-2	12/02/25	(4,141.70)	
101-000.000-231.500	11/19/25	MUNICIPAL EMPLOYEE'S RETIRE-	2025-04	00172136-06-A	12/02/25	(196.27)	
101-000.000-231.500	10/09/25	MUNICIPAL EMPLOYEE'S RETIRE-	2024-03	00172136-04-A	12/02/25	(192.25)	
101-000.000-231.500	10/09/25	MUNICIPAL EMPLOYEE'S RETIRE-	2025-03	00172136-05-A	12/02/25	(111.27)	
101-000.000-239.000	11/20/25	ALPINE FLORIST AND GIFTS, INC.	OCT B-DAYS -AUG & SEPT PD 11/04 CK	017475	12/02/25	47.50	
101-000.000-239.000	11/25/25	ASPEN JENDRUSIK	SEN CTR SOUND SYSTEM INSTALLATION	00012	12/02/25	50.00	
101-000.000-279.985	11/19/25	IMEG CONSULTANTS CORP	ZUKEY DR & REDDING DR ROAD IMP THRO	23008696.06-2	12/02/25	390.00	
Total For Dept 000.000						9,474.99	
Dept 101.000 Township Board							
101-101.000-826.000	11/13/25	ROSATI, SCHULTZ, JOPPICH &	MARY ANN & STEVEN LAMKING	1084592	12/02/25	4,272.50	
101-101.000-826.000	11/13/25	ROSATI, SCHULTZ, JOPPICH &	MICHIGAN TAX TRIBUNAL MARY ANN LAMK	1084529	12/02/25	680.00	
101-101.000-826.000	11/13/25	ROSATI, SCHULTZ, JOPPICH &	LABOR & EMPLOYMENT LAW	1084591	12/02/25	1,764.00	
101-101.000-955.000	11/06/25	RJV ENTERPRISES, INC.	FOOD-VARIOUS MEETINGS/EVENTS	11062025	12/02/25	73.68	
Total For Dept 101.000 Township Board						6,790.18	
Dept 171.000 Township Supervisor							
101-171.000-725.100	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	262.29	
101-171.000-725.200	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	38.28	
101-171.000-955.000	11/06/25	RJV ENTERPRISES, INC.	FOOD-VARIOUS MEETINGS/EVENTS	11062025	12/02/25	85.84	
Total For Dept 171.000 Township Supervisor						386.41	
Dept 201.000 ACCOUNTING							
101-201.000-725.100	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	119.23	
101-201.000-725.200	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	18.75	
Total For Dept 201.000 ACCOUNTING						137.98	
Dept 215.000 CLERK'S OFFICE							
101-215.000-725.100	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	83.75	
101-215.000-725.200	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	12.81	
Total For Dept 215.000 CLERK'S OFFICE						96.56	
Dept 228.000 TECHNICAL/UTILITIES SERVICES							
101-228.000-725.100	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	59.45	
101-228.000-725.200	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	8.75	
Total For Dept 228.000 TECHNICAL/UTILITIES SERVICES						68.20	
Dept 229.000 COMPUTER/CABLE							
101-229.000-933.000	11/12/25	ENVIRONMENTAL SYSTEMS RESEARCH	ARCGIS DESKTOP ADV CONCURRENT USE P	900134251	12/02/25	5,915.00	
Total For Dept 229.000 COMPUTER/CABLE						5,915.00	
Dept 253.000 Treasurer							
101-253.000-725.100	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	81.53	
101-253.000-725.200	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	12.50	
Total For Dept 253.000 Treasurer						94.03	
Dept 257.000 Assessing							
101-257.000-801.000	11/19/25	WCA ASSESSING LLC	ASSESSMENT SERVICES DECEMBER 2025	11192025	12/02/25	24,202.50	
Total For Dept 257.000 Assessing						24,202.50	

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Due Date	Amount	check #
Fund 101 General Fund							
Dept 262.000 Elections							
101-262.000-725.100	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	46.96	
101-262.000-725.200	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	7.81	
101-262.000-955.000	11/06/25	RJV ENTERPRISES, INC.	FOOD-VARIOUS MEETINGS/EVENTS	11062025	12/02/25	123.94	
Total For Dept 262.000 Elections						178.71	
Dept 265.000 Township Buildings							
101-265.000-725.100	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	67.00	
101-265.000-725.200	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	12.35	
101-265.000-752.000	09/11/25	WARD'S EQUIPMENT RENTAL, LLC	B&G LAWN EDGER REPAIR	6402	12/02/25	67.65	
101-265.000-758.000	11/11/25	CORRIGAN TOWING	DYED ULTRA LOW SULFUR MIX (217.9 GA	8530132-IN	12/02/25	247.49	
101-265.000-759.000	11/23/25	WEX BANK	TWP FUEL 10/24-11/23/2025	108770969	12/02/25	383.47	
101-265.000-801.000	11/04/25	JAYS ASSURED PEST CONTROL LLC	MONTHLY SERVICE NOV 2025	8121	12/02/25	36.00	
101-265.000-919.000	11/04/25	WM CORPORATE SERVICES, INC.	10/01/25-10/31/25	0137186-1389-9	12/02/25	90.40	
101-265.000-921.000	11/07/25	CONSUMERS ENERGY	1030 4914 3862 10405 MERRILL 10/10	202967091160	12/05/25	282.28	
101-265.000-921.000	11/07/25	CONSUMERS ENERGY	1030 4914 1122 10675 MERRILL 10/10-	202967091155	12/05/25	40.41	
101-265.000-921.000	11/07/25	CONSUMERS ENERGY	1030 4914 1155 10675 MERRILL RD 10/	202967091157	12/05/25	86.35	
101-265.000-930.000	11/20/25	ARMOREX	TWP SUPPLIES	0000043287	12/02/25	368.76	
101-265.000-930.000	11/13/25	BJ'S HEATING & COOLING, INC	TWP FURNCAE REMOVE AND UNBLOCK FLUE	133126	12/02/25	532.00	
101-265.000-930.000	11/18/25	MYERS GROUP ENTERPRISES LLC	FURNISH AND DELIVER 44.36 TONS BULK	2552	12/02/25	635.83	
101-265.000-930.008	11/18/25	MYERS GROUP ENTERPRISES LLC	FURNISH AND DELIVER 44.36 TONS BULK	2552	12/02/25	635.82	
101-265.000-931.000	11/19/25	ADVANCE AUTO PARTS	B7G FRAM ANT DEX 50/50	2749-532324	12/02/25	27.98	
101-265.000-931.000	10/24/25	BOULLION SALES, INC.	B&G KUBOTA CONNECTOR KIT	100-6107	12/02/25	207.44	
101-265.000-931.000	11/18/25	BOULLION SALES, INC.	B&G OIL FILTER/INNER AIR FILTER/OUT	100-73590	12/02/25	81.43	
101-265.000-931.000	11/13/25	BOULLION SALES, INC.	B&G CENTER PIN OFF/ PLOW RATTLE REP.	100-17997	12/02/25	395.44	
101-265.000-931.000	11/17/25	CARLETON EQUIPMENT	B&G MINI EXCAVATOR	08-744797	12/02/25	704.57	
101-265.000-931.000	11/12/25	HUTSON, INC.	B&G JOHN DEERE 1575	11093810	12/02/25	725.93	
101-265.000-931.000	11/20/25	ROAD RUNNER TIRE	B& G JOHN DEERE 1575 REAR TIRES	3938	12/02/25	245.00	
Total For Dept 265.000 Township Buildings						5,873.60	
Dept 275.000 OTHER EXPENSES							
101-275.000-752.000	11/13/25	APPLIED INNOVATION	CONTRACT BASE RATE 11/12-12/11/25	2985777	12/02/25	728.99	
101-275.000-752.000	11/05/25	TOSHIBA BUSINESS SOLUTIONS	CPC BILLING 10/06-11/05/25	6700078	12/02/25	43.75	
101-275.000-759.000	11/23/25	WEX BANK	TWP FUEL 10/24-11/23/2025	108770969	12/02/25	217.53	
101-275.000-932.000	11/24/25	HAAS TRANSMISSION SERVICE, INC	TWP 2014 FORD EXPLORER 75193-TRANSM	62763	12/02/25	2,500.00	
101-275.000-960.000	11/20/25	BIG PDQ	FOIA BLUEPRINTS (4)	293600	12/02/25	13.00	
Total For Dept 275.000 OTHER EXPENSES						3,503.27	
Dept 448.000 Street Lighting							
101-448.000-926.000	10/31/25	DTE ENERGY - STREET LIGHTS	9100 4056 2340 STREET LIGHTS 10/01-	11062025	12/10/25	1,717.71	
Total For Dept 448.000 Street Lighting						1,717.71	
Dept 567.000 CEMETERY							
101-567.000-801.000	11/24/25	A2Z LAWN SERVICES, LLC	FALL YARD CLEAN-UP PLACEWAY/NORTH H.	004116	12/02/25	3,890.00	
101-567.000-930.000	11/06/25	HIGHLAND TIMBER FRAMING LLC	TRIMMING SOUTH HAMBURG CEMETERY	202511065HCI	12/02/25	2,250.00	
101-567.000-930.000	11/06/25	HIGHLAND TIMBER FRAMING LLC	REMOVE LG ROTTED MAPLE, GRING STUMP	20251106SHC2	12/02/25	4,625.00	
101-567.000-930.000	11/06/25	HIGHLAND TIMBER FRAMING LLC	REMOVE CEDAT TREE, GRIND STUMP PLAC	20251106PC1	12/02/25	925.00	
Total For Dept 567.000 CEMETERY						11,690.00	
Dept 702.000 PLANNING AND ZONING							
101-702.000-725.100	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	77.50	
101-702.000-725.200	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	12.50	
101-702.000-826.000	11/13/25	ROSATI, SCHULTZ, JOPPICH &	GRACE & DAVID GRIESE PLAT AMMENDMEN'	1084590	12/02/25	204.00	
Total For Dept 702.000 PLANNING AND ZONING						294.00	

GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Due Date	Amount	check #
Fund 101 General Fund							
Dept 703.000 LAKES, RIVERS & STREAMS							
101-703.000-967.000	11/07/25	LIVINGSTON CO. DRAIN COMMISSIO	PHASE II IMPLEMENTATION-LIV CO WATE	4050	12/02/25	554.13	
Total For Dept 703.000 LAKES, RIVERS & STREAMS						554.13	
Dept 751.000 Recreation Board							
101-751.000-725.100	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	26.56	
101-751.000-725.200	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	4.38	
101-751.000-758.000	11/11/25	CORRIGAN TOWING	DYED ULTRA LOW SULFUR MIX (217.9 GA	8530132-IN	12/02/25	247.51	
101-751.000-919.000	11/04/25	WM CORPORATE SERVICES, INC.	10/01/25-10/31/25	0137186-1389-9	12/02/25	143.77	
101-751.000-943.001	11/10/25	CLASSIC TENT & EVENT LLC	CHRISTMAS IN THE VILLAGE TENT/LIGHT	24817	12/02/25	5,510.62	
101-751.000-943.001	10/23/25	LABADIE FARM LLC	CHRISTMAS IN THE VILLAGE-NATIVITY A	20219	12/02/25	425.00	
101-751.000-955.000	11/06/25	RJV ENTERPRISES, INC.	FOOD-VARIOUS MEETINGS/EVENTS	11062025	12/02/25	310.07	
101-751.000-975.300	11/18/25	SPICER GROUP, INC.	PROF SERVICES THROUGH 11.15.25 HAMB	242071	12/02/25	11,746.00	
101-751.000-980.000	11/20/25	L.J. CONSTRUCTION, INC.	MANLEY BENNETT PARK ADD'L 5' WIDE S	22010240	12/02/25	1,942.52	
Total For Dept 751.000 Recreation Board						20,356.43	
Dept 800.000 LAKE LAND TRAIL							
101-800.000-938.000	11/11/25	CORRIGAN TOWING	DYED ULTRA LOW SULFUR MIX (217.9 GA	8530132-IN	12/02/25	247.49	
101-800.000-938.000	11/20/25	N. A. MANS & SONS, INC.	TREATED #2 LUMBER (20)	3222930	12/02/25	1,155.20	
Total For Dept 800.000 LAKE LAND TRAIL						1,402.69	
Dept 820.000 SENIOR CENTER							
101-820.000-725.100	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	39.13	
101-820.000-725.200	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	6.25	
101-820.000-801.000	11/04/25	JAYS ASSURED PEST CONTROL LLC	MONTHLY SERVICE NOV 2025	8121	12/02/25	36.00	
101-820.000-853.000	11/22/25	CHARTER COMMUNICATIONS	SEN CTR 11/22-12/21/2025	0103913112225	12/09/25	208.63	
101-820.000-900.200	11/17/25	APPLIED INNOVATION	SEN CTR CONTRACT BASE 11/21-12/20/2	2988565	12/02/25	256.36	
101-820.000-919.000	11/04/25	WM CORPORATE SERVICES, INC.	10/01/25-10/31/25	0137186-1389-9	12/02/25	130.47	
101-820.000-921.000	11/07/25	CONSUMERS ENERGY	1030 4914 0694 10407 MERRILL 10/10-	202967091154	12/05/25	139.24	
101-820.000-930.001	11/20/25	ARMOREX	SEN CTR SUPPLIES	0000043286	12/02/25	464.17	
101-820.000-930.001	11/25/25	ARMOREX	SEN CTR SUPPLIES	0000043362	12/02/25	112.76	
101-820.000-930.001	11/18/25	MYERS GROUP ENTERPRISES LLC	FURNISH AND DELIVER 44.36 TONS BULK	2552	12/02/25	635.83	
Total For Dept 820.000 SENIOR CENTER						2,028.84	
Total For Fund 101 General Fund						94,765.23	
Fund 206 Fire Fund							
Dept 000.000							
206-000.000-725.100	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	639.88	
206-000.000-725.200	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	92.50	
206-000.000-752.000	10/14/25	AUTOZONE INC	FD - GLASS CLEANER AND KIT #0432062	04320626222	12/02/25	20.35	
206-000.000-754.000	11/20/25	MOBILE COMMUNICATIONS AMERICA	FD - MOTOROLA TIER 7 DEPOT REPAIR R	398001663-1	12/02/25	802.00	
206-000.000-768.000	11/17/25	J. J. JINKLEHEIMER & CO. INC.	FD - UNIFORM CAPS AND EMBROIDERY #9	96545	12/02/25	506.25	
206-000.000-853.000	11/11/25	AT&T MOBILITY	PD/FD CELL PHONE CHARGES OCT 12 - N	287318496818X112	12/04/25	189.94	
206-000.000-919.000	11/04/25	WM CORPORATE SERVICES, INC.	10/01/25-10/31/25	0137186-1389-9	12/02/25	212.24	
206-000.000-920.100	11/19/25	DTE ENERGY	9200 279 0884 6 7201 WINANS LAKE 10	11242025	12/11/25	22.02	
206-000.000-920.100	11/19/25	DTE ENERGY	9200 279 0885 3 2952 SHEHAN RD 10/2	11242025	12/11/25	22.02	
206-000.000-920.100	11/20/25	DTE ENERGY	9100 167 2020 3 7701 HAMBURG 10/23-	11242025	12/12/25	23.34	
206-000.000-921.000	11/06/25	CONSUMERS ENERGY	1000 3979 7285 10100 VETERANS MEM 1	205191825654	12/04/25	330.67	
206-000.000-921.000	11/10/25	CONSUMERS ENERGY	1030 4914 0645 3666 E. M-36 10/14-1	202967091153	12/05/25	374.72	
206-000.000-930.003	11/19/25	LAKE LAND ACE HARDWARE, INC.	FD - MOP SINK HOSE FOR STA 11 #1415	14154	12/02/25	23.99	
206-000.000-930.003	11/18/25	MYERS GROUP ENTERPRISES LLC	FURNISH AND DELIVER 44.36 TONS BULK	2552	12/02/25	1,271.65	
206-000.000-930.003	11/24/25	RESCOM DOOR LLC	FD - STA 11 2 NE DOORS REPAIR #6909	6909	12/02/25	295.00	
206-000.000-931.000	11/12/25	GREAT LAKES BREATHING AIR	FD - HAMBURG FD BREATHING COMPRESSO	1231	12/02/25	821.12	

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Fund 206 Fire Fund							
Dept 000.000							
206-000.000-932.000	10/31/25	BOB MAXEY FORD OF HOWELL, INC.	FD UTIL 11 VEH MAIN 11 FOR F-350 80	303151	12/02/25	768.12	
206-000.000-958.000	11/24/25	MICHIGAN STATE FIREMEN'S AS-	FD - MI STATE FIREMEN'S ASSOC 2026	11242025	12/02/25	100.00	
Total For Dept 000.000						6,515.81	
Total For Fund 206 Fire Fund						6,515.81	
Fund 207 Police Fund							
Dept 000.000							
207-000.000-716.000	11/19/25	MUNICIPAL EMPLOYEE'S RETIRE-	2025-11	00173298-4	12/02/25	38,758.95	
207-000.000-725.100	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	319.20	
207-000.000-725.200	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	102.81	
207-000.000-752.000	11/14/25	IMAGE BUSINESS SOLUTIONS, INC	COVERAGE 10/09-11/08/25	293253	12/02/25	66.79	
207-000.000-752.000	11/25/25	OFFICE EXPRESS, INC.	PD COPY PAPER (4)	582351	12/02/25	295.80	
207-000.000-768.000	11/10/25	HURON VALLEY GUNS, LLC	PD UNIFORM PANTS - STOEHR	253590	12/02/25	189.98	
207-000.000-768.000	11/13/25	HURON VALLEY GUNS, LLC	PD UNIFORM SHIRT & ALTERATIONS FOR	253953	12/02/25	320.97	
207-000.000-801.000	11/04/25	JAYS ASSURED PEST CONTROL LLC	MONTHLY SERVICE NOV 2025	8121	12/02/25	85.00	
207-000.000-801.000	11/04/25	WM CORPORATE SERVICES, INC.	10/01/25-10/31/25	0137186-1389-9	12/02/25	124.34	
207-000.000-826.000	11/13/25	ROSATI, SCHULTZ, JOPPICH &	DISTRICT COURT PROSECUTIONS	1084594	12/02/25	1,526.00	
207-000.000-826.000	11/13/25	ROSATI, SCHULTZ, JOPPICH &	GENERAL MATTERS BERG	1084589	12/02/25	68.00	
207-000.000-853.000	11/11/25	AT&T MOBILITY	PD NEGOT TEAM BRIC BALL SIM CARD SE	287348028837X112	12/04/25	127.22	
207-000.000-853.000	11/11/25	AT&T MOBILITY	PD/FD CELL PHONE CHARGES OCT 12 - N	287318496818X112	12/04/25	597.50	
207-000.000-916.000	11/17/25	DEWOLF & ASSOCIATES	PD FTO BASIC - KOZOWICZ	4069	12/02/25	845.00	
207-000.000-921.000	11/07/25	CONSUMERS ENERGY	1030 4914 2971 10405 MERRILL RD 10/	202967091159	12/05/25	176.08	
207-000.000-930.002	11/21/25	MASTERCRAFT PLUMBING INC.	PD REPAIRED THE SEWER LINE	32133	12/02/25	1,895.00	
207-000.000-930.002	11/18/25	MYERS GROUP ENTERPRISES LLC	FURNISH AND DELIVER 44.36 TONS BULK	2552	12/02/25	635.83	
207-000.000-932.000	11/17/25	CAPITAL TIRE INC.	PD4 TIRES #203324 (4) 215/70R15	1060207813	12/02/25	247.96	
207-000.000-932.000	11/18/25	CAPITAL TIRE INC.	PD 8 TIRES-WRANGLER WORKHORSE 265/6	1060208084	12/02/25	1,338.36	
207-000.000-932.000	11/13/25	CRUISERS, INC.	PD SMART FOBS PROGRAMMED & CUT 700	48583	12/02/25	1,800.00	
207-000.000-932.000	11/18/25	GENESIS CDJR OF PINCKNEY LLC	PD REPLACE 4 TIRES 2003 CHEV VENTUR	509227	12/02/25	110.00	
207-000.000-932.000	11/14/25	GENESIS CDJR OF PINCKNEY LLC	PD 2021 DODGE DURANGO VEH MAINT 257	509052	12/02/25	1,847.52	
207-000.000-932.000	11/14/25	GENESIS CDJR OF PINCKNEY LLC	PD 2021 DODGE DURANGO VEH MAINT 257	509155	12/02/25	87.55	
207-000.000-932.000	11/24/25	MOTOROLA SOLUTIONS INC.	PD PREP MICS	8282242498	12/02/25	245.77	
207-000.000-933.000	11/06/25	MOTOROLA SOLUTIONS INC.	PD VIDEOMGR EL, BWC ANNUAL LICENSE	1411215435	12/02/25	360.38	
207-000.000-933.000	11/09/25	MOTOROLA SOLUTIONS INC.	PD VIDEOMGR EL, BWC ANNUAL LICENSE	1411216013	12/02/25	289.62	
207-000.000-980.000	11/19/25	AMTEC LESS LETHAL SYSTEMS	PD - QUOTE 06016709 LESS LETHAL SYS	049907	12/02/25	2,895.77	
Total For Dept 000.000						55,357.40	
Total For Fund 207 Police Fund						55,357.40	
Fund 590 SEWER FUND							
Dept 527.000 SEWER OPERATING							
590-527.000-725.100	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	561.31	
590-527.000-725.200	11/18/25	AMERICAN UNITED LIFE INSURANCE	G 00617291-0001-000 12/01-12/31/202	11242025	12/02/25	51.56	
590-527.000-752.000	11/11/25	K/E ELECTRIC SUPPLY CORPORATI	(DPW BRACKETS/SPRING NUT/POST BASE/C	1553541	12/02/25	93.71	
590-527.000-752.000	11/12/25	K/E ELECTRIC SUPPLY CORPORATI	(DPW POST BASE SQUARPWR	1553784	12/02/25	28.64	
590-527.000-752.000	11/12/25	K/E ELECTRIC SUPPLY CORPORATI	(DPW SPRING NUT	1553785	12/02/25	9.34	
590-527.000-752.000	11/04/25	SAFETY-KLEEN SYSTEMS, INC.	DPW PARTS WASHER SOLVENT	98468566	12/02/25	349.59	
590-527.000-752.000	11/06/25	SEILER INSTRUMENT AND MANUFAC	DPW FIELD MAPS BUNDLE	INV65713	12/02/25	750.00	
590-527.000-759.000	11/23/25	WEX BANK	TWP FUEL 10/24-11/23/2025	108770969	12/02/25	936.01	
590-527.000-851.000	10/31/25	KCI	RST BILL/CYCLE CHANGE	352103	12/02/25	730.79	
590-527.000-910.000	11/12/25	MICHIGAN RURAL WATER ASSOCIAT	DPW WASTEWATER COLLECTION SYSTEM MA	2020-15983	12/02/25	285.00	
590-527.000-920.000	10/27/25	DTE ENERGY	9100 160 2723 7 4320 CORDLEY LK RD	11112025	11/19/25	262.23	
590-527.000-921.000	11/06/25	CONSUMERS ENERGY	1030 4914 5271 6414 WINANS 10/09-11	204657899882	12/05/25	22.95	

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Fund 590 SEWER FUND							
Dept 527.000 SEWER OPERATING							
590-527.000-921.000	11/07/25	CONSUMERS ENERGY	1030 4914 1213 6400 E M36 10/10-11/	202967091158	12/05/25	100.22	
590-527.000-921.000	11/07/25	CONSUMERS ENERGY	1030 4914 1148 925 REGENCY 10/10-11	202967091156	12/05/25	20.46	
590-527.000-921.000	11/07/25	CONSUMERS ENERGY	1030 4914 5248 4320 CORDLEY LK RD 1	202967091161	12/05/25	19.60	
590-527.000-930.010	11/04/25	FIRE HOUSE DOORS, LLC	DPW TORSION CABLE ON DOOR, BOTTOM B	25-19036	12/02/25	305.00	
590-527.000-934.100	11/25/25	COMPREHENSIVE CONTRACTING LLC	DPW EMERGENCY EXCAVATION HAMBURG ST	11252025	12/02/25	13,760.00	
590-527.000-934.100	11/25/25	COMPREHENSIVE CONTRACTING LLC	DPW EXPLORATORY EXCAVATION HAMBURG	112520252	12/02/25	9,245.00	
590-527.000-934.100	11/12/25	CUMMINS SALES AND SERVICE	REGENCY VILLAGE GENERATOR	86-251150012	12/02/25	1,244.09	
Total For Dept 527.000 SEWER OPERATING						28,775.50	
Dept 537.000							
590-537.000-752.000	11/20/25	HACH COMPANY, AMERICAN SIGMA	WWTP NITRATE/PHOSPHORUS/NITRITE	14766997	12/02/25	1,274.64	
590-537.000-752.000	11/19/25	HD SUPPLY, INC.	WWTP RO MEMBRANE/AMONIA REAGENT	INV00889424	12/02/25	992.13	
590-537.000-919.000	11/04/25	WM CORPORATE SERVICES, INC.	10/01/25-10/31/25	0137186-1389-9	12/02/25	90.40	
590-537.000-921.000	11/07/25	CONSUMERS ENERGY	1030 4914 7939 6400 W M-36 10/10-11	202967091162	12/05/25	123.63	
590-537.000-934.100	11/11/25	KERR PUMP & SUPPLY, INC.	WWTP INSTALL MAGNETIC FLOW METER	INV236914	12/02/25	2,997.00	
590-537.000-934.100	11/12/25	PATRICK ESPER SEPTIC	WWTP VA TRUCK	3844	12/02/25	1,000.00	
590-537.000-934.100	11/25/25	UIS PROGRAMMABLE SERVICES, INC	STINCHFIELD WWTP SERVICE	530381664	12/02/25	1,563.07	
Total For Dept 537.000						8,040.87	
Total For Fund 590 SEWER FUND						36,816.37	
Fund 703 Winter Tax Collection Fund							
Dept 000.000							
703-000.000-202.000	11/26/25	SHEATHELM JEFFREY D JR	2025 Sum Tax Refund 4715-20-203-001	11/26/2025	12/02/25	1,068.14	
Total For Dept 000.000						1,068.14	
Total For Fund 703 Winter Tax Collection Fund						1,068.14	
Fund 858 FOX POINTE BEACH SUBDIVISION RD IM SAD							
Dept 000.000							
858-000.000-826.000	11/13/25	ROSATI, SCHULTZ, JOPPICH &	MICHIGAN TAX TRIBUNAL MARY ANN LAMK	1084529	12/02/25	153.00	
858-000.000-826.000	11/13/25	ROSATI, SCHULTZ, JOPPICH &	GENERAL MATTERS BERG	1084589	12/02/25	85.00	
Total For Dept 000.000						238.00	
Total For Fund 858 FOX POINTE BEACH SUBDIVISION RD						238.00	
Fund 867 ZUKEY & REDDING DRIVE RD IM SAD 3302							
Dept 000.000							
867-000.000-802.000	11/12/25	BOB MYERS EXCAVATING INC	ZUKEY LAKE SAD-DRIVEWAY APPROACHES	2024-527	12/01/25	6,650.00	
Total For Dept 000.000						6,650.00	
Total For Fund 867 ZUKEY & REDDING DRIVE RD IM SA						6,650.00	

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Fund Totals:							
			Fund 101 General Fund			94,765.23	
			Fund 206 Fire Fund			6,515.81	
			Fund 207 Police Fund			55,357.40	
			Fund 590 SEWER FUND			36,816.37	
			Fund 703 Winter Tax Collection Fund			1,068.14	
			Fund 858 FOX POINTE BEACH SUBDIVISION			238.00	
			Fund 867 ZUKEY & REDDING DRIVE RD IM			6,650.00	
Total For All Funds:							201,410.95
--- TOTALS BY GL DISTRIBUTION ---							
		101-000.000-073.002	DISABILITY - LIBRARY			164.86	
		101-000.000-073.004	LIFE INSURANCE - LIBRARY			25.00	
		101-000.000-231.420	VOL. LIFE INSURANCE			2,119.74	
		101-000.000-231.500	DEFERRED COMPENSATION/457			6,677.89	
		101-000.000-239.000	SENIOR CENTER DONATIONS			97.50	
		101-000.000-279.985	ZUKEY & REDDING DRIVE RD IM SAD			390.00	
		101-101.000-826.000	LEGAL FEES			6,716.50	
		101-101.000-955.000	SUNDRY			73.68	
		101-171.000-725.100	LONG/SHORT TERM DISABILITY			262.29	
		101-171.000-725.200	LIFE INSURANCE			38.28	
		101-171.000-955.000	SUNDRY			85.84	
		101-201.000-725.100	LONG/SHORT TERM DISABILITY			119.23	
		101-201.000-725.200	LIFE INSURANCE			18.75	
		101-215.000-725.100	LONG/SHORT TERM DISABILITY			83.75	
		101-215.000-725.200	LIFE INSURANCE			12.81	
		101-228.000-725.100	LONG/SHORT TERM DISABILITY			59.45	
		101-228.000-725.200	LIFE INSURANCE			8.75	
		101-229.000-933.000	SOFTWARE MAINTENANCE			5,915.00	
		101-253.000-725.100	LONG/SHORT TERM DISABILITY			81.53	
		101-253.000-725.200	LIFE INSURANCE			12.50	
		101-257.000-801.000	CONTRACTUAL SERVICES			24,202.50	
		101-262.000-725.100	LONG/SHORT TERM DISABILITY			46.96	
		101-262.000-725.200	LIFE INSURANCE			7.81	
		101-262.000-955.000	SUNDRY			123.94	
		101-265.000-725.100	LONG/SHORT TERM DISABILITY			67.00	
		101-265.000-725.200	LIFE INSURANCE			12.35	
		101-265.000-752.000	SUPPLIES & SMALL EQUIPMENT			67.65	
		101-265.000-758.000	DIESEL FUEL			247.49	
		101-265.000-759.000	VEHICLE FUEL			383.47	
		101-265.000-801.000	CONTRACTUAL SERVICES			36.00	
		101-265.000-919.000	TRASH DISPOSAL			90.40	
		101-265.000-921.000	NATURAL GAS/HEAT			409.04	
		101-265.000-930.000	MAINTENANCE TWP HALL			1,536.59	
		101-265.000-930.008	MAINTENANCE LIBRARY			635.82	
		101-265.000-931.000	EQUIPMENT MAINT/REPAIR			2,387.79	
		101-275.000-752.000	SUPPLIES & SMALL EQUIPMENT			772.74	
		101-275.000-759.000	VEHICLE FUEL			217.53	
		101-275.000-932.000	VEHICLE MAINTENANCE			2,500.00	
		101-275.000-960.000	FOIA EXPENSES			13.00	
		101-448.000-926.000	STREET LIGHTING			1,717.71	
		101-567.000-801.000	CONTRACTUAL SERVICES			3,890.00	
		101-567.000-930.000	MAINTENANCE			7,800.00	
		101-702.000-725.100	LONG/SHORT TERM DISABILITY			77.50	
		101-702.000-725.200	LIFE INSURANCE			12.50	
		101-702.000-826.000	LEGAL FEES			204.00	
		101-703.000-967.000	SPECIAL PROJECTS			554.13	
		101-751.000-725.100	LONG/SHORT TERM DISABILITY			26.56	

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		101-751.000-725.200	LIFE INSURANCE			4.38	
		101-751.000-758.000	DIESEL FUEL			247.51	
		101-751.000-919.000	TRASH DISPOSAL			143.77	
		101-751.000-943.001	CHRISTMAS IN THE VILLAGE			5,935.62	
		101-751.000-955.000	SUNDRY			310.07	
		101-751.000-975.300	GRANT MATCH			11,746.00	
		101-751.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP			1,942.52	
		101-800.000-938.000	LAKELAND TRAIL MAINTENANCE			1,402.69	
		101-820.000-725.100	LONG/SHORT TERM DISABILITY			39.13	
		101-820.000-725.200	LIFE INSURANCE			6.25	
		101-820.000-801.000	CONTRACTUAL SERVICES			36.00	
		101-820.000-853.000	PHONE/COMM/INTERNET			208.63	
		101-820.000-900.200	NEWSLETTER/PUBLICATIONS			256.36	
		101-820.000-919.000	TRASH DISPOSAL			130.47	
		101-820.000-921.000	NATURAL GAS/HEAT			139.24	
		101-820.000-930.001	MAINTENANCE COMM CENTER			1,212.76	
		206-000.000-725.100	LONG/SHORT TERM DISABILITY			639.88	
		206-000.000-725.200	LIFE INSURANCE			92.50	
		206-000.000-752.000	SUPPLIES & SMALL EQUIPMENT			20.35	
		206-000.000-754.000	MEDICAL AND SCENE SUPPLIES			802.00	
		206-000.000-768.000	UNIFORMS/ACCESSORIES			506.25	
		206-000.000-853.000	PHONE/COMM/INTERNET			189.94	
		206-000.000-919.000	TRASH DISPOSAL			212.24	
		206-000.000-920.100	SIREN ELECTRIC USAGE			67.38	
		206-000.000-921.000	NATURAL GAS/HEAT			705.39	
		206-000.000-930.003	MAINTENANCE FIRE HALL			1,590.64	
		206-000.000-931.000	EQUIPMENT MAINT/REPAIR			821.12	
		206-000.000-932.000	VEHICLE MAINTENANCE			768.12	
		206-000.000-958.000	DUES/SUBSCRIP/RECERTIFICATION			100.00	
		207-000.000-716.000	DEFINED CONTRIBUTION			38,758.95	
		207-000.000-725.100	LONG/SHORT TERM DISABILITY			319.20	
		207-000.000-725.200	LIFE INSURANCE			102.81	
		207-000.000-752.000	SUPPLIES & SMALL EQUIPMENT			362.59	
		207-000.000-768.000	UNIFORMS/ACCESSORIES			510.95	
		207-000.000-801.000	CONTRACTUAL SERVICES			209.34	
		207-000.000-826.000	LEGAL FEES			1,594.00	
		207-000.000-853.000	PHONE/COMM/INTERNET			724.72	
		207-000.000-916.000	TRAINING			845.00	
		207-000.000-921.000	NATURAL GAS/HEAT			176.08	
		207-000.000-930.002	MAINTENANCE POLICE BUILDING			2,530.83	
		207-000.000-932.000	VEHICLE MAINTENANCE			5,677.16	
		207-000.000-933.000	SOFTWARE MAINTENANCE			650.00	
		207-000.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP			2,895.77	
		590-527.000-725.100	LONG/SHORT TERM DISABILITY			561.31	
		590-527.000-725.200	LIFE INSURANCE			51.56	
		590-527.000-752.000	SUPPLIES & SMALL EQUIPMENT			1,231.28	
		590-527.000-759.000	VEHICLE FUEL			936.01	
		590-527.000-851.000	POSTAGE			730.79	
		590-527.000-910.000	PROFESSIONAL DEVELOPMENT			285.00	
		590-527.000-920.000	ELECTRIC			262.23	
		590-527.000-921.000	NATURAL GAS/HEAT			163.23	
		590-527.000-930.010	SEWER MAINTENANCE GARAGE			305.00	
		590-527.000-934.100	PUMP & MAIN REPAIR/MAINTENANCE			24,249.09	
		590-537.000-752.000	SUPPLIES & SMALL EQUIPMENT			2,266.77	
		590-537.000-919.000	TRASH DISPOSAL			90.40	
		590-537.000-921.000	NATURAL GAS/HEAT			123.63	
		590-537.000-934.100	PUMP & MAIN REPAIR/MAINTENANCE			5,560.07	
		703-000.000-202.000	ACCOUNTS PAYABLE			1,068.14	
		858-000.000-826.000	LEGAL FEES			238.00	



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INVOICE GL DISTRIBUTION REPORT FOR HAMBURG TOWNSHIP OFFICES  
EXP CHECK RUN DATES 04/01/2025 - 12/31/2025  
UNJOURNALIZED OPEN  
BANK CODE: GEN

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GL Number	Invoice Date	Vendor	Invoice Desc.	Invoice	Due Date	Amount	check #
		867-000.000-802.000	ROAD IMPROVEMENT			6,650.00	

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## INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2025 - 12/31/2025

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BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

A2ZLWNSERV	A2Z LAWN SERVICES, LLC	11/24/2025	004116	GEN	FALL YARD CLEAN-UP PLACEWAY/NORTH HA	
82826	2531 JACKSON AVE	12/02/2025		N		3,890.00
	SUITE 336					
11/24/2025	ANN ARBOR MI, 48103	/ /	0.0000	N		0.00
		12/02/2025		Y		3,890.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-567.000-801.000	CONTRACTUAL SERVICES	3,890.00

VENDOR TOTAL: 3,890.00

ADVANCAUTO	ADVANCE AUTO PARTS	11/25/2025	2749-532324	GEN	B7G FRAM ANT DEX 50/50	
82846	P.O. BOX 404875	12/02/2025		N		27.98
11/19/2025	ATLANTA GA, 30384-4875	/ /	0.0000	N		0.00
		12/02/2025		Y		27.98

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-931.000	EQUIPMENT MAINT/REPAIR	27.98

VENDOR TOTAL: 27.98

ALPINEFLOR	ALPINE FLORIST AND GIFTS, INC.	11/25/2025	017475	GEN	OCT B-DAYS -AUG & SEPT PD 11/04 CK 3	
82852	7524 E. M-36	12/02/2025		N		47.50
	P.O. BOX 219					
11/20/2025	HAMBURG MI, 48139	/ /	0.0000	N		0.00
		12/02/2025		N		47.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-239.000	SENIOR CENTER	47.50

VENDOR TOTAL: 47.50

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## INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2025 - 12/31/2025

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BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
AMERICAN09	AMERICAN UNITED LIFE INSURANCE	11/25/2025	11242025	GEN	G 00617291-0001-000 12/01-12/31/2025	
82836	AMERICAN UNITED LIFE INSURANCE	12/02/2025		N		2,954.90
	5870 RELIABLE PARKWAY					
11/18/2025	CHICAGO IL, 60686-0058	/ /	0.0000	N		0.00
		12/02/2025		N		2,954.90

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-073.002	DISABILITY - LIBRARY	164.86
101-171.000-725.100		262.29
101-201.000-725.100		119.23
101-215.000-725.100		83.75
101-228.000-725.100		59.45
101-253.000-725.100		81.53
101-262.000-725.100		46.96
101-265.000-725.100		67.00
101-702.000-725.100		77.50
101-751.000-725.100	LONG/SHORT TERM DISABILITY	26.56
101-820.000-725.100	LONG/SHORT TERM DISABILITY	39.13
590-527.000-725.100	LONG/SHORT TERM DISABILITY	561.31
206-000.000-725.100	LONG/SHORT TERM DISABILITY	639.88
207-000.000-725.100	LONG/SHORT TERM DISABILITY	319.20
101-000.000-073.004	LIFE INSURANCE - LIBRARY	25.00
101-171.000-725.200	LIFE INSURANCE	38.28
101-201.000-725.200	LIFE INSURANCE	18.75
101-215.000-725.200	LIFE INSURANCE	12.81
101-228.000-725.200	LIFE INSURANCE	8.75
101-253.000-725.200	LIFE INSURANCE	12.50
101-262.000-725.200	LIFE INSURANCE	7.81
101-265.000-725.200	LIFE INSURANCE	12.35
101-702.000-725.200	LIFE INSURANCE	12.50
101-751.000-725.200	LIFE INSURANCE	4.38
101-820.000-725.200	LIFE INSURANCE	6.25
206-000.000-725.200	LIFE INSURANCE	92.50
207-000.000-725.200	LIFE INSURANCE	102.81
590-527.000-725.200	LIFE INSURANCE	51.56
		2,954.90

VENDOR TOTAL:

2,954.90

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## INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2025 - 12/31/2025

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BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
AMERICANVO	AMERICAN UNITED LIFE INSURANCE COMP	11/25/2025	11242025	GEN	G 00617291-0002-000	12/01-12/31/2025
82834	5870 RELIABLE PARKWAY	12/02/2025		N		2,119.74
11/18/2025	CHICAGO IL, 60686-0058	/ /	0.0000	N		0.00
		12/02/2025		N		2,119.74

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-231.420	VOL. LIFE INSURANCE	2,119.74

VENDOR TOTAL: 2,119.74

PACEM	AMTEC LESS LETHAL SYSTEMS	11/26/2025	049907	GEN	PD - QUOTE 06016709	LESS LETHAL SYST
82863	4700 PROVIDENCE RD	12/02/2025	20250605	N		2,895.77
11/19/2025	PERRY FL, 32347	/ /	0.0000	N		0.00
		12/02/2025		N		2,895.77

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-980.000	PAVASHOT EM 200 RFL, 068 CAL LAUNCER	1,100.00	1,100.00
207-000.000-980.000	PAVASHOT EMC MAGS, 20 RD 2 PK	39.49	39.49
207-000.000-980.000	PAVASHOT ERA-50 SHAPED, C5	593.10	593.10
207-000.000-980.000	PAVASHOT ERA-50 SHAPED, INERT	421.20	421.20
207-000.000-980.000	FREIGHT	38.40	38.40
207-000.000-980.000	PAVASHOT EMC .68 CAL SMOOTH BORE BARREL	68.18	68.18
207-000.000-980.000	PAVASHOT INERT-375	635.40	635.40
		2,895.77	2,895.77

VENDOR TOTAL: 2,895.77

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
AMERICAN02	APPLIED INNOVATION	11/20/2025	2985777	GEN	CONTRACT BASE RATE 11/12-12/11/25	
82792	7718 SOLUTION CENTER	12/02/2025		N		728.99
11/13/2025	CHICAGO IL, 60677-7007	/ /	0.0000	N		0.00
		12/02/2025		N		728.99
Open						

GL NUMBER	DESCRIPTION	AMOUNT
101-275.000-752.000	SUPPLIES & SMALL EQUIPMENT	728.99

AMERICAN02	APPLIED INNOVATION	11/20/2025	2988565	GEN	SEN CTR CONTRACT BASE 11/21-12/20/20	
82822	7718 SOLUTION CENTER	12/02/2025		N		256.36
11/17/2025	CHICAGO IL, 60677-7007	/ /	0.0000	N		0.00
		12/02/2025		N		256.36
Open						

GL NUMBER	DESCRIPTION	AMOUNT
101-820.000-900.200	NEWSLETTER/PUBLICATIONS	256.36

VENDOR TOTAL:

985.35

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Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

ARMOREX	ARMOREX	11/20/2025	0000043286	GEN	SEN CTR SUPPLIES	
82820	7109 DAN MCGUIRE DR	12/02/2025		N		464.17
11/20/2025	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		12/02/2025		Y		464.17

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-820.000-930.001	MAINTENANCE COMM CENTER	464.17

ARMOREX	ARMOREX	11/25/2025	0000043287	GEN	TWP SUPPLIES	
82847	7109 DAN MCGUIRE DR	12/02/2025		N		368.76
11/20/2025	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		12/02/2025		Y		368.76

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-930.000	MAINTENANCE TWP HALL	368.76

ARMOREX	ARMOREX	11/25/2025	0000043362	GEN	SEN CTR SUPPLIES	
82848	7109 DAN MCGUIRE DR	12/02/2025		N		112.76
11/25/2025	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		12/02/2025		Y		112.76

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-820.000-930.001	MAINTENANCE COMM CENTER	112.76

VENDOR TOTAL:	945.69
---------------	--------

ASPEN JEND	ASPEN JENDRUSIK	11/25/2025	00012	GEN	SEN CTR SOUND SYSTEM INSTALLATION	
82849	12095 JEFFERS LAND	12/02/2025		N		50.00
11/25/2025	FENTON MI, 48430	/ /	0.0000	N		0.00
		12/02/2025		Y		50.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-239.000	SENIOR CENTER DONATIONS	50.00

VENDOR TOTAL:	50.00
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UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
ATTMOBILIT	AT&T MOBILITY	11/20/2025	287318496818X112	GEN	PD/FD CELL PHONE CHARGES OCT 12 - NO	
82790	P.O. BOX 6463	12/04/2025	20250840	N		787.44
11/11/2025	CAROL STREAM IL, 60197-6463	/ /	0.0000	N		0.00
		12/04/2025		N		787.44

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-853.000	PD CELL PHONE CHARGES	597.50	597.50
206-000.000-853.000	FD CELL PHONE CHARGES	189.94	189.94
		787.44	787.44

ATTMOBILIT	AT&T MOBILITY	11/20/2025	287348028837X112	GEN	PD NEGOT TEAM BRIC BALL SIM CARD SER	
82789	P.O. BOX 6463	12/04/2025	20250839	N		127.22
11/11/2025	CAROL STREAM IL, 60197-6463	/ /	0.0000	N		0.00
		12/04/2025		N		127.22

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-853.000	HAMBURG BRINC BALL	81.89	81.89
207-000.000-853.000	LAPTOP UNLIMITED PLAN	45.33	45.33
		127.22	127.22

VENDOR TOTAL: 914.66

AUTOZONE	AUTOZONE INC	11/19/2025	04320626222	GEN	FD - GLASS CLEANER AND KIT #04320626	
82763	P.O. BOX 116067	12/02/2025	20250832	N		20.35
10/14/2025	ATLANTA GA, 30368-6067	/ /	0.0000	N		0.00
		12/02/2025		N		20.35

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-000.000-752.000	INVISIBLE GLASS CLEANER	6.78	6.78
206-000.000-752.000	PROELIT GLASS CLN WAND KIT	13.57	13.57
		20.35	20.35

VENDOR TOTAL: 20.35

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BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

BUSINESS02	BIG PDQ	11/24/2025	293600	GEN	FOIA BLUEPRINTS (4)	
82824	BUSINESS IMAGING GROUP - BIG PDQ	12/02/2025		N		13.00
	7475 GRAND RIVER RD					
11/20/2025	BRIGHTON MI, 48114-9383	/ /	0.0000	N		0.00
		12/02/2025		Y		13.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-275.000-960.000	FOIA EXPENSES	13.00

VENDOR TOTAL: 13.00

BJSHEATI01	BJ'S HEATING & COOLING, INC	11/20/2025	133126	GEN	TWP FURNCAE REMOVE AND UNBLOCK FLUE	
82793	3481 E-M36	12/02/2025		N		532.00
11/13/2025	PINCKNEY MI, 48169	/ /	0.0000	N		0.00
		12/02/2025		N		532.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-930.000	MAINTENANCE TWP HALL	532.00

VENDOR TOTAL: 532.00

BOBMAXFORD	BOB MAXEY FORD OF HOWELL, INC.	11/19/2025	303151	GEN	FD UTIL 11 VEH MAIN 11 FOR F-350 801	
82764		12/02/2025	20250834	N		768.12
	2798 E. GRAND RIVER AVE.					
10/31/2025	HOWELL MI, 48843-8545	/ /	0.0000	N		0.00
		12/02/2025		N		768.12

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-000.000-932.000	PINION SEAL LEAK, BROKEN CLEARANCE LIGHT	768.12	768.12

VENDOR TOTAL: 768.12

MYERSEXC01	BOB MYERS EXCAVATING INC	11/19/2025	2024-527	GEN	ZUKEY LAKE SAD-DRIVEWAY APPROACHES A	
82752	8111 HAMMEL ROAD	12/01/2025		N		6,650.00
11/12/2025	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		12/01/2025		N		6,650.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
867-000.000-802.000	ROAD IMPROVEMENT	6,650.00

25



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BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

VENDOR TOTAL: 6,650.00

BOULLION01	BOULLION SALES, INC.	11/20/2025	100-17997	GEN	B&G CENTER PIN OFF/ PLOW RATTLE REPA	
82796	8530 N. TERRITORIAL RD	12/02/2025		N		395.44
11/13/2025	DEXTER MI, 48130	/ /	0.0000	N		0.00
		12/02/2025		N		395.44

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-931.000	EQUIPMENT MAINT/REPAIR	395.44

BOULLION01	BOULLION SALES, INC.	11/20/2025	100-6107	GEN	B&G KUBOTA CONNECTOR KIT	
82794	8530 N. TERRITORIAL RD	12/02/2025		N		207.44
10/24/2025	DEXTER MI, 48130	/ /	0.0000	N		0.00
		12/02/2025		N		207.44

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-931.000	EQUIPMENT MAINT/REPAIR	207.44

BOULLION01	BOULLION SALES, INC.	11/20/2025	100-73590	GEN	B&G OIL FILTER/INNER AIR FILTER/OUTE	
82795	8530 N. TERRITORIAL RD	12/02/2025		N		81.43
11/18/2025	DEXTER MI, 48130	/ /	0.0000	N		0.00
		12/02/2025		N		81.43

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-931.000	EQUIPMENT MAINT/REPAIR	81.43

VENDOR TOTAL: 684.31

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

CAPITLTIRE	CAPITAL TIRE INC.	11/19/2025	1060207813	GEN	PD4 TIRES #203324 (4) 215/70R15	
82766	1310 ACADEMY STREET	12/02/2025	20250841	N		247.96
11/17/2025	FERNDAL MI, 48220	/ /	0.0000	N		0.00
		12/02/2025		N		247.96

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-932.000	215/70R15 DNT DH2 BL 98H	247.96	247.96

CAPITLTIRE	CAPITAL TIRE INC.	11/19/2025	1060208084	GEN	PD 8 TIRES-WRANGLER WORKHORSE 265/60	
82767	1310 ACADEMY STREET	12/02/2025	20250837	N		1,338.36
11/18/2025	FERNDAL MI, 48220	/ /	0.0000	N		0.00
		12/02/2025		N		1,338.36

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-932.000	265/60 R18 GOO WRANGLER WKHRSE	674.36	674.36
207-000.000-932.000	255/60 R18 GOO EAGLE ENFORCER	664.00	664.00
		1,338.36	

VENDOR TOTAL: 1,586.32

CARLEONEQ	CARLETON EQUIPMENT	11/20/2025	08-744797	GEN	B&G MINI EXCAVATOR	
82791	4704 SOUTH 29TH ST.	12/02/2025		N		704.57
11/17/2025	KALAMAZOO MI, 49048	/ /	0.0000	N		0.00
		12/02/2025		N		704.57

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-931.000	EQUIPMENT MAINT/REPAIR	704.57

VENDOR TOTAL: 704.57

CHARTERC01	CHARTER COMMUNICATIONS	11/26/2025	0103913112225	GEN	SEN CTR 11/22-12/21/2025	
82876	PO BOX 223085	12/09/2025		N		208.63
11/22/2025	PITTSBURGH PA, 15251-2085	/ /	0.0000	N		0.00
		12/09/2025		N		208.63

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-820.000-853.000	PHONE/COMM/INTERNET	208.63

VENDOR TOTAL: 208.63

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Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
CLASSIC TE	CLASSIC TENT & EVENT LLC	11/19/2025	24817	GEN	CHRISTMAS IN THE VILLAGE TENT/LIGHTS	
82768	800 RICKETT RD	12/02/2025		N		5,510.62
11/10/2025	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		12/02/2025		Y		5,510.62

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751.000-943.001	CHRISTMAS IN THE VILLAGE	5,510.62

VENDOR TOTAL: 5,510.62

COMPCONT	COMPREHENSIVE CONTRACTING LLC	11/26/2025	11252025	GEN	DPW EMERGENCY EXCAVATION HAMBURG STA	
82865	P.O. BOX 2362	12/02/2025		N		13,760.00
11/25/2025	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		12/02/2025		Y		13,760.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-934.100	PUMP & MAIN REPAIR/MAINTENANCE	13,760.00

COMPCONT	COMPREHENSIVE CONTRACTING LLC	11/26/2025	112520252	GEN	DPW EXPLORATORY EXCAVATION HAMBURG S	
82866	P.O. BOX 2362	12/02/2025		N		9,245.00
11/25/2025	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		12/02/2025		Y		9,245.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-934.100	PUMP & MAIN REPAIR/MAINTENANCE	9,245.00

VENDOR TOTAL: 23,005.00

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

CONSUMER01	CONSUMERS ENERGY	11/26/2025	202967091153	GEN	1030 4914 0645 3666 E. M-36	10/14-11
82857	PO BOX 740309	12/05/2025		N		374.72
	PAYMENT CENTER					
11/10/2025	CINCINNATI OH, 45274-0309	/ /	0.0000	N		0.00
		12/05/2025		N		374.72

Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-921.000	NATURAL GAS/HEAT	374.72

CONSUMER01	CONSUMERS ENERGY	11/20/2025	202967091154	GEN	1030 4914 0694 10407 MERRILL	10/10-1
82785	PO BOX 740309	12/05/2025		N		139.24
	PAYMENT CENTER					
11/07/2025	CINCINNATI OH, 45274-0309	/ /	0.0000	N		0.00
		12/05/2025		N		139.24

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-820.000-921.000	NATURAL GAS/HEAT	139.24

CONSUMER01	CONSUMERS ENERGY	11/20/2025	202967091155	GEN	1030 4914 1122 10675 MERRILL	10/10-1
82780	PO BOX 740309	12/05/2025		N		40.41
	PAYMENT CENTER					
11/07/2025	CINCINNATI OH, 45274-0309	/ /	0.0000	N		0.00
		12/05/2025		N		40.41

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-921.000	NATURAL GAS/HEAT	40.41

CONSUMER01	CONSUMERS ENERGY	11/20/2025	202967091156	GEN	1030 4914 1148 925 REGENCY	10/10-11/
82783	PO BOX 740309	12/05/2025		N		20.46
	PAYMENT CENTER					
11/07/2025	CINCINNATI OH, 45274-0309	/ /	0.0000	N		0.00
		12/05/2025		N		20.46

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-921.000	NATURAL GAS/HEAT	20.46

CONSUMER01	CONSUMERS ENERGY	11/20/2025	202967091157	GEN	1030 4914 1155 10675 MERRILL RD	10/1
82786	PO BOX 740309	12/05/2025		N		86.35
	PAYMENT CENTER					
11/07/2025	CINCINNATI OH, 45274-0309	/ /	0.0000	N		

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

12/05/2025

N

86.35

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-921.000	NATURAL GAS/HEAT	86.35

CONSUMER01	CONSUMERS ENERGY	11/20/2025	202967091158	GEN	1030 4914 1213 6400 E M36 10/10-11/0	
82781	PO BOX 740309	12/05/2025		N		100.22
	PAYMENT CENTER					
11/07/2025	CINCINNATI OH, 45274-0309	/ /	0.0000	N		0.00
		12/05/2025		N		100.22

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-921.000	NATURAL GAS/HEAT	100.22

CONSUMER01	CONSUMERS ENERGY	11/20/2025	202967091159	GEN	1030 4914 2971 10405 MERRILL RD 10/1	
82782	PO BOX 740309	12/05/2025		N		176.08
	PAYMENT CENTER					
11/07/2025	CINCINNATI OH, 45274-0309	/ /	0.0000	N		0.00
		12/05/2025		N		176.08

Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-921.000	NATURAL GAS/HEAT	176.08

CONSUMER01	CONSUMERS ENERGY	11/20/2025	202967091160	GEN	1030 4914 3862 10405 MERRILL 10/10-	
82779	PO BOX 740309	12/05/2025		N		282.28
	PAYMENT CENTER					
11/07/2025	CINCINNATI OH, 45274-0309	/ /	0.0000	N		0.00
		12/05/2025		N		282.28

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-921.000	NATURAL GAS/HEAT	282.28

CONSUMER01	CONSUMERS ENERGY	11/20/2025	202967091161	GEN	1030 4914 5248 4320 CORDLEY LK RD 10	
82784	PO BOX 740309	12/05/2025		N		19.60
	PAYMENT CENTER					
11/07/2025	CINCINNATI OH, 45274-0309	/ /	0.0000	N		0.00
		12/05/2025		N		19.60

Open

GL NUMBER	DESCRIPTION	AMOUNT
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Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

590-527.000-921.000 NATURAL GAS/HEAT

19.60

CONSUMER01	CONSUMERS ENERGY	11/20/2025	202967091162	GEN	1030 4914 7939 6400 W M-36 10/10-11/	
82778	PO BOX 740309	12/05/2025		N		123.63
	PAYMENT CENTER					
11/07/2025	CINCINNATI OH, 45274-0309	/ /	0.0000	N		0.00
		12/05/2025		N		123.63

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-537.000-921.000	NATURAL GAS/HEAT	123.63

CONSUMER01	CONSUMERS ENERGY	11/20/2025	204657899882	GEN	1030 4914 5271 6414 WINANS 10/09-11/	
82777	PO BOX 740309	12/05/2025		N		22.95
	PAYMENT CENTER					
11/06/2025	CINCINNATI OH, 45274-0309	/ /	0.0000	N		0.00
		12/05/2025		N		22.95

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-921.000	NATURAL GAS/HEAT	22.95

CONSUMER01	CONSUMERS ENERGY	11/20/2025	205191825654	GEN	1000 3979 7285 10100 VETERANS MEM 10	
82787	PO BOX 740309	12/04/2025		N		330.67
	PAYMENT CENTER					
11/06/2025	CINCINNATI OH, 45274-0309	/ /	0.0000	N		0.00
		12/04/2025		N		330.67

Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-921.000	NATURAL GAS/HEAT	330.67

VENDOR TOTAL:	1,716.61
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Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
CORRIGAN01	CORRIGAN TOWING	11/25/2025	8530132-IN	GEN	DYED ULTRA LOW SULFUR MIX (217.9 GAL	
82850	775 N. SECOND STREET	12/02/2025		N		742.49
11/11/2025	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		12/02/2025		N		742.49

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-800.000-938.000	LAKELAND TRAIL MAINTENANCE	247.49
101-265.000-758.000	DIESEL FUEL	247.49
101-751.000-758.000	DIESEL FUEL	247.51
		742.49

VENDOR TOTAL: 742.49

CRUISERS01	CRUISERS, INC.	11/25/2025	48583	GEN	PD SMART FOBS PROGRAMMED & CUT 7004	
82842	5977 BRIGHTON PINES CT.	12/02/2025	20250844	N		1,800.00
11/13/2025	HOWELL MI, 48843	/ /	0.0000	N		0.00
		12/02/2025		N		1,800.00

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-932.000	FOBIK SMART FOBS PROGRAMMED & CUT	1,560.00	1,560.00
207-000.000-932.000	FOBIK SMART FOBS BODY ONLY	240.00	240.00
		1,800.00	1,800.00

VENDOR TOTAL: 1,800.00

CUMMINSBD1	CUMMINS SALES AND SERVICE	11/20/2025	S6-251150012	GEN	REGENCY VILLAGE GENERATOR	
82798	P.O. BOX 772639	12/02/2025		N		1,244.09
11/12/2025	DETROIT MI, 48277-2639	/ /	0.0000	N		0.00
		12/02/2025		Y		1,244.09

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-934.100	PUMP & MAIN REPAIR/MAINTENANCE	1,244.09

VENDOR TOTAL: 1,244.09

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
DEWOLFDAN1	DEWOLF & ASSOCIATES	11/19/2025	4069	GEN	PD FTO BASIC - KOZOWICZ	
82769	P.O. BOX 815	12/02/2025	20250838	N		845.00
11/17/2025	MANCHESTER MI, 48158	/ /	0.0000	N		0.00
		12/02/2025		N		845.00
Open						

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-916.000	FTO BASIC	845.00	845.00
VENDOR TOTAL:			845.00



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Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

DTEENRGY01	DTE ENERGY	11/20/2025	11112025	GEN	9100 160 2723 7 4320 CORDLEY LK RD 0	
82788	PO BOX 740786	11/19/2025		N		262.23
10/27/2025	CINCINNATI OH, 45274-0786	/ /	0.0000	N		0.00
		11/19/2025		N		262.23

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-920.000	ELECTRIC	262.23

DTEENRGY01	DTE ENERGY	11/25/2025	11242025	GEN	9100 167 2020 3 7701 HAMBURG 10/23-1	
82831	PO BOX 740786	12/12/2025		N		23.34
11/20/2025	CINCINNATI OH, 45274-0786	/ /	0.0000	N		0.00
		12/12/2025		N		23.34

Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-920.100	SIREN ELECTRIC USAGE	23.34

DTEENRGY01	DTE ENERGY	11/25/2025	11242025	GEN	9200 279 0884 6 7201 WINANS LAKE 10/	
82832	PO BOX 740786	12/11/2025		N		22.02
11/19/2025	CINCINNATI OH, 45274-0786	/ /	0.0000	N		0.00
		12/11/2025		N		22.02

Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-920.100	SIREN ELECTRIC USAGE	22.02

DTEENRGY01	DTE ENERGY	11/25/2025	11242025	GEN	9200 279 0885 3 2952 SHEHAN RD 10/21	
82833	PO BOX 740786	12/11/2025		N		22.02
11/19/2025	CINCINNATI OH, 45274-0786	/ /	0.0000	N		0.00
		12/11/2025		N		22.02

Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-920.100	SIREN ELECTRIC USAGE	22.02

VENDOR TOTAL:	329.61
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Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
DETROITE02	DTE ENERGY - STREET LIGHTS	11/11/2025	11062025	GEN	9100 4056 2340 STREET LIGHTS 10/01-1	
82691	PO BOX 740786	12/10/2025		N		1,717.71
10/31/2025	CINCINNATI OH, 45274-0786	/ /	0.0000	N		0.00
		12/10/2025		N		1,717.71

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-448.000-926.000	STREET LIGHTING	1,717.71

VENDOR TOTAL: 1,717.71

ESRI000001	ENVIRONMENTAL SYSTEMS RESEARCH	11/20/2025	900134251	GEN	ARCGIS DESKTOP ADV CONCURRENT USE PR	
82806	P.O. BOX 741076	12/02/2025		N		5,915.00
11/12/2025	LOS ANGELES CA, 90074-4630	/ /	0.0000	N		0.00
		12/02/2025		Y		5,915.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-229.000-933.000	SOFTWARE MAINTENANCE	5,915.00

VENDOR TOTAL: 5,915.00

FIREHOUS03	FIRE HOUSE DOORS, LLC	11/26/2025	25-19036	GEN	DPW TORSION CABLE ON DOOR, BOTTOM BR	
82873	968 EAGER PINES CT	12/02/2025		N		305.00
11/04/2025	HOWELL MI, 48843	/ /	0.0000	N		0.00
		12/02/2025		Y		305.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-930.010	SEWER MAINTENANCE GARAGE	305.00

VENDOR TOTAL: 305.00

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
GEBESISCDJ	GENESIS CDJR OF PINCKNEY LLC	11/19/2025	509052	GEN	PD 2021 DODGE DURANGO VEH MAINT	2574
82770	1295 E. M-36	12/02/2025	20250835	N		1,847.52
11/14/2025	PINCKNEY MI, 48169	/ /	0.0000	N		0.00
		12/02/2025		N		1,847.52

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-932.000	BRAKES REPLACED	1,847.52	1,847.52

GEBESISCDJ	GENESIS CDJR OF PINCKNEY LLC	11/19/2025	509155	GEN	PD 2021 DODGE DURANGO VEH MAINT	2574
82771	1295 E. M-36	12/02/2025	20250836	N		87.55
11/14/2025	PINCKNEY MI, 48169	/ /	0.0000	N		0.00
		12/02/2025		N		87.55

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-932.000	OIL CHANGE	87.55	87.55

GEBESISCDJ	GENESIS CDJR OF PINCKNEY LLC	11/26/2025	509227	GEN	PD REPLACE 4 TIRES 2003 CHEV VENTURE	
82864	1295 E. M-36	12/02/2025	20250849	N		110.00
11/18/2025	PINCKNEY MI, 48169	/ /	0.0000	N		0.00
		12/02/2025		N		110.00

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-932.000	REPLACE 4 TIRES	110.00	100.00

VENDOR TOTAL: 2,045.07

GRLKS BREA	GREAT LAKES BREATHING AIR	11/19/2025	1231	GEN	FD - HAMBURG FD BREATHING COMPRESSOR	
82765	11863 92ND AVE	12/02/2025	20250833	N		821.12
11/12/2025	ALLENDAL MI, 49401	/ /	0.0000	N		0.00
		12/02/2025		N		821.12

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-000.000-931.000	HTFD COMPRESSOR MAINTENANCE	821.12	821.12

VENDOR TOTAL: 821.12

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Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
HAAS TRANS	HAAS TRANSMISSION SERVICE, INC	11/25/2025	62763	GEN	TWP 2014 FORD EXPLORER	75193-TRANSMI
82844	8260 DEXTER-CHELSEA RD	12/02/2025		N		2,500.00
11/24/2025	DEXTER MI, 48130	/ /	0.0000	N		0.00
		12/02/2025		Y		2,500.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-275.000-932.000	VEHICLE MAINTENANCE	2,500.00

VENDOR TOTAL: 2,500.00

HACHCOMP01	HACH COMPANY, AMERICAN SIGMA &	11/25/2025	14766997	GEN	WWTP NITRATE/PHOSPHORUS/NITRITE	
82851	2207 COLLECTIONS CENTER DRIVE	12/02/2025		N		1,274.64
11/20/2025	CHICAGO IL, 60693	/ /	0.0000	N		0.00
		12/02/2025		Y		1,274.64

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-537.000-752.000	SUPPLIES & SMALL EQUIPMENT	1,274.64

VENDOR TOTAL: 1,274.64

USABLUEB01	HD SUPPLY, INC.	11/20/2025	INV00889424	GEN	WWTP RO MEMBRANE/AMONIA REAGENT	
82813	PO BOX 9004	12/02/2025		N		992.13
11/19/2025	GURNEE IL, 60031	/ /	0.0000	N		0.00
		12/02/2025		N		992.13

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-537.000-752.000	SUPPLIES & SMALL EQUIPMENT	992.13

VENDOR TOTAL: 992.13

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Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

HIGHLANDTI	HIGHLAND TIMBER FRAMING LLC	11/19/2025	202511065HCI	GEN	TRIMMING SOUTH HAMBURG CEMETERY	
82772	1300 W JOY RD	12/02/2025		N		2,250.00
11/06/2025	ANN ARBOR MI, 48105	/ /	0.0000	N		0.00
		12/02/2025		Y		2,250.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-567.000-930.000	MAINTENANCE	2,250.00

HIGHLANDTI	HIGHLAND TIMBER FRAMING LLC	11/19/2025	20251106PC1	GEN	REMOVE CEDAT TREE, GRIND STUMP PLACE	
82774	1300 W JOY RD	12/02/2025		N		925.00
11/06/2025	ANN ARBOR MI, 48105	/ /	0.0000	N		0.00
		12/02/2025		Y		925.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-567.000-930.000	MAINTENANCE	925.00

HIGHLANDTI	HIGHLAND TIMBER FRAMING LLC	11/19/2025	20251106SHC2	GEN	REMOVE LG ROTTED MAPLE, GRING STUMP	
82773	1300 W JOY RD	12/02/2025		N		4,625.00
11/06/2025	ANN ARBOR MI, 48105	/ /	0.0000	N		0.00
		12/02/2025		Y		4,625.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-567.000-930.000	MAINTENANCE	4,625.00

VENDOR TOTAL:	7,800.00
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Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

HRNVLLYGUN	HURON VALLEY GUNS, LLC	11/26/2025	253590	GEN	PD UNIFORM PANTS - STOEHR	
82858	56477 GRAND RIVER AVE.	12/02/2025	20250853	N		189.98
11/10/2025	NEW HUDSON MI, 48165	/ /	0.0000	N		0.00
		12/02/2025		Y		189.98

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-768.000	NAVY PANTS	189.98	189.98

HRNVLLYGUN	HURON VALLEY GUNS, LLC	11/26/2025	253953	GEN	PD UNIFORM SHIRT & ALTERATIONS FOR S	
82859	56477 GRAND RIVER AVE.	12/02/2025	20250857	N		320.97
11/13/2025	NEW HUDSON MI, 48165	/ /	0.0000	N		0.00
		12/02/2025		Y		320.97

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-768.000	ALTERATION CHEVRON SET OF 2	27.00	27.00
207-000.000-768.000	ALTER SEW ON PER PATCH	27.00	27.00
207-000.000-768.000	L/S ARMORSKIN WINTER BASE SHIRT	266.97	266.97
		320.97	

VENDOR TOTAL: 510.95

HUTSONINC1	HUTSON, INC.	11/20/2025	11093810	GEN	B&G JOHM DEERE 1575	
82799	3915 TRACTOR DRIVE	12/02/2025		N		725.93
11/12/2025	HOWELL MI, 48855	/ /	0.0000	N		0.00
		12/02/2025		N		725.93

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-931.000	EQUIPMENT MAINT/REPAIR	725.93

VENDOR TOTAL: 725.93

IMAGEBUSIN	IMAGE BUSINESS SOLUTIONS, INC	11/20/2025	293253	GEN	COVERAGE 10/09-11/08/25	
82800	28339 BECK RD	12/02/2025		N		66.79
	SUITE F2					
11/14/2025	WIXOM MI, 48393	/ /	0.0000	N		0.00
		12/02/2025		N		66.79

Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-752.000	SUPPLIES & SMALL EQUIPMENT	66.79

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

1099

VENDOR TOTAL: 66.79

IMEGCRP#1	IMEG CONSULTANTS CORP	11/20/2025	23008696.06-2	GEN	ZUKEY DR & REDDING DR ROAD IMP THROU	
82776	ATTN: ACCOUNTS RECEIVABLE	12/02/2025		N		390.00
	PO BOX 182094					
11/19/2025	COLUMBUS OH, 43218	/ /	0.0000	N		0.00
		12/02/2025		Y		390.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-279.985	ZUKEY & REDDING DRIVE RD IM SAD	390.00

VENDOR TOTAL: 390.00

JJJINKLE01	J. J. JINKLEHEIMER & CO. INC.	11/20/2025	96545	GEN	FD - UNIFORM CAPS AND EMBROIDERY #96	
82797	2705 E. GRAND RIVER AVE.	12/02/2025	20250847	N		506.25
11/17/2025	HOWELL MI, 48843	/ /	0.0000	N		0.00
		12/02/2025		N		506.25

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-000.000-768.000	PORT AUTHORITY CAPS, STRCTRD NVY OSFM	129.90	129.90
206-000.000-768.000	FLEXFIT CAPS, NVY, 2 S/M, 11 L/XL	259.35	259.35
206-000.000-768.000	EMBROIDERY NAMES	117.00	117.00
		506.25	506.25

VENDOR TOTAL: 506.25

ASSUREDPO1	JAYS ASSURED PEST CONTROL LLC	11/20/2025	8121	GEN	MONTHLY SERVICE NOV 2025	
82801	1000 OAK CREEK DR	12/02/2025		N		157.00
11/04/2025	SOUTH LYON MI, 48178	/ /	0.0000	N		0.00
		12/02/2025		Y		157.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-801.000		36.00
207-000.000-801.000	CONTRACTUAL SERVICES	85.00
101-820.000-801.000	CONTRACTUAL SERVICES	36.00
		157.00

VENDOR TOTAL: 157.00

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Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

KEELECTRIC	K/E ELECTRIC SUPPLY CORPORATION	11/20/2025	I553541	GEN	DPW BRACKETS/SPRING NUT/POST BASE/CH	
82802	146 N. GROESBECK HIGHWAY	12/02/2025		N		93.71
11/11/2025	MT. CLEMENS MI, 48043	/ /	0.0000	N		0.00
		12/02/2025		Y		93.71

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-752.000	SUPPLIES & SMALL EQUIPMENT	93.71

KEELECTRIC	K/E ELECTRIC SUPPLY CORPORATION	11/20/2025	I553784	GEN	DPW POST BASE SQUARPWR	
82803	146 N. GROESBECK HIGHWAY	12/02/2025		N		28.64
11/12/2025	MT. CLEMENS MI, 48043	/ /	0.0000	N		0.00
		12/02/2025		Y		28.64

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-752.000	SUPPLIES & SMALL EQUIPMENT	28.64

KEELECTRIC	K/E ELECTRIC SUPPLY CORPORATION	11/20/2025	I553785	GEN	DPW SPRING NUT	
82804	146 N. GROESBECK HIGHWAY	12/02/2025		N		9.34
11/12/2025	MT. CLEMENS MI, 48043	/ /	0.0000	N		0.00
		12/02/2025		Y		9.34

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-752.000	SUPPLIES & SMALL EQUIPMENT	9.34

VENDOR TOTAL:	131.69
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KENTCOMMNC	KCI	11/20/2025	352103	GEN	RST BILL/CYCLE CHANGE	
82814	3901 EAST PARIS AVE. S.E.	12/02/2025		N		730.79
10/31/2025	GRAND RAPIDS MI, 49512	/ /	0.0000	N		0.00
		12/02/2025		Y		730.79

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-851.000	POSTAGE	730.79

VENDOR TOTAL:	730.79
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BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

KERRPUMP01	KERR PUMP & SUPPLY, INC.	11/25/2025	INV236914	GEN	WWTP INSTALL MAGNETIC FLOW METER	
82854	DRAWER 64185	12/02/2025		N		2,997.00
11/11/2025	DETROIT MI, 48264	/ /	0.0000	N		0.00
		12/02/2025		N		2,997.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-537.000-934.100	PUMP & MAIN REPAIR/MAINTENANCE	2,997.00

VENDOR TOTAL: 2,997.00

LJ CONSTRU	L.J. CONSTRUCTION, INC.	11/26/2025	22010240	GEN	MANLEY BENNETT PARK ADD'L 5' WIDE SI	
82867	5863 S. KINGSTON ROAD	12/02/2025		N		1,942.52
11/20/2025	CLIFFORD MI, 48727	/ /	0.0000	N		0.00
		12/02/2025		N		1,942.52

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751.000-980.000	CAPITAL EQUIPMENT/CAPITAL IMP	1,942.52

VENDOR TOTAL: 1,942.52

LABADIE FA	LABADIE FARM LLC	10/23/2025	20219	GEN	CHRISTMAS IN THE VILLAGE-NATIVITY AN	
82513	5497 EMMONS RD	12/02/2025		N		425.00
10/23/2025	FOWLERVILLE MI, 48836	/ /	0.0000	N		0.00
		12/02/2025		Y		425.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751.000-943.001	CHRISTMAS IN THE VILLAGE	425.00

VENDOR TOTAL: 425.00

LAKELAND01	LAKELAND ACE HARDWARE, INC.	11/25/2025	14154	GEN	FD - MOP SINK HOSE FOR STA 11 #14154	
82828	PO BOX 1000	12/02/2025	20250851	N		23.99
11/19/2025	PINCKNEY MI, 48169	/ /	0.0000	N		0.00
		12/02/2025		N		23.99

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-000.000-930.003	MOP SINK HOSE	23.99	23.99

VENDOR TOTAL: 242

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BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

LIVINGST16	LIVINGSTON CO. DRAIN COMMISSIONER	11/19/2025	4050	GEN	PHASE II IMPLEMENTATION-LIV CO WATER	
82775	2300 E. GRAND RIVER	12/02/2025		N		554.13
	SUITE 105					
11/07/2025	HOWELL MI, 48843-7581	/ /	0.0000	N		0.00
		12/02/2025		N		554.13

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-703.000-967.000	SPECIAL PROJECTS	554.13

VENDOR TOTAL: 554.13

MASTERCRAFT	MASTERCRAFT PLUMBING INC.	11/26/2025	32133	GEN	PD REPAIRED THE SEWER LINE	
82860	7879 E. M-36	12/02/2025	20250855	N		1,895.00
11/21/2025	WHITMORE LAKE MI, 48189	/ /	0.0000	N		0.00
		12/02/2025		N		1,895.00

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-930.002	REPAIR TO SEWER LINE	1,895.00	1,895.00

VENDOR TOTAL: 1,895.00

MIRURALW01	MICHIGAN RURAL WATER ASSOCIATION	11/20/2025	2020-15983	GEN	DPW WASTEWATER COLLECTION SYSTEM MAI	
82815	2127 UNIVERSITY PARK DRIVE	12/02/2025		N		285.00
	SUITE 340					
11/12/2025	OKEMOS MI, 48864	/ /	0.0000	N		0.00
		12/02/2025		Y		285.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-910.000	PROFESSIONAL DEVELOPMENT	285.00

VENDOR TOTAL: 285.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
MISTATEF02	MICHIGAN STATE FIREMEN'S AS-	11/25/2025	11242025	GEN	FD - MI STATE FIREMEN'S ASSOC 2026 M	
82829	9001 MILLER ROAD	12/02/2025	20250848	N		100.00
	PO BOX 405					
11/24/2025	SWARTZ CREEK MI, 48473	/ /	0.0000	N		0.00
		12/02/2025		N		100.00

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-000.000-958.000	MFSA 2026 MEMBERSHIP FEE	100.00	100.00
VENDOR TOTAL:			100.00

MOBILE COM	MOBILE COMMUNICATIONS AMERICA INC	11/20/2025	398001663-1	GEN	FD - MOTOROLA TIER 7 DEPOT REPAIR RA	
82821	PO BOX 1458	12/02/2025	20250565	N		802.00
11/20/2025	CHARLOTTE NC, 28201	/ /	0.0000	N		0.00
		12/02/2025		N		802.00

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-000.000-754.000	MOTOROLA TIER 7 DEPOT REPAIR	802.00	802.00
VENDOR TOTAL:			802.00

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BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
MOTOROLA01	MOTOROLA SOLUTIONS INC.	11/10/2025	1411215435	GEN	PD VIDEOMGR EL, BWC ANNUAL LICENSE &	
82652	13104 COLLECTIONS CENTER DR	12/02/2025		N		360.38
11/06/2025	CHICAGO IL, 60693	/ /	0.0000	N		0.00
		12/02/2025		N		360.38

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-933.000	VIDEOMGR EL BWC ANNUAL LICENSE	180.19	180.19
207-000.000-933.000	VIDEOMGR EL IN-CAR VIDEO SYS ANNUAL LIC	180.19	180.19
		360.38	

MOTOROLA01	MOTOROLA SOLUTIONS INC.	11/11/2025	1411216013	GEN	PD VIDEOMGR EL, BWC ANNUAL LICENSE D	
82716	13104 COLLECTIONS CENTER DR	12/02/2025	20250816	N		289.62
11/09/2025	CHICAGO IL, 60693	/ /	0.0000	N		0.00
		12/02/2025		N		289.62

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-933.000	VIDEOMGR EL BWC ANNUAL LICENSE	289.62	289.62

MOTOROLA01	MOTOROLA SOLUTIONS INC.	11/26/2025	8282242498	GEN	PD PREP MICS	
82861	13104 COLLECTIONS CENTER DR	12/02/2025	20250850	N		245.77
11/24/2025	CHICAGO IL, 60693	/ /	0.0000	N		0.00
		12/02/2025		N		245.77

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-932.000	MODEL #PMMN4069A	115.27	115.27
207-000.000-932.000	MODEL #HMN1090D	130.50	130.50
		245.77	

VENDOR TOTAL: 895.77

## UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

MERS000001	MUNICIPAL EMPLOYEE'S RETIRE-	11/20/2025	00172136-04-A	GEN	2024-03	
82811	1134 MUNICIPAL WAY	12/02/2025		N		(192.25)
10/09/2025	LANSING MI, 48917	/ /	0.0000	N		0.00
		12/02/2025		N		(192.25)

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-231.500	DEFERRED COMPENSATION/457	(192.25)

MERS000001	MUNICIPAL EMPLOYEE'S RETIRE-	11/20/2025	00172136-05-A	GEN	2025-03	
82812	1134 MUNICIPAL WAY	12/02/2025		N		(111.27)
10/09/2025	LANSING MI, 48917	/ /	0.0000	N		0.00
		12/02/2025		N		(111.27)

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-231.500	DEFERRED COMPENSATION/457	(111.27)

MERS000001	MUNICIPAL EMPLOYEE'S RETIRE-	11/20/2025	00172136-06-A	GEN	2025-04	
82810	1134 MUNICIPAL WAY	12/02/2025		N		(196.27)
11/19/2025	LANSING MI, 48917	/ /	0.0000	N		0.00
		12/02/2025		N		(196.27)

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-231.500	DEFERRED COMPENSATION/457	(196.27)

MERS000001	MUNICIPAL EMPLOYEE'S RETIRE-	11/20/2025	00172264-2	GEN	2025-09	
82808	1134 MUNICIPAL WAY	12/02/2025		N		(4,141.70)
10/15/2025	LANSING MI, 48917	/ /	0.0000	N		0.00
		12/02/2025		N		(4,141.70)

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-231.500	DEFERRED COMPENSATION/457	(4,141.70)

MERS000001	MUNICIPAL EMPLOYEE'S RETIRE-	11/20/2025	00173298-4	GEN	2025-11	
82807	1134 MUNICIPAL WAY	12/02/2025		N		50,078.33
11/19/2025	LANSING MI, 48917	/ /	0.0000	N		0.00
		12/02/2025		N		50,078.33

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-000.000-231.500	DEFERRED COMPENSATION/457	11,319.38
207-000.000-716.000	DEFINED CONTRIBUTION	38,758.95

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

50,078.33

VENDOR TOTAL: 45,436.84

MYERSEXC02	MYERS GROUP ENTERPRISES LLC	11/26/2025	2552	GEN	FURNISH AND DELIVER 44.36 TONS BULK	
82856	8111 HAMMEL ROAD	12/02/2025		N		3,814.96
11/18/2025	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		12/02/2025		Y		3,814.96

Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-930.003	MAINTENANCE FIRE HALL	1,271.65
207-000.000-930.002	MAINTENANCE POLICE BUILDING	635.83
101-265.000-930.000	MAINTENANCE TWP HALL	635.83
101-820.000-930.001	MAINTENANCE COMM CENTER	635.83
101-265.000-930.008	MAINTENANCE LIBRARY	635.82

3,814.96

VENDOR TOTAL: 3,814.96

NAMANSSO01	N. A. MANS & SONS, INC.	11/26/2025	3222930	GEN	TREATED #2 LUMBER (20)	
82874	3300 WEST JEFFERSON	12/02/2025		N		1,155.20
11/20/2025	TRENTON MI, 48183	/ /	0.0000	N		0.00
		12/02/2025		N		1,155.20

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-800.000-938.000	LAKELAND TRAIL MAINTENANCE	1,155.20

VENDOR TOTAL: 1,155.20

OFFICEXP01	OFFICE EXPRESS, INC.	11/26/2025	582351	GEN	PD COPY PAPER (4)	
82862	1280 E BIG BEAVER SUITE A	12/02/2025	20250856	N		295.80
11/25/2025	TROY MI, 48083	/ /	0.0000	N		0.00
		12/02/2025		N		295.80

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-000.000-752.000	NAVIGATOR COPY PAPER	295.80	295.80

VENDOR TOTAL: 295.80

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
PESPRSEPTC	PATRICK ESPER SEPTIC	11/20/2025	3844	GEN	WWTP VA TRUCK	
82819	5700 EMMONS ROAD	12/02/2025		N		1,000.00
11/12/2025	FOWLERVILLE MI, 48836	/ /	0.0000	N		0.00
		12/02/2025		Y		1,000.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-537.000-934.100	PUMP & MAIN REPAIR/MAINTENANCE	1,000.00

VENDOR TOTAL: 1,000.00

RESCOM	RESCOM DOOR LLC	11/25/2025	6909	GEN	FD - STA 11 2 NE DOORS REPAIR #6909	
82830	4088 E M 36	12/02/2025	20250852	N		295.00
11/24/2025	PINCKNEY MI, 48169	/ /	0.0000	N		0.00
		12/02/2025		N		295.00

Open

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-000.000-930.003	2 NE DOORS REPAIR TO MOTORS	295.00	295.00

VENDOR TOTAL: 295.00

BOOMERSRJV	RJV ENTERPRISES, INC.	11/26/2025	11062025	GEN	FOOD-VARIOUS MEETINGS/EVENTS	
82875	DBA BOOMERS PARTY STORE & PIZZA	12/02/2025		N		593.53
	8999 HAMBURG ROAD					
11/06/2025	BRIGHTON MI, 48116	/ /	0.0000	N		0.00
		12/02/2025		N		593.53

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-101.000-955.000	SUNDRY-HAMBURG TWP-04/15/25	73.68
101-171.000-955.000	SUNDRY-COUNTY SUPERVISORS MTG-04/21/25	85.84
101-751.000-955.000	SUNDRY-HAMBURG PARKS & RECS-04/26/25	34.29
101-262.000-955.000	SUNDRY-ELECTION NIGHT-05/06/25	123.94
101-751.000-955.000	SUNDRY-DUANE-05/09/25	36.77
101-751.000-955.000	SUNDRY-HAMBURG TOWNSHIP-07/01/25	239.01
		593.53

VENDOR TOTAL: 593.53

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
ROADRUNNER	ROAD RUNNER TIRE	11/20/2025	3938	GEN	B& G JOHN DEERE 1575 REAR TIRES	
82823	7906 HEATHER MARIE CT., PO BOX 805	12/02/2025		N		245.00
11/20/2025	PINCKNEY MI, 48169	/ /	0.0000	N		0.00
		12/02/2025		Y		245.00
Open						

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-931.000	EQUIPMENT MAINT/REPAIR	245.00
VENDOR TOTAL:		245.00



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BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

JOHNSNRO01 82839	ROSATI, SCHULTZ, JOPPICH & AMTSBUECHLER, P.C. 27555 EXECUTIVE DRIVE, SUITE 250	11/25/2025 12/02/2025	1084529	GEN N	MICHIGAN TAX TRIBUNAL MARY ANN LAMKI	833.00
11/13/2025	FARMINGTON HILLS MI, 48331	/ / 12/02/2025	0.0000	N Y		0.00 833.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-101.000-826.000	LEGAL FEES	680.00
858-000.000-826.000	LEGAL FEES	153.00
		<u>833.00</u>

JOHNSNRO01 82840	ROSATI, SCHULTZ, JOPPICH & AMTSBUECHLER, P.C. 27555 EXECUTIVE DRIVE, SUITE 250	11/25/2025 12/02/2025	1084589	GEN N	GENERAL MATTERS BERG	153.00
11/13/2025	FARMINGTON HILLS MI, 48331	/ / 12/02/2025	0.0000	N Y		0.00 153.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-826.000	LEGAL FEES	68.00
858-000.000-826.000	LEGAL FEES	85.00
		<u>153.00</u>

JOHNSNRO01 82827	ROSATI, SCHULTZ, JOPPICH & AMTSBUECHLER, P.C. 27555 EXECUTIVE DRIVE, SUITE 250	11/25/2025 12/02/2025	1084590	GEN N	GRACE & DAVID GRIESE PLAT AMMENDMENT	204.00
11/13/2025	FARMINGTON HILLS MI, 48331	/ / 12/02/2025	0.0000	N Y		0.00 204.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-702.000-826.000	LEGAL FEES	204.00

JOHNSNRO01 82841	ROSATI, SCHULTZ, JOPPICH & AMTSBUECHLER, P.C. 27555 EXECUTIVE DRIVE, SUITE 250	11/25/2025 12/02/2025	1084591	GEN N	LABOR & EMPLOYMENT LAW	1,764.00
11/13/2025	FARMINGTON HILLS MI, 48331	/ / 12/02/2025	0.0000	N Y		0.00 1,764.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-101.000-826.000	LEGAL FEES	1,764.00

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## INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

Page: 33/36

EXP CHECK RUN DATES 07/01/2025 - 12/31/2025

UNJOURNALIZED OPEN

Item 4.

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount

JOHNSNRO01	ROSATI, SCHULTZ, JOPPICH &	11/25/2025	1084592	GEN	MARY ANN & STEVEN LAMKING	
82838	AMTSBUECHLER, P.C.	12/02/2025		N		4,272.50
	27555 EXECUTIVE DRIVE, SUITE 250					
11/13/2025	FARMINGTON HILLS MI, 48331	/ /	0.0000	N		0.00
		12/02/2025		Y		4,272.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-101.000-826.000	LEGAL FEES	4,272.50

JOHNSNRO01	ROSATI, SCHULTZ, JOPPICH &	11/25/2025	1084594	GEN	DISTRICT COURT PROSECUTIONS	
82837	AMTSBUECHLER, P.C.	12/02/2025		N		1,526.00
	27555 EXECUTIVE DRIVE, SUITE 250					
11/13/2025	FARMINGTON HILLS MI, 48331	/ /	0.0000	N		0.00
		12/02/2025		Y		1,526.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
207-000.000-826.000	LEGAL FEES	1,526.00

VENDOR TOTAL: 8,752.50

SAFEKLEEN1	SAFETY-KLEEN SYSTEMS, INC.	11/20/2025	98468566	GEN	DPW PARTS WASHER SOLVENT	
82816	P.O. BOX 975201	12/02/2025		N		349.59
11/04/2025	DALLAS TX, 75397-5201	/ /	0.0000	N		0.00
		12/02/2025		N		349.59

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-752.000	SUPPLIES & SMALL EQUIPMENT	349.59

VENDOR TOTAL: 349.59

SEILER	SEILER INSTRUMENT AND MANUFACTURING	11/20/2025	INV65713	GEN	DPW FIELD MAPS BUNDLE	
82817	3433 TREE COURT INDUSTRIAL BLVD	12/02/2025		N		750.00
11/06/2025	ST LOUIS MO, 63122	/ /	0.0000	N		0.00
		12/02/2025		N		750.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-527.000-752.000	SUPPLIES & SMALL EQUIPMENT	750.00

VENDOR TOTAL: 750.00

51

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User: MarcyM

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## INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

Page: 34/36

EXP CHECK RUN DATES 07/01/2025 - 12/31/2025

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Item 4.

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

REFUND TAX	SHEATHELM JEFFREY D JR	11/26/2025	11/26/2025	GEN	2025 Sum Tax Refund 4715-20-203-001	
82872		12/02/2025		N		0.00
	3755 WESTHAVEN CT					
11/26/2025	PINCKNEY MI, 48169	12/02/2025	0.0000	N		0.00
		12/02/2025		N		1,068.14

Open

GL NUMBER	DESCRIPTION	AMOUNT
703-000.000-202.000	ACCOUNTS PAYABLE	1,068.14

VENDOR TOTAL: 1,068.14

SPICERGRUP	SPICER GROUP, INC.	11/25/2025	242071	GEN	PROF SERVICES THROUGH 11.15.25 HAMBU	
82843	230 SOUTH WASHINGTON AVENUE	12/02/2025		N		11,746.00
11/18/2025	SAGINAW MI, 48607	/ /	0.0000	N		0.00
		12/02/2025		N		11,746.00

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-751.000-975.300	GRANT MATCH	11,746.00

VENDOR TOTAL: 11,746.00

TOSHIBA	TOSHIBA BUSINESS SOLUTIONS	11/20/2025	6700078	GEN	CPC BILLING 10/06-11/05/25	
82818	PO BOX 927	12/02/2025		N		43.75
11/05/2025	BUFFALO NY, 14240-0927	/ /	0.0000	N		0.00
		12/02/2025		Y		43.75

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-275.000-752.000	SUPPLIES & SMALL EQUIPMENT	43.75

VENDOR TOTAL: 43.75

UISPROGR01	UIS PROGRAMMABLE SERVICES, INC	11/25/2025	530381664	GEN	STINCHFIELD WWTP SERVICE	
82853	2290 BISHOP CIRCLE EAST	12/02/2025		N		1,563.07
11/25/2025	DEXTER MI, 48130	/ /	0.0000	N		0.00
		12/02/2025		N		1,563.07

Open

GL NUMBER	DESCRIPTION	AMOUNT
590-537.000-934.100	PUMP & MAIN REPAIR/MAINTENANCE	1,563.07

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

VENDOR TOTAL: 1,563.07

WARDSDOI02	WARD'S EQUIPMENT RENTAL, LLC	11/20/2025	6402	GEN	B&G LAWN EDGER REPAIR	
82805	PO BOX 425	12/02/2025		N		67.65
09/11/2025	HAMBURG MI, 48139	/ /	0.0000	N		0.00
		12/02/2025		Y		67.65

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-752.000	SUPPLIES & SMALL EQUIPMENT	67.65

VENDOR TOTAL: 67.65

WCAASSESSG	WCA ASSESSING LLC	11/25/2025	11192025	GEN	ASSESSMENT SERVICES DECEMBER 2025	
82835	38110 N. EXECUTIVE #100	12/02/2025		N		24,202.50
11/19/2025	WESTLAND MI, 48185	/ /	0.0000	N		0.00
		12/02/2025		Y		24,202.50

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-257.000-801.000	CONTRACTUAL SERVICES	24,202.50

VENDOR TOTAL: 24,202.50

SUNOCOTO01	WEX BANK	11/24/2025	108770969	GEN	TWP FUEL 10/24-11/23/2025	
82825	P.O. BOX 6293	12/02/2025		N		1,537.01
11/23/2025	CAROL STREAM IL, 60197	/ /	0.0000	N		0.00
		12/02/2025		N		1,537.01

Open

GL NUMBER	DESCRIPTION	AMOUNT
101-265.000-759.000	VEHICLE FUEL	383.47
590-527.000-759.000	VEHICLE FUEL	936.01
101-275.000-759.000	VEHICLE FUEL	100.32
101-275.000-759.000	VEHICLE FUEL	117.21
		1,537.01

VENDOR TOTAL: 1,537.01

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
Invoice Date	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
WASTMANAGM	WM CORPORATE SERVICES, INC.	11/25/2025	0137186-1389-9	GEN	10/01/25-10/31/25	
82855	AS PAY AGENT	12/02/2025		N		791.62
	P.O. BOX 4648					
11/04/2025	CAROL STREAM IL, 60197-4648	/ /	0.0000	N		0.00
		12/02/2025		N		791.62

Open

GL NUMBER	DESCRIPTION	AMOUNT
206-000.000-919.000	TRASH DISPOSAL	212.24
101-751.000-919.000	TRASH DISPOSAL	143.77
590-537.000-919.000	TRASH DISPOSAL	90.40
101-820.000-919.000	TRASH DISPOSAL	130.47
101-265.000-919.000	TRASH DISPOSAL	90.40
207-000.000-801.000	CONTRACTUAL SERVICES	124.34
		791.62

VENDOR TOTAL:	791.62
TOTAL - ALL VENDORS:	201,410.95





**DRAFT**

# **Livingston County, MI 2026 Master Plan**



Formally Adopted by the Livingston County Planning Commission  
\_\_\_\_\_, 2026



## Livingston County Board of Commissioners

Douglas Helzerman (District 1)

Dave Domas (District 2)

Frank Sample (District 3)

Wes Nakagiri (District 4)

Jay Drick (Chairman) (District 5)

Roger Deaton (District 6)

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Nick Fiani (District 8)

Jerome Gross (District 9)

## County Administrator

Nathan Burd

## Livingston County Planning Commission

Bill Anderson

Matt Ikle

Bill Call

Margaret Burkholder

Dennis Bowdoin

Kevin Galbraith Sr.

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## Livingston County Planning Department

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Robert Stanford, Principal Planner

Martha Haglund, Principal Planner

Abigail Carrigan, Student Planning Intern



# Acknowledgments

We offer our sincerest thanks to the following individuals and organizations that assisted the Livingston County Planning Department with the draft of this Master Plan. Your contributions were critical to our success in this endeavor.

Maps Courtesy of:

Sandon Lettieri - GIS Technician, Livingston County Information Technology Department

Cover Photo:

Nathan Versola-Hale

Other:

- Amy Johnston, Community Catalysts
- Kenneth Recker III, Chief Deputy Drain Commissioner, Livingston County Drain Commissioner's Office
- Kristoffer Tobbe - Chief Information Officer, Livingston County Information Technology Department
- Livingston County Transportation Coalition
- Staff of the Southeast Michigan Council of Governments (SEMCOG)
- All community members who attended our workshops, participated in our surveys, and submitted photos.

*Livingston County Planning*



Reserved for  
County Planning Commission  
Adoption Resolution

# Executive Summary:

Livingston County is defined by its diverse landscapes and dynamic communities, where residents value agriculture and historical roots while embracing new opportunities for the future. The Livingston County, Michigan 2026 Master Plan envisions a county that balances growth with preservation, ensuring that both people and natural resources can thrive for generations to come.

This plan represents a comprehensive two-year initiative, shaped by extensive public engagement and data-driven analysis. It updates demographic information using the latest census data, inventories existing land uses, evaluates emerging trends, and develops strategies to guide future regional decisions. The plan's focus areas are presented to the right and highlight the values and priorities identified by residents to inform coordinated countywide growth.

**Key Findings:** Public input revealed strong support for farmland and open space protection, a priority further reinforced by the Livingston County, Michigan: 2025 Sustainable Agriculture, Food Systems, & Rural Environments Plan. At the same time, demographic analysis highlights a rapidly aging population, with significant implications for healthcare, housing, and transportation. To address these shifts, the plan emphasizes intergenerational strategies that meet the needs of older residents while attracting and retaining younger households. Economically, Livingston County continues to hold Michigan's highest median household income, yet challenges persist in service accessibility and a changing retail landscape. Housing affordability remains a pressing concern, as rising home values create barriers for both first-time buyers and older adults, underscoring the need for more diverse housing options. The plan also identifies key infrastructure priorities, ranging from expanded broadband to the integration of renewable energy projects and other technologies that will shape the county's future.

The plan concludes with an existing land use inventory and a future land use plan, providing an understanding of current development trends and establishing a future vision informed by resident input and local community plans. In summary, the Livingston County, Michigan 2026 Master Plan provides a strategic approach to managing growth, preserving community identity, and ensuring progress toward sustainable development.

People

Economy

Education

Natural  
Resources &  
Recreation

Agriculture

Health &  
Wellness

Housing

Transportation

Infrastructure

Emergency  
Management &  
Hazard  
Mitigation

# Vision Statement:

Livingston County envisions a future that honors its rural heritage while embracing sustainable growth. Our communities will thrive by preserving farmland, natural resources, and open spaces, while directing new development to areas with existing infrastructure.

We will empower communities with the resources, knowledge, and tools necessary to create accessible housing, services, and transportation options for all residents. Vibrant downtowns, connected trails, and walkable neighborhoods will strengthen our sense of place and attract the next generation, while farmland, lakes, and woodlands remain central to our identity and economy.

Through collaboration, innovation, and stewardship, we will foster resilient communities that balance prosperity with preservation—ensuring that Livingston County remains a place where people can live, work, and thrive for generations to come.

*Charles Warren*



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# INTRODUCTION

# Introduction

Livingston County consists of 585 miles of rolling farmland, abundant natural features, and vibrant communities. The county is defined by its lakes and rivers, fertile agricultural lands, scenic woodlands, and a collection of beautiful towns and commercial activities. From historic downtowns to family farms and recreational trails, Livingston County offers both residents and visitors a strong sense of place rooted in its landscapes and community identity.



## Setting

### Quick Facts

585 Sq. Miles

16 Townships

2 Cities

2 Villages

11th Largest County in MI

196,000 People

Livingston County is located in the southeast corner of Michigan's Lower Peninsula, a region where nearly 50% of the state's population resides. The county is situated along the I-96 and US-23 corridors approximately halfway between Detroit and Lansing. The county comprises twenty-one units of government, including sixteen townships, two villages, two cities, and Livingston County Government. Many residents of Livingston County say that an imaginary north/south line can be drawn through the middle of the county to illustrate the diversity of the region's landscapes— with a relatively urban/suburban eastern half and a predominantly rural western half. Nearly half (46%) of the population resides in the southeast quadrant of the county, in the townships of Brighton, Genoa, Hamburg, and Green Oak, and the City of Brighton; whereas the majority of the farmland in Livingston County lies in the western half of the county in the townships of Unadilla, Iosco, Handy, Conway, Cohoctah, and Deerfield. Livingston County's regional location is often described as a midway point

between the state capital of Lansing and the state's largest city of Detroit, and it is also halfway between Michigan's largest institutions of higher education, the University of Michigan, and Michigan State University.

## Livingston County History

The land that is now Livingston County was first home to the Ottawa, Saginaw/Chippewa, Sauk, and Potawatomi peoples, who traveled this land and cultivated the soil for generations. These Indigenous communities were the original stewards of the region, sustaining both their people and the land through hunting, fishing, and farming practices. When colonial settlers began arriving in the early nineteenth century, the lifeways of these communities were deeply disrupted.



Through treaties—often made under pressure—the United States government acquired the land, including the 1807 Treaty of Detroit, which transferred what is now Livingston County into federal ownership. This process led to the relocation of the region’s tribes and opened the land to settlement by newcomers.



Livingston County thus became formally organized in 1836, named after former U.S. Secretary of State Edward Livingston. At its organization, the county embraced the townships of Green Oak, Hamburg, Putnam, Unadilla, Howell, and Hartland. Green Oak included its present area along with the township of Brighton; Hamburg included its present limits and the area of what is now Genoa Township; Unadilla included itself and what is now Iosco Township; Putnam included in addition to its present area the

township of Marion; Howell also took in the townships of Oceola, Deerfield, Cohoctah, Conway, and Handy; and Hartland was embraced in its present limits. The northeastern portion—now Tyrone Township—had not yet been established, and was included within Deerfield’s limits.

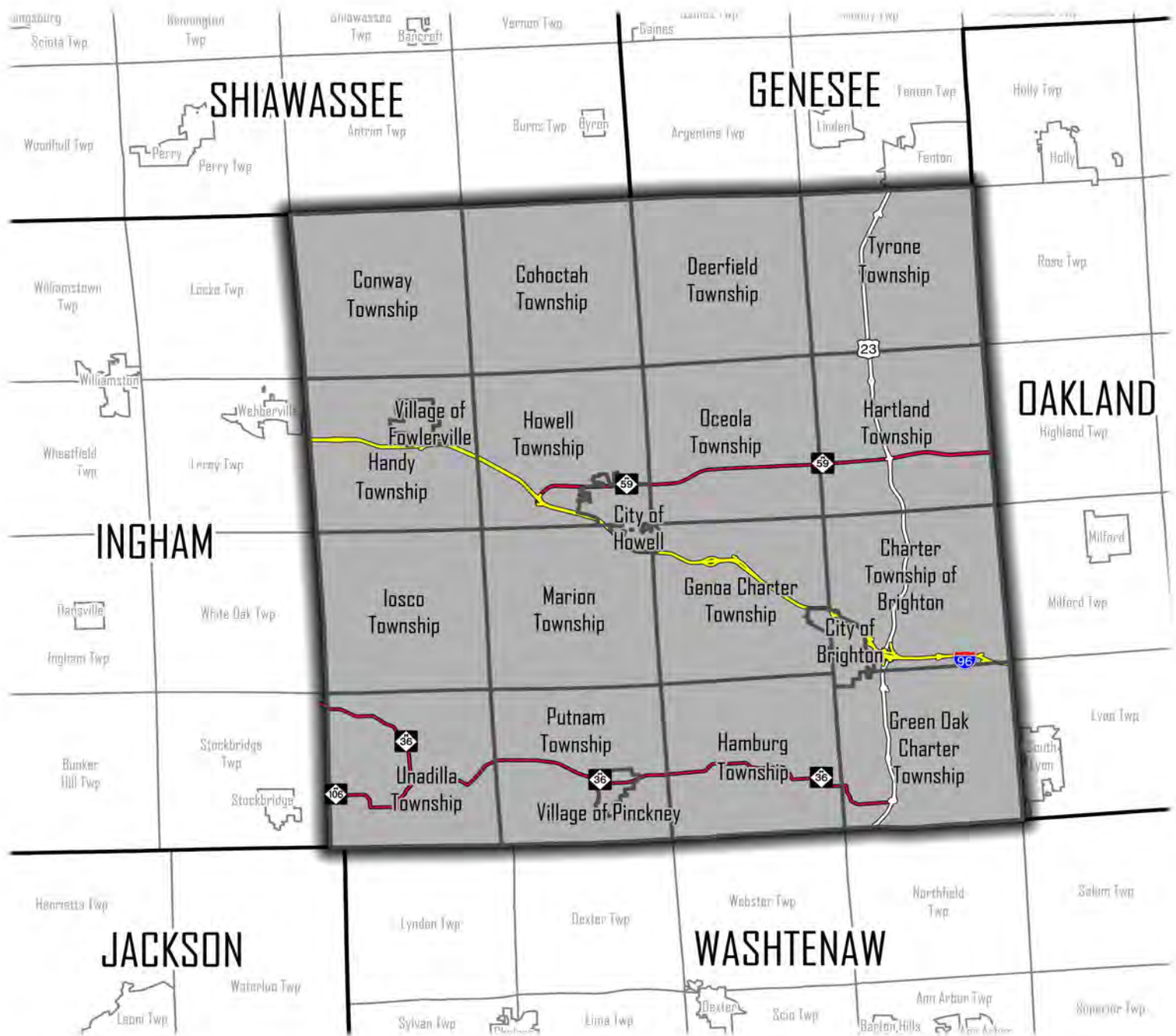
As time progressed, Livingston County gradually shifted from a frontier landscape into an established agricultural community. Settlers cleared forests for farmland, constructed mills along rivers and creeks, and built roads that connected early settlements to neighboring counties. The coming of the railroads in the mid-1880s further transformed the region, linking Howell, Brighton, and other communities together.

By the turn of the twentieth century, Livingston County’s towns had grown into rural centers, while its agricultural roots remained strong. Suburbanization then soon began to reshape the county as improvements in highways and automobile travel connected residents more closely to Detroit, Lansing, and Ann Arbor. Today, Livingston County retains a mix of its rural and agricultural heritage alongside its role as a growing suburban community within southeast Michigan’s regional economy.

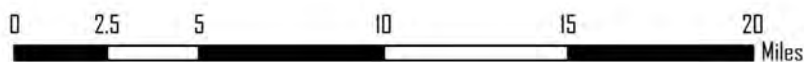
### Communities & Municipalities

Livingston County is composed of twenty one political jurisdictions including sixteen townships, two cities, two villages, and the Livingston County Government. Thirteen of the sixteen townships are general law townships and three are charter townships including: Brighton, Genoa, and Green Oak Charter Townships. The City of Howell is the county seat of government.

Each community contributes its own history, character, and priorities to the county—forming a network of municipalities that share common challenges and opportunities. All jurisdictions can be seen on the *Livingston County Municipalities* map on the following page.



# Livingston County Overall Location



- Interstate
- US Highway
- State Highway

Livingston County

Surrounding Counties

Livingston County Municipalities

Surrounding County Municipalities





# MASTER PLANNING PROCESS

# Master Planning Process

## What is a Master Plan?

A master plan serves as a comprehensive guiding document that examines the community through various land uses and objectives by addressing three fundamental questions:

- Where does our community currently stand?
- Where do we want to be?
- What steps can we take to realize that vision?

Through the provision of thorough documentation of existing land use conditions and geographical and historical contexts, a master plan seeks to realistically answer these questions, outlining specific goals and strategies for its implementation. Throughout its development, community input is actively solicited and incorporated, ensuring that the plan aligns with residents' needs. It is also regularly updated to reflect emerging trends and ongoing community feedback. A well-crafted master plan is crucial, as it offers essential guidance and rationale for land use decisions and the community's zoning ordinances.

## Who is the Plan Created for?

Livingston County is home to sixteen townships, two villages, and two cities. Each of these entities have individual planning authority, each with their own distinct master plan and zoning ordinance. As empowered by the Michigan Planning Enabling Act of 2008 as amended, The Livingston County Planning Department and Livingston County Planning Commission's role is to assist these communities by reviewing proposed changes to master plans, zoning ordinances, and other local planning documents, while also providing data, technical guidance, and resources to support well-coordinated planning decisions.

This *Livingston County, Michigan 2026 Master Plan* thus serves as a general advisory framework for the county's municipalities. Local governments are

### Townships, Villages, and Cities:

Hold legal planning & zoning authority

Adopt and amend master plans

Adopt and enforce zoning ordinances

Review and approve development proposals

Make final land use decisions

### Livingston County Planning Department & Planning Commission:

Advisory role- no direct zoning authority

Review and comment on local master plan and zoning amendments

Provide data, maps, and technical assistance

Promote coordination between neighboring communities



not required to adopt this plan, however, they may consider or use information and goals within it as they develop their own local plans and zoning ordinances as a means to better coordinate plans and regulations across local boundaries. By promoting collaboration among neighboring communities, this plan is designed to establish a unified vision for future development, balancing the demands of economic growth with the preservation of natural resources and community identity.

### Statutory Basis

Public Act 33 of 2008 as amended, the Michigan Planning Enabling Act (MPEA), empowers local units of government (townships, villages, cities, and counties) to establish planning commissions and adopt master plans. In Livingston County, each jurisdiction retains the authority to develop and administer its own plans and zoning ordinances, and while they are not legally required to adopt or implement the *Livingston County 2026 Master Plan*, they are strongly encouraged to use it as a guiding framework. The MPEA emphasizes the value of coordination and consistency across jurisdictions, recognizing that county master plans provide a unifying vision for regional growth and development. As authorized under state law, the *Livingston County 2026 Master Plan* serves as an essential document that offers a countywide perspective on economic development, housing, transportation, growth management, agriculture, and natural resources.

### Past Planning Efforts

#### Livingston County Master Plan



The last countywide master plan was completed in 2018, and represented a significant update to the 2003 Master Plan. Although the 2003 version underwent various amendments over the years, the county's changing landscape and the passage of the Michigan Planning Enabling Act, or Public Act 33 of 2008 as amended, necessitated a significant update. While the 2003 Master Plan was designed as a traditional framework that focused on existing land uses and trends, the [2018 Livingston County Master Plan](#) adopted a more innovative approach, centering on best practices and timely planning trends. Many of the best practices outlined in the 2018 Master Plan remain relevant today and can still serve as valuable tools for communities seeking to update their own master plans or zoning ordinances.

This new master plan aims to incorporate significantly more public participation compared to previous efforts. As the Livingston County Planning Department remains dedicated to fulfilling the roles of facilitator, educator, and resource provider– both Livingston County Planning Staff and the Livingston County Planning Commission will continue to review and provide advisory comments on local planning and zoning proposals, assist communities with data and best practices, and foster collaboration to support sound, coordinated growth across the county.

## Plan Creation Timeline



## Public Participation

As previously mentioned, public participation has been the guiding force for the formulation of this plan. Between December 1 and December 31, 2023, the Livingston County Planning Department presented the first two open-ended questions on the project website. The first question asked “Which three areas should the master plan prioritize?”. The second question further implored about topics and data to be addressed in the 2026 Master Plan. The most popular responses included preservation of open space, public transportation, and road improvements. Following these inquiries, a detailed 25-question survey was conducted from

### Community Survey Participation

#### 1,131 responses

- 16% - Genoa Township
- 10% - Brighton Township
- 10% - Hamburg Township
- 9% - Oceola Township
- 8% - City of Howell
- 8% - Marion Township
- 7% - Howell Township
- 6% - Hartland Township
- 6% - City of Brighton
- 4% - Green Oak Township
- 3% - Putnam Township
- 2% - Cohoctah Township
- 2% - Tyrone Township
- 2% - Handy Township
- 2% - Iosco Township
- 1% - Deerfield Township
- 1% - Unadilla Township
- 1% - Conway Township
- 1% - Village of Fowlerville
- 1% - Village of Pinckney
- 1% - Other

January 1, 2024 to March 8, 2024, garnering a total of 1,139 responses. Hard copies were available at the Livingston County Administration building and the Howell Carnegie Library.

The Planning Department also organized two Master Planning workshops. These sessions began with a presentation that outlined the master planning process and shared preliminary survey results. Each table was provided with a map segment of the county, and participants were asked to describe various land uses in those areas. The aim was to identify land use strengths, weaknesses, opportunities, and threats. The comments collected during the workshops were compiled into an interactive map, which was made accessible on the project website. The two master plan workshops had approximately 60 attendees each. The attendees consisted of approximately half elected/appointed officials and the remaining half were members of the public. Workshop representation consisted of Genoa Township (31), Marion Township (12), Oceola Township (11), Hartland Township (7) and Howell Townships (7). Whereas there was little to no participation from Cohoctah Township (1), Conway Township (1), Green Oak Township (0) and Unadilla Township (0). To ensure that feedback was available to individuals who could not attend the workshops, an interactive map

was also provided on the project website. Participants identified locations and added comments regarding land use, either positive or negative, for geographic points.

The results from our public participation efforts can be accessed at the [Livingston County Master Planning Website](#) as well as in the appendix of this plan.

Livingston County Planning





## Plan Organization

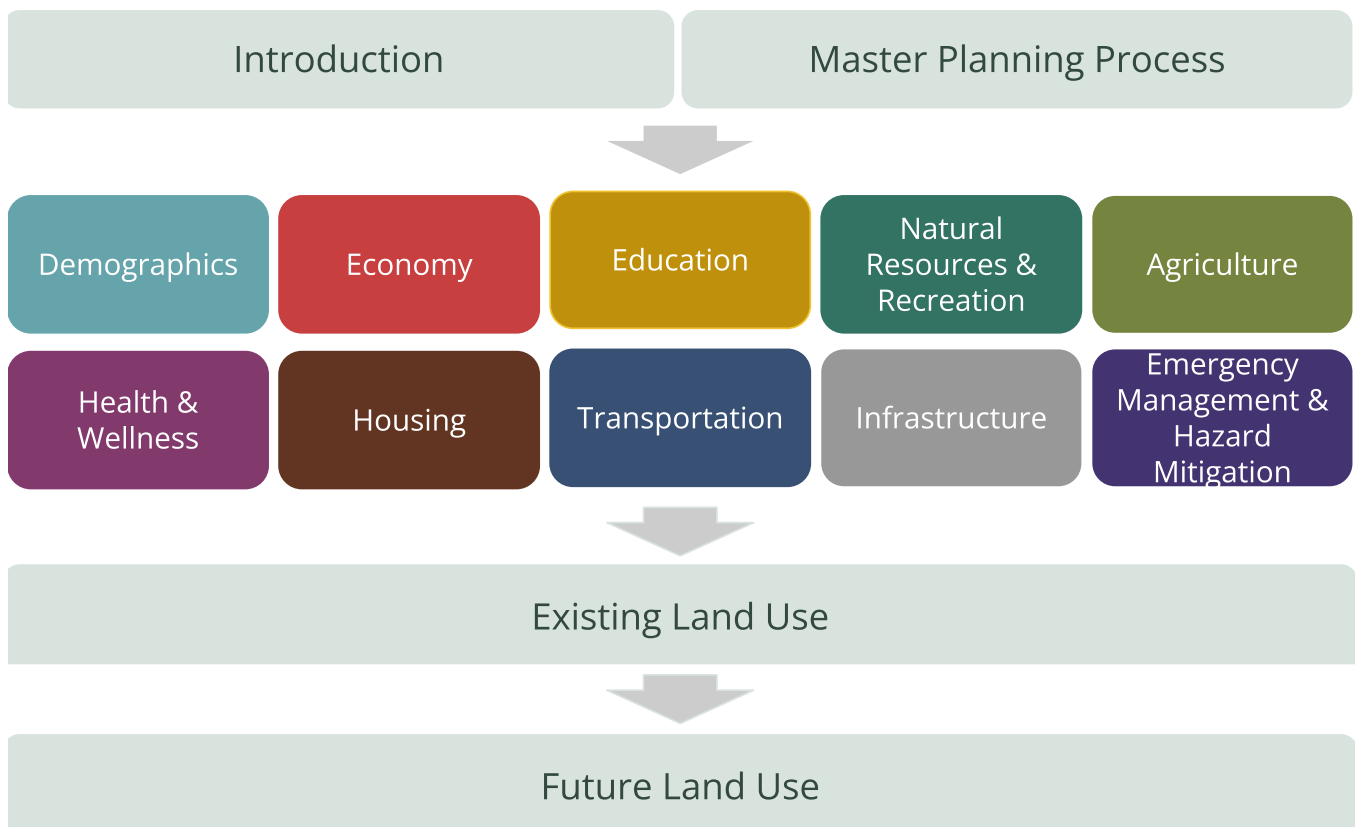
This Master Plan is organized into a series of thematic chapters, each of which highlight existing conditions, key challenges, current trends, public input, and future goals. By structuring the plan in this way, Livingston County aims to provide a comprehensive framework that local municipalities can reference when shaping their own plans, ordinances, and policy decisions. The chapters are organized as follows:

- **People:** Examines demographic trends, population growth, and community identity. This section highlights shifts in age, household composition, and cultural characteristics, while reflecting resident perspectives on community strengths and future needs.
- **Economy:** Analyzes the economic landscape of Livingston County, including employment sectors, business development, and workforce trends. This section also addresses public feedback regarding local business development and regional competitiveness.
- **Education:** Explores educational attainment, school district attendance, and partnerships with higher education institutions. It also considers how education supports workforce development and community vitality.
- **Natural Resources & Recreation:** Documents the county's abundant natural assets and emphasizes strategies for conservation, stewardship, and recreational access. Resident concerns about protecting open space and expanding recreational opportunities are integrated into this section.
- **Agriculture:** Reviews the role of agriculture in Livingston County's economy and landscape, including farmland preservation, agribusiness, and land use pressures. Public priorities such as farmland protection and support for local food systems are incorporated.
- **Health & Wellness:** Focuses on the physical, mental, and social well-being of residents. This section examines access to healthcare services, public health trends, and community initiatives that promote wellness, including safe and healthy built environments.
- **Housing:** Provides an overview of housing stock, affordability, and availability across the county. It also evaluates future housing needs, including diverse housing options for seniors, young families, and low-income households.
- **Transportation:** Addresses the county's transportation network, including roads, public transit, trails, and non-motorized pathways. This section reflects public interest in road improvements and enhanced transportation options.
- **Infrastructure:** Reviews essential systems that support growth such as water, sewer, broadband, and energy.
- **Emergency Management & Hazard Mitigation:** Identifies risks and vulnerabilities associated with natural and manmade hazards. This section outlines the importance of preparedness strategies and coordination mechanisms to ensure the safety and resilience of Livingston County Communities.

Each chapter concludes with a set of goals and strategies that synthesize research, public feedback, and best practices. By embedding community voices and measurable objectives throughout, this Master Plan ensures that Livingston County remains responsive to its residents while providing a coordinate framework for the future.

The plan concludes with two countywide land use components:

- **Existing Land Use:** This section includes detailed maps and data illustrating existing land use patterns across Livingston County by identifying residential, commercial, industrial, agricultural, and public land uses. The Existing Land Use map provides a foundation for understanding current development trends and serves as a baseline for future planning decisions
- **Future Land Use:** This section outlines the county's vision for growth and preservation. The Future Land Use Map provides guidance for how land is expected to be developed or conserved over time. Designations balance the need for economic development, housing, and infrastructure with the protection of agricultural lands, open spaces, and natural resources. Together, these maps and policies offer a long-term framework that communities can adapt to meet local needs while aligning with countywide goals.



## Chapter Layout

Each of the plan's chapters follows a consistent format to ensure clarity, accessibility, and ease of comparison across themes. The structure of each chapter is as follows:

**Snapshot:** A quick overview highlighting key facts, figures, and takeaways about the topic area. The snapshot provides a concise reference point for readers seeking a high-level understanding of current conditions.

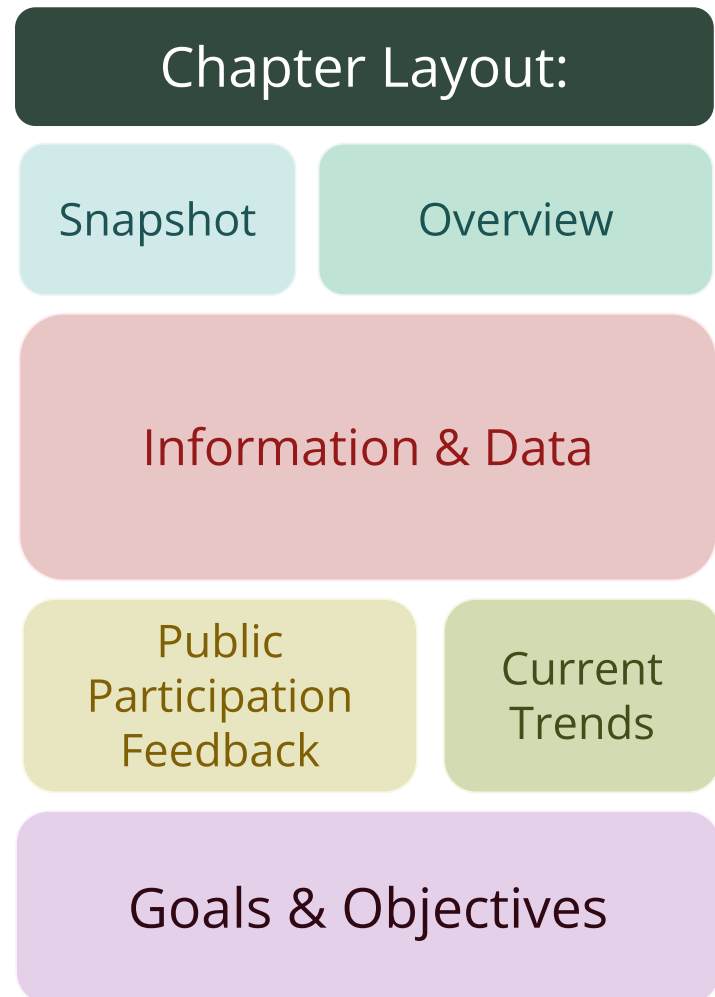
**Overview:** A narrative introduction that sets the context for the chapter. This section explains why the topic is important to Livingston County, outlines historical or regional context, and describes how the issue connects to broader planning goals.

**Information & Data:** A detailed presentation of relevant data, maps, and analysis. This section provides the factual foundation for understanding current conditions and future challenges. Where appropriate, comparisons to regional, state, or national trends are included.

**Feedback:** A summary of community input collected through surveys, workshops, and other engagement efforts that directly relates to the topic. This ensures that public perspectives are embedded throughout the plan.

**Current Trends:** An analysis of emerging issues, opportunities, and policies that may shape the county's future in this topic area. Trends were evaluated through a comprehensive approach that included data analysis, public feedback, and general nationwide land use trends.

**Goals & Objectives:** A forward-looking section that sets the county's priorities for the topic area. Goals represent broad aspirations, while objectives identify specific strategies or actions that can be implemented by the Livingston County Planning Department and Livingston County Planning Commission.



## How to Use the Plan



The Livingston County Master Plan is a fully web-based, interactive plan. At times, the plan contains web-based links to resources or best practices, and to be fully effective it should be viewed and utilized digitally. This format allows users to easily navigate between chapters, access supplemental resources, and explore interactive maps and story maps that illustrate key data and community feedback. The digital design makes the plan adaptable and continually updatable, ensuring that residents, local officials, and partner organizations have access to the most relevant information at any time.

Audiences may use the plan in different ways:

**Local governments** can reference countywide goals, maps, and data to inform their own master plans and zoning ordinances. While not binding, the plan provides a regional perspective that helps communities coordinate across boundaries and align on shared priorities such as infrastructure, natural resource protection, and housing.

**County agencies and departments** can use the plan to guide policy, investments, and interdepartmental collaboration, particularly when addressing cross-sector issues such as transportation, health, and economic development.

**Community organizations and institutions** can draw upon the data, maps, and goals to support grant applications, programming, and advocacy.

**Residents and business owners** can use the plan to better understand how land use, infrastructure, and community priorities may shape the county's future. Interactive elements, such as maps and photo documentation, help illustrate how feedback has been incorporated and where opportunities for ongoing engagement exist.

Users are encouraged to return to the plan website periodically to explore updates, access new resources, and track progress toward countywide goals.



# PEOPLE

Instagram: [mrswebersneighborhood](https://www.instagram.com/mrswebersneighborhood)



# Livingston County: People

## Snapshot

### A Steadily Growing Community

Livingston County continues to grow— but more steadily than in past decades.

### Aging is Accelerating

Seniors now make up a much larger share of the population. Additionally, the number of young children is shrinking.

### Migration is Driving Growth

People are choosing to move here, as net migration has nearly doubled in recent years.

### New Growth Hotspots

Oceola, Tyrone, and Howell Townships have seen the largest population surges in recent years.

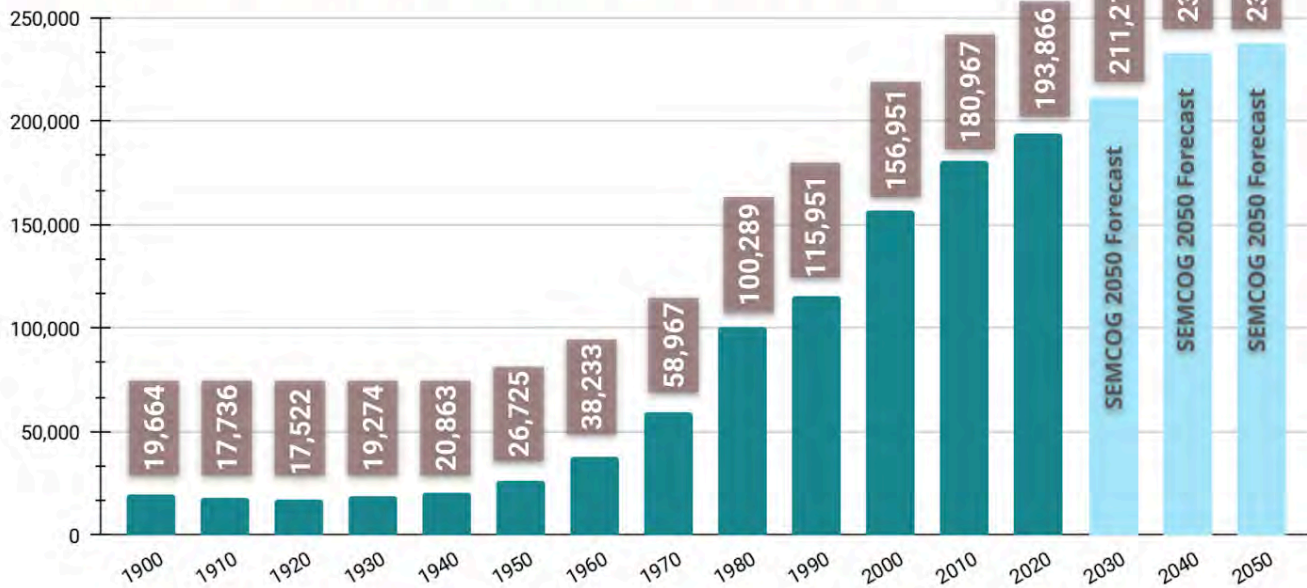
Livingston County is home to a dynamic and steadily growing population, defined by a strong sense of community and a high quality of life. As demographic patterns evolve, the county's future is expected to be both older and more geographically dispersed. These shifts bring important opportunities to reimagine how communities can support residents across all stages of life. Planning, therefore, must prioritize the facilitation and creation of inclusive, aging-friendly communities, expand housing options, and ensure that younger generations can live, work, and thrive here.

This section explores the demographic changes shaping Livingston County and the ways in which thoughtful planning can support a connected and resilient future for all residents.



## Population Growth

## Livingston County Population Forecast 1900-2050



Source: U.S. Census Bureau and SEMCOG 2050 Regional Development Forecast

### SEMCOG Projected Fastest-Growing Communities in Livingston County 2020-2050:

Hartland Township  
+42.79%

Green Oak Township  
+35.98%

Genoa Township  
+24.57%

As the U.S. Census data in the *Livingston County Population Forecast 1900-2050* chart above indicates, Livingston County's population remained relatively stable from 1900 to 1950, with modest growth averaging about 2.6% per decade. A major demographic shift occurred between 1960 and 1970, when the population surged by 35%, marking the beginning of a period of sustained and significant growth. From 1970 to 2020, the county continued to expand each decade, with especially strong growth of 41.2% between 1970 and 1980 and 26.1% between 1990 and 2000. While the pace has since slowed, the county still saw a 6.6% increase from 2010 to 2020. Over these 50 years, Livingston County averaged 6.9% growth per decade. Looking ahead, the Southeast Michigan Council of Governments (SEMCOG) 2050 Regional Development Forecast (2050 RDF) projects that the county will continue this steady upward trend. Additionally, the townships of Hartland, Green Oak, Genoa, Brighton, Oceola, and Howell are expected to see the most population growth throughout this period, while

Cohoctah Township, the Villages of Pinckney and Fowlerville, and the City of Howell are expected to see the least.

## Components of Population Change

Livingston County Population Change 2005-2022				
<u>Components of Population Change</u>	<u>Average 2000-2005</u>	<u>Average 2006-2010</u>	<u>Average 2011-2018</u>	<u>Average 2020-2022</u>
<u>Natural Increase (Births - Deaths)</u>	1,247	603	352	-56
<u>Births</u>	2,422	1,763	1,763	1,785
<u>Deaths</u>	1,175	1,160	1,411	1,841
<u>Net Migration (Movement In - Movement Out)</u>	3,127	-173	897	1,533
<u>Population Change (Natural Increase + Net Migration)</u>	4,374	430	1,249	1,477

Source: Michigan Department of Community Health Vital Statistics, U.S. Census Bureau, and SEMCOG

The U.S. Census data in the *Livingston County Population Change 2005-2022* table above highlights the key drivers of population growth since 2000. These include births, deaths, and migration. The difference between births and deaths is known as “natural increase,” while migration refers to “net migration”-- or the balance between people moving into the county and those moving out. Together, these components provide a clear picture of how and why the county’s population has changed over time. As shown in the table, the natural population change in Livingston County shifted notably between 2000 and 2018. The average number of births declined by 27.2% between the 2000-2005 and 2006-2010 periods, then remained steady from 2011 to 2018. In contrast, average deaths remained relatively stable between 2000 and 2010, but rose by 20.3% between 2011 and 2018. Net migration fluctuated significantly over the same timeframe. From 2000 to 2005, the county gained an average of 3,127 residents annually. However, between 2006 and 2010, net migration dropped sharply, resulting in an average annual loss of approximately 173 individuals. Migration then rebounded between 2011 and 2018, with an average annual gain of nearly 900 people. While the county experienced overall population growth between 2000 and 2018, the 2006-2010 period marked a significant slowdown compared to the periods before and after it.

More recent data from 2020 to 2022 suggests a slight decline due to natural change, with an average net decrease of 56 individuals annually. Births remained consistent with post-2006 levels, but deaths rose nearly 30% between 2018 and 2022. Meanwhile, net migration nearly doubled compared to the previous period, increasing from an average annual gain of 897 individuals (2011-2018) to 1,533 between 2020 and 2022. Lastly, the overall population change observed between 2020-2022 increased by an average of 1,477 individuals annually.



## Household Growth

Livingston County Population & Households 2010-2050						
<u>Population and Households</u>	<u>Census 2010</u>	<u>Census 2020</u>	<u>Change 2010-2020</u>	<u>Percent Change 2010-2020</u>	<u>SEMCOG July 2022</u>	<u>SEMCOG 2050</u>
<u>Group Quarters Population</u>	1,152	1,415	263	22.80%	2,015	2,633
<u>Household Population</u>	179,815	192,451	12,636	7.00%	194,805	235,504
<u>Average Household Size</u>	2.67	2.59	-0.08	-	2.57	2.56

Source: U.S. Census Bureau and SEMCOG 2050 Regional Development Forecast

As the U.S. Census data in the *Livingston County Population & Households 2010-2050* table above indicates, the number of households grew by 7% between 2010 and 2020. The Southeast Michigan Council of Governments (SEMCOG) 2050 Regional Development Forecast (2050 RDF) projects that the county's household population will continue its steady growth through 2050, increasing by 19.3%—from 74,264 to 92,061 households. Although U.S. Census data shows that the total number of housing units increased by 5,632 units (7.7%) during the same period, average household size declined by 2.10%, from 2.67 persons per household in 2010 to 2.59 in 2020.



Stacey Oliver

Livingston County's number of households is projected to grow faster than any other county in Southeast Michigan by 2050.

Livingston County  
+24.0%

Washtenaw County  
+14.8%

Macomb County  
+10.3%

## Types of Households

Livingston County Household Types 2010-2050					
<u>Household Types</u>	<u>Census 2010</u>	<u>ACS 2021</u>	<u>Change 2010- 2021</u>	<u>Percent Change 2010- 2021</u>	<u>SEMCOG 2050</u>
<u>With Seniors 65+</u>	15,127	24,617	8,166	62.70%	38,742
<u>Without Seniors</u>	52,253	50,224	-2,029	-3.90%	53,319
<u>Live Alone, 65+</u>	4,877	7,723	2,846	58.40%	-
<u>Live Alone, &lt;65</u>	8,699	8,998	299	3.40%	-
<u>2+ Persons, With Children</u>	24,182	21,912	-2,270	-9.40%	25,491
<u>2+ Persons, Without Children</u>	29,622	36,208	6,586	22.20%	43,793
<u>Total Households</u>	67,380	73,924	7,461	11.10%	92,061

Source: U.S. Census Bureau, Decennial Census, 2017-2021 American Community Survey 5-Year Estimates, and SEMCOG 2050 Regional Development Forecast

The US Census data in the *Livingston County Household Types 2010-2050* table above provides figures that characterize Livingston County household composition between the two most recent census periods, 2010 and 2020, as well as forecasts from the Southeast Michigan Council of Governments (SEMCOG). Between 2010 and 2022, the number of households with seniors (individuals aged 65 and older) increased by 8,166– a 62.7% rise over the period. By 2022, senior households made up 32.8% of all households in the county. According to SEMCOG projections, this figure is expected to reach 38,742 households by 2050, comprising 42.1% of the county's total households. Seniors living alone also increased by 58.4% between 2010 and 2022. In comparison, households without seniors decreased by 2,029 persons-- a 3.9% decrease between 2010 and 2022. Households without seniors in 2022 represented 67.2% of all households in the county. SEMCOG forecasts this household type to be 53,319 persons in 2050, which would represent 57.9% of all households at that time. Households without a senior present and who lived alone grew a modest 3.4% between 2010 and 2022. Households consisting of two or more persons, with children present, decreased by 9.4% between 2010 and 2022. These households represented 29.3% of all households in the county. By 2050, SEMCOG forecasts this household type to represent 27.7% of all households. Conversely, two-person-plus households increased by 6,586 households – a 22.2% increase. These households accounted for 48.4% of all households in the county in 2022. SEMCOG forecasts this household type to be 43,793 households, which will represent 47.5% of all households in the county in 2050.

