



CITY OF GROSSE POINTE WOODS

PLANNING COMMISSION MEETING AGENDA

Tuesday, February 20, 2024 at 7:00 PM

*Robert E. Novitke Municipal Center - Council Chambers/Municipal Court,
20025 Mack Plaza, Grosse Pointe Woods, MI 48236
(313) 343-2426*

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PLEDGE OF ALLEGIANCE**
- 4. ACCEPTANCE OF AGENDA**
- 5. RECOGNITION OF COUNCIL REPRESENTATIVE/S**
- 6. RECEIPT OF FINAL APPROVED MINUTES**
 - A. Planning Commission Meeting – January 23, 2023
- 7. DISCUSSION OF MASTER PLAN**
 - A. Draft Master Plan
 - B. Mack Future Land Use
- 8. BUILDING OFFICIAL'S MONTHLY REPORT**
 - A. Building Department Report – February 2024
- 9. COUNCIL REPORT/s**
 - A. February 5, 12 – O’Keefe
 - B. Next Month: March 4, 18 – Vitale
- 10. INFORMATION ONLY**
 - A. Review renderings for the streetscape changes at Mack and Vernier.
- 11. NEW BUSINESS**
 - A. Consider site plan approval of 20030 Mack Ave, Eastside Dermatology.
 - B. Host the public hearing to consider the proposed use amendments to the Zoning Ordinance.
 - C. Consider recommending amendments to the Zoning Ordinance to allow for home-based businesses, mixed occupancy along Mack Avenue, year-around outdoor cafes, and rooftop dining.
 - D. Consider approving and filing the 2023 Annual Planning report and 2024 Action Plan.
- 12. OLD BUSINESS**
- 13. PUBLIC COMMENT**
- 14. ADJOURNMENT**

PLANNING COMMISSION
01/23/24 - 1

MINUTES OF THE REGULAR **PLANNING COMMISSION** MEETING OF THE CITY OF GROSSE POINTE WOODS HELD ON **JANUARY 23, 2024**, IN THE COUNCIL-COURT ROOM OF THE ROBERT E. NOVITKE MUNICIPAL CENTER, 20025 MACK PLAZA, GROSSE POINTE WOODS, MICHIGAN.

The meeting was called to order at 7:01 p.m. by Acting Chair Fuller.

Roll Call: Acting Chair Fuller
Commission Members: Bailey, Fuller, Gilezan, Hamborsky, McNelis, O'Keefe, Vitale
Absent: Gerhart, Fenton (on leave of absence), Hamborsky
Also Present: City Planner, Brigitte Wolf
Council Member Vaughn
Recording Secretary Miotto
Rose Kim, Giffels-Webster
Jill Bahm, Giffels-Webster
Lauren Falzone, BeautiLoft Owner

MOTION by Vitale, seconded by Gilezan, to excuse Commission Members Gerhart and Hamborsky from attendance at tonight's meeting.

Motion carried by the following vote:

YES: Bailey, Fuller, Gilezan, McNelis, O'Keefe, Vitale
NO: None
ABSENT: Fenton, Gerhart, Hamborsky

The Planning Commission, staff, and the public, Pledged Allegiance to the U. S. Flag.

MOTION by Vitale, seconded by Gilezan, that tonight's agenda be received and placed on file.

Motion carried by the following vote:

YES: Bailey, Fuller, Gilezan, McNelis, O'Keefe, Vitale
NO: None
ABSENT: Fenton, Gerhart, Hamborsky

SECONDARY MOTION was made to amend tonight's agenda by moving the four **New Business** items to after Approval of December 12, 2023 Minutes

Motion carried by the following vote:

YES: Bailey, Fuller, Gilezan, McNelis, O'Keefe, Vitale
NO: None
ABSENT: Fenton, Gerhart, Hamborsky

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MOTION by Vitale, seconded by Gilezan, that the December 12, 2023, Planning Commission meeting minutes be approved as presented.

Motion carried by the following vote:

YES: Bailey, Fuller, Gilezan, McNelis, O'Keefe, Vitale
NO: None
ABSENT: Fenton, Gerhart, Hamborsky

Under **New Business**, 4 items were discussed: 1) Churchill's Cigar Lounge, 19271 Mack Avenue, site plan for year-round outdoor dining; 2) BeautiLofts site plan at 20419 Mack Avenue; 3) Review of by-laws for annual adoption; 4) Election of Officers: Chair and Vice-Chair.

- 1) **Churchill's Cigar Lounge:** Planner Wolf provided an overview of their plan and required updates. A new site plan, along with other items that require compliance, were submitted on 1/22/24 and was too late to include in tonight's agenda. Discussion ensued around the concept of their year-round outdoor dining concept of a permanent extension of their current outdoor seating area. Items discussed were Wayne County approval process; whether a photo-metric study should be done; whether smoking would be allowed and parameters around what can be smoked, and the impacts of that on the odor ordinance; ventilation; and a secondary exit.

MOTION by Vitale, seconded by Gilezan, to table the matter until the petitioner is ready to come forward again with information on lighting, ventilation, removeable sides, and other required items.

Motion carried by the following vote:

YES: Bailey, Fuller, Gilezan, McNelis, O'Keefe, Vitale
NO: None
ABSENT: Fenton, Gerhart, Hamborsky

- 2) **BeautiLofts:** Lauren Falzone, owner of BeautiLofts, provided an overview of the concept. She has four other BeautiLofts in Southeast Michigan. At issue is the interior remodel and the intensity of the proposed use (15 suites) is dependent on off-street the parking requirements for the business. Discussion ensued around the concept and Planner Wolf confirmed that the stated use of the building is already approved, but based on McKenna's analysis, it is recommended that 11 suites be the maximum intensity approved. A parking variance by the Planning Commission would still be required.

MOTION by Vitale, seconded by Gilezan, to table the matter until the March Planning Commission meeting, after the Shared Parking Agreement is adopted within the Zoning Ordinance amendment that will go before City Council at their March 5, 2024, meeting and the petitioner is ready to come forward again.

PLANNING COMMISSION
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Motion carried by the following vote:

YES: Bailey, Fuller, Gilezan, McNelis, O'Keefe, Vitale
NO: None
ABSENT: Fenton, Gerhart, Hamborsky

3) Review of by-laws for annual adoption.

MOTION by Vitale, seconded by Bailey, to accept the existing by-laws as presented.

Motion carried by the following vote:

YES: Bailey, Fuller, Gilezan, McNelis, O'Keefe, Vitale
NO: None
ABSENT: Fenton, Gerhart, Hamborsky

4) Election of Officers: Chair and Vice-Chair.

Nominations were made for McNelis for Chair (accepted) and O'Keefe for Vice-Chair (accepted).

MOTION by Gilezan, seconded by Vitale, to elect James McNelis as Chair effective at the next Planning Commission meeting.

Motion carried by the following vote:

YES: Bailey, Fuller, Gilezan, McNelis, O'Keefe, Vitale
NO: None
ABSENT: Fenton, Gerhart, Hamborsky

MOTION by Gilezan, seconded by Vitale, to elect Donna O'Keefe as Vice-Chair effective at the next Planning Commission meeting.

Motion carried by the following vote:

YES: Bailey, Fuller, Gilezan, McNelis, O'Keefe, Vitale
NO: None
ABSENT: Fenton, Gerhart, Hamborsky

The next item on the agenda was the **Discussion of Master Plan**. Jill Bahm, Giffels-Webster, provided an overview of the project's progress, after several months of discussion, that will provide direction to the City for the next 10-15 years, and the next steps on the plan preparation that consists of three main parts: 1) The Future Land Use Plan & Map; 2) The Mack Avenue Corridor Plan; and 3) The Action Plan. Today's meeting will focus on the Future Land Use Map and associated category descriptions.

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Discussion was had on land use designations, mixed use business space, residential density options, Mack Avenue configuration, cross-walks, parking, and neighborhood hub overlays.

Giffels-Webster will incorporate discussion topics into their next presentation.

No motion was made on this topic.

Due to the lateness of the hour, the Commission agreed to hear **Public Comment** from those in attendance. The following were heard:

- John Buhl, Treasurer of Woods Presbyterian Church, spoke on Brian Abner Culinary activities in their commercial kitchen. Planner Smith stated that we are proposing to make an amendment to the Zoning Ordinance to allow for mixed occupancy, as a % of the space, in any property abutting Mack Avenue. Brian Abner Culinary would require a business license and would be subject to taxes as an accessory usage of the property.

The next item on the agenda was **Discussion on Updating Permitted Uses, Zoning Ordinance Amendments**. Planner Wolf presented her memo on the following topics: 1) Home Occupation (and Home-Based Businesses); 2) Mixed Occupancy along Mack Avenue; 3) Outdoor Cafes/Dining; and 4) Rooftop Open / Semi-Open Dining.

- 1) Home Occupation and Home-Based Businesses (Article 4): proposed definition was discussed and updated to include no signs being allowed. Clarification was made that it does not allow for short-term rentals to be the home owner's business.
- 2) Mixed Occupancy on Mack Avenue (Section 50-4.2): proposed definition was discussed and updated to include that % of space of property used will be added.
- 3) Outdoor Cafes (Section 50-6.5): proposed definition was discussed and the additional floor space would require parking spaces be re-evaluated; outdoor café applications would go through Planning Commission for review. Year-round café (past November 8) permits would require review and approval by the Building Department and the Planning Commission. The location of any outdoor café will be updated to include alleyways within the property line. Enclosures in the public right-of-way were discussed along with sight line concerns on Mack.
- 4) Rooftop Dining: proposed definition was reviewed along with permitted location, and proposed use standards.

MOTION by Vitale, seconded by Bailey, to schedule a Public Hearing, inclusive of all updates discussed today, at the February 20, 2024, Planning Commission meeting.

Motion carried by the following vote:

YES:	Bailey, Fuller, Gilezan, McNelis, O'Keefe, Vitale
NO:	None
ABSENT:	Fenton, Gerhart, Hamborsky

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The next item on the agenda was the **Building Official's Monthly Report for January**.

The next item on the agenda was **Council Report/s**. Commission Member McNelis reported that there were a few items discussed in the January meetings. January 8: the sign ordinance was recommended for the first reading on January 22. On January 22, the first reading of the sign ordinance was done and the second reading was scheduled for February 5. Commission member O'Keefe will attend the February 2024 Council meetings.

There was nothing brought up in **Old Business**.

Under **Public Comment**, the following were heard:

- Lisa Fuller complimented the Commission.

MOTION by Bailey, seconded by O'Keefe, to adjourn at 10:51 p.m.

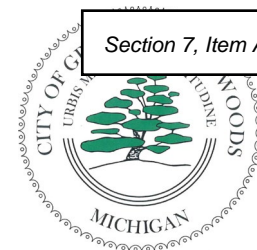
Motion carried by the following vote:

YES: Bailey, Fuller, Gilezan, McNelis, O'Keefe, Vitale

NO: None

ABSENT: Fenton, Gerhart, Hamborsky

Respectfully Submitted,
Gretchen Miotto
Clerk's Confidential Administrative Assistant & Recording Secretary



GROSSE POINTE WOODS

2024 MASTER PLAN

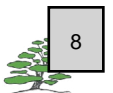


Prepared by

**Grosse Pointe Woods
Planning Commission**

December 4, 2023 DRAFT

[To be added following adoption of the plan.]





Planning Commission (PC)

James McNelis - Chair
 Donna O'Keefe - Vice Chair
 George Bailey - Member
 Christian A. Fenton - Member
 Michael Fuller - Member
 Stephen Gerhart - Member
 Grant P. Glezan - Member
 Douglas Hamborsky - Member
 John A. Vitale - Member

City Council

Arthur W. Bryant - Mayor
 Todd A. McConaghy - Council Member/Mayor Pro-Tem
 Angela Coletti Brown - Council Member
 Kenneth Gafa - Council Member
 Victoria A. Granger - Council Member
 Michael Koester - Council Member
 Thomas S. Vaughn - Council Member and Council
 Representative for the Planning Commission

City Staff

Frank Schulte, City Administrator
 Susan Como, Assistant City Administrator
 Paul Antolin, City Clerk
 Gretchen Miotto, Recording Secretary
 Brigitte Wolf, City Planner

Assisted by Giffels Webster

[To be added.]





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Introduction





Introduction

Purpose of a Master Plan

The Master Plan addresses future land uses, community development, and other community features in coordination. It portrays a clear statement of community goals and objectives, establishes a vision of the future, and includes strategies to achieve the vision. If followed carefully, the Master Plan will have a lasting impact on the built and natural environment. The Plan will likely be implemented over short-term, medium-term, and long-term timelines as specified in the Implementation Plan.

The Master Plan is long-range in its view and is intended to guide development in the City over a period of 10 to 20 years, with reviews and any necessary updates occurring every five years to maintain consistency with the Michigan Planning Enabling Act of 2008. The information and concepts presented in the Master Plan are used to guide local decisions on public and private uses of land and the provision of public facilities and services. It establishes unified long-range general policies, which can be continually referred to in decision making.

The Grosse Pointe Woods Master Plan includes a Future Land Use Plan and an implementation chapter to guide the City over the coming years. The Master Plan enables the City to address all of these related topics in a coordinated manner.

The Planning Process

The Master Plan update process began in December 2022 with an inventory and analysis of existing conditions. This document provides the findings of that analysis. Following Planning Commission review of this document, public input will be sought to help guide the creation of goals and objectives, the Future Land Use Plan, and plan implementation.

Community History and Previous Planning Efforts

The following short timeline provides information about the City's history and planning efforts.

1927

The Village of Lochmoor is founded.

1939

The Village of Lochmoor changes its name to the Village of Grosse Pointe Woods.

1940

The first zoning ordinance for Grosse Pointe Woods is adopted.

1950

The City of Grosse Pointe Woods is officially established.

1970

The City's population peaks at 21,878 persons.

1979

The City adopts its Land Use Plan.

2006

The most recent Master Plan is adopted.

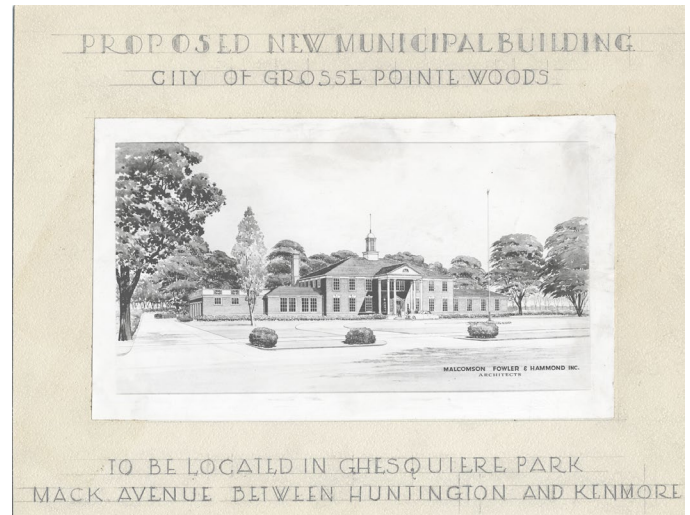
2022

Work begins on updating the 2006 Master Plan.

2006 City Master Plan

With an aging population, the built out nature of the City, and a variety of community amenities that support, retain, and attract residents, the 2006 plan targeted goals and objectives related to the following topics:

- Neighborhoods – preserving character and quality
- Business establishments on Mack Avenue – vitality and mix
- Traffic/Parking – improving circulation and parking supply
- Zoning/Land use - ideas for redevelopment



Architectural rendering of proposed new municipal building for Grosse Pointe Woods in 1964.

Source: Detroit Public Library, Burton Historical Collection

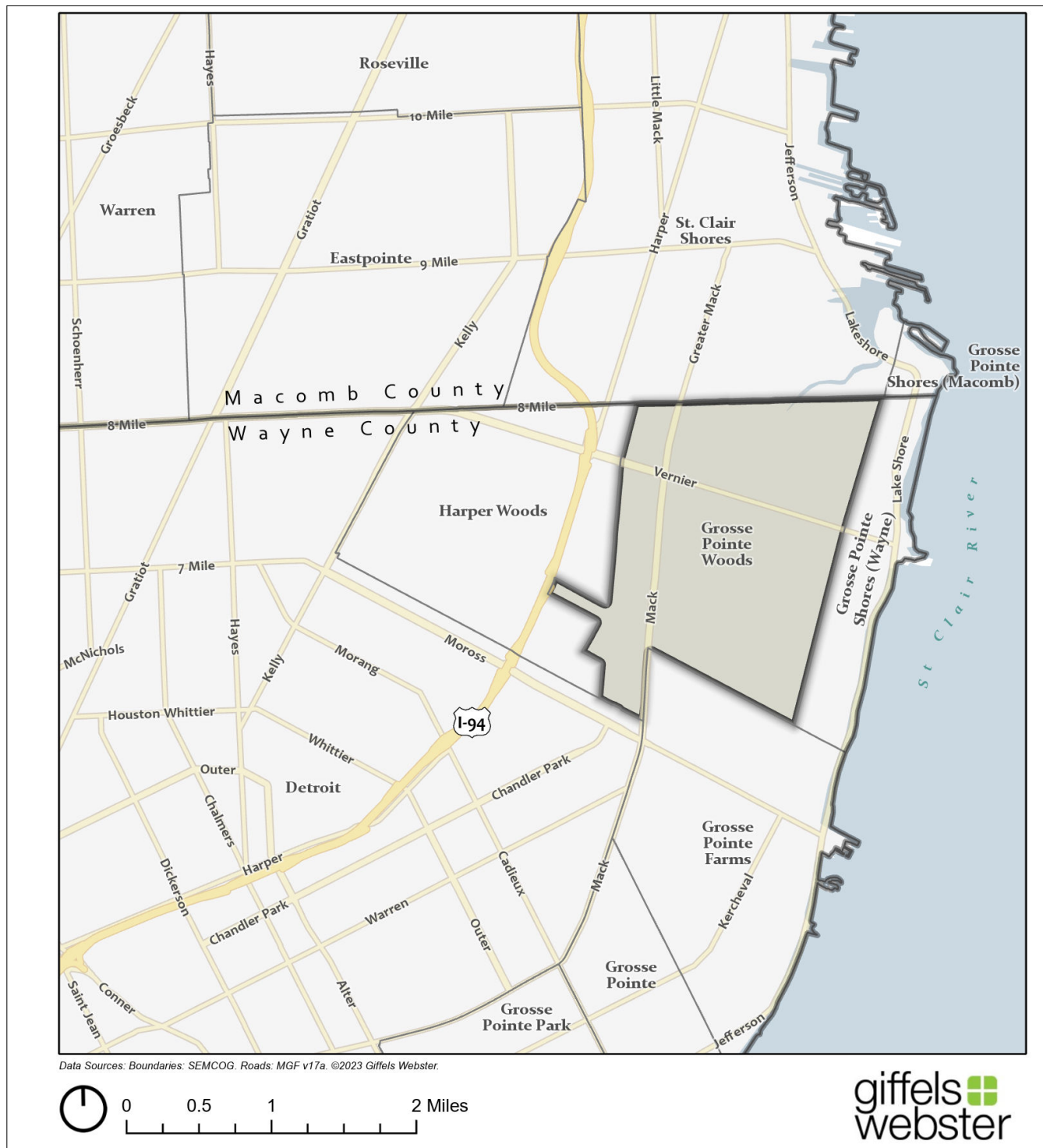
Mack Avenue Improvement Plan

The Mack Avenue Improvement Plan is an initiative that is led by the Eastside Community Network in Detroit and the cities of Detroit, Grosse Pointe Woods, and Grosse Pointe Farms. Grosse Pointe Park. The goal is to “create a shared vision for Mack Avenue and identify specific recommendations that will implement that vision.” The plan is available at www.mackaveplan.com.

Location

Grosse Pointe Woods is located in the northeast corner of Wayne County, east of I-94 and west of Lake St. Clair. It is 3.2 square miles in size.


Map 1. Location Map



Community Profile Summary


The following provides a summary of existing conditions in the City. Decennial Census data is only partially available at this Master Plan’s adoption, so 2021 American Community Survey (ACS) 5-Year Estimates are often used.


2020 Decennial Census Estimates
Grosse Pointe Woods (Wayne)


 **Population | Population growth, 2010-2021**
16,487 | 1.87% (1,820,650 | -1.49%)


2021 American Community Survey (ACS) 5-Year Estimate Grosse Pointe Woods (Wayne)


Demographics


 **Population, 2021 ACS**
16,353 (1,774,816)

 **Older population, 65+**
19.0% (16.2%)

 **Youth population, 0-17**
22.3% (23.7%)

 **Average household size**
2.6 (2.5)

 **Bachelor’s degree or higher**
64.2% (27.2%)


 **White alone, non-Hispanic population**
89.2% (49.5%)


Black alone, non-Hispanic population
5.1% (13.1%)

Other population
5.6% (16.3%)


Local Economy

 **Total jobs, 2020 [Source: OnTheMap]**
3,231 (660,422)

 **Total residents employed**
8,314 (758,657)

 **Unemployment rate**
5.0% (15.3%)


 **Median household income**
\$115,247 (\$52,605)


 **Poverty rate**
5.1% (19.6%)


 **Average travel time to work**
24.6 minutes (24.3 minutes)


 **Drove alone to work**
71.0% (69.0%)


Housing

 **Occupied housing units | Total units**
6,379 | 6,568 (685,635 | 793,207)

 **Owner-occupied / Renter-occupied**
90.5% / 9.5% (63.4% / 36.7%)

 **Median housing value**
\$274,000 (\$136,200)

 **Median gross rent**
\$1,576 (\$951)

 **Single-family homes**
94.1% (75.7%)

Public Input





Public Input

Public input is essential in the Master Plan process as it ensures that the community's vision and needs are being directly addressed.

Feedback and input from all stakeholders - residents, business owners, staff, and others - is an important consideration in developing master plan goals. Public feedback often helps prioritize issues, sometimes bringing awareness to issues that had not previously been included or emphasized in planning conversations. It also helps identify solutions, and can determine which are most likely to be successful if they were to be implemented.

The Planning Commission hosted an open house to gain feedback and insights to direct the upcoming master plan work. There were approximately 150 people in attendance at the in-person event on October 23, 2023 and an online open house was held through November 6 where 42 people responded to questions posed and 259 people viewed the page.

Residents were represented from throughout the City in both options, although those in the far northwest corner either did not provide their home residence or did not participate. Most respondents are residents, but 9 identified themselves as business owners. Almost one-third (31%) of respondents are 65-74 years old, and 23% are 35-54 years old. Most respondents (78%) intend to live in the City for at least the next decade, with 57% indicating that they plan to live here for at least twenty more years.

Below is a summary of the findings from both the in-person and online open houses. The actual responses and counts from the open houses can be found in ["Appendix C: Open House Results"](#).

People love living in Grosse Pointe Woods, and the safe, quiet community with many amenities that are offered.

Many people noted that they have lived in the City for many years, and plan to continue to live in there. The parks, especially Lakefront Park, and the amenities there such as the pool and courts were noted multiple times as unique assets and things that keep people there. Beautiful, well-maintained homes and neighborhoods that contribute to a small town family atmosphere were also noted as draws and reasons people have stayed in the City. Walkability and access to daily needs were also frequently cited characteristics that people love about the community, as well as its proximity and ease of access to Detroit. Generally, people noted quality public services, particularly public safety and public works, and emphasized the importance of having functioning basic infrastructure over other amenities.



Attendees at the October 23, 2023 open house.



Attendees at the October 23, 2023 open house.

Improving Mack Avenue to be a vibrant, thriving corridor is a priority for residents.

Open house attendees indicated that residents appreciate the proximity and access to a commercial corridor to meet their everyday needs and that they see opportunities for Mack Avenue to be improved. Aesthetic improvements, including façade improvements, landscaping in the medians and right-of-ways, adding sidewalk amenities, and creating a uniform look for the corridor businesses were suggested. Overall a greater mix of amenities is desired; fewer salons and urgent cares and a greater diversity of restaurants, boutiques, retail, and entertainment venues is wanted. Local businesses serving residents from the surrounding neighborhoods was indicated as ideal, with 98% of respondents favoring these or a mix of local and national chains over solely big-box stores. The idea of anchoring parts of the corridor as neighborhood hubs was generally positively received, and corresponds with the desire for the corridor to be accessible via foot, bike, and transit and be accommodating to these modes of travel. The desired amenities at each of the hubs was a little different for each, indicating different needs of those living in neighborhoods adjacent or near the hub compared to those of the entire City and the opportunity to support neighborhood character and desires while also improving the corridor. Further exploration and implementation of these opportunities for improvement are supported by the community.

There are many aspects of the challenges with parking, but adding more parking on Mack may not be the best solution.

When asked if overflow parking on side streets is a problem, only 13% of respondents said yes, with an additional 41% indicating that it was sometimes a problem. Many problems with parking on Mack Avenue were cited, including concerns for safety getting in and out of the car, not having a parking app and needing change to pay for parking, and reduced street maintenance such as plowing and sweeping due to cars parked along Mack all day. Eliminating parking fees or making it easier to pay for through an annual pass or parking app was suggested many times. Others noted that the existing parking lots are never full, indicating that there are already enough parking spots and the space would be better used as a bike lane to reduce the need for parking. All respondents who answered the question about what type of transportation they would like to see along Mack Avenue indicated a trolley was desirable. There were other calls to simply invest in public transit and improve bus stops, as well as to allow golf carts throughout the community to reduce the number of cars on Mack Avenue.

Single-family homes are the predominantly desired housing type, but mixed use along Mack is also of interest.

Single-family homes was selected as the type of housing respondents desire throughout their life, as new residents, and later in life. Attached townhouses/condos and cottage courts were the second and third most selected options. Along Mack Avenue, mixed-use buildings with residential units above first floor commercial uses are of interest, with particular interest for this use at the Mack and Cook intersection. Comments called for housing for an aging population and supports to age in place with condos and senior homes specified as needed and desirable. Generally, respondents were not in favor of adding multiple family options to the housing stock. Homeownership for all residents is desirable, although the cost of housing and high property taxes were identified as challenges. Maintenance of homes, and recognition and celebration of historic homes, were noted as areas to improve the existing housing options.

Pedestrian and cyclist safety a top safety concerns in the City.

Many of the comments received focused on issues and solutions to safety for those not traveling in vehicles. A mapping exercise identified areas throughout the City where crosswalks are needed, sidewalks should be repaired, speeds reduced, and visibility is problematic. High speeds on Mack, cars not yielding to pedestrians nor stopping before the intersection, and cars parked in places that reduce visibility when turning were all noted as challenges for pedestrians. A lack of bike infrastructure and poor road conditions were identified as deterrents for bicyclists. With 76% of respondents indicating that they are interested but either a cautious or concerned rider, a shared use path or a buffered bike lane will be needed for these cyclists to feel comfortable riding their bike. The City should consider how to improve pedestrian and cyclist safety, particularly along the major corridors, as part of its master plan discussions.

Finding ways to attract new families while maintaining the character of the community is seen as a necessary challenge.

Respondents are cognizant of the need to bring in new families, but also appreciate the small, quiet, bedroom community feel that the City has. It was noted that the City has many things that would attract families, such as parks, libraries, programming for young children, and the safety of the community. Concerns about the quality of the public school, and what it could mean for families coming to or staying in the City, were raised. Signature landscaping, street/pavement updates, and art were the most desirable gateway elements that could help mark that one has entered the City, create a sense of place and pride, and distinguish Grosse Pointe Woods from its neighbors. Programming for teens and young adults, or adults without children, was noted as a gap that could be filled to attract more residents and build community.

Additional results of these engagements is located in [“Appendix C: Open House Results” on page 94](#).

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Goals & Objectives





Goals & Objectives

What are goals and objectives?

Goals are general guidelines that explain what the community wants to achieve. Goals are usually long-term and represent global visions, such as “Protect the City’s natural resources.” Goals define the “what,” “why,” and “where,” but not the “how.”

Objectives identify the milestones that mark progress in achieving goals and begin to answer “how” goals will be implemented. For example, with a goal of “protect the City’s natural resources” and objective might be to “maintain the City’s tree cover.”

Performance Indicators are the various measurable indicators that help communities evaluate progress towards meeting objectives. Following the previous example, if the objective is, “maintain the City’s tree cover,” a performance indicator would be percentage of total canopy. The community should evaluate performance indicators periodically to assess trends.

Action Items are more specific and define the steps to accomplish objectives and achieve the identified goals. The most effective action strategies will include timelines and assign each task to a specific person or group. For example, one action strategy to maintain tree cover may be, “Amend the Zoning Ordinance to include requirements for tree preservation and replacement.”

The action items for the goals of this Master Plan can be found in the [“Implementation”](#) chapter.

The Planning Commission began to discuss the goals for this plan at a special meeting in July 2023. At that meeting, commissioners reviewed the goals from the previous 2006 plan. The review focused on the relevance of goals now, suggestions for consolidation and clarification of goals, and suggestions for additional goals to align with the vision from the joint visioning session and to address challenges identified.

Goals of the Master Plan

The overall goals of this Master Plan are as follows:

- [Goal 1: Residential Development](#). Provide a range of housing choices for all ages, abilities, and incomes.
- [Goal 2: Economic Development](#). Elevate Mack Avenue as a thriving, vibrant commercial corridor that meets the daily needs of residents and is a destination for visitors.
- [Goal 3: Transportation](#). Enhance the entire transportation network to provide safe, convenient, and accessible transportation choices.
- [Goal 4: Community Identity](#). Strengthen sense of place, identity, and character throughout the City and its neighborhoods.
- [Goal 5: Resiliency](#). Promote resiliency to create a more equitable and inclusive community.

Goal 1: Residential Development

Provide a range of housing choices for all ages, abilities, and incomes.

Overview

The need for different housing styles, sizes, and locations that allow people to stay in the community as people go through various stages of life is recognized as a need the City has if it wishes to retain current residents and attract new ones.

When communities have a wide spectrum of housing options to support residents, they can accomplish many goals. The availability of “attainable” housing helps accommodate everyone from young adults who are just beginning to live on their own, to families looking to grow, to older residents looking to downsize while staying in the community. It also provides for workforce housing. While there is no universal definition of “attainable housing,” The term was recently defined by the Urban Land Institute as “nonsubsidized, for-sale housing that is affordable to households with incomes between 80 and 120 percent of the area median income (AMI).”

The general rule of thumb based on guidance from the U.S. Department of Housing and Urban Development is to spend a maximum of 30 percent of a household’s income on housing costs, yet many people find themselves spending more on housing, leaving less of their income available for other household expenses. With housing costs on the rise and the supply of multifamily for-sale housing decreasing, the financial challenge of finding suitable housing options can particularly burden young adults and the elderly.

In Grosse Pointe Woods, with a median income of \$115,247, households should spend no more than \$34,574 per year or \$2,881 per month on all housing costs. For homeowners, this includes the mortgage payment, insurance and taxes. For renters, this includes rent and utility costs.

In addition to housing costs, transportation costs can also be a substantial economic burden. For the Southeast Michigan region (SEMCOG), 25 percent of income is spent on housing and 22 percent is spent on transportation. In Wayne County, 22 percent of income is spent on housing and 21 percent is spent on transportation. In Oakland County, where housing costs are higher, on average, than the region, 31 percent is spent on housing, and 23 percent on transportation). According to the Center for Neighborhood Technology, the total housing and transportation costs for the City of Grosse Pointe Woods are 58 percent (36 percent on housing, 22 percent on transportation) of income.

Over half of open house respondents (56.6%) plan to live in the City for over 20 more years.

97.1% of housing units in the City are occupied according to the 2021 ACS. Of occupied housing units, 90.5% are owner-occupied while 9.5% are renter-occupied.

As of 2021, it was estimated that 569 residents over the age of 65 lived alone and another 2,146 households included at least one senior.

The median value of a home was \$274,000 in 2021, compared to \$37,128 in 2010. Despite the decrease in housing value, rent increased \$79 during that same time to \$1,576 in 2021 (ACS 2010 and 2021).

“I strongly believe more affordable and higher density housing is a must and fully support ordinances that support such.”

“It also sounds great to have residential units built above buildings to the extent possible to further increase density.”

“I support and encourage home ownership over rentals and strongly opposed the construction of multi-family apartment complexes.”



Objectives	Performance Indicators
1. Encourage the development of new, high-quality senior housing opportunities, such as attached condominiums, multi-family or assisted living complexes, cottage court homes, or accessory dwelling units (ADUs).	To be added.
2. Encourage a mix of residential housing styles (such as ranch and colonial-style single-family homes as well as single-family home-scaled buildings with multiple units like duplexes, triplexes, fourplexes, cottage court homes, townhomes, etc.) while maintaining neighborhood integrity and design compatibility.	
3. Explore options for increasing density while maintaining the character of residential neighborhoods such as accessory dwelling units (ADUs, also known as in-law suites, granny flats, and carriage houses) and two-four unit housing in appropriate locations.	
4. Consider ways to support housing independence for those of all abilities.	
5. Maintain water, sewer, and utility infrastructure to meet the needs of residents.	
6. Create new opportunities to live along or near the city's major thoroughfares of Mack Avenue, Cook Road, and Vernier Road.	
7. Work with adjacent communities to maintain high quality, aesthetically pleasing housing options	

Action Items

The corresponding action items for this goal are contained in [“Table 5. Action Items: Residential Development” on page 58.](#)

Housing Variety

People of various incomes and experiences may choose to make the City home. Current residents who rent could be interested in staying in the community, but the entry-level purchase cost of a single-family home in the City may be too high, causing potential lifelong residents to relocate elsewhere. Expanding housing opportunities can empower residents to build equity towards home ownership and foster a greater sense of community.

One strategy to pursue a greater variety of housing options can be adding “Missing Middle Housing” to a community. Missing Middle Housing refers to a range of multi-unit or clustered housing types compatible in scale with single-family homes that help meet the growing demand for a walkable environment. Importantly, these housing types provide diverse housing options along a spectrum of affordability, including duplexes, fourplexes, and bungalow courts, to support walkable communities and locally-serving retail. Missing Middle housing can reduce the mismatch between the available housing stock and shifting demand and can improve housing attainability.

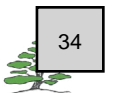
Benefits of Missing Middle Housing

- **Meets demand for size and affordability for all ages.**
 - » A practical and needed middle income and workforce housing option.
 - » Sharing land costs among multiple households makes it less expensive to purchase an individual unit than a single-family home of the same size and quality of construction.
 - » As more of our population ages, retires, and lives without children, smaller homes will be in demand.
- **Neighborhood-scaled.** The design and size make Missing Middle very compatible with detached single-family homes. The housing types are medium density but have a lower perceived density.
- **Flexible sizing.** Missing Middle housing can be used as infill, on small plots of land, or work with a location's existing natural features.
- **Historic character.** Homes that are too big for one family can be converted into multiple residences, preserving existing homes and neighborhood character while also providing more appropriately sized housing for more people.
- **Sense of community.** Family members or friends can live with or near one another while having their own space or residence at every stage of life.
- **Walkability.** Missing Middle near downtowns or mixed use areas increase walkability for residents and economic vitality for business owners and can reduce the need for a car and parking.

Best Locations for Missing Middle Housing

- Distributed throughout an existing single-family residential block
- On the end of a block
- As a commercial corridor transition to mixed-use and residential areas
- As a transition to higher density housing areas

Sources: Opticos Design, [“Missing Middle Housing”](#) and AARP, [“Discovering and Developing Missing Middle Housing”](#)



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Goal 2: Economic Development

Elevate Mack Avenue as a thriving, vibrant commercial corridor that meets the daily needs of residents and is a destination for visitors.

