

10405 Merrill Road P.O. Box 157 Hamburg, MI 48139 (810) 231-1000 www.hamburg.mi.us

Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

BOARD OF TRUSTEES REGULAR MEETING

Tuesday, September 05, 2023 at 2:30 PM Hamburg Township Hall Board Room

AGENDA

CALL TO ORDER

PLEDGE TO THE FLAG

ROLL CALL OF THE BOARD

CALL TO THE PUBLIC

CONSENT AGENDA

- 1. Board of Trustees Regular Meeting Minutes August 15, 2023
- 2. Board of Trustees Special Meeting Minutes August 15, 2023
- 3. Approved MUC Minutes July 12, 2023
- 4. Parks & Rec Approved Minutes June 2023
- 5. Senior Center Monthly Report August 2023
- 6. DPW Monthly Report July 2023
- 7. Bills List September 5, 2023
- 8. Invoice A2Z Mowing

APPROVAL OF THE AGENDA

UNFINISHED BUSINESS

- 9. SPA 23-001 Freedom River Final Site Plan
- 10. Grant TF#22-0107 Project Agreement & Resolution Bennett Park & Water Trail Access Improvements
- 11. Grant Senior/Community Center Upgrade and Expansion Resolution to Submit
- <u>12.</u> Grant Senior/Community Center Upgrade and Expansion Project Authorization for Coordinator to Prepare and File
- 13. Parks & Rec Spicer Group Agreement Prime Professional Grant #TF22-0107

CURRENT BUSINESS

- 14. Over-the-Road-Banner Request Freedom River Fundraising Event
- 15. Purchase of Police Station Furnishings/Accessories
- 16. Purchase of Fire Station Furnishings
- 17. ARPA Update

- 18. Township Hall Building Improvement
- 19. Hilltop Securities approval sought
- 20. Resolution Approving Opting-In to the National Opioid Litigation Settlement with Walgreens
- 21. Restroom Project Final Invoice
- 22. Parks & Rec Policy & Procedure Update Park/Trail Use Sign Policy/Procedure
- 23. Parks & Rec Spicer Group Agreement Master Design Plan Concept Development
- 24. ZTA 21-003 Permitted Use Tables
- 25. ZTA 22-001 Short Term Rental Ordinance

CALL TO THE PUBLIC

BOARD COMMENTS

ADJOURNMENT



10405 Merrill Road P.O. Box 157 Hamburg, MI 48139 (810) 231-1000 www.hamburg.mi.us

Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

BOARD OF TRUSTEES REGULAR MEETING

Tuesday, August 15, 2023 at 7:00 PM Hamburg Township Hall Board Room

MINUTES

CALL TO ORDER

Supervisor Hohl called the meeting to order at 7:00 p.m.

PLEDGE TO THE FLAG

ROLL CALL OF THE BOARD

PRESENT
Pat Hohl
Mike Dolan
Bill Hahn
Chuck Menzies
Cindy Michniewicz
Jason Negri
Patricia Hughes

CALL TO THE PUBLIC

A call was made with no response.

CONSENT AGENDA

Motion made by Menzies, Seconded by Michniewicz, to approve the Consent Agenda as presented. Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Negri, Hughes

- 1. Board of Trustees Regular Meeting Minutes August 1, 2023
- 2. Public Safety Monthly Report July, 2023
- 3. Bills List 8.15.2023

APPROVAL OF THE AGENDA

Motion by Hohl, Seconded by Hahn, to approve the Agenda with the addition of number 7 Buildings and Grounds Seasonal Hire.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Negri, Hughes

UNFINISHED BUSINESS

CURRENT BUSINESS

4. Public Safety SOPs

Motion by Hughes, Seconded by Michniewicz, to approve Hamburg Township Public Safety SOP# 100-18: Department Credit Card Policy and SOP# 100-19: Department Fuel Cards. Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Negri, Hughes

5. Board Of Review - Alternate Date Resolution

Motion by Hohl, Seconded by Negri, to move the Resolution as drafted here in the packet, Resolution #230801.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Negri, Hughes

6. Appeal of Utilities Fee Waiver Request

Motion by Hohl, Seconded by Hahn, to deny the request to waive the fees and issue the invoice as originally presented, and provided in the packet from Brittany Campbell dated May 8, 2023.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Negri, Hughes

7. Building and Grounds Seasonal Hire

Motion by Hohl, Seconded by Hahn, with the consensus of Tony Randazzo, Michelle DeLancey, Dwayne Hoeppner, Pat Hohl and Mike Dolan, to authorize that group to hire a Seasonal Building and Grounds person, in that the season ends in November and we need to get the person on board to get the work done.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Negri, Hughes

CALL TO THE PUBLIC

A call was made with no response.

BOARD COMMENTS

No Board comments were made.

ADJOURNMENT

Motion by Menzies, Seconded by Michniewicz, to adjourn the Board meeting. Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Negri, Hughes

Meeting adjourned at 7:09 p.m.

Karen L. Vermillion

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Recording Secretary

Mike Dolan Township Clerk

Mich Dol



10405 Merrill Road P.O. Box 157 Hamburg, MI 48139 (810) 231-1000 www.hamburg.mi.us

Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

BOARD OF TRUSTEES SPECIAL MEETING

Tuesday, August 15, 2023 at 12:00 PM Hamburg Township Hall Board Room

MINUTES

CALL TO ORDER

Hohl called the meeting to order at 12:08 pm

PLEDGE TO THE FLAG

ROLL CALL OF THE BOARD

PRESENT
Bill Hahn
Chuck Menzies
Cindy Michniewicz
Jason Negri
Mike Dolan
Pat Hohl
Patricia Hughes

CALL TO THE PUBLIC

A call was made with no response.

APPROVAL OF THE AGENDA

Motion by Hohl, Seconded by, to approve the agenda as presented, and amending to add tonight's agenda.

WITHDRAWN

Motion by Negri, Seconded by Dolan, to approve the agenda adding the 3 agenda items from tonight's meeting and cancelling tonight's meeting.

Voting Yea: Hahn, Menzies, Michniewicz, Negri, Dolan, Hohl

Voting Nay: Hughes

Negri left at 12:15 pm

CURRENT BUSINESS

1. Burnham & Flower Insurance Presentation

Presentation by Jack Schmitz Director from Burnham & Flowers and Dan Brown from Acrisure and CareFactor.

CALL TO THE PUBLIC

A call was made with no response.

BOARD COMMENTS

ADJOURNMENT

Motion by Dolan, Seconded by Hahn, to address the 3 agenda items for tonight at tonight's regularly scheduled Board Meeting at 7:00 pm.

Voting Yea: Hahn, Menzies, Michniewicz, Dolan, Hohl, Hughes

Motion made by Hughes, Seconded by Michniewicz, to adjourn. Voting Yea: Hahn, Menzies, Michniewicz, Dolan, Hohl, Hughes

Meeting Adjourned at 1:54 p.m.

Courtney L. Paton

Recording Secretary

Mike Dolan

Township Clerk



10405 Merrill Road ♦ P.O. Box 157 Hamburg, MI 48139

Phone: 810.231.1000 • Fax: 810.231.4295

www.hamburg.mi.us

EXCERPT FROM HAMBURG TOWNSHIP MUNICIPAL UTILITIES COMMITTEE MEETING MINUTES

To the attention of: Patrick J. Hohl, Supervisor

Hamburg Township Board of Trustees

Re: Approved Municipal Utilities Committee Minutes

Please be apprised of this excerpt from the [X]Unapproved []Approved Minutes of the Meeting of the Hamburg Township Sewer Committee:

Date of Meeting: August 9th, 2023

Sewer Committee Members Present: Hohl, Hahn, Michniewicz

Sewer Committee Members Absent: None

Text of Motion: MOTION BY HOHL, SUPPORTED BY MICHNIEWICZ TO

APPROVE THE MINUTES OF THE JULY 12th, 2023 MUNICIPAL

UTILITIES COMMITTEE MEETING AS PRESENTED.

Ayes: Hohl, Hahn, Michniewicz Absent: None Nays: None

MOTION CARRIED.

State of Michigan }
County of Livingston }
Township of Hamburg}

I, BRITTANY K. CAMPBELL, Hamburg Township Utilities Coordinator and recording secretary to the Municipal Utilities Committee, do hereby certify that the foregoing is a true and correct excerpt of the Minutes of the aforementioned Regular/Special Meeting of the Hamburg Township Municipal Utilities Committee.

Date: August 9th, 2023

BRITTANY K. CAMPBELL

HAMBURG TOWNSHIP UTILITIES COORDINATOR

HAMBURG TOWNSHIP MUNICIPAL UTILITIES COMMITTEE WEDNESDAY, JULY 12th, 2023 – 2:30 P.M. 10405 MERRILL ROAD, HAMBURG, MI 48139

1. CALL TO ORDER

The meeting was called to order by Hohl at 2:30 p.m.

Roll Call of the Committee:

Present: Hohl, Hahn, Michniewicz

Absent: None

Also Present: Brittany Campbell, Tony Randazzo and Ryan Ward

2. CALL TO THE PUBLIC

Hohl opened the call to the public and seeing no response, closed the call to the public.

3. CORRESPONDENCE

There was no correspondence to be addressed at this meeting.

4. APPROVAL OF THE AGENDA

MOTION BY HOHL, SUPPORTED BY HAHN TO APPROVE THE AGENDA WITH THE ADDITION OF ITEM 7.L. UNDER CURRENT BUSINESS.

Ayes: Hohl, Hahn, Michniewicz Absent: None Nays: None Motion passed.

Unfinished Business:

- A. PFAS/PFOS Discussion
- B. Manhole Inspection Program
- C. 200 Series Grinder Pump Replacements

Current Business:

- A. DPW Monthly Report June 2023 Statistics
- B. MacLeod Sewer Connection Cost Review 9081 Riverside Dr.
- C. Adams Sewer Connection Cost Review 10800 Merrill Rd.
- D. Norfolk Development Corp. Sewer Connection Agreement 5696 Trail Side Ln.
- E. Norfolk Development Corp. Sewer Connection Agreement 5690 Trail Side Ln.
- F. Blake Anthony Homes Sewer Connection Cost Review 5707 Warren Woods Ln.
- G. Blake Anthony Homes Sewer Connection Cost Review 5733 Warren Woods Ln.
- H. Sewer Tap REU Review Police Department Building Addition
- I. Policies & Procedures for Gravity Sewer Connections & Deactivations
- J. Request to Re-Activate Quarterly Sewer O & M Billing 5300 E. M-36
- K. Hopwood Sewer Damage Invoice Dispute 4191 Shoreview Ln.
- L. 2022/2023 Fiscal Year Sewer REU/Tap Tracker

5. APPROVAL OF THE MINUTES

MOTION BY HOHL, SUPPORTED BY MICHNIEWICZ TO APPROVE THE MINUTES OF THE JUNE 14th, 2023 MUNICIPAL UTILITIES COMMITTEE MEETING AS PRESENTED.

Ayes: Hohl, Hahn, Michniewicz Absent: None Nays: None Motion passed.

6. UNFINISHED BUSINESS

A. PFAS/PFOS Discussion.

MOTION BY HOHL, SUPPORTED BY MICHNIEWICZ TO TABLE ALL UNFINISHED BUSINESS UNTIL NEW INFORMATION IS AVAILABLE.

Ayes: Hohl, Hahn, Michniewicz Absent: None Nays: None Motion passed.

B. <u>Manhole Inspection Program.</u>

MOTION BY HOHL, SUPPORTED BY MICHNIEWICZ TO TABLE ALL UNFINISHED BUSINESS UNTIL NEW INFORMATION IS AVAILABLE.

Ayes: Hohl, Hahn, Michniewicz Absent: None Nays: None Motion passed.

C. 200 Series Grinder Pump Replacements.

MOTION BY HOHL, SUPPORTED BY MICHNIEWICZ TO TABLE ALL UNFINISHED BUSINESS UNTIL NEW INFORMATION IS AVAILABLE.

Ayes: Hohl, Hahn, Michniewicz Absent: None Nays: None Motion passed.

7. CURRENT BUSINESS

A. <u>DPW Monthly Report – June 2023 Statistics</u>. Randazzo reported that the wastewater treatment plant (WWTP) was in compliance for the entire month of June. Results for the PFAS testing for the two resident wells located on Buck Lake indicated one home was non-detect for all PFAS compounds while the other had a handful of detections for PFAS out of 28 parameters. All were below the drinking water limits set by EGLE. Randazzo stated that the State was happy with the results and offered the name of a company that can provide testing that is much more cost effective. Unfortunately, the State will only accept those test results if there is a no-detect result, if there is any PFAS detected the Township will have to confirm with the current testing facility. Randazzo stated that the Township is still trying to get a few more samples at Buck Lake. Lastly, Randazzo stated that Biotech is still planning to perform a late summer sludge haul and noted that the Township is receiving much better service now than in the past.

Hamburg Twp. Municipal Utilities Committee Regular Meeting July 12th, 2023 Page 3

Ward presented the Committee with the DPW field report noting that the staff had purchased a battery powered transfer pump to start sampling with only one (1) technician being needed instead of the two that were previously needed to collect samples for the sodium testing. This allows the DPW staff to complete the sodium sampling much more efficiently. Ward also noted that staff met with W.J. O'Neil who will be installing the new heat exchanger system and have approved the design.

MOTION BY HOHL, SUPPORTED BY HAHN TO NOTE THE DPW MONTHLY REPORT AS RECEIVED AND TO BE FILED AND TO ALSO FORWARD A COPY TO THE TOWNSHIP BOARD AS AN AGENDA ITEM FOR THEIR REVIEW.

Ayes: Hohl, Hahn, Michniewicz Absent: None Nays: None Motion passed.

B. <u>MacLeod Sewer Connection Cost Review – 9081 Riverside Dr.</u> Campbell reported that the estimated construction charges under the blanket contract pricing agreement were \$10,183.96. The actual construction charges were \$10,183.96 leaving an excess balance of \$0.00 – a total wash of fees. As, a result no refund or invoice is due to the property owner.

MOTION BY HOHL, SUPPORTED BY MICHNIEWICZ TO NOTE THE UTILITIES COORDINATOR'S COST REVIEW AND TO CLOSE OUT THE SEWER CONNECTION FILE.

Ayes: Hohl, Hahn, Michniewicz Absent: None Nays: None Motion carried.

C. <u>Adams Sewer Connection Cost Review – 10800 Merrill Rd</u>. Campbell reported that the estimated construction charges under the blanket pricing contract were \$10,399.20. The actual construction charges were \$11,395.42, a difference of \$996.22. The actual footage for the 4" building sewer connection was 16 ft. resulting in the installation of 6 feet more than the estimated footage of 10 feet. In addition, a total of 256 feet of service lateral was installed versus the 210 feet included in the estimate. The addition footages installed for the building sewer connection and the sewer service lateral resulted in a balance due of \$996.22. As a result, the total shortage of \$996.22 should be billed to the property owner.

MOTION BY HOHL, SUPPORTED BY MICHNIEWICZ REQUESTING THE ACCOUNTING DEPARTMENT TO INVOICE THE PROPERTY OWNER IN THE AMOUNT OF \$996.22 FOR ADDITIONAL SEWER CONSTRUCTION CHARGES AS OUTLINED IN THE SEWER CONNECTION AGREEMENT.

Ayes: Hohl, Michniewicz Absent: Hahn Nays: None Motion passed.

Hamburg Twp. Municipal Utilities Committee Regular Meeting July 12th, 2023 Page 4

D. Norfolk Development Corp. Sewer Connection Agreement – 5696 Trail Side Ln.

MOTION BY HOHL, SUPPORTED BY HAHN TO APPROVE THE NORFOLK DEVELOPMENT CORPORATION AGREEMENT FOR SEWER CONNECTION AS PRESENTED, AS ALL OF THE ESTIMATED SEWER FEES WERE PAID UP-FRONT IN CASH.

Ayes: Hohl, Hahn, Michniewicz Absent: None Nays: None Motion passed.

E. <u>Norfolk Development Corp. Sewer Connection Agreement – 5690 Trail Side Ln.</u>
MOTION BY HOHL, SUPPORTED BY MICHNIEWICZ TO APPROVE THE NORFOLK DEVELOPMENT CORPORATION AGREEMENT FOR SEWER CONNECTION AS PRESENTED, AS ALL OF THE ESTIMATED SEWER FEES WERE PAID UP-FRONT IN CASH.

Ayes: Hohl, Hahn, Michniewicz Absent: None Nays: None Motion passed.

F. <u>Blake Anthony Homes Sewer Connection Cost Review – 5707 Warren Woods Ln.</u> Campbell explained that the estimated construction charges under the blanket pricing contract were \$4,454.63. The actual construction charges were \$5,183.14, a difference of \$728.51. The actual footage for the 4" building sewer connection was 17 ft. resulting in the installation of 5 feet more than the estimated footage of 12 feet. In addition, a total of 48 feet of service lateral was installed versus the 35 feet included in the estimate. In addition, the Contractor had to replace the damaged curb box and install a new check valve. The addition charges resulted in a balance due of \$728.51. As a result, the total shortage of \$728.51 should be billed to the property owner.

MOTION BY HOHL, SUPPORTED BY MICHNIEWICZ REQUESTING THE ACCOUNTING DEPARTMENT TO INVOICE THE PROPERTY OWNER IN THE AMOUNT OF \$728.51 FOR ADDITIONAL SEWER CONSTRUCTION CHARGES AS OUTLINED IN THE SEWER CONNECTION AGREEMENT.

Ayes: Hohl, Michniewicz Absent: Hahn Nays: None Motion passed.

G. <u>Blake Anthony Homes Sewer Connection Cost Review – 5733 Warren Woods Ln.</u> Campbell noted that the estimated construction charges under the blanket pricing contract were \$4,550.98. The actual construction charges were \$5,089.42, a difference of \$538.44. The actual footage for the sewer service lateral was 50 ft. resulting in the installation of 10 feet more than the estimated footage of 40 feet. In addition, the Contractor had to replace the damaged curb box and install a new check valve for the lot. The addition charges resulted in a balance due of \$538.44. As a result, the total shortage of \$538.44 should be billed to the property owner.

Hamburg Twp. Municipal Utilities Committee Regular Meeting July 12th, 2023 Page 5

MOTION BY HOHL, SUPPORTED BY HAHN REQUESTING THE ACCOUNTING DEPARTMENT TO INVOICE THE PROPERTY OWNER IN THE AMOUNT OF \$538.44 FOR ADDITIONAL SEWER CONSTRUCTION CHARGES AS OUTLINED IN THE SEWER CONNECTION AGREEMENT.

Ayes: Hohl, Michniewicz Absent: Hahn Nays: None

Motion passed.

H. <u>Sewer Tap REU Review – Police Department Building Addition</u>. Campbell presented the Committee with the sewer tap REU review completed for the new building addition approved for the Police Department. The proposed 2,000 square foot addition to the Police Department will result in an additional 1.50 REUs at the rate of \$7,500.00 per REU for a total due of \$11,250.00 to be paid into the sewer Enterprise fund.

MOTION BY HOHL, SUPPORTED BY MICHNIEWICZ TO FORWARD THE REU REVIEW TO THE BOARD WITH THE RECOMMENDATION TO INVOICE THE TOWNSHIP FOR THE POLICE DEPARTMENT BUILDING ADDITION SEWER TAP FEES IN THE AMOUNT OF \$11,250.00 TO BE DEPOSITED INTO THE SEWER ENTERPRISE FUND.

Ayes: Hohl, Michniewicz Absent: Hahn Nays: None Motion passed.

I. <u>Policies & Procedures for Gravity Sewer Connections and Deactivations</u>. Campbell provided the Committee with the draft of the Policies and Procedures for Gravity Sewer Connections and Deactivations. Campbell explained that the since we are now moving toward more gravity sewer districts that we needed the policies and procedures in place to deal with the sewer connections and de-activations. Hohl stated that he, Randazzo and Ward have all reviewed the policies and are good with them.

MOTION BY HOHL, SUPPORTED BY HAHN TO FORWARD TO THE BOARD WITH THE RECOMMENDATION TO ADOPT THE POLICIES AND PROCEDURES FOR GRAVITY SEWER CONNECTIONS AND DEACTIVATIONS AS WRITTEN.

Ayes: Hohl, Michniewicz Absent: Hahn Nays: None

Motion passed.

J. Request to Re-Activate Quarterly Sewer O & M Billing – 5300 E. M-36. Campbell explained that the property owner requested that the sewer O & M charges be deactivated due to a fire suffered at the property. The Committee agreed to the request and deactivated the sewer bill back to November 14th, 2022. The Committee also directed the DPW Foreman to monitor the water meter for any water usage at the building with the understanding once the water use commenced that the sewer O & M charges would be re-activated. Campbell noted that the DPW staff reported that the site used over 2,000 gallons of water between June 13, 2023 and July 5th, 2023. At this time the sewer O & M charges should be resumed.

Hamburg Twp. Municipal Utilities Committee Regular Meeting July 12th, 2023 Page 6

MOTION BY HOHL, SUPPORTED BY MICHNIEWICZ TO RE-ACTIVATE THE SEWER O & M CHARGES FOR THE PROPERTY LOCATED AT 5300 E. M-36 AS OF JUNE 1, 2023.

Ayes: Hohl, Michniewicz Absent: Hahn Nays: None Motion passed.

K. Hopwood Sewer Damage Invoice Dispute – 4191 Shoreview Ln. Randazzo explained that he received a complaint from the property owner in regards to a sewer repair invoice in the amount of \$362.40. The property owner questioned why he was billed for 2 hours of staff time when they were only on site for 10 minutes in his opinion. Randazzo explained to the homeowner that staff responded to an after-hours call and that they are paid for a flat 2-hour period for coming in to respond to a call. Hohl noted that staff had to drive to the WWTP, drive to the property and complete the repair and back so the owner should be billed for the time the Township has to pay the staff for.

MOTION BY HOHL, SUPPORTED BY MICHNIEWICZ THAT THE SEWER INVOICE IN THE AMOUNT OF \$362.40 WILL STAND.

Ayes: Hohl, Michniewicz Absent: Hahn Nays: None Motion passed.

Randazzo will contact the property owner to let him know that the sewer invoice will not be changed or waived.

L. <u>2022/2023 Fiscal Year Sewer REU/Tap Tracker</u>. Campbell provided the Committee with the sewer REU and tap fee tracking sheet showing that the Township added just over eighty-two (82.25) new REUs to the sanitary sewer system and collected \$336,375.00 in tap fees for the 2022/2023 fiscal year. Campbell noted that the REU fees collected reflect the increase of the sewer tap fee from \$4,500.00 to \$7,500.00 as adopted by the Township Board on September 6, 2022.

MOTION BY HOHL, SUPPORTED BY HAHN TO FORWARD TO THE BOARD AS AN INFORMATIONAL AGENDA ITEM.

Ayes: Hohl, Hahn, Michniewicz Absent: None Nays: None Motion passed.

8. CALL TO THE PUBLIC

Seeing no requests to address the Sewer Committee, Hohl closed the call to the public.

9. INFORMATIONAL/EDUCATIONAL MATERIAL

There was no information and/or educational material available for this meeting.

10. ADJOURNMENT

MOTION BY MICHNIEWICZ, SUPPORTED BY HOHL TO ADJOURN THE MEETING.

Ayes: Hohl, Hahn, Michniewicz Absent: None Nays: None Motion passed.

The meeting was adjourned at 2:46 p.m.

The foregoing is considered to be a true and accurate record of all items discussed. If any discrepancies or inconsistencies are noted, please contact the writer immediately.

Respectfully submitted,

Brittany K. Campbell

Hamburg Township Utilities Coordinator

Item 4.



Hamburg Township Offices 10405 Merrill Rd., P.O. Box 157 Hamburg, MI 48139 (810)222-1124 www.hamburg.mi.us

Hamburg Township
Parks & Recreation Committee
Regular Meeting
Hamburg Township Hall
Tuesday, June 27, 2023
3:00 p.m.

1. Call to Order

Dolan called the meeting to order at 3:02 p.m.

- 2. Pledge to the Flag
- 3. Roll Call of the Parks & Recreation Committee

Board Members Present: Michniewicz, Dolan, McCabe, Auxier

Board Members Absent: Muck

Also Present: Deby Henneman - Township Coordinator, Duane Hoeppner - Building & Grounds

4. Call to the Public

A call was made with no response.

5. Approval of the Agenda

Motion by Auxier, supported by Dolan, to approve the agenda with the removal of Howell Recreation

Organization – Park Use Discussion, as they will be moving their presentation to July.

VOICE VOTE: Ayes: 4 Absent: 1 (Muck)

MOTION CARRIED

6. Approval of the Minutes

Motion by Dolan, supported by McCabe, to approve the minutes from the May 30, 2023 Regular Meeting, with the correction of the approval of the minutes to reflect correct committee members.

VOICE VOTE: Ayes: 4 Absent: 1 (Muck)

MOTION CARRIED

7. Correspondence

Hamburg Historical Museum newsletter was received and filed.

- 8. Current Business
 - A. Howell Receation Organization

Discussion moved to July.

Parks & Recreation June 27, 2023 - 3 p.m. Page 2

B. Livingston United Way – Reading Trail Program – Village Trailhead

Henneman reviewed the United Way Reading Trail program which is planned for the Village Trailhead, and has been included in the conceptual plan for the Spark Grant.

9. Old Business

A. Parks & Recreation Master Plan/Pending Grants/Supervisor Report

- 1. Iron Belle Trail/Lakelands Trail Supervisor Update
 - Huron River free-span Bridge Project No update. However, the railroad is replacing their bridge soon.
 - MDNR Spark Grant ARPA-0863 submitted 6/26/23
 - i. Lakelands Trail Restroom & Amenities Project
 - ii. Requested 1,000,000 \$350,000 possible match
 - iii. Drafted in house, with Spicer support and concept plan development
 - Ralph C. Wilson Jr. Trail Maintenance Grant Zukey Lake Footbridge submitted 5/15/23
 - i. Award by 8/1/23
 - ii. \$100,000 request/\$40,000 possible match
 - iii. Drafted in house by Coordinator
- 2. Master Design Plan –Spicer Group to design concept plan for entire park including "Park within a Park" concept for West Park Improvements (See grant)
- 3. Bennett Park & Senior Center Coordinator Update
 - TF22-0107 Bennett Park & Water Trail Access Improvements Master Design plan pending
 - LCCOA Grant ADA Accessible Patio Doors & Other improvements On order

Dolan reported on project and the funding received. Project will include 2nd set of Accessible Patio Doors, New Flooring, New Chairs, and room dividers.

HERO Grant – Intergenerational Play Area Concept – Pending

B. Township Park Use Policy/Fee/Procedures

- Park Use Policy updates No updates
- 2. Park Use Fees When reviewing fees, additional charges for the Township arranging for portable toilet and garbage service will be investigated. The other alternative will be requiring that the Township vendor be used, and that user comply with suggested units based on the chart provided by the portable toilet vendor.

C. Administrative Services

- 1. Park Coordinator's Report May 2023 Report received and filed
- 2. Senior Center Report May 2023 Report received and filed
- 3. Scholarship Request East Michigan Panthers

Motion by Auxier, supported by Michniewicz, to approve the scholarship request from East MI Panthers for their spring 2023 season at the maximum allowable amount per the submitted request.

VOICE VOTE: Ayes: 4 Absent: 1 (Muck) MOTION CARRIE

Parks & Recreation June 27, 2023 - 3 p.m. Page 3

- 4. Park Use Requests
- A. Legacy Center/Michigan Alliance PowerAde Tournament

Motion by Michniewicz, supported by Auxier, to recommend approval to the Township Board after review and setting of hazard level by Public Safety, with a contingency that the Clerk Department be provided all requested documents to their satisfaction, and with the additional requirement that the applicant be charged for additional portable toilets, at a number suggested by the Township vendor based on the anticipated participants, along with a rubbish dumpster, all of which will be arranged by the Township Coordinator and included in their park fee invoice.

Voice Vote: Ayes – 4 Absent: 1 (Muck)

MOTION CARRIED

D. Special Projects

- 1. Baseball Dugout Renovation Project B&G will make further repairs
- 2. Pickleball Court #3 Is complete. Ribbon cutting TBD.
- 3. RC Car/Truck Track proposal No further update.
- 4. Sledding Hill (RC Field) No update
- 6. Bennett Park & Water Trail Access Improvements Pending Master Design
- 7. Scheduling Software/Invoicing and Donations Digital Options Bids being gathered.

E. Sponsorships/Volunteerism

- 1. Amenities and Beautification Committee No report
- 2. Community Clean-Up Final Report received and filed.

F. Signage and Community Awareness

- 1. Wayfinding & Safety Signage Traffic Circle sign has been delivered and is lined up for installation.
- 2. Winans/Hamburg Historical Marker Hamburg Cemetery New Marker is in. Ribbon Cutting will be arranged with State of MI and Historical Museum.

G. Risk Management (Insurance/ADA)

- 1. ADA Compliance in Parklands No updates
- 10. Call to the Public

A call was made with no response.

11. Committee Comments

Dolan stated he will be arranging an onsite visit with the MDNR staff.

Parks & Recreation June 27, 2023 – 3 p.m. Page 4

12. Adjourn Meeting

Motion by Auxier, supported by Michniewicz, to adjourn the meeting. VOICE VOTE: Ayes: 5

MOTION CARRIED

Meeting adjourned at 3:52 p.m.

Respectfully submitted,

Debra Henneman Township Coordinator Parks, ADA, Grants, Ordinances

Next meeting: Tuesday, July 25, 2023 – 3:00 p.m



August 9, 2023

To: Parks and Recreation Committee

From: Julie Eddings, Senior Program Director

Re: Senior Center Director's Report

July Statistics:

Monthly Attendance: 2467
Daily Average: 123
Number of New Members: 19

Upcoming Closures:

- August 12- August 20 for New Floor Installation
- September 4 for Labor Day

New Programming:

- Post Retirement Finance Presentation on August 23
- Kensington Boat Trip on August 24
- Luau BBQ with Brookdale Brighton and Music by Greg Allen
- Pampered Chef Demonstration on September 1
- Flu/COVID clinic on September 8
- Balance Presentation by Howell/Plymouth PTS on September 12
- Senior Picnic on September 14
- County Western BBQ with Line Dancing on September 15
- Glenn Matecun Law Presentation on September 19
- Bullet Journal Class on September 20
- Manicures on September 20
- Lunch Bunch to Log Cabin on September 20
- September Movie on September 22
- Flying Solo Friendship Group on September 26
- Brookdale Craft on September 27
- Bianco Tours Firekeepers Trip on September 28
- Oktoberfest on September 29

Other Information:

- Senior Advisory Board Meeting will be held on September 13 at 10:00 am at the Senior Center.
 - The Senior Center will be closed for new floor installation starting August 12 through August 20.
 - We will be running two different bus outings during the closure and leaving from Township Hall.
 - August 14 Shopping and Lunch
 - Movie and Lunch



10405 Merrill Road ◆ P.O. Box 157 Hamburg, MI 48139 Phone: 810.231.1000 ◆ Fax: 810.231.4295 www.hamburg.mi.us

EXCERPT FROM HAMBURG TOWNSHIP MUNICIPAL UTILITIES COMMITTEE MEETING MINUTES

To the attention of: Patrick J. Hohl, Supervisor

Hamburg Township Board of Trustees

Re: DPW Monthly Report – July 2023 Statistics

Please be apprised of this excerpt from the [X]Unapproved []Approved Minutes of the Meeting of the Hamburg Township Sewer Committee:

Date of Meeting: August 9th, 2023

Sewer Committee Members Present: Hohl, Hahn, Michniewicz

Sewer Committee Members Absent: None

Text of Motion: MOTION BY HOHL, SUPPORTED BY HAHN TO NOTE THE DPW

MONTHLY REPORT AS RECEIVED AND TO BE FILED AND TO ALSO FORWARD A COPY TO THE TOWNSHIP BOARD AS AN

AGENDA ITEM FOR THEIR REVIEW.

Ayes: Hohl, Hahn, Michniewicz Absent: None Nays: None

MOTION CARRIED.

State of Michigan }
County of Livingston }
Township of Hamburg}

I, BRITTANY K. CAMPBELL, Hamburg Township Utilities Coordinator and recording secretary to the Municipal Utilities Committee, do hereby certify that the foregoing is a true and correct excerpt of the Minutes of the aforementioned Regular/Special-Meeting of the Hamburg Township Municipal Utilities Committee.

BRITTANY K. CAMPBELL

HAMBURG TOWNSHIP UTILITIES COORDINATOR

Date: August 9th, 2023



10405 Merrill Road ♦ P.O. Box 157 Hamburg, MI 48139 Phone: 810.231.1000 ♦ Fax: 810.231.4295 www.hamburg.mi.us

To: Municipal Utilities Committee

From: Tony Randazzo Date: 08-03-2023

Re: DPW Monthly Report

1. The wastewater treatment plant was in compliance for the entire month of July.

- 2. We had a pre-construction meeting with W.J. O'Neil to discuss the new boiler and heat exchanger for delivery/installation at the WWTP. The delivery has been pushed back a few weeks by the manufacturer, but we still anticipate having it installed in time for the start of winter as long as there are no further setbacks.
- 3. One of the pipes in the Winans station has developed a hole, which led to our staff shutting down a pump. Instead of a making a band aid repair, we need to replace all the process piping in the station with new stainless-steel pipe. We were planning to wait until next fiscal year to tackle this project, but this new problem has forced our hand. This work will cost \$36,500 and it will take six weeks to for the pipe to even arrive. Over the last several years, we've replaced piping at all the stations. This will be the last one to be addressed.
- 4. Biotech is still planning on performing a late summer sludge haul. We have plenty of spare capacity in our tanks right now.



Hamburg Township Monthly Field Report July 2023

Ryan Ward

Grinder Calls: 46 Total / 17 OT

Plant Calls: 0 OT

Station Calls: 4

Pump Rebuilds: 34 Hamburg / 10 Portage / 6 Highland

Miss Digs: 184 Hamburg / 34 Portage

Startups: 0

Deactivations/Reactivations: 0

Replacements: 5

Grinder Stations in Stock: 112

Grinder Locations: 2

Grinder Pump Cores in Stock: 34

Field Jobs for the Month: This month we have completed our normal monthly checks. C&E Construction has completed the last 5 replacements for last year and has now received a new list of 21 replacements to work on this year. Rustic station piping has another hole in the piping that is in a location that cannot be patched, the

station is currently running on 1 pump until Midwest can make repairs. Winans station has a hole in the discharge piping, this station will need to be repaired with better piping. Ore station pump 1 is bad and needs to be either repaired or replaced.





User: MarcyM

DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount 08/15/2023 2749-ID-493777 ADVANCE AUTO PARTS GEN DEEP CYCLE BATT EXCHANGED ADVANCAUTO P.O. BOX 404875 74359 08/16/2023 Ν 9.42 ATLANTA GA, 30384-4875 / / 0.0000 Ν 0.00 08/16/2023 Υ 9.42 Open GL NUMBER DESCRIPTION AMOUNT 590-527.000-752.000 SUPPLIES & SMALL EQUIPMENT 9.42 9.42 VENDOR TOTAL: 08/28/2023 E35814 ADVSAFELOC ADVANCED SAFE & LOCK GEN FD#12 ALARM KEYPAD REPAIR 7589 WISTERIA WAY 09/05/2023 228.00 74462 Ν BRIGHTON MI, 48116-6203 / / 0.0000 Ν 0.00 09/05/2023 Υ 228.00 Open GL NUMBER DESCRIPTION AMOUNT 206-000.000-930.003 MAINTENANCE FIRE HALL 228.00 VENDOR TOTAL: 228.00 08/11/2023 19722725 ADVANCED02 ADVANCED WATER TREATMENT, INC. GEN TWP BOTTLED WATER (4) 74355 PO BOX 339 09/05/2023 Ν 23.96 HAMBURG MI, 48139 / / 0.0000 Ν 0.00 09/05/2023 23.96 Ν Open GL NUMBER TIMIJOMA DESCRIPTION 101-275.000-752.000 SUPPLIES & SMALL EQUIPMENT 23.96 08/18/2023 19820936 ADVANCED02 ADVANCED WATER TREATMENT, INC. FD#12 BOTTLED WATER (5) PO BOX 339 35.94 74395 09/05/2023 N HAMBURG MI, 48139 / / 0.0000 Ν 0.00 09/05/2023 35.94 Open GL NUMBER AMOUNT DESCRIPTION SUPPLIES & SMALL EQUIPMENT 35.94 206-000.000-752.000

VENDOR TOTAL: 59.90

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GL NUMBER

101-000.000-231.410

DESCRIPTION

DUE TO AFLAC (BIWEEKLY)

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount 018339 AFLACAME01 AFLAC - AMERICAN FAMILY LIFE 08/23/2023 GEN BN423 AUGUST 2023 74418 09/05/2023 368.46 WORLDWIDE HEADQUARTERS Ν 1932 WYNNTON ROAD COLUMBUS GA, 31999-0001 / / 0.0000 Ν 0.00 09/05/2023 Ν 368.46 Open

VENDOR TOTAL: 368.46

AMOUNT

368.46

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User: MarcyM

DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

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Vendor Code Ref #	Vendor nam Address City/State		Post Date CK Run Date Disc. Date Due Date	Invoice	Bank Invoice Des Hold Sep CK 1099	cription Gross Amount Discount Net Amount
AMERICAN09 74414	AMERICAN	UNITED LIFE INSURANCE UNITED LIFE INSURANCE ABLE PARKWAY	08/22/2023 09/05/2023	08172023	GEN G00617291-0 N	0001-000 9/1-9/30/23 331.25
Open	CHICAGO I	L, 60686-0058	/ / 09/05/2023	0.0000	N N	0.00 331.25
GL NUMBER 101-702.000- 101-228.000- 101-215.000- 101-201.000- 590-527.000- 206-000.000- 101-171.000- 207-000.000- 208-820.000- 101-265.000- 101-253.000- 208-751.000- 101-262.000-	725.200 725.200 725.200 725.200 725.200 073.004 725.200 725.200 725.200 725.200 725.200 725.200	DESCRIPTION LIFE INSURANCE	ARY		AMOUNT 12.50 9.37 14.37 18.75 44.69 56.56 25.00 7.03 95.00 4.38 18.60 6.25 6.25 12.50	
AMERICAN09 74415	AMERICAN 5870 RELI	UNITED LIFE INSURANCE UNITED LIFE INSURANCE ABLE PARKWAY	08/22/2023 09/05/2023	08172023	N	-0001-000 9/01-9/30/23 STD 1,868.08
	CHICAGO I	L, 60686-0058	/ / 09/05/2023	0.0000	N N	0.00 1,868.08
Open GL NUMBER 101-702.000- 101-228.000- 101-215.000- 590-527.000- 206-000.000- 101-000.000- 207-000.000- 208-820.000- 101-253.000-	725.100 725.100 725.100 725.100 725.100 073.002 725.100 725.100 725.100 725.100	DESCRIPTION LONG/SHORT TERM DISABI DISABILITY - LIBRARY LONG/SHORT TERM DISABI	LITY LITY LITY LITY LITY LITY LITY LITY		AMOUNT 68.91 59.32 82.96 97.91 239.36 342.02 139.32 45.75 562.46 22.24 85.24 34.77	27

User: MarcyM

DB: Hamburg

Vendor Code

Ref #

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023 BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

BANK CODE: GEN

Vendor namePost DateInvoiceBankInvoice DescriptionAddressCK Run DatePOHold

City/State/Zip Disc. Date Disc. % Sep CK Due Date 1099

 208-751.000-725.100
 LONG/SHORT TERM DISABILITY
 28.24

 101-262.000-725.100
 LONG/SHORT TERM DISABILITY
 59.58

1,868.08

2,199.33 VENDOR TOTAL: AMERICANVO AMERICAN UNITED LIFE INSURANCE COMP 08/22/2023 081723 GEN G 00617291-0002-000 09/01-09/30/23 74413 5870 RELIABLE PARKWAY 09/05/2023 Ν 566.18 CHICAGO IL, 60686-0058 / / Ν 0.00 0.0000 09/05/2023 Ν 566.18 Open

GL NUMBER DESCRIPTION AMOUNT

101-000.000-231.420 VOL. LIFE INSURANCE 566.18

08/30/2023 IN008621 GEN WWTP TESTING AOUAFIX AOUAFIX 74507 P.O. BOX 8682 09/05/2023 600.00 N Ν MADISON WI, 53708-8682 / / 0.0000 0.00 09/05/2023 Ν 600.00

Open

GL NUMBER DESCRIPTION AMOUNT 590-537.000-952.000 LAB ANALYSIS - WWTP 600.00

VENDOR TOTAL: 600.00

VENDOR TOTAL:

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Gross Amount

Discount

566.18

Net Amount

User: MarcyM

DB: Hamburg

GL NUMBER

252-000.000-803.000

DESCRIPTION

AQUATIC WEED CONTROL

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

			BANK CODE:	: GEN			
Vendor Code Ref #	Vendor name Address City/State/Zip		Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
AQUAWEEDCT 74489	AQUA-WEED CONTROL IX 414 HADLEY ST HOLLY MI, 48442	NC.	06/30/2023 09/05/2023 / / 09/05/2023	18658	GEN N N	AQUATIC WEED CONTROL EC	
Open GL NUMBER 252-000.000-8	DESCRI 03.000 AQUATI	PTION C WEED CONTROL			Al 2,65	MOUNT 0.00	
AQUAWEEDCT 74490 Open	AQUA-WEED CONTROL II 414 HADLEY ST HOLLY MI, 48442	NC.	06/30/2023 09/05/2023 / / 09/05/2023	19360	GEN N N N	CHAIN OF LAKES TREATMEN	NT 05/15/23 CH 4,968.75 0.00 4,968.75
GL NUMBER 252-000.000-8	DESCRI 03.000 AQUATI	PTION C WEED CONTROL			Al 4,96	MOUNT 8.75	
AQUAWEEDCT 74491 Open	AQUA-WEED CONTROL I 414 HADLEY ST HOLLY MI, 48442	NC.	06/30/2023 09/05/2023 / / 09/05/2023	19365	GEN N N N	CHAIN OF LAKES 5/31/23	15,786.25 0.00 15,786.25
GL NUMBER 252-000.000-8	DESCRI 03.000 AQUATI	PTION C WEED CONTROL			Al 15,78	MOUNT 6.25	
AQUAWEEDCT 74492 Open	AQUA-WEED CONTROL II 414 HADLEY ST HOLLY MI, 48442	NC.	06/30/2023 09/05/2023 / / 09/05/2023	19788	GEN N N N	CHAIN OF LAKES TREATMEN	NT 6/27/23 2,445.00 0.00 2,445.00
GL NUMBER 252-000.000-8	DESCRI 03.000 AQUATI	PTION C WEED CONTROL			Al 2,44	MOUNT 5.00	
AQUAWEEDCT 74493	AQUA-WEED CONTROL I 414 HADLEY ST HOLLY MI, 48442	NC.	08/29/2023 09/05/2023 / / 09/05/2023	19789	GEN N N N	CHAIN OF LAKES TREATMEN	NT 7/25/23 10,275.00 0.00 10,275.00
Open							

29

AMOUNT

10,275.00

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User: MarcyM

DB: Hamburg

Vendor Code

Ref #

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023 BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor name

Address

City/State/Zip

Post Date Invoice CK Run Date PO Disc. Date Disc. %

Due Date

Bank Hold Sep CK 1099

Invoice Description

VENDOR TOTAL:

Page:

Gross Amount Discount Net Amount

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36,125.00 VENDOR TOTAL: ATTMOBILIT AT&T MOBILITY 08/29/2023 287318496818X819GEN PD /FD CELLULAR DEVISES 74495 P.O. BOX 6463 09/05/2023 694.60 Ν 0.00 CAROL STREAM IL, 60197-6463 / / 0.0000 09/05/2023 Ν 694.60 Open GL NUMBER DESCRIPTION AMOUNT 206-000.000-853.000 189.70 PHONE/COMM/INTERNET 207-000.000-853.000 PHONE/COMM/INTERNET 504.90 694.60 VENDOR TOTAL: 694.60 BIANCOTR01 BIANCO TOURS 08/28/2023 8D95871 GEN SAUGATUK 74438 12555 UNIVERSAL DR. 09/05/2023 1,326.00 Ν TAYLOR MI, 48180 / / 0.0000 Ν 0.00 09/05/2023 Υ 1,326.00 Open GL NUMBER AMOUNT DESCRIPTION 208-000.000-239.500 SENIOR CENTER TRIP DEPOSITS 1,326.00

1,326.00

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INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

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EXP CHECK RUN DATES 07/01/2023 - 09/05/2023 BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount 08/10/2023 BUSINESS02 280464 GEN DPW BLUEPRINTS BIG PDO 74317 08/15/2023 32.34 BUSINESS IMAGING GROUP - BIG PDO Ν 7475 GRAND RIVER RD / / BRIGHTON MI, 48114-9383 0.0000 Ν 0.00 08/15/2023 Υ 32.34 Open GL NUMBER AMOUNT DESCRIPTION 590-527.000-955.000 SUNDRY 32.34 08/04/2023 280536 PD BUSINESS CARDS FINKE BUSINESS02 BIG PDO GEN 93.86 74266 08/15/2023 BUSINESS IMAGING GROUP - BIG PDO Ν 7475 GRAND RIVER RD / / BRIGHTON MI, 48114-9383 0.0000 Ν 0.00 Υ 08/15/2023 93.86 Open GL NUMBER DESCRIPTION AMOUNT 207-000.000-752.000 SUPPLIES & SMALL EQUIPMENT 93.86 BUSINESS02 BIG PDO 08/29/2023 281015 GEN SEN CTR BLUEPRINTS/SCAN/EMAIL SCANS 74479 BUSINESS IMAGING GROUP - BIG PDQ 09/05/2023 Ν 103.64 7475 GRAND RIVER RD 0.00 BRIGHTON MI, 48114-9383 / / 0.0000 N 09/05/2023 Υ 103.64 Open GL NUMBER DESCRIPTION AMOUNT 208-820.000-955.000 SUNDRY 103.64 229.84 VENDOR TOTAL:

BOOMRPIZZA 74437	BOOMERS PART 8999 HAMBURG	Y STORE & PIZZA ROAD	08/28/2023 09/05/2023	82823	GEN N	SEN CTR	LUNCHES J	JUNE/JULY	1,927.80
	BRIGHTON MI,	48116	/ /	0.0000	N				0.00
			09/05/2023		Y				1,927.80
Open									
GL NUMBER		DESCRIPTION			I	TNUOMA			
208-000.000-2	239.700	SENIOR CENTER LUNCH	PROGRAM		1,22	27.85			
208-000.000-2	239.700	SENIOR CENTER LUNCH E	PROGRAM		62	29.96			
208-000.000-2	239.700	SENIOR CENTER LUNCH	PROGRAM		6	69.99			
					1,92	27.80			31

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INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023 BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Vendor name Post Date Invoice Bank Invoice Description

Ref #	Address City/State	e/Zip	CK Run Date Disc. Date Due Date	PO Disc. %	Hold Sep CK 1099		Gross Amount Discount Net Amount	
						VENDOR TOTAL:	1,927.80	
BOULLION01 74513	BOULLION SALES, INC. 8530 N. TERRITORIAL RD DEXTER MI, 48130		08/30/2023 09/05/2023 / / 09/05/2023	420549	GEN N N N	B&G KM MX600HSTC 60H	P 4WD HYDROCAB 33,649.62 0.00 33,649.62	
Open								
GL NUMBER 101-265.000-	980.000	DESCRIPTION CAPITAL EQUIPMENT/CAPITA	AL IMP			AMOUNT 49.62		
BOULLION01 74458	BOULLION SALES, INC. 8530 N. TERRITORIAL RD DEXTER MI, 48130		08/28/2023 09/05/2023 / / 09/05/2023	422666	GEN N N N	MOWER BLADE/EC OUT S	TOCK LENGTH/EC I 458.39 0.00 458.39	
Open								
GL NUMBER 101-265.000-	931.000	DESCRIPTION EQUIPMENT MAINT/REPAIR				AMOUNT 58.39		
BOULLION01 74421		SALES, INC. ERRITORIAL RD , 48130	08/23/2023 09/05/2023 / / 09/05/2023	422772	GEN N N N	FD STARTER PULLEY	27.99 0.00 27.99	
Open			03, 00, 2020		2.		2,,33	
GL NUMBER 206-000.000-931.000 DESCRIPTION EQUIPMENT MAINT/REPAIR		DESCRIPTION EQUIPMENT MAINT/REPAIR				AMOUNT 27.99		
						VENDOR TOTAL:	34,136.00	
BOUNDTREE1 74481	23537 NET	E MEDICAL, LLC WORK PLACE L, 60673-1235	08/29/2023 09/05/2023 / / 09/05/2023	85063637 0.0000	GEN N N Y	G5 AED INTELLISENSE	BATTERY (2) 873.98 0.00 873.98	
Open								
GL NUMBER DESCRIPTION 207-000.000-752.000 SUPPLIES & SMALL EQUIPME		ENT			AMOUNT 73.98			

873.98 32

VENDOR TOTAL:

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User: MarcyM

DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Invoice Description Vendor Code Vendor name Post Date Invoice Bank Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount Due Date 1099 Net. Amount. 08/17/2023 C & E CONSTRUCTION CO., INC. 2843 GEN GRINDER PUMP INSTALL 5681 WARREN WOO C&ECONTR01 09/05/2023 74382 P.O. BOX 1359 Ν 5,142.34 HIGHLAND MI, 48357 / / 0.0000 Ν 0.00 09/05/2023 Ν 5,142.34 Open GL NUMBER DESCRIPTION AMOUNT 590-000.000-198.057 5681 WARREN WOODS LN 5,142.34 2844 C & E CONSTRUCTION CO., INC. 08/17/2023 GRINDER PUMP INSTALL 5653 WARREN WOO C&ECONTR01 GEN 74381 P.O. BOX 1359 09/05/2023 Ν 4,959.34 HIGHLAND MI, 48357 / / 0.0000 N 0.00 09/05/2023 Ν 4,959.34 Open GL NUMBER DESCRIPTION AMOUNT 590-000.000-198.060 5653 WARREN WOODS LN. 4,959.34 C & E CONSTRUCTION CO., INC. 08/23/2023 2845 GEN GRINDER PUMP REPL. 8750 CLUBHOUSE DR C&ECONTR01 09/05/2023 74423 P.O. BOX 1359 Ν 5,139.75 HIGHLAND MI, 48357 / / 0.0000 Ν 0.00 09/05/2023 Ν 5,139.75 Open GL NUMBER DESCRIPTION AMOUNT 590-527.000-934.200 GRINDER PUMP REPLACEMENT 5,139.75 VENDOR TOTAL: 15,241.43 08/30/2023 08-614995 CARLETONEO CARLETON EQUIPMENT GEN B&G BLUE DIAMOND BRUSHCUTTER 74515 4704 SOUTH 29TH ST. 09/05/2023 Ν 11,109.00 KALAMAZOO MI, 49048 / / 0.0000 Ν 0.00 09/05/2023 11,109.00 Open GL NUMBER DESCRIPTION AMOUNT 101-265.000-980.000 CAPITAL EQUIPMENT/CAPITAL IMP 11,109.00 VENDOR TOTAL: 11,109.00

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User: MarcyM

DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount CDWGOVER01 CDW GOVERNMENT, INC. 08/30/2023 LB40534 GEN GOV MS MPSA EXCH OL P/U CSS/GOV MS M 74511 09/05/2023 75 REMITTANCE DR SUITE 1515 Ν 8,577.20 CHICAGO IL, 60675-1515 / / 0.0000 Ν 0.00 09/05/2023 Ν 8,577.20 Open GL NUMBER DESCRIPTION AMOUNT 590-527.000-933.000 SOFTWARE MAINTENANCE 761.98 206-000.000-933.000 SOFTWARE MAINTENANCE 2,337.75 1,715.44 207-000.000-933.000 SOFTWARE MAINTENANCE 101-229.000-933.000 SOFTWARE MAINTENANCE 3,762.03 8,577.20

						VENDOR TOTAL:	8,577.20
CHARTERC01 74514	CHARTER CC	OMMUNICATIONS	08/30/2023 09/05/2023	0103913082223	GEN N	SEN CTR TV /INTERNET	8/22-9/21/23 277.66
, 1011		PA, 15251-2085	/ /	0.0000	N		0.00
Open			09/05/2023		N		277.66
GL NUMBER 208-820.000-	853.000	DESCRIPTION PHONE/COMM/INTERNET				AMOUNT 277.66	
						VENDOR TOTAL:	277.66
CHLORIDESO		SOLUTIONS, LLC	08/17/2023	CS100432	GEN	DUST CONTROL MERCER/G	
74383	672 N. M-5		09/05/2023		N		1,446.14
	WEBBERVILI	LE MI, 48892	/ / 09/05/2023	0.0000	N Y		0.00 1,446.14
Open			037 007 2020		-		1,110.11
GL NUMBER		DESCRIPTION				AMOUNT	
101-275.000-802.100 ROAD MAINTENANCE		ROAD MAINTENANCE			1,4	146.14	
						VENDOR TOTAL:	1,446.14

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Vendor name

User: MarcyM

DB: Hamburg

Vendor Code

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

BANK CODE: GEN

BOTH JOURNALIZED AND UNJOURNALIZED OPEN

Post Date Invoice Bank Invoice Description Hold CK Run Date PO Gross Amount

Ref # Address City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount 08/28/2023 43620670803397 E4362067 DEDUCTION DATES AUG 3, 17,3 COLONIALIF COLONIAL LIFE GEN 74433 09/05/2023 456.87 PREMIUM PROCESSING Ν P.O. BOX 903 COLUMBIA SC, 29202-0903 / / 0.0000 Ν 0.00 09/05/2023 Ν 456.87 Open

GL NUMBER DESCRIPTION

AMOUNT 101-000.000-231.400 DUE TO COLONIAL LIFE 456.87

					VENDOR TOTAL:	456.87
CONSUMER01 74400	CONSUMERS ENERGY PO BOX 740309 PAYMENT CENTER	08/18/2023 09/05/2023	203766775687	GEN N	1000 1237 5224 PD 7/14-	-8/14-23 121.04
Open	CINCINNATI OH, 45274-0309	/ / 09/05/2023	0.0000	N N		0.00 121.04

GL NUMBER DESCRIPTION AMOUNT 207-000.000-921.000 NATURAL GAS/HEAT 121.04

VENDOR TOTAL: 121.04

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User: MarcyM

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INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor name Vendor Code Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount Due Date 1099 Net Amount CORRIGAN01 CORRIGAN TOWING 08/17/2023 7867632-IN GEN FD#11 ADURD- BLUE CAP DEF 74384 775 N. SECOND STREET 09/05/2023 Ν 172.75 BRIGHTON MI, 48116 / / 0.0000 Ν 0.00 09/05/2023 Ν 172.75 Open GL NUMBER DESCRIPTION AMOUNT 206-000.000-932.000 VEHICLE MAINTENANCE 172.75 08/30/2023 7867692-IN TWP/PARKSDYED ULTRA LOW SULFUR (200 G CORRIGAN01 CORRIGAN TOWING GEN 775 N. SECOND STREET 09/05/2023 74505 N 660.01 BRIGHTON MI, 48116 / / 0.0000 Ν 0.00 09/05/2023 Ν 660.01 Open GL NUMBER DESCRIPTION AMOUNT 101-265.000-758.000 DIESEL FUEL 330.01 208-751.000-758.000 330.00 DIESEL FUEL 660.01 CORRIGAN01 CORRIGAN TOWING 08/31/2023 7883602-IN GEN BG/PARKS/DPW DYED ULTRA LOW SULFUR # 775 N. SECOND STREET 09/05/2023 776.94 74517 N / / 0.00 BRIGHTON MI, 48116 0.0000 Ν 09/05/2023 Ν 776.94 Open GL NUMBER DESCRIPTION AMOUNT 101-265.000-758.000 DIESEL FUEL 194.23 208-751.000-758.000 DIESEL FUEL 194.24 590-527.000-758.000 DIESEL FUEL 388.47 776.94

1,609.70

VENDOR TOTAL:

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DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023 BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Post Date Invoice Bank Invoice Description

Vendor Code Vendor name Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount CRUISERS01 CRUISERS, INC. 08/28/2023 45832 GEN TWP SOUNDOFF EPL, B009G2 09/05/2023 245.00 74457 5977 BRIGHTON PINES CT. Ν HOWELL MI, 48843 / / 0.0000 Ν 0.00 09/05/2023 Ν 245.00 Open GL NUMBER DESCRIPTION AMOUNT 101-265.000-932.000 VEHICLE MAINTENANCE 245.00 08/30/2023 45901 PD CHARGER HH566184 REMOVE GRAPHICS CRUISERS01 CRUISERS, INC. GEN 5977 BRIGHTON PINES CT. 09/05/2023 Ν 1,999.00 74501 HOWELL MI, 48843 / / 0.0000 Ν 0.00 1,999.00 09/05/2023 Ν Open GL NUMBER DESCRIPTION AMOUNT 207-000.000-932.000 VEHICLE MAINTENANCE 1,999.00

> VENDOR TOTAL: 2,244.00

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GL NUMBER

206-000.000-930.003

DESCRIPTION

MAINTENANCE FIRE HALL

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023 BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/		Post Date CK Run Date Disc. Date Due Date	Invoice	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
CUMMINSBD1 74447	P.O. BOX 7	LES AND SERVICE 72639 , 48277-2639	08/28/2023 09/05/2023 / / 09/05/2023	S6-11588 0.0000	GEN N N Y	TWP PLANNED MAINTENANCE	582.92 0.00 582.92
Open							
GL NUMBER 590-527.000-9	931.000	DESCRIPTION EQUIPMENT MAINT/REPAIR				MOUNT 2.92	
CUMMINSBD1 74444 Open	P.O. BOX 7	LES AND SERVICE 72639 , 48277-2639	08/28/2023 09/05/2023 / / 09/05/2023	S6-11591 0.0000	GEN N N Y	PD PLANNED MAINTENANCE	KATOLIGHT GEN 670.65 0.00 670.65
GL NUMBER 207-000.000-9	930.002	DESCRIPTION MAINTENANCE POLICE BUILD	DING			MOUNT 0.65	
CUMMINSBD1 74446	P.O. BOX 7	LES AND SERVICE 72639 , 48277-2639	08/28/2023 09/05/2023 / / 09/05/2023	S6-11595 0.0000	GEN N N Y	FD PLANNED MAINTENANCE	KATOLIGHT GEN 688.64 0.00 688.64
Open							
GL NUMBER 206-000.000-9	930.003	DESCRIPTION MAINTENANCE FIRE HALL				MOUNT 8.64	
CUMMINSBD1 74445	P.O. BOX 7	LES AND SERVICE 72639 , 48277-2639	08/28/2023 09/05/2023 / / 09/05/2023	S6-11596 0.0000	GEN N N Y	WWTP PLANNED MAINTENANC	CE DETROI DIES 1,269.68 0.00 1,269.68
Open							
GL NUMBER 590-537.000-9	930.007	DESCRIPTION BUILDING MAINTENANCE - V	WWTP		A 1,26	MOUNT 9.68	
CUMMINSBD1 74443 Open	P.O. BOX 7	LES AND SERVICE 72639 , 48277-2639	08/28/2023 09/05/2023 / / 09/05/2023	S6-11667 0.0000	GEN N N Y	FD PLANNED MAINTENANCE	BALDOR GEN SE 582.92 0.00 582.92

38

AMOUNT

582.92

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INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023 BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

1099

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Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO City/State/Zip Disc. Date Disc. % Sep CK

08/28/2023 S6-11755 CUMMINSBD1 CUMMINS SALES AND SERVICE GEN DPW COOLANT LEVEL SENSOR

Due Date

74442 P.O. BOX 772639 09/05/2023 N 145.26 DETROIT MI, 48277-2639 / / 0.0000 Ν 09/05/2023

Open

GL NUMBER DESCRIPTION THUIOMA

590-537.000-930.007 145.26 BUILDING MAINTENANCE - WWTP

CUMMINS SALES AND SERVICE 08/22/2023 S6-12024 PD GENERATOR SERVICE CUMMINSBD1 GEN 74409 P.O. BOX 772639 09/05/2023 N

DETROIT MI, 48277-2639 / / 0.0000 Ν 0.00 09/05/2023 Υ 1,163.44

Open

GL NUMBER DESCRIPTION AMOUNT

207-000.000-930.002 MAINTENANCE POLICE BUILDING 1,163.44

VENDOR TOTAL: 5,103.51 CUSTOM TOOL & MACHINE 08/28/2023 3064 CUSTTOOL01 GEN DPW E-ONE CASTING(6) MOTOR WINDINGS(74441 603 E. WALNUT STREET 09/05/2023 Ν 5,565.00 0.0000 OAKWOOD OH, 45873 / / N 0.00 09/05/2023 Υ 5,565.00

Open

Open

GL NUMBER DESCRIPTION AMOUNT

590-527.000-751.100 GRINDER PUMP PARTS 5,565.00

5,565.00 VENDOR TOTAL: 08/28/2023 82523 MARIANID DEBORAH MARIANI GEN REIMBURSEMENT MILEAGE (BANK) 74463 09/05/2023 Ν 27.51 / / 0.0000 Ν 0.00 09/05/2023 Ν 27.51

GL NUMBER DESCRIPTION THUIOMA

101-253.000-861.000 MILEAGE 27.51

VENDOR TOTAL:

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Gross Amount

Discount

0.00

145.26

1,163.44

Net. Amount.

User: MarcyM

DB: Hamburg

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INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount 08/28/2023 10691144269 DELLMARK01 DELL MARKETING L.P. GEN OPTIPLEX/ 16G MEMORY/DELL 24 MONITOR PO BOX 643561 09/05/2023 74455 Ν 2,381.16 C/O DELL USA LP PITTSBURGH PA, 15264-3561 / / 0.0000 Ν 0.00 09/05/2023 Υ 2,381.16 Open GL NUMBER DESCRIPTION AMOUNT 207-000.000-980.000 CAPITAL EQUIPMENT/CAPITAL IMP 1,975.18 206-000.000-980.000 CAPITAL EQUIPMENT/CAPITAL IMP 405.98

2,381.16

GEN

VENDOR TOTAL:

9100 167 2020 3 SIREN HAMBURG RD 7/2

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2,381.16

74464 PO BOX 740786 09/05/2023 Ν 19.81 CINCINNATI OH, 45274-0786 / / 0.0000 Ν 0.00 09/05/2023 19.81 Ν Open AMOUNT GL NUMBER DESCRIPTION 206-000.000-920.100 19.81 SIREN ELECTRIC USAGE 19.81 VENDOR TOTAL:

82823

08/28/2023

User: MarcyM

DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor name Vendor Code Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount 08/28/2023 DUBOISCO01 DUBOIS-COOPER & ASSOCIATES 274320 GEN DPW E-ONE GRINDER PARTS 09/05/2023 74468 905 PENNIMAN Ν 21,549.00 PO BOX 6161 PLYMOUTH MI, 48170 / / 0.0000 Ν 0.00 09/05/2023 Υ 21,549.00 Open GL NUMBER DESCRIPTION AMOUNT 590-527.000-751.100 GRINDER PUMP PARTS 21,549.00 DUBOIS-COOPER & ASSOCIATES 08/28/2023 274633 GEN DPW E-ONE GRINDER PARTS VALVLE ASSM/ DUBOISCO01 74469 905 PENNIMAN 09/05/2023 2,472.00 Ν PO BOX 6161 PLYMOUTH MI, 48170 / / 0.0000 Ν 0.00 Υ 2,472.00 09/05/2023 Open GL NUMBER DESCRIPTION AMOUNT 590-527.000-751.100 GRINDER PUMP PARTS 2,472.00 DUBOIS-COOPER & ASSOCIATES 08/30/2023 274716 GEN DPW MOTOR HOUSE ASSMY (10) DUBOISCO01 74512 905 PENNIMAN 09/05/2023 Ν 2,930.00 PO BOX 6161 PLYMOUTH MI, 48170 / / 0.0000 N 0.00 09/05/2023 Υ 2,930.00 Open GL NUMBER DESCRIPTION AMOUNT 590-527.000-751.100 GRINDER PUMP PARTS 2,930.00

26,951.00

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VENDOR TOTAL:

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INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/Z	ip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep 1099	Gross Amount
ETNASUPP01 74472	ETNA SUPPLY PO BOX 77210 DETROIT MI,		08/28/2023 09/05/2023 / / 09/05/2023	\$105233787.003 0.0000	GEN N N N	DPW CH11-444-NL COPPERHORN (6) 1,218.00 0.00 1,218.00
Open						
GL NUMBER 590-527.000-7	52.000	DESCRIPTION SUPPLIES & SMALL EQUIPMEN	ΙΤ		1,2	AMOUNT 218.00
ETNASUPP01 74471	ETNA SUPPLY PO BOX 77210 DETROIT MI,		08/28/2023 09/05/2023 / / 09/05/2023	S105233787-001 0.0000	GEN N N N	DPW CH11-233-NL COPPERHORN (3) 345.00 0.00 345.00
Open						
GL NUMBER 590-527.000-7	52.000	DESCRIPTION SUPPLIES & SMALL EQUIPMEN	ΙΤ		:	AMOUNT 345.00
ETNASUPP01 74470	ETNA SUPPLY PO BOX 77210 DETROIT MI,		08/28/2023 09/05/2023 / / 09/05/2023	\$105233787-002 0.0000	GEN N N N	DPW 1000 GAL ECR REGISTER W/TP(2) 796.00 0.00 796.00
Open			037 007 2020		11	750:00
GL NUMBER 590-527.000-7	52.000	DESCRIPTION SUPPLIES & SMALL EQUIPMEN	ΙΤ			AMOUNT 796.00
ETNASUPP01 74516	ETNA SUPPLY PO BOX 77210 DETROIT MI,		08/31/2023 09/05/2023 / / 09/05/2023	S105268034.001 0.0000	GEN N N N	DPW FULL FACE RED RUBBER GASKET (4) 14.00 0.00 14.00
Open						
GL NUMBER 590-527.000-7	52.000	DESCRIPTION SUPPLIES & SMALL EQUIPMEN	ΙΤ			AMOUNT 14.00
						VENDOR TOTAL: 2,373.00

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INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount 08/29/2023 MIDE6154671 DPW 175-AG 29PC DRILL SET FASTENAL01 FASTENAL COMPANY GEN P.O. BOX 1286 09/05/2023 74486 Ν 201.06 WINONA MN, 55987-1286 / / 0.0000 Ν 0.00 09/05/2023 Υ 201.06 Open GL NUMBER DESCRIPTION AMOUNT 590-527.000-752.000 SUPPLIES & SMALL EQUIPMENT 201.06 FASTENAL01 FASTENAL COMPANY 08/28/2023 MIDE6154816 DPW 5/16-18 SS NYLOCK (500) GEN 74461 P.O. BOX 1286 09/05/2023 Ν 155.73 WINONA MN, 55987-1286 / / 0.0000 Ν 0.00 09/05/2023 Υ 155.73 Open GL NUMBER DESCRIPTION AMOUNT 590-527.000-752.000 SUPPLIES & SMALL EQUIPMENT 155.73 FASTENAL01 FASTENAL COMPANY 08/29/2023 MIDE6154872 DPW 10 PC STANDARD CARBI GEN 74483 P.O. BOX 1286 09/05/2023 Ν 303.90 WINONA MN, 55987-1286 / / 0.0000 Ν 0.00 09/05/2023 Υ 303.90 Open GL NUMBER DESCRIPTION AMOUNT 590-527.000-752.000 SUPPLIES & SMALL EQUIPMENT 303.90 VENDOR TOTAL: 660.69 08/17/2023 81423 FIREHOUS02 FIREHOUSE GEN FD SUBSCRIPTION RENEWAL FOR MAGAZIN 74379 09/05/2023 Ν 65.00 P.O. BOX 3258 0.0000 NORTHBROOK IL, 60065-3258 / / 0.00 Ν 09/05/2023 Ν 65.00 Open GL NUMBER DESCRIPTION AMOUNT 206-000.000-958.000 DUES/SUBSCRIP/RECERTIFICATION 65.00 VENDOR TOTAL: 65.00

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INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

9814462447

GEN

DPW CLOTH RAG(2)

Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address CK Run Date PO Hold Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount

08/30/2023

74496 DEPT. 826849010 09/05/2023 N 64.70 PALATINE IL, 60038-0001 // 0.0000 N 0.00 09/05/2023 Y 64.70

Open

GL NUMBER DESCRIPTION AMOUNT

590-527.000-752.000 SUPPLIES & SMALL EQUIPMENT 64.70

VENDOR TOTAL: 64.70

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INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Ref #	Vendor name Address City/State/		Post Date CK Run Date Disc. Date Due Date	Invoice	Bank Invo Hold Sep CK 1099	pice Description	Gross Amount Discount Net Amount
GRNPASTURE 74451	GREEN PASTU PO BOX 441 CHELSEA MI,		08/28/2023 09/05/2023 / / 09/05/2023	5953	GEN LAWN N N Y	N FERT/WEED CONT	3,653.25 0.00 3,653.25
Open							•
GL NUMBER 208-751.000-9 207-000.000-9 208-820.000-9 101-265.000-9	930.020 930.020	DESCRIPTION SPORTS FIELD MAINTENANCE MAINTENANCE - FERTILIZER MAINTENANCE - FERTILIZER MAINTENANCE - FERTILIZER			AMOUNT 3,109.50 135.93 135.93 271.89	Г -	
GRNPASTURE 74452	GREEN PASTU PO BOX 441 CHELSEA MI,		08/28/2023 09/05/2023 / / 09/05/2023	5954	GEN FD I N N Y	LAWN FERT/WEED CON'	107.00 0.00 107.00
Open			03, 00, 2020		-		207.000
GL NUMBER 206-000.000-9	930.020	DESCRIPTION MAINTENANCE - FERTILIZER			AMOUNT	Γ	
GRNPASTURE 74453 Open	GREEN PASTU PO BOX 441 CHELSEA MI,		08/28/2023 09/05/2023 / / 09/05/2023	5955	GEN FD#1 N N Y	12 LAWN FERT/WEED (313.00 0.00 313.00
GL NUMBER 206-000.000-9	930.020	DESCRIPTION MAINTENANCE - FERTILIZER			AMOUNT 313.00	Г	
GRNPASTURE 74454	GREEN PASTU PO BOX 441 CHELSEA MI,		08/28/2023 09/05/2023 / / 09/05/2023	5956 0.0000	GEN WINF N N Y	KLEHAUS PARK LAWN :	FERT/WEED CONTR 57.00 0.00 57.00
Open			33, 33, 2323		+		J, • JJ
GL NUMBER 208-751.000-9	930.020	DESCRIPTION SPORTS FIELD MAINTENANCE			AMOUNT	Г	

VENDOR TOTAL: 4,13<u>0.25</u>

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INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

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BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Vendor name Post Date Invoice Bank Invoice Description Hold Ref # Address CK Run Date PO Gross Amount Sep CK City/State/Zip Disc. Date Disc. % Discount Due Date 1099 Net. Amount. 08/28/2023 13710915 HACH COMPANY, AMERICAN SIGMA & GEN DPW SODIUM STD SOLN/KTO ELECTRODE FI HACHCOMP01 74467 2207 COLLECTIONS CENTER DRIVE 09/05/2023 Ν 155.75 CHICAGO IL, 60693 / / 0.0000 Ν 0.00 09/05/2023 Υ 155.75 Open GL NUMBER DESCRIPTION AMOUNT 590-537.000-752.000 SUPPLIES & SMALL EQUIPMENT 155.75 08/29/2023 13714403 HACHCOMP01 HACH COMPANY, AMERICAN SIGMA & GEN DPW SODIUM STD SOLN (2) 2207 COLLECTIONS CENTER DRIVE 09/05/2023 74487 Ν 91.70 CHICAGO IL, 60693 / / 0.0000 Ν 0.00 09/05/2023 91.70 Open GL NUMBER DESCRIPTION AMOUNT 590-537.000-752.000 SUPPLIES & SMALL EQUIPMENT 91.70 VENDOR TOTAL: 247.45 HD SUPPLY, INC. 08/29/2023 INV00105897 GEN DPW ACTIVATED CARBON (55LB) (4) USABLUEB01 PO BOX 9004 09/05/2023 865.13 74485 Ν GURNEE IL, 60031 / / 0.0000 Ν 0.00 09/05/2023 Ν 865.13 Open GL NUMBER DESCRIPTION AMOUNT 590-537.000-752.000 SUPPLIES & SMALL EQUIPMENT 865.13 08/29/2023 INV00106466 DPW 21" WIRE STAFF/FLAG (5)/ USABLUEB01 HD SUPPLY, INC. GEN 74484 PO BOX 9004 09/05/2023 Ν 466.61 GURNEE IL, 60031 / / 0.0000 Ν 0.00 09/05/2023 466.61 Open GL NUMBER DESCRIPTION AMOUNT 590-527.000-752.000 466.61 SUPPLIES & SMALL EQUIPMENT

1,331.74

VENDOR TOTAL:

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74404

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

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95.85

0.00

95.85

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09/05/2023

Vendor Code Ref #	Vendor name Address City/State/Zip	BANK CODE: GEN Post Date Invoice CK Run Date PO Disc. Date Disc. % Due Date	Bank Invoice Descr Hold Sep CK 1099	ription Gross Amount Discount Net Amount
HOMEDEPO01	HOME DEPOT CREDIT SERVICES	08/21/2023 4151216	GEN DPW TOOLS WI	RE STRIPPER/PLIERS/SCREW

0.0000

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PHOENIX AZ, 85062-8047

DEPT 32-2501873644

P.O. BOX 78047

Open GL NUMBER DESCRIPTION AMOUNT

590-527.000-752.000 SUPPLIES & SMALL EQUIPMENT 95.85

HOMEDEPO01	HOME DEPOT CREDIT SERVICES	08/21/2023 4403531	GEN	DPW INDOOR/OUTDOOR CEILING FAN
74405	DEPT 32-2501873644	09/05/2023	N	539.95
	P.O. BOX 78047			
	PHOENIX AZ, 85062-8047	/ / 0.0000	N	0.00
		09/05/2023	Y	539.95

Open

GL NUMBER DESCRIPTION AMOUNT 590-527.000-752.000 SUPPLIES & SMALL EQUIPMENT 539.95

HOMEDEPO01	HOME DEPOT CREDIT SERVICES	08/21/2023 4610130	GEN FD LUMBER	
74406	DEPT 32-2501873644	09/05/2023	N	12.77
	P.O. BOX 78047			
	PHOENIX AZ, 85062-8047	/ / 0.0000	N	0.00
		09/05/2023	Y	12.77

Open

GL NUMBER DESCRIPTION AMOUNT 206-000.000-752.000 SUPPLIES & SMALL EQUIPMENT 12.77

HOMEDEPO01 74407	HOME DEPOT CREDIT SERVICES DEPT 32-2501873644	08/21/2023 4873464 09/05/2023	GEN N	DPW- 400 AMP DIGITAL CLAMP METER 52.48
	P.O. BOX 78047 PHOENIX AZ, 85062-8047	/ / 0.0000 09/05/2023	N	0.00 52.48
Open		037 007 2020	-	02.10

Open

GL NUMBER DESCRIPTION AMOUNT 590-527.000-752.000 SUPPLIES & SMALL EQUIPMENT 52.48

HOMEDEPO01	HOME DEPOT CREDIT SERVICES	08/30/2023 81323	GEN	DPW/FD PURCHASES 7/1-8/1/23
74497	DEPT 32-2501873644	09/05/2023	N	1,000_05
	P.O. BOX 78047			47
	PHOENIX AZ, 85062-8047	/ / 0.0000	N	47

User: MarcyM

DB: Hamburg

Vendor Code

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023 BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Due Date

Post Date Invoice Bank Invoice Description

1099

Vendor name Address Hold CK Run Date PO City/State/Zip Disc. Date Disc. % Sep CK

09/05/2023 1,000.05

Open

Ref #

GL NUMBER DESCRIPTION THUIOMA 206-000.000-768.100 TURN OUT GEAR 299.00 590-527.000-752.000 SUPPLIES & SMALL EQUIPMENT 688.28 206-000.000-752.000 SUPPLIES & SMALL EQUIPMENT 12.77

1,000.05

VENDOR TOTAL: 1,701.10 HPELECTR01 HP ELECTRIC 08/28/2023 2778 GEN DPW FAN INSTALLATION 74460 7853 THUNDER BAY DR 09/05/2023 Ν 440.00 PINCKNEY MI, 48169 / / 0.0000 Ν 0.00 09/05/2023 Υ 440.00

Open

GL NUMBER DESCRIPTION AMOUNT

590-527.000-930.010 SEWER MAINTENANCE GARAGE 440.00

HUNTINGTON NATIONAL BANK 08/28/2023 81723 GEN HAMBURGTWP20 HUNTINGTON 74465 40 PEARL NW, STE 600 09/05/2023 Ν 13,035.00 / / 0.0000 Ν GRAND RAPIDS MI, 49503 0.00 09/05/2023 Ν 13,035.00 Open

GL NUMBER DESCRIPTION

THUIOMA 12,900.61 854-000.000-992.000 INTEREST EXPENSE 590-539.000-992.000 INTEREST EXPENSE 134.39

13,035.00

VENDOR TOTAL: 13,035.00

VENDOR TOTAL:

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Gross Amount

Discount

Net Amount

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GL NUMBER

207-000.000-768.000

DESCRIPTION

UNIFORMS/ACCESSORIES

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

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Vendor Code Ref #	Vendor name Address City/State/		Post Date CK Run Date Disc. Date Due Date	Invoice	Bank Hold Sep CK 1099		Gross Amount Discount Net Amount
HRNVLLYGUN 74387 Open		Y GUNS, LLC RIVER AVE. MI, 48165	08/17/2023 09/05/2023 / / 09/05/2023	254219	GEN N N Y	FD UNIFORMS SHORTS ACUF	F 51.99 0.00 51.99
GL NUMBER 206-000.000-	768.000	DESCRIPTION UNIFORMS/ACCESSORIES				MOUNT 1.99	
HRNVLLYGUN 74386 Open		Y GUNS, LLC RIVER AVE. MI, 48165	08/17/2023 09/05/2023 / / 09/05/2023	258927	GEN N N Y	FD POLO(3) STEINAWAY	230.47 0.00 230.47
GL NUMBER 206-000.000-	768.000	DESCRIPTION UNIFORMS/ACCESSORIES				MOUNT 0.47	
HRNVLLYGUN 74385 Open		Y GUNS, LLC RIVER AVE. MI, 48165	08/17/2023 09/05/2023 / / 09/05/2023	258929	GEN N N Y	FD HAT/PANT/POLO(3) LAW	353.96 0.00 353.96
GL NUMBER 206-000.000-	768.000	DESCRIPTION UNIFORMS/ACCESSORIES				MOUNT 3.96	
HRNVLLYGUN 74426		Y GUNS, LLC RIVER AVE. MI, 48165	08/24/2023 09/05/2023 / / 09/05/2023	261750	GEN N N Y	PD UNIFORMS YOUNG	58.99 0.00 58.99
Open GL NUMBER 207-000.000-	768.000	DESCRIPTION UNIFORMS/ACCESSORIES				MOUNT 8.99	
HRNVLLYGUN 74427 Open		Y GUNS, LLC RIVER AVE. MI, 48165	08/24/2023 09/05/2023 / / 09/05/2023	261751	GEN N N Y	PD UNIFORMS JEFFREY FIN	237.98 0.00 237.98
Oben							

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INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023 BOTH JOURNALIZED AND UNJOURNALIZED OPEN

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Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address CK Run Date PO Hold Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount

08/24/2023 261752 GEN PD UNIFROMS JEFFREY FINKE HRNVLLYGUN HURON VALLEY GUNS, LLC 56477 GRAND RIVER AVE. 74428 09/05/2023 Ν 63.99 NEW HUDSON MI, 48165 / / 0.0000 Ν 0.00 09/05/2023 Υ 63.99

Open

GL NUMBER DESCRIPTION TIMIJOMA 207-000.000-768.000 UNIFORMS/ACCESSORIES 63.99

VENDOR TOTAL:

HUTSONINC1 74509	HUTSON, INC. 3915 TRACTOR		08/30/2023 09/05/2023	10088929	GEN N	B&G PARTS FOR EQUIP	324.38
	HOWELL MI, 4	8855	/ / 09/05/2023	0.0000	N N		0.00 324.38
Open							
GL NUMBER 101-265.000-93	1.000	DESCRIPTION EQUIPMENT MAINT/REPAIR				AMOUNT 24.38	

08/30/2023 10110237 GEN B&G DEERE Z997R SPINDLE KIT HUTSONINC1 HUTSON, INC. 3915 TRACTOR DRIVE 09/05/2023 Ν 200.75 74508 HOWELL MI, 48855 / / 0.0000 N 0.00

09/05/2023

Open

GL NUMBER DESCRIPTION AMOUNT 101-265.000-931.000 200.75 EQUIPMENT MAINT/REPAIR

525.13 VENDOR TOTAL: 08/29/2023 71823 YOUNGJEF01 JEFFREY YOUNG GEN REIMBURSEMENT/ UNIFORM PANTS 74482 09/05/2023 Ν 139.16 / / 0.0000 Ν 0.00 09/05/2023 Ν 139.16

Open

GL NUMBER DESCRIPTION TUITOMA 206-000.000-768.000 UNIFORMS/ACCESSORIES 139.16

VENDOR TOTAL:

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EXP CHECK RUN DATES 07/01/2023 - 09/05/2023 BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Invoice Description Vendor Code Vendor name Post Date Invoice Bank Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net. Amount. 08/24/2023 82323 JOSHUA PEDERSEN GEN PD TUITION REIMBURSEMENT DATA MGMT / PEDERSEN 74429 09/05/2023 Ν 2,999.00 / / 0.0000 Ν 0.00 09/05/2023 Ν 2,999.00 Open

GL NUMBER DESCRIPTION AMOUNT 207-000.000-914.000 TUITION REIMBURSEMENT 1,712.00 207-000.000-914.000 TUITION REIMBURSEMENT 1,287.00 2,999.00

2,999.00 VENDOR TOTAL: KENNEDYT01 KENNEDY INDUSTRIES, INC. 08/29/2023 637682 GEN DPW PUMP REPAIR ORE LAKE FIELD SERV 74473 P.O. BOX 930079 09/05/2023 Ν 701.50 WIXOM MI, 48393 / / 0.0000 0.00 N 09/05/2023 701.50 Open AMOUNT GL NUMBER DESCRIPTION 590-527.000-934.100 PUMP & MAIN REPAIR/MAINTENANCE 701.50

KENNEDYI01 KENNEDY INDUSTRIES, INC. 08/29/2023 637683 GEN DPW KRESS RD STATION FIELD SERVICE 74474 P.O. BOX 930079 09/05/2023 308.00 N WIXOM MI, 48393 / / 0.0000 Ν 0.00 09/05/2023 Ν 308.00

Open

GL NUMBER DESCRIPTION AMOUNT 590-527.000-934.100 PUMP & MAIN REPAIR/MAINTENANCE 308.00

VENDOR TOTAL: 1,009.50 LAKELAND01 LAKELAND ACE HARDWARE, INC. 08/28/2023 9388/1 GEN FD EZ POUR VENT KIT/BIT BORING WOOD 74466 PO BOX 1000 09/05/2023 Ν 16.94 PINCKNEY MI, 48169 / / 0.0000 Ν 0.00 09/05/2023 Ν 16.94 Open

GL NUMBER DESCRIPTION AMOUNT 206-000.000-752.000 SUPPLIES & SMALL EQUIPMENT 16.94

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Ref #	Address City/State/Zip	CK Run Date Disc. Date Due Date	PO Disc. %	Hold Sep C 1099	K	Gross Amount Discount Net Amount
					VENDOR TOTAL:	16.94
LAKESIDESV 74408 Open	LAKESIDE SERVICE COMPANY 4367 S. OLD US HWY 23 BRIGHTON MI, 48114	08/22/2023 09/05/2023 / / 09/05/2023	140137855	GEN N N Y	PD FRUNACE F4 SERVICE	699.80 0.00 699.80
GL NUMBER 207-000.000-9	DESCRIPTION 930.002 MAINTENANCE POLICE BUII	LDING			AMOUNT 99.80	
						600.00
		00/00/0000	01.600		VENDOR TOTAL:	699.80
LIVINGST16 74488	LIVINGSTON CO. DRAIN COMMISSIONER 2300 E. GRAND RIVER SUITE 105	08/29/2023 09/05/2023	81623	GEN N	VENDOR TOTAL: DPW LCDC SERVICES JULY	
	2300 E. GRAND RIVER		81623			Y 23
	2300 E. GRAND RIVER SUITE 105	09/05/2023		N N		1,059.11 0.00
74488	2300 E. GRAND RIVER SUITE 105 HOWELL MI, 48843-7581 DESCRIPTION	09/05/2023 / / 09/05/2023		N N		1,059.11 0.00

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VENDOR TOTAL:

Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net. Amount. 08/22/2023 LIVINGSTON COUNTY REGISTER OF DEEDS 82123 GEN HOLD HARMLESS PAZUCHOWSKI-3580 RUSH LIVINGST12 74410 200 E. GRAND RIVER AVE. 09/05/2023 Ν 30.00 SUITE 3 HOWELL MI, 48843 / / 0.0000 Υ 0.00 09/05/2023 N 30.00 Open GL NUMBER AMOUNT DESCRIPTION 590-527.000-955.000 SUNDRY 30.00 LIVINGSTON COUNTY REGISTER OF DEEDS 08/23/2023 82323 LIVINGST12 GEN SEWER AGR. FORM-PEAHL/EASEMENT GRANT 09/05/2023 74424 200 E. GRAND RIVER AVE. 60.00 Ν SUITE 3 Υ HOWELL MI, 48843 / / 0.0000 0.00 09/05/2023 Ν 60.00 Open GL NUMBER DESCRIPTION AMOUNT 590-538.000-955.000 SUNDRY 60.00 90.00 VENDOR TOTAL: LIVINGST09 LIVINGSTON COUNTY ROAD COMMISSION 08/23/2023 7327 GEN 489.07.5113BV COWELL COWELL PL LAKE 09/05/2023 74417 N 138,220.66 3535 GRAND OAKS DRIVE HOWELL MI, 48843 / / 0.0000 Ν 0.00 09/05/2023 138,220.66 Ν Open GL NUMBER DESCRIPTION AMOUNT 204-000.000-802.000 ROAD IMPROVEMENT 138,220.66 LIVINGST09 LIVINGSTON COUNTY ROAD COMMISSION 08/23/2023 7331 489.07.511BV HENRY-LMTD DRAINAGE/LIM GEN 74416 09/05/2023 Ν 67,553.63 3535 GRAND OAKS DRIVE HOWELL MI, 48843 / / 0.0000 Ν 0.00 09/05/2023 67,553.63 N Open GL NUMBER DESCRIPTION AMOUNT 204-000.000-802.000 ROAD IMPROVEMENT 67,553.63

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EXP CHECK RUN DATES 07/01/2023 - 09/05/2023 BOTH JOURNALIZED AND UNJOURNALIZED OPEN

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Vendor Code Ref #	Vendor name Address City/State/Z	ip	Post Date CK Run Date Disc. Date Due Date	Invoice	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
LIVINGST02 74439	LIVINGSTON C 200 E. GRAND		08/28/2023 09/05/2023	73123	GEN N	JULY BOR/PRE ADJUSTME	160.26
	HOWELL MI, 4	8843-2398	/ / 09/05/2023	0.0000	N N		0.00 160.26
Open							
GL NUMBER 101-000.000-4 204-000.000-4 206-000.000-4 703-000.000-2 207-000.000-4	415.000 415.000 223.000	DESCRIPTION CHARGE BACKS/MTT/BOARD OF CHARGE BACKS/MTT/BOARD OF CHARGE BACKS/MTT/BOARD OF DUE TO LIBRARY CHARGE BACKS/MTT/BOARD OF	F REVIEW F REVIEW		2° 2° 3° 20 5°	MOUNT 7.78 1.74 7.12 0.04 3.58	
						VENDOR TOTAL:	160.26
MALLORY SA 74390 Open	MALLORY SAFE PO BOX 2068 LONGVIEW WA,	TY AND SUPPLY 98632	08/17/2023 09/05/2023 / / 09/05/2023	5690891	GEN N N Y	FD FLOATATION MED SLE	D/SLED RESCUE L 1,393.24 0.00 1,393.24
GL NUMBER 206-000.000-9	967.000	DESCRIPTION SPECIAL PROJECTS			Al 1,393	MOUNT 3.24	
MALLORY SA 74422	MALLORY SAFE PO BOX 2068 LONGVIEW WA,	TY AND SUPPLY 98632	08/23/2023 09/05/2023 / / 09/05/2023	5696659 0.0000	GEN N N Y	FDKIT ROPE RESCUE TRU	JCK CACHE/SYS RI 7,016.26 0.00 7,016.26
Open			33, 33, 2323		-		,,010.20
GL NUMBER 206-000.000-9	967.000	DESCRIPTION SPECIAL PROJECTS			Al 7,016	MOUNT 6.26	
						VENDOR TOTAL:	8,409.50

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INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023 BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Discount Sep CK 1099 Due Date Net Amount FD INITIAL PROVIDER HYBRID COURSE AC MARC A. VOLGER & ASSOCIATES 08/17/2023 23-0037 GEN VOLGERMARC 74388 395 SEDGEWOOD LANE 09/05/2023 Ν 780.00 / / 0.0000 Ν 0.00 ANN ARBOR MI, 48103 Ν 780.00 09/05/2023 Open GL NUMBER DESCRIPTION AMOUNT 206-000.000-916.000 TRAINING 780.00 780.00 VENDOR TOTAL: 08/23/2023 82323 REIMBURSE MILEAGE/MPELLRA MEMBERSHIP DELANCEYMI MICHELLE DELANCEY GEN 6966 JENNINGS RD 74420 09/05/2023 Ν 343.44 ANN ARBOR MI, 48105 / / 0.0000 Ν 0.00 09/05/2023 Ν 343.44 Open GL NUMBER DESCRIPTION AMOUNT 293.44 101-201.000-861.000 MILEAGE 101-201.000-958.000 DUES/SUBSCRIP/RECERTIFICATION 50.00 343.44 VENDOR TOTAL: 343.44 MOBILE COMMUNICATIONS AMERICA INC 08/17/2023 398000410-1 GEN MOBILE COM FD MONITOR REPAIR 25.00 74389 PO BOX 1458 09/05/2023 Ν CHARLOTTE NC, 28201 / / 0.0000 Ν 0.00

		DESCRIPTION EQUIPMENT MAINT/REPAIR				AMOUNT 25.00	
						VENDOR TOTAL:	25.00
MOTOROLA01 74399		LUTIONS INC. CTIONS CENTER DR 60693	08/18/2023 09/05/2023 / / 09/05/2023	1187105344	GEN N N N	PDV300 JACKET CLIP MOUNT,	BLACK (3) 237.00 0.00 237.00
Open							

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GL NUMBER DESCRIPTION AMOUNT 207-000.000-933.000 SOFTWARE MAINTENANCE 237.00

25.00

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Vendor Code Ref #	Vendor name Address City/State,		Post Date CK Run Date Disc. Date Due Date	Invoice	Bank Hold Sep CK 1099	Invoice Description	Gross Amount Discount Net Amount
						VENDOR TOTAL:	237.00
NFPAINTL01 74380	NFPA NATIONAL F PO BOX 968	IRE PROTECTION ASSOC.	08/17/2023 09/05/2023	81423	GEN N	FD MEMBERSHIP RENEWA	L LAWVER 175.00
Open		NH, 03108-9689	/ / 09/05/2023	0.0000	N Y		0.00 175.00
open							
GL NUMBER 206-000.000-9	958.000	DESCRIPTION DUES/SUBSCRIP/RECERTIFI	CATION			MOUNT 5.00	
						VENDOR TOTAL:	175.00
PERFORMANC 74393		E ENVIRONMENTAL SERVICES ER OAKS CT.	08/17/2023 09/05/2023	28345	GEN N	PD ASBESTOS INSPECTI	ON /CHAIN OF CUS 2,065.00
Open	WIXOM MI,	48393	/ / 09/05/2023	0.0000	N N		0.00 2,065.00
-					_		
GL NUMBER 101-101.000-9	80.000	DESCRIPTION CAPITAL EQUIPMENT/CAPITA	AL IMP		2,06	MOUNT 5.00	
						VENDOR TOTAL:	2,065.00
PHOENIXSAF		FETY OUTFITTERS, LLC	08/21/2023	SI-136505	GEN	FD BALLCAPS MILLER/Z	
74402	P.O. BOX 2 UPPER ARLI	0445 NGTON OH, 43220	09/05/2023	0.0000	N N		90.47
		, , ,	09/05/2023		Y		90.47
Open							
GL NUMBER 206-000.000-7	768.000	DESCRIPTION UNIFORMS/ACCESSORIES				MOUNT 0.47	
						VENDOR TOTAL:	90.47

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BANK CODE: GEN

Vendor name Vendor Code Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Discount Sep CK Due Date 1099 Net Amount PITNEY BOWES GLOBAL FINANCIAL 08/30/2023 3317925431 GEN LEASE 6/28-9/27/23 PITNEYBO01 473.67 74498 SERVICES LLC 09/05/2023 Ν / / 0.0000 Ν 0.00 PITTSBURGH PA, 15250-7887 Υ 09/05/2023 473.67 Open GL NUMBER DESCRIPTION AMOUNT 101-275.000-851.000 POSTAGE 473.67 473.67 VENDOR TOTAL: 08/29/2023 27400 PLANTEMO01 PLANTE & MORAN, PLLC GEN PROGRESS INVOICE /TOWNSHIP FINANCIAL 16060 COLLECTIONS CENTER DR 74480 09/05/2023 N 8,000.00 CHICAGO IL, 60693 / / 0.0000 Ν 0.00 09/05/2023 Ν 8,000.00 Open GL NUMBER DESCRIPTION AMOUNT 4,000.00 101-275.000-954.000 AUDIT 207-000.000-801.000 CONTRACTUAL SERVICES 750.00 206-000.000-801.000 750.00 CONTRACTUAL SERVICES 2,500.00 590-527.000-801.000 CONTRACTUAL SERVICES 8,000.00 VENDOR TOTAL: 8,000.00 PLMLAKEL01 PLM LAKE & LAND MANAGEMENT CORP. 08/29/2023 4004627 GEN HARVESTING OF LAKE /SSW DO DOV 130 09/05/2023 71176 12 650 00

				VENDOR TOTAL:	12,650.00
GL NUMBER 252-000.000-8	03.000	DESCRIPTION AQUATIC WEED CONTROL		AMOUNT 12,650.00	
Open			09/05/2023	N	12,650.00
	HOWARD CITY		/ / 0.0000) N	0.00
/44/0	PU BUX 430		09/03/2023	IN .	12,630.00

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EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount 08/28/2023 228644 PRINTSYS01 PRINTING SYSTEMS, INC. GEN ELECTION FORMS& SUPPLIES 09/05/2023 72.47 74440 12005 BEECH DALY ROAD Ν TAYLOR MI, 48180 / / 0.0000 Ν 0.00 09/05/2023 Ν 72.47 Open GL NUMBER DESCRIPTION AMOUNT 101-262.000-752.001 SUPPLIES FOR ELECTIONS 72.47 72.47 VENDOR TOTAL: 71723 08/18/2023 SENTINELCO RALPH STEVEN FISHER GEN PD RDS INSTRUCTOR COURSE (2) STUDENT 74396 P.O. BOX 2458 09/05/2023 Ν 500.00 HOWELL MI, 48844 / / 0.0000 Ν 0.00 09/05/2023 Ν 500.00 Open

GL NUMBER DESCRIPTION AMOUNT 207-000.000-916.000 TRAINING 500.00

				· = : : • · · · · · · · · · · · · · · · · ·	000.00
REDMONDJ01	REDMOND ENVIRONMENTAL INC.	08/29/2023 1002	26 GEN	DPW CUTTER & SCREW PARTS	
74475	1355 N. 7TH STREET	09/05/2023	N		501.33
	LAKE CITY MN, 55041	/ / 0.00	000 N		0.00
		09/05/2023	N		501.33
Open					
GL NUMBER	DESCRIPTION			AMOUNT	

590-527.000-751.100 GRINDER PUMP PARTS 501.33

VENDOR TOTAL: 501.33

VENDOR TOTAL:

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DESCRIPTION

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BANK CODE: GEN

Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount 08/21/2023 RESCOM DOOR LLC 4032 GEN FD#12 SERVICE CALL DOOR #7 RESCOM 4088 E M 36 09/05/2023 74403 Ν 195.00 PINCKNEY MI, 48169 / / 0.0000 Ν 0.00 Ν 195.00 09/05/2023 Open GL NUMBER DESCRIPTION AMOUNT 206-000.000-930.003 MAINTENANCE FIRE HALL 195.00 08/17/2023 4142 RESCOM RESCOM DOOR LLC FD#12 REPLACE DAMAGES/MISSING SEALS 74394 4088 E M 36 09/05/2023 N 1,250.00 PINCKNEY MI, 48169 / / 0.0000 Ν 0.00 09/05/2023 Ν 1,250.00 Open GL NUMBER DESCRIPTION AMOUNT 206-000.000-930.003 MAINTENANCE FIRE HALL 1,250.00 VENDOR TOTAL: 1,445.00 RESRVEACCT RESERVE ACCOUNT 08/23/2023 82323 GEN POSTAGE RESERVE ACCT 359474980 09/05/2023 74425 P.O. BOX 223648 Ν 5,000.00 PITTSBURGH PA, 15250-2648 / / 0.0000 Ν 0.00 09/05/2023 Ν 5,000.00 Open GL NUMBER DESCRIPTION AMOUNT 101-275.000-851.000 POSTAGE 5,000.00 VENDOR TOTAL: 5,000.00 08/28/2023 16635 REVIZELLC REVIZE LLC GEN WEBSITE & CMS ANNUAL TECH SUPPORT 74459 150 KIRTS BLVD., SUITE B 09/05/2023 2,400.00 N

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AMOUNT

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VENDOR TOTAL: 2,400.00

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Vendor Code	Vendor name	BANK CODE: Post Date	: GEN Invoice	Bank In	voice Description	
Ref #	Address City/State/Zip	CK Run Date Disc. Date Due Date		Hold Sep CK 1099	voice Description	Gross Amount Discount Net Amount
JOHNSNRO01 74434	ROSATI, SCHULTZ, JOPPICH & AMTSBUECHLER, P.C. 27555 EXECUTIVE DRIVE, SUITE 250	08/28/2023 09/05/2023	1079968	GEN GE N	NERAL MATTER/ MARY	ANN & STEVEN LA 697.00
	FARMINGTON HILLS MI, 48331	/ / 09/05/2023	0.0000	N Y		0.00 697.00
Open						
GL NUMBER 101-101.000-8 101-101.000-8				AMOU! 374.0	0	
				697.0	0	
JOHNSNRO01 74435	ROSATI, SCHULTZ, JOPPICH & AMTSBUECHLER, P.C. 27555 EXECUTIVE DRIVE, SUITE 250	08/28/2023 09/05/2023	1079969	GEN LA N	BOR AND EMPLOYMENT	MATTERS THROUGH 1,188.00
Open	FARMINGTON HILLS MI, 48331	/ / 09/05/2023	0.0000	N Y		0.00 1,188.00
GL NUMBER 207-000.000-8	DESCRIPTION 326.000 LEGAL FEES			AMOUI 1,188.0		
JOHNSNRO01 74436	ROSATI, SCHULTZ, JOPPICH & AMTSBUECHLER, P.C. 27555 EXECUTIVE DRIVE, SUITE 250	08/28/2023 09/05/2023	1079973	GEN DI N	STRICT COURT PROSE	ECUTIONS THROUGH 140.00
	FARMINGTON HILLS MI, 48331	/ /	0.0000	N		0.00
Open		09/05/2023		Y		140.00
GL NUMBER 207-000.000-8	DESCRIPTION B26.000 LEGAL FEES			AMOU!		
					VENDOR TOTAL:	2,025.00

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BANK CODE: GEN

Vendor name Vendor Code Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount Due Date 1099 Net Amount 08/30/2023 000911 GEN SEN CTR LOCK CHANGE/ADD SWEEP SECURITY02 SECURITY LOCK SERVICE, INC. 74502 401 WASHINTON STREET 09/05/2023 Ν 480.00 BRIGHTON MI, 48116 / / 0.0000 Ν 0.00 Ν 09/05/2023 480.00 Open GL NUMBER DESCRIPTION AMOUNT 208-820.000-930.001 MAINTENANCE COMM CENTER 480.00 SECURITY LOCK SERVICE, INC. 08/30/2023 00859 SECURITY02 GEN TWP KABA LOCK REPL TREASURY DOOR 401 WASHINTON STREET 09/05/2023 74506 N 1,095.00 BRIGHTON MI, 48116 / / 0.0000 Ν 0.00 09/05/2023 Ν 1,095.00 Open GL NUMBER DESCRIPTION AMOUNT 101-265.000-930.000 MAINTENANCE TWP HALL 1,095.00 VENDOR TOTAL: 1,575.00 SERVICEELE SERVICE ELECTRIC OF MICHIGAN LLC 08/17/2023 1879-12295 GEN PD 30 DAY POWER RECORDING 09/05/2023 2,628.00 74391 3867 S. OLD US HWY 23 Ν BRIGHTON MI, 48114 / / 0.0000 Ν 0.00 09/05/2023 Ν 2,628.00 Open GL NUMBER DESCRIPTION AMOUNT 101-101.000-980.000 CAPITAL EQUIPMENT/CAPITAL IMP 2,628.00

2,628.00

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BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount 08/22/2023 SPRINGFIEL SPRINGFIELD URGENT CARE PLLC 82123 GEN EMPLOYEE PHYSICALS 07-23/08/23 74411 09/05/2023 9547 CHILSON COMMONS CIRCLE Ν 1,345.00 ATTN: CHELLIE PINCKNEY MI, 48169 / / 0.0000 Ν 0.00 1,345.00 09/05/2023 Ν Open GL NUMBER AMOUNT DESCRIPTION 207-000.000-955.000 SUNDRY 750.00 101-702.000-955.000 SUNDRY 120.00 135.00 101-265.000-955.000 SUNDRY 340.00 590-527.000-843.000 MISC MEDICAL EXPENSES 1,345.00

						VENDOR TOTAL:	1,345.00
STAPLESIO2 74478 Open	STAPLES A P.O. BOX DALLAS TX		08/29/2023 09/05/2023 / / 09/05/2023	8070806431 0.0000	GEN N N N	TREASURY/ZONING SUPPLIES	6/1-3/30/23 411.18 0.00 411.18
GL NUMBER 101-275.000-	752.000	DESCRIPTION SUPPLIES & SMALL EQU	IPMENT			AMOUNT 11.18	
STAPLESI02 74477 Open	STAPLES A. P.O. BOX DALLAS TX		08/29/2023 09/05/2023 / / 09/05/2023	8071412560 0.0000	GEN N N N	HOUSEKEEPING/TREASURY /TW	208.52 0.00 208.52
GL NUMBER 101-275.000- 101-275.000- 101-275.000- 101-275.000-	752.000 752.000	DESCRIPTION SUPPLIES & SMALL EQU SUPPLIES & SMALL EQU SUPPLIES & SMALL EQU SUPPLIES & SMALL EQU	IPMENT IPMENT	_		AMOUNT 72.78 12.58 39.11 84.05 08.52	

619.70

VENDOR TOTAL:

Page:

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LANSING MI, 48909

User: MarcyM

DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023 BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

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Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount 08/18/2023 551-621553 STATE OF MICHIGAN GEN MI4745100 GATEWAY TO GATEWAY VPN 7/1 LEIN01 74397 09/05/2023 MI STATE POLICE - CASHIERS OFFICE Ν 387.00 P.O. BOX 30266

/ /

09/05/2023

Open

GL NUMBER DESCRIPTION AMOUNT

207-000.000-933.300 LAW ENFORCEMENT INFO NETWORK 387.00

					VENDOR TOTAL:	387.00
BANKNEWY03	THE BANK OF NEW YORK MELLON	08/23/2023	252-2571162	GEN	HAMBURGCIR12 ADMIN FEE	10/01/23 - 9/
74419	P.O. BOX 392013	09/05/2023		N		200.00
	PITTSBURGH PA, 15251-9013	/ /	0.0000	N		0.00
		09/05/2023		N		200.00
Open						
					AMOUNT	

GL NUMBER DESCRIPTION AMOUNT 591-000.000-993.000 AGENT FEES 200.00

VENDOR TOTAL: 200.00

Page:

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Item 7.

0.00

BUFFALO NY, 14240-0927

User: MarcyM

DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023 BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

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Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount 08/28/2023 6082156 TOSHIBA BUSINESS SOLUTIONS GEN FD CONTRACT 7/1-7/31/23 TOSHIBA 74450 09/05/2023 PO BOX 927 Ν 28.99

/ /

09/05/2023

Open

GL NUMBER DESCRIPTION AMOUNT 206-000.000-752.000 SUPPLIES & SMALL EQUIPMENT 28.99

TOSHIBA BUSINESS SOLUTIONS 08/28/2023 6082267 GEN TWP CONTRACT 7/6-8/5/23 TOSHIBA 74448 PO BOX 927 09/05/2023 60.74 Ν BUFFALO NY, 14240-0927 / / 0.0000 Ν 0.00 09/05/2023 Υ 60.74

Open

GL NUMBER DESCRIPTION AMOUNT 101-275.000-752.000 SUPPLIES & SMALL EQUIPMENT 60.74

TOSHIBA TOSHIBA BUSINESS SOLUTIONS 08/28/2023 6082273 GEN FD CONTRACT 7/6-8/5/23 74449 PO BOX 927 09/05/2023 8.56 Ν BUFFALO NY, 14240-0927 / / 0.0000 Ν 0.00 09/05/2023 Υ 8.56

Open

GL NUMBER DESCRIPTION AMOUNT 206-000.000-752.000 SUPPLIES & SMALL EQUIPMENT 8.56

VENDOR TOTAL: 98.29

Page:

40/43

Item 7.

0.00

User: MarcyM

DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023 BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Post Date Invoice Bank Invoice Description

Page:

VENDOR TOTAL:

41/43

Item 7.

Vendor name Vendor Code Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount Due Date 1099 Net Amount UIS PROGRAMMABLE SERVICES, INC 06/30/2023 530370940 GEN WWTP CHEMICAL VALVE REP UISPROGR01 74503 2290 BISHOP CIRCLE EAST 09/05/2023 Ν 570.00 DEXTER MI, 48130 / / 0.0000 Ν 0.00 Ν 09/05/2023 570.00 Open GL NUMBER DESCRIPTION AMOUNT 590-537.000-931.000 EQUIPMENT MAINT/REPAIR 570.00 06/28/2023 530371261 UISPROGR01 UIS PROGRAMMABLE SERVICES, INC GEN WWTP SC200 TROUBLE SHOOTING 2290 BISHOP CIRCLE EAST 09/05/2023 74504 N 405.00 DEXTER MI, 48130 / / 0.0000 Ν 0.00 09/05/2023 Ν 405.00 Open GL NUMBER DESCRIPTION AMOUNT 590-537.000-931.000 EQUIPMENT MAINT/REPAIR 405.00 UIS PROGRAMMABLE SERVICES, INC 08/30/2023 530371644 UISPROGR01 GEN WWTP RAS FLOW METER FINAL 74510 2290 BISHOP CIRCLE EAST 09/05/2023 Ν 3,403.50 DEXTER MI, 48130 / / 0.0000 Ν 0.00 09/05/2023 Ν 3,403.50 Open GL NUMBER DESCRIPTION AMOUNT 590-537.000-934.100 PUMP & MAIN REPAIR/MAINTENANCE 3,403.50

65

4,378.50

User: MarcyM

DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023

BOTH JOURNALIZED AND UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor Code Vendor name Post Date Invoice Bank Invoice Description Ref # Address Hold CK Run Date PO Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount 1099 Due Date Net Amount 06/30/2023 VEL INC 29829 GEN PD PARKING LOT CAMERAS DATANETSYS PO BOX 700744 09/05/2023 74412 Ν 5,323.26 PLYMOUTH MI, 48170 / / 0.0000 Ν 0.00 Ν 5,323.26 09/05/2023 Open GL NUMBER DESCRIPTION AMOUNT 207-000.000-980.000 CAPITAL EQUIPMENT/CAPITAL IMP 5,323.26 08/28/2023 49828 WWTP PELCO CAMERA/MOUNT/WAL MOUNT/HA DATANETSYS VEL INC GEN PO BOX 700744 09/05/2023 74456 N 2,305.61 PLYMOUTH MI, 48170 / / 0.0000 N 0.00 09/05/2023 Ν 2,305.61 Open GL NUMBER DESCRIPTION AMOUNT 590-537.000-930.007 BUILDING MAINTENANCE - WWTP 2,305.61 VENDOR TOTAL: 7,628.87 WCAASSESSG WCA ASSESSING LLC 08/21/2023 81823 GEN ASSESSMENT SERVICES SEPTEMBER 23 38110 N. EXECUTIVE #100 09/05/2023 74401 Ν 27,255.75 WESTLAND MI, 48185 / / 0.0000 Ν 0.00 09/05/2023 27,255.75 Open GL NUMBER DESCRIPTION AMOUNT 101-257.000-801.000 CONTRACTUAL SERVICES 27,255.75 27,255.75 VENDOR TOTAL: 08/17/2023 559398 WEBB CHEM WEBB CHEMICAL SERVICE CORP GEN ALUMINUM SULFATE (27960#) 74392 LOCKBOX #775182 09/05/2023 5,917.00 N CHICAGO IL, 60677-5182 / / 0.0000 Ν 0.00 09/05/2023 Υ 5,917.00 Open AMOUNT GL NUMBER DESCRIPTION 590-537.000-753.000 CHEMICALS 5,917.00

5,917.00

VENDOR TOTAL:

Page:

42/43

User: MarcyM

DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 07/01/2023 - 09/05/2023 BOTH JOURNALIZED AND UNJOURNALIZED OPEN

Item 7.

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			BANK CODE				
Vendor Code Ref #	Vendor name Address City/State/	Zip	Post Date CK Run Date Disc. Date Due Date	Invoice PO Disc. %	Bank Hold Sep (1099	-	Gross Amount Discount Net Amount
WONDERMARN 74398	WONDERLAND 8789 MCGREG PINCKNEY MI		08/18/2023 09/05/2023 / / 09/05/2023	71460	GEN N N N	PD BOAT FUEL 13553/14	92.95 0.00 92.95
Open							
GL NUMBER 207-000.000-7 207-000.000-7 207-000.000-7	759.000	DESCRIPTION VEHICLE FUEL VEHICLE FUEL VEHICLE FUEL				AMOUNT 26.20 32.93 33.82	
						92.95	
WONDERMARN 74499	WONDERLAND 8789 MCGREG PINCKNEY MI		08/30/2023 09/05/2023 / / 09/05/2023	IN015161 0.0000	GEN N N N	PD BOAT FUEL	32.65 0.00 32.65
Open							
GL NUMBER 207-000.000-7	759.000	DESCRIPTION VEHICLE FUEL				AMOUNT 32.65	
WONDERMARN 74500	WONDERLAND 8789 MCGREG PINCKNEY MI		08/30/2023 09/05/2023 / / 09/05/2023	IN015405 0.0000	GEN N N N	PD BOAT FUEL	36.36 0.00 36.36
Open							
GL NUMBER 207-000.000-7	759.000	DESCRIPTION VEHICLE FUEL				AMOUNT 36.36	
						VENDOR TOTAL:	161.96

495,382.99 TOTAL - ALL VENDORS:

User: MarcyM

DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 08/15/2023 - 08/15/2023

UNJOURNALIZED OPEN BANK CODE: GEN

8.14.73 Page: 1/6

Vendor Code Ref #	Vendor name Address City/State/Z	ip	BANK CODE: Post Date CK Run Date Disc. Date Due Date	Invoice	Bank Hold Sep (•	Gross Amount Discount Net Amount
ADVANCAUTO 74360	ADVANCE AUTO P.O. BOX 404 ATLANTA GA,	875	08/15/2023 08/15/2023 / / 08/15/2023	2749-IC-486874 0.0000	GEN N N Y	PTG CONNECTOR/TOW/JCASH	E 32 V/ J CAS (0.06) 0.00 (0.06)
Open							,
GL NUMBER 590-527.000-	752.000	DESCRIPTION SUPPLIES & SMALL EQUIP	MENT			AMOUNT (0.06)	
ADVANCAUTO 74361	ADVANCE AUTO P.O. BOX 404 ATLANTA GA,	875	08/15/2023 08/15/2023 / / 08/15/2023	2749-IC-486900 0.0000	GEN N N Y	PTG TOW 22276 RETURNED	(9.01) 0.00 (9.01)
Open							
GL NUMBER 590-527.000-	752.000	DESCRIPTION SUPPLIES & SMALL EQUIP	MENT			AMOUNT (9.01)	
						VENDOR TOTAL:	(9.07)
ADVANCED02 74363	ADVANCED WAT PO BOX 339 HAMBURG MI,	ER TREATMENT, INC. 48139	08/16/2023 08/15/2023 / / 08/15/2023	19720812	GEN N N N	B&G WATER BOTTLES (2)	11.98 0.00 11.98
Open			00, 13, 2023		14		11.90
						AMOLINE	
GL NUMBER 101-265.000-	752.000	DESCRIPTION SUPPLIES & SMALL EQUIP	MENT			AMOUNT 11.98	
		SUPPLIES & SMALL EQUIP	08/16/2023 08/15/2023 / /	19723884	GEN N N N		33.96 0.00
101-265.000- ADVANCED02	ADVANCED WAT PO BOX 339	SUPPLIES & SMALL EQUIP	08/16/2023 08/15/2023		N N	11.98	33.96
101-265.000- ADVANCED02 74364	ADVANCED WAT PO BOX 339 HAMBURG MI,	SUPPLIES & SMALL EQUIP	08/16/2023 08/15/2023 / / 08/15/2023		N N	11.98	33.96 0.00

590-527.000-752.000

590-527.000-931.000

AMAZON CAPITAL SERVICES

SEATTLE WA, 98124-5184

P.O BOX 035184

User: MarcyM

Vendor Code

AMAZONCO01

DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 08/15/2023 - 08/15/2023

UNJOURNALIZED OPEN

BANK CODE: GEN

0.0000

Vendor namePost DateInvoiceBankInvoice DescriptionAddressCK Run DatePOHold

/ /

08/15/2023

City/State/Zip Disc. Date Disc. %
Due Date

 Due Date
 1099
 Net Amount

 08/16/2023
 1HJM-JWW6-HY6F
 GEN
 PURCHASES 7/1-7/31/23

 08/15/2023
 N
 9,150.12

Sep CK

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Ν

Open

74365

Ref #

GL NUMBER DESCRIPTION AMOUNT 101-275.000-752.000 SUPPLIES & SMALL EQUIPMENT 49.98 101-275.000-752.000 SUPPLIES & SMALL EQUIPMENT 82.88 206-000.000-752.000 SUPPLIES & SMALL EQUIPMENT 1,365.92 206-000.000-768.100 TURN OUT GEAR 943.80 206-000.000-930.003 MAINTENANCE FIRE HALL 4,163.08 206-000.000-932.000 VEHICLE MAINTENANCE 127.87 207-000.000-752.000 SUPPLIES & SMALL EQUIPMENT 418.88 UNIFORMS/ACCESSORIES 89.98 207-000,000-768,000 VEHICLE MAINTENANCE 207-000.000-932.000 97.93 208-751.000-930.020 SPORTS FIELD MAINTENANCE 749.50 208-000.000-239.300 SENIOR CENTER ACTIVITY FUND 160.71 208-820.000-804.000 SENIOR PROGRAMS 406.47

SUPPLIES & SMALL EQUIPMENT

EQUIPMENT MAINT/REPAIR

9,150.12

353.13

139.99

VENDOR TOTAL: 9,150.12

Page: 2/6

Item 7.

Gross Amount

Discount

9,150.12

0.00

ANYCANPAIN ANYONE CAN PAINT LLC 08/16/2023 245 GEN ACRYLIC LANDSCAPE CLASS 08/11/23 5239 BELSAY RD. 74362 08/15/2023 Ν 180.00 GRAND BLANC MI, 48439 0.0000 Ν / / 0.00 Υ 08/15/2023 180.00

Open

GL NUMBER DESCRIPTION AMOUNT 208-000.000-239.300 SENIOR CENTER ACTIVITY FUND 180.00

VENDOR TOTAL:

User: MarcvM

DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 08/15/2023 - 08/15/2023

UNJOURNALIZED OPEN

BANK CODE: GEN

Invoice Invoice Description Bank

VENDOR TOTAL:

Page: 3/6

Item 7.

Vendor Code Vendor name Post Date Ref # Address CK Run Date PO Hold Gross Amount City/State/Zip Disc. Date Disc. % Sep CK Discount Due Date 1099 Net Amount DARTTEAM01 DART TEAM 08/16/2023 81723 GEN DART CONTRIBUTION 8/17/23 PAYDATE C/O HOWELL FIRE DEPARMENT 74366 08/15/2023 N 170.00 1211 W. GRAND RIVER HOWELL MI, 48843 / / 0.0000 Ν 0.00 08/15/2023 N 170.00 Open GL NUMBER DESCRIPTION TRUOMA 101-000.000-231.200 DUE TO CHARITY CHARITABLE DEDUCTIONS 170.00 VENDOR TOTAL: 170.00 WILKINSON DENNIS WILKINSON BUILDING, LLC 08/16/2023 397 GEN FD #12 WINDOW MOVED FOR ADA HEIGHT 74369 307 BYRON RD 08/15/2023 N 5,200.00 HOWELL MI, 48843 / / 0.0000 Ν 0.00 08/15/2023 Y 5,200.00 Open GL NUMBER DESCRIPTION AMOUNT 206-000.000-930.003 MAINTENANCE FIRE HALL 5,200.00 VENDOR TOTAL: 5,200.00 DIGICGLOBL DIGICOM GLOBAL INC. 08/16/2023 SINGLE HEAD REMOTE MOUNT BASIC HEAD 6906 GEN 74367 3911 ROCHESTER RD. 08/15/2023 20220928 N 2,477.80 TROY MI, 48083 0.0000 / / Ν 0.00 08/15/2023 N 2,477.80 Open GL NUMBER DESCRIPTION AMOUNT AMT RELIEVED 207-000.000-980.000 SINGLE HEAD REMOTE MOUNT BASIC HEAD 2,477.80 2,477.80

2,477.80

User: MarcyM

Vendor Code

DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 08/15/2023 - 08/15/2023

UNJOURNALIZED OPEN

BANK CODE: GEN

Vendor name Post Date Invoice Bank Invoice Description Address CK Run Date PO Hold City/State/Zip

Disc. Date

Due Date

IMEGCORP#1 IMEG CORP. 08/16/2023 23004894.00-1 GEN 10760 BOBWHITE REVIEW/10736 BOB WHI 74368 ATTN: ACCOUNTS RECEIVABLE 08/15/2023 Ν 437.00 623 26TH AVE.

ROCK ISLAND IL, 61201 / / 0.0000 Ν 0.00 08/15/2023 Y 437.00

Disc. %

Open

Ref #

GL NUMBER DESCRIPTION AMOUNT 101-000.000-279.972 10706 BOB WHITE BEACH 247.00 101-000.000-279.976 10736 BOB WHITE BEACH 190.00

437.00

Sep CK

1099

VENDOR TOTAL: 437.00 KINGKLEA01 KING KLEANERS 08/16/2023 8123 GEN PD LAUNDRY 7/1-7/31/23 74370 5589 E. M-36 08/15/2023 Ν 436.50 SUITE B3 PINCKNEY MI, 48169 / / 0.0000 Ν 0.00 08/15/2023 Υ 436.50

Open

GL NUMBER DESCRIPTION AMOUNT

207-000.000-768.500 UNIFORM CLEANING 436.50

					VENDOR TOTAL:	436.50
LAKESIDESV 74371	LAKESIDE SERVICE COMPANY 4367 S. OLD US HWY 23 BRIGHTON MI, 48114	08/16/2023 08/15/2023 / /	137454622	GEN N N	TWP ALARM FOR SMOKE DET	312.00 0.00
Open		08/15/2023		Y		312.00
GL NUMBER	DESCRIPTION				AMOUNT	

101-265.000-930.000 MAINTENANCE TWP HALL 312.00

> VENDOR TOTAL: 312.00

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Item 7.

Gross Amount

Discount

Net Amount

Vendor name

City/State/Zip

Address

User: MarcyM

Vendor Code

GANNETMI01

DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 08/15/2023 - 08/15/2023

UNJOURNALIZED OPEN

Disc. Date

BANK CODE: GEN

Post Date Invoice Bank Invoice Description CK Run Date PO Hold

Sep CK

Due Date 1099 Net Amount 08/16/2023 5796724 MICHIGAN.COM GEN LEGAL ADS 7/1-7/31/23 3964 SOLUTIONS CENTER 08/15/2023 Ν 780.00

Disc. %

Ν CHICAGO IL, 60677-3009 / / 0.0000 0.00 08/15/2023 Υ 780.00

Open

74373

Ref #

AMOUNT GL NUMBER DESCRIPTION 101-247.000-900.000 LEGAL NOTICES/ADVERTISING 60.00 101-101.000-900.000 LEGAL NOTICES/ADVERTISING 510.00

101-701.000-900.000 LEGAL NOTICES/ADVERTISING 210.00 780.00

VENDOR TOTAL: 780.00 GANNETMI02 MICHIGAN.COM 08/16/2023 81423 GEN SUBSCRIPTION LIV DAILY 74374 PO BOX 742520 08/15/2023 Ν 353.02 / / 0.0000 Ν CINCINNATI OH, 45274-2520 0.00 08/15/2023 Υ 353.02

Open

GL NUMBER AMOUNT DESCRIPTION

101-215.000-958.000 353.02 DUES/SUBSCRIP/RECERTIFICATION

VENDOR TOTAL: 353.02 MIDTWNCOLL MID-TOWNE COLLISION, INC. 08/16/2023 2166 GEN PD 19 CHARGER INS DED. 74372 1870 DORR RD 08/15/2023 Ν 250.00 Ν HOWELL MI, 48843 / / 0.0000 0.00 08/15/2023 Ν 250.00

Open

GL NUMBER DESCRIPTION AMOUNT 207-000.000-932.000 VEHICLE MAINTENANCE 250.00

VENDOR TOTAL: 250.00

Page: 5/6

Item 7.

Gross Amount

Discount

08/16/2023 11:27 AM

Vendor name

City/State/Zip

Address

User: MarcyM

Vendor Code

SECURITY02

Ref #

74377

DB: Hamburg

INVOICE APPROVAL BY INVOICE REPORT FOR HAMBURG TOWNSHIP OFFICES

EXP CHECK RUN DATES 08/15/2023 - 08/15/2023

UNJOURNALIZED OPEN

BANK CODE: GEN

Post Date Invoice Bank Invoice Description

1099

CK Run Date PO Hold Disc. Date Disc. % Sep CK

SECURITY LOCK SERVICE, INC. 08/16/2023 000910 GEN SENIOR CENTER DOORS 401 WASHINTON STREET 08/15/2023 N 12,291.50 BRIGHTON MI, 48116 / / 0.0000 Ν

08/15/2023 Ν

12,291.50 Open

Due Date

GL NUMBER DESCRIPTION 208-820.000-980.000 CAPITAL EQUIPMENT/CAPITAL IMP

AMOUNT 12,291.50

VENDOR TOTAL: 12,291.50 UNVLUANDMC UNIVERSAL LAUNDRY MACHINERY 08/16/2023 127595 GEN FD#11 WASHER REPAIR 74375 38700 WEBB DRIVE 08/15/2023 Ν 269.30 WESTLAND MI, 48185 / / 0.0000 Ν 0.00 08/15/2023 Y 269.30 Open GL NUMBER DESCRIPTION AMOUNT

206-000.000-930.003 MAINTENANCE FIRE HALL 269.30 UNVLUANDMC UNIVERSAL LAUNDRY MACHINERY 08/16/2023 127596 GEN FD#12 WASHER REPAIR

74376 38700 WEBB DRIVE 08/15/2023 N 273.39 WESTLAND MI, 48185 / / 0.0000 Ν 0.00 08/15/2023 Y 273.39

Open

GL NUMBER DESCRIPTION AMOUNT 206-000.000-930.003 MAINTENANCE FIRE HALL 273.39

VENDOR TOTAL:

542.69

TOTAL - ALL VENDORS:

Page: 6/6

Item 7.

Gross Amount

Discount

0.00

Net Amount



2531 Jackson Ave Ste 336 Ann Arbor, MI. 48103 Phone 734.678.7530 a2zlawnservicesLLC@gmail.com www.a2zlawnservices.com

INVOICE

INVOICE # 001685 DATE 08-31-2023

TO: Hamburg Township Cemeteries and Mausoleum

Julie Durkin - Cemetery Administrator/Sexton

10405 Merrill Rd. | P.O. Box 157

Hamburg, MI 48139 Phone: (517) 376-8993

Email: jdurkin@hamburg.mi.us APHamburgTwp@hamburg.mi.us FOR Lawn/Landscaping Services

GL 101-567,000-801.000

Description		Amount
Lawn mowing	, trimming & blowing for the following properties:	
08-02-2023	South Hamburg Cemetery (weekly)	\$680.00
08-09-2023		\$680.00
08-16-2023		\$680.00
08-23-2023		\$680.00
08-30-2023		\$680.00
08-09-2023	North Hamburg Cemetery (bi-weekly)	\$300.00
08-23-2023		\$300.00
08-09-2023	Placeway Cemetery (bi-weekly)	\$350.00
08-23-2023	, , , , , , , , , , , , , , , , , , , ,	\$350.00
		4
Total Due:		\$4700.00

Payment is due upon receipt.

Payment can be made directly on our website.



10405 Merrill
P.O. Box 157

Hamburg, MI 48139
(810) 231-1000
www.hamburg.mi.us

Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

To: Township Board

From: David Rohr

Date: September 5, 2023

RE: Final site plan review

PROJECT HISTORY:

At the August 16, 2023 Planning Commission meeting, the commission voted to approve the Final Site Plan (SPA 23-0001) for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River at 6716 Winans Lake Road (TID 4715-14-400-008 and 4715-23-100-002).

The Commission recommended approval of the final site plan (23-001) to the Township Board with the following conditions:

Condition 1. Prior to issuance of a land use permit the applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted.

Condition 2. All lighting shall be turned off between 11:00 PM and Sunrise. Lighting used for security between 11:00 pm and sunrise shall be controlled by a motion sensor.

Condition 3. Prior to issuance of a land use permit the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Engineering and Public Works Departments, Livingston County Drain Commissioner, Livingston County Road Commission, and Health Department.

Condition 4. All signage shall conform to Article XIII, Signs, and land use permits shall be issued prior to installation of signage.

Condition 5. No electronic display sign shall be permitted.

Condition 6. Any earth work that has a direct impact to the wetlands may be subject to a Part 303 EGLE permit and such permit shall be obtained prior to site work.

Condition 7. A vegetative berm shall be provided along the length of the west and southwest property boundaries that abut a single-family residential dwelling as shown on the site plan.

Condition 8. A buffer zone, which may include a berm, along Winans Lake Road shall be installed, with a concentration of vegetation at the entrance.

Condition 9. A vegetative screen, which may include a berm, shall be installed along the northern 1,200 linear feet of the east property boundary. Native species shall be planted on the top of the berm.

Condition 10. The docks on the Huron River shall be sized to meet the Ordinance requirements.

Condition 11. No public use of the docks shall be permitted.

Item 9.

Condition 12. All required state permits shall be obtained prior to the installation of any docks in the Huron River or Gut Lake.

Condition 13. Upon final approval of the site plan, construction, or expansion of any permitted or special use shall conform to the site plan. The approval by the planning commission and Township Board of a site plan shall expire within one year after the date of such approval, unless a land use permit has been issued and construction has commenced.

Condition 14. No sound amplification will be permitted on this site.

Condition 15. Special event usage to be coordinated with Township public safety committee.

Condition 16. The berm and landscaping shall be combined on the grading plan and in accordance with conditions 7,8,9.

Condition 17. The existing farmhouse, silo, and barn will be maintained for use if financially feasible and may be considered as historical buildings.

RECOMMENDATION:

Staff suggests that the Township Board discuss and review the August 16, 2023, Planning Commission Staff report, the recommendations by the Hamburg Township Planning Commission and the updated landscaping plan. The Board should make a determination on the final site plan in terms of its own judgment on particular factors related to the individual proposal. They should make a determination if the project meets the site plan review standards A-L in section 36-73 (7).

Example Approval Motion

The Township Board approves the final site plan (SPA23-001) at 6716 Winans Lake Road with conditions one through 17 in the August 16, 2023, draft meeting minutes. The project does meet the site plan review standards A through L of Section 36-73(7) of the Zoning Ordinance as discussed at the July 6, 2023 Township Board meeting, at the August 16, 2023 Planning Commission meeting, and as presented in the staff report.

ATTACHMENTS:

Attachment A: Draft August 16, 2023, Planning Commission meeting minutes (excerpt)

Attachment B: August 16, 2023, Planning Commission staff report

Attachment C: Updated Landscaping plan

Attachment D: Updated Site Plan





10405 Merrill Road
P.O. Box 157
Hamburg, MI 48139
(810) 231-1000
www.hamburg.mi.us

Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

PLANNING COMMISSION MEETING

Wednesday, August 16 at 7:00 PM Hamburg Township Hall Board Room

MINUTES

CALL TO ORDER

Commissioner Muck called the meeting to order at 7:00 pm.

PLEDGE TO THE FLAG

ROLL CALL OF THE BOARD:

1) PRESENT:

John Hamlin Patricia Hughes Deborah Mariani Jeff Muck, Chair Joyce Priebe

2) ABSENT:

Ron Muir Victor Leabu Jr

APPROVAL OF MEETING AGENDA for tonight.

Approval Motion made by Commissioner Mariani, seconded by Commissioner Hamlin, to approve the agenda as presented.

VOTE: MOTION CARRIED UNANIMOUSLY

APPROVAL OF THE MEETING MINUTES

Approval Motion made by Commissioner Mariani, seconded by Commissioner Priebe, to approve June 21, 2023, Planning Commission Meeting Minutes with corrections as noted by Commissioner Hughes.

VOTE: MOTION CARRIED UNANIMOUSLY

CALL TO THE PUBLIC- No public response

OLD BUSINESS

 Final Site Plan Review (SPA 23-0001) for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River at 6716 Winans Lake Road (TID 4715-14-400-008 and 4715-23-100-002).

Approval motion made by Commissioner Priebe, seconded by Commissioner Mariana that the planning commission approves **Final Site Plan SPA 23-0001** as proposed with the following conditions.

Condition 1. Prior to issuance of a land use permit the applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted.

Condition 2. All lighting shall be turned off between 11:00 PM and Sunrise. Lighting used for security between 11:00 pm and sunrise shall be controlled by a motion sensor.

Condition 3. Prior to issuance of a land use permit the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Engineering and Public Works Departments, Livingston County Drain Commissioner, Livingston County Road Commission, and Health Department.

Condition 4. All signage shall conform to Article XIII, Signs, and land use permits shall be issued prior to installation of signage.

Condition 5. No electronic display sign shall be permitted.

Condition 6. Any earth work that has a direct impact to the wetlands may be subject to a Part 303 EGLE permit and such permit shall be obtained prior to site work.

Condition 7. A vegetative berm shall be provided along the length of the west and southwest property boundaries that abut a single-family residential dwelling as shown on the site plan.

Condition 8. A buffer zone, which may include a berm, along Winans Lake Road shall be installed, with a concentration of vegetation at the entrance.

Condition 9. A vegetative screen, which may include a berm, shall be installed along the northern 1,200 linear feet of the east property boundary. Native species shall be planted on the top of the berm.

Condition 10. The docks on the Huron River shall be sized to meet the Ordinance requirements.

Condition 11. No public use of the docks shall be permitted.

Condition 12. All required state permits shall be obtained prior to the installation of any docks

in the Huron River or Gut Lake.

Condition 13. Upon final approval of the site plan, construction, or expansion of any permitted or special use shall conform to the site plan. The approval by the planning commission and Township Board of a site plan shall expire within one year after the date of such approval, unless a land use permit has been issued and construction has commenced.

Condition 14. No sound amplification will be permitted on this site.

Condition 15. Special event usage to be coordinated with Township public safety committee.

Condition 16. The berm and landscaping shall be combined on the grading plan and in accordance with conditions 7,8,9.

Condition 17. The existing farmhouse, silo, and barn will be maintained for use if financially feasible and may be considered as historical buildings.

Roll Call Vote: Ayes (5); Absent (2) Commissioners Leabu Jr and Muir

VOTE: MOTION CARRIED UNANIMOUSLY

NEW BUSINESS

1. **PSPR 23-0002**: Commercial Sign Review for project number **FSPA21-006**: A 5,244 square foot new standalone building that will be used as a convenience store for a new sixteen pump gas station at 9191 Pettysville Rd (TID 4715-20-201-022). The new convenience store will include a restaurant area that will have prepared foods, large coolers for cold beverages and foods, shelving for other goods and restrooms. This store will also sell alcoholic beverages. The special use permit application for the gas station was approved contingent on the final site plan approval of the gas station plans.

Approval motion made by Commissioner Priebe, seconded by Mariani, that the Planning Commission approve PSPR 23-0002 sign waiver at 9191 Pettysville Rd for:

- A 63.5 square foot freestanding sign
- Three wall signs totaling 66.4 sq. ft.
- The free-standing sign will be moved back at least 10 ft from the ROW.
- Signs shall comply with all requirements of Article XIII and be designed in substantial compliance with the submitted sign program.

Roll Call Vote: Ayes (5); Absent (2) Commissioners Leabu Jr and Muir

VOTE: MOTION CARRIED UNANIMOUSLY

ADJOURNMENT	
Motion to adjourn at 8 pm.	
Motion made by Commissioner Mariani, seconded by Commissione	er Priebe for adjournment.
Roll Call Vote: Ayes (5); Absent (2) Commissioners L	eabu Jr and Muir
VOTE: MOTION CARRIED UNANIMOUSLY	
Respectfully submitted,	
Lisa Perschke	
Planning/Zoning Coordinator & Recording Secretary	
David Rohr	
Planning & Zoning Director	
The minutes were approved as presented/corrected:	

Commissioner Jeff Muck, Chairperson



P.O. Box 157 10405 Merrill Road Hamburg, Michigan 48139-0157

To: Planning Commissioners

From: David Rohr

Planning and Zoning Director

Date: August 16, 2023

Project address and

PHONE: 810-231-1000

FAX: 810-231-4295

Description:

Final Site Plan Review (SPA 23-0001) for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River at 6716 Winans Lake Road (TID 4715-14-400-008 and 4715-23-100-002).

Owner: Freedom River

Applicant: Freedom River

Agent: Wade Trim



PLANNING COMMISION CONDITIONS

Updated landscaping plan has been been submitted for PC review. The updated plan addresses conditions 7-9 (listed below).

- Condition 7. A vegetative berm shall be provided along the length of the west and southwest property boundaries that abut a single-family residential dwelling as shown on the site plan.
- Condition 8. A buffer zone, which may include a berm, along Winans Lake Road shall be installed, with a concentration of vegetation at the entrance.
- Condition 9. A vegetative screen, which may include a berm, shall be installed along the northern 1,200 linear feet of the east property boundary. Native species shall be planted on the top of the berm.

These landscaping conditions are the Planning Commission's primary reviewable conditions.

PROJECT HISTORY

At the **July 6, 2023** Board of Trustees meeting, the Board to voted to approve the Preliminary Site Plan Review (SPA 23- 0003) for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River at 6716 Winans Lake Road (TID 4715-14-400-008 and 4715-23-100-002) because with conditions one through 15, inclusive, the project does meet the site plan review standards A through L of Section 36-73(7) of the Zoning Ordinance as discussed at the July 6, 2023 Township Board of Trustees meeting and at the June 21, 2023 Planning Commission meeting, and as presented in this staff report and those conditions are listed in the staff report.

At the **June 21, 2023** Planing Commission meeting, the Planning Commision recommended approval of preiliminary Site Plan (SPA 23-0003) for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicles parking area, walking trails, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River at 6716 Winas Lake Road (TID 4715-14-400-008 and 4715-23-100-002) with the following conditions:

- **Condition 1.** Prior to issuance of a land use permit the applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted.
- **Condition 2.** All lighting shall be turned off between 11:00 PM and Sunrise. Lighting used for security between 11:00 pm and sunrise shall be controlled by a motion sensor.
- **Condition 3.** Prior to issuance of a land use permit the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Engineering and

- Public Works Departments, Livingston County Drain Commissioner, Livingston County Road Commission, and Health Department.
- **Condition** 4. All signage shall conform to Article XIII, Signs, and land use permits shall be issued prior to installation of signage.
- **Condition 5.** No electronic display sign shall be permitted.
- **Condition 6.** Any earth work that has a direct impact to the wetlands may be subject to a Part 303 EGLE permit and such permit shall be obtained prior to site work.
- Condition 7. A vegetative berm shall be provided along the length of the west and southwest property boundaries that abut a single-family residential dwelling as shown on the site plan.
- Condition 8. A buffer zone, which may include a berm, along Winans Lake Road shall be installed, with a concentration of vegetation at the entrance.
- Condition 9. A vegetative screen, which may include a berm, shall be installed along the northern 1,200 linear feet of the east property boundary. Native species shall be planted on the top of the berm.
- Condition 10. The docks on the Huron River shall be sized to meet the Ordinance requirements.
- Condition 11. No public use of the docks shall be permitted.
- **Condition 12.** All required state permits shall be obtained prior to the installation of any docks in the Huron River or Gut Lake.
- **Condition 13.** Upon final approval of the site plan, construction, or expansion of any permitted or special use shall conform to the site plan. The approval by the planning commission and Township Board of a site plan shall expire within one year after the date of such approval, unless a land use permit has been issued and construction has commenced.
- Condition 14. No sound amplification will be permitted on this site.
- **Condition 15.** Special event usage to be coordinated with Township public safety committee.

At the **April 19, 2023** Planning Commission meeting, the Commission recommended approval of a zoning map amendment for the portion of the site zoned Waterfront Residential to the Public and Private Recreational Facilities (PPRF) zoning district; the map amendment will take effect on June 19, 2023. The portion of the site along Huron River remains in the Natural Rivers (NR) district.

Additionally, at the April 19 meeting, the Commision approved the special use permit (SUP 23-003) to permit a private campground and lodge with associated private outdoor recreational areas and indoor recreational buildings for military veterans and their families dedicated and designed for veterans and their families for relaxation and reflection with the following conditions:

- **Condition 1:** The Special Use Permit for the private camp use is only valid with approval of a final site plan from Hamburg Township.
- **Condition 2:** Prior to issuance of a land use permit a driveway permit from the Livingston County Road Commission will be required.
- **Condition 3:** Prior to issuance of a land use permit all approvals from the Livingston County Health Department will be required.
- **Condition 4**: A landscaping buffer, which may include a berm, shall be provided along the north, east, and west property boundaries.
- **Condition 5:** The docks on the Huron River shall be reoriented, sized, and reduced in number to meet the Ordinance requirements.

Condition 6: No public use of the docks shall be permitted.

Condition 7: All required state permits shall be obtained prior to the installation of any docks in the Huron River.

Condition 8: The special land use permit for the private camp use shall be null and void unless a land use permit for the private camp use on the site is granted within one year from the date of this approval.

Condition 9: No lighting or amplification will be permitted on this site.

Condition 10: Special event usage to be coordinated with Township public safety committee.

PROJECT DESCRIPTION

Site plan review application to allow for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River. The site improvements would be phased as discussed below.

The subject sites (4715-14-400-008 and 4715-23-100-002) total 92 acres on the south side of Winans Lake Road and north of the Huron River. The site is vacant of residential development but has been used historically for agricultural purposes.

Table 1:	Current Zoning Classification	Current Use of Property	Future Land Use Designation
Subject		Vacant residential /	
Site	PPRF/NR	agricultural	Medium density residential
North	RA—medium density residential	Single-family residential	Medium density residential
		Vacant / single-family	
South	NR—Natural Rivers	residential	Natural river residential
East	RA	Single-family residential	Medium density residential
	WFR—medium density		
West	residential	Single-family residential	Medium density residential

Phase 1 of the project includes demolition of existing structures and foundations in the northeast corner of the site and construction of sanitary utilities and access drives throughout entire site. Additional amenities planned for Phase 1 include: 29 RV spots, two bathhouses, two volleyball courts, one soccer field, two baseball fields, four pickleball courts, two basketball courts, various

1,500-square foot shelters around the site, 7,200-square foot pole barn, and multiple parking areas throughout the site that will provide 118 parking spots. The applicant is proposing to maintain the access roads throughout the site as gravel; Section 36-330, Off-street parking, of the Ordinance would require the parking areas to be hard-surfaced unless granted a waiver by the Planning Commission. The Planning Commission could also require the access drives to be hard-surfaced.

Phase 2 of the project would include a tent camping area adjacent to Gut Lake, additional covered shelters, and fire pits. Phase 3 would include construction of 26 family cabins, a 4,800-square foot lodge with additional parking. Finally, Phase 4 would include a 1,613-square foot Gold Star Family cabin, fire pit, parking area, and a 1,643-square foot chapel. Future plans include a potential memorial plaza, equestrian bar, and service dog training area.

The project plans, building elevations, floorplans and sign plans are attached to this report for the Planning Commissions review.

<u>Table 1</u> <u>Development Review Compliance Table</u>

Criteria/Regulation	Required by Regulations	Proposed Project	Status
SETBACKS:	-		
PPRF			
Front Yard	100 feet	100 feet	Conforms
Rear Yard	100 feet	160 feet	Conforms
Minimum Side	50 feet	190/284 feet	Conforms
Natural River			
Ordinary High Water Mark	125 feet	130 feet	Conforms
Private Campground (36-185)	200 feet from	200 feet	Conforms
	residential district	200 1001	Comornis
	100 feet from wetland	100 feet	Conforms
NUMBER OF STORIES/ HEIGHT	2.5 story/ 35 feet	2 story/ 26 feet	Conforms
LOT SIZE:	40 acres	Approximately 92 acres	Conforms

Criteria/Regulation	Required by Regulations	Proposed Project	Status
SUGGESTED LANDSCAPING:			
North greenbelt: A 20 foot-wide greenbelt along the Winans Lake right-of-way planted with equivalent of one canopy tree and four shrubs, rounded upwards, for every 40 linear feet of frontage planted with the greenbelt.	46 canopy trees; 184 shrubs	No landscaping plan submitted.	Conforms See landscaping plan.
West, east, and south buffer: A 20-foot wide buffer zone to include a six-foot high continuous wall or required berm and 1 canopy tree, 1 evergreen tree, and 4 shrubs per each 30 linear feet along the property line.	West: 45 canopy, 45 evergreen, 180 shrubs East: 44 canopy, 44 evergreen, 174 shrubs South: 44 canopy, 44 evergreen, 174 shrubs	A berm is proposed along the west property boundary but no details have been provided.	
Parking lot landscaping: In all commercial and multiple family districts, one canopy tree shall be required for each 2,000 square feet of paved driveway and parking lot surface, provided that in no case less than two trees provided.	The applicant should provide a hard-surfaced parking area calculation and number of trees that would meet this requirement.		

Sec. 36-280. Existing plant material.

(a) Consideration of existing elements in the landscape design. In instances where healthy plant material exists on a site prior to its development, the planning commission may permit substitution of such plant material in place of the requirements set forth in this section.

Criteria/Regulation	Required by	Proposed Project	Status
	Regulations		

Staff Analysis:

No landscaping plan was submitted. Because of the existing single-family dwellings to the west and east, staff would suggest that the Planning Commission require a berm with landscaping along the west and east property boundaries. The applicant could show what existing vegetative material is being preserved along the west and east.

A landscaped greenbelt along Winans Lake Road should be provided per the landscaping standards as shown in the above table. The greenbelt would provide screening from the use to the residential district to the north and from Winans Lake Road.

Additionally, parking lot landscaping should be considered to help break up the visual appearance of the parking areas, although those parking areas are likely to be visible only from internal to the site.

LIGHTING:		

Section 36-295:

1. Exterior lighting shall be fully shielded and directed downward toward the Earths surface, away from residential uses, roads, glass, water or other reflective materials which would create excessive off-site glare or incident rays.

No lighting plan was submitted. It is staff's understanding that the sports fields will not be lit but that low-level lighting will be installed in the camping areas.

Staff Suggestion Condition: A photometric plan shall be submitted for final site plan approval that conforms to the township lighting requirements.

2. The Zoning Administrator and/or Planning Commission may approve decorative light fixtures as an alternative to shielded fixtures when it can be proven that there will be no off-site glare and the proposed fixtures will improve the appearance of the site.

No lighting details have been submitted.

3. Lights on poles shall not be taller than the building whose area they illuminate nor taller than fifteen (15) feet whichever is shorter. Lights on poles may exceed fifteen (15) feet up to twenty (20) feet if the fixtures are located a minimum of seventy-five (75) feet from any planned, zoned or used residential areas.

No lighting details have been submitted.

4. Lighting shall not be of a flashing, moving or intermittent type.

No lighting details have been submitted.

5. Except where used for security purposes, all outdoor lighting fixtures, existing or hereafter installed and maintained shall be turned off between 11:00 p.m. and sunrise, except when used for commercial and industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business. Businesses with light fixtures used for security purposes are encouraged to use a motion

Criteria/Regulation	Required by	Proposed Project	Status
	Regulations		

detection device which is directed to detect motion within the property.

Staff Suggested Condition:

All lighting shall be turned off between 11:00 PM and Sunrise except when used for commercial and industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business. Lighting used for security between 11:00 pm and sunrise shall be controlled by a motion sensor.

6. Any light fixture must be placed in such a manner that no light emitting surface is visible from any residential area or public/private roadway, walkway, trail or other public way when viewed at ground level.

See above.

7. The intensity of light within a site shall not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted. The only exception is with gas station canopy and automobile dealership lighting, where a maximum of twenty (20) footcandles is permitted within the site but the above standards shall apply to intensity at the property line.

See standard number one.

PARKING: Per EGLE Public Health Code Act 368 of 1978 vehicles parking equal to a minimum of 1.5 times the number of sites in a campground:			
RV sites Cabins Tents Total	$27 \times 1.5 = 41$ $27 \times 1.5 = 41$ $20 \times 1.5 = 30$ 112	201 regular spaces provided; 19 barrier free spaces provided	Conforms
		220 spaces total provides	

Staff analysis: The Zoning Ordinance does not have parking requirements specific to the proposed use. However, the applicant has provided the above parking standards per the Public Health Code Act 368 of 1978. The 220 provided parking spaces exceeds the standards set forth by the Public Health Code and appears to be more than adequate for the array of proposed uses.

Sec. 36-330 Off-street Parking

(a) Off-street parking for residential uses shall be located on the same lot or parcel as the residence they are intended to serve.

N/A

(b) Off-street parking for nonresidential uses shall be located on the same lot or

Criteria/Regulation	Required by Regulations	Proposed Project	Status		
parcel or within 300 feet of the by provisions of section 36-331 are	ouilding it is intended	l to serve provided the	Conforms		
(c) A minimum area of 200 squaparking space and each space sh	-		Conforms		
minimize traffic congestion and location of all entrances and exit planning commission, and where	(d) A suitable means of ingress and egress shall be provided and located to minimize traffic congestion and interference with pedestrian movement. The location of all entrances and exits and directional signs, shall be approved by the planning commission, and where required by the county road commission and the Michigan Department of Transportation.				
(either concrete, bituminous asp to occupancy and shall provide a collected surface water. The req	(e) Parking areas with a capacity of four or more vehicles shall be hard-surfaced (either concrete, bituminous asphalt or other stabilized engineered surface) prior to occupancy and shall provide adequate drainage facilities to dispose of all collected surface water. The requirement for paving may be waived by the planning commission through subsection (h) of this section.				
(f) Except for single-family residuhen a parking area is in operational hooded or shielded as to reflect property.	ion. The installation	of such lighting shall be	No lighting proposed		
(g) When required off-street par residential district, there shall be and parallel to the mutual bound and/or foliage. In lieu of a buffe require a solid fence or wall betta along the mutual boundary.	See landscaping discussion				
(h) Federal and state requirements shall apply. Where the planning parking lot or loading area woul environmental and drainage reasonay be permitted. This determine	ADA requirements will be reviewed by LCBD. Conforms. ADA accessible parking				
(1) The types of uses to be cond	ucted in the storage a	area;	spaces are hard surfaced.		
(2) The types and amounts of ha	(2) The types and amounts of hazardous materials to be used at the site;				
(3) The extent of natural vegetat or loading area;					
(4) The existence of adjacent use a gravel parking or loading area.					
(5) Existing hydrologic and ecol complexes which may be better	_	•			

Criteria/Regulation	Required by Regulations	Proposed Project	Status
gravel parking or loading area;			
(6) Existing soil permeability sufficient to provide desired infiltration;			
(7) The potential for, or ability to gravel parking or loading area.	o minimize, erosion	and sedimentation from a	

Staff analysis: The Commission may grant a waiver to the hard-surfaced parking area per the standards of paragraph h. The township engineer reviewed the site plan with the understanding that the internal access drives would be hard-surfaced, but verbally indicated to staff that gravel access drives would not change the review and would make stormwater management easier due to less hard-surfaced area. The Commission should review the parking area surface waiver in terms of the overall site plan and expected impact to the natural features of the site and the adjacent residential uses.

SIGNS The following Zoning Ordinance requirements would apply to signs for this property.

Sec. 36-473. - Exempt signs.

(a.) A sign is exempt from the provisions of this article if it is not visible from a street, other public place, or an adjacent property. Exempt signs include, but are not limited to, signs placed inside a structure or building that are not visible or legible through windows or building openings.

Sec. 36-476. Signs permitted in residential districts (CE, RAA, RA, RB, RC, WFR, NR, MHP, OH, PPRF, and VR)

- (b). Nonresidential sign. One freestanding monument and one wall-sign are allowed on lots with nonresidential uses other than home occupations. The freestanding sign shall not exceed 20 square feet in area. The wall sign shall not exceed one square foot for every two linear feet of building frontage, or 100 square feet, whichever is less.
- (d.) A sign or similar notice is allowed for every 150 feet along the property line of a lot, provided that each sign is no more than two square feet in area, is posted no higher than four feet above grade and is located entirely upon private property. These signs shall not be within 150 feet of another sign and are allowed on vacant sites.
- (e.) Permanent signs in the residential zoning districts may be illuminated if they are located along one of the following roads: Bishop Lake Road, Chilson Road, Hamburg Road, M-36, McGregor Road, Pettysville Road, Strawberry Lake Road, Whitewood Road, and Winans Lake Road.
- (f.) Permanent signs in residential zoning districts may be electronic display signs with approval of a special use permit under section 36-36, along one of the following roads: Bishop Lake Road, Chilson Road, Hamburg Road, M-36, McGregor Road, Pettysville Road, Strawberry Lake Road, Whitewood Road, and Winans Lake Road.

Sec. 36-472 General conditions and design criteria.

(t.) Sign illumination. In this article where signs are allowed to be illuminated the following is required:

Criteria/Regulation	Required by	Proposed Project	Status
	Regulations		

- (1) Timer controls. Illuminated signs shall be equipped with a functional timer control. Signs shall not be illuminated after 10:00 p.m. or one-half hour after the use of the site ends for the day, whichever is later, nor before 6:00 a.m. or one-half hour before the beginning of the use of the site for the day, whichever is earlier.
- (2) Backlighting. Signs with internal illumination shall have the lettering and graphics in a lighter color than the background to the maximum extent practical.
- (3) Frequency. On signs with messages that change, they may change no faster than once every ten seconds.
- (4) Flashing and animation. Flashing or animated affects are not allowed, including, but not limited to, scrolling, fading in, video clips, moving characters or lettering.
- (5) Illumination used to attract business is only permitted as allowed above. All other illumination to attract business is not allowed except through section 36-479. (Examples: spot or search lights, lights strips around windows and doors, etc.)

Staff Analysis:

A freestanding monument sign, not more than six feet tall on a 24-inch base, with a maximum area of 20 square feet per sign face would be permitted. Permanent signs shall not be located within ten feet of the front property boundary, per Section 36-472. It appears that the sign would be located approximately five feet from the property boundary. No sign elevations or lighting details have been provided.

Staff Suggested Conditions:

All signage shall conform to Article XIII, Signs, and land use permits shall be issued prior to installation of signage.

No electronic display sign shall be permitted.

SITE PLAN REVIEW STANDARDS

In the review of all site plans, the Zoning Administrator and the Planning Commission shall endeavor to assure the following:

A. The proposed development conforms to all provisions of the Zoning Ordinances.

Please see the development review compliance tables for analysis on the project compliance and consistency with the intent and purpose of the Township's Zoning Ordinance.

A dock on Huron River may not exceed six feet in width or 20 feet in length. The dock on the river appears to be longer than 20 feet and should be reduced in size; there is no prohibition to having more than one dock so long as no more than three boats are moored. A facility that moors four or more boats is considered by both the Zoning Ordinance and the State of Michigan as a marina.

With staff's suggested conditions, staff believes the proposed development will conform to all the provisions of the Zoning Ordinance.

B. All required information has been provided.

The information submitted appears to be adequate to allow the Planning Commission to review the preliminary site plan for the subject site.

C. The movement of vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.

Kim Hiller from the Livingston County Road Commission indicated that *Mike and I have reviewed the left-turn lane analysis submitted yesterday and find it acceptable.*When a commercial approach permit is issued, a condition of the permit will be that if the site is more successful than predicted or if it opens to the public in the future, a review of the traffic impacts and improvements to Winans Lake Road may be required.

There are no sidewalks along this portion of Winans Lake Road and it is not expected, due to its intended use as a private campground for veterans, that pedestrian traffic will be coming from off-site. The layout of the internal access drives appears to provide safe and orderly movement through the site and is designed as a typical private campground use.

D. The proposed development will be harmonious with existing and future uses in the immediate area and the community.

The proposed development will provide for a private campground dedicated to military veterans and their families. The more impactful uses in terms of noise, those being the sprots fields, are all located internally to the site and are not likely to be a nuisance to adjoining properties. The campground uses are all located outside of the required 200-foot setback required by Section 36-185. The Master Plan calls for residential uses to the north, south, east, and west, and staff finds that the proposed site design is compatible with residential uses.

E. The proposed development provides the necessary infrastructure improvements, such as roads, drainage, pedestrian facilities and utilities, to serve the site, and be adequately coordinated with the current and future use of adjacent properties.

This site, zoned PPRF, is likely to remain as a stand-alone development (i.e. not tied into an adjacent residential development) and thus the site infrastructure has been designed to accommodate the proposed campground use. Any use other than what was approved via the special use permit would require additional Planning Commission review and approval. Stormwater will be managed on-site, access is

from existing Winans Lake Road, and sanitary requirements will be addressed by the Livingston County Health Department and Hamburg Township. There is no proposed extension of water service from the south and existing sanitary sewer lines along Winans Lake Road will be utilized.

- F. The applicable requirements of Township, County and State agencies are met regarding grading and surface drainage and for the design and construction of storm sewers, storm water holding facilities, water mains, and sanitary sewers. As of this writing, the site plan is under review by the Fire Marshal, Utilities Department, Livingston County Road Commission, and the Livingston County Health Department. Prior to issuance of a building permit the applicant will need approvals from all the required local, state, and federal agencies.
- G. Natural resources will be preserved to the maximum extent possible in the site design by developing in a manner which will not detrimentally affect or destroy natural features such as lakes, ponds, streams, wetlands, steep slopes, and woodlands.

According to the natural features impact statement, there are wetlands areas around Gut Lake and adjacent to Huron River, as well as a pocket of wetlands in the central portion of the subject site. The grading plan indicates that no grading of the wetlands will be necessary. Any earth work that has a direct impact to the wetlands may be subject to a Part 303 EGLE permit.

A permanent dock in either Gut Lake or the Huron River would require a State of Michigan permit.

H. The proposed development shall respect the natural topography to the maximum extent possible by minimizing the amount of cutting, filling, and grading required.

The site plan does indicate that a stand of trees in the central portion of the site will be removed. See paragraph G above.

I. The proposed development will not cause soil erosion or sedimentation.

The LCDC will review and issue a soil erosion or sedimentation control permit prior to issuance of a building permit.

