



CITY OF GROSSE POINTE WOODS
PLANNING COMMISSION AGENDA
Tuesday, May 27, 2025, at 7:00 PM

*Robert E. Novitke Municipal Center - Council Chambers/Municipal Court,
20025 Mack Plaza, Grosse Pointe Woods, MI 48236
(313) 343-2426*

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. RECOGNITION OF COUNCIL REPRESENTATIVE/s**
- 4. PLEDGE OF ALLEGIANCE**
- 5. ACCEPTANCE OF AGENDA**
- 6. RECEIPT OF FINAL APPROVED MINUTES**
 - A. Planning Commission Meeting – April 22, 2025
- 7. PUBLIC HEARING**
- 8. NEW BUSINESS**
 - A. Consider the Lot Split request application for 19653 & 19655 Mack Avenue.
 - B. Consider the Site Plan for 19483 Mack Avenue (My Nails Salon).
 - C. Consider the Site Plan for 20397 Mack Avenue (Valvoline Oil Change).
- 9. OLD BUSINESS**
 - A. **Previously Tabled:** Consider the Site Plan for 20160 Mack Avenue, pending rezoning.
- 10. BUILDING OFFICIAL'S MONTHLY REPORT**
 - A. Building Department Report – April 2025 to May 2025
- 11. COUNCIL REPORT/s**
 - A. This Month: May 5, 19 – Marx
 - B. Next Month: June 2, June 16 – McNelis
- 12. INFORMATION ONLY**
- 13. PUBLIC COMMENT**
- 14. ADJOURNMENT**

The City of Grosse Pointe Woods will provide necessary, reasonable auxiliary aids and services, such as signers for the hearing impaired, or audio tapes of printed materials being considered at the meeting to individuals with disabilities. All such requests must be made at least five days prior to a meeting. Individuals with disabilities requiring auxiliary aids or services should contact the City of Grosse Pointe Woods by writing or call the City Clerk's office, 20025 Mack Plaza, Grosse Pointe Woods, MI 48236 (313) 343-2440 or Telecommunications Device for the Deaf (TDD) 313 343-9249.



MCKENNA

Lot Split Request: 19655 & 19653 Mack Ave.

TO: City of Grosse Pointe Woods Planning Commission
FROM: Ashley Jankowski
SUBJECT: **Lot Split Request: 1655 & 19653 Mack Avenue.**
DATE: May 15th, 2025

In April 2025, the Building Department received a request for a Lot Split of 19655 and 19653 Mack Avenue.

CURRENT PARCEL AND PROPOSED LOT SPLIT

The current parcel is owned by the Applicant, John Lamia, and is situated along Mack Avenue, adjacent to Stanhope Avenue. The two businesses, including “Salvatore Scallopini” and “Lamia & Lamia”, have been operating side-by-side amicably for many years, with the Applicant leasing one side of the building to Salvatore Scallopini. The Applicant is now requesting to split the lot to allow for ownership by each respective building.

The Applicant is proposing the lot be split into two parcels, including Parcel 1 at 1955 Mack Avenue (to be owned by Deda Paloka) and Parcel 2 at 19653 Mack Avenue (to be owned by Charles Lamia). No changes in the business uses or occupancy will be proposed.

The completed Lot Split Application has been reviewed and recommended by the following Departments:

- City Engineering
- Department of Public Works
- Building Department and Planning/Zoning
- Assessing Department

The Applicant has paid all associated fees with the Lot Split to the Building Department.

LOT SPLIT PROCESS

Per the Zoning Ordinance (Section 50-6.4), the following steps are necessary for a Lot Split:

- A. Applicant submits application and drawing for the proposed lot split, following requirements of Section 50-6.4.
- B. The city clerk shall transmit a copy of the proposed lot split to the city engineer, department of public services, building inspector and city assessor for review and recommendation.
- C. The city planning commission shall review the proposed lot split for conformance with all ordinances, administrative rules and regulations and the land use plan for the city, and shall prepare recommendations to be submitted to the city council prior to the council public hearing.

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

○ 248.596.0920
F 248.596.0930
MCKA.COM

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D. The petitioner or developer shall pay to the city a hearing notice fee as currently established or as hereafter adopted by resolution of the city council from time to time for the notice of public hearing. Payment shall be made at the time the application for council hearing is made.

E. The city clerk shall notify all property owners within 300 feet of the proposed lot split, as found in the records of the city assessor, of the council public hearing to be held. A notice of hearing and drawing of the proposed lot split shall be sent to the county drain commission, Michigan Bell Telephone Company, Detroit Edison Company and Michigan Consolidated Gas Company. All notices shall be sent at least 15 days prior to the public hearing date as established by the city clerk.

F. On receipt of the recommendation of the city planning commission, the city clerk shall establish a date for a public hearing before the city council for consideration of the proposed lot split. If the city council approves the lot split, it shall adopt a resolution effectuating the lot split and shall transmit the resolution to the city clerk for recording.

NEXT STEPS

If the Planning Commission believes that the proposed lot split is in conformance with all ordinances, administrative rules and regulations and the land use plan for the City, we recommend the following motion:

I make a motion to recommend the lot split of 19655 & 19653 Mack Avenue to City Council for Public Hearing and adoption.



Lot Split Review: 19655 & 19653 Mack Ave.

TO: City of Grosse Pointe Woods Planning Commission
FROM: Ashley Jankowski
SUBJECT: Lot Split Request: 19655 & 19653 Mack Avenue
DATE: May 15th, 2025

In April 2025, the Building Department received a request for a Lot Split of 19655 and 19653 Mack Avenue.

CURRENT PARCEL AND PROPOSED LOT SPLIT

The current parcel is owned by the Applicant, John Lamia, and is situated along Mack Avenue, adjacent to Stanhope Avenue. The two businesses, including “Salvatore Scallopini”, a restaurant, and “Lamia & Lamia”, a salon, have been operating side-by-side amicably for many years, with the Applicant leasing one side of the building to Salvatore Scallopini. The Applicant is now requesting to split the lot to allow for ownership of each respective building.

The Applicant is proposing the lot be split into two parcels, including Parcel 1 at 19655 Mack Avenue (to be owned by Deda Paloka) and Parcel 2 at 19653 Mack Avenue (to be owned by Charles Lamia). No changes in the business uses, interior or exterior facades, or occupancy are proposed. The Applicant has submitted all necessary documentation and payment to the Building Department. Below, we have reviewed the proposed lot split for conformance with all Zoning Ordinance, administrative rules and regulations and the Future Land Use Plan for the City of Grosse Pointe Woods.

ALIGNMENT WITH C-COMMERCIAL BUSINESS DISTRICT REGULATIONS

Both parcels proposed by the requested lot split are categorized within the C – Commercial Business District. The intent of the C - Commercial Business District is to permit retail business and service uses which are needed to serve the nearby residential areas. **Retail businesses, including both restaurants and salons, are permitted by right in this District. Complies.**

As it pertains to lot size, within the C – Commercial Business District, there is no minimum area, width, or lot coverage. **Neither parcel is held to any lot size standards. Complies.**

ALIGNMENT WITH OFF-STREET PARKING STANDARDS

Currently, the two businesses have been operating side-by-side with a shared parking lot and on- and off-street parking spaces without problem. Per Section 50-5.3 of the Zoning Ordinance, the following Off-Street Parking Requirements must be met:



Table 50-5.3.H Off-Street Parking Requirements	
Use	Minimum Number of Parking Spaces
<i>Establishments for sale and consumption on the premises of beverages, food or refreshments</i>	<i>One for each 200 square feet of gross floor area, plus one for each employee on the premises during the peak employment shift.</i>
<i>Beauty parlors and barbershops</i>	<i>Three spaces for each of the first two beauty or barber chairs, and 1.5 spaces for each additional chair.</i>

Provided in Lot: 33 Spaces, including 1 ADA space.

Off-Street (within 500 ft): 13 spaces

On-street (within 500 feet): 14 spaces

Total: 60 spaces

Complies.

ALIGNMENT WITH FUTURE LAND USE PLAN

The Future Land Use Plan, adopted as part of the 2024 Master Plan at the end of last year, indicates the following zoning designations for 19655 and 19653 Mack Avenue:

Location	Existing Land Use	Zoning District	Future Land Use Designation
Subject Site 1	Salvator Scallopini (Restaurant)	C	Corridor Mixed Use
Subject Site 2	Lamia & Lamia (Salon)	C	Corridor Mixed Use

The 2024 Master Plan Future Land Use Map designates the two parcels as Corridor Mixed Use, described in the text of the Master Plan as, “*retail, restaurant, personal service, and office establishments which are designed for the day-to-day needs of nearby residents and are found along the Mack Avenue corridor and along its easternmost boundary of Harper Avenue that extends one-and-a-half blocks between Stanhope Street and just north of Allard Avenue. These facilities are intended to be located in close proximity to residential neighborhoods but with adequate buffering. These land uses equate to the City’s C, (Commercial) zoning district, P Parking district and some areas zoned RO-1 Restricted Office.*” The current uses, including as restaurant and a salon, align with the intentions of the Corridor Mixed Use designation and the spirit of the Future Land Use Plan.

City of Grosse Pointe Woods

APPLICATION FOR PARCEL SPLIT/COMBINE

JOHN LAMIA / J.P.C.M. (owner) request that the property identified as parcel(s)
ONE & TWO CORP. be divided per the attached legal descriptions.

*Attach a copy of deed and survey

If a combination is being requested, please list all parcels you want to combine: _____

Mailing address for each proposed parcel:

Parcel A: PARCEL 1 Parcel C: _____
DEDA PALOKA
19655 MACK AVE
GROSSE POINTE WOODS, MI _____
48236

Parcel B: PARCEL 2 Parcel D: _____
CHARLES LAMIA
19653 MACK AVE
GROSSE POINTE WOODS, MI _____
48236

Remarks:

Date:

4-9-2025

John Lamia
Signature of Owner

Approved _____

City Representative

Title

The fee for parcel splits and combinations is \$100 per parcel created.

Example of Lot Split Fees:

- 1 lot split into 2 lots = \$200
- 1 lot split into 3 lots = \$300

Example of Combination Fees:

- 2 lots combined into 1 = \$100
- 3 lots combined into 1 = \$100



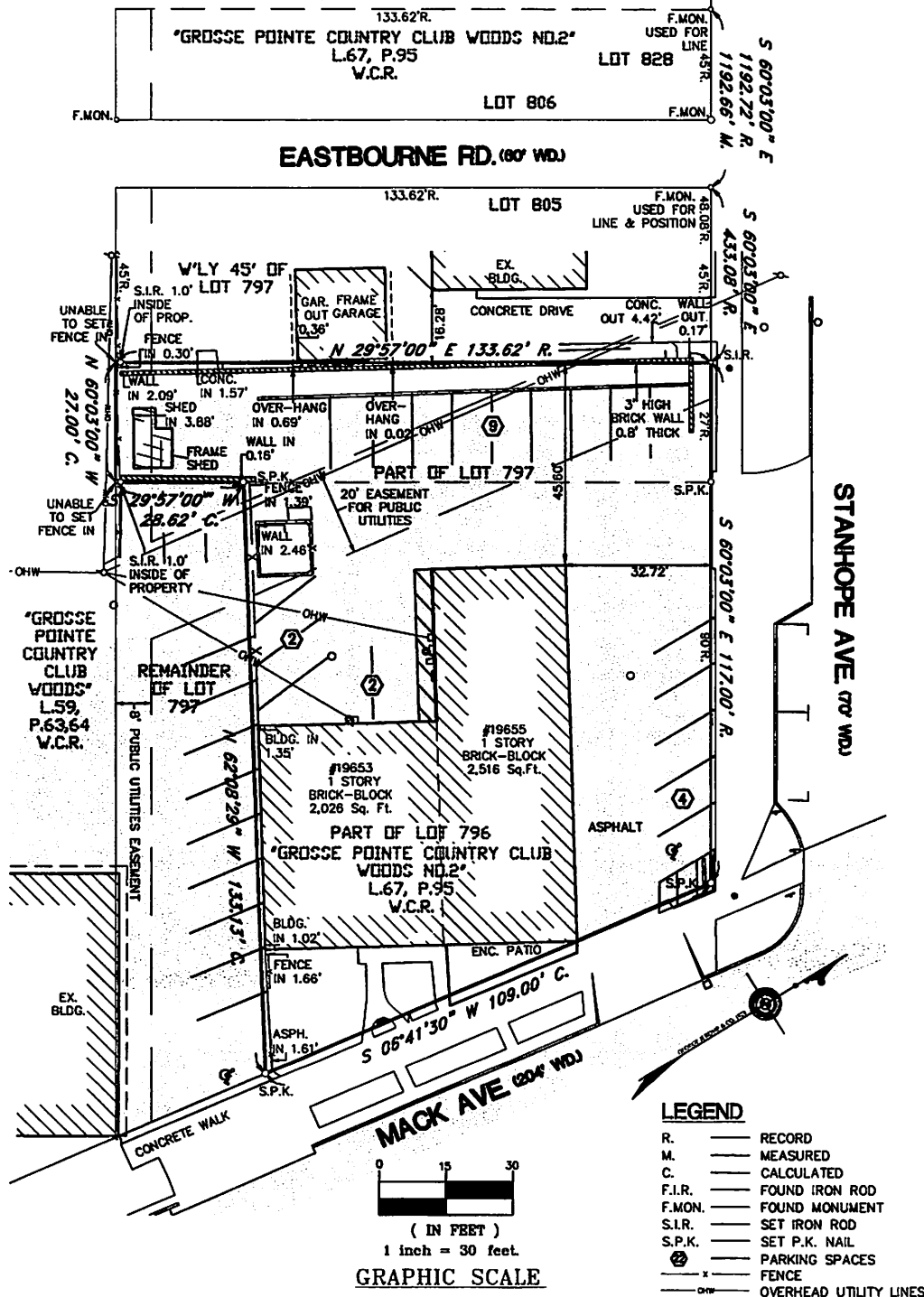
CERTIFIED SURVEY

19653-19655 MACK AVE.,
CITY OF GROSSE POINTE WOODS, WAYNE COUNTY, MICHIGAN
EXISTING PARCEL

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www.GeorgeJerome.com

FOR EXISTING LEGAL DESCRIPTION, PLEASE SEE PAGE 1 OF 2

PAGE 1 OF 4



CERTIFICATION: WE HEREBY CERTIFY TO JOHN LAMIA
THAT WE HAVE SURVEYED AND MAPPED THE LAND ABOVE PLATTED AND/OR DESCRIBED ON 04-04-25,
AND THAT ALL OF THE REQUIREMENTS OF P.A. 132 OF 1970, AS AMENDED HAVE BEEN MET, AND THAT
THE ERROR OF CLOSURE IS < 1:10,000

SURVEY BY R.S.
DRAWN BY T.M.M.
SCALE 1" = 30'

GEORGE G. JEROME, JR., P.S. P.E.
NO. 46672

JOB NO. 26-726
DATE 04-04-25
FIELD BOOK NO. 1440, P.58&59



CERTIFIED SURVEY

19653-19655 MACK AVE.,
CITY OF GROSSE POINTE WOODS, WAYNE COUNTY, MICHIGAN
EXISTING LEGAL DESCRIPTION

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PAGE 2 OF 4

EXISTING LEGAL DESCRIPTION

(Chicago Title Insurance Company, File No. 82-15421378-SCM, Dated June 30, 2015)

Land situated in the City of Grosse Pointe Woods, County of Wayne, State of Michigan, described as follows:

Part of Lot 796, measuring 109 feet on Mack Avenue, 90 feet on Stanhope and 105 feet on the Westerly lot line running South from Stanhope, Grosse Pointe Country Club Woods No. 2, as recorded in Liber 67, Page 95 of Plats, Wayne County Records, ALSO, Lot 797 except the Westerly 45 feet, Grosse Pointe Country Club Woods No. 2, according to the plat thereof as recorded in Liber 67, Page 95 of Plats, Wayne County Records.

SURVEY BY R.S.
DRAWN BY T.M.M.

JOB NO. 26-726
DATE 04-04-25



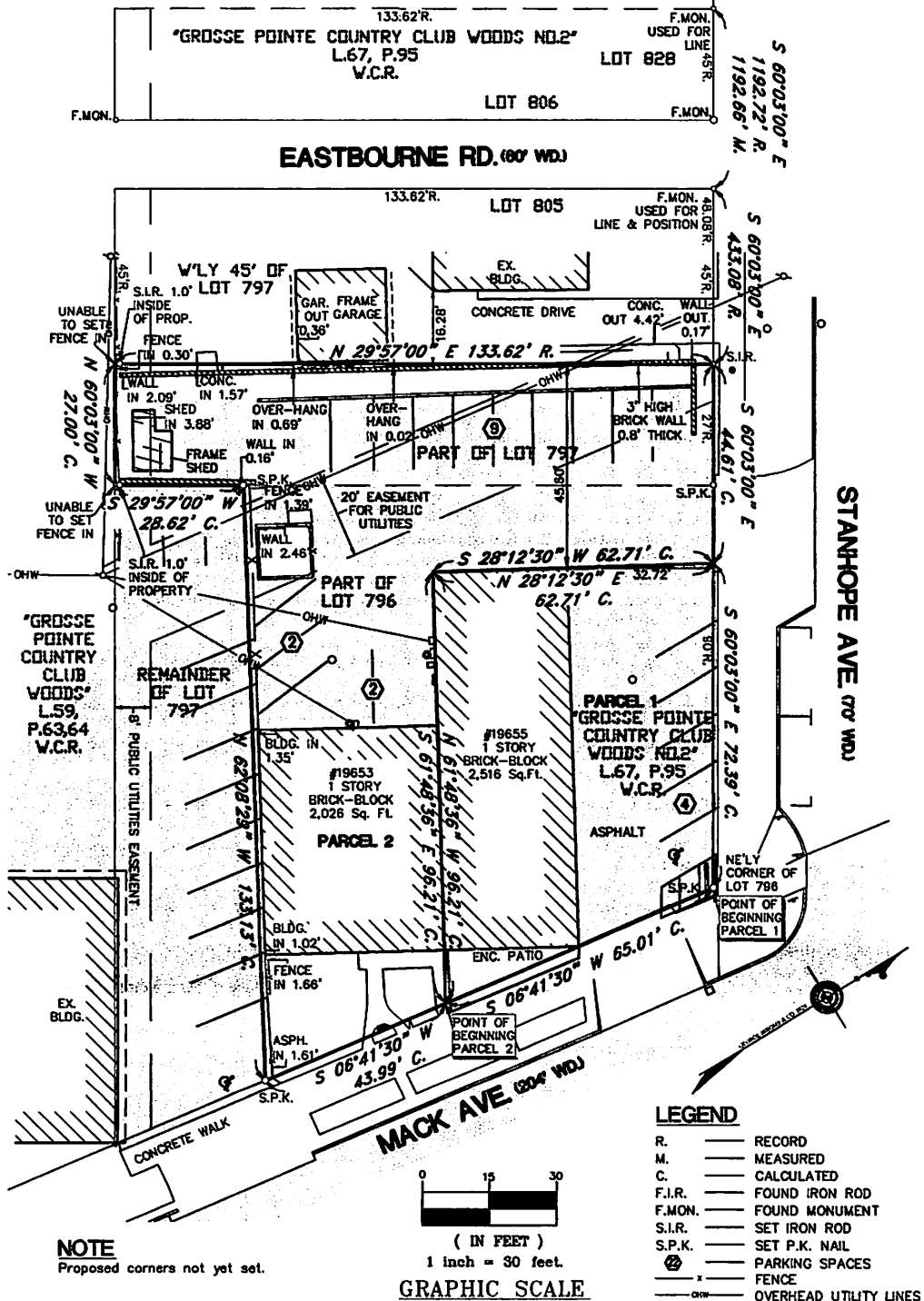
CERTIFIED SURVEY

19653-19655 MACK AVE.,
CITY OF GROSSE POINTE WOODS, WAYNE COUNTY, MICHIGAN
PROPOSED PARCELS

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FOR PROPOSED LEGAL DESCRIPTIONS, PLEASE SEE PAGE 4 OF 4

PAGE 3 OF 4



CERTIFICATION: WE HEREBY CERTIFY TO JOHN LAMIA
THAT WE HAVE SURVEYED AND MAPPED THE LAND ABOVE PLATTED AND/OR DESCRIBED ON 04-04-25
AND THAT ALL OF THE REQUIREMENTS OF P.A. 132 OF 1970, AS AMENDED HAVE BEEN MET, AND THAT
THE ERROR OF CLOSURE IS < 1:10,000

SURVEY BY R.S.
DRAWN BY T.M.M.
SCALE 1" = 30'

GEORGE G. JEROME, JR., P.S. P.E.
NO. 46672

JOB NO. 26-726
DATE 04-04-25
FIELD BOOK NO. 1440, P.58&59



CERTIFIED SURVEY

19653-19655 MACK AVE.,
CITY OF GROSSE POINTE WOODS, WAYNE COUNTY, MICHIGAN
PROPOSED LEGAL DESCRIPTIONS

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PROPOSED LEGAL DESCRIPTIONS

Proposed Parcel 1:

A Parcel of land being a part of Lot 796 of Country Club Woods No. 2, being a subdivision of part of Private Claim 619, Village of Grosse Pointe Woods (now City of), Wayne County, Michigan as recorded in Liber 67, Page 95 of Wayne County Records, and being more particularly described as follows:

Beginning at the Northeasterly Corner of said Lot 796; thence South 06 degrees 41 minutes 30 seconds West 65.01 feet along the easterly line of said Lot 796 and the westerly line of Mack Avenue, 204 feet wide;

Thence North 61 degrees 48 minutes 36 seconds West 96.21 feet partially along the line common to two buildings;

Thence North 28 degrees 12 minutes 30 seconds East 62.71 feet partially along a rear building line to the southerly line of Stanhope Avenue, 70 feet wide;

Thence along said southerly line of Stanhope Avenue South 60 degrees 03 minutes 00 seconds East 72.39 feet to the Point of Beginning of this Parcel.

Said Parcel containing 0.119 acres, more or less.

Proposed Parcel 2:

A Parcel of land being a part of Lots 796 and 797 of Country Club Woods No. 2, being a subdivision of part of Private Claim 619, Village of Grosse Pointe Woods (now City of), Wayne County, Michigan as recorded in Liber 67, Page 95 of Wayne County Records, and being more particularly described as follows:

Commencing at the Northeasterly Corner of said Lot 796; thence South 06 degrees 41 minutes 30 seconds West 65.01 feet to the Point of Beginning of this Parcel;

Thence continuing along said easterly line of Lot 796, South 06 degrees 41 minutes 30 seconds West 43.99 feet;

Thence North 62 degrees 08 minutes 29 seconds West 133.13 feet to a point on the easterly line of said Lot 796;

Thence South 29 degrees 57 minutes 00 seconds West 28.62 feet along said easterly line to the Southeasterly Corner of said Lot 797;

Thence North 60 degrees 03 minutes 00 seconds West 27.00 feet along the southerly line of said Lot 797;

Thence North 29 degrees 57 minutes 00 seconds East 133.62 feet to a point on the southerly line of Stanhope Avenue, 70 feet wide;

Thence along said southerly line of Stanhope Avenue South 60 degrees 03 minutes 00 seconds East 44.61 feet;

Thence South 28 degrees 12 minutes 30 seconds West 62.71 feet partially along a rear building line;

Thence South 61 degrees 48 minutes 36 seconds East 96.21 feet partially along the line common to two buildings to the Point of Beginning of this Parcel.

Said Parcel containing 0.228 acres, more or less.

SURVEY BY R.S.
DRAWN BY T.M.M.

JOB NO. 26-726
DATE 04-04-25

WARRANTY DEED - (INDIVIDUAL)

CTC FILE NUMBER: 97200537-TR

KNOW ALL MEN BY THESE PRESENTS that THEODORE D. RAPHAEL AND MARY E. RAPHAEL, HIS WIFE

whose address is 927 HICKORY RUN, GREAT FALLS, VA 22066, convey(s) and warrant(s) to JPCM CORPORATION, A MICHIGAN CORPORATION

, whose street address and post office address is 333 W. FORT ST., 16TH FLOOR, DETROIT, MI 48226, the following described premises:

Land situated in the City of Grosse Pointe Woods, Wayne County, Michigan

Part of Lot 796, measuring 109 feet on Mack Ave, 90 feet on Stanhope and 105 feet on the Westerly lot line running South from Stanhope, GROSSE POINTE COUNTRY CLUB WOODS NO. 2, as recorded in Liber 67 on Page(s) 95 of Plats, Wayne County Records.

Commonly known as: 19653-5 MACK AVE.
Said to be the same as 01-05-0796-001 FIVE HUNDRED TEN THOUSAND & 00/100 (\$510,000.00) DOLLARS, being the full consideration, subject to: building and use restrictions and easements of record, if any.

Dated: April 21, 1997

Signed and delivered in the presence of:

WITNESSES:

[Signature of Theodore D. Raphael]
THEODORE D. RAPHAEL
[Signature of Mary E. Raphael]
MARY E. RAPHAEL, HIS WIFE

STATE OF ~~MICHIGAN~~ *Virginia*)
COUNTY OF ~~WAYNE~~ *Fairfax*) ss.

On this the 21st day of April, 1997, before me personally appeared THEODORE D. RAPHAEL AND MARY E. RAPHAEL, HIS WIFE

to me known to be the person(s) described in and who executed the foregoing instrument and acknowledged that THEY executed the same as THEIR free act and deed.

[Signature of J. Patrick Murphy]
J. Patrick Murphy, Notary Public
County, Michigan *Fairfax*
My commission expires: 9/30/99

INSTRUMENT DRAFTED BY:

TOM YOUNGBLOOD
18472 MACK AVE.
GROSSE POINTE FARMS, MI 48236

WHEN RECORDED RETURN TO:

JPCM CORP.
333 W. FORT ST., 16TH FLOOR
DETROIT, MI 48226

Recording Fee: \$15.00 County Tax: \$561.00 State Transfer Tax: \$3,825.00

DECLARATION OF EASEMENTS & MAINTENANCE

THIS DECLARATION OF EASEMENTS & MAINTENANCE ("**Declaration**") is made this _____ day of March, 2025, by JPCM [], with an address of _____ (referred to as "**Owner**").

RECITALS:

A. Owner is the owner of real property situated in the City of Grosse Pointe Woods, County of Wayne, State of Michigan, more particularly described as "Parcel A" "Parcel B" on **Exhibit A** attached hereto and incorporated herein by reference. Parcel A and Parcel B are referred to herein collectively as the "Parcels" and at times individually referred to as "Parcel."

B. Owner desires to impose certain easements upon the Parcels, and to establish certain covenants, conditions and restrictions with respect to the Parcels for the benefit and complement of Parcel A and Parcel B and the present and future owners and occupants thereof, on the terms and conditions hereinafter set forth.

NOW, THEREFORE, for good and valuable consideration, the receipt and adequacy of which is acknowledged hereby, the parties agree as follows:

1. Parcel A and Parcel B shall each be subject to and encumbered by a perpetual, non-exclusive easement in favor of the owner of the other Parcel, their respective tenants, members, employees, guests and invitees (the "Permittees") for parking and vehicular and pedestrian access over and across those portions of the Parcel A and Parcel B designed and used from time to time for vehicular parking and for vehicular and pedestrian access, including access to and from Mack Ave. and Stanhope as depicted on **Exhibit B** which is attached hereto and incorporated herein by reference, and referred to herein as the "Parking Area". Nothing contained herein shall be construed so as to grant any rights on, over, under, or across any building or structure located from time to time on Parcel A or Parcel B. Nothing contained herein shall be deemed to be a dedication of any portion of the Parcels to the general public, or for the general public, or for any public use or purpose.
2. The Parking Area shall be maintained, repaired and reconstructed, by the owner(s) of the Parcels ("Parcel Owner(s)") as further described below.
3. No boats, or other objects may be parked or stored, or obstructions placed on or within the Parking Area blocking the Parcel Owners' ability to use the Parking Area for ingress and egress to and from the Parcels.
4. The location of the Parking Area may not be modified or altered, nor may the width of the Parking Area be increased or decreased without the written consent of the Parcel Owners.
5. When maintenance or repairs to the Parking Area appear to be necessary, the Parcel Owners shall work together to coordinate their repair and maintenance activities so as to make repair and maintenance of the Parking Area as economical as possible. The Parcel Owners hereby

grant each other reasonable rights to come upon the Parcels to the extent reasonably necessary to construct, maintain, or repair the Parking Area and agree to share equally in the cost of snow removal from the Parking Area. Promptly after completing any maintenance, repair or construction to its Parcel outside of the Parking Area, the constructing party shall at its sole expense restore the affected area, to substantially the same condition as existed immediately prior to the commencement of the maintenance, repair or construction, except to the extent of such maintenance (e.g. sealcoating, restriping, lighting, drainage), repair, or construction.