## Population by Age

Livingston County Population by Age 2010-2022					
Age Cohort	Census 2000	Census 2010	% Chg 2000-2010	ACS 2022	% Chg 2010-2022
<u>Under 5</u>	11,305	9,924	-12.20	9,455	-4.73
<u>5-9</u>	12,816	12,746	-0.55	11,181	-12.30
<u>10-19</u>	24,755	27,902	12.70	23,961	-14.1
<u>20-29</u>	14,603	16,862	15.50	21,945	30.10
<u>30-39</u>	26,642	20,373	-23.50	22,892	12.40
<u>40-49</u>	28,545	31,275	9.56	23,164	-29.50
<u>50-59</u>	19,675	29,487	49.90	30,419	3.20
<u>60-69</u>	9,537	18,704	96.10	27,769	48.50
<u>70-79</u>	6,060	8,554	41.20	16,178	41.10
<u>80+</u>	3,013	5,140	70.60	7,338	42.80
<u>Total Population</u>	156,951	180,967	15.30	194,302	7.40

Source: U.S. Census Bureau, Decennial Census, and 2017-2022 American Community Survey 5-Year Estimates

The U.S. Census data in the *Livingston County Population by Age 2010-2022* table above highlights notable age cohort shifts from 2000 to 2022. The county saw declines among its youngest age groups, with the “Under 5” and “5 to 9” cohorts shrinking steadily, while “10 to 19” rose 12.7% from 2000 to 2010 before falling 14.1% by 2022.

In contrast, older populations grew significantly. The “60 to 69” cohort nearly doubled from 2000 to 2010 and grew another 48.5% by 2022. The “70 to 79” and “80+” groups also rose steadily, each increasing by over 40% between 2010 and 2022.

Overall, Livingston County’s population grew 15.3% from 2000 to 2010, then slowed to 7.4% growth between 2010 and 2022.

Livingston County  
Median Age:

**44.4 Years**

10% higher than  
Michigan average (40.1)

15% higher than United  
States average (38.5)

## Population by Race

Livingston County Population by Race 2010-2020					
Race and Hispanic Origin	Census 2010	% of Population 2010	Census 2020	% of Population 2020	% Chg 2010-2020
<u>Non-Hispanic</u>	177,507	98.10%	188,363	97.20%	-0.90%
<u>White</u>	172,513	95.30%	176,756	91.20%	-4.20%
<u>Black</u>	776	0.40%	1,117	0.60%	0.10%
<u>Asian</u>	1,412	0.80%	1,626	0.80%	0.10%
<u>Multi-Racial</u>	1,978	1.10%	7,672	4.0%	2.90%
<u>Other</u>	828	0.50%	1,192	0.60%	0.20%
<u>Hispanic</u>	3,460	1.90%	5,503	2.80%	0.90%
<u>Total</u>	180,967	100%	193,866	100%	0%

Source: U.S. Census Bureau Decennial Census

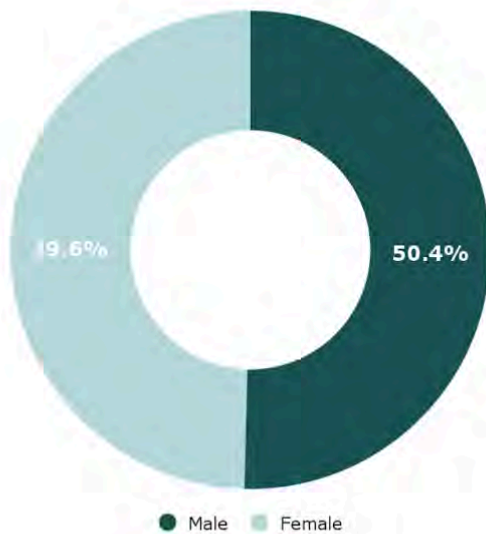
The *Livingston County Population by Race 2010-2020* table above represents the changes in Livingston County's racial demographics over the last decade. In 2020, Livingston County's population was overwhelmingly non-Hispanic White, comprising 91.2% of the total population. The remainder of the non-Hispanic population included individuals identifying as multiracial (4.0%), Asian (0.8%), Black or African American (0.6%), and Other races (0.6%). Residents of Hispanic or Latino origin made up 2.8% of the county's population. Between 2010 and 2020, the percentage of the county's population composed of multi-racial origin increased throughout the decade, accounting for 1.1% of the population in 2010, but increasing nearly fourfold, accounting for 4.0% in 2020. Also, during the same decade, the Hispanic composition of the county's population increased from 1.9% in 2010 to 2.8% in 2020. In contrast, the proportions of both White and Black residents declined slightly, while the percentage of Asian residents remained relatively stable throughout the decade.





## Population by Sex

## Livingston County Population by Sex 2023



According to the U.S. Census Bureau's 2023 American Community Survey (ACS) 1-Year Estimates seen in the *Livingston County Population by Sex* chart at left, Livingston County has a nearly balanced gender distribution, with approximately 50.4% male and 49.6% female residents. This slight male majority is somewhat atypical, as national trends often show a marginally higher female population.

Source: U.S. Census Bureau 2023 American Community Survey (ACS) 1-year Estimates

## Population by Community

While the area's growth is consistent, certain regions of the county are experiencing more fast-paced growth than others. Population growth in the southeast quadrant of the county (Green Oak Township, Hamburg Township, Brighton Charter Township, Genoa Charter Township, and the City of Brighton) has slowed since 2010, and has been surpassed for the first time by population growth in the northeast quadrant (Tyrone Township, Deerfield Township, Oceola Township, and Hartland Township). The northeast quadrant grew by 5,242 people, with Oceola Township leading the way with a 22.5% growth (2,687 new residents). Some Livingston County communities experienced a decrease in population between 2020 and 2010, including Cohoctah, Deerfield, Putnam, and Unadilla Townships, alongside the Village of Pinckney. Among Livingston County's cities and villages, the City of Howell showed the most growth (579 new residents). Each jurisdiction's population growth is detailed on the following pages in the *Livingston County Population by Community 2010-2020* table and the *Livingston County Population Change 2010-2020* map.

## Livingston County Fastest Growing Communities 2010-2020:

Oceola Township  
+22.5%

Tyrone Township  
+19.6%

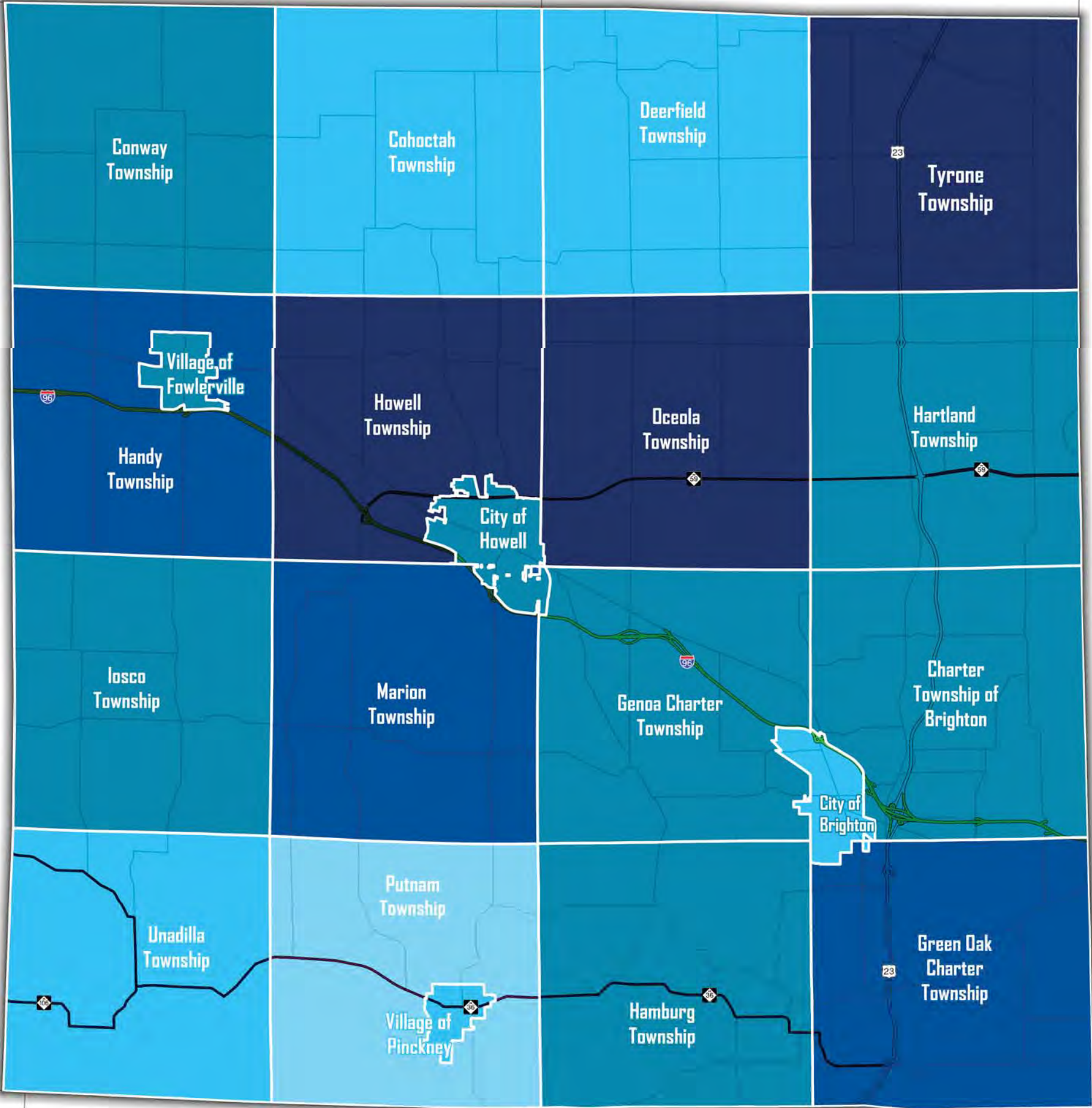
Howell Township  
+17.8%

Marion Township  
+12.5%

## Livingston County Population by Community 2010-2020

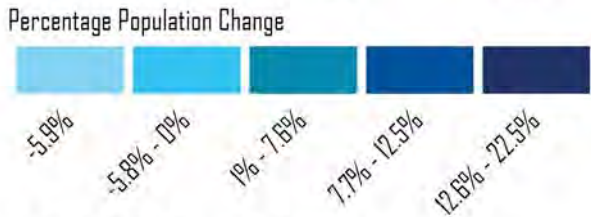
Community	Census 2010	Census 2020	# Population Change	% Population Change
Townships				
<u>Brighton</u>	17,791	19,144	1,353	7.6%
<u>Cohoctah</u>	3,317	3,246	-71	-2.1%
<u>Conway</u>	3,546	3,608	62	1.7%
<u>Deerfield</u>	4,170	4,166	-4	-0.1%
<u>Genoa</u>	19,821	20,692	871	4.4%
<u>Green Oak</u>	17,476	19,539	2,063	11.8%
<u>Hamburg</u>	21,165	21,259	94	0.4%
<u>Handy</u>	5,120	5,651	531	10.4%
<u>Hartland</u>	14,663	15,256	593	4.0%
<u>Howell</u>	6,702	7,893	1,191	17.8%
<u>Iosco</u>	3,801	3,870	69	1.8%
<u>Marion</u>	9,996	11,245	1,249	12.5%
<u>Oceola</u>	11,936	14,623	2,687	22.5%
<u>Putnam</u>	5,821	5,475	-346	-5.9%
<u>Tyrone</u>	10,020	11,986	1,966	19.6%
<u>Unadilla</u>	3,366	3,333	-33	-1.0%
Cities				
<u>Brighton</u>	7,444	7,446	2	0.0%
<u>Howell</u>	9,489	10,068	579	6.1%
Villages				
<u>Fowlerville</u>	2,886	2,951	65	2.3%
<u>Pinckney</u>	2,426	2,415	-12	-0.5%

Source: U.S. Census Bureau 2023 American Community Survey (ACS) 1-year Estimates



Name	Percentage Change	Population Change
Charter Township of Brighton	7.6%	1353
City of Brighton	0%	2
Cohoctah Township	-2.1%	-71
Conway Township	1.7%	62
Deerfield Township	-0.1%	-4
Village of Fowlerville	2.3%	65
Genoa Charter Township	4.4%	871
Green Oak Charter Township	11.8%	2063
Hamburg Township	0.4%	94
Handy Township	10.4%	531

Name	Percentage Change	Population Change
Hartland Township	4%	593
Howell Township	17.8%	1191
City of Howell	6.1%	579
Iosco Township	1.8%	69
Marion Township	12.5%	1249
Oceola Township	22.5%	2687
Village of Pinckney	-0.5%	-12
Putnam Township	-5.9%	-346
Tyrone Township	19.6%	1966
Unadilla Township	-1%	-33



# Livingston County Population Change 2010-2020

Data Source: Livingston County GIS U.S. Census Bureau 2023  
American Community Survey (ACS) 1-year Estimates





# Demographics: Feedback & Current Trends

## Feedback



## Current Trends

### Aging in Community

Communities are adopting age-friendly policies that support older adults in remaining in their homes and neighborhoods as they age.

### Demand for Versatile Housing Types

To accommodate smaller households, single-person dwellers, and multi-generational families, communities are embracing more flexible housing forms, such as accessory dwelling units and smaller single-family ranches.

### Intergenerational Planning

Planners are working to design neighborhoods that are inclusive for all ages, where young families, seniors, and individuals can live near each other and share resources such as childcare, parks, and healthcare.

### Community Identity & Placemaking

In response to population shifts, many communities are investing in placemaking strategies that reinforce local history and identity and retain both long-term and new residents.

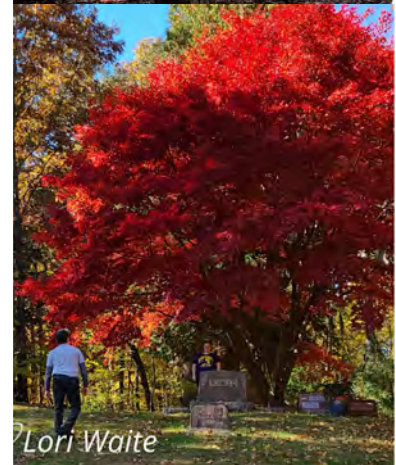
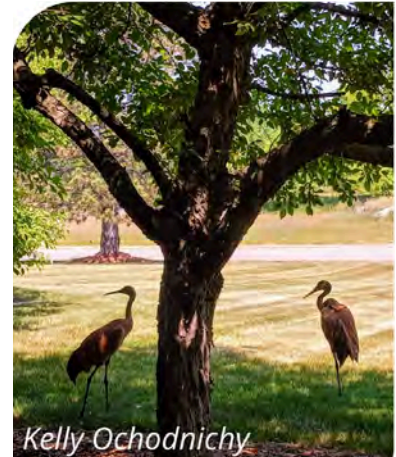
## People: Goals & Objectives

### Goal #1: Foster Age-Inclusive Communities

Provide guidance and data to local governments that encourage planning for residents across all life stages.

*Objective:* Share model ordinances and best practices for accessible, age-friendly housing types (e.g., ranch homes, ADUs, senior living) near town centers and services.

*Objective:* Work with transportation agencies and local jurisdictions to identify priority areas for pedestrian transit and accessible public space improvements.

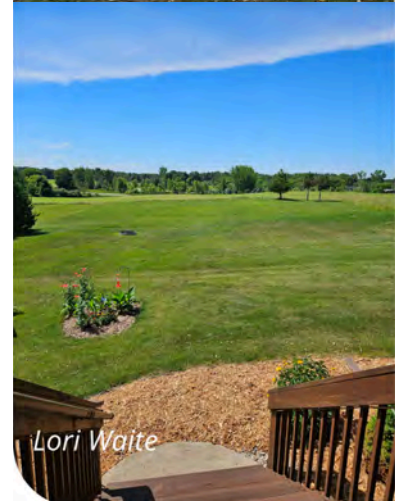


### Goal #2: Retain and Attract Younger Generations

Advise communities on land use and zoning strategies that create career-supportive environments and attainable housing opportunities.

*Objective:* Provide technical assistance to local governments on zoning updates that allow for starter homes, diverse rental options, and mixed-use development near employment and educational services.

*Objective:* Promote intergovernmental coordination to plan mixed-use nodes with public amenities and transportation access.



## Demographics: Goals & Objectives

### Goal #3: Plan for Balanced Growth and Infrastructure Alignment

Support township and municipal planning efforts to coordinate growth with infrastructure capacity and service availability.

*Objective:* Maintain and share updated infrastructure maps and growth trend data to inform local master plan updates and development.

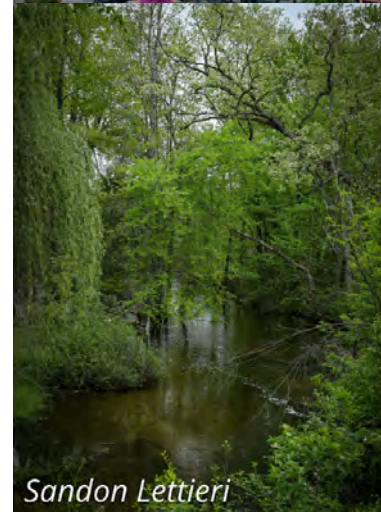
*Objective:* Recommend growth management tools to help communities align growth with available utilities, transportation, and broadband.

### Goal #4: Shape Identity Through Placemaking

Provide planning resources and technical guidance to help communities enhance public spaces and sense of place.

*Objective:* Compile and share case studies for historic preservation projects.

*Objective:* Offer guidance and planning assistance for downtown improvements, parks, and civic spaces that promote community gathering.





# ECONOMY



# Livingston County: Economy

## Snapshot

### Fastest-Growing & Thriving

Livingston County remains one of Michigan's fastest-growing counties, with strong job creation and population growth fueling economic momentum.

### Record-Low Unemployment

With one of the lowest unemployment rates in the state, Livingston County's labor force is resilient, dynamic, and steadily expanding.

### Business is Booming

Entrepreneurship is on the rise and business applications are surging.

### High-Income, Low-Poverty

Livingston County boasts the highest median household income in Michigan and continues to see declines in poverty across all household types.

Livingston County has an established reputation as one of the fastest-growing counties in Michigan. In recent decades, Livingston County's economy has steadily expanded as the number of payroll jobs has grown alongside population growth. The county's unemployment rate is also among the lowest in the state. This success has persisted despite significant economic turbulence, which has disrupted job markets, strained businesses, and reshaped regional economies across Michigan. The continued strength of Livingston County throughout these periods of uncertainty is a testament to the desirability of living and working in the area.

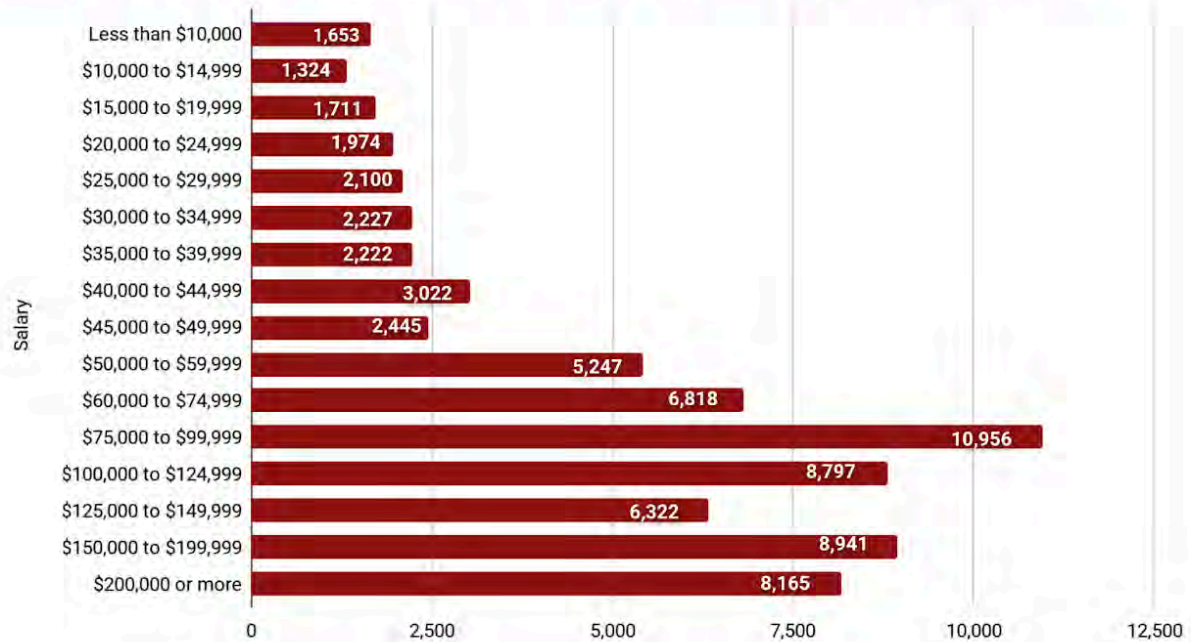
This section explores the county's economic landscape and employment trends with the intent of highlighting the ways in which planning efforts can help sustain economic resilience.





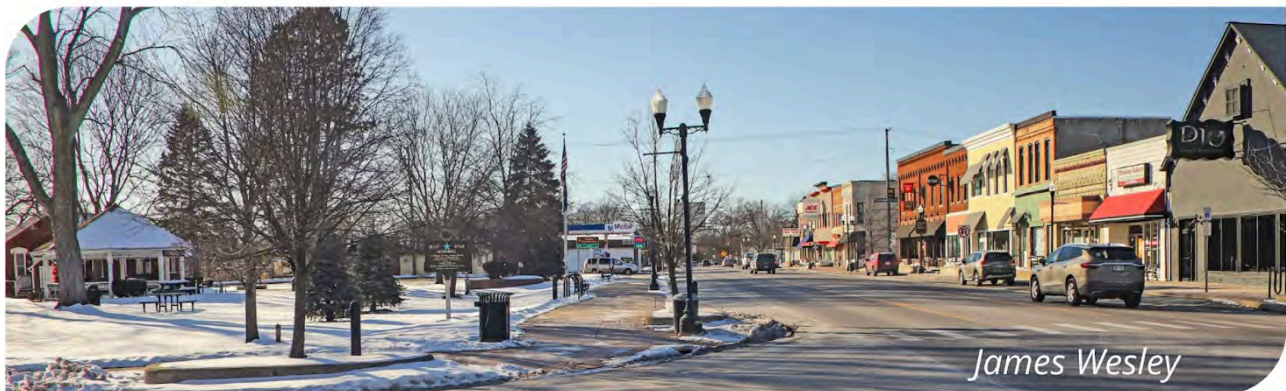
## Annual Income by Number of Households

## Livingston County Annual Income By Number of Households



Source: U.S. Census Bureau, 2017-2021 American Community Survey 5-Year Estimates

The US Census data in the *Livingston County Annual Income by Number of Households* chart above shows the annual income by household for Livingston County residents between 2017 and 2021. As the data in the table shows, the majority of county households (10,956) fall into the \$75,000-\$99,999 income range. The next three highest earning household groups fall into the \$150,000-\$199,999 range (8,941 households), the \$100,000-\$124,999 range (8,797 households), and the over \$200,000 range (8,165 households). Overall, 74.7% of households during this period made more than \$50,000 annually.



## Household Income

Livingston County Household Income 2010-2023				
Income (in 2021 dollars)	American Community Survey 2010	American Community Survey 2023	Change 2010-2023	Percent Change 2010-2023
Median Household Income	\$89,632	\$101,315	(\$724)	-0.80%
Per Capita Income	\$39,279	\$47,298	\$4,086	10.40%

Source: U.S. Census Bureau, 2006-2010 and 2017-2021 American Community Survey 5-Year Estimates

Livingston County Median Household Income (2023):

**\$101,315**

*Highest Median Household Income in Michigan (2023)*

#1: Livingston County (\$101,315)

#2: Oakland County (\$95,296)

#3: Leelanau County (\$91,943)

United States Median Household Income (2023):

**\$80,610**

Michigan Median Household Income (2023):

**\$69,200**

The data in the *Livingston County Household Income 2010-2023* table above compares the median household income level and the per capita income levels of the State of Michigan and Livingston County households for the periods 2010 and 2023. According to the 2010 American Community Survey data, the median household income in Livingston County was \$51,276. This was about 1.3 times the median household income in Michigan at the time. While not shown in the table, the 2010 median household income in the United States was \$50,046. The 2023 American Community Survey data showed that the median household income in Livingston County was \$101,315. This was about 1.5 times the median household income for Michigan as a whole. Although not shown in the table, the median household income in the United States in 2023 was \$77,719. Livingston County's 2023 median household income level placed it as the wealthiest county in the State of Michigan. The table also shows that in both 2010 and 2023, Livingston County's per capita income levels were well above that of the state as a whole.

## Poverty

Livingston County Poverty 2010-2021					
Poverty	American Community Survey 2010	Percent of Total (2010)	American Community Survey 2021	Percent of Total (2021)	Percent Point Change 2010-2021
Persons in Poverty	11,158	6.20%	9,752	5.10%	-1.10%
Households in Poverty	4,009	5.90%	3,456	4.70%	-1.30%

Source: U.S. Census Bureau, 2006-2010 and 2017-2021 American Community Survey 5-Year Estimates

Livingston County falls below state and national poverty rates (2023).

Livingston County  
9.0%

Michigan  
13.5%

United States  
11.1%

Livingston County has the lowest poverty rate in the state of Michigan (2023).

Livingston County  
9.0%

Leelanau County  
12.4%

Oakland County  
13.7%

Poverty level data for Livingston County is provided in the *Livingston County Poverty 2010-2021* table above. The data shows that in 2010, approximately 6.2% of the county's population was considered living in poverty. This figure represented 4,009 households in the county (5.9% of the total) at that time. In 2023, the percentage of the county's population considered living in poverty had decreased to 5.1%, representing a reduction to 3,456 households in the county (4.7%) at that time. This marks not only a continued downward trend in local poverty rates, but also positions Livingston County as having the lowest poverty rate of any county in Michigan.



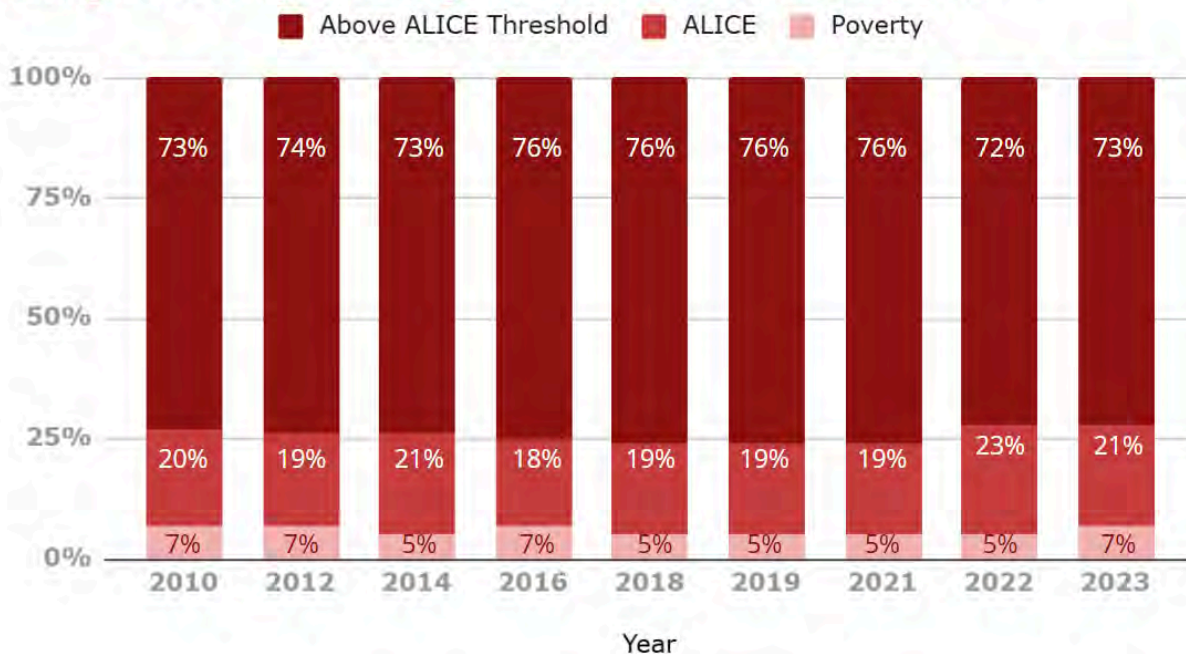
### ALICE in Livingston County (Asset Limited, Income Constrained, Employed)

ALICE is an acronym for Asset Limited, Income Constrained, Employed– and is an important metric for assessing the number of households that make more than the Federal Poverty Level but less than the basic cost of living for a region. People or households who are considered ALICE work and earn money, however, they struggle to afford the rising costs of basic life necessities (i.e., housing, child care, food, transportation, health care, technology, etc.).

In Michigan, 1 in 4 households earn above the poverty line but not enough to cover the basics, meaning approximately a quarter of the state’s population is considered ALICE. This statistic is growing, as from 2019 to 2023, the population of ALICE households in Michigan grew by over 100,000.

While Livingston County’s median household income (\$101,315) falls far above the statewide median household income (\$69,200), many Livingston County households struggle to be able to afford basic necessities due to the high cost of living. Approximately 21% (16,233) of Livingston County’s households are categorized as living under the ALICE Threshold. This includes many people who work in the local service industry who cannot adequately finance their everyday lives. With increased pricing on many commodities, family budgets are increasingly stretched, and households are often pushed to choose which necessities to buy and which to forego. The *Livingston County Percentages of ALICE Households 2010-2023* chart below shows how the proportions of ALICE households within the county have shifted over time.

Livingston County Percentages of ALICE Households 2010-2023

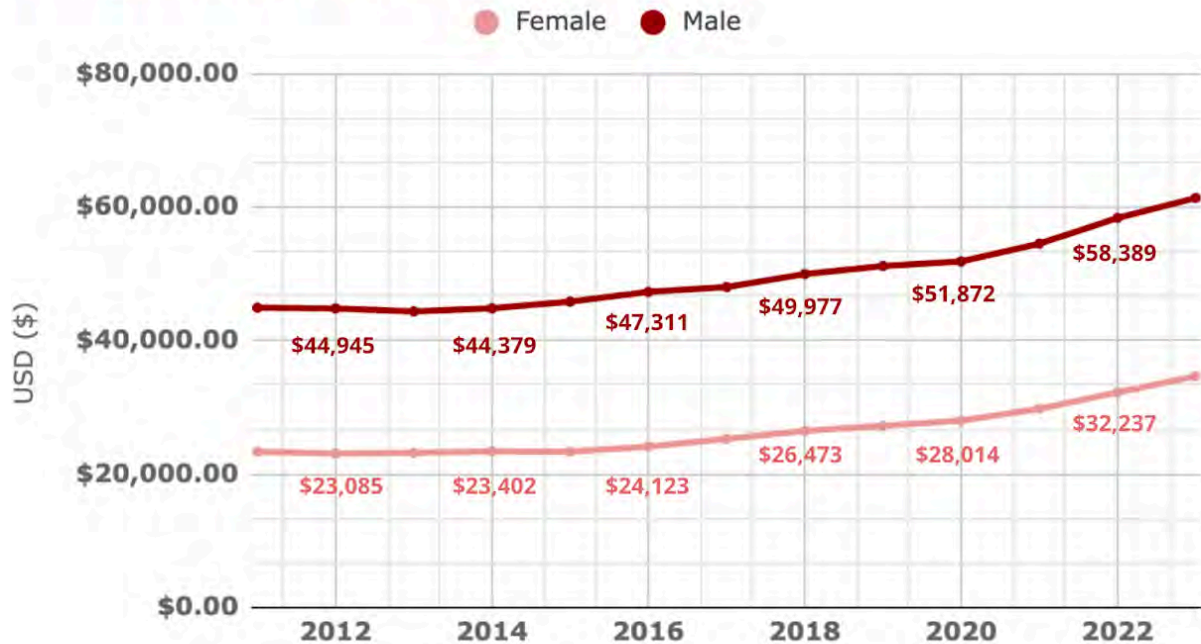


Source: ALICE Threshold, 2022; American Community Survey, 2023



## Median Income by Sex

Livingston County Income by Sex 2010-2023



Source: U.S. Census Bureau, 2017-2021 American Community Survey 5-Year Estimates

### Livingston County Median Income (2023):

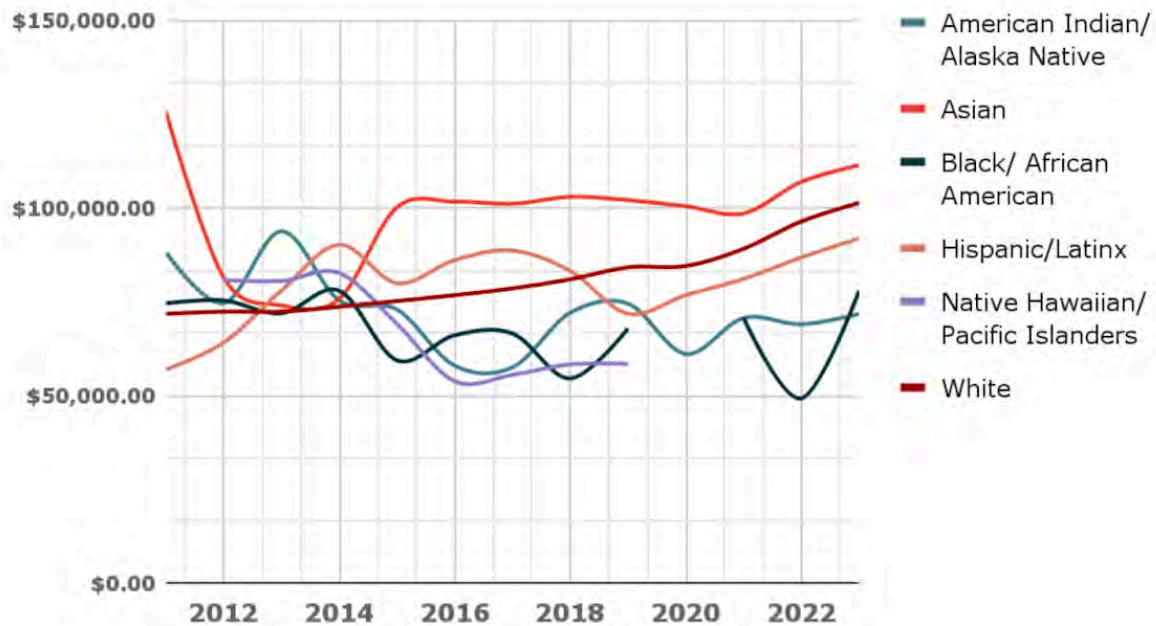
Male: \$61,385

Female: \$34,665

Median income levels in Livingston County have increased over the past decade for both male and female residents as presented in the *Livingston County Income by Sex 2010-2023* chart above. According to the U.S. Census Bureau's 2010-2023 American Community Survey, in 2023, the estimated median income for males was \$61,385, compared to \$34,665 for females. This represents a gradual rise from 2011 levels, when median income was \$44,945 for males and \$23,361 for females. In 2023, the Michigan median income was \$30,046 for females and \$46,155 for males. On average, females in Livingston County earn 45% less than males, compared to the state average of females earning 34% less than males. These estimates are based on individual income and do not account for household composition, occupation, hours worked, or educational attainment. Nonetheless, the data offer a general snapshot of income trends and can support discussions around workforce development, economic equity, and access to opportunity within the county.

## Median Income by Race

## Livingston County Median Income by Race 2011-2023



Source: U.S. Census Bureau, 2017-2021 American Community Survey 5-Year Estimates

As presented in the *Livingston County Median Income by Race 2011-2023* chart above, income levels vary across racial and ethnic groups in Livingston County. Based on data from the U.S. Census Bureau's American Community Survey, median household incomes in 2023 were estimated at \$101,345 for white residents, \$111,389 for Asian residents, \$91,886 for Hispanic/Latinx residents, and \$77,879 for Black residents. Data for some groups, such as Native Hawaiian and Pacific Islander residents, are not available in all years due to small sample sizes.

Given Livingston County's demographic composition, estimates for smaller population groups may fluctuate from year to year and should be interpreted with caution. In some cases, the data are suppressed when sample sizes are insufficient to ensure reliability. These figures are included to provide a general understanding of income variation and can inform future planning considerations related to housing, workforce development, and access to services.

### Southeast Michigan Council of Governments (SEMCOG) 2026 Comprehensive Economic Development Strategy (CEDS)

As Livingston County is a Southeast Michigan Council of Governments (SEMCOG) member, it also shares the vision, goals, and objectives established in its *Comprehensive Economic Development Strategy* (CEDS). The CEDS is a set of objectives updated every five years centered on a collective vision for the region's economic growth. The current CEDS, entitled "Increasing Shared Prosperity for a Resilient Economy: Comprehensive Economic Development Strategy for Southeast Michigan," was adopted in March of 2021 and provides a roadmap for addressing and adapting to regional economic issues.

*"Increasing Shared  
Prosperity for a Resilient  
Economy"*

-SEMCOG's 2021  
Comprehensive Economic  
Development Strategy

To further support economic development in the region, SEMCOG was designated as an Economic Development District (EDD) by the U.S. Economic Development Administration (EDA) in 2023, joining over 400 EDDs across the nation that are focused on economic development planning and project implementation that aligns with their region's CEDS. As part of that designation, SEMCOG formed its new Economic Development Council (EDC) in early 2024 to oversee and facilitate the development, maintenance, and implementation of the CEDS.

According to SEMCOG, the Council membership features a broad representation of economic interests of the region, including county and local government representatives, economic development agencies, educational institutions, workforce development agencies, labor organizations, employers, and other private-sector stakeholders and community-based organizations. SEMCOG's designation as an Economic Development District also aids in making our region more competitive for EDA funding (as having an EDA-approved CEDS is a prerequisite for applying for EDA grant programs).

Livingston County's location in Southeast Michigan offers a wide variety of assets from which to leverage economic development. These include:

- Quality-of-life amenities such as the Great Lakes and natural areas that support recreational and cultural destinations
- Historic downtowns, dynamic urban centers, and diverse neighborhoods
- Accessible mobility options for people and goods
- High-quality universities, colleges, and local school systems
- First-class medical facilities and healthcare choices



To protect these assets, SEMCOG has developed three pillars of economic development to serve as the backbone of the new and updated CEDS. These pillars are place, talent, and business. The descriptions for each are detailed below:

Place	Talent	Business
Building Strong Communities	Growing Our Workforce	Driving Economic Growth
<p>Assets that make Southeast Michigan Unique:</p> <ul style="list-style-type: none"> <li>• Great Lakes &amp; natural areas</li> <li>• Historic downtowns &amp; urban centers</li> <li>• Mobility options connecting people and goods</li> <li>• Strong schools, colleges, and universities</li> <li>• First-class healthcare facilities</li> </ul>	<p>What Talent Means:</p> <ul style="list-style-type: none"> <li>• Connects education, workforce development, and employers</li> <li>• Prepares students for career success</li> <li>• Helps adults up-skill &amp; employers stay competitive</li> </ul>	<p>What Business Means:</p> <ul style="list-style-type: none"> <li>• Fosters growth while enhancing community vitality</li> <li>• Creates jobs and retains vital industries</li> <li>• Welcomes new businesses &amp; entrepreneurs with resources and capital</li> </ul>
<p>Key Discussions:</p> <ul style="list-style-type: none"> <li>• Expand parks, trails, and outdoor resources</li> <li>• Strengthen main streets and downtowns</li> <li>• Increase affordable, diverse housing</li> <li>• Improve transit and mobility</li> <li>• Engage the public</li> </ul>	<p>Key Discussions:</p> <ul style="list-style-type: none"> <li>• Attract &amp; retain high-skilled talent</li> <li>• Address barriers: childcare, elder care, transit, housing</li> <li>• Confront declining labor force</li> <li>• Secure long-term funding for training &amp; apprenticeships</li> <li>• Ensure affordable, flexible education access</li> </ul>	<p>Key Discussions:</p> <ul style="list-style-type: none"> <li>• Improve access to capital for entrepreneurs and small businesses</li> <li>• Streamline and clarify permitting processes</li> <li>• Find sustainable funding beyond COVID-era programs</li> <li>• Strengthen the entrepreneurial ecosystem</li> <li>• Address infrastructure challenges</li> </ul>



## Unemployment Rate

Livingston County has the lowest unemployment rate in Michigan (March 2025).

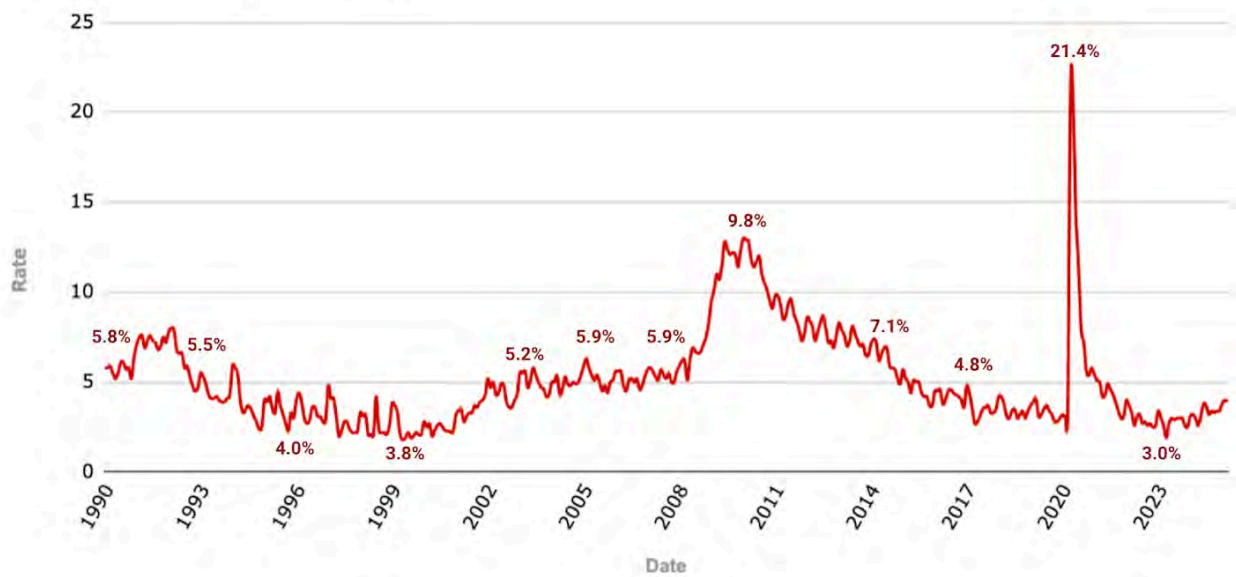
Livingston County  
3.8%

Michigan  
5.5%

United States  
4.2%

The unemployment rate measures the percentage of workers who do not have a job and are looking for work. Generally, an unemployment rate of 4% or lower indicates an economy at full employment, meaning everyone who wants a job is actively employed. At the full-employment stage, those without a job are usually transitioning between jobs or have recently entered the job force and have begun searching for employment. Low unemployment rates can improve wage growth and encourage new residents in search of job opportunities to move to our region. The *Livingston County Unemployment Rate 1990-2025* chart below shows the progression of Livingston County's unemployment from 1990 to 2023. Rates have fluctuated over this 35-year period, with significant spikes during economic downturns. The highest unemployment rates occurred during the Great Recession in 2009, reaching 12.8% in June, and again in 2020 when the COVID-19 pandemic disrupted the global economy. In April 2020, the unemployment rate surged to an unprecedented 21.4%. Despite this sharp spike, the county rebounded quickly in the following years. By April 2023, unemployment fell to just 1.9%– the lowest level recorded in over two decades– indicating a return to full employment. Although the rate has edged up slightly in 2024 and early 2025, current levels remain within healthy bounds and reflective of a resilient local economy.

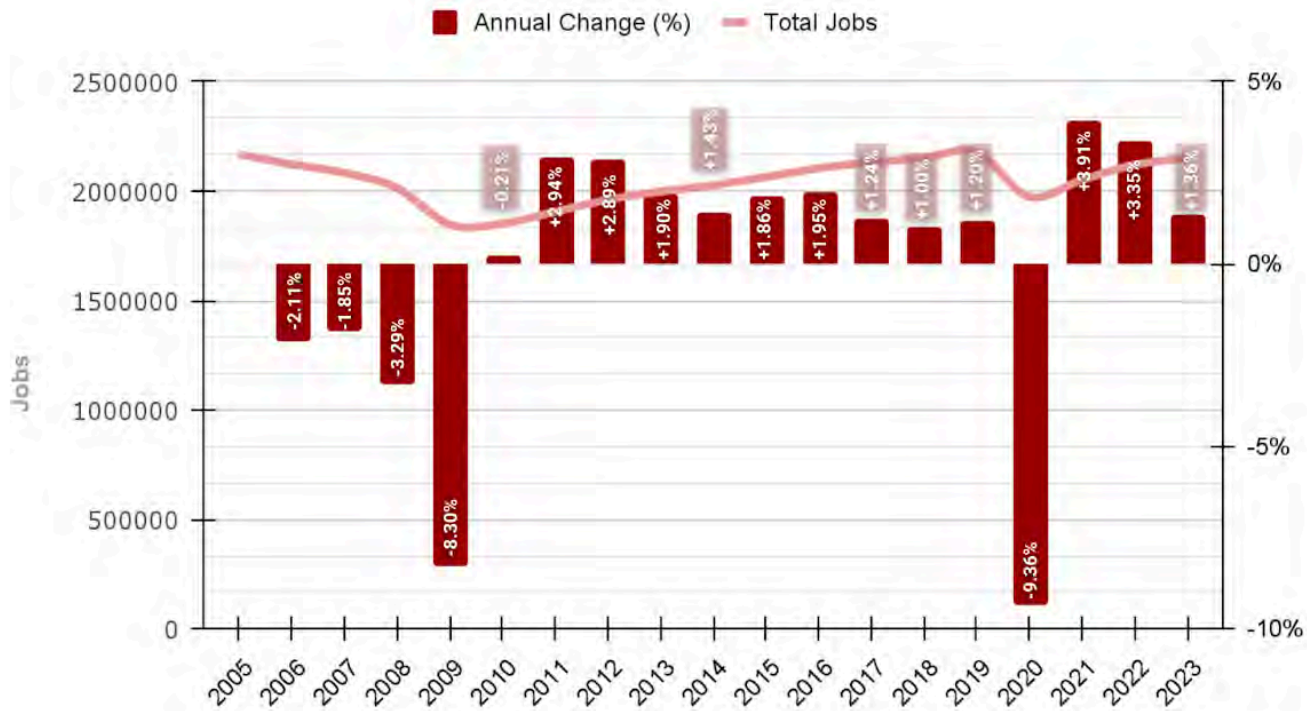
Livingston County Unemployment Rate 1990-2025



Source: U.S. Bureau of Labor Statistics, Unemployment Rate in Livingston County

## Total Wage and Salary Jobs and Annual Percent Change

## Livingston County Total Wage and Salary Jobs and Annual Percent Change (SEMCOG) 2004-2023



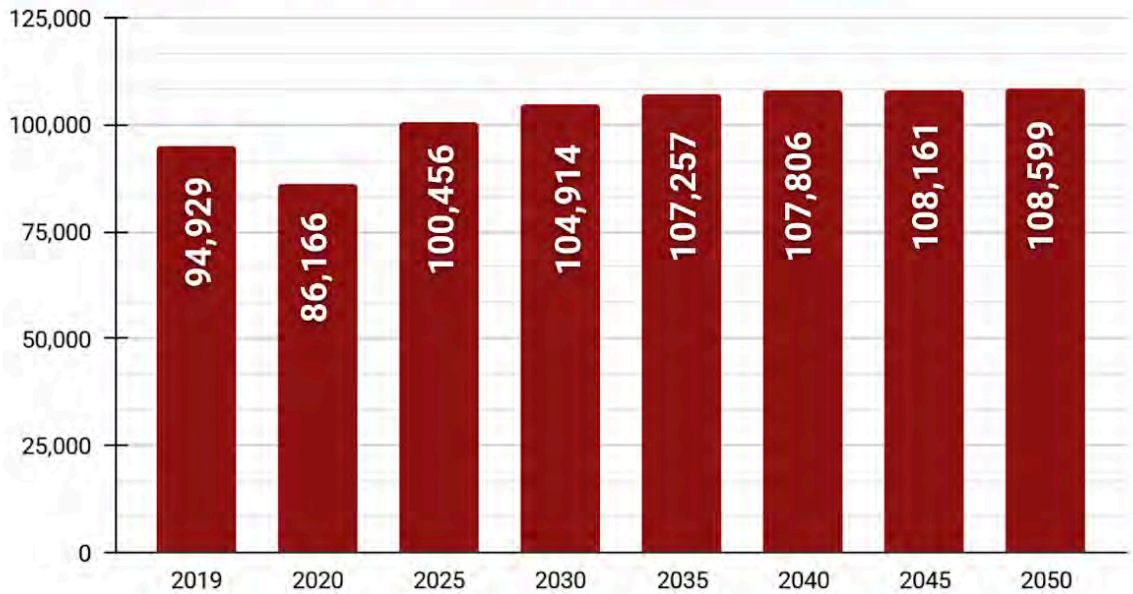
Source: SEMCOG Socio-Economic Indicators, Livingston County Total Wage and Salary Jobs and Annual Percent Change, 2004-2023

The *Livingston County Total Wage and Salary Jobs and Annual Percent Change (SEMCOG) 2004-2023* chart above tracks the number of jobs paid through wages or salaries, including both part-time and full-time employment. These figures are based on data from state and federal unemployment insurance programs and include all workers receiving pay during the 12th of each month—covering those on sick leave, paid holidays, and vacations. Growth in the number of wage and salary jobs signals an expanding economy, providing more employment opportunities and strengthening the region’s economic foundation.

After sharp job losses during the Great Recession and a major decline of 9.36% in 2020 due to the COVID-19 pandemic, Livingston County has experienced steady recovery. Total wage and salary jobs increased by 1.3% in 2023, adding nearly 29,000 jobs compared to the previous year. However, the total number of jobs in 2023 (2,148,720) still falls short of pre-pandemic levels—nearly 30,000 fewer than in 2019, when employment peaked at 2,177,717.

## Forecasted Jobs

## Livingston County Forecasted Jobs 2019-2050



Source: SEMCOG 2050 Regional Development Forecast

The data from the Southeast Michigan Council of Governments (SEMCOG) in the *Livingston County Forecasted Jobs 2019-2050* chart above represents the forecasted trend for the number of jobs in the county through 2050. The graph indicates that the forecasted number of jobs in the county should stay relatively stable between 2025 and 2050. Throughout this period, the number of jobs is forecasted to increase by 8.1%. While this suggests modest growth compared to earlier decades, it suggests a maturing local economy with slower but steady expansion. This stability may indicate a sustained demand for local labor, and reinforces the importance of workforce development to ensure that the county is able to meet the evolving needs of both employers and residents.



Charles Warren

### Forecasted Jobs by Industry Sector

Data in the *Livingston County Forecasted Jobs by Industry Sector 2020-2050* table on the following page indicates that overall employment in Livingston County is expected to grow steadily over the next three decades. Between 2020 and 2050, the total number of jobs in the county is forecast to increase by 22,433, rising from 86,166 jobs in 2020 to 108,599 jobs in 2050 — a 26.0% increase.

Jobs by 2050:  
**+22,433**

Out of the thirteen industry sectors, two of the historically larger employment sectors are forecast to decline over the 30-year period. Manufacturing employment is expected to peak in 2030 at 11,466 jobs before steadily declining each five-year period, reaching 9,642 jobs by 2050. This represents an overall decline of 8.1% from the 2019 baseline. Additionally, Retail Trade is forecast to follow a similar trend, increasing slightly through 2025 (to 11,273 jobs), but then steadily declining to 9,637 jobs by 2050 — a total decrease of 13.3% from 2019.

In contrast, several sectors are forecast to see significant growth. Information & Financial Activities, already the largest employment sector in 2019, is expected to remain in that position through 2050, growing by 15.8% to reach 14,159 jobs. Healthcare Services is also forecast to grow by 26.6%, adding more than 2,600 jobs, and will become the second-largest sector by 2050 with 12,509 jobs. Leisure & Hospitality is expected to grow by 23.7%, adding over 4,300 jobs and becoming the third-largest sector by 2050. Additionally, Professional & Technical Services is forecast to grow by 24.5%, adding over 3,200 jobs over the 30-year period.

Other notable growth areas include Natural Resources, Mining, & Construction (+41.1%), Transportation & Warehousing (+32.8%), and Administrative, Support, & Waste Services (+54.1%).

### Fastest-Growing Sectors 2020-2050:

Administrative, Support, & Waste Services  
(+54.1%)

Natural Resources, Mining, & Construction  
(+41.1%)

Leisure & Hospitality  
(+23.7%)

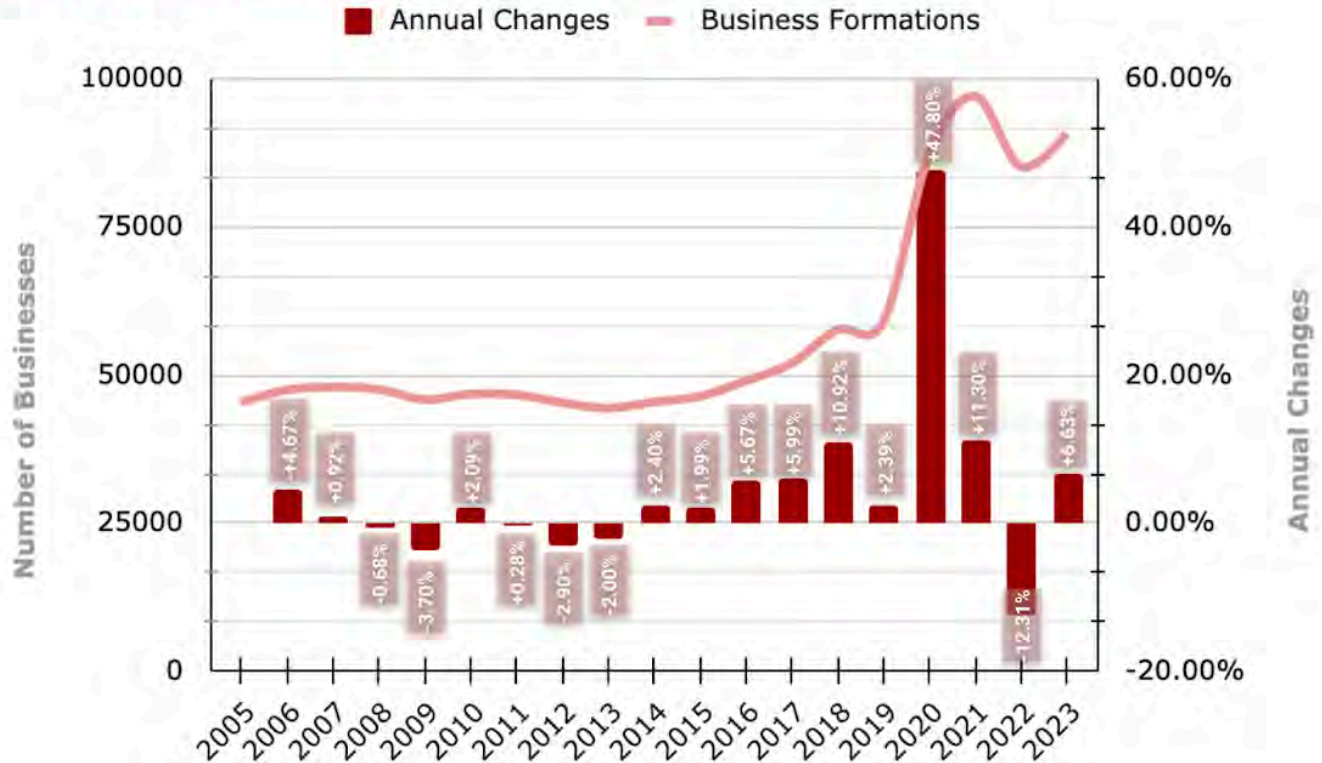
## Livingston County Forecasted Jobs By Industry Sector 2020-2050

Sector	2020	2025	2030	2035	2040	2045	2050	Change 2019- 2050	Percent Change 2019- 2050
<u>Natural Resources, Mining, &amp; Construction</u>	7,583	10,400	10,854	11,030	10,876	10,770	10,700	3117	41.1%
<u>Manufacturing</u>	9,830	11,400	11,466	11,085	10,438	9,939	9,642	-188	-1.9%
<u>Wholesale Trade</u>	3,046	3,297	3,464	3,564	3,546	3,522	3,505	459	15.1%
<u>Retail Trade</u>	10,543	11,273	11,138	10,775	10,410	10,040	9,637	-906	-8.6%
<u>Transportation, Warehousing, &amp; Utilities</u>	2,544	3,009	3,156	3,233	3,279	3,326	3,379	835	32.8%
<u>Information &amp; Financial Activities</u>	10,934	12,096	12,707	13,217	13,578	13,883	14,159	3,225	29.5%
<u>Professional and Technical Services &amp; Corporate HQ</u>	8,188	9,391	9,953	10,403	10,732	11,055	11,409	3,221	39.3%
<u>Administrative, Support, &amp; Waste Services</u>	3,403	3,930	4,249	4,547	4,777	5,004	5,244	1,841	54.1%
<u>Education Services</u>	4,440	4,882	5,104	5,279	5,354	5,382	5,383	943	21.2
<u>Healthcare Services</u>	8,919	10,119	10,832	11,390	11,772	12,125	12,509	3,590	40.3%
<u>Leisure &amp; Hospitality</u>	8,137	10,966	11,852	12,280	12,474	12,515	12,452	4,315	53.0%
<u>Other Services</u>	5,501	6,3223	6,641	6,843	6,922	6,953	6,593	1,092	19.9%
<u>Public Administration</u>	3,099	3,370	3,496	3,611	3,648	3,647	3,627	528	17.0
<i>Total Employment Numbers</i>	86,166	100,456	104,914	107,257	107,806	108,161	108,599	22,433	26.0



## Business Applications and Annual Percent Change

## Livingston County Business Applications and Annual Percent Change (SEMCOG) 2004-2023



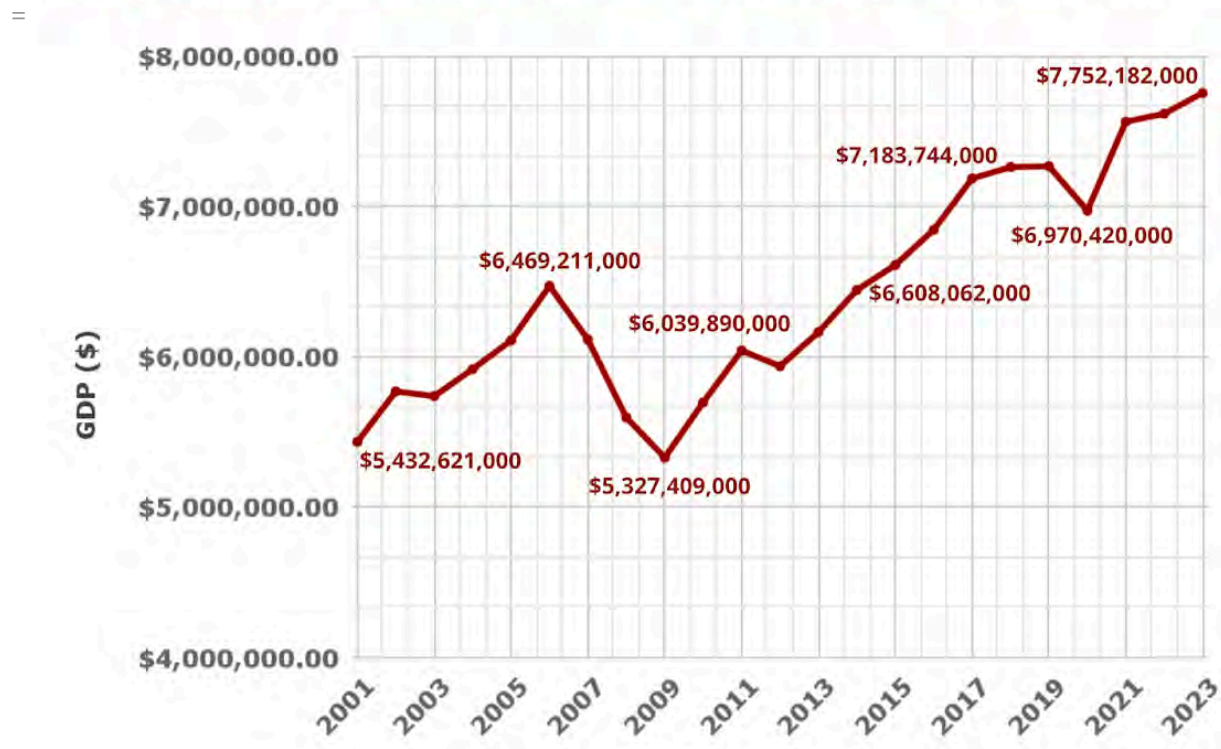
Source: SEMCOG Socio-Economic Indicators, Livingston County Business Applications and Annual Percent Change 2004-2023

The *Livingston County Business Applications and Annual Percent Change (SEMCOG) 2004-2023* chart above shows the annual number of new business applications and how that number has changed year-to-year. This measure, provided by the Census Bureau, estimates the annual number of applications for an Employer Identification Number (EIN), which are early indicators of new business activity. While this metric does not capture whether these businesses are formally established or remain in operation long term, it serves as a useful proxy for gauging entrepreneurial activity and economic dynamism within the region.

Business applications grew by 6.6% in 2023 after a brief decline by 12% in 2022. The elevated number of filings in 2023 suggests that entrepreneurial interest remains strong across the county. Nearly 91,000 business applications were submitted in 2023, up significantly from around 59,000 in 2019. This highlights a post-pandemic resurgence in business momentum and a continued appetite for self-employment in Livingston County.

## Gross Domestic Product (GDP)

## Livingston County Annual Gross Domestic Product (GDP) (2001-2023)



Source: U.S. Bureau of Economic Analysis, Gross Domestic Product by County and Metropolitan Area, 2023, Livingston County

Gross Domestic Product (GDP) is an economic measure that calculates the total monetary value of all goods and services produced within a jurisdiction in one year. According to the U.S. Bureau of Economic Analysis, Livingston County's GDP has steadily increased over the past two decades, increasing from approximately \$5.4 billion in 2001 to over \$7.75 billion in 2023. This long-term growth is presented in the *Livingston County Annual Gross Domestic Product (GDP) 2001-2023* chart above and reflects the county's economic resilience, despite periodic downturns. Notably, after a dip to \$5.6 billion in 2008 and \$6.97 billion in 2020, the county's economy strongly rebounded, reaching new highs by 2023. Livingston County's sustained GDP growth highlights its expanding economic base as well as the growing value of goods and services produced locally.



Livingston County Planning



### Southeast Michigan Office Vacancy Rate

The office vacancy rate measures the percentage of unoccupied office space across Southeast Michigan, encompassing all property classes. As remote and hybrid work arrangements have become more common, tracking office vacancy provides insight into how shifting workplace dynamics are shaping regional real estate demand.

The *Southeast Michigan Office Vacancy Rates 2019-2024* chart below shows that in 2019, the office vacancy rate stood around 9%. However, following the onset of the COVID-19 pandemic, it rose sharply, reaching a peak of 12% in 2023. The sudden shift to remote work led many employers to downsize, restructure, or entirely vacate traditional office spaces. While the increase in office vacancy has since slowed, levels remain elevated, hovering around 13% as of the most recent data. This sustained trend reflects a broader reconfiguration of office space utilization across the region and poses important questions about future commercial real estate development and land use planning.



### Southeast Michigan Office Vacancy Rates 2019-2024



Source: SEMCOG Southeast Michigan Office Vacancy Rates, 2019-2024

### Southeast Michigan Industrial Vacancy Rate

The industrial vacancy rate measures the percentage of unoccupied industrial spaces in Southeast Michigan from 2019 to 2023. This encapsulates all industrial property uses (i.e., manufacturing, warehousing and distribution, research and development, and flex spaces). Industrial buildings are crucial to Southeast Michigan's advanced manufacturing economy as they provide the necessary space for our region to manufacture, transport, and develop future goods.

The *Southeast Michigan Industrial Vacancy Rate 2019-2024* chart below presents the region's vacancy rate since 2019. In July 2019, the industrial vacancy rate stood at 3.4%, remaining steady through the end of that year. Entering 2020, the rate briefly dipped to 2.6% in January, but rose sharply to 4.4% by October 2020, as the early months of the COVID-19 pandemic disrupted industrial production. Vacancy rates peaked at 4.7% in early 2021, then gradually declined through 2022, stabilizing at 3.9% by October of that year. In 2023, vacancy rates remained relatively low, hovering between 3.7% and 4.0%, signaling continued strength in industrial demand. However, by mid-2024, the vacancy rate began to edge upward again, reaching 4.3% in July. This slight rise may reflect a softening in demand or the addition of speculative space. Even so, industrial vacancy remains below pre-pandemic averages.

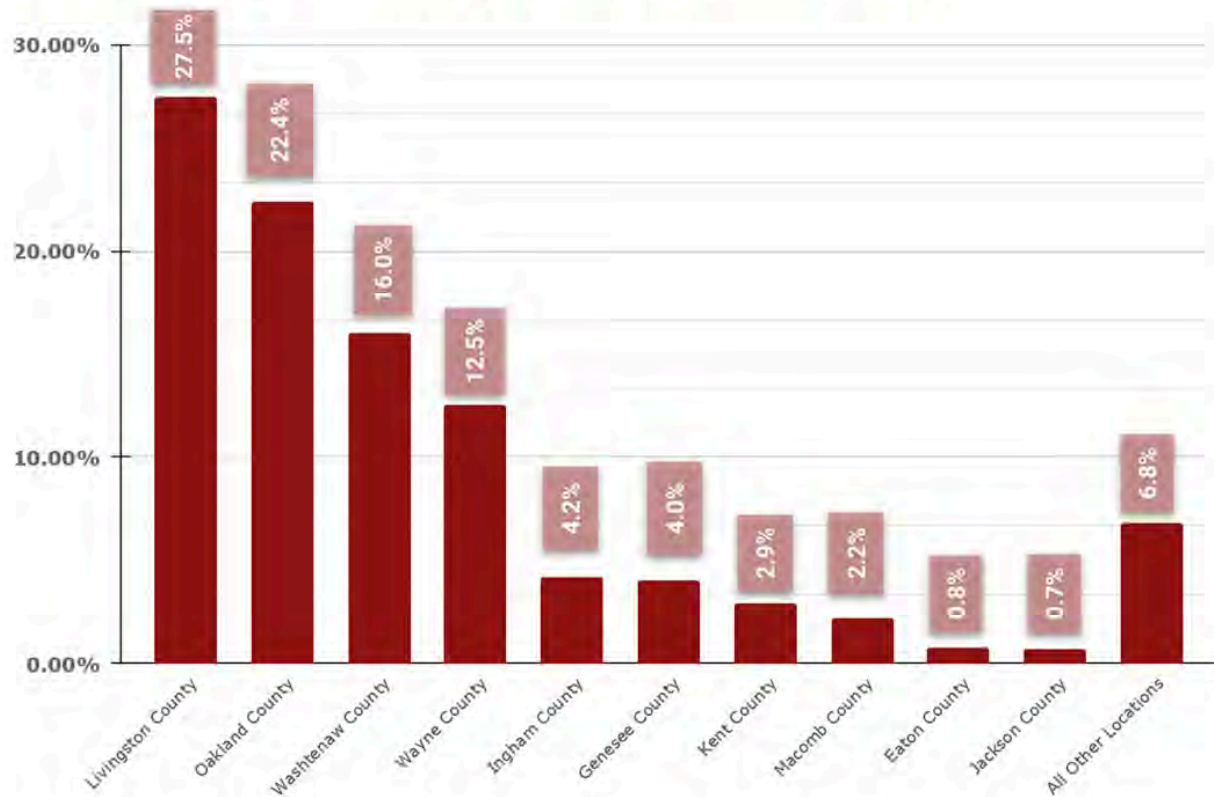
### Southeast Michigan Industrial Vacancy Rates 2019-2024



Source: SEMCOG Southeast Michigan Industrial Vacancy Rates, 2019-2024

## Where Livingston County Residents Work

## Where Livingston County Residents Work (2019)



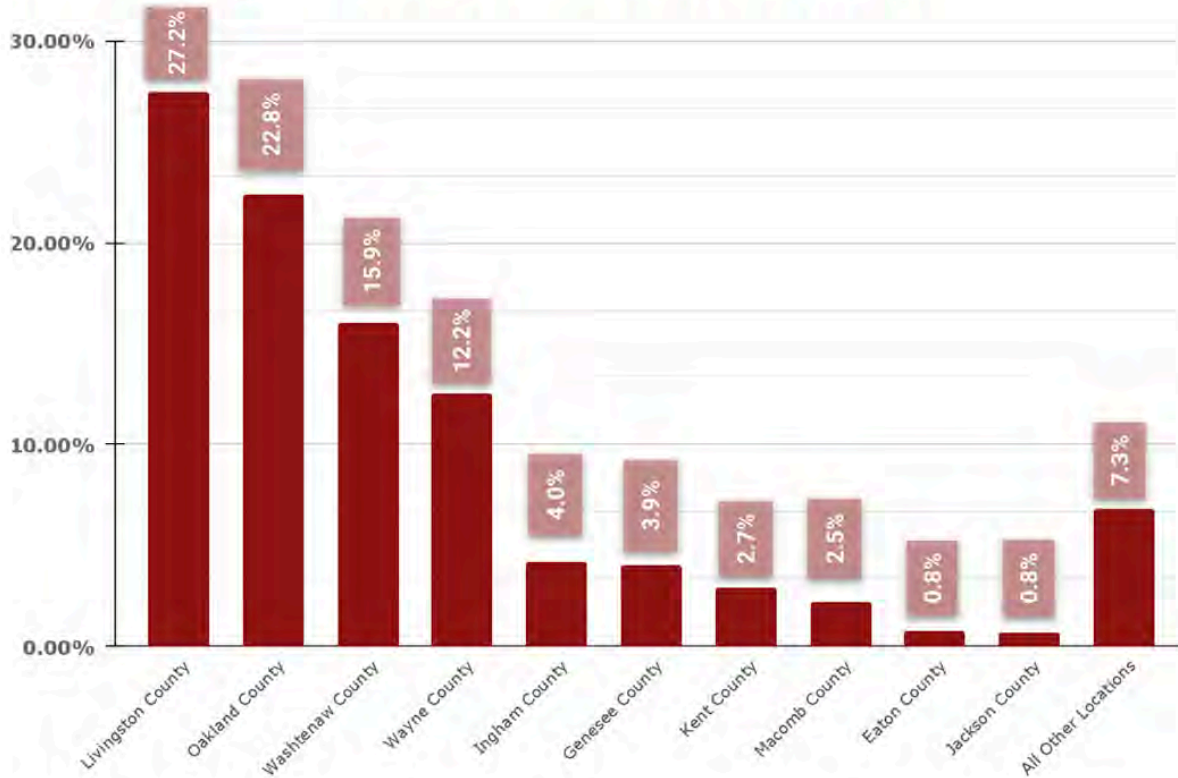
Source: Workforce Intelligence Network, Livingston Commuting Pattern Reports 2019

According to the Workforce Intelligence Network, in 2019, Livingston County's workforce consisted of 83,942 residents. As seen in the *Where Livingston County Residents Work (2019)* chart above, 23,078 (27.5%) of the residents lived and worked within Livingston County, while the remaining 60,854 residents (72.5%) traveled outside of the county for work. Since 2017, the number of residents that traveled outside of the county for work increased by 2,110 (3.6% individuals from 58,754 to 60,864).

Also, according to the Workforce Intelligence Network, Livingston County residents continued to increase their commute distances slightly between 2017 and 2019. In 2017, 32,854 residents (40.3% of the county's workforce) traveled over 25 miles to their place of employment, while in 2019, 33,297 residents (39.7% of the county's workforce) traveled more than 25 miles. Oakland County was the most popular destination outside of Livingston County for residents to find employment. 18,764 residents (22.4% of the county's workforce) traveled to Oakland County for employment in 2019, followed by 13,462 residents (15.0% of the county's workforce) that traveled to Washtenaw County.

## Where Livingston County Workers Commute From

## Where Livingston County Residents Work (2021)



Source: American Community Survey 2021

Livingston County is a commuting community. According to the Workforce Intelligence Network, in 2019, 59,789 workers were employed in Livingston County. 36,711 (61.4%) of those workers were employed in Livingston but lived outside of its borders. Of those that traveled to Livingston County for work, 10,933 (29.8%) of the workers were 29 or younger. While Livingston County employers attracted many young workers in 2019, 18,463 (50.3%) of in-commuting workers were between the ages of 30 and 54. This indicates a desire for experienced workers in Livingston County.

As seen in the *Where Livingston County Workers Commute From (2019)* chart above, the majority of workers that travel to Livingston reside in either Oakland or Wayne counties. 8,350 (14.0%) of Livingston County workers travel in from Oakland County followed by 5,882 (9.8%) that travel in from Wayne County. 24,057 (40.2%) of the 59,789 workers in Livingston County traveled more than 25 miles to their place of employment in 2019.



# Economy: Feedback & Current Trends

## Feedback

Respondents Felt That These Were the Most Important Business Categories:



1.) Healthcare



2.) Education



3.) Public Services

4.) Technology

5.) Energy & Utilities

### Economic Condition Ratings

Poor/Fair



- Transportation
- Art/Culture Opportunities
- Tourism Services

Good/Very Good



- Downtown Development
- Retail Development
- Education

*"Invest in cities people want to live in and economic growth will follow. Parking minimums, single use developments, lack of public transportation & biking infrastructure hold us back"*

*"We have a lot of empty buildings. It would be nice to fill them before adding more."*

## Current Trends

### Smart Growth in Small Towns

Many communities are embracing compact, walkable development patterns that direct growth toward existing downtowns.

### Brick-and-Mortar Store Closures

The continued decline of traditional retail spaces, especially big-box and department stores, is reshaping commercial corridors and prompting infill development.

### Community Events as Economic Catalysts

Festivals, markets, and seasonal events are increasingly seen as low-cost, high-impact tools for boosting foot traffic and strengthening community identity.

### Continuation of Low Unemployment and Poverty Rates

Livingston County is projected to maintain low levels of unemployment and low poverty rates in the coming years.

### Post-Pandemic Entrepreneurship

A surge in small business startups, home-based businesses, and remote work opportunities has redefined local economies, especially in areas with strong broadband and flexible zoning.



## Economy: Goals & Objectives

### Goal #1: Strengthen Downtowns and Quality Places

Leverage small-town character and historic downtowns to create attractive, walkable places that attract residents, visitors, and businesses.

Objective: Support revitalization through facade improvement guidance, encouragement of mixed-use zoning, and adaptive reuse of vacant buildings.

Objective: Work to expand and connect trails that link neighborhoods, parks, and downtowns to boost accessibility and tourism.

### Goal #2: Ensure Access to Core Services and Amenities

Maintain strong access to healthcare, food, education, shopping, and recreation to support quality-of-life and workforce retention.

Objective: Encourage local master plans to locate housing near key services and retail hubs.

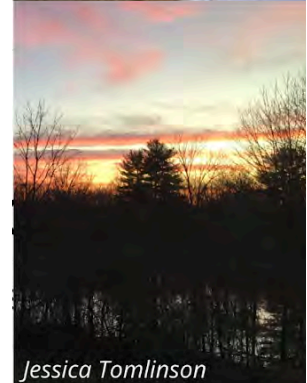
Objective: Promote events, farmers markets, and recreational programs as affordable economic drivers.



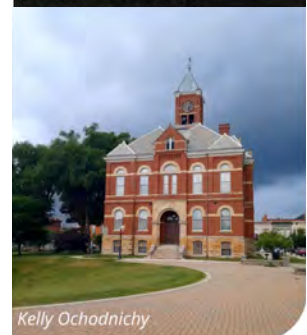
Kathleen Kline-Hudson



James Wesley



Jessica Tomlinson



Kelly Ochodnichy

## Economy: Goals & Objectives

### Goal #3: Support Small Businesses and Entrepreneurship

Help local startups and small businesses overcome barriers to growth and access new markets.

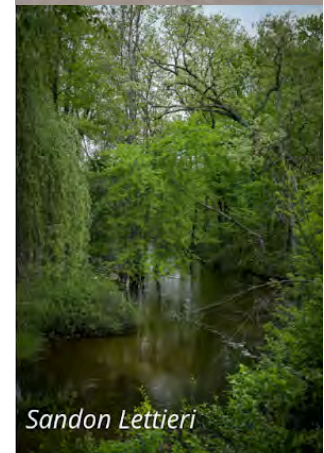
Objective: Share step-by-step, township-specific resource guides for local entrepreneurs looking to begin the development process.

### Goal #4: Attract and Retain Talent

Promote the county as a great place to live and work by supporting the coexistence of attainable housing and career opportunities.

Objective: Work with partners to highlight local job opportunities and quality-of-life assets.

Objective: Encourage housing infrastructure that meets the needs of young professionals, families, and older residents.





# EDUCATION



# Livingston County: Education

## Snapshot

### Declining Enrollment

K-12 enrollment in local districts has drastically dropped, reflecting regional aging trends.

### Highly Educated Workforce

Livingston County boasts one of the highest education levels in the state

### Diverse K-12 Choices

Fifteen public school districts and a range of private and charter schools provide families with broad educational opportunities countywide.

### Opportunity for More Workforce Prep

Livingston County offers some career training through local institutions, however, there is room to expand workforce development as job demands evolve.

Education plays a central role in shaping the social and economic landscape of Livingston County. The county spans fifteen different public school districts that each form the backbone of the county's educational system, providing crucial foundational learning opportunities to our residents. The county also benefits from proximity to several regional colleges, technical schools, and workforce development programs, all of which contribute to local economic growth and talent retention. These institutions strengthen the pipeline between education and employment, enhance local talent retention, and play a key role in ensuring that residents can find meaningful careers.



### Public School Districts

2023-2024 school district boundaries can be seen on the *2023-2024 School Districts Livingston County, Michigan* map on the following page. Public school districts that fall within Livingston County's jurisdiction include:

	Brighton Area Schools		Huron Valley Schools
	Byron Area Schools		Linden Community Schools
	Dexter Community School District		Morrice Area Schools
	Fenton Area Public Schools		Pinckney Community Schools
	Fowlerville Community Schools		South Lyon Community Schools
	Hartland Consolidated Schools		Stockbridge Community Schools
	Howell Public Schools		Webberville Community Schools
			Whitmore Lake Public Schools

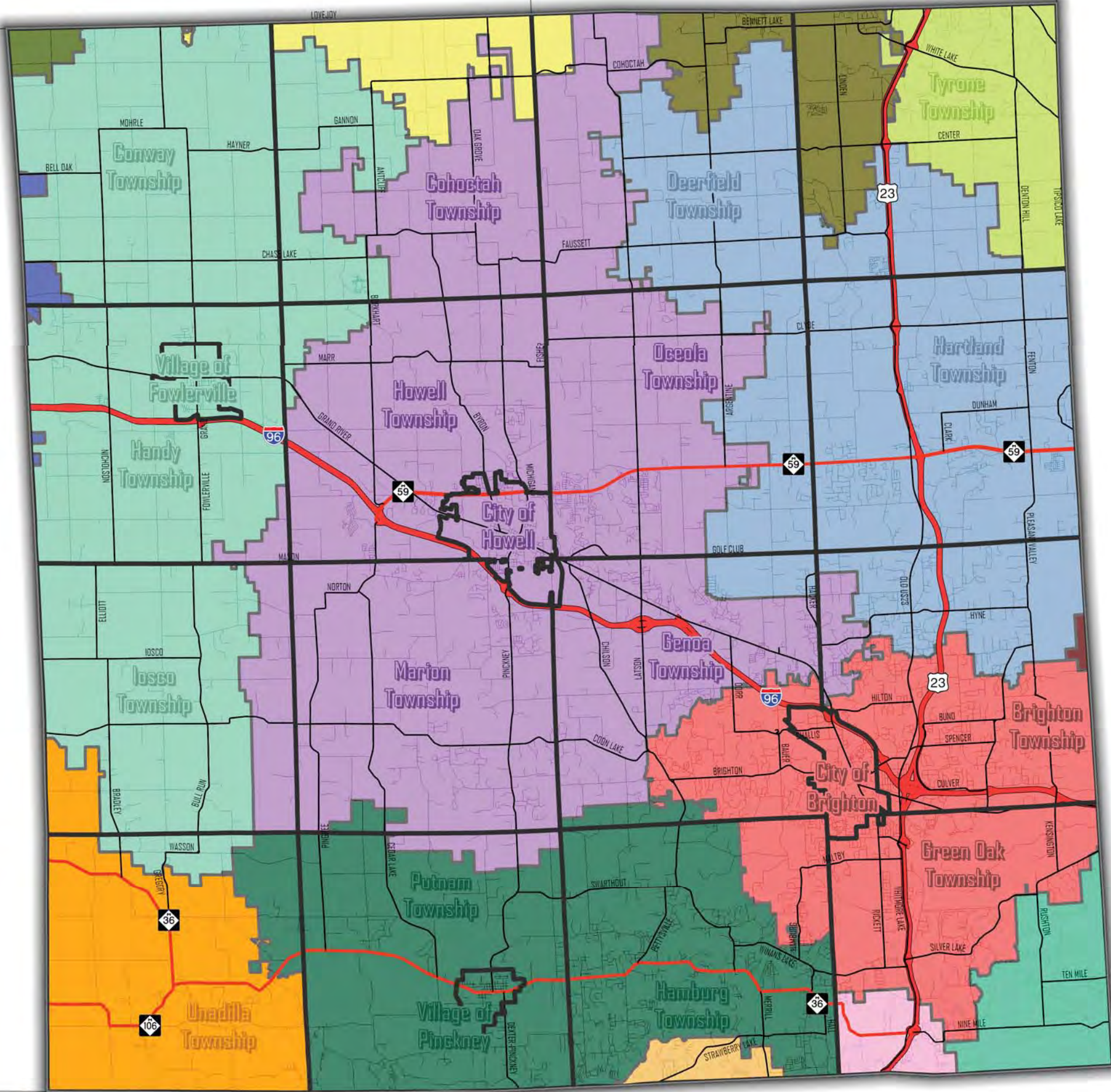
### Private School Districts

There are also numerous private school systems within the county that provide families alternatives to traditional public school education. Private school systems within Livingston County include:

- St. Joseph's School
- Livingston Christian Schools
- The Charyl Stockwell Academy
- Shepherd of the Lakes Lutheran School
- Cornerstone Christian School
- St. Patrick School
- Our Savior Evangelical Lutheran School
- St. Mary Catholic School
- Light of the World Academy
- Holy Spirit Catholic School
- Maple Tree Montessori Academy
- Follow the Child Montessori School
- Tri-Lakes Baptist Christian School







- |                                  |                               |                              |                               |
|----------------------------------|-------------------------------|------------------------------|-------------------------------|
| Brighton Area Schools            | Fowlerville Community Schools | Linden Community Schools     | Stockbridge Community Schools |
| Byron Area Schools               | Hartland Consolidated Schools | Morrice Area Schools         | Webberville Community Schools |
| Dexter Community School District | Howell Public Schools         | Pinckney Community Schools   | Whitmore Lake Public Schools  |
| Fenton Area Public Schools       | Huron Valley Schools          | South Lyon Community Schools |                               |

# Livingston County School Districts

Data Source: Livingston County GIS



## Public School Enrollment by District

Livingston County's public school districts are experiencing a universal decline in K-12 enrollment. As seen in the *Livingston County Demographic Profile*, the county's population is aging, and fewer families of prime family-making age are choosing to reside in the region. As receiving federal and state funding resources is largely dependent upon how many children are enrolled in an institution, this poses a strong need to examine the causes for these decreases in local school populations.

Between the school years of 2005-2006 and 2024-2025, total enrollment in Livingston ESD Districts (Brighton Area Schools, Fowlerville Community Schools, Hartland Consolidated Schools, Howell Public Schools, and Pinckney Community Schools) fell from 29,677 students to 22,276– equating a loss of approximately 33% of students. Of these districts, Pinckney Community Schools has seen the sharpest decline in enrollment, experiencing a loss of 2,901 students, or approximately 59% of their student population in the last 19 years.

Further detailed data on Livingston County public school enrollment is shown on the *Livingston County Public School Enrollment by District 2005-2024* chart below. This chart only shows districts within the Livingston ESD, and does not show other districts that partially lay in Livingston County.

Livingston County Public School Enrollment by District 2005-2024					
Livingston ESD					
School Year	Brighton Area Schools	Fowlerville Community Schools	Hartland Consolidated Schools	Howell Public Schools	Pinckney Community Schools
<u>2005-2006</u>	7,231	3,216	5,557	8,659	4,924
<u>2010-2011</u>	6,358	3,029	5,615	8,290	4,352
<u>2015-2016</u>	5,948	2,905	5,537	7,304	3,219
<u>2020-2021</u>	5,779	2,639	5,262	6,713	2,332
<u>2024-2025</u>	5,796	2,410	5,002	7,045	2,023
<u>% Change</u>	-19.85%	-25.06%	-9.99%	-18.64%	-58.92%
<u># Change</u>	-1,435	-806	-555	-1,614	-2,901

Source: MI School Data 2005-2025

## Post-Secondary Education

Livingston County is also situated in a region with access to post-secondary education and workforce training/ trades programs. The county hosts institutions such as Cleary University, the Livingston Educational Service Agency, Brighton Institute of Cosmetology, Ross Medical Education Center, and a Washtenaw Community College campus. Each of these offers a range of associate degrees, technical certifications, and continuing education opportunities. In addition, Livingston County is home to various workforce development programs and skilled trades training initiatives that align with regional labor market demands and support career readiness. Livingston County's proximity to world-renowned research universities such as the University of Michigan and Michigan State University also enhances opportunities for advanced education and access to a highly educated workforce, benefiting both students and employers across the region. The *Livingston County Community College District* map on the following page shows the regions in the county that fall under each community college district. Evidently, a large amount of the county does not fall directly under any district, meaning residents in these areas may face higher out-of-district tuition rates and potentially reduced access to certain programs.

# 269

University degrees were awarded in Livingston County in 2022

Most popular degrees:

- General Business Administration & Management
- Aesthetician & Skin Care Specialist
- General Cosmetology

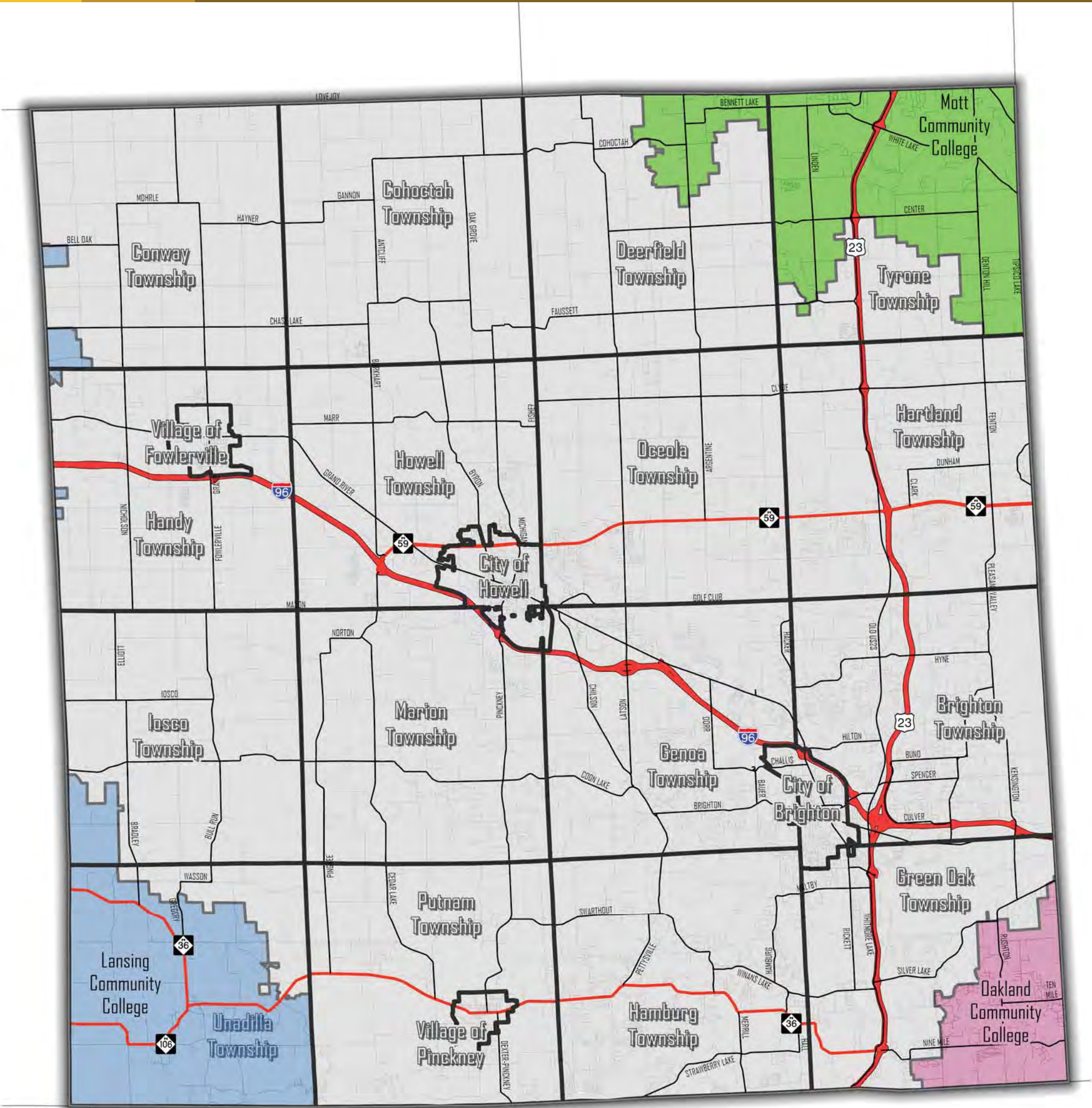
# \$22,279

Median tuition cost (2022)



James Wesley





-  Lansing Community College
-  Mott Community College
-  Oakland Community College

# Livingston County Community College Districts



Data Source: Livingston County GIS





## Early Childhood Education Opportunities

Early childhood education is a vital resource to offer to residents, as it lays the foundation for lifelong learning and social development. There are numerous programs available in Livingston County designed to strengthen early development, including:

- Livingston Educational Service Agency (LESA) Early Childhood Programs
- Head Start and Great Start Readiness Program (GSRP)
- Great Start Livingston
- & numerous other pre-school/ daycare programs designed to help young Livingston County families develop.



## Livingston Educational Service Agency

The Livingston Education Service Agency (LESA) is a vital, publicly funded resource that assists in expanding the region's educational opportunities and broadening student services. Through supporting programs that bolster adult education, early childhood development, career exploration, non-traditional schooling, housing assistance, and services for students with special needs, LESA works to offer a wide variety of educational opportunities to learners of all ages and abilities. These include:

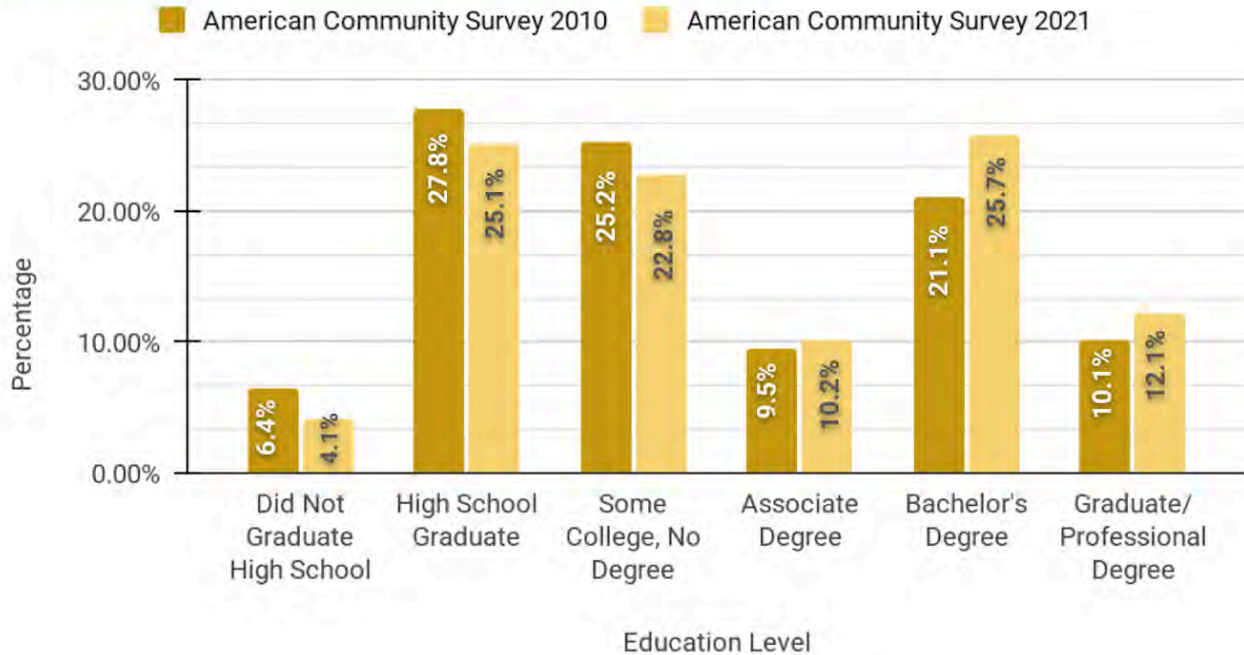


- Early childhood education programs
- Special education programs
- Career & Technical Educational programs
- Early College programs
- Career & College Readiness programs
- Adult & Alternative Education programs
- Specialized transportation services
- Leadership and learning programs
- Community resources



## Education Level

## Livingston County Education Level 2010-2021



Source: U.S. Census Bureau, 2006-2010 and 2017-2021 American Community Survey 5-Year Estimates

The US Census data in the *Livingston County Education Level 2010-2021* chart above provides a comparison of the educational attainment levels of Livingston County residents between 2010 and 2021. The number of residents without high school diplomas decreased over the period, as by 2021, only 4.1% of the population were not high school graduates. In comparison, at least one-quarter of the county's population had attained at least a high school diploma; between 25.1% and 27.8% over the period. County residents who had attained at least some college, but no degree, closely mirrored the percentage of those with high school diplomas—between 22.8% and 25.7%. The percentage of those residents with any college graduate-level educational attainment increased between 2010 and 2021. Further, the percentage of those with associate degrees increased from 9.5% in 2010 to 10.2% in 2021; those with bachelor's degrees increased from 21.1% to 25.7%; and those with graduate or professional degrees increased from 10.1% to 12.1% over the period.



# Education: Feedback & Current Trends

## Feedback

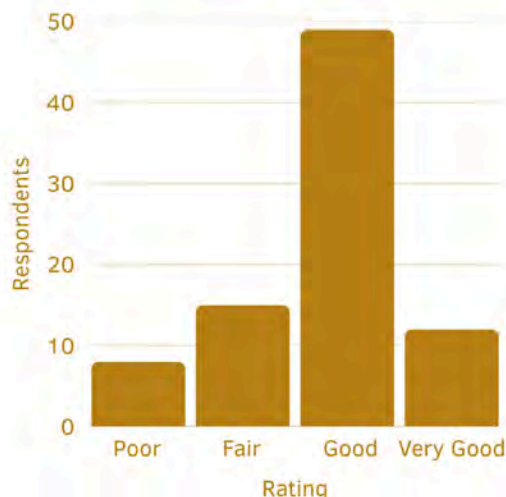
*"Livingston County residents wanting to go attend a community college must go to*



*Ann Arbor. It would be nice to collaborate with the Washtenaw and offer some courses in Livingston County."*

*-Survey Respondent*

Rate the Economic Conditions:  
Education



*"No one should have to drive to a school, park or business that is less than one or two miles from their home. For example, Hawkins Elementary and Scranton Middle don't have complete sidewalks or pathways for all of the students in their service area to use."*

*-Survey Respondent*



## Current Trends

### School-Centered Housing Strategies

Planners are coordinating with school districts to encourage new family housing near schools with declining enrollment to stabilize or grow student populations.

### "Safe Routes to School" and School Siting

Planners are supporting walkability and safe connections to schools through sidewalk gaps analysis and bike/pedestrian infrastructure.

### Education as Economic Development

Communities are investing in career/technical education (CTE), early childhood centers, and satellite college campuses as a strategy to attract and retain families and workforce talent.

### Continued Declining Enrollment

As household sizes continue to decrease, enrollment is also expected to shrink. As such, school districts are planning their capital improvements accordingly.

## Education: Goals & Objectives

### Goal #1: Support K-12 Enrollment Sustainability

Provide data, mapping, and growth planning guidance to help local governments address enrollment declines and attract young families.

*Objective:* Ensure that demographic and housing trend data is well-distributed through master plans and other outreach efforts to inform community growth strategies that may affect school enrollment.

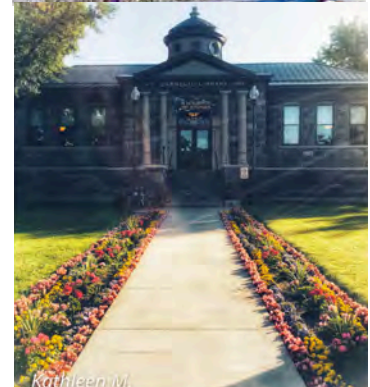
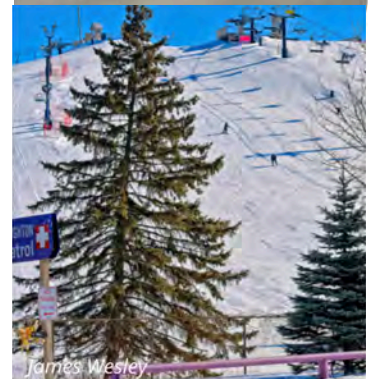
*Objective:* Provide recommendations in zoning reviews that encourage attainable, family-oriented housing near under-enrolled schools.

### Goal #2: Promote Safe and Connected School Access

Collaborate with local jurisdictions, road agencies, and regional partners to improve walking, biking, and transit connectivity to schools.

*Objective:* Create, maintain, and share maps of sidewalk, trail, and transit gaps near schools to guide local infrastructure priorities.

*Objective:* Support communities in pursuing Safe Routes to School and other funding sources for traffic calming and pedestrian improvements.





## Education: Goals & Objectives

### Goal #3: Facilitate Education-Workforce Alignment

Assist in connecting educational institutions, workforce development agencies, and local employers to strengthen the career pipeline.

*Objective:* Gather stakeholders through planners luncheons and other outreach efforts to share land use and facility location data that could support career and technical education expansion.

*Objective:* Identify underutilized commercial or industrial sites (such as the City of Howell's 'Opportunity Sites' that could be repurposed for training centers or education-industry partnerships in rezoning cases.

### Goal #4: Encourage Post-Secondary Attainment and Talent Retention

Support efforts that connect education, housing, and employment opportunities to retain local graduates.

*Objective:* Provide data on workforce trends, housing affordability, and commuting patterns to inform policies that make the county attractive to young adults.

*Objective:* Promote planning policies that allow mixed-use, live-work, and affordable housing developments near employment hubs.



Livingston County Planning

Livingston County Planning

Lori Moran

Livingston County Planning

# NATURAL RESOURCES & RECREATION



# Livingston County: Natural Resources & Recreation

## Snapshot

### Vital Ecosystem Services

Livingston County's high-quality natural areas provide essential environmental functions such as water filtration, air purification, and more.

### Natural Areas are Shrinking

Livingston County has faced a steady loss of high-quality natural areas since 2004.

### Outdoor Access for Residents

With more than 15,000 acres of public recreation space (trails, state parks, local preserves), the county offers abundant opportunities for outdoor recreation and well-being

### Water Resources are Essential

Home to over 75 lakes, three major rivers, and widespread groundwater reliance, Livingston County must prioritize sustainable water management in land use planning.

Livingston County's natural environments support various aspects of life throughout the region. From performing essential ecosystem services such as air purification and water filtration to enhancing community health and well-being, the interdependence of the natural landscape and the county's people is a foundational asset.

Our open spaces and natural landscapes also offer abundant opportunities for recreation throughout the county, such as hiking, wildlife observation, biking, and water sports. By recognizing the profound interconnectedness of our natural and built surroundings, we commit to ensuring that these invaluable resources remain accessible for generations to come. This section will highlight the key areas within Livingston County that are of environmental importance.

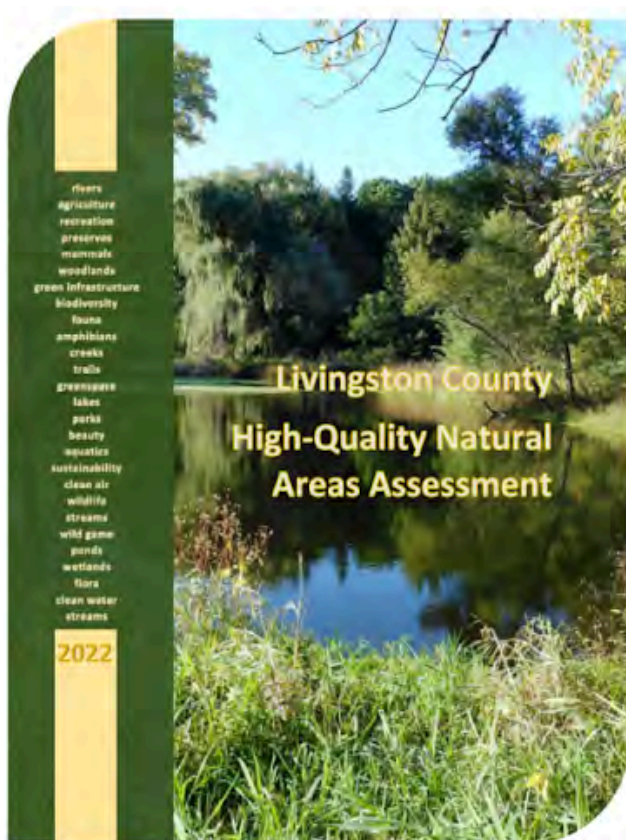


## High-Quality Natural Areas

High-quality natural areas can be described as locations with environmentally important resources or services, such as the ability for a wetland to filter pollutants, or a tree canopy to provide temperature control and shading. Environmentally sensitive areas can also bolster the recreational opportunities throughout a region. Protecting the high-quality natural features in Livingston County is thus crucial to supporting the essential ecosystem services on which we depend. Further, it is essential to identify the most vulnerable areas to be able to prioritize conservation efforts and make informed land use decisions that safeguard the health, safety, and welfare of residents and the environment.



## Livingston County High-Quality Natural Areas Assessment

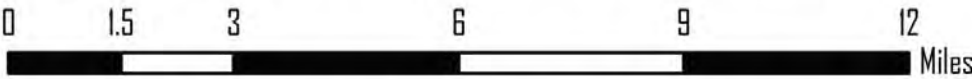


The [Livingston County High-Quality Natural Areas Assessment](#) serves as a valuable resource for local municipalities in developing their Master Plans and subsequent policies. This resource accounts for all lands in the county and places a priority classification upon lands that qualify as “high-quality natural areas” and are worthy of protection through a criterion score. These areas can be seen on the *Livingston County High-Quality Natural Areas* map on the following page. The plan also provides examples of policy tools, such as environmental protection ordinances, environmentally sensitive overlays, and various other ways to preserve ecological areas of high community value. Since its adoption, the plan has been used by county planning staff when reviewing township zoning amendments and rezoning requests presented to the Livingston County Planning Commission. Local communities can also use the interactive map when reviewing site plans or rezoning applications– available here: [Interactive High-Quality Natural Features Map on County GIS](#).





# Livingston County High Quality Natural Areas - 2021



High Quality Natural Areas are defined as places on the landscape dominated by native vegetation that have various levels of potential for harboring high quality natural areas and unique natural features. Scoring criteria used to prioritize sites included: total size, size of core area, length of stream corridor, landscape connectivity, restorability of surrounding land, parcel fragmentation, vegetation quality, and biological rarity score.

Data Sources: Livingston County GIS, Natural Features Inventory (MNF) Biotics Database, SEMCOG

- Interstate
- US Highway
- State Highway
- Roads
- Waterbody

- High Quality Natural Areas  
Priority Class and Score
- Priority 1 (17 - 45)
  - Priority 2 (11 - 16)
  - Priority 3 (0-10)



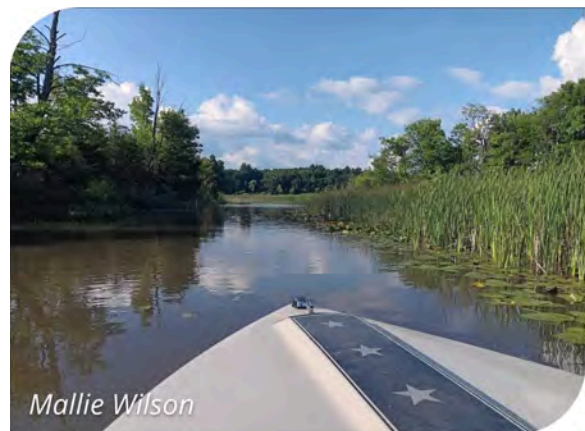
### High-Quality Natural Features Inventory

Since 2004, there has been a 10% decrease in Livingston County's high-quality natural areas. These transformations are detailed in the *High-Quality Natural Area Assessments: 2004 to 2021* table below.

High-Quality Natural Area Assessments: 2004 to 2021								
Class Priority	Count 2004	Count 2021	Count Net Change	Count % Change	2004 (Acres)	2021 (Acres)	Net Change (Acres)	% Change (Acres)
<u>Low-Priority 3</u>	497	610	113	23%	14,424	22,407	7,982	55%
<u>Medium-Priority 2</u>	424	-257	-167	-39%	32,271	24,121	-8,149	-25%
<u>High-Priority 1</u>	165	-121	-44	-27%	53,372	42,700	-9,672	-20%
<u>Total</u>	1,086	-988	-98	-9%	99,068	89,228	-9,839	-10%

Finally, the [Livingston County High-Quality Natural Areas Assessment](#) provides an overview of environmental organizations that operate within Livingston County, including:

- [Livingston Land Conservancy](#)
- [Huron River Watershed Council](#)
- [Livingston Watershed Advisory Group](#)
- [Crossroads Group for Sierra Club](#)
- [Livingston County Environmental Health](#)
- [Livingston County Wildlife and Conservation Club](#)
- [Howell Nature Center](#)
- [Hartland Audubon Nature Club](#)
- [Friends of Highland Recreation Area](#)
- [Huron Valley Audubon Society](#)
- [Friends of Island Lake State Recreation Area](#)



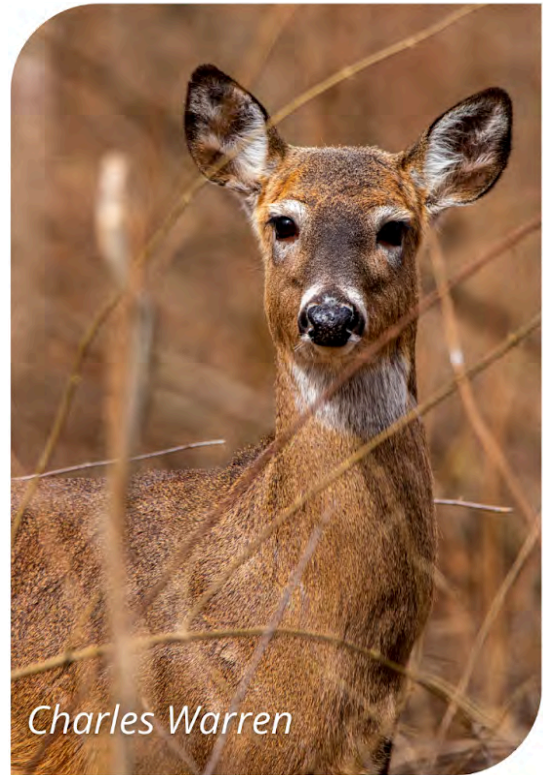


## Parks and Recreation

Livingston County's extensive parks and recreational resources are a key source of community pride and identity. These natural assets also play a vital role in attracting visitors and new residents, contributing to the county's appeal and overall quality of life.

Parks, recreation, and open space are the fourth-largest land use in Livingston County. Of the total 36,463 acres of open space and recreation areas, an estimated 15,037 acres of land are dedicated to public open space and recreation managed by state, metropark, and other municipal authorities. The majority of large-scale parks in Livingston County are located in the southern region in Unadilla, Putnam, Hamburg, and Green Oak Townships. The county also houses three state recreation areas, four state game and wildlife areas, one state trail, two regional metroparks, two county parks, and a multitude of city, village, township, and private parks. All of these spaces are major contributors to the quality of life in Livingston County. The Livingston County interactive [Public Recreation Areas](#) map is available at this link, and all county recreation areas can be observed on the *Livingston County Parks and Recreational Areas* map on the page below.

Additionally, recreation programming is facilitated by a variety of entities throughout Livingston County, including the Howell Area Recreation Authority, Southeastern Livingston County Recreation Authority, as well as a variety of community education programs through local school districts.



## 2023-2027 Livingston County Parks and Open Space Plan

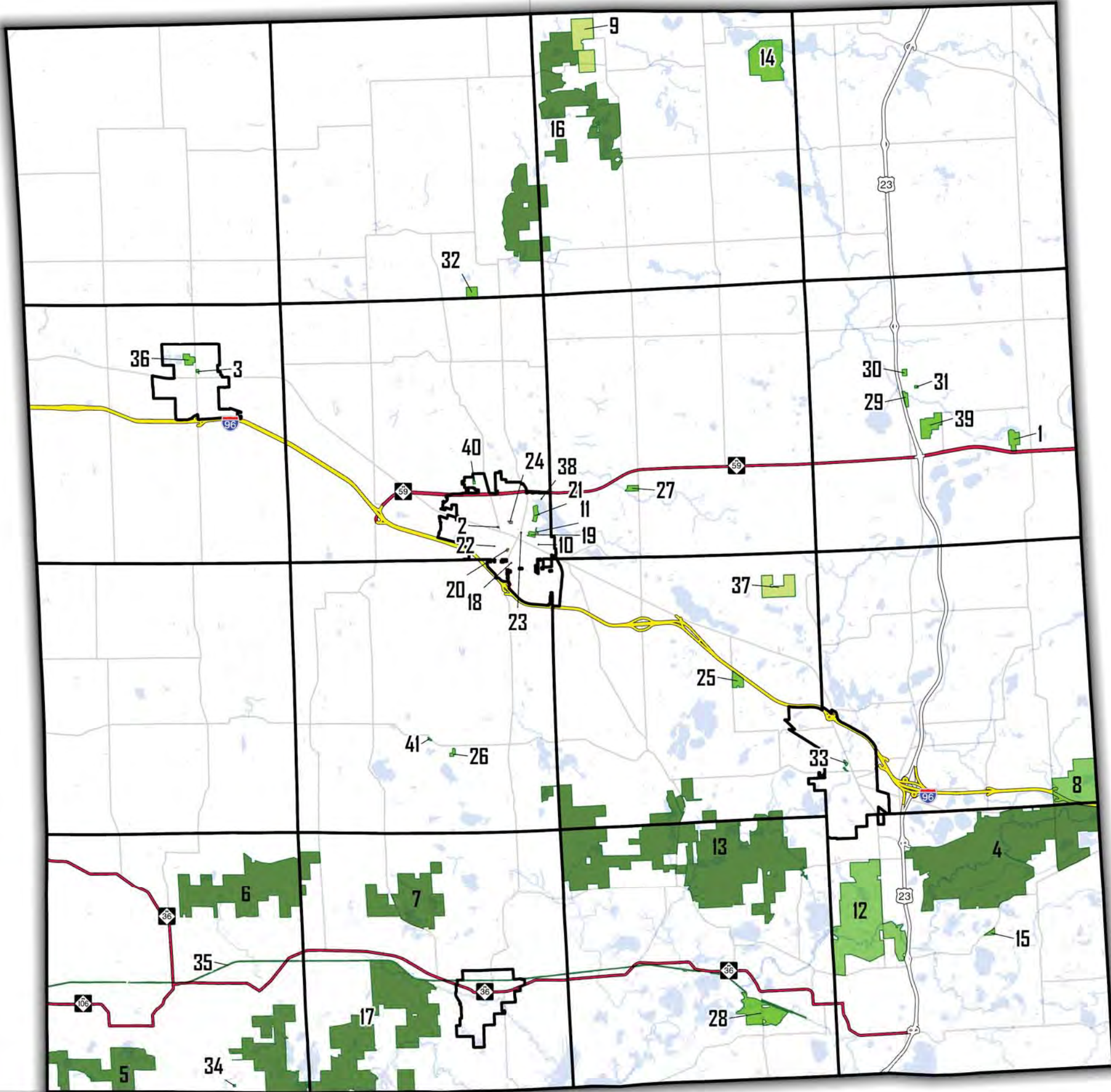
### 2023 - 2027 Livingston County Parks & Open Space Plan



Livingston County Parks & Open Space Advisory Committee

Livingston County owns and manages Fillmore County Park and Lutz County Park. With the help of the County Parks and Open Space Advisory Committee, the [2023-2027 Livingston County Parks & Open Space Plan](#) was drafted and is used to guide the direction of the county parks. It provides a detailed overview of the park and recreation resources available in Livingston County.





Map ID	Park Name
1	Hartland Heritage Park
2	Baldwin Park
3	Centennial Park
4	Island Lake Recreation Area
5	Unadilla Wildlife Area
6	Gregory State Game Area - West Unit
7	Gregory State Game Area - East Unit
8	Kensington Metropark
9	Lutz County Park
10	Doctor Louis "Pat" May Park
11	Howell City Boat Launch

Map ID	Park Name
12	Huron Meadows Metropark
13	Brighton Recreation Area
14	Deerfield Hills Park
15	Colman Park
16	Oak Grove State Game Area
17	Pinckney Recreation Area
18	Argyle Park
19	Page Athletic Field
20	Paul Bennett Field
21	Howell City Park
22	Don Miller Park

Map ID	Park Name
23	McPherson Park
24	West Street Park
25	Genoa Township Fields
26	Marion Township Park #1
27	Oceola Township Soccer Fields
28	Manly W. Bennett Memorial Park
29	Spranger Field
30	Winegarner Field
31	Don Epley Park
32	Cohoctah Township Park
33	Mill Pond Park

Map ID	Park Name
34	Unadilla Township Community Park
35	Lakelands Trail State Park
36	Fowlerville Village Park
37	Fillmore County Park
38	Lakeside Park
39	Hartland Settlers Park
40	Rolling Oaks Park
41	Jack Lowe Memorial Park

# Livingston County Parks & Recreation Areas

Park by Owner



State



Regional



County



Municipal





## Fillmore County Park

Fillmore County Park is located on 198 acres within Genoa Charter Township, in the southeastern quadrant of Livingston County. The park features a 5-kilometer trail that navigates around the perimeter of former agricultural fields through woodland habitat. In collaboration with the Motor City Mountain Biking Association, a mountain bike trail is also in the process of being constructed on the property west of Kellogg Road, specifically designed for beginners and young riders.



## Lutz County Park

Lutz County Park, established in 2008, is the oldest park owned and operated by Livingston County. Located in Deerfield Township, the park offers 100 acres of public recreation. Its 1.3-mile trail system provides opportunities for users to experience high-quality natural areas, observe scenic views, and enjoy wildlife habitats. Also available are picnic tables, benches, nature interpretive signs, trail trailhead display, a parking area, and a restroom.



*Kathleen Kline-Hudson*



### *Livingston County Trails Plan*

Trail and sidewalk connections are important for recreation and the ability to live an active, healthy lifestyle. The [Livingston County Trails Plan](#), established in 2020, provides a detailed overview of existing trail opportunities and priority routes throughout the county. Notably, the plan also covers pedestrian infrastructure and safety, which is again highlighted in the Transportation section of this plan. Local municipalities now utilize this plan as a guide for communities in their non-motorized infrastructure efforts. Current and planned trail connections can be seen on the *Livingston County Trails Plan* map on the following page (derived from the Livingston County Trails Plan).





## Existing Pathways and Desired Connections

### LEGEND:

- A Notes
-  Planned and/or Desired Trail Connections
-  Asphalt/Concrete Shared Use Path (8+ wide)
-  Fines Shared Use Path
-  Great Lake to Lake Trail Route #1
-  Natural Surface Trails (hike/equestrian/mnt bike)
-  Bike Lanes/Paved Shoulders





- A** Connect MLLT to **Pinckney High School**
- B** Purchase/operation of former Girl Scout Camp **Innisfree**. MI Horse Council operates. Feasibility study underway, working with MDNR to hopefully operate it as a nonmotorized park that may also serve as training grounds for the County mounted division and offer therapeutic amenities. - has equestrian trails with desire to connect to MLLT
- C** No local strategic planning yet for trails in **Tyrone Township**. Continue the US 23 corridor trail to the north.
- D** **Howell Township** is working on connecting nonmotorized trails into the **City of Howell**.
- E** Connections between **Brighton** and **Green Oak**.
- F** Complete **Island Lake** connectors for the GLTLT. Friends group recently helped designate the park's first hiking only trail. Partnerships developing with Kensington Metropark and strengthening volunteerism.
- G** **Huron Meadows** master planning process currently underway. Connectivity within that park and to adjacent trails/communities. HCMA wants connectivity to Huron Meadows Metropark. Metroparks were originally supposed to be connected by parkways. They would love to have a connection between **Kensington** and **Huron Metroparks**.
- H** **Fillmore County Park** has a loop trail network and the development of additional trails is anticipated.
- I** **Hamburg Township** is working on a **McGregor trail connection** between the MLLT and the Border to Border Trail.
- J** A portion of the MLLT in **Putnam** was left unpaved to allow equestrian use (aggregate). Maintenance of the trail is done by Putnam, some reimbursement by DNR (\$500/mile annually through maintenance grants).
- K** **Unadilla** received some funding to develop a section (over 6 miles) of the MLLT — it will be aggregate. Construction bids are forthcoming this month. It is currently passable but not sustainable with existing surfacing. There is also a strong equestrian presence in this area.
- L** Planned regional pathway - Fieldcrest trail along Old U.S. 23 in Green Oak Township. The last leg of the **Fieldcrest Trail** in **Green Oak Township** (connector to MLLT) will cross M-36. How could we continue the MLLT east to **connect with South Lyon**? MDOT prefers the north side of M-36 at Whitmore Lake Rd. That park-and-ride lot will be able to be used as a trailhead.
- M** The **Island Lake connector** (from the shopping center at Green Oak Mall) has been fully engineered. A \$300K Michigan Natural Resources Trust Fund has been obtained, but DNR needs a total of \$1M to construct. Phase 1 will include the section of trail from the mall to the park road (0.6 miles), and it may be done by DNR staff. (update: phase 1 complete)
- N** DNR is pressing **Putnam Township** to utilize the **Pinckney Depot** and he is interested in the idea of it being used for a wheelchair biking station.
- O** **Brighton Township** has a sidewalk plan and they have paved several segments of pathway. The **2006 Pathway Master Plan** shows priority connections along Kensington Rd, Grand River Ave and Old US 23.
- P** **Hartland Township** does not have trails other than a 1/2 mile pathway along M-59 and a trail in **Settlers Park**.
- Q** **Howell Township** has pathway and sidewalk maps. Potential nonmotorized pathways, noted in the **2016 Master Plan**, include Oak Grove Rd, Tooley Rd, Burkhart Rd, Marr Rd and a route along the railroad and the Shiawassee River. The Townships current priorities are to establish a trail up **Oak Grove Road** and **along M-59**. They have set aside 3 parcels for new Township parks.
- R** Provide connection between **Brighton** and **Howell** along **Grand River**.
- S** **Genoa Twp 2013 Master Plan** includes future pathways along Crooked Lake Rd, Latson Rd, Brighton Rd, Clifford Rd, Conrad Rd, Challis Rd, Chilson Rd and along a transmission line corridor.
- T** The **2015 Green Oak Twp Non-motorized Pathway Plan** proposes a connection between the MLLT and Huron Valley Trail, a connection along an active railroad and along 9 Mile, 10 Mile and Rushton Roads. Additionally, safety paths are proposed along major roads throughout the township.
- U** Connect MLLT to **downtown Brighton and Howell**- trails suggested include: trail connecting cities of Howell and Brighton, Latson Road from Chilson Road to Grand River Ave.
- V** Increase and Improve Downtown Non-Motorized Access - **Grand River Ave** from the **City of Brighton** northward through **Brighton Township**.
- W** MDOT/SEMCOG's **2014 Regional Non-motorized Plan** recognizes Pinckney Rd as a gap in the regional network.
- X** The **2007 Oceola Master Plan** recommends future trail connection along M-59 and following the transmission corridor.
- Y** The **Pinckney-Putnum Parks and Rec Master Plan 2018-2022** focuses on connections from the MLLT to the Border-to-Border Trail and Hudson Mills Metro Park in Washtenaw County. Feasibility studies have looked at 5 different routes. The recent contender follows Dexter-Pinckney Rd, Dexter-Townhall Rd, Silver Hill Rd, Patterson Lake Rd, and Kelly Rd.
- Z** Greenways identified along utility corridors in the **Southeast Michigan Greenways Plan/Southeast Livingston Greenways Plan 2000**

*Source: This list is was compiled based on minutes from past LivOn meetings and existing planning documents.*

## Existing Planning Documents

**Brighton Twp Pathways Plan 2006**

**Crosstown Trail Howell Area Nonmotorized Trail Study 2003**

**Great Lake to Lake Trail Route #1 - Hamburg to West Bloomfield Route 2018**

**Genoa Twp 2013 Master Plan Update**

**Green Oak Twp Non-motorized Pathways Plan 2015**

**Hamburg Twp Park and Rec Master Plan 2012**

**Hartland Twp Park and Rec Master Plan 2015-2020**

**Howell Area Park and Rec Master Plan 2015-2020**

**Howell Twp Non-motorized Plan Map 2019**

**Livingston County Master Plan 2018**

**Livingston County Parks and Open Space Plan 2019-2023**

**MDOT/SEMCOG Nonmotorized Plan for Southeast Michigan 2014**

**Oceola Twp Master Plan 2007**

**Pinckney-Putnum Parks and Rec Master Plan 2018-2022**

**Southeast Livingston Greenway 2000**

**Tyrone Twp Master Plan 2012**

**Unadilla Twp Rec Plan 2017**



## Water Features

The water features of Livingston County comprise 3.4% of the total land area, with over 75 inland lakes with associated streams and wetlands, and three major river courses. Numerous public entities in Livingston County rely on groundwater wells to supply drinking water to residents and local businesses. They also serve as vital resources for water recreation for boating, fishing, and other activities. As such, the protection of these water resources is essential for maintaining the community's and ecosystem's health and well-being. The water features and watersheds of Livingston County can be found on the *Livingston County Water Bodies and Watersheds* on the following page.



## Environmental Concerns

Recognizing environmental issues in Livingston County is essential to ensure land uses are suitable for the area, thereby promoting overall public health and well-being. The Department of Environment, Great Lakes, and Energy's (EGLE) Remediation Information Data Exchange (RIDE) Mapper serves as a resource for prioritizing vulnerable regions, such as wellhead protection areas, along with identifying environmental issues, including historical contaminated areas prior to project proposals; empowering officials to make informed decisions. The map shows potential sites of environmental contamination, leaking underground storage tank sites, underground storage tank facilities, and land or resource use restrictions that have been provided to EGLE. Consequently, it is essential for local planning officials and consultants to remain informed about the conditions of these sites. [The RIDE Mapper can be found at this link.](#)





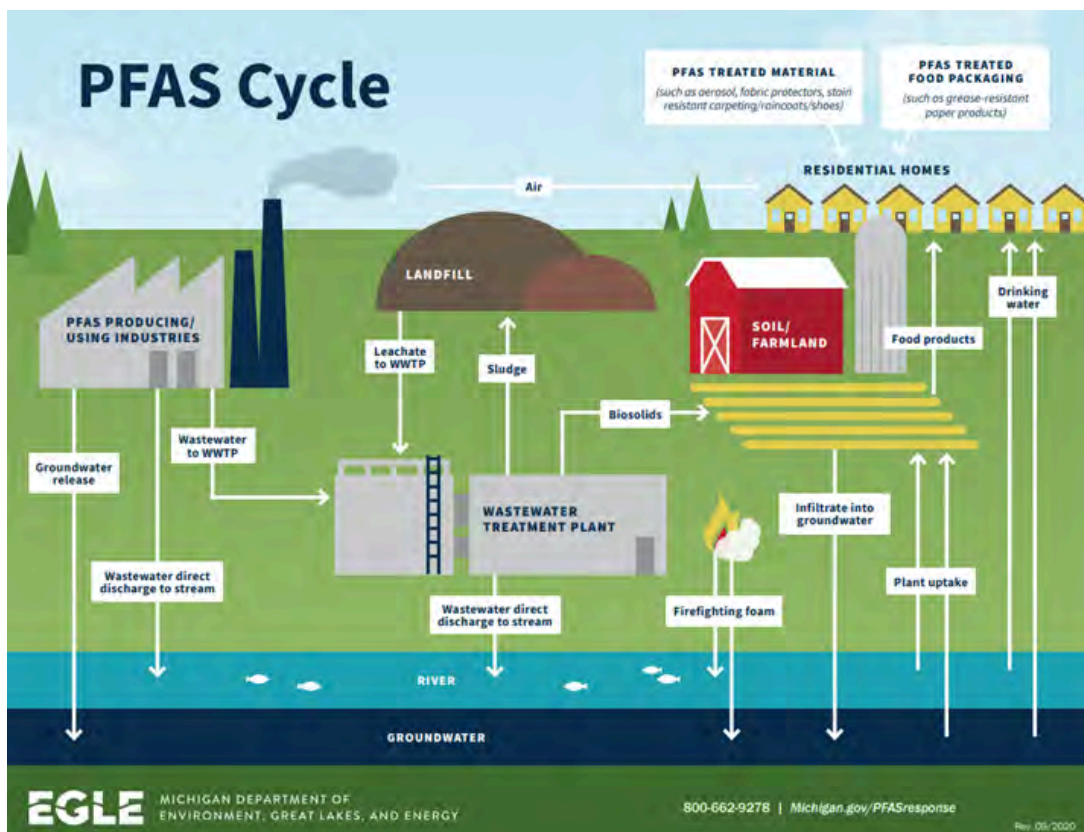




### Per-Polyfluoroalkyl Substances (PFAs)

A group of contaminants that is being closely tracked throughout Michigan are Per- and Polyfluoroalkyl substances (PFAs). These chemicals persist in the environment and do not break down or biodegrade. They have been linked to cancers such as kidney, prostate, and testicular cancer, ulcerative colitis, thyroid disease, decreased fertility, and hypertensive disorders (Michigan Department of Human Health). PFAs can be found in a wide range of products such as firefighting foam, chrome plating, cookware coatings, waterproofing on clothing, carpet and even food wrappers. The Michigan PFAs Action Response Team (MPART) under the Department of Environmental Great Lakes and Energy (EGLE) have been tracking PFAs sites and areas of interest on their Interactive Map.

Livingston County is renowned for having the highest concentration of water bodies in the region, making it an appealing place to reside and a significant economic driver as a recreational destination. It is imperative to protect these valuable resources and remain vigilant regarding contamination advisories. There are currently 34 water bodies in Livingston County that are monitored for water quality and monitored for safe guidelines for fish consumption, and Livingston County currently has 12 PFA contaminated sites and 1 area of interest with probable PFAs contamination. These locations can be found in the *PFAs sites in Livingston County* table on the following page.



PFAs Sites in Livingston County	
Site	Location
<u>Livingston County Landfill</u>	Howell Township: Fisher and Barron Rd.
<u>Livingston County Airport</u>	Howell Township: Grand River Ave. and M-59
<u>Lucy Road Resources</u>	Howell Township: 2440 W. Highland Rd.
<u>Diamond Chrome Plating</u>	City of Howell: Michigan Ave. and Livingston St.
<u>Lucy Road Landfill</u>	City of Howell: Lucy Rd. and Grand River Ave.
<u>Regal Recycling (former)</u>	City of Howell: Lucy Rd. and Grand River Ave.
<u>Former Oak Point WWTP</u>	Genoa Township: 5431 Brighton Rd.
<u>1279 Rickett Rd</u>	City of Brighton: 1279 Rickett Rd.
<u>Thermofil</u>	Green Oak Township: 6450 Whitmore Lake Rd.
<u>Hamburg Township WWTP</u>	Hamburg Township: 6400 East M-36
<u>Superior Station</u>	Green Oak Township: 7350 Rushton Rd.
<u>Brighton Township Dump</u>	Brighton Township: Corlett Rd. and Corlett Dr.
<u>Area of Interest: Wixom DDTP Biosolids Field</u>	Genoa Township: Golf Club Rd. and Kellogg Rd.

Source: EGLE, Michigan PFAs Action Response Team

# Natural Resources & Recreation: Feedback & Current Trends

## Feedback

Respondents reported being generally satisfied with recreation opportunities in Livingston County.



*Community Events*

*Trails*

*Playgrounds*

Respondents Felt That These are

Some Ways to Improve:

1. Sidewalks to connect into town.
2. More parks in the northern portion of the county.
3. Additional dog parks.



*"Love all the parks, trails and lakes etc. Let's keep them clean and maintained."*

*Survey Respondent*

*"Create more pathways and connections for walkers, hikers and cyclists. Carfree thoroughfares that promote physical activity. Think 'healthy Livingston'. Parks are great, but require that we drive to them. Let's find ways to be mobile with less motoring." -Survey Respondent*

## Current Trends

### Biodiversity Restoration

Planning practices are shifting to support biodiverse landscapes, wildlife corridors, and native habitat restoration, especially in fast-developing areas or near sensitive ecosystems.

### Planning for Post-Pandemic Lifestyles

As remote work continues, there is a growing demand for public gathering spaces, parks, and trails close to home. Planners are now enhancing neighborhood-scale recreation to support quality of life.

### Embracing Low-Impact Development (LID)

To safeguard water quality, planners are promoting low-impact development (LID) techniques such as rain gardens, bioswales, and permeable pavement in public and private development.

### Smart Growth Principles

To achieve the coexistence of economic growth and environmental preservation, communities are employing smart growth principles: compact, mixed-use developments that use land efficiently while preserving natural resources.

# Natural Resources & Recreation: Goals & Objectives

## Goal #1: Guide Conservation of High-Quality Natural Areas

Provide mapping and data to assist local governments in conserving environmentally sensitive and ecologically valuable lands.

*Objective:* Maintain and promote the Livingston County High-Quality Natural Area Assessment as a reference in local master plans and zoning reviews.

*Objective:* Share model environmental overlay districts and other voluntary or incentive-based preservation tools with communities.

