
Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Chuck Menzies, Patricia Hughes, Nick Miller, Joanna Hardesty

ZONING BOARD OF APPEALS REGULAR MEETING

Wednesday, September 10, 2025 at 7:00 PM
Hamburg Township Hall Board Room

AGENDA

CALL TO ORDER

PLEDGE TO THE FLAG

ROLL CALL OF THE BOARD

CORRESPONDENCE

APPROVAL OF THE AGENDA

CALL TO THE PUBLIC

VARIANCE REQUESTS

1. **ZBA 25-0007**

Owner: Michael & Sarah Arden

Location: 5844 Fernlands Ave.

Parcel ID: 4715-27-201-038

Request: Variance application to permit construction of a new single-family home.

Variance requests:

Front setback of 13 feet rather than 25 feet, per section 36-171(E)

Rear setback of 10 feet rather than 30 feet, per section 36-171(E)

2. **ZBA 25-0008**

Owner: Steven Diguseppe & Melinda Mackey

Location: 9217 Riverside Dr.

Parcel ID: 4715-24-102-125

Request: Variance application to permit the expansion of the front entry.

Variance request:

Front setback of 15 feet rather than 25 feet, per section 36-171(E)

NEW/OLD BUSINESS

3. Approval of the July 9, 2025 ZBA meeting minutes.

ADJOURNMENT



Zoning Board of Appeals Staff Report



TO: Zoning Board of Appeals
(ZBA)

FROM: David Rohr

HEARING DATE: September 10, 2025

SUBJECT: ZBA 25-0007

PROJECT New house

SITE: 5844 Fernlands Ave.
TID 4715-27-201-038

OWNER: Michael & Sarah
Arden

APPLICANT:

Michael & Sarah
Arden

PROJECT: Variance application to permit construction of a new single-family home.
Variance requests:

- Front setback of 13 feet rather than 25 feet, per section 36-171(E)
- Rear setback of 10 feet rather than 30 feet, per section 36-171(E)

ZONING: NR– Natural Rivers

Project Description

Variance application to permit the construction of new single-family home. Due to the limited buildable area and small parcel size, applicant requests two variances: Front setback of 13 feet rather than 25 feet, per section 36-171(E) Rear setback of 10 feet rather than 30 feet, per section 36-171(E).

Standards of Review

In accordance with Section 36-137 of the Hamburg Township Zoning Ordinance, the ZBA's decision on this matter is to be based on findings of fact to support the standards provided below. The applicable discretionary standards are listed below in **bold typeface**, followed by Staff's analysis of the request as it relates to these standards. A variance may be granted only if the ZBA finds that all of the following standards are met:

- 1. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved that do not apply generally to other properties in the same district or zone.**

The applicant's parcel has limited buildable area. The front and rear setbacks allow for less than 10 feet of buildable area. Staff supports the request for the variance.

- 2. That such variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same zone and vicinity. The possibility of increased financial return shall not be deemed sufficient to warrant a variance.**

Granting this variance request is necessary for the preservation and enjoyment of a substantial property right.

- 3. That the granting of such variance or modification will not be materially detrimental to the public welfare or materially injurious to the property or improvements in such zone or district in which the property is located.**

The variance setback requests are not likely to be materially detrimental to the public welfare or materially injurious to the property or improvements in the district.

4. That the granting of such variance will not adversely affect the purpose or objectives of the master plan of the Township.

Granting these variances will not adversely affect the 2020 Master plan.

5. That the condition or situation of the specific piece of property, or the intended use of said property, for which the variance is sought, is not of so general or recurrent a nature.

The condition or situation of the specific piece of property is not of a general and recurrent nature.

6. Granting the variance shall not permit the establishment with a district of any use which is not permitted by right within the district.

The site is zoned for single-family dwellings and related appurtenances. Approval of the variance requests would not permit the establishment of a use not permitted by right within the district.

7. The requested variance is the minimum necessary to permit reasonable use of the land.

Staff finds that the proposed new home will have minimal impact on the surrounding properties. Staff believes the location and minimal size of the proposed house is reasonable and will have minimal impact on the surrounding residents.

“Practical difficulty” exists on the subject site when the strict compliance with the Zoning Ordinance standards would render conformity unnecessarily burdensome (such as exceptional narrowness, shallowness, shape of area, presence of floodplain or wetlands, exceptional topographic conditions).

Recommendation

Staff recommends the ZBA open the public hearing, take testimony, close the public hearing, evaluate the proposal for conformance with the applicable regulations, and deny or approve the application. In the motion to deny or approve the project, the ZBA should incorporate the ZBA’s discussion and analysis of the project and the findings in the staff report.

Approval Motion

Motion to approve variance application ZBA 25-0007 at 5844 Fernlands Ave. TID 4715-27-201-038. Applicant requests:

- Front setback of 13 feet rather than 25 feet, per section 36-171(E)
- Rear setback of 10 feet rather than 30 feet, per section 36-171(E)

The variance meets variance standards one (1) through seven (7) of Section 36-137 of the Hamburg Township Zoning Ordinance, and a practical difficulty exists on the subject site when

strict compliance with the Zoning Ordinance standards is applied, as discussed at the meeting this evening and as presented in the staff report.

Denial Motion

Motion to deny variance application ZBA 25-0007 at 5844 Fernlands Ave. TID 4715-27-201-038.
Applicant requests:

- Front setback of 13 feet rather than 25 feet, per section 36-171(E)
- Rear setback of 10 feet rather than 30 feet, per section 36-171(E)

The variance does not meet variance standards one (1), two (2), or seven (7) of Section 36-137 of the Hamburg Township Zoning Ordinance, and no practical difficulty exists on the subject site when strict compliance with the Zoning Ordinance standards is applied, as discussed at the meeting this evening, and as presented in this staff report.

Attachments:

Application
Project plans

ZBA Case Number 25-0007
\$500.00

HAMBURG TOWNSHIP
Date 08/06/2025 10:14:48 AM
Ref ZBA2500-07
Receipt 1330507
Amount \$500.00

Item 1.



FAX 810-231-4295
PHONE 810-231-1000

P.O. Box 157
10405 Merrill Road
Hamburg, Michigan 48139

APPLICATION FOR A ZONING BOARD OF APPEALS (ZBA)
VARIANCE/INTERPRETATION
(FEE \$500 plus \$50 each additional)

1. Date Filed: 8-5-2025
2. Tax ID #: 15- _____ Subdivision: Plat of Fernlands Lot No.: 58
3. Address of Subject Property: 5844 Fernlands Ave. Pinckney, MI 48169
4. Property Owner: Michael & Sarah Arpen Phone: (313) 441-1111
Email Address: _____
Street: 5844 Fernlands Ave. City: Pinckney State: MI
5. Appellant (If different than owner): _____ Phone: (H) _____
Sarah's E-mail Address: _____ (W) _____
Street: _____ City: _____ State: _____
6. Year Property was Acquired: 2008 Zoning District: WFR Flood Plain: AE
7. Size of Lot: Front 52.82 Rear 41.38 Side 1 111.06 Side 2 104.4 Sq. Ft. 5663
11. Dimensions of Existing Structure (s) 1st Floor 747 2nd Floor N/A Garage N/A
12. Dimensions of Proposed Structure (s) 1st Floor 1500 2nd Floor N/A Garage N/A
13. Present Use of Property: Residential
14. Percentage of Existing Structure (s) to be demolished, if any 100 %
15. Has there been any past variances on this property? Yes _____ No X
16. If so, state case # and resolution of variance application N/A
17. Please indicate the type of variance or zoning ordinance interpretation requested:
* See ADDENDUM

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18. Please explain how the project meets each of the following standards:

Hamburg Township
Planning and Zoning Department

- a) That there are exceptional or extraordinary circumstances or conditions applicable to the property involved that do not apply generally to other properties in the same district or zone.

Due to having a non-conforming corner lot, we have two front yards. We are looking to adjust those variances.

- b) That such variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same zone and vicinity. The possibility of increased financial return shall not be deemed sufficient to warrant a variance.

If granted, we will produce a smaller carbon-footprint, impacting our neighbors positively with an energy efficient home.

- c) That the granting of such variance or modification will not be materially detrimental to the public welfare or materially injurious to the property or improvements in such zone or district in which the property is located.

Correct, it is our hope that the new build will impact our Fernlands subdivision positively.

- d) That the granting of such variance will not adversely affect the purpose or objectives of the master plan of the Township.

not that we know of.

- e) That the condition or situation of the specific piece of property, or the intended use of said property, for which the variance is sought, is not of so general or recurrent a nature.

We will live in the 1500 square foot home.

- f) Granting the variance shall not permit the establishment with a district of any use which is not permitted by right within the district.

not that we know of.

- g) The requested variance is the minimum necessary to permit reasonable use of the land.

yes, we believe to be so.

• I hereby certify that I am the owner of the subject property or have been authorized to act on behalf of the owner(s) and that all of the statements and attachments are true and correct to the best of my knowledge and belief.

• I hereby acknowledge that if my house is connected to the municipal sanitary sewer system, the Utilities Department will complete a review of my ZBA application request, to ensure it complies with all sewer related policies and all sewer easement right-of-way requirements. (For any questions, please contact the Hamburg Twp Utilities Department at 810-222-1193.)

• I acknowledge that approval of a variance only grants that which was presented to the ZBA.

• I acknowledge that I have reviewed the Hamburg Township Zoning Ordinance, the ZBA Application and the ZBA Checklist and have submitted all of the required information.

• I acknowledge that filing of this application grants access to the Township to conduct on-site investigation of the property in order to review this application.

• I understand that the house or property must be marked with the street address clearly visible from the roadway.

• I understand that any order of the ZBA permitting the erection alteration of a building will be void after one (1) year (12 months), unless a valid building permit is obtained and the project is started and proceeds to completion (See Sec. 6.8 of the Township Zoning Ordinance).

Mike Allen 7-31-25
Owner's Signature Date

Frank M. Allen

Appellant's Signature Date

7-31-2025

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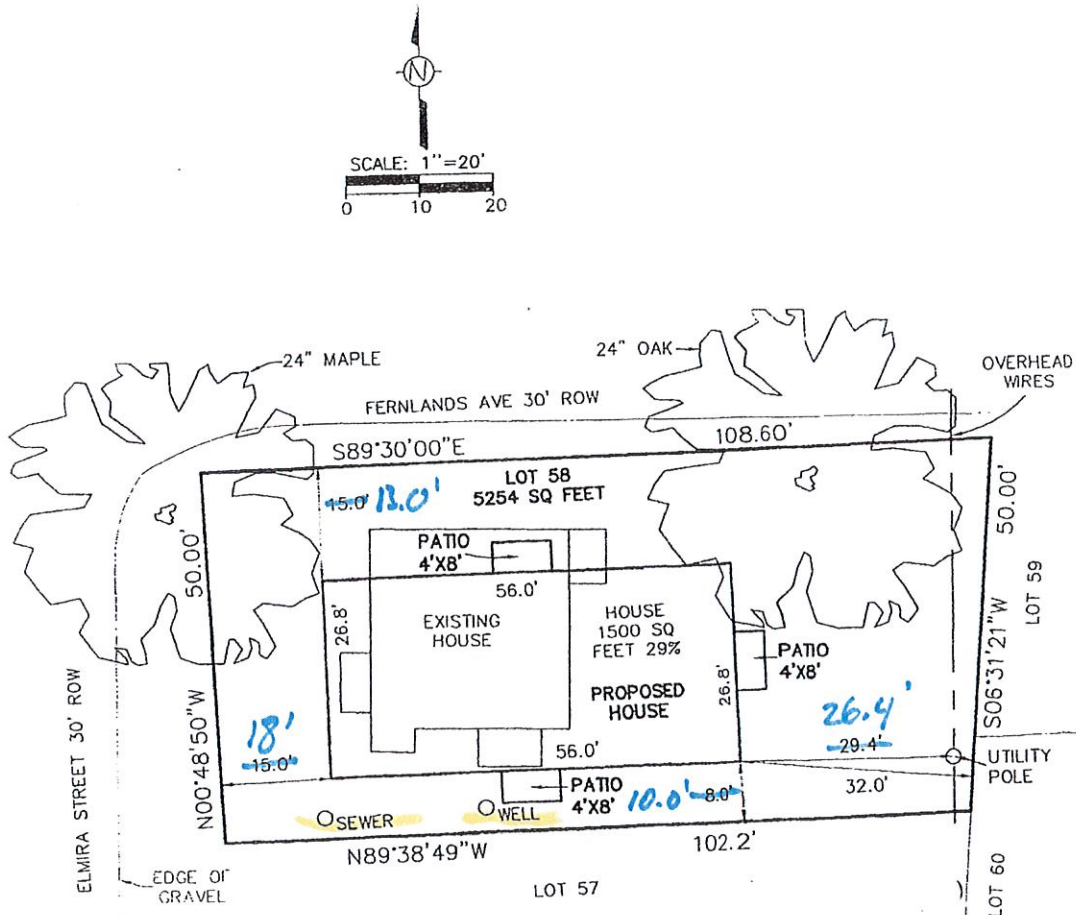
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Hamburg Township
Planning and Zoning Department

PLOT PLAN

LEGAL DESCRIPTION:

Lot 58, Supervisor's Plat of Fernlands. A part of North 40 Acres of West Part of NE 1/4 Sec. 27, T1N R5E, Township of Hamburg, Livingston Co. Mich.



Existing Home to Grinder: Approx. 10 ft.
Existing Home to Well: Approx. 5 1/2 ft.
Distance between Existing Well & Grinder: Approx. 10 ft.

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Hamburg Township
Planning and Zoning Department



805 N. CEDAR PO BOX 87
MASON, MICHIGAN 48854-0087
517-676-6565

5844 Fernlands Ave
Lot 58 Supervisor's Plat of Fernlands
Twp. of Hamburg, Livingston County, Michigan

For:
Michael & Sarah Arden
July 23, 2025

Job No. 47-171
Sheet 1 of 1

18 a) Our property is a unique non-conforming corner lot considered to have two front yards, one is on Elmira & the other is on Fernlands. Elmira is the present front yard on the plat with an approximate conforming 25 ft. setback. We do not use this "front" yard as it doesn't have a driveway. We also do not use the entry door that faces Elmira to enter our home. We request the Township to zone/make Fernlands the present North (side) yard our front yard as our driveway is on Fernlands and our mailbox is too.

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Hamburg Township
Planning and Zoning Department

12

August 2, 2025

To Whom It May Concern:

I/We are in support of our neighbors, Michael & Sarah Arden of 5844 Fernlands Avenue, Hamburg Township, demolishing their current 747 square foot home (built in 1940) and building a new approximate 1500 square foot home on their non-conforming corner lot of Elmira & Fernlands. I/We support the variances needed for their new build.

Thank you.

1. James & Catherine 5779 Fernlands
2. John D. Siegel 10174 BEECHWOOD
3. Ellen Beaman 5150 Fernlands
4. Burt & Jean Davis 10107 Riverlane
5. Don Haley 5829 fernlands
6. _____
7. _____
8. _____
9. _____
10. _____

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Hamb
Planning and Zoning Department

August 2, 2025

To Whom It May Concern:

I/We **DO NOT** support our neighbors, Michael & Sarah Arden of 5844 Fernlands Avenue, Hamburg Township, in demolishing their current 747 square foot home (built in 1940) and building a new approximate 1500 square foot home on their non-conforming corner lot of Elmira & Fernlands. I/We **DO NOT** support the variances needed for their new build. Thank you.

