



# CITY OF GROSSE POINTE WOODS PLANNING COMMISSION MEETING AGENDA

Tuesday, May 28, 2024 at 7:00 PM

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*Robert E. Novitke Municipal Center - Council Chambers/Municipal Court,  
20025 Mack Plaza, Grosse Pointe Woods, MI 48236  
(313) 343-2426*

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1. **CALL TO ORDER**
2. **ROLL CALL**
3. **PLEDGE OF ALLEGIANCE**
4. **RECOGNITION OF COUNCIL REPRESENTATIVE/s**
5. **ACCEPTANCE OF AGENDA**
6. **RECEIPT OF FINAL APPROVED MINUTES**
  - A. Planning Commission Meeting – April 23, 2024
7. **PUBLIC HEARINGS**
  - A. Zoning Ordinance Amendment – Permanent Makeup as an Accessory Use
8. **OLD BUSINESS**
9. **NEW BUSINESS**
  - A. Consider recommending approval of the proposed Zoning Ordinance Amendment.
  - B. Consider recommending the Master Plan draft to City Council for the 63-day public review and comment period.
10. **ITEMS FOR DISCUSSION**
  - A. Exterior Lighting Ordinance Requirements
  - B. Outdoor Cafes
11. **BUILDING OFFICIAL'S MONTHLY REPORT**
  - A. Building Department Report – May 2024
12. **COUNCIL REPORT/s**
  - A. May 6, 20 – Fenton
  - B. Next Month: June 3, 17 – Fuller
13. **INFORMATION ONLY**
  - A. Site Plan Amendment and Outdoor Café – Crispelli's
14. **PUBLIC COMMENT**
15. **ADJOURNMENT**

PLANNING COMMISSION  
04-23-24 - 18

MINUTES OF THE REGULAR **PLANNING COMMISSION** MEETING OF THE CITY OF GROSSE POINTE WOODS HELD ON **APRIL 23, 2024**, IN THE COUNCIL-COURT ROOM OF THE ROBERT E. NOVITKE MUNICIPAL CENTER, 20025 MACK PLAZA, GROSSE POINTE WOODS, MICHIGAN.

The meeting was called to order at 7:06 p.m. by Chair McNelis.

Roll Call: Chair McNelis  
Commission Members: Bailey, Fenton, Fuller, Gilezan, Hamborsky, O’Keefe  
Absent: Vitale  
Also Present: City Planner, Brigitte Wolf  
Building Official, Karson Claussen  
Recording Secretary Miotto  
Jill Baum, Giffels Webster  
Rose Kim, Giffels Webster

**MOTION** by Bailey, seconded by Fuller, to excuse Commission Member Vitale from attendance at tonight’s meeting.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gilezan, Hamborsky, McNelis, O’Keefe  
NO: None  
ABSENT: Vitale

The Planning Commission, staff, and the public, Pledged Allegiance to the U. S. Flag.

**MOTION** by Bailey, seconded by O’Keefe, to accept tonight’s agenda.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gilezan, Hamborsky, McNelis, O’Keefe  
NO: None  
ABSENT: Vitale

**MOTION** by Fuller, seconded by Gilezan, that the March 26, 2024, Planning Commission meeting minutes be approved as presented.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gilezan, Hamborsky, McNelis, O’Keefe  
NO: None  
ABSENT: Vitale

PLANNING COMMISSION  
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The first item on the agenda, under **Old Business**, is the **Consideration for Approval of the Friendship Factory site plan at 20100-20102 Mack Avenue.**

**MOTION** by Gilezan, seconded by O’Keefe, to recuse Commission Member McNelis as he is involved in the project to be discussed and will be presenting.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gilezan, Hamborsky, O’Keefe  
NO: None  
ABSENT: Vitale  
RECUSED: McNelis

**MOTION** by Fuller, seconded by Bailey, to accept and place on file the 4 resident letters related to the Friendship Factory, from Alexandra Turner, 1431 Oxford, Jackie Cecchini, 1343 Fairholme, Ryan Covell, 663 Lochmoor Blvd and Rob Szabo, 1620 Fairholme.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gilezan, Hamborsky, O’Keefe  
NO: None  
ABSENT: Vitale  
RECUSED: McNelis

Planner Wolf provided an overview of the 3 elements: 1) rezoning from RO-1 to C – Commercial which has been recommended for City Council consideration on May 6, 2) special land use because of this specific type of retail (children’s events) not being listed on our current use table, therefore requiring a special land use, and has been recommended for City Council consideration on May 6, and 3) the site plan review specific to the Friendship Factory and the off-street parking requirements.

With further understanding of how the Friendship Factory operates, the ordinance was re-evaluated and it was found that the parking requirement that is applicable is General Retail, and the current parking is adequate, therefore there are no concerns regarding ordinances. There are conditions that will apply: the site plan rezoning is approved; the special land use is approved, the traffic land markings are added to the site, there are dedicated drop-off/pick-up spaces, the signage complies with Ch. 32 ordinance, and rubbish storage and collection is adequate. Should a dumpster be needed/added, appropriate screening would be a condition.

James McNelis, Stuckey Vitale Architects, made a short presentation showing the updated site plans that show designated drop off/pick up zones, includes the traffic marking arrows, signage will be permitted separately, and that the existing rubbish storage & pick up will remain.

Julie Crorey, founder of the Friendship Factory, provided an overview of the business and answered questions from the Planning Commission. Bob Danforth, commercial real estate, spoke about parking and a potential shared parking agreement with a neighboring dental practice that has moved out. August 2024 is targeted as the opening.

PLANNING COMMISSION  
04-23-24 – 20

**MOTION** by Fenton, seconded by Fuller, that the Planning Commission approve the revised site plan. **MOTION** amended by Gilezan, supported by Fenton, to include the 5 remaining conditions: the site plan rezoning is approved; the special land use is approved, the traffic land markings are added to the site, there are dedicated drop-off/pick-up spaces, and the signage complies with Ch. 32 ordinance.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gilezan, Hamborsky, O’Keefe  
NO: None  
ABSENT: Vitale  
ABSTAIN: McNelis

The next item on the agenda, under **New Business**, was the **Consideration for Approval of the site plan for Nino Salvaggio’s Café at 20331 Mack Avenue.**

Planner Wolf provided an overview of the interior and exterior renovation to open a market style café. The parking requirements are fulfilled as is. Outdoor seating would require Wayne County approval. GPW Department of Public Safety recommends more street protection should outdoor seating be approved. The applicant is agreeable to add the required protection. The site plan does meet ordinance requirements, with the following conditions: 1) compliance with our lighting standards; 2) wall signage is in compliance; 3) any trash receptacle added to the rear exterior would be an amendment to the approved site plan; and 4) a protective barrier is added to the outdoor dining area.

John Eckstein, Architect with Lindhout Associates, and Leo Salvaggio, owner, spoke about the renderings of the interior and exterior, the general concept of the café, and the vision for the community. Mr. Salvaggio has already approached neighboring businesses to consolidate and manage their rubbish along with his, which has the advantage of adding additional parking. Anticipated hours could be 8 am – 10 pm, at least, on Thursday, Friday, Saturday.

**MOTION** by Bailey, seconded by Fuller, that the Planning Commission approve the site plan for 20331 Mack with the listed conditions (remove #3 condition as the plan is to not have a permanent fixture), and add rooftop screening as needed.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gilezan, Hamborsky, McNelis, O’Keefe  
NO: None  
ABSENT: Vitale

PLANNING COMMISSION  
04-23-24 – 21

The next item on the agenda for **Discussion** was the **Master Plan**.