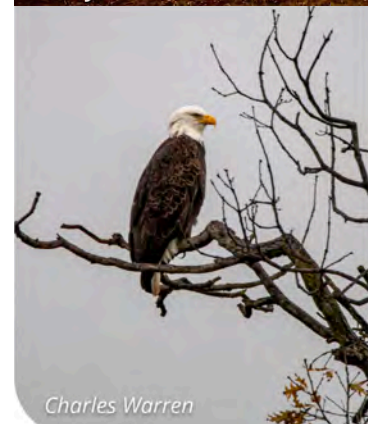
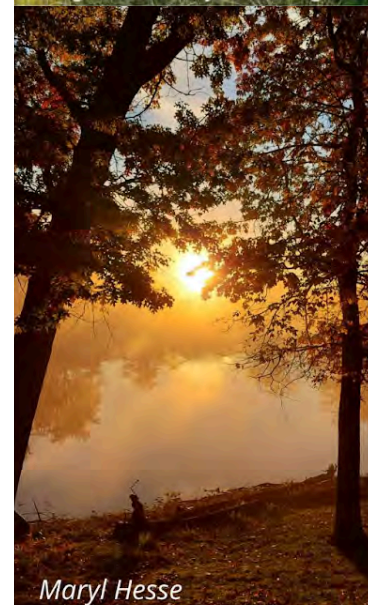
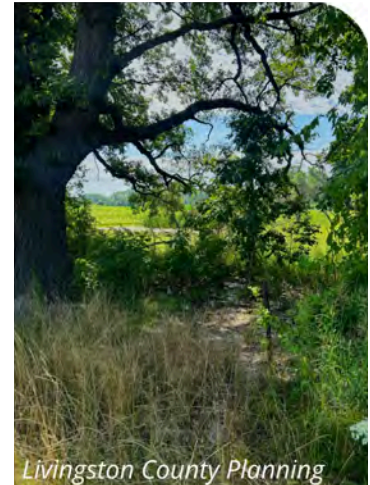
*Objective:* Encourage communities to require environmental impact assessments during site plan review processes.

## Goal #2: Support Planning for Parks, Trails, and Recreation Access

Assist local jurisdictions in using county plans and data to expand safe, equitable access to parks, trails, and open space.

*Objective:* Use the Livingston County Trails Plan and GIS data to identify trail gaps and recommend non-motorized connections between neighborhoods, schools, and recreation areas.

*Objective:* Provide recreation gap analysis and mapping to guide local decisions about new parkland and trail linkages.





## Natural Resources & Recreation: Goals & Objectives

### Goal #3: Provide Data and Guidance to Protect Water Resources

Equip local governments with the information and best practices needed to safeguard lakes, rivers, wetlands, and groundwater.

*Objective:* Share stormwater management and green infrastructure best practice resources for integration into local ordinances and development standards.

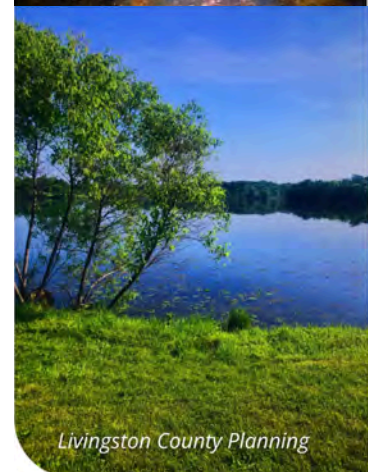
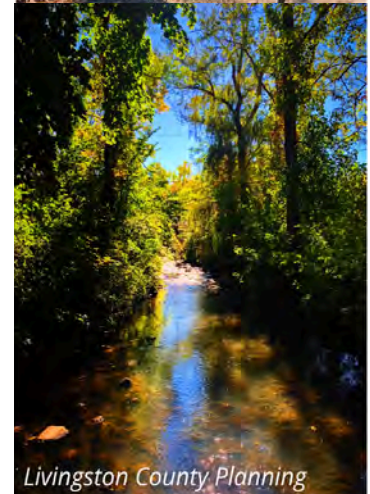
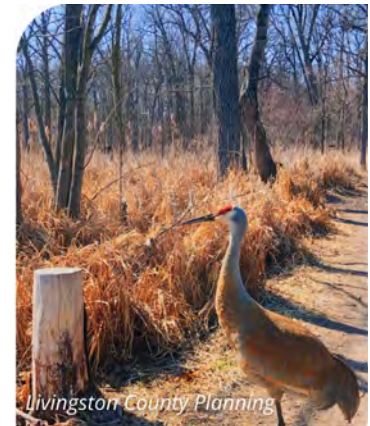
*Objective:* Coordinate with regional partners to share water quality and contamination data that can inform local land use decisions.

### Goal #4: Promote Environmental Stewardship and Sustainable Resource Use

Foster partnerships and knowledge-sharing that encourage responsible use and long-term care of Livingston County's natural assets.

*Objective:* Maintain a directory of conservation, recreation, and environmental organizations and resources active in Livingston County.

*Objective:* Support public engagement by sharing data, maps, and case studies that highlight the value of natural resources and recreation to quality of life and economic vitality.



# AGRICULTURE



# Livingston County: Agriculture

## Snapshot

### Agriculture Drives Local Prosperity

Livingston County farms generated over \$72 million in market sales in 2022.

### Farmland at Risk

Despite rising productivity, 18% of the county's farmland has been lost over the past 25 years.

### Sustainable Farming Matters

As environmental and economic pressures mount, sustainable practices and farmland stewardship are essential to ensure agriculture remains viable for future generations.

### Local Food's Impact

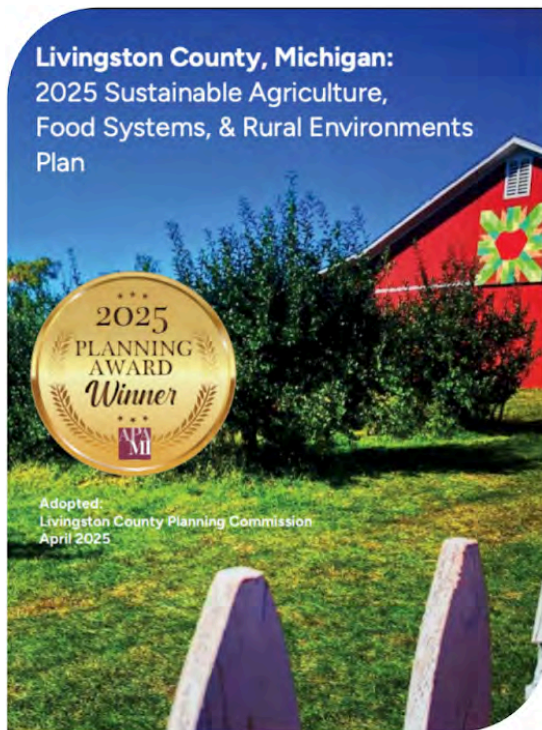
Farmers markets, roadside stands, and direct-to-consumer farms are critical for supporting local producers and improving food access.

Livingston County has countless deeply-seated roots in agriculture, with our economy and community historically thriving in farming and related activities. Today, the county hosts approximately 658 farms producing an annual market value of \$72,191,000. Our community is incredibly fortunate to have plentiful natural resources as well as strong agricultural infrastructure to ensure that farming in our region remains a vibrant pillar of our local economic and cultural heritage. While agriculture in Livingston County continues to thrive, new challenges and opportunities have emerged in recent years, prompting the need for innovative approaches and adaptive strategies. With growing rates of farmland conversion and development coupled with economic challenges and environmental pressures, it is essential to prioritize sustainable practices that can enhance productivity while preserving our agricultural landscapes. This section aims to provide an overview of agriculture's local impact and methods through which to support its regional presence.



*Livingston County Planning*

### Livingston County, Michigan: 2025 Sustainable Agriculture, Food Systems, & Rural Environments Plan



The Livingston County, Michigan: 2025 Sustainable Agriculture, Food Systems, & Rural Environments Plan provides a comprehensive inventory of agricultural land in Livingston County and outlines strategies to protect and support this vital resource. Key areas addressed in the plan include:

- Farmland Preservation
- Farmer Support
- Alternative Energy & Agriculture
- Soil & Water Stewardship
- Localizing Food System Infrastructure
- Food Security & Food Access

These sections highlight state and federal funding mechanisms, land bank opportunities, and other important resources. This plan recently won an award from the Michigan Association of Planning, and will serve as a unique tool to guide communities in establishing goals for local agriculture within their decision-making processes.

### Farm Overview

Livingston County Farm Overview		
	2022	% change since 2017
<u>Number of Farms</u>	658	-9%
<u>Land in Farms (acres)</u>	85,787	-4%
<u>Average Size of Farm (acres)</u>	130	+6%
<u>Market Value of Products Sold</u>	\$72,191,000	+49%
<u>Government Payments</u>	\$573,000	-60%
<u>Farm-Related Income</u>	\$5,447,000	+59%
<u>Total Farm Production Expenses</u>	\$61,738,000	+42%
<u>Net Cash Farm Income</u>	\$16,472,000	+69%

Source: MI Ag Census 2022





The *Livingston County Farm Overview* table on the page above shows Livingston County's inventory and value of local farms. In 2022, agriculture contributed \$72 million to the county's economy through market sales, a 49% increase over five years, despite a 9% decline in the total number of farms and a 4% reduction in farmland acreage. This suggests that remaining farms have become more productive, supported by a 6% increase in average farm size and a substantial 69% increase in net cash farm income, which totaled \$16.5 million. Meanwhile, total production expenses rose by 42%, reflecting higher input costs or expanded operations.

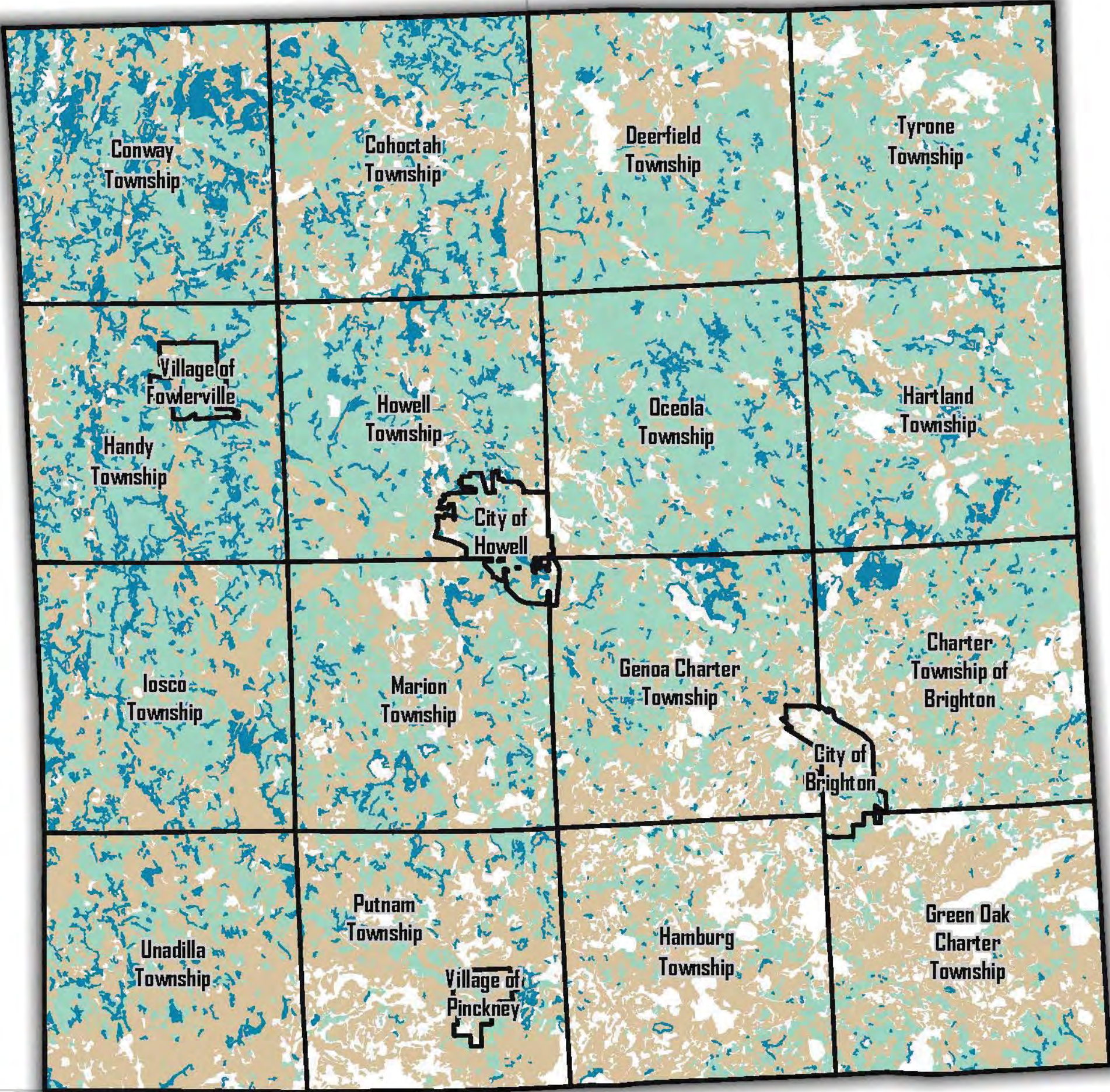
Farms continue to play a vital role in Livingston County's economy, landscape, and cultural identity.

## Prime Farmland

Prime farmland is categorized as a location's ability to be productive in the cultivation and support of various crops. Environmental characteristics such as soil, water, and vegetation are used to determine the productivity level of the land. Although 84% of the soils in Livingston County are considered suitable for farming, only 30% of the county's soils would be considered prime farmland. As seen in the *Livingston County Prime Farmland* map on the following page, the majority of the county's prime farmland is situated in the northwestern regions of the county.

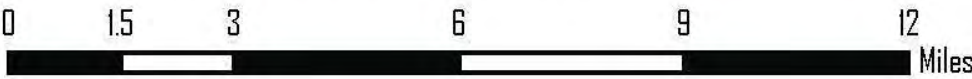






# Livingston County Prime Farmland

- All areas are prime farmland
- Farmland of local importance
- Prime farmland if drained



Data Source: Livingston County GIS



## Farmland Loss

Currently, economic pressures are leading to a reduction in farmland availability. Over the past twenty-five years, both Michigan and Livingston County have experienced a 14% decrease in the number of farms. Additionally, Michigan has lost approximately 9% of its farm acreage, while Livingston County has seen a more significant decline of 18%. Causes of these losses include:

- Increases in housing demand
- Farmland fragmentation
- Rising input costs
- Succession planning difficulties

Livingston County farmland loss is further detailed in the [Livingston County, Michigan: 2025 Sustainable Agriculture, Food Systems, & Rural Environments Plan](#).

Livingston County has experienced a more severe rate of farmland loss than the Michigan average in the last two decades.

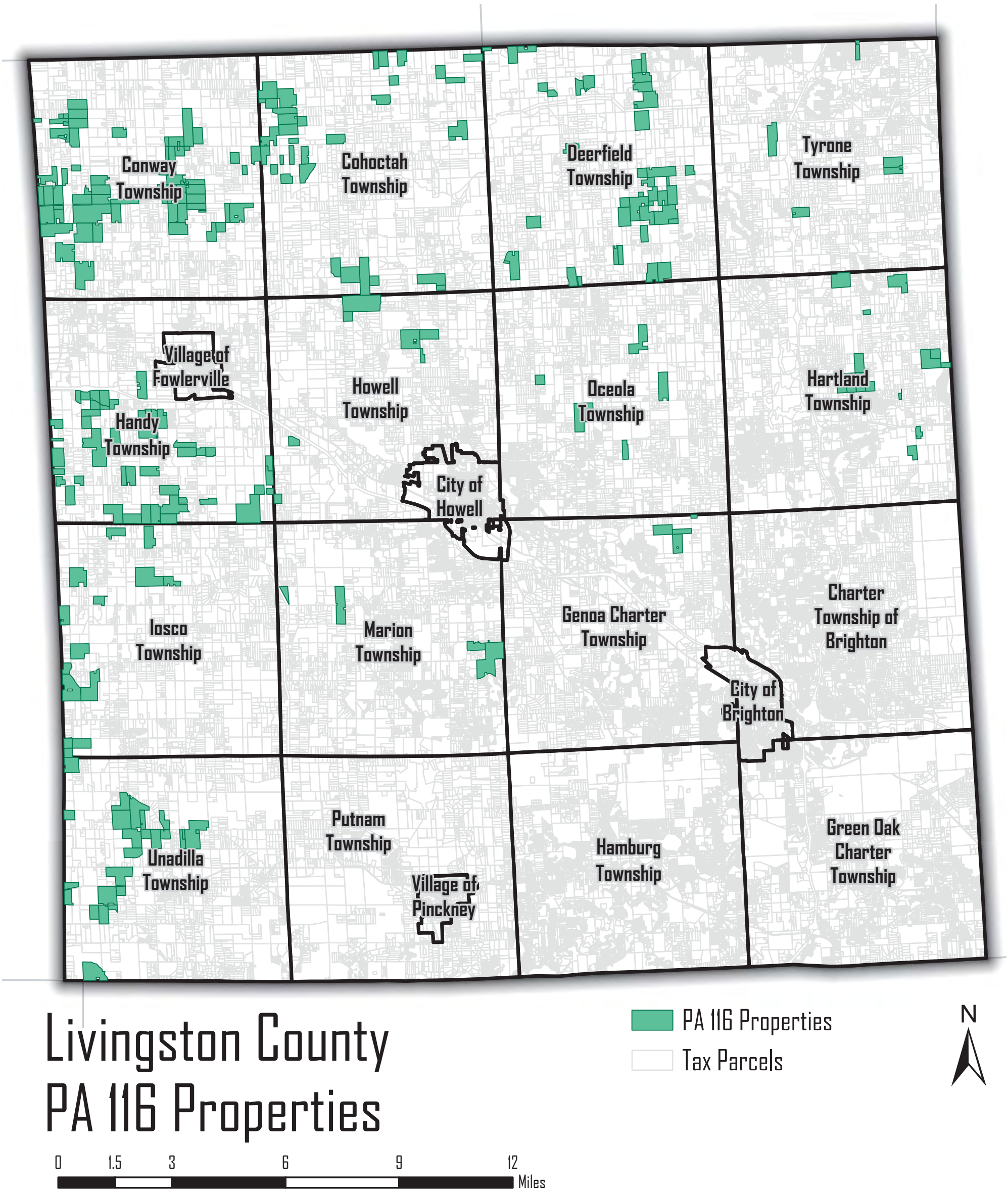
Livingston County  
-22.7%

Michigan  
-10.3%

## PA 116 - Farmland and Open Space Program

The Michigan Department of Agriculture and Rural Development (MDARD) administers the Farmland and Open Space Preservation Program. This is an incentive-based program that allows landowners to voluntarily enroll their property (at no cost) into a Development Rights Agreement with the state. These agreements restrict non-agricultural development on a property and ensure that the land remains available for agricultural production. It also ensures that the land remains in agricultural use for a minimum of ten years, and in return, provides the landowner with an income tax benefit. The parcels currently enrolled in PA 116 in Livingston County are shown in the *Livingston County PA 116 Properties* map on the page below.





Data Source: Livingston County GIS, Michigan Department of Agriculture & Rural Development



Community Density Standards for Rural Residential and Single Family Residential			
Community	Rural Residential (RR)	RR with Farm	Single Family Residential
Northwest Quadrant			
<u>Conway Township</u>	2 acres	20 acres	2 acres
<u>Handy Township</u>	35,000 sq ft	10 acres	12,000 sq ft
<u>Cohoctah Township</u>	2 acres	20 acres	21,780 sq ft
<u>Howell Township</u>	1 acre	N/A**	10,000 sq ft: Public water and sewer 1 acre: No public water and sewer
Northeast Quadrant			
<u>Deerfield Township</u>	2-20 acres	2-20 acres	30,000-65,000 sq ft
<u>Oceola Township</u>	50,000 sq ft	N/A**	30,000 sq ft: Public water and sewer 40,000 sq ft: No public water and sewer
<u>Tyrone Township</u>	1-1.75 acres	3 acres	21,780-43,650 sq ft
<u>Hartland Township</u>	2 acres	10 acres	20,000 sq ft: Public water and sewer 32,670 sq ft: No public water and sewer
Southwest Quadrant			
<u>Iosco Township</u>	2 acres	N/A**	2 acres
<u>Marion Township</u>	2 acres 1 acre: platted lot	N/A**	20,000 sq ft: Public water and sewer 32,670 sq ft: No public water and sewer
<u>Unadilla Township</u>	2 acres	2-5 acres	1 acre
<u>Putnam Township</u>	10 acres	N/A**	1-5 acres
Southeast Quadrant			
<u>Genoa Township</u>	2-5 acres	10-40 acres	21,780 sq ft: Public water and sewer 1 acre: No public water and sewer
<u>Hamburg Township</u>	87,120 sq ft	N/A**	1 acre
<u>Brighton Township</u>	1.6-2.5 acres	N/A**	0.91 acre
<u>Green Oak Township</u>	2-5 acres	N/A**	21,750 sq ft

## Agriculture & Local Zoning



The *Community Density Standards for Rural Residential and Single-Family Residential* table on the page above outlines the current rural lot size requirements for communities in Livingston County. Agriculture typically necessitates substantial land area for crop production, and establishing standard requirements or minimum lot sizes can help maintain these areas—ensuring that they remain accessible in the future. The presence of large land parcels for active farming can also serve as a buffer, reducing the impacts of active farming on neighboring properties.

**\*\*Note for the *Community Density Standards for Rural Residential and Single-Family Residential* table:** Rural Residential serves as a broad classification for areas with comparable uses. Communities may designate these zones using various names, such as Agricultural Residential, Conservation Agriculture, Rural Estates, or similar. The zoning district also does not stipulate a minimum lot size specific to farming. There may be minimum lot regulations for elsewhere in each township zoning ordinance.

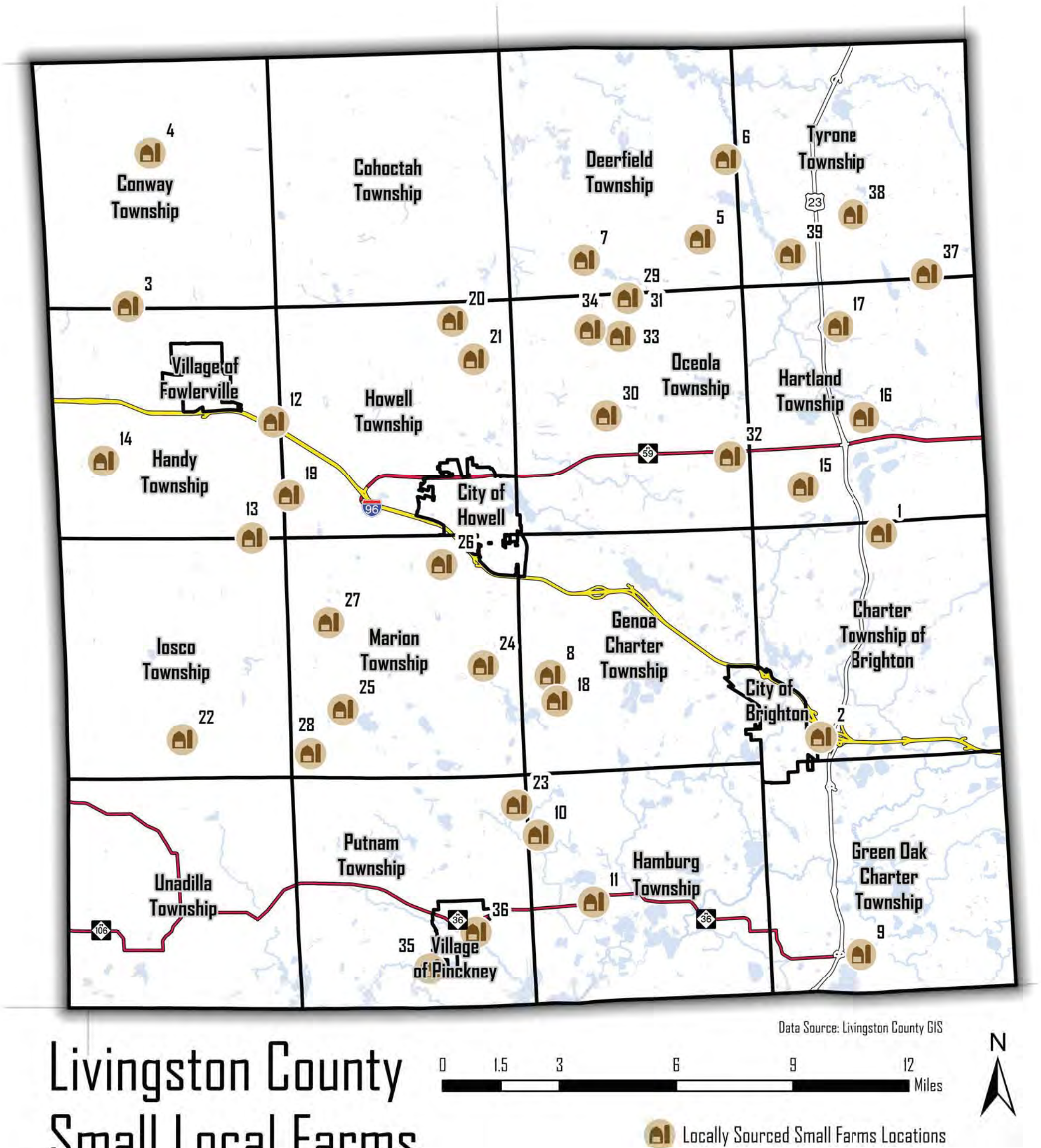
## Sustainability Concerns & Farming

As agriculture is one of the most strongly valued assets of Livingston County, it is vital that efforts are made to ensure that it can sustain its economic, environmental, and intergenerational continuity. This means that farming practices must balance productivity with long-term soil health, water conservation, and ecological stewardship. It also requires proactive measures to address emerging threats such as PFAS contamination, nutrient runoff, and farmland loss due to development pressure. Supporting sustainable practices, protecting prime agricultural soils, and investing in local food systems will help ensure that farming remains viable for future generations. Further suggestions can be found in the [Livingston County, Michigan: 2025 Sustainable Agriculture, Food Systems, & Rural Environments Plan](#).

## Local Food Infrastructure

It is also vital that regional agriculture has the appropriate outlets to reach the community. Local food infrastructure, such as farm markets, roadside stands, and local farms that sell directly to consumers, are extremely valuable for strengthening the local economy, improving access to fresh and nutritious food, reducing transportation-related emissions, and fostering connections between producers and residents. These outlets not only support farm viability but also enhance community resilience and food system sustainability. The *Livingston County Small Local Farms* and *Livingston County Farmers Market* maps on the following pages locate regional farmers markets and locally-selling farms.







Local Farms in Livingston County (as listed on Livingston County Small Local Farms Map)Brighton Township:

- 1: RGM Livestock and Produce
- 2: Wildwood Gardens

Conway Township:

- 3: Jubilee Goat Farm
- 4: Kreeger Farms

Deerfield Township:

- 5: Dietrich Pumpkin Patch
- 6: Forgotten Harvest Farms
- 7: Fawcett Farms

Genoa Township:

- 8: Rising Vitality Farm

Green Oak Township:

- 9: Green Oak Farm

Hamburg Township:

- 10: Hay Creek Heritage Farm
- 11: R2 Farm

Handy Township:

- 12: Alpine Crossings Family Farm
- 13: Munsell Farms
- 14: White Farms

Hartland Township:

- 15: MI Family Farm
- 16: Roeske Farms
- 17: Spicer Orchards

Howell Township:

- 18: Gondek Acres
- 19: Hidden Hills Farm
- 20: J & T Todosciuk Farms & Greenhouses LLC
- 21: Springbrook Farms

Iosco Township:

- 22: Northern Path Family Farm

Marion Township:

- 23: Chamber's Family Farm
- 24: Cross W Ranch
- 25: Hares and Harrows Farmstead
- 26: Hazen's Farm
- 27: Howell Victory Farm
- 28: Motave Meadows

Oceola Township:

- 29: Birdie Farms LLC
- 30: Ponderosa Ridge Farm
- 31: Renegade Acres
- 32: Rosebriar Farms
- 33: Way Maker Family Farm
- 34: Markillie Orchard

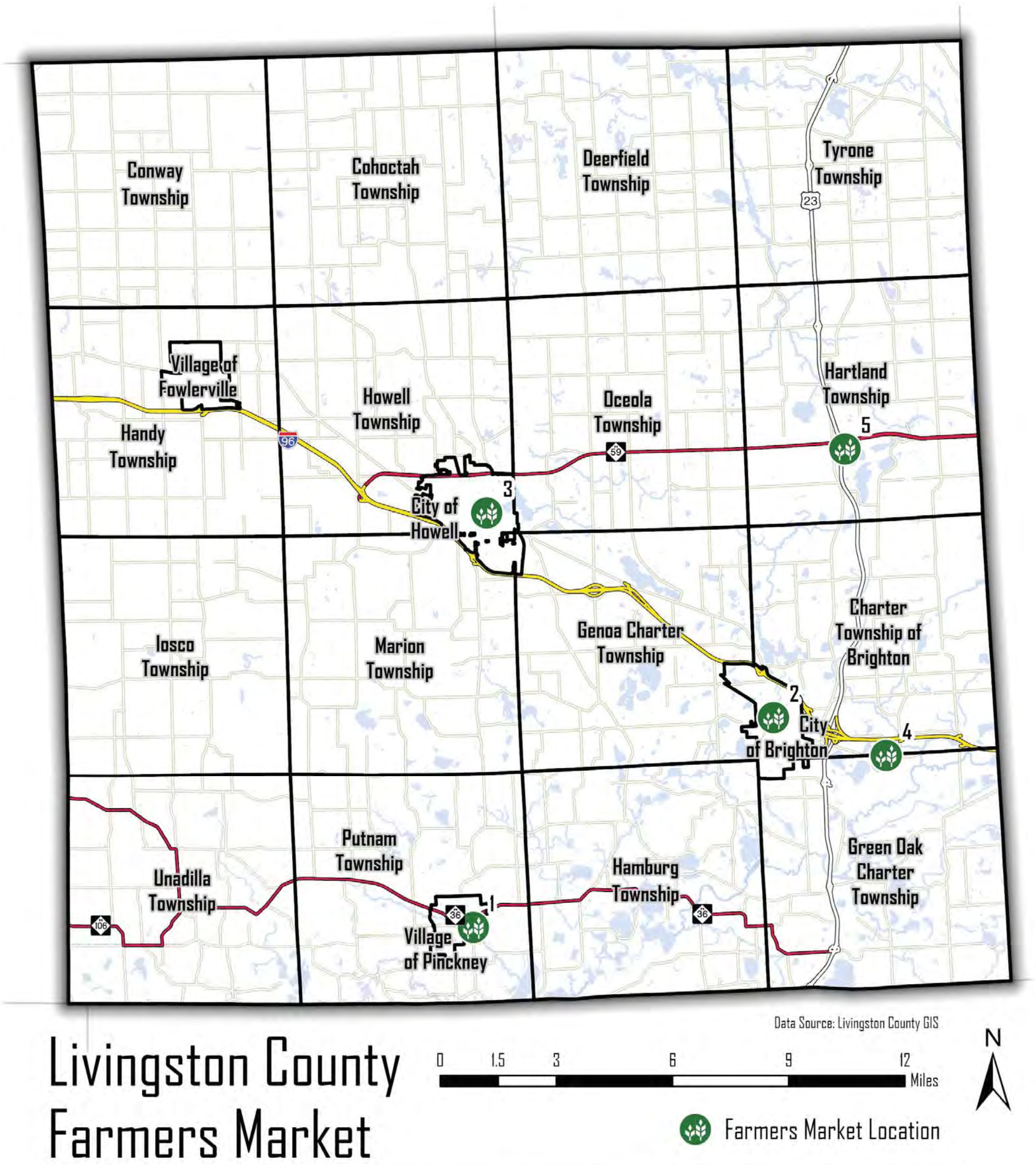
Putnam Township:

- 35: Purgatory Cattle
- 36: Schell Family Farm

Tyrone Township:

- 37: Bass Root Farm LLC
- 38: Iron Oak Farm
- 39: The Wegener Farm





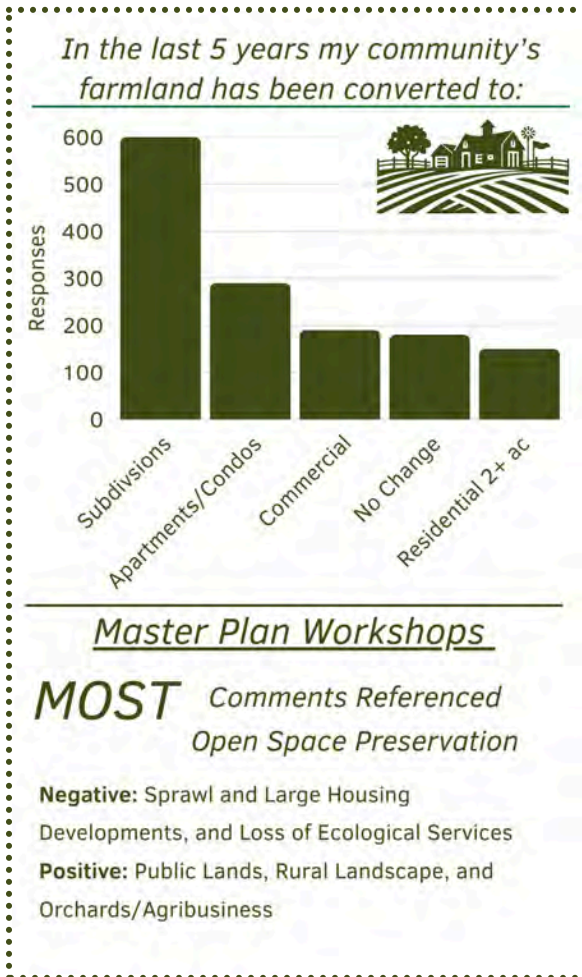
# Livingston County Farmers Market

ID	Name	Location	Address	City	State	ZIP	Open
1	Livingston Farmers Market	Schell Family Farm	10055 Dexter Pinckney Rd,	Pinckney	MI	48196	Saturdays, May - Oct., 9 a.m. - 2 p.m.
2	Brighton Farmers and Artisans Market:		200 N First St	Brighton	MI	48116	Saturdays, May - Oct., 8 a.m. - 1 p.m
3	Howell's Sunday Farmers Market:	Downtown Howell	N State St & E Clinton ST	Howell	MI	48843	Sundays, May - Oct., 9 a.m. - 2 p.m.
4	Green Oak Township Farmers Market		11299 E. Grand River Ave	Brighton	MI	48116	Thursdays, May - Oct., 4 p.m. - 7 p.m.
5	Hartland Farmers Market:		10400 Highland Rd	Hartland	MI	48353	Saturdays, May - Oct., 9 a.m. - 2 p.m.



# Agriculture: Feedback & Current Trends

## Feedback



## Current Trends

### Urban Agriculture

Many planners are revising zoning codes to allow for small-scale food production in urban and suburban areas (i.e., backyard gardens, hoop houses, community gardens)

### Purchases of Development Rights (PDRs)

Many counties are using PDR programs to compensate landowners for permanently protecting agricultural land from development.

### Cluster Zoning

Planners use cluster zoning to allow homes to be grouped on smaller lots in rural areas, preserving large tracts of farmland or open space.

### Agritourism

Communities are promoting agritourism (farm markets, U-Pick operations, and tours) as a way to support farm viability.

## Agriculture: Goals & Objectives

### Goal #1: Protect and Sustain Farmland

Protect prime and productive farmland from fragmentation and development to ensure long-term viability of agriculture in Livingston County.

*Objective:* Promote the use of state and local farmland preservation tools such as PA 116, Purchase of Development Rights (PDRs), and conservation easements.

*Objective:* Using the *Livingston County, MI: 2025 Sustainable Agriculture, Food Systems, and Rural Environments* plan, provide local governments with data, maps, and best practices to support the use of large minimum lot sizes in agricultural zoning.

*Objective:* Encourage compact and clustered development patterns to reduce pressure on agricultural lands, especially in high-growth townships.

### Goal #2: Preserve Rural Character While Supporting Farm-Based Enterprises

Help local governments develop policies that balance rural preservation with economic opportunity for farmers.

*Objective:* Encourage the permittance of low-impact, farm-based agricultural uses (e.g., roadside stands, agritourism, processing) by-right or with minimal barriers.

*Objective:* Encourage township master plans to include rural character preservation strategies, including visual buffers and clustering tools that protect open space.



## Agriculture: Goals & Objectives

### Goal #3: Promote Soil and Water Stewardship

Support township and regional planning efforts that prioritize natural resource protection on agricultural land.

*Objective:* Provide environmental and GIS data to townships regarding wellhead protection, soils, and wetlands to townships during plan and zoning reviews.

*Objective:* Partner with conservation agencies and other regulatory bodies to promote low-impact farming.

### Goal #4: Strengthen the Regional Food System

Assist communities in planning for infrastructure that supports the viability and accessibility of local agriculture.

*Objective:* Promote the use of the *Livingston County, Michigan: 2025 Sustainable Agriculture, Food Systems, and Rural Environments* plan to point communities toward resources that support the local food system.

*Objective:* Collaborate with local governments to highlight opportunities for local food access.





# HEALTH & WELLNESS

# Livingston County: Health and Wellness

## Snapshot

### Living Longer

Livingston County's average life expectancy is higher than both Michigan and the United States.

### Ongoing Mental Health Challenges

Nationally, mental health is worsening. In Livingston County, suicide rates are rising, indicating a need for targeted interventions.

### New Needs for an Aging Population

As the county's population continues to age, health services must continue to adapt to the needs of an older population.

### Low Social Vulnerability

Livingston County is ranked best in the state in terms of social vulnerability to disease and other health risks.

Livingston County ranks among the healthiest counties in Michigan, with residents enjoying longer life expectancy, low rates of uninsurance, and access to natural and built environments that support wellness. These strengths reflect not only favorable health outcomes but also the foundational infrastructure, services, and community values that promote overall well-being.

Yet, rising healthcare costs, a growing senior population, and persistent challenges like substance use and mental health concerns pose serious threats to long-term community health sustainability. Proactive health planning must therefore consider the full range of determinants that shape health outcomes. By aligning public health strategies with planning policy, this section aims to show ways in which Livingston County can ensure that all residents have a fair opportunity to exist in good health.



Hartland Township



### Life Expectancy and General Health

According to the Center for Disease Control, Livingston County residents enjoy a long life expectancy of approximately 80.8 years, which is 5 years higher than the Michigan average. This strong performance reflects the county's overall high standard of health and well-being. Still, chronic illnesses remain the top causes of death before age 75, including:

- Malignant neoplasms (cancer)
- Heart disease
- Accidents
- COVID-19
- Intentional self-harm

Livingston County has the 5th highest life expectancy in the state, and is far above state and national averages.

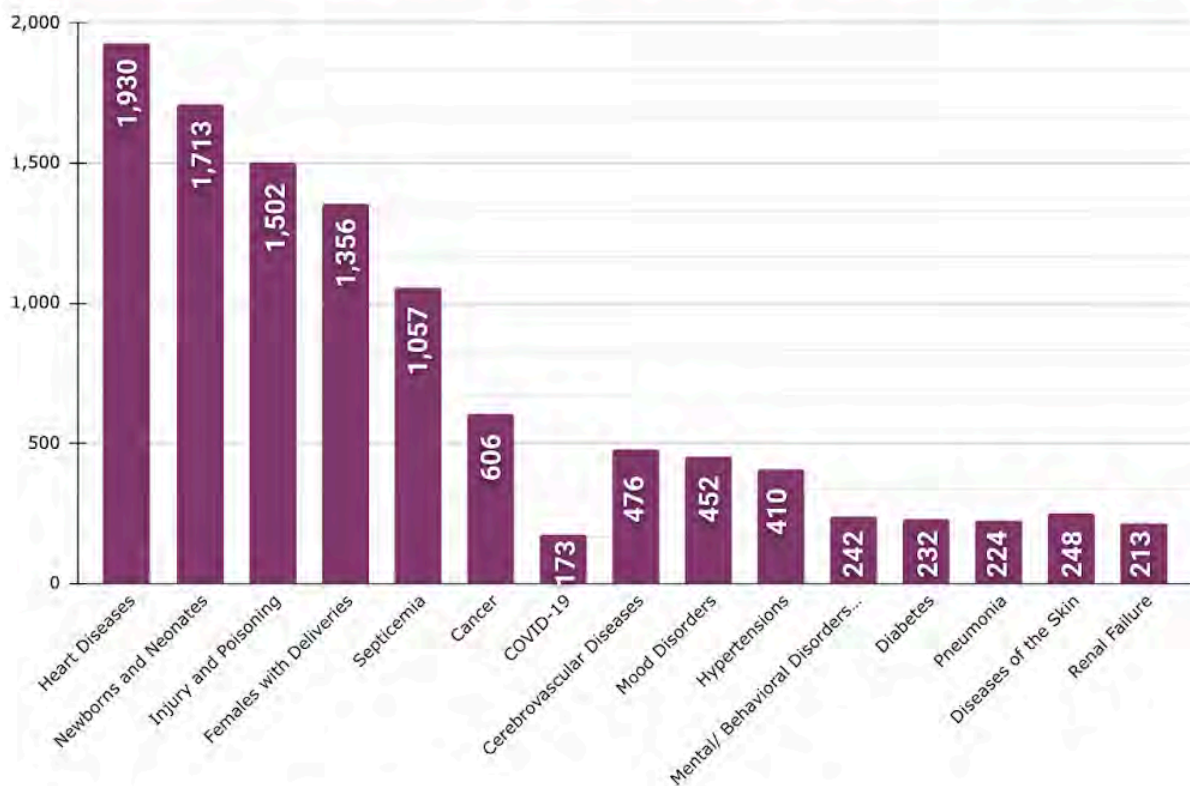
**Livingston County**  
80.8 years

**Michigan**  
75.8 years

**United States**  
77.4 years

### Leading Diagnoses for Hospitalizations

Livingston County Top Causes for Hospitalizations (Averages 2017-2021)



Source: Livingston County Health Department

According to the *Livingston County Top Causes for Hospitalizations (Averages 2017-2021)* chart on the page above, the top causes for hospitalizations reflect a range of acute, chronic, and behavioral health conditions. Heart disease remains the most common reason for hospital admission, with an average of 1,930 cases between 2017 and 2022. Closely following are hospitalizations related to newborn care, with 1,713 admissions, and injury poisoning, which accounted for 1,502 cases. Other prominent reasons for hospitalization include septicemia (1,057), cancer (606), COVID-19 (173), cerebrovascular diseases (476), mood disorders (452), hypertension (410), mental and behavioral disorders (242), diabetes (232), pneumonia (224), skin diseases (248), and renal failure (213).

### Disabled Population

Livingston County  
Disabled Population  
Under 65 (2023)

7.4%

According to the U.S. Census Bureau, between 2019 and 2023, approximately 7.4% of Livingston County residents under the age of 65 were identified as having a disability. This figure highlights the importance of ensuring that public spaces, healthcare services, transportation systems, and community programs are accessible and inclusive for individuals with disabilities, particularly as the county plans for long-term population health and aging-in-place strategies.

### Substance Use Trends and Resources

Substance use, particularly involving opioids, alcohol, and tobacco, remains a pressing public health concern in Livingston County. While access to treatment is relatively high, overdose rates, alcohol-related harm, and drug-related hospitalizations reveal ongoing challenges that require sustained attention and investment.

#### Opioid Use and Overdose Trends:

Opioid use continues to be a significant driver of substance-related harm in Livingston County. From 2020 to 2023, the Livingston County Human Services Collaborative Body recorded 99 fatal overdoses, with an average age of 44 years old. 70% of these deaths were male, while the remaining 30% were female. Between July 2022 and June 2023, there were 568 opioid-related poisonings, with a slightly older average age of 48. In contrast to fatal overdoses, 60% of nonfatal opioid poisonings were among women, while 40% were men. The most common substances contributing to overdoses during this period included fentanyl, cocaine, heroin, and alcohol.

#### Alcohol/Tobacco Use and Related Harms:

Alcohol misuse is another major concern in Livingston County. As of 2022, 23% of adults reported binge or heavy drinking, and 34% of all motor vehicle crashes in the county between 2018 and 2022 involved alcohol. Both of these occur at rates higher than state and national averages.



Tobacco use also contributes to chronic health issues across the county. 14% of Livingston County adults are current cigarette smokers as of 2022. While slightly below the state average, smoking rates remain a concern for long-term public health outcomes.

### Substance Use Vulnerability Profile

According to the Michigan Substance Use Vulnerability Index (MI-SUVI), Livingston County demonstrates a mixed landscape of risk. Risk indicators include:

- Fatal Overdose Rate (2018-2022): 18.1 per 100,000 residents
- Nonfatal Overdose Emergency Visit Rate (2020-2022): 152.0 per 100,000
- Opioid Prescription Unit Rate (2022): 22,556.2 per 1,000 residents
- Drug-Related Arrest Rate (2022): 49.4 per 100,000 residents
- Buprenorphine Prescription Rate (2022): 2,726.9 per 1,000 residents

### Access Indicators:

- 99.8% of the population is within a 30-minute drive of a substance use treatment center
- Only 1.1% of the population is within a 15-minute drive of a syringe service

Livingston County's overall Substance Use Vulnerability Index Score is a -2.6, the lowest in the state, indicating a relatively low social vulnerability overall. However, while geographic access to treatment is strong, the elevated overdose and prescribing rates highlight a need for harm reduction infrastructure.

### Treatment, Recovery, and Harm Reduction Resources:

Livingston County offers a broad range of substance use prevention, treatment, and recovery supports:

- Free Naloxone (Narcan) Access Points: CMH machine, Stepping Stones Engagement Center
- Treatment Centers: Key Development Center, Ascension Brighton Center for Recovery
- Support & Recovery Networks: RAIL, SMART Recovery, AA, NA, Celebrate Recovery
- Sober Living: Home of New Vision, Dawn Inc., RAIL Recovery House

The Michigan Substance Use Vulnerability Index (MI-SUVI) helps counties target opioid and substance use interventions by combining data on access to care, social vulnerability, and substance use burden.

*Livingston County's MI-SUVI Score:*

**-2.6**

This is the lowest vulnerability score in the state.

This score indicates that Livingston County has strong access to services and a relatively low social risk to substance abuse.

Continued investment in harm reduction remains key.

## Mental Health

### Frequent Mental Distress

18% of Livingston County adults report 14+ poor mental health days per month

### Loneliness

33% of Livingston County residents experience feelings of loneliness

### Suicide Rate

15 per 100,000 Livingston County residents commit suicide. This rate is higher than state and national averages

Mental health also continues to be a critical concern in Livingston County, reflecting both local and national trends. Rates of frequent mental distress (defined as 14 or more days of poor mental health in the past month) stand at 18%, which is on par with the Michigan average and slightly higher than the national rate of 16%. Feelings of loneliness are also prevalent, with one-third of residents (33%) experiencing loneliness.

Alarming, the county's suicide rate is 15 deaths per 100,000 people and continuing to rise, exceeding both the Michigan and U.S. rates of 14. Overall, the 2025 mortality rate due to mental and behavioral disorders is estimated at 16.8 per 100,000, indicating ongoing challenges with untreated or poorly managed mental health concerns.

Despite these needs, access to care is somewhat limited. Livingston County has one mental health provider for every 410 residents, significantly fewer than Michigan's average of 280:1 and the national average of 300:1. This shortage of providers may contribute to unmet mental health needs and prolonged distress for those seeking care.

## Women's/ Maternal Health

Women's and maternal health in Livingston County reflects both strengths and gaps in care access, with a need for expanded services and support infrastructure as the county continues to grow. One of the most notable gaps is the absence of a dedicated birthing center within the county, which can pose challenges for expectant mothers.

According to the Livingston County Health Department, in 2023, there were 1,703 live births in Livingston County. Of these, 1,465 mothers (86%) began prenatal care in the first trimester, which is a positive indicator of early engagement with maternal health services. The presence of 18 births to teenage mothers in 2023 highlights the need for continued education and supportive resources.

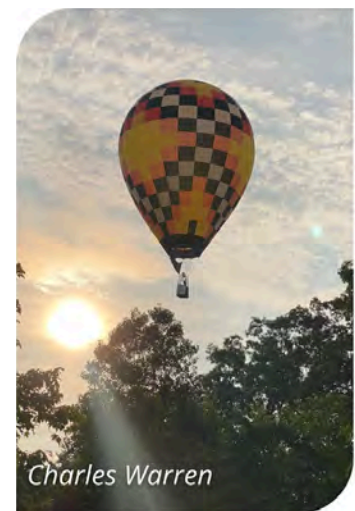
In terms of preventive care, Livingston County performs slightly above average on breast cancer screening. As of the latest data, 48% of eligible women received mammography screenings, compared to 47% statewide and 44% nationally. Continued efforts to improve screening rates and access to preventive care remain essential.

## Senior Health Care

Livingston County's population is aging, making it increasingly important to address the health and wellness needs of older adults. As of 2022, approximately 19.8% of the county's residents were aged 65 and older, up from 12.1% in 2010.

This growing senior population underscores a need for enhanced healthcare services tailored to older adults, including preventive care, chronic disease management, and accessible healthcare facilities. Currently, numerous organizations exist within the county to assist with senior nutrition, transportation, and healthcare:

- Livingston Leadership Council on Aging
- LETs Public Transportation
- Livingston County Senior Nutrition/ Meals on Wheels Livingston County
- Michigan Department of Health and Human Services - Livingston County
- Brighton, Howell, Fowlerville, Hamburg Township, Putnam Township, & Unadilla Township Senior Centers
- Hartland Senior Activity Center
- Oakland Livingston Human Service Agency (OLHSA)
- Area Agency on Aging 1-B
- Livingston County Veteran Services



## Ratio of Health Providers per Person

Livingston County's health provider to resident ratio is far less than that of the state and country.

Livingston County  
2,030:1

Michigan  
1,280:1

United States  
1,330:1

Access to primary care is a key indicator of community health, yet Livingston County faces a significant shortage of providers relative to its population. As of the most recent data, the county has one primary care physician for every 2,030 residents– a ratio far higher than both the Michigan average of 1,280:1 and the national average 1,330:1.

This gap in provider availability may lead to longer wait times and challenges in managing chronic conditions, particularly as the county's population continues to grow and age. Addressing this disparity will be essential to ensuring comprehensive healthcare access for residents.

## Health Infrastructure

Livingston County's healthcare infrastructure serves a variety of residents' needs. The *Livingston County Health Infrastructure* map on the following page highlights the county's network of facilities. The medical facilities listed on this map include:

1: Henry Ford Health Brighton Center for Recovery  
12851 E Grand River, 48116

2: Trinity Health Livingston Hospital  
620 Byron Rd, 48843

3: Abigail Hospice, LLC  
2790 W. Grand River, 48843

4: Brighton Dialysis  
7960 W Grand River, 48114

5: Community Hospice Care, LLC  
10299 E Grand River, 48116

6: Compassionate Hospice Care, LLC  
10524 E Grand River, 48116

7: Fresenius Medical Care Brighton  
5757 Whitmore Lake Rd, 48116

8: Willowbrook Rehabilitation Service  
7200 Challis Rd, 48116

9: Caretel Inns of Brighton  
1014 E Grand River Ave, 48116

10: Medilodge of Howell  
1333 W Grand River Ave, 48843

11: Medilodge of Livingston  
3003 W Grand River Ave, 48843

12: The Willows at Howell  
1500 Byron Rd, 48855

13: Wellbridge of Brighton  
2200 Dorr Rd, 48843

14: Wellbridge of Pinckney  
664 S Howell St, 48169

15: Advanced Counseling Services PC  
7600 W Grand river, 48114

16: Ascension Brighton Center for Recovery  
12851 E Grand River, 48116

17: Brighton Center Inc  
2512 Harte Dr, 48114

18: Complete Counseling Center Inc.  
794 W Grand River Ave, 48116

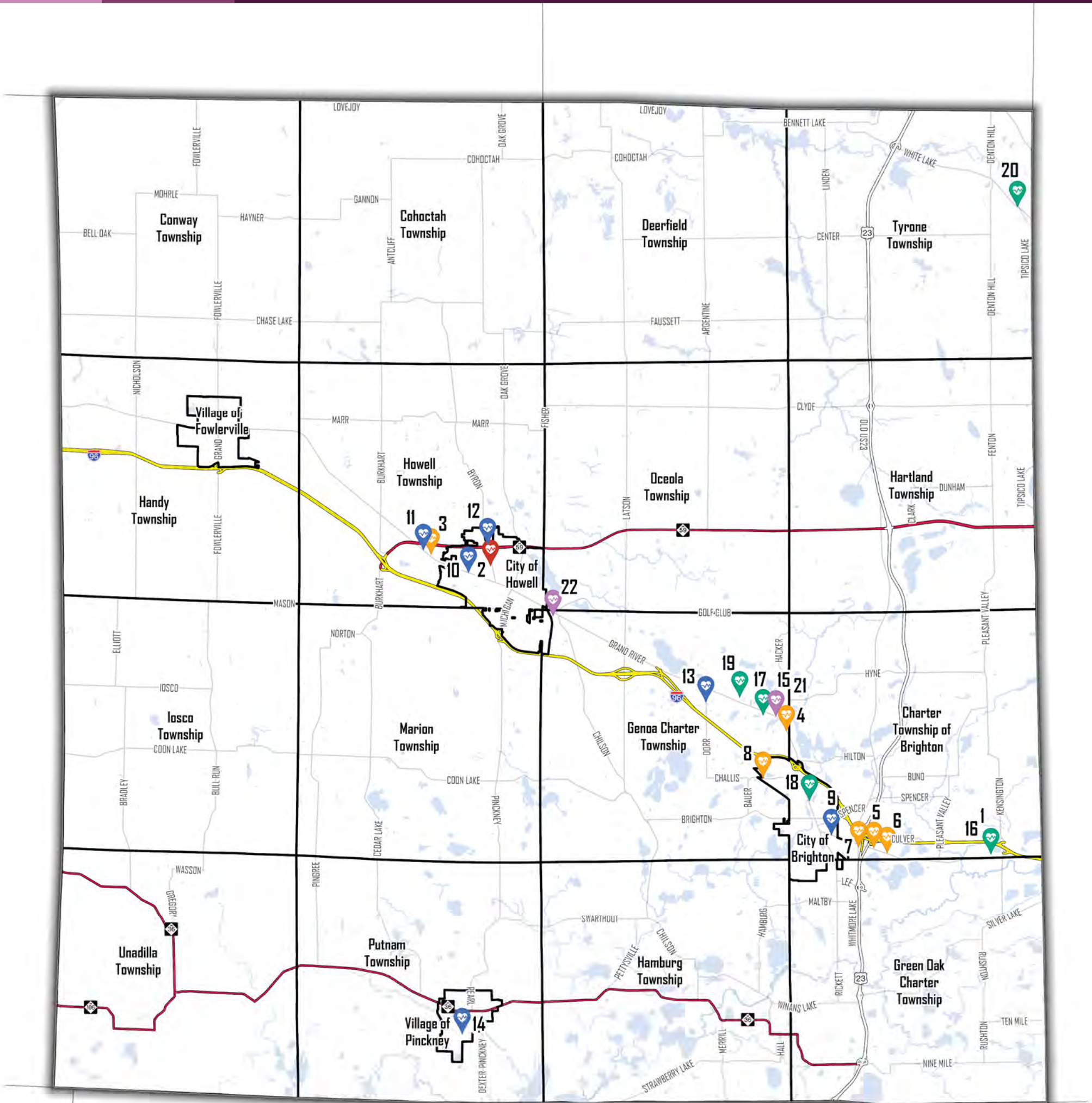
19: Key Development Center  
2060 Grand River Ave, 48114

20: Liberty House Recovery Center  
13520 White Lake Rd, 48430

21: Advanced Counseling Services PC  
7600 W Grand River, 48114

22: Community Health Services  
22800 E Grand River, 48843





Map ID	Facility Name	Address
1	Henry Ford Health Brighton Center For Recovery	12851 E Grand River, 48116
2	Trinity Health Livingston Hospital	620 Byron Rd, 48843
3	Abigail Hospice, LLC	2790 W Grand River, 48843
4	Brighton Dialysis	7960 W Grand River, 48114
5	Community Hospice Care, LLC	10299 E Grand River, 48116
6	Compassionate Hospice Care, LLC	10524 E Grand River, 48116
7	Fresenius Medical Care Brighton	5757 Whitmore Lake Rd, 48116
8	Willowbrook Rehabilitation Service	7200 Challis Rd, 48116
9	Caretel Inns Of Brighton	1014 E Grand River Ave, 48116
10	Medilodge Of Howell	1333 W Grand River Ave, 48843
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Map ID	Facility Name	Address
12	The Willows At Howell	1500 Byron Rd, 48855
13	Wellbridge Of Brighton	2200 Dorr Rd, 48843
14	Wellbridge Of Pinckney	664 S Howell St, 48169
15	Advanced Counseling Services PC	7600 W Grand River, 48114
16	Ascension Brighton Center For Recovery	12851 E Grand River, 48116
17	Brighton Center Inc	2512 Harte Dr, 48114
18	Complete Counseling Center Inc	794 W Grand River Ave, 48116
19	Key Development Center	2060 Grand River Anx, 48114
20	Liberty House Recovery Center	13520 White Lake Rd, 48430
21	Advanced Counseling Services PC	7600 W Grand River, 48114
22	Community Mental Health Services	2280 E Grand River, 48843

- Hospitals
- Nursing Facility
- Other Health Facility
- Drug & Alcohol Treatment Facility
- Mental Health Facility



# Livingston County Health Facilities





## Social Determinants of Health

The social determinants of health are the conditions in which people live, work and age– playing a significant role in shaping health outcomes. In Livingston County, key indicators related to transportation, housing, environment, physical activity, and food access reflect both strengths and areas for continued attention.

### Health Transportation and Built Environment:

Access to safe, reliable transportation is a fundamental enabler of health equity, influencing everything from medical appointment attendance to access to healthy food and social engagement. While Livingston County is largely car-dependent, services exist to grant individuals the opportunity to meet their health needs through public transportation (e.g. LETs). Strategic planning for aging-friendly and low-income transportation options will be critical to reducing geographic barriers to care and wellness resources.

### Physical Activity and Green Space:

Livingston County performs slightly better than state and national averages in promoting active lifestyles. According to the County Health Rankings,

- 87% of residents have access to exercise opportunities
- 19% of adults reported no physical activity outside of work, compared to 23% at the state and national levels

The county's expansive green space network also provides critical infrastructure that is proven to reduce risks of poor physical and mental health.

### Food Security and Nutrition:

Livingston County scores well on the Food Environment Index, which measures access to healthy foods and income-related food insecurity. Livingston County's score is 8.9, while Michigan scores at 7.1 and the United States at 7.4. Despite this strong performance, pockets of food insecurity persist, particularly among ALICE (Asset Limited, Income Constrained, Employed) households who may earn above poverty thresholds but still struggle to meet basic needs. Approximately 1 in 13 Livingston County residents lack access to affordable, nutritious, geographically-near foods. Access to such food is a critical driver of public health, as nutrient-dense diets are directly linked to lower rates of disease. More information on Livingston County's food security can be found in the [Livingston County, Michigan: 2025 Sustainable Agriculture, Food Systems, & Rural Environments Plan](#).



Livingston County Planning



Livingston County Planning



Livingston County Planning



Livingston County Planning

### Environmental Health

Air and water quality affect an individual's environmental exposures, which often have significant impacts on physical health. Air quality within Livingston County is a particular concern, as levels are above state and national averages. According to the County Health Rankings, the average air pollution in Livingston County ranks at a score of 8.6, while Michigan scores at 6.7, and the U.S. at 7.3.

### Housing and Radon Exposure

Stable, safe housing is a critical health determinant. According to the County Health Rankings, In Livingston County, 9% of households experience severe housing problems (e.g., overcrowding, high cost burden, or inadequate facilities). While this is notably better than Michigan's 13% and the U.S. average of 17%, housing issues can have significant negative impacts on an individual's physical and mental well-being.

Additionally, radon exposure is another concern, particularly given the county's rural character. In older or less-ventilated homes, radon should be monitored as part of broader housing health initiatives as it is a leading cause of numerous cancerous diseases. Areas most affected with radon can be seen on the *Estimated Radon Levels in Livingston County* map on the following page.

### Education & Income:

Livingston County reports the highest levels of both educational attainment and household income in Michigan— factors that are strongly associated with improved health outcomes, longer life expectancy, and greater access to care.

### Statewide Social Determinants of Health Rank: 83 of 83

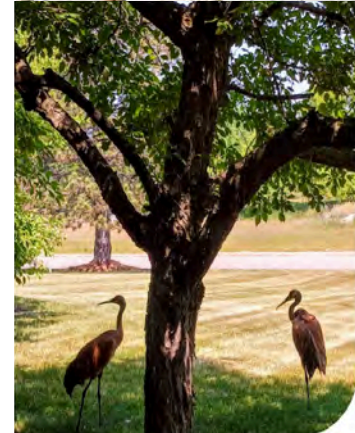
Livingston County ranks last in the state in terms of social vulnerability, meaning it has the lowest level of risk based on social determinants such as income, education, employment, housing, and food access. To maintain this position, it is vital that active steps are taken to preserve equitable access to these foundational resources, address emerging disparities, and ensure that all residents—regardless of income or geography—can benefit from the county's strong social infrastructure.



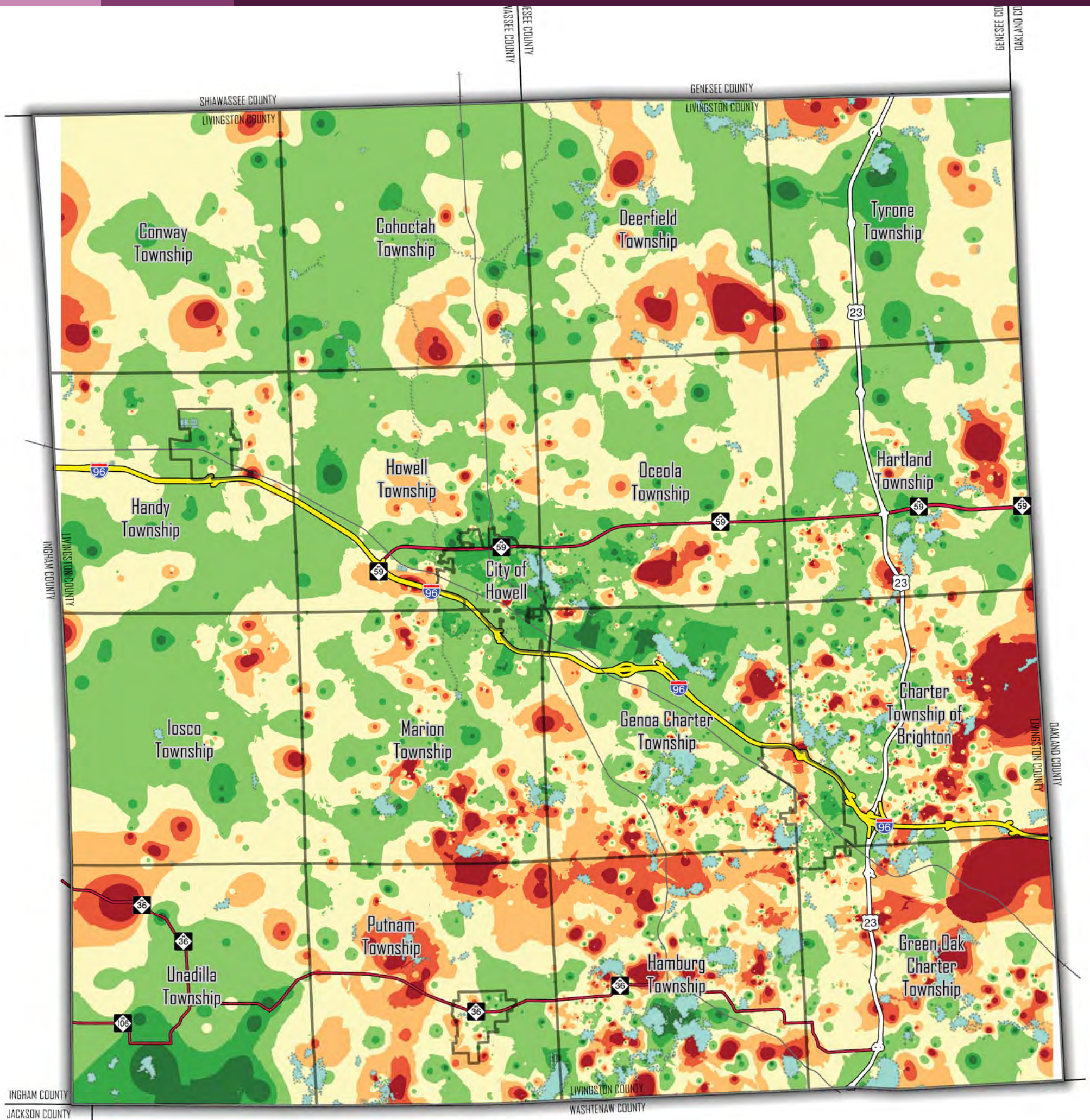
Livingston County Planning



Livingston County Planning





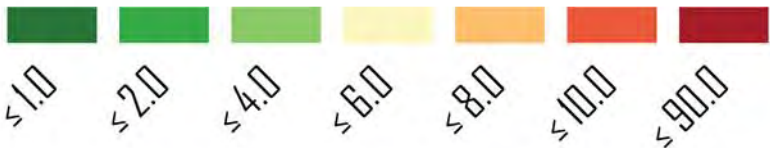


\*This map depicts estimated levels of radon in Livingston County. Results from the homes tested using Livingston County Health Department (LCHD) radon test kits, produced this map. Therefore, this map is not actual representation of radon levels for all homes in Livingston County. For example, green areas do not ensure safe radon levels. LCHD recommends that all homes are tested to determine the radon level. The US. Environmental Protection Agency (EPA) recommends a radon mitigation system to be installed in homes with radon levels > 4 pCi/L.

For questions, call LCHD 517-546-9858.

Printed: August 14, 2025

RadonLevel  
pCi/L



# Livingston County

## \*Estimated Radon Levels





# Health and Wellness: Feedback & Current Trends

## Feedback

Rate the Importance of the

**#1** Business Categories  
**Healthcare**

According to the Community Health Needs Assessment conducted by Trinity Health the top three health related needs in Livingston County included:

1. Mental Health
2. Food and Nutrition security
3. Access to Services (emphasis on transportation)



*"Need more community centers for mental health and well being."*



*-Survey Respondent*

*"We do not find many options in Brighton for community activities for adults and families. HAPRA [Howell Area Park and Recreation Authority] offers many more options. We choose to participate in HAPRA and would really like to see Brighton and all of Livingston County join HAPRA."*

*-Survey Respondent*



## Current Trends

### Health in All Policies (HiAP)

HiAP is a cross-sector approach that integrates health considerations into all areas of planning (transportation, land use, housing, etc.) to improve community well-being.

### Active Design & Walkability

Planners are designing communities that encourage physical activity through complete streets, connected sidewalks, bike lanes, parks, and access to recreational facilities.

### Mental Health Integration

Communities are incorporating mental health access into community planning by supporting decentralized care centers, telehealth infrastructure, green spaces, and social connection strategies.

### Transportation as a Health Tool

Many recognize transportation access as a determinant of health, and are investing in non-motorized trails, senior shuttles, and other transit options to health services and community life.

### Food Access Planning

Communities are prioritizing access to healthy food through support for local agriculture, mobile markets, grocery store initiatives, and land use policies that prevent food deserts.

## Health & Wellness: Goals & Objectives

### Goal #1: Support Healthy, Age-Friendly Communities

Promote planning and development practices that create inclusive, accessible environments for residents of all ages and abilities.

*Objective:* Encourage the adoption of land use and zoning policies that support aging in place, such as walkable neighborhoods and senior-friendly housing types.

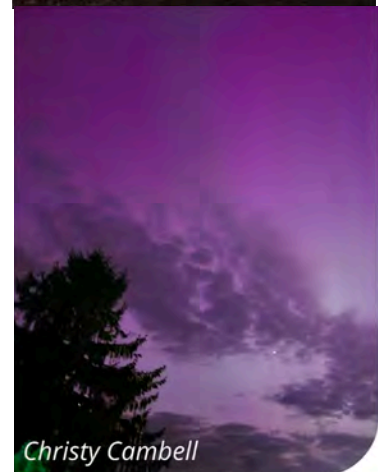
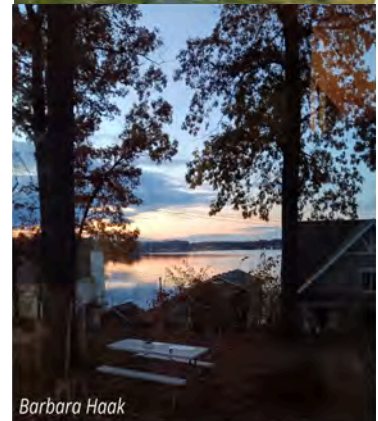
*Objective:* Promote the inclusion of accessibility, universal design, and proximity to healthcare, recreation, and social services in local master plans.

### Goal #2: Promote Access to Mental Health, Substance Use, and Preventive Health Services

Work to reduce geographic and regulatory barriers to care and encourage expanded access to critical health services.

*Objective:* Identify and map areas with limited access to behavioral health services and collaborate with partners to prioritize these areas for siting facilities or transportation access improvements.

*Objective:* Encourage townships to allow flexible siting of mental/behavioral health and substance use facilities with zoning ordinances to reduce social and geographic barriers to care.



## Health & Wellness: Goals & Objectives

### Goal #3: Integrate Social Determinants of Health into Planning Initiatives

Address key social factors such as housing, transportation, recreation, and food access, that influence health outcomes and community-well-being.

*Objective:* Provide data and planning support to townships on health-related indicators such as food access, housing cost burden, radon exposure, and transportation gaps to inform master plan updates.

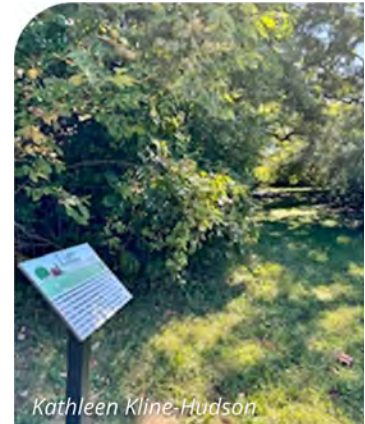
*Objective:* Advocate for land use decisions that co-locate housing, transportation, and public services.

### Goal #4: Preserve the Environmental and Built Conditions that Contribute to Long-Term Community Health

Support land use and infrastructure decisions that protect natural systems, promote physical activity, and sustain the environmental conditions that underlie public health.

*Objective:* Encourage the preservation and restoration of parks, trails, greenways, and open space to support active lifestyles and reduce environmental health risks.

*Objective:* Provide planning resources to help local governments assess and mitigate environmental hazards such as flooding, extreme heat, and poor air quality.





# HOUSING



# Livingston County: Housing

## Snapshot

### Steady Growth in Housing Supply

Livingston County added nearly 6,000 new housing units from 2010 to 2021, with most growth in single-family homes and a notable rise in multi-family units.

### Strong Homeownership, Limited Rental Options

Owner-occupied homes account for 86% of all households in Livingston County, reflecting high homeownership rates, but also a limited supply of rental housing.

### Widening Affordability Gaps

Despite rising incomes, the median home price reached \$368,720 in 2023; pricing out many first-time buyers and lower-income households.

### Cost Burdens Across Incomes

Nearly 1 in 3 renters and 1 in 6 homeowners spend over 30% of their income on housing; seniors and households under \$50,000 are especially affected.

Housing in Livingston County has experienced steady growth and gradual diversification over the past decade. While most new construction has concentrated in single-family homes, multifamily housing has grown at a faster rate, reflecting a modest shift toward more diverse housing types. As the county continues to attract new residents and families, the overall housing stock remains dominated by larger, owner-occupied single-family homes, with limited rental and attached housing options available.

Additionally, affordability has emerged as a growing concern across the county. Median home values have steadily grown while significantly outpacing income growth for many residents. A high percentage of both renters and owners are considered cost-burdened, making it essential to ensure a range of housing options that meet the needs of residents across all income levels, household types, and life stages.



## Housing Types

As the U.S. Census data in the *Livingston County Housing Types* table below indicates, the number of single-family units increased by 3,767 units between 2010 and 2021 (6.0% increase). Over the same period, the number of multifamily units increased by 1,663 units (14.4% increase). Lastly, the number of mobile homes decreased by 132 units over this period. This decrease can most likely be attributed to units being left in disrepair, leading to their subsequent removal or demolition.

Overall, the cumulative total units consisting of all three housing types increased by 5,928 units over the eleven year period (6.8% increase). The data indicates that there were also 221 units demolished over the period.

### Single-Family Housing 2010-2021

+6.0%

### Multi-Family Housing 2010-2021

+14.4%

### Mobile Homes 2010-2021

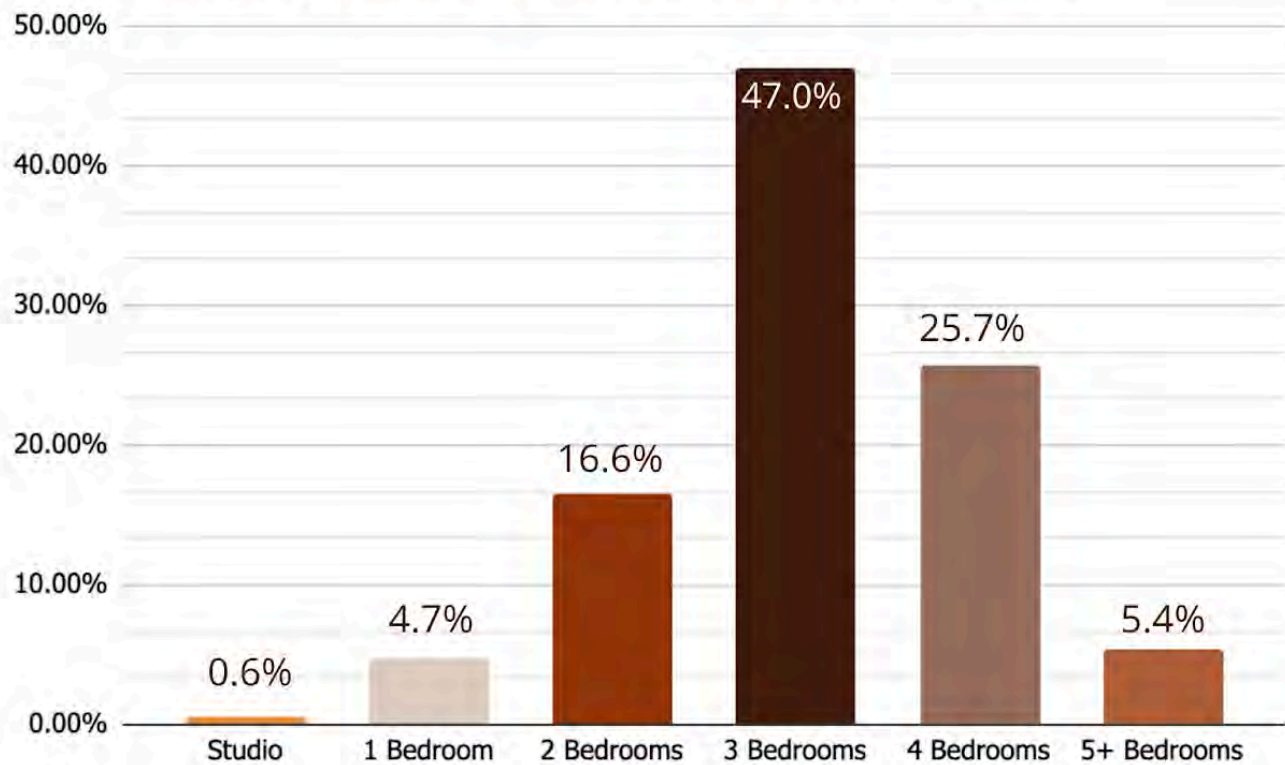
-3.0%

Livingston County Housing Types				
Housing Type	American Community Survey 2010	American Community Survey 2021	Change 2010-2021	New Units Permitted Since 2019
<u>Single Unit</u>	58,322	62,089	3,767	2,482
<u>Multi-Unit</u>	9,899	11,562	1,663	1,566
<u>Mobile Homes or Other</u>	4,330	4,198	-132	0
<u>Total</u>	72,551	77,849	5,298	4,048
<u>Units Demolished</u>	-	-	-	-221
<u>Net (Total Permitted Units - Units Demolished)</u>	-	-	-	3,827

Source: U.S. Census Bureau, 2006-2010 and 2017-2021 American Community Survey 5-Year Estimates, SEMCOG Development

## Homes by Size

## Livingston County Homes by Number of Bedrooms (2023)



Source: American Community Survey (ACS), US Census Bureau

1,895 sq. ft.

Livingston County Median  
Home Square Footage

The *Livingston County Homes by Number of Bedrooms (2023)* chart above shows the share of Livingston County homes according to the number of bedrooms in each home. As shown in the graph, most homes in the county have three bedrooms (47%). Approximately a quarter of homes have four bedrooms, while 16% have two.

Additionally, as of 2025, the median square footage of Livingston County homes is approximately 1,895 square feet. This figure reflects the county's predominance of single-family housing and larger household sizes, and it aligns with regional development patterns that favor spacious residential lots.

## Building Permits

Livingston County Building Permits							
Year	Single-Family	Two-Family	Attach Condo	Multi-Family	Total Units	Total Demos	Net Total
2000	1,726	4	154	164	2,048	41	2,007
2001	1,488	0	190	292	1,970	59	1,911
2002	1,390	10	341	322	2,063	60	2,003
2003	1,462	10	309	174	1,955	67	1,888
2004	1,667	22	335	64	2,088	83	2,005
2005	1,123	10	377	16	1,526	79	1,447
2006	542	14	79	0	635	59	576
2007	263	2	81	20	366	51	315
2008	153	0	38	0	191	35	156
2009	74	4	4	0	82	33	49
2010	109	0	10	48	369	9	137
2011	164	0	8	0	172	11	161
2012	304	0	17	48	369	9	360
2013	609	0	36	47	692	23	669
2014	524	0	94	145	763	28	735
2015	566	0	41	36	643	25	618
2016	603	0	45	0	648	46	602
2017	595	0	78	144	817	34	783
2018	590	0	87	84	761	48	713
2019	563	2	107	0	672	44	628
2020	503	0	86	86	675	60	615
2021	607	0	161	68	836	44	792
2022	533	0	161	68	836	44	1,111
2023	276	0	36	404	716	35	681
<u>Totals</u>	16,434	78	2,803	2,689	22,004	1,042	20,962

Source: SEMCOG Development

Note: Permit data for most recent years may be incomplete and is updated monthly.



The Southeast Michigan Council of Governments (SEMCOG) housing permit data in the table above provides a detailed look at construction trends across Livingston County from 2000 to 2023. Three distinct periods of housing development emerge during this timeframe, each reflecting broader economic conditions at the local, state, and national levels.

#### 2000–2005: Pre-Recession Housing Boom

Between 2000 and 2005, Livingston County experienced a significant surge in new housing construction. This six-year period saw the issuance of:

- 8,856 single-family housing permits,
- 1,032 multi-family permits,
- and 11,261 total units constructed.

This period was characterized by strong economic confidence, and high demand for new housing across Southeast Michigan.

#### 2006–2012: Housing Downturn During the Great Recession

The second distinct period coincides with the economic downturn that began in late 2006 and culminated in the 2008 financial crisis. As the national economy entered what would become the Great Recession, housing construction in Livingston County sharply declined. Over this seven-year period:

- Single-family construction dropped by 85%, totaling only 1,305 units (an average of 186 per year),
- Two-family construction plummeted by 98.8%, totaling just 20 units,
- Multi-family construction fell by 88.7%, totaling 116 units.

In total, only 1,441 housing units were constructed during this period—an 87% decline compared to the 2000–2005 boom. Michigan was among the hardest-hit states, entering a recession prior to the national collapse due to the struggling automotive industry. The state’s unemployment rate peaked at 15.3%, the highest in the country. Home values plummeted, household wealth declined, and construction nearly halted altogether.



### 2013–2023: Gradual Recovery and Post-COVID Trends

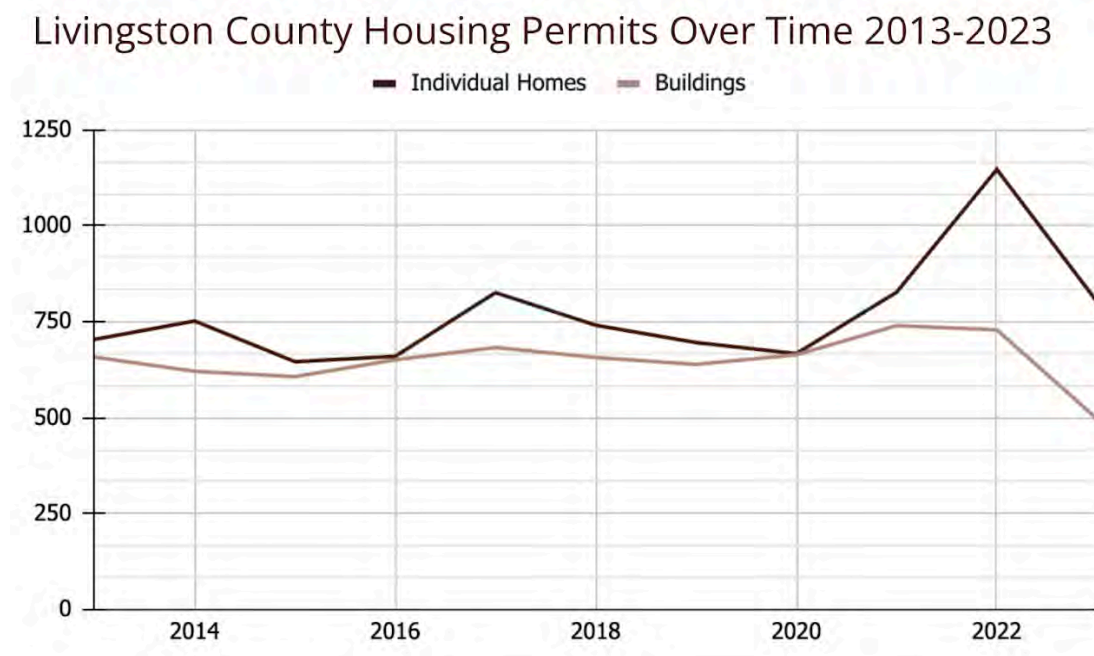
The third period reflects a recovery that began around 2013 and extended through 2023. As Michigan's economy rebounded with decreasing unemployment, increased workforce participation, and growth in construction trades, housing construction in Livingston County regained strength. Key characteristics of this period include:

- A rebound in single-family housing, with over 5,000 units built during this 11-year period.
- A resurgence in multi-family housing, with notable spikes in 2014, 2017, and especially 2023, when 404 multi-family units were permitted—more than any other year on record.
- Overall, the county issued roughly 8,000 new housing permits during this recovery phase.

It is worth noting that the onset of the COVID-19 pandemic in 2020 temporarily disrupted building trends. However, unlike the Great Recession, the economic downturn in 2020 was shorter-lived, and federal stimulus policies, combined with a housing demand surge contributed to a relatively rapid return to building activity.

### Long-Term Trends and Planning Implications

Between 2000 and 2023, Livingston County added more than 20,900 net new housing units. While single-family homes remain the dominant housing type, the increased permitting of multi-family units, particularly in the last five years, signals a shift toward greater housing diversity. This shift aligns with regional planning goals to support a broader range of housing options, including more compact and affordable alternatives suited to a changing population.



Source: American Community Survey (2023)

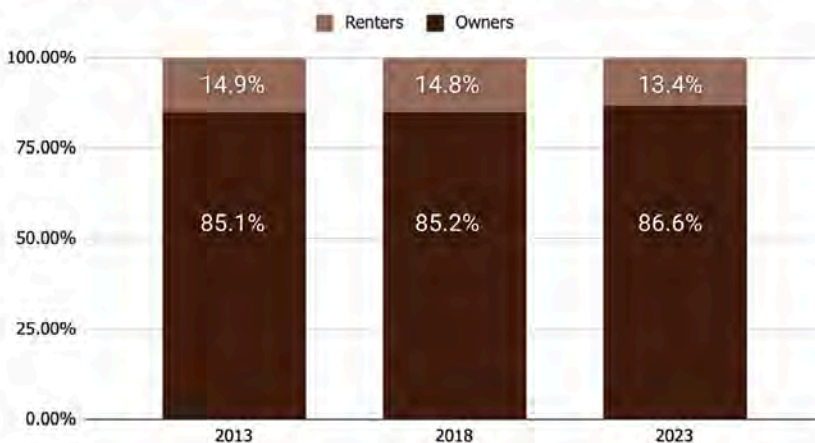
## Housing Tenure

Livingston County Housing Tenure				
Housing Tenure	Census 2010	American Community Survey 2021	Change 2010-2021	Percent Change
Owner-Occupied	57,503	63,254	5,571	10.0%
Renter-Occupied	9,877	10,670	793	8.0%
Vacant	5,429	3,925	-1,504	27.7%
Seasonal/ Migrant	1,799	1,523	-276	-15.3%
Other Vacant Units	3,630	2,402	-1,228	-33.8%
Total Housing Units	72,809	77,849	5,040	6.9%

Source: U.S. Census Bureau, 2006-2010 and 2017-2021 American Community Survey 5-Year Estimates

The *Livingston County Housing Tenure* chart above presents the proportions of owner-occupied, renter-occupied, and vacant housing units. Between 2010 and 2021, Livingston County experienced notable shifts in housing tenure. Owner-occupied units increased by 10%, reflecting a strong demand for homeownership, while renter-occupied units also grew modestly by 8%. During the same period, the overall housing stock expanded by nearly 7%. Vacancy rates declined significantly, with total vacant units dropping by 28%, driven largely by a 34% reduction in other vacant units and a 15% decrease in seasonal or migrant housing.

## Livingston County Share of Total Households by Tenure



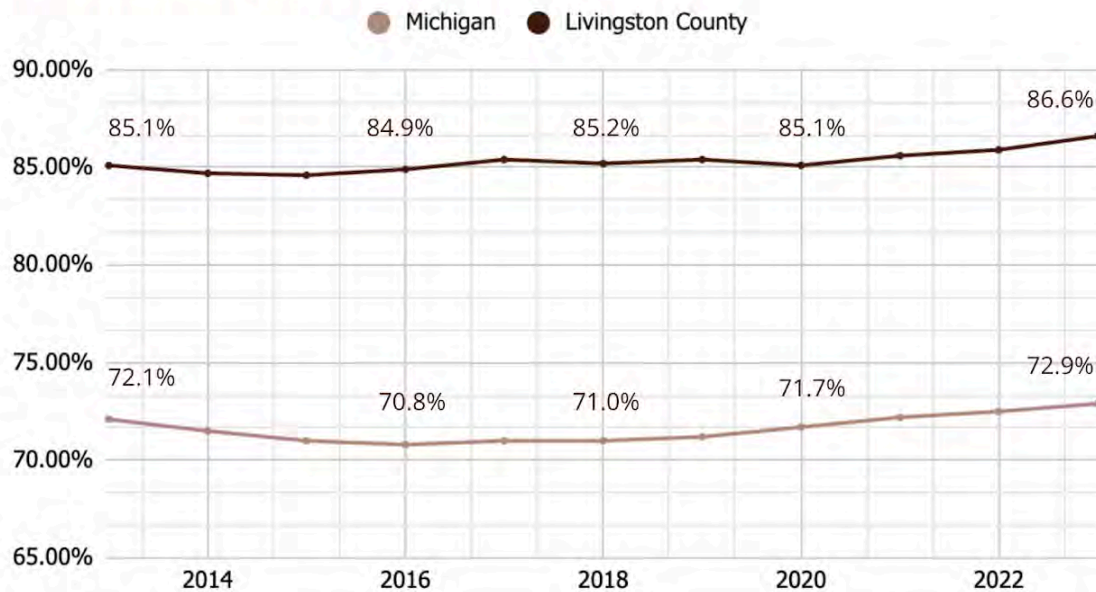
Source: American Community Survey (ACS), US Census Bureau

Additionally, the *Livingston County Share of Total Households by Tenure* graph at left shows the share of renters and owners over the last decade. As of 2023, 86.6% of Livingston County households owned their homes, while 13.4% rented. These shares have remained relatively steady since 2013, and suggest a tightening housing market with rising occupancy and continued growth in permanent residency.



## Homeownership Rate

Homeownership Rate Over Time (2013-2023)

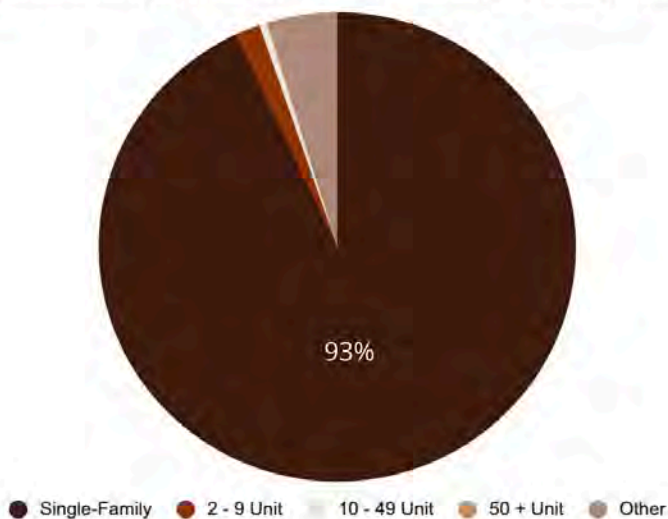


Source: American Community Survey (ACS), US Census Bureau

As the *Homeownership Rate Over Time (2013-2023)* chart above indicates, throughout the last decade, the Livingston County homeownership rate has slowly risen, currently falling at around 86.6%. This is far ahead of the homeownership rate for the state of Michigan, which is around 72.9%, reflecting the fact that Livingston County is a residential destination.

## Owned Homes by Building Typology

Livingston County Owned Homes by Building Typology (2023)

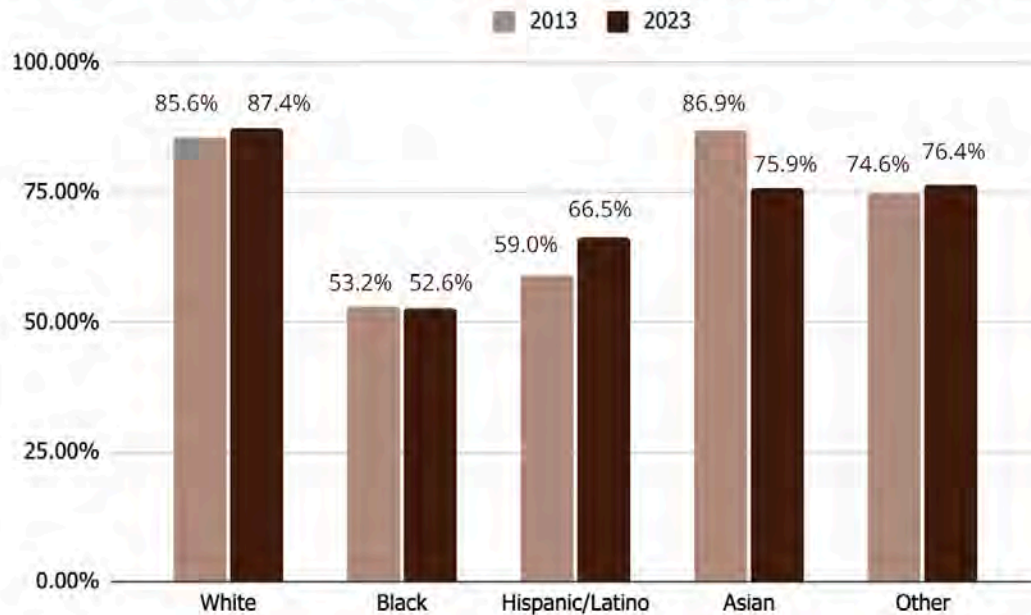


The majority of Livingston County households own their homes. Further, as seen in the *Livingston County Owned Homes by Building Typology (2023)* chart at left, 93% of owned homes in the county are single-family homes. The remaining 7% are composed of various scales of multi-family dwellings. This imbalance in ownership housing typologies reflects a limited range of options for residents seeking smaller, more affordable, or lower-maintenance homes.

Source: American Community Survey (ACS), US Census Bureau

## Homeownership Rate by Race/ Ethnicity

Livingston County Homeownership Rate by Race/ Ethnicity (2013-2023)



Source: American Community Survey (ACS), US Census Bureau

As shown in the *Livingston County Homeownership Rate by Race/ Ethnicity (2013-2023)* graph above, homeownership in Livingston County varies significantly by race and ethnicity. White residents had the highest homeownership rate at 87.4%, followed by residents identifying with two or more races at 76.4%, Asian residents at 75.9%, and Hispanic or Latino residents at 66.5%. In contrast, only 52.6% of Black residents owned homes.

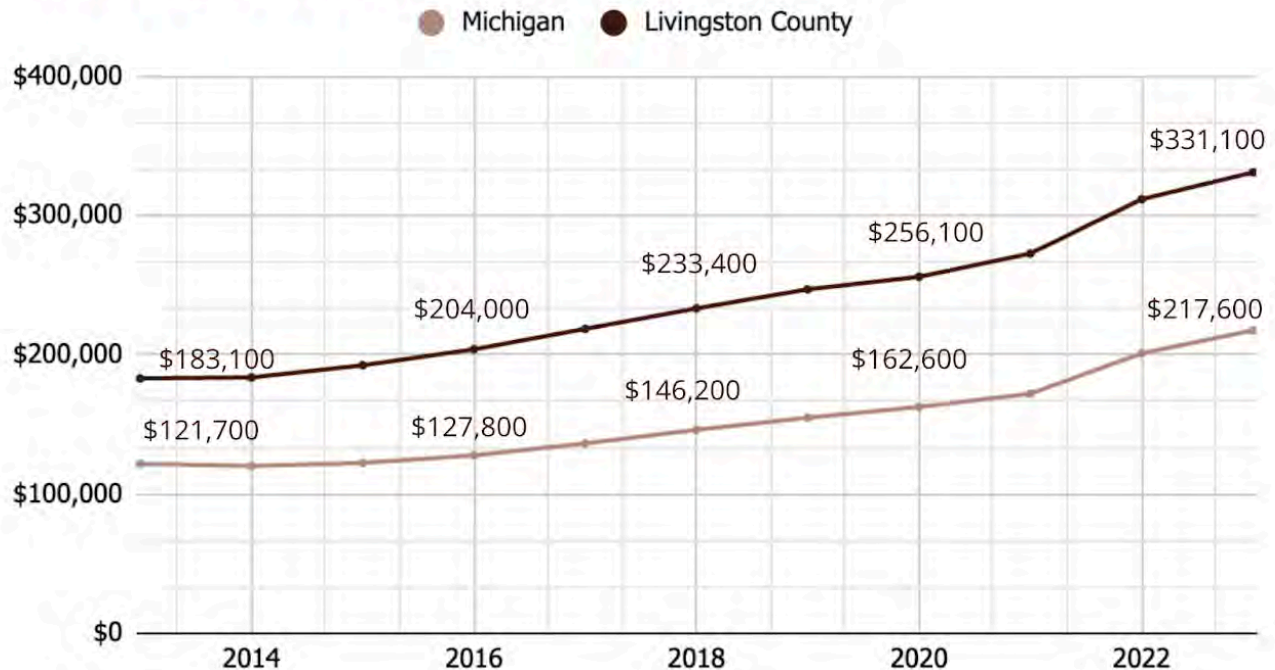
Over the past decade, homeownership trends have shifted unevenly across groups. Between 2013 and 2023:

- The white homeownership rate increased by 1.8%.
- The Black homeownership rate declined slightly by 0.6%.
- Hispanic/Latino homeownership rose by 7.5%.
- Asian homeownership declined by 11.0%.
- Homeownership among multiracial or other race residents increased by 1.8%.

It should be noted that values may not be accurate for smaller geographies or geographies with very few households of a specific race or ethnicity. White refers to non-Hispanic White heads of household only. Hispanic/Latino refers to those of any race whose ethnicity is Hispanic or Latino. All other groups include both Hispanic and non-Hispanic heads of household. Others include those whose race is American Indian or Alaska Native, Native Hawaiian or Pacific Islander, Some Other Race, and Two or More Races.

## Median Home Value

## Median Home Values Over Time (2013-2023)



Source: American Community Survey (ACS), US Census Bureau

Over the past decade, median home values have risen substantially across Michigan, with Livingston County experiencing one of the most pronounced increases in the state. As the *Median Home Values Over Time (2013-2023)* chart above shows, between 2013 and 2023, the median home value in Livingston County rose by \$148,000, compared to a statewide increase of \$95,900 during the same period. As of 2023, the median home value in Livingston County stands at \$331,100.

This rapid appreciation in home values has implications for affordability, particularly for first-time buyers and lower-income households. Rising costs have outpaced wage growth for many residents, potentially limiting access to homeownership and contributing to the growing need for diverse and attainable housing options. This trend emphasizes the importance of proactive planning to ensure that long-term residents and new households alike can access stable and affordable housing.

## \$331,100

Livingston County  
Median Home  
Value (2023)

## +80%

Since 2013

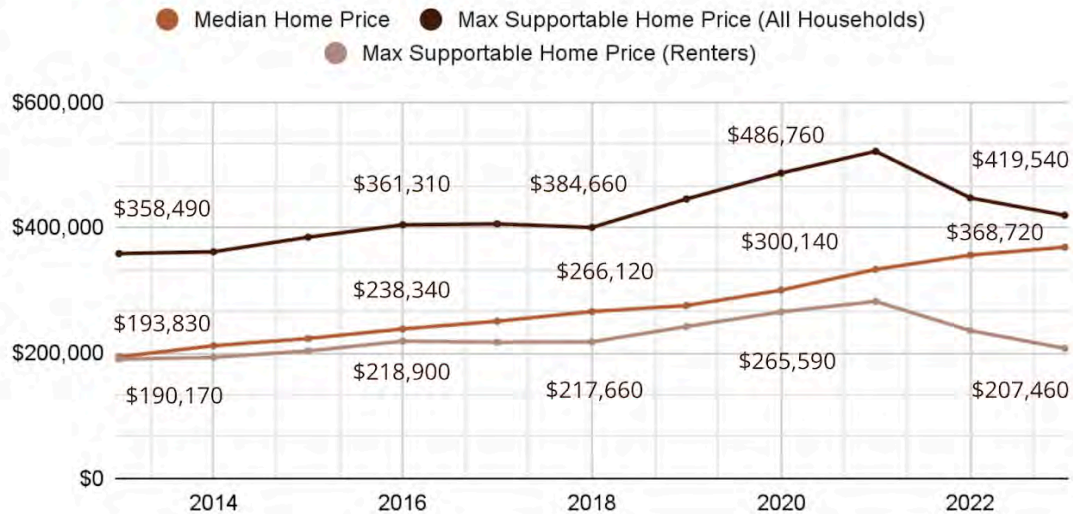
## +52%

Higher than  
Michigan Median  
Home Value



## Home Price Supportable at Median Income vs. Median Home Price

## Livingston County Home Price Supportable at Median Income vs. Median Home Price Over Time (2013-2023)



Source: American Community Survey (ACS), US Census Bureau

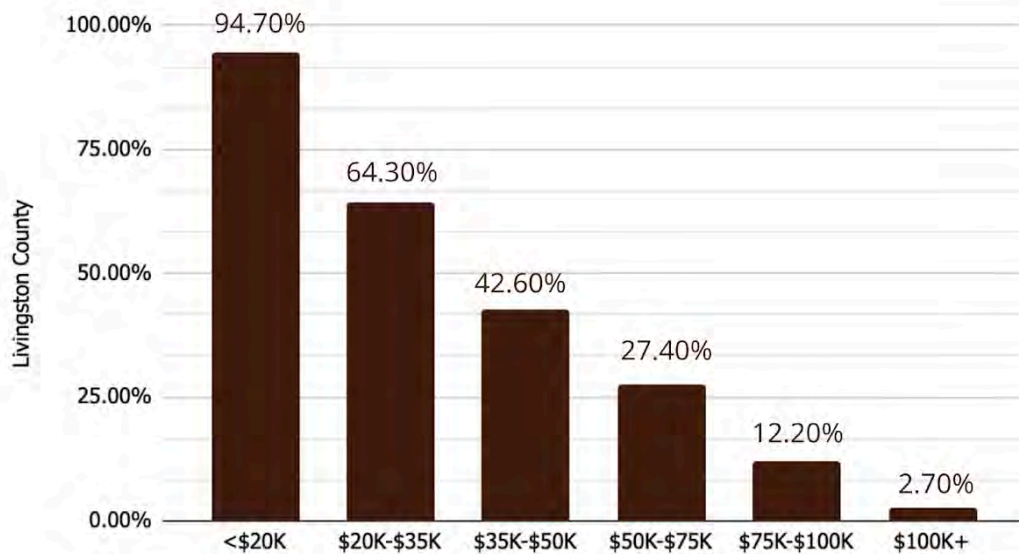
The *Livingston County Home Price Supportable at Median Income vs. Median Home Price Over Time (2013-2023)* chart above shows that over the past decade, Livingston County has experienced a significant increase in median home prices. By 2023, the price of homes increased by over 80% over ten years. This steep upward trend reflects a combination of high demand, constrained housing supply, and broader economic factors driving up real estate values across the region.

While overall household income growth initially kept pace with rising home prices, recent years have revealed a growing affordability gap. From 2013 to 2021, the maximum supportable home price for all households in Livingston County rose steadily from \$358,490 to \$521,530, due largely to rising incomes and historically low interest rates. However, between 2021 and 2023, this figure fell sharply to \$419,540. The maximum supportable home price represents the highest home price that a typical household can afford without becoming cost-burdened, based on factors such as median income, interest rates, and standard lending practices. A decline in this figure means that households can afford less expensive homes than they previously could (often due to rising mortgage rates or stagnant incomes) even as actual home prices continue to increase. This disconnect signals a growing challenge for residents trying to purchase homes within their financial means.

The data indicates a clear trend; that while Livingston County's housing market remains strong, homeownership is becoming increasingly inaccessible for many residents. Ensuring a diverse range of housing options (including entry-level homes, townhouses, and mixed-income developments) will be critical to preserving long-term affordability and economic inclusivity across the county.

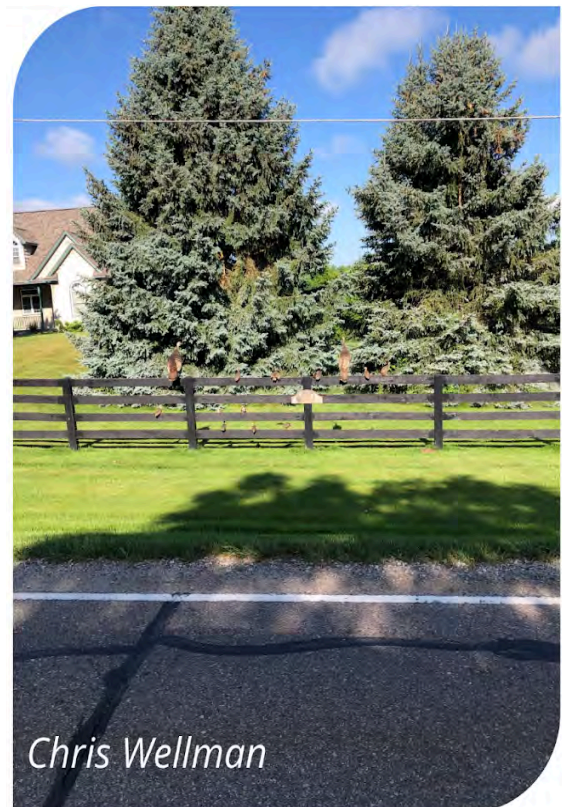
## Homeowner Cost Burden

Livingston County Owner Cost Burden Rate by Income (2023)



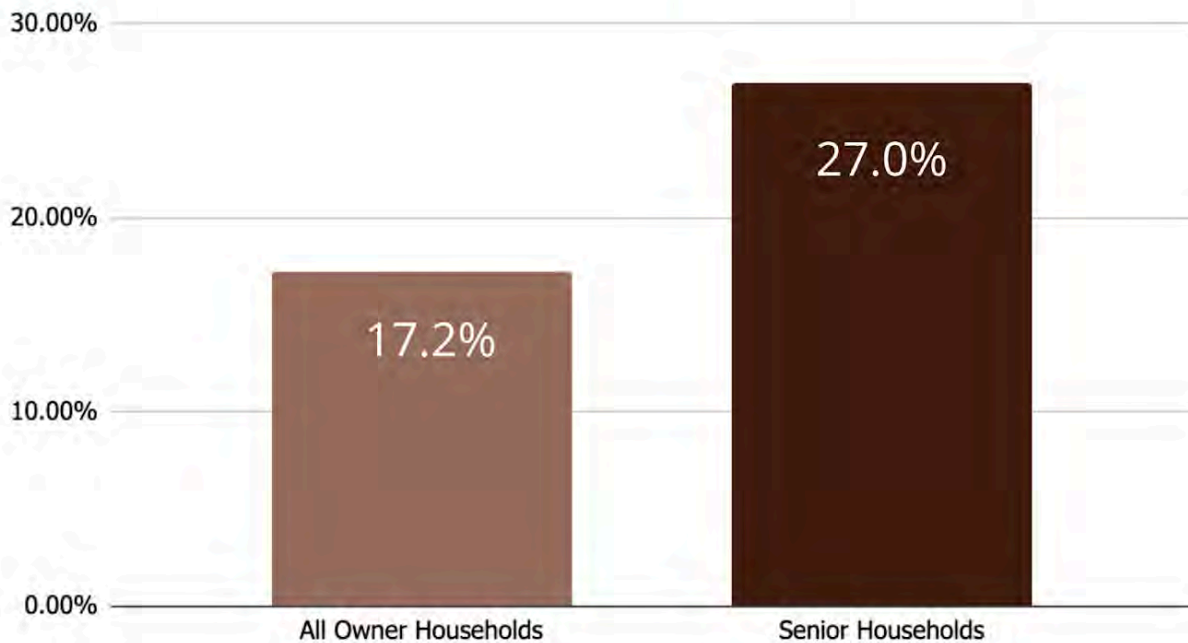
Source: American Community Survey (ACS), US Census Bureau

A person is cost burdened if they spend 30.0% or more of their annual income on housing expenses. These include mortgage payments, utilities, property taxes, and insurance. Accordingly, the *Livingston County Owner Cost Burden Rate by Income* chart above shows which income groups are most cost-burdened in the county. In 2023, 94.7% of residents who made under \$20,000 were cost burdened, as were 64.0% of residents who made between \$20,000 and \$35,000, and 42.6% of individuals who made between \$35,000 and \$50,000. Among the higher income groups, cost burdens were still prevalent, as 24.0% of those in the \$50,000 to \$75,000 income group were overburdened, as were 12.2% of those in the \$75,000 to \$100,000 group. This data reveals a striking need for housing options that are affordable across a broad range of income levels. While the most severe burdens are concentrated among lower-income households, many moderate- and middle-income homeowners are also experiencing cost pressures, therefore underscoring the growing mismatch between housing costs and household earnings.



## Senior Homeowners

## Livingston County Share of Senior Homeowners Who are Cost Burdened (2023)



Source: American Community Survey (ACS), US Census Bureau

Seniors (individuals aged 65 and older) in Livingston County are disproportionately affected by housing cost burdens. According to the *Livingston County Share of Senior Homeowners Who are Cost Burdened (2023)* chart above, 27.0% of senior homeowners are cost burdened, compared to 17.2% of all homeowners countywide. This indicates that older adults, many of whom live on fixed incomes, are significantly more likely to spend over 30.0% of their income on housing costs. These figures highlight the need for more affordable, accessible, and age-friendly housing options to help older residents age in place without financial hardship.

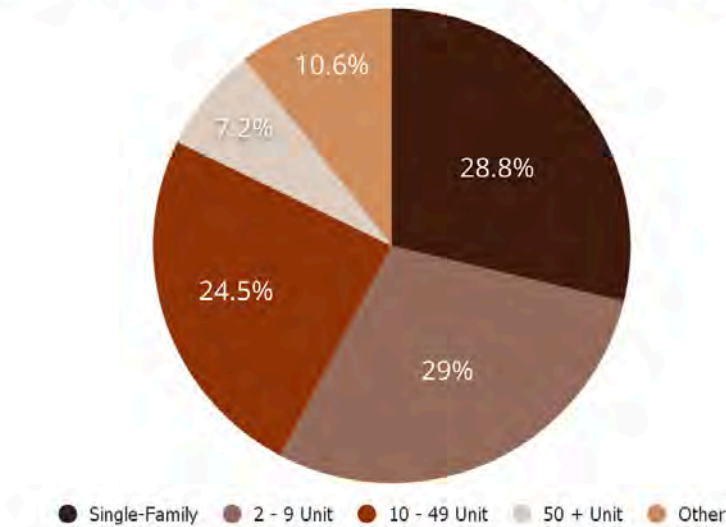


Charles Warren



## Rented Homes by Building Typology

Livingston County Rented Homes by Building Typology (2023)

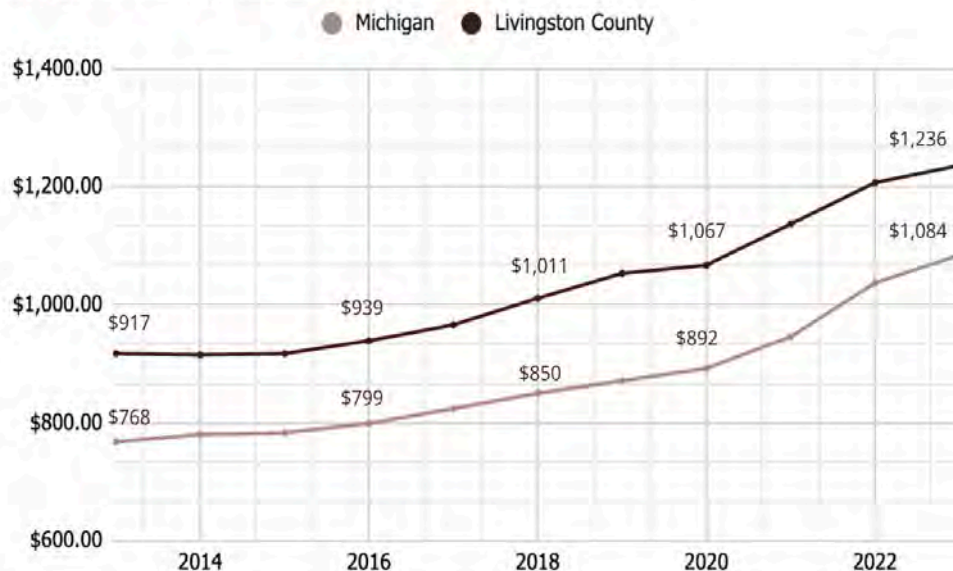


Rental homes are more diverse than owned homes in terms of building typology in Livingston County. The *Livingston County Rented Homes by Building Typology (2023)* chart at left shows that only 28.8% of rentals in the county are single-family homes, while 29% of rentals have 2-9 units in each building. 24.5% have between 10 and 59 units, while the remainder have at least 50.

Source: American Community Survey (ACS), US Census Bureau

## Median Rent

Livingston County Median Rent 2013-2023



**\$1,236**

Livingston County  
Median Monthly Rental  
Cost (2023)

**+35%**

Since 2013

**+14%**

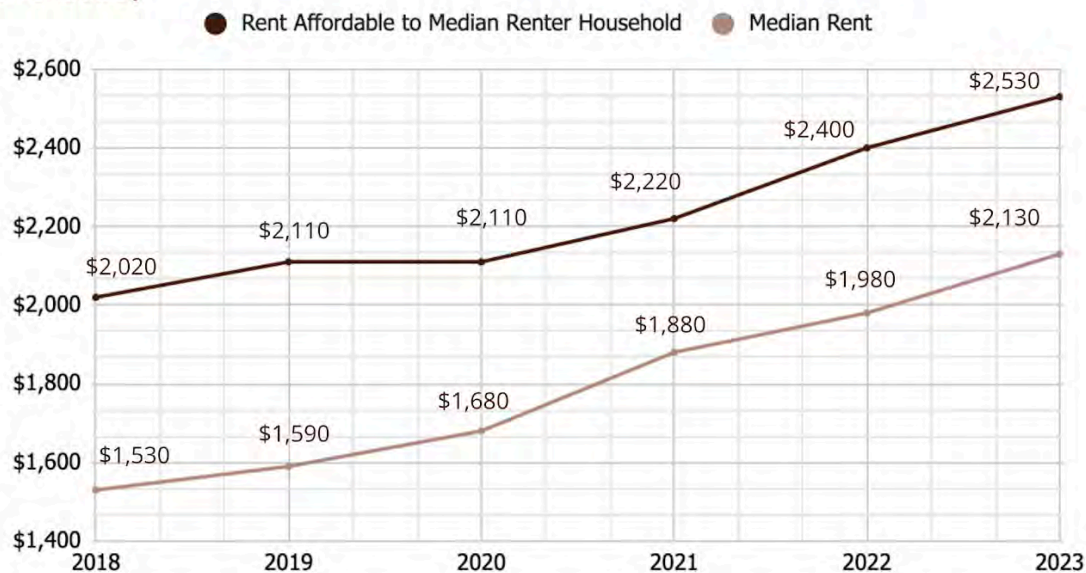
Higher than Michigan  
Median Monthly Rental  
Cost (2023)

Source: American Community Survey (ACS), US Census Bureau

The *Livingston County Median Rent 2013-2023* chart on the page above shows the steady rise of county and statewide rental housing costs. The current median monthly rental cost in Livingston County is approximately \$1,236, revealing a 35% increase since 2013. Michigan's rental costs have always been lower than Livingston County's, yet have still experienced the same rise in recent years. The rental cost in Livingston County is slightly above the median for the Southeast Michigan Council of Governments (SEMCOG) region, which as of 2023 was estimated to be \$1,180 per month.

### Comparison of Median Rent and Affordable Rent

Livingston County Comparison of Median Rent and Affordable Rent (2018-2023)

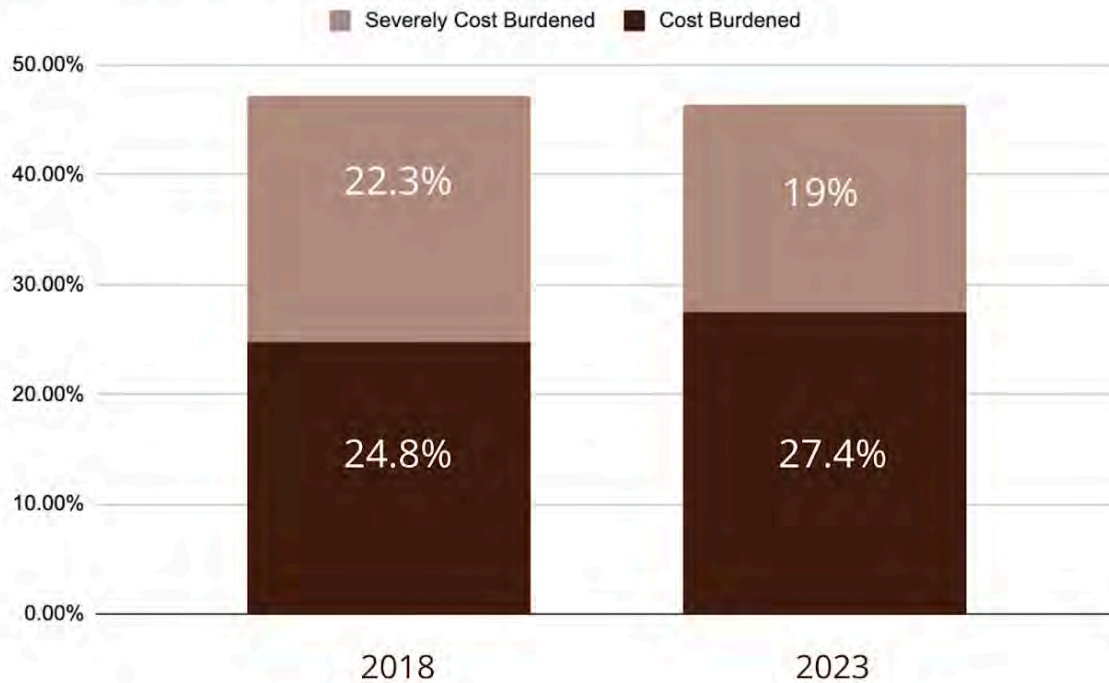


Source: American Community Survey (ACS), US Census Bureau

The *Livingston County Comparison of Median Rent and Affordable Rent (2018-2023)* chart above illustrates the annual comparison between the median rent in Livingston County and the rent that would be considered affordable to a household earning the county's median renter income, assuming the standard affordability threshold of 30% of income spent on housing. Over the six-year period, both figures have steadily increased, reflecting rising housing costs and incomes. However, the rent deemed affordable has consistently remained above the actual median rent on the market. While this might initially suggest that the average renter is not cost burdened, the "affordable rent" metric is based on median renter household income—meaning that half of all renters earn less than this threshold. Therefore, many lower-income households still struggle with rent burden despite this apparent affordability gap. Additionally, the narrowing margin between affordable rent and market rent, especially in recent years (e.g., 2023: \$2,530 affordable vs. \$2,130 median), signals tightening housing conditions. If rental prices continue to rise faster than incomes (particularly for those in the lower half of the income distribution) the county may see increased affordability challenges, housing instability, and displacement pressures.

## Renter Cost Burden Rate

Livingston County Renter Cost Burden Rate (2018, 2023)



Source: American Community Survey (ACS), US Census Bureau

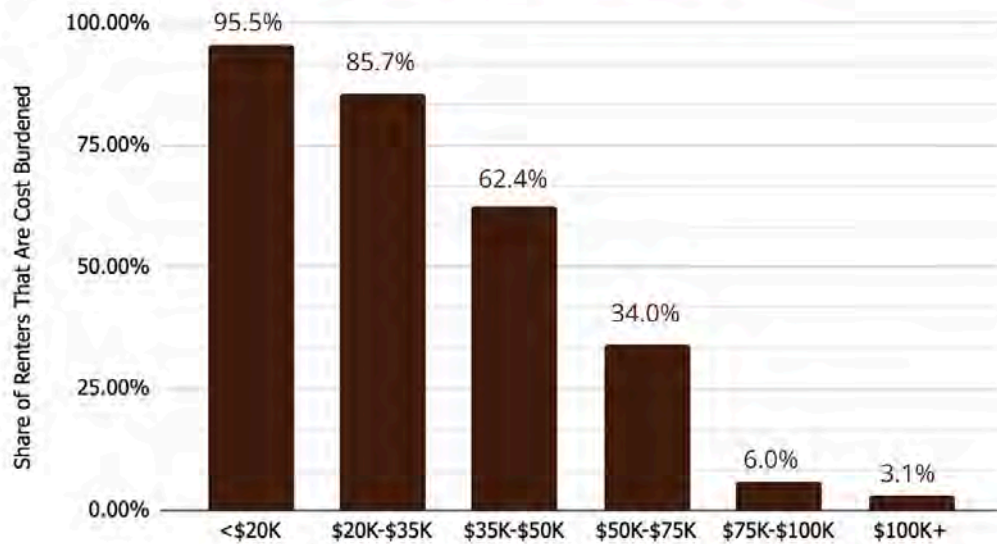
The *Livingston County Renter Cost Burden Rate (2018-2023)* chart above represents the change in renter households who experienced moderate to severe cost burdens between 2018 and 2023. In 2018, 24.8% of renters were cost-burdened, meaning they spent approximately 30% or more of their income on housing expenses; while 22.3% were severely cost-burdened, spending at least 50% of their income on housing. In 2023, the share of renters who are cost-burdened increased by 2.6% to 27.4%, while the share of those severely cost-burdened decreased by 3.3%.





## Renter Cost Burden Rate by Income

Livingston County Renter Cost Burden Rate by Income (2023)

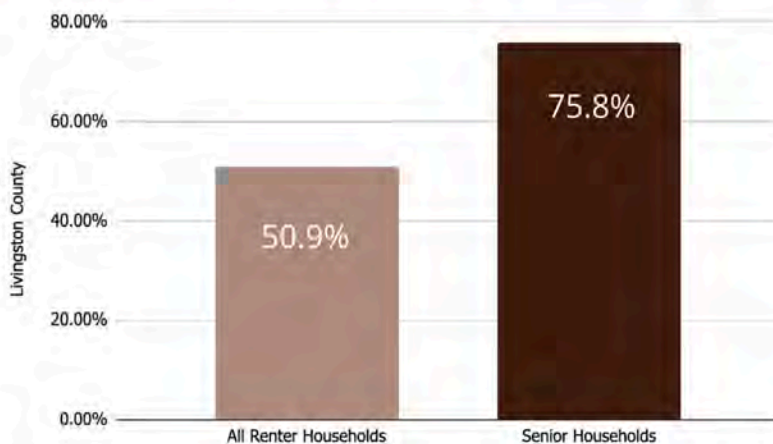


Source: American Community Survey (ACS), US Census Bureau

The *Livingston County Renter Cost Burden Rate by Income (2023)* chart above shows the income groups in which renters experience the highest cost burdens. The rate of cost-burden prevalence for renters decreases as income increases, as those who make more money are less likely to spend proportionately as much on housing expenses. The income groups that are most cost-burdened tend to make under \$50,000 per year, however, the data reveals that cost burden is still present across all income levels, including among moderate- and even higher-income households.

## Senior Renters

Livingston County Share of Senior Renters Who are Cost Burdened (2023)



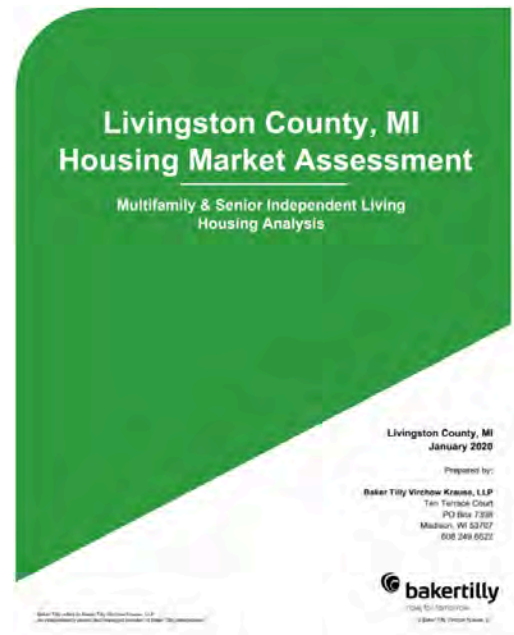
Source: American Community Survey (ACS), US Census Bureau

As indicated in the *Livingston County Share of Senior Renters Who are Cost Burdened (2023)* chart at left, Senior renters in Livingston County face far more severe cost-burdens than the general public. While 50.9% of all renter households are cost-burdened, 75.8% of seniors who rent spend at least 30% of their income on housing expenses. This necessitates efforts to ensure that the county's aging population can access attainable housing options.

*Livingston County, MI Housing Market Assessment (2020)*

In 2020, Baker Tilly conducted the *Livingston County, MI Housing Market Assessment*, analyzing the conditions of multifamily and senior independent living in Livingston County. The purpose of this study was to better understand the Livingston County housing rental market in order to craft targeted strategies to improve housing options. The study concluded that:

- A market exists for the addition of multifamily and senior independent rental housing in Livingston County– with the demand originating from residents already residing within the county. Only 20-25% of this demand comes from households migrating to the county to be closer to work or family.

*Homelessness*

Although Livingston County is often viewed as a high-income area, many residents experience acute housing insecurity, including homelessness and near-homelessness. In 2023, an estimated 9.38% of the population was living with severe housing problems, which include overcrowding, inadequate plumbing or kitchen facilities, or housing cost burdens exceeding 50% of income. While this figure represents a 3.72% decline since 2014, homelessness and housing instability remain persistent issues for many vulnerable residents.

*Livingston County Homeless Continuum of Care Committee*

The Livingston County Homeless Continuum of Care Committee (HCCC) is the federally mandated body responsible for planning and coordinating local responses to homelessness. The committee was established in response to housing being identified as one of the county's top community needs by both service providers and residents. The HCCC oversees a full continuum of housing services, including:

- Homelessness prevention programs
- Emergency shelter and crisis response services
- Transitional and supportive housing
- Access to affordable housing units
- Supportive wraparound services to ensure housing stability

### Local Resources & Services

- OLSHA (Oakland Livingston Human Service Agency) – Rental assistance, emergency utilities, housing counseling, and veteran support services.
- LACASA – Emergency crisis shelter and advocacy for individuals impacted by domestic or sexual violence.
- The Salvation Army – Emergency shelter, rental assistance, and utility assistance.
- St. Vincent de Paul – Shelter and financial support for housing, coordinated through partner churches including St. Augustine, St. Joseph, Holy Spirit, St. Patrick, and St. Mary Magdalen.
- Habitat for Humanity of Livingston County – Homeownership opportunities, repair programs, and community-based housing solutions.

### Homeless Management Information System (HMIS)

The Housing Assessment and Resource Agency (HARA) also oversees the Homeless Management Information System (HMIS); a federally mandated, secure database used to track client-level data and monitor service outcomes. HMIS ensures accountability, reduces duplication of services, and improves strategic planning.

### Homeless Continuum of Care Livingston County Community Plan (2018)

The Homeless Continuum of Care drafted a set of goals in 2018 designed to ensure that individuals and families within the county can easily and attainably access affordable housing options. Goals include preventing foreclosures, increasing accessibility and capacity of emergency resources, and community engagement. Further information can be found at the [HCC Livingston County Community Plan 2018 webpage](#).





# Housing: Feedback & Current Trends

## Feedback

Which housing type would be most beneficial for Livingston County?

- 17% : Single Family Homes on at least 2 acre lots
- 16%: Accessory Dwelling Units
- 14%: Small Homes 500-1000 sq ft
- 10%: Single Family Homes on at least 5 acres
- 9%: Subdivisions
- 7%: Apartments
- 8%: Other: Senior Housing



How satisfied are you with the housing options in Livingston County?



If you are unsatisfied, why?



- Too expensive
- Nothing is available
- No senior housing
- There are not starter homes
- Too many subdivisions

*"I cannot afford to live in my hometown, let alone my home county. I work full time, have a degree, and a salary. Many housing options are single family. The younger generations will not be able to stay here because we can't afford to, even though we want to. I won't be able to live here for years and years". -Survey Respondent*

*"I'm a senior, there are no affordable housing options for me." -Survey Respondent*

## Current Trends

### Missing Middle Housing

Planners are increasingly focusing on "missing middle" housing types—such as duplexes, triplexes, townhomes, and cottage courts—that bridge the gap between single-family homes and large apartment complexes. These provide more attainable, lower-maintenance options that suit smaller households, seniors, and first-time buyers.

### Housing + Transportation Cost Index (H+T Affordability)

Many communities are using the H+T Index, which accounts for both housing and transportation costs to assess true affordability.

### Adaptive Reuse and Infill Development

Communities are revisiting underutilized parcels to infill with housing or convert to residential use. This revitalizes existing infrastructure and reduces sprawl while expanding housing diversity.

### Accessory Dwelling Units (ADUs)

Some communities are allowing smaller, independent residential units on the same lot as primary homes. These can provide flexible, lower-cost housing options.

### Rising Costs

As the median sales price for homes steadily increase over the next 10 years, communities can expect housing attainment to be a challenge for many residents.

## Housing: Goals & Objectives

### Goal #1: Preserve Open Space through Strategic Growth

Guide housing development in a way that supports rural preservation and environmental stewardship.

*Objective:* Encourage rural townships to plan for growth in a manner that limits sprawl and maintains long-term agricultural viability.

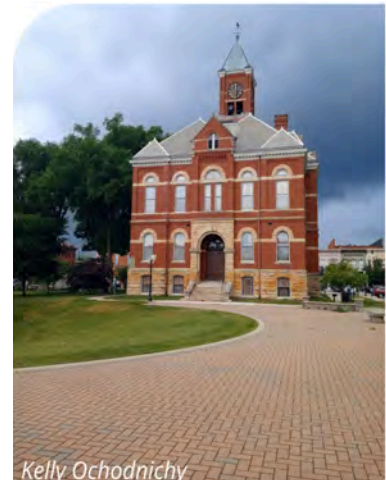
*Objective:* Conduct a county-wide build-out analysis to discover where the most space exists for new development without infringing on essential natural areas and agricultural lands.

### Goal #2: The Right Homes in the Right Places

Encourage a variety of housing options for our workforce, families, and seniors while safeguarding Livingston County's open spaces and rural identity.

*Objective:* Encourage the siting of mixed housing types (e.g., duplexes, townhomes, cottage courts) near existing infrastructure and service areas.

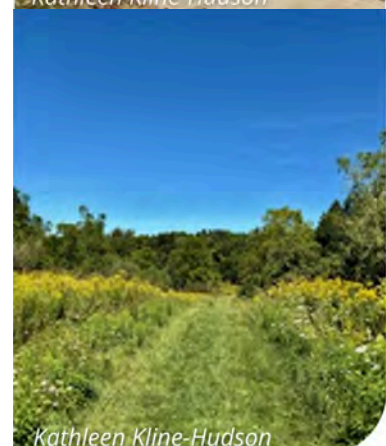
*Objective:* Ensure that new development patterns complement existing community character and do not overextend infrastructure capacity.



Kelly Ochodnich



Kathleen Kline-Hudson



Kathleen Kline-Hudson

## Housing: Goals & Objectives

### Goal #3: Increase Housing Affordability with Smart, Sustainable Strategies

Ensure housing options remain attainable for residents across all income levels, household types, and life stages by using cost-effective, low-impact approaches.

*Objective:* Promote preservation, adaptive reuse, and rehabilitation of existing housing stock to maintain affordability and neighborhood character.

*Objective:* Share resources and connect residents with state, federal, and nonprofit programs that provide financial assistance for homebuyers, renters, and seniors.

*Objective:* Provide guidance to local units on zoning tools that can support affordability without requiring major infrastructure expansion.

### Goal #4: Coordinate a County-Wide Housing Strategy

Build a shared framework to guide housing decisions across municipalities.

*Objective:* Encourage local municipalities to participate in a county housing study and use its findings to inform master plans, zoning ordinances, and infrastructure planning.

*Objective:* Develop a county housing map identifying preferred growth areas, existing infrastructure, and sensitive lands to avoid.



Erin Drallos



Lori Marran



Livingston County Planning



# TRANSPORTATION



# Livingston County: Transportation

## Snapshot

### County on the Move

With two major expressways and a robust network of state and local roads, Livingston County's transportation system supports both daily commutes and long-distance travel.

### Public Transit Rebounds

Livingston Essential Transportation Services (LETS) has returned to pre-pandemic ridership, with over 147,000 annual rides in 2024— 50% of which were for work.

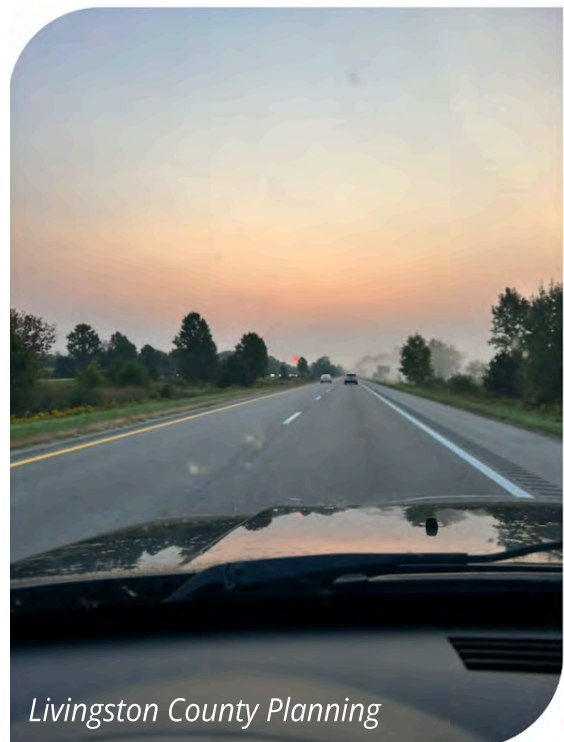
### Trails, Bikes, & Sidewalks

From the 33-mile Mike Levine Trail to newly upgraded downtown sidewalks in Howell and Brighton, the county is advancing pedestrian and bike infrastructure.

### Safety & Strategy

Crash and commute data inform transportation planning across Livingston County. High-traffic intersections and rising pedestrian accidents spotlight the need for smart design.

Livingston County's transportation system consists of two main highways, various state routes, and numerous local roads; all of which form a vital foundation for movement within the county. Local resources such as sidewalks, trails, and public transportation also work to connect individuals to social gatherings, work/ places of employment, health/wellness visits, and other amenities. Therefore, it is essential to thoughtfully plan road projects and utilities in areas expected to experience growth. By carefully considering these developments, Livingston County can work to prevent the typical sprawl and mismatched land uses that could encroach upon agricultural land and open spaces in Livingston County.