1. _____
2. _____
3. _____
4. _____
5. _____
6. _____
7. _____
8. _____
9. _____
10. _____

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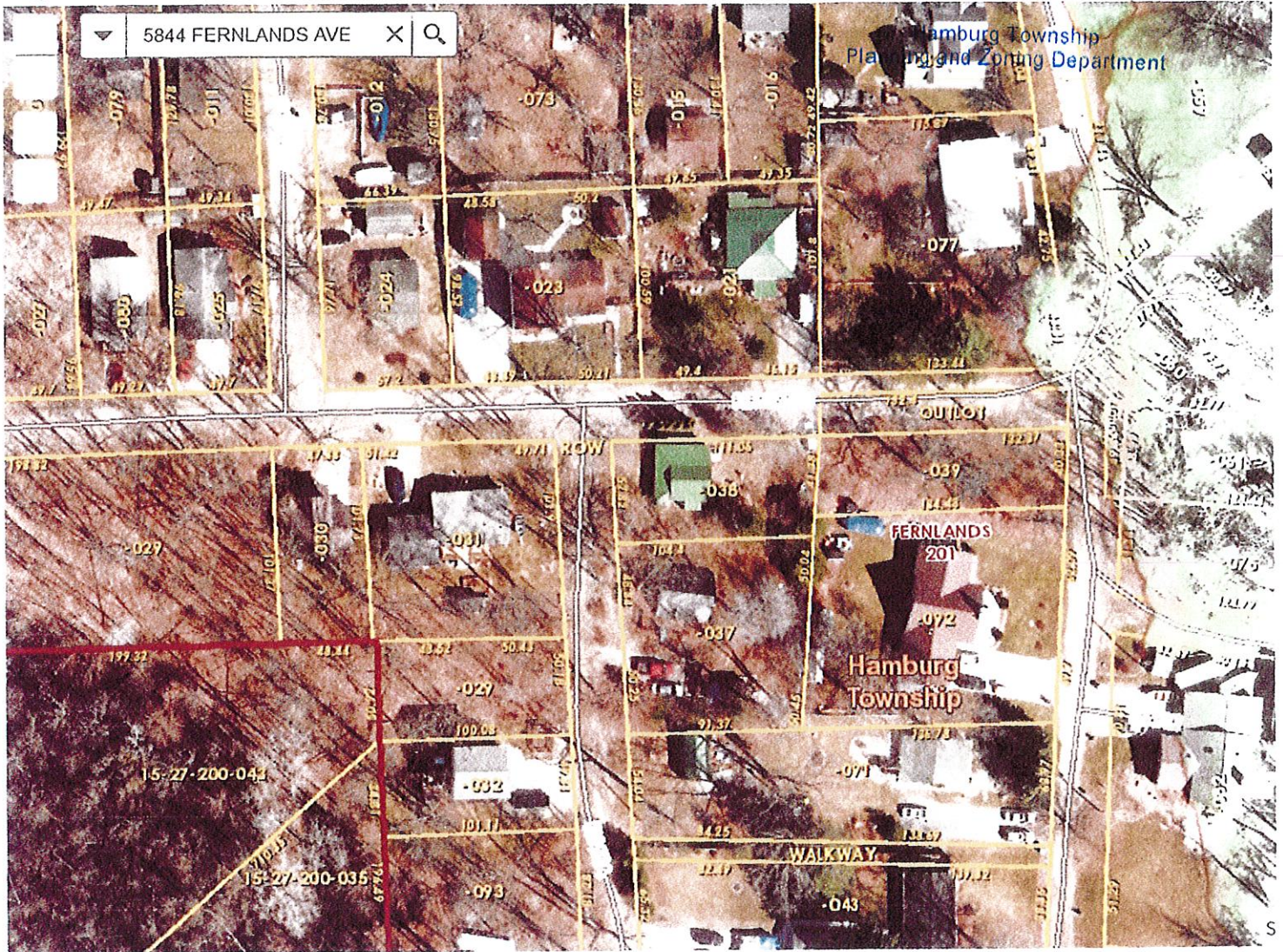
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Hamburg
Planning and Zoning Department

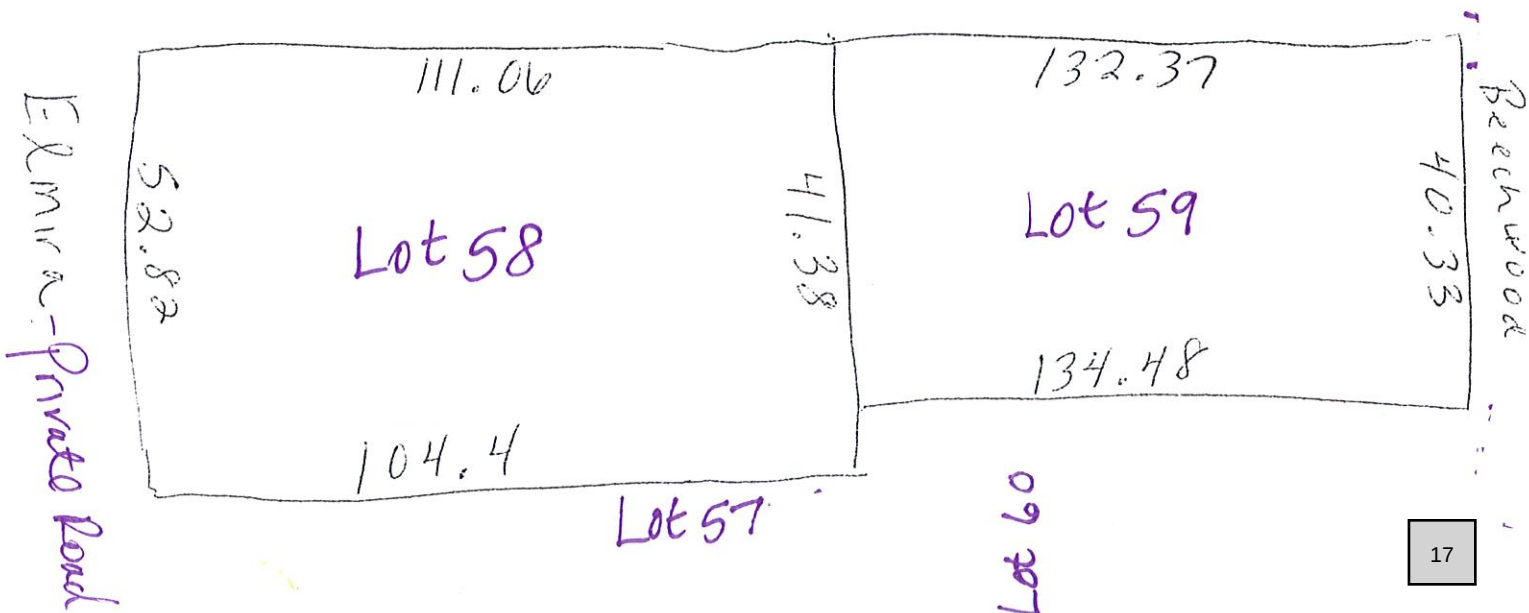
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MR. & MRS. MICHAEL ARDEN
5844 FERNLANDS AVENUE
PINCKNEY, MI 48169



Fernlands - Public Road



SUBJECT PROPERTY PHOTO ADDENDUM

Sarah Nouens / Michael Arden

Property Address: 5844 Fernlands

City: Pinckney

MR. & MRS. MICHAEL ARDEN
5844 FERNLANDS AVENUE
PINCKNEY, MI 48169

State: MI

Zip: 48169

Item 1.



Elmira - Private Road

FRONT VIEW OF
SUBJECT PROPERTY

(west)

Approx. 20 ft.
Elevation



REAR VIEW OF
SUBJECT PROPERTY

(East)

Approx. 20 ft.
Elevation



fernlands - Public Road

STREET SCENE

View from our
Driveway looking
West

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Hamburg Township
Planning and Zoning Department

10/10/10 - 10/10/10

(10/10/10)

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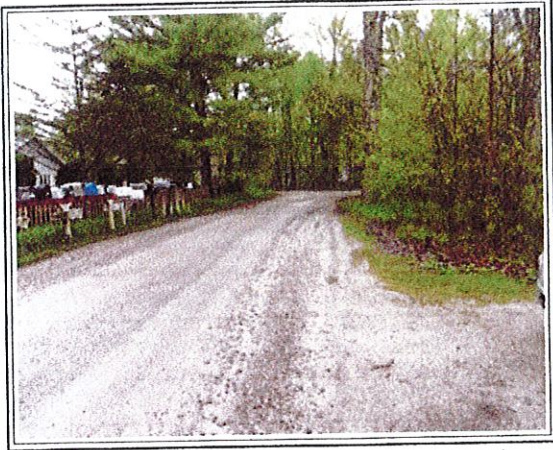
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Sarah Neuens / Michael Arden
 Property Address: 5844 Fernlands
 City: Pinckney

MR. & MRS. MICHAEL ARDEN
 5844 FERNLANDS AVENUE
 PINCKNEY, MI 48169

State: MI

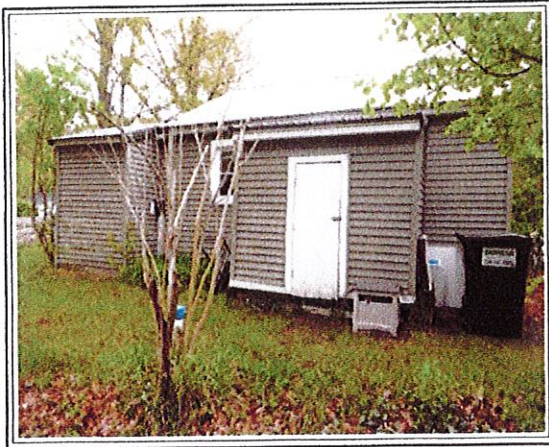
Zip: 48169



fernlands
 Opposite Street View
 (East view)

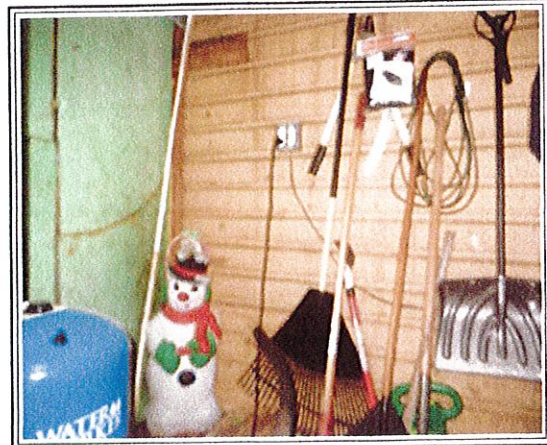


fernlands
 Across The Street View
 (North view)

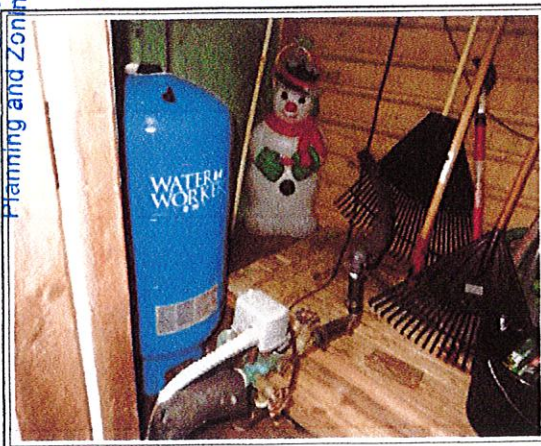


Side View with shed

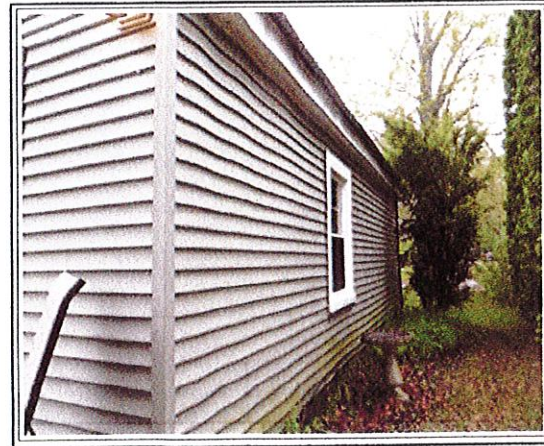
*(faces Lot 57)
 Approx. 10 ft. elevation*



Shed Interior



Shed Interior and well pump



Elmira Approx. 10 ft. elevation
 Opposite Side View
 (West view)

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 Planning and Zoning Department

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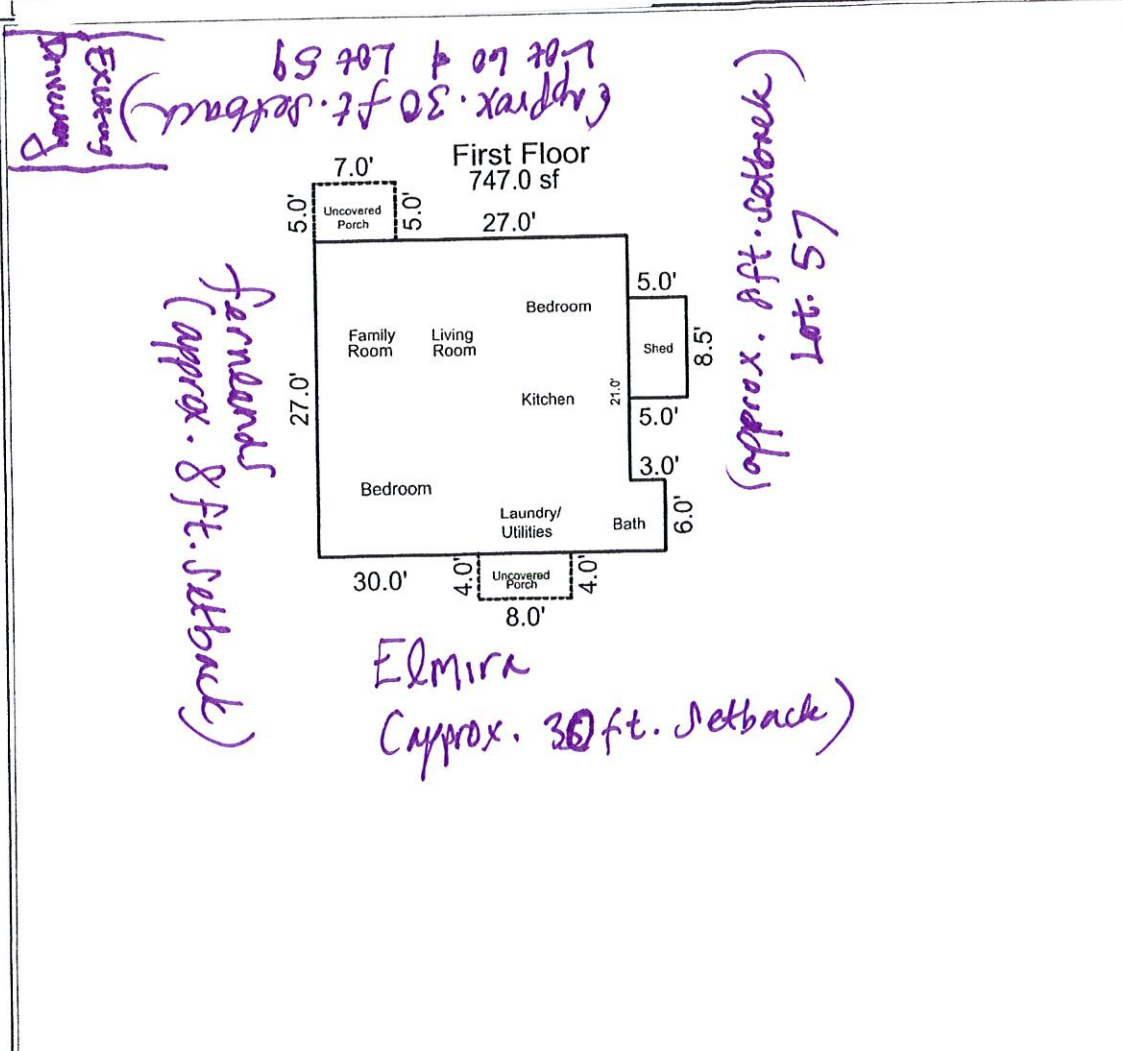
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Existing FLOORPLAN SKETCH

Item 1.

Property Address: 5844 Fernlands
 City: Pinckney
 State: MI
 Zip: 48169
 MR. & MRS. MICHAEL ARDEN
 5844 FERNLANDS AVENUE
 PINCKNEY, MI 48169



Sketch by Apex Sketch v5 Standard™

Comments:

AREA CALCULATIONS SUMMARY				LIVING AREA BREAKDOWN		
Code	Description	Net Size	Net Totals	Breakdown	Subtotals	
GLA1	First Floor	747.00	747.00	First Floor	6.0 x 30.0	180.00
P/P	Porch	35.00			21.0 x 27.0	567.00
OTH	Storage	42.57	42.57			

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Planning and

Net LIVABLE Area (rounded) 747 2 Items (rounded) 747

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Item 1.

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Hamburg Township
Planning and Zoning Department

AERIAL MAP

Approx. 300 ft. from Huron

Item 1.