6. The Parcel Owner undertaking the maintenance or repair(s) for the Parking Area shall contract for and initially pay all reasonable costs associated with them. However, the Parcel Owners shall share in such costs, regardless of which incurs them, with each being responsible for half of such costs. The party incurring such expenses shall bill the other for its share of such costs. The other shall pay the statement rendered within thirty (30) days.
7. If any Parcel Owner shall fail to pay any statement tendered by another Parcel Owner to him or her within thirty (30) days after receipt thereof, the amount of such statement, together with interest thereon at the maximum legal rate, plus reasonable attorney fees for collection, shall automatically become a continuing lien upon such Parcel Owner's Parcel, which lien shall be superior to all claims against such Parcel, except any first mortgage, as well as an enforceable personal obligation of the Parcel Owner. The Parcel Owner incurring an expense which remains unpaid may record a notice of his or claim of lien against the Parcel owned by the nonpaying Parcel Owner and thereafter pursue a judicial action to foreclose said lien, subject only to any first mortgage, in any manner now or in the future permitted by law or equity with respect to mortgage liens. Proceeds received at such sale shall be distributed first to pay the lien being foreclosed upon, plus all costs and expenses, interest, and reasonable attorney's fees, and any surplus shall be distributed in accordance with the priorities established by applicable law. The unpaid Parcel Owner may, in addition to, or instead of, foreclosure, obtain a personal judgment against the nonpaying Parcel Owner.
8. Provided he or she is current in his or her obligations to the others, any Parcel Owner shall be released from all personal liability for costs associated with the repair and maintenance of the Parking Area immediately upon the sale or other conveyance of his or her complete fee interest in his or her Parcel.
9. Any damage to the Parking Area caused by any Parcel Owner or his or her guests, invitees, licensees or contractors (collectively the "Responsible Parcel Owner"), shall promptly be repaired by that Responsible Parcel Owner at his or her sole expense. If any Responsible Parcel Owner fails to promptly repair damage to the Parking Area or any other Parcel caused by him or her or his or her guests, invitees, licensees, or contractors, the damaged Parcel Owner may do so and recover the full cost of doing so from the Responsible Parcel Owner, to be paid and collected within thirty (30) days after receipt thereof by the Responsible Parcel Owner.
10. This Declaration shall be governed by, and construed in accordance with, the laws of the State of Michigan.
11. All easements and rights created under this Declaration and imposed upon Parcel A and Parcel B, respectively, shall run with and against the Parcels as so described in this Declaration, and said easements shall be a charge and a burden for the benefit of the owners of the Parcels and of the holder(s) of any mortgage(s) with respect to the Parcels. This

Declaration is specifically intended to run with the Parcels and to benefit and burden the Parcels as set forth herein.

12. Any enforcement proceedings may be by legal proceedings against any person or persons violating or attempting to violate any easements, declarations, restrictions, covenants, conditions or Declarations contained in this Declaration either to restrain or enjoin such violation and/or recover damages; provided, however, that no such easements or rights granted in this Declaration may be enforced by legal action or otherwise except by the then owners and then mortgagees of the Parcels.
13. In the event of any transfer or transfers of Owner's interest in Parcel A and Parcel B, including a so-called sale-leaseback, the transferor shall be automatically relieved of any and all obligations on the part of Owner accruing from and after the date of such transfer, provided that the transferee shall assume all Owner's obligations under this Declaration accruing from and after the date of such transfer. Upon the termination of any such lease in a sale-leaseback transaction prior to termination of this Declaration, the former lessee thereunder shall become and remain liable as Owner hereunder until a further transfer.
14. This Declaration and the easements created herein may be modified, amended or terminated only by all of the owners and mortgagees of the Parcels, and no other person (including, without limitation, tenants, lessees, invitees, guests or occupants of said Parcels) shall have any rights whatsoever to join in, prevent or otherwise affect or limit any such modification, amendment or termination.
15. In the event that any one or more of the provisions contained in this Declaration is held to be invalid, illegal or unenforceable in any respect, such invalidity, illegality or unenforceability shall not affect any other provisions of this Declaration and this Declaration shall be construed as if such invalid, illegal or unenforceable provision had never been contained herein.
16. In the event either party hereto institutes any legal action or proceeding for the enforcement of any right or obligation herein contained, the prevailing party after a final adjudication shall be entitled to recover its costs and reasonable attorneys' fees incurred in the preparation and prosecution of such action or proceeding.
17. No waiver of any default of any obligation by any party hereto shall be implied from any omission by the other party to take any action with respect to such default.
18. Time is of the essence of this Declaration.
19. This Declaration and the easements, rights and obligations contained herein shall be binding upon and inure to the benefit of any owner of the Parcels, any mortgagee of the Parcels and their respective successors, and assigns.
20. The owner of each Parcel does hereby indemnify the owner of the other Parcels from all claims, judgments, costs and expenses (including attorney's fees) in connection with the exercise of the rights of use granted in this Agreement, including from any claim based on injury to agents, invitees, employees or contractors that is related to the construction, operation, maintenance, use, repair, or replacement of the Easements or for any other activity by the owner of a Parcel or the owner's employees, agents, contractors, lessees, invitees, or licensees, on the above easements or on the other parties' Parcels. The indemnity obligations shall not include claims arising from the indemnified party's own negligence.

21. This Declaration may be amended only by written agreement signed by all of the owners and all of the mortgagees of the Parcels. This document shall be recorded with the Wayne County Register of Deeds.
22. These easements are given without consideration and are exempt from transfer tax pursuant to MCLA 207.505(a); MCL 207.526(a).

50-6.4 Lot splits

The following shall apply to lot splits.

- A. The developer or petitioner shall submit the following to the city clerk:
 1. Twenty-one copies of an application and drawing for the lot split shall be submitted at least 30 days prior to the public hearing to be held by the city council.
 2. The drawing of the proposed lot split shall be prepared by a registered civil engineer or surveyor and drawn to a reasonable and legible scale.
 3. The lot split drawing shall contain the following information:
 - a. Names and addresses of the owner, subdivider or petitioner, and engineer or surveyor.
 - b. Date, north arrow and scale, written and graphic.
 - c. Street names, right-of-way and roadway widths of all existing and proposed streets within and adjacent to the proposed lot split.
 - d. Proposed and existing storm and sanitary sewers and water mains, including location and size.
 - e. All existing structures and other physical features that would influence the layout and design of the lot split.
 - f. Location, width and purpose of easements.
 - g. Lot lines and lot numbers.
- B. The city clerk shall transmit a copy of the proposed lot split to the city engineer, department of public services, building inspector and city assessor for review and recommendation.
- C. The city planning commission shall review the proposed lot split for conformance with all ordinances, administrative rules and regulations and the land use plan for the city, and shall prepare recommendations to be submitted to the city council prior to the council public hearing.
- D. The petitioner or developer shall pay to the city a hearing notice fee as currently established or as hereafter adopted by resolution of the city council from time to time for the notice of public hearing. Payment shall be made at the time the application for council hearing is made.
- E. The city clerk shall notify all property owners within 300 feet of the proposed lot split, as found in the records of the city assessor, of the council public hearing to be held. A notice of hearing and drawing of the proposed lot split shall be sent to the county drain commission, Michigan Bell Telephone Company, Detroit Edison Company and Michigan Consolidated Gas Company. All notices shall be sent at least 15 days prior to the public hearing date as established by the city clerk.
- F. On receipt of the recommendation of the city planning commission, the city clerk shall establish a date for a public hearing before the city council for consideration of the proposed lot split. If the city council approves the lot split, it shall adopt a resolution effectuating the lot split and shall transmit the resolution to the city clerk for recording.



May 6, 2025

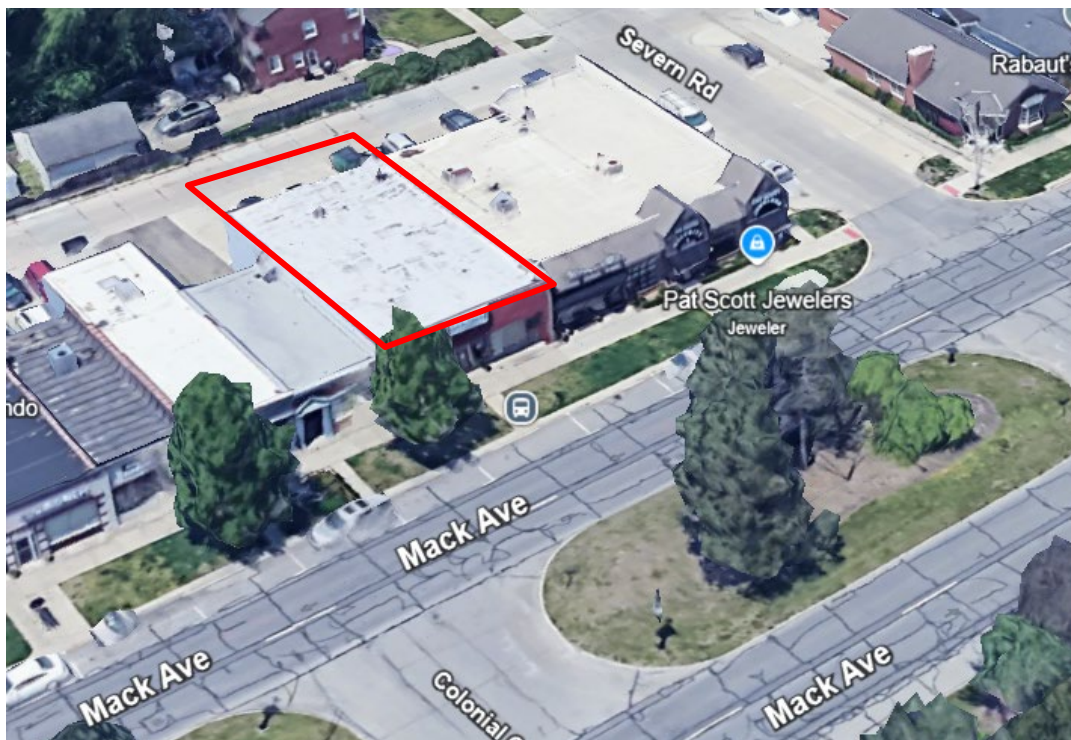
Planning Commission
City of Grosse Pointe Woods
20025 Mack Plaza Dr
Grosse Pointe Woods, MI 48236

Subject: 19483 Mack (My Nails Salon) Site Plan Review
Parcel ID: 015-01-0041-000
Site Plan Review #1
Zoning: C- Commercial Business

Dear Commissioners,

We have reviewed the above application for interior renovations of an existing, unoccupied commercial building to support a nail studio called My Nails Salon. The applicant requests a site plan review for a nail studio at 19483 Mack Avenue that includes an interior build-out of an existing vacant retail lease space. This will include an open area, private waxing room, restrooms, and employee-only break room.

Upon review of the proposed plan compared to the applicable ordinance standards, we offer the following comments for your review. Items that do not comply or require additional information are in **bold and underlined**. Planning Commission must determine what is feasible for this location.





RECOMMENDATION

We recommend approval of the interior renovations at 19483 Mack Avenue, without conditions.

If you have further questions, please do not hesitate to contact us.

Respectfully submitted,

McKENNA

Ashley Jankowski
Associate Planner

Alicia Warren
Associate Planner



Site Plan Review

1. ZONING DESIGNATIONS

The subject site, 19483 Mack Avenue, is located within the C, Commercial Business District. Personal service type establishments are permitted within the C district.

2. PARKING AND LOADING (SEC. 50-5.3)

Beauty parlors, or related businesses, require three spaces for each of the first two beauty or barber chairs, and 1.5 spaces for each additional chair.

Four (4) off-street parking spaces are provided in the rear of the building for employees, accessed by the alley. The following table below shows a breakdown of the number of parking spaces required for the proposed renovation of an existing building. Given that this is an existing structure and the total area of the structure remains unchanged, the off-street parking must only conform to at least 50 percent of the requirements listed above.

Off-street parking required for the number of service units

Number of Chairs	Number of Off-Street Parking Spaces Provided	Number of Off-Street Parking Spaces Required	Number of Deficient Off-Street Parking Spaces	Number of On-Street Parking (15 total along Mack on this block)
8	4	15 @ 50% = 7.5 → 7	3	6

Findings: A total of 10 parking spaces are available in off- and on-street parking. In considering the context of the site, the provided off-street parking, and on-street parking, there is conclusive evidence to support the business. There is sufficient parking to support the proposed interior renovations, however no context has been provided for the additional businesses within the strip and how many spaces are required in total. *Complies.*

3. LANDSCAPING (SEC. 50-6.1)

The site design shall provide reasonable visual and sound privacy for dwelling units located within the project and adjacent to the project. Fences, walks, barriers, and landscaping shall be used, as appropriate, for the protection and enhancement of property and the privacy of its occupants.

There is existing landscaping on site along the public right-of-way and enhances the site. The applicant has not proposed any additional landscaping. *Complies.*

4. SIGNS

Chapter 32 of the City's Code of Ordinance concerns signage.

Findings: Any exterior signage must undergo separate administrative review and approval *Complies.*

5. LIGHTING

Exterior lighting shall be designed so that it is shielded from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.

The applicant has not proposed any new lighting on the exterior of the building. *Complies.*



NORTH

SOUTH BOUND MACK AVENUE

EX 102' WIDE PUBLIC RIGHT-OF-WAY
2-LANES ASPHALT ROADWAY

(15) EX. PUBLIC PARKING SPACES

BENCHMARK NO. 1
ARROW ON DOME
OF HYDRANT
ELEV=585.69
N.A.V.D.88 DATUM

WATER MH
RM=582.40

SEVERN RD.
EX 2-LANES ASPHALT ROADWAY

(4) EX. PUBLIC PARKING SPACES

EXISTING COMMERCIAL BUILDING
1944 MACK AVENUE
TAX ID# 015-01-0041-000
F.F.=583.80

FIN IRON PIPE

EXISTING COMMERCIAL BUILDING
1945 MACK AVENUE
TAX ID# 015-01-0041-000
BLDG. AREA=2748-SQ.FT.
ZONED COMM. BUSINESS
LOT AREA=24,000-SQ.FT.

EXISTING COMMERCIAL BUILDING
1947 MACK AVENUE
TAX ID# 015-01-0043-000
F.F.=583.80

EXISTING COMMERCIAL BUILDING
1947 MACK AVENUE
TAX ID# 015-01-0044-000

EXISTING COMMERCIAL BUILDING
1949 MACK AVENUE
TAX ID# 015-01-0045-000

EXISTING COMMERCIAL BUILDING
1943 MACK AVENUE
TAX ID# 015-01-0046-000

EXISTING COMMERCIAL BUILDING
1945 MACK AVENUE
TAX ID# 015-01-0047-000

EXISTING COMMERCIAL BUILDING
1945 MACK AVENUE
TAX ID# 015-01-0048-000

EXISTING COMMERCIAL BUILDING
1945 MACK AVENUE
TAX ID# 015-01-0049-000

EXISTING COMMERCIAL BUILDING
1943 MACK AVENUE
TAX ID# 015-01-0050-000

EXISTING COMMERCIAL BUILDING
1943 MACK AVENUE
TAX ID# 015-01-0051-000

EXISTING COMMERCIAL BUILDING
1943 MACK AVENUE
TAX ID# 015-01-0052-000

EXISTING COMMERCIAL BUILDING
1943 MACK AVENUE
TAX ID# 015-01-0053-000

EXISTING COMMERCIAL BUILDING
1943 MACK AVENUE
TAX ID# 015-01-0054-000

EXISTING COMMERCIAL BUILDING
1943 MACK AVENUE
TAX ID# 015-01-0055-000

BENCHMARK NO. 2
ARROW ON DOME
OF HYDRANT
ELEV=585.92
N.A.V.D.88 DATUM

PRESTWICK RD.
EX 2-LANES ASPHALT ROADWAY

(3) EX. PUBLIC PARKING SPACES

(4) EX. PUBLIC PARKING SPACES

- EX. DITCH
- EX. GRAVEL
- EX. WATER MAIN
- EX. WATER VALVE
- EX. WATER SERVICE VALVE
- EX. HYDRANT
- EX. WATER MANHOLE
- EX. WATER GV
- EX. WATER METER
- EX. STORM SEWER
- EX. STORM INLET/CATCH BASIN
- EX. ROUND STORM CATCH BASIN
- EX. STORM MANHOLE
- EX. STORM END SECTION
- EX. DOWN SPOUT
- EX. SANITARY SEWER
- EX. SANITARY MANHOLE
- EX. CLEAN OUT
- EX. SANITARY VENT
- EX. UNDERGROUND GAS
- EX. GAS VALVE
- EX. GAS METER
- EX. UNDERGROUND TELEPHONE
- EX. UNDERGROUND FIBER OPTIC
- EX. TELEPHONE MANHOLE
- EX. TELEPHONE RISER
- EX. TELEPHONE MANHOLE
- EX. UNDERGROUND ELECTRIC
- EX. ELECTRIC MANHOLE
- EX. ELECTRIC RISER
- EX. ELECTRIC HANDHOLE
- EX. ELECTRIC TRANSFORMER
- EX. ELECTRIC METER
- EX. GENERATOR
- EX. ASPHALT
- EX. CONCRETE
- EX. GRAVEL
- EX. TREELINE
- EX. WATER MARKER
- EX. GAS MARKER
- EX. COMM. MARKER
- EX. T.E. MARKER
- EX. FIBER MARKER
- EX. MEDIA MARKER
- EX. OVERHEAD CABLE
- EX. OVERHEAD FIBER
- EX. OVERHEAD ELECTRIC
- EX. UNDERGROUND CABLE
- EX. COMMUNICATION RISER
- EX. COMMUNICATION HANDHOLE
- EX. UTILITY POLE
- EX. GUY ANCHOR
- EX. SIGNAL POLE
- EX. LIGHT POLE
- EX. GROUND LIGHT
- EX. DOUBLE LIGHT POLE
- EX. SINGLE POLE SIGN
- EX. DOUBLE POLE SIGN
- EX. MAILBOX
- EX. FLAGPOLE
- EX. SPEAKER
- EX. UNKNOWN MANHOLE
- EX. COMBO MANHOLE
- EX. SECTION LINE
- EX. PARCELS
- EX. EASEMENT
- EX. CENTERLINE
- EX. WETLAND LIMITS
- EX. CURB/PAVEMENT
- EX. FENCE
- EX. GUARDRAIL
- FOUND IRON
- FOUND RR SPIKE
- FOUND PK NAIL
- FOUND CONC. MONUMENT
- SET IRON ROD
- SET MAG NAIL
- SECTION CORNER
- POST
- BOLLARD
- RECORDED BEARING
- MEASURED BEARING
- EX. TREE
- DEMO TREE

LEGAL DESCRIPTION:
LOTS 41 AND 42 GROSSE POINTE COUNTRY CLUB WOODS SUBDIVISION; PC
617 & 618; LIBER 59, PAGE 63 & 64 WAYNE COUNTY RECORDS.

NOTES:

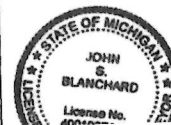
BASIS OF BEARING: SET TO MATCH THE RECORDED &
PLATTED BEARING & DISTANCES

- (M) FIELD MEASURED BEARINGS AND DISTANCES
REQUIRED TO FORCE PROPER CLOSURE OF
DESCRIPTION AND TO REMOVE GAPS AND GORES
BETWEEN ADJACENT PARCEL DESCRIPTIONS.
- (R) RECORDED BEARINGS AND DISTANCES PER PLAT

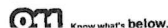
I HEREBY CERTIFY THAT I HAVE LOCATED AND MAPPED THE LAND
HEREON PLATTED AND/OR DESCRIBED, ON THE DATE NOTED HEREON,
THAT THE ERROR OF CLOSURE OF THE UNADJUSTED FIELD
OBSERVATION AND/OR THE FIELD ADJUSTED AS SHOWN ARE WITHIN THE
LIMITS ESTABLISHED FOR THE PROFESSION.

John Blanchard, Professional Surveyor
PS#4001027446

SEAL



UNDERGROUND UTILITY LOCATIONS
AS SHOWN ON THE PLAN, WERE
OBTAINED FROM UTILITY OWNER
AND NOT FIELD LOCATED.



These documents are instruments of service in
respect of the Project and any reuse without written
consent of the Client is prohibited.

CLIENT: ORMAN ENGINEERING
5475 VIVIAN LANE

PRIVATE CLAIM 617 & 618

DAT
Draw
P.E.

MY NAILS INTERIOR RENOVATION

19483 MACK AVE.
GROSSE POINTE WOODS, MI 48236

BUILDING CODES & DESIGN STANDARDS:
PROJECT LOCATION: FORT HURON, MI
2021 MICHIGAN MECHANICAL CODE
2021 MICHIGAN PLUMBING CODE
2023 MICHIGAN PART 8 ELECTRICAL CODE
2015 MICHIGAN UNIFORM ENERGY CODE-COMMERCIAL
2015 INTERNATIONAL PROPERTY MAINTENANCE CODE
2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
ALTERATION LEVEL 2, W/ REFERENCES TO MICHIGAN BUILDING CODE 2015

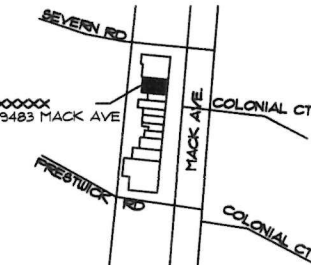
PROJECT SCOPE:
THIS PROJECT INVOLVES AN INTERIOR RENOVATION OF AN EXISTING VACANT STORE FOR THE NEW TENANT NAILS REVIVE. THE WORK WILL INCLUDE ARCHITECTURAL, MECHANICAL & ELECTRICAL ENGINEERING FOR THE PROPOSED LAYOUT.

SHEET INDEX:
A.1 TITLE SHEET, LOCATION, DEMOLITION, & FLOOR PLANS
A.2 REFLECTED CEILING PLAN & DETAILS
A.3 DOOR SCHEDULE, DETAILS, & BARRIER FREE MOUNTING HEIGHTS
M.0 MECHANICAL LEGENDS, SYMBOLS, SHEET INDEX & DEMOLITION PLAN
M.1 OVERALL PLUMBING FLOOR PLAN
M.2 OVERALL HVAC & ROOF PLAN
M.4.0 MECHANICAL SCHEDULES
M.4.1 MECHANICAL DETAILS
M.5 MECHANICAL SPECIFICATIONS
E.0 ELECTRICAL RISER DIAGRAM, GENERAL NOTES, & SCHEDULES
E.1 ELECTRICAL FLOOR PLANS- DEMOLITION, POWER & LIGHTING

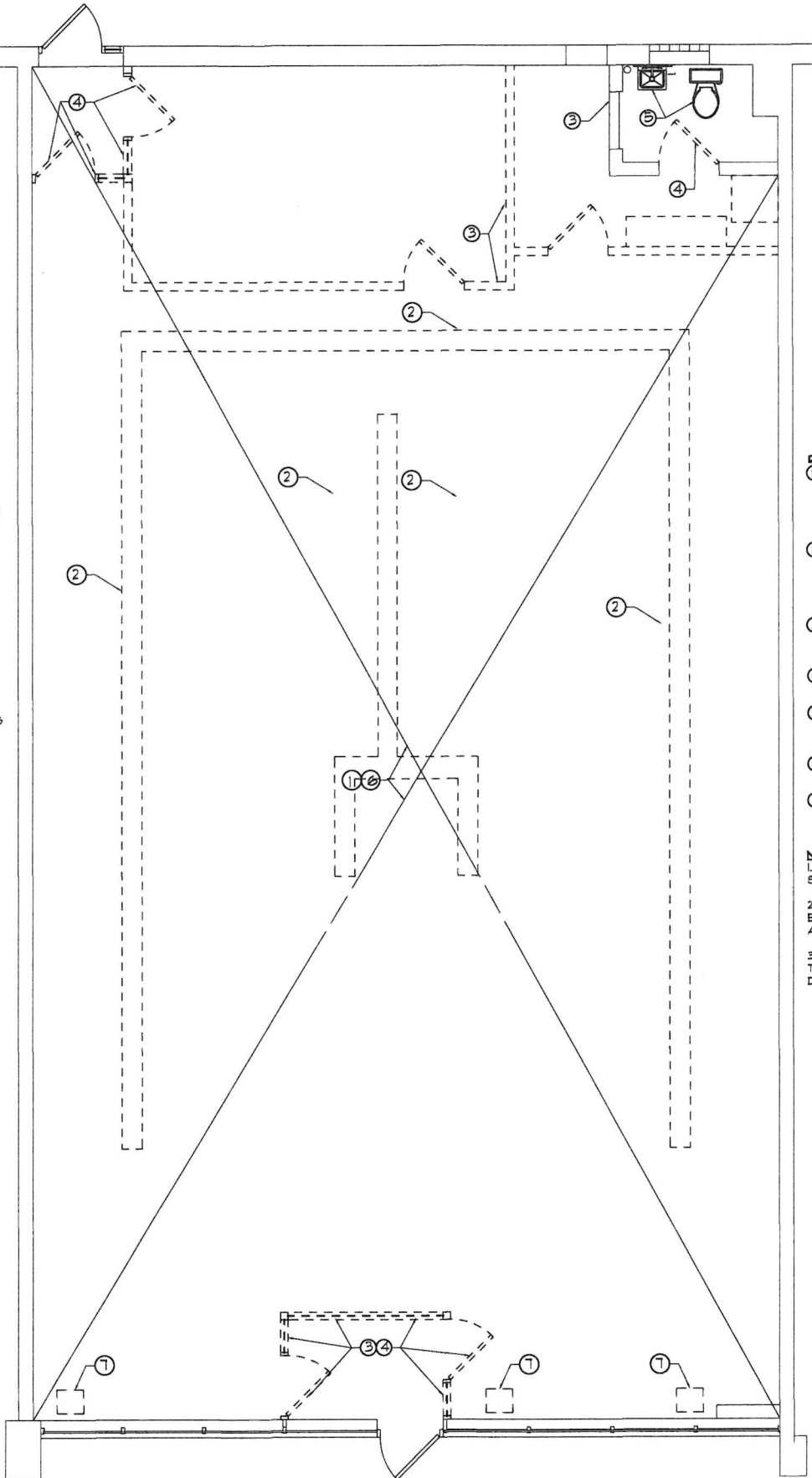
BUILDING DATA:
TENANT AREA: 2,506 SF. GROSS AREA (EXCLUDING EXTERIOR & DEMISING WALL THICKNESS)
CONSTRUCTION TYPE: TYPE IV B
USE GROUP: B BUSINESS
NON-SPRINKLED
OCCUPANCY CALCULATION: (BY RATIO)
BUSINESS (1 PER 100 SF. GROSS) 2,506 SF. X 80% = 2,004.8 / 100 = 20.05 + 20 OCCUPANTS
ACTUAL 100% FULL SEATING @ PEDICURE & MANICURE TABLES 48 OCCUPANTS
TWO BARRIER FREE TOILET ROOMS
MAXIMUM TRAVEL DISTANCE 200'

EGRESS OCCUPANT LOADS:
TOTAL NUMBER OF OCCUPANTS (BY RATIO): 48 EGRESS
WIDTH/OCCUPANT (1005) IBC: 0.2
EGRESS WIDTH REQUIRED: NO. OF OCCUPANTS X EGRESS WIDTH
18 X 0.2 = 3.6'
EGRESS WIDTH PROVIDED: 12'
NUMBER OF EXITS REQUIRED (1021) IBC: 1
NUMBER OF EXITS PROVIDED: 2

GENERAL NOTES:
1. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE WORK NOTED HERE IN. COORDINATE ALL DRAWINGS/NEW WORK & NOTIFY ARCHITECT/ OWNER OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY & LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. WALL THICKNESS ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
4. ALL WOOD, INCLUDING BLOCKING, USED SHALL BE FIRE RETARDANT TREATED.
5. ALL WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, & OSHA.
6. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL, & WALL BASE CONDITION.
7. REINFORCE WALL, & PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS & COUNTERTOPS.
8. COORDINATE W/ OWNER'S SUPPLIED EQUIPMENT FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS: TV'S, SPEAKERS, ETC.
9. CONTRACTOR SHALL CONDUIT A ROUGH ELECTRICAL INSPECTION W/ OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, SWITCH, THERMOSTAT, ETC.
10. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE CAULKED/TAPED.
11. CONTRACTOR SHALL COORDINATE ALL OWNER SUPPLIED ITEMS FOR THE CONTRACTOR TO INSTALL.
12. MECHANICAL CONTRACTOR TO CONNECT VENT LINES, WATER SUPPLY & SANITARY TO EXISTING STUBS.
13. INSTALL TACTILE EXIT SIGNS REQUIRED BY SECTION 1013.4 MBC.

