



# CITY OF GROSSE POINTE WOODS

## REGULAR CITY COUNCIL MEETING AGENDA

**Monday, December 15, 2025 at 7:00 PM**

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*Robert E. Novitke Municipal Center - Council Chambers/Municipal Court,  
20025 Mack Plaza, Grosse Pointe Woods, MI 48236  
(313) 343-2440*

**1. CALL TO ORDER**

A. Administrative Memo: December 11, 2025

**2. ROLL CALL**

**3. PLEDGE OF ALLEGIANCE**

**4. RECOGNITION OF COMMISSION MEMBERS**

**5. ACCEPTANCE OF AGENDA**

**6. CONSENT AGENDA**

**A. Re-Appointments**

1. Re-Appointments to Commissions and Boards  
a) Memo 12/12/25 - Administrative Clerk Coyle

**B. Approval of Minutes**

1. Council 12/01/25  
2. Committee-of-the-Whole 12/01/25

**C. Items Received and Placed on File**

1. Planning Commission Minutes 10/28/25  
2. Citizens' Recreation Commission Minutes 11/18/25 with recommendation

**D. Financial Reports**

1. Monthly Financial Report: November 2025

**E. Bids/Proposals/Contracts**

1. Personnel Matters (Succession Plan - Administration)  
a) Council Minutes Excerpt 10/20/25  
b) Memo 09/30/25 - City Administrator (Manager) Schulte  
c) Employment Agreement - Susan Como  
d) Memo 12/11/25 - City Manager Schulte

**F. Claims and Accounts**

1. Anderson, Eckstein & Westrick, Inc. (AEW) - City Engineers  
a) Vernier Rd. & Mack Ave. Intersection Improvement - Invoice No. 161913 - Proj. No.

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cc: Council - 7  
City Manager  
City Attorney

Treasurer/Comptroller  
City Clerk  
Email Group/Media

Assistant City Manager  
Post - 3



0160-0455 - 11/24/25 - \$10,469.43.

b) 2025 Miscellaneous Concrete Program - Invoice No. 161915 - Proj. No. 0160-0493 - 11/24/25 - \$7,882.65.

c) 2025 Sewer Rehab Program - Invoice No. 161916 - Proj. No. 0160-0495 - 11/24/25 - \$7,892.85.

d) Wedgewood Resurface (Vernier-Hawthorne) - Invoice No. 161917 - Proj. No. 0160-0496 - 11/24/25 - \$7,772.86.

e) 2025-2026 General Engineering - Invoice No. 161918 - Proj. No. 0160-0498 - 11/24/25 - \$2,117.04.

f) 2025-2026 GIS Maintenance - Invoice No. 161919 - Proj. No. 0160-0499 - 11/24/25 - \$1,769.12.

g) 2025 Joint & Crack Sealing Program - Invoice No. 161925 - Proj. No. 0160-0494 - 11/25/25 - \$8,333.00.

h) Lee Ct., Doyle Ct. & Thorntree Water Mains - Invoice No. 161926 - Proj. No. 0160-0497 - 11/25/25 - \$15,300.00.

i) Ghesquiere & Lakefront Park Bldg Renovations - Invoice No. 162029 - Proj. No. 0160-0479 - 11/26/25 - \$399.99.

j) 2025 Concrete Pavement Repair Program - Proj. No. 0160-0493 - Payment Invoice 01 - Mattioli Cement Co., LLC - 10/30/25 - \$342,353.98.

k) 2025 Concrete Pavement Repair Program - Proj. No. 0160-0493 - Payment Invoice 02 - Mattioli Cement Co., LLC - 11/25/25 - \$70,858.78.

l) 2025 Sewer Rehabilitation by Full Length CIPP Lining - Proj. No. 0160-0495 - Payment Invoice No. 01 - Insituform Technologies USA, LLC - 12/08/25 - \$51,874.65.

2. Hallahan & Associates, P.C. - Professional Services - Invoice No. 23418 - November 2025 - 12/01/25 - \$105.64.

3. McKenna - Building Services - Invoice No. 21849-115 - October 2025 - 11/25/25 - \$60,074.57.

4. State of Michigan - MDOT 00183

a) Program #218128CON (Vernier Rd.) - 11/04/25 - \$34,168.23.

b) Program #219533CON (Sunningdale Dr.) - 11/04/25 - \$4,530.79.

5. York, Dolan & Tomlinson, P.C. - Legal Services - Invoice No. 349 - November 2025 - 12/01/25 - \$2,092.50.

## **7. PRESENTATION**

### **A. Oath of Office**

1) City Manager - Susan Como

## **8. ORDINANCE**

### **A. First Reading: Rezoning (Map Amendment) 1925 Vernier Road (RO-1, Restricted Office District to C, Commercial Business District)**

1) City Planner's Report: 12/03/25 - McKenna/City Planner Jankowski

2) Letter of Intent: 10/21/25 - Applicant's Attorney Berschback

3) Rezoning Application

4) Supporting documents for Rezoning Application

5) Planning Commission Minutes Excerpt 12/09/25



- 5) Affidavit of Property Owners Notified with List & Parcel Map
- 6) Affidavit of Legal Publication

B. First Reading: Rezoning (Map Amendment) 21800 Marter Rd. (R-3, Planned Multiple Family Residential to CF, Community Facilities)

- 1) City Planner's Report: 12/03/25 - McKenna/City Planner Smith
- 2) Letter of Intent: 10/27/25 - John Vitale
- 3) Rezoning Application
- 4) Letter of Opposition (1)
- 5) Letters of Support (7)
- 6) Assumption Church Sports Facility Site Plans -Stucky-Vitale Architects
- 7) Planning Commission Minutes Excerpt 12/09/25
- 8) Affidavit of Property Owners Notified with List & Parcel Map
- 9) Affidavit of Legal Publication

C. First Reading: Conditional Rezoning (Map Amendment) Review #2 - 20160 Mack Avenue (RO-1, Restricted Office District to C, Commercial Business District, Conditionally)

- 1) City Planner's Report: 11/13/25 - McKenna/City Planner Jankowski
- 2) Letter of Intent: 09/30/25 - John Vitale
- 3) Rezoning Application
- 4) Proposed List of Voluntary Conditions by the Applicant: 09/30/25 - Buccellato Development, Property Owner
- 5) Mixed-Use Development Site Plans: 09/30/25 - Stucky-Vitale Architects
- 6) Development Impact Statement: 09/26/25 - Stonefield Engineering & Design
- 7) Trip Generation Analysis: 09/11/25 - Fleis & Vandenbrink
- 8) Letter of Opposition: 11/18/25
- 9) Planning Commission Minutes Excerpt 12/09/25
- 10) Affidavit of Property Owners Notified with List & Parcel Map
- 11) Affidavit of Legal Publication

**9. NEW BUSINESS/PUBLIC COMMENT**

We welcome comments from residents. If you wish to speak, please state your name and address. You will have a maximum of three (3) minutes to address the City Council. City Council members will listen to your concerns, but will not answer questions. If you have a question or need additional information, we will be happy to direct you to the appropriate person after the meeting. Thank you for your cooperation.

**10. ADJOURNMENT**

**Paul P. Antolin, MiPMC  
City Clerk**

IN ACCORDANCE WITH PUBLIC ACT 267 (OPEN MEETINGS ACT)  
POSTED AND COPIES GIVEN TO NEWSPAPERS

The City of Grosse Pointe Woods will provide necessary, reasonable auxiliary aids and services, such as signers for the hearing impaired, or audio tapes of printed materials being considered at the meeting to individuals with disabilities. All such requests must be made at least five days prior to a meeting. Individuals with disabilities requiring auxiliary aids or services should contact the City of Grosse



Pointe Woods by writing or call the City Clerk's office, 20025 Mack Plaza, Grosse Pointe Woods, MI 48236 (313) 343-2440 or Telecommunications Device for the Deaf (TDD) 313 343-9249

**\*\*\* NOTE TO PETITIONERS: YOU, OR A REPRESENTATIVE, ARE REQUESTED TO BE IN ATTENDANCE AT THE MEETING SHOULD THE COUNCIL HAVE QUESTIONS REGARDING YOUR REQUEST. \*\*\***



OFFICE OF THE CITY MANAGER

**Subject: Recommendations for the Rescheduled Council Meeting of December 15, 2025**

Item 1 **CALL TO ORDER**

Prerogative of the Mayor to call this meeting to order.

Item 2 **ROLL CALL**

Prerogative of the Mayor to request a Roll Call from the City Clerk.

Item 3 **PLEDGE OF ALLEGIANCE**

Prerogative of the Mayor to lead the City Council, Administration, and members of the audience in the Pledge of Allegiance.

Item 4 **RECOGNITION OF COMMISSION MEMBERS**

Prerogative of the Mayor to request Commission Members in attendance at tonight's meeting to approach the podium and introduce themselves and the Commission on which they serve.

Item 5 **ACCEPTANCE OF THE AGENDA**

Prerogative of the City Council that all items on tonight's agenda be received, placed on file, and taken in order of appearance.

Item 6 **CONSENT AGENDA**

All items listed under the consent agenda are considered routine by the Council and will be enacted by one motion and a second. There will be no separate discussion of these items. If discussion of an item is required, it will be removed from the consent agenda and considered. One member may request that an item be removed and no second is required.

Prerogative of the City Council to approve all items (6A-6F) listed under the consent agenda as presented.

**A. Re-Appointments**

1. Re-Appointments to Commissions and Boards
  - a) Memo 12/12/25 - Administrative Clerk Coyle

**B. Approval of Minutes**

1. Council 12/01/25
2. Committee-of-the-Whole 12/01/25



**C. Items Received and Placed on File**

1. Planning Commission Minutes 10/28/25
2. Citizens' Recreation Commission Minutes 11/18/25 with recommendation\*

\*This recommendation was addressed at the 12/01/25 Council meeting.

**D. Financial Reports**

1. Monthly Financial Report: November 2025

**E. Bids/Proposals/Contracts**

1. Personnel Matters (Succession Plan - Administration)
  - a) Council Minutes Excerpt 10/20/25
  - b) Memo 09/30/25 - City Administrator (Manager) Schulte
  - c) Employment Agreement - Susan Como
  - d) Memo 12/11/25 - City Manager Schulte

**F. Claims and Accounts**

1. Anderson, Eckstein & Westrick, Inc. (AEW) - City Engineers
  - a) Vernier Rd. & Mack Ave. Intersection Improvement - Invoice No. 161913 - Proj. No. 0160-0455 - 11/24/25 - \$10,469.43.
  - b) 2025 Miscellaneous Concrete Program - Invoice No. 161915 - Proj. No. 0160-0493 - 11/24/25 - \$7,882.65.
  - c) 2025 Sewer Rehab Program - Invoice No. 161916 - Proj. No. 0160-0495 - 11/24/25 - \$7,892.85.
  - d) Wedgewood Resurface (Vernier-Hawthorne) - Invoice No. 161917 - Proj. No. 0160-0496 - 11/24/25 - \$7,772.86.
  - e) 2025-2026 General Engineering - Invoice No. 161918 - Proj. No. 0160-0498 - 11/24/25 - \$2,117.04.
  - f) 2025-2026 GIS Maintenance - Invoice No. 161919 - Proj. No. 0160-0499 - 11/24/25 - \$1,769.12.
  - g) 2025 Joint & Crack Sealing Program - Invoice No. 161925 - Proj. No. 0160-0494 - 11/25/25 - \$8,333.00.
  - h) Lee Ct., Doyle Ct. & Thorntree Water Mains - Invoice No. 161926 - Proj. No. 0160-0497 - 11/25/25 - \$15,300.00.
  - i) Ghesquiere & Lakefront Park Bldg Renovations - Invoice No. 162029 - Proj. No. 0160-0479 - 11/26/25 - \$399.99.
  - j) 2025 Concrete Pavement Repair Program - Proj. No. 0160-0493 - Payment Invoice 01 - Mattioli Cement Co., LLC - 10/30/25 - \$342,353.98.
  - k) 2025 Concrete Pavement Repair Program - Proj. No. 0160-0493 - Payment Invoice 02 - Mattioli Cement Co., LLC - 11/25/25 - \$70,858.78.
  - l) 2025 Sewer Rehabilitation by Full Length CIPP Lining - Proj. No. 0160-0495 - Payment Invoice No. 01 - Insituform Technologies USA, LLC - 12/08/25 - \$51,874.65.



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3. McKenna - Building Services - Invoice No. 21849-115 - October 2025 - 11/25/25 - \$60,074.57.
4. State of Michigan - MDOT 00183
  - a) Program #218128CON (Vernier Rd.) - 11/04/25 - \$34,168.23.
  - b) Program #219533CON (Sunningdale Dr.) - 11/04/25 - \$4,530.79.
5. York, Dolan & Tomlinson, P.C. - Legal Services - Invoice No. 349 - November 2025 - 12/01/25 - \$2,092.50.

Item 7      PRESENTATION

Item 7A     OATH OF OFFICE

Prerogative of the Mayor to ask the City Clerk to administer the Oath of Office to Susan Como, who will be serving as the City Manager, effective January 2, 2026.

Item 8      ORDINANCES

Item 8A     FIRST READING: REZONING (MAP AMENDMENT) 1925 VERNIER ROAD (RO-1, RESTRICTED OFFICE DISTRICT TO C, COMMERCIAL BUSINESS DISTRICT)

Prerogative of City Council to concur with the City Planner's and Planning Commission's recommendations and approve the first reading of the ordinance and zoning map amendment for the proposed rezoning at 1925 Vernier Road from the RO-1, Restricted Office District to the C, Commercial Business District, based on the following findings of fact and set a date of January 5, 2026 (confirm if there is a quorum), for a second reading and final adoption, and to authorize the City Clerk to publish same by title in the Grosse Pointe News:

- a. *This rezoning is consistent with 2024 Master Plan, including the goal of Economic Development: Elevate Mack Avenue as a thriving, vibrant commercial corridor that meets the daily needs of residents and is a destination for visitors.*
- b. *This rezoning brings the site closer to the intentions of the 2024 Master Plan's Future Land Use Plan, which designates the site as "Corridor Mixed Use".*
- c. *The uses permitted in the C, Commercial Business District, including a mix of retail, office, restaurant, and residential uses, are generally compatible with the commercial nature of this corner of Vernier Road and Mack Avenue. The proposed uses have been operating on the subject site for almost two decades. While the property does abut residential properties, there is currently an alley and fencing along the rear property line which will continue to serve as a buffer.*



- d. *The proposed site meets all Zoning Ordinance dimensional requirements of the C, Commercial Business District. The proposed rezoning does not create a non-conforming situation.*
- e. *The rezoning is not anticipated to significantly alter traffic generation in the area. There is no change in use proposed at this time, and the uses are anticipated to generate comparable amounts of traffic to what has existed at the site for the past two decades.*

Item 8B FIRST READING: REZONING (MAP AMENDMENT) 21800 MARTER ROAD (R-3, PLANNED MULTIPLE FAMILY RESIDENTIAL TO CF, COMMUNITY FACILITIES)

Prerogative of City Council to concur with the City Planner's and Planning Commission's recommendations and approve the first reading of the ordinance and zoning map amendment for the proposed rezoning at 21800 Marter Road from the R-3, Planned Multiple Family Residential to the CF, Community Facilities, based on the following findings of fact and set a date of January 5, 2026 (confirm if there is a quorum), for a second reading and final adoption, and to authorize the City Clerk to publish same by title in the Grosse Pointe News:

- a. *The rezoning is consistent with Goal #4 – Community Character: Strengthen sense of place, identity, and character from the 2024 Master Plan.*
- b. *The rezoning brings the site closer to the intentions of the 2024 Master Plan's Future Land Use Plan, which designates the site as "Institutional".*
- c. *The uses permitted in the C-F, Community Facilities District, including space for public activities, schools, continuing care retirement communities, and public and private nonprofit recreational areas, are consistent with the proposed recreation facility that has been approved in St. Clair Shores.*

Item 8C FIRST READING: CONDITIONAL REZONING (MAP AMENDMENT) REVIEW #2 – 20160 MACK AVENUE (RO-1, RESTRICTED OFFICE DISTRICT TO C, COMMERCIAL BUSINESS DISTRICT, CONDITIONALLY)

Prerogative of City Council to concur with the City Planner's and Planning Commission's recommendations and approve the first reading of the ordinance and zoning map amendment for the proposed conditional rezoning at 20160 Mack Avenue from the RO-1, Restricted Office District to the C, Commercial Business District (Conditionally), based on the following findings of fact and set a date of January 5, 2026 (confirm if there is a quorum), for a second reading and final adoption, and to authorize the City Clerk to publish same by title in the Grosse Pointe News:

- a. *This rezoning and proposed development is consistent with numerous goals from the 2024 Master Plan, including Goal #1 - Housing: Provide a range of housing choices for all ages, abilities, and incomes; Goal #2 – Economic Development: Elevate Mack Avenue as a thriving, vibrant commercial corridor that meets the daily needs of residents and is a destination for visitors; and Goal # 3 – Community Character:*



*Strengthen sense of place, identity, and character throughout the City and its neighborhoods.*

- b. This rezoning brings the site closer to the intentions of the 2024 Master Plan's Future Land Use Plan, which designates the site as "Corridor Mixed Use".*
- c. The uses permitted in the C, Commercial Business District, including a mix of retail, office, restaurant, and residential uses, are generally compatible with the commercial nature of Mack Avenue surrounding this property. The applicant must provide appropriate buffering between adjacent properties of dissimilar zoning, per the requirements of the Ordinance, during the site plan review process.*
- d. While the Voluntary Conditions offered by the applicant place an additional limitation on the type of future occupancy, i.e.: "The property shall be limited to one potential "quick services restaurant" with no drive-through and shall not exceed 3,200 square feet", restaurants are subject to the City's Special Land Use process. Should a restaurant be proposed in the future, an additional public hearing and review of the specific use (including maximum occupancy, square footage, available parking, loading, etc.) will be evaluated for compliance with the Zoning Ordinance.*
- e. The site meets all Zoning Ordinance dimensional requirements of the C, Commercial Business District. The rezoning allows for a buildable lot and does not create a non-conformity.*
- f. The rezoning is not anticipated to significantly alter traffic generation in the area. The proposed uses are anticipated to generate comparable amounts of traffic to that of an operating medical office, and pedestrian and non-motorized transportation safety is expected to be improved through sidewalk connectivity and the reduction of a driveway.*
- g. The design of the building follows traditional, high quality architectural design which is encouraged by the Zoning Ordinance and is largely compatible with the Mack Avenue Corridor and surrounding neighborhoods.*

Item 9      NEW BUSINESS/PUBLIC COMMENT

Prerogative of the Mayor to ask if there is any New Business to come before the City Council from the City Council or Administration; and then, to ask members of the audience if there is any Public Comment to come before the City Council.

\*Reiterate the 3-minute time limit and Public Comment Sign-up Sheet.

Item 10      ADJOURNMENT

Upon the conclusion of New Business/Public Comment with no further business to be conducted by the City Council, prerogative of the City Council to motion for adjournment of tonight's meeting.

Respectfully submitted,



Frank Schulte  
City Manager



# MEMO

**TO:** Paul Antolin  
**FROM:** Elise Coyle  
**RE:** Re-Appointments to Commission and Boards  
**DATE:** 12/12/25

Mayoral – shaded      Council Appointment – unshaded

Commissions – Citizen Re-Appointments					
Appointed by	Authority	Commission	Name	Address	Term Expiration
Mayor	City Code Sec. 2-501; 3-yr staggered term, 15 members	Beautification Advisory Commission	Rachelle Koester	1711 Huntington Blvd., GPW	12/31/28
			Debra McCarthy	20045 E. Ballantyne Ct., GPW	12/31/28
			Andrea Champagne	804 N. Brys, GPW	12/31/28
			Linda Elich	1634 Aline, GPW	12/31/28
			Philip J. Hage	21890 Van K. Dr, GPW	12/31/28
			*Still need response from one member		12/31/28
			VACANCIES (2)		



## Commissions – Citizen Re-Appointments

Appointed by	Authority	Commission	Name	Address	Term Expiration
<b>Mayor</b>	By-Laws, 11 members, 3-yr staggered terms; Sec. 2-380	<b>Community Tree Commission</b>	Mary Ellen Meyering	620 S. Oxford, GPW	12/31/28
			Kate Colborn	2009 Lochmoor, GPW	12/31/28
			<b>VACANCY (4)</b>		
<b>Mayor</b>	Council Resolution 8-20-79, By Laws, Sec. 2-494; 3-yr. staggered term, 11 members	<b>Historical Commission</b>	Rebecca Veitengruber	1504 Edmundton Dr., GPW	12/31/28
			Colleen D'Agostino	2120 Stanhope Dr., GPW	12/31/28
			Suzanne D. Kent	1992 Fleetwood Dr., GPW	12/31/28
			Lynne Millies	1749 Prestwick, GPW	12/31/28
			<b>VACANCY (1)</b>		
<b>Mayor</b>	City Code 2-406, 5-yr staggered term, 5 members	<b>Local Officers' Compensation Commission</b>	NONE		
<b>Mayor</b>	Section 2-441a City Charter, 3-yr. staggered term, 9 members	<b>Planning Commission</b>	Christian A. Fenton	1824 Hollywood, GPW	12/31/28
			Grant P. Gilezan	1213 Sunningdale, GPW	12/31/28
			William Marx	853 Crescent Ln., GPW	12/31/28
<b>Mayor</b>	9 members, 7-general community-3-yr terms, 2-senior groups & community interest – 1 yr. terms	<b>Senior Citizens' Commission</b>	Catherine Dumke	20081 E. Ballantyne Ct., GPW	12/31/28



## Commissions – Citizen Re-Appointments

Appointed by	Authority	Commission	Name	Address	Term Expiration
			Karen McLeod	1109 Hampton Rd., GPW	12/31/28
			Heidi Uhlig-Johnstone	158 Ridge Rd, GPW	12/31/28
			Ronald Wehrmann	2041 Norwood, GPW	12/31/28
			Donald Witt	1658 Anita, GPW	12/31/28
<b>Council</b>	By-Laws; 9 members, 3-yr staggered terms	<b>Citizens' Recreation Commission</b>	Melinda Billingsley	20143 Doyle Ct., GPW	12/31/28
			Abigail Klotz	1966 Ridgemont, GPW	12/31/28
			Amanda York	2111 Beaufait Dr., GPW	12/31/28
<b>Council</b>	Section 3-13 City Charter	<b>Election Commission</b>	NONE		
<b>Council</b>	3-yr staggered term; 3 members Art. Of Inc 7/22/29	<b>Building Authority Committee</b>	Grant P. Gilezan	1213 Sunningdale, GPW	12/31/28
			<b>VACANCY (1)</b>		



## Boards – Citizen Re-Appointments

Appointed by	Authority	Board	Name	Address	Term Expiration
Mayor	M.C.L. 125.1514, 3-7 members, 2-yr. staggered terms	Construction Board of Appeals	Donald Morrisett	749 Roslyn, GPW	12/31/27
			John Vitale	20771 Wedgewood, GPW	12/31/27
Mayor	City Code Sec. 44-230c	Downspout Board of Appeals	NONE		
Mayor	Section 2-286, City Code "Retirement System"	Pension Board	Gary Zarb	682 Anita, GPW	12/31/28
Council	MCL 211.29 Sec. 28 (2) (3), 3-yr. staggered terms	Board of Review	Sandy Nelson	1063 Hawthorne, GPW	1/1/28
			Jeffrey Steiber	967 Hawthorne, GPW	1/1/28



MINUTES OF THE RESCHEDULED CITY COUNCIL MEETING OF THE CITY OF GROSSE POINTE WOODS HELD ON MONDAY, DECEMBER 1, 2025, IN THE COUNCIL-COURTROOM OF THE ROBERT E. NOVITKE MUNICIPAL CENTER, 20025 MACK PLAZA DR., GROSSE POINTE WOODS, MICHIGAN.

The meeting was called to order at 7:30 p.m. by Mayor Bryant.

PRESENT: Mayor Bryant  
Council Members: Gafa, Granger, Koester, McConaghy, Motschall  
ABSENT: Brown

Also Present: City Manager Schulte  
Assistant City Manager Como  
City Attorney Tomlinson  
City Treasurer/Comptroller Schmidt  
City Clerk Antolin  
Director of Public Safety Kosanke

**Motion** by Motschall, seconded by McConaghy, that Councilmember Brown be excused from tonight's meeting.

Motion carried by the following vote:

Yes: Bryant, Gafa, Granger, Koester, McConaghy, Motschall  
No: None  
Absent: Brown

Council, Administration, and the audience Pledged Allegiance to the U.S. Flag.

The following Commission members were in attendance:

- Catherine Dumke, Senior Citizens' Commission

**Motion** by Gafa, seconded by McConaghy, that all items on tonight's **agenda be received, placed on file, and taken in order of appearance.**

Motion carried by the following vote:

Yes: Bryant, Gafa, Granger, Koester, McConaghy, Motschall  
No: None  
Absent: Brown



**Motion** by Granger, seconded by Gafa, that all items (6A-6F) on the consent agenda be approved as presented.

**A. Appointment(s)**

1. Appointments to Commissions and Boards
  - a) Memo 11/25/25 - Administrative Clerk Coyle
  - b) Biographical Sketches:
    - 1) Michael Ellis - Planning Commission
    - 2) John Schulte - Planning Commission
    - 3) Jason Gaidis - Citizens' Recreation Commission
    - 4) Ghassan Elia - Construction Board of Appeals
    - 5) Christopher Stump - Board of Review (Alternate)

**B. Approval of Minutes**

1. Council 11/17/25
2. Zoning Board of Appeals 11/17/25

**C. Items Received and Placed on File**

1. Citizens' Recreation Commission 10/14/25 with recommendations\*
  - \*Recommendation to approve Option 1 of AEW's presentation for new pickleball courts at Ghesquiere Park.
  - \*Will pilot a Youth Advisory Committee under supervision of the Recreation Commission beginning January 2026.

**D. Financial Report(s)**

1. FYE 2025 Audit Report - Plante Moran
  - a) Letter 11/07/25 - Plante Moran (Grosse Pointe Woods Audit)
  - b) Annual Comprehensive Financial Report FYE, June 30, 2025
  - c) Letter 11/07/25 - Plante Moran (Municipal Court Audit)
  - d) Financial Report (Municipal Court) with Supplementary Information FYE, June 30, 2025

\*Please refer to the 12/01/25 Committee-of-the-Whole agenda item 4A.

**E. Bids/Proposals/Contracts**

1. 2026 Commission Appreciation Reception
  - a) Memo 11/25/25 - Assistant City Manager Como
2. Purchase of Public Safety K9 Vehicle and Equipment - Budget Amendment
  - a) Memo 11/24/25 - Director of Public Safety Kosanke
  - b) Quote 10/14/25 - Berger Chevrolet, Inc.
  - c) Quote 176463 11/17/25 - Canfield Equipment Service, Inc.
  - d) Quote PRLV784 11/20/25 - CDW-G



- e) Quote 11/21/25 - Majik Graphics
  - f) Quote - Dell Technologies
  - g) Quote 1615119322 11/20/25 - Midwest Public Safety (MPS)
  - h) Quote 3388797 11/14/25 - Motorola Solutions
3. MIDC Grant Agreement FY 2025-2026 and the Grosse Pointe Woods Indigent Defense/Independent Contractor Agreement for the Managed Assigned Counsel Coordinator Serving the 32F Municipal Court Agreement between the City and Michael P. Kavanaugh
- a) Memo 11/24/25 - Assistant City Manager
  - b) Proposed MIDC Grant Agreement FY 2025-2026
  - c) Proposed Independent Contractor Agreement for the Managed Assigned Counsel Coordinator Serving the 32F Municipal Court
  - d) Certificate of Liability Insurance

**F. Claims and Accounts**

- 1. Rosati, Schultz, Joppich & Amtsbuechler, P.C. - Legal Services - Invoice No. 1084588 - October 2025 - 11/13/25 - \$6,868.80.
- 2. WCA Assessing - Assessing Services - Invoice No. 111425 - December 2025 - 11/14/25 - \$7,911.08.

Motion carried by the following vote:

Yes: Bryant, Gafa, Granger, Koester, McConaghy, Motschall  
No: None  
Absent: Brown

Under New Business, the following individuals were heard:

- Councilmember Koester commented on placing future Planning Commission candidates on a Committee-of-the-Whole agenda to discuss appointments/re-appointments and tenures. Councilmember McConaghy concurred and suggested implementing this process for all commissions. There was a majority consensus of the Council with this suggestion.

Under Public Comment, the following individual was heard:

- 1. Christina Pitts, 1501 Oxford Rd., addressed her letter dated November 5, 2025, requesting a meeting with the Mayor, Code Enforcement Officer, and City Planner to discuss the interpretation of the sign ordinance and enforcement.
- 2. Lynne Aldrich, 1501 Oxford Rd., addressed rezoning issues and the appointments to the Planning Commission.



3. Jon Dougherty, 1665 S. Renaud Rd., concurred with the two previous public commentors.

**Motion** by Koester, seconded by Gafa, to **adjourn tonight's meeting** at 7:43 p.m. PASSED UNANIMOUSLY.

Respectfully submitted,

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Paul P. Antolin  
City Clerk

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Arthur W. Bryant  
Mayor



MINUTES OF THE COMMITTEE-OF-THE-WHOLE OF THE CITY OF GROSSE POINTE WOODS HELD ON MONDAY, DECEMBER 1, 2025, IN THE COUNCIL CHAMBERS/COURTROOM OF THE ROBERT E. NOVITKE MUNICIPAL CENTER, 20025 MACK PLAZA DRIVE, GROSSE POINTE WOODS, MICHIGAN.

Mayor Bryant called the meeting to order at 7:03 p.m.

PRESENT: Mayor Bryant  
Council Members: Gafa, Granger, Koester, McConaghy, Motschall  
ABSENT: Brown

Also Present: City Manager Schulte  
Assistant City Manager Como  
City Attorney Tomlinson  
City Clerk Antolin  
City Treasurer/Comptroller Schmidt  
Director of Public Safety Kosanke

**Motion** by McConaghy, seconded by Koester, that Councilmember Brown be excused from tonight's meeting.

Motion carried by the following vote:

Yes: Bryant, Gafa, Granger, Koester, McConaghy, Motschall  
No: None  
Absent: Brown

**Motion** by Gafa, seconded by Granger, that all items on tonight's agenda be received, placed on file, and taken in order of appearance.

Motion carried by the following vote:

Yes: Bryant, Gafa, Granger, Koester, McConaghy, Motschall  
No: None  
Absent: Brown

The purpose of tonight's meeting was regarding the Fiscal Year Ending 2025 Audit Report for the City of Grosse Pointe Woods and the Municipal Court. Bill Brickey of Plante Moran provided an overview of the Financial Statements, Reports to City Council, the Annual Comprehensive Reports



including the Municipal Court Audit, and an examination letter of the Federal funds for the fiscal Year Ended June 30, 2025.

Mr. Brickey stated that for over 51 years, Grosse Pointe Woods has received the Government Finance Officers Association Award for quality financial reporting portraying the city's commitment to overall quality reporting and transparency. He also thanked the Treasurer/Comptroller and Administration for their collaboration with the audit.

The Municipal Court audit received an unmodified opinion which means the statements are in compliance with all the rules and regulations with no findings or errors to report.

Mr. Brickey addressed the end of audit letter stating that its purpose is to provide required communications to the community about the audit process with legislative and governmental accounting information in general. This letter is required to list any issues or findings, in which none were reported.

An overview of the Annual Comprehensive Financial Report was provided and it was stated that there was an unmodified opinion on the financial statement, which is assurance that the reported numbers are properly stated. The city implemented new accounting standard GASB 101 which only changed the valuation of sick and vacation liability reported.

Mr. Brickey discussed the financial statement and the budget to actuals results for the city's general fund and emphasized the Major Street, Solid Waste and Capital Project funds. An overview of the enterprise fund including water/sewer and parking/utility funds were also discussed.

He also addressed legacy costs and liabilities that goes with pension and retiree healthcare which is significantly impacted by the market. He also briefly discussed the Supplement Annuity Plan and OPEB Liability. In addition, he commented on city investments, capital asset activity and the impact caused from construction projects, equipment and infrastructure.

Mr. Brickey stated that the city had overall positive operating results, exceeded budgeting goals and having a strong fund balance.

Mayor Bryant and Council commended the Finance Department, City Administration, Bill Brickey and his staff for a job well done.

Under New Business, the following individuals were heard:

1. Treasurer/Comptroller Schmidt thanked his staff, all departments and administration for the success of the audit.

Under Public Comment, the following individuals were heard:



1. Jon Dougherty, 1665 S. Renaud Rd., addressed disappointment of his bike being confiscated.

**Motion** by Granger, seconded by Koester, that the meeting of the Committee-of-the-Whole be adjourned at 7:27 p.m. PASSED UNANIMOUSLY.

Respectfully submitted,

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Paul P. Antolin  
City Clerk

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Arthur W. Bryant  
Mayor



Approved 12/9/25

PLANNING COMMISSION  
10-28-25 – 42

MINUTES OF THE **PLANNING COMMISSION** MEETING OF THE CITY OF GROSSE POINTE WOODS HELD ON **OCTOBER 28, 2025**, IN THE COUNCIL-COURT ROOM OF THE ROBERT E. NOVITKE MUNICIPAL CENTER, 20025 MACK PLAZA DR., GROSSE POINTE WOODS, MICHIGAN.

RECEIVED

NOV 10 2025

CITY OF GROSSE POINTE WOODS

The meeting was called to order at 7:01 p.m. by Chair Fenton.

Roll Call: Chair Fenton  
Commission Members: Fuller, Hamborsky, Marx, O'Keefe  
Absent: Gilezan, Vitale

Also Present: City Planner Laura Haw  
City Attorney Debra Walling  
Recording Secretary Gretchen Miotto

Chair Fenton recognized Council Representative Gafa.

**MOTION** by Fuller, seconded by Hamborsky, to excuse Commissioners Gilezan and Vitale from tonight's meeting.

Motion carried by the following vote:

YES: Fenton, Fuller, Hamborsky, Marx, O'Keefe  
NO: None  
ABSENT: Gilezan, Vitale

The Planning Commission, staff, and the public, Pledged Allegiance to the U. S. Flag.

**MOTION** by Hamborsky, seconded by O'Keefe, to accept tonight's agenda as presented and place on file.

Motion carried by the following vote:

YES: Fenton, Fuller, Hamborsky, Marx, O'Keefe  
NO: None  
ABSENT: Gilezan, Vitale

**MOTION** by Marx, seconded by Fuller, that the September 23, 2025, Planning Commission meeting minutes be approved as presented.

Motion carried by the following vote:

YES: Fenton, Fuller, Hamborsky, Marx, O'Keefe  
NO: None  
ABSENT: Gilezan, Vitale



**MOTION** by Fuller, seconded by O'Keefe, to receive and place on file letters from Residents Against Rezoning, dated October 15, 2025; City Attorney Walling's response letter to Residents Against Rezoning dated October 21, 2025; City Attorney Tomlinson's response letter to Residents Against Rezoning dated October 22, 2025.

Motion carried by the following vote:

YES: Fenton, Fuller, Hamborsky, Marx, O'Keefe  
NO: None  
ABSENT: Gilezan, Vitale

The first item under **Public Hearings**, is to **host a Public Hearing on the Conditional Rezoning Application for 20160 Mack Avenue from RO-1, Restricted Office, to C – Commercial.**

**MOTION** by Marx, seconded by Fuller, to open the **public hearing.**

Motion carried by the following vote:

YES: Fenton, Fuller, Hamborsky, Marx, O'Keefe  
NO: None  
ABSENT: Gilezan, Vitale

Chair Fenton opened the public hearing at 7:05 pm.

No one wished to speak in support of the rezoning.

The following spoke in opposition to the rezoning:

1. Jon Dougherty, 1665 S. Renaud
2. Ellen Creager, 1281 N. Oxford
3. Gary Felts, 1680 Oxford
4. Tambre Tedesco, 1665 Ford Ct.
5. Joyce Janowski, 1070 N. Oxford
6. Patricia Dougherty, 1665 S. Renaud
7. Bethann Bayus, 1615 Ford Ct.
8. Lisa Abbey, 1620 Faircourt
9. Lynne Aldrich, 1501 Oxford
10. Christina Pitts, 1501 Oxford

**MOTION** by O'Keefe, seconded by Marx, to **close the public hearing on Rezoning 20160 Mack Avenue.**

Motion carried by the following vote:

YES: Fenton, Fuller, Hamborsky, Marx, O'Keefe  
NO: None  
ABSENT: Gilezan, Vitale

Chair Fenton closed the public hearing at 7:41 pm.



The next item, under **New Business**, was to **Consider the Conditional Rezoning (Map Amendment) Application for 20160 Mack Avenue from RO-1, Restricted Office, to C – Commercial.**

Planner Haw provided an overview of the application and the applicant-provided conditions.

Michael Blaneck, Stucky-Vitale representative, 27172 Woodward, Royal Oak, provided an overview of the architectural changes; the smaller footprint; and the mixed-use options.

Discussion ensued on the language of the applicant-provided conditions and Attorney Walling confirmed that the Commission cannot change the language as presented and has only three options: approve, deny, or table.

**MOTION** by Fuller, seconded by O’Keefe, that the **Planning Commission table the Proposed Conditional Rezoning of 20160 Mack Avenue from RO-1 to C** and allow the applicant to modify and re-submit their conditions.

Motion carried by the following vote:

YES: Fenton, Fuller, Hamborsky, Marx, O’Keefe

NO: None

ABSENT: Gilezan, Vitale

The next item, **Consideration of the Site plan for 20160 Mack Avenue** was not discussed due to the preceding decision to table the conditional rezoning application.

The next item, under **New Business**, was to **Consider the Site Plan Amendment for 20030 Mack Avenue (Eastside Dermatology).**

Planner Haw provided an overview of the proposed amended site plan which was submitted following the February 2024 Planning Commission approval to construct a one-story addition to an existing medical office and to make improvements to the parking lot and drive approaches. Since that approval, the applicant’s desired scope of work has changed to include a front entrance ADA lift; ADA parking and curb cuts; and garage demolition.

Lisa Manz-Dulac, the applicant, spoke to the needs of this proposal for her patients.

Michael Derring, Lucia Landscaping, spoke to his renderings of the proposed landscaping.

The Planning Commission requested that the applicant resubmit their full proposal, including the building renovations and the new landscaping proposal, so there is a full understanding of both of these requests.

John Klobuchar, 1675 Faircourt, spoke in opposition to the renderings and plans.

Lisa Abbey, 1620 Faircourt, spoke in opposition to the plans.



**MOTION** by Marx, seconded by Fuller, that the **Planning Commission table the Site Plan for 20030 Mack Avenue (Eastside Dermatology)** pending the resubmission by the applicant.

Motion carried by the following vote:

YES: Fenton, Fuller, Hamborsky, Marx, O'Keefe  
NO: None  
ABSENT: Gilezan, Vitale

The next item, under **New Business**, was to **Consider the Site Plan Amendment for a Walk-Up Window at 20195 Mack Avenue (Lola's Taco Bar)**.

Planner Haw provided an overview of the project to date: in 2024, the applicant received Planning Commission and City Council approval for both Special Land Use and Site Plan approval for a sit-down restaurant serving alcohol. The applicant has now submitted an Outdoor Cafe Permit, which would amend the site plan to allow a connecting, outdoor service window facing Norwood Drive.

Brenden McRill, 565 Lochmoor, and the applicant, provided additional context to the proposed window. This would not be a walk-up, point of service, counter. It has no counters, inside or out, and is strictly for the use of employees delivering food to the outdoor patrons. This service window is designed to avoid congestion in and out through their one door.

**MOTION** by Hamborsky, seconded by Marx, that the **Planning Commission recommend the approval of the Site Plan Amendment for 20195 Mack Avenue for an "employee-only window", with appropriate signage, subject to approval by the Zoning Board of Appeals.**

Motion carried by the following vote:

YES: Fenton, Hamborsky, Marx  
NO: Fuller, O'Keefe  
ABSENT: Gilezan, Vitale

The next item was the **Building Official's Report - September to October, 2025.**

The next item was the **City Council Reports for September and October, 2025.**

Commissioner Fenton stated there were public comments related to 20160 Mack Avenue at the September 8 and 15 meetings.

Commissioner Fuller attended the October 6 and 20 meetings. City Council approved the Special Land Use for Playa Bowls.

Commissioner Gilezan will attend the November 2025 meetings.



Under **Public Comment**, the following were heard:

1. Elizabeth Baergen, 1600 Ford Ct.
2. Tambre Tedesco, 1665 Ford Ct.
3. Lisa Abbey, 1620 Faircourt
4. Christina Pitts, 1501 Oxford
5. Lynne Aldrich, 1501 Oxford
6. Gary Felts, 1680 Oxford

**MOTION** by Marx, seconded by O'Keefe, to adjourn at 9:53 p.m.

Motion carried by the following vote:

YES: Fenton, Fuller, Hamborsky, Marx, O'Keefe

NO: None

ABSENT: Gilezan, Vitale

Respectfully Submitted,

Gretchen Miotto

Clerk's Confidential Administrative Assistant & Recording Secretary



Commission Approved December 9, 2025

## CITIZENS' RECREATION COMMISSION MEETING MINUTES

Meeting of the Citizen's Recreation Commission was held on November 18, 2025 at Grosse Pointe Woods, Michigan.

**CALLED TO ORDER: 7:01 p.m.**

**PRESENT:**

Gib Heim

Barb Janutol

Abby Klotz

Amanda York

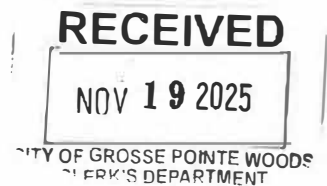
Dave Andrews

Lindsay Frattaroli

**ABSENT:**

Melinda Billingsley

Amanda Starkey



**ALSO PRESENT:**

Owen Gafa, Tony Rennpage, Brad Pettiford, Margaret Potter, and Biagica Bottiglierio.

**APPROVAL OF THE AGENDA:**

**Motion** was made for the acceptance of the agenda for November 18, 2025 by Andrews and seconded by Heim.

**APPROVAL OF MOTION:**

**YES:** Heim, Janutol, Klotz, York, Andrews, and Frattaroli

**NO:** NONE

**ABSENT:** Billingsley and Starkey

**APPROVAL OF MINUTES FROM OCTOBER 14, 2025**

**Motion** was made for the acceptance of minutes from October 14, 2025 by Frattaroli and seconded by Klotz.



**APPROVAL OF MOTION:**

YES: Heim, Janutol, Klotz, York, Andrews, and Frattaroli

NO: NONE

ABSENT: Billingsley and Starkey

**DIRECTOR'S REPORT:**

- Senior Holiday Party to be held on December 5<sup>th</sup> from 1pm – 4pm.
- Polar Express starts December 4<sup>th</sup> and is Sold Out.
- New equipment “playground log” is in and will be installed at Ghesquiere Park in the spring.

**COUNCIL REPORT:**

- Woods Aglow will take place at City Hall on November 25<sup>th</sup> at 7:00 pm.
- Grosse Pointe Woods 75<sup>th</sup> Anniversary Celebration will take place on December 11<sup>th</sup>. It is an open house from 4-7pm.

**TREASURER'S REPORT:**

No report.

**NEW BUSINESS:**

- The Snow Creation Contest will start with the first snowfall in December and continue until the end of February. Per Gafa, Nancy Ochs will produce the flyer for this event using previous years information.

**OLD BUSINESS:****Winter Fest:**

“Winter Olympics” theme

- January 31<sup>st</sup>, 2026
- We will use Great Lakes Tent Company for tent rental.
- Owen will contact Chamberlin pony rides and petting zoo.



- Owen suggested the same DJ and photo booth companies he uses for park events.
- Amanda York will contact the festive sign company that we usually use.
- The committee will contact the library to see if they will again, provide a craft project to be held in the Old School House.
- We felt that the mini golf was great last year, but very expensive. Amanda will look into having more inflatable games that will represent the Olympic theme better.
- Fire pits will be available.
- The “give away” this year hasn’t yet been decided, but will represent the Olympic theme.
- Lindsay Frattaroli contacted the following food trucks for availability:
  - Stella’s Hamburgers, Little Donut factory, with a possibility of Gambino’s Pizza.
- Amanda is looking at a hockey clinic possibility.
- The famous DPW snow pile, will round out the activities.
- More discussion at the December meeting.

Open Recreation Commission seat interviews were held and included Brad Pettiford and Blagica Bottigliero.

Discussion took place regarding previous interviews and applications.

**Motion** by Fratarolli and seconded by Heim to recommend **Jason Gaidis** to fill the open seat on the Citizen’s Recreation Commission.

**APPROVAL OF MOTION:**

YES: Heim, Janutol, Klotz, York, Andrews, and Frattaroli

NO: NONE

ABSENT: Billingsley and Starkey

**Motion** was made by York and seconded by Andrews to Immediately Certify the November 18, 2025 minutes.

**APPROVAL OF MOTION:**

YES: Heim, Janutol, Klotz, York, Andrews, and Frattaroli

NO: NONE



ABSENT: Billingsley and Starkey

**PUBLIC COMMENT:**

Margaret Potter suggested that the “youth subcommittee” address the social interaction need for senior/youth combination activities.

**ADJOURNMENT:**

**Motion** was made to adjourn the meeting by Heim and seconded by Klotz.

**APPROVAL OF MOTION:**

YES: Heim, Janutol, Klotz, York, Andrews, and Frattaroli

NO: NONE

ABSENT: Billingsley and Starkey

**Meeting adjourned at 8:20 pm.**

Respectfully submitted by Barbara Janutol for Melinda Billingsley, Secretary of the Grosse Pointe Woods Citizen’s Recreation Commission.



**City of Grosse Pointe Woods  
CITY ADMINISTRATOR'S  
FINANCIAL REPORT  
(Section 4.7, City Charter)  
NOVEMBER 2025**



**City Treasurer/Comptroller  
Utility Billing/Accounting  
Municipal Court/Violations  
DPW  
Parks & Recreation**



**City of Grosse Pointe Woods  
CITY COMPTROLLER  
Monthly Financial Report November 2025**

Purchase orders issued	30
Payrolls checks prepared	293
General/other checks prepared	246

**ACCOUNTING DEPARTMENT  
Monthly Financial Report November 2025**

FOLLOWING REPORTS SUBMITTED HEREWITH:

- \* ACCOUNTS PAYABLE CHECK REGISTER
- \* INVESTMENTS BY FINANCIAL INSTITUTIONS ORDER
- \* GENERAL FUND – DETAILED REVENUE COMPARED TO BUDGET

**CITY TREASURER  
Monthly Financial Report November 2025**

INVESTMENTS:

- \* Two (2) investments matured and two (2) investment was reinvested.



Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 101 GENERAL FUND							
11/06/2025	1	74027	MILES ADAMS	TRAINING	961.000	310	105.41
11/06/2025	1	74028	HILLARY AERTS	ELECTIONS SUPPLIES	731.000	215	208.00
11/06/2025	1	74030	AMAZON WEB SERVICES, INC.	FY 2025-26 BACKUP STG & EC2	818.000	228	929.06
11/06/2025	1	74031	APEX SOFTWARE	CONTRACTUAL SERVICES	818.000	228	490.00
11/06/2025	1	74032	ARBOR PRO TREE SERVICE	TREE REMOVAL SERVICES	818.000	523	4,405.00
11/06/2025	1	74033	AT&T MOBILITY LLC	CONTRACTUAL	818.000	286	36.43
11/06/2025	1	74035	AMY BAKOWSKI	ELECTIONS SUPPLIES	731.000	215	171.75
11/06/2025	1	74036	LISA BARTNIK	ELECTIONS SUPPLIES	731.000	215	171.75
11/06/2025	1	74037	BIANCHINI CONSTRUCTION	IMPERVIOUS SURFACE	478.000	000	190.00
11/06/2025	1	74038	BOB BARKER COMPANY, INC.	JAIL FEES	808.000	310	127.68
11/06/2025	1	74040	RICHARD BROWN	ELECTIONS SUPPLIES	731.000	215	171.75
11/06/2025	1	74041	JUDITH BURKHARDT	ELECTIONS SUPPLIES	731.000	215	20.00
11/06/2025	1	74042	GREGORY CLARK	ELECTIONS SUPPLIES	731.000	215	171.75
11/06/2025	1	74043	KYLE CLOR	ELECTIONS SUPPLIES	731.000	215	193.75
11/06/2025	1	74044*#	COOL THREADS EMBROIDERY	MISCELLANEOUS PURCHASES	725.100	345	60.97
11/06/2025	1	74045	SUSAN COPPA	ELECTIONS SUPPLIES	731.000	215	161.75
11/06/2025	1	74046	MARIANNE COSTAKIS	ELECTIONS SUPPLIES	731.000	215	188.00
11/06/2025	1	74047	D&H WINDOW CLEANING, INC.	SEMI-ANNUAL WINDOW WASHING AT CITY HA	818.000	265	2,535.00
11/06/2025	1	74051	RENEE DICRISTOFARO	ELECTIONS SUPPLIES	731.000	215	141.75
11/06/2025	1	74052	KAREN DILLAMAN	ELECTIONS SUPPLIES	731.000	215	161.75
11/06/2025	1	74054	DOUBLE SS PROMOTIONS	OPERATING SUPPLIES	757.000	441	330.00
11/06/2025	1	74055	KRISTINE DRUMMOND	ELECTIONS SUPPLIES	731.000	215	171.75



Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 101 GENERAL FUND							
11/06/2025	1	74056*#	DTE ENERGY	UTILITIES	921.000	594	28.13
11/06/2025	1	74057	ARTHUR EISENBREY	ELECTIONS SUPPLIES	731.000	215	141.75
11/06/2025	1	74058	LOUISE EISENBREY	ELECTIONS SUPPLIES	731.000	215	141.75
11/06/2025	1	74059	REGINALD EVANS	ELECTIONS SUPPLIES	731.000	215	82.50
11/06/2025	1	74060	JAMES FELDMAN	ELECTIONS SUPPLIES	731.000	215	52.50
11/06/2025	1	74061	RODRIGO FIGUEROA	ELECTIONS SUPPLIES	731.000	215	141.75
11/06/2025	1	74064	THEODORE GAGNIER	ELECTIONS SUPPLIES	731.000	215	161.75
11/06/2025	1	74065	MARY GOERKE	ELECTIONS SUPPLIES	731.000	215	213.75
11/06/2025	1	74066	SAMUEL GOOSEN	ELECTIONS SUPPLIES	731.000	215	141.75
11/06/2025	1	74067*#	GRAINGER	MISC. SUPPLIES AND EQUIPMENT	757.000	441	6.00
				MISC. SUPPLIES AND EQUIPMENT	757.102	774	53.79
				CHECK 1 74067 TOTAL FOR FUND 101:			59.79
11/06/2025	1	74070	DENVER HIGLEY	ELECTIONS SUPPLIES	731.000	215	233.75
11/06/2025	1	74074	KCI	ASSESSMENT/TAX ROLL PREP	831.000	257	37.44
11/06/2025	1	74076	CAROL KORDICH	ELECTIONS SUPPLIES	731.000	215	171.75
11/06/2025	1	74077	JOHN KOSANKE	AIRFARE	958.001	305	994.97
				UBER RIDE TO HOTEL	958.001	305	37.86
				LYFT RIDE FROM HOTEL	958.001	305	41.80
				5 MEALS	958.001	305	129.18
				4 TIPS	958.001	305	41.09
				CHECK 1 74077 TOTAL FOR FUND 101:			1,244.90
11/06/2025	1	74079	LAUNDRY IN THE D, INC.	MONTHLY PRISONER LAUNDRY EXPENSES	808.000	310	144.00
11/06/2025	1	74080	JUDITH LEO	ELECTIONS SUPPLIES	731.000	215	208.00
11/06/2025	1	74081#	LEONARD BROS DATA MANAGEMENT INC	CONTRACTUAL SERVICES	818.000	193	101.12
				OFF-SITE RECORDS AND STORAGE RETRIEVA	818.000	310	190.33



Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 101 GENERAL FUND							
				CHECK 1 74081 TOTAL FOR FUND 101:			291.45
11/06/2025	1	74082	AGNES LEWIS	ELECTIONS SUPPLIES	731.000	215	171.75
11/06/2025	1	74083*#	LOWE'S	OPERATING SUPPLIES	757.000	265	38.40
				OPERATING SUPPLIES	757.000	441	669.41
				CHECK 1 74083 TOTAL FOR FUND 101:			707.81
11/06/2025	1	74084	CAROL LUFBURROW	ELECTIONS SUPPLIES	731.000	215	208.00
11/06/2025	1	74085	MACQUEEN	FIRE GEAR PURCHASES	757.000	339	1,233.69
11/06/2025	1	74086	MARCO	CONTRACTUAL SERVICES	818.000	228	233.20
11/06/2025	1	74087	MCCOY MAINTENANCE	MONTHLY JAIL CELL CLEANING & BIO-HAZA	808.000	310	175.00
11/06/2025	1	74088	MCMASTER-CARR	OPERATING SUPPLIES	757.000	441	222.74
11/06/2025	1	74089	CHRISTINA MIANO	ELECTIONS SUPPLIES	731.000	215	52.50
11/06/2025	1	74090	MICHIGAN DEPARTMENT OF STATE	OPERATING SUPPLIES	757.000	310	13.00
11/06/2025	1	74091	GRETCHEN MIOTTO	TRAINING & SEMINARS	958.001	215	76.65
11/06/2025	1	74092	MOBILE COMMUNICATIONS AMERICA, I	BATTERIES	851.000	305	1,111.62
				DELIVER	851.000	305	28.75
				CHECK 1 74092 TOTAL FOR FUND 101:			1,140.37
11/06/2025	1	74093	PETER OLDANI	ELECTIONS SUPPLIES	731.000	215	171.75
11/06/2025	1	74094	ORKIN	PEST CONTROL SERVICES DPW	818.000	441	80.00
11/06/2025	1	74095	OVERHEAD DOOR WEST COMMERCIAL, I	REPAIR DPW GARAGE #3 DOOR	818.000	441	1,058.75
11/06/2025	1	74096	ANTOINETTE PASIAK	ELECTIONS SUPPLIES	731.000	215	82.50
11/06/2025	1	74097*#	PLANTE & MORAN	COMPTROLLER SERVICES	818.000	193	5,112.00
				CONTRACTUAL	818.000	286	4,200.00
				CHECK 1 74097 TOTAL FOR FUND 101:			9,312.00



Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 101 GENERAL FUND							
11/06/2025	1	74098*#	POINTE ALARM LLC	DPW TV MAINTENANCE	818.000	441	89.94
				DOG PARK ACCESS MAINTENANCE	818.000	775	259.99
				GHESEQUIERE PARK TELEVISION MONITORING	818.000	775	742.63
				CHENE TROMBLEY PARK TV MONITORING	818.000	775	344.99
				CHECK 1 74098 TOTAL FOR FUND 101:			1,437.55
11/06/2025	1	74099	JANICE PRIMO	ELECTIONS SUPPLIES	731.000	215	161.75
11/06/2025	1	74101	BRENDA REAVES	ELECTIONS SUPPLIES	731.000	215	171.75
11/06/2025	1	74102	KATHLEEN ROMANO	ELECTIONS SUPPLIES	731.000	215	188.00
11/06/2025	1	74103	LAURENCE SALIVE	ELECTIONS SUPPLIES	731.000	215	171.75
11/06/2025	1	74104	KELLY SEAGRAM	ELECTIONS SUPPLIES	731.000	215	52.50
11/06/2025	1	74107	STATE OF MICHIGAN	CONTRACTUAL SERVICES	818.000	305	30.00
11/06/2025	1	74108	STATE OF MICHIGAN	JUST TRNG FEES	806.000	286	2,549.93
11/06/2025	1	74109	FRANK STELLINGWERF	ELECTIONS SUPPLIES	731.000	215	171.75
11/06/2025	1	74110	SUPERIOR MATERIALS LLC	DPW CONCRETE	757.000	441	1,032.50
11/06/2025	1	74111	GLEN TALLAREK	ELECTIONS SUPPLIES	731.000	215	161.75
11/06/2025	1	74112	SANDRA THERSSEN	ELECTIONS SUPPLIES	731.000	215	171.75
11/06/2025	1	74113	ROY THIBODEAU	ELECTIONS SUPPLIES	731.000	215	233.75
11/06/2025	1	74115*#	VERIZON WIRELESS	INTERNATIONAL CHARGES - S. COMO	818.000	172	165.64
				ADMIN	921.000	211	180.93
				CONTRACTUAL SERVICES	818.000	228	69.38
				DATA CHARGES - B. CONIGLIARO	921.000	349	71.70
				PUBLIC SAFETY	921.000	349	562.88
				UTILITIES	921.000	594	178.94
				UTILITIES	921.000	594	60.31
				LFP	921.000	774	150.77
				CHECK 1 74115 TOTAL FOR FUND 101:			1,440.55
11/06/2025	1	74116	DAVID VERSICAL	ELECTIONS SUPPLIES	731.000	215	161.75



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11/06/2025	1	74117	SEAN WALSH	ELECTIONS SUPPLIES	731.000	215	161.75
11/06/2025	1	74119	WOODS TROPHIES	OPER SUPPLY- LANDSCAPE	757.102	774	107.00
11/06/2025	1	74121	MICHAEL ZEMENICK	ELECTIONS SUPPLIES	731.000	215	213.75
11/06/2025	1	74122#	ZEPPELIN SERVICES INC	JANITORIAL SVC - MUNI BLDGS	818.000	265	1,658.00
				DPW OFFICES AND BATHROOM CLEANING	818.000	441	1,290.00
				CHECK 1 74122 TOTAL FOR FUND 101:			2,948.00
11/13/2025	1	74126*#	ANDERSON ECKSTEIN & WESTRICK INC	FY 2024-25 GENERAL ENGINEERING	818.000	265	2,479.71
				FY 2024-25 GENERAL ENGINEERING	818.000	441	991.89
				CHECK 1 74126 TOTAL FOR FUND 101:			3,471.60
11/13/2025	1	74127	ARBOR PRO TREE SERVICE	INSTALL HOLIDAY DECORATIONS	930.000	441	3,000.00
11/13/2025	1	74128	ASCENSION MI EMPLOYER SOLUTIONS	PHYSICAL EXAMS	835.100	441	95.00
11/13/2025	1	74131	CDW GOVERNMENT INC	FY 2025-26 IT SUPPLIES	757.000	228	746.70
				FY 2025-26 IT SUPPLIES	757.000	228	2,327.45
				FY 2025-26 IT SUPPLIES	757.000	228	1,706.80
				CHECK 1 74131 TOTAL FOR FUND 101:			4,780.95
11/13/2025	1	74132*#	CINTAS CORP LOC #31	CITY HALL OFFICE MATS	818.000	265	103.09
				CITY HALL OFFICE MATS	818.000	265	105.88
				DPW OFFICE MATS	818.000	441	14.89
				DPW OFFICE MATS	818.000	441	14.89
				CHECK 1 74132 TOTAL FOR FUND 101:			238.75
11/13/2025	1	74133#	CITY OF GROSSE POINTE WOODS	OPERATING SUPPLIES	757.000	310	35.98
				TRAINING	961.000	310	82.86
				OFFICE SUPPLIES	728.000	349	7.70
				CHECK 1 74133 TOTAL FOR FUND 101:			126.54
11/13/2025	1	74134	CITY OF GROSSE POINTE WOODS	OPERATING SUPPLIES	757.000	172	46.62



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Fund: 101 GENERAL FUND							
11/13/2025	1	74135	CMP DISTRIBUTORS, INC.	OPERATING SUPPLIES	757.000	310	255.50
11/13/2025	1	74136	MARLISE COLE	CONTRACTUAL SERVICES	818.000	780	455.00
11/13/2025	1	74137	CONSUMERS ENERGY	UTILITIES	921.000	774	44.85
				UTILITIES	921.000	774	159.66
				UTILITIES	921.000	774	283.30
				UTILITIES	921.000	774	56.10
				CHECK 1 74137 TOTAL FOR FUND 101:			543.91
11/13/2025	1	74138*#	CONTRACTORS CLOTHING CO.	UNIFORMS FOR TPOAM DPW AND LFP EMPLOY	725.000	531	395.92
11/13/2025	1	74139	NICOLE COON	DAMAGE DEPOSIT P&R	295.000	000	200.00
11/13/2025	1	74140*	CORELOGIC CENTRALIZED REFUNDS	OPERATING LEVY	402.000	000	656.34
				ACT 359 - PR	404.000	000	2.70
				SUMMER ADMIN FEE	447.000	000	17.02
				CHECK 1 74140 TOTAL FOR FUND 101:			676.06
11/13/2025	1	74141#	ELISE COYLE	OPERATING SUPPLIES	757.000	193	9.85
				ELECTIONS SUPPLIES	731.000	215	121.80
				CHECK 1 74141 TOTAL FOR FUND 101:			131.65
11/13/2025	1	74143	JILL DOUGHTY	CONTRACTUAL SERVICES	818.000	780	630.00
11/13/2025	1	74144	DTE ENERGY	MUN. STREET LGHT	926.000	594	47,780.49
11/13/2025	1	74145#	DTE ENERGY	UTILITIES	921.000	594	1,517.72
				UTILITIES	921.000	594	552.37
				UTILITIES	921.000	775	87.36
				UTILITIES	921.000	775	19.53
				UTILITIES	921.000	780	80.73
				CHECK 1 74145 TOTAL FOR FUND 101:			2,257.71
11/13/2025	1	74146*#	DTE ENERGY	UTILITIES	921.000	349	137.61



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				UTILITIES	921.000	594	318.16
				UTILITIES	921.000	594	127.93
				UTILITIES	921.000	775	67.16
				UTILITIES	921.000	780	53.06
				CHECK 1 74146 TOTAL FOR FUND 101:			703.92
11/13/2025	1	74148	CHERYL FOWLER	DAMAGE DEPOSIT P&R	295.000	000	200.00
11/13/2025	1	74151*#	GILBERTS PRO HARDWARE	POLICE SUPPLIES	757.000	310	16.18
				MINOR OPERATING SUPPLIES ALL DEPTS.	757.000	441	339.94
				MINOR OPERATING SUPPLIES ALL DEPTS.	757.102	774	2,476.70
				CHECK 1 74151 TOTAL FOR FUND 101:			2,832.82
11/13/2025	1	74152	GROSSE POINTE NEWS	LEGAL NOTICES	903.000	215	249.75
				LEGAL NOTICES	903.000	215	249.75
				LEGAL NOTICES	903.000	215	249.75
				LEGAL NOTICES	903.000	215	249.75
				LEGAL NOTICES	903.000	215	222.00
				LEGAL NOTICES	903.000	215	92.50
				CHECK 1 74152 TOTAL FOR FUND 101:			1,313.50
11/13/2025	1	74153	LORETTA HALL	EQUIPMENT MAINT & REPAIR	930.000	441	333.00
11/13/2025	1	74156	INLAND PRESS	NOV 2025 BALLOTS	731.000	215	1,763.79
11/13/2025	1	74158	IRON MOUNTAIN RECORDS	SHRED SERVICE	818.000	265	749.07
11/13/2025	1	74159	JAY'S SEPTIC TANK SERVICE	PORTA JOHN CLEAN OUT PER MONTH	818.102	774	300.00
				PORTA JOHN CLEAN OUT PER MONTH	818.102	774	266.00
				PORTA JOHN CLEAN OUT PER MONTH	818.102	774	266.00
				PORTA JOHN CLEAN OUT PER MONTH	818.102	774	300.00
				CHECK 1 74159 TOTAL FOR FUND 101:			1,132.00
11/13/2025	1	74162	LASERCOM, LLC	FY 2025-26 TAX BILLS POSTAGE	757.000	193	4,660.00
11/13/2025	1	74163	LEXISNEXIS RISK DATA MGT, LLC	MONTHLY SEARCH & CONTRACT FEES	818.000	310	309.00
11/13/2025	1	74164	DARLENE LOVELAKE	CONTRACTUAL SERVICES	818.000	780	140.00



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Fund: 101 GENERAL FUND							
11/13/2025	1	74165	MARSHALL LANDSCAPE INC	FY 2024-25 LAWN CARE	818.102	774	625.00
11/13/2025	1	74166	DANIELLE MARTIN	DAMAGE DEPOSIT P&R	295.000	000	200.00
11/13/2025	1	74167	MCKENNA ASSOCIATES INC	CONTRACTUAL	818.000	371	2,452.50
				CONTRACTUAL	818.000	371	3,500.00
				CONTRACTUAL	818.000	371	71,261.04
				CHECK 1 74167 TOTAL FOR FUND 101:			77,213.54
11/13/2025	1	74168	ETHAN MICHALSKI	OPERATING SUPPLIES	757.000	441	99.00
11/13/2025	1	74169	MICHIGAN ASSOC. OF MUNICIPAL CLE	MEMBERSHIP & DUES	958.000	215	100.00
				MEMBERSHIP & DUES	958.000	215	100.00
				CHECK 1 74169 TOTAL FOR FUND 101:			200.00
11/13/2025	1	74172	ORKIN	PEST CONTROL SERVICES DPW	818.000	441	80.00
11/13/2025	1	74173	PITNEY BOWES INC	MINOR EQUIPMENT	972.000	215	180.51
				MINOR EQUIPMENT	972.000	215	325.00
				MINOR EQUIPMENT	972.000	215	443.33
				CHECK 1 74173 TOTAL FOR FUND 101:			948.84
11/13/2025	1	74174*#	PRINT XPRESS	2026 ANIMAL LICENSES INV#43769 11/07/	757.000	215	537.00
11/13/2025	1	74175	PRINTING BY JOHNSON	ELECTIONS SUPPLIES	731.000	215	220.00
11/13/2025	1	74176#	PURCHASE POWER	FY 2025-26 POSTAGE	757.000	193	625.00
				FY 2025-26 POSTAGE	728.000	211	625.00
				OPERATING SUPPLIES	757.000	215	317.62
				FY 2025-26 POSTAGE	757.000	286	625.00
				FY 2025-26 POSTAGE	728.000	349	625.00
				CHECK 1 74176 TOTAL FOR FUND 101:			2,817.62
11/13/2025	1	74178	ROSATI, SCHULTZ, JOPPICH &	LEGAL FEES-GEN'L CITY	801.000	266	7,165.80
11/13/2025	1	74179	ROSE PEST SOLUTIONS	MONTHLY PEST CONTROL AT CITY HALL	818.000	265	167.00



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Fund: 101 GENERAL FUND							
11/13/2025	1	74181	KYLE SEAY	DAMAGE DEPOSIT P&R	295.000	000	200.00
11/13/2025	1	74183	SLY DOG PRODUCTIONS	COMMUNITY RELATIONS	880.000	780	340.00
11/13/2025	1	74185	MARYANNE THIBODEAU	CONTRACTUAL SERVICES	818.000	780	665.00
11/13/2025	1	74186	ROY THIBODEAU	CONTRACTUAL SERVICES	818.000	780	315.00
11/13/2025	1	74189	WAYNE COUNTY APPRAISAL, LLC	CONTRACTUAL SERVICES	818.000	257	7,911.08
11/13/2025	1	74192	YORK, DOLAN & TOMLINSON, P.C.	LEGAL COUNSEL-COURT	801.100	266	1,612.00
				LEGAL COUNSEL-BLDG & PLANNING	801.200	266	465.00
				CHECK 1 74192 TOTAL FOR FUND 101:			<u>2,077.00</u>
11/20/2025	1	74193	ALLEMONS LANDSCAPE CENTER	CITY HOLIDAY 24 " BALSAM WREATHS	930.000	441	183.57
				CITY HOLIDAY 36" BALSAM WREATHS	930.000	441	311.07
				CITY HOLIDAY 48 "BALSAM WREATHS	930.000	441	140.25
				CHECK 1 74193 TOTAL FOR FUND 101:			<u>634.89</u>
11/20/2025	1	74194*#	AMAZON CAPITAL SERVICES	OFFICE SUPPLIES	728.000	211	39.03
				OPERATING SUPPLY-ACTIVITY BLDG	757.000	774	233.28
				OPERATING SUPPLY-ACTIVITY BLDG	757.000	774	52.96
				OPER SUPPLY- LANDSCAPE	757.102	774	196.33
				OPER SUPPLY- LANDSCAPE	757.102	774	209.58
				OPER SUPPLY- LANDSCAPE	757.102	774	351.40
				OPERATING SUPPLIES	757.000	780	49.90
				OPERATING SUPPLIES	757.000	780	60.33
				OPERATING SUPPLIES	757.000	780	25.98
				COMMUNITY RELATIONS	880.000	780	136.00
				COMMUNITY RELATIONS	880.000	780	113.87
				SENIOR PROGRAMS	880.603	780	62.10
				SENIOR PROGRAMS	880.603	780	12.75
				CHECK 1 74194 TOTAL FOR FUND 101:			<u>1,543.51</u>
11/20/2025	1	74195*#	AMAZON CAPITAL SERVICES	OPERATING SUPPLIES	757.000	286	48.99
				OPERATING SUPPLIES	757.000	310	39.99



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Fund: 101 GENERAL FUND							
				COMMUNITY RELATIONS	880.000	780	41.97
				SENIOR PROGRAMS	880.603	780	6.29
				CHECK 1 74195 TOTAL FOR FUND 101:			137.24
11/20/2025	1	74196	AMERICAN MESSAGING	UTILITIES	921.000	349	128.08
11/20/2025	1	74197	ANDERSON ECKSTEIN & WESTRICK INC	FY 2024-25 GENERAL ENGINEERING	818.000	265	1,855.00
11/20/2025	1	74198	ARBOR PRO TREE SERVICE	INSTALL HOLIDAY DECORATIONS	930.000	441	7,000.00
11/20/2025	1	74199#	ASCENSION MI EMPLOYER SOLUTIONS	PHYSICAL EXAMS	835.100	305	456.00
				PHYSICAL EXAMS	835.100	441	95.00
				CHECK 1 74199 TOTAL FOR FUND 101:			551.00
11/20/2025	1	74200*#	AT&T MOBILITY LLC	CONTRACTUAL SERVICES	818.000	228	82.30
				UTILITIES	921.000	349	282.36
				CHECK 1 74200 TOTAL FOR FUND 101:			364.66
11/20/2025	1	74202	JEFF BRICKMAN	CITIZENS RECREATION	880.200	105	300.00
11/20/2025	1	74203	STEVEN CALABRO	TRAINING	961.000	310	118.16
11/20/2025	1	74204*#	CITY OF GROSSE POINTE WOODS	UTILITIES	921.000	211	387.59
				UTILITIES	921.000	349	534.25
				UTILITIES	921.000	594	161.21
				UTILITIES	921.000	594	125.71
				CHECK 1 74204 TOTAL FOR FUND 101:			1,208.76
11/20/2025	1	74205	CONSUMERS ENERGY	UTILITIES	921.000	774	272.28
11/20/2025	1	74206	CHRISTOPHER CUMMINS	CLOTHING/UNIFORM ALLOWANCE	725.000	531	52.68
11/20/2025	1	74207	JOSEPH DEFUSCO	DAMAGE DEPOSIT P&R	295.000	000	200.00
11/20/2025	1	74208	DELL MARKETING LP	FY 2025-26 SERVER & COMPUTER COMPONEN	757.000	228	652.00
11/20/2025	1	74209	DMC TECHNOLOGY GROUP, INC.	CONTRACTUAL	818.000	286	250.00



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Fund: 101 GENERAL FUND							
11/20/2025	1	74210#	DTE ENERGY	UTILITIES	921.000	594	30.36
				UTILITIES	921.000	594	28.13
				UTILITIES	921.000	774	1,004.59
				UTILITIES	921.000	774	533.68
				UTILITIES	921.000	774	60.81
				UTILITIES	921.000	774	825.07
				UTILITIES	921.000	775	408.43
				CHECK 1 74210 TOTAL FOR FUND 101:			2,891.07
11/20/2025	1	74213	EVANGELINE SPECIALTIES & ESCO SI	3' TEARDROP SNOWFLAKES	930.000	441	3,915.00
				SHIPPING	930.000	441	259.77
				CHECK 1 74213 TOTAL FOR FUND 101:			4,174.77
11/20/2025	1	74214	EXPERT CARPET CLEANING, INC.	CARPET CLEANING MUNICIPAL COMPLEX	818.000	265	3,400.00
11/20/2025	1	74216	FIRE MARK ADVANTAGE LLC	TRAINING	961.000	339	130.00
11/20/2025	1	74218	AMY TUROWSKI FORBES	ACCRUED LIAB-COURT FEES	205.000	000	70.00
11/20/2025	1	74219	GALCO INDUSTRIAL ELECTRONICS, IN	OPERATING SUPPLIES	757.000	780	88.82
11/20/2025	1	74220*#	GRAINGER	MISC. SUPPLIES AND EQUIPMENT	757.000	265	12.64
				MISC. SUPPLIES AND EQUIPMENT	757.102	774	34.88
				CHECK 1 74220 TOTAL FOR FUND 101:			47.52
11/20/2025	1	74221	GROSSE POINTE ANIMAL ADOPTION SO	ANIMAL COLLECTION FEES - BOARDING	832.000	326	60.00
11/20/2025	1	74222	GROSSE POINTE NEWS	LEGAL NOTICES	903.000	215	92.50
11/20/2025	1	74225	HALLAHAN & ASSOCIATES PC	LEGAL/OUTSIDE CONSULTANTS- MTT	801.300	266	359.18
11/20/2025	1	74226	HARPER WOODS VETERINARY HOSPITAL	K9 CONTRACTED SERVICES	818.100	310	234.50
				K9 CONTRACTED SERVICES	818.100	310	269.50
				DIAGNOSTIC PROFILE	818.100	310	180.00
				SYRINGE DISPOSAL	818.100	310	7.50
				RADIOGRAPH	818.100	310	230.00
				CATHETER - IV	818.100	310	70.00
				FLUIDS - IV	818.100	310	57.00



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				2 ADDITIONAL INJECTIONS	818.100	310	65.10
				3 ENROFLOX INJECTIONS	818.100	310	39.00
				WARD OCCUPANCY	818.100	310	40.00
				NURSING CARE - DAY	818.100	310	52.00
				CERENIA INJECTION	818.100	310	110.00
				HEARTWORM & TICK - LAB	818.100	310	69.00
				6 ENROFLAXIN TABLETS	818.100	310	26.00
				28 AMOXICILLIN	818.100	310	15.00
				CHECK 1 74226 TOTAL FOR FUND 101:			1,464.60
11/20/2025	1	74228	K & S VENTURES INC	HEATING & COOLING MAINTENANCE	818.000	265	577.50
				HEATING & COOLING MAINTENANCE	818.000	265	295.25
				CHECK 1 74228 TOTAL FOR FUND 101:			872.75
11/20/2025	1	74229	LABOR ARBITRATION INSTITUTE	TRAINING & SEMINARS	958.001	305	475.00
11/20/2025	1	74232	LIBERTY VOTE USA INC.	NOV. LOCAL GEN ELECT SETUP ICP/ICX/IC	731.000	215	645.00
11/20/2025	1	74234	MARCO	CONTRACTUAL SERVICES	818.000	228	368.01
				EQUIPMENT MAINT & REPAIR	930.000	228	44.11
				CHECK 1 74234 TOTAL FOR FUND 101:			412.12
11/20/2025	1	74235	MARCO TECHNOLOGIES, LLC	EQUIPMENT MAINT & REPAIR	930.000	228	162.01
				EQUIPMENT MAINT & REPAIR	930.000	228	295.05
				EQUIPMENT MAINT & REPAIR	930.000	228	112.15
				CHECK 1 74235 TOTAL FOR FUND 101:			569.21
11/20/2025	1	74236	RACHELLE MATOUK	TRAINING & SEMINARS	958.001	286	30.00
11/20/2025	1	74238	METCOM	14 DAY NOTICE	757.000	286	745.80
				DEFAULT JUDGMENT	757.000	286	745.80
				SHIPPING	757.000	286	90.90
				CHECK 1 74238 TOTAL FOR FUND 101:			1,582.50
11/20/2025	1	74239	ETHAN MICHALSKI	CLOTHING/UNIFORM ALLOWANCE	725.000	531	180.19



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Fund: 101 GENERAL FUND							
11/20/2025	1	74240	MOBILE COMMUNICATIONS AMERICA, I	REPAIR SERVICE	851.000	305	792.00
11/20/2025	1	74241	JUSTIN MYLES	OPERATING SUPPLIES	757.000	775	125.70
11/20/2025	1	74242	NAMETAGCOUNTRY.COM	OPERATING SUPPLIES	757.000	215	49.30
				OPERATING SUPPLIES	757.000	215	19.30
				CHECK 1 74242 TOTAL FOR FUND 101:			68.60
11/20/2025	1	74243	NATIONAL BAND & TAG CO	OPERATING SUPPLIES	757.000	215	218.32
11/20/2025	1	74245*#	ODP BUSINESS SOLUTIONS LLC	FY 2025-26 OFFICE SUPPLIES	728.000	211	84.46
11/20/2025	1	74248	SHARE CORPORATION	CLEANING MATERIALS & SUPPLIES - GROUN	757.102	774	506.19
11/20/2025	1	74249	SUB-AQUATICS, INC.	SEMI-ANNUAL MAINTENANCE ON SCBA AIR C	818.000	339	863.58
11/20/2025	1	74252	TRIPLE F FACILITY SERVICES	SEMI-ANNUAL CLEAN OF TILE FLOORS/WALL	818.000	265	1,850.00
11/20/2025	1	74253	UNITED FACILITY SUPPLIES, INC.	JANITORIAL & MAINTENANCE SUPPLIES	757.106	774	591.79
11/20/2025	1	74254	JAMEISON WALKER II	DAMAGE DEPOSIT P&R	295.000	000	200.00
11/20/2025	1	74255	WAYNE COUNTY APPRAISAL, LLC	ASSESSMENT/TAX ROLL PREP	831.000	257	366.16
11/20/2025	1	74256	WEST SHORE SERVICES, INC.	SERVICE CALL FOR REPAIR	851.000	305	661.50
11/24/2025	1	74257	ASCENSION MI EMPLOYER SOLUTIONS	PHYSICAL EXAMS	835.100	441	95.00
11/24/2025	1	74259	CARE OF SOUTHEASTERN MICHIGAN	EAP SERVICES QTR PYMT	881.000	101	828.00
11/24/2025	1	74260#	CHARLES SCHWAB & CO., INC.	MEDICARE REIMBURSEMENT	722.100	209	539.40
				MEDICARE REIMBURSEMENT	722.100	345	4,227.76
				MEDICARE REIMBURSEMENT	722.100	531	1,020.34
				CHECK 1 74260 TOTAL FOR FUND 101:			5,787.50
11/24/2025	1	74261*#	CITY OF GROSSE POINTE WOODS	OPERATING SUPPLIES	757.000	265	47.00
				OPERATING SUPPLIES	757.000	441	10.58
				CHECK 1 74261 TOTAL FOR FUND 101:			57.58