J. Landscaping, including trees, shrubs and other vegetative material is provided to maintain, improve and/or restore the aesthetic quality of the site.

While there is an existing heavy vegetative screen along the west property boundary, it appears to be scrub material. The applicants are proposing a berm along the west and southwest boundaries but no additional landscaping is proposed along the north and east boundaries.

Staff suggested conditions:

A vegetative berm shall be provided along the length of the west and southwest property boundaries that abut a single-family residential dwelling.

A buffer zone, which may include a buffer, along Winans Lake Road shall be installed.

A vegetative screen, which may include a berm, shall be installed along the northern 1,200 linear feet of the east property boundary.

K. Conformance to the adopted Hamburg Township Engineering and Design Standards.

The engineer has reviewed the plans for compliance with the Engineering and Design Standard and provided comment attached to this report.

- L. All proposed commercial, office, industrial, institutional and multiple family development shall utilize quality architecture to ensure that buildings are compatible with surrounding uses, protect the investment of adjacent landowners, blend harmoniously into the streetscape and meet the objectives the Township Master Plan. New buildings, additions and renovations shall be designed to preserve or complement the design character of existing development provide visual harmony between old and new buildings, and create a positive image for the Township's various commercial shopping nodes. Commercial, office, industrial, institutional and multiple family architecture shall be reviewed by the Planning Commission under the following criteria:
 - 1. Buildings shall front towards and relate to the public street. Buildings shall be located to create a define streetscape through uniform setbacks and proper relationship to adjacent structures. Proper relationship to existing structures in the area shall be maintained through building mass, proportion, scale, roof line shapes and rhythm. Buildings within the area designated on the M-36 Corridor Plan/Master Plan as the "Hamburg Village" shall be compatible with the historic character of the unincorporated place commonly referred to as the "Old Hamburg Village."
 - 2. Building materials and colors shall relate well and be harmonious with the surrounding area. Roof shape and materials shall be architecturally compatible with adjacent buildings and enhance the predominant streetscape. For any side of a principal building facing a public or private street, at least fifty percent (50%) of the facade shall be constructed of, or covered with, the following materials:
 - a. Brick;
 - b. Fluted or scored concrete block;
 - c. Cut stone;
 - d. Vinyl siding;
 - e. Wood siding;
 - f Glass; or,
 - g. Other materials similar to the above as determined by the Planning Commission.

- 3. Buildings shall possess architectural variety, but enhance the overall cohesive community character. Buildings shall provide architectural features, details and ornaments such as archways, colonnades, towers, cornices or peaked roof lines.
- 4. Building walls over 100 feet in length shall be broken up with a combination of the following: varying building lines, windows, architectural accents and trees.
- 5. Building entrances shall utilize windows, canopies and awnings; provide unity of scale, texture, and color; and provide a sense of place.
- 6. Where the rear facade of a building will be visible from a residential zoning district, or the rear of the site will be used for public access or parking, such rear facade shall be constructed to a finished quality comparable to the front facade.
- 7. Signs, landscaping, lighting and other site elements shall be coordinated and compatible with the building design, as well as harmonious with other nearby developments. Developments shall provide site features such as decorative entry signs, ornamental lighting, pedestrian plazas and/or pedestrian furniture.

Staff Analysis:

The proposed elevations are attached to the staff report for the Commission's review. Staff believes that the proposed materials, sizes, scale, colors, and height are fitting for both a private campground and to the surrounding residential districts. No elevations of the shelters or bath houses were submitted; the applicant's engineer indicated that the shelters would be open-sided shelters typically used in public parks and the bath houses would be split-faced block or similar.

Sec. 36-185. Schedule of use regulations—PPRF Public and Private Recreational Facilities District.

The following standards apply to the special uses of private outdoor recreational and indoor recreational buildings and private campgrounds. Staff comment is in red.

- (1) Private outdoor recreational areas and indoor recreational buildings, such as: recreational fields, rinks or courts, including football, baseball, batting cages, soccer, tennis, basketball, ice skating, swimming pools, animal racing and similar activities, and uses accessory to the above uses, such as refreshment stands, maintenance buildings, office for management functions, spectator seating, restrooms, and service areas. Such uses shall be subject to the following:
 - a. The site size shall be adequate to accommodate the intended uses, parking, and extensive buffer areas without significant impact on nearby properties in terms of noise, traffic, lighting glare, views, odors, trespassing, dust blowing debris, as determined by the planning commission. The applicant shall provide documentation the site size is adequate using national facility standards.
 - b. All ingress and egress shall be along a county road. Conforms
 - c. No building shall be located within 100 feet of a property line. Conforms. Closest building is

- d. All buildings shall be setback 100 feet from the edge of any wetland or the shoreline of any lake, pond, river or stream. Conforms
- (2) Public or private campgrounds and lodges, including campgrounds for travel trailers, tent-campers, motor homes, tents, and cabins, subject to the following conditions:
 - a. Minimum lot size shall be 40 acres. Conforms. Lot size is 92 acres.
 - b. All ingress and egress shall be along a county road. Conforms. Winans Lake Road is a county road.
 - c. Development features including the principal and accessory buildings and structures shall be located and related to minimize adverse effects on adjacent properties. Minimum setbacks for any buildings, structures or use areas shall be 200 feet from any property line abutting a residential district. Conforms
 - d. All buildings shall be setback 100 feet from the edge of any wetland or the shoreline of any lake, pond, river or stream. Conforms
 - e. Each campsite shall be at least 2,000 square feet in size. Conforms.
 - f. Each camp site shall be provided with water and sanitary service approved by the health department or have convenient access to approved service buildings. Livingston County Health Department and Hamburg Township must approve sanitary services prior to issuance of permits.

RECOMMENDATIONS:

Staff recommend the Planning Commission review, discuss and make a recommendation to the Township Board to either approval or denial of the preliminary Site Plan Application (PSPA23-0001) or table the application and request any additional information deemed necessary for review.

Site Plan Review 23-0001 Draft Approval Motion:

The Planning Commission recommends approval of the preliminary **Site Plan Review (SPA 23-0001)** for a private campground dedicated to use by United States military veterans and their families to include sports fields, tent camping area, cabins, recreational vehicle parking area, walking trail, service dog training facility, welcome center, memorial plaza, chapel, accessory structures, and docks on Gull Lake and Huron River at 6716 Winans Lake Road (TID 4715-14-400-008 and 4715-23-100-002).

The Planning Commission approves the parking surface waiver for (please state the specific parking areas for which a waiver is granted) because it meets the standards set forth in Section 36-330 (h).

Conditions:

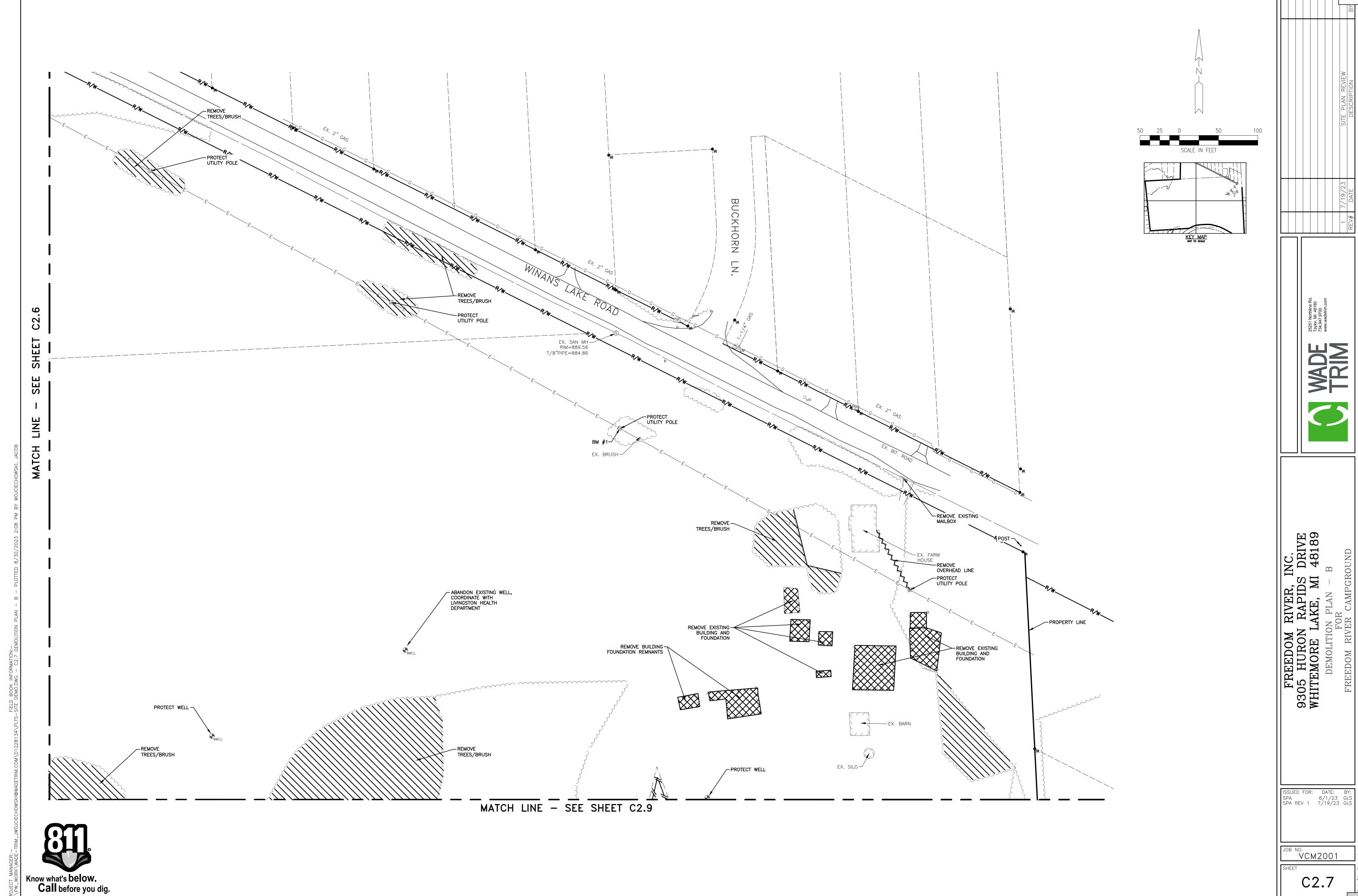
1. Prior to issuance of a land use permit the applicant shall submit a photometric plan that shows that the intensity of light within a site does not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site

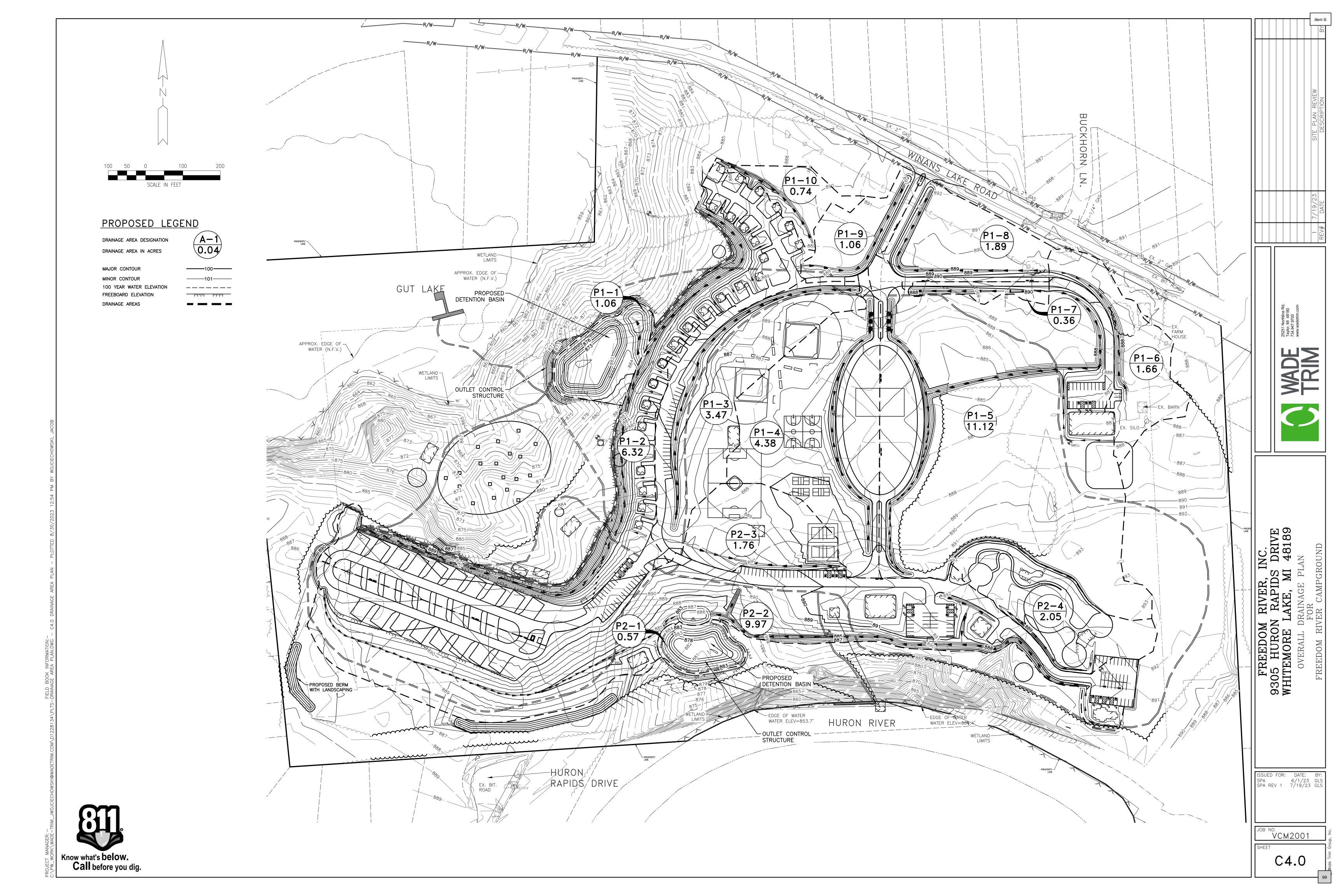
- whereby a maximum of 0.5 footcandles is permitted.
- 2. All lighting shall be turned off between 11:00 PM and Sunrise except when used for commercial and industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business. Lighting used for security between 11:00 pm and sunrise shall be controlled by a motion sensor.
- 3. Prior to issuance of a land use permit the applicant shall receive approval from all required agencies including, but not limited to, Hamburg Township Fire, Engineering and Public Works Departments, Livingston County Drain Commissioner, Livingston County Road Commission, and Health Department.
- 4. All signage shall conform to Article XIII, Signs, and land use permits shall be issued prior to installation of signage.
- 5. No electronic display sign shall be permitted.
- 6. Any earth work that has a direct impact to the wetlands may be subject to a Part 303 EGLE permit and such permit shall be obtained prior to site work.
- 7. A vegetative berm shall be provided along the length of the west and southwest property boundaries that abut a single-family residential dwelling.
- 8. A buffer zone, which may include a buffer, along Winans Lake Road shall be installed.
- 9. A vegetative screen, which may include a berm, shall be installed along the northern 1,200 linear feet of the east property boundary.
- 10. The docks on the Huron River shall be sized to meet the Ordinance requirements.
- 11. No public use of the docks shall be permitted.
- 12. All required state permits shall be obtained prior to the installation of any docks in the Huron River or Gut Lake.
- 13. Upon final approval of the site plan, construction or expansion of any permitted or special use shall conform to the site plan. The approval by the planning commission and Township Board of a site plan shall expire within one year after the date of such approval, unless a land use permit has been issued and construction has commenced.
- 14. No sound amplification will be permitted on this site.
- 15. Special event usage to be coordinated with Township public safety committee.

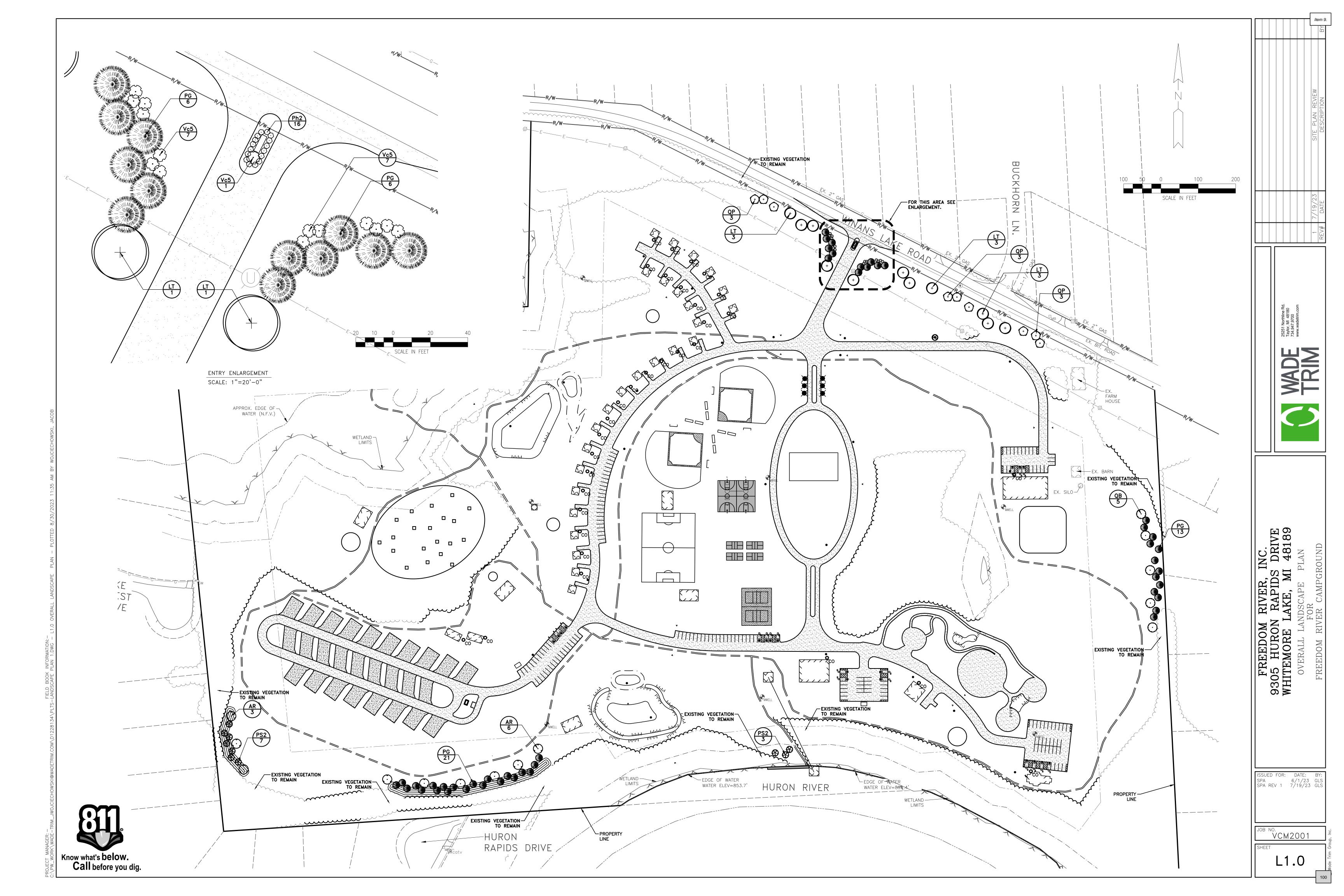
EXHIBITS:

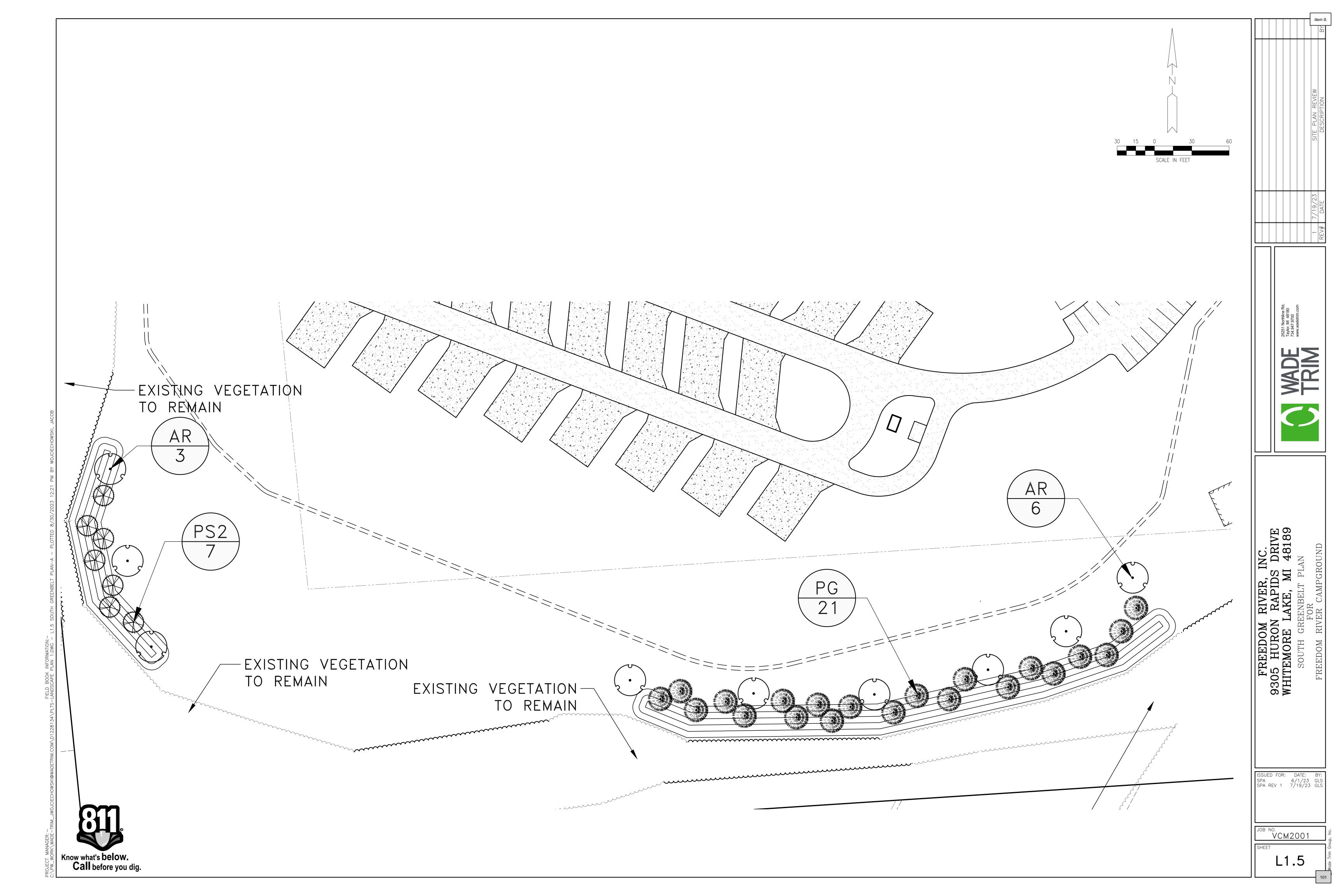
Final Site Plan July 19, 2023.

June 21, 2023, Planning Commission meeting minutes



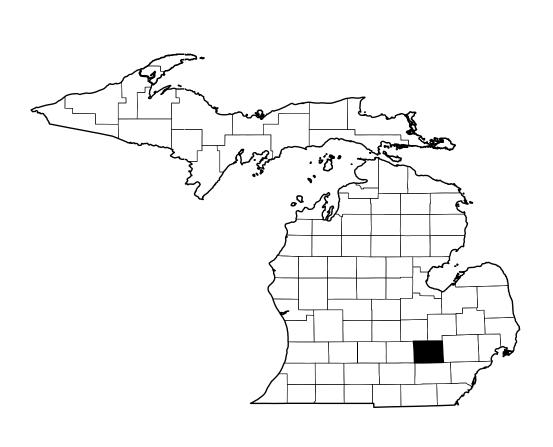






FREEDOM RIVER CAMPGROUND 6716 WINANS LAKE ROAD

SECTIONS 14 AND 23, T1N, R5E LIVINGSTON COUNTY, HAMBURG TOWNSHIP, MI 48116



KEY MAP

CONTACTS		
OWNER/DEVELOPER	FREEDOM RIVER, INC. 9305 HURON RAPIDS DRIVE, WHITMORE LAKE, MI 48189 734.231.2792 JANNA YEAKEY	
CIVIL ENGINEER	WADE TRIM 25251 NORTHLINE ROAD, TAYLOR, MI 48180 734.947.9700 GREG SPIESS, PE GSPIESS@WADETRIM.COM	
ELECTRIC	DTE ENERGY 1095 LAWSON, HOWELL, MI 48843 734.332.8145	
GAS	CONSUMERS ENERGY ONE ENERGY PLAZA, JACKSON, MI 49201 517.788.7194	
WATER & SEWER	HAMBURG TOWNSHIP 10405 MERRILL ROAD, HAMBURG, MI 48139 810.231.1000	
PLANNING & ZONING	HAMBURG TOWNSHIP 10405 MERRILL ROAD, HAMBURG, MI 48139 810.231.1000	
ROADS	LIVINGSTON COUNTY ROAD COMMISSION 3535 GRAND OAKS DRIVE, HOWELL, MI 48843 517.546.4250	
STORM WATER	LIVINGSTON COUNTY DRAIN COMMISSION 2300 E GRAND RIVER, HOWELL, MI 48843 517.546.0040	
SOIL EROSION CONTROL	LIVINGSTON COUNTY DRAIN COMMISSION 2300 E GRAND RIVER, HOWELL, MI 48843 517.546.0040	

BARTOKE BRIGHTON RD. SPENCER R	
APPLETON LAKE DO SOLO LAKE RD S	
COWELL PD. WOLF LAKE 18 17 WINANS LAKE 18 10 10 10 10 11 11 11 11 11	<u>}</u>
PROJECT LOCATION 23 LAKELAND 24 Segretaria September 19 WINANS LAKE RD. PROJECT LOCATION 23 Segretaria September 19 WINANS LAKE RD. September 19	

VICINIT	<u>Y</u>	MAP
NOT TO	SCA	LE

SITE DATA TABLE	
TAX PARCEL #	4715-23-100-002 & 4715-14-400-008
EXISTING ZONING	WFR & NR
PROPOSED ZONING	PPRF (NR WILL REMAIN)
PROPOSED USE	CAMPGROUND, RECREATIONAL FACILITIES
MINIMUM LOT AREA	1,742,400 SF (40 ACRES)
TOTAL LOT AREA	3,678,694 SF
MINIMUM BUILDING SETBACKS	
FRONT	100'*
SIDE	50'*
REAR	100'*
WETLANDS/BODY OF WATER	100'
ACTUAL SETBACKS	1
FRONT (NORTH)	100.1'
SIDE (EAST)	284'
SIDE (WEST)	190.1'
REAR (SOUTH)	160.5'
REQUIRED PARKING SPACE SIZE	10'x20'
PROP. PARKING SPACE SIZE	10'x20'

*PER SECTION 36-185.(b)(2)c - BUILDINGS, STRUCTURES, OR USE AREAS SHALL BE 200 FEET FROM ANY PROPERTY LINE WHEN ABUTTING A RESIDENTIAL DISTRICT.

PARKING REQUIREMENTS

TYPE	NO. OF SPACES
REQUIRED	
PER EGLE PUBLIC HEALTH CODE ACT SECTION R325.1558.2 "ROADS AND CAMPGROUND OWNER SHALL PROVID	VEHICLES": A

CAMPGROUND OWNER SHALL PROVIDE SPACE FOR
VEHICLE PARKING EQUAL TO A MINIMUM OF 1.5 THE
NUMBER OF SITES IN A CAMPGROUND
RV SITES: 27 x 1.5 = 41 SPACES
CABINS: 27 x 1.5 = 41 SPACES
TENTS: 20 x 1.5 = 30 SPACES

PARKING REQUIRED

112

PARKING REQUIRED	112
REGULAR SPACES	107
BARRIER FREE SPACES	5 (1 VAN)
PARKING PROVIDED	220
REGULAR SPACES	201
BARRIER FREE SPACES	19

GENERAL SHEETS	SHEET NO.
COVER SHEET	C0.0
GENERAL NOTES AND LEGENDS	C0.1
EXISTING CONDITIONS PLAN	C1.0
SESC PLAN - A	C2.1
SESC PLAN - B	C2.2
SESC PLAN - C	C2.3
SESC PLAN - D	C2.4
SESC DETAILS	C2.5
DEMOLITION PLAN - A	C2.6
DEMOLITION PLAN - B	C2.7
DEMOLITION PLAN - C	C2.8
DEMOLITION PLAN - D	C2.9
OVERALL SITE PLAN	C3.0
SITE PLAN - A	C3.1
SITE PLAN - B	C3.2
SITE PLAN - C	C3.3
SITE PLAN - D	C3.4
SITE DETAILS	C3.5
DRAINAGE AREA PLAN	C4.0
STORMWATER CALCULATIONS	C4.1
OVERALL UTILITY PLAN - SANITARY	C5.0
OVERALL STM SWR PLAN - STORM	C5.1
UTILITY DETAILS	C5.2
SANITARY PROFILES - A	C5.3
SANITARY PROFILES - B	C5.4
SANITARY PROFILES - C	C5.5
OVERALL LANDSCAPE PLAN	L1.0
STREET BUFFER PLAN	L1.1
STREET BUFFER PLAN	L1.2
EAST GREENBELTPLAN	L1.3
EAST GREENBELTPLAN	L1.4
SOUTH GREENBELTPLAN	L1.5

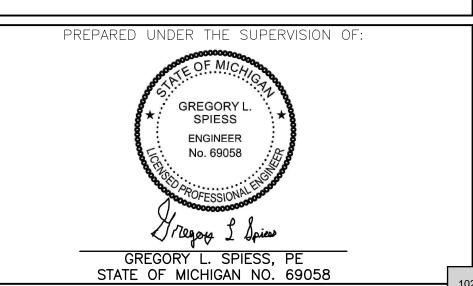
SHEET INDEX

7/19/23	SITE PLAN SUBMITTAL REVISION #1	GLS
6/1/23	SITE PLAN SUBMITTAL	GLS
DATE	DESCRIPTION	BY
	REVISIONS	

VCM2001

CO.0







SEC 23 T1N R5E NE1/4 OF NW1/4 ALSO NW1/4 OF NE FRL 1/4 EXC 1.5 AC N OF HWY ALSO 7 AC IN SW1/4 OF NE FRL 1/4 NE OF HURON RIVER 85 AC PARCEL NUMBER: 4715-14-400-008 (OBTAINED FROM LIVINGSTON COUNTY GIS MAP DATA)

LEGAL DESCRIPTION:
PARCEL NUMBER: 4715-23-100-002

(OBTAINED FROM LIVINGSTON COUNTY GIS MAP DATA)

SEC 14 T1N R5E 8.5 AC OF SW 1/4 OF SE 1/4 S OF HWY & E 343.2 FT OF SE 1/4 OF SW 1/4 S OF HWY

EXISTING LEGEND

DEMOLITION NOTES

- 1. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH MIOSHA REGULATIONS INSOFAR AS THEY APPLY TO THE REQUIRED WORK. A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT WILL BE REQUIRED PRIOR TO DEMOLITION.
- THE CONTRACTOR SHALL REMOVE AND CLEAR ALL TREES, BRUSH, FENCES, BUILDINGS, CONCRETE, AND ASPHALT AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- 3. ALL DEMOLITION MATERIAL SHALL BE PROPERLY REMOVED FROM THE SITE AND DISPOSED OF IN A LEGALLY DESIGNATED DISPOSAL AREA. NO ON—SITE BURNING WILL BE ALLOWED WITHOUT PROPER PERMISSION. PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
- 4. THE EXACT LOCATION OF EXISTING UTILITIES ARE UNKNOWN. THE CONTRACTOR SHALL FIELD LOCATE EXISTING UTILITIES PRIOR TO COMMENCING WITH DEMOLITION.
- 5. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING EXCAVATION AREAS WITH M.D.O.T. CLASS II MATERIAL. ALL FILL MATERIAL SHALL BE BACKFILLED WITH MAX. 12" LIFTS & COMPACTED TO 95% MAX. DENSITY PER ASTM D1557 (MODIFIED PROCTOR).
- 7. THE DEMOLITION CONTRACTOR SHALL COORDINATE ALL UTILITY REMOVAL\RELOCATION WITH THE APPROPRIATE UTILITY COMPANY.
- 8. BUILDING REMOVAL TO INCLUDE ALL FOOTINGS, SLABS AND BELOW GRADE PORTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL MATERIALS OFF—SITE.
- 9. ALL CONCRETE AND ASPHALT TO BE REMOVED SHALL BE SAW CUT WHERE REQUIRED ALONG PROPOSED LIMITS OF DEMOLITION.
- 10. AT THE CONCLUSION OF THE DEMOLITION OPERATIONS, THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION. ALL PROTECTIVE DEVICES AND BARRIERS SHALL BE REMOVED.

SITE PLAN NOTES

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVAL AND DISPOSAL OF DEMOLISHED ITEMS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO PAVEMENT, CONCRETE, STORM DRAINAGE STRUCTURES AND PIPING, VEGETATION AND TREES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITY'S REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN THE BASE BID.
- 2. ALL PARKING LOT STRIPING SHALL BE IN ACCORDANCE WITH THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". ALL STRIPING SHALL BE WATERBORNE PER MDOT SPECIFICATIONS AND ALL STRIPING SHALL BE 4" TRAFFIC YELLOW UNLESS OTHERWISE NOTED. CONTRACTOR SHALL APPLY 2 COATS OF PAVEMENT MARKINGS, 1
- ALL BARRIER FREE PARKING, SIGNAGE & STRIPING SHALL BE IN ACCORDANCE WITH MICHIGAN BARRIER FREE STANDARDS. STRIPING SHALL BE WATERBORNE PAVEMENT MARKING PER MDOT SPECIFICATIONS, COLOR BLUE UNLESS OTHERWISE SPECIFIED.
- 4. CONTRACTOR IS RESPONSIBLE FOR PROPER TRAFFIC CONTROL DURING CONSTRUCTION IN ACCORDANCE WITH THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
- 5. SITE CONTRACTOR SHALL REFER TO LIGHTING PLANS FOR LIGHTING LOCATIONS AND FOUNDATIONS. SITE CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL SITE LIGHTING AND CIRCUITRY PRIOR TO PLACING UTILITIES AND INSTALLING PAVEMENTS.
- 6. CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH 4" OF TOPSOIL, SEED AND MULCH.
- 7. ALL LIGHTING SHALL BE TURNED OFF BETWEEN 11:00PM AND SUNRISE. LIGHTING USED FOR SECURITY BETWEEN 11:00PM AND SUNRISE SHALL BE CONTROLLED BY A MOTION SENSOR.
- 8. NO PUBLIC USE OF THE DOCKS SHALL BE PERMITTED.
- 9. NO SOUND AMPLIFICATION WILL BE PERMITTED ON SITE.

BENCHMARKS

SPIKE IN NORTH FACE OF UTILITY POLE 130'
SOUTHWEST OF THE INTERSECTION OF WINANS
LAKE RD. AND BUCKHORN LN.
ELEV=892.31 (NAVD 88)

M#2: SPIKE IN SOUTH SIDE OF 20" COTTONWOOD LOCATED 20' EAST OF LAKE CREST DR. ELEV=891.71 (NAVD 88)

LINE WORK

GAS MAIN OR SERVICE

TEMPORARY SILT FENCE

DRAINAGE FLOW ARROW

LIMITS OF DISTURBANCE/

CONSTRUCTION ENTRANCE

STAGING/STOCK PILE AREA

SAWCUT FULL DPETH

WOODED AREA REMOVAL

BUILDING REMOVAL

DEMOLITION LEGEND

FILTER BERM OR CHECK DAM

MAJOR CONTOUR

MINOR CONTOUR

DRAINAGE SWALE

PROJECT LIMITS

SOIL TYPE

SESC LEGEND

BOUNDARY	
RIGHT OF WAY	R/W
BUILDING/WETLAND SETBACK	
BUILDING	
CURB & GUTTER	
CHAIN LINK FENCE	XX
SHORE OR EDGE OF WATER	
WETLAND	
WETLAND BUFFER	
EDGE OF WOODS	. ~~~~~
EDGE OF BRUSH	.~~~~
MAJOR CONTOUR	100
MINOR CONTOUR	101
SANITARY SEWER MAIN	
OVERHEAD ELECTRIC	——E———E——

—— G ——— G ———

—//-//-

____100____

_____101____

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TOPOGRAPHIC FEATURES <u>UTILITI</u>

FOUND IRON ROD	•
GOVERNMENT CORNER	•
BENCHMARK	BM ⁺
MAIL BOX	Θ,
MONITORING WELL	•
ROUND POST OR BOLLARD	•
SIGN POST	0
DECIDUOUS TREE OR BUSH	\mathcal{C}
	GOVERNMENT CORNER BENCHMARK MAIL BOX MONITORING WELL ROUND POST OR BOLLARD SIGN POST

UTILITIES SYMBOLS

SANITARY SEWER MANHOLE
UTILITY POLE
GAS METER
TELEPHONE PEDISTAL

PROPOSED LEGEND

SITE LEGEND

SHE LEGENE

FIRE HYDRANT	.
WATER VALVE IN BOX	•
WATER MAIN	
SANITARY SEWER MANHOLE	©
SANITARY SEWER CLEAN OUT	•
SANITARY PUMP STATION	<u> စ</u> ိ
SANITARY SEWER MAIN	
STORM CATCH BASIN	©
STORM MANHOLE	⑤
STORM SEWER END SECTION	<
STORM SEWER LINE	
DRAINAGE SWALE	──►
TOP OF BANK	
BUILDING LINE	······
BUILDING SETBACK	
PARKING COUNT	(#)
SIGN AND SIGN POST	os
ACCESSIBLE SYMBOL	Ġ

NOTE: FOR EXISTING FEATURES SEE TOPOGRAPHIC SURVEY OR EXISTING CONDITIONS PLAN.

CONCRETE SURFACE

SOLAR FARM

SEE DETAIL ON SHEET C3.5

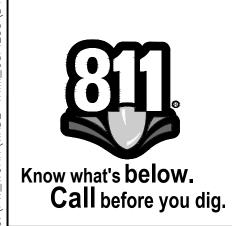
GRADING LEGEND

⇔_{GM}

CURB ELEVATION WHERE: T = TOP OF CURB G = GUTTER OR PVMT.	100.50
THICKENED EDGE WALK ELEV. WHERE: T = TOP OF WALK P = PAVEMENT	100.50
SPOT ELEV.	100.0 XXX
WHERE XXX IS ONE OF THE	E FOLLOWING:
TOP OF CONCRETE ELEV.	TOC
FINISH GRADE ELEV.	FG
DOOR ELEV.	DOOR
RIM ELEV.	RIM
BACK OF CURB ELEV.	BOC
GUTTER ELEV.	GUT
MATCH EXISTING ELEV.	MATCH
TOP OF PAVEMENT ELEV.	T/P
TOP OF WALL ELEV.	TOW
BOTTOM OF WALL ELEV.	BOW
TOP OF BANK ELEV.	ТОВ
TOE OF SLOPE ELEV.	TOE
FIINISH FLOOR ELEV.	FFE
ADJUST RIM ELEV.	ADJUS
DRAINAGE FLOW	
DRAINAGE SLOPE	1.0%
FINISH GRADE SLOPE	→ 4:1
MAJOR CONTOUR	100

-----101-----

MINOR CONTOUR



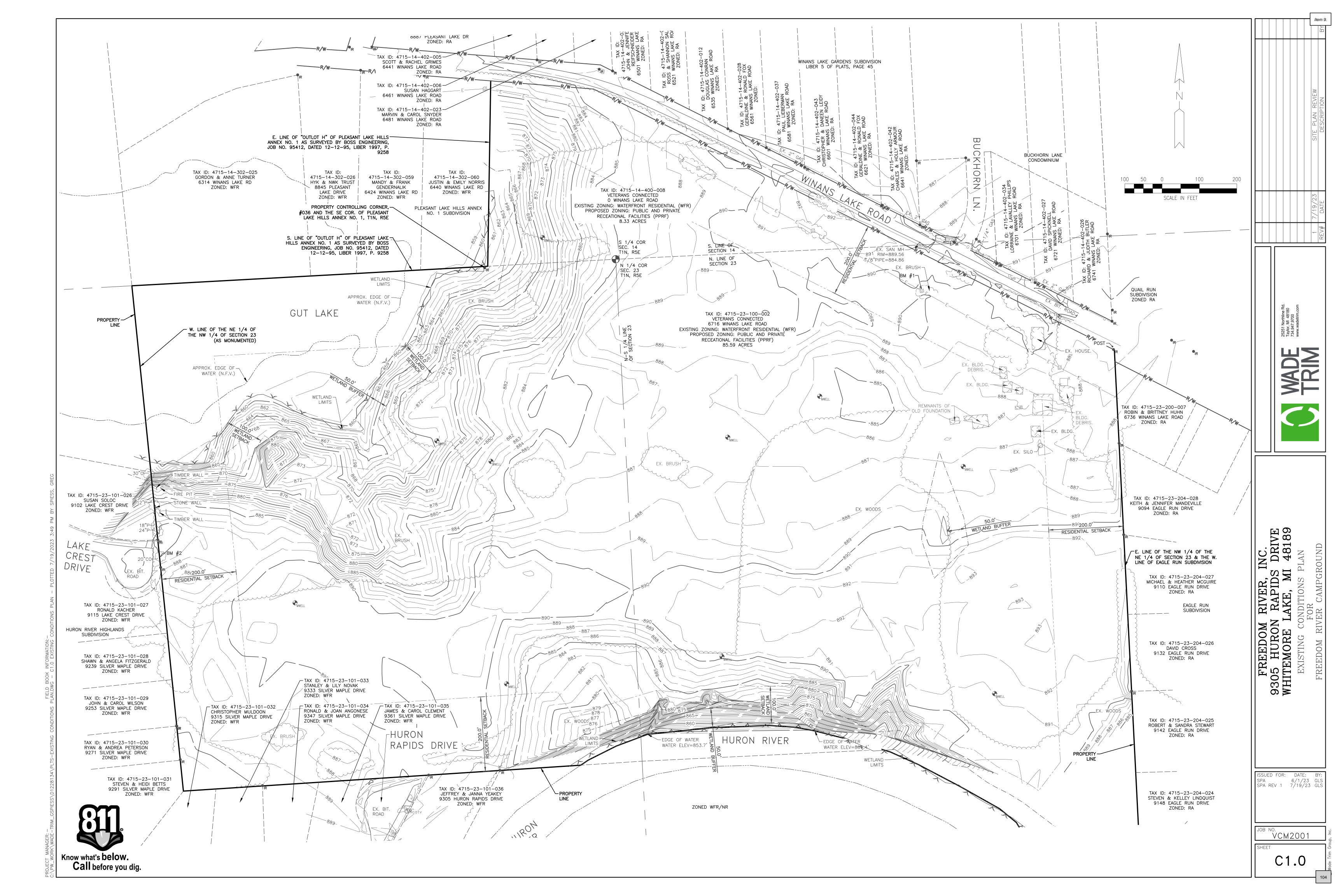
ISSUED FOR: DATE: BY: SPA 6/1/23 GLS SPA REV 1 7/19/23 GLS

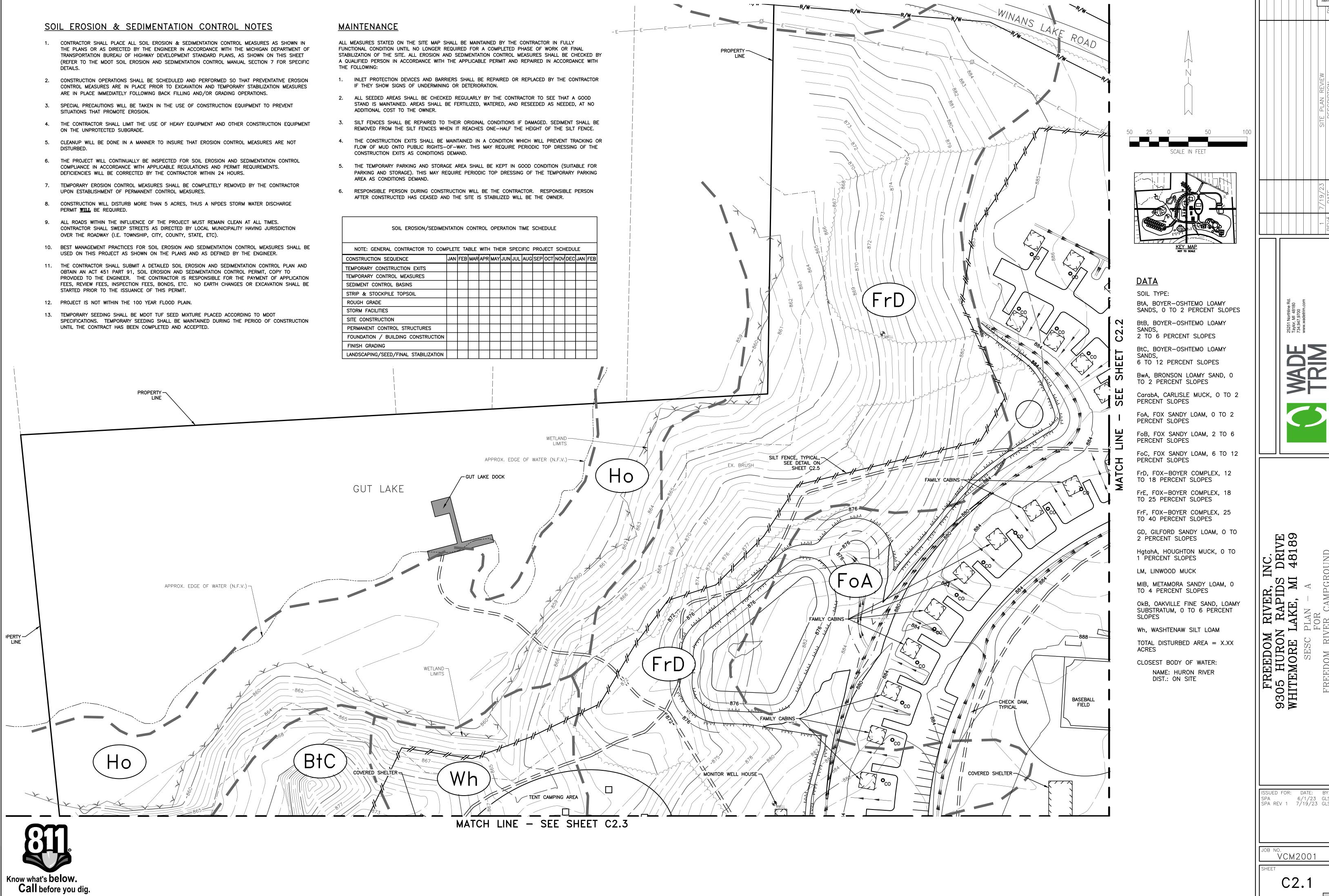
FREEDOM RIVER, INC.
9305 HURON RAPIDS DRIVE
WHITEMORE LAKE, MI 48189
GENERAL NOTES AND LEGENDS
FOR
FOR

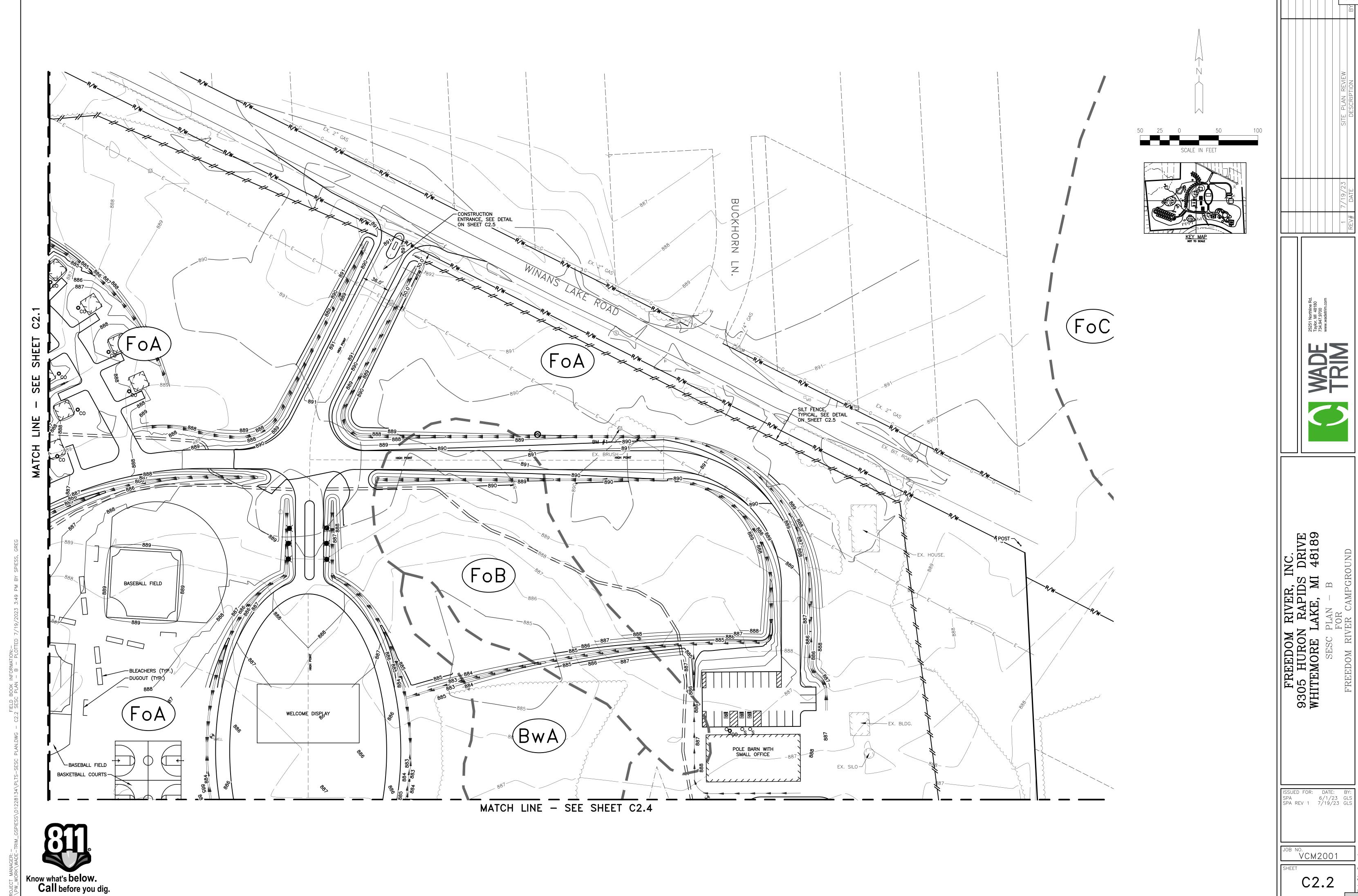
Item 9.

T CO. 1

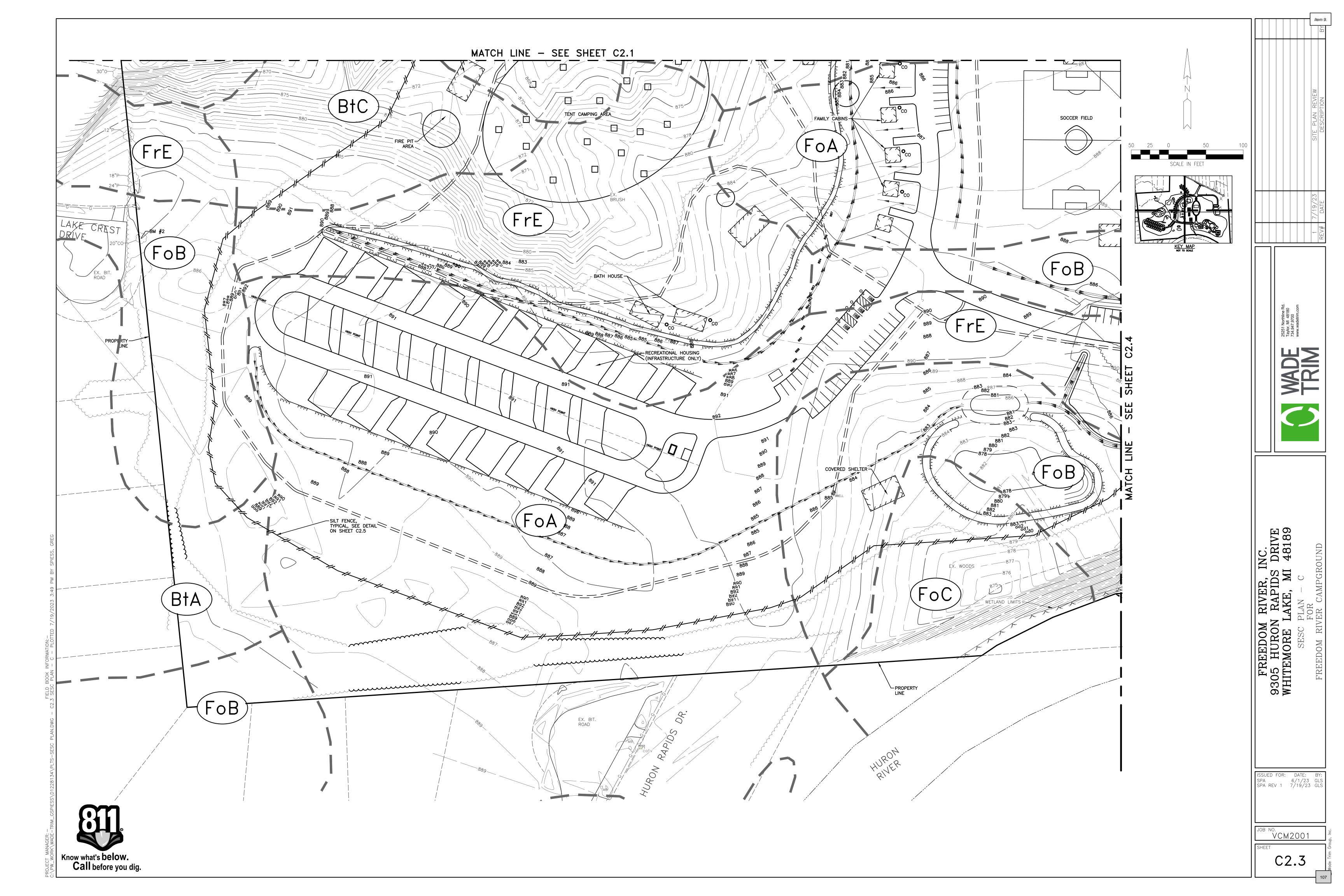
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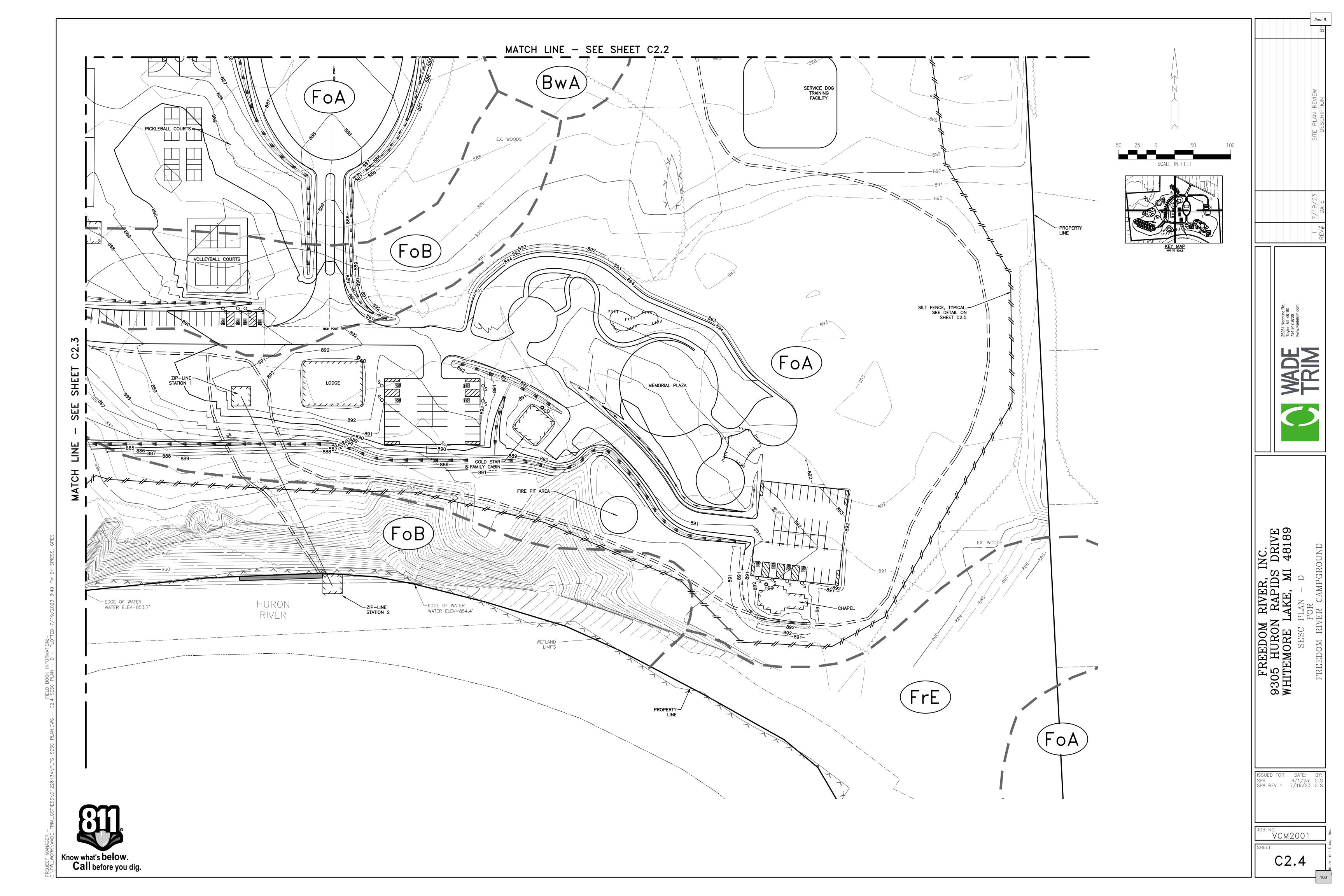


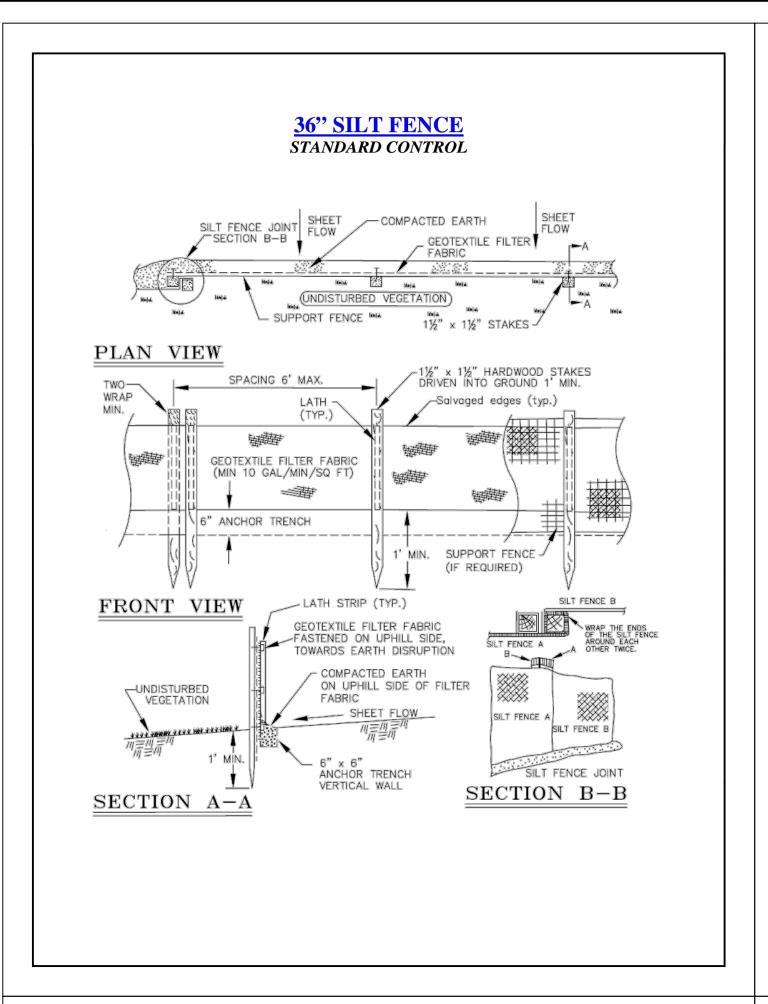


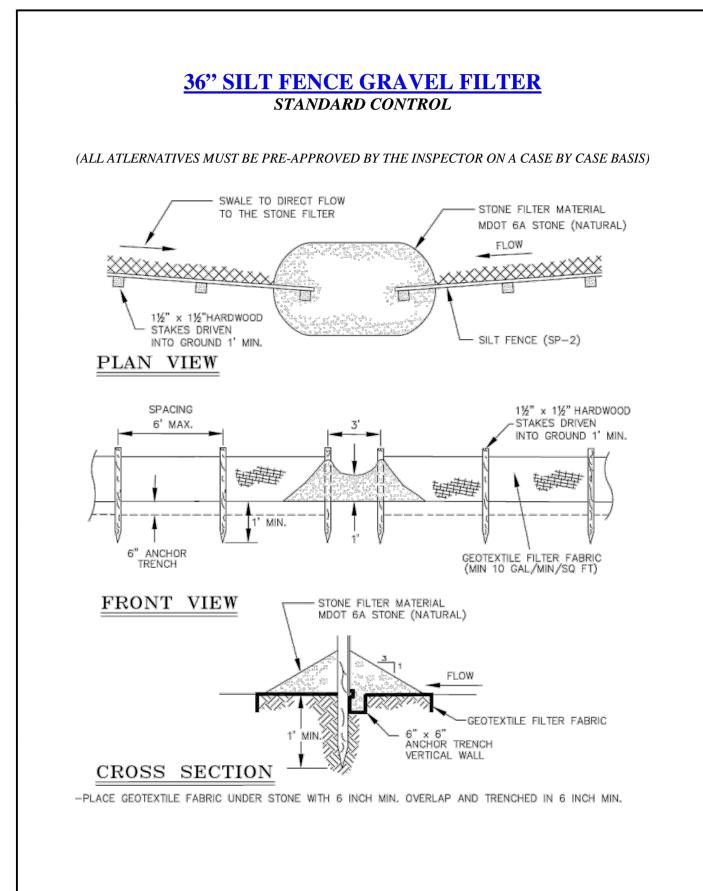


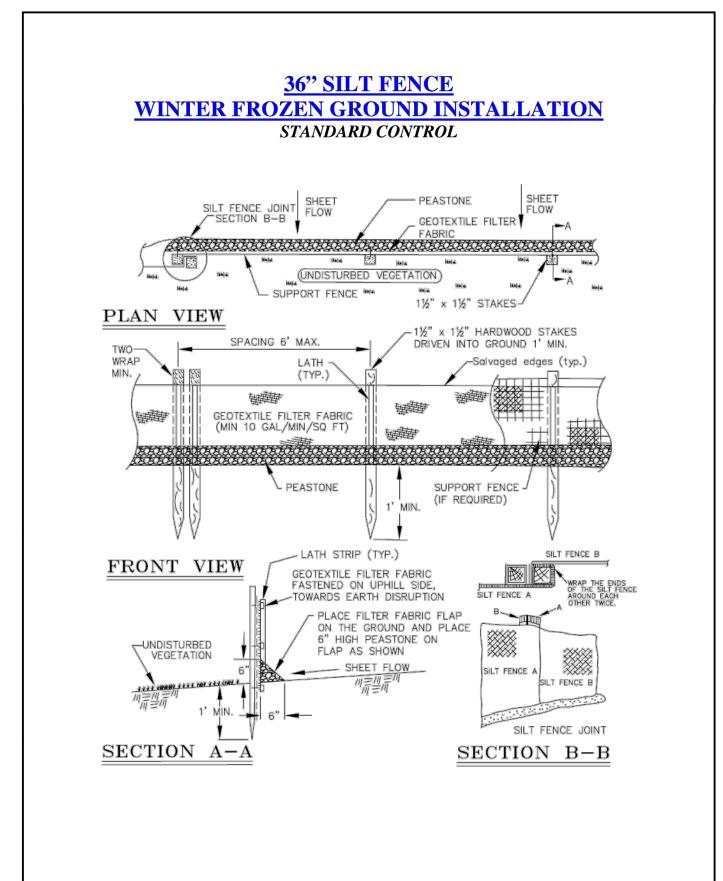
C2.2

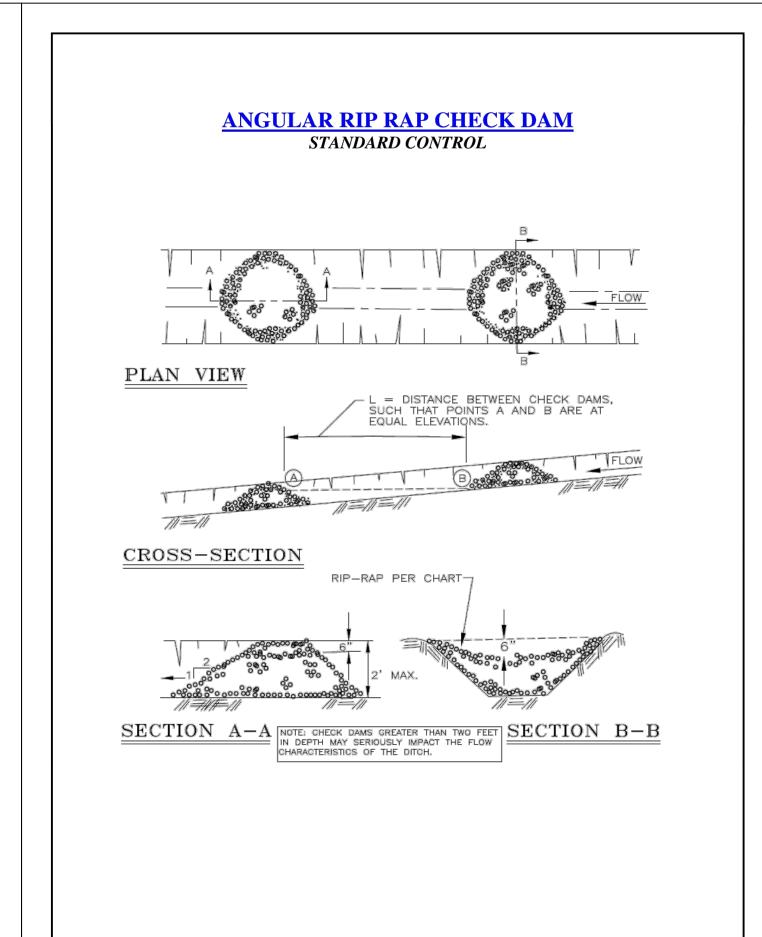


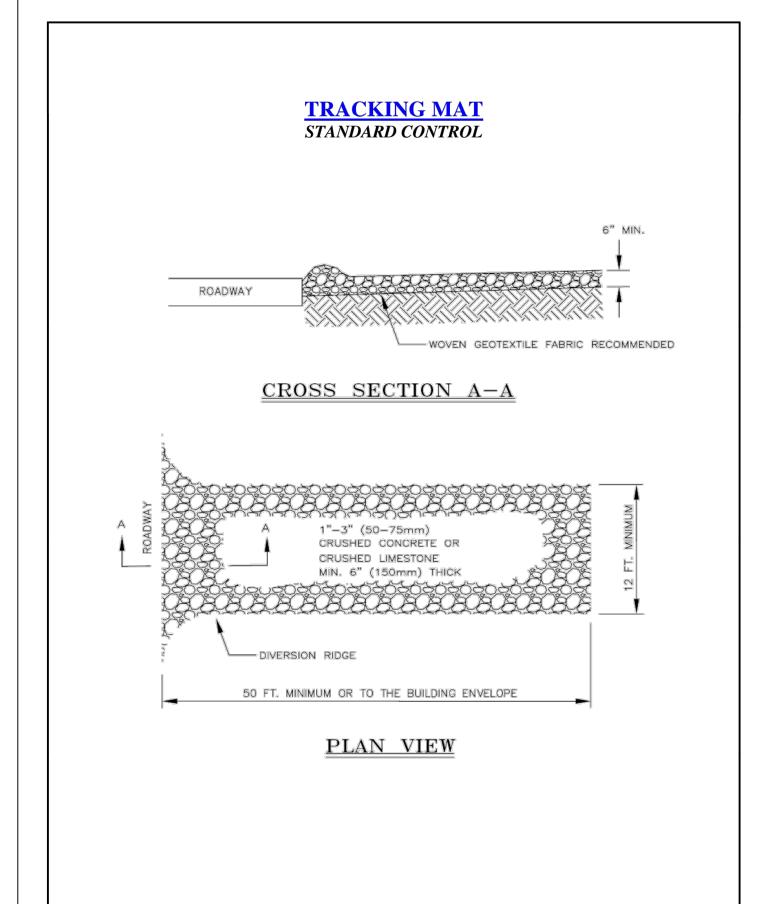


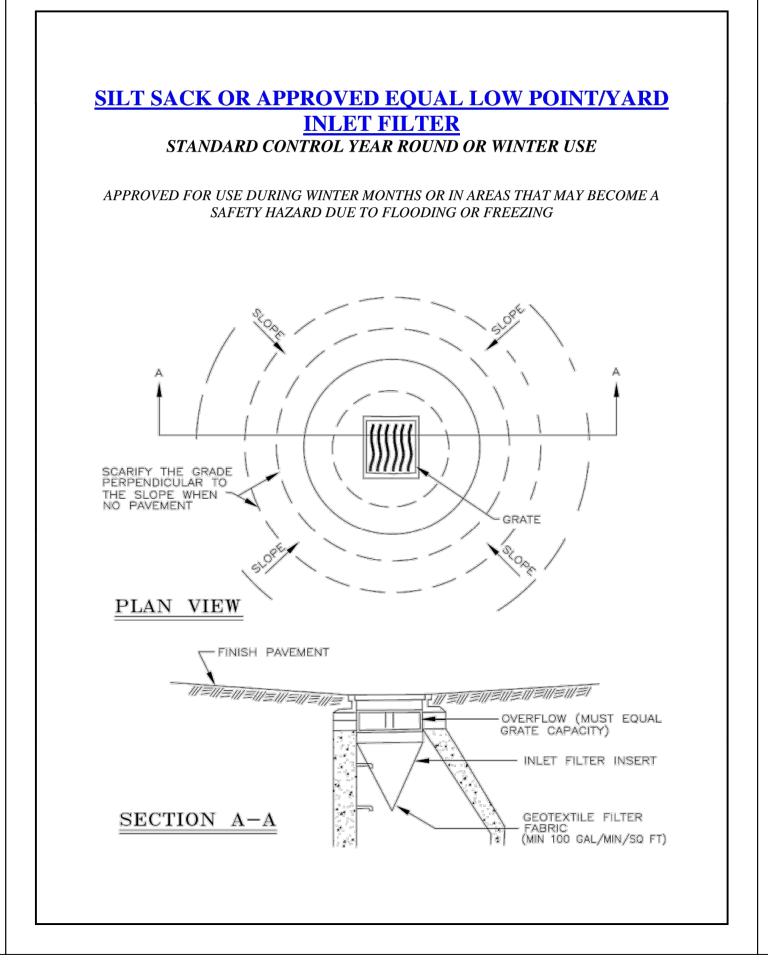


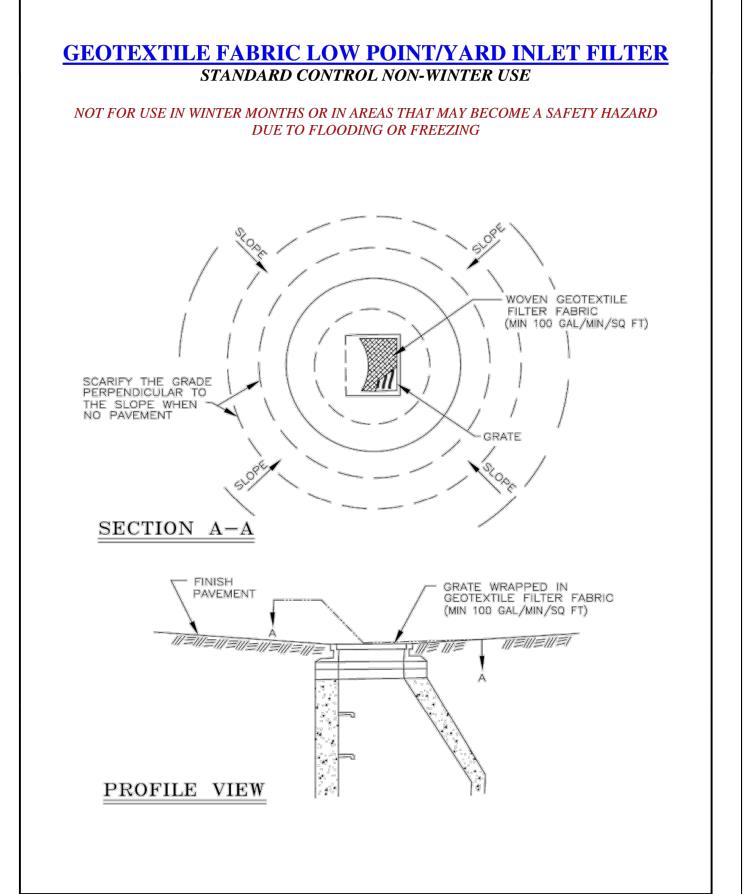


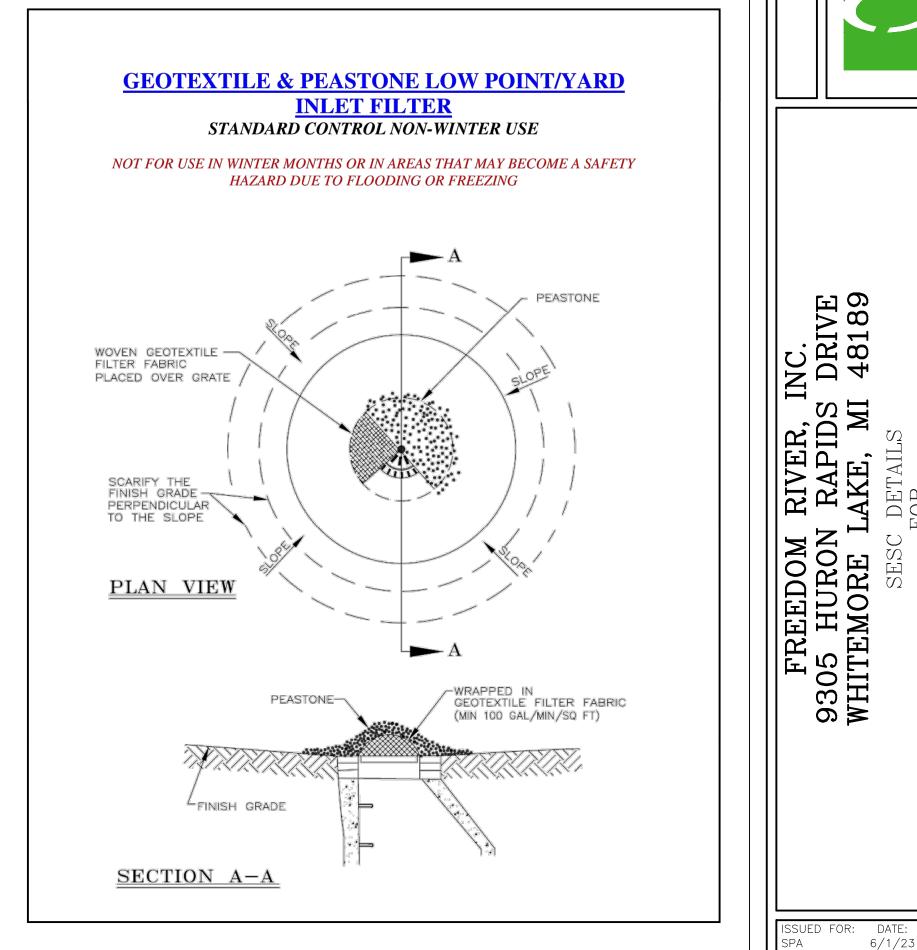


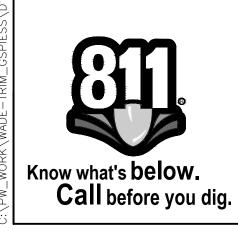












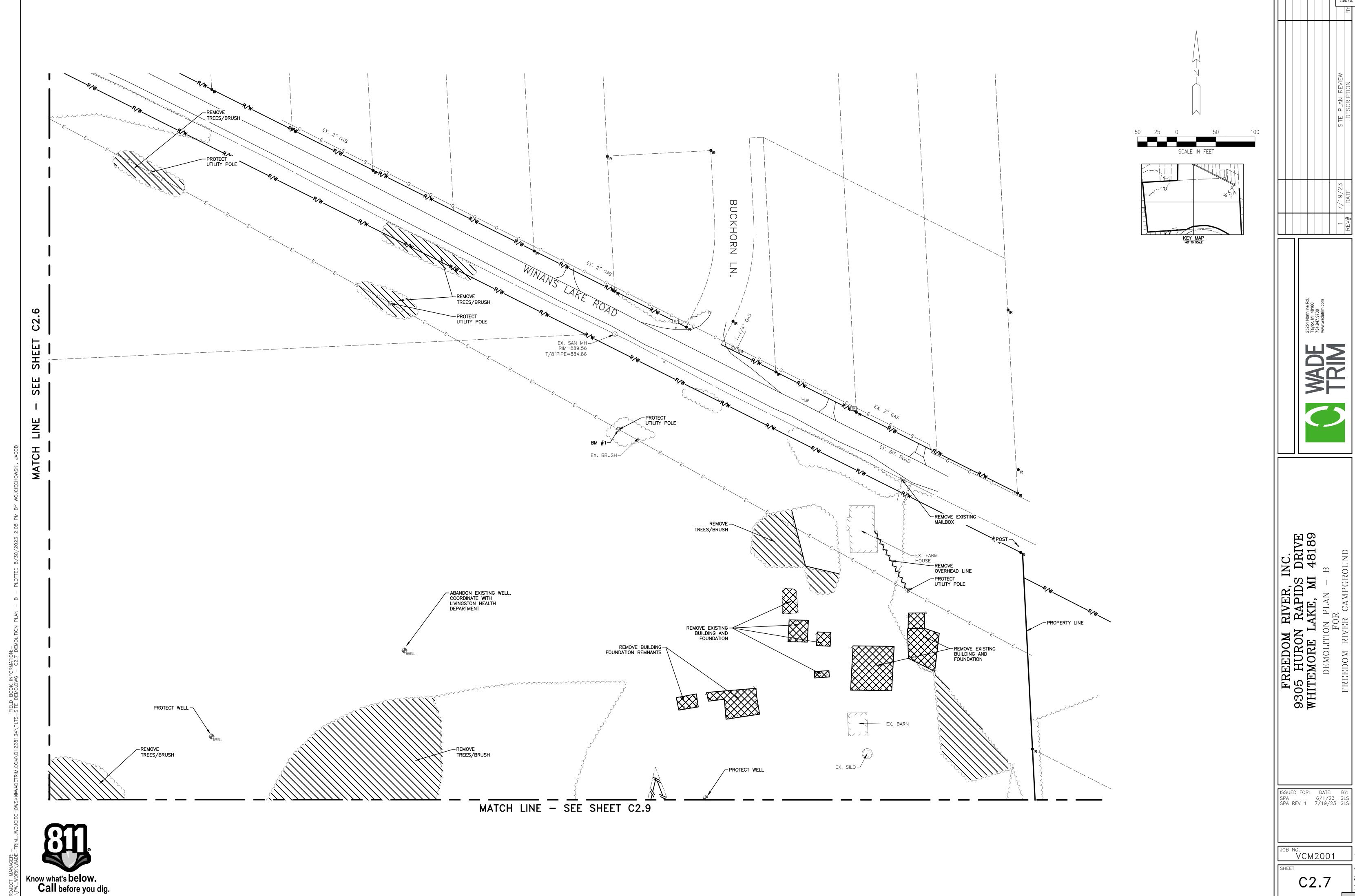
SPA 6/1/23 GLS SPA REV 1 7/19/23 GLS

INC. DRIVE I 48189

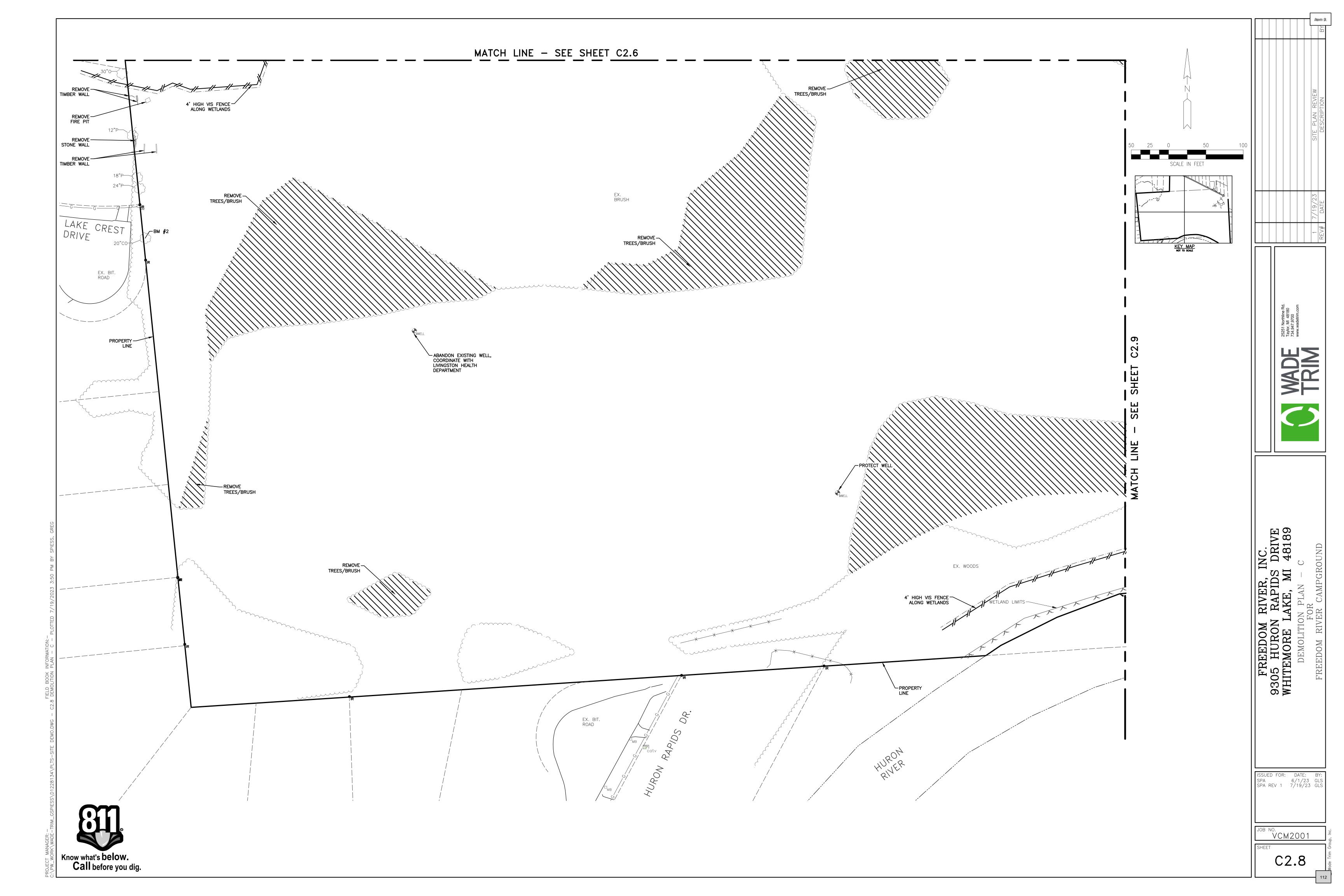
Item 9.