Sarah Neuens / Michael Arden

Property Address: 5844 Fernlands

City: Pinckney

MR. & MRS. MICHAEL ARDEN
5844 FERNLANDS AVENUE
PINCKNEY, MI 48169

State: MI

Zip: 48169



Google

Map data ©2021 Imagery ©2021 CNES / Airbus, Maxar Technologies, U.S. Geological Survey, USDA Farm Service Agency

Proposed Structure

MR. & MRS. MICHAEL ARDEN
5844 FERNLANDS AVENUE
PINCKNEY, MI 48169

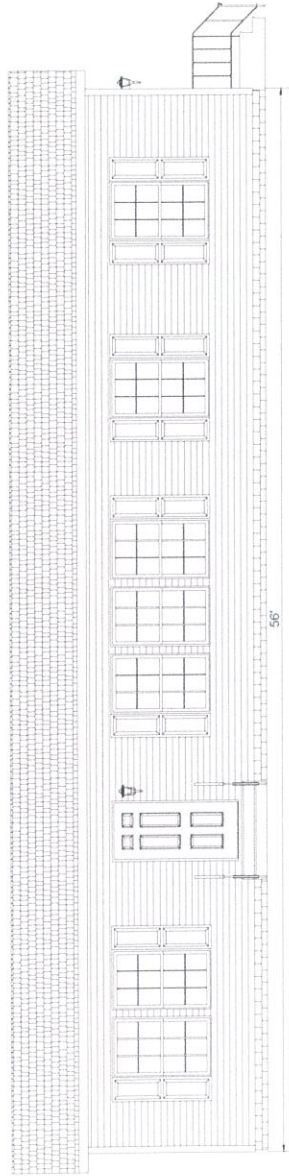
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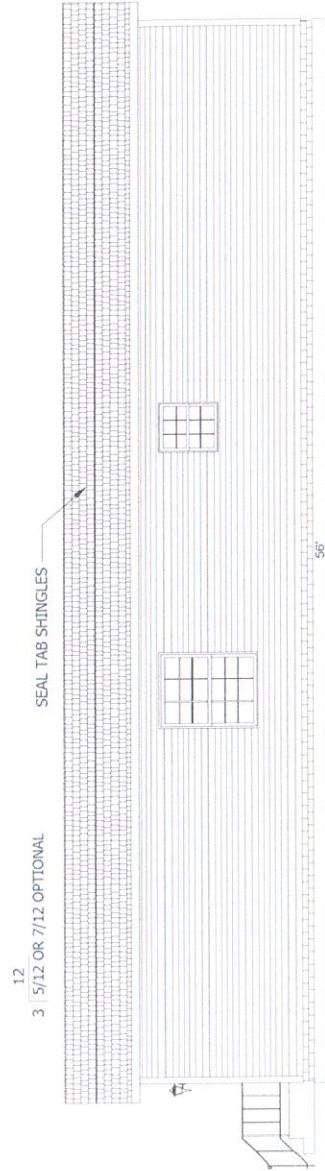
Hamburg Township
Planning and Zoning Department

GENERAL NOTES:
1. ALL DIMENSIONS SHOWN ARE STANDARD UNLESS NOTED OTHERWISE.
2. ALL WINDOWS SINGLE HUNG INSULATED DOUBLE GLAZED.
3. Siding is VINYL LAP FACTORY APPLIED OVER 3/8" MIN OSB SHEATHING AND
FOR VINYL Siding FABRIC HOME WRAP SHEATHING PAPER (PRIME WRAP)
OR EQUAL INSTALLED TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
(SIDING FOR ENDS IS SHIPPED LOOSE FOR FIELD INSTALLATION BY OTHERS.)
4. Siding to be installed over 1/2" MIN OSB SHEATHING PAPER OR GYPSUM BOARD.
5. SOME STANDARD AND OPTIONAL FEATURES ARE SHOWN.
6. ALL DIMENSIONS SHOWN ARE STANDARD UNLESS NOTED OTHERWISE.
7. FOUNDATION WINDOWS AND/OR VENTS NOT SHOWN.
8. THIS HOME HAS ATTIC VENTILATION OF NOT LESS THAN 1/100TH
OF THE ATTIC AREA.

* DESIGNATES FIELD WORK



FRONT ELEVATION



REAR ELEVATION

CHAMPION
MANUFACTURED BEAUTIFULLY™
305 SHERIDAN DRIVE TOPEKA, IN 46571

IMPROVEMENTS

PROJECT:
112APB-2856M32A1C
56'-0" X 26'-8" RANCH
3 BED 3 BATH

DRAWN BY: A. CARL
DATE: 08/01/24
SCALE: 3/4" = 1'-0"

TITLE:
ELEVATIONS

FILENAME: 112APB-2856M32A1C

SHEET:

EV-101

PLEASE SEE THE CHAMPION
THESE DRAWINGS AND SPECIFICATIONS ARE PRELIMINARY.
THESE DRAWINGS AND SPECIFICATIONS ARE PRELIMINARY.
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Item 1.

Proposed Structure

MR. & MRS. MICHAEL ARDEN
5844 FERNLANDS AVENUE
PINCKNEY, MI 48169

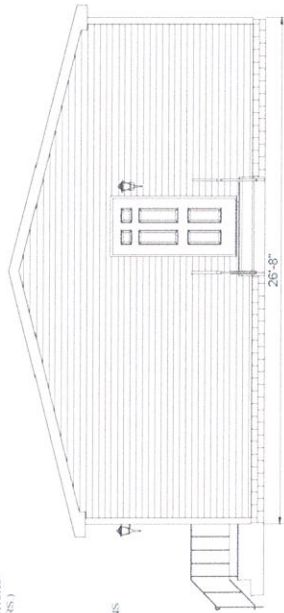
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Hamburg Township
Planning and Zoning Department

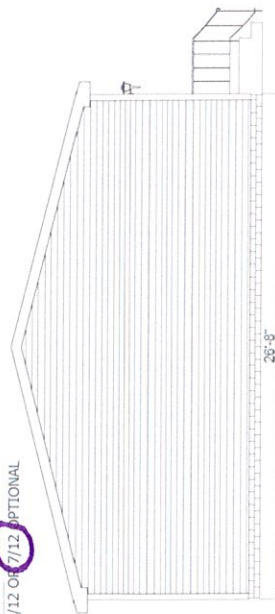
- GENERAL NOTES:
1. VINYL SHUTTERS SHOWN ARE STANDARD FRONT SIDE ONLY
 2. ALL WINDOWS SINGLE HUNG INSULATED LOW E
 3. ALL DOORS ARE 6'0" X 8'0" MIN. USE SHEATHING AND PORTE DOYLE FABRIC HOME WRAP SHEATHING PAPER (PRIME WRAP OR EQUAL) INSTALLED TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS (SEALING FOR LEAKS IS SHIPPED LOOSE FOR FIELD INSTALLATION BY OTHERS.)
 4. PERIMETER ROOF OVERHANG IS PERFORMED BY THE FABRICATOR
 5. SOME STANDARD OPTIONS ARE SHOWN
 6. ALL GUTTERS, DOWN SPOUTS, STEPS AND HANDRAILS BY OWNER
 7. FOUNDATION WINDOWS AND VENTS NOT SHOWN
 8. THIS HOME HAS ATTIC VENTILATION OF NOT LESS THAN 1/150th OF THE ATTIC AREA
 9. FOUNDATION WINDOWS AND VENTS NOT SHOWN
 10. THIS HOME HAS ATTIC VENTILATION OF NOT LESS THAN 1/150th OF THE ATTIC AREA
 11. THIS HOME HAS ATTIC VENTILATION OF NOT LESS THAN 1/150th OF THE ATTIC AREA
 12. THIS HOME HAS ATTIC VENTILATION OF NOT LESS THAN 1/150th OF THE ATTIC AREA

* DESIGNATES FIELD WORK



LEFT ELEVATION

12
3 5/12 OR 7/12 OPTIONAL



RIGHT ELEVATION

CHAMPION
MANUFACTURED BEAUTIFULLY™
305 SHERIDAN DRIVE TOPEKA, IN 46571

MODIFICATIONS

PROJECT:
112APB-2856M32A1C
56'-0" X 26'-8" RANCH
3 BED 3 BATH

DRAWN BY: K. GARD
DATE: 08/01/24
SCALE: 3/32" = 1'-0"

TITLE: ELEVATIONS

FILE NAME: 112APB-2856M32A1C

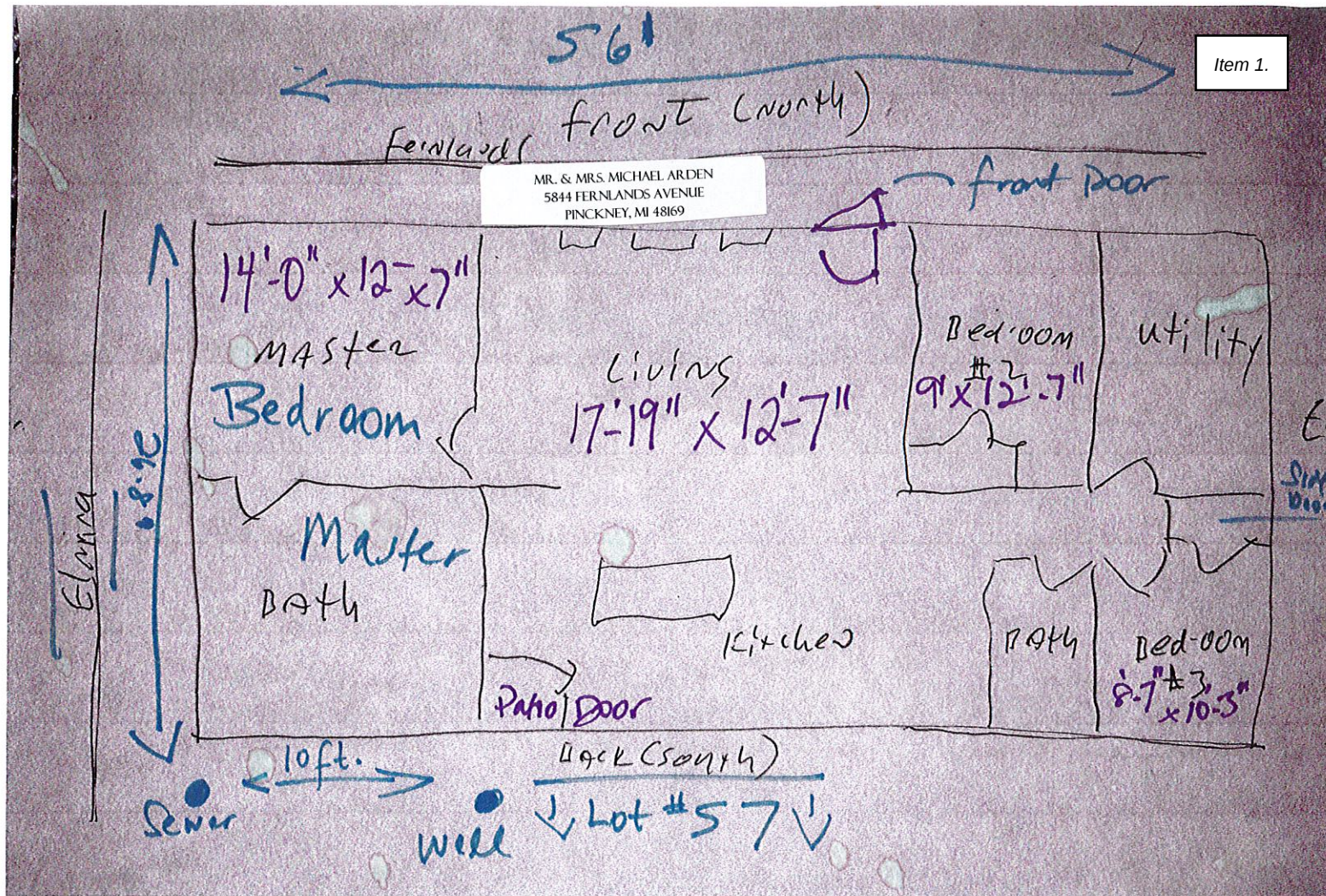
SHEET:

EV-102

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PROPOSED TARY AND CONFIDENTIAL
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Item 1.





"Proposed" Inverse "Summit" plan

Arden - 5844 fernlands Ave.

Pinckney, MI 48169

"Hamburg Township"

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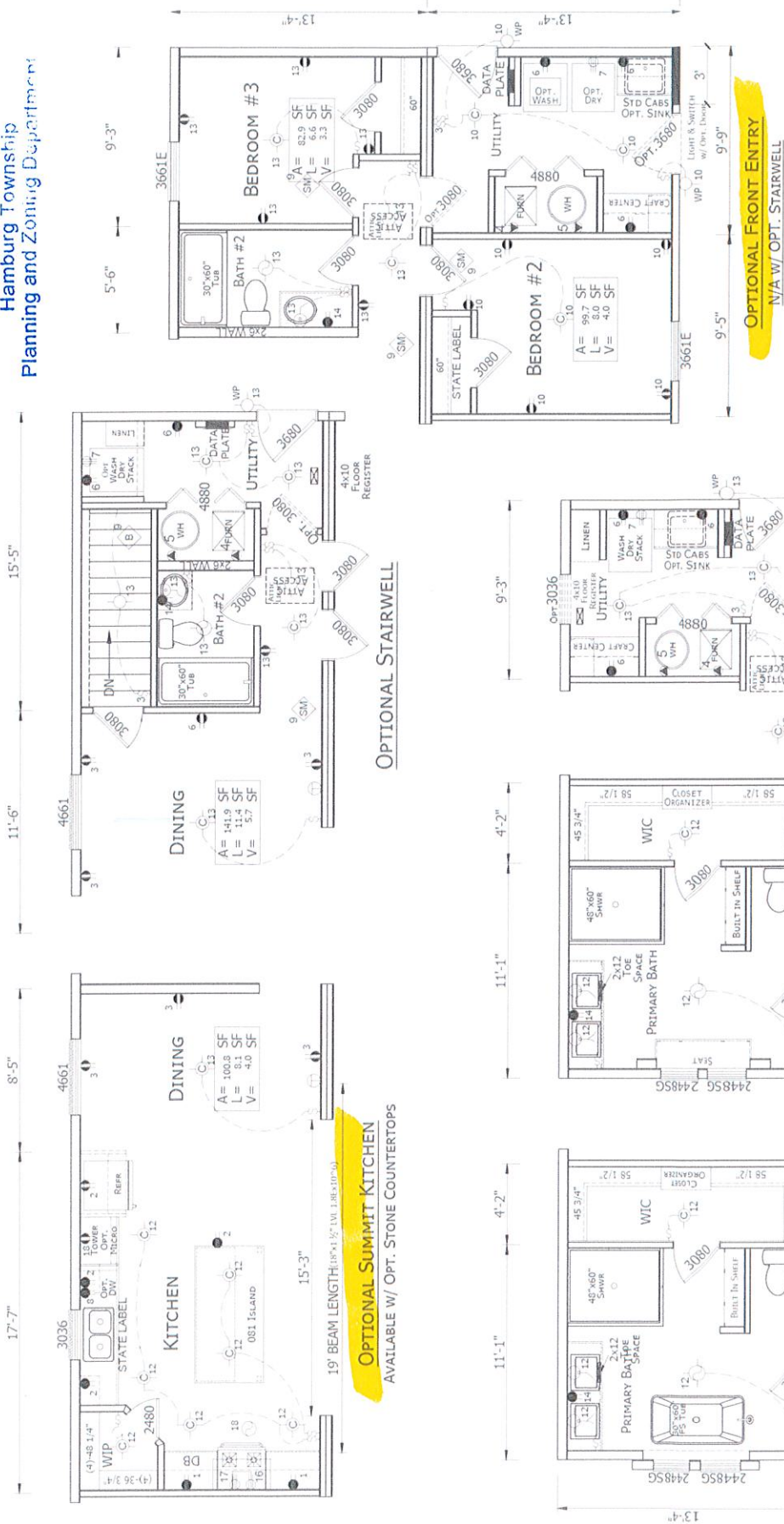
Hamburg Township
Planning and Zoning Department

MR. & MRS. MICHAEL ARDEN
5844 FERNLANDS AVENUE
PINCKNEY, MI 48169

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Hamburg Township
Planning and Zoning Department



OPTIONAL UTILITY ROOM "B"

OPTIONAL PRIMARY BATH #2

OPTIONAL PRIMARY BATH #1

CHAMPION

MANUFACTURED BEAUTIFULLY™

308 SHERIDAN DRIVE TOPEKA, IN 46571

MODIFICATIONS

PROJECT:
112APB-2856M32A1C
56'-0" X 26'-8" RANCH
3 BED 3 BATH

DRAWN BY: A. GARD
DATE: 08/01/24
SCALE: 3/16" = 1'-0"

FLOOR PLAN OPTIONS

AP-102

FILENAME: 110MB-2856M32A1C

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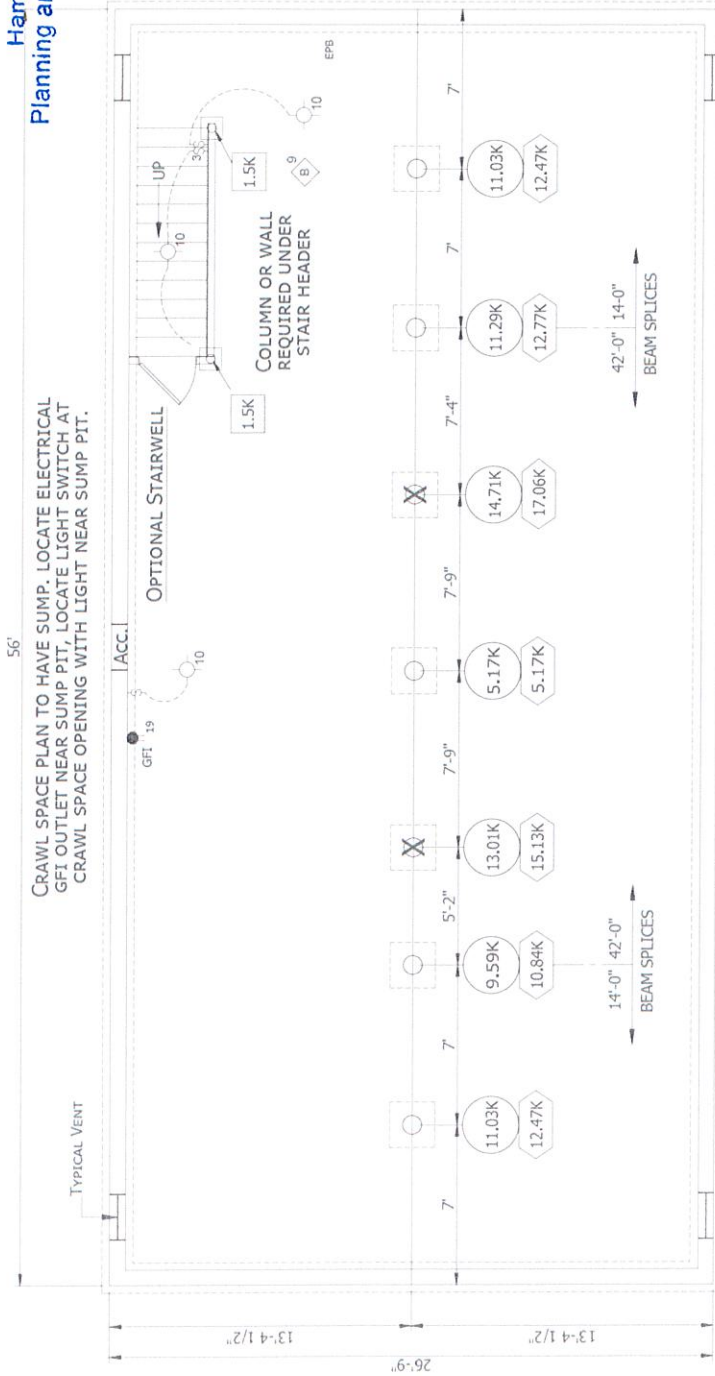
Item 1.