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Fund: 101 GENERAL FUND							
11/24/2025	1	74262#	DTE ENERGY		921.000	211	2,028.69
					921.000	349	2,796.31
				1200 POLE ELECTRIC OCT 2025	921.000	594	211.87
				1200 POLE GAS OCT 2025	921.000	594	111.32
					921.000	780	657.96
				CHECK 1 74262 TOTAL FOR FUND 101:			5,806.15
11/24/2025	1	74263#	DTE ENERGY		921.000	211	562.84
					921.000	349	775.81
					921.000	780	182.54
				CHECK 1 74263 TOTAL FOR FUND 101:			1,521.19
11/24/2025	1	74269	KEITH SHERWOOD	CLOTHING/UNIFORM ALLOWANCE	725.000	531	190.80
11/24/2025	1	74270#	TAKEFORM	OPERATING SUPPLIES	757.000	172	56.09
				OPERATING SUPPLIES	757.000	265	449.07
				CHECK 1 74270 TOTAL FOR FUND 101:			505.16
11/24/2025	1	74271	TIMOTHY VANHAGEN	CLOTHING/UNIFORM ALLOWANCE	725.000	531	191.43
11/24/2025	1	74272	TIMOTHY WOFFORD	CLOTHING/UNIFORM ALLOWANCE	725.000	531	188.74
				Total for fund 101 GENERAL FUND			276,465.27



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Fund: 202 MAJOR STREET FUND							
11/06/2025	1	74029*#	ALLEMONS LANDSCAPE CENTER	OPERATING SUPPLIES	757.000	463	29.74
11/06/2025	1	74073*#	JAMES J. LEAMON LANDSCAPE DESIGN	2023 SIDEWALK REPAIR PROGRAM	976.100	451	2,582.50
11/06/2025	1	74097*#	PLANTE & MORAN	MAJOR STREETS SERVICES	818.000	530	2,235.46
11/13/2025	1	74124*#	AL'S ASPHALT PAVING CO.	CONSTRUCTION	974.200	451	18,775.02
11/13/2025	1	74125*#	ANDERSON ECKSTEIN & WESTRICK INC	ENGINEERING	974.201	451	41.12
				ENGINEERING	974.201	451	772.35
				AEW FEES - CONSTRUCTION	974.803	451	21,066.61
				CHECK 1 74125 TOTAL FOR FUND 202:			21,880.08
11/13/2025	1	74126*#	ANDERSON ECKSTEIN & WESTRICK INC	AEW DESIGN FEES - ASPHALT PATCHING AN	974.201	451	7,500.00
				ENGINEERING	974.201	451	107.45
				CHECK 1 74126 TOTAL FOR FUND 202:			7,607.45
11/13/2025	1	74138*#	CONTRACTORS CLOTHING CO.	UNIFORMS FOR TPOAM DPW AND LFP EMPLOY	725.000	529	215.94
				UNIFORMS FOR TPOAM DPW AND LFP EMPLOY	725.000	529	4.50
				UNIFORMS FOR TPOAM DPW AND LFP EMPLOY	725.000	529	242.20
				CHECK 1 74138 TOTAL FOR FUND 202:			462.64
11/13/2025	1	74180*	SCODELLER CONSTRUCTION, INC.	2024 PAVEMENT JOINT AND CRACK SEALING	975.300	451	6,499.10
				2025 PAVEMENT JOINT AND CRACK SEALING	975.300	451	5,567.46
				CHECK 1 74180 TOTAL FOR FUND 202:			12,066.56
11/13/2025	1	74184	STATE OF MICHIGAN	CONSTRUCTION	977.117	451	151,998.06
11/24/2025	1	74268*#	JAMES J. LEAMON LANDSCAPE DESIGN	2023 SIDEWALK REPAIR PROGRAM	976.100	451	3,346.00
				Total for fund 202 MAJOR STREET FUND			220,983.51



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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 203 LOCAL STREET FUND							
11/06/2025	1	74053	DORNBOS SIGN, INC.	SIGNS	757.000	474	152.23
11/06/2025	1	74073*#	JAMES J. LEAMON LANDSCAPE DESIGN	2023 SIDEWALK REPAIR PROGRAM	976.100	451	3,873.75
11/06/2025	1	74097*#	PLANTE & MORAN	LOCAL STREETS SERVICES	818.000	530	2,235.46
11/13/2025	1	74124*#	AL'S ASPHALT PAVING CO.	CONSTRUCTION	974.200	451	18,775.02
				CONSTRUCTION	977.804	451	160,213.51
				CHECK 1 74124 TOTAL FOR FUND 203:			178,988.53
11/13/2025	1	74125*#	ANDERSON ECKSTEIN & WESTRICK INC	ENGINEERING	974.201	451	123.38
				ENGINEERING	974.201	451	1,158.54
				ENGINEERING	977.803	451	129.87
				CHECK 1 74125 TOTAL FOR FUND 203:			1,411.79
11/13/2025	1	74126*#	ANDERSON ECKSTEIN & WESTRICK INC	ENGINEERING	974.201	451	1,289.42
				AEW DESIGN FEES - WEDGEWOOD RESURFACI	977.803	451	1,001.93
				ENGINEERING	977.803	451	5,802.39
				CHECK 1 74126 TOTAL FOR FUND 203:			8,093.74
11/13/2025	1	74138*#	CONTRACTORS CLOTHING CO.	UNIFORMS FOR TPOAM DPW AND LFP EMPLOY	725.000	529	491.16
11/13/2025	1	74180*	SCODELLER CONSTRUCTION, INC.	2024 PAVEMENT JOINT AND CRACK SEALING	975.300	451	13,195.14
				2025 PAVEMENT JOINT AND CRACK SEALING	975.300	451	11,303.62
				CHECK 1 74180 TOTAL FOR FUND 203:			24,498.76
11/24/2025	1	74268*#	JAMES J. LEAMON LANDSCAPE DESIGN	2023 SIDEWALK REPAIR PROGRAM	976.100	451	5,019.00
				Total for fund 203 LOCAL STREET FUND			224,764.42



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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 211 ACT 302 TRAINING FUND							
11/20/2025	1	74211	E-KIT TRAINING	EDUCATION-TRAINING	960.000	320	495.00
Total for fund 211 ACT 302 TRAINING FUND							495.00



Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 213 PARKWAY BEAUTIFICATION							
11/06/2025	1	74068	GROSSE POINTE NEWS	2025 MOL/FALLFEST THANK YOU AD GPN	880.130	803	527.25
11/13/2025	1	74191	WOODS TROPHIES	BEAUTIFICATION COMMISSION	880.310	803	181.50
11/20/2025	1	74230	RENEE LANDUYT	BEAUTIFICATION COMMISSION	880.310	803	300.00
11/20/2025	1	74244	NATIONAL CONEY ISLAND, INC.	FOOD FOR FALL FEST (HOTDOG/CHIPS/DRIN	880.130	803	4,000.00
Total for fund 213 PARKWAY BEAUTIFICATION							5,008.75



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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 226 SOLID WASTE/DISPOSAL							
11/06/2025	1	74069	GROSSO TRUCKING & SUPPLY CO	TRUCKING SERVICES-SOLID WASTE	818.000	528	2,730.00
11/06/2025	1	74097*#	PLANTE & MORAN	SOLID WASTE SERVICES	818.000	528	2,128.87
11/06/2025	1	74100	PRIORITY WASTE LLC	SOLID WASTE PICKUP	818.000	528	103,853.18
				SOLID WASTE PICKUP	818.000	528	10,514.16
				CHECK 1 74100 TOTAL FOR FUND 226:			114,367.34
11/06/2025	1	74105	SILVER LINING TIRE RECYCLING LLC	CONTRACTUAL SERVICES	818.000	528	224.50
11/13/2025	1	74140*	CORELOGIC CENTRALIZED REFUNDS	OPERATING LEVY	402.000	000	125.46
11/13/2025	1	74155	INDIAN SUMMER RECYCLING	YARD WASTE DISPOSAL	818.000	528	2,250.80
11/20/2025	1	74223	GROSSE POINTES-CLINTON	REFUSE DISPOSAL FEES	818.000	528	24,973.04
11/20/2025	1	74224	GROSSO TRUCKING & SUPPLY CO	TRUCKING SERVICES-SOLID WASTE	818.000	528	300.00
				TRUCKING SERVICES-SOLID WASTE	818.000	528	770.00
				TRUCKING SERVICES-SOLID WASTE	818.000	528	4,900.00
				CHECK 1 74224 TOTAL FOR FUND 226:			5,970.00
11/24/2025	1	74264	ERG ENVIRONMENTAL SERVICES	BATTERY RECYCLING	818.000	528	1,602.56
				Total for fund 226 SOLID WASTE/DISPOSAL			154,372.57



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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 260 SOM MIDC GRANT							
11/06/2025	1	74048	JEFFREY R. DAVIS, P.C.	COURT APPOINTED ATTORNEY	801.400	286	354.75
11/13/2025	1	74161	KEVIN KORESKY	COURT APPOINTED ATTORNEY	801.400	286	129.00
11/13/2025	1	74190	THE LAW FIRM OF DEBORAH	COURT APPOINTED ATTORNEY	801.400	286	316.50
				COURT APPOINTED ATTORNEY	801.400	286	387.00
				COURT APPOINTED ATTORNEY	801.400	286	411.75
				CHECK 1 74190 TOTAL FOR FUND 260:			<u>1,115.25</u>
				Total for fund 260 SOM MIDC GRANT			1,599.00



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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 304 ROAD BOND FUND- VOTER APPROVED NOV 2014							
11/13/2025	1	74140*	CORELOGIC CENTRALIZED REFUNDS	OPERATING LEVY	402.000	000	20.76
Total for fund 304 ROAD BOND FUND- VOTER APPROV							20.76



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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 365 GROSSE GRATIOT DRAIN FUND							
11/06/2025	1	74097*#	PLANTE & MORAN	GROSSE GRATIOT SERVICES	818.000	907	3,345.37
11/06/2025	1	74118	WAYNE COUNTY	CONTR-O&M MLK RIV	818.000	445	617,470.75
Total for fund 365 GROSSE GRATIOT DRAIN FUND							620,816.12



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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 401 MUNICIPAL IMPRV FUND							
11/06/2025	1	74078	LANDSCAPE SOURCE	REGAL PETTICOAT MAPLE 2.5"	977.401	902	8,040.00
				TULIP TREE 2.0"	977.401	902	2,925.00
				RED SUNSET 2.0"	977.401	902	3,900.00
				BLACK GUM 2.0"	977.401	902	3,151.80
				HORNBEAM 2.5"	977.401	902	1,983.00
				CHECK 1 74078 TOTAL FOR FUND 401:			<u>19,999.80</u>
11/13/2025	1	74125*#	ANDERSON ECKSTEIN & WESTRICK INC	CONSTRUCTION ENGINEERING AND ARCHITEC	977.104	902	666.65
				ENGINEERING	977.104	902	1,060.10
				CHECK 1 74125 TOTAL FOR FUND 401:			<u>1,726.75</u>
11/13/2025	1	74154	IN-LINE CONSTRUCTION, INC.	OLD CONCESSION STAND BUILDING RENOVAT	977.104	902	55,468.55
				Total for fund 401 MUNICIPAL IMPRV FUND			77,195.10



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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 585 PARKING FUND							
11/06/2025	1	74044*#	COOL THREADS EMBROIDERY	MISCELLANEOUS PURCHASES	757.000	571	618.75
				MISCELLANEOUS PURCHASES	757.000	571	61.87
				CHECK 1 74044 TOTAL FOR FUND 585:			680.62
11/06/2025	1	74115*#	VERIZON WIRELESS	CONTRACTUAL SERVICES	818.000	571	80.34
11/13/2025	1	74125*#	ANDERSON ECKSTEIN & WESTRICK INC	ENGINEERNG	978.300	571	422.86
				ENGINEERING	978.300	571	4,891.60
				CHECK 1 74125 TOTAL FOR FUND 585:			5,314.46
11/13/2025	1	74138*#	CONTRACTORS CLOTHING CO.	UNIFORMS FOR TPOAM DPW AND LFP EMPLOY	725.000	571	157.48
11/13/2025	1	74174*#	PRINT XPRESS	OPERATING SUPPLIES	757.000	571	118.40
				Total for fund 585 PARKING FUND			6,351.30



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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 592 WATER / SEWER FUND							
11/06/2025	1	74034	BADGER METER, INC	BADGER METER BEACON SOFTWARE	818.000	536	1,035.15
11/06/2025	1	74056*#	DTE ENERGY	UTILITIES	921.000	542	1,493.66
11/06/2025	1	74063	FONTANA CONSTRUCTION INC	WATER MAIN & SEWER REPAIRS AND WATER	818.000	537	3,230.00
11/06/2025	1	74067*#	GRAINGER	OPERATING SUPPLIES	757.000	542	8.66
				OPERATING SUPPLIES	757.000	542	12.99
				OPERATING SUPPLIES	757.000	542	161.04
				CHECK 1 74067 TOTAL FOR FUND 592:			182.69
11/06/2025	1	74071	HYDROCORP	CROSS CONNECTION PROGRAM	975.395	537	845.00
				RESIDENTIAL CROSS CONNECTION PROGRAM	975.395	537	5,140.69
				CHECK 1 74071 TOTAL FOR FUND 592:			5,985.69
11/06/2025	1	74073*#	JAMES J. LEAMON LANDSCAPE DESIGN	2023 SIDEWALK REPAIR PROGRAM	976.100	537	6,456.25
11/06/2025	1	74075	KOGELMANN'S CREEKSIDE SOD FARM,	SOD-DAMAGE FROM WATER MAIN BREAKS	757.000	537	615.00
11/06/2025	1	74083*#	LOWE'S	OPERATING SUPPLIES	757.000	537	56.98
11/06/2025	1	74097*#	PLANTE & MORAN	WATER SERVICES	818.000	536	2,896.76
11/06/2025	1	74098*#	POINTE ALARM LLC	TORREY ROAD PUMP STATION MONITORING	818.000	542	476.38
11/06/2025	1	74106	SOUTHEAST MACOMB SANITARY DISTRI	WC SEWER EXCESS FIXED CHARGES	920.102	537	179,792.09
11/06/2025	1	74115*#	VERIZON WIRELESS	UTILITIES	921.000	542	36.52
				UTILITIES	921.000	542	50.26
				CHECK 1 74115 TOTAL FOR FUND 592:			86.78
11/06/2025	1	74120	ZEE COMPANY	MONTHLY WATER TREATMENT CONTRACT	818.000	536	240.00
11/06/2025	1	74123	SOUTHEAST MACOMB SANITARY DISTRI	WC SEWER EXCESS FIXED CHARGES	920.102	537	179,792.09



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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 592 WATER / SEWER FUND							
11/13/2025	1	74124*#	AL'S ASPHALT PAVING CO.	CONSTRUCTION	977.300	537	52,570.06
11/13/2025	1	74125*#	ANDERSON ECKSTEIN & WESTRICK INC	ENGINEERNG	975.401	537	6,050.13
				CONSTRUCTION ENGINEERING	818.000	542	2,487.40
				CHECK 1 74125 TOTAL FOR FUND 592:			8,537.53
11/13/2025	1	74126*#	ANDERSON ECKSTEIN & WESTRICK INC	FY 2024-25 GENERAL ENGINEERING	818.000	537	495.94
				ENGINEERNG	977.310	537	3,545.91
				CHECK 1 74126 TOTAL FOR FUND 592:			4,041.85
11/13/2025	1	74142	DETROIT PUMP & MFG CO.	ANNUAL TORREY RD MAINTENANCE	818.000	542	2,700.00
11/13/2025	1	74146*#	DTE ENERGY	UTILITIES	921.000	542	257.38
11/13/2025	1	74147	FONTANA CONSTRUCTION INC	WATER MAIN & SEWER REPAIRS AND WATER	818.000	537	8,644.00
				WATER MAIN & SEWER REPAIRS AND WATER	818.000	537	1,223.00
				WATER MAIN & SEWER REPAIRS AND WATER	818.000	537	6,235.50
				WATER MAIN & SEWER REPAIRS AND WATER	818.000	537	7,948.75
				CHECK 1 74147 TOTAL FOR FUND 592:			24,051.25
11/13/2025	1	74151*#	GILBERTS PRO HARDWARE	MINOR OPERATING SUPPLIES ALL DEPTS.	757.000	537	33.11
				MINOR OPERATING SUPPLIES ALL DEPTS.	757.000	542	93.53
				CHECK 1 74151 TOTAL FOR FUND 592:			126.64
11/13/2025	1	74160	KOGELMANN'S CREEKSIDE SOD FARM,	SOD-DAMAGE FROM WATER MAIN BREAKS	757.000	537	630.00
11/13/2025	1	74177	RAUHORN ELECTRIC, INC.	CONSTRUCTION	974.000	542	137,552.40
11/13/2025	1	74188	UTILITY METERING SOLUTIONS, LLC	WATER METER READER INSTALL	977.100	537	107,132.32
11/20/2025	1	74194*#	AMAZON CAPITAL SERVICES	OPERATING SUPPLIES	757.000	542	33.65
11/20/2025	1	74195*#	AMAZON CAPITAL SERVICES	OPERATING SUPPLIES	757.000	537	259.98



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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 592 WATER / SEWER FUND							
11/20/2025	1	74200*#	AT&T MOBILITY LLC	UTILITIES	921.000	542	82.30
11/20/2025	1	74204*#	CITY OF GROSSE POINTE WOODS	UTILITIES	921.000	542	363.32
11/20/2025	1	74215	EXWAY ELECTRIC	OPERATING SUPPLIES	757.000	542	52.67
11/20/2025	1	74217	FONTANA CONSTRUCTION INC	WATER MAIN & SEWER REPAIRS AND WATER	818.000	537	8,099.50
				WATER MAIN & SEWER REPAIRS AND WATER	818.000	537	6,994.00
				CHECK 1 74217 TOTAL FOR FUND 592:			15,093.50
11/20/2025	1	74220*#	GRAINGER	TOREEY ROAD PUMP STATION GENERATOR FI	757.000	542	595.11
				MISC. SUPPLIES AND EQUIPMENT	757.000	542	243.78
				OPERATING SUPPLIES	757.000	542	5.52
				OPERATING SUPPLIES	757.000	542	122.92
				CHECK 1 74220 TOTAL FOR FUND 592:			967.33
11/20/2025	1	74227	JACK DOHENY COMPANY	SEWER JET #15 PARTS	757.000	537	1,104.69
11/20/2025	1	74231	LASERCOM, LLC	NOTIFICATION OF SERVICE LINE AND PUBL	818.000	536	6,997.99
11/20/2025	1	74233	MACK & COOK LLC	50-METER CHARGE	033.000	000	474.01
11/20/2025	1	74237	MATTIOLI CEMENT COMPANY, LLC	REPLACE CONCRETE AT TRPS	818.000	542	15,651.42
11/20/2025	1	74245*#	ODP BUSINESS SOLUTIONS LLC	OPERATING SUPPLIES	757.000	538	22.20
11/24/2025	1	74261*#	CITY OF GROSSE POINTE WOODS	OPERATING SUPPLIES	757.000	537	40.15
11/24/2025	1	74265	FERGUSON ENTERPRISES LLC #3326	WATER & SEWER SUPPLIES	757.000	537	2,072.00
11/24/2025	1	74268*#	JAMES J. LEAMON LANDSCAPE DESIGN	2023 SIDEWALK REPAIR PROGRAM	976.100	537	8,365.00
				Total for fund 592 WATER / SEWER FUND			771,519.16



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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 594 BOAT DOCK FUND							
11/13/2025	1	74125*#	ANDERSON ECKSTEIN & WESTRICK INC	ENGINEERING	974.201	785	148.57
11/13/2025	1	74170	THOMAS MORATH	DOCKING FEES	651.002	000	150.00
				DOCKING FEES	651.002	000	75.00
				CHECK 1 74170 TOTAL FOR FUND 594:			<u>225.00</u>
				Total for fund 594 BOAT DOCK FUND			373.57



Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 661 MTR VEH & EQUIPMENT FUND							
11/06/2025	1	74029*#	ALLEMONS LANDSCAPE CENTER	VEHICLE MAINTENANCE - DPW	939.100	534	42.46
11/06/2025	1	74039	BROWN EQUIPMENT CO., INC.	CLUTCH DPW LEAF VAC #46	939.100	534	2,339.17
				FREIGHT	939.100	534	506.42
				CHECK 1 74039 TOTAL FOR FUND 661:			<u>2,845.59</u>
11/06/2025	1	74062	FIRST DUE EQUIPMENT SALES & REPA	LADDER 5 REPAIR	939.200	534	1,218.88
11/06/2025	1	74072	INDUSTRIAL BROOM SERVICE	SWEEPER BROOMS & PARTS	939.100	534	761.00
11/06/2025	1	74097*#	PLANTE & MORAN	VEHICLE SERVICES	818.000	534	1,520.62
11/06/2025	1	74114	TRI-COUNTY INTERNATIONAL TRUCKS	#8 2015 INTERNATIONAL 10 YD DUMP TRUC	939.100	534	4,410.12
11/13/2025	1	74129	BLUE WATER INDUSTRIAL PRODUCTS	OXYGEN, ACETYLENE & PROPANE MECHANICS	939.100	534	108.00
11/13/2025	1	74130	CANFIELD EQUIPMENT SERVICE, INC.	VEHICLE MAINTENANCE - PS	939.200	534	343.16
11/13/2025	1	74132*#	CINTAS CORP LOC #31	MECHANICS UNIFORMS	725.000	535	24.23
				MECHANICS UNIFORMS	725.000	535	24.23
				CHECK 1 74132 TOTAL FOR FUND 661:			<u>48.46</u>
11/13/2025	1	74149	DANIEL FRANK	CLOTHING/UNIFORM ALLOWANCE	725.000	535	300.00
11/13/2025	1	74150	GEORGE'S DISCOUNT AUTO	AUTO & TRUCK PARTS & SUPPLIES	939.100	534	2,792.00
				AUTO & TRUCK PARTS & SUPPLIES	939.200	534	1,952.74
				AUTO & TRUCK PARTS & SUPPLIES	939.300	534	479.02
				CHECK 1 74150 TOTAL FOR FUND 661:			<u>5,223.76</u>
11/13/2025	1	74157	INTERSTATE BILLING SERVICES, INC	PARTS & EQUIPMENT DPW	939.100	534	11,137.90
11/13/2025	1	74171	NICKEL & SAPH, INC.	INSURANCE	955.000	534	758.00
				INSURANCE	955.000	534	(75.00)
				CHECK 1 74171 TOTAL FOR FUND 661:			<u>683.00</u>
11/13/2025	1	74187	TRI-COUNTY INTERNATIONAL TRUCKS	VEHICLE MAINTENANCE - DPW	939.100	534	88.03



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CHECK DISBURSEMENT REPORT FOR CITY OF GROSSE POINTE WOODS  
CHECK DATE FROM 11/01/2025 - 11/30/2025

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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 661 MTR VEH & EQUIPMENT FUND							
11/20/2025	1	74212	ED RINKE CHEVROLET	AUTO & TRUCK PARTS	939.200	534	76.17
11/20/2025	1	74246	RKA PETROLEUM COMPANIES, INC.	FUEL PURCHASE	939.500	534	2,077.65
11/20/2025	1	74247	RUSS MILNE FORD, INC.	VEHICLE MAINTENANCE - DPW	939.100	534	251.26
11/20/2025	1	74250	TERMINAL SUPPLY CO	OPERATING SUPPLIES	757.000	534	447.32
11/20/2025	1	74251	TRACTION	#41 RUBBISH TRUCK PARTS	939.100	534	1,581.71
				#41 RUBBISH TRUCK PARTS	939.100	534	(153.90)
				CHECK 1 74251 TOTAL FOR FUND 661:			<u>1,427.81</u>
11/24/2025	1	74258	CANFIELD EQUIPMENT SERVICE, INC.	REMOVAL OF ALL EQUIPMENT FROM 2021 FO	939.200	534	1,100.00
11/24/2025	1	74261*#	CITY OF GROSSE POINTE WOODS	GAS & OIL - ALL DEPTS	939.500	534	44.98
11/24/2025	1	74267	INTERSTATE BILLING SERVICES, INC	PARTS & EQUIPMENT DPW & PARKS	939.300	534	462.81
				PARTS & EQUIPMENT DPW & PARKS	939.300	534	317.91
				CHECK 1 74267 TOTAL FOR FUND 661:			<u>780.72</u>
				Total for fund 661 MTR VEH & EQUIPMENT FUND			34,936.89



Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 677 WORKERS COMP FUND							
11/06/2025	1	74097*#	PLANTE & MORAN	WORK COMP. SERVICES	818.000	210	2,235.46
11/13/2025	1	74182	SEDGWICK CLAIMS MGMT SERVICES, I	INSURANCE PREM.	955.000	210	6,117.50
Total for fund 677 WORKERS COMP FUND							8,352.96



Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 678 MEDICAL CARE FUND							
11/06/2025	1	74049	DELTA DENTAL	DELTA DENTAL RETIREE	717.020	210	908.38
				DELTA DENTAL RETIREE	717.020	210	6,998.33
				CHECK 1 74049 TOTAL FOR FUND 678:			<u>7,906.71</u>
11/06/2025	1	74050	DELTA DENTAL	DENTAL	719.010	210	543.60
				DENTAL	719.010	210	4,187.96
				CHECK 1 74050 TOTAL FOR FUND 678:			<u>4,731.56</u>
11/20/2025	1	74201	BLUE CROSS BLUE SHIELD OF MI	MEDICARE ADVANTAGE RETIREE	717.010	210	21,034.45
11/24/2025	1	74266	HUMANA INSURANCE CO.	HUMANA RETIREE	717.030	210	25,234.16
				Total for fund 678 MEDICAL CARE FUND			58,906.88



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CHECK DISBURSEMENT REPORT FOR CITY OF GROSSE POINTE WOODS  
CHECK DATE FROM 11/01/2025 - 11/30/2025

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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 703 WAYNE COUNTY TAX FUND							
11/13/2025	1	74140*	CORELOGIC CENTRALIZED REFUNDS	WAYNE COUNTY OPERATING	222.101	000	288.72
				STATE EDUCATION	222.800	000	311.44
				INTERM SCHOOL TAXES	234.000	000	176.96
				WCRESA-ENH	234.100	000	102.30
				SENIOR SERVICES	239.000	000	17.96
				CHECK 1 74140 TOTAL FOR FUND 703:			897.38
				Total for fund 703 WAYNE COUNTY TAX FUND			897.38
			TOTAL - ALL FUNDS				2,463,058.64

'\*'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE FUND

'#'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE DEPARTMENT



City of Grosse Pointe Woods  
Investments as of November 30, 2025

Investment	General Fund #101	Cable Fund #214	Parking Fund #585	Water/Sewer #592	Workers Comp #677	Motor Vehicle Fund #661	Total	% of Total
Federal Home Loan BKS	\$200,000			\$450,000			\$650,000	4.47%
Federal Home Loan Mortgage	\$750,000			\$750,000			\$1,500,000	10.32%
Federal Nat'l Mtg Assn	\$500,000	\$250,000		\$250,000			\$1,000,000	6.88%
Federal Farm CR BKS	\$200,000			\$450,000			\$650,000	4.47%
Federal Agric Mtg	\$250,000			\$250,000			\$500,000	3.44%
Community Unity Bk - CD				\$250,000			\$250,000	1.72%
Dort Finl Cr Un - CD	\$200,000						\$200,000	1.38%
First Nat'l Bank East Lansing, MI - CD	\$250,000						\$250,000	1.72%
JPMorgan Chase Bk - CD	\$245,000						\$245,000	1.69%
Sturgis Bk & Tr Co - CD				\$249,000			\$249,000	1.71%
<b>CIBC*</b>	\$308,041			\$1,232,068	\$129,684	\$431,290	\$2,101,083	14.46%
<b>Huntington Bank*</b>				\$589,950			\$589,950	4.06%
<b>Federal Farm CR BKS - Comerica</b>	\$1,095,000			\$790,000			\$1,885,000	12.97%
<b>Federal Home Loan Bank-Comerica</b>	\$720,000			\$800,000			\$1,520,000	10.46%
<b>Federal Home Loan Mortgage - Comerica</b>	\$505,000	\$250,000		\$250,000			\$1,005,000	6.92%
<b>Federal Nat'l Mtg Assn - Comerica</b>	\$680,000		\$505,850	\$250,000		\$249,150	\$1,685,000	11.60%
<b>Macomb Cty Retiree Hlth Care</b>	\$250,000						\$250,000	1.72%
TOTAL	\$6,153,041	\$500,000	\$505,850	\$6,561,018	\$129,684	\$680,440	\$14,530,033	
Total Invested w/Multi Bank							\$5,494,000	



REVENUE AND EXPENDITURE REPORT FOR CITY OF GROSSE POINTE WOODS

PERIOD ENDING 11/30/2025

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2025-26	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDGT USED
		AMENDED BUDGET	11/30/2025 NORMAL (ABNORMAL)	MONTH 11/30/2025 INCREASE (DECREASE)	BALANCE NORMAL (ABNORMAL)	
Fund 101 - GENERAL FUND						
000		18,069,055.00	13,509,389.35	241,788.51	4,559,665.65	74.77
931 - TRANSFER IN		80,000.00	0.00	0.00	80,000.00	0.00
TOTAL REVENUES		18,149,055.00	13,509,389.35	241,788.51	4,639,665.65	74.44
101 - CITY COUNCIL		110,573.00	36,146.84	3,609.71	74,426.16	32.69
105 - COMMISSIONS		53,317.00	3,245.49	300.00	50,071.51	6.09
172 - ADMINISTRATION		443,660.00	192,089.98	25,857.04	251,570.02	43.30
193 - CITY COMPTROLLER		526,566.00	247,721.45	36,406.43	278,844.55	47.04
209 - ADMIN-FRINGE BENEFITS		261,400.00	256,755.65	539.40	4,644.35	98.22
211 - OVERHEAD		150,009.00	30,248.04	5,687.19	119,760.96	20.16
215 - CITY CLERK/ELECTIONS		510,683.00	270,011.54	37,832.17	240,671.46	52.87
228 - MIS		514,749.00	232,929.92	24,170.40	281,819.08	45.25
229 - MIS FRINGE BENEFITS		31,280.00	29,580.00	0.00	1,700.00	94.57
257 - CITY ASSESSOR		122,855.00	41,717.03	8,314.68	81,137.97	33.96
265 - CITY HALL & GROUNDS		353,135.00	75,245.98	22,634.74	277,889.02	21.31
266 - CITY ATTORNEY		265,000.00	35,861.65	9,601.98	229,138.35	13.53
286 - COURT EXPENDITURES		423,319.00	180,775.56	28,249.93	242,543.44	42.70
305 - PUB SAF-ADMIN		385,332.00	115,991.04	23,391.60	269,340.96	30.10
310 - POLICE SERVICES		5,274,072.00	2,047,493.60	382,586.26	3,226,578.40	38.82
326 - SUPPORT SERVICES		167,927.00	51,743.78	13,981.39	116,183.22	30.81
339 - FIRE SERV/SAFETY INS		78,726.00	12,617.42	2,227.27	66,108.58	16.03
345 - PUB-SAF FRINGES		2,184,845.00	1,767,860.81	4,288.73	416,984.19	80.91
349 - OVERHEAD		257,222.00	49,215.40	5,921.70	208,006.60	19.13
371 - BUILDING INSPECTIONS		674,250.00	202,615.43	77,213.54	471,634.57	30.05
441 - PUBLIC WORKS-ADMIN		180,883.00	64,611.11	24,375.27	116,271.89	35.72
463 - ROUTINE MAINTENANCE		426,273.00	186,399.72	83,249.33	239,873.28	43.73
523 - FORESTRY SERVICES		332,385.00	27,943.84	7,049.76	304,441.16	8.41
531 - PUB WKS-FRINGE		398,730.00	347,892.76	6,484.86	50,837.24	87.25
594 - OVERHEAD		683,512.00	210,751.78	51,232.65	472,760.22	30.83
752 - PARKS & REC-ADMIN		18,938.00	5,767.96	787.21	13,170.04	30.46
774 - LFP EXPENDITURES		1,729,215.00	783,381.90	53,824.37	945,833.10	45.30
775 - CITY PARKS		139,133.00	60,942.24	4,676.17	78,190.76	43.80
780 - COMMUNITY CENTER		290,604.00	114,500.23	17,699.44	176,103.77	39.40
795 - PARKS & REC FRINGE		108,409.00	104,788.40	0.00	3,620.60	96.66
799 - OVERHEAD		25,611.00	0.00	0.00	25,611.00	0.00
967 - TRANSFERS OUT ADMIN.		425,539.00	188,181.74	0.00	237,357.26	44.22
968 - TRANSFER OUT DPS		310,904.00	0.00	0.00	310,904.00	0.00
969 - TRANSFER OUT DPW		220,000.00	0.00	0.00	220,000.00	0.00
970 - TRANSFERS OUT PARKS/RECR.		70,000.00	0.00	0.00	70,000.00	0.00
TOTAL EXPENDITURES		18,149,056.00	7,975,028.29	962,193.22	10,174,027.71	43.94
Fund 101 - GENERAL FUND:						
TOTAL REVENUES		18,149,055.00	13,509,389.35	241,788.51	4,639,665.65	74.44
TOTAL EXPENDITURES		18,149,056.00	7,975,028.29	962,193.22	10,174,027.71	43.94
NET OF REVENUES & EXPENDITURES		(1.00)	5,534,361.06	(720,404.71)	(5,534,362.06)	553,436



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PERIOD ENDING 11/30/2025

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2025-26	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDGT USED
		AMENDED BUDGET	11/30/2025 NORMAL (ABNORMAL)	MONTH 11/30/2025 INCREASE (DECREASE)	BALANCE NORMAL (ABNORMAL)	
Fund 101 - GENERAL FUND						
Revenues						
Dept 000						
101-000-402.000	OPERATING LEVY	12,148,178.00	11,791,665.51	21,913.28	356,512.49	97.07
101-000-402.001	MTT PROPERTY TAX REFUND	0.00	0.00	0.00	0.00	0.00
101-000-402.002	PPT LOSS DISTRIBUTION	0.00	0.00	0.00	0.00	0.00
101-000-404.000	ACT 359 - PR	50,000.00	48,646.60	90.39	1,353.40	97.29
101-000-411.000	DELQ TAXES	20,000.00	3,448.68	1,750.91	16,551.32	17.24
101-000-432.000	PILOT	30,000.00	0.00	0.00	30,000.00	0.00
101-000-445.000	INTEREST & PENALTY	55,000.00	46,765.25	3,419.68	8,234.75	85.03
101-000-447.000	SUMMER ADMIN FEE	290,000.00	307,249.34	550.57	(17,249.34)	105.95
101-000-447.100	WINTER ADMIN FEE	200,000.00	2.64	0.00	199,997.36	0.00
101-000-477.000	CABLE FRANCHISE FEE	280,000.00	12,541.82	0.00	267,458.18	4.48
101-000-477.100	AT&T LICENSE AGREEMENT	55,000.00	66,630.99	54,853.86	(11,630.99)	121.15
101-000-478.000	BUILDERS LIC/PERM	376,767.00	224,733.70	32,149.00	152,033.30	59.65
101-000-479.000	PLUMBERS LIC/PERM	53,600.00	22,883.00	4,834.00	30,717.00	42.69
101-000-480.000	ELECTRICAL LIC/PERM	89,706.00	38,417.65	5,790.00	51,288.35	42.83
101-000-481.000	PROPERTY MAINTENANCE PERMIT	89,706.00	12,350.00	2,375.00	77,356.00	13.77
101-000-482.000	PROPERTY MAINTENANCE FEE	13,107.00	3,247.25	87.50	9,859.75	24.77
101-000-483.000	FORECLOSURE ORDINANCE FEES	1,121.00	0.00	0.00	1,121.00	0.00
101-000-484.000	MECHANICAL PERMIT	78,493.00	34,011.70	5,351.00	44,481.30	43.33
101-000-485.000	ANIMAL LICENSES	7,000.00	1,251.00	120.00	5,749.00	17.87
101-000-486.000	BICYCLE LICENSES	0.00	5.00	0.00	(5.00)	100.00
101-000-487.000	SITE PLAN REVIEW FEE	4,000.00	7,450.00	0.00	(3,450.00)	186.25
101-000-491.000	TREE TRIM LICENSES	0.00	0.00	0.00	0.00	0.00
101-000-500.100	MISC PERMIT REVENUE	1,000.00	2,200.00	0.00	(1,200.00)	220.00
101-000-511.000	ARPA FUNDS #21.027	0.00	0.00	0.00	0.00	0.00
101-000-512.000	STATE OF MI-CARES/COVID	0.00	0.00	0.00	0.00	0.00
101-000-528.000	FEDERAL GRANT REVENUE	0.00	0.00	0.00	0.00	0.00
101-000-543.010	PS GPPS SRO GRANT	76,000.00	44,477.41	15,998.93	31,522.59	58.52
101-000-543.030	STATE CPE GRANT	0.00	0.00	0.00	0.00	0.00
101-000-543.100	FORFEITURE MONEY	0.00	0.00	0.00	0.00	0.00
101-000-543.200	STATE OF MI - PS RECEIPTS	0.00	0.00	0.00	0.00	0.00
101-000-548.100	TREE GRANT	0.00	0.00	0.00	0.00	0.00
101-000-549.000	FIRE GRANT	0.00	0.00	0.00	0.00	0.00
101-000-568.000	STATE LIQUOR LIC	10,000.00	7,979.40	0.00	2,020.60	79.79
101-000-569.000	SOM - OTHER REVENUE	0.00	13,297.12	0.00	(13,297.12)	100.00
101-000-569.800	MSHDA GRANT	50,000.00	25,000.00	0.00	25,000.00	50.00
101-000-569.900	ST OF MI-ELECTION REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-000-573.000	SOM-LOCAL COMMUNITY STABILIZATION AUTH	60,000.00	56,868.55	0.00	3,131.45	94.78
101-000-574.000	STATE SHARE REV-CONS	1,831,031.00	324,671.00	0.00	1,506,360.00	17.73
101-000-574.001	STATE SHARE REV-CVTRS	253,470.00	40,620.00	0.00	212,850.00	16.03
101-000-585.000	SCHOOL ELECTIONS	0.00	0.00	0.00	0.00	0.00
101-000-586.000	SMART GRANTS	15,000.00	0.00	0.00	15,000.00	0.00
101-000-590.000	GROSSE POINTE CHAMBER FOUNDATION	0.00	0.00	0.00	0.00	0.00
101-000-611.000	REIMBURSE COURT APPTD ATTY FEES	1,500.00	150.00	0.00	1,350.00	10.00
101-000-621.000	PROBATION FEES	5,000.00	1,530.00	589.00	3,470.00	30.60
101-000-629.000	GPS DISPATCH SERVICES	94,314.00	23,578.50	0.00	70,735.50	25.00
101-000-642.000	LFP VENDING SALES	0.00	0.00	0.00	0.00	0.00
101-000-642.010	LAKE FRONT PARK MERCHANDISE	1,850.00	140.00	0.00	1,710.00	7.57
101-000-642.020	CONSESSION STAND REVENUE	14,400.00	2,180.00	0.00	12,220.00	15.14
101-000-646.000	COMMUNITY CENTER REVENUE	29,400.00	13,015.00	2,810.00	16,385.00	44.27
101-000-653.000	ACTIVITY FEES	150.00	160.00	0.00	(10.00)	106.67
101-000-653.100	ACTIVITY FEES - P&R	25,760.00	7,206.00	1,486.00	18,554.00	27.97
101-000-653.105	ACTIVITY FEES - MINI GOLF	5,550.00	4,142.00	80.00	1,408.00	74.63
101-000-653.106	ACTIVITY FEES - GOLF CARTS	22,000.00	0.00	0.00	22,000.00	0.00



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PERIOD ENDING 11/30/2025

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2025-26	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDGT USED
		AMENDED BUDGET	11/30/2025 NORMAL (ABNORMAL)	MONTH 11/30/2025 INCREASE (DECREASE)	BALANCE NORMAL (ABNORMAL)	
Fund 101 - GENERAL FUND						
Revenues						
101-000-653.110	ACTIVITY FEES - GPW SENIORS	4,200.00	3,995.00	2,640.00	205.00	95.12
101-000-653.120	ACTIVITY FEES - COMM CENTER	4,200.00	0.00	0.00	4,200.00	0.00
101-000-653.130	ACTIVITY FEES - MISC	0.00	0.00	0.00	0.00	0.00
101-000-653.200	SWIM LESSONS	24,000.00	7,235.00	0.00	16,765.00	30.15
101-000-653.210	TEAMS - SWIM	36,000.00	3,656.00	0.00	32,344.00	10.16
101-000-653.211	LFSA SPONSORS	0.00	0.00	0.00	0.00	0.00
101-000-653.220	ARC - MISC	0.00	0.00	0.00	0.00	0.00
101-000-653.230	ADULT CLASSES	0.00	0.00	0.00	0.00	0.00
101-000-653.240	CHILD CLASSES	0.00	0.00	0.00	0.00	0.00
101-000-653.260	HOB NOBBIN EVENT	0.00	0.00	0.00	0.00	0.00
101-000-653.270	TENNIS	29,000.00	10,384.80	0.00	18,615.20	35.81
101-000-653.310	CC PROGRAM - ADULT	29,980.00	13,199.01	370.00	16,780.99	44.03
101-000-653.320	CC PROGRAMS - CHILD	3,240.00	0.00	0.00	3,240.00	0.00
101-000-653.340	CC PROGRAMS - SENIOR	6,435.00	1,498.00	26.00	4,937.00	23.28
101-000-653.350	CC PROGRAMS - TRIPS	5,000.00	(565.00)	0.00	5,565.00	(11.30)
101-000-653.400	ACTIVITY FEES - GAZEBO RENTAL	17,000.00	1,000.00	0.00	16,000.00	5.88
101-000-653.410	ACTIVITY FEES- PAVILION RENTAL	0.00	3,750.00	0.00	(3,750.00)	100.00
101-000-653.420	ACTIVITY FEES - TENT RENTAL	0.00	0.00	0.00	0.00	0.00
101-000-656.000	VIOLATIONS	25,000.00	6,290.17	816.00	18,709.83	25.16
101-000-657.000	CODE VIOLATIONS -BLDG DEPT	3,000.00	117.00	0.00	2,883.00	3.90
101-000-660.000	COURT FINES & COSTS	160,000.00	59,596.16	12,803.00	100,403.84	37.25
101-000-660.010	O.U.I.L. REIMBURSEMT	25,000.00	7,666.00	1,913.00	17,334.00	30.66
101-000-665.000	INTEREST INCOME	100,000.00	164,849.58	52,053.15	(64,849.58)	164.85
101-000-669.030	GAIN ON MKT VALUE	0.00	0.00	0.00	0.00	0.00
101-000-673.000	SALE OF ASSETS	0.00	0.00	0.00	0.00	0.00
101-000-674.020	DONATIONS	0.00	0.00	0.00	0.00	0.00
101-000-674.400	K9 DONATION GPAAS	13,600.00	15,471.00	1,871.00	(1,871.00)	113.76
101-000-676.000	WORKERS COMP - REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-000-676.010	NAVITUS REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-000-677.060	REIMBURSE PENSION ADMIN FEE	14,000.00	0.00	0.00	14,000.00	0.00
101-000-677.070	REIMB PARKING LOT SERVICES	15,000.00	0.00	0.00	15,000.00	0.00
101-000-677.080	REIMBURSEMENT - HEALTHCARE	0.00	8,167.40	1,633.48	(8,167.40)	100.00
101-000-677.090	RETIREE DRUG SUBSIDY	0.00	0.00	0.00	0.00	0.00
101-000-677.100	INSURANCE HARD CAP	0.00	0.00	0.00	0.00	0.00
101-000-679.000	PROCEEDS-ATT CELL	0.00	0.00	0.00	0.00	0.00
101-000-682.000	GPF-PROVENCAL	0.00	0.00	0.00	0.00	0.00
101-000-683.000	OTHER INCOME	10,000.00	4,695.52	1,147.20	5,304.48	46.96
101-000-683.010	MISC. PUBLIC SAFETY RECEIPTS	15,000.00	6,589.46	1,110.93	8,410.54	43.93
101-000-683.020	MEDSTAR LEASE	0.00	0.00	0.00	0.00	0.00
101-000-683.030	AWARE-PS	0.00	0.00	0.00	0.00	0.00
101-000-683.040	VEHICLE SALVAGE TITLE FEES	0.00	0.00	0.00	0.00	0.00
101-000-683.050	POLICE IMPOUND FEES	5,000.00	2,035.00	0.00	2,965.00	40.70
101-000-683.060	CITY CLERK MISC. RECEIPTS	4,000.00	1,176.14	447.00	2,823.86	29.40
101-000-683.070	ASSESSING MISC RECEIPTS	0.00	0.00	0.00	0.00	0.00
101-000-683.080	OTHER INCOME - ADMIN	0.00	0.00	0.00	0.00	0.00
101-000-689.000	OVER/UNDER	100.00	68.00	10,708.63	32.00	68.00
101-000-692.100	TRF F/PRIOR YR RES	1,172,197.00	0.00	0.00	1,172,197.00	0.00
101-000-698.000	INSURANCE PROCEEDS	0.00	0.00	0.00	0.00	0.00

Total Dept 000

18,069,055.00

13,509,389.35

241,788.51

4,559,665.65

74.77

68

Dept 931 - TRANSFER IN

0.00

0.00

0.00

0.00

0.00



User: lbishop

DB: Gpw

PERIOD ENDING 11/30/2025

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2025-26	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDGT USED
		AMENDED BUDGET	11/30/2025 NORMAL (ABNORMAL)	MONTH 11/30/2025 INCREASE (DECREASE)	BALANCE NORMAL (ABNORMAL)	
Fund 101 - GENERAL FUND						
Revenues						
101-931-699.210	TRF F/AMBULANCE	0.00	0.00	0.00	0.00	0.00
101-931-699.213	TRANSFER FROM PARKWAY BEAUT.	0.00	0.00	0.00	0.00	0.00
101-931-699.226	TRANSFER FROM SOLID WASTE	50,000.00	0.00	0.00	50,000.00	0.00
101-931-699.245	TRF F/BLOCK GRANT	0.00	0.00	0.00	0.00	0.00
101-931-699.401	TRF F/MUNICIPAL IMPROVEMENTS	0.00	0.00	0.00	0.00	0.00
101-931-699.420	TRANS F/ CAPITAL IMPROVEMENT	0.00	0.00	0.00	0.00	0.00
101-931-699.585	TRANSFER F/PARKING	0.00	0.00	0.00	0.00	0.00
101-931-699.592	TRF WATER/SEWER	25,000.00	0.00	0.00	25,000.00	0.00
101-931-699.594	TRF F/BOAT DOCKS	5,000.00	0.00	0.00	5,000.00	0.00
101-931-699.598	TRF F/COMMODITY SALE	0.00	0.00	0.00	0.00	0.00
101-931-699.661	TRANSF F/MOTOR VEHICLE	0.00	0.00	0.00	0.00	0.00
Total Dept 931 - TRANSFER IN		80,000.00	0.00	0.00	80,000.00	0.00
TOTAL REVENUES		18,149,055.00	13,509,389.35	241,788.51	4,639,665.65	74.44
Expenditures						
Dept 101 - CITY COUNCIL						
101-101-702.000	SALARIES & WAGES	28,500.00	11,875.00	2,375.00	16,625.00	41.67
101-101-715.000	SOCIAL SECURITY	2,180.00	908.43	181.71	1,271.57	41.67
101-101-721.000	WORKERS COMP	0.00	0.00	0.00	0.00	0.00
101-101-757.000	OPERATING SUPPLIES	700.00	0.00	0.00	700.00	0.00
101-101-880.000	COMMUNITY RELATIONS	4,550.00	1,320.00	0.00	3,230.00	29.01
101-101-881.000	EMPLOYEE RELATIONS	25,000.00	1,656.00	828.00	23,344.00	6.62
101-101-958.000	MEMBERSHIP & DUES	16,643.00	6,738.00	0.00	9,905.00	40.49
101-101-958.001	TRAINING & SEMINARS	3,000.00	215.00	0.00	2,785.00	7.17
101-101-967.100	SPECIAL PROJECTS	30,000.00	13,434.41	225.00	16,565.59	44.78
Total Dept 101 - CITY COUNCIL		110,573.00	36,146.84	3,609.71	74,426.16	32.69
Dept 105 - COMMISSIONS						
101-105-880.100	BEAUTIFICATION COMM	3,200.00	0.00	0.00	3,200.00	0.00
101-105-880.200	CITIZENS RECREATION	17,500.00	1,064.12	300.00	16,435.88	6.08
101-105-880.300	HISTORICAL COMM	2,542.00	0.00	0.00	2,542.00	0.00
101-105-880.500	PLANNING COMM	23,075.00	793.90	0.00	22,281.10	3.44
101-105-880.600	SENIOR CIT COMM	3,000.00	445.00	0.00	2,555.00	14.83
101-105-880.700	TREE ADV. COMM	4,000.00	942.47	0.00	3,057.53	23.56
Total Dept 105 - COMMISSIONS		53,317.00	3,245.49	300.00	50,071.51	6.09
Dept 172 - ADMINISTRATION						
101-172-702.000	SALARIES & WAGES	262,648.00	102,799.96	19,893.18	159,848.04	39.14
101-172-710.999	SICK/VAC PAY	14,000.00	0.00	0.00	14,000.00	0.00
101-172-715.000	SOCIAL SECURITY	21,164.00	7,972.20	1,553.19	13,191.80	37.67
101-172-717.000	RETIREE HEALTH CARE	2,700.00	750.00	150.00	1,950.00	27.78
101-172-718.000	H.S.A.	4,000.00	0.00	0.00	4,000.00	0.00
101-172-719.000	HOSP/DENTAL/OPTICAL	39,750.00	39,750.00	0.00	0.00	100.00
101-172-720.000	LIFE & LTD INSURANCE	820.00	820.00	0.00	0.00	100.00
101-172-721.000	WORKERS COMP	2,500.00	2,500.00	0.00	0.00	100.00
101-172-722.000	RETIREMENT	58,200.00	20,659.43	3,992.32	37,540.57	35.50



PERIOD ENDING 11/30/2025

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2025-26	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDTG USED
		AMENDED BUDGET	11/30/2025 NORMAL (ABNORMAL)	MONTH 11/30/2025 INCREASE (DECREASE)	BALANCE NORMAL (ABNORMAL)	
Fund 101 - GENERAL FUND						
Expenditures						
101-172-722.100	MEDICARE REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-172-723.000	SUPPLEMENTAL ANNUITY	15,928.00	15,928.00	0.00	0.00	100.00
101-172-725.200	MESC INSURANCE	0.00	0.00	0.00	0.00	0.00
101-172-757.000	OPERATING SUPPLIES	5,500.00	305.29	102.71	5,194.71	5.55
101-172-818.000	CONTRACTUAL SERVICES	10,000.00	165.64	165.64	9,834.36	1.66
101-172-930.000	EQUIPMENT MAINT & REPAIR	200.00	0.00	0.00	200.00	0.00
101-172-958.000	MEMBERSHIP & DUES	1,750.00	0.00	0.00	1,750.00	0.00
101-172-958.001	TRAINING & SEMINARS	3,000.00	439.46	0.00	2,560.54	14.65
101-172-960.000	EDUCATION-TRAINING	1,500.00	0.00	0.00	1,500.00	0.00
101-172-977.000	EQUIPMENT	0.00	0.00	0.00	0.00	0.00
Total Dept 172 - ADMINISTRATION		443,660.00	192,089.98	25,857.04	251,570.02	43.30
Dept 193 - CITY COMPTROLLER						
101-193-702.000	SALARIES & WAGES	257,110.00	90,821.52	17,729.05	166,288.48	35.32
101-193-709.000	OVERTIME FINANCE STAFF	750.00	33.47	0.00	716.53	4.46
101-193-710.999	SICK/VAC PAY	10,000.00	0.00	0.00	10,000.00	0.00
101-193-715.000	SOCIAL SECURITY	20,491.00	6,761.66	1,319.81	13,729.34	33.00
101-193-717.000	RETIREE HEALTH CARE	4,500.00	1,875.06	375.01	2,624.94	41.67
101-193-718.000	H.S.A.	3,000.00	0.00	0.00	3,000.00	0.00
101-193-719.000	HOSP/DENTAL/OPTICAL	39,750.00	39,750.00	0.00	0.00	100.00
101-193-720.000	LIFE & LTD INSURANCE	1,020.00	1,020.00	0.00	0.00	100.00
101-193-721.000	WORKERS COMP	3,900.00	3,900.00	0.00	0.00	100.00
101-193-722.000	RETIREMENT	82,053.00	32,678.95	6,312.79	49,374.05	39.83
101-193-722.100	MEDICARE REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-193-723.000	SUPPLEMENTAL ANNUITY	24,768.00	24,768.00	0.00	0.00	100.00
101-193-725.000	CLOTHING/UNIFORM ALLOWANCE	0.00	0.00	0.00	0.00	0.00
101-193-725.200	MESC INSURANCE	0.00	0.00	0.00	0.00	0.00
101-193-757.000	OPERATING SUPPLIES	17,750.00	11,120.05	5,311.65	6,629.95	62.65
101-193-757.100	OPER SUPP-TAX PREP REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-193-818.000	CONTRACTUAL SERVICES	51,144.00	34,748.74	5,213.12	16,395.26	67.94
101-193-930.000	EQUIPMENT MAINT & REPAIR	1,500.00	0.00	0.00	1,500.00	0.00
101-193-958.000	MEMBERSHIP & DUES	1,230.00	244.00	145.00	986.00	19.84
101-193-958.001	TRAINING & SEMINARS	3,850.00	0.00	0.00	3,850.00	0.00
101-193-960.000	EDUCATION-TRAINING	2,000.00	0.00	0.00	2,000.00	0.00
101-193-972.000	MINOR EQUIP	1,750.00	0.00	0.00	1,750.00	0.00
Total Dept 193 - CITY COMPTROLLER		526,566.00	247,721.45	36,406.43	278,844.55	47.04
Dept 209 - ADMIN-FRINGE BENEFITS						
101-209-703.000	BS&A MOCK SALARY EXPENSE	0.00	0.00	0.00	0.00	0.00
101-209-717.000	RETIREE HEALTH CARE	254,000.00	254,000.00	0.00	0.00	100.00
101-209-722.100	MEDICARE REIMBURSEMENT	7,400.00	2,755.65	539.40	4,644.35	37.24
101-209-724.200	MESC INSURANCE	0.00	0.00	0.00	0.00	0.00
101-209-725.200	MESC INSURANCE	0.00	0.00	0.00	0.00	0.00
Total Dept 209 - ADMIN-FRINGE BENEFITS		261,400.00	256,755.65	539.40	4,644.35	98.22
Dept 211 - OVERHEAD						
101-211-725.300	COBRA-EMPLOYEE HEALTHCARE	0.00	0.00	0.00	0.00	0.00



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PERIOD ENDING 11/30/2025

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2025-26	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDGT USED
		AMENDED BUDGET	11/30/2025 NORMAL (ABNORMAL)	MONTH 11/30/2025 INCREASE (DECREASE)	BALANCE NORMAL (ABNORMAL)	
Fund 101 - GENERAL FUND						
Expenditures						
101-211-728.000	OFFICE SUPPLIES	18,000.00	5,301.91	748.49	12,698.09	29.46
101-211-815.000	FLOOD REPAIRS	0.00	0.00	0.00	0.00	0.00
101-211-818.000	CONTRACTUAL SERVICES	0.00	0.00	0.00	0.00	0.00
101-211-921.000	UTILITIES	55,000.00	15,699.61	3,160.05	39,300.39	28.54
101-211-955.000	INSURANCE	52,509.00	300.00	0.00	52,209.00	0.57
101-211-958.000	FEES & CHARGES	24,500.00	8,946.52	1,778.65	15,553.48	36.52
101-211-960.100	LOSS ON MKT VALUE	0.00	0.00	0.00	0.00	0.00
Total Dept 211 - OVERHEAD		150,009.00	30,248.04	5,687.19	119,760.96	20.16
Dept 215 - CITY CLERK/ELECTIONS						
101-215-702.000	SALARIES & WAGES	185,166.00	73,703.30	14,246.06	111,462.70	39.80
101-215-702.809	WAGES- SEASONAL OFFICE	15,000.00	7,525.92	1,868.14	7,474.08	50.17
101-215-709.000	OVERTIME-CLERK STAFF	5,448.00	1,365.02	884.09	4,082.98	25.06
101-215-710.999	SICK/VAC PAY	6,000.00	0.00	0.00	6,000.00	0.00
101-215-711.000	LONGEVITY/COLA	0.00	0.00	0.00	0.00	0.00
101-215-715.000	SOCIAL SECURITY	16,188.00	5,885.28	1,216.22	10,302.72	36.36
101-215-717.000	RETIREE HEALTH CARE	5,400.00	2,250.00	450.00	3,150.00	41.67
101-215-718.000	H.S.A.	6,000.00	0.00	0.00	6,000.00	0.00
101-215-719.000	HOSP/DENTAL/OPTICAL	73,500.00	73,500.00	0.00	0.00	100.00
101-215-720.000	LIFE & LTD INSURANCE	971.00	971.00	0.00	0.00	100.00
101-215-721.000	WORKERS COMP	3,000.00	3,000.00	0.00	0.00	100.00
101-215-722.000	RETIREMENT	77,233.00	31,311.01	6,310.79	45,921.99	40.54
101-215-722.100	MEDICARE REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-215-723.000	SUPPLEMENTAL ANNUITY	23,312.00	23,312.00	0.00	0.00	100.00
101-215-725.000	CLOTHING/UNIFORM ALLOWANCE	0.00	0.00	0.00	0.00	0.00
101-215-725.200	MESC INSURANCE	0.00	0.00	0.00	0.00	0.00
101-215-731.000	ELECTIONS SUPPLIES	48,987.00	19,092.65	9,083.84	29,894.35	38.97
101-215-757.000	OPERATING SUPPLIES	4,258.00	1,597.48	1,141.54	2,660.52	37.52
101-215-818.000	CONTRACTUAL SERVICES	14,460.00	9,232.13	0.00	5,227.87	63.85
101-215-903.000	LEGAL NOTICES	4,500.00	3,469.75	1,406.00	1,030.25	77.11
101-215-930.000	EQUIPMENT MAINT & REPAIR	14,180.00	12,390.00	0.00	1,790.00	87.38
101-215-958.000	MEMBERSHIP & DUES	930.00	200.00	200.00	730.00	21.51
101-215-958.001	TRAINING & SEMINARS	3,950.00	76.65	76.65	3,873.35	1.94
101-215-960.000	EDUCATION-TRAINING	0.00	0.00	0.00	0.00	0.00
101-215-972.000	MINOR EQUIPMENT	2,200.00	1,129.35	948.84	1,070.65	51.33
Total Dept 215 - CITY CLERK/ELECTIONS		510,683.00	270,011.54	37,832.17	240,671.46	52.87
Dept 228 - MIS						
101-228-702.000	SALARIES & WAGES	164,858.00	65,649.06	12,682.36	99,208.94	39.82
101-228-710.999	SICK/VAC PAY	5,000.00	0.00	0.00	5,000.00	0.00
101-228-715.000	SOCIAL SECURITY	12,994.00	4,973.88	960.88	8,020.12	38.28
101-228-717.000	RETIREE HEALTH CARE	1,800.00	750.00	150.00	1,050.00	41.67
101-228-722.000	RETIREMENT	68,762.00	10,507.80	2,029.94	58,254.20	15.28
101-228-722.100	MEDICARE REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-228-723.000	SUPPLEMENTAL ANNUITY	20,756.00	20,756.00	0.00	0.00	100.00
101-228-757.000	OPERATING SUPPLIES	50,900.00	27,205.81	5,432.95	23,694.19	53.45
101-228-818.000	CONTRACTUAL SERVICES	120,679.00	62,032.28	2,300.95	58,646.72	51.40
101-228-930.000	EQUIPMENT MAINT & REPAIR	32,100.00	11,445.07	613.32	20,654.93	35.65
101-228-958.000	MEMBERSHIP & DUES	0.00	0.00	0.00	0.00	0.00



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PERIOD ENDING 11/30/2025

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

		2025-26	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDGT
		11/30/2025	MONTH 11/30/2025		BALANCE	
GL NUMBER	DESCRIPTION	AMENDED BUDGET	NORMAL (ABNORMAL)	INCREASE (DECREASE)	NORMAL (ABNORMAL)	USED
Fund 101 - GENERAL FUND						
Expenditures						
101-228-958.001	TRAINING & SEMINARS	0.00	0.00	0.00	0.00	0.00
101-228-972.000	MINOR EQUIPMENT	1,400.00	1,100.86	0.00	299.14	78.63
101-228-972.349	MINOR EQUIP PUB SAF	5,600.00	4,403.44	0.00	1,196.56	78.63
101-228-972.599	MINOR EQUIP PUB WKS	2,800.00	2,201.72	0.00	598.28	78.63
101-228-972.799	MINOR EQUIP PARKS	7,200.00	3,302.58	0.00	3,897.42	45.87
101-228-977.000	EQUIPMENT	17,100.00	16,399.70	0.00	700.30	95.90
101-228-977.299	EQUIPMENT - GENL GOVERNMENT	2,800.00	2,201.72	0.00	598.28	78.63
Total Dept 228 - MIS		514,749.00	232,929.92	24,170.40	281,819.08	45.25
Dept 229 - MIS FRINGE BENEFITS						
101-229-715.000	SOCIAL SECURITY	0.00	0.00	0.00	0.00	0.00
101-229-717.000	RETIREE HEALTH CARE	2,200.00	2,200.00	0.00	0.00	100.00
101-229-718.000	H.S.A.	1,700.00	0.00	0.00	1,700.00	0.00
101-229-719.000	HOSP/DENTAL/OPTICAL	24,500.00	24,500.00	0.00	0.00	100.00
101-229-720.000	LIFE & LTD INSURANCE	880.00	880.00	0.00	0.00	100.00
101-229-721.000	WORKERS COMP	2,000.00	2,000.00	0.00	0.00	100.00
101-229-725.200	MESC INSURANCE	0.00	0.00	0.00	0.00	0.00
Total Dept 229 - MIS FRINGE BENEFITS		31,280.00	29,580.00	0.00	1,700.00	94.57
Dept 257 - CITY ASSESSOR						
101-257-702.000	SALARIES & WAGES	0.00	0.00	0.00	0.00	0.00
101-257-710.999	SICK/VAC PAY	0.00	0.00	0.00	0.00	0.00
101-257-715.000	SOCIAL SECURITY	0.00	0.00	0.00	0.00	0.00
101-257-717.000	RETIREE HEALTH CARE	0.00	0.00	0.00	0.00	0.00
101-257-718.000	H.S.A.	0.00	0.00	0.00	0.00	0.00
101-257-719.000	HOSP/DENTAL/OPTICAL	0.00	0.00	0.00	0.00	0.00
101-257-720.000	LIFE & LTD INSURANCE	0.00	0.00	0.00	0.00	0.00
101-257-721.000	WORKERS COMP	0.00	0.00	0.00	0.00	0.00
101-257-722.000	RETIREMENT	0.00	0.00	0.00	0.00	0.00
101-257-722.100	MEDICARE REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-257-723.000	SUPPLEMENTAL ANNUITY	0.00	0.00	0.00	0.00	0.00
101-257-725.200	MESC INSURANCE	0.00	0.00	0.00	0.00	0.00
101-257-757.000	OPERATING SUPPLIES	500.00	0.00	0.00	500.00	0.00
101-257-818.000	CONTRACTUAL SERVICES	93,805.00	38,425.39	7,911.08	55,379.61	40.96
101-257-831.000	ASSESSMENT/TAX ROLL PREP	28,550.00	3,291.64	403.60	25,258.36	11.53
101-257-831.200	PRIOR YR TAX REFUNDS	0.00	0.00	0.00	0.00	0.00
101-257-958.000	MEMBERSHIP & DUES	0.00	0.00	0.00	0.00	0.00
101-257-958.001	TRAINING & SEMINARS	0.00	0.00	0.00	0.00	0.00
Total Dept 257 - CITY ASSESSOR		122,855.00	41,717.03	8,314.68	81,137.97	33.96
Dept 265 - CITY HALL & GROUNDS						
101-265-702.000	SALARIES & WAGES	117,195.00	12,048.70	3,583.39	105,146.30	10.28
101-265-702.801	P & R WAGES PART-TIME UNION	0.00	0.00	0.00	0.00	0.00
101-265-709.000	OVERTIME-CH & GROUNDS	16,125.00	5,022.78	623.19	11,102.22	31.15
101-265-715.000	SOCIAL SECURITY	10,199.00	1,201.79	298.15	8,997.21	11.78
101-265-717.000	RETIREE HEALTH CARE	3,600.00	348.76	52.81	3,251.24	9.69
101-265-722.000	RETIREMENT	49,216.00	7,120.50	1,754.59	42,095.50	14.47



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PERIOD ENDING 11/30/2025

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2025-26	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDGT USED
		AMENDED BUDGET	11/30/2025 NORMAL (ABNORMAL)	MONTH 11/30/2025 INCREASE (DECREASE)	BALANCE NORMAL (ABNORMAL)	
Fund 101 - GENERAL FUND						
Expenditures						
101-265-722.100	MEDICARE REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-265-757.000	OPERATING SUPPLIES	15,000.00	2,766.46	547.11	12,233.54	18.44
101-265-818.000	CONTRACTUAL SERVICES	116,800.00	34,276.99	15,775.50	82,523.01	29.35
101-265-930.000	EQUIPMENT MAINT & REPAIR	25,000.00	12,460.00	0.00	12,540.00	49.84
Total Dept 265 - CITY HALL & GROUNDS		353,135.00	75,245.98	22,634.74	277,889.02	21.31
Dept 266 - CITY ATTORNEY						
101-266-719.000	HOSP/DENTAL/OPTICAL	0.00	0.00	0.00	0.00	0.00
101-266-801.000	LEGAL FEES-GEN'L CITY	75,000.00	26,691.10	7,165.80	48,308.90	35.59
101-266-801.100	LEGAL COUNSEL-COURT	40,000.00	7,161.00	1,612.00	32,839.00	17.90
101-266-801.200	LEGAL COUNSEL-BLDG & PLANNING	10,000.00	1,065.00	465.00	8,935.00	10.65
101-266-801.300	LEGAL/OUTSIDE CONSULTANTS- MTT	40,000.00	419.55	359.18	39,580.45	1.05
101-266-801.301	MTT-APPRAISALS & OTHER CONSULTANTS	30,000.00	0.00	0.00	30,000.00	0.00
101-266-810.000	LABOR CONSULTANT	35,000.00	525.00	0.00	34,475.00	1.50
101-266-812.000	CLAIMS/OUTSIDE COUNSEL	35,000.00	0.00	0.00	35,000.00	0.00
101-266-955.300	EXPENSES	0.00	0.00	0.00	0.00	0.00
101-266-958.000	MEMBERSHIP & DUES	0.00	0.00	0.00	0.00	0.00
101-266-958.001	TRAINING & SEMINARS	0.00	0.00	0.00	0.00	0.00
Total Dept 266 - CITY ATTORNEY		265,000.00	35,861.65	9,601.98	229,138.35	13.53
Dept 286 - COURT EXPENDITURES						
101-286-702.000	SALARIES & WAGES	181,240.00	69,029.28	13,638.66	112,210.72	38.09
101-286-705.000	PSO COURT OVERTIME	15,000.00	4,336.43	994.69	10,663.57	28.91
101-286-709.000	OVERTIME	1,000.00	0.00	0.00	1,000.00	0.00
101-286-710.999	SICK/VAC PAY	7,500.00	0.00	0.00	7,500.00	0.00
101-286-715.000	SOCIAL SECURITY	14,675.00	5,216.29	1,031.56	9,458.71	35.55
101-286-717.000	RETIREE HEALTH CARE	2,700.00	1,125.03	225.01	1,574.97	41.67
101-286-718.000	H.S.A.	2,700.00	0.00	0.00	2,700.00	0.00
101-286-719.000	HOSP/DENTAL/OPTICAL	36,750.00	36,750.00	0.00	0.00	100.00
101-286-720.000	LIFE & LTD INSURANCE	545.00	545.00	0.00	0.00	100.00
101-286-721.000	WORKERS COMP	3,000.00	3,000.00	0.00	0.00	100.00
101-286-722.000	RETIREMENT	48,983.00	15,279.32	3,037.16	33,703.68	31.19
101-286-722.100	MEDICARE REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-286-723.000	SUPPLEMENTAL ANNUITY	14,786.00	14,786.00	0.00	0.00	100.00
101-286-725.000	CLOTHING/UNIFORM ALLOWANCE	0.00	0.00	0.00	0.00	0.00
101-286-725.200	MESC INSURANCE	0.00	0.00	0.00	0.00	0.00
101-286-757.000	OPERATING SUPPLIES	25,800.00	11,023.75	2,256.49	14,776.25	42.73
101-286-801.400	COURT APPOINTED ATTORNEY	0.00	0.00	0.00	0.00	0.00
101-286-805.000	PROBATION FEES	0.00	0.00	0.00	0.00	0.00
101-286-806.000	SOM TRANSMITTAL FEES	43,200.00	10,737.00	2,549.93	32,463.00	24.85
101-286-807.000	WITNESS FEES	500.00	0.00	0.00	500.00	0.00
101-286-808.000	JAIL FEES	0.00	0.00	0.00	0.00	0.00
101-286-818.000	CONTRACTUAL	14,100.00	6,147.27	4,486.43	7,952.73	43.60
101-286-930.000	EQUIPMENT MAINT & REPAIR	2,000.00	0.00	0.00	2,000.00	0.00
101-286-958.000	MEMBERSHIP & DUES	1,140.00	300.00	0.00	840.00	26.32
101-286-958.001	TRAINING & SEMINARS	6,200.00	2,500.19	30.00	3,699.81	40.33
101-286-960.000	EDUCATION-TRAINING	1,500.00	0.00	0.00	1,500.00	0.00
101-286-977.000	EQUIPMENT	0.00	0.00	0.00	0.00	0.00



User: lbishop

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PERIOD ENDING 11/30/2025

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2025-26	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDGT USED
		AMENDED BUDGET	11/30/2025 (ABNORMAL)	MONTH 11/30/2025 INCREASE (DECREASE)	BALANCE NORMAL (ABNORMAL)	
Fund 101 - GENERAL FUND						
Expenditures						
Total Dept 286 - COURT EXPENDITURES		423,319.00	180,775.56	28,249.93	242,543.44	42.70
Dept 305 - PUB SAF-ADMIN						
101-305-702.000	SALARIES & WAGES	192,735.00	74,970.43	14,669.99	117,764.57	38.90
101-305-709.000	OVERTIME	600.00	0.00	0.00	600.00	0.00
101-305-715.000	SOCIAL SECURITY	14,790.00	5,809.30	1,136.56	8,980.70	39.28
101-305-717.000	RETIREE HEALTH CARE	3,600.00	1,500.00	300.00	2,100.00	41.67
101-305-722.000	RETIREMENT	29,482.00	11,789.90	2,277.38	17,692.10	39.99
101-305-722.100	MEDICARE REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-305-818.000	CONTRACTUAL SERVICES	73,942.00	7,860.47	30.00	66,081.53	10.63
101-305-835.100	PRE-EMPLOYMENT TESTING	10,400.00	2,187.00	456.00	8,213.00	21.03
101-305-851.000	RADIO MAINTENANCE	38,608.00	3,713.87	2,593.87	34,894.13	9.62
101-305-930.000	EQUIPMENT MAINT & REPAIR	7,000.00	0.00	0.00	7,000.00	0.00
101-305-958.000	MEMBERSHIP & DUES	4,375.00	3,190.00	0.00	1,185.00	72.91
101-305-958.001	TRAINING & SEMINARS	9,800.00	4,970.07	1,927.80	4,829.93	50.72
Total Dept 305 - PUB SAF-ADMIN		385,332.00	115,991.04	23,391.60	269,340.96	30.10
Dept 310 - POLICE SERVICES						
101-310-702.000	SALARIES & WAGES	0.00	0.00	0.00	0.00	0.00
101-310-702.100	SAL & WAGES - LT	336,457.00	130,180.23	25,463.85	206,276.77	38.69
101-310-702.200	SAL & WAGES - SGT	627,165.00	241,813.39	47,509.08	385,351.61	38.56
101-310-702.400	SAL & WAGES - PSO	1,937,714.00	720,113.28	139,105.83	1,217,600.72	37.16
101-310-702.500	SAL & WAGES DISPATCH	224,403.00	87,655.05	18,303.46	136,747.95	39.06
101-310-702.600	SAL & WAGES-SECRETARY/CLERICAL	83,140.00	29,851.77	5,953.62	53,288.23	35.91
101-310-709.100	OVERTIME - LT	17,000.00	10,834.96	1,508.74	6,165.04	63.74
101-310-709.200	OVERTIME - SGT	40,000.00	28,431.47	3,613.27	11,568.53	71.08
101-310-709.400	OVERTIME - PSO	95,000.00	70,667.16	13,419.10	24,332.84	74.39
101-310-709.500	OVERTIME - DISPATCH	15,000.00	6,755.85	1,582.77	8,244.15	45.04
101-310-709.600	OVERTIME-SECRETARY/CLERICAL	300.00	0.00	0.00	300.00	0.00
101-310-715.000	SOCIAL SECURITY	69,051.00	27,789.80	5,574.55	41,261.20	40.25
101-310-717.000	RETIREE HEALTH CARE	36,000.00	14,400.00	3,000.00	21,600.00	40.00
101-310-722.000	RETIREMENT	1,534,704.00	593,776.09	114,474.30	940,927.91	38.69
101-310-722.100	MEDICARE REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-310-757.000	OPERATING SUPPLIES	59,449.00	18,417.77	360.65	41,031.23	30.98
101-310-757.200	K9 SUPPLIES	0.00	0.00	0.00	0.00	0.00
101-310-808.000	JAIL FEES	14,250.00	3,248.51	446.68	11,001.49	22.80
101-310-818.000	CONTRACTUAL SERVICES	66,236.00	42,117.75	499.33	24,118.25	63.59
101-310-818.100	K9 CONTRACTED SERVICES	1,464.60	1,464.60	1,464.60	0.00	100.00
101-310-930.000	EQUIPMENT MAINT & REPAIR	19,802.27	0.00	0.00	19,802.27	0.00
101-310-930.200	K9 EQUIPMENT AND REPAIR	7,635.40	0.00	0.00	7,635.40	0.00
101-310-958.000	MEMBERSHIP & DUES	0.00	0.00	0.00	0.00	0.00
101-310-960.000	EDUCATION-TRAINING	0.00	0.00	0.00	0.00	0.00
101-310-961.000	TRAINING	32,857.73	3,012.20	306.43	29,845.53	9.17
101-310-961.030	CPE TRAINING	0.00	0.00	0.00	0.00	0.00
101-310-961.200	K9 TRAINING	4,500.00	0.00	0.00	4,500.00	0.00
101-310-972.000	MINOR EQUIPMENT	51,943.00	16,963.72	0.00	34,979.28	32.66
Total Dept 310 - POLICE SERVICES		5,274,072.00	2,047,493.60	382,586.26	3,226,578.40	38.82