Jill Baum, of Giffels Webster, provided an overview of the plan to date, which was updated with the Future Land Use, Mack Ave Corridor plan, and action strategies. The items in red are new: temporary public spaces, alleyway enhancements, public art, wayfinding signs, events, City Hall complex, and transportation alternatives. A hallway exercise was done with commission members ranking the initiatives, which are categorized as Goals 1 – 5.

Giffels Webster will consolidate the responses, and provide context, as provided by the community during the open house. Next step is to hold a working session to finalize the document before releasing it to City Council, who by law, must release it to the public for 63 days, then hold a Public Hearing. A working session will be scheduled between tonight and the May Planning Commission meeting.

The next item on the agenda for **Discussion** was the **Exterior Lighting Ordinance Requirements**.

Planner Wolf provided an overview of the language to be added to the Zoning Ordinance to better regulate and set guidance on exterior lighting. There is a proposed new section 50-5.22 “Exterior Lighting” and halo lighting was specifically discussed. This will be discussed at a future Planning Commission meeting. There was a suggestion of a 1-year timeframe for businesses to come into compliance with the new ordinance. As for color of halo lighting, the Planning Commission agreed to allow multi-color as business “branding” could dictate colors that can be used.

The next item on the agenda was the **Building Official’s Monthly Report**. Building Official Karson Claussen introduced himself and provided an overview of the report.

The next item on the agenda was the **Council Report/s for April**. Commissioner McNelis reported on the April 8<sup>th</sup> City Council meeting, stating that there was one item of note, that being a review of McKenna’s fee schedule to the city, that was a 3% increase. Commissioner Bailey reporting on the April 15<sup>th</sup> meeting which included the 5 additions and revisions to the Zoning Ordinance which are scheduled to move forward to a Public Hearing.

Commissioner Fenton will cover the May City Council meetings.

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The next item on the agenda was information only related to the **Application for a Dine-In Restaurant at 20315 Mack Avenue.**

Commission member Bailey provided an overview of the proposed Mexican restaurant with cocktails and Mexican street tacos - a small dine-in/take away business.

No one wished to be heard under **Public Comment.**

**MOTION** by Bailey, seconded by Gilezan, to adjourn at 10:15 p.m.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gilezan, Hamborsky, McNelis, O’Keefe

NO: None

ABSENT: Vitale

Respectfully Submitted,  
Gretchen Miotto  
Clerk’s Confidential Administrative Assistant & Recording Secretary

**MCKENNA**

# Memorandum on Proposed Uses to Permit

**TO:** Grosse Pointe Woods Planning Commission  
**FROM:** Brigitte Wolf, AICP  
**SUBJECT:** **Permanent Makeup Services**  
**DATE:** May 23, 2024

Following our initial conversation on allowing permanent makeup services as an accessory use to salons and medical offices in the C Commercial Business and RO-1 Restricted Office districts, the draft amendment was presented to Council at a Committee of the Whole meeting. Scheduled for this Planning Commission meeting is the required public hearing. Pending any concerns not yet discussed brought forth during the public hearing, we believe the proposed language regarding permanent makeup as an accessory use be recommended to Council for adoption.

**HEADQUARTERS**  
235 East Main Street  
Suite 105  
Northville, Michigan 48167

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CITY OF GROSSE POINTE WOODS  
WAYNE COUNTY, MICHIGAN

ORDINANCE NO. \_\_\_\_

**AN ORDINANCE TO AMEND THE CODE OF ORDINANCES OF THE CITY OF GROSSE POINTE WOODS, CHAPTER 50 – ZONING TO ADD SECTION 50-4.35 ROOFTOP DINING TO ALLOW FOR UNENCLOSED OR SEMI-ENCLOSED ROOFTOP DINING AS AN ACCESSORY USE FOR FOOD-BASED BUSINESSES IN THE C COMMERCIAL DISTRICT ALONG MACK AVENUE.**

**THE CITY OF GROSSE POINTE WOODS ORDAINS:**

**Section 1.** The City of Grosse Pointe Woods Code of Ordinances, Chapter 50 - Zoning, Article 4 is hereby amended to add Section 50-4.36 Rooftop Dining, for regulations of permanent makeup as an accessory use, written as the following:

**50.4.36 Permanent Makeup Services**

*Permanent Make-up or Micropigmentation*, also known as permanent makeup, permanent cosmetics, or cosmetic tattooing and entails adding coloring to the skin, commonly applied to eyebrows, eyelashes, eyelids, and lips. The service is to address loss of color on the skin or facial hair, either naturally or for medical reasons, or seek to improve scars. Similarly, *microblading* is a similar service and is considered a semi-permanent form of cosmetic tattooing that uses a blade-shaped tool with micro-needles to deposit pigments of brow-like color into the skin. Additional medical reasons for seeking this service are for people with conditions that make it difficult to apply makeup themselves, such as those with severe arthritis, multiple sclerosis, Parkinson’s disease, or poor eyesight.

Permanent makeup services are permitted in the C Commercial Business and RO-1 Restricted Office district as an accessory use to salons and medical offices, allowing micropigmentation to be performed as a subset of beauty shop services, but not as a standalone primary use.

The City of Grosse Pointe Woods Code of Ordinances, Chapter 50 - Zoning, Article 2 is hereby amended to add the following definition:

*Permanent Makeup* - Micropigmentation or microblading is the practice of placing ink or other pigment into the skin or mucosa by the aid of needles or any other instrument used to puncture a person’s skin for the purpose of permanent cosmetic restoration or enhancement of the epidermis for re-pigmentation. This category of services does not include other forms of body art such as body piercing or the adornment of the body with letters, images, drawings, or other illustrations. The use is also commonly known as permanent makeup, permanent cosmetics, cosmetic tattooing dermal implantation, micro stroking, eyebrow embroidery, and long-time/long lasting makeup.

**Section 2. Repealer Clause.** Any ordinances or parts of ordinances in conflict herewith



are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

**Section 3. Validity and Severability.** Should any portion of this Ordinance be found invalid for any reason, such a holding shall not be construed as affecting the validity of the remaining portions of the Ordinance.

**Section 4. Effective Date.** This Ordinance shall be effective twenty (20) days from and after its adoption by the City of Grosse Pointe Woods City Council.

AYES.....

NAYS.....

ABSENT.....

\_\_\_\_\_  
Arthur W. Bryant, Mayor

Attested:

\_\_\_\_\_  
Paul Antolin, City Clerk

**CERTIFICATION OF CLERK**

I, Paul Antolin, City Clerk of the City of Grosse Pointe Woods, Wayne County, Michigan, do hereby certify that Ordinance No. \_\_\_\_ was adopted by the City Council of Grosse Pointe Woods, assembled in regular session on April \_\_\_\_\_, 2024. Said Ordinance was posted in the following places:

Notice of said posting was published in \_\_\_\_\_(insert newspaper) on February \_\_, 2024.

\_\_\_\_\_  
Paul Antolin, City Clerk

First Reading: \_\_\_\_\_

Proposed Second Reading: \_\_\_\_\_

Published by Title: \_\_\_\_\_

Adopted: \_\_\_\_\_

Effective: .....

Published Final: .....

**CITY OF GROSSE POINTE WOODS  
NOTICE OF PUBLIC HEARING**

**Notice is hereby given** that the Grosse Pointe Woods Planning Commission, under the provisions of Public Act 110 of 2006, MCL 125.3101 as amended, and Grosse Pointe Woods City Code of 2022 Chapter 50, Article 7, Section 50-7.15, will hold a Public Hearing on Tuesday, May 28, 2024 at 7:00 p.m., at City Hall in the Council Chamber/Courtroom (located at 20025 Mack Plaza Drive, Grosse Pointe Woods, MI 48236) to consider an amendment to the zoning ordinance to allow for cosmetic microblading and permanent makeup services as an accessory use to salons and medical offices.