MR. & MRS. MICHAEL ARDEN
5844 FERNLANDS AVENUE
PINCKNEY, MI 48169

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Hamburg Township
Planning and Zoning Department



NOTES:

1. Splices in mating line girders shall be supported by column posts or i-beam.
2. Dealer/installer may use i-beam under mate wall to increase jack post spacing. Consult a local Professional Engineer.
3. Crawl space access minimum size to be 18" x 24" with removable cover.
4. Crawl space ventilation to equal 1/150th of the total area.
5. Continuous foundation support required at interior braced wall lines at intervals not exceeding 50 feet when located in Seismic Design Category D2.
6. For additional general electrical notes see page EL-1.0.
7. For additional general foundation notes see page G-4.0.

* All basements and every sleeping room shall have at least one operable emergency rescue or exterior door opening for emergency escape and rescue. A window shall have a sill height not more than 44 inches above the floor.
This is on-site work and not the responsibility of the manufacturer.

k = 70 PSF
k = 50 PSF
TYPICAL
ROOF LOADS

CHAMPION

MANUFACTURED BEAUTIFULLY™

308 SHERIDAN DRIVE TOPEKA, IN 46571

FOUNDATION PLAN

PROJECT: 112APB-2856M32A1C
56'-0" X 26'-8" RANCH
3 BED 3 BATH

DESIGNER: ALGARD
DATE: 08/01/24
SCALE: 1/4" = 1'-0"

FILENAME: 112APB-2856M32A1C

SHEET:

F-101

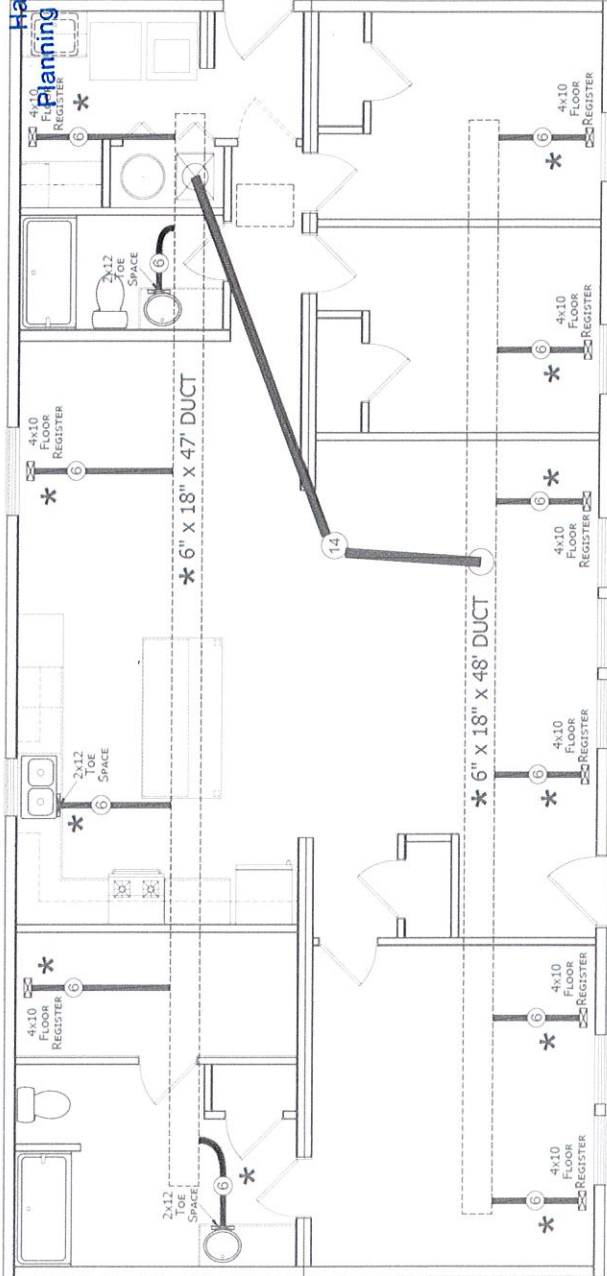
PROPRIETARY AND CONFIDENTIAL
THIS DOCUMENT IS THE PROPERTY OF CHAMPION
REPRODUCTION OR DISSEMINATION WITHOUT THE WRITTEN
CONSENT OF CHAMPION IS PROHIBITED

MR. & MRS. MICHAEL ARDEN
5844 FERNLANDS AVENUE
PINCKNEY, MI 48169

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Hamburg Township
Planning and Zoning Department



SUPPLY AND RETURN AIR NOTES:

1. RETURN AIR SHALL NOT BE TAKEN FROM FURNACE / WATER HEATER ROOM IF EITHER ARE NOT SEALED COMBUSTION TYPE. FURNACE TO BE INSTALLED BY MANUFACTURER. SUPPLY AND RETURN DUCTS ARE TO BE INSTALLED BY THE MANUFACTURER.
2. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST IECC. INSULATION SHALL BE 1\"/>
3. SUPPLY AIR DUCTS ARE TO BE INSTALLED IN THE FACTORY WITH THE EXCEPTION OF ANY DUCTWORK BELOW THE SILL OF EXTERIOR DOORS. RETURN AIR DUCT SYSTEM ARE TO BE DONE ON SITE BY OTHERS.
4. MODULE TO MODULE CONNECTIONS SHALL BE MADE BY THE MANUFACTURER.
5. SUPPLY AND RETURN DUCTS ARE TO BE FIBERGLASS. INSULATED IN ACCORDANCE WITH THE LATEST IECC. SEE APPROVED RESCHECK. IT SHALL CONFORM TO THE MANUFACTURER'S STANDARDS AND SHALL BE CONSTRUCTED OF MATERIALS WITH A FLAME SPREAD NOT GREATER THAN 200. BE OF DUCT CLASS 0 OR 1. BEAR A LISTING & LABEL PER UL 181, 181A OR 181B. COVERINGS AND LININGS SHALL HAVE A FLAME SPREAD INDEX NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX NOT MORE THAN 50 PER ASTM E 84. COVERINGS AND LININGS SHALL NOT FLAME, GLOW, SMOLDER OR SMOKE WHEN TESTED PER ASTM C411.
6. ALL REGISTERS IN BATHROOMS TO BE IN A VERTICAL POSITION FROM THE FLOOR SURFACE.
7. ALL REGISTERS AND DIFFUSERS WILL BE METAL.
8. THE FURNACE SHALL HAVE CLEARANCES PER THE MANUFACTURER'S INSTRUCTIONS.
9. SUPPLY, RETURN, AND EXHAUST DUCT INSULATION TO BE R-3 WHEN THEY ARE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE.
10. ALL DUCTWORK TO BE IN ACCORDANCE WITH NAIMA AH 116-2009 AND SMACNA-2010.
11. AIR HANDLERS AND FILTER BOXES TO BE SEALED PER IECC R403.3.2. AIR HANDLERS TO HAVE A MAX AIR LEAKAGE OF 2\"/>
12. DUCTS OUTSIDE THE THERMAL ENVELOPE TO BE ROUGH-IN TESTED IN ACCORDANCE WITH R 403.3.3 OR 403.3.4 (1).

MECHANICAL NOTES:

1. 75 CFM - MECHANICAL VENTILATION IS ACCOMPLISHED BY PULLING FRESH AIR THROUGH THE RETURN AIR PLENUM IN THE ATTIC WITH A 6\"/>
2. THERMOSTAT TO BE LABELED "WHOLE HOUSE VENTILATION". FAN TO BE SET TO CONTINUOUS.
3. MECHANICAL VENTILATION AIRFLOW TO BE TESTED ON SITE BY OTHERS.
4. BATH EXHAUST FANS ARE UL LISTED AND LABELED. AND INSTALLED IN ACCORDANCE TO THEIR LISTINGS. AND MUST BE CAPABLE OF PRODUCING A CHANGE OF AIR EVERY 12 MINUTES. TERMINATIONS WILL BE TO THE OUTSIDE OF THE HOUSE EITHER THRU THE ROOF OR OUT THE EAVE SOFFIT. BATH VENT WILL NOT TERMINATE IN THE ATTIC.
5. KITCHEN RANGE HOODS SHALL BE UL LISTED AND LABELED, AND INSTALLED IN ACCORDANCE TO THEIR LISTING.
6. TYPICAL APPLIANCES INSTALLED AT FACTORY:
FURNACE:
NORODYNE MODEL M3RL (GAS) OR ALT ELECTRIC
WATER HEATERS:
NORODYNE OR RHEEM (OR EQUAL)
40 GAL. ELECTRIC OR GAS
KITCHEN APPLIANCES:
GENERAL ELECTRIC (OR EQUAL) RANGES (12KVA), REFRIGERATOR, DISHWASHER
RANGE HOOD - VENTLINE MODEL PH SERIES (100 CFM) ALT. BROAN QS1 SERIES
BATH VENT:
VENTLINE MODEL 2270-50 (50 CFM) OR V2280-75 (75 CFM)

CHAMPION

MANUFACTURED BEAUTIFULLY™

305 SHERIDAN DRIVE TOPEKA, IN 46571

PROJECT NAME:

112APB-2856M32A1C
56'-0" X 26'-8" RANCH
3 BED 3 BATH

DRAWN BY: A. J. ARLO

DATE: 08/01/24

SCALE: 3/16" = 1'-0"

TITLE: MECHANICAL PLAN

SHEET:

A-ME

PROVIDE TINY AND CONFIDENTIAL
TINY AND CONFIDENTIAL MATERIALS IN CHAMPION
COMMITMENT TO EXCELLENCE BY CHAMPION



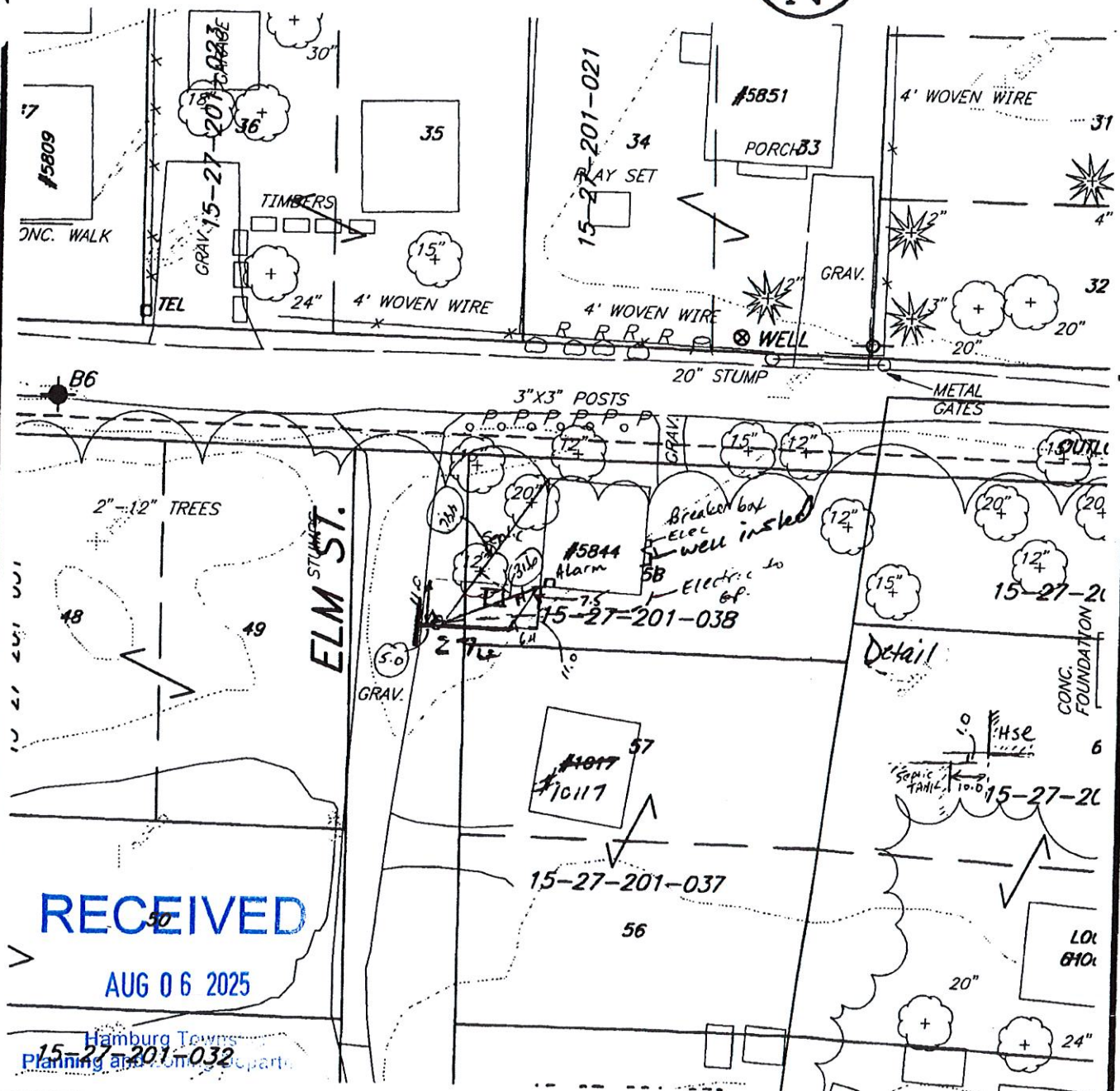
circled #3
AKC to CS.

MR. & MRS. MICHAEL ARDEN
5844 FERNLANDS AVENUE
PINCKNEY, MI 48169



NUMBER

Item 1.



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Hamburg Township
Planning and Zoning Department

CONSTRUCTION PLAN SHEET NO.: 4 PROPERTY TAX NO.: 15-27-201-038
COMMENTS: located 6/28 MR (Dig in) GP INST 10.1.96 LLO
CS/SCFM 10.2.96 Set Lat 10.2.96 (27LF) LLO CS/SCFM 10.2.96 LLO
Electric to GP. 11/4/96 NEEDS A NEW DET ED BOX.

DATE INSTALLED

INSPECTOR

HAMBURG TOWNSHIP, MICHIGAN
RIVERVIEW / FERNLANDS AREA
LOW PRESSURE SANITARY SEWER SYSTEM

CONTRACT 0351.115-S-1

GRINDER PUMP LOCATION SHEET

HOME OWNERS NAME:

ROBERTE BARBARA FOUCHY

ADDRESS:

5844 FERNLANDS

SCALE 1" = 40'



Zoning Board of Appeals Staff Report



TO: Zoning Board of Appeals
(ZBA)

FROM: David Rohr

**HEARING
DATE:** September 10, 2025

SUBJECT: ZBA 25-0008

PROJECT Renovation

SITE: 9217 Riverside Dr.
TID 4715-24-102-125

OWNER: Steven DiGiuseppe
& Melinda Mackey

APPLICANT:
Steven DiGiuseppe
& Melinda Mackey

PROJECT: Variance application to permit the renovation and expansion of front entry.
Variance request:

- Front setback of 15 feet rather than 25 feet, per section 36-171(E)

ZONING: NR– Natural Rivers

Project Description

Variance application to permit the renovation and expansion of the front entry. The current structure is non-conforming on the front side of the house (less than 25 from parcel line). The expansion of the front porch and entry renovation will have minimal impact on adjoining properties. Because of the existing parcel conditions and house location, there is limited buildable area. A front setback of 15 feet rather than 25 feet is requested.

Standards of Review

In accordance with Section 36-137 of the Hamburg Township Zoning Ordinance, the ZBA's decision on this matter is to be based on findings of fact to support the standards provided below. The applicable discretionary standards are listed below in **bold typeface**, followed by Staff's analysis of the request as it relates to these standards. A variance may be granted only if the ZBA finds that all of the following standards are met:

1. **That there are exceptional or extraordinary circumstances or conditions applicable to the property involved that do not apply generally to other properties in the same district or zone.**

The applicant's parcel has limited buildable area on the front side of the house. Staff support the request for the variance.

2. **That such variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same zone and vicinity. The possibility of increased financial return shall not be deemed sufficient to warrant a variance.**

Granting this variance request is necessary for the preservation and enjoyment of a substantial property right.

3. **That the granting of such variance or modification will not be materially detrimental to the public welfare or materially injurious to the property or improvements in such zone or district in which the property is located.**

The variance setback request is not likely to be materially detrimental to the public welfare or materially injurious to the property or improvements in the district.

4. That the granting of such variance will not adversely affect the purpose or objectives of the master plan of the Township.