Dept 326 - SUPPORT SERVICES



PERIOD ENDING 11/30/2025

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GL NUMBER	DESCRIPTION	2025-26 AMENDED BUDGET	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDGT USED
			11/30/2025	MONTH 11/30/2025	BALANCE	
Fund 101 - GENERAL FUND						
Expenditures						
101-326-702.000	SALARIES & WAGES	137,292.00	40,299.86	12,781.20	96,992.14	29.35
101-326-715.000	SOCIAL SECURITY	10,503.00	3,083.00	977.79	7,420.00	29.35
101-326-757.000	OPERATING SUPPLIES	14,132.00	7,576.42	162.40	6,555.58	53.61
101-326-831.100	K-9 DIVISION	0.00	0.00	0.00	0.00	0.00
101-326-832.000	ANIMAL COLLECTION	3,000.00	784.50	60.00	2,215.50	26.15
101-326-972.000	MINOR EQUIPMENT	3,000.00	0.00	0.00	3,000.00	0.00
Total Dept 326 - SUPPORT SERVICES		167,927.00	51,743.78	13,981.39	116,183.22	30.81
Dept 339 - FIRE SERV/SAFETY INS						
101-339-757.000	OPERATING SUPPLIES	37,670.00	5,324.50	1,233.69	32,345.50	14.13
101-339-818.000	CONTRACTUAL SERVICES	11,310.00	2,194.12	863.58	9,115.88	19.40
101-339-930.000	EQUIPMENT MAINT & REPAIR	9,848.02	2,988.02	0.00	6,860.00	30.34
101-339-961.000	TRAINING	17,747.98	1,861.78	130.00	15,886.20	10.49
101-339-972.000	MINOR EQUIPMENT	2,150.00	249.00	0.00	1,901.00	11.58
Total Dept 339 - FIRE SERV/SAFETY INS		78,726.00	12,617.42	2,227.27	66,108.58	16.03
Dept 345 - PUB-SAF FRINGES						
101-345-703.000	BS&A MOCK SALARY EXPENSE	0.00	0.00	0.00	0.00	0.00
101-345-710.999	SICK/VAC PAY	125,000.00	34,038.27	0.00	90,961.73	27.23
101-345-711.000	LONGEVITY/COLA	17,600.00	0.00	0.00	17,600.00	0.00
101-345-713.000	HOLIDAY PAY	104,033.00	649.92	0.00	103,383.08	0.62
101-345-715.000	SOCIAL SECURITY	3,638.00	475.29	0.00	3,162.71	13.06
101-345-717.000	RETIREE HEALTH CARE	690,000.00	690,000.00	0.00	0.00	100.00
101-345-718.000	H.S.A.	70,000.00	672.92	0.00	69,327.08	0.96
101-345-719.000	HOSP/DENTAL/OPTICAL	863,000.00	863,000.00	0.00	0.00	100.00
101-345-720.000	LIFE & LTD INSURANCE	7,380.00	7,380.00	0.00	0.00	100.00
101-345-721.000	WORKERS COMP	98,800.00	98,800.00	0.00	0.00	100.00
101-345-722.000	RETIREMENT	54,545.00	291.62	0.00	54,253.38	0.53
101-345-722.100	MEDICARE REIMBURSEMENT	58,000.00	21,598.61	4,227.76	36,401.39	37.24
101-345-723.000	SUPPLEMENTAL ANNUITY	46,849.00	46,849.00	0.00	0.00	100.00
101-345-725.000	CLOTHING/UNIFORM ALLOWANCE	33,800.00	1,987.50	0.00	31,812.50	5.88
101-345-725.100	CLOTHING - CITY SHARE	8,200.00	1,385.53	60.97	6,814.47	16.90
101-345-725.200	MESC INSURANCE	1,000.00	732.15	0.00	267.85	73.22
101-345-960.000	EDUCATION-TRAINING	3,000.00	0.00	0.00	3,000.00	0.00
Total Dept 345 - PUB-SAF FRINGES		2,184,845.00	1,767,860.81	4,288.73	416,984.19	80.91
Dept 349 - OVERHEAD						
101-349-728.000	OFFICE SUPPLIES	13,285.00	2,281.41	632.70	11,003.59	17.17
101-349-818.000	CONTRACTUAL SERVICES	71,033.00	17,527.62	0.00	53,505.38	24.68
101-349-818.001	CODE VIOLATIONS	12,500.00	5,105.00	0.00	7,395.00	40.84
101-349-921.000	UTILITIES	70,000.00	24,301.37	5,289.00	45,698.63	34.72
101-349-955.000	INSURANCE	90,404.00	0.00	0.00	90,404.00	0.00
Total Dept 349 - OVERHEAD		257,222.00	49,215.40	5,921.70	208,006.60	19.13
Dept 371 - BUILDING INSPECTIONS						



PERIOD ENDING 11/30/2025

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GL NUMBER	DESCRIPTION	2025-26	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDGT USED
		AMENDED BUDGET	11/30/2025 NORMAL (ABNORMAL)	MONTH 11/30/2025 INCREASE (DECREASE)	BALANCE NORMAL (ABNORMAL)	
Fund 101 - GENERAL FUND						
Expenditures						
101-371-702.000	SALARIES & WAGES	0.00	0.00	0.00	0.00	0.00
101-371-709.000	OVERTIME	0.00	0.00	0.00	0.00	0.00
101-371-710.999	SICK/VAC PAY	0.00	0.00	0.00	0.00	0.00
101-371-711.000	LONGEVITY/COLA	0.00	0.00	0.00	0.00	0.00
101-371-715.000	SOCIAL SECURITY	0.00	0.00	0.00	0.00	0.00
101-371-717.000	RETIREE HEALTH CARE	0.00	0.00	0.00	0.00	0.00
101-371-718.000	H.S.A.	0.00	0.00	0.00	0.00	0.00
101-371-719.000	HOSP/DENTAL/OPTICAL	0.00	0.00	0.00	0.00	0.00
101-371-720.000	LIFE & LTD INSURANCE	0.00	0.00	0.00	0.00	0.00
101-371-721.000	WORKERS COMP	0.00	0.00	0.00	0.00	0.00
101-371-722.000	RETIREMENT	0.00	0.00	0.00	0.00	0.00
101-371-722.100	MEDICARE REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-371-723.000	SUPPLEMENTAL ANNUITY	0.00	0.00	0.00	0.00	0.00
101-371-725.000	CLOTHING/UNIFORM ALLOWANCE	0.00	0.00	0.00	0.00	0.00
101-371-725.200	MESC INSURANCE	0.00	0.00	0.00	0.00	0.00
101-371-757.000	OPERATING SUPPLIES	2,500.00	0.00	0.00	2,500.00	0.00
101-371-818.000	CONTRACTUAL	671,750.00	202,615.43	77,213.54	469,134.57	30.16
101-371-818.001	CODE VIOLATIONS	0.00	0.00	0.00	0.00	0.00
101-371-958.000	MEMBERSHIP & DUES	0.00	0.00	0.00	0.00	0.00
101-371-958.001	TRAINING & SEMINARS	0.00	0.00	0.00	0.00	0.00
101-371-960.000	EDUCATION-TRAINING	0.00	0.00	0.00	0.00	0.00
101-371-977.000	EQUIPMENT	0.00	0.00	0.00	0.00	0.00
Total Dept 371 - BUILDING INSPECTIONS		674,250.00	202,615.43	77,213.54	471,634.57	30.05
Dept 441 - PUBLIC WORKS-ADMIN						
101-441-702.000	SALARIES & WAGES	22,371.00	8,908.62	1,721.00	13,462.38	39.82
101-441-715.000	SOCIAL SECURITY	1,711.00	612.01	118.24	1,098.99	35.77
101-441-717.000	RETIREE HEALTH CARE	720.00	299.99	60.00	420.01	41.67
101-441-722.000	RETIREMENT	9,331.00	3,715.80	717.84	5,615.20	39.82
101-441-722.100	MEDICARE REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-441-757.000	OPERATING SUPPLIES	15,000.00	10,205.80	2,710.17	4,794.20	68.04
101-441-818.000	CONTRACTUAL SERVICES	58,500.00	22,036.57	3,620.36	36,463.43	37.67
101-441-835.100	PRE-EMPLOYMENT TESTING	3,350.00	665.00	285.00	2,685.00	19.85
101-441-851.000	RADIO MAINTENANCE	0.00	0.00	0.00	0.00	0.00
101-441-930.000	EQUIPMENT MAINT & REPAIR	68,800.00	17,048.32	15,142.66	51,751.68	24.78
101-441-958.000	MEMBERSHIP & DUES	1,100.00	1,119.00	0.00	(19.00)	101.73
Total Dept 441 - PUBLIC WORKS-ADMIN		180,883.00	64,611.11	24,375.27	116,271.89	35.72
Dept 463 - ROUTINE MAINTENANCE						
101-463-702.000	SALARIES & WAGES	251,006.00	104,710.54	43,277.57	146,295.46	41.72
101-463-709.000	OVERTIME	40,000.00	18,325.91	11,533.66	21,674.09	45.81
101-463-715.000	SOCIAL SECURITY	22,262.00	8,789.40	3,922.22	13,472.60	39.48
101-463-717.000	RETIREE HEALTH CARE	8,100.00	3,255.44	1,654.12	4,844.56	40.19
101-463-722.000	RETIREMENT	104,905.00	51,318.43	22,861.76	53,586.57	48.92
Total Dept 463 - ROUTINE MAINTENANCE		426,273.00	186,399.72	83,249.33	239,873.28	43.73
Dept 523 - FORESTRY SERVICES						



PERIOD ENDING 11/30/2025

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			11/30/2025 NORMAL (ABNORMAL)	MONTH 11/30/2025 INCREASE (DECREASE)	BALANCE NORMAL (ABNORMAL)	
Fund 101 - GENERAL FUND						
Expenditures						
101-523-702.000	SALARIES & WAGES	173,164.00	10,373.93	1,736.51	162,790.07	5.99
101-523-709.000	OVERTIME	3,000.00	0.00	0.00	3,000.00	0.00
101-523-715.000	SOCIAL SECURITY	13,477.00	733.63	125.60	12,743.37	5.44
101-523-717.000	RETIREE HEALTH CARE	3,600.00	256.92	58.36	3,343.08	7.14
101-523-722.000	RETIREMENT	72,644.00	4,326.96	724.29	68,317.04	5.96
101-523-757.000	OPERATING SUPPLIES	6,500.00	98.40	0.00	6,401.60	1.51
101-523-818.000	CONTRACTUAL SERVICES	60,000.00	12,154.00	4,405.00	47,846.00	20.26
Total Dept 523 - FORESTRY SERVICES		332,385.00	27,943.84	7,049.76	304,441.16	8.41
Dept 531 - PUB WKS-FRIDGE						
101-531-703.000	BS&A MOCK SALARY EXPENSE	0.00	0.00	0.00	0.00	0.00
101-531-710.999	SICK/VAC PAY	15,000.00	3,961.69	3,961.69	11,038.31	26.41
101-531-711.000	LONGEVITY/COLA	2,600.00	0.00	0.00	2,600.00	0.00
101-531-715.000	SOCIAL SECURITY	1,346.00	303.07	303.07	1,042.93	22.52
101-531-717.000	RETIREE HEALTH CARE	25,000.00	25,000.00	0.00	0.00	100.00
101-531-718.000	H.S.A.	15,200.00	0.00	0.00	15,200.00	0.00
101-531-719.000	HOSP/DENTAL/OPTICAL	221,050.00	221,050.00	0.00	0.00	100.00
101-531-720.000	LIFE & LTD INSURANCE	1,520.00	1,520.00	0.00	0.00	100.00
101-531-721.000	WORKERS COMP	14,650.00	14,650.00	0.00	0.00	100.00
101-531-722.000	RETIREMENT	0.00	0.00	0.00	0.00	0.00
101-531-722.100	MEDICARE REIMBURSEMENT	14,000.00	5,212.64	1,020.34	8,787.36	37.23
101-531-723.000	SUPPLEMENTAL ANNUITY	71,264.00	71,264.00	0.00	0.00	100.00
101-531-725.000	CLOTHING/UNIFORM ALLOWANCE	12,000.00	4,931.36	1,199.76	7,068.64	41.09
101-531-725.200	MESC INSURANCE	0.00	0.00	0.00	0.00	0.00
101-531-960.000	EDUCATION-TRAINING	5,100.00	0.00	0.00	5,100.00	0.00
Total Dept 531 - PUB WKS-FRIDGE		398,730.00	347,892.76	6,484.86	50,837.24	87.25
Dept 594 - OVERHEAD						
101-594-728.000	OFFICE SUPPLIES	2,500.00	78.87	0.00	2,421.13	3.15
101-594-818.000	CONTRACTUAL SERVICES	0.00	0.00	0.00	0.00	0.00
101-594-921.000	UTILITIES	80,000.00	21,587.86	3,452.16	58,412.14	26.98
101-594-926.000	MUN. STREET LGHT	575,000.00	189,085.05	47,780.49	385,914.95	32.88
101-594-955.000	INSURANCE	26,012.00	0.00	0.00	26,012.00	0.00
Total Dept 594 - OVERHEAD		683,512.00	210,751.78	51,232.65	472,760.22	30.83
Dept 752 - PARKS & REC-ADMIN						
101-752-702.000	SALARIES & WAGES	9,506.00	3,785.33	731.27	5,720.67	39.82
101-752-715.000	SOCIAL SECURITY	727.00	289.54	55.94	437.46	39.83
101-752-717.000	RETIREE HEALTH CARE	0.00	0.00	0.00	0.00	0.00
101-752-722.000	RETIREMENT	3,965.00	0.00	0.00	3,965.00	0.00
101-752-722.100	MEDICARE REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-752-757.000	OPERATING SUPPLIES	1,000.00	366.87	0.00	633.13	36.69
101-752-958.000	MEMBERSHIP & DUES	3,740.00	1,326.22	0.00	2,413.78	35.46
Total Dept 752 - PARKS & REC-ADMIN		18,938.00	5,767.96	787.21	13,170.04	30.46



PERIOD ENDING 11/30/2025

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2025-26	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDGT USED
		AMENDED BUDGET	11/30/2025 (NORMAL (ABNORMAL))	MONTH 11/30/2025 INCREASE (DECREASE)	BALANCE NORMAL (ABNORMAL)	
Fund 101 - GENERAL FUND						
Expenditures						
Dept 774 - LFP EXPENDITURES						
101-774-702.000	SALARIES & WAGES	88,026.00	39,579.84	9,165.81	48,446.16	44.96
101-774-702.801	P & R WAGES PART-TIME UNION	157,245.00	57,857.37	11,007.11	99,387.63	36.79
101-774-702.802	P & R WAGES P/T GATE & OFFICE	111,709.00	33,240.71	5,892.62	78,468.29	29.76
101-774-702.803	P & R P/T - ACTIVITIES BLDG	95,404.00	22,582.34	4,680.47	72,821.66	23.67
101-774-702.804	P & R WAGES SEASON -MGT	70,904.00	37,081.43	0.00	33,822.57	52.30
101-774-702.805	P & R WAGES SEASON - LIFEGUARD	182,897.00	76,430.06	0.00	106,466.94	41.79
101-774-702.806	P & R WAGES SEASON INSTRUCT-CO	65,778.00	44,043.27	0.00	21,734.73	66.96
101-774-702.807	P & R WAGES SEASON BH & BRIDGE	0.00	0.00	0.00	0.00	0.00
101-774-702.808	WAGES- SEASONAL MAINTENANCE	59,570.00	30,155.15	4,204.72	29,414.85	50.62
101-774-702.809	WAGES- SEASONAL OFFICE	15,050.00	4,571.72	0.00	10,478.28	30.38
101-774-702.811	P & R WAGES SPECIAL EVENT ASST	3,577.00	0.00	0.00	3,577.00	0.00
101-774-702.812	P & R WAGES- WATERSLIDE ATTENDANTS	16,131.00	4,347.86	0.00	11,783.14	26.95
101-774-709.000	OVERTIME-LFP-DPW	16,000.00	15,103.00	1,280.36	897.00	94.39
101-774-715.000	SOCIAL SECURITY	67,495.00	27,604.22	2,716.41	39,890.78	40.90
101-774-717.000	RETIREE HEALTH CARE	1,440.00	853.40	158.42	586.60	59.26
101-774-722.000	RETIREMENT	44,224.00	19,813.61	4,357.09	24,410.39	44.80
101-774-722.100	MEDICARE REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-774-757.000	OPERATING SUPPLY-ACTIVITY BLDG	13,113.00	1,331.10	286.24	11,781.90	10.15
101-774-757.101	OPER SUPP-CONCESSION STAND	10,000.00	0.00	0.00	10,000.00	0.00
101-774-757.102	OPER SUPPLY- LANDSCAPE	29,900.00	17,240.17	4,057.59	12,659.83	57.66
101-774-757.103	OPER SUPPLY - LIFEGUARD	11,250.00	2,287.94	194.64	8,962.06	20.34
101-774-757.104	OPER SUPPLY - POOL MAINT	35,700.00	1,568.54	0.00	34,131.46	4.39
101-774-757.105	OPER SUPPLY-POOL CHEMICAL	58,127.00	38,791.32	0.00	19,335.68	66.74
101-774-757.106	OPER SUPPLY-JANITOR SUPPLIES	20,100.00	12,426.74	591.79	7,673.26	61.82
101-774-757.107	OPER SUPPLY-MISC	5,150.00	3,564.66	0.00	1,585.34	69.22
101-774-757.108	OPER SUPPLY - MINI GOLF	0.00	0.00	0.00	0.00	0.00
101-774-757.109	SWIM TEAM MERCHANDISE	0.00	0.00	0.00	0.00	0.00
101-774-757.110	LFP VENDING EXPENSES	0.00	0.00	0.00	0.00	0.00
101-774-818.000	CONTRACTUAL SERVICES-ACT BLDG	17,950.00	2,268.82	82.99	15,681.18	12.64
101-774-818.101	CONTRACT SVCS-CONSESSIONS	1,500.00	0.00	0.00	1,500.00	0.00
101-774-818.102	CONTRACT SVSC-PK MAINT	32,500.00	5,646.00	1,757.00	26,854.00	17.37
101-774-818.103	CONTRACT SVCS-POOL MAINT	18,820.00	6,653.33	0.00	12,166.67	35.35
101-774-818.104	CONTRACT SVCS-BATH HOUSE	30,555.00	13,520.11	0.00	17,034.89	44.25
101-774-818.105	CONTRACT SVCS-SWIM TEAM	11,900.00	12,033.50	0.00	(133.50)	101.12
101-774-818.106	CONTRACT SVCS-RED CROSS	5,000.00	2,829.00	0.00	2,171.00	56.58
101-774-818.107	CONTRACT SVCS-TENNIS	24,800.00	16,999.84	0.00	7,800.16	68.55
101-774-818.108	CONTRACT SVC-ENRICHMENT	0.00	0.00	0.00	0.00	0.00
101-774-818.109	CONTRACT SVCS-ADULT CLASSES	2,450.00	0.00	0.00	2,450.00	0.00
101-774-818.110	CONTRACT SVCS-MISC	9,000.00	0.00	0.00	9,000.00	0.00
101-774-921.000	UTILITIES	184,500.00	72,784.09	3,391.11	111,715.91	39.45
101-774-930.000	EQUIPMENT MAINT & REPAIR	0.00	0.00	0.00	0.00	0.00
101-774-931.000	MISC PARK/POOL REPAIR	30,000.00	7,495.22	0.00	22,504.78	24.98
101-774-955.100	PROPERTY TAXES	104,450.00	100,554.84	0.00	3,895.16	96.27
101-774-972.000	MINOR EQUIPMENT	30,000.00	22,122.70	0.00	7,877.30	73.74
101-774-977.000	EQUIPMENT	47,000.00	30,000.00	0.00	17,000.00	63.83
101-774-977.100	RADIO SYSTEM	0.00	0.00	0.00	0.00	0.00
Total Dept 774 - LFP EXPENDITURES		1,729,215.00	783,381.90	53,824.37	945,833.10	45.30
Dept 775 - CITY PARKS						
101-775-702.000	SALARIES & WAGES	24,520.00	20,847.46	875.76	3,672.54	85.02



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PERIOD ENDING 11/30/2025

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2025-26	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDGT USED
		AMENDED BUDGET	11/30/2025 NORMAL (ABNORMAL)	MONTH 11/30/2025 INCREASE (DECREASE)	BALANCE NORMAL (ABNORMAL)	
Fund 101 - GENERAL FUND						
Expenditures						
101-775-709.000	OVERTIME	15,000.00	5,793.97	870.38	9,206.03	38.63
101-775-709.200	OVERTIME - DPW @ P&R	0.00	0.00	0.00	0.00	0.00
101-775-715.000	SOCIAL SECURITY	3,023.00	1,893.12	125.11	1,129.88	62.62
101-775-717.000	RETIREE HEALTH CARE	720.00	581.75	20.79	138.25	80.80
101-775-722.000	RETIREMENT	16,484.00	11,112.32	728.34	5,371.68	67.41
101-775-722.100	MEDICARE REIMBURSEMENT	0.00	0.00	0.00	0.00	0.00
101-775-757.000	OPERATING SUPPLIES	17,050.00	1,559.57	125.70	15,490.43	9.15
101-775-818.000	CONTRACTUAL SERVICES	34,336.00	13,935.66	1,347.61	20,400.34	40.59
101-775-921.000	UTILITIES	8,000.00	2,318.39	582.48	5,681.61	28.98
101-775-972.000	MINOR EQUIPMENT	20,000.00	2,900.00	0.00	17,100.00	14.50
101-775-977.000	EQUIPMENT	0.00	0.00	0.00	0.00	0.00
Total Dept 775 - CITY PARKS		139,133.00	60,942.24	4,676.17	78,190.76	43.80
Dept 780 - COMMUNITY CENTER						
101-780-702.000	SALARIES & WAGES	78,962.00	33,349.22	7,344.29	45,612.78	42.23
101-780-709.000	OVERTIME	1,000.00	803.08	0.00	196.92	80.31
101-780-710.999	SICK/VAC PAY	0.00	0.00	0.00	0.00	0.00
101-780-715.000	SOCIAL SECURITY	6,041.00	2,525.63	536.43	3,515.37	41.81
101-780-717.000	RETIREE HEALTH CARE	1,800.00	572.11	150.00	1,227.89	31.78
101-780-718.000	RETIREE HEALTH CARE	2,000.00	0.00	0.00	2,000.00	0.00
101-780-719.000	HOSP/DENTAL/OPTICAL	24,500.00	24,500.00	0.00	0.00	100.00
101-780-720.000	LIFE & LTD INSURANCE	412.00	412.00	0.00	0.00	100.00
101-780-721.000	WORKERS COMP	3,000.00	3,000.00	0.00	0.00	100.00
101-780-722.000	RETIREMENT	17,018.00	5,911.62	1,540.06	11,106.38	34.74
101-780-723.000	SUPPLEMENTAL ANNUITY	5,137.00	5,137.00	0.00	0.00	100.00
101-780-757.000	OPERATING SUPPLIES	11,450.00	4,324.98	225.03	7,125.02	37.77
101-780-818.000	CONTRACTUAL SERVICES	32,670.00	8,227.00	2,337.00	24,443.00	25.18
101-780-880.000	COMMUNITY RELATIONS	37,880.00	13,765.88	4,455.46	24,114.12	36.34
101-780-880.603	SENIOR PROGRAMS	40,684.00	6,226.55	136.88	34,457.45	15.30
101-780-921.000	UTILITIES	22,000.00	5,745.16	974.29	16,254.84	26.11
101-780-930.000	EQUIPMENT MAINT & REPAIR	5,000.00	0.00	0.00	5,000.00	0.00
101-780-958.000	MEMBERSHIP & DUES	1,050.00	0.00	0.00	1,050.00	0.00
101-780-958.001	TRAINING & SEMINARS	0.00	0.00	0.00	0.00	0.00
101-780-972.000	MINOR EQUIPMENT	0.00	0.00	0.00	0.00	0.00
101-780-977.000	EQUIPMENT	0.00	0.00	0.00	0.00	0.00
Total Dept 780 - COMMUNITY CENTER		290,604.00	114,500.23	17,699.44	176,103.77	39.40
Dept 795 - PARKS & REC FRINGE						
101-795-703.000	BS&A MOCK SALARY EXPENSE	0.00	0.00	0.00	0.00	0.00
101-795-710.999	SICK/VAC PAY	3,000.00	371.39	0.00	2,628.61	12.38
101-795-715.000	SOCIAL SECURITY	230.00	26.79	0.00	203.21	11.65
101-795-717.000	RETIREE HEALTH CARE	61,000.00	61,027.89	0.00	(27.89)	100.05
101-795-718.000	H.S.A.	1,400.00	583.33	0.00	816.67	41.67
101-795-719.000	HOSP/DENTAL/OPTICAL	19,550.00	19,550.00	0.00	0.00	100.00
101-795-720.000	LIFE & LTD INSURANCE	609.00	609.00	0.00	0.00	100.00
101-795-721.000	WORKERS COMP	8,450.00	8,450.00	0.00	0.00	100.00
101-795-723.000	SUPPLEMENTAL ANNUITY	14,170.00	14,170.00	0.00	0.00	100.00
101-795-725.200	MESC INSURANCE	0.00	0.00	0.00	0.00	0.00



PERIOD ENDING 11/30/2025

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2025-26	YTD BALANCE	ACTIVITY FOR	AVAILABLE	% BDGT USED
		AMENDED BUDGET	11/30/2025 NORMAL (ABNORMAL)	MONTH 11/30/2025 INCREASE (DECREASE)	BALANCE NORMAL (ABNORMAL)	
Fund 101 - GENERAL FUND						
Expenditures						
Total Dept 795 - PARKS & REC FRINGE		108,409.00	104,788.40	0.00	3,620.60	96.66
Dept 799 - OVERHEAD						
101-799-955.000	INSURANCE	25,611.00	0.00	0.00	25,611.00	0.00
Total Dept 799 - OVERHEAD		25,611.00	0.00	0.00	25,611.00	0.00
Dept 967 - TRANSFERS OUT ADMIN.						
101-967-995.203	TRANSFER TO LOCAL ROAD	0.00	0.00	0.00	0.00	0.00
101-967-995.226	TRANSFER TO SOLID WASTE	0.00	0.00	0.00	0.00	0.00
101-967-995.245	TRANSFER TO GRANT FUND	0.00	0.00	0.00	0.00	0.00
101-967-995.260	TRF TO SOM MIDC GRANT	3,176.00	0.49	0.00	3,175.51	0.02
101-967-995.304	TRF TO ROAD BOND FUND FUND	0.00	0.00	0.00	0.00	0.00
101-967-995.307	TRANSFER TO CAP IMPROVEMENT DEBT	212,363.00	188,181.25	0.00	24,181.75	88.61
101-967-995.420	TRF TO CAPITAL IMPROVEMENT	0.00	0.00	0.00	0.00	0.00
101-967-995.661	TRF TO MOTOR VEHICLE	10,000.00	0.00	0.00	10,000.00	0.00
101-967-995.677	TRANSFER TO WORKER'S COMP	0.00	0.00	0.00	0.00	0.00
101-967-995.731	TRANSFER TO PENSION FUND	0.00	0.00	0.00	0.00	0.00
101-967-995.737	TRANSFER TO OPEB	200,000.00	0.00	0.00	200,000.00	0.00
Total Dept 967 - TRANSFERS OUT ADMIN.		425,539.00	188,181.74	0.00	237,357.26	44.22
Dept 968 - TRANSFER OUT DPS						
101-968-995.261	TRF TO 911 FUND	0.00	0.00	0.00	0.00	0.00
101-968-995.401	TRF TO MUNICIPAL IMPROVEMENT	43,500.00	0.00	0.00	43,500.00	0.00
101-968-995.420	TRF TO CAPITAL IMPROVEMENT	0.00	0.00	0.00	0.00	0.00
101-968-995.661	TRF TO MOTOR VEHICLE	267,404.00	0.00	0.00	267,404.00	0.00
Total Dept 968 - TRANSFER OUT DPS		310,904.00	0.00	0.00	310,904.00	0.00
Dept 969 - TRANSFER OUT DPW						
101-969-995.202	TRANSF TO MAJ ST FD	0.00	0.00	0.00	0.00	0.00
101-969-995.203	TRANSF TO LOC ST FD	0.00	0.00	0.00	0.00	0.00
101-969-995.261	TRF TO 911 FUND	0.00	0.00	0.00	0.00	0.00
101-969-995.401	TRF TO MUNICIPAL IMPROVEMENT	50,000.00	0.00	0.00	50,000.00	0.00
101-969-995.420	TRF TO CAPITAL IMPROVEMENT	0.00	0.00	0.00	0.00	0.00
101-969-995.585	TRANS TO PARKING	0.00	0.00	0.00	0.00	0.00
101-969-995.661	TRF TO MOTOR VEHICLE	170,000.00	0.00	0.00	170,000.00	0.00
Total Dept 969 - TRANSFER OUT DPW		220,000.00	0.00	0.00	220,000.00	0.00
Dept 970 - TRANSFERS OUT PARKS/RECR.						
101-970-995.401	TRF TO MUNICIPAL IMPROVEMENT	25,000.00	0.00	0.00	25,000.00	0.00
101-970-995.661	TRF TO MOTOR VEHICLE	45,000.00	0.00	0.00	45,000.00	0.00
Total Dept 970 - TRANSFERS OUT PARKS/RECR.		70,000.00	0.00	0.00	70,000.00	0.00
TOTAL EXPENDITURES		18,140,056.00	2,075,078.20	962,102.22	10,174,027.71	43.84



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REVENUE AND EXPENDITURE REPORT FOR CITY OF GROSSE POINTE WOODS

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PERIOD ENDING 11/30/2025

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2025-26 AMENDED BUDGET	YTD BALANCE 11/30/2025 NORMAL (ABNORMAL)	ACTIVITY FOR MONTH 11/30/2025 INCREASE (DECREASE)	AVAILABLE BALANCE NORMAL (ABNORMAL)	% BDGT USED
Fund 101 - GENERAL FUND						
Fund 101 - GENERAL FUND:						
TOTAL REVENUES		18,149,055.00	13,509,389.35	241,788.51	4,639,665.65	74.44
TOTAL EXPENDITURES		18,149,056.00	7,975,028.29	962,193.22	10,174,027.71	43.94
NET OF REVENUES & EXPENDITURES		(1.00)	5,534,361.06	(720,404.71)	(5,534,362.06)	553,436,



REVENUE AND EXPENDITURE REPORT FOR CITY OF GROSSE POINTE WOODS

PERIOD ENDING 11/30/2025

\*NOTE: Available Balance / Pct Budget Used does not reflect amounts encumbered.

GL NUMBER	DESCRIPTION	2025-26 AMENDED BUDGET	YTD BALANCE 11/30/2025 NORM (ABNORM)	ACTIVITY FOR MONTH 11/30/25 INCR (DECR)	AVAILABLE BALANCE NORM (ABNORM)	YTD BALANCE 11/30/2024 NORM (ABNORM)	% BGD USED	PREV YEAR % BGD USED
Fund 101 - GENERAL FUND								
000		18,069,055.00	13,509,389.35	241,788.51	4,559,665.65	13,019,690.62	74.77	74.30
931 - TRANSFER IN		80,000.00	0.00	0.00	80,000.00	0.00	0.00	0.00
TOTAL REVENUES		18,149,055.00	13,509,389.35	241,788.51	4,639,665.65	13,019,690.62	74.44	73.96
101 - CITY COUNCIL		110,573.00	36,146.84	3,609.71	74,426.16	21,751.24	32.69	22.73
105 - COMMISSIONS		53,317.00	3,245.49	300.00	50,071.51	2,634.96	6.09	7.92
172 - ADMINISTRATION		443,660.00	192,089.98	25,857.04	251,570.02	148,963.60	43.30	36.24
193 - CITY COMPTROLLER		526,566.00	247,721.45	36,406.43	278,844.55	216,188.69	47.04	39.76
209 - ADMIN-FRinge BENEFITS		261,400.00	256,755.65	539.40	4,644.35	106,626.04	98.22	40.82
211 - OVERHEAD		150,009.00	30,248.04	5,687.19	119,760.96	33,624.20	20.16	25.18
215 - CITY CLERK/ELECTIONS		510,683.00	270,011.54	37,832.17	240,671.46	270,558.77	52.87	51.31
228 - MIS		514,749.00	232,929.92	24,170.40	281,819.08	211,706.77	45.25	42.84
229 - MIS FRINGE BENEFITS		31,280.00	29,580.00	0.00	1,700.00	24,001.30	94.57	47.65
257 - CITY ASSESSOR		122,855.00	41,717.03	8,314.68	81,137.97	41,851.48	33.96	35.86
265 - CITY HALL & GROUNDS		353,135.00	75,245.98	22,634.74	277,889.02	123,134.35	21.31	38.06
266 - CITY ATTORNEY		265,000.00	35,861.65	9,601.98	229,138.35	51,119.71	13.53	19.29
286 - COURT EXPENDITURES		423,319.00	180,775.56	28,249.93	242,543.44	167,580.61	42.70	36.83
305 - PUB SAF-ADMIN		385,332.00	115,991.04	23,391.60	269,340.96	119,192.58	30.10	35.29
310 - POLICE SERVICES		5,274,072.00	2,047,493.60	382,586.26	3,226,578.40	1,842,229.86	38.82	38.41
326 - SUPPORT SERVICES		167,927.00	51,743.78	13,981.39	116,183.22	48,229.56	30.81	30.87
339 - FIRE SERV/SAFETY INS		78,726.00	12,617.42	2,227.27	66,108.58	13,920.27	16.03	18.09
345 - PUB-SAF FRINGES		2,184,845.00	1,767,860.81	4,288.73	416,984.19	838,667.44	80.91	41.45
349 - OVERHEAD		257,222.00	49,215.40	5,921.70	208,006.60	50,665.57	19.13	21.45
371 - BUILDING INSPECTIONS		674,250.00	202,615.43	77,213.54	471,634.57	162,264.93	30.05	26.76
441 - PUBLIC WORKS-ADMIN		180,883.00	64,611.11	24,375.27	116,271.89	50,976.15	35.72	37.74
463 - ROUTINE MAINTENANCE		426,273.00	186,399.72	83,249.33	239,873.28	184,219.89	43.73	45.76
523 - FORESTRY SERVICES		332,385.00	27,943.84	7,049.76	304,441.16	61,651.49	8.41	19.84
531 - PUB WKS-FRinge		398,730.00	347,892.76	6,484.86	50,837.24	182,961.30	87.25	50.52
594 - OVERHEAD		683,512.00	210,751.78	51,232.65	472,760.22	208,760.53	30.83	32.55
752 - PARKS & REC-ADMIN		18,938.00	5,767.96	787.21	13,170.04	3,114.35	30.46	16.08
774 - LFP EXPENDITURES		1,729,215.00	783,381.90	53,824.37	945,833.10	718,763.71	45.30	43.53
775 - CITY PARKS		139,133.00	60,942.24	4,676.17	78,190.76	63,441.03	43.80	47.23
780 - COMMUNITY CENTER		290,604.00	114,500.23	17,699.44	176,103.77	74,962.10	39.40	31.71
795 - PARKS & REC FRINGE		108,409.00	104,788.40	0.00	3,620.60	58,021.24	96.66	51.78
799 - OVERHEAD		25,611.00	0.00	0.00	25,611.00	0.00	0.00	0.00
967 - TRANSFERS OUT ADMIN.		425,539.00	188,181.74	0.00	237,357.26	187,056.74	44.22	42.74
968 - TRANSFER OUT DPS		310,904.00	0.00	0.00	310,904.00	0.00	0.00	0.00
969 - TRANSFER OUT DPW		220,000.00	0.00	0.00	220,000.00	0.00	0.00	0.00
970 - TRANSFERS OUT PARKS/RECR.		70,000.00	0.00	0.00	70,000.00	0.00	0.00	0.00
TOTAL EXPENDITURES		18,149,056.00	7,975,028.29	962,193.22	10,174,027.71	6,288,840.46	43.94	35.72
Fund 101 - GENERAL FUND:								
TOTAL REVENUES		18,149,055.00	13,509,389.35	241,788.51	4,639,665.65	13,019,690.62	74.44	73.96
TOTAL EXPENDITURES		18,149,056.00	7,975,028.29	962,193.22	10,174,027.71	6,288,840.46	43.94	35.72
NET OF REVENUES & EXPENDITURES		(1.00)	5,534,361.06	(720,404.71)	(5,534,362.06)	6,730,850.16	553,436,	100.00



**MONTHLY FINANCIAL REPORT  
GROSSE POINTE WOODS MUNICIPAL COURT**

**TO:** City Administrator Frank Schulte  
Municipal Judge Theodore A. Metry

**FROM:** Court Clerk Rachelle Matouk

**RE:** Court Revenue and activity for November, 2025

<b>COURT REVENUES:</b>	<b>Nov-24</b>	<b>Nov-25</b>	<b>Monthly Variance</b>	<b>Fiscal Year to Date 24/25</b>	<b>Fiscal Year to Date 25/26</b>	<b>Fiscal Year to Date Variance</b>
Total Parking	\$14,228.00	\$11,900.00	-\$2,328.00	\$74,388.51	\$69,912.00	-\$4,476.51
Overpayment	\$11.00	\$70.00	\$59.00	\$91.00	\$815.00	\$724.00
OUIL Reimbursement	\$0.00	\$0.00	\$0.00	\$235.00	\$838.00	\$603.00
Cost To Compel	\$2,275.00	\$1,480.00	-\$795.00	\$6,298.00	\$6,573.00	\$275.00
Total Court Costs	\$1,360.00	\$716.00	-\$644.00	\$6,802.00	\$6,261.00	-\$541.00
Penal Fine-Library Fund	\$30.00	\$0.00	-\$30.00	\$480.00	\$0.00	-\$480.00
Total Moving	\$15,731.00	\$10,567.00	-\$5,164.00	\$53,717.31	\$53,043.00	-\$674.31
Court Appt Atty Reimbursement	\$0.00	\$0.00	\$0.00	\$125.00	\$150.00	\$25.00
Miscellaneous	\$895.00	\$684.00	-\$211.00	\$4,784.50	\$5,668.50	\$884.00
Total Probation	\$210.00	\$0.00	-\$210.00	\$1,150.00	\$1,530.00	\$380.00
<b>TOTAL</b>	<b>\$34,740.00</b>	<b>\$25,417.00</b>	<b>-\$9,323.00</b>	<b>\$148,071.32</b>	<b>\$144,790.50</b>	<b>-\$3,280.82</b>



**DEPARTMENT OF PUBLIC WORKS  
NOVEMBER, 2025  
MAINTENANCE REPORT**

SUBJECT	TASK	TOTAL HOURS
<b>Building &amp; Grounds</b>	Torrey Rd Pump Station	120
	City Hall/Public Safety/Community Center/Court	48
	Cook School	
	Electrical	
	DPW	88
	Miscellaneous	32
<b>Equipment &amp; Garage</b>	Service Equipment	248
	Parts Chaser	
	Clean/Paint	
	Miscellaneous	
<b>Forestry</b>	Trimmed/Elevated/Removed	160
	Stumps/Clean Up	
	Wind Storm Damage Clean Up	
	Trees Planted	
	Miscellaneous	
<b>Street Maintenance</b>	Cut Grass	
	Flowers/Flower Beds/Shrubs	
	Spray For Weeds	
	Leaf Hours	336
	Clean Islands/Parking Lots	24
	Asphalt Patch - Cold	
	Street Sweeping	192
	Street Paint	
	Repair Sod Damage/Square for Sod	
	Wood Chipping	168
	Edging	
	Concrete	
	Christmas Lights	176
	Snow Plowing: Miles: Hrs.	
	Sidewalk Plow Hours	
	Street Salting - Loads: Miles: Hrs.	24
	City Hall/ School Crossings	24
	Clear Parking Meter/Hydrants	
	Miscellaneous	
<b>Elections</b>	Set Up/Tear Down	56
<b>Signs</b>	New Signs- New Posts-Repairs	
<b>Wtr/Wtr Transmission</b>	Meters: Service/Sprinkler System/Shut Offs	
	Sprinkler Winterize/Repairs	
	Fire Hydrant Service/Repair	
	Water Main Break	40
	Water Service Line / Inspections	
	Stop Box	32
	Reservoir	



	Miscellaneous / Miss Dig	328
<b>Sewers/Catch Basins</b>	Sewer Repairs/Sinkholes/Drain Tap/Catch Basins	
	Manholes: Locate/Expose/Raise	
	Sewer Jetting	
	Vac-All Basins	
	Miscellaneous	
<b>Parking Meters</b>	Collect Coins	
	Repairs	
	Miscellaneous	
<b>Parks &amp; Recreation</b>	Lake Front Park	
	Other City Parks	
	Ice Rinks	32
	Miscellaneous	
	<b>Total Hours for</b>	<b>2,128</b>



CITY OF GROSSE POINTE WOODS-DEPT OF PUBLIC WORKS  
MONTHLY REPORT - WATER MAINS ONLY

DATE - NOVEMBER, 2025

MAN HOURS - DPW

TOTAL NUMBER REGULAR HOURS

52

TOTAL COST OF REGULAR HOURS

\$2,014.36

TOTAL NUMBER OVERTIME HOURS

TOTAL COST OF OVERTIME HOURS

TOTAL NUMBER DOUBLETIME HOURS

40

TOTAL COST OF DOUBLETIME HOURS

\$3,346.96

MATERIALS

TOTAL COST OF MATERIALS

\$1,584.45

EQUIPMENT HOURS

TOTAL NUMBER OF HOURS

111

TOTAL COST OF EQUIPMENT

\$8,352.96

TOTAL COST OF REPAIRS FOR THE MONTH

TOTAL COST OF REPAIRS

\$15,298.73

NUMBER OF WATER MAIN BREAKS

3



# CITY OF GROSSE POINTE WOODS-DEPT OF PUBLIC WORKS

## MONTHLY REPORT - WATER MAINS, SEWERS, CATCH BASINS AND HYDRANTS

DATE - NOVEMBER, 2025

### MAN HOURS - DPW

TOTAL NUMBER REGULAR HOURS

58

TOTAL COST OF REGULAR HOURS

\$2,180.98

TOTAL NUMBER OVERTIME HOURS

TOTAL COST OF OVERTIME HOURS

TOTAL NUMBER DOUBLETIME HOURS

40

TOTAL COST OF DOUBLETIME HOURS

\$3,346.96

### MATERIALS

TOTAL COST OF MATERIALS

\$1,666.28

### EQUIPMENT HOURS

TOTAL NUMBER OF HOURS

117

TOTAL COST OF EQUIPMENT

\$870.37

### TOTAL COST OF REPAIRS FOR THE MONTH

TOTAL COST OF REPAIRS

\$15,897.92

NUMBER OF WATER MAIN BREAKS

3

STOP BOX REPAIRS

1

SEWER

HYDRANT

CATCH BASIN



**Summary - Registrations (Courses)**

Title	Revenue Acct#	Revenue	Void / CC Refunds	Total
<b>Fitness Classes</b>				
Community Center	101.000.653.310	\$30.00	\$0.00	\$30.00
<b>Totals For Fitness Classes</b>		<b>\$30.00</b>	<b>\$0.00</b>	<b>\$30.00</b>
<b>Senior Programs</b>				
Movies	101.000.653.340	\$0.00	\$0.00	\$0.00
Senior Holiday Social	101.000.653.110	\$3230.00	\$0.00	\$3230.00
<b>Totals For Senior Programs</b>		<b>\$3230.00</b>	<b>\$0.00</b>	<b>\$3230.00</b>
<b>Special Events</b>				
Lake Front Park	101.000.653.100	\$8926.00	\$0.00	\$8926.00
<b>Totals For Special Events</b>		<b>\$8926.00</b>	<b>\$0.00</b>	<b>\$8926.00</b>
<b>Grand Totals</b>		<b>\$12,186.00</b>	<b>\$0.00</b>	<b>\$12,186.00</b>

**Summary - Memberships**

Item	Revenue Acct#	New Revenue	Renew Revenue	Void / CC Refund	Total	# Of New	# Of Renew
2025 Dog Park Pass Family	101.000.642.020	\$0.00	\$0.00	\$0.00	\$0.00	0	0
Fitness Class Single	101.000.653.310	\$0.00	\$799.00	\$0.00	\$0.00	0	22
Miniature Golf - 8 visits Single	101.000.653.105	\$0.00	\$0.00	\$0.00	\$0.00	0	0
<b>Grand Totals</b>		<b>\$0.00</b>	<b>\$799.00</b>	<b>\$0.00</b>	<b>\$799.00</b>	<b>0</b>	<b>22</b>

**Summary - Merchandise Sales**

Description	Revenue Acct#	Qty Sold	Qty Refunded	Revenue	Void / CC Refund	Total
Miniature Golf - \$2 per person	101.000.653.105	0	0	\$0.00	\$0.00	\$0.00
<b>Grand Totals</b>				<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>



**Summary - Facility Rentals**

Title	Revenue Acct#	Revenue	Void / CC Refund	Total
<b>Optional Rates</b>				
Serving alcohol	101.000.646.000	\$50.00	\$0.00	\$50.00
Totals For Optional Rates		\$50.00	\$0.00	\$50.00
<b>Room Rates</b>				
All Rooms	101.000.646.000	\$185.00	\$0.00	\$185.00
Cook School House	101.000.646.000	\$0.00	\$0.00	\$0.00
Garden Room	101.000.646.000	\$900.00	\$0.00	\$900.00
Park Room	101.000.646.000	\$2,240.00	(\$25.00)	\$2215.00
Pavilion	101.000.653.410	\$0.00	\$0.00	\$0.00
Totals For Room Rates		\$3,325.00	\$25.00	\$3,300.00
<b>Security Deposits</b>				
Security Deposit-CC	101.000.295.000	\$1,600.00	\$0.00	\$1,600.00
Totals For Security Deposits		\$1,600.00	\$0.00	\$1,600.00
Grand Total		\$4,975.00	(\$450.00)	\$4,950.00

**Summary - Area Rentals**

Title	Revenue Acct#	Revenue	Void / CC Refund	Total
<b>Dock Rentals</b>				
Waiting List Fees	594-000-651.000	\$0.00	\$0.00	\$0.00
Boat Dock Fees	594-000-651.002	\$16,690.00	\$0.00	\$16,690.00
Winter Boat Storage	594-000-651.003	\$4,038.00	\$0.00	\$4,038.00
Totals For Dock Rentals		\$20,728.00	\$0.00	\$20,728.00
Grand Total		\$20,728.00	\$0.00	\$20,728.00



**Revenue Account Summary**

Revenue Account#	Revenue	Void / CC Refund	Receipt Total	Cash	Check	Cash & Check Total	Credit Card	ACH	Acct Credit	Other
101.000.295.000	\$1,600.00	\$0.00	\$1,600.00	\$200.00	\$400.00	\$600.00	\$1,000.00	\$0.00	\$0.00	\$0.00
101.000.642.020	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
101.000.646.000	\$3,350.00	\$0.00	\$3,350.00	\$175.00	\$1,855.00	\$2,030.00	\$1,320.00	\$0.00	\$0.00	\$0.00
101.000.653.100	\$8,926.00	\$0.00	\$8,926.00	\$486.00	\$808.00	\$1,294.00	\$7,632.00	\$0.00	\$0.00	\$0.00
101.000.653.105	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
101.000.653.110	\$3,230.00	\$0.00	\$3,230.00	\$1,050.00	\$1,515.00	\$2,565.00	\$665.00	\$0.00	\$0.00	\$0.00
101.000.653.310	\$829.00	\$0.00	\$829.00	\$253.00	\$249.00	\$502.00	\$327.00	\$0.00	\$0.00	\$0.00
101.000.653.340	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
101.000.653.410	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
101.000.683.000	\$443.00	\$0.00	\$443.00	\$60.00	\$263.00	\$323.00	\$120.00	\$0.00	\$0.00	\$0.00
594.000.651.000	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
594.000.651.002	\$16,690.00	\$0.00	\$16,690.00	\$1,055.00	\$10,636.00	\$11,691.00	\$4,999.00	\$0.00	\$0.00	\$0.00
594.000.651.003	\$4,038.00	\$0.00	\$4,038.00	\$690.00	\$1,248.00	\$1,938.00	\$2,100.00	\$0.00	\$0.00	\$0.00
<b>Grand Totals</b>	<b>\$39,106.00</b>	<b>\$0.00</b>	<b>\$39,106.00</b>	<b>\$3,969.00</b>	<b>\$16,974.00</b>	<b>\$20,943.00</b>	<b>\$18,163.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>

**Refunds - Check Request**

Revenue Account#	Refund Total
101.000.295.000	\$0.00
101.000.646.000	\$0.00
101.000.653.100	\$0.00
101.000.653.340	\$0.00
<b>Grand Total</b>	<b>\$0.00</b>



EXCERPT  
Council-  
10/20/25

**Motion** by McConaghy, seconded by Gafa, that the City Council concur with City Administrator Schulte's recommendation and approve the succession plan as presented in accordance with his memo dated September 30, 2025; and to approve the Employment Agreement for Susan Como to serve as City Administrator effective January 2, 2026 and authorize the Mavor to sign the agreement.

Motion carried by the following vote:

Yes:	Brown, Bryant, Gafa, Granger, Koester, McConaghy, Motschall
No:	None
Absent:	None





## CITY OF GROSSE POINTE WOODS MEMORANDUM

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**Date:** September 30, 2025  
**To:** Mayor and City Council  
**From:** Frank Schulte, City Administrator  
**Subject:** Retirement Announcement and Succession Plan

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It is with deep appreciation that I express my sincere gratitude to each of you for your continued dedication and leadership, which have made the City of Grosse Pointe Woods an exceptional place to live and work.

After much reflection, I am pleased to officially announce my intention to retire, effective at the close of business on Friday, January 2, 2026. It's hard to believe how quickly the past ten years have gone by. It has been an honor to serve this community, and I am proud of the progress we've achieved together. I am especially grateful for the recognition I've received over the years—honors that I will always treasure.

This City has felt like a second home to me. My colleagues here have truly become extended family, and I leave with countless positive memories and a deep appreciation for the unwavering support and camaraderie I've experienced throughout my tenure.

A heartfelt thank you to my wife Betsy, Bruce Smith, Jim Kowalski, Sue Como, all our department heads, and all city employees, for your steadfast support and friendship. I also want to thank Mayor Bryant and the City Council members for your trust, kindness, and visionary leadership.

To ensure a seamless transition, I have developed a succession plan that has been reviewed and approved by the Compensation & Evaluation Committee. I am proud to recommend Sue Como, our Assistant City Administrator, to succeed me as City Administrator. Over the past four years, Sue has worked closely with me, making significant contributions to key projects and consistently demonstrating her readiness to lead with competence, professionalism, and integrity.

To support Sue in her new role, I recommend reinstating the former practice of appointing an Acting City Administrator during her absences. My strong recommendation for this position is Jim Kowalski, who has served with distinction as Director of Public Services and has successfully led numerous critical initiatives throughout the city.

Additionally, I recommend that Sue be assigned an Executive Assistant to the City Administrator to assist in managing daily operations and maintaining the efficiency and effectiveness of administrative functions.

I have been working closely with our labor attorney to prepare an employment agreement for Sue Como. I will continue to support the transition process to ensure continuity of leadership and organizational stability. As part of this transition, I remain committed to fulfilling my contractual obligations under the 90-day notice period.

Thank you for your attention to this important matter and for your continued support as the city moves forward.



## **City of Grosse Pointe Woods**

### **CITY MANAGER**

### **EMPLOYMENT AGREEMENT**

THIS AGREEMENT is entered into by and between the CITY OF GROSSE POINTE WOODS, State of Michigan, a municipal corporation, hereinafter called the "City," and SUSAN COMO hereinafter called "COMO" both of whom agree as follows:

#### **WITNESSETH:**

**WHEREAS**, the City will employ the services of COMO as City Manager of the City of Grosse Pointe Woods as provided by the City Charter, Code and state law; and,

**WHEREAS**, it is the desire of the City to provide certain benefits, establish certain conditions of employment and to set working conditions of said employment; and,

**WHEREAS**, COMO agrees to the terms and conditions of this Employment Agreement as City Manager.

**NOW, THEREFORE**, in consideration of the mutual covenants herein contained, the parties agree as follows:

#### **Section 1 – DUTIES:**

City agrees to employ COMO as City Manager to perform the functions and duties which are expressed and implied in the Charter and/or Code of the City of Grosse Pointe Woods and all those other functions and duties which are implicit by virtue of the nature of her office. COMO shall also perform such other legally permissible and proper duties and functions as the City Council, the City Code, and the City Charter shall, from time to time, assign. COMO shall maintain any required licenses and/or levels of certification necessary for the performance of such duties as a condition of continued employment with the City.

#### **Section 2 – SALARY:**

The City agrees to pay COMO at the rate of an annual base salary of One Hundred Thirty Thousand and no/100 (\$130,000.00) Dollars, effective January 2, 2026 payable in installments at the same time as other employees of the City are paid. Upon finding satisfactory performance in the future, the City Council may make appropriate adjustments.

Nothing in this Agreement shall prevent, limit or otherwise interfere with the right of the City to adjust salary in response to annual budget considerations.



### **Section 3 – TERM:**

- A. This agreement shall be effective from January 2, 2026 through January 2, 2027 unless terminated earlier by either party. COMO will be employed on an at-will status as City Manager to perform the functions and duties of the position as required by the City Code and Charter. She shall also perform such duties and functions as the City Council may, from time to time, prescribe. She shall serve at the pleasure of the City Council and be subject to removal by the City Council at any time with or without cause.

Nothing in this Agreement shall prevent, limit or otherwise interfere with the right of the City to terminate the services of COMO with or without cause, with or without notice, at any time.

- B. COMO shall be employed on an at-will basis as City Manager to perform the functions and duties of the position as required by the Code and Charter.
- C. There shall be no expectation of renewal or extension of this agreement unless mutually agreed upon in writing by both parties.
- D. Nothing in this Agreement shall prevent, limit, or otherwise interfere with the right of COMO to resign at any time from her position with the City. However, COMO shall be required to provide thirty (30) days written notice to the City prior to her resigning.
- E. COMO agrees to remain the exclusive employee of the City and neither to accept other employment nor to become employed by any other employer thereafter as long as she remains in the employ of the City.

### **Section 4 – TERMINATION AND SEVERANCE PAY:**

In the event that COMO is terminated without cause, COMO shall receive severance pay equaling 90 days (3 months of regular pay) of her annual salary. Directly prior to her receipt of severance pay, COMO shall sign a Settlement and Release Agreement waiving any and all rights under this Agreement, and she shall agree not to file any lawsuit or engage in any litigation against the City, its agents, assigns, Council Members, (either in their representative capacity or in their individual capacities).

Additionally, the city shall provide COMO with 6 months of coverage of the healthcare benefits she currently receives.

### **Section 5 – FRINGE BENEFITS:**

The City reserves the right to reduce or modify any fringe benefit should it determine same to be necessary, desirable or appropriate. COMO qualifies for the following fringe benefits:

1. Contribution to Deferred Compensation Plan: ICMA-RC457 or an equivalent plan in an amount equal to eight (8%) percent of COMO's salary during the term of this Agreement.



1. Pension Plan and Retirement Savings: Per Employee Contract.
2. Vacation Days: Per Employee Handbook.
3. Delta dental or equivalent coverage and current optical coverage. Per Employee Handbook.
4. Medical and prescription drug coverage. Per Employee Handbook.
5. Holiday Leave. Per Employee Handbook.
6. Vacation Leave. As negotiated above.
7. Sick Leave. Per Employee Handbook.
8. Disability Leave. Per Employee Handbook.
9. Funeral Leave. Per Employee Handbook.
10. Leaves of Absence. Per Employee Handbook.
11. Jury Duty Leave. Per Employee Handbook.
12. Furlough Days. COMO shall be obligated to observe the current furlough (unpaid) days currently in effect for salary employees.

#### **Section 6 – DUES AND SUBSCRIPTIONS:**

The City agrees to endeavor (but is not obligated) to annually budget and, upon prior approval of the City Council, pay for the professional dues and subscriptions of COMO which are necessary for the continuation and full participation in national, regional, state, and local associations and organizations which are immediately related to continued professional participation, growth and advancement, and for the general good of the City.

#### **Section 7 – PROFESSIONAL DEVELOPMENT:**

- A. City agrees to endeavor (but is not obligated) to annually budget and, upon prior approval of the City Council, pay for travel and subsistence expenses of COMO for professional and official travel, meetings and occasions which are necessary to continue the professional development of COMO and to adequately pursue necessary official and other functions for the City.
- B. City agrees to endeavor (but is not obligated) to annually budget and, upon prior approval of the City Council, pay for the travel and subsistence expenses of COMO for short courses, institutes and seminars that may be required by law in connection with duties performed for the City.



- C. Any professional development requiring airfare or overnight accommodations requires prior Council approval.
- D. City reserves the right to receive reimbursement for any professional development related expenditures from COMO in the event that COMO ceases employment with the City within 12 months from the City's payment of said expenditure.

**Section 8 – OTHER TERMS AND CONDITIONS OF EMPLOYMENT:**

- A. COMO's scheduling of time at work at municipal facilities, meetings and events is expected to be without maximum limitation and shall meet the needs of the City, its businesses and inhabitants.
- B. The minimum workweek shall be 37.5 hours and there shall be no added compensation for hours worked longer than 37.5 hours per week.
- C. The City shall be COMO's sole and exclusive employer except as provided herein and except as may be approved by the City Council.
- D. During the term of this contract, the City may establish evaluation criteria, procedures and timetables. This evaluation program is subject to approval by City Council.
- E. There shall be no City car furnished nor any car allowance.

**Section 9 – GENERAL PROVISIONS:**

- A. This is the entire Agreement between the parties. This Agreement supersedes any and all other Agreements or contracts, either oral or written between the parties.
- B. Notices pursuant to this Agreement shall be in writing and shall be deemed given if delivered by personal delivery or if deposited in the custody of the United States Postal Service, postage prepaid addressed as follows:
 

(1) City Clerk City of Grosse Pointe Woods 20025 Mack Plaza Grosse Pointe Woods, MI 48236	(2) Susan Como 22576 Ardmore Park Drive Saint Clair Shores, MI 48081
--	--
- C. The parties acknowledge that both the City and COMO have drafted this Agreement and have had the opportunity to have the Agreement reviewed by counsel.
- D. If any provisions, or any portion thereof, contained in this Agreement are held unconstitutional, invalid or unenforceable, the remainder of this Agreement, or portion thereof, shall not be affected and shall remain in full effect.



**IN WITNESS WHEREOF**, the parties have signed this Agreement below.

**CITY OF GROSSE POINTE WOODS**

\_\_\_\_\_  
By: SUSAN COMO

Dated: \_\_\_\_\_, 2025

\_\_\_\_\_  
By: ARTHUR W. BRYANT

Its: Mayor

Dated: \_\_\_\_\_, 2025

Approved for Signature:

\_\_\_\_\_  
By: Debra Walling, City Attorney

Dated: \_\_\_\_\_, 2025





## CITY OF GROSSE POINTE WOODS MEMORANDUM

**DATE:** December 11, 2025

**TO:** Mayor and City Council

**FROM:** Frank Schulte, City Manager *F.S.*

**SUBJECT:** Acting City Manager Appointment

The Director of Public Services, Jim Kowalski, has been employed by the city for the past 27 years and serving in his current role for the past four years.

During his tenure with the city he has gained the time and experience to become comfortable in his position as the Director of Public Services as well as with the workings of the city. In addition, he is very familiar with the geographical layout of the city, and has had the experience of working with City Council, Appointed Officials, and Department Heads. Lastly, Director Kowalski has displayed outstanding leadership skills as well as the ability to manage multiple projects at one time.

It is my opinion that Director Kowalski is the best person to serve as the Acting City manager beginning January 3, 2026, in the absence of the incoming City Manager, Susan Como. He has the leadership experience the city requires as well as the administrative skills to keep things running smoothly in her absence.

I feel it is my responsibility to the city, its residents, and the employees to recommend the person best suited for this position. Therefore, it is my recommendation that Mayor and City Council concur with the appointment and pass a motion consenting to such of Director of Public Works, Jim Kowalski, as the Acting City Administrator during a period of vacancy in the office of Administration as well as in Susan Como's absence from the city.



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DEC 11 2025

CITY OF GROSSE POINTE WOODS  
ENGINEERING DEPARTMENT



**ANDERSON, ECKSTEIN & WESTRICK, INC.**  
CIVIL ENGINEERS SURVEYORS ARCHITECTS  
51301 SCHOENHERR RD. SHELBY TOWNSHIP, MI 48315  
www.aewinc.com p(586)726-1234

**INVOICE**

CITY OF GROSSE POINTE WOODS  
ACCOUNTS PAYABLE  
20025 MACK AVENUE  
GROSSE POINTE WOODS, MI 48236-2397

November 24, 2025  
Project No: 0160-0455-0  
Invoice No: 161913

Project 0160-0455-0 VERNIER & MACK AVE INTERSECTION IMPROVE.  
PURCHASE ORDER #24-48747 - \$375,000.00  
FOR: CONSTRUCTION OBSERVATION, CONSTRUCTION ENGINEERING, & CONTRACT ADMIN.  
Professional Services from October 20, 2025 to November 16, 2025

Phase 03 CONSTRUCTION

**Professional Personnel**

	Hours	Rate	Amount
RESEARCH/REVIEW			
PRINCIPAL ENGINEER / SURV / ARCH	1.50	144.10	216.15
CONTRACT ADMINISTRATION			
PROJECT MANAGER	10.00	140.00	1,400.00
TECHNICIAN III	15.40	85.70	1,319.78
TECHNICIAN II	10.50	75.80	795.90
TECHNICIAN I	3.20	68.50	219.20
STUDIES			
PRINCIPAL ENGINEER / SURV / ARCH	5.20	144.10	749.32
GRADUATE ENG I / SURV I / ARCH I	16.20	102.20	1,655.64
SENIOR PROJECT MANAGER	1.00	142.00	142.00
MEETINGS			
PRINCIPAL ENGINEER / SURV / ARCH	1.50	144.10	216.15
GRADUATE ENG I / SURV I / ARCH I	3.00	102.20	306.60
CONSTRUCTION OBSERVATION			
GRADUATE ENG I / SURV I / ARCH I	18.00	102.20	1,839.60
TEAM LEADER	2.00	102.20	204.40
GENERAL			
PRINCIPAL ENGINEER / SURV / ARCH	.90	144.10	129.69
Totals	88.40		9,194.43
<b>Total Labor</b>			<b>9,194.43</b>

**Consultants**

REIMBURSABLE CONSULTANT EXPENSE			
11/11/2025 TRAFFICAT LLC	Invoice# INV-000124	1,275.00	
<b>Total Consultants</b>		<b>1,275.00</b>	<b>1,275.00</b>

**Billing Limits**

	Current	Prior	To-Date
Total Billings	10,469.43	273,859.77	284,329.20
Limit			375,000.00
Remaining			90,670.80

**Total this Phase \$10,469.43**

**Total this Invoice \$10,469.43**

Please include the project number and invoice number on your check.





# Trafficat

**Trafficat, LLC**

Jesse Steeves, Owner  
6715 Post Oak Dr  
West Bloomfield, Michigan 48322  
989-305-8011  
trafficatcounts.com

# Invoice

# INV-000124

Balance Due  
**\$1,275.00**

Job # 0160-0455

Pay

## Bill To

**Mohammad Lutfi, PE, PTOE**  
Senior Traffic Engineer  
Anderson, Eckstein & Westrick, Inc.  
51301 Schoenherr Rd  
Shelby Twp, Michigan 48315  
Phone: 734-945-8144  
Fax: 586-726-8750

Invoice Date : 10.30.25

Terms : Due on Receipt

Due Date : 10.30.25

Work Requested : 10.14.25

Work Completed : 10.29.25

Requested By : Mo Lutfi

Traffic Studies  
Performed for : Grosse Pointe

#	Item & Description	Qty	Rate	Amount
1	<b>24 Hr TMC</b> 24 Hour Video Intersection Turning Movement Counts conducted during a typical weekday. Data collected from 12:00 AM to 11:59 PM for the following locations: Mack Ave and EB Vernier Rd Mack Ave and WB Vernier Rd Vernier Rd and Sunningdale Pk	3.00	425.00	1,275.00

Sub Total 1,275.00

**Total \$1,275.00****Balance Due \$1,275.00**



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CITY OF GROSSE POINTE WOODS  
CLERK'S DEPARTMENT



**ANDERSON, ECKSTEIN & WESTRICK, INC.**  
CIVIL ENGINEERS SURVEYORS ARCHITECTS  
51301 SCHOENHERR RD. SHELBY TOWNSHIP, MI 48315  
www.aewinc.com p(586)726-1234

**INVOICE**

November 24, 2025

Project No: 0160-0493-0

Invoice No: 161915

CITY OF GROSSE POINTE WOODS  
ACCOUNTS PAYABLE  
20025 MACK AVENUE  
GROSSE POINTE WOODS, MI 48236-2397

Project 0160-0493-0 2025 MISCELLANEOUS CONCRETE PROGRAM

PURCHASE ORDER #25-49187 - \$108,334.00

FOR: CONSTRUCTION ENG., CONSTRUCTION OBSERVATION, CONTRACT ADMIN.

Professional Services from October 20, 2025 to November 16, 2025

**Professional Personnel**

	Hours	Rate	Amount
PRINTS			
TECHNICIAN II	.50	75.80	37.90
QUANTITIES			
TECHNICIAN III	1.00	85.70	85.70
CONTRACT ADMINISTRATION			
TEAM LEADER	6.00	102.20	613.20
TECHNICIAN III	2.50	85.70	214.25
SENIOR PROJECT MANAGER	.30	142.00	42.60
CONSTRUCTION OBSERVATION			
TEAM LEADER	2.00	102.20	204.40
TECHNICIAN III	78.00	85.70	6,684.60
Totals	90.30		7,882.65
<b>Total Labor</b>			<b>7,882.65</b>

Billing Limits	Current	Prior	To-Date
Total Billings	7,882.65	60,192.48	68,075.13
Limit			108,334.00
Remaining			40,258.87

**Total this Invoice \$7,882.65**

PO 49187  
# 202-451-974.201 \$372.95  
# 203-451-974.201 \$709.44  
# 585-571-978.300 \$2,995.41  
# 592-537-975.401 \$3,704.85

OK - J.K.  
SS



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CITY OF GROSSE POINTE WOODS  
**ANDERSON, ECKSTEIN & WESTRICK, INC.**  
 CIVIL ENGINEERS SURVEYORS ARCHITECTS  
 51301 SCHOENHERR RD. SHELBY TOWNSHIP, MI 48315  
 www.aewinc.com p(586)726-1234

**INVOICE**

November 24, 2025

Project No: 0160-0495-0

Invoice No: 161916

CITY OF GROSSE POINTE WOODS  
 ACCOUNTS PAYABLE  
 20025 MACK AVENUE  
 GROSSE POINTE WOODS, MI 48236-2397

Project 0160-0495-0 2025 SEWER REHAB PROGRAM

FOR: CONST. OBSERVATION, CONST. ENGINEERING, CONTRACT ADMIN

Professional Services from October 20, 2025 to November 16, 2025

**Professional Personnel**

	Hours	Rate	Amount	
SECRETARIAL				
ADMINISTRATIVE	2.00	40.40	80.80	
PRINTS				
TECHNICIAN I	.80	68.50	54.80	
CONTRACT ADMINISTRATION				
TEAM LEADER	6.50	102.20	664.30	
TECHNICIAN III	6.50	85.70	557.05	
PROJECT ENGINEER I / SURV I / ARCH I	3.50	126.00	441.00	
GRADUATE ENGINEER II / SURV II / ARCH II	.50	109.30	54.65	
MEETINGS				
TEAM LEADER	1.50	102.20	153.30	
TECHNICIAN III	2.00	85.70	171.40	
CONSTRUCTION OBSERVATION				
TECHNICIAN III	26.50	85.70	2,271.05	
TECHNICIAN II	44.00	75.80	3,335.20	
GENERAL				
GRADUATE ENGINEER II / SURV II / ARCH II	1.00	109.30	109.30	
Totals	94.80		7,892.85	
<b>Total Labor</b>				<b>7,892.85</b>
		<b>Total this Invoice</b>		<b>\$7,892.85</b>

PO 49189  
 #592-537-976.001  
 OK- J.K.  
 SS  
 PJ



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**ANDERSON, ECKSTEIN & WESTRICK, INC.**  
CIVIL ENGINEERS SURVEYORS ARCHITECTS  
51301 SCHOENHERR RD. SHELBY TOWNSHIP, MI 48315  
www.aewinc.com p(586)726-1234

**INVOICE**

November 24, 2025

Project No: 0160-0496-0

Invoice No: 161917

CITY OF GROSSE POINTE WOODS  
ACCOUNTS PAYABLE  
20025 MACK AVENUE  
GROSSE POINTE WOODS, MI 48236-2397

Project 0160-0496-0 WEDGEWOOD RESURF. (VERNIER-HAWTHORNE)

PURCHASE ORDER #25-49195 - \$7,500.00

PURCHASE ORDER #25-49193 - \$33,250.00

PURCHASE ORDER #25-49285 - \$70,918.00

FOR: CONST. ENGINEERING, CONST. OBSERVATION & CONTRACT ADMIN.

**Professional Services from October 20, 2025 to November 16, 2025**

**Professional Personnel**

	Hours	Rate	Amount
PRINTS			
TECHNICIAN II	.20	75.80	15.16
CONTRACT ADMINISTRATION			
PROJECT MANAGER	10.50	140.00	1,470.00
GRADUATE ENG I / SURV I / ARCH I	12.50	102.20	1,277.50
TECHNICIAN III	2.50	85.70	214.25
SENIOR PROJECT MANAGER	1.10	142.00	156.20
MEETINGS			
GRADUATE ENG I / SURV I / ARCH I	1.00	102.20	102.20
CONSTRUCTION OBSERVATION			
GRADUATE ENG I / SURV I / ARCH I	11.50	102.20	1,175.30
TEAM LEADER	9.00	102.20	919.80
TECHNICIAN III	28.50	85.70	2,442.45
Totals	76.80		7,772.86
<b>Total Labor</b>			<b>7,772.86</b>

Billing Limits	Current	Prior	To-Date
Total Billings	7,772.86	51,495.17	59,268.03
Limit			111,668.00
Remaining			52,399.97

**Total this Invoice \$7,772.86**

PO 49285  
# 202-451-974.201 \$ 77.74  
# 203-451-974.201 \$ 932.74  
# 203-451-977.803 \$ 4,197.34  
# 592-537-977.310 \$ 2,565.04  
OK - J.K  
SS  
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ANDERSON, ECKSTEIN & WESTRICK, INC.  
CIVIL ENGINEERS SURVEYORS ARCHITECTS  
51301 SCHOENHERR RD. SHELBY TOWNSHIP, MI 48315  
www.aewinc.com p(586)726-1234

INVOICE

November 24, 2025

Project No: 0160-0498-0

Invoice No: 161918

CITY OF GROSSE POINTE WOODS  
ACCOUNTS PAYABLE  
20025 MACK AVENUE  
GROSSE POINTE WOODS, MI 48236-2397

Project 0160-0498-0 2025-2026 GENERAL ENGINEERING  
PURCHASE ORDER #25-48971 - \$40,000.00

**Professional Services from October 20, 2025 to November 16, 2025**

Phase 01 GENERAL ENGINEERING

**Professional Personnel**

	Hours	Rate	Amount
RESEARCH/REVIEW			
PRINCIPAL ENGINEER / SURV / ARCH			
LOCKWOOD, SCOTT	1.00	144.10	144.10
Engineering meeting			
PRINTS			
TECHNICIAN III			
LEIDEKER, RONDA	.30	85.70	25.71
Prints			
GENERAL			
PRINCIPAL ENGINEER / SURV / ARCH			
VIGNERON, MICHAEL	.30	144.10	43.23
Review and Comment on Mid-Block Crossings for upcoming Mack Avenue Project			
PROJECT MANAGER			
WILBERDING, ROSS	.50	140.00	70.00
Address list for city mailing notices to lead/unknown service line customers			
WILBERDING, ROSS	2.00	140.00	280.00
Attending WC FAC meeting on behalf of GPW. Cook Rd approved for second half of funding in FYE28			
WILBERDING, ROSS	.50	140.00	70.00
Corr. re: construction budgeting spreadsheet and sending maps to clerk for handouts			
WILBERDING, ROSS	.50	140.00	70.00
Corr. re: ped x-ing of Mack ave			
WILBERDING, ROSS	.50	140.00	70.00
Corr. w/ WC design team re: status of Wayne County Resurfacing project.			
WILBERDING, ROSS	4.50	140.00	630.00
Looking into MIO PDAP Grant. Attending informational webinar for grant. Prep for and attend construction committee meeting			
WILBERDING, ROSS	1.00	140.00	140.00
Monthly engineering meeting			
WILBERDING, ROSS	.50	140.00	70.00
Preparing monthly engineering meeting agenda			
WILBERDING, ROSS	.30	140.00	42.00
submit print request for new water sewer maps for DPW use			



Project	0160-0498-0	2025-2026 GENERAL ENGINEERING	Invoice	161918
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# GIS UPDATES

## GIS MANAGER

MILLER, JEFFREY	2.50	132.00	330.00	
Creation of known water service mailer table				
MILLER, JEFFREY	1.00	132.00	132.00	
Creation of lead, galvanized, unknown water service mailer table				
Totals	15.40		2,117.04	
<b>Total Labor</b>				<b>2,117.04</b>

## Billing Limits

	Current	Prior	To-Date	
Total Billings	2,117.04	13,078.51	15,195.55	
Limit			40,000.00	
Remaining			24,804.45	
		<b>Total this Phase</b>		<b>\$2,117.04</b>
		<b>Total this Invoice</b>		<b>\$2,117.04</b>

PO 48971  
# 101-441-818.000 \$ 529.26  
# 101-265-818.000 \$ 1,323.15  
# 592-537-818.000 \$ 264.63  
OK-

g.k  
SS  
H



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DEC 11 2025



**ANDERSON, ECKSTEIN & WESTRICK, INC.**  
 CIVIL ENGINEERS SURVEYORS ARCHITECTS  
 51301 SCHOENHERR RD. SHELBY TOWNSHIP, MI 48315  
 www.aewinc.com p(586)726-1234

**INVOICE**

November 24, 2025

Project No: 0160-0499-0

Invoice No: 161919

CITY OF GROSSE POINTE WOODS  
 ACCOUNTS PAYABLE  
 20025 MACK AVENUE  
 GROSSE POINTE WOODS, MI 48236-2397

Project 0160-0499-0 2025-2026 GIS MAINTENANCE

PURCHASE ORDER #25-48970 - \$21,000.00

Professional Services from October 20, 2025 to November 16, 2025

Phase 01 GENERAL

**Professional Personnel**

	Hours	Rate	Amount
GIS UPDATES			
GIS MANAGER	2.50	132.00	330.00
SENIOR GIS ANALYST	1.00	102.20	102.20
GIS ANALYST	15.60	85.70	1,336.92
Totals	19.10		1,769.12
<b>Total Labor</b>			<b>1,769.12</b>

**Billing Limits**

	Current	Prior	To-Date
Total Billings	1,769.12	8,926.21	10,695.33
Limit			21,000.00
Remaining			10,304.67

**Total this Phase \$1,769.12**

**Total this Invoice \$1,769.12**

PO 48970  
 # 592-537-977.000  
 OIC - J.K.  
 SS  
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ANDERSON, ECKSTEIN & WESTRICK, INC.  
CIVIL ENGINEERS SURVEYORS ARCHITECTS  
51301 SCHOENHERR RD. SHELBY TOWNSHIP, MI 48315  
www.aewinc.com p(586)726-1234

INVOICE

November 25, 2025

Project No: 0160-0494-0

Invoice No: 161925

CITY OF GROSSE POINTE WOODS  
ACCOUNTS PAYABLE  
20025 MACK AVENUE  
GROSSE POINTE WOODS, MI 48236-2397

Project 0160-0494-0 2025 JOINT & CRACK SEALING PROGRAM  
PURCHASE ORDER #25-49191 - \$8,333.00  
FOR: DESIGN/SPECS & CONTRACT ADMIN.

**Professional Services from October 20, 2025 to November 16, 2025**

Fee

Total Fee	8,333.00		
Percent Complete	100.00	Total Earned	8,333.00
		Previous Fee Billing	0.00
		Current Fee Billing	8,333.00
		<b>Total Fee</b>	<b>8,333.00</b>
		<b>Total this Invoice</b>	<b>\$8,333.00</b>

PO 49191  
# 202-451-975-310 \$ 2,750.00  
# 203-451-975-310 \$ 5,583.00  
OK - J.K.

SS

H



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DEC 11 2025



ANDERSON, ECKSTEIN & WESTRICK, INC.  
CIVIL ENGINEERS SURVEYORS ARCHITECTS  
51301 SCHOENHERR RD. SHELBY TOWNSHIP, MI 48315  
www.aewinc.com p(586)726-1234

INVOICE

November 25, 2025

Project No: 0160-0497-0

Invoice No: 161926

CITY OF GROSSE POINTE WOODS  
ACCOUNTS PAYABLE  
20025 MACK AVENUE  
GROSSE POINTE WOODS, MI 48236-2397

Project 0160-0497-0 LEE CT. DOYLE CT & THORNTREE WATER MAINS  
PURCHASE ORDER #25-49194 - \$38,250.00  
FOR: DESIGN ENGINEERING

**Professional Services from October 20, 2025 to November 16, 2025**

**Fee**

Construction Cost	562,500.00
Fee Percentage	6.80
Total Fee	38,250.00

Percent Complete	90.00	Total Earned	34,425.00
		Previous Fee Billing	19,125.00
		Current Fee Billing	15,300.00
		<b>Total Fee</b>	<b>15,300.00</b>

**Total this Invoice \$15,300.00**

PO 49194  
# 592-537-977.310  
ok - J.K  
SS  
FS





ANDERSON, ECKSTEIN & WESTRICK, INC.  
CIVIL ENGINEERS SURVEYORS ARCHITECTS  
51301 SCHOENHERR RD. SHELBY TOWNSHIP, MI 48315  
www.aewinc.com p(586)726-1234

**INVOICE**

CITY OF GROSSE POINTE WOODS  
ACCOUNTS PAYABLE  
20025 MACK AVENUE  
GROSSE POINTE WOODS, MI 48236-2397

November 26, 2025

Project No: 0160-0479-0

Invoice No: 162029

Project 0160-0479-0 GHESQUIERE & LAKEFRONT PARK BLDG RENO

**Professional Services from October 20, 2025 to November 16, 2025**

Phase 03 LAKEFRONT CA  
Fee

Total Fee 13,333.00

Percent Complete

98.00

Total Earned

13,066.34

Previous Fee Billing

12,666.35

Current Fee Billing

399.99

**Total Fee**

**399.99**

**Total this Phase**

**\$399.99**

**Total this Invoice**

**\$399.99**

PO 48613  
# 401-902-977-104  
OK-J.K  
SS  
P



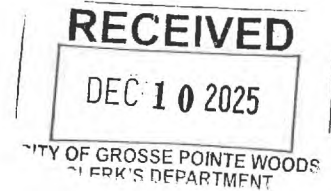


**ANDERSON, ECKSTEIN & WESTRICK, INC.**

CIVIL ENGINEERS - SURVEYORS - ARCHITECTS

Shelby Township - Roseville - Livonia  
586.726.1234 | www.aewinc.com

October 30, 2025



Steven Schmidt, Controller  
City of Grosse Pointe Woods  
20025 Mack Avenue  
Grosse Pointe Woods, Michigan 48236-2397

**Reference: Payment Invoice 01**  
2025 Concrete Pavement Repair Program  
City of Grosse Pointe Woods  
AEW Project No. 0160-0493

Dear Mr. Schmidt:

Enclosed please find Construction Payment Invoice 01 for the project referenced above. For work performed through October 26, 2025, we recommend issuing payment for the **Current Payment Amount (see Page 5)** in the amount of **\$342,353.98** to Mattioli Cement Co., LLC 6085 McGuire Rd. Fenton, MI 48430.