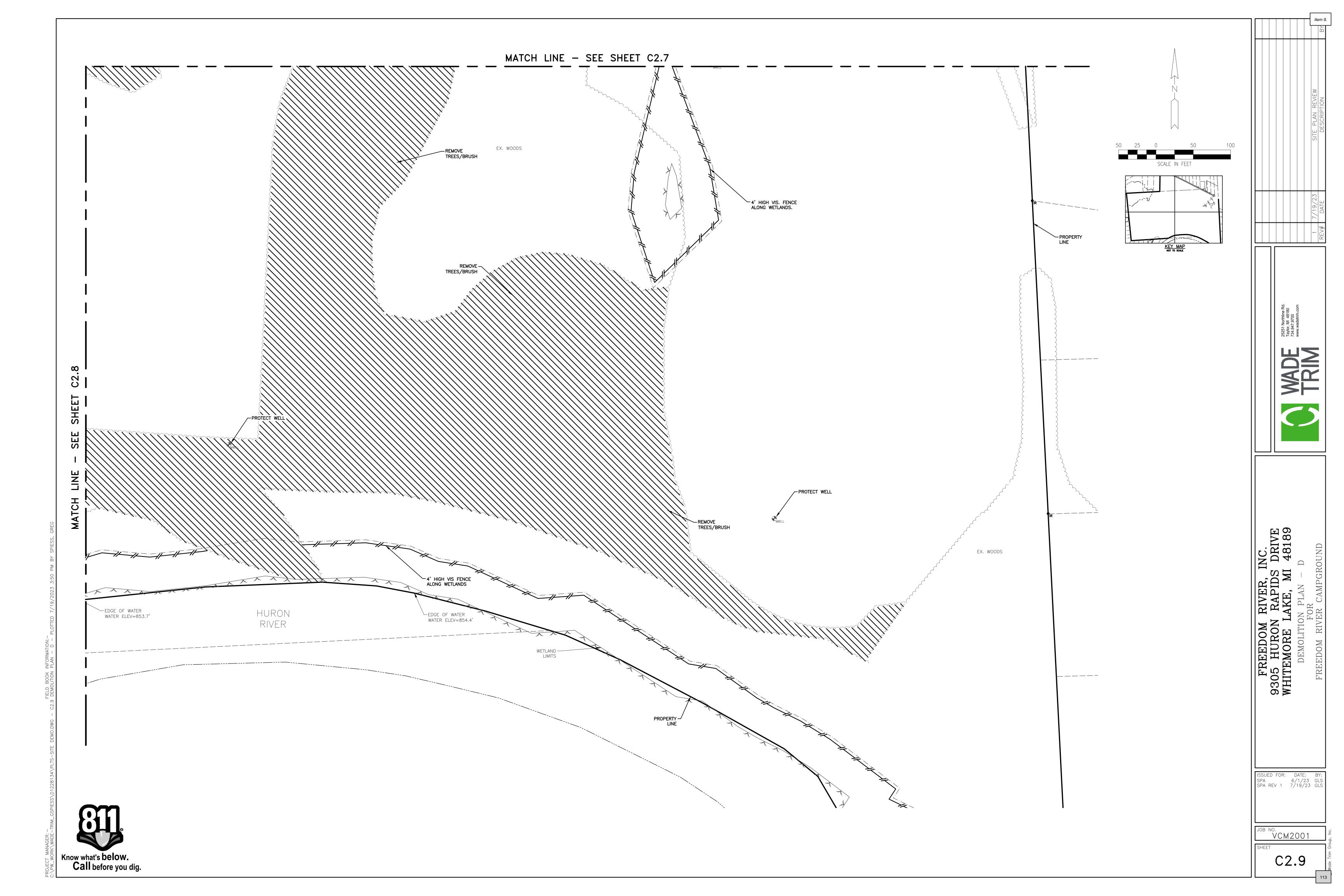
VCM2001 C2.5

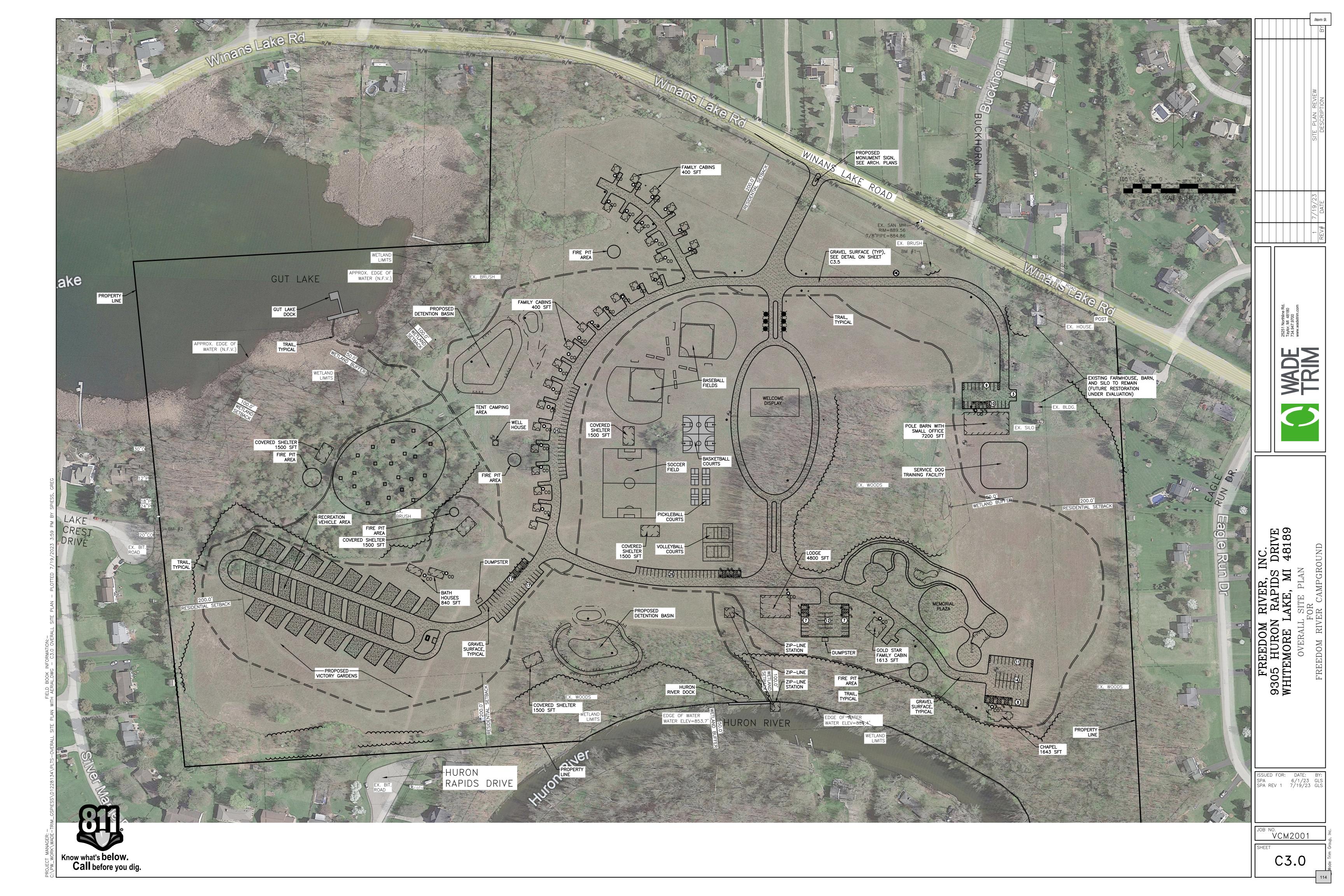


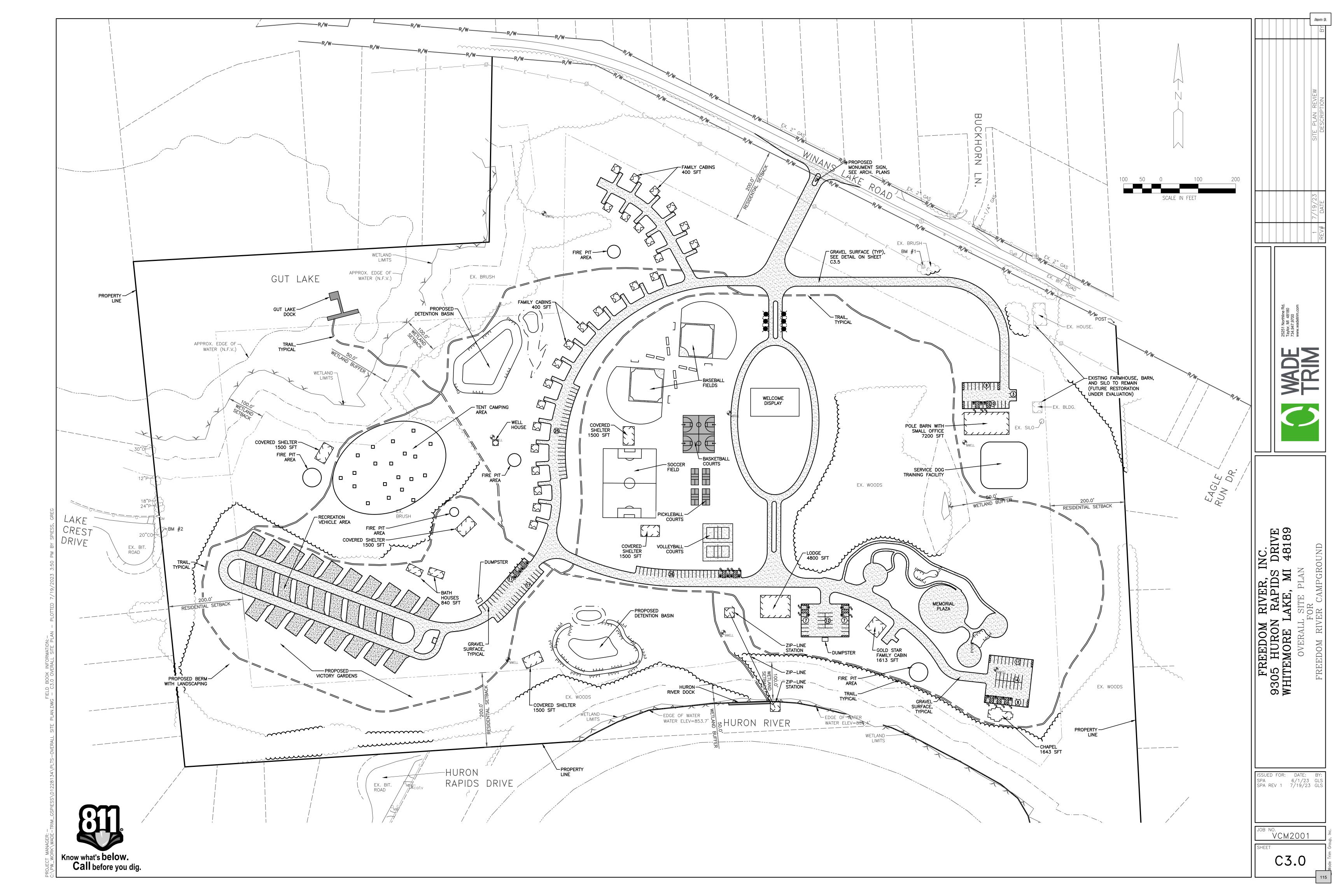


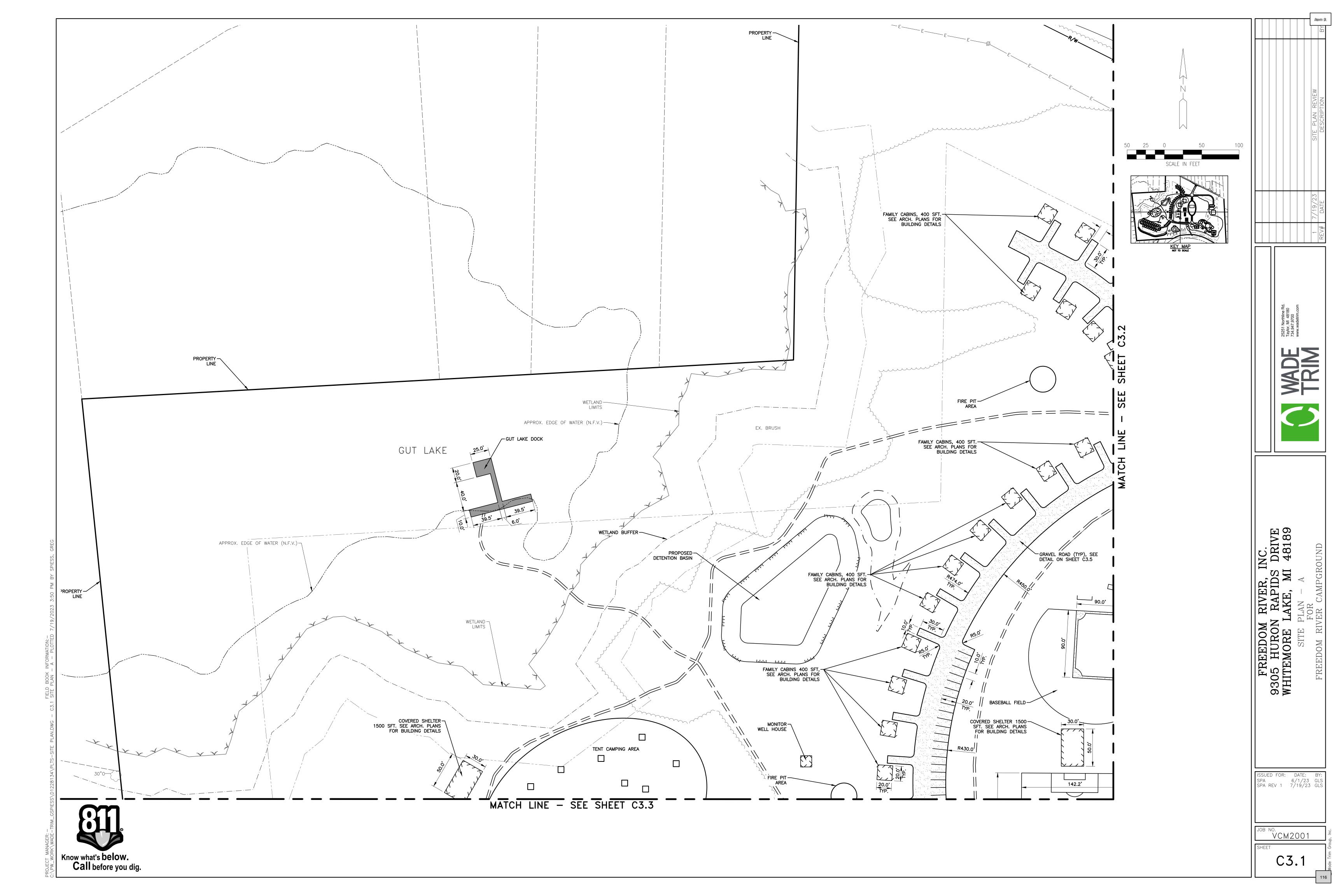
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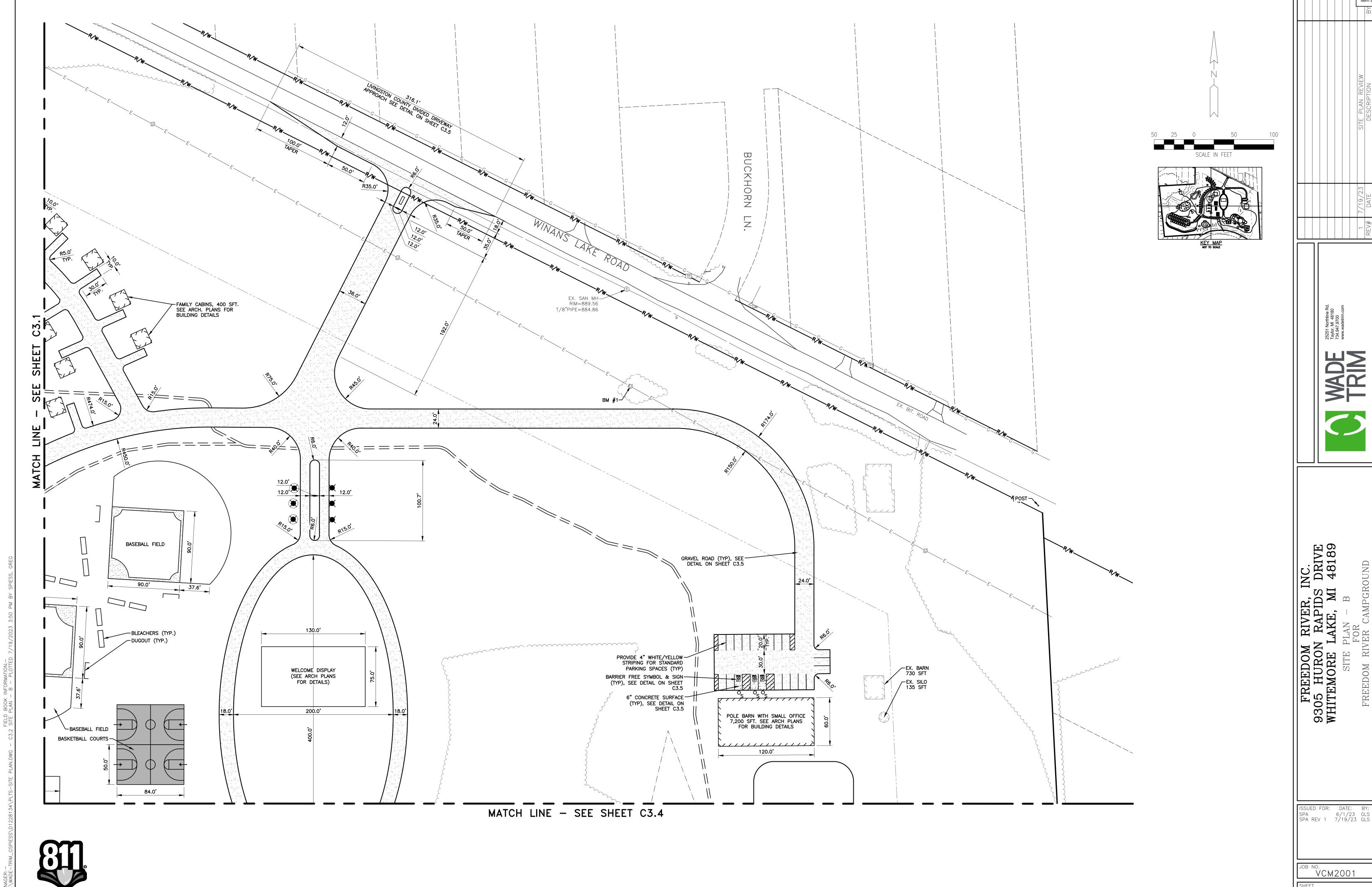








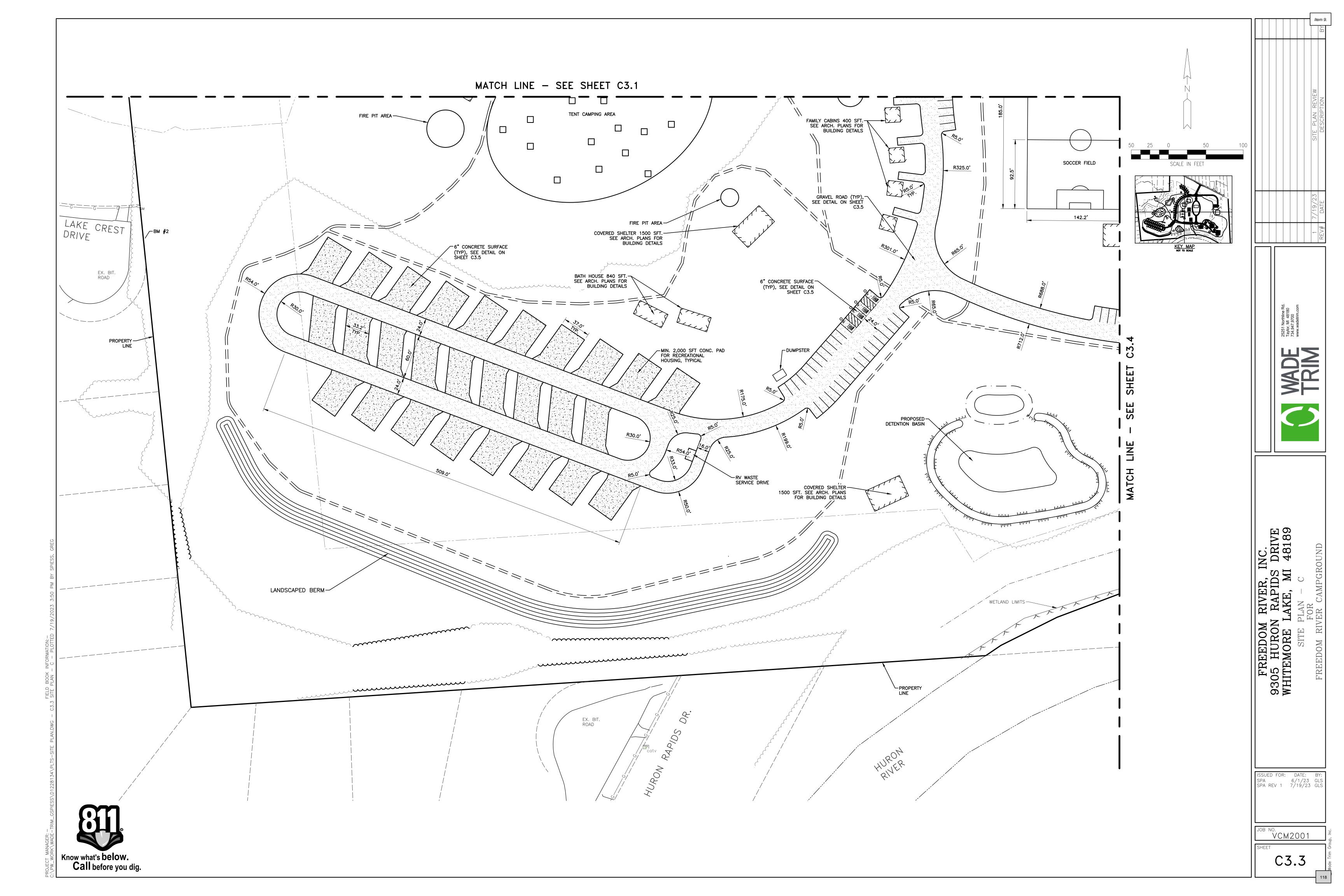


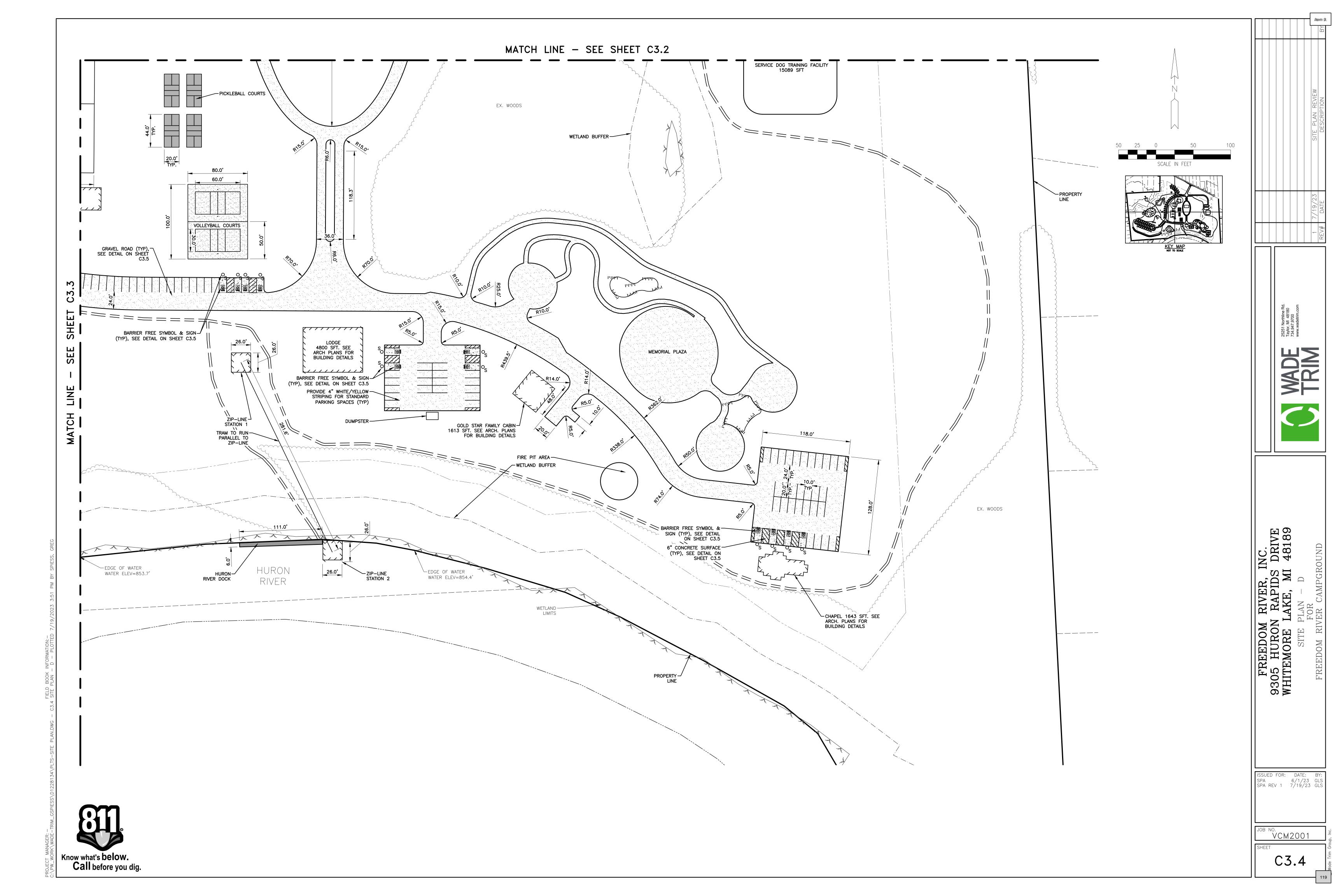


Know what's below.

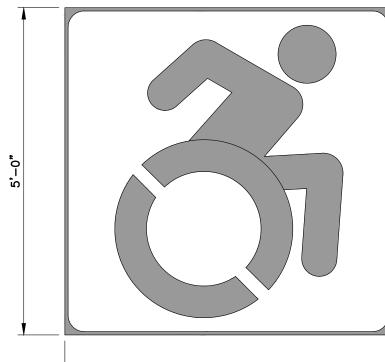
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C3.2





- CONCRETE NOTES
- 1. ALL CONCRETE SHALL BE 4500 PSI CONCRETE MIX UNLESS OTHERWISE NOTED.
- ALL POLY FIBER REINFORCED CONCRETE SHALL HAVE A MIX RATIO OF 1.5 LBS OF POLY FIBER PER 1.0 CYD OF CONCRETE. CONCRETE JOINTS
- 1. THE CONTRACTOR MUST PREPARE A JOINTING PLAN AND SUBMIT TO ENGINEER AS A SHOP DRAWING FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE.
- 2. BEGIN SAW CUTS AFTER THE CONCRETE HAS HARDENED ENOUGH TO PERMIT SAWING WITH OUT RAVELING OR DISPLACING AGGREGATES.
- IF CRACKS DEVELOP AHEAD OF TJE SAWCUT, STOP SAWING THAT JOINT. ONCE THE CONCRETE HAS SUITABLY CURED USE CRACK SAWS TO FORM JOINT SEALANT RESERVOIRS ALONG THE CRACK LINE. 4. JOINT SPACING:
- 4.1. MAXIMUM SLAB SIZE = 2 X SLAB THICKNESS (INCHES TO FEET), I.E.: 2 X 6 INCHES = 12 FEET 15 FEET IS ABSOLUTE MAX.
- 4.2. RECOMMENDED MAXIMUM JOINT SPACING (SMALLER IS BETTER)
- 4.2.1. 4" SLAB: 6 FEET 4.2.2. 6" SLAB: 10 FEET 4.2.3. 8" SLAB: 14 FEET 4.2.4. 9" SLAB: 15 FEET
- 5. CATCH BASIN AND MANHOLE CASTINGS REQUIRE A BOXOUT OR ISOLATION TO ALLOW FOR VERTICAL AND HORIZONTAL SLAB MOVEMENT.
- 6. SAWCUT JOINTS SHALL BE CONTINUOUS ACROSS THE SLAB AND SHALL MATCH LOCATION OF JOINTS ON ABUTTING CONCRETE SLABS.
- 7. CONTRACTOR SHALL PROVIDE ISOLATION/EXPANSION JOINTS BETWEEN SLABS OR AT STRUCTURES.
- 8. THE CONTRACTOR SHALL PROVIDE CONSTRUCTION JOINTS AT EDGE OF POURS OR FORM LINES.
- 9. THE CONTRACTOR SHALL PROVIDE CONTRACTION JOINTS (SAW CUTS OR TOOLED) EQUALLY SPACED AS IDENTIFIED IN NOTE 4 THIS SHEET.
- THE LEVELING COURSE SHALL BE MDOT 4E1 OR APPROVED EQUAL (13A LVSP).
- THE WEARING COURSE SHALL BE MDOT 5E OR APPROVED EQUAL (36A).
- 3. THE ASPHALT BINDER SHALL BE PG 58-28.
- <u>MATERIALS</u>
- 1. GRANULAR MATERIAL MDOT CLASS II SAND
- 2. OPEN GRADED AGGREGATE MDOT 6A OR AASHTO #57
- DENSE GRADED AGGREGATE MDOT 21AA CRUSHED LIMESTONE
 CONTRACTOR CAN USE CRUSHED CONCRETE/ASPHALT MEETING MDOT 21AA SPECIFICATIONS AS AGGREGATE BASE MATERIAL. CONTRACTOR SHALL INCREASE BASE THICKNESS BY 25%.



NOTES: 1. SYMBOL SHALL DEPICT A DYNAMIC CHARACTER LEANING FORWARD WITH A SENSE OF MOVEMENT. 2. PROVIDE CONTRASTING BACKGROUND WITH EITHER A WHITE SYMBOL ON BLUE BACKGROUND OR A BLUE SYMBOL ON A WHITE BACKGROUND. 3. SYMBOL SHALL BE SUBSTANTIALLY EQUIVALENT TO THE INTERNATIONAL SYMBOL

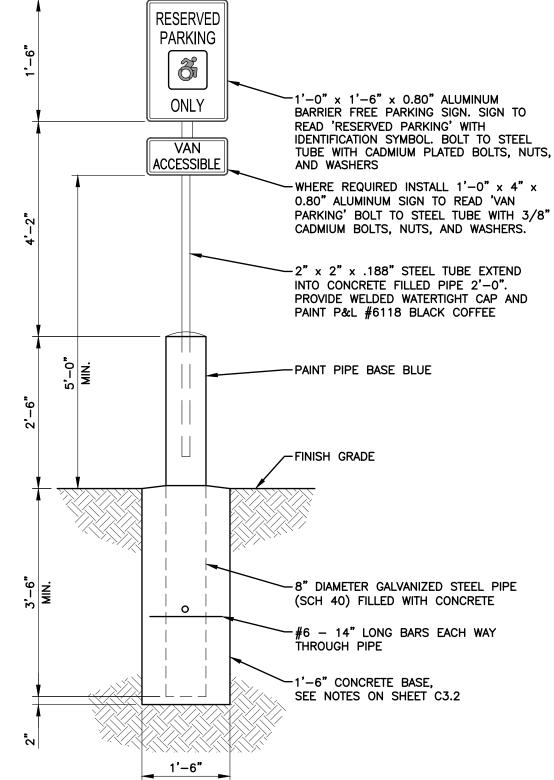
4. SYMBOL SHALL BE SIMPLE AND AVOID

ANY SECONDARY MEANING.

5'**-**0" DENOTING VAN ACCESSIBILITY

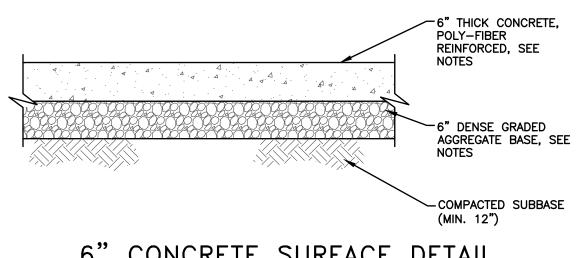
APPLICABLE

BARRIER FREE SYMBOL DETAIL

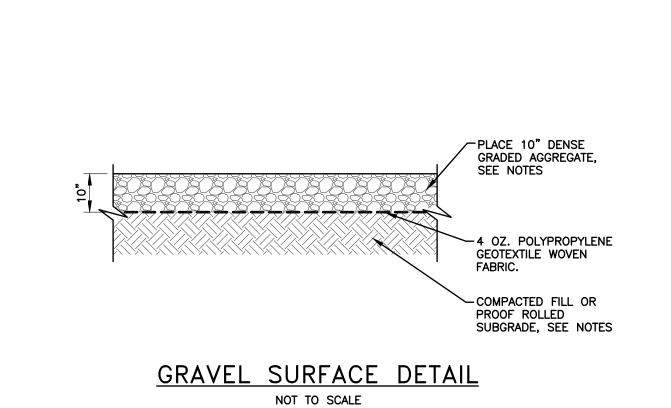


ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

> BARRIER FREE SIGN DETAIL NOT TO SCALE



6" CONCRETE SURFACE DETAIL



** Divided Paved Road Approach on Paved County Road 0 Standard Range Design Feature Driveway Width Entering Radius Exiting Radius Total Opening
Entrance Drive Width
Exit Drive Width
Island Width · Concrete Curb Island Length Nose Offset K Entering Taper
L Curb Ending
M Right-Turn Lane Length N Exiting Taper
Pavement Width at Radius Springpoint The Standard shall be used unless engineering judgement determines that another dimension within the range is more suitable for a particular site or special condition and is approved by Livingston County Road Commission. NOTE: Concrete curb is optional on approaches to uncurbed county roadways

25251 Northline Rd Taylor, MI 48180 734,947,9700

Item 9.

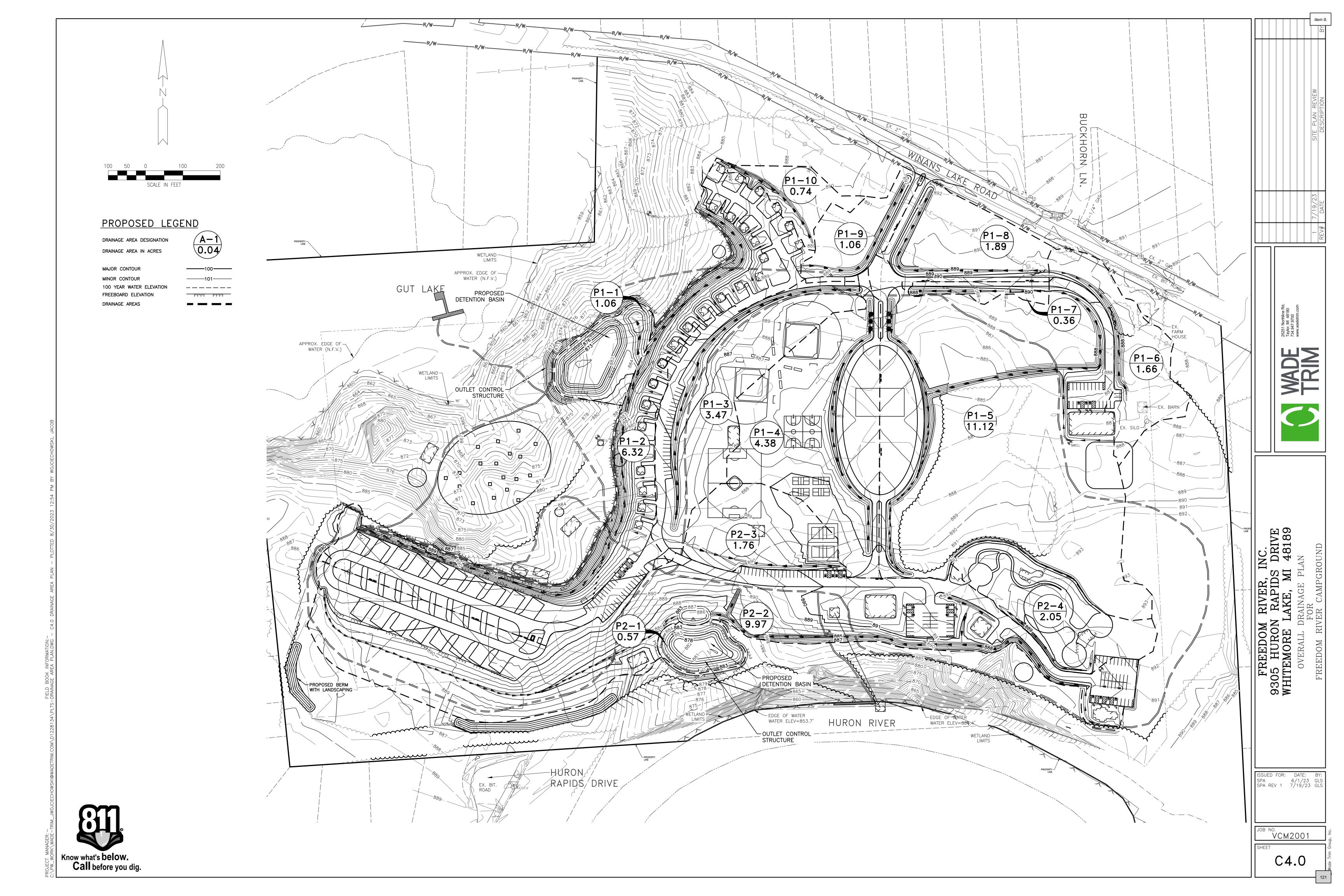
INC. S DRIVE I 48189 FREEDOM RIVER, IN 9305 HURON RAPIDS | WHITEMORE LAKE, MI SITE DETAILS

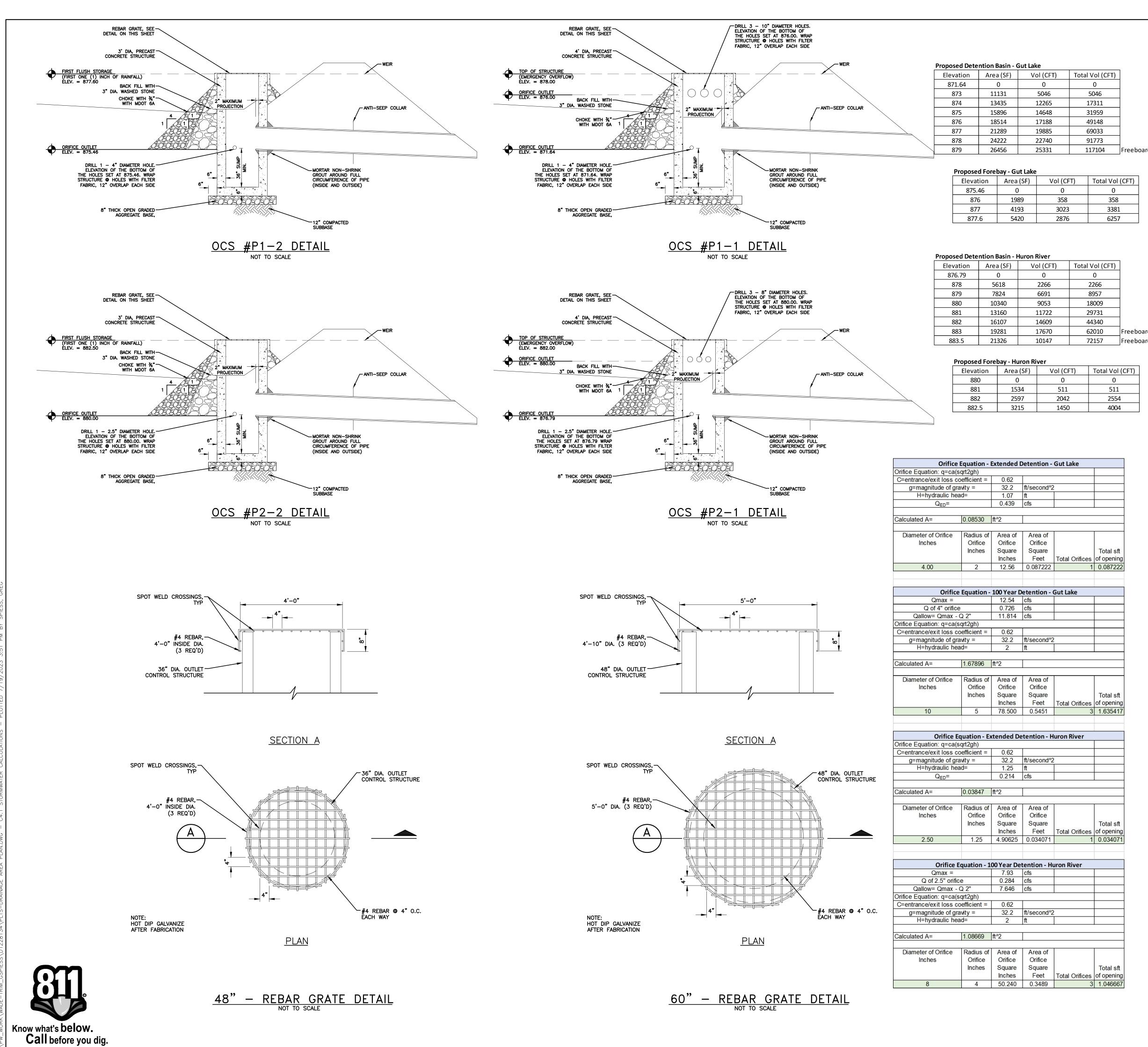
ISSUED FOR: DATE: BY: SPA 6/1/23 GLS SPA REV 1 7/19/23 GLS

VCM2001

Know what's below. Call before you dig.

C3.5





	I	 		T
	Total (ac)	Impervious (ac)	Pervious (ac)	С
Gut Lake	32.07	6.55	25.52	0.343
Huron River	14.17	3.61	10.56	0.378
	Minimum V	olume Requirem	ents - Gut Lake	
		ty Control (WQ) -	Vwq = 3630*C*A	T
Vwq (cuft)	39926			
	Forebay Stor	age Volume - Vf =	= 3630*C*A*0.15	
Vwq (cuft)	5989			
C	hannel Protection	Volume Control (CPVC) - Vcp = 4719	9*C*A
Vcp (cuft)	51904			
	Channel Protectio	n Rate Control (CI	PRC) - Ved = 6897*	C*A
Ved (cuft)	75860	·	1 Nej - Veu - 0037	
vea (cart)	7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7			
	d Detention Volum		- Ved discharged o	ver 48-hou
Qed (cfs)	0.439			
	Variable Relea	ase Rate - Qvrr = 1	1055 - 0.206 ln(A)	
Qvrr (cfs/ac)	0.391	1	, ,	
	Allowable 100-\	/ear Discharge Ra	te - Q100p = Qvrr*.	Δ
Q100p	12.543		te - Q100p - QVII	
Стоор	12.545			
	1	1	V100R = 18985*C*A	1
V100R (cuft)	208816			
	100-Year Pea	ık Inflow Rate - Q1	100IN = C*I100*A	
Q100IN (cfs)	69.43			
	Storage Curve Fac	ctor - R = 0.206 - 0.	15 ln(Q100p/Q100	IN)
R	0.46		(3, 11), 3	
	100-Year Detention	n Valuma V100	D = (\/100D*B\ \\/C	D_D
V100D	96613.80		D - (A TOOK, K) - AC	r-r
A TOOD	30013.80			<u> </u>
		V100D ≥ VED		

iVlin	imum Volume Requ	irements - Huror	n Kiver
Wa	ter Quality Control (WQ) - Vwq = 3630	0*C*A
Vwq (cuft)	19460		
	1 0 11	\(\(\) \(*0.4=
	ebay Storage Volum 2919	<u>le - Vf = 3630*C*A</u>	*0.15
Vwq (cuft)	2919		
Channel Pi	rotection Volume Co	entrol (CPVC) - Vc	p = 4719*C*A
Vcp (cuft)	25299		
	·	•	•
Channel	Protection Rate Con	trol (CPRC) - Ved	= 6897*C*A
Ved (cuft)	36975		
Forten de d'Octour	V-l Dil	- Data - Mad diad	
Qed (cfs)	on Volume Discharge 0.214	e Kate - Ved discr	narged over 48-nou
Qea (cis)	0.214		
Varia	ıble Release Rate - C	vrr = 1.1055 - 0.20	06 In(A)
Qvrr (cfs/ac)	0.559		
			·
	able 100-Year Discha	rge Rate - Q100p	= Qvrr*A
Q100p	7.926		
100 V	oor Dook Bunoff Vol		
V100R (cuft)	ear Peak Runoff Vol	ume - v100k = 183	965 C A
V 100K (Cart)	101773		
100	-Year Peak Inflow Ra	ate - Q100IN = C*I	100*A
Q100IN (cfs)	33.84		
	Curve Factor - R = 0.2	206 - 0.15 In(Q100	p/Q100IN)
R	0.42		
100 V a a s	Detention Volume	- V/100D - /V/100B:	*P) - V/CD-D
V100D	43125.81	- A TOOD = (A TOOK,	N) - VCP-P
* 1000	10120.01		1

TRIBUTARY TO F	POND 1 (GUT LAKI	≣)			
	Impervious	Gravel	Lawn		
Drainage Area	(Acres)	(Acres)	(Acres)	Total	Cw-Value
P1-1	0.00	0.00	1.06	1.06	0.20
P1-2	2.27	0.00	4.04	6.32	0.45
P1-3	0.61	0.00	2.86	3.47	0.32
P1-4	2.08	0.00	2.30	4.38	0.53
P1-5	1.04	0.00	10.08	11.12	0.27
P1-6	0.07	0.00	1.60	1.66	0.23
P1-7	0.10	0.00	0.26	0.36	0.39
P1-8	0.23	0.00	1.66	1.89	0.28
P1-9	0.15	0.00	0.92	1.06	0.30
P1-10	0.00	0.00	0.74	0.74	0.20
Total	6.55	0.00	25.52	32.07	0.34

Required Storage (cuft)

TRIBUTARTY TO POND 2 (HURON RIVER)					
	Impervious	Gravel	Lawn		
Drainage Area	(Acres)	(Acres)	(Acres)	Total	Cw-Value
P2-1	0.00	0.00	0.57	0.57	0.20
P2-2	2.71	0.00	7.08	9.79	0.39
P2-3	0.19	0.00	1.58	1.76	0.27
P2-4	0.71	0.00	1.33	2.05	0.44
Total	3.61	0.00	10.56	14.17	0.38

ISSUED FOR: DATE: BY: SPA 6/1/23 GLS SPA REV 1 7/19/23 GLS

25251 Northline Rd Taylor, MI 48180 734.947.9700

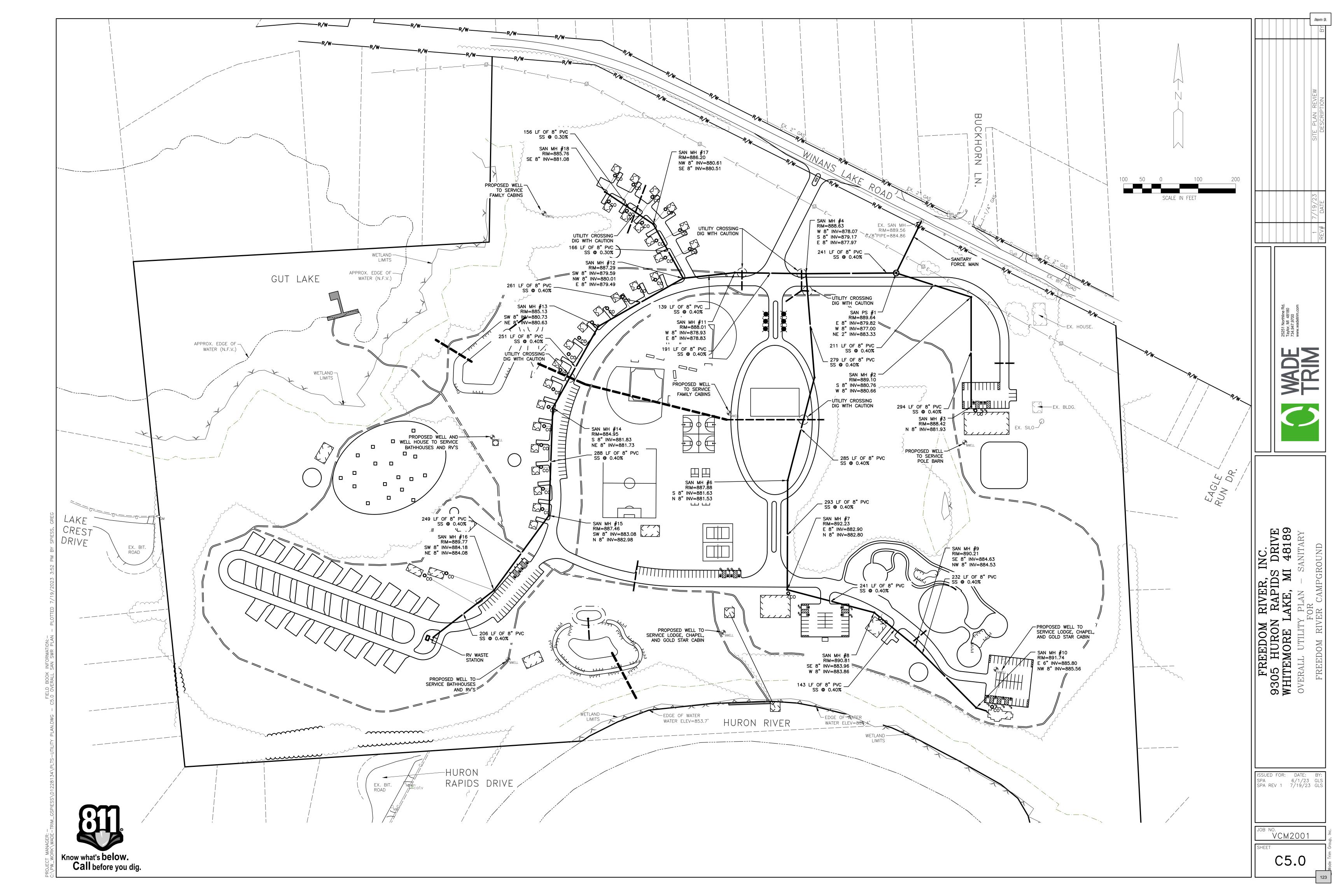
INC. S DRIVE I 48189

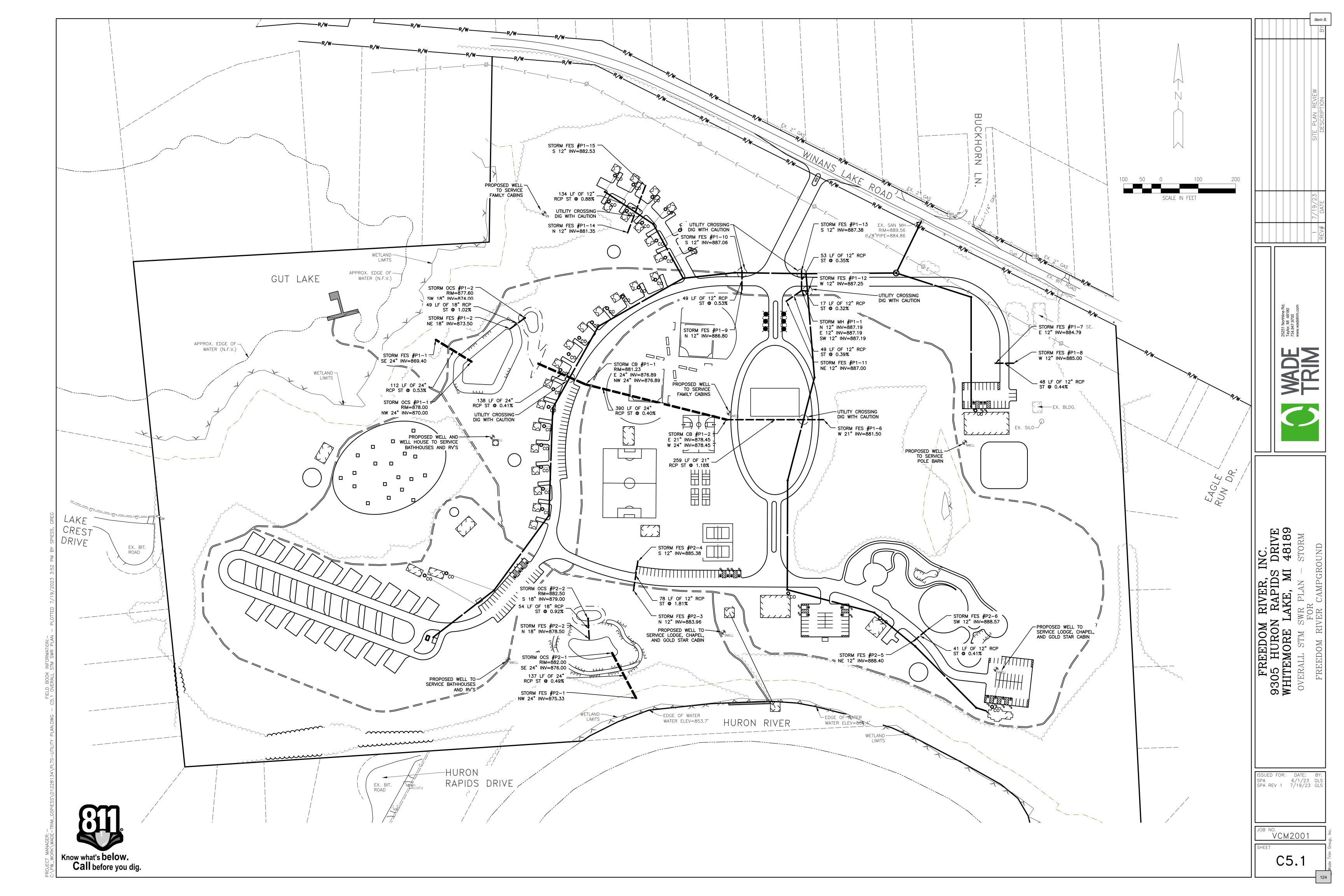
FREEDOM RIVER, IN 9305 HURON RAPIDS DWHITEMORE LAKE, MI 4

Item 9.

VCM2001

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SANITARY SEWER NOTES

- PRECAST CONCRETE MANHOLE, FLAT TOP SLABS, RISERS, CONE, TRANSITION SECTIONS AND BOTTOM SECTIONS SHALL CONFORM TO ASTM C478, AND SHALL BE CIRCULAR WITH CIRCULAR REINFORCEMENT.
- 2. 6-INCH THROUGH 24-INCH CONNECTIONS TO MANHOLES SHALL USE A MECHANICALLY COMPRESSIBLE FLEXIBLE JOINT, AS INDICATED ON THE PLANS.
- 3. RISER AND CONE SECTIONS OF A MANHOLE SHALL HAVE MODIFIED GROOVED TONGUE JOINTS WITH "O" RING GASKETS (OUTSIDE OF PAVEMENT OR TRAFFIC AREAS) OR A TONGUE AND GROOVE JOINT WITH A BUTYL RUBBER BASED GASKET TYPE SEALANT MEETING THE REQUIREMENTS OF AASHTO M 198 AND HAVING A NOMINAL SIZE OF
- 4. ECCENTRIC CONE SECTIONS OF A MANHOLE SHALL HAVE MODIFIED GROOVED TONGUE JOINTS WITH "O" RING GASKETS AND BE PROVIDED WITH 4 STUD INSERTS CAST IN THE TOP. THE TOP SHALL HAVE A SMOOTH FINISHED SURFACE.
- 5. CONCRETE GRADE RINGS SHALL HAVE SMOOTH FINISHED TOP AND BOTTOM SURFACES. GRADE RINGS SHALL BE PROVIDED WITH "O" RING GASKETS.
- 6. ALL PIPE CONNECTIONS SHALL HAVE MECHANICALLY COMPRESSED FLEXIBLE JOINT. STYLE TO BE RES-SEAL, KOR-N-SEAL OR APPROVED EQUAL.
- 7. MANHOLE STEPS TO BE INSTALLED AT THE PLANT BY MFR. OF PRECAST MANHOLE SECTION WITH 16" SPACING AND SET 45° TO @ OF MAIN SEWER WITH THE BOTTOM STEP TO BE 24" MAX. ABOVE BOTTOM. MANHOLE STEPS CAN BE:
- 7.1. CAST IRON MANHOLE STEPS SHALL CONFORM TO ASTM A48, CLASS 30, GRAY IRON WITH A MINIMUM CROSS SECTION DIMENSION OF 1-INCH IN ANY DIRECTION.
- 7.2. STEEL REINFORCED PLASTIC MANHOLE STEPS SHALL BE OF SUITABLY APPROVED CO-POLYMER POLYPROPYLENE CONFORMING TO ASTM D4101, PP0344B33534Z02 WITH 1/2 INCH MINIMUM DIAMETER DEFORMED REINFORCING BAR CONFORMING TO ASTM A615, GRADE 60 AND SHALL BE IN ACCORDANCE
- 8. MANHOLE FRAMES AND COVERS SHALL CONFORM TO ASTM A48, CLASS 30, GRAY IRON. CASTINGS SHALL BE NEATLY MADE AND FREE FROM CRACKS, COLD SHEETS, HOLES AND OTHER DEFECTS. SURFACES OF CASTING SHALL BE GROUND TO ASSURE PROPER FIT AND TO PREVENT ROCKING.
- 8.1. FOR MANHOLES, USE A BOLTED WATERPROOF FRAME WITH A PRESSURE TIGHT COVER. BOLTED DOWN FRAME AND COVER SHALL BE INSTALLED AS INDICATED
- 8.2. MANHOLE COVERS STYLE SHALL BE APPROVED BY LOCAL APPROVING AGENCY PRIOR TO INSTALLATION.
- 9. PIPE MATERIAL SHALL BE AS NOTED ON PLAN OR AS APPROVED BY THE LOCAL APPROVING AGENCY THE FOLLOWING ARE A LIST OF PIPES:
- 9.1. POLYVINYL CHLORIDE (PVC) TRUSS PIPE SHALL BE ASTM D2680. THE PIPE SHALL BE OF A DOUBLE WALL CONSTRUCTION, BRACED WITH A TRUSS-TYPE STRUCTURE WITH ALL 3 FORMED IN 1 EXTRUSION. THE TRUSS VOIDS ARE FILLED WITH LIGHTWEIGHT CONCRETE TO PROVIDE ADDITIONAL COMPRESSIVE STRENGTH AND
- 9.2. PVC SOLID WALL PIPE IN SIZES 6-INCH THROUGH 15-INCH SHALL BE ASTM D3034, SDR 35, AND IN SIZES 18-INCH THROUGH 27-INCH SHALL BE ASTM
- 9.3. OTHER MATERIALS MAY BE ACCEPTABLE, HOWEVER ALL PIPE MATERIALS SHALL BE APPROVED BY THE LOCAL APPROVING AGENCY.
- 10. PIPE JOINTS SHALL BE:

PIPE MANUFACTURES REQUIREMENTS.

- 10.1. JOINTS FOR POLYVINYL CHLORIDE (PVC) PIPE SHALL BE ELASTOMERIC GASKETED CONFORMING TO ASTM D3212, PUSH ON TYPE JOINT.
- 10.2. JOINTS FOR POLYVINYL CHLORIDE PIPE (PVC) SHALL BE ASTM D3212, PUSH-ON TYPE. A JOINT IN WHICH AN ELASTOMERIC RING GASKET IS COMPRESSED IN THE ANNULAR SPACE BETWEEN A BELL END OR SOCKET AND A SPIGOT END OF
- 10.3. IN THE EVENT OTHER PIPE MATERIAL IS USED OTHER THAT LISTED, CONTACT THE ENGINEER FOR AN APPROVED JOINT STYLE.
- 11. BUILDING LEADS SHALL BE 6-INCH DIAMETER AND SHALL BE LAID ON A UNIFORM SLOPE AS INDICATED ON THE PLANS WITH A MIN. SLOPE OF 1.0% BUILDING LEADS SHALL BE INSTALLED TO WITH IN 1.0 FOOT OF THE PROPERTY LINE OR 5 FEET FROM THE PROPOSED BUILDING. THE CONTRACTOR SHALL INSTALL A WATER TIGHT PLUG FOR FUTURE CONNECTION BY THE PLUMBING CONTRACTOR AND MARKED WITH A 4X4 WOOD POST.
- 12. WYES OR TEES SHALL BE OF THE SAME MATERIAL AS THE MAINLINE PIPE. THEY SHALL BE A MOLDED WYE OR TEE FITTING PER ASTM D2680, WITH GASKETED JOINTS ON EACH END SUITABLE FOR DIRECTLY INSERTING IN THE MAINLINE PIPE. SADDLE CONNECTIONS ARE NOT ALLOWED.
- 13. ALL TRENCHES SHALL CONFORM TO THE DETAILS INCLUDED WITH THESE PLANS AND
- 14. CLEANOUTS SHALL BE INSTALLED AT ALL PIPE BEND LOCATIONS ON A SERVICE LEAD, LOCATED ON THE UPSTREAM SIDE OF THE SERVICE LEAD. THE MAX. SPACING FOR ALL CLEAN OUTS IS 100 HORIZONTAL FEET.
- 15. CONTRACTOR SHALL EXPOSE THE EXISTING SANITARY SEWER AND STRUCTURES TO WHICH THE NEW WORK IS TO BE CONNECTED AND NOTIFY ENGINEER OF ANY CHANGES IN THE HORIZONTAL OR VERTICAL LOCATION. CONTRACTOR WILL VERIFY THE VERTICAL AND HORIZONTAL LOCATIONS OF THE EXISTING SYSTEM AND SHALL INFORM THE ENGINEER AS TO THE NECESSARY ADJUSTMENTS REQUIRED TO ALIGN THE NEW SANITARY SEWER WORK WITH THE EXISTING SYSTEM IF REQUIRED.
- 16. ALL CONCRETE USED FOR INSTALLATION OF FLOW CHANNELS AND BACKFILL SHALL BE 3500 PSI.
- 17. CONNECTIONS TO EXISTING PIPES SHALLBE MADE WITH ENGINEER APPROVED METHODS. STAINLESS STEEL SHEAR RING FERNCOS SHALL BE USED IF FERNCO CONNECTIONS ARE ALLOWED BY AGENCY HAVING JURISDICTION.
- 18. IN ACCORDANCE WITH 10-STATE STANDARDS IF AN UPSTREAM SANITARY SEWER PIPE CONNECTION IS GREATER THAN 24" ABOVE THE DOWNSTREAM PIPE A DROP CONNECTIONS IS REQUIRED.

STORM SEWER NOTES

- ALL STORM SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND GENERAL SPECIFICATION OF THE AGENCY OR AGENCIES HAVING JURISDICTION OF THE STORM SEWER AND CONSTRUCTION AREA.
- 2. DETAILS ARE FOR STRUCTURES WITH NO MORE THAN TWO PIPES, 180° APART. LARGER DIAMETER STRUCTURES MAY BE REQUIRED FOR DIFFERENT
- 3. ALL STRUCTURES REQUIRE A MINIMUM OF 8-INCHES OF WALL BETWEEN PIPE OPENINGS. LARGER DIAMETER STRUCTURES MAY BE REQUIRED WHERE PIPE ENTERING THE STRUCTURE ARE LESS THAN 90° APART IN ANY DIRECTION.
- 4. ALL CASTING RIMS SHALL BE SET TO GRADE OR AS SHOWN ON THE PLANS. MANHOLE STEPS SHALL BE INSTALLED AT LOCATIONS SHOWN ON THE DETAILS
- 5.1. CAST IRON CONFORMING TO ASTM A48, CLASS 30 GRAY IRON WITH A MIN. CROSS SECTION DIMENSION OF 1-INCH IN ANY DIRECTION.
- 5.2. STEEL REINFORCED POLYPROPYLENE ASTM 4101, PP0344B33534Z02 WITH 1/2-INCH_MIN_DIAMETER DEFORMED REINFORCING BAR CONFORMING TO
- 6. MANHOLE AND CATCH BASINS FRAME AND COVER/GRATE SHALL BE CONFORM TO ASTM A48, CLASS 30, GRAY IRON AND BE AS FOLLOWS (**):
- 6.1. MANHOLES: EJ #1040 WITH A SOLID COVER (OR APPROVED EQUAL).
- 6.2. CATCH BASINS:

ÁSTM A615, GRADE 60.

MOUNTABLE CURB:

LAWN AREA: EJ #1040 WITH A TYPE N OVAL GRATE (OR APPROVED EQUAL). PAVEMENT (ROUND): EJ #1040 WITH A TYPE M1 GRATE "DUMP NO WASTE" (OR APPROVED EQUAL). PAVEMENT (SQUARE): EJ #5724 FRAME AND GRATE (OR APPROVED EQUAL).

CURB:
18" STANDARD CURB:
EJ #7045Z W/ 7040 M1 GRATE & EJ #7050
T-1 BACK OR APPROVED EQUAL EJ #7045Z W/ 7045 M1 GRATE EJ #7050 T-1 BACK OR APPROVED EQUAL 24" STANDARD CURB:

ROLL CURB:

EJ #7250 OR APPROVED EQUAL WEDGE CURB & GUTTER: EJ #7300 W/ M GRATE OR APPROVED EQUAL

EJ #7065 W/ 7045 M1 GRATE OR APPROVED EQUAL DRIVEWAY GUTTER:

VALLEY GUTTER:

**LOCAL APPROVING AGENCIES CASTINGS SHALL SUPERSEDE THE LIST

- 6.3. ALL MANHOLE/CATCH BASIN CONNECTIONS SHALL BE PER THE DETAILS INCLUDED IN THIS SET.
- 6.4. ALL MANHOLES WITH 36" DIAMETER PIPE CONNECTIONS SHALL HAVE CONCRETE FLOW CHANNEL.
- 7. DIFFERENTIAL OF EXCAVATION AROUND EXISTING MANHOLES SHALL NOT EXCEED SIX FEET.
- 8. PLACE GRANULAR MATERIAL BACKFILL WITHIN THREE FEET OF ALL STRUCTURES ALL BACK FILL SHALL BE COMPACTED IN MAX. 12" LIFTS COMPACTED TO A MINIMUM 95% OF THE MAXIMUM DRY DENSITY DETERMINED BY MODIFIED PROCTOR
- 9. ALL STORM SEWER PIPE SHALL HAVE BEDDING PER THE DETAIL ON THIS SHEET UNLESS OTHERWISE NOTED ON THE PLANS.
- 10. ALL PRECAST PRODUCTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-478.
- 11. ALL JOINTS FOR PRECAST CONCRETE MANHOLE SECTIONS SHALL BE THE SAME AS RCP PIPE.
- 12. ALL DRAINAGE PIPE SHALL BE AS NOTED ON PLANS.
- 12.1. ALL REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO ASTM C76
- 12.2. ALL HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE SMOOTH LINED CORRUGATED POLYETHYLENE PIPE MEETING AASHTO M252, TYPE S FOR SIZES 4" TO 10" DIAMETER AND AASHTO M294, TYPE S FOR 12" TO 48"
- 12.3. ALL CORRUGATED PLASTIC EDGE DRAINS / UNDERDRAINS (CPP) SHALL MEET THE REQUIREMENTS OF AASHTO M252 FOR POLYETHYLENE TUBING. ALL UNDERDRAINS SHALL BE WRAPPED IN A GEOTEXTILE WRAP. ALL CORRUGATED METAL PIPE (CMP) SHALL CONFORM TO AASHTO M36.
- 12.4. ALL POLYVINYL CHLORIDE SOLID WALL PIPE (PVC) SHALL IN SIZES SHALL BE SDR 35.

13. ALL PIPE JOINTS SHALL BE:

- 13.1. RCP: ALL JOINTS SHALL BE PREMIUM JOINTS. PREMIUM JOINTS FOR CIRCULAR PIPE SHALL CONFORM TO ASTM C443 LIMITED AS FOLLOWS: SECTION 5.1 OF C443, "PHYSICAL REQUIREMENTS FOR GASKETS," SHALL BE REPLACED WITH SECTION 6.9 OF C361, "RUBBER GASKETS." ALSO, SECTION 5 OF C443 SHALL BE LIMITED TO A MODIFIED GROOVED TONGUE TO RECEIVE
- 13.2. HDPE: JOINTS SHALL BE BELL & SPIGOT TYPE WITH RUBBER GASKETS ON BOTH SIDES OF THE JOINT CONFORMING TO AND ASTM F477. SPLIT COLLAR COUPLERS ARE NOT ALLOWED. JOINTS SHALL BE WATERTIGHT MEETING THE PERFORMANCE REQUIREMENTS OF ASTM D3212.
- 13.3. CMP: JOINTS FOR CORRUGATED METAL PIPE SHALL BE MADE BY USE OF COUPLING BANDS. COUPLING BANDS SHALL BE OF THE SAME MATERIAL AS SPECIFIED FOR THE PIPE AND SHALL PREVENT INFILTRATION OF THE SIDE FILL MATERIAL. COUPLING BANDS SHALL BE CORRUGATED TO MATCH THE CORRUGATIONS OF THE PIPE TO BE JOINTED, AND SHALL INCLUDE TWO (2) "O" RING NEOPRENE GASKETS FOR EACH JOINT. DIMPLE BANDS SHALL NOT BE USED. JOINTS SHALL BE WRAPPED WITH A 3 FOOT (1 M) WIDE
- 13.4. PVC: JOINTS SHALL BE ASTM D3212, PUSH—ON TYPE. A JOINT IN WHICH AN ELASTOMERIC RING GASKET IS COMPRESSED IN THE ANNULAR SPACE BETWEEN A BELL END OR SOCKET AND A SPIGOT END OF PIPE.
- 14. THE CONTRACTOR SHALL EXPOSE THE EXISTING STORM SEWER AND STRUCTURES TO WHICH THE NEW WORK IS TO BE CONNECTED AND VERIFY THE EXACT VERTICAL AND HORIZONTAL LOCATIONS OF THE EXISTING SYSTEM. HE SHALL INFORM ENGINEER AS TO THE NECESSARY ADJUSTMENTS REQUIRED TO ALIGN THE NEW STORM SEWER WORK WITH THE EXISTING SYSTEM IF REQUIRED.
- 15. ALL CATCH BASIN STRUCTURES, SEE DETAIL THIS SHEET.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONNECT ALL BUILDING FOOTING DRAINS TO THE NEAREST DRAINAGE STRUCTURE, COORDINATE WITH ARCHITECTURAL PLANS.

17. TRENCH BACKFILL:

- 17.1. ALL PIPE THAT RUNS UNDER PAVEMENT, GRAVEL OR CONCRETE SURFACE AND WITHIN A 1 ON 1 INFLUENCE OF THE PAVEMENT, GRAVEL OR CONCRETE SURFACE TO RECEIVE 100% GRANULAR MATERIAL (SEE NOTE) COMPACTED TO A MINIMUM 95% OF THE MAXIMUM DRY DENSITY DETERMINED BY MODIFIED
- 17.2. ALL PIPE THAT RUNS OUTSIDE THE PAVED, GRAVEL OR CONCRETE SURFACE SHALL BE BACKFILLED IN MAX 12" LIFTS WITH SUITABLE NATIVE MATERIAL COMPACTED TO A MINIMUM 95% OF THE MAXIMUM DRY DENSITY DETERMINED BY MODIFIED PROCTOR TEST.