Overview

Mack Avenue is the backbone of the community, providing amenities to residents and visitors as well as employment opportunities. Working to make this a corridor which can serve a variety of daily needs and attract businesses and visitors to Grosse Pointe Woods is a priority for maintaining and improving the City's quality of life.

Studies have found that local spending helps the local economy more than spending that comes from outside the community as spending at local businesses has a higher recirculation rate than spending outside of the community does. Money spent at local businesses is then spent on other local goods and services, creating a more significant impact than when money is spent in other communities. One study conducted in 2004 found that for every \$100 spent at a local business, approximately \$68 stayed in the local economy. When the same amount was spent at a big box store, only about \$43 stayed in the local economy (The Andersonville Study of Retail Economics).

Current trends such as a shift to remote work due to the COVID-19 pandemic, rising internet sales has led to a decline in commercial and office demand. Commercial developments which are anchored by residential uses have demonstrated success in maintaining occupancy. Mixed use developments often include greater density housing types with neighborhood-scale commercial goods and services to serve the residents therein and could be an appropriate option along Mack Avenue. Mixed-use developments are particularly amenable to the needs of seniors and children who often do not drive, by providing increased accessibility and opportunities for walkability that are not present in other areas of the City, further away from Mack Avenue. These developments could result in enhanced mobility outcomes and greater independence to meet other trends like an aging population and housing supply shortages.

Based on input from the open house, residents generally prefer a lively Mack Avenue with a high amount of activity with local and chain businesses, but not necessarily big-box stores or national chains.

The percentage of roads in the City that were rated as "fair" increased 8% to 48% between 2007 and 2020-2021. However, the share of roads rated as "good" decreased 18% during that time, resulting in more roads being considered to be in "poor" condition.

"[P]lease regulate the type of business that is opening. Maybe have a limit as to the number of nail salons, urgent care facilities and when the number is reached then that's it."

"Our current address is within walking distance to the businesses on Mack and that is something we love about it. The primary reason we moved where we are, is the accessibility of businesses and the ability to have an urban feel, while still having a home in a neighborhood. Anytime there is even the slightest rumor of a new restaurant coming to town, we get extremely excited."



Objectives	Performance Indicators
1. Encourage the strategic development of commercial businesses along Mack Avenue that primarily offer the types of goods and services used by local residents.	To be added.
2. Maintain the aesthetic appearance of Mack Avenue.	
3. Attract people to visit and spend time in the corridor.	
4. Encourage a mix of commercial and residential uses within the Mack Avenue Corridor.	
5. Promote a safe and attractive shopping environment for multimodal users.	
6. Improve the appearance of the alleys running parallel to Mack Avenue.	
7. Improve the development review process for businesses, property owners and developers.	
8. Work with adjacent communities towards a balanced mix of retail, personal service, and entertainment options in the area.	

Action Items
The corresponding action items for this goal are contained in “Table 6. Action Items: Economic Development” on page 60.

Benefits of Local Economic Development

- **The Multiplier Effect.** The multiplier effect refers to the economic phenomenon of initial spending leading to increased consumer spending within a community, resulting in greater income for that community. It is estimated that for every \$1 spent locally, your dollars circulate through the local economy two to four times more than money spent at a non-local company.
- **Local Jobs are Created and Sustained.** The multiplier effect, as well as your initial local spending, creates and keeps jobs in the area. This improves household finances, increases disposable income, and keeps money circulating.
- **Increased Tax Base.** More dollars spent and more people working in the community creates a larger tax base.
- **Greater Provision of High Quality Services and Infrastructure.** With more funds available to local governments, more and higher quality services and infrastructure can be provided. These things such as road improvements and repairs, water and sewer infrastructure, robust and reliable high speed internet, more recreational spaces and programming, and generally better governmental operations can greatly improve quality of life for many residents and decrease individual resident and homeowner costs.
- **Diversifies the Economy, Making it Less Susceptible to Downturns.** Just like in personal investing, diversifying the investments made in a community through the businesses that locate there can reduce the risk that the community will be greatly impacted if there is a change in the course for that business or industry.
- **Supports Community Identity and Pride.** Local commercial corridors can help define and mark a community, both for residents and visitors. Supporting local businesses and the entire business corridor can create a “third place” – semi public, semi-private spaces that are not home or work/school – where people can spend time with friends, get their needs met, and engage in the community.



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Goal 3: Transportation

Enhance the entire transportation network to provide safe, convenient, and accessible transportation choices.

Overview

Improving and increasing the ways residents and visitors can get around the City, including enhancing the safety for nonmotorized transportation options, is key to creating a vital commercial corridor and improving health.

‘Complete Streets’ is a term used to describe a transportation network that includes facilities for vehicles, pedestrians, cyclists, and other legal users of all ages and abilities. In 2010, Michigan passed the Complete Streets legislation to encourage and justify the development of Complete Streets in communities. At that time, Michigan’s Planning Enabling Act was also amended to require master plans to address Complete Streets. Communities that adopt Complete Streets policies recognize that:

- Complete Streets provide transportation choices, allowing all people to move about their communities safely and easily.
- Complete Streets policies acknowledge the problems with current transportation facilities.
- Implementing Complete Streets strategies will make communities better places to live and work.

An important element of the Master Plan is a plan for the overall system of streets and roads in a community. This system provides for the movement of people and goods to and from places inside and outside the community. Road rights-of-way also provide places for utilities such as water lines, gas lines, sanitary and storm sewers, cable television lines, electrical power and telephone lines to co-locate, lowering the need for easements across private land. Because of these combined roads and utility function, the system of roads in a community can impact economic conditions, environmental quality, energy consumption, land development, and overall quality of life in a community.

The majority (71.3%) of resident workers 16 years of age or older drive alone to work and 21.4% worked at home. Approximately 1% either took public transportation, walked, or biked, and the remaining 4% carpooled.

Several intersections along Mack Avenue have the highest rates of vehicle crashes in the City, with intersections at Vernier Rd., Lancaster Ave., Littlestone Rd./Shelbourne Rd., Lochmoor Blvd., and Cook Rd. ranked as high frequency crash locations.

“Mack Avenue is like a racetrack.”

“Lochmoor Blvd on the east side of Mack Ave is a beautiful stretch for pedestrians and cyclists. Honestly, a lot of the city is walkable and I’d love to see this focused and improved upon. (Might help with parking too if there are less cars.)”

“Local public transportation would also help in bringing vitality to the district.”

“I believe better and more cross walks would enable more foot traffic and more potential for more foot traffic into the local shops. It may also encourage more unique shops on Mack.”

Objectives	Performance Indicators
1. Encourage the maintenance of and/or improvements to local streets and sidewalks to ensure safe access to the City’s residential neighborhoods.	To be added.
2. Provide linkages for various modes of transportation to the City’s commercial districts.	
3. Encourage through traffic to bypass residential neighborhoods.	
4. Improve safety, comfort and convenience for non-motorized transportation.	
5. Promote sufficient, accessible and attractive parking along or adjacent to Mack Avenue.	
6. Prepare for micro-mobility, electric vehicles, autonomous vehicles, and other new transportation technologies.	
7. Collaborate with adjacent communities to explore additional transportation options, such as a trolley, in the area.	

Action Items
The corresponding action items for this goal are contained in “Table 7. Action Items: Transportation” on page 62.

Other than ongoing maintenance to keep local streets and sidewalks in good repair, there may be opportunities to further enhance the City's transportation network to better serve all users. These may include the following:

Site Design

Minor improvements within a site can improve the usability of public non-motorized facilities such as requiring safe pedestrian connections from building entrances to street sidewalks, requiring parking facilities including bike racks and/or storage lockers along with parking for motorized vehicles and considering access management within the parking lot. All bike parking should meet the APBP guidelines (Association of Pedestrian and Bicycle Professionals).

Access Management

Typical driveway standards require alignment or minimum offsets, as well as separation from intersections and other driveways on the same side of the street to improve safety of motorists. Additional access management techniques include limiting the number of access drives on major roads, shared drives, encouraging joint access easements and maximizing corner clearance requirements especially for intersections that require special attention.

Collaboration

Collaboration with multiple stakeholders is another important tool for successful implementation. Indeed, with road facilities connecting with and shared by adjacent communities, it is critical to have shared visions of local transportation goals. Most of the time, the roadway jurisdiction determines the combination of outside agencies that are required to be part of the stakeholder team. Local residents, surrounding municipalities, the WCRC (Wayne County Road Commission), Southeast Michigan Council of Governments (SEMCOG), Michigan Department of Natural Resources (MDNR), Michigan Department of Transportation (MDOT) and other local non-profit agencies such as Michigan Trails and Greenways, or Rails to Trails conservancy are the potential members of a team.

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Goal 4: Community Identity

Strengthen sense of place, identity, and character throughout the City and its neighborhoods.

Overview

Creating a specific look and feel to the City that instills pride in residents and inspires visitors is an important strategy to attract and keep businesses and residents in the City.

Community identity is an important element of a place. It helps people feel connected to the spatial and physical elements, as well as the other people there. The most evident factor in creating and maintaining a place's identity is appearance. The physical attributes of places may be the only impression people have of the community. Components of community identity, such as banners, particular sidewalk markings, or gateways can help people identify the boundaries of a specific area and connect that to specific events, experiences, or people. Other strategies for creating community identity include events (particularly if they are on a regular basis), activation of vacant and public spaces, pop-up events, and pop-up businesses. All of these could be useful strategies to employ along Mack Avenue. Collaboration with business owners would be helpful in creating this sense of identity and drawing people into the area to enjoy what the businesses have to offer.

Creating and nurturing civic identity is critical for effective and efficient local governance. Civic identity can instill pride in residents that encourages them to vote in local elections as well as participate as City board/commission members. A solid, recognizable civic identity works with community character to support economic development—both for business attraction and retention. It can also support local institutions who may rely on people from outside the community to understand where they operate.

Based on input from the open house, walkability, parks, and proximity to Detroit were identified as defining characteristics that people love most about Grosse Pointe Woods.

Attendees also shared landscaping is the element they believe would be most appropriate to enhance gateways to the City and contribute to the identity of the community. Art, streets/pavement, and lighting would also be desired.

“We love the neighborhood feel of the community.”

“It doesn’t seem like the city has a cohesive viewpoint of how the city should look and then make sure it is followed by business owners and residents as well.”

“Uniformity of Mack Avenue is a must to make our city a beautiful place to live and to attract younger generations to Grosse Pointe Woods.”

Objectives	Performance Indicators
1. Strengthen and enhance the single-family character of existing neighborhoods, with quality parks, commercial areas, public services, and schools.	To be added.
2. Offset negative impacts of commercial activities (e.g., noise, light, traffic, etc.) on residential areas with well-designed buffers and transitions.	
3. Promote neighborhood identity.	
4. Maintain quality parks.	
5. Ensure existing single-family homes are consistent with the surrounding neighborhood.	
6. Maintain quality building materials and design throughout the City.	
7. Identify, preserve, and enhance the culturally significant sites in the City.	
8. Promote public art throughout the City.	

Action Items
The corresponding action items for this goal are contained in “Table 8. Action Items: Stewardship” on page 64.

Goal 5: Resiliency

Promote resiliency to create a more equitable and inclusive community.

Overview

As we learned during the COVID-19 pandemic, it is not enough to have a thriving and vibrant area; resiliency is also needed. Improving the City's environmental, social, and financial resiliency to future shocks and disruptions will help Grosse Pointe Woods manage the challenges created and rebound sooner.

It is becoming critical to include concepts of resiliency and sustainability into land use plans. Though they are related, resiliency and sustainability are not the same. Sustainability is the well-established concept that focuses on decreasing or eliminating the detrimental future impacts of our current activity. Resiliency recognizes that our built environment will be subject to stresses and is the practice of designing that environment in a way that can endure those stresses. Some threats are ongoing, persistent stresses, while others are sudden shocks or single events that disrupt the day-to-day functioning of the community.

As we plan for the future, many of the challenges we will face are related either directly or indirectly to our place in larger systems, both natural and man made. We often have little direct local control over these systems, but adapting to change and discovering our role in contributing to the health of these systems is nonetheless essential to planning for a community that can survive and thrive even in the face of the most severe challenges.

Michigan is affected by our changing climate in many ways, some of which may seem counterintuitive. For instance, as average annual temperatures rise, the chance of prolonged deep freezes such as those experienced in the 2013-2014 and 2014-2015 winters may increase, as warming elsewhere on the planet destabilizes the jet stream, allowing Arctic air that would normally be trapped further north to descend into the Upper Midwest.

45.4% of land in the City is impervious.

40.7% of land in the City is open space (agricultural fields, grasslands, turfgrass).

33.7% of the City is covered by tree canopy.

“We have a great community with beautiful and safe parks and neighborhoods. I appreciate that we are a tree city but we don’t have many open areas to roam. We need to keep as much green space as possible and replace trees were they have been removed in the city areas.”

“If you want to talk about making our city thrive - make it accessible for everyone - the business owners, the citizens, the able bodied and those that are not able to drive, but who can walk, bike, utilize their wheelchair to get around instead!!”

Objectives	Performance Indicators
1. Promote the City as an attractive community for all.	To be added.
2. Increase healthy tree canopy throughout the City.	
3. Increase resident participation in community events and decisions.	
4. Prepare for severe weather events, flooding, and other environmental threats.	
5. Collaborate and coordinate with surrounding communities to enhance services provided to residents.	
6. Ensure the City's Master Plan and Zoning Ordinance continue to reflect the community's vision and needs.	
7. Support a variety of work environments, including home-based businesses and co-working spaces.	
8. Collaborate with adjacent communities to develop preparedness and resiliency plans.	

Action Items
The corresponding action items for this goal are contained in “Table 9. Action Items: Community and Public Facilities” on page 66.

Though an entire community will be affected by a major event such as a severe storm, flood, or long power outage, certain segments of the population are more vulnerable to the effects of such events, and in some cases are also more likely to live in locations that are more likely to be severely affected.

Though the most vulnerable populations will vary based on the specific event, certain population segments warrant special attention even in a general analysis. Low-income households may lack the financial resources to support quick recovery after a disaster or to prepare effectively for likely future events. The elderly and disabled may similarly lack financial resources and mobility, and may be more socially isolated than other groups. Especially in extreme heat events, the elderly and very young children are much more likely to be badly affected, including to the point of hospitalization, than the general population.

Sustainability and resiliency planning helps create a more equitable and inclusive community where people want to live, work, and play. Future planning should include: further refining sustainability and resiliency in the context of the City determining areas of focus and goals, gathering baseline data related to focus areas, and setting up systems to monitor, collect, record, and analyze data.

Moving forward, planning efforts should include a public outreach process in two basic parts: education and input. Education includes making community members aware of potential threats and the process of planning for them, with an emphasis on outreach to the most vulnerable members of the community. The input process should offer the opportunity for residents and other stakeholders such as City staff, commercial property owners and business owners to engage in detailed, focused conversations regarding resiliency planning issues.

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Future Land Use Plan





Future Land Use Plan

The Future Land Use Map illustrates where the City intends to locate general land use categories into the future. The map is accompanied by text that describes the categories shown on the map. The text is general in nature, to allow for some flexibility, but it should also be specific enough to not only guide any zoning amendments that may be needed to realize the vision of the plan, but also to provide the City support for land use policies and decisions (like a planned unit development (PUD) or a rezoning application).

Where the Future Land Use Map and Zoning Map are out of alignment, zoning amendments may not be intended to be imminent; rather, the recommendations set a long-range planning goal for the City.

Future Land Use Map

The Future Land Use Map illustrates the City's vision for the future, as shown in [Map 2](#).

Below are the key changes that were made to the map during the course of this update.

[To be added.]

[Table 1](#) shows how the future land use categories have changed from the 2006 Master Plan, The Zoning Plan and which future land use categories correspond to the City's zoning districts can be found in the ["Implementation"](#) chapter.

Map 2. 2024 Future Land Use Map

[To be added.]

Table 1. Future Land Use Categories, 2006 to 2024

2006 Future Land Use Category	2024 Future Land Use Category
Single Family Low Density Residential	Single Family Low Density Residential
Single Family Medium Density Residential	Single Family Medium Density Residential
Two Family Residential	Low Density Multi-Unit Residential
Planned Multi-Family	Planned Multi-Family
Office	Corridor Mixed Use
City Center/Mixed Use	Regional Business
General Business/Mixed Use	Corridor Mixed Use
Institutional	Institutional
Parks and Recreation	Parks and Recreation
Parking	Corridor Mixed Use

Future Land Use Descriptions

The Future Land Use Map is accompanied by text that describes the categories shown on the map and support the future land use map by providing context and general direction to guide land use decisions, including new zoning standards as well as for special land uses, rezonings and other City improvements.

Single Family Low Density Residential

This category is designed to provide an environment of predominately lower density, single family detached dwellings along with related uses on lots of 7,200 square feet and greater. These lots, primarily found in the center of the City, south of Vernier and east of Mack, will generally equate to the City's R-1A, R-1B, and R-1C single family zoning districts.

Single Family Medium Density Residential

This land use classification is designed to allow medium density residential development for single family detached dwellings along with other related facilities on lots of less than 7,200 square feet. These lots comprise the bulk of the City's residential lots, north of Vernier and west of Mack and generally equate to the City's R-1D and R-1E single family zoning districts.

Low Density Multi-Unit Residential

This residential designation includes quadplex (four families), triplex (three families), duplex (two families) and single-family housing units. Lots designated as Low Density Multi-Unit are located in selected areas of the City primarily along Vernier Road. It is limited to areas where there are existing duplex units along major collector streets. R-2 Two-Family and R-4 High Density Multiple Dwelling zoning corresponds to this designation with an anticipated density of 6-7 dwellings/acre.

Planned Multi-Family

This land use category includes residences of various styles at a density of approximately six (6) to eighteen (18) units an acre and corresponds to the R-3 and R-4 zoning districts.

Corridor Mixed Use

This land use designation includes retail, restaurant, personal service, and office establishments which are designed for the day-to-day needs of nearby residents and are found along the Mack Avenue corridor. These facilities are intended to be located in close proximity to residential neighborhoods but with adequate buffering. These land uses equate to the City's C Commercial zoning district, P Parking district and some areas zoned RO-1 Restricted Office.

Mack Avenue, for most of its length in the City, was developed in a different era and is no longer compatible with modern commercial needs, particularly with respect to the depth of parcels. Many parcels are often inadequate to support modern site and structure design. The City has addressed this in the past through the "Parking" land use and zoning designations, with publicly owned property being developed and maintained by the City to accommodate the parking needs of nearby businesses.

It is recognized that allowing commercial and mixed use parcels to expand for greater depth means the demolition of existing structures, but this could be done in an appropriate manner that preserves the character of surrounding areas through limited infringement of residential area integrity.

The Corridor Mixed Use classification is intended to meet the City's long-term redevelopment potential needs and is envisioned to include a mix of retail, residential and ancillary parking uses that are smaller scale than traditional big box stores and serve community needs.

Regional Business

The Regional Business designation includes the City's most intense commercial uses. These uses are clustered at Mack Avenue and the City's southern boundary. These areas include multi story commercial and office facilities. Mixed use complexes involving commercial, office, and/or residential uses can also be considered. The C-2 High Intensity City Center zoning district corresponds to this land use classification.

Institutional

This land use designation is located where existing schools, places of worship, and public buildings are currently in operation with the City, and fall primarily within residential neighborhoods. These land use designations align with the C-F, Community Facilities zoning designation. Should they no longer serve their original purpose, the City may consider other uses that support community services and fellowship; otherwise, these areas should align with a surrounding land use.

Parks and Recreation

The Parks and Recreation classification includes existing public recreation facilities and private clubs within the City of Grosse Pointe Woods. These uses are often permitted within multiple zoning districts within the City as permitted uses.

Parking

This land use classification includes municipal parking lots located along Mack Avenue. These parking lots primarily service retail, restaurant, and office uses within the corridor and are maintained by the City of Grosse Pointe Woods.

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Implementation





Implementation

The thoughtful preparation and adoption of any plan would be of diminished value without a program of implementation strategies. The implementation strategies of this chapter will assist the City in putting the key recommendations of the Master Plan to work.

The implementation program is based on this plan's goals and objectives ([“Goals & Objectives” on page 24](#)), prior planning efforts, and input received.

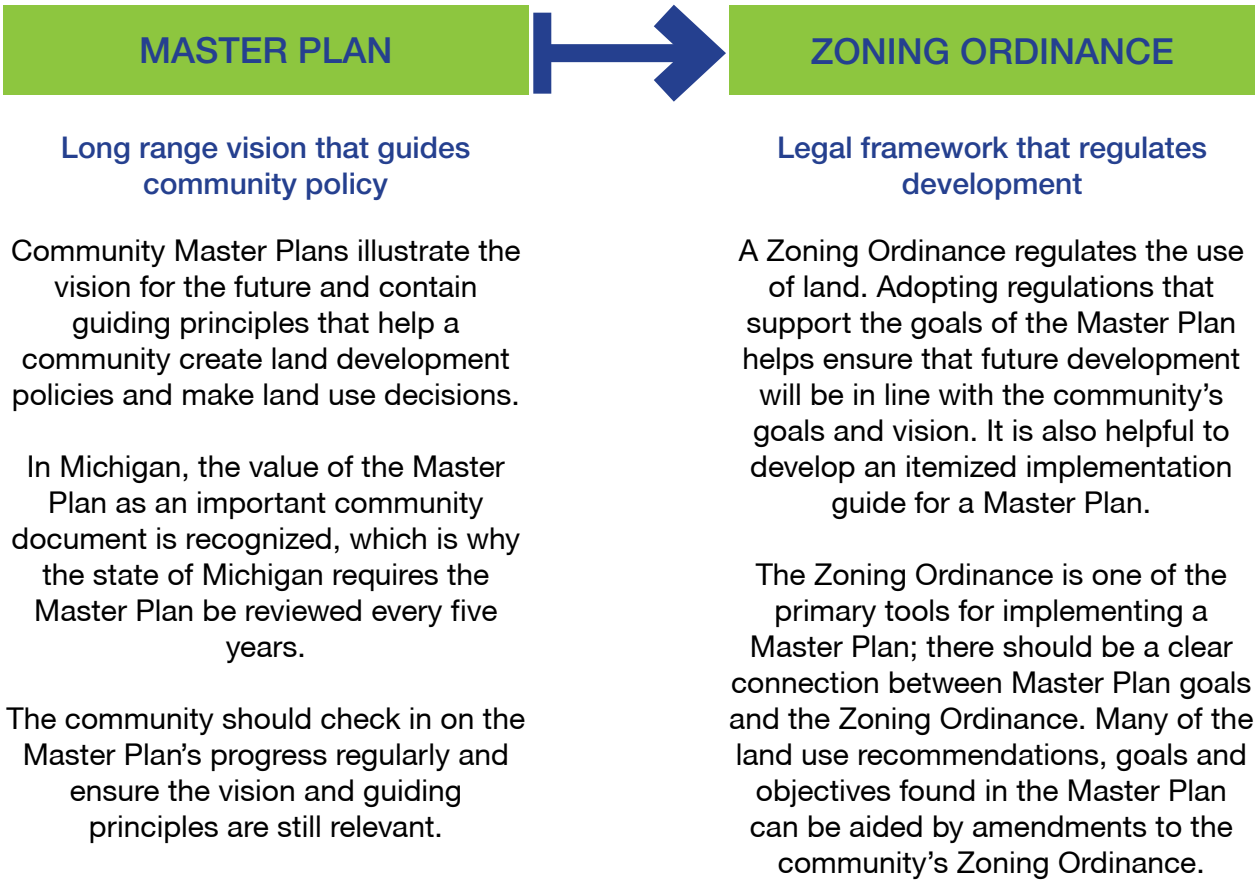
Zoning Plan

The Zoning Plan for this Master Plan update shows how the City's planned long-range land use will be implemented through the use of zoning regulations.

Each future land use category should have an appropriate zoning framework for regulating development. There are a few zoning district classifications that may need to be amended to be consistent with the changes suggested in the Future Land Use Map and descriptions.

[Table 2](#) shows how the land uses of the Master Plan are intended to generally align with the City's zoning districts and the suggested Zoning Plan based on the changes proposed in the Future Land Use Map sections.

Figure 1. Relationship between Master Plan and Zoning Ordinance



This chapter will be developed in the coming months.

Key changes proposed for the City’s Master Plan Update Zoning Plan:

Table 2. 2024 Zoning Plan

Future Land Use Category	Corresponding Zoning District
Single Family Low Density Residential	R-1A, R-1B, R-1C
Single Family Medium Density Residential	R-1D, R-1E
Low Density Multi-Unit Residential	R-2 – Note: Amendment to this district or a new district may be needed to permit 3- and 4-family dwellings (either by right or special land use).
Planned Multi-Family	R-3, R-4
Corridor Mixed Use	C, RO-1, P – Note: A new mixed use zoning district could be created that consolidates the C, RO-1 and P districts
Regional Business	C-2
Institutional	CF
Parks and Recreation	Any district

Action Items

Bringing plans to fruition is best done through consistent, incremental, and logical implementation of steps towards the final goals. The implementation matrices that follow are designed to show how the goals of the Master Plan are fulfilled by action items, or strategies. All boards and commissions are encouraged to read through the strategies to understand how they all work together to create a better community to live, work, and play.

In order to illustrate the connection between goals, objectives, and action strategies, each of the implementation matrices that follow align with the Master Plan goals, which are noted at the top of each matrix. Within each matrix, the action items are broken into subcategories intended to assist with identification and prioritization. Not all goals contain action items within each subcategory and some action items are repeated as they can advance more than one goal. The matrix subcategories are listed in [Table 3](#).

Table 3. Implementation Action Item Types

Action Item Type	Description
Zoning	These are items requiring zoning amendments and will generally be led by staff and the Planning Commission.
Advocacy	These will be items involving education of the community, including residents, business owners, property owners, developers and design professionals. They will be led by a combination of staff, boards and commissions. This may also involve City staff and officials working with county and state officials to coordinate plans and funding, as appropriate.
Capital Improvement	These items involve large capital investments, such as equipment, projects or studies, that require inclusion into the City's Capital Improvement Plans (CIPs) in order to determine the most efficient time and method of completion and may involve multiple municipal departments.
Other	Other items may involve research, study, and further evaluation by staff and/or other boards and commissions.

The tables that follow assign actions to the goals and objectives, leaving room to establish priority levels for short-term, mid-term, and long-term items as the next step following adoption of this plan. This chapter should be reviewed periodically and at least annually to assess progress and adequately budget for specific strategies. Each action should have a "lead," a board, commission, group, or individual who is responsible for project initiation and coordination.

Table 4. Implementation Matrix Columns

Matrix Column	Description
Action Item	The strategic actions necessary to carry out goals and objectives.
Lead Body	Identifies the primary party responsible for accomplishing the action item.
Priority / Time Frame	Identifies and prioritizes the time frame for the action item to be implemented. Generally, short time frames are intended as three years or less; medium time frames are three to five years, and long time frames are over five years. Priorities would generally be categorized as high, medium, or low.
Potential Funding Sources	Potential funding sources that could be utilized to accomplish the action item.
Potential Supporting Partners	Potential parties who may be involved in the accomplishment of the action item.
Abbreviations	PC = Planning Commission; Staff = City Staff; CC = City Council; MDOT = Michigan Department of Transportation; NA = Not Applicable; WCRC = Wayne County Road Commission

After adoption, the Planning Commission will assign time frames or priorities to the action items. These time frames are intended as guides and may be adjusted as resources allow or as other issues arise. The plan should be treated as a living document and the Planning Commission is expected to make changes to the tables as needed.

Implementation Tools and Techniques

The Grosse Pointe Woods has a wide variety of tools and techniques at its disposal to help implement its long-range planning, including, but not limited to:

- Zoning Ordinance standards and Zoning Map
- Code enforcement
- Special design plans and study area plans
- Capital improvement program (CIP)
- Public-private partnerships (P3s or PPPs)
- Site plan, special land use, and rezoning review
- Special millages and assessments
- Local land trusts and conservancies
- Federal and state grant programs
- State and regional partnerships
- Tax increment financing, including existing DDA
- Tax abatements for industrial growth and commercial/obsolete property rehabilitations
- Parks and recreation planning
- Re-evaluation and adjustment of the Master Plan

Metrics

In order to assist the City with implementation, each objective has metrics associated with it that should be assessed annually, or as data is available. In some cases, new tools will need to be developed to help gauge success in order to garner support from both the community as well as appointed and elected officials. Metrics can be found in the [“Goals & Objectives”](#) chapter.

Goal 1: Residential Development

Provide a range of housing choices for all ages, abilities, and incomes.

Objectives:

- 1. Encourage the development of new, high-quality senior housing opportunities, such as attached condominiums, multi-family or assisted living complexes, cottage court homes, or accessory dwelling units (ADUs).
- 2. Encourage a mix of residential housing styles (such as ranch and colonial-style single-family homes as well as single-family home-scaled buildings with multiple units like duplexes, triplexes, fourplexes, cottage court homes, townhomes, etc.) while maintaining neighborhood integrity and design compatibility.
- 3. Explore options for increasing density while maintaining the character of residential neighborhoods such as accessory dwelling units (ADUs, also known as in-law suites, granny flats, and carriage houses) and two-four unit housing in appropriate locations.
- 4. Consider ways to support housing independence for those of all abilities.
- 5. Maintain water, sewer, and utility infrastructure to meet the needs of residents.
- 6. Create new opportunities to live along or near the city’s major thoroughfares of Mack Avenue, Cook Road, and Vernier Road.
- 7. Work with adjacent communities to maintain high quality, aesthetically pleasing housing options.

Table 5. Action Items: Residential Development

Action Item	Lead Body	Priority / Time Frame	Potential Funding Source	Potential Supporting Partners
Zoning				
Advocacy				
Capital Improvement				

Action Item	Lead Body	Priority / Time Frame	Potential Funding Source	Potential Supporting Partners
Other				

Goal 2: Economic Development

Elevate Mack Avenue as a thriving, vibrant commercial corridor that meets the daily needs of residents and is a destination for visitors.

Objectives:

- 1. Encourage the strategic development of commercial businesses along Mack Avenue that primarily offer the types of goods and services used by local residents.
- 2. Maintain the aesthetic appearance of Mack Avenue.
- 3. Attract people to visit and spend time in the corridor.
- 4. Encourage a mix of commercial and residential uses within the Mack Avenue Corridor.
- 5. Promote a safe and attractive shopping environment for multimodal users.
- 6. Improve the appearance of the alleys running parallel to Mack Avenue.
- 7. Improve the development review process for businesses, property owners and developers.
- 8. Work with adjacent communities towards a balanced mix of retail, personal service, and entertainment options in the area.

Table 6. Action Items: Economic Development

Action Item	Lead Body	Priority / Time Frame	Potential Funding Source	Potential Supporting Partners
Zoning				
Advocacy				
Capital Improvement				

Action Item	Lead Body	Priority / Time Frame	Potential Funding Source	Potential Supporting Partners
Other				

Goal 3: Transportation

Enhance the entire transportation network to provide safe, convenient, and accessible transportation choices.

- Objectives:
1. Encourage the maintenance of and/or improvements to local streets and sidewalks to ensure safe access to the City's residential neighborhoods.
2. Provide linkages for various modes of transportation to the City's commercial districts.
3. Encourage through traffic to bypass residential neighborhoods.
4. Improve safety, comfort and convenience for non-motorized transportation.
5. Promote sufficient, accessible and attractive parking along or adjacent to Mack Avenue.
6. Prepare for micro-mobility, electric vehicles, autonomous vehicles, and other new transportation technologies.
7. Collaborate with adjacent communities to explore additional transportation options, such as a trolley, in the area.

Table 7. Action Items: Transportation

Action Item	Lead Body	Priority / Time Frame	Potential Funding Source	Potential Supporting Partners
Zoning				
Advocacy				
Capital Improvement				

Action Item	Lead Body	Priority / Time Frame	Potential Funding Source	Potential Supporting Partners
Other				

Goal 4: Community Identity

Strengthen sense of place, identity, and character throughout the City and its neighborhoods.

Objectives:

- 1. Strengthen and enhance the single-family character of existing neighborhoods, with quality parks, commercial areas, public services, and schools.
- 2. Offset negative impacts of commercial activities (e.g., noise, light, traffic, etc.) on residential areas with well-designed buffers and transitions.
- 3. Promote neighborhood identity.
- 4. Maintain quality parks.
- 5. Ensure existing single-family homes are consistent with the surrounding neighborhood.
- 6. Maintain quality building materials and design throughout the City.
- 7. Identify, preserve, and enhance the culturally significant sites in the City.
- 8. Promote public art throughout the City.

Table 8. Action Items: Stewardship

Action Item	Lead Body	Priority / Time Frame	Potential Funding Source	Potential Supporting Partners
Zoning				
Advocacy				
Capital Improvement				

Action Item	Lead Body	Priority / Time Frame	Potential Funding Source	Potential Supporting Partners
Other				

Goal 5: Resiliency

Promote resiliency to create a more equitable and inclusive community.

Objectives:

- 1. Promote the City as an attractive community for all.
- 2. Increase healthy tree canopy throughout the City.
- 3. Increase resident participation in community events and decisions.
- 4. Prepare for severe weather events, flooding, and other environmental threats.
- 5. Collaborate and coordinate with surrounding communities to enhance services provided to residents.
- 6. Ensure the City’s Master Plan and Zoning Ordinance continue to reflect the community’s vision and needs.
- 7. Support a variety of work environments, including home-based businesses and co-working spaces.
- 8. Collaborate with adjacent communities to develop preparedness and resiliency plans.

Table 9. Action Items: Community and Public Facilities

Action Item	Lead Body	Priority / Time Frame	Potential Funding Source	Potential Supporting Partners
Zoning				
Advocacy				
Capital Improvement				

Action Item	Lead Body	Priority / Time Frame	Potential Funding Source	Potential Supporting Partners
Other				

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Appendix A

Existing Conditions

Appendix A: Existing Conditions

The information in this Community Profile presents the background for the Master Plan. It begins by providing data on the current residents of Grosse Pointe Woods and extrapolating trends to consider how the community may be composed in the future.

Specifically, demographic measures such as population, age, race, and educational attainment; economic statistics such as household income and commute factors; and housing data such as housing value and age are discussed.

Demographics

Sound policy making and planning require an understanding of who is currently in a community and who is likely to be there in the future. Demographics allow communities to identify and track trends in population, aging, migration, and local economies, among other things. For these reasons, Master Plans carefully review and use demographic analyses to prepare for issues and demands that a community will face, both now and in the future. The demographic profile of the community influences, in many ways, the resources, programming, and physical infrastructure that will meet the needs of residents and businesses.

The current data included in this Master Plan is mostly from the U.S. Census Bureau's 2017-2021 American Community Survey (ACS) 5-Year Estimates. For comparison, the 2010 and 2020 Decennial Census and other ACS 5-Year Estimates are frequently used. Since ACS data are estimates and not counts and the City is a small geographic area, the data can have large margins of error and the data may be less reliable. Moreover, this data does not reflect the full extent of changes the City has experienced due to the COVID-19 pandemic.

Many demographic trends, including changes to population, growth rates, age distribution, and income, impact future land use. National and regional trends can help provide additional information for local communities.

Noteworthy national and regional trends include:

- Birth rates in the United States have been falling almost continuously for more than a decade. The 2020 Census showed the lowest birthrate in US history of 11.0 births per 1,000 people. According to the National Center for Health Statistics, for every 1,000 women of childbearing age (15-44), 55.8 of them gave birth in 2020. When compared to 2007 (69.5 births for every 1,000 women of childbearing age), this is a 20% decline in birth rates. Additionally, data from the World Bank shows fertility rates (an estimate of the total number of children a woman will ever have) also at a historically low level, at 1.7 births per woman in 2019.
- The marriage rate in the US continues to decline. According to data from the Centers for Disease Control and Prevention, the rate was 5.1 per 1,000 people in 2020. A rate this low was likely impacted by the pandemic, however, it is a 1% drop from the 2019 rate, and follows a several decades-long trend of fewer marriages.
- The US population is aging. By 2030, every "Baby Boomer" will be 65 years old or older, making 20% of the US population of retirement age.
- As the population ages and fewer babies are born, the 65+ age group will outnumber the 18 and under age group for several years.