All interested persons are invited to attend and will be given opportunity for public comment. The public may appear in person or be represented by counsel. Written comments will be received in the City Clerk's Office, up to close of business preceding the hearing. Individuals with disabilities requiring auxiliary aids or services at the meeting should contact the Grosse Pointe Woods Clerk's Office at 313-343-2440 seven days prior to the meeting. The agenda and pertinent documents will be available at [www.gpwmi.us](http://www.gpwmi.us). For additional project information, contact the Building and Planning Department at 313-343-2426 or e-mail [building@gpwmi.us](mailto:building@gpwmi.us).

Paul P. Antolin  
City Clerk

# memorandum

**DATE:** May 22, 2024

**TO:** Grosse Pointe Woods Planning Commission

**FROM:** Jill Bahm, Stephanie Osborn, Rose Kim, Giffels Webster

**SUBJECT: Study Session Working Draft**

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Thank you for your feedback on the action items survey. We retained all action items in the plan that had a majority of support based on survey responses and added language to the Implementation chapter anticipating that Planning Commission, City Council, and City staff will collaborate annually to identify the action items that should be prioritized for the year ahead (i.e., the implementation matrices are intended as a comprehensive list of strategies that may be taken to accomplish the goals and objectives but may not all be appropriate or feasible in the immediate future).

The following is a list of action items that have been removed from the plan due to limited support from the administration and survey responses, but that commissioners indicated might be helpful to consider for discussion at the study session:

1. Conduct a market analysis study to identify resident needs and market gaps.
2. Create a public/private partnership to develop additional parking lots along Mack Avenue for servicing businesses on Mack Avenue, as needed, including potential development of a parking impact fee. (ED)
3. Consider establishment of a targeted funding program for the Mack Avenue Corridor (e.g., Downtown Development Authority (DDA), tax increment financing (TIF), etc.).
4. Hire a director of economic and/or community development to oversee the City's economic growth.
5. Invest in infrastructure near potential new housing development locations (e.g., improving accessibility features on sidewalks, facilitating public transportation stops, and expanding access to healthcare facilities).

The working draft is attached and has been updated at [this link](#), which also includes a summary of survey responses.

## Next Steps

If the Planning Commission is comfortable with the working draft (pending any changes that may be discussed at the study session on May 28), the commission may make a recommendation to authorize City Council to distribute the draft (once it is updated) at the meeting. The timeline would look like this:

- May PC meeting: Recommend that City Council authorize the release of the Final Draft of the Master Plan as required in the Michigan Planning Enabling Act

- May/June CC meeting: City Council authorizes staff to release the Plan for review/comment
- 63-day review period
- August PC meeting: Public hearing and Planning Commission adoption of the Master Plan
- The City Council may also wish to adopt the Master Plan
- September and beyond: Implementation!

# Memorandum: Exterior Lighting

**TO:** Grosse Pointe Woods Planning Commission  
**FROM:** Brigitte Smith Wolf, AICP  
**SUBJECT:** Exterior Lighting ZO Language  
**DATE:** April 19, 2024

This memorandum provides language to consider adding to the Zoning Ordinance to better regulate and set guidance on exterior lighting. Information summarizing current lumen levels along the Mack Avenue Corridor is still included in this memo.

## DEFINITIONS:

**Lumens** – A measurement of light emitted by a source. It can be LED, fluorescent, halogen or incandescent. Also known as “brightness” or “light output.” Reference point: A standard 100-watt incandescent light bulb produces about 1,500 – 1,700 lumens.

**Footcandles** – A unit of illumination: defined as one lumen per square foot.

## CURRENT LIGHTING LEVELS

A second field study of light levels was conducted. It is difficult to single out illuminated signs, internally illuminated and backlighting, to monitor by footcandle measurements.

Notable footcandle measurements include (averages; FC = footcandle):

- Point Vision (block north of Champs) has an illuminated and backlit sign = 1 FC at sidewalk
- Qamaria Yemeni Coffee green backlit sign and porch lighting = 7 FC at entrance, 1 FC at sidewalk

Additional footcandle measurements, from previous field studies, taken along the corridor at several commercial properties along Mack Avenue, include the following findings:

- Streetlights at boulevard = 1 FC
- Ornamental post lights at boulevard = 5 FC
- US/American Mattress
  - 9 FC at corner of Mack and Huntington.
  - 9 to 15 FC along the Mack Ave. sidewalk.
- Crispelli = 15 FC along sidewalk, just as US Mattresses.
- Bucharest Grill (These have changed not, since the Building Department had the facility include further shielding to the exterior parking lot lights.)
  - 12 FC along front sidewalk.
  - 8 FC parking lot.
  - 0.7 FC at sidewalk along Torrey and near the parking lot entrance.
  - The parking lot light fixtures were shielded as they define the very definition of “light trespassing”. From the Torrey sidewalk/street, people should not be able to look directly at the fixtures themselves.

- A nearby corner gas station averaged 5 FC along the outside edges of the pumps, and 20 FC directly beneath the canopy covering the cars and pumps.
- Much of the business corridor lighting at other cities our Building Official has tested were well below the 13 FC average of the readings taken on Mack between Torrey and Huntington.
- The three parking lots recently tested at the City of Berkley yielded high averages of 10 FC and low of 5 FC with 1 FC along the sidewalks.

**ZONING ORDINANCE STANDARDS**

**Section 50-6.1. Site Plan G. Preparation and contents of site plan** does allow for the Building Department or Planning Commission to request a more detailed lighting plan and/or photometric study to assure adequate protection of surrounding properties.

**ZONING ORDINANCE PROPOSED ADDED LANGUAGE**

We propose exterior lighting standards be added to **Article 5 – Site Standards** as a new section: **50-5.22 Exterior Lighting**. The addition would read as the following...

###

**50-5.22 Exterior Lighting**

The purpose of this section is to protect the health, safety, and welfare of the public by encouraging lighting practices and systems that will minimize glare and light trespass while recognizing the need for buildings and sites to be illuminated for safety, security, visibility, and enhancement. This section provides standards for exterior lighting with measurable indicators to improve visibility and minimize nighttime lighting disturbances more consistently and proactively.

- A. *Regulating Illumination Levels by Footcandles.* Existing and proposed lights may not exceed the following maximum intensity levels (measured at a height of 5-feet above grade).

Location/Use	Maximum Level of Illumination (footcandles “fc”)
Overall average for the site	5.0 fc
At any point within the site	10.0 fc
At rear property line	0.5 fc
At the public right of way / sidewalk along the front property line, for properties with building setback 5 feet or less	5.0 fc
At the public right of way / sidewalk along the front property line, for properties with buildings of a front setback greater than 5 feet	1.0 fc
Gas Station (under canopy only)	20.0 fc

- B. *Shielding.* All exterior lighting, excluding accent lighting in residential districts, must be fully cut off and shielded so the surface of the source of the light is not visible, and is directed downward and shielded away from adjacent properties, with consideration to protecting residential uses.