18. MATERIALS:

- 18.1. GRANULAR MATERIAL MDOT CLASS II SAND
- 18.2. OPEN GRADED AGGREGATE MDOT 6A OR AASHTO #57
- 18.3. DENSE GRADED AGGREGATE MDOT 22AA CRUSHED LIMESTONE

3101(1)	JL	. * * L \	31110010	INL IAD	' LL
STR. #	SIZE	RIM	INVERTS	NORTHING	EASTING
STORM CB #P1-1	48"	881.23	E 24" 876.89 NW 24" 876.89	354046.12	13270926.82
STORM CB #P1-2	48"	883.22	E 21" 878.45 W 24" 878.45	353951.56	13271304.97
STORM FES #P1-1	48"	874.58	SE 24" 869.40	354165.52	13270525.76
STORM FES #P1-2		875.71	NE 18" 873.50	354195.12	13270725.07
STORM FES #P1-5		878.54	SE 24" 876.33	354101.70	13270800.08
STORM FES #P1-6		883.17	W 21" 881.50	353951.60	13271563.79
STORM FES #P1-7		886.46	E 12" 884.79	354102.85	13272025.01
STORM FES #P1-8		886.67	W 12" 885.00	354102.85	13272073.01
STORM FES #P1-9		888.47	N 12" 886.80	354300.40	13271345.69
STORM FES #P1-10		888.73	S 12" 887.06	354349.40	13271345.99
STORM FES #P1-11		888.67	NE 12" 887.00	354269.21	13271465.01
STORM FES #P1-12		888.91	W 12" 887.25	354296.23	13271522.87
STORM FES #P1-13		889.05	S 12" 887.38	354350.27	13271505.56
STORM FES #P1-14		883.02	N 12" 881.35	354452.93	13271039.93
STORM FES #P1-15		884.20	S 12" 882.53	354577.97	13271087.35
STORM FES #P2-1	???"	878.08	NW 24" 875.33	353205.74	13271062.36
STORM FES #P2-2	???"	880.71	N 18" 878.50	353364.54	13270936.78
STORM FES #P2-3		885.63	N 12" 883.96	353494.34	13271055.40
STORM FES #P2-4		887.05	S 12" 885.38	353571.96	13271066.98
STORM FES #P2-5		890.07	NE 12" 888.40	353359.67	13271807.08
STORM FES #P2-6		890.23	SW 12" 888.57	353385.75	13271838.14
STORM MH #P1-1	48"	890.23	N 12" 887.19 E 12" 887.19 SW 12" 887.19	354297.27	13271505.55
STORM OCS #P1-1	48"	878.00	NW 24" 870.00	354106.99	13270621.60
STORM OCS #P1-2	36"	877.60	SW 18" 874.00	354224.11	13270764.48
STORM OCS #P2-1	48"	882.00	SE 24" 876.00	353326.75	13270998.00

-PLACE FRAME AND COVER,

AGENCY FOR CASTING

-EMBED CASTING IN 1"

-2 - 2" CONCRETE ADJ.

ROWS BED IN MORTAR

-1/2" CEMENT MORTAR

PLASTER COAT INSIDE

-PROVIDE RUBBER WATER

-MORTAR NON-SHIRNK

GROUT AROUND FULL

(INSIDE AND OUTSIDE)

-CB LEAD OR STORM

SEWER PER PLAN,

MAX. 18" DIA.

-6" CONCRETE

INTEGRAL BASE

-12" COMPACTED

TIGHT GASKET AT EACH

CIRCUMFERENCE OF PIPE

RINGS OR CONCRETE BRICK

PLANS/NOTES OR APPROVING

REFER TO UTILITY

INFORMATION.

MORTAR BED

AND OUTSIDE

JOINT

PROJECTION

INV. ELEV. -

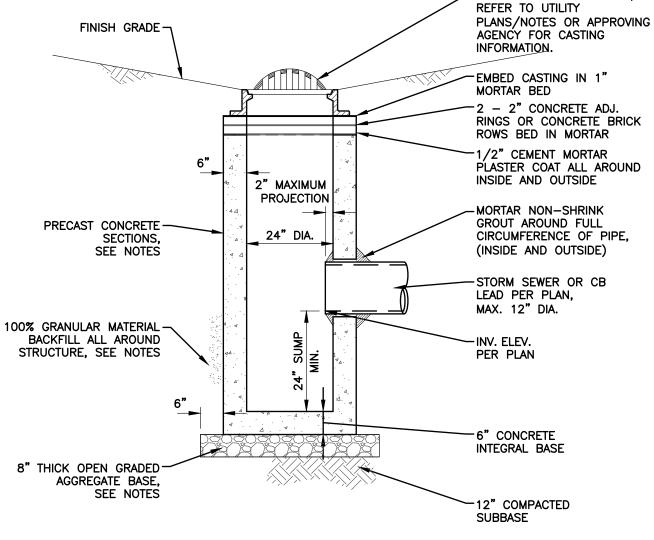
PER PLAN

36" DIA. CATCH BASIN DETAIL

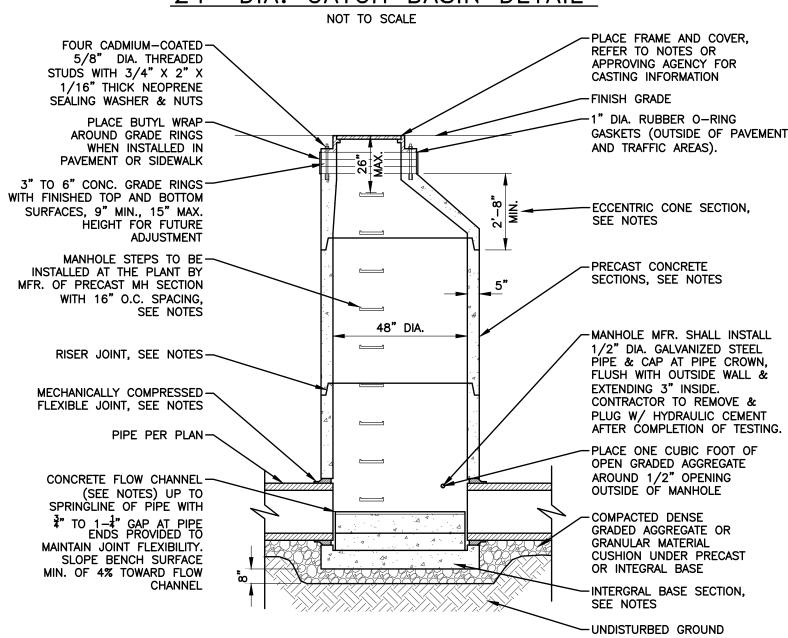
STORM SEWER STRUCTURE TABLE

SANITA	RY	SEWE	R STRUC	TURE T	ABLE
STR. #	SIZE	RIM	INVERTS	NORTHING	EASTING
EX. SAN MH #1	48"	889.56	SW 2" 884.50	354483.28	13271826.5
SAN MH #2	48"	889.10	S 8" 880.76 W 8" 880.66	354279.90	13271959.7
SAN MH #3	48"	888.42	N 8" 881.93	353986.27	13271959.7
SAN MH #4	48"	888.63	W 8" 878.07 E 8" 877.97 S 8" 879.17	354342.63	13271517.5
SAN MH #5	48"	885.50	S 8" 880.39 N 8" 880.29	354064.63	13271540.1
SAN MH #6	48"	887.88	S 8" 881.63 N 8" 881.53	353788.83	13271468.2
SAN MH #7	48"	892.23	E 8" 882.90 N 8" 882.80	353496.20	13271467.1
SAN MH #8	48"	890.81	SE 8" 883.96 W 8" 883.86	353434.96	13271700.1
SAN MH #9	48"	890.21	SE 8" 884.63 NW 8" 884.53	353344.43	13271810.1
SAN MH #10	48"	891.74	NW 8" 885.56 E 6" 885.80	353179.98	13271973.3
SAN MH #11	48"	888.01	W 8" 878.93 E 8" 878.83	354345.36	13271326.6
SAN MH #12	48"	887.29	SW 8" 879.59 E 8" 879.49 NW 8" 880.01	354330.41	13271188.5
SAN MH #13	48"	885.13	SW 8" 880.73 NE 8" 880.63	354201.75	13270961.5
SAN MH #14	48"	884.95	S 8" 881.83 NE 8" 881.73	353982.94	13270839.1
SAN MH #15	48"	887.46	SW 8" 883.08 N 8" 882.98	353695.01	13270828.7
SAN MH #16	48"	889.77	SW 8" 884.18 NE 8" 884.08	353494.37	13270681.6
SAN MH #17	48"	886.20	NW 8" 880.61 SE 8" 880.51	354475.47	13271108.2
SAN MH #18	48"	885.76	SE 8" 881.08	354561.84	13270978.9
SAN PS #1	48"	889.64	E 8" 879.82 W 8" 877.00 NE 2" 883.33	354344.48	13271758.9

PLACE FRAME AND COVER,



24" DIA. CATCH BASIN DETAIL



STANDARD SANITARY MANHOLE NOT TO SCALE



FINISH GRADE-

8" PRECAST CONCRETE PLACE AFTER-

TOP TO SECURE PROPER CASTING

ALIGNMENT WITH CURB OF REQ'D.

SETTING CATCH BASIN. ROTATE

PRECAST CONCRETE -

STRUCTURE W/ SECTIONS

100% GRANULAR MATERIAL -

STRUCTURE, SEE NOTES

8" THICK OPEN GRADED-

AGGREGATE BASE,

SEE NOTES

BACKFILL ALL AROUND

AS REQUIRED, SEE NOTES



Call before you dig.

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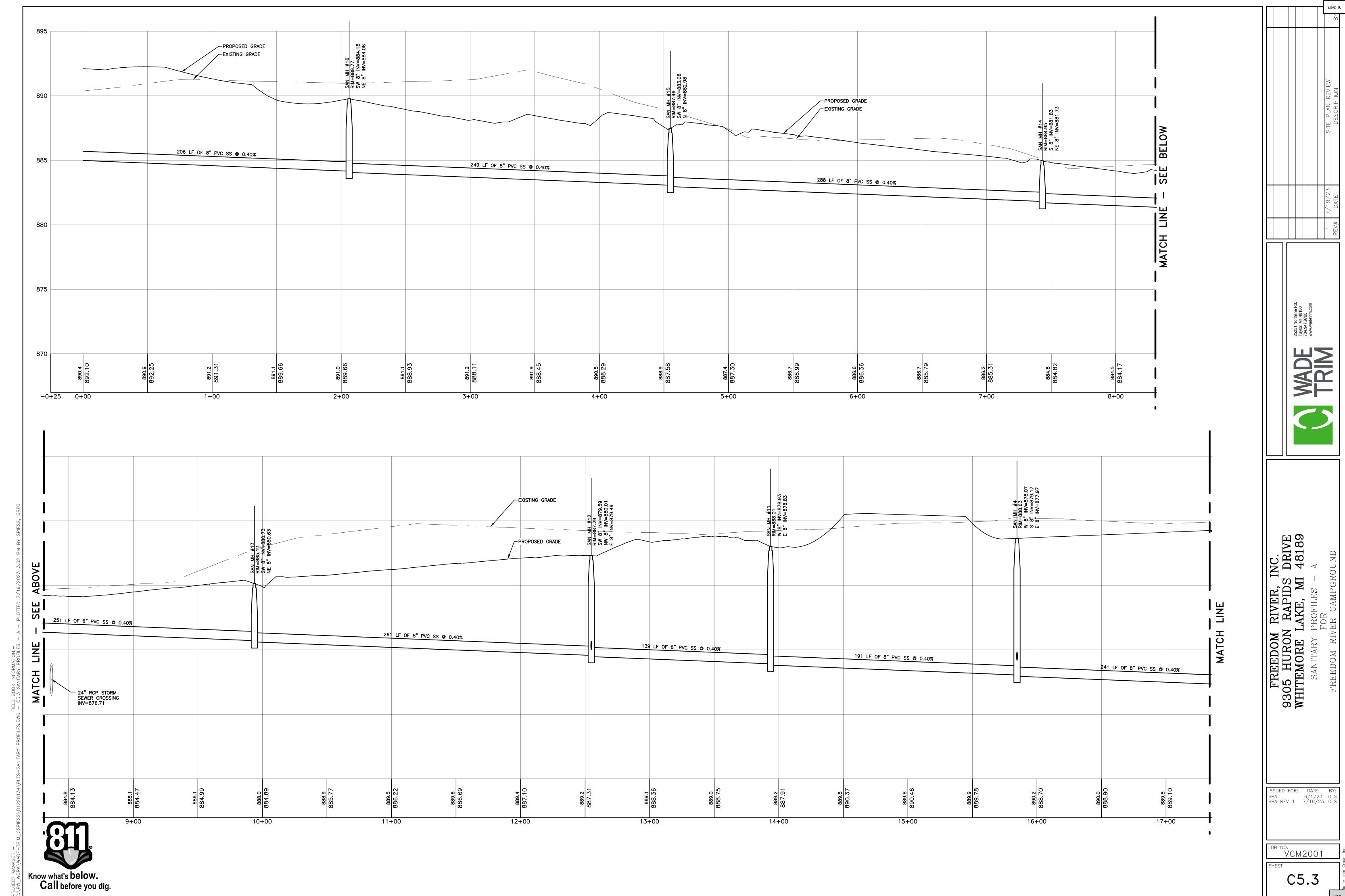
Item 9.

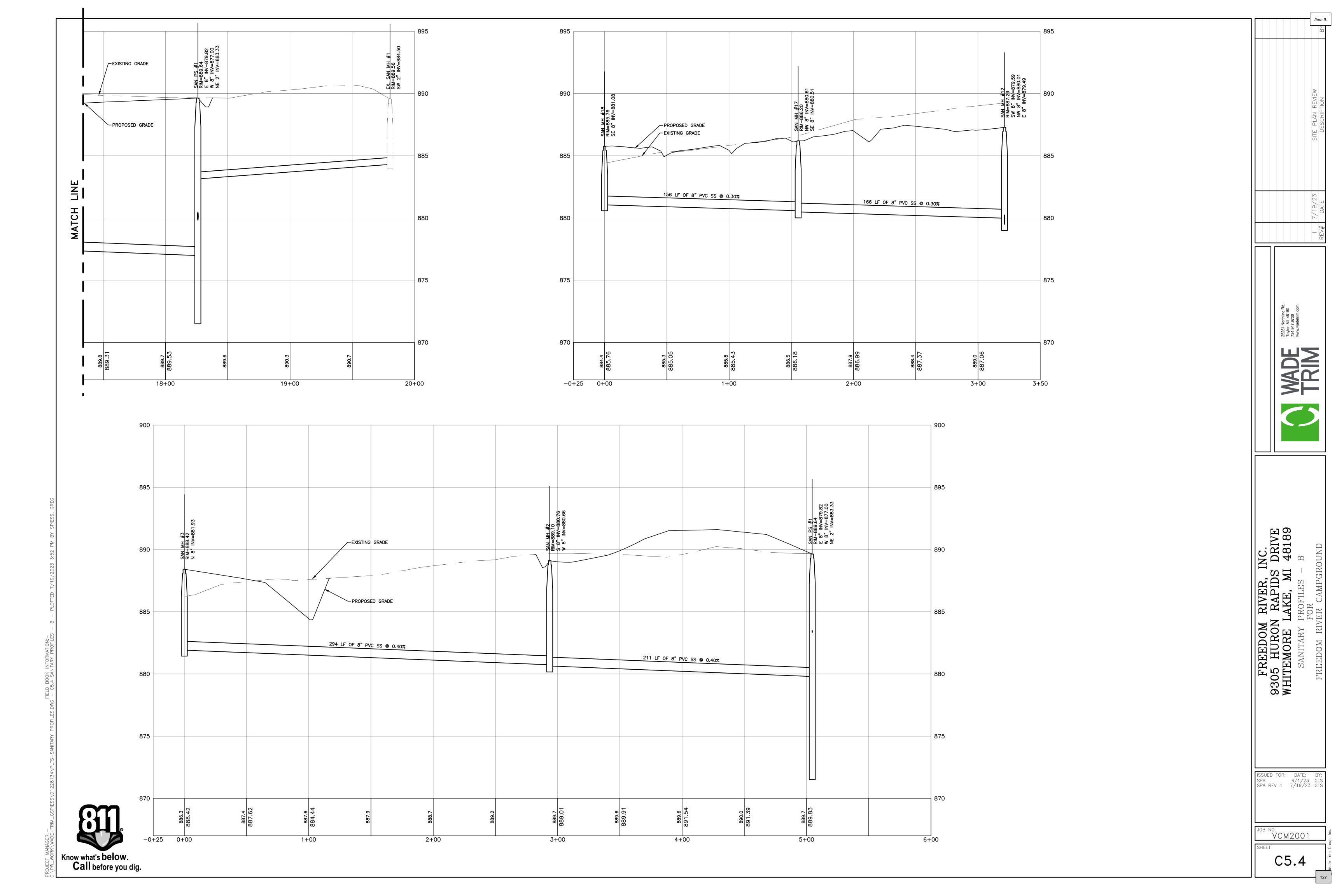
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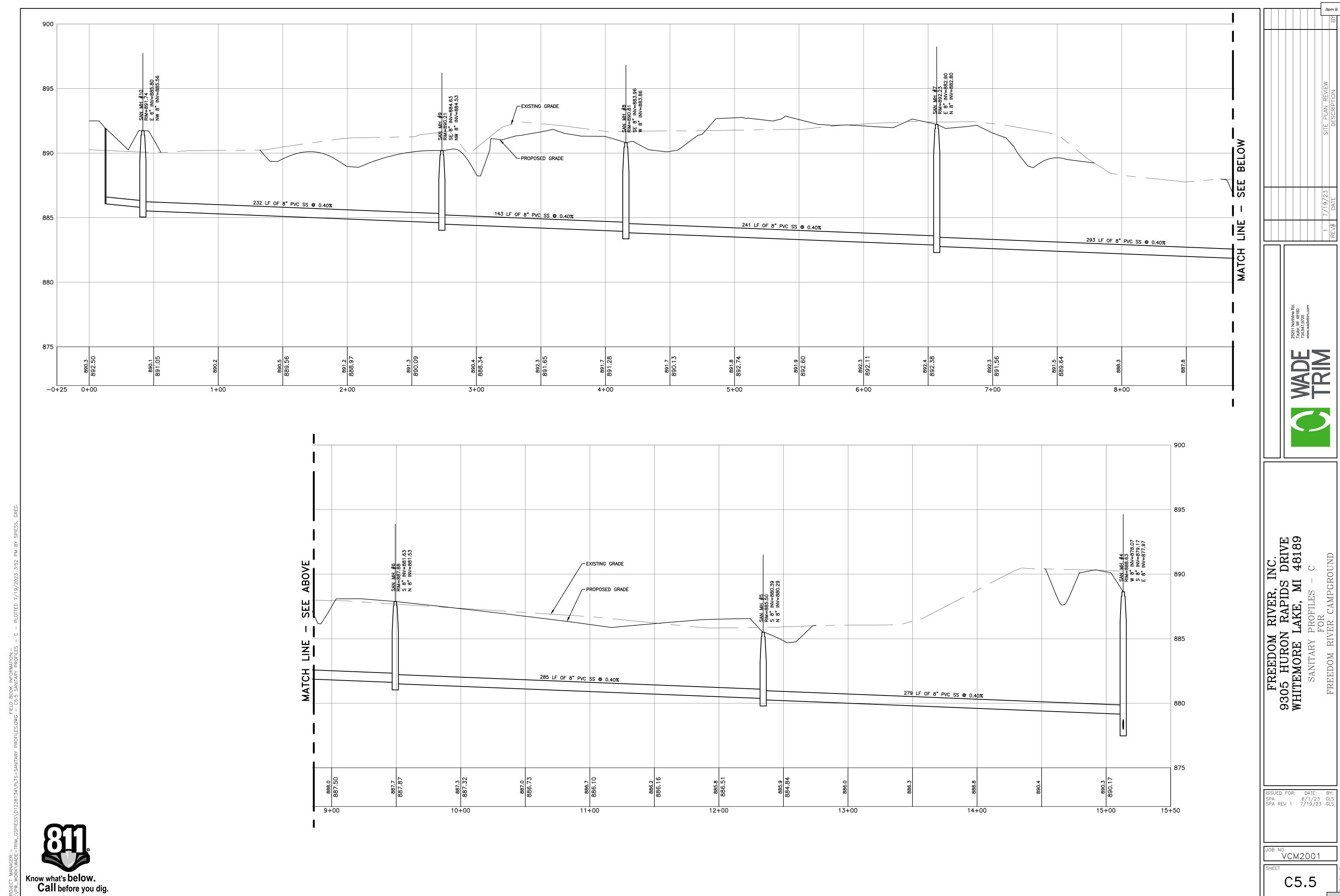
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SUED FOR: DATE:

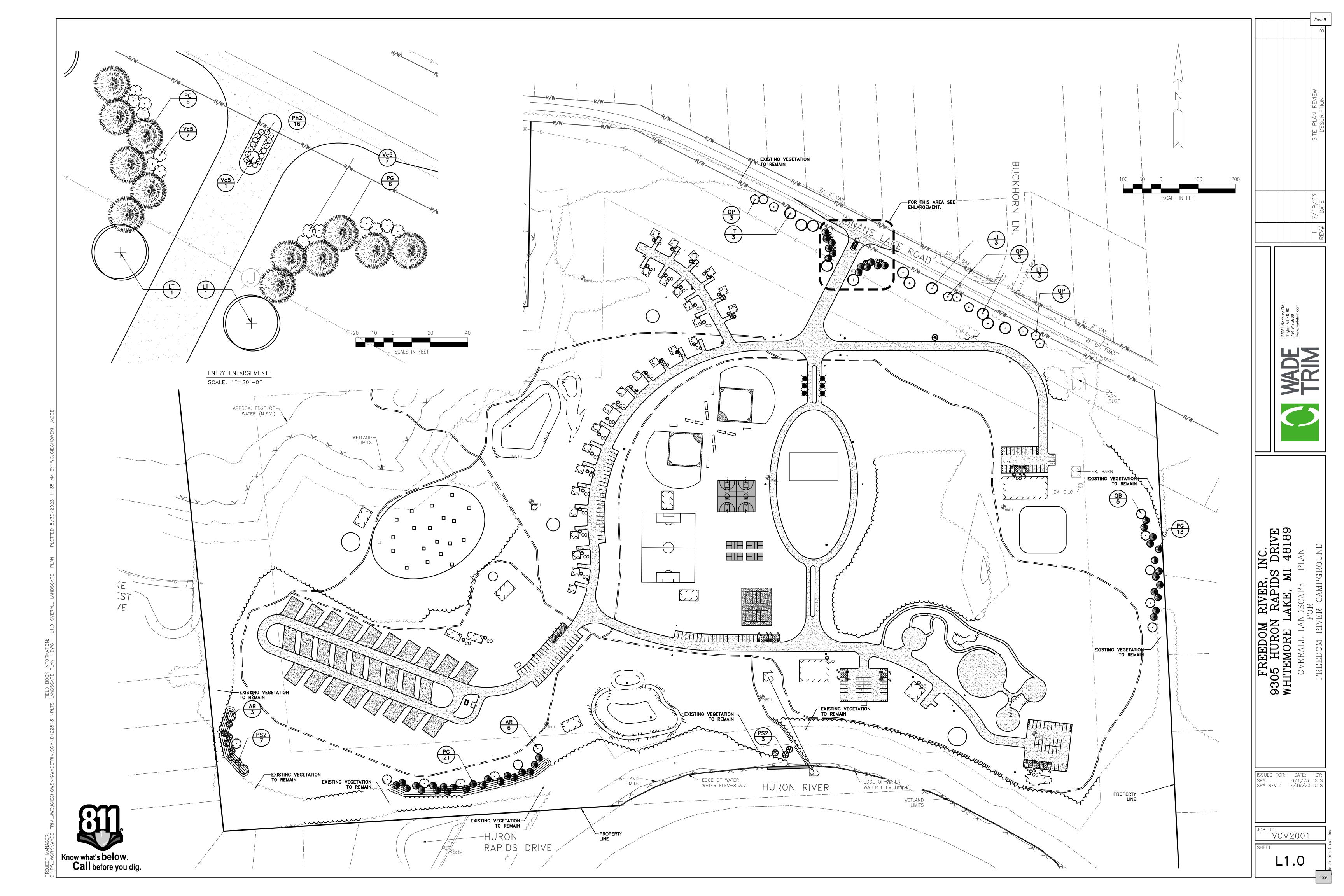
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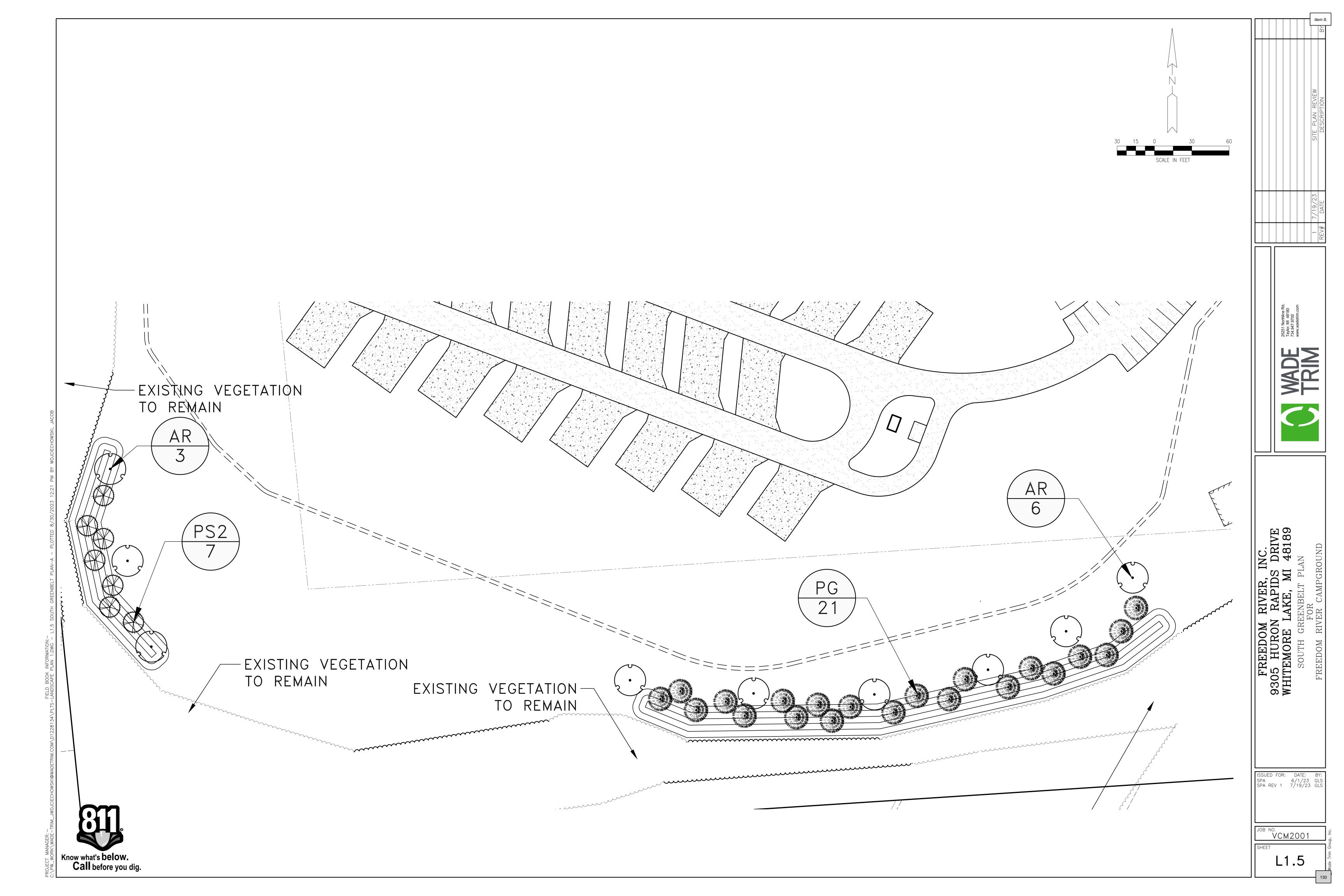






C5.5









10405 Merrill Road P.O. Box 157
Hamburg, MI 48139
(810) 231-1000
www.hamburg.mi.us

TO: Township Board of Trustees

FROM: Deby Henneman, Township Coordinator

DATE: August 30, 2023

AGENDA ITEM TOPIC: Grant – MNDR #TF22-0107 – Project Agreement for Bennett Park Renovations

and Huron River Water Trail Access
Number of Supporting Documents: 2

Requested Action

To move the Resolution to appropriate the funds necessary to complete the Bennett Park Renovations and Huron River Trail Access Project, in the amount of \$202,500 to match the grant authorized by the MDNR in the amount of \$300,000, and to authorize the Township Supervisor to execute the agreement.

Background

In April of 2022, the captioned grant was submitted, and funds were granted in December of 2022. This grant is for proposed upgrades to the play area, parking area, and trails, in Manly Bennett Park (West), as well as some upgrades for the access to the Huron River Water Trail.

The scope is detailed in the agreement under item #5, and must be signed and returned to the MDNR by 10/6/23 along with the requested attachments. All of the required documents have been included in the agreement for your review.





Michigan Natural Resources Trust Fund Development Project Agreement

This information is required by authority of Part 5 of Act 451, P.A. 1994 as amended, to receive funds.

This Agreement is between **Hamburg Township** in the county of **Livingston County**, hereinafter referred to as the "GRANTEE," and the MICHIGAN DEPARTMENT OF NATURAL RESOURCES, an agency of the State of Michigan, hereinafter referred to as the "DEPARTMENT." The DEPARTMENT has authority to issue grants to local units of government for the development of public outdoor recreation facilities under Part 19 of the Natural Resources and Environmental Protection Act, P.A. 451 of 1994, as amended and under Article IX, Section 35 of the Michigan Constitution. The GRANTEE has been approved by the Michigan Natural Resources Trust Fund (MNRTF) Board of Trustees (BOARD) to receive a grant. In Public Act **119 of 2023**, the Legislature appropriated funds from the MNRTF to the DEPARTMENT for a grant-in-aid to the GRANTEE.

The purpose of this Agreement is to provide funding in exchange for completion of the project named below. This Agreement is subject to the terms and conditions specified herein. Project Title: Bennett Park Renovations and Huron River Water Trail Access Project #: TF22-0107 **Grant Amount:** \$300,000.00 PROJECT TOTAL: \$502,500.00 Match Amount: \$202,500.00 40% _____ End Date: 08/31/2025 Start Date: Date of Execution by DEPARTMENT As a precondition to the effectiveness of the Agreement, the GRANTEE is required to sign the Agreement and return it to the DEPARTMENT with the required attachments by 10/06/2023 or the Agreement may be cancelled by the DEPARTMENT. This Agreement is not effective until the GRANTEE has signed it, returned it, and the DEPARTMENT has signed it. The Agreement is considered executed when signed by the DEPARTMENT. The individuals signing below certify by their signatures that they are authorized to sign this Agreement on behalf of their agencies, and that the parties will fulfill the terms of this Agreement, including any attached appendices, as set forth herein. **GRANTEE SIGNED** By [Print Name]: Title: Organization: **DUNS Number** CV0021775 SIGMA Vendor Number SIGMA Address ID MICHIGAN DEPARTMENT OF NATURAL RESOURCES **SIGNED** By: **Grants Section Manager**

PR1915 (Rev. 06/10/2020)

GRANTEE CONTACT

1. This Agreement shall be administered on behalf of the DEPARTMENT by the Grants Management Section within the Finance and Operations Division. All notices, reports, documents, requests, actions or other communications required between the DEPARTMENT and the GRANTEE shall be submitted through the department's online grant management system, MiGrants, which is accessed through www.michigan.gov/dnr-grants, unless otherwise instructed by the DEPARTMENT. Primary points of contact pertaining to this agreement shall be:

DEPARTMENT CONTACT

	
	MNRTF Grant Program Manager
Name/Title	Name/Title
	Grants Management/DNR Finance & Operations
Organization	Organization
	525 W. Allegan Street, Lansing, MI 48933
Address	Address
	P.O. Box 30425, Lansing, MI 48909
Address	Address
	517-284-7268
Telephone Number	Telephone Number
	DNR-Grants@michigan.gov
E-mail Address	E-mail Address

- 2. The legal description of the project area, boundary map of the project area, and the development grant application bearing the number TF22-0107 uploaded to MiGrants are by this reference made part of this Agreement. The Agreement together with the referenced documents in MiGrants constitute the entire Agreement between the parties and may be modified only in writing and executed in the same manner as the Agreement is executed.
- 3. The time period allowed for project completion is from 08/07/2023 through 08/31/2025, hereinafter referred to as the "project period." Requests by the GRANTEE to extend the project period shall be submitted in MiGrants before the expiration of the project period. Extensions to the project period are at the discretion of the DEPARTMENT and may only be extended by an amendment to this Agreement.
- 4. The words "project area" shall mean the land and area described in the uploaded legal description and shown on the uploaded boundary map.
- 5. The words "project facilities" shall mean the following individual components, as further described in the application.

Access Pathway 6' wide or more Bench(es) Canoe/Kayak Launch or Ramp Drinking Fountain(s) Landscaping Paved ADA Parking Space(s) Play Equipment Playground Safety Surfacing Rain Garden with Native Plants Signage Trail 8' wide or more

6. The DEPARTMENT will:

- a. grant to the GRANTEE a sum of money equal to Sixty percent (60%) of Five Hundred and Two Thousand Five
 Hundred dollars (\$502,500.00), which is the total eligible cost of construction of the project facilities including
 engineering costs, but in any event not to exceed Three Hundred Thousand dollars (\$300,000.00).
- b. grant these funds in the form of reimbursements to the GRANTEE for eligible costs and expenses incurred as follows:
 - i. Payments will be made on a reimbursement basis at **Sixty percent (60%)** of the eligible expenses incurred by the GRANTEE up to 90% of the maximum reimbursement allowable under the grant.
 - ii. Reimbursement will be made only upon DEPARTMENT review and approval of a complete reimbursement request submitted by the GRANTEE through the MiGrants website, including but not limited to copies of invoices, cancelled checks, EFTs, list of volunteer and/or force account time and attendance records.
 - iii. The DEPARTMENT shall conduct an audit of the project's financial records upon approval of the final reimbursement request by DEPARTMENT staff. The DEPARTMENT may issue an audit report with no deductions or may find some costs ineligible for reimbursement.
 - iv. The final 10% of the grant amount will be released upon completion of a satisfactory audit by the DEPARTMENT and documentation that the GRANTEE has erected an MNRTF sign in compliance with Section 7(j) of this Agreement.

7. The GRANTEE will:

- a. immediately make available all funds needed to incur all necessary costs required to complete the project and to provide Two Hundred and Two Thousand Five Hundred dollars (\$202,500.00) in local match. This sum represents Forty percent (40%) of the total eligible cost of construction including engineering costs. Any cost overruns incurred to complete the project facilities called for by this Agreement shall be the sole responsibility of the GRANTEE.
- with the exception of engineering costs as provided for in Section 8, incur no costs toward completion of the project facilities before execution of this Agreement and before DEPARTMENT approval of plans, specifications and bid documents.
- c. complete construction of the project facilities to the satisfaction of the DEPARTMENT and to comply with the development project procedures set forth by the DEPARTMENT in completion of the project, including but not limited to the following:
 - i. Retain the services of a professional architect, landscape architect, or engineer, registered in the State of Michigan to serve as the GRANTEE'S Prime Professional. The Prime Professional shall prepare the plans, specifications and bid documents for the project and oversee project construction.
 - ii. Within 180 days following execution of this Agreement by the GRANTEE and the DEPARTMENT and before soliciting bids or quotes or incurring costs other than costs associated with the development of plans, specifications, or bid documents, provide the DEPARTMENT with plans, specifications, and bid documents for the project facilities, sealed by the GRANTEE'S Prime Professional.
 - iii. Upon DEPARTMENT approval of plans, specifications and bid documents, openly advertise and seek written bids for contracts for purchases or services with a value equal to or greater than \$50,000 and accept the lowest qualified bid as determined by the GRANTEE'S Prime Professional.
 - iv. Upon DEPARTMENT approval of plans, specifications and bid documents, solicit three (3) written quotes for contracts for purchases or services between \$5,000 and \$50,000 and accept the lowest qualified bid as determined by the GRANTEE'S Prime Professional.
 - v. Maintain detailed written records of the contracting processes used and submit these records to the DEPARTMENT upon request.
 - vi. Complete construction to all applicable local, state and federal codes, as amended; including but not limited to the federal Americans with Disabilities Act (ADA) of 2010, as amended; the Persons with Disabilities Civil Rights Act, Act 220 of 1976, as amended; the Playground Equipment Safety Act, P.A. 16 of 1997, as amended; the Utilization of Public Facilities by Physically Limited Act, P.A. 1 of 1966, as amended; the Elliott-Larsen Civil Rights Act, Act 453 of 1976, as amended; and the 2013 Access Board's Final Guidelines for Outdoor Developed Areas.
 - vii. Bury all new utilities within the project area.
 - viii. Correct any deficiencies discovered at the final inspection within 90 days of written notification by the DEPARTMENT. These corrections shall be made at the GRANTEE'S expense and are eligible for reimbursement at the discretion of the DEPARTMENT and only to the degree that the GRANTEE'S prior

expenditures made toward completion of the project are less than the grant amount allowed under this Agreement.

- d. operate the project facilities for a minimum of their useful life as determined by the DEPARTMENT, to regulate the use thereof to the satisfaction of the DEPARTMENT, and to appropriate such monies and/or provide such services as shall be necessary to provide such adequate maintenance.
- e. provide to the DEPARTMENT for approval, a complete tariff schedule containing all charges to be assessed against the public utilizing the project area and/or any of the facilities constructed thereon, and to provide to the DEPARTMENT for approval, all amendments thereto before the effective date of such amendments. Preferential membership or annual permit systems are prohibited on grant-assisted sites, except to the extent that differences in admission and other fees may be instituted on the basis of residence. Nonresident fees shall not exceed twice that charged residents. If no resident fees are charged, nonresident fees may not exceed the rate charged residents at other comparable state and local public recreation facilities.
- f. adopt such ordinances and/or resolutions necessary to effectuate the provisions of this Agreement; certified copies of all such ordinances and/or resolutions adopted for such purposes shall be forwarded to the DEPARTMENT before the effective date thereof.
- g. separately account for any revenues received from the project area which exceed the demonstrated operating costs and to reserve such surplus revenues for the future maintenance and/or expansion of the GRANTEE'S park and outdoor recreation program.
- h. furnish the DEPARTMENT, upon request, detailed statements covering the annual operation of the project area and/or project facilities, including income and expenses and such other information the DEPARTMENT might reasonably require.
- maintain the premises in such condition as to comply with all federal, state, and local laws which may be applicable, and to make any and all payments required for all taxes, fees, or assessments legally imposed against the project area.
- j. erect and maintain a sign on the property which designates this project as one having been constructed with the assistance of the MNRTF. The size, color and design of this sign shall be in accordance with DEPARTMENT specifications.
- k. conduct a dedication/ribbon-cutting ceremony as soon as possible after the project is completed and the MNRTF sign is erected within the project area. At least 30 days prior to the dedication/ribbon-cutting ceremony, the DEPARTMENT must be notified in writing of the date, time, and location of the dedication/ribbon-cutting ceremony. GRANTEE shall provide notice of ceremony in the local media. Use of the grant program logo and a brief description of the program are strongly encouraged in public recreation brochures produced by the GRANTEE. At the discretion of the DEPARTMENT, the requirement to conduct a dedication/ribbon-cutting ceremony may be waived.
- 8. Only eligible costs and expenses incurred toward completion of the project facilities after execution of the Project Agreement shall be considered for reimbursement under the terms of this Agreement. Eligible engineering costs incurred toward completion of the project facilities beginning January 1, 2023 and throughout the project period are also eligible for reimbursement. Any costs and expenses incurred after the project period shall be the sole responsibility of the GRANTEE.
- 9. To be eligible for reimbursement, the GRANTEE shall comply with DEPARTMENT requirements. At a minimum, the GRANTEE shall:
 - a. Submit a progress report every 180 days during the project period.
 - b. Submit complete requests for partial reimbursement when the GRANTEE is eligible to request at least 25 percent of the grant amount and construction contracts have been executed or construction by force account labor has begun.
 - c. Submit a complete request for final reimbursement within 90 days of project completion and no later than 11/30/2025. If the GRANTEE fails to submit a complete final request for reimbursement by 11/30/2025, the DEPARTMENT may audit the project costs and expenses and make final payment based on documentation on file as of that date or may terminate this Agreement and require full repayment of grant funds by the GRANTEE.
- 10. During the project period, the GRANTEE shall obtain prior written authorization from the DEPARTMENT before adding, deleting or making a significant change to any of the project facilities as proposed. Approval of changes is solely at the discretion of the DEPARTMENT. Furthermore, following project completion, the GRANTEE shall obtain prior written authorization from the DEPARTMENT before implementing a change that significantly alters the project facilities as constructed and/or the project area, including but not limited to discontinuing use of a project facility or making a significant change in the recreational use of the project area. Changes approved by the DEPARTMENT pursuant to this Section may also require prior approval of the BOARD, as determined by the DEPARTMENT.

- **11.** All project facilities constructed or purchased by the GRANTEE under this Agreement shall be placed and used at the project area and solely for the purposes specified in the application and this Agreement.
- 12. The project area and all facilities provided thereon, as well as the land and water access ways to them, shall be open to the general public at all times on equal and reasonable terms. No individual shall be denied ingress or egress thereto or the use thereof because of sex, race, color, religion, national origin, residence, age, height, weight, familial status, marital status, or disability.
- 13. Unless an exemption has been authorized by the DEPARTMENT pursuant to this Section, the GRANTEE hereby represents that it possesses fee simple title, free of all liens and encumbrances, to the project area. The fee simple title shall not be subject to: 1) any possibility of reversion or right of entry for condition broken or any other executory limitation which may result in defeasance of title or 2) to any reservation or prior conveyance of coal, oil, gas, sand, gravel or other mineral interests. For any portion of the project area that the GRANTEE does not possess in fee simple title, the GRANTEE hereby represents that it has:
 - a. Received an exemption from the DEPARTMENT before the execution of this Agreement, and
 - Received prior approval from the DEPARTMENT of a lease and/or easement for any portion of the property not held in fee simple title as indicated in written correspondence from the DEPARTMENT dated

 , and
 - c. Supplied the DEPARTMENT with an executed copy of the approved lease or easement, and
 - d. Confirmed through appropriate legal review that the terms of the lease or easement are consistent with GRANTEE'S obligations under this Agreement and will not hinder the GRANTEE'S ability to comply with all requirements of this Agreement. In no case shall the lease or easement tenure be less than 20 years from the date of execution of this Agreement.
- **14.** The GRANTEE shall not allow any encumbrance, lien, security interest, mortgage or any evidence of indebtedness to attach to or be perfected against the project area or project facilities included in this Agreement.
- 15. None of the project area, nor any of the project facilities constructed under this Agreement, shall be wholly or partially conveyed in perpetuity, either in fee, easement or otherwise, or leased for a term of years or for any other period, nor shall there be any whole or partial transfer of the lease title, ownership, or right of maintenance or control by the GRANTEE except with the written approval and consent of the DEPARTMENT. The GRANTEE shall regulate the use of the project area to the satisfaction of the DEPARTMENT.
- **16.** The assistance provided to the GRANTEE as a result of this Agreement is intended to have a lasting effect on the supply of outdoor recreation, scenic beauty sites, and recreation facilities beyond the financial contribution alone and permanently commits the project area to Michigan's outdoor recreation estate, therefore:
 - a. The GRANTEE agrees that lands in the project area are being acquired with MNRTF assistance and shall be maintained in public outdoor recreation use in perpetuity. No portion of the project area shall be converted to other than public outdoor recreation use without the approval of the DEPARTMENT. The DEPARTMENT shall approve such conversion only upon such conditions as it deems necessary to assure the substitution by GRANTEE of other outdoor recreation properties of equal or greater market value and of reasonably equivalent usefulness and location. Such substituted land shall become part of the project area and will be subject to all the provisions of this Agreement.
 - b. Approval of a conversion shall be at the sole discretion of the DEPARTMENT.
 - c. Before completion of the project, the GRANTEE and the DEPARTMENT may mutually agree to alter the project area through an amendment to this Agreement to provide the most satisfactory public outdoor recreation area.
- 17. Should title to the lands in the project area or any portion thereof be acquired from the GRANTEE by any other entity through exercise of the power of eminent domain, the GRANTEE agrees that the proceeds awarded to the GRANTEE shall be used to replace the lands and project facilities affected with outdoor recreation lands and project facilities of equal or greater market value, and of equal or greater usefulness and location. The DEPARTMENT and BOARD shall approve such replacement only upon such conditions as it deems necessary to assure the replacement by GRANTEE of other outdoor recreation properties and project facilities of equal or greater market value and of equal or greater usefulness and location. Such replacement land shall be subject to all the provisions of this Agreement.

18. The GRANTEE acknowledges that:

- a. The GRANTEE has examined the project area and has found the property safe for public use or actions will be taken by the GRANTEE before beginning the project to assure safe use of the property by the public, and
- The GRANTEE is solely responsible for development, operation, and maintenance of the project area and project facilities, and that responsibility for actions taken to develop, operate, or maintain the property is solely that of the GRANTEE, and
- c. The DEPARTMENT'S involvement in the premises is limited solely to the making of a grant to assist the GRANTEE in developing the project site.
- **19.** The GRANTEE assures the DEPARTMENT that the proposed State-assisted action will not have a negative effect on the environment and, therefore, an Environmental Impact Statement is not required.
- 20. The GRANTEE hereby acknowledges that this Agreement does not require the State of Michigan to issue any permit required by law to construct the outdoor recreational project that is the subject of this Agreement. Such permits include, but are not limited to, permits to fill or otherwise occupy a floodplain, and permits required under Parts 301 and 303 of the Natural Resources and Environmental Protection Act, Act 451 of the Public Acts of 1994, as amended. It is the sole responsibility of the GRANTEE to determine what permits are required for the project, secure the needed permits and remain in compliance with such permits.
- 21. Before the DEPARTMENT will approve plans, specifications, or bid documents; or give approval to the GRANTEE to advertise, seek quotes, or incur costs for this project, the GRANTEE must provide documentation to the DEPARTMENT that indicates either:
 - a. It is reasonable for the GRANTEE to conclude, based on the advice of an environmental consultant, as appropriate, that no portion of the project area is a facility as defined in Part 201 of the Michigan Natural Resources and Environmental Protection Act, Act 451 of the Public Acts of 1994, as amended;
 - b. If any portion of the project area is a facility, documentation that Department of Environment, Great Lakes and Energy-approved response actions have been or will be taken to make the site safe for its intended use within the project period, and that implementation and long-term maintenance of response actions will not hinder public outdoor recreation use and/or the resource protection values of the project area.
- 22. If the DEPARTMENT determines that, based on contamination, the project area will not be made safe for the planned recreation use within the project period, or another date established by the DEPARTMENT in writing, or if the DEPARTMENT determines that the presence of contamination will reduce the overall usefulness of the property for public recreation and resource protection, the grant may be cancelled by the DEPARTMENT with no reimbursement made to the GRANTEE.
- 23. The GRANTEE shall acquire and maintain insurance which will protect the GRANTEE from claims which may arise out of or result from the GRANTEE'S operations under this Agreement, whether performed by the GRANTEE, a subcontractor or anyone directly or indirectly employed by the GRANTEE, or anyone for whose acts may hold them liable. Such insurance shall be with companies authorized to do business in the State of Michigan in such amounts and against such risks as are ordinarily carried by similar entities, including but not limited to public liability insurance, worker's compensation insurance or a program of self-insurance complying with the requirements of Michigan law. The GRANTEE shall provide evidence of such insurance to the DEPARTMENT at its request.
- **24.** Nothing in this Agreement shall be construed to impose any obligation upon the DEPARTMENT to operate, maintain or provide funding for the operation and/or maintenance of any recreational facilities in the project area.
- **25.** The GRANTEE hereby represents that it will defend any suit brought against either party which involves title, ownership, or any other rights, whether specific or general rights, including appurtenant riparian rights, to and in the project area of any lands connected with or affected by this project.
- **26.** The GRANTEE is responsible for the use and occupancy of the premises, the project area and the facilities thereon. The GRANTEE is responsible for the safety of all individuals who are invitees or licensees of the premises. The GRANTEE will defend all claims resulting from the use and occupancy of the premises, the project area and the facilities thereon. The DEPARTMENT is not responsible for the use and occupancy of the premises, the project area and the facilities thereon.

- 27. Failure by the GRANTEE to comply with any of the provisions of this Agreement shall constitute a material breach of this Agreement.
- 28. Upon breach of the Agreement by the GRANTEE, the DEPARTMENT, in addition to any other remedy provided by law, may:
 - a. Terminate this Agreement; and/or
 - b. Withhold and/or cancel future payments to the GRANTEE on any or all current recreation grant projects until the violation is resolved to the satisfaction of the DEPARTMENT; and/or
 - c. Withhold action on all pending and future grant applications submitted by the GRANTEE under the Michigan Natural Resources Trust Fund, Land and Water Conservation Fund and Recreation Passport Grant Program; and/or
 - d. Require repayment of grant funds already paid to GRANTEE; and/or
 - e. Require specific performance of the Agreement.
- 29. This Agreement may be canceled by the DEPARTMENT, upon 30 days written notice, due to Executive Order, budgetary reduction, other lack of funding, upon request by the GRANTEE, or upon mutual agreement by the DEPARTMENT and GRANTEE. The DEPARTMENT may honor requests for just and equitable compensation to the GRANTEE for all satisfactory and eligible work completed under this Agreement up until 30 days after written notice, upon which time all outstanding reports and documents are due to the DEPARTMENT and the DEPARTMENT will no longer be liable to pay the GRANTEE for any further charges to the grant.
- 30. The GRANTEE agrees that the benefit to be derived by the State of Michigan from the full compliance by the GRANTEE with the terms of this Agreement is the preservation, protection and net increase in the quality of public outdoor recreation facilities and resources which are available to the people of the State and of the United States and such benefit exceeds to an immeasurable and unascertainable extent the amount of money furnished by the State of Michigan by way of assistance under the terms of this Agreement. The GRANTEE agrees that after final reimbursement has been made to the GRANTEE, repayment by the GRANTEE of grant funds received would be inadequate compensation to the State for any breach of this Agreement. The GRANTEE further agrees therefore, that the appropriate remedy in the event of a breach by the GRANTEE of this Agreement after final reimbursement has been made shall be the specific performance of this Agreement.
- **31.** The GRANTEE shall return all grant money if the project area or project facilities are not constructed, operated or used in accordance with this Agreement.
- 32. The GRANTEE agrees not to discriminate against an employee or applicant for employment with respect to hire, tenure, terms, conditions, or privileges of employment, or a matter directly or indirectly related to employment, because of religion, race, color, national origin, age, sex, sexual orientation, height, weight, marital status, partisan considerations, or a disability or genetic information that is unrelated to the person's ability to perform the duties of a particular job or position. The GRANTEE further agrees that any subcontract shall contain non-discrimination provisions which are not less stringent than this provision and binding upon any and all subcontractors. A breach of this covenant shall be regarded as a material breach of this Agreement.
- **33.** The DEPARTMENT shall terminate this Agreement and recover grant funds paid if the GRANTEE or any subcontractor, manufacturer, or supplier of the GRANTEE appears in the register compiled by the Michigan Department of Licensing and Regulatory Affairs pursuant to Public Act No. 278 of 1980.
- **34.** The GRANTEE may not assign or transfer any interest in this Agreement without prior written authorization of the DEPARTMENT.
- **35.** The rights of the DEPARTMENT under this Agreement shall continue in perpetuity.

If this Agreement is approved by Resolution, a true copy must be attached to this Agreement. A sample Resolution is on the

SAMPLE RESOLUTION (Development)

	Upon motion made by		, seconded by	, the
followir	ng Resolution was adopted:			
Agreer	"RESOLVED, that the ment as received from the Michiga d	an Department of Natu	iral Resources, and that the	
1.	To appropriate all funds necessary DEPARTMENT.			-
2.	To maintain satisfactory financia		s, and records to make them	ı available to the
3.	To construct the project and proterms of said Agreement.	vide such funds, servi	ces, and materials as may b	e necessary to satisfy the
4.	To regulate the use of the facility the public on equal and reasons		erved under this Agreement	o assure the use thereof by
5.	To comply with any and all term portions of this Resolution."	s of said Agreement in	cluding all terms not specific	ally set forth in the foregoing
	lowing aye votes were recorded: lowing nay votes were recorded:			
	OF MICHIGAN)			
COUN	TY OF)			
that the	e above is a true and correct copy I Resources, which Resolution w	of the Resolution rela	tive to the Agreement with t	he Michigan Department of
			Signature	
			Title	

Date

RESOLUTION #230803

MICHIGAN NATURAL RESOURCES TRUST FUND DEVELOPMENT PROJECT AGREEMENT #TF22-0107 BENNETT PARK RENOVATIONS AND HURON RIVER WATER TRAIL ACCESS PROJECT

At a regular meeting of the Board of Trustees of the Township of Hamburg, Livingston County, State of Michigan, held at the Hamburg Township Hall on September 5, 2023 at 2:30 p.m., there were:

ABSENT:
PRESENT:
And upon motion made by, supported by, the following Resolution was adopted:
RESOLVED , that Hamburg Township, Michigan, does hereby accept the terms of the Agreement as received from the Michigan Department of Natural Resources (Department), and that Hamburg Township does hereby specifically agree, but not by way of limitation, as follows:
 To appropriate all funds necessary to complete the project during the project period and to provide: Two hundred and two thousand, five hundred (\$202,500) dollars to match the grant authorized by the DEPARTMENT.
To maintain satisfactory financial accounts, documents, and records to make them available to the DEPARTMENT for auditing at reasonable times.
To construct the project and provide such funds, services, and materials as may be necessary to satisfy the terms of said Agreement.
 To regulate the use of the facility constructed and reserved under this Agreement to assure the use thereof by the public on equal and reasonable terms.
To comply with any and all terms of said Agreement including all terms not specifically set forth in the foregoing portions of this Resolution.
Upon a roll call vote of the Board, the following voted:
AYES:
NAYS:

Bennett Park Renovations and Huron River Water Trail Access Project Resolution was Declared:
CERTIFICATION
I, Mike Dolan, being the duly elected Clerk of the Township of Hamburg, Livingston County, Michigan, hereby certify that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board, and the vote taken thereon, at the meeting described in the introductory paragraph, at which time a quorum was present and remained throughout; (2) the original of such resolution is on file in the Clerk's office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended) and (4) minutes of such meeting were kept and have been or will be made available as required thereby.
Mike Dolan

Hamburg Township Clerk



West Bennett Park

26-100-012

Prior Parcel ID:

26-100-023

Was split on 3/8/2017

INFORMATION LAST UPDATED ON: 05-01 2019
HAMBURG TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

Parcel ID: 4715-26-100-012

Property Address: 10446 MERRILL RD

Photo of this property is not available.

ENLARGED PHOTO: Click here. **8BUILDING SKETCH:** Click here.

Legal Description: SEC 26/27 T1N R5E COM AT PT ONE LN 640.20 FT S OF NE COR SAID SEC TH W 400 FT TO HURON RIVER TH SLY ALG RIVER TO INTER EW 1/4 OF SAID SEC TH E ALG SAID 1/4 LINE TO PT 242.22 FT W OF E 1/4 COR OF SEC 27 TH S 1320 FT THE ALG 1/4 LINE OF SE 1/4 OF SEC 27 & SW 1/4 OF SEC 26 TO PT ON CL MERRILL RD SAID POINT BEING 1299 FT S OF E/W 1/4 LINE OF SEC 26 TH N 01*25'40"W 2768 FT ALG CL SAID RD TO S ROW LINE AARR TH CONT N 03*00'00"W 452.45 FT ALG SAID CL TH S 86*45'00"W TON END OF DITCH SAID POINT BEINGS 82*45'00"E 1015.74 FT FROM POB TH N 82*45'00"W 1015.74 FT TO POB EXC ROW OF AARR & GTWRR 180.32 AC SPLIT FROM 010 4/80 Split on 03/08/2017 with 4715-27-400-032, 4715-27-400-039, 4715-26-100-005, 4715-22-400-003 into 4715-26-100-023;

Acreage: 180.00 Acres

Zoning: RA

Parcel Number: 471	5-26-100-023	Jurisdictio	n: HAMBURG T	DWNSHIP		County: LIVINGSTON	Prin	ted on	0. Item 10.
Grantor	Grantee		Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Pren: Trans
Property Address		Class: RES	IDENTIAL-VACAN	lzoning:	ra B	uilding Permit(s)	Date	Number	Status
10446 MERRILL RD		School: PI	NCKNEY COMMUNI	TY SCHOOLS	0	ther	06/15/2019	PLUP19-0267	CLOSED
		P.R.E. ()%						
Owner's Name/Address	3	MAP #: 180	AC WEST FIELD)					
HAMBURG TOWNSHIP				2022 Est	TCV 0				
P.O. BOX 157 10405 MERRILL		Improve	ed IX!Vacant	Land Va	alue Esti	mates for Land Tabl	e 47080.PINCKNEY METH	ES & BOUNDS	
HAMBURG MI 48139 Tax Description		Public Improve:	ad	Descrip	otion :		Factors * ont Depth Rate %Adg al Acres Total Est	j. Reason c. Land Value =	Value 0
SEC 26/27 T1N R5E C TH N 03*34'54"W 132 34*55'28"W 412.89 F 321.04 FT TH S 87*4 33*48'59"E 923.76 F FT TH N 02*20'21"W 86*53'27"W 1025.22 CONT S 86*53'27"W 70	1'59"W 680 FT TH N T TH N 86*58'49"E 135 1240.65 FT TH S FT TO TRAV PT A TH D FT TO ELY WTRS EDGE ALG ELY WTRS EDGE 2750 ANN ARBOR RR TH S		oad ewer k c Lights d Utilities	Descrip Gazeboo Dock: I Fencing Ad-Hoc Descrip	otion (s): Sta Light pil g: Wire M Unit-In-	ings Tesh, #9 Place Items	Rate 5,641.92 41.79 3.29 Rate 1.00 Improvements True	Size % Good 1 90 7920 66 1100 81 Size % Good 80000 100 Cash Value=	Cash Valu 5,07 218,44 2,93 Cash Valu 80,00 306,45
56*28'25"E 960.90 F 61*35'43"E 1029.25 1084.93 FT TH ALG C 02*26'09"E 662.93 F 1517.49 FT TH S 03*	T TH ALG CHD BRG S FT TH S66*42'58"E L MERRILL RDS	Topogra Site Level Rolling Low							

2019

03/08/2017 Susan	OWNERS REQUEST;
Parent Parcel(s):	4715-26-100-012,
4715-27-400-032,	4715-27-400-039,

4715-27-400-032, 4715-27-400-039, 4715-26-100-005, 4715-22-400-003; Child Parcel(s): 4715-26-100-023;

Split/Comb. on 03/08/2017 completed

AC SPLIT FROM 010 4/80 SPLIT/COMB

4715-27-400-032, 4715-27-400-039,

4715-26-100-005, 4715-22-400-003

03/08/2017 FROM 15-26-100-012,

Comments/Influences

The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Hamburg, County of Livingston, Michigan

Ravine Wetland								
	od Plain		Year	Land Value	_			Taxabl Valu
)	When	What	2022	EXEMPT	EXEMPT	EXEMPT		EXEMP
			2021	0	0	0		
			2020	0	0	0		

^{***} Information herein deemed reliable but not guaranteed***

High

Swamp

Pond Waterfront

Who

Wooded

Landscaped

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WARRANTY DEED

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	STATVTOIIY I'OfIM FOII CottPC>ftATION	
1	ICIJOW ALL MEN ar THESE RESENTS: n., Huron-Clinton Metropolitan Authorfty, A Public Bo	ody
,-1 ,-;	•-3050 Penobscot Building, Detroit, Michigan 48226	
ua c>	anclwnts ownship of Harilhurg, A Michigan Municipal Corporation	
	m.et	
CD en	111e Wlawinc offcribed pc-emnes atuated tile Township of Hamburg County of Livingston S. Sc.caoll6chicaa.tD-wit:	
	A parcel of land in Section 26, Town 1 North, Range 5 East, being that part East of Merrill Road and bounded on the North by the South Right of Way line of the Ann Arbor Railroad and on the South by a drainage ditch that runs Northeasterly and 110re particularly described as follows: Beginning at the intersection of the South Right of Way line of said Ann Arbor Railroad and the centerlin of Merrill Road, thence South 01 degrees 25 minutes 40 seconds East 2948 feet along centerline of said Road to center of a ditch running East and West, said Point being South 01 degrees 25 minutes 40 seconds East 22 chains 41 links (1479.06 feet) from the (legal Description Continued on Reverse S ide of Deed) with aD and sidicular the to bereditamello and appurtenances thereunto belooking or in anywise appertaining.	>
u Z ii	0 1 1 1 1 1 1 1 1	"" -< 0 E
•., •., •., Z	(1) legal Easements and legal Restrictions of Record• (2) Recreation and Pllnicipal Use Only	1 2 !! >
Z u	of the ,nee of: ayef February Signed by:	
i	HURON-CLINTON METROPOLITAN AUTHORITY // HURON-CLINTON METROPOLITAN AUTHORITY // // // // // // // // // // // // //	> Z Z iii.
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C	"80 .,, T homas S. Ve l s h; C ha 1 'nnan an d R o b e r t L . B r=y a n (Individual Name(s) and Office(s) Held)	la
0 a: :>	Secretary Huron-Clinton Metropolitan (Corporate Name)	$\overset{>}{\underset{\parallel}{\mathbf{Z}}}$
	Authority M_1 C_h i, ga n MrpOntion. on behalf c,I the cocporation. (Sta a/ laxporatioo)	1 \
	cm.inioa «xpires August 25. 1•. ;VO¹⁄₄' a, t Sa ¥'to	ınd)
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City Treaunr •• Ce,ti/icate

Item 10.

{Acting in Livingston County)

-."hie:-. Re Drafted by: O. G. BeemReturn To: 3050 Penobscot Bldg. Detroit, Mich 48226 Businns Address Grantee _____ <u>Fa.e,</u>

<u>Revenue Stamps</u> <u>Exempt</u>

M.S A. 7.456 Sec. 5 (L) (i)

«> CD c:,

1

East and West 1/4 l ne of said Section 26; thence Easterly along said ditch North 88 degrees 00 minutes East 11 chains {726.00 feet); thence North 66 degrees 00 minutes East 4 chains 12 links {271.92 feet); thence South 65 degrees 00 minutes East 8 chains 60 links (567.60 feet); thence North 78 degrees 00 minutes East 2 chains 77 links (182.82 feet); thence North 55 degrees 00 minutes East 8 chains 31 links (548.46 feet); thence North 39 degrees 30 minutes East 4 chains (264.00 feet) thence North 49 degrees 00 minutes East 14 chains 19 links (936.54 feet) to the South Right of Way Line of said Ann Arbor Railroad; thence North 65 degrees 25 minutes 40 seconds West approximately 2700 feet to a point in Hall's Creek; thence North 24 degrees 34 minutes 20 seconds East 16.50 feet along said Creek; thence North 65 degrees 25 in tes 40 seconds West 757.91 feet to the point of beginning, EXCEPT a permanent easement in the Northwest corner of above describ d parcel of land, being a triangular parcel of land measuring 719!11 feet along Merrill Road and 757.91 feet along the South Right of Way line of safd Ann Arbor Railroad. safd Ann Arbor Railroad•

> ı e .•• 4 CD 2. State the address of each grantee Include the street number address if such is commonly used and if not, the post office address. CL 1948, 565.201; Stat. Ann. 26.1221 3. Print, typewrite or stamp the address of each person who executed the instrument upon the face thereof, CL 1948, 565,201; Stat Ann. 26,1221. 4. State the name and business address of the person drafting the instrument. CL 1948 fT1 0 c) :0 CH 1. Print, typewrite or stamp the name of grantors, witnesses and notary public beneat their signatures. CL 1948, 565.201; Stat. Ann 7 01101 ;x:,1.-. 565.201a; Stat. Ann. 26.1221(1). CJ Sheen to the following:

26.1221.

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WAIVER AN RELEASE OF PORTION OF O O RESTRICTION

kNOW ALL MEN by **these** presents, that H RON-CLINTON METROPOLITAN AUTHORITY. 1 public body corporate under the l ws Of the St te of Mlchtgan. whose office-ls 3050 Penchscot Building, Detroit, Michigan 48226, hereby waives and rel ases forever that part of the deed re trictton reserved and contained to the Warranty

Deed dated February G, 1980, .from It to the Township of Hamburg, a Michigan filJnlcJpal Corporation, which deed w!-: recorded February 8, 1980 in Uber-968, page 114 and 115, Livingston County Records, which provides that:

 $_{\text{N}-----}$ EXCEPT a permanent ease ent in the Northwest corner of above . described parcel of land, being a triangu)ftr parcel of land measuring 719.11 fe@t along Merrill Road and 757.91 feet along the South Right of ay lInc of satd Ann Arbor Railroad",

provided, however, that all other respects the deed restrictions referred to
in said deed shall remain.

1:,e Huron-Clinton Metropolitan Authorfty covenants not to enforce that portton of the deed restriction hereby waived and released,

Dated this 8th day My , 1986.

By
HURON-CLINTON METROPOLITAN AUTHORITY

Its

Chairman

ATT REPART

ATT

Its <u>Secretary</u>

state of Michigan County of Livingston

On this 8th day of appeared Jotln CHertel and Rosertl Brya:1 to me personally known, who being by me sworn, did each for himself say that they are respectively the Chairman and Secretary of Huron-Clinton tropolitan Authority, a public body corporate reamed in and which executed the within the trument, and that the seal affixed to said inst: unit was the seal of side of the seal of the se

My Commission expires:

Jt.:: e 26. 198 9

Drafted by and when recorded return, to:

./Donald G.eem Huron-Clint.on Metropnl!tar. Authority 150

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If!_,Wyers lltle Insurance OrpomUon =:a='-==	WARRANTY DEF.D-CORPORATION-St IUIDI)' Forin
KNo,v ,\LL MEN BY THF.sE PRESENTS: Thai Huron-Body Corporate Under the Laws of the Lyhos,• address is 13000 High Ridge Drive, Box 200	e State of Michigan
Com")'S and Warrants toAJownship of Hamburg, A M	Michigan Municipal Corporation
;i.·ho\"IIJdrmi\$ 10405 f'i;11 Road, P. 0. Box 1	57. Hamburg, Michigan 48139
thl' following the thing the sire of the thing the sire of the si	of Hamburg c0 :0
See Exhibit A \tached and ma	ade a part hereof
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for the full ronsidmtion of Two Hundred Six Thousa {\$206,880.00} sub;, to (1) Legal Easements and Legal Restrements (2) Recreation and Municipal Use Or Dated this 3rd day of February	rictions of Record
Witne1 1:	= 9 tg+ * * * * * * * * * * * * * * * * * * *
Michae Daniel R. Duncan	Huron-Clint onletropolitan Authority (L.s.) By Robert W. Marans; rti Chairm an
STATE OF MICHIGAN COUNTY OF Livingston	Donald .eem 1 Secretary
The foregoing in11rument wias acknowled1ted before me this o> by Robert H. Marans and Donald G. Beem <2> Chairman and Secretary respectively <3> or Huron-C1inton Metropolitan Authority (4) · Michigan My commission upires February 8, 1993	Corporation on behalf of the said corporation. Nancy J. Keskeny Notary Public Livingston Corporation Corporation Corporation Corporation Corporation Corporation Corporation Corporation Corporation Corporation
Note: Insert at (1) neme(s) of officer(s) (2) title(s) of officers(s) Instrument Draft Draf	1020011 W

County Tr<-asurer's cuificatf!

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Item 10.

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cn 7 (i)

kwyers]tie Insurance (9rpomUon	WARRANTY DEF.D-CORPORATION-St tutor)' Form C.L, 19-18, 565,151 M.S.A. 26.571
KNo,v ,\LL MEN BY THESE PRESENTS: Thai Huron-Body Corporate Under the Laws of the 'Ahon* addrss is 13000 High Ridge Drive, Box 200'	State of Michigan
${ m Con, -l'})^{"}{ m I}$ and ${ m Warr3nh}$ tn.AJownship of Hamburg, A M	lichigan Municipal Corporation
who\l' address is 10405 f.i.11 Road, P. 0. Box 15	57, Hamburg, Michigan 48139 -n r _m •
th! followin Jr.sc -r ibed premiu•i si rt 1 1 in the Township	
Counl)' of L1 VI ngston 4 .inal Slate of Michi	gan, to-wit:
See Exhibit A tached and ma	VII (™
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(\$206,880.00) mbjt to (1) Legal Easements and Legal Rest {2) Recreation and Municipal Use O Dated this 3rd day of February Wherew"	
Michael G. Magge. Michael G. Magge. Daniel R. Duncan	By Andrew 1 let ropolitan Augustus Robert M. Marans; Tel Chairman
Michael 6 Magee. Michael 6 Magee. Daniel R. Duncan STATE OF MICHIGAN COUNTY OF Livingston	By Lather W. Maransy
Daniel R. Duncan STATE OF MICHIGAN	Robert M. Marans The Chairman Donald G. Beem Ita Secretary 19 92 Corporation on behalf of the said corporation. Namy Keskeny Notary Public Livingston Const. Michigan

County Trl'asurer's Certifirale

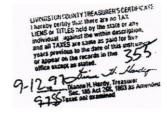
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Item 10.

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Item 10.

UBER2 23, MO463



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KNOW ALL MEN BYITHESE PRESENTS: That E. Carole Shaya whose address is 580 Long Lake Road, Bloomfiei (Hills, MI 48304, Conveys and Warrants to Hamburg Township, a. Michigan municipal co tion whose address is 10405 Mertjll Road, P.O. Bo 157, Hamburg, W, 48139, the following dl bed premises situated in the Township of Hamburg, County of Livingston, and State of Micliigno-wit:

See Attached Exhibit A,		$*e^{;:g}$::0 d ¹¹
See Attached Exhibit A,		₫ <u>i</u>	911
Tax Parcel Nos. 15-22-400-003		$\mathbf{Q}_{oi=}$ er n	0 :::0
15-26-100-005	({\cdot\)	:::;m> V ;rr.:z:	0 f'l1 C
15-27-200-002	(J)	:-'-Oo v>	C
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....for the full consideration of One Million and 00/100JSt,000,000.00) Dollars,

_ 'subject to building and use restrictions and easements'"\text{\text{\$\frac{1}{2}}}\text{tecord.}

. This property may be located within the vicinity of f d or a farm operation. Generally accepted agricul andmanagement practices which mal/4 erate noise, dust, odors, and other associated conditions _may be used and are protected by the Michigan right to farm act. The grantor grants to the grantee the right to make all divisio under section 108 of the land division-ace, Act No. 288 of the Public Acts of 1967.

Dated this 29th day f July JOBR V. DIDI.Y

Signed and Sealed: OA

STATE OF MICHIGAN COUNTY OF LIVINGSTON)ss.

The foregoing instrument was acknowledged be fore me the Shaya.

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COMM. EXP. 3/13198

Robert A Shaya

Drafted by:

30500 Northwestern Highway, Suite 200 Farmington Hills, MI 48334

State Transfer Tax: \$8,600.00

Send subsequent tax bills to: Grantee

::t.d::

UNKe

Livingston County, Michigan My commission expires: 5-13-t/q

> The Kizer Law Firm 2829 W. Grand River Howell, MI 48843

COUNTY TREASURER'S CERTIFICATE

CITY TREASURER'S CERTIFICATE

Dept of Toxodon
Litisgator County
10 4239 17 Sep 1997

Recording Fee: Return to: JJohn W.Drury

State Transfer Tax: \$8,600.00

Send subsequent tax bills to: Grantee

The Kizer Law Firm 2829 W. Grand River Howell, MI 48843 Item 10.

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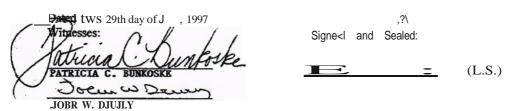
KNOW ALL MEN Bf)JIESE PRESENTS: That E. Carole Shaya whose address is 580 Long Lake Road, Bloomfield Hills, MI 48304, Conveys and Warrants to Hamburg Township, \boldsymbol{a} . Michigan municipal co tion whose address is 10405 Men: fil Road, P.O. Bo 157, Hamburg, MI, 48139, the following **qioed** premises situated in the Township of Hamburg, County of Livingston, and State of Miclii; to-wit:

See Attached Exhibit A Tax Parcel Nos. 15-22-400-003	Sec :g::0151-< er-	:ti fTJ 0	
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15-26-100-005	((\	∷åmi≶ v	rr,
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....for the full consideration of One Million and OO/IOO t000,.000.00) Dollars,

_.'.subjectto building and use restrictions and easements" flecord.

. This property may be located within the vicinity of f d or a farm operation. Generally accepted agricul and an agement practices which mal/4 erate noise, dust, odors, and other associated conditions _may be used and are protected by the Michigan right to farm act. The grantor grants to the grantee the right to make all divisio under section 108 of the land division-ace, Act No. 288 of the Public Acts of 1967.



. STATE OF MICHIGAN COUNTY OF LIVINGSTON)ss.

The foregoing instrument was acknowledged be fore me

Shaya.

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Drafted by: Robert A Shaya

1vmgston ounty, Mic gan My commission expires: .3-13-t/g

30500 Northwestern Highway, Suite 200 Farmington Hills, MI 48334

COUNTY TREASURER'S CERTIFICATE

CITY TREASURER'S CERTIFICATE

The Kizer Law Firm 2829 W. Grand River Howell, MI 48843

Send subsequent tax bills to: Grantee

State Transfer Tax: \$8 600.00



Recording Fee: Return.to: JJohn W. Drury

The Kizer Law Firm 2829 W. Grand River Howell, MI 48843

Send subsequent tax bills to: Grantee

State Transfer Tax: \$8 600.00

Printed on Parcel Number: 4715-27-400-039 Jurisdiction: HAMBURG TOWNSHIP County: LIVINGSTON Grantor Liber Prent Grantee Sale Sale Inst. Terms of Sale Verified Price Date Trans Type & Page Βv Property Address Class: RETIRED SPLIT/COM 1zoning: WFR Euilding Permit(s) Dat.e Number Status MERRILL RD School: PINCKNEY COMMUNITY SCHOOLS P.R.E. Owner's Name/Address MAP#: HAMBURG TOWNSHIP 2022 Est TCV 0 HAMBURG MI 48139 X !Vacant Improved Land Value Estimates for Land Table 47080.PINCKNEY METES & BOUNDS Public * Factors * Improvements Frontage Depth Front Depth Rate %Adj. Reason Value Description METES & BOUNDS 0.940 Acres 54,000 100 50.760 Dirt Road Tax Description 50,760 0.94 Total Acres Total Est. Land Value = Gravel Road SEC 27 TlN R5E COM SECOR SAID SECTION TH Paved Road N 03*34'54"W 1327.06 FT FOR POB TH S Storm Sewer 34*55'28"W 412.89 FT TH N 03*34'54"W Sidewalk 321.18 FT TH ELY 248.2 FT TO POB .94 AC Water Split on 03/08/2017 with 4715-26-100-012, Sewer 4715-27-400-032, 4715-26-100-005, Electric 4715-22-400-003 into 4715-26-100-023; Gas Comments/Influences Curb Street Lights 11/03 THIS PARCEL WAS ON ASSESSMENT ROLL Standard Utilities AS GAP PARCEL WHEN IT IS REALLY PART OF Underground Utils. THE WEST PARK Split/Comb. on 03/08/2017 completed Topography of OWNERS REQUEST ; 03/08/2017 Susan Site Parent Parcel(s): 4715-26-100-012, Level 4715-27-400-032, 4715-27-400-039, Rolling 4715-26-100-005, 4715-22-400-003; Low Child Parcel(s): 4715-26-100-023; High Landscaped Swamp Wooded Pond Waterfront Ravine Wetland Building Assessed Year Land Board of Tribunal Taxable Flood Plain Value Value Value Value Review Other Who What When 2021

2020

2019

The Equalizer. Copyright (c) 1999 - 2009.

Licensed To: Township of Hamburg, County

of Livingston, Michigan

Item 10.

^{***} Information herein deemed reliable but not guaranteed***

RESOLUTION #230806

MICHIGAN NATURAL RESOURCES TRUST FUND DEVELOPMENT PROJECT AGREEMENT BENNETT PARK RENOVATIONS AND HURON RIVER WATER TRAIL ACCESS

At a regular meeting of the Board of Trustees of the Township of Hamburg, Livingston County, State of Michigan, held at the Hamburg Township Hall on September 5, 2023 at 2:30 p.m., there were:

ABSENT: PRESENT:
And upon motion made by, supported by, the following Resolution was adopted:
RESOLVED , that Hamburg Township, Michigan, does hereby accept the terms of the Agreement as received from the Michigan Department of Natural Resources (Department), and that Hamburg Township does hereby specifically agree, but not by way of limitation, as follows:
 To appropriate all funds necessary to complete the project during the project period and to provide two hundred, two thousand, five hundred (\$202,500) dollars to match the grant authorized by the DEPARTMENT in the amount of three hundred thousand (300,000) dollars by way of a reimbursement grant.
To maintain satisfactory financial accounts, documents, and records to make them available to the DEPARTMENT for auditing at reasonable times.
To construct the project and provide such funds, services, and materials as may be necessary to satisfy the terms of said Agreement.
 To regulate the use of the facility constructed and reserved under this Agreement to assure the use thereof by the public on equal and reasonable terms.
To comply with any and all terms of said Agreement including all terms not specifically set forth in the foregoing portions of this Resolution.
Upon a roll call vote of the Board, the following voted:
AYES:
NAYS:

Bennett Park Renovations and Huron River \	Water Trail Access Project Resolution
Declared:	
CER	RTIFICATION
Michigan, hereby certify that (1) the foregoduly adopted by the Township Board, and the introductory paragraph, at which time a continuous the original of such resolution is on file in the and public notice thereof was given, pur Meetings Act (Act No. 267, Public Acts or	of the Township of Hamburg, Livingston County, going is a true and complete copy of a resolution the vote taken thereon, at the meeting described in quorum was present and remained throughout; (2) the Clerk's office; (3) the meeting was conducted, rsuant to and in full compliance with the Open f Michigan, 1976, as amended) and (4) minutes of a or will be made available as required thereby.
	Mike Dolan Hamburg Township Clerk





10405 Merrill Road
P.O. Box 157
Hamburg, MI 48139
(810) 231-1000
www.hamburg.mi.us

TO: Township Board of Trustees

FROM: Deby Henneman, Township Coordinator

DATE: August 30, 2023

AGENDA ITEM TOPIC: Grant – LEO/MCSC – Senior/Community Center Upgrade and Expansion Project

- Phase 1 - Resolution for Coordinator to Prepare and Submit Grant

Number of Supporting Documents: 1

Requested Action

To move the Resolution to authorize the Township Coordinator to prepare and submit a request for funding through the Michigan Department of Labor and Economic Opportunity (LEO) and Michigan Community Service Commission (MCSC) for a grant in the amount of \$450,000, with no anticipated match, for the Senior/Community Center Upgrade and Expansion Project – Phase 1.