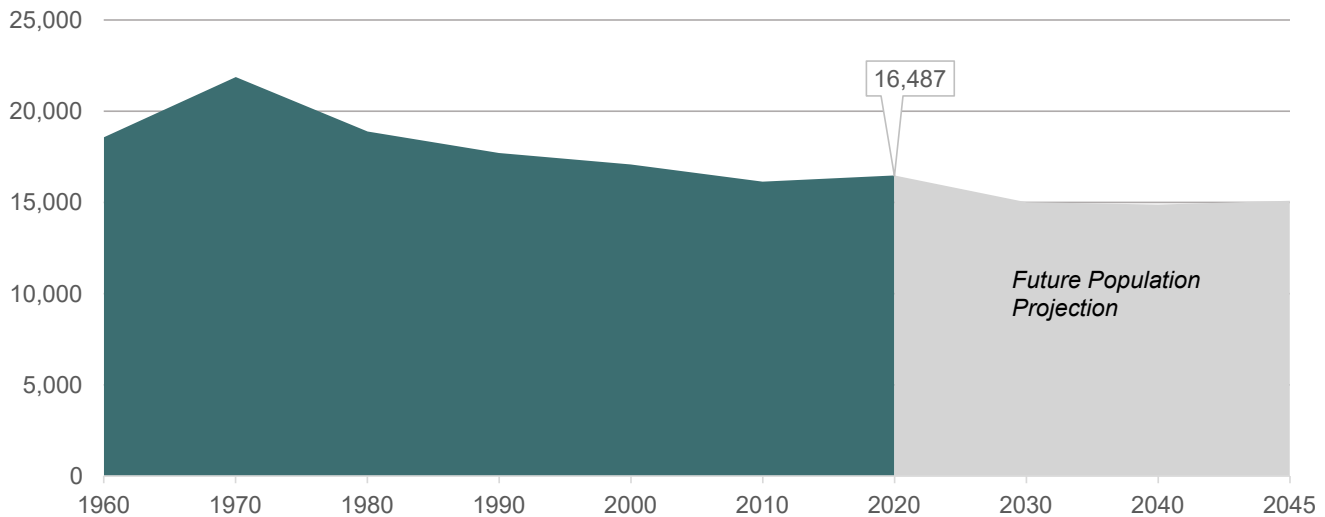
Population

The best planning for the future will consider the current makeup of the population, as well as the community's likely composition in the future. The population of Grosse Pointe Woods has fluctuated slightly over the last twenty years, but with no significant growth or loss of residents. The 2020 Decennial Census reports a total population of 16,487 persons, up 2.18% from 2010's population of 16,135. The population in Grosse Pointe Woods has increased 1.35% since 2010, adding approximately 180 residents. This is quite a bit different than surrounding communities such as Grosse Pointe Shores, St. Clair Shores, and Detroit as well as Wayne County as a whole, which saw their populations decline during this time.

Population Forecast

SEMCOG's Regional Development Forecast predicts that the City's population will decline over the next 15 years, and begin to rebound by 2045 (See [Figure 2](#)).

Figure 2. Historical and Projected Population, 1960 to 2045



Source: U.S. Census Bureau, 1960 to 2020 Decennial Census

Population Trends

Data from the 2020 Decennial Census was not yet released during the preparation of this Community Profile. Consequently, 2021 American Community Survey (ACS) 5-year estimates were used to analyze trends in the City and surrounding communities. Data on the entire Southeast Michigan region was collected from the Southeast Michigan Council of Governments (SEMCOG) for comparison with the region. [Table 10](#) provides a snapshot of how Grosse Pointe Woods compares to surrounding communities, Wayne County, and Oakland County.

The median age in the Grosse Pointe Woods is 43.7 years old, which is quite a bit older than the weighted average median age of all the surrounding communities and Southeast Michigan. However, the number is slightly down from the 2010 Census's median age of 45.1. While the City has seen an influx in the 25 to 39 age category and the under 5 age group as well as in the 60 to 74 age category, other age groups have seen declines from 2010 to 2020, indicating that although an aging community will be important to address, the needs of young families in the City will also need to be met.

The City's group quarters population has increased from seven to 234 as well, likely due to nursing facility growth, but the City's racial composition has stayed fairly consistent.

Table 10. Grosse Pointe Woods and Surrounding Communities: Demographics Snapshot, 2021 ACS

Community Characteristic	Grosse Pointe Woods	Grosse Pointe Shores	St. Clair Shores	Harper Woods	Grosse Pointe Farms	Detroit	Wayne County	Oakland County	Southeast Michigan*
Population	16,353	2,608	59,046	15,287	10,018	632,589	1,774,816	1,270,017	4,830,489
Under 18 population	22.3%	23.5%	17.0%	26.5%	23.0%	24.9%	23.7%	20.4%	21.4%
Adult population	77.7%	76.5%	83.0%	73.5%	77.0%	75.1%	76.3%	79.6%	78.6%
Race									
White	89.2%	90.7%	88.1%	29.8%	91.4%	10.3%	49.5%	70.7%	64.3%
Black	5.1%	0.1%	5.4%	62.9%	0.9%	79.1%	37.9%	13.1%	20.7%
Asian	1.3%	6.6%	0.9%	0.4%	2.4%	1.6%	3.4%	7.8%	5.1%
Multi-racial and other	1.7%	1.6%	2.6%	5.6%	3.9%	3.1%	3.8%	4.1%	4.9%
Hispanic	2.6%	1.0%	3.0%	1.4%	1.3%	7.9%	6.3%	4.4%	5.0%
Group quarters	1.4%	0.0%	0.8%	1.2%	0.0%	2.3%	1.3%	1.0%	1.5%
Persons per acre	7.98	3.70	7.89	9.19	5.80	7.13	4.53	2.29	1.68
Median age	43.7	50.1	43.9	37.2	47.1	35.3	37.9	41.6	39

*Data for Southeast Michigan is from SEMCOG based on the 2020 ACS

Source: U.S. Census Bureau, 2017-2021 ACS 5-Year Estimates; SEMCOG Community Explorer

Highest Value
Lowest Value
Above Southeast Michigan



Households

Understanding a community's composition in terms of households allows for additional insights into the needs of the community with regards to housing, facilities, and services.

The number of households has also increased from 2010 to 2021 by approximately 2.8%. However, SEMCOG estimates of the number of households in July 2022 was only 6,397, which is less than the number in 2010. SEMCOG estimates predict that the number of households in the City will be 6,220 by 2045. Persons per household has slightly increased, from 2.51 in 2010 to 2.55 in 2021. This trend is expected to reverse by 2045, when it is estimated that the average number of persons per household will be 2.38.

Currently, over one-third (33.6%) of households in the City include a senior which is similar to the rate in St. Clair Shores (34.4%) but quite a bit higher than surrounding communities such as Grosse Pointe Shores (14.5%) and Harper Woods (28.0%). Slightly less than one-third of households in Grosse Pointe Woods includes a child (29.7%), a larger proportion than that of any of the surrounding communities. Almost all households have a car (97.8%), as well as internet access (93.3%) with 92.9% of households having access to broadband. The majority (89.8%) of households also have access to a computing device.

[Table 11](#) provides more detail about household composition and amenities.

Table 11. Grosse Pointe Woods and Surrounding Communities: Households Snapshot, 2021 ACS

Household Characteristic	Grosse Pointe Woods	Grosse Pointe Shores	St. Clair Shores	Harper Woods	Grosse Pointe Farms	Detroit	Wayne County	Oakland County	Southeast Michigan*
Total households	6,379	978	27,051	5,439	4,024	251,729	695,038	530,383	1,896,204
Average household size	2.55	2.66	2.17	2.78	2.48	2.53	2.58	2.42	2.50
Households with seniors (65 years old or older)	33.6%	14.5%	34.4%	28.0%	38.8%	28.4%	29.8%	29.7%	29.6%
Households with children	29.7%	25.5%	18.8%	27.0%	29.4%	28.0%	29.1%	27.9%	28.2%
Households with no car	2.2%	2.5%	4.9%	14.9%	8.5%	21.7%	12.0%	5.4%	5.6%
Households with internet access	93.3%	89.9%	88.9%	87.3%	93.4%	75.8%	82.4%	90.3%	88.8%
Households with broadband internet access	92.9%	89.9%	88.6%	87.3%	93.0%	75.6%	82.2%	90.2%	86.0%
Households with computing devices (desktop or laptop)	89.8%	89.5%	78.8%	72.4%	92.6%	57.5%	70.3%	83.7%	92.1%

*Data for Southeast Michigan is from SEMCOG based on the 2020 ACS

Source: U.S. Census Bureau, 2017-2021 ACS 5-Year Estimates; SEMCOG Community Explorer

Highest Value
Lowest Value
Above Southeast Michigan

Housing

Data about housing can indicate the strength of the local economy and overall community appeal. The types of housing available in a community can entice or deter new prospective residents from coming to the community, depending on if what is offered meets their needs and desires. Homeownership is often an indicator of wealth, and house value builds upon that analysis.

Housing is an essential component of a community, and foundational in supporting families of all sizes and types. Having options for safe, affordable, and accessible housing is key to creating a healthy and thriving community.

The historic data in this section is from the Decennial Census while current data is from 2017-2021 American Community Survey (ACS) 5-Year Estimates.

Number of Housing Units and Value

Following the increase in housing units between 1980 and 2000 in the City, the number of housing units has since decreased to 6,568 in 2021.

The median housing value in 2021 was \$274,000, but according to Rocket Mortgage reports, the median price of newly sold homes in 2021 was \$305,000. The median housing value continues to be twice as high as that for Wayne County (\$136,200) and slightly higher than that of

Oakland County (\$268,600) but is the median value when compared to immediately surrounding communities.

Details about the number of occupied housing units, ownership, value, and rent over the last four decades is below in [Table 12](#).

Table 12. Occupied Housing Characteristics, 1980-2021

Housing Characteristic	1980	1990	2000	2010	2021
Total housing units	6,658	6,671	6,717	6,819	6,568
Owner-occupied	94%	92%	92%	85%	88%
Renter-occupied	5%	6%	5%	9%	9%
Vacant	1%	2%	3%	6%	3%
Median housing value (in 2021 dollars)	\$401,644	\$277,604	\$366,801	\$294,014	\$274,000
Median rent (in 2021 dollars)	\$1,638	\$1,607	\$1,394	\$1,433	\$1,576
Note: Data for 1980, 1990, 2000, and 2010 are from the Decennial Census. Data for 2021 is from the 2017-2021 ACS 5-Year Estimates.					
Source: U.S. Census Bureau, Decennial Census and 2017-2021 ACS 5-Year Estimates					

Housing Types and Tenure

Most (94.1%) housing units are single-family homes, a greater proportion than in surrounding communities with the exception of Grosse Pointe Shores (100%) and Grosse Pointe Farms (97.4%). The majority of housing units in the City are occupied by the owner (90.5%), with only 9.5% of units being rented, although the share of housing units rented has been increasing. [Table 13](#) below provides a summary of the housing characteristics from 1980 to 2021 in Grosse Pointe Woods.

Table 13. Grosse Pointe Woods and Surrounding Communities: Housing Snapshot, 2021 ACS

Housing Characteristic	Grosse Pointe Woods	Grosse Pointe Shores	St. Clair Shores	Harper Woods	Grosse Pointe Farms	Detroit	Wayne County	Oakland County	Southeast Michigan*
Percent owner-occupied housing units**	90.5%	94.4%	82.5%	57.7%	94.9%	48.3%	63.4%	71.7%	68.9%
Percent renter-occupied housing units**	9.5%	5.6%	17.5%	42.3%	5.1%	51.7%	36.6%	28.3%	31.1%
Percent single-family	94.1%	100.0%	86.5%	85.6%	97.4%	72.0%	76.2%	75.7%	75.7%
Percent multi-family	5.5%	0.0%	13.4%	14.1%	2.6%	27.5%	22.1%	21.8%	21.3%
Median housing value	\$274,000	\$584,800	\$157,000	\$111,200	\$364,000	\$69,300	\$158,700	\$299,800	\$184,700
Median rental rate	\$1,576	N/A	\$1,007	\$1,170	\$1,283	\$899	\$951	\$1,156	\$976

*Data for Southeast Michigan is from SEMCOG based on the 2020 ACS.

**A percentage of the number of total occupied housing units.

Source: U.S. Census Bureau, 2017-2021 ACS 5-Year Estimates; SEMCOG Community Explorer

Highest Value
Lowest Value
Above Southeast Michigan

Local Economy

Identifying trends in employment can help a community project future needs for land use categories and assess potential opportunities for economic development. This section provides a snapshot of the existing economic conditions in Grosse Pointe Woods.

The estimates provided in this section are from the Census Bureau's Decennial Census, ACS 5-Year Estimates, and the Census Bureau's Center for Economic Studies Longitudinal Employer-Household Dynamics OnTheMap application. Though the Census data used is the latest available from the 2020 Decennial Census and the 2017-2021 ACS 5-Year Estimates, these numbers may not accurately reflect changes due to the COVID-19 pandemic.

The snapshot below highlights some key indicators of the City's existing economic conditions.

Table 14. Grosse Pointe Woods and Surrounding Communities: Economic Snapshot, 2021 ACS

Economic Characteristic	Grosse Pointe Woods	Grosse Pointe Shores	St. Clair Shores	Harper Woods	Grosse Pointe Farms	Detroit	Wayne County	Oakland County	Southeast Michigan*
Total jobs	3,231	514	12,352	2,677	3,047	227,684	660,422	713,696	2,770,000
Unemployment rate	5.0%	1.4%	5.6%	8.4%	2.2%	15.3%	9.2%	4.8%	6.3%
Labor force participation rate	66.9%	56.9%	64.0%	64.4%	63.7%	54.3%	59.2%	66.5%	62.7%
Median household income	\$115,247	\$147,391	\$65,747	\$53,555	\$146,667	\$36,140	\$52,605	\$86,523	\$64,068
Per capita income	\$54,028	\$93,616	\$37,836	\$24,612	\$80,610	\$22,122	\$30,788	\$49,998	\$35,871
Percent people in poverty	5.1%	2.2%	7.6%	21.6%	2.6%	30.2%	19.6%	7.7%	13.8%
Average commute time (minutes)	24.6	24.8	26.9	25.1	25.4	25.5	24.3	25.1	26.6
Percent residents with less than a 20 min commute	38.6%	35.9%	34.5%	35.9%	31.6%	35.5%	39.0%	38.4%	N/A
Percent drive alone to work	71.0%	86.0%	83.0%	69.0%	73.0%	64.0%	69.0%	66.0%	80.8%
Percent commute by transit	1.00%	1.00%	1.00%	5.00%	0.00%	6.00%	2.00%	0.00%	1.60%
Commute by transit	--	--	0.40%	0.00%	0.10%	--	--	0.40%	1.60%

*Data for Southeast Michigan is from SEMCOG based on the 2020 ACS

N/A = Not available

Source: U.S. Census Bureau, 2017-2021 ACS 5-Year Estimates; SEMCOG Community Explorer

Highest Value
Lowest Value
Above Southeast Michigan

Labor Force and Employment

There are an estimated 3,231 jobs within the City (OnTheMap, 2020). The unemployment rate in 2021 was at 5%, higher than it had been in recent years and likely due to the impact of the COVID-19 pandemic. The unemployment rate is lower than that of the region (6.3%), Wayne County (9.2%), and the surrounding communities of Harper Woods (8.4%) and St. Clair Shores (5.6%).

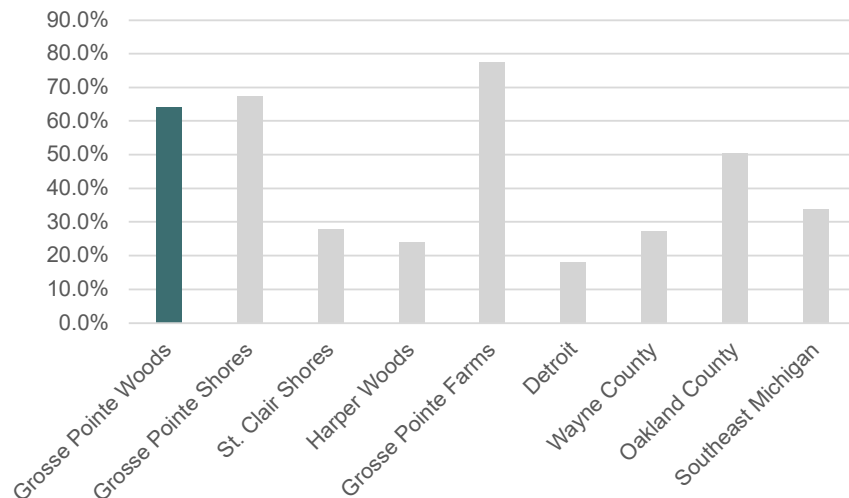
The labor force participation rate of 66.9% is higher in the City than anywhere else in the area, including the county and region's rates. The combination of high labor force participation and relatively few jobs within the community result in residents finding employment elsewhere. According to OnTheMap (2020), approximately 2,834 nonresidents come to Grosse Pointe Woods for work, while 7,085 residents are employed somewhere outside of the City. Only 397 residents both live and work in the City. Residents of the City of Grosse Pointe Woods provide approximately half a percent of the total labor force of Wayne County (OnTheMap, 2020), significantly less than the 1.6% that was reported in the previous master plan. Both Wayne and Oakland Counties increased the number of workers in their areas between 2010 and 2021, at 0.7% and 13.2% respectively. The number of workers in Grosse Pointe Woods decreased by 26.0% between 2010 and 2020, from 4,367 workers to 3,231.

The average commute time is 24.6 minutes, and over one-third (38.6%) of working residents have a commute of less than 20 minutes. The majority commute by driving alone (71%) and only 1% commute using public transportation.

Education

Education levels are often used as indicators for the potential for economic stability and success. [Map 2](#) below shows the share of each community's population over the age of 25 years who have completed a bachelor's degree or higher.

Figure 3. Grosse Pointe Woods and Surrounding Communities: Educational Attainment, 2021 ACS



Income

The median household income of \$115,247 within Grosse Pointe Woods is over twice as much as that of Wayne County (\$52,605). It is significantly higher than Detroit (\$36,140), Harper Woods (\$53,555) and St. Clair Shores (\$65,747). Approximately one in twenty residents are in poverty, which is a rate much lower than that of the region, County, and Harper Woods, but double that of Grosse Pointe Shores and Grosse Pointe Farms. Regional economic development solutions can improve the quality of life and prosperity for all Grosse Pointe Woods' residents, as well as those in surrounding communities.

Existing Land Use

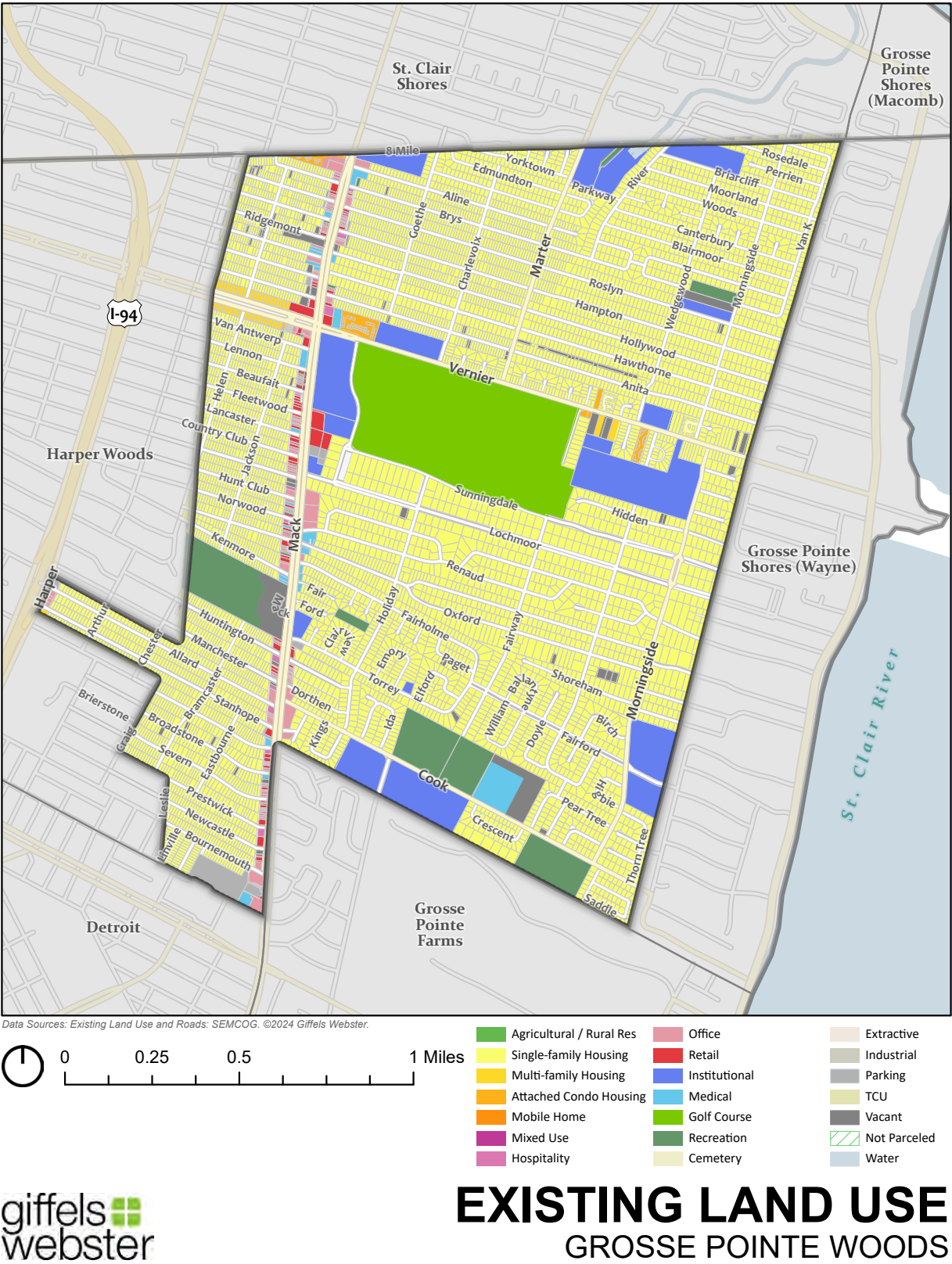
A key element in planning the future of the City is the consideration of existing land use types and patterns. Single-family housing is the City’s primary land use, with some institutional and recreational uses scattered in the City. A greater variety of uses can be found along Mack Avenue.

[Map 3](#) shows the existing land use of the City and [Table 15](#) displays the breakdown of uses.

Table 15. Existing Land Use, 2020

Parcel Land Use	Number of Acres	Percent Share (parceled)
Single-Family Residential	1,200.7	73.0%
Attached Condo Housing	9.2	0.6%
Multi-Family Housing	2.1	0.1%
Mobile Home	0	0.0%
Agricultural/Rural Residential	0	0.0%
Mixed Use	0	0.0%
Retail	13.9	0.8%
Office	17.6	1.1%
Hospitality	3.3	0.2%
Medical	15.9	1.0%
Institutional	137	8.3%
Industrial	0.4	0.0%
Recreational/Open Space	69.2	4.2%
Cemetery	0	0.0%
Golf Course	128.7	7.8%
Parking	12	0.7%
Extractive	0	0.0%
TCU	0	0.0%
Vacant	34.4	2.1%
Water	0.9	0.1%
Total (Parceled)	1645.3	100%
Not Parceled	445	
Total	2,090.3	
Agricultural / Rural Res includes any residential parcel containing 1 or more homes where the parcel is 3 acres or larger.		
Mixed Use includes those parcels containing buildings with Hospitality, Retail, or Office square footage and housing units.		
Not Parceled includes all areas within a community that are not covered by a parcel legal description.		
Parcels that do not have a structure assigned to the parcel are considered vacant unless otherwise indicated, even if the parcel is part of a larger development such as a factory, school, or other developed series of lots.		
Source: SEMCOG		

Map 3. Existing Land Use, 2020



For comparison, [Map 4](#) is the Existing Land Use map from the 2006 Master Plan. Below are the existing land use descriptions from that plan:

Single Family Detached.

All areas containing detached single-family dwellings.

Single Family Attached.

All areas containing attached single family, owner-occupied, condominium dwellings.

Two Family Residential.

All areas containing buildings designed for or occupied exclusively by two (2) families living independently of each other. Also known as a duplex dwelling.

Multiple Family Residential.

All areas containing three (3) or more attached dwelling units accessed via a shared entrance.

Office.

All areas used for office purposes including professional and medical office complexes.

Commercial.

All areas used for commercial purposes including the retail sale of goods and services.

Institutional.

Land areas and facilities such as schools, hospitals, and government buildings, which are available to or used by the public. Also included in this classification are areas and buildings that are used by a limited number of persons with particular interests such as churches, church-related facilities, and cemeteries.



Map 4. Existing Land Use, 2006



Long-Range Planning in Adjacent Communities

Decisions made in one community can impact surrounding communities, particularly if those decisions relate to property that abuts another community. Therefore, assessing the compatibility of the future land use designations from the 2006 Master Plan and the future land uses planned in other communities is important when updating a master plan and considering how uses of varying intensity can coexist. The future land uses of surrounding communities appear to be consistent with that of Grosse Pointe Woods.

St. Clair Shores (north)

St. Clair Shores borders the entire northern border of Grosse Pointe Woods. Most of the area in both communities is residential with a few institutional uses on the border in Grosse Pointe Woods and a park within St. Clair Shores. The Greater Mack Corridor is mixed use in St. Clair Shores and Grosse Pointe Woods. Lake Front Park, Grosse Pointe Woods' largest park, is located in St. Clair Shores. St. Clair Shores provides fire and emergency services in exchange for Grosse Pointe Woods paying taxes to that community. SMART bus routes connect the two communities along Mack Avenue. Interest in exploring more mixed development, including commercial and office along Mack Avenue, was expressed in their 2016 master plan.

Grosse Pointe Shores (east)

Grosse Pointe Shores borders the entire eastern border of Grosse Pointe Woods. The community did not have a master plan or future land use plan available for analysis. Based on aerial imagery, the existing land uses are compatible, with both communities having single family residential uses. While compatible in their existing state, the land uses proposed in the future may not continue to be so, although that seems unlikely.

Grosse Pointe Farms (south)

Grosse Pointe Farms is adjacent to the eastern half of Grosse Pointe Woods' southern border and along the arm that extends south along Mack Avenue. Most of the area along the southern edge is planned to be single family residential, with attached cluster/terrace residential between Mack and Chalfonte, all of which is compatible with the single family residential and institutional uses in Grosse Pointe Woods. Along Mack Avenue, attached cluster/terrace residential housing is planned in Grosse Pointe Farms. Across the street in Grosse Pointe Woods, mixed use uses are planned.

Grosse Pointe Farms is currently undergoing its master planning process at the time of this analysis (March 2023), and the proposed future land use map was used for this analysis. Additionally, the community has indicated that they want improved access to public transportation options, and are also planning to employ an adaptive reuse strategy throughout the community. They are a partner in the ["Mack Avenue Improvement Plan"](#).

Detroit (south)

A very small portion, the southernmost portion, of Grosse Pointe Woods borders Detroit. This area is planned for institutional uses, as St. John Ascension Hospital is located there. This is compatible with the single family uses on the west of this border and the city center/mixed uses on the east. Detroit's master plan also calls for an increase in public transportation options and is a partner in the ["Mack Avenue Improvement Plan"](#).

Harper Woods (west)

The western border of Grosse Pointe Woods abuts the City of Harper Woods. This area is almost entirely designated for one and two family residential uses, compatible with Grosse Pointe Woods' single family uses. There is a small portion along I-94 that has proposed multiple family uses to the south and pedestrian oriented commercial uses to the north.

Natural Features and Risks

Soils, topography, woodlands, rivers, lakes, creeks, wetlands, and floodplains have a direct relationship with the land use in a community. Each type of land use is influenced by the community's natural features; likewise, natural features are impacted by development. In the master planning process, the optimum arrangement of land uses should maintain the Grosse Pointe Woods's natural resources and physical features for future generations, while balancing the needs of the community for housing and businesses.

The City is well-developed, with few vacant parcels available for new uses. According to SEMCOG's 2020 Land Cover analysis, almost half (45.4%) of Grosse Pointe Woods is covered with impervious surfaces, such as buildings, roads, driveways, and parking lots. Open spaces also cover a large share of the City at 40.7%. Thirteen percent of the City is covered with woody vegetation and trees, and the rest is either bare (0.6%) or water (0.2%).

Despite being located near a large body of water and almost half (45.4%) of the land coverage in the City being impervious, the City has a low risk of flooding. This is likely due to the fairly large proportion of open space (40.7%) and tree cover (13%) that cover the rest of the City.

It is becoming critical to include concepts of resiliency and sustainability into land use plans. Though they are related, resiliency and sustainability are not the same. Sustainability is the well-established concept that focuses on decreasing or eliminating the detrimental future impacts of our current activity. Resiliency recognizes that our built environment

will be subject to stresses and is the practice of designing that environment in a way that can endure those stresses. Some threats are ongoing, persistent stresses, while others are sudden shocks or single events that disrupt the day-to-day functioning of the community.

As we plan for the future, many of the challenges we will face are related either directly or indirectly to our place in larger systems, both natural and man-made. We often have little direct local control over these systems, but adapting to change and discovering our role in contributing to the health of these systems is nonetheless essential to planning for a community that can survive and thrive, even in the face of the most severe challenges. Considering the needs of vulnerable people, such as children, the elderly, or those with a disability is an integral part of resiliency planning to help ensure all residents can overcome these challenges. Resilient communities are not only preparing for weather and climate-related shocks, but are also preparing for economic and health shocks as well.

Community Facilities

Community facilities include both physical facilities located within Grosse Pointe Woods as well as services provided by the City. Community facilities include essential facilities or services like a fire station or public utility, or may be other facilities or services such as a public park or library. Both essential and other community facilities play a vital role in the City's potential for growth and resident retention. The availability of public safety services, attractive recreational and cultural facilities, and strong public school and library systems are some examples of community facilities that can help draw new people to the community and enhance the quality of life of existing residents.

Civic Facilities

Library

Grosse Pointe Woods has one library, the Woods Branch of the Grosse Pointe Public Library. Renovations for the Woods Branch were completed in September of 2022, including the addition of a Dream Lab, a basement makerspace with 3D printers, a small recording booth for podcasts and music, as well as a used bookstore. Grosse Pointe Woods has a few free "Little Libraries" throughout the community. The Free Little Libraries "take a book, return a book" free book exchange are mainly put up by small businesses or homeowners.

City Hall

City Hall hosts most of the City's departments, as well as the Community Center which is located at the north end of the building. The Council chambers and meeting spaces are located mainly on the west side of the building.

Parking

The City owns and operates twelve off-street parking lots, with most of them metered. Funds collected go towards the City's operating fund. Additional metered spaces line both sides of Mack Avenue as well.

Parks and Recreational Facilities

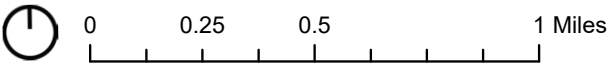
- **Community Center.** The Center was constructed through a Recreation Bond Proposal approved in 1986 and is intended for residents to use to participate in cultural, educational, recreational, and social activities. Three rooms and the Cook School are available for rent and can accommodate up to 160 guests.
- **Lake Front Park.** This is the largest of the municipal parks at 55 acres, and is host to the largest outdoor swimming complex in the state. The City purchased the land, which is located in St. Clair Shores, in 1948. The City pays taxes to St. Clair Shores and in return, receives police, fire, and emergency services at the site. The park has quite a few amenities, including an activities building with a indoor and outdoor basketball courts, racquetball court, exercise equipment, pool table, foosball and air hockey table, ping pong table and, darts. Outside amenities include shuffleboard and bocce ball courts, mini golf, a dog park, 224 slip marina with dry dock space and boat launch, a playscape, and volleyball, tennis, and pickleball courts. There are four pools (Olympic, lap, wading, and baby), one of which has a waterslide and diving boards. For those seeking more passive recreation activities, there is a boardwalk and fishing terrace, picnic areas with grills, two gazebos, four pavilions, and a 1.4-mile lit and paved fitness trail. When conditions are favorable in the winter, an outdoor ice skating rink is also available. Bus service is available to and from the park, as well as concessions within the park.



Map 5. Parks and Community Facilities, 2023



Data Sources: Parks, Buildings, and Roads: SEMCOG. ©2024 Giffels Webster.



- Parks

Municipal

School
- Hospital

Fire

Library

Police

giffels
webster

COMMUNITY FACILITIES

GROSSE POINTE WOODS

- **Ghesquiere Park.** This park is 32 acres and is located behind City Hall. It is designed for children of all ages. It has a tot-lot with a playscape, baseball diamonds, and mini-soccer fields. In the winter, the City maintains an ice rink at the park.
- **Chene-Trombley Park.** This park is approximately half an acre big and has an open field, playscape, and an ice skating rink.
- **Sweeney Park.** Sweeney Park is 2.75 acres. It hosts an open field, a playscape designed for children under 12 years old, and a skating rink in the winter.
- **Jules DePorre Park.** This is a pocket park located next to Mason Elementary. A paved path connects Anita Avenue to the school.
- **Sidewalks.** Most roads have sidewalks on both sides of them throughout the City.

Public Utilities/Services

Police, Fire, and Ambulance Service

Since 1944, the City has had a combined police, fire, and ambulance service. Public safety officers perform police and firefighter duties and are trained as medical first responders or basic emergency medical technicians (EMTs).

Water & Sewer

Water Supply and Combined Sewer System. Residents and businesses within the City limits are serviced by a City-owned and operated potable water supply and combined sewer system. The majority of the City's potable water supply system was constructed in the 1930s and 1940s. Within the last 15 years, many water mains along Mack Avenue were replaced, and additional replacement projects completed on various local roads. The combined sewer system is composed of an inter-county detention basin and pump station, a City pump station, tunnel drains, and sewer lines within the public right-of-way or rear yard easement of almost every street within the City. Annual evaluation of the sewers help the City identify issues and prioritize projects that maintain safe and functioning potable water and sewer pipes. Annual evaluations and resulting prioritization of updates to the infrastructure should be coordinated with the other recommendations in this plan.

Department of Public Safety

In addition to providing police, fire, and ambulance services, the Department of Public Safety provides Advanced Life Support (ALS) through a contract with Medstar Ambulance, crime prevention, fire inspections, a detective bureau, and traffic safety. The Department has free resources for residents, such as gun locks and the Kindcall Care Program.

Schools

Grosse Pointe Woods has a number of public schools, including Grosse Pointe North High School, Monteith Elementary School, Ferry Elementary School, Mason Elementary School, Parcels Middle School, and Barnes Early Childhood Center. Our Lady Star of the Sea (PreK-Middle School) and University Liggett School (K-12) are private school options in the community.