- C. *Non-Essential Lighting.* Non-essential lighting must be turned off after business hours, except for the minimum necessary security lighting. The use of a motion detector or other automatic timing system of security lighting is encouraged.
- D. *Consistent Fixtures.* The type and design of lighting must be consistent throughout a site.
- E. *Impact.* Lighting must be arranged so as to not adversely affect driver visibility on rights-of-way.
- F. *Decorative Lighting.* Buildings within the C and C-F districts must feature decorative lighting on all façades which face the public right-of-way. Wall pack type lighting is prohibited.
- G. *Gas Station Lighting.* Lighting under gas station canopies is limited to fully recessed lighting fixtures.
- H. *Sign Lighting.* Illuminated signs must comply with the footcandle measurements of the overall site and cannot cause the site to exceed the maximum allowable footcandles at any point within the site or from the public right-of-way.
- I. *Exempt Lighting.* The following are exempt from the requirements of this Article:
  - a. Required exit signs and safety lights for stairs and ramps.
  - b. Temporary holiday lights (provided that such lighting is installed no more than 60-days prior to, and 30 days following, the holiday such decorations represent).
  - c. Lights required by the Federal Aviation Administration, or other federal or state agency.
  - d. Interior lights.
  - e. Temporary lights necessary for construction or emergencies.
- J. *Prohibited Lighting.* The following lights are prohibited:
  - a. Rope lights (including neon, except when used in outlined tubing signs) around and within window and door openings.
  - b. Aerial lasers and/or “searchlight” style lights.
  - c. Flashing, moving, or intermittent lights (including lighting that changes colors).
  - d. Other intense lights, defined as having a light source exceeding 3,000 lumens per fixture.
- K. *Special Exception Lighting.*
  - a. Lighting systems not complying with the requirements of this Article, but consistent with its intent, may be considered by the Planning Commission, subject to special land use approval. This includes instances of: a) Sport fields and stadiums. b) Public monuments, public buildings, government facilities, and religious institutions. c) Any other lighting application determined to be appropriate by the Planning Commission. 2)
  - b. The Planning Commission must find that the proposed lighting will not create unwarranted glare, sky glow, or light trespass. The applicant must demonstrate that every reasonable effort has been made to mitigate obtrusive light and artificial sky glow, supported by a signed statement from a registered engineer or by a lighting certified professional describing the mitigation measures.
- L. *Non-conformities*
  - a. The elimination of the nonconformities in a zoning district may be declared to be for a public purpose and wellbeing. Noncompliant illumination levels must be addressed and reduced to a level compliant with the regulations of this section. Nonconforming illumination levels must be addressed within one year from the time of the adoption of this section, except as authorized by the Zoning Board of Appeals.

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# Memorandum on Proposed Uses to Permit

**TO:** Grosse Pointe Woods Planning Commission  
**FROM:** Brigitte Wolf, AICP  
**SUBJECT:** Revisiting the Outdoor Café Requirements  
**DATE:** May 23, 2024

As the fee schedule has changed and we have a number of new outdoor cafes/seating options in the public right of way along Mack Avenue, we believe it necessary to revisit requirements of Section 50-6.5 Outdoor Café Permit. The proposed Ordinance revisions as recommended to Council are included on the following pages. The two main requirements to discuss are:

1. Site Plan Review by Planning Commission
2. Pavers / Decorative Hard Surface

## SITE PLAN REVIEW FOR OUTDOOR CAFES

One of the requirements is Planning Commission site plan review, prior (and as currently in effect) it was site plan review by the Building Official. Now the fees have increased for Site Plan Review by Planning Commission to \$800. Given this, we may want to revisit this requirement as to not discourage new outdoor cafes from being added.

Our proposed revisions:

1. Allow for the continuation of applications to be reviewed and approved by the Building Official. In this scenario, the proposed outdoor café configuration and criteria must be in strict compliance with the Ordinance.
2. If the applicant is unable / unwilling to accommodate changes proposed by the Building Official or required by the Zoning Ordinance, at that point, the applicant would then be required to submit their site plan and application for review and approval by Planning Commission.

## SITE PLAN REVIEW FOR OUTDOOR CAFES

As currently required in the Ordinance, decorative hard surfaces are required between the sidewalk and right of way. The Ordinance reads: *“In the event the application involves use of the right-of-way between the sidewalk and the curb, the city shall require improvement of that area by construction of an approved surface such as brick pavers, exposed aggregate, stamped concrete, tiles, or other decorative hard surface subject to Wayne County approval. Asphalt and standard concrete are not considered approved surfaces.”*

### Proposed revision:

For locations that are currently paved between the sidewalk and right of way, the existing surface may remain. For newly constructed hard surfaces between the sidewalk and right of way, approved decorative hard surfaces, such as brick pavers, exposed aggregate, stamped concrete, tiles, or other decorative hard surfaces, subject to Wayne County approval, is required.



# CITY OF GROSSE POINTE WOODS

## BUILDING DEPARTMENT REPORT

**TO: PLANNING COMMISSION**

**FROM: KARSON CLAUSSEN, BUILDING OFFICIAL**

**DATE: MAY 23, 2024**

**SUBJECT: BUILDING DEPARTMENT REPORT**

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- Overall, Sales and Building Permits are trending up as we get into our busy season.
- The Crosspointe Christian Church addition and elevator project has broken ground and footings have been installed. The architect is responding to some life safety inquiries identified by the fire inspector. The site is well maintained, and the construction manager has been a pleasure to work with.
- The Ahee project is well underway, and next month we will be able to provide you with a firmer completion date.
- Hungry Howie’s has applied for a building permit and are doing interior renovations.
- 694 Peach Tree Lane is on the home stretch. The hard deadline for completion is the end of the month. The contractor has told me that the final grade as-build drawing will be submitted next week. This is round two, as AEW identified grade differentials that were not approved.
- 707 N. Renaud is nearing completion. Permits were extended to mid-August as some items are experiencing long lead times. The project and final as-builts are expected to being completed by that time.
- Outdoor Café seating | We are contacting each business that has outdoor seating. Quite a number of them are not in compliance with city ordinances. A packet has been prepared for each of them that outlines the permitting and review process that they must comply with. Upon contact, they are being given 2 weeks to apply to the city with their Outdoor Café Permit applications. Once approval is reached, the annual permit renewal fee will be \$100. The initial fee will total \$500; \$100 for the permit, and \$400 for the review and to go before the Planning Commission.
- New Building Permit Tech, Renata White, joined the McKenna GPW Building Dept Team after years of experience the City of Hamtramck and Lake Orion.

# CRISPELLI'S BAKERY & PIZZERIA

## TENANT FIT OUT 19852 MACK AVE. GROSSE POINTE WOODS, MI 48236

**ARCHITECT:**

STUCKY VITALE ARCHITECTS  
27172 WOODWARD AVENUE  
ROYAL OAK, MICHIGAN 48067  
(248) 546-6700

**APPLICABLE CODES: (COMMERCIAL):**

BUILDING CODE:  
2015 MICHIGAN REHABILITATION FOR EXISTING BUILDING (MRCEB 301)  
COMPLIANCE METHOD (CH 4):  
PRESCRIPTIVE METHOD (REFERENCE WITH CH 14);  
ALTERATIONS - LEVEL 3 (CH 9)

MECHANICAL CODE:  
2015 MICHIGAN MECHANICAL CODE AS AMENDED

PLUMBING CODE:  
2018 MICHIGAN PLUMBING CODE AS AMENDED

ELECTRICAL CODE:  
2017 NATIONAL ELECTRIC CODE (NEC) AS AMENDED & MICHIGAN AMENDMENTS PART 8.