*Livingston County Planning*

## Roadways

Livingston County has a 2,318 mile long road network that ranges from low traffic rural corridors to busy interstates. Regional roadway designations can be seen on the *Livingston County Major Transportation Routes* map below and include:

Interstates: In Michigan, Interstate Highways are part of the national Interstate Highway System, a network of freeways designed for high-speed travel between states. These highways are federally funded and administered but maintained by the Michigan Department of Transportation (MDOT). They are characterized by controlled access, grade separations, and are part of the National Highway System.

Interstates are designed for high-speed travel and typically have multiple lanes, with more than 80% of the system featuring four lanes or more. They are part of the larger Interstate Highway System, a network connecting states across the country. They are numbered in a grid pattern, with even numbers for east-west routes and odd numbers for north-south routes.



Major Interstate Highways in Michigan include I-75, I-94, and I-96, which bisects central Livingston County in a general east-to-west direction. The I-96 corridor runs east/west through Livingston County, and experiences approximately 25,000 average annual daily trips (AADT). The overall length of I-96 is approximately 192 miles. The western terminus is at US-31 in Norton Shores, while the eastern terminus is at Exit 48, I-75/ Fisher Freeway in downtown Detroit. The Memorial Highway designation "Officer Mason Samborski Memorial Highway" has been officially assigned by the Michigan Legislature to the portion of I-96 that traverses through the City of Howell.

US Highways: US Highways are also numbered and part of the National Highway System, but they are primarily designed to connect cities rather than states. MDOT maintains the 2,528 miles of US Highways (including Business Connections) within the state of Michigan.



The only US highway that passes through Livingston County is US-23, which runs along the eastern quadrant of the county in a general north-to-south direction. In Michigan, US-23 begins about 17 miles south of the city of Dundee, with its northern terminus at I-75 at Exit 338 in Mackinaw City. The overall length of US-23 is 363 miles. In early days, US-23 between Toledo and Flint was considered somewhat of a "secondary" route. Today, however, it is one of Michigan's busier freeways through that stretch, carrying traffic around Metro Detroit as well as high levels of Ann Arbor commuter traffic. US-23 serves as a major national connector route through the entire State of Michigan, and links with I-96 in Brighton. This major linkage point boosts Livingston County's access to major freight nodes and tourist destinations throughout the state, as well as placing the county at the economically valuable crossroads of Michigan.



State Highways: State highways are state-maintained roads designated with an “M-” prefix and are not necessarily built to the same high-speed, controlled-access standards as Interstates.

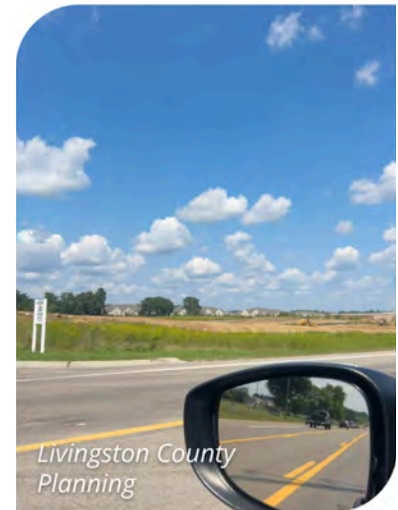


M-36 is a state trunkline highway in the Lower Peninsular of the US state of Michigan that runs in a west-east direction from Mason to Whitmore Lake. The trunkline connects US Highway 127 (US 127) south of Lansing and US-23 north of Ann Arbor. The highway connects several smaller communities in the rural areas along its route. M-36 also runs concurrently with two other roadways, sharing pavement with M-52 and County Road D-19. Its major intersections include US-127 (Lansing, Jackson), M-52 (Webberville, Chelsea), M-106 (Jackson), D-19 (Howell), and US-23 (Flint, Ann Arbor).



M-59 is an east-west state trunkline highway that crosses the northern part of Metropolitan Detroit. It runs between Howell at Interstate 96 (I-96) and I-94 on the Chesterfield-Harrison township line near the Selfridge Air National Guard Base. While primarily a multi-lane surface highway, it is a full freeway from just east of downtown Pontiac near Opdyke Road to just east of the Mound Road/ Merrill Road exit in Utica. M-59 has a total length of approximately 60 miles.

M-59 starts at I-96 in Howell Township as Highland Road near a large outlet mall. Highland Road carries M-59 concurrently with the westernmost section of Business Loop I-96 (BL I-96). Highland Road widens out into a boulevard south of the county airport before the roadway reaches Grand River Avenue. At this intersection, BL I-96 departs to the southwest. This section of Howell is mostly residential with tree-lined streets. The boulevard section ends near Thompson Lake and M-59 continues east through rural Livingston County as a two-lane highway crossing forested and residential areas. Halfway across Hartland Township, M-59 meets US-23 near the Hartland Plaza Shopping Center, and Highland Road widens out to a boulevard divided highway again. The route passes several small lakes and continues east into Oakland County. Within Livingston County, M-59 has major intersections with I-96 (Lansing, Detroit-near Howell) and US-23 (Ann Arbor, Flint-near Howell).



M-106 travels in a southwest-to-northwest direction from Jackson to Gregory at a junction with M-36 just a few miles northwest of Hell. M-106 merges with M-52 and the two run concurrently into that community. M-106 turns east into the downtown area and continues along Morton Road into Livingston County. The highway ends at a junction with M-36 in Gregory.

Local Roads: A system of county-maintained routes begun in 1970 in an attempt to supplement the state highway system. These routes are not a part of the state trunkline highway system, but are somewhat statewide in nature and coordinated by MDOT and the Livingston County Road Commission. The system was begun to provide a consistent, statewide county numbering system for identifying primary county roads which retained their designations across county lines.

Known as Pinckney Rd for much of its length, D-19 is one of only two intercounty highways in Southeast Michigan and both are in Livingston County, the other being D-32. D-19 has a total length of approximately 11 miles. Its southern terminus is located at the intersection of Patterson Lake, Toma & Darwin Roads, south of the Village of Pinckney. Its northern terminus is located at the intersection with I-96 at Exit 137 on the southern edge of the City of Howell.



D-32 is known as the “Road to Hell”, as along its route is the small community of Hell, Michigan, southwest of Pinckney. D-32 has a total length of approximately 8 miles. Its western terminus is at the intersection of M-106 in Gregory, just one block south of junction M-36 and M-106. Its eastern terminus is at its junction with D-19, at the intersection of Patterson Lake, Toma and Darwin Roads south of the Village of Pinckney.

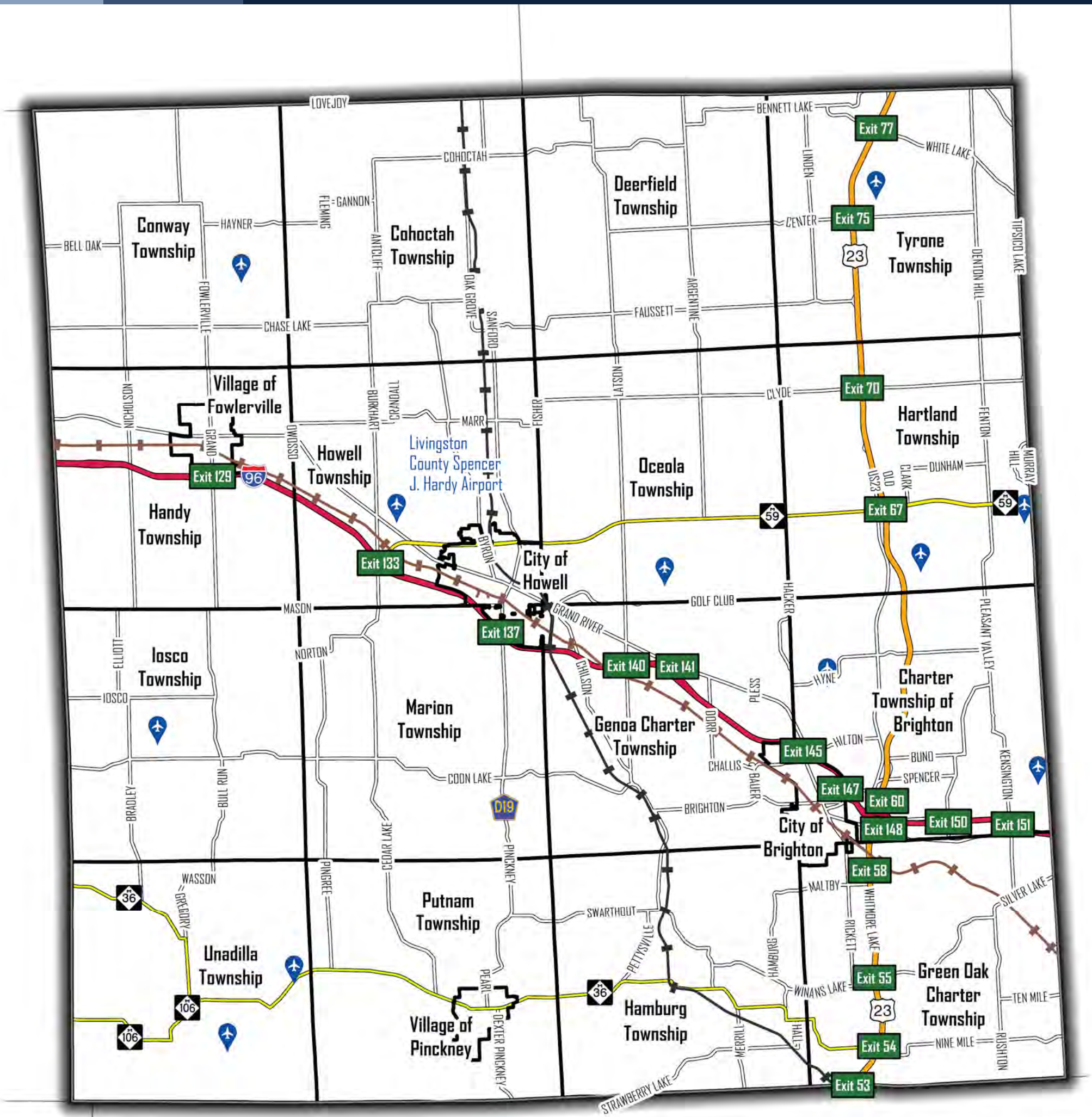
All major roadways can be seen on the *Livingston County Major Transportation Routes* map on the following page.

#### Livingston County Road Commission

The Livingston County Road Commission is a governmental body responsible for maintaining gravel and paved local roads. Services provided by the Road Commission include: road maintenance and construction; bridge maintenance and replacement; traffic services; right-of-way acquisitions; surveying; planning for future road projects; and permit issues for privately proposed work, local communities, and public utility projects within county road right-of-ways.







**23 Interchanges**

- Exit 53 - Eight Mile Rd
- Exit 54 - 36 Nine Mile Rd
- Exit 55 - Silver Lake Rd
- Exit 58 - Lee Rd
- Exit 60 - 96 Interstate 96

- Exit 67 - 59 Highland Rd
- Exit 70 - Clyde Rd
- Exit 75 - Center Rd
- Exit 77 - White Lake Rd

**96 Interchanges**

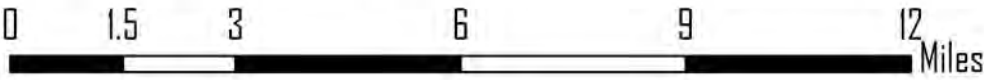
- Exit 129 - Fowlerville Rd
- Exit 133 - 59 Highland Rd
- Exit 137 - 196 Howell / Pinckney
- Exit 140 - Latson Rd
- Exit 141 - Grand River Ave (Howell)
- Exit 145 - Grand River Ave (Brighton)

- Exit 147 - Spencer Rd
- Exit 148 - 23 US Highway 23
- Exit 150 - Pleasant Valley Rd
- Exit 151 - Kensington Rd

- Airport
- Ann Arbor Railroad
- CSX Railroad
- Interstate Highway
- US Highway
- State Highway
- Major Road

# Livingston County Major Transportation Routes

Data Source: Livingston County GIS, State of Michigan GIS Data Portal





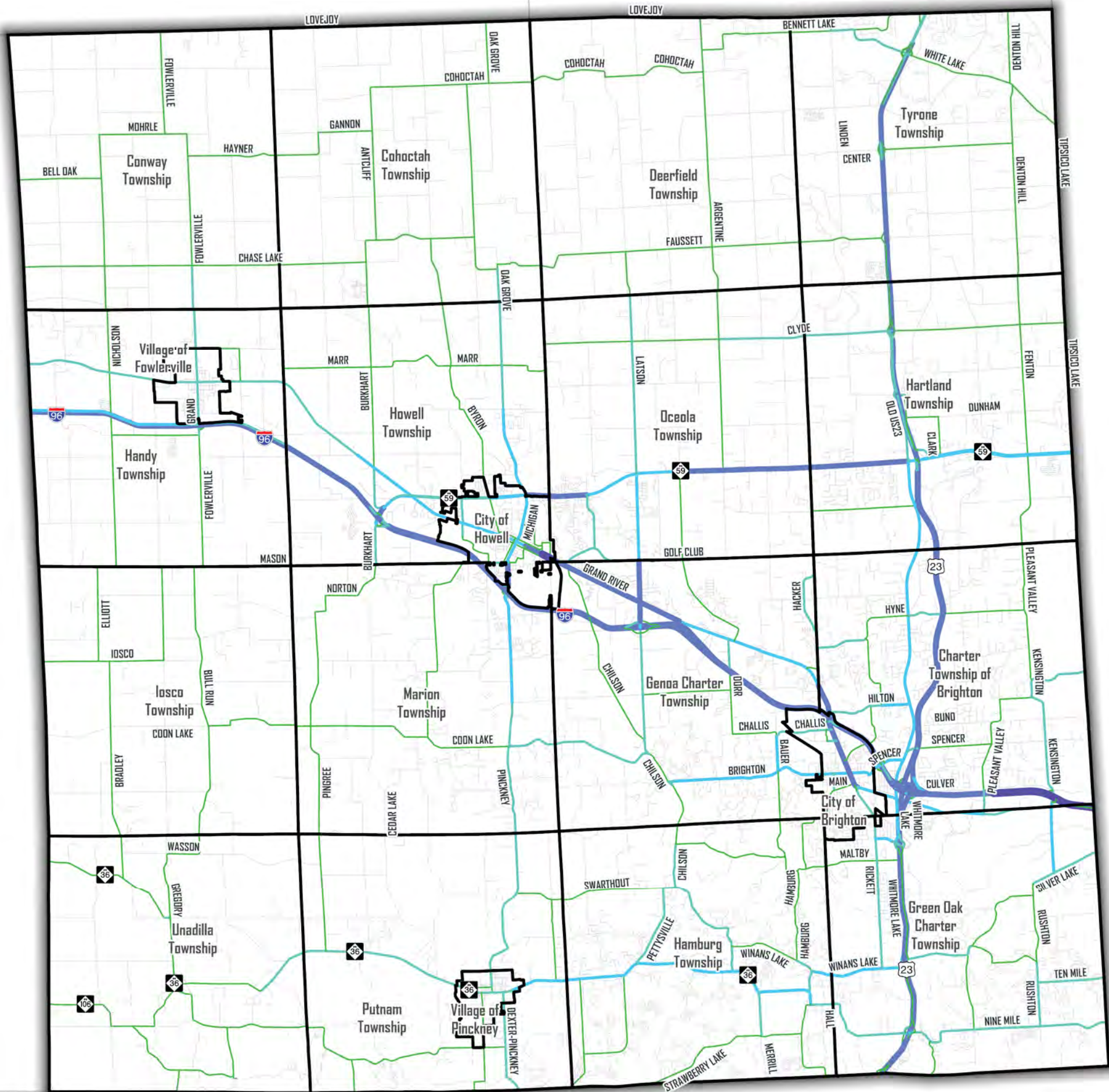
## Traffic Capacity

Traffic capacity refers to the number of vehicles that can travel through a road segment or intersection over a given period. To evaluate how well a roadway is functioning, traffic engineers use Levels of Service (LOS), a scale from A to F. LOS A through C represent free-flowing traffic with minimal delays, while LOS D through indicate increasing levels of congestion and longer wait times for drivers. Traffic studies are conducted to measure current traffic flow and are then shared with the appropriate road agencies. These agencies use the data to identify potential improvements and plan for future infrastructure needs. The results are especially valuable for understanding how proposed developments may impact nearby roadways.

The *Livingston County Traffic Volumes* map on the page below, provided by the Southeast Michigan Council of Governments (SEMCOG), highlights the areas in Livingston County with the highest traffic volumes.







Traffic Volume  
Annual Average Daily Traffic (AADT)



# Livingston County Traffic Volumes



Data Source: Livingston County GIS, SEMCOG Open Data Portal.





## Commuting Patterns

Understanding the commuting patterns of county residents can provide valuable insights into their workplaces and spending habits, as well as highlight various travel routes for potential transportation enhancements. Data from the Workforce Intelligence Network finds that the majority of Livingston County residents work outside of the county. More detailed data can be found in the *Where Livingston County Residents Work (2019)* chart, located in the *Livingston County Economic Profile* section of this plan (pages 59 & 60).

Recent data from Michigan Works! also found that Livingston County residents have the second longest commuting time in the state at 31 minutes, preceded only by Lapeer County at 34 minutes. This extended commute duration is notably higher than the national average of 26.6 minutes.



Below, the *Livingston County Work Commute Methods 2010-2023* table shows the main methods that Livingston County residents have used to commute to work since 2010. The majority of residents (78%) drive alone to work, however this is declining as more people work from home. Approximately 11% more people within the county worked from home in 2023 than in 2010.

Method	2010	% 2010	2023	% 2023	% Change
<u>Drove Alone</u>	73,904	86%	76,177	78%	-8%
<u>Carpool</u>	6,984	8%	5,444	6%	-3%
<u>Public Transportation</u>	177	0%	180	0%	0%
<u>Walked</u>	844	1%	939	1%	0%
<u>Biked</u>	68	0%	14	0%	0%
<u>Other Means</u>	745	1%	533	1%	0%
<u>Worked at Home</u>	3,367	4%	14,068	14%	11%
<u>Total Workers</u>	86,089		97,355		

Source: SEMCOG Community Profiles & U.S. Census Bureau, 2006-2010 and 2019-2023 American Community Survey 5-Year Estimates



## Public Transportation

In 2023, 180 Livingston County residents used public transportation as a means for getting to work.

Public transportation in Livingston County offers a dependable means to travel between various regions through the use of buses and shuttles. This includes a range of services, such as:

- On-demand scheduled rides
- Regular route transportation
- Health/wellness transportation
- Airport transportation

## Livingston Essential Transportation Services (LETS)

Livingston Essential Transportation Services (LETS) is the primary public transportation provider in Livingston County, encompassing a 568 square mile service area. LETS is crucial in supporting transportation through community partnerships with recreation facilities, schools, health facilities, and municipalities.

In 2024, LETS recorded a total of 147,571 rides, averaging between 12,000 and 14,000 rides per month. Although ridership dropped significantly during the pandemic from 2020 to 2022, it has now rebounded to pre-pandemic levels, matching the 142,000 annual rides recorded in 2014. Users of LETS primarily use it to access employment, followed by medical visits and recreational activities. Over the past few years, there has been a notable rise in employment related trips, with 50% of riders using the service to reach their jobs. Further data reveals that 58% of the riders are from the general public, 22% are individuals with disabilities, and 20% are seniors.

As LETS continues to adapt and grow, future plans may focus on enhancing service frequency, expanding routes, and integrating technology to streamline user experience. This commitment to improvement ensures that LETS not only meets current demands but also anticipates the evolving needs of Livingston County residents.

LETS  
completes  
between  
12,000 and  
14,000 rides  
per month.

### Michigan Flyer

The Michigan Flyer is a bus route that transports people to and from various airports throughout Southern Michigan. The Michigan Flyer currently has one stop near Livingston County at the Brighton Eight Mile MDOT Park & Ride Lot (665 Eight Mile W, Whitmore Lake) For approximately \$30, individuals can travel to the Lansing, Ann Arbor, or Detroit airports.

In 2024, the Michigan Flyer had 11,151 rides from Livingston County, an increase of 63% (4,206 rides) from 2022.



### Mass Transportation Authority (MTA)

The Flint Mass Transportation Authority (MTA)'s fifteen Regional Routes to Livingston County transport nearly 700 passengers each day between Flint and manufacturing employers in Brighton and Howell. Stops and routes can be found at the [Mass Transportation Authority's](#) website.

### Livingston County Transportation Coalition



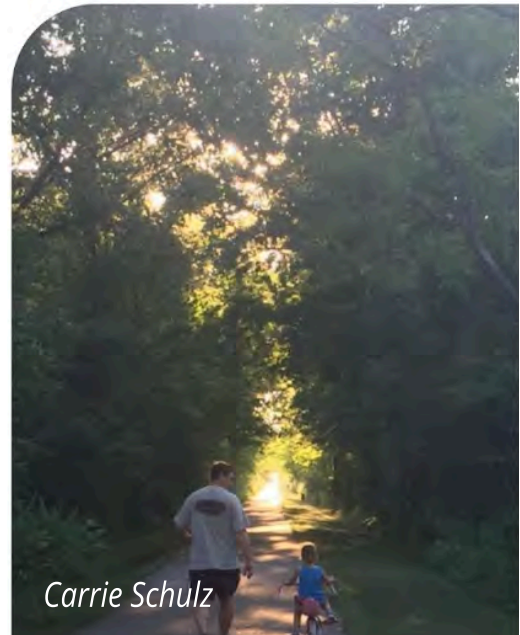
The Livingston County Transportation Coalition (LCTC) is the local body approved by Livingston County Human Services Collaborative Body to coordinate and oversee the health and human service transportation needs of the community. The LCTC formally meets monthly to recognize the gaps in public transportation and pull together providers to identify strategies to eliminate these gaps. The work this group carries out involves improving the full gamut of transportation– such as buses, ride-sharing, cabs, Lyft, Uber, bike, pedestrian-friendly options as well. All work accomplished by the LCTC is done in mind of accessibility and inclusivity for all members of the community.

## Pedestrian Infrastructure

Utilizing tools to plan for a variety of transportation modes including non-motorized traffic is crucial in creating a more safe and active community. The concept of complete streets emphasizes designing roadways that cater to all users, including pedestrians, cyclists, motorists, and public transit riders. By integrating features such as bike lanes, pedestrian-friendly crosswalks, and efficient public transport options, communities can enhance mobility and safety for everyone. Community involvement therefore plays a significant role in this process, as local insights and feedback can help identify specific needs and preferences. Through workshops, surveys, and public forums, residents can contribute to shaping their neighborhoods in ways that reflect their unique character and requirements. Many communities in Livingston County have developed their own recreation or pathways plans, which were taken into account and included in the [Livingston County Trails Plan](#). The trail map highlights the priority routes across the county, focusing on uses such as recreation as well as pedestrian connections to places of business, work, or school. The map can be found in the *Livingston County: Natural Resources & Recreation* section of this plan (page 83).

The Mike Levine trail is a prime example and a great source of pride for Livingston County residents, spanning 33 miles between Hamburg Township (Livingston County) and Blackman Township (Jackson County). In Livingston County, it runs through the communities of Gregory, Pinckney, and Hamburg. The trail is also a large component of the regional Great Lake to Lake Trails Route #1, which extends 275 miles from South Haven to Port Huron.

Additionally, in 2025, the State of Michigan updated its Active Transportation Plan, which will help identify gaps in trail networks and prioritize strategies for improving regional connections and safety measure enhancements.



Carrie Schulz



Tammy Higgins



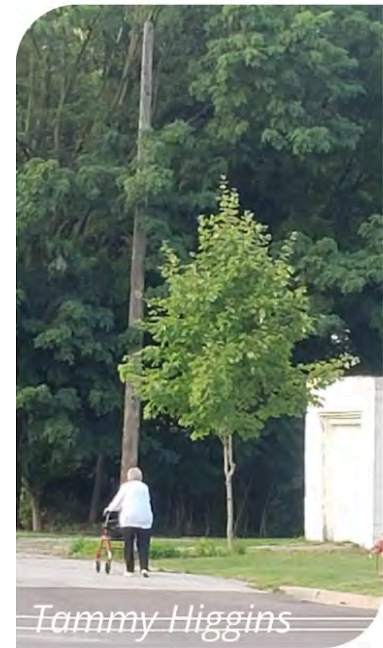
Kathleen Kline-Hudson



## Accidents Involving Pedestrians

Recent data from the Michigan State Police show an unfortunate statewide increase in pedestrian injuries along roadways, demonstrating the critical need for decision-makers to consider pedestrian travel during the initial stages of transportation projects.

- Pedestrian-involved crashes rose by 11% in Michigan with 2,114 crashes in 2023 and 1,897 in 2022.
- Pedestrian fatalities in Michigan increased by 6% with 183 deaths in 2023 and 173 in 2022.
- Bicycle-involved crashes in Michigan increased by 10%, with 1,480 crashes in 2023 and 1,340 in 2022.
- Bicyclist fatalities in Michigan fell by 33%, with 24 deaths in 2023 and 36 in 2022.



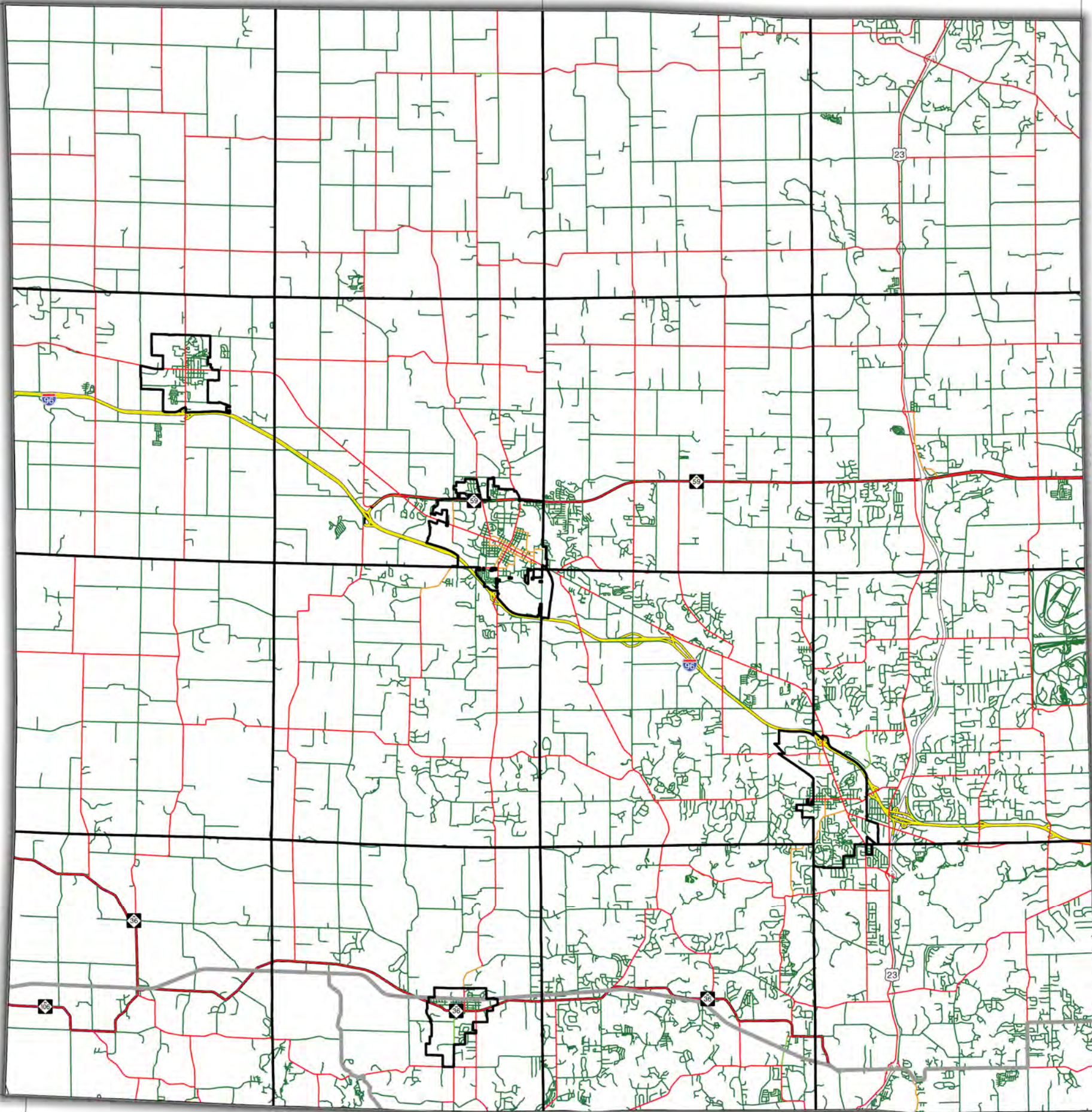
Source: Michigan Department of State Police with the Criminal Justice Information Center

Various elements are crucial in ensuring individuals, especially children, can travel without unnecessary risks. Buffers, such as greenery or physical barriers, can provide a protective space between pedestrians and vehicular traffic, reducing the likelihood of accidents. Clear and visible signage is also essential to guide both pedestrians and drivers, ensuring that everyone is aware of the shared spaces and the need for caution. Additionally, traffic signals and crosswalks—when strategically placed—can help manage the flow of vehicles and pedestrians, giving clear indications of when it is safe to cross or proceed.

Most urban areas in Livingston County have sidewalks throughout their downtowns. In 2024, the cities of Howell and Brighton upgraded their pedestrian infrastructure to improve accessibility and safety standards. While sidewalks are present in downtown areas, there is a noticeable lack of pedestrian infrastructure further away from city centers which could aid in connecting residents to downtown amenities. Despite these gaps, data shows that people still have corridors that may lack sufficient safety measures for non-motorized traffic. To understand how all of these elements can affect safety, a traffic audit that integrates buses, bicycles, pedestrians, and cars can be used to better comprehend gaps in traffic safety measures.

The *Livingston County Biking Comfortability* map on the page below shows which roadways residents feel most comfortable biking on. While many residential and local roads present as comfortable for many people, most major connective roadways are only comfortable for some or few.





- Existing Bikeway Network
- Tier I: Comfortable for Most People
- Tier II: Comfortable for Many People
- Tier III: Comfortable for Some People
- Tier IV: Comfortable for Few People

In addition to the region’s bikeways and trails, people who bike are allowed on all roads, except freeways. However, some roads will have greater appeal to people due to their bicycling comfort level. SEMCOG has categorized these roadways into four tiers, based on [traffic stress tolerance](#) and divided into [three major types of bicyclists](#):



# Livingston County Biking Comfortability



Data Source: Livingston County GIS, SEMCOG Open Data Portal.





## Vehicle Crash Data

Whitmore Lake Rd.  
at Lee Rd. (Green  
Oak Township) has  
the highest annual  
number of crashes  
in the county  
(67.2).

Analyzing crash data can help to identify high-risk areas and prioritize them for enhancements. For example, frequent crashes at a particular intersection might indicate the need for better signage, improved lighting, or the installation of traffic signals. Additionally, understanding the types of accidents occurring can help in designing more effective safety measures, such as adding pedestrian crosswalks or bike lanes to reduce collisions with non-motorized users. Ultimately, leveraging crash data not only contributes to safer roads but also enhances overall community well-being by reducing injuries and fatalities. The *Livingston County High Frequency Intersection Crash Rankings by Number of Crashes 2019-2023* chart below outlines intersections with the most crashes per year in Livingston County. The *Livingston County High Frequency Road Segment Crash Rankings by Crash 2019-2023* chart on the following page shows the segments of roads under which the most accidents occur per year.

#### Livingston County High Frequency Intersection Crash Rankings by Number of Crashes 2019-2023

Intersection	Annual Avg. of Crashes 2019-2023
Whitmore Lake Rd. at Lee Rd.	67.2
Grand River Ave. at E I-96/ Grand River Ramp	33.8
Grand River Rd. at Latson Rd.	31.4
Grand River Rd. at Challis Rd.	21
Highland Rd. at Old US-23	18.4
Grand River Ave. at Old US-23	18.2
Highland Rd. at Latson Rd.	17.6

Source: Michigan Department of State Police with the Criminal Justice Information Center and SEMCOG



### Livingston County High Frequency Road Segment Crash Rankings by Number of Crashes 2019-2023

<u>Segment</u>	<u>From Road to Road</u>	<u>Annual Avg. of Crashes 2019-2023</u>
E. Highland Rd.	Hacker Rd. to Old US-23	46.2
US-23	US-23/M-36 Ramp to 9 Mile Rd.	43.8
E. Grand River Ave.	Chilson Rd. to Latson Rd.	43.2
US-23	Silver Lake Rd./ US-23 Ramp to Lee Rd.	40.2
E I-96/ Grand River Ramp	E I-96 to W. Grand River Ave.	31
E. Clyde Rd.	Argentine Rd. to Old US-23	30.6
W. Grand River Ave.	Challis Rd. to Charles Orndorf Dr.	28.6
US-23	Clyde Rd./US-23 Ramp to Center Rd./ US-23 Ramp	27.2
Old US 23	Hyne Rd. to Bergin Rd.	26.4
S. Latson Rd.	E. Grand River Ave to Golf Club Rd.	

Source: Michigan Department of State Police with the Criminal Justice Information Center and SEMCOG

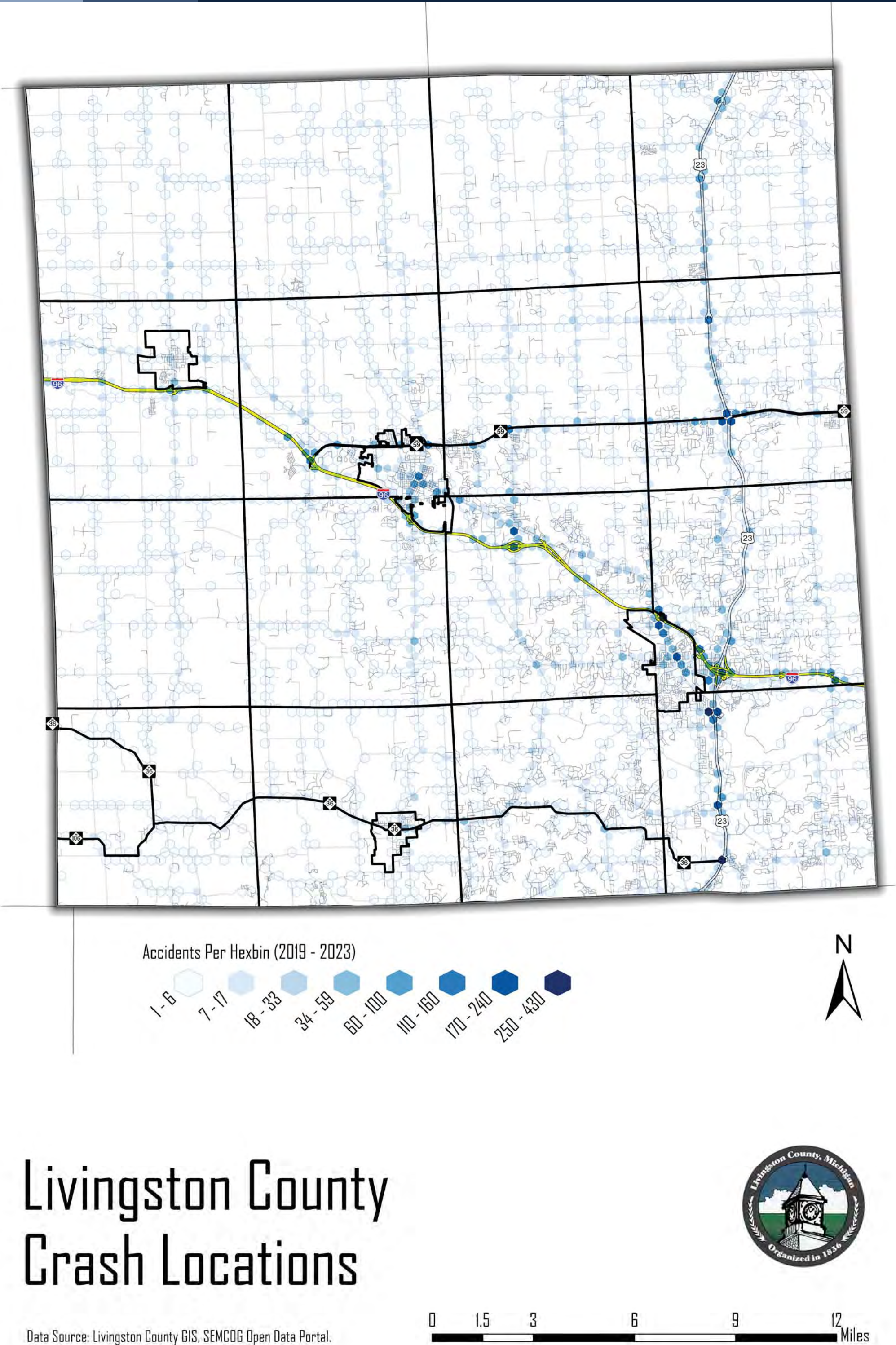


Livingston Daily

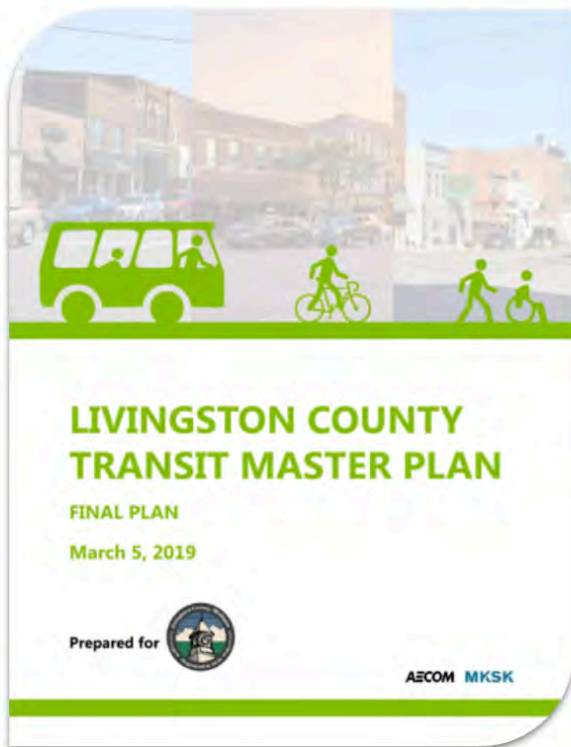
The *Livingston County Crash Locations* map on the following page highlights the intersections with the highest frequencies of traffic accidents. Evidently, areas along both major expressways face the highest amount of crashes, likely because they are the most heavily traveled. These locations often combine high traffic volumes, complex interchange movements, and multiple modes of travel, which can increase the likelihood of collisions.

The data also shows that several high-crash intersections—such as Whitmore Lake Rd. at Lee Rd. and Grand River Ave. at E I-96—are near freeway ramps, suggesting that merge and weaving movements may contribute to incidents. Similarly, certain stretches of E. Highland Rd., E. Grand River Ave., and US-23 experience frequent crashes, which may indicate the need for targeted roadway safety audits.







*Livingston County Transit Master Plan (2019)*

The [Livingston County Transit Master Plan](#) outlines a set of goals for the county's public transportation service (LETS). The organization has completed many of the short-term goals established since 2019, including: adding a Detroit Metro Airport Service; improving the trip management system; increasing the fleet; and adding a Grand River Sidewalk Network. Additionally, the number of riders utilizing the public transportation services has now returned to pre-pandemic levels. Therefore, it may be an opportune time to revisit some of the long-term objectives outlined in the transit plan. Among these goals are expanding service on weekdays and weekends, launching a Grand River Avenue bus route, and introducing a commuter service to Ann Arbor.

*Airports*

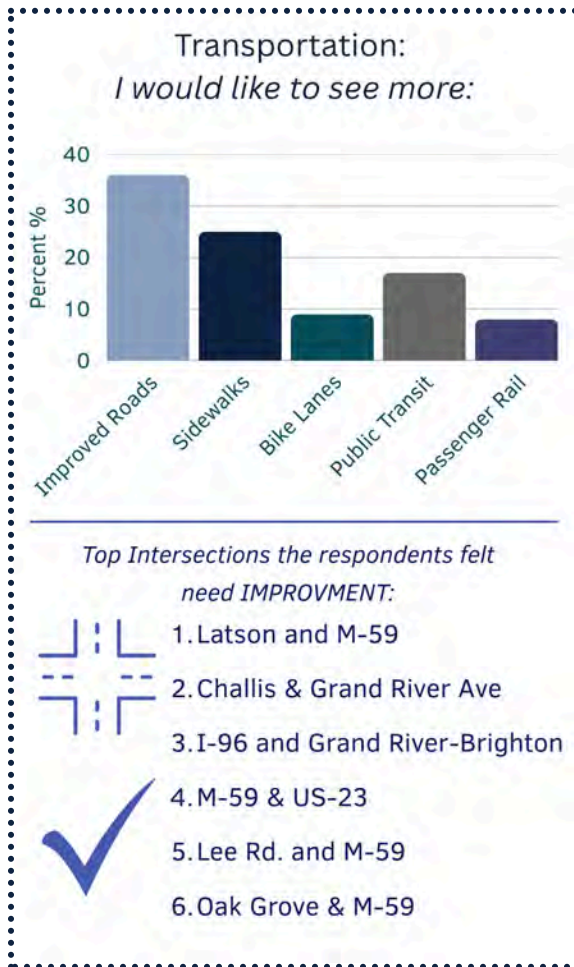
Livingston County's Airport is also a part of our transportation infrastructure that serves as a reliever airport- meaning it is designed to alleviate congestion at other larger commercial service airports. The Livingston County Airport serves a broad range of needs including transportation of people and goods, transportation of critical care patients, search and rescue operations, tourism, law enforcement activity, flight instruction. The location of the Airport allows county residents,

visitors and commercial interests a high level of utility with easy highway access to I-96, M-59 and US 23. There are also five additional public use airports, all of which can be seen on the *Livingston County Major Transportation Routes* map on page 151 of this plan.



# Transportation: Feedback & Current Trends

## Feedback



*"Increase in residential areas has overcrowded roads. BURKHART & 96 RAMP NEEDS modifications."* -Survey Respondents

*"More LETS buses available, with extended hours."* -Survey Respondent

*"We need to connect downtowns and parks with sidewalks/trails"* -Survey Respondent

## Current Trends

### Complete Streets

Communities are designing streets for all users, including pedestrians, cyclists, and transit riders to improve safety and connectivity.

### Flexible and On-Demand Public Transit

On-demand and flexible transit services are growing in popularity as they offer cost-effective mobility options for rural and low-density areas where fixed routes are not feasible.

### E-Bikes and Active Mobility

The rise of electric bike usage is prompting communities to plan for wider trails, charging infrastructure, and safer shared-use paths that accommodate a broader range of riders.

### Transportation-Oriented Development (TOD)

TOD focuses growth around transit hubs (i.e., bus or rail stops) to create walkable, mixed-use communities that reduce car dependency and support public transportation use.

### Electric Vehicles

The electrification of transportation is on the rise with growing rates of electric vehicle adoption.

# Transportation: Goals & Objectives

## Goal #1: Promote Diverse Transportation Options

Accommodate all modes of transportation by planning facilities for pedestrians, cyclists, and vehicle drivers.

*Objective:* Encourage and provide assistance to communities in implementing complete street goals (i.e., sidewalks, pedestrian infrastructure, alternative transportation method accommodations) into local master plans.

*Objective:* Encourage and promote a county-wide policy that results in safe and efficient transportation networks for all users.

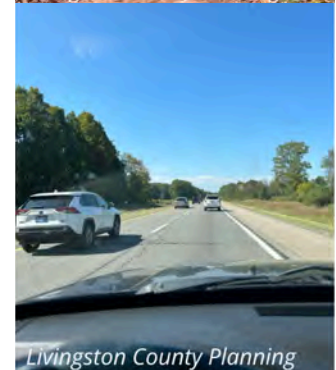
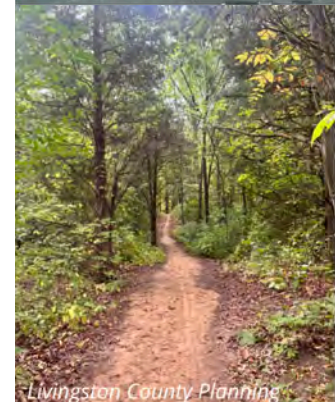
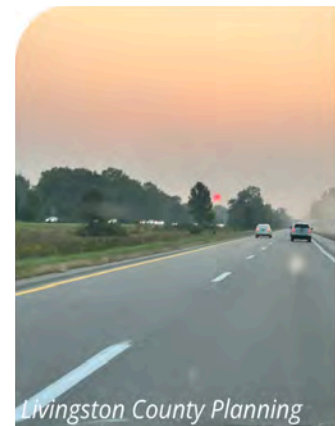
*Objective:* Regularly attend Livingston County Transportation Coalition meetings and facilitate cross-organizational coordination.

## Goal #2: Promote Transportation Safety

Enhance safety for drivers, pedestrians, and cyclists by identifying high-risk areas.

*Objective:* Analyze crash data and share findings with local and regional transportation agencies to support safety improvements.

*Objective:* Encourage local jurisdictions to adopt design best practices for pedestrian, bicycle, and roadway safety through model policies.



## Transportation: Goals & Objectives

### Goal #3: Coordinate Transportation with Land Use and Growth Areas

Guide transportation decisions in ways that support compact growth, reduce infrastructure costs, and protect the county's rural character.

*Objective:* Focus improvements in areas with planned development to reduce the risk of sprawl and preserve agricultural and natural land.

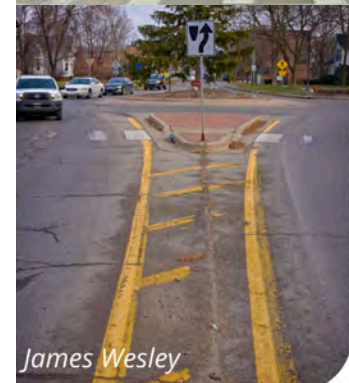
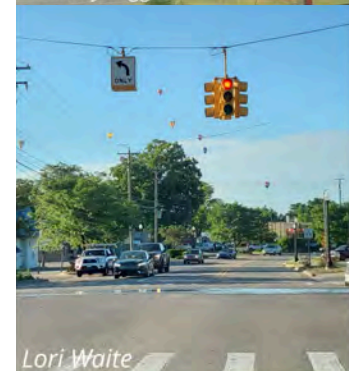
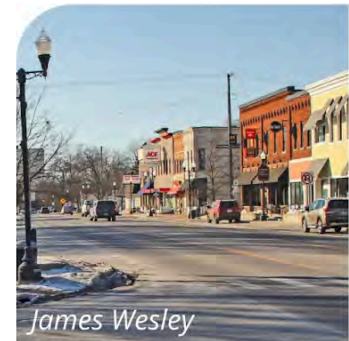
*Objective:* Partner with townships, cities, and regional stakeholders to align road projects with land use, housing, and utility planning.

### Goal #4: Enhance Connectivity Within and Beyond the County

Advocate for connection improvements across communities and regional hubs to reduce commute times and strengthen access to jobs, services, and amenities.

*Objective:* Provide data and best practices to help local governments prioritize transportation improvements in areas designated for future development, minimizing sprawl.

*Objective:* Support coordination between townships, the road commission, and regional partners by facilitating conversations that align transportation planning with local master plans and housing strategies.





# INFRASTRUCTURE

# Livingston County: Infrastructure

## Snapshot

### Broadband Expansion

A 120-mile Middle-Mile fiber network is being built to bring high-speed internet within 3 miles of every household in Livingston County.

### Demand for New Technologies

Livingston County is seeing a rise in proposals for technologies such as large scale renewable energy or data center developments.

### Protecting Drinking Water

The MHOG Utility Department, Livingston County Drain Commission, and local public works departments are working to safeguard municipal water supplies.

### New Materials Management Plan

Livingston County is drafting a comprehensive plan to reduce landfill use and promote a circular economy.

Livingston County's utility and technology systems are essential for community well-being and economic growth. From water treatment and electric service to broadband expansion and data infrastructure, utility providers and public agencies across the county are working to improve reliability, accessibility, and long-term resilience.

This chapter provides an overview of utility and infrastructure conditions in Livingston County, with attention to key providers, major infrastructure systems, and planning trends shaping the future. By outlining current assets, gaps, and initiatives in areas like water management, broadband access, solid waste planning, and renewable energy deployment, this section aims to support townships and local agencies in making informed, future-focused land use decisions.



## Water Management



The Livingston County Drain Commissioner deals almost exclusively with issues that directly or indirectly affect water quality. Livingston County has approximately 500 miles of county drains established under the provisions of the Michigan Drain Code, Act 40 of the Public Acts of 1956, as amended ("Drain Code"). The Drain Commissioner's office is actively involved in county-wide stormwater management, watershed planning, lake management, solid waste programs like household hazardous waste disposal, wastewater treatment, soil erosion control programs, and emergency management.

Additionally, the Marion Howell Oceola Genoa (MHOG) Utility Department is responsible for managing municipal water and sanitary sewer systems in these townships. The department oversees water treatment plans, water towers, wellhead protection areas, and more. It is critical to safeguard areas identified as wellhead protection areas to prevent contamination of drinking water and maintain their recharge levels. MHOG has established a comprehensive Wellhead Plan that outlines guidelines for wellhead protection within the municipalities. Other regions of the county are serviced by individual municipalities or private wells/ septic systems.

The Cities of Brighton and Howell, as well as the Villages of Fowlerville and Pinckney, have collection systems and treatment systems for wastewater from residents and businesses. In addition to these municipal systems, the Townships of Brighton, Green Oak, Hamburg, Handy, and Howell Township have smaller wastewater treatment facilities and collection systems that serve a portion of their residents. Furthermore, Deerfield, Hartland, Marion, Osceola, Putnam, Tyrone, and Unadilla Townships have wastewater collection systems that serve a portion of their residents, where waste is conveyed to a treatment facility in an adjoining community (Information courtesy of the Livingston County Drain Commissioner's Office).

Similar to waste treatment, the cities and villages within the county also have their own water treatment and distribution system. Certain local townships have their own drinking water collection, treatment, and distribution systems (including Brighton Township, Genoa Township, Green Oak Township, Hamburg Township, Hartland Township, Howell Township, Marion Township, and Oceola Township) (Information courtesy of the Livingston County Drain Commissioner's Office). The vast majority of county residents have water supplied by an onsite well, constructed according to state and county health department requirements.

Activities that could significantly impact groundwater quality and quantity and should be used with caution or prohibited in these vulnerable areas. Such activities could include underground hazardous materials, storage tanks, facilities that utilize or store substantial amounts of hazardous materials or waste, large on-site sewage disposal systems, petroleum pipelines, landfills, and surface mining operations.



## Solid Waste Management

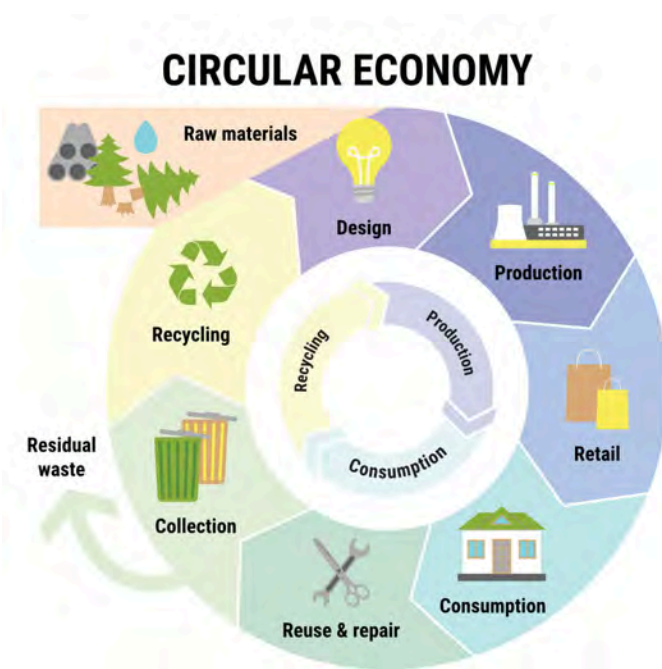
The Department of Public Works (DPW)/ Solid Waste Management operates within the office of the Livingston County Drain Commission. The Livingston County DPW/ Solid Waste Coordinator is responsible for maintaining and overseeing the Livingston County Solid Waste Plan (soon to be updated to the Livingston County Materials Management Plan).

There are no active landfills in Livingston County, however, there are several places in the greater region that residents and haulers may take their waste. Residents are encouraged to contact their local township, city, or village for information regarding whether they need to secure a trash hauler on their own or if a company may have contracts with their municipality or subdivision.

Curbside recycling is available to some county residents. Each trash hauling company that offers curbside recycling has its own requirements for how materials should be prepared and what is accepted. Residents should contact their individual trash hauler for more information on curbside recycling options.

Drop-off recycling, however, is available to all county residents at Recycle Livingston, located at 170 Catrell Drive, Howell, MI. The materials brought to Recycle Livingston are sent to markets to ensure that they are reused and repurposed. To maintain their site operation, Recycle Livingston relies on memberships, donations, and revenues from fundraising events.

## Materials Management Planning



Source: Amtivo

Public works and environmental services play a crucial role in maintaining the infrastructure and health of our communities. The public works department is responsible for ensuring that essentials like clean water, waste management are well maintained and efficient. Livingston County is currently in the process of drafting a Materials Management Plan to identify alternatives to landfilling, reduce environmental impacts, and contribute to a circular economy. Through highlighting the best use for recyclable, organic, and other solid materials, the Materials Management Plan hopes to protect natural resources and promote long-term environmental sustainability. More information can be found at the [Livingston County Materials Management Planning website](#).

## Electric Providers



The primary providers of electricity in Livingston County are Consumers Energy and DTE Energy.

**DTE Energy:** DTE Energy, formerly known as Detroit Edison Company, is an investor-owned utility company founded in 1886, serving approximately 2.3 million customers across southeast Michigan and parts of Livingston County. The company operates an extensive electrical network that totals over 44,000 miles of power lines and infrastructure. Much of DTE's current equipment is being upgraded through tree-cutting and grid improvements for local energy reliability. The DTE portfolio also includes non-utility businesses focused on industrial energy services, renewable natural gas, and energy marketing and trading.

**Consumers Energy:** Consumers Energy is another provider of electric and natural gas service throughout the Livingston County area. They deliver utility services to approximately 6.7 million customers across all 68 counties in Michigan's Lower Peninsula, including Livingston County. Founded in 1886 and headquartered in Jackson, Michigan, Consumers Energy's facilities include hydroelectric operations, wind farms, a nuclear power plant, and several gas-powered plants. Consumers Energy has been extremely proactive in transitioning to sustainable energy sources, with plans to phase out coal-fired plants by 2025. They have also been investing in electric vehicle (EV) infrastructure and development by partnering with General Motors to develop "smart charging" technologies and encourage the development of several EV charging stations across Michigan.

## Electricity Transmission Operators

**International Transmission Company (ITC):** ITC is the primary provider of electricity to homes and businesses after it has been generated at power plants owned and operated by DTE and Consumers Energy. The electricity is converted to high voltage current, so it travels efficiently over miles of power lines. Once this electricity reaches local utilities, it is then stepped down to lower voltages so it can be distributed to homes, businesses, and other facilities. This system is governed by various federal, regional, state, and local authorities overseeing safety, standards, siting, and rates.

ITC has transmission lines in Livingston County at two main locations within county borders: a north-south line in Unadilla, Iosco, Handy, and Conway Townships, and an east-west transmission line that spans Conway, Cohoctah, Deerfield, and Hartland Townships. Recent projects were also announced in Livingston County, including the 'Oneida to Sabine Lake' 345kV line project, which builds a new transmission line and a new substation that will be sited in Cohoctah Township.

## Power Outages

Outages are reported and serviced by their respective utility providers. As heard by the Livingston County public survey, which had over 1,000 respondents:

- 4.76% of survey respondents said they never lose power
- 62.40% of survey respondents said they lose power between 1 and 3 times per year
- 25.99% of survey respondents said they lose power between 4 and 6 times per year
- 6.85% of survey respondents said they lose power over 7 times per year

Average Outage Length:

**122.7  
minutes**

DTE Energy and Consumers Energy now offer outage credits to customers for extended outages.

## Natural Gas Service

Consumers Energy is the primary provider of natural gas services in Livingston County. The company distributes natural gas to over 1.7 million customers in Michigan through an extensive network of transmission and distribution pipelines. Consumers Energy purchases all the natural gas it provides to customers, ensuring a reliable supply for residential and business needs. The company is constantly involved in initiatives to enhance safety and reliability, such as pipeline inspections and infrastructure upgrades.

## Renewable Energy

Laws such as 2008's Public Act 295 established a Renewable Portfolio Standard (RPS), requiring that 10% of Michigan's energy come from renewables by 2015. In 2016, Public Act 342 raised the standard to 15% by 2021.



Most recently, Governor Whitmer announced a plan to reach 100% clean electricity by 2040– a goal codified in Public Act 233 of 2023. This law grants the Michigan Public Service Commission (MPSC) the authority to oversee the siting of utility-scale renewable energy projects, allowing developers to streamline approval processes that were previously managed at the local level. As a result, energy conglomerates have accelerated the deployment of renewable energy technologies. Livingston County has experienced this shift, with alternative energy installation proposals quickly increasing.



## Broadband/ Internet

Livingston County has prioritized broadband as essential infrastructure critical for long-term sustainability and prosperity. Broadband connectivity improves educational outcomes, provides public safety benefits, and supports robust economic development and agricultural initiatives. Unfortunately, many homes in the community do not have reliable access or a connection at all to high-speed internet.

In 2022, the Livingston County Information and Technology Department partnered with the Merit Network's Michigan Moonshot team to survey communities throughout Livingston County. The main goal was to assess connection, satisfaction and quality of broadband. The current source for broadband connection was from the FCC Nation Broadband Map showing that Livingston County has 90% coverage. The FCC map (Form 477) is self-reported by service providers and is the basis for broadband coverage in the United States. The Merit Survey had 6,112 completed surveys with 1,856 of those self-reporting they had no internet in their home. Survey results indicated that 56% of households overall do not have access to fixed broadband, most of which are located in the western and northern portions of the county. In contrast, the study found that the southeast portion of the county (including the areas around Brighton and Pinckney) and the region surrounding Howell have the highest rates of broadband access.



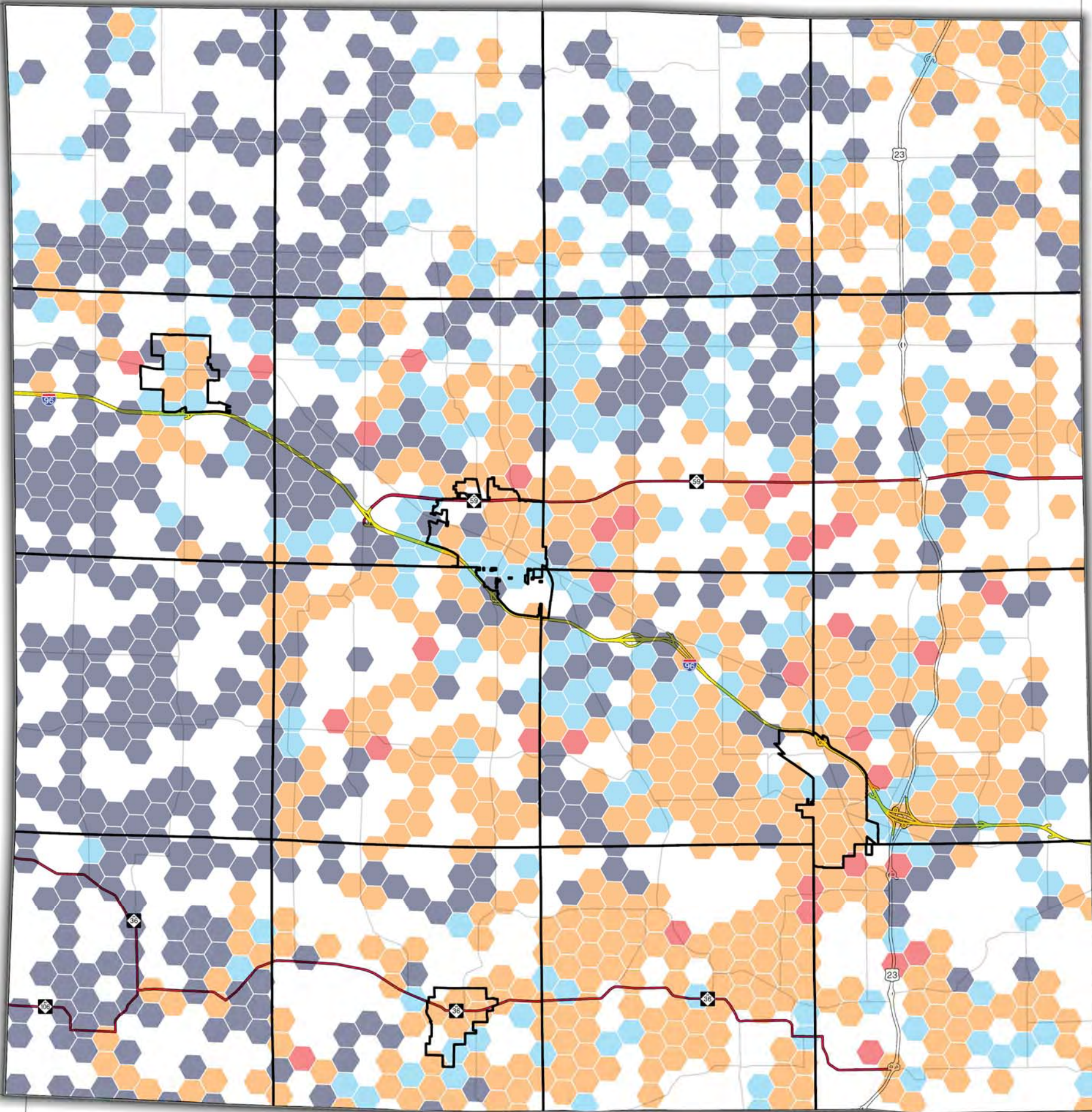
# 56%

of Livingston County households reported having no access to broadband internet in 2022.

In March of 2021, the Livingston County Board of Commissioners took action to seek funding from the U.S. Department of Agriculture's Rural Redevelopment Grant and sought out \$12 million in federal funding to add on and develop the County fiber optic cable system to get further out into the County with the possibility of fiber optic broadband service. In 2022, Livingston County selected eX<sup>2</sup> to design and build a 120-mile middle-mile fiber optic network, ensuring that there is fiber access within three miles of all residents. The project is now nearing completion.

The *Livingston County Broadband Access Map* on the page below shows the areas with the highest and lowest densities of high-speed broadband access within the county *prior* to when the project was implemented. Data does not yet exist to evaluate data coverage *since* the fiber line has been constructed.





- Aggregated Upload and Download Speeds
- At or Above 100/20
  - At or Above 25/3, Below 100/20
  - Below 25/3
  - No Internet
  - No Survey Data Collected

The map reflects all served and unserved households aggregated within 1.5 mile wide hexagonal bin. Using these numbers as indicators of the share of all households (including those who did not respond) that have broadband must take margins of error into consideration, which depend on the total number of responses and the total households in an area. At the county level, the margin of error is in the 1.2% range. For individual municipalities, the margin of error is in the 3% - 9% range.



# Livingston County Broadband Access





## Data Centers

Data processing centers are facilities that manage and process large volumes of data. These centers have existed for some time, with notable examples such as Switch, which redeveloped the former Steelcase building in Grand Rapids, Michigan, in 2015. However, with the exponential growth of Artificial Intelligence (AI) it has led to an increased demand for data centers capable of supporting the substantial processing power required by these technologies. Furthermore, the extension of the data center tax breaks until 2050 (PA 207 of 2024), making Michigan an increasingly attractive location for large companies considering new data center projects. These development projects can be expansive that require large amounts of land and require a significant amount of land and require a significant amount of energy and water resources.

The American Planning Association highlighted data centers as a significant trend in their APA Trend Report 2025, emphasizing the crucial role that planning can play in this domain. These technological advancements could help communities balance the benefits of AI with its resource consumption. Planners can implement regulations to determine data center locations and establish development requirements. As building net-zero data centers could support both economic growth and environmental sustainability, planners could work to create incentives for companies that prioritize green AI initiatives and help establish guidelines for responsible AI deployment within their jurisdictions”

Planners are tasked with balancing the need for technological advancement with considerations such as environmental impact, energy consumption, and community integration. By fostering collaboration between local governments, developers, and communities, planning can help navigate the complexities of zoning, resource management, and economic development related to data center projects.





# Infrastructure: Feedback & Current Trends

## Feedback

*How satisfied are you with the quality of  
Broadband options?*



*If you are unsatisfied with  
broadband, why?*

1. There aren't any options
2. Slow and expensive
3. Working from home is difficult
4. Nothing is available where I live
5. Inconsistent but there is only one provider.

*"[Broadband is] Expensive, constantly changing  
rate, spotty service at best."*

*-Survey Respondent*

*"Xfinity just raised my internet to \$96/month. I  
don't have the most expensive internet package  
by any means. But, because I work from home I  
need reliable fast internet and there's nothing I  
can do about the prices going up. My wages have  
not kept up with these rising costs, and my  
employer will not reimburse me for even half of  
my internet expenses."*

*-Survey Respondent*

*"Would like to have a public utility option.  
Especially with increased education and work  
being conducted online, Internet should be  
considered a public good."*

*-Survey Respondent*

## Current Trends

### Decentralized Water and Wastewater Management

There is a rising reliance on private wells and septic systems in rural areas.

### Circular Waste Systems

Many municipalities are shifting away from landfill dependency and toward recycling-focused policies.

### Large-Scale Renewable Energy

State level authority has prompted the rise of large, utility-scale renewable energy project proposals in many rural areas with large plots of open land.

### Data Centers

Tax incentives and the growth of artificial intelligence have spurred interest in locating data centers in areas with significant energy and water capacities.

### Broadband & Internet Expansion

Broadband is increasingly viewed as critical infrastructure for education, economic development, and healthcare.

## Infrastructure: Goals & Objectives

### Goal #1: Support Improved Reliability of Utility Infrastructure

Provide data, coordination, and planning assistance to help local governments and utility partners improve the reliability of electric, water, wastewater, and natural gas infrastructure throughout the county.

*Objective:* Facilitate communication between utility providers and local governments to share outage data, identify infrastructure gaps, and plan for grid and system improvements.

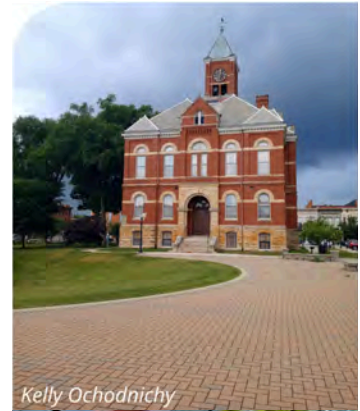
*Objective:* Assist townships with mapping critical infrastructure and identifying areas with aging systems or environmental vulnerabilities.

### Goal #2: Facilitate and Support Efforts to Further Strengthen Broadband Access

Work with regional partners to analyze and map underserved areas.

*Objective:* Maintain and update the Livingston County Broadband Access Map.

*Objective:* Collaborate with townships and the Livingston County I.T. Department to identify shortages in broadband access.



## Infrastructure: Goals & Objectives

### Goal #3: Promote Sustainable Materials Management and Waste Diversion

Support the development and implementation of the Livingston County Materials Management Plan by encouraging cross-jurisdictional coordination and public education on sustainable waste practices.

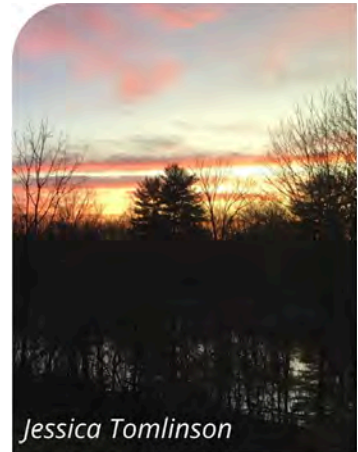
*Objective:* Coordinate outreach materials and educational campaigns that promote waste reduction and participation in initiatives set forth by the Livingston County Materials Management Plan.

### Goal #4: Provide Guidance on Planning for Emerging Utility and Technology Developments

Help local communities respond to new and evolving utility trends by offering research and planning tools.

*Objective:* Prepare informational resources and example zoning language to help communities navigate large-scale energy and data center proposals, balancing development with land use and environmental concerns.

*Objective:* Track state-level policy changes and support local governments in understanding how new regulations affect their review processes and planning priorities.



Jessica Tomlinson



Livingston County  
Planning



Charles Warren





# EMERGENCY MANAGEMENT & HAZARD MITIGATION



# Livingston County: Emergency Management & Hazard Mitigation

## Snapshot

### Planning for Resilience

Building safer communities starts before disaster strikes. Livingston County encourages all communities to integrate hazard awareness and risk reduction into land use decisions.

### Sustainability is Disaster Resilience

True sustainability means preparing for and minimizing the impact of hazards.

### Integration Across Plans

The Livingston County Master Plan and Hazard Mitigation Plan are designed to be mutually reinforcing.

### Local Leadership in Preparedness

With a FEMA-approved Hazard Mitigation Plan and trained emergency professionals, Livingston County provides communities with tools and data to develop localized strategies for reducing disaster risk.

Emergency management is a necessary function of all levels of government that stresses an integrated partnership between public municipalities and the private sector. Its focus is on improving disaster operations by providing an emergency coordination and decision-making framework. It is also a comprehensive effort to mitigate, prepare for, respond to, and recover from natural, technological, and man-made disasters. The ability of a community to respond effectively to disasters thus depends largely on actions taken before the disaster takes place.

Many hazards are localized, with their likely effects confined to specific known areas: floods affect floodplains, landslides affect steep slopes, etc.. Community planning must therefore integrate awareness of natural hazards and disaster risk mitigation into standard planning processes to ensure the effects of such events are abated. As such, this section aims to identify strategies for Livingston County communities to bolster their hazard mitigation efforts.



Mikel Capollari

## Sustainability and Resiliency

Sustainable communities are characterized by development that meets the needs of the present without compromising the ability of future generations to meet their own needs. Achieving sustainability is ensuring that the cycle in which you operate forms a closed loop. That is, the resources and energy come from renewable sources, that products can be used without damage or returned for further reprocessing and that waste and transport of waste can be achieved within the capacity of natural systems to handle the by-products. As such, no community can be sustainable that is not disaster resistant. A disaster resistant community is one that seeks to undertake actions that protect families and businesses by reducing the effects of natural, technological, and man-made hazards. Sustainable development, as it relates to developing a disaster resistant community through hazard mitigation, can be achieved through the:

Identification of natural, technological, and man-made hazards facing the community (hazard/vulnerability analysis)

Development of strategies to mitigate hazards (mitigation strategies)

Integration of hazard mitigation into the community planning process (comprehensive plan/ hazard mitigation interface)

## The Interface Between the Livingston County Master Plan and the Livingston County Hazard Mitigation Plan

By integrating the emergency management function into the planning process, a governmental unit enhances its opportunity to devise and implement strategies for reducing risks from multiple hazards (i.e., floods, hazardous materials incidents, and other natural, technological, and man-made disasters). It stresses an integrated approach to management of the full spectrum of emergencies, including natural and technological disasters. This integration concept applies to all relevant hazards as well as all phases of emergency management:

- Prevention
- Mitigation
- Preparedness
- Response
- Recovery





## Prevention

**Prevention:** Actions taken to avoid an incident, stopping an incident from occurring, deterrence options and surveillance.

## Mitigation

**Mitigation:** Refers to measures that prevent an emergency, reduce the chance of an emergency happening, or reduce the damaging effects of unavoidable emergencies.

## Preparedness

**Preparedness:** Activities that increase a community's ability to respond to a disaster. Includes developing mutual aid agreements and memorandums of understanding, training, and conducting disaster exercises to reinforce training and test capabilities.

## Response

**Response:** Actions carried out immediately before, during, and immediately after a hazard impact, which are aimed at saving lives, reducing economic losses, and alleviating suffering.

## Recovery

**Recovery:** Actions taken to return a community to normal or near-normal conditions, including the restoration of basic services and the repair of physical, social, and economic damages.

### Hazard Mitigation/ Comprehensive Plan Integration:

- Is multidisciplinary
- Addresses all hazards
- Is an issue of development
- Must be integrated into the fabric of each organization

Through the integration of the community planning function with emergency management, planning is in a unique position of combining mitigation measures with development management programs into coordinated strategies that effectively address the opportunities and problems of hazard mitigation.

This integrated approach to planning and emergency management recognizes that, while responses to emergencies are the central focus during disasters, mitigation activities to reduce the degree of risk, preparedness activities to increase the capability to respond, and recovery activities required to return the governmental operations to normal are equal components in a successful program that will allow public officials to meet their responsibility to provide for the protection of their citizens. Since hazard mitigation can include many different strategies (i.e., improving emergency preparedness, strengthening the built environment, avoiding development in hazardous locations, and acquiring adequate insurance coverage), the challenge is for those disciplines to come together in promoting a clear and concise hazard mitigation message to the public. Most of the burden of recovering from a disaster falls squarely onto the shoulders of the local government. A severe disaster can bring extraordinary hardship to a community's citizens, devastate its economic base, and damage its quality of life. A disaster also creates enormous pressure for local officials to swiftly take action. Understanding the principles of community emergency management and how those principles can be integrated into the community planning process can help provide answers for local communities.



#### Authority for a Hazard Mitigation Plan

The Disaster Mitigation Act of 2000 (DMA 2000, Public Law 106-390) amended the Robert T. Stafford Disaster Relief and Emergency Assistance Act by repealing the previous mitigation planning provisions (Section 409) and replacing them with a new set of requirements (Section 322). The requirement for a state mitigation plan remains a condition of receiving federal disaster assistance. The new requirements emphasize the need for state, tribal, and local entities to closely coordinate mitigation planning and implementation efforts. States that demonstrate an increased commitment to comprehensive mitigation planning and implementation can increase the amount of funding available through the Hazard Mitigation Grant Program (HMGP).



Additionally, Livingston county has an Emergency Management Department that includes an Emergency Management Director and an Assistant Emergency Manager to assist Livingston County communities with information for emergency and disaster planning to become more resilient. The Livingston County Planning Department also has planners trained and certified as Michigan Professional Emergency Managers (PEM). Assistance is available from these professionals and may be sought prior to initiating any emergency management planning endeavors, as they have the ability to facilitate local cooperation and collaboration to ensure community efforts are not duplicated.

### *Livingston County 2022 Hazard Mitigation Plan*

The Livingston County 2022 Hazard Mitigation Plan is a compilation of natural hazards, vulnerabilities, historical events, and mitigation strategies specific to Livingston County. The county's Hazard Mitigation Plan is a FEMA-approved plan, created through a collaborative effort between county departments and agencies (the Livingston County Planning Department, the Livingston County Information and Technology GIS, the Livingston County Emergency Management Department, the Livingston County Drain Commissioner's Office, and the Livingston County Health Department) as well as local jurisdictions. It is intended for review by the public, local jurisdictions, private business, government entities, and others with interests in Livingston County. The plan's overview of natural hazards, historical events, and mitigation strategies are meant to inspire responsible community planning; allowing citizens and businesses insight as to what Livingston County recognizes as potential hazards and give them an opportunity to plan in advance for emergency events. The plan includes data and mapping that reaches all of the county's twenty jurisdictions and promotes the integration of this data and mapping into local plans.



### *Integration of Hazard Mitigation Concepts*

Local units of government should use this plan as a base document to integrate the county hazard mitigation information into a more localized and specific plan tailored to their community. This cooperative effort will produce a countywide mitigation strategy that can help Livingston County become a disaster-resistant community. There are numerous benefits to integrating the hazard mitigation concepts of this plan into a community's master plan process, including:

Creating a new effective planning tool

Supporting effective pre- and post-disaster decision-making

Providing a forum for analysis of potentially sensitive issues

Speeding the return of the impacted community to normalcy

Reducing a community's vulnerability to disasters

Enhancing credibility for hazard mitigation programs and projects



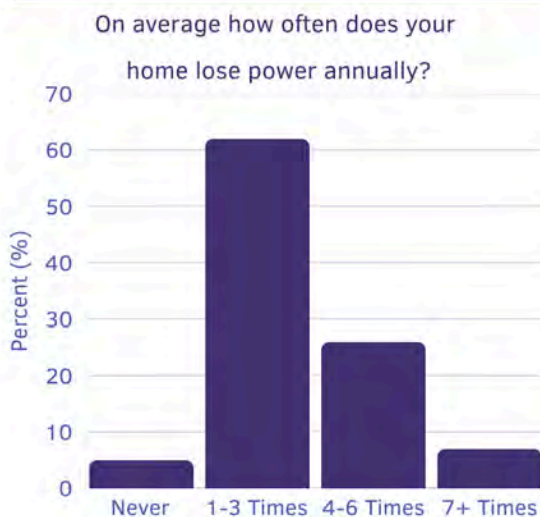
The concept of integrating hazard mitigation with comprehensive planning is based on the belief that the efforts of many disciplines are necessary to reduce the consequences of natural disasters. This idea began with the Livingston County Planning Department's development of the book entitled "Comprehensive Plan/ Hazard Mitigation Interface" guidebook in 1998. This guide was the first of its kind by a local planning department in the country, and the book is designed to enable the reader to develop strategies to integrate hazard mitigation into the community comprehensive plan. Through reviewing principles of emergency management and the practice of community planning and defining the "common threads" that bind the two disciplines, the book provides integrative strategies that can lead to a community hazard mitigation action plan. The Livingston County Planning Department continues to believe that an emergency management/ hazard mitigation chapter is an essential element of comprehensive planning, and should be incorporated in all governmental levels.



# Emergency Management & Hazard Mitigation: Feedback & Current Trends

## Feedback

Only 6% of respondents reported their home experienced property damage from natural flooding events over the past 5 years.



*"We need to strengthen and fund our emergency services with the planned population increase. Police, Fire, EMS and Healthcare Facilities should be pre planned not an afterthought."*

*-Survey Respondent*



## Current Trends

### Nature-Based Solutions

Nature-based solutions are methods where communities leverage their natural resources to cost-effectively manage the impacts of natural hazards.

### Resilient Building Codes

Strong, resilient building codes can reduce community risk to natural and man-made disasters, therefore reducing overall disaster recovery costs.

### Land Use Planning Integration

Many communities are improving their preparedness through scenario planning, or the development of multiple possible future scenarios to address potential risks and vulnerabilities.

### Scenario Planning

Many communities are improving their preparedness through scenario planning, or the development of multiple possible future scenarios to address potential risks and vulnerabilities.

## Emergency Management & Hazard Mitigation: Goals & Objectives

### Goal #1: Integrate Hazard Mitigation into Local and Countywide Planning Processes

Encourage local units of government to reduce risk through land use planning, zoning, and development review practices that account for existing and future hazard vulnerabilities.

*Objective:* Promote the incorporation of zoning standards that regulate impervious surfaces, protect watercourses and floodplains, and discourage development on steep slopes or unstable soils.

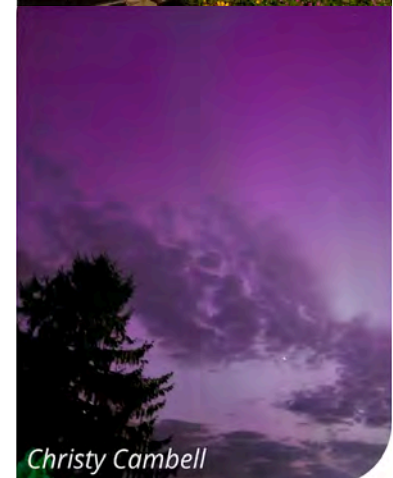
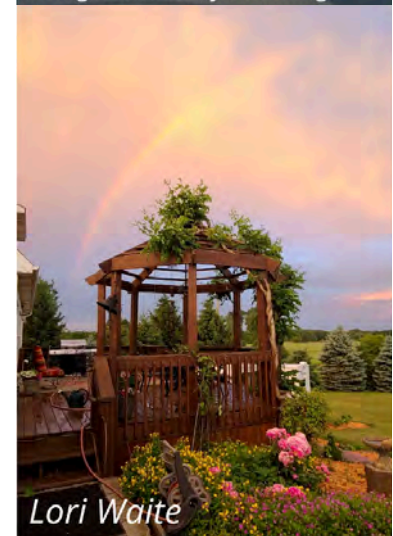
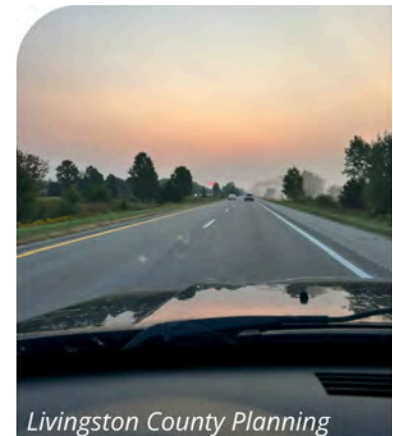
*Objective:* Recommend spatial separation and buffering between hazardous uses and vulnerable populations (schools, hospitals, care facilities, etc.).

### Goal #2: Encourage Sustainable and Resilient Development Patterns Countywide

Guide local governments toward development approaches that preserve ecological systems and reduce the potential for natural disasters.

*Objective:* Provide technical support and policy guidance discouraging new development in high-risk areas, including areas with floodplains, wetlands, and erodible slopes.

*Objective:* Encourage the integration of green infrastructure, open space and agricultural preservation, and low-impact development into local ordinance and plan reviews as a means of maintaining a buffer zone between structures and vulnerable natural features.





## Emergency Management & Hazard Mitigation: Goals & Objectives

### Goal #3: Promote Intergovernmental Coordination for Hazard Mitigation

Minimize disaster-related injuries and loss of life through public education, hazard analysis, and early warning.

*Objective:* Encourage Livingston County local governments to conduct in-depth hazard analyses, scenario planning, and loss estimation for their communities.

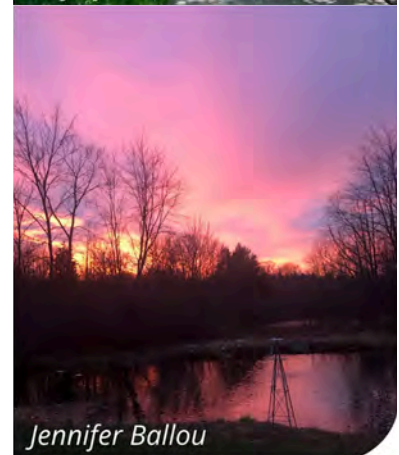
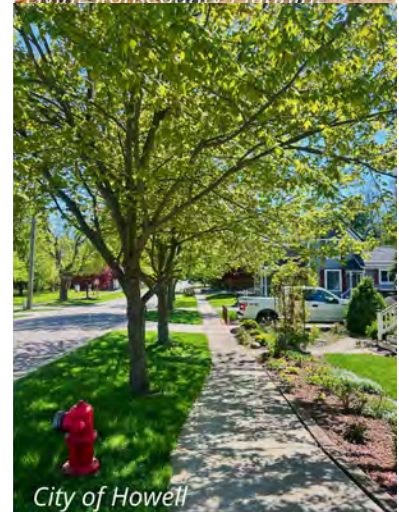
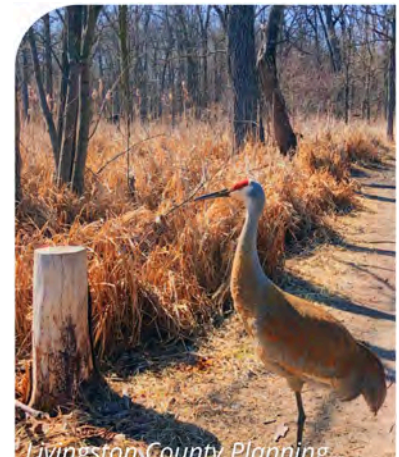
*Objective:* Encourage Livingston County local governments to formally adopt the most recent County Hazard Mitigation Plan to increase eligibility for FEMA mitigation grant opportunities.

### Goal #4: Strengthen Community Preparedness Through Public Engagement

Empower residents, business owners, and local municipalities with knowledge and tools needed to reduce risk and respond effectively to natural hazards.

*Objective:* Develop and distribute educational materials (emergency preparedness checklists, hazard maps, floodplain maps, etc.) tailored to specific communities and risk profiles.

*Objective:* Support and facilitate public education goals set forth by the Livingston County Emergency Management Department.



# EXISTING LAND USE



## Livingston County: Existing Land Use



Livingston County has an incredibly diverse landscape, with uses ranging across the rural-urban divide. Understanding how land is currently used across Livingston County lays the foundation for shaping a sustainable and strategic vision for its future. A comprehensive understanding of regional land use conditions is thus crucial for developing effective future land use goals, objectives, and implementation strategies.

### Livingston County Land Use Categories

To develop the *Livingston County, Michigan 2026 Master Plan's* Existing Land Use Map, County Planning Staff utilized the Southeast Michigan Council of Governments' (SEMCOG) "2020 Land Use" data set and vector digital data mapping files. This dataset sorts the county's land into 20 different categories, each shown as a separate area on the map. These categories include:



To facilitate more meaningful year-to-year comparisons of land use within the county, County Planning Staff consolidated similar land uses into broader categories. For example, 'Single-Family Housing' and 'Mobile Home' were combined and redefined as 'Single-Family Residential'. Each existing land use category is further detailed in the list below:



### Agricultural/ Rural Residential

The Agricultural/ Rural Residential existing land use category consists of the following two land uses:

**Farmstead:** Land that encompasses the single-family residential dwelling and associated buildings of a farm. Associated buildings of a farm may include buildings used for animal husbandry (including barns, chicken coops, and grain silos) along with accessory uses.

**Farm:** Land used for agricultural purposes. Includes discernable cultivation (ground tillage or crop rows), horticulture, floriculture (exotic flowers), viticulture (grapes), pastures, and a broad range of other agricultural activities such as horse boarding and training, kennels, sod farms, tree farms, fish production and processing, and storage areas or buildings.

### Single-Family Residential

The Single-Family Residential existing land use category consists of land used exclusively for residential purposes, containing a single dwelling unit. The Single-Family Residential land use category includes the following three land uses:

**Single-Family Detached:** Land meeting the general definition of Single-Family Residential in all local county jurisdictions and also detached from any other residential dwelling unit (i.e., with open space on all four sides). This includes detached townhomes.

**Seasonal/ Vacation:** Land meeting the general definition of Single-Family Residential in all local county jurisdictions, containing a dwelling unit occupied seasonally or used as vacation property.

**Manufactured Housing Park:** Land meeting the general definition of Single-Family Detached dwellings in all local county jurisdictions, also designated for the placement of multiple manufactured housing structures. This classification is NOT used for an individual manufactured home.

### Multi-Family Residential

The Multi-Family Residential existing land use category consists of land used exclusively for residential multi-family dwellings containing a building or multiple buildings. This category includes the following two land uses:

**Single-Family Attached:** Land meeting the general definition of Multi-Family Residential in all local county jurisdictions, containing two or more attached dwelling units (share a common wall, each with primary ground floor access to the outside). Examples: Attached townhomes, double bungalows, triplexes, and large multi-unit structures with each unit having its own external entrance.

**Multi-Family:** Land meeting the general definition of residential in all county jurisdictions, containing two or more attached dwelling units, one or more of which do not have primary ground floor access to the outside. Examples: Apartment buildings and condominiums with a single main entrance for all residents.

### Office

The Office existing land use category consists of land used predominantly for administrative, professional, or clerical services. Examples include law offices, accounting firms, medical clinics (excluding hospitals), and veterinary clinics.

### Institutional

The Institutional existing land use category consists of land used primarily for religious, governmental, educational, social, cultural, or major health care facilities (where they have beds for overnight stay). Examples include schools, synagogues, cemeteries, hospitals, nursing homes, city halls, county and state fairgrounds, and museums.

### Park, Recreational, or Preserve

The Park, Recreational, or Preserve existing land use category consists of land used for park and recreational sport assembly or passive open space. This may occur at community-level fields, regional parks, public parks, private parks, campgrounds, small urban parks, playgrounds, rest areas, and other venues used for indoor and outdoor sporting events or like purposes. This category includes passive recreational activities or areas, such as high-quality natural areas, conservation easements, park preserves, wildlife refuges, habitat areas, public plazas, river walks, Department of Natural Resources or US Fish and Wildlife owned land, greenways, and residential common areas with distinguishable walking or bike paths. In addition, the category includes land used for golfing, including driving ranges and practice areas.

### Mixed-Use Residential and Commercial

The Mixed Use Residential and Commercial existing land use category consists of land containing a building with mixed uses. The category includes the following three land uses:

**Mixed-Use Residential:** Lands that blend multiple uses, such as residential, commercial, cultural, institutional, or entertainment into one space where those functions are to some degree physically and functionally integrated, improving pedestrian connections (i.e., a live/work development)

**Mixed-Use Commercial and Other:** Land containing a building with multiple uses but with zero residential units or industrial uses. An example could include a building containing commercial shops, a childcare facility, offices, and/or restaurants. Downtown areas usually

have buildings where the first and/or second floor is commercial and the rest is office; these types of buildings would be included under this category.

### Retail and Other Commercial

The Retail and Other Commercial existing land use category consists of land used for the provision of goods or services. This category is for general sales and services that comprise the vast majority of establishments typically associated with commercial land use. This category is used as the default for commercial/ retail land uses. Examples can include stores, restaurants, hotels, banks, daycare facilities, mini-storage facilities, a YWCA or YMCA facility, and a skeet club/ outdoor gun range.

### Transportation, Communication, or Utility

The Transportation, Communication, or Utility existing land use category consists of major roadway strips of land on which vehicular rights-of-way exist under the following conditions: all interstate highways; all 4-lane divided highways with rights-of-way of 200 feet or greater in width; or all 4-lane roads with National Functional Classification designation of 'Principal Arterial'. This category also includes land used and occupied by multiple railroad track lines or similar uses. This includes railroad classification, storage, and repair yards; intermodal containerized freight and trainload facilities; and railroad depots that might otherwise be classified as industrial (i.e., wastewater treatment plants, water towers, large transit garages, DOT road sanding stockpiles, or maintenance staging areas). In addition, this category includes land used for the operation of aircraft (Livingston County Spencer J. Hardy Airport) and any other private airfield/ airstrips, including any related uses that are on airport property (i.e., associated parking lots). Lastly, the category includes all communication-related land uses (such as cellular or transmission towers) as well as all public and private utility uses (i.e., electric, potable water, gas, oil, steam, cable, and sewer facilities). Radio and TV stations are also included in this category.

### Extractive

The Extractive existing land use category consists of land containing extractive industries, for example, gravel pits or quarries.

### Industrial

The Industrial existing land use category consists of land containing manufacturing, transportation, construction companies, or wholesale trade. This category includes publicly owned industrial lands. Industrial includes warehouses, some special horticultural uses (i.e., large greenhouses that do not sell to the public), landfills, and automotive junkyards.



### Undefined by Local Jurisdiction

The Undefined by Local Jurisdiction existing land use category consists of land not currently used for any defined purpose that may or may not contain buildings or other structures, or has no discernible use based on the aerial photos or available data. Undeveloped may include non-protected wetlands or lands currently under development. Note: these lands are NOT necessarily available for development.

### Water Bodies

The Water Bodies existing land use category consists of bodies of open water or flowing waterways, inclusive of a discernible shoreline. This typically does not include wetlands or periodically flooded areas. Generally, only features three acres or greater in size were delineated. Areas definable as another land use type will not be depicted as in the Water Bodies category (e.g., major highway bridge over a river and marina).

### Livingston County Existing Land Use Characteristics



According to the US Census Bureau, Livingston County has an area of approximately 585.25 total square miles, of which 565 square miles (~96.6%) is land and 20 square miles (~3.4%) is water. The character and land use of Livingston County can be said to be split nearly down the middle from north to south, with urban land uses generally on the east side of the County and rural, agricultural land uses typically on the west. There is some truth to this demarcation as nearly half of the population resides in the southeast quadrant of the County, and the majority of farmland in Livingston County lies in the western half of the county (Refer to Demographics Chapter). This contrast of land uses factors into the County's appeal, as our residents can easily experience many ways of life close to home. Generalized land use data from the Southeast Michigan Council of Governments (SEMCOG, 2020) reveals the following snapshot of land use in Livingston County:



As the *Livingston County Existing Land Use* table shows, agriculture contributes heavily to the economic viability of Livingston County as well as to the rural beauty and sense of place. Agricultural/ Rural Residential land uses account for an estimated 216,282 acres within the county, representing 57.7% of the total land area. While the SEMCOG data combines both farmsteads (with a residential component included) and farms under this classification, it can be

logically assumed that the majority of lands in this category are associated with agricultural fields and pastoral farming activities. This land use category realized a somewhat significant decrease in overall acreage between 2015 and 2020, losing approximately 2,326 acres of land (a 1.1% decrease) over this period.

Parks, recreation, and open spaces are very abundant in Livingston County. An estimated 36,463 acres of land are dedicated to state, regional metroparks, county, city, village, and township parks. This land use category accounts for 9.73% of the total area of the county. The natural beauty of parks and recreation land areas, as well as undeveloped open space lands and high-quality natural areas, has drawn new residents to Livingston County for decades.

The abundance of water features found in Livingston County comprises approximately 3.4% of the total county land area. Over 75 inland lakes with associated streams and wetlands, and three major river courses (Shiawassee, Huron, and Red Cedar) have attracted people to vacation and recreate in Livingston County for many generations.

Non-residential land use, such as commercial, industrial, institutional, and office, comprises approximately 3.6% of land use in Livingston County. Industrial land use comprises nearly half of this residential land use (1.56%). This is in large part due to the presence of the automotive-related industry in the County. Industrial land uses also realized a somewhat significant shift in areas devoted to this land use in the County, as between 2015 and 2020, this category saw a loss of 661 acres for an overall 10.1% decrease over this time.

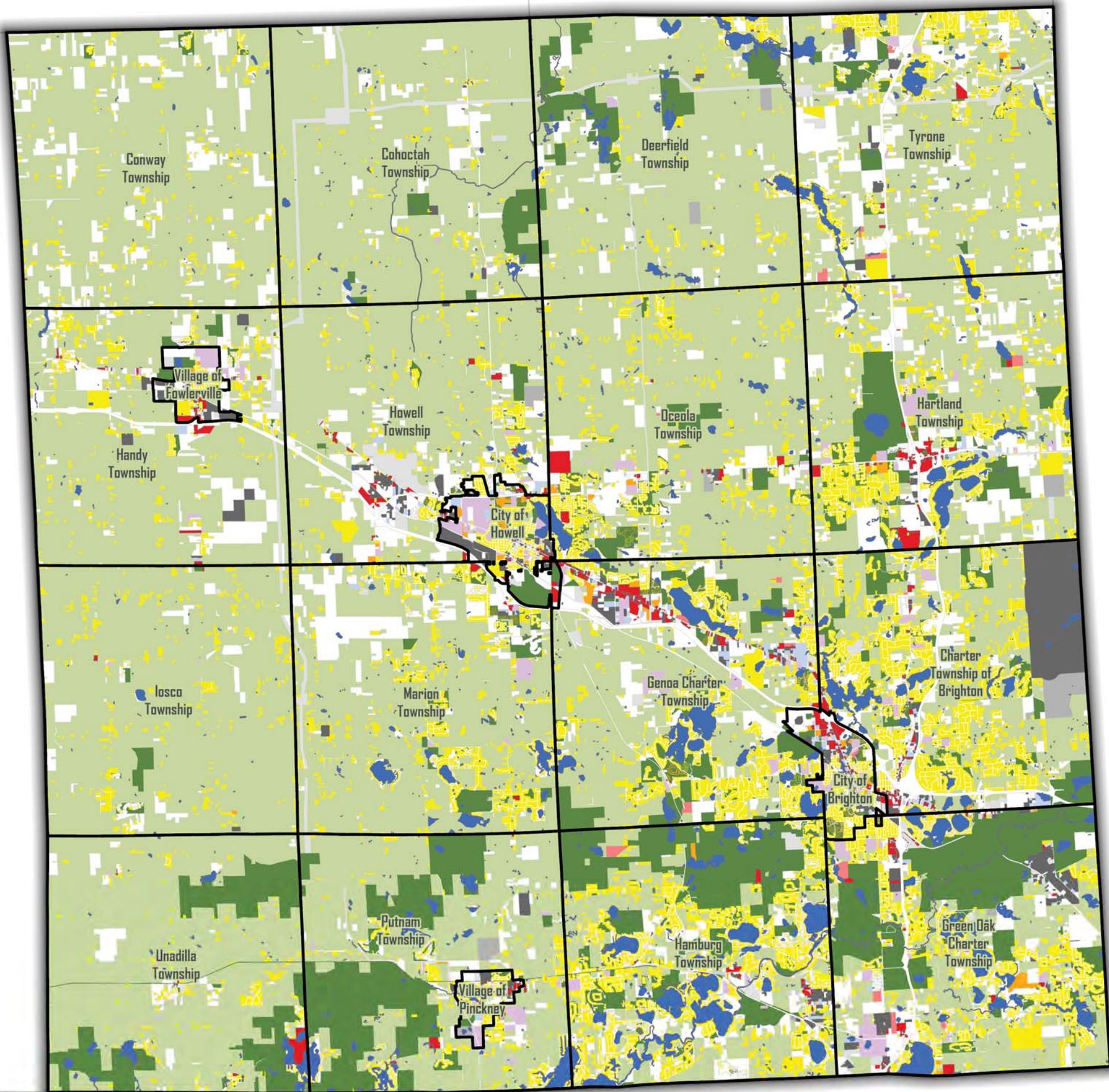


## Generalized Existing Land Use Profile

Livingston County Existing Land Use					
<i>Existing Land Use Category</i>	<i>Acres (2015)</i>	<i>Acres (2020)</i>	<i>Percent of Total Acres in County (2020)</i>	<i># Acres Change (2015-2020)</i>	<i>Percent Change (2015-2020)</i>
<u>Agricultural/ Rural Residential</u>	218,609.4	216,282.6	57.74%	-2,326.8	-1.1%
<u>Single-Family Residential</u>	40,607.0	41,783.1	11.16%	1,176.1	2.9%
<u>Multi-Family Residential</u>	876.7	886.7	0.24%	10.0	1.1%
<u>Office</u>	834.1	912.1	0.24%	78.0	9.4%
<u>Institutional</u>	4,247.9	3,854.2	1.03%	-393.7	-9.3%
<u>Park, Recreational, or Preserve</u>	36,219.3	36,463.1	9.73%	243.8	0.7%
<u>Mixed-Use Residential and Commercial</u>	440.9	477.5	0.13%	36.6	8.3%
<u>Retail and Other Commercial</u>	2,907.6	2,742.2	0.73%	-165.4	-5.7%
<u>Transportation, Communication, or Utility</u>	4,210.6	4,250.2	1.13%	39.6	0.9%
<u>Extractive</u>	1,222.9	1,222.9	0.33%	0.0	0.0%
<u>Industrial</u>	6,512.6	5,851.7	1.56%	-660.9	-10.1%
<u>Undefined by Local Jurisdiction</u>	45,334.7	47,297.4	12.63%	1,962.7	4.3%
<u>Water Bodies</u>	12,542.5	12,542.5	3.35%	0.0	0.0%
TOTAL	374,566.3	374,566.3	100%	0.0	0.0%

The *Livingston Existing County Land Use Map* on the following page provides a visual portrait of the generalized existing land uses in Livingston County as of 2020. As has been previously described, the map indicates the vast rural character of the western and northwestern portions of the County, while the eastern and southeastern portions of the county are generally more urbanized. Again, this probably has much to do with the proximity of Interstate 96 and US 23 to the eastern half and southeastern quadrant of the county. Additionally, large areas of parks, recreational, and open space lands dominate the southern quadrant of the county, which consists of many large state, regional, and local parks.





# Livingston County Existing Land Use - 2020



- Generalized Existing Land Use Categories**
- Agricultural/Rural Residential
  - Single-family Residential
  - Multi-family Residential
  - Office
  - Institutional
  - Park, Recreational or Preserve
  - Mixed Use Residential and Commercial
  - Retail and Other Commercial
  - Transportation, Communication or Utility
  - Extractive
  - Industrial
  - Undefined By Local Jurisdiction
  - Water Bodies

Data Source: SEMCOG

NOTES:  
Agricultural / Rural Residential includes any residential parcel containing one (1) or more homes where the parcel is 3 acres or larger.  
Mixed Use includes those parcels containing buildings Hospitality, Retail, or Office square footage and housing units.  
Undefined includes all areas within a community that are not covered by a parcel legal description.  
Undefined parcels that do not have a structure assigned to the parcel are considered vacant unless otherwise indicated, even if the parcel is part of a larger development such as a factory, school, or other developed series of lots.





# FUTURE LAND USE

# Livingston County: Future Land Use

## Intent & Construction of the Future Land Use Map

The *Livingston County, Michigan 2026 Master Plan* along with the *Livingston County Generalized Future Land Use* map are intended to be used as advisory documents. The Livingston County Planning Department and the Livingston County Planning Commission recognize that each city, village, and township in Livingston County either has its own master plan, comprehensive plan, land use plan, or legal ability to create and adopt one. Each municipality also has a zoning ordinance in effect to regulate the use of land within their community. With that in mind, this *Livingston County, Michigan 2026 Master Plan* is not intended to replace or supersede any local plan in the county. It has also not been developed for, nor is it intended as the basis for developing a County Zoning Ordinance to replace city, village, or township zoning ordinances. As such, the Livingston County Future Land Use map is a land classification tool that focuses less on specific development type and more on generalized development densities and location. The map is not parcel-specific and does not show exact boundaries, but instead illustrates the broad-scale direction of the county's development and conservation. It is intended to be used only as a tool to aid the reader in envisioning the goals, policies, and ideas presented throughout this Master Plan.



Charles Warren

This generalized future land use map is an agglomeration and consolidated vision of the *Livingston County, Michigan 2026 Master Plan's* goals, as well as local municipalities' master plans, zoning ordinances, and future land use maps. Future development forecasts and existing infrastructure locations were also used to determine the location of the different categories.

This plan and the *Livingston County Generalized Future Land Use* map will be used by the Livingston County Planning Commission when reviewing text or map amendments to local ordinances and master plans. An amendment's consistency or inconsistency with the *Livingston County, Michigan 2026 Master Plan* and accompanying map will influence the advisory decisions made by the Planning Commission.

All of the prior information included throughout this plan— including the background studies, citizen and government input, current trends, and our goals and objectives— were taken into account and



translated into this *Livingston County Generalized Future Land Use Map*. In addition, local master plans, future land use maps, and zoning maps played a major role in interpreting and defining this vision. Forecasts of future development and existing infrastructure were also considered.

#### Generalized Future Land Use Map Categories

In developing this map, all townships' future land use maps were reviewed. Using the combined township maps as the starting point, the Livingston County Planning Department considered common themes and consistencies, survey and poll data from municipalities and residents, computer land use change models and other information to generate the *Livingston County Generalized Future Land Use* map. The *Livingston County Generalized Future Land Use* map features nine future land use categories based upon those found in numerous township future land use plans:

Agriculture Preservation/ Rural Residential

Primary Residential

Primary Growth Area

Secondary Growth Area

Industrial/Extractive/ Research & Development

Incorporated Cities & Villages

Settlements

Parks & Recreation Areas

Rivers, Lakes, & Natural Corridors

Below is a brief description of each land use category shown in the *Livingston County Generalized Future Land Use* map. It is important to note that township, village, and city future land use plans and zoning ordinances should first be consulted before making any specific development plans.

## Agriculture Preservation/ Rural Residential

Agriculture plays a vital role in the history of Livingston County, contributing to food production, economic stability, and income generation. The four western townships (Conway, Handy, Iosco, and Unadilla townships), along with three northern townships (Cohoctah, Deerfield, and Tyrone Townships), are predominantly agricultural in nature. These regions are primarily zoned for agricultural purposes and large-lot residential development that do not have planned water and sewer infrastructure. It is essential that agriculture remains the primary land use in these areas, with non-farm residential uses being carefully restricted. Low-density development is currently prioritized to safeguard the farming industry, manage growth effectively, preserve natural resources, and support a rural lifestyle characterized by lower population density. Higher-density developments may be justifiable when designed with a clustered layout that preserves viable agricultural land as open space.

For county-level guidance on any proposed future development in these areas, the Livingston County Planning Department will rely on and actively promote the ideals and principles as presented in the [\*Livingston County, Michigan: 2025 Sustainable Agriculture, Food Systems, and Rural Environments Plan\*](#). This document outlines a comprehensive strategy in which the county can achieve farmland preservation goals, support for local farmers, improved environmental stewardship, and higher rates of food security to place the county in an optimal position to be sustainable and self-sufficient in numerous aspects of food production and consumption.

## Primary Residential

Primary Residential regions are predominantly situated in the southeastern quadrant, composed mainly of the areas located outside the urbanized boundaries of the City of Brighton, those being the townships of Genoa Charter, Brighton Charter, Green Oak Charter, and Hamburg. This area is home to approximately 45 percent of Livingston County's population. Given the high population density, these areas are expected to remain primarily residential, with increased density near the southern boundaries of Hamburg Township and Green Oak Charter Township, as well as areas immediately surrounding the City of Brighton. In this quadrant, cluster development and the preservation of open space are essential due to the heightened demand for development and the presence of unique natural features, such as lakes and wetlands. Additionally, there are some commercial areas and limited industrial zones located along major thoroughfares, including Grand River Avenue, I-96, and US-23.

When necessary, mixed-use development is also encouraged within this designated area. Mixed-use developments, such as planned unit developments (PUDs), could allow for a combination of residential, commercial, civic, and sometimes light industrial uses within a single project or neighborhood. This approach promotes walkable, vibrant, and sustainable communities by allowing residents to live, work, and shop within close-proximity, reducing car-dependence, encouraging economic growth, and preserving open space.

## Primary Growth Area

These areas are situated along transportation corridors and are equipped with access to sewer and water services, primarily near cities and villages. They are suitable for higher-density residential developments, as well as commercial and potentially industrial applications. Additionally, these locations could prioritize the development of middle housing to accommodate seniors and households with moderate incomes. By focusing development in areas with existing infrastructure and accessible amenities— such as grocery stores, schools, and entertainment venues— we can work to mitigate urban sprawl and preserve the rural landscape.

In the context of these primary growth areas, future land use planning focuses on accommodating projected development while ensuring efficient use of resources and maintaining quality of life. This will typically involve designating areas for residential, commercial, and industrial development, while also considering open space, transportation, and community facilities. Some key aspects of future land use planning in the Primary Growth Areas include:

- *Residential Development:* Planning for various housing types (single-family, multi-family, etc.) and densities to meet the needs of a growing population. This may include considerations for affordability, neighborhood character, and access to amenities.
- *Commercial and Industrial Development:* Designating areas for businesses, retail, offices, and industrial uses to support economic growth and job creation. This may involve creating mixed-use areas where residential and commercial uses are integrated.
- *Open Space and Recreation:* Protecting natural areas, parks, and recreational facilities to enhance quality of life and provide opportunities for outdoor activities. This can also include preserving environmentally sensitive areas.
- *Transportation and Infrastructure:* Planning for roads, public transportation, bike lanes, and pedestrian walkways to ensure efficient movement of people and goods. This also includes considerations for utilities like water, sewer, and power.
- *Community Facilities:* Planning for public facilities like schools, libraries, fire stations, and healthcare facilities to serve the needs of the growing population.
- *Sustainability:* Incorporating sustainable development practices, such as energy efficiency, water conservation, and waste reduction, to minimize environmental impact.
- *Growth Management:* Managing the pace and direction of growth to ensure that infrastructure and services can keep up with development demands. This may involve phasing development or directing growth to certain areas.

In conclusion, future land use planning within these Primary Growth Areas is a complex process that involves balancing a variety of factors to create a vibrant, sustainable, and well-functioning community.



## Secondary Growth Area

These areas are located further from urban centers and do not currently have public water and sewer available. However, these areas have the potential for the expansion of infrastructure. Over the next 10 years, the growth in these areas will largely be site specific depending on the anticipated growth demands for the area.

These regions represent a gradual transition in land use intensity, moving from Agriculture Preservation/ Rural Residential zones towards Primary Growth Areas. These Secondary Growth Areas may accommodate residential development situated further from incorporated cities and villages, as well as commercial or mixed-use spaces along key transportation corridors like M-59, Old US-23, and M-36.

Some of the key aspects of future land use planning in the Secondary Growth Areas future land use category include:

- *Guiding growth and development:* By focusing on existing infrastructure communities, can prioritize and direct new development and redevelopment within existing service areas, making the most of existing infrastructure and minimizing the need for new infrastructure investment.
- *Centers and Connections:* Identify areas for increased density and intensity of development, maximizing infrastructure and accommodating projected population and job needs.
- *Urban Expansion Areas:* Strategically identify and plan for urban expansion areas to accommodate growth in a planned and sustainable manner, according to local municipal master plans and zoning ordinances.
- *Promoting sustainable and vibrant communities:* Foster community engagement and local participation, support local businesses, and invest in green infrastructure and public spaces. Encourage responsible development, sustainable transportation, and effective waste management programs to reduce environmental impact and enhance community well-being.
- *Mixed Land Uses:* Encourage a mix of land uses to create walkable, vibrant communities where people can live, work, and access services in close proximity.
- *Compact Design:* Take advantage of compact design to reduce sprawl, promote efficient land use, and create more livable and desirable communities.
- *Diverse Housing Opportunities:* Plan for a range of housing options and choices to meet the needs of diverse populations
- *Green Infrastructure:* Integrate green infrastructure into development plans to manage stormwater, protect water resources, and enhance environmental quality.
- *Balancing Development with Environmental and Community Needs:* Encourage local communities to conduct Environmental Impact Assessments (EIAs), invest in sustainable energy and resource management, and foster collaboration between stakeholders and

government. This integrated approach promotes responsible development that protects natural resources, enhances social equity, and ensures long-term well-being

- *Preserving Natural Resources:* Protect open space, farmland, natural beauty, and critical environmental areas from development.
- *Respect Rural Lifestyles:* Maintain distinct rural areas characterized by agricultural uses, natural features, and rural character.
- *Community and Stakeholder Collaboration:* Engage the community and stakeholders in development decisions to ensure that plans reflect local needs and preferences.

### Incorporated Cities & Villages

This category refers to the cities of Howell and Brighton, and the villages of Fowlerville and Pinckney. These are the county's most densely developed areas with corresponding infrastructure and services in place. Within each community there are residential, commercial, and industrial development, and all have municipal parks. In addition to these distinct land uses, cities and villages also accommodate mixed-use development, which integrates multiple functions within the same area. Mixed-use developments in cities and villages can be vertical (different uses in the same building) or horizontal (uses across multiple buildings) in form.

These four municipalities are also the largest traditional town centers in the county. It is recommended that infill development be utilized wherever possible in the cities and villages, to take advantage of existing infrastructure suitable for dense or intense land uses.

Future land use plans, often part of a larger master plan, guide the long-term growth and development of incorporated cities and villages. These plans consider a range of factors to create a vision for how the land within a community will be utilized in the coming decades, often a 20-30 year horizon.

### Industrial/ Extractive/ Research & Development

These are industrial centers that are located outside of cities, villages, and settlement areas. Industrial areas are meant to accommodate a variety of industrial activities, warehouses, manufacturing, mining extraction, and other operations. These are also areas deemed important for advanced technology, design, and research, that may include some light industrial uses, along with supportive administrative office buildings. These areas are critical for maintaining a diverse tax base and providing employment. These facilities should be carefully planned and well-integrated with existing infrastructure and designed to be compatible with surrounding land uses. Examples of these uses located in Livingston County include the Milford Proving grounds, Fowlerville Proving Grounds, and areas along Old US 23.

Industrial, extractive, and research and development (R&D) land uses are evolving significantly due to technological advancements, changing economic landscapes, and a growing emphasis on sustainability.

## Settlements

Settlements correspond to historically settled areas across the county. Many have commercial businesses to serve the needs of settlement and township residents. Most settlements were laid out in the mid-eighteen hundreds, and they often have small lots on a classic grid pattern—much like smaller versions of the county's cities and villages. Many have historical buildings that communities strive to preserve.

Appropriate types of infill development are also recommended for settlements, in order to keep them compact and defined. Only a small number of the county's settlements have public sewer or water available, so development in these areas will be less intense than what is possible in the cities and villages.

## Park and Recreation Areas

Parks and recreation areas are identified as the expansive recreational areas located in the southern part of the county, along with the metropolitan parks to the east. This category also includes other smaller parks and preserved lands throughout the county such as Oak Grove State Game Area, county parks, cemeteries and golf courses.

Many of these spaces are renowned for their high-quality natural features and various recreational opportunities, and should be preserved for the foreseeable future. Developments adjacent to these protected lands should be minimal in intensity and complement the natural areas.

## Lakes, Rivers, and Natural Feature Corridors

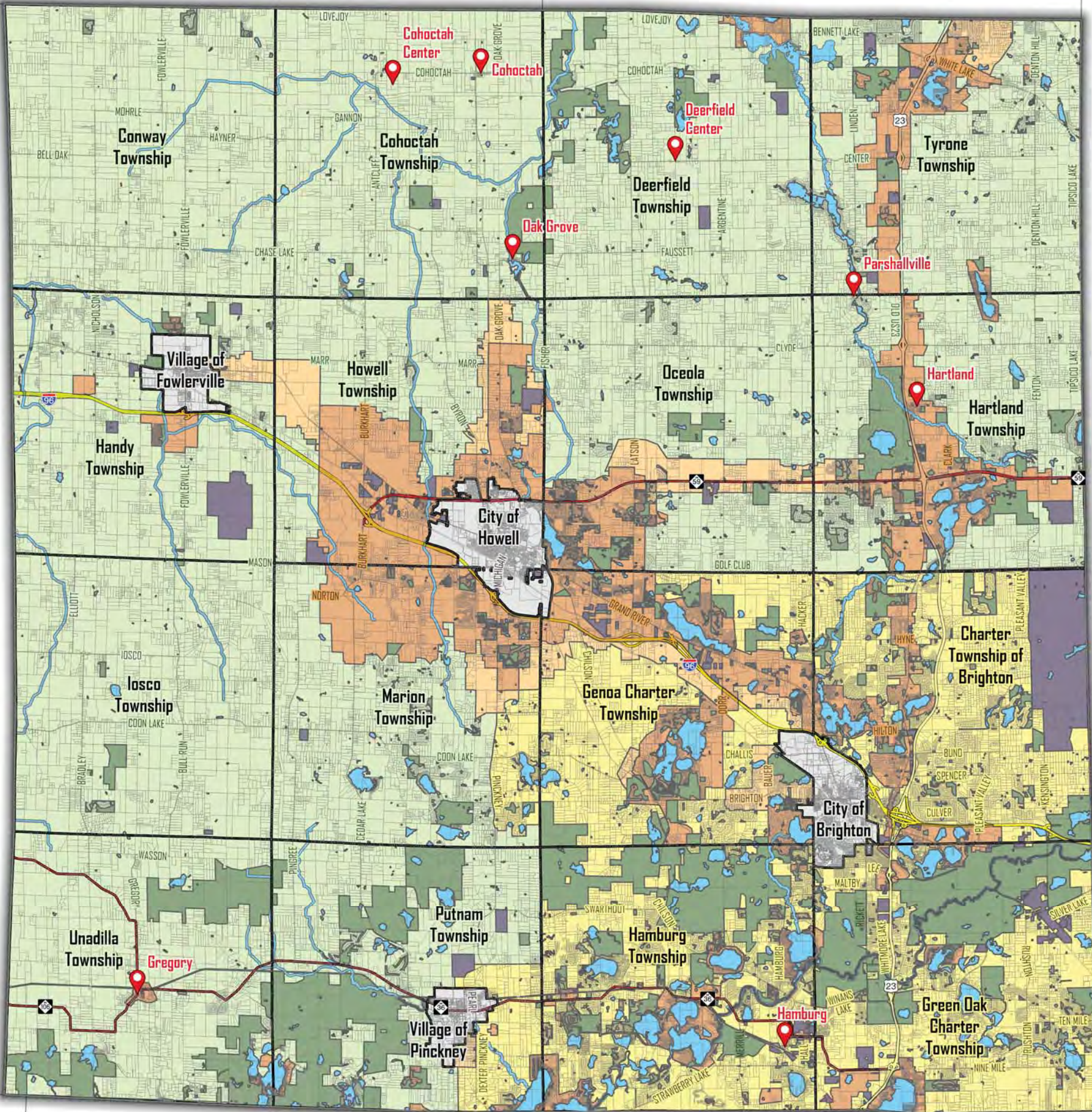
One of the most common landscape views in Livingston County continues to be a mix of woods, rivers, meadows, lakes, and wetlands.

The Lakes, Rivers, and Natural Feature Corridors as depicted in the *Livingston County Generalized Future Land Use* map align with the numerous streams and rivers that run through Livingston County. To safeguard water quality and maintain the integrity of these waterways, a buffer zone should be placed on both sides of each waterway. Development in these areas should also be limited and comply with all necessary state and federal permits.

There are many lake communities in the county that place a high value on their water quality and have established standards in collaboration with the Livingston County Drain Commission Department to protect these regions. Some lake communities have water and sewer availability, while others rely on private well/ septic systems.

The county encourages local communities to collaborate with planning partners such as the Huron River Watershed Council, the Livingston Land Conservancy, and others to work collaboratively to ensure the long-term health and sustainability of our local water bodies.





Future Land Use

- Agriculture Preservation/Rural Residential
- Primary Residential
- Primary Growth Area
- Secondary Growth Area
- Incorporated Cities and Villages

- Industrial/Extractive/Research & Development
- Park and Recreation Areas
- Rivers and Natural Corridors
- Lakes

- Settlements
- Interstate
- US Highway
- State Highway
- Local Roads



# Livingston County Generalized Future Land Use





# APPENDIX

# Public Participation Results

## Links to Comprehensive Survey Documents

[Full Summary Survey - Graphs](#)

[Full Responses - Open Ended Questions](#)

[Livingston County, Michigan 2026 Master Plan Website](#)

[Full Workshop and Map Survey Results](#)

## Community Survey Results

In which municipality do you reside?		
Municipality	% of Total Responses	# of Responses
Genoa Township	16%	176
Hamburg Township	10%	116
Brighton Township	10%	110
Oceola Township	9%	99
Marion Township	8%	96
City of Howell	8%	85
Howell Township	7%	81
City of Brighton	6%	70
Hartland Township	6%	64
Green Oak Township	4%	47
Putnam Township	3%	29
Tyrone Township	2%	22
Handy Township	2%	22



Iosco Township	2%	22
Cohoctah Township	2%	21
Deerfield Township	1%	16
Other	1%	16
Conway Township	1%	14
Village of Pinckney	1%	11
Unadilla Township	1%	8
Village of Fowlerville	1%	6
<b>Total</b>	<b>1131</b>	

What is your age range?		
Age (Years)	% of Total Responses	# of Responses
18 or under	0%	3
19-29	4%	43
30-45	26%	290
46-59	29%	331
60-75	34%	387
76+	7%	77

## Please describe your work/school environment

<u>Work Location</u>	<u>% of Total Responses</u>	<u># of Responses</u>
100% from home	15%	156
Hybrid	27%	273
100% in-person	35%	353
Other (please specify)	23%	227

## What is your approximate household income range?

<u>Household Income</u>	<u>% of Total Responses</u>	<u># of Responses</u>
Below \$20,000	2%	27
\$21,000-\$35,000	6%	62
\$36,000-\$55,000	8%	90
\$56,000-\$75,000	14%	151
\$76,000-\$100,000	18%	203
\$101,000-\$149,000	25%	274
\$150,000+	27%	291

How many years have you lived in Livingston County?		
<u>Years</u>	<u>% of Total Responses</u>	<u># of Responses</u>
0-5	12%	133
6-15	21%	241
16-30	36%	409
31+	29%	331
I do not live in Livingston County	2%	17

How satisfied are you with your quality of life in Livingston County?		
<u>Rating</u>	<u>% of Total Responses</u>	<u># of Responses</u>
(1) Extremely Dissatisfied	1.80%	19
(2) Dissatisfied	5.12%	54
(3) Neutral	15.94%	168
(4) Satisfied	56.36%	594
(5) Extremely Satisfied	20.78%	219



What would improve your quality of life in Livingston County?		
	<u>% of Total Responses</u>	<u># of Responses</u>
Improved Roads and Traffic Flow	21%	205
Improved Public Services (Police, Fire, EMS, Hospitals, Public Transportation)	11%	106
More Sidewalks/ Pathways	13%	127
Preservation of Open Space/ Slow Development	15%	147
Lower Housing Costs	5%	47
Commercial Development (Restaurants, Entertainment, Convenience Stores)	10%	97
Improved Education	1%	12
Improved Broadband Access	3%	28
Lower Taxes	3%	30
Less Apartments and Condos	2%	21
Community Identity and Representation on Elected Boards	6%	63

Please fill in the blank with your top 2 answers: In the last 5 years, the farmland in my community has been converted to \_\_\_\_\_.

<u>Land Use</u>	<u>% of Total Responses</u>	<u># of Responses</u>
No significant amount of farmland has changed	16%	172
Subdivisions with less than 1 acre lots	58%	620
Single Family Homes with 1-4 acre lots	14%	155
Single Family Homes with 5+ acre lots	3%	32
Apartments/ Condos	26%	280
Business or Commercial Uses	17%	188
Industrial Uses	3%	41
Preserved Open Space	1%	21
Other (please specify)	8%	88

Fill in the blank with one of the available options: I would like to see more \_\_\_\_\_ in my community.

<u>Land Use</u>	<u>% of Total Responses</u>	<u># of Responses</u>
Commercial Businesses	5%	58
Industrial/Manufacturing	1%	11
Open Space/ Land Preservation	53%	556
Single Family Homes	6%	65
Apartments/ Condos	3%	31
Redevelopment	19%	206
Other (please specify)	12%	130

How satisfied are you with the housing options throughout Livingston County?

<u>Rating</u>	<u>% of Total Responses</u>	<u># of Responses</u>
(1) Extremely Dissatisfied	5%	54
(2) Dissatisfied	17%	181
(3) Neutral	31%	326
(4) Satisfied	37%	390
(5) Extremely Satisfied	8%	84



Over the next 10 years which housing type would be most beneficial for Livingston County? (Select 2)

Housing Choices	% of Total Responses	# of Responses
Condos (1 story)	7%	111
Apartments (1 story)	4%	62
Single Family Home, Subdivision	9%	143
Single Family Home on 2+ Acres	17%	269
Single Family Home on 5+ Acres	10%	164
2-3 Story Condo/ Apartment Buildings	7%	102
Accessory Dwelling Units	16%	255
None of the Above	8%	129
Other (please specify)	8%	119

### Transportation: I would like to see more of the following...

<u>Transportation Type</u>	<u>% of Total Responses</u>	<u># of Responses</u>
Improved Existing Roads	31%	506
Sidewalks/ Trails	25%	405
Bicycle Lanes	9%	140
Expanded Existing Roadways	6%	103
Public Transportation	17%	276
Passenger Rail	8%	132
Other (please specify)	4%	70

### What energy source/s does your home use? (Select 2)

<u>Energy Source</u>	<u>% of Total Responses</u>	<u># of Responses</u>
Propane	11%	120
DTE/Consumers Energy	95%	977
Solar	2%	22
Geothermal	1%	14
Wind	0.2%	2
Other (please specify)	6%	57

### How satisfied are you with the quality of broadband/internet options?

Rating	% of Total Responses	# of Responses
(1) Extremely Dissatisfied	11%	111
(2) Dissatisfied	25%	258
(3) Neutral	27%	273
(4) Satisfied	31%	315
(5) Extremely Satisfied	6%	58

### On average, how often does your home lose power, annually?

Frequency	% of Total Responses	# of Responses
Never	5%	49
1-3 times	62%	633
4-6 times	26%	263
7+ times	7%	70



Over the past 5 years, has your home experienced property damage from natural flooding events?

	<u>% of Total Responses</u>	<u># of Responses</u>
Yes	6%	61
No	92%	926
Other (please specify)	2%	24

Over the next 10 years, what should communities in Livingston County focus on?  
(Select up to 3)

	<u>% of Total Responses</u>	<u># of Responses</u>
Preservation of Open Space & Agriculture	22%	593
Improving Infrastructure	19%	507
Enhancing Parks & Trails	16%	416
Transportation Improvements	11%	290
Redevelopment	9%	243
Increasing Housing Options	8%	219
Encouraging Senior Housing	7%	176
Attracting Commercial Uses	5%	121
Expanding Manufacturing	1%	20
Other	3%	92

### Workshop & Map Survey Results by Quadrant

#### NW Quadrant (Conway Township, Cohoctah Township, Handy Township, Howell Township, Village of Fowlerville, City of Howell)

	<u>Positive/ Strength/ Opportunity</u>	<u>Negative/ Weakness/ Threat</u>
Housing	4	1
Road Improvements	1	4
Economic Development	11	1
Sidewalks & Pathways	1	5
Recreation & Parks	4	1
Open Space Preservation	5	8
Public Transportation	4	2
Other	0	3

#### NE Quadrant (Deerfield Township, Tyrone Township, Oceola Township, Hartland Township)

	<u>Positive/ Strength/ Opportunity</u>	<u>Negative/ Weakness/ Threat</u>
Housing	1	4
Road Improvements	1	12
Economic Development	1	1
Sidewalks & Pathways	2	4
Recreation & Parks	7	0
Open Space Preservation	10	8

Public Transportation	0	2
Other	0	4
SW Quadrant (Iosco Township, Marion Township, Unadilla Township, Putnam Township, City of Howell, Village of Pinckney)		
	<u>Positive/ Strength/ Opportunity</u>	<u>Negative/ Weakness/ Threat</u>
Housing	0	4
Road Improvements	0	7
Economic Development	2	1
Sidewalks & Pathways	0	9
Recreation & Parks	2	0
Open Space Preservation	8	5
Public Transportation	1	5
Other	0	3
SE Quadrant (Genoa Township, Brighton Township, Hamburg Township, Green Oak Township, City of Brighton)		
	<u>Positive/ Strength/ Opportunity</u>	<u>Negative/ Weakness/ Threat</u>
Housing	2	3
Road Improvements	0	8
Economic Development	6	6
Sidewalks & Pathways	9	9
Recreation & Parks	15	3



Open Space Preservation	13	19
Public Transportation	2	1
Other	0	4



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November 13, 2025

To the Board of Trustees and Management  
Township of Hamburg

We have audited the financial statements of the Township of Hamburg (the "Township") as of and for the year ended June 30, 2025 and have issued our report thereon dated November 13, 2025. Professional standards require that we provide you with the following information related to our audit, which is divided into the following sections:

Section I - Internal Control Related Matters Identified in an Audit

Section II - Required Communications with Those Charged with Governance

Section III - Legislative and Informational Items

Sections I and II include information that we are required to communicate to those individuals charged with governance of the Township. Section I communicates a deficiency we observed in the Township's internal control that we believe is a material weakness. Section II communicates significant matters related to the audit that are, in our professional judgment, relevant to your responsibilities in overseeing the financial reporting process.

Section III contains updated legislative and informational items that we believe will be of interest to you.

We would like to take this opportunity to thank the Township's staff for the cooperation and courtesy extended to us during our audit. Their assistance and professionalism are invaluable.

This report is intended solely for the use of the board of trustees and management of the Township of Hamburg and is not intended to be and should not be used by anyone other than these specified parties.

We welcome any questions you may have regarding the following communications, and we would be willing to discuss these or any other questions that you might have at your convenience.

Very truly yours,

**Plante & Moran, PLLC**

A handwritten signature in black ink, appearing to read "Martin J. Olejnik".

Martin J. Olejnik, CPA

## Section I - Internal Control Related Matters Identified in an Audit

In planning and performing our audit of the financial statements of the Township as of and for the year ended June 30, 2025, in accordance with auditing standards generally accepted in the United States of America, we considered the Township's internal control over financial reporting (internal control) as a basis for designing audit procedures that are appropriate in the circumstances for the purpose of expressing our opinion on the financial statements, but not for the purpose of expressing an opinion on the effectiveness of the Township's internal control. Accordingly, we do not express an opinion on the effectiveness of the Township's internal control.

Our consideration of internal control was for the limited purpose described in the preceding paragraph and was not designed to identify all deficiencies in internal control that might be significant deficiencies or material weaknesses, and, therefore, material weaknesses or significant deficiencies may exist that were not identified.

However, as discussed below, we identified a certain deficiency in internal control that we consider to be a material weakness.

A deficiency in internal control exists when the design or operation of a control does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, misstatements on a timely basis.

A material weakness is a deficiency, or a combination of deficiencies, in internal control such that there is a reasonable possibility that a material misstatement of the entity's financial statements will not be prevented, or detected and corrected, on a timely basis.

We consider the following deficiency in the Township's internal control to be a material weakness:

- A material invoice for work performed in fiscal year 2024-2025 was improperly excluded from accounts payable as of June 30, 2025. The Township has posted an adjustment to correct this misstatement in the financial statements as of June 30, 2025. An inadequate review of cash disbursements subsequent to the fiscal year end could cause expenditures to be recorded in the wrong period and the financial statements to be materially misstated.



## Section II - Required Communications with Those Charged with Governance

### **Our Responsibility Under U.S. Generally Accepted Auditing Standards**

As stated in our engagement letter dated July 17, 2025, our responsibility, as described by professional standards, is to express an opinion about whether the financial statements prepared by management with your oversight are fairly presented, in all material respects, in conformity with U.S. generally accepted accounting principles. Our audit of the financial statements does not relieve you or management of your responsibilities. Our responsibility is to plan and perform the audit to obtain reasonable, but not absolute, assurance that the financial statements are free of material misstatement.

As part of our audit, we considered the internal control of the Township. Such considerations were solely for the purpose of determining our audit procedures and not to provide any assurance concerning such internal control.

We are responsible for communicating significant matters related to the audit that are, in our professional judgment, relevant to your responsibilities in overseeing the financial reporting process. However, we are not required to design procedures specifically to identify such matters.

### **Planned Scope and Timing of the Audit**

We performed the audit according to the planned scope and timing previously communicated to you in our meeting about planning matters on September 4, 2025.

### **Significant Audit Findings**

#### ***Qualitative Aspects of Accounting Practices***

Management is responsible for the selection and use of appropriate accounting policies. In accordance with the terms of our engagement letter, we will advise management about the appropriateness of accounting policies and their application. The significant accounting policies used by the Township are described in Note 1 to the financial statements. No new accounting policies were adopted, and the application of existing policies was not changed during year, other than the implementation of GASB Statement No. 101, *Compensated Absences*, and GASB Statement No. 102, *Certain Risk Disclosures*, neither of which had a significant effect on the Township's financial statements.

We noted no transactions entered into by the Township during the year for which there is a lack of authoritative guidance or consensus.

There are no significant transactions that have been recognized in the financial statements in a different period than when the transaction occurred.

Accounting estimates are an integral part of the financial statements prepared by management and are based on management's knowledge and experience about past and current events and assumptions about future events. Certain accounting estimates are particularly sensitive because of their significance to the financial statements and because of the possibility that future events affecting them may differ significantly from those expected.

The most sensitive estimate affecting the financial statements was the estimate for net pension liability. Management's estimate of the net pension liability is primarily based on data and assumptions from third-party actuarial valuations. We evaluated the key factors and assumptions used to develop the estimate in determining that it is reasonable in relation to the financial statements taken as a whole.

The disclosures in the financial statements are neutral, consistent, and clear.

#### ***Difficulties Encountered in Performing the Audit***

We encountered no significant difficulties in performing and completing our audit.

## Section II - Required Communications with Those Charged with Governance (Continued)

### ***Disagreements with Management***

For the purpose of this letter, professional standards define a disagreement with management as a financial accounting, reporting, or auditing matter, whether or not resolved to our satisfaction, that could be significant to the financial statements or the auditor's report.

We are pleased to report that no such disagreements arose during the course of our audit.

### ***Corrected and Uncorrected Misstatements***

Professional standards require us to accumulate all known and likely misstatements identified during the audit, other than those that are trivial, and communicate them to the appropriate level of management.

Management has corrected all such misstatements, including a material misstatement discussed in Section I above.

### ***Significant Findings or Issues***

We generally discuss a variety of matters, including the application of accounting principles and auditing standards, business conditions affecting the Township, and business plans and strategies that may affect the risks of material misstatement, with management each year prior to our retention as the Township's auditors. However, these discussions occurred in the normal course of our professional relationship, and our responses were not a condition of our retention.