Background

On August 1, 2023, the Township Board agreed to proceed with the Senior/Community Center Upgrade and Expansion grant proposal, and to hire Spicer Group to assist the Township Coordinator at a cost not to exceed \$5,000. They are currently working on the concept plan that will be submitted with the Grant on the deadline of 9/7/23.

The grant process requires the CEO to apply for the grant on behalf of the organization, or if an alternate staff member is authorized, a resolution is required. This document will be needed for the Township Coordinator to apply on behalf of Hamburg Township.

The final grant draft and attachments will be available for review after submittal.

RESOLUTION OF AUTHORIZATION #230804

Hamburg Township

Senior/Community Center Upgrade and Expansion Project – Phase 1 Grant Application to LEO and MCSC MI Community Center Grant

WHEREAS, Hamburg Township supports the Grant Coordinator's submission of an application titled, "Senior/Community Center Upgrade and Expansion Project – Phase 1" to the MI Community Center grant program, to include an upgrade to the existing space to provide a roof extension over the existing outdoor patio, to connect the existing sidewalk in front of the building to the pickleball shade structure and to circle back to the outdoor patio, to add outdoor recreational activities of a passive nature, to replace the inoperable windows with those of an energy efficient design, and to maximize the existing interior space; and,

WHEREAS, Hamburg Township is planning for a future expansion of the Senior/Community Center, Phase 1 will also include Engineering and Design for Phase 2 of the project, which will include the addition of a Public Kitchen, the addition of Two (2) program/meeting rooms, additional locked storage, plans to convert proposed outdoor roof extension into a three (3) season room; and,

WHEREAS, the Hamburg Township Senior/Community Center Upgrade and Expansion Project will be taking place at 10407 Merrill Rd., Whitmore Lake, MI 48189; and,

WHEREAS, the location of the proposed project is within the jurisdiction of Hamburg Township; and,

WHEREAS, the proposed project, if completed, will be a benefit to the community; and,

WHEREAS, with this resolution of support it is acknowledged that Hamburg Township is not committing to any obligations; financial or otherwise.

NOW THEREFORE, BE IT RESOLVED that Hamburg Township hereby supports the submission of a MI Community Center Grant Application for Hamburg Township Senior/Community Center Upgrade and Expansion Project – Phase 1.

AYES: NAYES: ABSENT:

MOTION APPROVED.

I HEREBY CERTIFY, that the foregoing is a Resolution duly made and passed by the Hamburg Township Board of Commissioners at their meeting held on August 29, 2023 at 2:00 p.m. in Hamburg Township, MI, with a quorum present.

Mike Dolan, Clerk

Dated: August 29, 2023





10405 Merrill Road
P.O. Box 157
Hamburg, MI 48139
(810) 231-1000
www.hamburg.mi.us

TO: Township Board of Trustees

FROM: Deby Henneman, Township Coordinator

DATE: August 30, 2023

AGENDA ITEM TOPIC: Grant – LEO/MCSC – Senior/Community Center Upgrade and Expansion Project

- Phase 1 - Resolution for Coordinator to Prepare and Submit Grant

Number of Supporting Documents: 1

Requested Action

To move the Resolution to authorize the Township Coordinator to prepare and submit a request for funding through the Michigan Department of Labor and Economic Opportunity (LEO) and Michigan Community Service Commission (MCSC) for a grant in the amount of \$450,000, with no anticipated match, for the Senior/Community Center Upgrade and Expansion Project – Phase 1.

Background

On August 1, 2023, the Township Board agreed to proceed with the Senior/Community Center Upgrade and Expansion grant proposal, and to hire Spicer Group to assist the Township Coordinator at a cost not to exceed \$5,000. They are currently working on the concept plan that will be submitted with the Grant on the deadline of 9/7/23.

The grant process requires the CEO to apply for the grant on behalf of the organization, or if an alternate staff member is authorized, a resolution is required. This document will be needed for the Township Coordinator to apply on behalf of Hamburg Township.

The final grant draft and attachments will be available for review after submittal.

RESOLUTION #230805

Authorization for the Township Coordinator to prepare and submit LEO and MCSC MI Community Center Grant for the Senior/Community Center Upgrade and Expansion Project – Phase 1

WHEREAS, Hamburg Township supports the submission of an application titled, "Senior/Community Center Upgrade and Expansion Project – Phase 1" to the MI Community Center grant program, to include an upgrade to the existing space providing a roof extension over the existing outdoor patio, connecting the existing sidewalk in front of the building to the pickleball shade structure and to circle back to the outdoor patio, adding outdoor recreational activities of a passive nature, replacing the inoperable windows with those of an energy efficient design, and maximizing the existing interior space; and,

WHEREAS, Hamburg Township is planning for a future expansion (Phase 2) of the Senior/Community Center, Phase 1 will also include Engineering and Design for Phase 2 of the project, which will include the addition of a Public Kitchen, the addition of two (2) program/meeting rooms, additional locked storage, plans to convert proposed outdoor roof extension into a three (3) season room; and,

WHEREAS, the Township Coordinator is the designated staff person in charge of writing, submitting, and monitoring all grant activities, including reporting to the grantor as pertains to the grant submission for the Hamburg Township Senior/Community Center Upgrade and Expansion Project which will upgrade and expand the building located at 10407 Merrill Rd., Whitmore Lake, MI 48189; and,

WHEREAS, the location of the proposed project is within the jurisdiction of Hamburg Township and is municipally owned and operated property; and,

WHEREAS, the registration for Federal System for Award Management (SAM), and the SIGMA Registration number is currently through the Hamburg Fire Department; and,

WHEREAS, the proposed project, if completed, is an improvement included in the Chapter 6, Goals & Objectives list, on page 66 of the 5-year Parks and Recreation Master Plan 2023-2027, and will be a benefit to the community; and,

WHEREAS, with this resolution of support it is acknowledged that Hamburg Township is not committing to any obligations; financial or otherwise.

NOW THEREFORE, BE IT RESOLVED that Hamburg Township hereby supports the submission of a MI Community Center Grant Application for Hamburg Township Senior/Community Center Upgrade and Expansion Project – Phase 1 by the

Township Coordinator through the Michigan Department of Labor and Economic Opportunity (LEO) and Michigan Community Service Commission (MCSC) to request funding through their grant application process with the deadline of August 31, 2023 using the existing account numbers for SAM and SIGMA registered to the Hamburg Township Fire Department.

AYES: NAYES: ABSENT:

MOTION APPROVED.

I HEREBY CERTIFY, that the foregoing is a Resolution duly made and passed by the Hamburg Township Board of Commissioners at their meeting held on August 29, 2023 at 2:00 p.m. in Hamburg Township, MI, with a quorum present.

Mike Dolan, Clerk

Dated: August 29, 2023





10405 Merrill Road
P.O. Box 157
Hamburg, MI 48139
(810) 231-1000
www.hamburg.mi.us

TO: Township Board of Trustees

FROM: Deby Henneman, Township Coordinator

DATE: August 30, 2023

AGENDA ITEM TOPIC: Grant – MNDR #TF22-0107 – Spicer Group Agreement – Prime Professional

Services for Bennett Park & Water Trail Access Improvements

Number of Supporting Documents: 1

Requested Action

To direct the Township Clerk to enter into an agreement with Spicer Group at a cost not to exceed \$74,400 for Grant Administration, Survey, Design, and Project Bidding for MDNR Grant #TF22-0107, project to be completed by August 31, 2025 as outlined in the terms of the Development Project Agreement drafted by the MDNR.

Background

In April of 2022, the captioned grant was submitted, and funds were granted in December of 2022. This grant is for proposed upgrades to the play area, parking area, and trails, in Manly Bennett Park (West), as well as some upgrades for the access to the Huron River Water Trail.

The terms of the agreement require that we have a Prime Professional act as Project Manager to assist with the grant and oversee the RFP and contractor selection process. Because of their familiarity with the project during the grant process, it is my recommendation that we retain Spicer Group to perform the duties of Prime Professional for the captioned grant, in an amount not to exceed \$74,400. As always, I will be available to administrate the grant internally and provide the needed support to the consultant.



August 4, 2023

Mike Dolan, Clerk Hamburg Township 10405 Merrill Rd. Hamburg, MI 48139

RE: Manly W. Bennett Park Renovations & Water Trail Access Improvements Hamburg Township, Livingston County, MI

Letter Agreement for Professional Services

Mike:

We are very pleased your project has been awarded a DNR Trust Fund grant. We look forward to working with the Township on the Bennet Park and Water Trail Access Improvements in Hamburg Township. We have developed our proposal to furnish professional services regarding your project.

Project Background

The Township is planning on making upgrades to the west portion of Manly W. Bennett Park and Water Trail Access Improvements. The Township has received a 2022 Michigan Natural Resources Trust Fund Development Grant for \$300,000.00 to make these improvements. The improvements are listed as follows:

- Accessible canoe/kayak launch
- Accessible park pathway renovations
- Replacement of playground equipment
- Accessible parking improvements

Scope of Professional Services

Spicer's proposed services follow:

1. GRANT ADMINISTRATION

Grant Administration tasks will be required throughout the project period. It is our understanding the Township will be responsible for these tasks, however there may be some assistance required from Spicer Group, Inc. Our assistance will include:

- A. Assistance with executing DNR Project Agreement.
- B. Submission of Plans and Specifications to DNR with Professional Services Certification, itemized project cost estimate, and implementation schedule.
- C. Assistance with Contractor/Vendor Selection process with the DNR.
- D. Assistance with any special requests to DNR such as significant changes to the project or extensions to the project period.
- E. Assist the Township with reimbursement requests.

Manly Bennet Park Improvements August 4, 2023 Page 2 of 5

2. TOPOGRAPHICAL SURVEY

This phase of the project will gather data needed to properly design the project and will include the following tasks:

- A. Research existing area for existing plans, control points, bench marks, survey notes, intersection, right of way information and other pertinent information including water elevations, river bottom, and ordinary high water mark.
- B. Setup necessary data for field crews to perform data collection.
- C. Establish control in the form of NAD83 State Plane Coordinates (horizontal) and NAVD29 datum (vertical) by the use of GPS.
- D. Process all GPS and topographic data into a base drawing to be used for the design.

3. DESIGN PHASE

During the design phase we will develop plans and specifications for the park improvements. More specifically, we will:

- A. Meet with the Township to kick-off the project.
- B. Design the dimensional layout requirements of the new improvements.
- C. Determine the grading and drainage requirements for the improvements. The grading will include a bio-swale with native seeding.
- D. Develop a Soil Erosion and Sedimentation Control Plan meeting the requirements of the County, if required.
- E. Update the preliminary estimate of cost for the proposed improvements.
- F. Seek feedback from the Township at approximately 50% and 90% completion to review the project.
- G. Incorporate your feedback and review comments into the project.
- H. Submit a final set of plans, bidding documents and preliminary estimate of cost to the Township.

4. BIDDING PHASE

During the bidding phase we will assist you with the bidding process including:

- A. Produce sets of plans and bidding documents for distribution. We will distribute plans through our website electronically and will provide paper copies as needed.
- B. Maintain the Planholders list.
- C. Prepare the advertisement for placing in the newspaper.
- D. Answer any questions from contractors preparing their bids.
- E. Issue addenda if required.
- F. Open bids with you.

5. CONSTRUCTION ADMINISTRATION

During the Construction Administration phase, we will assist you with the following tasks:

- A. Prepare a tabulation of the bids received and prepare a letter of recommendation of award to the Township.
- B. Prepare contracts and circulate for signatures.

Manly Bennet Park Improvements August 4, 2023 Page 3 of 5

- C. Make site visits to observe the construction progress, approximately one visit per week.
- D. Prepare the progress payments and any change orders necessary for the project.
- E. Attend a final walk through of the project and develop the final construction punch list.
- F. Review contract closeout.

Please note that construction staking and material testing will be included as line items on the construction contract and therefore are not included in this letter agreement.

6. MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES & ENERGY AND US ARMY CORP OF ENGINEERS PERMITTING

We will prepare and assist in submitting for the EGLE/USACE Joint Permit which includes the following tasks:

- A. Visit the site to obtain field measurements, elevations, and site photos.
- B. Prepare plans for use in submission of the EGLE/USACE Joint Permit Application.
- C. Prepare volume calculations as needed to submit for the EGLE/USACE Joint Permit Application.
- D. Prepare and submit the Joint Permit Application in MiWaters.
- E. Coordinate with review agencies to ensure a complete permit application has been received.
- F. Respond to EGLE comments, as needed once the application has been reviewed.

Services Not Included

The following services are not included in this proposal, however, may be necessary to complete. If we find this to be the case, we will notify you, discuss it and seek your approval prior to commencing the work.

- A. **Wetland Delineation**: We have not included these services at this time. If it is determined that wetlands are present at the site that will be disturbed by the project, this may be required by EGLE and we can determine a cost for these services at that time.
- B. **HEC-RAS Modeling**: At this time, we have not included this service as it may not be required. Through the EGLE permitting process, the EGLE may require a HEC-RAS model to show how the improvements will affect the river flow.
- C. **Geotechnical Investigations**: Soil borings are not included in this proposal. If the scope of this work changes, we will discuss and seek approval for this work prior to commencing the work.
- D. **Permit Fees:** Permit fees are not included in this proposal. Any permit fees would be paid by the Township.
- E. **Environmental Services:** We have not included these services at this time. If it is determined that additional environmental services are necessary, we can determine a cost for these services at that time.
- F. **Interpretive sign**: Design, layout and graphics are the responsibility of the Township.

Additional Services

Additional services related to this project will be furnished by us after you authorize the work. Our fee for the additional services will be determined at the time they are agreed to and rendered.

Manly Bennet Park Improvements August 4, 2023 Page 4 of 5

Fee Schedule

Our proposed fee schedule is as follows it is the same amount as submitted with the grant. We will submit monthly invoices to you for services furnished and for any reimbursable expenses. The fee for the Grant Administration, Design, Bidding, and Survey Phases are a lump sum. So, the invoices will be based on our estimate of the proportion of total services actually completed at the time of billing. The fee for the Construction Administration and EGLE/USACE Permitting Phase is an estimated hourly fee, and the invoices will be based on the current standard hourly rates of our personnel assigned to this project applied to the time they spend on it.

The fees below reflect the costs for these services shown in our original cost estimates submitted with the DNR grant application. Our proposed fee shall be as follows:

1. Grant Administration:

➤ A lump sum amount of \$3,500

2. Topographical Survey:

➤ A lump sum amount of \$12,500

3. **Design:**

➤ A lump sum amount of \$54,900

4. Bidding:

➤ A lump sum amount of \$3,500

Please note that the sum of the costs listed above equals the \$74,400 engineering fee that is allowed by the grant.

5. Construction Administration:

An estimated hourly amount of \$19,200 (assumes a 12-week construction period with an approximate average of 10 hours spent on the project each week for approximately 120 hours)

6. MDEGLE/USACE Joint Permit Application:

An estimated hourly amount of \$8,000

We have calculated these fees based on our understanding of what you want us to do and what you have told us.

Attached to this letter is a copy of our general conditions for our services which are part of this agreement. Any changes to this agreement must be agreed to by both.

Manly Bennet Park Improvements August 4, 2023 Page 5 of 5

If this proposal meets with your approval, please acknowledge this approval with an authorized signature below and return the enclosed copy to us.

We deeply appreciate your confidence in Spicer, and we look forward to working with you and for you on your project.

Sincerely,

Cynthia Todd, PLADirector of Planning

Shawn P. Middleton, P.E., CFM Sr. Project

P. Marton

Manager, Vice President

SPICER GROUP, INC.

230 S. Washington Avenue Saginaw, MI 48607 (517) 325-9977 (410) 490-0413

 $\underline{cynthia.todd@spicergroup.com}$

Cc. SGI File: 133809SG2023

Acctg: KAF

Above proposal accepted and approved by Owner.

HAMBURG TOWNSHIP

Date:

Authorized Signat	ture	
D 1 . 137		
Printed Name		
Title		





10405 Merrill Road P.O. Box 157
Hamburg, MI 48139
(810) 231-1000
www.hamburg.mi.us

TO: Hamburg Township Board of Trustees

FROM: Deby Henneman, Township Coordinator

DATE: August 14, 2023

AGENDA ITEM TOPIC: Over The Road Banner Request – Freedom River – Event: Festival By Light,

Haunted Hayride By Night on 10/20/23 Number of Supporting Documents: **2**

Requested Action

To move the Resolution and direct staff to facilitate a permit from the Livingston County Road Commission, on behalf of Freedom River, to place an event banner across Merrill Rd., from September 20, 2023 through October 30, 2023 announcing the Freedom River Halloween event scheduled for October 20, 2023.

Background

Please see attached:

Over-The-Road Banner Application for Township Approval

Resolution for Freedom River Halloween Event

Website:

https://freedomriverflows.org/



OVER-THE-ROAD BANNER APPLICATION FOR TOWNSHIP APPROVAL

APPLICANT: Freedom River
ADDRESS: 6716 Winans Lake Road
Brighton, MI 48116
PHONE: (810) 295-1866 E-MAIL joanna.hardesty@freedomriver.org
CONTACT PERSON:
PHONE: DAYTIME (810) 397-9058
DATE(S) OF EVENT: October 20, 2023
DATES REQUESTED FOR BANNER DISPLAY: September 20 - October 30, 2023
DESCRIPTION OF EVENT: A Halloween Community fundraising event to support Freedom River.
Freedom River is a comprehensive outdoor recreation center located in Hamburg Township to assist in
re-assimilation of U.S. military service members, veterans and their families. The over-the-road banner
on Merrill Road would assist us in getting the word out to the community.
RELEASE AND HOLD HARMLESS AGREEMENT
The Applicant hereby agrees to assume all loss, damages, risk and liability associated with the installation and display of an over-the-road banner. It is recognizes and acknowledges that this includes, but is not limited to, personal injury and property damage incurred for any reason whatsoever. Applicant further agrees to release, hold harmless and indemnify, the Township of Hamburg, their elected officials, officers, agents, and employees, from any and all liability or responsibility whatsoever for injury (including death) to persons and for any damage to any Township property, or the property of others, arising out of, or resulting from, the placement of the over-the-road banner. Applicant further hereby waives, releases and discharges Hamburg Township, their elected officials, officers, agents, and employees from any and all claims, demands, actions, causes of actions, damages and liabilities resulting from or arising directly or indirectly out of the placement of the over-the-road banner. Applicant further acknowledges and agrees it is solely responsible for installation and removal of the banner. If Applicant fails to remove the banner by the permit expiration date, Hamburg Township may contract for the removal of the banner and charge the cost back to the Applicant. Applicant recognizes that it is responsible to reimburse Hamburg Township for this cost and failure to do so will result in permanent ineligibility for future application and use.
Agreed to this 15 rd day of August, 2023.
NAME (print)FREEDOM RIVER
BY: Joanna Hardesty Joanna S. Harding
ITS: Director
113. Director



RESOLUTION #230807

FREEDOM RIVER HALLOWEEN EVENT PERMIT REQUEST LIVINGSTON COUNTY ROAD COMMISSION

At a regular meeting of the Board of Trustees of the Township of Hamburg, Livingston County, State of Michigan, held at the Hamburg Township Hall on September 5, 2023, beginning at 2:30 p.m., there were:

PRESENT:

ABSENT:

and the following preamble and resolution were moved for adoption by supported by

WHEREAS, in 2022 the non-profit, 501(c)(3) tax-exempt corporation – Freedom River was formed and announced their mission to build a comprehensive outdoor retreat center and campground located in Hamburg Township on Winan's Lake Road, to support efforts to re-assimilate of U.S. military service members, veterans, and their families; and

WHEREAS, Michigan ranks No. 11 in the nation for veteran population (as referenced on www.freedomriverflows.org); and

WHEREAS, Freedom River is a space specifically for veterans, their families and active military to relax, reinvigorate, spend time with family, or gather together; and

WHEREAS, Freedom River's goal is to provide a space that supports veterans with needs while simultaneously: promoting exercise, supporting healing, providing a community for veterans, and advancing new opportunities in leadership and work; and

WHEREAS, Freedom River is hosting a community fundraising event, to be held on October 20, 2023, in order to raise funds to support their core mission; and

WHEREAS, to announce this event to the area residents and bring awareness to the cause, Freedom River wishes to place a banner across Merrill Road on the banner poles permanently installed in the Merrill Road right-of-way located approximately 250 feet south of the railroad track; and

WHEREAS, a permit from the Livingston County Road Commission (LCRC) is required to place the banner and the LCRC will only issue a banner permit to the local municipality.

NOW, THEREFORE BE IT RESOLVED, that the Hamburg Township Board of Trustees hereby requests a permit from the Livingston County Road Commission to place a banner across Merrill Road, from September 20, 2022 through October 30, 2023, announcing the Freedom River Halloween Event scheduled for October 20, 2023.

Upon a roll call vote of the Board, the following voted:				
AYES:				
NAYS:				
ABSENT:				
Resolution Declared Adopted.				

CERTIFICATION

I, Michael H. Dolan, being the duly elected Clerk of the Township of Hamburg, Livingston County, Michigan, hereby certify that 1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board, and the vote taken thereon, at the meeting described in the introductory paragraph, at which time a quorum was present and remained throughout; 2) the original of such resolution is on file in the Clerk's office; 3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended) and 4) minutes of such meeting were kept and have been or will be made available as required thereby.

September 5, 2023

Michael H. Dolan Hamburg Township Clerk





Hamburg Township Public Safety Department

PO BOX 157 · HAMBURG, MICHIGAN 48139
PHONE: (810) 231-9391 · FAX: (810) 231-9401
EMAIL: HATP@hamburg.mi.us
RICHARD DUFFANY, DIRECTOR OF PUBLIC SAFETY



TO: Hamburg Township Board

FROM: Chief Richard Duffany

DATE: August 31, 2023

RE: Agenda Item Topic: Purchase of Police Station Furnishings/Accessories

General Ledger #: 101-101.000-980.000

Number of Supporting Documents: 8

NEW/OLD BUSINESS: XXX New Business

Old Business – Previous Agenda #:

Requested Board Action

- Motion to approve the purchase of the police station office/training room furnishings from Smart Business Source of Troy, MI, as outlined in their quote, for the total cost of \$31,495.00.
- Motion to approve the purchase and installation of an access control system for the police station from DataNet of Plymouth, MI for a total cost of \$30,993.56.
- Motion to approve the purchase and installation of 6 new security cameras and accessories from DataNet of Plymouth, MI, as outlined in their quote, for a total cost of \$10,750.79.
- Motion to approve the hiring of DataNet of Plymouth, MI to provide and install data drops and low voltage cabling/outlets in the police building expansion, as outlined in their quote, at a total cost of \$9,589.82.
- Motion to approve the purchase and installation of electric window blinds in the training from State Street Blinds and Design of Brighton, as outlined in their quote, for a total cost of \$9,209.19.
- Motion to approve the purchase and installation of window blinds in the new office from State Street Blinds and Design of Brighton, as outlined in their quote, for a total cost of \$1.217.57.
- Motion to approve the purchase of two (2) 85-inch televisions and wall mount systems for the training room from Amazon at a total cost of \$3,254.88.

Background Information

As the Board is aware, the police station expansion project has commenced. At this time, I am requesting authorization to order the furnishings and other accessories for the additional areas of the station which includes the following:

Item 15.



Hamburg Township Public Safety Department



PO BOX 157 · HAMBURG, MICHIGAN 48139
PHONE: (810) 231-9391 · FAX: (810) 231-9401
EMAIL: <u>HATP@hamburg.mi.us</u>
RICHARD DUFFANY, DIRECTOR OF PUBLIC SAFETY

- Training room tables/chairs, office desks, office chairs and podium.
- An access control system.
- Additional security cameras.
- Installation of additional data and electrical cabling/outlets.
- Installation of electric window blinds in the training room.
- Installation of window blinds in the new offices.
- Two televisions for the training room.

It is my understanding from previous discussions of the Board that the furnishings/accessories for the police station expansion are going to be paid using American Rescue Plan Act (ARPA) funds. As such, I have included all items needed including those purchases that don't specifically require Township Board approval (i.e., less than \$10,000).

Office/Training Room Furnishings

The new offices and training room require the purchase of tables/chairs, office desks, office chairs and a podium, as outlined in the attached quote. All of the aforementioned furnishings can be obtained through Smart Business Source of Troy, MI under Omnia Contract pricing (contract #R191804 and #R191819) providing the lowest price available. (Note: Omnia is a national public sector purchasing program that secures the lowest prices for government entities). As outlined in their quote, the cost of these furnishing is \$31,495.00.

Access Control System

The new areas of the police building will require the installation of an access control system. Our current keypad access control system is obsolete, ineffective and cannot be expanded. The system is also beginning to fail and would have to be replaced whether we commenced with the current building expansion or not. In addition, the current system is not tied into our property room for access.

As such, a completely new system is needed. A proximity card permission-based system is the best option to comply with building access and security best practices. Three vendors were contacted and two submitted quotes:

Absolute Security & Investigations of Pontiac, MI: \$49,026.74.

DataNet of Plymouth, MI: \$30,993.56.

D&B Electric Co of Clinton Twp, MI: Declined to bid.

Both Absolute Security & Investigations and DataNet proposals provided competitive quotes and both met our specifications. It is my recommendation that the Board approve DataNet to provide

Item 15.



Hamburg Township Public Safety Department

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RICHARD DUFFANY, DIRECTOR OF PUBLIC SAFETY



the access and control system and installation as they were the lowest bidder and have a proven track record of providing quality service to the Township for over 10 years.

Security Cameras

The additional areas of the police station (training room, offices, armory) require that addition of 6 security cameras to provide adequate coverage. Our current security camera system is operated and maintained by DataNet as previously approved by the Board. It is my recommendation that we continue with DataNet providing this service and install the 6 new cameras, as outlined in their quote, at a cost of \$10,750.79.

Data and Electrical Work

The new training room and offices require the installation of data drops and low voltage cabling/outlets which were not included in the contractor's proposal. DataNet can perform this work at a cost of \$9,589.82. As indicated previously, we have worked with DataNet for over ten years and have found them to be reliable and they have worked with other departments of the Township to perform similar jobs. I.T. Director Tony Randazzo was contacted and he recommended the use of DataNet for this project.

Window Blinds

The windows in the training room are 17 feet above the floor and are not accessible for manual use. Three sets of electric blinds are needed to cover all the windows in the training room and can be purchased and installed from State Street Blinds and Design of Brighton, MI at a cost of \$9,209.19

Manual window blinds for the three new offices can be purchased and installed from State Street Blinds and Design of Brighton, MI at a cost of \$1,217.57.

Televisions

By definition, the training room will be utilized extensively for training and other meetings which often require the use of audio/video presentations. Two (2) televisions of appropriate size and specifications, with wall mounts, can be obtained through Amazon at a total cost of \$3,254.88.

Respectfully,

Chief Richard Duffany Director of Public Safety

Bedel Duff

Page 1 of 2

1940 Northwood Troy, MI 48084 Phone: 248-577-0740

Quote to: HAMBURG TWP POLIC Quote: Q082223-1

10409 MERRILL RD WHIMORE LAKE, MIDARIUSZ NISENBAUM

Date: 8/22/23

Quoted by: DWOOD

Fax #:

Phone #:

Direct Phone #:

Customer PO #:

QTY	CATALOG NUMBER	DESCRIPTION	LIST PRICE	UNIT PRICE	E	EXTENDED	
						PRICE	
16	CYRS2472Z	ZORI 24" STRAIGHT T LEG FLIP	\$2,017.00	\$726.25	\$	11,620.0	
10	CDTO	TABLE 24X72 W.3MM EGE	***	405.00	\$	-	
	GBT2 HMN2	GANGING BRACKETS FOR TABLES		\$25.00	\$	400.0	
32	HIVINZ	MOTIVATE NESTING FLIP SEAT	\$851.00	\$357.00	\$	11,424.0	
		FLEX BACK			\$		
		WITH UPHOLSTERED SEAT MESH BACK			\$		
2	HIVVMM	The state of the s	# 000 00	0077.00	\$	4 404 (
3	LIIAAIAIIAI	IGNITION MID BACK TASK CHAIR MESH BACK	\$838.00	\$377.00	\$	1,131.0	
		Secretary and the particular and	*		\$		
6	HIGS6	UPHOLSTERED SEAT	# 000 00	\$000 00	\$	4 000 (
0	nigo0	IGNITION GUEST CHAIR MESH BACK	\$629.00	\$283.00	\$	1,698.0	
					\$		
		UPHOLSTERED SEAT WITH ARMS			\$	-	
1	H105897R	HON DESK 30X66	P4 F47 00	Φ000 00	\$		
	H103097K	BOX BOX FILE PEDESTAL RIGHT	\$1,517.00	\$683.00	\$	683.0	
2	H105898L		Φ4 E 4 7 00	000000	\$	4.000.0	
	H103090L	HON DESK 30X66	\$1,517.00	\$683.00	\$	1,366.0	
. 2	H105905R	BOX BOX FILE PEDESTAL LEFT HON RETURN 24X48	£4.400.00	ΦΕΩΕ ΩΩ	\$	4.070.4	
	H 100900R	FILE FILE PEDESTAL RIGHT	\$1,188.00	\$535.00	\$	1,070.0	
- 1	H105906L		¢4 400 00	ΦΕΩΕ ΩΩ :	\$	-	
	H103900L	HON RETURN 24X48 FILE FILE PEDESTAL RIGHT	\$1,188.00	\$535.00	\$	535.0	
1	CYL5FC	FIXED HEIGHT COMMAND CENTER	¢4.254.00	¢4 500 00	\$	4.500.0	
- '	CTLOFG	WITH TECH CABINET	\$4,354.00	\$1,568.00	\$	1,568.0	
		ALL PURPOSE CASTERS			\$		
		ALL PURPOSE CASTERS		(8)	\$		
			Λ.		\$		
					\$		
	1				\$		
		OMNIA Contract #R191819 TABLES			\$		
1.		OMNIA Contract #R191819 TABLES OMNIA Contract #R191804 CHAIRS			\$		
		PRICING REFLECTS TIER 2			\$		
		DISCOUNT FOR VOLUME			\$		
		DISCOUNT FOR VOLUME		·	Ф.		
					\$		
s of Sale:				Product Sub-total	\$	31,495.0	
	er Furniture is Non Returnable			Total from page 2	\$	-	
	es subject to 3% processing fee			Product Total	\$	31,495.0	
voices pas	t due 30 days are subject to 1	.5% charge per month		Sales Tax	\$		
ase note	due to the recent incre	ase in fuel costs we will be implementi	ng a 2% fuel	Delivery &			
				Installation			
surch	arge to all new orders w	ith a maximum amount of \$300.00 per	order	Fuel Surcharge	\$	_	
			*	Grand Total	\$	31,495.0	



DATANET | BOX 700744 | PLYMOUTH MI 48170 Bob Gutkowski 734-367-9000

Quotation #44957

Hamburg Township 10405 Merrill Road Whitmore Lake Michigan 48189 United States

Site Hamburg Twp Police

Dept

Reference PD Card Access

Date Expiry Date 17 August 202315 September 2023

ATTN: Dariusz Nisenbaum Hamburg Township PD: 17 access controllers with 19 card readers:

Quotation to provide & install 17 new access controllers with 19 card readers within the PD building as listed below. Doors with existing strikes shall be re-utilized. System is quoted with iCLASS readers and cards for added security. Mobile Smart Phones can also be used as credentials.

Reader List:

1) Ext East Gate	6) Int door to Squad Rm	11) Int door dbl garage	16) Ext Armory
2) Ext SE Door	7) Int door to MDF	12) Int between garage	17) Dual read
3) Int Lobby E	8) Int Hall to Garage	13) Int to Property Proc	18) Dual read
4) Int Lobby W	9) Int door Ammo	14) Int to Evidence Rm	19) Sally Garage out
5) Int Hall to Sally	10) Int door Single Garage	15) Int Armory	

Description	Quantity	Unit Price	Amount
79338 Infinias HID iCLASS Reader Prox Surface Mnt Mullion	19	166.58	3,165.02
13951 Infinias Access Controller w/HID Reader 1 Door add Kit	17	804.33	13,673.61
18765 Infinias Proximity Card, HID iCLASS, Printable, Vertical/Horizontal Slot Punch, PVC	50	5.96	298.00
18775 3x Intelli-M Access Server pre-loaded with Intelli-M Access Essentials Unlimited Door License. Benchmarked for up to 300 Doors Windows Embedded, 4TB Storage	1	2,705.31	2,705.31
79351 Von Duprin Heavy-duty Electric strike for Cylindrical locksets	3	385.60	1,156.80
18772 HES Door Strike Electric 12/24 VDC, 3070 Lb Static Load, Satin Stainless Steel, With Faceplate	4	478.704	1,914.82
19990 Hardware, Connectors, Consumables, Misc	1	860.00	860.00
20004 Install Labor Dnet Technician	1	7,220.00	7,220.00

Subtotal

30,993.56

Total USD 30,993.56

TERMS: Net 30 Days

NOTES:

- a) System above includes 3yr warranty.
- b) All doors/gates as per map provided.
- c) Existing/Township UPS shall power MDF Access 24p switch for power.
- d) All readers include new plenum cabling.
- e) System can accommodate up to 300 doors (readers) throughout the township.

Accepted by:	Date:
--------------	-------



ABSOLUTE SECURITY & INVESTIGATIONS

314 WEST WALTON B PONTIAC, MICHIGAN 48340 FAX: (248) 334-3558

LOCAL: (248) 332-7777
TOM@ABSOLUTESECURITYUS.COM

INNOVATIVE LEADERS IN SECURITY SOLUTIONS

24, August 2023

Hamburg Township Poice Department Deputy Chief Dariusz Nisenbaum 10409 Merrill Road Hamburg, MI 48139

RE: Police Department Seventeen Exterior, Interior Doors & Lot Gate Access Control System with Encrytped Mobile Credentials, Pelco Video System Intergration and Printing Options.

Dear Deputy Chief Nisenbaum:

Per your direction, please find the following proposal for the supply and installation of an access control system with eleven doors & parking lot gate interface. As discussed, this system design incorperates the latest technology and encryption to future proof the system and provide expandability at minimal cost.

The scope of work for the installation of access control system hardware with eleven doors at the Police Department will be as follows:

- Provide & install one (1) Avigilon ACM6 Enterprise PACS web-based appliance with thirty two door license, Hardened embeded Linux OS with 16 door license.
- Provide & install one (1) Avigilon series 3 intelligent controller with two-reader interface
- Provide & install five (5) Avigilon series 3 two-reader interface modules
- Provide & install one (1) Avigilon sixteen door integrated power system enclosures, housing intelligent controllers, two-reader interface modules, relay boards, fused distribution blocks and power supply
- Provide & install thirteen (13) Avigilon Signo 40 Smart Profile, OSDP/Wiegand, BLE, Mobile ready readers. HID Origo Mobile Identities User license required for mobile identities (see credentials)
- Provide & install one (1) Avigilon Signo40 Smart Profile, With Keypad OSDP/Wiegand, BLE, Mobile ready readers. HID Origo Mobile Identities User license required for mobile identities (see credentials) Parking Lot Gate
- Provide & install five (5) electric strikes at door locations within the PD
- Provide & install one (1) USB card encoder reader for credential enrollment
- Provide programming to customer requirements
- Test for operation & train staff

Per the listed scope of work, bill of materials, assumptions and maintenance summary, cost for the installation of hardware will be as follows: \$49,026.74*

* A credential is required per user, below are the requested credentials options, one or both maybe chosen.

* Credentials

- One Hundred (100) iCLASS SE Contactless smart card, 2k bit with two application areas. Sold in boxes of 100. \$600.00
- Twenty (20) HID Origo Mobile Identities User licenses initial and renewal. \$140.00 Minimum order of 20 user credentials. Number of user licenses (maximum number of concurrent users) valid for one year in an HID Origo account (linked to the Organization ID) at the catalog year cost per user. Current Year (2022) cost for the City of Brighton Police department is \$7.00 per user credential.

Both card and digital mobile credentials can be used simultaneously.

Additional Options

- Microsoft Active Directory Intergration \$2,047.00 Allows for centralized personnel information input
- Badging Software License \$682.00 Allows custom creation and templates for printing credential badges
- SMART SMART-51D ID Card Printer \$2,520.00 Duplex Printer Kit, USB with Ethernet. Includes 1 YMCKOK ribbon capable of printing 100 PVC cards, and 1 long cleaning card.
- 2 Year extended warranty for ACM Enterprise appliance \$1,048.00 Extends the ACM appliances 3 year parts and labor warranty, to 5 years parts and labor

Maintenance Summary

Absolute Security & Investigations (and it's contracted installation firms) standard warranty is twelve (12) months on parts and three (3) months on labor for the hardware installation. The warranty will commence upon the earlier of customer acceptance or established beneficial use.

This proposal is based on the following exclusions and assumptions:

- Owner to provide adequate 120 VAC power @ all ACM equipment locations
- Owner must sign off on new door design & approve code changes
- Owner to provide suitable mounting surface for all control equipment
- Owner to provide LAN/WAN connection for ACM appliance distribution to any controller location
- Owners existing computer network has availability for necessary static IP addresses and increased bandwidth activity. Problems or issues related to the network that delay the project will not be the responsibility of the contractor
- Owner to provide required IP address's for appliances and controllers
- Absolute Security not responsible for any connection, installation or programming of the network at remote location(s)

Continued

- Owners gate maintance company is responsable for programming the current gate controller for accept ing input from the access control system
- Any/all required 110 VAC circuits, power protection devices (UPS and/or battery backups), phone/fire/elevator system interface (includes fire drop out relays and/or permits), concrete coring, sleeving, cutting, painting, and/or patching are by others The cost for any permits if required, are not inclusive of this proposal and will be bill as additional
- Any changes to the scope with may be required by the local fire marshal and/or other AHJ are not inclusive of this proposal and will be bill as additional
- Work to be performed during normal business hours & no hindrances in gaining access to any of the necessary facilities, with prior planning and approval by client. No shift premium or overtime is included in this proposal

Thanking you in advance for your anticipated cooperation.

Sincerely,

Thomas KentVice President



DATANET | BOX 700744 | PLYMOUTH MI 48170 Bob Gutkowski 734-367-9000

Quotation #44963

Hamburg Township 10405 Merrill Road Whitmore Lake Michigan 48189 United States Site Hamburg Twp Police

Dept

Reference PD Addition 6 Cameras

Date Expiry Date 30 August 2023 29 September 2023

ATTN: Dariusz Nisenbaum

Hamburg Township PD new addition: 6 cameras

Quotation to provide & install 6 new cameras within the new addition as listed below. Cameras shall interface with the existing server and additional 12T HDD shall be added for recording capacity. Existing UPS shall be utilized for switch power needs. See notes below for additional scope of work information.

Camera List:

1) Int New Armory
2) Int Armory/Office Hallway
3) Int Training Rm (360)
4) Ext North wall viewing West
5) Ext North wall viewing East
6) Ext SW wall viewing North

Description	Quantity	Unit Price	Amount
15211 Pelco Camera Sarix Pro4 Env Dome 5MP, IR, 3.4-10mm Varifocal, POE	5	765.52	3,827.60
18763 Pelco Camera 8MP/4k Fisheye Surface Mount w/client side dewarping true WDR	1	920.80	920.80
15604 Pelco Dome Pendant Mount Exterior Pro 4 Series	3	112.784	338.35
18767 Pelco Wall Mount Vandal Resistant Environmental For 1.5 Inch NPT Pendant	3	60.032	180.10
15100 PELCO VXPpro 1 Channel License w/3y Support	6	137.22	823.32
15511 Netgear Switch 24-Port Gigabit w/PoE+ 380w, 2 SFP, Managed	1	839.632	839.63
18771 WD Surveillance HDD 12TB	1	498.592	498.59
12999 GL CAT5e Plenum Cable 23/4Pr Solid BC Green	2,000	0.28	560.00
19990 Hardware Consumables, Keystone jacks, patch cables, patch panel, misc	1	422.40	422.40
20004 Install Labor Dnet Technician inc pgm/setup	1	2,340.00	2,340.00

Subtotal

10,750.79

Total USD 10,750.79

TERMS: Net 30 Days

NOTES:

- a) Pelco cameras quoted above include 5yr warranty.
- b) All camera locations as per map provided.
- c) Existing/Township UPS shall power MDF CCTV 24p switch.
- d) All cameras include new plenum ethernet cabling.
- e) Cameras 1-6 shall connect to new 24 port high power PoE switch in MDF.
- f) Storage of video shall be at min a period of 30 days.

Accepted by:	Data:
Accepted by.	Date



DATANET | BOX 700744 | PLYMOUTH MI 48170 Bob Gutkowski 734-367-9000

Quotation #44964

Hamburg Township 10405 Merrill Road Whitmore Lake Michigan 48189 Site Hamburg Twp Police

Dept

Reference PD Addition Data/LV

Cabling

Date 30 Expiry Date 29

30 August 2023 29 September 2023

ATTN: Dariusz Nisenbaum

United States

Hamburg Township PD new addition: Data + Low Voltage Cabling:

Quotation to provide & install various data drops + low voltage cabling/outlets within the new addition as listed below. All wiring shall originate from the existing MDF as per T. Randazzo. Includes testing and labeling. See notes below for additional information.

Wiring List

- 1) 19 dual data drops: Training Rm =7 (5 per map + 2 TV), Offices = 6 (6 per map in 3 offices), Armory = 2, Break Rm = 4 (per map)
- 2) 3 single data drops: Locker Rooms = 2, Training Rm = 1 WAP
- 3) 6 multiconductor: Training Rm = 6 (one to each window, back to room closet)
- 4) 5 cable TV: Training Rm = 2, Offices = 3.
- 5) 2 HDMI: Training Rm = 2 (over CAT5e as needed)

Description	Quantity	Unit Price	Amount
12999 GL CAT5e Plenum Cable 23/4Pr Solid BC Green	9,000	0.28	2,520.00
19991 LOT: Coaxial Cable, Multiconductor wire, misc	1	306.70	306.70
79376 Kanex HDMI Extender Over CAT5/6 Up to 164' (50m), Video Extender Transmitter/Receiver, EDID Compliant	2	107.744	215.49
15511 Netgear Switch 24-Port Gigabit w/PoE+ 380w, 2 SFP, Managed	1	839.632	839.63
19990 Hardware Consumables, 50 Keystone jacks, wall plates, patch cables, 48p patch panel, jhooks, misc	1	1,028.00	1,028.00
20004 Install Labor Dnet Technician	1	4,680.00	4,680.00
		Subtotal	9,589.82
	To	otal USD	9,589.82

TERMS: Net 30 Days

NOTES:

- a) All cable is plenum rated.
- b) Patch Panels shall locate in MDF on south wall if no vacancy in rack.

Accepted by:	Date:
tocopted by:	

HAMBURGH TWP TRAINING ROOM

This offer is valid through: 10/08/2023

Item 15.

State Street Blinds & Design

7041 Grand River Rd Ste 200A

Brighton, MI 48114-9312 Phone: (810) 225-8488

Fax:

Email: kelly@statestreetblindsanddesign.com

Date Quote					
08/24/2023 17600648					
PO Reference					
HAMBURG TWP POLICE					
Salesperson					
Kelly Hansen					

Sold To:

Dariusz Nisenbaum 10409 Merrill Rd Hamburg, MI 48169 W: (810) 231-9391 Email: dnisenbaum@hamburg.mi.us

Item	Room Location	Description	Qty	Each	Extended
1	training room larger	Hunter Douglas Designer Roller PowerView Gen 3 Automation Bottom-Up URB - Urban Loft 101 - French Vanilla	3	1,411.84	4,235.52
2	training room smaller	Hunter Douglas Designer Roller PowerView Gen 3 Automation Bottom-Up URB - Urban Loft 101 - French Vanilla	3	1,247.75	3,743.25
3		Hunter Douglas PowerView Accessories Gen 3 Automation	1	859.32	859.32

Product Total	Price Adjustment -5.00%	SubTotal	Tax 0.0000%	Installation	Freight	Client Price
8,838.09	-441.90	8,396.19	0.00	513.00	300.00	9,209.19

Accepted By:		
Date:		

HAMBURG TWP POLICE OFFICES

This offer is valid through: 10/08/2023

Item 15.

State Street Blinds & Design

7041 Grand River Rd Ste 200A

Brighton, MI 48114-9312 Phone: (810) 225-8488

Fax:

Email: kelly@statestreetblindsanddesign.com

Date	Quote	
08/24/2023	17600661	
PO Reference		
HAMBURG TWP POLICE		
Salesperson		
Kelly Hansen		

Sold To:

Dariusz Nisenbaum 10409 Merrill Rd Hamburg, MI 48169 W: (810) 231-9391

Email: dnisenbaum@hamburg.mi.us

Item	Room Location	Description	Qty	Each	Extended
1	offices	Hunter Douglas Designer Roller Custom Clutch Bottom-Un LIRB - Urban Loft 101 - French Vanilla	3	380 32	1 167 06

Product Total	Price Adjustment -5.00%	SubTotal	Tax 0.0000%	Installation	Client Price
1,167.96	-58.39	1.109.57	0.00	108.00	1,217,57

Accepted By:	
Date:	·

All Back to School Buy Again Gift Cards

Hello, Dariusz

Lists

Business Prime



Don't forget to checkout with Pay by Invoice - with no interest or fees.

Shopping Cart



Mounting Dream UL Listed Advanced Tilt TV Wall Mount for

\$59.49

Business Price

In Stock

Save 10%

& FREE Returns

This is a gift Learn more

Clip Coupon

Qty: 2

Delete

Compare with similar items

Save for later



SAMSUNG 85-Inch Class Crystal 4K UHD AU8000 Series HDR, 3 HDMI

\$1,567.95

Business Price

Only 4 left in stock - order soon.

Shipped from: Video & Audio Center - Same Day

Shipping

Gift options not available. Learn more

Size: 85-Inch Style: TV Only

Qty: 2

Delete

Save for later

Compare with similar items

Share

Subtotal (4 items): \$3,254.88

Subtotal (4 items): \$3,254.88

☐ This order contains a gift

Proceed to checkout

Quantity Discounts to consider



ECHOGEAR TV Wall Mount for Large TVs ... 17,893

\$107.99

Add to Cart



Mounting Dream
Universal TV Mountin...

895

\$13.49

Add to Cart



Mounting Dream Tilting TV Wall Mount for 42...

1,264

\$39.99

Add to Cart



Mounting Dream Soundbar Mount Sou... 4,926

Add to Cart

Your Items

No items saved for later

Buy it again

No items to Buy again.

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Do you have a gift card or promotional code? We'll ask you to enter your claim code when it's time to pay.

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10405 Merrill Road P.O. Box 157
Hamburg, MI 48139
(810) 231-1000
www.hamburg.mi.us

TO: Hamburg Township Board of Trustees

FROM: Pat Hohl

DATE: August 30, 2023

AGENDA ITEM TOPIC: Police Department Expansion Technology and Furnishings

Number of Supporting Documents: XX

Requested Action

I request that the board approve the following expenditure for communications and data technology and furnishings associated with the construction of the police department expansion with a 10% contingency as the building is currently under construction and unforeseen circumstances may occur.

Background

As discussed in the March Board meeting and at the Strategic Planning meeting in April, the approval of the construction of the police department expansion was for the structural part of the project and did not include needed technology, communications and furnishings. Please review and approve the quotes provided by Deputy Director Nisenbaum for these aspects of the project.

Item 16.



Hamburg Township Public Safety Department

WE WAS THE PARTY OF THE PARTY O

PO BOX 157 · HAMBURG, MICHIGAN 48139
PHONE: (810) 231-9391 · FAX: (810) 231-9401
EMAIL: <u>HATP@hamburg.mi.us</u>
RICHARD DUFFANY, DIRECTOR OF PUBLIC SAFETY

TO: Hamburg Township Board

FROM: Chief Richard Duffany

DATE: August 31, 2023

RE: Agenda Item Topic: **Purchase of Fire Station Furnishings**

General Ledger #: 206-000.000-930.003

Number of Supporting Documents: 1

NEW/OLD BUSINESS: XXX New Business

Old Business – Previous Agenda #:

Requested Board Action

• Motion to approve the purchase of the Fire Station 11 training room furnishings from Smart Business Source of Troy, MI, as outlined in their quote, for the total cost of \$39,470.00.

Background Information

As part of the Station 11 renovations, the current training room is being refurbished and we are adding additional features to incorporate an Emergency Operations Center. At this time, I am requesting authorization to order furnishings (tables, chairs, podium) for the training/EOC.

All of the furnishings can be obtained through Smart Business Source of Troy, MI under Omnia Contract pricing (contract #R191804 and #R191819) providing the lowest price available. (Note: Omnia is a national public sector purchasing program that secures the lowest prices for government entities).

Budget Impact

The cost of the purchase of these furnishings has been included in the proposed FY 23/24 budget (G.L. #206-000.000-930.003) and this purchase will not adversely impact the FY 23/24 budget

Respectfully,

Chief Richard Duffany Director of Public Safety

Biolil Duff

Item 16.

Quote to: HAMBURG TWP FIRE Quote: Q072523-1

Date: 7/25/23

3666 E M36

PINCKNEY, MI 48169

JEFFERY NEWTON

Quoted by:

DWOOD

Fax #: Phone #: Direct Phone #:

Customer PO #:

QTY	CATALOG NUMBER	DESCRIPTION	LIST PRICE	UNIT PRICE	E	EXTENDED PRICE
20	CYRS2460A	ZORI STRAIGHT TOP 24X60	\$3,249.00	\$1,169.00	\$	23,380.00
		FLIP TOP WITH 3MM EDGE			\$	-
		POWER DATA CUTOUT CENTER		;	\$	-
		FLIP AND GO UNIT	11		\$	-
		2 RECEPTACLE, 2 USB,			\$	-
		6' CORD	2		\$	-
		W/CABLE TROUGH	_	9	\$	
52		W/GANGING BRACKETS	4 -		\$	-
40	HMN2	MOTIVATE NESTING FLIP SEAT	\$851.00	\$357.00	\$	14,280.0
		FLEX BACK			\$	-
50		WITH UPHOLSTERED SEAT			\$	1-0
		MESH BACK			\$	_
		PLASTIC BACK DEDUCT 36.00 PER	CHAIR		\$	(-)
	1 CYL5FC	FIXED HEIGHT COMMAND CENTER		\$1,568.00	\$	1,810.0
		WITH TECH CABINET	ψ 1,00 mos	71,000.00	\$	- 1,01010
9		ALL PURPOSE CASTERS			\$	_
	-	OMNIA Contract #R191819 TABLES			\$	
		OMNIA Contract #R191804 CHAIRS	· · · · · · · · · · · · · · · · · · ·		\$	·
		PRICING REFLECTS TIER 2			\$	
		DISCOUNT FOR VOLUME			\$	
		DISCOUNT FOR VOLUME			\$	
					\$	
		Laminate: 6994-26 Ceruse Gray Walni	L Lif		\$	
		Base: Black			\$	
		Edge Band: Black			\$	
	H	Fabric: DAPR35 Dawn			\$	
		Seat Frame: Black			\$	
		Seat Mesh: Black			\$	
	<u> </u>	Seat Mesh. Black			\$	<u>-</u>
			7		\$	
					\$	
						<u>-</u>
					\$	
		· ·		"	\$	
s of Sale				Product Sub-total	\$	39,470.0
	der Furniture is Non Returnable	and Non Refundable		Total from page 2	\$	33,470.0
	ales subject to 3% processing fe			Product Total	\$	39,470.0
	ast due 30 days are subject to 1			Sales Tax	\$	39,470.0
ivoices p	ast due 50 days are subject to 1	5% charge per month		Delivery &	Ą	
ease no	te due to the recent incre	ase in fuel costs we will be implement	ing a 3% fuel	Installation		
		ith a maximum amount of \$300.00 pe		Fuel Surcharge	\$	_
				Grand Total	\$	39,470.0





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TO: Hamburg Township Board of Trustees

FROM: Pat Hohl

DATE: August 30, 2023

AGENDA ITEM TOPIC: Police Department Expansion Technology and Furnishings

Number of Supporting Documents: XX

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HAMBURG TOWNSHIP - ARPA GRANT SUMMARY

AS OF: August 31, 2023

Money Received in 2021:	\$2,285,711.74	Expenses To Date	Balance of Amended Cost Remaining
Board Approval:	12/4/2022		
Project Name:	Pole Barn/Carport B&G		
Original Estimated Project Cost:	\$145,000		
Amended Estimated Project Cost:	\$150,877		
Year to Date Expenses :		\$162,997.64	(\$12,120.64)
Board Approval:	4/4/2022		
Project Name:	M-36 sewer Loop		
Original Estimated Project Cost:	\$800,000		
Amended Estimated Project Cost:	\$600,000		
Year to Date Expenses:		\$635,429.05	(\$35,429.05)
Board Approval:	4/4/2022		
Project Name:	Police Department Addition		
Original Estimated Project Cost:	\$800,000		
Amended Estimated Project Cost:	\$1,150,000		
Year to Date Expenses:		\$83,186.60	\$1,066,813.40
Board Approval:	4/4/2022		
Project Name:	Clerk's High Speed Tabulator		
Original Estimated Project Cost:	\$100,000		
Amended Estimated Project Cost:	\$98,875		
Year to Date Expenses:		\$98,875.00	\$0.00
	YEAR TO DATE EXPENSES:	\$980,488.29	\$1,019,263.71
	RECEIVED LESS EXPENSES:	\$1,305,223.45	- -
	BALANCE LESS REMAINING:	\$285,959.74	_

Remaining Projects:	Original Estimated Project Cost:	Amended Estimated Project Cost:
Building Bathroom Upgradges		\$110,000
Building Updates		\$30,000
Senior Center Improvement		\$100,000
P&R Grant Match		\$200,000
		\$440,000

ALLOCATED ARPA MONEY TO DATE: \$2,439,752.00

BALANCING REMAINING: (\$154,040.26)

TOWNSHIP OF HAMBURG RESOLUTION TO AUTHORIZE THE OPENING OF BANK / INVESTMENT ACCOUNTS

At a regular meeting of the Township Board of the Township of Hamburg, Livingston County, State of Michigan, held at the Hamburg Township Board Room on Tuesday, September 5, 2023, beginning at 2:30 p.m., Eastern Standard Time, there were

PRESENT:	
ABSENT:	
MOVED FOR ADOPTION:	
SUPPORTED BY:	
RESOLUTIO)N
WHEREAS, The Hamburg Township Board of Trustees has Securities' good standing as a financial institution and is in Township Investment Policy;	
NOW THEREFORE, BE IT RESOLVED , that Hilltop S the Township and that the funds of the Township may be do the Fund, in a demand, time or savings deposit account at the	eposited, subject to the rules and regulations of
A roll call vote on the foregoing resolution was taken and w	vas as follows:
AYES:	
NAYS:	
ABSENT:	
RESOLUTION DECLARED:	
CERTIFICATI	ON
I, Michael Dolan, being the duly elected Clerk of the To Michigan hereby certify that (1) the foregoing is a true and by the Township Board on September 5, 2023; (2) the origin of the Clerk's office; (3) the meeting was conducted, and prin full compliance with the Open Meetings Act (Act No. 26 amended); and (4) minutes of such meeting were kept and vavailable as required by the Open Meetings Act.	complete copy of the Resolution duly adopted nal of such resolution is on file in the records ablic notice thereof was given, pursuant to and 77, Public Acts of Michigan, 1976, as
DATE: September 5, 2023	
——	Michael Dolan amburg Township Clerk





10405 Merrill Road P.O. Box 157
Hamburg, MI 48139
(810) 231-1000
www.hamburg.mi.us

TO: Hamburg Township Board of Trustees

FROM: Jason Negri, Treasurer

DATE: August 28, 2023

AGENDA ITEM TOPIC: Hilltop Securities – approval sought

Number of Supporting Documents: 6

Requested Action

 Request approval of Hilltop Securities as a fiduciary institution to receive Township investment funds

Background

In accord with our investment policy, we are seeking to diversify our investments into new institutions that meet our criteria (financial solidity, municipal investment department and certification of our investment policy). Hilltop Securities meets these and I request we approve them as a depository, eligible to receive and hold Township investment funds.

HAMBURG TOWNSHIP LIVINGSTON COUNTY, MICHIGAN

RESOLUTION NO. 230802

RESOLUTION APPROVING OPTING-IN TO THE NATIONAL OPIOID LITIGATION SETTLEMENT WITH WALGREENS

WHEREAS, after several years of negotiation, nationwide settlements relating to the distribution and sale of opioids, have been reached against three national pharmacies, CVS, Walmart, Walgreens and against two pharmaceutical companies, Teva Pharmaceutical Industries and AbbVie/Allergan. The State of Michigan previously agreed to the terms of the settlements with CVS and Walmart, Teva and Allergan. The state recently agreed to a settlement with Walgreens, which allows subdivisions within Michigan to opt into the Walgreens settlement. These settlements are in addition to the settlements previously approved in 2021 with distributors, McKesson, Cardinal Health and AmerisourceBergen and one manufacturer, Janssen Pharmaceuticals, Inc., and its parent company Johnson & Johnson. The settlements require the companies to pay up to \$16.5 billion dollars over 13 years. The settlement payments are primarily earmarked for participating states and state subdivisions to remediate and abate the impacts of the opioid crisis and also include the payment of attorney fees for subdivisions that hired counsel to sue these companies on their behalf. ("Litigating Subdivisions")

WHEREAS, the settlements place numerous requirements on the companies to implement safeguards to prevent the over distribution and sale of opioids. The Michigan Attorney General's Office previously agreed to participate in these settlements, except for the settlement with Walgreens. Now Michigan has agreed to participate in the settlement with Walgreens and has negotiated a settlement agreement with the Litigating Subdivisions.

WHEREAS, the Township has received notice that it is eligible to participate in the settlement.

WHEREAS, any funds received from the settlements must be spent on opioid remediation, which is defined in the settlement agreements.

WHEREAS, the settlements require the participating subdivisions to agree to the settlement terms. The Walgreens settlement, like other settlements, requires: i) an agreement to the terms of the settlement; ii) a release of claims; iii) an agreement that monies received can only be spent on opioid remediation and; iv) a consent to the jurisdiction of the Court where the Settlement Judgment is filed.

NOW, THEREFORE, BE IT RESOLVED, that Hamburg Township hereby elects to participate in the Walgreens national opioid settlement. The Township of Hamburg agrees to the terms of the Walgreens settlement, a Release of Claims against Walgreens, the funds received from the settlements to be spent on opioid remediation, as defined in the settlements, and consents to the jurisdiction of the Court where the Settlement Judgment is filed.

BE IT FURTHER RESOLVED, the Township authorizes the Township Supervisor to utilize the National Opioid Settlement Portal to opt-in to the Walgreens settlement, consent to the terms of the settlement and take such further action as is necessary to receive the settlement funds.

BE IT FURTHER RESOLVED, The election, agreement, and authorization in this Resolution are subject to completion of all other necessary actions by the Court and the other parties required to finalize the settlements as described herein.

At a meeting of the Hamburg Township Board, a, supported by Board Member	
resolution.	
Ayes: Nays: Absent:	
RESOLUTION DECLARED [ADOPTED/FAILED] on this	day of, 2023.
CERTIFICATION	
I, Michael Dolan, being the duly elected Clerk of the County, Michigan hereby certify that (1) the foregoing is Resolution duly adopted by the Township Board onresolution is on file in the records of the Clerk's office; (3) the notice thereof was given, pursuant to and in full compliance 267, Public Acts of Michigan, 1976, as amended); and (4) and will be or have been (or will be) made available as required.	s a true and complete copy of the, 2023; (2) the original of such ne meeting was conducted, and public e with the Open Meetings Act (Act No. of minutes of such meeting were kept
DATE:, 2023	
	Michael Dolan Hamburg Township Clerk

Vantage Construction Company

Run Date: 16-Aug-23

Project Location : Hamburg Township Offices Bathrooms

Customer Name: Tony Randazzo

INVOICE

Description	on of change:	Multiple Changes				
Date of Change Order:		Date	08/14/23			
Quotati	on/Description o	f Change				
1 2	FMG had to cut Carried floor tile	down the concrete thru the hallway			\$ \$	1,325 2,300
3 4		ed lights allway lights from the main hall THIS CONTRACT COST ADJU		Grand Total	\$ \$ \$	625 100 4,350
		Original Contract	Amount		\$	110,180
		New Adjusted Co	ontract Amount		\$	114,530
		Payments Receiv	ved To Date		\$	-
		Balance Due			\$	114,530
	Work is complete,	please pay this week.		Grand Total	\$	114,530



10405 Merrill Road ◆ P.O. Box 157 Hamburg, MI 48139 Phone: 810.231.1000 ◆ Fax: 810.231.4295 www.hamburg.mi.us

08/30/23

To: Hamburg Township Board

From: Tony Randazzo

Re: Final Invoice - Restroom Project

The final project cost for the restroom renovations totaled \$114,530. This is \$4,350 above the approved amount. We encountered some unforeseen, minor changes that led to the increase. They are as follows:

- 1. **FMG had to cut down the concrete**. The women's room was made larger to accommodate to satisfy ADA requirements for the stalls. To accomplish this, we took some space out of an adjacent storage room to add more square footage. After demolition began, the contractor found that the storage room floor was ¾ of an inch higher than the restroom floor which meant that it had to be ground down to match. This cost an additional \$1,325.00.
- 2. Carried floor tile thru the hallway. The original plan was to use the old tile from the restrooms in the transition zones and along the edge of the hallway where the new drywall was installed. However, the old tile was difficult to remove without breakage which resulting in very little usable tile. We tried to find the original tile online and through other sources but were not successful. The best solution was to use the excess new tile to finish the area in front of the restrooms. This change amounted to \$2,300.00
- 3. **Added 5 recessed lights** The architectural plans did not specify what type of fixtures to install. We thought it would best to install recessed lighting instead which made the restrooms brighter than they otherwise would have been. This cost an additional \$625.00 which was lower than I would have expected.
- 4. **Separated the hallway lights from the main hallway light switch** This was done so we don't have to turn on the entire row of hallway lights leading to the Boardroom every day. Instead, only two lights near the restrooms will be on each day which will save on electricity in the long run. This was a \$100.00 add-on.





P.O. Box 157
Hamburg, MI 48139
(810) 231-1000
www.hamburg.mi.us

TO: Township Board of Trustees

FROM: Deby Henneman, Township Coordinator

DATE: August 30, 2023

AGENDA ITEM TOPIC: Parks & Rec – Policy & Procedure Update – Park/Trail Use Application –

Sign Policy/Procedure

Number of Supporting Documents: 2

Requested Action

To approve proposed changes to the Parkland Use Permit Sign Policy effective immediately and to direct the Township Coordinator to include them in the upcoming revision of the Park & Recreation Policies and Procedures.

Background

In October of 2021, a policy was put into place to allow more flexibility for the users of the parklands to place signage for directional and public safety purposes, as well to provide the public a way of preparing for upcoming events in our Parks. In working with this policy for the past couple of years, I noted some deficiencies in the language that made the process cumbersome. After speaking with Zoning and the Supervisor, I have come up with a compromise that I believe will help the application process.

Ultimately, the only **allowed** signs will be those events which are approved through our application process, and take place on Township parklands/facilities. Ideally, these signs will be presented at the time of application, however, can be approved administratively, for an **approved** event, by staff.

I have also made recommendations for changes to Section 36 of the Ordinance, which clarifies the Class Level for the civil infraction and updates the reference to the area of the code it affects. It also includes references to the Park/Trail Use Application Process for parkland properties. The draft were sent to the Zoning Department and Supervisor for their action on 8/11/23.

P.O. Box 157 10405 Merrill Road Hamburg, Michigan 48139-0157

(810) 231-1000 Office (810) 231-4295 Fax



Supervisor: Pat Hohl Clerk: Mike Dolan Treasurer: Jason Negri Trustees: Bill Hahn Cindy Michniewicz Chuck Menzies Pat Hughes

Parklands Park/Trail Use Application - Permit Sign Policy/Procedure

The Hamburg Township park and recreation system affords residents and visitors with a higher quality of life standard. The benefits of a quality parks and recreation system include: Greater opportunities for a healthy lifestyle; Increased property values throughout the Township; Encouragement of economic development, which in turn, can further attract investment; Natural beauty; Environmental gains and benefits; Socializing and fun; and Sense of place and identity for the community. Hamburg Township parks afford all residents and visitors of Hamburg Township with the opportunity to participate and enjoy in the Township's parks and recreation facilities and to act as gathering spaces for community building.

Intent: This policy is included in the Parks and Recreation Policies and Procedures and is intended to allow specific signage associated with the approved use of Township owned/operated park park lands. The allowed signage will help the Hamburg Township to better meet the needs of the community and public use of the park systems. The signage will help to better inform people of upcoming events and direct people to the event.

All signage placed on Township owned/operated property, must first be approved through the Hamburg Township Parks and Recreation application process. Only signage relating to, and in support of, an approved event on Hamburg Township owned/operated park/trail property, qualifies for this addendum. Must be requested at time of application, or no later than 60 days prior to event. Any other requests must comply with Hamburg Township Ordinance – Chapter 36, Article VII, Section 36-222,

Signage Regulations for Park Use Applications:

In addition to directional signage <u>allowed during an event in Hamburg Township Parks and/or Trails, the following signs</u> announcing the approved event are only allowed with <u>the issuance of aan approved parklands use permitPark Use Application</u>:

- 1) Temporary freestanding signs:
 - a. On the Township owned property where the event is located:
 - i. One 32 square foot sign; and
 - ii. Four 6 square foot signs, with one side 4' max in length.
 - b. On the Township owned property at M-36 and Merrill Road (parcel 15-23-300-028):
 - i. One 32 square foot sign.
 - On other pre-approved events on Hamburg Township owned/operated park/trail property.
 - Provide site plan, size, and sign details in writing to the Park Coordinator during the Park Use Application approval process, no later than 60 days prior to event date.

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Effective 10/5/21

2) Signage duration:

- a. If the event is held on between 1-7 consecutive days the signs may be installed 7 days prior to the event and must be removed within 2 days after the last day of the event.
- b. If the event is conducted over multiple weeks the signs allowed in section 1) a. ii. shall only be allowed the day of the event, all other signs allowed in section 1) may be installed 7 days prior to the event and must be removed within 2 days after the last day of the event.
- c. If the signs are not removed as required by the code the Township may remove the signage and may issue violations as outlined in Hamburg Township Code of Ordinances.
- Directional signs shall be approved as a part of the Parks Use Permitadministratively for approved Park Use Applications and must pertain only to Township owned or operated Park/Trail property only.
- 4) All signs shall be outside of the road right-of-way and at least 10 feet from a paved roadway or driveway.
- 5) The Township shall be authorized to remove any unapproved signage or additional signage placed unrelated to the scheduled events. Violations or abuses of this rule may result in termination or denial of park use.
- Any unapproved signage pertaining to an event that is not taking place on Township owned/operated Park/Trail property, will be removed and will be considered a Class E municipal civil infraction. Charges for violations or abuses of this rule can be found at:

 Hamburg Township Code of Ordinances, Chapter 1, Article II, Sec.1-45.

Sign Application Materials:

The following information shall be submitted with the parklands use permit application:

- Description of the signs including a drawing showing the proposed signs and the sign dimensions; and
- 2) Map showing the location of the proposed signs.
- 3) Any signs planned for the Road-Right-Of-Way must be submitted to the jurisdiction that regulates and oversees those roads.

Livingston County Road Commission:

https://livingstonroads.org/permit-office/

State of Michigan (MDot):

https://www.michigan.gov/mdot/business/permits/right-of-way-construction/governmental-signing

Effective 10/5/21

P.O. Box 157 10405 Merrill Road Hamburg, Michigan 48139-0157

(810) 231-1000 Office (810) 231-4295 Fax



Supervisor: Pa Item 22.
Clerk: Mike Dolan
Treasurer: Jason Negri
Trustees: Bill Hahn
Cindy Michniewicz
Chuck Menzies
Pat Hughes

Park/Trail Use Application - Sign Policy/Procedure

The Hamburg Township park and recreation system affords residents and visitors with a higher quality of life standard. The benefits of a quality parks and recreation system include: Greater opportunities for a healthy lifestyle; Increased property values throughout the Township; Encouragement of economic development, which in turn, can further attract investment; Natural beauty; Environmental gains and benefits; Socializing and fun; and Sense of place and identity for the community. Hamburg Township parks afford all residents and visitors of Hamburg Township with the opportunity to participate and enjoy in the Township's parks and recreation facilities and to act as gathering spaces for community building.

This policy is included in the Parks and Recreation Policies and Procedures and is intended to allow specific signage associated with the approved use of Township owned/operated parklands. The allowed signage will help Hamburg Township to better meet the needs of the community and public use of the parkland systems. The signage will help to better inform people of upcoming events and direct people to the event.

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P.O. Box 157
Hamburg, MI 48139
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www.hamburg.mi.us

TO: Township Board of Trustees

FROM: Deby Henneman, Township Coordinator

DATE: August 30, 2023

AGENDA ITEM TOPIC: Parks & Rec – Spicer Group Agreement – 5-year Master Design Plan Concept

Number of Supporting Documents: 1

Requested Action

To direct the Township Clerk to enter into an agreement with Spicer Group at a cost not to exceed \$10,500 for the development of a Master Design Plan based on our newly adopted 5-year Parks & Recreation Master Plan, and to include all pending projects including the Bennett Park Renovations and Huron River Water Trail Access Project, the and the Lakelands Trail Restroom and Amenities concepts.

Background

On January 2, 2023, we approved the Park & Recreation Master Plan, which was filed with the MDNR and approved on March 14, 2023. Similar to what we did with the expired plan, I am proposing we have a Master Design Plan concept drawn up to replace the one done by McKenna Associates on April 1, 2019, which is now obsolete.

This drawing/plan is an invaluable tool not only as a visual for residents and staff to understand the direction we would like to move, but it is also necessary to have concept plans for every grant you pursue. This year alone, I have worked on three of them. Having plans at the ready, along with the Master Plan document, will save an enormous amount of time and stress, especially if we have an opportunity pop up with a short application turnaround.

I recommend hiring Spicer Group to provide a 5-year Master Design Plan Concept, as they will be able to include many of the concept drawings/ideas they have previously helped us with, into one cohesive design. The trailhead concepts weren't included in the past, but in light of the Spark Grant we applied for, and the work that was done on the restroom proposal, I feel they should be. I also believe including the future upgrades to the Senior Center would be prudent, especially considering the expansion will need to happen one way or another, and if future grants arise, we need to be prepared to go after them.

I appreciate the Board considering the purchase of these invaluable tools in order to help us plan for the future of Parks and Recreation, the Lakelands Trail, and the Senior/Community Center.



August 4, 2023

Mike Dolan, Clerk Hamburg Township 10405 Merrill Rd. Hamburg, MI 48139

RE: Manly W. Bennett Park Concept Plan

Hamburg Township, Livingston County, MI Letter Agreement for Professional Services

Mike:

We are furnishing you with a letter agreement to develop a park concept plan for Hamburg Township's Manly Bennett Park. We are excited about the opportunity to assist the Township.

BACKGROUND

Listed below is our proposed scope of work to develop concept plan and cost estimate.

SCOPE OF WORK

Spicer Group's proposed services follow.

1. CONCEPT PLAN

- > Spicer Group will develop a concept plan for the park using an aerial image as the base with potential improvements depicted as overlay images.
 - a. Kick off meeting with the Township.
 - b. Visit the park.
 - c. Develop a preliminary plan for the proposed improvements.
- ➤ We will develop a preliminary estimate of cost for the proposed improvements.
- ➤ We will submit the concept plan and estimate to you for review and discussion.
- > Spicer Group will complete the concept plan and estimate based on the comments we receive.

2. RENDERED FINAL CONCEPT MASTER PLAN

> Spicer will prepare a color graphic rendering of the master plan for public presentations and usage in grant and park documents. 24" x 36" color printed and laminated document will be provided.

Concept Plan August 4, 2023 Page 2 of 3

SERVICES NOT INCLUDED

The following items are necessary for the successful completion of the project but are expected to be provided or performed by the Township and are not included in our Scope of Work:

- Evaluation of existing facilities' structural integrity.
- Utilities within facilities and operational abilities.

ADDITIONAL SERVICES

Additional services related to this project will be furnished by us after you authorize the work. Our fee for the additional services will be determined at the time they are agreed to and rendered.

FEE SCHEDULE

Fax: (989) 754-4440

Cc: SGI File 134470SG2023 KEF, Acctg.

mailto: cynthia.todd@spicergroup.com

Our proposed fee schedule follows. We will submit invoices to you for our professional services, any additional authorized services, and any reimbursable expenses. We will perform this work on a standard hourly rate basis, billing the Township only for effort that we put toward this.

Concept Plan/Preliminary Estimate of Cost: \$9,000
Rendered Concept Master Plan \$1,500

Total \$10,500

We have calculated these fees based on our understanding of what you want us to do and what you have told us. Should we approach the amount of the fee for any reasons before we are finished with the work, if the scope changes or our understanding was incorrect, we will notify you and discuss with you the option of adjusting the amount of the fee or adjusting the scope of services.

If this proposal meets with your approval, please acknowledge this approval with an authorized signature below and return one of the enclosed copies to us.

We deeply appreciate your confidence in Spicer, and we look forward to working with you and for you on your project.

Sincerely,	Above	proposal accepted and approved by Owner.
Cynll-19.	HAMI	BURG TOWNSHIP
Cynthia A. Todd, PLA		
Director of Planning	By:	
Shown P. Middleton D.E. CEM St.		Authorized Signature
Shawn P. Middleton, P.E., CFM Sr. Project Manager, Vice President		Printed Name
SPICER GROUP, INC.		
230 S. Washington Avenue		Title
Saginaw, MI 48607		
Phone: (989) 754-4717 ext. 5522	Date:	

Item 24.



PHONE: 810-231-1000 FAX: 810-231-4295 P.O. Box 157 10405 Merrill Road Hamburg, Michigan 48139-0157

To: Board of Trustees

From: David Rohr

Date: September 5, 2023

Agenda

Item:

Re: Zoning Text Amendment (ZTA) 21-003: Permitted Use Tables

HISTORY:

The Hamburg Township Planning Commission, at their November 17, 2021, meeting, approved a motion to recommend approval of ZTA 21-003: Permit Use Tables text amendments to the Township Board. This item was never put on the Township Board agenda. Planning staff kindly asks the Board to consider the Planning Commission's recommendation from November 17, 2021.

RECOMMENDATION:

Staff suggest that the Township Board discuss and review ZTA 21-003 Permitted Use Tables text amendments. The Board should decide on the Zoning ordinance amendments based on the Planning Commission recommendation of approval on November 17, 2021.

Example Approval Motion

The Township Board approves ZTA 21-003 Permitted Use Tables text amendments. These Ordinance amendments received a prior recommendation of approval from the Planning Commission on 11/17/2021 and the Livingston County Planning Commission on 12/15/2021.

Thank you.

Item 24.



FAX 810-231-4295 PHONE 810-231-1000 P.O. Box 157 10405 Merrill Road Hamburg, Michigan 48139

Hamburg Township Planning Commission Wednesday, November 17, 2021 7:00 P.M.

1. CALL TO ORDER:

The meeting was called to order by Chairman Muck at 7:00 p.m.

Present:

Bohn, Hamlin, Hughes, Leabu, Muck, Muir & Priebe

Absent:

None

Also Present:

Scott Pacheco, Township Planner & Chris Madigan, Planning & Zoning Administrator

2. PLEDGE TO THE FLAG: Chairman Muck led those present in the pledge to the flag.

3. APPROVAL OF THE AGENDA:

Motion by Priebe, supported by Muir

To approve the agenda as presented

VOTE:

MOTION CARRIED UNANIMOUSLY

4. APPROVAL OF MINUTES:

a) October 20, 2021 Planning Commission Meeting Minutes

Motion by Hughes, supported by Priebe

To approve the minutes of October 20, 2021 as presented

VOTE:

MOTION CARRIED UNANIMOUSLY

5. CALL TO THE PUBLIC:

Chairman Muck opened the call to the public. He stated that we do have a public hearing on the zoning text amendment. Comments on that topic can be made during that public hearing. Hearing no public comment, the call was closed.

6. NEW BUSINESS:

a) FSPA21-005: Final Site Plan review for a Mixed Planned Unit Development to allow a 51-unit single family housing development on the property at 4715-35-300-044 (48.79 Acres). This development proposes a unique mix of housing types that will be clustered on the site allowing 31.75 acres of the site to remain undeveloped. Twenty of the single-family housing units will be reserved for elderly housing and will meet the regulations in the Elderly Housing Cottage

Opportunity Planned Unit Development regulations.

Mr. Jeff Wilkerson, owner of the Muire Glen Development, introduced himself and gave a brief description of the 51 unit development. He indicated that they did their best to preserve the maximum amount of open space and preserved the wetland according to EAGL guidelines. They have started some clearing work and it will be done in accordance with the species preservation.

Planner Pacheco gave a history of the project including the approval of the preliminary plan with density bonus and 13 conditions of approval. This is a mixed Planned Unit Development with open space and Elderly Cottage Housing Planned Unit Development. He described the project and preservation of open space and wetland area. He reviewed his staff report and stated that they have been working on the engineering and other approvals that will be required. He discussed the work that has been done with staff and Architectural Review Committee and the Architectural handbook that has been recommended for approval. He discussed the designs and materials. Further discussion was held on the reviews by the Road Commission, Fire Department, easement agreements, etc. Pacheco stated that if the Planning Commission recommends approval, it will go to the Township Board for approval who will then direct the Township Attorney to work with the developer to create a development agreement to memorialize the requirements of the PUD.

Discussion was held on the height of monument signs. Commissioner Leabu stated that he would be in favor of a waiver to allow the sign as presented to allow for landscaping. Planner Pacheco stated that this could be done as a waiver or simply part of the PUD. Discussion was held on the slope of the topography in that location. Discussion was held on looking at an ordinance amendment in the future to address the height of monument signs.