Appendix B

Visioning Results

Appendix B: Visioning Results

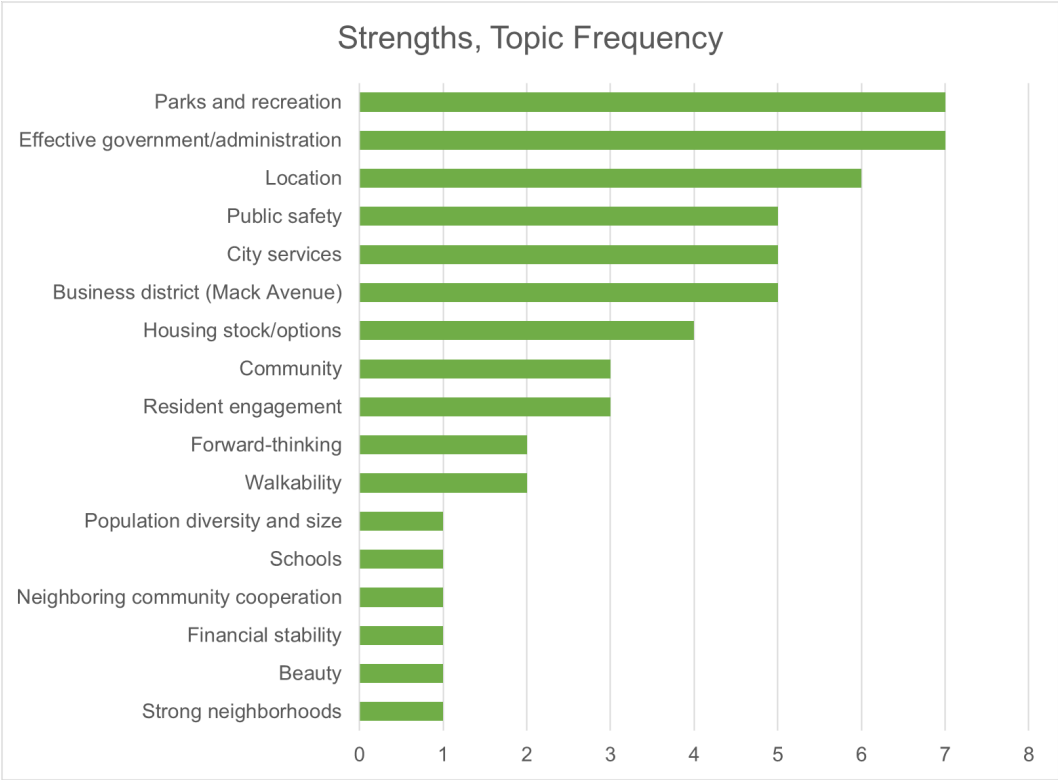
Discussions among elected officials, staff, and those who volunteer their time to discuss the future of the City about the opportunities and challenges that the City will likely be confronted with in the future helps create a shared vision of what could be and guide the development of goals to reach that vision. These discussions are key in determining what questions and issues to get public feedback on to help ensure goals help address the needs and desires of all stakeholders.

Master Plan Joint Visioning Session

On June 19, the City Council and Planning Commission held a joint visioning session, discussed the City’s strengths and weaknesses as identified by the participants, and prioritized foreseen opportunities and threats to the community (SWOT analysis). Below are the results of the SWOT analysis and discussion. The charts show the data that was collected through the survey prior to the visioning session which included four staff responses, two City Council member responses, and seven Planning Commissioner responses. Additional discussion during the session is summarized in the paragraphs following the charts.

Strengths

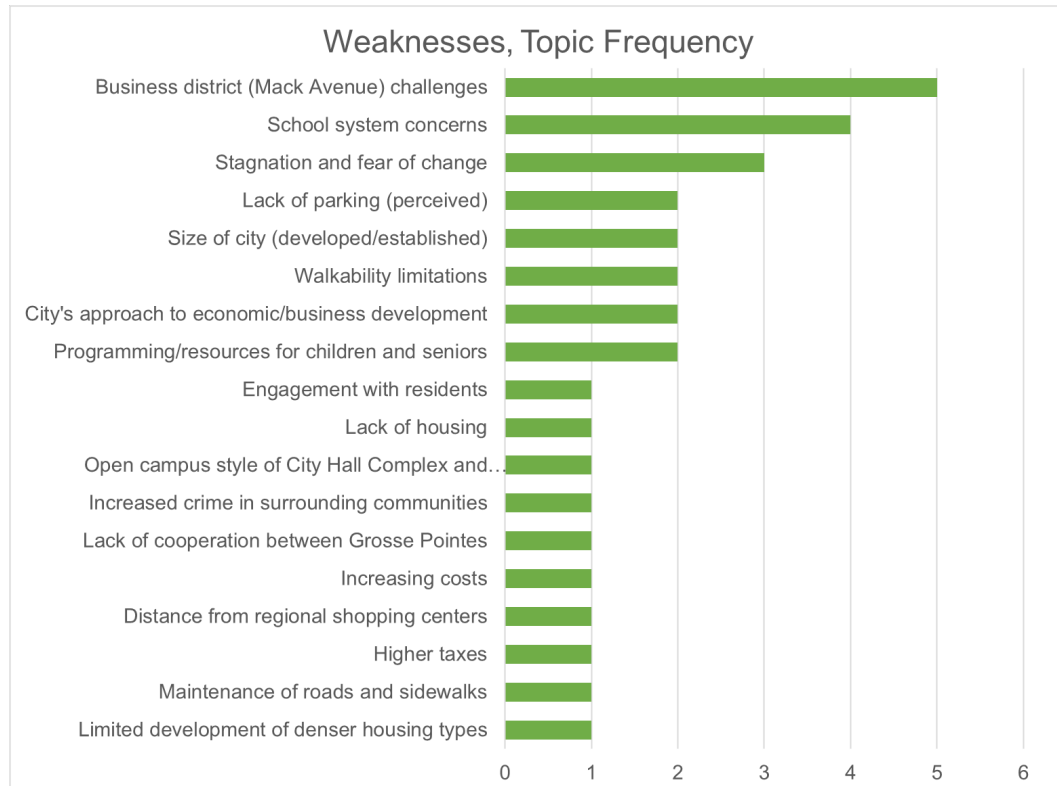
Some participants noted that their survey responses focused on things that were within their sphere of influence, so some things



such as schools, that are a strength of the community were not included in the response. When reviewing the survey results, three additional strengths surfaced: 1) “community”, events, programming, and activities, 2) financial stability of the City, and 3) libraries.

Weaknesses

In addition to the weaknesses noted in the survey responses, additional weaknesses discussed by the group include: limited redevelopment opportunities and opportunities for property tax revenue growth; difficulties/challenges with the development review and permitting process; redundancies that exist between the Grosse Pointes; lack of movie theaters and other entertainment within the City, and a lack of activities and things for teens to do; and real estate values.



Emerging Trends

The survey also asked respondents to identify any emerging trends in the nation, region, or community that could be influential on the master plan process. This list was added to during the visioning session. The complete list is below:

- Higher density, high-end living options
- Interest in aging in place and resulting lack of housing
- Accessory Dwelling Units (ADUs)
- Micromobility options (ebikes, scooters, etc.)
- 15-minute neighborhoods
- Food trucks, pocket parks
- Higher electricity demand/needs
- New electricity infrastructure for EV charging
- Solar energy, small and large scale
- Short term rentals
- Working from home
- Email becoming less utilized
- Smart Cities, artificial intelligence
- Pedestrian safety strategies
- Drugs
- Challenges for empty nesters/downsizing (cost, availability)
- Allowing 3 stories on Mack Ave – impact for new development
- Liggett School development – could there be more developers interested in these types of projects?
- Options for new families, schools
- School properties?
- 15-minute neighborhoods, social districts, walkability, things to do

Opportunities

Survey responses were grouped by category and then given to small mixed groups of Planning Commissioners and City Council members. The groups then prioritized the opportunities as either high, medium, or low. All of the items considered to be high priority opportunities were listed and each participant was able to vote for their top three opportunities. Actions focused on economic development, particularly around Mack Avenue and housing were the top priorities. The results of that activity are shown below, with the items listed from highest to lowest priority, followed by the number of votes for each item included in parentheses.

1. Enhance **walkability** with better crosswalks (10 votes)
2. Encourage **mixed use development** by rethinking ordinances, recruiting/encouraging new economic strategies and development that can create mixed uses (7 votes)
 - » At least four of the five groups noted that this was a high priority item
3. **Enhancements to Mack Avenue** to make Grosse Pointe Woods more of a destination for residents and non-residents, such as façade improvements and business support (4 votes)
4. Enact and enforce ordinances to maintain and improve the **housing stock** in the City, keeping housing values up, increasing the tax base, and maintaining typical income level of residents (4 votes)
 - » This was listed as a high priority by at least two groups, and a medium priority by at least one group. Flags and block parties were noted as additional strategies.
5. Explore **accessory dwelling units** (ADUs) in neighborhoods (3 votes)
6. Explore **streetscape improvements** such as landscaping in medians and adopt a garden (3 votes)
 - » At least one group felt this was only medium priority
7. **Maintain/expand City social programming**, art fairs, music, sidewalk sales, and other active lifestyle elements (2 votes)
8. Explore **grants/funding** (1 vote)
9. Improve **schools** (1 vote)
10. Better understand **changing demographics** and address those specific needs
 - » At least one group felt this was a low priority
11. Long-range planning of **recreational/community amenity development and maintenance** (1 vote)
 - » At least one group felt that this was only medium priority
12. Invest more in **parks** (0 votes)
13. Consider a **business development** role and/or commission to coordinate developers and commercial property owners to attract and retain targeted tenants (0 votes)
14. Once a master plan vision is created, benchmark **“peer” cities** to discern **best practices** toward obtaining the vision (0 votes)
 - » At least one group noted this as high priority.

There were five items suggested from the survey that were not considered high priority by any group. Those considered to be a medium priority by at least one group include reviewing the status of issues identified in the recent 2020 Plan, trying to develop a key business district in the City, and continuing to engage in meetings with other city managers to encourage partnerships and enhance parks and community members. Partnering with neighboring communities and developing an official Facebook presence to collect feedback/input from residents and promote events were considered to be a low priority.



Threats

A similar process to that described for opportunities was undertaken to prioritize threats. The threats mirrored the opportunities, with concerns about housing and economic development along Mack Avenue being in the top three concerns. The results of that exercise are below, in the same fashion.

1. Lack of **housing diversity**/options (11 votes)
2. Challenges faced by **aging populations** (8 votes)
3. Lack of diversity in **business mix** along Mack Ave (7 votes)
 - » At least one group viewed this as a medium threat
4. Complacency/**not embracing change** (7 votes)
5. **Safety, crime, and drugs** (3 votes)
 - » At least one group viewed this as a medium threat
6. Lack of support for **new technologies** (EV chargers, solar panels, etc.) (1 vote)
 - » At least one group viewed this as a high threat
7. Reduced quality of **schools** and resulting impacts (1 vote)
 - » At least two groups viewed this as a medium threat
8. **Property maintenance** (0 votes)
9. Inadequate, aging, or improperly placed **infrastructure** (0 votes)
 - » At least one group viewed this as a low threat
10. Reduced **tax revenue** (0 votes)
11. Increased **costs** (0 votes)
12. Change in **character of Mack Avenue** (0 votes)
13. **Flooding** concerns (0 votes)
 - » At least one group viewed this as a low threat



Post-Visioning Session Planning Commission Homework Survey

In advance of a July 31, 2023 Special Meeting scheduled to review input gathered in Phase 1 of the Master Plan process from the Planning Commission, City Council, and City staff, and prepare for a community Open House to gather input from the City residents and stakeholders, Planning Commission was asked to complete a survey in preparation.

Feedback from the survey responses provided by Planning Commissioners includes:

- Commissioners are generally open to a diverse array of housing types. However, some did not feel that triplexes, multiplexes, live-work options, cottage court homes, ADUs, and/or apartments would be appropriate anywhere in the City.
 - » Some respondents noted that triplexes and multiplexes would be appropriate along Mack Avenue, Venier Road, and in existing low-density neighborhoods.
 - » Live-work options are thought to be most appropriate along Mack Ave.
 - » Apartments and senior living facilities are thought to be most appropriate along Mack Ave and Venier Road.
 - » The Cook Road corridor was suggested as a possibility for non-single family housing types.
- Commissioners noted challenges of the existing transportation network, including being vehicle oriented and not pedestrian or bike friendly, difficulty in reaching community amenities without a vehicle, and the lack of routes and trips SMART buses take throughout the City.
- Commissioners felt that vehicles, bicycles, e-bikes, and walking would be the primary ways residents and visitors would want to access Mack Avenue. Scooters, the SMART bus, and a City-wide trolley were not desirable or deemed infeasible.
- Commissioners did not like the idea of having two ends of Mack Avenue focused on different types of amenities and felt that all amenity types should be available throughout the entire corridor. Additionally, it was suggested that the City take an active role in soliciting developers and businesses.
- Many City programs and services received a weighted score over 4, indicating that Commissioners felt they were either great or excellent. Cultural programs, support for new residents, and resources for seniors were rated to be average/okay. Commissioners were least satisfied with the City's support for developers and efforts in creating a sense of place.
- Most commissioners felt there were enough parks, but amenities such as a dog park, refrigerated ice rink, disc golf course, amphitheater, and additional picnic spaces were suggested.
- The ranking for the most concerning environmental issues was very mixed. Overall, the highest weighted score was for severe weather events, followed by flooding and water quality. Air pollution and extreme heat were ranked in the bottom half of options.
- The ranking for the most concerning social issues was also fairly mixed and close. Quality education ranked highest, followed by cost of living and crime. Food access, social isolation and loneliness, and drugs were ranked in the bottom half of options.

Key Takeaways

Based on the feedback from both surveys and discussions with the Planning Commission, City Council members, and staff, the following key challenges related to land use planning have been identified in the City:

- Lack of housing options (type, size, location, affordability, ability to age in place)
- Lack of business mix and development along Mack Avenue
- Lack of connectivity throughout the City
- Vehicle-centric design/Lack of walkability along Mack Avenue
- Lack of community identity and character
- Barriers to people of all ages and abilities living life to the fullest potential
- Climate change (severe weather and flooding, in particular); lack of sustainability and resiliency



Appendix C

Open House Results

Appendix C: Open House Results

This section provides counts (frequencies) of how questions were answered and direct quotes from the online and in-person open house held in Fall 2023. Items are grouped as applicable and it is noted where comments were agreed with or disagreed with by other respondents.

Welcome to the Open House

Where do you live? Place a dot on the map below.



Comments

I am no longer a resident of Grosse Pointe Woods, but I still own a home there, where I lived for 40 years. I have noticed a steady decline in residential property maintenance. Lawns that are full of weeds and overdue for mowing, etc. I must state that in the case of several properties, a very poor quality replacement sod was laid down by the City many years ago after sewer(?) work was done. Many homeowners seem to let the poor grade sod die off, then let it go to weed. Hope something can be done to promote better property upkeep!

What is the best community you have ever lived in or visited? What did you like about it?

- Ann Arbor, MI – cradle to grave appeal
- Ann Arbor, MI – trees, walkable downtown, restaurants, coffee shops, specialty stores, vibrant social events
- Ferndale, MI – dense walkable neighborhoods, restaurants, bars, activities within walking distance, pro-public transit and multimodal
- Grand Haven, MI – Welcoming, lower water and utility rates, no parking meters – no searching for nickels and dimes, a range of housing to accommodate different income levels
- Grosse Pointe Woods – 60 year resident
- Grosse Pointe Woods 20 years ago!
- Royal Oak, MI and Salie, MI – tree-lined streets with mature trees, public transit, and “cool” events for adults/young people – not just kids
- Auckland, New Zealand – it’s emphasis on healthy environment, the waterfront, etc. for a healthy new style lifestyle!
- Austin, TX – Bike paths, walkable, transit system
- Charleston, SC – food, events, walkable
- Cranston, RI – beautiful front yard gardens, walkable
- Durham, NC – great food (local restaurants, not huge chains) and sense of unique community culture
- Fort Collins, CO or Boulder, CO
- Woodinville, WA – attractive to younger people, events (concerts, wine and beer tasting), walking distance to taverns, wide variety of food, safe, no homeless

What describes your role in relation to the City? You may place a dot in any category that applies.

- Resident – 118 responses
- Business Owner – 9 responses
- Worker – 2 responses
- Other – 1 response

How many more years do you plan to live in Grosse Pointe Woods?

- Less than 5 years – 7 responses
- 5 to 10 years – 20 responses
- 11 to 15 years – 15 responses
- 16 to 20 years – 10 responses
- Over 20 years – 68 responses
- I'm not currently a Grosse Pointe Woods resident – 3 responses

What is your age group?

- Under 18 – 5 responses
- 18-34 years old – 15 responses
- 35-54 years old – 32 responses
- 55-64 years old – 30 responses
- 65-74 years old – 42 responses
- 75+ - 13 responses

What does your household look like?

- Two adults and one or more children under 18 – 17 responses
- One adult and one or more children under 18 – 5 responses
- More than two adults and one or more children under 18 – 0 responses
- Two adults, no children under 18 – 44 responses
- One adult, no children under 18 – 27 responses
- More than two children, no children under 18 – 9 responses
- Three adults – 6 responses



Online Open House (Assets and Challenges)

What are the City's unique assets? (from online open-house)

- Mack Avenue businesses, Lakefront Park, Ghesquire Park, Engaged, high-quality school system
- Lake Front park as well as all the other parks , mack ave. business's , Lochmoor country club ,many beautiful well maintained homes , and the many trees in our community are great assets. Please fix the many embarrassing poorly maintained roads , this is one of the Basic important duties of a city government , do this then do additional things as desired
- Lakefront Park is Gem (marina, tennis courts, and especially the pool.
- Lakefront Park is a gem and recent additions (putt-putt) have been appreciated. The dog park at Lakefront Park is dismal and under utilized. There's an area behind the rear entrance at Ghesquiere's ball diamond that could be enclosed. Ask for donations to bring in climbing toys and water for dogs. Supply bags to keep it tidy.
- The greatest assets in the Woods are the Parks, and the walkability. Add restaurants and shops=bonus. However, Mack Avenue is like a racetrack. Reduce the speed limit to 25mph! You know vehicles travel five over without concern of being cited for speeding. This would benefit residents as well as businesses for safety, sight and parking . GPP has 25mph limit on Mack! Please reduce the Mack Avenue thoroughfare speed.
- Hi, my family and I love our city lake front park but the play scape is pretty dated, there is a sign from 1995. A new play scape and maybe more activities for toddlers would be great
- The Lake Front Park and Pool is one of the best things about GPW, and its presence as a place for swimming lessons greatly increases public safety in an area with so much lake coastline. It has been my favorite place for my whole life growing up here, but it seems like less resources are being devoted to it as time goes on. In recent summers, the pool hours have been reduced and there haven't been any late-night swim events, so the beautiful underwater lights never get used anymore. The standing clock on the pool deck was taken down and the one hanging on the bathhouse wall is difficult to see and frequently out of battery. The showers were changed to a push model presumably to save on water costs, but their temperature is highly inconsistent to the point that they are unusable when scalding or frigid. I've heard there are plans to add a splash pad, which is great news. Please include the park and pool as an important focus in the city's Master Plan! (1 note of agreement)
- We raised our three kids here. We sent our kids to both public and private schools which were all excellent. We have taken advantage of everything the Lakefront Park offers- swimming, boating, walking, tennis, paddle tennis and yes, even pickle ball! Ghesquiere Park is a place where we spent many hours on the great playscape and eventually on the Little League baseball fields. We support the small businesses along Mack Ave. We love GPW! Ways it could improve... add bike lanes and a refrigerated ice rink. People of all ages can bike and skate and I believe many would support this. I think money could be easily raised through the GPW Foundation for the ice rink. This rink would provide a fun, safe place to exercise during the cold, winter months.
- City Hall has become more friendly than ever. Places to sit and watch are a nice with the new benches.
- location, location, location! Close to Detroit events, Lake St Clair, XWays to many places. Good parks program, walkable neighborhoods
- We have a great community with beautiful and safe parks and neighborhoods. I appreciate that we are a tree city but we don't have many open areas to roam. We need to keep as much green space as possible and replace trees were they have been removed in the city areas.
- Small town family atmosphere. Lakefront Park. Ghesquire Park. Baseball, Football. Police and Fire.

- A nice old style place to walk and see friendly people. Many options without having to go far. Yes parking is tough but we seem to manage.
- We love the neighborhood feel of the community. We oppose the building of multi family units in areas that are currently zoned for single family use only. Based upon an explanation given at the master plan presentation by a city representative, if this change were to occur, homes could be bought and replaced with multi family units on any street with no formal plan. Schools or other community buildings, if closed and sold, could be replaced by multi family complexes (eg., apartments for example). We believe that this zoning change will erode our neighborhoods. A similar zoning change was proposed in GPP without success. We would like to know the position of the mayor and council on this issue.
 - In total agreement with this comment- The closed Poupard Elementary in Harper Woods is planned to be low income housing- under no circumstances should we even ponder subdividing our single home neighborhoods into anything else. God forbid- IF we lose ANY schools in GPW , Mason, Montith, Brownell, Parcels, Grosse North etc. ALL have architectural value and integrity- THESE schools could be converted into High End Loft Space- while keeping the GREEN SPACES THEY HAVE OPEN TO THE PUBLIC. To the children and parents- The parking and infrastructure are already there. The NEIGHBORHOODS LEFT INTACT- with LESS traffic flow resulting. (1 note of agreement)
 - We already have way too many renters who don't care about our neighborhoods. More trash on sidewalks and grass on top of dog waste not being picked up or bags just left behind. (1 note of agreement)
- We consider many positives of living in the Woods - safety and the support for police officers, schools, parks, neighborhoods. Overall, it has been a great place to raise our children and promotion of the valued community assets should be continued. We were happy to hear of the planned improvements to the waterfront park such as the splash pad. Some long term concerns include the high property taxes and the need for diligence in keeping city costs as low as possible so that attractive services are provided efficiently. One specific suggestion for improvement is to change the traffic lights at Mack/ Moross so they are like the ones at Mack/Vernier (left turn arrow).
- My husband and I have lived here in GPW since 1980, coming from SCS, and Detroit. We really treasure our dedicated Department of Public Safety, and our Public Works Division. The basic provisions of personal safety and clean streets are really more important than any frills, and is what keeps us here, and brought my daughter's family back.
- City services such as snow removal from streets and walks, leaf pick up once a week, clean streets, pool and park extremely important, and making sure homes are clean and kept up immediately if there should be an issue.
- Walkability, Mack Avenue, the parks.
- Lochmoor Blvd on the east side of Mack Ave is a beautiful stretch for pedestrians and cyclists. Honestly, a lot of the city is walkable and I'd love to see this focused and improved upon. (Might help with parking too if there are less cars.)
- We love the walkability of our city. It would be great to add a refrigerated rink at Lakefront Park. We could put it under the larger picnic shelter by the pool. This way it would be reserved just for the residents and parking would be close by. I tried once to skate on the flooded grass by the water and the ice was so choppy and the wind was so terrible I left after 10 minutes. Flooding the hockey rink at Ghesquiere is a nice idea but it often isn't cold enough to even use. Last year it never even opened. I know the other Pointes have refrigerated rinks. I think it's something that would be greatly appreciated and used in the winter months by our wonderful GPW residents.
- GPW is unique in that it is a walkable community with access to literally anything anybody would need, and yet has access to a major expressway. This applies especially to the west side of Mack. There isn't anything that could not be accessed on foot or by a short bus ride. (Example: Grocery, Pharmacy, Church, Medical/Dental, clothing, restaurants/carry-out, library, etc.)

- There are multiple unique accents: the housing stock (older homes with charming accents), the neighborhoods and the community walkability. The tree lined streets. The city park. GPW is a safe place to live. GPW's location with an easy commute to downtown both for work and social and cultural events. The sense of community that permeates the city.
- Our parks, walk-ability, close to the water, our pool and all the amenities it has. Schools that are mostly within walking distance.
- The City's unique assets: sidewalks, libraries, parks, economic development (15 min city)
- The intersection of Littlestone and Mack is dangerous at many hours of the day and evening. People park or stand illegally (in front of yellow lines) while picking up their pizzas or other food carry-outs at the various food establishments between Littlestone and Broadstone. Traffic coming southbound on Mack is difficult to see before pulling out onto Mack, especially with the proliferation of tall vehicles that you can't see through. There needs to be better enforcement in some way or other! We need to put the "Woods" back in Grosse Pointe Woods on Mack as well as the residential streets for many reasons - fighting climate change, increasing the beauty and attractiveness of our lovely neighborhoods, keeping our streets cooler in summer, and living up to the expected standards of Grosse Pointe WOODS.
 - In the summer time Littlestone turns into a truck parking lot with all the lawn cutting companies sitting eating their lunch. I have gone to city hall to complain about the parking and garbage being scattered around from Little Cesar's but nothing ever happens. We just had a younger couple move because they were fed up with what I just mentioned. I have learned that my first mistake was expecting something done by the city. (1 note of agreement)
- Pedestrian crosswalks (Mack): add bright colored flags for pedestrians right-of-way to use crossing in traffic at designated crosswalks. Pick up safety flag from container when crossing and deposit in container at other side. Crosswalks should be marked to stop for pedestrians as in many other communities. Refrigerated ice rink would be a great addition to our park. Clear directional markings to alleviate driver confusion at high traffic business areas. For bicycling, road repairs are mandatory. Every large crack, pit and hole is a dangerous hazard
- hoping to see bike lanes and greater access for pedestrian friendly zones.
- When I first moved here, I was surprised how dangerous it is to cross over Mack while walking to the local businesses or the City Offices. We should have marked lines and sidewalks in the median providing safe crossing. How about utilizing Roundabouts to provide faster flow of traffic. Could we reimagine the corner of Vernier and Mack? At times, I also reimagine the median. I see it having a sidewalk up the middle with benches or make that the bike lane that many residents want? There must be a way! Also please regulate the type of business that is opening. Maybe have a limit as to the number of nail salons, urgent care facilities and when the number is reached then that's it. Overall, our community is great and I love living here
 - A roundabout at Mack & Vernier would be awesome. it's our corner & intersection. that and add pedestrian overpasses...
- We have lived here since 2017 and just started a family. We have no plans to leave and have loved living here very much! Our current address is within walking distance to the businesses on Mack and that is something we love about it. The primary reason we moved where we are, is the accessibility of businesses and the ability to have an urban feel, while still having a home in a neighborhood. Anytime there is even the slightest rumor of a new restaurant coming to town, we get extremely excited. Please continue with drawing as many restaurants, bars, coffee places into the city. Further places like yoga studios and fitness places are great as well, as they are not reliant on retail models. It seems like we have a ton of eye doctors, dentists and medical stuff on Mack, which does not make for great placemaking. I strongly believe more affordable and higher density housing is a must and fully support ordinances that support such. The elimination of business exclusive parking (i.e. only customers of one business being able to park there) should also be gotten rid of, since it is completely inefficient. It also sounds great to have residential units built above buildings to the extent possible to further increase

density. Having a boutique hotel would not be a bad idea, since there is no where to stay pretty much anywhere in the pointes. The parks here are great, I would strongly recommend allowing people to bring their dogs for walks, as long as they are leashed (again to make the city more welcoming). I also am shocked that there is not a farmers market in the city (even once / month), but I also understand that there is plenty of competition in that space (i.e. Eastern Market being just 15 minutes away). In short, I think the key thing for ensuring the vitality of the city is ensuring that we make it a place where people 27- 40 want to move to. I personally am 34 and plan to be a resident for life. That said, what shocked me moving here (since I had never been to the pointes before and only knew of unproven negative stereotypes of them) was the semi-urban feel, the solid restaurant scene and the down to earth nature of my neighbors. Ordinances that support such things I think will make this a welcoming and thriving community going forward.

- How about an area to play with your dog? The dog park at the Lakefront Park is not well maintained and does not drain well after rains. And it is one of the very few activities at the Park which requires a fee. Why? Finally, it is very inconvenient because you have to drive there to use it. How about something closer to Ghesquire (1 note of agreement)
- There was a place during your presentation that asked, “if you were mayor, what would be the first thing you’d do”? I would make Lochmoor Club take better care of its north side along Vernier. The club itself is one of the neat things about GPW but it seems like they never partner with the city. As a resident I am tired of driving past all the scraggly trees and the bent, rusty fence on Vernier. You can see what a difference some attention would make because right now they are replacing a section of the fence and it makes such an aesthetic improvement!
- How Many More Times Is GPW Going to Ignore Addressing Our SINGLE FAMILY HOME RENTAL SITUATION MOVING FORWARD? Any GPW Home Owner West of Mack Ave, or EAST of Mack Ave. to Wedgewood, North of Vernier; about half of our 2.25 city square mileage – statistically will have 90% of our cities 300 to 350 Individual Single Family Rental Homes (note: GPW does not have an Exact Count-this is a “ball-park figure” from GPW Code Enforcement). RE/ MANDATORY CRIMINAL BACKGROUND CHECKS ON ALL SINGLE FAMILY RENTAL HOMES & RENTAL UNIT ADULT RESIDENTS PER BEST PRACTICES STANDARDS CODE- >>SEE GROSSE POINTE PARK- INITIATED & ENFORCED SINCE MARCH OF 2014<<< ORDINANCE AMENDMENT REQUEST-REVIEW: A New Grosse Pointe Woods Best Practices Update to GPW Rental Home Owner & Lessee Mandatory Requirement(s) First Open Discussion & Notes Were Submitted & Discussed on Monday, April 17th, 2023 with GPW City Council - Hard Copies Given to Clerk for Distribution to Mayor & Council. Only TWO responses were received from City Council Members. Mr. MAYOR, CITY COUNCIL & GPW RESIDENTS PLEASE NOTE: Mandatory Criminal Background Checks Required by Code/Ordinance in Grosse Pointe Woods for All Rental Homes & Properties: City of Grosse Pointe Park REQUIRES MANDATORY Criminal Background Checks from Landlords/Lessee’s for all Adults residing at a rental property. CBC’s are Standard Best Practices throughout Michigan & Elsewhere. – See/ Read Attached copy of GPP rental and CBC form. Note The Funds Generated for the City. Grosse Pointe Park Has Vetted Best Practices for Rental Properties: While >>> We Do Not<<< ALSO NEEDED: Mandatory Code/Ordinance Placed “On the Books” Requiring Dual & Immediate Notification of Landlords AND Residents of Rental Homes for Code Violations - Excessive Noise etc. i.e.- Exactly the same Method that GPW uses when contacting the 86% of its Resident Home Owners. NOTE: Property Owning Landlords Can Claim 100% of Any/All Home Improvements and Repairs as a Tax Deduction- While Resident Homeowners Cannot. Tax laws allow for a “double standard” per expenses of property ownership. GPW can and should be enforcing this variable as well. A Complete INVENTORY of Single Family Rental Homes in GPW- Data to Be Updated & Kept Current: The Data Placed on our City Quadrant Map for Council and City Administration Awareness. GPW City Government & Administration Cannot Effectively PLAN for our Cities Future without the above Data & Ordinances in Place. A: Nearly Fourteen Percent of All GPW Homes Are Rental Homes (13.6%) 300 to 350 Single Family Rental Homes (of 6,416 Residences). B: GPW has Three Times more Single Family Rental Homes than Grosse Pointe Park (90 to 130 Per GPW & GPP Building Dept. Data Checks on 5-9-2023). C: It Is Probable that Grosse Pointe Woods Has More Rental Homes Than All of the Pointes Combined- D: Yet: We Have Nearly Zero Effective Best Practices in Place Here. All Adults Occupying a Rental Property- A Simple Process & Form Submitted to the Building Department by Property Owners/



Management per every adult lessee in residence. The City form would be this simple: A box checked stating they have done so. And Nothing Else. Our City Attorney, City Manager, Public Safety Director & Building Department can easily Review & gather data from their G.P.P. Counterparts: in Particular, FOR REVIEWING THE BENEFITS to residents, Public safety, building department revenue et al- this is a WIN-WIN for ALL- Landlord, Residents, Public Safety, Public School System etc. You Cannot Protect our most vulnerable population groups- our safety- our properties safety - our Home Values - without a Comprehensive- yet simple logistical change- GPW Leadership Must Know the number of Rental Homes that we have In Our City at Any Given Time- and Where These Rental Homes Are.

- o So sorry I missed this point myself. As far as I'm concerned, There would be NO RENTALS IN GPW. there is nothing but trouble when that is allowed.
- It is great that each Pointe has a recreational park. Each should have a movie theater like GPP. There is nowhere to go to see a movie without driving out of the city. We have some great amenities and this could be another to entice families to move here. More attention should be given to the business district so that store fronts are attractive and maintained. City could do better enforcing codes and civic pride. Is there a way to offer assistance to clean up, repair and landscape residential and commercial?
- Our city has the power and justification to insure all residents abide by existing property and safety regulations. Because of our building permit requirements, hazardous condition violation enforcement, COO inspections, and infrastructure repairs, these systems are ultimately what keeps our properties desirable, and compliance need to be enforced even more as systems and structures age. Today, many home improvements are being done without compliance, and this loophole needs to be closed.
- Exceptional city services in parks, roads, beautification, and activities are our trademark - and the city strives to serve all it's residents. Our tax dollars are being spent on solid efforts, whereas other municipalities struggle to maintain status quo.
- My only concern is the school system, as they were once one of the best in the state, and I now find many residents turning to private schools for their children. The Master Plan needs to address this issue as it impacts property values and community activities.
- We're missing local hotels within the area! Always have to travel outside the area for a decent sleep for family/friends during the holiday.
- I would like to see the Mack Avenue commercial district align more closely to the Planning Commission's 2020 plan as presented to the City Council over three years ago. To attract new businesses and youth to the district, I would like to see residential lofts being built over retail space. Local public transportation would also help in bringing vitality to the district.
- Love the area but a few things need attention. First, the "outhouses" at the Woods park are disgusting and should be replaced with normal bathrooms and sinks. The park is embarrassing. We have the money to do this. This is not representative of a city with beauty, high taxes and people who deserve better. Second, the 6 foot shiny white solid plastic, non open slot fences allowed on corners and yards look terrible. They reflect the bright lights from cars and homes at night, hurting vision. And they are frankly just ugly. The planning commission made a huge mistake changing the old fence guideline. Natural wood, wood look, open alternating posts for air flow was smart and kept the city looking beautiful. Air flow is also necessary which pets. Wood fences, not plastic, compliment our tree city. Third, fix the roads!!
- Parking has been the only problem in my 49 years ive been here. the only solution i can derive is to take city blocks that generate large amounts of people, and utilize the islands and create angled parking which the city can meter and generate more income, this would solve any issues
- Seems fine to me. It is nice you are asking.
- But, this is a wonderful city to live in and to do business in.....

- Cook Road is a disgrace ! Not only is the quality of the road surface horrible, the drivers speed excessively! Correct, improve and protect Cook Road! After all, there are two schools on Cook Road! Make Cook smooth and quiet like Allard! It's been horrible for over a decade now !

What challenges do you think the City currently faces or may face in the near future?