### ***Management Representations***

We have requested certain representations from management that are included in the management representation letter dated November 13, 2025.

### ***Management Consultations with Other Independent Accountants***

In some cases, management may decide to consult with other accountants about auditing and accounting matters, similar to obtaining a second opinion on certain situations. If a consultation involves application of an accounting principle to the Township's financial statements or a determination of the type of auditor's opinion that may be expressed on those statements, our professional standards require the consulting accountant to check with us to determine that the consultant has all the relevant facts. To our knowledge, there were no such consultations with other accountants.

## Section III - Legislative and Informational Items

### **Inflation Reduction Act (IRA)**

Significant legislation was enacted in 2022 that has dramatically expanded the available tax credits, tax incentives, and other funding opportunities related to the green energy sector. The One, Big, Beautiful Bill (OB BB), enacted on July 4, 2025, introduced sweeping changes to those credits. However, the OB BB delayed the implementation of certain provisions - meaning that, with careful planning, the Township can still take advantage of available credits. Additionally, the new monetization options from the original legislation that expanded the benefits of tax credits for qualifying activities to public sector organizations like the Township remain unchanged from the OB BB. The breadth of qualifying activities is significant, including, in most cases, the production of electricity; production of solar, wind, and energy equipment; installation of energy-efficient upgrades to businesses and homes; and the acquisition of electric vehicles (EVs) and charging equipment. We are happy to discuss any questions or potential tax credit opportunities with you, and please also feel free to visit our IRA tax credits articles and webinars at <https://www.plantemoran.com/explore-our-thinking/areas-of-focus/inflation-reduction-act-tax-credits>.

### **Monitoring Lease, SBITA, and PPP Activity**

GASB Statements No. 87, *Leases*; No. 96, *Subscription-Based Information Technology Arrangements* (SBITAs); and No. 94, *Public-Private and Public-Public Partnerships (PPP) and Availability Payment Arrangements*, were effective in fiscal years 2022 and 2023. Although significant analyses were performed to determine the applicability of the new standards and record any necessary adjustments, we want to stress the importance of implementing ongoing monitoring procedures over lease, SBITA, and PPP activity. When the Township enters into new leases, SBITAs, or PPPs; existing agreements are modified; or other facts and circumstances change, consideration must be given to the impact those changes will have on lease, SBITA, and PPP accounting. In order to do so, the Township must ensure there is a process in place to identify and appropriately account for new leases, SBITAs, or PPPs or changes to existing agreements on an ongoing basis or at least at the end of each year.

### **Cybersecurity and Information Technology Controls**

Cyberattacks are on the rise across the globe, and the cost of these attacks is ever increasing. Because of these attacks, municipalities stand to lose their reputation, the ability to operate efficiently, and proprietary information or assets. Communities potentially can also be subject to financial and legal liabilities. Managing this issue is especially challenging because even a municipality with a highly mature cybersecurity risk management program still has a residual risk that a material cybersecurity breach could occur and not be detected in a timely manner. We understand that the technology department continues to monitor and evaluate this risk, which are critical best practices. Additionally, periodic assessment of the system in order to verify that the control environment is working as intended is a key part of measuring associated business risk. We encourage administration and those charged with governance to work with the technology team on this very important topic. If we can be of assistance in the process, we would be happy to do so.

### **Revenue Sharing**

The fiscal year 2025 budget includes \$1.79 billion for revenue sharing. Further details of the breakdown of this amount are available at [https://www.michigan.gov/treasury/0,7-121-1751\\_2197---,00.html](https://www.michigan.gov/treasury/0,7-121-1751_2197---,00.html).

The fiscal year 2025 City, Village, and Township Revenue Sharing (CVTRS) program includes the following types of payments:

- CVTRS-Standard payment based on fiscal year 2024 CVTRS total eligible payment amount
- 3-Factor Formula Payments:
  - Taxable Value Payment - Based on taxable values and populations for local units
  - Weighted Population Payment - Based on unit type population weight factors and populations for local units
  - Yield Equalization Payment - Based on an amount that is sufficient to provide the guaranteed tax base for a local tax effort, not to exceed 0.02



### Section III - Legislative and Informational Items (Continued)

As provided in the September 2024 Department of Treasury letter on City, Village, and Township Revenue Sharing (CVTRS) Fiscal Year 2025 Detailed Guidance, there are no submission requirements to receive any of the 2025 CVTRS payments.

- The CVTRS-Standard payments are paid in one-sixth increments, paid on the last business day of October, December, February, April, June, and August.

The 3-Factor Formula Payments are paid on February 28, 2025 in an amount of half of the estimated 2025 payment, and the remaining 2025 payment is paid on June 30, 2025.

#### **OMB Revisions to the Uniform Guidance**

In April 2024, the Office of Management and Budget (OMB) released revisions for the Uniform Guidance for federal grants and agreements, which are effective for fiscal year ends beginning on October 1, 2024 and after. The guidance clarifies the applicability of requirements and terminology and includes some relaxation and clarification of certain requirements that required prior approval from federal regulators. A few key changes include the following:

- Increase the single audit threshold to \$1 million from \$750,000
- Require the schedule of expenditures of federal awards (SEFA) to identify recipient of federal award for audits that cover multiple recipients
- Increase the *de minimis* indirect cost rate from 10 percent to 15 percent, effective for grants received on October 1, 2024 and after

The changes are included in more detail within the federal register at <https://www.federalregister.gov/documents/2024/04/22/2024-07496/guidance-for-federal-financial-assistance>, and we are happy to discuss these changes with you.

#### **Capitalization Thresholds**

The April 2024 Uniform Grants Guidance 2024 Revision described above resulted in the equipment threshold increasing from \$5,000 to \$10,000. This threshold applies to the value of equipment that at the end of the grant period may be retained, sold, or otherwise disposed of with no further responsibility to the federal agency. In addition to considering this Uniform Guidance threshold related to federal grants compliance, it may be a good time for the Township to reevaluate the capitalization thresholds. We are happy to assist you in thinking through considerations in evaluating these thresholds.

#### **Legacy Costs**

Legacy costs and the challenge of funding them continue to be topics of discussion. GASB pronouncements of late have placed even more focus on the net long-term liability arising from these benefit promises by requiring governmental financial statements to reflect the net pension and OPEB liabilities. For many governments, these net liabilities are significant. In addition, Public Act 202 of 2017 has brought further focus on the funding level of these plans.

### Section III - Legislative and Informational Items (Continued)

The following are the funding levels per the funding valuations for the last three years for both pension and OPEB:

	Pension	OPEB
2025	74%	N/A
2024	74%	N/A
2023	71%	N/A

Maintaining or even improving the funded status of the plan is dependent upon a number of factors, including the government's contribution policies, its amortization policy for funding the unfunded actuarial accrued liability, its benefit levels, and the ability to make future changes to the plan.

#### **Other New Legislation**

##### ***Upcoming Accounting Standards Requiring Preparation***

We actively monitor new Governmental Accounting Standards Board (GASB) standards and due process documents and provide periodic updates to help you understand how the latest financial reporting developments will impact the Township. In addition to the summaries below and to stay up to date, Plante & Moran, PLLC issues a biannual GASB accounting standard update. The most recent update and a link to previous fall and spring updates are available at <https://www.plantemoran.com/explore-our-thinking/insight/2020/10/gasb-accounting-standard-update-fall-2020>.

##### ***GASB Statement No. 103 - Financial Reporting Model Improvements***

This new accounting pronouncement will be effective for fiscal years ending June 30, 2026 and after. This statement establishes new accounting and financial reporting requirements, or modifies existing requirements, related to the following: management's discussion and analysis (MD&A); unusual or infrequent items; presentation of the proprietary fund statement of revenue, expenses, and changes in fund net position; information about major component units in basic financial statements; budgetary comparison information; and financial trends information in the statistical section. This statement requires that the MD&A be limited to the five topics noted in the standard and provides further guidance on how the MD&A should be written. For proprietary fund financial reporting, the statement defines nonoperating revenue and expense and introduces the concept of subsidies. It also requires new subtotals to present total noncapital subsidies and income or loss, including both operating activities and noncapital subsidies. The statement prescribes that the required budgetary comparison schedules be reported only in the required supplementary information section of the statements and dictates what variance information should be included. Next, the statement removes the option to present discretely presented component unit information as condensed information in the notes rather than in the statements. Lastly, the statement outlines how unusual or infrequent items should be presented separately on the financial statements.

##### ***GASB Statement No. 104 - Disclosure of Certain Capital Assets***

This new accounting pronouncement requires certain types of capital assets, such as lease assets, intangible right-of-use assets, subscription assets, and other intangible assets, to be disclosed separately by major class of underlying asset in the capital assets note. The statement also requires additional disclosures for capital assets held for sale.

### Section III - Legislative and Informational Items (Continued)

#### ***Significant GASB Proposal Worth Watching***

The Revenue and Expense Recognition project aims to develop a comprehensive accounting and financial reporting model for transactions that result in revenue and expenses. The GASB has issued a preliminary views document that proposes a new categorization framework that replaces the exchange/nonexchange transaction notion with a four-step categorization process for classifying a transaction. In addition to this new framework, the proposal also addresses recognition and measurement of revenue and expense transactions. The exposure draft for this project is expected sometime in 2026.

Plante & Moran, PLLC has spent significant time digesting this new proposed standard and recently testified to the GASB about our feedback. We strongly encourage the Township to monitor developments with this standard, as the potential impact is quite broad.



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# **Township of Hamburg**

Livingston County, Michigan

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## **Financial Report with Supplementary Information June 30, 2025**

## Township of Hamburg

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## Independent Auditor's Report

To the Board of Trustees  
Township of Hamburg

### **Opinions**

We have audited the financial statements of the governmental activities, the business-type activities, each major fund, and the aggregate remaining fund information of the Township of Hamburg (the "Township") as of and for the year ended June 30, 2025 and the related notes to the financial statements, which collectively comprise the Township's basic financial statements, as listed in the table of contents.

In our opinion, based on our audit and the report of other auditors, the accompanying financial statements referred to above present fairly, in all material respects, the respective financial position of the governmental activities, the business-type activities, each major fund, and the aggregate remaining fund information of the Township as of June 30, 2025 and the respective changes in its financial position, and, where applicable, its cash flows thereof for the year then ended in accordance with accounting principles generally accepted in the United States of America.

We did not audit the financial statements of the Library Fund, which represents 12.4 percent, 17.6 percent, and 9.6 percent of the assets, fund balances, and revenue, respectively, of the governmental funds. Those financial statements were audited by other auditors, whose report has been furnished to us, and our opinion, insofar as it relates to the amounts included for the Library Fund, is based solely on the report of the other auditors.

### **Basis for Opinions**

We conducted our audit in accordance with auditing standards generally accepted in the United States of America (GAAS). Our responsibilities under those standards are further described in the *Auditor's Responsibilities for the Audit of the Financial Statements* section of our report. We are required to be independent of the Township and to meet our other ethical responsibilities in accordance with the relevant ethical requirements relating to our audit. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinions.

### **Responsibilities of Management for the Financial Statements**

Management is responsible for the preparation and fair presentation of the financial statements in accordance with accounting principles generally accepted in the United States of America and for the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is required to evaluate whether there are conditions or events, considered in the aggregate, that raise substantial doubt about the Township's ability to continue as a going concern for 12 months beyond the financial statement date, including any currently known information that may raise substantial doubt shortly thereafter.

### **Auditor's Responsibilities for the Audit of the Financial Statements**

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinions. Reasonable assurance is a high level of assurance but is not absolute assurance and, therefore, is not a guarantee that an audit conducted in accordance with GAAS will always detect a material misstatement when it exists. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control. Misstatements are considered material if there is a substantial likelihood that, individually or in the aggregate, they would influence the judgment made by a reasonable user based on the financial statements.



To the Board of Trustees  
Township of Hamburg

In performing an audit in accordance with GAAS, we:

- Exercise professional judgment and maintain professional skepticism throughout the audit.
- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, and design and perform audit procedures responsive to those risks. Such procedures include examining, on a test basis, evidence regarding the amounts and disclosures in the financial statements.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances but not for the purpose of expressing an opinion on the effectiveness of the Township's internal control. Accordingly, no such opinion is expressed.
- Evaluate the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluate the overall presentation of the financial statements.
- Conclude whether, in our judgment, there are conditions or events, considered in the aggregate, that raise substantial doubt about the Township's ability to continue as a going concern for a reasonable period of time.

We are required to communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit, significant audit findings, and certain internal control-related matters that we identified during the audit.

#### ***Required Supplementary Information***

Accounting principles generally accepted in the United States of America require that the management's discussion and analysis and required supplementary information, as described in the table of contents, be presented to supplement the basic financial statements. Such information is the responsibility of management and, although not a part of the basic financial statements, is required by the Governmental Accounting Standards Board, which considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate operational, economic, or historical context. We have applied certain limited procedures to the required supplementary information in accordance with auditing standards generally accepted in the United States of America, which consisted of inquiries of management about the methods of preparing the information and comparing the information for consistency with management's responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audit of the basic financial statements. We do not express an opinion or provide any assurance on the information because the limited procedures do not provide us with sufficient evidence to express an opinion or provide any assurance.

#### ***Supplementary Information***

Our audit was conducted for the purpose of forming opinions on the financial statements that collectively comprise the Township's basic financial statements. The supplementary information, as identified in the table of contents, is presented for the purpose of additional analysis and is not a required part of the basic financial statements. Such information is the responsibility of management and was derived from and relates directly to the underlying accounting and other records used to prepare the basic financial statements. The information has been subjected to the auditing procedures applied in the audit of the basic financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the basic financial statements or to the basic financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the supplementary information is fairly stated in all material respects in relation to the basic financial statements as a whole.

*Plante & Morse, PLLC*

November 13, 2025

## Township of Hamburg

### Management's Discussion and Analysis

As management of the Township of Hamburg (the "Township"), we offer readers this narrative overview and analysis of the financial activities for the year ended June 30, 2025. Please read it in conjunction with the Township's financial statements.

#### ***Financial Highlights***

As discussed in further detail in this discussion and analysis, the following represents the most significant financial highlights for the year ended June 30, 2025:

- Interest income on investments continued to be strong in fiscal year 2024-2025. The Township received over \$800,000 of interest revenue in 2025. The Township remains proactive in monitoring spending to ensure that it adds to net position for funding during potential future declines in the economy.
- The Township has earmarked approximately \$267,000 for future maintenance, vehicle, and equipment expenditures.

#### ***Using This Annual Report***

This annual report consists of a series of financial statements. The statement of net position and the statement of activities provide information about the activities of the Township as a whole and present a longer-term view of the Township's finances. This longer-term view uses the accrual basis of accounting so that it can measure the cost of providing services during the current year and whether the taxpayers have funded the full cost of providing government services.

The fund financial statements present a short-term view; they tell the reader how the taxpayers' resources were spent during the year and how much is available for future spending. Fund financial statements also report the Township's operations in more detail than the government-wide financial statements by providing information about the Township's most significant funds. The fiduciary fund statements provide financial information about activities for which the Township acts solely as a trustee or agent for the benefit of those outside of the government.

#### ***The Township as a Whole***

As noted earlier, net position over time may serve as a useful indicator of a government's financial position. In the case of the Township, assets and deferred outflows of resources exceeded liabilities and deferred inflows by \$61,531,556 at the close of the most recent fiscal year.

## Township of Hamburg

### Management's Discussion and Analysis (Continued)

#### The Township's Net Position

	Governmental Activities		Business-type Activities		Total	
	2025	2024	2025	2024	2025	2024
<b>Assets</b>						
Current and other assets	\$ 24,407,241	\$ 19,264,083	\$ 5,315,528	\$ 6,167,138	\$ 29,722,769	\$ 25,431,221
Capital assets	20,680,461	21,137,713	23,697,085	24,360,817	44,377,546	45,498,530
Total assets	45,087,702	40,401,796	29,012,613	30,527,955	74,100,315	70,929,751
<b>Deferred Outflows of Resources</b>						
	1,199,396	1,242,570	-	-	1,199,396	1,242,570
<b>Liabilities</b>						
Current liabilities	3,176,533	1,246,511	202,302	522,423	3,378,835	1,768,934
Noncurrent liabilities	8,491,018	6,574,964	1,884,884	2,414,584	10,375,902	8,989,548
Total liabilities	11,667,551	7,821,475	2,087,186	2,937,007	13,754,737	10,758,482
<b>Deferred Inflows of Resources</b>	13,418	18,333	-	-	13,418	18,333
<b>Net Position</b>						
Net investment in capital assets	15,736,802	17,735,980	21,877,050	21,991,656	37,613,852	39,727,636
Restricted	12,073,148	10,554,636	4,005,240	4,642,867	16,078,388	15,197,503
Unrestricted	6,796,179	5,513,942	1,043,137	956,425	7,839,316	6,470,367
Total net position	<u>\$ 34,606,129</u>	<u>\$ 33,804,558</u>	<u>\$ 26,925,427</u>	<u>\$ 27,590,948</u>	<u>\$ 61,531,556</u>	<u>\$ 61,395,506</u>

The Township's combined net position increased from a year ago to \$61.5 million. The governmental activities net position is approximately \$34.6 million, up from \$33.8 million at June 30, 2024. The net position of the business-type activities (i.e., the Sewer Fund) is approximately \$26.9 million, a slight decrease from a year ago.

Unrestricted net position, the part of net position that can be used to finance day-to-day operations, is approximately \$6.8 million for the governmental activities, which is an increase from June 30, 2024. Unrestricted net position for the business-type activities is approximately \$1 million, which is an increase from the June 30, 2024 amount.



## Township of Hamburg

### Management's Discussion and Analysis (Continued)

The following table shows the changes in net position during 2025 and 2024:

#### The Township's Changes in Net Position

	Governmental Activities		Business-type Activities		Total	
	2025	2024	2025	2024	2025	2024
<b>Revenue</b>						
Program revenue:						
Charges for services	\$ 1,335,877	\$ 916,266	\$ 2,662,265	\$ 2,592,098	\$ 3,998,142	\$ 3,508,364
Operating grants	120,461	1,465,410	-	-	120,461	1,465,410
Capital grants	2,386,820	1,015,899	316,840	527,632	2,703,660	1,543,531
General revenue:						
Property taxes	9,592,028	8,275,696	-	-	9,592,028	8,275,696
State-shared revenue and grants	2,443,904	2,416,601	-	-	2,443,904	2,416,601
Investment earnings	645,235	708,636	182,929	226,693	828,164	935,329
Other revenue:						
Cable franchise fees	282,681	303,945	-	-	282,681	303,945
Proceeds from sale of capital assets	7,140	37,253	-	-	7,140	37,253
Other miscellaneous income	169,143	206,712	-	-	169,143	206,712
Total revenue	16,983,289	15,346,418	3,162,034	3,346,423	20,145,323	18,692,841
<b>Expenses</b>						
General government	4,604,658	4,025,353	-	-	4,604,658	4,025,353
Public safety	8,460,624	7,645,432	-	-	8,460,624	7,645,432
Public works	2,353,692	910,223	-	-	2,353,692	910,223
Recreation and culture	647,025	693,252	-	-	647,025	693,252
Debt service	115,719	75,092	-	-	115,719	75,092
Sewer	-	-	3,827,555	4,010,273	3,827,555	4,010,273
Total expenses	16,181,718	13,349,352	3,827,555	4,010,273	20,009,273	17,359,625
<b>Change in Net Position</b>	801,571	1,997,066	(665,521)	(663,850)	136,050	1,333,216
<b>Net Position - Beginning of year</b>	33,804,558	31,807,492	27,590,948	28,254,798	61,395,506	60,062,290
<b>Net Position - End of year</b>	<b>\$ 34,606,129</b>	<b>\$ 33,804,558</b>	<b>\$ 26,925,427</b>	<b>\$ 27,590,948</b>	<b>\$ 61,531,556</b>	<b>\$ 61,395,506</b>

#### *Governmental Activities*

The Township's total governmental activities revenue totaled approximately \$17.0 million, with state-shared revenue and grants representing \$2.4 million of the total. The State's future financial situation will continue to be monitored during the upcoming year given the significance of the revenue source.

Expenses for the fiscal year were approximately \$16.2 million. The Township has closely monitored its spending in all areas. As a result, there was an increase in net position of approximately \$800,000 from 2024 to 2025.

#### *Business-type Activities*

The Township's business-type activities consist of the Sewer Fund. We provide sewage treatment through a township-owned and operated sewage treatment plant, as well as through the use of a plant that is owned and operated by a neighboring community.

## Township of Hamburg

### Management's Discussion and Analysis (Continued)

#### ***The Township's Funds***

Our analysis of the Township's major funds follows the government-wide financial statements. The fund financial statements provide detailed information about the most significant funds, not the Township as a whole. The township board creates funds to help manage money for specific purposes and to show accountability for certain activities, such as special property tax millages. The Township's major funds for 2024-2025 include the General Fund, the Police Special Revenue Fund, the Fire Special Revenue Fund, the 2020 Road Fund, the Water System Debt Service Fund, the Library Fund, and the Crystal DR & Beach Subdivision RD IM SAD Fund.

The General Fund pays for most of the Township's governmental services. In August 2018, a new millage was passed by the voters for the Police Special Revenue Fund. This millage provides funding for the Police Special Revenue Fund, reducing future support from the General Fund. Both police and fire services are supported by separate police and fire millages, which are recorded in the Police Special Revenue Fund and the Fire Special Revenue Fund.

#### ***General Fund Budgetary Highlights***

Over the course of the year, the Township amended the budget to consider events during the year. Significant amendments were made to account for the expense of a new tanker for the fire department.

#### ***Capital Assets and Debt Administration***

At the end of fiscal year 2025, the Township had approximately \$44 million invested in a broad range of capital assets, net of depreciation, including buildings, police and fire equipment, and sewer lines.

#### ***Economic Factors and Next Year's Budgets and Rates***

The Township's budget for next year will need to be watched very closely once again, especially relating to the General Fund. It is expected that the state revenue sharing will be reduced; therefore, the economy will need to be monitored closely in order to determine if expenditures in the upcoming fiscal year need to be adjusted.

#### ***Requests for Further Information***

This financial report is intended to provide a general overview of the Township's finances and demonstrate the Township's accountability for the money it receives. If you have questions about this report or need additional information, please contact the township clerk's office at (810) 231-1000.



# Township of Hamburg

## Statement of Net Position

June 30, 2025

	Primary Government		
	Governmental Activities	Business-type Activities	Total
<b>Assets</b>			
Cash and cash equivalents (Note 2)	\$ 15,926,597	\$ 86,776	\$ 16,013,373
Receivables:			
Customers and other	123,192	703,298	826,490
Accrued interest receivable	64,636	25,294	89,930
Due from other governments	372,709	-	372,709
Special assessments receivable (Note 9)	3,874,030	28,395	3,902,425
Internal balances	(14,649)	14,649	-
Inventory	-	451,825	451,825
Prepaid expenses and other assets	304,314	-	304,314
Other current assets	-	28,446	28,446
Cash restricted for capital and debt (Note 9)	3,711,302	3,976,845	7,688,147
Land held for resale	45,110	-	45,110
Capital assets: (Note 4)			
Assets not subject to depreciation	1,470,108	1,515,351	2,985,459
Assets subject to depreciation	19,210,353	22,181,734	41,392,087
Total assets	45,087,702	29,012,613	74,100,315
<b>Deferred Outflows of Resources</b> - Deferred outflows related to pensions (Note 8)	1,199,396	-	1,199,396
<b>Liabilities</b>			
Accounts payable	2,093,848	113,609	2,207,457
Due to other governmental units	26,511	-	26,511
Performance bonds payable	135,045	-	135,045
Accrued liabilities and other	915,683	88,693	1,004,376
Unearned revenue	5,446	-	5,446
Noncurrent liabilities:			
Due within one year:			
Compensated absences (Note 5)	348,991	32,425	381,416
Current portion of long-term debt (Note 5)	700,875	254,125	955,000
Due in more than one year:			
Compensated absences (Note 5)	393,708	32,424	426,132
Net pension liability (Note 8)	2,804,660	-	2,804,660
Long-term debt (Note 5)	4,242,784	1,565,910	5,808,694
Total liabilities	11,667,551	2,087,186	13,754,737
<b>Deferred Inflows of Resources</b> - Deferred inflows related to pensions (Note 8)	13,418	-	13,418
<b>Net Position</b>			
Net investment in capital assets	15,736,802	21,877,050	37,613,852
Restricted:			
Roads	4,623,071	-	4,623,071
Debt service	4,456,107	-	4,456,107
Capital projects and debt service	383,349	4,005,240	4,388,589
Police and fire operations	579,435	-	579,435
Cemetery expenditures	8,496	-	8,496
Library	2,022,690	-	2,022,690
Unrestricted	6,796,179	1,043,137	7,839,316
Total net position	\$ 34,606,129	\$ 26,925,427	\$ 61,531,556



## Township of Hamburg

Functions/Programs	Expenses	Program Revenue		
		Charges for Services	Operating Grants and Contributions	Capital Grants and Contributions
Primary government:				
Governmental activities:				
General government	\$ 4,604,658	\$ 1,030,465	\$ 85,763	\$ -
Public safety	8,460,624	109,708	34,698	20,680
Public works	2,353,692	168,018	-	2,366,140
Recreation and culture	647,025	27,686	-	-
Interest on long-term debt	115,719	-	-	-
Total governmental activities	16,181,718	1,335,877	120,461	2,386,820
Business-type activities - Sewage disposal	3,827,555	2,662,265	-	316,840
Total primary government	<u>\$ 20,009,273</u>	<u>\$ 3,998,142</u>	<u>\$ 120,461</u>	<u>\$ 2,703,660</u>
General revenue:				
Property taxes				
State-shared revenue				
Investment income				
Cable franchise fees				
Gain on sale of capital assets				
Other income				
Total general revenue				
<b>Changes in Net Position</b>				
<b>Net Position - Beginning of year</b>				
<b>Net Position - End of year</b>				

# Statement of Activities

Year Ended June 30, 2025

Net (Expense) Revenue and Changes in Net Position		
Primary Government		
Governmental Activities	Business-type Activities	Total
\$ (3,488,430)	\$ -	\$ (3,488,430)
(8,295,538)	-	(8,295,538)
180,466	-	180,466
(619,339)	-	(619,339)
(115,719)	-	(115,719)
(12,338,560)	-	(12,338,560)
-	(848,450)	(848,450)
(12,338,560)	(848,450)	(13,187,010)
9,592,028	-	9,592,028
2,443,904	-	2,443,904
645,235	182,929	828,164
282,681	-	282,681
7,140	-	7,140
169,143	-	169,143
13,140,131	182,929	13,323,060
801,571	(665,521)	136,050
33,804,558	27,590,948	61,395,506
<b>\$ 34,606,129</b>	<b>\$ 26,925,427</b>	<b>\$ 61,531,556</b>

## Township of Hamburg

	General Fund	Police Special Revenue Fund	Fire Special Revenue Fund	Water System Debt Service Fund
<b>Assets</b>				
Cash and cash equivalents (Note 2)	\$ 8,037,950	\$ 28,342	\$ 548,768	\$ 652,739
Receivables:				
Special assessments receivable	93,795	-	-	176,497
Customers and other	99,313	16,005	7,874	-
Accrued interest receivable	22,993	153	1,649	3,560
Due from other governments	361,014	-	-	-
Due from other funds (Note 3)	-	-	-	-
Advances to other funds (Note 3)	459,648	-	-	-
Prepaid expenses and other assets	103,264	102,503	89,840	-
Cash restricted for capital and debt	-	-	-	535,752
Land held for resale	45,110	-	-	-
<b>Total assets</b>	<b>\$ 9,223,087</b>	<b>\$ 147,003</b>	<b>\$ 648,131</b>	<b>\$ 1,368,548</b>
<b>Liabilities</b>				
Accounts payable	\$ 105,645	\$ 51,028	\$ 32,886	\$ -
Due to other governmental units	-	772	-	-
Due to other funds (Note 3)	16,563	-	-	-
Advances from other funds (Note 3)	-	-	-	459,648
Performance bonds payable	135,045	-	-	-
Accrued liabilities and other	696,437	79,419	60,788	4,650
Unearned revenue	-	-	-	-
<b>Total liabilities</b>	<b>953,690</b>	<b>131,219</b>	<b>93,674</b>	<b>464,298</b>
<b>Deferred Inflows of Resources - Unavailable revenue</b>	<b>106,357</b>	<b>15,707</b>	<b>7,874</b>	<b>176,497</b>
<b>Total liabilities and deferred inflows of resources</b>	<b>1,060,047</b>	<b>146,926</b>	<b>101,548</b>	<b>640,795</b>
<b>Fund Balances</b>				
Nonspendable	608,022	102,503	89,840	-
Restricted:				
Roads	-	-	-	-
Police	-	-	-	-
Fire	-	-	456,743	-
Debt service	-	-	-	727,753
Capital projects	-	-	-	-
Future cemetery expenditures	-	-	-	-
Library	-	-	-	-
Committed:				
Equipment	193,716	-	-	-
Vehicles	73,759	-	-	-
Flood prevention	22,300	-	-	-
Assigned - Capital projects	-	-	-	-
Unassigned	7,265,243	(102,426)	-	-
<b>Total fund balances</b>	<b>8,163,040</b>	<b>77</b>	<b>546,583</b>	<b>727,753</b>
<b>Total liabilities, deferred inflows of resources, and fund balances</b>	<b>\$ 9,223,087</b>	<b>\$ 147,003</b>	<b>\$ 648,131</b>	<b>\$ 1,368,548</b>



# Governmental Funds Balance Sheet

June 30, 2025

2020 Road Fund	Library Fund	Crystal DR & Beach Subdivision RD IM SAD Fund	Nonmajor Governmental Funds	Total
\$ -	\$ 3,056,144	\$ 247,181	\$ 3,355,473	\$ 15,926,597
1,475,848	-	604,528	1,523,362	3,874,030
-	-	-	-	123,192
3,835	16,327	2,531	13,588	64,636
-	11,695	-	-	372,709
-	-	-	16,563	16,563
-	-	-	-	459,648
-	8,707	-	-	304,314
1,275,888	-	594,861	1,304,801	3,711,302
-	-	-	-	45,110
<b>\$ 2,755,571</b>	<b>\$ 3,092,873</b>	<b>\$ 1,449,101</b>	<b>\$ 6,213,787</b>	<b>\$ 24,898,101</b>
\$ 495	\$ 9,281	\$ 769,485	\$ 1,125,028	\$ 2,093,848
-	25,739	-	-	26,511
-	-	-	14,649	31,212
-	-	-	-	459,648
-	-	-	-	135,045
34,483	-	-	-	875,777
-	5,446	-	-	5,446
34,978	40,466	769,485	1,139,677	3,627,487
1,441,367	-	604,528	1,553,116	3,905,446
1,476,345	40,466	1,374,013	2,692,793	7,532,933
-	8,707	-	-	809,072
-	-	-	1,800,830	1,800,830
-	-	-	9,194	9,194
-	-	-	-	456,743
-	-	75,088	1,390,394	2,193,235
1,279,226	-	-	312,080	1,591,306
-	-	-	8,496	8,496
-	2,013,983	-	-	2,013,983
-	-	-	-	193,716
-	-	-	-	73,759
-	-	-	-	22,300
-	1,029,717	-	-	1,029,717
-	-	-	-	7,162,817
1,279,226	3,052,407	75,088	3,520,994	17,365,168
<b>\$ 2,755,571</b>	<b>\$ 3,092,873</b>	<b>\$ 1,449,101</b>	<b>\$ 6,213,787</b>	<b>\$ 24,898,101</b>

**Township of Hamburg**

**Governmental Funds**

**Reconciliation of the Balance Sheet to the Statement of Net Position**

June 30, 2025

**Fund Balances Reported in Governmental Funds** \$ 17,365,168

Amounts reported for governmental activities in the statement of net position are different because:

Capital assets used in governmental activities are not financial resources and are not reported in the funds 20,680,461

Special assessment and other receivables are expected to be collected over several years and are not available to pay for current year expenditures 3,905,446

Certain pension contributions and changes in pension plan net position are reported as deferred outflows of resources and deferred inflows of resources in the statement of net position but are reported as expenses in the governmental funds 1,185,978

Bonds payable are not due and payable in the current period and are not reported in the funds (4,943,659)

Accrued interest is not due and payable in the current period and is not reported in the funds (39,906)

Employee compensated absences are payable over a long period of years and do not represent a claim on current financial resources; therefore, they are not reported as fund liabilities (742,699)

Net pension liability in governmental activities is not reported in the funds (2,804,660)

**Net Position of Governmental Activities** **\$ 34,606,129**

## Township of Hamburg

	General Fund	Police Special Revenue Fund	Fire Special Revenue Fund	Water System Debt Service Fund
<b>Revenue</b>				
Property taxes	\$ 1,110,852	\$ 3,357,918	\$ 3,163,563	\$ -
Special assessments	18,392	-	-	70,329
State-shared revenue and grants:				
Federal grants	10,701	-	-	-
State sources	2,451,261	32,825	26,795	-
Charges for services	714,281	31,117	-	-
Fines and forfeitures	-	12,580	-	-
Licenses and permits	282,681	-	-	-
Investment income	296,743	6,910	16,938	39,672
Other revenue	446,411	63,782	4,151	37,500
<b>Total revenue</b>	<b>5,331,322</b>	<b>3,505,132</b>	<b>3,211,447</b>	<b>147,501</b>
<b>Expenditures</b>				
Current services:				
General government	3,234,017	-	-	-
Public safety	706,145	3,940,696	3,012,784	-
Public works	57,102	-	-	-
Recreation and culture	722,345	-	-	-
Capital outlay	-	-	-	-
Debt service	-	-	-	247,650
<b>Total expenditures</b>	<b>4,719,609</b>	<b>3,940,696</b>	<b>3,012,784</b>	<b>247,650</b>
<b>Excess of Revenue Over (Under) Expenditures</b>	<b>611,713</b>	<b>(435,564)</b>	<b>198,663</b>	<b>(100,149)</b>
<b>Other Financing Sources (Uses)</b>				
Transfers in (Note 3)	607,756	359,400	-	154,000
Transfers out (Note 3)	(529,600)	-	-	-
New debt issued (Note 5)	-	-	-	-
Proceeds from sale of capital assets	-	7,140	-	-
<b>Total other financing sources</b>	<b>78,156</b>	<b>366,540</b>	<b>-</b>	<b>154,000</b>
<b>Net Change in Fund Balances</b>	<b>689,869</b>	<b>(69,024)</b>	<b>198,663</b>	<b>53,851</b>
<b>Fund Balances</b> - Beginning of year, as previously reported	<b>7,473,171</b>	<b>69,101</b>	<b>347,920</b>	<b>673,902</b>
<b>Change within Financial Reporting Entity</b> (Note 1)	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Fund Balances</b> - Beginning of year, as restated	<b>7,473,171</b>	<b>69,101</b>	<b>347,920</b>	<b>673,902</b>
<b>Fund Balances</b> - End of year	<b>\$ 8,163,040</b>	<b>\$ 77</b>	<b>\$ 546,583</b>	<b>\$ 727,753</b>



# Governmental Funds

## Statement of Revenue, Expenditures, and Changes in Fund Balances

Year Ended June 30, 2025

2020 Road Fund	Library Fund	Crystal DR & Beach Subdivision RD IM SAD Fund	Nonmajor Governmental Funds	Total Governmental Funds
\$ -	\$ 1,256,800	\$ -	\$ 702,895	\$ 9,592,028
350,188	-	80,739	318,536	838,184
-	-	-	-	10,701
-	-	-	3,754	2,514,635
-	10,303	-	-	755,701
-	46,308	-	-	58,888
-	-	-	-	282,681
47,366	105,343	13,517	118,746	645,235
-	49,778	-	18,000	619,622
397,554	1,468,532	94,256	1,161,931	15,317,675
-	-	-	-	3,234,017
-	-	-	22,250	7,681,875
-	-	781,516	1,224,408	2,063,026
-	1,121,817	-	-	1,844,162
-	69,184	-	282,626	351,810
359,921	-	1,594	41,909	651,074
359,921	1,191,001	783,110	1,571,193	15,825,964
37,633	277,531	(688,854)	(409,262)	(508,289)
-	-	-	16,200	1,137,356
-	-	-	(607,756)	(1,137,356)
-	-	608,486	1,489,434	2,097,920
-	-	-	-	7,140
-	-	608,486	897,878	2,105,060
37,633	277,531	(80,368)	488,616	1,596,771
1,241,593	2,774,876	-	3,187,834	15,768,397
-	-	155,456	(155,456)	-
1,241,593	2,774,876	155,456	3,032,378	15,768,397
<b>\$ 1,279,226</b>	<b>\$ 3,052,407</b>	<b>\$ 75,088</b>	<b>\$ 3,520,994</b>	<b>\$ 17,365,168</b>

## Township of Hamburg

### Governmental Funds

### Reconciliation of the Statement of Revenue, Expenditures, and Changes in Fund Balances to the Statement of Activities

Year Ended June 30, 2025

<b>Net Change in Fund Balances Reported in Governmental Funds</b>	<b>\$ 1,596,771</b>
Amounts reported for governmental activities in the statement of activities are different because:	
Governmental funds report capital outlays as expenditures; however, in the statement of activities, these costs are allocated over their estimated useful lives as depreciation:	
Capital outlay	930,871
Depreciation expense	(1,388,123)
Issuing debt provides current financial resources to governmental funds but increases long-term liabilities in the statement of net position	(2,097,920)
Special assessment revenue is recorded in the statement of activities when earned; it is not reported in the funds until collected or collectible within 60 days of year end	1,628,501
Repayment of bond principal is an expenditure in the governmental funds but not in the statement of activities (where it reduces long-term debt)	555,874
Change in accrued interest payable and other	(20,517)
Decrease in accumulated employee sick and vacation pay and other similar expenses reported in the statement of activities do not require the use of current resources and, therefore, are not reported in the fund statements until they come due for payment	(132,333)
Change in net pension liability and deferred inflows/outflows related to pension is recorded when incurred in the statement of activities	(271,553)
<b>Change in Net Position of Governmental Activities</b>	<b><u>\$ 801,571</u></b>

# Township of Hamburg

## Proprietary Fund Statement of Net Position

June 30, 2025

### Sewer Fund

#### Assets

##### Current assets:

Cash and cash equivalents (Note 2)	\$ 86,776
Receivables	728,592
Due from other funds (Note 3)	14,649
Inventory	451,825
Other current assets	28,446

Total current assets 1,310,288

##### Noncurrent assets:

Cash restricted for capital and debt (Note 9)	3,976,845
Assets restricted for capital and debt (Note 9)	28,395
Capital assets: (Note 4)	
Assets not subject to depreciation	1,515,351
Assets subject to depreciation	22,181,734

Total noncurrent assets 27,702,325

Total assets 29,012,613

#### Liabilities

##### Current liabilities:

Accounts payable	113,609
Accrued liabilities and other	88,693
Compensated absences (Note 5)	32,425
Current portion of long-term debt (Note 5)	254,125

Total current liabilities 488,852

##### Noncurrent liabilities:

Compensated absences (Note 5)	32,424
Long-term debt (Note 5)	1,565,910

Total noncurrent liabilities 1,598,334

Total liabilities 2,087,186

#### Net Position

Net investment in capital assets	21,877,050
Restricted - Capital projects and debt service	4,005,240
Unrestricted	1,043,137

Total net position \$ 26,925,427



**Township of Hamburg**

**Proprietary Fund**  
**Statement of Revenue, Expenses, and Changes in Net Position**

**Year Ended June 30, 2025**

	<u>Sewer Fund</u>
<b>Operating Revenue</b>	
Sewage disposal charges	\$ 1,828,635
Debt service charges and other	<u>833,630</u>
Total operating revenue	2,662,265
<b>Operating Expenses</b>	
Cost of sewage treatment	2,608,232
Depreciation	<u>1,148,089</u>
Total operating expenses	<u>3,756,321</u>
<b>Operating Loss</b>	(1,094,056)
<b>Nonoperating Revenue (Expense)</b>	
Investment income	182,929
Interest expense	<u>(71,234)</u>
Total nonoperating revenue	<u>111,695</u>
<b>Loss - Before capital contributions</b>	(982,361)
<b>Capital Contributions - Tap fees</b>	<u>316,840</u>
<b>Change in Net Position</b>	(665,521)
<b>Net Position - Beginning of year</b>	<u>27,590,948</u>
<b>Net Position - End of year</b>	<u><u>\$ 26,925,427</u></u>

## Township of Hamburg

### Proprietary Fund Statement of Cash Flows

Year Ended June 30, 2025

	Sewer Fund
<b>Cash Flows from Operating Activities</b>	
Receipts from customers	\$ 2,629,092
Payments to suppliers	(1,730,255)
Payments to employees	(947,126)
Net cash used in operating activities	(48,289)
<b>Cash Flows from Capital and Related Financing Activities</b>	
Collection of tap fees and capital charges	316,840
Collection of principal and interest on customer assessments	9,645
Purchase of capital assets	(484,357)
Principal and interest paid on capital debt	(621,908)
Net cash used in capital and related financing activities	(779,780)
<b>Cash Flows Provided by Investing Activities - Interest received on investments</b>	203,836
<b>Net Decrease in Cash and Cash Equivalents</b>	(624,233)
<b>Cash and Cash Equivalents - Beginning of year</b>	4,687,854
<b>Cash and Cash Equivalents - End of year</b>	<b>\$ 4,063,621</b>
<b>Statement of Net Position Classification of Cash and Cash Equivalents</b>	
Cash and investments	\$ 86,776
Segregated bank deposits resulting from special assessments	3,976,845
Total cash and cash equivalents	<b>\$ 4,063,621</b>
<b>Reconciliation of Operating Loss to Net Cash from Operating Activities</b>	
Operating loss	\$ (1,094,056)
Adjustments to reconcile operating loss to net cash from operating activities:	
Depreciation	1,148,089
Changes in assets and liabilities:	
Receivables	(33,173)
Inventories	229,789
Prepaid and other assets	209
Accrued and other liabilities	23,302
Accounts payable	(322,449)
Net cash used in operating activities	<b>\$ (48,289)</b>

**Township of Hamburg**

**Fiduciary Fund**  
**Statement of Fiduciary Net Position**

**June 30, 2025**

	Current Tax Collection
<b>Assets</b>	\$ 6,673
<b>Liabilities - Accounts payable</b>	<u>6,673</u>
<b>Net Position</b>	<u><u>\$ -</u></u>



**Township of Hamburg**

**Fiduciary Fund**  
**Statement of Changes in Fiduciary Net Position**

**Year Ended June 30, 2025**

	Current Tax Collection
<b>Additions</b> - Property tax collections on behalf of others	\$ 31,868,514
<b>Deductions</b> - Property tax disbursement to others	<u>31,868,514</u>
<b>Net Change in Fiduciary Net Position</b>	-
<b>Net Position</b> - Beginning of year	<u>-</u>
<b>Net Position</b> - End of year	<u><u>\$ -</u></u>

## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 1 - Summary of Significant Accounting Policies

The following is a summary of the significant accounting policies used by the Township of Hamburg (the "Township"):

#### ***Reporting Entity***

The Township of Hamburg is governed by an elected seven-member board. The accompanying financial statements present the Township.

#### ***Accounting and Reporting Principles***

The Township follows accounting principles generally accepted in the United States of America (GAAP), as applicable to governmental units. Accounting and financial reporting pronouncements are promulgated by the Governmental Accounting Standards Board (GASB).

#### ***Report Presentation***

Governmental accounting principles require that financial reports include two different perspectives - the government-wide perspective and the fund-based perspective. The government-wide financial statements (i.e., the statement of net position and the statement of activities) report information on all of the nonfiduciary activities of the primary government and its component units, as applicable. The government-wide financial statements are presented on the economic resources measurement focus and the full accrual basis of accounting. Property taxes are recognized as revenue in the year for which they are levied. Grants and similar items are recognized as revenue as soon as all eligibility requirements imposed by the provider have been met. The statements also present a schedule reconciling these amounts to the modified accrual-based presentation found in the fund-based statements.

The statement of activities demonstrates the degree to which the direct expenses of a given function or segment are offset by program revenue. Direct expenses are those that are clearly identifiable with a specific function or segment. Program revenue includes: (1) charges to customers or applicants for goods, services, or privileges provided; (2) operating grants and contributions; and (3) capital grants and contributions, including special assessments. Taxes and other items not properly included among program revenue are reported instead as general revenue.

For the most part, the effect of interfund activity has been removed from these statements. Exceptions to this general rule are charges between the Township's sewer function and various other functions of the Township. Eliminations of these charges would distort the direct costs and program revenue reported for the various functions concerned.

Separate financial statements are provided for governmental funds, proprietary funds, and fiduciary funds, even though the latter are excluded from the government-wide financial statements. Major individual governmental funds and major individual enterprise funds are reported as separate columns in the fund financial statements.



## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 1 - Summary of Significant Accounting Policies (Continued)

#### **Fund Accounting**

The Township accounts for its various activities in several different funds in order to demonstrate accountability for how it has spent certain resources; separate funds allow the Township to show the particular expenditures for which specific revenue was used. The various funds are aggregated into three broad fund types:

#### **Governmental Funds**

Governmental funds include all activities that provide general governmental services that are not business-type activities. This includes the General Fund, special revenue funds, debt service funds, and a capital project fund. The Township reports the following funds as major governmental funds:

- The General Fund is the primary operating fund because it accounts for all financial resources used to provide general government services, other than those specifically assigned to another fund.
- The Police Special Revenue Fund and Fire Special Revenue Fund are for full-service departments whose main source of revenue comes from voter-approved millages on all real property. The funds provide safety, fire suppression, fire prevention, and emergency medical services in the Township.
- The 2020 Road Fund accounts for improvements to various roads in the Township. Its main source of revenue comes from special assessments.
- The Water System Debt Service Fund accounts for debt service payments related to the water system. The main source of revenue is the collection of special assessments. The General Fund made advances to this fund to meet current obligations.
- The Library Fund provides public library services to the residents of Hamburg Township. Its main source of revenue comes from a voter-approved millage.
- The Crystal DR & Beach Subdivision RD IM SAD Fund is used to account for the collection of special assessment revenue and the payment of debt service and other expenditures related to the special assessment at the Crystal Drive and Crystal Beach subdivision.

#### **Proprietary Funds**

Proprietary funds include enterprise funds, which provide goods or services to users in exchange for charges or fees. The Township reports the following fund as a major enterprise fund:

- The Sewer Fund accounts for the results of operations that provide sewer services to citizens and is financed primarily by a user charge for the provision of those services.

#### **Fiduciary Funds**

The Township reports the Current Tax Collection Fund as a custodial fund. The custodial fund accounts for assets held by the Township in a trustee capacity.

#### **Interfund Activity**

During the course of operations, the government has activity between funds for various purposes. Any residual balances outstanding at year end are reported as due from/to other funds and advances to/from other funds. While these balances are reported in fund financial statements, certain eliminations are made in the preparation of the government-wide financial statements. Balances between the funds included in governmental activities (i.e., the governmental and internal service funds) are eliminated so that only the net amount is included as internal balances in the governmental activities column.



## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 1 - Summary of Significant Accounting Policies (Continued)

Furthermore, certain activity occurs during the year involving transfers of resources between funds. In fund financial statements, these amounts are reported at gross amounts as transfers in/out. While reported in fund financial statements, certain eliminations are made in the preparation of the government-wide financial statements. Transfers between the funds included in governmental activities are eliminated so that only the net amount is included as transfers in the governmental activities column.

#### ***Basis of Accounting***

The governmental funds use the current financial resources measurement focus and the modified accrual basis of accounting. This basis of accounting is intended to better demonstrate accountability for how the government has spent its resources.

Expenditures are reported when the goods are received or the services are rendered. Capital outlays are reported as expenditures (rather than as capital assets) because they reduce the ability to spend resources in the future; conversely, employee benefit costs that will be funded in the future (such as pension and sick and vacation pay) are not counted until they come due for payment. In addition, debt service expenditures, claims, and judgments are recorded only when payment is due.

Revenue is not recognized until it is collected or collected soon enough after the end of the year that it is available to pay for obligations outstanding at the end of the year. For this purpose, the Township considers amounts collected within 60 days of year end to be available for recognition. The following major revenue sources meet the availability criterion: state-shared revenue and interest associated with the current fiscal period. Conversely, special assessments and federal grant reimbursements will be collected after the period of availability; receivables have been recorded for these, along with a deferred inflow.

Proprietary funds and fiduciary funds, as applicable, use the economic resources measurement focus and the full accrual basis of accounting. Revenue is recorded when earned, and expenses are recorded when a liability is incurred, regardless of the timing of related cash flows.

#### ***Specific Balances and Transactions***

##### **Cash and Cash Equivalents**

Cash and cash equivalents include cash on hand, demand deposits, and short-term investments with a maturity of three months or less when acquired.

##### **Receivables and Payables**

In general, outstanding balances between funds are reported as due to/from other funds. Activity between funds that is representative of lending/borrowing arrangements outstanding at the end of the fiscal year is referred to as advances to/from other funds. Any residual balances outstanding between the governmental activities and the business-type activities are reported in the government-wide financial statements as internal balances.

All trade and property tax receivables are shown as net of an allowance for uncollectible amounts.

##### **Restricted Assets**

Restricted assets in the 2020 Road Fund, Water System Debt Service Fund, Crystal DR & Beach Subdivision RD IM SAD Fund, nonmajor governmental funds, and the Sewer Fund consist of cash and cash equivalents restricted for debt payments and capital improvements.



## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 1 - Summary of Significant Accounting Policies (Continued)

#### Capital Assets

Capital assets, which include property, plant, equipment, intangibles, and infrastructure, are reported in the applicable governmental or business-type activities column in the government-wide financial statements. Capital assets are defined by the Township as assets with an initial individual cost of more than \$2,500 and an estimated useful life in excess of one year for non-computer-related assets and \$500 for computer equipment. Such assets are recorded at historical cost or estimated historical cost if purchased or constructed. Donated capital assets are recorded at acquisition value.

Infrastructure, intangibles, buildings, equipment, and vehicles are depreciated using the straight-line method over the following useful lives:

	Depreciable Life - Years
Buildings and building improvements	5-50
Machinery and tools	3-15
Vehicles, boats, and related equipment	3-7
Office furnishings and equipment	3-10
Library collection materials	10
Leasehold improvements	50
Business-type activities - Utility system	3-50

#### Long-term Obligations

In the government-wide financial statements and the proprietary fund types in the fund financial statements, long-term debt and other long-term obligations are reported as liabilities in the applicable governmental activities, business-type activities, or proprietary fund-type statement of net position. Bond premiums and discounts are deferred and amortized over the life of the bond using the effective interest method; bonds payable are reported net of the applicable bond premium or discount. Bond issuance costs are expensed at the time they are incurred. In the fund financial statements, governmental fund types recognize bond issuances as other financing sources and bond premiums and discounts as other financing uses. The General Fund and debt service funds are generally used to liquidate governmental long-term debt. The Sewer Fund is used to liquidate proprietary fund long-term debt.

#### Deferred Outflows/Inflows of Resources

In addition to assets, the statement of net position and/or balance sheet will sometimes report a separate section for deferred outflows of resources. This separate financial statement element represents a consumption of net position that applies to a future period and will not be recognized as an outflow of resources (expense/expenditure) until then. The Township has one item that falls into this category, the deferred outflows of resources related to the defined benefit pension plan. The deferred outflows of resources related to the defined benefit pension plan are reported in the government-wide financial statements.

In addition to liabilities, the statement of net position and/or balance sheet will sometimes report a separate section for deferred inflows of resources. This separate financial statement element represents an acquisition of net position that applies to a future period and will not be recognized as an inflow of resources (revenue) until that time. The Township has two items that qualify for reporting in this category, deferred inflows of resources related to unavailable revenue and deferred inflows of resources related to pensions. Unavailable revenue is reported only in the governmental funds balance sheet. The governmental funds report unavailable revenue from special assessments. These amounts are deferred and recognized as an inflow of resources in the period that the amounts become available. The deferred inflows of resources related to the defined benefit pension plan are reported in the government-wide financial statements.



## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 1 - Summary of Significant Accounting Policies (Continued)

#### Net Position

Net position of the Township is classified in three components. Net investment in capital assets consists of capital assets net of accumulated depreciation and is reduced by the current balances of any outstanding borrowings used to finance the purchase or construction of those assets. The restricted component of net position consists of restricted assets reduced by liabilities and deferred inflows of resources related to those assets. Unrestricted net position is the remaining net position that does not meet the definition of invested in capital or restricted.

#### Net Position Flow Assumption

Sometimes the government will fund outlays for a particular purpose from both restricted (e.g., restricted bond or grant proceeds) and unrestricted resources. In order to calculate the amounts to report as restricted net position and unrestricted net position in the government-wide and proprietary fund financial statements, a flow assumption must be made about the order in which the resources are considered to be applied. It is the government's policy to consider restricted net position to have been depleted before unrestricted net position is applied.

#### Fund Balance Flow Assumptions

Sometimes the government will fund outlays for a particular purpose from both restricted and unrestricted resources (the total of committed, assigned, and unassigned fund balance). In order to calculate the amounts to report as restricted, committed, assigned, and unassigned fund balance in the governmental fund financial statements, a flow assumption must be made about the order in which the resources are considered to be applied. It is the government's policy to consider restricted fund balance to have been depleted before using any of the components of unrestricted fund balance. Furthermore, when the components of unrestricted fund balance can be used for the same purpose, committed fund balance is depleted first, followed by assigned fund balance. Unassigned fund balance is applied last.

#### Fund Balance Policies

Fund balance of governmental funds is reported in various categories based on the nature of any limitations requiring the use of resources for specific purposes. The government itself can establish limitations on the use of resources through either a commitment (committed fund balance) or an assignment (assigned fund balance).

The committed fund balance classification includes amounts that can be used only for the specific purposes determined by a formal action of the government's highest level of decision-making authority. The Township's board is the highest level of decision-making authority for the government that can, by adoption of an ordinance prior to the end of the fiscal year, commit fund balance. Once adopted, the limitation imposed by the ordinance remains in place until a similar action is taken (the adoption of another ordinance) to remove or revise the limitation.

Amounts in the assigned fund balance classification are intended to be used by the government for specific purposes but do not meet the criteria to be classified as committed. The Township's board has by resolution authorized the finance director to assign fund balance. The board may also assign fund balance as it does when appropriating fund balance to cover a gap between estimated revenue and appropriations in the subsequent year's appropriated budget. Unlike commitments, assignments generally exist only temporarily. In other words, an additional action does not normally have to be taken for the removal of an assignment. Conversely, as discussed above, an additional action is essential to either remove or revise a commitment.



## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 1 - Summary of Significant Accounting Policies (Continued)

#### Property Tax Revenue

The taxable valuation of the Township totaled \$1.406 billion. Property taxes are levied and become a lien on each December 1 on the taxable valuation of property as of the preceding December 31. Taxes are considered delinquent on March 1 of the following year, at which time penalties and interest are assessed. The amounts are recognized in the financial statements as tax revenue net of delinquent tax revenue and administrative fees.

The Township's approximate property tax levy for the year ended June 30, 2025 was as follows:

Purpose	Millage Rate	Revenue
Operating	0.7891 \$	1,111,000
Police	2.3885	3,359,000
Fire	2.2500	3,165,000
Library	0.8936	1,224,000
Roads	0.5000	703,000
Total		<u>\$ 9,562,000</u>

#### Pension

The Township offers a defined benefit pension plan to its employees. The Township records a net pension liability for the difference between the total pension liability calculated by the actuary and the pension plan's fiduciary net position. For the purpose of measuring the net pension liability, deferred outflows of resources and deferred inflows of resources related to pensions, and pension expense, information about the fiduciary net position of the pension plan and additions to/deductions from the pension plan's fiduciary net position have been determined on the same basis as they are reported by the pension plan. For this purpose, benefit payments (including refunds of employee contributions) are recognized when due and payable in accordance with the benefit terms. Investments are reported at fair value.

#### Compensated Absences (Vacation and Sick Leave)

It is the Township's policy to permit employees to accumulate earned but unused sick, vacation, and compensatory time. Sick and vacation time is accrued when incurred in the government-wide and proprietary financial statements. A leave liability is recognized due to the leave attributable to services already rendered, leave that accumulates, and leave that is more likely than not to be used for time off or otherwise paid in cash or settled through noncash means. A liability for these amounts is reported in governmental funds only for employee terminations as of year end.

#### Proprietary Funds Operating Classification

Proprietary funds distinguish operating revenue and expenses from nonoperating items. Operating revenue and expenses generally result from providing services and producing and delivering goods in connection with a proprietary fund's principal ongoing operations. The principal operating revenue of the Sewer Fund is charges to customers for sales and services. The Sewer Fund also recognizes as operating revenue the portion of tap fees intended to recover the cost of connecting new customers to the system. Operating expenses for enterprise funds and internal service funds include the cost of sales and services, administrative expenses, and depreciation on capital assets. All revenue and expenses not meeting this definition are reported as nonoperating revenue and expenses.

## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 1 - Summary of Significant Accounting Policies (Continued)

#### Use of Estimates

The preparation of financial statements in conformity with accounting principles generally accepted in the United States of America requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenue and expenses during the period. Actual results could differ from those estimates.

#### Earmarked Fund Balance

Fund balance in the Police Special Revenue Fund is restricted by law as part of a special voted levy to be used only for those purposes. The Township's board has further earmarked resources within the fund to be used as follows:

Fund	Purpose	Amount
Police Special Revenue	Retiree leave time	\$ 20,742
Police Special Revenue	Building maintenance	25,000
Total		<u>\$ 45,742</u>

#### Upcoming Accounting Pronouncements

In April 2024, the Governmental Accounting Standards Board issued Statement No. 103, *Financial Reporting Model Improvements*, which establishes new accounting and financial reporting requirements or modifies existing requirements related to the following: management's discussion and analysis; unusual or infrequent items; presentation of the proprietary fund statement of revenue, expenses, and changes in fund net position; information about major component units in basic financial statements; budgetary comparison information; and financial trends information in the statistical section. The provisions of this statement are effective for the Township's financial statements for the year ending June 30, 2026.

In September 2024, the Governmental Accounting Standards Board issued Statement No. 104, *Disclosure of Certain Capital Assets*, which requires certain types of capital assets, such as lease assets, intangible right-of-use assets, subscription assets, and other intangible assets, to be disclosed separately by major class of underlying asset in the capital assets note. This statement also requires additional disclosures for capital assets held for sale. The provisions of this statement are effective for the Township's financial statements for the year ending June 30, 2026.

#### Accounting Changes and Error Corrections

##### Changes to or within the Financial Reporting Entity

##### Change in Major Funds

The Crystal DR & Beach Subdivision RD IM SAD Fund was previously reported as a nonmajor fund but is now reported as a major fund for fiscal year 2025. The effects of this change in major funds are shown in the table at the end of this section.



## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 1 - Summary of Significant Accounting Policies (Continued)

#### Adjustments to and Restatements of Beginning Balances

During fiscal year 2025, the changes noted above resulted in adjustments to and restatements of beginning governmental funds fund balance as follows:

	June 30, 2024 As Previously Reported	Change in Major Funds	June 30, 2024 As Adjusted
Governmental funds:			
Major funds - Crystal DR & Beach Subdivision RD			
IM SAD Fund	\$ -	\$ 155,456	\$ 155,456
Nonmajor funds	3,187,834	(155,456)	3,032,378

### Note 2 - Deposits and Investments

Michigan Compiled Laws Section 129.91 (Public Act 20 of 1943, as amended) authorizes local governmental units to make deposits and invest in the accounts of federally insured banks, credit unions, and savings and loan associations that have offices in Michigan. The law also allows investments outside the state of Michigan when fully insured. The local unit is allowed to invest in bonds, securities, and other direct obligations of the United States or any agency or instrumentality of the United States; repurchase agreements; bankers' acceptances of United States banks; commercial paper rated within the two highest classifications that matures no more than 270 days after the date of purchase; obligations of the State of Michigan or its political subdivisions that are rated as investment grade; and mutual funds composed of investment vehicles that are legal for direct investment by local units of government in Michigan.

The Township has designated nine banks for the deposit of its funds. The investment policy adopted by the board in accordance with Public Act 196 of 1997 has authorized investment in all of the above-mentioned investment vehicles.

The Township's cash and investments are subject to various types of risk, which are examined in more detail below:

#### **Custodial Credit Risk of Bank Deposits**

Custodial credit risk is the risk that, in the event of a bank failure, the Township's deposits may not be returned to it. The Township does not have a deposit policy for custodial credit risk. At year end, the Township had bank deposits of \$18,176,936 (certificates of deposit and checking and savings accounts) that were uninsured or uncollateralized.

#### **Interest Rate Risk**

Interest rate risk is the risk that the value of investments will decrease as a result of a rise in interest rates. The Township's investment policy does not restrict investment maturities other than commercial paper, which can only be purchased with a 270-day maturity. The Township's investment policy does not restrict investment maturities other than commercial paper, which can only be purchased with a 270-day maturity.

Investment	Carrying Value	Weighted- average Maturity (Days)
Michigan CLASS investment pool	\$ 5,644,534	85



## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 2 - Deposits and Investments (Continued)

#### Credit Risk

State law limits investments in commercial paper to the top two ratings issued by nationally recognized statistical rating organizations. The Township has no investment policy that would further limit its investment choices. As of year end, the credit quality ratings of debt securities (other than the U.S. government) are as follows:

Investment	Fair Value	Rating	Rating Organization
Michigan CLASS investment pool	\$ 5,644,534	AAAm	S&P

#### Concentration of Credit Risk

The Township places no limit on the amount it may invest in any one issuer. There are no investments held by the Township with a 5 percent or more concentration in the current year.

#### Fair Value Measurements

The Township categorizes its fair value measurements within the fair value hierarchy established by generally accepted accounting principles. The hierarchy is based on the valuation inputs used to measure the fair value of the asset. Level 1 inputs are quoted prices in active markets for identical assets, Level 2 inputs are significant other observable inputs, and Level 3 inputs are significant unobservable inputs. Investments that are measured at fair value using net asset value per share (NAV) (or its equivalent) as a practical expedient are not classified in the fair value hierarchy below.

In instances where inputs used to measure fair value fall into different levels in the above fair value hierarchy, fair value measurements in their entirety are categorized based on the lowest level input that is significant to the valuation. The Township's assessment of the significance of particular inputs to these fair value measurements requires judgment and considers factors specific to each asset.

The Township has the following recurring fair value measurements as of June 30, 2025:

	Assets Measured at Fair Value on a Recurring Basis Balance at June 30, 2025
Investments measured at net asset value - Michigan CLASS investment pool	\$ 5,644,534

#### Investments in Entities that Calculate Net Asset Value per Share

The Township holds shares or interests in investment companies where the fair value of the investments is measured on a recurring basis using net asset value per share (or its equivalent) of the investment companies as a practical expedient.

At June 30, 2025, the fair value, unfunded commitments, and redemption rules of those investments are as follows:

	Fair Value	Unfunded Commitments	Redemption Frequency, if Eligible	Redemption Notice Period
Total investments measured at NAV - Michigan CLASS investment pool	\$ 5,644,534	\$ -	\$ -	\$ -

## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 2 - Deposits and Investments (Continued)

The Michigan CLASS investment pool invests in U.S. Treasury obligations, federal agency obligations of the U.S. government, high-grade commercial paper (rated A1 or better), collateralized bank deposits, repurchase agreements (collateralized at 102 percent by Treasuries and agencies), and approved money market funds. The program is designed to meet the needs of Michigan public sector investors. It purchases securities that are legally permissible under state statutes and are available for investment by Michigan counties, cities, townships, school districts, authorities, and other public agencies.

### Note 3 - Interfund Receivables, Payables, and Transfers

The composition of interfund balances is as follows:

Receivable Fund	Payable Fund	Amount
Nonmajor governmental funds	General Fund	\$ 16,563
Sewer Fund	Nonmajor governmental funds	14,649
	Total	<u>\$ 31,212</u>

The Township has made the following long-term advances between funds:

Fund Borrowed From	Fund Loaned To	Amount
General Fund	Water System Debt Service Fund	\$ 459,648

These balances result from the time lag between the dates that goods and services are provided or reimbursable expenditures occur, transactions are recorded in the accounting system, and payments between funds are made.

Interfund advances reported in the fund financial statements are related to the purchase of the water system assets and payment of the related debt. The advance is due from the Water System Debt Service Fund to the General Fund, with payment due once the system generates revenue from the user charge for the provision of water services.

Interfund transfers reported in the fund financial statements are composed of the following:

Paying Fund (Transfer Out)	Receiving Fund (Transfer In)	Amount
General Fund	Water System Debt Service Fund	\$ 154,000
	Police Special Revenue Fund	359,400
	Nonmajor governmental funds	<u>16,200</u>
	Total General Fund	529,600
Nonmajor governmental funds	General Fund	607,756

The transfers from the General Fund to the Water System Debt Service Fund, Police Special Revenue Fund, and nonmajor governmental funds were for capital purchases and general operations. The transfer from nonmajor governmental funds to the General Fund was made to close the Parks and Recreation Fund.



# Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 4 - Capital Assets

Capital asset activity of the Township's governmental and business-type activities was as follows:

#### Governmental Activities

	Balance July 1, 2024	Additions	Disposals	Balance June 30, 2025
Capital assets not being depreciated - Land	\$ 1,470,108	\$ -	\$ -	\$ 1,470,108
Capital assets being depreciated:				
Intangible rights	8,878,138	-	-	8,878,138
Buildings and improvements	17,284,923	603,527	-	17,888,450
Machinery and equipment	2,703,833	134,262	-	2,838,095
Vehicles	3,321,683	109,369	(4,044)	3,427,008
Office furnishings	1,713,411	42,496	-	1,755,907
Library collection material	864,370	41,217	-	905,587
Land improvements	1,067,950	-	-	1,067,950
Subtotal	35,834,308	930,871	(4,044)	36,761,135
Accumulated depreciation:				
Intangible rights	928,147	178,988	-	1,107,135
Buildings and improvements	7,806,498	463,997	-	8,270,495
Machinery and equipment	2,064,966	210,495	-	2,275,461
Vehicles	2,546,636	455,714	(4,044)	2,998,306
Office furnishings	1,666,023	23,728	-	1,689,751
Library collection materials	846,065	30,322	-	876,387
Land improvements	308,368	24,879	-	333,247
Subtotal	16,166,703	1,388,123	(4,044)	17,550,782
Net capital assets being depreciated	19,667,605	(457,252)	-	19,210,353
Net governmental activities capital assets	\$ 21,137,713	\$ (457,252)	\$ -	\$ 20,680,461



# Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 4 - Capital Assets (Continued)

#### Business-type Activities

	Balance July 1, 2024	Reclassifications and Adjustments	Additions	Disposals	Balance June 30, 2025
Capital assets not being depreciated:					
Land	\$ 1,303,361	\$ -	\$ -	\$ -	\$ 1,303,361
Construction in progress - Sewer hookups	206,983	-	5,007	-	211,990
Construction in progress - Other	50,287	(50,287)	-	-	-
Subtotal	1,560,631	(50,287)	5,007	-	1,515,351
Capital assets being depreciated:					
Utility system	28,683,434	50,287	177,326	-	28,911,047
Buildings and improvements	8,066,933	-	34,685	-	8,101,618
Machinery and equipment	869,088	-	37,550	-	906,638
GPS system	6,103,028	-	229,789	-	6,332,817
Subtotal	43,722,483	50,287	479,350	-	44,252,120
Accumulated depreciation:					
Utility system	12,648,429	-	616,132	-	13,264,561
Buildings and improvements	3,132,967	-	162,123	-	3,295,090
Machinery and equipment	482,468	-	88,405	-	570,873
GPS system	4,658,433	-	281,429	-	4,939,862
Subtotal	20,922,297	-	1,148,089	-	22,070,386
Net capital assets being depreciated	22,800,186	50,287	(668,739)	-	22,181,734
Net business-type activities capital assets	<u>\$ 24,360,817</u>	<u>\$ -</u>	<u>\$ (663,732)</u>	<u>\$ -</u>	<u>\$ 23,697,085</u>

Depreciation expense was charged to programs of the primary government as follows:

Governmental activities:	
General government	\$ 442,256
Public safety	793,737
Public works	8,040
Recreation and culture	144,090
Total governmental activities	<u>\$ 1,388,123</u>

## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 5 - Long-term Debt

Long-term debt activity for the year ended June 30, 2025 can be summarized as follows:

#### Governmental Activities

	Interest Rate Ranges	Principal Maturity Ranges	Beginning Balance	Additions	Reductions	Ending Balance	Due within One Year
Other debt:							
2012 Water system project refunding bond:							
Amount of issue -							
\$1,730,000	2.00% -	\$60,000 -					
Maturing through 2031	3.50%	\$115,000	\$ 820,000	\$ -	\$ (100,000)	\$ 720,000	\$ 95,000
2008 Special assessment:							
Amount of issue -							
\$1,435,000	3.00% -	\$50,000 -					
Maturing through 2028	4.20%	\$125,000	425,000	-	(100,000)	325,000	100,000
2010 Special assessment:							
Amount of issue -							
\$445,000							
Portion related to governmental activities -							
\$431,240	3.25% -	\$19,380 -					
Maturing through 2030	5.75%	\$24,225	116,280	-	(19,380)	96,900	19,380
2020 Special assessment:							
Amount of issue -							
\$3,315,000							
Portion related to governmental activities -							
\$3,280,822	1.00% -	\$272,170 -					
Maturing through 2030	1.30%	\$341,450	2,035,600	-	(336,494)	1,699,106	336,495
2025 Special assessment:							
Amount of issue -							
\$1,925,000		\$150,000 -					
Maturing through 2034	5.00%	\$255,000	-	1,925,000	-	1,925,000	150,000
Total other debt			3,396,880	1,925,000	(555,874)	4,766,006	700,875
Unamortized bond premiums			4,853	172,920	(120)	177,653	-
Subtotal			3,401,733	2,097,920	(555,994)	4,943,659	700,875
Accumulated compensated absences			610,366	132,333	-	742,699	348,991
Total governmental activities long-term debt			<u>\$ 4,012,099</u>	<u>\$ 2,230,253</u>	<u>\$ (555,994)</u>	<u>\$ 5,686,358</u>	<u>\$ 1,049,866</u>

The table above discloses the net change in accumulated compensated absences.

# Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 5 - Long-term Debt (Continued)

#### Business-type Activities

	Interest Rate Ranges	Principal Maturity Ranges	Beginning Balance	Additions	Reductions	Ending Balance	Due within One Year
Other debt:							
2010 Special assessment:							
Amount of issue -							
\$445,000							
Portion related to							
business-type activities -							
\$13,760	3.00%-						
Maturing through 2030	5.75%	\$618-\$775	\$ 3,720	\$ -	\$ (620)	\$ 3,100	\$ 620
Revenue bonds -							
2007 Waste Water							
Treatment Plant:							
Amount of issue -							
\$4,590,000	3.60%-	\$210,000-					
Maturing through 2028	4.20%	\$300,000	595,000	-	(300,000)	295,000	-
2010 Limited Tax G.O.							
bonds:							
Amount of issue -							
\$3,265,000		\$125,000-					
Maturing through 2031	2.50%	\$205,000	1,330,000	-	(175,000)	1,155,000	180,000
2020 Special assessment:							
Amount of issue -							
\$3,315,000							
Portion related to							
business-type activities -							
\$34,178	1.00%-	\$2,830-					
Maturing through 2030	1.30%	\$3,550	21,239	-	(3,506)	17,733	3,505
Total other debt			1,949,959	-	(479,126)	1,470,833	184,125
Direct placement debt:							
State Revolving Fund Bonds -							
2009 Limited Tax G.O. bonds:							
Amount of issue - \$1,235,202		\$49,202-					
Maturing through 2030	2.50%	\$80,000	419,202	-	(70,000)	349,202	70,000
Subtotal			2,369,161	-	(549,126)	1,820,035	254,125
Accumulated compensated							
absences			45,423	35,830	(16,404)	64,849	32,425
Total business-type							
activities long-term							
debt			\$ 2,414,584	\$ 35,830	\$ (565,530)	\$ 1,884,884	\$ 286,550



## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 5 - Long-term Debt (Continued)

#### Debt Service Requirements to Maturity

Annual debt service requirements to maturity for the above bonds and note obligations are as follows:

Years Ending June 30	Governmental Activities		
	Other Debt		Total
	Principal	Interest	
2026	\$ 700,875	\$ 184,822	\$ 885,697
2027	740,823	119,357	860,180
2028	765,823	101,093	866,916
2029	685,823	80,366	766,189
2030	687,662	64,564	752,226
2031-2035	1,185,000	106,188	1,291,188
Total	\$ 4,766,006	\$ 656,390	\$ 5,422,396

Years Ending June 30	Business-type Activities				
	Direct Borrowings and Direct Placements		Other Debt		Total
	Principal	Interest	Principal	Interest	
2026	\$ 70,000	\$ 7,855	\$ 184,125	\$ 45,973	\$ 307,953
2027	75,000	6,043	484,177	28,774	593,994
2028	75,000	4,168	194,177	17,749	291,094
2029	80,000	2,230	199,177	12,794	294,201
2030	49,202	615	204,177	7,661	261,655
2031-2035	-	-	205,000	2,563	207,563
Total	\$ 349,202	\$ 20,911	\$ 1,470,833	\$ 115,514	\$ 1,956,460

#### Revenue Bond

The Township has pledged substantially all revenue of the Sewer Fund, net of operating expenses, to repay the above sewer revenue bonds. Proceeds from the bonds provided financing for the construction of the wastewater treatment plant. The bonds are payable solely from the net revenue of the sewer system. The remaining principal and interest to be paid on the bonds total \$301,195. During the current year, net revenue of the sewer system was \$342,537, compared to the annual debt requirements on the revenue bond of \$310,800. These debt requirements do not include amounts obligated for other business-type debt.

#### Defeased Debt

In prior years, the Township defeased certain bonds by placing the proceeds of new bonds in an irrevocable trust to provide for all future debt service payments on the old bonds. Accordingly, the trust accounts' assets and liabilities for the defeased bonds are not included in the basic financial statements. At June 30, 2025, outstanding bonds totaling \$325,000 are considered defeased.

## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 6 - Defined Contribution Pension Plan

The Township provides pension benefits to all of its full-time employees, except police officers, through a defined contribution plan administered through the Michigan Municipal Employees' Retirement System. In a defined contribution plan, benefits depend solely on amounts contributed to the plan plus investment earnings. As established by the Township's board, the Township contributes 10 percent of employees' gross earnings. Employees fully vest after one year of service. In accordance with these requirements, the Township contributed approximately \$413,000 during the year.

### Note 7 - Investment in Joint Ventures

The Township is a member of the Portage - Base Lakes Area Water and Sewer Authority (the "Authority"), which provides sewer services to the residents of Hamburg, Dexter, Putnam, and Webster townships. The residents of the participating communities provide annual funding for its operations via sewer billings. The Township is unaware of any circumstance that would cause an additional benefit or burden to the participating governments in the near future. Complete financial statements for the Authority can be obtained from the administrative offices at 10405 Merrill Road, Hamburg, MI 48139.

The Township is a member of the Livingston Community Water Authority (the "Water Authority"), which provides water services to the residents of Hamburg, Brighton, and Green Oak townships. As services are provided, the residents of participating communities provide annual funding for its operations via water billings. The Water Authority began providing service to township residents during the year ended June 30, 2010. The Township is unaware of any circumstances that would cause an additional financial benefit or burden to the participating governments in the near future.

### Note 8 - Pension Plan

#### *Plan Description*

The Township of Hamburg participates in the Michigan Municipal Employees' Retirement System (MERS or MERS of Michigan), an agent multiple-employer defined benefit pension plan that covers employees of the Township hired prior to 1997. The system provides retirement, disability, and death benefits to plan members and their beneficiaries. The Michigan Municipal Employees' Retirement System issues a publicly available financial report that includes financial statements and required supplementary information for the system. That report may be obtained by writing to the system at 1134 Municipal Way, Lansing, MI 48917.

#### *Funding Policy*

The obligation to contribute to and maintain MERS for these employees was established by negotiation with the Township's competitive bargaining units and requires a contribution from the employees of 8 percent of wages. The Township is responsible for the remainder of the cost of the plan.

#### *Benefits Provided*

The plan provides certain retirement, disability, and death benefits to plan members and beneficiaries. PA 427 of 1984, as amended, established and amends the benefit provisions of the participants in MERS.

Retirement benefits for police employees are calculated as 2.50 percent of the employee's final 3-year average salary times the employee's years of service. Normal retirement age is 60, with early retirement at 50 with 25 years of service. The vesting period is 10 years. Employees are eligible for nonduty disability benefits after 10 years of service and for duty-related disability benefits upon hire. Disability retirement benefits are determined in the same manner as retirement benefits but are payable immediately without an actuarial reduction. Death benefits are always the larger of the benefit computed as a contingent survivor beneficiary or 85 percent of accrued retirement allowance benefit. An employee who leaves service may withdraw his or her contributions, plus any accumulated interest.

Benefit terms provide for annual cost of living adjustments to each employee's retirement allowance subsequent to the employee's retirement date limited to increases in the Consumer Price Index.



## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 8 - Pension Plan (Continued)

Benefit terms, within the parameters established by MERS, are generally established and amended by authority of the board of trustees, generally after negotiations of these terms with the affected unions. Police employees' benefit terms may be subject to binding arbitration in certain circumstances.

#### **Employees Covered by Benefit Terms**

The following members were covered by the benefit terms:

Date of member count	December 31, 2024
Inactive plan members or beneficiaries currently receiving benefits	8
Inactive plan members entitled to but not yet receiving benefits	7
Active plan members	17
Pending refunds	3
	<hr/>
Total employees covered by the plan	35
	<hr/>

#### **Contributions**

Article 9, Section 24 of the State of Michigan constitution requires that financial benefits arising on account of employee service rendered in each year be funded during that year. Accordingly, MERS retains an independent actuary to determine the annual contribution. The employer is required to contribute amounts at least equal to the actuarially determined rate, as established by the MERS retirement board. The actuarially determined rate is the estimated amount necessary to finance the costs of benefits earned by plan members during the year, with an additional amount to finance any unfunded accrued liability. The employer may establish contribution rates to be paid by its covered employees.

For the year ended December 31, 2024, the Township's employer and employee contributions totaled \$388,996 and \$142,761, respectively.

#### **Net Pension Liability**

The June 30, 2025 fiscal year end reported net pension liability was determined using a measure of the total pension liability and the pension net position as of the December 31, 2024 measurement date. The December 31, 2024 measurement date total pension liability was determined by an actuarial valuation performed as of that date.



## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 8 - Pension Plan (Continued)

Changes in the net pension liability during the measurement year were as follows:

Changes in Net Pension Liability	Increase (Decrease)		
	Total Pension Liability	Plan Net Position	Net Pension Liability
<b>Balance - December 31, 2023</b>	\$ 9,826,503	\$ 7,263,638	\$ 2,562,865
Changes for the year:			
Service cost	279,322	-	279,322
Interest	704,115	-	704,115
Differences between expected and actual experience	287,148	-	287,148
Changes in assumptions	35,452	-	35,452
Contributions - Employer	-	388,996	(388,996)
Contributions - Employee	-	142,761	(142,761)
Net investment income	-	548,901	(548,901)
Benefit payments, including refunds	(319,105)	(319,105)	-
Administrative expenses	-	(16,416)	16,416
Net changes	986,932	745,137	241,795
<b>Balance - December 31, 2024</b>	<u>\$ 10,813,435</u>	<u>\$ 8,008,775</u>	<u>\$ 2,804,660</u>

The plan's fiduciary net position represents 74 percent of the total pension liability.

#### ***Pension Expense and Deferred Outflows of Resources and Deferred Inflows of Resources Related to Pensions***

For the year ended June 30, 2025, the Township recognized pension expense of \$681,554.

At June 30, 2025, the Township reported deferred outflows of resources and deferred inflows of resources related to pensions from the following sources:

	Deferred Outflows of Resources	Deferred Inflows of Resources
Difference between expected and actual experience	\$ 479,917	\$ (13,418)
Changes in assumptions	257,690	-
Net difference between projected and actual earnings on pension plan investments	256,129	-
Employer contributions to the plan subsequent to the measurement date	205,660	-
Total	<u>\$ 1,199,396</u>	<u>\$ (13,418)</u>

## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 8 - Pension Plan (Continued)

Amounts reported as deferred outflows of resources and deferred inflows of resources related to pensions will be recognized in pension expense as follows (note that employer contributions subsequent to the measurement date will reduce the net pension liability and, therefore, will not be included in future pension expense):

Years Ending June 30	Amount
2026	\$ 387,800
2027	429,793
2028	102,270
2029	60,455
Total	<u>\$ 980,318</u>

#### Actuarial Assumptions

The total pension liability in the December 31, 2024 actuarial valuation was determined using an inflation assumption of 2.5 percent, assumed salary increases of 3.00 percent (with merit increase totaling up to 6.7 percent), an investment rate of return (net of investment expenses and including inflation) of 7.18 percent, and the Pub-10 Mortality Tables with MP-2021 fully generational improvements. These assumptions were applied to all periods included in the measurement and are based on an experience study conducted for the period from January 1, 2019 through December 31, 2023.

#### Discount Rate

The discount rate used to measure the total pension liability was 7.18 percent. The projection of cash flows used to determine the discount rate assumed that employee contributions will be made at the current contribution rate and that township contributions will be made at rates equal to the difference between actuarially determined contribution rates and the employee rate.

Based on those assumptions, the pension plan's fiduciary net position was projected to be available to make all projected future benefit payments of current active and inactive employees. Therefore, the long-term expected rate of return on pension plan investments was applied to all periods of projected benefit payments to determine the total pension liability.

#### Investment Rate of Return

The long-term expected rate of return on pension plan investments was determined using a model in which best estimate ranges of expected future real rates of return (expected returns, net of pension plan investment expense and inflation) are developed for each major asset class. These ranges are combined to produce the long-term expected rate of return by weighting the expected future real rates of return by the target asset allocation percentage and by adding expected inflation. The target allocation and best estimates of arithmetic real rates of return as of the December 31, 2024 measurement date for each major asset class included in the pension plan's target asset allocation, as disclosed in the investment note, are summarized in the following table:

Asset Class	Target Allocation	Long-term Expected Real Rate of Return
Global equity	60.00 %	4.50 %
Global fixed income	20.00	2.16
Private investments	20.00	6.50



## Township of Hamburg

## Notes to Financial Statements

June 30, 2025

### Note 8 - Pension Plan (Continued)

#### *Sensitivity of the Net Pension Liability to Changes in the Discount Rate*

The following presents the net pension liability of the Township, calculated using the discount rate of 7.18 percent, as well as what the Township's net pension liability would be if it were calculated using a discount rate that is 1 percentage point lower or 1 percentage point higher than the current rate:

	1 Percentage Point Decrease (6.18%)	Current Discount Rate (7.18%)	1 Percentage Point Increase (8.18%)
Net pension liability of the Township	\$ 4,428,849	\$ 2,804,660	\$ 1,480,894

#### *Pension Plan Fiduciary Net Position*

Detailed information about the plan's fiduciary net position is available in the separately issued financial report. For the purpose of measuring the net pension liability, deferred outflows of resources and deferred inflows of resources related to pensions, and pension expense, information about the plan's fiduciary net position and additions to/deductions from fiduciary net position have been determined on the same basis as they are reported by the plan. The plan uses the economic resources measurement focus and the full accrual basis of accounting. Investments are stated at fair value. Contribution revenue is recorded as contributions are due, pursuant to legal requirements. Benefit payments and refunds of employee contributions are recognized as expense when due and payable in accordance with the benefit terms.

#### *Assumption Changes*

Assumption changes in 2025 (December 31, 2024 measurement date) are the result of a change in mortality improvement scale from MP-2019 to MP-2021.

### Note 9 - Assets Restricted for Capital and Debt

Restricted assets in the Sewer Fund as of June 30, 2025 consist of the following:

Bank deposits and investments - Special assessment collections	\$ 3,458,098
Bank deposits and investments - Bond reserves	518,747
Special assessment receivables	28,395
Total	<u>\$ 4,005,240</u>

These assets are restricted specifically for various capital improvements, as well as the payment of the related debt.

In addition to the assets that are restricted, the board has further earmarked unrestricted net position in the amount \$350,000 for grinder pumps.



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## Required Supplementary Information

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# Township of Hamburg

## Required Supplementary Information Budgetary Comparison Schedule General Fund

Year Ended June 30, 2025

	Original Budget	Amended Budget	Actual	Variance with Amended Budget
<b>Revenue</b>				
Property taxes	\$ 1,109,708	\$ 1,111,208	\$ 1,110,852	\$ (356)
State-shared revenue and grants	2,282,728	2,282,728	2,461,962	179,234
Charges for services	655,050	696,550	714,281	17,731
Licenses and permits	350,000	350,000	282,681	(67,319)
Investment income	190,000	190,000	296,025	106,025
Other revenue	73,100	491,550	446,411	(45,139)
Total revenue	4,660,586	5,122,036	5,312,212	190,176
<b>Expenditures</b>				
Current services:				
General government:				
Legislative - Township board	123,080	123,080	131,893	(8,813)
Township supervisor	128,025	129,525	129,706	(181)
Accounting	365,750	369,200	368,228	972
Treasurer	241,288	243,078	252,017	(8,939)
Assessing	361,500	361,500	360,675	825
Board of review	3,814	3,814	1,327	2,487
Clerk	282,645	285,245	278,794	6,451
Buildings and grounds	495,908	771,408	722,916	48,492
Elections	443,500	367,520	332,934	34,586
Cemetery	66,500	55,500	51,530	3,970
Unallocated	552,045	537,245	442,614	94,631
Mapping	180,135	160,135	161,383	(1,248)
Public safety:				
Planning commission	36,540	503,690	469,436	34,254
Zoning administrator	286,270	252,870	236,709	16,161
Public works - Street lighting	41,500	41,500	39,797	1,703
Recreation and culture	1,100,300	827,560	722,345	105,215
Total expenditures	4,708,800	5,032,870	4,702,304	330,566
<b>Excess of Revenue (Under) Over Expenditures</b>	(48,214)	89,166	609,908	520,742
<b>Other Financing Sources (Uses)</b>				
Transfers in	-	-	607,756	607,756
Transfers out	(404,000)	(469,000)	(529,600)	(60,600)
Total other financing (uses) sources	(404,000)	(469,000)	78,156	547,156
<b>Net Change in Fund Balance</b>	(452,214)	(379,834)	688,064	1,067,898
<b>Fund Balance - Beginning of year</b>	7,487,953	7,487,953	7,487,953	-
<b>Fund Balance - End of year</b>	<u>\$ 7,035,739</u>	<u>\$ 7,108,119</u>	<u>\$ 8,176,017</u>	<u>\$ 1,067,898</u>

**Township of Hamburg**

Required Supplementary Information  
 Budgetary Comparison Schedule - Major Special Revenue Funds  
 Police Special Revenue Fund

Year Ended June 30, 2025

	Original Budget	Amended Budget	Actual	Variance with Amended Budget
<b>Revenue</b>				
Property taxes	\$ 3,357,326	\$ 3,362,126	\$ 3,357,918	\$ (4,208)
State-shared revenue and grants	42,500	51,300	32,825	(18,475)
Charges for services	18,110	32,810	31,117	(1,693)
Fines and forfeitures	9,000	12,000	12,580	580
Investment income	-	6,500	6,910	410
Other revenue	10,500	62,250	63,782	1,532
Total revenue	3,437,436	3,526,986	3,505,132	(21,854)
<b>Expenditures</b> - Current services - Public safety	3,565,350	3,864,150	3,940,696	(76,546)
<b>Excess of Expenditures Over Revenue</b>	(127,914)	(337,164)	(435,564)	(98,400)
<b>Other Financing Sources</b>				
Transfers in	250,000	315,000	359,400	44,400
Proceeds from sale of capital assets	35,000	10,000	7,140	(2,860)
Total other financing sources	285,000	325,000	366,540	41,540
<b>Net Change in Fund Balance</b>	157,086	(12,164)	(69,024)	(56,860)
<b>Fund Balance</b> - Beginning of year	69,101	69,101	69,101	-
<b>Fund Balance</b> - End of year	<u>\$ 226,187</u>	<u>\$ 56,937</u>	<u>\$ 77</u>	<u>\$ (56,860)</u>



**Township of Hamburg**

Required Supplementary Information

Budgetary Comparison Schedule - Major Special Revenue Funds (Continued)

Fire Special Revenue Fund

Year Ended June 30, 2025

	Original Budget	Amended Budget	Actual	Variance with Amended Budget
<b>Revenue</b>				
Property taxes	\$ 3,162,624	\$ 3,167,124	\$ 3,163,563	\$ (3,561)
State-shared revenue and grants	7,900	34,000	26,795	(7,205)
Investment income	2,000	11,000	16,938	5,938
Other revenue	2,150	4,450	4,151	(299)
Total revenue	3,174,674	3,216,574	3,211,447	(5,127)
<b>Expenditures</b> - Current services - Public safety	3,204,650	3,071,370	3,012,784	58,586
<b>Net Change in Fund Balance</b>	(29,976)	145,204	198,663	53,459
<b>Fund Balance</b> - Beginning of year	347,920	347,920	347,920	-
<b>Fund Balance</b> - End of year	<u>\$ 317,944</u>	<u>\$ 493,124</u>	<u>\$ 546,583</u>	<u>\$ 53,459</u>

**Township of Hamburg**

Required Supplementary Information

Budgetary Comparison Schedule - Major Special Revenue Funds (Continued)

Library Fund

Year Ended June 30, 2025

	Original Budget	Amended Budget	Actual	Variance with Amended Budget
<b>Revenue</b>				
Property taxes	\$ 1,187,818	\$ 1,187,818	\$ 1,256,800	\$ 68,982
Charges for services	2,900	2,900	10,303	7,403
Fines and forfeitures	31,550	31,550	46,308	14,758
Investment income	32,200	32,200	105,343	73,143
Other revenue	20,765	20,765	49,778	29,013
Total revenue	1,275,233	1,275,233	1,468,532	193,299
<b>Expenditures</b>				
Current services - Recreation and culture	1,160,389	1,160,389	1,121,817	38,572
Capital outlay	125,150	125,150	69,184	55,966
Total expenditures	1,285,539	1,285,539	1,191,001	94,538
<b>Net Change in Fund Balance</b>	(10,306)	(10,306)	277,531	287,837
<b>Fund Balance - Beginning of year</b>	2,774,876	2,774,876	2,774,876	-
<b>Fund Balance - End of year</b>	<u>\$ 2,764,570</u>	<u>\$ 2,764,570</u>	<u>\$ 3,052,407</u>	<u>\$ 287,837</u>

## Township of Hamburg

# Required Supplementary Information

## Schedule of Changes in the Net Pension Liability and Related Ratios

Last Ten Fiscal Years Ended December 31

	2024	2023	2022	2021	2020	2019	2018	2017	2016	2015
<b>Total Pension Liability</b>										
Service cost	\$ 279,322	\$ 228,050	\$ 243,506	\$ 212,933	\$ 186,860	\$ 179,586	\$ 163,286	\$ 144,978	\$ 144,998	\$ 136,560
Interest	704,115	643,500	589,662	543,795	495,968	469,873	428,782	377,453	355,282	341,639
Changes in benefit terms	-	-	-	-	-	-	(16,614)	-	-	-
Differences between expected and actual experience	287,148	239,869	177,213	53,011	(80,502)	32,648	170,095	374,735	31,024	(118,137)
Changes in assumptions	35,452	93,273	-	393,101	253,987	206,796	-	-	-	154,994
Benefit payments, including refunds	(319,105)	(280,057)	(240,054)	(240,054)	(240,054)	(240,055)	(240,054)	(289,381)	(218,914)	(219,763)
<b>Net Change in Total Pension Liability</b>	<b>986,932</b>	<b>924,635</b>	<b>770,327</b>	<b>962,786</b>	<b>616,259</b>	<b>648,848</b>	<b>505,495</b>	<b>607,785</b>	<b>312,390</b>	<b>295,293</b>
<b>Total Pension Liability - Beginning of year</b>	<b>9,826,503</b>	<b>8,901,868</b>	<b>8,131,541</b>	<b>7,168,755</b>	<b>6,552,496</b>	<b>5,903,648</b>	<b>5,398,153</b>	<b>4,790,368</b>	<b>4,477,978</b>	<b>4,182,685</b>
<b>Total Pension Liability - End of year</b>	<b>\$ 10,813,435</b>	<b>\$ 9,826,503</b>	<b>\$ 8,901,868</b>	<b>\$ 8,131,541</b>	<b>\$ 7,168,755</b>	<b>\$ 6,552,496</b>	<b>\$ 5,903,648</b>	<b>\$ 5,398,153</b>	<b>\$ 4,790,368</b>	<b>\$ 4,477,978</b>
<b>Plan Fiduciary Net Position</b>										
Contributions - Employer	\$ 388,996	\$ 355,571	\$ 329,504	\$ 531,989	\$ 501,992	\$ 466,754	\$ 429,314	\$ 160,286	\$ 152,997	\$ 122,766
Contributions - Employee	142,761	140,232	128,925	122,199	116,787	110,780	101,815	114,745	80,300	74,762
Net investment income (loss)	548,901	737,609	(759,627)	801,126	734,718	527,409	(155,149)	422,715	326,985	(43,814)
Administrative expenses	(16,416)	(15,262)	(12,889)	(9,440)	(9,712)	(9,148)	(7,273)	(6,692)	(6,448)	(6,398)
Benefit payments, including refunds	(319,105)	(280,057)	(240,054)	(240,054)	(240,054)	(240,055)	(240,054)	(289,381)	(218,914)	(219,763)
<b>Net Change in Plan Fiduciary Net Position</b>	<b>745,137</b>	<b>938,093</b>	<b>(554,141)</b>	<b>1,205,820</b>	<b>1,103,731</b>	<b>855,740</b>	<b>128,653</b>	<b>401,673</b>	<b>334,920</b>	<b>(72,447)</b>
<b>Plan Fiduciary Net Position - Beginning of year</b>	<b>7,263,638</b>	<b>6,325,545</b>	<b>6,879,686</b>	<b>5,673,866</b>	<b>4,570,135</b>	<b>3,714,395</b>	<b>3,585,742</b>	<b>3,184,069</b>	<b>2,849,149</b>	<b>2,921,596</b>
<b>Plan Fiduciary Net Position - End of year</b>	<b>\$ 8,008,775</b>	<b>\$ 7,263,638</b>	<b>\$ 6,325,545</b>	<b>\$ 6,879,686</b>	<b>\$ 5,673,866</b>	<b>\$ 4,570,135</b>	<b>\$ 3,714,395</b>	<b>\$ 3,585,742</b>	<b>\$ 3,184,069</b>	<b>\$ 2,849,149</b>
<b>Township's Net Pension Liability - Ending</b>	<b>\$ 2,804,660</b>	<b>\$ 2,562,865</b>	<b>\$ 2,576,323</b>	<b>\$ 1,251,855</b>	<b>\$ 1,494,889</b>	<b>\$ 1,982,361</b>	<b>\$ 2,189,253</b>	<b>\$ 1,812,411</b>	<b>\$ 1,606,299</b>	<b>\$ 1,628,829</b>
<b>Plan Fiduciary Net Position as a Percentage of Total Pension Liability</b>	<b>74.06 %</b>	<b>73.92 %</b>	<b>71.06 %</b>	<b>84.60 %</b>	<b>79.15 %</b>	<b>69.75 %</b>	<b>62.92 %</b>	<b>66.43 %</b>	<b>66.47 %</b>	<b>63.63 %</b>
<b>Covered Payroll</b>	<b>\$ 1,838,784</b>	<b>\$ 1,570,859</b>	<b>\$ 1,611,558</b>	<b>\$ 1,527,493</b>	<b>\$ 1,459,843</b>	<b>\$ 1,405,208</b>	<b>\$ 1,296,950</b>	<b>\$ 1,146,980</b>	<b>\$ 1,147,139</b>	<b>\$ 1,071,897</b>
<b>Township's Net Pension Liability as a Percentage of Covered Payroll</b>	<b>152.53 %</b>	<b>163.15 %</b>	<b>159.87 %</b>	<b>81.95 %</b>	<b>102.40 %</b>	<b>141.07 %</b>	<b>168.80 %</b>	<b>158.02 %</b>	<b>140.03 %</b>	<b>151.96 %</b>

See notes to required supplementary information.



## Township of Hamburg

### Required Supplementary Information Schedule of Township Contributions

Last Ten Fiscal Years  
Years Ended June 30

	2025	2024	2023	2022	2021	2020	2019	2018	2017	2016
Actuarially determined contribution	\$ 410,000	\$ 369,594	\$ 347,476	\$ 305,261	\$ 258,147	\$ 241,878	\$ 190,098	\$ 168,549	\$ 157,281	\$ 156,435
Contributions in relation to the actuarially determined contribution	410,000	369,594	347,476	305,261	258,147	241,878	190,098	168,549	157,281	156,435
Contribution Deficiency	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Covered Payroll	\$ 1,869,156	\$ 1,764,905	\$ 1,650,052	\$ 1,564,640	\$ 1,487,023	\$ 1,409,548	\$ 1,343,446	\$ 1,248,511	\$ 1,196,565	\$ 1,154,503
Contributions as a Percentage of Covered Payroll	21.94 %	20.94 %	21.06 %	19.51 %	17.36 %	17.16 %	14.15 %	13.50 %	13.14 %	13.55 %

#### Notes to Schedule of Township Contributions

Actuarial valuation information relative to the determination of contributions:

Valuation date Actuarially determined contribution rates are calculated as of December 31, two years prior to the end of the fiscal year in which the contributions are reported.

Methods and assumptions used to determine contribution rates:

Actuarial cost method	Entry age
Amortization method	Level percentage of payroll, closed
Remaining amortization period	16 years
Asset valuation method	5-years smoothed
Inflation	2.5 percent
Salary increase	3.00 percent in the long term
Investment rate of return	7.25 percent - Net of investment expense, including inflation
Retirement age	60
Mortality	Pub-2010 Mortality Tables
Other information	None

See notes to required supplementary information.

## Township of Hamburg

### Notes to Required Supplementary Information

June 30, 2025

#### ***Budgetary Information***

The annual budget is prepared by the township supervisor and adopted by the township board. Unexpended appropriations lapse at year end; encumbrances are not included as expenditures. The amount of encumbrances outstanding at June 30, 2025 has not been calculated. During the year, the budget was amended in a legally permissible manner.

Annual budgets are adopted on a basis consistent with generally accepted accounting principles for the General Fund and all special revenue funds, except that operating transfers, debt proceeds, and sale of assets have been included in the revenue and expenditures categories, rather than as other financing sources (uses). All annual appropriations lapse at fiscal year end.

The budget document presents information by fund, function, department, and line items. The legal level of budgetary control adopted by the governing body is the fund level. Expenditures at this level in excess of amounts budgeted are a violation of Michigan law. Comparison of actual results of operations to the budgets of the General Fund, Police Special Revenue Fund, and Fire Special Revenue Fund, as adopted by the township board, is included in the required supplementary information of the basic financial statements. The additional detail in this statement is shown in greater detail than the budget that was adopted and is used to provide additional analysis for management use only. A comparison of actual results of operations to the budget for nonmajor special revenue funds, as adopted by the board, is available at the township hall for inspection.

A reconciliation of the budgetary comparison schedule to the fund-based statement of revenue, expenses, and changes in fund balance is as follows:

	Total Revenue	Total Expenditures	Other Financing Sources	Fund Balance
General Fund - Amounts per operating statement	\$ 5,331,322	\$ 4,719,609	\$ 78,156	\$ 8,163,040
General Fund - Amounts related to the Hillside Lakes SAD, which is consolidated in the General Fund	(19,110)	(17,305)	-	12,977
Amounts per budget statement	<u>\$ 5,312,212</u>	<u>\$ 4,702,304</u>	<u>\$ 78,156</u>	<u>\$ 8,176,017</u>

The Township had the following expenditures over budgeted amounts due to timing of payments and expenses incurred near June 30, 2025:

	Budget	Actual	Variance
General Fund - Legislative - Township board	\$ 123,080	\$ 131,893	\$ (8,813)
General Fund - Township supervisor	129,525	129,706	(181)
General Fund - Treasurer	243,078	252,017	(8,939)
General Fund - Mapping	160,135	161,383	(1,248)
General Fund - Transfers out	469,000	529,600	(60,600)
Police Special Revenue Fund - Public safety	3,864,150	3,940,696	(76,546)

#### ***Pension Information***

##### **Changes in Assumptions**

Assumption changes in 2025 (December 31, 2024 measurement date) are the result of a change in the mortality improvement scale from MP-2019 to MP-2021.

Assumption changes in 2024 (December 31, 2023 measurement date) are the result of a reduction in the investment rate of return assumption from 7.25 percent to 7.18 percent.

Assumption changes in 2023 (December 31, 2022 measurement date) are the result of a reduction in the investment rate of return assumption from 7.60 to 7.25 percent.

**Township of Hamburg****Notes to Required Supplementary Information****June 30, 2025**

Assumption changes in 2022 (December 31, 2021 measurement date) are the result of changes to the demographic assumptions resulting from the experience study from 2013 to 2018. The most significant changes made were to the mortality rates and assumed rate of mortality improvement to a version of the Pub-10 Mortality Tables and fully generational mortality improvement projections with Scale MP-2019.

Assumption changes in 2021 (December 31, 2020 measurement date) are the result of a reduction in the investment rate of return assumption from 7.75 to 7.35 percent and a change in the assumed rate of wage inflation from 3.75 to 3.00 percent.

Assumption changes in 2017 (December 31, 2016 measurement date) are the result of the investment rate of return assumption reduced from 8.25 to 8.00 percent.



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## Supplementary Information

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## Township of Hamburg

### Supplementary Information Combining Balance Sheet Nonmajor Governmental Funds

June 30, 2025

	Special Revenue Funds			
	Parks and Recreation	Drug Law Enforcement	Road	Cemetery Perpetual Care
<b>Assets</b>				
Cash and cash equivalents	\$ -	\$ 4,065	\$ 2,046,343	\$ 8,496
Receivables:				
Special assessments receivable	-	-	-	-
Accrued interest receivable	-	-	6,151	-
Due from other funds	-	-	-	-
Cash restricted for capital and debt	-	-	-	-
<b>Total assets</b>	<b>\$ -</b>	<b>\$ 4,065</b>	<b>\$ 2,052,494</b>	<b>\$ 8,496</b>
<b>Liabilities</b>				
Accounts payable	\$ -	\$ -	\$ 251,664	\$ -
Due to other funds	-	-	-	-
<b>Total liabilities</b>	<b>-</b>	<b>-</b>	<b>251,664</b>	<b>-</b>
<b>Deferred Inflows of Resources - Unavailable revenue</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Fund Balances</b>				
Restricted:				
Roads	-	-	1,800,830	-
Police	-	4,065	-	-
Debt service	-	-	-	-
Capital projects	-	-	-	-
Future cemetery expenditures	-	-	-	8,496
<b>Total fund balances</b>	<b>-</b>	<b>4,065</b>	<b>1,800,830</b>	<b>8,496</b>
<b>Total liabilities, deferred inflows of resources, and fund balances</b>	<b>\$ -</b>	<b>\$ 4,065</b>	<b>\$ 2,052,494</b>	<b>\$ 8,496</b>

# Township of Hamburg

## Supplementary Information Combining Balance Sheet (Continued) Nonmajor Governmental Funds

June 30, 2025

Debt Service Funds							
PA1 Training	Mumford Park Debt Service	Fire Station Debt Service	Bob White Beach North RD IM SAD	Forest Creek Court RD IM SAD	Shan-gri-La Subdivision RD IM SAD	Orchard Village Subdivision RD IM SAD	
\$ 5,129	\$ 3,782	\$ 99,458	\$ 111,514	\$ 75,583	\$ 212,130	\$ 30,029	
-	-	-	103,723	152,930	306,000	75,704	
-	-	299	585	697	1,534	90	
-	16,563	-	-	-	-	-	
-	-	-	83,096	156,396	298,189	-	
<b>\$ 5,129</b>	<b>\$ 20,345</b>	<b>\$ 99,757</b>	<b>\$ 298,918</b>	<b>\$ 385,606</b>	<b>\$ 817,853</b>	<b>\$ 105,823</b>	
\$ -	\$ -	\$ -	\$ 194,719	\$ 195,566	\$ -	\$ -	
-	14,649	-	-	-	-	-	
-	14,649	-	194,719	195,566	-	-	
-	-	-	103,723	165,674	306,000	75,704	
-	-	-	-	-	-	-	
5,129	-	-	-	-	-	-	
-	5,696	99,757	476	24,366	511,853	30,119	
-	-	-	-	-	-	-	
-	-	-	-	-	-	-	
5,129	5,696	99,757	476	24,366	511,853	30,119	
<b>\$ 5,129</b>	<b>\$ 20,345</b>	<b>\$ 99,757</b>	<b>\$ 298,918</b>	<b>\$ 385,606</b>	<b>\$ 817,853</b>	<b>\$ 105,823</b>	



# Township of Hamburg

## Supplementary Information Combining Balance Sheet (Continued) Nonmajor Governmental Funds

June 30, 2025

	Debt Service Funds			
	Margaret Drive RD IM SAD	River Run Subdivision RD IM SAD	Zukey & Redding Drive RD IM SAD	Teahen Meadows Subdivision RD IM SAD
<b>Assets</b>				
Cash and cash equivalents	\$ 57,926	\$ 68,944	\$ 131,902	\$ 22,205
Receivables:				
Special assessments receivable	42,353	157,329	270,820	86,764
Accrued interest receivable	278	629	1,180	282
Due from other funds	-	-	-	-
Cash restricted for capital and debt	34,575	153,170	260,543	77,486
<b>Total assets</b>	<b>\$ 135,132</b>	<b>\$ 380,072</b>	<b>\$ 664,445</b>	<b>\$ 186,737</b>
<b>Liabilities</b>				
Accounts payable	\$ -	\$ 204,732	\$ -	\$ -
Due to other funds	-	-	-	-
<b>Total liabilities</b>	<b>-</b>	<b>204,732</b>	<b>-</b>	<b>-</b>
<b>Deferred Inflows of Resources - Unavailable revenue</b>	<b>42,353</b>	<b>162,948</b>	<b>270,820</b>	<b>86,764</b>
<b>Fund Balances</b>				
Restricted:				
Roads	-	-	-	-
Police	-	-	-	-
Debt service	92,779	12,392	393,625	99,973
Capital projects	-	-	-	-
Future cemetery expenditures	-	-	-	-
<b>Total fund balances</b>	<b>92,779</b>	<b>12,392</b>	<b>393,625</b>	<b>99,973</b>
<b>Total liabilities, deferred inflows of resources, and fund balances</b>	<b>\$ 135,132</b>	<b>\$ 380,072</b>	<b>\$ 664,445</b>	<b>\$ 186,737</b>

# Township of Hamburg

## Supplementary Information Combining Balance Sheet (Continued) Nonmajor Governmental Funds

June 30, 2025

Debt Service Funds			Capital Project Fund	
Maragaret DR Area Canal Dredging SAD	Fox Pointe Beach Subdivision RD IM SAD	Buhl Drive RD IM SAD	Maintenance SADs	Total
\$ 44,527	\$ 93,075	\$ 13,506	\$ 326,859	\$ 3,355,473
70,420	186,050	-	71,269	1,523,362
318	821	-	724	13,588
-	-	-	-	16,563
61,143	180,203	-	-	1,304,801
<b>\$ 176,408</b>	<b>\$ 460,149</b>	<b>\$ 13,506</b>	<b>\$ 398,852</b>	<b>\$ 6,213,787</b>
\$ -	\$ 249,371	\$ 13,473	\$ 15,503	\$ 1,125,028
-	-	-	-	14,649
-	249,371	13,473	15,503	1,139,677
70,420	197,441	-	71,269	1,553,116
-	-	-	-	1,800,830
-	-	-	-	9,194
105,988	13,337	33	-	1,390,394
-	-	-	312,080	312,080
-	-	-	-	8,496
105,988	13,337	33	312,080	3,520,994
<b>\$ 176,408</b>	<b>\$ 460,149</b>	<b>\$ 13,506</b>	<b>\$ 398,852</b>	<b>\$ 6,213,787</b>

## Township of Hamburg

### Supplementary Information Combining Statement of Revenue, Expenditures, and Changes in Fund Balances Nonmajor Governmental Funds

Year Ended June 30, 2025

	Special Revenue Funds			
	Parks and Recreation	Drug Law Enforcement	Road	Cemetery Perpetual Care
<b>Revenue</b>				
Property taxes	\$ -	\$ -	\$ 702,895	\$ -
Special assessments	-	-	-	-
State-shared revenue and grants	-	-	3,754	-
Investment income	-	144	62,188	328
Other revenue	-	-	-	-
Total revenue	-	144	768,837	328
<b>Expenditures</b>				
Current services:				
Public safety	-	29	-	-
Public works	-	-	-	-
Capital outlay	-	-	282,626	-
Debt service	-	-	-	-
Total expenditures	-	29	282,626	-
<b>Excess of Revenue Over (Under) Expenditures</b>	-	115	486,211	328
<b>Other Financing Sources (Uses)</b>				
Transfers in	-	-	-	-
Transfers out	(607,756)	-	-	-
New debt issued	-	-	-	-
Total other financing (uses) sources	(607,756)	-	-	-
<b>Net Change in Fund Balances</b>	(607,756)	115	486,211	328
<b>Fund Balances</b> - Beginning of year, as previously reported	607,756	3,950	1,314,619	8,168
<b>Change within Financial Reporting Entity</b>	-	-	-	-
<b>Fund Balances</b> - Beginning of year, as adjusted or restated	607,756	3,950	1,314,619	8,168
<b>Fund Balances</b> - End of year	\$ -	\$ 4,065	\$ 1,800,830	\$ 8,496



**Township of Hamburg**

Supplementary Information  
Combining Statement of Revenue, Expenditures, and Changes in Fund  
Balances (Continued)  
Nonmajor Governmental Funds

Year Ended June 30, 2025

Debt Service Funds							
PA1 Training	Mumford Park Debt Service	Fire Station Debt Service	Bob White Beach North RD IM SAD	Forest Creek Court RD IM SAD	Shan-gri-La Subdivision RD IM SAD	Orchard Village Subdivision RD IM SAD	
\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
-	-	-	17,591	18,408	34,000	8,412	
316	120	3,501	4,632	4,090	9,877	1,743	
18,000	-	-	-	-	-	-	
18,316	120	3,501	22,223	22,498	43,877	10,155	
22,221	-	-	-	-	-	-	
-	-	-	214,327	204,163	7,911	96,628	
-	-	-	-	-	-	-	
-	-	-	1,594	1,594	1,594	1,594	
22,221	-	-	215,921	205,757	9,505	98,222	
(3,905)	120	3,501	(193,698)	(183,259)	34,372	(88,067)	
-	-	-	-	-	-	-	
-	-	-	-	-	-	-	
-	-	-	104,298	166,589	307,693	76,124	
-	-	-	104,298	166,589	307,693	76,124	
(3,905)	120	3,501	(89,400)	(16,670)	342,065	(11,943)	
9,034	5,576	96,256	89,876	41,036	169,788	42,062	
-	-	-	-	-	-	-	
9,034	5,576	96,256	89,876	41,036	169,788	42,062	
<u>\$ 5,129</u>	<u>\$ 5,696</u>	<u>\$ 99,757</u>	<u>\$ 476</u>	<u>\$ 24,366</u>	<u>\$ 511,853</u>	<u>\$ 30,119</u>	

# Township of Hamburg

## Supplementary Information Combining Statement of Revenue, Expenditures, and Changes in Fund Balances (Continued) Nonmajor Governmental Funds

Year Ended June 30, 2025

	Debt Service Funds			
	Margaret Drive RD IM SAD	River Run Subdivision RD IM SAD	Formerly Nonmajor - Crystal DR & Beach Subdivision RD IM SAD	Zukey & Redding Drive RD IM SAD
<b>Revenue</b>				
Property taxes	\$ -	\$ -	\$ -	\$ -
Special assessments	4,706	18,105	-	43,174
State-shared revenue and grants	-	-	-	-
Investment income	2,288	3,529	-	6,740
Other revenue	-	-	-	-
Total revenue	6,994	21,634	-	49,914
<b>Expenditures</b>				
Current services:				
Public safety	-	-	-	-
Public works	6,418	213,817	-	10,183
Capital outlay	-	-	-	-
Debt service	1,594	1,594	-	1,594
Total expenditures	8,012	215,411	-	11,777
<b>Excess of Revenue Over (Under) Expenditures</b>	(1,018)	(193,777)	-	38,137
<b>Other Financing Sources (Uses)</b>				
Transfers in	-	-	-	-
Transfers out	-	-	-	-
New debt issued	42,587	163,850	-	271,322
Total other financing (uses) sources	42,587	163,850	-	271,322
<b>Net Change in Fund Balances</b>	41,569	(29,927)	-	309,459
<b>Fund Balances</b> - Beginning of year, as previously reported	51,210	42,319	155,456	84,166
<b>Change within Financial Reporting Entity</b>	-	-	(155,456)	-
<b>Fund Balances</b> - Beginning of year, as adjusted or restated	51,210	42,319	-	84,166
<b>Fund Balances</b> - End of year	<u>\$ 92,779</u>	<u>\$ 12,392</u>	<u>\$ -</u>	<u>\$ 393,625</u>

**Township of Hamburg**

Supplementary Information  
Combining Statement of Revenue, Expenditures, and Changes in Fund  
Balances (Continued)  
Nonmajor Governmental Funds

Year Ended June 30, 2025

Debt Service Funds				Capital Project Fund	
Teahen Meadows Subdivision RD IM SAD	Maragaret DR Area Canal Dredging SAD	Fox Pointe Beach Subdivision RD IM SAD	Buhl Drive RD IM SAD	Maintenance SADs	Total
\$ -	\$ -	\$ -	\$ -	\$ -	\$ 702,895
9,640	7,824	26,158	-	130,518	318,536
-	-	-	-	-	3,754
1,376	2,035	4,478	-	11,361	118,746
-	-	-	-	-	18,000
11,016	9,859	30,636	-	141,879	1,161,931
-	-	-	-	-	22,250
8,163	8,073	266,491	16,167	172,067	1,224,408
-	-	-	-	-	282,626
1,594	1,594	1,594	-	25,969	41,909
9,757	9,667	268,085	16,167	198,036	1,571,193
1,259	192	(237,449)	(16,167)	(56,157)	(409,262)
-	-	-	16,200	-	16,200
-	-	-	-	-	(607,756)
87,244	70,810	198,917	-	-	1,489,434
87,244	70,810	198,917	16,200	-	897,878
88,503	71,002	(38,532)	33	(56,157)	488,616
11,470	34,986	51,869	-	368,237	3,187,834
-	-	-	-	-	(155,456)
11,470	34,986	51,869	-	368,237	3,032,378
<b>\$ 99,973</b>	<b>\$ 105,988</b>	<b>\$ 13,337</b>	<b>\$ 33</b>	<b>\$ 312,080</b>	<b>\$ 3,520,994</b>



# DRAFT

STATE OF MICHIGAN  
COUNTY OF LIVINGSTON  
TOWNSHIP OF HAMBURG  
ORDINANCE NO. 2025.G.003

**AN ORDINANCE TO AMEND THE HAMBURG TOWNSHIP CODE OF ORDINANCES, CHAPTER 22, "OFFENSES AND MISCELLANEOUS PROVISIONS," BY ADDING ARTICLE VI "FIREWORKS" TO REGULATE THE IGNITION, DISCHARGE AND USE OF FIREWORKS WITHIN THE TOWNSHIP, AND REPEALING PROVISIONS THAT CONFLICT WITH STATE LAW.**

**HAMBURG TOWNSHIP ORDAINS:**

**PART I.** That Chapter 22, "Offenses and Miscellaneous Provisions," is hereby amended to add Article VI "Fireworks," to reads as follows:

## **ARTICLE VI. - FIREWORKS**

**Sec. 22-135. - Title.**

This article shall be known and cited as the Hamburg Township Fireworks Ordinance.

**Sec. 22-136. - Purpose.**

The purpose of this article is to promote the public health, safety, comfort and general welfare of the community through the proper regulation of the ignition, discharge and use of fireworks within Hamburg Township.

**Sec. 22-137. - Definitions.**

*Act* means the Michigan Fireworks Safety Act, Public Act No. 256 of 2011, MCL 28.451 et seq., as amended.

(a) "*Alcoholic liquor*" means that term as defined in section 1d of the Michigan vehicle code, 1949 PA 300, MCL 257.1d..

*APA standard 87-1* means 2001 APA standard 87-1, standard for construction and approval for transportation of fireworks, novelties, and theatrical pyrotechnics, published by the American Pyrotechnics Association of Bethesda, Maryland.

*Articles pyrotechnic* means pyrotechnic devices for professional use that are similar to consumer fireworks in chemical composition and construction but not intended for consumer use, that meet the weight limits for consumer fireworks but are not labeled as such, and that are classified as UN0431 or UN0432 under 49 CFR 172.101.

*Consumer fireworks* means fireworks devices that are designed to produce visible effects by combustion, that are required to comply with the construction, chemical composition, and labeling regulations promulgated by the United States consumer product safety commission under 16 CFR parts 1500 and 1507, and that are listed in APA standard 87-1, 3.1.2, 3.1.3, or 3.5. Consumer fireworks do not include low-impact fireworks.

(b) "*Controlled substance*" means that term as defined in section 8b of the Michigan vehicle code, 1949 PA 300, MCL 257.8b..

*Display fireworks* means large fireworks devices that are explosive materials intended for use in fireworks displays and designed to produce visible or audible effects by combustion, deflagration, or detonation, as provided in 27 CFR 555.11, 49 CFR 172, and APA standard 87-1, 4.1.

*Fire Official* means a full-time firefighter of the Township who possesses a certification in NFPA Fire Inspector I and has been designated by the Director of Public Safety to review and process fireworks permit applications.

*Fireworks* means any composition or device, except for a starting pistol, a flare gun, or a flare, designed for the purpose of producing a visible or audible effect by combustion, deflagration, or detonation. Fireworks consist of consumer fireworks, low-impact fireworks, articles pyrotechnic, display fireworks, and special effects.

*Low-impact fireworks* means ground and handheld sparkling devices as that phrase is defined under APA standard 87-1, 3.1, 3.1.1.1 to 3.1.1.8, and 3.5.

*Minor* means an individual under 18 years of age.

*NFPA* means the National Fire Protection Association.

*Novelties* means that term as defined under APA standard 87-1, 3.2, 3.2.1, 3.2.2, 3.2.3, 3.2.4, and 3.2.5 and all of the following:

- (a) Toy plastic or paper caps for toy pistols in sheets, strips, rolls, or individual caps containing not more than .25 of a grain of explosive content per cap, in packages labeled to indicate the maximum explosive content per cap.

- (b) Toy pistols, toy cannons, toy canes, toy trick noisemakers, and toy guns in which toy caps as described in subparagraph (a) are used, that are constructed so that the hand cannot come in contact with the cap when in place for the explosion, and that are not designed to break apart or be separated so as to form a missile by the explosion.
- (c) Flitter sparklers in paper tubes not exceeding one-eighth inch in diameter.
- (d) Toy snakes not containing mercury, if packed in cardboard boxes with not more than 12 pieces per box for retail sale and if the manufacturer's name and the quantity contained in each box are printed on the box; and toy smoke devices.

**Sec. 22-138. – General prohibitions on ignition, discharge, and use of fireworks.**

No person shall ignite, discharge, or use fireworks within the Township at any time, except that:

- (a) Consumer fireworks may be discharged on the following dates and times:
  - (1) After 11:00 a.m. and before 11:45 p.m. June 29th through July 4th;
  - (2) After 11:00 a.m. and before 11:45 p.m. on July 5<sup>th</sup>, only if that date is a Friday or Saturday;
  - (3) After 11:00 a.m. and before 11:45 p.m. on the Saturday and Sunday immediately preceding Labor Day and Memorial Day;
  - (4) After 11:00 a.m. on December 31st or before 1:00 a.m. on January 1<sup>st</sup>.
- ~~(b) Fireworks may be discharged after 11:00 a.m. and before 10:00 p.m. on any other day of the year not specifically cited in section 22-138(a) of this ordinance, without a permit issued in accordance with Section 22-140 or 22-141.~~
- (b) ~~(e)~~ Consumer Fireworks may be discharged in strict compliance with a permit issued by the Township Board of Trustees in accordance with Section 22-141 of this Ordinance for dates other than those set forth in Subsection (a), above.
- (c) ~~(d)~~ This section shall not apply to low impact fireworks and novelties.

**Sec. 22-139. – Additional prohibitions.**

- (a) Consumer fireworks shall not be ignited, discharged, or used on public property, including public streets and rights-of-way, or on school property, church property, or the private property of another, without the express written permission from the person or entity legally in possession and control of that property to undertake such action.
- (b) No fireworks shall be ignited, discharged, used, stored or sold on Township property without a permit authorized by the Township Board of Trustees.
- (c) Fireworks shall not be ignited, discharged, or used by a person under the influence of alcoholic liquor or a controlled substance or a combination of both.
- (d) No person shall ignite, discharge, or use consumer fireworks or low-impact fireworks if a "no burning" restriction has been implemented by the Fire Department.

**Sec. 22-140. – Permit required for discharge of display fireworks and articles pyrotechnic devices; permit process.**

- (a) No person shall discharge any display fireworks or articles pyrotechnic devices without a permit issued by the Township Board of Trustees.



- (b) Applicants for a permit under this section must file with the Township's designated Fire Official an application in writing on a form to be provided by the Department of Licensing and Regulatory Affairs, as set forth in MCL 28.466, at least 30 days in advance of the event.
- (c) The person, firm, or corporation applying for the permit shall include with their permit application materials proof of financial responsibility by a bond or insurance in an amount, character, and form deemed necessary by the Township Board of Trustees to satisfy claims for damages to property or personal injuries arising out of an act or omission on the part of the person, firm, or corporation or an agent or employee of the person, firm, or corporation, and to protect the public.
- (d) A permit granted under this section is not transferable and shall not be issued to a minor.
- (e) Upon receipt of the application required by this section, the Fire Official shall review the application and shall make a recommendation to the Township Board of Trustees on whether the permit should be granted. This recommendation shall be based on the competency and qualifications of the articles pyrotechnic and display fireworks operator, as furnished by the operator on the operator's application form, in accordance with the requirements provided under NFPA 1123, and on the time, place, and safety aspects of the display of articles pyrotechnic or display fireworks.
- (f) The Township Board of Trustees shall review the application form and recommendation of the Fire Official and may issue a permit after ruling on the competency and qualifications of the permit applicant.
- (g) Consumer fireworks discharged pursuant to a permit issued under this section shall be in strict adherence to the date(s) and hours outlined in the permit and no permit shall be issued permitting the discharge of consumer fireworks before 11:00am nor after 11:00pm.
- (h) Persons issued a permit under this section shall be responsible for the clean up of all debris and other material associated with the discharge of fireworks, provided further that the permit holder shall:
  - (i) Remove and clean up all debris and other material on public property, including public streets, parks and rights-of-way within 24 hours of the discharge of the fireworks.
  - (j) Remove and clean up all debris and other material on private property within 24 hours of receiving notice from the property owner of the presence of debris or other material associated with the discharge of fireworks on their property.
- (k) On the Monday of each week of the year, the Township shall post on the official Township website a notice of all fireworks permits issued under this section for the upcoming week
- (l) The fees for the permit required by this section shall be charged by the Fire Official in an amount to be established by the Township Board of Trustees.

**Sec. 22-141. – Permits for discharge of consumer fireworks; permit process.**

- (a) A person may discharge consumer fireworks outside of the permissible hours specified in section 22-138~~(b)~~ (a) of this Ordinance with a permit issued by the Township Board of Trustees.
- (b) Applicants for a permit under this section must file with the Township's designated Fire Official an application in writing on a form to be provided by the Fire Official.

- (c) A permit granted under this section is not transferable and shall not be issued to a minor.
- (d) Upon receipt of the application required by this section, the Fire Official shall review the application and shall make a recommendation to the Township Board of Trustees on whether the permit should be granted. This recommendation shall be based on the on the time, place, and safety aspects of the display.
- (e) The Township Board of Trustees shall review the application form and recommendation of the Fire Official and may issue a permit for the discharge of consumer fireworks outside the otherwise allowable hours contained in section 22-138~~(b)~~ (a).
- (f) No more than ~~two (2)~~ three (3) permits for the display of consumer fireworks under this section shall be issued to any person, firm, corporation or location in any calendar year.
- (g) Consumer fireworks discharged pursuant to a permit issued under this section shall be in strict adherence to the date(s) and hours outlined in the permit and no permit shall be issued permitting the discharge of consumer fireworks before 11:00am nor after 11:00pm.
- (h) Persons issued a permit under this section shall be responsible for the clean up of all debris and other material associated with the discharge of fireworks, provided further that the permit holder shall:
  - (1) Remove and clean up all debris and other material on public property, including public streets, parks and rights-of-way within 24 hours of the discharge of the fireworks.
  - (2) Remove and clean up all debris and other material on private property within 24 hours of receiving notice from the property owner of the presence of debris or other material associated with the discharge of fireworks on their property.
- (i) On the Monday of each week of the year, the Township shall post on the official Township website a notice of all fireworks permits issued under this section for the upcoming week.
- (j) The fees for the permit required by this section shall be charged by the Fire Official in an amount to be established by the Township Board of Trustees.

## **Sec. 22-142. – Penalties.**

In accordance with MCL 28.457, any person found to be in violation of the provisions of this Ordinance shall be responsible for a municipal civil infraction with a civil fine of \$1,000.00 for each violation. \$500.00 of the fine collected under the section shall be remitted to the local law enforcement agency responsible for enforcing this Ordinance.

**PART II. Severability.** Should any section, subdivision, clause, or phrase of this Ordinance be declared by the courts to be invalid, the validity of the Ordinance as a whole, or in part, shall not be affected other than the part invalidated.

**PART III. Savings Clause.** The amendment of the Hamburg Township Code of Ordinances set forth in this Ordinance does not affect or impair any act done, offense committed, or right accruing, accrued, or acquired or liability, penalty, forfeiture or punishment, pending or incurred prior to the amendment of the Hamburg Township Code of Ordinances set forth in this Ordinance.

**PART IV. Repealer.** All ordinances or parts of ordinances in conflict herewith, including Section 22-23 (4) of the Code of Ordinances, are hereby repealed.

**PART V. Effective Date.** The provisions of this Ordinance are ordered to take effect following publication in the manner prescribed by Hamburg Township.

**PART VI. Adoption.** This ordinance is hereby declared to have been adopted by the Hamburg Township Board of Trustees in a meeting thereof duly held and called on the \_\_\_\_ day of \_\_\_\_\_, 2025, in order to be given publication in the manner prescribed by Hamburg Township.

Moved by \_\_\_\_\_ and supported by \_\_\_\_\_.

\_\_\_\_\_  
Mike Dolan, Hamburg Township Clerk

### **Certificate of Adoption**

I, (Clerk), the duly qualified Clerk for the Township of Hamburg, Livingston County, Michigan, do hereby certify that the foregoing is a true and complete copy of the Ordinance adopted by the Township Board at a meeting held on (date). The original is on file in the Office of the Township Clerk.

By: \_\_\_\_\_  
Mike Dolan, Hamburg Township Clerk

Introduced:

Adopted:

Effective:

Published:





# Hamburg Township Public Safety Department

PO BOX 157 • HAMBURG, MICHIGAN 48139  
PHONE: (810) 231-9391 • FAX: (810) 231-9401

EMAIL: [HATP@hamburg.mi.us](mailto:HATP@hamburg.mi.us)

RICHARD DUFFANY, DIRECTOR OF PUBLIC SAFETY



Item 9.

**TO:** Hamburg Township Board

**FROM:** Chief Richard Duffany

**DATE:** November 25, 2025

**AGENDA ITEM TOPIC:** Annual Firefighter Physicals

Number of Supporting Documents: 1

## Requested Action

- Motion to approve the hiring of Bio-Care, Inc. of Holt, MI to perform annual Firefighter physicals, as outlined in their attached quote, at Fire Station 12 for a price of \$16,785.00.

## Background

The department has been proactive for the past 6 years in providing annual National Fire Protection Agency (NFPA) compliant physicals to all its fire staff. Not only do these physicals provide documentation of being fit for duty but also test for all forms of pre-cancerous cells. As most are aware, cancer is a concern in the fire service as members are inevitably exposed to cancer causing carcinogens when working in immediately dangerous to life and health (IDLH) environments such as structure fires and hazardous material incidents.

These annual physicals have been conducted on site for the last 5 years by Bio-Care, Inc. at Station 12 in a professional and efficient manner. In addition, the department has partnered with other Fire agencies in the area to hold the physicals in the same time frame to bring down the costs. As such, it is my recommendation that the department continue utilizing Bio-Care, Inc. for this year's physicals. Preliminary examination dates of December 7, 2025 and December 8, 2025 have been reserved by Bio-Care, Inc. for our department pending Township Board approval.

## Fiscal Considerations

Does the agenda item require the expenditure of funds? Yes ☒ No ☐

If YES, are funds budgeted? Yes ☒ No ☐

Fiscal year affected: 2025/2026

Is a budget amendment required? Yes ☐ No ☒

General Ledger numbers affected: 206-000.000-843.100



### Service Agreement

This Service Agreement is for on-site medical services to be provided by Bio-Care, Inc. to Hamburg Township Fire Department. The two parties agree to the following terms of service.

#### Services to be Provided

Product Name	Line Description
Medical Examination - Fire Department: physical exam, vitals, medical history questionnaire, comprehensive blood panel, complete urinalysis with Micro, vision test, pulmonary function (PFT), and 12 lead resting EKG.	
Audiometric Testing	
Wellness Screening - Health Risk Appraisal Questionnaire	
Chest X-Ray: PA (posteroanterior) & Lateral	
Chest X-ray, B Reader	2 view Michael Steinaway, Timothy Begnoche, Daniel Hill, David Girard, Jon Lusk, Matthew Urbanowicz

#### Service Date(s)

Services will be provided on the date(s) below. Services to be completed during testing times provided on testing schedule provided by Bio-Care. All times are shown in the Eastern Time Zone

Event Date(s)	Start Time	End Time
12/07/2025	11:00:00 AM EST	1:40:00 PM EST
12/07/2025	5:00:00 PM EST	7:40:00 PM EST
12/08/2025	6:00:00 AM EST	7:45:00 AM EST
12/08/2025	11:00:00 AM EST	1:40:00 PM EST
12/08/2025	5:00:00 PM EST	7:40:00 PM EST

#### Service Address

Services will be performed at the following address:

10100 Veterans Memorial Dr. Hamburg, Michigan 48139 United States

#### Testing Location

Bio-Care Truck

#### Records & Reporting

Bio-Care, Inc agrees to maintain the confidentiality of all protected health information collected from the services completed in accordance with HIPAA and other applicable state and federal laws.

1. Records will be sent to : Jordan Zernick at jzernick@hamburg.mi.us, at the following address:  
10100 Veterans Memorial Dr, Hamburg, Michigan, 48139, United States.
2. Records will include reports based on the following Regulation Standards:  
NFPA 1582 - Standard on Comprehensive Occupational Medical Program for Fire Departments.
3. An estimated completion and delivery of records will be 10-12 business days from the date(s) the services were completed.

#### Planning & Completion of Services

It is Bio-Care's responsibility to:

- Provide a testing schedule with appointment times to complete the testing services.
- Provide medical questionnaires, testing instructions, medical equipment, and medical supplies necessary to complete the testing.
- Provide medical truck to complete services.

It is Hamburg Township Fire Department responsibility to:

- Plan for and make preparations for the services and testing date by notifying management, supervisor and employees of the upcoming testing and the service date(s).
- Determine how employees will be scheduled for appointment times on the testing schedule and make necessary notifications to management, supervisor and employees.
- Distribute any paperwork including medical questionnaires and testing instructions to employees being tested.
- Ensure that an arrival contact will be available when Bio-Care arrives to direct them to the testing location.
- Ensure that the contact is available during the testing hours to assist with issues or questions that arise.
- Determine a parking location for the truck. Parking location should be level, accessible and in a low-noise area.
- Provide electrical power (single phase, 220 volts, 50 amps) to power Bio-Care's truck. Electrical receptacle should be located within 75 feet of the truck parking location

## Service Pricing

Item 9.