Discussion was held on the preliminary plan indicating that each unit would have a solar and fire suppression system. Mr. Wilkerson stated that originally, the fire suppression was in lieu of increasing the road width. They are now at 28 feet to accommodate fire trucks so there is no longer need for fire suppression. The orientation of the homes and homesites are solar ready, but that is not something built into the architecture. It can be offered.

Discussion was held on the calculation of the parallel plan.

Commissioner Hamlin stated that he voted against the preliminary site plan. He voiced his objection to the plan, indicating that he feels that we should keep the status of the low density areas rural and low density. This project is more than double the density that is master planned and partially based on a non-compliant parallel plan. All the comments at the public hearing were opposed to the development. These are the reasons he will be voting against recommending approval.

Motion by Priebe, supported by Bohn

To recommend final site plan approval of the Muire Glen Mixed Planned Unit Development to allow a 51-unit single family housing development on the property at 4715-35-300-044 (48.79 Acres) as discussed at this meeting with the eight conditions outlined in the staff report allowing the sign as presented in the plan.

Discussion was held on the approval of the Architectural Handbook as part of the project plans.

Motion amended by Priebe, supported by Bohn

Hamburg Township Planning Commission Wednesday, November 17, 2021

To include recommendation of approval of the Muire Glen Architectural Handbook as part of the plan documents as presented

VOTE:

MOTION CARRIED (1 Opposed)

- b) ZTA21-002: Public Hearing to Consider Zoning Text Amendment (21-003) to amend article 2, 7 and 8 of the Township Zoning Ordinance. The amendment will:
- Add or revise of the definitions of Adult Businesses, Apartments, Farm Animal, Farm Product, Kennels, Live Work Units and Motels.
- Create use tables from the existing permitted and special uses in Section 7.5.1
 (A-Q) schedule of uses with minor edits to eliminate duplicate uses and to the uses allowed in each district as found appropriate.
- Remove the obsolete zoning districts (CE, RC, and OH) from the Township Zoning Ordinance.
- Remove the word Single Family from the description of the RAA, RA, and RB zoning districts.
- Organize and clarify the regulations for specific uses, this change consolidates all
 of the regulations for the specific uses located in the new use tables into Section
 7.6 Specific Use Regulations, subsections 7.6.1 through 7.6.36 and makes minor
 edits when necessary to these regulations.

Chairman Muck opened the public hearing.

Mr. Raymond Dobis of 11487 Pleasant View Drive voiced his concern about allowing motels in residential areas and short-term rentals with tenants who do not respect neighboring properties. He further expressed his concern from an insurance aspect and who will protect the people within the subdivision.

Hearing no further comment, Chairman Muck closed the public hearing.

Planner Pacheco stated that we have been talking about this for some time. Nothing has changed in the short-term rental wording since the September meeting. He explained that the courts have said you cannot enforce short-term rentals based on a commercial use in a residential area. He discussed the items such as trespassing, parking, noise etc. that are legally enforceable. In the proposed language, we are adding a definition of what a motel is, and that definition adds in short-term rentals. At that point, we have created where short-term rentals can be, which is the CS and NS districts. There is State legislation that may be going through that will keep us from regulating short-term rentals. He is suggesting that we put this language in place now so we can enforce these in the residential districts currently. If the State comes back and says we cannot regulate them, there are some stipulations that we can put into place. We can discuss that when or if that happens. Discussion was held on local control.

Planner Pacheco discussed the changes in the amendments since the October meeting which are outlined in the staff report. He stated that the Township Attorney has reviewed the draft ordinance which resulted in one minor change dealing with private restrictions in the accessory dwelling regulations.

Discussion was held on Section 7.4 not including the PPFR district. Pacheco stated that it should be included.

Discussion was held on the farm type stands within the commercial districts. Pacheco discussed how they are addressed as an allowed use in those districts. He stated that we can put them on the Permitted Use table. He will make that change before going to the Board. Further discussion was held on these uses requiring a Land Use Permit and meet the

Hamburg Township Planning Commission Wednesday, November 17, 2021 Page 4

requirements. Further discussion was held on road-side stands and outdoor sales and possibly requiring special land use. Discussion was held on these uses being seasonal. The consensus of the Commission is that it is adequately covered under the current regulations.

Motion by Priebe, supported by Hamlin

To recommend approval to the Township Board approval of ZTA21-003- Zoning Text Amendment to amend article 2, 7 and 8 of the Township Zoning Ordinance as presented with the addition of PPFR to Section 7.40

VOTE:

MOTION CARRIED UNANIMOUSLY

7. OLD BUSINESS: None

8. ZONING ADMINISTRATOR'S REPORT:

Chris Madigan, Planning & Zoning Administrator, commended the Planner for his hard work on the text amendments. It will make a big difference to users of our ordinance.

Madigan stated that we are expecting final site plan of the Pettysville Gas Station at the next meeting. We do not expect any other site plans or amendments at that time.

Madigan stated that we have a new Zoning Coordinator who has been doing great so far.

Planner Pacheco stated that the next Zoning Text Amendment we will be working on is the Village Center area. We will be looking at a more form-based code for that area and get us on track to enact that Village Center Master Plan and make it more streamlined and developer friendly.

9. ADJOURNMENT

Motion by Hamlin, supported by Priebe

To adjourn the meeting

VOTE:

MOTION CARRIED UNANIMOUSLY

The Regular Meeting of the Planning Commission was adjourned at 8:05 p.m.

Respectfully submitted,

Julie C. Durkin

Recording Secretary

The minutes were approved as presented/Corrected:

Jeff Muck, Chairperson

ARTICLE 2.00

DEFINITIONS

For the purpose of this Ordinance, certain words and terms are herewith defined. Words not herein defined shall have the meaning customarily assigned to them.

- ADULT BUSINESS. Establishments which are distinguished or characterized by entertainment, devices, or services which are sexually explicit in nature.
- APARTMENT: A multi-family dwelling owned by an individual entity and leased to residents that do not own the dwelling.
- FARM ANIMAL: An animal used to produce a farm product or that is a farm product itself.
- FARM PRODUCT: those plants and animals useful to human beings produced by agriculture and includes, but is not limited to, forages and sod crops, grains and feed crops, field crops, dairy and dairy products, poultry and poultry products, cervidae, livestock, including breeding and grazing, equine, fish, and other aquacultural products, bees and bee products, berries, herbs, fruits, vegetables, flowers, seeds, grasses, nursery stock, trees and tree products, mushrooms, and other similar products, or any other product which incorporates the use of food, feed, fiber, or fur, as determined by the Michigan commission of agriculture.
- KENNEL: A kennel shall be construed as an establishment wherein or whereon three (3) or more animals, other than farm animals, are confined and kept for sale, boarding, breeding, training, or sporting purposes, for remuneration.
- LIVE/WORK UNITS: A dwelling unit or sleeping unit in which a portion of the space includes a non-residential use that is operated by the tenant. An internal connection between the dwelling unit and non-residential space may be included. Examples of live/work units include the following types:
 - A. The Fully Integrated Type: The dwelling unit and the non-residential space occupy the same area.
 - B. The Live-Above Type: The non-residential space is below the dwelling unit.
 - C. The Live-Behind Type: The non-residential space is in front of the dwelling unit.
 - D. The Live-In-Front Type: A single-family house where the workplace is typically behind the living quarters, The house is intended to be fully compatible with a dwelling unit, with freestanding work quarters suitable for restricted uses. The separation between the two functions may be complete, meaning there may be a door separating the spaces. However the commercial section cannot be leased independently from the house.
- MOTEL: A building, boat, recreation vehicle, group of buildings, part of a building, dwelling or dwelling unit used for overnight accommodation of transient guest for compensation on a short term basis (i.e, stays generally shorter than thirty consecutive days). The term shall include any building, group of buildings, part of a building, dwelling or dwelling unit designated as a lodging house, hotel, resort, short-term rental or by any other title

Article 2.00 1 Definitions

intended for providing lodging for compensation on a transient basis, but shall not include Bed and Breakfasts or Campgrounds, as defined in this ordinance.

ARTICLE 7.00

DISTRICT REGULATIONS

Section 7.1. Establishment of Districts

The Township is hereby divided into the following zoning districts as shown on the Zoning District Map:

RAA - Low Density Rural Residential District
RA - Medium Density Residential District
RB - High Density Residential District
WFR - Waterfront Residential District
NR - Natural River Residential District
MHP - Mobile Home Park Residential District
NS - Neighborhood Service District

NS - Neighborhood Service District
CS - Community Service District
LI - Limited Industrial District
GI - General Industrial District
MD - Mixed Development District
VC - Village Center District

VC - Village Center District
VR - Village Residential District

PPFR - Public and Private Recreational Facilities District

Section 7.2. Zoning District Map

- **7.2.1. Identified**. The zoning districts as provided in Section 7.1. are bounded and defined as shown on the map entitled "Zoning District Map of Hamburg Township." The Zoning district Map, along with all notations, references, and other explanatory information, shall accompany and be made part of this Ordinance.
- **7.2.2. Authority**. Regardless of the existence of purported copies of the Zoning District Map which may be published, a true and current copy of the Zoning District Map available for public inspection shall be located in the office of the Township Clerk. The Clerk's copy shall be the final authority as to the current zoning status of any land, parcel, lot, district, use, building, or structure in the Township.
- **7.2.3. Interpretation of District Boundaries**. Where uncertainty exists with respect to the boundaries of any of the districts indicated on the Zoning District Map, the following rules shall apply:
- A. A boundary indicated as approximately following the centerline of a highway, alley, or easement shall be construed as following such centerline.
- B. A boundary indicated approximately following a recorded lot line or the line bounding a parcel shall be construed as following such line.
- C. A boundary indicated as approximately following a municipal boundary line of a city, village, or township shall be construed as following such line.

- D. A boundary indicated as following a railroad line shall be construed as being located midway in the right-of-way.
- E. A boundary indicated as following a shoreline shall be construed as following such shoreline, and in the event of change in the shoreline shall be construed as following the shoreline existing at the time the interpretation is made.
- F. The boundary indicated as following the centerline of a stream or river, canal, lake or other body of water shall be construed as following such centerline.
- G. A boundary indicated as parallel to, or an extension of, features in paragraphs A-F preceding shall be so construed.
- H. A distance not specifically indicated on the Official Zoning Map shall be determined by the scale of the map.
- I. Where a physical or cultural feature existing on the ground is at variance with that shown on the Official Zoning Map or any other circumstances not covered by A-H preceding, the Board of Appeals shall interpret the location of the zoning district boundary.
- J. Where a district boundary line divides a lot which is in single ownership at the time of adoption of this Ordinance, the Board of Appeals may permit an extension of the regulations for either portion of the lot to the nearest lot line, but not to exceed fifty (50) feet beyond the district line into the remaining portion of the lot.

Section 7.3. Application of District Regulations

The regulations herein established within each zoning district shall be the minimum regulations for promoting and protecting the public health, safety, and general welfare and shall be uniform for each class of land, buildings, structure, or uses throughout each district. Wherever the requirements of this Ordinance are at variance with the requirements of any other adopted rules or regulations, ordinances, deed restrictions, or covenants, the most restrictive or those imposing the higher standards shall govern. Except as hereinafter provided, district regulations shall be applied in the following manner:

- **7.3.1.** No building shall hereafter be erected, altered, or moved, nor shall any building or premises hereafter be used for any purpose other than is permitted in the district in which said building or premises is located, except by appeal as herein described by this Ordinance. Uses for enterprises or purposes that are contrary to federal, state or local laws or ordinances are prohibited.
- A. **Permitted Uses**. Uses shall be permitted by right only if specifically listed as principal permitted uses in the various zoning districts or are similar to such listed uses. All other uses are prohibited.
- B. Accessory Uses and Buildings. Accessory uses are permitted as listed in the various zoning districts or as similar to such listed uses, and only if such uses are clearly incidental to the permitted principal uses. Other accessory uses not listed are permitted if customarily incidental

- to any principal use. In addition to any provisions applied to a specific accessory use, the provision of Section 8.1 must also be met.
- C **Special Uses.** Special uses are permitted as listed or if similar to the listed special uses. In addition to any provisions applied to a specific special use, the provisions of Section 3.5 must also be met.
- **7.3.2.** No building shall hereafter be erected or altered except by appeal as herein described by this Ordinance, to:
- A. Exceed the height limit specified for the district in which such building is located.
- B. Occupy a greater percentage of lot area than is specified for the district in which such building is located.
- C. Intrude upon the required front, rear, or side yards, as specified for the district in which such building is located.
- D. Accommodate or house a greater number of families than is specified for the district in which such building is located.
- E. Provide less living space per dwelling unit than is specified for the district in which such building is located.
- **7.3.3.** No lot area shall be so reduced or diminished that yards and other open spaces shall be smaller than specified, nor shall the density of population be increased in any manner except in conformity with the area regulations, nor shall the area of any lot be reduced below the minimum requirements herein established for the district in which such lot is located.
- **7.3.4.** No part of a yard or other open space required for any building for the purposes of compliance with the provisions of this Ordinance shall be included as a part of a yard or other open space similarly required for another building.
- **7.3.5.** Every building erected, altered, or moved shall be located on a lot of record as defined herein, and except in the case of approved multiple dwelling, commercial, and industrial developments, there shall be no more than one (1) principal building and its permitted accessory structures located on each lot in any district.

Section 7.4. Intent of Districts

The intent and purpose of each district are set forth as follows:

7.4.1. RAA-Low Density Rural Residential District. The purpose of this district is to provide open land areas for residential and agricultural properties of a rural character that are presently without public water and sewerage facilities and are likely to remain without such services for an extended period of time. It is also the purpose of this District to protect and stabilize the essential characteristics of these

areas in order to promote and encourage suitable environments for low density family life, until such time as it may be in the public interest to promote urban development of a greater intensity requiring higher levels of public services and utilities. The requirements of this district are designed to permit the safe and healthful use of on-site water supply and waste disposal.

- **7.4.2. RA-Medium Density Residential District**. The purpose of this district is to provide a stable and sound environment for single-family detached dwellings with suitable open space at a medium density. The requirements of this District are designed to protect the medium density residential character of development by restricting uses and activities which are not beneficial or appropriate in such an area, and by permitting construction and occupancy of single-family dwellings on fringes of higher density urban development and may be served by public sewerage systems and other appropriate urban facilities and services in the future. However, the requirements of this district are designed to permit the safe and healthful use of on-site water supply and waste disposal. There is no intent to promote by these regulations a district of lower quality and desirability than in the RAA-Residential District, although a higher density of population is permitted herein.
- **7.4.3. RB-High Density Residential District**. The purpose of this district is to provide a stable and sound environment with suitable open space at a high density. The requirements of this district are designed to protect the single-family residential character of development by restricting those uses and activities, which are not beneficial or appropriate in such an area, and to promote high density development by permitting the construction and occupancy of single-family dwellings on relatively small-sized lots. These districts will generally be located adjacent to the highest concentrations of urban development and shall be served by public water and sewerage systems and other appropriate urban facilities and services. There is no intent to promote by these regulations a district of lower quality and desirability than other single-family residential districts, although a higher density of population is permitted herein.
- **7.4.4. WFR-Waterfront Residential District**. The purpose of this district is to accommodate all types of single-family housing, including seasonal homes, and other permitted use on or near waterfront, woodland, or other resort or vacation areas. The requirements of this district are established to allow development to be located on, near, or in these areas only when streets, utilities and other necessary public services are provided at adequate urban standards.

7.4.5. NR-Natural River Residential District. Refer to Section 7.8.1

- **7.4.6.** MHP-Mobile Home Park Residential District. The purpose of this district is to provide for the development of mobile home parks which are an asset to the community. The requirements of this district are established to allow the use of mobile homes located in a mobile home park regulated by the Mobile Home Commission Act, P.A. 419 of 1976, and this Ordinance. All uses permitted in MHP-Mobile Home Park Residential District shall comply with the Mobile Home Commission Act, P.A. 419 of 1976 and the current Mobile Home Code adopted by the Mobile Home Commission. In addition to the rules and standards of the Mobile Home Code, supplemental conditions shall apply to all uses permitted in the district by this Ordinance.
- **7.4.7. NS-Neighborhood Service District**. It is the purpose of this district to provide for convenient retail and personal service establishments which cater to the day-to-day needs of families residing within immediately accessible neighborhoods. The requirements of this district are designed to accommodate a major portion of existing neighborhood commercial development, but at the same time to limit future

commercial development to centers which can be economically supported by adjacent neighborhoods, and which have a minimum impact upon the residential character of surrounding development. It is the basic intent of this district to encourage future commercial development within planned centers and community service districts rather than in scattered locations through the residential area, but also to provide for those necessary services which are most appropriately and conveniently located in close proximity to residential neighborhoods.

- **7.4.8. CS-Community Service District**. The purpose of this district is to accommodate the wide range of retail, business, and personal service establishments which are intended to serve a number of neighborhoods, an entire community, or larger geographical areas of the Township. The provisions for this district are designed to encourage commercial development of various related types of centers which can be economically supported by the community and the surrounding area. These districts will be conveniently located in relation to the highest concentrations of urban development and on or near major thoroughfares to provide access to the outlying areas which they will serve. Planned community and regional shopping centers with adequate circulation and off-street parking facilities will be encouraged.
- **7.4.9. LI-Limited Industrial District**. The purpose of this district is to provide for the location of light manufacturing, wholesale activities, warehouses, research and development centers, office facilities, and accessory activities. Uses permitted in this district generate minimal noise, glare, odor, dust fumes, heat radiation, vibration, air and water pollutants, or other harmful or obnoxious matter. Uses permitted in this district are characterized by minimal use, storage, collection or by-production of toxic or hazardous materials; minimal use and storage of on-site fuels; minimal use of water; minimal combustion activities, ovens or vats; and minimal use of large processing equipment and bulk products. Uses which involve the storage or handling of explosive or highly inflammable gases or liquids are not intended in this district. The district is designed to create a low density development with spacious yards to provide attractive settings as well as to help insure compatibility with nonindustrial neighboring lots
- **7.4.10. GI-General Industrial District**. The purpose of this district is to provide for a broad range of manufacturing, wholesale activities, warehouses, research and development centers, office facilities, and accessory activities. While uses permitted in this district could create greater environmental disturbances than uses permitted in limited industrial districts, it is the intent of this district to protect neighboring properties and the Township as a whole. The district is designed to permit more intensive industrial uses on larger lots than in limited industrial while still insuring compatibility with non-industrial neighboring lots. Outdoor storage of materials and equipment is often a characteristic of these uses
- **7.4.11. MD-Mixed Development District**. The purpose of this district is to provide for various types of commercial, office, industrial, research, warehousing, and housing uses that are compatible with one another. The lands included in this district are those suited for uses characterized by low land coverage, the absence of objectionable external effects, large setbacks, attractive building architecture, and large landscaped park-like areas. The purpose of the district is to provide suitable sites for such uses, while making certain that such uses will be compatible with adjacent or surrounding districts. To these ends, development is limited to a low concentration, external effects are minimized, and permitted uses are limited to those which are adapted to an environment of this nature. The regulations are also designed to stabilize and protect the essential characteristics of the district by excluding uses which would have a detrimental effect upon the orderly development and functioning of the district.

- **7.4.12. VC Village Center District**. The purpose of this district is to encourage development and redevelopment which is consistent with the traditional architecture, mixture of uses and compact layout of a traditional village. The requirements of this District are designed to permit a variety of retail, office, housing, and service uses which are subject to review by the Panning Commission. More specifically, the Village Center Zoning District is intended to achieve the following objectives:
- A. Implement recommendations of the Master Plan including the M-36 Corridor Plan the Hamburg Village Plan, and other sub area plans;
- B. Encourage development which is consistent with the density and design of existing Old Hamburg Village development;
- C. Provide a land use transition between the village area and the more rural areas of the township;
- D. Establish a complimentary and integrated mixture of employment, shopping, entertainment and civic uses which create a walkable village with less reliance on automobile travel;
- E. Create a distinct community center and focal point in the township;
- F. Help ensure a consistent architectural theme without restricting innovative design;
- G. Integrate public gathering places;
- H. Promote long term viability in the established village area;
- I. Reduce traffic conflict points along M-36 by using a system of internal streets and access;
- J. Permit narrower streets and on-street parking on internal streets not intended to function as through streets;
- K. Enable development and redevelopment to occur in a manner that will be compatible with the existing and new village environment; and,
- L. Promote a concentration of commercial uses and other higher intensity non-industrial uses rather than permitting extending a commercial strip along M-36 with all its inherent traffic congestion, compromise of public safety environmental threats and poor aesthetics.
- **7.4.13. VR Village Residential District**. The purpose of this district is to encourage development and redevelopment which is consistent with the historic architecture, and compact layout of a traditional neighborhood. The requirements of this District are designed to permit a variety of residential densities and housing types. More specifically, the Village Residential Zoning District is intended to achieve the following objectives:
- A. Implement recommendations of the Master Plan including the M-36 Corridor Plan the Hamburg Village Plan, and other sub area plans;
- B. Encourage development which is consistent with the density and design of existing Old Hamburg Village development;
- C. Provide a land use transition between the village area and the more rural areas of the township;

- D. Create a distinct community center and focal point in the township;
- E. Help ensure a consistent architectural theme without restricting innovative design;
- F. Integrate public gathering places;
- G. Promote long term viability in the established village area;
- H. Reduce traffic conflict points along M-36 by using a system of internal streets and access;
- I. Permit narrower streets and on-street parking on internal streets not intended to function as through streets; and,
- J. Enable development in a manner that will be compatible with the existing and new village environment.

7.4.14. PPFR Public and Private Recreational Facilities District The purpose of this district is to encourage preservation of property for public and private recreational uses.

Section 7.5. Uses in Districts

Permitted, accessory, and special uses for each district are set forth in the Permitted Use Tables in Section 7.5.1, of this Ordinance. Unless otherwise stated, minimum area, height, and bulk regulations for each permitted or special use are set forth in Section 7.7.1.

7.5.1. Permitted Use Table

A. Residential Use Table

Residnetial Uses	RAA	RA	WFR	NR	RB	MHP	PPRF	NS	CS	LI	GI	MD	VC	VR	Use Standards
Single-family dwelling	Р	Р	Р	Р	Р			S	S				Р	Р	7.6.1/7.6.4
Accessory Dwelling Units	Р	Р	Р	Р	Р								Р	Р	7.6.2
Farming	Р	Р					Р								7.6.3
Roadside Farm Stand	Р	Р					Р								
Community Supported Agricultal	Р	Р													
Raising of horses	Р	Р	Р	S			Р								7.6.3
Raising of Poultry	Р	Р	Р	S			Р								7.6.3
Two Family Dwellings		S			S			S	S				Р	S	7.6.4
Multi-Family Dwellings								S	S			S	Р	S	7.6.4
Apartments								S	S			S	S	S	7.6.4
Mobile Home Parks	,					Р									7.6.5
Live Work Unit								P	Р			Р	Р	S	7.6.6

B. Public/Institutional/Recreational Use Table

Public/Instritutional/Recreation Uses	RAA	RA	WFR	NR	RB	MHP	PPRF	NS	CS	LI	GI	MD	VC	VR	Use Standards
Government Buildings	S	S	S	S	S			Р	Р			Р	Р	S	
Schools	S	S	S	S	S				Р				Р	S	7.6.7
Public and private cemeteries	S						S								7.6.8
Radio or television stations or transmitters	S						S								7.6.9
Airfields and Helipads	S						S								7.6.10
Public or private golf courses	S	S	S	S			S								7.6.11
Public or private recreation clubs	S	S	S	S			S								7.6.11
Religious Institutions	S	S	S	S				Р	Р				S	S	
Essential Services	Р	Р	Р	Р	Р	Р	Р	P	Р	Р	Р	Р	Р	Р	7.6.12
Hospitals and Medical Centers	S														
Nursing or Convalescent Homes	S												S		
Public and Private Parks and Open Space	S	S	S	S	Р										
Collection Bins								Р	Р	Р	Р		Р		7.6.13
Private Indoor and Outdoor Recreation Facilities							S		Р				Р		7.6.14
Private and Public Campground and Lodges	S						S								7.6.15
Gun/Archery Ranges and Hunt Clubs							S								7.6.16
Off-road vehicle and go-cart courses							S								7.6.16

C. Commercial Use Table

Commercial Uses	RAA	RA	WFR	NR	RD	МНР	PPRF	NS	CS	LI	GI	MD	VC	VR	Use Standards
Home Occupations	P	P	P	P	P		11111	143		Li	0.	IVID	P	P	7.6.17
Minor Agricultural Commercial and Tourism Use	P														7.6.18
Major Agricultural Commercial and Tourism Uses	S														7.6.18
State Licenced Child Family Day Care Home	P	Р	Р	Р	Р									Р	
State licensed Adult Family Care Home	Р	Р	Р	Р	Р									Р	
Group day care homes	S	S	S	S	S									S	7.6.19
Small and Large Adult Foster Care	S	S	S	S	S			S	S					S	7.6.20
Child Care or Day Care Centers								S	S				Р		7.6.19
Kennels	S							S	S						7.6.21
Bed and Breakfast	S	S	S	S	S			S	S			S	S	S	7.6.22
Firewood Sales	P	Р						Р	Р						7.6.23
Outdoor Drive-in Theaters	S														7.6.24
Wholesale Stores									Р	Р	Р				
Department Stores									Р						
Retail Stores								Р	Р			Р	Р		
Food and Beverage Stores								Р	Р			Р	Р		
Restaurants w/o drive thru								Р	Р			Р	Р		
Service Businesses								Р	Р			Р	Р		
Business and Professional Offices								Р	Р	Р	Р	Р	Р		
Banks and Financial Institutions w/o drive-thru								Р	Р	Р	Р	Р	Р		
Small Repair Shop								Р	Р	Р	Р		Р		
Open Air busninesses								S	S						7.6.25
Dry Cleaner								S	Р				Р		7.6.26
Laundry Mat								S	Р				Р		7.6.27
Drive-thru Estabishments								S	S				S		7.6.28
Gasoline Service Station								S	S	Р	Р		S		7.6.29
Marinas								S	Р						7.6.30
Boat Sale and Service								S	Р	Р	Р		Р		7.6.31
Motor Vehicle Sales									S	Р	Р	S	S		7.6.32
Motor Vehicle and Trailer Rental									S	Р	Р	S	S		7.6.33
Service Studio (music, dance, matial arts, yoga ed	x)							Р	Р				Р		
Funeral Homes/Mortuaries									Р	Р	Р		Р		
Auto and Truck Washes									S				S		
Minor Automobile Repair									S	Р	Р		S		7.6.34
Major Automobile Repair									S	Р	Р		S		7.6.34
Lumber Yard and Building Suplies									S	Р	Р				
Greenhouses/ Nursery/Garden or Feed Center								S		Р		S	S		
Apartments								S	S			S	S	S	7.6.4
Motels									Р				Р		

D. Industrial Use Table –

Industrial Uses	RAA	RA	WFR	NR	RB	MHP	NS	CS	LI	GI	MD	VC	VR	Use Standards
Motor Frieght Depots and Terminals										S				7.6.35
Warehouses and Distribution Centers									Р	Р	Р			
Manufacturing/Processing/ Assembly of goods									Р	Р	S			
Printing/ Publishing and Related Activities									Р	Р	S			
Research and Testing Facilities									Р	Р	S			
Landscaping/Building and Other Contractor's Esta	blishmer	its								Р				
Constrcution and Farm Equiptment Sales										Р				
Manufacturing of stone or tile										Р				
Concrete or concrete products manufacturing										S				
Asphalt of Other Bituminous Plant										S				
Storage of Petroleum, chemical products, flamma	ble liqui	des or	gases							S				
Landfills, Incinerators, or Junk yards										S				
Quarries and Sand and Gravel Pits										S				
Storage Facilities										Р				
Outdoor Storage associated with a allowed use									S	S				
Adult Buisnesses										S				7.6.36

Section 7.6 Specific Use Regulations. The following are supplimental regulations for specific uses.

7.6.1 Single-Family Dwellings: Single-family dwelling (site built), mobile home, modular housing, or prefabricated housing located outside a mobile home park or mobile home subdivision.

- A. Hamburg Township does not have a minimum square footage requirement. The maximum dwelling size is only restricted by the lot setbacks and lot coverage regulations in Section 7.7.1. Each such dwelling unit shall comply with any state construction code requirements for minimum square footage.
- B. Each such dwelling unit shall be firmly attached to a permanent foundation constructed on the site in accordance with the Michigan State Construction Code Commission. All dwellings shall be securely anchored to the foundation in order to prevent displacement during windstorms.
- C. Dwelling units shall not be installed with attached wheels. Additionally, no dwelling shall have any exposed towing mechanism, undercarriage, or chassis.
- D. Each such dwelling unit shall be connected to a public sewer and water supply or to such private facilities approved by the local health department.
- E. All dwellings shall be aesthetically compatible in design and appearance with other residences in the vicinity. All homes shall have a roof overhang of not less than six inches on all sides. Steps shall also be required for exterior door areas or to porches connected to said to areas with doors where there is a difference in elevation. The compatibility of design and appearance shall be determined in the first instance by the Township Zoning Administrator. Any determination of compatibility shall be based upon the character, design, and appearance of one or more residential dwellings located outside of mobile home parks within two thousand (2,000) ft. of the subject dwelling where such area is developed with dwellings to the extent of not less than 20 percent of the lots situated within said area; or, where said area is not so developed, by the character, design, and appearance of one or more residential dwellings located outside of mobile home parks throughout the Township. The foregoing shall not be construed to prohibit innovative design concepts involving such matters as solar energy, view, unique land contour, or relief from the common or standard designed home.
- F. Additions to such dwelling unit shall be constructed with similar quality, materials and workmanship as the original structure.

G. The foregoing standards shall not apply to a mobile home located in a licensed mobile home park except to the extent required by state or federal law or otherwise specifically required in this Ordinance and pertaining to such parks. Mobile homes which do not conform to the standards of this section shall not be used for dwelling purposes within the Township unless located within a mobile home park or a mobile home subdivision district for such uses, or unless used as a temporary residence as otherwise provided in this Ordinance.

7.6.2 Accessory Dwelling Units:

- A. The principal dwelling or the accessory dwelling unit must be declared the main residence of the owner of the property.
- B. The accessory dwelling unit shall be a maximum of forty (40) percent of the gross floor area of the principle structure, not to exceed 1,000 square feet.
- C. The number of off-street parking spaces for the accessory dwelling unit shall be not less than one (1) and shall not block the required parking for the main residence.
- D. The accessory dwelling unit shall have a maximum of two bedrooms.
- E. The occupancy of the accessory dwelling unit shall be no more than two (2) persons.
- F. Accessory dwelling units and the principal structure must be connected to sewer if available.
- G. Access to an attached accessory dwelling unit shall be limited to a common entrance foyer or exterior entrance to be located on the side or rear of the building;
- H. Detached accessory dwelling must be located closer to the principal residence on the subject site than the principal residence on an adjacent property.
- I. The principal residence and the accessory dwelling unit shall share the same vehicular access to the property.
- J. Detached Accessory Dwelling Units shall not be permitted on lots within the Waterfront Residential and Natural Rivers Districts that abuts a waterbody or have access to a waterbody.
- K. All zoning district bulk and setback requirements shall apply to the site.
- L. Accessory dwelling units are allowed on conforming lots of record in the following circumstances (See Table 1):
 - 1. In the Low Density Residential (RAA), Medium Density Residential (RA), Village Center (VC), and Village Residential (VR) zoning districts with review and approval by the Zoning Administrative under 7.6.2 (N).
 - 2. Attached units in the Waterfront Residential (WRF) and Natural Rivers (NR) districts with review and approval by the Zoning Administrative under 7.6.2 (N).
 - 3. Detached units in the Waterfront Residential (WRF) and Natural Rivers (NR) districts on lots greater than two (2) acres with review and approval by the Zoning Administrative under 7.6.2 (N).
 - 4. Detached units in the Waterfront Residential (WRF) and Natural Rivers (NR) districts on lots less than two (2) acres with review and approval by the Planning Commission under Section 7.6.2 (N).
- M. Accessory dwelling are allowed on a non-conforming lots of record in the following circumstances (See Table 1):
 - 1. In the Low Density Residential (RAA), Medium Density Residential (RA), Village Center (VC), and Village Residential (VR) with Planning Commission review and approval under Section 7.6.2 (N).
 - 2. In Waterfront (WFR) and Natural River (NR) with the following requirements:
 - a. Attached accessory units with Planning Commission review and approval under Section 7.6.2 (N).

- b. Detached units shall require Special use approval under Section 3.5.
- c. Accessory dwelling units are subject Section 9.8, Common Use (Keyhole) Ordinance.
- d. The accessory dwelling unit must meet the requirements under Section 7.6.2 (N).

Table 1:
ADU Reviewing Body ZA: Zoning Administrator PC: Planning Commission SUP: Special Use Permit

Zoning District	Conforming Lots	Non-Conforming Lots
Low Density Residential	ZA	PC
(RAA)		
Medium Density Residential	ZA	PC
(RA)		
Water Front Residential	ZA/PC	PC/SUP**
(WFR)		
Natural Rivers (NR)	ZA/PC*	PC/SUP**
Village Center (VC)	ZA	PC
Village Residential (VR)	ZA	PC

^{*}ZA approval for attached ADUs on conforming lots and detached ADUs on conforming lot greater than 2 acres

- N. Accessory dwelling units shall be reviewed to ensure compliance to the following standards:
 - 1. Architectural design, style and appearance of the principal residential building must be maintained; In considering this factor the existing facade, roof pitch, building materials, colors and windows of an attached or detached accessory dwelling unit shall be consistent with the principal structure;
 - 2. The proposed development does not impair the existing views, block access to light and air, or infringe on the privacy of neighbors in a substantial fashion. In considering this factor, decision makers shall balance the importance of minimizing impacts on neighboring properties and the applicant's ability to develop the property.
 - 3. The proposed development is compatible with existing land uses in the area, would not be detrimental to the safety or convenience of vehicular or pedestrian traffic.
- O. If public water and sewer are not available to the residence, the use of private water and septic systems for the accessory dwelling unit shall be subject to the approval of the County Health Department. The accessory dwelling unit shall comply with all applicable housing, building, fire and health code requirements.
- P. The Zoning Administrator may defer a decision on an ADU application to the Planning Commission for any reason. A decision by the zoning administrator on an ADU application is appeals to the Planning Commission.
- Q. Private restrictions include but are not limited to deed restrictions, condominium master deed restrictions, neighborhood association bylaws, and covenant deeds. The interpretation and enforcement of the private restriction is the sole responsibility of the private parties involved. Application Procedure
 - A. The applicant shall submit the following information for review:
 - 1. A plat plan showing the location of the proposed accessory dwelling unit, lot identification (address and property number), size of lot, dimension of lot lines, existing improvements on the lot, location of structures on adjacent lots, abutting streets, driveways, and parking areas.
 - 2. Sufficient architectural drawings or clear photographs to show the exterior building

^{**} PC approval of attached ADUs on Non-conforming lots and SUP approval of Detached ADUs on non-conforming lots.

- alterations proposed.
- 3. Interior floor plans showing the floor area of the proposed accessory dwelling unit and the primary dwelling.
- 4. Any additional information deemed necessary by the township for review.
- B. Prior to granting approval, the approving body must determine that a proposed accessory dwelling unit meets the standards in Section 7.6.2 (N).

Duration and Revocation

- A. The approval of an accessory dwelling unit shall expire within one (1) year after the date of such approval, unless a Land Use Permit has been issued and construction has commenced.
- B. The permit and any other form of approval for an accessory dwelling unit issued shall be subject to revocation by the Township upon a finding by the Township or its lawfully authorized designee, that there is in fact noncompliance with the conditions and requirements contained in Section 7.6.2.

7.6.3 Farming:

- A. General and specialized farming and agricultural activities:
 - 1. Minimum lot size shall be ten (10) acres.
 - 2. No building housing animals shall be located nearer than seventy-five (75) feet from any property line.
- B. Raising and keeping of horses and other domestic animals:
 - 1. Minimum lot size shall be two (2) acres.
 - 2. Two (2) horses or large domestic animals are permitted on parcels meeting the minimum lot size. For each additional horse or large domestic animal, two (2) additional acres shall be required.
 - 3. Animals must be kept within a fenced area which shall be located no nearer than one hundred (100) feet from any water body. This requirement shall not apply to a water body which is located entirely within the subject property and is not connected to any water body off the subject property.
 - 4. The setback standards per section 9.9, Natural Features Setback Requirements, shall apply to all districts.
 - 5. No building housing animals shall be located nearer than seventy-five (75) feet from any property line.
 - 6. Animals shall be maintained and accommodated in a manner so as not to pose a nuisance to adjoining property or a hazard to water quality and public health, safety, and welfare. Where necessary to protect water quality and public health, safety and welfare, the Zoning Administrator may require additional setbacks or buffer strips from property lines or adjacent water bodies.

C. Raising and keeping of poultry:

- 1. In the Waterfront Residential (WFR) or Natural River (NR) zoning districts the raising and keeping of poultry shall only be permitted on lots greater than 2.0 acres.
- 2. Animals must be kept within a fenced area which shall be located no nearer than one hundred feet (100) from any water body. This requirement shall not apply to a water body which is located entirely within the subject property and is not connected to any water body off the subject property.
- 3. On parcels two (2) acres or less, a maximum of eight (8) poultry animals are permitted.
- 4. On parcels greater than two (2) acres, 16 poultry animals are permitted. For each additional one (1) acre over two acre, 16 additional poultry animals are permitted.
- 5. Roosters shall only be permitted on parcels greater than two (2) acres.

- 6. Poultry must be located within the required rear yard in an enclosed structure.
- 7. The setback standards per Section 9.9, Natural Features Setback Requirements, shall apply to all districts.
- 8. Animals shall be maintained and accommodated in a manner so as not to pose a nuisance to adjoining property or a hazard to water quality and public health, safety, and welfare. Where necessary to protect water quality and public health, safety and welfare, the Zoning Administrator may require additional setbacks or buffer strips from property lines or adjacent water bodies.
- 9. Poultry must be kept and cared for under sanitary conditions; poultry shall not become excessively noisy, odorous, dangerous, or in any way disruptive to the character of the area in which they are kept, or otherwise become a public nuisance.
- 10. On lots over ten (10) acres additional poultry may be permitted with approval of a Special Use Permit per section 3.5.
- 11. Private restrictions on the use of property shall remain enforceable and take precedence over these additional district regulations. Private restrictions include but are not limited to deed restrictions, condominium master deed restrictions, neighborhood association bylaws, and covenant deeds. The interpretation of private restrictions is the sole responsibility of the private parties involved.

7.6.4. Single Family Dwellings/ Two Family Dwellings/ Multiple Family Dwellings/Apartments in the NS and CS Zoning Districts: The following conditions shall apply to all buildings containing residential uses in the NS and CS Districts:

- A. Single Family Dwellings, Two Family Dwellings, and buildings consisting solely of Multiple Family Dwelling are prohibited.
- B. The gross square footage available for dwelling units within a building or structure shall not exceed the gross square footage available for business occupancy within the building.
- C. When a building is used for both business and residential occupancy, the uses shall be located as follows:
 - 1. Dwelling units may only occupy areas above the first story and shall not be located on the same story as a business, office or parking use.
 - 2. No business, office or parking use shall be located on the same story or above any story that contains a residential use.
- D. Each building that contains a business and a residential use shall provide and maintain an enclosed entrance to the interior for the exclusive use of the occupants of the residential portion of the building that is separate from the access commonly used for business activity.
- E. All accessory structures, such as garages or storage sheds, related to the dwelling units shall be so designated on the site plan and subject to approval by the Planning Commission.
- F. A parking area shall be reserved on the same lot or parcel as the principal building and designated for the exclusive use of the dwelling unit occupants, unless shared parking is approved by the Planning Commission as a part of the site plan review. Two (2) parking spaces shall be required for each dwelling unit.
- G. The conversion of an approved dwelling unit to a use permitted for the zoning district in Section 7.5.1 shall not require special use approval. The conversion of an approved dwelling unit to another use shall be considered an immediate and a complete abandonment of the residential use. No residential occupancy shall be allowed following such a conversion unless a special use approval is approved by the Township.

7.6.5 Mobile Home Park: All uses permitted in Mobile Home Park Residential (MHP) shall comply

with the Mobile Home Commission Act, P.A. 419 of 1976 and the current Mobile Home Code in effect.

- A. Each mobile home site shall have front and rear yards of not less than ten (10) feet each.
- B. A minimum of twenty (20) feet shall be maintained between mobile homes.
- C. The mobile home park shall be developed with sites averaging 5500 sq ft per mobile home unit. This 5500 sq ft for any one site may be reduced by 20 percent provided that the individual site shall be equal to at least 4400 sq ft. For each square foot of land gained through the reduction of a site below 5500 sq ft, at least an equal amount of land shall be dedicated as open space, but in no case shall the open and distance requirements be less than that required by the Mobile Home Code.
- D. A landscape buffer shall be required along those boundaries of the mobile home park which abut a district other than MHP. For mobile home parks of less than twenty-five (25) sites, a fifteen (15) foot unoccupied landscaped buffer strip shall be provided. For mobile home parks of twenty-five (25) sites or more, a twenty-five (25) foot unoccupied landscaped buffer strip shall be provided. The ten (10) foot setback between mobile home park boundaries and a mobile home required by the Mobile Home Code may be included as part of the landscape buffer strip. The selection, spacing, and size of plant material shall be such as to create, within a five-year period from the date of planting, a horizontal obscuring effect for the entire length of the entire buffer, and a vertical obscuring effect of no less than ten (10) feet.
- E. Each mobile home park shall have two paved accesses at least, one of which shall be to a major arterial street.
- F. Upon completion of construction of all buildings and site improvements represented on the approved mobile home park construction plans and specifications, the developer, owner, or operation of the park, in conjunction with an architect or engineer, shall submit final plans and specifications, prepared in accordance with Rule 913 of the Mobile Home Code, to the Zoning Administrator.
- **7.6.6** Live Work Units: Live Work Units are allowed in the MD, NS, CS and VC district with site plan review under Article 4 and in the VR district with a Special Use Permit approval under 3.5.
 - A. In the MD, NS, CS and VC district only Live-above and Live-behind units are allowed. A minimum of 50% of the square footage of the building shall be used for the commercial use. The commercial use shall be a use allowed in the zoning district the unit is located.
 - B. In the VR district only Live-In front units are allowed. A minimum of 50% of the square footage of the building shall be used for the residential use. The commercial use shall be a use allowed in the NS zoning district.

7.6.7 Schools including Public or Private Elementary, Junior, or Senior High Schools, and Institutions of Higher Education

- A. Schools and educational institutions shall be subject to the minimum requirements of the District in which they are located and the following additional standards.
- B. Minimum lot size shall be five (5) acres.
- C. No building shall be located nearer than one hundred (100) feet from any property line.
- D. Such use shall be located with frontage on a hard surface public street having a right-of-way of at least sixty-six (66) feet.

7.6.8 Public and private cemeteries

A. Minimum lot size shall be twenty (20) acres.

B. Building shall be setback at least one hundred (100) feet from the property line.

7.6.9 Radio or television stations or transmitters

A. Minimum lot size shall be five (5) acres.

7.6.10 Aircraft Landing Fields including Airfields and Hellipads

A. A specific duration of such use and further conditions as deemed necessary and appropriate by the Planning Commission to protect the public health, safety, convenience, and general welfare.

7.6.11 Public and Private Golf Courses, Recreation Clubs, and Standalone Parks (excluding hunt clubs)

A. No building associated with such uses shall be located nearer than fifty (50) feet from any property line adjacent to a residential zoning districts.

7.6.12 Essential Services

- A. Essential services shall be permitted as authorized and regulated by law and other ordinances of the Township. The construction of buildings associated with essential services shall be subject to the provisions of article 4, site plan review. Otherwise, the construction, maintenance, and alteration of essential services shall be exempt from the provisions of this ordinance.
- B. In the Natural Rivers (NR) District Essential Services except within existing rights-of-way, new electric transmission lines of 30 KV or higher shall not be located within the District or to cross the Huron River without the written permission of the State of Michigan.
- C. In the Natural Rivers (NR) District wherever feasible, all electrical and telephone transmission lines shall be placed underground.

7.6.13 Collection Bins

- A. Collection bins shall be fabricated of durable and waterproof materials.
- B. Collection bins are required to be placed on a paved or concrete surface.
- C. Collection bins must be level and stable.
- D. Collection bins shall be locked with a tamper resistant locking mechanism so contents cannot be accessed by anyone other than those responsible for retrieval of the contents. Collection bins shall be tightly covered at all times to prevent the harboring of rodents and the scattering of debris.
- E. Collection bins shall be maintained in good condition and appearance with no structural damage, holes, visible rust, or graffiti. The area surrounding the bin shall be maintained free from any overflow items, furniture, rubbish, debris, hazardous materials, and noxious odors.
- F. Collection bins shall be no larger than 84 inches high, 60 inches wide and 60 inches deep.
- G. No more than two collection bins shall be allowed per property.
- H. Collection bins shall not be permitted:
 - 1. On any unimproved lot or parcel that is not currently used or occupied or where the principal building or structure has been closed or unoccupied for more than thirty (30) days.
 - 2. Within a landscaped area.
 - 3. Within the required main building setbacks for the zoning district.
 - 4. Within a parking space required as a part of the approved site plan or required to meet the parking requirements for the principal building or structure.

- 5. Within one thousand (1,000) feet of another collection bin on a separate property as measured along a straight line from one bin to the other.
- 6. Within five hundred (500) feet from the property line of any lot used or zoned for residential purposes or within fifty (50) feet of any entrance driveway.
- 7. Within a designated fire lane, or adjacent to a handicap parking space.
- I. Collection bins shall not cause a visual obstruction to vehicular or pedestrian traffic as determined by the township, or block access to required parking, emergency vehicle routes, building entrances or exits, easements, pedestrian walkways and dumpsters or trash enclosure areas.
- J. Collection bins located in the VC district shall only be located on properties with direct access to M-36.
- K. Collection bins shall prominently display the following information in at least one-half inch typeface and no larger than one inch typeface:
 - 1. Name, address, email, and 24-hour telephone number of the person responsible for servicing and maintaining the collection bin.
 - 2. The type of material that may be deposited.
 - 3. The frequency of pickup.
 - 4. A notice that no materials shall be left outside the collection bin.
 - 5. If the collection bin is owned and operated by a for-profit or a not for profit company.
- L. Collection bins may include a 6 square foot sign on two sides of the collection bin in addition to the information required in 7.6.13 (K). The sign must be flat, either painted directly on the bin or affixed flat to the bin and projecting no more than 2 inches from the side of the bin.

7.6.14 Private Indoor and Outdoor Recreation Facilities

Private outdoor recreational areas and indoor recreational buildings, are uses such as: recreational fields, rinks or courts, including football, baseball, batting cages, soccer, tennis, basketball, ice skating, swimming pools, animal racing, go cart courses, gun ranges and similar activities, and uses accessory to the above uses, such as refreshment stands, maintenance buildings, office for management functions, spectator seating, rest rooms, and service areas.

- A. The site size shall be adequate to accommodate the intended uses(s), parking, and extensive buffer areas without significant impact on nearby properties in terms of noise, traffic, lighting glare, views, odors, trespassing, and dust blowing debris, as determined by the Planning Commission. The applicant shall provide documentation the site size is adequate using national facility standards.
- B. All ingress and egress shall be along a County Road.
- C. No building shall be located within one hundred (100) feet of a property line.
- D. All buildings shall be setback one hundred (100) feet from the edge of any wetland or the shoreline of any lake, pond, river or stream.
- E. Off-road vehicle and go-cart courses, Fun and Archery Ranges and Hunt Clubs are only allowed in the PPRF district and are subject to the additional conditions:
 - 1. Any such site shall be located in a predominantly undeveloped area so as to minimize any adverse effects on the adjacent properties due to reasons of dust, odor and noise. Any such site shall have a minimum area of at least eighty (80) acres. All activity shall be setback a minimum of one hundred twenty five (125) feet from any lot line.
 - 2. The hours of operation shall also be set by the Planning Commission to minimize any adverse effects on adjacent properties.
 - 3. All ingress and egress shall be along a County Road

7.6.15 Public or private campgrounds and lodges,

Public and Private Campground and Lodges including campgrounds for travel trailers, tent campers, motor homes, tents, and cabins, subject to the following:

- A. Minimum lot size shall be twenty (20) acres.
- B. All ingress and egress shall be along a County Road.
- C. Development features including the principal and accessory buildings and structures shall be located and related to minimize adverse effects on adjacent properties. Minimum setbacks for any buildings, structures or use areas shall be two hundred (200) feet from any property line abutting a residential district.
- D. Each campsite shall be at least five hundred (500) square feet in size.
- E. If there is public sewer and water available to the site it shall be provided to the campground. If public sewer and water are not provided the Planning Commission shall consider the impacts as a part of the special use permit.

7.6.16 Off-road vehicle and go-cart courses, Gun and archery ranges, and hunt clubs:

- A. Any such site shall be located in a predominantly undeveloped area so as to minimize any adverse effects on the adjacent properties due to reasons of dust, odor and noise. Any such site shall have a minimum area of at least eighty (80) acres. All activity shall be setback a minimum of one hundred twenty five (125) feet from any lot line.
- B. The hours of operation shall also be set by the Planning Commission to minimize any adverse affects on adjacent properties.
- C. All ingress and egress shall be along a County Road.
- 7.6.17 Home Occupations Home occupations are occupations allowed as an accessory use clearly incidental and secondary to the primary use of the dwelling unit for dwelling purposes, carried on by the immediate family members inhabiting the dwelling unit. Typical home occupations may include but are not limited to hairdressing, accounting, home gardening, real estate and insurance sales, appliance and motor repair, and professional offices.

General Requirements. The following requirements shall apply to all home occupations:

- A. The home occupation shall involve no more than the equivalent of one on site full time employee other than members of the immediate family residing on the premises.
- B. A home occupation shall not endanger or infringe upon the health, safety, welfare, or enjoyment of any other persons in the area, by reason of noise, vibration, glare, fumes, odor, unsanitary or unsightly conditions, electrical interference, fire hazard, traffic, or parking congestion.
- C. No structural alterations or additions which will alter the residential character of the structure in terms of the use or appearance shall be permitted to accommodate a home occupation.
- D. All home occupation activities shall be conducted indoors, except gardening which may be conducted outdoors.
- E. Only customary domestic or household equipment, or equipment judged by the Zoning Administrator not to be injurious or a nuisance to the surrounding neighborhood shall be permitted.
- F. There shall be no external evidence of such occupations except a small announcement sign as specified per Section 18.8. Plants used in a gardening home occupation may be grown outside only for the time period which is required for full growth.

- G. A family day care home as defined by this Ordinance shall be permitted as a home occupation with any Residential District provided all provisions of state are met.
- H. The home occupation shall utilize no more than twenty-five (25) percent of the total floor area on site.
- I. The home occupations shall not have more than two customers and/or delivery vehicles on-site at one time, excluding the vehicles of the occupants of the home. Shipments or deliveries by vehicles having more than two (2) axles are prohibited.
- J. The home occupation may offer for sale any article or service which is incidental to services performed or articles produced on the premises.
- K. If the Home Occupation includes customers an employee additional onsite parking shall be required, except in the VC district when on-street parking is provided.

7.6.18 Agricultural Commercial/ Tourism Business.

Minor Agricultural Commercial/Tourism Business Type Allowed.

- A. Seasonal outdoor mazes of agricultural origin such as straw bales or corn.
- B. Direct marketing of agricultural products or agricultural related products at a Farm Market, onsite farm market.
- C. U-pick Operations, Pumpkin patches and Christmas tree lots.
- D. Stables with up to 6 horses.
- E. Greenhouses
- F. The processing, storage, and retail or wholesale marketing of agricultural products into a value-added agricultural product in a farming operation if at least fifty percent (50%) of the stored, processed, or merchandised products are produced by the farm operator.
- G. Organized meeting space for weddings, parties, or events with attendance 40 or less.
- H. Uses 1 through 7 listed above may include any or all of the following ancillary agriculturally related uses and some non-agriculturally related uses so long as the general agricultural character of the farm is maintained.
 - 1. Value-added agricultural products or activities such as educational tours of processing facilities, etc.
 - 2. Bakeries selling baked goods containing some products grown on site
 - 3. Playgrounds or equipment typical of a school playground, such as slides, swings, etc. (not including motorized vehicles or rides).
 - 4. Petting farms, animal display, and pony rides.
 - 5. Wagon, sleigh, and hayrides.
 - 6. Nature trails.
 - 7. Open air or covered picnic area with restrooms.
 - 8. Educational classes, lectures, seminars.
 - 9. Historical agricultural exhibits.

- 10. Kitchen facilities, for the processing, cooking, and/or baking of goods containing at least 25% produce grown on site.
- 11. Gift shops for the sale of agricultural products and agriculturally related products. Gift shops for the sale of non-agriculturally related products such as antiques or crafts, are limited to twenty-five percent (25%) of gross sales.

Major Agricultural Commercial/Tourism Business Type Allowed.

- A. All Minor Agricultural Commercial/Tourism Business Types Allowed.
- B. Cider mills or wineries.
- C. Stables with more than 6 horses.
- D. Restaurant operations related to the agricultural use of the site.
- E. Small scale entertainment venue or amphitheater.
- F. Family Oriented animated events (e.g., fun houses, haunted houses and hay rides, or similar uses)
- G. Organized meeting space for weddings, parties, or events with attendance greater than 40.
- H. Overnight Facilities

Supplemental Regulations – All Agricultural Commercial/Tourism Business Types. The following are required for all Major and Minor Agricultural Commercial/Tourism Business Type uses:

- A. Must be an accessory use to a residential use of the property.
- B. Buffer plantings may be required along the property line where there is an abutting residentially zoned property. Greenbelt transition strips are intended to screen views of the proposed operation from the adjacent home or property. Buffer plantings shall meet the standards of Section 9.4.6 Greenbelts and Buffer Zones.
- C. Must provide off-street parking to accommodate use as outlined in Article 10 Off Street Parking and Loading.
 - 1. Parking facilities may be located on a grass or gravel area for seasonal uses such as farm markets, u-pick operations, and agricultural mazes.
 - 2. All parking areas shall be defined by either gravel, cut lawn, sand, or other visible marking.
 - 3. All parking areas shall be located in such a manner to avoid traffic hazards associated with entering and exiting the public roadway.
 - 4. Paved or unpaved parking areas shall not be located in required setbacks or buffer areas.
 - 5. Paved or gravel parking areas must meet all storm water management design and landscape screening requirements as set forth in this Zoning Ordinance.
- D. Hours of operation shall be limited to between 8:00 am and 11 pm. No amplified music shall be allowed after 10 pm; setup and cleanup of the event and workers and attendees to the event shall not arrive or leave the site before or after the hours of operation.
- E. Signs must meet the regulations for the zoning district. (Article 18)
- F. All other local, state, and federal regulations apply.

Supplemental Regulations – Minor Agricultural Commercial/Tourism Business Types. The following are required for all Minor Agricultural Commercial/Tourism Business Type uses:

- A. Minimum lot area of ten (10) acres.
- B. All uses permitted by this section shall be accessed on any public road within the Township with the approval of the Livingston County Road Commission of MDOT for ingress and egress to the site.
- C. A fifty (50)-foot open buffer shall be provided on all sides between the nearest location of the activity to the nearest adjacent residential property. Agricultural Commercial/Tourism Business activities shall not be allowed within this buffer area. Where possible, crops shall remain within this buffer area to help maintain the agricultural character of the site.
- D. No structure used for the indoor commercial aspect of the approved uses shall have an indoor commercial space larger than 1000 square feet except stables.

Supplemental Regulations – Major Agricultural Commercial/Tourism Business Types. The following are required for all Major Agricultural Commercial/Tourism Business Type uses:

- A. Minimum lot area of 40 acres
- B. All uses permitted by this section shall be accessed on a public Arterial roadway within the Township with the condition that the increase in traffic shall not create a nuisance, to nearby residents by way of traffic or noise or increase the public cost in maintaining the roadway.
- C. A one hundred (100)-foot open buffer shall be provided on all sides between the nearest location of the activity to the nearest adjacent residential property. Agricultural Commercial/Tourism Business activities shall not be allowed within this buffer area. Where possible, crops shall remain within this buffer area to help maintain the agricultural character of the site.
- D. Agricultural Commercial/Tourism Business that hold weddings, outdoor and indoor concerts and other events with attendance greater than 40 people shall meet the following regulations:
 - 1. Maximum duration: No more than 20 events shall be allowed on a site per calendar year.
 - 2. Noise: Events shall be required to meet the regulations of the Hamburg Township Noise Ordinance.
 - 3. Number of Attendees: Events shall be limited to a maximum of 150 persons, or the maximum occupancy of the space where the event is held, whichever is less.
 - 4. Distance to neighboring structures: If an event is held outdoors all temporary structures and outdoor venues shall meet the open buffer setback listed above.
 - 5. Clean-Up. Adequate site and surrounding area clean-up shall be done within 48 hours following the event.
 - 6. Lighting. All exterior lighting shall be so installed that the surface of the source of light shall not be visible from the nearest residential district boundary and it shall be so arranged to reflect light away from any residential use. In no case shall any lighting become a nuisance as regulated in the Township Nuisance Ordinance. Lighting shall meet the applicable requirements under Section 9.11, Outdoor Lighting.
 - 7. Yearly Approval: In addition to the initial Special Land Use Permit, the owners of the establishment shall submit a land use permit application on a yearly basis which includes the following information for the Zoning Administrator to review. Should the Zoning

Administrator deem necessary, the yearly application may be sent to the Planning Commission for consideration.

- a. A list of the approximate dates that the venue will be used for events including the type of event,
- b. A plot plan that depicts the location of all event venues, bathroom facilities, parking, drop off areas, and any other information deemed by the Zoning Administrator to be necessary in the review of the project,
- c. The name and phone number of a contact person that will be at the events.
- d. A signed agreement with the property owner of any land to be used for off-site parking.
- e. Any of the requirements in a-d above may be altered, as necessary, to meet the requirements of the special use permit process. (Hamburg Zoning Ordinance, Section 3.5).

Planning Commission Waiver the Planning Commission shall have the ability to waive or modify any of the regulations in this section, provided that the following criteria are met. A waiver granted under this section shall apply for the lifespan of the business in question, but shall not be transferable to any other business or premises.

- A. The applicant provides all requested information and pays all applicable application and review fees, to be determined by the Township Board Fee Schedule.
- B. The proposed Commercial/Agricultural Tourism Business does not endanger the public health, safety, and welfare of the community.
- C. A Commercial/Agricultural Tourism Business that meets the required regulations of this Article would not meet the needs of the use on the subject site.
- D. The Commercial/Agricultural Tourism Business utilizes a well thought out layout, high quality materials and design.
- E. The Commercial/ Agricultural Tourism Business shall be in harmony and consistent with the architecture of the surrounding building and relate to the features of these building in terms of location, scale, size, color, lettering, materials, and texture.
- F. The Commercial/ Agricultural Tourism Business shall be consistent with the character of the surrounding area.
- G. The Commercial/Agricultural Tourism Business shall not be a nuisance to any residential uses.

Application requirements:

- A. The following additional operation information must also be provided as applicable:
 - 1. Ownership of the property.
 - 2. Months (season) of operation.
 - 3. Hours of operation.
 - 4. Anticipated number of retail customers.
 - 5. Maintenance plan for disposal, etc.
 - 6. Any proposed signs.

- 7. Any proposed lighting.
- 8. Maximum number of employees at any one (1) time.
- 9. Restroom facilities.
- 10. Verification that all outside agency permits have been granted, i.e. federal, state and local permits.
- 11. Plot Plan showing all areas of the property to be used, including all structures and parking areas on site must be clearly identified.

Annual Review: The Planning Commission has the authority to require that a special land use permit or a waiver granted for an agricultural commercial or tourism business to be reviewed annually by the Planning Commission at a regularly-scheduled meeting. The evaluation will review any violations of the special use permit or waiver, other zoning violations, whether the violations have been resolved or are recurring, and complaints by neighboring property owners. If violations of the special use permit or waiver continue the approvals may be revoked by the Planning Commission. To ensure that the special land use or activity authorized shall continue to be:

- A. Compatible with adjacent uses of land, the natural environment, the capacities of public services and facilities affected by the land use, and
- B. Consistent with the public health, safety, and welfare of the local unit of government.
- **7.6.19** Child Care Facilities except Family Day Care Homes: Group day care homes, child care centers, and day care centers shall be subject to the minimum requirements of the District in which they are located and State licensing requirements.
 - A. The number of children permitted for child care centers and day care centers shall not exceed one child per five hundred (500) square feet of usable lot area, unless a smaller area is determined to be adequate through the special use permit process. The number of children permitted for child care centers and group day care homes shall be subject to the provisions of State licensing requirements.
 - B. A fenced play area of one hundred (100) square feet per child shall be provided, unless a smaller area is determined to be adequate through the special use permit process. The size of the outdoors play area for child care centers and group day care homes shall be subject to the provisions of State licensing requirements.
 - C. If a special use permit is required the Planning Commission shall determine through the special use permit process (Section 3.5) if the size of the subject property and the size of the fenced play area are adequate for the proposed use on the property. In making this determination the Planning Commission may consider the characteristics of the proposed use, the subject property, the surrounding properties and any other factors that may have an impact of the proposed use. Some characteristics to consider may including but are not limited to: the number and age of the children to be cared for; the number of employees; the use of the subject site and surrounding properties; and the size, location, layout, of the site improvement both on the subject site and on the surrounding properties.
 - D. The site shall be designed to minimize nuisance to adjoining property and protect the safety of children using the facility.

7.6.20 Adult Care Facilities except Adult Family Care Homes: Adult Foster Care Large and/or Small Group Home: Adult Foster Care Large and/or Small Group Home shall be subject to the minimum requirements of the District in which they are located and State licensing requirements.

- A. The lot shall be at least 1,500 feet from any other state licensed residential facility.
- B. Minimum lot size shall meet the requirement of the district, but in no case shall be less than one acre in size.
- C. The required buffer zone "C", as described in Section 9.4.6 (E), shall be provided around the perimeter of the property.
- D. The applicant shall demonstrate to the satisfaction of the Planning Commission that adequate off-street parking will be provided.

7.6.21 Kennels:

- A. Kennels in the RAA district
 - 1. A kennel must be an accessory use to a single-family home on the subject site.
 - 2. The parcel of land upon which such activity is conducted, shall be no less than ten (10) acres in area.
 - 3. All enclosures for breeding, rearing, shelter, or other uses in connection with harboring of pets, shall be hard surfaces and provided with proper drains for washing with water pressure.
 - 4. All breeding areas, runs, and shelter areas shall be set back from the road right-of-way and from the adjoining property lines a minimum of two hundred (200) feet.
 - 5. The entire facility including breeding areas, shelters, and runs shall be enclosed by a visual screen and sound reducing wall or fence not less than six (6) feet in height.
- B. Kennels in the NS Zoning District:
 - 1. Kennels shall be accessory to another business such as a pet supplies store, pet grooming studio or veterinary clinic.
 - 2. Kennels shall only be used for daily pet care and/or short term overnight stays no greater than 10 days. Kennels shall not be used for breeding.
 - 3. If any outdoor space is proposed to be used as a part of the Kennel use it shall be depicted as a part of the approval process. If there is an outdoor animal play area it shall be enclosed by a fence or wall not less than four (4) feet in height.

7.6.22 Bed and Breakfast Inn Development Standards

- A. Bed and Breakfast Inn establishments shall be located in residential buildings that have frontage on a roadway which is capable of safely accommodating the additional traffic, as determined by the Planning Commission. Bed and Breakfast Inn establishments with access from a private road shall have the approval of the association or representative of all lots that have rights of access or maintenance responsibility.
- B. Use
 - 1. Residential buildings proposed as bed and breakfast inn operations shall require a building inspection by the Zoning Administrator, Fire Chief and Building Inspector prior to any approval or uses as a bed and breakfast inn operation. Any code violation(s) shall be corrected prior to approval or uses as a bed and breakfast operation.
 - 2. The dwelling unit which the bed and breakfast inn takes place shall be the principal residence of the owner and said owner shall be on the premises when the bed and breakfast inn operation is active.
 - 3. Dining facilities for the purpose of serving meals shall not exceed a seating capacity of

- two and a half (2.5) times the number of sleeping rooms in the bed and breakfast establishment. No restaurant shall be permitted. Food service shall be limited to continental breakfast served to at no extra cost to the transient tenants.
- 4. The sale and/or display of merchandise, other than souvenirs of the inn, is prohibited.
- 5. Each operator shall keep a log of the names of all persons staying at the bed and breakfast in operation. The log shall show the name, arrival and departure dates of all guests. Such log shall be available for inspection by Township Officials at any time.
- 6. The maximum stay for any guests/occupants of bed and breakfast inn establishments shall be twenty-one (21) days.
- 7. Bed and breakfast inns may not offer boating amenities, such as docking facilities, boat rental or boating tours, to guests. This provision shall not preclude the resident owner from docking or utilizing a boat for their own personal use.
- 8. Bed and breakfast inns may offer wedding and indoor concert events if approved as a part of their Special Use Permit.

C. Site Development

- 1. A structure utilized for a bed and breakfast inn must be located at least 200 feet from any adjacent residence, measured between principal structures.
- 2. A structure utilized for a bed and breakfast inn that is within 500 feet from the shoreline of any lake or river must be connected to a public sanitary sewer. A structure utilized for a bed and breakfast inn that is further than 500 feet from the shoreline of any lake or river must meet all of the following conditions:
 - a. A sanitary septic system must be provided which has been reviewed by the Livingston County Health Department and approved for the number of rooms proposed in the bed and breakfast inn.
 - b. The sanitary septic system must be located further than 500 feet from a body of water. Ponds which are completely contained within the subject parcel and not contiguous to any off-site body of water may be within 500 feet of the structure utilized for a bed and breakfast inn and/or the sanitary septic system.
- 3. A structure or premise utilized for a bed and breakfast inn must have at least two (2) exits to the outdoors from such structure or premise, and rooms utilized for sleeping shall have a minimum size of one hundred (100) square feet for two (2) occupants with an additional thirty (30) square feet or each additional occupant, to a maximum of four (4) occupants per room. Each sleeping room used fort the bed and breakfast inn operation shall have a separate smoke detector alarm. Lavatories and bathing facilities shall be available to all persons using any bed and breakfast inn operation. In no case shall there be less than one (1) lavatory and bathing facility for each four (4) sleeping rooms.
- 4. Bed and breakfast inn operations shall be limited to eight (8) guest sleeping rooms.
- 5. Applicants shall submit a site plan, landscape plan and a floor plan of the residential dwelling unit illustrating that the proposed operation meeting the requirements of Article 4.00 of the Zoning Ordinance.
- 6. Minimal outward modification of the structure may be made only if such changes are compatible with the character of the area or neighborhood and the intent of the zoning district in which the bed and breakfast inn is located. Any modifications are subject to architectural review by the Planning Commission at the time of Special Use permit review
- 7. Parking shall meet the requirements of Article 10.00 for boarding and lodging houses. The parking areas shall not be located with the required yard setbacks. Landscape

- buffer strip, designed in accordance with Section 9.3, shall be provided between the parking lot and all adjacent residentially zoned land.
- 8. Signs for a bed and breakfast establishment shall meet the requirements for article 18 for the district in which it is located.
- 9. Bed and breakfast inn operations that want to hold wedding and indoor concert events shall meet the following regulations:
 - a. Maximum duration: No more than 20 events shall be allowed on a site per calendar year.
 - b. Location: Events shall not be allowed on property in or adjacent to any developed residential areas except on bed and breakfast sites greater than 2 acres.
 - c. Noise: Events shall be required to meet the regulations of the Hamburg Township Noise Ordinance.
 - d. Hours of Operation: Events shall only take place between 8:00 am and 11 pm. No amplified music shall be allowed after 10 pm; setup and cleanup of the event and workers and attendees to the event shall not arrive or leave the site before or after the hours of operation.
 - e. Number of Attendees: Events shall be limited to a maximum of 150 persons, or the maximum occupancy of the space where the event is held, whichever is less.
 - f. Distance to neighboring structures: If an event is held outdoors all temporary structures and outdoor venues shall be at least 200 feet from an adjacent residential structure.
 - g. Parking: Parking may be provided, either on or off-site, and shall meet the requirements under Section 10.3.1 (7). If parking is provided off-site, a shuttle service must be provided.
 - h. Clean-Up. Adequate site and surrounding area clean-up shall be done within 48 hours following the event.
 - i. Lighting. All exterior lighting shall be so installed that the surface of the source of light shall not be visible from the nearest residential district boundary and it shall be so arranged to reflect light away from any residential use. In no case shall any lighting become a nuisance as regulated in the Township Nuisance Ordinance. Lighting shall meet the applicable requirements under Section 9.11 Outdoor Lighting.
 - j. Temporary Sign: One temporary sign may be allowed in addition to the signs allowed for bed and breakfast establishments in article 18 for the district in which they are located. The sign shall not exceed 8 square feet in size, shall only be placed on the private property where the event is being held, shall only be erected the day of the event and shall be removed within 24 hours following the event.
 - k. Yearly Approval: In addition to the initial Special Land Use Permit, the owners of the establishment shall submit a land use permit application on a yearly basis which includes the following information for the Zoning Administrator to review. Should the Zoning Administrator deem necessary, the yearly application may be sent to the Planning Commission for consideration.
 - i. A list of the approximate dates that the bed and breakfast will be used for events, including the type of event.
 - ii. a plot plan that depicts the location of all event venues, bathroom facilities, parking, drop off areas, and any other information deemed by the Zoning Administrator to be necessary in the review of the project.
 - iii. The name and phone number of a contact person that will be at the events.

- iv. A signed agreement with the property owner of any land to be used for off-site parking.
- 1. Any of the requirements in a-k above may be altered, as necessary, to meet the requirements of the special use permit process. (Section 3.5).

7.6.23 Firewood Sales

- A. A land use permit renewable on an annual basis shall be secured from the Township Zoning Administrator.
- B. In the RAA and RA Districts, storage of firewood shall be restricted to the side and rear yards.
- C. All sales shall be conducted in a manner so as not to create a traffic hazard or a nuisance to neighboring properties.
- D. Adequate parking and ingress and egress to the premises shall be provided.
- E. Signs shall conform to the provisions of the District in which firewood sales are located.

7.6.24 Outdoor or drive-in theaters:

- A. Picture screens shall not be permitted to face a public roadway, shall be so located as to be out of view of any major thoroughfare, and shall not exceed sixty-five (65) feet in total height.
- B. A minimum yard of one hundred (100) feet shall separate such use from any public street used for access.
- C. Entrance and exit routes shall be located no nearer than 500 feet to the point of intersection of the right-of-way lines to two or more intersecting streets.
- D. The Planning Commission shall require such means of ingress and egress as will minimize congestion and hazards on the public streets adjacent to such uses.

7.6.25 Open Air Businesses

A. Unless specified elsewhere in the ordinance any outdoor sales, storage or other activities associated with an allowed use in the NS or CS districts requires a special use permit.

7.6.26 Dry cleaning establishments

- A. Dike containment area for storage of hazardous materials.
- B. No connections to waste water discharge in work area and no floor drains.
- C. Dry to dry loop non-vent system equipment.
- D. Compliance with all State Health Department requirements.

7.6.27 Laundromats shall be connected to public sewer.

- **7.6.28 Drive-through establishments** for the provisions of goods or services of a permitted use in the zoning district it is located (e.g., drive-through restaurant or drive-through bank):
 - A. Ingress and egress points shall be located at least sixty (60) feet from the intersection of any two (2) streets (measured from the nearest right-of-way line or further if necessary based on the required traffic impact study).
 - B. Any corner or double-frontage site shall be limited to one (1) entrance/exit drive for each separate public road frontage. A site with only one public road frontage shall be permitted no more than two (2) entrance/exit drives. Coordinated access with adjoining sites is encouraged, and may be required.

C. Devices for the transmission of voices shall be so directed or muffled as to prevent sound from being audible beyond the boundaries of the site.

7.6.29 Gasoline service stations

- A. All activities, except those required to be performed at the service island, shall be conducted entirely within an enclosed building.
- B. Bumping, painting, major automobile repairs and outdoor storage of wrecked or dismantled vehicles are specifically prohibited.

7.6.30 Marinas

- A. Docking space shall be limited to the maximum number of boats allowed by the State of Michigan marina operating permit and the standards of the Township Common Use (Keyhole) regulations contained in Section 9.8.
- B. Access shall be provided only from the water and a major arterial road.
- C. All piers and wharves shall be setback a minimum of fifteen (15) feet from any side lot line, provided further that such piers and wharves shall be installed such that the boat moored is a minimum of six (6) feet from any side lot line as projected into the water.
- D. The number of public launches shall be limited to the number of parking spaces available for the storage of vehicles with boat trailers.
- E. Pump-out facilities shall be provided at the marina for disposal of refuse from boat holding tanks in a sanitary manner. Toilet facilities shall be provided meeting the requirements of the Livingston County Health Department.
- F. Refuse and garbage containers shall be provided and kept in clean and sanitary condition for the use of boat owners.
- G. Facilities shall be provided for the safe and sanitary disposal of oil and other engine fluids.
- H. Major repair or dismantling of boats shall be conducted within an enclosed building.
- I. All areas utilized for dry-docking/on-land storage of boats shall meet the requirements for boat dry-dock storage.
- J. Other related uses such as boat sales and service, food and beverage store, food and beverage service establishment or retail store may be located on the same site, provided such use is permitted in the zoning district and site meets the requirements for all applicable uses.

7.6.31 Boat sales and service

- A. Access shall be provided form a major arterial road.
- B. Repair or dismantling of boats shall be conducted within an enclosed building.
- C. All areas utilized for storage of boats shall be setback fifty (50) feet from any residential zoning district.
- D. All outdoor boat or trailer storage areas shall be screened from view of any abutting residentially zoned or used lands and the public road right-of-way by a continuous opaque visual barrier consisting of a row of evergreen trees or a masonry wall not less than six (6) feet in height, or other screening approved by the Planning Commission. The Planning Commission may allow up to three (3) boats located outdoors to be visible from the public right-of-way. The Planning Commission may require additional screening and setbacks where outdoor multi-level boat racks are proposed.

7.6.32 Motor Vehicles Sales

- A. Site shall be located along M-36 and shall not exceed 40,000 square feet in size in the VC district
- B. Sales of motor vehicles shall be in conjunction with an indoor showroom and sales office in the CS and VC zoning district.
- C. No storage or display of vehicles shall be permitted in any landscape greenbelt area.
- D. All outdoor motor vehicle storage areas in the CS and VC zoning districts shall be screened from view of any abutting residentially zoned or used lands and the public road right-of-way by a continuous opaque visual barrier consisting of a row of evergreen trees or a masonry wall not less than six (6) feet in height, or other screening approved by the Planning Commission. The Planning Commission may allow up to three (3) motor vehicles located outdoors to be visible from the public right-of-way.
- E. Sites shall be limited to one access drive unless the site provides frontage on more than one street. Access may be provided through rear access drives in addition to a preliminary entrance.
- F. Parking and display areas shall be hard surfaced and shall be graded and drained to dispose of storm water without negatively impacting neighboring property. The Township Planning Commission may recommend a gravel surface for part of the display or storage area for low intensity activities.
- G. Plans shall include the layout for parking of display vehicles, and customer parking. Parking spaces shall include bumper blocks for the preservation of all greenbelt areas.
- H. Loudspeakers and paging systems shall be prohibited.
- I. The sales showroom building may include an area for vehicle repair, provided that the repair activity is incidental so the primary sales of vehicles. All work shall be constructed within a completely enclosed building.
- J. All washing of vehicles shall take place on site within an area that captures all runoff for treatment on site within an approved storm water management system approved by Hamburg Township.
- **7.6.33** Automobile, truck and trailer rental: The following regulations are for Automobile, truck and trailer rental in the CS and VC district.
 - A. Minimum lot area shall be one (1) acre.
 - B. Minimum lot width shall be one hundred and fifty (150) feet.
 - C. All areas utilized for storage of vehicles and trailer shall be setback fifty (50) feet from any residential zoning district.
 - D. All stored rental vehicles and trailers shall be no closer to the front of the parcel than the front line of the principal building on the parcel, provided that in no case shall rental vehicles and trailers be stored in the required front yard.
 - E. All vehicle storage areas shall be screened from view of any abutting residential area by a row of evergreen trees or a masonry wall or not less than six (6) feet in height, or other screening approved by the Planning Commission except that the Planning Commission may allow up to three (3) vehicles or trailers to be visible from the public right-of-way.
 - F. A plan shall be provided that indicates the number, type, location and traffic circulation pattern of vehicles or tailors to be stored on the site for Planning Commission approval.
 - G. Ingress and egress shall meet the spacing requirements of Section 10.8.5. Such use shall be limited to a single access point on a public or private road

- H. All washing of vehicles shall take place on site within an area that captures all runoff for treatment on site within an approved storm water management system approved by Hamburg Township.
- **7.6.34 Major and Minor Automobile Repair**: The following regulations are for Automobile Repair in the CS and VC district.
 - A. Major automobile repair may only be permitted as an accessory use to minor automobile repair, provided all of the standards below are satisfied.
 - B. **Setbacks.** Side and rear yard setbacks for repair garages or other buildings shall be fifty (50) feet from and residentially zoned or used district.
 - C. **Hours of Operation**. All minor automobile repair services shall be conducted entirely within an enclosed building and between the hours of 7:00 a.m. and 9:00 p.m.
 - D. **Orientation of Open Bays.** Buildings shall be oriented so that open service bays do not face onto adjacent major thoroughfares or arterial roads unless screened by an adjoining lot or building.
 - E. **Outdoor Storage**. There shall be no storage of vehicle components such as parts, trash, supplies or equipment outside of a building. Outdoor Storage associated with the Major Automobile Repair for the vehicles to be worked on is permitted but only for a period lasting no longer than seven (7) consecutive days. All vehicles awaiting repair must be completely screened by a 6-foot masonry wall with landscaping in front as described under screening. The amount of space dedicated to such outdoor storage areas cannot exceed the square footage of the principal building.
 - F. Curb Cuts. M-36 is the major roadway through Hamburg Township and also serves as a regional thoroughfare. Driveways and curb cuts along M-36 are permitted only as necessary to access the Village. Shared access drives are required unless site conditions prohibit such collaboration.
 - G. **Screening.** Where minor automobile repair establishments adjoin property located in any residentially zoned or used district, a solid, ornamental, masonry wall, six (6) feet in height, shall be erected and maintained along a shared lot line. In addition, all trash areas shall be enclosed on all sides by a required six (6)-foot masonry wall. Such walls shall be constructed of the same materials as that of the principal building, and be faced with either brick, decorative block, or pre-cast concrete formed into a decorative pattern and painted in the same color scheme as that of the principal building. All masonry walls shall be protected by a fixed curb or barrier to prevent vehicles from contacting the wall. The masonry wall may be required by the Planning Commission where the minor repair establishment adjoins a nonresidential use, such as a professional office building, clinic or day nursery, or a landscaped area of any other nonresidential use.
 - H. **Outdoor Display.** The outdoor display and sale of merchandise shall be prohibited, unless specifically approved by the Planning Commission as a condition of the special land use permit.
 - I. **Commercial Vehicles**. Tow trucks or other commercial vehicles that are on the premises for reasons other than typical customer activity shall be parked in non-required parking spaces and should not be parked in such a manner to be used as an advertisement.
 - J. Fire Safety. All uses shall comply with the flammable liquid regulations promulgated by the

- fire safety board by authority conferred by Section 3 of Public Act No. 207 of 1941 (MCL 29.3c).
- K. Engineering. The installation and use of an oil-water separator with monitoring capabilities in the facility's storm water management system shall be required, as well as the use of best management practices for pollution prevention for automobile service operations, in order to protect surface water and groundwater quality, along with approval by the Township Engineer.
- L. **Modifications.** Any of the requirements in a-j above may be altered, as necessary, should the applicant demonstrate to the satisfaction of the Planning Commission justification for deviation from these use standards.