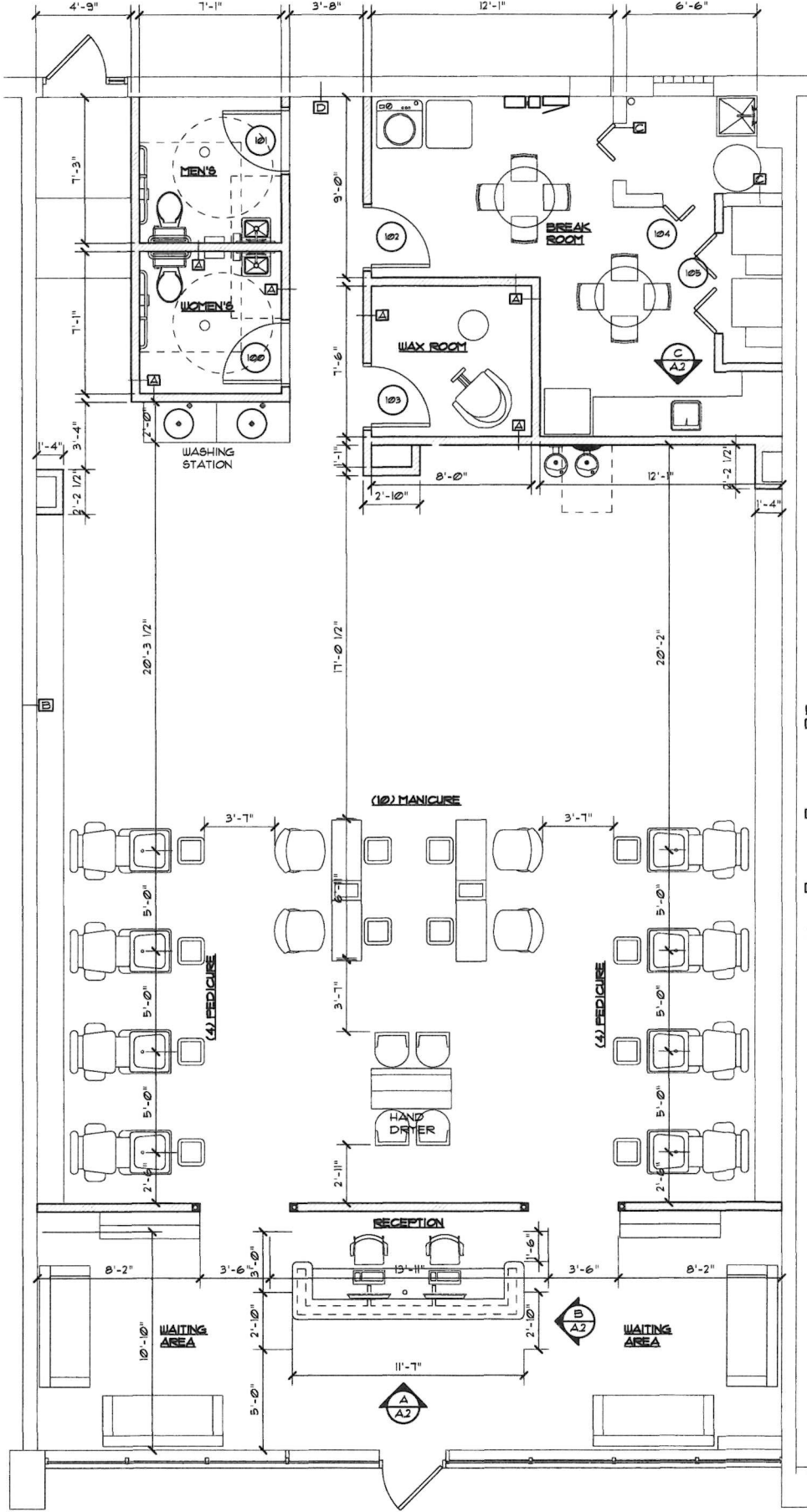


LOCATION PLAN
SCALE: NO SCALE



DEMOLITION FLOOR PLAN
SCALE: 1/4"=1'-0"

DEMOLITION NOTES:
1. CEILING GRID & TILES, DIFFUSERS, RETURNS, EMERGENCY LIGHT & STRIP LIGHT FIXTURES TO BE REMOVED.
2. SAW-CUT, REMOVE & REPLACE CONCRETE SLAB AS REQUIRED FOR PLUMBING INSTALLATION. (SEE MECHANICAL DUGS.)
3. REMOVE GYP. BD. & METAL STUD PARTITIONS, INDICATED THUS
4. DOOR & DOOR FRAME TO BE REMOVED.
5. PLUMBING FIXTURES TO BE REMOVED. (SEE MECHANICAL DUGS.)
6. CARPET & FLOOR COVERING TO BE REMOVED.
7. RETURN AIR DUCTS TO BE REMOVED (SEE MECHANICAL DUGS.)
NOTES:
1. VERIFY W/ OWNER ITEMS TO BE SALVAGED.
2. REFER TO MECHANICAL & ELECTRICAL DUGS. FOR ADDITIONAL DEMOLITION NOTES.
3. PATCH & REPAIR SURFACES TO REMAIN DAMAGED DURING DEMOLITION.



FLOOR PLAN
SCALE: 1/4"=1'-0"

WALL TYPES:
A 5/8" GYP. BD. ON EACH SIDE 3 5/8" 20 GA. METAL STUDS @ 1'-4" O.C. FROM FINISH FLOOR TO UNDERSIDE OF CEILING GRID. FILL STUD CAVITY W/ BATT INSULATION TYP. (SEE 1/A2)
B EXISTING DEMISING WALL-5/8" TYPE 'X' GYP. BD. ON 6" METAL STUDS FROM FINISH FLOOR TO UNDERSIDE OF ROOF DECK (1 HOUR RATED)
C EXISTING INTERIOR PARTITION TO REMAIN.
NOTES:
1. DOOR W/O DOOR TAGS & SHOWN @ 45° ARE EXISTING TO REMAIN.
2. TILE FLOORING, BASE, WALL, PAINT, & CEILING GRID FINISHES BY OWNER.





MCKENNA

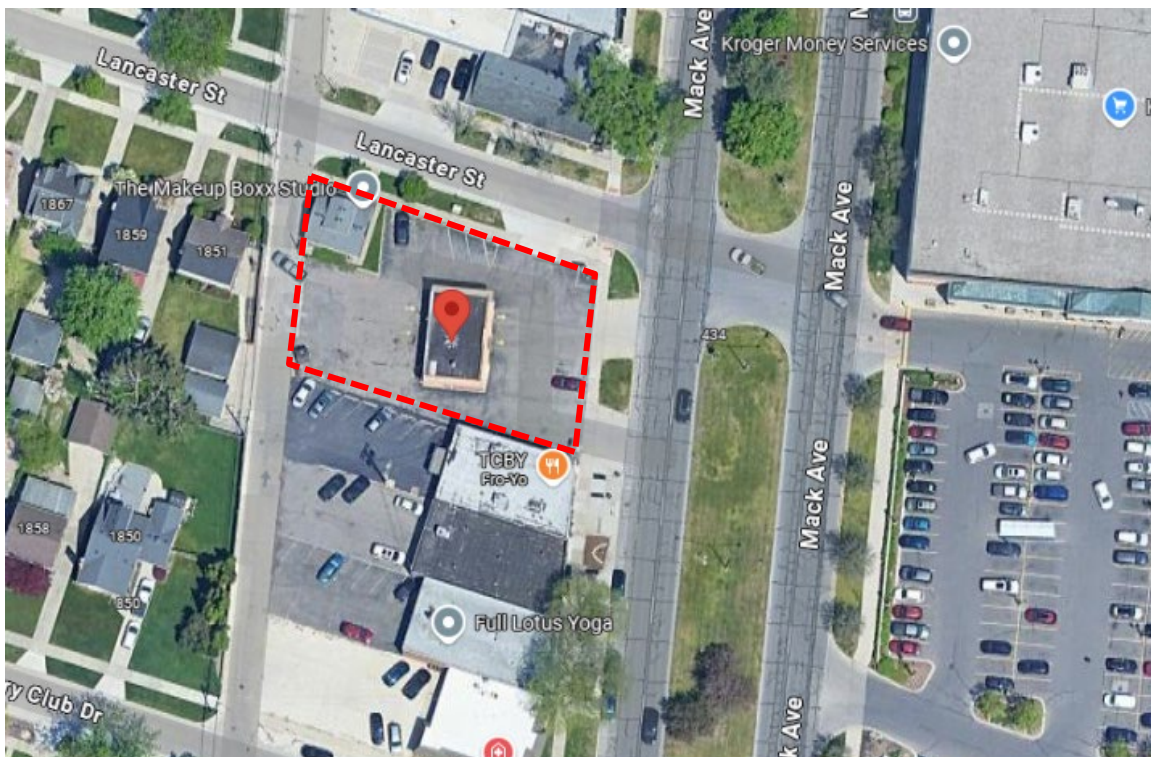
May 13, 2025

Planning Commission
City of Grosse Pointe Woods
20025 Mack Plaza Dr
Grosse Pointe Woods, MI 48236

Subject: 20397 Mack Avenue, Fairmount Properties
Parcel ID: 40-007-04-0003-000
Site Plan Review #1
Zoning: C - Commercial Business

Dear Commissioners,

We have reviewed the above Site Plan Review for consideration of a façade change a commercial building. Dagher Signs & Graphics (the “Applicant”) requests to renovate the exterior of 20397 Mack Avenue (the “Site”) to add metal siding, ribbed metal siding, and ACM cladding accents. The site contains an existing one-story auto service space with a parking lot within the C – Commercial Business. Renovations or remodeling of exterior building must be reviewed by planning commission, unless exempt in Section 50-374(b), to ensure the proposed changes are consistent with the design standards of the ordinance. This review is based on the application submitted April 18, 2025.



HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

○ 248.596.0920
F 248.596.0930
MCKA.COM

Communities for real life.



SUMMARY OF REQUEST

The applicant proposes to change the material of the existing exterior façade to service an auto oil change service, Valvoline, in this building.

There is an existing one-story auto service building with an existing parking lot. The site sits on the west side of Mack Avenue, just south of Lancaster Street. It shares its western boundary with a single-family residence and its southern boundary with additional retail/restaurant uses.

Rendering of the proposed renovated façade.



RECOMMENDATIONS

Renovation Request. We recommend the Planning Commission deny the site plan application, for the following reasons:

1. *Proposed material use, including ribbed metal, ACM Panels, and metal siding, is not consistent with the ordinance and design standards.*
2. *Exterior colors are not consistent with the approved colors.*
3. *The applicant must provide number of employees to ensure compliance with parking regulations.*

Respectfully submitted,

McKENNA

Ashley Jankowski
Associate Planner

Alicia Warren
Associate Planner



Site Plan Review

1. ZONING DESIGNATIONS

The following chart provides information on the schedule of regulations as it pertains to zoning:

Location	Existing Land Use	Zoning District	Future Land Use Designation
Subject Site	General commercial	C	General Business/Mixed-Use
North	General commercial	C	General Business/Mixed-Use
South	Parking	C	General Business/Mixed-Use
West	Single-family residential	R-1E	Single Family Medium Density
East (across Mack)	General Commercial	C	General Business

Findings: The zoning and general commercial reuse of this building is compliant with the ordinance and Master Plan future land use designation. Complies.

2. DIMENSIONAL REQUIREMENTS

Standard	Requirement	Existing Conditions	Proposed Conditions	Proposed Compliance
Minimum Front Setback	0'	Unknown	Existing	Yes
Minimum Side Setback (North)	No side yards are required along interior lot lines if walls abutting are fireproof and without windows/openings. Otherwise a side yard or outer court of no less than 5 feet per story must be provided. No side yard on street side of corner lots.	Unknown	Existing	Yes
Minimum Side Setback (South)		Unknown	Existing	Yes
Minimum Rear Setback	No rear yard are required if walls are fireproof and without windows or openings. With windows and openings, except for emergency uses, a rear yard or outer court of no less than 5 feet for a one story building is required; measured to the centerline of the public alley.	Unknown	Existing	Yes
Maximum Building Height	Minimum 16 feet, Maximum 28 ft	Unknown	Existing	Yes

Findings: The building footprint remains the same. Complies.



3. ARCHITECTURE AND BUILDING DESIGN (Sec. 50-373)

The purpose of these design standards is to promote a coordinated and complimentary use of design elements that result in a theme oriented, harmonious appearance and image for the commercial and high intensity residential areas of the city.

Currently, the Zoning Ordinance states that design standards for C Commercial Districts encourage:

Colonial," "Williamsburg Colonial," "Georgian Colonial," "Early American," "Classic" or "Traditional" styles, which shall collectively refer to use of a pallet of materials, trim, shapes, forms, colors and details most commonly associated with the dominant architectural styles utilized during the early development of the east coast American towns and cities.

Above all, the City seeks to ensure that all new developments and façade updates are designed with high-quality, durable materials that align seamlessly with the existing community.

Findings: Proposed material use, including ribbed metal, ACM Panels, and metal siding, is not consistent with the ordinance and design standards, and do not appear to be of high quality. The brick pattern used on the existing facade is consistent with the desired styling. Does not comply.

4. COLOR (Sec. 8-207; 50-373(b))

Colors utilized in all design components shall be consistent with the approved color chart on file with the building department and shall be utilized to produce a balanced, coordinated and complimentary total design solution. The approved colors consist of colonial or early American paint colors.

Specific colors selected for use were not submitted. Renderings show dark gray metals, light gray bricks, black and door frames.

Findings: Some of the proposed colors are not included on the pre-approved color chart and should be reviewed by the Planning Commission to be eligible. Additionally, shades of black are not included in the approved list of colors. Can comply.

5. PARKING AND LOADING

Findings: For automobile service stations, parking requirements in Grosse Pointe Woods mandate one space per each employee, plus one for the owner and manager, plus two for each grease rack or stall for servicing automobiles or wash rack.

Per Zoning Ordinance section 5.530 (5), off-street parking requirements allow for off-street parking facilities within 300 feet of the permitted use on the same side of a major thoroughfare. **We do not have information yet on employment numbers to determine the final number of spaces required. It appears the proposed parking will be adequate, however more information should be provided.**

6. SIGNS

One pole sign is currently at the northern corner end of the parcel. The north and east elevations include wall signage on the renderings.

Findings: Once the specific dimensions, colors, and illumination of the proposed business signage are known, the applicant should submit their plans for review and approval. Refer to Section 32.7 for specification on sign illumination and Section 32.9 for specifications on business logos. Can comply.

7. LIGHTING



Outside security lighting means any electrically operated light, except incandescent lights without a reflecting surface and not exceeding 150 watts, mounted or installed on the exterior of any building or on or upon any exterior object located upon a property or parcel of real estate within any residential district of the city.

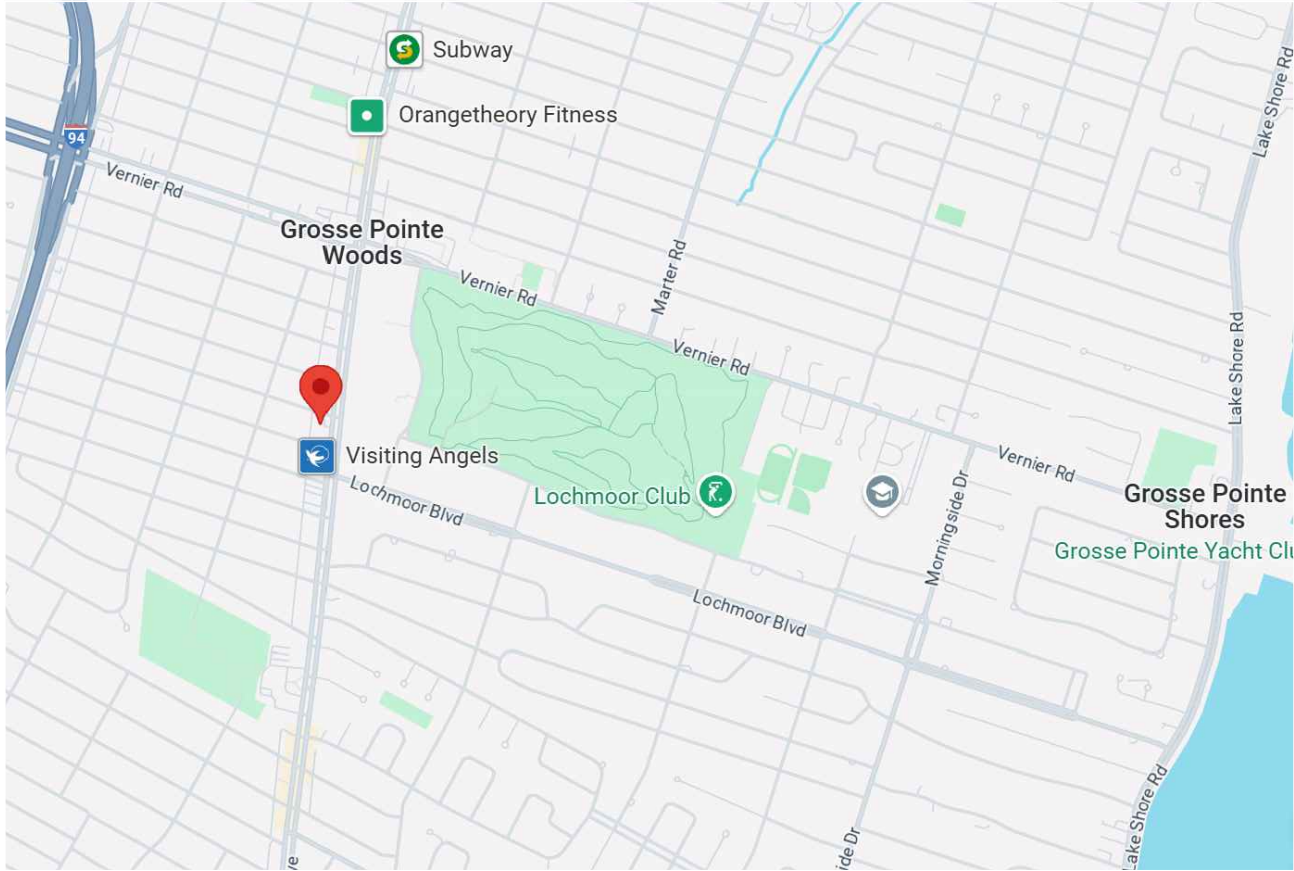
Findings: All proposed lighting and specific information about the watts of the fixtures should be provided to ensure it complies. Can comply.

PROJECT DATA

PROPOSED WORK:
• WE ARE PROPOSING AN EXTERIOR FACADE RENOVATION OF THE EXISTING BUILDING
- REMOVE MANSARD ROOF TO ACCOMMODATE NEW ACM CLADDING.

BUILDING USE GROUP: = F-1: (AUTO REPAIR AND OTHER MOTOR VEHICLES)
GROSS BUILDING AREA = 1,262 SF
FIRE SPRINKLER SYSTEM: = NO
CONSTRUCTION TYPE : = TYPE 3B

PLATINUM OIL CHANGE
20397 MACK AVE,
GROSSE POINTE, MI 48236



LOCATION MAP
N.T.S.

APPLICABLE CODES

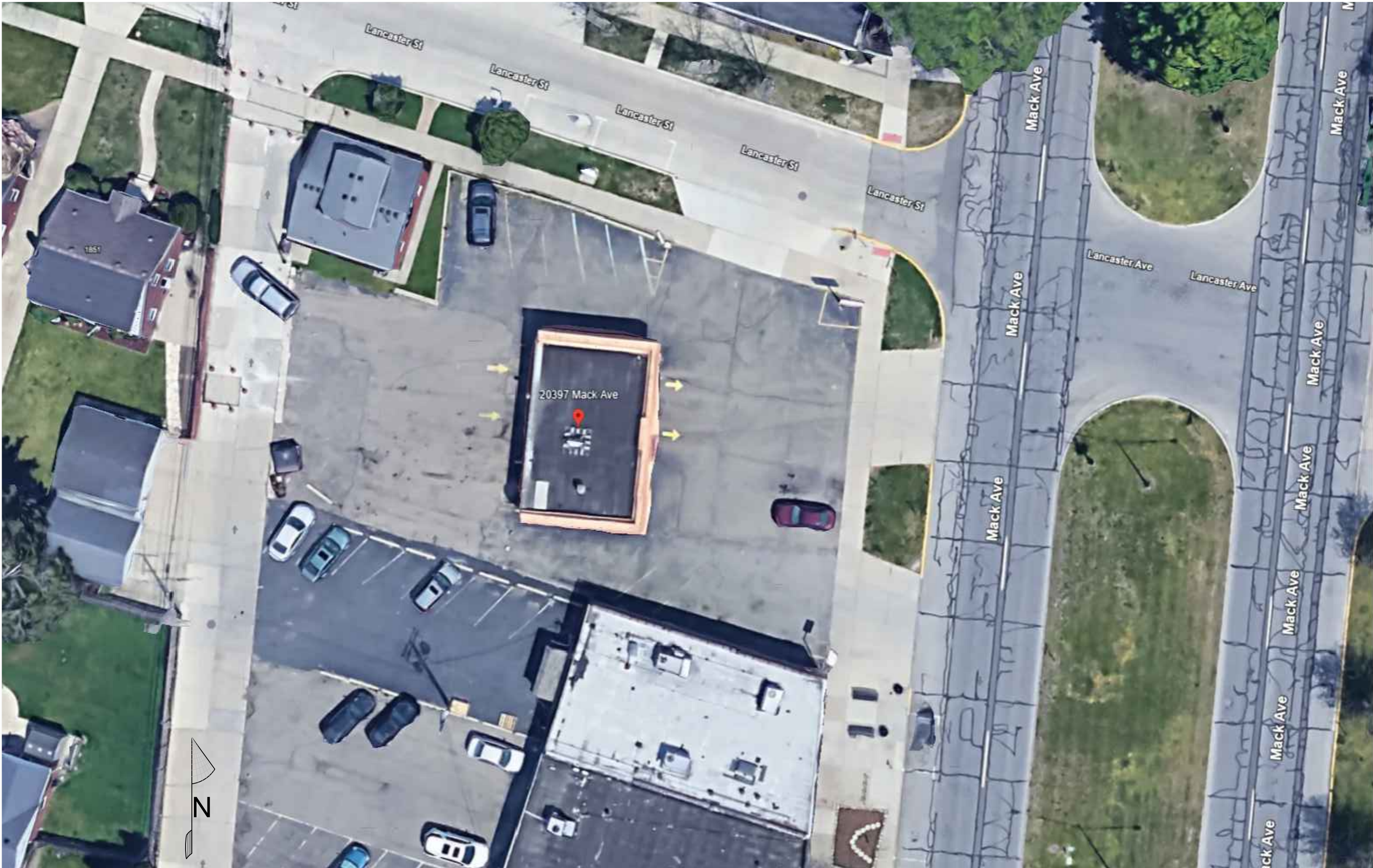
- 2015 MICHIGAN BUILDING CODE
- 2015 INTERNATIONAL FIRE CODE
- 2021 MICHIGAN PLUMBING CODE
- 2021 MICHIGAN MECHANICAL CODE
- 2023 NATIONAL ELECTRIC CODES, WITH PART 8 RULES
- ICC/ANSI A117.1-2009 (ACCESSIBILITY)
- ASHRAE 90.1 2013 ENERGY CODE
- GROSSE POINTE ZONING ORDINANCE

ABBREVIATIONS

ADJ. ADJUSTABLE	DBL. DOUBLE	F.D. FLOOR DRAIN	INSUL. INSULATION	R.D. ROOF DRAIN	T. TREAD
A.F.F. ABOVE FINISH	DIA. DIAMETER	FDN. FOUNDATION	INT. INTERIOR	T.B.D. TO BE DETERMINED	T.B.S. TO BE SELECTED
ALUM. ALUMINUM	DISP. DISPENSER	FIBRGL. FIBERGLASS	JOINT. JOINT	REF. REFERENCE	TEL. TELEPHONE
ALT. ALTERNATE	DIST. DISTANCE	F.G. FINISH	LAV. LAVATORY	REIN. REINFORCED	THK. THICK
ASPH. ASPHALT	DN. DOWN	FIN. FINISH	MECH. MECHANICAL	ROOM. ROOM	T.O. TOP OF
BD. BOARD	DR. DOOR	FLR. FLOOR	MEMB. MEMBRANE	R.O. ROUGH OPENING	T.O.C. TOP OF CURB
BLDG. BUILDING	DTL. DETAIL	FLUOR. FLUORESCENT	MTL. METAL	S.A. SUPPLY AIR	T.O.W. TOP OF WALL
BM. BEAM	DWG. DRAWING	FRMG. FRAMING	MFR. MANUFACTURER	S.C. SOLID CORE	T.S. TUBE STEEL
B.O. BOTTOM OF	DWR. DRAWER	FT. FOOT OR FEET	MIR. MIRROR	SCHED. SCHEDULE	TYP. TYPICAL
BOT. BOTTOM	EA. EACH	FTG. FOOTING	MISC. MISCELLANEOUS	SECT. SECTION	UR. URINAL
C.T. CERAMIC TILE	E.J. EXPANSION JOINT	FURN. FURNITURE	NO. NUMBER	S.F. SQUARE FEET	VERT. VERTICAL
CLG. CEILING	ELEC. ELECTRICAL	FURR. FURRING	GA. GAUGE	SH. SHELL	VTR. VENT-THRU ROOF
CL. CLOSET	ELEV. ELEVATION	GA. GALV. GALVANIZED	N.T.S. NOT TO SCALE	SHR. SHOWER	W. WITH
C.M.U. CONCRETE MASONRY UNIT	EMER. EMERGENCY	GYP. BD. GYPSUM BOARD	O.A. OVERALL	SIM. SIMILAR	W/O. WITHOUT
C.O. CLEAN OUT	ENCL. ENCLOSURE	H.B. HARDWARE	O.C. ON CENTER	SO. SQUARE	W.C. WATER CLOSET
COL. COLUMN	EQUIP. EQUIPMENT	H.D. HOLLOW	O.P. OPPOSITE	S.S. STAINLESS STEEL	WD. WOOD
CONC. CONCRETE	EXIST. EXISTING	H.W. HOT WATER	O.S.B. ORIENTED STRAND BOARD	STL. STEEL	WT. WEIGHT
CONN. CONNECTION	EXP. EXPANSION	HORZ. HORIZONTAL	P.NLG. PANELING	SUSP. SUSPENDED	CL. CENTERLINE
CONT. CONTINUOUS	EXT. EXTERIOR	HT. HEIGHT	PAR. PARAPET	SYM. SYMMETRICAL	D. DIAMETER
CONTR. CONTRACTOR			PARTN. PARTITION		PL. PROPERTY LINE
CORR. CORRIDOR			PLAS. PLASTER		AT
CTR. CENTER			P.V.C. POLYVINYL CHLORIDE		
C.W. COLD WATER					

GENERAL NOTES

1. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS & DIMENSIONS & THOROUGHLY REVIEWING CONTRACT DOCUMENTS PRIOR TO DEMOLITION, ACQUIRING MATERIALS & CONSTRUCTION. IF THE CONTRACTOR FINDS DISCREPANCY BETWEEN THE EXISTING CONDITIONS & THE DRAWINGS THAT POSE A PROBLEM OR REQUIRES CLARIFICATION ABOUT ANY ONSITE OR DESIGN ISSUES, THEY MUST NOTIFY THE DESIGN PROFESSIONAL TO REQUEST CLARIFICATION.
2. IF THE CLIENT AND/OR CONTRACTORS MAKE A DECISION TO ALTER THE DESIGN IN THESE CONSTRUCTION DOCUMENTS, THE CLIENT / CONTRACTOR RECOGNIZE THAT ANY ISSUES ARISING FROM THESE CHANGES ARE IN NO WAY THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL.
3. ALL CONSTRUCTION SHALL BE ACCORDING TO CURRENT STANDARDS AND SPECIFICATIONS OF THE STATE OF MICHIGAN, THE CITY WHEREIN THIS PROJECT IS LOCATED, ALL APPLICABLE INDUSTRY STANDARDS, ASTM CLASSIFICATIONS AND MANUFACTURER SPECIFICATIONS.
4. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGHLY CHECKING AND VERIFYING EXISTING FIELD CONDITIONS, MEASUREMENTS, CONTRACT DOCUMENTS AND CONFIRMING THAT ALL PROPOSED WORK IS BUILDABLE, AS SHOWN ON THESE PLANS, BEFORE THE COMMENCEMENT OF WORK.
5. ALL SUBCONTRACTORS SHALL VISIT THE SITE AND RIGOROUSLY REVIEW THESE CONSTRUCTION DOCUMENTS TO CONFIRM THAT THEIR BIDS ARE ACCURATE AND THAT THEIR COSTS HAVE BEEN ADEQUATELY COVERED. THE OWNER IS NOT RESPONSIBLE FOR EXTRA COMPENSATION DUE TO REASONABLY AVOIDABLE IGNORANCE OF THE EXISTING CONDITIONS AND PROPOSED WORK.
6. SUBCONTRACTORS ARE RESPONSIBLE FOR THE SAFETY PRECAUTIONS, MEANS, METHODS, AND TECHNIQUES OF CONSTRUCTION RELATING TO THEIR WORK, AND FOR THE LACK THEREOF.
7. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, INSPECTION FEES, AND APPROVAL OF THEIR WORK FROM THE REQUIRED LOCAL, STATE OR FEDERAL AGENCIES. SUBCONTRACTORS SHALL COORDINATE ALL WORK WITH THE GENERAL CONTRACTOR.
8. EACH SUBCONTRACTOR SHALL OBTAIN AND MAINTAIN THE REQUIRED FORMS OF INSURANCE RELATED TO THE WORK.
9. THE DRAWINGS SHALL NOT BE SCALED TO DETERMINE EXACT DIMENSIONS. SCALING SHALL ONLY BE USED TO DETERMINE APPROXIMATE DIMENSIONS.
10. BEGINNING THE APPLICATION OF A FINISHED MATERIAL MEANS THAT THE SUBCONTRACTOR ACCEPTS THE SUB-MATERIAL AS SATISFACTORY AND TAKES RESPONSIBILITY FOR THE APPEARANCE OF THE FINISHED MATERIAL.
11. ALL INSTALLATION OF FINISH MATERIALS AND EQUIPMENT SHALL MEET THE MANUFACTURERS SPECIFICATIONS AND THE SPECIFICATIONS LISTED ON THESE CONSTRUCTION DOCUMENTS.
12. MILLWORK CONSTRUCTION SHALL CONFORM WITH AWI STANDARDS FOR PREMIUM MILLWORK. DRAWINGS SHALL INDICATE MILLWORK DESIGN INTENT ONLY. FABRICATOR IS RESPONSIBLE FOR PROPER DESIGN AND EXECUTION.
13. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE OWNER WITH ALL MAINTENANCE AND OPERATION MANUALS, WARRANTIES AND GUARANTEES ON ALL EQUIPMENT AND MATERIALS.
14. THE GENERAL CONTRACTOR SHALL OBTAIN THE CERTIFICATE OF OCCUPANCY FROM THE APPROPRIATE REGULATORY AGENCY.
15. IF THE CLIENT AND/OR CONTRACTORS MAKE A DECISION TO ALTER THE DESIGN IN THESE CONSTRUCTION DOCUMENTS, THE CLIENT/CONTRACTOR RECOGNIZE THAT ANY ISSUES ARISING FROM THESE CHANGES ARE IN NO WAY THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL.