If you have questions or require additional information, please contact our office.

Sincerely,

DocuSigned by:  
*Frank D. Varicalli*  
C4D17CC8031F4D4...

Frank D. Varicalli  
Infrastructure Rehab Group Lead

PO 49188  
# 202-451-974.200 \$ 20,541.24  
# 203-451-974.200 \$ 30,811.86  
# 585-571-977.000 \$ 130,094.51  
# 592-537-975.400 \$ 160,906.37  
OK - J.K.  
S. B.

cc: Frank Schulte, City Administrator  
Jim Kowalski, Director of Public Services  
Jeanne Duffy, Grosse Pointe Woods  
Susan Como, Assistant City Administrator  
Scott Lockwood, AEW, Inc.  
Paul Antolin, Grosse Pointe Woods  
Mattioli Cement Co., LLC





# Anderson, Eckstein & Westrick, Inc.

## Detailed Payment

0160-0493

**Description** 2025 Concrete Pavement Repair Program

**Payment Number** 1

**Pay Period** 06/01/2025 to 10/26/2025

**Prime Contractor** Mattioli Cement Co., LLC  
6085 McGuire Rd.  
Fenton, MI 48430

**Payment Status** Approved

**Awarded Project Amount** \$541,666.00

**Authorized Amount** \$541,666.00

**Remarks** % Complete 62.1%

Line Number	Item ID	Unit	Unit Price	Authorized Quantity	Current Paid Quantity	Previous Paid Quantity	Total Quantity Paid To Date	Total Quantity Placed To Date	Current Payment Amount	Total Amount Paid To Date
-------------	---------	------	------------	---------------------	-----------------------	------------------------	-----------------------------	-------------------------------	------------------------	---------------------------

### Section: 1 - Description

0001	1027051	LSUM	\$15,000.000	1.000	1.000	0.000	1.000	1.000	\$15,000.00	\$15,000.00
_ : Bonds, Insurance and Initial Set-Up Expense (3% Max)										
0002	2040020	Ft	\$20.000	150.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
Curb and Gutter, Rem										
0003	2040055	Syd	\$15.000	100.000	132.200	0.000	132.200	132.200	\$1,983.00	\$1,983.00
Sidewalk, Rem										



Line Number	Item ID	Unit	Unit Price	Authorized Quantity	Current Paid Quantity	Previous Paid Quantity	Total Quantity Paid To Date	Total Quantity Placed To Date	Current Payment Amount	Total Amount Paid To Date
0004	2047011	Syd	\$15.000	100.000	5.872	0.000	5.872	5.872	\$88.08	\$88.08
_: Driveway, Conc, Rem										
0005	2057021	Cyd	\$42.000	100.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Subgrade Undercutting, Modified										
0006	3060021	Cyd	\$23.000	15.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
Maintenance Gravel, LM										
0007	4030004	Ea	\$520.000	15.000	8.000	0.000	8.000	8.000	\$4,160.00	\$4,160.00
Dr Structure Cover, Adj, Case 1, Modified										
0008	4030280	Ft	\$265.000	24.000	3.000	0.000	3.000	3.000	\$795.00	\$795.00
Dr Structure, Adj, Add Depth										
0009	4030304	Ea	\$195.000	20.000	5.000	0.000	5.000	5.000	\$975.00	\$975.00
Dr Structure, Tap, 4 inch										
0010	4030310	Ea	\$600.000	2.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
Dr Structure, Tap, 10 inch										
0011	4037050	Ea	\$600.000	5.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Dr Structure Frame and Cover, Manhole										
0012	4037050	Ea	\$675.000	10.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Dr Structure Frame and Cover, Storm Catch Basin										
0013	4037050	Ea	\$1,000.000	1.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Dr Structure Trap, 10 inch										
0014	4037050	Ea	\$1,000.000	1.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Dr Structure Trap, 12 inch										

Detailed Payment:

0160-0493

10/30/2025

Page 2

112



Line Number	Item ID	Unit	Unit Price	Authorized Quantity	Current Paid Quantity	Previous Paid Quantity	Total Quantity Paid To Date	Total Quantity Placed To Date	Current Payment Amount	Total Amount Paid To Date
0015	4037050	Ea	\$610.000	5.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: External Structure Wrap, 12 inch										
0016	4037050	Ea	\$775.000	10.000	7.000	0.000	7.000	7.000	\$5,425.00	\$5,425.00
_: External Structure Wrap, 18 inch										
0017	4047001	Ft	\$19.000	250.000	105.000	0.000	105.000	105.000	\$1,995.00	\$1,995.00
_: Underdrain, Subgrade, 4 inch, Modified										
0018	6020207	Ft	\$31.000	300.000	187.500	0.000	187.500	187.500	\$5,812.50	\$5,812.50
Joint, Expansion, E2										
0019	6030030	Ea	\$7.000	4,103.000	1,300.000	0.000	1,300.000	1,300.000	\$9,100.00	\$9,100.00
Lane Tie, Epoxy Anchored										
0020	6030044	Syd	\$60.000	4,000.000	3,364.800	0.000	3,364.800	3,364.800	\$201,888.00	\$201,888.00
Pavt Repr, Nonreinf Conc, 8 inch										
0021	6030046	Syd	\$65.000	400.000	125.000	0.000	125.000	125.000	\$8,125.00	\$8,125.00
Pavt Repr, Nonreinf Conc, 9 inch										
0022	6037001	Ft	\$6.000	6,500.000	4,129.100	0.000	4,129.100	4,129.100	\$24,774.60	\$24,774.60
_: Full Depth Sawcutting through Existing Pavement, Sidewalk, Driveway or Curb										
0023	6037001	Ft	\$40.000	100.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Joint, Expansion, Erg, Modified										
0024	6037011	Syd	\$15.000	4,400.000	3,474.500	0.000	3,474.500	3,474.500	\$52,117.50	\$52,117.50
_: Pavt Repr, Rem, Modified										
0025	8010005	Syd	\$59.000	100.000	27.300	0.000	27.300	27.300	\$1,610.70	\$1,610.70
Driveway, Nonreinf Conc, 6 inch										



Line Number	Item ID	Unit	Unit Price	Authorized Quantity	Current Paid Quantity	Previous Paid Quantity	Total Quantity Paid To Date	Total Quantity Placed To Date	Current Payment Amount	Total Amount Paid To Date
0026	8020038	Ft	\$40.000	150.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
Curb and Gutter, Conc, Det F4										
0027	8030010	Ft	\$66.000	100.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
Detectable Warning Surface										
0028	8030044	Sft	\$7.500	500.000	448.000	0.000	448.000	448.000	\$3,360.00	\$3,360.00
Sidewalk, Conc, 4 inch										
0029	8030046	Sft	\$7.900	100.000	1,801.000	0.000	1,801.000	1,801.000	\$14,227.90	\$14,227.90
Sidewalk, Conc, 6 inch										
0030	8037010	Sft	\$9.000	300.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Sidewalk Ramp, Conc, 8 inch										
0031	8127051	LSUM	\$30,000.000	1.000	0.600	0.000	0.600	0.600	\$18,000.00	\$18,000.00
_: Traffic Control and Maintenance										
0032	8167011	Syd	\$4.000	200.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Surface Restoration, Seeding										
Section Totals:									\$369,437.28	\$369,437.28
Total Payments:									\$369,437.28	\$369,437.28



Summary

Current Approved Work:	\$369,437.28	Approved Work To Date:	\$369,437.28
Current Stockpile Advancement:	\$0.00	Stockpile Advancement To Date:	\$0.00
Current Stockpile Recovery:	\$0.00	Stockpile Recovery To Date:	\$0.00
Current Retainage:	\$27,083.30	Retainage To Date:	\$27,083.30
Current Retainage Released:	\$0.00	Retainage Released To Date:	\$0.00
Current Liquidated Damages:	\$0.00	Liquidated Damages To Date:	\$0.00
Current Adjustment:	\$0.00	Adjustments To Date:	\$0.00
Current Payment:	\$342,353.98	Payments To Date:	\$342,353.98
Previous Payment:	\$0.00	Previous Payments To Date:	\$0.00

I certify the items included on this report constitute my estimate of work completed and due the contractor as of the date of this document.

DocuSigned by:  
*Frank D. Varicalli*  
C4D317CC8031EAD4

10/30/2025

Frank D. Varicalli





**ANDERSON, ECKSTEIN & WESTRICK, INC.**

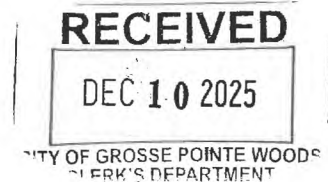
CIVIL ENGINEERS - SURVEYORS - ARCHITECTS

Shelby Township - Roseville - Livonia

586.726.1234 | www.aewinc.com

November 25, 2025

Steven Schmidt, Controller  
City of Grosse Pointe Woods  
20025 Mack Avenue  
Grosse Pointe Woods, Michigan 48236-2397



**Reference: Payment Invoice 02**  
2025 Concrete Pavement Repair Program  
City of Grosse Pointe Woods  
AEW Project No. 0160-0493

Dear Mr. Schmidt:

Enclosed please find Construction Payment Invoice 02 for the project referenced above. For work performed through November 23, 2025, we recommend issuing payment for the **Current Payment Amount (see Page 5)** in the amount of **\$70,858.78** to Mattioli Cement Co., LLC 6085 McGuire Rd. Fenton, MI 48430.

If you have questions or require additional information, please contact our office.

Sincerely,

DocuSigned by:  
*Frank D. Varicalli*  
CAD17CC8031F4D4

Frank D. Varicalli  
Infrastructure Rehab Group Lead

PD 49188  
# 202-451-974.200 \$4,251.52  
# 203-451-974.200 \$6,377.29  
# 585-571-977.000 \$26,926.34  
# 592-537-975.400 \$33,303.63  
OK - J.K.

cc: Frank Schulte, City Administrator  
Jim Kowalski, Director of Public Services  
Jeanne Duffy, Grosse Pointe Woods  
Susan Como, Assistant City Administrator  
Scott Lockwood, AEW, Inc.  
Paul Antolin, Grosse Pointe Woods  
Mattioli Cement Co., LLC





# Anderson, Eckstein & Westrick, Inc.

## Detailed Payment

0160-0493

<b>Description</b>	2025 Concrete Pavement Repair Program
<b>Payment Number</b>	2
<b>Pay Period</b>	10/27/2025 to 11/23/2025
<b>Prime Contractor</b>	Mattioli Cement Co., LLC 6085 McGuire Rd. Fenton, MI 48430
<b>Payment Status</b>	Approved
<b>Awarded Project Amount</b>	\$541,666.00
<b>Authorized Amount</b>	\$541,666.00
<b>Remarks</b>	% Complete 81.3%

Line Number	Item ID	Unit	Unit Price	Authorized Quantity	Current Paid Quantity	Previous Paid Quantity	Total Quantity Paid To Date	Total Quantity Placed To Date	Current Payment Amount	Total Amount Paid To Date
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### Section: 1 - Description

0001	1027051	LSUM	\$15,000.000	1.000	0.000	1.000	1.000	1.000	\$0.00	\$15,000.00
_: Bonds, Insurance and Initial Set-Up Expense (3% Max)										
0002	2040020	Ft	\$20.000	150.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
Curb and Gutter, Rem										
0003	2040055	Syd	\$15.000	100.000	22.000	132.200	154.200	154.200	\$330.00	\$2,313.00
Sidewalk, Rem										

Detailed Payment:

0160-0493

11/25/2025

Page 1 117



Line Number	Item ID	Unit	Unit Price	Authorized Quantity	Current Paid Quantity	Previous Paid Quantity	Total Quantity Paid To Date	Total Quantity Placed To Date	Current Payment Amount	Total Amount Paid To Date
0004	2047011	Syd	\$15.000	100.000	8.000	5.872	13.872	13.872	\$120.00	\$208.08
_: Driveway, Conc, Rem										
0005	2057021	Cyd	\$42.000	100.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Subgrade Undercutting, Modified										
0006	3060021	Cyd	\$23.000	15.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
Maintenance Gravel, LM										
0007	4030004	Ea	\$520.000	15.000	4.000	8.000	12.000	12.000	\$2,080.00	\$6,240.00
Dr Structure Cover, Adj, Case 1, Modified										
0008	4030280	Ft	\$265.000	24.000	0.000	3.000	3.000	3.000	\$0.00	\$795.00
Dr Structure, Adj, Add Depth										
0009	4030304	Ea	\$195.000	20.000	1.000	5.000	6.000	6.000	\$195.00	\$1,170.00
Dr Structure, Tap, 4 inch										
0010	4030310	Ea	\$600.000	2.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
Dr Structure, Tap, 10 inch										
0011	4037050	Ea	\$600.000	5.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Dr Structure Frame and Cover, Manhole										
0012	4037050	Ea	\$675.000	10.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Dr Structure Frame and Cover, Storm Catch Basin										
0013	4037050	Ea	\$1,000.000	1.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Dr Structure Trap, 10 inch										
0014	4037050	Ea	\$1,000.000	1.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Dr Structure Trap, 12 inch										



Line Number	Item ID	Unit	Unit Price	Authorized Quantity	Current Paid Quantity	Previous Paid Quantity	Total Quantity Paid To Date	Total Quantity Placed To Date	Current Payment Amount	Total Amount Paid To Date
0015	4037050	Ea	\$610.000	5.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: External Structure Wrap, 12 inch										
0016	4037050	Ea	\$775.000	10.000	4.000	7.000	11.000	11.000	\$3,100.00	\$8,525.00
_: External Structure Wrap, 18 inch										
0017	4047001	Ft	\$19.000	250.000	30.000	105.000	135.000	135.000	\$570.00	\$2,565.00
_: Underdrain, Subgrade, 4 inch, Modified										
0018	6020207	Ft	\$31.000	300.000	36.800	187.500	224.300	224.300	\$1,140.80	\$6,953.30
Joint, Expansion, E2										
0019	6030030	Ea	\$7.000	4,103.000	310.000	1,300.000	1,610.000	1,610.000	\$2,170.00	\$11,270.00
Lane Tie, Epoxy Anchored										
0020	6030044	Syd	\$60.000	4,000.000	461.800	3,364.800	3,826.600	3,826.600	\$27,708.00	\$229,596.00
Pavt Repr, Nonreinf Conc, 8 inch										
0021	6030046	Syd	\$65.000	400.000	80.000	125.000	205.000	205.000	\$5,200.00	\$13,325.00
Pavt Repr, Nonreinf Conc, 9 inch										
0022	6037001	Ft	\$6.000	6,500.000	801.500	4,129.100	4,930.600	4,930.600	\$4,809.00	\$29,583.60
_: Full Depth Sawcutting through Existing Pavement, Sidewalk, Driveway or Curb										
0023	6037001	Ft	\$40.000	100.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Joint, Expansion, Erg, Modified										
0024	6037011	Syd	\$15.000	4,400.000	541.800	3,474.500	4,016.300	4,016.300	\$8,127.00	\$60,244.50
_: Pavt Repr, Rem, Modified										
0025	8010005	Syd	\$59.000	100.000	8.000	27.300	35.300	35.300	\$472.00	\$2,082.70
Driveway, Nonreinf Conc, 6 inch										



Line Number	Item ID	Unit	Unit Price	Authorized Quantity	Current Paid Quantity	Previous Paid Quantity	Total Quantity Paid To Date	Total Quantity Placed To Date	Current Payment Amount	Total Amount Paid To Date
0026	8020038	Ft	\$40.000	150.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
Curb and Gutter, Conc, Det F4										
0027	8030010	Ft	\$66.000	100.000	15.000	0.000	15.000	15.000	\$990.00	\$990.00
Detectable Warning Surface										
0028	8030044	Sft	\$7.500	500.000	813.200	448.000	1,261.200	1,261.200	\$6,099.00	\$9,459.00
Sidewalk, Conc, 4 inch										
0029	8030046	Sft	\$7.900	100.000	37.200	1,801.000	1,838.200	1,838.200	\$293.88	\$14,521.78
Sidewalk, Conc, 6 inch										
0030	8037010	Sft	\$9.000	300.000	108.500	0.000	108.500	108.500	\$976.50	\$976.50
_: Sidewalk Ramp, Conc, 8 inch										
0031	8127051	LSUM	\$30,000.000	1.000	0.200	0.600	0.800	0.800	\$6,000.00	\$24,000.00
_: Traffic Control and Maintenance										
0032	8167011	Syd	\$4.000	200.000	119.400	0.000	119.400	119.400	\$477.60	\$477.60
_: Surface Restoration, Seeding										
Section Totals:									\$70,858.78	\$440,296.06
Total Payments:									\$70,858.78	\$440,296.06



Summary

Current Approved Work:	\$70,858.78	Approved Work To Date:	\$440,296.06
Current Stockpile Advancement:	\$0.00	Stockpile Advancement To Date:	\$0.00
Current Stockpile Recovery:	\$0.00	Stockpile Recovery To Date:	\$0.00
Current Retainage:	\$0.00	Retainage To Date:	\$27,083.30
Current Retainage Released:	\$0.00	Retainage Released To Date:	\$0.00
Current Liquidated Damages:	\$0.00	Liquidated Damages To Date:	\$0.00
Current Adjustment:	\$0.00	Adjustments To Date:	\$0.00
Current Payment:	\$70,858.78	Payments To Date:	\$413,212.76
Previous Payment:	\$342,353.98	Previous Payments To Date:	\$342,353.98

I certify the items included on this report constitute my estimate of work completed and due the contractor as of the date of this document.

DocuSigned by:

*Frank D. Varicalli*

C4D17CCB031F4D4...

11/25/2025

Frank D. Varicalli





**ANDERSON, ECKSTEIN & WESTRICK, INC.**

CIVIL ENGINEERS - SURVEYORS - ARCHITECTS

Shelby Township - Roseville - Livonia  
586.726.1234 | [www.aewinc.com](http://www.aewinc.com)

December 8, 2025

Steven Schmidt, Controller  
City of Grosse Pointe Woods  
20025 Mack Avenue  
Grosse Pointe Woods, Michigan 48236-2397

**Reference: Payment Invoice 01**

2025 Sewer Rehabilitation by Full Length CIPP Lining  
City of Grosse Pointe Woods  
AEW Project No. 0160-0495

Dear Mr. Schmidt:

Enclosed please find Construction Payment Invoice No. 01 for the above-referenced project. For work performed through November 2, 2025, we recommend issuing payment for the **Current Payment Amount (see Page 4)** in the amount of **\$51,874.65** to Insituform Technologies USA, LLC., 580 Goddard Avenue, Chesterfield, MO, 63005.

If you have questions or require additional information, please contact our office.

Sincerely,

DocuSigned by:  
*Frank D. Varicalli*  
C4D17CC8231F4D4...

Frank D. Varicalli  
Infrastructure Rehab Group Lead

cc: Frank Schulte, City Administrator  
Jim Kowalski, Director of Public Services  
Jeanne Duffy, Grosse Pointe Woods  
Susan Como, Assistant City Administrator  
Ross Wilberding, AEW, Inc.  
Scott Lockwood, AEW, Inc.  
Paul Antolin, Grosse Pointe Woods  
Matt Brinkoetter, Insituform Technologies USA, LLC.

P049190  
#592-537-976-002  
OK - JX  
SS  
H





# Anderson, Eckstein & Westrick, Inc.

## Detailed Payment

0160-0495

**Description** 2025 Sewer Rehabilitation by Full Length CIPP Lining

**Payment Number** 1

**Pay Period** 10/16/2025 to 11/23/2025

**Prime Contractor** Insituform Technologies USA, LLC  
PO Box 74008440  
Chicago, IL 60674

**Payment Status** Approved

**Awarded Project Amount** \$231,799.70

**Authorized Amount** \$231,799.70

**Remarks** % Complete 24.9%

Line Number	Item ID	Unit	Unit Price	Authorized Quantity	Current Paid Quantity	Previous Paid Quantity	Total Quantity Paid To Date	Total Quantity Placed To Date	Current Payment Amount	Total Amount Paid To Date
<b>Section: 1 - Description</b>										
0001	1027051	LSUM	\$29,000.000	1.000	1.000	0.000	1.000	1.000	\$29,000.00	\$29,000.00
_: Bonds, Insurance and Initial Set-Up Expense										
0002	1027051	LSUM	\$3,000.000	1.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Audio Visual Record of Construction Influence Area										
0003	4027001	Ft	\$5.000	390.000	383.500	0.000	383.500	383.500	\$1,917.50	\$1,917.50
_: Sanitary Sewer, Pre-Construction, Clean and CCTV, 12 inch										

Detailed Payment:

0160-0495



Line Number	Item ID	Unit	Unit Price	Authorized Quantity	Current Paid Quantity	Previous Paid Quantity	Total Quantity Paid To Date	Total Quantity Placed To Date	Current Payment Amount	Total Amount Paid To Date
0004	4027001	Ft	\$14.500	1,290.000	1,308.200	0.000	1,308.200	1,308.200	\$18,968.90	\$18,968.90
_: Sanitary Sewer, Pre-Construction, Clean and CCTV, 15 inch										
0005	4027001	Ft	\$15.000	180.000	185.300	0.000	185.300	185.300	\$2,779.50	\$2,779.50
_: Sanitary Sewer, Pre-Construction, Clean and CCTV, 21 inch										
0006	4027001	Ft	\$46.700	390.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Sanitary Sewer, CIPP, 12 inch, Full Length										
0007	4027001	Ft	\$62.100	1,290.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Sanitary Sewer, CIPP, 15 inch, Full Length										
0008	4027001	Ft	\$232.060	180.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Sanitary Sewer, CIPP, 21 inch, Full Length										
0009	4027001	Ft	\$1.100	390.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Sanitary Sewer, Post-Construction, CCTV, 12 inch										
0010	4027001	Ft	\$1.100	1,290.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Sanitary Sewer, Post-Construction, CCTV, 15 inch										
0011	4027001	Ft	\$1.100	180.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Sanitary Sewer, Post-Construction, CCTV, 21 inch										
0012	4027050	Ea	\$52.900	100.000	87.000	0.000	87.000	87.000	\$4,602.30	\$4,602.30
_: Mineral Deposit, Rem										
0013	4027050	Ea	\$52.900	9.000	7.000	0.000	7.000	7.000	\$370.30	\$370.30
_: Cutting Service Lead Protrusions										
0014	4027050	Ea	\$52.900	5.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Sanitary Lateral, Prepare										



Line Number	Item ID	Unit	Unit Price	Authorized Quantity	Current Paid Quantity	Previous Paid Quantity	Total Quantity Paid To Date	Total Quantity Placed To Date	Current Payment Amount	Total Amount Paid To Date
0015	4027050	Ea	\$90.100	53.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Sanitary Lateral, Reinstate										
0016	1027051	LSUM	\$20,000.000	1.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Traffic Control and Maintenance										
0017	4027051	LSUM	\$3,500.000	1.000	0.000	0.000	0.000	0.000	\$0.00	\$0.00
_: Deliverables										
Section Totals:									\$57,638.50	\$57,638.50
Total Payments:									\$57,638.50	\$57,638.50

Time Charges

Time Limit	Original Deadline	Authorized Deadline	Charges This Period	Damages This Period	Days Completed To Date	Days Remaining To Date	Damages To Date
30-60 Calendar Days	60.0 Days	60.0 Days	0.0 Days	\$0.00	0.0 Days	60.0 Days	\$0.00
Total Damages:							\$0.00



Summary

Current Approved Work:	\$57,638.50	Approved Work To Date:	\$57,638.50
Current Stockpile Advancement:	\$0.00	Stockpile Advancement To Date:	\$0.00
Current Stockpile Recovery:	\$0.00	Stockpile Recovery To Date:	\$0.00
Current Retainage:	\$5,763.85	Retainage To Date:	\$5,763.85
Current Retainage Released:	\$0.00	Retainage Released To Date:	\$0.00
Current Liquidated Damages:	\$0.00	Liquidated Damages To Date:	\$0.00
Current Adjustment:	\$0.00	Adjustments To Date:	\$0.00
Current Payment:	\$51,874.65	Payments To Date:	\$51,874.65
Previous Payment:	\$0.00	Previous Payments To Date:	\$0.00

I certify the items included on this report constitute my estimate of work completed and due the contractor as of the date of this document.

DocuSigned by:

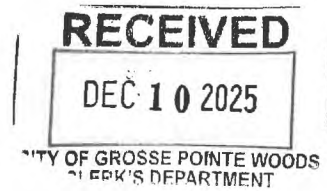


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12/08/2025

Frank D. Varicalli





**Hallahan & Associates, P.C.**  
Attorneys at Law  
1750 S. Telegraph Road, Suite 202  
Bloomfield Hills, Michigan 48302-0179  
(248) 731-3089

City of Grosse Pointe Woods  
c/o WCA Assessing  
38110 Executive Drive  
Westland, MI 48185\

**SUMMARY OF PROFESSIONAL SERVICES**

Dates Involved: **November 1-30, 2025**

Invoice Number: 23418

**Timekeeper Summary:**

Name	Hours	Rate	Fees
Laura M. Hallahan	0.30	\$211.28	\$ 63.38
Seth A. O'Loughlin	0.20	\$211.28	\$ 42.26
Kelsea M. Melcher	0.00	\$211.28	\$ 0.00
Total	0.50		\$ 105.64

Expenses: \$ 0.00

Amount of This Invoice: \$ 105.64

Previous Balance (\$ 0.00)

**Amount Due:** \$ 105.64

101-266-801-300

55  
80



# Hallahan & Associates, P.C.

Attorneys at Law  
1750 S. Telegraph Road, Suite 202  
Bloomfield Hills, Michigan 48302-0179  
(248) 731-3089

Email

December 1, 2025

City of Grosse Pointe Woods  
c/o WCA Assessing  
Aaron P. Powers, MMAO, Managing Director  
38110 Executive  
Westland, MI 48185

Please include Invoice No.  
with your payment

Invoice No. 23418

**\$105.64**

## Professional services rendered through November 30, 2025

			Hours	Amount
<u>1-General</u>				
11/11/25	SAO	Review email from D. Walling requesting litigation update; review files, draft response.	0.20	42.26
Subtotal:			0.20	42.26
<u>Pointe Plaza Development LLC - 25-001182</u>				
11/17/25	LMH	Telephone conference with Stewart Mandell regarding discovery; review of email from opposing counsel and prepare response thereto.	0.30	63.38
Subtotal:			0.30	63.38
Subtotal of charges				\$105.64
Professional services rendered			0.50	\$105.64

## Timekeeper Summary

Name	Hours	Rate
Laura M. Hallahan	0.30	211.28
Seth A. O'Loughlin	0.20	211.28

Previous balance	\$359.18
Accounts receivable transactions	
11/24/2025 Payment received from City of Grosse Pointe Woods. Check No. 074225.	(\$359.18)
Total payments and adjustments	(\$359.18)
<b>AMOUNT DUE</b>	<b>\$105.64</b>





**MCKENNA**

**RECEIVED**

**DEC 10 2025**

CITY OF GROSSE POINTE WOODS  
CLERK'S DEPARTMENT

HEADQUARTERS  
235 East Main Street  
Suite 105  
Northville, Michigan 48167

O 248.596.0920  
F 248.596.0930  
MCKA.COM

Frank Schulte  
City Administrator  
City of Grosse Pointe Woods  
20025 Mack Plaza  
Grosse Pointe Woods, MI 48236

November 25, 2025

Invoice No: 21849 - 115

Project 21849 Grosse Pointe Woods Building Services

**Professional Services from October 1, 2025 to October 31, 2025**

**Building Department Services - 85% of Revenue**

**Contract Amount**

Number of Permit Revenue	71,264.20
Fee Each	.85
Total Fee	60,574.57

<b>Total Fee</b>	<b>\$60,574.57</b>
------------------	--------------------

Vehicle Credit	(500.00)	
<b>Total</b>		<b>(\$500.00)</b>

**General Zoning/Administration**

General Zoning/Administration professional services.

	<b>Hours</b>	<b>Amount</b>
Vice President		
	7.50	
Associate Planner		
	14.25	
<b>Total</b>		<b>0.00</b>
<b>Invoice Total</b>		<b><u>\$60,074.57</u></b>

**THANK YOU.** Please remit to above address and indicate project number on voucher.

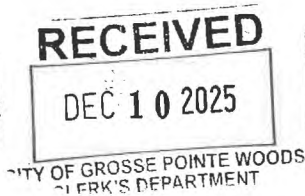
855

101-371-818.000



STATEMENT	Customer Name CITY OF GROSSE POINTE WOODS	PAGE 1
Remit to: State of Michigan Attn: Finance Cashier P.O. Box 30648 Lansing MI 48909	Customer Account Number MDOT00183	Statement Closing Date 11-04-25
	AR Dept/BPRO 591:ACT51	Due Date 12-04-25
		Amount Enclosed

Bill to:  
CITY OF GROSSE POINTE WOODS  
GROSSE POINTE WOODS CITY TREASURER  
20025 MACK AVENUE  
GROSSE POINTE WOODS MI 48236



Payment Method: Check ☐ Money Order ☐  
Please write Customer Account No. on front of Check or Money Order.  
DO NOT MAIL CASH

☐ Please check if address has changed. Write correct address on back of stub and attach with payment.

Please detach the above stub and return with your remittance payable to Dept. of Transportation

### Transportation



**ORIGINAL**

Customer Account Number MDOT00183	Statement Closing Date 11-04-25
Customer Name CITY OF GROSSE POINTE WOODS	IF YOU HAVE ANY QUESTIONS, PLEASE CALL

### Current Period Charges

Description	Date	Transaction ID	Charges
Payment - Thank you	10-15-25	CACR591260000000678	\$7,674.80
Payment - Thank you	10-15-25	CACR591260000000678	\$34,416.08
-	10-31-25	CARE1591REIM26000203	\$5,976.23
-	10-31-25	CARE1591REIM26000203	\$28,192.00
-	10-31-25	CARE1591REIM26000203	\$4,530.79

### Important Customer Information

PO 48933  
# 202-451-977-117  
ok - J.K.  
SS  
8



MDOT

Michigan Department of Transportation

Statement Date: 11/06/2025

MDOT00183 - CITY OF GROSSE POINTE WOODS

Program: 218128CON

Federal Project: 24A0672

Description: Vernier Rd

Phase: 01 Construction Contract

Funding Profile	Fed Pro Rata	Jrnl Description
-----------------	--------------	------------------

A00382 80 2024-5300 CITY OF GROSSE POINTE WOODS

	Current Budget	Cash Expenditures	Collected	Balance Due
Federal	675,993.30	538,831.17		
Local	168,998.33	134,707.79	51,232.66	5,976.23

Funding Profile	Fed Pro Rata	Jrnl Description
-----------------	--------------	------------------

A00383 2024-5300 CITY OF GROSSE POINTE WOODS

	Current Budget	Cash Expenditures	Collected	Balance Due
Local	50,396.00	28,192.00	0.00	28,192.00

Phase: 03 Advertising

Funding Profile	Fed Pro Rata	Jrnl Description
-----------------	--------------	------------------

A00382 80 2024-5300 CITY OF GROSSE POINTE WOODS

	Current Budget	Cash Expenditures	Collected	Balance Due
Federal	160.00	0.00		
Local	40.00	0.00	0.00	0.00

Program: 219533CON

Federal Project: 24A0675

Description: Sunningdaie Dr

Phase: 01 Construction Contract

Funding Profile	Fed Pro Rata	Jrnl Description
-----------------	--------------	------------------

A00177 81.85 2024-5300 CITY OF GROSSE POINTE WOODS

	Current Budget	Cash Expenditures	Collected	Balance Due
Federal	599,836.30	577,338.45		
Local	272,034.07	128,023.12	77,185.17	4,530.79

Phase: 03 Advertising

Funding Profile	Fed Pro Rata	Jrnl Description
-----------------	--------------	------------------

A00177 81.85

	Current Budget	Cash Expenditures	Collected	Balance Due
Federal	163.70	0.00		
Local	36.30	0.00	0.00	0.00



MDOT

Michigan Department of Transportation

Statement Date: 11/06/2025

Vendor Code	Vendor Legal Name	Vendor Alias/DBA Name
MDOT00183	CITY OF GROSSE POINTE WOODS	

**Instruction:** Instruction: Remit this listing of Balance Due by Program with the payment. Payments will be applied to all programs with a balance due, unless otherwise noted.

**Statement Date:** 11/06/2025

- ☐ Pay in Full (default if neither box is checked)  
☐ Manual allocation specified by Program in Paid Amount below

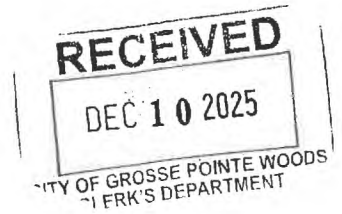
**Remittance information:**

State of Michigan  
Attention: Finance Cashier  
P.O. Box 30648  
Lansing, MI 48909

Program	Balance Due
218128CON -	34,168.23
219533CON -	4,530.79



**YORK, DOLAN & TOMLINSON, P.C.**  
**Attorneys and Counselors at law**  
**22600 Hall Road, Suite 205**  
**Clinton Township, Michigan 48036**  
**586-263-5060**  
**Fax 586-263-4763**



John A. Dolan (jdolan@yorkdolanlaw.com)  
Timothy D. Tomlinson (ttomlinson@yorkdolanlaw.com)  
Linda M. McGrail (lmcgrail@yorkdolanlaw.com)

Fred A. York (1930-1989)

December 1, 2025

Via Email (fschulte@gpwmi.us)  
Mr. Frank Schulte, City Administrator  
City of Grosse Pointe Woods  
20025 Mack Plaza  
Grosse Pointe Woods, MI 48236

**RE: YORK, DOLAN & TOMLINSON, P.C. – LEGAL BILLING**

Dear Mr. Schulte:

Enclosed is our statement for legal services rendered for the month of November, 2025. If you have any questions regarding same, please do not hesitate to contact us. We remain,

Very truly yours,

YORK, DOLAN & TOMLINSON, P.C.

*Timothy D. Tomlinson*  
Timothy D. Tomlinson

Enclosure

cc: Sue Como, Via Email (scomo@gpwmi.us) w/Enclosure  
Steven Schmidt, Via Email (sschmidt@gpwmi.us) w/Enclosure



# York, Dolan & Tomlinson, P.C.

22600 Hall Road, Ste. 205  
Clinton Township, MI 48036

# INVOICE

Invoice # 349  
Date: 12/01/2025  
Due On: 12/31/2025

City of Grosse Pointe Woods  
20025 Mack Plaza  
Grosse Pointe Woods, MI 48236

## 00003-City of Grosse Pointe Woods

### Planning and Zoning

Type	Date	Notes	Quantity	Rate	Total
Service	11/07/2025	Rec and Rev email from Schulte re: sign ordinance	0.20	\$155.00	\$31.00
Service	11/25/2025	Rec and Rev email from Granger; TC re: sign ordinance	0.30	\$155.00	\$46.50
				<b>Subtotal</b>	<b>\$77.50</b>

## 00008-City of Grosse Pointe Woods

### Prosecutions

Type	Date	Notes	Quantity	Rate	Total
Service	11/05/2025	Prepare and attend municipal prosecutions	3.40	\$155.00	\$527.00
Service	11/07/2025	Rec and Rev email from court	0.20	\$155.00	\$31.00
Service	11/07/2025	P v Brown - Rec and Rev email w/ application to set aside conviction w/ attachments	0.30	\$155.00	\$46.50
Service	11/07/2025	P v Banks - Rec and Rev email w/ application to set aside conviction w/ attachments	0.30	\$155.00	\$46.50
Service	11/10/2025	P v Delmege - Rec and Rev email w/ Appearance and Demand for Discovery; Email DPS	0.50	\$155.00	\$77.50
Service	11/10/2025	P Delmege - Rec and Rev email w/ stip and order; Reply email	0.30	\$155.00	\$46.50
Service	11/12/2025	Prepare and attend municipal prosecutions	2.00	\$155.00	\$310.00
Service	11/14/2025	P v Walny - Rec and Rev Application to Set Aside	0.40	\$155.00	\$62.00



Conviction w/ attachments					
Service	11/17/2025	P v Peete - Rec and Rev Application to Set Aside Conviction w/ attachments	0.30	\$155.00	\$46.50
Service	11/19/2025	Prepare and attend municipal prosecutions	1.90	\$155.00	\$294.50
Service	11/19/2025	P v Gaughan - Rec and Rev incident report w/ request for S/C; Reply	0.50	\$155.00	\$77.50
Service	11/19/2025	Rec and Rev email from DB re: Marshall requests	0.20	\$155.00	\$31.00
Service	11/20/2025	Rec and Rev (2) emails re: Marshall	0.30	\$155.00	\$46.50
Service	11/26/2025	Rec and Rev email from court	0.20	\$155.00	\$31.00
Subtotal					\$1,674.00

## 00049-City of Grosse Pointe Woods

## General

Type	Date	Notes	Quantity	Rate	Total
Service	11/17/2025	Prepare and attend City Council meeting	1.20	\$155.00	\$186.00
Service	11/24/2025	Rec and Rev email w/ MACC agreement w/ attachments	1.00	\$155.00	\$155.00
Subtotal					\$341.00
Total					\$2,092.50

## Detailed Statement of Account

## Current Invoice

Invoice Number	Due On	Amount Due	Payments Received	Balance Due
349	12/31/2025	\$2,092.50	\$0.00	\$2,092.50
			Outstanding Balance	\$2,092.50
			Total Amount Outstanding	\$2,092.50

101-266-801-200 77.50  
 101-266-801-100 1,674.00  
 101-266-801-000 341.00

SS  
FS



Invoice # 349 - 12/01/2025

Please make all amounts payable to: York, Dolan & Tomlinson, P.C.

Please pay within 30 days.





**MCKENNA**

December 3, 2025

Planning Commission  
City of Grosse Pointe Woods  
20025 Mack Plaza  
Grosse Pointe Woods, MI 48236

**Subject: 1925 Vernier Road: Rezoning (Map Amendment)**  
Parcel ID: 007-99-0003-000  
Current Zoning: RO-1, Restricted Office District  
Proposed Zoning: C, Commercial Business District

Dear Commissioners,

Chris Mannino, on behalf of Jupiter Properties LLC, proposes to rezone 1925 Vernier Road from the RO-1, Restricted Office District to the C, Commercial Business District.

The subject site includes the addresses 1927 and 1929 Vernier Road and is located at the corner of Vernier Road and Mack Avenue. The three-unit building is approximately 4,380 square feet in size. Historically, the property has had two non-conforming businesses in operation. The units at 1925 and 1927 Vernier Road operated as a non-conforming laundromat/dry-cleaning facility but have been vacant for over a year (and therefore, lost their legal non-conforming use status). The unit at 1929 Vernier operates as a non-conforming hair salon. The applicant is proposing to re-open the laundromat/dry-cleaning facility and to maintain the existing hair salon operations, no changes to the façade or to the interior of the building are proposed.



**HEADQUARTERS**  
235 East Main Street  
Suite 105  
Northville, Michigan 48167

○ 248.596.0920  
F 248.596.0930  
**MCKA.COM**

**Communities for real life.**





# Rezoning Review

## #1: MASTER PLAN AND FUTURE LAND USE CLASSIFICATIONS

Will the proposed amendment further the comprehensive planning goals and policies of the City and is the proposed amendment consistent with the Future Land Use Map of the Master Plan?

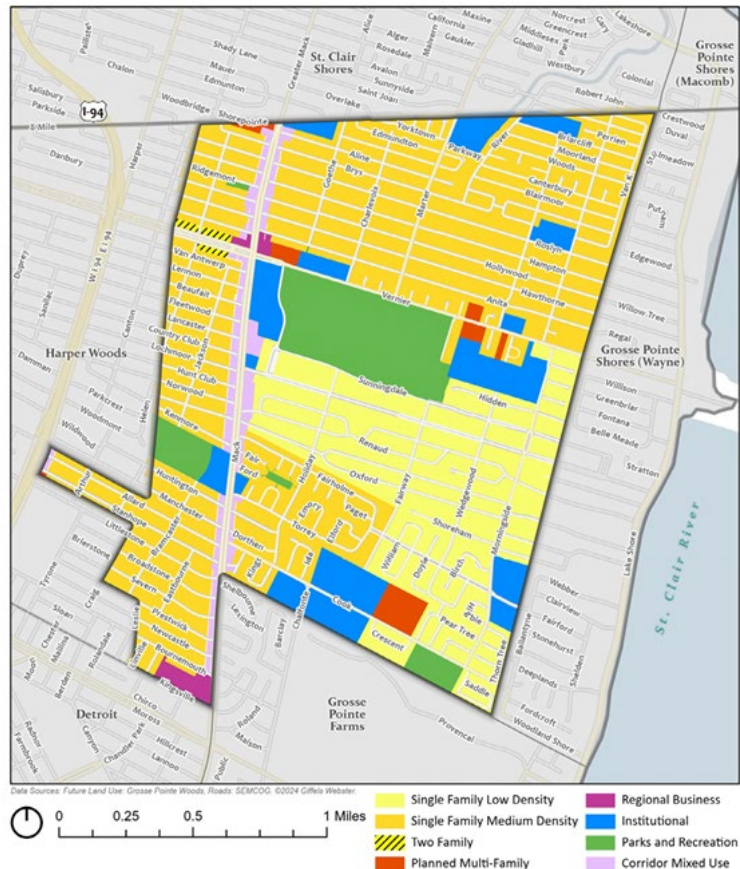
**Findings:** Alignment and harmony with the recently adopted Master Plan is achieved with this rezoning.

First, this rezoning is consistent with the following goal from the 2024 Master Plan: “**Goal #2 – Economic Development:** Elevate Mack Avenue as a thriving, vibrant commercial corridor that meets the daily needs of residents and is a destination for visitors”.

The applicant proposes the continued use of small-scale personal service establishments just off of Mack Avenue, which may attract residents and other foot traffic to the Mack corridor.

Second, this rezoning is consistent with the 2024 Master Plan’s Future Land Use Map (see right, page 65 of the Master Plan), which designates this area as *Corridor Mixed Use*.

This is described in the text of the Master Plan as, “*This land use designation includes retail, restaurant, personal service, and office establishments which are designed for the day-to-day needs of nearby residents and are found along the Mack Avenue corridor and along its easternmost boundary of Harper Avenue that extends one-and-a-half blocks between Stanhope Street and just north of Allard Avenue. These facilities are intended to be located in close proximity to residential neighborhoods but with adequate buffering. These land uses equate to the City’s C Commercial zoning district, P Parking district and some areas zoned RO-1 Restricted Office*”.



giffels  
webster

**FUTURE LAND USE**  
GROSSE POINTE WOODS





## #2: INTENT AND USES OF THE ZONING ORDINANCE

### Is the request in accordance with the basic intent and purpose of the Zoning Ordinance?

*The basic intent and purpose of the Zoning Ordinance is to provide regulations on the uses of land and structures to promote and protect the public health, safety, and general welfare of the Grosse Pointe Woods community.*

The chart below details the existing land use, current zoning, and the 2024 Master Plan Future Land Use designations:

Location	Existing Land Use	Zoning Districts	Future Land Use Designation (2024 Master Plan)
Subject Site	Vacant Laundromat/Dry Cleaners and Existing Hair Salon	RO-1, Restricted Office	Corridor Mixed Use
North (Across Vernier Road)	Funeral Home	C, Commercial Business	Corridor Mixed Use
South	Single Family Residential	R-1E, One-Family Residential	Single Family Medium Density
East	Dental/Oral Surgery Medical Office	C, Commercial Business	Corridor Mixed Use
West	Vacant	RO-1, Restricted Office	Corridor Mixed Use

**Findings: Intent Statements.** The Zoning Ordinance is intended to ensure harmonious, thoughtfully planned development – and this requires an understanding of the *purpose statements* and *permitted uses* in the two applicable districts. To summarize, the C, Commercial District is intended to promote economic development in condense ways that serve neighboring communities with services as well as residential employment opportunities, and to reduce strip business development as well as any hazards of nuisances from any business operations.

Purpose Statement: Section 50-3.1.L: RO-1, Restricted Office	Purpose Statement: Section 50-3.1.J: C, Commercial Business
<i>“The RO-1 restricted office district is intended to permit those office and restricted business uses which will provide opportunities for local employment close to residential areas, thus reducing travel to and from work; which will provide clean, modern office buildings in landscaped settings; which will provide, adjacent to residential areas, appropriate districts for uses which do not generate large volumes of traffic, traffic congestion and parking problems; and which will promote the most desirable use of land in accordance with the city’s land use plan.”</i>	<i>“The C commercial business district is intended to be that permitting retail business and service uses which are needed to serve the nearby residential areas. In order to promote such business development insofar as it is possible and appropriate in each area, uses are prohibited which would create hazards, offensive and loud noises, vibration, smoke, glare, heavy truck traffic or late hours of operation. The intent of this district is also to encourage the concentration of local business areas to the mutual advantage of both the consumers and merchants and thereby promote the best use of land at certain strategic locations and avoid the continuance of encouraging marginal strip business development along major streets.”</i>





**Findings: Allowable Uses.** The uses permitted in the C, Commercial Business District include a mix of retail, office, restaurant, and residential uses, which are generally compatible with the commercial nature of the corners of Mack Avenue and Vernier Road. While the property abuts a residential property in the rear, there is existing screening (fencing) along the entire parking lot and connected alleyway.

Commercial uses have been operating at this site for many years. A rezoning reduces the non-conformity of the operating hair salon and promotes the continuity of laundromat/dry-cleaning services which have served nearby residential areas for 19 years, per the applicant.

### #3: SPECIFIC ZONING ORDINANCE CRITERION

**Could all requirements in the proposed zoning classification be complied with on the subject parcel?**

**Findings:** The table below demonstrates that the existing building and lot complies with the basic dimensional standards of the C, Commercial Business District. The site meets all of the dimensional requirements of the C, District and the proposed rezoning does not create a new non-conforming situation.

Zoning Ordinance Standards	C, District Requirement Details	Required	Existing	Notes
<b>Max. Lot Area</b>	None	None	0.17 acres	Complies
<b>Max Lot Width</b>	None	None	Vernier Road: Approximately 64.28ft	Complies
<b>Max Lot Coverage</b>	None	None	Approximately 33,007 sq. ft.	Complies
<b>Min. Front Setback (West)</b>	No front yard is permitted where the property use is for the purposes specified in section 50-4.9 retail businesses and business offices.	0 ft.	0 ft.	Complies
<b>Min. Side Setback (North / South)</b>	No side yard is required on the street side of corner lots.	0 ft.	0 ft.	Complies
<b>Min. Rear Setback (East)</b>	Rear yards are not required along interior rear lot lines for buildings or parts of buildings not used as dwellings, if all walls abutting or facing such lot lines are of fire-proof construction and wholly without windows or other openings.	8 ft.	Approximately 34 ft.	Complies
<b>Max. Building Height</b>	2 stories, 28 ft.	2 stories, 28 ft.	1 story	Complies





# Conclusions

## PROCESS

Following consideration of public comments received during the Public Hearing, the Planning Commission has the following available motions when considering a map amendment (rezoning):

- *Recommendation to the City Council for approval of the rezoning; or*
- *Recommendation to the City Council for denial of the rezoning; or*
- *Table the application.*

With approval or denial, the Commission must specify the findings of fact which the decision is based upon.

## RECOMMENDATION

*It is recommended that the rezoning (map amendment) to the C, Commercial Business District at 1925 Vernier Road be recommended for approval to City Council, based on the following findings of fact:*

- This rezoning is consistent with 2024 Master Plan, including the goal of Economic Development: Elevate Mack Avenue as a thriving, vibrant commercial corridor that meets the daily needs of residents and is a destination for visitors.*
- This rezoning brings the site closer to the intentions of the 2024 Master Plan's Future Land Use Plan, which designates the site as "Corridor Mixed Use".*
- The uses permitted in the C, Commercial Business District, including a mix of retail, office, restaurant, and residential uses, are generally compatible with the commercial nature of this corner of Vernier Road and Mack Avenue. The proposed uses have been operating on the subject site for almost two decades. While the property does abut residential properties, there is currently an alley and fencing along the rear property line which will continue to serve as a buffer.*
- The proposed site meets all Zoning Ordinance dimensional requirements of the C, Commercial Business District. The proposed rezoning does not create a non-conforming situation.*
- The rezoning is not anticipated to significantly alter traffic generation in the area. There is no change in use proposed at this time, and the uses are anticipated to generate comparable amounts of traffic to what has existed at the site for the past two decades.*

Additional site improvements will be required with the Applicant's Certificate of Occupancy. If you have further questions, please do not hesitate to contact us.

Respectfully submitted,

**McKENNA**

Ashley Jankowski, AICP  
Associate Planner



# CHARLES T. BERSCHBACK

Attorney and Counselor at Law  
24053 JEFFERSON AVENUE  
ST. CLAIR SHORES, MICHIGAN 48080

(586) 777-0400  
FAX (586) 777-0430  
[chipberschback@gmail.com](mailto:chipberschback@gmail.com)  
\*NEW EMAIL ADDRESS

October 21, 2025

Grosse Pointe Woods  
Building Department  
20025 Mack Plaza  
Grosse Pointe Woods, MI 48236

RE. Rezoning Application  
1925-1929 Vernier

Dear Building Department:

I represent Chris Mannino and Jupiter Properties LLC regarding this Rezoning Application. The property in question has three separate addresses, 1925, 1927 and 1929. For 19 years, 1925-1927 was used as a dry-cleaning facility (H2O). 1929 continues to be used as a hair salon.

My client has a perspective tenant that would utilize 1925-1927 again as a dry-cleaner operation. The prior dry-cleaner use has not been in existence for over a year. Accordingly, the Building Department has advised me that a use variance is not appropriate. We are therefore submitting this Rezoning Application for all three addresses.

Rezoning to the commercial designation would be appropriate given the prior use of the building as a dry-cleaner facility. Rezoning would align with the future Land Use Plan, since the property is now designated "Corridor Mixed Use", which includes retail, restaurant, personal service and office establishments. There are no proposed changes to the existing property boundaries or building dimensions. The property has previously been used as a Dry Cleaner for 19 years, and the use was compatible with surrounding uses. The applicable fees regarding the Rezoning Application are being submitted with this application. Thank you.

Very truly yours,



CHIP BERSCHBACK  
Attorney for Jupiter Properties, LLC  
and Chris Mannino

CTB:nmg



**CITY OF GROSSE POINTE WOODS**  
**20025 Mack Plaza, Grosse Pointe Woods, MI 48236**  
**Phone (313) 343-2440**

**REZONING APPLICATION**

1. Applicant: Chris Mannino  
Mailing Address: 318 Touraine Ct Grosse Pointe Farms 48236  
                                    Street                                    City                                    Zip  
Daytime Phone: (313) 460-7552 Fax: \_\_\_\_\_
2. Property Owner: Jupiter Properties LLC  
Mailing Address: 318 Touraine Ct., Grosse Pointe Farms, MI 48236  
Daytime Phone: (313) 460-7552 Fax: \_\_\_\_\_
3. Project Manager: (required) Chris Mannino  
Mailing Address: 318 Touraine Ct Grosse Pointe Farms 48236  
                                    Street                                    City                                    Zip  
Daytime Phone: (313) 460-7552 Fax: \_\_\_\_\_  
Other Phone: \_\_\_\_\_
4. Address of Property: 1925, 1927, 1929 Vernier Avenue, Grosse Pointe Woods, MI 48236
5. Legal Description of Property: See attached legal description. Exhibit A.  
\_\_\_\_\_  
\_\_\_\_\_  
(or attach a legal boundary description)  
6. Permanent Parcel Number: 40-007-99-0003-000  
7. Request: To Rezone From: RO-1 To: C  
For the Following Purpose: Pending lease as a dry-cleaner facility (1925-1927),  
and continued use of existing hair salon (1929).  
\_\_\_\_\_



Attach a detailed written statement fully explaining your request. SEE COVER LETTER.

8. Present Use of Property: 1925-1927 used as dry-cleaner for 19 years,  
currently vacant.

9. Attach an Accurate Drawing of the Site Showing:

- a) Property boundaries EX. B - Overhead photo and building dimensions.
- b) Existing buildings EX. C - See Photos.
- c) Unusual physical features of the site or building NONE
- d) Abutting streets Vernier Road
- e) Existing zoning on adjacent properties EX. B
- f) Location of buildings on adjacent properties EX. B

10. Names and Addresses of all other Persons, Firms or Corporations having a Legal or Equitable Interest in the Property:

NONE

Applicant must provide lease, purchase agreement or written authorization from Owner.

**DECLARATION:**

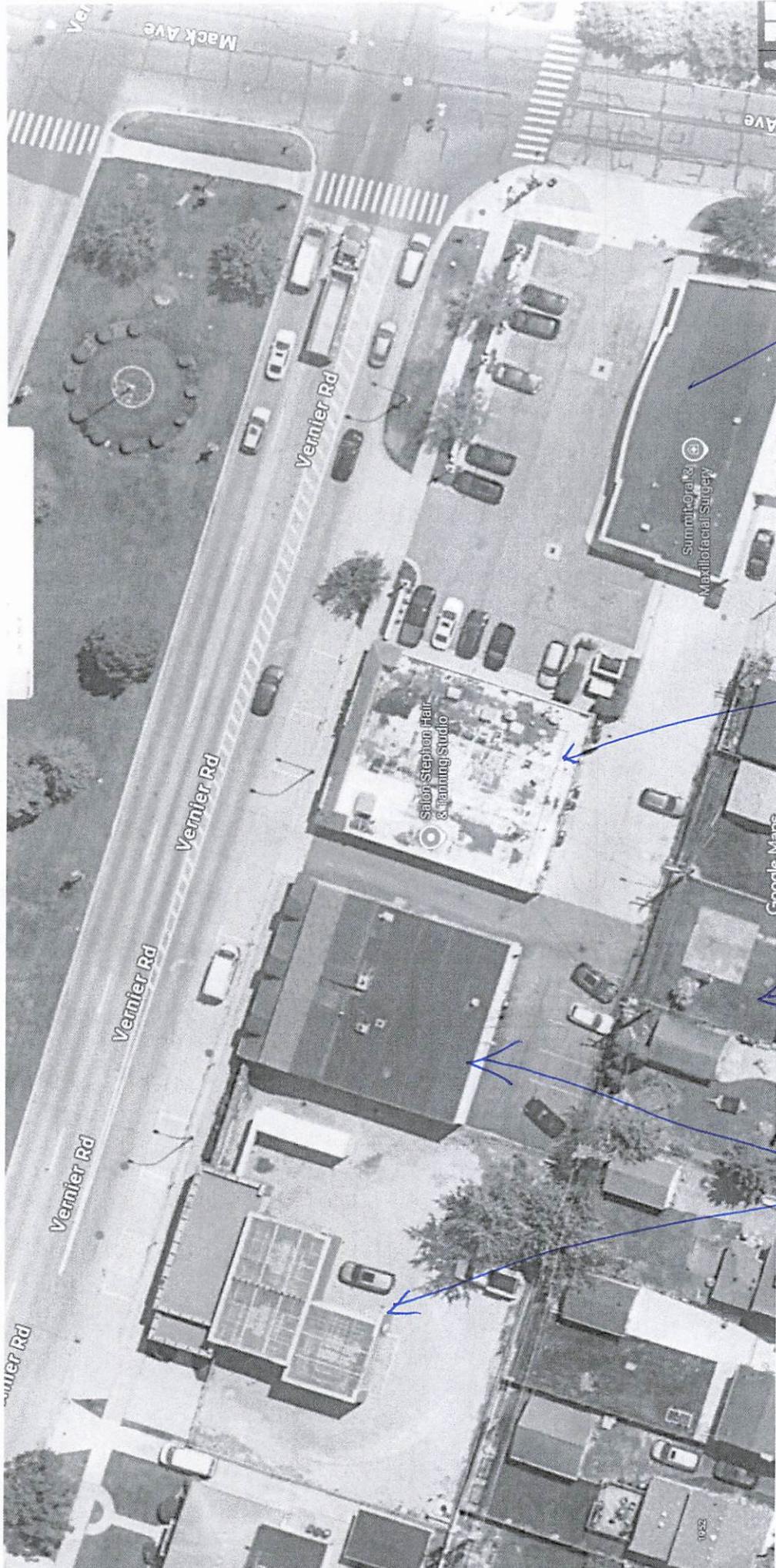
I, the applicant, do hereby declare that I am the owner, or the authorized agent of the owner, of the above, legally described property on which the request is proposed, and that the answers given herein are true to the best of my knowledge. I understand that if the request is granted, I am in no way relieved from all other applicable requirements of the City of Grosse Pointe Woods Zoning Ordinance.

By virtue of my application, I do hereby declare that the appropriate appointed officials and City staff responsible for the review of my application are given permission to visit and inspect the property regarding my petition in order to determine the suitability of the request.

Applicant Signature: Chris Mannino Date: 10-29-2025  
CHRIS MANNINO

**Filing Fee:** \$750.00 + Public Hearing Fee \$375





Existing Zoning

Summit:  
Commercial C

1925 } Petitioner  
1927 }  
1929 }  
R-01  
Restricted Office

R1-E  
One family  
residential

R-01  
Restricted  
Office

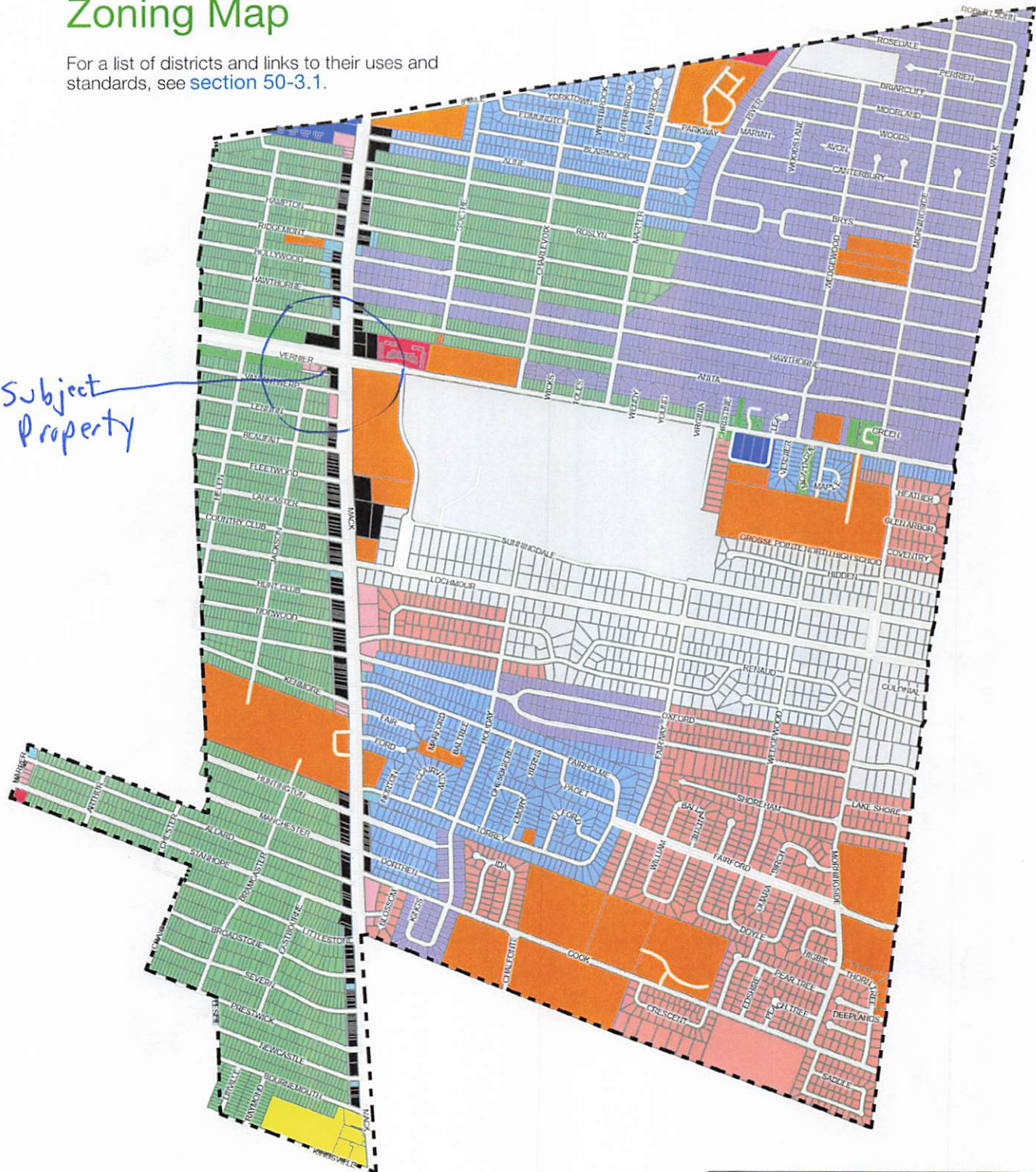




# Zoning Map

For a list of districts and links to their uses and standards, see [section 50-3.1](#).

Subject Property



- |                             |   |
|-----------------------------|---|
| R-1A One-Family Residential | C-F Community Facilities                |
| R-1B One-Family Residential | R-3 Planned Multiple Family Residential |
| R-1C One-Family Residential | R-4 High Density Multiple Dwelling      |
| R-1D One-Family Residential | RO-1 Restricted Office                  |
| R-1E One-Family Residential | C-2 High Intensity City Center          |
| R-2 Two-Family Residential  | P-1 Vehicular Parking                   |
| C Commercial Business       |   |

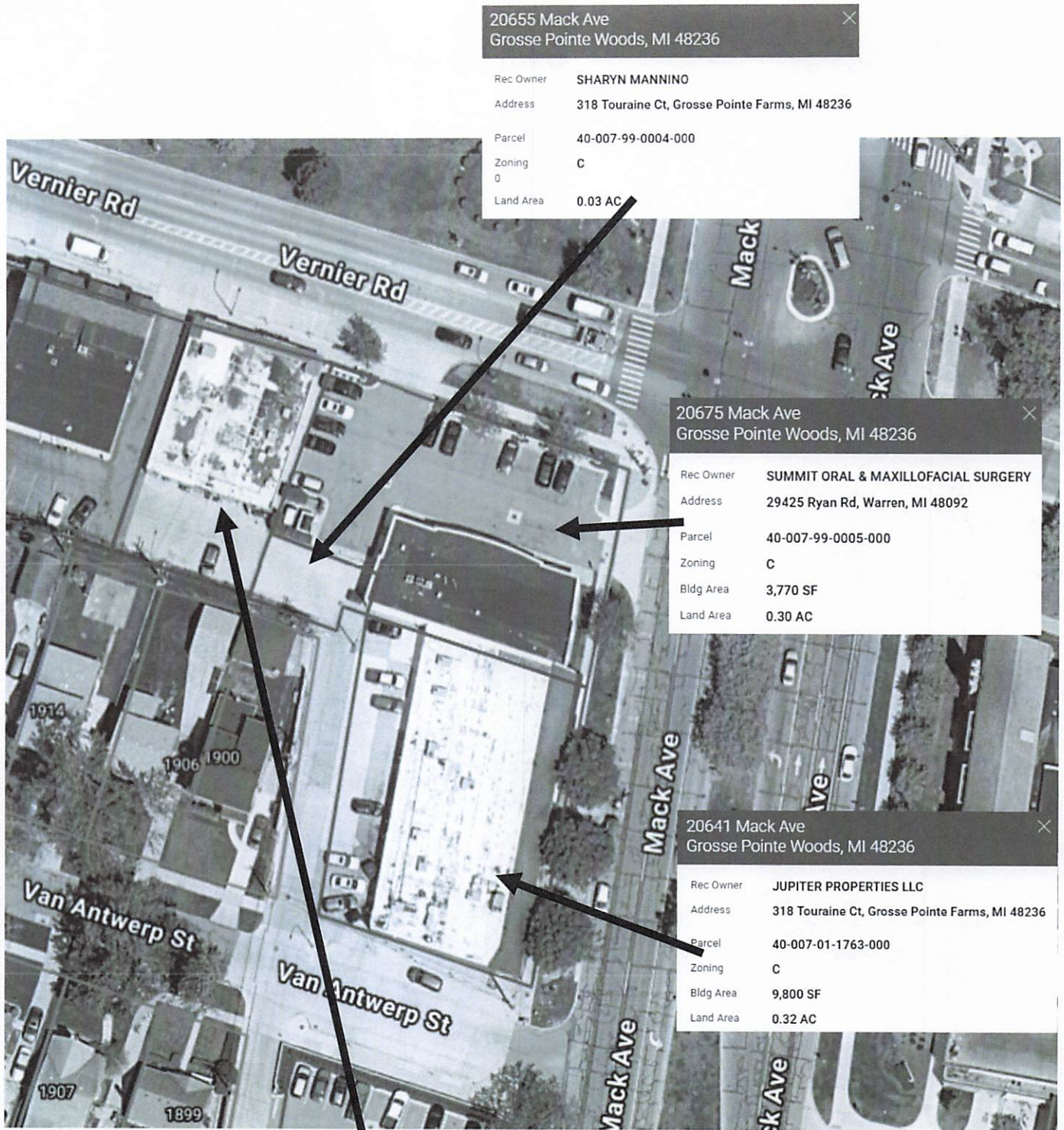
0 0.25 0.5 1 Miles

[Click here for the Interactive Zoning Map](#)

## Zoning District Map Grosse Pointe Woods

Zoning: Grosse Pointe Woods Roads: MGF v17a Exported: January 7th, 2022





20655 Mack Ave  
Grosse Pointe Woods, MI 48236

Rec Owner	SHARYN MANNINO
Address	318 Touraine Ct, Grosse Pointe Farms, MI 48236
Parcel	40-007-99-0004-000
Zoning	C
Land Area	0.03 AC

20675 Mack Ave  
Grosse Pointe Woods, MI 48236

Rec Owner	SUMMIT ORAL & MAXILLOFACIAL SURGERY
Address	29425 Ryan Rd, Warren, MI 48092
Parcel	40-007-99-0005-000
Zoning	C
Bldg Area	3,770 SF
Land Area	0.30 AC

20641 Mack Ave  
Grosse Pointe Woods, MI 48236

Rec Owner	JUPITER PROPERTIES LLC
Address	318 Touraine Ct, Grosse Pointe Farms, MI 48236
Parcel	40-007-01-1763-000
Zoning	C
Bldg Area	9,800 SF
Land Area	0.32 AC

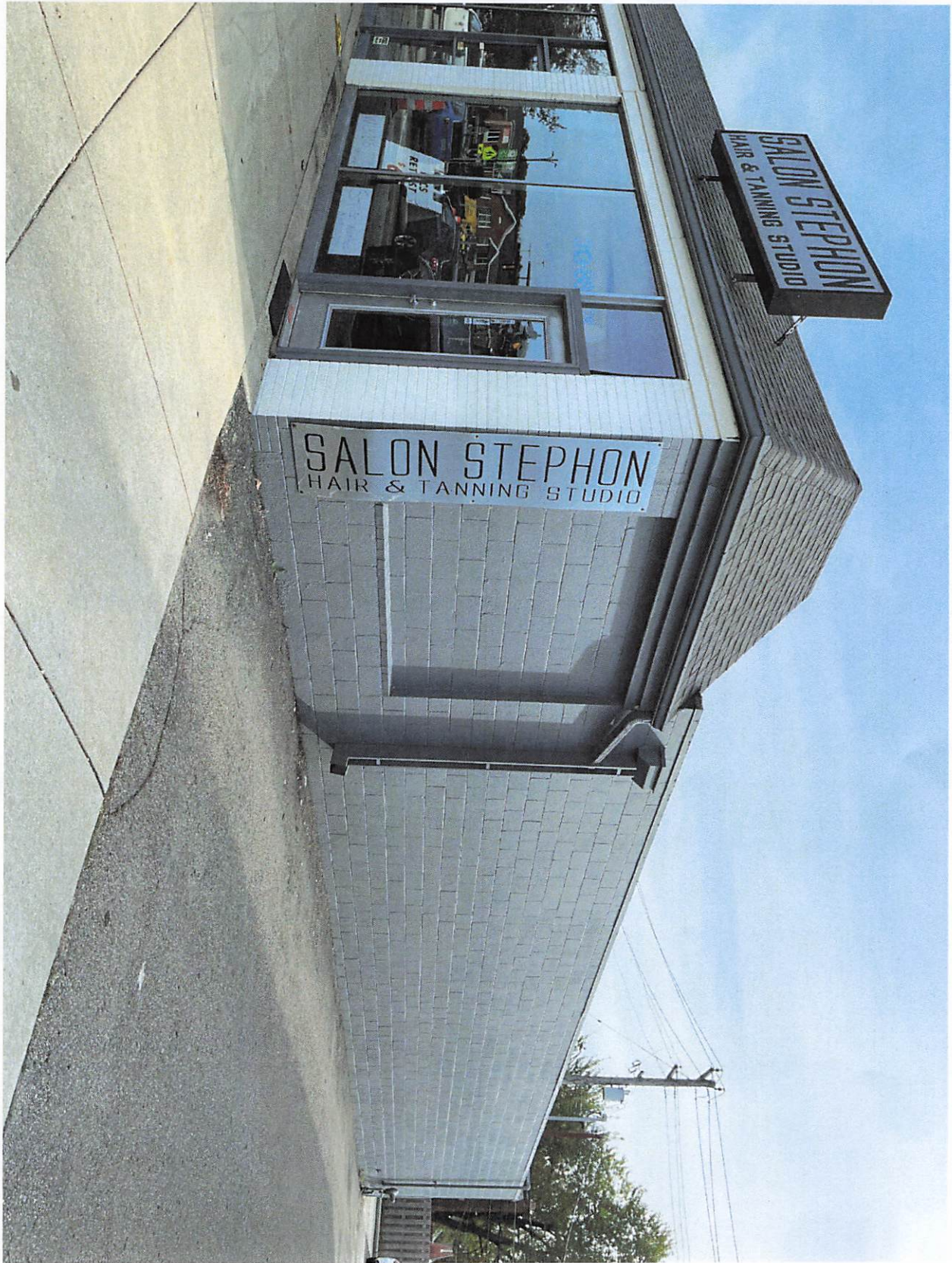
SUBJECT

Dimensions +/- 60' x 75'

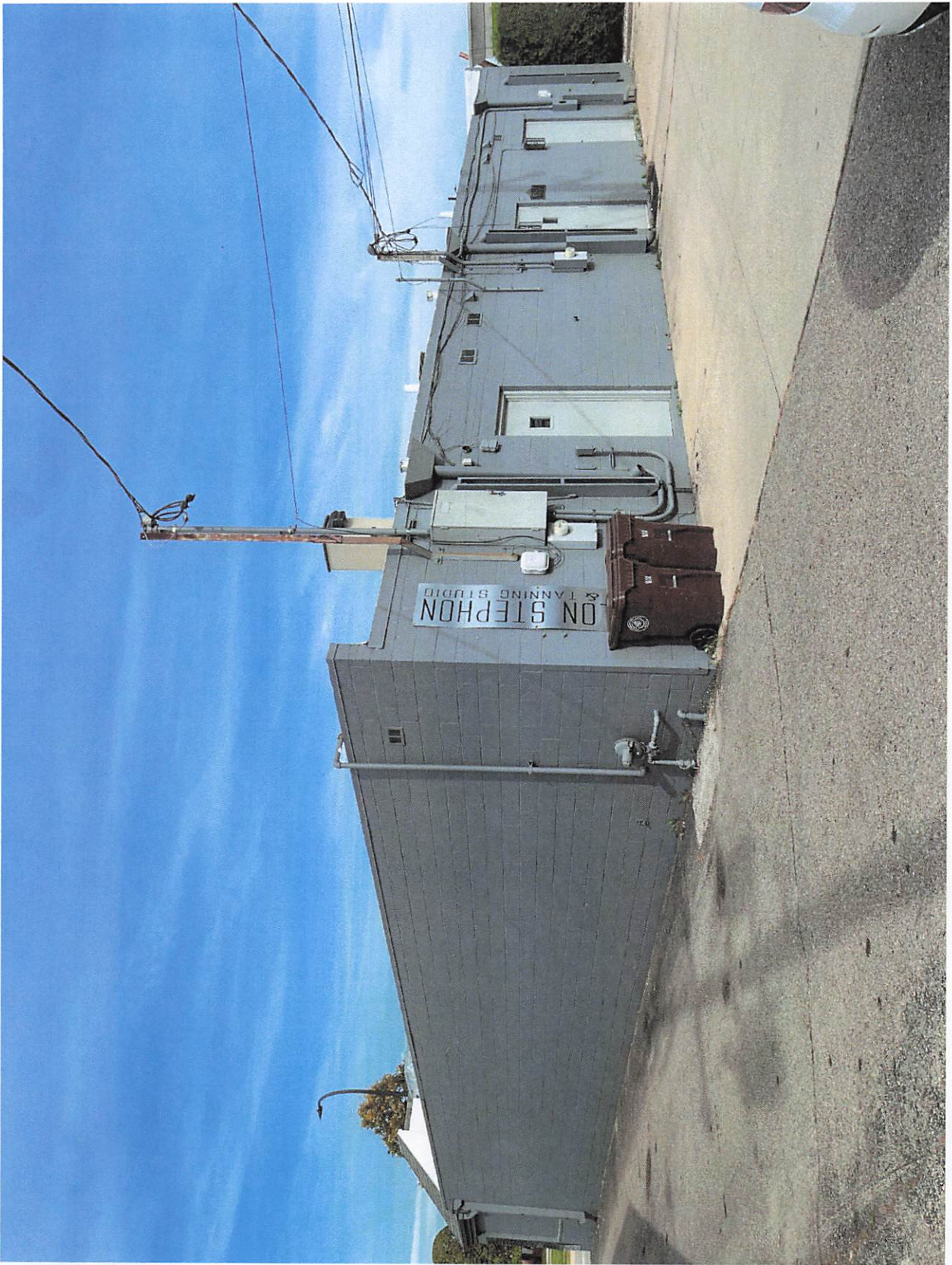
1925 Vernier Rd  
Grosse Pointe Woods, MI 48236

Rec Owner	JUPITER PROPERTIES LLC
Address	318 Touraine Ct, Grosse Pointe Farms, MI 48236
Parcel	40-007-99-0003-000
Zoning	RO-1
Bldg Area	4,380 SF
Land Area	0.17 AC











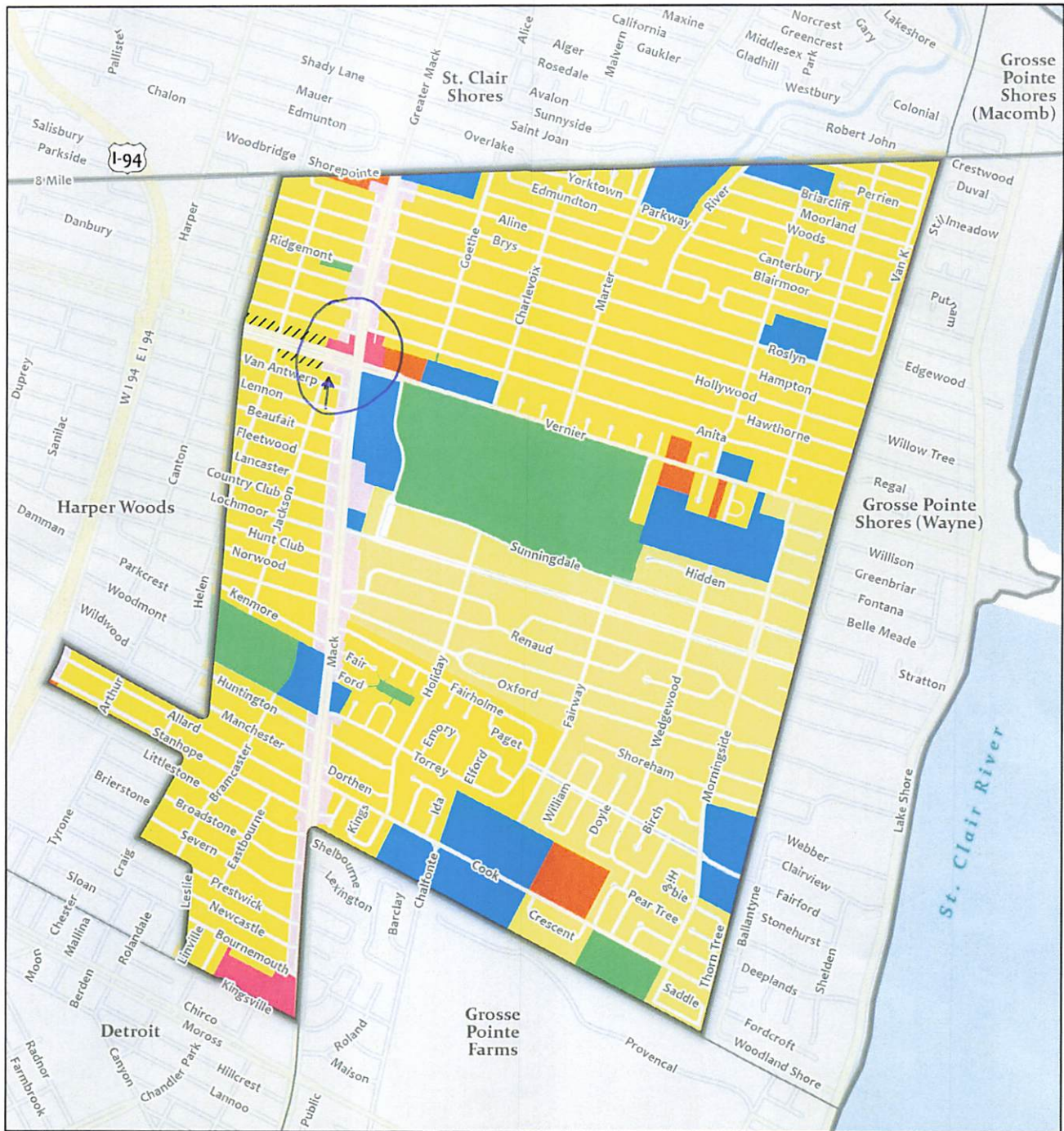




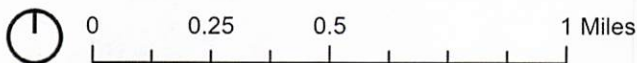




MAP 2. Future Land Use Map



Data Sources: Future Land Use: Grosse Pointe Woods; Roads: SEMCOG ©2024 Giffels Webster



- |                              |                      |
|------------------------------|----------------------|
| Single Family Low Density    | Regional Business    |
| Single Family Medium Density | Institutional        |
| Two Family                   | Parks and Recreation |
| Planned Multi-Family         | Corridor Mixed Use   |

giffels  
webster

## FUTURE LAND USE GROSSE POINTE WOODS



## Planned Multi-Family

This land use category includes residences of various styles at a density of approximately six (6) to eighteen (18) units an acre and corresponds to the R-3 and R-4 zoning districts.