- Something needs to be done about the parking along make, otherwise we will continue to have our small businesses disappear after much hard work of trying to stay open. Minimizing the medians to have a smaller footprint, moving the lanes over towards the medians and having front, pull-in angled parking, similar to Birmingham and Royal Oak, would give our small/local shops, much more business throughout the day and the busy weekends. This would also allow for the possibility of a bike lane to be put in right below the sidewalks, but in front of where the parking would be. Not only would our businesses thrive, we would not need to eliminate the medians completely, and traffic would not be affected by the bike lanes. If you want to talk about making our city thrive - make it accessible for everyone - the business owners, the citizens, the able bodied and those that are not able to drive, but who can walk, bike, utilize their wheelchair to get around instead!! Boost the economic growth of the businesses we have in place, this will bring in more family's with children, young couples, etc. There is no need to put random housing in the middle of single family homes and lower property value for your current residents - this will encourage established residents to leave the city!!!! Do not bring in big box retailers - this will drown out your local shops and business owners that we all know and love! Figure out a way to make THIS work. If you need help managing the budget, I would be happy to join in to help, as I'm sure many other residents would be. Bring in an ice rink that we can actually use with our children, followup on the blight that is called in by your residents due to renters and/or residents that aren't pulling their weight!! Figure this out!!! Ever since Covid this has been a downhill spiral. We don't need music on the lawn if you can improve our infrastructure first! Prioritize please, or many more established residents will be leaving, and home values will sink very quickly. GPW is a beautiful community, and I am proud to call it my home, however this plan makes me sick to my stomach.
- Please be more aware of the parking situation on Littlestone and mack. It is a death trap with cars illegally parked and you can't see oncoming traffic
- Return Mack between Vernier and SCS border back to all of Mack. Remove two or three parking spots between blocks. Very DIFFICULT to see on coming traffic. How about annual parking passes for residents? Would like to see a sidewalk on the South side of Vernier, next to lochmoor.
- Don't forget about the homes! The homes on and around Mack Avenue are being overrun by business without notice or input from residents. We are a neighborhood not just a business district.
 - In total agreement with [previous comment]. We ARE NOT ROYAL OAK/BIRMINGHAM/ROCHESTER/BLOOMFIELD. See and read- hear the overwhelming negative impact on the HOMEOWNERS near the Ugly Mess that Downtown Royal Oak now is. Overwhelming traffic, too many restaurants and bars and not FAMILY friendly.
- Return the ambulance services to our fire department! They were superb! The current service, not so much. Parking. We need to do what S.C.S. did. Mack Ave needed to be 1 1/2 to 2 feet wider. Getting out of your car is dangerous both for pedestrians and drivers. The right lane needed to be wider. Most accidents on Mack Ave occur with parked cars. Prestwick had been a speedway since 1985. Why did you take down the stop sign at Eastborn? We have complained for decades. Nothing works. Dangerous for children.
- Mack Avenue is dangerous, both to drive on and walk on. Parking needs to be removed close to the side streets so people can see. Thoroughfares to walk home from school aren't safe, either. There's no sidewalk on one side of Vernier for North students. Mason students walk through a gas station to get to school. The corner of Mack and Vernier is a danger zone for crossing. Also, this is not a life-or-death thing, but get rid of the parking meters and invest in an app like other cities. Shops along Mack are losing business people no longer carry change to feed a meter and end up going elsewhere.



- Parking has always been an issue. I've sat on more parking committees over the years and there is no real answer to this problem, unless we do what SCS did. Take the first few houses behind the business district and make that parking. But this will never happen. Parking in the median will never happen, because I believe this is controlled by Wayne County. What I've paid other businesses to use their parking lot over the 45 years I've been doing business in this city is absolutely incredible. I've finally made deals to satisfy most of my parking needs, but GPW needs parking.
 - Nothing else more to be said on this subject but adding lose a couple of paid parking spots where one has to pull out of their streets. So dangerous and can't believe no one has got off the rears to correct this.
- It is still safe although I have had things stolen out front and in back. Parking will continue to be an issue.
- Things that need improvement: appearance and landscaping of businesses along Mack. Some businesses have painted their buildings in colors that are unattractive. It doesn't seem like the city has a cohesive viewpoint of how the city should look and then make sure it is followed by business owners and residents as well. Quite a few properties are overgrown and homes aren't maintained. These need to be addressed so that residents who chose and are paying for an upscale city in which to reside are proud to live here. We also need a dog park at Ghesquiere park. The one at Lakefront park is dismal and residents can't walk there. Plus new Pickleball courts!!! There's enough land there to create a lovely well used centrally located park with lots of activities for all ages. Are all the baseball diamonds needed or can some of the space be used for all residents. A walking track and flower beds for example. Take a cue from some of the other grosse pointe parks. Make the Woods as desirable
- Uniformity of Mack Avenue is a must to make our city a beautiful place to live and to attract younger generations to Grosse Pointe Woods. Street and park lot lights should be changed back to a warm hue, instead of the current eye-blinding sterile white lights in place today. Trees, trees, trees... Imagine Mack Avenue without any trees. It wouldn't be an attractive place to live and do business, would it? Today, we have a hodge-podge of things going on in the easement section between the sidewalk and the street that is left up to the business owners to maintain and do what they please in front of their stores. This has resulted in trees being cut down and various forms of artwork, landscaping, etc. appearing. As a recommendation, the city should take over the maintenance of the easements in order to create a consistent and uniform tree-base Avenue. Trees in general - look around, trees are diseased and dying or already have died off everywhere around our town. We need to refresh our Tree City initiative and allocate more resources and money towards tree maintenance and particularly replantings along Mack Avenue and among our neighbors. Would you like to live down a tree-less street? Not if you want curb appeal and a desirable place to live and attract future residents too.
- The turnaround just north of Vernier leads to many cars driving down Anita, using as a pass through. It causes a lot of traffic and lots of people speeding.
- Bike lanes please
- Because we are such a walkable community and the sight-distance issues on Mack are such a problem, could we find a way to remind people to STOP at the STOP SIGN first, then proceed to the actual intersection. Often vehicles roll up to the intersection and don't stop at the sign first. They could easily hit a biker or a pedestrian. There may be a way to get State funding for a public information campaign such as this.
- We moved into town in July of 2022. It took us a while to understand the city and it's services. The one improvement would be to enable more cross walks on Mack Ave. The ones that are present are difficult to cross as the cars do not stop. I believe better and more cross walks would enable more foot traffic and more potential for more foot traffic into the local shops. It may also encourage more unique shops on Mack.

- Safety at the cross hashes on Mack. I watched two middle aged little girls wait in the median across from Licavoli's for over 5 minutes while drivers completely ignored the crossing. I pulled my car into the lane and stopped and pumped my brakes for others to observe and stop, so the youngsters could walk their bikes across. We need better pedestrian safety for Mack crossings. I support and encourage home ownership over rentals and strongly opposed the construction of multi-family apartment complexes. Background checks on single family rentals, as mentioned by 'John' on Nov. 4th entry, is a very good and protective measure to enforce. One needs a permit for any little thing we would like to do on our homes, but could have a sex offender renting next door. Public safety should be priority with any community planning. Paving of our neighborhood streets seems to be taking much longer than promised. Here on Marian Ct, the street was torn up sometime back in the 90's with promise of pavement coming. I thought our street was bad until my daughter moved on to Woods Lane Ct, and the road is so bad my young grandchildren have a challenge riding their bikes. The massive holes haven't been filled in, as families wait for paving, and there are no sidewalks so pedestrian street traffic is necessary. GPPSS has been challenged recently, and it may not be under control of the city council, but despite paying school taxes above what the state provides, we are currently considering alternatives for my grandchildren. I do see hope in recent School BOE and hope they can keep focus on good traditional education, measures that would make us reconsider. On a personal note, I would appreciate the city building department responding with dignity to my request to add a small tasteful extension to my kitchen eating area. Blowing my request off with, "You can request a variance, but it will be denied. Just saving you \$350.00", without any hope of consideration, didn't sit well with this hard working, tax-paying homeowner for the past 43 years. Oppose Lansing forcing "Green Energy" policies on us, among other unpleasant policies.
- We need to prioritize our Public Safety Department. We need more officers. Too often our community is at risk by running on a "minimum" shift. Please find out for yourselves what a minimum shift looks like. Yes, we have a Mutual Aid Agreement with our neighboring cities, but if those cities are also running at a minimum shift, they cannot help us. And if it is an "area wide" event such as a tornado or big storm, large fire, (or anything catastrophic), then its "every city for itself". And that means there are basically only 4 or 5 officers trying to help our entire city. (We currently have 3 large senior centers in GPW, and how would any natural disaster be managed for them with literally a handful of officers?) Even if we have to fund it through a specific Public Safety only fund, we feel that most residents would support that. In that vein, we do not want any apartments/condos/town houses, etc. We have enough multifamily dwellings and senior centers to try to safely provide services to. Mack Avenue speed limit should certainly be lowered. It is lower in SCS and they don't have on-street parking. Additionally, the first space at each corner should be for motorcycles or compact cars only. Having SUV's in those spaces is a sight-distance hazard and probably in violation of State codes. The old "Hail Mary" when you are trying to enter Mack has been a problem for decades but even more so now, with more people on bicycles, larger vehicles, distracted drivers, etc. We are totally against pot shops. Harper Woods will soon be having them on Harper and on Kelley Road. We do not want GPW to go that route. Establish and enforce strict rental rules and codes. If needed, add additional Code Enforcement officers. Have the building department actually inspect a certain percentage of each contractor's work. We have had 2 separate contractors actually tell us within the last year that the "city" knows them and their work, and therefore rarely sends an inspector out when they pull a permit. Of course, our community is only as good as our schools. We have a wonderful community. We have a major trauma center at our fingertips, and every service imaginable for our daily living needs within our borders. We appreciate our small businesses and our community leaders. Let's make changes and improvements in small doses....baby steps... and see how they "fit" for us before it is written in stone. No drastic "out of the box" changes. Thank you for the opportunity to share our thoughts.
- The challenge of attracting younger residents. There is the challenge of prohibitive housing costs. The city needs to remain agile to changing demographics and still address the multi-generations that reside here. Related to the escalating housing costs would be the challenge of identifying ways to mitigate property taxes. Ensure there are amenities and resources for all ages. Ensuring the quality of our schools is maintained and enhanced. This is critical for attracting and retaining families



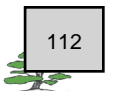
in our community. A key challenge will be not making rash decisions or pursuing something because it sounds “cool” or “trendy”. As an example, I have seen suggestions to put bike lanes on Mack. Mack is not big enough for vehicles currently. Just because something sounds good doesn’t mean it is practical or safe. Ensure the proper studies and surveys are done (i.e. how many people would use the bike lanes, what is the cost, etc...). The option of housing above the businesses on Mack sounds interesting but ensure that the necessary parking is provided and the needs of the residents who live nearby are addressed. The challenge of attracting and retaining businesses that residents need and want to patronize. Within the Master Plan, work to develop a strategy to support/attract the type of businesses the city (and its residents) wants to attract.

- Property taxes are a big deterrent to people moving here. We have the highest property tax of any of the Grosse Pointes but we have the lowest average household income and the lowest house values. People who live here have less money than people who live in the other Grosse Pointes. Why would we be able to afford higher taxes? Lower the taxes. Or at the very least, stop raising them.
 - o Agree with [above comment] in all: MANAGE OUR 300/350 SINGLE FAMILY HOME RENTAL PROPERTIES BETTER. If the single family home rental owners/companies can’t maintain them- with their massive Tax Advantages over the rest of us suffering from them- getting these homes on the Open Market and actual Long Term Home Owners & Their Families Living in Them- will INCREASE our tax base as well and increase our home values.
- Our school ranking has been decreasing steadily over the last few years . I believe this is the greatest drawing factor for attracting young families. The amenities are important but if our school system is not ranked along with Birmingham and Rochester Hills we will struggle to attract new families which will affect our property as well as the taxes.
- Everything stated above , that simple.
- I know this is a stretch and highly unlikely but a HOTEL or Bed & Breakfast for out of town visitors to have a place to stay that’s nearby. More waterfront access and activities at the Lakefront park (ie: a beach, a kayak launch, etc.). It’s such a shame that the Pointe’s are surrounded by lakefront but no place to really enjoy it.
- Closed minds. Why not enlarge the lakefront park dog park? Why not make city more enjoyable for dog owners? Nee to look at other similar cities around the US and see what they do with and for the residents. Happy to finally see more restaurants here!
- I dont recognize any large scale problems developing, as the avenue has been consistent and appears calm in my 49 years.

Resiliency and Sustainability

What actions do you think are most important for increasing the resiliency of Grosse Pointe Woods?

- Back up generators for Milk River pumping stations
- No more sewage backups (2 notes of agreement)
- Fix all plumbing/sewer issues
- Updating water infrastructure for climate change
- Rain gardens along easements to help with rain drainage
- Please stop cutting down mature trees to accommodate DTE/sewer issues. Either bury the lines or work around them (1 note of agreement)
- Plant more native plants in parks and medians
- Native plant landscaping throughout Ghesquire Park (2 notes of agreement)
- Community tree trimming where you pay for it
- Environmental practices: Native plantings, ordinances around chemical use, noise and light pollution. Encourage sustainable energy infrastructure.
- More teen and middle school activities. Little kid programs are great (1 note of agreement)/Place for teens to go and socialize (2 notes of agreement)
- Pay life guards a competitive wage so they don't go to McDonalds or other pools to work. Pool hours can be better.
- Update pool house to stay competitive with the other GP's to attract residents (1 note of agreement)
- We need more municipal resources to age in place – rides for seniors, walkable stretch (fix cracks, ramps)
- More assistance for special needs and seniors
- Senior assistance with home up keep and chores. Reliable, reasonable cost, safe
- Accessible homes and local supports for aging in place
- More condos for the aging community
- Encourage sustainability. I shouldn't have had to put decals on my solar panels (1 note of agreement)
- Promoting the use of solar and wind power in residential dwellings as well as environmentally friendly landscaping practices
- Research community solar (e.g., on city hall, parking lots and implement (2 notes of agreement)
- Transportation and walkability (1 note of agreement)
- Actively enforce the pedestrian crosswalks on Mack at all times of day, not just school hours
- Longer crosswalk time signals so we have enough time to cross Mack (1 note of agreement). Make Mack Ave SAFE for pedestrians to cross. Also at cross streets
- Fix sidewalks for safe walking (3 notes of agreement)
- Bike trails through community
- Bike routes (1 note of agreement)



- More bike racks on Mack (1 note of agreement)
- Bring back the park trolley (2 notes of agreement)
- Tons of comments on the trolley. Let's embrace buses and public transit. Good for the environment and good for folks who can't drive.
- Get rid of meters (use app instead) so residents aren't discouraged to shop and eat due to having no change to pay meter
- Get rid of the parking meters – free parking
- Multifamily housing – we need more affordable housing units for young people moving into first places, older citizens
- Allow accessory buildings for housing family and renting out to help support residents, especially seniors or empty nesters who want to stay in their homes but have space to add an accessory building (1 note of agreement)
- Senior housing – affordable. Free pool for seniors during off summer hours
- Affordable safe senior housing (2 notes of agreement)
- More walkable business – more variety. More downtown-like area to provide more community feeling vs. strip along Mack
- Attracting economically sustainable businesses should be a cornerstone of GPW's resiliency strategy (i.e. Lululemon; Cabela's; Chick-Fil-A)
- I think GPW should continue to consider ways to partner with the other Grosse Pointes to share resources.
- Safe schools!
- Safe neighborhoods
- Eliminate the pitbull ban (breed). Welcome all potential residents and their pups (1 note of agreement)
- Be more dog friendly! Allow leashed dogs in ALL parks (2 notes of agreement)
- Equitable applications of regulations, ordinances, etc. Inclusive of marginalized populations
- Since when is GP not fair and equitable? Why is this suddenly an issue?

Economic Development

How can the City support entrepreneurs and home-based businesses?

- Need more outside dining and rooftop spaces over restaurants, breweries, etc. (4 notes in agreement)/More outdoor dining – rooftop patios and parking lane dining (3 notes in agreement)/Rooftop restaurants and outdoor seating
- Zoning needs to be updated! It keeps junkyards away from residents but it means we don't have a walkable live-work-shop environment. In London, you can get your dinner at the market walking home. (1 note of agreement)
- Mixed use looks best for future – more affordable, attractive to landlords?
- Co working space (1 note of agreement)
- More mixed use business/living style buildings on Mack. Keep them old style/traditional – not ugly new build loft looking – no painted brick!
- More mixed use residences over business. Encourage new construction to add residential (1 vote of agreement)
- Arcade/larger space where smaller shops or booths can be rented short term; part of the venue could be used for events or expos
- Get Plum Supermarket and a Myers (1 note of agreement)
- How to attract more diverse business
- Host sessions to connect entrepreneurs with would-be investors. GPW has many affluent residents who could invest in local business ideas
- Keep asking business what they need and then listen (2 notes of agreement)
- Better signage (incorporate with art?) to highlight lot parking on Mack
- More activities less dentists (3 notes of agreement)
- Stop attracting dentist, urgent care, Italian food. We need more of tap houses, food, tech centers, activities (2 notes of agreement)
- Hotels
- No big box business (Yuck on the mattress). Tax incentives for small biz and local cos (2 notes of agreement)
- Allow more liquor, beer, wine serving (licenses) to encourage more eating options and draw to the city
- Multipurpose store, tech centers
- Ease off building regulations (1 note of agreement)
- Building department needs to be more business friendly
- Underground power infrastructure to reduce outages (1 note of agreement)
- No tall buildings. No fast food. Keep it classy! (2 notes of agreement)
- Stop letting big hauler trucks go back and forth on residential roads!! Charge liens for repair!
- I live in GPW and work in St. Clair Shores. I “could” bike to work but I’d get hit by a vehicle. There’s no safe way to walk and bike on a regular basis to work, grocery stores, or schools! (1 note of agreement)
- City GP Wood for HBB No expanding 473-8778 (?)



What kind of environment would you like to see on Mack Avenue?

Who's there?

14. Local businesses serving residents from surrounding neighborhoods – 34 responses
15. 4 responses
16. A mix of local and chain businesses – 20 responses
17. 0 responses
18. Big-box stores and national chains that may be a destination for visitors from surrounding communities – 1 response

What does it sound and look like?

19. Quiet, not many people – 1 response
20. 2 responses
21. 10 responses
22. 28 responses
23. Lively, bustling lots of people – 19 responses

How will everyone be able to get there?

24. Car-oriented – 1 response
25. 2 responses
26. 21 responses
27. 16 responses
28. Walkable, bikeable, transit – 30 responses

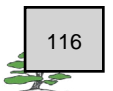
Other Comments

- Outdoor cafes and outdoor business displays
- More clothing retail shops for men and women
- More activities for seniors
- More crosswalks
- Push button pedestrian crossings along Mack (1 note of agreement)
- Get rid of one lane each way of car traffic on Mack. Pedestrian-friendly!
- Bike paths on Mack Ave (1 note of agreement)/Bike path on Mack – keep bicyclists safe and encourage less carbon-intensive travel (1 note of agreement)
- Bike lanes in the city – yes. Take away lanes on Mack – no!
- Eliminate street parking from 8 Mile to GPW city limits, add pocket parking, widen sidewalks for outdoor dining and gathering space

Economic Development: 10-Minute Neighborhoods

What do you think of a 10-minute neighborhood idea for the City? Does it fit with the existing neighborhood fabric in Grosse Pointe Woods? Would it enhance your quality of life? Are there other locations you would like to see in the City identify as a hub?

- Theater at the GPW Lakefront Park
- Use parking apps to encourage people to frequent our establishments. Not no coins no use! (1 note of agreement)/ Parking apps – people don't carry cash! (3 notes of agreement)
- No parking by apps!
- Yes smaller pockets – walkable or bikeable from your home. More variety and specialty shops like Milford
- I prefer to walk/bike for errands when possible. City transit between hubs. More small grocery options. Fewer redundant businesses (nail sales 1 per hub should be enough). No more urgent care. More entertainment options (1 note of agreement)
- This fits my vision of a city. As I age it will enhance quality of life. Good for youth too. GPWoods is fairly walkable. Let's make it more so! (3 notes of agreement)
- Easier parking
- Practice/recording studio
- Near hub 4: Almost perfect now – just traffic/parking issues. Need a traffic light near Hampton!
- Trolley for business (3 notes of agreement)
- Restore the turn around on Mack north of Vernier! Current situation is inconvenient
- I think murals on buildings could be a nice way for the city to add more art and character. If it's done by businesses it won't cost the city anything.
- In any hub, attract more restaurants and/or bakeries that offer vegan options; or a vegan restaurant. In the greater Detroit metropolitan tri-county area, GPW is one of the few cities that does not have even one vegan restaurant and/or bakery and where the majority of the current restaurants and/or bakeries do not have vegan options. City design that supports the individual consumers' requests at these establishments would be helpful towards inclusion.
- Grosse Pointe Woods is not pedestrian-friendly (or pedestrian safe). The pedestrian crossings south of Vernier are too far apart to be usable and limited to traffic signals. The number and density of pedestrian crossings north of Vernier is much better but the signage is terrible and THERE IS NO ENFORCEMENT of pedestrian crossing right-of-way (despite the State Statute). Residential solar power should be encouraged, particularly because DTE power is unreliable and reliance on "the grid" is irresponsible since it relies on fossil fuel generation of electricity. DTE continues to trim instead of removing fast-growing trees (e.g., Ash) that impact the power lines. Power distribution would be much more reliable if the easements were cleared and power lines and data service lines were buried.



What amenities would you like to see at this hub?

Amenity	Hub #1 – Mack and Cook	Hub #2 – Mack and Lochmoor	Hub #3 – Mack and Vernier	Hub #4 – Marter and Hawthorne
Grocery stores/markets	9	11	10	15**
Restaurants	17*	21*	19*	12***
Retail and boutiques	6	7	8	2
Business and administrative offices	0	0	0	0
Entertainment venues	9	19**	16**	11
Recreational spaces	14**	15	15***	3
Plazas and pocket parks	8	16***	9	19*
Personal services	2	3	3	3
Mixed use residential	11***	12	9	3
Apartments	3	7	3	7

*Amenity with highest frequency **Amenity with second highest frequency ***Amenity with third highest frequency

What placemaking elements would you like to see at this hub?

Placemaking Element	Hub #1 – Mack and Cook	Hub #2 – Mack and Lochmoor	Hub #3 – Mack and Vernier	Hub #4 – Marter and Hawthorne
Artwork	11*	8***	13**	13*
Gateways and signage	0	1	5	0
Public and community gathering spaces	9***	15*	9	13*
Sidewalk amenities	5	8***	11***	6
Preservation of historic buildings	7	3	7	3
Activation of vacant/public spaces	4	9**	5	6
Lighting	7	2	1	6
Hub-specific branding	1	2	0	1
Designated as a social district	6	7	5	9**
Sidewalk cafes/outdoor dining	10**	15*	18*	8***
Updating buildings to be more modern	0	1	1	1
Regular or pop-up events	6	6	7	8***

*Amenity with highest frequency **Amenity with second highest frequency ***Amenity with third highest frequency

Other Notes – Hub #1

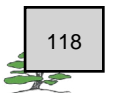
- Longer business hours for retail restaurants
- Men's clothing
- Performing arts center
- Better lighting
- Hotel (6 notes of agreement)
- Multi-use common area – small vendor/fruit market by day and event space at night
- Keep it a sleepy bedroom community
- 2 stories only for mixed use residential and apartments
- When bank closes (noted on mixed use residential)

Other Notes – Hub #2

- Park improvements for baseball at Ghesquire
- No more nail salons and fast food (2 notes of agreement)
- No more salons please (5 notes of agreement)
- Smaller markets like Salvaggio's, Westborn
- No more urgent care (5 notes of agreement)
- No low income or multi-family housing as it would too greatly widen the gap of household income/spread in Pointes (1 note of agreement)
- Can we please get flowers and seasonal decorations on Faircourt like the other streets have?
- Signage denoting Lochmoor/Sunningdale from Mack east as a historic area highlighted by the large beautiful 90-100 year old homes

Other Notes – Hub #3

- For mixed use residential: multi-family can bring density which means more money per square foot
- No more salons (6 notes of agreement)
- Senior living apartment (2 notes of agreement)
- No more urgent cares (1 note of agreement)
- Boutique hotel
- Hotel (4 notes of agreement)
- Roundabout (3 notes of agreement)
- Something for teens/preteens to do (1 notes of agreement)
- App use meter parking
- Fireworks, music events (2 notes of agreement)
- Rooftop patios



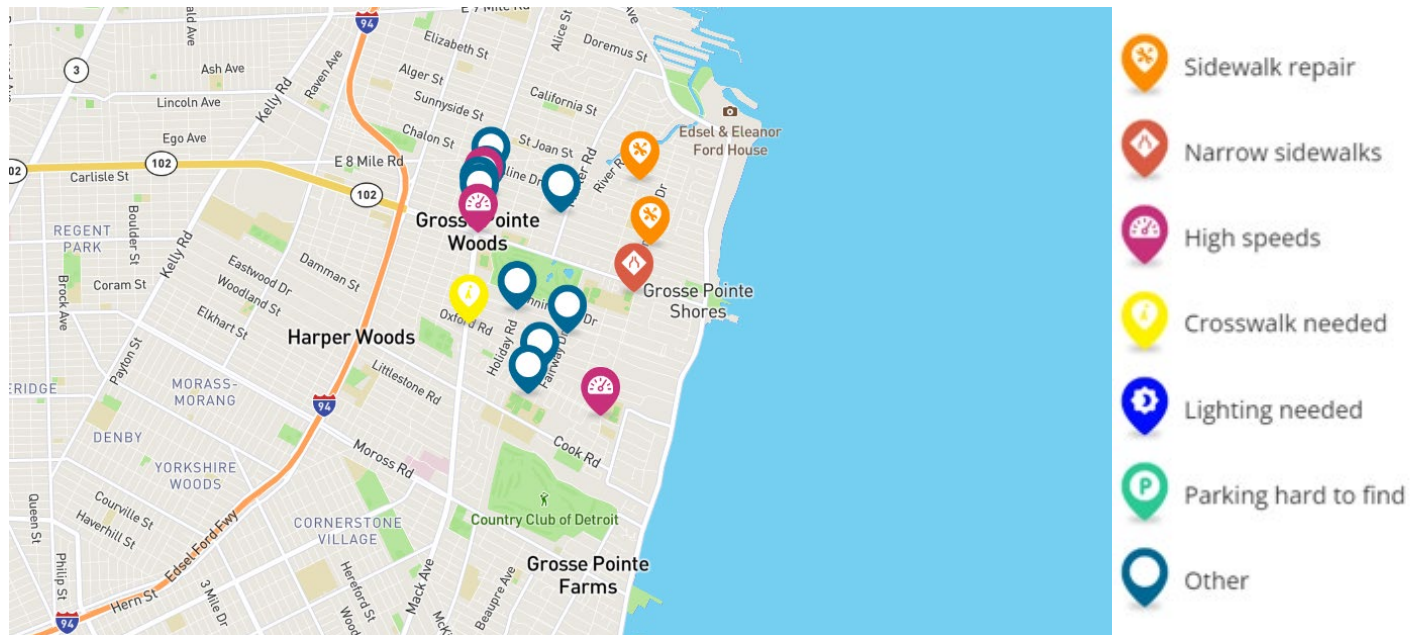
- Bike racks/bike parking
- Young adult/adult activities for families without kids. Everything is geared toward children
- Too many salons and take out restaurants (1 note of agreement)

Other Notes - Hub #4

- Bring in Plum Market and a Meyers
- Leave as is! Residential is OK (2 notes of agreement)
- Bring back a book store and record shop
- Keep green space or add more useable green space
- GP Park is a great example. Milford restaurants, small specialty shops, gathering places
- Movie theater (1 note of agreement)
- Single family home = tax revenue (1 note of agreement)
- Metered parking that uses an app. 21st century parking please
- Area 4 is the least walkable if you live closer to GPS. It would be nice for the area to become more of a hub. In addition to walking and biking, GPW could also be a potentially good place for golf carts – most streets have lower speed limits, they use less energy, and take up less space.

Transportation

Parking, Biking, and Walking Feedback. Use the map to identify any locations where you are aware of one of the following problems: need sidewalk repair/maintenance, sidewalks are too narrow, car speed limits are too high for pedestrians and cyclists to safely walk/bike, crosswalk/crossing needed, too dark to walk (lighting needed), difficult to find parking, or other issues.



Comments

- Allard has too much traffic (2 notes of agreement)
- Need to add stop sign back at Fairford and Morningside
- Convert parking lanes on Mack to bike lanes
- Limit parking to large streets – like Moross, Vernier, Cook
- Pedestrian/bike path in median on Mack (6 notes of agreement)
- Parking on Mack is a problem. Cars parked on Mack create visibility issues for pedestrians and cars turning on Mack from side streets
- The sidewalks along Morningside could be wider to allow for pedestrians, small children on bikes, dog walkers, etc.
- Cars parked on Mack block street visibility for pedestrians and for cars turning onto Mack from Brys. This is a problem up and down Mack, but this is just one example. Even though there are pedestrian “crossings,” cars are often traveling too fast down Mack for those to feel safe.
- Need to slow traffic for the cross walkers.
- If there’s anywhere in GPW I’m going to get in a car accident, this is it. When departing businesses near Hollywood/Mack, it is very difficult to make a right turn from the side streets (both Hollywood and Ridgemont) onto Mack given the parked cars which block visibility of ongoing traffic and pedestrians. Additionally the flow of traffic in the lot behind Starbucks etc. is not clear and very dangerous.

- Temporary speed bumps before stop signs to force people to slow down and stop instead of stopping at mack.
- I find it to be unacceptable that we as taxpaying residents are unable to park on our own streets overnight without being ticketed by the city. This is prohibitive to hosting overnight guests or friends who may not feel comfortable driving after drinking.
- In general, more crosswalks between Moross & Verneir
- Limit should be lowered to 30 mph on Mack Ave. especially around school zones like Parcels and high traffic restaurants
- Sidewalks need improvement. Impossible to bike w/o major bumps and potential falls for children. Seniors have difficulty walking w/o having to look down to avoid tripping. (Lochmoor at Holiday)
- Make residents trim hedges near corners to increase visibility in intersections (Lochmoor at Fairway Dr.)
- No parking on curve [on Fairholme]. Reduced visibility and only 1-lane of traffic
- No parking on the curve [on Torrey Road]. Parking there greatly reduces visibility, while making the street effectively 1-lane. This creates a dangerous driving situation, especially when cars come quickly around the curve.
- Add stop sign to stop people from flooring it when then turn off of Cook onto Morningside. Add cross ability for those walking to Star of the Sea.
- All of moorland, along river road need sidewalk repair! how can we be walkable if we kill ourselves getting from A to B?
- My house is turning 100 years old this year and my seven-square sidewalk has been considered for replacement for two years. It is the worst sidewalk in the city because I walk my dog every day and can compare. I'm in the city computer to be repaired, but have not had any success. All the squares are marked and some have asphalt. I'll be holding an open house this year to celebrate the 100th year anniversary of my house and would like to have a nice sidewalk for the event!

What types of transportation would you like to see along Mack Avenue? Place a dot in the gray box to the right of your top two (2) types.

- Electric Vehicles (EVs) – 19 responses
- Bikes and E-bikes – 30 responses
- Scooters – 4 responses
- Trolley – 53 responses

Other comments

- More crosswalks (1 note of agreement)
- More crosswalks on Mack between Cook and Vernier with flashing lights
- Safer Mack/Vernier intersection. Bad light; many accidents
 - o Lochmoor too! Not nearly enough time to cross in time walking my son to preschool
- Let's embrace regional transit so we're not wasting our taxes on siloed solutions and trolleys to nowhere
- More support for public transit! (2 notes of agreement)
 - o Better signage at stops
 - o Work with SMART and other agencies
 - o Great for commuting to work downtown and giving our seniors mobility

- Need electronic trolley on Mack and Jefferson to downtown. I would like to assist in planning this.
- The Grosse Pointes have a good amount of SMART bus routes. We should be marketing this to attract people to the area (1 note of agreement)
- Better bus routes and times (1 note of agreement)
- Dedicated barrier bike lanes along Mack similar to Jefferson in Detroit
- Put the island crossover back on Mack north of Vernier! Very inconvenient to go in circles
- Traffic informant
- Please no scooters – there are enough hazard walking or biking on the sidewalks already (4 notes of agreement)
- No bikes or scooters
- Fix the street



Transportation – Parking

Which, if any, side streets along Mack Avenue have you noticed are routinely used for overflow parking?

- Hampton
- Huntington Blvd (2 notes of agreement)
- Fairholme/Yes! Fairholme has Mack Dentist staff parking on it and we are way too busy of a street for this
- I have had to park on Prestwick Road multiple times in the past few months when visiting businesses in the area on Mack without dedicated parking lots (e.g., Jersey Mike's)
- Need safer crosswalk by Chene-Trombley Park

Is overflow parking on side streets a problem?

- No – 26 responses
- Yes – 7 responses
- Yes, sometimes – 23 responses

If yes, what suggestions do you have to direct people to park on Mack Avenue or in lots? What additional strategies could the City explore to address the issue?

- Parking pass for residents to use meters w/o cash (1 note of agreement)/Get rid of archaic coin meter or add app parking to the existing spots to encourage people to visit (5 notes of agreement)/digital payment options so you don't need to carry change (3 notes of agreement)/App for parking (3 notes of agreement)
- No app parking
- Eliminate parking meters
- Free parking in lots
- Sell annual parking meter pass for "a lot" of money so that you can park at meters w/o putting money in
- Trolley and park and ride! (9 notes of agreement)
- We need more lots off Mack (2 notes of agreement)
- The lots are never full (1 note of agreement)
- Eliminate Mack Ave Parking. Put it all in back. Will make better flow (especially between Moross and Vernier) (2 notes of agreement)
- Way too many parking spots – make them bike lane

Other comments

- Interactive website for suggestions or reporting issues with sidewalk or other infrastructure
- Residents street will not be plowed or streets will not be swept if too many commercial commuters park all day

Transportation – Bike Infrastructure and Alleys

What type of cyclist are you? What is the highest level that you feel comfortable biking in Grosse Pointe Woods?

- Level of Traffic Stress rating/type of bike rider:
 - o LTS-1: Interested but Cautious Riders: 19 respondents
 - o LTS-2: Interested, but Concerned Riders: 29 respondents
 - o LTS-3: Enthused and Confident Riders: 13 respondents
 - o LTS-4: Strong and Fearless Riders: 1 respondent

Bike-related comments

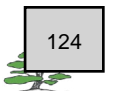
- I prefer to bike on the sidewalk along Jefferson from GPW to 10 or 11 Mile Road or along Morningside and around Mack, Lake Shore, Kercheval, etc.
- More bike racks! (4 notes of agreement)
- Bikes on sidewalks are a safety problem, especially if walking dog
- Mack Avenue is not bikeable at current. Sidewalks – cars on side street approaching Mack can't see you
- Bike lane in median/island on Mack. Too dangerous alongside vehicles on the road
- Please do not add bike lanes to Mack! It is congested enough. Use parallel streets (1 note of agreement)
- Protected bike lanes on Mack please. Not just painted lines.
- Like E. Warren and Jefferson in Detroit
- The sidewalks and streets are terrible for riding. Shave sidewalk LIPS and fill holes in streets!
- Don't take a lane or parking away from Mack (1 note of agreement)
- Enforce the one-way (1 note of agreement)
- The roads are so bad that I can't ride my bike any more!
- Need safe bike lanes (2 notes of agreement)

What improvements would you like to see in the alleys?

- Use alleys for added greenscaping and outdoor seating for Mack Ave restaurants (1 note of agreement)
- Thoughtful landscaping and storefront curb appeal
- Greenery and bike lanes
- Good place for bike lanes

Other comments

- Bring back the trolley (3 notes of agreement)



Housing: Providing More Options

What types of housing appeal to you throughout your life? What types of housing might be attractive to new residents of the City?

Type of Housing	Number of Responses for Throughout Your Life	Number of Responses for New Residents	Number of Responses for Later in Your Life (online only)
Duplex Side-by-Side	6	14	
Duplex Stacked	1	6	
Fourplex Stacked	3	6	
Cottage Court	10**	22***	2
Courtyard Building	2	2	1
Attached Townhouse/Condo	10**	23**	2
Triplex Stacked	0	4	
Multiplex Medium	0	3	
Accessory Dwelling Units (ADUs)	8***	11	1
Single-Family Detached Home	30*	33*	5

*Housing type with highest frequency ** Housing type with second highest frequency *** Housing type with third highest frequency

Community Character

What do you love most about Grosse Pointe Woods?