Granting this variance will not adversely affect the 2020 Master plan.

5. That the condition or situation of the specific piece of property, or the intended use of said property, for which the variance is sought, is not of so general or recurrent a nature.

The condition or situation of the specific piece of property is not of a general and recurrent nature.

6. Granting the variance shall not permit the establishment with a district of any use which is not permitted by right within the district.

The site is zoned for single-family dwellings and related appurtenances. Approval of the variance requests would not permit the establishment of a use not permitted by right within the district.

7. The requested variance is the minimum necessary to permit reasonable use of the land.

Staff finds that the proposed new porch will have minimal impact on the surrounding properties. Staff believes the location and minimal size of the proposed renovation is reasonable and will have minimal impact on the surrounding residents.

“Practical difficulty” exists on the subject site when the strict compliance with the Zoning Ordinance standards would render conformity unnecessarily burdensome (such as exceptional narrowness, shallowness, shape of area, presence of floodplain or wetlands, exceptional topographic conditions).

Recommendation

Staff recommends the ZBA open the public hearing, take testimony, close the public hearing, evaluate the proposal for conformance with the applicable regulations, and deny or approve the application. In the motion to deny or approve the project, the ZBA should incorporate the ZBA’s discussion and analysis of the project and the findings in the staff report.

Approval Motion

Motion to approve variance application ZBA 25-0008 at 9217 Riverside Dr. TID 4715-24-102-125. Applicant requests:

- Front setback of 15 feet rather than 25 feet, per section 36-171(E)

The variance meets variance standards one (1) through seven (7) of Section 36-137 of the Hamburg Township Zoning Ordinance, and a practical difficulty exists on the subject site when strict compliance with the Zoning Ordinance standards is applied, as discussed at the meeting this evening and as presented in the staff report.

Denial Motion

Motion to deny variance application ZBA 25-0008 at 9217 Riverside Dr. TID 4715-24-102-125.

Applicant requests:

- Front setback of 15 feet rather than 25 feet, per section 36-171(E)

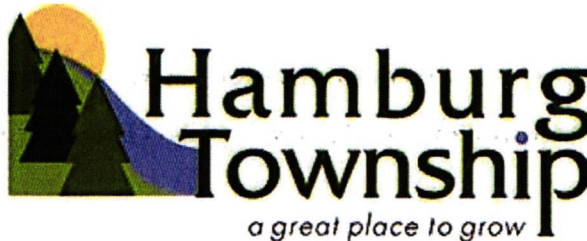
The variance does not meet variance standards one (1), two (2), or seven (7) of Section 36-137 of the Hamburg Township Zoning Ordinance, and no practical difficulty exists on the subject site when strict compliance with the Zoning Ordinance standards is applied, as discussed at the meeting this evening, and as presented in this staff report.

Attachments:

Application

Project plans

ZBA Case Number

25-0008
\$500.00HAMBURG TOWNSHIP
Date 08/06/2025 2:23:39 PM
Ref ZBA25 -008
Receipt 1330544
Amount \$500.00FAX 810-231-4295
PHONE 810-231-1000P.O. Box 157
10405 Merrill Road
Hamburg, Michigan 48139

**APPLICATION FOR A ZONING BOARD OF APPEALS (ZBA)
VARIANCE/INTERPRETATION
(FEE \$500 plus \$50 each additional)**

1. Date Filed: 8/6/25
2. Tax ID #: 15- 24 - 102 - 125 Subdivision: _____ Lot No.: _____
3. Address of Subject Property: 9217 RIVERSIDE DR BRIGHTON, MI 48116
4. Property Owner: STEVEN DIBLINSKI & MELINDA MACKAY Phone: (H) _____
Email Address: _____ (W) _____
Street: 9217 RIVERSIDE DR City BRIGHTON State MI
5. Appellant (If different than owner): N/A Phone: (H) _____
E-mail Address: _____ (W) _____
Street: _____ City _____ State _____
6. Year Property was Acquired: 2021 Zoning District: _____ Flood Plain _____
7. Size of Lot: Front 75' Rear 32' Side 1 318 Side 2 280 Sq. Ft. 13,500 sq ft
11. Dimensions of Existing Structure (s) 1st Floor 977 sq ft 2nd Floor 961 sq ft Garage _____
12. Dimensions of Proposed Structure (s) 1st Floor 112 2nd Floor 0 Garage 0
13. Present Use of Property: SINGLE FAMILY RESIDENCE
14. Percentage of Existing Structure (s) to be demolished, if any 0 %
15. Has there been any past variances on this property? Yes _____ No X
16. If so, state case # and resolution of variance application _____
17. Please indicate the type of variance or zoning ordinance interpretation requested:

VARIANCE FOR SET BACKS ON FRONT OF PROPERTY**RECEIVED**

AUG 06 2025

18. Please explain how the project meets each of the following standards:

Hamburg Township
Planning and Zoning Department

- a) That there are exceptional or extraordinary circumstances or conditions applicable to the property involved that do not apply generally to other properties in the same district or zone.

OUR HOUSE SITS ON A SMALL PROPERTY THAT HAS LITTLE ROOM. THE ^{FRONT} ~~FRONT~~ PROPERTY LINE IS AT A DRASTIC ANGLE. THE ADDITION WILL REMAIN SET BACK FROM ^{LAKEVIEW} ~~LAKEVIEW~~

- b) That such variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same zone and vicinity. The possibility of increased financial return shall not be deemed sufficient to warrant a variance.

THIS WILL NOT AFFECT ~~ADJACENT~~ ADJACENT PROPERTY IN ANY WAY DUE TO ANGLES AND DISTANCE OF STRUCTURES

- c) That the granting of such variance or modification will not be materially detrimental to the public welfare or materially injurious to the property or improvements in such zone or district in which the property is located.

THERE WILL BE NO CHANGE TO PUBLIC WELFARE DUE TO A VARIANCE

- d) That the granting of such variance will not adversely affect the purpose or objectives of the master plan of the Township.

THIS WILL ALLOW OUR HOME TO HAVE A FOYER AND MUDROOM LIKE OTHER MODERN HOMES BEING BUILT IN OUR NEIGHBORHOOD. FITTING INTO THE RESIDENTIAL SECTION OF THE MASTER PLAN

- e) That the condition or situation of the specific piece of property, or the intended use of said property, for which the variance is sought, is not of so general or recurrent a nature.

OURS IS UNIQUE DUE TO THE DRASTIC ANGLE OF THE FRONT PROPERTY LINE TO THE FRONT OF THE HOUSE

- f) Granting the variance shall not permit the establishment with a district of any use which is not permitted by right within the district.

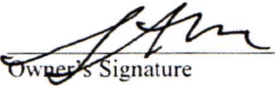
THE USE WILL REMAIN RESIDENTIAL SINGLE FAMILY

- g) The requested variance is the minimum necessary to permit reasonable use of the land.

THIS IS A SMALL ADDITION THAT WE ARE HOPING TO FIT ON A SMALL SECTION THAT REMAINS BEHIND THE FRONT EDGE OF THE GARAGE

- I hereby certify that I am the owner of the subject property or have been authorized to act on behalf of the owner(s) and that all of the statements and attachments are true and correct to the best of my knowledge and belief.
- I hereby acknowledge that if my house is connected to the municipal sanitary sewer system, the Utilities Department will complete a review of my ZBA application request, to ensure it complies with all sewer related policies and all sewer easement right-of-way requirements. (For any questions, please contact the Hamburg Twp Utilities Department at 810-222-1193.
- I acknowledge that approval of a variance only grants that which was presented to the ZBA.
- I acknowledge that I have reviewed the Hamburg Township Zoning Ordinance, the ZBA Application and the ZBA Checklist and have submitted all of the required information.
- I acknowledge that filing of this application grants access to the Township to conduct onsite investigation of the property in order to review this application.
- I understand that the house or property must be marked with the street address clearly visible from the roadway.

- I understand that there will be a public hearing on this item and that either the property owner or appellants shall be in attendance at that hearing.
- I understand that a Land Use Permit is required prior to construction if a variance is granted.
- I understand that any order of the ZBA permitting the erection alteration of a building will be void after one (1) year (12 months), unless a valid building permit is obtained and the project is started and proceeds to completion (See Sec. 6.8 of the Township Zoning Ordinance).

 8/6/25
Owner's Signature Date

Appellant's Signature Date

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Hamburg Township
Planning and Zoning Department

VARIANCE (ZBA) APPLICATION CHECKLIST:

Eight (8) sets of plans must be submitted. The sets are for the individual use of the Zoning Board members and for the Township's records. None will be returned to you. The Land Use Permit will not be released until three (3) final construction blueprints and three (3) copies of your site plan are submitted which have been prepared according to the variances granted and conditions imposed at the appeals meeting.

☐ **Zoning Board of Appeals Application Form**

☒ **Site (plot) Plan with the following information:**

- ☐ Location and width of road(s) and jurisdiction (public or private road).
- ☐ Location and dimensions of existing/proposed construction.
- ☐ Dimensions, designation, and heights of existing structures on property clearly marked.
- ☐ Dimensions of property (lot lines).
- ☐ Location and dimensions of required setbacks.
- ☐ Measurement from each side of existing and proposed structure to the property lines.
- ☐ All easements.
- ☐ Any bodies of water (lake, stream, river, or canal) with water body name.
- ☐ Distance proposed structure and existing structures are from any body of water.
- ☐ Septic tank and leachate field, sewer (grinder pump), and water well. (Distance of proposed structure or improvements to site need to be shown on the site plan. Applicants need to show how far the sanitary sewer grinder pump station and the sewer service lateral which connect the grinder pump can to the sewer main at the street and the home are in relation to the project.) For any questions: contact the Hamburg Twp Utilities Dept at 810-222-1193 or email Brittany Campbell at bcampbell@hamburg.mi.us.
- ☐ All areas requiring variances clearly marked with dimensions and amount of variance requested.
- ☐ Any outstanding topographic features that should be considered (hills, drop-offs, trees, boulders, etc.)
- ☐ Any other information which you may feel is pertinent to your appeal.
- ☐ If the variance is to a setback requirement a licensed professional stamp shall be on the site plan.

☐ **Preliminary sketch plans:**

a) Elevation plans:

- ☐ Existing and proposed grade
- ☐ Finished floor elevations
- ☐ Plate height
- ☐ Building height
- ☐ Roof pitch

b) Floor plans:

- ☐ Dimension of exterior walls
- ☐ Label rooms
- ☐ Clearly identify work to be done
- ☐ Location of floor above and floor below

c) All other plans you may need to depict the variance you're requesting (surveys, grading plans, drainage plans, elevation certificates, topographical surveys, etc.)

☐ **Proof of Ownership:** Include one of the following:

- a) Warranty Deed – showing title transaction bearing Livingston County Register of Deeds stamps, OR
- b) Notarized letter of authorization from seller of property giving the purchaser authorization to sign a Land Use Permit.

WARRANTY DEED

(Platted/Condominium)

Drafted By:

Brian D. Collins
847 Sumpter Rd., #456
Belleville, MI 48111

Return To:

Melinda Marie Mackey
9217 Riverside Dr
Brighton, MI 48116-8240

Send Tax Bills To:

Melinda Marie Mackey
9217 Riverside Dr
Brighton, MI 48116-8240

Recording Fee: \$35.00
File Number: 948776

State Transfer Tax: \$2,737.50
County Transfer Tax: \$401.50

Tax Parcel No.: 4715-24-102-125

Know All Persons by These Presents: That **Brian D. Collins, Trustee of the M. Lynne Collins Living Trust dated October 16, 2008 and Restatement dated June 25, 2013** whose address is 847 Sumpter Rd., #456, Belleville, MI 48111

Convey(s) and Warrant(s) to **Melinda Marie Mackey and Steven DiGiuseppe, wife and husband** whose address is 4898 Aberdeen Dr, Ann Arbor, MI 48103

the following described premises situated in the Township of **Hamburg**, County of **Livingston**, State of Michigan, to wit:
(SEE ATTACHED EXHIBIT A)

More commonly known as: **9217 Riverside Dr, Brighton, MI 48116-8240**

For the full consideration of: **three hundred sixty five thousand** Dollars (\$365,000.00)

Subject To:

Existing building and use restrictions, easements of record, and zoning ordinances, if any.



First American Title Insurance Company

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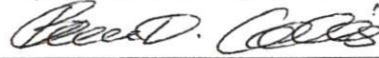
Hamburg Township
Planning and Zoning Department

(Attached to and becoming a part of Warranty Deed dated: December 17, 2021 between Brian D. Collins, Trustee of the M. Lynne Collins Living Trust dated October 16, 2008 and Restatement dated June 25, 2013, as Seller(s) and Melinda Marie Mackey and Steven DiGiuseppe, wife and husband, as Purchaser(s).)

Dated this December 17, 2021.

Seller(s):

M. Lynne Collins Living Trust

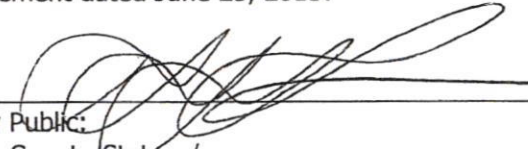


Brian D. Collins, Trustee

State of Michigan
County of Livingston

The foregoing instrument was acknowledged before me this December 17, 2021 by Brian D. Collins, Trustee of the M. Lynne Collins Living Trust dated October 16, 2008 and Restatement dated June 25, 2013.

MARK J. MARKER
NOTARY PUBLIC STATE OF MI
COUNTY OF LIVINGSTON
MY COMMISSION EXPIRES DEC. 26, 2026
ACTING IN COUNTY OF LIVINGSTON


 Notary Public: _____
 Notary County/State: /
 County Acting In:
 Commission Expires:

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AUG 06 2025

Hamburg Town
Planning and Zoning Department

Hamburg Township
Planning and Zoning Department

AUG 06 2025

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Tax Parcel Number: 4715-24-102-125

Lot(s) 6 of ORE LAKE FARMS SUBDIVISION according to the plat thereof recorded in Liber 3 of Plats, Page 50 of Livingston County Records.

Land situated in the Township of Hamburg, County of Livingston, State of Michigan, described as follows:

EXHIBIT A

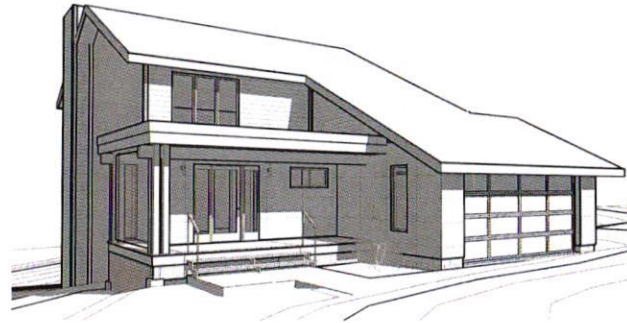
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GRAPHIC STANDARDS

ROOM NAME	ROOM NUMBER	CONCRETE
101		
		UNDISTURBED EARTH OR COMPACTED FILL
		POROUS FILL (GRAVEL)
		BRICK OR STONE MASONRY
		CONCRETE MASONRY
		GYP. BD.
		BATT INSULATION
		RIGID INSULATION
		METAL
		FINISH WOOD
		ROUGH WOOD
		PLYWOOD
		GLASS (IN ELEVATION)

GENERAL NOTES

- Contractor shall be governed by the currently adopted edition of all codes and regulations having jurisdiction over aspects of this construction project.
- Written dimensions and existing conditions shall be verified in the field by the Contractor and/or his Subcontractors. Do not scale drawings. If further clarification is required, contact Architectural Designer and provide him with field dimensions as required to assist him with his clarification.
- Any discrepancy in dimensions and/or drawings and/or field measurements shall be brought to the attention of the Architectural Designer prior to the commencement of any work.
- These drawings and specifications are the property and copyright of the Architectural Designer and shall not be used on any other work except by agreement with the Architectural Designer.
- Duty of Cooperation: Release of these plans anticipates further cooperation among the Owner, Contractor, and Architectural Designer. Although the Architectural Designer and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Any ambiguity or discrepancy discovered shall be reported immediately to the Architectural Designer. Failure to cooperate by a timely notice to the Architectural Designer shall not relieve the Contractor from responsibility for all consequences. Changes made from the plans without the consent of the Architectural Designer are unauthorized, and shall relieve the Architectural Designer of responsibility for all consequences arising out of such changes.
- All products shall be installed per manufacturer's recommendations.
- All work to be in accordance with "General Conditions of the Contract for Construction - AIA, Document A201" and other Contract Documents.
- Contract Documents also include the Project Manual and specifications, said documents are made part of these drawings in their entirety as if attached.
- The Contractor shall include any work required to make the end result building operative and able to be occupied. If equipment, material and/or effort are not detailed in drawings or specifications but are obviously required as industry standard for operative conditions, the work shall be included in item list. If the Owner does not accept the Contractor's selection, the additional cost (to the Contractor) of that equipment or materials chosen by the Owner or Architectural Designer will be offset by Change Order.
- Do not use cadmium or cadmium plated products or products containing cadmium for work in place.
- Do not use selective containing products to work in place. Contractor shall not cut, drill, remove, or otherwise disturb any material, equipment, construction, etc., if it is thought to contain any hazardous material. If material, equipment, construction, etc., is encountered which appears to, or is likely to contain hazardous materials, notify Owner immediately.
- Electrical equipment shall be certified as containing no PCB's.
- Typographical errors or errors of spelling shall be brought to the Architectural Designer's attention for clarification. Interpretation of the meaning of typed or misspelled words without clarification from the Architectural Designer will be done by the Contractor with acceptance of responsibility for that interpretation and all consequences arising therefrom.
- Note: All dimensions to face of masonry, center line of structural steel or face of stud, typ. is in - All masonry dimensions indicated are nominal dimensions.
- The term "provide" as used herein shall mean that Contractor shall furnish and install said item, construction, equipment, materials, etc., for a complete, finished installation.
- General Contractor shall be responsible for coordination of all trades using work and coordination with Owner and Owner's subcontractors regarding installation and provision for all equipment, materials and construction indicated "by Owner" or "by others" on these documents.
- All existing areas outside of contract limits are fully finished and beyond the jurisdiction of the owner. Contractor shall use all precautions necessary to protect these areas from damage, debris, and any other deleterious effects caused by the construction. Any areas affected by this construction shall be restored to original condition as required at completion of project.