## Corridor Mixed Use

This land use designation includes retail, restaurant, personal service, and office establishments which are designed for the day-to-day needs of nearby residents and are found along the Mack Avenue corridor and along its easternmost boundary of Harper Avenue that extends one-and-a-half blocks between Stanhope Street and just north of Allard Avenue. These facilities are intended to be located in close proximity to residential neighborhoods but with adequate buffering. These land uses equate to the City's C Commercial zoning district, P Parking district and some areas zoned RO-1 Restricted Office.





The next item, under New Business, is to **Consider the Rezoning (Map Amendment) for 1925 Vernier Road from RO-1, Restricted Office, to C, Commercial Business.**

Planner Mangan provided an overview of the application, the review that was done, and read the findings of facts that support McKenna's recommendation for approval to City Council.

**MOTION** by O'Keefe, seconded by Hamborsky, that the Planning Commission recommend the Rezoning of 1925, 1927, and 1929 Vernier Road from RO-1 to C, to City Council for approval based on the following findings of facts:

- a. This rezoning is consistent with 2024 Master Plan, including the goal of Economic Development: Elevate Mack Avenue as a thriving, vibrant commercial corridor that meets the daily needs of residents and is a destination for visitors.
- b. This rezoning brings the site closer to the intentions of the 2024 Master Plan's Future Land Use Plan, which designates the site as "Corridor Mixed Use".
- c. The uses permitted in the C, Commercial Business District, including a mix of retail, office, restaurant, and residential uses, are generally compatible with the commercial nature of this corner of Vernier Road and Mack Avenue. The proposed uses have been operating on the subject site for almost two decades. While the property does abut residential properties, there is currently an alley and fencing along the rear property line which will continue to serve as a buffer.
- d. The proposed site meets all Zoning Ordinance dimensional requirements of the C, Commercial Business District. The proposed rezoning does not create a non-conforming situation.
- e. The rezoning is not anticipated to significantly alter traffic generation in the area. There is no change in use proposed at this time, and the uses are anticipated to generate comparable amounts of traffic to what has existed at the site for the past two decades.

Motion carried by the following vote:

YES: Ellis, Fenton, Fuller, Hamborsky, O'Keefe, Marx

NO: None

ABSENT: Gilezan, Schulte, Vitale



# AFFIDAVIT OF PROPERTY OWNERS NOTIFIED

Re: 1925, 1927 & 1929 VERNIER  
REZONING RO-1 TO C

State of Michigan     )  
                                      ) ss.  
County of Wayne     )

**I HEREBY CERTIFY that the notice of Hearing was duly mailed First Class Mail on 11/20/2025 to the following property owners in accordance with the provisions of the 2017 City Code of Grosse Pointe Woods.**

**Paul P. Antolin, MiPMC  
City Clerk**

**See attached document for complete list.**

## **City of Grosse Pointe Woods, Michigan**

**Notice is hereby given** that the Grosse Pointe Woods Planning Commission, under the provisions of Public Act 110 of 2006, MCL 125.3101 as amended, and Grosse Pointe Woods City Code of 2022 Chapter 50, Article 7, Section 50-7.15, will hold a Rescheduled Public Hearing on Tuesday, December 9, 2025 at 7:00 p.m., at City Hall in the Council Chamber/Courtroom (located at 20025 Mack Plaza Drive, Grosse Pointe Woods, MI 48236) for the purpose of considering a rezoning of 1925, 1927, and 1929 Vernier Road (Parcel ID 007 99 0003 000) from RO-1 Restricted Office to C Commercial Business. The property is located at the corner of Vernier Road and Mack Avenue. The applicant requests to operate a dry-cleaning facility alongside an existing hair salon within the existing building. The Planning Commission will hear a presentation, hold a Public Hearing, and may make a recommendation to the City Council regarding the requested zoning map amendment.

All interested persons are invited to attend and will be given the opportunity for public comment. The public may appear in person or be represented by counsel. Written comments will be received in the City Clerk's Office at 20025 Mack Plaza Drive, Grosse Pointe Woods, MI 48236, or at [cityclerk@gpwmj.us](mailto:cityclerk@gpwmj.us) up to close of business preceding the hearing. Individuals with disabilities requiring auxiliary aids or services at the meeting should contact the Grosse Pointe Woods Clerk's Office at (313) 343-2440 seven days prior to the meeting. The agenda and pertinent documents will be available at [www.gpwmj.us](http://www.gpwmj.us).

For additional project information, contact the Building and Planning Department at (313) 343-2426 or e-mail: [building@gpwmj.us](mailto:building@gpwmj.us).

Paul P. Antolin  
City Clerk

**The public may appear in person or be represented by counsel. Written comments will be received in the City Clerk's office, up to the close of business preceding the hearing. A group spokesperson is encouraged on agenda items concerning organized groups. Individuals with disabilities requiring auxiliary aids or services at the meeting should contact the Grosse Pointe Woods Clerk's Office at 313 343-2440 seven days prior to the meeting.**



**1925 VERNIER  
REZONING RO-1 TO C**

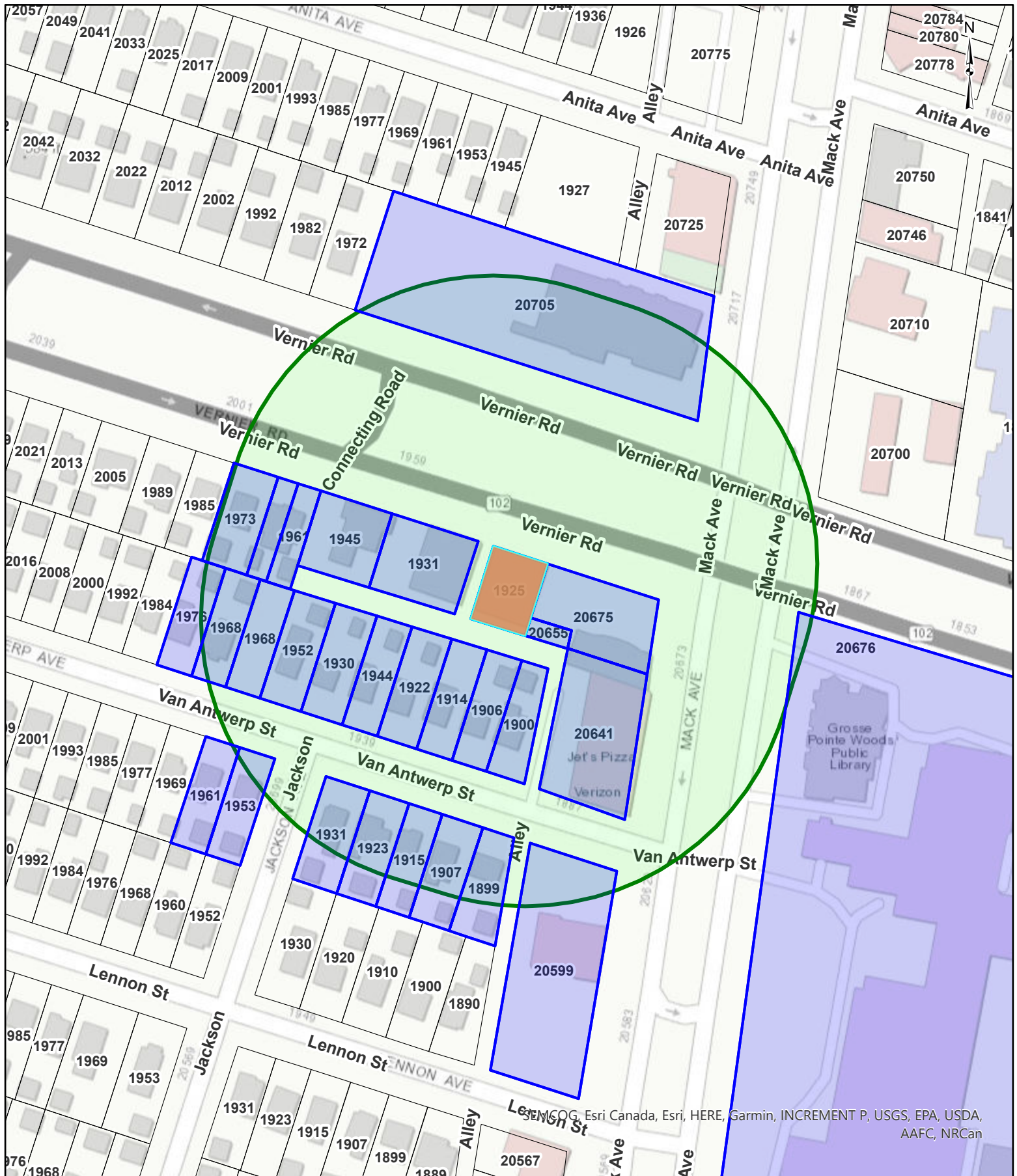
PARCELS	PARCEL ADDRESS	OWNER	OWNER ADDRESS	CITY, STATE, ZIP
007 01 1756 002	1952 VAN ANTWERP ST	MAUS, MARIETTE D	1952 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236
003 99 0011 000	20705 MACK AVE	SCI MICHIGAN FUNERAL SERVICE	PO BOX 130548	HOUSTON, TX 77219
		SCI MICHIGAN FUNERAL SERVICE	20705 MACK AVE	GROSSE POINTE WOODS, MI 48236
007 01 1753 000	1976 VAN ANTWERP ST	HILL, ROBERT A	1976 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236
007 01 1760 002	1906 VAN ANTWERP ST	GALUI, MARC J	1906 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236
007 01 1775 002	1923 VAN ANTWERP ST	CIAFFONE, DINA M	1923 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236
007 01 1776 002	1931 VAN ANTWERP ST	KUJAWSKI, EMILY	1931 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236
007 99 0002 000	1931 VERNIER RD	PALOMBIT, RUDOLPH	26 MCKINLEY PL	GROSSE POINTE FARMS, MI 48236
		OCCUPANT	1931 VERNIER RD	GROSSE POINTE WOODS, MI 48236
010 01 0099 000	20676 MACK AVE	GROSSE POINTE PUBLIC SCHOOL SYSTEM	20601 MORNINGSIDE	GROSSE POINTE WOODS, MI 48236
007 01 1676 000	1973 VERNIER RD	VERLINDE, THOMAS G	8160 CRESTON DR	FREELAND, MI 48623-8730
		OCCUPANT	1973 VERNIER RD	GROSSE POINTE WOODS, MI 48236
007 01 1759 002	1914 VAN ANTWERP ST	CUENY, SETH A & KAREN	1914 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236
007 99 0004 000	20655 MACK AVE	MANNINO, SHARYN	318 TOURAINE RD	GROSSE POINTE FARMS, MI 48236
		OCCUPANT	20655 MACK AVE	GROSSE POINTE WOODS, MI 48236
007 01 1754 001	1968 VAN ANTWERP ST	DOW, TIMOTHY - RACHEL	1968 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236
007 01 1757 002	1930 VAN ANTWERP ST	RAPALA, DARSHINI DESILVA	1930 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236
007 01 1758 002	1922 VAN ANTWERP ST	DIAZ, JUAN	1922 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236
007 01 1761 002	1900 VAN ANTWERP ST	COLEMAN, JETAUN CHERISE	1900 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236
007 01 1673 000	1961 VERNIER RD	LLINAS, CARLOS	29308 JEFFERSON AVE	SAINT CLAIR SHORES, MI 48081
		OCCUPANT	1961 VERNIER RD	GROSSE POINTE WOODS, MI 48236
007 99 0005 000	20675 MACK AVE	SUMMIT ORAL & MAXILLOFACIAL SURGERY	29425 RYAN RD	WARREN, MI 48092-2203
		SUMMIT ORAL & MAXILLOFACIAL SURGERY	20675 MACK AVE	GROSSE POINTE WOODS, MI 48236
007 01 1674 002	1965 VERNIER RD	LLINAS, CARLOS	29308 JEFFERSON AVE	SAINT CLAIR SHORES, MI 48081
		OCCUPANT	1965 VERNIER RD	GROSSE POINTE WOODS, MI 48236
007 01 1763 000	20641 MACK AVE	JUPITER PROPERTIES LLC	318 TOURAINE CT	GROSSE POINTE FARMS, MI 48236
		OCCUPANT	20641 MACK AVE	GROSSE POINTE WOODS, MI 48236
007 01 1777 000	1953 VAN ANTWERP ST	NEEDHAM, DANIELLE	1953 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236
007 01 1778 000	1961 VAN ANTWERP ST	WOLFE, SUSAN	1961 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236
007 01 1773 000	1907 VAN ANTWERP ST	SARNAKI, JOHN J & LAURIE	1907 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236
007 01 1755 001	1968 VAN ANTWERP ST	DOW, TIMOTHY - RACHEL	1968 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236
007 01 1774 000	1915 VAN ANTWERP ST	YUHAS, DAMON R	1915 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236
007 99 0003 000	1925 VERNIER RD	JUPITER PROPERTIES LLC	318 TOURAINE CT	GROSSE POINTE FARMS, MI 48236
007 01 1772 000	1899 VAN ANTWERP ST	NEHR, KAREEMA - MICHAEL	1899 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236
007 99 0001 000	1945 VERNIER RD	DETROIT EDISON	PO BOX 33017	DETROIT, MI 48232
		OCCUPANT	1945 VERNIER RD	GROSSE POINTE WOODS, MI 48236
007 01 1757 003	1944 VAN ANTWERP ST	WHITER, ALEXANDRA	1944 VAN ANTWERP ST	GROSSE POINTE WOODS, MI 48236



**1925 VERNIER  
REZONING RO-1 TO C**

007 01 1767 000	20599 MACK AVE	AKIN PROPERTIES LLC	6542 OLD VINCENNES RD	FLOYDS KNOBS, IN 47119
		OCCUPANT	20599 MACK AVE	GROSSE POINTE WOODS, MI 48236
		MICHIGAN CONSOLIDATED GAS CO/DTE PLANNING DEPARTMENT	2000 SECOND AVE	DETROIT, MI 48226
		AMERITECH	444 MICHIGAN AVE	DETROIT, MI 48226





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The City of Grosse Pointe Woods, MI\*

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\*All Rights Reserved



1925 Vernier



REC-1750  
DEC 02 2025  
JTS

# Affidavit of Publication

State of Michigan }  
County of Wayne } ss.

Sabrina Berhyot, being duly sworn, deposes and says that an advertisement of 2 columns x 3.5 inches, a true copy of which is annexed hereto, was published in the **Grosse Pointe Times**, a newspaper printed and circulated in said State and County on 11-24-25, 2025; and that he/she is the principal clerk of the printers of said newspaper, and knows well the facts stated herein.

Subscribed and sworn to before me this 24th day  
of November, 2025.

Notary Public,  
KIMBERLY A. MACOMB  
NOTARY PUBLIC, STATE OF MICHIGAN  
COUNTY OF MACOMB  
MY COMMISSION EXPIRES Dec 22, 2030

Kimberly A. Macomb  
Macomb County, Michigan

My commission expires 12.22.30

#### CITY OF GROSSE POINTE WOODS NOTICE OF PUBLIC HEARINGS

Notice is hereby given, that the Grosse Pointe Woods Planning Commission, under the provisions of Public Act 110 of 2005, MCL 125.101 as amended, and Grosse Pointe Woods City Code of 2022 Chapter 50, Article 7, Section 50-7.16, will hold two public hearings on Tuesday, December 9, 2025 at 7:00 p.m., at City Hall in the Council Chamber/Community Room located at 20025 Mack Plaza Drive, Grosse Pointe Woods, MI 48230 for the purpose of considering the following applications:

**Application #1:** A rezoning of 1825, 1827, and 1829 Vanier Road (Parcel ID: 007 96 003 000 from R0-1, Residential Office to O, Commercial Business. The property is located at the corner of Vanier Road and Mack Avenue. The applicant requests to operate a city-cleaning facility alongside an existing light rail station within the existing building.

**Application #2:** A rezoning of 21000 Mariner Road (Parcel ID: 001 98 001 000 from R-3, Planned Multiple Family Residential to OF, Community Facility. The property is located south of the border of St. Clair Shores, west of Mariner Road and west of River Road, and the property is intersected by the M-10 Freeway. The applicant requests to develop a private indoor sport facility, which extends partially into Grosse Pointe Woods from St. Clair Shores.

For both applications, the Planning Commission will hear a presentation, hold a public hearing, and may make a recommendation to the City Council regarding the requested zoning map amendment.

All interested persons are invited to attend and will be given the opportunity for public comment. The public may appear in person or be represented by counsel. Written comments will be accepted in the City Clerk's Office at 20025 Mack Plaza Drive, Grosse Pointe Woods, MI 48230, or at [cityclerk@gpwmi.us](mailto:cityclerk@gpwmi.us) up to close of business preceding the hearing. Individuals with disabilities requiring auxiliary aids or services at the meeting should contact the Grosse Pointe Woods Clerk's Office at (313) 543-2440 seven days prior to the meeting. The agenda and pertinent documents will be available at [www.gpwmi.us](http://www.gpwmi.us).

For additional project information, contact the Building and Planning Department at (313) 343-2428 or e-mail [building@gpwmi.us](mailto:building@gpwmi.us).

Paul R. Anttila  
City Clerk  
Published: Untero Public Times 11/24/2025



Your Community...  
Your Business...  
Your News...





**MCKENNA**

December 3, 2025

Planning Commission  
City of Grosse Pointe Woods  
20025 Mack Plaza  
Grosse Pointe Woods, MI 48236

**Subject: 21800 Marter Road: Rezoning (Map Amendment)**  
Parcel ID: 001-99-0001-000  
Current Zoning: R-3, Planned Multiple Family Residential  
Proposed Zoning: CF, Community Facilities

Dear Commissioners,

Stucky Vitale Architects, on behalf of Assumption Greek Church, proposes to rezone 21800 Marter Road from the R-3, Planned Multiple Family Residential District to the CF, Community Facilities District. The rezoning is necessary to permit the construction of a 42,075 square foot multi-use facility with an indoor turf field and eight pickleball courts (primarily located in St. Clair Shores).

The subject site is located south of the border of St. Clair Shores, east of Marter Road and west of River Road, and is intersected by the Milk River. The multi-use facility is proposed to be constructed to the east of the existing church and accessory buildings on the site. The overall project site is highlighted below, and the specific parcel proposed for a rezoning that is within the municipal boundaries of Grosse Pointe Woods is detailed on the following page.



**HEADQUARTERS**  
235 East Main Street  
Suite 105  
Northville, Michigan 48167

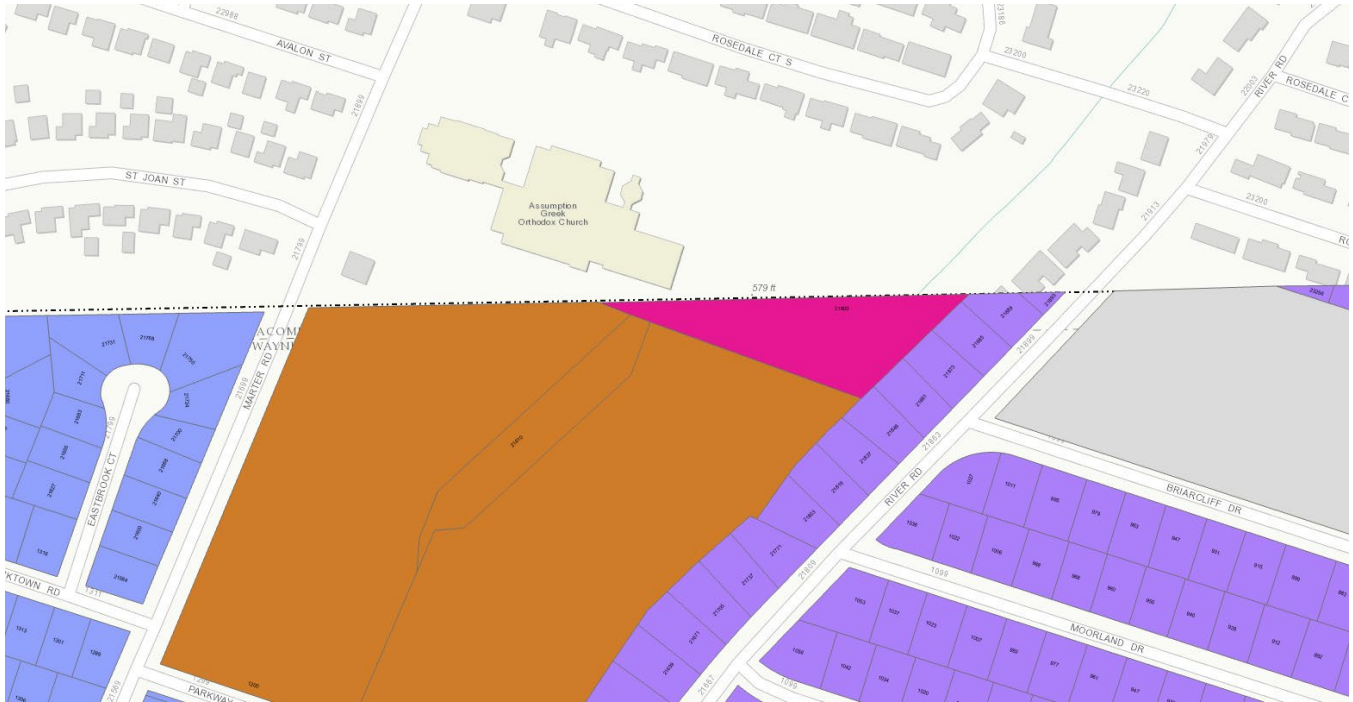
☎ 248.596.0920  
F 248.596.0930  
**MCKA.COM**

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**Subject Site.** The Grosse Pointe Woods parcel requested for this rezoning is limited to the pink triangle shaped parcel below. The remainder of this project is located within St. Clair Shores and has been approved by their city. However, that project is dependent on the rezoning and site development approval of this subject parcel.







# Rezoning Review

## #1: MASTER PLAN AND FUTURE LAND USE CLASSIFICATIONS

Will the proposed amendment further the comprehensive planning goals and policies of the City and is the proposed amendment consistent with the Future Land Use Map of the Master Plan?

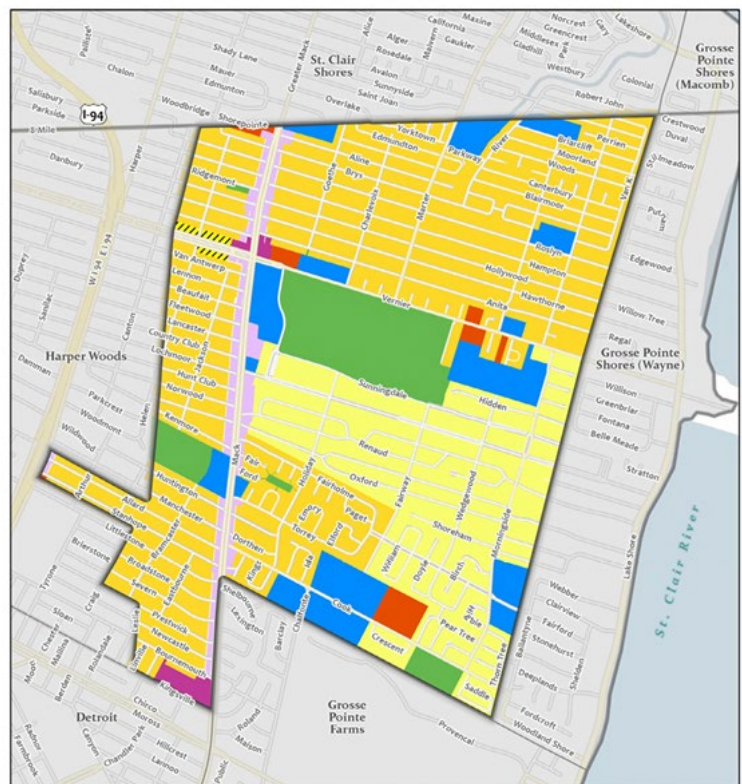
**Findings:** Alignment and harmony with the recently adopted Master Plan is achieved with this rezoning.

First, this rezoning is consistent with the following goal from the 2024 Master Plan: **“Goal # 4 – Community Character: Strengthen sense of place, identity, and character throughout the City and its neighborhoods”.**

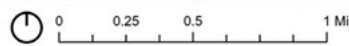
The proposed use will serve community members by providing an additional gathering space for both fellowship and recreation, anticipated to strengthen sense of place for Grosse Pointe Woods residents.

Second, this rezoning is consistent with the 2024 Master Plan's Future Land Use Map, which designates this area as *Institutional*.

This is described in the text of the Master Plan as, *“This land use designation is located where existing schools, places of worship, and public buildings are currently in operation within the City and fall primarily within residential neighborhoods. These land use designations align with the C-F, Community Facilities zoning designation. Should they no longer serve their original purpose, the City considers the preservation of open space to be a priority, along with other uses that support community services and fellowship. For areas along the City’s major thoroughfares, exploring commercial, entertainment, and retail uses that would be advantageous to the community are preferred. Otherwise, these areas should align with a surrounding land use.”*



Data Sources: Future Land Use: Grosse Pointe Woods; Roads: SEMCOG; ©2024 Giffels Webster



giffels  
webster

**FUTURE LAND USE**  
GROSSE POINTE WOODS





## #2: INTENT AND USES OF THE ZONING ORDINANCE

### Is the request in accordance with the basic intent and purpose of the Zoning Ordinance?

*The basic intent and purpose of the Zoning Ordinance is to provide regulations on the uses of land and structures to promote and protect the public health, safety, and general welfare of the Grosse Pointe Woods community.*

The chart below details the existing land use, current zoning, and the 2024 Master Plan Future Land Use designations; the surrounding property to the north and west is located within St. Clair Shores:

Location	Existing Land Use	Zoning Districts	Future Land Use Designation (2024 Master Plan)
Subject Site	Church and Accessory Buildings	R-3, Planned Multi Family Residential	Institutional
North	Single-Family Residential	RA, One-Family General Residential (St. Clair Shores)	Traditional Neighborhood (St. Clair Shores)
South	City of Grosse Pointe Woods Department of Public Works	C-F, Community Facilities	Institutional
East	Single-Family Residential	R1-C, One-Family Residential	Single Family Medium Density
West	Single-Family Residential	RA, One-Family General Residential (St. Clair Shores)	Traditional Neighborhood (St. Clair Shores)

**Findings: Intent Statements.** The Zoning Ordinance is intended to ensure harmonious, thoughtfully planned development – and this requires an understanding of the *purpose statements* and *permitted uses* in the two applicable districts. To summarize, the C-F, Community Facilities District is intended to provide land for public activities, such as public and private nonprofit recreational areas to better serve the needs of residents within the city.

Purpose Statement: Section 50-3.1.G: R-3, Planned Multi Family Residential	Purpose Statement: Section 50-3.1.I: C-F, Community Facilities
<i>"The R-3 planned multiple-family residential development district is designed to permit residential use of land with various types of multiple dwellings and related uses. These areas would be located near major streets for good accessibility and be designed to complement adjacent single-family areas. Various types and sizes of residential accommodations for ownership or rental would thereby be provided to meet the needs of the different age and family groups in the community without causing excessive demands on existing community facilities, utilities, or services."</i>	<i>"The C.F. community facilities district is intended to provide suitable locations for desirable and necessary public activities, schools, continuing care retirement community, and public and private nonprofit recreational areas which serve the residents of the city, and to limit the location, size and character of such uses so that the activity which they generate does not become a nuisance and will not overburden the facilities of the city."</i>





**Findings: Allowable Uses.** The uses permitted in the C-F, Community Facilities District include a mix of neighborhood amenities, such as schools, retirement communities, and recreational areas. The subject site's location within a residential neighborhood further aligns with the intent of the *Institutional* Future Land Use designation.

The proposed facility is to be constructed on the east side of the parcel, which borders the Milk River, and abuts single-family residential to the north, where screening is included on the St. Clair Shores site plan for buffering, in addition to an existing screening wall. We do not anticipate adverse impacts from noise or potential nuisances to impact the homes situated near the property, and additional screening and landscaping will be reviewed during the site plan development stage (should this rezoning be approved).

### **#3: SPECIFIC ZONING ORDINANCE CRITERION**

**Could all requirements in the proposed zoning classification be complied with on the subject parcel?**

**Findings:** It appears that the subject site can comply with the basic dimensional standards of the C-F, Community Facilities District and that the proposed rezoning will not create a new non-conforming situation. The dimensional standards and other applicable Grosse Pointe Woods zoning requirements will be applied in the site development plan stage, should this rezoning be approved.





# Conclusions

## PROCESS

Following consideration of public comments received during the Public Hearing, the Planning Commission has the following available motions when considering a map amendment (rezoning):

- *Recommendation to the City Council for approval of the rezoning; or*
- *Recommendation to the City Council for denial of the rezoning; or*
- *Table the application.*

In the case of approval or denial, the Commission must specify the findings of fact which the decision is based upon.

## RECOMMENDATION

*It is recommended that the rezoning (map amendment) to the C-F, Community Facilities District at 21800 Marter Road be recommended for approval to the City Council, based on the following findings of fact:*

- a. The rezoning is consistent with Goal #4 – Community Character: Strengthen sense of place, identity, and character from the 2024 Master Plan.*
- b. The rezoning brings the site closer to the intentions of the 2024 Master Plan's Future Land Use Plan, which designates the site as "Institutional".*
- c. The uses permitted in the C-F, Community Facilities District, including space for public activities, schools, continuing care retirement communities, and public and private nonprofit recreational areas, are consistent with the proposed recreation facility that has been approved in St. Clair Shores.*

If you have further questions, please do not hesitate to contact us.

Respectfully submitted,

**McKENNA**

Paige Smith, NCI  
Assistant Planner





STUCKY VITALE ARCHITECTS

October 27, 2025

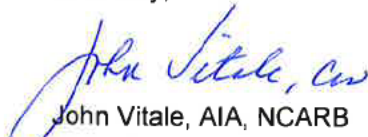
City of Grosse Pointe Woods  
20025 Mack Plaza  
Grosse Pointe Woods, MI 48236

Re: Assumption Church Sports Facility  
Architects' Project No.: 2024.154

To Whom it May Concern:

Stucky-Vitale Architects, on behalf of Assumption Greek Church, are requesting a rezoning of a small portion of the property at 21800 Marter Road that lies in the City of Grosse Pointe Woods from the current zoning of Planned Multiple-Family Residential Development (R-3) to the zone of Community Facilities (C.F.), with special land use. The proposed project is the construction of a 42,075 square foot multi-use facility with an indoor turf field and 8 pickleball courts. The site contains an existing church building and accessory buildings. The rezoning to C.F., with special land use for a private noncommercial recreation center is being requested as it better fits the described use for the proposed project.

Sincerely,

  
John Vitale, AIA, NCARB  
CEO/President







Attach a detailed written statement fully explaining your request.

8. Present Use of Property: \_\_\_\_\_

CHURCH

9. Attach an Accurate Drawing of the Site Showing:

- a) Property boundaries
- b) Existing buildings
- c) Unusual physical features of the site or building
- d) Abutting streets
- e) Existing zoning on adjacent properties
- f) Location of buildings on adjacent properties

10. Names and Addresses of all other Persons, Firms or Corporations having a Legal or Equitable Interest in the Property:

ASSUMPTION GREEK CHURCH 21800 MARTER ROAD, ST CLAIR SHORES, MI

Applicant must provide lease, purchase agreement or written authorization from Owner.

**DECLARATION:**

I, the applicant, do hereby declare that I am the owner, or the authorized agent of the owner, of the above, legally described property on which the request is proposed, and that the answers given herein are true to the best of my knowledge. I understand that if the request is granted, I am in no way relieved from all other applicable requirements of the City of Grosse Pointe Woods Zoning Ordinance.

By virtue of my application, I do hereby declare that the appropriate appointed officials and City staff responsible for the review of my application are given permission to visit and inspect the property regarding my petition in order to determine the suitability of the request.

Applicant Signature:  Date: 10/22/2025

**Filing Fee:** \$750.00 + Public Hearing Fee \$375



## Elise Coyle

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**From:** Julie Moe [REDACTED] >  
**Sent:** Wednesday, December 3, 2025 10:02 AM  
**To:** City Clerk  
**Subject:** Comment on 21800 Marter Rezoning



CAUTION: This email originated from outside of the organization. DO NOT click links, open attachments or reply to this message unless you recognize the sender and know the content is safe:

Hello,

I will be unable to attend the meeting on December 9th, so please submit this written comment to the city council members and zoning commission on my behalf.

I live at 21527 River Rd in GPW and strongly oppose the rezoning. As elected officials in GPW, you have a duty to your constituents. There will be no benefit to GPW residents by rezoning the land behind Assumption, but there will be a significant negative impact. GPW residents already have access to the GPW park and pickleball courts. The current field at Assumption is an amazing place for nature - one of the few green spaces we have around here that attracts wildlife. The last time I went, we saw seven different vultures. It's a critical area for bird life. My family loves backyard birdwatching and the land behind Assumption helps attract birds to the area.

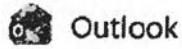
Our peaceful enjoyment of our yard will be ruined by construction, not to mention the future eyesore. Assumption already hosts loud events, like Greekfest, without consideration of neighbors. We do not need more people parking in our area or using the facilities.

I come back to this - Grosse Pointe Woods residents will NOT benefit. We already have all the pickleball courts we need. It will impact our property values, create a disturbance during construction, and hurt our local wildlife. As public officials you have a duty to YOUR city and residents and not a private entity in another city.

Vote no!

Julie Moe





**FW: Assumption construction**

---

From Paul Antolin <pantolin@gpwmi.us>  
Date Fri 12/5/2025 9:40 AM  
To Laura Haw <LHaw@mcka.com>; Ashley Jankowski <ajankowski@mcka.com>; Chris Fenton  
[REDACTED]  
Cc City Clerk <CityClerk@gpwmi.us>

Good Morning Laura/Ashley,

Please see the email below regarding support of the Assumption church project.

Thank you,

Paul P. Antolin, MiPMC  
City Clerk

City of Grosse Pointe Woods - Clerk's Office  
20025 Mack Plaza Dr.  
Grosse Pointe Woods, MI 48236-2397  
Phone: 313-343-2440  
Fax: 313-343-5667

-----Original Message-----

From: JOHN KRAUSMANN [REDACTED]  
Sent: Thursday, December 4, 2025 2:22 PM  
To: Paul Antolin <pantolin@gpwmi.us>  
Cc: John Vitale <jvitale@stuckyvitale.com>  
Subject: Assumption construction

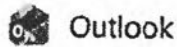
CAUTION: This email originated from outside of the organization. DO NOT click links, open attachments or reply to this message unless you recognize the sender and know the content is safe:

My name is John Krausmann a resident at 960 moorland and I support the construction of the athletic facility on the grounds of assumption church.

Sent from my iPhone

Property of the City of Grosse Pointe Woods. If you have received this transmission in error, please delete immediately.





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**FW: Rezoning request for Assumption Cultural Center**

---

From Paul Antolin <pantolin@gpwmf.us>  
Date Fri 12/5/2025 3:55 PM  
To Ashley Jankowski <ajankowski@mcka.com>; Laura Haw <LHaw@mcka.com>  
Cc City Clerk <CityClerk@gpwmf.us>

Good Afternoon Ashley/Laura,

Please see the email below in support of the rezoning of Assumption Cultural Center.

Please add to the documents for your PC meeting on December 9.

Let me know if you have any questions.

Thank you,

**Paul P. Antolin, MiPMC  
City Clerk**

City of Grosse Pointe Woods – Clerk's Office  
20025 Mack Plaza Dr.  
Grosse Pointe Woods, MI 48236-2397  
Phone: 313-343-2440  
Fax: 313-343-5667

From: Kevin Granger [REDACTED]  
Sent: Friday, December 5, 2025 2:43 PM  
To: Paul Antolin <pantolin@gpwmf.us>  
Cc: Victoria A Granger <grangergpw@aol.com>  
Subject: Rezoning request for Assumption Cultural Center

**CAUTION:** This email originated from outside of the organization. DO NOT click links, open attachments or reply to this message unless you recognize the sender and know the content is safe:

Dear Mr Antolin,

I am writing in support of Assumption Cultural Center's (ACC) request for rezoning from R-3 to CF for the purpose of erecting a building which would house a soccer practice field as well as pickleball courts.

This is in actualy an extension of their gymnasium which is located adjacent to the proposed new facility. Having the new facility on the open land to the east, however, allows ACC to maintain the current flow of traffic around their building. There is a very real need for an Indoor facility of this type as there is significant demand but few choices. I don't believe there would be any real increase in traffic and the building itself will be well adorned with



landscaping to fit nicely in the community. Additionally, there would be no issues with noise as all of the athletic events would be indoors.

The building itself would be shorter than a facility that could be potentially built for a multi-family dwelling (as it is currently zoned) which would possibly be several stories high. From an esthetics view, I would think a shorter building would be more palatable.

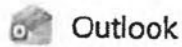
In closing, I would like to restate my support of changing the zoning for ACC to CF.

Regards,

Kevin B. Granger  
943 Hidden Lane  
Grosse Pointe Woods

Property of the City of Grosse Pointe Woods. If you have received this transmission in error, please delete immediately.





Outlook

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**FW: Assumption Pickleball Court Proposal**

---

From Paul Antolin <pantolin@gpwmf.us>

Date Tue 12/9/2025 8:46 AM

To Ashley Jankowski <ajankowski@mcka.com>; Laura Haw <LHaw@mcka.com>; Chris Fenton

Cc City Clerk <CityClerk@gpwmf.us>

Good Morning Laura/Ashley,

Please see the email below regarding support for the new pickleball facility at Assumption. Please include with tonight's meeting docs.

Thank you,

Paul P. Antolin, MiPMC  
City Clerk

City of Grosse Pointe Woods – Clerk's Office  
20025 Mack Plaza Dr.  
Grosse Pointe Woods, MI 48236-2397  
Phone: 313-343-2440  
Fax: 313-343-5667

-----Original Message-----

From: Michael Padesky [REDACTED] >

Sent: Monday, December 8, 2025 6:34 PM

To: Paul Antolin <pantolin@gpwmf.us>

Subject: Assumption Pickleball Court Proposal

CAUTION: This email originated from outside of the organization. DO NOT click links, open attachments or reply to this message unless you recognize the sender and know the content is safe:

Dear Mr. Antolin,

It has been brought to my attention that Assumption is requesting support from GPW for land needed for a new pickleball facility. I respectfully request that GPW support this initiative as many GPW residents as myself enjoy playing pickleball at Assumption. The new facility would surely improve our indoor pickleball experience.

Thank you,  
Mike Padesky  
811 Renaud





## Eastside FC | Board of Directors

December 8, 2025

Dear Members of the Grosse Pointe Woods Planning Commission,

Eastside FC (ESFC) is a community-based soccer club, formerly organized as Grosse Pointe Soccer Association. ESFC serves the Grosse Pointes and surrounding community by providing recreation soccer opportunities to approximately 800 registrations annually, as well as a select program for approximately 350 players ranging from U7 – U18. Nearly ~35% of the families we serve reside in Grosse Pointe Woods. As such, we are writing to support the proposed recommendation to rezone 21800 Marter Road to Community Facilities to enable the development of a much-needed fieldhouse that will provide significant benefits to Grosse Pointe Woods and the community more broadly.

Our community faces a shortage of indoor training spaces, particularly turf fields, for youth sports. This project would help to fill that gap for many youth sports organizations – soccer, lacrosse, field hockey, baseball, to name a few – in providing a safe space to foster healthy, active lifestyles for student-athletes during the winter months. In addition, the proposed development includes pickleball courts, which will create a space for residents of all ages to exercise, train, and socialize – promoting the physical and mental well-being across generations and generations to come.

The site is located in a safe neighborhood, and the proposed project represents a positive, family-oriented use of land that was previously zoned for dense housing. Instead of adding congestion, this development will create a welcoming environment for community engagement consistent with the property today.

The proposed project aligns with the city's vision of enhancing recreational opportunities and strengthening community ties. We thank you for considering the rezoning recommendation to allow this transformative project to move forward and for your continued commitment to improving our community.

Sincerely,

ESFC Board of Directors

*ESFC is a 501(c)(3) organization, EIN 38-2309473 (fka Grosse Pointe Soccer Association)*



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**FW: Tonight's Planning Commission Meeting**

---

From Paul Antolin <pantolin@gpwmi.us>  
Date Wed 12/10/2025 9:10 AM  
To Ashley Jankowski <ajankowski@mcka.com>; Laura Haw <LHaw@mcka.com>; Chris Fenton  
[REDACTED]  
Cc City Clerk <CityClerk@gpwmi.us>

Good Morning Ashley/Laura,

Please see the email below regarding support of the 21800 Marter Rd. rezoning. This was received after hours yesterday.

Thank you,

**Paul P. Antolin, MiPMC**  
City Clerk

City of Grosse Pointe Woods – Clerk's Office  
20025 Mack Plaza Dr.  
Grosse Pointe Woods, MI 48236-2397  
Phone: 313-343-2440  
Fax: 313-343-5667

**From:** Ryan Sekol [REDACTED]  
**Sent:** Tuesday, December 9, 2025 5:52 PM  
**To:** Paul Antolin <pantolin@gpwmi.us>  
**Subject:** Tonight's Planning Commission Meeting

**CAUTION:** This email originated from outside of the organization. DO NOT click links, open attachments or reply to this message unless you recognize the sender and know the content is safe:

Dear GPW Planning Commission

While we are not able to attend tonight's planning commission meeting, we are writing in support of rezoning of 21800 Marter Road from R-3 to C.F. Community Facilities.

One thing we love about living in Grosse Pointe Woods is how many kids are involved with youth sports but one thing our community lacks is indoor training space, especially turf fields. Currently, to train indoors you have to travel a long way or use in a small cramped area. Having a facility like this proposed space located in GPW would be extremely beneficial to the many families that participate in Eastside FC, especially since a large portion of those families are residents of GPW. My son and his friends love the Eastside FC club but are envious when traveling to other locations and seeing how much space they have to train. The proposed facility will not only allow for better indoor training for the Eastside FC kids but combination of turf and pickleball courts offers opportunities to all ages to exercise and enjoy the facility.



I respectfully ask the planning commission to approve the rezoning request as this development will have many benefits for the community.

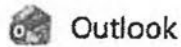
Thank you,

Ryan and Jennifer Sekol

19919 W Doyle Pl

Property of the City of Grosse Pointe Woods. If you have received this transmission in error, please delete immediately.





---

**FW: Proposed Pickleball/Soccer Bldg at Assumption**

---

From Paul Antolin <pantolin@gpwmi.us>

Date Thu 12/11/2025 11:50 AM

To Ashley Jankowski <ajankowski@mcka.com>; Laura Haw <LHaw@mcka.com>; Chris Fenton  
[REDACTED]

Cc City Clerk <CityClerk@gpwmi.us>

Good Morning,

Please see the email below in support of the Assumption project on Marter Rd.

Thank you,

**Paul P. Antolin, MiPMC**  
**City Clerk**

City of Grosse Pointe Woods – Clerk's Office  
20025 Mack Plaza Dr.  
Grosse Pointe Woods, MI 48236-2397  
Phone: 313-343-2440  
Fax: 313-343-5667

**From:** JAMES SOLOMON [REDACTED]  
**Sent:** Thursday, December 11, 2025 11:27 AM  
**To:** Paul Antolin <pantolin@gpwmi.us>  
**Subject:** Proposed Pickleball/Soccer Bldg at Assumption

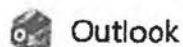
**CAUTION:** This email originated from outside of the organization. DO NOT click links, open attachments or reply to this message unless you recognize the sender and know the content is safe:

Hi Paul,  
Just want you to know I support the proposed Pickleball/Soccer building behind Assumption on Marler Road in Grosse Pointe Woods.

I think it would very beneficial given the huge popularity of Pickleball these days.

Jim Solomon  
Grosse Pointe Woods Resident  
Property of the City of Grosse Pointe Woods. If you have received this transmission in error, please delete immediately.





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**FW: Pickleball Complex at Assumption Church**

---

**From** Paul Antolin <pantolin@gpwmi.us>

**Date** Mon 12/8/2025 8:51 AM

**To** Ashley Jankowski <ajankowski@mcka.com>; Laura Haw <LHaw@mcka.com>; Chris Fenton

**Cc** City Clerk <CityClerk@gpwmi.us>

Good Morning Ashley/Laura,

Please see the email below regarding support of the Assumption Church project. Please include this email for the upcoming Planning Commission meeting.

Let me know if you have any questions.

Thank you,

**Paul P. Antolin, MiPMC**  
**City Clerk**

City of Grosse Pointe Woods – Clerk's Office  
20025 Mack Plaza Dr.  
Grosse Pointe Woods, MI 48236-2397  
Phone: 313-343-2440  
Fax: 313-343-5667

**From:** Jim Engardio [REDACTED]  
**Sent:** Friday, December 5, 2025 4:08 PM  
**To:** Paul Antolin <pantolin@gpwmi.us>  
**Subject:** Pickleball Complex at Assumption Church

**CAUTION:** This email originated from outside of the organization. DO NOT click links, open attachments or reply to this message unless you recognize the sender and know the content is safe:

Paul,

I am writing to you in support of the proposed expansion at Assumption. It has been my experience at Assumption that the pickleball operation runs smoothly but is disruptive to the everyday church activities. This new building will provide a much needed indoor facility that is not available in GPW and will complement the outdoor courts at the nearby Woods park.

Please consider supporting this project.

Jim Engardio  
1581 Oxford Rd  
[REDACTED]



# ASSUMPTION CHURCH SPORTS FACILITY

21800 MARTER RD,  
ST CLAIR SHORES, MI  
48080

## ARCHITECT

STUCKY VITALE ARCHITECTS  
27172 WOODWARD AVENUE,  
ROYAL OAK, MI 48067  
(248)-546-6700

## PROJECT OWNER

ASSUMPTION GREEK ORTHODOX CHURCH  
21800 MARTER  
ST CLAIR SHORES, MI 48080

## SHEET DESIGNATION

DRAWINGS ARE NUMBERED ACCORDING TO THE FOLLOWING CONVENTIONS:

A001

DISCIPLINE DESIGNATOR	DRAWING TYPE DESIGNATOR
G	GENERAL, LEGENDS
LS	1 PLANS
C	2 REFLECTED CEILING PLANS
L	3 EXTERIOR ELEVATIONS
S	4 SECTIONS
AD	5 ENLARGED PLANS
DEM	6 INTERIOR ELEVATIONS
A	7 INTERIOR AND MILLWORK DETAILS
F	8 DETAILS
P	9 DOOR AND WINDOW SCHEDULES AND DETAILS
M	
E	

## PROJECT INFORMATION

### PROJECT DESCRIPTION

CONSTRUCTION OF A 42,075 SQUARE FOOT MULTI-USE FACILITY WITH AN INDOOR TURF FIELD AND 8 PICKLEBALL COURTS ON AN EXISTING 402,964 SQUARE FOOT SITE. THE SITE CONTAINS AN EXISTING 51,661 SQUARE FOOT CHURCH BUILDING.

### APPLICABLE CODES:

2021 MICHIGAN BUILDING CODE (MBC)  
2021 MICHIGAN MECHANICAL CODE (MMC)  
2021 MICHIGAN PLUMBING CODE (MPC)  
2021 MICHIGAN ENERGY CODE (MEC)  
2021 ENERGY STANDARDS FOR BUILDINGS (ASHRAE 90.1)  
2023 NATIONAL ELECTRICAL CODE (NEC)  
2012 NFPA 101 LIFE SAFETY CODE

### BARRIER FREE REQUIREMENTS:

2021 MICHIGAN BUILDING CODE, CHAPTER 11  
2017 MICHIGAN ACCESSIBILITY CODE (ANSI A117.1)  
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ)

### CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

ASSEMBLY: A-3

### CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

ALLOWABLE AREA: 62,000 SQFT (FULLY SPRINKLED)  
ACTUAL AREA: 42,075 SQFT  
ALLOWABLE HEIGHT: 35FT (PER ZONING ORDINANCE)  
ACTUAL HEIGHT: 33FT 2IN (TO TOP OF RIDGE)

### CHAPTER 6 - TYPES OF CONSTRUCTION

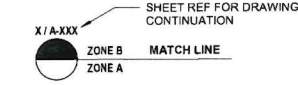
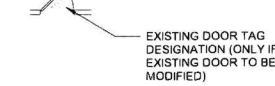
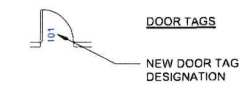
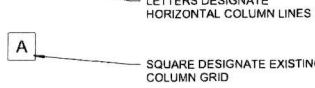
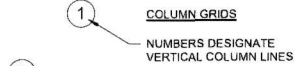
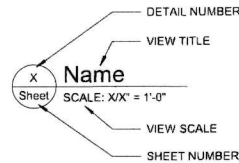
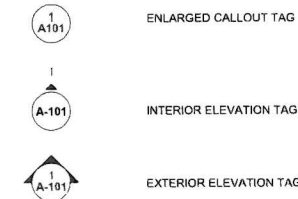
TYPE: IIA

SHEET INDEX - GENERAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
G001	COVER SHEET, GENERAL INFORMATION, DRAWING INDEX	ZBA	10.22.25
DRAWINGS: 1			
SHEET INDEX - ARCHITECTURAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
A001	PRELIMINARY SITE PLAN	ZBA	10.22.25
A010	LANDSCAPE PLAN	ZBA	10.22.25
A100	COMPOSITE FLOOR PLAN	ZBA	10.22.25
A301	EXTERIOR ELEVATIONS	ZBA	10.22.25
A302	EXTERIOR ELEVATIONS- MATERIAL	ZBA	10.22.25
DRAWINGS: 5			

### NOTE:

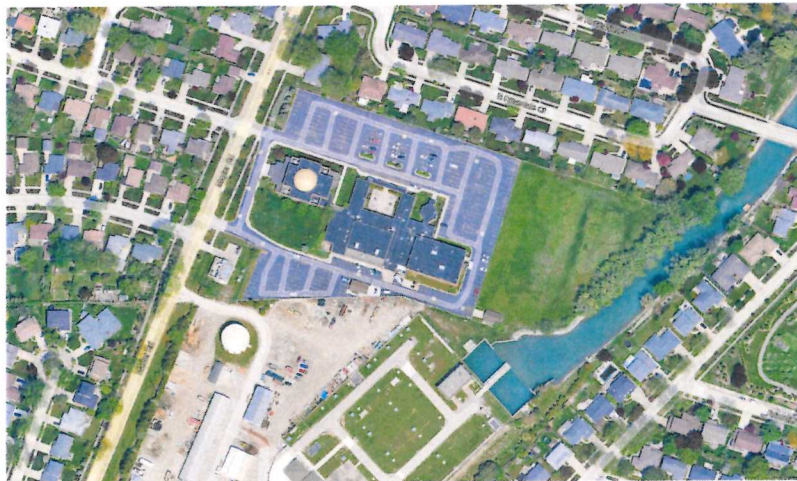
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

## SYMBOL LEGEND



## ABBREVIATION LEGEND

AND	AND	AND
AND	AND	AND
ANGLE	ANGLE	ANGLE
AT	AT	AT
ACCESS	ACCESSIBILITY	J.C
ACOUS.	ACOUSTICAL	JT.
ACT	ACOUSTICAL CEILING TILE	KIT
A.D	AREA DRAIN	LAV
ADJ	ADJUSTABLE	LG
A.F.F.	ABOVE FINISH FLOOR	L.L.V.
AL	ALUMINUM	LT
ANOD.	ANODIZED	LVT
ARCH.	ARCHITECTURAL or ARCHITECT	LUXURY VINYL TILE
ASPH.	ASPHALT	MAX
BD	BOARD	MECH
BF	BARRIER FREE	MTL
BLDG.	BUILDING	MFR.
BLK'G.	BLOCKING	MIN
BOT.	BOTTOM	MISC.
BR	BRICK	M.O.
CAB.	CABINET	N
CEM.	CEMENT	NIC
C.J	CONTROL JOINT	NOM.
CLG	CEILING	NTS
C.F.M.F.	COLD FORMED METAL FRAMING	O/C
C.O	CLEAN OUT	OFC
CLO	CLOSET	OPNG
CLR	CLEAR	OPP
COL	COLUMN	OVFD
CONC	CONCRETE	PL
C.G	CORNER GUARD	PLAM
CONST.	CONSTRUCTION	PLAS
COR.	CORRIDOR	PNT
CORR.	CORRUGATED	PLYWD
CPT	CARPET	PREFAB
C.T	CERAMIC TILE	PFN
CTSK	COUNTER SUNK	PROJ
CW	CURTAIN WALL	PT
D.F.	DRINKING FOUNTAIN	R
DET.	DETAIL	RCP
DIA.	DIAMETER	R.C
DIM.	DIMENSION	RD
DN	DOWN	REIN
D.O	DOOR OPENING	REQD
DR	DOOR	RESIL
D.S.	DOWN SPOUT	RFG
DWG.	DRAWING	RM
DWR.	DRAWER	R.S
EA	EACH	SAN
E.L.	EXPANSION JOINT	SC
EL	ELEVATION	SCHED
ELEC.	ELECTRICAL	SHT
ELEV	ELEVATOR	SIM
E.O.S./E.O.S.	EDGE OF SLAB	SPEC
E.O.D./E.O.D.	EDGE OF DECK	SS
EP	ELECTRICAL PANEL	ST
EPX	EPOXY	STD
EQ	EQUAL	STL
EQPM	EQUIPMENT	STN
E.W	EACH WAY	STOR
EXIST. / EX	EXISTING	STRUCT
EXP.	EXPOSED	SUSP
EXT	EXTERIOR	SYM
FA	FIRE ALARM	T
FD	FLOOR DRAIN	T&B
FON	FOUNDATION	TERR.
FE	FIRE EXTINGUISHER	T.O.C.
FEC	FIRE EXTINGUISHER CABINET	T&G
FHC	FIRE HOSE CABINET	THK
FIN	FINISH	THRES
FL	FLOOR	T.O.P.
F.O.	FACE OF	TA
F.O.S.	FACE OF STUD	TV
FPRF	FIREPROOF	T.Q.W.
FR	FRAME	TOS / T.O.S.
FRP	FIBERGLASS REINFORCED PANEL	TYP.
FRT	FIRE RETARDANT TREATED	U/C
F.S	FULL SIZE	UNLESS NOTED OTHERWISE
F&I	FURNISHED & INSTALLED	U.S.K.
FT.	FOOT or FEET	V.B.
FTG	FOOTING	VCT
FUR	FURRING	VERT.
GA	GAUGE	VEST
GALV.	GALVANIZED	V.F.
G.B.	GRAB BAR	V.I.F.
GFRC.	GLASS FIBER REINFORCED CONCRETE	W
GL	GLASS	WTH
GYP	GYPSUM	WB
H.B.	HOSE BIBB	W.C
H.C	HOLLOW CORE	WC
HDWD	HARDWOOD	WD
HDWE	HARDWARE	W/O
HW	HOLLOW METAL	WR
HORIZ	HORIZONTAL	WSC.
HR	HOUR	WT.
HGT	HEIGHT	W.W.F.
INSUL	INSULATION	
IMP	INSULATED METAL PANEL	
IMWP	INSULATED METAL WALL PANEL	
INT	INTERIOR	



LOCATION MAP (NOT TO SCALE)



STUCKY VITALE ARCHITECTS

27172 WOODWARD AVENUE

ROYAL OAK, MI 48067-0925

P. 248.546.6700

F. 248.546.8454

WWW.STUCKYVITALE.COM

STATEMENT OF INTELLECTUAL PROPERTY

THE FINAL CONCEPT DRAWINGS AND THOUGHTS COVERED HEREIN ARE THE INTELLECTUAL PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET OF DRAWINGS IN WHOLE OR IN PART, MAY NOT BE REPRODUCED, WITHOUT THE WRITTEN CONSENT OF STUCKY VITALE ARCHITECTS. THIS INFORMATION IS PROTECTED UNDER U.S. COPYRIGHT LAW. ALL RIGHTS RESERVED.

Consultants

Seal:



Project :

ASSUMPTION CHURCH  
SPORTS FACILITY

21800 MARTER RD,  
ST CLAIR SHORES, MI  
48080

Issued for

ZBA 10.22.25

Drawn by :

JWW

Checked by :

JAV, MJB

Sheet Title :

COVER SHEET, GENERAL  
INFORMATION, DRAWING INDEX

Project No. :

2024.154

Sheet No. :

G001

179



LEGAL DESCRIPTION

ASSESSORS PLAT NO 3 LOTS 16, 17 LOT 18 EXC WLY 110 FT AS MEAS ALG S LOT LINE LOT 19 & ALSO PT OF LOT 20 DESC AS FOLL BEG AT NW COR LOT 20 TH ELY ALG N LINE LOT 20 76.62 FT TH S47°20'44"W 201.56 FT TH WLY ALG SLY LINE LOT 20 TO SW COR LOT 20 TH NELY TO POB

SITE INFO

SITE AREA:	402,964 SQFT TOTAL (354,776 SQFT IN ST CLAIR SHORES) (48,188 SQFT IN GROSSE POINTE WOODS)
EXISTING BUILDING AREA:	52,661 SQFT (13.06% OF TOTAL SITE AREA) (51,661 SQFT / 14.56% OF SCS SITE AREA) (1,000 SQFT / 2% OF GPW SITE AREA)
PROPOSED BUILDING AREA:	42,075 SQFT (10.43% OF TOTAL SITE AREA) (34,587 SQFT / 9.75% OF SCS SITE AREA) (7,488 SQFT / 15.54% OF GPW SITE AREA)
TOTAL % OF SITE TO BE COVERED:	23.49% OF TOTAL SITE AREA
EXISTING PARKING SPACES:	268 SPACES (INCLUDING HANDICAP)



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Consultants

Seal:



Project :  
ASSUMPTION CHURCH  
SPORTS FACILITY  
  
21800 MARTER RD,  
ST CLAIR SHORES, MI  
48080

Key Plan:



Issued for  
ZBA 10.22.25

Drawn by :  
JWW  
Checked by :  
JAV  
Sheet Title :  
PRELIMINARY SITE PLAN

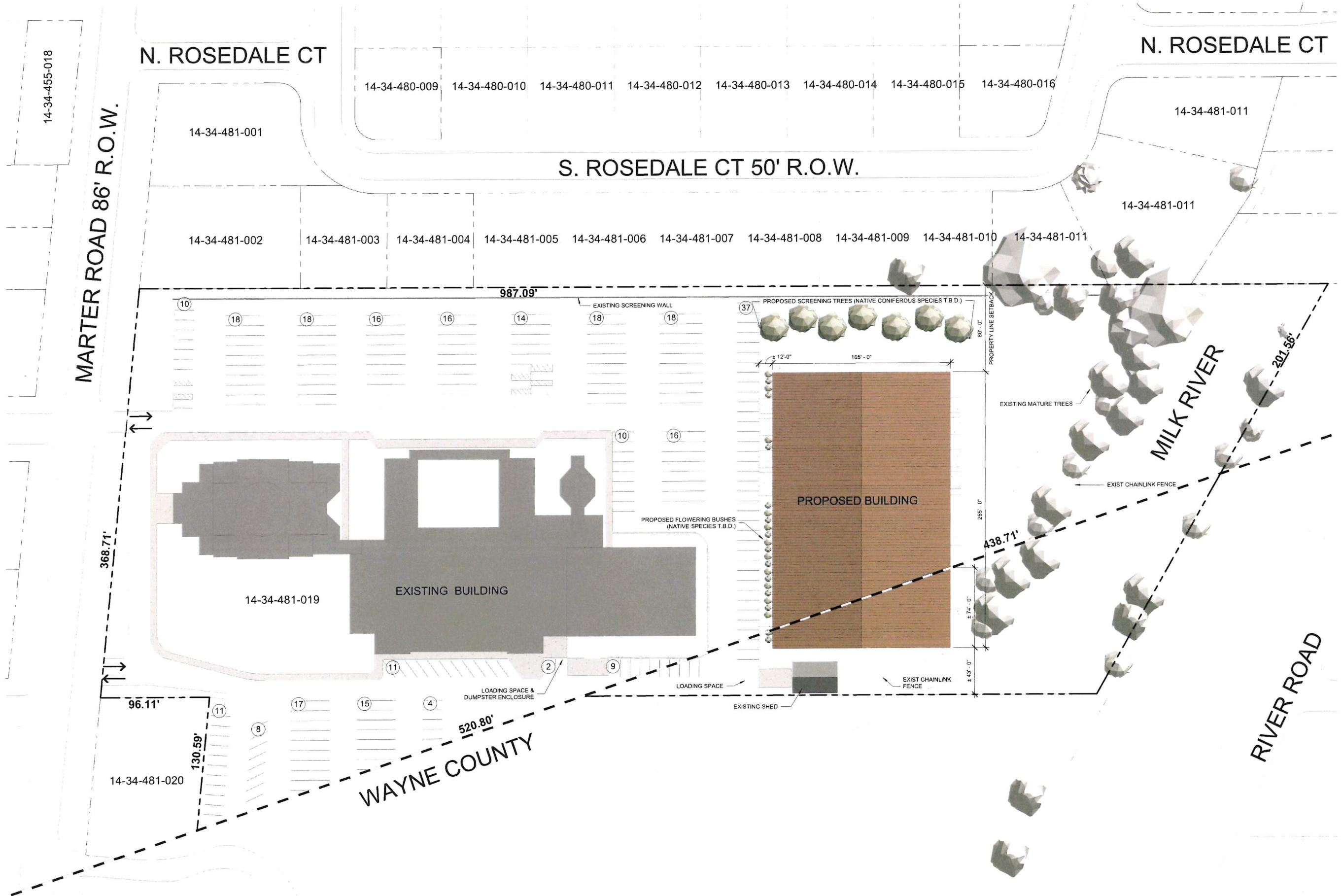
Project No. :  
2024.154

Sheet No. :

A001

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Project :  
ASSUMPTION CHURCH  
SPORTS FACILITY

21800 MARTER RD,  
ST CLAIR SHORES, MI  
48080

Key Plan:



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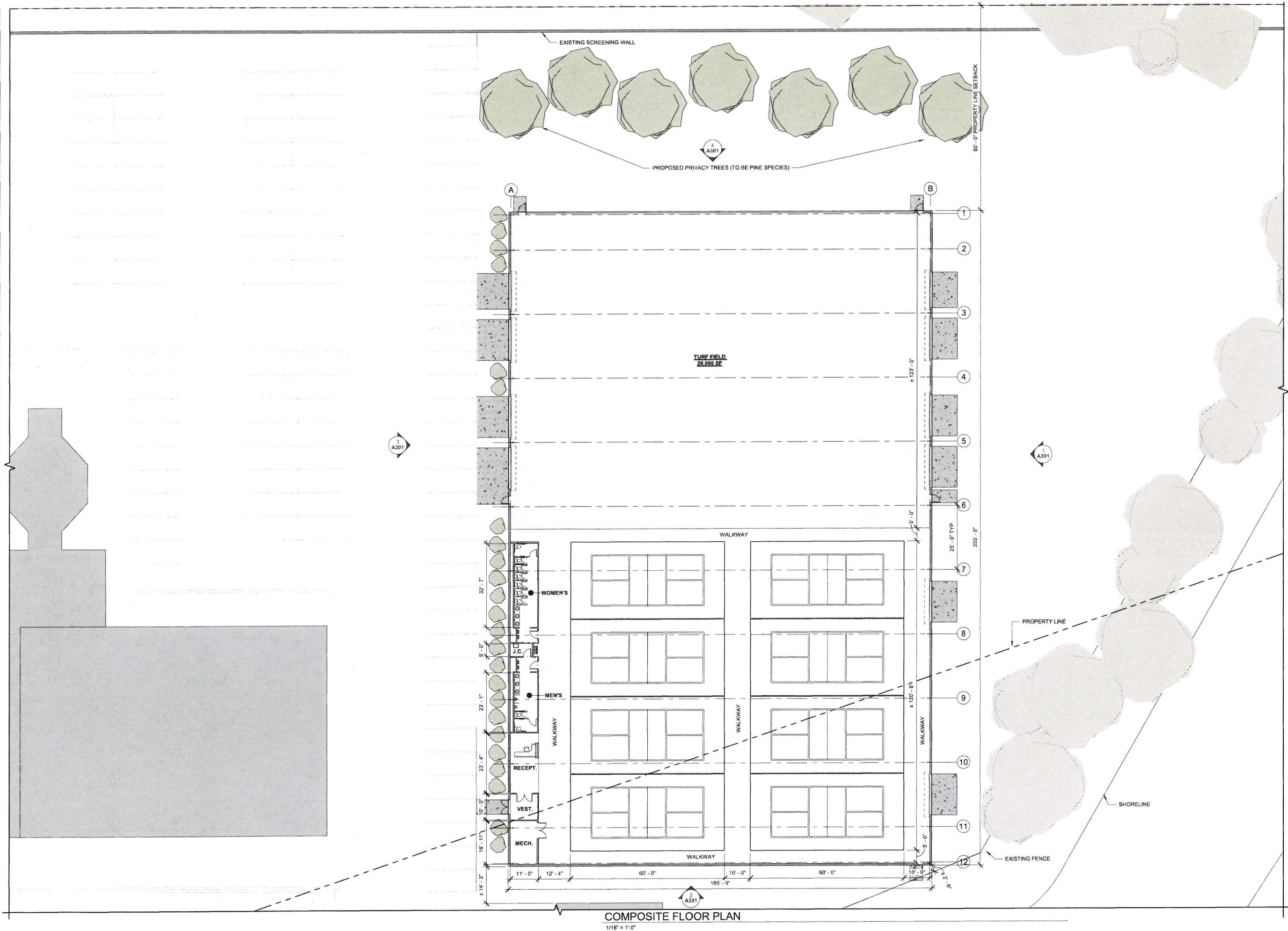
Drawn by :  
JWW  
Checked by :  
JAV  
Sheet Title :  
LANDSCAPE PLAN

Project No. :  
2024.154

Sheet No. :  
A010

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Consultants

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Project :  
ASSUMPTION CHURCH  
SPORTS FACILITY  
  
21800 MARTER RD,  
ST CLAIR SHORES, MI  
48080

Key Plan:

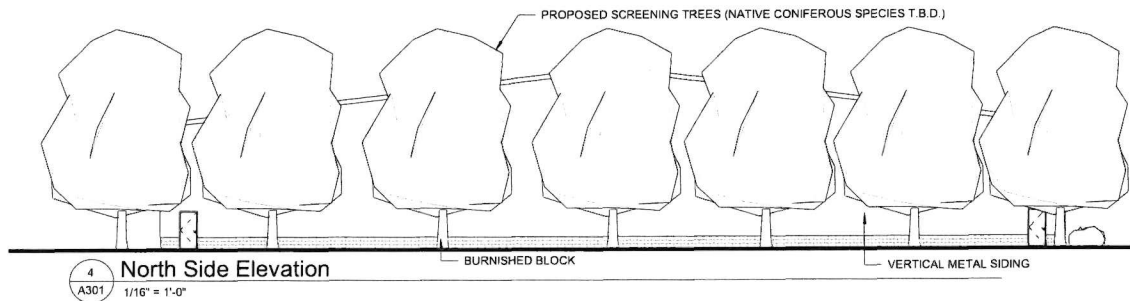
Issued for  
ZBA 10.22.25

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JWW  
Checked by :  
JAV  
Sheet Title :  
COMPOSITE FLOOR PLAN

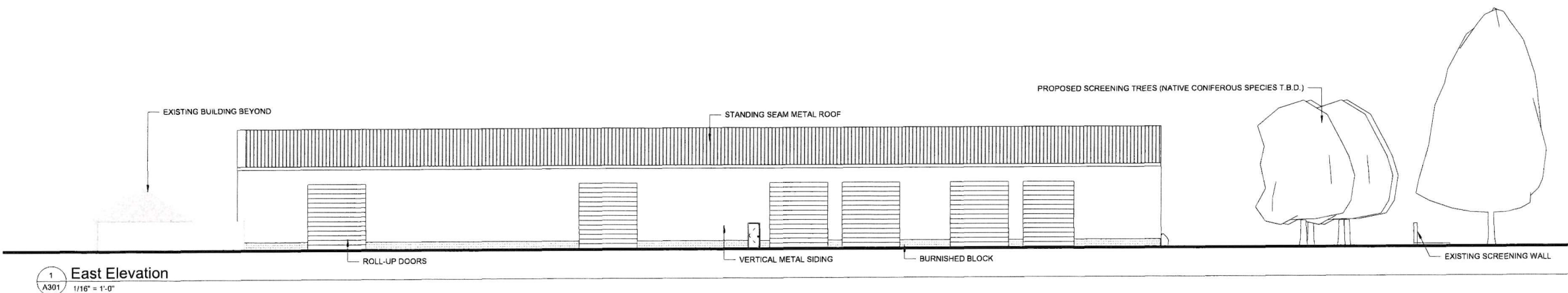
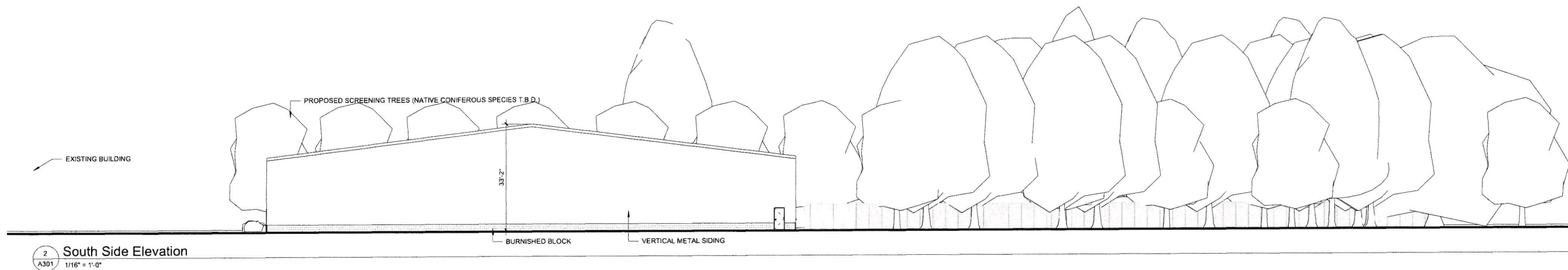
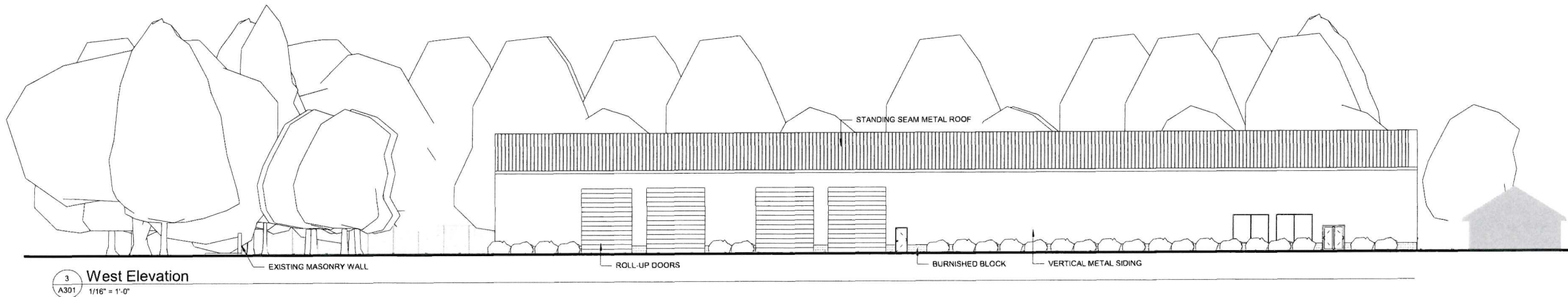
Project No. :  
2024.154

Sheet No. :  
A100





- BUILDING MATERIALS**
1. SPLITFACE CMU SKIRT @ 24" TALL (SURROUNDING BUILDING)  
- COLOR TO MATCH EXISTING BUILDING
  2. STANDING SEAM METAL ROOF  
- COLOR TO BE LIGHT TAN
  3. METAL SIDING  
- COLOR TO MATCH MASONRY SKIRT



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Seal:



Project :  
ASSUMPTION CHURCH  
SPORTS FACILITY

21800 MARTER RD,  
ST CLAIR SHORES, MI  
48080

Key Plan:



Issued for  
ZBA 10.22.25

Drawn by :  
JWW  
Checked by :  
JAV  
Sheet Title :  
EXTERIOR ELEVATIONS

Project No. :  
2024.154

Sheet No. :  
**A301** 183

2024.154 - 183 - 10/22/25





NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

BUILDING MATERIALS

1. SPLITFACE CMU SKIRT @ 24" TALL (SURROUNDING BUILDING)  
- COLOR TO MATCH EXISTING BUILDING
2. STANDING SEAM METAL ROOF  
- COLOR TO BE LIGHT TAN
3. METAL SIDING  
- COLOR TO MATCH MASONRY SKIRT



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Consultants

Seal:



Project :  
ASSUMPTION CHURCH  
SPORTS FACILITY

21800 MARTER RD,  
ST CLAIR SHORES, MI  
48080

Key Plan:



Issued for  
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AC, JWW  
Checked by :  
JAV, MJB  
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EXTERIOR ELEVATIONS-  
MATERIAL

Project No. :  
2024.154

Sheet No. :  
**A302**



The next item, under **New Business**, was to **Consider the Rezoning (Map Amendment) for 21800 Marter Road from R-3, Planned Multiple-Family Residential, to C.F., Community Facilities.**

Planner Mangan provided an overview of the application, the review that was done, and the findings of facts that support McKenna's recommendation for approval to City Council.

**MOTION** by Hamborsky, seconded by O'Keefe, that the Planning Commission recommend the Rezoning of 21800 Marter Road from R-3, to C.F., to City Council for approval based on the following findings of facts:

- a. The rezoning is consistent with Goal #4 – Community Character: Strengthen sense of place, identity, and character from the 2024 Master Plan.
- b. The rezoning brings the site closer to the intentions of the 2024 Master Plan's Future Land Use Plan, which designates the site as "Institutional".
- c. The uses permitted in the C-F, Community Facilities District, including space for public activities, schools, continuing care retirement communities, and public and private nonprofit recreational areas, are consistent with the proposed recreation facility that has been approved in St. Clair Shores.

Motion carried by the following vote:

YES: Ellis, Fenton, Fuller, Hamborsky, O'Keefe, Marx  
NO: None  
ABSENT: Gilezan, Schulte, Vitale



# AFFIDAVIT OF PROPERTY OWNERS NOTIFIED

Re: 21800 Marter Rd.  
Rezoning from R3 to CF

State of Michigan     )  
                                      ) ss.  
County of Wayne     )

**I HEREBY CERTIFY that the notice of Hearing was duly mailed First Class Mail on 11/20/2025 to the following property owners in accordance with the provisions of the 2017 City Code of Grosse Pointe Woods.**

**Paul P. Antolin, MiPMC  
City Clerk**

**See attached document for complete list.**

## **City of Grosse Pointe Woods, Michigan**

**Notice is hereby given** that the Grosse Pointe Woods Planning Commission, under the provisions of Public Act 110 of 2006, MCL 125.3101 as amended, and Grosse Pointe Woods City Code of 2022 Chapter 50, Article 7, Section 50-7.15, will hold a Rescheduled Public Hearing on Tuesday, December 9, 2025 at 7:00 p.m., at City Hall in the Council Chamber/Courtroom (located at 20025 Mack Plaza Drive, Grosse Pointe Woods, MI 48236) for the purpose of considering a rezoning of 21800 Marter Road (Parcel ID 001 99 0001 000) from R-3 Planned Multiple Family Residential to CF, Community Facilities. The property is located south of the border of St. Clair Shores, east of Marter Road and west of River Road, and the property is intersected by the Milk River. The applicant requests to develop a private indoor sport facility, which extends partially into Grosse Pointe Woods from St. Clair Shores. The Planning Commission will hear a presentation, hold a Public Hearing, and may make a recommendation to the City Council regarding the requested zoning map amendment.