What kinds of elements are appropriate for Grosse Pointe Woods to enhance gateways to the City?

- Art – 27 responses
- Buildings – 8 responses
- Streets/Pavement – 28 responses
- Bridges – 7 responses
- Lighting – 28 responses
- Banners – 7 responses
- Landscaping – 53 responses

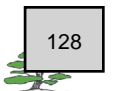
Other comments

- Banners are okay if they are readable from a distance. This one (the current one) is not!
- Need these [bridges] across Mack! (4 notes of agreement)
- Native and pollinator-friendly landscaping with minimal chemical usage (4 notes of agreement)
- Preserve old buildings and require new developments to look “old”. (1 note of agreement)
- Preserve trees please! Looks awful when cut down

Mayor for a Day and Additional Feedback Station

- Allow ADUs
- Fix the solar panel ordinance solar allowed for all homes (2 notes of agreement)
- Stop saying “no” to people’s new ideas!
- Fair, equitable, and resident-focused application of city ordinances (one note of agreement)
- Tear down 707 North Renoud per stop work order
- Waive service fees on tax and water bills
- Free parking
- No more parking meters
- Eliminate codes for breathable fences
- No Mow May
- Enforce traffic laws on residential streets
- Driving safety – speed bumps?
- Reduce speed on Mack to 30 mph
- Make pitbulls LOVED not banned/lift the pitbull ban (1 note of agreement)
- Allow dogs on leashes in ALL parks (6 notes of agreement)/Allow dogs (on leash) in Lakefront Park (2 notes of agreement)
- Add poopbag stations along Mack, Mortar, and Lakeshore/Dog bags/cans thru neighborhoods!
- More bike racks!
- More garbage cans!/More garbage cans from Vernier to SCS/More trash cans and clean them
- “Invest in our poolhouse” to attract young families. Pay your lifeguards fairly so they pool can function like pre-COVID
- Better signage for SMART bus stops on Mack
- Fix the sidewalks so we don’t trip on them (one note of agreement)
- More money for cement repairs
- Add sidewalk to golf field side of Vernier!
- Fix the damn lights at the cross walk on Vernier and Mack and increase time at Lochmoor
- Drive throughout and check the potholes
- Add more benches
- More “stop” signs at crosswalks. Lower speeds on Mack
- The roads have become a mess! Can this become a priority? I am afraid to walk and ride my bike (1 note of agreement)
- Can we please consider more additional trees planted? This is GP Woods.
- 4th of July parade (fireworks?)
- Work out a deal where GPW residents can go to the GPP theaters
- Where’s the community Ed? Where are senior services?
- Need ADA considerations if more than 1 level - elevator

- Preserve Pepsi billboard on Henry's (8 notes of agreement)
- Diversify committees – age, gender, race, identity
 - o No to diversity first. Get people who are qualified and reliable first!
 - No, we're better than this (1 note of agreement)
 - o Don't mess with success! (2 notes of agreement)
- Safe and friendly for ALL humans!
- Safe places for teens to gather
- Visible public safety (see them around – maybe more of them)
- Regular updates in Grosse Pte News
- Proactive: Sent monthly email with info
- Emails when new information is posted on site
- Keep old style architecture – not ugly new builds that look “old” like in Birmingham. Looks fake.
- Notice historical homes
- Signage that would denote Lochmoor and Sunningdale from Mack to Morningside as a historic area with beautiful old homes 90-100 years old
- Walkable Mack. Downtown feel. More food!! Close Mack 1st Sunday 12-2pm for walkable event
- Eliminate option of using Mack Ave storefronts as warehouses
- Eliminate storefronts used for warehousing. No signage, windows blocked with blinds or paper, no street activity, no economic activity, violates zoning codes.
- Storefronts on Mack Ave are so ugly and outdated. Let's give some tax breaks for upgrades and improvements
- Require businesses to keep up their property! Some are awful. Never see this in B'ham, Rochester, etc.!
- Mandatory criminal background checks on all single family rental homes and rental unit adult residents
- More senior driving help
- More senior activities (more stimulating activities such as free yoga and tai-chi, healthy cooking demos, access to fitness class) when the pool is not available (e.g. activity building and less bingo). Team up with hospitals to provide these activities (1 note of agreement)
- City of Livonia provides low interest loans to seniors to improve their homes. GPW consider any plan like this?
- Every doctor encourages seniors to swim for exercise. Summer is great! Rest of year there should be an affordable (not neighborhood club) for seniors to swim.
- Address environmental sustainability. Every community has a stake in a cleaner environment and reducing carbon emissions. Ban pesticides. Build bike paths. Reduce brightness of street lights, which contribute to light pollution – bad for birds. Allow more solar panels on roofs. Adopt food-waste composting. Plant native gardens and rain gardens (the native plants on Mack and Van Antweg are a nice start). Young people (teens) need social gathering places – related to mental health. Rain gardens reduce flooding.
- Plant more trees throughout parks and streets (1 note of agreement)
- Stop cutting down trees along city right of ways. These give the community character and charm.



- Need a Master Plan for Ghesquire Park with input from Rec Commission and Woods/Shores Little League
- What about parks? No master plan for parks? (2 notes of agreement)
- Maybe make more parks. Little kid place at the park. Kids will have fun.
- What's up with Londos on Briarcliff (formerly Liggett)? No info. Very odd. Who owns and lives there? Open to new residents?
- Up keep of grass by City Hall. Edge the grass.
- Landscaping at City Hall is an embarrassment. Grass should be edged and dead trees need to be removed that are located in front of the buildings. Flowers around the clock need to be watered and weeds pulled. Holiday lights need updating.
- Time to update curb appeal in front of City Hall. Too many people drive by and they should be "wowed". Maintenance of lawns and beds needs to be better. Get rid of the dead trees.
- Faircourt has no flower hanging pot or seasonal decoration. How come?
- Love the DPW, the decorations on Mack lampposts, the people, the business, the cleanliness, and beautification (1 note of agreement)
- Service. Safety. City Staff
- Please put this info online for careful reading and comment. Too crowded to see all.
- Meeting well designed but you need two of each station. Thanks

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Appendix D

Glossary & List of Acronyms

Appendix D: Glossary & List of Acronyms

Glossary

Accessory Dwelling Units (ADUs)

Detached or attached small, independent living units that are located on the same lot as a single family home or as part of a community development.

Action Items

Specific steps to accomplish objectives and support the wider vision of the identified goals.

Affordable Housing

The U.S. Department of Housing and Urban Development defines affordable housing as housing where the occupant is paying 30% or less of the occupant's gross income on total housing, including utilities.

Bike Score

A measure of how bike-friendly a community is on a scale from 0-100 from "somewhat bikeable" to "biker's paradise." Visit www.walkscore.com for more information.

Capital Improvement Plan (CIP)

A Capital Improvement Plan (CIP) is a document that schedules and prioritizes future capital expenditures and designates funding sources to implement them. In Michigan, cities and townships that have CIPs are to schedule projects for a period of six years.

City Council (CC)

Legislative body that passes laws and sets policy for the City. The City Council adopts Zoning Ordinances that provide a legal framework for redevelopment as envisioned in the Master Plan.

Complete Streets

A transportation network that includes facilities for vehicles, pedestrians, cyclists, and other legal users of all ages and abilities.

Connectivity

The number of ways and variety of options to physically reach multiple destinations, often related to street networks. Connectivity can also imply non-physical means (telephone, internet, social media, etc.) to connect and interact with others and may be referred to as social connectivity.

Density

A measure of the amount of people inhabiting an area or development on a property. In terms of land use, density is often expressed as the number of residential units per acre of land (or another unit of measure).

Gateways

An entranceway that announces a point of arrival. Gateways can be located on public or private property (or a combination of the two) and can be a point of interest for a community for people arriving by vehicle, on foot, or by bicycle. Gateways can be important in reinforcing community identity, creating anticipation for what is ahead, and providing a sense of place.

Goals

General guidelines that explain what the community wants to achieve. Goals are usually long term and represent global visions such as to "Provide a range of housing choices for all ages and incomes" or "Strengthen the local economy." Goals define the "what," "why," and "where" but not the "how."



Green Infrastructure

The use of natural or engineered systems – such as green roofs, rain gardens, or cisterns - to clean stormwater as it moves through soils and plant roots (treatment), returned to groundwater (infiltration), returned to the air (evapotranspiration), and/or captured to irrigate plants or flush toilets (reuse). This approach is called “green infrastructure” because of the use of plants to enhance and/or mimic natural processes. Green infrastructure contrasts with traditional “gray infrastructure” which is typically built to capture and retain large volumes of stormwater collected over a large area, and convey it to the nearest waterway.

Master Plan

A document that contains a description of a community's vision for its future and guiding principles that help a community create land development policies and make land use decisions. In the State of Michigan, the value of the Master Plan as an important community document is recognized, which is why the state requires Master Plans to be reviewed every five years. This review allows communities to check in on their progress and ensure the vision and guiding principles are still relevant.

Missing Middle

A term describing the mid-tier market segments that are often overlooked in housing development. It is often discussed in the context of density and housing typologies, but it is also applicable when considering the segment of the population with earnings too high for subsidized/affordable housing but those also cannot afford the market-rate.

Mixed Use

A development that typically contains residential and commercial uses in the same building or within a small area. For example, a residential building with ground floor retail is a typical mixed-use development.

Objectives

Milestones that mark progress in achieving goals. Objectives provide more of the “how” goals will be implemented. For example, with a goal of “Strengthen the local economy” an objective to “Provide a clear set of guidelines and expectations for developers” is something that may be measured and tracked over time.

Planning Commission (PC)

Body responsible for preparing and adopting the City's Master Plan. Other duties include recommending policy related to land use, specifically amendments to the Zoning Ordinance that align with the Master Plan, and reviewing development and redevelopment proposals.

Resiliency

The practice of designing the environment in a way that can endure stresses and threats that can be ongoing and persistent or sudden disruptive shocks.

Sustainability

The ability to meet the needs of the present without compromising the ability of future generations to meet their own needs. There are three aspects to consider: the environment, social needs/people, and financial.

Walk Score

A measure of walkability in a community on a scale from 0-100 from “car dependent” to “walker's paradise.” Visit www.walkscore.com for more information.

Zoning Board of Appeals (ZBA)

While not specifically involved in the development of the Master Plan, the ZBA is authorized to permit variances or deviations from the Zoning Ordinance standards. Decisions should be consistent with the criteria related to specific properties. If the ZBA finds flaws with ordinances or their application, those concerns are forwarded to the Planning Commission for review.

Zoning Ordinance

One of the primary tools for implementing the vision of the Master Plan; it provides the legal framework that regulates development of property. Amendments to the Zoning Ordinance can range from minor changes to text all the way to the addition of new uses and creation of new districts. An amended zoning ordinance can also be supported by other policies that encourage redevelopment, upgrades to existing development, and the maintenance of property.

List of Acronyms

ACS American Community Survey	OCED Oakland County Department of Economic Development
ADA American Disabilities Act	OPRA Obsolete Property Rehabilitation Act
ADU Accessory Dwelling Unit	PC Planning Commission
AMI Area Median Income	RCOC Road Commission for Oakland County
CIP Capital Improvement Plan	SEMCOG Southeast Michigan Council of Governments
CISMA Cooperative Invasive Species Management Area	TAP Transportation Alternatives Program
CRA Commercial Rehabilitation Act	TIF Tax Increment Financing
DDA Downtown Development Authority	WRC Water Resources Commissioner
EGLE Environment, Greats Lakes, and Energy	
FEMA Federal Emergency Management Agency	
GLWA Great Lakes Water Authority	
HTF (Oakland Together) Housing Trust Fund	
MEDC Michigan Economic Development Corporation	
MDNR Michigan Department of Natural Resources	
MDOT Michigan Department of Transportation	
MNFI Michigan Natural Features Inventory	

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ASSISTED BY:
Giffels Webster - 1025 East Maple, Suite 100 | Birmingham, MI 48009

memorandum

DATE: February 13, 2024

TO: Grosse Pointe Woods Planning Commission

FROM: Jill Bahm, Stephanie Osborn, Rose Kim, Giffels Webster

SUBJECT: **Future Land Use Wrap-Up and Working Master Plan Draft**

Introduction

The Grosse Pointe Master Plan process is nearing completion. After several months of discussions about the City's existing conditions and its vision for the next 10-15 years, we have begun to focus on plan preparation which consists of three main parts:

- The Future Land Use Plan & Map
- The Mack Avenue Corridor Plan
- The Action Plan

Our February 20 meeting will focus on finalizing the future land use plan as discussed in our January meeting and discussing the Mack Avenue Corridor Plan. Action strategies may start to be discussed and will continue at future Planning Commission meetings.

Future Land Use

Annotated Future Land Use Map and Descriptions

The Future Land Use Map illustrates the City's vision for the future. Enclosed is a copy of the future land use map with annotations indicating proposed changes from the future land use map in the previous 2006 Master Plan based on feedback from the Planning Commission last month.

The Future Land Use Map is accompanied by text that describes the intent of the proposed future land use categories. The text is general in nature to allow for some flexibility, however, specific enough to not only guide any zoning amendments that may be needed, but also to provide the City support for land use policies and decisions (like a planned unit development (PUD) or a rezoning application).

Updated Future Land Use Descriptions

Below are the future land use descriptions from the 2006 plan, which have been updated to include suggestions from the Planning Commission at the January meeting. Text with ~~red strikethrough~~ indicates suggested omissions while the **blue text** indicates suggested new text.

Single Family Low Density Residential

This category is designed to provide an environment of predominately lower density, single family detached dwellings along with related uses on lots of 7,200 square feet and greater. These lots, **primarily found in the center of the city, south of Vernier and east of Mack,** ~~sizes~~ will generally equate to the City's R-1A, R-1B, and R-1C single family zoning districts.

Single Family Medium Density Residential

This land use classification is designed to allow medium density residential development for single family detached dwellings along with other related facilities on lots of less than 7,200 square feet. These lots **comprise the bulk of the city's residential lots, north of Vernier and west of Mack and** ~~sizes~~ generally equate to the City's R-1D and R-1E single family zoning districts.

~~Two-Family~~ Low Density Multi-Unit Residential

This residential designation includes **quadplex (four families), triplex (three families),** duplex (two families) and single-family housing units. ~~The two-family style housing is proposed~~ **Lots designated as Low Density Multi-Unit are located** in selected areas of the City primarily along Vernier Road. It is limited to areas where there are existing duplex units along major collector streets. R-2 Two-Family and **R-4 High Density Multiple Dwelling** zoning corresponds to this designation **with an anticipated density of 6-7 dwellings/acre.** [note: this is the current zoning R-2 standard]

Planned Multi-Family

This land use category includes **residences of various styles** ~~attached town-house condominiums~~ at a density of approximately six (6) to eighteen (18) units an acre and corresponds to the R-3 and R-4 zoning districts.

Office

~~The office land use classification is designed to provide for uses such as offices for professional and administrative uses, banks, medical and personal service establishments, etc. The district is the least intensive commercial district. It is also intended to provide a transitional area between residential and commercial zoning districts in areas that are lacking adequate separation. The RO-1 Restricted Office zoning district is compatible to this classification.~~

~~General Business/Mixed Use~~ Corridor Mixed Use

This land use designation includes retail, restaurant, **personal service,** and office establishments which are designed for the day-to-day needs of nearby residents **and are found along the Mack Avenue corridor.** These facilities are intended to be located in close proximity to residential neighborhoods but with adequate buffering. These land uses equate to the City's C Commercial zoning district, P Parking district and some areas zoned RO-1 Restricted Office.

Mack Avenue, for most of its length in the City, was developed in a different era and is no longer compatible with modern commercial needs, particularly with respect to the depth of parcels. Many parcels are often inadequate to support modern site and structure design. The City has addressed this in the past through the "Parking" land use and zoning designations, with publicly owned property being developed and maintained by the City to accommodate the parking needs of nearby businesses.

It is recognized that allowing commercial and mixed use parcels to expand for greater depth means the demolition of existing structures, but this could be done in an appropriate manner that

preserves the character of surrounding areas through limited infringement of residential area integrity.

The Corridor Mixed Use classification is intended to meet the City’s long-term redevelopment potential needs and is envisioned to include a mix of retail, residential and ancillary parking uses that are smaller scale than traditional big box stores and serve community needs.

City Center/Mixed Use Regional Business

The ~~city-center/mixed-use-business-commercial-district~~ Regional Business designation includes the City’s most intense commercial uses. These uses are clustered ~~at along~~ Mack Avenue ~~and the city’s southern boundary. These areas and~~ include multi story commercial and office facilities. Mixed use complexes involving commercial, office, and/or residential uses can also be considered. The C-2 High Intensity City Center zoning district corresponds to this land use classification.

Institutional

This land use designation is located where existing schools, ~~places of worship churches~~, and public buildings are currently in operation with the City, ~~and fall primarily within residential neighborhoods. These uses are often permitted within multiple zoning districts within the City as permitted uses~~ land use designations align with the C-F, Community Facilities zoning designation. Should they no longer serve their original purpose, the city may consider other uses that support community services and fellowship; otherwise, these areas should align with a surrounding land use.

Parks and Recreation

The Parks and Recreation classification includes existing public recreation facilities and private clubs within the City of Grosse Pointe Woods. ~~These uses are often permitted within multiple zoning districts within the City as permitted uses.~~

Parking

~~This land use classification includes municipal parking lots located along Mack Avenue. These parking lots primarily service retail, restaurant, and office uses within the corridor and are maintained by the City of Grosse Pointe Woods.~~

FUTURE LAND USE CATEGORIES	
2006	2024
Single Family Low Density Residential	Single Family Low Density Residential
Single Family Medium Density Residential	Single Family Medium Density Residential
Two Family Residential	Low Density Multi-Unit Residential
Planned Multi-Family	Planned Multi-Family
Office	General Business/Mixed Use Corridor Mixed Use
City Center/Mixed Use	City Center/Mixed Use Regional Business
General Business/Mixed Use	General Business/Mixed Use Corridor Mixed Use
Institutional	Institutional
Parks and Recreation	Parks and Recreation
Parking	Parking Corridor Mixed Use

Proposed Zoning Plan

A zoning plan is a requirement of a Master Plan and it illustrates how the future land use categories (our guide for land use decisions) align with the Zoning Ordinance (the way land is regulated). The zoning plan also shows what changes to the Zoning Ordinance may be needed to achieve the goals of the Master Plan. Although this information is described in the future land use descriptions above, it is also helpful to have it in tabular format.

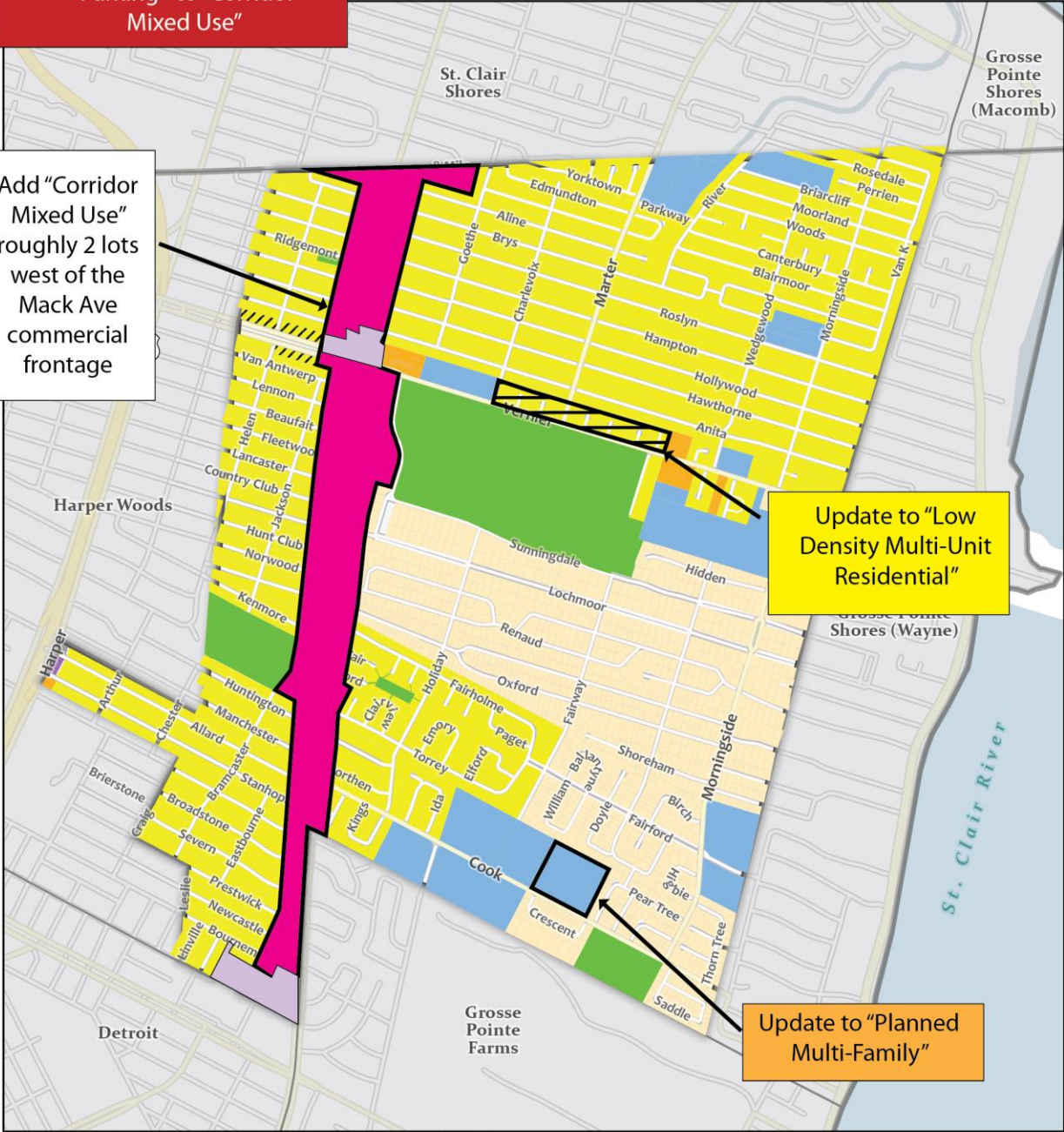
ZONING PLAN	
Future Land Use	Zoning District
Single Family Low Density Residential	R-1A, R-1B, R-1C
Single Family Medium Density Residential	R-1D, R-1E
Low Density Multi-Unit Residential	R-2; Amendment to this district or a new district may be needed to permit 3- and 4-family dwellings (either by right or special land use).
Planned Multi-Family	R-3, R-4
Corridor Mixed Use	C, RO-1, P – Note: a new mixed use zoning district could be created that consolidates the C, RO-1 and P districts
Regional Business	C-2
Institutional	CF
Parks and Recreation	Any district

Update all areas designated as "Office" and "Parking" to "Corridor Mixed Use"

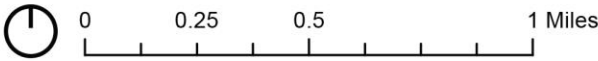
Add "Corridor Mixed Use" roughly 2 lots west of the Mack Ave commercial frontage

Update to "Low Density Multi-Unit Residential"

Update to "Planned Multi-Family"



Data Sources: Future Land Use: Grosse Pointe Woods, Roads: SEMCOG. ©2024 Giffels Webster.



- | | | |
|-----------------------------------|----------------------------|-----------------------------------|
| Single Family Low Density | City Center/Mixed Use | Rename "Regional Business" |
| Single Family Medium Density | General Business/Mixed Use | Replace with "Corridor Mixed Use" |
| Two-Family | Institutional | |
| Planned Multi-Family | Parks and Recreation | |
| Office | Parking | Replace with "Corridor Mixed Use" |
| Replace with "Corridor Mixed Use" | | |



FUTURE LAND USE

GROSSE POINTE WOODS

PROPOSED CHANGES TO 2006 MAP

Working Draft

Included in packet materials for this meeting is a working draft of the master plan. Planning Commissioners may wish to begin looking at this document and providing additional guidance and suggestions about additional content that may be desired in the plan.

Please note a tree canopy map and information about parks and recreation services will be included in the next draft.

Next Steps

Plan Preparation of this phase of the master plan update will consist of 5 meetings:

1. Meeting 1 – January 2024 meeting focused on beginning discussion on the future land use map and descriptions and Mack Avenue Corridor Plan.
2. Meeting 2 – Finalization of the future land use map and descriptions and discussion on the Mack Avenue Corridor Plan.
3. Meeting 3 – Development of action items and consideration of their prioritization.
4. Meeting 4 – Finalization of action items and review of the draft plan.
5. Meeting 5 – Review of the final draft prior to release for public comment.

CITY OF GROSSE POINTE WOODS

BUILDING DEPARTMENT REPORT

TO: PLANNING COMMISSION

FROM: KARSON CLAUSSEN, BUILDING OFFICIAL

DATE: FEBRUARY 20, 2024

SUBJECT: BUILDING DEPARTMENT REPORT

This past month, the permit for the addition at 551 Roslyn was issued. This project was approved by the ZBA in November of 2023. The construction value for the project is \$500,000.

A pool and exterior renovation project at 663 Lochmoor was issued. The construction value for the project is \$180,000.

A sign permit was issued for High 10 Personal Training at 19853 Mack, Ste. 102.

Crispelli's is very close to be completed, we expect the C of O to be issued this month.

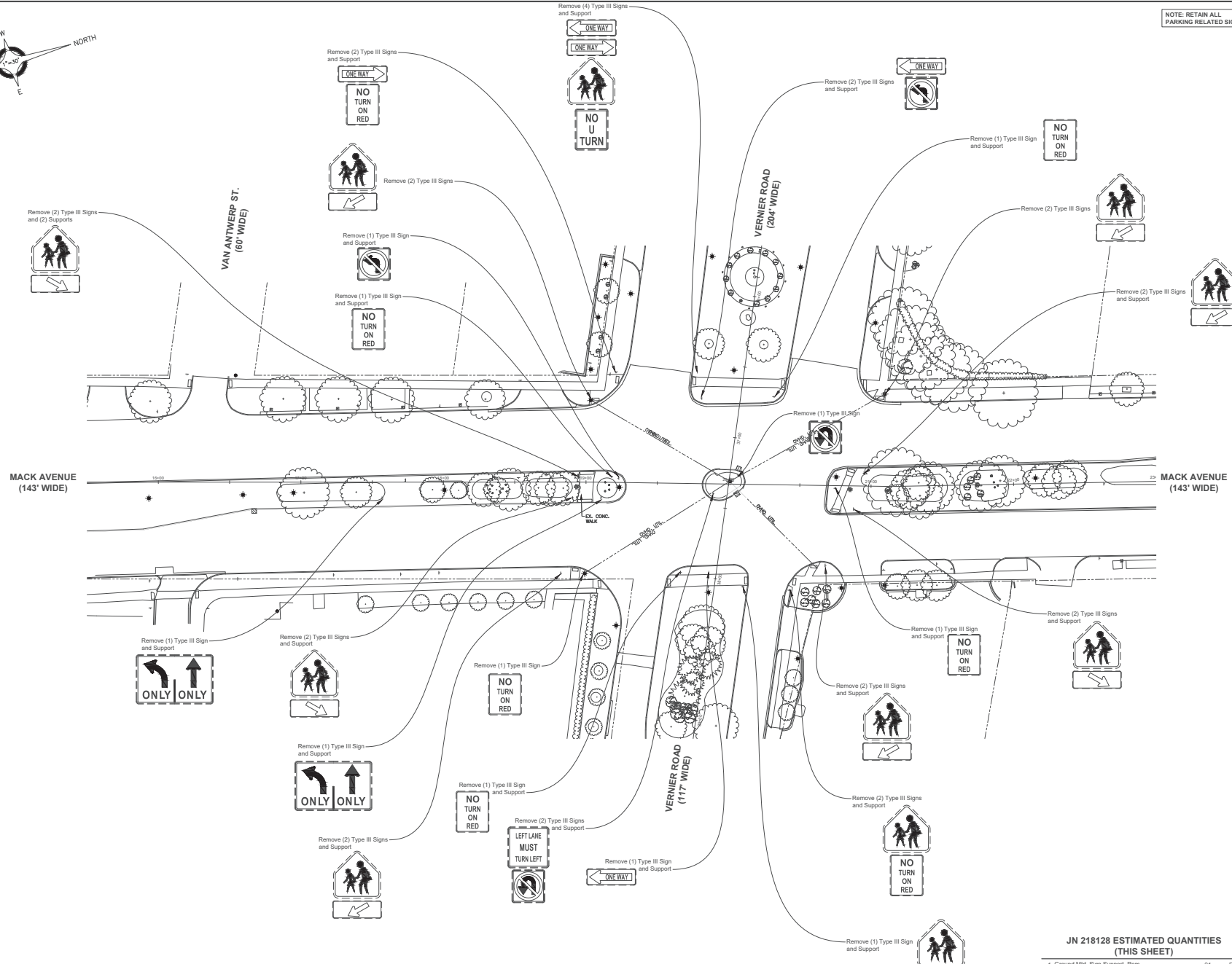
Bucharest Grill has been advised to add light shields to their parking lot lighting fixtures in order to prevent "light trespassing" issues, particularly to those living, walking and traveling along Torrey Rd.

Last week, a final inspection at Legacy Oaks was performed for Unit 2 of the residential units, along with the common areas which include the former school kitchen as well as the auditorium. This week, a list of items that require correction has been sent to the owner. It is expected that within the coming weeks, a Temporary C of O will be issued for this unit.



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WESTRICK, INC.
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51301 Schoenherr Road Phone 586 726 1234
Shelby Township Michigan 48315 Fax 586 726 8789
www.aewinc.com
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NOTE: RETAIN ALL
PARKING RELATED SIGNS



DATE: _____ SUBMITAL DIVISION: _____
PROJECT NAME: _____
SHEET TITLE: _____

VERNIER & MACK INTERSECTION IMPROVEMENTS

PERMANENT SIGNING PLAN REMOVAL MACK AVENUE

CLIENT:
CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: _____	CHECKED BY: _____	DATE: _____
CAD: _____	MTL: _____	MAY 2023

SCALE:
1" = 30'



UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY. AS LOCATIONS BY RECORDS PROVIDED TO THE FIRM FROM THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (ON CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. CALL COSTS FOR UTILITY LOCATION VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONNECTING WITH THAT UTILITY.