Entry Renovation

DiGiuseppe Residence

9217 Riverside Drive
Hamburg Township
Brighton, Michigan

PERMIT SET

3-18-2025

VICINITY MAP



SHEET INDEX

SHEET	DESCRIPTION
ARCHITECTURAL	
A0.0	Cover Sheet
A1.0	Site Plan
A1.1	Wall / Roof / Floor Assemblies
A2.0	Existing / Demo Floor Plan
A2.1	New Floor Plans
A2.2	Main Level R.C.P.
A3.1	Exterior Elevations
A4.1	Building Sections
A4.2	Interior Elevations
A5.1	Details
A6.0	Outline Specifications
A6.1	Outline Specifications
STRUCTURAL	
S1.1	Foundation & Main Floor Framing Plan
S1.2	Lower Roof Framing Plan
S2.1	Structural Details

PROJECT INFORMATION

PROJECT ADDRESS:	9217 Riverside Drive Hamburg Township Brighton, MI 48116										
PROJECT DESCRIPTION:	Main entry renovation and addition, including new covered porch, to existing single-family residence.										
BUILDING TYPE:	R1 - Residential (Single-Family) Existing										
LEGAL DESCRIPTION:	SEC 24 1/4 ESE - 1/4 Twp 14300 GRE LAKE UTILE FARM Subdivision - Lot 6 Livingston County Michigan										
GROSS BUILDING AREA:	<table> <tr> <td>sf Total Gross Floor Area</td><td>+ 2,830sf / (2,744sf)</td></tr> <tr> <td>sf - Upper Level Floor Area</td><td>+ 961sq (change)</td></tr> <tr> <td>sf - Main Level Floor Area</td><td>+ 876sq / (1,941sf)</td></tr> <tr> <td>sf - Basement Level Floor Area</td><td>+ 892 (no change)</td></tr> <tr> <td>sf - Garage Gross Floor Area (nfg)</td><td>+ 446 (no change)</td></tr> </table>	sf Total Gross Floor Area	+ 2,830sf / (2,744sf)	sf - Upper Level Floor Area	+ 961sq (change)	sf - Main Level Floor Area	+ 876sq / (1,941sf)	sf - Basement Level Floor Area	+ 892 (no change)	sf - Garage Gross Floor Area (nfg)	+ 446 (no change)
sf Total Gross Floor Area	+ 2,830sf / (2,744sf)										
sf - Upper Level Floor Area	+ 961sq (change)										
sf - Main Level Floor Area	+ 876sq / (1,941sf)										
sf - Basement Level Floor Area	+ 892 (no change)										
sf - Garage Gross Floor Area (nfg)	+ 446 (no change)										
PROJECT JURISDICTION:	Livingston County Michigan										
ADOPTED BUILDING CODES:	2015 Michigan Residential Code 2015 Michigan Energy Conservation Code 2015 International Fire Code 2015 International Plumbing Code 2015 International Mechanical Code 2020 National Electric Code 2017 CDE's Regulations										
PROJECT ELEVATION:	885 ft. Elevation (9/03/0)										

PROJECT DIRECTORY

OWNERS
 Mindy Mackey and Steve DiGiuseppe
 9217 Riverside Drive
 Brighton, MI 48116
 (734) 277-7475
 Contact: Steve DiGiuseppe
 email: steve@tandentile.com

ARCHITECTURAL DESIGNER
 McAllister Innovative Concepts, LLC
 620 Grandview Meadows Drive A-102
 Longmont, CO 80503
 (303) 966-6334
 Contact: Cody McAllister
 email: MIC_Design@protonmail.com

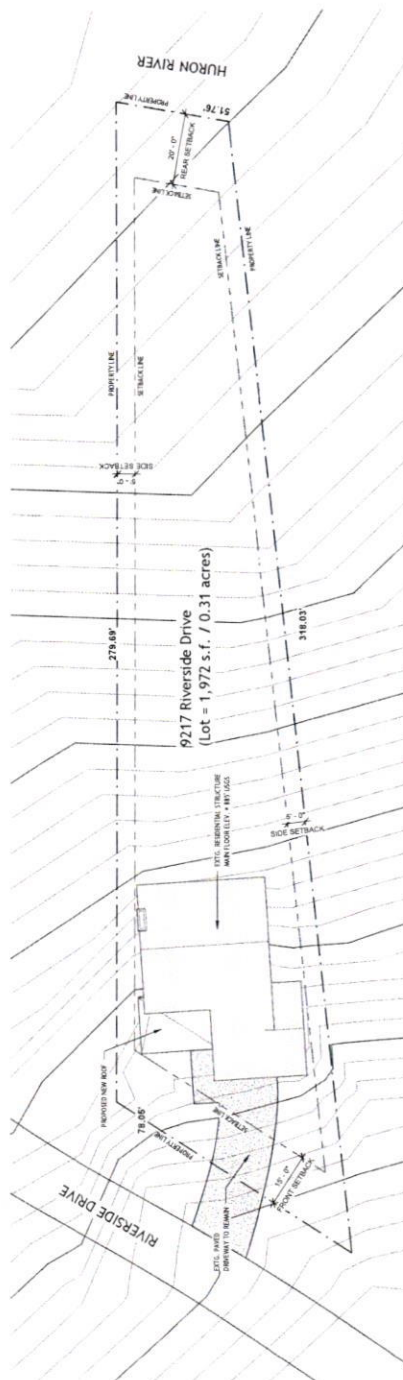
STRUCTURAL ENGINEER
 Gebau Structural Engineers
 168 Centennial Pkwy., # 180
 Louisville, CO 80027
 (303) 444-8545
 Contact: Joel Ambrosio
 email: jwel@gebau.com

CONTRACTOR
 Owner / TBD

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Planning and Zoning Department



1 SITE PLAN
N.T.S. / 1" = 100'



Hamburg Township
Planning and Zoning Department

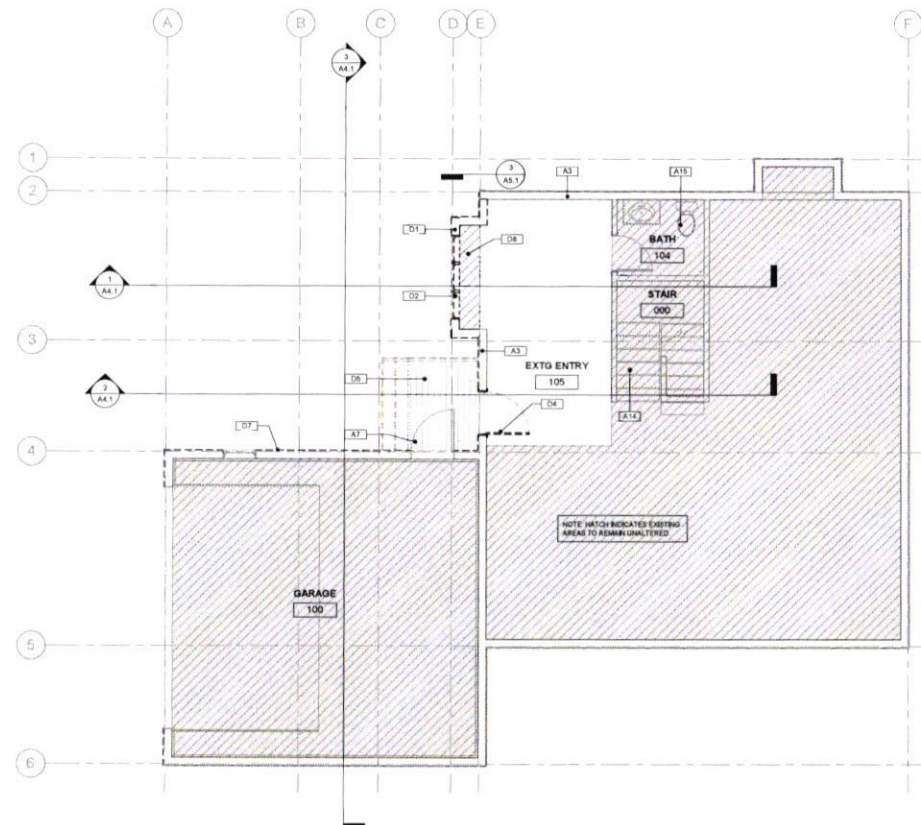
EXTERIOR 2x6 WOOD STUD w/ ZIP-R6 SHEATHING

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Planning and Zoning Department

KEYNOTES	
A3	EXISTING WALL STRUCTURE TO REMAIN
A7	REVISE EXISTING DOOR AND FRAME TO SWING AS INDICATED
A14	EXISTING STAIRS TO REMAIN UNALTERED
A15	EXISTING HALF BATH TO REMAIN UNALTERED
D1	DEMOLISH EXISTING EXTERIOR WALL
D2	DEMOLISH EXISTING WINDOW
D4	DEMOLISH EXISTING DOOR, CASING AND FRAME
D5	DEMOLISH EXISTING PORCH AND STEPS
D7	REMOVE / STRIP EXISTING EXTERIOR SIDING, PREP AS REQ'D FOR NEW WALL FINISH SYSTEM
D8	DEMOLISH EXISTING CANTILEVERED FLOOR STRUCTURE (16 s.f.)



1 MAIN LEVEL EXTG
A2.0 1/4" = 1'-0"



Item 2.



DIGIUSEPPE RESIDENCE RENOVATION
9217 Riverside Drive
Brighton, Michigan

PROJECT NO.	2024011
ISSUE NO.	3-18-2025
REVISION	
DATE	
BY	
CHECKED	
DATE	
BY	
CHECKED	
DATE	
BY	
CHECKED	
DATE	

EXISTING /
DEMO PLAN

A2.0

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Hamburg Township
Planning and Zoning Department

Item 2.



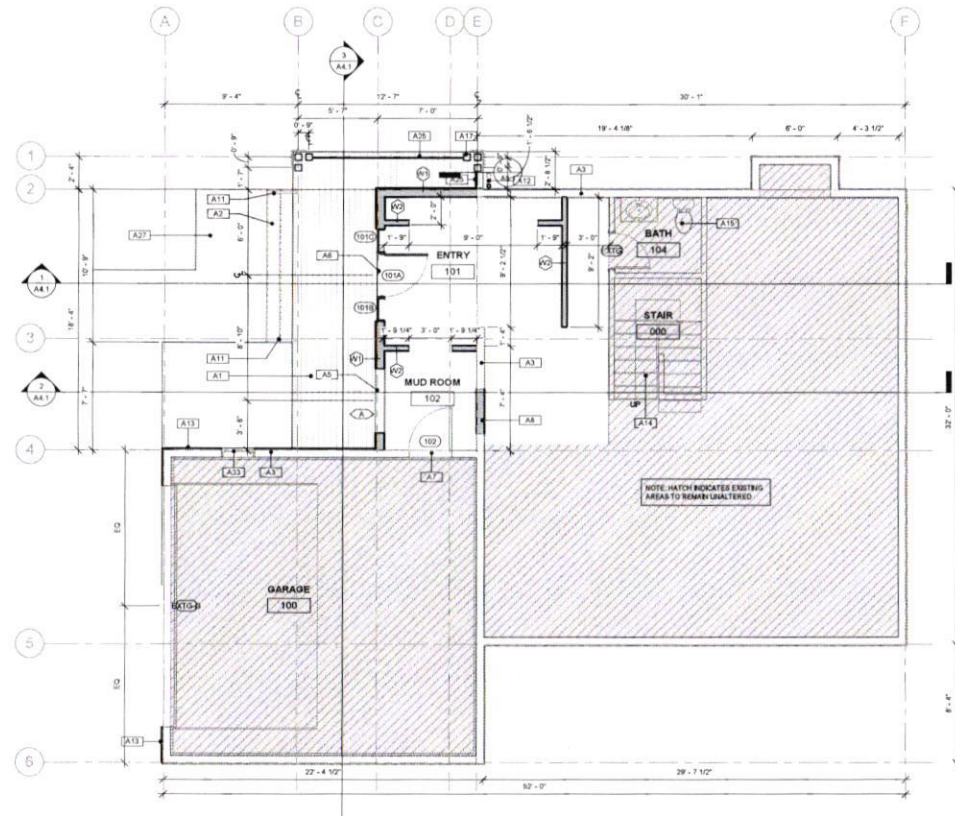
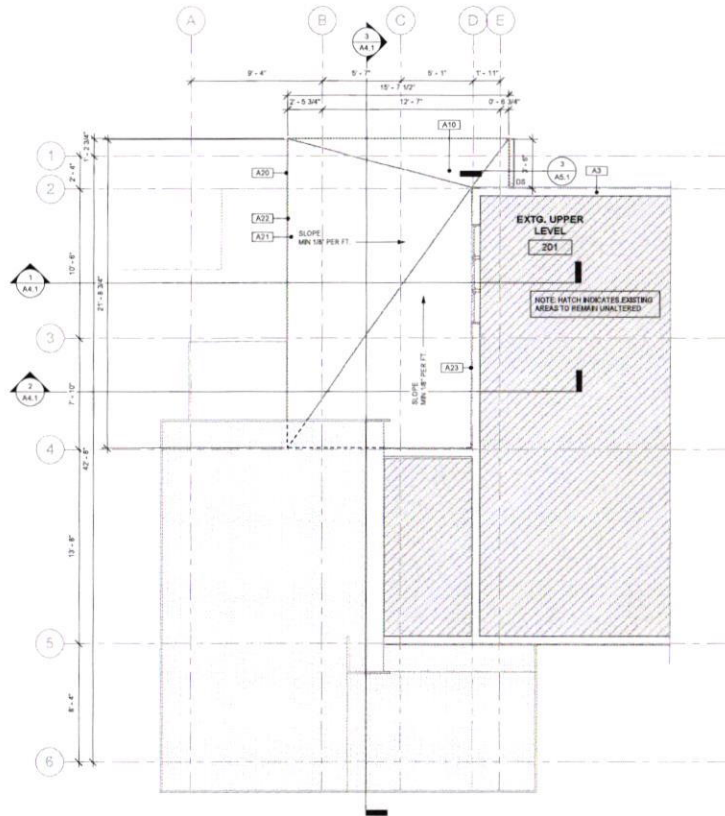
DIGIUSEPPE RESIDENCE RENOVATION
9217 Riverside Drive
Brighton, Michigan

PROJECT NO. 2025011
DATE: 5-18-2025
REVISION
SHEET TITLE
NEW FLOOR PLANS

A2.1

KEYNOTES	
A1	NEW WOOD DECKING ON TREATED FRAMING PER STRUCTURAL
A2	NEW WOOD STEPS
A3	EXISTING WALL STRUCTURE TO REMAIN
A5	NEW WINDOW UNIT PER SCHEDULE
A6	NEW DOOR AND SIDE LITES PER SCHEDULE, COORDINATE FINAL SELECTION WORKERS
A7	REVISE EXISTING DOOR AND FRAME TO SWING AS INDICATED
A8	NEW INFILL WALL, MATCH FRAMING FINISH w/EXTG ADJACENT
A10	LOW-SLOPE MEMBRANE ROOFING SYSTEM on TAPERED INSULATION SLOPED TO DRAIN MIN. 1/4" PER FT.
A11	NEW STEEL HAND RAIL AT 34" ABOVE NOSING
A12	HEAVY DUTY PRE-FINISHED METAL GUTTER & DOWNSPOUT, PROVIDE HEAT TRACE, TYP.
A13	NEW COMPOSITE FIBER CEMENT BOARD PANEL FINISH w/ 1/2" REVEALS, COORDINATE FINAL SELECTION WORKERS

KEYNOTES	
A14	EXISTING STAIRS TO REMAIN UNALTERED
A15	EXISTING HALF BATH TO REMAIN UNALTERED
A17	3-6x8 TIMBER COLUMNS OR EQUIVALENT EXTERIOR GRADE GLU-LAM PER STRUCTURAL
A20	3/4" COMPOSITE BOARD FASCIA
A21	BUILT UP ROOF CURB, RUN ROOF MEMB. UP AND OVER CURB
A22	PRE-FIN METAL CAP FLASHING w/ DRIP
A23	PROVIDE METAL BASE FLASHING AT SIDING BASE, RUN ROOF MEMB. UP WALL MIN. 8"
A25	METAL GRILL / VERTICAL TRELLIS 'LIVING' SCREEN WALL T.B.D. - COORDINATE WORKERS
A27	NEW CONCRETE ENTRY WALK - COORDINATE FINAL EXTENTS WORKERS
A33	EXISTING WINDOW TO REMAIN