EXISTING SITE PLAN (PHOTO)

SCALE: N.T.S.

SHEET INDEX

ARCHITECTURAL

- | | |
|------|--|
| T101 | • TITLE PAGE |
| A101 | • DEMO - FLOOR PLAN
• DEMO - ROOF PLAN
• PROPOSED - FLOOR PLAN
• PROPOSED - ROOF PLAN |
| A201 | • DEMO / PROPOSED - ELEVATIONS |
| A301 | • PROPOSED - BUILDING SECTION |
| A501 | • ARCHITECTURAL DETAILS |

PLATINUM
OIL
CHANGE

ADDRESS

20397 MACK AVE,
GROSSE POINTE,
MI 48236

COMMISSION

COMMERCIAL EXTERIOR
RENOVATION



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Phone: 313-492-5347

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04.17.2025

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PROJ. MGR. M. HADLA

PROJ. TEAM M. HADLA
A. SALHA

CHECKED BY M. HADLA

PAGE SIZE

ARCH D - 24X36

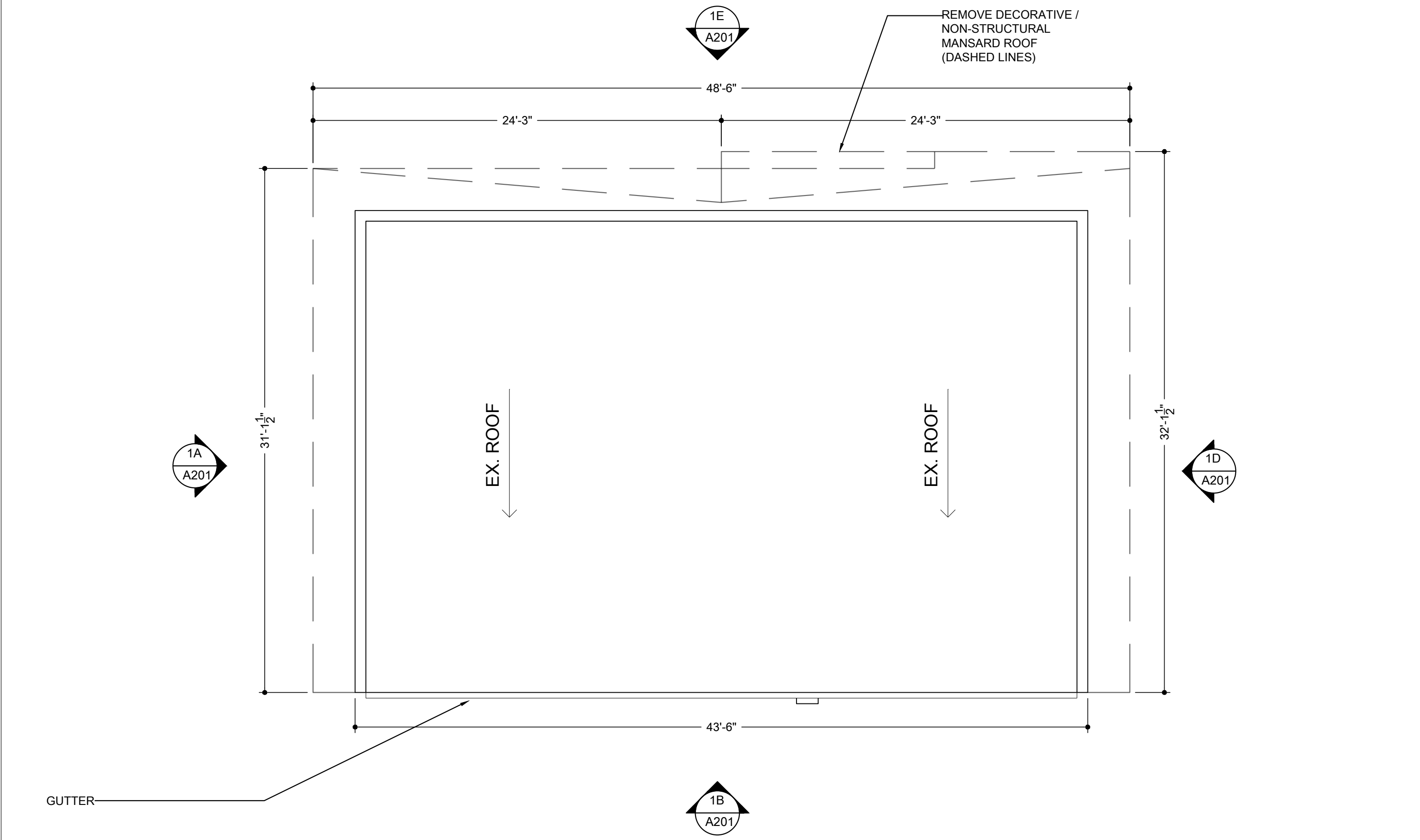
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TITLE PAGE

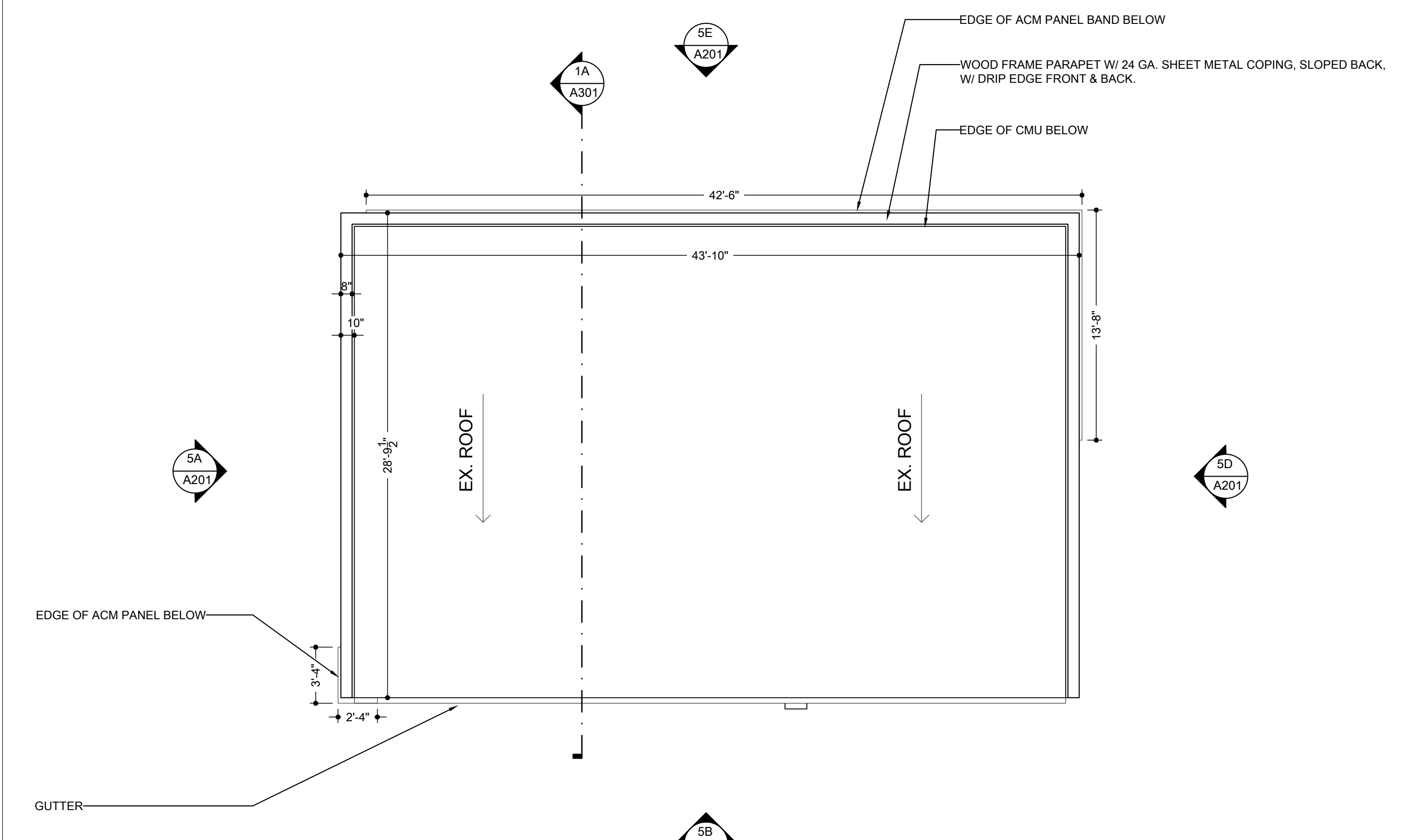
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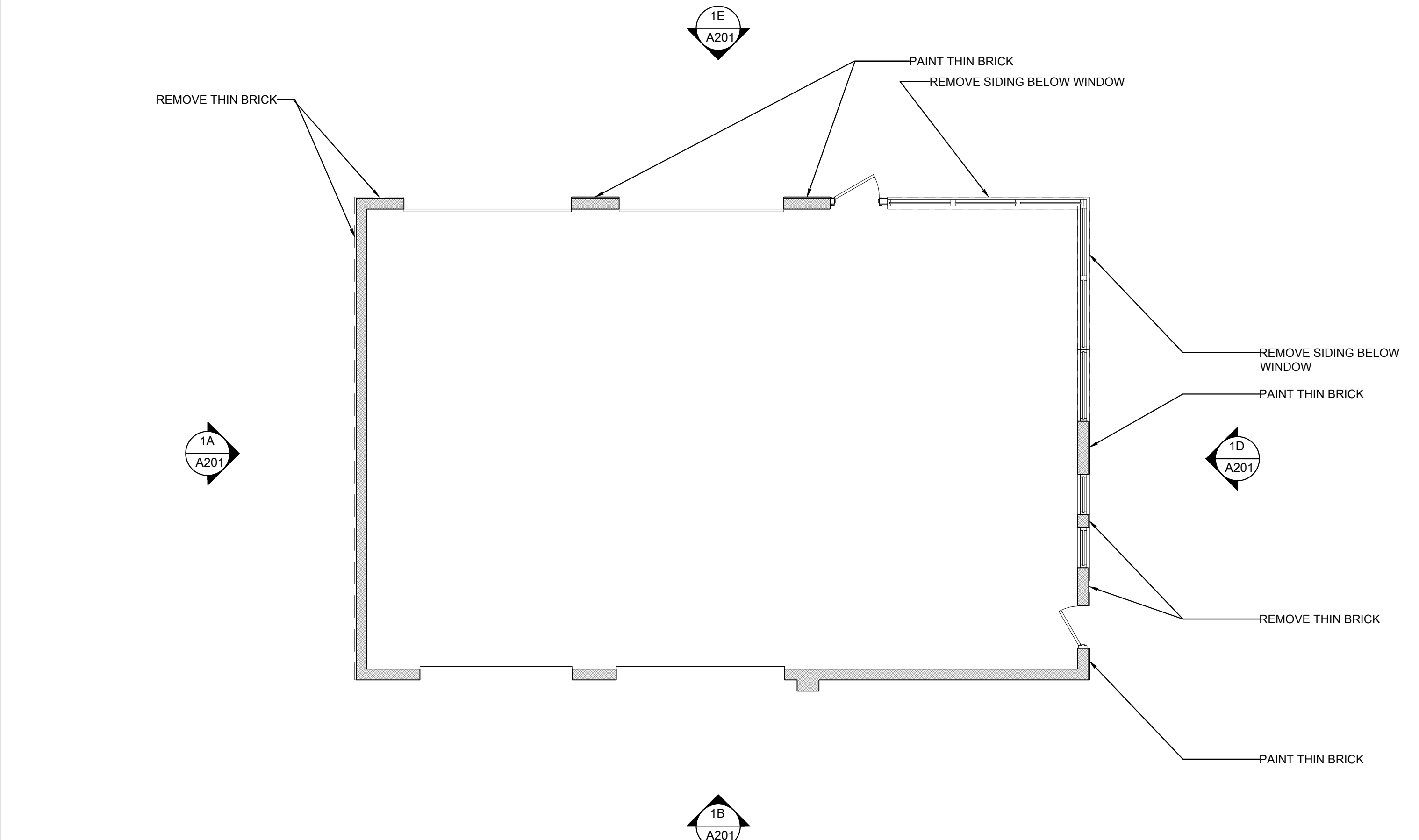
DRAWING #



1D DEMO - ROOF PLAN
SCALE: 3/16"=1'-0"

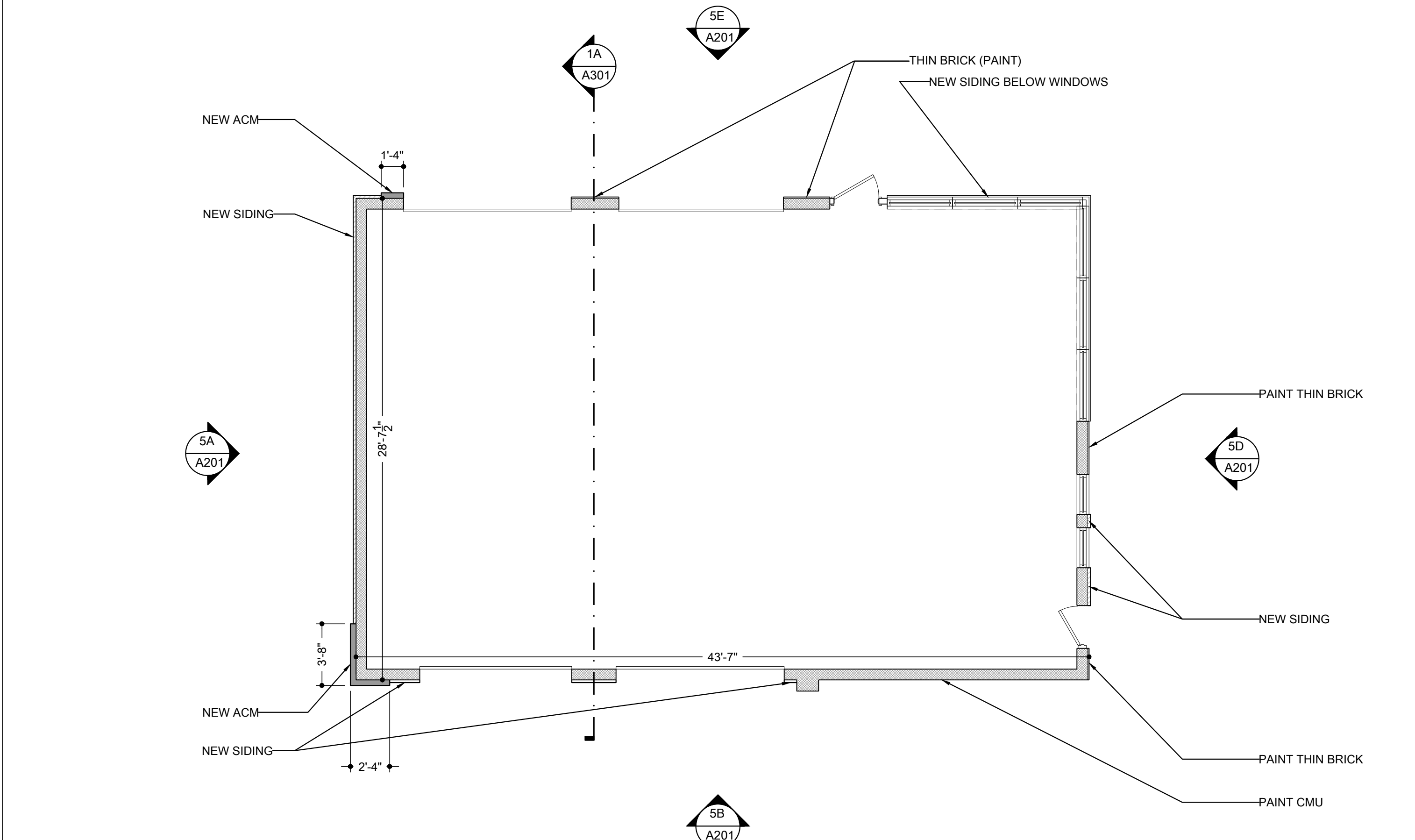


5D PROPOSED - ROOF PLAN
SCALE: 3/16"=1'-0"



1A DEMO - FLOOR PLAN
SCALE: 3/16"=1'-0"

NOTE: PAINT ALL DOORS AND WINDOWS



5A PROPOSED - FLOOR PLAN
SCALE: 3/16"=1'-0"

PROJECT/DWNER

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PAGE SIZE ARCH D - 24X36
DRAWING TITLE

DEMO:
• FLOOR PLAN

• ROOF PLAN

PROPOSED:
• FLOOR PLAN

• ROOF PLAN

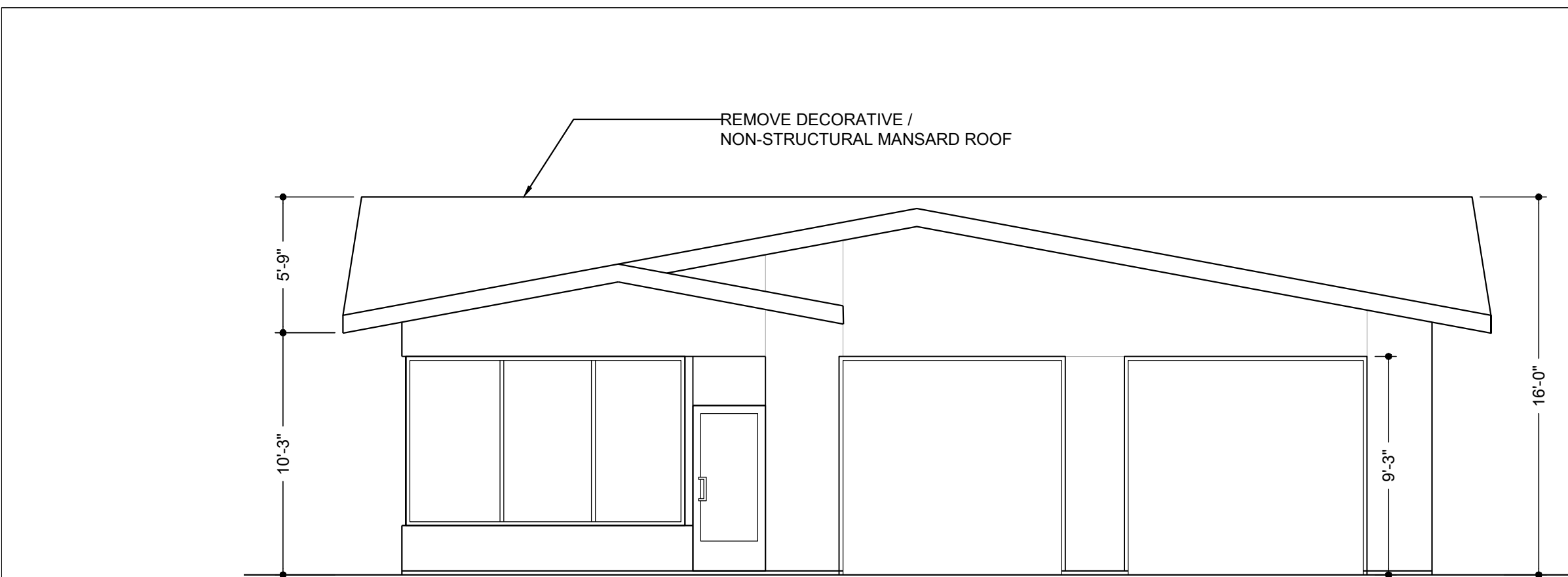
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DRAWING #

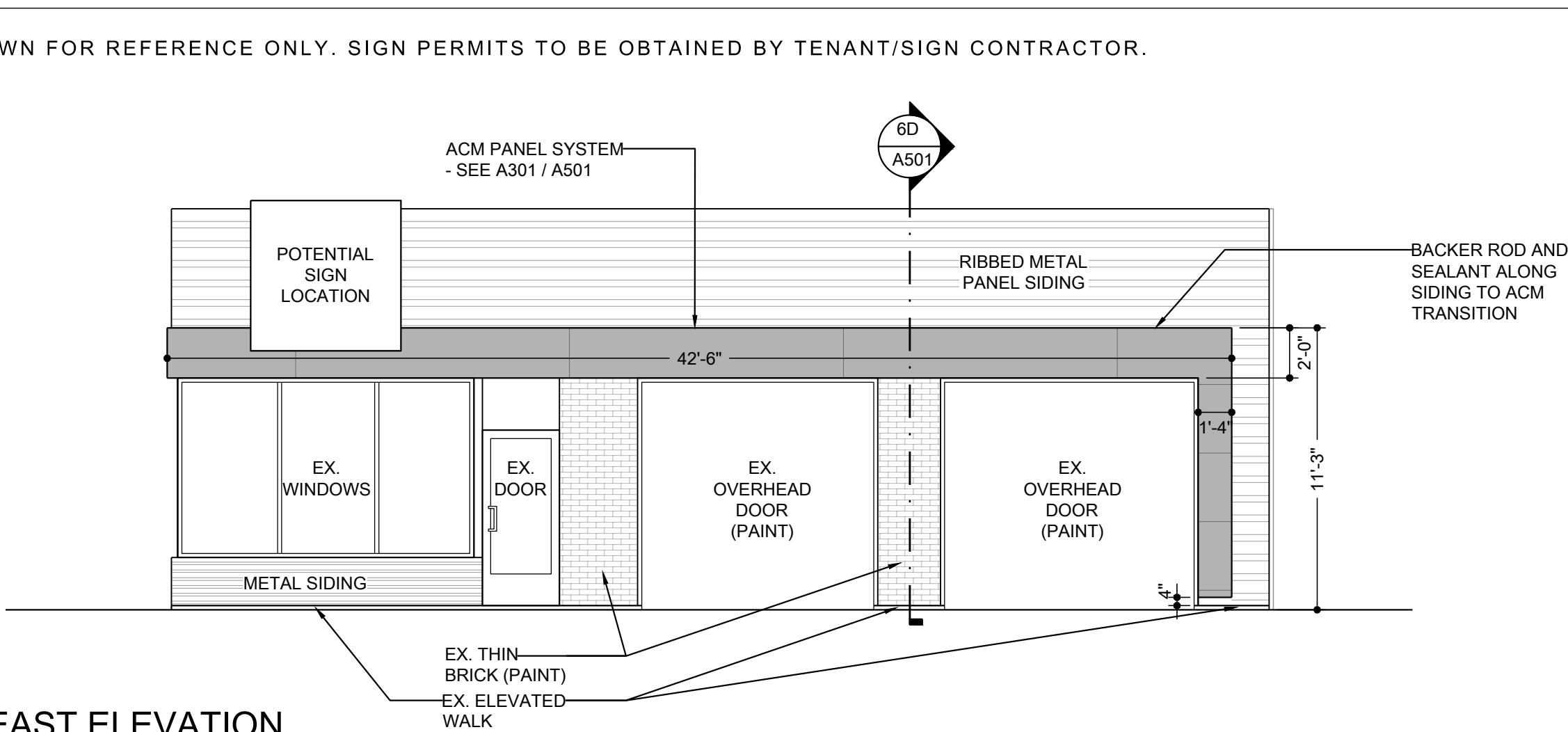
A101



DEMO - EAST ELEVATION

SCALE: 3/16"=1'-0"