ENERGY CODE:  
2015 MICHIGAN BUILDING CODE (CHAPTER 13)  
2015 MICHIGAN ENERGY CODE  
ASHRAE 90.1-2013 ENERGY STANDARDS FOR BUILDINGS

FIRE CODE:  
2015 INTERNATIONAL FIRE CODE REFERENCED IN 2015 MICHIGAN BUILDING CODE

BARRIER FREE REQUIREMENTS:  
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ)  
MBC-2012 (CHAPTER 11)  
ICC / ANSI 117.1 - 2009, EXCEPT SECTION 611 & 707

LIFE SAFETY CODES:  
2015 NFPA 101 LIFE SAFETY CODE  
2013 NFPA 13 STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS  
2013 NFPA 72 NATIONAL FIRE ALARM CODE

**PROJECT DATA:**

BUILDING CODE AUTHORITY:  
GROSSE POINTE WOODS BUILDING DEPARTMENT

OWNER:  
CRISPELLI'S BAKERY AND PIZZERIA  
1890 SOUTHFIELD ROAD  
BIRMINGHAM, MI 48009

TYPE OF CONSTRUCTION:  
IIB ORDINARY CONSTRUCTION

USE GROUP:  
A-2 ASSEMBLY

PROJECT AREA:  
RENOVATION 2,577 SF

<b>OCCUPANT LOAD:</b>	
DINING AND BAR - 15 NSF UNCONCENTRATED	$\frac{-765 \text{ NSF}}{15} = 51$
SEATING BOOTHS	$\frac{-55' \times 12' \times 24'}{200} = 28$
KITCHEN AREA - 200 GSF	$\frac{-995 \text{ GSF}}{200} = 5$
STORAGE AREA - 300 GSF	$\frac{-288 \text{ GSF}}{300} = 1$
<b>TOTAL OCCUPANT LOAD</b>	<b>= 85</b>

EGRESS WIDTH:  
REQUIRED (.2" PER OCCUPANT) = 17"  
PROVIDED = 34" x 3 DOORS = 102"

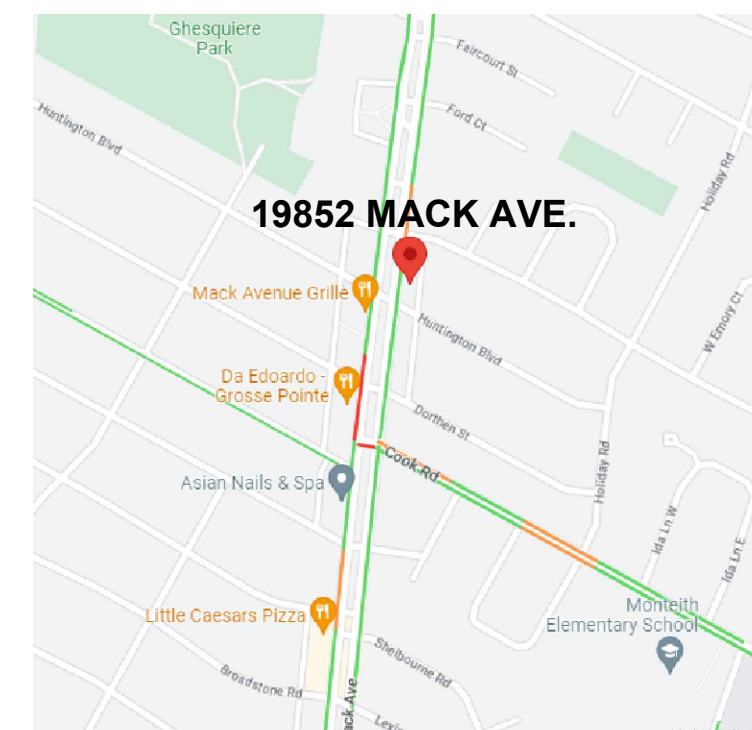


**CONCEPTUAL DESIGN RENDERING**  
SCALE: N.T.S. REFERENCE ONLY

**NOTE:**  
CONCEPTUAL DESIGN RENDERING INCLUDED FOR REFERENCE ONLY. REFER TO PLANS FOR PROPOSED SCOPE OF WORK, LAYOUT & DETAILS.

SHEET INDEX		ISSUED FOR	
DRAWING INDEX KEY:		07.14.23 BIDS/PERMIT	
<input type="checkbox"/>	NOT ISSUED	10.06.23 BULLETIN #1	
<input checked="" type="checkbox"/>	PREVIOUSLY ISSUED	05.01.24 PERMITS	
<input checked="" type="checkbox"/>	ISSUED		
<input checked="" type="checkbox"/>	REFERENCE		
<b>GENERAL</b>			
G001	TITLE SHEET AND SHEET INDEX AND LOCATOR PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
1 OF 1	ALTAINSPS TITLE SURVEY	<input type="checkbox"/>	<input type="checkbox"/>
<b>ARCHITECTURAL</b>			
AS101	SITE PLAN & DETAILS	<input type="checkbox"/>	<input checked="" type="checkbox"/>
AS102	SITE PLAN & DETAILS	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**NOTE:**  
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.



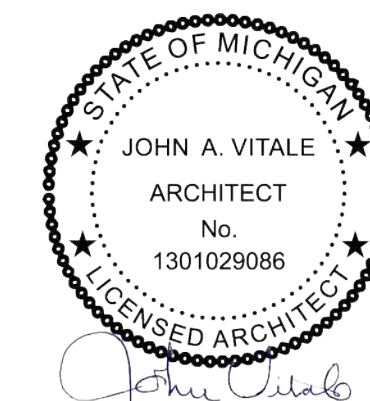
**VICINITY MAP**  
SCALE: N.T.S.



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**Consultants:**



**Project :**  
CRISPELLI'S BAKERY & PIZZERIA  
TENANT FIT OUT  
19852 MACK AVENUE  
GROSSE POINTE WOODS  
MICHIGAN 48236

**Issued for :**

BIDS/PERMITS	07.18.23
UPDATE	08.11.23
BULLETIN #1	10.06.23
PERMITS	05.01.24

Drawn by :  
SMB, JPM  
Checked by :  
JAV, SMB

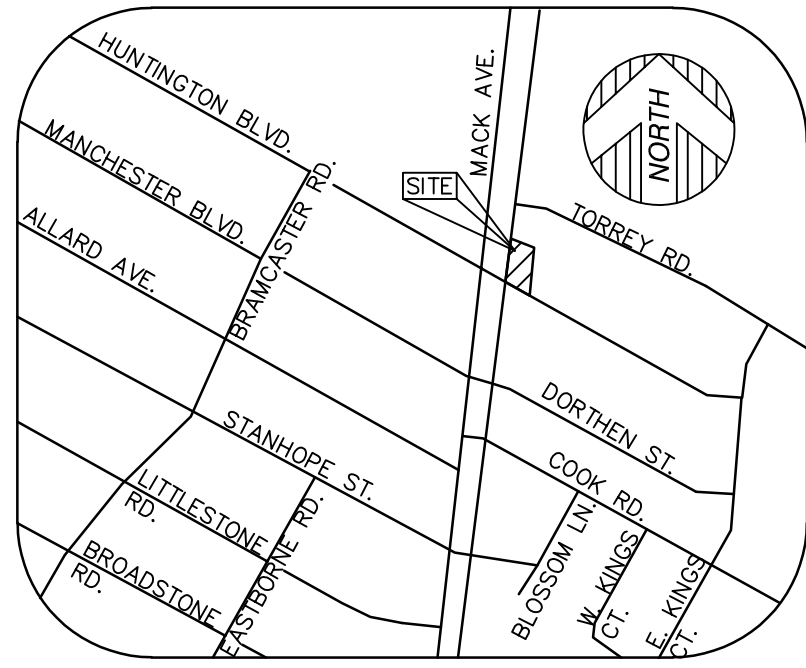
Sheet Title :  
TITLE SHEET,  
SHEET INDEX, +  
LOCATOR PLAN