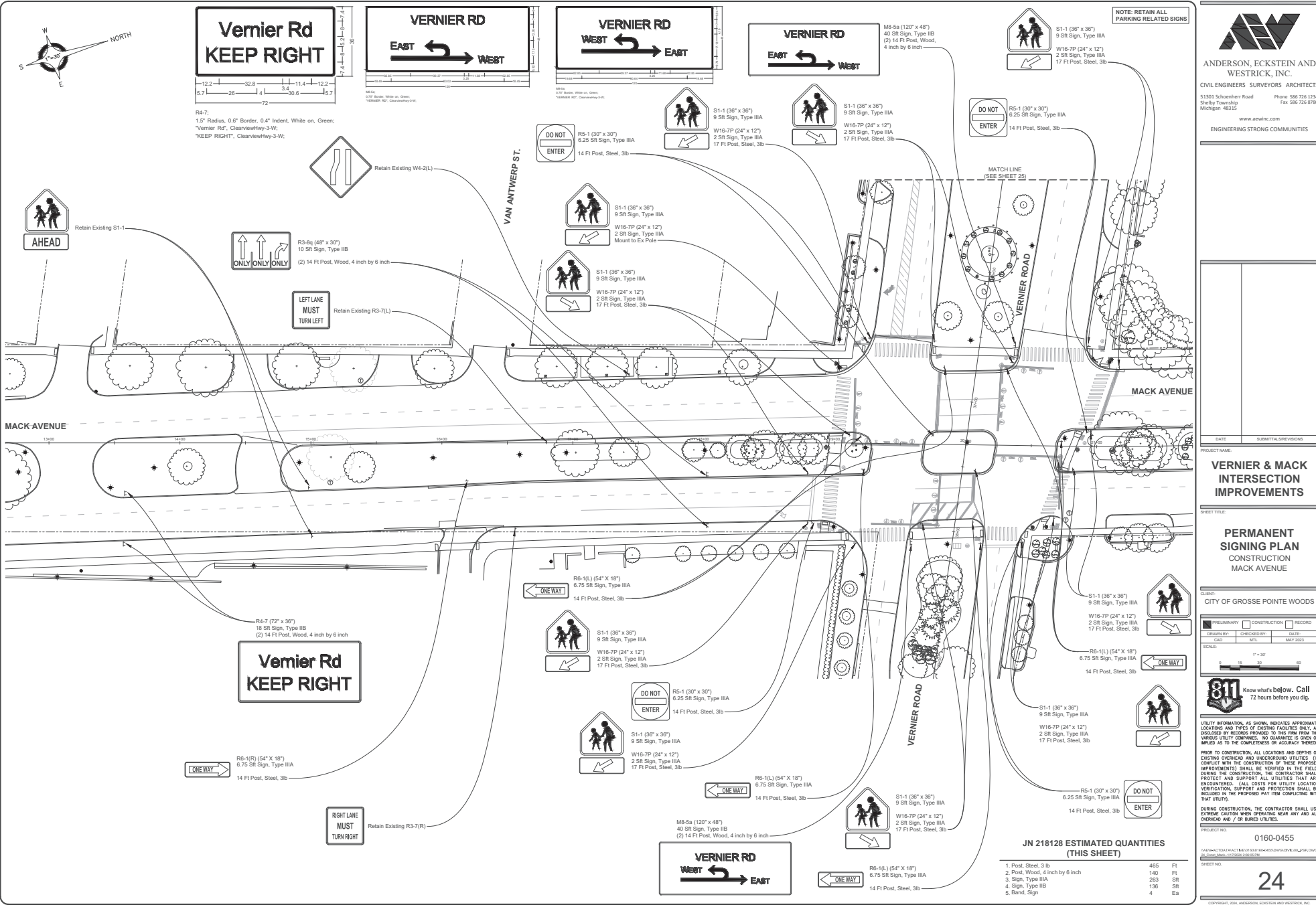
DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO: 0160-0455
M:\10160160\10160-0455\DWG\CONV\CONV_0160_0455.DWG
PL 2023-05-08 10:00:00 8/6/23 8/6/23
SHEET NO: _____

JN 218128 ESTIMATED QUANTITIES (THIS SHEET)

1. Ground Mtld. Sign Support, Rem	21	Ea
2. Sign, Type III, Rem	39	Ea

23



ANDERSON, ECKSTEIN AND WESTRICH, INC.
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Shelby Township Michigan 48151 Fax 586 726 8795
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DATE: _____ SUBMITTAL VERSION: _____
PROJECT NAME: _____
VERNIER & MACK INTERSECTION IMPROVEMENTS
SHEET TITLE: _____

PERMANENT SIGNING PLAN
CONSTRUCTION
MACK AVENUE

CLIENT: CITY OF GROSSE POINTE WOODS

☒ PRELIMINARY ☐ CONSTRUCTION ☐ RECORD

DRAWN BY: _____ CHECKED BY: _____ DATE: _____
CAD: _____ NTL: _____ MAY 2023

SCALE: 1" = 30'

811 Know what's below. Call 72 hours before you dig.

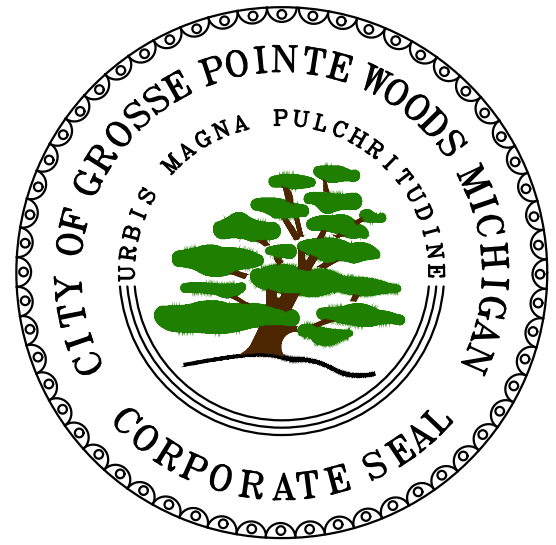
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JN 218128 ESTIMATED QUANTITIES (THIS SHEET)

1. Post, Steel, 3 b	465	FL
2. Post, Wood, 4 inch by 6 inch	140	FL
3. Sign, Type IIIA	293	SR
4. Sign, Type IIB	136	SR
5. Band, Sign	4	EA



City of Grosse Pointe Woods



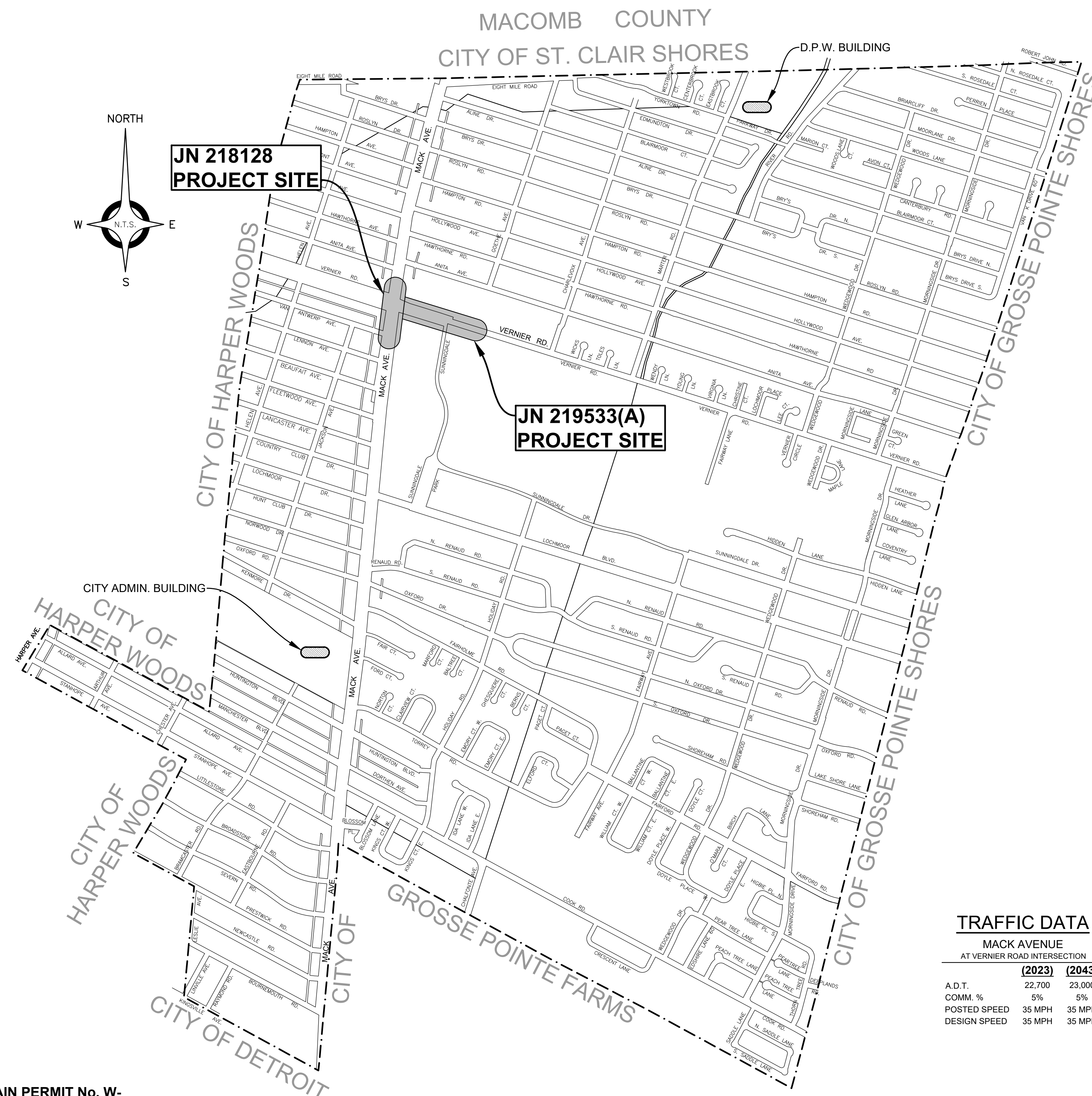
Wayne County, Michigan

In Cooperation With The Michigan Department Of Transportation And The Federal Highway Administration

Plan And Detail Of Proposed

Vernier & Mack Intersection Improvements

Control Section	Job No.
HSIP / VRU 82000	218128
SRTS / VRU 82000	219533(A)



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DESIGN & CONSTRUCTION STANDARD

THE IMPROVEMENTS COVERED BY THESE PLANS SHALL BE PERFORMED IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION 2020 STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY OF EASTPOINTE STANDARD WATER MAIN SPECIFICATIONS UNLESS MODIFIED BY A SPECIAL PROVISION.

ALL TRAFFIC CONTROL DEVICES SUCH AS LIGHTED ARROW BOARDS, PLASTIC DRUMS, BARRICADES, TEMPORARY SIGNAGE, AND LANE CLOSURES SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE 2011 MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE SUPPLEMENTARY MAINTAINING TRAFFIC SPECIAL PROVISION.

PROJECT DESCRIPTION

INTERSECTION AND SIGNAL MODERNIZATION INCLUDING MAST ARMS ON MACK AVENUE AT VERNIER ROAD, RECONFIGURATION OF AN EXISTING CROSSOVER INCLUDING NEW MAST ARM SIGNALS ON VERNIER ROAD EAST OF MACK AVENUE, A NEW SIGNALIZED INTERSECTION ON VERNIER ROAD AT SUNNINGDALE PARK INCLUDING MAST ARMS, CROSSWALK WITH ADA IMPROVEMENTS, AND WIDENING OF VERNIER ROAD EAST OF SUNNINGDALE IN THE CITY OF GROSSE POINTE WOODS, WAYNE COUNTY. THIS IS A LOCAL AGENCY PROJECT.

TRAFFIC DATA

	MACK AVENUE AT VERNIER ROAD INTERSECTION	
	(2023)	(2043)
A.D.T.	22,700	23,000
COMM. %	5%	5%
POSTED SPEED	35 MPH	35 MPH
DESIGN SPEED	35 MPH	35 MPH

TRAFFIC DATA

	VERNIER ROAD SUNNINGDALE PARK TO MACK AVENUE	
	(2023)	(2043)
A.D.T.	5,800	6,000
COMM. %	3%	3%
POSTED SPEED	35 MPH	35 MPH
DESIGN SPEED	35 MPH	35 MPH

LOCAL AUTHORITY APPROVAL
CITY OF GROSSE POINTE WOODS

JIM KOWALSKI, DIRECTOR OF PUBLIC SERVICES

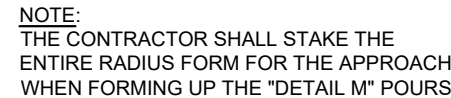
DATE

"I HEREBY CERTIFY THESE PLANS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH ACT 240, PUBLIC ACTS OF 1937 AS AMENDED- STATE OF MICHIGAN."

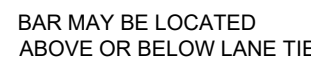
ROSS T. WILBERDING, P.E. No. 6201068836

DATE

ENGINEERING STRONG COMMUNITIES



NOT TO SCALE



DIMENSIONS		LANE TIES	CONCRETE CU.YD./LIN.FT.
M	N		
1'-6"	7/8"	AS SHOWN	0.0484

NOT TO SCALE

PROJECT NAME:

SHEET TITLE

CLIENT

CITY OF GROSSE POINTE WOODS

☒ PRELIMINARY ☐ CONSTRUCTION ☐ RECORD

DRAWN BY:	CHECKED BY:	DATE:
DBK	RW	JUNE 2023

SCALE:

AS NOTED



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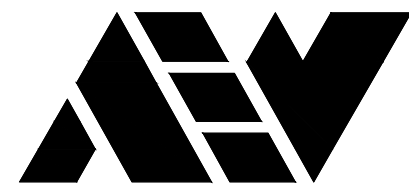
DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO. _____

0160-0455

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SHEET NO.



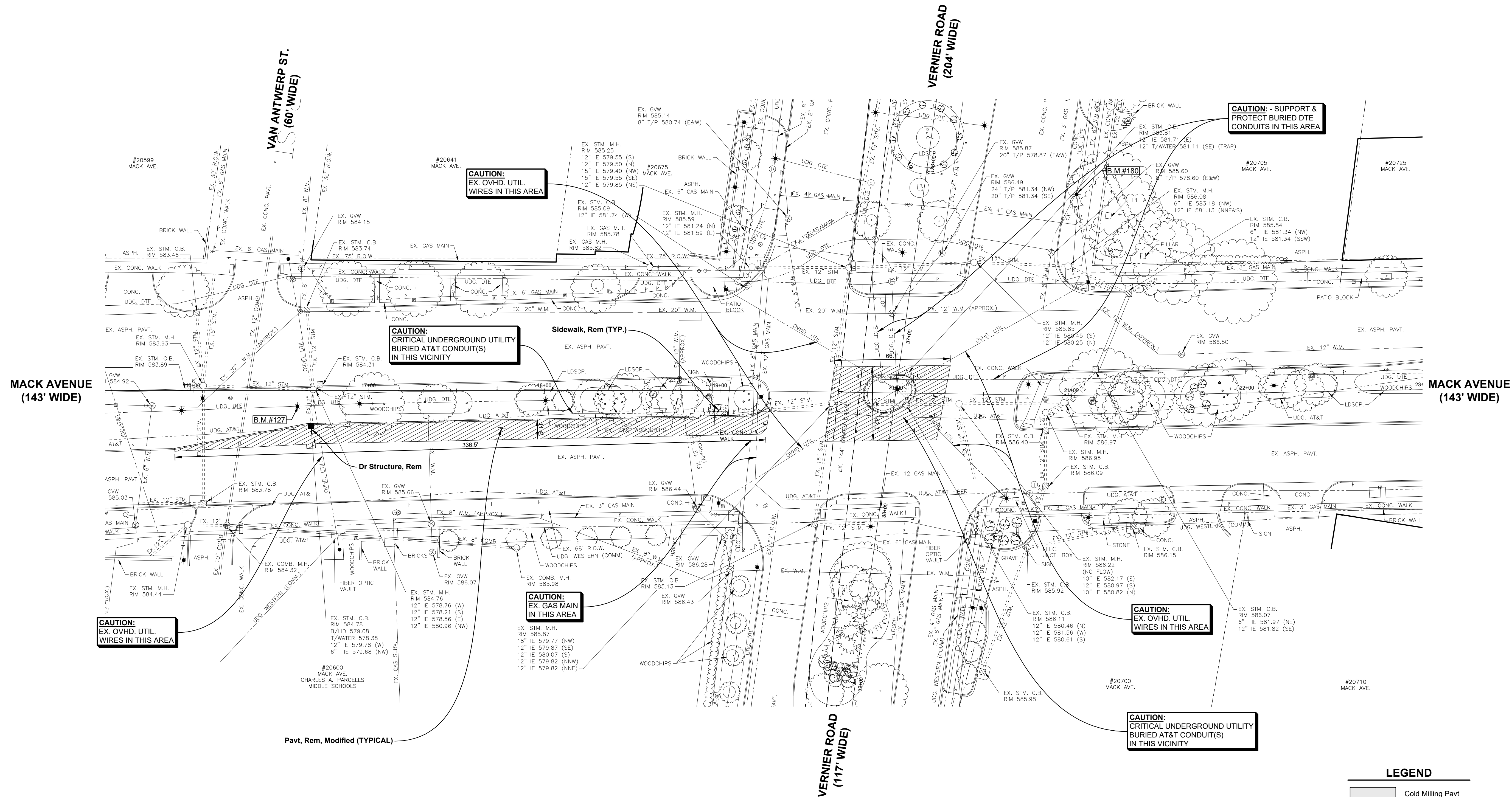
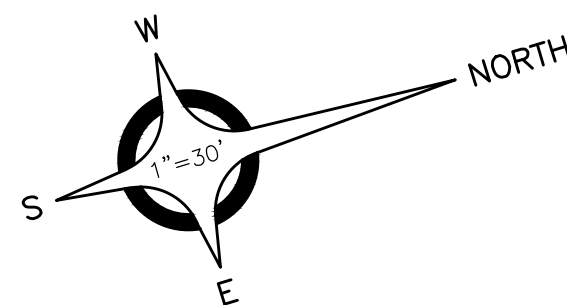
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Shelby Township Fax 586 726 8780
Michigan 48315

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ENGINEERING STRONG COMMUNITIES



MACK AVENUE
(143' WIDE)

VERNIER ROAD
(117' WIDE)

VERNIER ROAD
(204' WIDE)

LEGEND

- Cold Milling Pavt
- Pavt, Rem, Modified
- Sidewalk, Rem

JN 218128 ESTIMATED QUANTITIES (THIS SHEET)

1. Pavt, Rem, Modified	640	Syd
2. Sidewalk, Rem	8	Syd
3. Dr Structure, Rem	1	Ea

DATE	SUBMITTALS/REVISIONS
PROJECT NAME:	

VERNIER & MACK INTERSECTION IMPROVEMENTS

SHEET TITLE:

REMOVAL PLAN MACK AVENUE STA. 15+25 TO STA. 23+00

CLIENT:
CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: DBK	CHECKED BY: RW	DATE: JUNE 2023
SCALE: 0 15 30 60 1" = 30'		



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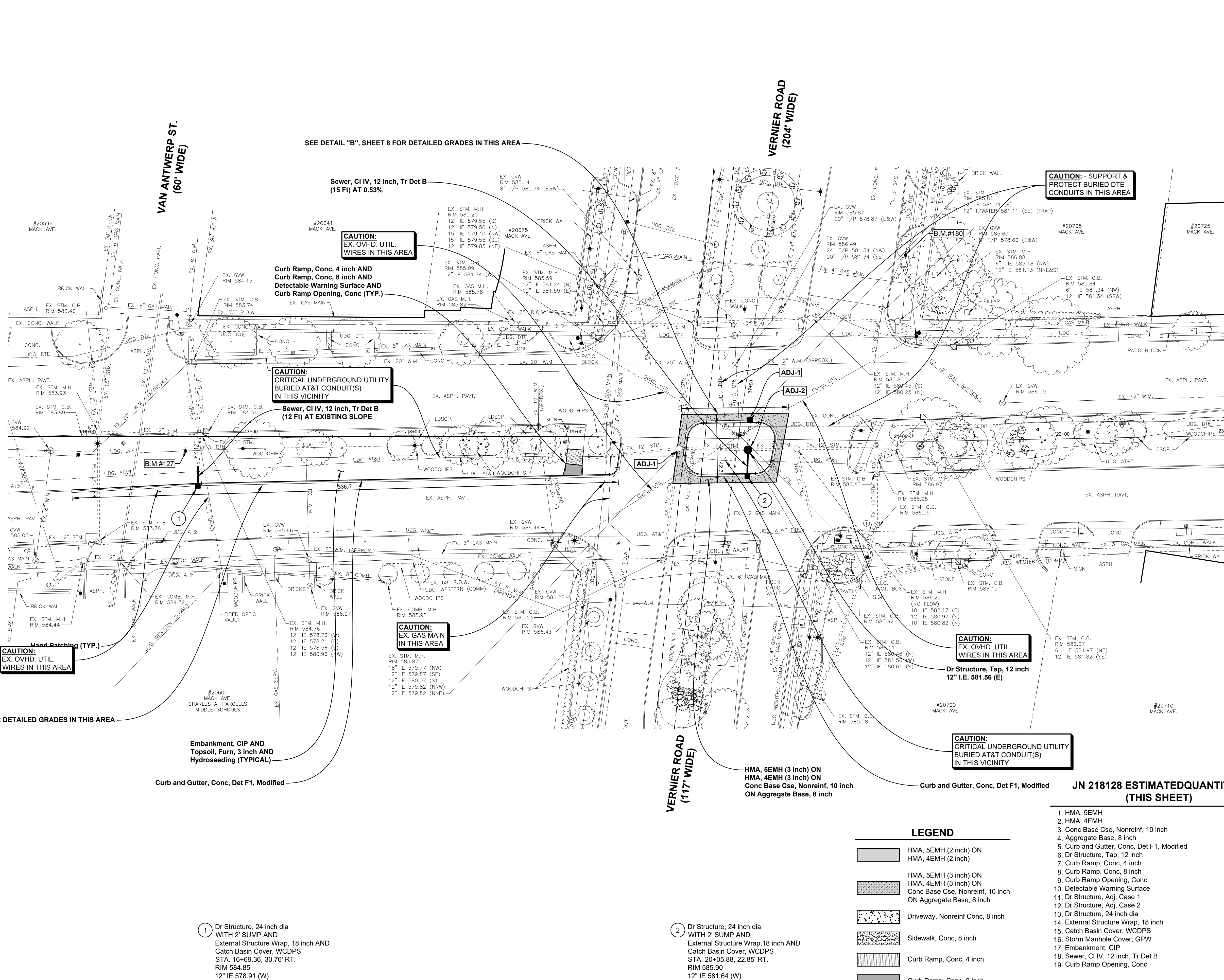
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PROJECT NO. 0160-0455

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04 Rem Mack-9/18/2023 2:54:40 PM

SHEET NO.

[illegible]

SHEET TITLE:

CLIENT:
CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: DBK	CHECKED BY: RW	DATE: JUNE 2023

SCALE:

1" = 30'

A horizontal scale bar with tick marks at 0, 15, 30, and 60 feet. The bar is divided into segments: 0 to 15 feet is white, 15 to 30 feet is black, 30 to 45 feet is white, and 45 to 60 feet is black.



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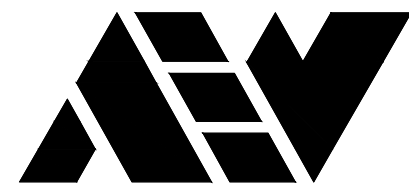
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PROJECT NO. _____

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SHEET NO.



ANDERSON, ECKSTEIN AND
WESTRICK, INC.

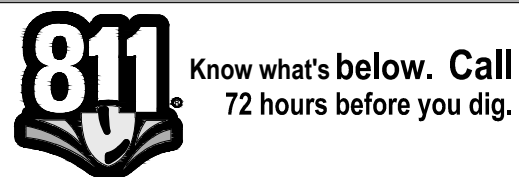
CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

www.aewinc.com

ENGINEERING STRONG COMMUNITIES

DATE	SUBMITTALS/REVISIONS
PROJECT NAME:	
VERNIER & MACK INTERSECTION IMPROVEMENTS	
SHEET TITLE:	
REMOVAL PLAN VERNIER ROAD STA. 39+50 TO STA. 47+50	
CLIENT: CITY OF GROSSE POINTE WOODS	
<div> <div>PRELIMINARY</div> <div>CONSTRUCTION</div> <div>RECORD</div> </div> <div> <div>DRAWN BY: RW</div> <div>CHECKED BY: RW</div> <div>DATE: FEBRUARY 2023</div> </div> <div> <div>SCALE: 1" = 30'</div> <div>0 15 30 60</div> </div>	



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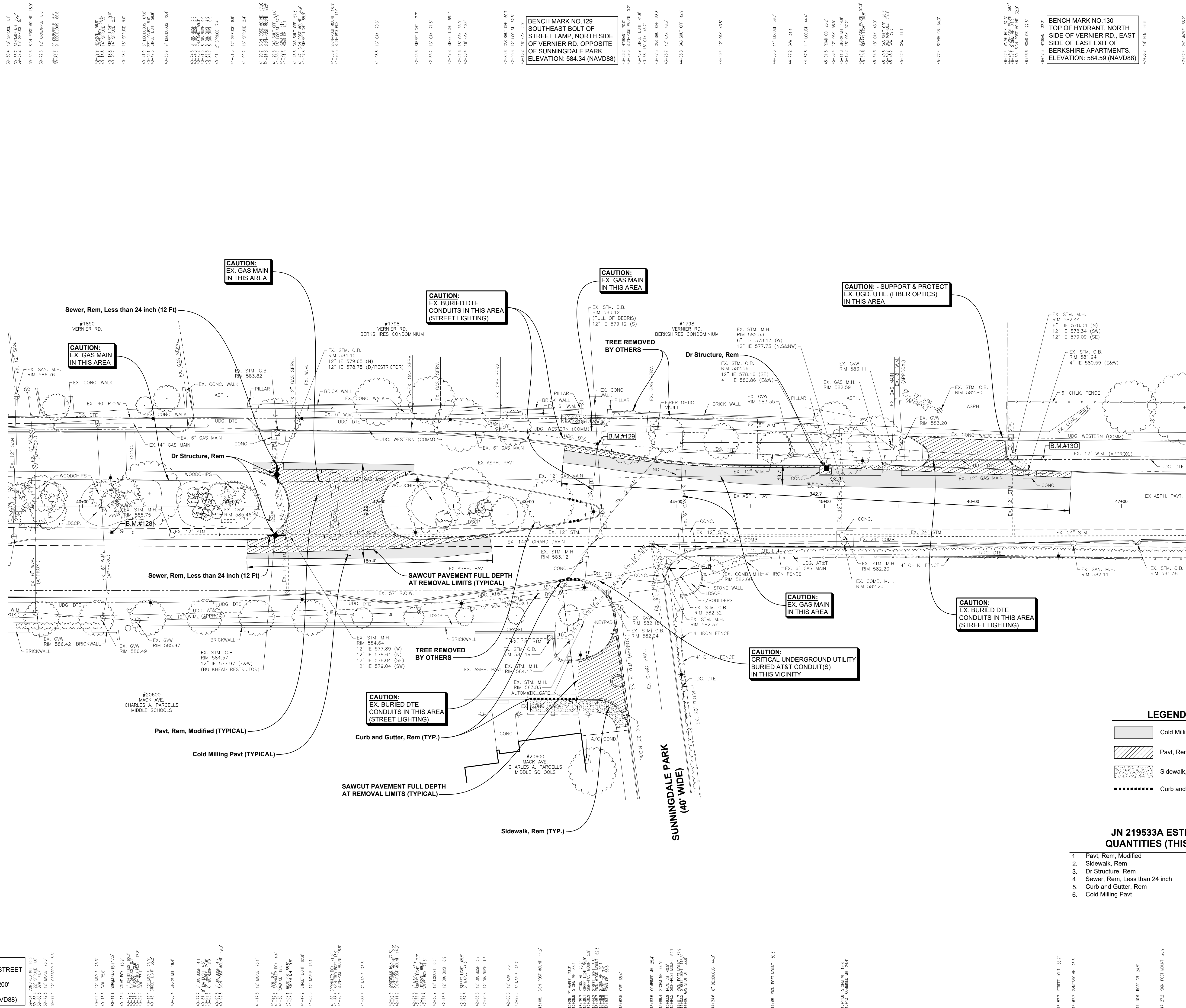
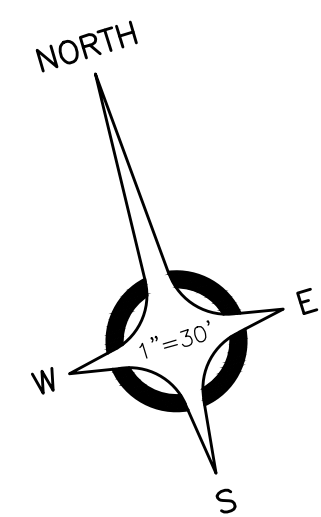
PROJECT NO.

0160-0455

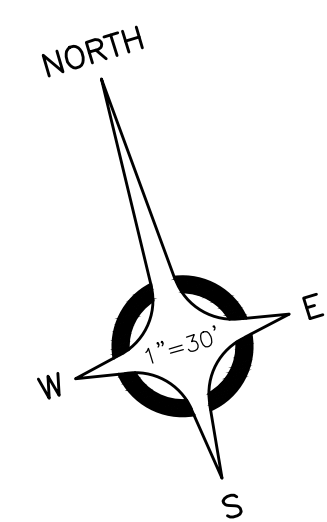
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SHEET NO.

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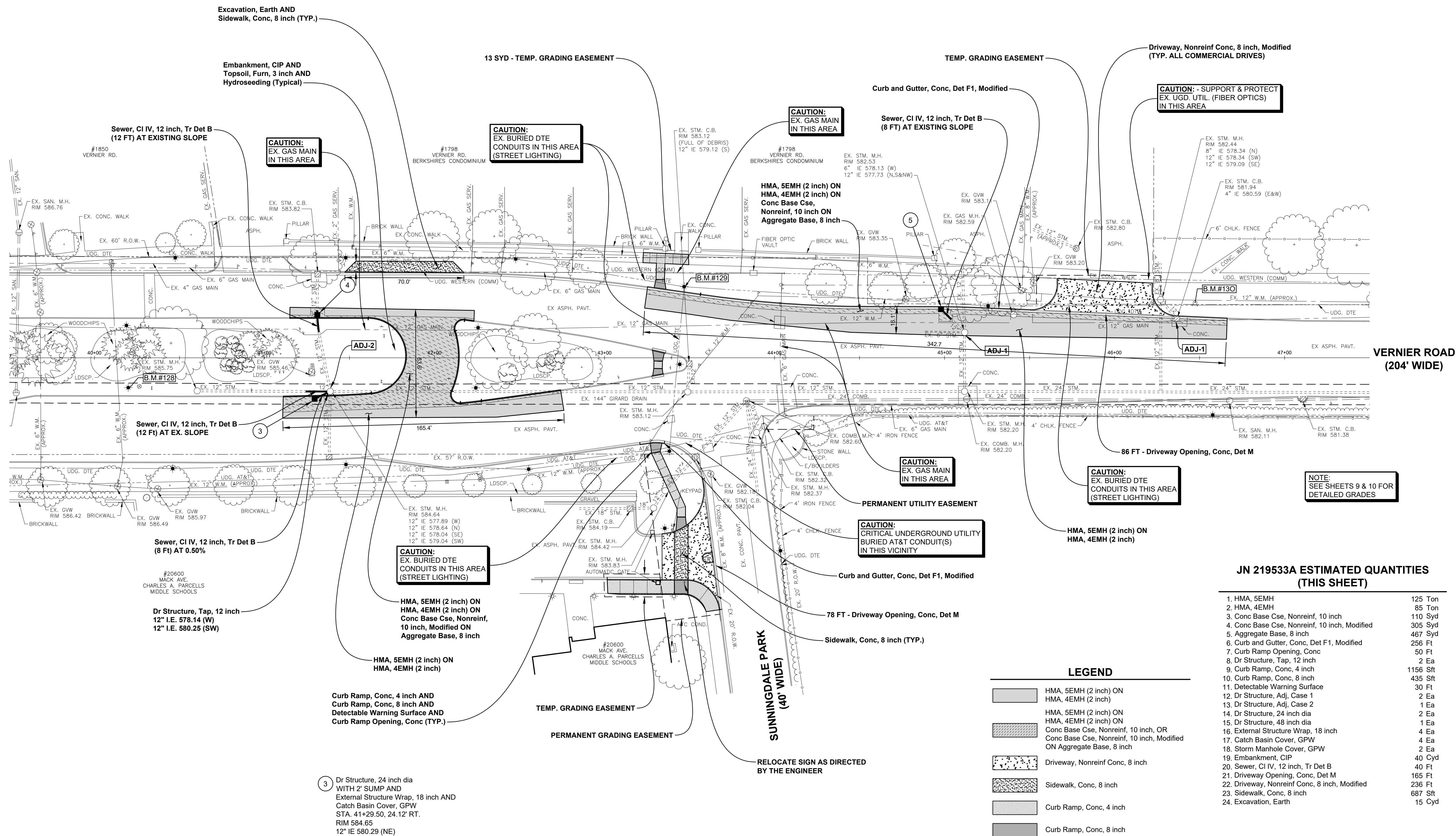


ENGINEERING STRONG COMMUNITIES

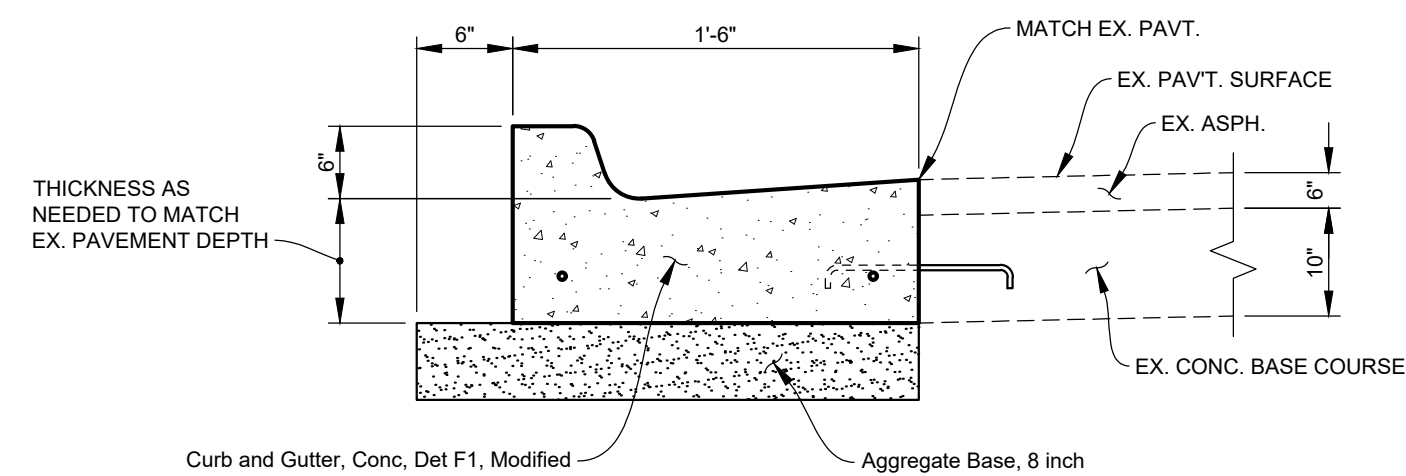
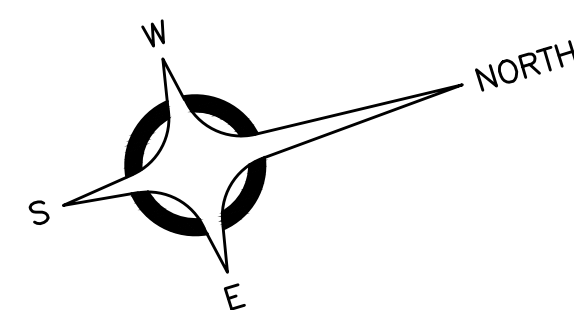


1

5 Dr Structure, 24 inch dia
WITH 2' SUMP AND
External Structure Wrap, 18 inch AND
Catch Basin Cover, GPW
STA. 44+98.00, 28.60' LT.
RIM 582.50
12" IE 578.20 (SE)

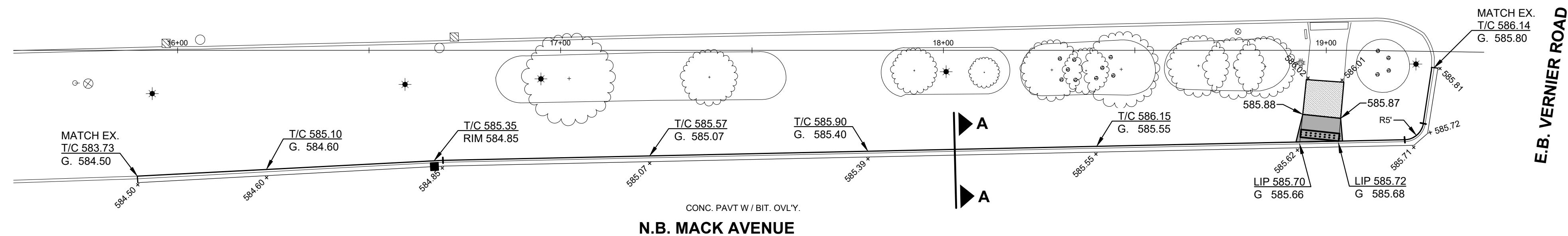
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ENGINEERING STRONG COMMUNITIES

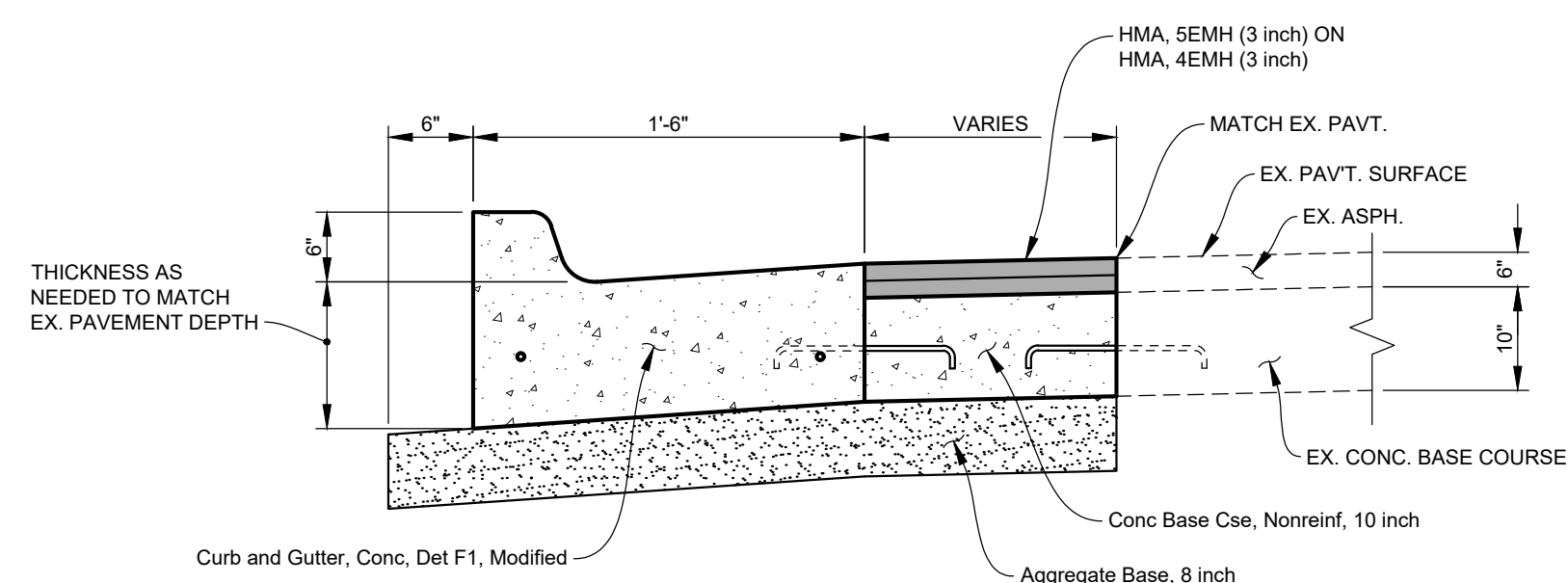


SECTION "A-A"
NOT TO SCALE

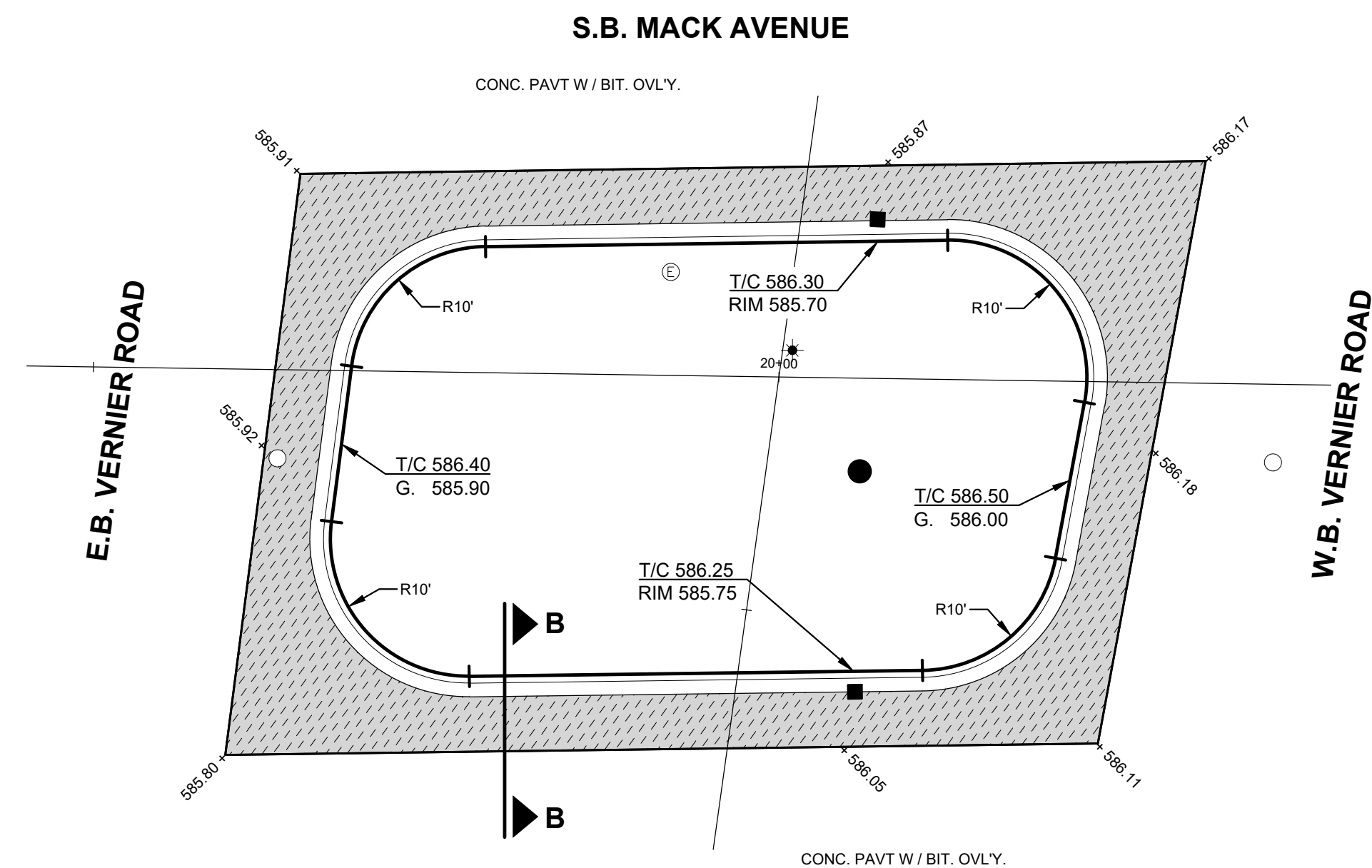
S.B. MACK AVENUE



DETAIL "A"
SCALE: 1" = 20'



SECTION "B-B"
NOT TO SCALE



MACK AVENUE

DETAIL "B"
SCALE: 1" = 10'

SHEET TITLE

**DETAILED
GRADES**
MACK AVENUE

CLIENT: CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: KJP/DBK	CHECKED BY: RW	DATE: JUNE 2023
SCALE: AS NOTED		



Know what's below. Call 800-4-A-DEPT. 72 hours before you dig.