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U.S. DEPARTMENT OF
COMMERCE

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Hamburg Township
Planning and Zoning Department

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R.C.P / POWER PLAN NOTES

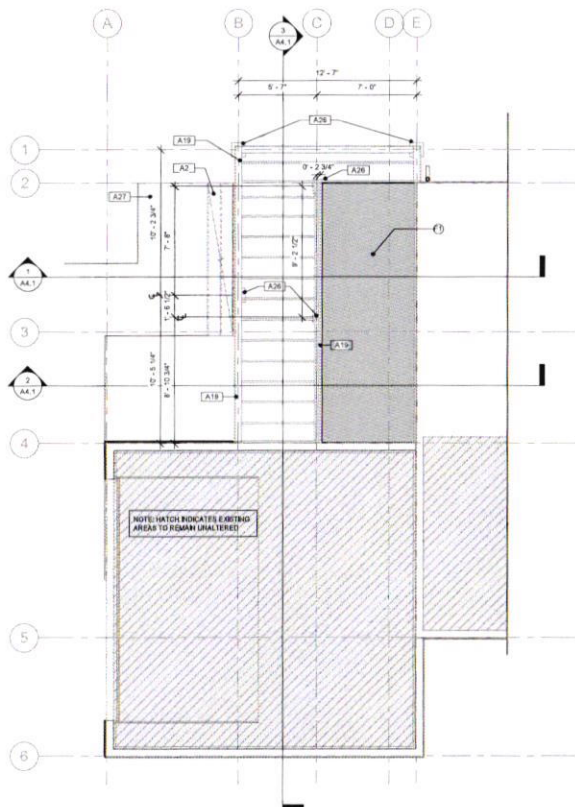
1. MIC HAS NOT PROVIDED ELECTRICAL ENGINEERING FOR THIS PROJECT. THUS THESE TRACES ARE TO BE DESIGNED BY THE ELECTRICAL SUBCONTRACTOR. LIGHTING DESIGN IS CONCEPTUAL & THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR ENGINEERING & INSTALLING THE SYSTEM TO MEET CODES, ORDINANCES, & OTHER REQUIREMENTS & FOR COORDINATION WITH OTHER TRADES.
2. NOT ALL OUTLETS ARE SHOWN. INSTALL OUTLETS AT 12" AFF (TO CENTER) U.N.O.
3. SWITCH LOCATIONS ARE NOT EXACT. ALL SWITCH & PLATE LOCATIONS MUST BE VERIFIED BY ARCHITECTURAL DESIGNER & OWNERS DURING ROUGH ELEC. PHASE. INSTALL SWITCHES AT 48" AFF (TO CENTER) U.N.O. ALL SWITCHES, PLATES & TRIMS TO BE SELECTED BY ARCHITECTURAL DESIGNER & OWNERS.
4. ALL BULBS TO BE 3700K COLOR TEMP. U.N.O.

ELECTRICAL KEY

	DUPLEX OUTLET
	DUPLEX OUTLET - GFI
	SINGLE POLE SWITCH
	2-WAY SWITCH
	3-WAY SWITCH
	THERMOSTAT
	SMOKE DETECTOR
	BATHROOM FAN
	TELEPHONE / DATA

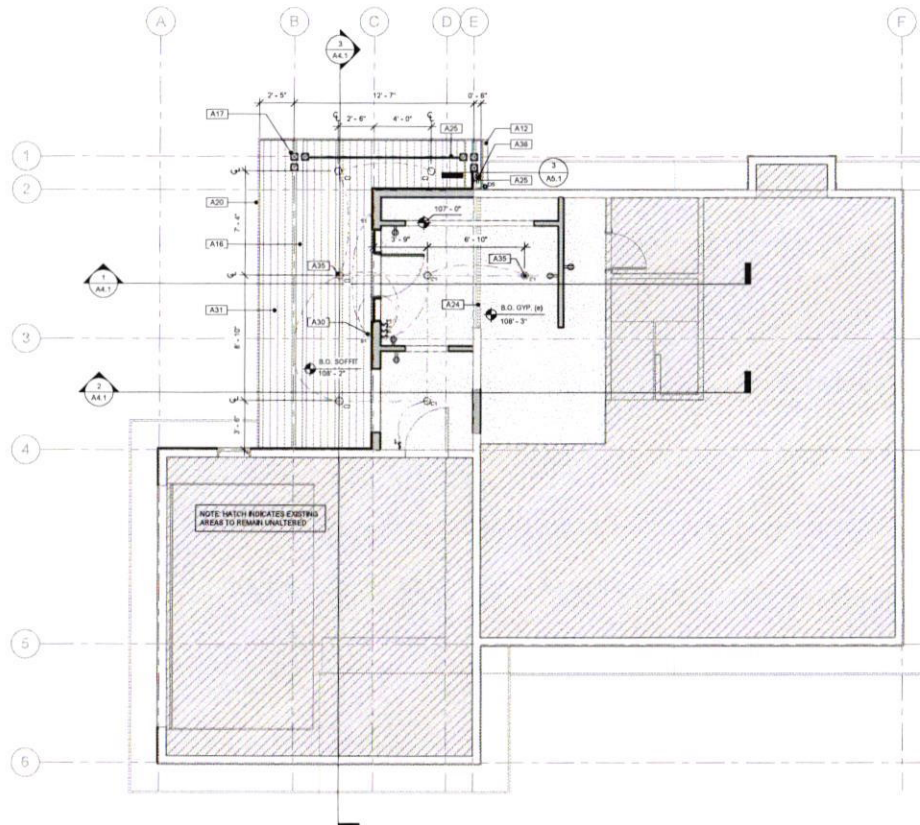
KEYNOTES

A2	NEW WOOD STEPS
A12	HEAVY DUTY PRE-FINISHED METAL GUTTER & DOWNSPOUT, PROVIDE HEAT TRACE, TYP.
A16	6x14 TIMBER BEAM OR EQUIVALENT EXTERIOR GRADE GLU-LAM PER STRUCTURAL (STAIN & SEAL)
A17	3-6x6 TIMBER COLUMNS OR EQUIVALENT EXTERIOR GRADE GLU-LAM PER STRUCTURAL
A19	FLUSH BEAM PER STRUCTURAL
A20	3/4" COMPOSITE BOARD FASCIA
A24	PROVIDE / VERIFY BEAM AT EXT.G. UPPER LEVEL FLOOR CANTILEVER, RE. STRUCTURAL
A25	METAL GRILL / VERTICAL TRELLIS 'LIVING' SCREEN WALL T.B.D. - COORDINATE w/OWNERS
A26	NEW CONCRETE PIER PER STRUCTURAL
A27	NEW CONCRETE ENTRY WALK - COORDINATE FINAL EXTENTS w/OWNERS
A30	NEW EXTERIOR LIGHT FIXTURE T.B.D. - COORDINATE w/OWNERS
A31	1x6 T&G EXTERIOR SOFFIT BOARD w/ BEAD BOARD SOFFIT PANELING - COORDINATE w/OWNERS
A35	NEW CAN LIGHT FIXTURE - COORDINATE w/OWNERS
A36	PROVIDE EXTERIOR DUPLEX OUTLET AT UNDERSIDE OF ROOF SOFFIT FOR HEAT TRACE / SEASONAL LIGHTS POWER



2 MAIN LEVEL FRAMING PLAN

A2.2 1/4" = 1'-0"



1 MAIN LEVEL REFLECTED CEILING PLAN

A2.2 1/4" = 1'-0"



DIGIUSEPPE RESIDENCE RENOVATION

9217 Riverside Drive
Brighton, Michigan

PROJECT NO. 20240111
DESIGN DATE 3-18-2025
REVISED
SUBMITTAL
MAIN LEVEL REFLECTED
CEILING PLAN

A2.2

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AUG 06 2025

Hamburg Township
Planning and Zoning Department

Item 2.

MIC
McAllister Innovative Concepts, LLC

DIGIUSEPPE RESIDENCE RENOVATION

9217 Riverside Drive
Brighton, Michigan

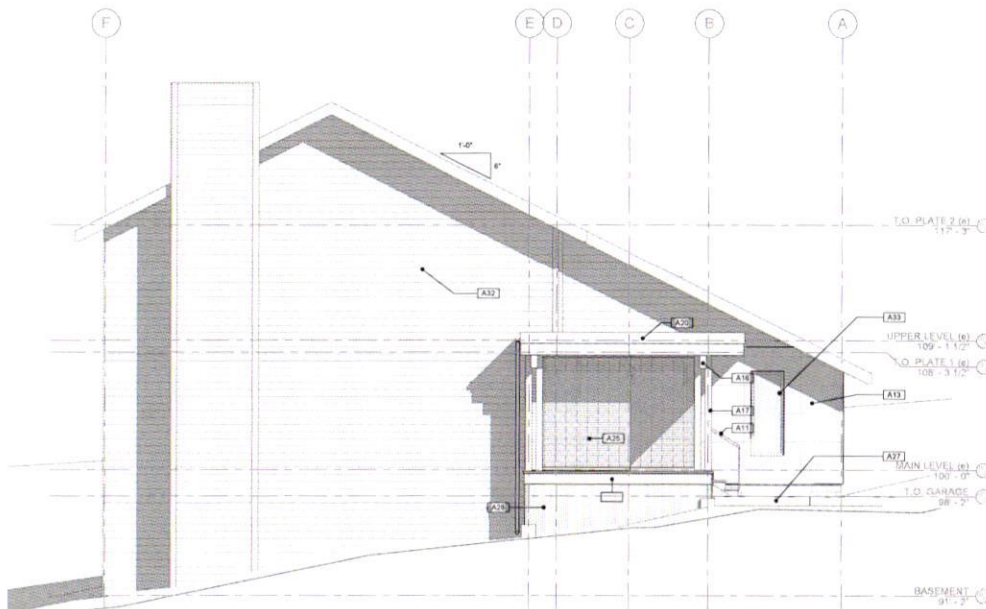
PROJECT No. 2024011
ISSUE DATE 5-18-2025
REVISION

SHEET TITLE
EXTERIOR ELEVATIONS
1 of 2

A3.1

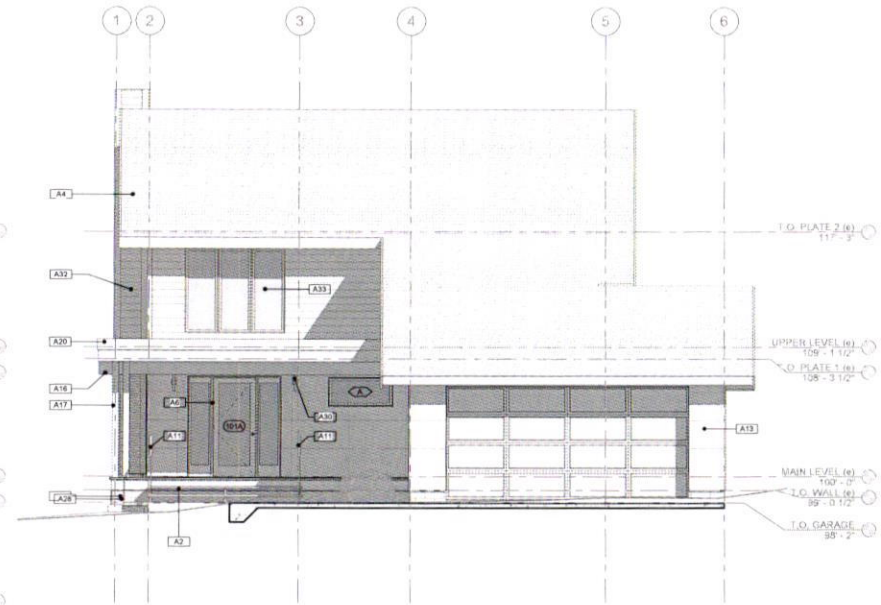
61

KEYNOTES	
A2	NEW WOOD STEPS
A4	EXISTING FLOOR / ROOF STRUCTURE TO REMAIN
A6	NEW DOOR AND SIDE LITES PER SCHEDULE, COORDINATE FINAL SELECTION w/OWNERS
A11	NEW STEEL HAND RAIL AT 34" ABOVE NOSING
A13	NEW COMPOSITE FIBER CEMENT BOARD PANEL FINISH w/ 1/2" REVEALS, COORDINATE FINAL SELECTION w/OWNERS
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A28	CORRUGATED METAL SKIRTING T.B.D. - COORDINATE w/OWNERS
A30	NEW EXTERIOR LIGHT FIXTURE T.B.D. - COORDINATE w/OWNERS
A32	RE-FINISH EXT.G. CEDAR SIDING (STAIN & SEAL)
A33	EXISTING WINDOW TO REMAIN



2 NORTH ELEVATION

A3.1 1/4" = 1'-0"



1 WEST ELEVATION

A3.1 1/4" = 1'-0"

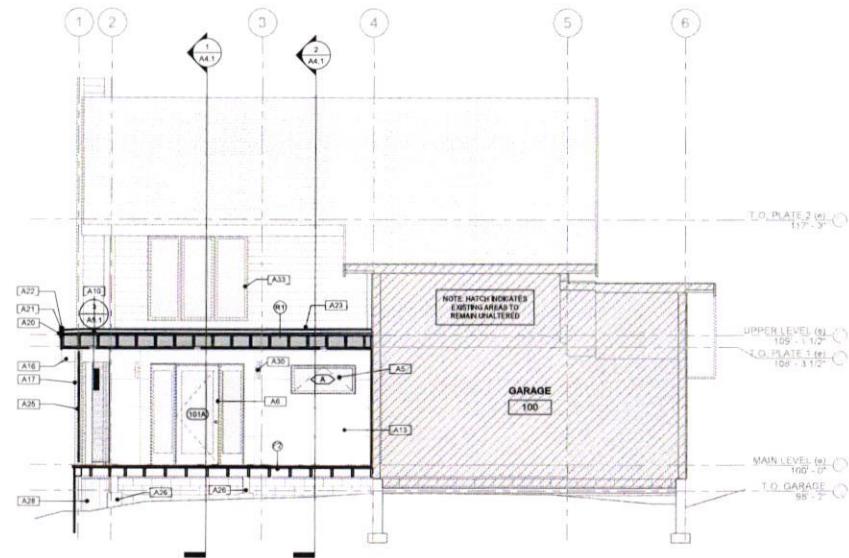


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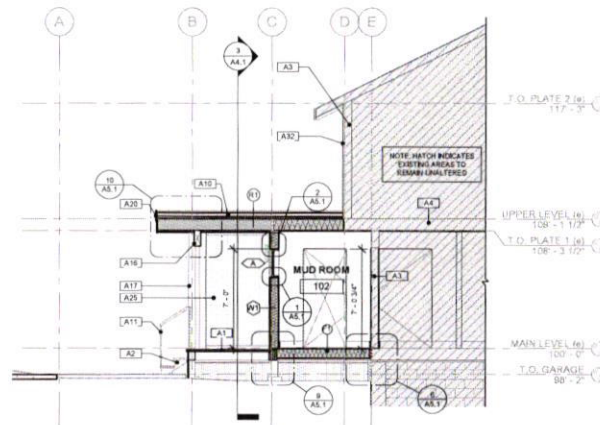
AUG 06 2025

Hamburg Township
Planning and Zoning Department

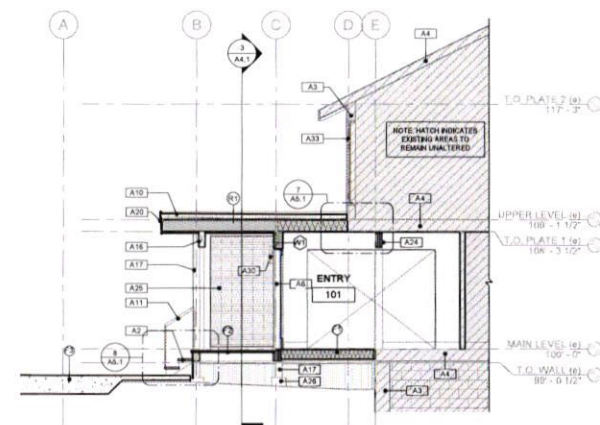
KEYNOTES	
A2	NEW WOOD STEPS
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A24	PROVIDE / VERIFY BEAM AT EXTG. UPPER LEVEL FLOOR CANTILEVER, RE. STRUCTURAL
A25	METAL GRILL / VERTICAL TRELLIS / LIVING SCREEN WALL T.B.D. - COORDINATE w/OWNERS
A26	NEW CONCRETE PIER PER STRUCTURAL
A28	CORRUGATED METAL SKIRTING T.B.D. - COORDINATE w/OWNERS
A30	NEW EXTERIOR LIGHT FIXTURE T.B.D. - COORDINATE w/OWNERS
A32	RE-FINISH EXTG. CEDAR SIDING (STAIN & SEAL)
A33	EXISTING WINDOW TO REMAIN



3 BLDG SECTION 3
A4.1 1/4" = 1'-0"



2 BLDG SECTION 2
A4.1 1/4" = 1'-0"



1 BLDG SECTION 1
A4.1 1/4" = 1'-0"

Item 2.