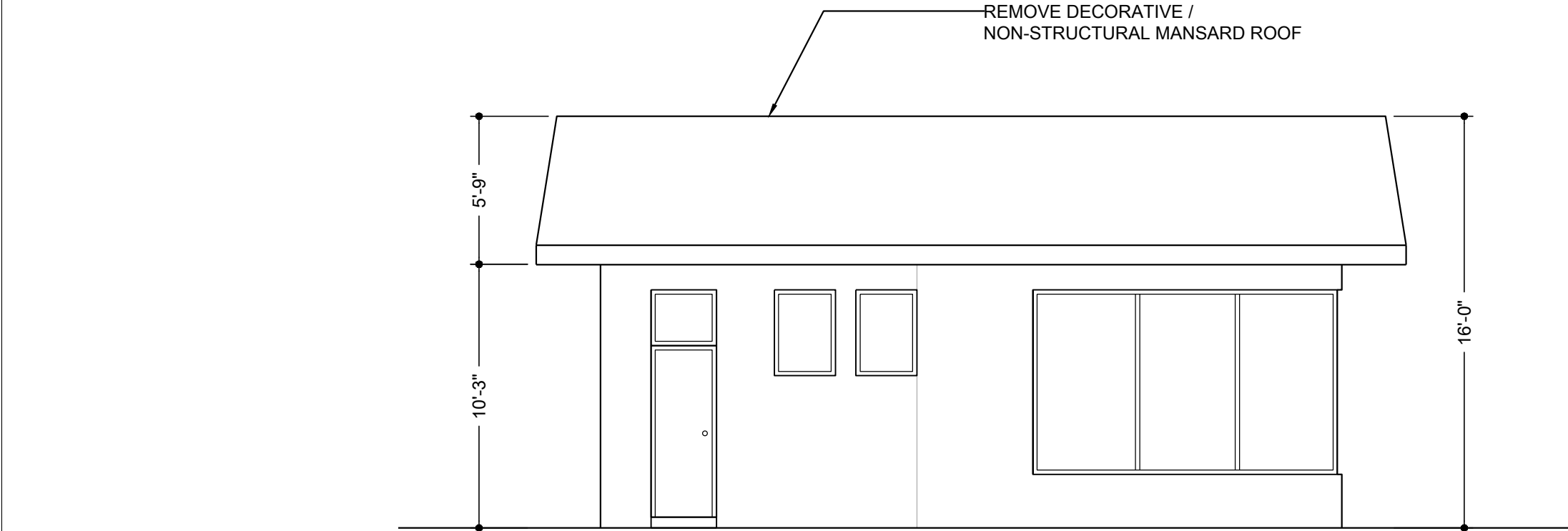
1E



PROPOSED - EAST ELEVATION

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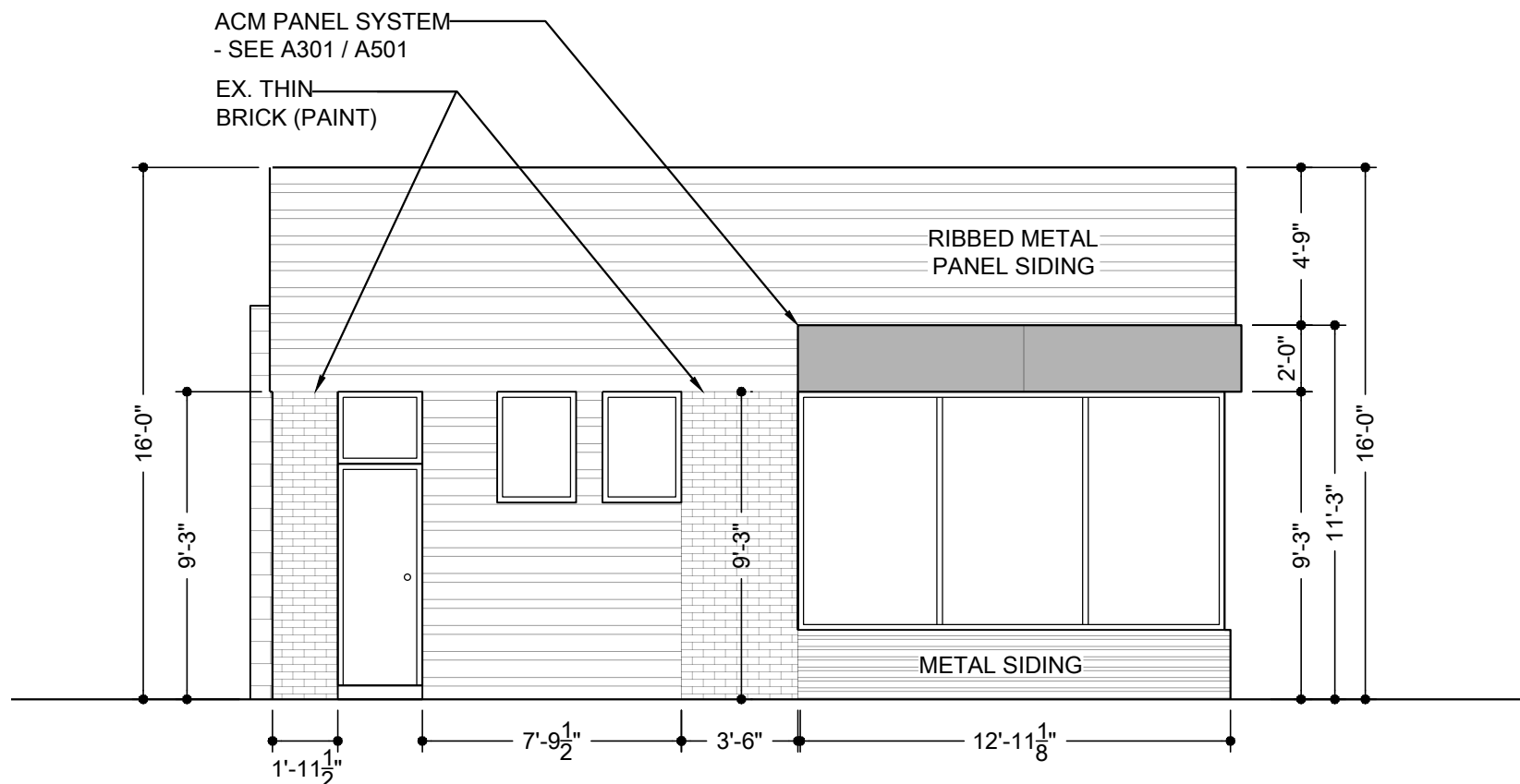
5E



DEMO - SOUTH ELEVATION

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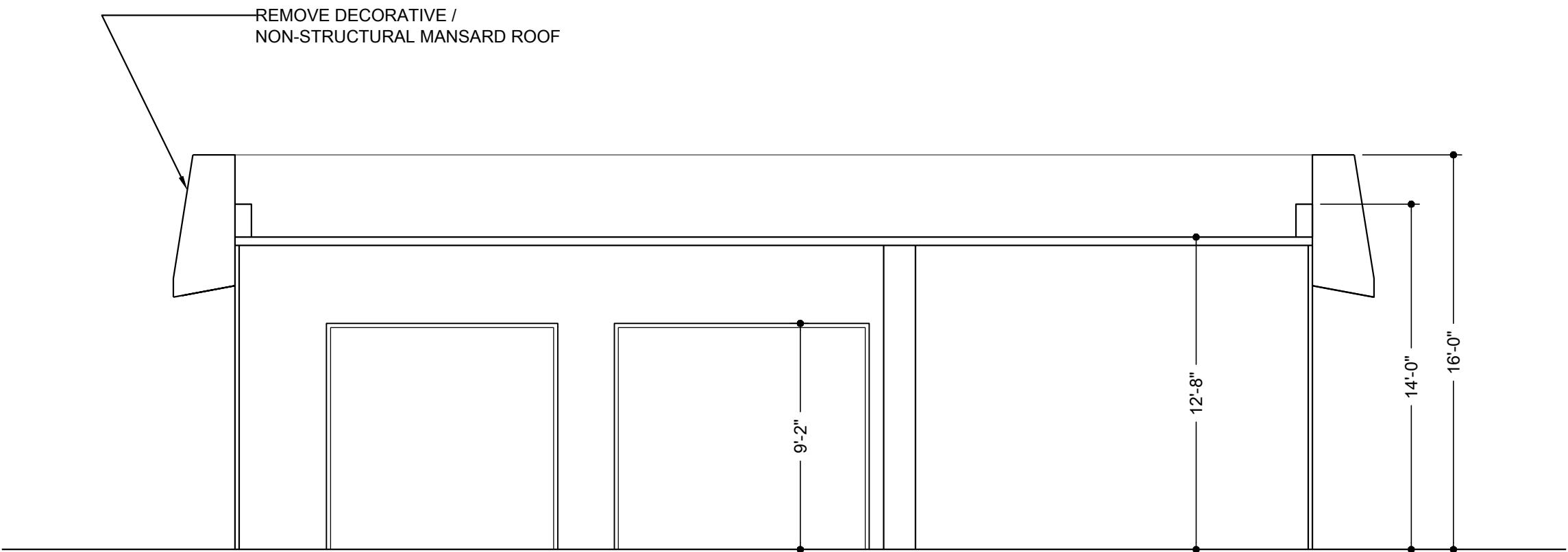
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PROPOSED - SOUTH ELEVATION

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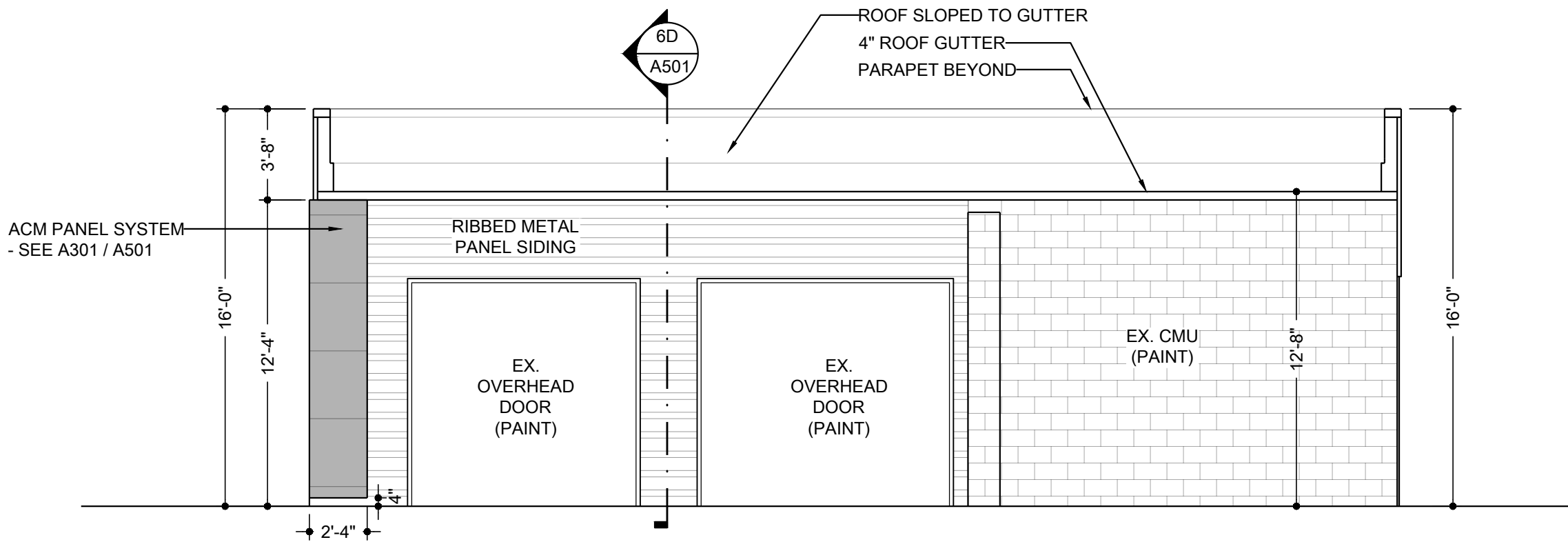
5D



DEMO - WEST ELEVATION

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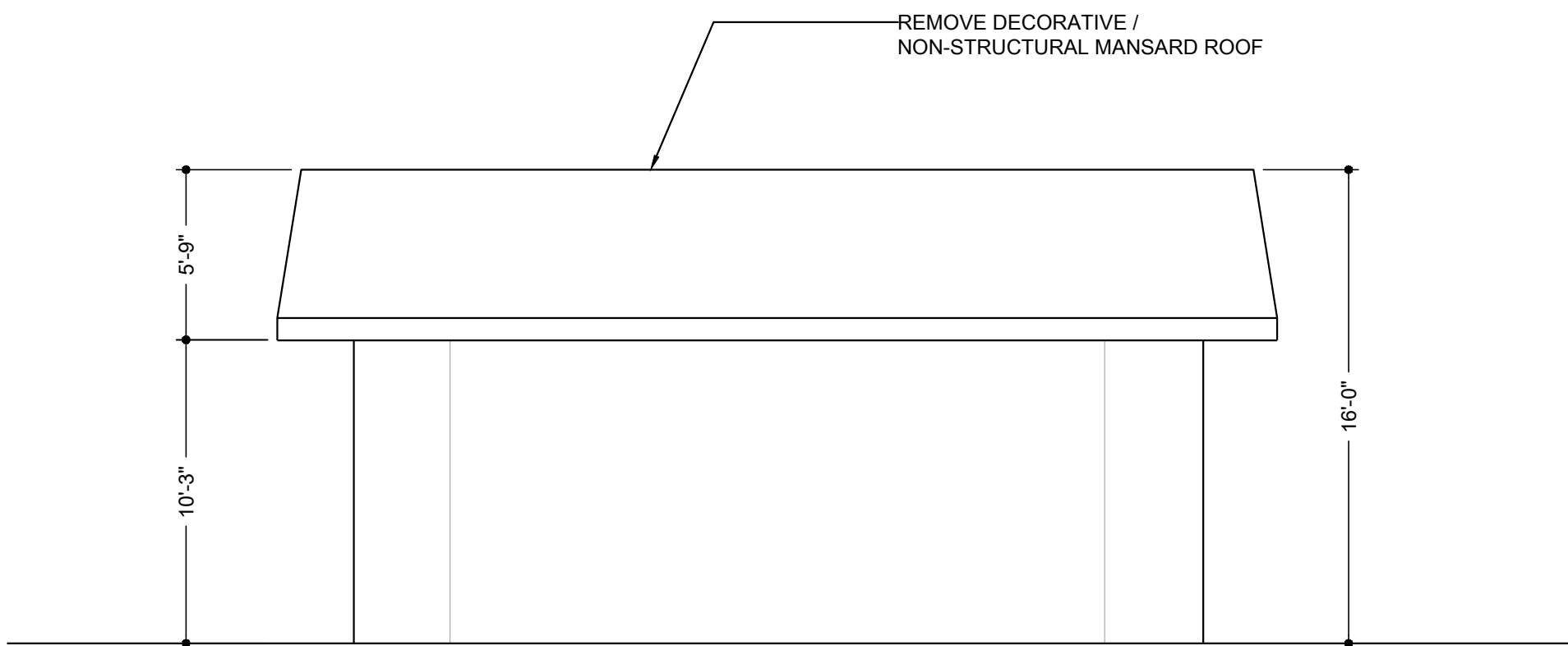
1B



PROPOSED - WEST ELEVATION

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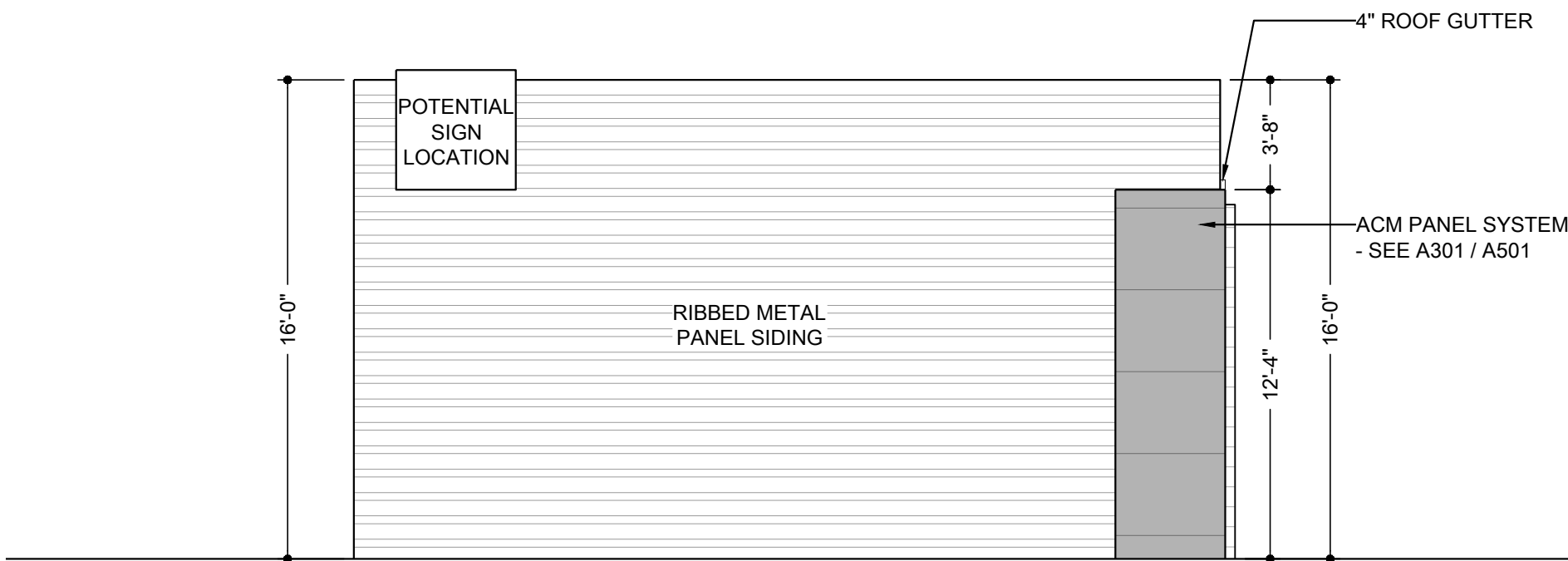
5B



DEMO - NORTH ELEVATION

SCALE: 3/16"=1'-0"

1A



PROPOSED - NORTH ELEVATION

SCALE: 3/16"=1'-0"

5A

PROJECT/DWNER

PLATINUM OIL CHANGE

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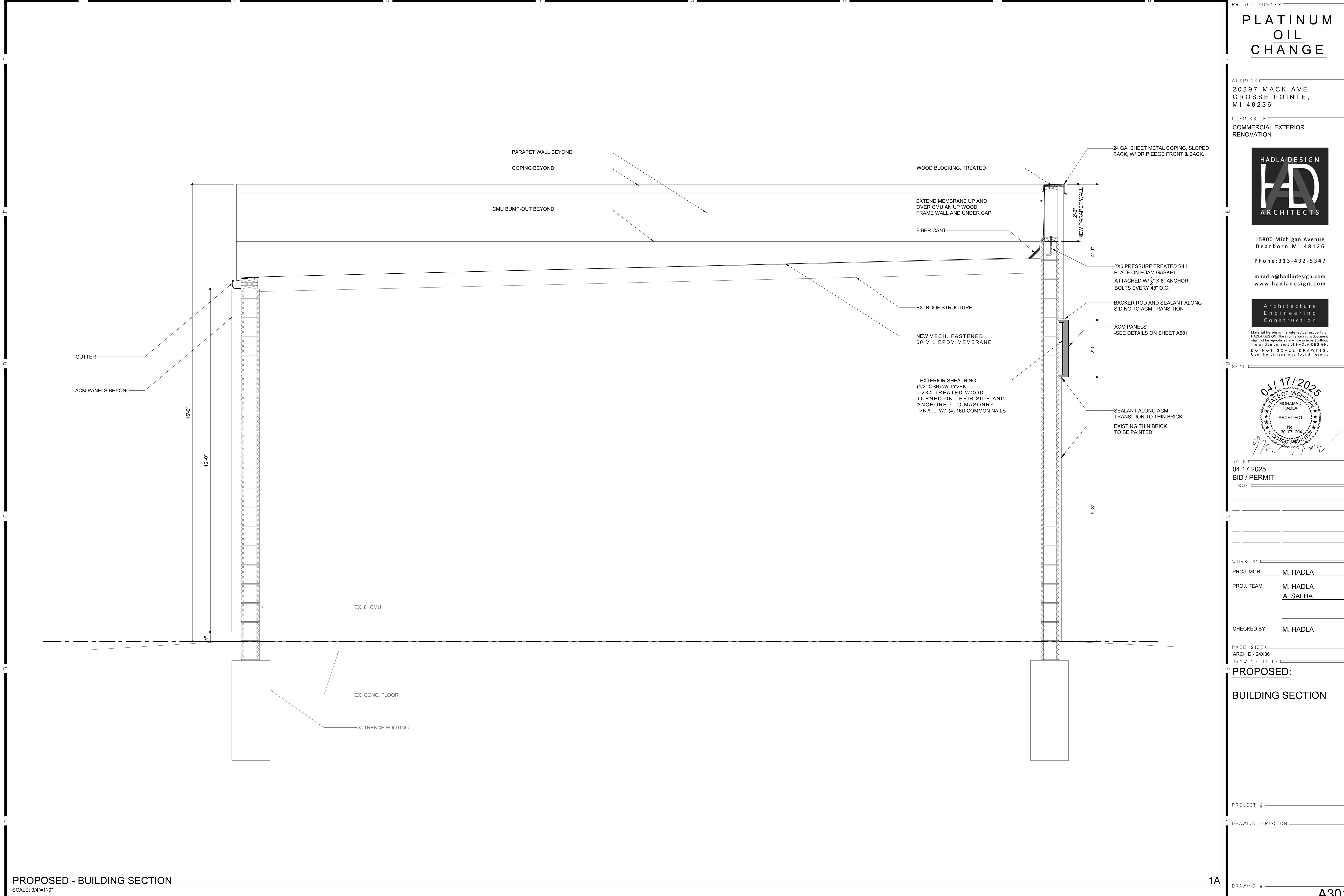
• ELEVATIONS

PROJECT #

DRAWING DIRECTION

DRAWING #

A201



PROJECT/DWNER

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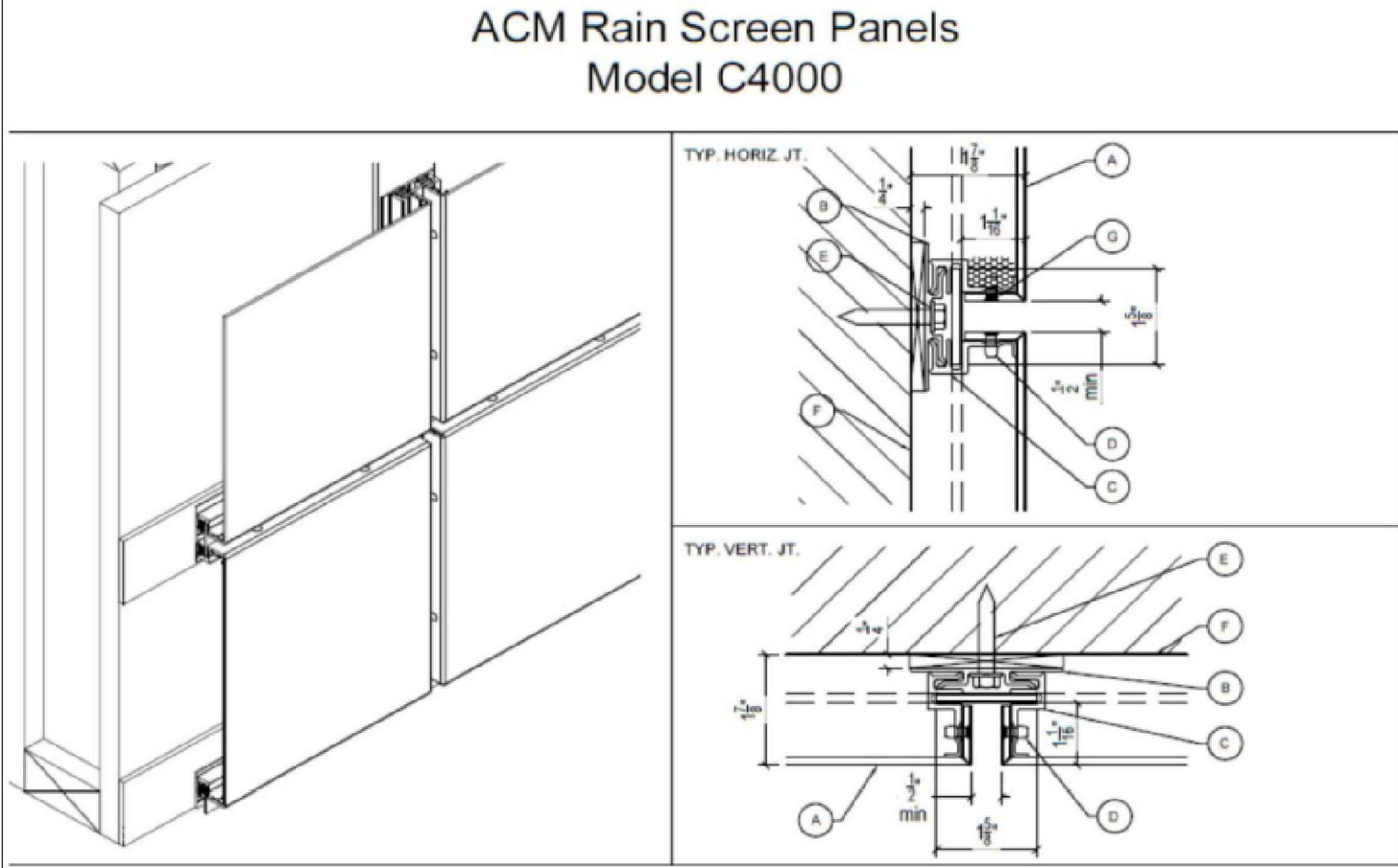
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DRAWING TITLE

PROPOSED:

BUILDING SECTION

PROJECT #

DRAWING DIRECTION

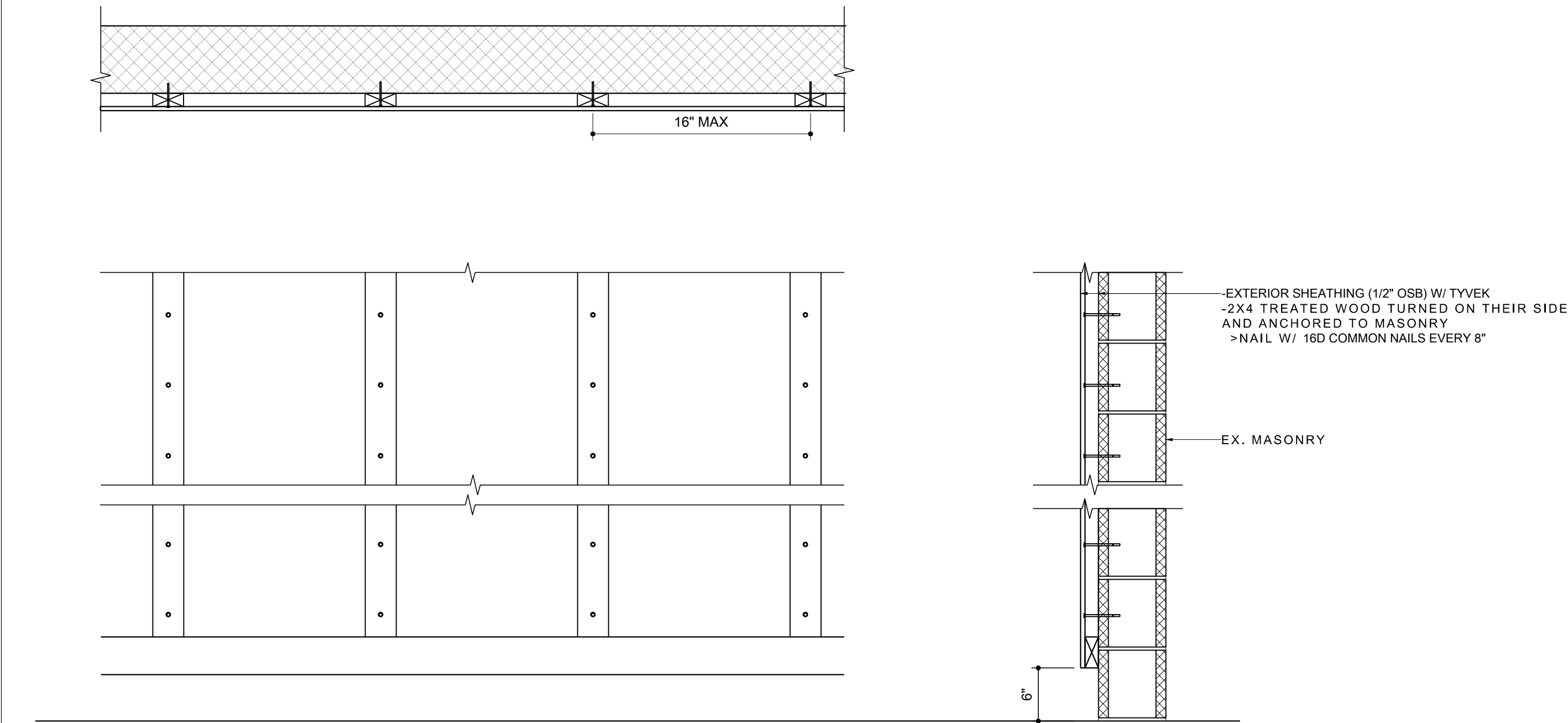


Legend:
A: 4 mm ACM Panel
B: 42621 Clip Extrusion (Field Install)
C: 42623 Frame Extrusion (Shop Attach)
D: 5/32" Flush Head Aluminum Blind Rivet, 16" O.C. Max
E: 1/4" Dia. Anchors; 16" O.C. Max x Shim as Req'd by Others
F: Water Barrier Applied to Substrate by Others
G: Weep Hole and Baffle

C4000 Features And Information	
System	Drained and Back Ventilated Rain Screen
Joint Type	Dry Joint with 1/2" reveal and 1-1/2" up and up reveal Filler Strips with matching panel colors
Underlayment	Weather Barrier Required, not by SAF
System Depth	1-1/8" Design w/ 1/4" shim space
Tested Certifications	Achieved a V3/V1 Classification when tested in accordance with AAMA 509-09; FL 17 & 35; TDI EC-91
Required Maintenance	Minimal: clean with low pressure water and mild detergents
Thermal Expansion	YES
Price	Ranges with complexity of the project
Weather Sealed	NO
Installation Rating	Easy

ACM PANEL DETAILS 1D
SCALE: N.T.S.