Product Name	Line Description	Sales Price	Quantity	Amount
Medical Examination - Fire Department: physical exam, vitals, medical history questionnaire, comprehensive blood panel, complete urinalysis with Micro, vision test, pulmonary function (PFT), and 12 lead resting EKG.		\$320.00	36.00	\$11,520.00
Audiometric Testing		\$15.00	36.00	\$540.00
Wellness Screening - Health Risk Appraisal Questionnaire		\$15.00	36.00	\$540.00
Chest X-Ray: PA (posteroanterior) & Lateral		\$75.00	31.00	\$2,325.00
Chest X-ray, B Reader	2 view Michael Steinaway, Timothy Begnoche, Daniel Hill, David Girard, Jon Lusk, Matthew Urbanowicz	\$110.00	6.00	\$660.00
Travel Fee - Staff Travel and/or Overnight Hotel and Per Diem		\$300.00	3.00	\$900.00
Additional Testing Fee	Weekend	\$200.00	1.00	\$200.00
Travel Charge - Truck		\$100.00	1.00	\$100.00
				<b>Total: \$ 16785.00</b>

## Payment for Services

1. An invoice for services will be sent to Karen Jones at [kjones@hamburg.mi.us](mailto:kjones@hamburg.mi.us), PO Box 157, Hamburg, Michigan, 48139, United States.
2. Payment for services are due 30 days from the invoice date.
3. Payment will be made by Check .
4. If payment is not made within 30 days from the date(s) services are completed, a late fee of 2% will be assessed every 10 days.
5. You will be billed a minimum charge equal to 85% of the TOTAL on the Service Pricing under this agreement for scheduled services. It is your responsibility to ensure the number of services and/or number of testing dates is accurate.

## Cancellation of Services or Agreement

Cancellation of this agreement, including the service date, without a 15 day written notification will result in a charge of 50% of the total price of services in this agreement.

## Acceptance of Terms of Service

The signature below indicates acceptance to the terms of service under this Service Agreement. To accept this agreement, please type in your name in the box below, check the checkbox and click Submit.

Full Name

I have read and accept the  
terms of this Service  
Agreement ☐

Bio-Care Account Representative

Email

Phone

Jeremy Johnson

If you have questions regarding this agreement, contact your Account Representative noted above. Your signed authorization is required before being placed on Bio-Care Inc.'s service testing schedule.





**TO:** Hamburg Township Board of Trustees

**FROM:** Jason B. Negri, Supervisor

**DATE:** November 20<sup>th</sup>, 2025

**AGENDA ITEM TOPIC:** Hamburg Twp. Aquatic Weed Control SAD – Aquatic Plant Herbicide Treatment Contract, 2026 - 2028  
Number of Supporting Documents: **1**

### **Requested Action**

- Approval by the Board of the new 2026 – 2028 aquatic plant herbicide (chemical treatment only) contract with Aqua-Weed Control, Inc. as recommended by the Township consultant, Jared Laughlin of Progressive AE.

### **Background**

- Based upon the quality of the services provided by Aqua-Weed Control, Inc. for the chemical treatment of aquatic weeds for the Hamburg Township Aquatic Weed Control SAD, it was the recommendation of the Township Consultant, Jared Laughlin, and with discussion and approval from the Township staff that the contract for the herbicide treatment be extended with Aqua-Weed Control, Inc. Attached is the new 3-year contract to be approved and signed by the Township.

### **Fiscal Considerations**

Does the agenda item require the expenditure of funds? Yes ☒ No ☐

Are funds budgeted? Yes ☒ No ☐

Fiscal year affected: 2026/2027 thru 2027/2028

Is a budget amendment required? Yes ☐ No ☒

General Ledger numbers affected: N/A  
252-000.000-803.000 paid for by the Special Assessment District (SAD).

## **Contract Documents for Aquatic Plant Herbicide Treatments of Gallagher, Long (Loon), Strawberry, and Zukey Lakes Hamburg Township, Michigan**

**Prepared For:**

Hamburg Township Board of Trustees

**Prepared By:**

Progressive Companies  
1811 4 Mile Road, NE  
Grand Rapids, MI 49525-2442  
616/361-2664

**Project No:**

94140001

November 2025

## SPECIFICATIONS

### 1. Submittals:

- a. Pursuant to provisions of Part 33, Aquatic Nuisance Control, of P.A. 451 of 1994 (the Natural Resources and Environmental Protection Act), as amended, the Contractor shall obtain a permit from the Michigan Department of Environment, Great Lakes, and Energy prior to applying herbicides to Gallagher, Long (Loon), Strawberry, and Zukey Lakes. The application for permit shall be submitted to the Michigan Department of Environment, Great Lakes, and Energy prior to March 1, 2025. A copy of said permit, in its entirety, shall be submitted to the Consultant by April 1 of each year this contract is valid. Upon issuance of said permit, the Contractor shall be reimbursed the cost of the permit application fee.
- b. The Contractor shall furnish satisfactory proof of insurance coverage including worker's compensation at statutory limits and general liability coverage for bodily injury and property damage in the minimum amount of \$2,000,000 for each occurrence of bodily injury and \$2,000,000 for each occurrence of property damage. Said general liability insurance shall include a Contractors Pollution Liability Coverage Endorsement that will cover Contractor's liability for pollution related to the application of herbicides, pesticides, or chemicals. The general liability insurance obtained must name the Hamburg Township Board and Progressive Companies as additional insured.

Certificates of insurance for the coverage shall be delivered to the Consultant by April 1 of each year this contract is valid. These certificates shall clearly indicate that the provisions of the applicable policy are in compliance with the above requirements. If coverages confirmed by these certificates will expire prior to the termination of this contract, certificates for renewals must be delivered to the Hamburg Township Board not less than ten (10) working days prior to the expiration date.

- c. As a basis for payment, the Contractor shall submit a properly completed payment submittal form (Appendix B) to the Consultant immediately following each herbicide treatment.
  - d. Results of fluridone residue monitoring, if required, shall be emailed to the Consultant within ten (10) working days of sample date. Email address is jlaughlin@weareprogressive.com.
2. The project timeframe is from 2026 through 2028.
  3. Primary nuisance species being targeted for control in Gallagher, Long (Loon), Strawberry, and Zukey Lakes include Eurasian milfoil, curly-leaf pondweed, starry stonewort, and nuisance native plant species. Approximately 200 acres of Gallagher, Long (Loon), Strawberry, and Zukey Lake contain nuisance aquatic plant growth. Adjustment to the areas and number of acres to be treated may be made by the Consultant if found appropriate in view of the nature or extent of the plant growth in the lake.
  4. Treatment areas, the number of acres to be treated, products and, in some instances, dose rates, will be specified by the Consultant. Unless otherwise specified by the Consultant, the Contractor shall conduct the treatment of the lake within ten (10) working days of receipt of written instruction from the Consultant. Herbicide applications shall be timed such that no swimming or fishing restrictions are in effect during holidays or weekends. The Contractor shall coordinate his/her activities directly with the Consultant.
  5. The Contractor shall have a Wide Area Augmentation System (WAAS)-enabled GPS receiver (minimum horizontal accuracy of 5 meters) and GPS software in order to upload GPS exchange files that may be included with the written instructions from the Consultant.
  6. If there is not adequate die-back of treated plants, the Consultant may require the Contractor to re-treat these plants at no additional cost to the Hamburg Township Board.
  7. The Contractor shall not apply herbicides to Gallagher, Long (Loon), Strawberry, or Zukey Lake under contract with any entity other than the Hamburg Township Board, without explicit authorization from the



Hamburg Township Board, unless the Contractor has obtained a separate permit from the Michigan Department of Environment, Great Lakes, and Energy.

8. The Contractor shall not apply herbicides to undeveloped shoreline areas or wetlands without explicit authorization from the Consultant.
9. The Contractor shall not apply herbicides to visible fish spawning beds.
10. Any herbicides applied to Gallagher, Long (Loon), Strawberry, and Zukey Lake must be approved by the Michigan Department of Environment, Great Lakes, and Energy and be handled, stored, and applied in a manner consistent with state regulations and manufacturer's instructions. The Contractor is responsible for all postings and notifications required by Michigan Department of Environment, Great Lakes, and Energy permit conditions. Acquisition of drinking water well information is the responsibility of the Contractor.
11. If fluridone is used, the Contractor shall collect all fluridone residue samples in the manner required by Michigan Department of Environment, Great Lakes, and Energy permit conditions. The Contractor shall have residue samples analyzed at a laboratory approved by the Consultant. The Contractor shall be responsible for all costs associated with fluridone residue sampling including laboratory costs. The Contractor shall not be responsible for preparing lake management plans for fluridone treatments.
12. The Contractor's boats, motors, trailers, and herbicide equipment must be thoroughly washed before launching into Gallagher, Long (Loon), Strawberry, and Zukey Lake. Due to shallow lake depths in portions of Gallagher, Long (Loon), Strawberry, and Zukey Lake, the use of air boats or shallow draft watercraft may be required.

**CONTRACT FORM**

TO: Hamburg Township Board of Trustees  
c/o Jared Laughlin  
Progressive Companies  
1811 4 Mile Road, NE  
Grand Rapids, MI 49525

FROM: Aqua-Weed Control, Inc.  
414 Hadley Street  
Holly, MI 48442

The Contractor hereby proposes to perform all work related to aquatic herbicide treatments of Gallagher, Long (Loon), Strawberry, and Zukey Lake, Hamburg Township, Michigan, in strict accordance with the contract documents, within the time set forth therein, and at the prices stated below.

The Contractor certifies that they have examined the contract documents and the location of the work described herein and are fully informed as to the nature of the work and the conditions relating to its performance.

The Contractor agrees that the unit prices named will be used if additions or deductions are made to the quantity of work. Unit price adjustments shall be proportional to adjustments in dose. For example, if triclopyr granular is used at a rate of 250 pounds per acre instead of the contract rate of 200 pounds per acre, the unit cost would be increased by 25% ( $250/200 = 1.25$ ).

The Contractor shall include and be deemed to have included in his bid all Michigan sales and use taxes currently imposed by legislative enactment and as administered by the Michigan Department of Treasury on the bid date.

With the exception of the permit application fee, all work described in the contract documents and required for completion of the project shall be considered as incidental work unless designated as a pay item on the Contract Form.

The undersigned, having familiarized themselves with the specifications, hereby propose to perform everything required and to provide and furnish all the labor, materials, equipment, and all utility and transportation services necessary to perform and complete all the work required for aquatic herbicide treatments of Gallagher, Long (Loon), Strawberry, and Zukey Lake in a professional manner, all in accordance with the specifications at and for the following named price to wit:

Item	Unit Price
2,4-D amine (200 lbs/acre)	\$600.00 /acre
Triclopyr granular (200 lbs/acre)	\$695.00 /acre
Triclopyr liquid (4 gal/acre)	\$386.66 /acre
ProcellaCOR EC (3.2oz = PDU)	\$80.00 /PDU
Diquat dibromide (1 gal/acre) + 6 PDU ProcellaCOR EC	\$425.00 /acre
Diquat dibromide (1 gal/acre) + 8 PDU ProcellaCOR EC	\$490.00 /acre
Diquat dibromide (1 gal/acre) + 10 PDU ProcellaCOR EC	\$550.00 /acre
Diquat dibromide (1 gal/acre)	\$140.00 /acre
Diquat dibromide (2 gal/acre)	\$190.00 /acre
Aquathol-K (1 gal/acre)	\$170.00 /acre
Flumioxazin (100 ppb) + Diquat dibromide (1 gal/acre)	\$240.00 /acre
Flumioxazin (100 ppb) + Aquathol-K (1 gal/acre)	\$270.00 /acre
Flumioxazin (100 ppb) + Aquastrike (2.5 gal/acre)	\$425.00 /acre
Flumioxazin (150 ppb) + chelated copper (2.5 gal/acre)	\$425.00 /acre
Flumioxazin (200 ppb)	\$260.00 /acre
Algae control: chelated copper products only	\$70.00 /acre
Macro-algae control: copper and hydrothol products	\$60.00 /acre
SeClear (20 lbs/acre)	\$130.00 /acre
SeClear (50 lbs/acre)	\$300.00 /acre
Wild celery control: Nautique (9 gal/acre)	\$295.00 /acre
Water lily control (1,600 sq. ft. section)	\$160.00 /section
Phragmites control	\$250.00 /acre
Dipotassium salt of endothall/diquat-dibromide complex @ 4 gal/acre	\$425.00 /acre

Assume a depth of 3 feet for products without a specified rate per acre. Payment in 2026-2028 will be made based on the above unit prices. Annual contract extensions past the previously mentioned timeframe of 2026-2028 are contingent upon mutual agreement between the Contractor and the Hamburg Township Board.



## CONTRACT

THIS AGREEMENT, made and entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2025, by and between the Hamburg Township Board, hereinafter called the "Board," and Aqua-Weed Control, Inc, hereinafter called the "Contractor," to wit:

1. That the contract form, specifications, and addenda hereto attached or herein referred to, shall be and are hereby made a part of this agreement and contract.
2. That the Contractor shall furnish all labor, materials, and equipment necessary and do all the work as set forth in the contract according to the specifications and contract documents, which have hereinbefore been made a part of this contract in a manner, time, and place as herein set forth. If the Contractor fails or omits to complete all of the requirements of this contract, they shall be responsible for corrections.
3. That the Contractor shall indemnify the Board, its officers, agents, servants, volunteers, and employees from any and all liabilities, claims, liens, demands, and costs, including Contractor's own employees and for loss or damage to any property in connection with or in any way incidental to or arising out of the occupancy, use, service, operations, performance or non-performance of work in connection with this contract resulting from negligent acts or omissions of Contractor, any Subcontractor, or any employee, agent or representative of Contractor.
4. That the term of the contract is effective from the date above written until December 31, 2028, or earlier, at the sole discretion of the Board.

IN CONSIDERATION WHEREOF, said Board promises and agrees to compensate said Contractor at the unit price amounts listed in the attached contract form.

Payments shall be made upon satisfactory completion of the aquatic herbicide treatments based on a review of the payment submittal forms and approval by the Consultant.

For the faithful performance of all the stipulations, terms, and conditions of this agreement, said parties respectfully bind themselves and their successors, heirs, executors, administrators, and assigns.

IN WITNESS WHEREOF, the parties have hereunto set their hands, the day and year first above written.

**Hamburg Township Board:**

By: \_\_\_\_\_  
(Signature) (Date)

Name: \_\_\_\_\_  
(Printed)

Title: \_\_\_\_\_  
(Printed)

**Aqua-Weed Control, Inc:**

By: Casey Thompson  
(Signature) 11/20/25  
(Date)

Name: Casey Thompson  
(Printed)

Title: Vice President  
(Printed)

**TO:** Board of Trustees

**FROM:** David Rohr, Director of Planning & Zoning

**DATE:** December 2, 2025

**AGENDA ITEM TOPIC:** Amendment to Final Site Plan PMSP25-0001  
The Crossing at Lakelands Trail (previously PCPUD24-0001)  
10564 Learning Ln.  
Tax Code #: 4715-22-400-048  
Hamburg, MI 48139  
Number of Supporting Documents: **2**

---

**Requested Action**

Amendment to Final Site Plan PMSP25-0001

**Background**

Amendment of previously approved site plan by the planning commission upon application by the applicant in accordance with procedures provided in section 36-73.

**Fiscal Considerations**

Does the agenda item require the expenditure of funds? Yes ☐ No ☒

Are funds budgeted? Yes ☐ No ☒

Fiscal year affected: Choose an item.

Is a budget amendment required? Yes ☐ No ☒

General Ledger numbers affected: \_\_\_\_\_





10405 Merrill Road  
P.O. Box 157  
Hamburg, MI 48139  
(810) 231-1000  
[www.hamburg.mi.us](http://www.hamburg.mi.us)

**Supervisor** Jason Negri **Clerk** Mike Dolan **Treasurer** Jennifer Daniels **Trustees** Chuck Menzies, Patricia Hughes, Nick Miller, Joanna Hardesty

## **PLANNING COMMISSION REGULAR MEETING**

**Wednesday, November 19, 2025 at 7:00 PM**  
**Hamburg Township Hall Board Room**

### **AGENDA**

#### **CALL TO ORDER**

#### **PLEDGE TO THE FLAG**

#### **APPROVAL OF THE AGENDA**

#### **APPROVAL OF MINUTES**

1. Approval of the September 17, 2025 Planning Commission meeting minutes.

#### **CALL TO THE PUBLIC**

#### **OLD BUSINESS**

#### **NEW BUSINESS**

2. PMSP25-0001 Site Plan Amendment (The Crossing at Lakelands Trail)
3. Rezoning PZTA 25-0001

#### **ZONING ADMINISTRATOR'S REPORT**

4. Village Center Master Plan Working Group Update.

#### **ADJOURNMENT**



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P.O. Box 157  
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[www.hamburg.mi.us](http://www.hamburg.mi.us)

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Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

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**PLANNING COMMISSION MEETING**  
**Wednesday, September 17, 2025, at 7:00 PM**  
**Hamburg Township Hall Board Room**

**MINUTES**

**CALL TO ORDER**

Vice Chair, Muir called the meeting to order at 7:00 pm.

**PLEDGE TO THE FLAG**

**ROLL CALL OF THE BOARD:**

**1) PRESENT:**

John Hamlin  
Patricia Hughes  
Victor Leabu Jr  
Ron Muir, Vice Chair  
Joyce Priebe

**2) ABSENT:**

Jeff Muck, Chair  
Deborah Mariani

**APPROVAL OF MEETING AGENDA for tonight.**

**Approval Motion** made by Trustee Hughes, seconded by Commissioner Priebe, to approve the agenda as presented.

**Voice Vote: Ayes (5); Absent (1) Commissioner Mariani and Chair Muck**

**VOTE: MOTION CARRIED**

**CALL TO THE PUBLIC-** No public response

## APPROVAL OF THE MEETING MINUTES

**Approval Motion** made by Commissioner Priebe, seconded by Trustee Hughes, to approve August 20, 2025, Planning Commission Meeting Minutes with corrections as noted by Trustee Hughes and Commissioner Muir.

**Voice Vote: Ayes (5); Absent (1) Commissioner Mariani and Chair Muck**

**VOTE: MOTION CARRIED**

## OLD BUSINESS

None

## NEW BUSINESS

- 1. Request to extend Site Plan Approval (GPUD 24-0001)** Crossing at Lakeland Trail for one year.

Vice Chair Muir opened the public meeting to David so he could give an update to the Planning Commissioners regarding this site plan approval case extension. He stated that the PC gave Final Site Plan Approval on October 23, 2024, and the applicant is seeking a year extension due to some projects that have come up. David said that this project is anticipated to break ground this coming spring. He reminded the commissioners that our ordinance requires that the PC make a recommendation, one way or the other, forwarding such recommendations onto the Township Board for their final approval. We are looking for this extension to go for one year to October 2026.

Commissioner Leabu asked David if there was a limit to how many extensions can be issued for a site plan approval. David said that there is no limit to the number of extensions that can be given. Trustee Hughes and Commissioner Priebe discussed site plan extension ordinance language but came to an agreement in favor of David's response.

Bob Langan, the developer, was asked to come to the podium to answer Commissioner Leabu's questions. Bob stated that all his development projects are stalled right now because the banks aren't lending the amount of proceeds that people need to get their projects off the ground. He said that this is a new development that began at 2pm today when the Federal Reserve dropped the borrowing rates. Bob said they have allocated funds for both of his development projects. This funding is already established and in place right now. He said he is retooling his budgets and their proformas, along with the Federal Reserve behaving as it should, they would be able to get the amount of money needed to match their financial needs. Bob said he might need to resubmit all their financing in November as they retool their proforma forcing them to extend their construction timelines projections. He said they don't control the banks, but they feel confident in the way things are shaping up. He said that this is how he makes his living, so he has no intention of stalling on this project.

Commissioner Hamlin read that such extension requests shall be accompanied by a schedule for the commencement of this building project. Bob stated that he has a construction schedule in hand with him, but he is not sure how reliable they are. He said that they have a phase one land development starting in May 2026. Bob said he could email this schedule to David so he could share it with the commissioners. Bob walked over to David and handed him his paper copy of the schedule. Vice Chair



Muir asked if his South Lyon project was on this same schedule. Bob said that the S. Lyon Project is ahead of this project in terms of permits. Bob said they have the South Lyon permits and have already cleared the land there. He said they are currently stopped because they can't get an adequate financing package from the bank. He stated that they can start both building projects at the same time next year, if needed.

Bob said he bought and owns this Hamburg Township property. Trustee Hughes asked if Bob has cleared or graded the vacant land yet. He said no. Trustee Hughes stated that the surrounding neighbors are likely hoping that he will never develop this land. Commissioner Leabu said that there were residents out there looking forward to this development to allow them to stay in this area. Bob said that financing is his key hurdle right now. Vice Chair Muir said that a quarter percent drop was huge. Bob said the Federal Reserve has never dropped a quarter of a percent and then stopped. He continued that they have always had at least 75 basis points. He said the financial leaders are telling us to expect another quarter of a point drop. We feel confident in our chances of a submission. Trustee Hughes said that these financial individuals are saying that there will be two more before the end of the year. Bob agreed that there might be two more cuts, by the end of this year. Bob stated that if everything doesn't go sideways, they should be able to start building this coming spring.

Trustee Hughes and Commissioner Leabu discussed the previous builder proposal project failing. Bob stated that he knew the sellers and that they never made a living off developing their properties. Hughes continued that they had told the PC board that they couldn't get financing because the banks didn't think Hamburg Township needed any apartments. Commissioner Leabu said according to McKenna, based on the township's population ten years ago, that the township was about 300 apartments short. Bob said that every single community needs a certain baseline of rental properties and/or multifamily owner rental properties. Currently, Hamburg doesn't have that right now. Leabu said that younger people are having a problem investing \$300,000 to \$500,000 into a new home on the lake. Trustee Hughes said that builders need a lower interest rate. She continued that senior citizens who are living off their investments might want to rent but would not look favorably at a 0.002% on their investments. Bob said that there is a give and take with this market, and he reminded the commissioners that home buyers want a lower interest rate. They want to be able to afford to buy a home. Investors and bond buyers who rely on the money market accounts are not happy with this rate decrease either. Commissioner Leabu said that he hopes that Bob can move forward and build some apartments to broaden the township's ability to draw people to the community. Bob said that they have a building company that earns money by building these communities. They also have an ownership company that wants to own more of these communities. Bob said that they are not happy to have to wait on this development until next year. Vice Chair Muir asked Bob if they have their own construction crew. He said yes. They utilize a self-performing construction and development crew on these building projects. Their main company is a general contracting business. Bob said that they won the Southeast Michigan Builder's Association "Multi-family Builder of the Year Award" last year. The commissioners congratulated him. Bob said that they did work in South Lyon, Genoa and Lansing this year. Bob said that this is what they do for a living.

**Approval motion** made by Commissioner Hamlin, seconded by Commissioner Priebe, that the planning commission recommend the Township Board grant a 12-month extension for project GPUD 24-0001 (The Crossing at Lakelands Trail). The PC members had a discussion on what date to make the 12-month

extension begin and end. David stated that the Township Board's approval at their next meeting would set this extension's beginning and ending dates.

**Voice Vote: Ayes (5); Absent (1) Commissioner Mariani and Chair Muck**

**VOTE: MOTION CARRIED**

*Bob thanked the commissioners for this extension. David let Bob know that this extension would go to the Township Board at their first meeting in October 2025. He said he would send him an email reminder.*

#### **ZONING ADMINISTRATOR'S REPORT:**

David let the commissioner know there are no agenda items for next month's PC meeting. He said that they might have several agenda items for November 2025.

He let everyone know that the Village Center Master Plan Working Group starts meeting tomorrow at 9am. David said the working group consisted of PC Commissioners John Hamlin, Victor Leabu, (Township Supervisor) Jason Negri, (Member at Large) Craig Masserant, and David. David said that they will establish a timeline and set parameters on how they will approach this VC master plan review. He said that he will keep the PC board members updated monthly on their progress.

Commissioner Hamlin asked David when the Rezoning of the park land on both sides of Merrill for public use would be on the agenda. David said that this item will be on the November 2025 meeting agenda. Hamlin asked what the current zoning of this park land currently was. David said it was currently zoned as private residential RA. This rezoning change will help the township apply for needed park grants. David said he is waiting for the MDNR to get back to the parks department, ensuring that there will be no issue with this rezoning.

#### **ADJOURNMENT**

**Approval motion** was made by Trustee Hughes, seconded by Commissioner Leabu, to adjourn at 7:19 pm.

**Voice Vote: Ayes (5); Absent (1) Commissioner Mariani and Chair Muck**

**VOTE: MOTION CARRIED**

Respectfully submitted,

**Lisa Perschke**

*Planning/Zoning Coordinator & Recording Secretary*

**David Rohr**

*Planning & Zoning Director*

The minutes were approved as presented/corrected: \_\_\_\_\_

\_\_\_\_\_

Commissioner Ron Muir, Vice Chairperson



---

**TO:** Hamburg Township Planning Commission

**FROM:** Planning & Zoning Department

**DATE:** November 19, 2025

**AGENDA ITEM TOPIC:** Amendment to Final Site Plan **PMSP25-0001**  
The Crossing at Lakelands Trail (*previously PCPUD24-0001*)  
10564 Learning Ln.  
Tax Code #: 4715-22-400-048  
Hamburg, MI 48139

---

### Amendment of site plan

#### **Sec. 36-74. – Amendment of site plan**

A previously approved site plan may be amended by the planning commission upon application by the applicant in accordance with procedures provided in [section 36-73](#). Minor changes during construction or for expansion or certain changes in use may be approved by the zoning administrator or administratively, as described in [section 36-77](#) and below.

### Project History

**PCPUD24-0001**, Site Plan Application for General Planned Unit Development received on April 15, 2024.

**PCPUD24-0001** received preliminary site plan approval at the May 15, 2024, Planning Commission meeting.

**PCPUD24-0001** received preliminary site plan approval at the June 4, 2024, Township Board of Trustees meeting.

**PCPUD24-0001** received final site plan approval at the October 16, 2024, Planning Commission meeting.

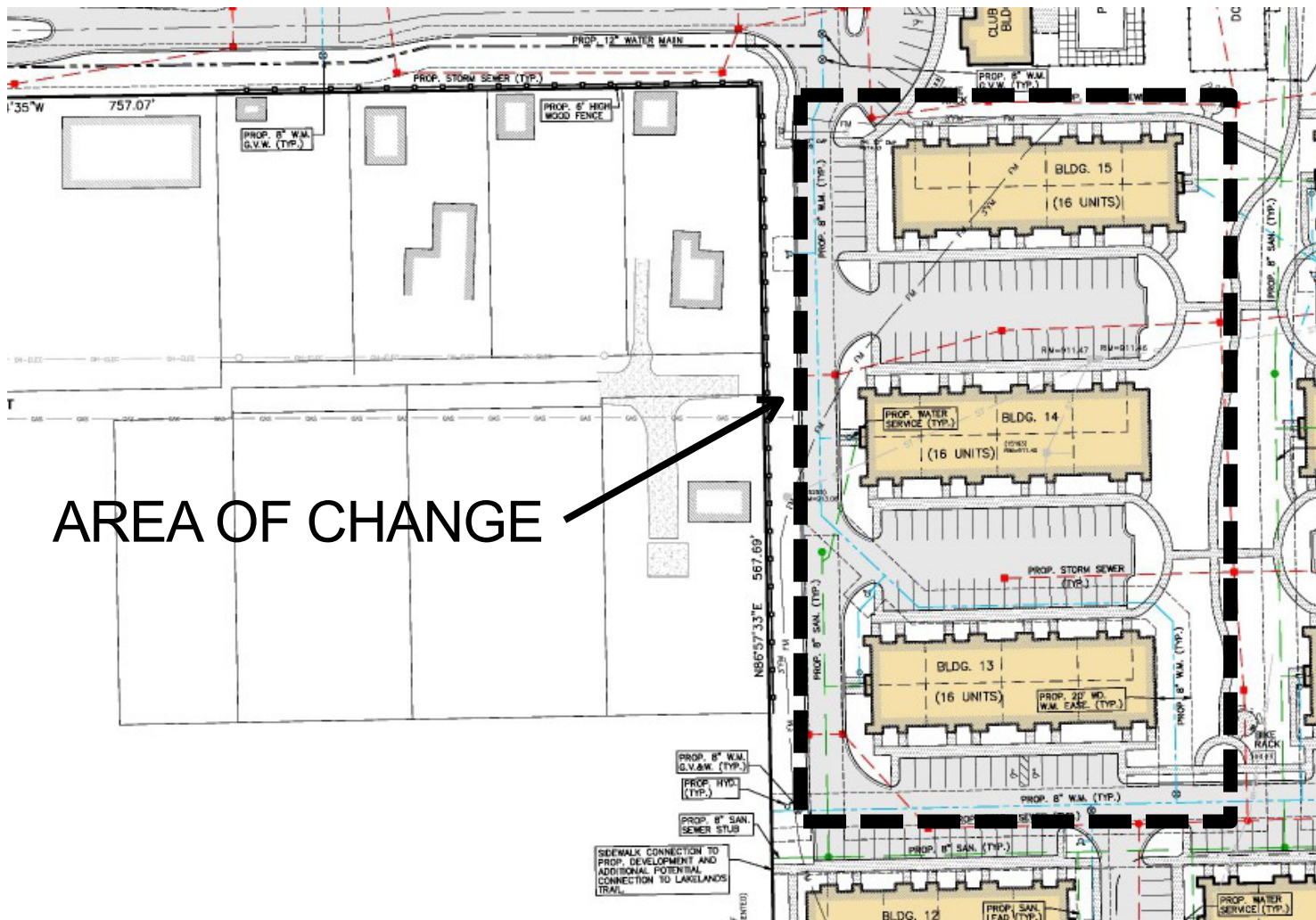
**PCPUD24-0001** received final site plan approval at the October 23, 2024, Board of Trustees meeting.

**PCPUD24-0001** received a one-year final site plan approval extension from the Board of Trustees on October 7, 2025.

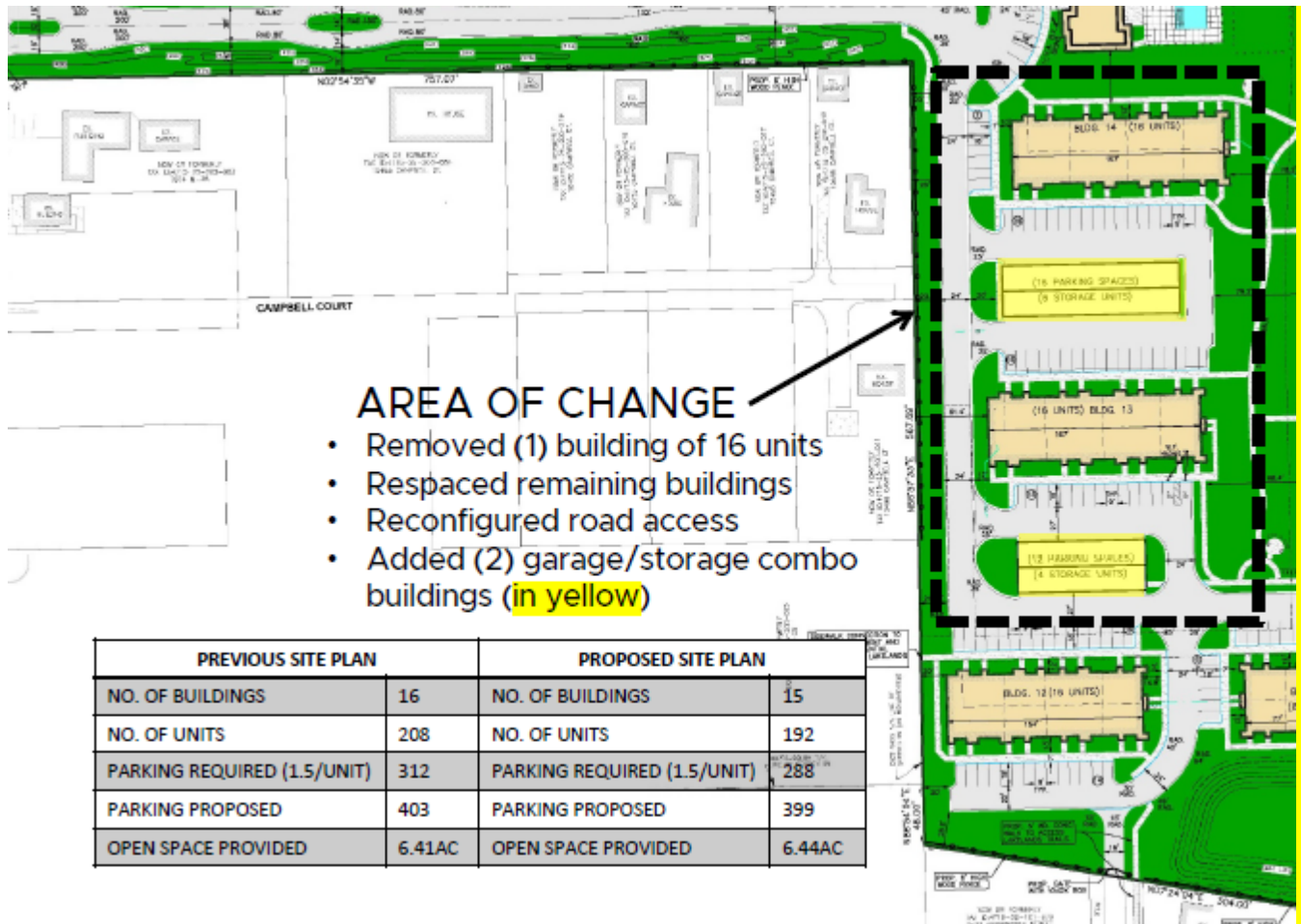
**Project Amendment(s)**

The proposed amendment will effect the northeast area of the development. (image below) The project developer beileves these changes to the site plan with will provide tenants with additional amenities therefore making the project more successful. Staff supports this minor site plan amendment and reccomends the Planning Commission approve the amendment.

**Original site plan:**



## Amended site plan:









PHONE 810-231-1000  
planning@hamburg.mi.us

P.O. Box 157  
10405 Merrill Road  
Hamburg, Michigan 48139

## SITE PLAN APPROVAL APPLICATION

**Please note: All required information, copies, fees, and other materials as appropriate must be submitted and complete before the Township Planning Commission will set a public hearing date on the Site Plan Approval Application.**

*Application fees and review fees are required at the time of application.*

*In the case of separate applications for Preliminary and Final reviews, separate application and review fees shall be collected. Review fees shall be placed into a non-interest bearing escrow account. Upon final review, review fee balances shall be returned upon receipt of final billing. The applicant shall be responsible for all costs incurred.*

*Note: Acreage calculations based upon the acreage being developed or utilized for the project (parking, buildings, walks, storm water retention etc.)*

The undersigned hereby makes application for a Site Plan Approval for: (Check all that apply)

1. **TYPE OF PROJECT:** ☐ Open Space ☐ Echo ☐ Residential ☐ Condominium  
☒ Apartments ☐ Commercial ☐ Industrial ☐ PUD ☐ Hardship PUD
2. **TYPE OF APPLICATION:** ☐ Preliminary Site Plan ☐ Optional Conceptual Site Plan Review by Planning Commission  
☐ Final Site Plan ☐ Combined – Preliminary/Final Site Plan  
☐ Minor Site Plan ☒ Site Plan Amendment (less than 25% area of site being changed) ☐ Site Plan Amendment (26% or more of site being changed)

3. **PROJECT NAME:** THE CROSSING AT LAKELANDS TRAIL Submittal Date: 10/13/2025

4. **PROJECT ADDRESS:** 10564 LEARNING LANE, HAMBURG TOWNSHIP

Tax Code Numbers: 15 - 25-400-042 15 - 25-400-013 15 - 25-200-056  
15 - 25-200-107 15 - 25-101-084 15 -

☐ Metes & Bounds Parcel ☐ Subdivision Lot Numbers:

Zoning District Classification: COMM PUD (CPUD) Floodplain Classification:

Number of Lots Proposed: Acreage of Project: 16.1 AC

5. **PROJECT DESCRIPTION:** (14) 2-STORY BUILDINGS OF 192 UNITS TOTAL (UNIT MIX INCLUDES 1-, 2, AND 3-BEDROOM UNITS); (2) GARAGE/STORAGE UNIT BUILDINGS; (1) CLUBHOUSE WITH POOL; DOG PARK AND OTHER SITE AMENITIES.

6. **OWNER/PROPRIETOR INFORMATION:**

Name: 1127 N. HAGADORN LLC Phone Number(s): OFFICE: 248-344-1885  
Email: bobl@elevate-property.com Address: 128 N. CENTER STREET  
City: NORTHVILLE, MI 48167 State: \_\_\_\_\_ Zip: \_\_\_\_\_

7. **APPLICANT:**

Name: CROSSING APTS LLC Phone Number(s): OFFICE: 248-344-1885  
Email: bobl@elevate-property.com Address: 128 N. CENTER STREET  
City: NORTHVILLE, MI 48167 State: \_\_\_\_\_ Zip: \_\_\_\_\_

8. **DESIGNER INFORMATION:**

Name: SEE ATTACHED Phone Number(s): \_\_\_\_\_  
Email: \_\_\_\_\_ Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

9. **SPECIAL USE PERMIT:**

Is a Special Use Permit required for this project? ☒ No ☐ Yes

IF YES, Attach Special Use Permit Application Form with this site plan review application form

---

**APPLICANT CERTIFICATION:**

I hereby certify that all structures and uses for which this application is made shall conform to the Ordinances of Hamburg Township, Livingston County and the State of Michigan. All information submitted as a part of the site plan application is to my knowledge accurate. If the information is determined either now or in the future to be inaccurate any permits granted for the incorrect information shall be void and any structures built or uses approved may be in violation of the required ordinances and must otherwise be brought into compliance with all regulations.

I further agree that any deviation from the plans submitted or the breach of any additional safeguards, conditions or requirements the Hamburg Township may impose in granting this application shall constitute a violation of the Ordinance and invalidate the permit granted.

PROPERTY OWNERS SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

\*If an agent submits the project to the Township for the property owner a letter authorizing must be submitted.



6. **OWNER/PROPRIETOR INFORMATION:**

Name: 1127 N. HAGADORN LLC Phone Number(s): OFFICE: 248-344-1885  
 Email: bobl@elevate-property.com Address: 128 N. CENTER STREET  
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Name: CROSSING APTS LLC Phone Number(s): OFFICE: 248-344-1885  
 Email: bobl@elevate-property.com Address: 128 N. CENTER STREET  
 City: NORTHVILLE, MI 48167 State: \_\_\_\_\_ Zip: \_\_\_\_\_

8. **DESIGNER INFORMATION:**

Name: SEE ATTACHED Phone Number(s): \_\_\_\_\_  
 Email: \_\_\_\_\_ Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

9. **SPECIAL USE PERMIT:**

Is a Special Use Permit required for this project? ☒ No ☐ Yes

IF YES, Attach Special Use Permit Application Form with this site plan review application form

**APPLICANT CERTIFICATION:**

I hereby certify that all structures and uses for which this application is made shall conform to the Ordinances of Hamburg Township, Livingston County and the State of Michigan. All information submitted as a part of the site plan application is to my knowledge accurate. If the information is determined either now or in the future to be inaccurate any permits granted for the incorrect information shall be void and any structures built or uses approved may be in violation of the required ordinances and must otherwise be brought into compliance with all regulations.

I further agree that any deviation from the plans submitted or the breach of any additional safeguards, conditions or requirements the Hamburg Township may impose in granting this application shall constitute a violation of the Ordinance and invalidate the permit granted.

PROPERTY OWNERS SIGNATURE:  DATE: 10-8-25

\*If an agent submits the project to the Township for the property owner a letter authorizing must be submitted.

## SITE PLAN APPROVAL APPLICATION

**8. DESIGNER INFORMATION**

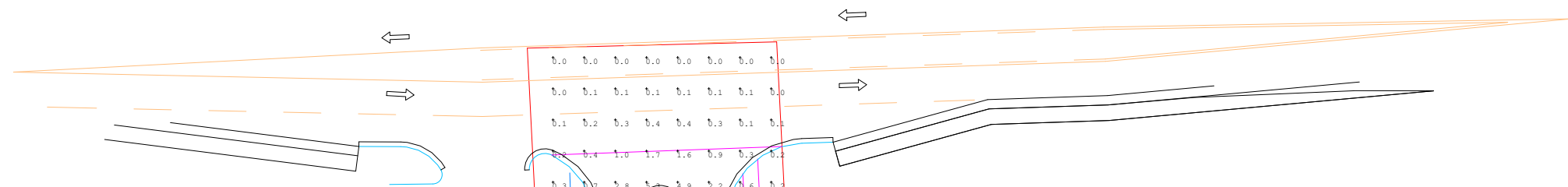
CIVIL ENGINEER: SEIBER KEIST LEHNER  
Contact: Clif Seiber  
39205 Country Club Drive, Suite C8  
Farmington Hills, MI 48331  
(248) 890-7650  
Email: [cs@seibereng.com](mailto:cs@seibereng.com)

ARCHITECT: TK DESIGN  
Contact: Todd Hallett  
26030 Pontiac Trail  
South Lyon, MI 48178  
(248) 446-1960  
Email: [thallett@tkhomedesign.com](mailto:thallett@tkhomedesign.com)

LANDSCAPE: ALLEN DESIGN  
Contact: Jim Allen  
557 Carpenter  
Northville, MI 48167  
(248) 467-4668  
Email: [jca@wideopenwest.com](mailto:jca@wideopenwest.com)



# THE CROSSING



Luminaire Schedule				
Symbol	Qty	Label	Description	
⊞	3	C	GC6220-NL_G2LED115-T4-40K	
⊙	80	D	GC6220-NL_G2LED115-T3-40K	
⊞	23	E	GB03_GBR50_CA_G5BOL26-T5-30K	
⊙ ⊞	3	D2	GC6220-NL_G2LED115-T3-40K	

Calculation Summary				
Label	Units	Avg	Max	Min
CalcPts_1	Fc	2.00	28.3	0.0

MH: 12'

PROP LANDSCAPE BERM

BLDG 1

BLDG 2

BLDG 3

DRAWN BY: S.H.  
DATE: 10/09/25  
REV: 2





# THE CROSSING



Luminaire Schedule				
Symbol	Qty	Label	Description	
□	3	C	GC6220-NL G2LED115-T4-40K	
○	80	D	GC6220-NL G2LED115-T3-40K	
□	23	E	GB03 GBR50 CA G5BOL26-T5-30K	
○	3	D2	GC6220-NL G2LED115-T3-40K	

Calculation Summary				
Label	Units	Avg	Max	Min
CalcPts_1	Fc	2.00	28.3	0.0

DRAWN BY: S.H.  
DATE: 10/09/25  
REV: 2



# MEMO

VIA EMAIL: [bobl@elevate-property.com](mailto:bobl@elevate-property.com)

**To:** Elevate Land Holdings

**From:** Jacob Swanson, PE, PTOE  
Aaron Wildrick, EIT  
Fleis & VandenBrink

**Date:** September 28, 2025

**Re:** The Crossing at Lakelands Trail  
Hamburg Township, Michigan  
Traffic Impact Study - Addendum

This memorandum is an addendum to the Traffic Impact Study (TIS) prepared by F&V for this project dated September 5, 2024. The project site is located south of M-36, adjacent to the existing Learning Lane in Hamburg Township, Michigan, as shown in **Figure 1**. The project site is currently vacant and was formerly occupied by the Hamburg Elementary School. The proposed site plan for this project has subsequently been revised and includes **less** units than previously evaluated in the TIS. Therefore, the purpose of this addendum is to show the projected change in trip generation associated with the revised site plan.

The scope of work for this study was developed based on Fleis & VandenBrink's (F&V) understanding of the development program, professional experience, accepted traffic engineering practice, requirements of Hamburg Township, and the methodologies published by ITE.

**FIGURE 1: SITE LOCATION MAP**



27725 Stansbury Boulevard, Suite 195  
Farmington Hills, MI 48334

P: 248.5

F: 248.5

[www.fve.com](http://www.fve.com)

381

The vehicle trip generation included in the September 2024 TIS was compared to the projected trips that would be generated with the proposed site plan, in order to determine the potential impact associated with the site plan modifications.

The trip generation analysis included in the September 2024 TIS utilized the *ITE Trip Generation Manual, 11<sup>th</sup> Edition*. The *ITE Trip Generation Manual, 12<sup>th</sup> Edition* was published in August 2025 and was used to calculate the trip generation for the revised proposed site plan. The number of weekday peak hour (AM and PM) and daily vehicle trips that would be generated by the proposed site plan were compared to the trip generation evaluated in the September 2024 TIS. The trip generation comparison is summarized in **Table 1**.

**Table 1: Trip Generation Summary**

Site Plan	Land Use	ITE Code	Amount	Units	Average Daily Traffic (vpd)	AM Peak Hour (vph)			PM Peak Hour (vph)		
						In	Out	Total	In	Out	Total
2024 TIS (TGM 11 <sup>th</sup> )	Multi-Family (Low-Rise)	220	208	DU	1,409	21	66	87	69	41	110
Proposed (TGM 12 <sup>th</sup> )	Multi-Family (Low-Rise)	220	192	DU	1,201	19	61	80	62	38	100
<b>Difference</b>					<b>-208</b>	<b>-2</b>	<b>-5</b>	<b>-7</b>	<b>-7</b>	<b>-3</b>	<b>-10</b>

- The results of the trip generation comparison indicates that the proposed site plan revisions are expected to generate ***less*** trips, as compared to the previous site plan evaluated in the 2024 TIS.
- No changes to the results of recommendations of the TIS are expected with the revised site plan and no further analysis is recommended.

Any questions related to this memorandum, study, analysis, and/or results should be addressed to Fleis & VandenBrink.



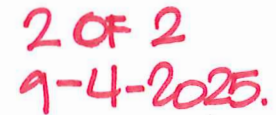
I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Michigan.

*Jacob Swanson*

Digitally signed by  
Jacob Swanson  
Date: 2025.09.28  
17:48:53 -04'00'

**Attachments:** Proposed Site Plan





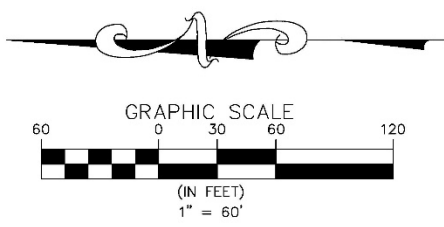
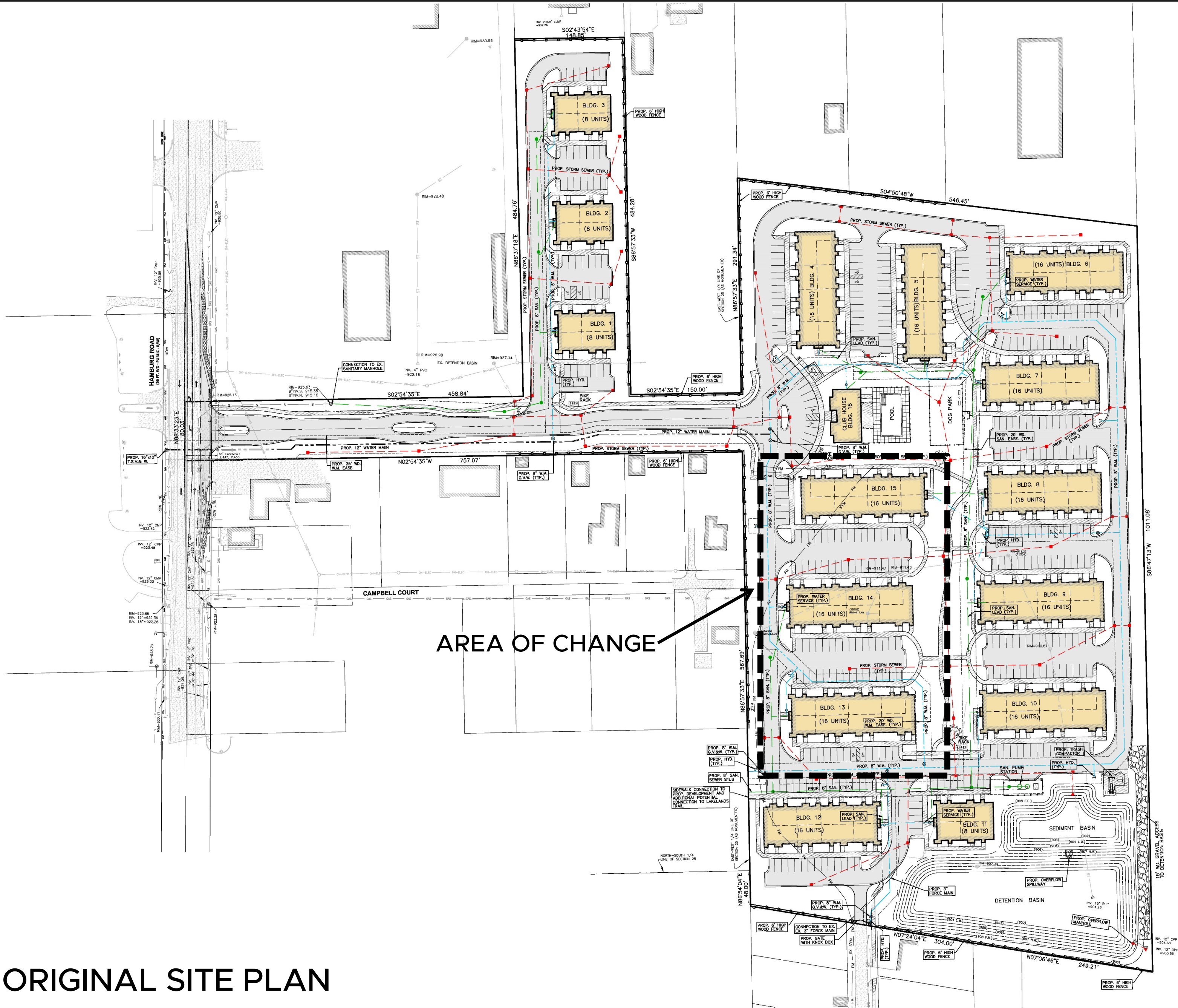
# The Crossing at Lakelands Trail

## Hamburg, Michigan





ORIGINAL SITE PLAN



PROPOSED LEGEND

	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	DITCH/SWALE
	TREE PROTECTION FENCE
	SILT FENCE
	FLOODPLAIN
	WETLANDS
	CONTOUR
	CURB AND OUTTER
	SANITARY MANHOLE
	SANITARY CLEANOUT
	STORM MANHOLE
	YARD CATCH BASIN
	ROAD CATCH BASIN W/SILT SAC
	END SECTION
	FIRE HYDRANT
	GATE VALVE AND WELL
	PAVEMENT (ASPHALT)
	PAVEMENT (CONCRETE SIDEWALK)
	DIRECTION SURFACE WATER FLOW
	OVERFLOW ROUTE
	GRADE

SEIBER KEAST LEHNER  
ENGINEERING | SURVEYING

Item 11.

NO.	REVISIONS	DATE
1.	REV. LAYOUT PER HAMBURG TWP. REVIEW	4-22-24
2.	REV. ISLAND ADD VINYL FENCE	8-26-24
3.	SUBMIT TO HAMBURG TWP.	9-16-24
4.	SUBMIT TO HAMBURG TWP.	9-25-24

3 WORKING DAYS  
BEFORE YOU DIG  
CALL MISS DIG  
1-800-482-7171  
TOTAL FREE FOR THE LOCATION  
OF UNDERGROUND UTILITIES

811

PROJECT NUMBER:	23-239
PROJECT MANAGER:	B. EMERINE
DRAWN BY:	
CHECKED BY:	
DATE:	1/10/24
OFFICE:	FARMINGTON HILLS

CLIENT INFO:

ELEVATE LAND HOLDINGS-  
THE CROSSING  
128 N. CENTER STREET  
NORTHVILLE, MI 48167  
248.344.1885

PROJECT NAME:

THE CROSSING AT  
LAKELANDS TRAIL  
PART OF E. 1/2 OF SEC. 25, T.1N., R.5E.,  
HAMBURG TWP., LIVINGSTON COUNTY, MI

SHEET TITLE:

UTILITIES PLAN

PAGE No.:

4

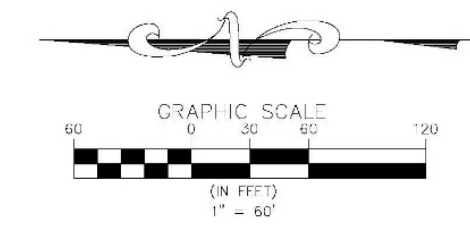
385



PROPOSED SITE PLAN

PREVIOUS SITE PLAN		PROPOSED SITE PLAN	
NO. OF BUILDINGS	16	NO. OF BUILDINGS	15
NO. OF UNITS	208	NO. OF UNITS	192
PARKING REQUIRED (1.5/UNIT)	312	PARKING REQUIRED (1.5/UNIT)	288
PARKING PROPOSED	403	PARKING PROPOSED	399
OPEN SPACE PROVIDED	6.41AC	OPEN SPACE PROVIDED	6.44AC

- AREA OF CHANGE
- Removed (1) building of 16 units
  - Respaced remaining buildings
  - Reconfigured road access
  - Added (2) garage/storage combo buildings (in yellow)



BUILDING TYPE	1B/R	2B/R	3B/R	TOTAL UNITS PER BLDG TYPE	TOTAL B/R PER BLDG TYPE	NO OF BLDGS	TOTAL B/R ALL BLDG TYPE
77' WD.	4	4	0	8	12	4	48
154' WD.	10	4	2	16	24	6	144
167' WD.	6	8	2	16	28	4	100
1B/R UNITS	100	51%				14	282
2B/R UNITS	72	38%					
3B/R UNITS	20	11%	100%				

SITE DATA		REQUIRED	PREVIOUSLY APPROVED	PROPOSED
EXISTING ZONING: GENERAL PLANNED UNIT DEVELOPMENT (GPUD)				
SITE AREA = 15.478 ACRES				
MAX. DWELLING UNITS PER ACRE (VC): 10 DU/ACRE				
NO. OF BUILDING ON SITE:			16	15
NO. OF UNITS PROPOSED:			208	192
DWELLING UNITS PER ACRE:			13.44 DU/ACRE	12.41 DU/ACRE
(AMEND TO PUD AGREEMENT)				
BUILDING SETBACKS:				
FRONT (FROM PAVEMENT):		20'	N/A	N/A
SIDE:		10'	20' MIN.	20' MIN.
REAR: TO PROPERTY LINE		25'	20' MIN.	20' MIN.
BUILDING TO BUILDING:		35'	N/A	N/A
BUILDING FRONT TO SIDE:		N/A	N/A	N/A
BUILDING SIDE TO SIDE:		N/A	N/A	N/A
MAXIMUM BUILDING HEIGHT:		35'	35'	35'
MAXIMUM BUILDING STORIES:		2.5 STORIES	2 STORIES	2 STORIES
MINIMUM FLOOR AREA:				
1 BEDROOM		550 S.F.	741 S.F.	741 S.F.
2 BEDROOMS		650 S.F.	1,058 S.F.	1,058 S.F.
3 BEDROOMS			1,399 S.F.	1,399 S.F.
BUILDING COVERAGE:		50% MAX.	16.80%	17.06%
IMPERVIOUS AREA CALCULATION:		N/A	41.79%	41.33%
OPEN SPACE REQUIRED:				
1,500 S.F./ UNIT=1,500 x 208				
312,000 S.F. (7.16 AC.)		44%	41.41%	41.61%
OPEN SPACE PROVIDED:			6.41 AC.	6.44 AC.
PARKING REQUIRED: (1.5 SPACE/UNIT)			312 SPACES	288 SPACES
PARKING PROPOSED: OPEN PARKING -			393 SPACES	361 SPACES
BARRIER FREE PARKING -			10 SPACES	10 SPACES
COVERED PARKING -			N/A	28 SPACES
TOTAL PARKING PROPOSED:			403 SPACES (1.94 SPACES/UNIT)	399 SPACES (2.08 SPACES/UNIT)
			PREVIOUSLY APPROVED PLANS	CURRENT PLANS
SITE AREA			15.478 AC.	15.478 AC.
NO. OF BUILDING ON SITE:			16	15
NO. OF UNITS PROPOSED:			208	192
DWELLING UNITS PER ACRE:			13.44 DU/ACRE	12.41 DU/ACRE
BUILDING COVERAGE:			16.80%	17.06%
PAVED SURFACE PARKING AND ROADS CIRCULATION			41.79%	41.33%
OPEN SPACE:			41.41%	41.61%
PARKING PROVIDED:			403 SPACES (1.94 SPACES/UNIT)	399 SPACES (2.08 SPACES/UNIT)

SEE LANDSCAPE PLANS FOR SCREENING WALL DETAILS

PROPOSED LEGEND	
	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	DITCH/SWALE
	TREE PROTECTION FENCE
	SILT FENCE
	FLOODPLAIN
	WETLANDS
	CONTOUR
	CURB AND GUTTER
	SANITARY MANHOLE
	SANITARY CLEANOUT
	STORM MANHOLE
	YARD CATCH BASIN
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	SAND SUCTION
	FIRE HYDRANT
	GATE VALVE AND WELL
	PAVEMENT (ASPHALT)
	PAVEMENT (CONCRETE SIDEWALK)
	DIRECTION SURFACE WATER FLOW
	OVERLOOK ROUTE
	GRADE

SEIBER KEAST LEHNER  
ENGINEERING | SURVEYING

SKL

REVISIONS

NO.	DATE	DESCRIPTION
1	4-22-24	REV. LAYOUT PER HAMBURG TWP. REVIEW
2	6-26-24	REV. ISLAND, ADD VINYL FENCE
3	8-16-24	SUBMIT TO HAMBURG TWP.
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TOLL FREE FOR THE LOCATION OF UNDERGROUND UTILITIES

PROJECT NUMBER: 23-239  
PROJECT MANAGER: B. ERIKNE  
DRAWN BY: A. AWAD  
CHECKED BY: J.S.  
DATE: 1/10/24  
OFFICE: FARMINGTON HILLS

CLIENT INFO:  
ELEVATE LAND HOLDINGS -  
THE CROSSING AT  
128 N. CENTER STREET  
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THE CROSSING AT  
LAKELANDS TRAIL  
PART OF E. 1/2 OF SEC. 25, T.1N., R.5E.,  
HAMBURG TWP., LIVINGSTON COUNTY, MI

SHEET TITLE:  
OVERALL PLAN AND  
OPRN SPACE PLAN

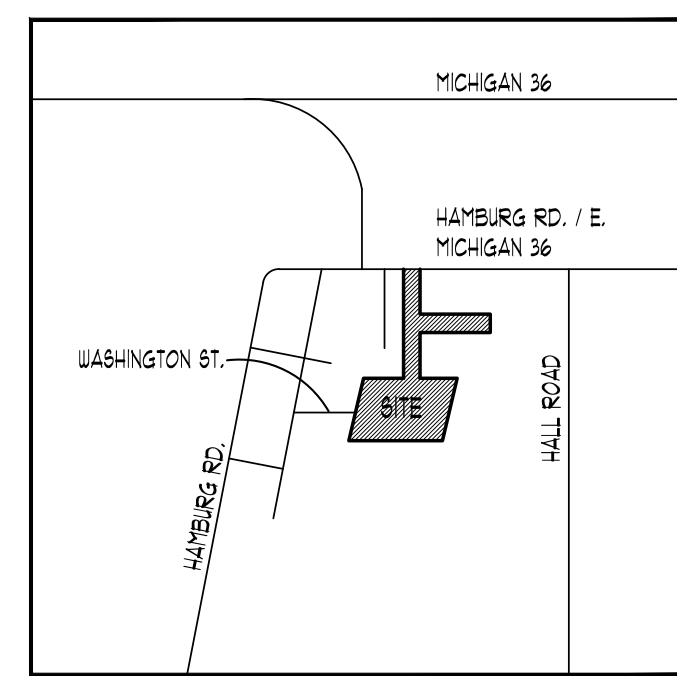
PAGE NO.: 3

Item 11.

386



# ELEVATE LAND HOLDINGS THE CROSSINGS AT LAKELAND TRAIL 8-UNIT HAMBURG TWP. LIVINGSTON COUNTY, MI



SITE LOCATION MAP  
SCALE: NOT TO SCALE



## DEFERRED SUBMITTALS

THE FOLLOWING BUILDING COMPONENTS SHALL BE SUBMITTED SEPARATELY BY OTHERS:

- FIRE SUPPRESSION AND COMPONENTS

CODE BREAKDOWN:			
CODES:	INTERNATIONAL BUILDING CODE AS AMENDED BY MICHIGAN		
	MICHIGAN BUILDING CODE (MBC) - 2021 INTERNATIONAL MECHANICAL CODE (IMC) - 2021 INTERNATIONAL PLUMBING CODE (IPC) - 2021 NFPA - 10 NATIONAL ELECTRICAL CODE (NEC) - 2023 MICHIGAN ENERGY CODE - 2021 ADA STANDARDS 2010 FAIR HOUSING ACT DESIGN MANUAL		
SCOPE:	CONSTRUCTION DOCUMENT SET FOR A 8 UNIT APARTMENT BUILDING.		
ZONING:	GRUD		
CLIMATE ZONE (PER MEC R301.1):	5A		
ENERGY CODE - METHOD OF COMPLIANCE (PER R401.2.2):	TOTAL BUILDING PERFORMANCE OPTION. (ENERGY REPORT BY OTHER)		
OCCUPANCY CLASSIFICATION (PER MEC 310.4):	R2 RESIDENTIAL APARTMENT		
TYPE OF CONSTRUCTION (PER TABLE 601):	V B (WOOD FRAME ON CONC. SLAB)		
ACCESSIBLE DUELLING UNIT (PER 1016.2.2):	TOTAL SITE NO. UNITS PROVIDED: 208 TOTAL (4) 8 UNIT + 88 FIRST FLOOR UNITS (1) 16 UNIT + 88 FIRST FLOOR UNITS TOTAL FIRST FLOOR: 104 FIRST FLOOR TOTAL SECOND FLOOR: 104 SECOND FLOOR TYPE A: 2x 208 + 4 UNITS TYPE B: MEC 1016.2.2.2 / EXCEPTION MEC 1011.1 + 100 (ALL REMAINING FIRST FLOOR UNITS SINCE SECOND FLOOR UNITS EXEMPT PER MEC 1011.1 EXCEPTION - NO ELEVATOR PROVIDED) ** TYPE A ACCESSIBLE UNITS SHALL BE PROVIDED IN LARGER UNIT BUILDING UNDER SEPARATE SUBMITTAL **		
ALLOWABLE BUILDING HEIGHT (PER MEC 504.3):	PERMITTED: 15 FEET PROVIDED: 31 FEET - 5 3/4 INCHES		
ALLOWABLE STORIES ABOVE GRADE (PER MEC 504.4):	PERMITTED: 5 STORIES PROVIDED: 2 STORIES		
ALLOWABLE AREA (PER MEC 506.2):	PERMITTED: 2,000 SF PROVIDED: 184 SF		
SPECIAL REQUIREMENTS BASED ON USE AND OCCUPANCY (PER MEC 420):	DUELLING UNIT SEPARATION: VERTICAL (PER 420.2/108 EXCEPTION #2): CORRIDOR (PER 108.3 EXCEPTION #2) HORIZONTAL (PER 420.3/111.2.4.3 EXCEPTION):	REQUIRED: 1/2 HR (FIRE PARTITION) 1/2 HR (FIRE PARTITION) 1/2 HR	PROVIDED: 1 HR 1/2 HR 1 HR
FIRE RESISTANCE RATINGS FOR BUILDING ELEMENTS (PER TABLE 601 / 105.5):	PRIMARY STRUCTURAL FRAME: BEARING WALLS: EXTERIOR: INTERIOR (CORRIDOR/STAIR): NON BEARING WALLS: FLOOR CONSTRUCTION: ROOF CONSTRUCTION:	REQUIRED: 0 1 HR 0 0 0	PROVIDED: 0 1 HR 1/2 HR SEE DUELLING UNIT SEPARATION ABOVE 1 HR 0
DRAFTSTOPPING:	FLOOR: NOT REQUIRED PER MEC 18.3.2, EXCEPTION #1 ATTIC: NOT REQUIRED PER MEC 18.4.2 EXCEPTION #1		
FIRE PROTECTION (PER 420.6 + 503.3.1.2):	NFPA 13 R* SPRINKLER SYSTEM THE SPRINKLER SYSTEM IS DESIGN/BUILD BY THE CONTRACTOR		
MEANS OF EGRESS:	OCCUPANT LOAD (PER TABLE 1004.12.3): RESIDENTIAL + 200 SF GROSS FIRST FLOOR: UNIT A: 1084 / 200 + 6 OCCUPANTS UNIT B: 1111 / 200 + 4 OCCUPANTS OCCUPANT LOAD: 20 OCCUPANTS SECOND FLOOR: UNIT C: 1062 / 200 + 6 OCCUPANTS UNIT D: 1062 / 200 + 4 OCCUPANTS OCCUPANT LOAD: 20 OCCUPANTS TOTAL BUILDING OCCUPANT LOAD: 40 ** EACH UNIT HAS PRIVATE ENTRY		
STAIR WIDTH (PER 1011.2):	REQUIRED MIN.: 36" (PER EXCEPTION #2) PROVIDED: 45" (FINISHED)		
NO. EXITS:	SECOND FLOOR: 1 EXIT (PER TABLE 1006.3.3.1) GROUND FLOOR: 2 EXITS		
EXIT ACCESS TRAVEL DISTANCE (PER TABLE 1012):	PERMITTED: 250' PROVIDED: 63'-10" (FROM UNIT C ON SECOND FLOOR)		
REQUIRED SPECIAL INSPECTIONS & TESTS (PER 105.1):	NONE REQUIRED 105.1 SPECIAL CASED: NOT APPLICABLE 105.2 STEEL CONSTRUCTION: NOT APPLICABLE 105.3 CONCRETE CONSTRUCTION: EXCEPTION 1 - BLDG. IS 3 STORIES OR LESS 105.4 MASONRY CONSTRUCTION: NOT APPLICABLE. (STONE VENEER IS MAJOR STONE) 105.5 WOOD CONSTRUCTION: PRE-FAB STRUCTURAL LGA BEARING OR LATERAL LOAD-RESISTING MEMBERS OR ASSEMBLIES COMPONENTS SHALL BE FABRICATED IN AN APPROVED FABRICATOR SHOP. FABRICATOR SHALL PROVIDE CERTIFICATE OF COMPLIANCE TO OWNER/OWNER REP FOR SUBMITTAL TO CITY PER SECTION 104.5. 105.6 SOL. REPORT: SUBMITTAL BY OTHER		

## PLAN DRAWING INDEX

ARCHITECTURAL BUILDING COMPOSITION	
COVER	CODE DATA / SITE LOCATION MAP / UNIT S.F. CHART
ECA1	ENERGY NOTES & DETAILS
ECA2	THERMAL ENVELOPE PLANS
ECA3	THERMAL ENVELOPE ELEVATIONS
GN1	GENERAL NOTES
GN2	GENERAL NOTES & DETAILS
GN3	FIRE RATED WALL KEY
GN4	EGRESS PLAN
GN5	ROOF PLAN AND DETAILS
GN6	ACCESSIBILITY NOTES AND DETAILS
GN7	ACCESSIBILITY PLAN
A1	8-UNIT FOUNDATION PLAN
A2	8-UNIT FIRST FLOOR PLAN
A3	8-UNIT SECOND FLOOR PLAN
A4	8-UNIT FRONT & LEFT ELEVATION
A5	8-UNIT RIGHT & REAR ELEVATION
A6	8-UNIT BUILDING SECTION
A7	8-UNIT BUILDING SECTION
A8	8-UNIT WALL SECTIONS
A9	8-UNIT BUILDING DETAILS / UL DESCRIPTIONS
A10	DOOR & WINDOW SCHEDULE / DETAILS
S-1	8-UNIT FOUNDATION STRUCTURE PLAN
S-2	8-UNIT FIRST FLOOR STRUCTURE PLAN
S-3	8-UNIT SECOND FLOOR STRUCTURE PLAN

BED / BATH CONFIGURATION RECAP		
QUANTITY	CONFIGURATION	
	BED	BATH
4	1	1
4	2	2

PLUMBING FIXTURES:							
UNIT IDENTITY	QUANTITY	STANDARD FIXTURES					
		BATHROOMS			KITCHEN	DISHWASHER	WASHER /DRYER
		SINK	TOILET	TUB/SHOWER	SINK		
UNIT A	2	4	4	4	2	2	2
UNIT B	2	2	2	2	2	2	2
UNIT C	2	4	4	4	2	2	2
UNIT D	2	2	2	2	2	2	2
BLDG TOTAL *		12	12	12	8	8	8

UNIT SQUARE FOOTAGE					
	UNIT IDENTITY	CONFIGURATION		SQ. F. T.	TOTAL UNIT S.F.
		BED	BATH		
FIRST FLOOR	UNIT A	2	2	1084	2168
	UNIT B	1	1	1111	1111
	RISER / MECH. ROOM				71
	AC				91
	STAIR				225
SECOND FLOOR	UNIT C	2	2	1062	2124
	UNIT D	1	1	1062	1492
	AC				18
	STOR.				91
TOTAL BLDG S.F.					7914



7-9-25



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26030 PONTIAC TRAIL  
SOUTH LYON, MI 48178  
PHONE: (248)-446-1960  
FAX: (248)-446-1961

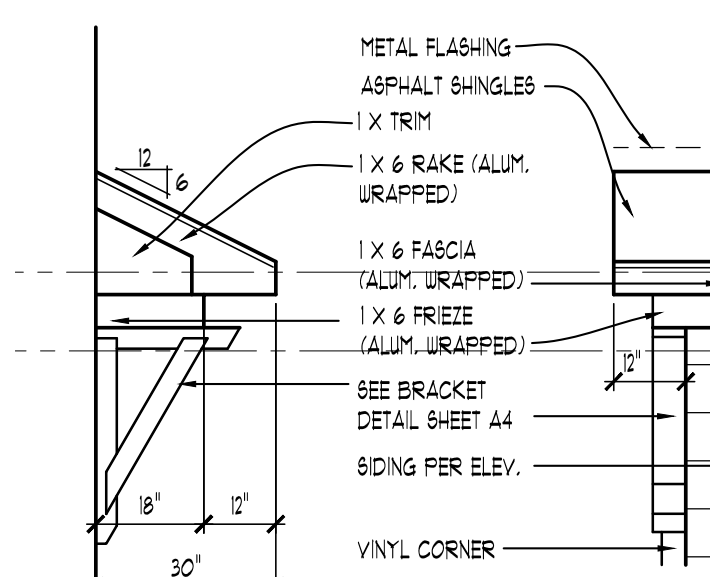
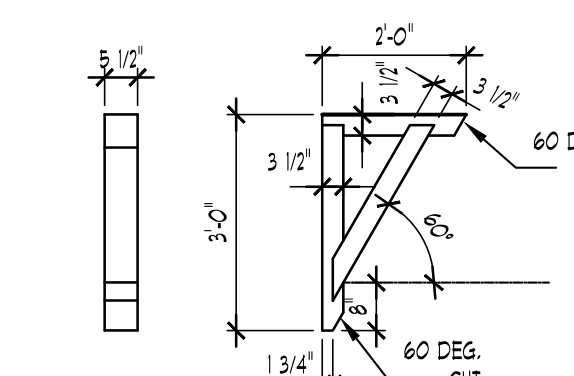
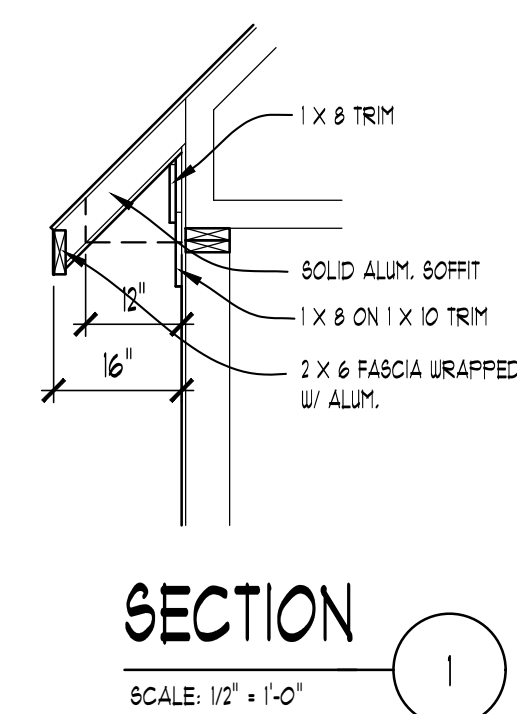
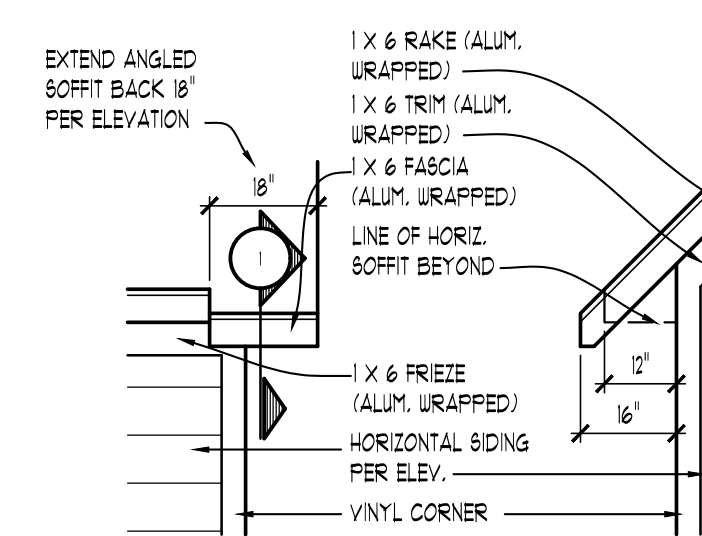
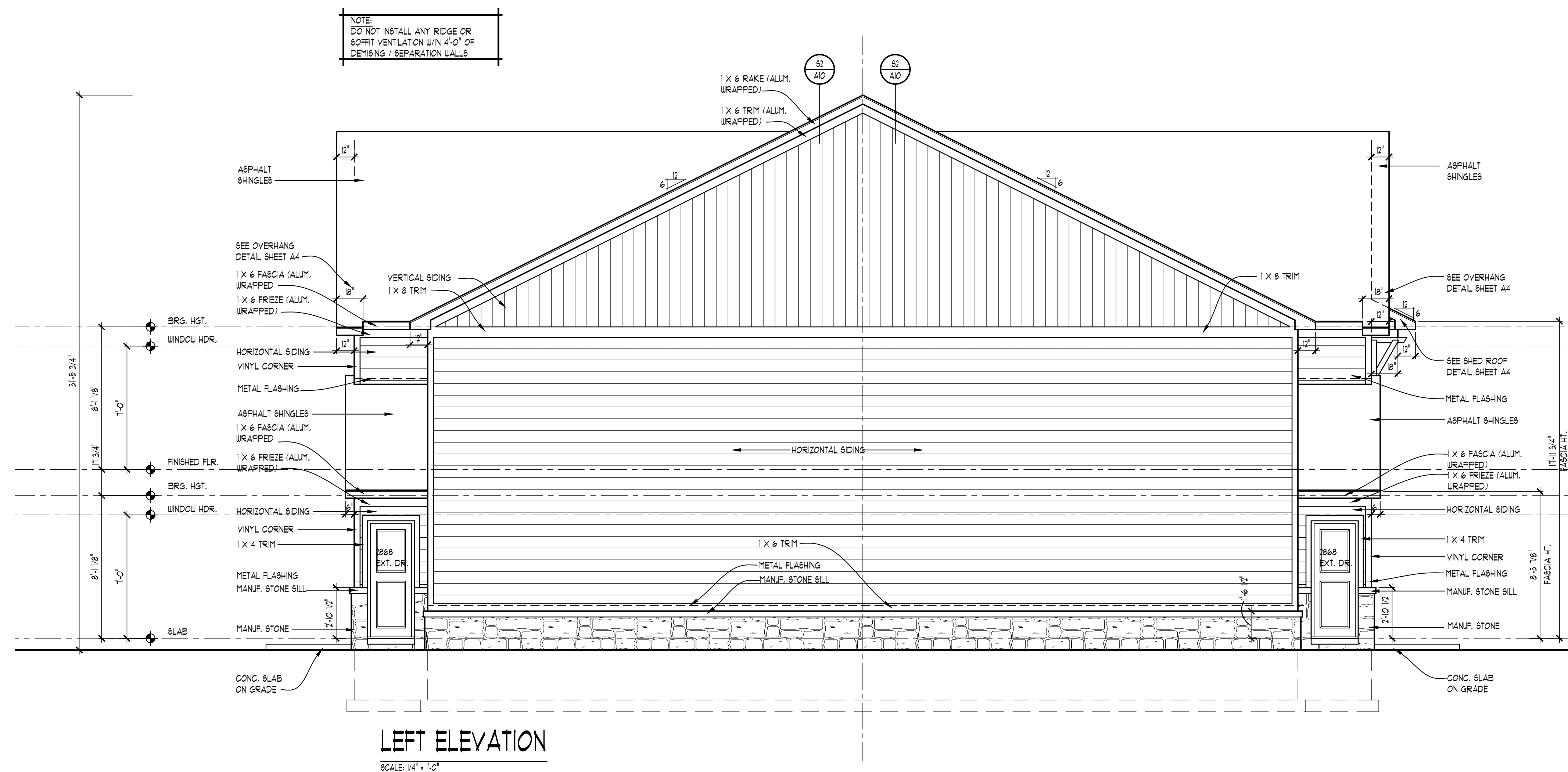
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CALL MEASUREMENTS MUST BE TAKEN PRIOR TO ANY EXCAVATION.  
CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER/OWNER REP.

CLIENT / PROJECT  
ELEVATE LAND HOLDINGS  
THE CROSSINGS AT LAKELAND TRAIL  
8-UNIT  
HAMBURG TWP.  
LIVINGSTON COUNTY, MI

JOB No. 24-201  
DRAWN: AG  
CHECKED: BF  
FRAMED: BF  
FINAL 7-9-25

SCALE:  
PER PLAN

SHEET #  
COVER



## ELEVATION NOTES

- ALL ROOF SADDLES TO BE PLYWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
- PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS.
- METAL FLASHING AS REQUIRED BY CODE.
- ROOF & SOFFIT VENTS AS REQUIRED BY CODE.
- PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

## NOTE:

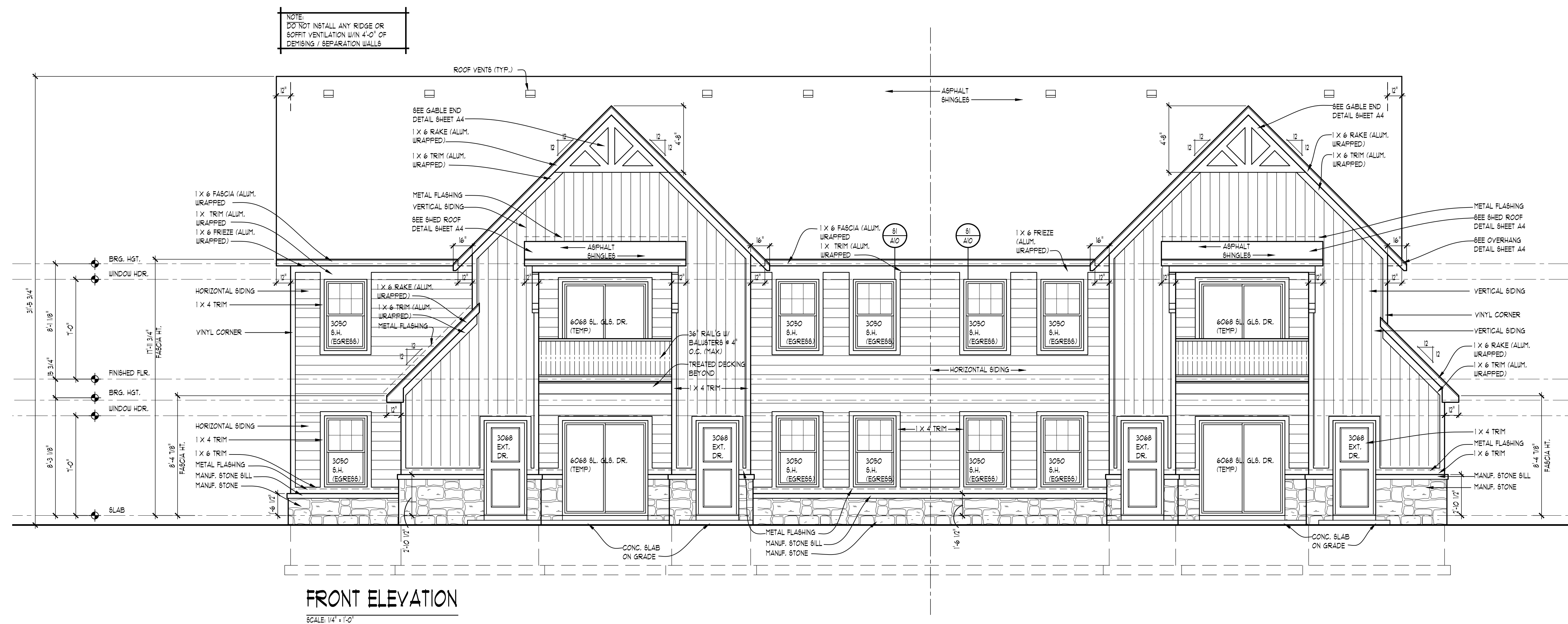
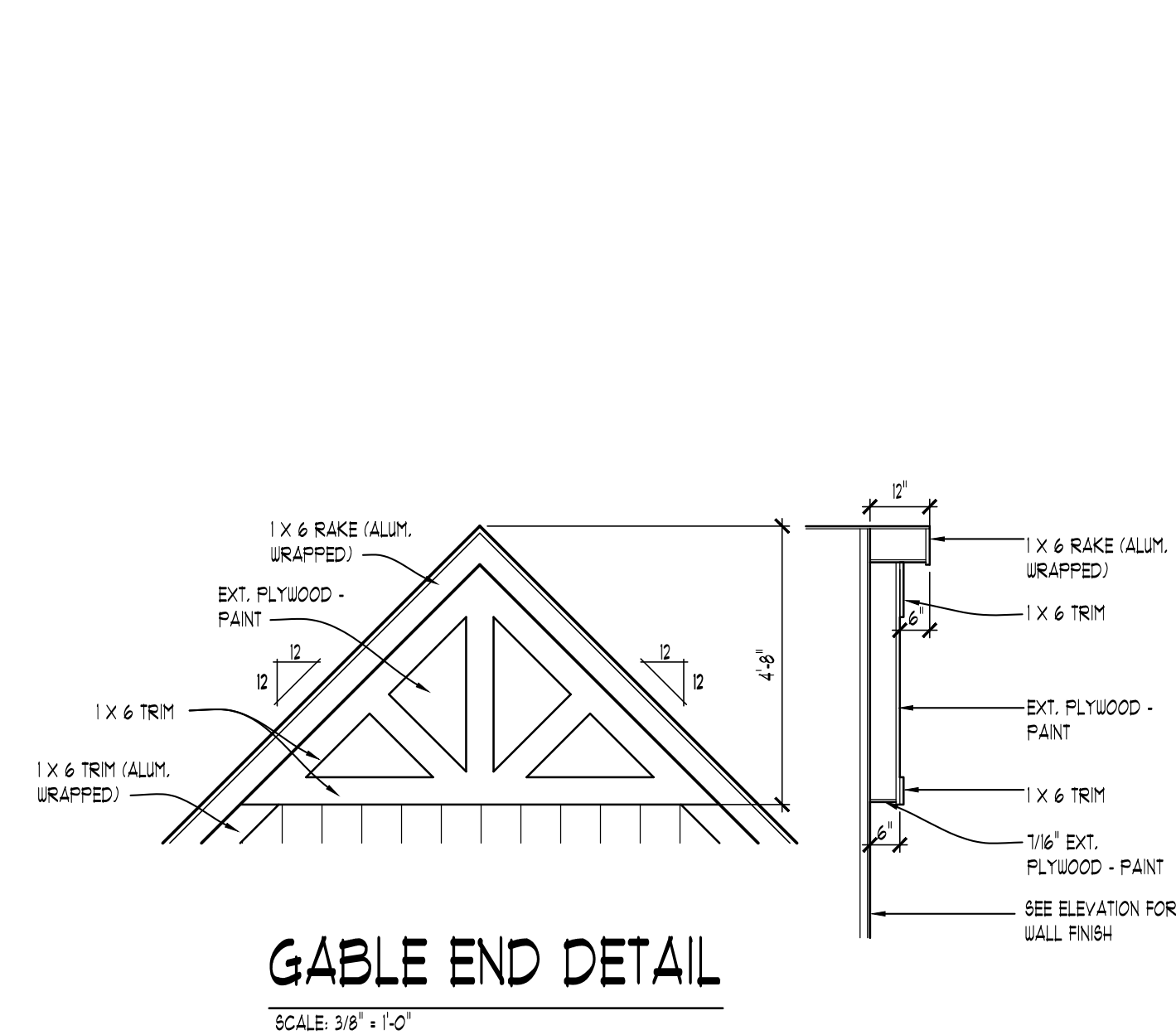
OVERHANG DIMENSIONS (O.H.) ARE FROM SHEATHING U.N.O.

## TYPICAL WINDOW DESIGNATION

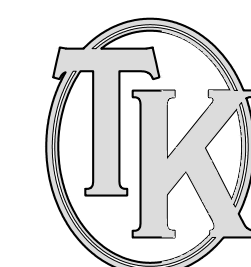
NOTE:  
GENERAL REFERENCE FOR  
ROUGH OPENING SIZES  
ONLY. CONSULT WITH  
WINDOW MANUFACTURER  
FOR EXACT WINDOW SIZES  
& REQUIREMENTS.

NOTE:  
ALL CASEMENT VENTING TO  
BE VERIFIED BY BUILDER/  
HOMEOWNER PRIOR TO  
ORDERING WINDOWS

NOTE:  
ALL WINDOW SILLS OVER 6'-0" ABOVE EXTERIOR GRADE OR  
SURFACE BELOW TO BE MINIMUM 24" ABOVE FINISHED FLOOR  
OR HAVE SASH LIMITERS PER CODE REQUIREMENTS



7-9-25



DESIGN  
CREATIVE COLLABORATIVE

WWW.TKHOMEDESIGN.COM

26030 PONTIAC TRAIL  
SOUTH LYON, MI 48178  
PHONE: (248)-446-1960  
FAX: (248)-446-1961

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REPORTED TO THE DESIGNER WITHIN 30 DAYS OF THE DATE OF  
CALL AND NO AT-RISK OF 15 DAYS PRIOR TO ANY REVISION  
CONSTRUCTION TO THE DESIGNER'S RESPONSIBILITY OF THE PROJECT.

CLIENT / PROJECT  
ELEVATE LAND  
HOLDINGS AT  
THE CROSSLAND TRAIL  
LAKELAND TRAIL  
8-UNIT TWP.  
HAMBURG TWP.  
LIVINGSTON COUNTY, MI

JOB No. 24-201  
DRAWN: AG  
CHECKED: BF  
FRAMED: BF  
FINAL 7-9-25

SCALE:  
PER PLAN

SHEET #  
A4

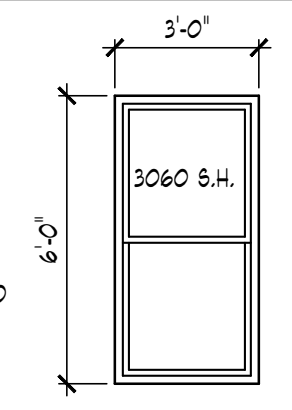


## ELEVATION NOTES

- ALL ROOF SADDLES TO BE PLYWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
- PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS.
- METAL FLASHING AS REQUIRED BY CODE.
- PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

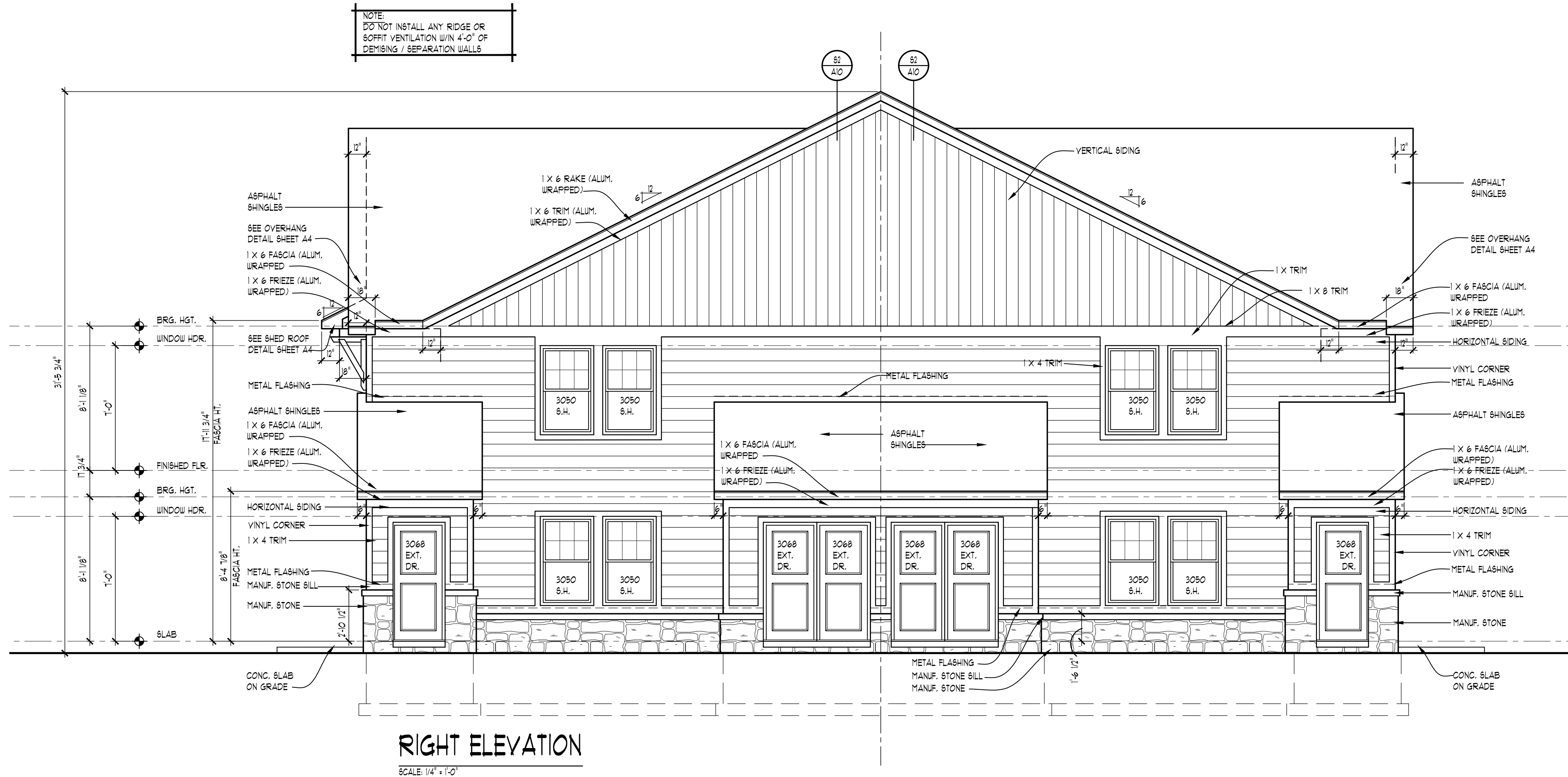
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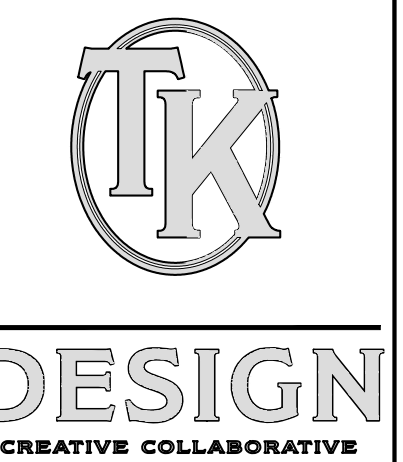


NOTE:  
ALL WINDOW BILLS OVER 6'-0" ABOVE EXTERIOR GRADE OR  
SURFACE BELOW TO BE MINIMUM 24" ABOVE FINISHED FLOOR  
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7-9-25



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CONSTRUCTION TO THIS DRAWING SHALL BE RESPONSIBLE TO THE DESIGNER. ANY CHANGES SHALL BE  
REPORTED TO THE DESIGNER IN WRITING. ANY CHANGES  
CALL MEASUREMENTS TO THE DIMENSIONS OF THE DRAWING.

CLIENT / PROJECT  
ELEVATE LAND  
HOLDINGS  
THE CROSSINGS AT  
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8-UNIT TWP.  
HAMBURG TWP.  
LIVINGSTON  
COUNTY, MI

JOB No. 24-201  
DRAWN: AG  
CHECKED: BF  
FRAMED: BF  
FINAL 7-9-25

SCALE:  
PER PLAN

SHEET #  
A5

The map shows a street grid with Michigan 36 running horizontally at the top. Washington St runs vertically on the left side. Hamburg Rd / E runs horizontally across the middle. A shaded rectangular area labeled 'SITE' is located on the east side of Washington St, south of Hamburg Rd / E. A north arrow points towards the top right. A scale bar is located at the bottom left, labeled 'SCALE NOT TO SCALE'.



THE FOLLOWING BUILDING COMPONENTS SHALL BE SUBMITTED SEPARATELY BY OTHERS:

1. FIRE SUPPRESSION AND COMPONENTS

# PLAN DRAWING INDEX

ARCHITECTURAL BUILDING COMPOSITION			
COVER	CODE DATA / SITE LOCATION MAP / UNIT S.F. CHART	A1	154 FT. - 16-UNIT (LEFT QUAD) FOUNDATION PLAN
		A1.1	154 FT. - 16-UNIT (RIGHT QUAD) FOUNDATION PLAN
ECA1	ENERGY NOTES & DETAILS	A2	154 FT. - 16-UNIT (LEFT QUAD) FIRST FLOOR PLAN
ECA2	THERMAL ENVELOPE PLANS FOUNDATION & FIRST FLOOR	A2.1	154 FT. - 16-UNIT (RIGHT QUAD) FIRST FLOOR PLAN
ECA3	THERMAL ENVELOPE PLANS SECOND FLOOR	A3	154 FT. - 16-UNIT (LEFT QUAD) SECOND FLOOR PLAN
ECA4	THERMAL ENVELOPE ELEVATIONS	A3.1	154 FT. - 16-UNIT (RIGHT QUAD) SECOND FLOOR PLAN
		A4	154 FT. - 16-UNIT (LEFT QUAD) FRONT & LEFT ELEVATION
GN1	GENERAL NOTES	A4.1	154 FT. - 16-UNIT (RIGHT QUAD) FRONT & LEFT ELEVATION
GN2	GENERAL NOTES & DETAILS	A5	154 FT. - 16-UNIT (LEFT QUAD) RIGHT & REAR ELEVATION
GN3	FIRE RATED WALL KEY	A5.1	154 FT. - 16-UNIT (RIGHT QUAD) RIGHT & REAR ELEVATION
GN4	EGRESS PLAN	A6	BUILDING SECTION
GN5	ROOF PLAN AND DETAILS	A7	BUILDING SECTION
GN6	ACCESSIBILITY NOTES AND DETAILS	A8	WALL SECTIONS
GN1	TYPE B ACCESSIBILITY PLAN UNIT A & B	A9	BUILDING DETAILS / UL DESCRIPTIONS
GN8	TYPE B ACCESSIBILITY PLAN UNIT F	A10	DOOR & WINDOW SCHEDULE / DETAILS
BC1	BUILDING COMPILATION FOUNDATION PLAN	B1	154 FT. - 16-UNIT (LEFT QUAD) FOUNDATION STRUCTURE PLAN
		B1.1	154 FT. - 16-UNIT (RIGHT QUAD) FOUNDATION STRUCTURE PLAN
BC2	BUILDING COMPILATION FIRST / SECOND FLOOR PLAN	B2	154 FT. - 16-UNIT (LEFT QUAD) FIRST FLOOR STRUCTURE PLAN
		B2.1	154 FT. - 16-UNIT (RIGHT QUAD) FIRST FLOOR STRUCTURE PLAN
BC3	BUILDING COMPILATION ELEVATIONS	B3	154 FT. - 16-UNIT (LEFT QUAD) SECOND FLOOR STRUCTURE PLAN
		B3.1	154 FT. - 16-UNIT (RIGHT QUAD) SECOND FLOOR STRUCTURE PLAN

BED / BATH CONFIGURATION RECAP		
QUANTITY	CONFIGURATION	
	BED	BATH
10	1	1
4	2	2
2	3	2

PLUMBING FIXTURES:							
UNIT IDENTITY	QUANTITY	STANDARD FIXTURES					
		BATHROOMS			KITCHEN	DISHWASHER	WASHER /DRYER
		SINK	TOILET	TUB/SHOWER	SINK		
UNIT A - INT	2	4	4	4	2	2	2
UNIT B	2	2	2	2	2	2	2
UNIT B - INT	3	3	3	3	3	3	3
UNIT C - INT	2	4	4	4	2	2	2
UNIT D	2	2	2	2	2	2	2
UNIT D - INT	3	3	3	3	3	3	3
UNIT E	1	3	2	2	1	1	1
UNIT F	1	3	2	2	1	1	1
BLDG TOTAL =		24	24	24	16	16	16

UNIT SQUARE FOOTAGE						
	UNIT IDENTITY	CONFIGURATION		SQ. F T.	QUANTITY	TOTAL UNIT S.F.
		BED	BATH			
FIRST FLOOR	UNIT A - INT	2	2	1030	2	2160
	UNIT B	1	1	1111	2	1554
	UNIT B - INT	1	1	1113	3	2319
	UNIT E	3	2	1431	1	1431
	RISER / MECH. ROOM				1	71
SECOND FLOOR	AC				8	174
	STAIR				8	452
	UNIT C - INT	2	2	1038	2	2116
	UNIT D	1	1	146	2	1432
	UNIT D - INT	1	1	141	3	2223
	UNIT F	3	2	1393	1	1393
	AC				8	156
STOR.				8	125	
TOTAL BLDG S.F.						15,752



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FAX: (248)-446-1961

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 -CONTRACTOR TO FIELD VERIFY ALL DRAWING ASPECTS BEFORE  
 CONSTRUCTION. DISCREPANCIES AND DESIGN CHANGES SHALL BE  
 REPORTED TO THE DESIGNER IN WRITTEN FORM IMMEDIATELY  
 -CALL MISS DIG AT 680-482-7271 3 DAYS PRIOR TO ANY EXCAVATION  
 -CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE PERMIT HOLDER

CLIENT / PROJECT  
ELEVATE LAND  
HOLDINGS  
THE CROSSINGS AT  
LAKELAND TRAIL  
154 FT. - 16-UNIT  
HAMBURG TWP.  
LIVINGSTON  
COUNTY, MI

JOB No.	24-201-0001
DRAWN:	AG
CHECKED:	BF
FRAMED:	BF
REVIEW	5-30-25
FINAL	8-7-25

SCALE:  
PER PLAN

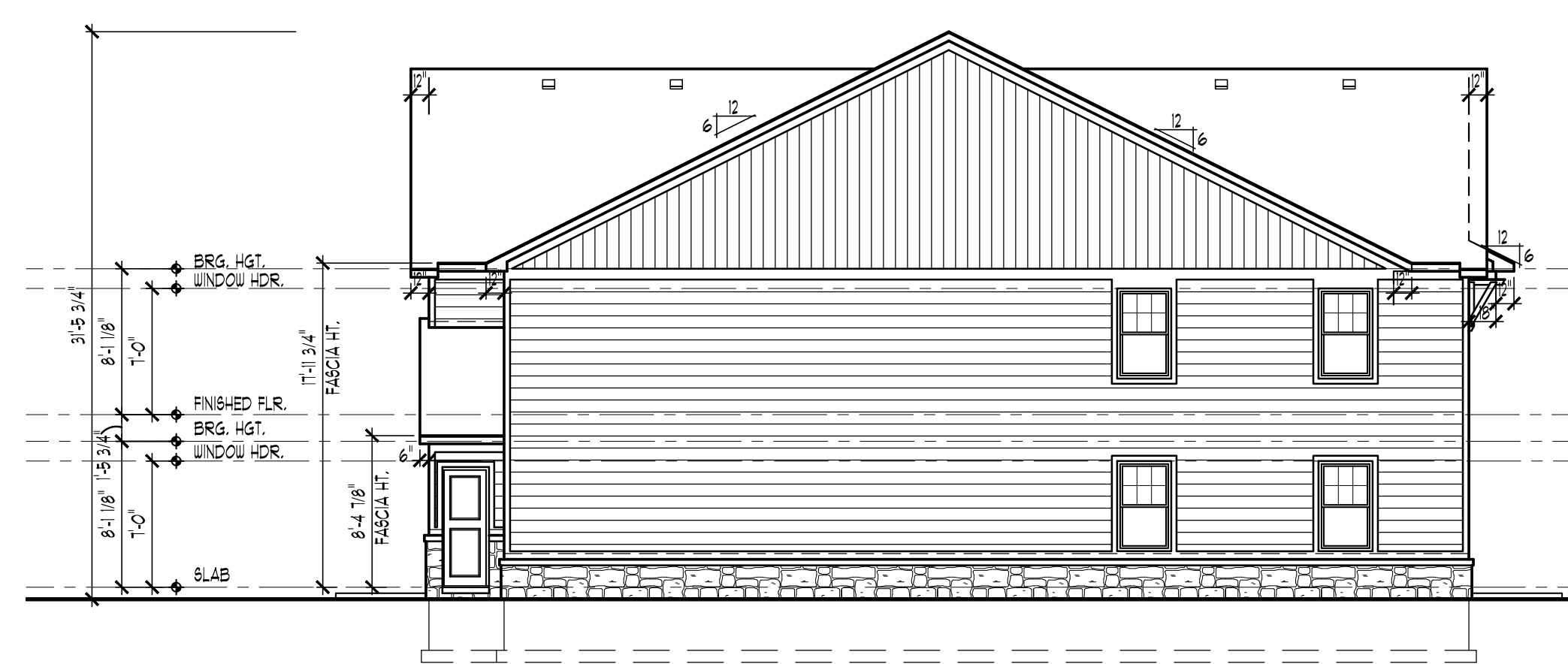
SHEET #  
COVER

INSULATION  
FOR ALL WALL ASSEMBLIES, CEILING & RIM JOISTS SEE RESCHECK OR PERFORMANCE  
COMPLIANCE REPORT FOR INSULATION SPECIFICATIONS, (REPORT BY OTHERS)



(154 FT.- 16 UNIT) REAR ELEVATION

SCALE: 1/8" = 1'-0"



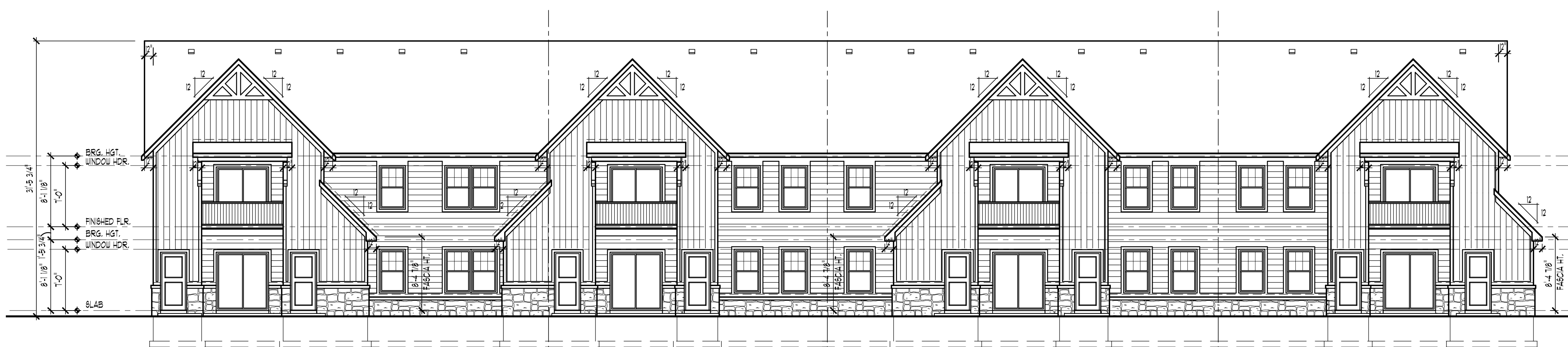
(154 FT.- 16 UNIT) LEFT ELEVATION

SCALE: 1/8" = 1'-0"



(154 FT.- 16 UNIT) RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



(154 FT.- 16 UNIT) FRONT ELEVATION

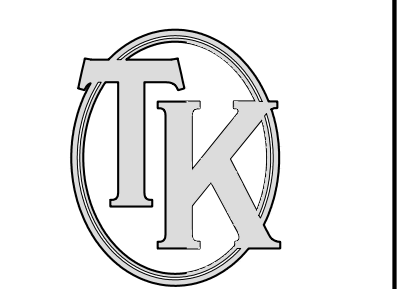
SCALE: 1/8" = 1'-0"

NOTE:  
REFER TO SHEETS A1 THRU A5.1 FOR DETAILED  
FLOOR PLANS & ELEVATIONS

BUILDING COMPILATION



8-7-25



DESIGN  
CREATIVE COLLABORATIVE

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CONSTRUCTION. USE SPACES AND DESIGN CHANGES SHALL BE  
REPORTED TO THE DESIGNER IN WRITING IMMEDIATELY.  
CALL MEASUREMENTS 1 DAY PRIOR TO ANY EXCAVATION  
CONSTRUCTION. THE SOLE RESPONSIBILITY OF THE PROFESSIONAL

CLIENT / PROJECT  
ELEVATE LAND  
HOLDINGS  
THE CROSSINGS AT  
LAKELAND TRAIL  
154 FT. - 16-UNIT  
HAMBURG TWP.  
LIVINGSTON  
COUNTY, MI

JOB No. 24-201-0001

DRAWN: AG  
CHECKED: BF  
FRAMED: BF  
REVIEW: 5-30-25  
FINAL: 8-7-25

SCALE:  
PER PLAN

SHEET #  
BC3

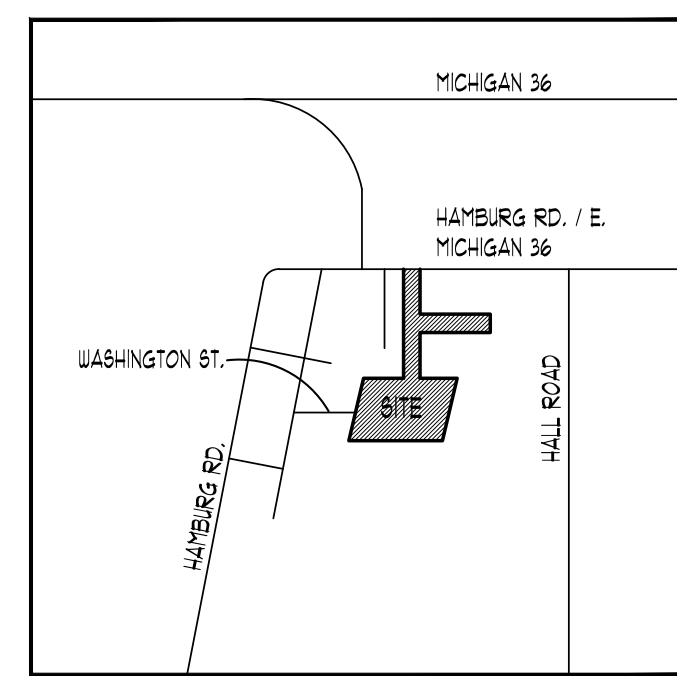


# ELEVATE LAND HOLDINGS

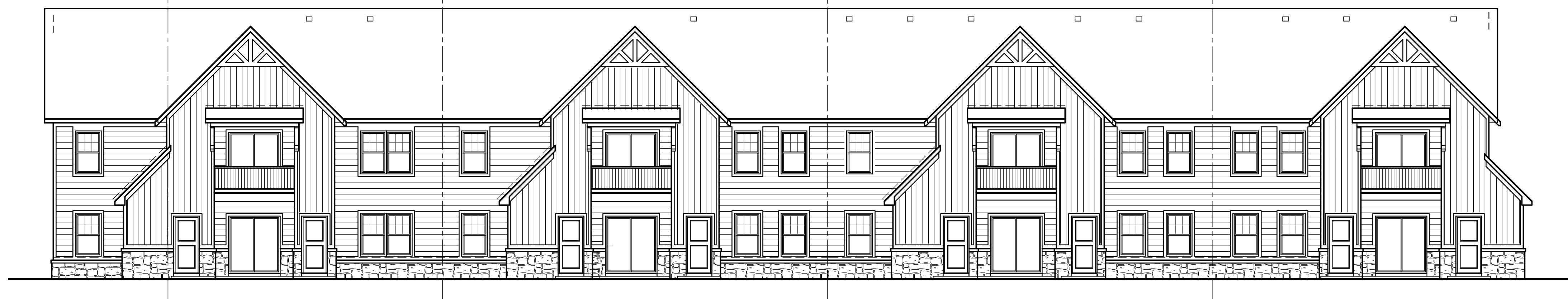
## THE CROSSINGS AT LAKELAND TRAIL

### 167 FT - 16-UNIT HAMBURG TWP.

### LIVINGSTON COUNTY, MI



SITE LOCATION MAP  
SCALE: NOT TO SCALE



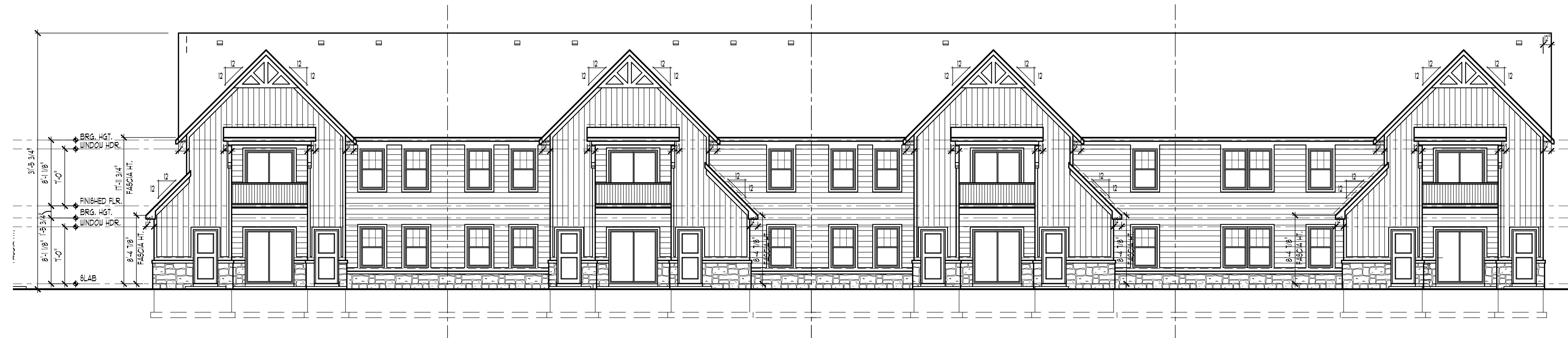
#### DEFERRED SUBMITTALS

THE FOLLOWING BUILDING COMPONENTS SHALL BE SUBMITTED SEPARATELY BY OTHERS:  
1. FIRE SUPPRESSION AND COMPONENTS

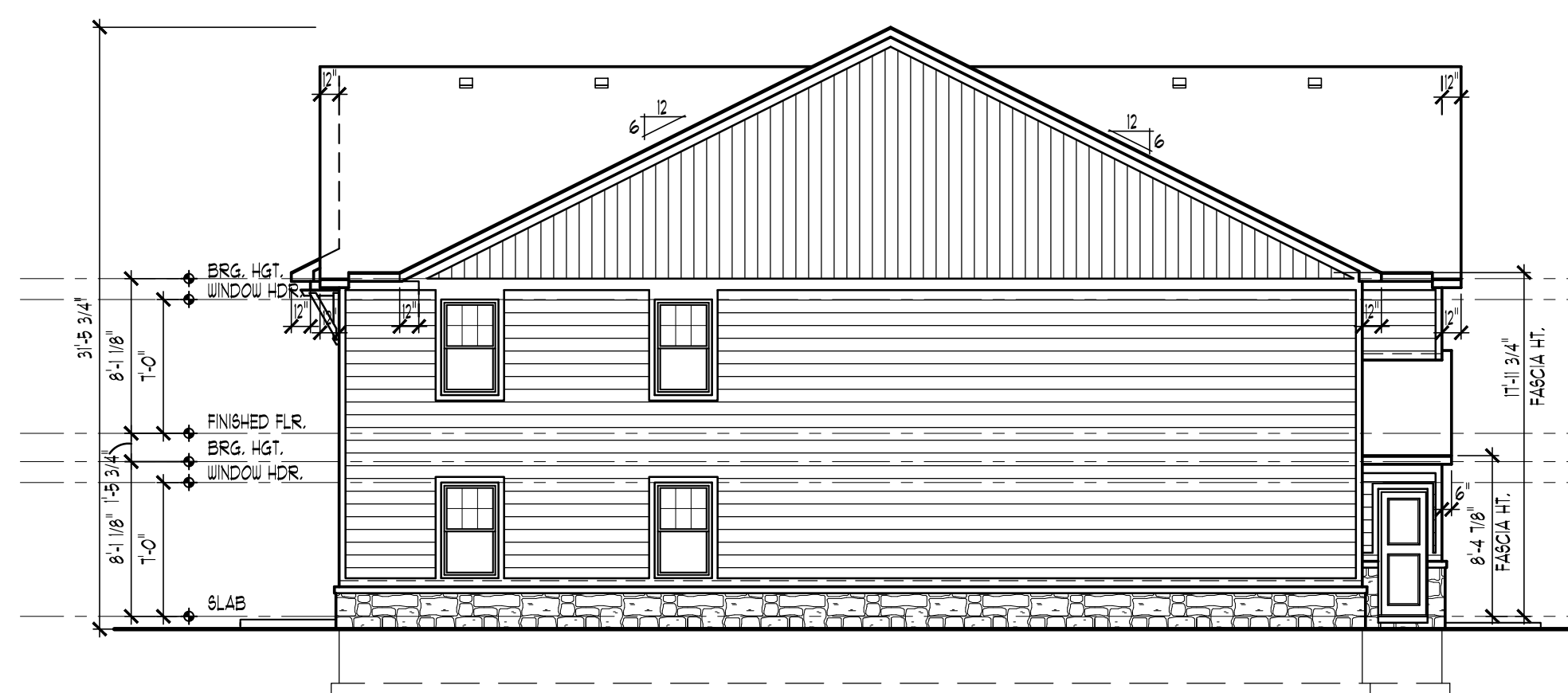
#### CODE BREAKDOWN:

CODES:	INTERNATIONAL BUILDING CODE AS AMENDED BY MICHIGAN			
	MICHIGAN BUILDING CODE (MBC) - 2021 INTERNATIONAL MECHANICAL CODE (IMC) - 2021 INTERNATIONAL PLUMBING CODE (IPC) - 2021 NFPA - 70 NATIONAL ELECTRICAL CODE (NEC) - 2023 MICHIGAN ENERGY CODE - 2021 ADA STANDARDS 2010 FAIR HOUSING ACT DESIGN MANUAL			
SCOPE:	CONSTRUCTION DOCUMENT SET FOR A 8 UNIT APARTMENT BUILDING.			
ZONING:	GRUD			
CLIMATE ZONE (PER MEC R301.1)	5A			
ENERGY CODE - METHOD OF COMPLIANCE (PER R401.2.2)	TOTAL BUILDING PERFORMANCE OPTION. (ENERGY REPORT BY OTHER)			
OCCUPANCY CLASSIFICATION (PER MEC 310.4)	R2 RESIDENTIAL APARTMENT			
TYPE OF CONSTRUCTION (PER TABLE 601)	V B (WOOD FRAME ON CONC. SLAB)			
ACCESSIBLE DUELLING UNIT (PER 1016.2.2)	TOTAL SITE NO. UNITS PROVIDED: 208 TOTAL (4) 8 UNIT + 6 FIRST FLOOR UNITS (1) 16 UNIT + 88 FIRST FLOOR UNITS TOTAL FIRST FLOOR : 104 FIRST FLOOR TOTAL SECOND FLOOR : 104 SECOND FLOOR TYPE A : 2% X 208 = 4 UNITS TYPE B (MEC 1016.2.2 / EXCEPTION MEC 101.1.1) = 100 (ALL REMAINING FIRST FLOOR UNITS SINCE SECOND FLOOR UNITS EXEMPT PER MEC 101.1.1) (EXCEPTION - NO ELEVATOR PROVIDED) = TYPE A ACCESSIBLE UNITS SHALL BE PROVIDED IN BUILDING B & I UNDER SEPARATE SUBMITTAL =			
ALLOWABLE BUILDING HEIGHT (PER MEC 304.3)	PERMITTED: 75 FEET PROVIDED: 31 FEET + 5 3/4 INCHES			
ALLOWABLE STORES ABOVE GRADE (PER MEC 304.4)	PERMITTED: 5 STORES PROVIDED: 2 STORES			
ALLOWABLE AREA (PER MEC 306.1)	PERMITTED: 7,000 SF PROVIDED: 15,765 SF			
SPECIAL REQUIREMENTS BASED ON USE AND OCCUPANCY (PER MEC 420)	DUELLING UNIT SEPARATION: VERTICAL (PER 420.7.108 EXCEPTION #2): 1/2 HR (FRSE PARTITION) 1 HR CORRIDOR (PER 108.3 EXCEPTION #2) 1/2 HR (FRSE PARTITION) 1/2 HR HORIZONTAL (PER 420.3.11.2.4.3 EXCEPTION): 1/2 HR (FRSE PARTITION) 1 HR			
FIRE RESISTANCE RATINGS FOR BUILDING ELEMENTS (PER TABLE 601 / 109.5)	PRIMARY STRUCTURAL FRAME: REQUIRED: 0 PROVIDED: 0 BEARING WALLS: 1 HR 1 HR EXTERIOR: 1 HR 1/2 HR. SEE DUELLING UNIT SEPARATION ABOVE INTERIOR (CORRIDOR/STAIR): 0 0 NON BEARING WALLS: 0 0 FLOOR CONSTRUCTION: 0 1 HR. SEE DUELLING UNIT SEPARATION ABOVE ROOF CONSTRUCTION: 0 0			
DRAFTSTOPPING:	FLOOR: NOT REQUIRED PER MEC 718.3.2, EXCEPTION #1 ATTIC: NOT REQUIRED PER MEC 718.4.1 EXCEPTION #3			
FIRE PROTECTION (PER 420.6 & 903.3.1.2)	NFPA 13 R' SPRINKLER SYSTEM THE SPRINKLER SYSTEM IS DESIGN/BUILD BY THE CONTRACTOR			
MEANS OF EGRESS: OCCUPANT LOAD (PER TABLE 1004.1.2)	RESIDENTIAL + 200 SF GROSS FIRST FLOOR UNIT A-N: 1090 / 200 + 6 OCCUPANTS X NO. UNITS UNIT B: 1111 / 200 + 4 OCCUPANTS 2 + 2 UNIT C-N: 733 / 200 + 4 OCCUPANTS 3 + 2 UNIT E: 1431 / 200 + 7 OCCUPANTS 1 + 1 OCCUPANT LOAD : 38 OCCUPANTS SECOND FLOOR: UNIT C-N: 1062 / 200 + 6 OCCUPANTS X NO. UNITS UNIT D: 746 / 200 + 4 OCCUPANTS 2 + 2 UNIT D-N: 741 / 200 + 4 OCCUPANTS 3 + 2 UNIT F: 1998 / 200 + 7 OCCUPANTS 1 + 1 OCCUPANT LOAD : 38 OCCUPANTS TOTAL BUILDING OCCUPANT LOAD + 78 " EACH UNIT HAS PRIVATE ENTRY			
STAIR WIDTH (PER 1011.2)	REQUIRED MIN.: 36" (PER EXCEPTION #2) PROVIDED: 43" (FINISHED)			
NO. EXITS	SECOND FLOOR : 1 EXIT (PER TABLE 1006.3.3.1) GROUND FLOOR : 2 EXITS			
EXIT ACCESS TRAVEL DISTANCE (PER TABLE 1011.2)	PERMITTED: 250' PROVIDED: 63-10 (FROM UNIT C ON SECOND FLOOR)			
REQUIRED SPECIAL INSPECTIONS & TESTS (PER 7105.1)	NONE REQUIRED TOS.1 SPECIAL CASED : NOT APPLICABLE TOS.3 CONCRETE CONSTRUCTION : NOT APPLICABLE TOS.3 CONCRETE CONSTRUCTION : EXCEPTION 1 - BLDG. IS 3 STORES OR LESS TOS.4 MASONRY CONSTRUCTION : NOT APPLICABLE. (STONE VENEER IS MAJOR STONE) TOS.5 WOOD CONSTRUCTION : PREFAB STRUCTURAL LGA BEARING OR LATERAL LOAD-RESISTING MEMBERS OR ASSEMBLED COMPONENTS SHALL BE FABRICATED IN AN APPROVED FABRICATOR SHOP. FABRICATOR SHALL PROVIDE CERTIFICATE OF COMPLIANCE TO OWNER/OWNER REP FOR SUBMITTAL TO CITY PER SECTION 104.5. TOS.6 SOIL REPORT: SUBMITTAL BY OTHER			

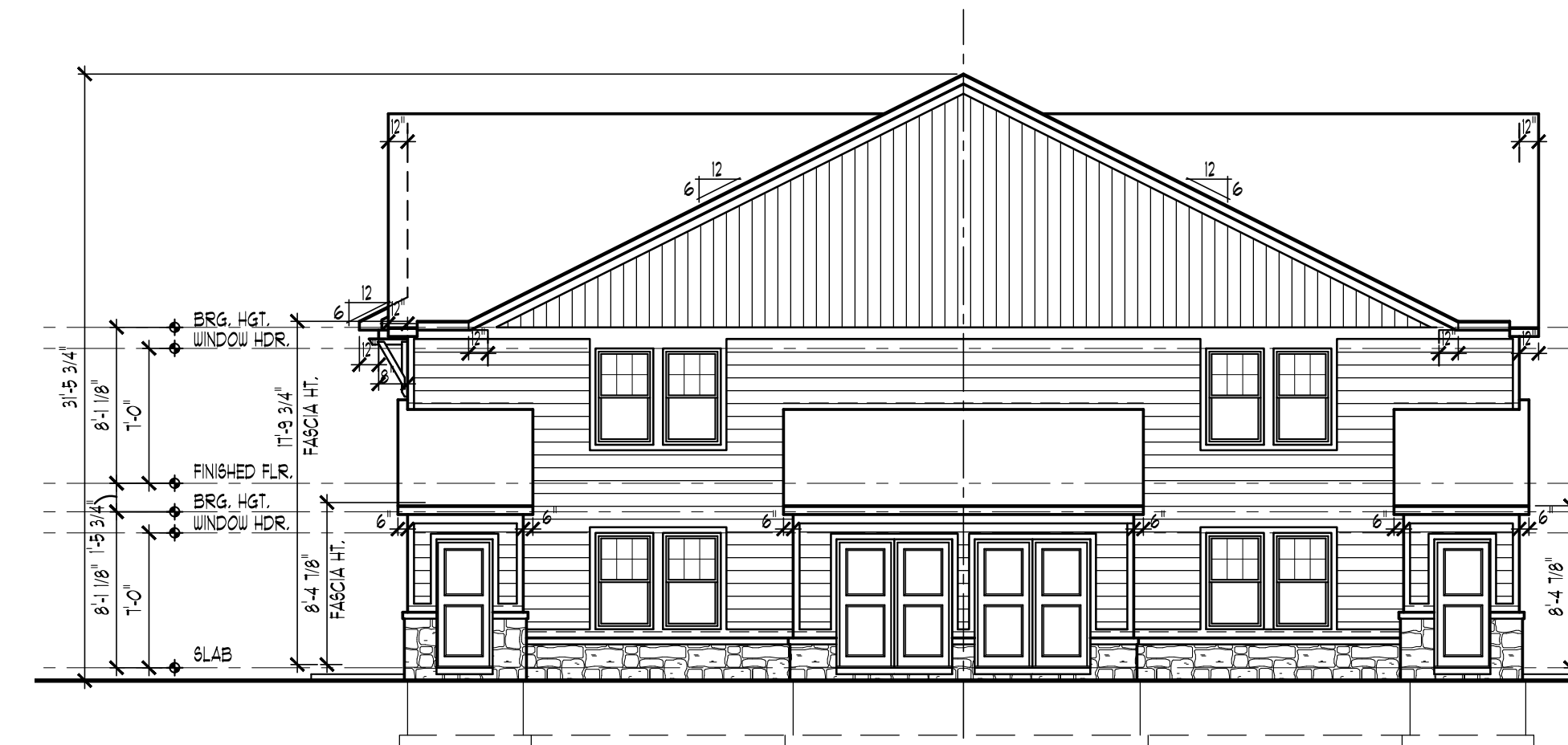
INSULATION  
FOR ALL WALL ASSEMBLIES, CEILING & RIM JOISTS SEE RESCHECK OR PERFORMANCE  
COMPLIANCE REPORT FOR INSULATION SPECIFICATIONS, (REPORT BY OTHERS)



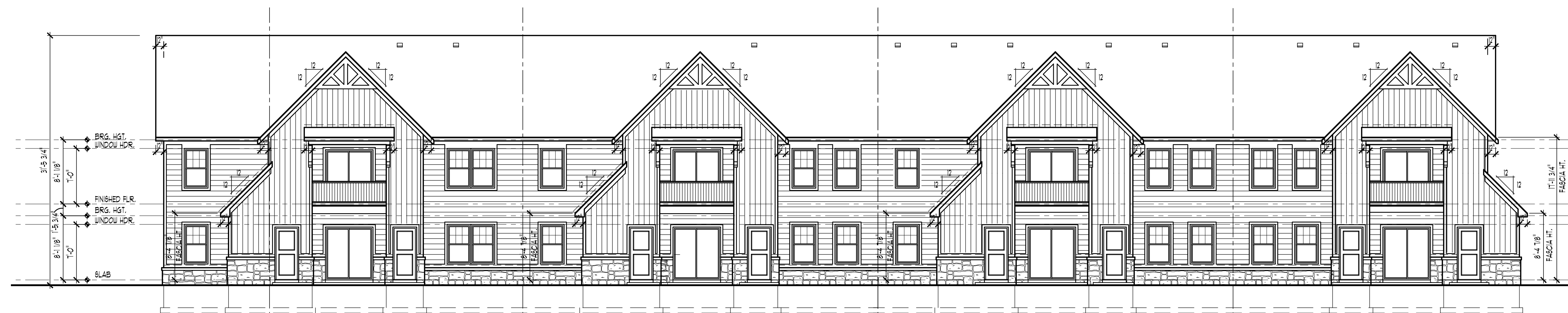
(16 UNIT) REAR ELEVATION  
SCALE 1/8" = 1'-0"



(16 UNIT) LEFT ELEVATION  
SCALE 1/8" = 1'-0"



(16 UNIT) RIGHT ELEVATION  
SCALE 1/8" = 1'-0"



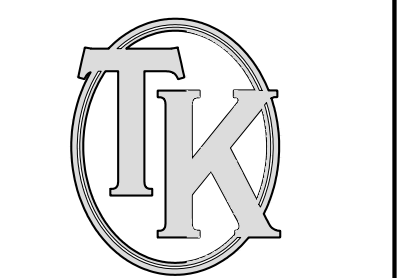
(16 UNIT) FRONT ELEVATION  
SCALE 1/8" = 1'-0"

NOTE:  
REFER TO SHEETS A1 THRU A5.1 FOR DETAILED  
FLOOR PLANS & ELEVATIONS

BUILDING COMPILATION



8-4-25



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CONSTRUCTION. USE REVISIONS AND DESIGN CHANGES SHALL BE  
REPORTED TO THE DESIGNER IN WRITING IMMEDIATELY.  
CALL AND/OR VISIT 3 DAYS PRIOR TO ANY EXCAVATION  
CONSTRUCTION. THE SOLE RESPONSIBILITY OF THE PROJECT OWNER.