All interested persons are invited to attend and will be given the opportunity for public comment. The public may appear in person or be represented by counsel. Written comments will be received in the City Clerk's Office at 20025 Mack Plaza Drive, Grosse Pointe Woods, MI 48236, or at [cityclerk@gpwmj.us](mailto:cityclerk@gpwmj.us) up to close of business preceding the hearing. Individuals with disabilities requiring auxiliary aids or services at the meeting should contact the Grosse Pointe Woods Clerk's Office at (313) 343-2440 seven days prior to the meeting. The agenda and pertinent documents will be available at [www.gpwmj.us](http://www.gpwmj.us).

For additional project information, contact the Building and Planning Department at (313) 343-2426 or e-mail: [building@gpwmj.us](mailto:building@gpwmj.us).

Paul P. Antolin  
City Clerk

**The public may appear in person or be represented by counsel. Written comments will be received in the City Clerk's office, up to the close of business preceding the hearing. A group spokesperson is encouraged on agenda items concerning organized groups. Individuals with disabilities requiring auxiliary aids or services at the meeting should contact the Grosse Pointe Woods Clerk's Office at 313 343-2440 seven days prior to the meeting.**



**21800 MARTER ROAD  
GPW SCS PARCELS**

Tax ID	Name	Address	City	State	Zip
14-34-480-014	ACCARDO, MARIA	23131 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-479-006	ADAMS, ERIC/GRACE	23124 ALGER LN	ST. CLAIR SHORES	MI	48080
14-34-456-039	ADAMS, JOSEPH W.	23013 ST. JOAN ST	ST. CLAIR SHORES	MI	48080
14-34-483-001	ALLEN, ETHAN/ELIZABETH	21917 RIVER RD	ST. CLAIR SHORES	MI	48080
14-34-481-010	ALLOR, ANGELA F/RICHARD W	23142 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-479-014	ALUIA, SALVATORE/JOSEPH P.	23190 ALGER LN	ST. CLAIR SHORES	MI	48080
002 11 0113 004	ANDARY, RAYMOND	995 BRIARCLIFF DR	GROSSE POINTE WOODS	MI	48236
14-34-481-019	ASSUMPTION GREEK ORTHODOX CHURCH	21800 MARTER RD	ST. CLAIR SHORES	MI	48080
001 99 0001 000	ASSUMPTION GREEK ORTHODOX CHURCH	21800 MARTER RD	GROSSE POINTE WOODS	MI	48236
002 11 0121 002	BARRETT, MATTHEW L	21861 RIVER RD	GROSSE POINTE WOODS	MI	48236
14-35-357-014	BESHKE, ERIN/THOMAS	23243 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-456-041	BRADFORD, BRADFORD	23025 ST. JOAN ST	ST. CLAIR SHORES	MI	48080
14-34-481-013	BURNS, JANICE/RICHARD T. - TRUST	23160 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
002 03 0007 000	BUSH, PHILLIP-JILL (TRUST)	1053 MOORLAND DR	GROSSE POINTE WOODS	MI	48236
002 05 0001 002	BUYLE, SARAH M	21803 RIVER RD	GROSSE POINTE WOODS	MI	48236
14-35-357-001	CAIN, LISA RENEE/TYE, RHONDA GAYLE	23248 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-454-039	CALABRO, BERNARD/GILDA	23007 ROSEDALE ST	ST. CLAIR SHORES	MI	48080
14-34-457-012	CARROLL, STEVEN/MELANIE	22942 ST. JOAN ST	ST. CLAIR SHORES	MI	48080
14-35-357-015	CASTRONOVA, FRANK/CAROL	23249 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-481-007	CAVANAGH, CHRISTOPHER/SUZANNE	23124 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-455-040	CELMER, MARY J./ROBERT A.	23007 AVALON ST	ST. CLAIR SHORES	MI	48080
002 03 0005 000	CHAPEL, JONATHAN-KYLIE LEE	21737 RIVER RD	GROSSE POINTE WOODS	MI	48236
14-34-455-036	CHAPMAN, CAROL	21900 BRADFORDS CT	ST. CLAIR SHORES	MI	48080
001 99 0003 702	CHARTER COUNTY OF WAYNE	500 GRISWOLD, 14TH FLOOR	DETROIT	MI	48226
001 99 0003 702	CHARTER COUNTY OF WAYNE	1190 PARKWAY DR	GROSSE POINTE WOODS	MI	48236
14-34-457-018	CHETCUTI, DAVID LOUIS	23018 ST. JOAN ST	ST. CLAIR SHORES	MI	48080
14-34-455-033	CHOJNACKI, ANTOINETTE	21901 BRADFORDS CT	ST. CLAIR SHORES	MI	48080
14-34-454-021	CIAFFONE, MICHAEL S.	23012 ALGER ST	ST. CLAIR SHORES	MI	48080
14-35-358-003	CISCHKE, KATHERINE/MATTHEW	921 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
001 99 0003 701	CITY OF GROSSE POINTE WOODS	1200 PARKWAY DR	GROSSE POINTE WOODS	MI	48236
001 99 0003 701	CITY OF GROSSE POINTE WOODS	20025 MACK PLAZA DR.	GROSSE POINTE WOODS	MI	48236
14-34-479-011	COLLINS, MARISA/TIMOTHY	23154 ALGER LN	ST. CLAIR SHORES	MI	48080
14-34-457-015	COOK, JENNIFERL/KIRK M	23000 ST. JOAN ST	ST. CLAIR SHORES	MI	48080



**21800 MARTER ROAD**

**GPW SCS PARCELS**

14-34-483-006	COUGHLIN, BENJAMIN T	21893 RIVER RD	ST. CLAIR SHORES	MI	48080
14-34-457-017	CRESSMAN, NICHOLAS/HANNAH	23012 ST. JOAN ST	ST. CLAIR SHORES	MI	48080
14-34-480-011	D'AGOSTINO, ALFRED	23113 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-455-038	DALLAS, GEORGE/SUZANNE	21909 MARTER RD	ST. CLAIR SHORES	MI	48080
14-34-480-005	DANIELLE WAY REV TRUST	23124 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-480-012	D'ANNA, MARY/SALVATORE	23119 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
002 03 0006 001	DAVIS, DOUGLAS - CHAPLOW, ANGELA	21771 RIVER RD	GROSSE POINTE WOODS	MI	48236
002 11 0117 000	DECKER, MARY LISA	1006 MOORLAND DR	GROSSE POINTE WOODS	MI	48236
14-34-454-041	DELIA, VITO/BARBARA	23019 ROSEDALE ST	ST. CLAIR SHORES	MI	48080
14-34-456-018	DELISE, CHRISTINE A.	23000 AVALON ST	ST. CLAIR SHORES	MI	48080
14-34-456-021	DEMICK, MARC/PIEPENBROK, SARAH	23020 AVALON ST	ST. CLAIR SHORES	MI	48080
14-34-455-017	DHEMBO, GENTIANA/OLSI	23012 ROSEDALE ST	ST. CLAIR SHORES	MI	48080
14-34-483-003	DOHER, ROSE M	21901 RIVER RD	ST. CLAIR SHORES	MI	48080
14-34-481-002	DOHERTY, ROBERT J/HILL, ALICE H	21900 MARTER RD	ST. CLAIR SHORES	MI	48080
14-34-456-022	ECONOMOU, HELENE L.	23024 AVALON ST	ST. CLAIR SHORES	MI	48080
14-34-456-022	ECONOMOU, HELENE L.	603 ANITA AVE.	GROSSE POINTE WOODS	MI	48236
14-34-455-032	EL BEMUS, LAURA LIN	22949 AVALON ST	ST. CLAIR SHORES	MI	48080
14-35-357-002	EL MASRI, DANA	23254 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-455-034	EPINOSA, JAIME/MARIA CARLA	21911 BRADFORDS CT	ST. CLAIR SHORES	MI	48080
14-34-456-038	FREEMAN, SHANNON LEA	23007 ST. JOAN ST	ST. CLAIR SHORES	MI	48080
14-34-482-002	FRONTCAK II, NICHOLAS/COURTNEY	22001 RIVER RD	ST. CLAIR SHORES	MI	48080
14-34-482-001	FRONTCAK, DONNA E/NICHOLAS J	22011 RIVER RD	ST. CLAIR SHORES	MI	48080
14-34-483-005	FUNK, ROBERT P/VICTORIA L	21897 RIVER RD	ST. CLAIR SHORES	MI	48080
14-34-454-038	GALVIN, ALEXANDER M / STEPHANIE J.	23001 ROSEDALE ST	ST. CLAIR SHORES	MI	48080
14-34-479-010	GENIS, CLARA ILONA	23148 ALGER LN	ST. CLAIR SHORES	MI	48080
14-34-483-002	GODSALVE, EDWARD/POMPEO, MARY	21911 RIVER RD	ST. CLAIR SHORES	MI	48080
14-35-358-001	HADDAD, DIANE M	23250 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-479-008	HAKIM, DONNA L - TRUST	23136 ALGER LN	ST. CLAIR SHORES	MI	48080
14-34-456-020	HARVEY, RONNIE D/ROGERS, JILL A	23012 AVALON ST	ST. CLAIR SHORES	MI	48080
14-34-454-023	HIRST, ALEXIS M	22015 MARTER RD	ST. CLAIR SHORES	MI	48080
14-34-479-017	HISON, ROBERT A. &	22000 MARTER RD	ST. CLAIR SHORES	MI	48080
14-34-480-003	HORNOK, JENNIFER	23112 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-481-004	INGER, DAMARIS/DOUGLAS/RICHMOND	23106 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-35-357-003	JARAKI, ALEXANDER M	23260 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080



**21800 MARTER ROAD**

**GPW SCS PARCELS**

14-34-479-016	JOHNSON, PAMALA	22010 MARTER RD	ST. CLAIR SHORES	MI	48080
14-34-454-037	JOLLIFFE, BRYCE	22979 ROSEDALE ST	ST. CLAIR SHORES	MI	48080
14-34-455-011	JONES, EVAN / LISA	22960 ROSEDALE ST	ST. CLAIR SHORES	MI	48080
14-34-456-015	JSR REAL ESTATE HOLDINGS LLC	22942 AVALON ST	ST. CLAIR SHORES	MI	48080
14-34-456-015	JSR REAL ESTATE HOLDINGS LLC	17401 MACK AVE.	DETROIT	MI	48224
14-34-455-018	KAHLICH, JULIA PARINDA/PARINDA	23018 ROSEDALE ST	ST. CLAIR SHORES	MI	48080
14-34-454-022	KARAM, DARGHAM	22035 MARTER RD	ST. CLAIR SHORES	MI	48080
14-34-479-028	KEFALLINOS, JOHN/MARY	23167 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-480-008	KELLY, JAMES B	23142 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-455-041	KENDRICK, BETHANN	23013 AVALON ST	ST. CLAIR SHORES	MI	48080
14-34-479-012	KERBY, JOHN H	23160 ALGER LN	ST. CLAIR SHORES	MI	48080
001 08 0124 002	KIM JAE SUK & JUNG HEE	21889 RIVER RD	GROSSE POINTE WOODS	MI	48236
14-34-483-007	KIM, JAE S.	21889 RIVER RD	ST. CLAIR SHORES	MI	48080
14-34-456-035	KLEISINGER, JACOB	22949 ST. JOAN ST	ST. CLAIR SHORES	MI	48080
14-34-481-009	LADEMANN, MICHELLE	23136 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-456-040	LANE, FRANKLIN/L.	23019 ST. JOAN ST	ST. CLAIR SHORES	MI	48080
14-34-455-035	LAZAR, EDVARD ROOVEL/ELIZABETH C	21910 BRADFORDS CT	ST. CLAIR SHORES	MI	48080
002 99 0001 000	LEGACY OAKS LLC	20250 HARPER AVE	DETROIT	MI	48225
002 99 0001 000	LEGACY OAKS LLC	850 BRIARCLIFF DR	GROSSE POINTE WOODS	MI	48236
14-34-481-001	LEITER, SHARON M/THOMAS W	21910 MARTER RD	ST. CLAIR SHORES	MI	48080
14-34-455-039	LEMANSKI, CHRISTINE M/SCOTT D	23001 AVALON ST	ST. CLAIR SHORES	MI	48080
14-34-479-025	LITZAN, DEBRA A/THOMAS E	23143 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-455-015	LOPICCOLO, DEBORAH/PAULINE	23000 ROSEDALE ST	ST. CLAIR SHORES	MI	48080
14-34-481-012	LOUWERS, KEVIN/MARY E	23154 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-479-015	MAGUET, IRENE E.	23200 ALGER LN	ST. CLAIR SHORES	MI	48080
14-34-480-004	MALASKI, THOMAS/JANET	23118 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
002 11 0119 000	MAMMEN, ROLF E	1036 MOORLAND DR	GROSSE POINTE WOODS	MI	48236
14-34-479-021	MASCIA, LOUIS A./ANN MARIE	23119 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-35-355-009	MCINTYRE, KATELYN/WILLIAM	23209 ROBERT JOHN RD	ST. CLAIR SHORES	MI	48080
14-34-479-013	MCKENNA, JAMES/SUZANNE	23166 ALGER LN	ST. CLAIR SHORES	MI	48080
14-34-479-005	MEGARGLE, ROBERT	23118 ALGER LN	ST. CLAIR SHORES	MI	48080
14-34-479-003	METHNER, PATRICIA/ROB	23106 ALGER LN	ST. CLAIR SHORES	MI	48080
002 05 0002 002	MICHAEL, JACQUELYNN ANGELOS ANASTAS	21837 RIVER RD	GROSSE POINTE WOODS	MI	48236
14-34-457-013	MINNE, JAMES R.	22948 ST. JOAN ST	ST. CLAIR SHORES	MI	48080



**21800 MARTER ROAD**

**GPW SCS PARCELS**

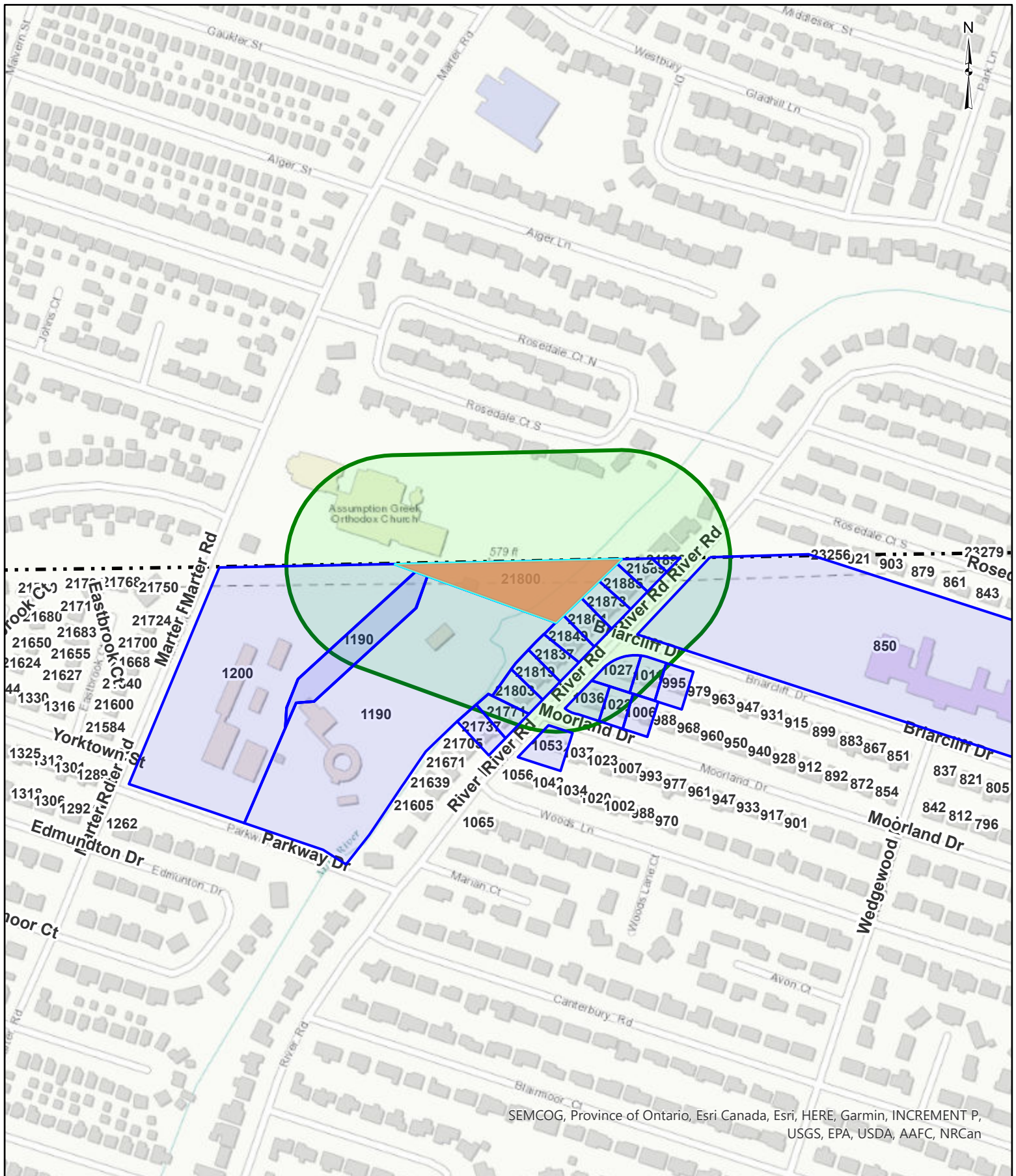
14-34-480-009	MOODY, SHARILYN M - TRUST	23101 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
002 11 0123 002	MOORE, MICHAEL	21885 RIVER RD	GROSSE POINTE WOODS	MI	48236
14-34-479-027	MOORE, SHEILA M.	23155 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-479-007	MOROSKI, BRIAN/CHRISTINE	23130 ALGER LN	ST. CLAIR SHORES	MI	48080
14-34-479-004	MULFORD, CAROLYN L	23112 ALGER LN	ST. CLAIR SHORES	MI	48080
14-34-481-005	ODREN, BENJAMIN/ODREN, THOMAS	23112 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-455-031	OSTERMAN, JAMES/K	22943 AVALON ST	ST. CLAIR SHORES	MI	48080
14-34-481-003	PAGANO, CATHLEEN	23100 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-481-006	PALMER, TERRY	23118 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-455-014	PARISH, GEORGE J. /KRISTIN	22978 ROSEDALE ST	ST. CLAIR SHORES	MI	48080
002 11 0122 002	PURRENHAGE, EDWARD C & SUSAN K	21873 RIVER RD	GROSSE POINTE WOODS	MI	48236
14-34-455-037	RASZEWSKI, HUBERT D	21911 MARTER RD	ST. CLAIR SHORES	MI	48080
14-34-455-037	RASZEWSKI, HUBERT D	1930 N. CONNECTICUT AVE.	ROYAL OAK	MI	48073
14-34-480-001	REECE, JODIE	23100 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-479-019	RHEAUME, BETSEY A/TIMOTHY J	23107 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-454-035	RIBCO, ALEC/MANCINI, DOREEN	22967 ROSEDALE ST	ST. CLAIR SHORES	MI	48080
14-34-479-001	ROBERTS, DOLORES G.	22030 MARTER RD	ST. CLAIR SHORES	MI	48080
14-34-455-043	ROTTIER, ROSALYN/ROSS E	23025 AVALON ST	ST. CLAIR SHORES	MI	48080
14-34-479-026	RUSIE, CANDICE B.	23149 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-456-017	RYDZEWSKA, MALGORZATA	22954 AVALON ST	ST. CLAIR SHORES	MI	48080
14-34-480-006	SAFADI, GEORGE/JANET	23130 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-35-358-002	SANDERSON, STEVEN/KIMBERLY - TRUST	23256 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-35-356-024	SCALABRINO, JESSICA/SWEENEY, SHAWN	23245 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-455-013	SCHUELER, JESSICA ELYSE	22972 ROSEDALE ST	ST. CLAIR SHORES	MI	48080
14-34-479-023	SCHULTZ, MARY K - TRUST	23131 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-457-014	SEGAL, DAVID L.	22954 ST. JOAN ST	ST. CLAIR SHORES	MI	48080
14-34-481-008	SERRAIOCCO, FRANK	23130 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-484-001	SETTERS, CAROLYN R/JOSEPH P	23242 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-479-024	SKORUPSKAS, ALGIS/BARBARA	23137 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
002 11 0118 000	SOARES, PRAKASH MARK	1022 MOORLAND DR	GROSSE POINTE WOODS	MI	48236
14-34-481-020	SOUTHEAST MACOMB SANITARY DISTRICT	20780 MARTER RD	ST. CLAIR SHORES	MI	48080
14-34-455-042	SPANGLER, VICTORIA	23019 AVALON ST	ST. CLAIR SHORES	MI	48080
14-34-480-007	STAPLETON, CAROLYN	23136 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-480-015	SUMNIK, ALEXANDRA	23137 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080



**21800 MARTER ROAD  
GPW SCS PARCELS**

14-34-454-020	SURINCK, JAMES J	23006 ALGER ST	ST. CLAIR SHORES	MI	48080
14-34-479-002	SWOVELAND, PATRICIA	22020 MARTER RD	ST. CLAIR SHORES	MI	48080
14-34-455-010	SZYMANSKI, PATRICIA	22954 ROSEDALE ST	ST. CLAIR SHORES	MI	48080
14-34-480-016	TAYLOR, JOHN/KELLI	23143 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
002 11 0116 000	THIBAUT, CHARLES - KATHLEEN A.	1027 BRIARCLIFF DR	GROSSE POINTE WOODS	MI	48236
14-35-357-016	THOMAS JR., JOHN/PAULETTE C.	23255 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-481-011	THURSAM, JANET M/WALTER F	23148 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-454-040	TOBIAS, JASON A	23013 ROSEDALE ST	ST. CLAIR SHORES	MI	48080
14-34-480-002	TOREY, JAMES THOMAS / KRISTEN M	23106 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
002 11 0120 002	TRIANGLE, JOSEPH	21849 RIVER RD	GROSSE POINTE WOODS	MI	48236
002 05 0001 003	TRINGALE, THERESA A	21819 RIVER RD	GROSSE POINTE WOODS	MI	48236
14-34-456-042	TURSKEY, EMILY/JACOB	23031 ST. JOAN ST	ST. CLAIR SHORES	MI	48080
14-34-480-013	VANDEGRAAF, MARY CATHERINE	23127 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-479-009	VANDERVOORT, ROBERT	23142 ALGER LN	ST. CLAIR SHORES	MI	48080
001 08 0125 001	VANSTON, KATHLEEN L	21893 RIVER RD	ST. CLAIR SHORES	MI	48236
14-34-479-018	VICTOR, MATTHEW/MARY BETH	23101 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
002 11 0115 002	VIKRAMAN VALSALA TRUST (95% / 5%)	1011 BRIARCLIFF DR	GROSSE POINTE WOODS	MI	48236
14-34-456-036	WAGNER, MARY ANN/JOHN B	22955 ST. JOAN ST	ST. CLAIR SHORES	MI	48080
14-34-479-020	WALKER, SANDRA J.	23113 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-480-010	WALTERS, THOMAS	23107 S ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-457-016	WALTON, NICOLE	23006 ST. JOAN ST	ST. CLAIR SHORES	MI	48080
14-34-455-016	WATT, DANIEL P.	23006 ROSEDALE ST	ST. CLAIR SHORES	MI	48080
14-34-479-022	WEGRZYNOWICZ, ANN M	23125 N ROSEDALE CT	ST. CLAIR SHORES	MI	48080
14-34-456-016	WEIR, ANDREA	22948 AVALON ST	ST. CLAIR SHORES	MI	48080
14-34-454-036	WISNIEWSKI, HARRY/SHARON-TRUSTEES	22973 ROSEDALE ST	ST. CLAIR SHORES	MI	48080
14-34-456-019	WITMER, JEANNETTE M/JOHN W	23006 AVALON ST	ST. CLAIR SHORES	MI	48080
14-34-456-037	ZAREMBA, DEBRORAH	23001 ST. JOAN ST	ST. CLAIR SHORES	MI	48080
14-34-455-012	ZIEMBA, SARAH / ZACHARY	22966 ROSEDALE ST	ST. CLAIR SHORES	MI	48080
	MICHIGAN CONSOLIDATED GAS CO./D.T.E. PLANNING DEPARTMENT	2000 SECOND AVENUE	DETROIT	MI	48226
	AMERITECH	444 MICHIGAN AVENUE	DETROIT	MI	48226







REC-1750  
DEC 02 2025  
JTS

# Affidavit of Publication

State of Michigan }  
County of Wayne } ss.

Sabrina Berhyot, being duly sworn, deposes and says that an advertisement of 2 columns x 3.5 inches, a true copy of which is annexed hereto, was published in the **Grosse Pointe Times**, a newspaper printed and circulated in said State and County on 11-24-25, 2025; and that he/she is the principal clerk of the printers of said newspaper, and knows well the facts stated herein.

Subscribed and sworn to before me this 24th day  
of November, 2025.

Notary Public,  
KIMBERLY A. MACOMB  
NOTARY PUBLIC, STATE OF MICHIGAN  
COUNTY OF MACOMB  
MY COMMISSION EXPIRES Dec 22, 2030

Kimberly A. Macomb  
Macomb County, Michigan

My commission expires 12.22.30

#### CITY OF GROSSE POINTE WOODS NOTICE OF PUBLIC HEARINGS

Notice is hereby given, that the Grosse Pointe Woods Planning Commission, under the provisions of Public Act 110 of 2005, MCL 125.101 as amended, and Grosse Pointe Woods City Code of 2022 Chapter 50, Article 7, Section 50-7.16, will hold two public hearings on Tuesday, December 9, 2025 at 7:00 p.m., at City Hall in the Council Chamber/Commission located at 20025 Mack Plaza Drive, Grosse Pointe Woods, MI 48230 for the purpose of considering the following applications:

**Application #1:** A rezoning of 1825, 1827, and 1829 Vanier Road (Parcel ID: 007 96 003 000 from R0-1, Residential Office to O, Commercial Business. The property is located at the corner of Vanier Road and Mack Avenue. The applicant requests to operate a city-cleaning facility alongside an existing light rail station within the existing building.

**Application #2:** A rezoning of 21000 Mariner Road (Parcel ID: 001 96 001 000 from R0-3, Planned Multiple Family Residential to OF, Community Facilities. The property is located south of the border of St. Clair Shores, west of Mariner Road and west of River Road, and the property is intersected by the M-10 Freeway. The applicant requests to develop a private indoor sport facility, which extends partially into Grosse Pointe Woods from St. Clair Shores.

For both applications, the Planning Commission will hear a presentation, hold a public hearing, and may make a recommendation to the City Council regarding the requested zoning map amendment.

All interested persons are invited to attend and will be given the opportunity for public comment. The public may appear in person or be represented by counsel. Written comments will be accepted in the City Clerk's Office at 20025 Mack Plaza Drive, Grosse Pointe Woods, MI 48230, or at [cityclerk@gpwmi.us](mailto:cityclerk@gpwmi.us) up to close of business preceding the hearing. Individuals with disabilities requiring auxiliary aids or services at the meeting should contact the Grosse Pointe Woods Clerk's Office at (313) 543-2440 seven days prior to the meeting. The agenda and pertinent documents will be available at [www.gpwmi.us](http://www.gpwmi.us).

For additional project information, contact the Building and Planning Department at (313) 343-2428 or e-mail [building@gpwmi.us](mailto:building@gpwmi.us).

Paul E. Anttila  
City Clerk

Published: Grosse Pointe Woods 11/24/2025



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**MCKENNA**

November 13, 2025

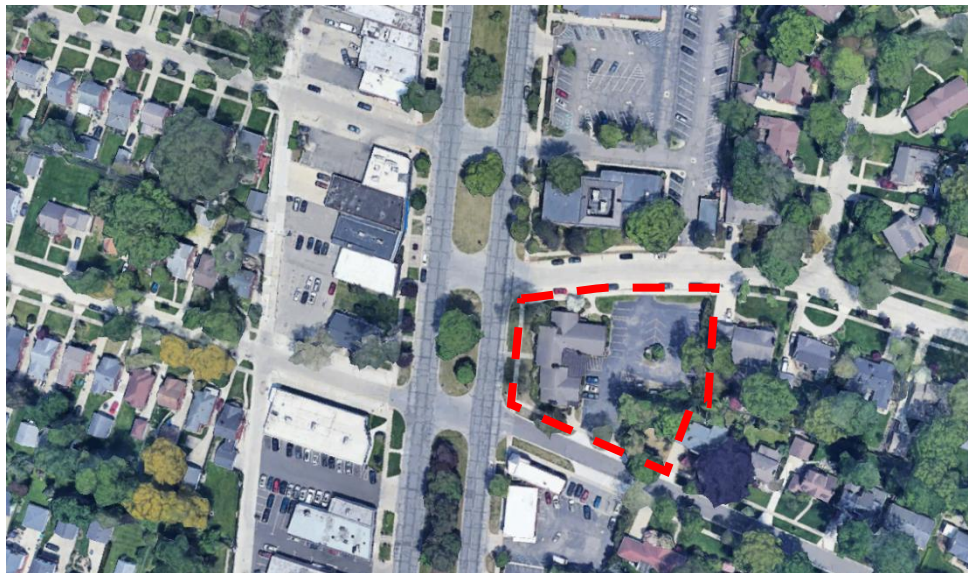
Planning Commission  
City of Grosse Pointe Woods  
20025 Mack Plaza  
Grosse Pointe Woods, MI 48236

**Subject: 20160 Mack Avenue: Conditional Rezoning (Map Amendment), Review #2**  
Parcel ID: 009-01-0001-000  
Current Zoning: RO-1, Restricted Office District  
Proposed Rezoning: C, Commercial Business District (Conditionally)

Dear Commissioners,

We have reviewed a Conditional Rezoning application submitted by Stucky Vitale Architects on behalf of Buccellato Development, LLC. The applicant proposes to conditionally rezone 20160 Mack from the RO-1, Restricted Office District to the C, Commercial Business District. The updated conditions proposed by the applicant are provided in their *Statement of Voluntary Conditions*.

The subject site is located on Mack Avenue between Oxford and S. Renaud. The existing building will be demolished and replaced with a two-story, mixed-use building. The first floor is approximately 8,800 sq. ft. for tenants across office, retail, or personal service establishments, and the second floor will have up to seven residential units.



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# Conditional Rezoning Review

## #1: MASTER PLAN AND FUTURE LAND USE CLASSIFICATIONS

**Will the proposed amendment further the comprehensive planning goals and policies of the City and is the proposed amendment consistent with the Future Land Use Map of the Master Plan?**

**Findings:** Alignment and harmony with the recently adopted Master Plan is achieved with this rezoning.

First, this rezoning is consistent with numerous goals from the 2024 Master Plan, as follows:

- **Goal #1 - Housing: Provide a range of housing choices for all ages, abilities, and incomes.** The applicant proposes a two-story, mixed-use building with multi-family residential units on the top floor. This proposed use brings housing diversity to the heart of Grosse Pointe Woods' downtown, within walking distance to daily amenities. Offering high-quality housing options can bring young professionals and growing families to the City, who might not be ready to purchase a traditional, detached home.
- **Goal #2 – Economic Development: Elevate Mack Avenue as a thriving, vibrant commercial corridor that meets the daily needs of residents and is a destination for visitors.** The applicant proposes a high-quality, aesthetically rich development that will attract both new businesses and foot traffic to Mack Avenue. The 2024 Master Plan specifically calls out the potential for mixed-use developments for revitalizing Mack Avenue and in promoting housing readiness. In particular, the Master Plan notes that “Mixed use developments often include greater density housing types with neighborhood scale commercial goods and services to serve the residents therein and could be an appropriate option along Mack Avenue. Mixed use developments are particularly amenable to the needs of seniors and children who often do not drive, by providing increased accessibility and opportunities for walkability that are not present in other areas of the City, further away from Mack Avenue.” (pg. 28).
- **Goal # 3 – Community Character: Strengthen sense of place, identity, and character throughout the City and its neighborhoods.** The applicant proposes to use brick and other high-quality building materials that complement existing structures on the Mack Avenue corridor and in the surrounding neighborhoods, which aligns with Goal #3's stated objective to “Maintain quality building materials and design throughout the City.”

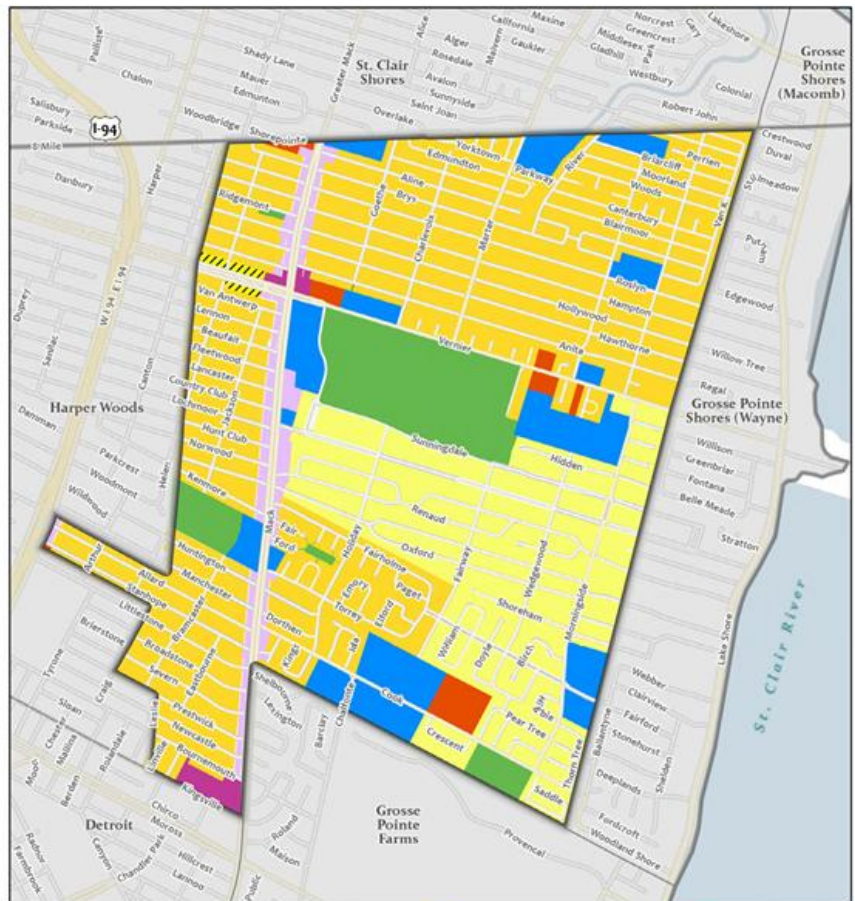
Second, this rezoning is consistent with the 2024 Master Plan's Future Land Use Map, which designates this area as *Corridor Mixed Use*.

This is described in the text of the Master Plan as, “*This land use designation includes retail, restaurant, personal service, and office establishments which are designed for the day-to-day needs of nearby residents and are found along the Mack Avenue corridor and along its easternmost boundary of Harper Avenue that extends one-and-a-half blocks between Stanhope Street and just north of Allard Avenue. These facilities are intended to be located in close proximity to residential neighborhoods but with adequate buffering. These land uses equate to the City's C Commercial zoning district, P Parking district and some areas zoned RO-1 Restricted Office*”.

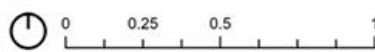




MAP 2. Future Land Use Map



Data Sources: Future Land Use: Grosse Pointe Woods, Roads: SEMCOG, ©2024 Giffels Webster



- Single Family Low Density
- Single Family Medium Density
- Two Family
- Planned Multi-Family
- Regional Business
- Institutional
- Parks and Recreation
- Corridor Mixed Use

giffels  
webster

## FUTURE LAND USE GROSSE POINTE WOODS

2024 GROSSE POINTE WOODS MASTER PLAN | 65

The 2024 Master Plan's Future Land Use Map (Pg 65 of Master Plan).





## #2: INTENT AND USES OF THE ZONING ORDINANCE

### Is the request in accordance with the basic intent and purpose of the Zoning Ordinance?

The basic intent and purpose of the Zoning Ordinance is to provide regulations on the uses of land and structures to promote and protect the public health, safety, and general welfare of the Grosse Pointe Woods community.

The chart below details the existing land use, current zoning, and the 2024 Master Plan Future Land Use designations:

Location	Existing Land Use	Zoning Districts	Future Land Use Designation (2024 Master Plan)
Subject Site	Neurology Office	RO-1, Restricted Office	Corridor Mixed Use
North	Bank Office	RO-1, Restricted Office	Corridor Mixed Use
South	Dentist	RO-1, Restricted Office	Corridor Mixed Use
East	Single-Family Residential	R1-D / R1-B, One-Family Residential	Single Family Low Density
West	Orthodontics Office / Fitness Facility / Jewelers	C, Commercial Business	Corridor Mixed Use

**Findings: Intent Statements.** The Zoning Ordinance is intended to ensure harmonious, thoughtfully planned development – and this requires an understanding of the *purpose statements* and *permitted uses* in the two applicable districts, as detailed below. To summarize, the C, Commercial District is intended to promote economic development in condense ways that serve neighboring communities with services as well as residential employment opportunities, and to reduce strip business development as well as any hazards of nuisances from any business operations.

Purpose Statement: Section 50-3.1.L: RO-1, Restricted Office	Purpose Statement: Section 50-3.1.J: C, Commercial Business
<i>“The RO-1 restricted office district is intended to permit those office and restricted business uses which will provide opportunities for local employment close to residential areas, thus reducing travel to and from work; which will provide clean, modern office buildings in landscaped settings; which will provide, adjacent to residential areas, appropriate districts for uses which do not generate large volumes of traffic, traffic congestion and parking problems; and which will promote the most desirable use of land in accordance with the city’s land use plan.”</i>	<i>“The C commercial business district is intended to be that permitting retail business and service uses which are needed to serve the nearby residential areas. In order to promote such business development insofar as it is possible and appropriate in each area, uses are prohibited which would create hazards, offensive and loud noises, vibration, smoke, glare, heavy truck traffic or late hours of operation. The intent of this district is also to encourage the concentration of local business areas to the mutual advantage of both the consumers and merchants and thereby promote the best use of land at certain strategic locations and avoid the continuance of encouraging marginal strip business development along major streets.”</i>





**Findings: Allowable Uses.** The uses permitted in the C, Commercial Business District include a mix of retail, office, restaurant, and residential uses, which are generally compatible with the commercial nature of Mack Avenue surrounding this property. While the property abuts two residential properties, the applicant has noted that buffering will be provided, per the requirements of the Grosse Pointe Woods City Ordinance. The associated site plan applications details that this proposed screening includes three new trees along the east side of the site, as well as a 5-foot stepped masonry screening wall with a decorative stone cap.

Further, the applicant has offered the voluntary condition of only one ground-floor “quick service” restaurant or food service use, which will operate approximately between the hours of 6:00am and 11:00pm, and will not include any liquor sales or service. These voluntarily offered conditions are intended to mitigate any potential adverse impact from noise and other nuisances.

### #3: SPECIFIC ZONING ORDINANCE CRITERION

**Could all requirements in the proposed zoning classification be complied with on the subject parcel?**

**Findings: Dimensional Requirements.**

The project’s compliance with dimensional standards will be further explored during the site plan review stage. However, the table below demonstrates that the proposed use can feasibly comply with the basic dimensional standards of the C, Commercial Business District. The table below demonstrates the requirements under the proposed C, Commercial Business District, and the dimensions proposed by the applicant in their corresponding Site Plan application.

Zoning Ordinance Standard	C, District Requirement Details	Required	Proposed	Notes
<b>Max. Lot Area</b>	None	None	0.758 acres	Complies
<b>Max Lot Width</b>	None	None	Mack Avenue: Approximately 134.63ft	Complies
<b>Max Lot Coverage</b>	None	None	Approximately 33,007 sq. ft.	Complies
<b>Min. Front Setback (West)</b>	No front yard is permitted where the property use is for the purposes specified in section 50-4.9 retail businesses and business offices.	0 ft.	0 ft.	Complies
<b>Min. Side Setback (North / South)</b>	In the Commercial Business District, no side yard is required on the street side of corner lots.	0 ft.	0 ft.	Complies





Zoning Ordinance Standard	C, District Requirement Details	Required	Proposed	Notes
<b>Min. Rear Setback (East)</b>	Rear yards are not required along interior rear lot lines for buildings or parts of buildings not used as dwellings, if all walls abutting or facing such lot lines are of fireproof construction and wholly without windows or other openings; provided that in all cases where the rear wall is not of fireproof construction a rear yard shall be provided, and provided further that, in all cases where the rear wall is of fireproof construction and contains windows or other openings (other than emergency exits or vents), either a rear yard or an outer court as specified in subsection I shall be provided.	8 ft.	140 ft.	Complies
<b>Max. Building Height</b>	2 stories, 28 ft.	2 stories, 28 ft.	2 stories, 28 ft.	Complies

The site meets all requirements of the C, Commercial Business District. Such a rezoning allows for a buildable lot and does not create a new non-conformity.

#### Findings: Parking and Circulation.

Currently the Site Plan indicates a total of 7 residential units on the second floor, as well as 4 ground floor commercial tenant spaces. At this time, one-bedroom dwelling unit parking requirements apply; however, if the residential units change in size/type, the appropriate parking requirements would apply. The specific uses of the proposed commercial tenants have not yet been identified, and the parking requirements for those specific uses will apply once specific tenants seek to lease the space. At this time, general retail parking requirements are applied.

Use Type	Number of Off-Street Parking Spaces Required		Number of Off-Street Parking Spaces Provided	Number of Parking Spaces within 500 ft.	Total Parking Spaces Available (on- and off-site) within 500 ft.
Multi-family Residential	Two for each efficiency or one-bedroom dwelling unit = 14 spaces	Total: 58 spaces required	45 spaces in lot	18 parking spaces on the East side of Mack Ave.	63 parking spaces (excluding S. Renaud)
Retail	One for each 200 square feet of gross floor area = 44 spaces			+ 14 parking spaces on S. Renaud	77 parking spaces total (including S. Renaud)

The site, and the surrounding 500-foot parking radius, offer flexibility in the variety of uses that could ultimately be proposed on this site. Each end user will be evaluated during the site plan phase, should this conditional rezoning be approved.





As detailed on the site plan, the proposed parking spaces comply with the minimum required dimensions of 9 ft. by 19 ft., and a 12 ft. by 50 ft. loading zone is proposed (in compliance).

Lastly, Section 50-5.3(U) requires that parking lots provide traffic lane markings to indicate entrances and exits, and to provide for the safe and orderly movement of vehicles. These required traffic lane markings are depicted on the plans. This includes markings on the ingress/egress from S. Renaud Road and on Oxford Road, as well as within the parking lot itself, as well as the inclusion of signage to bar turns onto the adjoining residential streets.

The applicant also submitted a Traffic Study, as is required for Conditional Rezoning Applications. A trip generation comparison was performed, indicating that the proposed development is comparable to the current use (medical office building) of the project site. Note that while the current medical office building is vacant, a fully operational medical office building would generate traffic comparable to estimates provided in the applicant's trip generation comparison.

The Traffic Study also sought to explore questions of pedestrian safety in the context of the new development. Sidewalks are currently provided along both sides of Mack Avenue, S. Renaud Road, and Oxford Road, and are proposed internal to the site. The Study explains that *"the proposed development includes the removal of one (1) of the existing driveways on Oxford Road, which will reduce the number of conflict points between motorized vehicles and pedestrian / bicycle traffic, thereby improving non-motorized safety"*.

#### **Findings: Architecture and Building Design:**

The proposed building will be primarily composed of high-quality brick with dark grey aluminum accents, with additional glass windows on the top and bottom floor facade. The design of the building follows traditional, high quality architectural design which is encouraged by the Zoning Ordinance.

The architectural design features and requirements will be further reviewed during the Site Plan Review process. At this time, the proposed architectural elements are in line with the traditional, timeless design style of the Mack Avenue corridor and of surrounding residential neighborhoods.



For landscaping, the applicant proposes ornamental grasses and grass lawns adjacent to the proposed building, as well as four new planted trees. A screening wall is proposed along the eastern side of the property, where the site abuts two residential properties. Currently, the screening wall proposed at the east side of the site exceeds maximum height restrictions. To reach compliance with the screening wall requirements, the applicant would need to reduce the masonry wall height to 4 feet or submit for and receive a variance for a taller masonry wall. The screening of the subject site will be determined during the site plan review process.





# Conclusions

## PROCESS

Following consideration of public comments received during the Public Hearing, the Planning Commission has the following available motions when considering a map amendment (rezoning):

- *Recommendation to the City Council for approval of the rezoning; or*
- *Recommendation to the City Council for denial of the rezoning.*
- *Table the application.*

In the case of approval or denial, the Commission must specify the findings of fact which the decision is based upon.

## RECOMMENDATION

*It is recommended that the conditional rezoning (map amendment) to the C, Commercial Business District at 20160 Mack Avenue be recommended for approval to the City Council, based on the following findings of fact:*

- This rezoning and proposed development is consistent with numerous goals from the 2024 Master Plan, including Goal #1 - Housing: Provide a range of housing choices for all ages, abilities, and incomes; Goal #2 – Economic Development: Elevate Mack Avenue as a thriving, vibrant commercial corridor that meets the daily needs of residents and is a destination for visitors; and Goal # 3 – Community Character: Strengthen sense of place, identity, and character throughout the City and its neighborhoods.*
- This rezoning brings the site closer to the intentions of the 2024 Master Plan's Future Land Use Plan, which designates the site as "Corridor Mixed Use".*
- The uses permitted in the C, Commercial Business District, including a mix of retail, office, restaurant, and residential uses, are generally compatible with the commercial nature of Mack Avenue surrounding this property. The applicant must provide appropriate buffering between adjacent properties of dissimilar zoning, per the requirements of the Ordinance, during the site plan review process.*
- While the Voluntary Conditions offered by the applicant place an additional limitation on the type of future occupancy, i.e.: "The property shall be limited to one potential "quick services restaurant" with no drive-through and shall not exceed 3,200 square feet", restaurants are subject to the City's Special Land Use process. Should a restaurant be proposed in the future, an additional public hearing and review of the specific use (including maximum occupancy, square footage, available parking, loading, etc.) will be evaluated for compliance with the Zoning Ordinance.*
- The site meets all Zoning Ordinance dimensional requirements of the C, Commercial Business District. The rezoning allows for a buildable lot and does not create a non-conformity.*
- The rezoning is not anticipated to significantly alter traffic generation in the area. The proposed uses are anticipated to generate comparable amounts of traffic to that of an operating medical office, and*





pedestrian and non-motorized transportation safety is expected to be improved through sidewalk connectivity and the reduction of a driveway.

- g. The design of the building follows traditional, high quality architectural design which is encouraged by the Zoning Ordinance and is largely compatible with the Mack Avenue Corridor and surrounding neighborhoods.

If you have further questions, please do not hesitate to contact us.

Respectfully submitted,

**McKENNA**

Ashley Jankowski, AICP  
Associate Planner





09/30/2025

Building Department  
City of Grosse Pointe Woods  
20025 Mack Plaza,  
Grosse Pointe Woods, MI 48236

Re: 20160 Mack Ave.  
Architects' Project No.: 2025.018

To Whom it May Concern,

Please find below a detailed written statement fully explaining the request to rezone the property at 20160 Mack Ave.

The existing zoning of the parcel at 20160 Mack Ave. is RO-1 and its current use is for a medical office. The request to rezone this parcel to C Commercial is to permit re-development of the site as a mixed use two-story building. The existing building and parking lot on site are currently in poor condition. The intent of the development group is to demolish the existing building and parking lot and construct a new building approximately 8,800 square feet and parking lot suitable for the proposed commercial and residential uses. The location and layout of ingress and egress on the southern property boundary will be modified to accommodate the new parking layout. There are no proposed changes to the existing property boundaries. All necessary steps will be taken to provide appropriate buffering between adjacent properties of dissimilar zoning per Grosse Pointe Woods City Ordinance. Additional details may be found in the drawings enclosed.

Sincerely,

John A. Vitale, AIA, NCARB

Enclosure: City Submittal Update Drawings







Attach a detailed written statement fully explaining your request.

8. Present Use of Property: EXISTING MEDICAL OFFICE

9. Attach an Accurate Drawing of the Site Showing:

- a) Property boundaries
- b) Existing buildings
- c) Unusual physical features of the site or building
- d) Abutting streets
- e) Existing zoning on adjacent properties
- f) Location of buildings on adjacent properties

10. Names and Addresses of all other Persons, Firms or Corporations having a Legal or Equitable Interest in the Property:

N/A

Applicant must provide lease, purchase agreement or written authorization from Owner.

**DECLARATION:**

I, the applicant, do hereby declare that I am the owner, or the authorized agent of the owner, of the above, legally described property on which the request is proposed, and that the answers given herein are true to the best of my knowledge. I understand that if the request is granted, I am in no way relieved from all other applicable requirements of the City of Grosse Pointe Woods Zoning Ordinance.

By virtue of my application, I do hereby declare that the appropriate appointed officials and City staff responsible for the review of my application are given permission to visit and inspect the property regarding my petition in order to determine the suitability of the request.

Applicant Signature:  Date: 09/30/2025

**Filing Fee:** \$750.00 + Public Hearing Fee \$375





Date: 9/30/2025

City Council of Grosse Pointe Woods  
20025 Mack Plaza Drive  
Grosse Pointe Woods, MI 48236

**Subject: Conditional Rezoning Request — Proposed Conditions**

To Whom it May Concern,

On behalf of Buccellato Development and Mack & Oxford, LLC, we are submitting the following conditions in support of our request for conditional rezoning of the property located at 20160 Mack Ave. Grosse Pointe Woods, MI 48236.

1. Limitation on type of occupancy — The property shall be limited to one potential "quick service restaurant" with no drive through and shall not exceed 3,200 square feet.
2. Residential Use — We are committed to a second-story residential use consisting of up to seven (7) apartment units.
3. Hours of Operation — The restaurant shall operate approximately between the hours of 6:00 a.m. and 10:00 p.m. Hard liquor sales or service shall not be permitted.
4. Setbacks — Setbacks shall be as shown on Site Plan A-1.
5. Provide Dust Mitigation Plan at time of construction.
6. Construction Hours per city of GPW City Ordinances.

These conditions are proposed to ensure that the development remains compatible with the surrounding area and consistent with the intent of the GPW zoning ordinance.

Thank you for your review and consideration of this request.

Sincerely,  
Justin A. Buccellato  
Buccellato Development



# MIXED-USE DEVELOPMENT

20160 Mack Ave, Grosse Pointe Woods, MI 48236

## DEVELOPER

BUCCELLATO DEVELOPMENT  
20259 MACK AVE, SUITE 2  
GROSSE POINTE WOODS, MI 48236  
(313) 300-7280

## ARCHITECT

STUCKY VITALE ARCHITECTS  
27172 WOODWARD AVENUE  
ROYAL OAK, MICHIGAN 48067  
(248) 546-6700

## PROJECT INFORMATION

### PROJECT DESCRIPTION

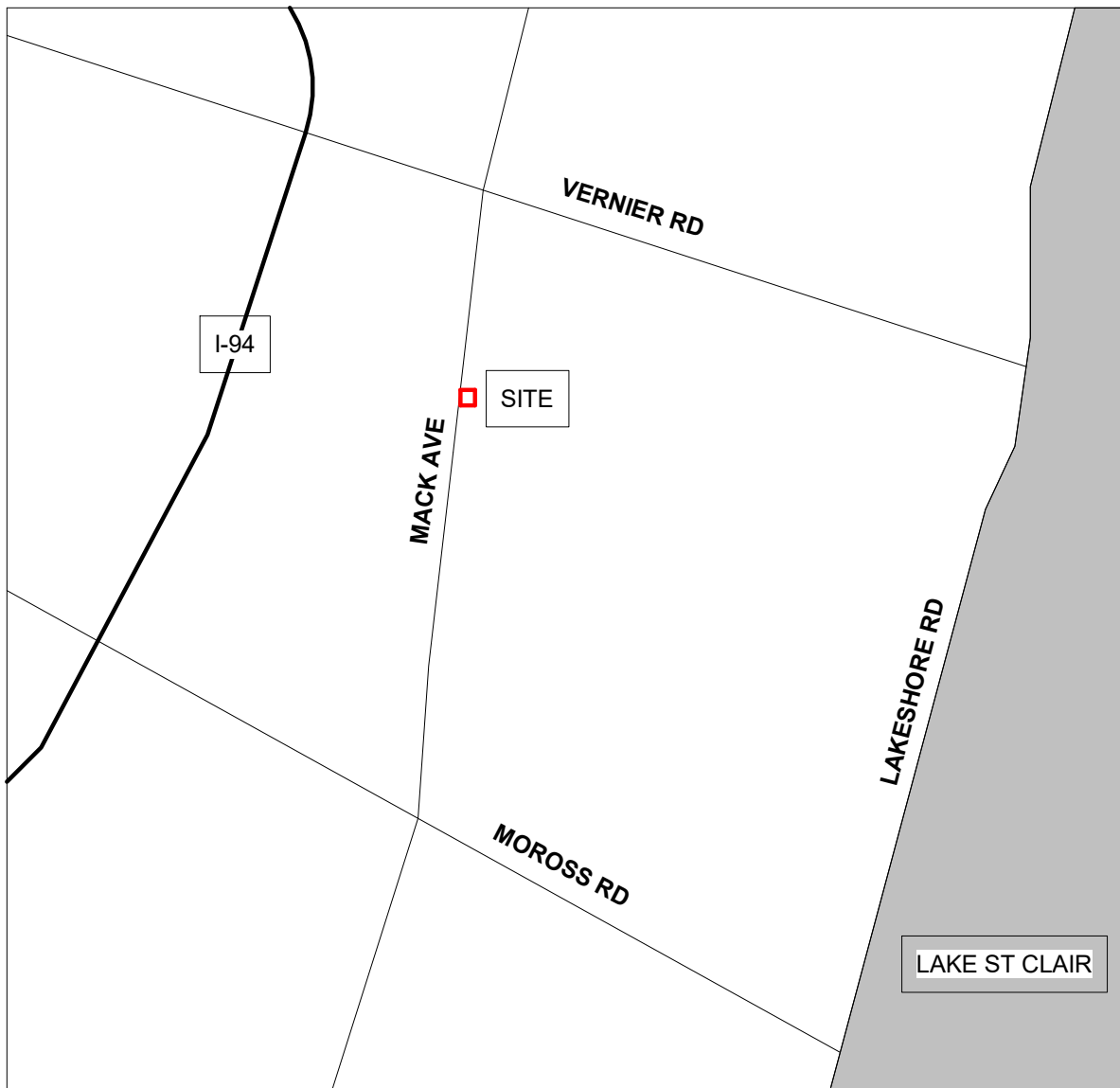
RE-DEVELOPMENT OF EXISTING SITE FOR MIXED USE, TWO-STORY.

DEMOLITION OF EXISTING STRUCTURE & CONSTRUCTION OF NEW MIXED USE DEVELOPMENT.

IMPROVEMENTS TO EXISTING SITE AND PARKING LOT.

SHEET INDEX - GENERAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
G1	COVER SHEET, GENERAL INFORMATION, DRAWING INDEX	CITY SUBMITTAL	09.30.25
DRAWINGS: 1			
SHEET INDEX - ARCHITECTURAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
A1	SITE PLAN + LANDSCAPE PLAN + DETAILS	CITY SUBMITTAL	09.30.25
A2	EXTERIOR ELEVATIONS + RENDERING	CITY SUBMITTAL	09.30.25
A3	FLOOR PLAN - GROUND LEVEL	CITY SUBMITTAL	09.30.25
A4	FLOOR PLAN - UPPER LEVEL	CITY SUBMITTAL	09.30.25
DRAWINGS: 4			
SHEET INDEX - REFERENCE			
DWG #	DRAWING NAME	ISSUED FOR	DATE
1 OF 1	PHOTOMETRIC PLAN	CITY SUBMITTAL	09.30.25
1 OF 1	ALTAINSPS LAND TITLE SURVEY	CITY SUBMITTAL	09.30.25
DRAWINGS: 2			

NOTE:  
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY. CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.



VICINITY MAP  
SCALE: N.T.S.



CONCEPTUAL RENDERING

## SYMBOL LEGEND

	ENLARGED CALLOUT TAG
	INTERIOR ELEVATION TAG
	EXTERIOR ELEVATION TAG
	DETAIL NUMBER
	VIEW TITLE
	VIEW SCALE
	SHEET NUMBER

## ROOM NAME

ROOM NAME	ROOM TAG
101	

FLOOR NAME	LEVEL REFERENCE
ELEV. 100'-0"	

	DATUM WORKPOINT
0, 0	

	COLUMN GRIDS
1	
A	

	LETTERS DESIGNATE HORIZONTAL COLUMN LINES
A	
A	

## DOOR TAGS

	NEW DOOR TAG DESIGNATION
101	

	EXISTING DOOR TAG DESIGNATION (ONLY IF EXISTING DOOR TO BE MODIFIED)
101	

## PARTITION TAG

	KEYNOTE TAG
XX	

	EQUIPMENT TAG
XX	

	SHEET REF FOR DRAWING CONTINUATION
X / A-XXX	

	MATCH LINE
ZONE B	
ZONE A	

## ABBREVIATION LEGEND

& L @	AND ANGLE AT	± or 0 ±	CENTERLINE DIAMETER PLUS OR MIN
ACCESS.	ACCESSIBILITY	N	NORTH
ACOUS.	ACOUSTICAL	NIC	NOT IN CONTRACT
ACT	ACOUSTICAL CEILING TILE	NOM	NOMINAL
A.D.	AREA DRAIN	NTS	NOT TO SCALE
ADJ	ADJUSTABLE	O/C	ON CENTER
A.F.F.	ABOVE FINISH FLOOR	OFC	OFFICE
AL	ALUMINUM	OPNG	OPENING
ANOD.	ANODIZED	OPP	OPPOSITE
ARCH.	ARCHITECTURAL or ARCHITECT	OVFD	OVERFLOW DRAIN
ASPH.	ASPHALT	PL	PLATE
BD.	BOARD	PLAM	PLASTIC LAMINATE
BF	BARRIER FREE	PLAS	PLASTER
BLDG.	BUILDING	PNT	PAINT
BL'G.	BLOCKING	PLYWD	PLYWOOD
BOT.	BOTTOM	PREFAB	PREFABRICATED
BR	BRICK	PFN	PREFINISH or PREFINISHED
CAB.	CABINET	PROJ	PROJECTION
CEM.	CEMENT	PT	POINT
C.J.	CONTROL JOINT	R	RISER
CLG	CEILING	RCP	REFLECTED CEILING PLAN
C.F.M.F.	COLD FORMED METAL FRAMING	R.C.	ROOF CONDUCTOR
C.O.	CLEAN OUT	RD	ROOF DRAIN
CLO.	CLOSET	REINF	REINFORCING
CLR	CLEAR	REQ'D	REQUIRED
COL	COLUMN	RESIL	RESILIENT
CONC.	CONCRETE	RFG	ROOFING
C.G.	CORNER GUARD	RM	ROOM
CONST.	CONSTRUCTION	R.S.	ROOF SUMP
CONT.	CONTINUOUS	SAN	SANITARY
COR.	CORRIDOR	SC	SOLID CORE
CORR.	CORRUGATED	SCHED	SCHEDULE
CPT	CARPET	SHT	SHEET
C.T.	CERAMIC TILE	SIM	SIMILAR
CTSK.	COUNTER SUNK	SPEC	SPECIFICATIONS
CW	CURTAIN WALL	SO	SQUARE
D.F.	DRINKING FOUNTAIN	ST-STL.	STAINLESS STEEL
DET.	DETAIL	SS	SOLID SURFACE
DIA.	DIAMETER	ST	STONE
DIM.	DIMENSION	STD	STANDARD
DN.	DOWN	STL	STEEL
D.O.	DOOR OPENING	STN	STAIN
DR.	DOOR	STOR	STORAGE
D.S.	DOWN SPOUT	STRUCT	STRUCTURAL or STRUCTURE
DWG.	DRAWING	SUSP	SUSPENDED
DWR.	DRAWER	SYM	SYMMETRICAL
EA	EACH	T.	TREAD
E.J.	EXPANSION JOINT	T&B	TOP AND BOTTOM
EL.	ELEVATION	TERR.	TERRAZZO
ELEC.	ELECTRICAL	T.O.C.	TOP OF CURB
ELEV.	ELEVATOR	T&G	TONGUE AND GROOVE
E.O.S./EOS	EDGE OF SLAB	THK	THICK
E.O.D./EOD	EDGE OF DECK	THRES.	THRESHOLD
EP	ELECTRICAL PANEL	T.O.P.	TOP OF PARAPET
EPX	EPOXY	TA	TOILET ACCESSORY
EQ.	EQUAL	TV	TELEVISION
EQPM	EQUIPMENT	T.O.W.	TOP OF WALL
E.W.	EACH WAY	TOS / T.O.S.	TOP OF STEEL
EXIST. / EX	EXISTING	TYP.	TYPICAL
EXP.	EXPOSED	U/C	UNDERCUT
EXT.	EXTERIOR	U.N.O.	UNLESS NOTED OTHERWISE
FA	FIRE ALARM	U.S.K.	UTILITY SINK
FD	FLOOR DRAIN	V.B.	VAPOR BARRIER
FON	FOUNDATION	VCT	VINYL COMPOSITION TILE
FIRE	FIRE EXTINGUISHER	VERT.	VERTICAL
FEC	FIRE EXTINGUISHER CABINET	VEST	VESTIBULE
FHC	FIRE HOSE CABINET	VF	VINYL FLOORING
FIN	FINISH	V.I.F.	VERIFY IN FIELD
FLOOR	FLOOR	W	WIDTH
F.O.	FACE OF	W/	WITH
F.O.S.	FACE OF STUD	WB	WALL BASE
FPRF	FIREPROOF	W.C.	WATER CLOSET
FR	FRAME	WC	WALLCOVERING
FRP	FIBERGLASS REINFORCED PANEL	WD	WOOD
FRT	FIRE RETARDANT TREATED	WO	WITHOUT
F.S.	FULL SIZE	WR	WATER RESISTANT
FT.	FOOT or FEET	WSCOT	WAINSCOT
FTG.	FOOTING	WT.	WEIGHT
FUR	FURRING	W.W.F.	WELDED WIRE FABRIC
GA.	GAUGE		
GALV.	GALVANIZED		
G.B.	GRAB BAR		
GFRC.	GLASS FIBER REINFORCED CONCRETE		
GL.	GLASS		
GYP.	GYP-SUM		
H.B.	HOSE BIBB		
H.C.	HOLLOW CORE		
HDWD	HARDWOOD		
HDWE	HARDWARE		
HM	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HR	HOUR		
HGT	HEIGHT		
INSUL	INSULATION		
IMP	INSULATED METAL PANEL		
IMWP	INSULATED METAL WALL PANEL		
INT	INTERIOR		
J.C.	JANITOR'S CLOSET		
JOINT	JOINT		
KIT.	KITCHEN		
LAV	LAVATORY		
LG	LENGTH		
L.L.V.	LONG LEG VERTICAL		
LT	LIGHT		
LVT	LUXURY VINYL TILE		
MAX	MAXIMUM		
MECH	MECHANICAL		
MTL	METAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		

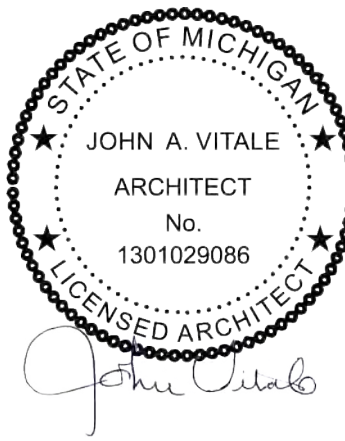


STUCKY VITALE ARCHITECTS  
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Consultants

Seal:

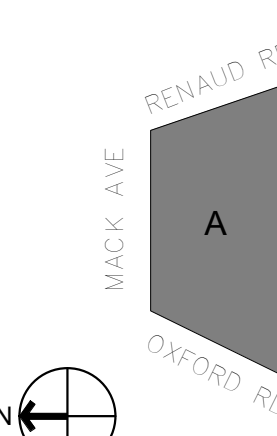


Project :

MIXED-USE DEVELOPMENT

20160 Mack Ave, Grosse Pointe Woods, MI 48236

Key Plan:



Issued for

CITY SUBMITTAL 09.30.25

Drawn by :

JPM

Checked by :

JAV

Sheet Title :

COVER SHEET, GENERAL INFORMATION, DRAWING INDEX

Project No. :

2025.018

Sheet No. :

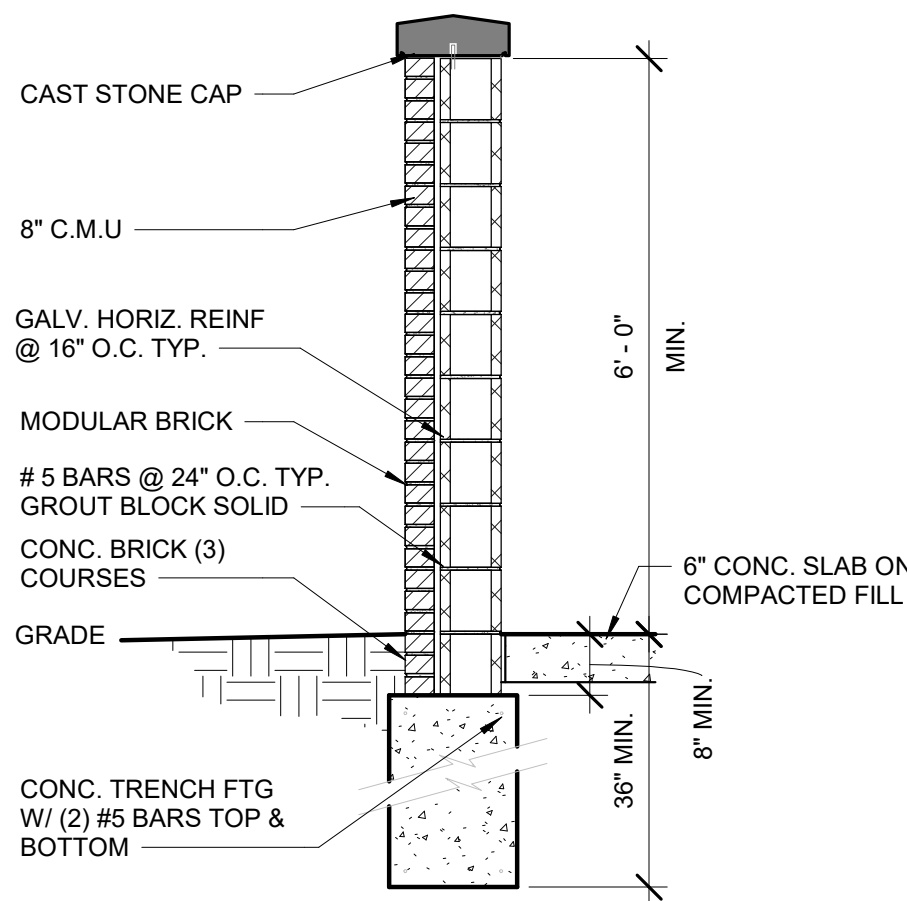
G1



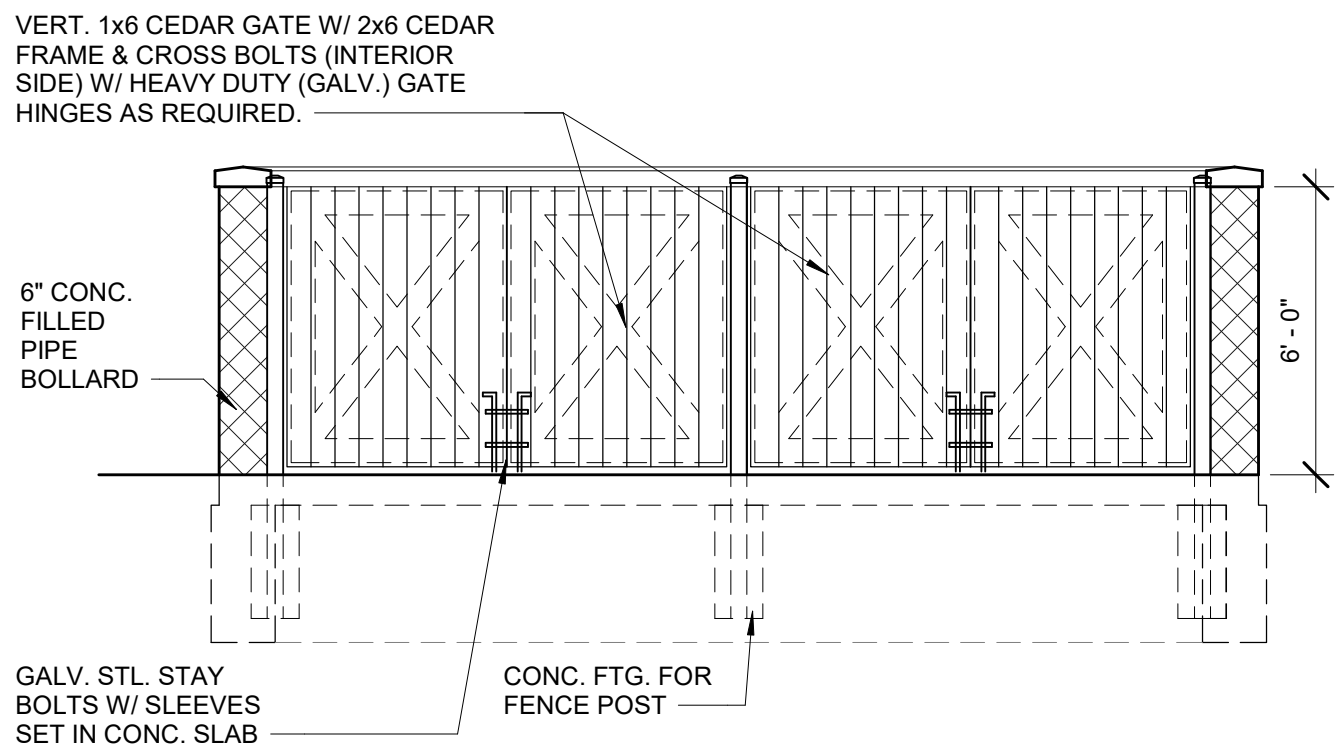
PROPOSED BUILDING FLOOR AREA AND PARKING			
FLOOR AREA	BUILDING USASE	PARKING PER USABLE AREA	PROPOSED REQUIRED PARKING
8,800 SF	RETAIL	200 SF	44
	MULTI-FAMILY RESIDENTIAL	7 UNITS (1BR/EFFICIENCY) 2 SP. EA.	14
NOTE: ORIGINAL PARKING COUNT = 34 SPACES. ADDED 11 OFF-STREET PARKING SPACES			58 TOTAL REQUIRED

Parking Schedule		
Count		
45	OFF-STREET	+ 4 METERED PARKING SPACES MACK AVE. + 9 PARKING SPACES - S RENAUD RD.
		58 TOTAL PROVIDED

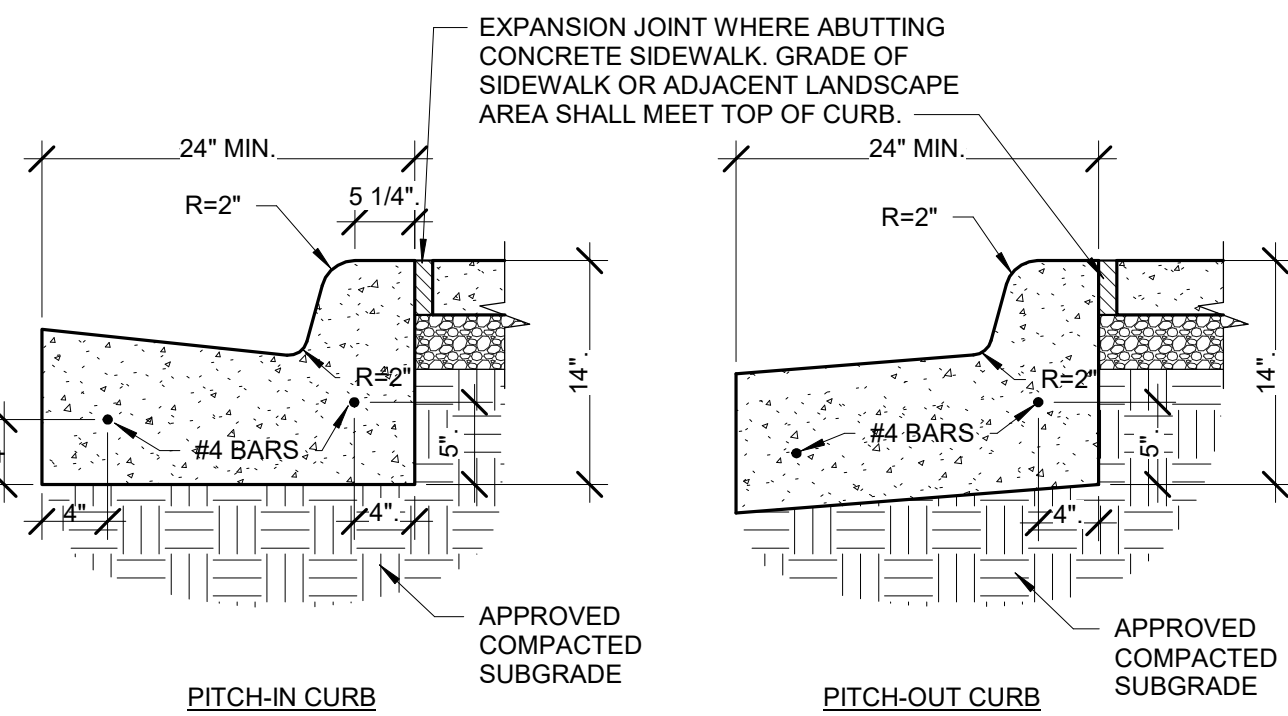
\* Calculations resulting in fractional space. When units or measurements determining the number of required parking spaces result in a requirement of a fractional space, any fraction up to and including one-half shall be disregarded and fractions over one-half shall require one parking space



2 Section At Dumpster Screen  
A1 1/2" = 1'-0"



3 Dumpster Screening Detail  
A1 1/4" = 1'-0"



- NOTES:
- CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
  - TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM SURFACE.
  - HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
  - 14" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

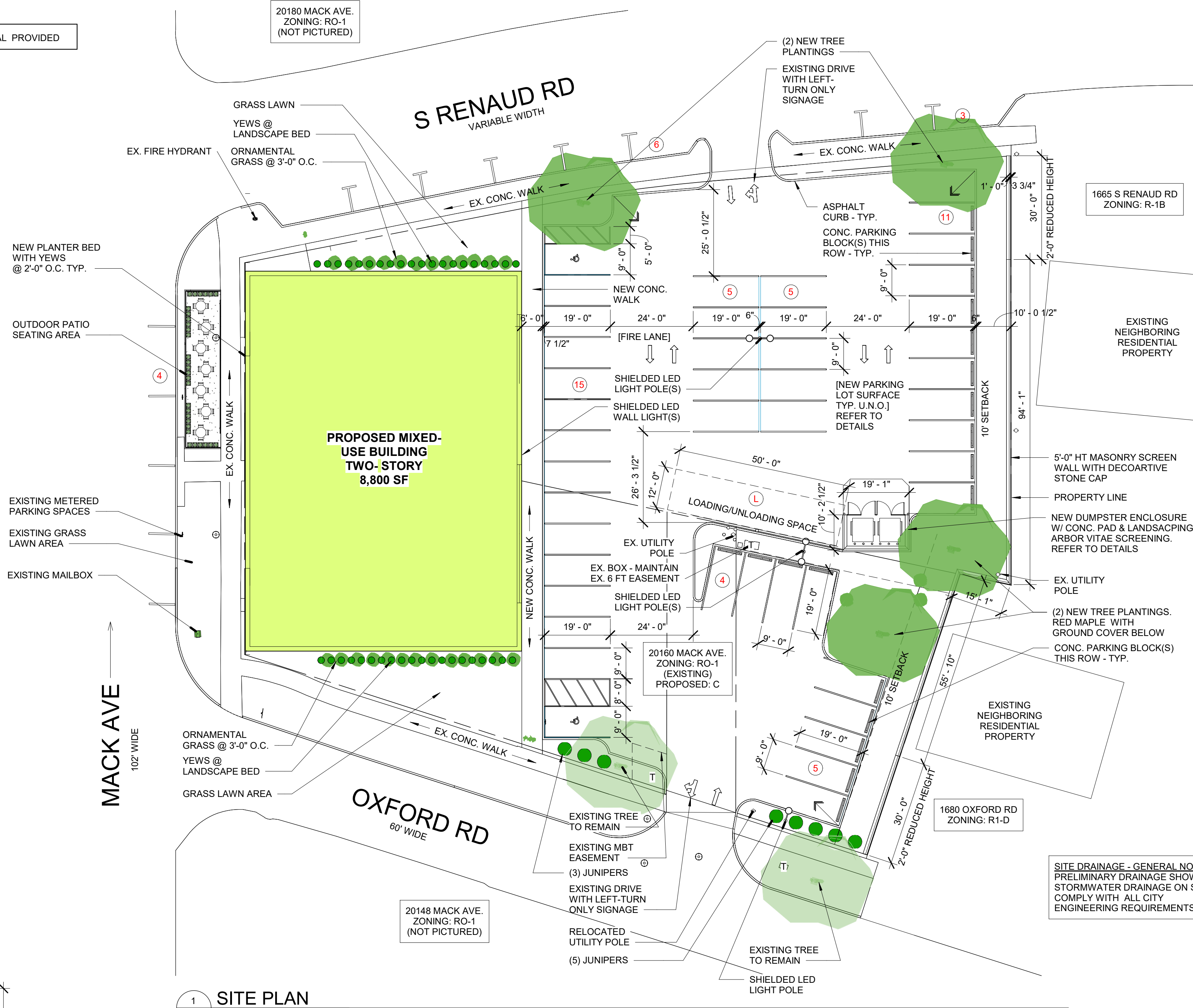
4 CONCRETE CURB AND GUTTER DETAIL  
A1 1" = 1'-0"

**SITE AREA:**  
EXISTING SITE AREA: 33,007 SF (0.758 ACRES)  
PARKING LOT AREA: 18,536 SF  
LOT SIZE: (EXISTING UNCHANGED)

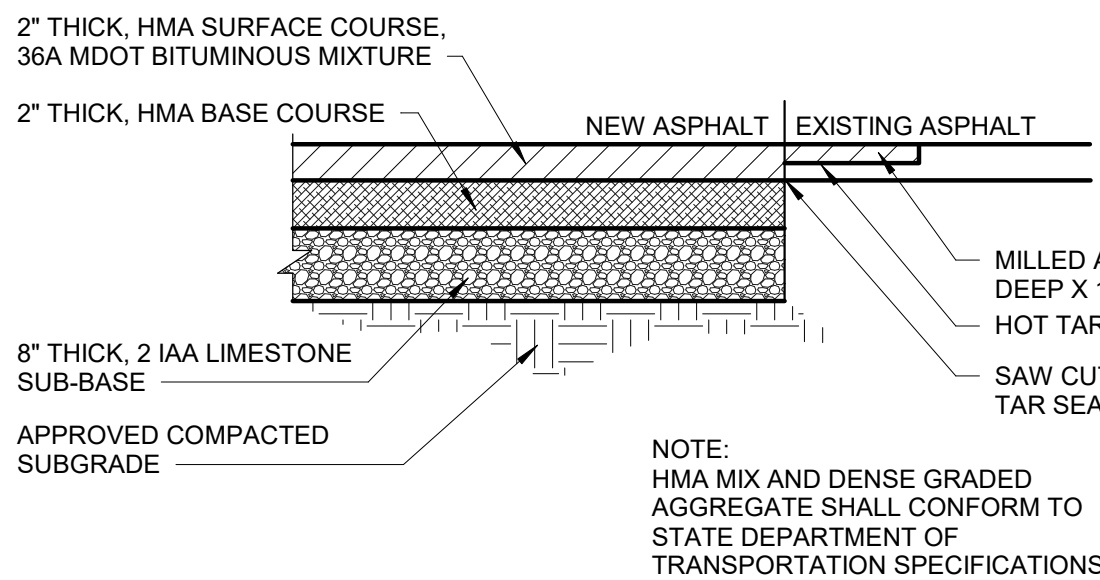
**SETBACKS:**  
C-COMMERCIAL BUSINESS  
FRONT YARD SETBACK: 0  
SIDE YARD SETBACK: 0  
CORNER LOT  
MAXIMUM BUILDING HEIGHT: (2) STORIES  
28 FEET  
PROPOSED HEIGHT: 18 FEET

**DEMOLITION SCOPE:**

- ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS DESCRIBED IN THE DEMOLITION SCOPE. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
- EXISTING STRUCTURE AND BASEMENT TO BE DEMOLISHED COMPLETELY. DISCONNECT AND CAP EXISTING UTILITIES AS REQUIRED PRIOR TO DEMOLITION.
- GENERAL PRECAUTIONS SHALL BE TAKEN AS NECESSARY TO HOLD ALL DISRUPTION, DUST, DIRT, NOISE, AND DEBRIS TO A MINIMUM. G.C. TO OBTAIN DEMOLITION PERMIT AND PROVIDE ALL NECESSARY BARRIERS AND SAFETY MEASURES IN COMPLIANCE WITH REQUIREMENTS BY AHJ.
- REMOVE ALL DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF THESE MATERIALS.
- REPAIR DAMAGED AREAS IN EXISTING PARKING LOT. PREPARE FOR NEW ASPHALT CAP



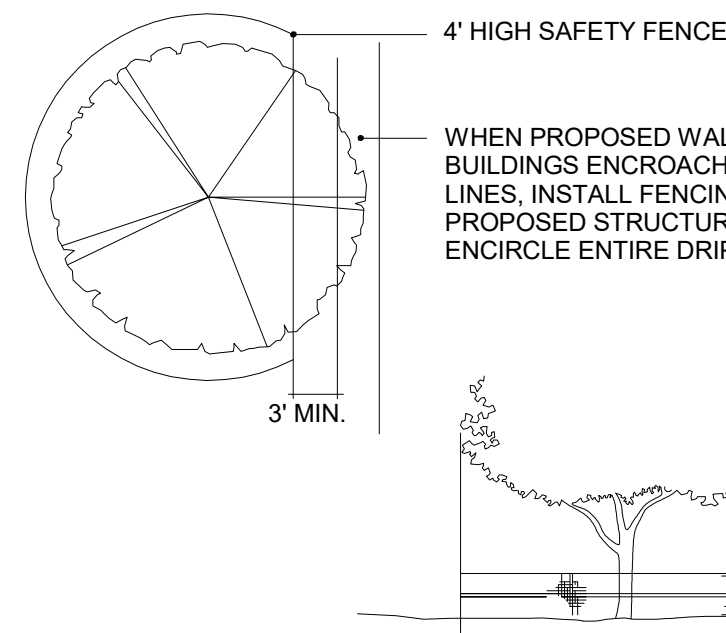
1 SITE PLAN  
A1 1" = 20'-0"



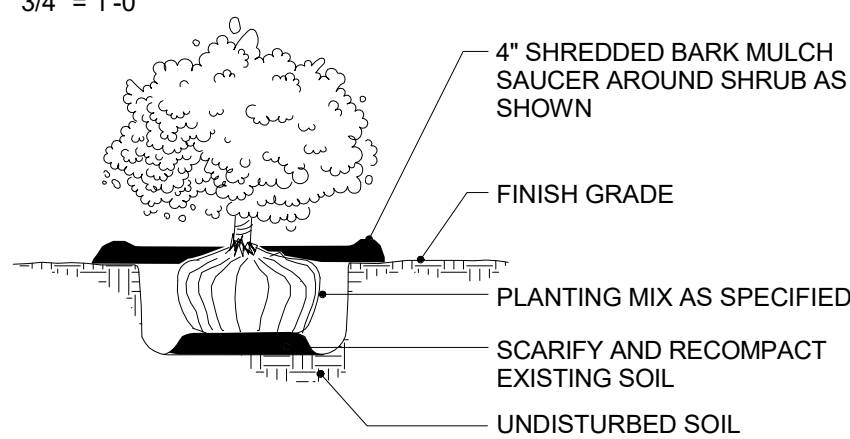
5 ON-SITE FULL DEPTH ASPHALT PAVEMENT DETAIL  
A1 1" = 1'-0"

## GENERAL SITE PLAN NOTES

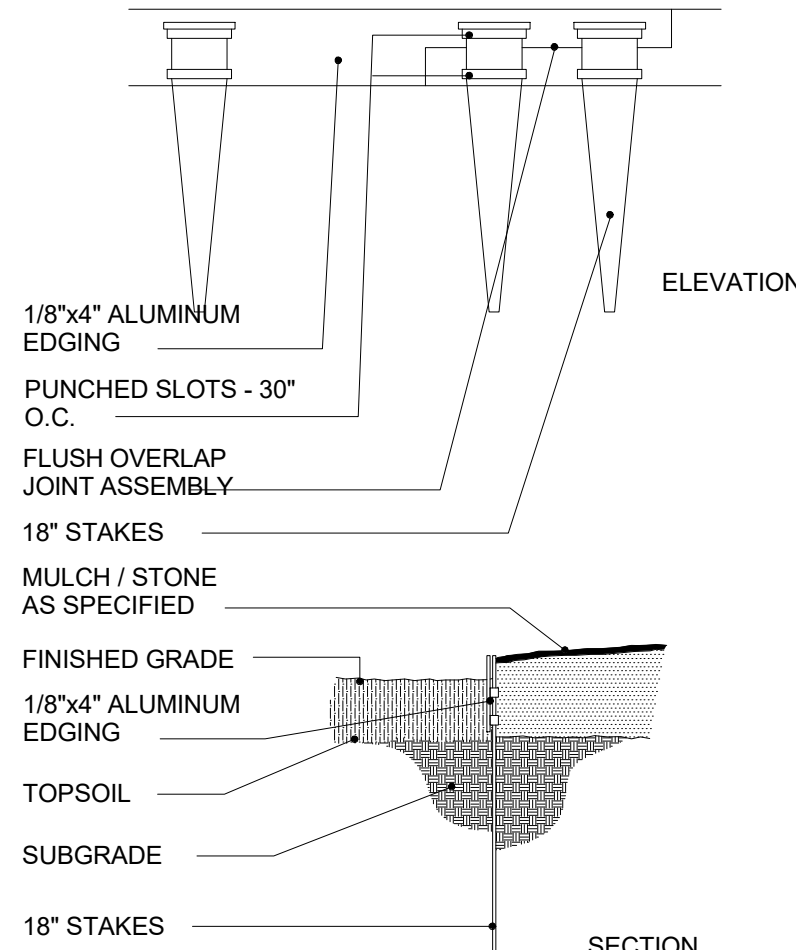
- PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
- CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
- ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
- PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
- ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
- ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
- ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
- CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
- FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.
- EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
- EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
- SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
- ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
- FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.
- ALL LANDSCAPED AREAS TO BE PROVIDED W/ SPRINKLER SYSTEMS FOR 100% COVERAGE.
- MAINTAIN EXISTING DRAINAGE PATTERNS ON SITE IN COMPLIANCE WITH REQUIREMENTS OF AHJ.
- EXISTING UTILITIES ON SITE TO REMAIN - TYP. U.N.O.
- MAINTAIN EXISTING SITE TOPOGRAPHY - TYP. U.N.O.