NOTES:
-ATTACH ACM PANEL TO 1/2" SHEATHING W/Ø1/4"x1" SCREWS PER MANUFACTURER'S RECOMMENDATIONS.
> FRONT VIEW: SHEATHING NOT SHOWN FOR CLARITY.
-UNTREATED WOOD SHALL NOT MAKE DIRECT CONTACT WITH CMU OR CONCRETE. USE 15# FELT SEPARATION OR TREATED WOOD.



ACM CLADDING SB-GRIT ATTACHMENT 1A
SCALE: N.T.S.

PROJECT/DOWNER

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CHANGE**

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PROPOSED:

**ARCHITECTURAL
DETAILS**

PROJECT #

DRAWING DIRECTION

DRAWING #



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& GRAPHICS

BUILDING SIGNS | ARCHITECTURAL ELEMENTS
ELECTRONIC & LED | INTERIOR IMAGING | AWNINGS

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SOUTHFIELD
MI 48033

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SALES & MANAGEMENT: kol@daghergraphics.com

WWW.DAGHERGRAPHICS.COM

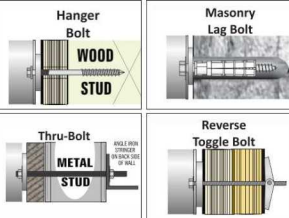
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FINAL INSTALLATION & ATTACHMENT METHODS TO BE DETERMINED PER FIELD CONDITIONS



120V CIRCUIT ARE REQUIRED FOR ALL SIGNS



PLATINUM OIL CHANGE / NORTH (Side St.)





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BUILDING SIGNS | ARCHITECTURAL ELEMENTS
ELECTRONIC & LED | INTERIOR IMAGING | AWNINGS

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MI 48033

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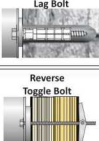
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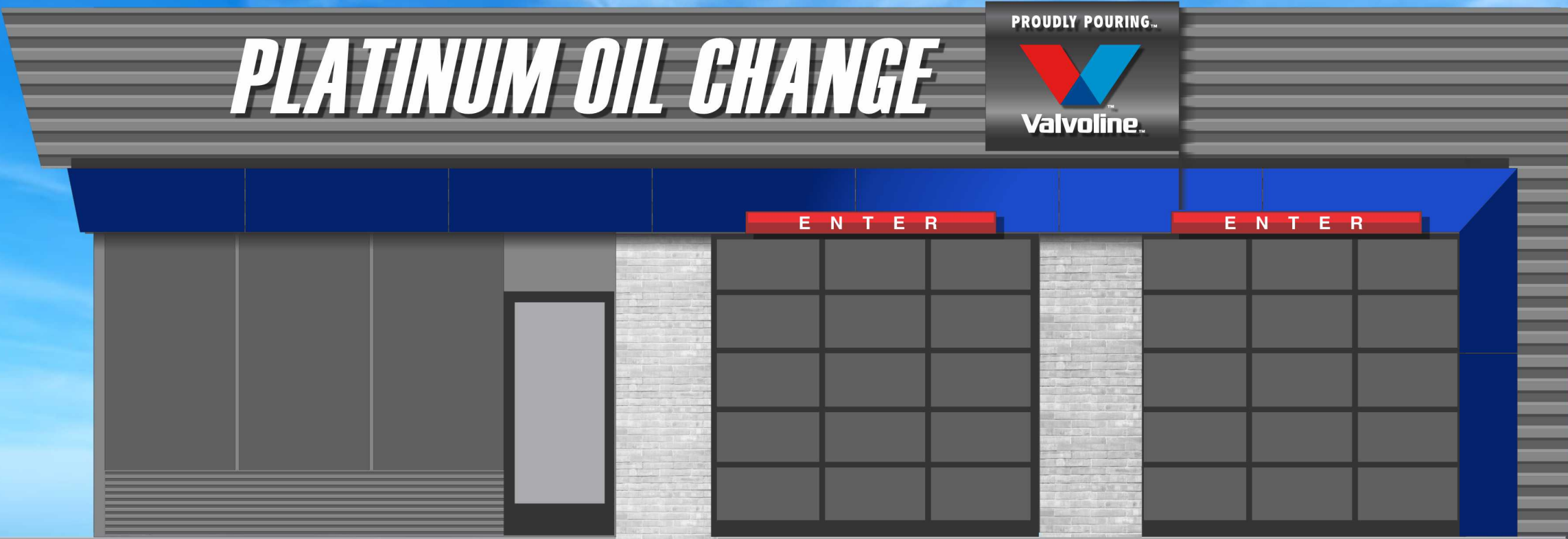
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FINAL INSTALLATION &
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TO BE DETERMINED PER
FIELD CONDITIONS



120V CIRCUIT ARE REQUIRED FOR ALL SIGNS



PLATINUM OIL CHANGE / EAST ELEVATION - FACING MACK Ave.





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BUILDING SIGNS | ARCHITECTURAL ELEMENTS
ELECTRONIC & LED | INTERIOR IMAGING | AWNINGS

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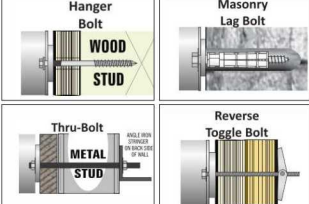
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**FINAL INSTALLATION &
ATTACHMENT METHODS
TO BE DETERMINED PER
FIELD CONDITIONS**



PLATINUM OIL CHANGE / SOUTH



PLATINUM OIL CHANGE I WEST (back Alley.)

[Paint by others]



CITY OF GROSSE POINTE WOODS
20025 Mack Plaza, Grosse Pointe Woods, MI 48236
Phone: 313.343.2426 – E-mail: building@gpwwi.us

RECEIVED

APR 23 2025

BUILDING PERMIT APPLICATION
ZONING COMPLIANCE AND PLAN REVIEW

CITY OF GROSSE POINTE WOODS
BUILDING DEPARTMENT

COMMERCIAL AND RESIDENTIAL

Property Owner Name: Fairmount Properties Date: 4/18/25
GP Woods Address: 20397 Mack Avenue, Grosse Pointe, MI, 48236
E-mail: Allelectricalservices16@gmail.com Contact Phone # 248-357-0999
Contractor/Business Name: Dagher Signs & Graphics - (TBD)
Contact Telephone # 313-729-9555 E-mail address: info@daghergraphics.com
Contractor/Applicant Address: 22476 Telegraph Rd, Southfield MI 48033
MI Builder's License #: _____ MI Driver's License #: D260468961290

SPECIFY NATURE OF PROPOSED WORK:

Updating facade of existing oil change including metal siding, ribbed metal siding, ACM cladding
accents. No increase or change in building structure size.

Value of Construction \$ 45000.00

Section 23a of State Construction Code Act of 1972, No. 230 of the Public Acts of 1972, being Section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of the State relating to persons who are to perform work on a residential building or a residential structure. Violations of Section 23a are subject to civil fines.

HOMEOWNER AFFIDAVIT (IF pulling permit as a Homeowner)

I hereby certify the building work described on this permit application shall **be installed by myself in my own home** in which I am living or about to occupy. All work shall be installed in accordance with the Michigan Building Code and **shall not be enclosed, covered up or put into operation** until it has been **inspected** and **approved** by the Building Inspector. I will cooperate with the Building Inspector and assume the responsibility to arrange for necessary inspections.

* Homeowner Initials: _____

Applicant Signature: _____

I hereby certify that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

FOR OFFICE USE ONLY

Approved: _____ Denied: _____ Zoning Board of Approval Required # _____

Inspector: _____ Date: _____



CITY OF GROSSE POINTE WOODS

Building Department

20025 Mack Plaza, Grosse Pointe Woods, MI 48236

Ph.: 313-343-2426/Fax 313-343-2439

05/09/2025

Oil Exchange
20397 Mack Ave.
Grosse Pointe Woods, MI, 48237

RE: 20397 MACK AVE

Dear Applicant,

Your application for permit PB250150 was not approved:

50-5.18 Design standards in C, C-2 and RO-1 districts (A) A. General.

New construction, renovations, remodeling or exterior building alterations within all C commercial, C-2 high intensity city center, and RO-1 restricted office zoning districts shall be designed in conformance with approved design standards found in this section and on file with the building department. The purpose of these design standards is to promote a complimentary use of design elements that result in a theme oriented, harmonious appearance and image for the commercial and high intensity residential areas of the city.

2. The use of assorted architectural design elements generally described as Colonial, Williamsburg Colonial, Georgian Colonial, Early American, Classic or Traditional are encouraged but not required. Specific definitions and examples of these elements are included within this section, and in the design standards guidelines on file with the building department. The guidelines may be modified by the city council after recommendation by the planning Commission.

INSPECTOR COMMENTS: The proposed design does not meet the Colonial design standards

referenced in the Zoning Ordinance. Approval from the Planning Commission is required.

50-5.18 Design standards in C, C-2 and RO-1 districts (B) Design Components B. Design components.

1. Colonial designs and elements are encouraged, but not required. In considering a colonial design theme element, the words Colonial, Williamsburg Colonial, Georgian Colonial, Early American, Classic or Traditional shall collectively refer to use of a pallet of materials, trim, shapes, forms, colors and details most commonly associated with the dominant architectural styles utilized during the early development of the east coast American towns and cities. Some examples of where these designs are commonly found and featured include Williamsburg, Virginia, Cape Cod, New England and Philadelphia.
2. To more specifically define the assorted components that can be utilized to achieve any one design style, the design standards guidelines include graphic examples of design elements, all of which are considered by definition of this section to be acceptable when collectively used within a total design. These elements shall be utilized in appropriate proportions and quantity to form an overall total design consistent with the requirements of this section.
3. Colors utilized in all design components shall be consistent with the approved color chart on File with the building department and shall be utilized to produce a balanced and Complementary total design solution.

INSPECTOR COMMENTS: Provide material samples. Suggested materials include: Brick-warm, earthy tones, Natural or Cultured Stone, Natural or Cultured Stone Accents, Wood Trim, Wood or Cementitious Siding. The Planning Commission may approve other proposed materials.

Please correct and re-submit your corrected documents to the Building Department via email building@gpwmi.us

If you have any questions, please contact the Building Department at (313) 343-2426.

Respectfully,

Jeremy Collins

Jeremy Collins - Building Official
Building Department - Grosse Pointe Woods



CITY OF GROSSE POINTE WOODS

BUILDING DEPARTMENT REPORT

TO: PLANNING COMMISSION

FROM: JEREMY COLLINS, BUILDING OFFICIAL

DATE: APRIL 2025 & MAY 2025

SUBJECT: BUILDING DEPARTMENT REPORT

Outdoor Café Permits Issued:

20871 Mack Ave. - Zestia Greek Street Food.

20791 Mack Ave – Telly’s Place.

19852 Mack Ave – Crispelli’s.

21150 Mack Ave –Josef’s European Pastry Shop.

20861 Mack Ave – Starbucks

19841 Mack Ave. – Mack Avenue Grille (Pending Outdoor setting information on MLCC)

Social District Permits Issued:

20746 Mack Ave. - Someday Brewing

19841 Mack Ave. - Mack Avenue Grille

Commercial Certificates of Occupancy Issued:

20083 Mack Ave. - Pangea Global Kitchen

19307 Mack Ave. - Verizon Wireless

19437 Mack Ave. - Cottage Inn Pizza

19599 Mack Ave. - Billy Brown, State Farm Insurance

Building Projects

19299 Mack Ave. – Toothworks – Underground inspections completed and trenches approved to cover. Interior framing nearing completion.

19535 Mack Ave Ste. A – New business – Haven Dental PLLC – Dental Office & **19535 Mack Ave Ste. B** – New business – Haven Wellness Grosse Pointe LLC – MED SPA. Initial Certificate of Occupancy inspection completed on May 6th, 2025. Minor interior renovations planned.

19700 Mack Ave. – Bank of America. The new trash enclosure installation has been approved. The installation of 2 wall signs and a ground sign have been approved. The interior renovations are continuing into the 3rd phase. The new teller area and offices have been approved for conditional use.

20139 Mack Ave. – The “Edmund T. Ahee Jewelers” is still progressing towards completion.

20195 Mack Ave. – Lola’s Tacos Bar – Building Permit Issued. Waiting for submittal of trades permits.

20507 Mack Ave. – Arthur Murray Dance Studio – Building plans approved. Interior renovation is moving forward.

20710 Mack Ave. – The Daily Jam – Rough Electrical, Rough Plumbing and Rough Building approved. Awaiting revisions for kitchen exhaust permit. New Sign permits submitted-awaiting payment to begin review.

21003 Mack Ave. - Sign permit applications were submitted on May 1st for LITTLE NEST COFFEE ROASTERS. Permit status: Pending zoning/building approvals.

1670 Ford Ct. –The fencing has been removed from around the property and work is progressing.



May 21, 2025

Planning Commission
City of Grosse Pointe Woods
20025 Mack Plaza Dr
Grosse Pointe Woods, MI 48236

Subject: 20160 Mack Site Plan Review
Parcel ID: 009 01 0001 000
Site Plan Review #2
Zoning: RO-1 – Restricted Office

Dear Commissioners,

We have reviewed a site plan review application submitted by Stucky Vitale Architects on behalf of Buccellato Development LLC. The site is located on Mack Avenue between Oxford Rd. and S. Renaud Rd and is within the city's RO-1 (Restricted Office) Zoning District. The Applicant is pursuing a rezoning request to C (Commercial). This review has been completed based on the standards of the C (Commercial) district. The Applicant proposes demolishing the existing building and constructing an 10,700 sq. ft. single-story multi-tenant retail space.





RECOMMENDATION

We recommend the Planning Commission table the site plan application, to give time for the following:

1. The rezoning of 20160 Mack Avenue is approved by City Council.
2. Per Section 50-6.1(G)(7) of the Zoning Ordinance, the applicant must bring samples of the new material to be used on the building's exterior to the Planning Commission meeting.
3. The Applicant must note that the traffic lane markings will be painted onto the existing ingress/egress off of S. Renaud.
4. It is recommended that the lighting at the east property line be arranged so that there is no light that is casted onto adjacent residential properties. Foot candles shall be 0.0 in measurement at the property line.
5. The site currently proposes a 5ft-high stepped masonry wall with a decorative stone cap at the property line, which adjoins two residential properties. The Zoning Ordinance limits ornamental masonry walls to no more than four feet in height; the wall must be adjusted to meet this requirement.
6. Species for newly planted trees must be provided in alignment with Section 50-5.19 Greenbelts.

Respectfully submitted,

McKENNA

Ashley Jankowski
Associate Planner



Site Plan Review

1. ZONING AND MASTER PLAN DESIGNATIONS

The following chart provides information on existing land use, current zoning, and future land use.

Location	Existing Land Use	Zoning District	Future Land Use Designation
Subject Site	Neurology Office	RO-1	Corridor Mixed Use
North	Bank Office	RO-1	Corridor Mixed Use
South	Dentist	RO-1	Corridor Mixed Use
East	Single-Family Residential	R1-D / R1-B	Single Family Low Density
West	Orthodontics office / Fitness Facility / Jewelers	C	Corridor Mixed Use

The 2024 Master Plan Future Land Use Map designates this site and the immediate surrounding areas to the north, south, and west *Corridor Mixed Use*, described in the text of the Master Plan as, “*retail, restaurant, personal service, and office establishments which are designed for the day-to-day needs of nearby residents and are found along the Mack Avenue corridor and along its easternmost boundary of Harper Avenue that extends one-and-a-half blocks between Stanhope Street and just north of Allard Avenue. These facilities are intended to be located in close proximity to residential neighborhoods but with adequate buffering. These land uses equate to the City’s C, (Commercial) zoning district, P Parking district and some areas zoned RO-1 Restricted Office.* The current zoning of the site is RO-1 (Restricted Office), and the Applicant has applied to rezone the property to C (Commercial).

2. DIMENSIONAL REQUIREMENTS

Standard	Requirement	Existing Conditions	Proposed Conditions	Proposed Compliance
Minimum Front Setback (West)	<i>In Commercial districts, no front yard shall be permitted where the property use is for the purposes specified in section 50-4.9 Retail businesses, Business offices& and section 50-5.21 Signs, subsection C.</i>	Not Applicable	0	Complies
Minimum Side Setback (North / South)	<i>In C districts, no side yard is required on the street side of corner lots.</i>	Not Applicable	0	Complies
Minimum Rear Setback (East)	<i>In C districts, rear yards are not required along interior rear lot lines for buildings or parts of buildings not used as dwellings, if all walls abutting or facing such lot lines are of fire-proof construction and wholly without windows or other openings... shall be not less than five feet for one story.</i>	Not Applicable	0	Complies
Maximum Building Height	2 stories, 28 feet	Not Applicable	1 story, ~18 ft	Complies



3. ARCHITECTURE AND BUILDING DESIGN (Sec. 50-373)

The purpose of these design standards is to promote a coordinated and complimentary use of design elements that result in a theme oriented, harmonious appearance and image for the commercial and high intensity residential areas of the city.

The elevations provided by the Applicant illustrate that the building will be primarily composed of bricks with limestone panel veneer as an accent, with additional glass windows. This will be paired with black metal roof trim and metal parapet. The design of the building follows traditional architectural design which is encouraged by the Zoning Ordinance.

Per Section 50-5.18 of the Zoning Ordinance, new construction, renovations, remodeling, or exterior building alterations in the C commercial district shall be in conformance with approved design standards. The elevation drawing provides a clear picture of the proposed building. **In addition, per Section 50-6.1(G)(7) of the Zoning Ordinance, the applicant must bring samples of the material to be used on the building's exterior to the Planning Commission meeting.**

4. PARKING AND LOADING (Section 50-5.3)

Per Section 50-5.3(H), retail stores require one off-street parking space for each 200 square feet of gross floor area. The proposed building total area will be 10,700 gross sq. ft, therefore 54 spaces will be required. The current site configuration includes 45 onsite parking spaces, 4 metered parking spaces, and 9 on-street parking spaces on S Renaud Rd. **Per Ordinance 907, which indicates that the off-street parking facilities required for all other uses shall be located on the lot or on property in the city within 500 feet of the permitted use requiring such off-street parking, the site has adequate parking. Complies.**

The parking spaces being proposed adhere to the required dimensions of 9 feet by 19 feet. A loading space is proposed in the parking lot which will be 12 ft. by 50 ft.

Additionally, Section 50-5.3(U) states that parking lots shall be provided with traffic lane markings to indicate entrances and exits, and to provide for the safe and orderly movement of vehicles. **These required traffic lane markings are depicted in the plans, and the applicant also indicated the inclusion of signage to bar turns onto the adjoining residential streets; however, the Applicant must note that the traffic lane markings will be painted onto the existing ingress/egress off of S. Renaud.**

5. SIGNS (Sign Ordinance)

The plans indicate the location of signage for the speculative tenants that will occupy the units. To determine compliance with Ordinance standards, the businesses that occupy the units must submit a sign plan application.

6. LIGHTING

Exterior lighting shall be designed so that it is shielded from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.

The applicant provided a photometric plan of the site that includes parking lot pole lighting and exterior wall lighting. All lighting appears to be pointed downward and shielded. **It is recommended that the lighting at the east property line be arranged so that there is no light that is casted onto adjacent residential properties. Foot candles shall be 0.0 in measurement at the property line.**



7. LANDSCAPING AND SCREENING

The site design shall provide reasonable visual and sound privacy for dwelling units located within the project and adjacent to the project. Fences, walks, barriers and landscaping shall be used, as appropriate, for the protection and enhancement of property and the privacy of its occupants.

Ornamental wall. *Whenever a parking area adjoins residential property or a residential street, an ornamental masonry wall not less than two feet or more than four feet in height shall be erected and maintained between the required yard space and area to be used for parking, except for such portions as are used for entrances and exits. On such other locations where a protective barrier is required, the use of a dense shrubbery screen meeting the standards of section 50-5.19 Greenbelts shall be as followed.*

The site currently proposed a 5ft-high stepped masonry wall with a decorative stone cap at the property line, which adjoins two residential properties. The Zoning Ordinance limits ornamental masonry walls to no more than four feet in height. Does not comply.

Maintenance. *All required walls or other landscape screening shall be properly maintained and kept free of debris, signs or any advertising whatsoever. Bumper guards, composed of either a curb at least six inches high or steel posts 24 inches to 30 inches high and not more than five feet apart set three feet in concrete, shall be provided to prevent vehicles from striking such wall or shrubbery.*

In addition to this ornamental wall screening, concrete bumper guards are indicated on the plan to prevent vehicles from striking the wall. Complies.

Landscaping, fences and walls. *The site plan shall provide for landscaping consistent with the quality and character of landscaping on nearby properties. Visually unattractive structures (e.g., transformers, generators, utility cabinets, mechanical equipment and similar structures or equipment) shall be screened with either landscaping, fencing or walls. The planning commission may require additional landscaping fences or walls in accordance with the standards and intent of this section and Chapter 50, Article 7 - Administration and Enforcement*

Landscaping is proposed around the dumpster enclosure with arborvitae. Ornamental grass and 8 juniper trees are proposed to be landscaping adjacent to roadways. Also, planter boxes along the Mack Avenue frontage consisting of taxi yews are proposed. Complies.

3 existing trees will remain on the site, and 4 new trees are proposed be planted at the site. **Species for new planted trees must be provided in alignment with Section 50-5.19 Greenbelts. Can comply.**

8. TRASH RECEPTACLES

Any trash receptacles shall be appropriately screened and utilize quality materials that complement the proposed site and adjacent properties. A dumpster enclosure is shown on sheet A1 with the necessary screening and building standards. Landscaping is proposed around the dumpster enclosure with arborvitae.

9. OUTDOOR PATIO AREAS

Per Section 50-4.16 Outdoor patio areas for the sale and service of food and beverage, any proposed outdoor patio areas shall be subject to site plan approval by the planning commission. **A separate site plan shall be submitted for the Outdoor Patio Area, contingent on the approval of the 20160 Mack Avenue Site Plan.**

CITY OF GROSSE POINTE WOODS
Building Department
20025 Mack Plaza, Grosse Pointe Woods, MI 48236
(313) 343-2426

SITE PLAN REVIEW

COMMERCIAL – Zoned As – Please Check One:

() C – Commercial Business (x) RO-1 – Restricted Office* () P-1 – Vehicular Parking
() CF – Community Facilities () C-2 – High Intensity City Ctr *EXISTING ZONING

Property Owner Name: Buccellato Development, LLC Date: 03.14.2025

GPW Property Address: 20160 Mack Ave. Grosse Pointe Woods, MI.

Telephone #: Work (313) 300-7280 Home: _____

Contractor/Applicant Name: Stucky Vitale Architects

Telephone # (248) 546-6700 Mobile Phone # _____ Fax # _____

Contractor/Applicant Address: 27172 Woodward Ave. Royal Oak, MI. 48067 e-mail: jvitale@stuckyvitale.com

MI Builder's License #: _____ MI Driver's License #: _____

Nature of Proposed Work:

Re-Development of existing site for commercial purposes

Buccellato Development, LLC Address: 20259 Mack Ave. Grosse Pointe Woods, MI 48236

Value of Construction \$ 1,500,000

Section 23a of State Construction Code Act of 1972, No. 230 of the Public Acts of 1972, being Section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of the State relating to persons who are to perform work on a residential building or a residential structure. Violations of Section 23a are subject to civil fines.

Applicant Signature: 

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

#50-7.10	Special Land Use PC Fee:	\$ 250
	PC Site Plan Review Fee:	\$ 350
	Deposit – Est. Costs Incurred by the City:	\$ 400

PC APPLICATION FEE DUE: \$ 1,000

Date Received: _____ Name: _____

RETAIL DEVELOPMENT

20160 Mack Ave, Grosse Pointe Woods, MI 48236

DEVELOPER

BUCCELLATO DEVELOPMENT
20259 MACK AVE, SUITE 2
GROSSE POINTE WOODS, MI 48236
(313) 300-7280

ARCHITECT

STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

PROJECT INFORMATION

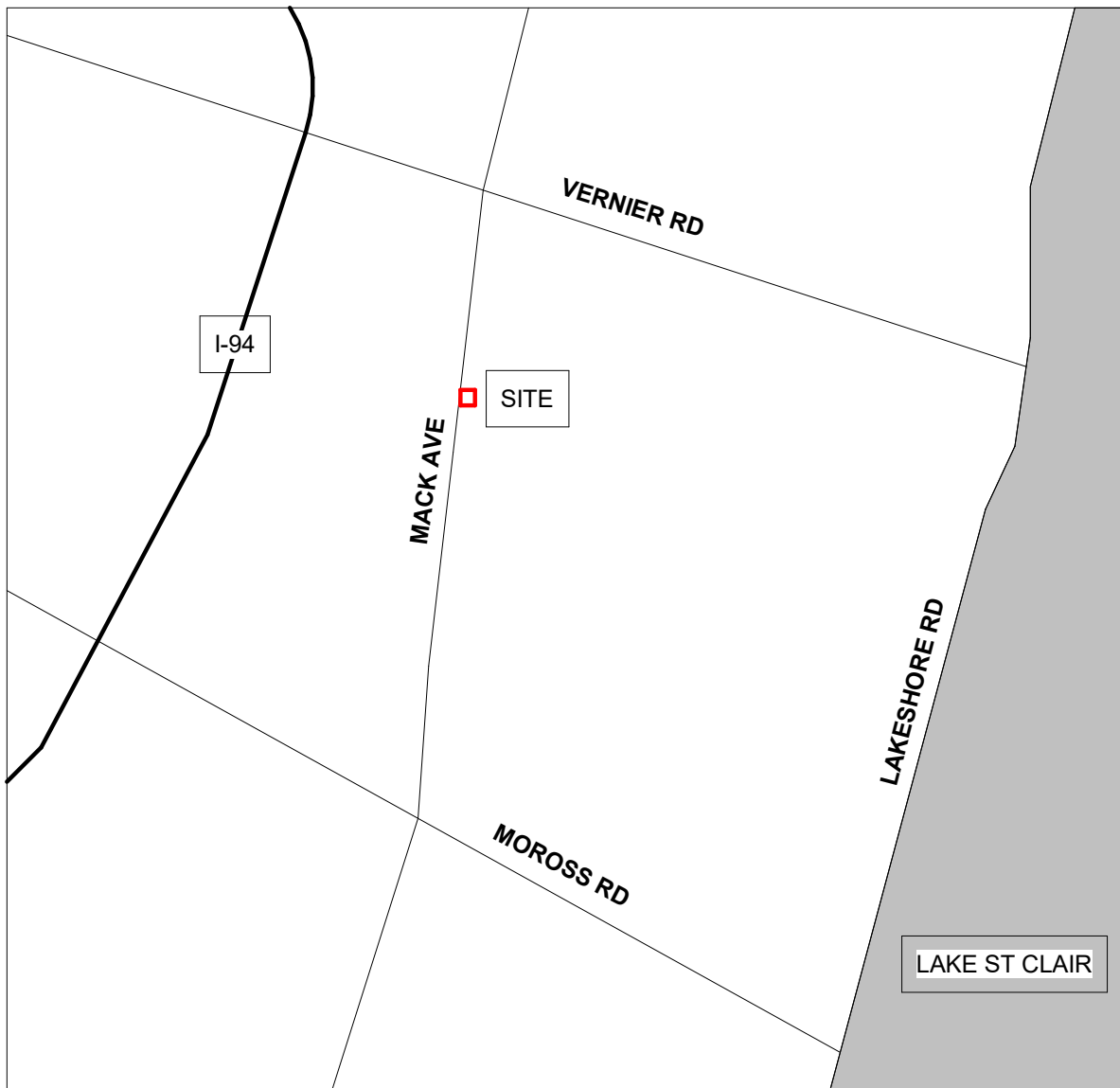
PROJECT DESCRIPTION
RE-DEVELOPMENT OF EXISTING SITE FOR COMMERCIAL USE.