Project No. :  
**2023.029**

Sheet No. :  
**G001**

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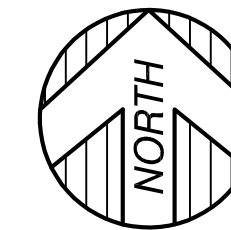
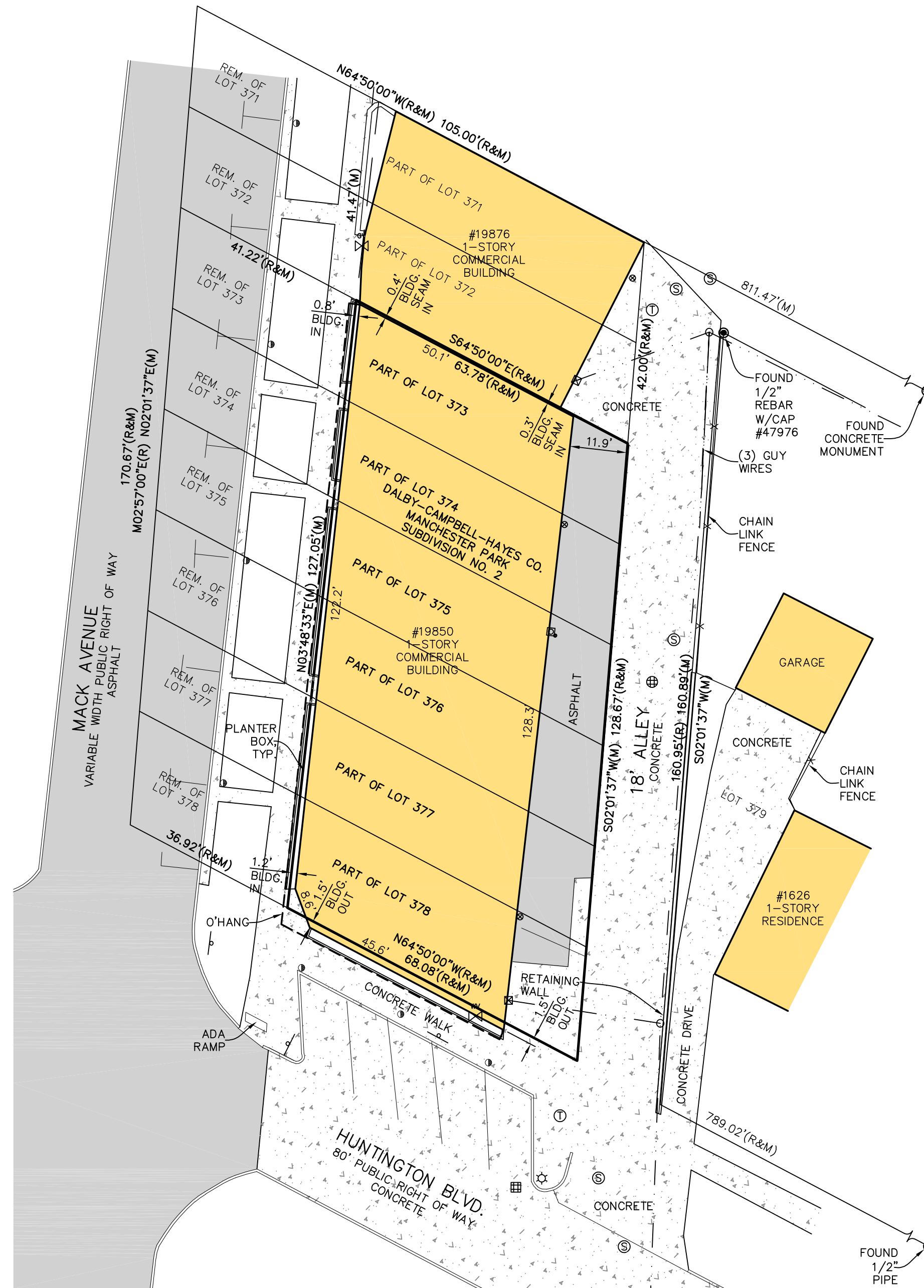
**VICINITY MAP**  
(NOT TO SCALE)

**PARKING**  
NO MARKED PARKING ON SITE.

**PARCEL AREA**  
7,801± SQUARE FEET = 0.179± ACRES

**BASIS OF BEARING**  
NORTH 64°50'00"W WEST EAST, BEING THE NORTHERLY RIGHT OF WAY LINE OF HUNTINGTON BLVD., AS PLATTED.

LEGEND	
●	FOUND MONUMENT (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
○	UTILITY POLE
⊕	ELECTRIC METER
⊗	CLEANOUT
⊙	GAS METER
⊕	GAS VALVE
⊗	TELEPHONE MANHOLE
⊙	SANITARY MANHOLE
⊕	ROUND CATCH BASIN
⊗	SQUARE CATCH BASIN
●	BOLLARD
☆	LIGHTPOST/LAMP POST
⊕	PARKING METER
⊗	WATER VALVE
⊙	SINGLE POST SIGN
—	PARCEL BOUNDARY LINE
---	PLATTED LOT LINE
▬	BUILDING
▬▬	BUILDING OVERHANG
▬▬▬	CONCRETE CURB
▬▬▬▬	PARKING
▬▬▬▬▬	EDGE OF CONCRETE (CONC.)
▬▬▬▬▬▬	EDGE OF ASPHALT (ASPH.)
▬▬▬▬▬▬▬	FENCE (AS NOTED)
▬▬▬▬▬▬▬▬	WALL (AS NOTED)
▬▬▬▬▬▬▬▬▬	OVERHEAD UTILITY LINE
▬▬▬▬▬▬▬▬▬▬	BUILDING HATCH
▬▬▬▬▬▬▬▬▬▬▬	ASPHALT HATCH
▬▬▬▬▬▬▬▬▬▬▬▬	CONCRETE HATCH



GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.

**PROPERTY DESCRIPTION**

THE LAND SITUATED IN THE CITY OF GROSSE POINTE WOODS, COUNTY OF WAYNE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

LOTS 373, 374, 375, 376, 377 AND 378 EXCEPT THE WESTERLY PART THEREOF MEASURING 41.22 FEET ON THE NORTHERLY LINE OF LOT 373 AND 36.92 FEET ON THE SOUTHERLY LINE OF LOT 378 DALBY-CAMPBELL-HAYES CO. MANCHESTER PARK SUBDIVISION NO. 2 OF PRIVATE CLAIM 620 AS RECORDED IN LIBER 43 OF PLATS, PAGE 77 OF WAYNE COUNTY RECORDS.

**TITLE REPORT NOTE**

A CURRENT TITLE POLICY HAS NOT BEEN FURNISHED AT TIME OF SURVEY, THEREFORE EASEMENTS AND/OR ENCUMBRANCES AFFECTING SUBJECT PARCEL MAY NOT BE SHOWN.

**SURVEYOR'S NOTE**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

**SURVEYOR'S CERTIFICATION**

TO WESTCOR LAND TITLE INSURANCE COMPANY AND VDG GROSSE POINTE, LLC:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4, 7A, 8, AND 9 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 12/14/21.