DIGIUSEPPE RESIDENCE RENOVATION

9217 Riverside Drive
Brighton, Michigan

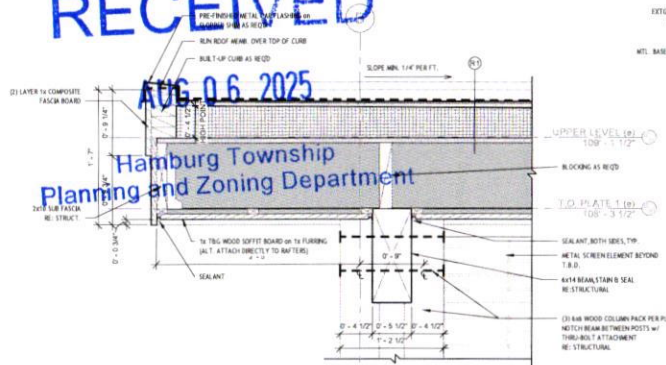
PROJECT NO. 2025011
SUBMITTER 3-18-2025
PERMIT NO.
DATE
BUDGET
BUILDING SECTIONS

A4.1

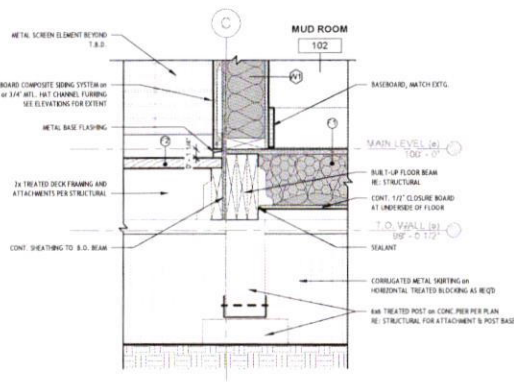
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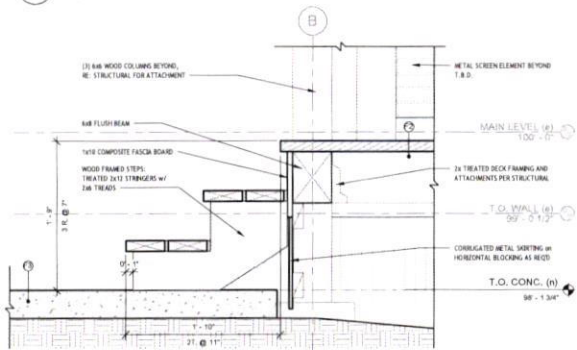
Hamburg Township
Planning and Zoning Department



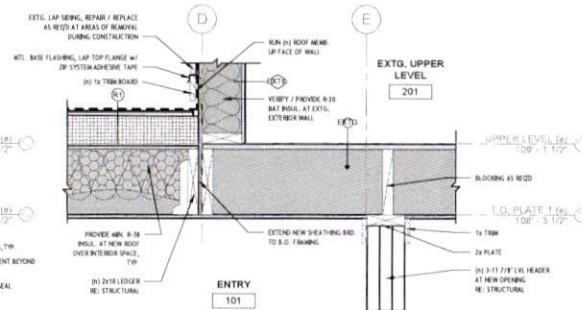
10 DTL - ROOF EDGE
AS.1 1 1/2" = 1'-0"



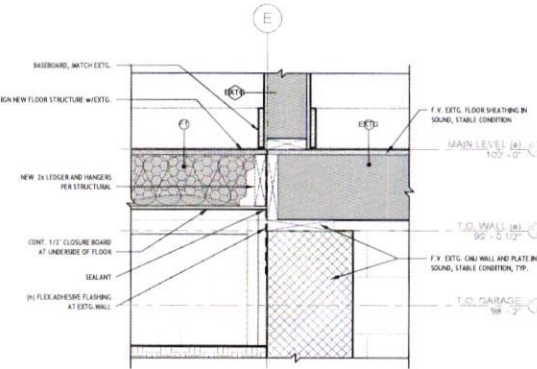
9 DTL - FLOOR BEAM
AS.1 1 1/2" = 1'-0"



8 DTL - DECK EDGE
AS.1 1 1/2" = 1'-0"

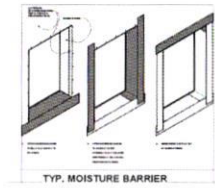


7 DTL - ROOF TRANSITION
AS.1 1 1/2" = 1'-0"

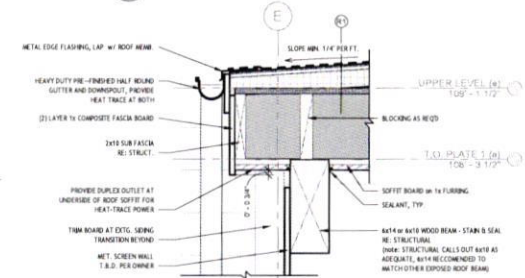


6 DTL- FLR. TRANSITION
A5.1 1 1/2" = 1'-0"

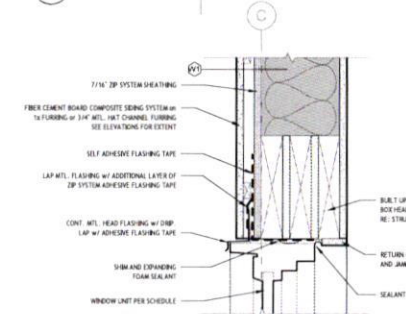
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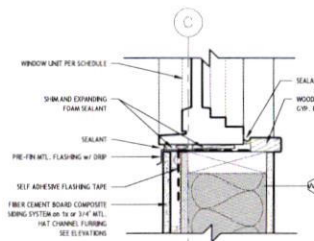
4 WRAP AT WINDOWS
AS.1 1 1/2" = 1'-0"



3 DTL - ROOF GUTTER
A5.1 1 1/2" = 1'-0"



2 DTL - WINDOW HEAD
AS.1 3" = 1'-0"



1 DTL - WINDOW SILL
AS.1 3" = 1'-0"

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OUTLINE SPECIFICATIONS:

1. GENERAL
- A. Three coat Portland cement stucco
2. MATERIALS
- A. Building paper over continuous insulation
- B. Metal lath
- C. Three coats of stucco with base coat T&O
3. PRODUCTS
- A. Formwork
- B. Design and location of expansion joints in the stucco in the exterior walls shall be in accordance with the following:
1. Expansion joints shall be located at the following:
- a. Where building conditions permit
- b. At floor lines in unreinforced framed buildings where a significant change in section occurs
- c. Where the stucco is applied over insulation
- d. Where the stucco is applied over masonry
- e. Where the stucco is applied over concrete
- f. Where the stucco is applied over steel
2. Expansion joints shall be provided at all cold and hot intersections, windows, doors, chimneys, doors, balconies, and other areas as necessary to prevent cracking from spalling during the building process.
3. EXECUTION
- A. Installation of manufacturer's recommendation by contractor with use of the years experience with similar conditions.

2. STAIRWELL DOORS AND FRAMES (Not Applicable)

1. GENERAL
- A. Manufacturer's name and brand
- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
- D. Manufacturer's name and brand
- E. Manufacturer's name and brand
2. QUALITY ASSURANCE
- A. Manufacturer's name and brand
- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
- D. Manufacturer's name and brand
- E. Manufacturer's name and brand
3. PRODUCTS
- A. Manufacturer's name and brand
- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
- D. Manufacturer's name and brand
- E. Manufacturer's name and brand

1. GENERAL
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3. PRODUCTS
- A. Manufacturer's name and brand
- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
- D. Manufacturer's name and brand
- E. Manufacturer's name and brand

3. ALUMINUM WINDOW - THERMALLY BROKEN (Not Applicable)

1. GENERAL
- A. Manufacturer's name and brand
- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
- D. Manufacturer's name and brand
- E. Manufacturer's name and brand
2. QUALITY ASSURANCE
- A. Manufacturer's name and brand
- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
- D. Manufacturer's name and brand
- E. Manufacturer's name and brand
3. PRODUCTS
- A. Manufacturer's name and brand
- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
- D. Manufacturer's name and brand
- E. Manufacturer's name and brand

4. ALUMINUM CLAD WINDOW

1. GENERAL
- A. Manufacturer's name and brand
- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
- D. Manufacturer's name and brand
- E. Manufacturer's name and brand
2. QUALITY ASSURANCE
- A. Manufacturer's name and brand
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3. PRODUCTS
- A. Manufacturer's name and brand
- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
- D. Manufacturer's name and brand
- E. Manufacturer's name and brand

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- E. Manufacturer's name and brand
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- D. Manufacturer's name and brand
- E. Manufacturer's name and brand
3. PRODUCTS
- A. Manufacturer's name and brand
- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
- D. Manufacturer's name and brand
- E. Manufacturer's name and brand

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AUG 06 2025

Hamburg Township
Planning and Zoning Department

A8.1

Item 2.

1. GENERAL
- A. Manufacturer's name and brand
- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
- D. Manufacturer's name and brand
- E. Manufacturer's name and brand
2. QUALITY ASSURANCE
- A. Manufacturer's name and brand
- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
- D. Manufacturer's name and brand
- E. Manufacturer's name and brand
3. PRODUCTS
- A. Manufacturer's name and brand
- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
- D. Manufacturer's name and brand
- E. Manufacturer's name and brand

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- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
- D. Manufacturer's name and brand
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3. PRODUCTS
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- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
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- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
- D. Manufacturer's name and brand
- E. Manufacturer's name and brand
3. PRODUCTS
- A. Manufacturer's name and brand
- B. Manufacturer's name and brand
- C. Manufacturer's name and brand
- D. Manufacturer's name and brand
- E. Manufacturer's name and brand

Hamburg Township
Planning and Zoning Department

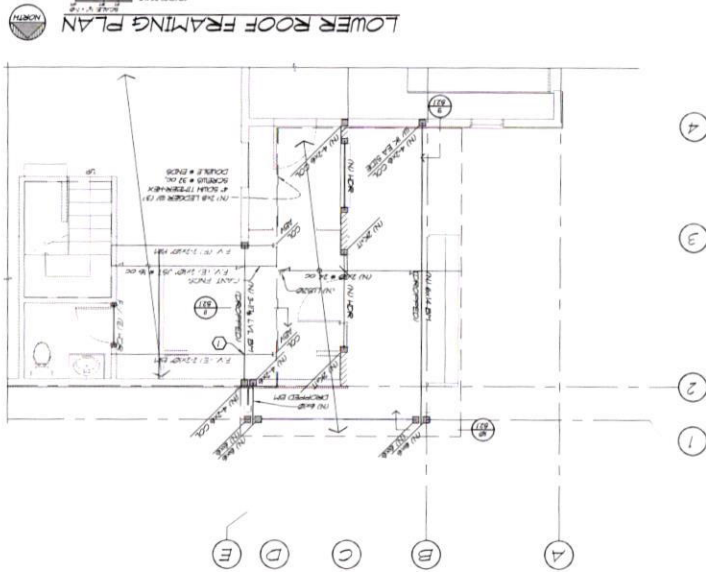


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Hamburg Township
Planning and Zoning Department

1. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE FOR INFORMATION ONLY.
2. THE EXISTING ROOF IS TO BE REMOVED AND A NEW ROOF IS TO BE INSTALLED.
3. THE NEW ROOF IS TO BE A GABLE ROOF WITH A 12:12 PITCH.
4. THE NEW ROOF IS TO BE COVERED WITH ASPH/FLT SHINGLES.
5. THE NEW ROOF IS TO BE VENTED WITH A TYPICAL GABLE VENT.
6. THE NEW ROOF IS TO BE FLASHED AT ALL PENETRATIONS.
7. THE NEW ROOF IS TO BE DRAINED TO THE EXISTING DRAINAGE SYSTEM.
8. THE NEW ROOF IS TO BE INSULATED WITH R-19 INSULATION.
9. THE NEW ROOF IS TO BE FINISHED WITH A GABLE END.
10. THE NEW ROOF IS TO BE BUILT UP TO THE EXISTING FINISH CEILING.
11. THE NEW ROOF IS TO BE BUILT UP TO THE EXISTING FINISH FLOOR.
12. THE NEW ROOF IS TO BE BUILT UP TO THE EXISTING FINISH WALLS.
13. THE NEW ROOF IS TO BE BUILT UP TO THE EXISTING FINISH ROOF.
14. THE NEW ROOF IS TO BE BUILT UP TO THE EXISTING FINISH ROOF.
15. THE NEW ROOF IS TO BE BUILT UP TO THE EXISTING FINISH ROOF.



LOWER ROOF FRAMING PLAN

S1.2



DATE: 01/09/25
JOB # 24000
DRAWN BY: JES
CHECKED BY: JA

9217 RIVERSIDE DR
ADDITION
BRIGHTON, MI

GEBAU INC.

CONSULTING STRUCTURAL ENGINEER
1400 GERRARD STREET EAST, SUITE 200
SCARBOROUGH, ONTARIO M1V 4Y4
Tel: (416) 291-1111
www.gebau.com



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Supervisor Pat Hohl Clerk Mike Dolan Treasurer Jason Negri Trustees Bill Hahn, Patricia Hughes, Chuck Menzies, Cindy Michniewicz

ZONING BOARD OF APPEALS MEETING

Wednesday, July 9, 2025 at 7:00 PM
Hamburg Township Hall Board Room

MINUTES

CALL TO ORDER

Chair Priebe called the meeting to order at 7:00 pm.

PLEDGE TO THE FLAG

ROLL CALL OF THE BOARD

Members PRESENT:

Joanna Hardesty, Trustee
Brian Ignatowski
Joyce Priebe, Chair
William Rill
Jim Hollenbeck, Substitute

ABSENT:

Benedict Russell

CONSENT AGENDA

Approval motion was made by Trustee Hardesty, seconded by Member Hollenbeck, to approve Zoning Board of Appeals Agenda for tonight, as presented.

Voice Vote: Ayes: (5) Absent: (1) Russell

VOTE: MOTION CARRIED UNANIMOUSLY

GENERAL CALL TO THE PUBLIC

Chair Priebe opened the general call to the public, but no one came up to speak so she closed the session.

CURRENT BUSINESS

1. ZBA 25-0006

Owner: Barbara & Michael Toth

Location: 8932 Rushside Dr.

Parcel ID: 4715-17-402-139

Request: Variance application to permit the expansion of the existing sunroom with a setback of 41 ft to the high-water mark of when 50 ft is required per section 36-171(4). Variance request is for 9 ft from the OHM.

Chair Priebe asked the applicants to come to the podium to present their request. Barbara explained that they have lived at this location for several years, and they have expanded the main part of the home for family growth. Now with family visiting here from out of town, they need to expand the Florida Room to allow family dinners together. Family meals together are very important to this couple. Once she was finished, she stepped down.

Chair Priebe asked David to present his staff report to the Zoning Board of Appeals Board Members. David briefly summarized this case and ended by stating it as a case of aging in place with visiting family members who were growing up as well. Member Rill said that the Florida Sunroom is currently closer than 50 ft to the waterbody in the rear yard. David agreed. Rill said that when he visited the site, he found that the neighboring homes were closer to the water's edge than this home was. If given the variance request, their home would be equal distance from the water as their neighbors, so he supports the request.

Trustee Hardesty asked if the correspondence of support was from the next-door neighbors. The applicant said yes. Barbara said that there is a park on one side, but the letters of support were from the neighbor to the south, neighbor on the other side of the park, and neighbors across the street. Member Ignatowski said he spoke with the neighbors, and they said that Barbara and Michael had gone out of their way to ensure all their neighbors knew about this variance request and supported their proposal. He supported the variance request as well. Letters of support were from Alan & Cynthia Oesterle at 8979 Riverside Dr., Kathleen & Donnelly at 8940, 8941 and 8956 Rushside Dr., Bruce & Robert Sabunda at 8892 Rushside Dr, and Michael and Ronda Duran at 8882 Rushside Dr.

Approval motion by Trustee Hardesty, seconded by Member Ignatowski, to approve variance application ZBA 25-0006 at 8932 Rushside Dr. TIC 4715-17-402-139. Applicants request a 9-foot variance (41 ft setback) instead of the required 50 ft setback from the OHM (highwater mark), per Section 36-171 (4). The variance meets variance standards one (1) through seven (7) of Section 36-137 of the Hamburg Township Zoning Ordinance, and a practical difficulty exists on the subject site when strict compliance with the Zoning Ordinance standards is applied, as discussed at the meeting this evening and as presented in the staff report.

Voice Vote: Ayes: (5) Absent: (1) Russell

VOTE: MOTION CARRIED UNANIMOUSLY

APPROVAL OF THE MEETING MINUTES

Approval motion was made by Member Rill, seconded by Member Hollenbeck, to approve June 11, 2025 Zoning Board of Appeals Meeting Minutes as presented.

Voice Vote: Ayes: (5) Absent: (1) Russell

VOTE: MOTION CARRIED UNANIMOUSLY

ADJOURNMENT

Approval motion was made by Trustee Hardesty, seconded by Rill, to adjourn at 7:19 pm.

Voice Vote: Ayes: (5) Absent: (1) Russell

VOTE: MOTION CARRIED UNANIMOUSLY

Respectfully submitted,

Lisa Perschke

Planning/Zoning Coordinator & Recording Secretary

David Rohr

Planning & Zoning Director

The minutes were approved as presented/corrected: _____

Joyce Priebe, Chair