DEMOLITION OF EXISTING STRUCTURE & CONSTRUCTION OF NEW RETAIL DEVELOPMENT.

IMPROVEMENTS TO EXISTING SITE AND PARKING LOT.

SHEET INDEX - GENERAL				
DWG #	DRAWING NAME	ISSUED FOR	DATE	
G001	COVER SHEET, GENERAL INFORMATION, DRAWING INDEX	CITY SUBMITTAL UPDATE	05.14.25	
DRAWINGS: 1				
SHEET INDEX - ARCHITECTURAL				
DWG #	DRAWING NAME	ISSUED FOR	DATE	
A1	SITE PLAN + LANDSCAPE PLAN + DETAILS	CITY SUBMITTAL UPDATE	05.14.25	
A2	EXTERIOR ELEVATIONS + RENDERING	CITY SUBMITTAL UPDATE	05.14.25	
A3	FLOOR PLAN	CITY SUBMITTAL UPDATE	05.14.25	
DRAWINGS: 3				
SHEET INDEX - REFERENCE				
DWG #	DRAWING NAME	ISSUED FOR	DATE	
1 OF 1	PHOTOMETRIC PLAN	CITY SUBMITTAL UPDATE	05.14.25	
DRAWINGS: 2				

NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY. CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.



N
VICINITY MAP
SCALE: N.T.S



CONCEPTUAL RENDERING

SYMBOL LEGEND

	ENLARGED CALLOUT TAG
	INTERIOR ELEVATION TAG
	EXTERIOR ELEVATION TAG
	DETAIL NUMBER
	VIEW TITLE
	VIEW SCALE
	SHEET NUMBER

ROOM NAME
ROOM TAG
101

FLOOR NAME
ELEV. 100'-0"

0, 0
DATUM WORKPOINT

1
COLUMN GRIDS
NUMBERS DESIGNATE
VERTICAL COLUMN LINES

A
LETTERS DESIGNATE
HORIZONTAL COLUMN LINES

A
SQUARE DESIGNATE EXISTING
COLUMN GRID

101
DOOR TAGS

101
NEW DOOR TAG
DESIGNATION

101
EXISTING DOOR TAG
DESIGNATION (ONLY IF
EXISTING DOOR TO BE
MODIFIED)

203-Ys
PARTITION TAG

XX
KEYNOTE TAG

XX
EQUIPMENT TAG

X / A-XXX
SHEET REF FOR DRAWING
CONTINUATION

ZONE B
ZONE A
MATCH LINE

ABBREVIATION LEGEND

& L @	AND ANGLE AT	ø or ø ±	CENTERLINE DIAMETER PLUS OR MIN
ACCESS.	ACCESSIBILITY	N	NORTH
ACOUS.	ACOUSTICAL	NIC	NOT IN CONTRACT
ACT	ACOUSTICAL CEILING TILE	NOM	NOMINAL
A.D.	AREA DRAIN	NTS	NOT TO SCALE
ADJ	ADJUSTABLE	O/C	ON CENTER
A.F.F.	ABOVE FINISH FLOOR	OFC	OFFICE
AL	ALUMINUM	OPNG	OPENING
ANOD.	ANODIZED	OPP	OPPOSITE
ARCH.	ARCHITECTURAL or ARCHITECT	OVFD	OVERFLOW DRAIN
ASPH.	ASPHALT	PL	PLATE
BD.	BOARD	PLAM	PLASTIC LAMINATE
BF	BARRIER FREE	PLAS	PLASTER
BLDG.	BUILDING	PNT	PAINT
BL'G.	BLOCKING	PLYWD	PLYWOOD
BOT.	BOTTOM	PREFAB	PREFABRICATED
BR	BRICK	PFN	PREFINISH or PREFINISHED
CAB.	CABINET	PROJ	PROJECTION
CEM.	CEMENT	PT	POINT
C.J.	CONTROL JOINT	R.	RISER
CLG	CEILING	RCP	REFLECTED CEILING PLAN
C.F.M.F.	COLD FORMED METAL FRAMING	R.C.	ROOF CONDUCTOR
C.O.	CLEAN OUT	RD	ROOF DRAIN
CLO.	CLOSET	REINF	REINFORCING
CLR	CLEAR	REQ'D	REQUIRED
COL	COLUMN	RESIL	RESILIENT
CONC.	CONCRETE	RFG	ROOFING
C.G.	CORNER GUARD	RM	ROOM
CONST.	CONSTRUCTION	R.S.	ROOF SUMP
CONT.	CONTINUOUS	SAN	SANITARY
COR.	CORRIDOR	SC	SOLID CORE
CORR.	CORRUGATED	SCHED	SCHEDULE
CPT	CARPET	SHT	SHEET
C.T.	CERAMIC TILE	SIM	SINK
CTSK.	COUNTER SUNK	SPEC	SPECIFICATIONS
CW	CURTAIN WALL	SQ	SQUARE
D.F.	DRINKING FOUNTAIN	ST-STL.	STAINLESS STEEL
DET.	DETAIL	SS	SOLID SURFACE
DIA.	DIAMETER	ST	STONE
DIM.	DIMENSION	STD	STANDARD
DN.	DOWN	STL	STEEL
D.O.	DOOR OPENING	STN	STAIN
DR.	DOOR	STOR	STORAGE
D.S.	DOWN SPOUT	STRUCT	STRUCTURAL or STRUCTURE
DWG.	DRAWING	SUSP	SUSPENDED
DWR.	DRAWER	SYM	SYMMETRICAL
EA	EACH	T.	TREAD
E.J.	EXPANSION JOINT	T&B	TOP AND BOTTOM
EL.	ELEVATION	TERR.	TERRAZZO
ELEC.	ELECTRICAL	T.O.C.	TOP OF CURB
ELEV.	ELEVATOR	T&G	TONGUE AND GROOVE
E.O.S./EOS	EDGE OF SLAB	THK	THICK
E.O.D./EOD	EDGE OF DECK	THRES.	THRESHOLD
EP	ELECTRICAL PANEL	T.O.P.	TOP OF PARAPET
EPX	EPOXY	TA	TOILET ACCESSORY
EQ.	EQUAL	TV	TELEVISION
EQPM	EQUIPMENT	T.O.W.	TOP OF WALL
E.W.	EACH WAY	TOS / T.O.S.	TOP OF STEEL
EXIST. / EX	EXISTING	TYP.	TYPICAL
EXP.	EXPOSED	U/C	UNDERCUT
EXT.	EXTERIOR	U.N.O.	UNLESS NOTED OTHERWISE
FA	FIRE ALARM	U.S.K.	UTILITY SINK
FD	FLOOR DRAIN	V.B.	VAPOR BARRIER
FON	FOUNDATION	VCT	VINYL COMPOSITION TILE
FIRE EXTINGUISHER	FIRE EXTINGUISHER	VERT.	VERTICAL
FEC	FIRE EXTINGUISHER CABINET	VEST	VESTIBULE
FHC	FIRE HOSE CABINET	VF	VINYL FLOORING
FIN	FINISH	V.I.F.	VERIFY IN FIELD
FLOOR	FLOOR	W	WIDTH
F.O.	FACE OF	W/	WITH
F.O.S.	FACE OF STUD	WB	WALL BASE
FPRF	FIREPROOF	W.C.	WATER CLOSET
FR	FRAME	WC	WALLCOVERING
FRP	FIBERGLASS REINFORCED PANEL	WD	WOOD
FRT	FIRE RETARDANT TREATED	WO	WITHOUT
F.S.	FULL SIZE	WR	WATER RESISTANT
FT.	FOOT or FEET	WSCOT	WAINSCOT
FTG.	FOOTING	WT.	WEIGHT
FUR	FURRING	W.W.F.	WELDED WIRE FABRIC
GA.	GAUGE		
GALV.	GALVANIZED		
G.B.	GRAB BAR		
GFRC.	GLASS FIBER REINFORCED CONCRETE		
GL.	GLASS		
GYP.	GYPSUM		
H.B.	HOSE BIBB		
H.C.	HOLLOW CORE		
HDWD	HARDWOOD		
HDWE	HARDWARE		
HM	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HR	HOUR		
HGT	HEIGHT		
INSUL	INSULATION		
IMP	INSULATED METAL PANEL		
IMWP	INSULATED METAL WALL PANEL		
INT	INTERIOR		
J.C.	JANITOR'S CLOSET		
JOINT	JOINT		
KT.	KITCHEN		
LAV	LAVATORY		
LG	LENGTH		
L.L.V.	LONG LEG VERTICAL		
LT	LIGHT		
LVT	LUXURY VINYL TILE		
MAX	MAXIMUM		
MECH	MECHANICAL		
MTL	METAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		



STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
P. 248.546.6700
F. 248.546.8454
WWW.STUCKYVITALE.COM

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Consultants

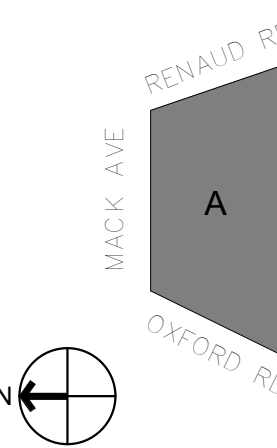
Seal:

Project :

RETAIL DEVELOPMENT

20160 Mack Ave, Grosse
Pointe Woods, MI 48236

Key Plan:



Issued for

CITY SUBMITTAL 03.14.25
CITY SUBMITTAL 05.14.25
UPDATE

Drawn by :

JPM

Checked by :

JAV

Sheet Title :

COVER SHEET, GENERAL
INFORMATION, DRAWING INDEX

Project No. :

2025.018

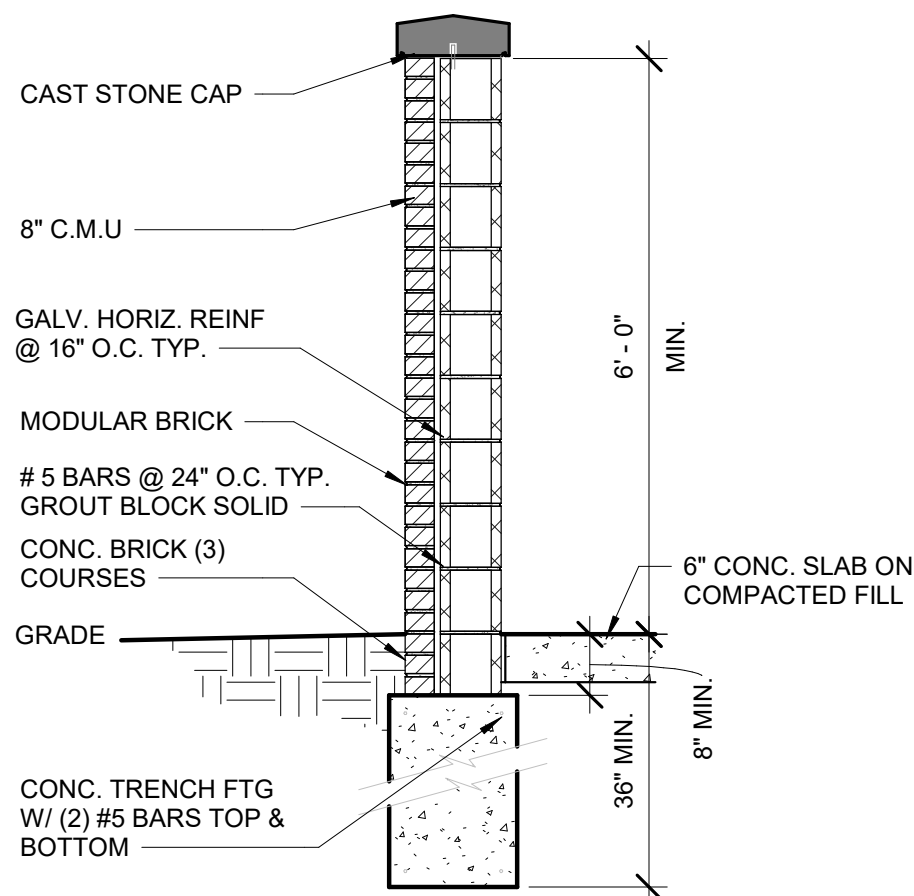
Sheet No. :

G001

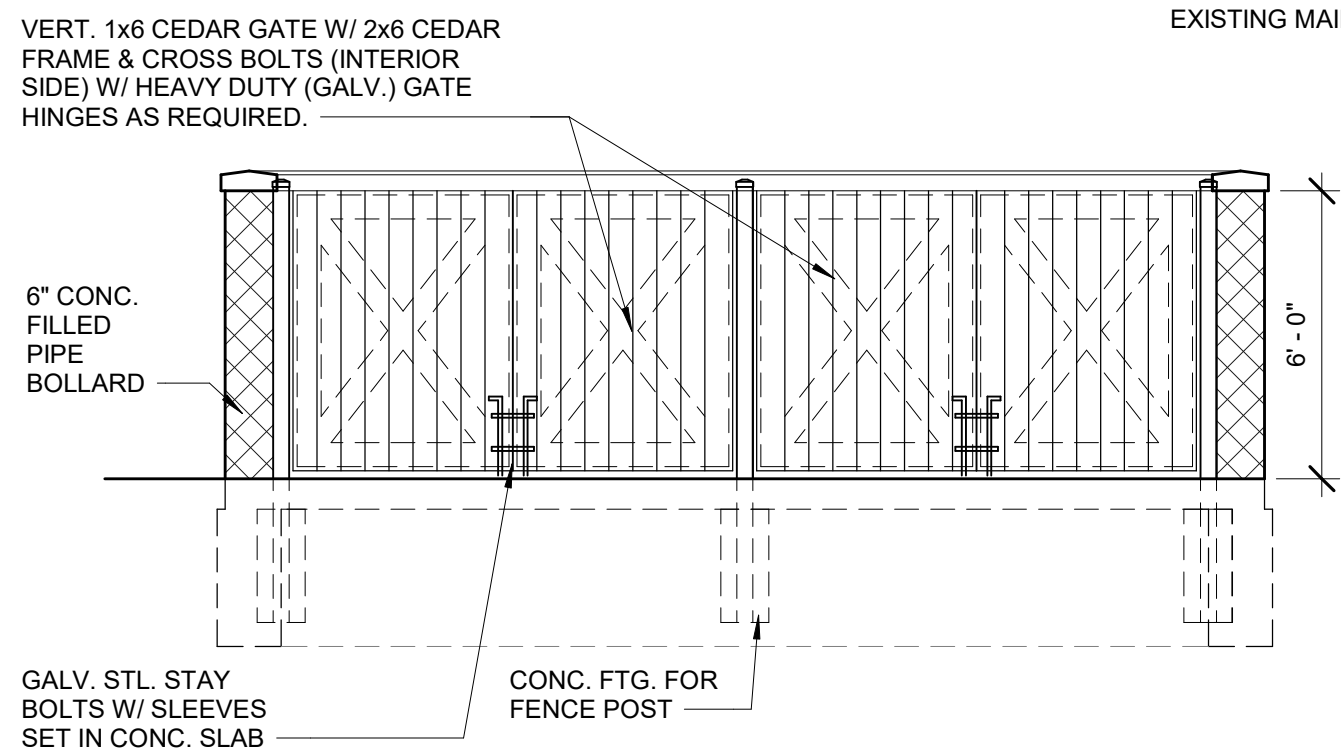
PROPOSED BUILDING FLOOR AREA AND PARKING			
FLOOR AREA	BUILDING USASE	PARKING PER USABLE AREA	PROPOSED REQUIRED PARKING
10,700 SF	RETAIL	200 SF	54

NOTE:
ORIGINAL PARKING COUNT = 34 SPACES.
ADDED 11 OFF-STREET PARKING SPACES

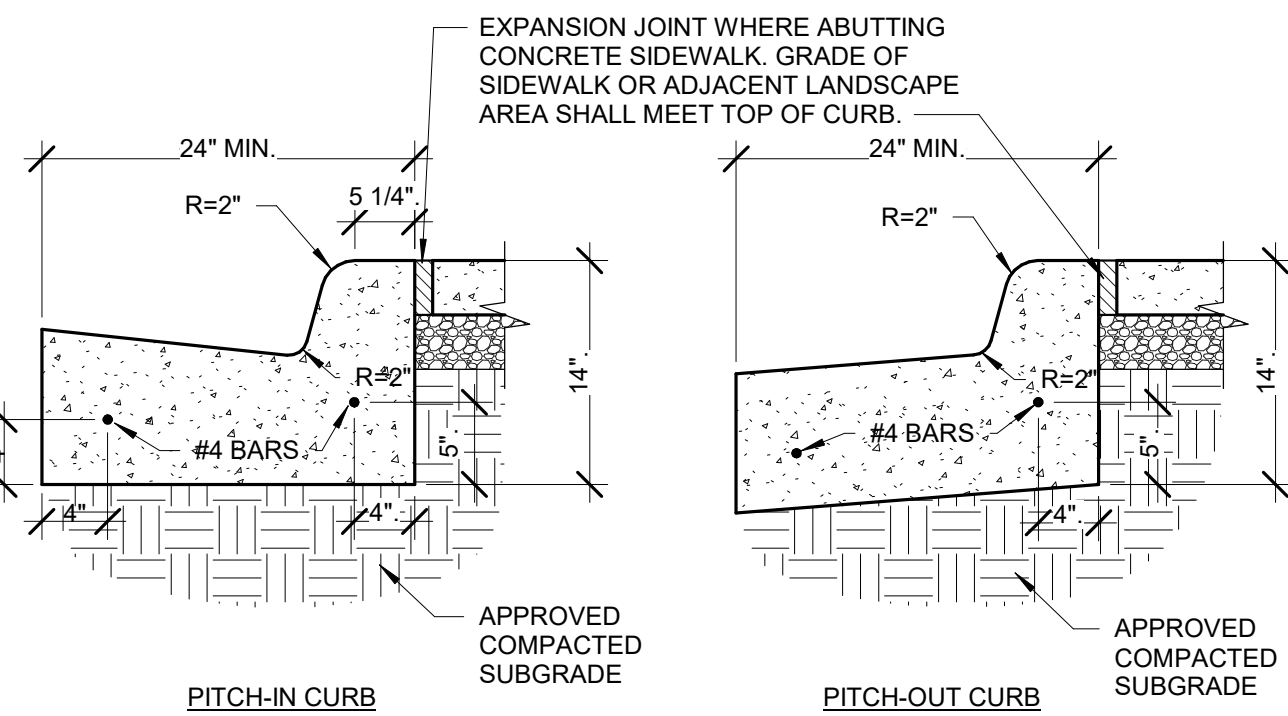
Parking Schedule	
Count	
45 OFF-STREET	+ 4 METERED PARKING SPACES MACK AVE.
58 TOTAL	+ 9 PARKING SPACES - S RENAUD RD.



2 Section At Dumpster Screen
A1 1/2" = 1'-0"



3 Dumpster Screening Detail
A1 1/4" = 1'-0"



- NOTES:
- CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 - TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM SURFACE.
 - HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 - 14" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

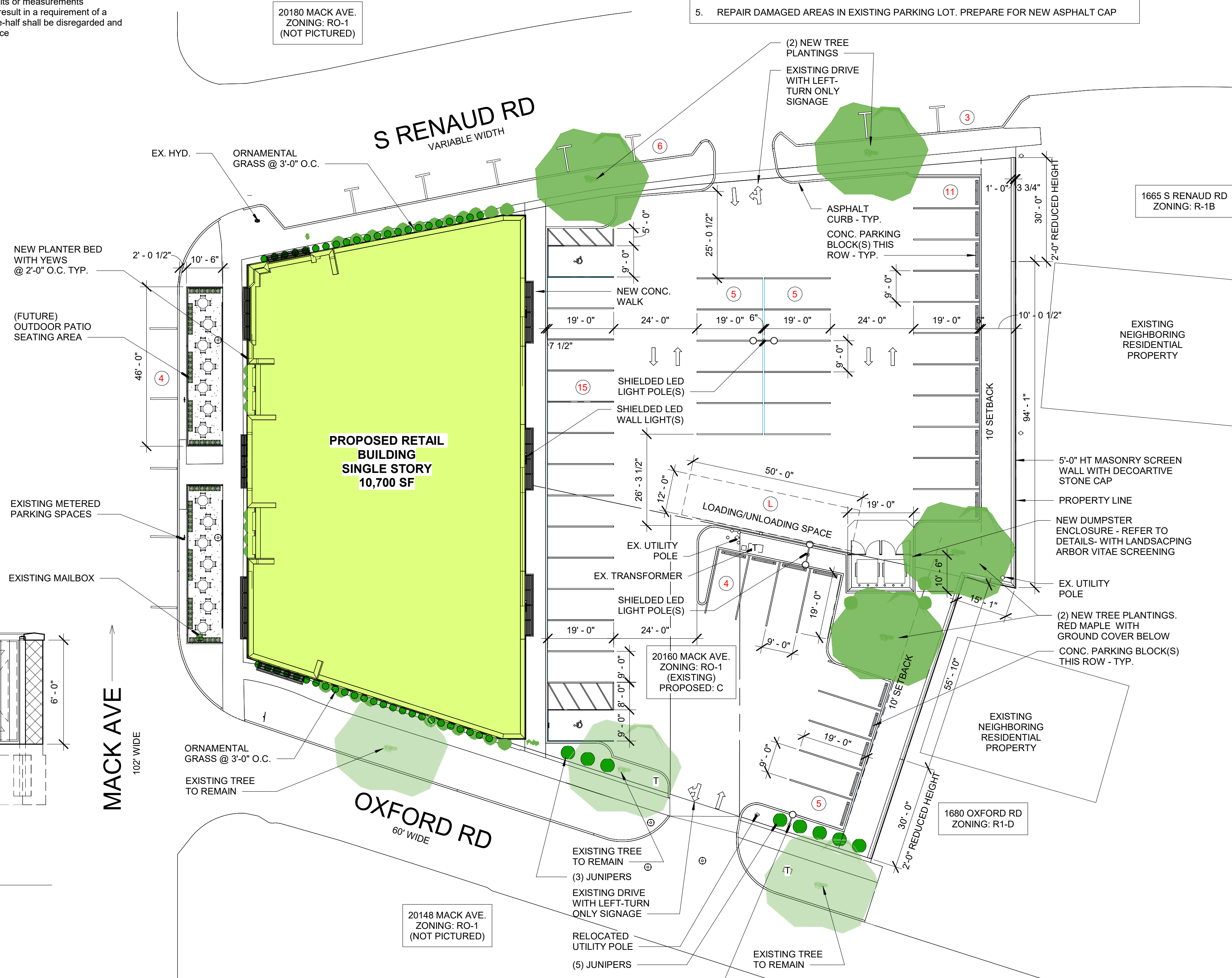
4 CONCRETE CURB AND GUTTER DETAIL
A1 1" = 1'-0"

SITE AREA:
EXISTING SITE AREA: 33,007 SF (0.758 ACRES)
PARKING LOT AREA: 18,746 SF
LOT SIZE: (EXISTING UNCHANGED)

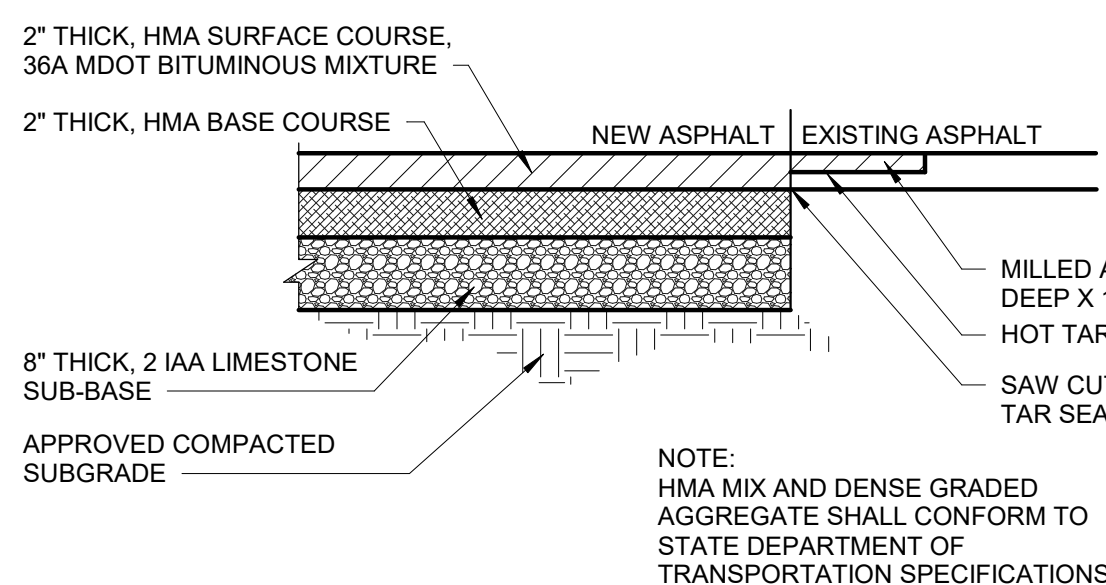
SETBACKS:
C-COMMERCIAL BUSINESS
FRONT YARD SETBACK: 0
SIDE YARD SETBACK: 0
CORNER LOT
MAXIMUM BUILDING HEIGHT:
(2) STORIES
28 FEET
PROPOSED HEIGHT: 18 FEET

DEMOLITION SCOPE:

- ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS DESCRIBED IN THE DEMOLITION SCOPE. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
- EXISTING STRUCTURE AND BASEMENT TO BE DEMOLISHED COMPLETELY. DISCONNECT AND CAP EXISTING UTILITIES AS REQUIRED PRIOR TO DEMOLITION.
- GENERAL PRECAUTIONS SHALL BE TAKEN AS NECESSARY TO HOLD ALL DISRUPTION, DUST, DIRT, NOISE, AND DEBRIS TO A MINIMUM. G.C. TO OBTAIN DEMOLITION PERMIT AND PROVIDE ALL NECESSARY BARRIERS AND SAFETY MEASURES IN COMPLIANCE WITH REQUIREMENTS BY AHJ.
- REMOVE ALL DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF THESE MATERIALS.
- REPAIR DAMAGED AREAS IN EXISTING PARKING LOT. PREPARE FOR NEW ASPHALT CAP



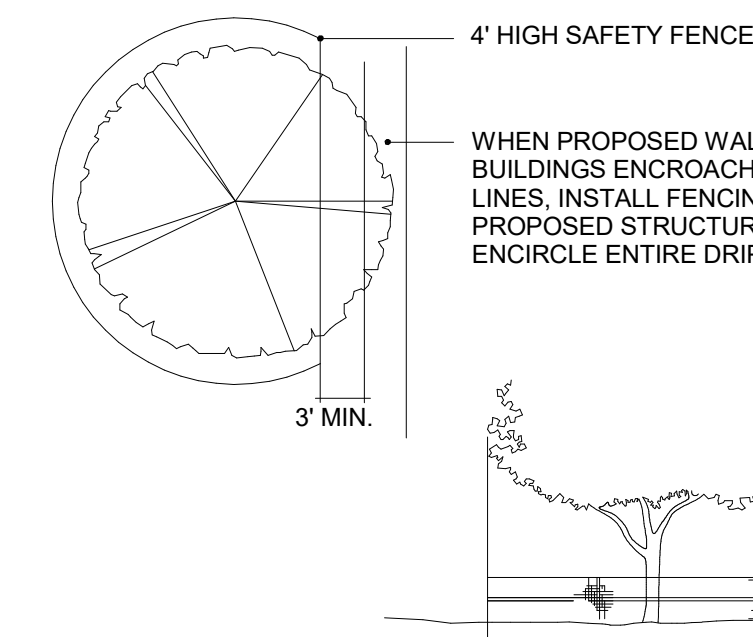
1 SITE PLAN
A1 1" = 20'-0"



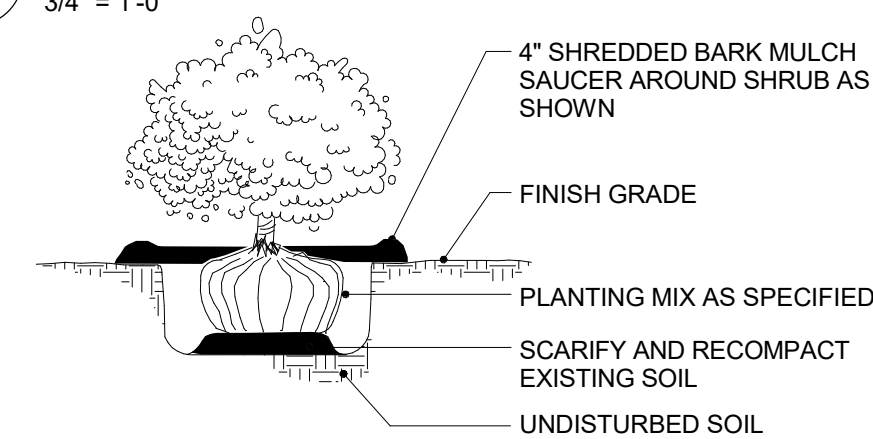
5 ON-SITE FULL DEPTH ASPHALT PAVEMENT DETAIL
A1 1" = 1'-0"

GENERAL SITE PLAN NOTES

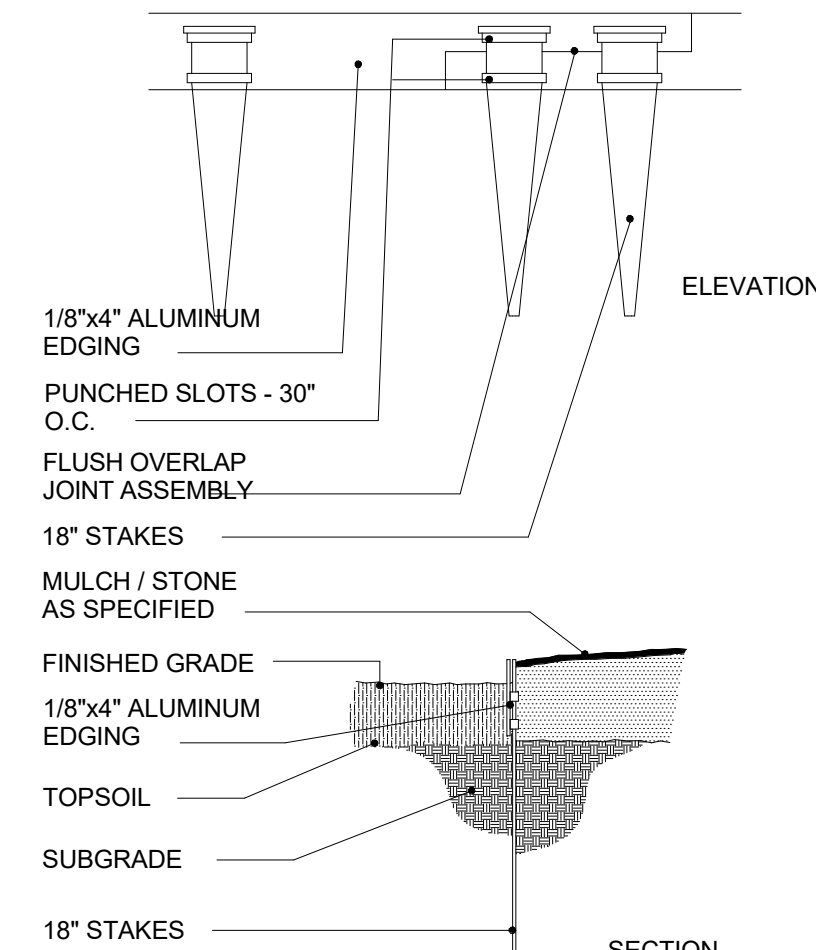
- PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
- CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
- ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
- PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
- ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
- ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
- ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
- CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
- FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKewise ARRANGE FOR ALL INSPECTION.
- EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
- EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
- SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
- ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
- FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.
- ALL LANDSCAPED AREAS TO BE PROVIDED W/ SPRINKLER SYSTEMS FOR 100% COVERAGE.
- MAINTAIN EXISTING DRAINAGE PATTERNS ON SITE IN COMPLIANCE WITH REQUIREMENTS OF AHJ.
- EXISTING UTILITIES ON SITE TO REMAIN - TYP. U.N.O.
- MAINTAIN EXISTING SITE TOPOGRAPHY - TYP. U.N.O.