DATE OF PLAT OR MAP: 12/20/21

*Anthony T. Sycko, Jr.*

ANTHONY T. SYCKO, JR., P.S.  
PROFESSIONAL SURVEYOR  
MICHIGAN LICENSE NO. 47976  
22556 GRATIOT AVE., EASTPOINTE, MI 48021  
Tsycko@kemttec-survey.com



**ALTA / NSPS LAND TITLE SURVEY**  
PREPARED FOR: VERUS DEVELOPMENT GROUP  
19850 MACK AVE., GROSSE POINTE WOODS, MICHIGAN,  
PART OF PRIVATE CLAIM 620

PROFESSIONAL ENGINEERING,  
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[www.kemttecgroupofcompanies.com](http://www.kemttecgroupofcompanies.com)

DRAWN BY: NPH/JDM 12/20/21  
CHECKED BY: ATS 12/20/21  
DATE: DECEMBER 20, 2021  
PROJECT NO: 21-04028 SCALE: 1" = 20'

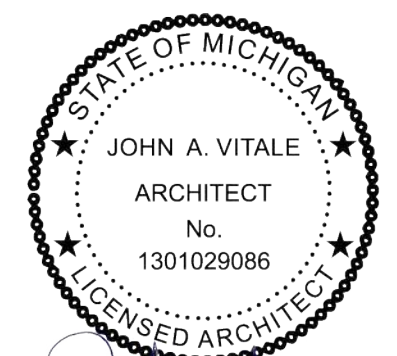




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Consultants:



*John Vitale*

Project :  
**CRISPELLI'S BAKERY  
 & PIZZERIA**  
 TENANT FIT OUT  
 19852 MACK AVENUE  
 GROSSE POINTE WOODS  
 MICHIGAN 48236

Issued for :

BIDS/PERMITS	07.18.23
UPDATE	08.11.23
UPDATE	01.08.24
EX. SEATING	03.26.24
UPDATE	04.02.24
PERMITS	05.01.24

Drawn by :  
 JPM

Checked by :  
 JAV, SMB

Sheet Title :  
 SITE PLAN DETAILS

Project No. :  
**2023.029**

Sheet No. :  
**AS101**

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**GENERAL UTILITY NOTE:**

NO PROPOSED CHANGES TO EXISTING UTILITIES OR UTILITY  
 EASEMENTS AS PART OF PROJECT SCOPE.

**GENERAL STORMWATER &  
 DRAINAGE NOTE:**

NO PROPOSED CHANGES TO EXISTING STORMWATER MANAGEMENT  
 OR DRAINAGE ON SITE AS PART OF PROJECT SCOPE.

**DEMOLITION KEY NOTES:**

(TYPICAL THIS SHEET ONLY)

- D1 REMOVE PORTION OF EXISTING GRASS AREA AS REQUIRED  
 FOR NEW PATIO AND WALK

**SITE PLAN KEY NOTES:**

(TYPICAL THIS SHEET ONLY)

- 1 NEW OUTDOOR CONCRETE HARDSCAPE PATIO WITH 36" HT  
 FENCE ENCLOSURE.
- 2 NEW CONC. WALK - 5'-0" W. REFER TO DETAILS 2/AS100.
- 3 EXISTING MUNICIPAL PARKING METER TO REMAIN. PROTECT  
 FROM DAMAGE DURING CONSTRUCTION.

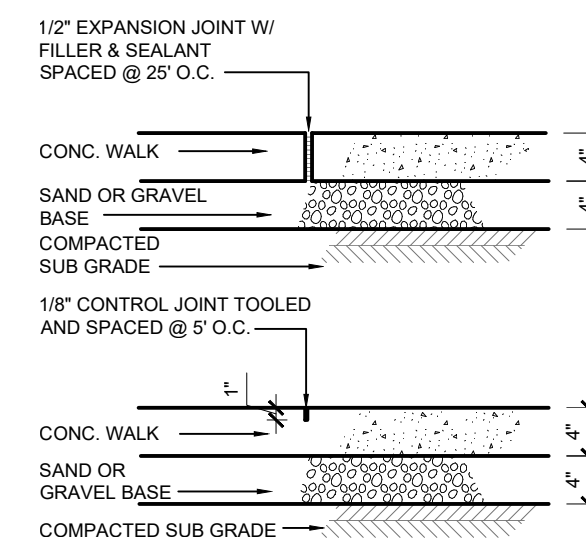
**LANDSCAPING KEY NOTES:**

(TYPICAL THIS SHEET ONLY)

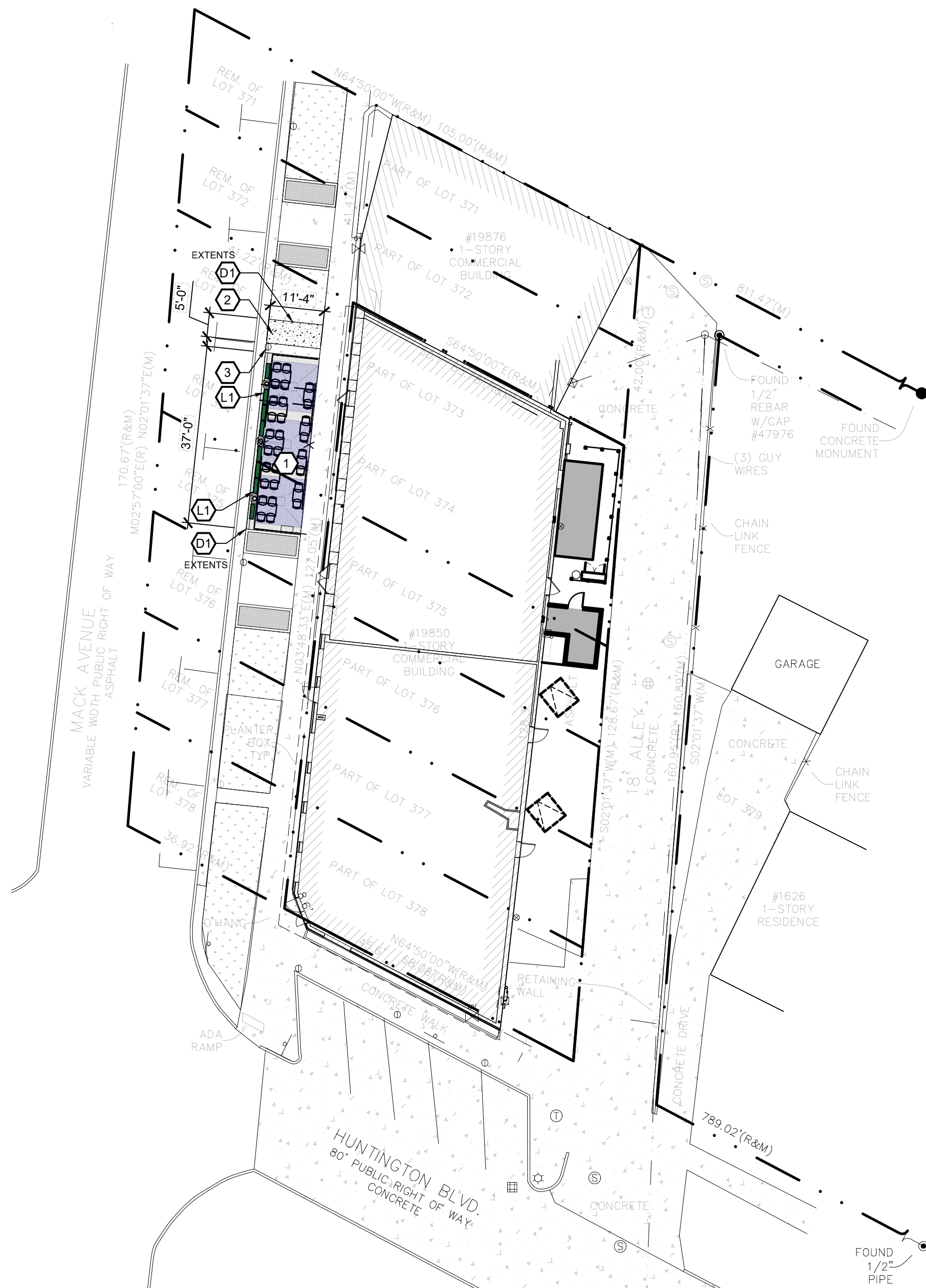
- L1 NEW DECORATIVE PLANTER BOXES WITH SHRUBS AND  
 ASSORTED FLOWERS, GRASSES, ETC.