CLIENT / PROJECT  
ELEVATE LAND  
HOLDINGS  
THE CROSSINGS AT  
LAKELAND TRAIL  
167 FT - 16-UNIT  
HAMBURG TWP.  
LIVINGSTON  
COUNTY, MI

JOB No. 24-201-0003

DRAWN: AG  
CHECKED: BF  
FRAMED: BF  
REVIEW: 6-24-25  
FINAL: 8-4-25  
REVISED:

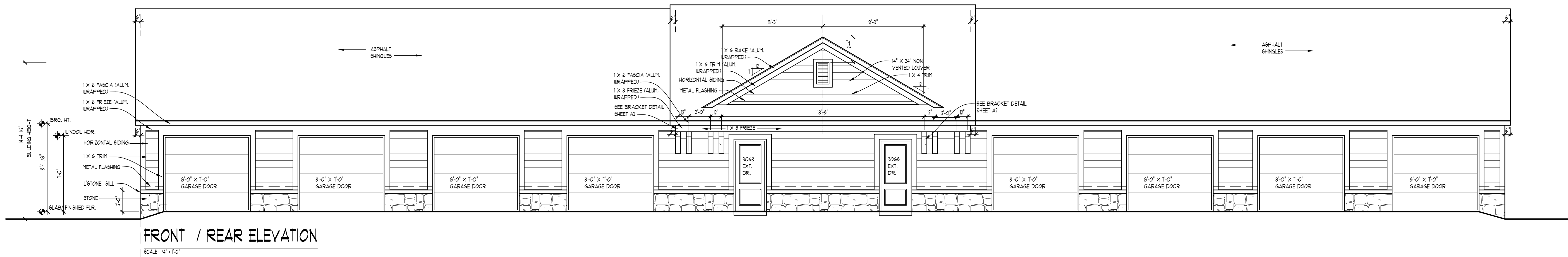
SCALE:  
PER PLAN

SHEET #  
BC3



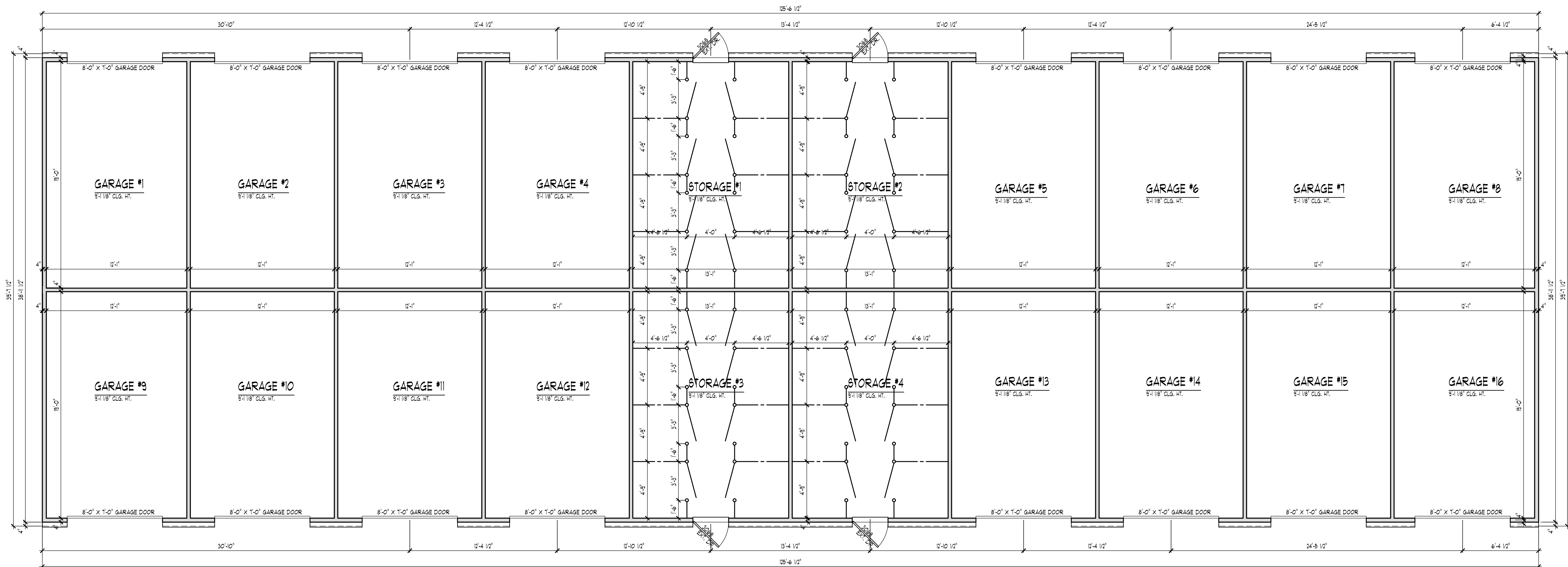
LEFT / RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



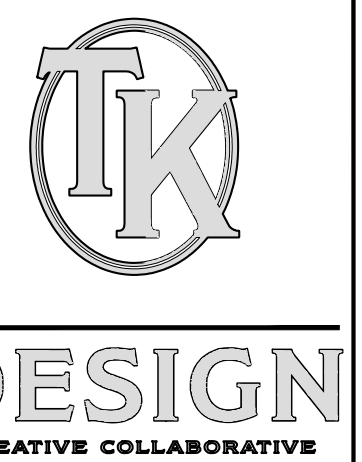
FRONT / REAR ELEVATION

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



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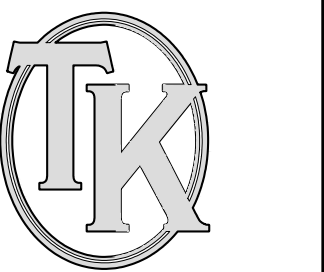
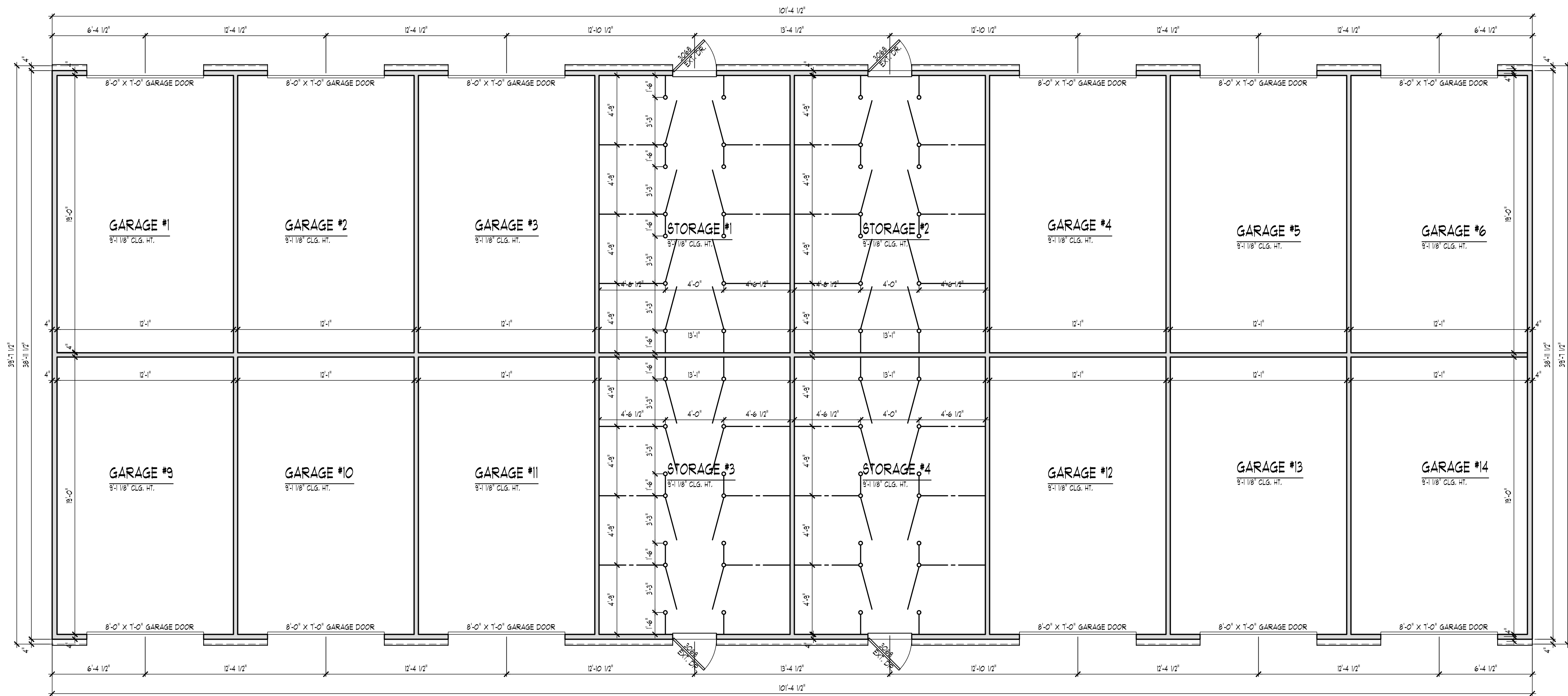
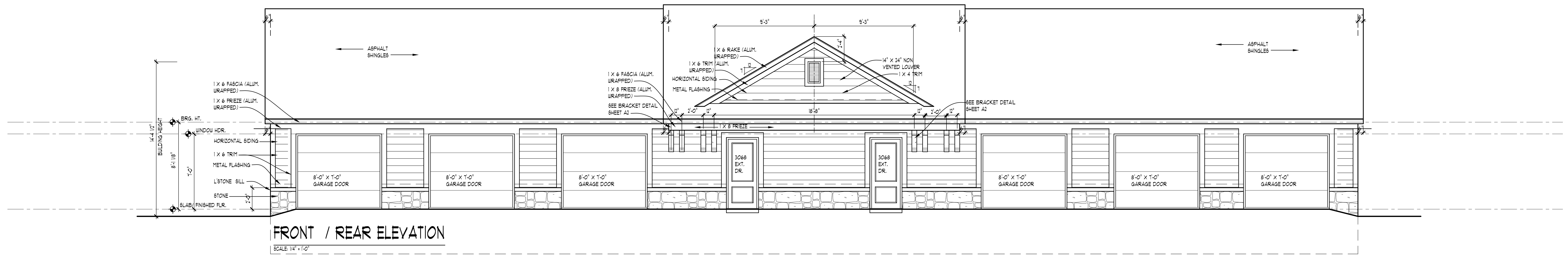
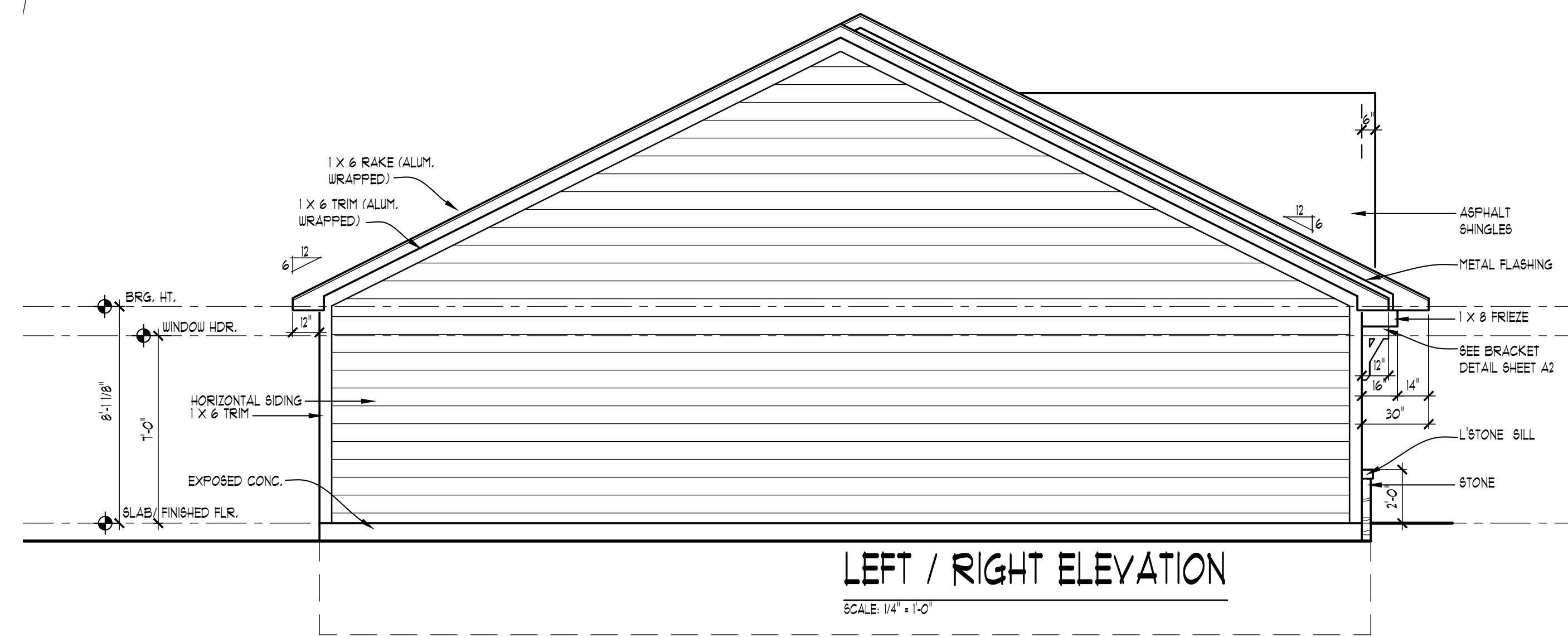
CLIENT / PROJECT  
ELEVATE LAND HOLDINGS  
THE CROSSINGS AT LAKELAND TRAIL  
128 FT GARAGE - STORAGE BLDG. # 1  
HAMBURG TWP., LIVINGSTON COUNTY, MI

JOB No. 24-201-0004  
DRAWN: AG  
CHECKED: -  
FRAMED: -  
REVIEW: 9-19-25  
FINAL: -  
REVISION: -

SCALE:  
PER PLAN

SHEET #  
COVER





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CONSTRUCTION TO THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.  
CONSTRUCTION TO THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CLIENT / PROJECT  
ELEVATE LAND HOLDINGS  
THE CROSSINGS AT LAKELAND TRAIL  
101 FT GARAGE - STORAGE BLDG. # 2  
HAMBURG TWP., LIVINGSTON COUNTY, MI

JOB No. 24-201-0005  
DRAWN: AG  
CHECKED: -  
FRAMED: -  
REVIEW: 9-19-25  
FINAL: -  
REVISION: -

SCALE:  
PER PLAN




SHEET #  
**COVER**

This architectural elevation drawing shows a two-story house with a symmetrical design. The central entrance features a small arched portico supported by columns. To the left of the entrance is a large window with a decorative pediment above it. To the right is a large window with a decorative pediment above it. The house has a combination of stone masonry on the lower level and horizontal siding on the upper level. The roof is gabled with a central dormer window. The drawing is a black and white line art representation.

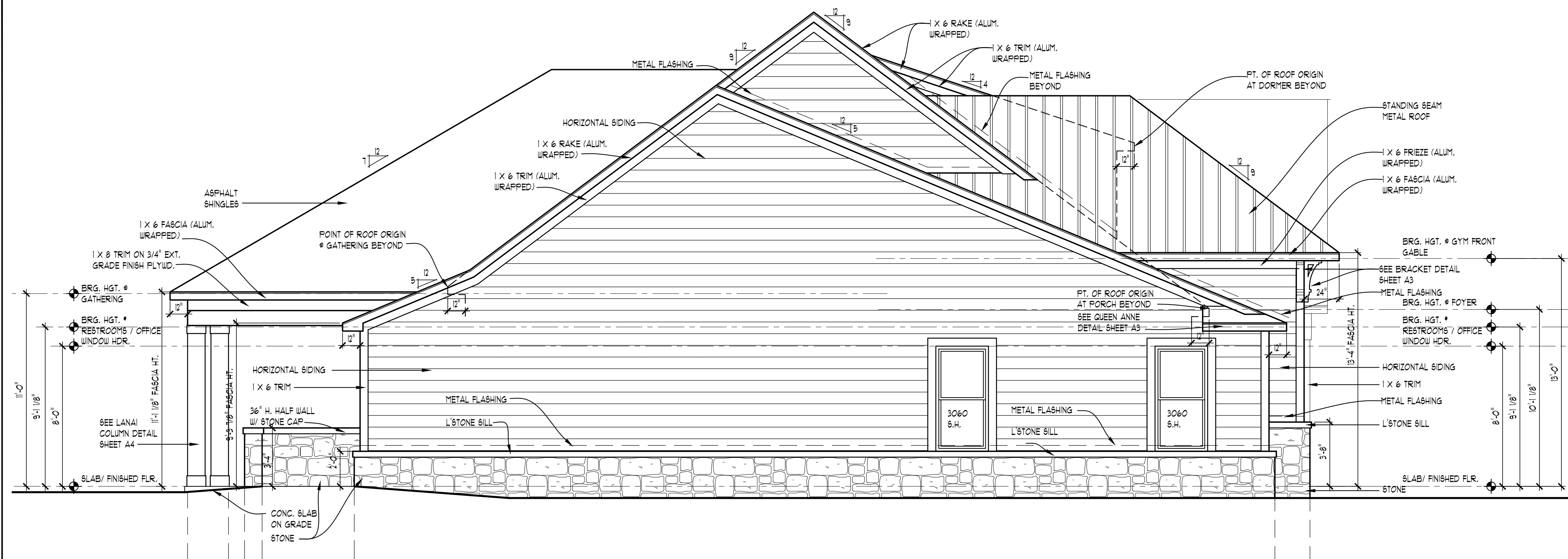


<b>DEFERRED SUBMITTALS</b>
THE FOLLOWING BUILDING COMPONENTS SHALL BE SUBMITTED SEPARATELY BY OTHERS:  1. TRUSS SUBMITTAL 2. FIRE ALARM SYSTEM

## PLAN DRAWING INDEX

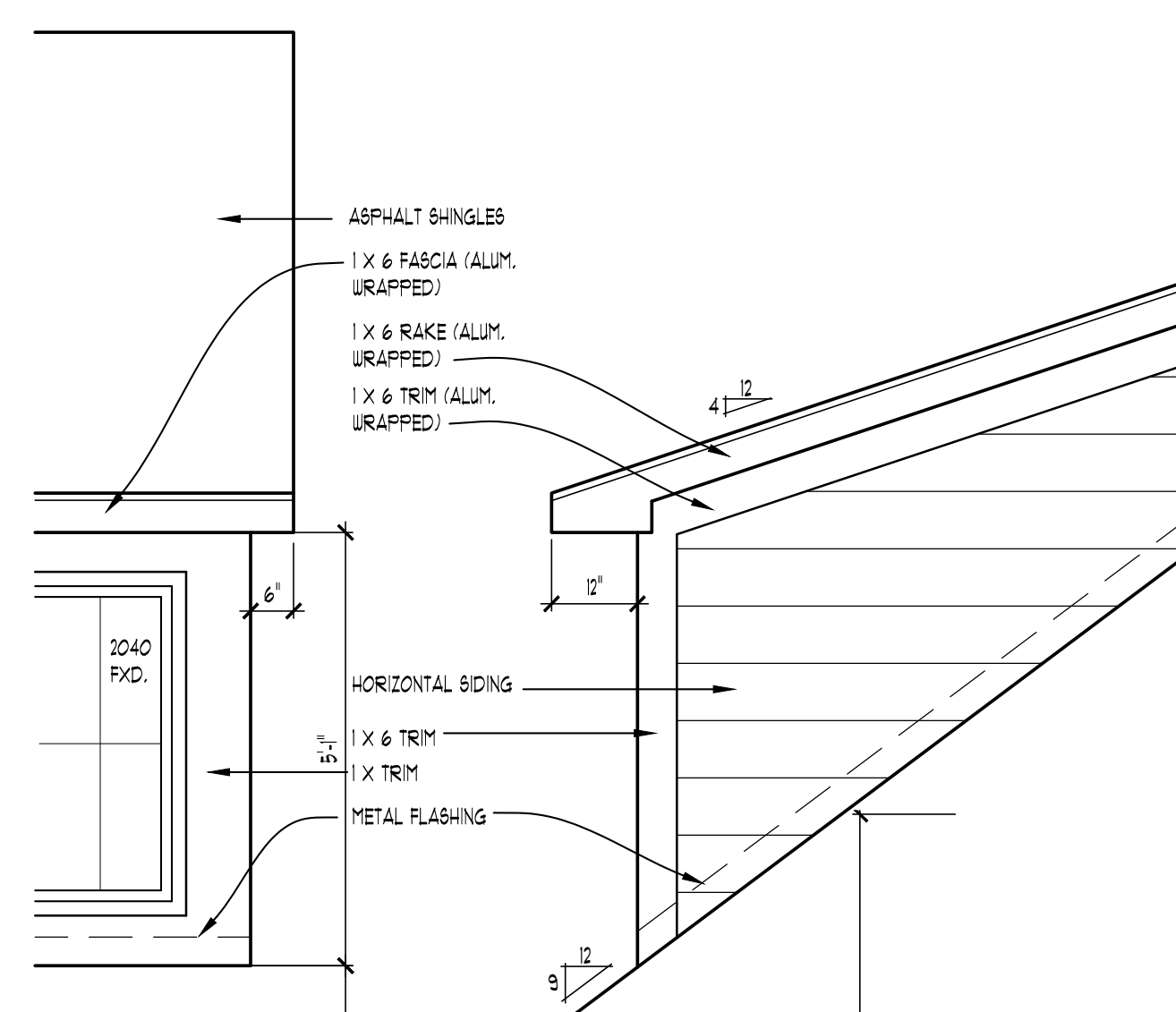
 5-20-25	
	
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CLIENT / PROJECT	ELEVATE LAND HOLDINGS
	WEST LAKE PLACE CLUBHOUSE
	TORCH LAKE CIRCLE
	SOUTH LYON, MI
JOB No.	24-200-0001
DRAWN:	AG
CHECKED:	BF
FRAMED:	BF
REVIEW	12-13-24
FINAL:	5-14-25
 REVISED REFERENCE NOTES 5-10-25	
SCALE: PER PLAN	
SHEET # COVER	





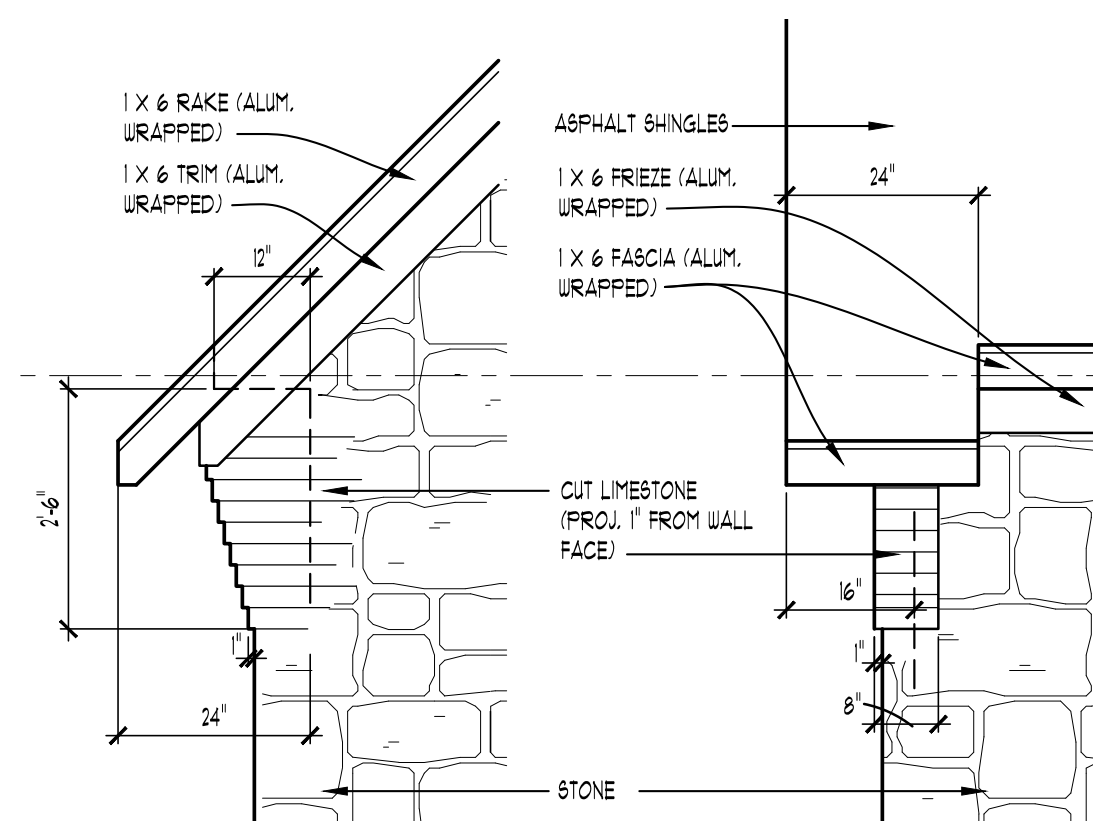
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



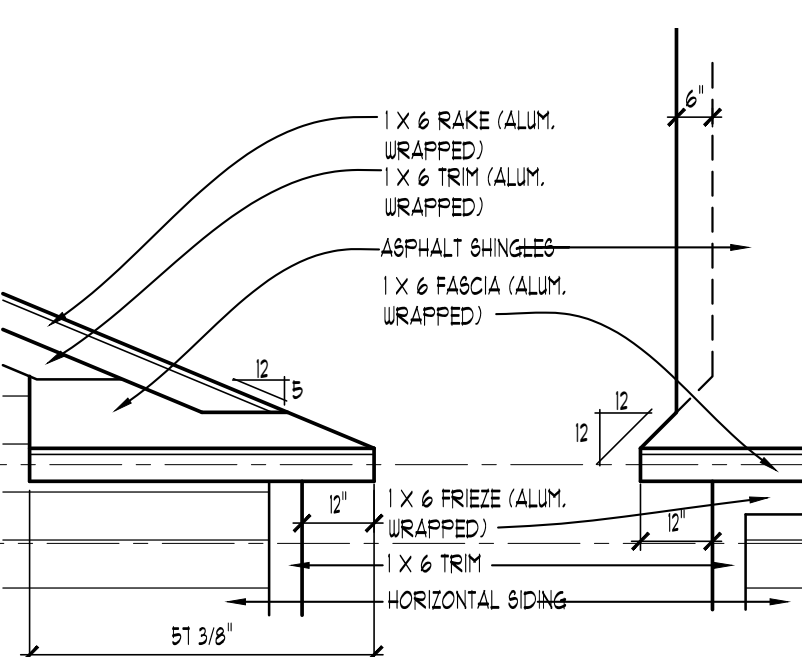
DORMER DETAIL

SCALE: 1/2" = 1'-0"



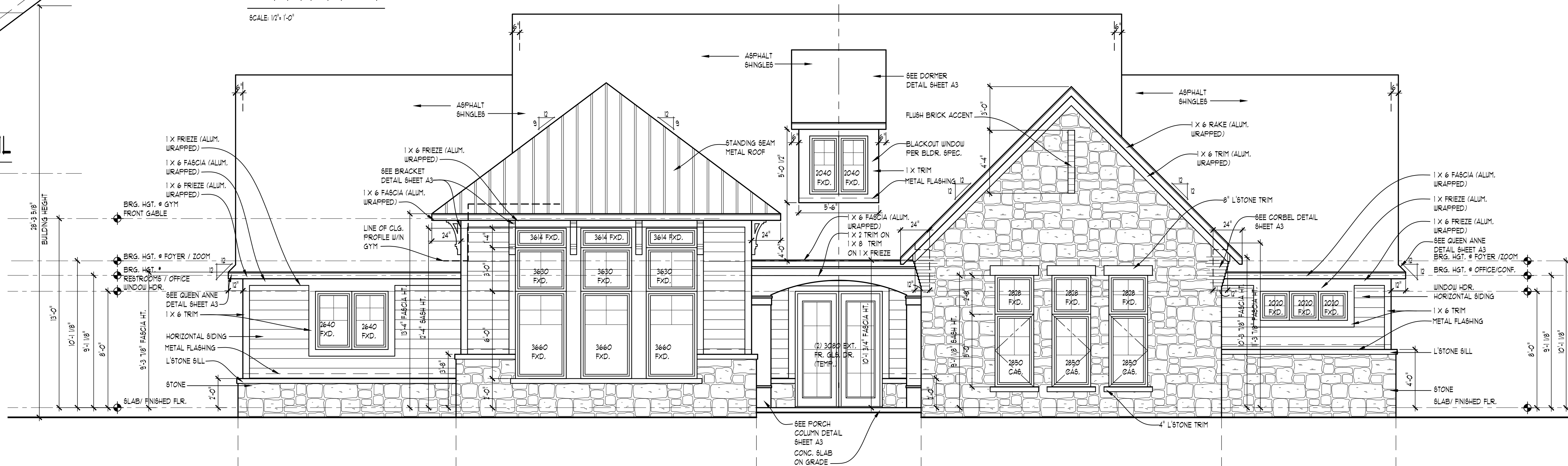
CORBEL DETAIL

SCALE: 1/2" = 1'-0"



QUEEN ANNE DETAIL

SCALE: 3/8" = 1'-0"

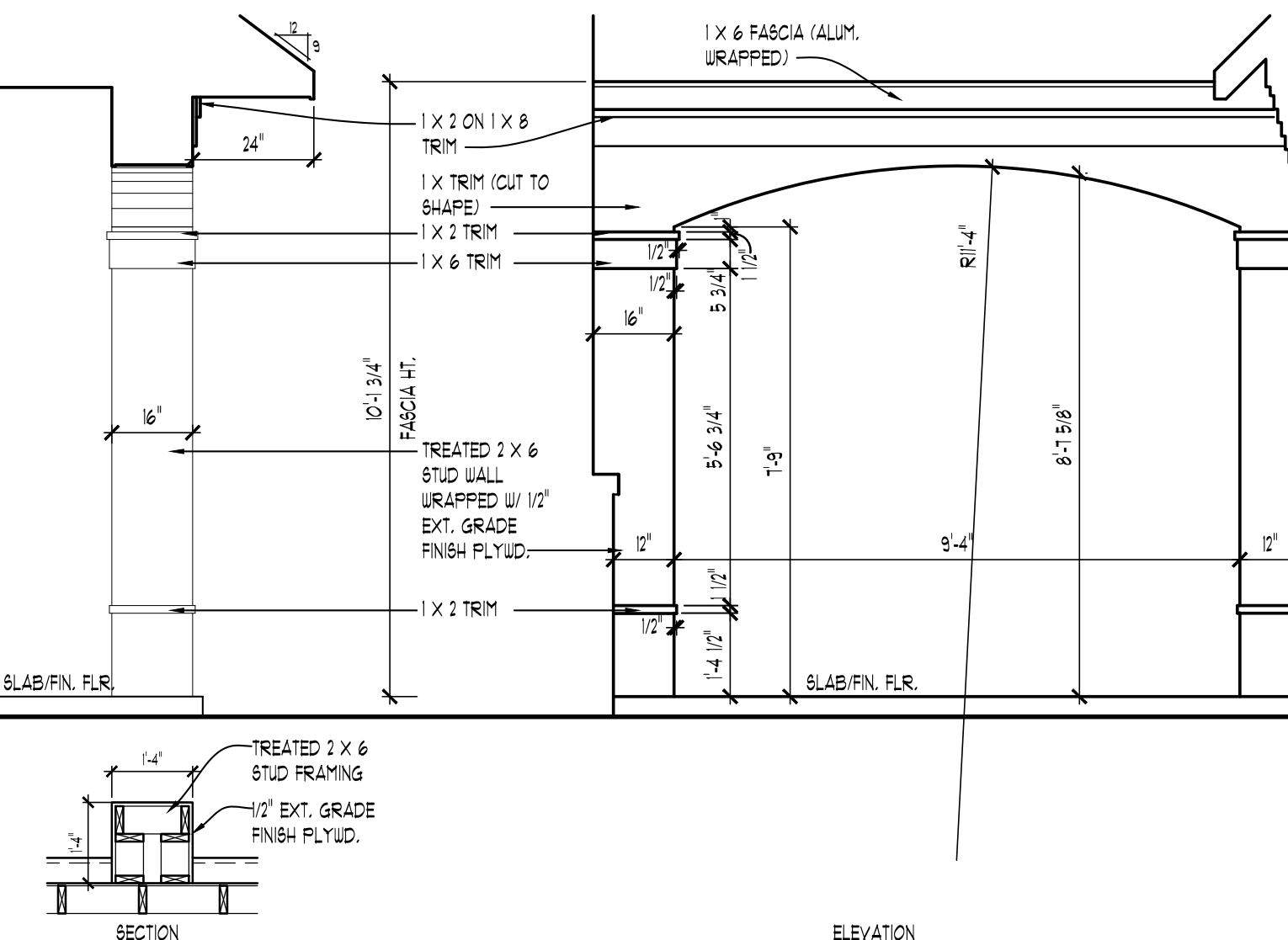


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

BRACKET DETAIL

SCALE: 1/2" = 1'-0"



PORCH COLUMN DETAIL

SCALE: 3/8" = 1'-0"

## ELEVATION NOTES

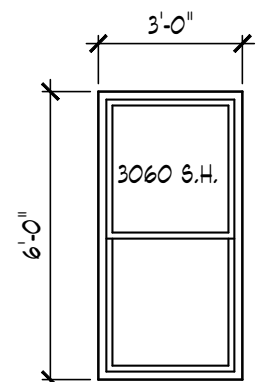
- ALL ROOF SADDLES TO BE PLYWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
- PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS
- METAL FLASHING AS REQUIRED BY CODE.
- ROOF & SOFFIT VENTS AS REQUIRED BY CODE.
- PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

## NOTE:

OVERHANG DIMENSIONS (O.H.) ARE FROM SHEATHING U.N.O.

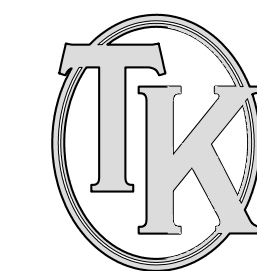
## TYPICAL WINDOW DESIGNATION

NOTE:  
GENERAL REFERENCE FOR  
ROUGH OPENING SIZES  
ONLY. CONSULT WITH  
WINDOW MANUFACTURER  
FOR EXACT WINDOW SIZES  
& REQUIREMENTS.



## NOTE:

ALL WINDOW SILLS OVER 6'-0" ABOVE EXTERIOR GRADE OR SURFACE BELOW TO BE MINIMUM 24" ABOVE FINISHED FLOOR OR HAVE SASH LIMITERS PER CODE REQUIREMENTS



**DESIGN**  
CREATIVE COLLABORATIVE

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CONTRACTOR TO FIELD VERIFY ALL DRAWING APPLICABLE BEFORE  
CONSTRUCTION. DISCREPANCIES AND DESIGN CHANGES SHALL BE  
REPORTED TO THE DESIGNER IN WRITING FROM IMMEDIATELY  
CALL 482.927.33 DATE PRIOR TO ANY EXCAVATION  
CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE DESIGNER

CLIENT / PROJECT  
ELEVATE LAND  
HOLDINGS  
WEST LAKE PLACE  
CLUBHOUSE  
TORCH LAKE CIRCLE  
SOUTH LYON, MI

JOB No. 24-200-0001

DRAWN: AG  
CHECKED: BF  
FRAMED: BF

REVIEW 12-13-24  
FINAL: 5-14-25

△ REVISED REFERENCE NOTES  
5-20-25

SCALE:  
PER PLAN

SHEET #

A3



## ELEVATION NOTES

- ALL ROOF SADDLES TO BE PLYWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
- PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS
- METAL FLASHING AS REQUIRED BY CODE.
- ROOF & SOFFIT VENTS AS REQUIRED BY CODE.
- PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

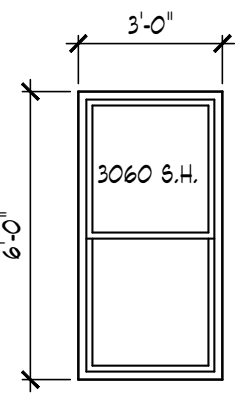
## NOTE:

OVERHANG DIMENSIONS (O.H.) ARE FROM SHEATHING U.N.O.

## TYPICAL WINDOW DESIGNATION

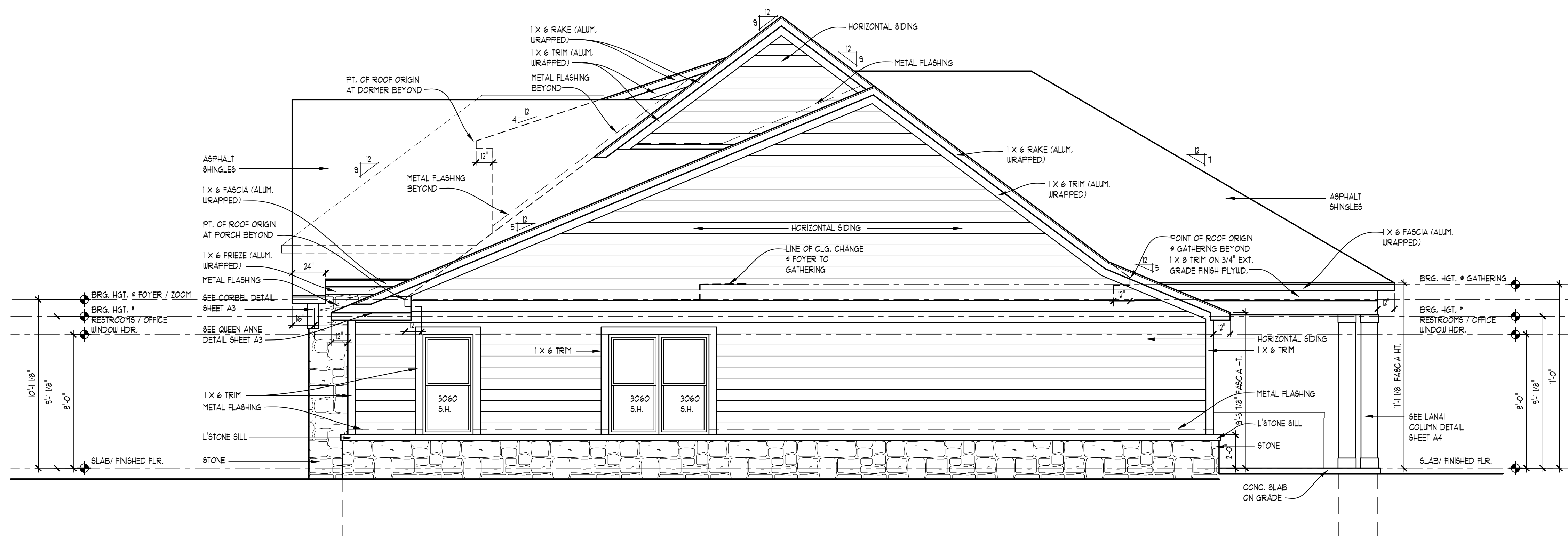
NOTE:  
GENERAL REFERENCE FOR  
ROUGH OPENING SIZES  
ONLY. CONSULT WITH  
WINDOW MANUFACTURER  
FOR EXACT WINDOW SIZES  
& REQUIREMENTS.

NOTE:  
ALL CASEMENT VENTING TO  
BE VERIFIED W/ BUILDER/  
HOMEOWNER PRIOR TO  
ORDERING WINDOWS



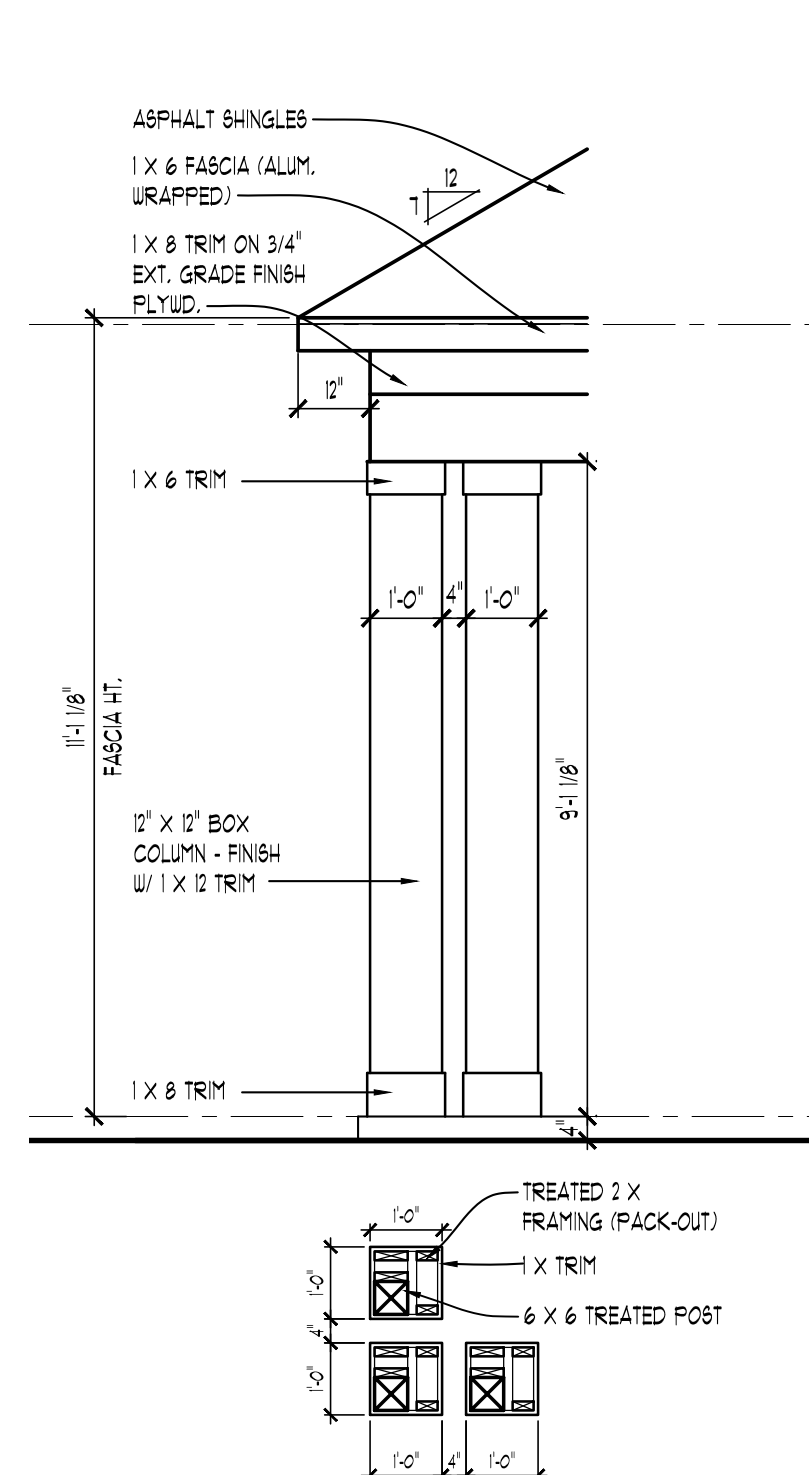
## NOTE:

ALL WINDOW SILLS OVER 6'-0" ABOVE EXTERIOR GRADE OR SURFACE BELOW TO BE MINIMUM 24" ABOVE FINISHED FLOOR OR HAVE SASH LIMITERS PER CODE REQUIREMENTS



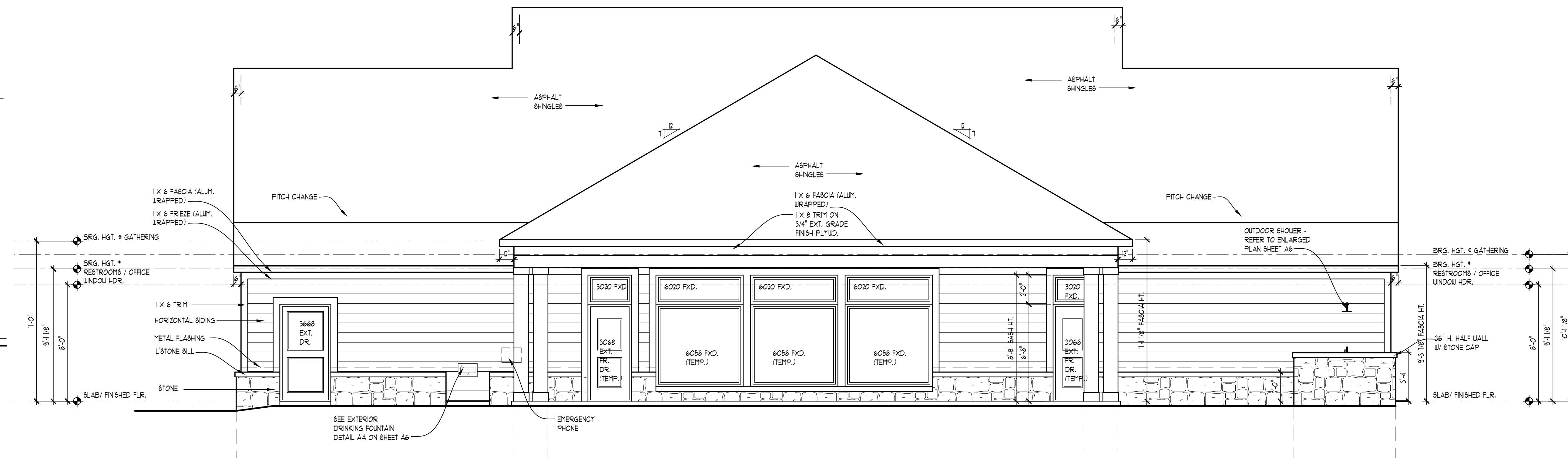
## RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



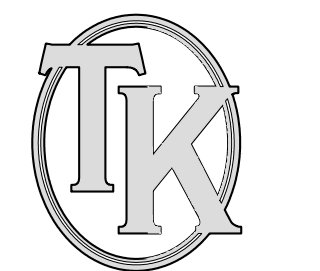
## LANAI COLUMN DETAIL

SCALE: 3/8" = 1'-0"



## REAR ELEVATION

SCALE: 1/4" = 1'-0"

DESIGN  
CREATIVE COLLABORATIVE

WWW.TKHOMEDESIGN.COM

26030 PONTIAC TRAIL,  
SOUTH LYON, MI 48178  
PHONE: (248)-446-1960  
FAX: (248)-446-1961

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DO NOT SCALE DRAWINGS. USE CALCULATED DIMENSIONS ONLY.  
CONTRACTOR TO FIELD VERIFY ALL DRAWING APPLICABLE BEFORE  
CONSTRUCTION. DISCREPANCIES AND DESIGN CHANGES SHALL BE  
REPORTED TO THE DESIGNER IN WRITING IMMEDIATELY.  
CALL PROJECT AT 480-482-2271 3 DAYS PRIOR TO ANY EXCAVATION  
CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE OWNER TO OBTAIN

CLIENT / PROJECT  
ELEVATE LAND  
HOLDINGS  
WEST LAKE PLACE  
CLUBHOUSE  
TORCH LAKE CIRCLE  
SOUTH LYON, MI

JOB No. 24-200-0001

DRAWN: AG

CHECKED: BF

FRAMED: BF

REVIEW 12-13-24

FINAL: 5-14-25

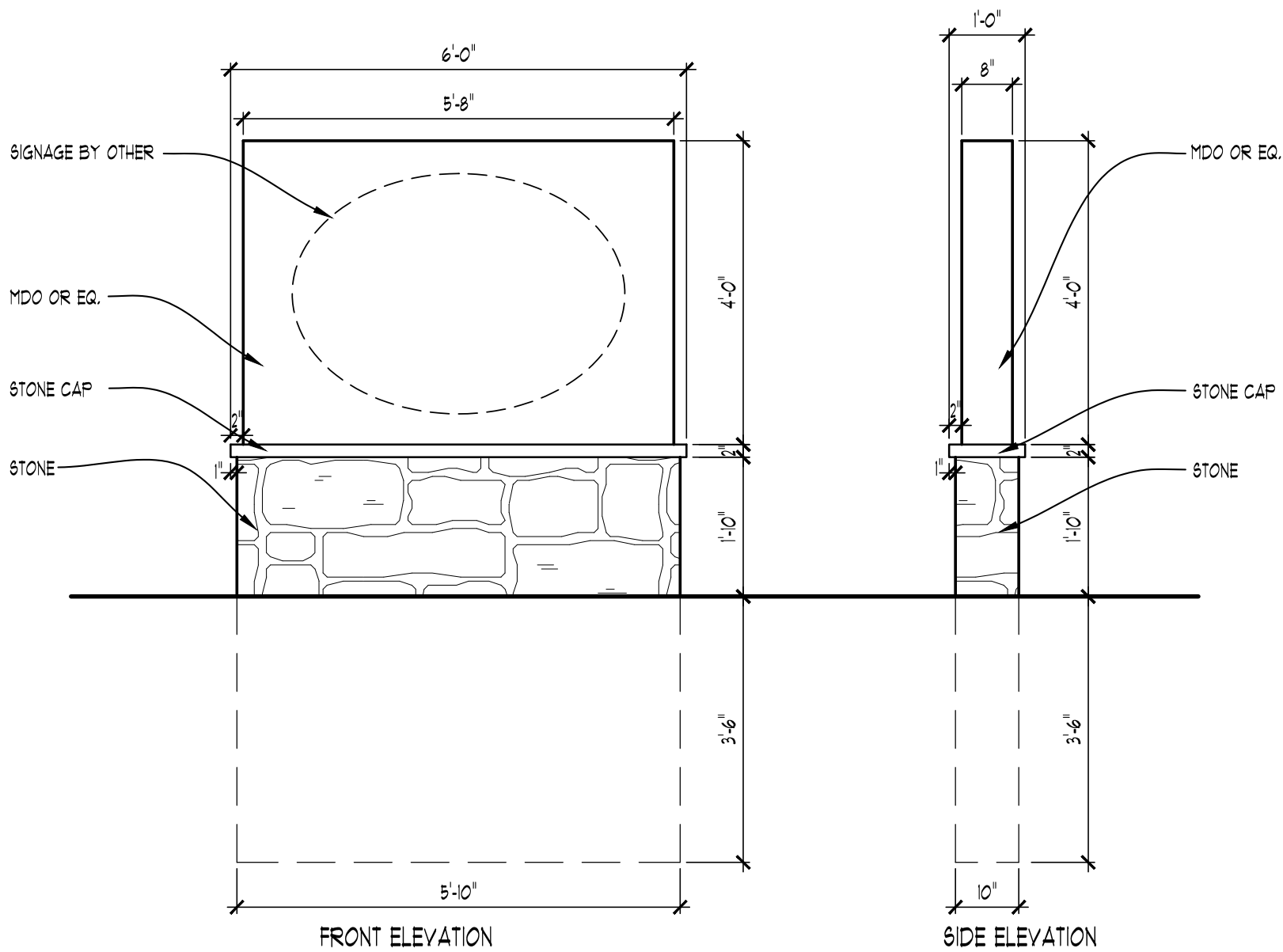
△ REVISED REFERENCE NOTES


5-20-25

SCALE:  
PER PLAN

SHEET #

A4



CLIENT / PROJECT	
	<b>TK DESIGN &amp; ASSOCIATES</b>
	<a href="http://WWW.TKHOMEDESIGN.COM">WWW.TKHOMEDESIGN.COM</a>
	26030 PONTIAC TRAIL SOUTH LYON, MI 48178 PHONE: (248)-446-1960 FAX: (248)-446-1961
<small>COPYRIGHT 2014 TK DESIGN AND ASSOCIATES -DO NOT SCALE DRAWINGS. USE CALCULATED DIMENSIONS ONLY -CONTRACTOR TO FIELD VERIFY ALL DRAWING ASPECTS BEFORE CONSTRUCTION. DISCREPANCIES AND DESIGN CHANGES SHALL BE REPORTED TO THE DESIGNER IN WRITTEN FORM IMMEDIATELY -CALL MISS DIO AT 688-482-7271 3 DAYS PRIOR TO ANY EXCAVATION -CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE PERMIT HOLDER</small>	
THE CROSSING AT LAKELANDS TRAIL HAMBURG, MI	

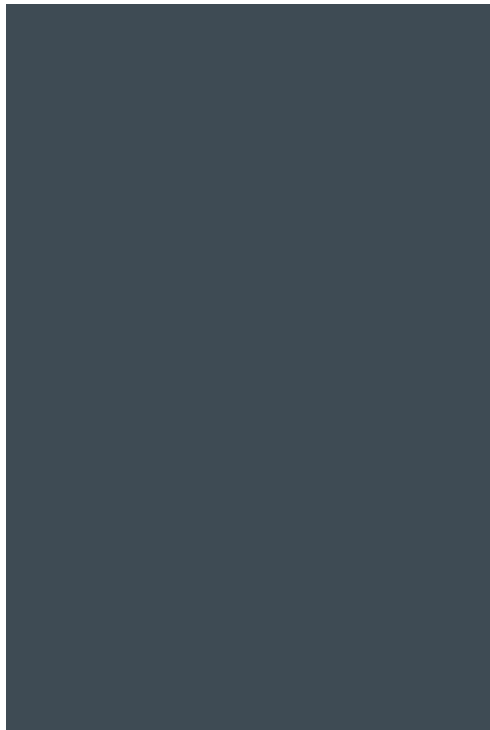
## SIGNAGE DETAIL

SCALE: 1/2" = 1'-0"





**Shingles:**  
GAF Timberline HDZ High-Definition  
Lifetime Shingles  
Color: Slate



**Door Color:**  
Sherwin-Williams  
SW7615 Sea Serpent



**Siding:**  
Certainteed Mainstreet D4/D6  
Vinyl Siding  
Color: Sterling Gray



**Stone:**  
ProVia Manufactured Stone  
Style/Color: Limestone Harbor  
*Note: This is the same stone  
on the entry/boulevard sign:*

EXTERIOR FINISHES\*

\*REFER TO ACTUAL SAMPLES – DIGITAL AND PRINTED IMAGES MAY NOT BE  
ACCURATE REPRESENTATIONS OF ACTUAL COLOR/TEXTURE OF PRODUCT



# THE PAXTON

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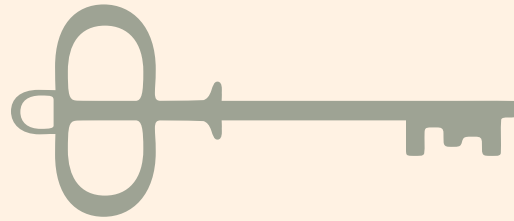
**LOGO CONCEPTS - R1 REVISIONS**

SEPTEMBER 2025



## POSITIONING + APPROACH

The Paxton provides residents with a true escape into nature, offering a home environment that embraces relaxation and laidback living. Nestled near Hamburg, Michigan, the community is tucked away from the bustle of the city while remaining within easy reach of Ann Arbor's lifestyle and charming atmosphere. Designed to foster connection, The Paxton features lush resident spaces that encourage neighborly interaction, along with convenient access to scenic hiking trails and the serene beauty of Zukey Lake. These brand identity concepts position The Paxton as an idyllic retreat where peace, comfort, and relaxation take center stage.



# YOUR KEY TO HOME

BOUTIQUE | ELEGANT | EARTHY

This concept embodies a timeless aesthetic that draws inspiration from the natural environment. Utilizing a refined serif typeface creates a balanced yet distinguished presence. The color palette is rooted in nature, featuring deep moss green paired with muted tones of sage and tan to evoke a sense of organic sophistication. The additional brand assets add versatility and distinction. This concept conveys an elevated lifestyle that is both refined and richly connected to its surroundings.

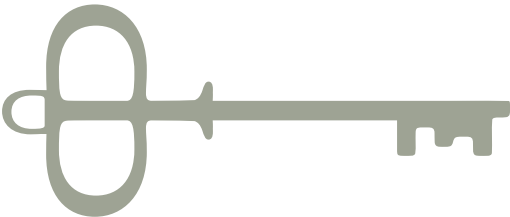


CONCEPT 1A: LOGO

PRIMARY

PAXTON THE

ADDITIONAL  
MARKS



PAXTON

THE

CONCEPT 1A



PAXTON

THE

CONCEPT 1B



# CONCEPT 1A & 1B: SAMPLE BUSINESS CARDS



CONCEPT 1A (ORIGINAL)



CONCEPT 1B

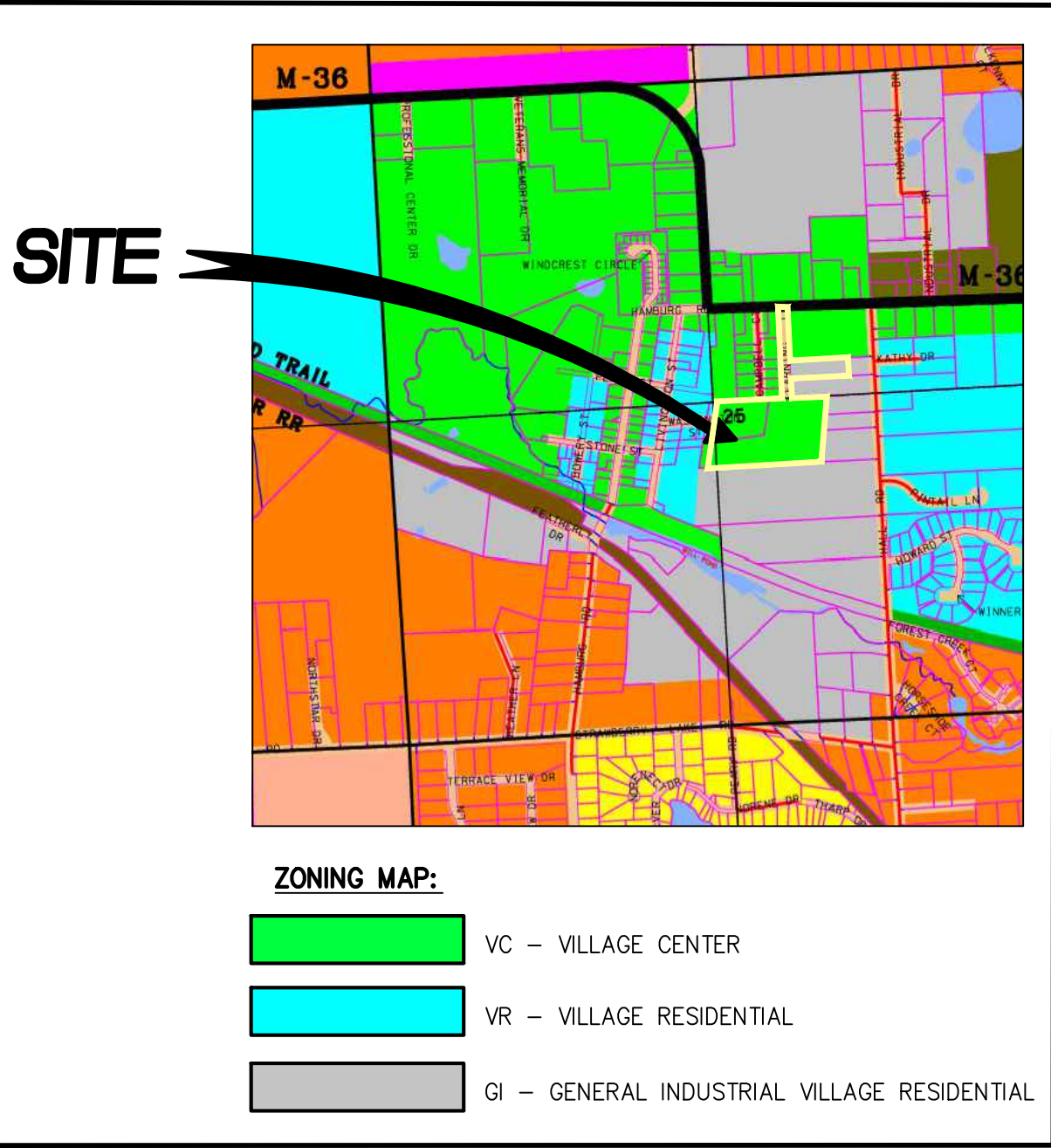
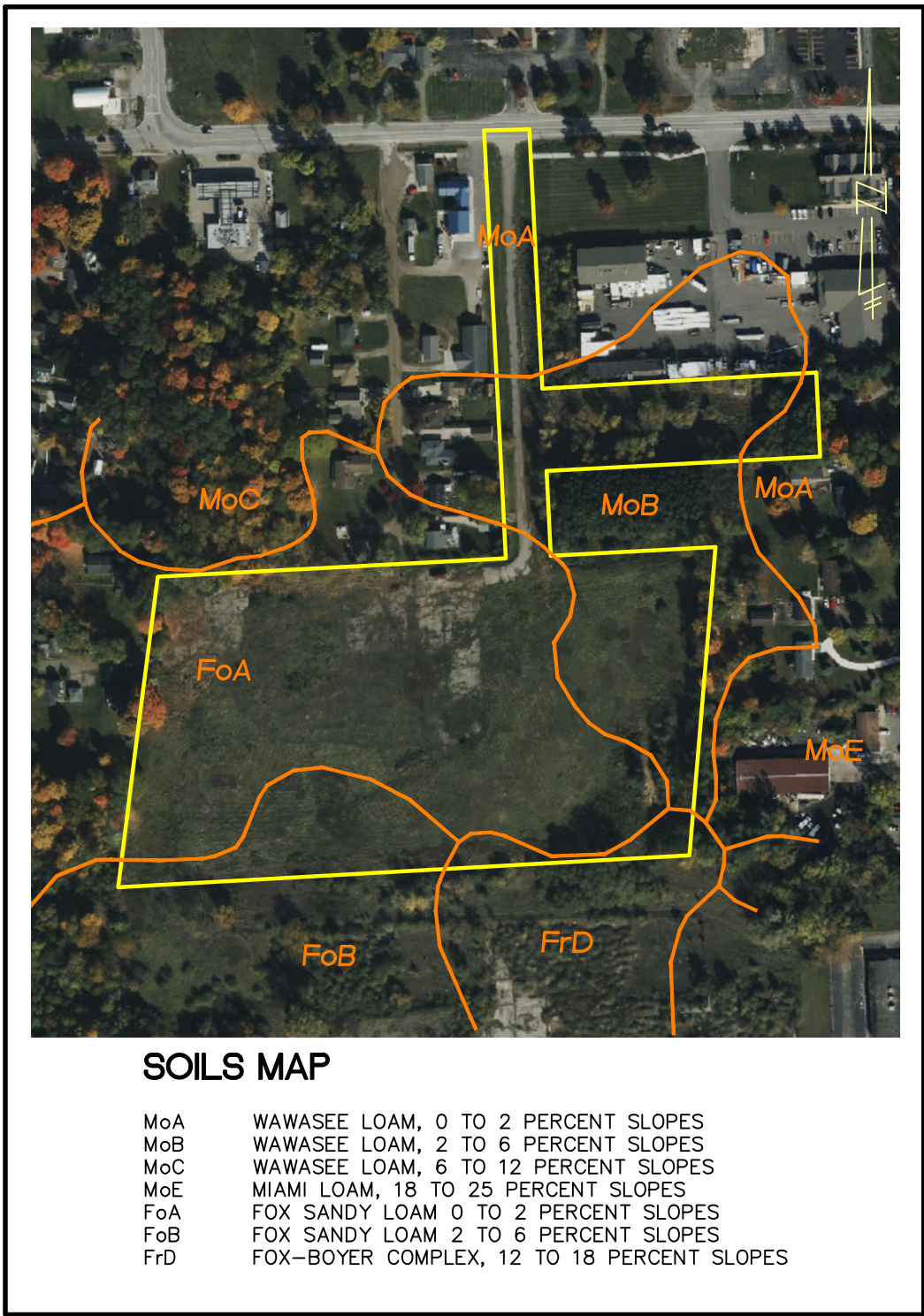


PRELIMINARY SITE PLANS FOR:

**THE CROSSING AT LAKELANDS TRAIL**

PART OF E. 1/2 OF SECTION 25, TOWN 1 NORTH, RANGE 5 EAST  
HAMBURG TWP., LIVINGSTON COUNTY, MICHIGAN

PREPARED FOR:  
ELEVATE LAND HOLDINGS - THE CROSSING  
128 N. CENTER STREET  
NORTHVILLE, MICHIGAN 48167  
248.344.1885



**SHEET INDEX**


**ENGINEERING PLANS:**

1. COVER SHEET
2. PREVIOUSLY APPROVED OPEN SPACE PLAN
3. OVERALL PLAN AND OPEN SPACE PLAN
4. UTILITIES PLAN
5. GRADING PLAN
6. GRADING PLAN
7. GRADING PLAN
8. STORM WATER MANAGEMENT PLAN

**LANDSCAPE PLANS:**

1. LANDSCAPE PLAN
2. LANDSCAPE PLAN
3. LANDSCAPE PLAN
4. LANDSCAPE DETAILS

ARCHITECTURAL PLANS PREPARED BY:	LANDSCAPE PLANS PROVIDED BY:	TOPOGRAPHIC SURVEY PREPARED BY:
TK DESIGN & ASSOCIATES	ALLEN DESIGN	M. E. G. A.
26030 PONTIAC TRAIL	557 CARPENTER	298 VETERANS DRIVE
SOUTH LYON, MICHIGAN,	NORTHVILLE, MICHIGAN	FOWLerville, MICHIGAN,
48178	48167	48836
PHONE: 248.446.1960	PHONE: 248.467.4668	PHONE: 517.223.3512



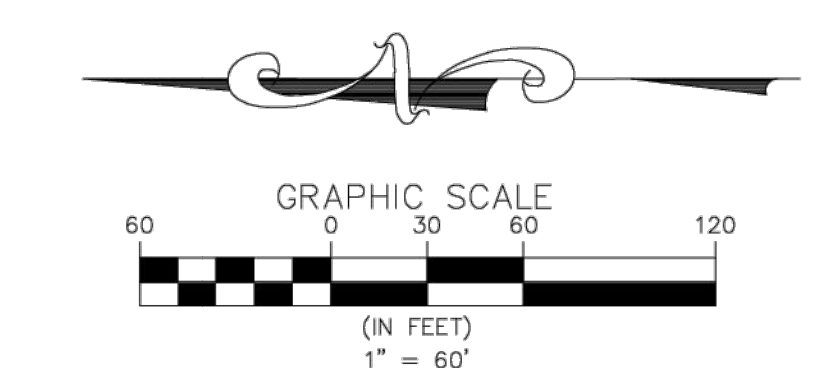
**SEIBER KEAST LEHNER  
ENGINEERING | SURVEYING**

CLINTON TOWNSHIP OFFICE  
17001 NINETEEN MILE ROAD, SUITE 3  
CLINTON TOWNSHIP, MI 48038  
586.412.7050

FARMINGTON HILLS OFFICE  
39205 COUNTRY CLUB DRIVE, SUITE C8  
FARMINGTON HILLS, MI 48331  
248.308.3331

R E V I S I O N S			ENGINEER'S SEAL
NO.	ITEM	DATE	
1.	PRE-APP SUBMITTAL	4-22-24	
2.	SUBMIT TO HAMBURG TWP.	8-16-24	
3.	SUBMIT TO HAMBURG TWP.	9-25-24	
4.	SUBMIT TO HAMBURG TWP.	10-08-25	
DATE: 1-5-2024			DESIGNED BY: A.A. CHECKED BY: C.S.
			JOB NUMBER: 23-239 DRAWING FILE: 1-23239-CV.dwg





BUILDING TYPE	1B/R	2B/R	3B/R	TOTAL UNITS PER BLDG TYPE	TOTAL B/R PER BLDG TYPE	NO OF BLDGS	TOTAL B/R ALL BLDGS TYPE
77' WD.	4	4	0	8	12	4	48
154' WD.	10	4	2	16	24	6	144
167' WD.	6	8	2	16	28	5	140
1B/R UNITS	106	51%				15	332
2B/R UNITS	80	38%					
3B/R UNITS	22	11%	206	100%			

**SITE DATA**  
EXISTING ZONING: GENERAL PLANNED UNIT DEVELOPMENT (GPUD)  
SITE AREA = 15.478 ACRES  
MAX. DWELLING UNITS PER ACRE (VC): 10 DU/CCRE  
NO. OF BUILDING ON SITE: 16  
NO. OF UNITS PROPOSED: 208  
DWELLING UNITS PER ACRE: 13.44 DU/CCRE (AMEND TO PUD AGREEMENT)

	REQUIRED	PREVIOUSLY APPROVED	PROPOSED
<b>BUILDING SETBACKS:</b>			
FRONT (FROM PAVEMENT):	20'	15'	N/A
SIDE:	10'	15'	20' MIN.
REAR: TO PROPERTY LINE	25'	30'	20' MIN.
BUILDING TO BUILDING:	35'	N/A	N/A
BUILDING FRONT TO SIDE:	N/A	25'	N/A
BUILDING SIDE TO SIDE:	N/A	15'	N/A
<b>MAXIMUM BUILDING HEIGHT:</b>	35'	35'	35'
<b>MAXIMUM BUILDING STORIES:</b>	2.5 STORIES	2 STORIES	2 STORIES
<b>MINIMUM FLOOR AREA:</b>			
1 BEDROOM	550 S.F.	875 S.F.	815 S.F.
2 BEDROOMS	650 S.F.	1,100 S.F.	1,106 S.F.
3 BEDROOMS		N/A	1,435 S.F.
<b>BUILDING COVERAGE:</b>	50% MAX.	16%	16.8%
<b>IMPERVIOUS AREA CALCULATION:</b>			
	N/A	32%	37.85%
<b>OPEN SPACE REQUIRED:</b> 1,500 S.F./UNIT=1,500 x 208 312,000 S.F. (7.16 AC.)	44%	37%	42.56%
<b>OPEN SPACE PROVIDED:</b>		6.03 AC.	6.41 AC.
<b>PARKING REQUIRED: (1.5 SPACE/UNIT)</b> 1.5 x 208 = 312 SPACES			
<b>PARKING PROPOSED: 403 SPACES</b> (INCLUDING 10 B.F. SPACES) (1.966 SPACES/UNIT)			

	PREVIOUSLY APPROVED PLANS	CURRENT PLANS
SITE AREA	16.1 AC.	15.478 AC.
NO. OF BUILDING ON SITE:	23	16
NO. OF UNITS PROPOSED:	208	208
DWELLING UNITS PER ACRE:	12.91 DU/CCRE	13.44 DU/CCRE
BUILDING COVERAGE:	16%	15.8%
PAVED SURFACE PARKING AND ROADS CIRCULATION	32%	35.4%
OPEN SPACE:	37%	41.41%
PARKING PROVIDED:	406 SPACES (1.952 SPACES/UNIT)	403 SPACES (1.937 SPACES/UNIT)

SEE LANDSCAPE PLANS FOR SCREENING WALL DETAILS

PROPOSED LEGEND	
	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	DITCH/SWALE
	TREE PROTECTION FENCE
	FLOODPLAIN
	WETLANDS
	CONTOUR
	CURB AND GUTTER
	SANITARY MANHOLE
	SANITARY CLEANOUT
	STORM MANHOLE
	YARD CATCH BASIN
	ROAD CATCH BASIN W/SILT SAC
	END SECTION
	FIRE HYDRANT
	GATE VALVE AND WELL
	PAVEMENT (ASPHALT)
	PAVEMENT (CONCRETE SIDEWALK)
	DIRECTION SURFACE WATER FLOW
	OVERFLOW ROUTE
	GRADE

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NO.	REVISIONS	DESCRIPTION	DATE
1	REV. LAYOUT PER HAMBURG TWP.	REVIEW	4-22-24
2	REV. ISLAND ADD VINYL FENCE		6-26-24
3	SUBMIT TO HAMBURG TWP.		8-16-24
4	SUBMIT TO HAMBURG TWP.		9-25-24

3 WORKING DAYS  
BEFORE YOU DIG  
CALL MISS DIG  
1-800-482-7171  
TOLL FREE FOR THE LOCATION  
OF UNDERGROUND FACILITIES

811

PROJECT NUMBER: 23-239	PROJECT MANAGER: B. EMERINE	DRAWN BY: A. LAND	CHECKED BY: C.S.	DATE: 1/10/24	OFFICE: FARMINGTON HILLS
---------------------------	--------------------------------	----------------------	---------------------	------------------	-----------------------------

CLIENT INFO:

ELEVATE LAND HOLDINGS-  
THE CROSSING  
128 N. CENTER STREET  
NORTHVILLE, MI 48167  
248.344.1885

PROJECT NAME:

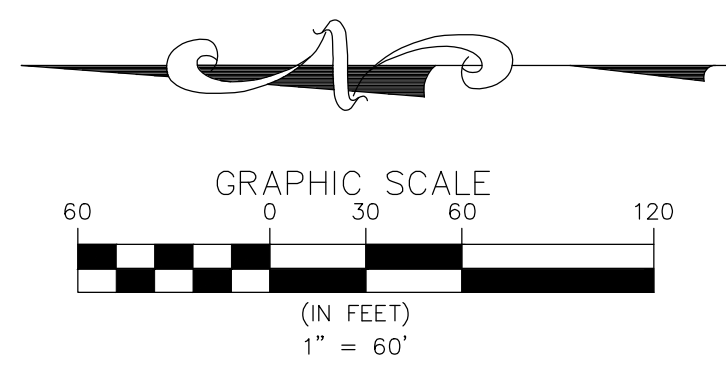
THE CROSSING AT  
LAKELANDS TRAIL  
PART OF E. 1/2 OF SEC. 25, T.1N., R.5E.,  
HAMBURG TWP., LIVINGSTON COUNTY, MI

SHEET TITLE:

PREVIOUSLY APPROVED  
SITE PLAN - OPEN SPACE

PAGE No.:  
2





BUILDING TYPE	1B/R	2B/R	3B/R	TOTAL UNITS PER BLDG TYPE	TOTAL B/R PER BLDG TYPE	NO OF BLDGS	TOTAL B/R ALL BLDG TYPE
77' WD.	4	4	0	8	12	4	48
154' WD.	10	4	2	16	24	6	144
167' WD.	6	8	2	16	28	4	100
1B/R UNITS	100	51%				14	282
2B/R UNITS	72	38%					
3B/R UNITS	20	11%	192	100%			

SITE DATA		REQUIRED	PREVIOUSLY APPROVED	PROPOSED
EXISTING ZONING: GENERAL PLANNED UNIT DEVELOPMENT (GPUD)				
SITE AREA = 15.478 ACRES				
MAX. DWELLING UNITS PER ACRE (VC): 10 DU/CCRE				
NO. OF BUILDING ON SITE:			16	15
NO. OF UNITS PROPOSED:			208	192
DWELLING UNITS PER ACRE:			13.44 DU/ACRE	12.41 DU/ACRE
(AMEND TO PUD AGREEMENT)				
BUILDING SETBACKS:				
FRONT (FROM PAVEMENT):		20'	N/A	N/A
SIDE:		10'	20' MIN.	20' MIN.
REAR: TO PROPERTY LINE		25'	20' MIN.	20' MIN.
BUILDING TO BUILDING:		35'	N/A	N/A
BUILDING FRONT TO SIDE:		N/A	N/A	N/A
BUILDING SIDE TO SIDE:		N/A	N/A	N/A
MAXIMUM BUILDING HEIGHT:		35'	35'	35'
MAXIMUM BUILDING STORIES:		2.5 STORIES	2 STORIES	2 STORIES
MINIMUM FLOOR AREA:				
1 BEDROOM		550 S.F.	741 S.F.	741 S.F.
2 BEDROOMS		650 S.F.	1,058 S.F.	1,058 S.F.
3 BEDROOMS			1,399 S.F.	1,399 S.F.
BUILDING COVERAGE:		50% MAX.	16.80%	17.06%
IMPERVIOUS AREA CALCULATION:		N/A	41.79%	40.69%
OPEN SPACE REQUIRED: 1,500 S.F./ UNIT			46.26%	42.71%
OPEN SPACE PROVIDED:			41.41%	42.25%
			6.41 AC.	6.54 AC.
PARKING REQUIRED: (1.5 SPACE/UNIT)			312 SPACES	288 SPACES
PARKING PROPOSED: OPEN PARKING -			393 SPACES	347 SPACES
BARRIER FREE PARKING -			10 SPACES	10 SPACES
COVERED PARKING -			N/A	28 SPACES
TOTAL PARKING PROPOSED:			403 SPACES (1.94 SPACES/UNIT)	387 SPACES (2.02 SPACES/UNIT)
			PREVIOUSLY APPROVED PLANS	CURRENT PLANS
SITE AREA			15.478 AC.	15.478 AC.
NO. OF BUILDING ON SITE:			16	15
NO. OF UNITS PROPOSED:			208	192
DWELLING UNITS PER ACRE:			13.44 DU/ACRE	12.41 DU/ACRE
BUILDING COVERAGE:			16.80%	17.06%
PAVED SURFACE PARKING AND ROADS CIRCULATION			41.79%	40.69%
OPEN SPACE:			41.41%	42.25%
PARKING PROVIDED:			403 SPACES (1.94 SPACES/UNIT)	387 SPACES (2.02 SPACES/UNIT)

PROPOSED LEGEND	
	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	DITCH/SWALE
	TREE PROTECTION FENCE
	SILT FENCE
	FLOODPLAIN
	WETLANDS
	CONTOUR
	CURB AND GUTTER
	SANITARY MANHOLE
	SANITARY CLEANOUT
	STORM MANHOLE
	YARD CATCH BASIN
	ROAD CATCH BASIN W/SILT SAC
	END SECTION
	FIRE HYDRANT
	GATE VALVE AND WELL
	PAVEMENT (ASPHALT)
	PAVEMENT (CONCRETE SIDEWALK)
	DIRECTION SURFACE WATER FLOW
	OVERFLOW ROUTE
	GRADE

SEE LANDSCAPE PLANS FOR SCREENING WALL DETAILS.

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REVISIONS

NO.	DESCRIPTION	DATE
1.	REV. LAYOUT PER HAMBURG TWP. REVIEW	4-22-24
2.	REV. ISLAND, ADD VINYL FENCE	6-26-24
3.	SUBMIT TO HAMBURG TWP.	8-16-24
4.	SUBMIT TO HAMBURG TWP.	9-25-24
5.	SUBMIT TO HAMBURG TWP.	10-08-25

3 WORKING DAYS BEFORE YOU DIG  
CALL MISS DIG  
1-800-482-7171  
TOLL FREE FOR THE LOCATION OF UNDERGROUND UTILITIES

811

PROJECT NUMBER: 23-239

PROJECT MANAGER: B. EMERINE

DRAWN BY: A. AWAD

CHECKED BY: J. S. S.

DATE: 1/10/24

OFFICE: FARMINGTON HILLS

CLIENT INFO:

ELEVATE LAND HOLDINGS-  
THE CROSSING AT  
LAKELANDS TRAIL  
128 N. CENTER STREET  
NORTHVILLE, MI 48167  
248.344.1885

PROJECT NAME:

THE CROSSING AT  
LAKELANDS TRAIL  
PART OF E. 1/2 OF SEC. 25, T.1N., R.5E.,  
HAMBURG TWP., LIVINGSTON COUNTY, MI

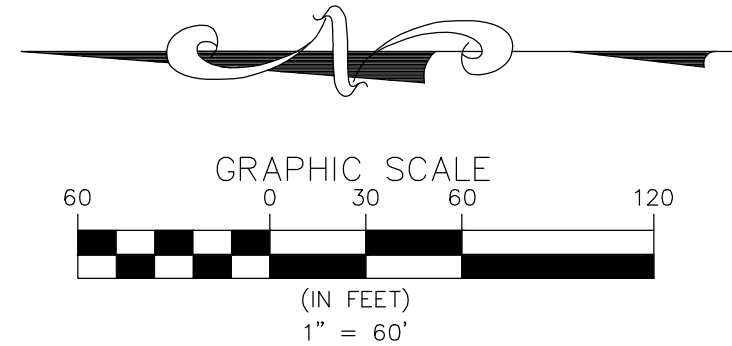
SHEET TITLE:

OVERALL PLAN AND  
OPN SPACE PLAN

PAGE No.:

3





PROPOSED LEGEND	
	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	DITCH/SWALE
	TREE PROTECTION FENCE
	SILT FENCE
	FLOODPLAIN
	WETLANDS
	CONTOUR
	CURB AND GUTTER
	SANITARY MANHOLE
	SANITARY CLEANOUT
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	YARD CATCH BASIN
	ROAD CATCH BASIN W/SILT SAC
	END SECTION
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	GATE VALVE AND WELL
	PAVEMENT (ASPHALT)
	PAVEMENT (CONCRETE SIDEWALK)
	DIRECTION SURFACE WATER FLOW
	OVERFLOW ROUTE
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NO.	REVISIONS	DATE
1.	REV. LAYOUT PER HAMBURG TWP. REVIEW	4-22-23
2.	REV. ISLAND, ADD VINYL FENCE	6-26-23
3.	SUBMIT TO HAMBURG TWP.	8-16-23
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5.	SUBMIT TO HAMBURG TWP.	10-08-23

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CALL MISS DIG  
1-800-482-7171  
TOLL FREE FOR THE LOCATION OF UNDERGROUND UTILITIES

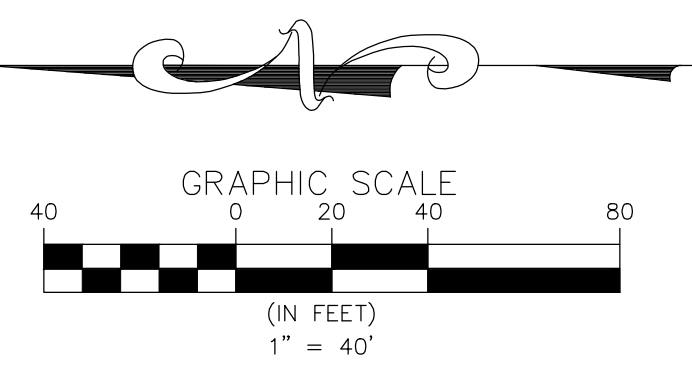
PROJECT NUMBER: 23-239	PROJECT MANAGER: B. DIERNE
DRAWN BY: A. AWAD	CHECKED BY: J.S.
DATE: 1/10/24	OFFICE: FARMINGTON HILLS

CLIENT INFO:  
ELEVATE LAND HOLDINGS-  
THE CROSSING  
128 N. CENTER STREET  
NORTHVILLE, MI 48167  
248.344.1885

PROJECT NAME: THE CROSSING AT LAKELANDS TRAIL HAMBURG TWP., LIVINGSTON COUNTY, MI	SHEET TITLE: UTILITIES PLAN
PAGE No.: 4	

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PROPOSED LEGEND	
	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	DITCH/SWALE
	TREE PROTECTION FENCE
	SILT FENCE
	FLOODPLAIN
	WETLANDS
	CONTOUR
	CURB AND GUTTER
	SANITARY MANHOLE
	SANITARY CLEANOUT
	STORM MANHOLE
	YARD CATCH BASIN
	ROAD CATCH BASIN W/SILT SAC
	END SECTION
	FIRE HYDRANT
	GATE VALVE AND WELL
	PAVEMENT (ASPHALT)
	PAVEMENT (CONCRETE SIDEWALK)
	DIRECTION SURFACE WATER FLOW
	OVERFLOW ROUTE
	GRADE

(SEE SHEET 6)

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NO.	REVISIONS	DATE
1.	REV. LAYOUT PER HAMBURG TWP.	4-22-21
2.	REV. ISLAND, ADD VINYL FENCE	6-26-21
3.	SUBMIT TO HAMBURG TWP.	8-16-21
4.	SUBMIT TO HAMBURG TWP.	9-25-21
5.	SUBMIT TO HAMBURG TWP.	10-08-21

3 WORKING DAYS  
BEFORE YOU DIG  
CALL MISS DIG  
1-800-482-7171  
TOLL FREE FOR THE LOCATION  
OF UNDERGROUND UTILITIES

PROJECT NUMBER: 23-239	PROJECT MANAGER: B. EMERINE
DRAWN BY: A. AWAD	CHECKED BY: D.S.
DATE: 1/10/24	OFFICE: FARMINGTON HILLS

CLIENT INFO:

ELEVATE LAND HOLDINGS-  
THE CROSSING  
128 N. CENTER STREET  
NORTHVILLE, MI 48167  
248.344.1885

PROJECT NAME:

THE CROSSING AT  
LAKELANDS TRAIL  
PART OF E. 1/2 OF SEC. 25, T.1N., R.5E.,  
HAMBURG TWP., LIVINGSTON COUNTY, MI

SHEET TITLE:

GRADING PLAN

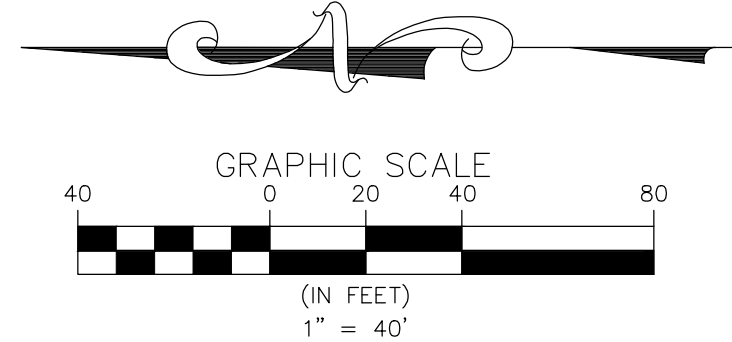
PAGE No.:

5



(SEE SHEET 5)

(SEE SHEET 7)



PROPOSED LEGEND	
	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	DITCH/SWALE
	TREE PROTECTION FENCE
	SILT FENCE
	FLOODPLAIN
	WETLANDS
	CONTOUR
	CURB AND GUTTER
	SANITARY MANHOLE
	SANITARY CLEANOUT
	STORM MANHOLE
	YARD CATCH BASIN
	ROAD CATCH BASIN W/SILT SAC
	END SECTION
	FIRE HYDRANT
	GATE VALVE AND WELL
	PAVEMENT (ASPHALT)
	PAVEMENT (CONCRETE SIDEWALK)
	DIRECTION SURFACE WATER FLOW
	OVERFLOW ROUTE
	GRADE

PROJECT NAME:  
**THE CROSSING AT  
LAKELANDS TRAIL**  
PART OF E. 1/2 OF SEC. 25, T.1N., R.9E.,  
HAMBURG TWP., LIVINGSTON COUNTY, MI

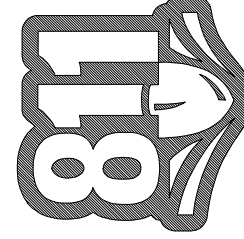
PAGE No.:

6

SHEET TITLE:  
**GRADING PLAN**

CLIENT INFO:  
**ELEVATE LAND HOLDINGS-  
THE CROSSING  
128 N. CENTER STREET  
NORTHVILLE, MI 48167  
248.344.1885**

PROJECT NUMBER:  
23-239  
PROJECT MANAGER:  
B. EMERINE  
DRAWN BY:  
A. AWAD  
CHECKED BY:  
J.S.  
DATE:  
1/10/24  
OFFICE:  
FARMINGTON HILLS



3 WORKING DAYS  
BEFORE YOU DIG  
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TOLL FREE FOR THE LOCATION  
OF UNDERGROUND FACILITIES

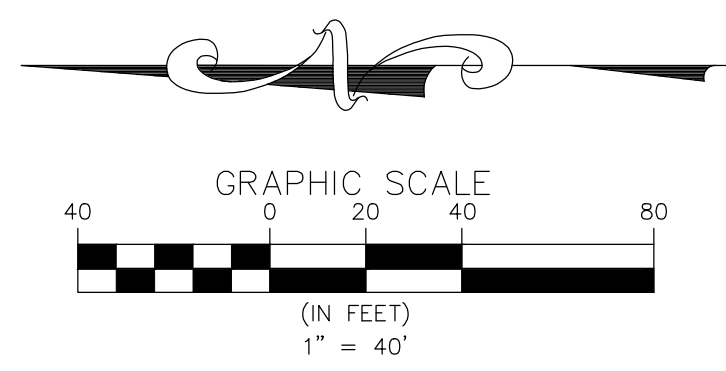
NO.	REVISIONS	DATE
1.	REV. LAYOUT PER HAMBURG TWP. REVIEW	4-22-24
2.	REV. LAYOUT PER HAMBURG TWP. REVIEW	6-26-24
3.	SUBMIT TO HAMBURG TWP.	8-16-24
4.	SUBMIT TO HAMBURG TWP.	9-25-24
5.	SUBMIT TO HAMBURG TWP.	10-08-25

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OF UNDERGROUND FACILITIES

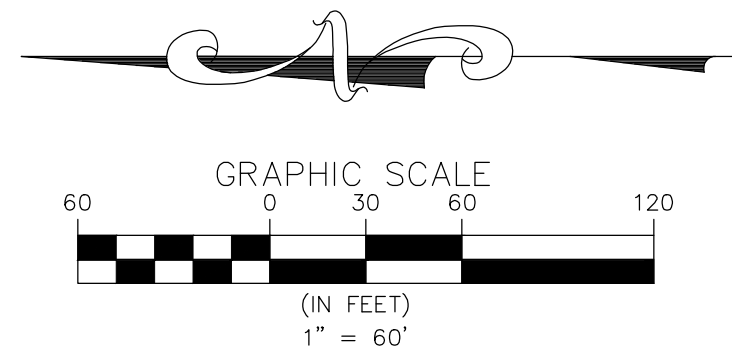
CLIENT INFO:  
ELEVATE LAND HOLDINGS—  
THE CROSSING  
128 N. CENTER STREET  
NORTHVILLE, MI 48167  
248.344.1885

PAGE No.: 7

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c:\23-239 Lokeland Trails\1-Site Plan\5-6-7-23239-CR.dwg 10/8/2025 10:05 AM Carly Parimucha



**WATER QUALITY VOLUME REQUIRED**

A = 15.11 Ac  
C = 0.64  
Vw-q = 3,630 x C x A = 35,104 ft<sup>3</sup> required < Vv-a ok

**CHANNEL PROTECTION VOLUME CONTROL - CPVC**

A = 15.11 Ac (Area Tributary to Detention Basin)  
A<sub>off</sub> = 0.00 Ac (Offsite Acreage Trib. to Det. Basin)  
C = 0.64  
Vcpvc = 4,719 x C x A = 45,635 ft<sup>3</sup> required

**CHANNEL PROTECTION RATE CONTROL - CPVC EXTENDED DETENTION**

A = 15.11 Ac (Area Tributary to Detention Basin)  
A<sub>off</sub> = 0.00 Ac (Offsite Acreage Trib. to Det. Basin)  
C = 0.64  
Ved-r = 6,897 x C x A = 66,697 ft<sup>3</sup> required  
to be discharged over 48 hours

**EXTENDED DETENTION VOLUME DISCHARGE RATE**

Q<sub>ed-r</sub> = VED(48 hr)(60 min)(60 sec)  
Q<sub>ed-r</sub> = 94,682/172,800 0.39 cfs

**DETERMINE DETENTION REQUIREMENTS (100-YEAR STORM)**

A<sub>c</sub> = 15.11 Ac (Onsite Area Tributary to Basin)  
A<sub>off</sub> = 0.00 Ac (Offsite Area Tributary to Basin)  
Q<sub>all</sub> = 2.27 cfs/ac  
C = 0.64  
**Restricted release rate 0.15 cfs/ac**

**CALCULATE VARIABLE RELEASE RATE**

Q<sub>vrr</sub> = 1.1055 x 0.206 in(A) Q<sub>vrr</sub> = Allowable release rate in cfs/acre  
A = Contribution area in acres

Q<sub>vrr</sub> = 0.55 cfs/acre

Q<sub>100p</sub> = Q<sub>vrr</sub> x A

Q<sub>100p</sub> = 2.27 cfs

Q<sub>100p</sub> = Allowable 100-year post-development peak flow rate in cfs  
The lesser of Q<sub>vrr</sub> or County drain restricted flow rate:  
1- The restricted rate for the existing 12" outlet GOVERNS  
2- The prorated share of the drain's capacity (cfs/ac.)  
3- The variable release rate (Q<sub>vrr</sub>) (cfs/ac.)

**CALCULATE 100-YEAR DETENTION VOLUME (V<sub>100D</sub>)**

A<sub>c</sub> = 15.11 Ac (Onsite Area Tributary to Basin)  
A<sub>off</sub> = 0.00 Ac (Offsite Area Tributary to Basin)  
V<sub>100D</sub> = 18985 x C x A  
V<sub>100D</sub> = 183593 cf

**CALCULATE 100-YEAR PEAK INFLOW RATE (Q<sub>100IN</sub>)**

A<sub>c</sub> = 15.11 Ac (Onsite Area Tributary to Basin)  
A<sub>off</sub> = 0.00 Ac (Offsite Area Tributary to Basin)  
Q<sub>100IN</sub> = C x I<sub>100</sub> x A  
I<sub>100</sub> = 83.3 / (Tc + 9.17)<sup>0.81</sup>  
I<sub>100</sub> = 5.385 in/hr  
Q<sub>100IN</sub> = 52.07 cfs  
Tc = 20.24 min  
from storm sewer calcs

**CALCULATE STORAGE CURVE FACTOR FOR THE 100-YEAR DETENTION VOLUME (R)**

R = [0.206 - 0.151N (Q<sub>100P</sub>/Q<sub>100IN</sub>)]  
R = 0.676 R = STORAGE CURVE FACTOR

**CALCULATE 100-YEAR REQUIRED DETENTION BASIN VOLUME**

V<sub>100D</sub> = (V<sub>100R</sub> x R) - VCP-P  
V<sub>100D</sub> = Required 100-year detention volume in cf  
V<sub>100R</sub> = 100-Year runoff volume in cf  
R = Storage curve factor  
Vcp-p = Provided CVPC Volume in cf  
V<sub>100D</sub> = VED

V<sub>100D</sub> = 124,095 C.F.

The site plan must be designed to accommodate the following volumes:

Vcpvc = 45,635 cubic feet  
Ved = 66,697 cubic feet  
V<sub>100D</sub> = 124,095 cubic feet

**DETERMINE STORAGE IN SEDIMENT BASIN**

Elevation	Area	Volume (c.f.)
LW 904.4	9332	0
905	10369	5910
906	12172	17181
907	14117	30325
908	16221	45404
HW 908.5	17294	53873
909	18393	62795

HW EL = 908.0 Volume at HW = 53873

**DETERMINE STORAGE IN DETENTION BASIN**

Elevation	Area	Basin Volume (c.f.)	BS+FB VOL. (c.f.)
LW 904	13291	0	0
905	15833	14562	20472
906	18489	31723	48904
907	21261	51598	81623
908	24142	74500	119794
HW 908.5	25994	86834	140707
909	27514	100211	163005

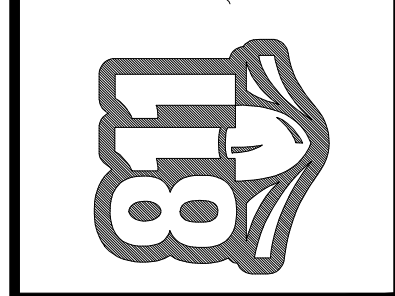
HW EL = 907.0 Volume at HW = 140707

**C-Factor Determination**

Tributary Area =	15.11 Acres
Impervious Areas	
Bldgs, Roads and S/W =	8.75 Ac. at C = 0.90
Pervious Areas	
Lawn Areas =	5.68 Ac. at C = 0.20
Low Water	0.68 Ac. at C = 1.00
C Avg. =	0.64

NO.	REVISIONS	DATE
1.	REV. LAYOUT PER HAMBURG TWP. REVIEW	4-22-23
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3.	SUBMIT TO HAMBURG TWP.	8-16-24
4.	SUBMIT TO HAMBURG TWP.	9-25-24
5.	SUBMIT TO HAMBURG TWP.	10-08-25

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PROJECT NUMBER: 23-239	PROJECT MANAGER: B. EMERINE
DRAWN BY: A. AWAD	CHECKED BY: J.S.
DATE: 1/10/24	OFFICE: FARMINGTON HILLS

CLIENT INFO:  
ELEVATE LAND HOLDINGS-  
THE CROSSING  
128 N. CENTER STREET  
NORTHVILLE, MI 48167  
248.344.1885

PROJECT NAME:  
THE CROSSING AT  
LAKELANDS TRAIL  
PART OF E. 1/2 OF SEC. 25, T.1N., R.5E.,  
HAMBURG TWP., LIVINGSTON COUNTY, MI

SHEET TITLE:  
STORM WATER  
MANAGEMENT PLAN

PAGE No.:



## Landscape Plan

Lakeland Trails  
Hamburg Township, Michigan

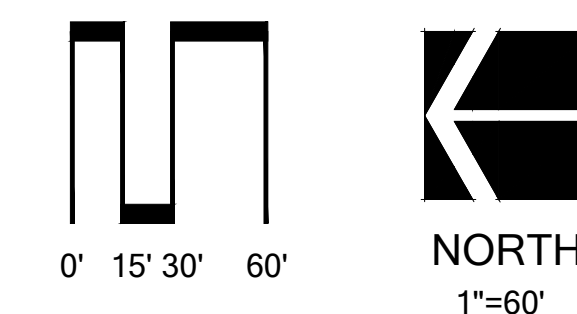
Elevate Property Partners, LLC  
128 North Center  
Northville, Michigan 48167

Review	April 11, 2024
Revised	April 22, 2024
Revised	August 16, 2024
Revised	September 25, 2024
Revised	February 19, 2025
Revised	October 8, 2025

24-019

ica

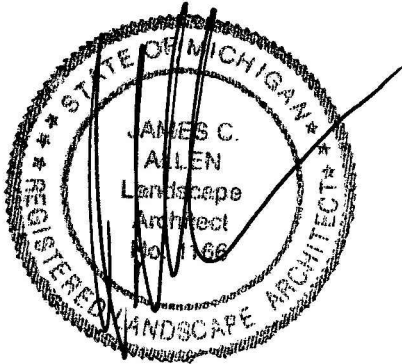
ica



L-1



Seal:



Title:

Landscape Plan

Project:

Lakeland Trails  
Hamburg Township, Michigan

Prepared for:

Elevate Property Partners, LLC  
128 North Center  
Northville, Michigan 48167

Revision:

Review	April 11, 2024
Revised	April 22, 2024
Revised	August 16, 2024
Revised	September 25, 2024
Revised	February 19, 2025
Revised	October 8, 2025

Issued:

Job Number:

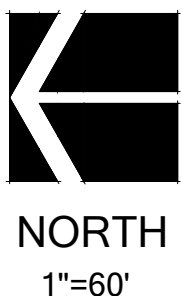
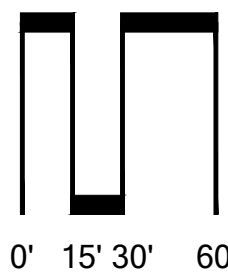
24-019

Drawn By:

jca

Checked By:

jca

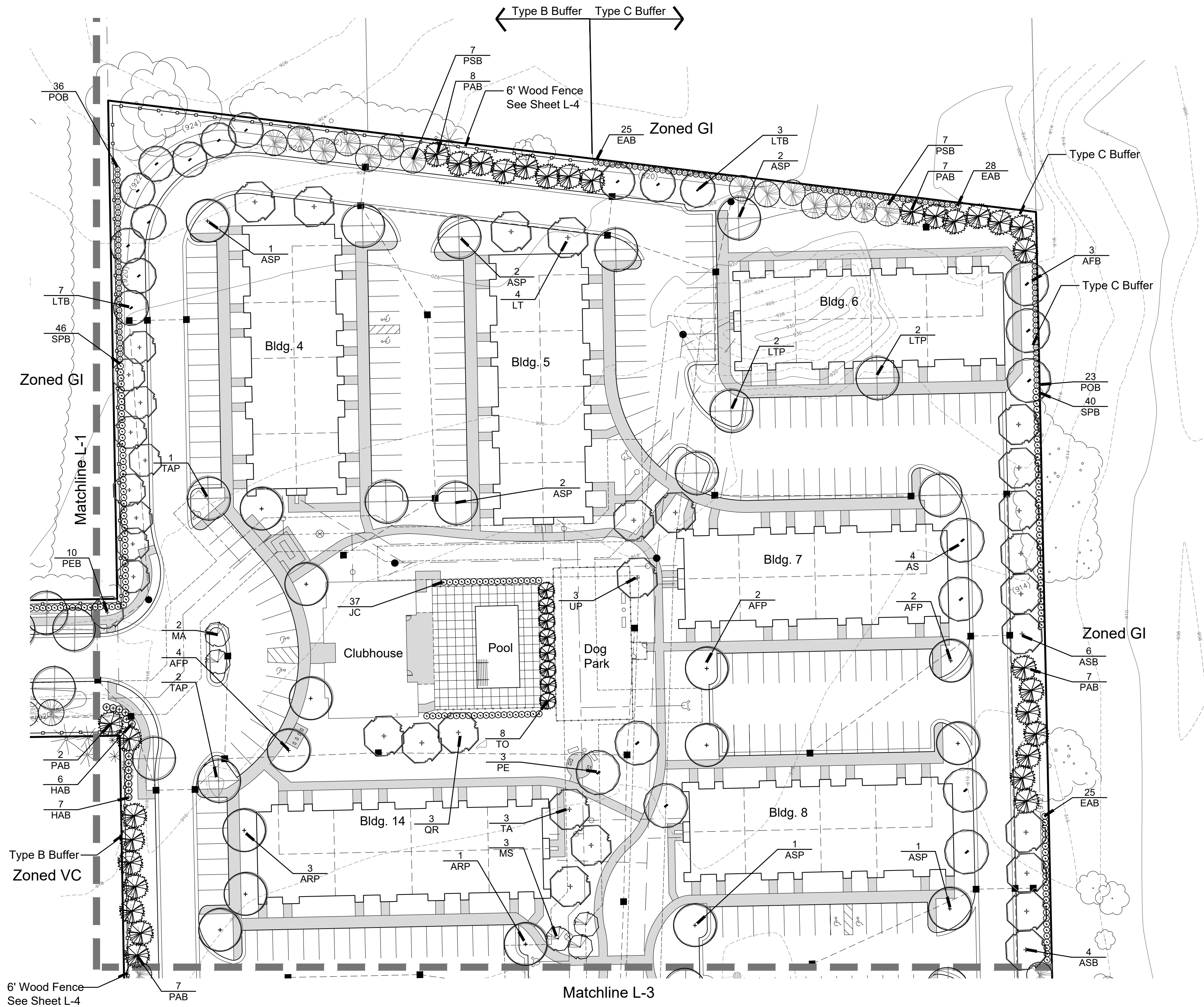


Sheet No.

L-2



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Landscape Summary - This Sheet

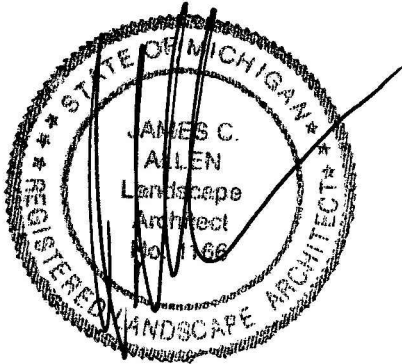
Existing Zoning	GPUD
Land Use Buffers	
Buffer Length East, North	712 l.f. (Type B)
Canopy Trees Required	23.7 Trees (712/ 30)
Canopy Trees Provided	24 Trees (6 Existing)
Evergreen Trees Required	23.7 Trees (712/ 30)
Evergreen Trees Provided	24 Trees
Shrubs Required	94.9 Shrubs (712 / 30) x 4
Shrubs Provided	95 Shrubs
Buffer Length East, South	702 l.f. (Type C)
Trees Required	35.1 Trees (702 / 20)
Trees Provided	36 Trees
Shrubs Required	140.4 Shrubs (702 / 20) x 4
Shrubs Provided	141 Shrubs
Parking Lot Landscaping	
Parking Lot Area	
Trees Required	27.9 Trees (55,785 / 2,000)
Trees Provided	28 Trees

Plant List - This Sheet

sym.	qty.	botanical name	common name	caliper	spacing	root	height
Land Use Buffers							
AFB	3	Acer x. freemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5"	as shown	B&B	
ASB	10	Acer saccharum 'Legacy'	Sugar Maple	2.5"	as shown	B&B	
EAB	78	Euonymus alata 'Compacta'	Burning Bush		as shown	cont	24"
HAB	13	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	2.5"	as shown	cont	24"
LTB	10	Liriodendron tulipifera	Tulip Tree		as shown	B&B	
PAB	31	Picea abies	Norway Spruce		as shown	B&B	6'
PEB	10	Platanus x acerifolia 'Exclamation'	Exclamation London Planetree	2.5"	as shown	B&B	
POB	59	Physocarpus opulifolius 'Diablo'	Diablo Ninebark		as shown	cont	24"
PSB	14	Pinus strobus	White Pine		as shown	B&B	6'
SPB	86	Spirea j. 'Little Princess'	Little Princess Spirea		as shown	cont	24"
	78	Trees Provided					
	236	Shrubs Provided					
Parking Lot Trees							
sym.	qty.	botanical name	common name	caliper	spacing	root	height
AFP	8	Acer x. freemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5"	as shown	B&B	
ARP	4	Acer rubrum 'Redpoint'	Redpoint Maple	2.5"	as shown	B&B	
ASP	9	Acer saccharum 'Legacy'	Sugar Maple	2.5"	as shown	B&B	
LTP	4	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B	
TAP	3	Tilia americana 'Redmond'	Redmond Linden	2.5"	as shown	B&B	
	28	Trees Provided					
General Plantings							
sym.	qty.	botanical name	common name	caliper	spacing	root	height
AS	4	Acer saccharum 'Legacy'	Sugar Maple	2.5"	as shown	B&B	
JC	37	Juniperus ch. keteleeri	Keteleeri Juniper		as shown	B&B	6', Hedge to 5'
LT	4	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B	
MA	2	Malus 'Adirondack'	Adirondack Crab Apple	2.0"	as shown	B&B	
MS	3	Malus 'Spring Snow'	Spring Snow Crab Apple	2.0"	as shown	B&B	
PE	3	Platanus x acerifolia 'Exclamation'	Exclamation London Planetree	2.5"	as shown	B&B	
QR	3	Quercus rubra	Red Oak	2.5"	as shown	B&B	
TA	3	Tilia americana 'Redmond'	Redmond Linden	2.5"	as shown	B&B	
TO	12	Thuja pl. 'Green Giant'	Green Giant Arborvitae		as shown	B&B	6'
UP	3	Ulmus americana 'Princeton'	Princeton Elm	2.5"	as shown	B&B	



Seal:



Title:

Landscape Plan

Project:

Lakeland Trails  
Hamburg Township, Michigan

Prepared for:

Elevate Property Partners, LLC  
128 North Center  
Northville, Michigan 48167

Revision:

Review  
Revised  
Revised  
Revised  
Revised  
Revised

Issued:

April 11, 2024  
April 22, 2024  
August 16, 2024  
September 25, 2024  
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October 8, 2025

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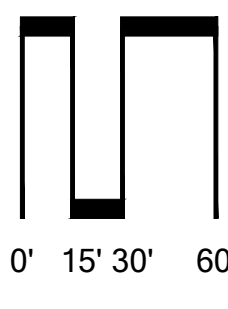
24-019

Drawn By:

jca

Checked By:

jca

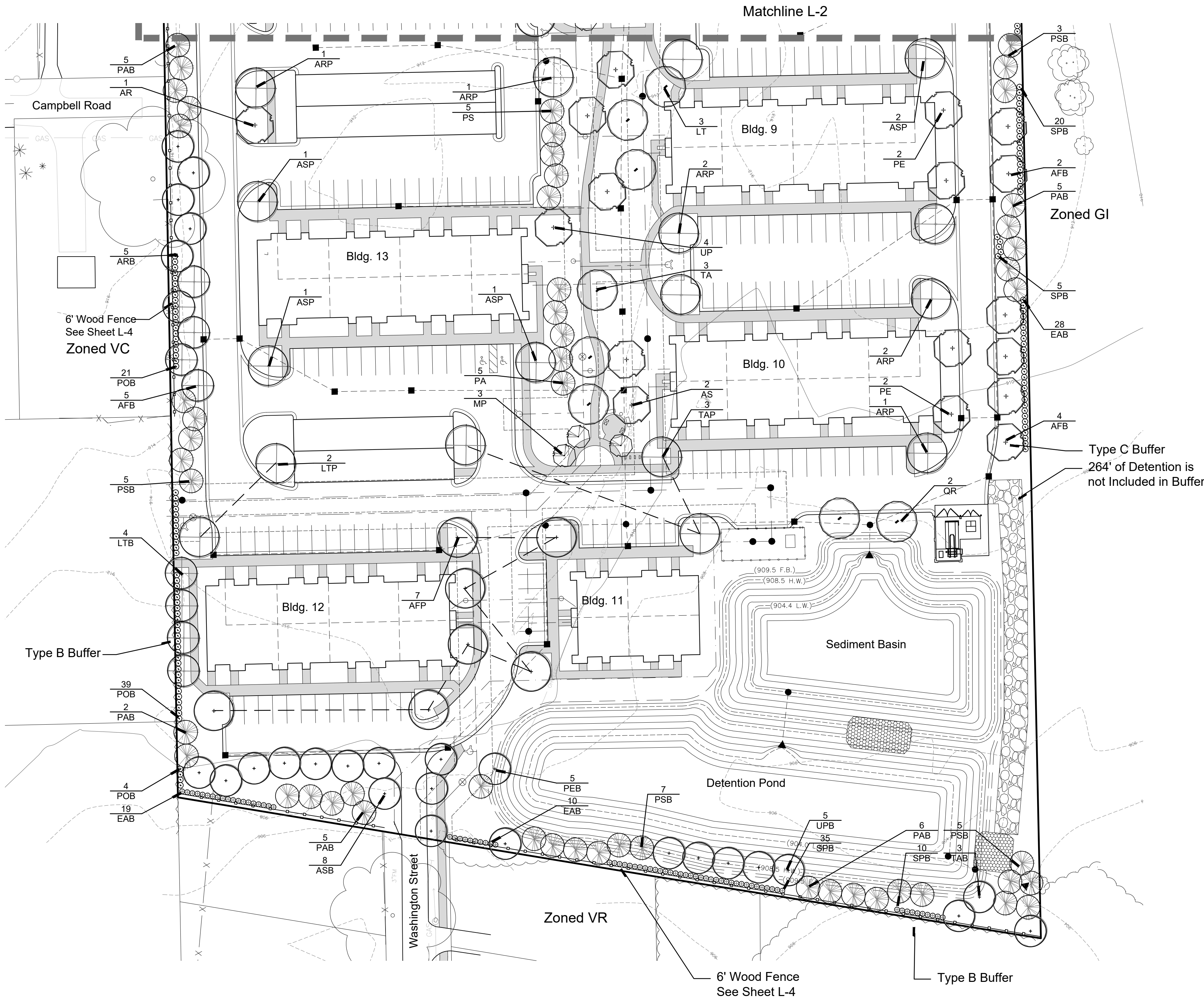


Sheet No.

L-3



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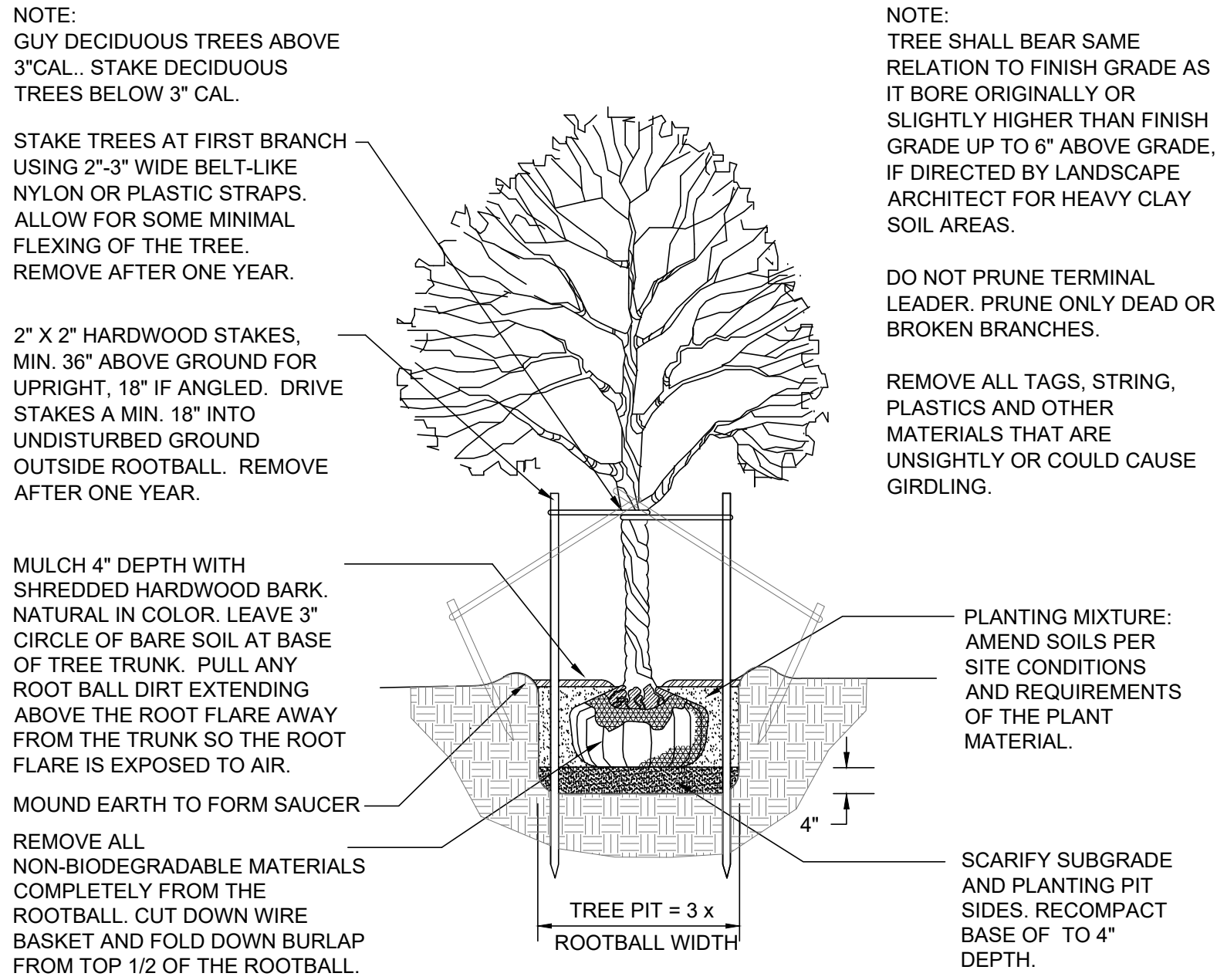
Landscape Summary - This Sheet

Existing Zoning	GPUD
Land Use Buffers	
Buffer Length - West and North	1,033 l.f. (Type B)
Deciduous Trees Required	34.4 Trees (1,033 / 30)
Deciduous Trees Provided	35 Trees
Evergreen Trees Required	34.4 Trees (1,033 / 30)
Evergreen Trees Provided	35 Trees
Shrubs Required	137.7 Shrubs (1,033 / 30) x 4
Shrubs Provided	138 Shrubs
Buffer Length - South	262 l.f. (Type C)
Trees Required	13.1 Trees (262 / 20)
Trees Provided	14 Trees
Shrubs Required	52.4 Shrubs (262 / 20) x 4
Shrubs Provided	53 Shrubs
Parking Lot Landscaping	
Parking Lot Area	
Trees Required	23.4 Trees (46,798 / 2,000)
Trees Provided	24 Trees

Plant List - This Sheet

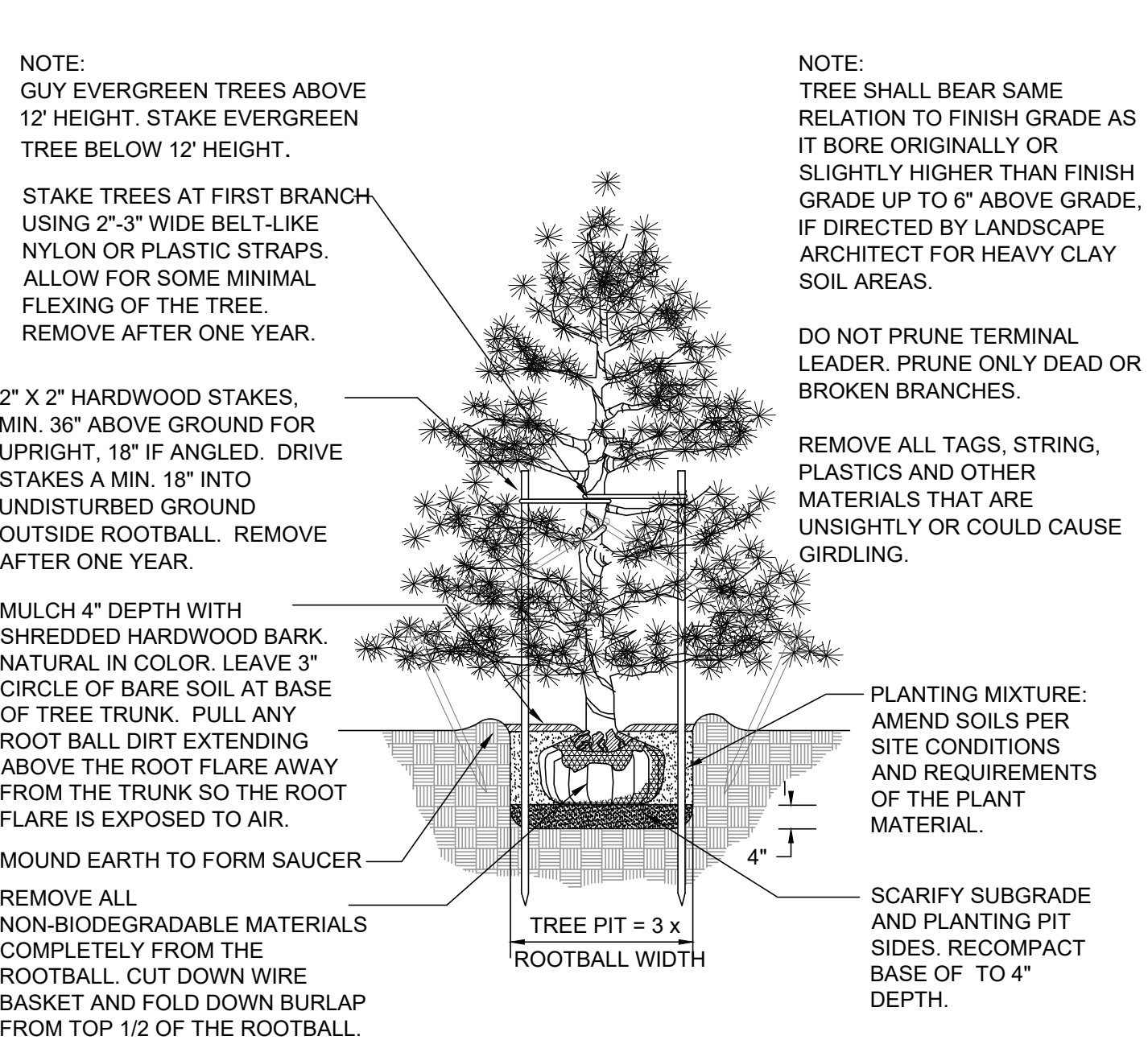
sym.	qty.	botanical name	common name	caliper	spacing	root	height
Land Use Buffers							
AFB	11	Acer x. freemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5"	as shown	B&B	
ARB	5	Acer rubrum 'Redpoint'	Redpoint Maple	2.5"	as shown	B&B	
ASB	8	Acer saccharum 'Legacy'	Sugar Maple	2.5"	as shown	B&B	
EAB	57	Euonymus alata 'Compacta'	Burning Bush		as shown	cont	24"
LTB	4	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B	
PAB	23	Picea abies	Norway Spruce		as shown	B&B	6'
PEB	5	Platanus x. acerifolia 'Exclamation'	Exclamation London Planetree	2.5"	as shown	B&B	
POB	64	Physocarpus opulifolius 'Diablo'	Diablo Ninebark		as shown	cont	24"
PSB	20	Pinus strobus	White Pine		as shown	B&B	6'
SPB	70	Spirea j. "Little Princess"	Little Princess Spirea		as shown	cont	24"
TAB	3	Tilia americana 'Redmond'	Redmond Linden	2.5"	as shown	B&B	
UPB	5	Ulmus americana 'Princeton'	Princeton Elm	2.5"	as shown	B&B	
	84	Trees Provided					
	191	Shrubs Provided					
Parking Lot Trees							
AFP	7	Acer x. freemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5"	as shown	B&B	
ARP	7	Acer rubrum 'Redpoint'	Redpoint Maple	2.5"	as shown	B&B	
ASP	5	Acer saccharum 'Legacy'	Sugar Maple	2.5"	as shown	B&B	
LTP	2	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B	
TAP	3	Tilia americana 'Redmond'	Redmond Linden	2.5"	as shown	B&B	
	24	Trees Provided					
General Plantings							
AR	1	Acer rubrum 'Redpoint'	Redpoint Maple	2.5"	as shown	B&B	
AS	2	Acer saccharum 'Legacy'	Sugar Maple	2.5"	as shown	B&B	
LT	3	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B	
MP	3	Malus 'Profusion'	Profusion Crab Apple	2.0"	as shown	B&B	
PA	5	Picea abies	Norway Spruce		as shown	B&B	6'
PE	4	Platanus x. acerifolia 'Exclamation'	Exclamation London Planetree	2.5"	as shown	B&B	
PS	5	Pinus strobus	White Pine		as shown	B&B	6'
QR	2	Quercus rubra	Red Oak	2.5"	as shown	B&B	
TA	3	Tilia americana 'Redmond'	Redmond Linden	2.5"	as shown	B&B	
UP	4	Ulmus americana 'Princeton'	Princeton Elm	2.5"	as shown	B&B	





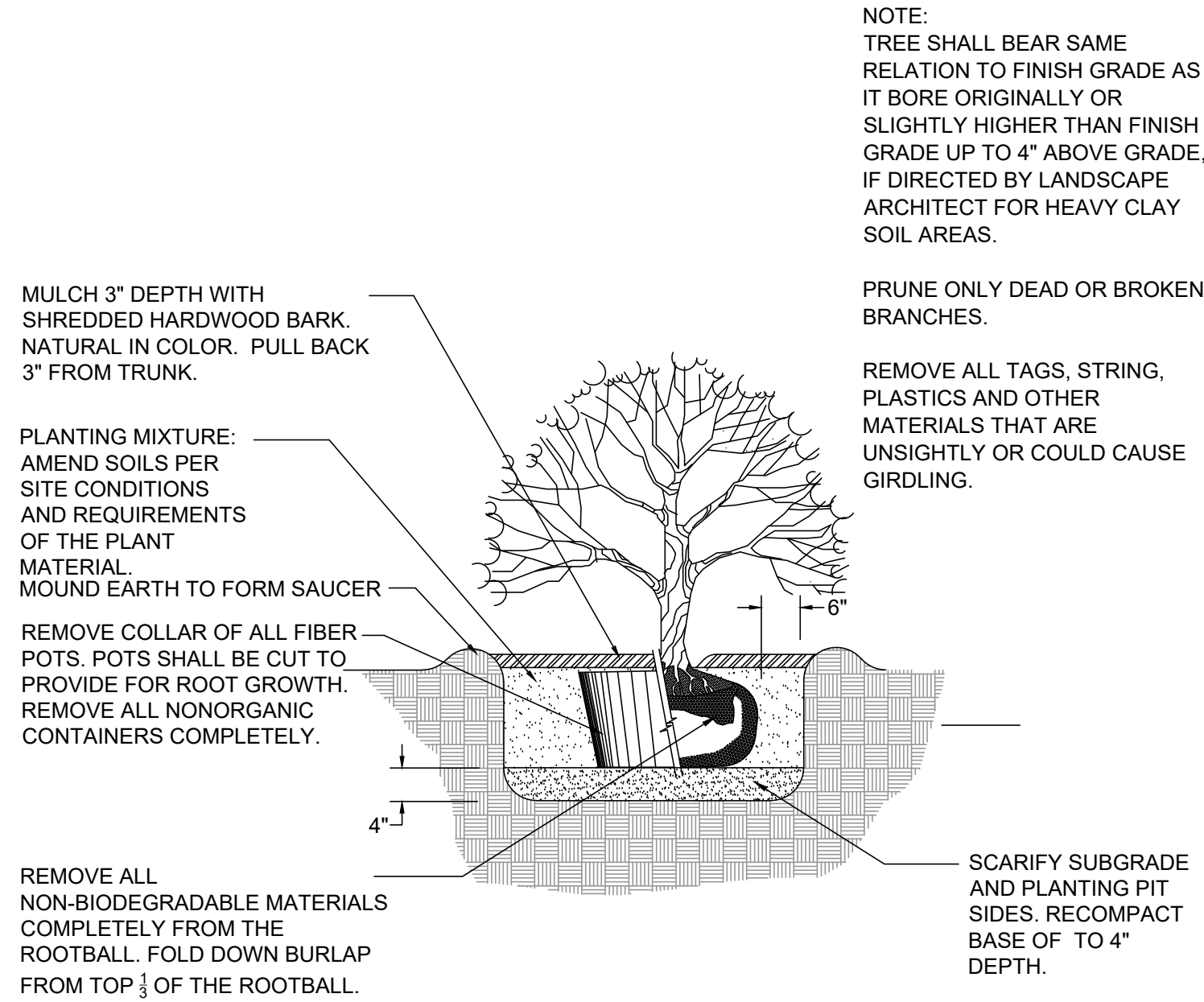
## DECIDUOUS TREE PLANTING DETAIL

Not to scale



## EVERGREEN TREE PLANTING DETAIL

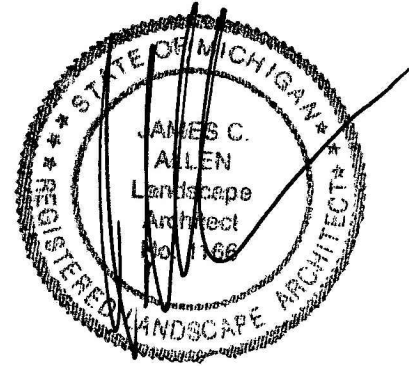
Not to scale



## SHRUB PLANTING DETAIL

NOT TO SCALE

Seal:



Title:

Landscape Details

Project:

Lakeland Trails  
Hamburg Township, Michigan

Prepared for:

Elevate Property Partners, LLC  
128 North Center  
Northville, Michigan 48167

Revision:

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Revised  
Revised

Issued:

April 11, 2024  
April 22, 2024  
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Job Number:

24-019

Drawn By:

jca

Checked By:

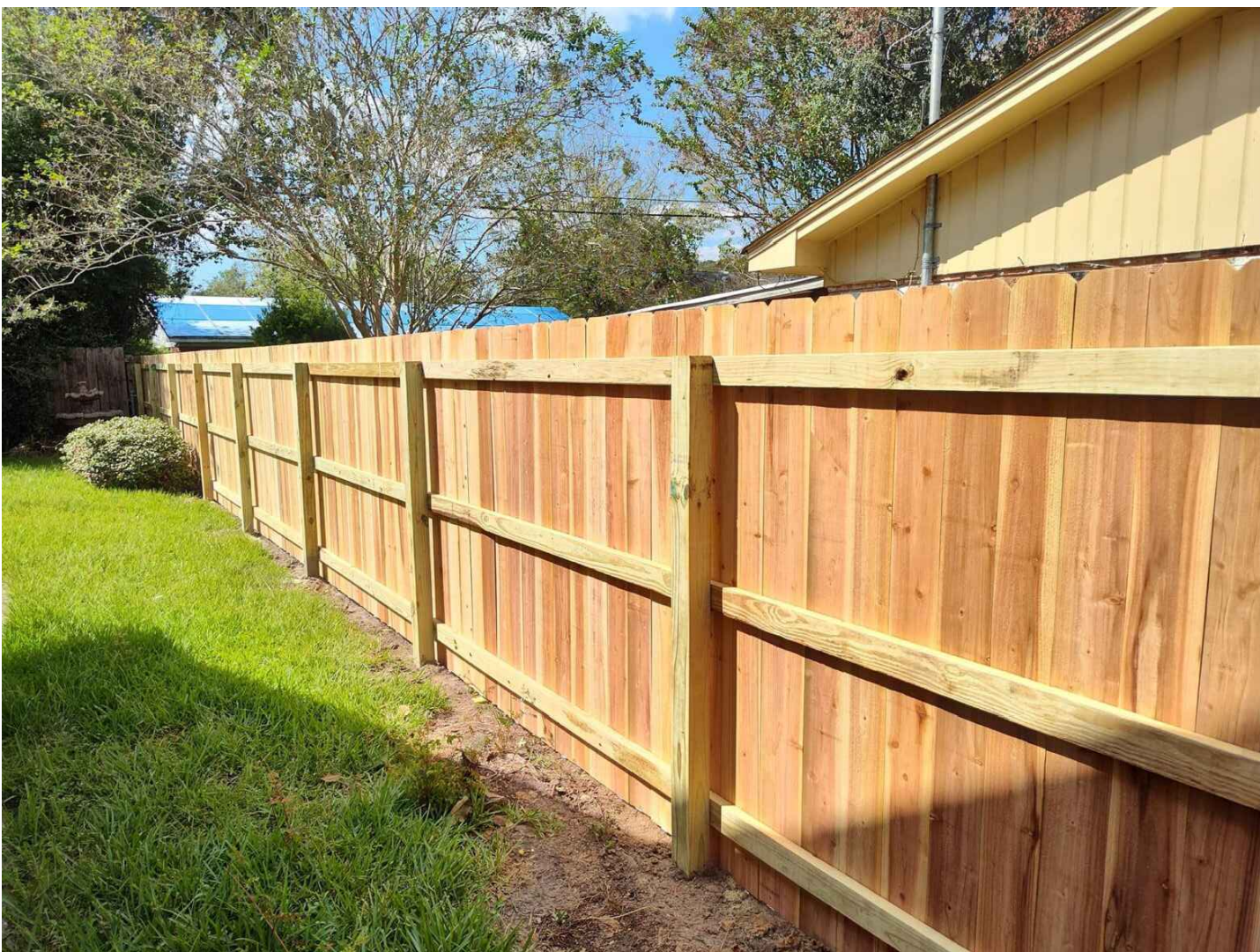
jca

Sheet No.



L-4

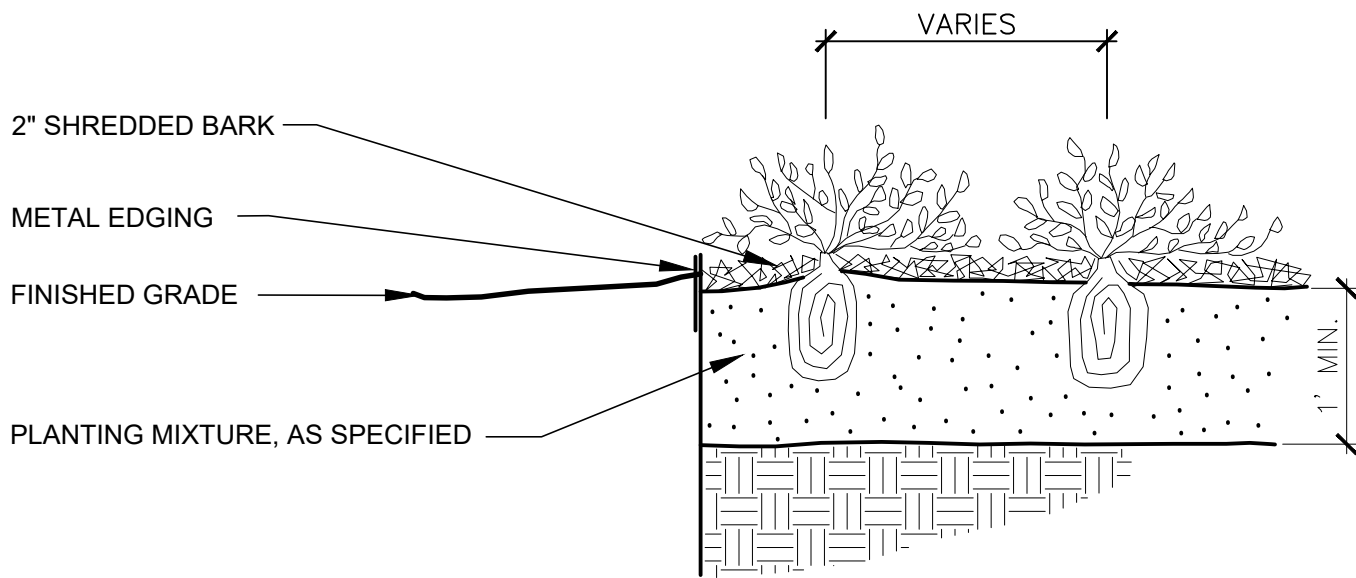
## 6' Pressure Treated Wood Fence



Size: 6' High, 8' Long Panels with Structural Members  
Facing Project Site

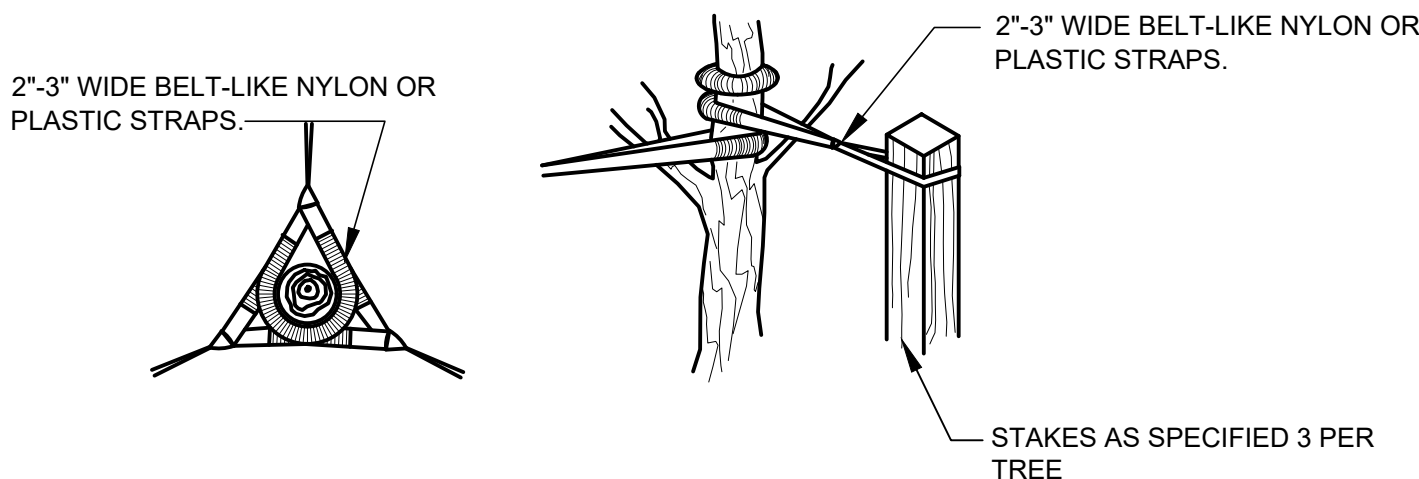
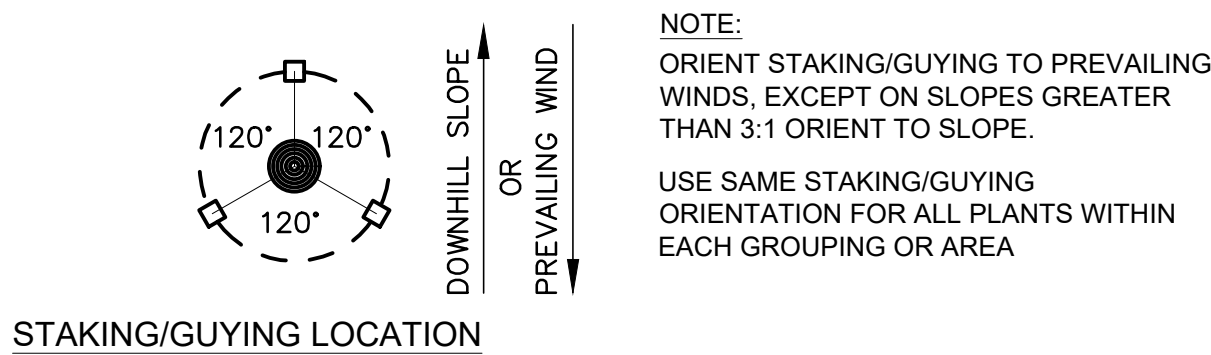
## LANDSCAPE NOTES

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following Township approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
- "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 peat, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The Landscape Architect shall be notified in writing of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- All landscape areas shall be provided with an underground automatic sprinkler system.
- Sod shall be two year old "Baron/Cheriadelpi" Kentucky Blue Grass grown in a sod nursery on loam soil.