7.6.35 Motor freight depots and terminals

- A. Goods and/or trucks are stored only on a temporary basis and are clearly in transit and have not yet reached their final destination.
- B. Such activities shall not include the storage of scrap or junk materials; wrecked or partially dismantled vehicles; petroleum or other than in mobile carriers or for use on the premises.
- C. No building, temporary storage yard, or loading berth shall be located within fifty (50) feet of any rear or side property line or within one hundred (100) feet of any street right-of-way line.
- D. All temporary storage yards shall be enclosed by a well-maintained solid fence or masonry wall not less than six (6) feet in height.

7.6.36 Adult Businesses

- A. Purpose. In the development and execution of this chapter, it is recognized that there are some uses which, because of their very nature, have serious operational characteristics, particularly when concentrated or when one (1) or more of them are located in near proximity to residential zones, thereby having a deleterious effect upon adjacent areas. Regulation of these uses through location is necessary to ensure that the adverse effects of such uses will not contribute to the blighting or downgrading of the surrounding neighborhood. The provisions of this chapter are intended to prevent a concentration of these uses within any one area and to prevent deterioration or blighting of nearby residential neighborhoods.
- B. Restrictions on Location. All such businesses shall be limited to the GI District. No person shall use, establish, build, operate, or allow to be operated an adult business in any building or on any lands:
 - 1. Within 1,000 feet of another adult business.
 - 2. Within 500 feet from any residentially zoned lands, or single- or multi-family dwelling unit.
 - 3. Within 500 feet from any church or other religious institution.
 - 4. Within 500 feet of any public park or land zoned for such use.
 - 5. Within 500 feet of a school.

The distance between an adult business and a church, school, public park, or a residential zoning district shall be measured in a straight line, without regard to intervening structures or objects, from the closest exterior wall of the adult business or building containing an adult business to the nearest property line of the protected use or residential or agricultural district.

- C. No person shall reside in or permit any person to reside in the premises of an adult business.
- D. Exceptions. The provisions of this section regarding massage parlors shall not apply to hospitals, sanitariums, nursing homes or medical clinics, or to the offices of a physician,

surgeon, chiropractor, osteopath or physical therapist, or massage therapists duly licensed by the State.

Section 7.7.1: Schedule of Area, Height, and Bulk Regulations

	District	Minimum Lot Area (Sq.Ft.) ^{1,6} *	Minimum Lot Width At Street (Feet) ^{2*}	Maximum Lot Coverage Buildings /Parking (%) ^{7*}	Minimu F ³ *	um Yard (Feet) ^{4*} S ^{4*}	Setback R	Maxir Building Stories		Additional Regulations Section 7.7
Α.	RAA-Low Density Rural Residential	87,120	200	20/20	30	20	35	2.5	35	Yes
В.	RA-Medium Density Residential	43,560	125	35/40	25	10	30	2.5	35	Yes
C.	RB-High Density Residential	10,000	70	35/40	25	8	30	2.5	35	No
D.	WFR-Waterfront Residential	43,560	125	35/40	25	105*	30	2.5	35	Yes
E.	NR-Natural River Residential	43,560	150	35/40	25	10	30	2.5	35	Yes
F.	MHP-Mobile Home Park Residential	See Section	7.6.5.					2.5	35	Yes

^{*} See Footnotes

Section 7.7. 1Schedule of Area, Height, and Bulk Regulations(Continued)

District Minimum Lot Area (Sq.Ft.) ^{1,6*}		Minimum Lot Width At Street (Feet) ^{2*} Maximum Lot Coverage Buildings/ Parking (%) ^{7*}		Minimu F ³ *	um Yard (Feet) S ⁴ *	Setback R	Maxir Building Stories		Additional Regulations Section 7.8	
G.	NS-Neighborhood Service	10,000	80	40/75	25	205*	25	2.5	35	Yes
Н.	CS-Community Service	43,560	150	40/75	30	20 ^{5*}	25	2.5	35	Yes
I.	LI-Limited Industrial	43,560	150	40/75	30	20	25	3	40	Yes
J.	GI-General Industrial	87,120	200	40/75	50	20	25	3	40	Yes
K.	MD-Mixed Development	43,560	150	40/65	40	20	25	3	40	Yes
L.	Village Residential	21,780 9* Residential with sanitary sewer: 14,000 8,9,10*	80	35/40 11*	20 12*	10	25	2.5	35	Yes
M.	Village Center	18,700 9* Residential with sanitary sewer: 10,600 8,9,10*	65	50/80 11*	see note 12*	10 13*	15	2.5	35	Yes
N.	PPRF – Public & Private Recreational Facilities District	1,742,400	660	20/20	100	50	100	2.5	35	Yes

^{*} See Footnotes

Footnotes to 7.7.1 Schedule of Area, Height, and Bulk Regulations

- 1. Minimum lot areas are for all uses within District unless otherwise specified in Section 7.7.1, Schedule of Use Regulations. Minimum lot areas are exclusive of public street right-of-way or private road access easements.
- 2. Minimum lot widths are required along the street upon which lot principally fronts. On cul-desacs or where a curvilinear street pattern results in irregularly shaped lots with non-parallel side lot lines, the following minimum lot widths shall apply:

	Minimum Lot Width	Minimum Lot Width
District	at Right-of-Way	at Building Line
RAA	64 feet	106 feet
RA, WFR	64 feet	100 feet
RB	60 Feet	70 Feet
RC	100 Feet	150 Feet
NR	80 Feet	150 Feet

3. Minimum front yard setbacks are required as shown except where established buildings on adjacent lots vary from this minimum. In such case, a new building shall be constructed with a front yard of no less depth than the average front yards of buildings located on each side of the proposed building. In no case shall this provision be interpreted to allow a front yard of more than forty (40) feet or less than twenty (20) feet.

On corner lots, both street yards shall provide the minimum front yard setback. The size of corner lots shall be large enough to accommodate both front yard setbacks and a building of a similar size to those on non-corner lots.

4. In any District, a principal building, all attached structures, fences, and accessory structures shall not be permitted within fifty (50) feet of the ordinary high-water mark of any body of water unless otherwise stated.

In the Natural River Residential (NR) zoning district in addition to required front, side, and rear yard setbacks, all new buildings and structures shall be required to be setback a minimum of 125 feet from the ordinary high-water mark, or if the ordinary high-water mark cannot be determined, the setback shall be from the river's edge. The setback may be decreased ten (10) feet for every ten (10) foot rise in bank height to a minimum of seventy-five (75) feet from the ordinary high-water mark.

5. In the Water Front Residential (WFR) zoning district lots that have less than or equal to 60 feet lot widths shall be provided a reduced minimum side yard setback of 5 feet with an aggregate side yard setback of 15 feet.

In Neighborhood Service (NS) and Community Service (CS) Districts, a principal building may be constructed on or near the property line provided that the combination of the two side yards shall total twenty (20) feet and the building's side wall be a fire wall meeting building code. In all cases, one side yard shall be provided which is sufficient to permit the access of emergency vehicles to the rear of the building.

- 6. Lots shall contain a sufficient buildable site exclusive of any wetlands meeting the minimum zoning setback regulations plus off-street parking, septic disposal fields, well location and accessory building provisions.
- 7. The maximum lot coverage values are for the following:
 - a. Building Lot Coverage; the total footprint of buildings, divided by the site, excluding water bodies and wetlands.
 - b. Total Impervious Surface; the total footprint of buildings, parking, paved and gravel storage yards, driveways, streets, roads, and sidewalks, divided by the size of the site, excluding water bodies and wetlands.

Single family or two-family residential lots may have up to an additional ten (10) percent lot coverage after approval of a grading and drainage plan, prepared by a registered engineer or a registered Landscape Architect and approved by the Township Engineer.

8. For multiple family dwellings with sanitary sewer, the following maximum densities shall be allowed:

	Maximum dwelling units per acre								
Housing type	Village Center	Village Residential							
Apartments	10	8							
Multiple Family Dwellings	8	6							
Duplexes	6	5							

- 9. The minimum lot area for residential (single and multiple family) may be reduced by up to twenty-five (25) percent, provided that at least half the total area by which residential lots are reduced below the minimum lot size be provided as common open space, meeting the requirements of Section 7.8.6
- 10. The minimum lot area for residential (single and multiple family) with sanitary sewer may be reduced to the sanitary sewer minimum lot size.
- 11. No building shall be greater than thirty thousand (30,000) square feet gross floor area except for a group of uses, each with individual pedestrian entrances.
- 12. Buildings shall be placed no more than twenty (20) feet from the front lot line. A lesser setback may be required by the Planning Commission where the established setbacks of adjacent buildings is less than twenty (20) feet. Where the average front yard setbacks for the adjacent buildings on either side of the proposed use is greater than twenty (20) feet the Planning Commission may permit a front yard setback above twenty (20) feet but not to exceed the average front yard setbacks for the adjacent buildings. For a structure with a garage door facing a public street or private road, the accessory garage building, or the front wall of the attached

- garage, shall be setback a minimum of five (5) feet behind the front building line of the principal structure.
- 13. The side yard setback shall be a minimum ten (10) feet except a zero (0) foot setback may be permitted where the building abuts another building which is separated by an approved fire wall.

Section 7.8 Additional District Regulations 7.8.1 NR-Natural Rivers District

- A. **Authority.** The Huron River is a designated Natural River (classification: County Scenic River). Authority for these provisions herein stated are granted by the provisions of Part 305 of the Environmental Protection Act beginning at 13A.30501
- B. **Purposes and Intent.** This ordinance is enacted to implement public objectives embodied in the Huron River Natural River Management Plan adopted by the Natural Resources Commission, and endorsed by Hamburg Township. These public objectives seek to preserve and enhance the values of the Huron River area as well as to promote the public health, safety and general welfare of this community and the state as a whole. These objectives are sought to be achieved through zoning of this unique scenic natural river area for the following stated purposes:
 - 1. To protect and enhance the values of the natural river in the interest of present and future generations;
 - 2. To protect the economic value of this scenic resource from unwise and disorderly development which may adversely pollute, destroy or otherwise impair its beneficial use and preservation;
 - 3. To prevent ecological and aesthetic damage which may result from overcrowding and overuse or unwise and disorderly development;
 - 4. To permit reasonable and compatible uses of land which complement the natural characteristics of the river and further the purposes of this Ordinance;
 - 5. To limit the intensity of use, density of population and type and amount of development in order to protect and enhance the natural river values, and thereby carefully guide the expenditure of funds for public improvements and services in an orderly fashion, in keeping with the character of the natural river area, the purposes for its designation, and the community as a whole;
 - 6. To conserve the river water, and prevent further degradation of its quality, purity, clarity and free-flowing condition;
 - 7. To provide for the conservation of soil, of riverbed and banks of adjoining uplands;
 - 8. To protect the natural flood water storage capacity of the river flood plain and to prevent flood damages and associated public relief expenditures created by improper construction of structures in the flood plain;

- 9. To protect and enhance fish, wildlife and their habitat;
- 10. To protect boating and recreational values and uses of the river;
- 11. To protect historic values of the river and adjoining uplands;
- 12. To protect individuals from investing funds in structures proposed for location on lands unsuited for such development because of high ground water, erosion, or vulnerability to flood damage; and
- 13. To provide for administrative relief from the terms of this ordinance where warranted and in accord with the standards contained herein.

C. Setbacks

- 1. **Setbacks and Lot Width**. Unplatted lots, new subdivisions, and condos in the NR District shall accommodate the building setbacks as set forth in this Ordinance, and shall have a minimum riverfront lot width of 150 feet. Septic systems are required to be set back a minimum of 125 feet from the ordinary high-water mark of the Huron River.
- 2. **Building Setbacks**. New buildings and appurtenances on the Huron River mainstream will be required to set back a minimum of 125 feet from the ordinary high-water mark. Further,
 - a. New buildings and appurtenances must be setback at least 100 feet from the top of a bluff.
 - b. No buildings shall be placed on land that is in a floodway or a wetland.

D. Land Alteration

- 1. **Cutting and Filling**. Cutting or filling for building (including appurtenances) on the flood plain is prohibited. Cutting and filling for building on the upland shall meet all state, county and township regulations. Dredging and filling for the construction of fish or wildlife ponds within 500 feet of the river requires a permit under Public Act 346 of 1972, as amended. However, no lake shall be constructed within the Natural River District.
- 2. **Stormwater Runoff**. A stormwater runoff management system shall be intact for all stormwater runoff prior to the runoff reaching the ordinary high-water mark of the Huron River or its tributaries to ensure the protection of the water courses from erosion and unnecessary degradation due to sedimentation.
- 3. **Earth Changing Activities**. All earth changes, including dredging, damming, cutting, filling and grading, within five hundred feet of the river's edge shall be done in accordance with the requirements of a permit issued by the local soil erosion and sedimentation control enforcement agency pursuant to Public Act 346 of 1972, as

- amended. In addition, commercial mining and an extraction of topsoil or subsurface sand, gravel, or minerals is not permitted within three hundred feet of the river's edge.
- 4. **Dredge and Fill Activities**. All dredge and fill activities and construction of permanent structure, including docks, lying below the ordinary high-water mark of the river are subject to the provisions of Public Act 346 of 1972, as amended.

E. Building Design and Screening

- 1. **Use of Natural Materials and Colors**. Property owners are encouraged to use natural materials and natural unobtrusive colors in the construction of new or remodeling of existing buildings.
- 2. **Flood Plain Restrictions**. Township Ordinance Section 9.6.1 through Section 9.6.5 shall apply in the Natural River District with the exception that no structures (except accessory building/structures) shall be permitted in the floodplain of the Huron River in the Natural River District.
- 3. **Natural Vegetation Strip**. To minimize erosion, stabilize the riverbank, protect water quality, keep nutrients out of the water, maintain water temperature at natural levels, preserve fish and wildlife habitat, to screen man-made structures, and also to preserve aesthetic values of the natural river area, a natural vegetation strip shall be maintained on each parcel or lot between the river's edge and a line, each point of which is 100 feet on all privately owned land and on all publicly owned land horizontal from and perpendicular to the river's edge. This restricted, minimum cutting strip shall apply on each side of the mainstream. Within the natural vegetation strip, trees and shrubs may be selectively pruned or removed for harvest of merchantable timber, to achieve a filtered view of the river from the principal structure, and for reasonable private access to the river. Said pruning and removal activities:
 - a. Shall insure a live root system stays intact to provide for streambank stabilization and erosion control; and
 - b. Shall insure that any path to the river's edge is not greater than 10 feet in width, shall meander down to the river's edge in a matter which protects the soil and vegetation from erosion while also screening the principal structure and vehicles from a direct river view; and
 - c. Shall require a detailed plan of the cutting and removing of vegetation be submitted to the environmental consultant for review if necessary. The environmental consultant_shall make a recommendation to the Zoning Administrator who will then give final approval/disapproval within the vegetation strip; and
 - d. All commercial lumbering in the Natural River District shall be required to file a one-thousand-dollar bond with the Township to be returned to said party following inspection of the property by the Zoning Administrator to insure repair of damaged trees and property.

Dead, diseased, unsafe or fallen trees and noxious plants and shrubs, including poison ivy, poison sumac, and poison oak, and other plants regarded as a common nuisance may be removed. Planting of perennial native species in the natural vegetation strip is encouraged, especially where exposed soil and steep slopes exist, and in reforestation efforts.

4. **Use of Pesticides, Herbicides, and Fertilizers**. Because of the potentially severe adverse effects on riverfront vegetation, fish, wildlife, and water quality from improper use of even small amounts of pesticides, herbicides, and fertilizers, their use on lands within the natural river area is prohibited except when utilized in accord with the advice and supervision of qualified specialist. No pesticides, herbicides, or fertilizers are allowed in the "vegetation strip" along the river.

F. Docks and Launches

- 1. **Docks**. Docks may be constructed not to exceed six (6) feet in width nor more than twenty (20) feet in length paralleling the river with no more than four (4) feet of the dock extending beyond the low water mark. Docks must be constructed in accordance with the rules of Act 346, P.A. 172. Docks must be constructed of materials that are not detrimental to the river and must have natural/unobtrusive colors used for coverings. Docks cannot impede the waterway of normal water traffic.
- 2. **Launches**. No public launches are allowed in residential areas into the river or its tributaries.
- G. Campgrounds and Picnic Areas. On public land, no new structures associated with a campground or picnic area, except those necessary to protect the riverbank, will be permitted within three hundred (300) feet of the designated mainstream. Such structure shall be designed and constructed in such a manner as to further the purpose of this district.
- H. **Archaeological Sites.** The identification, preservation, and interpretation of archaeological sites along the designated portions of the district, both by public agencies and local societies, is strongly encouraged.

7.8.2. NS-Neighborhood Service and CS-Community Service.

- A. All uses permitted in these districts including storage shall be conducted entirely within an enclosed structure unless otherwise specified herein.
- B. Where these districts abut a residential district, there shall be provided either a landscape buffer strip designed in accordance with the provisions of Section 9.3 or a fence between six (6) and eight (8) feet in height as determined and approved by the Planning Commission.

7.8.3 LI-Limited Industrial.

- A. Vehicular access to uses permitted in this district shall be provided from a paved street within or abutting such districts.
- B. Except as hereinafter provided, all uses permitted in this district shall be conducted in completely enclosed buildings.
 - 1. Outside storage of materials, products and equipment, including tank storage, shall be permitted, subject to special approval of the Planning Commission.
 - 2. Outdoor storage yards shall be completely enclosed by a solid fence or wall between six (6) or eight (8) feet in height.
 - 3. Outdoor display of finished goods for sale shall be permitted only as specified with permitted retail uses.
 - 4. No outside use of cranes, tanker loading or unloading facilities or rail transportation shall be permitted.
- C. No structure shall be located less than one hundred (100) feet from any residential district.
- D. Where this district abuts a residential district, there shall be provided either a landscape buffer strip designed in accordance with the provisions of Section 9.3 or a fence between six (6) and eight (8) feet in height as determined and approved by the Planning Commission.
- E. Every lot in this district shall provide a landscaped buffer strip of at least fifteen (15) feet in depth, measured from the front lot line, within the prescribed front yard setback. The buffer strip shall be composed of trees and/or foliage, pursuant to the Township Engineering and Design Standards.
- F. All shipping and receiving activities shall be located at the rear or side of the building. No on-site truck storage overnight shall be permitted, except in the rear yard.
- G. All piping, vents, ventilators, exhaust, refrigeration and cooling mechanisms shall be enclosed or maximally screened from view and insulated.
- H. No crude petroleum products or processing and no processing of raw materials including but not limited to logs, animal byproducts, pulp, petroleum, coal, and ores shall be permitted.
- I. Any light industrial use which in the judgment of the Planning Commission may have off-site impacts requiring the imposition of additional restrictions to lessen the impacts of noise, odor, vibration, smoke, glare, dust, fumes, radiation, explosion, heat, toxic contamination, or other nuisances, shall be subject to special approval.
- J. The Planning Commission may waive or modify the fencing or landscape buffering requirement upon a determination that a solid fence or landscaping buffer will not be necessary or effective for screening. In making such a determination, the following shall be considered
 - 1. Need for security;

- 2. Abutting district or existing use;
- 3. Extent that existing natural vegetation provides the desired screening;
- 4. Topographic conditions which would eliminate the benefits of required solid fencing or landscape buffer;
- 5. Building heights and views in relation to existing topography and vegetation as well as views from adjacent uses;
- 6. Similar conditions existing such that no good purpose would be served by providing the required landscaping buffer or solid fence.

7.8.4 GI-General Industrial.

- A. Vehicular access to uses permitted in this district shall be provided from a paved street within or abutting such districts.
- B. All uses permitted in this district shall be conducted in completely enclosed buildings, except that outdoor storage yards shall be completely enclosed by a solid fence or wall between six (6) and eight (8) feet in height.
- C. No structure shall be located less than one hundred (100) feet from any residential district.
- D. Where this district abuts a residential district, there shall be provided either a landscape buffer strip designed in accordance with the provisions of Section 9.3 or a fence between six (6) and eight (8) feet in height as determined and approved by the Planning Commission.
- E. Every lot in this district shall provide a landscaped buffer strip of at least fifteen (15) feet in depth, measured from the front lot line, within the prescribed front yard setback. The buffer strip shall be composed of trees and/or foliage.
- F. The Planning Commission may waive or modify the fencing or landscape buffering requirement upon a determination that a solid fence or landscaping buffer will not be necessary or effective for screening. In making such a determination, the following shall be considered.
 - 1. Need for security;
 - 2. Abutting district or existing use;
 - 3. Extent that existing natural vegetation provides the desire screening;
 - 4. Topographic conditions which would eliminate the benefits of required solid fencing or landscape buffer;
 - 5. Building heights and views in relation to existing topography and vegetation as well as views from adjacent uses;
 - 6. Similar conditions existing such that no good purpose would be served by providing the required landscaping buffer or solid fence.

7.8.5 MD-Mixed Development District.

A. Developments planned under the provisions of the MD District shall be homogeneous and uniform in nature and all reasonable attempts shall be included in such plans to protect the existing environmental quality of the site. Preservation of natural features such as slopes, stands of trees, animal sanctuaries and similar characteristics shall be considered when the site has such

features present. Similarly, appropriate measures shall be suggested by the applicant to assure minimal negative impact upon adjacent land areas, residents, and property owners should the site plan be implemented.

- B. Outdoor storage or display shall be prohibited.
- C. The Planning Commission may permit the provision of landscaped area in lieu of and within the area which would otherwise provide for up to ten (10) percent of the total required parking spaces.
- D. Off-street parking areas shall not be permitted within the required front yard setback.
- E. Off-street loading areas shall not be visible from any public or private road.
- F. The Planning Commission may waive or modify the fencing or landscape buffering requirement upon a determination that a solid fence or landscaping buffer will not be necessary or effective for screening. In making such a determination, the following shall be considered.
 - 1. Need for security;
 - 2. Abutting district or existing use;
 - 3. Extent that existing natural vegetation provides the desire screening;
 - 4. Topographic conditions which would eliminate the benefits of required solid fencing or landscape buffer;
 - 5. Building heights and views in relation to existing topography and vegetation as well as views from adjacent uses;
 - 6. Similar conditions existing such that no good purpose would be served by providing the required landscaping buffer or solid fence.

7.8.6 VC and VR Village Center and Village Residential Districts.

- **7.8.6.1. Design Standards.** The following design standards shall apply to all site plans reviewed under Article 4.00, Site Plan Review, special uses reviewed under Section 3.5, Special Use Permits, subdivision plats reviewed under the Subdivision Control Ordinance, and condominium projects reviewed under the Condominium Ordinance.
 - A. **General**: The overall design and mixture of uses shall be consistent with the intent of this district. Compatibility of uses shall be determined by the following:
 - 1. The uses shall not create noise, dust, odors, fumes or other nuisances that will have an obnoxious effect on surrounding residences.
 - 2. Traffic volumes generated by the use shall not have a negative impact on surrounding residential character.
 - 3. Architecture shall meet the requirements of Section 4.5.7.
 - 4. Location and use of yards shall contribute to the continuation of open space areas within the immediate vicinity.

- 5. Location and design of landscaping and pedestrian areas shall be compatible with and enhance the area pedestrian and open space network.
- 6. Location, size and types of architectural projections such as porches or awnings shall be compatible with other structures along the same block.
- 7. Location, scale and design of signs shall be consistent with the character of other signs, street elements structures and uses located along the same street.
- 8. Residential development shall be designed to be compatible with surrounding land uses, while providing a mixture of housing types to meet the varied needs of Township residents.

B. Sidewalks/Pedestrian Circulation

- 1. Site design shall demonstrate a special sensitivity to pedestrian circulation and safety.
- 2. Sidewalks at least five (5) feet wide and at least seven (7) feet wide where abutting parking shall be provided along public streets and private roads; bike paths shall be required in locations designated in the Hamburg Village Master Plan or to provide linkages with existing or planned bike paths.
- 3. All developments shall provide pedestrian linkages between public sidewalks and the building entrances.
- C. **Common Open Space**: For any development which includes ten (10) or more dwelling units, 1,500 square feet of common open space shall be provided per dwelling unit. Such open space may be counted towards meeting open space requirements for minimum lot size reductions provided that it meets all of the following requirements:
 - 1. Open space shall be set aside by the developer through an irrevocable conveyance that is found acceptable to the Planning Commission, such as:
 - recorded deed restrictions,
 - covenants that run perpetually with the land, or
 - a conservation easement established per the State of Michigan Conservation and Historic Preservation Act, Public Act 197 of 1980, as amended (M.C.L. 399.251).
 - 2. The common open space shall be used for social, recreational and/or natural preservation. Common open space within the village shall be of a distinct geometric shape, generally rectilinear or square. The common open space shall include landscaping, sidewalks, pedestrian benches and pedestrian scale lamp posts. Open space at the edges of the village, as shown on the Hamburg Village Master Plan shall be left in a natural state, with the exception of trails or boardwalks.

D. Parking/Loading Areas

- 1. The amount of parking for nonresidential uses required under Article 10 "Parking and Loading" may be reduced by the Planning commission by up to fifty percent (50%) upon a finding that patrons will be able to walk to the use from nearby residential areas, patrons are parked at other uses and visiting several uses, and/or on-street parking is available.
- 2. Off street parking lots shall be located behind the front line of the principal building. Where this is not feasible or practical, the Planning Commission may permit off street parking within the front yard. Parking lots must be setback from any front lot line a minimum of twenty (20) feet.
- 3. All off street parking spaces or loading areas must be screened from view of any public road or pedestrian path right-of-way, or private road or pedestrian path easement by an evergreen hedge row or masonry wall, which is consistent with building architecture and site design, at least three (3) feet in height.
- 4. Where parking or loading areas abut a residential use, a six (6) foot tall masonry wall, which is consistent with building architecture and site design, shall be constructed between the parking lot or loading area and the adjacent residential use. The Planning Commission may substitute the masonry wall with one or more rows of six (6) foot tall evergreens.
- 5. Loading/unloading from secondary streets may be permitted by the Planning Commission rather than the required on-site loading, upon demonstration by the applicant that through traffic flow and access to neighboring uses will not be disrupted.

E. Architecture

- 1. Buildings shall possess architectural variety, but enhance the overall cohesive and historic village character.
- 2. Building architecture shall meet the standards of Section 4.5.7.
- 3. The first floor of front facades shall include at least thirty percent (30%) windows. The approximate size, shape, orientation and spacing shall match that of buildings on adjacent lots.
- 4. The mass and proportion of structures shall be similar to structures on adjacent lots and on the opposite site of the street. Larger buildings may be broken-up with varying building lines and roof lines to provide a series of smaller scale sections which are individually similar in mass and proportion to surrounding structures.
- 5. Buildings located on corner lots shall provide distinct and prominent architectural features or site elements which reflect the importance of the building's corner location and creates a positive visual landmark. An entry feature or site landmark shall be required at corners designated for such a feature in the Hamburg Village Master Plan.

The architectural feature or site element shall be subject to Planning Commission approval.

6. On sites which contain commercial structures over fifty (50) years old, no exterior portion of any commercial building or structure (including walls, fences, light fixtures, steps, pavement, or other appurtenant features), or above ground utility structures shall be erected, altered, restored, moved or demolished without the review of the Planning Commission prior to the issuance of a land use permit. The purpose of the Planning Commission review is to advise on actions which may or may not be compatible with the desirable historic, architectural or cultural aspects of the District. The Planning Commission may consider Standards for Rehabilitation and Guidelines for Rehabilitation of Historic Buildings prepared by the U.S. Department of Interior for reviewing actions within the Old Hamburg Village. Such standards are made part of this Ordinance.

For proposed alterations to commercial structures for which site plan review is not required under Article 4.00, the review of the Planning Commission shall be advisory to the Zoning Administrator in the issuance of a land use permit. The provisions of this section shall not be construed to prevent the ordinary maintenance or repair of any exterior feature. Further, the provisions of this section shall not prevent the construction, alteration, restoration or demolition of any feature which the Building Inspector certifies is required because of a threat to public safety.

- F. **Signs**: Signs shall be designed to be compatible with the principal building's architecture and materials.
- G. **Street and Access Design**: Streets shall meet the following, with the acknowledgment that for any public streets, any more stringent standards of the Livingston County Road Commission or the Michigan Department of Transportation shall apply.
 - 1. Access points to M-36 shall be spaced at least five hundred (500) feet apart
 - 2. Access points along streets or driveways intersecting with M-36 shall be setback at least sixty (60) feet from the M-36 right-of-way line.
 - 3. The Township may require shared access or connections between adjacent uses as a means to limit conflict points and preserve capacity along M-36.
 - 4. The maximum length of blocks shall be seven hundred (700) feet.
 - 5. Street connections to adjacent parcels shall be provided where the Master Plan identifies a future street connection or there is the possibility to create future street connections. Road stubs for future connections shall be improved to the parcel line.
- H. **Landscaping**: All landscaping shall meet the minimum requirements of Section 9.4, Landscape Standards. Because of the higher density of development permitted in the VC and VR districts, the following standards shall apply to frontage landscaping in place of the standards contained in Section 9.4:

- 1. At least an eighty (80) foot wide landscaped greenbelt shall be provided along undeveloped areas of M-36, as designated on the Hamburg Village Master Plan, with at least two (2) rows of trees spaced no greater than twenty-five (25) feet on center. Trees shall be a mixture of evergreen and canopy trees meeting the minimum plant size requirements of Section 9.4. Provision of this landscaped greenbelt may be counted towards the common open space requirements of paragraph C above.
- 2. Along all road frontages, other than M-36 section identified in paragraph 1 above, one canopy street tree shall be planted within 5 feet of the front lot line for each forty (40) linear feet of frontage.

I. Lighting.

- 1. A consistent type of pedestrian scale ornamental lighting shall be provided along all sidewalks, within any off-street parking lots and along road frontages.
- 2. Parking lot lighting shall not be greater than twenty (20) feet in height.

7.8.6.2. Approval Standards.

The following criteria shall be used, in addition to the standards contained in Article 4.00, Site Plan Review or the Subdivision Control Ordinance, as a basis upon which site plans or subdivision plats shall be reviewed and approved by the Township:

- A. Compatibility with Adjacent Uses: The proposal shall be designed, constructed, and maintained to be compatible with permitted uses on surrounding land to the extent that is reasonably feasible, giving consideration to economic and site conditions. Consideration may be given to:
 - 1. The location and screening of vehicular circulation and parking areas in relation to surrounding development, to the maximum extent feasible.
 - 2. The location and screening of outdoor storage, outdoor activity and work areas, and mechanical equipment in relation to surrounding development.
 - 3. The bulk, placement, and materials of construction of the proposed use in relation to surrounding development shall be compatible as determined by the general requirements listed in Section 7.8.6.1.A.
 - 4. Proposed site amenities.
 - 5. The site grading and stormwater drainage plan.
- B. **Transportation and Access**: The proposed use shall be designed to minimize the impact of traffic generated by the use to the extent that is reasonably feasible, giving consideration to economic and site conditions. Consideration may be given to the following:
 - 1. Relationship between the proposed development and existing and proposed streets.

- 2. Estimated traffic generated by the proposed use.
- 3. Location and access to on-street parking.
- 4. Location and access to off-street parking.
- 5. Provisions for vehicular traffic.
- 6. Continuation of the planned street network for the village.

The Planning Commission may require a traffic impact study for special uses.

- C. **Building Architecture**: In determining the appropriateness of buildings, design elements shall be evaluated in relation to existing and proposed surrounding buildings and uses. The design shall meet the standards of Section 7.8.6.1.E.
- D. **Emergency Access**: All buildings or groups of buildings shall be so arranged as to permit convenient and direct emergency vehicle access.
- E. **Health and Safety Concerns**: Any use shall comply with applicable Federal, state, county, and local health and pollution laws and regulations related to noise; dust, smoke and other air pollutants; vibration; glare and heat; fire and explosive hazards; gases; electromagnetic; radioactive materials; and toxic and hazardous materials. The Planning Commission may require an environmental impact study for special uses.
- F. **Screening**: Off-street parking, outside refuse, storage areas, and mechanical and electrical equipment which are within sight of adjacent residential districts or public roads shall be adequately screened.
- G. **Appearance**: Signs and other site features shall be designed and located on the site so that the proposed development is aesthetically pleasing and harmonious with nearby developments.

ARTICLE 8.00 SUPPLEMENTARY PROVISIONS

Section 8.1 Accessory Buildings and Structures

Accessory buildings and structures, except as otherwise provided for in this Ordinance, shall be subject to the following provisions:

- **8.1.1** Authorized accessory buildings may be erected as part of the principal building; may be connected to the principal building by a roofed porch, breezeway, or similar structure; or may be completely detached from the principal building.
- **8.1.2** All accessory buildings shall meet front and side yard requirements, except where such accessory buildings are detached and located completely to the rear of the principal building, in which case an accessory building may be located no nearer than five (5) feet to any side lot line.
- **8.1.3** On a lot that abuts a water bodies if an accessory building is located between the principal structure and the front property line (the property line that abuts the street) the accessory building may be located no nearer than fifteen (15) feet from the lot line which abuts the street and ten (10) feet from one side lot line and five (5) feet from the opposite side lot line.
- **8.1.4** If the existing structure on a lot that abuts a water body has non-conforming side yard setbacks and a side yard setback less than ten (10) feet is utilized for the accessory building, the smallest side yard setback on the accessory building shall be on the same side as the smallest side yard setback on the existing structure.
- 8.1.5 No accessory building shall be located nearer than five (5) feet to any rear lot line or occupy more than thirty (30) percent of any rear yard area.
- **8.1.6** An accessory building which is detached from the principal building shall not be located nearer than ten (10) feet to any separate building or structure on the lot. If an Accessory Structure is nearer than 10 feet from a separate building it is consider an attached structure.
- 8.1.7 On a corner lot in any Residential District, an attached or detached accessory building shall meet the side yard setback of the principal building for the zoning district in which the lot is located, but shall not be closer than 10 feet. In all cases, the garage entrance shall be located to allow adequate sight distance and off-street parking. When the rear lot line forms a part or all of a side lot line of an adjacent lot, a garage shall be no nearer than five (5) feet to the rear lot line.
- **8.1.8** In Residential Districts, private swimming pools are permitted as an accessory use, provided that:
 - A. The pool, including all connections and appurtenances, is located either:
 - 1. Entirely within a rear yard, maintains a minimum setback of five (5) feet from the rear and side property lines and pump and filter installations are located a minimum of ten (10) feet from the adjoining property lines; or
 - 2. Entirely within a side yard or partially within a side yard and rear yard and maintains a minimum setback from any property line equal to or greater than the required minimum rear yard setback as stated in Section 7.6.1., including footnotes, for the zoning district in which it is located;
 - B. A masonry wall or approved fence between four (4) and six (6) feet in height shall enclose the pool. All openings in the wall or fence shall be equipped with self-closing, self-latching gates or doors.
- **8.1.9** Detached accessory buildings located within Residential Districts that are located within the required setbacks for the main structure and which have a roof pitch less than 8:12 shall not

exceed 14 feet in height, as defined. Detached accessory buildings located within Residential Districts that are located within the required setbacks for the main structure and which have an 8:12 pitched roof or greater shall not exceed 17 feet in height, as defined. This provision shall not apply to parcels of land containing five acres or more.

- **8.1.10** No accessory building or structure shall be permitted prior to the construction of the main building or structure.
- **8.1.11** Accessory Buildings, Structures and Uses in Waterfront Districts. In the Waterfront Residential District (WFR) and the Natural River Residential District (NR), accessory garage structure(s) may be placed on a separate lot of record than the principal structure if the following provisions are met and a permit has been issued by the Zoning Administrator:
 - A. The lot upon which the principal building is located must be a waterfront or riparian lot.
 - B. The garage can only be constructed on a non-waterfront lot.
 - C. The accessory structure(s) can be used only for a garage or storage facility. Garages or storage facilities may not exceed a combined total of 800 square feet of ground floor area. One shed may be permitted in addition to the 800 square feet of accessory buildings.
 - D. There shall be common ownership between the principal building or residence and lot being used for the garage.
 - E. The lot upon which the principal building is located must not be more than 66 feet from the lot being used for the garage.
 - F. The accessory structure(s) shall maintain all required front, side, rear yard setbacks and lot coverage regulations associated with a principal structure as specified in Section 7.6.1. Height shall conform with Section 8.3.8.
 - G. A deed restriction shall be recorded that requires the lot upon which the principal building is located and the lot with the accessory building not to be sold separately unless all code requirements can be met. Meaning that a residential unit must be located on the lot with the accessory building on it. If no residential unit exists on the lot with the accessory building one shall be built within one year of the sale of the property. A performance guarantee under section 5.3 shall be provided by the new property owner of the lot with the accessory building to the Township.
- **8.1.12** On lots that abut a water body in any zoning district other than Natural Rivers District, accessory structures are permitted within fifty (50) feet of the ordinary high water mark of any body of water if they meet the following requirements:
 - A. They are less than 144 square feet in size.
 - B. They are no greater than ten (10) feet in height; and
 - C. Provided all other regulations in the zoning ordinance are met.
- **8.1.13** All structures located within the Natural River District shall also comply with the requirements of Section 7.5.1. (G), Natural River District.
- **Section 8.2 Boat Docks:** Also see section regulations regarding Boat Docks in 7.8.1. and 9.8.7.
 - **8.2.1** In Residential Districts on lots abutting a water body, docks are permitted on legal lots of record that have improved roadway access to the lot and have space for onsite parking regardless of it the lot is vacant or there is a primary residence on the lot.

Section 8.3 Temporary Buildings, Structures, and Shelters

8.3.1 General Provisions. No temporary structure shall be used for dwelling purposes that does not comply with the requirements of this Ordinance or applicable building codes, except as provided in this section. All Temporary Buildings and Structures not discussed in this ordinance section

shall meet the zoning ordinance requirements for the type of building or structure and for the zoning district it is located in.

- **8.3.2** Permitted Temporary Buildings, Structures, and Shelters. The following are permitted subject to meeting all of the following requirements of this section:
 - A. **Temporary Dwellings.** No temporary dwelling shall be erected or moved onto a lot and used for dwelling purposes except during construction of a permanent dwelling on the premises which has been issued a building permit. The reasonable date for removal of the temporary dwelling, established on the permit issued by the Zoning Administrator, shall not exceed one (1) year from the date of occupancy of the permanent structure. The temporary dwelling shall be connected to private water supply and sewage disposal systems approved by the County Health Department or to public water supply and sewage disposal systems. No temporary dwelling shall be erected in any lot which is a part of a platted subdivision.
 - B. **Temporary Construction Structures.** Temporary buildings and/or structures used for storage of equipment and construction offices may be used only during construction of a permanent structure which has been issued a building permit. The temporary building and/or structure shall be removed from the site prior to issuance of a certificate of occupancy.
 - C. **Temporary Shelters.** Temporary shelters shall only be allowed for storage. These structures are only permitted in the rear yard area on lots that do not abut a waterbody and are only allowed between the main structure and the road right-of-way on lots that do abut a waterbody in the CE, RAA, RA, WFR, and NR zoning districts. These structures shall be maintained at all times. These structures are also allowed when part of a Special Event, Temporary Use or Seasonal Sale permit.
 - D. **Permits.** A temporary building or structure shall require issuance of a land use permit from the Zoning Administrator under Section 3.3 of the Zoning Ordinance. The permit shall be renewed annually if needed. Any temporary building or structures shall be placed so as to conform to all yard requirements of the zoning district in which it is located.
- 8.3.3 Performance Guarantee. The Township may require a deposit by the applicant with the Township Clerk in the form of a certified check, cash, or a surety bond in an amount sufficient to hold the Township free of all liabilities incident to the operation of a temporary building, to indemnify any adjoining land owner for any damages resulting from the operation of such activity and to ensure proper and complete clean-up and removal of all temporary buildings. The amount of such bond, cash, or check shall be estimated by the Zoning Administrator. The Township shall rebate to the applicant upon satisfactory removal of all temporary buildings. Such rebate shall be based upon the report and recommendation of the Zoning Administrator. The Zoning Administrator may refer the application to the Township Engineer for review of the proposed improvements and recommendations of performance guarantees.

Section 8.4. Special Events, Seasonal Sales and other Temporary Uses

8.4.1 Approval Requirements. The Township Zoning Administrator may grant a temporary land use permit renewable on an annual basis for a temporary use of land and structures for special events, seasonal sales (Fireworks Stands, Farmers Markets, Farm Stands in areas where they are not a permitted use, Christmas tree sales, and other sales or seasonal items) and other temporary uses under this section. The Zoning Administrator may request the advice of the Township Engineer and Planning Consultant when considering the proposed projects. The Zoning Administrator may determine that the proposed project requires review and approval by the Planning Commission. The following conditions apply to specific temporary uses:

- A. Carnival, Circus and Musical Concert or Other Transient Entertainment or Recreational Enterprise.
 - 1. Maximum duration: 10 days.
 - 2. Operator or sponsor: Non-profit entity
 - 3. Location: Shall not be located in or adjacent to any developed residential area except on church, school or park property.
- B. Sidewalk or Tent Sale or Other Similar Outdoor Sale
 - 1. Maximum duration: 7 days.
 - 2. Location: In commercial districts only.
 - 3. Sidewalk Coverage: Shall not cover more than 50 percent of the width of the sidewalk. ADA compliance must still be met
 - 4. Parking Lot Coverage: Sufficient number of parking spaces shall remain to meet the existing zoning requirements for that district.
- C. Sporting or Outdoor Recreational Event and any overnight camping associated with these events.
 - 1. Maximum duration: 10 days.
 - 2. Search light or other apparatus used for the projection of a high intensity light beam.
 - 3. Maximum duration: 3 Days
 - 4. Light must not be directed towards other properties.
- **8.4.2 Permit Requirements.** The Township Zoning Administrator shall make a determination that the location of any special event, seasonal sale or temporary uses will not adversely affect adjoining properties, nor adversely affect public health, safety, and the general welfare of the Township by using the following standards. The permit shall establish a reasonable date for removal of the temporary structure and/or use, and shall set forth other conditions of permission as deemed necessary by the Zoning Administrator.
 - A. **Plot Plan.** A plot plan shall be submitted with all the information required under Section 4.9.3 along with a detailed description of the use or event. The description should include but not be limited to: description of use or event, dates and hours or operation, number of employees, projected number of people that will attend the use or event, any amplified noise uses how the site will secured, the plan for proposed cleanup of the site, etc.
 - B. **Standards.** In order to protect the adjacent property owners and citizens of the Township, the Zoning Administrator shall review all special events, seasonal sales and temporary uses to insure they meet the following standards:
 - 1. Adequate off-street parking and ingress and egress shall be provided.
 - 2. All uses shall be conducted in a manner so as not to create a traffic hazard or a nuisance to neighboring properties.
 - 3. The applicant shall specify the exact duration of the temporary use.
 - 4. Electrical and utility connections shall be approved by the Building Official.
 - 5. Adequate site and surrounding area clean up shall be done during and following the use. All Improvements shall be removed from the site at the conclusion of the project.
 - 6. Adequate restroom facilities shall be provided. A general guide for this requirement is one toilet for each 50 persons estimated to attend.
 - 7. Closure of commercial or similar activity shall be from midnight to 9:00 a.m.
 - 8. Any signage shall conform to the provisions of the District in which the use is located.
 - 9. There will be no gambling or use of alcohol or controlled substances contrary to law.
 - 10. There will be no generation of bright lights, loud noises, or strong odors at a level or intensity sufficient to create a nuisance to adjacent properties.
- **8.4.3 Performance Guarantee.** The Township may require a deposit by the applicant with the Township Clerk in the form of a certified check, cash, or a surety bond in an amount sufficient

to hold the Township free of all liabilities incident to the operation of a temporary use, to indemnify any adjoining land owner for any damages resulting from the operation of such activity and to ensure proper and complete clean-up after temporary use and removal of all temporary buildings. The amount of such bond, cash, or check shall be estimated by the Zoning Administrator. The Township shall rebate to the applicant upon satisfactory removal of all temporary uses. Such rebate shall be based upon the report and recommendation of the Zoning Administrator. The Zoning Administrator may refer the application to the Township Engineer for review of the proposed improvements and recommendations of performance guarantees.

Section 8.5 Unsafe Buildings

Nothing within this Ordinance shall be construed to prevent compliance with an order by the appropriate authority to correct, improve, strengthen, or restore to a safe or healthy condition, any part of a building or premises declared unsafe or unhealthy.

Section 8.6 Structural Damage

Any structure or building which may be in whole or in part destroyed by fire, windstorm, or other such cause, if rebuilt, shall be rebuilt in accordance with this Ordinance and other pertinent codes and ordinances or shall be restored to a safe and healthy condition with all debris removed from the site within ninety (90) days from the occurrence of such damage.

Section 8.7 Building Grades

The finished surface of ground areas outside the walls of any building or structure hereafter erected, altered, or moved shall be so designed that surface water shall flow away from the building walls in such a direction and with such a method of collection that inconvenience or damage to adjacent properties will not result. When property is developed adjacent to existing properties previously developed, existing grades shall have priority.

Section 8.8 Street Closures

Whenever any street, alley, or other public way is vacated by official action, the zoning district adjoining each side of such public way shall automatically be extended to the center of such vacation, and all area included therein shall henceforth be subject to all appropriate regulations of that district within which such area is located.

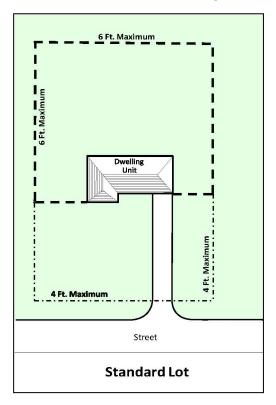
Section 8.9 Fences, Walls and Screens

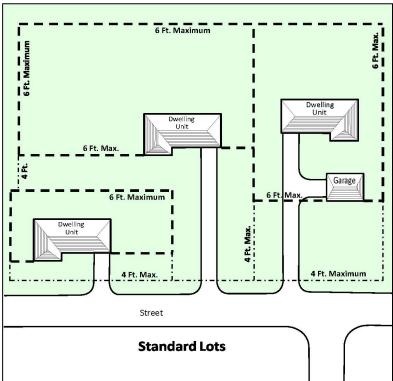
- **8.9.1** All fences, walls and other protective barriers (referred to in this section as "fences") of any nature, description located within any district of Hamburg Township shall meet all of the following regulations:
 - A. All structures shall be located entirely on or within the lot lines of the lot upon which they are located; and shall not be located within any public road right-of-way or private road easement. Fences on any corner lot must also comply with the setback requirements of Section 8.16, Intersection Visibility.
 - B. Fences shall consist of materials commonly used in conventional fence construction, such as wood or metal. Razor wire shall not be permitted. Fences, which carry electric current shall be permitted only in conjunction with the raising and keeping of horses or other domesticated animals permitted under Section 7.7.1. Barbed wire may be permitted in industrial districts, provided that the barbed wire is at least six (6) feet above ground.
 - C. If, because of the design or construction, one side of the fence has a more finished appearance than the other, the side of the fence with the more finished appearance shall face the exterior of the lot.
 - D. A fence shall not be erected where it would prevent or unreasonably obstruct the use of adjacent property or the safe use of an existing driveway or other means of access to adjacent property.
 - E. Fences shall be erected in a manner to allow emergency access to the rear yard of a lot by placing a gate and providing sufficient space between the building line of any structure and the fence on at least one-side of the yard.

- F. Fences shall be maintained in good condition. Rotten or broken components shall be replaced, repaired, or removed. As required, surfaces shall be painted, stained, or similarly treated.
- G. The height of a fence shall be measured from the point at which the fence posts, pilasters or footing intersects the ground on the lowest side of the fence to the top of the fence directly above. Where a fence is built on top of a wall, the combined fence/wall height is measured from the lowest grade to the top of the fence directly above. A fence may slightly exceed the height limits due to minor variations in the underlying terrain as determined by the Zoning Administrator.
- **8.9.2** In addition to the standards of Section 8.15.1 all fences, walls, or other screening structures, other than necessary retaining walls, located within a single-family residential district shall not exceed the following maximum heights described herein and graphically depicted in figures 1-9.
 - A. Any fence located within the front yard may not exceed a maximum height of four (4) feet. For the purposes of the fence regulations a corner lot shall be considered to have front yard along each of the roadways. All fences in the front yard shall be 50% open (examples: Split Rail, Picket, or wrought iron fences). In no case shall a fence greater than 4 feet be located in the minimum front setback for the zoning district.
 - B. Any fence located outside of a front yard may have a maximum height of six (6) feet.
 - C. The following are exceptions to Section 8.15.3 A and B:
 - 1. Where lots abut a water body:
 - a. No fence shall be permitted in the required lake or river setbacks in Section 7.6.1 (footnote 3) other than railings as permitted under Section 8.17.9
 - b. Any fence located between the ordinary high water mark of the water body and the principal building shall not exceed a maximum height of four (4) feet and shall be 50% open.
 - 2. No Fence shall be permitted in a wetland area but fences are permitted within the required wetland setbacks in Section 9.9.
 - 3. On all lots where the front yard of a subject lot abuts the side or rear yard of one or more adjoining lots, the height of the fence on the subject lot may be six (6) feet along that portion of the common property line. (See Figure 2).
 - 4. Wire fences used to contain livestock and farm animals are exempt from height requirements.
 - 5. Wire fences used around gardens or crops are exempt from height requirements if they are made to be 75% open materials such as soft meshing, and are over 5 feet from the closest property line.
- **8.9.3.** Figures 1-8 that graphically depict fence height and locations.

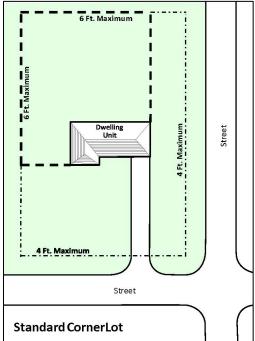
Fenci	ing Heights, as indi	cated in figures below:	
4 Ft. Maximum:		6 Ft. Maximum:	. – –

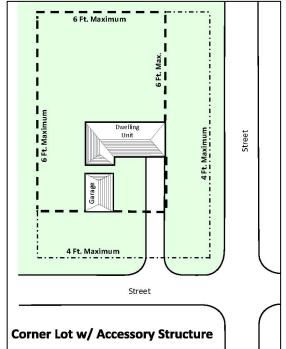
Figure 1 and Figure 2: Standard Lots











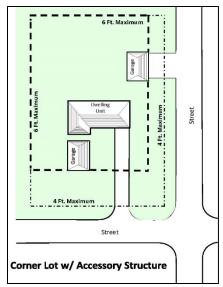


Figure 6: Waterfront Lots

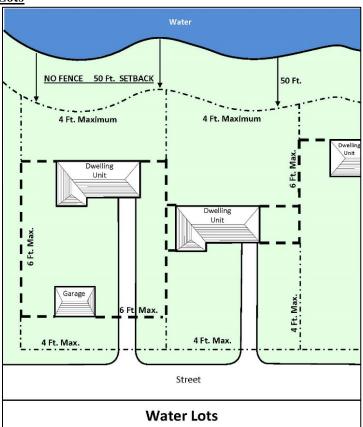
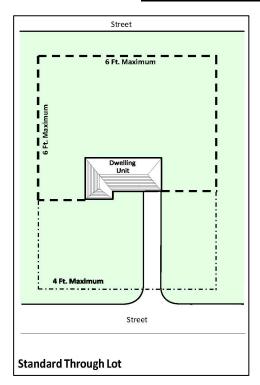
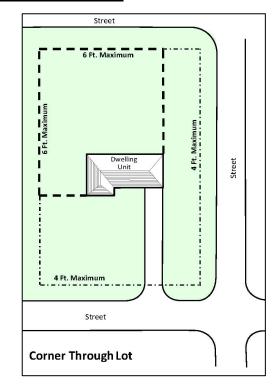


Figure 7 and Figure 8: Through Lots





Section 8.10. Intersection Visibility

On any corner lot in any District having front and side yards, no fence, wall, screen, hedge, sign, or other structure or planting shall obstruct the visibility of street vehicular traffic between the heights of three (3) feet and ten (10) feet in an area measuring thirty (30) feet from the point of intersection of the street right-of-way lines and the tangent connecting the thirty (30) foot extremities of the intersecting right-of-way lines.

Section 8.11. Access to a Street

Any lot of record created prior to the effective date of this Ordinance without any frontage on a public street or way shall not be occupied except where access to a public street or way is provided by a public or private easement or other right-of-way no less than twenty (20) feet in width and meeting the requirements of Section 10.8. Access to commercial, industrial, or recreational uses shall not be designed so as to pass through residential neighborhoods.

Section 8.12. Yard Encroachments

The following shall apply to all buildings and structures, whether temporary or permanent.

- **8.12.1.** Decks, Terraces and patios may project into a required yard provided that such structures are:
 - A. Unroofed and without walls or other continuous enclosure.
 - B. That no such structure shall be permitted nearer than five (5) feet to any lot line.
 - C. That such areas and structures may have open railings or fences not exceeding three (3) feet in height.
 - D. That such structures may have non-continuous windbreaks, visual screens, or walls not exceeding eight (8) feet in height in a rear yard, or four (4) feet in height in a front or side yard, and not enclosing more than one-half the perimeter of said deck, terrace, patio, or similar structure.
- **8.12.2.** Elevated decks and balconies may project into a required yard a distance not to exceed six (6) feet, provided:
 - A. That such structure shall not be permitted within eight (8) feet of any lot line.

- B. That no building shall have more than one (1) such elevated deck or balcony in any one (1) yard.
- C. That such areas and structures may have open railings or fences not exceeding three (3) feet in height.
- D. That such structures may have non-continuous windbreaks, visual screens, or walls not exceeding eight (8) feet in height in a rear yard, or four (4) feet in height in a front or side yard, and not enclosing more than one-half the perimeter of the elevated deck or balcony.
- **8.12.3.** Unenclosed or enclosed porches and other enclosed appurtenances to a principal building shall be considered an integral part of the building to which they are attached and shall be subject to all yard requirements thereof.
- **8.12.4.** Chimneys, flues, belt courses, sills, pilasters, bay windows, awnings, approved signs, window air conditioners, cornices, eaves, gutters, and similar features may project into any required yard a maximum of twenty-four (24) inches
- **8.12.5.** Unenclosed and unroofed fire escapes, outside enclosed or unenclosed stairways, and excavated stairways may project into any required yard a maximum of five (5) feet.
- **8.12.6.** Accessory structures and buildings, including gazebos, decks, terraces, patios and similar features, which are not attached to a principal building, shall comply with the requirements of Section 8.3, Accessory Buildings and Structures.
- **8.12.7.** Access drives may be placed in the required front, side, or rear yards so as to provide access to rear yards or accessory or attached structures. Further, any walk, terrace or other pavement serving a like function, shall be permitted in any required yard, providing the pavement is no higher than nine (9) inches above grade.
- **8.12.8.** Stoops or steps must lead to an exterior entrance to a building and shall not encroach into any required yard more than five (5) feet.
- **8.12.9** Decks, Patios, and Terraces may abut a waterbody and the following conditions shall apply:
 - A. Said structures shall not exceed 12 inches in height above the average surrounding grade.
 - B. Yard coverage shall not exceed 30 percent for all structures on the lot including the principal building.
 - C. The horizontal distance of said structures shall not exceed 50 percent of the width of the lot line that abuts the waterbody.
 - D. Said structures shall be at least five (5) feet from a side lot line.
 - E. Said structures shall not extend over the water more than 24 inches. This provision shall not apply to seasonal docks.
 - F. Railings shall not exceed three (3) feet in height and shall not obstruct view by more than 30 percent.
- **8.12.10** Mechanical Equipment on residential properties such as ground mounted air conditioners, full house generators, and similar machines, may project into any required yard a maximum of four (4) feet provided:
 - A. The noise regulations of Section 9.5.A of the Zoning Ordinance and General Ordinance 94-A, Breach of Peace, shall be met;
 - B. The said mechanical equipment shall be located closer to the subject building than buildings on surrounding properties; and
 - C. The said mechanical equipment shall be sufficiently screened from offsite views by either a vegetated screen or visual screen, as deemed appropriate by the Zoning Administrator.

Section 8.13 Supplementary Height Regulations

8.13.1 The following structural appurtenances shall be permitted to exceed the height limitations for authorized uses in any district.

- A. Those purely ornamental in purpose such as church spire, belfries, domes, cupolas, ornamental towers, flagpoles, and monuments.
- B. Those necessary to mechanical or structural functions such as chimneys, smoke stacks, water tanks, elevator and stairway penthouses, ventilators, bulkheads, aerials, and antennas, electronic devices, heating and cooling units, and fire towers.
- C. Those necessary to proper building design such as cornices and parapet walls, which shall not exceed the height limitations by more than five (5) feet and shall have no window openings.
- **8.13.2** The foregoing permitted exceptions may be authorized only when the following conditions are satisfied:
 - A. No portion of any building or structure permitted as an exception to a height limitation shall be used for human occupancy or commercial purposes.
 - B. Any structure permitted as an exception to a height limitation shall be erected no higher than such height as may be necessary to accomplish the purpose for which it is intended to serve
 - C. Structures permitted as exceptions to height limitations shall not occupy more than twenty (20) percent of the gross roof area of any building upon which they may be located.

Section 8.14. Garage Sales, Rummage Sales, and Similar Activities

Garage sales, rummage sales, yard sales, moving sales, and similar activities shall be considered temporary accessory uses within any residential Zoning District subject to the following conditions:

- **8.14.1.** Any garage sale, rummage sale or similar activity shall be allowed without a land use permit for a period not to exceed four (4) days within a six (6) month period. Such activities in operation for a period of time in excess of four (4) days shall require a temporary land use permit from the Zoning Administrator. In no instance shall more than two (2) garage sales, rummage sales or similar activity be held in any one location within any twelve (12) month period.
- **8.14.2.** All such sales shall be conducted in a manner so as not to create a traffic hazard or a nuisance to neighboring properties.
- **8.14.3.** All such sales shall be conducted a minimum of twenty (20) feet from the front lot line of the premises of such sale.
- **8.14.4.** Overnight outside storage of goods or merchandise offered at such sale is prohibited.
- **8.14.5.** No signs advertising a garage sale or similar activity shall be placed upon public property. Two signs advertising a garage sale are permitted to be placed upon private property with the consent of an owner of said property and shall be removed within twenty-four (24) hours of the conclusion of said garage sale or similar activity.

Item 25.



PHONE: 810-231-1000 FAX: 810-231-4295

P.O. Box 157 10405 Merrill Road Hamburg, Michigan 48139-0157

To: Board of Trustees

From: David Rohr

Date: September 5, 2023

Agenda

Item:

Re: ZTA22-001 Short Term Rentals

HISTORY:

The Hamburg Township Board of Trustees, at their May 3, 2022, made a motion to approve (see attached) ZTA 22-001 Short Term Rental ordinance amendments. This amendment was then to be published in the Livingston Daily. Seven days after formal publication, ordinance amendment ZTA 22-001 would go into effect.

Staff can find no record of the publication of ZTA 22-001. Staff requests the Township Board re-approve ZTA 22-001 for staff to properly notice the ordinance amendments in the Livingston Daily newspaper.

RECOMMENDATION:

Staff suggest that the Township Board discuss and review ZTA 22-001 Short Term Rental Ordinance. The Board should decide on the Zoning ordinance amendment based on prior Planning Commission and Board of Trustees approval.

Example Approval Motion

The Township Board approves ZTA 22-001 Short Term Rental Ordinance. This Ordinance amendment received a prior recommendation of approval from the Planning Commission on 3/16/2022, the Livingston County Planning Commission on 4/20/2022, and received Board approval on 5/3/2022.

Attached please find the original materials submitted to the Board of Trustees on May 3, 2022.

Thank you.

9. New Public Safety SOPs

Hamburg Township Public Safety standard operating procedures #700-11: Joint Response to Medical Calls and #700-12: Computer, Email and Internet Use.

Motion made by Hohl.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Negri, Hughes

10. Park Rangers Hiring

Motion to approve the hiring of Emma Mossing and Gilberto Olivera as seasonal part time Park Rangers 30 hours per week with a starting salary of \$16.94 per hour effective May 9, 2022 ending September 6, 2022, and to be contingent upon all pre-employment requirements.

Motion made by Michniewicz, Seconded by Negri.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Negri, Hughes

11. Zix Proposal

Motion to approve the new license for Zix Protect for a cost of \$5,125.00

Motion made by Dolan, Seconded by Hughes.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Negri, Hughes

ZTA 22-001 Short Term Rentals

Motion to approve the amendments to the zoning ordinance for short-term rentals in terms of permitted use table, the definitions and the specific use standards.

Motion made by Hughes, Seconded by Michniewicz.

ROLL CALL: Hohl, Dolan, Hahn, Menzies, Michniewicz, Negri, Hughes

13. Temporary Election Staff

Motion to authorize the clerk to hire two temporary employees to work from May 23, 2022 to November 10, 2022, as needed, at a rate of pay of \$15-\$18 per hour depending on qualifications.

Motion made by Dolan, Seconded by Michniewicz.

Voting Yea: Hohl, Dolan, Hahn, Menzies, Michniewicz, Negri, Hughes

14. Elected Officials Compensation

Motion to approve the resolution for adjustment and pay for Township Trustees effective July 1, 2022 with the amendments with a 3% increase.

Motion made by Dolan, Seconded by Menzies.

ROLL CALL: Supervisor Hohl, Dolan, Hahn, Menzies, Michniewicz, Negri, Hughes

Motion to approve the resolution for the 10% increase effective May 9, 2022 with the 3% index increase effective July 01, 2022 to bring the Supervisor closer to the median.



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ARTICLE 2.00

DEFINITIONS

For the purpose of this Ordinance, certain words and terms are herewith defined. Words not herein defined shall have the meaning customarily assigned to them.

ACCESSORY DWELLING UNIT: A detached or attached, self-contained dwelling unit located on the same premises as a primary single-family dwelling.

MOTEL: A building or group of buildings, used for overnight accommodation of transient guests for compensation on a short-term basis (i.e, stays generally shorter than thirty consecutive days). The building or group of buildings are not built to be use as permanent residences.

OWNER, PRINCIPAL: The owner of not less than fifty (50) percent interest in the residence.

PERMANENT RESIDENT: An owner of a property or a tenant that live in a dwelling unit for more than 243 days a year.

SHORT TERM RENTAL UNIT: A dwelling unit or accessory dwelling unit that is rented wholly or partly, for periods of less than 30 consecutive days for more than 14 days per year, by persons other than the permanent resident. Short Term Rental Units including the following:

ACCESSORY SHORT-TERM RENTAL UNIT: A dwelling unit or portion of a dwelling unit rented or leased to transient guests for a period of less than thirty (30) consecutive calendar days per rental period and less than 122 day per calendar year.

BED AND BREAKFAST SHORT-TERM RENTAL UNIT: A structure which was originally constructed for single family residential use and is currently the private residence of the permanent resident. The permanent resident or residents act as the and are on site during the rental of the property. The residence is used for renting bedrooms, on a nightly basis to transient guests for a period of less than thirty (30) consecutive calendar days per rental period and may be rented 365 days per calendar year. Bed and breakfast short term rental units provide food at no extra cost to the transient guest.

HOSTED SHORT-TERM RENTAL UNITS: a short-term rental unit where a portion of the dwelling unit or the accessory dwelling unit is occupied by a permanent resident when the unit is rented or leased to transient guests.

PRIMARY SHORT-TERM RENTAL UNIT: A dwelling unit or portion of a dwelling unit rented or leased to transient guests for a period of less than thirty (30) consecutive calendar days per rental period and may be rented 365 days per calendar year.

Article 2.00 1 Definitions

ARTICLE 7.00 DISTRICT REGULATIONS

7.5.1 Permitted Use Tables:

In the case of a use not specifically mentioned, the requirements for a use which is so mentioned and similar in character, as determined by the zoning administrator, to the use not listed shall apply.

A. Residential Use Table

Residnetial Uses	RAA	RA	WFR	NR	RB	MHP	PPRF	NS	CS	LI	GI	MD	vc	VR	Use Standards
Single-family dwelling	Р	Р	Р	Р	Р			S	S				Р	Р	7.6.1/7.6.4
Accessory Dwelling Units	Р	Р	Р	Р	Р								Р	Р	7.6.2
Farming	P	Р					Р								7.6.3
Roadside Farm Stand	Р	Р					Р								
Community Supported Agricultal	Р	Р													
Raising of horses	Р	Р	Р	S			Р								7.6.3
Raising of Poultry	Р	Р	Р	S			Р								7.6.3
Two Family Dwellings		S			S			S	S				Р	S	7.6.4
Multi-Family Dwellings								S	S			S	Р	S	7.6.4
Apartments								S	S			S	S	S	7.6.4
Mobile Home Parks						Р									7.6.5
Live Work Unit								Р	Р			P	Р	S	7.6.6
Accessory Short-Term Rental Unit	Р	Р	Р	Р	Р								Р	P	7.6.22
Primary Short-Term Rental Unti	Р	Р	P	Р	Р								Р	Р	7.6.22

C. Commercial Use Table

Commercial Uses	RAA	RA	WFR	NR	RD	MHP	PPRF	NS	CS	LI	GI	MD	vc	VR	Use Standards
Home Occupations	P	Р	Р	P	P			-					P	Р	7.6.17
Minor Agricultural Commercial and Tourism Use	P														7.6.18
Major Agricultural Commercial and Tourism Uses	S														7.6.18
State Licenced Child Family Day Care Home	P	Р	Р	Р	Р									Р	
State licensed Adult Family Care Home	Р	Р	Р	Р	Р									Р	
Group day care homes	S	S	S	S	S									S	7.6.19
Small and Large Adult Foster Care	S	S	S	S	S			S	S					S	7.6.20
Child Care or Day Care Centers								S	S				Р		7.6.19
Kennels	S							S	S						7.6.21
Bed and Breakfast Short-Term Rental Unit	S -P	S P	S P	S P	S P			S	S			S	S P	S P	7.6.22
Firewood Sales	P	Р						Р	Р						7.6.23
Outdoor Drive-in Theaters	S														7.6.24
Wholesale Stores									P	Р	Р				
Department Stores									Р						
Retail Stores								Р	Р			Р	Р		
Food and Beverage Stores								Р	P			Р	Р		
Restaurants w/o drive thru								Р	Р			Р	Р		
Service Businesses								Р	P			Р	Р		
Business and Professional Offices								P	P	Р	Р	Р	Р		
Banks and Financial Institutions w/o drive-thru								Р	P	Р	Р	Р	Р		
Small Repair Shop								Р	P	Р	Р		Р		
Open Air busninesses								S	S						7.6.25
Dry Cleaner								S	P				Р		7.6.26
Laundry Mat								S	P				Р		7.6.27
Drive-thru Estabishments								S	S				S		7.6.28
Gasoline Service Station								S	S	Р	Р		S		7.6.29
Marinas								S	P						7.6.30
Boat Sale and Service								S	P	Р	Р		Р		7.6.31
Motor Vehicle Sales									S	Р	Р	S	S		7.6.32
Motor Vehicle and Trailer Rental									S	Р	Р	S	S		7.6.33
Service Studio (music, dance, matial arts, yoga ed	x)							Р	P				Р		
Funeral Homes/Mortuaries									P	Р	Р		Р		
Auto and Truck Washes									S				S		
Minor Automobile Repair									S	Р	Р		S		7.6.34
Major Automobile Repair									S	Р	Р		S		7.6.34
Lumber Yard and Building Suplies									S	Р	Р				
Greenhouses/ Nursery/Garden or Feed Center								S		Р		S	S		
Apartments								S	S			S	S	S	7.6.4
Motels									Р				Р		

D. Industrial Use Table

Industrial Uses	RAA	RA	WFR	NR	RB	MHP	NS	CS	LI	GI	MD	VC	VR	Use Standards
Motor Frieght Depots and Terminals										S				7.6.35
Warehouses and Distribution Centers									Р	Р	Р			
Manufacturing/Processing/ Assembly of goods									Р	Р	S			
Printing/ Publishing and Related Activities									Р	Р	S			
Research and Testing Facilities									Р	Р	S			
Landscaping/Building and Other Contractor's Esta	<mark>blishmer</mark>	its								Р				
Constrcution and Farm Equiptment Sales										Р				
Manufacturing of stone or tile										Р				
Concrete or concrete products manufacturing										S				
Asphalt of Other Bituminous Plant										S				
Storage of Petroleum, chemical products, flamma	a <mark>ble liqui</mark>	des or	gases							S				
Landfills, Incinerators, or Junk yards										S				
Quarries and Sand and Gravel Pits										S				
Storage Facilities										PS				
Outdoor Storage associated with a allowed use									S	S				
Adult Buisnesses										S				7.6.36

7.6 Specific Use Regulations. The following are supplemental regulations for specific uses. Intent: It is the intent of the Township to allow specific uses as an allowed use if certain regulations are met. These regulations are created to promote the general health, safety, and welfare of Hamburg Township citizens by providing multiple housing types, preserving the appearance and character of the township, and protecting the neighboring properties from potential nuisances. The regulations provide minimum standards for the placement, operation, and maintenance for the allowed use within the Township to ensure that the uses remain clean and safe and do not create hazards to citizens, pedestrians or to vehicular traffic.

Purpose: The purpose of this section is to provide a clear understanding of the expectations for the following specific uses for operators, local residents, other businesses, and local officials.

7.6.22 Short-Term Rental Development Standards

- A. There are three types of short-term rental units Accessory Short-Term Rental Units, Primary Short-Term Rental Units, and Bed and Breakfast Short-Term Rental Units. Short-term rental units must apply for a Land Use Permit under Article 3 Section 3.3 Land Use Permits.
- B. All short-term rental units shall meet the following regulations:
 - 1. If there is an accessory dwelling unit on the subject site only one of the dwelling units can be used as a short-term rental unit. The accessory dwelling unit regulations in Section 7.6.2 shall be met.
 - 2. Maximum occupancy of 2 persons per bedroom plus an additional 2 persons per floor level with livable space.
 - 3. One off street parking space is required per bedroom. In the VC or VR districts if there is on-street parking along a property line of the subject property it may be counted for the required parking. If the short-term rental unit is hosted the hosts parking space must be unobstructed by the guest parking spaces.
 - 4. Noise during quiet hours 10:00 p.m. to 7:00 a.m. must be limited to that which does not disturb the quiet, comfort or repose of a reasonable person of normal sensitivities. The regulations of the Breach of Peace Ordinance shall apply.
 - 5. No Fireworks are allowed.
 - 6. No tents, recreation or other vehicles, or boats can be used as short-term rentals.
 - 7. Subject property shall have on site garbage service.

- 8. A local agent shall be designated. The local agent shall be available 24 hours a day while the unit is rented out. The local agent shall live within 45 minutes of the short-term rental unit.
- 9. If advertised the advertisement shall include the permit number and maximum number of persons allowed.
- 10. If there are more than 10 properties within 1000 feet of the subject property; only 30 percent of these properties may be used for short-term rentals. Of the allowed short-term rental units only 15% can be primary short-term rental units or bed and breakfast short-term rental units. If the subject property is greater than 10 acres this regulation does not apply. All approvals shall be granted on a first to apply basis.
- 11. The following information shall be posted inside the unit, within 10 feet of the primary door of an un-hosted short-term rental unit: The Name and phone number of the local agent; A plan of the property that shows the property lines, buildings and parking spaces with a statement about trespassing on neighboring sites; information about garbage pick-up; the total number of people allowed; and other rules including but not limited to the quiet hours, and no fireworks.
- 12. An annual land use permit (Article 3, Section 3.3) is required for all short-term rental units. If an annual land use permit for an existing short-term rental unit is not applied for by the first day of February the existing short-term rental unit shall no longer be used as a short-term rental unit until a new land use permit is approved for that property.

C. Accessory and Primary Short-Term Rental Units:

- 1. Maximum occupancy of 10 persons per unit. This number would include the host and their family if the STR is within the same building. If the STR is hosted and the STR unit or the Host is in an Accessory Dwelling Unit the Maximum Occupancy on the site may be up to 14 persons.
- 2. Structures used as short-term rental units shall meet the required setbacks of the zoning district it is located in.
- 3. Special events (section 8.4) are not allowed while the property is being used as a short-term rental unit.

D. Bed and Breakfast Inn Short-Term Rental Units:

- 1. Dining facilities for the purpose of serving meals shall not exceed a seating capacity of two and a half (2.5) times the number of sleeping rooms in the bed and breakfast establishment. No restaurant shall be permitted. Food service shall be limited to food provided at no extra cost to the transient guests.
- 2. The sale and/or display of souvenirs of the inn and other local merchandise is allowed as long as it is accessory to the Bed and Breakfast Short Term Rental use.
- 3. Bed and breakfast short-term rental units may not offer boating amenities, such as docking facilities, boat rental or boating tours, to guests. This provision shall not preclude the resident owner from docking or utilizing a boat for their own personal use.
- 4. Bed and breakfast short-term rental units may be located in neighborhood service and community service zoning districts with approval of a Special Use Permit.
- 5. Bed and breakfast short-term rental units may offer wedding and indoor concert events as long as they meet the regulations in section 7.6.22 (D)(10) and with approval of a Special Use Permit.

- 6. A structure utilized for a bed and breakfast short-term rental unit must be located at least 200 feet from any adjacent residence, measured between principal structures.
- 7. A structure utilized for a bed and breakfast short-term rental unit that is within 500 feet from the shoreline of any lake or river must be connected to a public sanitary sewer. A structure utilized for a bed and breakfast inn that is further than 500 feet from the shoreline of any lake or river may have a sanitary septic system as long as it is also located further than 500 feet from a body of water. Ponds which are completely contained within the subject parcel and not contiguous to any off-site body of water may be within 500 feet of the structure utilized for a
- 8. Bed and breakfast short-term rental units shall be limited to eight (8) guest sleeping rooms. The maximum occupancy of the Bed and Breakfast short-term rental unit shall be of 20 people including the host, their family, and other employees if staying at the site.
- 9. The parking areas shall not be located within the required yard setbacks. Landscape buffer strip, designed in accordance with Section 9.3, shall be provided between the parking lot and all adjacent residentially zoned land.
- 10. Bed and breakfast short-term rental units that want to hold wedding and indoor concert events shall meet the following regulations:
 - a. Maximum duration: No more than 20 events shall be allowed on a site per calendar year.
 - b. Location: Events shall not be allowed on property in or adjacent to any developed residential areas except on sites greater than 2 acres.
 - c. Noise: Events shall be required to meet the regulations of the Hamburg Township Breach of Peace Ordinance.
 - d. Hours of Operation: Events shall only take place between 8:00 am and 11 pm. No amplified music shall be allowed after 10 pm; setup and cleanup of the event and workers and attendees to the event shall not arrive or leave the site before or after the hours of operation.
 - e. Number of Attendees: Events shall be limited to a maximum of 150 persons, or the maximum occupancy of the space where the event is held, whichever is less.
 - f. Distance to neighboring structures: If an event is held outdoors all temporary structures and outdoor venues shall be at least 200 feet from an adjacent residential structure.
 - g. Parking: Parking may be provided, either on or off-site, and shall meet the requirements under Section 10.3.1 (7). If parking is provided off-site, a shuttle service must be provided.
 - h. Clean-Up. Adequate site and surrounding area clean-up shall be done within 48 hours following the event.
 - i. Lighting. All exterior lighting shall be so installed that the surface of the source of light shall not be visible from the nearest residential district boundary and it shall be so arranged to reflect light away from any residential use. In no case shall any lighting become a nuisance as regulated in the Township Nuisance Ordinance. Lighting shall meet the applicable requirements under Section 9.11 Outdoor Lighting.

- j. Temporary Sign: One temporary sign may be allowed in addition to the signs allowed for bed and breakfast establishments in article 18 for the district in which they are located. The sign shall not exceed 8 square feet in size, shall only be placed on the private property where the event is being held, shall only be erected the day of the event and shall be removed within 24 hours following the event.
- k. Yearly Approval: In addition to the initial Special Land Use Permit, the owners of the establishment shall submit a land use permit application on a yearly basis which includes the following information for the Zoning Administrator to review. Should the Zoning Administrator deem necessary, the yearly application may be sent to the Planning Commission for consideration.
 - i. A list of the approximate dates that the bed and breakfast will be used for events, including the type of event.
 - ii. a plot plan that depicts the location of all event venues, bathroom facilities, parking, drop off areas, and any other information deemed by the Zoning Administrator to be necessary in the review of the project.
 - iii. The name and phone number of a contact person that will be at the events.
 - iv. A signed agreement with the property owner of any land to be used for off-site parking.
- 1. Any of the requirements in a-k above may be altered, as necessary, to meet the requirements of the special use permit process. (Section 3.5).