**GENERAL SITE PLAN NOTES:**

1. PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS  
 INDICATED ON THE PLANS AND AS FOLLOWS:
2. CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM  
 CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY  
 COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
3. ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA;  
 SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA, ASPHALT  
 CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT  
 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
4. PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY  
 (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.  
 EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE  
 ENGINEER TO DETERMINE STABILITY.
5. ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE  
 SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY  
 FOLLOWING FINISHING OPERATION.
6. ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED  
 RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER  
 SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
7. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE  
 CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE  
 MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS  
 FOR CONSTRUCTION, CURRENT EDITION.
8. FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL  
 PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR  
 ALL INSPECTION.
9. COORDINATE ALL WORK WITH LANDLORD DRAWINGS PRIOR TO COMMENCING.
10. SITE PLAN INFORMATION BASED ON ALTA/NSPS SURVEY DATED 12/20/21  
 PREPARED BY KEM-TEC, PROVIDED BY LANDLORD INCLUDED HERE FOR  
 REFERENCE ONLY.



**2 WALK JOINTING**  
 AS100 SCALE: 3/4" = 1'-0"



**ARCHITECTURAL SITE PLAN**  
 SCALE: 1" = 20'-0"

DATE: 04/08/2024 10:59:59 AM - 11:00 AM WORKING DROUGHT - ANS100 - SITE PLAN DETAILS.DWG  
 FILED: 04/08/2024 10:59:59 AM - 11:00 AM WORKING DROUGHT - ANS100 - SITE PLAN DETAILS.DWG  
 USER: JAV  
 PLOT: 04/08/2024 10:59:59 AM - 11:00 AM WORKING DROUGHT - ANS100 - SITE PLAN DETAILS.DWG

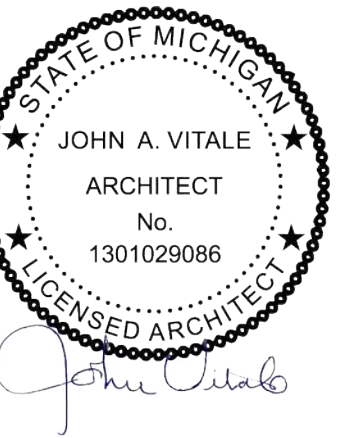




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Project :  
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& PIZZERIA  
TENANT FIT OUT  
19852 MACK AVENUE  
GROSSE POINTE WOODS  
MICHIGAN 48236

Issued for :

BIDS/PERMITS	07.18.23
UPDATE	04.03.24
UPDATE	04.04.24
UPDATE	04.29.24

BIDS/PERMITS 05.01.24

Drawn by : JPM  
Checked by : JAV, SMB  
Sheet Title : SITE PLAN DETAILS

Project No. : 2023.029

Sheet No. : AS102

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GENERAL SITE PLAN NOTES:

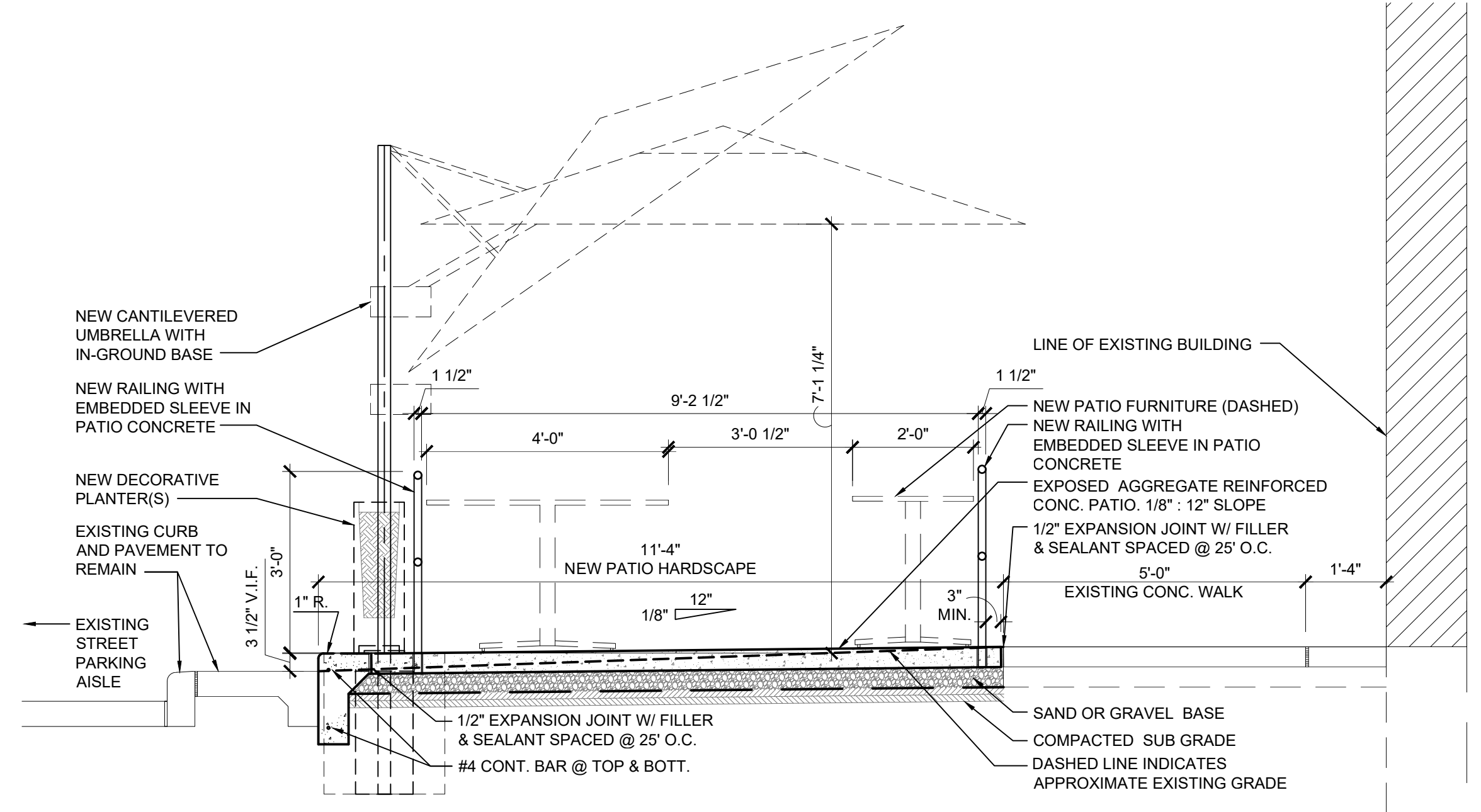
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- ASPHALT: BASE COURSE - MDT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD, MAXIMUM 2 INCH LIFT.
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- ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
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- COORDINATE ALL WORK WITH LANDLORD DRAWINGS PRIOR TO COMMENCING.
- SITE PLAN INFORMATION BASED ON ALTA/NSPS SURVEY DATED 12/20/21 PREPARED BY KEM-TEC, PROVIDED BY LANDLORD INCLUDED HERE FOR REFERENCE ONLY.

GENERAL NOTE:

SITE PLAN INFORMATION BASED ON PREVIOUS CITY SUBMITTAL BY LANDLORD ARCHITECT OF RECORD INCLUDED HERE FOR REFERENCE ONLY



ENLARGED ARCHITECTURAL PLAN  
SCALE: 1/4" = 1'-0"  
PATIO DETAIL



CURB & PATIO DETAIL  
SCALE: 3/8" = 1'-0"

6  
E  
D  
C  
B  
A  
6  
5  
4  
3  
2  
1