8 TREE PROTECTION DETAIL  
A1 3/4" = 1'-0"



7 SHRUB PLANTING DETAIL  
A1 3/4" = 1'-0"



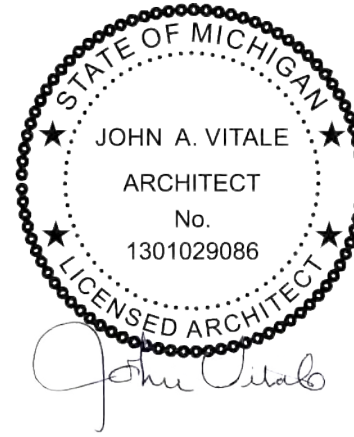
6 ALUMINUM EDGING DETAIL  
A1 3/4" = 1'-0"



STUCKY VITALE ARCHITECTS  
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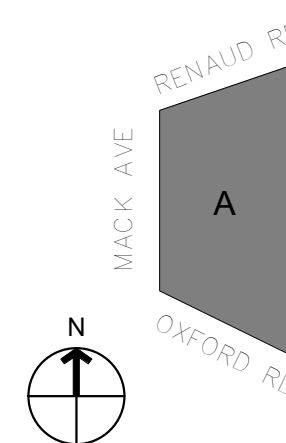
Seal:



Project :  
MIXED-USE  
DEVELOPMENT

20160 Mack Ave, Grosse  
Pointe Woods, MI 48236

Key Plan:



Issued for

CITY SUBMITTAL 09.30.25

Drawn by :  
JGB, JPM  
Checked by :  
JPM, JAV

Sheet Title :  
SITE PLAN + LANDSCAPE PLAN +  
DETAILS

Project No. :  
2025.018

Sheet No. :

A1

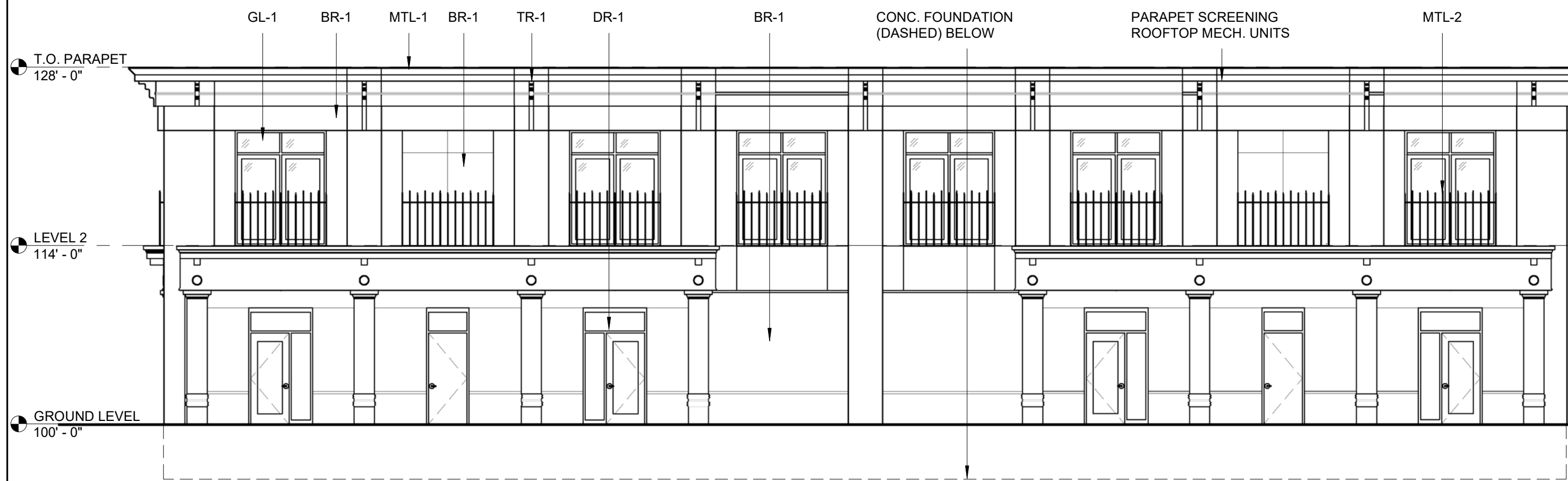


EXTERIOR FINISH SCHEDULE		
MASONRY	BR-1	BRICK MFG: BELDEN BRICK OR APPROVED EQUAL COLOR: BELCREST 730 - OR SIMILAR SIZE: MODULAR
WIND.	SF-1	STOREFRONT MFG: KAWNEER OR SIMILAR COLOR: NIGHT HAWK GRAY FINISH: POWDER COATED (OR EQUAL) SIZE: (VARIES)
DOORS	DR-1	ALUMINUM ENTRANCE DOOR SYSTEM MFG: KAWNEER OR APPROVED EQUAL STYLE: 2" X 6" COLOR: TO MATCH WINDOW FRAME WITH CLEAR GLASS
GLASS	GL-1	ALL GLASS TO BE: 1", LOW-E, INSULATED GLASS MFR: VIRACON OR APPROVED EQUAL COLOR/STYLE: CLEAR
MISC.	TR-1	TRIM: FIBER CEMENT BOARD - HARDIE OR APPROVED EQUAL COLOR: DARK GRAY TO MATCH STOREFRONT
	MTL-1	COPING: PREFINISHED ALUMINUM COLOR: MATCH ADJACENT MATERIALS
	MTL-2	RAILING: PREFINISHED ALUMINUM COLOR: MATCH ADJACENT MATERIALS

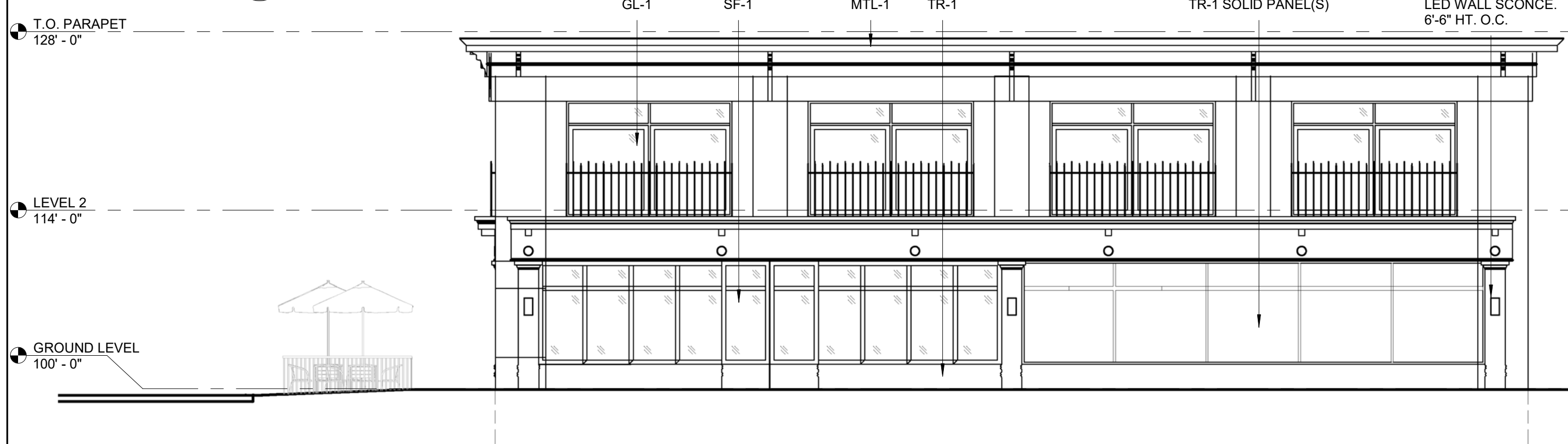
SIGNAGE - GENERAL NOTE:  
SIGNAGE AREAS TO COMPLY WITH CITY OF GROSSE  
POINTE WOODS ZONING ORDINANCE. ALL TENANT  
SIGNAGE TO BE PERMITTED SEPARATELY.



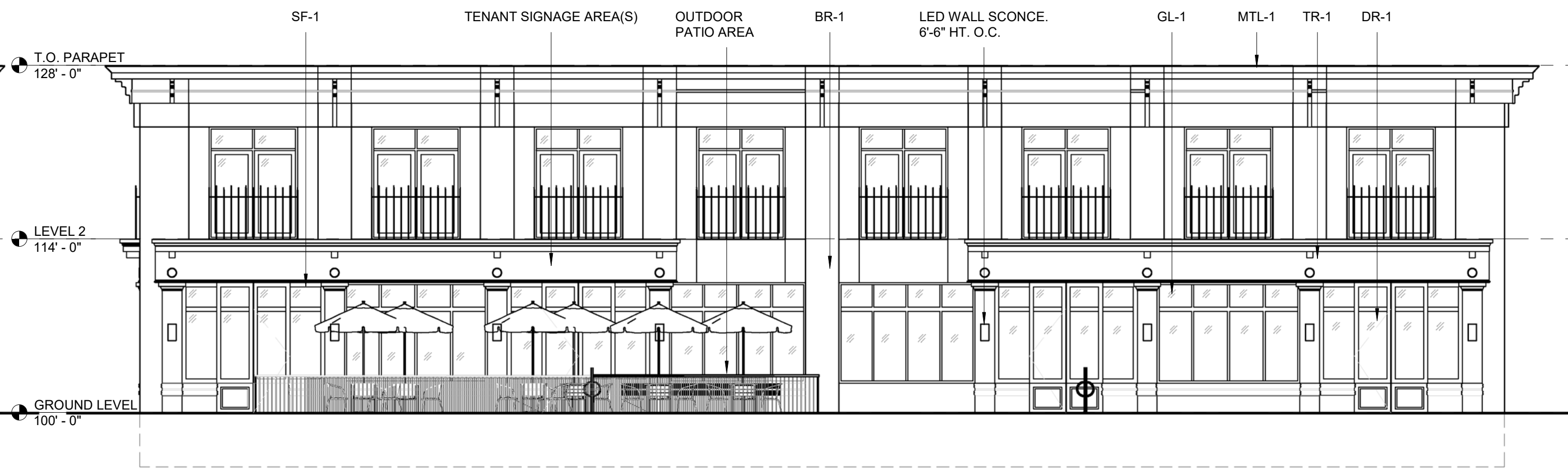
CONCEPTUAL RENDERING - EXTERIOR



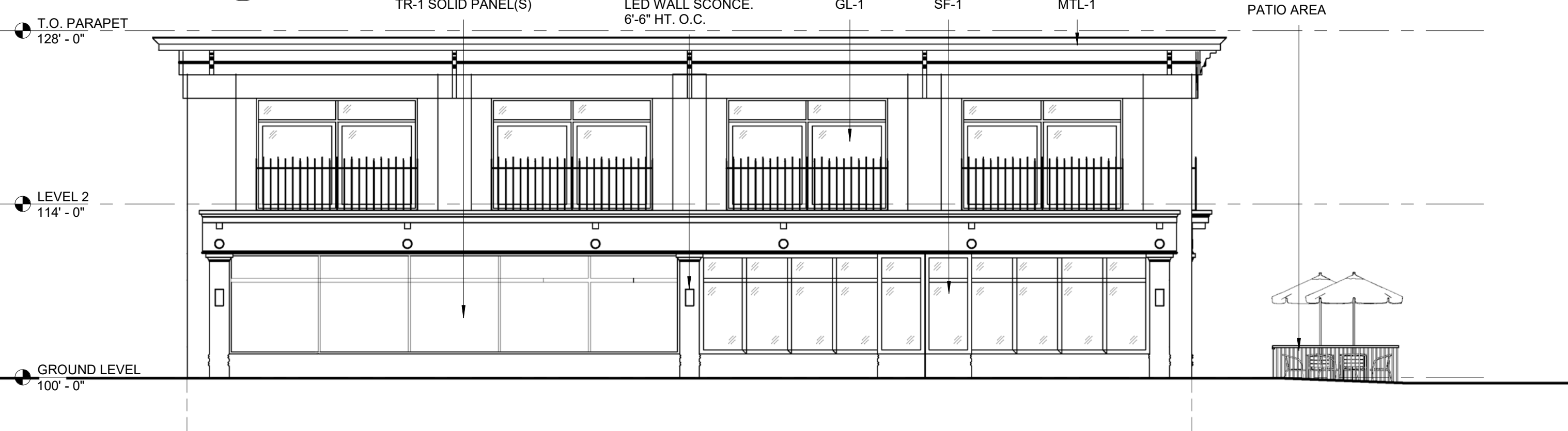
4 EAST ELEVATION - PARKING LOT  
1/8" = 1'-0"



3 SOUTH ELEVATION - OXFORD  
1/8" = 1'-0"



1 WEST ELEVATION - MACK AVE.  
1/8" = 1'-0"



2 NORTH ELEVATION - RENAUD  
1/8" = 1'-0"

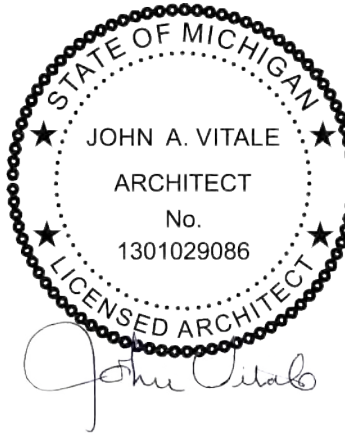


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ROYAL OAK, MI 48067-0925  
P. 248.546.6700  
F. 248.546.8454  
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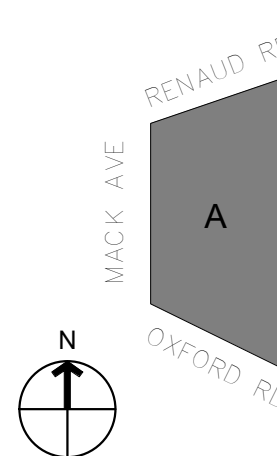


Project :

MIXED-USE  
DEVELOPMENT

20160 Mack Ave, Grosse  
Pointe Woods, MI 48236

Key Plan:



Issued for

CITY SUBMITTAL 09.30.25

Drawn by :

JGB, JPM

Checked by :

JPM, JAV

Sheet Title :

EXTERIOR ELEVATIONS +  
RENDERING

Project No. :

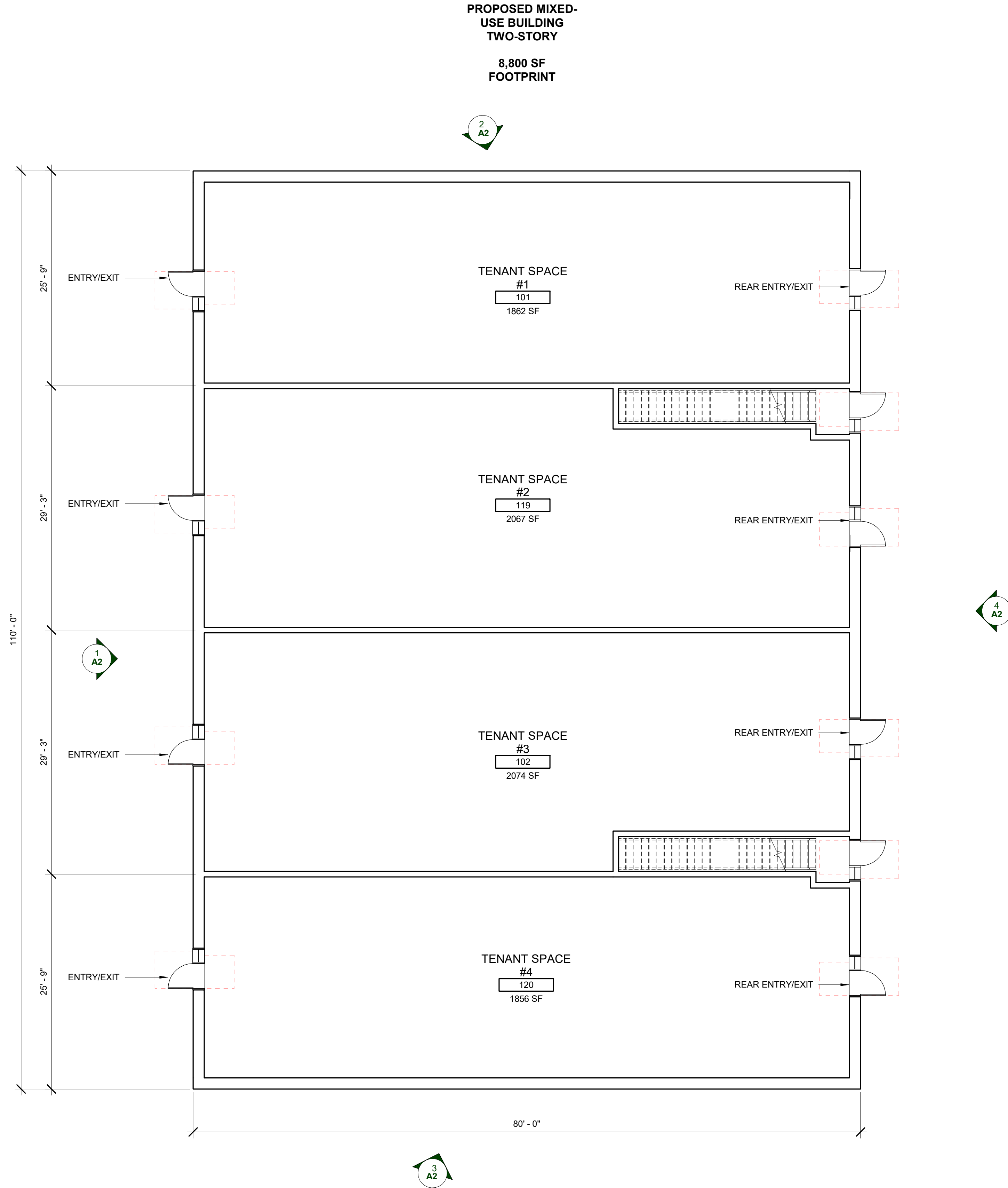
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Sheet No. :

A2

DO NOT SCALE DRAWINGS  
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FLOOR PLAN - GROUND LEVEL

1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
- PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
- A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN 'AREA OF REFUGE', AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.
- PROVIDE PERMANENT MIN 3-INCH HIGH CONTRASTING COLOR MARKING AND IDENTIFICATION AT ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS WITHIN 15 FEET AT THE END OF EACH WALL, AND NOT EXCEEDING 30 FEET MAXIMUM HORIZONTAL INTERVALS. MINIMUM 2 LOCATIONS EACH WALL. TYPICAL FOR ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACES PER CODE (MBC 703.7)

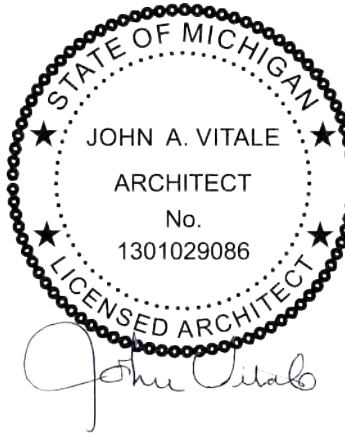


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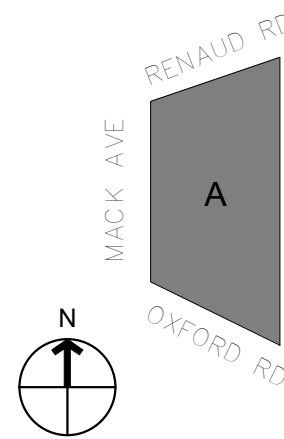


Project :

MIXED-USE  
DEVELOPMENT

20160 Mack Ave, Grosse  
Pointe Woods, MI 48236

Key Plan:



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JPM

Checked by :

JAV

Sheet Title :

FLOOR PLAN - GROUND LEVEL

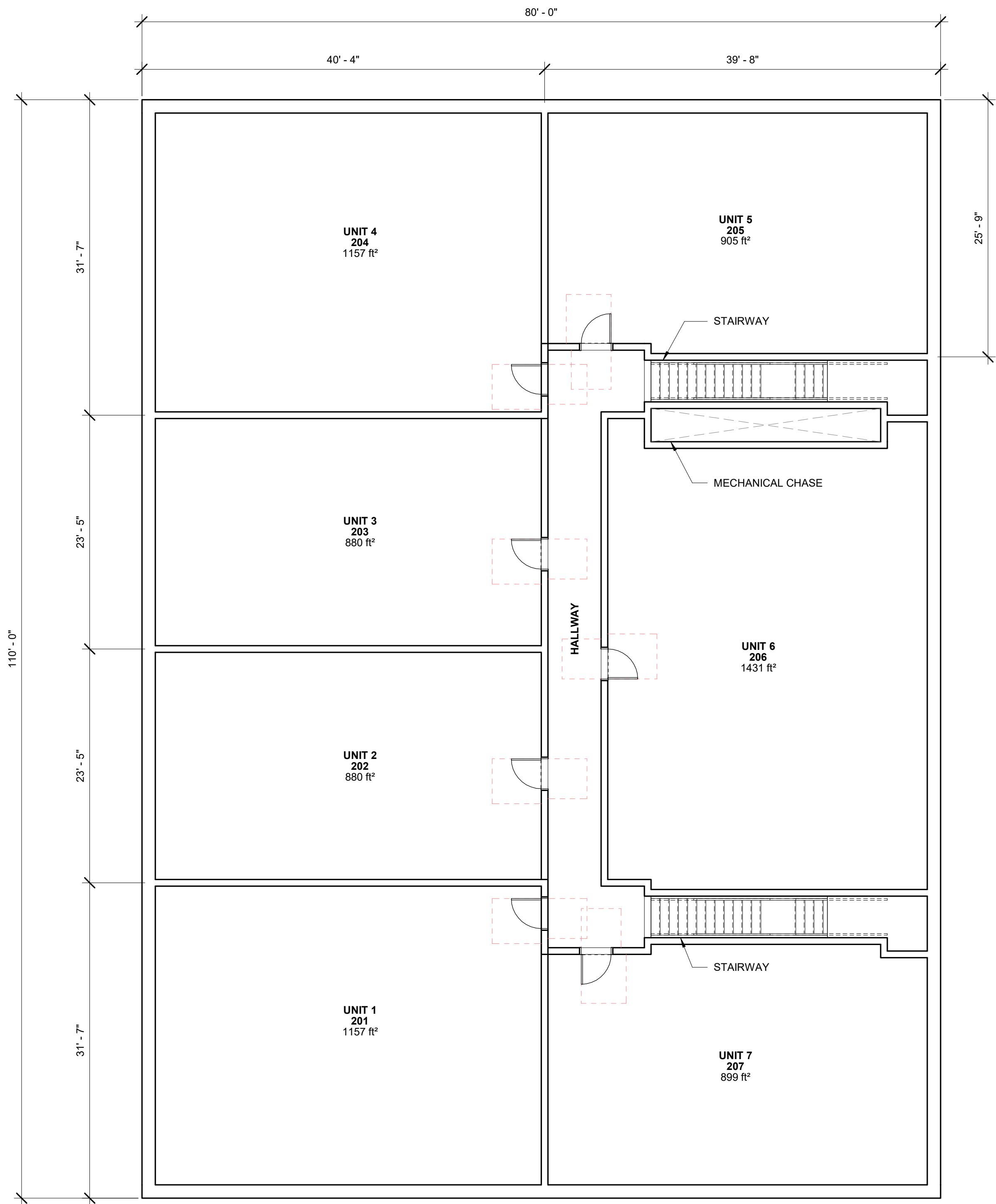
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 **FLOOR PLAN - UPPER LEVEL**  
1/8" = 1'-0"

**GENERAL FLOOR PLAN NOTES**

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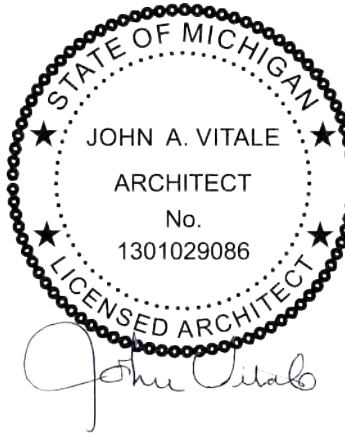


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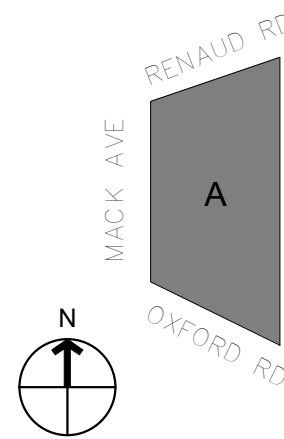


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Pointe Woods, MI 48236

Key Plan:



Issued for

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JPM

Checked by :

JAV

Sheet Title :

FLOOR PLAN - UPPER LEVEL

Project No. :

2025.018

Sheet No. :

**A4**



Schedule								
Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
	W1	3	Lumenpulse	LIAM-120_277-CSL-S60-40K-CRI 80-4 BLS	Lumenicon Medium	2671	0.9	55
	P1	1	Lithonia Lighting	[...]	[...]	[...]	0.9	66.42
			Lithonia Lighting	DSX0 LED P1 40K 80CRI T4LG EGS	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 4 Low G Rating External Glare Shield	3836	0.9	33.21
			Lithonia Lighting	DSX0 LED P1 40K 80CRI TFTM EGS	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Forward Throw External Glare Shield	3963	0.9	33.21
	P2	1	Lithonia Lighting	DSX0 LED P1 40K 80CRI RCCO EGS	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control External Glare Shield	3199	0.9	33.21
	P3	1	Lithonia Lighting	[...]	[...]	3963	0.9	66.42
			Lithonia Lighting	DSX0 LED P1 40K 80CRI TFTM EGS	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Forward Throw External Glare Shield	3963	0.9	33.21
			Lithonia Lighting	DSX0 LED P1 40K 80CRI TFTM EGS	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Forward Throw External Glare Shield	3963	0.9	33.21
	S1	14	Spectrum Lighting	C0816ADJXT-10L-MD-GL-10L-MD-xxK-EX-TSG-S0 (Up/Down)	8" Diam. x 16" H, Direct/Indirect Cylinder, Wall Mounted	804	0.9	18.2

**General Note**  
1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.  
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.  
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

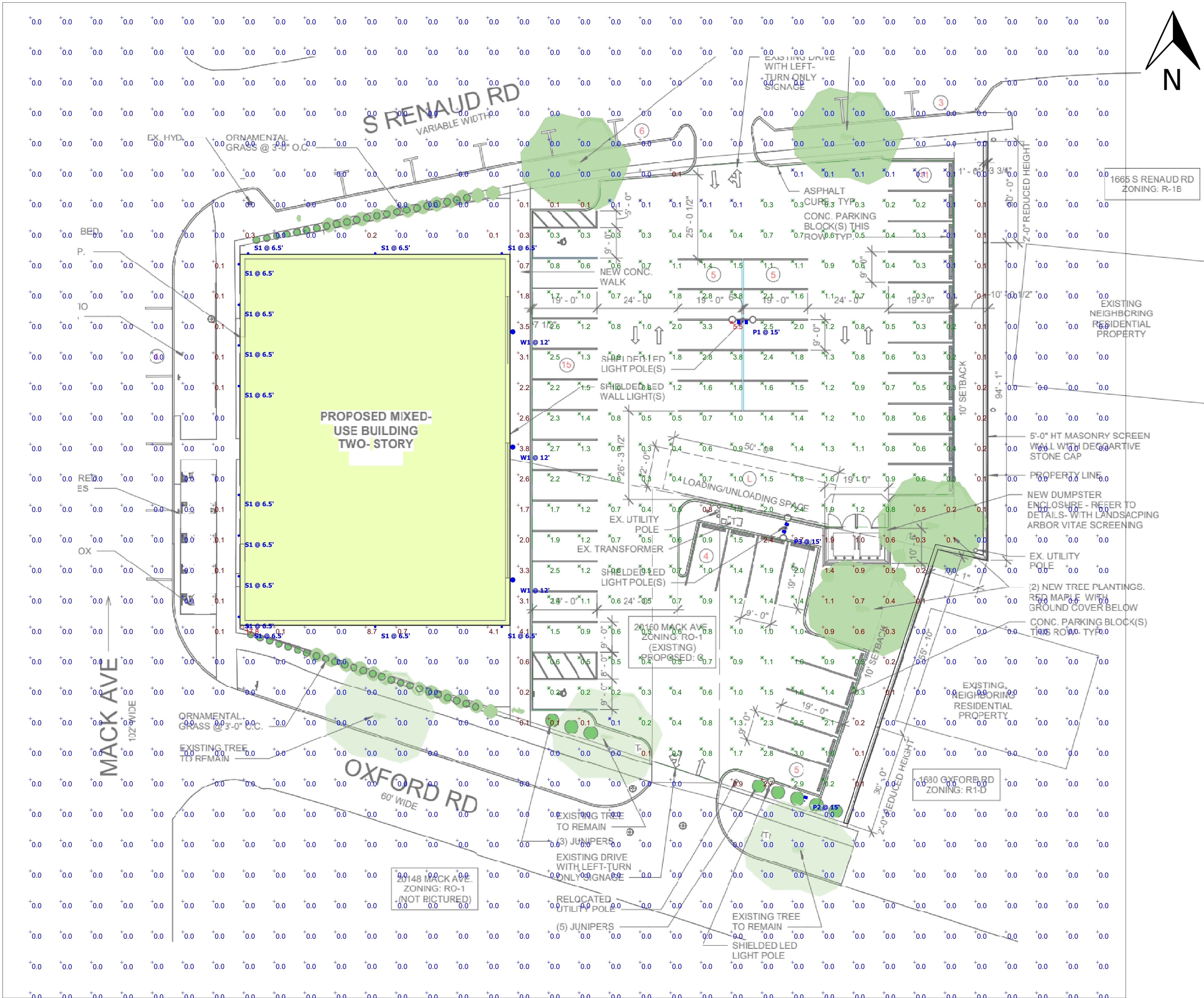
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2019. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.

**Alternates Note**  
THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

**Drawing Note**  
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

**Ordering Note**  
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

**Mounting Height Note**  
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



**Plan View**  
Scale - 1" = 16ft

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall/Grade	+	0.3 fc	17.8 fc	0.0 fc	N/A	N/A
Parking & Drive Lanes	X	1.0 fc	5.5 fc	0.1 fc	55.0:1	10.0:1



MACK AVE.  
EXTERIOR PHOTOMETRIC PLAN  
GASSER BUSH ASSOCIATES  
WWW.GASSERBUSH.COM

Designer  
BK  
Date  
09/23/2025  
Scale  
Not to Scale  
Drawing No.  
#V4



## D-Series Size 0 LED Area Luminaire



### Specifications

EPA:	0.44 ft <sup>2</sup> (0.04 m <sup>2</sup> )
Length:	26.18" (66.5 cm)
Width:	14.06" (35.7 cm)
Height H1:	2.26" (5.7 cm)
Height H2:	7.46" (18.9 cm)
Weight:	23 lbs (10.4 kg)

Design Select options indicated by this color background.

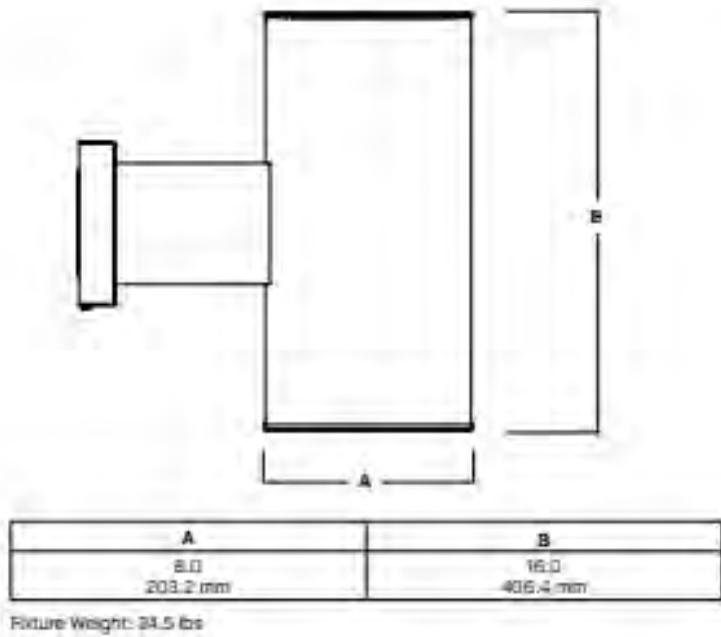
### Ordering Information

EXAMPLE: DSK0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEDs	Color temperature	Color Rendering Index	Beam Spread	Voltage	Mounting
DSK0 LED						
Forward optics		(this section 70CRI only)	70CRI	AFR Automotive front only	MVOLT (120V-277V)	Shipped included
P1 P5	30K 3000K	70CRI	T1S Type I short	TSM Type I medium	MDVOLT (147V-480V)	SPA Square pole mounting (85 drilling, 3.3" min. 50 pole)
P2 P6	40K 4000K	70CRI	T2M Type II medium	TSW Type V wide	XVOLT (277V-480V)	RPA Round pole mounting (85 drilling, 3" min. 80 pole)
P3 P7	50K 5000K	70CRI	T3M Type III medium	BLC3 Type III backlight control	T20 4" x 208 1/2"	SPAS Square pole mounting (85 drilling, 3" min. 50 pole)
Rotated optics				BLC4 Type IV backlight control	240 1/2"	RPA5 Round pole mounting (85 drilling, 3" min. 80 pole)
P10 P12	27K 2700K	80CRI	T3LG Type III low glare	T4M Type IV medium	277 1/2"	SPAS8 Square narrow pole mounting (85 drilling, 3" min. 50 pole)
P11 P13	30K 3000K	80CRI	T4M Type IV medium	T4LG Type IV low glare	347 1/2"	WBA Wall bracket
	35K 3500K	80CRI	T4LG Type IV low glare	TFM Forward throw medium	480 1/2"	MA Mount arm adapter (mounts on 2 1/8" OD bracketless luminaire)
	40K 4000K	80CRI				
	50K 5000K	80CRI				

Luminaire options	Shipped installed	Other options	Shipped installed
NLTAIR2 PIRHN	Height 8 ft. 2" installed with 85° beam spread / ambient sensor, 8-80° mounting height, ambient sensor included at 2K 1/2" x 1/2"	PERZ Screen-pin receptacle only (controls ordered separately) 1/2"	HS Household shield (black finish standard) 1/2"
PIR	High flow, recessed ambient sensor, 8-40° mounting height, ambient sensor included at 2K 1/2" x 1/2"	BL30 Bi-level switched dimming, 30% 1/2"	L90 Left rotated optics 1/2"
PER	NEMA level-lock receptacle only (controls ordered separately) 1/2"	BL50 Bi-level switched dimming, 50% 1/2"	R90 Right rotated optics 1/2"
PER5	Five-pin receptacle only (controls ordered separately) 1/2"	OMG 0-10V dimming remote control, outside feature (for use with an external control, ordered separately) 1/2"	CCE Coastal Construction 1/2"
			HA 50°C ambient operation 1/2"
			BAA Buy America (in Act and/or Buy America Buy America Qualified)
			SF Single fuse (120, 277, 347V) 1/2"
			DF Double fuse (208, 240, 480V) 1/2"
			Shipped separately
			EGSR External Glare Shield (reversible, field install required, matches housing finish)
			BSDB Bird Spikes (field install required)

LITHONIA LIGHTING 1 Acuity Way • Decatur, Georgia 30035 • Phone: 1-800-705-SERV (7378) • [info@lithonia.com](mailto:info@lithonia.com)  
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DSK0 LED Rev. 08/28/25 Page 1 of 9



Fixture Weight: 24.5 lbs

### 8" ROUND DIRECT / ADJUSTABLE INDIRECT ACCENTUATOR SERIES



#### CO816ADJUXT - WALL MOUNT

##### APPLICATION

8" round x 16" high 8" diameter series direct / indirect cylinder luminaire with adjustable tilt indirect (uplight) component.

##### FEATURES

Spectrums Cylinder series provides traditional architectural style with high performance and energy efficient illumination. Rugged design with flexible mounting, finish and LED options make these extremely versatile fixtures. Quick change LED module with interchangeable optics for job site flexibility and fixture upgrade. Uplight LED module may be tilted up to 20° from vertical and locked.

##### FINISH

Multi-stage polyester powder-coat process applied on our dedicated paint lines. See mounting and color pages for standard finishes. All exposed materials are chromate pretreated to resist corrosion.

##### ELECTRONICS

LED system features Xicato LED module with proprietary phosphor technology that provides consistent stable color with CCT control of +/- 100K over life of the light engine. Base CRI is 83 with 2-step MacAdam Ellipse binning. High CRI is 98 with 1 x 2-step MacAdam Ellipse binning. Variety of electronic 120V/277V and dimming drivers, 1 or 2 circuit operation.

##### CONSTRUCTION

Fabricated seamless aluminum fixture housing. Silicone gasket seals optical chamber. Specular primary optical reflectors provide high efficiency illumination. Impact resistant tempered glass lenses. Stainless steel hardware with galvanized steel brackets to resist corrosion. Trim formed from .063 thick high purity aluminum and finished to specification.

##### CODE COMPLIANCE

BAA compliant. ETL certified to meet US and Canadian standards. Suitable for dry or damp locations. Wet Location Option. Manufactured and tested to UL standards No. 1598/8750.

LUMENS / WATTAGE GUIDE				
PART NUMBER	SOURCE LUMENS	DELIVERED LUMENS	SYSTEM WATTAGE	LFW
CO816ADJUXTBLK	3000	1842	15	30
CO816ADJUXTBLS	5000	2970	26	55
CO816ADJUXTBLK2	4000	2480	40	70

SERIES	UPLIGHT <sup>1</sup>	DOWNLIGHT	CCT	DRIVER / DIMMING <sup>2</sup>	OPTIONS <sup>3</sup>	TRIM	MOUNTING <sup>4</sup>	FINISH <sup>5</sup>
CO816ADJUXT								
	LUMENS	OPTICS	83 CRI	EX Electronic Driver, 120V/277V, 0-10V, 0-10V, 120V/277V, 0-10V, 120V/277V	WL Wet Location, FS Fuse, 2 Circuit	TSG Semi Diffuse Low Index Clear, TCU Same Color as Cylinder, TCC Custom Color	WM3 Wall Mount 3" Extension, WM5 Wall Mount 5" Extension	MW Matte White, MB Matte Black, PT Platinum Silver, CC Custom Color
	10000 Lm	XN 11" ND 23" 10000 Lm	ND 22" 30K 3000K	DS10X 10V, 0-10V, 120V/277V				
	13000 Lm	ND 31" 13000 Lm	ND 30" 35K 3500K	DS10X 10V, 0-10V, 120V/277V				
	20000 Lm	ND 40" 20000 Lm	ND 35" 40K 4000K	DS10X 10V, 0-10V, 120V/277V				
			98 CRI	DS20V 120V/277V				
			27K 2700K					
			30K 3000K					
			35K 3500K					
			40K 4000K					

EXAMPLE: CO816ADJUXT10LND20LWD35KEX/TSGSO/WM5/MW

NOTES: 1 Nominal Source Lumens at Any CCT 2 Nominal Delivered Lumens at 83 CRI at Any CCT with WD-GL, WD-TSG (83) 3 At 83 CRI 4 1/4" Deep (Black Only) 5 15L Max/Watt Not Available with WS-CSP Option 6 Contact Factory for Additional Options 7 See Product Options Page for Details 8 Standard Lens for All Indirect and Direct, PIR, ND 9 Standard Lens for All Direct, PIR, ND 10 See Mounting Page for Details on Components and Finishes 11 Reference Color Sheet located on Product Page for Full List of Available Colors, Contact Factory for Special Finishes 12 Standard Finish



PROJECT: TYPE:



Dimensions and values shown are nominal. Spectrum Lighting continually works to improve products and reserves the right to make changes which may alter the performance or appearance of products.

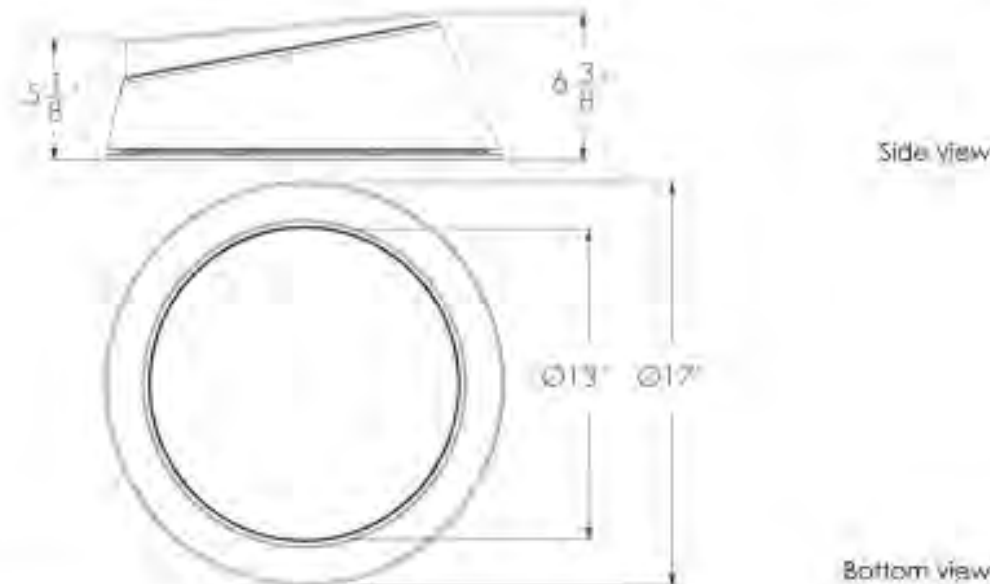
[WWW.SPECTRUMLIGHTING.COM](http://WWW.SPECTRUMLIGHTING.COM) © 2024 JEFFERSON STREET FALL 11/16/18 MA 02721 508.615.2303 FAX 508.675.2569

83-CO044, RC

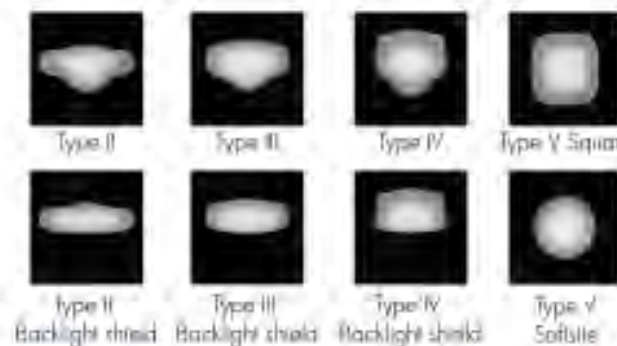
### Specification Sheet

Lumenicon Area Medium

Project Name \_\_\_\_\_ Qty \_\_\_\_\_  
Type \_\_\_\_\_ Catalog / Part Number \_\_\_\_\_



#### Distributions



#### Colors and Color Temperatures



2200K 2700K 3000K 3500K 4000K 5700K

#### Control

ON/OFF 0-10V

#### Rating

IP66 (optical chamber)

#### Certifications



#### Description

The Lumenicon Area Medium creates a consistent aesthetic while illuminating city streets, local roads, residential streets, parking lots and laneways. An innovative, footless opening system makes the plug-and-play components easy to access. IP66 rated with phenomenal heat dissipation, the Lumenicon Area Medium is ready to take it to the streets (or parking lots, or building sides, or onramps, or...).

#### Features

Color and Color Temperature	2200K, 2700K, 3000K, 3500K, 4000K, 5700K
Distributions	Type II, Type III or Type IV (with or without backlight shield), Type V square and Type V Solstice
3G Vibration Rated	Meets 3G ANSI C136.31-2010 vibration standard for bridge applications
Options	Corrosion-Resistant Coating for Hostile Environments, Surge Protector, 5-Pin Receptacle With or Without Shorting Cap, 7-Pin Receptacle With or Without Shorting Cap
Mounting Options	Side Overlap (2 3/8 in. Tenon)
Warranty	5-year limited warranty
Performance	
Output (Nominal Lumens)	Minimum 3000lm / Maximum 20000lm
Color Rendering	3 SDCM for CRI 70+ and 2 SDCM for CRI 80+
Lumen Maintenance	TM-21 L70 527,000 hrs (projected, Ta 77 °F), 36,000 hrs (reported, Ta 77 °F)
DarkSky	DarkSky compliant (2200K, 2700K and 3000K color temperatures, BUG rating of 0)
Physical	
Housing Material	Die cast low copper 360 aluminum alloy

### lumenpulse

1201 Kismet Street, Suite 100, Decatur, GA 30035 • 1-800-855-5555 • [info@lumenpulse.com](mailto:info@lumenpulse.com)  
[WWW.LUMENPULSE.COM](http://WWW.LUMENPULSE.COM) [info@lumenpulse.com](mailto:info@lumenpulse.com)

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MACK AVE.  
EXTERIOR PHOTOMETRIC PLAN  
GASSER BUSH ASSOCIATES  
WWW.GASSERBUSH.COM

Designer  
BK  
Date  
09/23/2025  
Scale  
Not to Scale  
Drawing No.  
#V4









# IMPACT STATEMENT

**PROPOSED RETAIL DEVELOPMENT  
PARCEL ID: 40009010001000  
20160 MACK AVE  
GROSSE POINTE WOODS  
WAYNE COUNTY, MICHIGAN**

**PREPARED BY:**

**STONEFIELD ENGINEERING & DESIGN, LLC  
NIK BAUER  
SED DET-250182**

---

SIGNED

**DEVELOPER / APPLICANT:**

**BUCCALLETO DEVELOPMENT  
20259 MACK AVENUE, SUITE 2  
GROSSE POINTE WOODS, MI 48236  
(313) 300-7280**



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## **1.1 PROPERTY DESCRIPTION**

### Legal Description

Land situated in the City of Grosse Pointe Woods, County of Wayne, State of Michigan, described as follows:

All of lot 1 and lot 2, excepting therefrom the east 15.31 feet in Arthur J. Scully's Eastmoreland Park, being a subdivision of part of private claim 240, Village of Lochmoor, according to the plat thereof recorded in liber 63, page 42 of plats. also all that part of P.C. 611, village of Grosse Pointe Woods, bounded and described as follows: beginning at a point at the intersection of the east line of Mack Avenue, as widened, and the south line of said P.C. 611, said point being south 71 degrees east a distance of 104.43 feet from the middle line of Mack Avenue; thence along said south line of P.C. 611, south 71 degrees east a distance of 227.28 feet to the southwest corner of Renmoor Park Subdivision; thence along the west line of said subdivision north 6 degrees, 37 minutes, 22 seconds east a distance of 124.37 feet to the south line of Renaud Road; thence along Renaud road north 88 degrees, 22 minutes west a distance of 87.05 feet; thence turning to the left on a curve having a radius of 459.14 feet westerly, 49.95 feet (chord bears south 88 degrees, 31 minutes west a distance of 49.93 feet); thence south 85 degrees, 24 minutes west a distance of 87.48 feet to the east side of Mack Avenue; thence along Mack Avenue south 6 degrees, 37 minutes, 22 seconds west 2 distance of 44.00 feet to the place of beginning.

## **1.2 EXISTING CONDITIONS**

The project site is a 0.76 acres commercial lot, home of the 'Pointe Neuroscience Center'. The area of improvements is limited to the building & its accessory asphalt parking area. No environmental hazards have been identified on the site per EGLE's Ride Mapper system, and the site falls outside of any local wellhead protection areas. Access to the site is provided by driveways to the S Renaud Road & Oxford Road systems.

## **1.3 PROPOSED CONDITIONS**

The scope of the proposed improvements includes demolition of the existing building and parking lot, and construction of a 2-story 8,900 SF Mixed Use Building and accessory parking lot containing 56 vehicle parking spaces.

## **1.4 CURRENT ZONING**

The Current Zoning is (RO-1) Restricted Office with a proposed rezone to (C) Commercial Business, and the master plan's Future Land Use identifies the site as 'Corridor Mixed Use', which fits the characteristics of the proposed development. Refer to the current Grosse Pointe Woods Zoning Map & Master Plan for more information.



### **1.5 UTILITY & RIGHT-OF-WAY IMPACTS**

No negative impacts to public utilities such as stormwater, sanitary waste, domestic water, natural gas, or electrical services are anticipated. Though the proposed Commercial & Residential uses will have a slightly greater demand on public utilities than the existing medical office use, the existing city infrastructure has adequate capacity for the proposed development. No impacts to fire or police services are anticipated.

Landscaping improvements are proposed along the right-of-way frontages, as well as an outdoor seating area along Mack Avenue. The existing right-of-way sidewalks will remain and be repaired as necessary. The existing on-street parking spaces abutting the subject property will remain.

### **1.6 ENVIRONMENTAL IMPACTS**

No environmental impacts are anticipated. The amount of green space on-site shall remain relatively unchanged with enhanced landscaping proposed along the right-of-way frontages and the rear lot line. The existing landscaping (trees, plantings, etc.) shall remain to the greatest extent possible.

The subject property is not located within a mapped floodplain (Zone 'X', area of minimum flood hazard) nor mapped wetlands. Refer to the FEMA map (Number 26163C0141F eff. 10/21/2021) USFWS National Wetlands Inventory Map, and EGLE Wetlands Map.

The subject site's soils are comprised of mainly 'Urban Land-Fortress Family Complex' (UrbapB per NRCS Soil Survey maps, refer to Appendix C) which carries a low permeability (HSG 'D'). Groundwater depth is not expected to be a conflict.



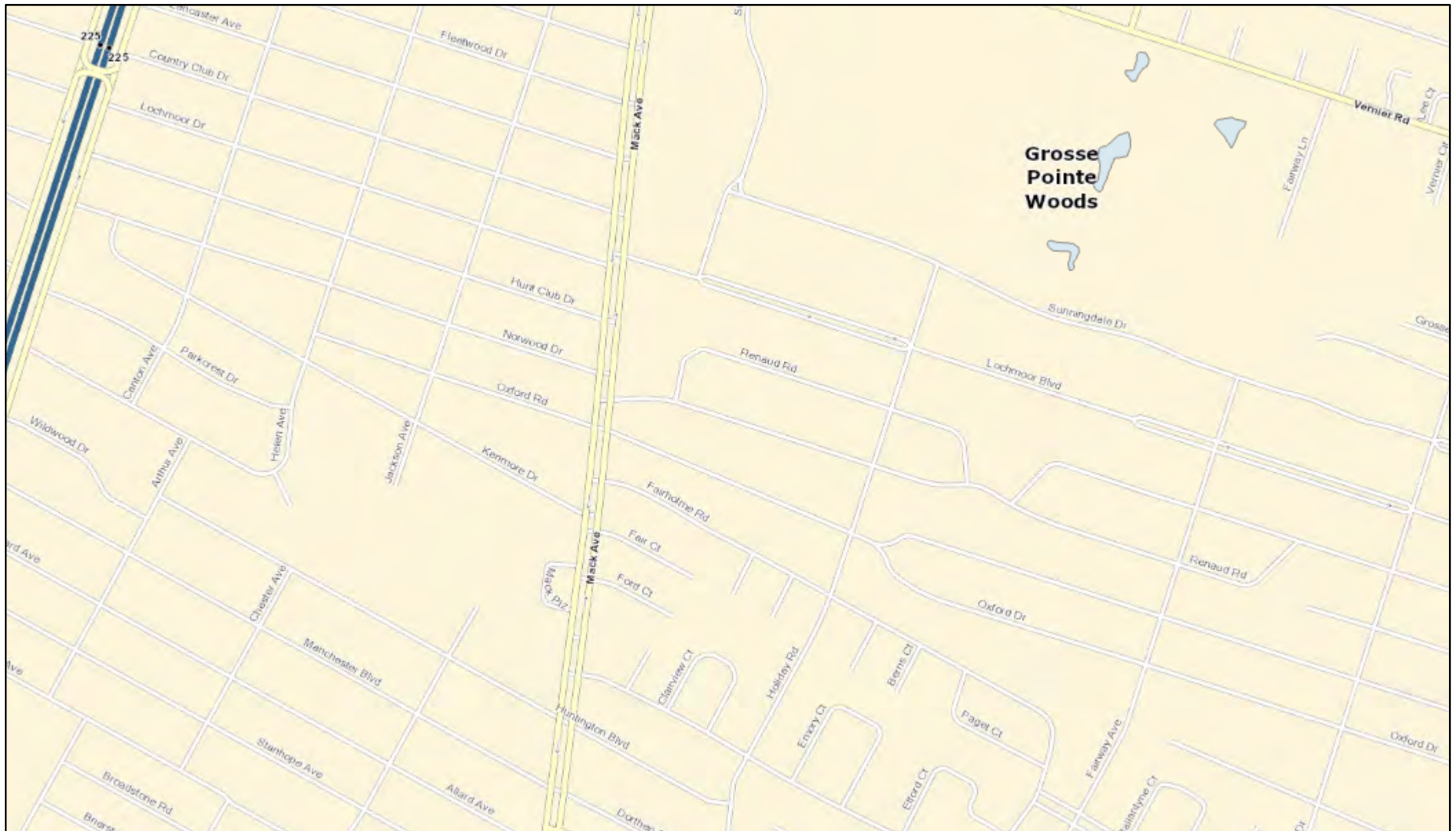


# **APPENDIX A**

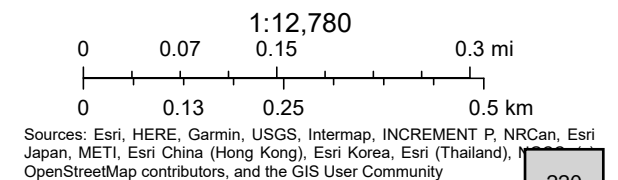
## **WETLAND MAPS**



# Wetlands Map Viewer



September 19, 2025

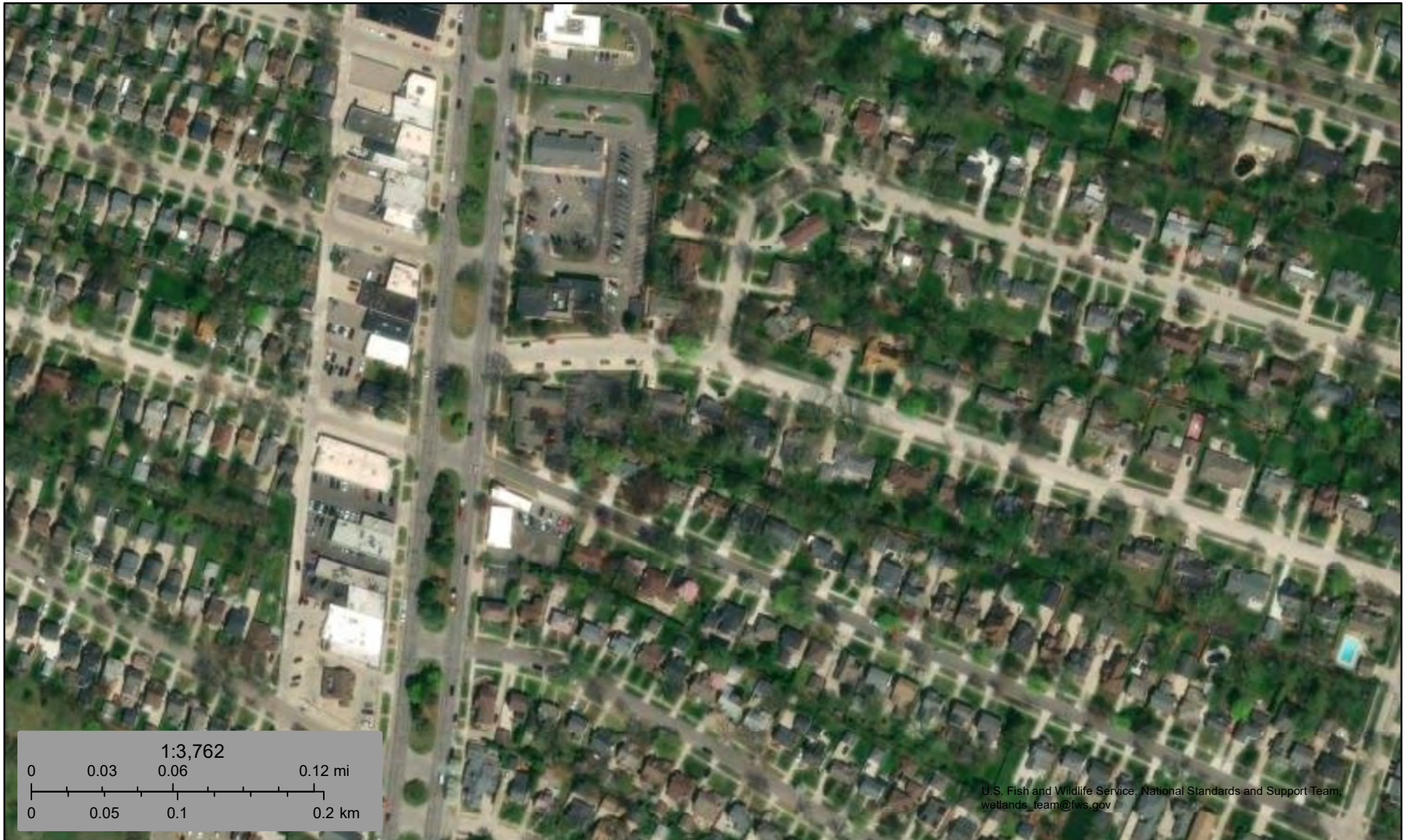


Disclaimer: This map is not intended to be used to determine the specific





## 20160 Mack Ave Wetlands



September 19, 2025

### Wetlands

	Estuarine and Marine Deepwater		Freshwater Emergent Wetland		Lake
	Estuarine and Marine Wetland		Freshwater Forested/Shrub Wetland		Other
			Freshwater Pond		Riverine

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.





# **APPENDIX B**

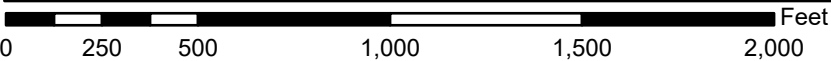
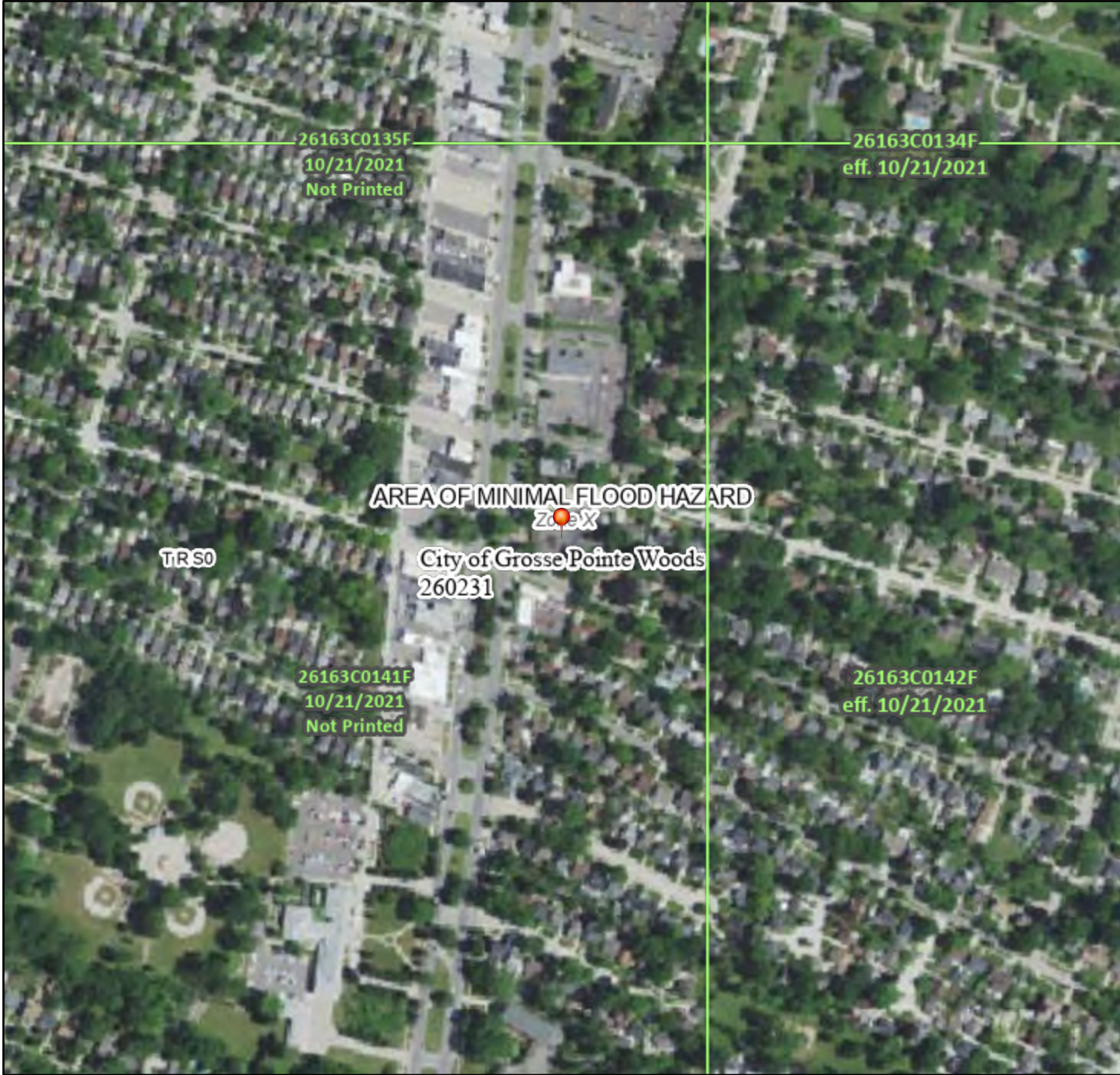
## **FEMA FIRM MAP**



# National Flood Hazard Layer FIRMMette



82°54'46"W 42°26'19"N



1:6,000

82°54'9"W 42°25'52"N

Basemap Imagery Source: USGS National Map 2023

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/19/2025 at 1:29 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community id, FIRM panel number, and FIRM effective date. Map is unmapped and unmodernized areas cannot be used for regulatory purposes.