## PERENNIAL PLANTING DETAIL

Not to scale



GUYING DETAIL

STAKING DETAIL

## TREE STAKING DETAIL

Not to scale





November 4, 2025

Mr. David Rohr, Planning and Zoning Director  
Hamburg Township  
10405 Merrill Road  
P.O. Box 157  
Hamburg, Michigan 48139

Re: The Crossings at Lakes Trail  
Preliminary Site Plan Review

Dear David:

We have reviewed the plans for the referenced site plan dated October 6, 2025, as prepared by Seiber Keast Lehner. We offer the following comments for your consideration:

1. Plans should be signed and sealed by a Michigan professional engineer.
2. A gravity sanitary sewer collection system with a pump station is proposed. The applicant will be required to go through the Township's sewer use application when appropriate. Ideally, the capacity of the proposed pump station is coordinated with the development to the north.
3. The pool shall not drain to the sanitary sewer.
4. The proposed water main will be reviewed and approved by LCWA prior to submitting for an Act 399 permit. Likely a second water main feed into the development will be required.
5. Insufficient detail is provided to determine any impacts offsite from the grading. The applicant should show proposed contours.
6. The preliminary storm water management calculations are generally in conformance with the Livingston County Drain Commissioner standards with the following comments.
  - a. The time of concentration (TofC) shall be documented and justified.
  - b. The applicant shall provide an analysis and consideration for infiltration.
  - c. Conveyance calculations are required for the final site plan.

- d. Drainage areas for each catch basin should be delineated and the C Factor should be calculated for each.
  - e. There should be consideration of passing the allowable outflow from the development to the north through the detention basin. This would remove that flow from Pearl Street. It is not the intent of this comment to increase the detention on the Lakeland site, only to allow the drainage to pass through.
7. An MDOT permit will be required for the entrance on M-36.
8. Full constructions details will be required to be approved prior to construction, including utility profiles, road sections, sidewalk and ramps, etc

In summary, we offer no objection to the approval of the final site plan contingent upon these comments.

If you have any questions, please contact me at (734) 657-4925.

Sincerely,

 Ted Erickson  
Digitally signed by Ted Erickson  
DN: cn=US  
E=t.ed Erickson@imegcorp.com,  
O=IMEG Consultants Corp.,  
C=US  
Date: 2025.11.04 13:12:41-05'00'

Ted L. Erickson  
Principal

TLE/jdf

\\files\Active\Projects\2024\24002543.00\Design\Civil\Crossings at Lakeland Trail SPR\_20240909.docx



PHONE: 810-231-1000  
FAX: 810-231-4295



P.O. Box 157  
10405 Merrill Road  
Hamburg, Michigan 48139-0157

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**To:** Planning Commissioners

**From:** David Rohr  
Planning and Zoning Director

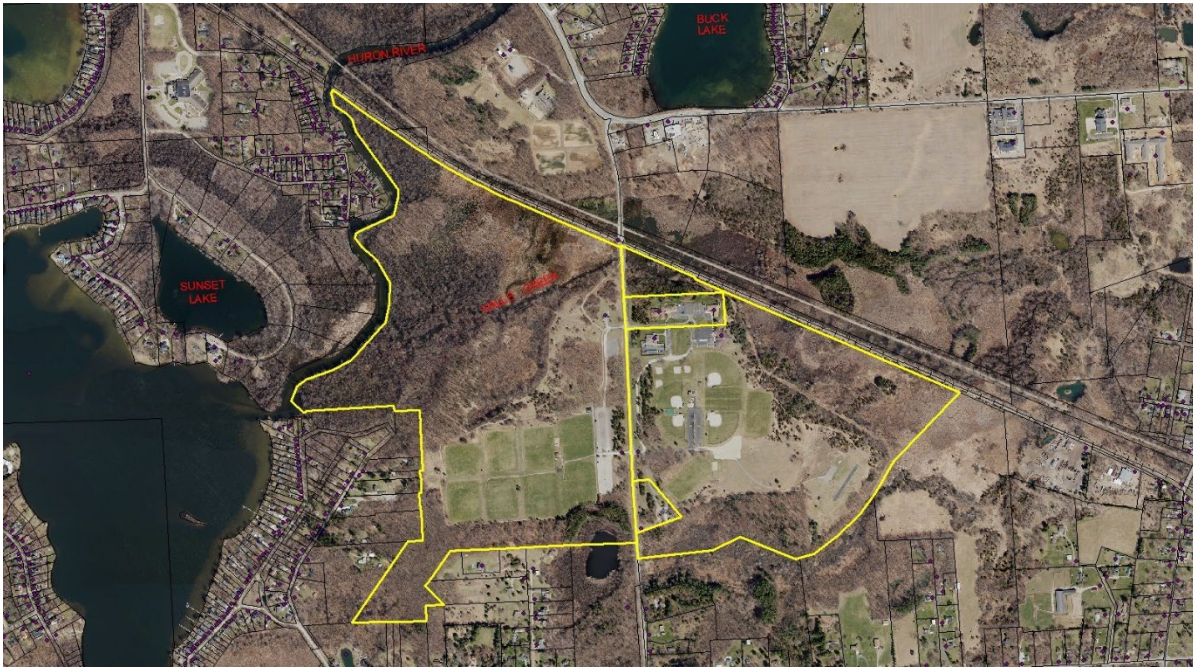
**Date:** November 19, 2025

**Project address and Description:** Zoning Map Amendments PZTA25-0001:

1. Change the zoning of the parcel commonly known as 10405 Merrill Rd. (TID 4715-26-100-028) East, from Medium Density Residential (RA) to Public & Private Recreational Facilities District (PPRF).
2. Change the zoning of the parcel commonly known as 10405 Merrill Rd. (TID 4715-26-100-023) West, from Medium Density Residential (RA)/Natural Rivers (NR)/Waterfront Residential (WFR) to Public & Private Recreational Facilities District (PPRF).

**Owner:** Hamburg Township



**Parcel(s):**

The subject sites (4715-26-100-028) East park (114.2 acres) and (4715-26-100-023) West park total (181 acres), located on Merrill Rd. The subject sites are owned by Hamburg Township and currently zoned Medium Density Residential (RA). The [2020 Master Plan](#) subject sites have a Future Land Use Designation of **Private Recreational Facilities District (PPRF)**.

## **PROJECT DESCRIPTION**

Request from the Hamburg Township Parks Department. - See attached memorandum.

The full list of permitted and special uses in the Medium Density Residential (RA) district is as follows:

**Sec. 36-169. – Permitted Use Table - Medium Density Residential (RA);** See attached.

The full list of permitted and special uses in the **Private Recreational Facilities District (PPRF)** district is as follows:

**Sec. 36-169. – Permitted Use Table – Private Recreational Facilities District (PPRF);** – See attached.

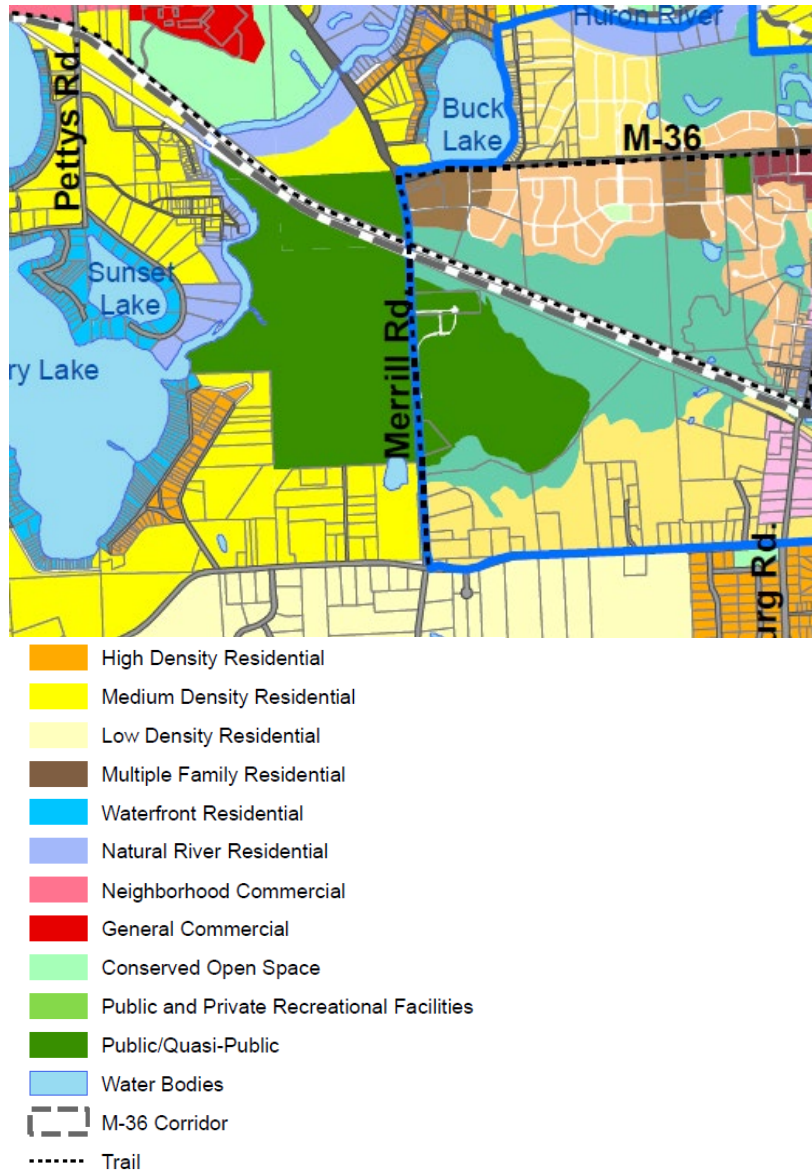
## **PROJECT ANALYSIS**

The Hamburg Township Zoning Ordinance provides for a process, following [Public Act 110 of 2006](#), to change the zoning map but does not provide standards by which a map amendment should be considered. Staff offers the following for consideration by the Planning Commission.

### **1. The zoning map amendment should be compatible with the goals, policies, and future land use map of the Master Plan.**

The 2020 Master Plan envisions the subject sites as Private Recreational Facilities District (PPRF).

## Future Land Use Map



Staff finds that the proposed **Private Recreational Facilities District (PPRF)** could further the following goals and objectives of the Master Plan:

**Goal 1:** *Protect and promote the public health, safety, comfort and general welfare.*

**Objective A:** *Manage the Land Use, Transportation and Environmental aspects of the Township.*

**Objective B:** *Create a healthy and safe community.*



**Goal 2:** *Preserve the natural and historic character of Hamburg Township by accommodating a reasonable amount of development, but ensuring the development is in harmony with the natural features and the unique environmental requirements of the Township.*

**Objective A:** *Direct future development to areas most suited for that type of development.*

**2. Compatibility of the site’s physical, geological, hydrological, and other environmental features with all uses permitted in the proposed zoning district compared to uses permitted under current zoning.**

This site has been used for public recreation for several decades.

**3. If the request is for a specific use, rezoning the land is considered to be more appropriate than amending the list of permitted or special land uses in the current zoning district to allow the use.**

Rezoning in this case makes logical sense given the parcels historical use and future land use designation.

**4. The parcels can meet the requirements of the proposed zoning district.**

Both parcels are conforming and adequately sized to accommodate the current structures and any future utility/site improvements.

*Parcel Id 4715-26-100-028 (East park) 114.2 acres*

*Parcel Id 4715-26-100-023 (West park) 181 acres*

**RECOMMENDATIONS:**

Staff recommends the Planning Commission open the public hearing, take testimony from the applicant and staff as appropriate, discuss, and make a determination on zoning map amendment PZTA25-0004 to change the zoning of the parcel from Medium Density Residential (RA) to **Private Recreational Facilities District (PPRF)**.

**Example Approval Motion:**

The Planning Commission recommends approval of Zoning Map Amendment **PZTA25-0001** to change the zoning of the parcels commonly known as **TID 4715-26-100-028** and **TID 4715-26-100-023** from Medium Density Residential (RA) to **Private Recreational Facilities District (PPRF)**, (Zoning Ordinance Section 36-164) *for the following reasons* and directs staff to forward the request to Livingston County Planning for review.

**Example Denial Motion:**

The Planning Commission denies approval of Zoning Map Amendment **PZTA25-0001** to change the zoning of the parcels commonly known as **TID 4715-26-100-028** and **TID 4715-26-100-023** from Medium Density Residential (RA) to **Private Recreational Facilities District (PPRF)**, (Zoning Ordinance Section 36-164) *for the following reasons* and directs staff to forward the request to Livingston County Planning for review.

**EXHIBITS:**

- Application
- Park Department memo.
- Zoning Ordinance Section 36-169 Permitted Use Table
- Parks and Rec. memo.



PHONE 810-231-1000  
planning@hamburg.mi.us

P.O. Box 157  
10405 Merrill Road  
Hamburg, Michigan 48139

## ZONING AMENDMENT APPLICATION

*Please note: All required information, copies, fees, and other materials as appropriate must be submitted and complete before the Township Planning Commission will set a public hearing date on the Zoning Amendment Application.*

*Application fees and review fees are required at the time of application.*

*Zoning Amendments have application fees and review fees. Review fees shall be placed into a non-interest bearing escrow account. Upon final review, review fee balances shall be returned upon receipt of final billing. The applicant shall be responsible for all costs incurred.*

The undersigned hereby makes application for a Zoning Amendment for: (Check all that apply)

1. **TYPE OF PROJECT:** ☐ Zoning Text Amendment ☒ Zoning Map Amendment

2. **PROJECT NAME:** Township Parkland Rezoning Submittal Date: 8-5-25

3. **PROJECT ADDRESS:** 10405 Merrill Rd., Hamburg, MI 48139

Tax Code Numbers: 15 - 26-100-028 15 - 26-100-023 15 - \_\_\_\_\_

15 - \_\_\_\_\_ 15 - \_\_\_\_\_ 15 - \_\_\_\_\_

☒ Metes & Bounds Parcel ☐ Subdivision \_\_\_\_\_ Lot Numbers: \_\_\_\_\_

4. **ZONING MAP AMENDMENT:** (please attached the existing zoning map and a proposed zoning map as a separate document)

Existing Zoning District Classification: RA Proposed Zoning District Classification PPRF

Number of Lots Proposed: \_\_\_\_\_ Acreage of Project: 114 3 181

5. **ZONING TEXT AMENDMENT:** (please attached the existing zoning ordinance and the proposed revisions as a separate document)

Zoning Ordinance Section proposed to be amended \_\_\_\_\_

6. **PROJECT DESCRIPTION (reason for amendment):** \_\_\_\_\_

7. **OWNER/PROPRIETOR INFORMATION:**

Name: Hamburg Township Phone Number(s): 810-231-1000  
Email: \_\_\_\_\_ Address: 10405 Merrill Rd.  
City: Hamburg State: MI Zip: 48139



8. **APPLICANT:**

Name: Hamburg Township Phone Number(s): 810-231-1000  
 Email: \_\_\_\_\_ Address: 10405 Merrill Rd.  
 City: Hamburg State: MI Zip: 48139

**ZONING AMENDMENT PROCESS: (Zoning Ordinance, Article 12)**

1. Application. Petitions for amendments by individual property owners shall be submitted to the Zoning Administrator on a standard application form provided and shall be accompanied by a fee in accordance with the duly adopted schedule of fees, to cover administrative and publication costs. No part of such fee shall be returnable to the petitioner if the public hearing is held.
2. Referral to Planning Commission. All proposals for amendment shall be referred to the Planning Commission for their review and recommendation. The Planning Commission shall consider each proposal for amendment in terms of its own judgment on particular factors related to the individual proposal, the most likely effect on the community's physical development, and conformance with the Township Master Plan. The Planning Commission may recommend any additions or modifications to the original amendment proposal.
3. Public Hearing. Upon receipt of an application for an amendment, the Planning Commission shall hold a public hearing in accordance with the notification procedures described in Section 3.8.
4. Upon receipt of recommendation from the Planning Commission and the County Planning Commission, the Township Board shall consider the proposed amendment. The Township Board may hold additional hearings it deems necessary. Notice of a public hearing held by the Township Board shall be published in a newspaper of general circulation in the Township not more than fifteen (15) days nor less than five (5) days before the hearing.
5. If the Township Board shall deem any changes to the proposed amendment advisable, it shall refer the same to the Planning Commission for a report within a time specified by the Township Board. After receiving the report, the Township Board shall grant a hearing on the proposed amendment to a property owner who by certified mail addressed to the Township Clerk requests a hearing. The Township Board shall request the Planning Commission to attend the hearing.
6. Thereafter, the Township Board may adopt the amendment with or without changes by majority vote in accordance with procedures of Act 184 of 1943, as amended.
7. No application for a rezoning which has been denied by the Township Board shall be resubmitted for a period of one (1) year from the date of the last denial, except on grounds of newly discovered evidence or proof of changed conditions found upon inspection by the Township Board to be valid.
8. Amendments adopted by the Township Board shall be filed with the Township Clerk and one notice of amendment adoption shall be published in a newspaper of general circulation in the Township within fifteen (15) days after adoption. The notice of amendment adoption shall contain the following information: either a summary of the regulatory effect of the amendment, including the geographic area affected, or the text of the amendment; the effective date of the amendment; and, the time and place where a copy of the amendment may be purchased or inspected.

**APPLICANT CERTIFICATION:**

I hereby certify that all uses for which this application is made shall conform to the Ordinances of Hamburg Township, Livingston County and the State of Michigan. All information submitted as a part of the zoning amendment application is to my knowledge accurate. If the information is determined either now or in the future to be inaccurate any permits granted for the incorrect information shall be void and any structures built or uses approved may be in violation of the required ordinances and must otherwise be brought into compliance with all regulations.

I further agree that any deviation from the application submitted or the breach of any additional safeguards, conditions or requirements the Hamburg Township may impose in granting this application shall constitute a violation of the Ordinance and invalidate the permit granted.

PROPERTY OWNERS SIGNATURE: \_\_\_\_\_

DATE: 10/15/25

\*If an agent submits the project to the Township for the property owner a letter authorizing must be submitted.



10405 Merrill Road  
P.O. Box 157  
Hamburg, MI 48139  
(810) 231-1000  
[www.hamburg.mi.us](http://www.hamburg.mi.us)

---

**TO:** Zoning Department, Planning Commission & Township Board of Trustees

**FROM:** Deby Henneman, Township Coordinator

**DATE:** September 11, 2025

**AGENDA ITEM TOPIC:** Zoning Map Amendment Request for Manly Bennett Parklands from RA to PPRF

Number of Supporting Documents: 6

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### **Requested Action**

To approve Zoning Map Amendment for both Manly Bennett Parkland parcels, 15-26-100-028 (East Park) and 15-26-100-023 (West Park), from its current zoning of RA to PPRF - Public & Private Recreational Facility District, as grants secured through the MDNR Trust Fund, and pursuant to the written Agreement(s) signed by the Township, require that the parcels remain parkland in perpetuity.

### **Background**

In the 1980s, Hamburg Township was the recipient of some grant funding through the MDNR and as part of the process agreed to retain the land as parkland in perpetuity. At the time, the parcel was used as a whole for the agreement. In 1986 the Township Hall and Senior Center was built, and then in 2001 the Police Station and Library. When a later grant was applied for, it was realized that these buildings were built on parcels which the Township had agreed to retain as parkland, and a mitigation process was started.

In late 2008, the Township Board agreed to purchase property which the MDNR agreed would be of the same value, and in early 2011 that mitigation process was completed. That parcel was developed into the Village Trailhead and was also awarded funds in 2013 under the MDNR Trust Fund grant process and should also be labeled as parkland.

In early 2022 when preparing for the West Park Trust Fund grant #TF22-0107, I needed to secure documents confirming the boundaries for both East and West Park. It was at that time that I uncovered that the lot splits intended for the municipal buildings were drawn up but never completed. It was discussed that it would be in the best interest of the Township to have the parcels clearly defined for future grants. In late 2023, the boundaries for West Park needed to be clarified, and the attached map was added to the funding agreement. In early 2024 Alpine Land Surveying was hired to complete a survey. That survey has now been completed, so the final step is to have the parkland re-categorized into a Zoning type that preserves the future parkland as intended, and allows the municipal buildings more flexibility with use of their specific parcels.

Because parklands have different needs for signage, rules & regulations, and use, having a PPRF designation makes sense for our Township and the growing need for municipal parkland. MDNR has reviewed and approved this request.

FAX 810-231-4295  
PHONE 810-231-1000



P.O. Box 157  
10405 Merrill Road  
Hamburg, Michigan 48139

HAMBURG TOWNSHIP BOARD OF TRUSTEES  
SPECIAL MEETING  
HAMBURG TOWNSHIP HALL BOARD ROOM  
MONDAY, NOVEMBER 17, 2008  
6:00 P.M.

1. Call to Order

Supervisor Pine called the meeting to order at 6:02 p.m.

2. Pledge to the Flag

3. Roll Call of the Board

Present: Hohl, Menzies, Hardesty, Pine, Balon-Vaughn, Bitondo

Absent: Majoros

Also Present: John Drury, Township Attorney, Angela Rabb, Director of Accounting

4. CALL TO THE PUBLIC

Call was made with no response.

5. Approval of the Agenda

Motion by Balon-Vaughn, supported by Menzies to approve the Agenda as presented.

Voice Vote: AYES: 6 NAYS: 0 ABSENT: 1 (Majoros) MOTION CARRIED.

6. Old Business

03042.017C Parkland Conversion / MDNR

Balon-Vaughn presented the Board with a proposal from Livingston Community Bank for the loan necessary for the Township to purchase property from Joe Vallerdita as negotiated. The proposal from Livingston Community Bank quotes an interest rate of 4.65%, fixed rate for 5 years, and an amortization table for 10 years with a balloon payment at the end of 5 years.

John Drury reported that Jim Keifer, Bond Counsel, has reviewed and given his approval for this type of loan and provided the Township with the Resolution for the Installment Purchase Agreement.

Hardesty moved the Resolution, supported by Bitondo to authorize the Installment Purchase Agreement as submitted by Jim Keifer, Bond Counsel.

MOTION & SUPPORT WITHDRAWN.

Hohl confirmed with John Drury that, statutorily, a budget amendment must be approved before the Resolution to spend money can be approved.



Motion by Hardesty, supported by Bitondo to approve a budget amendment in the amount of \$24,704.21 from the General Fund 101 to the Capital Projects Fund 401.

Voice Vote: AYES: 6      NAYS: 0      ABSENT: 1 (Majoros)      MOTION CARRIED.

Motion by Hardesty, supported by Bitondo to allow Balon-Vaughn to abstain from voting on the Resolution to approve the Installment Purchase Agreement by virtue of her position on the Board of Directors of Livingston Community Bank.

Voice Vote: AYES: 6      NAYS: 0      ABSENT: 1 (Majoros)      MOTION CARRIED.

Hardesty moved the Resolution, supported by Bitondo to approve the Installment Purchase Agreement as prepared by Jim Keifer, Bond Counsel.

Roll Call Vote: Hohl – Y, Menzies – Y, Hardesty – Y, Pine – Y, Balon-Vaughn – ABSTAIN,  
 Bitondo – Y, Majoros – Absent      RESOLUTION PASSED.

Attorney John Drury explained the reason for this land purchase. He stated that when Township Hall Complex was constructed, the Township inadvertently built on an area designated as parkland by the MDNR. Sometime later, when the Township was submitting applications for MDNR grant funds, we were notified that there was a problem. In order to rectify this, the MDNR mandated that the Township purchase land at another location in the Township comparable in acreage and value.

Since that time, the Township has been working to find the solution but until this point, could not find property that matched the criteria set by the MDNR. Finally, the opportunity arose to purchase Mr. Vallerdita's property, and while we're still waiting for final approval from MDNR, Mr. Drury is confident that this purchase will meet the criteria and allow the Township to close the books on this issue.

#### 11082.004 Employee Salary Rates 2008-2009 FY

Pine began the discussion by stating for the record, the following:

*"I don't think that we can measure performance objectively without having performance objectives in place and none have been established for our employees. The proposal that came out from the Personnel Committee was based on subjective criteria."*

*"I feel there's no great urgency to provide pay increases at this time with all the recent layoffs that have been announced in the private sector and the impending bankruptcy of GM before year-end, I don't think there's a lot of upward pressure on competitive pay however it's the next board that needs to balance the budget in the next four years and I think they should have the chance to weigh in on compensation. I value our workforce very highly, we have some hard workers, we have some extremely talented individuals in our workforce and they deserve compensation for what they're doing. However, with this being the very end of this Board and the next Board having financial issues and financial challenges, I'm of the opinion that the next Board ought to get into this quickly."*

Hardesty's responded stating that 3 years ago, time and money were spent to complete a compensation study, which this Board approved, with a three-year roll out plan. Year one of the three year plan was adopted, but subsequent years have not followed the plan.

Further, she stated that her proposal incorporated the recommendations made by the Personnel Committee and that there is money in the General Fund to move forward with these recommendations as the health insurance premiums increased by 4%, but 15% was budgeted in each department.



RICK SNYDER  
GOVERNOR

STATE OF MICHIGAN  
DEPARTMENT OF NATURAL RESOURCES & ENVIRONMENT  
LANSING



Item 11.

January 26, 2011

Nelson ✓  
Haymon  
CRS  
Elected

Mr. Bob Anderson  
U.S. Department of the Interior  
National Park Service – Midwest Region  
601 Riverfront Drive  
Omaha, NE 68102-2571

Dear Mr. Anderson:

SUBJECT: Formal Conversion Proposal for Hamburg Township (Livingston  
County)  
Manly W. Bennett Memorial Park (Merrill Field)  
Land and Water Conservation Fund Grants 26-01104B and 26-01274

The Department of Natural Resources and Environment (DNRE), Grants Management requests the National Park Service's review and approval of the formal conversion proposal for Hamburg Township, Livingston County. Hamburg Township has worked diligently to complete the conversion proposal for Manly W. Bennett Memorial Park.

In 1980, Hamburg Township received a development grant (26-01104B) in the amount of \$25,044.83 for a concession/restroom building with water, sewage disposal and electricity, site restoration and landscaping, parking area and a LWCF sign. In 1983, the township received another development grant (26-01274) in the amount of \$29,133 for landscaping, entrance signs, road and parking lot improvements, play structure asphalt walkway, litter barrels, bleachers, service gate and a LWCF sign.


In 1986, the township hall and senior center was constructed, and in 2001 the police station and library was constructed within the 6(f)3 boundaries of the above-referenced LWCF grants. The proposed conversion proposal would delete these four municipal buildings (12.01 acres) from the project boundaries and the proposed mitigation parcel, railroad corridor (7.41 acres), would replace the land lost due to the conversion. Appraisals were conducted on both parcels of land, and it was determined that the mitigation parcel's fair market value exceeded the value of the converted property.

Mr. Bob Anderson  
Page 2  
January 26, 2011

The DNRE supports the proposed mitigation parcel of land which connects two segments of the existing Lakeland Recreation Trail. It is the DNRE's belief that this mitigation parcel would be a great benefit for the public in southeast Michigan.

If you have any questions regarding this formal conversion proposal, please contact Ms. Shamika Askew-Storay at 517-241-3128 or [askews2@michigan.gov](mailto:askews2@michigan.gov). If you wish to contact us in writing, our address is: **Grants Management, Department of Natural Resources and Environment, P.O. Box 30425, Lansing, MI 48909-7925.**

Sincerely,



Steven J. DeBrabander, Manager  
Grants Management  
517-241-3687  
[debrabanders@michigan.gov](mailto:debrabanders@michigan.gov)

SD:lh

cc: Mr. Jim Krejci, National Park Service  
[REDACTED]  
Mr. Walter Bolt, Mannik & Smith Group, Inc.  
Mr. John Drury, Kizer Law Firm, P.C.  
Mr. John Cherry, DNRE  
Ms. Shamika T. Askew-Storay, DNRE



## RESOLUTION

### AMENDMENTS – MITIGATION of LOST PARKLANDS LAND and WATER CONSERVATION FUND PROJECT AGREEMENT 26-01104B and 26-01274, AMENDMENT No. 1 RECREATION BOND FUND PROGRAM PROJECT AGREEMENT BF89-092, AMENDMENT No. 5

At a regular meeting of the Board of Trustees of the Township of Hamburg, Livingston County, State of Michigan, held at the Hamburg Township Hall on March 22, 2011, beginning at 10:00 a.m., there were:

**PRESENT:** Carlson, Hahn, Hohl, Menzies, Neilson, Semprevivo

**ABSENT:** Dolan

and the following preamble and resolution were moved for adoption by Carlson supported by Neilson:

**WHEREAS**, all requirements for the mitigation of Lost Parklands associated with Project 26-01104B, 26-01274, and BF89-092 have been fully resolved to the satisfaction of the Michigan Department of Natural Resources and Environment, and

**WHEREAS**, amendments to the original Project Agreements are necessary to properly amend the legal description and boundary maps that have resulted from this conversion.

**NOW THEREFORE BE IT RESOLVED**, that the Hamburg Township board of Trustees hereby directs Hamburg Township Supervisor, Patrick Hohl, to sign copies of amendments to Projects, 26-01101B, 26-01274, and BF89-092 as provided on March 4, 2011 by The Michigan Department of Natural Resources and Environment.

Upon a roll call vote of the Board, the following voted:

**AYES:** Carlson, Hahn, Hohl, Menzies, Neilson, Semprevivo


**NAYS:** None

**ABSENT:** Dolan

Resolution Declared: Adopted

## CERTIFICATION

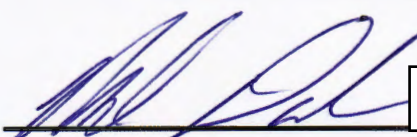
I, James A Neilson, being the duly elected Clerk of the Township of Hamburg, Livingston County, Michigan, hereby certify that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board, and the vote taken thereon, at the meeting described in the introductory paragraph, at which time a quorum was present and remained throughout; (2) the original of such resolution is on file in the Clerk's office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended) and (4) minutes of such meeting were kept and have been or will be made available as required thereby.



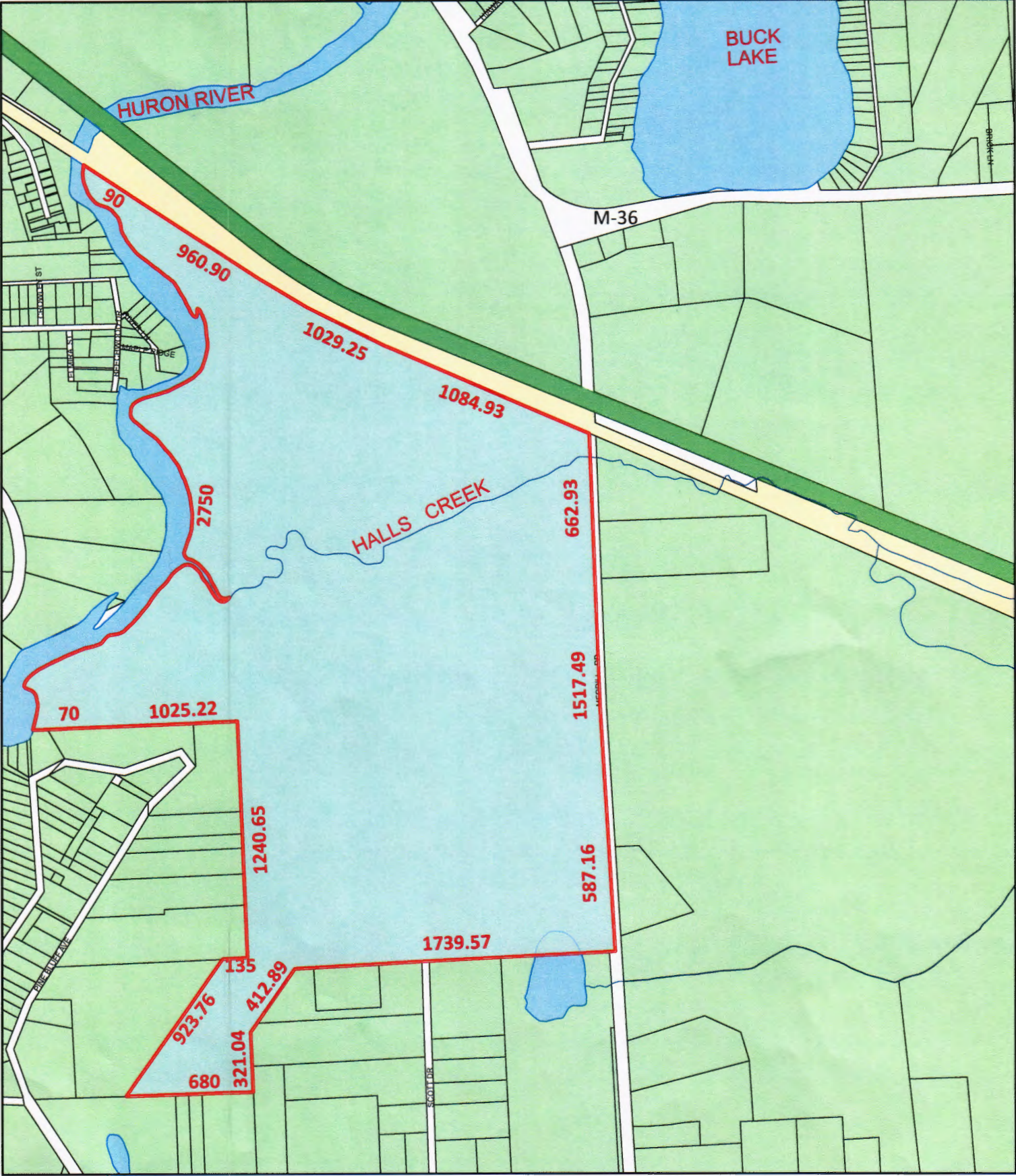
James A. Neilson  
Hamburg Township Clerk



# HAMBURG TOWNSHIP WEST PARK

  
Mike Dolan, Hamburg Township Clerk-10/3/23

Item 11.

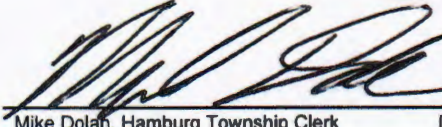



0 500 1,000 2,000 Feet

435



PROJECT BOUNDARY MAP  
TF22-0107  
BENNETT PARK RENOVATIONS & WATER TRAIL ACCESS IMPROVEMENTS

  
Mike Dolan, Hamburg Township Clerk  
Item 11. 3  
Date 







**Alpine Land Surveying**  
Your Flood Zone Expert

376 Beech Farm Circle, Suite 1293, Highland, MI 48357

Phone: 810-207-8050

April 24, 2024

Patrick Hohl  
Township Supervisor  
10405 Merrill Road  
Hamburg, MI 48139

Re: Parcel Split for 6 Parcels / PA 132

Mr. Hohl:

We are sending this letter to confirm the costs associated with completing a Parcel Split resulting in 6 parcels for the property's located at 10405 Merrill Road, Hamburg, MI (Current Parcel #'s 4715-26-100-017, 4715-26-100-016, and 4715-26-100-15).

**PROJECT DESCRIPTION / SCOPE OF SERVICES:**

STEP 1: We will complete a Preliminary Drawing which will illustrate the 6 newly proposed parcels, together with existing structures. = \$5000

STEP 2: Once the Preliminary Drawing is approved, we will move forward with your final PA132 Parcel Split Drawing. This will include setting irons and writing new legal descriptions for the 6 new parcels = \$5280

Total cost to complete project - \$10,280

**FEES / PAYMENT / TIMEFRAME:**

The Preliminary Drawing should take approximately 6 – 8 weeks to complete, provided there are no unforeseen problems. If you would like me to proceed with scheduling, please sign and date a copy of this letter and return it to our office, along with a check in the amount of \$5000 (cost of STEP 1). The balance will be due when the final drawing is complete and ready for delivery.

Please feel free to contact me if you have any additional questions or concerns.

Sincerely,

Karol L. Grove  
Professional Land Surveyor #39075

I hereby accept the terms as described above and would like you to proceed with the work as described.

Name

5-10-24

Date

**From:** [Campbell, Erin \(DNR\)](#)  
**To:** [Deby Henneman](#)  
**Cc:** [Dietz, Kelsey \(DNR\)](#); [Dennison, Charles \(DNR\)](#); [Hegdal, Sage \(DNR\)](#)  
**Subject:** RE: Zoning Map Amendment & Historical Mitigation - Manly Bennett Park - Hamburg Township - Request for Review and Support  
**Date:** Friday, September 5, 2025 9:31:36 AM

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Hello Deby,

Your email made its way to us (Kelsey and I) in the DNR recreation grants section. Thank you for your patience while we sorted through the historical files to be sure of the history (conversion) and current encumbrances at Manly Bennet Park (and West Park).

We appreciate you checking with us on the zoning changes proposed for the encumbered parkland as part the effort to split off the previously converted parcels. We don't typically provide formal approval or comment on local zoning issues. In this case, you could use this email as documentation that we are in support of the proposed zoning changes. Property that is grant-assisted and encumbered in perpetuity should be zoned as some type of public parkland as a best practice. We are in support of the zooming changing from RA (Residential) to PPRF (Public & Private Recreational Facility District).

Please let us know if you have any additional questions or comments regarding the encumbrances, we value the open communication.

Thank you,

Erin Campbell  
 Compliance and Stewardship Specialist  
 Grants Management Section  
 Michigan Department of Natural Resources  
 Call/text: 269.300.9698 - [CampbellE6@Michigan.gov](mailto:CampbellE6@Michigan.gov)

---

**From:** Deby Henneman <[dhenneman@hamburg.mi.us](mailto:dhenneman@hamburg.mi.us)>  
**Sent:** Tuesday, August 5, 2025 12:50 PM  
**To:** Dennison, Charles (DNR) <[DennisonC@michigan.gov](mailto:DennisonC@michigan.gov)>; Hegdal, Sage (DNR) <[HegdalS@michigan.gov](mailto:HegdalS@michigan.gov)>  
**Subject:** Zoning Map Amendment & Historical Mitigation - Manly Bennett Park - Hamburg Township - Request for Review and Support  
**Importance:** High

**CAUTION: This is an External email. Please send suspicious emails to [abuse@michigan.gov](mailto:abuse@michigan.gov)**

Hi Chuck & Sage:

Hope this message finds you both well! I wasn't sure who this would go to, so thought I would start with you both and figured you could let me know who should get included.

We had received some funding in the 1980s for the parks and in the 1990s we built the Municipal buildings on those parcels. When we applied for another grant in the 2000s is when the error was realized. We went through the Mitigation process to “replace” the park property used for the Municipal complex and purchased the Village Trailhead parcel in 2011. It has since been developed with a Trust Fund grant. When I started pursuing grants for Manly Bennett, it was realized that the work was done to split the parcels and was approved by the DNR when property values were compared, but had never been finalized. That work has been completed and I am attaching the survey with the new parcels giving each of the 4 buildings their own ID.

I am now working with the Zoning Department to get the park parcels rezoned from RA (Residential) to PPRF (Public & Private Recreational Facility District) to further secure these parcels as parkland in perpetuity, and to allow us a little more flexibility with the zoning requirements as relates signage, use, etc. I just wanted to pass this information along to the MDNR to receive their blessing on this Map Amendment request, and to provide the updated Survey information for what is known as Manly Bennett Park East. My next request for a Map Amendment will be the Village Trailhead parcel, as well as the parcel known as Manly Bennett Park West, which should also be PPRF moving forward.

I am attaching my memo and supporting docs, as well as the Zoning Administrator’s memo to the Planning Commissioners and a copy of the Survey. If you could please forward a letter in support of these requested changes for my file, I would appreciate it. If you need further information, or have any questions, please don’t hesitate to reach out.

Thank you so much!

Best,

Deby Henneman, ADAC  
Hamburg Township Coordinator  
Parks, ADA, Grants, Ordinances  
(810) 222-1124  
[dhenneman@hamburg.mi.us](mailto:dhenneman@hamburg.mi.us)

*Please note: The Hamburg Township Offices are closed on Fridays*

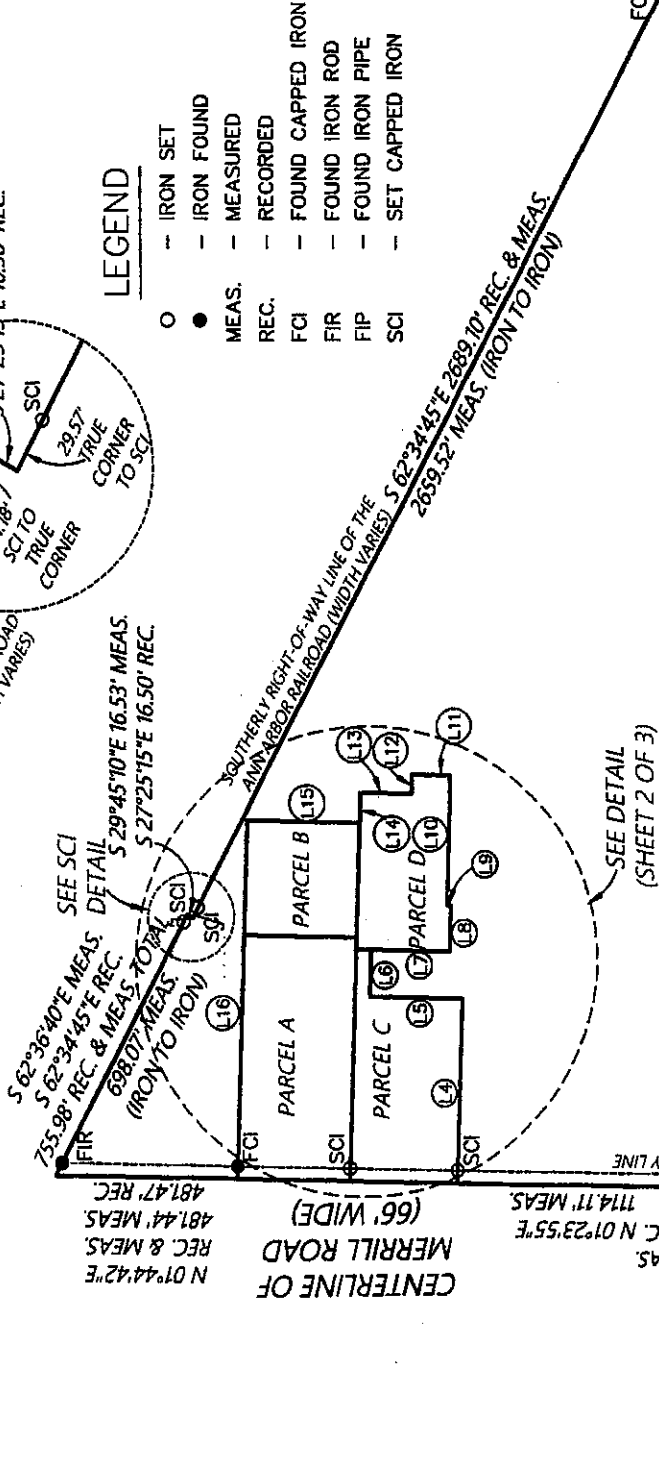
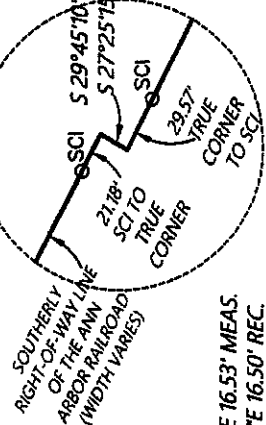


CERTIFICATE OF SURVEY

Prepared For: HAMBURG TOWNSHIP  
Legal Descriptions:  
(SEE SHEET 6 OF 6)

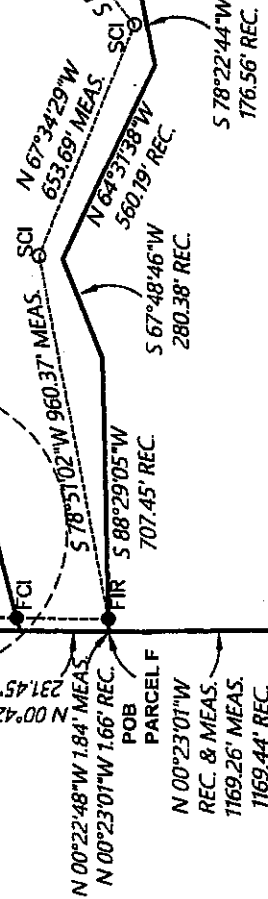
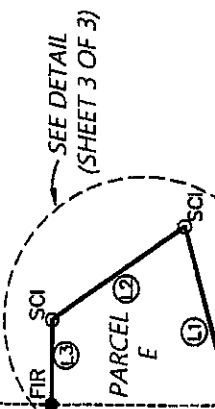
DETAIL OF  
PARCEL F

SCI DETAIL  
SCALE 1" = 100'



- LEGEND
- -- IRON SET
  - -- IRON FOUND
  - MEAS. -- MEASURED
  - REC. -- RECORDED
  - FCI -- FOUND CAPPED IRON
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  - FIP -- FOUND IRON PIPE
  - SCI -- SET CAPPED IRON

PARCEL F  
114.2 ACRES

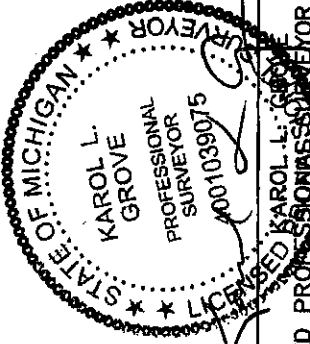


PARCEL LINE DETAIL	
LINE	BEARING & DISTANCE
1	N 74°55'43" E 518.56' MEAS.
2	N 34°21'48" W 422.97'
3	N 89°22'46" W 251.11' MEAS.
4	S 88°21'50" E 476.98'
5	N 01°23'55" E 245.00'
6	S 88°36'05" E 123.00'
7	S 01°24'00" W 206.42'
8	S 88°36'05" E 120.00'
9	N 01°23'53" E 10.00'
10	S 88°36'05" E 340.00'
11	N 01°23'55" E 100.00'
12	N 88°36'05" W 50.00'
13	N 01°23'55" E 134.54'
14	N 88°36'05" W 78.41'
15	N 01°37'15" E 299.53'
16	N 88°21'40" W 931.76'

NOTES:  
NO RECENT TITILEWORK WAS SUPPLIED,  
THEREFORE ALL EASEMENTS OF RECORD  
MAY NOT BE SHOWN.

JUL 16 2025

I hereby certify that I have surveyed the above described on April 3, 2025, and that the relative positional precision of each corner is within limits accepted by the Michigan Professional Surveyors, and that all of the requirements of Act No. 132, P.A. 1970 (as amended) have been complied with.



ALPINE  
Land Surveying, Inc.

376 BEECH FARM CIRCLE SUITE # 1293  
HIGHLAND, MICHIGAN, 48357  
PHONE: 810-207-8050

FIELD: KG DATE: 04-03-2025  
DRAWN: DJS JOB NO: 24-6720  
CHECKED: KG SHEET: 1 OF 6  
REVISED:

LICENSED PROFESSIONAL SURVEYOR #4001039075

CERTIFICATE OF SURVEY

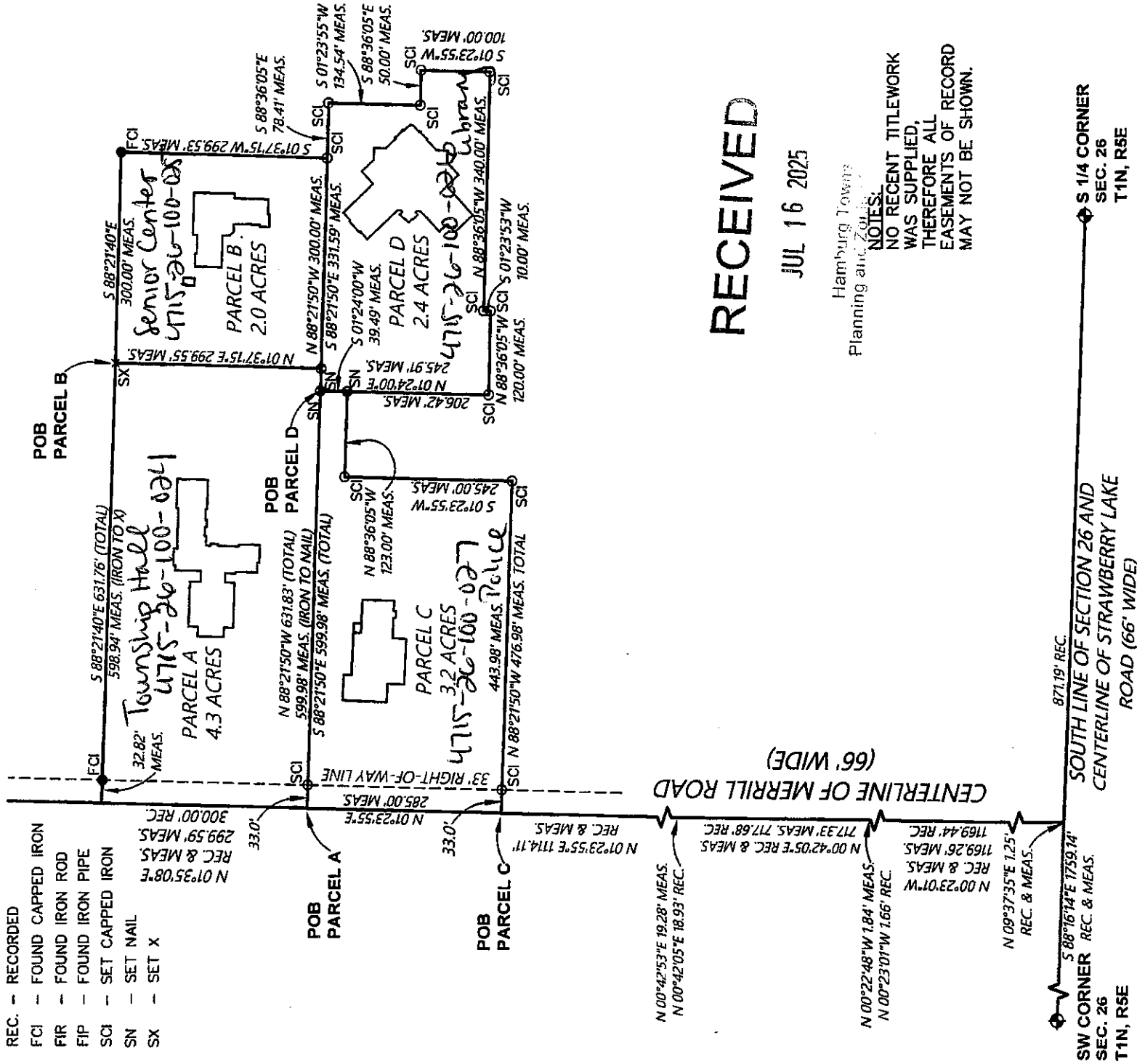
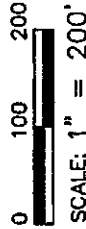
Prepared For: HAMBURG TOWNSHIP

Legal Descriptions:  
(SEE SHEET 5 OF 6)

LEGEND

- - IRON SET
- ⊗ - SET NAIL
- x - SET X
- - IRON FOUND
- MEAS. - MEASURED
- REC. - RECORDED
- FCI - FOUND CAPPED IRON
- FIR - FOUND IRON ROD
- FIP - FOUND IRON PIPE
- SCI - SET CAPPED IRON
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- SX - SET X

DETAIL OF  
PARCELS  
A THROUGH D



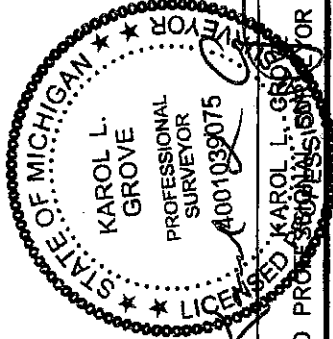
RECEIVED

JUL 16 2025

Hamburg Township  
Planning and Zoning

NOTES:  
NO RECENT TITLEWORK  
WAS SUPPLIED,  
THEREFORE ALL  
EASEMENTS OF RECORD  
MAY NOT BE SHOWN.

I hereby certify that I have surveyed the land herein platted and described on April 3, 2025, and that the relative positional precision of each corner is within limits accepted by the practice for Michigan Professional Surveyors, and that all of the requirements of Act No. 132, P.A. 1970 (as amended) have been complied with.



LICENSED PROFESSIONAL SURVEYOR #4001039075

**ALPINE**  
Land Surveying, Inc.

376 BEECH FARM CIRCLE SUITE # 1283  
HIGHLAND, MICHIGAN, 48357  
PHONE: 810-207-8050

FIELD:	KG	DATE:	04-03-2025
DRAWN:	DJS	JOB NO:	24-6720
CHECKED:	KG	SHEET:	2 OF 6
REVISED:			

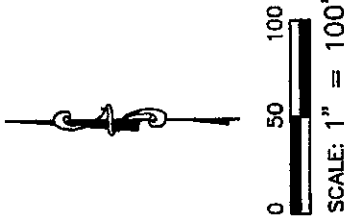
Item 11.

CERTIFICATE OF SURVEY

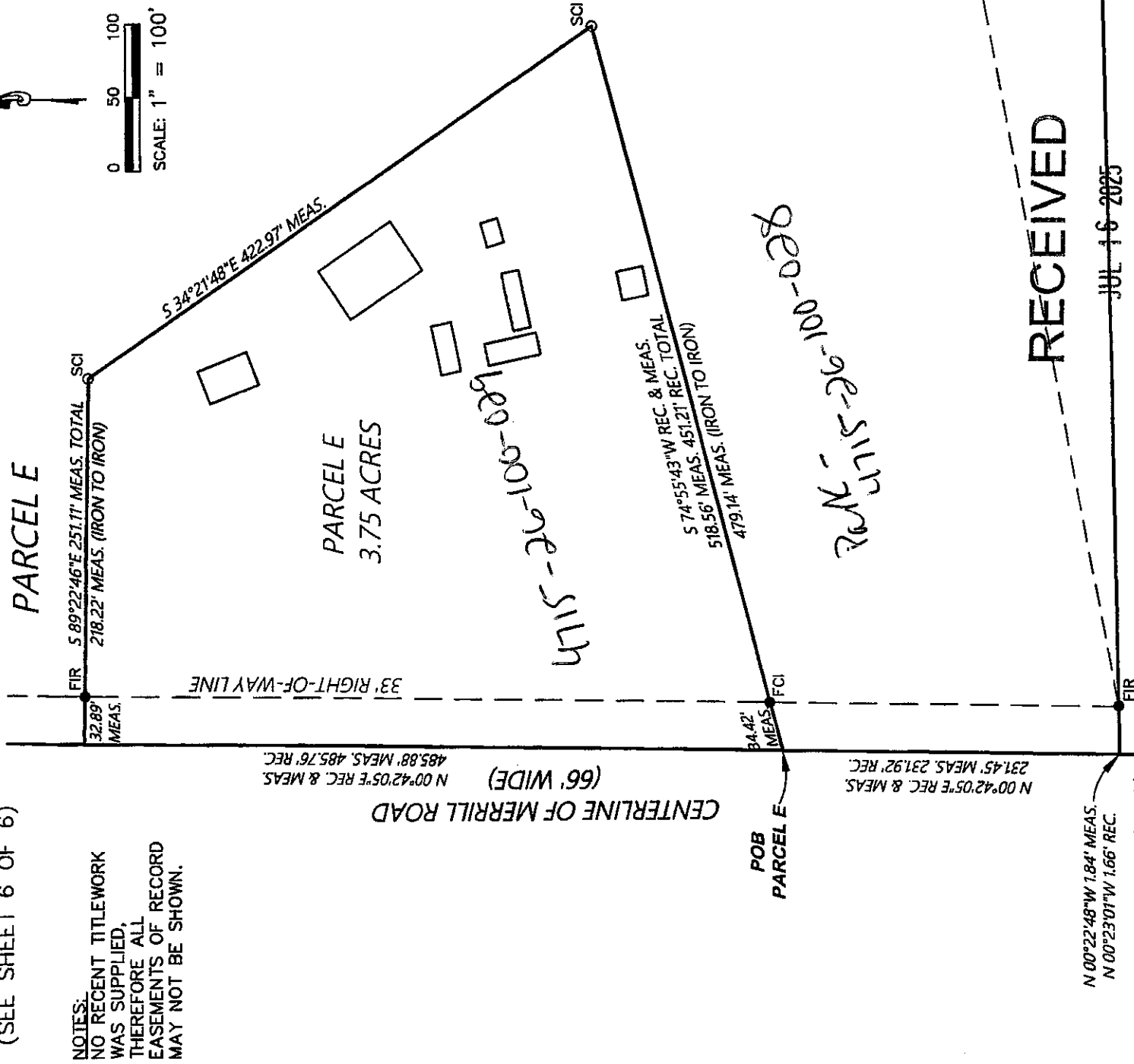
Prepared For: HAMBURG TOWNSHIP

Legal Description:  
(SEE SHEET 6 OF 6)

NOTES:  
NO RECENT TITLEWORK  
WAS SUPPLIED,  
THEREFORE ALL  
EASEMENTS OF RECORD  
MAY NOT BE SHOWN.



DETAIL OF  
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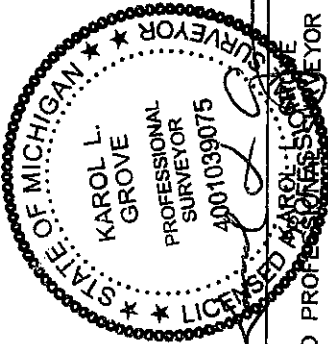


Hamburg Township  
Planning and Zoning Department

LEGEND

- - IRON SET
- - IRON FOUND
- MEAS. - MEASURED
- REC. - RECORDED
- FCI - FOUND CAPPED IRON
- FIR - FOUND IRON ROD
- SCI - SET CAPPED IRON

I hereby certify that I have surveyed the land herein platted and described on April 3, 2025, and that the relative positional precision of each corner is within limits accepted by the practice for Michigan Professional Surveyors, and that all of the requirements of Act No. 132, P.A. 1970 (as amended) have been complied with.



376 BEECH FARM CIRCLE SUITE # 1293  
HIGHLAND, MICHIGAN, 48357  
PHONE: 810-207-8050

ALPINE  
Land Surveying, Inc.

FIELD: KG DATE: 04-03-2025  
DRAWN: DJS JOB NO: 24-6720  
CHECKED: KG SHEET: 3 OF 6  
REVISED:

LICENSED PROFESSIONAL SURVEYOR #4001039075

Item 11.



CERTIFICATE OF SURVEY

Prepared For: HAMBURG TOWNSHIP

PARENT TRACT LEGAL DESCRIPTIONS:

PARCEL ID: 15-26-100-015

A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence N 09°00'00" E, 1.25 feet along the centerline of said Merrill Road; thence continuing along said centerline the following 3 courses: N 00°23'00" W, 1171.10 feet and N 00°42'00" E, 736.61 feet and N 01°00'00" E, 1399.11 feet; thence S 88°00'00" E, 631.57 feet to the POINT OF BEGINNING; thence N 01°00'00" E, 300.00 feet; thence S 88°00'00" E, 300.00 feet; thence S 01°00'00" W, 300.00 feet; thence N 88°00'00" W, 300 feet; to the POINT OF BEGINNING; as per Livingston County records. Containing 2.07 Acres of land. 17, T

PARCEL ID: 15-26-100-016

A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence along the centerline of said Merrill Road the following 2 courses: N 09°00'00" E, 1.25 feet and N 00°23'00" W, 1171.10 feet; thence N 00°42'00" E, 231.92 feet to the POINT OF BEGINNING; thence N 00°42'00" E, 485.76 feet; thence S 89°00'00" E, 157.34 feet; thence S 36°00'00" E, 456.64 feet; thence S 74°00'00" W, 451.21 feet to the POINT OF BEGINNING; as per Livingston County records. Containing 3.08 Acres of land.

PARCEL ID: 15-26-100-017

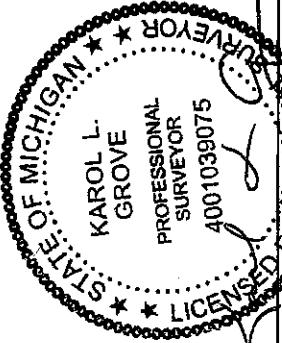
A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence along the centerline of said Merrill Road the following 2 courses: N 09°37'35" E, 1.25 feet and N 00°23'01" W, 1169.44 feet to the POINT OF BEGINNING; thence continuing along said centerline of Merrill Road the following 2 courses: N 00°23'01" W, 1.66 feet and, N 00°42'05" E, 231.92 feet; thence N 74°55'43" E, 451.21 feet; thence N 36°27'34" W, 456.64 feet; thence N 89°17'55" W, 157.34 feet; thence N 00°42'05" E, 18.93 feet; thence N 01°23'55" E, 1399.11 feet; thence S 88°21'50" E, 931.57 feet; thence N 01°38'08" E, 300.00 feet; thence N 88°21'48" W, 931.83 feet; thence N 01°44'42" E, 481.47 feet to the Southerly Right-of-Way Line of the Ann Arbor Railroad (width varies); thence along said Southerly Right-of-Way Line the following 3 courses: S 62°34'45" E, 755.98 feet and, S 27°25'15" W, 16.50 feet and, S 62°34'45" E, 2689.10 feet; thence S 48°22'07" W, 896.95 feet; thence S 32°45'46" W, 278.92 feet; thence S 37°26'22" W, 87.68 feet; thence S 40°41'28" W, 229.15 feet; thence S 52°13'41" W, 291.96 feet; thence S 56°09'08" W, 260.33 feet; thence S 78°22'44" W, 176.56 feet; thence N 64°31'38" W, 560.19 feet; thence S 67°48'46" W, 280.38 feet; thence S 88°29'05" W, 707.45 feet to the centerline of Merrill Road and the POINT OF BEGINNING; as per Livingston County records. Containing 120.5 Acres of land. 17, THE

RECEIVED

JUL 16 2025

Hamburg Township  
Planning and Zoning Department

I hereby certify that I have surveyed the land herein platted and described on April 3, 2025, and that the relative positional precision of each corner is within limits accepted by the practice for Michigan Professional Surveyors, and that all of the requirements of Act No. 132, P.A. 1970 (as amended) have been complied with.



LICENSED PROFESSIONAL SURVEYOR #4001039075

ALPINE  
Land Surveying, Inc.  
376 BEECH FARM CIRCLE SUITE # 1293  
HIGHLAND, MICHIGAN, 48357  
PHONE: 810-207-8050

FIELD:	KG	DATE:	04-03-2025
DRAWN:	DJS	JOB NO:	24-6720
CHECKED:	KG	SHEET:	4 OF 6
REVISED:			

CERTIFICATE OF SURVEY

Prepared For: HAMBURG TOWNSHIP

New Legal Descriptions

Legal Description: PARCEL A: -4715-26-100-024

A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence along the centerline of said Merrill Road the following 6 courses: N 09°37'35" E, 1.25 feet and, N 00°23'01" W, 1169.26 feet (recorded as 1169.44 feet) and, N 00°22'48" W, 1.84 feet (recorded as N 00°23'01" W, 1.66 feet) and, N 00°42'05" E, 717.33 feet (recorded as 717.68 feet) and, N 00°42'53" E, 19.28 feet (recorded as N 00°42'05" E, 18.93 feet) and, N 01°23'55" E, 1399.11 feet to the POINT OF BEGINNING; thence continuing along the centerline of said Merrill Road N 01°35'08" E, 299.59 feet (recorded as 300.00 feet); thence S 88°21'40" E, 631.76 feet; thence S 01°37'15" W, 299.55 feet; thence N 88°21'50" W, 631.83 feet to the POINT OF BEGINNING. Containing 4.3 Acres of land and subject to all the easements and encumbrances of record.

Legal Description: PARCEL B: -4715-26-100-025

A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence along the centerline of said Merrill Road the following 7 courses: N 09°37'35" E, 1.25 feet and, N 00°23'01" W, 1169.26 feet (recorded as 1169.44 feet) and, N 00°22'48" W, 1.84 feet (recorded as N 00°23'01" W, 1.66 feet) and, N 00°42'05" E, 717.33 feet (recorded as 717.68 feet) and, N 00°42'53" E, 19.28 feet (recorded as N 00°42'05" E, 18.93 feet) and, N 01°23'55" E, 1399.11 feet and, N 01°35'08" E, 299.59 feet (recorded as 300.00 feet); thence S 88°21'40" E, 631.76 feet to the POINT OF BEGINNING; thence continuing S 88°21'40" E, 300.00 feet; thence S 01°37'15" W, 299.53 feet; thence N 88°21'50" W, 300.00 feet; thence N 01°37'15" E, 299.55 feet to the POINT OF BEGINNING. Containing 2.0 Acres of land and subject to all the easements and encumbrances of record.

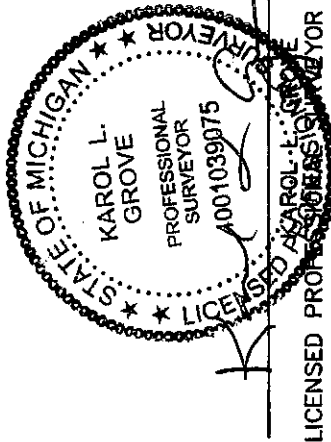
Legal Description: PARCEL C: -4715-26-100-027

A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence along the centerline of said Merrill Road the following 6 courses: N 09°37'35" E, 1.25 feet and, N 00°23'01" W, 1169.26 feet (recorded as 1169.44 feet) and, N 00°22'48" W, 1.84 feet (recorded as N 00°23'01" W, 1.66 feet) and, N 00°42'05" E, 717.33 feet (recorded as 717.68 feet) and, N 00°42'53" E, 19.28 feet (recorded as N 00°42'05" E, 18.93 feet) and, N 01°23'55" E, 1114.11 feet to the POINT OF BEGINNING; thence continuing along the centerline of said Merrill Road N 01°23'55" E, 285.00 feet; thence S 88°21'50" E, 599.98 feet; thence S 01°24'00" W, 39.49 feet; thence N 88°36'05" W, 123.00 feet; thence S 01°23'55" W, 245.00 feet; thence N 88°21'50" W, 476.98 feet to the POINT OF BEGINNING. Containing 3.2 Acres of land and subject to all the easements and encumbrances of record.

Legal Description: PARCEL D: -4715-26-100-026

A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence along the centerline of said Merrill Road the following 6 courses: N 09°37'35" E, 1.25 feet and, N 00°23'01" W, 1169.26 feet (recorded as 1169.44 feet) and, N 00°22'48" W, 1.84 feet (recorded as N 00°23'01" W, 1.66 feet) and, N 00°42'05" E, 717.33 feet (recorded as 717.68 feet) and, N 00°42'53" E, 19.28 feet (recorded as N 00°42'05" E, 18.93 feet) and, N 01°23'55" E, 1399.11 feet; thence S 88°21'50" E, 599.98 feet to the POINT OF BEGINNING; thence S 88°21'50" E, 331.59 feet; thence S 88°36'05" E, 78.41 feet; thence S 01°23'55" W, 134.54 feet; thence S 88°36'05" E, 50.00 feet; thence S 01°23'55" W, 100.00 feet; thence N 88°36'05" W, 340.00 feet; thence S 01°23'53" W, 10.00 feet; thence N 88°36'05" W, 120.00 feet; thence N 01°24'00" E, 245.91 feet to the POINT OF BEGINNING. Containing 4.3 Acres of land and subject to all the easements and encumbrances of record.

I hereby certify that I have surveyed the land herein platted and described on April 3, 2025, and that the plat is a true and correct representation of the land as surveyed and that all of the requirements of Act No. 132, P.A. 1970 (as amended) have been complied with.



ALPINE  
Land Surveying, Inc.

376 BEECH FARM CIRCLE SUITE # 1293  
HIGHLAND, MICHIGAN, 48357  
PHONE: 810-207-8050

FIELD: KG  
DRAWN: DJS  
CHECKED: KG  
REVISED:  
DATE: 04-03-2025  
JOB NO: 24-6720  
SHEET: 5 OF 6

CERTIFICATE OF SURVEY

Prepared For: HAMBURG TOWNSHIP

Legal Description: PARCEL E: 4715-26-100-029

A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence along the centerline of said Merrill Road the following 4 courses: N 09°37'35" E, 1.25 feet and N 00°23'01" W, 1169.26 feet (recorded as 1169.44 feet) and, N 00°22'48" W, 1.84 feet (recorded as N 00°23'01" W, 1.66 feet) and, N 00°42'05" E, 231.45 feet (recorded as 231.92 feet) to the POINT OF BEGINNING; thence continuing N 00°42'05" E, 485.88 feet along the said centerline of Merrill Road; thence S 89°22'46" E, 251.11 feet; thence S 34°21'48" E, 422.97 feet; thence S 74°55'43" W, 518.56 feet to the POINT OF BEGINNING. Containing 3.75 Acres of land and subject to all the easements and encumbrances of record.

Legal Description: PARCEL F: 4715-26-100-028

A part of Section 26, Town 1 North, Range 5 East, Hamburg Township, Livingston County, Michigan, being more particularly described as: Commencing at the Southwest corner of Section 26, Town 1 North, Range 5 East; thence S 88°16'14" E, 1759.14 feet along South Line of said Section 26 and the centerline of Strawberry Lake Road (66 feet wide) to the centerline of Merrill Road (66 feet wide); thence along the centerline of said Merrill Road the following 2 courses: N 09°37'35" E, 1.25 feet and N 00°23'01" W, 1169.26 feet (recorded as 1169.44 feet) to the POINT OF BEGINNING; thence continuing along said centerline of Merrill Road the following 2 courses: N 00°22'48" W, 1.84 feet (recorded as N 00°23'01" W, 1.66 feet) and, N 00°42'05" E, 231.45 feet (recorded as 231.92 feet); thence N 74°55'43" E, 518.56 feet; thence N 34°21'48" W, 422.97 feet; thence N 89°22'46" W, 251.11 feet to the said centerline of Merrill Road; thence continuing along said centerline of Merrill Road the following 2 courses: N 00°42'53" E, 19.28 feet (recorded as N 00°42'05" E, 18.93 feet); thence N 01°23'55" E, 1114.11 feet; thence S 88°21'50" E, 476.98 feet; thence N 01°23'55" E, 245.00 feet; thence S 88°36'05" E, 123.00 feet; thence S 01°24'00" W, 206.42 feet; thence S 88°36'05" E, 120.00 feet; thence N 01°23'53" E, 10.00 feet; thence S 88°36'05" E, 340.00 feet; thence N 01°23'55" E, 100.00 feet; thence N 88°36'05" W, 50.00 feet; thence N 01°23'55" E, 134.54 feet; thence N 88°36'05" W, 78.41 feet; thence N 01°37'15" E, 299.53 feet; thence N 88°21'40" W, 931.76 feet to the said centerline of Merrill Road; thence continuing along said centerline of Merrill Road, N 01°44'42" E, 481.44 feet (recorded as 481.47 feet) to the Southerly Right-of-Way Line of the Ann Arbor Railroad (width varies); thence along said Southerly Right-of-Way Line the following 3 courses: S 62°36'40" E (recorded as S 62°34'45" E), 755.98 feet and, S 29°45'10" E, 16.53 feet (recorded as S 27°25'15" E, 16.50 feet) and, S 62°34'45" E, 2689.10 feet; thence S 48°22'07" W, 896.95 feet; thence S 32°45'46" W, 278.92 feet; thence S 37°26'22" W, 87.68 feet; thence S 40°41'28" W, 229.15 feet; thence S 52°13'41" W, 291.96 feet; thence S 56°09'08" W, 260.33 feet; thence S 78°22'44" W, 176.56 feet; thence N 64°31'38" W, 560.19 feet; thence S 67°48'46" W, 280.38 feet; thence S 88°29'05" W, 707.45 feet to the centerline of Merrill Road and the POINT OF BEGINNING. Containing 114.2 Acres of land and subject to all the easements and encumbrances of record.

WITNESSES:

SOUTHWEST CORNER, SECTION 26

T1N-R5E

FND REMON DISC 1.5' DEEP 5' SOUTH OF SOUTH EDGE ASPHALT PAVEMENT STRAWBERRY LAKE ROAD

S 70° W, 36.90' FND SPIKE ON THE NORTH SIDE POWER POLE

N 55° W, 77.72' FND SPIKE ON THE SOUTH SIDE 30" LOCUST

S 16° E, 71.20' NE CORNER HOUSE #5980

N 20° W, 40.13' FND SURVEY IRON PIPE

SOUTH 1/4 CORNER, SECTION 26

T1N-R5E

FND REMON DISC IN WEST BASE 36' OAK

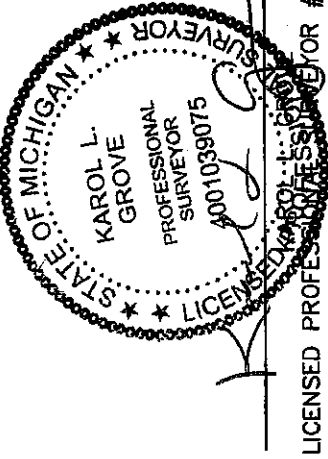
S 13° E, 21.43' SET NAIL & TAG #39075 ON THE WEST SIDE OF 18" OAK

N 4° E, 1.42' SET NAIL & TAG #39075 ON THE NORTHWEST SIDE OF 36" OAK

S 70° E, 27.85' SET NAIL & TAG #39075 ON THE SOUTH SIDE OF 24" OAK

N 89° W, 46.76' SET NAIL & TAG #39075 ON SOUTH SIDE 18" HICKORY

I hereby certify that I have surveyed the land herein platted and described on April 3, 2025, and that the relative positional precision of each corner is within limits accepted by the practice for Michigan Professional Surveyors, and that all of the requirements of Act No. 132, P.A. 1970 (as amended) have been complied with.



LICENSED PROFESSIONAL SURVEYOR #4001039075

RECEIVED

JUL 16 2025

Hamburg Township  
Planning and Zoning Department

ALPINE  
Land Surveying, Inc.

376 BEECH FARM CIRCLE SUITE # 1293  
HIGHLAND, MICHIGAN, 48357  
PHONE: 810-207-8050

FIELD:	KG	DATE:	04-03-2025
DRAWN:	DJS	JOB NO:	24-6720
CHECKED:	KG	SHEET:	6 OF 6
REVISED:			



**Supervisor** Jason Negri **Clerk** Mike Dolan **Treasurer** Jennifer Daniels **Trustees** Joanna Hardesty, Patricia Hughes, Chuck Menzies, Nick Miller

To: Planning Commission

From: David Rohr

Date: November 19, 2025

RE: Village Center Master Plan Working Group

The Planning Commission tasked a small working group to review the Village Center Master Plan and return a recommendation to the Planning Commission. The working group met three times from September to October. The working group reviewed the Village Center plan in great detail and discussed many issues and ideas, with the consensus being no changes being necessary at this time.

At the conclusion of their work, the working group recommends no changes to the Village Center Master Plan at this time.

Respectfully,

David Rohr,  
Planning and Zoning Director

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Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

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## PLANNING COMMISSION MEETING

Wednesday, November 19 at 7:00 PM  
Hamburg Township Hall Board Room

### MINUTES

#### CALL TO ORDER

Commissioner Muck called the meeting to order at 7:00 pm.

#### PLEDGE TO THE FLAG

#### ROLL CALL OF THE BOARD:

1) **PRESENT:**

John Hamlin  
Patricia Hughes  
Victor Leabu Jr  
Deborah Mariani  
Jeff Muck, Chair  
Joyce Priebe

2) **ABSENT:**

Ron Muir, Vice Chair

#### APPROVAL OF MEETING AGENDA for tonight.

**Approval Motion** made by Commissioner Priebe, seconded by Commissioner Mariani, to approve the agenda as amended by Commissioner Leabu.

**Voice Vote: Ayes (6); Absent (1) Commissioner Muir**

**VOTE: MOTION CARRIED**

#### APPROVAL OF THE MEETING MINUTES

**Approval Motion** made by Commissioner Priebe, seconded by Commissioner Hamlin, to approve September 17, 2025, Planning Commission Meeting Minutes with corrections as noted by Commissioner Muir.

**Voice Vote: Ayes (6); Absent (1) Commissioner Muir**

**VOTE: MOTION CARRIED**

#### **CALL TO THE PUBLIC-**

1. Brenda Vibbart located at 10564 Hall Rd came up to the podium to discuss the transition of the approval of putting up a fence to block her view to the Crossing at Lakelands Trail. She is requesting that some kind of quality fence be put up between this community development and her residence. She left the podium.

Chair Muck closed the meeting since there were no other residents to comment at the meeting.

#### **OLD BUSINESS**

None

#### **NEW BUSINESS**

##### **1. PMSP 25-0001 Site Plan Amendment (The Crossing at Lakelands Trail).**

Chair Muck stated that the applicant is present to discuss some minor modifications to the originally approved site plan. There are some reduced reductions in density. Muck invited David Rohr to present his staff report to the commissioners.

David said that this is an amendment to the original site plan that was approved at the Planning Commission Meeting in October of 2024. The original site plan project received an extension last month from the PC and the Township Board. The applicant provided documentation that is affecting one area of the site plan in particular. They are proposing to remove one building, reducing the number of units from 208 to 192. They will be building some smaller structures in that area that will become covered parking and storage units for residents who rent here. The developer had a market study done that showed that such an amenity change would attract renters to the new community development. This is a minor project modification and everything else will essential stay the same. The proposal does reduce the density of this development while increasing the open space by .34. We have the updated traffic study and the comments back from the engineer. The fire department is still reviewing the modified site plan and will be sending in their last comments soon. Their indication was that the overall flow of the project hadn't changed. They don't anticipate any major issues with these changes. Staff support this modification.

Chair Muck commented on this amendment by saying he was pleasantly surprised when he reviewed the plans. He said it was the first time in his career of seeing a developer reduce their density without being directed to do so. He said it was a great change to add covered parking. He said he was fully in favor of the amendment. Chair Muck then turned the meeting over to the other commissioners for comments and questions.



Commissioner Leabu asked the developer if the architecture plans were changed from the original approved site plan since they were included in this modification documentation. Bob Langan from Elevate came up to the podium to address Leabu's questions. Langan said that nothing has changed regarding the architecture, the layout or other details. Langan said the only changes were the removing of one building, adding garages, and the changes to the traffic. Langan said that he included the architecture designs as a reminder of what they should expect with the new smaller garages and storage units.

Commissioner Priebe asked Langan about the fence. Langan said that there were no changes to the fence. He stated that all their past conversations with the residents and PC commissioners were done in good faith. He said we propose something and then we get feedback, and then we make the changes requested. We have had many fence iteration discussions over the past few years. At some point, we agreed on the location and composition of the fence. Unless there is something that requires me to change our agreement of the fence, then I will not change it. Commissioner Priebe asked where they were regarding this fence. Langan said it was proposed to be a 6 ft high wooden fence along the borders of the property where the apartment community abuts residential. Commissioner Leabu agreed. Langan continued to state that even though some of the residential properties were zoned as industrially, their company would still plan on installing the wooden fence along those parcels if they are used as residential. Initially the site plan didn't show a fence along the industrial zone properties since the ordinance does not require fencing along industrial-zoned properties. Much land located along Hall Road is zoned as industrial. Again, Langan said that is how he remembered the fence discussion and this was done in good faith. Commissioner Priebe said she appreciated him working with the PC board on this issue. She said she wanted to make sure that the PC members, residents, and Langan were on the same page regarding the fence modifications.

Commissioner Hamlin asked Langan if there have always been two phases for this project. Langan said yes, there have always been two phases for this community development. He said it has never been discussed at a public meeting before. Hamlin asked how much time would elapse between phase one and phase two. Langan said when he submitted for financing, the financiers expect certain milestones to be completed, such as leasing, before they would issue further funding for the second phase. Langan said hopefully phase two should start on the heels of phase one. Langan said that is his hope, but nothing is guaranteed. David stated that the phasing would be included in the development agreement, which the developer still needs to finalize with the township. David said that the agreement will include these milestones and the time frames for the two phases.

Commissioner Mariani asked how the two garage storage units will be used by the residents. Langan said they can't give everyone a garage and a storage unit. He said not everyone will want one of those units, so that will be a challenge. There will be 28 garage units available. He said he can't remember how many storage units will be available. If a lot of people want these garages and storage units then we are going to come back to the PC and ask to modify phase two. The garage and storage units would be based on availability to new renters. It would be an extra additional expense to the renter each month. If none of these units are rented, then they will be vacant. Commissioner Mariani said she couldn't imagine that. Langan said they were quite surprised when they received their market study update back. Their analyst said that this kind of amenity was necessary for rentals of this type. Mariani asked if Langan had these garage and storage units at his South Lyon community. He said the first phase

development did not have them. He said they added them to the second phase. Mariani mentioned that elderly people will want a garage to keep the snow and ice off their cars. Langan said that elders who sell their homes and move into a rental unit will have stuff to store. Younger folks who are starting out might get engaged and will start collecting stuff for store.

Trustee Hughes said that she thought this addition was an excellent change. Hughes applauded him for making this amendment. Langan said they had considered making carports instead of garages, but they felt they would be too ugly to build. Commissioner Leabu asked Langan where the phasing was mentioned in the site plan. Commissioner Hughes said it was on page 19 in red. Chair Muck asked if anyone else had any further questions or comments. Langan said that the branding would be called Paxton, not the Crossings. There are too many “crossings” out there.

**Approval Motion** made by Commissioner Priebe, seconded by Commissioner Hamlin, to recommend approval by the Township Board of PMSP 25-0001 Amendment to the final site plan for the Crossings at Lakelands Trail since it follows the Hamburg Township Ordinance.

**Voice Vote: Ayes (6); Absent (1) Commissioner Muir**

**VOTE: MOTION CARRIED**

## **2. Rezoning PZTA 25-0001** requiring a public hearing meeting.

Chair Muck opened the public hearing for this item. Since no one was present in the audience to give a comment, he closed the public hearing. Muck stated that this item was requested by the parks committee that he serves on. He said that the item was clear and straight forward, which was in need of some bookkeeping and boundary adjustment cleanup for the parks. Rezoning will allow the township to apply for MDNR trust fund grants to assist with some future projects.

He invited David Rohr to briefly address the commissioners. David said that this rezoning was supposed to have happened twenty years ago. It simply slipped through the cracks. The township had this whole area rezoned so the Public Works buildings were in compliance. We separated the township hall, the library, the police station, and the senior center from the parkland. Chair Muck clarified that we need to comply with our own zoning and that of the state otherwise it will reduce your scoring for any potential grants. With noncompliance, it becomes difficult to attain those grants. This is a necessary process to make these corrections. David clarified that they are seeking a recommendation to the Livingston County Planning Commission for review, and to the township board in January 2026 for their final approval.

Commissioner Hamlin asked if the smaller parcels were being rezoned. David clarified that they would remain as RA (residential) since they are too small to meet the parks zoning requirements (Public and Private Recreational Facilities District). Only the two larger parcels were being rezoned.

Trustee Hughes asked David how far the land behind the Senior Center extends to the next parcel. David said he didn't know the exact square footage of the area behind the Senior Center. She asked what does the township parcel border at the rear. Commissioner Leabu said it was industrial zoned land. Commissioner Hamlin showed Hughes that it was abutting the railroad tracks in there. Hughes said that there has been conversation that the senior center needs to be expanded. David confirmed that the center has room enough on its own township parcel to expand or rebuild if needed.

**Parcel(s):**



**Approval Motion** made by Commissioner Hamlin, seconded by Commissioner Priebe, the planning commission recommends approval of zoning map amendment PZTA 25-0001 to change the zoning of the parcels commonly known as TID# 4715-26-100-028 & 4715-26-100-023 from medium density residential to Public and Private Recreational Facilities District to the Township Board. We approve this change because it would make the parcels conform with their use. We direct staff to forward this request to the Livingston County Planning Commission for review.

**Voice Vote: Ayes (6); Absent (1) Commissioner Muir**

**VOTE: MOTION CARRIED**

**3. Brief Discussion on Short Term Rental by Member Leabu**

Chair Muck reminded Commissioner Leabu that he was going to lead a short discussion on short-term rentals. Leabu said he was going to give a small report and then he would like some comments from the board members afterwards regarding short-term rentals.



Leabu said we have short-term rentals, and we have plenty of them. None of what I state here reflects on David. Leabu said our ordinance says you can do this. We were a little hesitant because we did not know what the courts were going to do a few years ago. The Supreme and Michigan courts have upheld that you can ban short term rentals in residential zoned areas. I am bringing this up because someone has a million dollars invested in a house on Winans Lake. To our surprise, why would someone do an Airbnb on a lake with no motors? Apparently, we missed that. We have some rules and that is not for tonight's discussion but one thing that came up in our ordinance, is that the structure is supposed to meet the size of the lot of its district. David corrected Leabu, saying that the parcel doesn't need to conform to the zoned district, but that the structure needs to conform to the setbacks of the district it is zoned in. Leabu said they had done a study when Leslie was here. There are about 4,000 waterfront residential lots but we could only find 8 that met this requirement. Leabu continued to state that they tried to change the setback requirement on a 60 ft wide lot, so that one side could be 5 ft and the other 10 ft. Commissioner Priebe helped him complete this statement. Leabu continued that someone is doing a 5-bedroom Airbnb with a rec room in the garage and a sauna at the lake. The neighbors are not thrilled with this Airbnb investment. Is that an issue? Maybe not.

Leabu continued that many master deeds do stipulate that you can't rent anything for less than a year. This puts David our Zoning Administrator, into a tough situation. Leabu said when he owned Riverdale back in 1955, almost every HOA has a clause, legal or not, that you can't rent the home for less than a year. If I come in to pull an Airbnb land use permit, and the lot conforms, the township will issue a land use permit without checking to see if the homeowner's association allows it. Winas Lake is cleaning up their rules because Lakeland Golf & Country Club owns the lake. They are upset about this issue. We are going to make it crystal clear and ready to go to court if someone else comes. I want to make sure we don't rent homes as an Airbnb. Leabu said he is not trying to take away people's rights. We don't want to be in the business of causing lawsuits. If a homeowner's association says no Airbnb's, then what? I am seeing firsthand what is happening. Everyone is saying Victor, you are on the Planning Commission. Do something about it. Does anyone have any thoughts? I am just curious as to what they are.

Commissioner Hamlin asked Leabu what he was asking for. Commissioner Leabu said that Jason told him to go to the Planning Commission to see what they think. Leabu asked if we want to keep Airbnb's legal. We need to think about this issue since we can prevent the operation of them.

Leabu asked, "Do we want them to stay the same as they are currently. We don't want to create more work for the planning department. Do we want to require them to be under a special use permit? The Lakeland Golf & Country Club is very sophisticated, so they look at Airbnb's as a commercial operation on a private lake. We are a little different. We have had people wanting to give little fishing companies an opportunity to take you to Winas Lake. Do we want the township to get involved in it, not with lawsuits and homeowners, but do they have to prove that there isn't any deed restriction on the property, that makes short-term rentals illegal? If the township just gives a land use permit, then it means that the homeowners association must go to civil court.

Trustee Hughs said if the ordinance said that the homeowner association rules supersede the township ordinance, is that in theory what you're saying? Commissioner Priebe said they don't. Trustee Hughes asked if our ordinance could state that the homeowner must abide by their home association's rules when applying for land use. Leabu continued that every subdivision that he has lived in has stated in their master deed, no accessory dwelling units. Just because it is legal in the township, doesn't mean I

can get a land use permit to build an accessory structure if my homeowner's association says no. If the township issues a land use permit, they will be setting up a lawsuit. Extrapolate that to Airbnb's. Leabu said he knew about Portage Lake and other motorized lakes, with private equity companies buying stuff. A millionaire guy who is doing a 1031 that's an exchange of some other rental property. He blows into town. Maybe he knows something that we don't know. I didn't know about this issue until I was confronted with it in my own community.

Commissioner Priebe stated that the township can't enforce deed restrictions. She said that it is a civil suit, and the township must issue a land use if they meet the township ordinance requirements. Priebe said she had a friend who lived on Wide Valley. We had an assisted living place operating there, and he asked why they can do that. We had a law in the deed restrictions that stated no operation of a business there. Priebe said that assisted living places are regulated by the state. We can have some input, but you are not going to win. Well, he of course took them to court anyway and he lost. This was a couple of years ago, and he died recently. Commissioner Hamlin asked if there was a deed restriction against that use. She said yes, but he had lost the court case anyway. The operation was state regulated, and the business had already been operating. And he did not win.

Chair Muck said he would be more comfortable having the opinion from our township attorney on short-term rentals. This guy already has his house built and has his land use permit. Muck said he is in favor of adding more restrictions to the ordinance regarding short-term rentals. I want to make sure it is approved by the township attorney first. We don't want to get the township into some other trouble by trying to add stuff after the fact. Now other areas are changing since we have passed the short-term ordinance. Muck asked David if it has been 2-3 years since we passed and published this STR ordinance. David said yes. And now we have different court rulings, and I believe there is something else being challenged again.

Commissioner Priebe said she would not like to see the township get involved in enforcing deed restrictions on all the subdivisions in the township. Priebe said she would totally be against that. Commissioner Leabu asked David what would happen if he came in to build an accessory dwelling unit. Would David issue a land use permit and if it is against the home association deed restrictions, then they would have to take me to civil court. David said yes. Commissioner Leabu said we have a lot of lake lots in Hamburg Township. Are there unintended consequences here? If the township doesn't want to get into judging homeowners associations, then maybe we should be more cautious.

Commissioner Hamlin said he was the Zoning Administrator for Ann Arbor Township for several years. If someone wanted to build a deck or an addition, and they were in a homeowner's association, the applicant would need to get a simple document from the HOA board. It is the applicant's responsibility to get that document & turn it in with their land use application. The board stamped the drawing showing they approved of this project before I could issue the land use permit.

Chair Muck asked David if we have many HOA's in Hamburg. Everyone said each subdivision has a HOA. Commissioner Leabu said Winas Lake has five different development sections under one umbrella. You are supposed to prime your house, paint it with two coats, and then repaint it every three years. There were some racist deed restrictions that are no longer legal. David clarified there is a difference between a deed restriction and a home association bylaw. When encumbrance is on the land and deed restrictions are much more common along lakes, some people do bring in a stamp from their

homeowner's association. Some people come to our department, and they don't even know if their homeowner's association is active, let alone what their bylaws are. Many times, they comply with our zoning ordinance, and they comply with any FEMA floodplain standards, and any other thing that we administer. Then we will offer them a land use permit administratively. The mobile home park is very strict about what they allow and who they allow to do work on the mobile homes. They require us to get a management authorization letter to approve those projects in their community.

Commissioner Priebe said that the neighbors across her street do Airbnb's constantly, and they haven't had any problems yet. Commissioner Mariani asked Leabu what is it that this new owner is doing. He stated that the new owner hasn't started renting out this home yet. One of the neighbors is in the CIA so there will be cameras going all the time. The nature of Winas Lake is that it is not connected to any other water system. We don't have zebra mussels. You must have your boat registered to launch it on Winas Lake. The Lakeland Golf & Country Club is concerned that this millionaire will have many boats. What if he invites eight people over and they bring their blow-up paddle boats. We have kept zebra mussels out of this lake. It is a good private fishing lake. There are strict rules. When staying at Airbnb's, which Leabu says he has many times, you can't talk to a human if you want to. You get a code, and you never see anybody onsite. We are worried that innocent people will not know the rules of Winas Lake. You can have the rules posted inside the home unit, but they will not be enforceable by the homeowner since they are not onsite. It is not the township's responsibility to enforce the lake association rules. The lake association will enforce the rules themselves.

Chair Muck recommended that we should seek the township attorney's review of our current ordinances related to Airbnb's and short-term rentals since it has been a couple of years. See if there's any recommended changes, based on the changes with the state and Supreme Court rulings. David, you may want to have a conversation with Beth regarding what you are hearing from Victor here to see if that changes our ordinance as well. It can't hurt to have an overview of everything we did previously. Commissioner Hamlin asked if Jason asked David to bring these issues to our PC's attention. Leabu said no, it was because Victor had been complaining to Jason, that Jason had asked Leabu to talk to the PC members about their thoughts. Commissioner Hamlin asked Victor if he could write up some clear suggestions and give them to David so he could take them to Beth for consultation. Leabu said this is one issue that they are seeing on Winas Lake since it is commercial use. Is it unfair to require short-term rentals and Airbnb's to be approved through a special use permit process?

Trustee Hughes said she look at this month MTA regarding recent legislative bills that have been passed by the state. I don't remember if I seen anything on short-term rentals. She stated she saw something on fireworks. She said things can get introduced but might not get passed. Commissioner Mariani asked David if there is a duration given for short term rentals. David said that each STR land use permit must be renewed annually, on February 1.

Chair Muck said the good part is that we can come back with some communication to the HOAs of where the township stands regarding our STR ordinance. They have information to change their own HOA rules. Muck stated that he felt this might help the HOA and the township to exist on the same page regarding what is allowed and not allowed regarding Airbnb's. When we issued this short-term rental ordinance, it wasn't clear if we could ban them or not. It would be good to seek an attorney's opinion now to see if we could change the ordinance and ban these short-term rentals. Chair Muck told Victor to



tell Jason that we will be spending township money on the attorney's advice. Victor said that isn't what Jason wants to hear that. Muck said to put it on all of them.

Trustee Hughes asked David where the bylaws and master deed restrictions for the HOAs could be found. David said all current PUD open space communities must file their master deeds with the Livingston County Register of Deeds. By laws get approved from the HOA board and recorded. A lot of times with older associations, many people don't even know what is in the bylaws because the HOA is not operational anymore. Bylaws get updated internally with the homeowners of the subdivision. These are the same people that always expect us to have a survey on file for their property. We only have a survey if the homeowner provided us with a survey in the past.

Commissioner Priebe said that many of these subdivisions, especially older ones, don't have a HOA board anymore. No one knows where to even send that notice. Priebe said she would see that as a problem.

## **ZONING ADMINISTRATOR'S REPORT**

### **1. Village Center Master Plan working group-**

John Hamlin, Victor Leabu, Craig Masserant, Jason Negri, and David are the members of that working group. We have met several times, with a few meetings of just Victor and David to go over the fine details. We have reviewed many maps which included the future land use map, while considering what the current zoning map consists of. We considered some of the different projects that are going on in the area. We looked closely at the Village Core. With a group consensus, that at this time, we decided that no formal changes are recommended to the Village Center Master Plan. David said he is not against reviewing this plan on an annual basis to see what is going on, and see what developments transpire over time and what has been completed. Currently, the township is in a good position with our zoning since it has been consistent for more than two decades. Our future land use plan for that area still gives us some flexibility and some options for the future, should different developments come in that we haven't been seeing.

Commissioner Hamlin asked if the sub zoning in the Village Center Master Plan could be enforced. David said we only have two zoning classifications currently, which are enforceable, which are Village Residential and Village Center. David clarified the future land use map shows possible ways that the VC could be developed in the future. The township has not moved in the direction of codifying all these different sub zoning districts in the VCMP. Trustee Hughes asked a question regarding the fence and the Haskins property. It is currently zoned industrial. If something residential was proposed on this parcel in the future, then they would need to petition the township to rezone this parcel to residential use. She stated that it is a good idea not to officially change the east side maps to allow us more flexibility.

Commissioner Mariani asked if the Village Center Plan would be absorbed into the general Hamburg Township Master Plan. David said that the VC plan is a part of the Master Plan, it is just a small area plan. David said he isn't sure if there is a concise way to completely absorbed the VC into the Township Master Plan due to its historically, geographically and zoning which is different from the overall master plan.

### **2. No December Agenda Items for next month.**

**3. We had a preliminary meeting with Whitewater Car Wash** several weeks ago.

Victor and Patricia were there. They were looking at doing a PC submittal in mid- or late December but with the holidays and everything, we will not hear from them until February. It is being proposed on Lot 10 internally in the Kroger plaza. David said they were very professional and on top of everything.

**ADJOURNMENT**

**Approval motion** made by Trustee Hughes, seconded by Commissioner Hamlin, for adjournment at 7:56pm.

**Voice Vote: Ayes (6); Absent (1) Commissioner Muir**

**VOTE: MOTION CARRIED**

Respectfully submitted,

**Lisa Perschke**

*Planning/Zoning Coordinator & Recording Secretary*

**David Rohr**

*Planning & Zoning Director*

The minutes were approved as presented/corrected: \_\_\_\_\_

\_\_\_\_\_

Commissioner Jeff Muck, Chairperson

**TO:** Board of Trustees

**FROM:** Jennifer Daniels, Treasurer

**DATE:** December 2, 2025

**AGENDA ITEM TOPIC:** Gym Membership Reimbursement

Number of Supporting Documents: **2**

**Requested Action**

- Motion to reimburse full-time employees and insurance covered family members up to \$150.00 per month per family for gym memberships and make the appropriate changes to 3.15 of the Administrative Policies & Procedures Manual to reflect this addition.

**Background**

See supporting documents.

**Fiscal Considerations**

Does the agenda item require the expenditure of funds? Yes ☒ No ☐

Are funds budgeted? Yes ☒ No ☒ some depts budgeted

Fiscal year affected: 2025/2026

Is a budget amendment required? Yes ☒ No ☒

General Ledger numbers affected: 101-\*\*\*.000-914.000 \*\*\*department



Hamburg Township's Gym Membership Reimbursement Policy is intended to help control health insurance usage with encouragement towards a healthy lifestyle. The Township will reimburse any full-time employee and insurance covered family member for gym memberships not to exceed \$150.00 per month per family. To be eligible for reimbursement, the non-bargaining employee must turn in a completed reimbursement form along with proof of membership payment, signed by their department head, to the accounting department.

Adding this to the APPM section 3.15 tuition reimbursement will prevent the Township from taking on additional benefit cost.

## GYM/FITNESS MEMBERSHIPS

	Unlimited access/classes	
Pure Barre	\$199/ mo.	
Orange Theory Fitness	\$179/ mo.	
Brighton Crossfit	\$150/ mo.	
Endeavor Fitness	\$140/ mo.	
Jazzercize	\$104/ mo.	
Brighton Yoga	\$95/ mo.	
Hamburg Fitness	\$65/ mo.	
Anytime Fitness	\$48/ mo.	\$49 start up
Planet Fitness	\$15/ mo.	\$49 start up +\$49 annually

**TO:** Board of Trustees

**FROM:** Michael Dolan, Township Clerk

**DATE:** November 26, 2025

**AGENDA ITEM TOPIC:** Library Shared Maintenance Agreement

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**Requested Action**

- Motion to approve the Library Shared Maintenance Agreement with an effective date of January 1, 2026.

**Background**

The proposed agreement better reflects actual costs to the Township.

**Fiscal Considerations**

Does the agenda item require the expenditure of funds? Yes ☐ No ☒

Are funds budgeted? Yes ☒ No ☐

Fiscal year affected: 2025/2026

Is a budget amendment required? Yes ☐ No ☒

General Ledger numbers affected: \_\_\_\_\_



## SHARED MAINTENANCE AGREEMENT

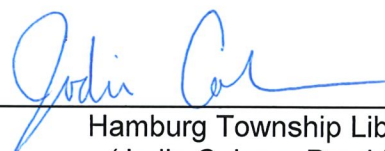
THIS SHARED MAINTENANCE AGREEMENT ("Agreement") is made on January 1, 2026, by and between **Hamburg Township Library**, a Township library, whose address is 10411 Merrill Road, P. O. Box 247, Hamburg, Michigan 48139 ("Library"), and **Hamburg Township**, a general law Township, whose address is 10405 Merrill Road, P.O. Box 157, Hamburg, Michigan 48139 ("Township").

**For good and valuable consideration the receipt and sufficiency of which is hereby acknowledged, it is agreed as follows:**

1. **Duties of Township.** Township shall perform the following:
  - a. Mow and weed whip the grass on the Property, including the retention ponds.
  - b. Raise and lower flags, and assist in replacing old flags with new flags.
  - c. Remove snow and ice in driveway, parking lot and sidewalks and put down salt on those surfaces as weather conditions require.
  - d. Maintain a policy or policies of comprehensive public liability and property damage insurance, which policy or policies shall name Library as an additional insured. The Library and the Township shall annually discuss the insurance.
  - e. Maintain fire and extended coverage insurance on the Property in an amount equal to the replacement value of the Library building and all contents.
  - f. Provide payroll, MERS and accounting services for Library employees.
  - g. Assist with investments, check signing and audit services as required.
  - h. Provide cleaning / janitorial services twice weekly.
  - i. Maintain MMRMA liability insurance for Library.
  - j. Maintain MML (Workers Comp) on behalf of Library.
  - k. Provide MERS, BCBS, HSA and AUL (One America) for Library employees.
  - l. Fill the water softener with potassium chloride.
  - m. Perform required testing of the water system.
  
2. **Duties of Library.** Library shall perform the following:
  - a. Hire and pay landscaping company for the care and maintenance of the gardens surrounding the library building.
  - b. Hire and pay a company to maintain HVAC.
  - c. Hire and pay a company to maintain telephone support.
  - d. Hire and pay a company to maintain technology support, including, but not limited to, computer system, catalog system and 3M system.
  - e. Hire and pay a company or companies to provide routine exterior and interior building maintenance, including the roof.
  - f. Hire and pay a company to provide security system including fire and burglary.
  - g. Hire and pay for an independent auditor and legal counsel.
  - h. Purchase flags as needed.
  - i. Purchase light bulbs and furnace filters.
  - j. Provide for all gas, water, electricity, telephone, sewer and fiber optic service used in or supplied to the Property.
  - k. Hire and pay for a company for trash removal.
  - l. Make bank deposits.
  - m. Manage investment of Library funds.
  - n. Pay the sum of \$2,259 monthly to Township to cover Services hereunder (which will increase by 2% annually on January 1), **plus** the actual costs as billed for MERS, BCBS, AUL/One America, MMRMA, MML, HAS, potassium chloride and water testing.
  - o. Provide all supplies needed to provide the janitorial cleaning service provided hereunder.

3. **Default.** In the event either party fails to maintain the Property or Garden as provided for herein, the non-defaulting party after five (5) days written notice to the defaulting party shall have the right, but not the obligation, to perform such maintenance as is required of defaulting party in which event the defaulting party shall promptly reimburse the non-defaulting party for its cost in providing such maintenance or repairs together with a ten (10%) percent charge for the non-defaulting party's overhead.
4. **Notices.** Notice shall be deemed to have been given upon actual receipt, if hand delivered, at the day and time that any facsimile is sent (as established by printed confirmation), or on the third business day after any notice is placed in the US Mail, first class postage required.
5. **Entire Agreement.** This Agreement shall constitute the entire agreement between the parties and any prior understanding or representation of any kind shall not be binding upon either party except to the extent incorporated into this Agreement.
6. **Modification of Agreement.** Any modification of this Agreement or additional obligation assumed by either Library or Township in connection with the Agreement, shall be binding only if evidenced in writing signed by authorized representatives of both the Library and Township.
7. **Renewal.** Unless terminated by either party, this agreement will renew annually on January 1 with a 2% escalator as per paragraph 2n.
8. **Termination.** Either Party may terminate upon sixty (60) days written notice to the other Party.

IN WITNESS WHEREOF, the Agreement has been executed on the date first indicated above.



Hamburg Township Library  
(Jodie Colone, President)

Hamburg Township  
(Michael Dolan, Clerk)

## SHARED MAINTENANCE AGREEMENT

THIS SHARED MAINTENANCE AGREEMENT ("Agreement") is made on January 1, 2023, by and between **Hamburg Township Library**, a Township library, whose address is 10411 Merrill Road, P.P. Box 247, Hamburg, Michigan 48139 ("Library"), and **Hamburg Township**, a general law Township, whose address is 10405 Merrill Road, P.O. Box 157, Hamburg, Michigan 48139 ("Township").

### RECITALS

- A. In 2000, the voters in the Township approved a bond proposal to construct and operate a Township Library.
- B. Since 2001, the Library has been operating the library located at 10411 Merrill Road, P.O. Box 247, Hamburg, Michigan 48139 (the "Property"). The definition of Property shall include the library building and surrounding land as depicted on the attached site plan (Exhibit A).
- C. Township received a donation of a serenity garden (the "Garden"). The Garden is located on the Property adjacent to the Library building.
- D. The donation of the Garden caused Library and Township to evaluate the maintenance obligations of the parties with respect to the Property and Garden.
- E. Library and Township desire to enter into this Agreement to provide for the shared maintenance of the Property and Garden.

### AGREEMENT

Now therefore, for good and valuable consideration the receipt and sufficiency of which is hereby acknowledged, it is agreed as follows:

- 1. **Duties of Township.** Township shall perform the following:
  - a. Mow and weed whip the grass on the Property, including the retention ponds.
  - b. Raise and lower flags.
  - c. Assist in replacing old flags with new flags purchased by the library.
  - d. Remove snow and ice in driveway, parking lot and sidewalks and put down salt on those surfaces as weather conditions require.
  - e. Maintain a policy or policies of comprehensive public liability and property damage insurance, which policy or policies shall name Library as an additional insured. The Library and the Township shall annually discuss the insurance.
  - f. Maintain fire and extended coverage insurance on the Property in an amount equal to the replacement value of the Library building and all contents.
  - g. Provide payroll and accounting services.
  - h. Assist with investments, check signing and audit services as required.
  - i. Maintain MMRMA liability insurance for Library.
- 2. **Duties of Library.** Library shall perform the following:
  - a. Hire and pay landscaping company for the care and maintenance of the gardens surrounding the library building.
  - b. Hire and pay for weekly janitorial service for library building.
  - c. Hire and pay a company to maintain HVAC.
  - d. Hire and pay a company to maintain the water softener.
  - e. Hire and pay a company to maintain telephone support.
  - f. Hire and pay a company to maintain technology support, including, but not limited to, computer system, catalog system and 3M system.



- g. Hire and pay a company or companies to provide routine exterior and interior building maintenance, including the roof.
- h. Hire and pay a company to provide security system including fire and burglary.
- i. Hire and pay for an independent auditor and legal counsel.
- j. Purchase flags.
- k. Purchase light bulbs and furnace filters.
- l. Provide for all gas, water, electricity, telephone, sewer and fiber optic service used in or supplied to the Property.
- m. Hire and pay for a company for trash removal.
- n. Make bank deposits.
- o. Manage investment of Library funds.
- p. Pay the sum of \$14,185 to Township to cover Services hereunder, which will increase by 2% annually.

3. **Default.** In the event either party fails to maintain the Property or Garden as provided for herein, the non-defaulting party after five (5) days written notice to the defaulting party shall have the right, but not the obligation, to perform such maintenance as is required of defaulting party in which event the defaulting party shall promptly reimburse the non-defaulting party for its cost in providing such maintenance or repairs together with a ten (10%) percent charge for the non-defaulting party's overhead.
4. **Notices.** Notice shall be deemed to have been given upon actual receipt, if hand delivered, at the day and time that any facsimile is sent (as established by printed confirmation), or on the third business day after any notice is placed in the US Mail, first class postage required.
5. **Entire Agreement.** This Agreement shall constitute the entire agreement between the parties and any prior understanding or representation of any kind shall not be binding upon either party except to the extent incorporated into this Agreement.
6. **Modification of Agreement.** Any modification of this Agreement or additional obligation assumed by either Library or Township in connection with the Agreement, shall be binding only if evidenced in writing signed by authorized representatives of both the Library and Township.
7. **Termination.** Either Party may terminate upon sixty (60) days written notice to the other Party.

IN WITNESS WHEREOF, the Agreement has been executed on the date first indicated above.

Hamburg Township Library

Michaelene Farrell, President

Hamburg Township

Michael Dolan, Clerk



## **ATTORNEY ENGAGEMENT AGREEMENT**

This Attorney Engagement Agreement (“Agreement”) executed in duplicate with each party receiving an executed original.

Advocates for Faith & Freedom (hereinafter referred to as “Firm”) hereby agrees to provide legal services to Hamburg Township (hereinafter referred to as “Client”), on the terms set forth below.

### **1. CONDITIONS**

This Agreement will take effect when (a) Client returns a signed copy of this Agreement; and (b) Firm acknowledges acceptance of representation by counter-signing this Agreement and returning a fully executed copy to Client.

### **2. SCOPE OF SERVICES**

Client is engaging Firm for the following purposes: for advice regarding the constitutionality of speech on government property in the Hamburg Township.

### **3. GOOD-FAITH COOPERATION**

Firm shall perform services prescribed under this Agreement, keep Client informed of progress and developments, and promptly respond to Client’s inquiries and communications. Firm’s goal is to respond to all inquiries within forty-eight (48) hours, with the understanding that additional time may be necessary depending on the complexity of the inquiry.

Client shall be truthful and cooperative with Firm, keep Firm reasonably informed of developments which may come to Client’s attention, to abide by this Agreement, and inform Firm of Client’s contact information and whereabouts. Client agrees to cooperate at all times in the preparation and presentation of the matters encompassed by this Agreement. This includes providing Firm with documents and requested information and making it available for meetings, or legal proceedings should there be any. Client understands and agrees that it is entering this Agreement freely and that it has not been threatened, harassed, or promised anything by anyone in exchange for doing so. Client is free to sever the attorney-client relationship at any time by notifying Firm of its decision in writing, at which time Firm would endeavor to withdraw from its representation in accordance with all applicable rules of professional conduct and the law.

### **4. LEGAL FEES AND COSTS**

The Firm agrees to provide its legal services without charge to Client pursuant to the terms herein.

### **5. ASSOCIATE COUNSEL**

With the prior consent of Client, Firm may employ or contract with associate counsel (attorneys of firms not employed by Firm) to assist in performing the services contemplated by this Agreement. Work performed by associate counsel will be provided *pro bono* unless otherwise agreed by Client or Client’s authorized representatives.

## **6. CONSENT TO USE E-MAIL AND CLOUD SERVICES**

In order to provide Client with efficient and convenient legal services, Firm will frequently communicate and transmit documents using e-mail. Because e-mail continues to evolve, there may be risks communicating in this manner, including risks related to confidentiality and security. By entering into this Agreement, Client is consenting to such e-mail transmissions with Client and Client's representatives and agents.

In addition, Firm uses a cloud computing service with servers located in a facility other than Firm's offices. Firm's electronic data, including emails and documents, are stored in this manner. By entering into this Agreement, Client understands and consents to having communications, documents, and information pertinent to the Client's matter stored through such a cloud-based service.

## **7. DESTRUCTION OF FILE**

Firm maintains its files electronically. Upon completion of the work and/or services set forth in Paragraph 2 above, Client may, upon written notice, request a copy of their electronic file in which Client may be charged for a copy of their file. If Client does not request a copy of their electronic file, Firm shall maintain the electronic file for a period of two (2) years. Firm's electronic file may be destroyed after two (2) years following the completion of the work and/or services. If Client would like Firm to maintain the electronic file for an extended period, a separate written agreement must be made between Firm and Client. For purposes of clarity, the electronic file includes Client's papers and property as defined in *Rule 1.16 of the California Rules of Professional Conduct*.

## **8. DISPUTE RESOLUTION**

### **A. Firm's Compensation Disputes:**

It is not anticipated that any financial disputes will arise as this is a pro bono contract. In any event, the parties agree that any dispute relating to Firm's compensation under this Agreement shall first be submitted to mediation before a mutually satisfactory mediator jointly selected by the parties. Should mediation not fully resolve the issues, then Client will have the statutory right to arbitrate the matter to binding arbitration before the appropriate bar association or other authorized body, pursuant to the applicable laws and regulations governing attorney-client fee disputes. Should that organization decline to arbitrate the dispute, it may be submitted to any other appropriate body or authority authorized under applicable law.

Should Client elect not to submit any dispute relating to Firm's compensation to statutory arbitration pursuant to applicable law, then the parties specifically agree to resolve compensation disputes in accordance with the alternative dispute resolution procedure below for "all other claims and disputes."

### **B. All Other Claims and Disputes:**

All other claims and disputes (other than those relating to Firm's compensation, unless not resolved pursuant to the above paragraph) between the parties arising out of or in any way relating to this Agreement or to Firm's professional services rendered to, or for, Client-including claims for legal malpractice, breach of contract, and breach of fiduciary duties-shall first be addressed through mediation. Then, if necessary, through binding arbitration, before the American Arbitration Association, or another mutually agreed-upon arbitration provider, in



accordance with the Association's then prevailing "Commercial Dispute Resolution Procedures" or comparable rules in effect at the time any such matter is submitted to arbitration.

The arbitration shall be governed by the arbitration laws in force under the applicable laws of the State of Michigan. Judgment upon any award rendered in arbitration pursuant to this paragraph shall be final and binding and may be entered by a court of competent jurisdiction.

"Binding Arbitration" is an out-of-court dispute resolution process whereby Firm and Client jointly appoint a neutral, disinterested third-party decision-maker (i.e., an "arbitrator") to gather evidence from both parties and render a decision that is fully enforceable in a court of law. By agreeing to binding arbitration, Client acknowledges and agrees that they are waiving their right to a trial by jury, to formal court proceedings, and to appeal rights, except in very limited circumstances as provided under applicable law. By signing this Agreement, Client specifically agrees to the alternative dispute resolution procedures set forth in this paragraph.

## **9. DISCLAIMER OF GUARANTEE**

Although Firm may offer an opinion about possible results regarding the subject matter of this Agreement, Firm cannot guarantee any particular result. Client acknowledges that Firm has made no promises about the outcome and that any opinion offered by Firm in the future will not constitute a guaranty.

## **10. SEVERABILITY IN EVENT OF PARTIAL INVALIDITY**

If any provision of this Agreement is held either in whole or in part to be unenforceable for any reason, the unenforceable portion shall be severed, or the remainder of the Agreement shall remain in full force and effect.

## **11. PROFESSIONAL LIABILITY INSURANCE**

Pursuant to the *California Rule of Professional Conduct 1.4.2(a)* and the applicable rules of professional code, Firm hereby informs Client that Firm has professional liability insurance.

## **12. AUTHORITY TO EXECUTE AGREEMENT**

The persons signing this Agreement certify that they are authorized to sign it on behalf of the Client and Client agrees to be bound to the terms of this Agreement. Client acknowledges that it has the right to obtain the advice of independent legal counsel about this Agreement so that they may fully understand and consider its terms before signing it. Further, by signing below, Client hereby acknowledges that it has addressed any concerns about this Agreement to Firm's attention and that Firm has addressed those concerns to Client's complete satisfaction prior to Client signing.

## **13. REPRESENTATION OF ADVERSE INTERESTS**

Client is hereby informed that the applicable rules of pr require written consent before Firm may begin or continue to represent parties with actual or potentially adverse interests. Client further acknowledges that (i) Firm has advised Client of the right to seek independent legal counsel in considering the terms of this Agreement, and (ii) Client has been afforded a reasonable opportunity to consult with independent counsel in this regard.

Pursuant to the applicable rules of professional code, Firm represents the Corporation that is party to this agreement. Firm's duties of confidentiality, diligence, etc., apply to its representation of the **organization itself** that is party to this agreement. It is possible the interests

of the organization that is party to this agreement may be adverse to the interests of the organization's constituents and officers in their individual capacities. If such a scenario arises Firm is obligated under the rule to act in the best interest of the organization. Firm will identify who its client is when dealing with the constituents of the organization when Firm knows, or reasonably should know, that the interests of the organization and its constituent(s) are adverse.

#### **14. DISCHARGE AND WITHDRAWAL**

Client may discharge Firm at any time by written notice effective when received by Firm. Unless specifically agreed by Firm and Client, Firm will provide no further services and advance no further costs on Client's behalf after receipt of such notice.

Firm may withdraw without Client's consent for good cause. "Good cause" includes, but is not limited to: (i) Client's breach of this Agreement, (ii) Client's refusal to cooperate with Firm or to follow its advice on a material matter, (iii) any fact or circumstance that would render Firm's continuing representation unlawful or unethical, (iv) evidence discovered discloses that Client's claim or lawsuit lacks merit, (v) information discovered suggests that any judgment or award will be rendered uncollectable, and (vi) Firm recommends that Client accept a reasonable settlement offer, but Client refuses to do so. Notwithstanding Firm's withdrawal, Client will be obligated to pay Firm out of the recovery reasonable attorneys' fee for all services provided, and to reimburse Firm out of the recovery for all costs advanced before the withdrawal. If there is no recovery, or the recovery is insufficient to reimburse Firm in full for costs advanced, Firm will bear the loss.

Firm may withdraw representation for good cause without the Client's consent. Good cause includes but is not limited to: (i) the client insists upon making a claim or taking a position in a litigation matter, that is not warranted under existing law and cannot be supported by good faith argument for an extension, modification, or reversal of existing law; (ii) the client either desires to pursue a criminal or fraudulent course of conduct or has used Firm's services to pursue a course of conduct Firm reasonably believes is criminal or fraudulent; (iii) the client insists Firm pursue a fraudulent or criminal course of conduct; (iv) the Client renders it unreasonably difficult for Firm to carry out the representation effectively; (v) the client breaches this Agreement, and Firm has provided a reasonable warning Firm will withdraw unless the Client repairs the breach and fulfills its obligations to Firm under this Agreement; (vi) the client knowingly and freely assents to termination of the representation; (vii) Firm's inability to work with co-counsel is such that the best interests of the client likely will be served by withdrawal (viii) the mental or physical condition of Firm's attorneys working on the matter renders it difficult for the lawyer to carry out the representation effectively; (ix) a continuation of the representation is likely to result in a violation of the Rules of Professional Conduct or the State Bar Act; (x) the insolvency of Firm; or (xi) Firm believes in good faith, in a proceeding pending before a tribunal, that the tribunal will find some other good cause exists for withdrawing Firm's representation.

#### **15. MODIFICATION BY SUBSEQUENT WRITTEN AGREEMENT**

This Agreement may be modified only by the subsequent written agreement of the parties, signed by both Client and Firm.

## 16. MEDIA COMMUNICATIONS

Client further agrees not to make any statements to the news media regarding the matter without prior approval. Client understands that Firm will, at their sole discretion, seek and respond to media coverage of the case. Client agrees to refer all media and press inquiries to Firm. Press releases and media coverage may disclose the name of Client. Client therefore consents to allow Firm to issue press releases and to speak to the media in relation to Client's case.

## 17. ENTIRE AGREEMENT

This Agreement contains the complete and entire agreement of the parties. No other agreement, statement, representation or promise of any sort made on or before the effective date of this Agreement shall be binding on the parties.

## EXECUTION OF AGREEMENT

Each signatory below has read and understood the foregoing terms and those set forth on the attached Rate Schedule and agree to them, as of the date that Advocates for Faith & Freedom executes this Agreement, following Client's timely return of the signed original. This Agreement shall be effective as of the date that Firm countersigns it.

DATED: \_\_\_\_\_

**ADVOCATES FOR FAITH AND FREEDOM**

By: \_\_\_\_\_  
Erin Mersino, Attorney at Law

DATED: \_\_\_\_\_

**CLIENT  
HAMBURG TOWNSHIP**

\_\_\_\_\_  
Jason Negri, Supervisor



**TO:** Board of Trustees

**FROM:** Michael Dolan, Township Clerk

**DATE:** November 26, 2025

**AGENDA ITEM TOPIC:** Township of Excellence

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**Requested Action**

- none

**Background**

Courtney will be providing us an update of remaining items to complete for application eligibility.

**Fiscal Considerations**

Does the agenda item require the expenditure of funds? Yes ☐ No ☒

Are funds budgeted? Yes ☐ No ☒

Fiscal year affected: 2025/2026

Is a budget amendment required? Yes ☐ No ☒

General Ledger numbers affected: N/A

## Hamburg Township Committees

### 2026 Meeting Schedule

#### Public Safety

##### Board Room

1<sup>st</sup> Wednesday of each month @ 3:00 p.m.

January 7, 2026  
February 4, 2026  
March 5, 2026  
April 1, 2026  
May 6, 2026  
June 3, 2026  
July 1, 2026  
August 5, 2026  
September 2, 2026  
October 7, 2026  
November 4, 2026  
December 2, 2026

#### Municipal Utilities Committee

##### Board Room

2<sup>nd</sup> Tuesday of each month @ 2:30 p.m.

January 13, 2026  
February 10, 2026  
March 10, 2026  
April 14, 2026  
May 12, 2026  
June 9, 2026  
July 14, 2026  
August 11, 2026  
September 8, 2026  
October 13, 2026  
November 10, 2026  
December 8, 2026

#### Planning Commission

##### Board Room

3<sup>rd</sup> Wednesday of each month @ 6:00 p.m.

January 21, 2026  
February 18, 2026  
March 18, 2026  
April 15, 2026  
May 20, 2026  
June 17, 2026  
July 15, 2026  
August 19, 2026  
September 16, 2026  
October 21, 2026  
November 18, 2026  
December 16, 2026

#### Zoning Board of Appeals

##### Board Room

2<sup>nd</sup> Wednesday of each month @ 6:00 p.m.

January 14, 2026  
February 11, 2026  
March 11, 2026  
April 8, 2026  
May 13, 2026  
June 10, 2026  
July 8, 2026  
August 12, 2026  
September 9, 2026  
October 14, 2026  
November 11, 2026  
December 9, 2026

#### Parks & Recreation

##### Board Room

4<sup>th</sup> Tuesday of each month @ 3:30 p.m.

January 27, 2026  
February 24, 2026  
March 24, 2026  
April 28, 2026  
May 26, 2026  
June 23, 2026  
July 28, 2026  
August 25, 2026  
September 22, 2026  
October 27, 2026  
November 24, 2026  
December TBD, 2026

#### Senior Advisory

##### Senior Center

2<sup>nd</sup> Wednesday EOM @ 10:00 a.m.

January 14, 2026  
March 11, 2026  
May 13, 2026  
July 8, 2026  
September 9, 2026  
November 11, 2026

**Hamburg Road Millage Renewal ballot language for 2026**

Shall Hamburg Township, Livingston County, Michigan be authorized to levy a tax annually not to exceed 1.00 mill (\$1.00 on each \$1,000 of taxable value) against all property in the Township for a period of five (5) years, 2026 to 2030 inclusive, to provide funds for the purpose of improvements, repair, and maintenance of public roads in Hamburg Township only? If this renewal millage is approved and levied in December 2026, the estimated amount of revenue that would be collected the first year would be approximately \$1,507,185.



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## **ARTICLE II. BREACH OF PEACE<sup>1</sup>**

### **Sec. 22-19. Title.**

This article shall be known and cited as the Hamburg Township Breach of Peace Ordinance.

(Ord. No. 94-C, § 1.0, 3-1-2022)

### **Sec. 22-20. Purpose.**

The purpose of this article is to promote the public health, safety, comfort and general welfare of the community through the proper regulation of noise and conduct which unreasonably interferes with another person's use and enjoyment of private real property, interferes with another person's use or enjoyment of public facilities or disturbs the peace, tranquility and good order of the Township of Hamburg.

(Ord. No. 94-C, § 2.0, 3-1-2022)

### **Sec. 22-21. Definition.**

*APA standard 87-1* means 2001 APA standard 87-1, standard for construction and approval for transportation of fireworks, novelties, and theatrical pyrotechnics, published by the American Pyrotechnics Association of Bethesda, Maryland.

*Cemetery* means any property owned, operated, or maintained by Hamburg Township used for the burial or interment of deceased persons.

*Plainly audible* means any sound that can be clearly detected by a person using his or her unaided hearing faculties.

*Property line* means either (a) the boundary line that separates one parcel of real property from another; (b) the boundary line that separates one parcel of real property from a body of water; or (c) the vertical and horizontal boundaries of a dwelling unit that is part of a multi-dwelling unit building;

*Public facilities* mean public parks, cemeteries and Township buildings as defined herein.

*Public park* means any property owned, leased or operated by Hamburg Township or the State of Michigan which is used by the public for recreational purposes.

*Residential disturbance* means a gathering of more than one person at a residential property between the hours of 10:00 p.m. and 7:00 a.m., at which noise associated with the gathering, including human voices, is frequent, repetitive or continuous for a period of 15 minutes or more and is plainly audible at a distance of 100 feet or more beyond the property line or plainly audible within another person's residential dwelling.

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<sup>1</sup>Ord. No. 94-C, adopted March 1, 2022, repealed and reenacted article II to read as set out herein. Former article II, §§ 22-19—22-25 pertained to similar subject matter and derived from Ord. No. 94-A, adopted Aug. 6, 2018 and Ord. No. 94-B, adopted Nov. 17, 2020.

*Residential dwelling* means any building or structure or part of a structure used by one or more persons for habitation and includes, but not limited to, houses, condominiums, apartments, boarding rooms, and mobile homes.

*Residential street* means any street or roadway, whether public or private, which is located within any of the Hamburg Township Zoning Districts, as established by the Hamburg Township Zoning Ordinance, where the property adjoining the street or roadway is authorized to be used for dwelling purposes.

*Sports official* means any person authorized to act in a sporting or other competitive event as a judge, referee or umpire of such event.

*Township* means Hamburg Township, Livingston County, Michigan.

*Township building* means any building, structure or other facility owned or operated by Hamburg Township and used for a public purpose.

*Township employee* means any full-time employee, part-time employee, temporary employee, seasonal employee or on-call employee of Hamburg Township. It also shall mean any unpaid volunteer or intern performing work for Hamburg Township as authorized by the Township Board.

(Ord. No. 94-C, § 3.0, 3-1-2022)

## **Sec. 22-22. General prohibition.**

Any person who shall create or assist in creating or maintaining any unnecessary or unreasonable noise, disturbance, trouble or improper diversion or engages in conduct which unreasonably interferes with another person's use and enjoyment of private real property, interferes with another person's use or enjoyment of public facilities, causing a reasonable person to feel intimidated, threatened or harassed in a place open to the general public by means of yelling, screaming or using voice amplification devices, or disturbs the peace, tranquility and good order of the Township of Hamburg shall be in violation of this article.

(Ord. No. 94-C, § 4.0, 3-1-2022; Ord. No. 94-D, § 4.0, 3-1-2023)

## **Sec. 22-23. Specific prohibitions.**

The following specific acts and noises are hereby declared to be an unnecessary or unreasonable interference with the peace and good order of the Township of Hamburg and/or its residents and are hereby deemed a breach of the peace in violation of this article:

- (1) No person shall operate any power lawn equipment including, but not limited to, lawn mowers, leaf blowers, power edgers, power sheers/trimmers or power saws within 500 feet of a residential dwelling between the hours of 10:00 p.m. and 7:00 a.m.
- (2) No person shall engage in any type of construction, repair, remodeling, drilling, woodcutting or excavating within 500 feet of a residential dwelling between the hours of 10:00 p.m. and 7:00 a.m.
- (3) No person shall use or operate or permit to be used or operated any radio, television, phonograph, musical instrument, speaker, amplifier or other machine or device for the producing, reproducing or amplification of sound with louder volume than is necessary for convenient hearing for the person or persons who are voluntary listeners thereto. It shall be prima facie evidence of a violation of this Ordinance if sound emanating from such machine or device is:
  - a. Plainly audible beyond the property line of the location where the machine or device is being used between the hours of 10:00 p.m. and 7:00 a.m.

- b. Plainly audible at a distance of 100 feet beyond the property line of where the machine or device is being used or is plainly audible within a residential dwelling between the hours of 7:00 a.m. and 10:00 p.m.
  - c. Plainly Audible at a distance of 100 feet from such machine or device if operated from a motor vehicle on a public street or parking lot open to the public.
  - d. Plainly Audible at a distance of 100 feet from such machine or device when operated in a public park or other place open to the public.
- 4) No person shall yell, shout, whistle, sing or otherwise communicate in a manner or at a volume:
  - a. Where such communication is plainly audible at a distance of 100 feet from the person on a residential street between the hours of 10:00 p.m. and 7:00 a.m.
  - b. In a Township building if it interferes with the public's use of said building or interferes with the ability of a Township employee to effectively carry out the business of the Township.
  - c. In a public facility if would cause a reasonable person to feel intimidated, threatened or harassed.
  - d. In or near any commercial, retail or other place of business open to the general public if it interferes with or disrupts the operation of said business.
  - e. In or near any commercial, retail or other place of business open to the general public if it would cause an employee or patron of such business to reasonably feel intimidated, threatened or harassed.
- (5) No person shall engage or participate in a residential disturbance, as that term is defined herein. The person exercising dominion or control over the residential property where said disturbance is occurring shall be held responsible for violation of this section.
- (6) A person shall not operate a motor vehicle with unnecessary noise and shall not start, move or turn a motor vehicle or apply the brakes or the power on a motor vehicle or in any manner operate the vehicle so as to cause the tires to squeal or the tires or vehicle to make any noise not usually connected with the operation of the motor vehicle, except in case of an emergency.
- (7) No person shall sound any horn or signaling device on any vehicle, motorcycle or vessel anywhere in the Township, except as a danger warning or in compliance with state law.
- (8) No person shall unnecessarily jostle, shove, push or crowd another person in a place open to the general public.
- (9) No person shall be in a state of intoxication, either by the consumption of alcohol, drugs or combination of both, in a public place and either:
  - a. Endanger the safety of another person or of property; or
  - b. Act in a manner that causes a public disturbance or alarm. The summoning of the police by a member of the public due to the actions of the intoxicated person is deemed prima facie evidence that a public disturbance or alarm was created by the intoxicated person.
- (10) No person shall engage in any fight or other physical altercation with any other person in a place open to the public. A law enforcement officer having jurisdiction to enforce this article may initiate prosecution under this article whether or not any person involved in the fight or physical altercation pursues a criminal complaint against the other person(s) involved.
- (11) No person shall engage in any conduct which shall interfere with or interrupt an organized athletic or recreational event being held at any Township athletic field or park which has been authorized by the



Township Board; nor shall any person act in a manner which would cause a participant, coach, sports official or spectator of such event to reasonably feel intimidated, threatened or harassed.

- (12) No person, except authorized Township employees and officials and persons given express permission by a Township employee or official, shall enter into or upon, loiter outside of, or remain within any publicly owned or leased area or building within the Township that is posted with one or more signs stating "public entry prohibited," "public access prohibited," "authorized personnel only," "restricted area," "no public access allowed," "Township personnel only," "employees only," or similar statements prohibiting or restricting entry or access.
- (13) Nothing in this section shall be construed as to prevent a law enforcement officer from taking enforcement action against any person engaged in conduct not specifically prohibited by this section if such conduct is in violation of section 22-22 of this article.
- (14) Fireworks-related activities are specifically addressed in Chapter 22, Article VI herein.

(Ord. No. 94-C, § 5.0, 3-1-2022; Ord. No. 94-D, § 5.0, 3-1-2023)

### **Sec. 22-24. Exemptions.**

The following activities are exempted from the prohibitions and limitations of this article:

- (1) Emergency work necessary to restore property to a safe condition following a fire, accident or natural disaster.
- (2) Emergency work necessary to restore public utilities or to protect persons or property from imminent danger.
- (3) Sound made to alert persons to the existence of an emergency, danger or attempted crime.
- (4) Activities of police, fire or emergency medical service personnel engaged in the lawful performance of their duties.
- (5) Activities or operations of Township personnel or of other governmental units or agencies engaged in official government business.
- (6) Parades, concerts, festivals or other similar activities approved by the Township Board, subject to any limitations on sound or conduct contained in the Township Board's approval.
- (7) The use of speakers, amplifiers or other machines or devices for the producing, reproducing or amplification of sound in connection with any otherwise lawful religious or political activity held in any public place within the Township between the hours of 7:00 a.m. and 10:00 p.m.
- (8) The use of sound producing instruments or equipment, musical instruments, speakers, amplifiers or other machines or devices for the producing, reproducing or amplification of sound in connection with an organized athletic or recreational event on any Township athletic field or park which has been authorized by the Township Board.

(Ord. No. 94-C, § 6.0, 3-1-2022)

### **Sec. 22-25. Enforcement.**

- (a) A law enforcement officer having jurisdiction to enforce this article is hereby authorized to the extent permitted by state and federal law to stop, detain, pursue and obtain identification from any person for which the officer has probable cause is in violation of this article.

- (b) Any person notified, warned or cited for a violation of this article by a law enforcement officer having jurisdiction to enforce this article shall immediately cease the noise or conduct which resulted in the warning or citation.
- (c) Any person who fails to immediately cease the noise or conduct in violation of this article upon receiving a warning, order or citation from a law enforcement officer shall be subject to custodial arrest in accordance with appropriate state statutes.

(Ord. No. 94-C, § 7.0, 3-1-2022)

#### **Sec. 22-26. Penalties.**

- (a) Any person who shall violate any of the provisions of this article shall be responsible for a municipal civil infraction. The fines and penalties as set forth in section 6.0 entitled "Sanctions for Violations" of the Hamburg Township Municipal Civil Infraction Ordinance, as it may be amended from time to time, are incorporated herein by reference.
- (b) For purposes of assessing fines and penalties only, a violation under this article shall be classified as a Class C municipal civil infraction.

(Ord. No. 94-C, § 8.0, 3-1-2022)

#### **Secs. 22-27—22-55. Reserved.**