8 TREE PROTECTION DETAIL
A1 3/4" = 1'-0"



7 SHRUB PLANTING DETAIL
A1 3/4" = 1'-0"



6 ALUMINUM EDGING DETAIL
A1 3/4" = 1'-0"



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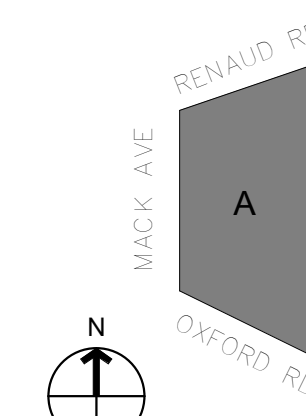
Consultants

Seal:

Project :
RETAIL DEVELOPMENT

20160 Mack Ave, Grosse
Pointe Woods, MI 48236

Key Plan:



Issued for

CITY SUBMITTAL	03.14.25
CITY SUBMITTAL	04.17.25
UPDATE	
CITY SUBMITTAL	05.14.25
UPDATE	

Drawn by :

JGB, JPM

Checked by :

JPM, JAV

Sheet Title :

Site Plan + LANDSCAPE PLAN + DETAILS

Project No. :

2025.018

Sheet No. :

A1

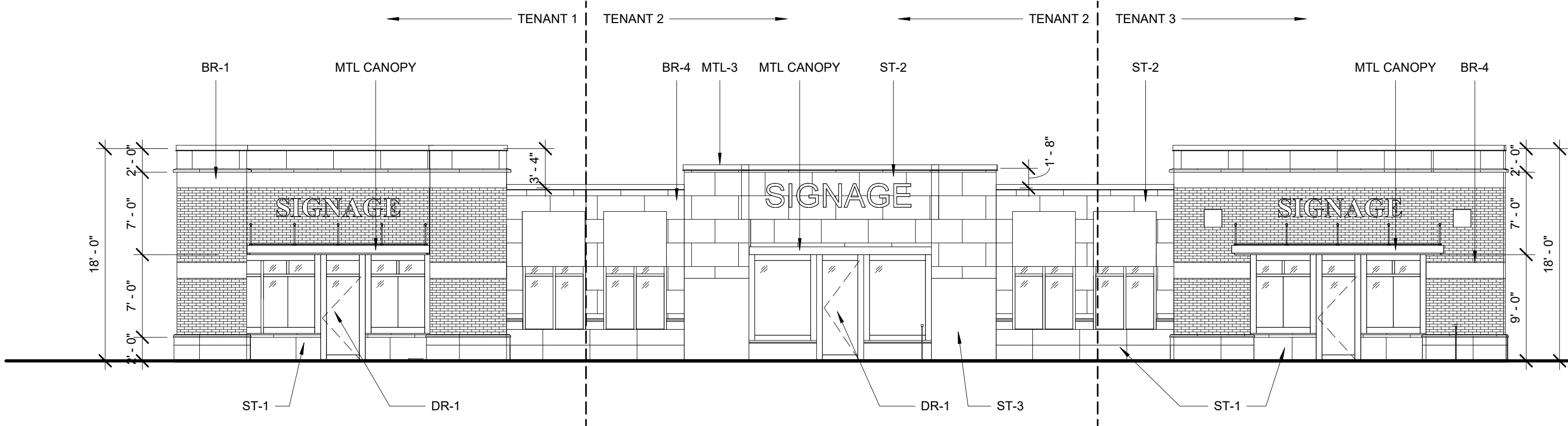
EXTERIOR FINISH SCHEDULE	
MASONRY	BR-1 BRICK MFG: BELDEN BRICK OR APPROVED EQUAL COLOR: 503-505 Smooth Red SIZE: MODULAR
	BR-4 BRICK MFG: BELDEN BRICK OR APPROVED EQUAL COLOR: 503-505 SMOOTH RED SIZE: SOLDIER
	BR-5 BRICK MFG: BELDEN BRICK OR APPROVED EQUAL COLOR: Buff (or similar) SIZE: Queen (or similar)
	ST-1 LIMESTONE PANEL VENEER MFG: ROYAL STONE OR APPROVED EQUAL COLOR: STANDARD BUFF OR SIMILAR SIZE: (D) 3 5/8" X (H) 15 5/8" X (L) 23 5/8"
WIND.	SF-1 STOREFRONT MFG: KAWNEER OR SIMILAR COLOR: DARK BRONZE SIZE: (VARIES)
DOORS	DR-1 ALUMINUM ENTRANCE DOOR SYSTEM MFG: KAWNEER OR APPROVED EQUAL STYLE: 2" X 6" COLOR: TO MATCH WINDOW FRAME WITH CLEAR GLASS
GLASS	GL-1 ALL GLASS TO BE: 1" LOW-E, INSULATED GLASS MFR: VIRACON OR APPROVED EQUAL COLOR/STYLE: CLEAR
MISC.	TR-1 TRIM & COPING: PREFINISHED ALUMINUM COLOR: MATCH ADJACENT MATERIALS
	MTL-2 COMPOSITE METAL CANOPY MFG: MAPES CANTILEVER CANOPY OR APPROVED EQUAL COLOR: DARK BRONZE
	MTL-3 METAL PARAPET MFG: ALUCOBOND OR APPROVED EQUAL COLOR: TBD OR SIMILAR



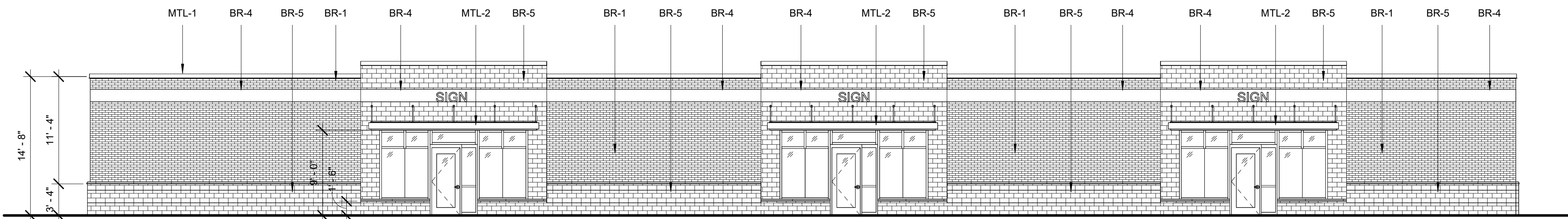
EXTERIOR RENDERING #2



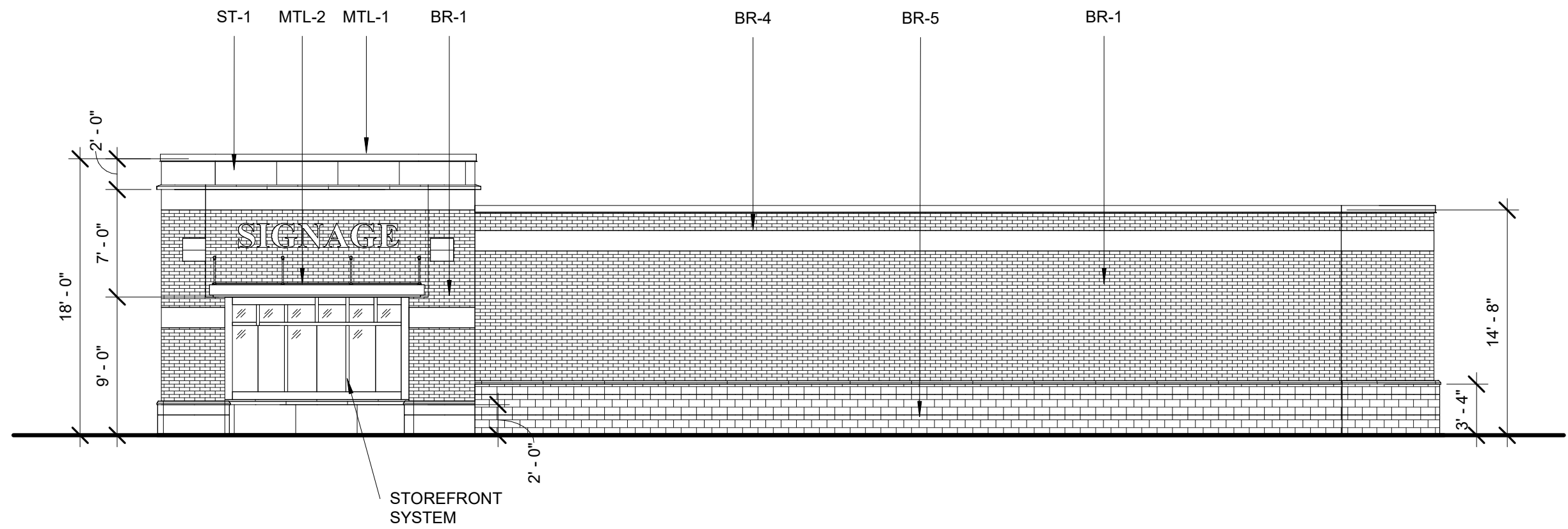
EXTERIOR RENDERING #1



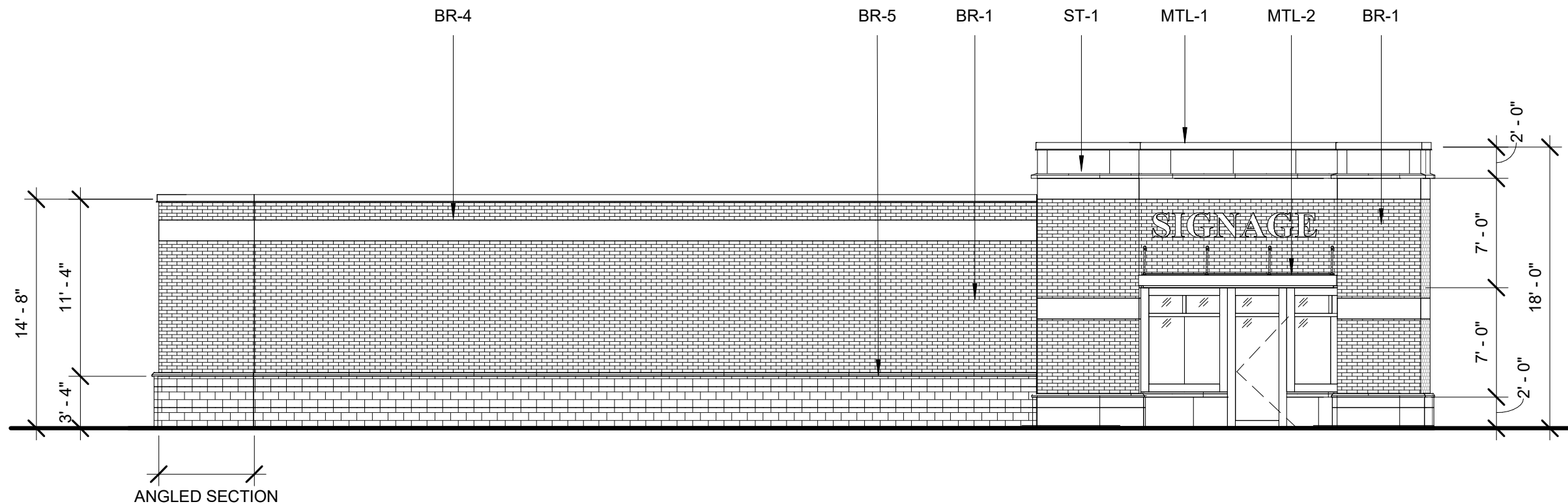
1
A2
WEST ELEVATION - MACK AVE.
1/8" = 1'-0"



4
A2
EAST ELEVATION - PARKING LOT
1/8" = 1'-0"



3
A2
SOUTH ELEVATION - OXFORD
1/8" = 1'-0"



2
A2
NORTH ELEVATION - RENAUD
1/8" = 1'-0"



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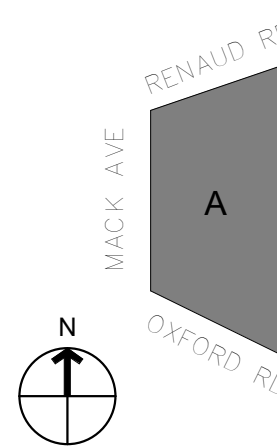
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RETAIL DEVELOPMENT

20160 Mack Ave, Grosse
Pointe Woods, MI 48236

Key Plan:



Issued for

CITY SUBMITTAL 03.14.25
CITY SUBMITTAL 05.14.25
UPDATE

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JGB, JPM

Checked by :

JPM, JAV

Sheet Title :

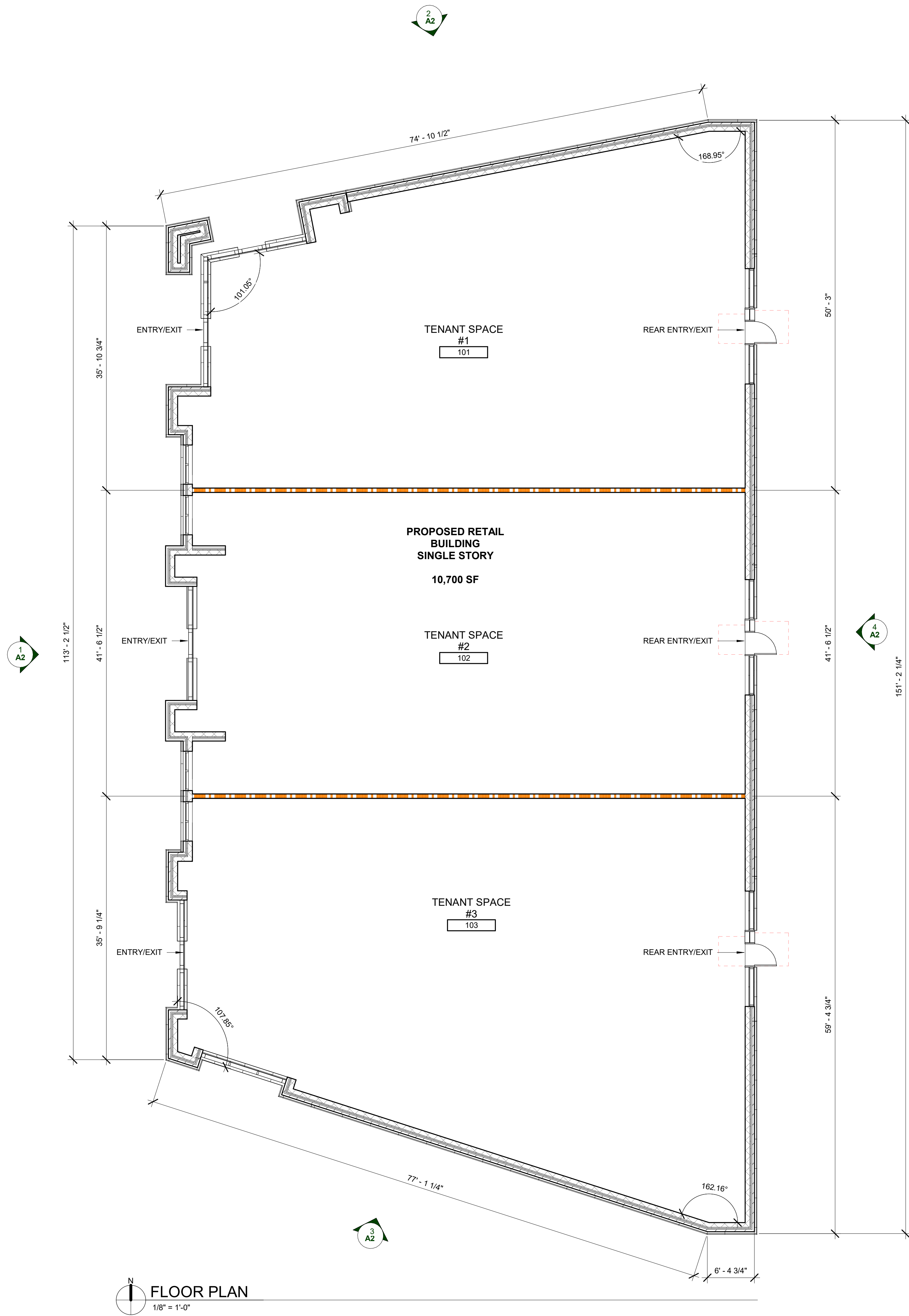
EXTERIOR ELEVATIONS +
RENDERING

Project No. :

2025.018

Sheet No. :

A2



GENERAL FLOOR PLAN NOTES

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
4. ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
6. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
7. PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
8. PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
9. CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
10. A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN 'AREA OF REFUGE', AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.
11. PROVIDE PERMANENT MIN 3-INCH HIGH CONTRASTING COLOR MARKING AND IDENTIFICATION AT ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS WITHIN 15 FEET AT THE END OF EACH WALL, AND NOT EXCEEDING 30 FEET MAXIMUM HORIZONTAL INTERVALS, MINIMUM 2 LOCATIONS EACH WALL. TYPICAL FOR ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACES PER CODE (MBC 703.7)



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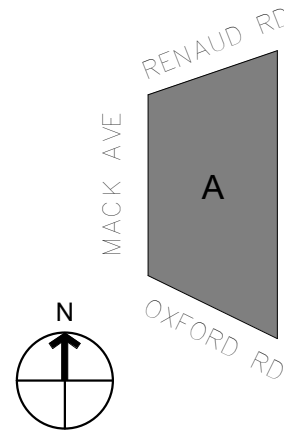
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FLOOR PLAN

Project No. :

2025.018

Sheet No. :

A3

Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Light Loss Factor	Wattage
	A	1	Lumenpulse	LIAM-120_277-CSL-M150-40K-CRI 80-4 BLS	Lumenicon Medium	6519	0.9	132
	B	2	Lumenpulse	LIAM-120_277-CSL-M150-40K-CRI 80-5S	Lumenicon Medium	13565	0.9	264
	C	3	Lumenpulse	LIAM-120_277-CSL-M150-40K-CRI 80-4 BLS	Lumenicon Medium	6519	0.9	132

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Grade	+	1.7 fc	6.6 fc	0.0 fc	N/A	N/A	0.3:1
Parking Lot	X	2.7 fc	6.6 fc	0.4 fc	16.5:1	6.8:1	0.4:1

- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
 - LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

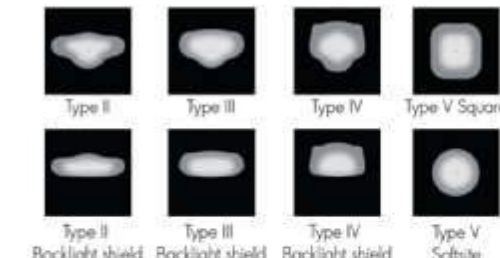
Specification Sheet

Project Name _____ Qty _____
Type _____ Catalog / Part Number _____



Lumenicon
Area Medium
LIAM

Distributions



Description

The Lumenicon Area Medium creates a consistent aesthetic while illuminating city streets, local roads, residential streets, parking lots and laneways. An innovative, toolless opening system makes the plug-and-play components easy to access. IP66 rated with phenomenal heat dissipation, the Lumenicon Area Medium is ready to take it to the streets (or parking lots, or building sides, or ramps, or...).

Features

Color and Color Temperature 2200K, 2700K, 3000K, 3500K, 4000K, 5700K

Distributions Type II, Type III or Type IV (with or without backlight shield), Type S square and type V Softsite

3G Vibration Rated Meets 3G ANSI C136.31-2010 vibration standard for bridge applications

Options Corrosion-resistant Coating for Hostile Environments, Surge Protector, 5 Pin Receptacle with or without shoring cap, 7 Pin Receptacle with or without shoring cap

Mounting Options Side Overlap (2 3/8" in Tension)

Warranty 5-year limited warranty

Performance

Output (Nominal Lumens) Minimum 3000lm / Maximum 20000lm

Color Rendering 3 SDCM for CRI 70+ and 2 SDCM for CRI 80+

Lumen Maintenance TM-21 L70 527,000 hrs (projected, Ta 77 °F), 36,000 hrs (reported, Ta 77 °F)

DarkSky DarkSky compliant (2200K, 2700K and 3000K color temperatures; BUG rating of 0)

Physical

Housing Material Die cast low copper 360 aluminum alloy

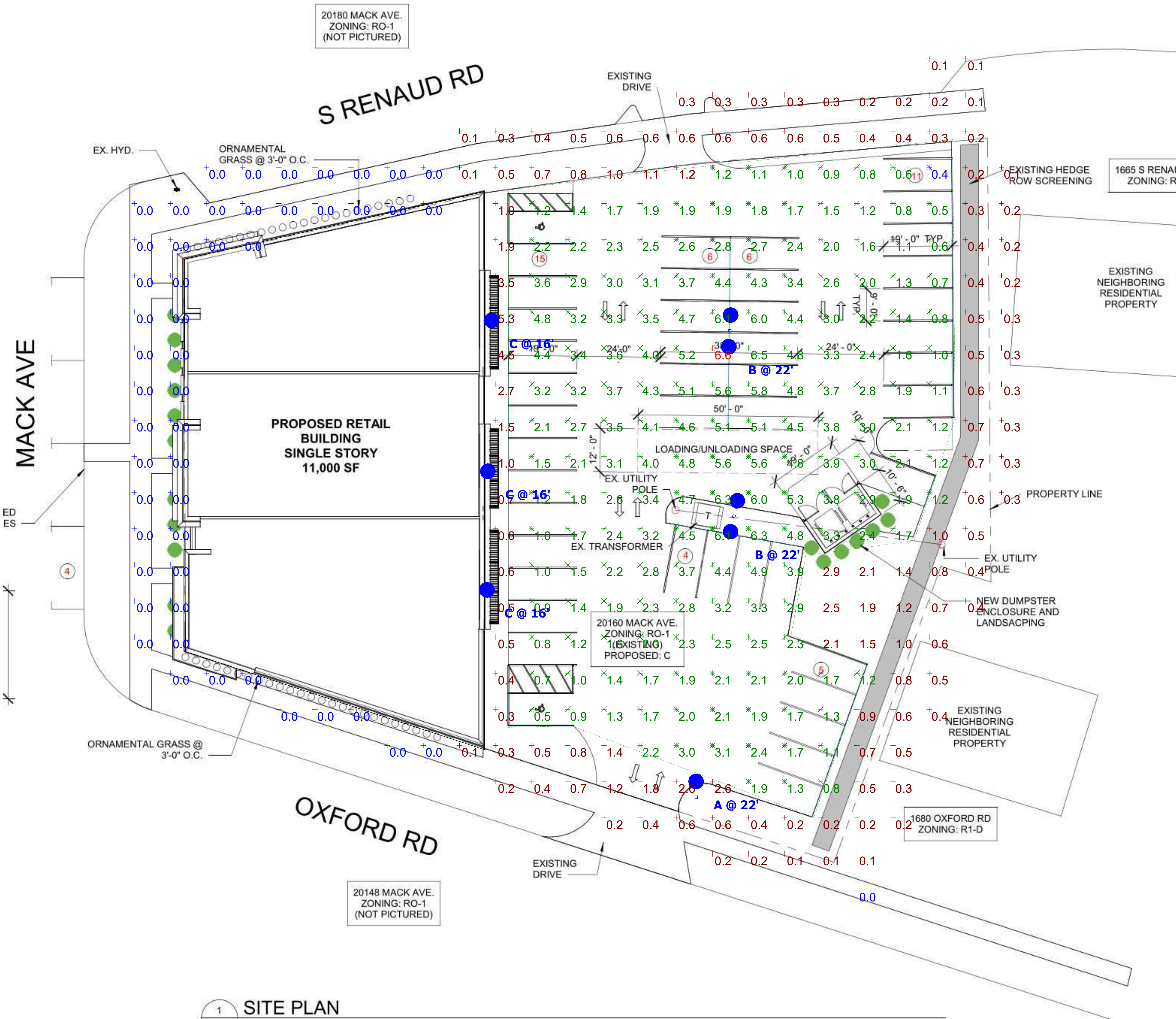
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M5 - R6

1 / 10

isregared and



1 SITE PLAN

Plan View
Scale - 1" = 16ft



MAC AVE
PHOTOMETRIC SITE PLAN
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM

Designer
DB
Date
04/17/2025
Scale
Not to Scale
Drawing No.
QUICK CALC V1
1 of 1

.....

17. EASEMENT IN FAVOR OF MICHIGAN BELL TELEPHONE COMPANY, AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, RECORDED IN LIBER 22079, PAGE 915. **(SHOWN)**

THE FIELDWORK WAS COMPLETED ON APRIL 22, 2025

SCALE: 1"=20' PROJECT ID: DET-250182 SHEET: 1 OF 1