# **APPENDIX C**

## **NRCS SOIL SURVEY MAPS**



# Custom Soil Resource Report Soil Map





## Wayne County, Michigan

### UrbapB—Urban land-Fortress family complex, dense substratum, 0 to 4 percent slopes

#### Map Unit Setting

*National map unit symbol:* 2whsw  
*Elevation:* 570 to 670 feet  
*Mean annual precipitation:* 28 to 38 inches  
*Mean annual air temperature:* 45 to 52 degrees F  
*Frost-free period:* 135 to 210 days  
*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Urban land:* 80 percent  
*Fortress family, dense substratum, and similar soils:* 19 percent  
*Minor components:* 1 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Urban Land

##### Properties and qualities

*Slope:* 0 to 1 percent  
*Depth to restrictive feature:* 0 inches to manufactured layer  
*Runoff class:* High  
*Capacity of the most limiting layer to transmit water (Ksat):* Very low (0.00 to 0.00 in/hr)

##### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 8  
*Hydrologic Soil Group:* D  
*Hydric soil rating:* No

#### Description of Fortress Family, Dense Substratum

##### Setting

*Landform:* Water-lain moraines, wave-worked till plains  
*Down-slope shape:* Linear  
*Across-slope shape:* Convex, linear, concave  
*Parent material:* Sandy human-transported material over clayey lodgment till

##### Typical profile

*^Au - 0 to 9 inches:* loamy sand  
*^Cu - 9 to 68 inches:* gravelly-artifactual sand  
*2Cd - 68 to 80 inches:* clay

##### Properties and qualities

*Slope:* 0 to 4 percent  
*Depth to restrictive feature:* 54 to 78 inches to densic material  
*Drainage class:* Moderately well drained  
*Runoff class:* Very low  
*Capacity of the most limiting layer to transmit water (Ksat):* Very low (0.00 to 0.00 in/hr)  
*Depth to water table:* About 30 to 54 inches  
*Frequency of flooding:* None



## Custom Soil Resource Report

*Frequency of ponding:* None  
*Calcium carbonate, maximum content:* 28 percent  
*Gypsum, maximum content:* 1 percent  
*Maximum salinity:* Nonsaline (0.1 to 1.5 mmhos/cm)  
*Available water supply, 0 to 60 inches:* Low (about 3.3 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 8  
*Hydrologic Soil Group:* A  
*Ecological site:* F099XY003MI - Warm Moist Sandy Depression  
*Hydric soil rating:* No

### Minor Components

#### Riverfront, dense substratum, steep

*Percent of map unit:* 1 percent  
*Landform:* Deltas, water-lain moraines, wave-worked till plains  
*Down-slope shape:* Linear  
*Across-slope shape:* Convex, linear  
*Ecological site:* F099XY007MI - Lake Plain Flats  
*Hydric soil rating:* No

## UrbarB—Urban land-Riverfront complex, dense substratum, 0 to 4 percent slopes

### Map Unit Setting

*National map unit symbol:* 2whsx  
*Elevation:* 560 to 720 feet  
*Mean annual precipitation:* 28 to 38 inches  
*Mean annual air temperature:* 45 to 52 degrees F  
*Frost-free period:* 135 to 210 days  
*Farmland classification:* Not prime farmland

### Map Unit Composition

*Urban land:* 80 percent  
*Riverfront, dense substratum, and similar soils:* 19 percent  
*Minor components:* 1 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

### Description of Urban Land

#### Properties and qualities

*Slope:* 0 to 1 percent  
*Depth to restrictive feature:* 0 inches to manufactured layer  
*Runoff class:* High  
*Capacity of the most limiting layer to transmit water (Ksat):* Very low (0.00 to 0.00 in/hr)



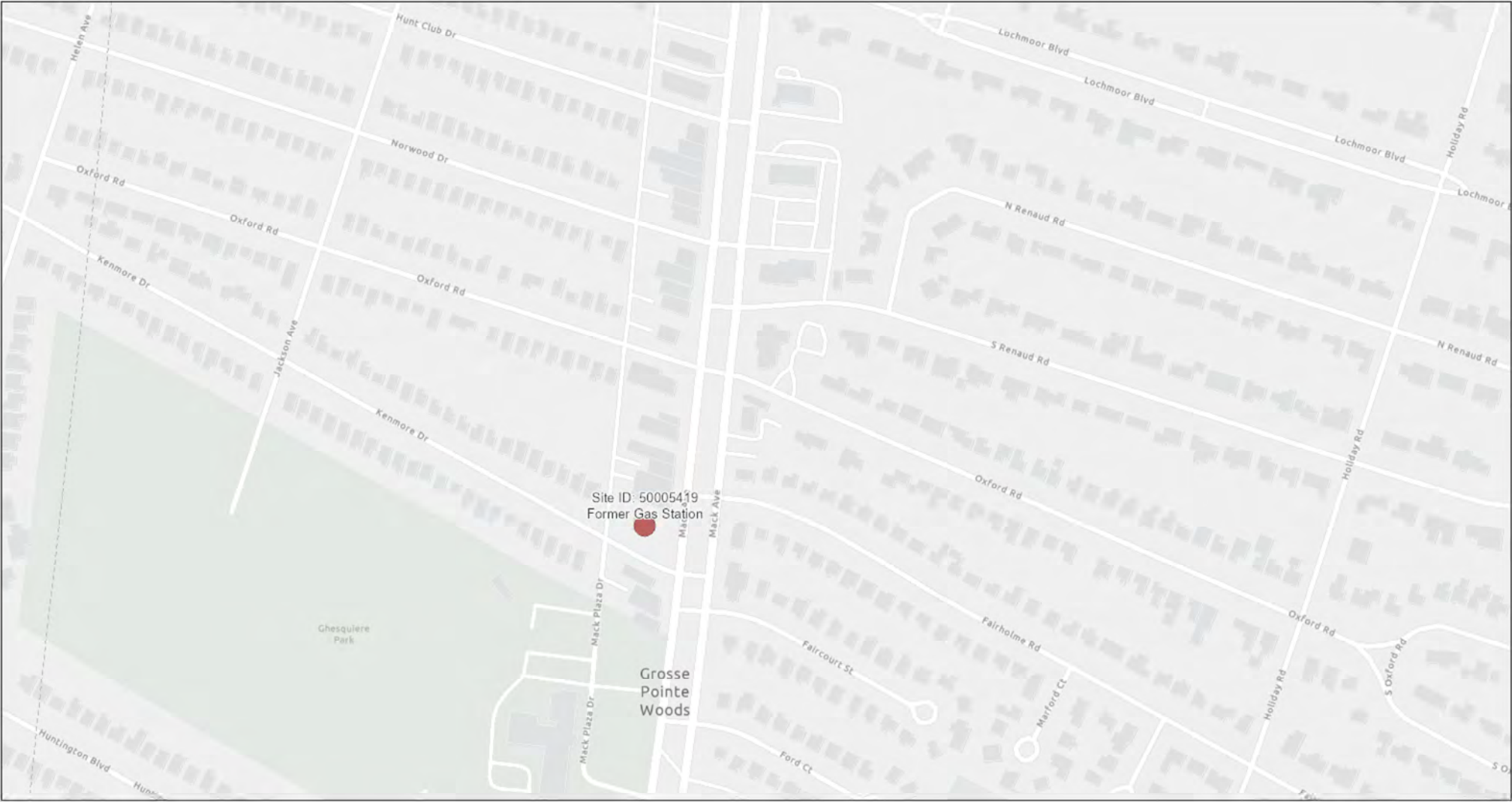


# **APPENDIX D**

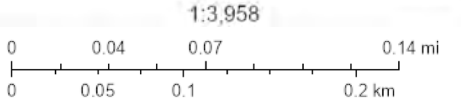
## **EGLERIDE MAPPER**



ArcGIS Web Map



9/19/2025, 9:40:10 AM



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community



# MEMO

VIA EMAIL: [buccellato@buccdevelopment.com](mailto:buccellato@buccdevelopment.com)

To: Justin Buccellato

From: Julie Kroll, PE, PTOE  
Massara Khalid  
Fleis & VandenBrink

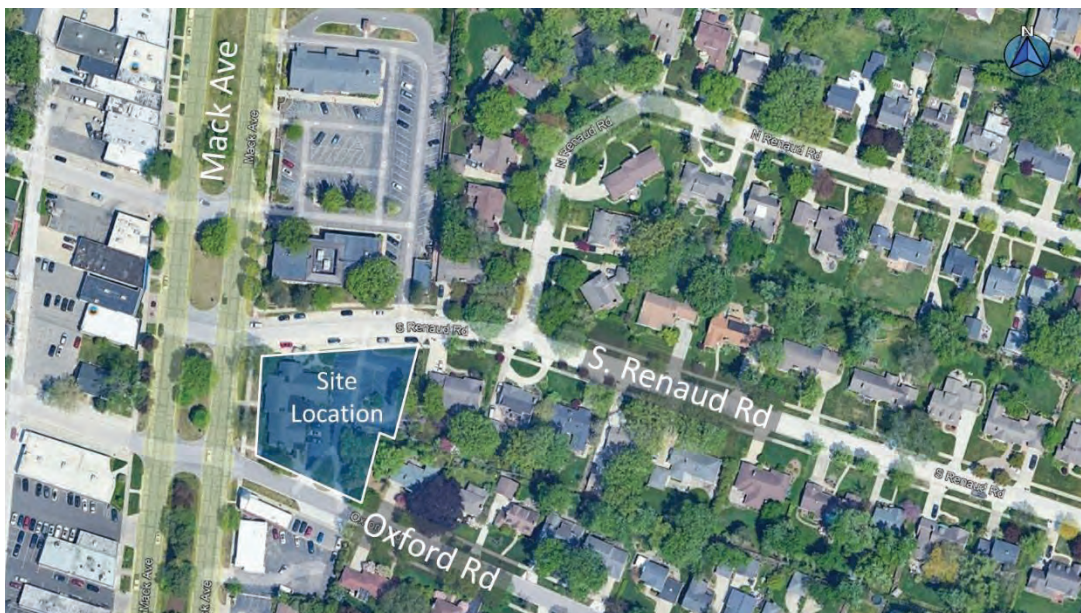
Date: August 11, 2025  
Revised September 11, 2025

Re: 20160 Mack Avenue – Retail Development  
Grosse Pointe Woods, Michigan  
Trip Generation Analysis

## 1 INTRODUCTION

This memorandum presents the results of the Trip Generation Analysis (TGA) for the proposed mixed-use development in Grosse Pointe Woods, Michigan. The project site is located at 20160 Mack Avenue, between Oxford Road and S. Renaud Road, as shown in **Exhibit 1**. The proposed development includes the construction of a mixed-use development that includes multi-family residential and retail land uses, on property that was previously occupied by a medical office. The project site will close one (1) of the existing driveways on Oxford Road; the proposed access to the project site will maintain one (1) driveway on Oxford Road and one (1) driveway on S. Renaud Road, both of which are under the jurisdiction of the City. A TGA has been required for this project, as part of the site plan approval process.

**EXHIBIT 1: SITE LOCATION MAP**



The scope of work for this study was prepared based upon Fleis & VandenBrink's (F&V) knowledge of the study area, understanding of the development program, accepted traffic engineering practice, professional experience, and the methodologies published by the Institute of Transportation Engineers (ITE). Sources of data for this study include the Michigan Department of Transportation (MDOT), the Michigan Traffic Crash Facts (MTCF) database, and ITE.

27725 Stansbury Boulevard, Suite 195  
Farmington Hills, MI 48334

P: 248.5

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[www.fvb.com](http://www.fvb.com)

230



## 2 SITE TRIP GENERATION

### 2.1 SITE TRIP GENERATION

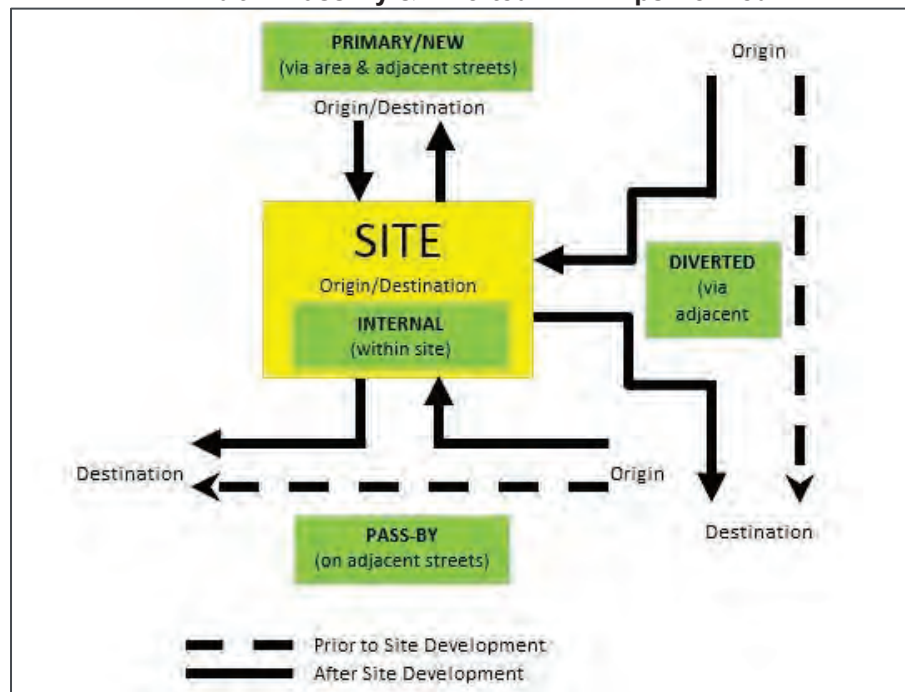
The number of weekday peak hour (AM and PM) and daily vehicle trips that would be generated by the development were calculated based on information published by the Institute of Transportation Engineers (ITE) in the *Trip Generation Manual, 12th Edition*. The proposed development includes the construction of a mixed-use development that includes multi-family residential and retail land uses. The vehicular trips generated by the proposed development are summarized in **Table 1**.

**Table 1: Vehicular Trip Generation Summary**

Land Use	ITE Code	Amount	Units	Average Daily Traffic (vpd)	AM Peak Hour (vph)			PM Peak Hour (vph)		
					In	Out	Total	In	Out	Total
Multi-Family Housing (Low-Rise)	220	8	DU	50	1	2	3	2	2	4
Strip Retail Plaza (<40k SF)	822	8,900	SF	605	19	16	35	36	35	71
<i>Pass-By (0% AM, 40% PM)</i>				121	0	0	0	14	14	28
New Trips				484	19	16	35	22	21	43
Total Trips				655	20	18	38	38	37	75
Total Pass-By				121	0	0	0	14	14	28
Total New Trips				534	20	18	38	24	23	47

As is typical of commercial developments, a portion of the trips generated are from vehicles that are already on the adjacent roadways and will pass the site on their way from an origin to their ultimate destination. Therefore, not all traffic at the site driveways is necessarily new traffic added to the street system. This percentage of the trips generated by the development are considered either “pass-by” or “diverted link” trips, which are already present within the adjacent street system. These trips are therefore reduced from the total external trips generated by a study site. The pass-by and diverted link trips impact on the study intersections are shown in Exhibit 1. The percentage of pass-by trips used in this analysis was determined based on the rates published by ITE in the *Trip Generation Manual, 12th Edition*.

**Exhibit 1: Pass-By & Diverted Link Trips Defined**





## 2.2 TRIP GENERATION COMPARISON

The existing building on the project site is currently being utilized as a medical office. The number of weekday peak (AM and PM) and daily vehicle trips that are generated by the existing use of the project site were calculated based on the data published by ITE in the *Trip Generation Manual, 12<sup>th</sup> Edition*. The trip generation forecast for the existing use was compared to the proposed development, as shown in **Table 2**.

**Table 2: Trip Generation Comparison**

Scenario	Land Use	ITE Code	Amount	Units	Average Daily Traffic (vpd)	AM Peak Hour (vph)			PM Peak Hour (vph)		
						In	Out	Total	In	Out	Total
Existing Site	Medical-Dental Office Building	720	11,826	SF	405	28	7	35	11	27	38
Proposed Use	Multi-Family Housing (Low-Rise)	220	8	DU	50	1	2	3	2	2	4
	Strip Retail Plaza (<40k SF)	822	8,900	SF	605	19	16	35	36	35	71
	Total				655	19	16	35	36	35	71
Difference					250	-9	9	0	25	8	33

The results of the trip generation comparison indicate that the proposed development is comparable to the existing use of the project site.

## 3 SITE TRIP DISTRIBUTION

The vehicular trips that would be generated by the proposed development were assigned to the study roadway network based on existing peak hour traffic patterns in the adjacent roadway network, the proposed site access points, and the methodologies published by ITE. Current traffic volume along Mack Avenue was obtained from the MDOT Traffic Count Database System (TCDS) website, for use in determining the project site distribution.

Additionally, traffic volume data was not available along Oxford Road and S. Renaud Road. It is expected that some residents of the adjacent neighborhoods on Oxford Road and S. Renaud Road will access the proposed retail development to/from the east of the site. However, it is expected that the majority of traffic generated by the proposed development will be to/from Mack Ave.

The ITE trip distribution methodology assumes that vehicle trips will enter the network and access the development, then leave the development, and return to their direction of origin. However, in order to provide a conservative analysis, the pass-by trips were not considered for the purpose of this TGA. The site trip distributions utilized in this analysis are summarized in **Table 3**.

**Table 3: Site Trip Distribution**

To/From	Via	Residential		Commercial	
		AM	PM	AM	PM
North	Mack Ave	43%	38%	47%	38%
South	Mack Ave	47%	52%	43%	52%
East	S Renaud Road	5%	5%	5%	5%
East	Oxford Road	5%	5%	5%	5%
Total		100%	100%	100%	100%

The site-generated vehicular traffic volumes shown in **Table 1** were distributed to the study roadway network according to the site trip distribution shown in **Table 3**. The project site trip distribution volumes are shown in the attached **Figure 1**.



## 4 SAFETY REVIEW

### 4.1 CRASH ANALYSIS

A crash analysis was conducted at the intersections of Mack Avenue & S. Renauld Road and Mack Avenue & Oxford Road. The crash data used in the analysis was obtained from the Michigan Traffic Crash Facts (MTCF) website, for the most recent **five years** (January 1, 2020, to December 31, 2024) of available data.

The results of the crash analysis indicate that a total of 17 crashes occurred within the study area, based on the five years of available crash data. There 13 crashes reported at the Mack Avenue & Oxford Road intersection and four (4) crashes reported at the Mack Avenue & S. Renauld Road intersection.

- The majority (94%) of the crashes were due to failure to yield to traffic on Mack Ave. within the bi-directional crossovers.
- Three (3) crashes resulted in “Type-B” injuries and three (3) crashes resulted in “Type-C” injuries.

### 4.2 MULTI-MODAL REVIEW

The existing non-motorized facilities and the interconnectivity to the project site are shown in the attached **Figure 2**, indicating possible points of conflict between motorized traffic and pedestrian / bicycle traffic on the adjacent study roadways. Below is a summary of the existing non-motorized facilities:

- Sidewalk is currently provided along both sides of Mack Avenue, S. Renauld Road, and Oxford Road, within proximity of the project site.
- There are two (2) bus stops located within close proximity to the project site, including one (1) bus stop adjacent to the property frontage on Mack Avenue.
- Bike lanes are not provided along any of the study roadways, within close proximity of the project site.

The proposed development includes the removal of one (1) of the existing driveways on Oxford Road, which will reduce the number of conflict points between motorized vehicles and pedestrian / bicycle traffic, thereby improving non-motorized safety. Additionally, existing sidewalks are provided along all of the adjacent study roadways and is proposed internal to the site; therefore, pedestrian connectivity will be provided in all directions between the project site and the adjacent roadway network.

## 5 CONCLUSIONS

*The conclusions of this TGA are as follows:*

- The trips generated by the proposed development will access the property via driveways on S. Renauld Road and Oxford Road. The majority of traffic is expected to travel to/from Mack Avenue.
- A trip generation comparison was performed, indicating that the proposed development is comparable to the previous use (medical office building) of the project site.
- A crash analysis was conducted at the adjacent intersections of Mack Avenue & S. Renauld Road and Mack Avenue & Oxford, based on the most recent five (5) years of available data in the MTCF database. Detailed review of the crash reports (UD-10s) indicates that the majority (94%) of the crashes at the study intersections involved vehicles within the bi-directional crossovers.
- The proposed development plan includes the removal of one (1) of the existing site driveways on Oxford Road, which will reduce the number of conflict points between motorized vehicles and pedestrian / bicycle traffic, thereby improving non-motorized safety.
- Sidewalk is provided along all the adjacent study roadways and is proposed internal to the site; therefore, pedestrian connectivity will be provided in all directions between the project site and the adjacent roadway network.



Any questions related to this memorandum, study, analysis, and results should be addressed to Fleis & VandenBrink.



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Michigan.

A handwritten signature in blue ink that reads "Julie M. Kroll".

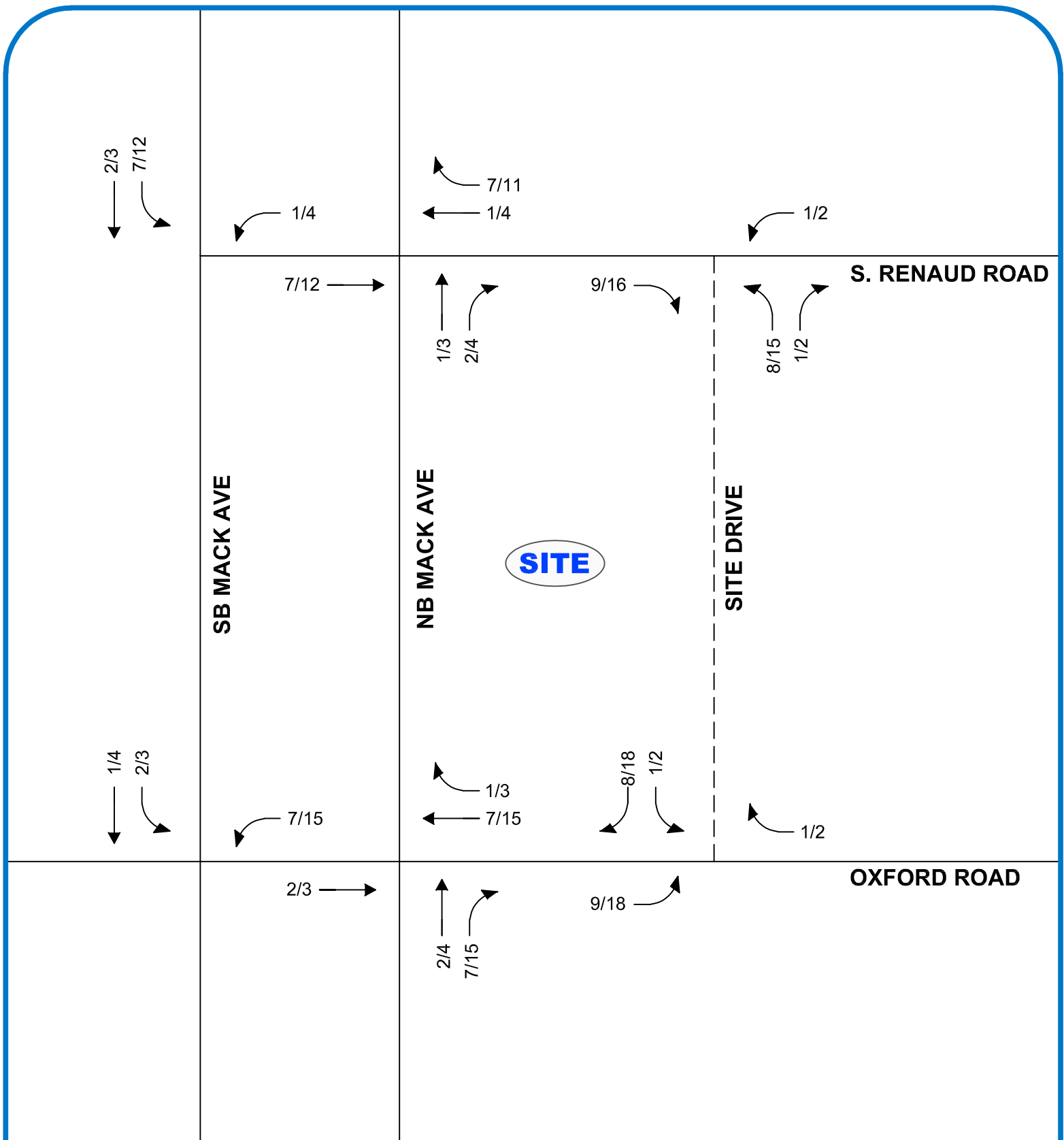
Julie M. Kroll

2025.09.11

14:46:47 -04'00'

**Attachments:** Figures 1 – 2  
Site Plan  
Traffic Volume Data



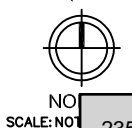


# **FIGURE 1** **SITE-GENERATED TRAFFIC VOLUMES**

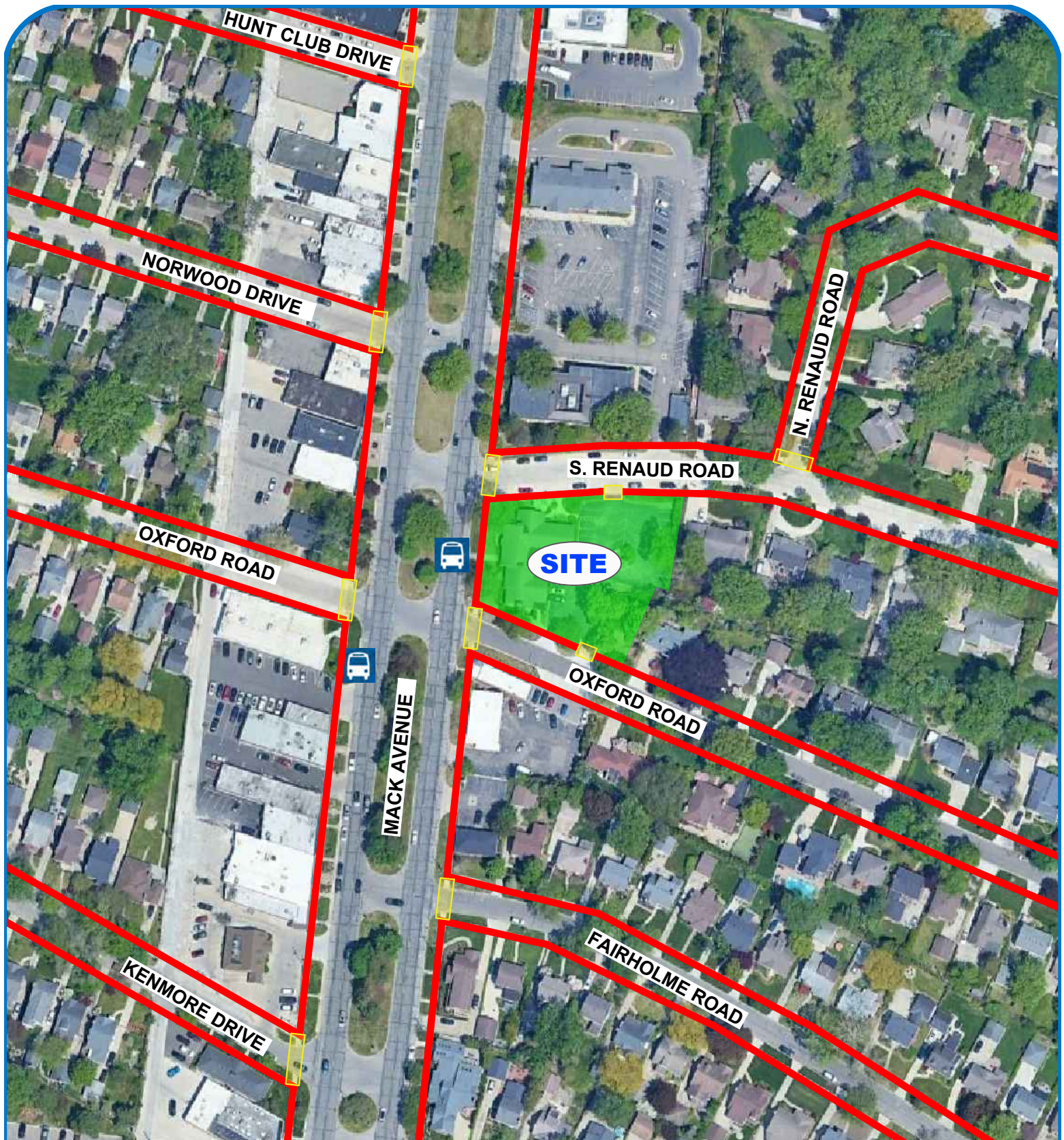
BUCCELLATO RETAIL TGA - GROSSE POINTE WOODS, MI

## **LEGEND**

- ROADS
- TRAFFIC VOLUMES (AM/PM)







## FIGURE 2 MULTI-MODAL CIRCULATION PLAN

BUCCELLATO RETAIL TGA - GROSSE POINTE WOODS, MI

### LEGEND



SITE LOCATION



BIKE LANE



EXISTING SIDEWALK



EXISTING CROSSWALK /  
CONFLICT POINT



BUS STOP



NORTH  
SCALE: NOT TO SCALE



PROPOSED BUILDING FLOOR AREA AND PARKING			
FLOOR AREA	BUILDING USASE	PARKING PER USABLE AREA	PROPOSED REQUIRED PARKING
8,800 SF	RETAIL	200 SF	44
	MULTI-FAMILY RESIDENTIAL	6 UNITS (1BR/EFFICIENCY) 2 SP. EA.	12

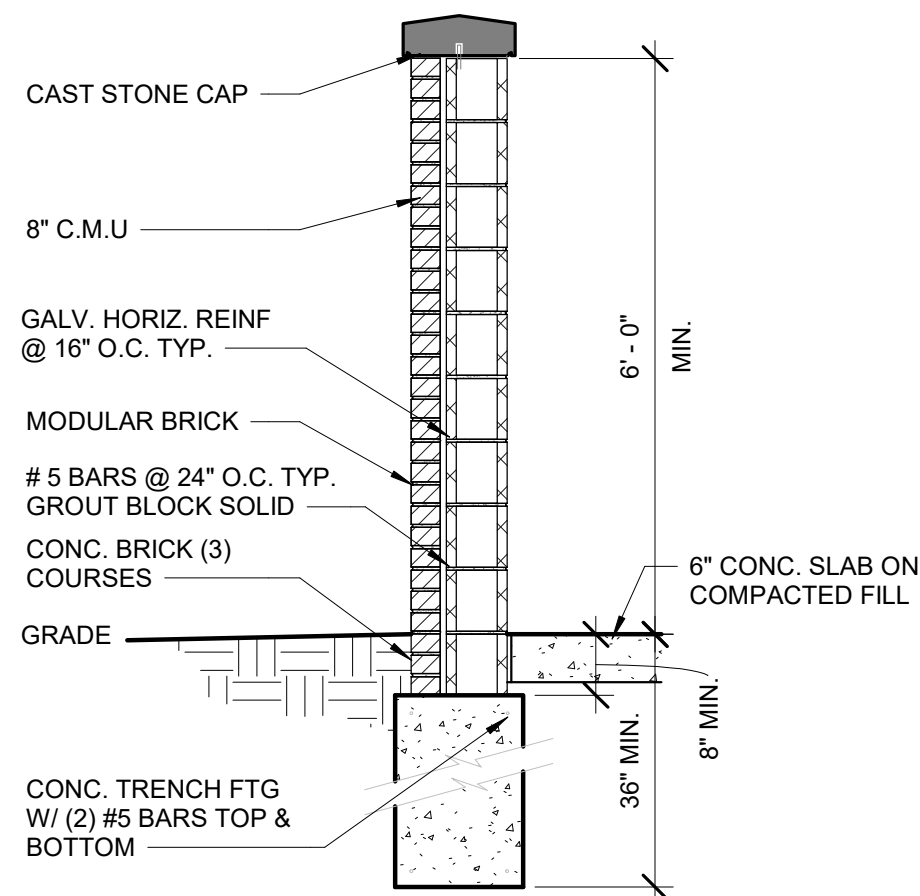
NOTE: ORIGINAL PARKING COUNT = 34 SPACES. ADDED 11 OFF-STREET PARKING SPACES

56 TOTAL REQUIRED

Parking Schedule
Count

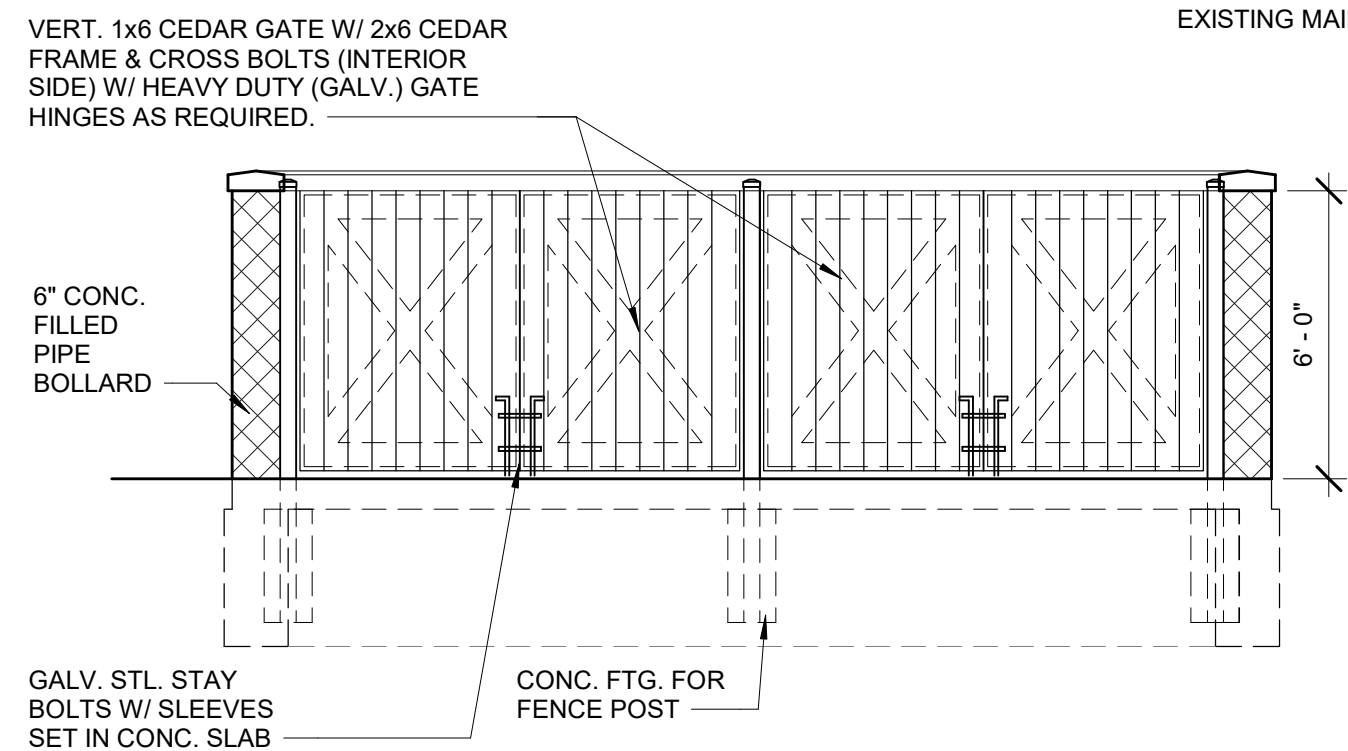
\* Calculations resulting in fractional space. When units or measurements determining the number of required parking spaces result in a requirement of a fractional space, any fraction up to and including one-half shall be disregarded and fractions over one-half shall require one parking space

45	OFF-STREET	+ 4 METERED PARKING SPACES MACK AVE.
58	TOTAL	+ 9 PARKING SPACES - S RENAUD RD.



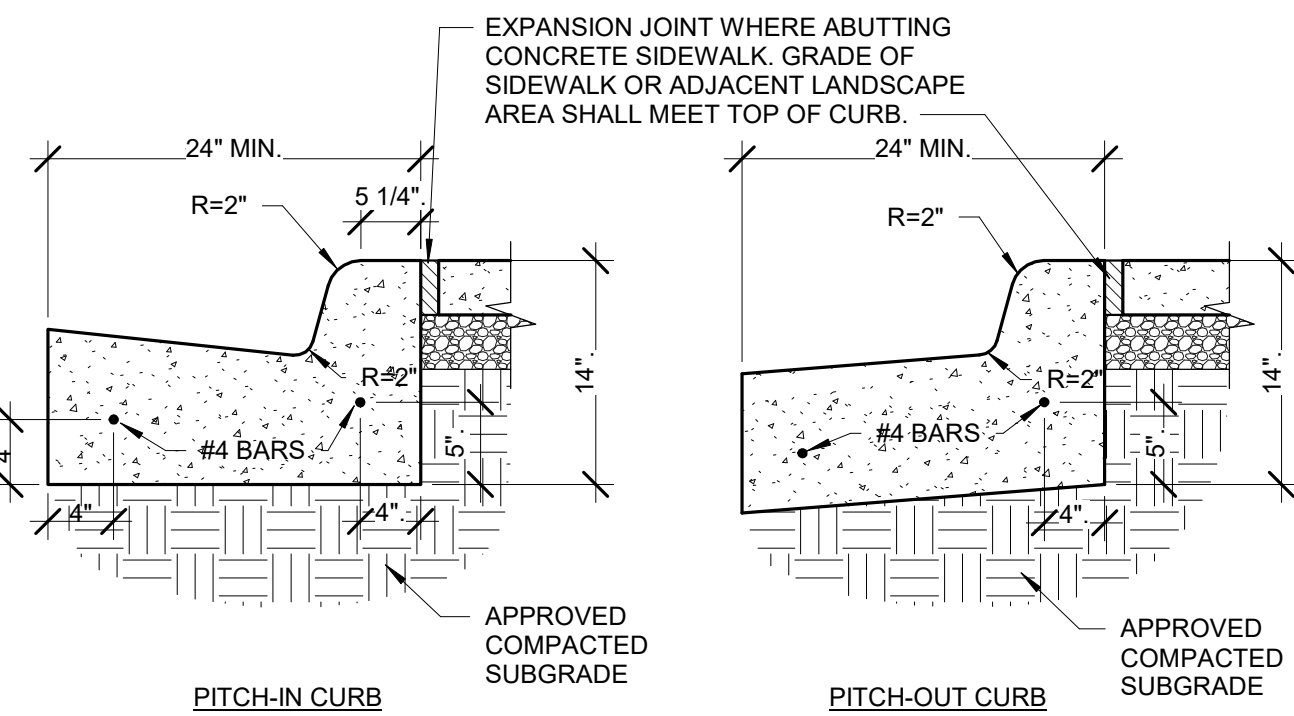
2 Section At Dumpster Screen

A1 1/2" = 1'-0"



3 Dumpster Screening Detail

A1 1/4" = 1'-0"



NOTES:

- CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
- TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM SURFACE.
- HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
- 14" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

4 CONCRETE CURB AND GUTTER DETAIL

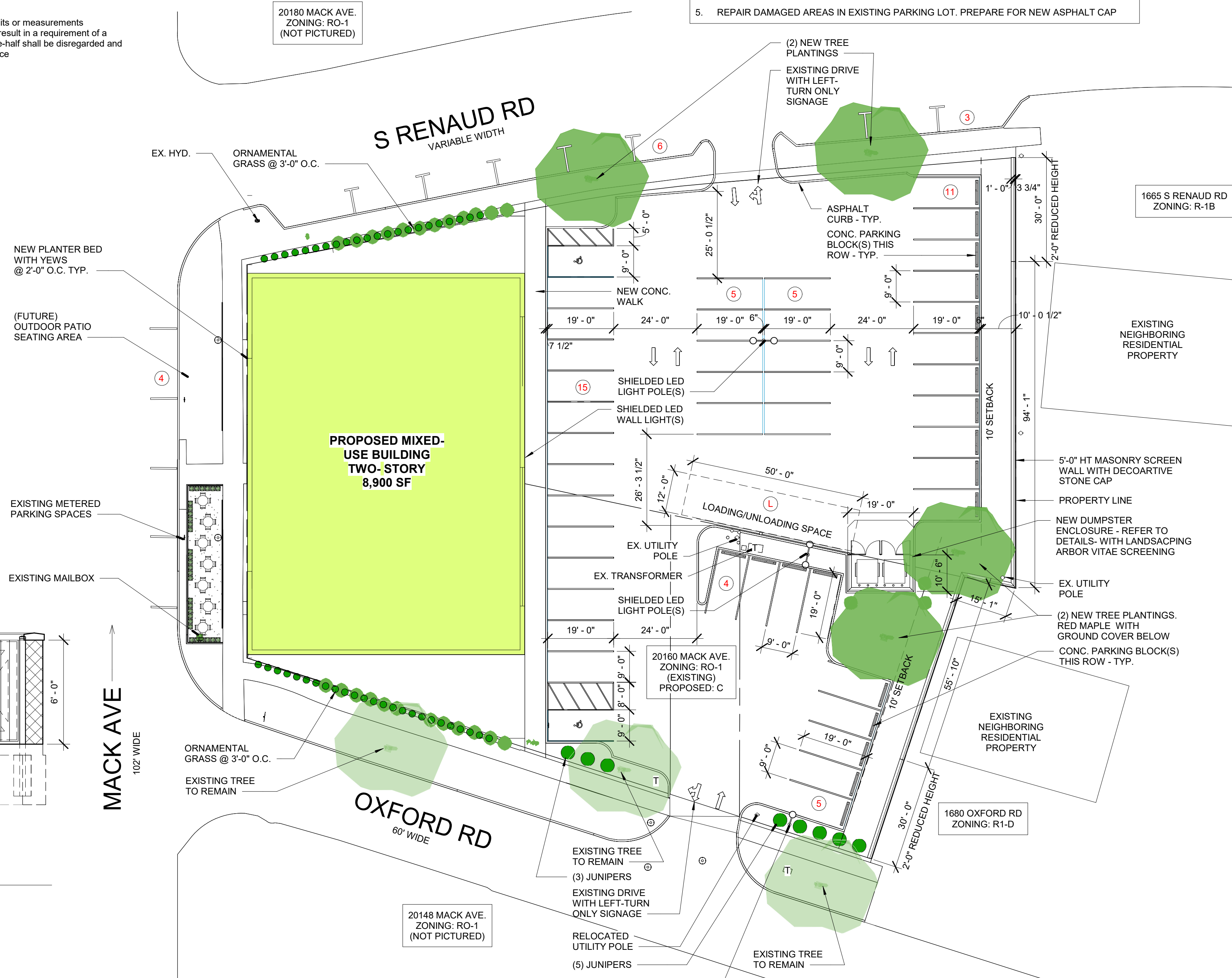
A1 1" = 1'-0"

**SITE AREA:**  
EXISTING SITE AREA: 33,007 SF (0.758 ACRES)  
PARKING LOT AREA: 18,746 SF  
LOT SIZE: (EXISTING UNCHANGED)

**SETBACKS:**  
C-COMMERCIAL BUSINESS  
FRONT YARD SETBACK: 0  
SIDE YARD SETBACK: 0  
CORNER LOT  
MAXIMUM BUILDING HEIGHT:  
(2) STORIES  
28 FEET  
PROPOSED HEIGHT: 18 FEET

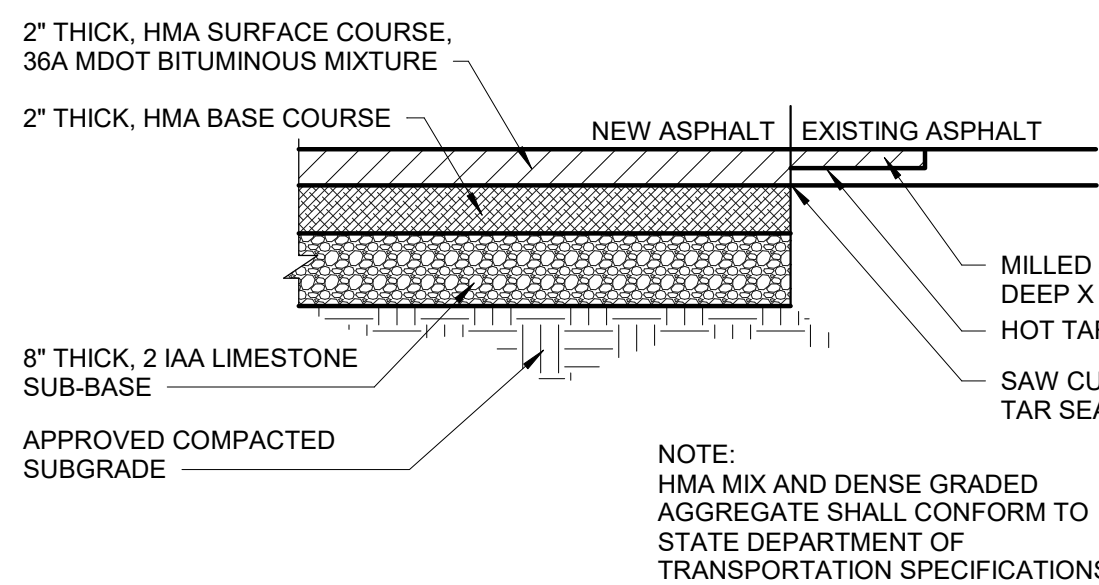
**DEMOLITION SCOPE:**

- ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS DESCRIBED IN THE DEMOLITION SCOPE. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
- EXISTING STRUCTURE AND BASEMENT TO BE DEMOLISHED COMPLETELY. DISCONNECT AND CAP EXISTING UTILITIES AS REQUIRED PRIOR TO DEMOLITION.
- GENERAL PRECAUTIONS SHALL BE TAKEN AS NECESSARY TO HOLD ALL DISRUPTION, DUST, DIRT, NOISE, AND DEBRIS TO A MINIMUM. G.C. TO OBTAIN DEMOLITION PERMIT AND PROVIDE ALL NECESSARY BARRIERS AND SAFETY MEASURES IN COMPLIANCE WITH REQUIREMENTS BY AHJ.
- REMOVE ALL DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF THESE MATERIALS.
- REPAIR DAMAGED AREAS IN EXISTING PARKING LOT. PREPARE FOR NEW ASPHALT CAP



1 SITE PLAN

A1 1" = 20'-0"

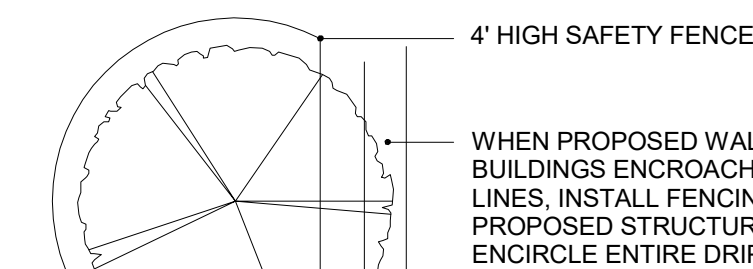


5 ON-SITE FULL DEPTH ASPHALT PAVEMENT DETAIL

A1 1" = 1'-0"

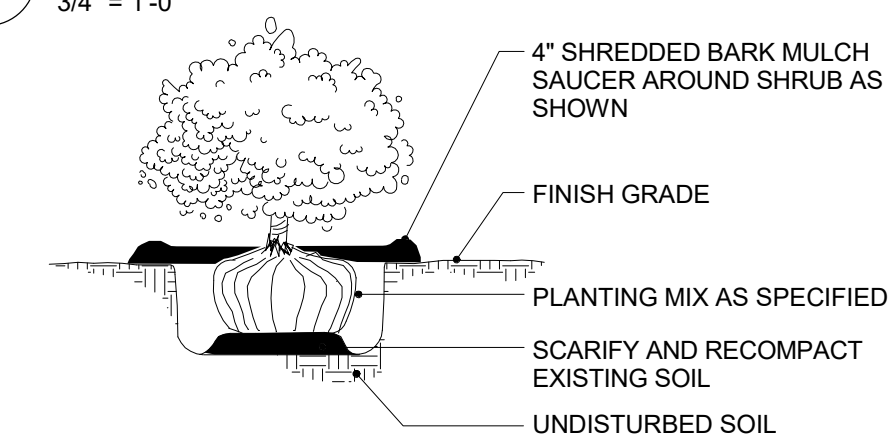
**GENERAL SITE PLAN NOTES**

- PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
- CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
- ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
- PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
- ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
- ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
- ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
- CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
- FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKewise ARRANGE FOR ALL INSPECTION.
- EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
- EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
- SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
- ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
- FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.
- ALL LANDSCAPED AREAS TO BE PROVIDED W/ SPRINKLER SYSTEMS FOR 100% COVERAGE.
- MAINTAIN EXISTING DRAINAGE PATTERNS ON SITE IN COMPLIANCE WITH REQUIREMENTS OF AHJ.
- EXISTING UTILITIES ON SITE TO REMAIN - TYP. U.N.O.
- MAINTAIN EXISTING SITE TOPOGRAPHY - TYP. U.N.O.



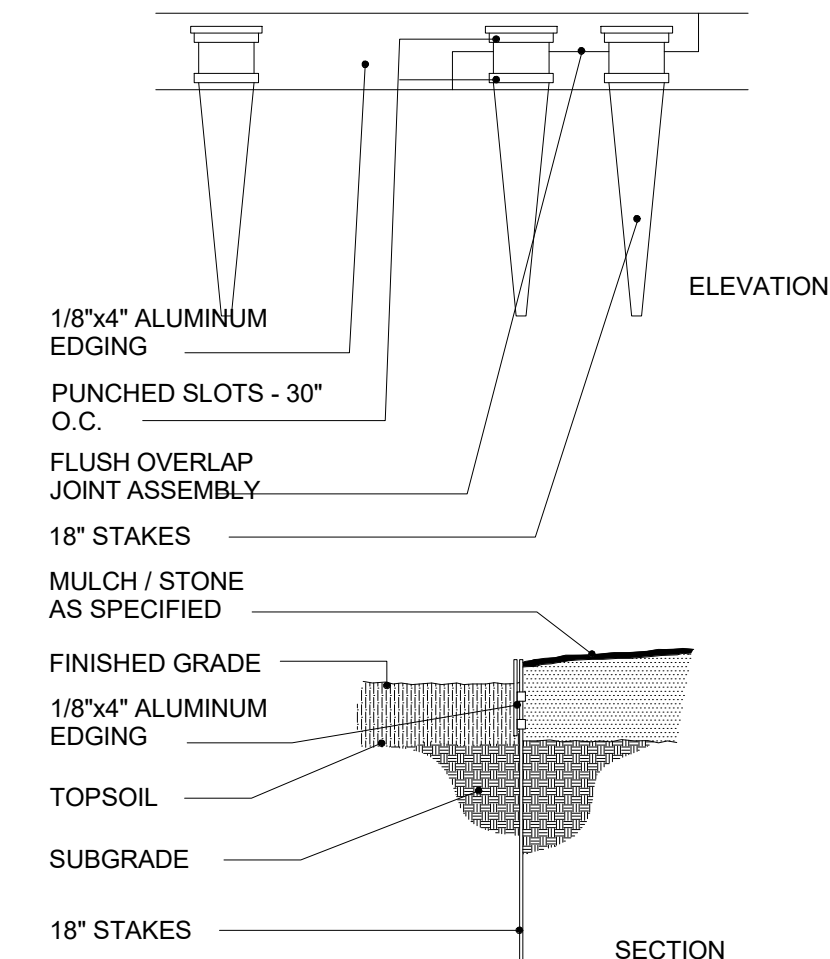
8 TREE PROTECTION DETAIL

A1 3/4" = 1'-0"



7 SHRUB PLANTING DETAIL

A1 3/4" = 1'-0"



6 ALUMINUM EDGING DETAIL

A1 3/4" = 1'-0"



**STUCKY VITALE ARCHITECTS**  
27172 WOODWARD AVENUE  
ROYAL OAK, MI 48067-0925  
P. 248.546.6700  
F. 248.546.8454  
WWW.STUCKYVITALE.COM

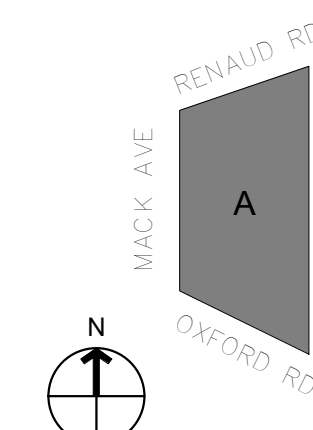
STATEMENT OF INTELLECTUAL PROPERTY:  
THE IDEAS, CONCEPTS, DRAWINGS AND THOUGHTS CONVEYED HEREIN ARE THE INTELLECTUAL PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET OF DRAWINGS, IN WHOLE OR IN PART, MAY NOT BE REPRODUCED, WITHOUT THE WRITTEN CONSENT OF STUCKY VITALE ARCHITECTS. THIS INFORMATION IS PROTECTED UNDER U.S. COPYRIGHT LAW, ALL RIGHTS RESERVED.  
Consultants

Seal:

Project :  
RETAIL DEVELOPMENT

20160 Mack Ave, Grosse  
Pointe Woods, MI 48236

Key Plan:



Issued for

CITY SUBMITTAL	03.14.25
CITY SUBMITTAL	04.17.25
UPDATE	
CITY SUBMITTAL	05.14.25
UPDATE	

Drawn by :  
JGB, JPM  
Checked by :  
JPM, JAV

Sheet Title :  
SITE PLAN + LANDSCAPE PLAN + DETAILS

Project No. :  
2025.018

Sheet No. :

A1





## Volume Count Report

LOCATION INFO	
Location ID	50-5362
Type	SPOT
Funct'l Class	4
Located On	Greater Mack Ave
BETWEEN	Avalon St AND Maxine St
Direction	2-WAY
County	Macomb
Community	St Clair Shores
MPO ID	51633
HPMS ID	
Agency	MDOT

COUNT DATA INFO	
Count Status	Accepted
Holiday	No
Start Date	Wed 7/9/2025
End Date	Thu 7/10/2025
Start Time	12:00:00 AM
End Time	12:00:00 AM
Direction	2-WAY
Station	
Study	
Speed Limit	
Description	
Sensor Type	Video (Length-based)
Source	CombineVolumeCountsIncremental
Latitude,Longitude	



INTERVAL:15-MIN					
Time	15-min Interval				Hourly Count
	1st	2nd	3rd	4th	
0:00-1:00	17	13	7	11	48
1:00-2:00	6	7	2	3	18
2:00-3:00	6	2	2	2	12
3:00-4:00	0	3	2	3	8
4:00-5:00	4	9	14	18	45
5:00-6:00	14	26	44	36	120
6:00-7:00	48	57	90	114	309
7:00-8:00	118	101	197	189	605
8:00-9:00	191	198	210	249	848
9:00-10:00	206	213	227	241	887
10:00-11:00	237	265	251	273	1,026
11:00-12:00	296	314	319	316	1,245
12:00-13:00	330	315	359	368	1,372
13:00-14:00	334	344	318	346	1,342
14:00-15:00	302	302	262	333	1,199
15:00-16:00	365	322	332	299	1,318
16:00-17:00	360	367	370	345	1,442
17:00-18:00	362	348	386	364	1,460
18:00-19:00	306	329	331	289	1,255
19:00-20:00	247	222	221	208	898
20:00-21:00	197	157	161	119	634
21:00-22:00	126	129	106	96	457
22:00-23:00	60	52	43	42	197
23:00-24:00	36	26	28	14	104
Total					16,849
AADT					16,849
AM Peak	11:45-12:45				1,320
PM Peak	17:00-18:00				1,460

NOTES/FILES			
	Note	Date	



# Volume Count Report

LOCATION INFO	
Location ID	50-5362_NE
Type	SPOT
Funct'l Class	4
Located On	Greater Mack Ave
Loc On Alias	
BETWEEN	Avalon St AND Maxine St
Direction	NE
County	Macomb
Community	St Clair Shores
MPO ID	51633
HPMS ID	
Agency	MDOT



INTERVAL:15-MIN					
Time	15-min Interval				Hourly Count
	1st	2nd	3rd	4th	
 0:00-1:00	10	5	4	7	26
1:00-2:00	4	3	1	3	11
2:00-3:00	3	2	0	1	6
3:00-4:00	0	1	0	1	2
4:00-5:00	2	5	5	5	17
5:00-6:00	6	9	14	10	39
6:00-7:00	20	24	28	38	110
7:00-8:00	55	48	97	81	281
8:00-9:00	81	105	94	126	406
9:00-10:00	115	121	114	122	472
10:00-11:00	125	121	128	141	515
11:00-12:00	156	187	174	160	677
12:00-13:00	189	169	211	178	747
13:00-14:00	168	185	155	172	680
14:00-15:00	153	142	135	178	608
15:00-16:00	216	179	189	166	750
16:00-17:00	192	199	198	197	786
17:00-18:00	206	210	216	205	837
18:00-19:00	176	172	196	143	687
19:00-20:00	115	109	112	100	436
20:00-21:00	100	72	85	53	310
21:00-22:00	66	69	44	44	223
22:00-23:00	24	30	18	23	95
23:00-24:00 	14	13	16	7	50
Total					8,771
AM Peak	11:45-12:45				729
PM Peak	17:00-18:00				837

NOTES/FILES			
	Note	Date	



# Volume Count Report

LOCATION INFO	
Location ID	50-5362_SW
Type	SPOT
Funct'l Class	4
Located On	Greater Mack Ave
Loc On Alias	
BETWEEN	Avalon St AND Maxine St
Direction	SW
County	Macomb
Community	St Clair Shores
MPO ID	51633
HPMS ID	
Agency	MDOT

INTERVAL:15-MIN					
Time	15-min Interval				Hourly Count
	1st	2nd	3rd	4th	
 0:00-1:00	7	8	3	4	22
1:00-2:00	2	4	1	0	7
2:00-3:00	3	0	2	1	6
3:00-4:00	0	2	2	2	6
4:00-5:00	2	4	9	13	28
5:00-6:00	8	17	30	26	81
6:00-7:00	28	33	62	76	199
7:00-8:00	63	53	100	108	324
8:00-9:00	110	93	116	123	442
9:00-10:00	91	92	113	119	415
10:00-11:00	112	144	123	132	511
11:00-12:00	140	127	145	156	568
12:00-13:00	141	146	148	190	625
13:00-14:00	166	159	163	174	662
14:00-15:00	149	160	127	155	591
15:00-16:00	149	143	143	133	568
16:00-17:00	168	168	172	148	656
17:00-18:00	156	138	170	159	623
18:00-19:00	130	157	135	146	568
19:00-20:00	132	113	109	108	462
20:00-21:00	97	85	76	66	324
21:00-22:00	60	60	62	52	234
22:00-23:00	36	22	25	19	102
23:00-24:00 	22	13	12	7	54
Total					8,078
AM Peak	11:45-12:45				591
PM Peak	12:45-13:45				678

NOTES/FILES			
	Note	Date	



November 18, 2025

City of Grosse Pointe Woods Planning Commission

Dear Planning Commission members,

For the past seven months, residents in the community surrounding 20160 Mack Avenue (and all over Grosse Pointe Woods) have been voicing concerns regarding the rezoning of the parcel and proposed new development. I thank you for taking some of the issues into consideration; however, I feel it is important to re-address many concerns, as the scope of the project has drastically changed.

The initial structure (April 2025 Planning Commission Public Hearing) comprised a one-story building with three individual retail units (11,000 total SF), with no planned uses or business-types provided by the developer. Residents voiced many concerns regarding traffic and pedestrian safety, lack of onsite parking, noise and light pollution, storm water drainage, lack of green space and more.

We are now presented with a new development consisting of two stories, 17,600 SF (almost double), with four planned retail units on the first floor and seven residential apartments on the second. The issues raised by residents over the past seven months are still extremely valid, given the expanded scope and include the following:

1. Parking - While McKenna is currently noting that the proposed development offers a variety of uses and flexibility, they also state that each end user will be evaluated during the site plan phase – AFTER conditional zoning approval has occurred. I hope that the planning commission is seriously weighing all of the possible scenarios that could occur. The apartments were described in the last commission meeting as ‘high-end’ by the architect, so what if there are multiple qualified tenants who would require more than one parking space per unit? Other considerations: Will these residential spaces be off limits to the customers of the retail establishments?; What about visitor and delivery parking for the residential units?; How can the correct allotment of manager and employee parking be guaranteed for the retail units when the businesses are unknown?; Will DoorDash, Uber Eats etc. drivers double-park on the residential streets to run in if the lot is full?; to name just a few. Currently, there is one medical office with an adjoining parking lot. We are faced with a rather large jump to a 4 retail/7 residential unit building. This most definitely guarantees that parking will overflow onto the adjoining streets.
2. Use of space - Once again, no retail tenants have been named. Every other item that has come before the Planning Commission has the intended occupant stated. What if these retail establishments fail to command any new business once built? Will they sit empty awaiting potential lessees? The developer is also adding the condition that *“The property shall be limited to one potential “quick services restaurant” with no drive-through and shall not exceed 3,200 square feet”*. The surrounding neighborhoods have stated time and again that they don’t support food establishments of any kind, due to several adverse factors that will affect the community. A second condition states that the restaurant shall operate between the



hours of 6:00 a.m. and 10:00 p.m. and hard liquor sales shall not be permitted. This brings the following questions to mind: When do the residents get to enjoy their homes in peace?; No hard liquor is allowed, but what about beer and wine, which can lead to disorderly patrons?; Who is going to rent expensive apartments on top of retail and restaurant establishments and when do they get any peace in their homes?; and, Has anyone considered ADA accessibility standards for 2nd floor apartments?

3. Traffic and safety - A Trip Generation Analysis (TGA) was performed by Fleis & Vandenbrink, based on their *“knowledge of the study area, understanding of the development program, accepted traffic engineering practice, professional experience, and the methodologies published by the Institute of Transportation Engineers (ITE).”*. But what about the daily experience that residents have, navigating the area roads and this intersection in particular? Their concerns dealing with the heavily traversed Mack Avenue, blind spots turning from residential streets, and the ability to carefully navigate with other traffic and pedestrians has been brought to the attention of the commission and city council several times. Is the Planning Commission aware that there was a bad traffic accident that occurred recently on September 17th? A truck and an SUV ended up on the front lawn of the medical office, after taking out the postal dropbox and nearby signs. What if there had been an outdoor patio with customers in this space? These are real-life experiences, based on fact rather than assumption and theoretical calculations. Also, the MDOT traffic count presented in the agenda was located on Greater Mack Avenue between Avalon and Maxine streets – in St. Clair Shores, not Grosse Pointe Woods.
4. Advertising - Lastly, is the commission aware that this piece of property had been advertised nationally as ‘commercial’ (now ‘mixed-use’) since early 2025? <https://landmarkcres.com/properties/grosse-pointe-woods-new-development/>. The State of Michigan requires real estate brokers to operate within legal boundaries and maintain professional standards. The Michigan Consumer Protection Act prohibits brokers from presenting false or misleading representations regarding property conditions, legal status, market value, etc. Rezoning has not officially occurred on this property, yet there is a new development brochure online, as well as a brokerage sign in front of 20160 Mack Ave., implying zoning other than RO-1.

Residents still have faith and expect that the Planning Commission will think critically and debate this proposal with careful consideration. Our homes are our refuge and sanctuary, and this development is sure to create a significant deal of change in a short period of time. Please think of the long-term effects this will have on the community, as well as the reason people are drawn to this city in the first place (peace and safety), and vote ‘no’ on rezoning this property to commercial. Thank you for your time and consideration.

Respectfully,

C. McIver  
1653 S. Renaud Rd



**MOTION** by Fuller, seconded by Marx, that the Planning Commission recommend the Conditional Rezoning of 20160 Mack Avenue from RO-1, to C, to City Council for approval based on the following proposed conditions in the Buccellato Development letter dated September 30, 2025:

1. Limitation on type of occupancy – The property shall be limited to one potential “quick service restaurant” with no drive through and shall not exceed 3,200 square feet.
2. Residential Use – we are committed to a second-story residential use consisting of up to seven (7) apartment units.
3. Hours of Operation – the restaurant shall operate approximately between the hours of 6:00 a.m. and 10:00 p.m. Hard liquor sales or service shall not be permitted.
4. Setbacks – Setbacks shall be as shown on Site Plan A-1.
5. Provide Dust Mitigation Plan at time of construction.
6. Construction Hours per city of GPW City Ordinances.

And based on the following findings of facts:

- a. This rezoning and proposed development is consistent with numerous goals from the 2024 Master Plan, including Goal #1 - Housing: Provide a range of housing choices for all ages, abilities, and incomes; Goal #2 – Economic Development: Elevate Mack Avenue as a thriving, vibrant commercial corridor that meets the daily needs of residents and is a destination for visitors; and Goal # 3 – Community Character: Strengthen sense of place, identity, and character throughout the City and its neighborhoods.
- b. This rezoning brings the site closer to the intentions of the 2024 Master Plan’s Future Land Use Plan, which designates the site as “Corridor Mixed Use”.
- c. The uses permitted in the C, Commercial Business District, including a mix of retail, office, restaurant, and residential uses, are generally compatible with the commercial nature of Mack Avenue surrounding this property. The applicant must provide appropriate buffering between adjacent properties of dissimilar zoning, per the requirements of the Ordinance, during the site plan review process.
- d. While the Voluntary Conditions offered by the applicant place an additional limitation on the type of future occupancy, i.e.: “The property shall be limited to one potential “quick services restaurant” with no drive through and shall not exceed 3,200 square feet”, restaurants are subject to the City’s Special Land Use process. Should a restaurant be proposed in the future, an additional public hearing and review of the specific use (including maximum occupancy, square footage, available parking, loading, etc.) will be evaluated for compliance with the Zoning Ordinance.
- e. The site meets all Zoning Ordinance dimensional requirements of the C, Commercial Business District. The rezoning allows for a buildable lot and does not create a non-conformity.



- f. The rezoning is not anticipated to significantly alter traffic generation in the area. The proposed uses are anticipated to generate comparable amounts of traffic to that of an operating medical office, and pedestrian and non-motorized transportation safety is expected to be improved through sidewalk connectivity and the reduction of a driveway.
- g. The design of the building follows traditional, high quality architectural design which is encouraged by the Zoning Ordinance and is largely compatible with the Mack Avenue Corridor and surrounding neighborhoods.

Motion carried by the following vote:

YES: Ellis, Fenton, Fuller, Hamborsky, O'Keefe, Marx

NO: None

ABSENT: Gilezan, Schulte, Vitale



# AFFIDAVIT OF PROPERTY OWNERS NOTIFIED

Re: 20160 Mack Avenue  
Buccellato Development, LLC

State of Michigan     )  
                                      ) ss.  
County of Wayne     )

**I HEREBY CERTIFY** that the notice of Hearing was duly mailed First Class Mail on 10/08/2025 to the following property owners in accordance with the provisions of the 2017 City Code of Grosse Pointe Woods.

**Paul P. Antolin, MiPMC**  
City Clerk

**See attached document for complete list.**

## **City of Grosse Pointe Woods, Michigan**

**Notice is hereby given** that the Grosse Pointe Woods Planning Commission, under the provisions of Public Act 110 of 2006, MCL 125.3101 as amended, and Grosse Pointe Woods City Code of 2022 Chapter 50, Article 7, Section 50-7.15, will hold a Public Hearing on Tuesday, October 28, 2025 at 7:00 p.m., at City Hall in the Council Chamber/Courtroom (located at 20025 Mack Plaza Drive, Grosse Pointe Woods, MI 48236) for the purpose of considering a conditional rezoning of 20160 Mack Avenue (Parcel ID 0009-001-0001-000) from RO-1 Restricted Office to C Commercial Business. The applicant requests to redevelop the site into a two-story mixed-use building, including commercial and residential uses. The Planning Commission will hear a presentation, hold a Public Hearing, and may make a recommendation to the City Council regarding the requested conditional zoning map amendment.

All interested persons are invited to attend and will be given opportunity for public comment. The public may appear in person or be represented by counsel. Written comments will be received in the City Clerk's Office (cityclerk@gpwmi.us), up to close of business preceding the hearing. Individuals with disabilities requiring auxiliary aids or services at the meeting should contact the Grosse Pointe Woods Clerk's Office at 313-343-2440 seven days prior to the meeting. The agenda and pertinent documents will be available at [www.gpwmi.us](http://www.gpwmi.us). For additional project information, contact the Building and Planning Department at 313-343-2426 or e-mail [building@gpwmi.us](mailto:building@gpwmi.us).

Paul P. Antolin  
City Clerk

**The public may appear in person or be represented by counsel. Written comments will be received in the City Clerk's office, up to the close of business preceding the hearing. A group spokesperson is encouraged on agenda items concerning organized groups. Individuals with disabilities requiring auxiliary aids or services at the meeting should contact the Grosse Pointe Woods Clerk's Office at 313 343-2440 seven days prior to the meeting.**



**20160 Mack Avenue  
Mailer Notice List for 10-28-25**

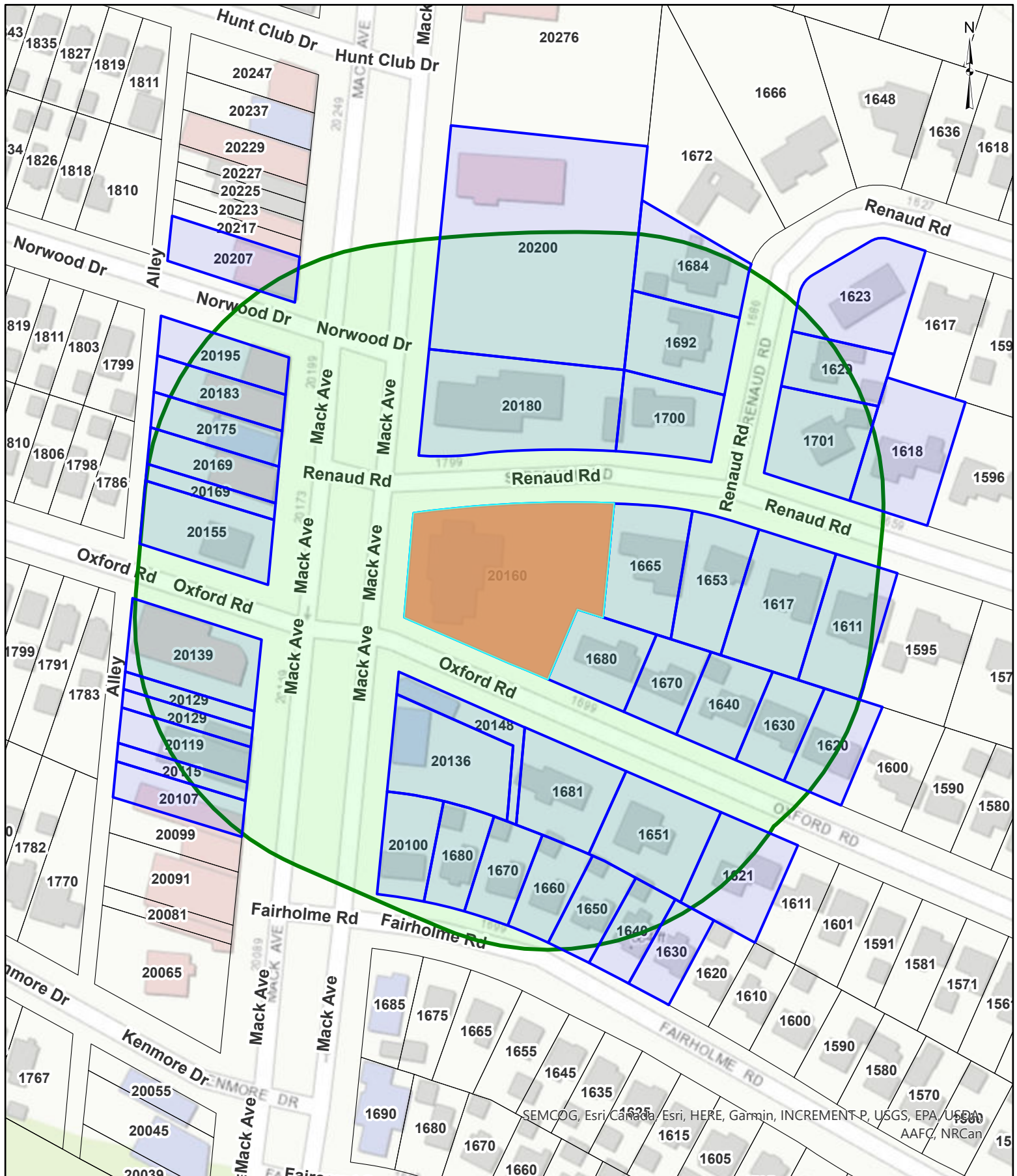
PARCEL NUMBER	PARCEL ADDRESS	OWNER	OWNER ADDRESS	CITY, STATE, ZIP
008 01 0467 000	1611 S RENAUD RD	BRODERICK, JEFFREY P	1611 S RENAUD RD	GROSSE POINTE WOODS, MI 48236
008 01 0474 000	1617 S RENAUD RD	MCLELLAN, JOHN C	1617 S RENAUD RD	GROSSE POINTE WOODS, MI 48236
008 01 0259 000	1618 S RENAUD RD	SULTZMAN, L CARL	1618 S RENAUD RD	GROSSE POINTE WOODS, MI 48236
009 01 0007 000	1620 OXFORD RD	BOGEN, JOAN M	1620 OXFORD RD	GROSSE POINTE WOODS, MI 48236
009 01 0290 000	1621 OXFORD RD	MCATEE, JOHN R	1621 OXFORD RD	GROSSE POINTE WOODS, MI 48236
008 01 0256 000	1623 N RENAUD RD	THE ROZYCKI FAMILY TRUST	1623 N RENAUD RD	GROSSE POINTE WOODS, MI 48236
008 01 0257 000	1629 N RENAUD RD	VIRGINIA REUTER REV LIV TRUST	1629 N RENAUD RD	GROSSE POINTE WOODS, MI 48236
012 05 0084 000	1630 FAIRHOLME RD	KARS, DAVON & FRANCES	1630 FAIRHOME	GROSSE POINTE WOODS, MI 48236
009 01 0006 000	1630 OXFORD RD	CONNOLLY, WILLIAM-BETH	1630 OXFORD RD	GROSSE POINTE WOODS, MI 48236
012 05 0085 000	1640 FAIRHOLME RD	DONALDSON, GAIL F (TRUST)	1640 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
009 01 0004 002	1640 OXFORD RD	WORDEN, WILLIAM T	1640 OXFORD RD	GROSSE POINTE WOODS, MI 48236
012 05 0086 000	1650 FAIRHOLME RD	LAZARUS, NICHOLAS	1650 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
009 01 0291 002	1651 OXFORD RD	PEPLER, JANET L	1651 OXFORD RD	GROSSE POINTE WOODS, MI 48236
008 01 0483 000	1653 S RENAUD RD	MCIVER, MATTHEW W	1653 S RENAUD RD	GROSSE POINTE WOODS, MI 48236
012 05 0087 000	1660 FAIRHOLME RD	OWEN, STEPHANIE & JUSTIN	1660 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
008 01 0490 000	1665 S RENAUD RD	DOUGHERTY, PATRICIA & JON	1665 S RENAUD RD	GROSSE POINTE WOODS, MI 48236
012 05 0088 000	1670 FAIRHOLME RD	YOUNGBLOOD, JOSEPH P	1670 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
009 01 0003 002	1670 OXFORD RD	FRANCIS, JAMES W	1670 OXFORD RD	GROSSE POINTE WOODS, MI 48236
012 05 0089 000	1680 FAIRHOLME RD	KETELS, KEVIN	1680 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
009 01 0002 002	1680 OXFORD RD	FELTS, GARY	1680 OXFORD RD	GROSSE POINTE WOODS, MI 48236
009 01 0293 004	1681 OXFORD RD	MALO, KATHLEEN (JOHN BOTT TRUST)	1681 OXFORD RD	GROSSE POINTE WOODS, MI 48236
008 01 0011 000	1684 N RENAUD RD	DAUW, RICHARD	1684 N RENAUD RD	GROSSE POINTE WOODS, MI 48236
008 01 0002 000	1692 N RENAUD RD	SHENSTONE, BRIAN	1692 N RENAUD RD	GROSSE POINTE WOODS, MI 48236
008 01 0001 000	1700 S RENAUD RD	MALBOUEF, THOMAS	1700 S RENAUD RD	GROSSE POINTE WOODS, MI 48236
008 01 0258 000	1701 N RENAUD RD	TRIPP, WILLIAM & JULIE	1701 N RENAUD RD	GROSSE POINTE WOODS, MI 48236
012 05 0090 000	20100 MACK AVE	MACK & FAIRHOME LLC	20259 MACK AVE	GROSSE POINTE WOODS, MI 48236
		FRIENDSHIP FACTORY	20100 MACK AVE	GROSSE POINTE WOODS, MI 48236
011 01 1611 002	20107 MACK AVE	20107 MACK AVE LLC	20107 MACK AVE	GROSSE POINTE WOODS, MI 48236
011 01 1610 000	20115 MACK AVE	20107 MACK AVE LLC	20107 MACK AVE	GROSSE POINTE WOODS, MI 48236
		HENRY'S CLEANERS	20115 MACK AVE	GROSSE POINTE WOODS, MI 48236
011 01 1608 000	20119 MACK AVE	COOK, HONG	20119 MACK AVE	GROSSE POINTE WOODS, MI 48236
009 01 0295 002	20136 MACK AVE	DOMUS ELIT TERRAM LLC	1685 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
011 01 1603 000	20139 MACK AVE	20139 MACK AVENUE LLC	20139 MACK AVE	GROSSE POINTE WOODS, MI 48236
009 01 0295 001	20148 MACK AVE	LAKMACK LLC	20148 MACK AVE	GROSSE POINTE WOODS, MI 48236
		KOVALCHICK, LOIS, DDS, P.C.	20148 MACK AVE	GROSSE POINTE WOODS, MI 48236



**20160 Mack Avenue  
Mailer Notice List for 10-28-25**

011 01 1562 000	20155 MACK AVE	20155 MACK LLC	1270 N OXFORD	GROSSE POINTE WOODS, MI 48236
		LIFETIME ORTHODONTICS	20155 MACK AVE	GROSSE POINTE WOODS, MI 48236
009 01 0001 000	20160 MACK AVE	REAL PROPERTIES INC	20160 MACK AVE	GROSSE POINTE WOODS, MI 48236
011 01 1559 000	20169 MACK AVE	20169 MACK LLC	1270 N OXFORD	GROSSE POINTE WOODS, MI 48236
		FUSION INTEGRATED TRAINING	20169 MACK AVE	GROSSE POINTE WOODS, MI 48236
011 01 1557 000	20175 MACK AVE	20175 MACK AVE	20175 MACK AVE	GROSSE POINTE WOODS, MI 48236
		GOODIS ENDODONTIC SPECIALISTS	20175 MACK AVE	GROSSE POINTE WOODS, MI 48236
008 99 0005 004	20180 MACK AVE	COMERICA BANK	2800 POST OAK BLVD STE 4200	HOUSTON, TX 77056
		COMERICA BANK	20180 MACK AVE	GROSSE POINTE WOODS, MI 48236
011 01 1555 000	20183 MACK AVE	HAN, PETER IN HEE & SUN DUC HAN	20183 MACK AVE	GROSSE POINTE WOODS, MI 48236
011 01 1554 000	20195 MACK AVE	20195 MACK LLC	876 HORACE BROWN DRIVE	MADISON HEIGHTS, MI 48071
		LOLA'S TACOS	20195 MACK AVE	GROSSE POINTE WOODS, MI 48236
008 99 0005 003	20200 MACK AVE	COMERICA BANK	2800 POST OAK BLVD STE 4200	HOUSTON, TX 77056
		COMERICA BANK	20200 MACK AVE	GROSSE POINTE WOODS, MI 48236
011 01 1520 002	20207 MACK AVE	JML MACK, LLC	20475 EASTWOOD	HARPER WOODS, MI 48225
		BOW WOW BAKE SHOPPE, LLC	20207 MACK AVE	GROSSE POINTE WOODS, MI 48236





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20160 Mack Avenue



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OCT 09 2025

CITY OF GROSSE POINTE WOODS  
CLERK'S DEPARTMENT

AFFIDAVIT OF LEGAL PUBLICATION

# Grosse Pointe News

16980 Kercheval Pl  
Grosse Pointe, Michigan 48230  
(313)882-3500

COUNTY OF WAYNE  
STATE OF MICHIGAN, SS.

Melanie Mahoney

being duly sworn deposes and says that attached advertisement of

CITY OF GROSSE POINTE WOODS

was duly published in accordance with instructions, In the GROSSE POINTE NEWS on  
the following date: OCTOBER 9, 2025

#1 GPW 10/9 20160 MACK

and knows well the facts stated herein, and that she is the Administrative Assistant  
of said newspaper.

*Melanie Mahoney*

*Michelle Mceachin*

Notary Public

City of Grosse Pointe Woods, Michigan

**NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that the Grosse Pointe Woods Planning Commission, under the provisions of Public Act 110 of 2006, MCL 125.3101 as amended, and Grosse Pointe Woods City Code of 2022 Chapter 50, Article 7, Section 50-7.15, will hold a Public Hearing on Tuesday, October 28, 2025 at 7:00 p.m., at City Hall in the Council Chamber/Courtroom (located at 20025 Mack Plaza Drive, Grosse Pointe Woods, MI 48236) for the purpose of considering a conditional rezoning of 20160 Mack Avenue (Parcel ID 0009-001-0001-000) from RO-1 Restricted Office to C Commercial Business. The applicant requests to redevelop the site into a two-story mixed-use building, including commercial and residential uses. The Planning Commission will hear a presentation, hold a Public Hearing, and may make a recommendation to the City Council regarding the requested conditional zoning map amendment.

All interested persons are invited to attend and will be given opportunity for public comment. The public may appear in person or be represented by counsel. Written comments will be received in the City Clerk's Office (cityclerk@gpwmj.us), up to close of business preceding the hearing. Individuals with disabilities requiring auxiliary aids or services at the meeting should contact the Grosse Pointe Woods Clerk's Office at 313-343-2440 seven days prior to the meeting. The agenda and pertinent documents will be available at [www.gpwmj.us](http://www.gpwmj.us). For additional project information, contact the Building and Planning Department at 313-343-2426 or e-mail [building@gpwmj.us](mailto:building@gpwmj.us).

Paul P. Antolin  
City Clerk

G.P.N.: 10/09/2025

MICHELLE MCEACHIN  
NOTARY PUBLIC - STATE OF MICHIGAN  
COUNTY OF MACOMB  
My Commission Expires May 15, 2028  
Acting in the County of Wayne

*Wayne*