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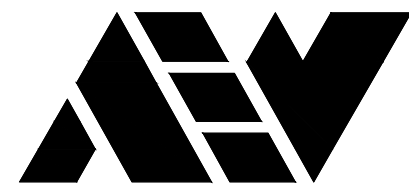
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0160-0455

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SHEET NO.



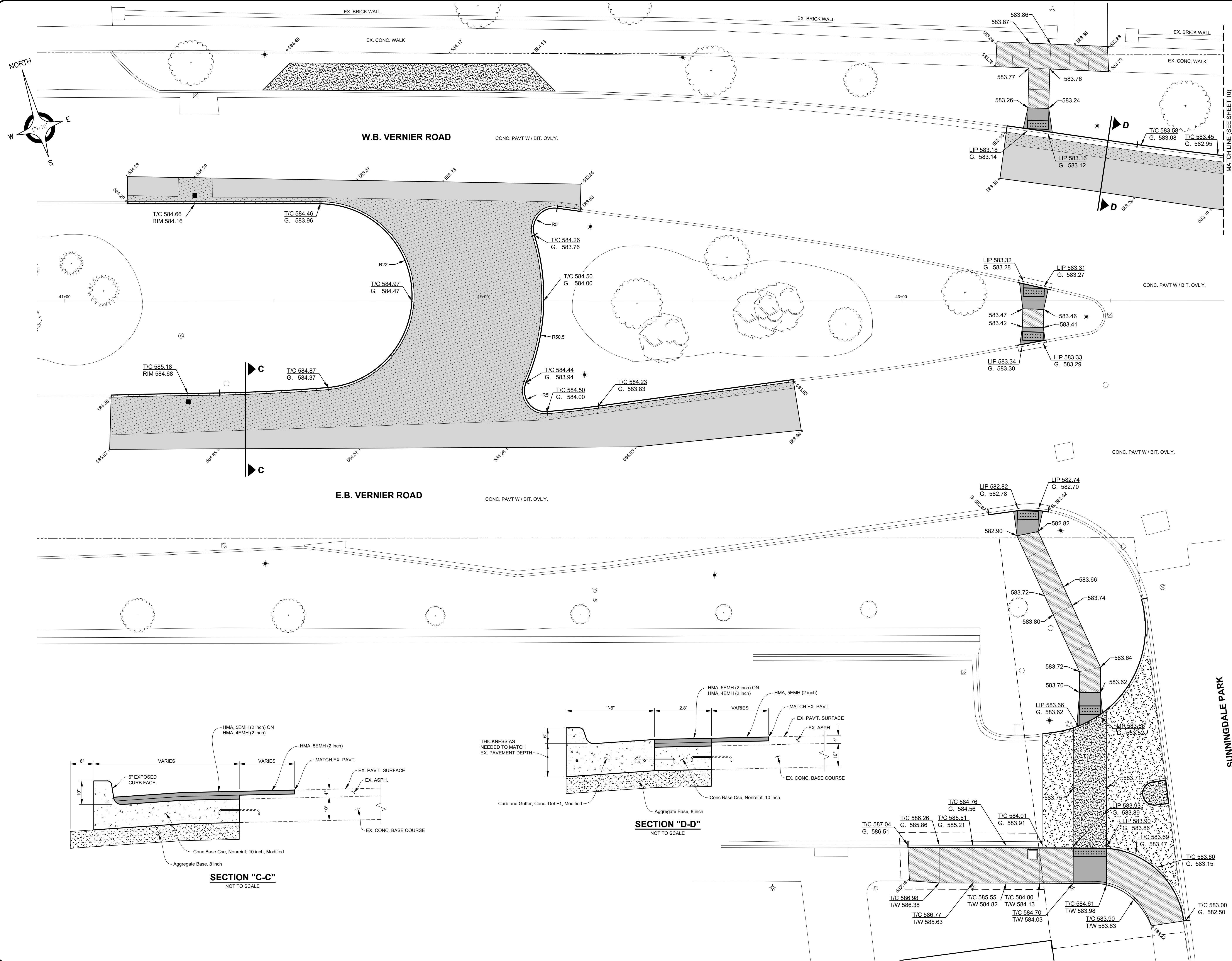
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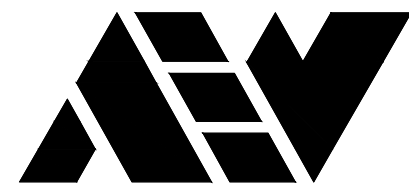
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Michigan 48315

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ENGINEERING STRONG COMMUNITIES



DATE	SUBMITTALS/REVISIONS
PROJECT NAME:	
SHEET TITLE:	
CLIENT:	
LEGEND:	
DRAWN BY:	CHECKED BY:
KJP/DBK	RW
SCALE:	DATE:
1" = 10'	MAY 2023
0 5 10 20	
811 Know what's below. Call 72 hours before you dig.	
UTILITY INFORMATION:	
PRIOR TO CONSTRUCTION:	
DURING CONSTRUCTION:	
PROJECT NO.	
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SHEET NO.	
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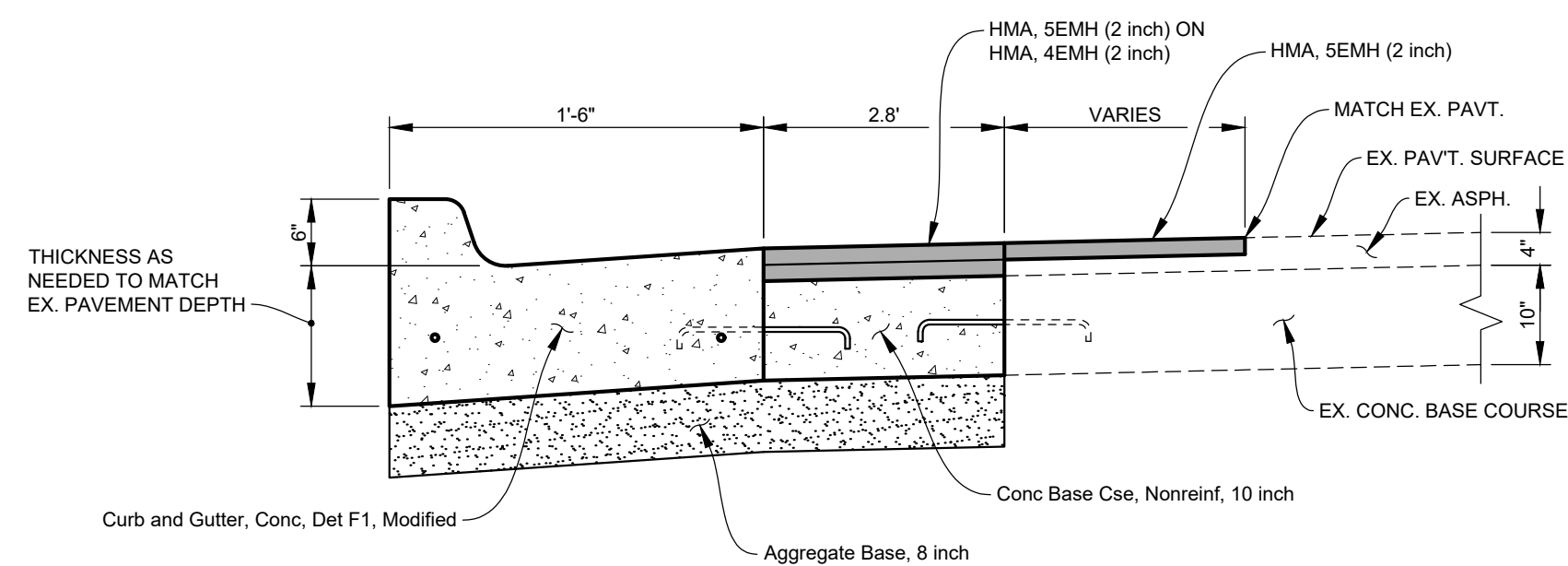
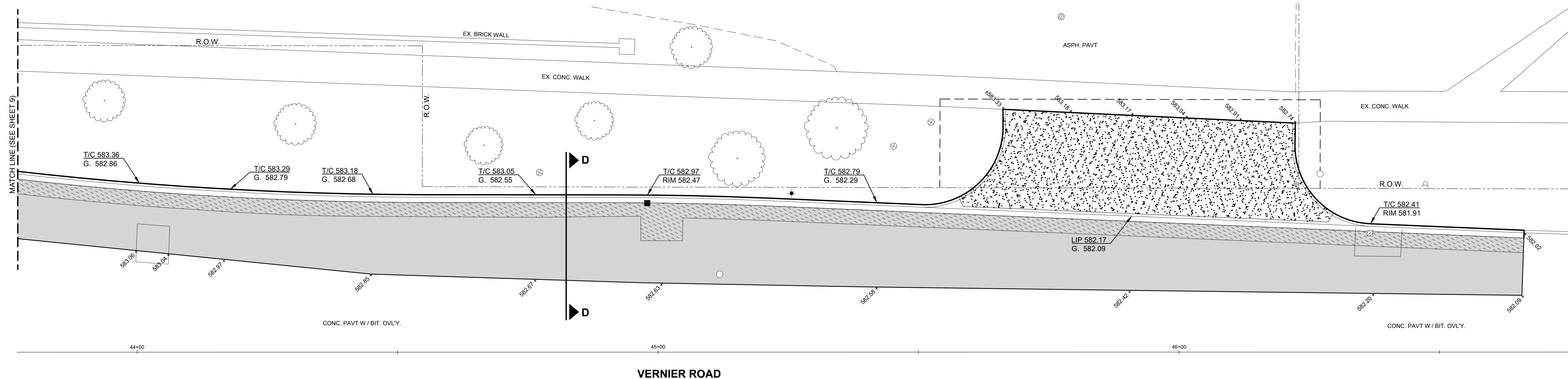
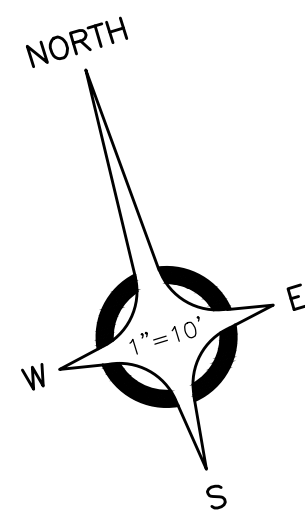
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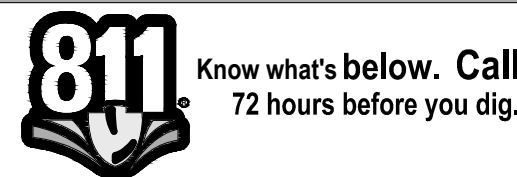
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ENGINEERING STRONG COMMUNITIES



SECTION "D-D"
NOT TO SCALE

DATE	SUBMITTALS/REVISIONS
PROJECT NAME:	
VERNIER & MACK INTERSECTION IMPROVEMENTS	
SHEET TITLE:	
DETAILED GRADES VERNIER ROAD	
CLIENT: CITY OF GROSSE POINTE WOODS	
PRELIMINARY <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> RECORD <input type="checkbox"/>	
DRAWN BY: KJP/DBK	CHECKED BY: RW
DATE: MAY 2023	
SCALE: 1" = 10'	
0 5 10 20	



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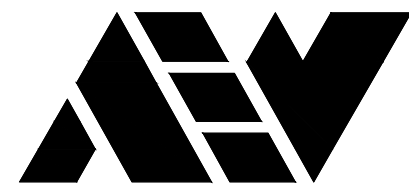
PROJECT NO.

0160-0455

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SHEET NO.

10



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ENGINEERING STRONG COMMUNITIES

DATE	SUBMITTALS/REVISIONS
PROJECT NAME:	
SHEET TITLE:	

VERNIER & MACK
INTERSECTION
IMPROVEMENTS

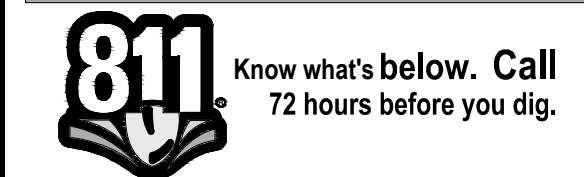
SHEET TITLE:

MAINTENANCE
OF TRAFFIC
STAGE 1A
VERNIER ROAD

CLIENT:

CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: JUNE 2023
SCALE: 1" = 30'		



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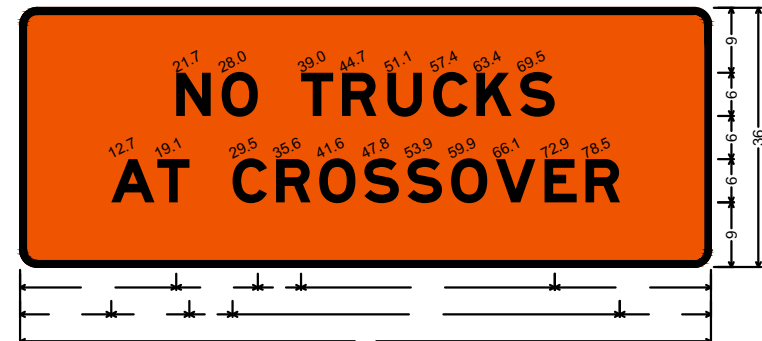
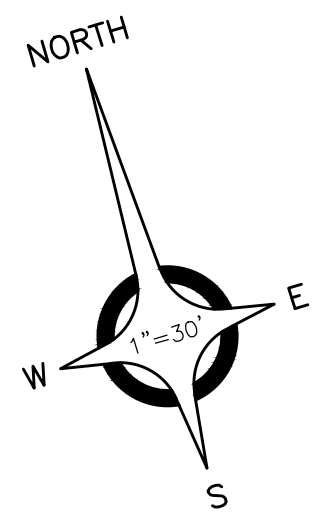
PROJECT NO.

0160-0455

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SHEET NO.

11



NOTE:
MAINTAIN MINIMUM 11' LANES AT ALL TIMES

END
ROAD WORK
G20-2

MACK AVENUE

Channelizing Devices Spaced @ 35'

100' TAPER

Channelizing Devices Spaced @ 10' for
Tighter Traffic Control

Work Zone

Channelizing Devices Spaced @ 35'

MATCH LINE
(SEE BELOW LEFT)

VERNIER ROAD

NO TRUCKS
AT CROSSOVER
SP-4

Spaced @ 350' (Typ.)			
WORK ZONE BEGINS R5-18c	W4-2	RIGHT LANE CLOSED AHEAD W20-5 (RT)	ROAD WORK AHEAD W20-1
Closest to Work Zone			Farthest from Work Zone

Type II Pedestrian Barricade
w/ one (1) R9-9
SIDEWALK
CLOSED
R9-9

Type III Barricades

Work Zone

132' BUFFER

225' TAPER

350'

Lighted Arrow Board

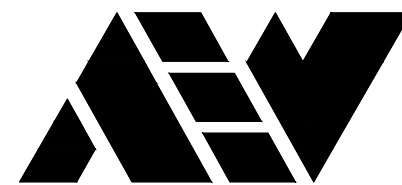
VERNIER ROAD

MATCH LINE
(SEE ABOVE RIGHT)

SUNNINGDALE PARK

LEGEND

- PLASTIC DRUM
- 42" CHANNELIZING DEVICE
- TT TYPE III BARRICADE, LIGHTED
- TT TYPE III BARRICADE, LIGHTED
W/SUPPLEMENTAL SIGNAGE
- | TEMPORARY SIGN
- ← TRAFFIC FLOW, THIS STAGE
- ∇ TEMPORARY PEDESTRIAN
TYPE II BARRICADE
- ↔ LIGHTED ARROW BOARD
- WORK ZONE



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ENGINEERING STRONG COMMUNITIES

DATE	SUBMITTALS/REVISIONS
PROJECT NAME:	
SHEET TITLE:	
CLIENT:	
CITY OF GROSSE POINTE WOODS	
LEGEND:	
DRAWN BY: CHECKED BY: DATE:	
CAD MTL JUNE 2023	
SCALE:	
1" = 30'	
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811 Know what's below. Call 72 hours before you dig.	
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PROJECT NO. 0160-0455	
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SHEET NO.	

VERNIER & MACK INTERSECTION IMPROVEMENTS

MAINTENANCE OF TRAFFIC STAGE 1B VERNIER ROAD

CLIENT:
CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: JUNE 2023
SCALE: 1" = 30'		
0 15 30 60		



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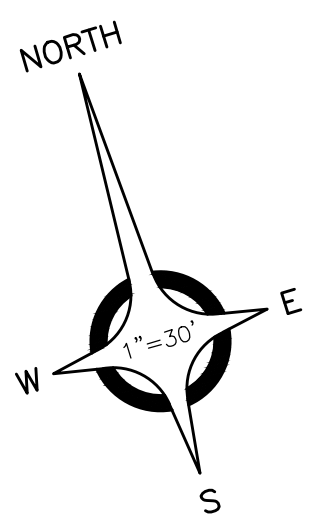
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PROJECT NO. 0160-0455

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SHEET NO.

12



NOTE:
MAINTAIN MINIMUM 11' LANES AT ALL TIMES

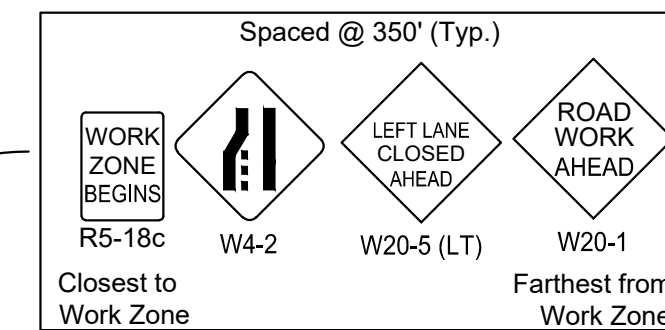
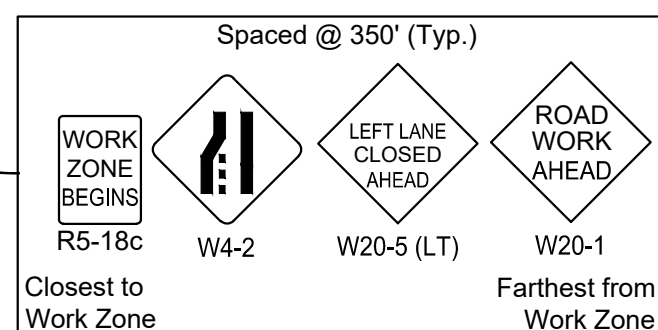
VERNIER ROAD

MACK AVENUE

END
ROAD WORK
G20-2

Work Zone

MATCH LINE
(SEE BELOW LEFT)



Type II Pedestrian Barricade
SIDEWALK
CLOSED
R9-9
w/ one (1) R9-9

225' TAPER

350'

Lighted Arrow Board

Channelizing Devices Spaced @ 35'

Type III Barricade

Channelizing Devices Spaced @ 35'

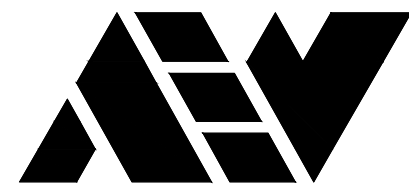
END
ROAD WORK
G20-2

VERNIER ROAD

SUNNINGDALE PARK

LEGEND

- PLASTIC DRUM
- 42" CHANNELIZING DEVICE
- TT TYPE III BARRICADE, LIGHTED
- TT TYPE III BARRICADE, LIGHTED W/SUPPLEMENTAL SIGNAGE
- | TEMPORARY SIGN
- ← TRAFFIC FLOW, THIS STAGE
- ▼▼ TEMPORARY PEDESTRIAN TYPE II BARRICADE
- ↔ LIGHTED ARROW BOARD
- WORK ZONE



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ENGINEERING STRONG COMMUNITIES

PROJECT NAME:	
DATE	
SUBMITTALS/REVISIONS	
PROJECT NAME:	

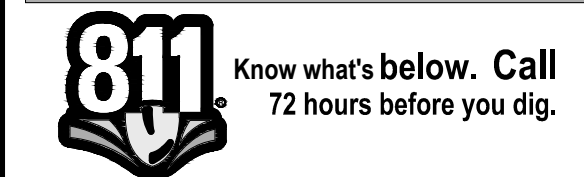
VERNIER & MACK INTERSECTION IMPROVEMENTS

SHEET TITLE:

MAINTENANCE OF TRAFFIC STAGE 2 MACK AVENUE

CLIENT:
CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: JUNE 2023
SCALE: 1" = 30'		



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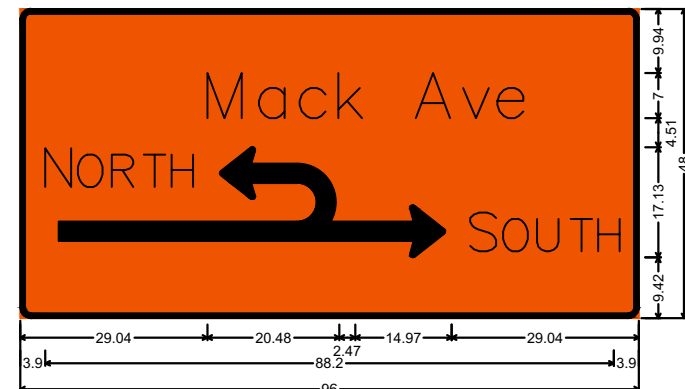
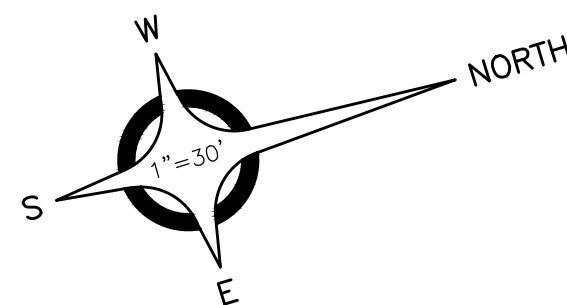
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PROJECT NO.
0160-0455

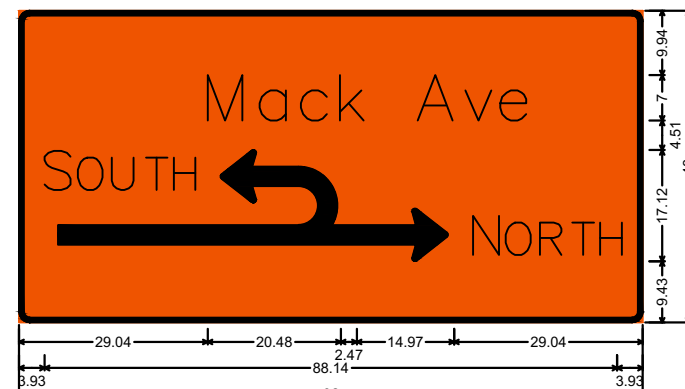
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SHEET NO.

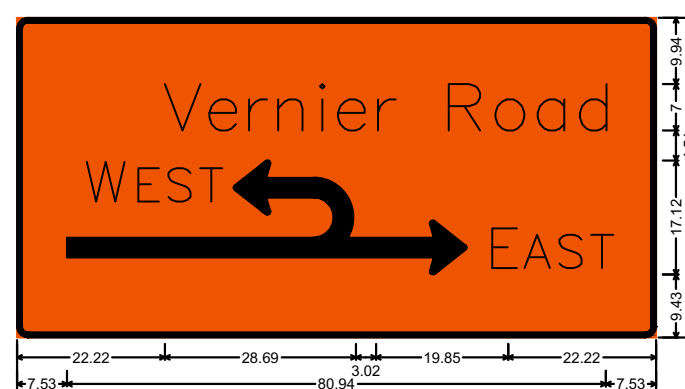
13



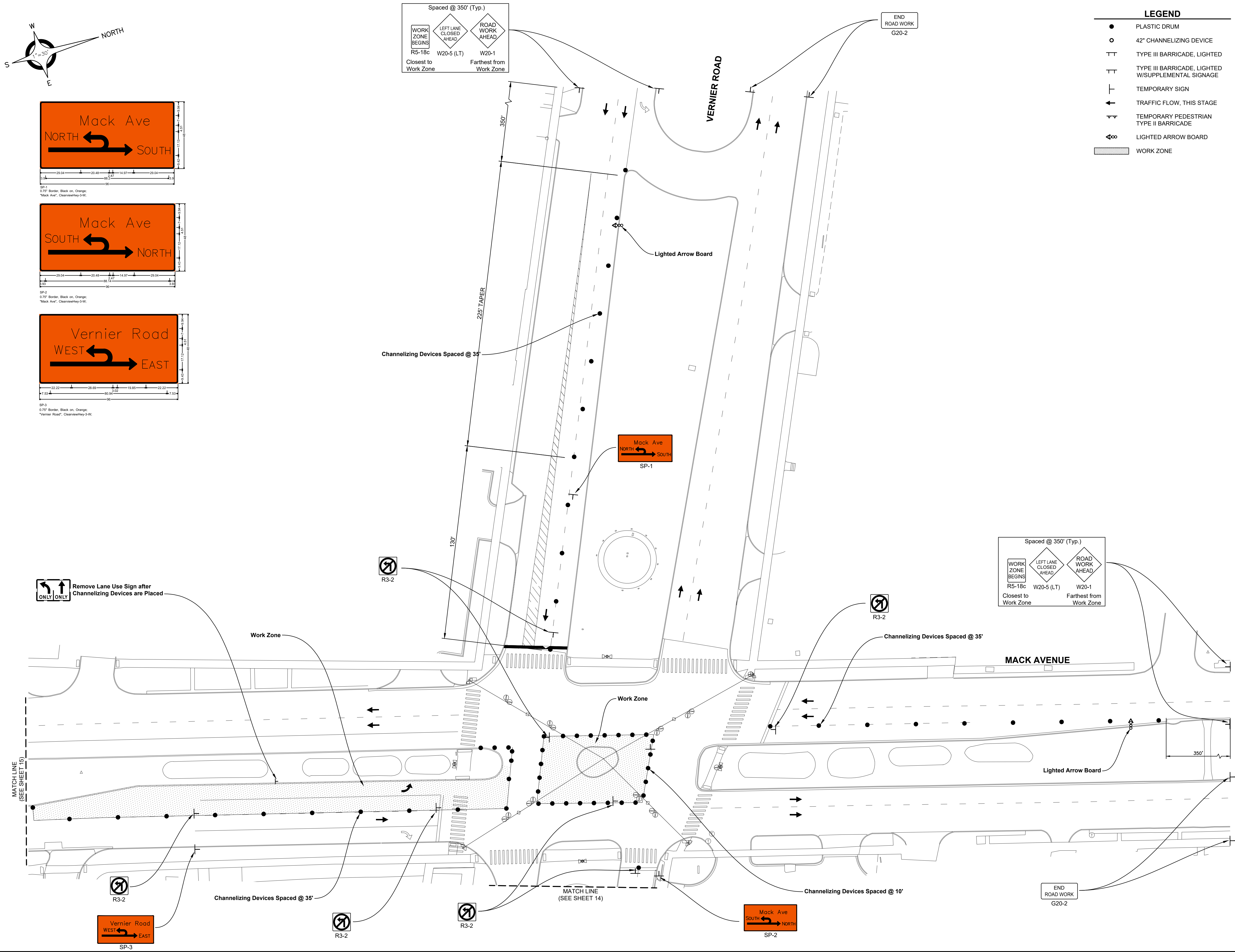
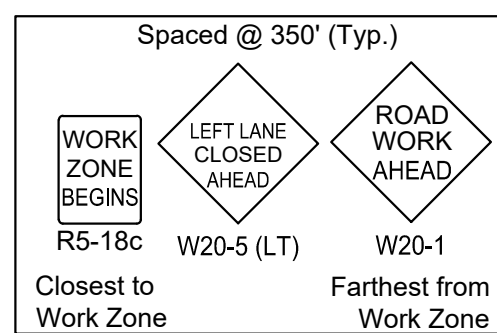
SP-1
0.75" Border, Black on, Orange:
"Mack Ave", Clearview Hwy-3-W;

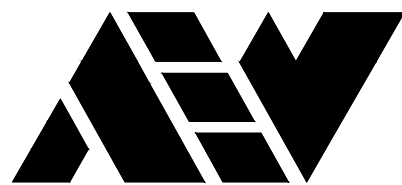


SP-2
0.75" Border, Black on, Orange:
"Mack Ave", Clearview Hwy-3-W;



SP-3
0.75" Border, Black on, Orange:
"Vernier Road", Clearview Hwy-3-W;





ANDERSON, ECKSTEIN AND
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CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

www.aewinc.com

ENGINEERING STRONG COMMUNITIES

DATE		SUBMITTALS/REVISIONS	
PROJECT NAME:			

VERNIER & MACK
INTERSECTION
IMPROVEMENTS

SHEET TITLE:

MAINTENANCE
OF TRAFFIC
STAGE 2
VERNIER ROAD

CLIENT:
CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: JUNE 2023
SCALE: 1" = 30'		



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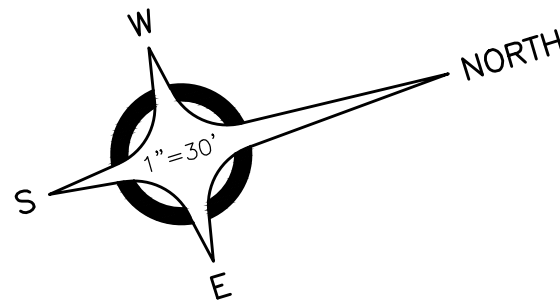
DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO.
0160-0455

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SHEET NO.

14



SUNNINGDALE PARK

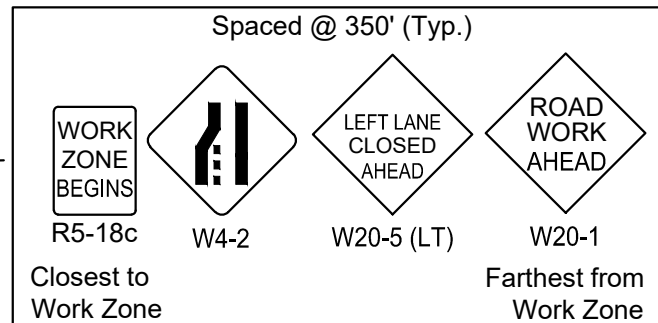
END
ROAD WORK
G20-2

VERNIER ROAD

MATCH LINE
(SEE SHEET 13)

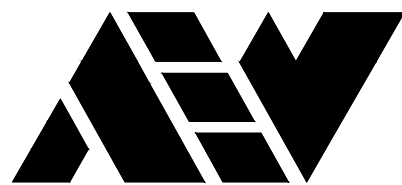
Channelizing Devices Spaced @ 35'

Lighted Arrow Board



LEGEND

- PLASTIC DRUM
- 42" CHANNELIZING DEVICE
- TT TYPE III BARRICADE, LIGHTED
- TT TYPE III BARRICADE, LIGHTED
W/SUPPLEMENTAL SIGNAGE
- T TEMPORARY SIGN
- ← TRAFFIC FLOW, THIS STAGE
- ↔ TEMPORARY PEDESTRIAN
TYPE II BARRICADE
- ∞ LIGHTED ARROW BOARD
- WORK ZONE



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51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

www.aewinc.com

ENGINEERING STRONG COMMUNITIES

DATE	SUBMITTALS/REVISIONS

PROJECT NAME:

VERNIER & MACK
INTERSECTION
IMPROVEMENTS

SHEET TITLE:

MAINTENANCE
OF TRAFFIC
STAGE 2
MACK AVENUE

CLIENT:

CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: JUNE 2023
SCALE: 1" = 30'		



Know what's below. Call
72 hours before you dig.

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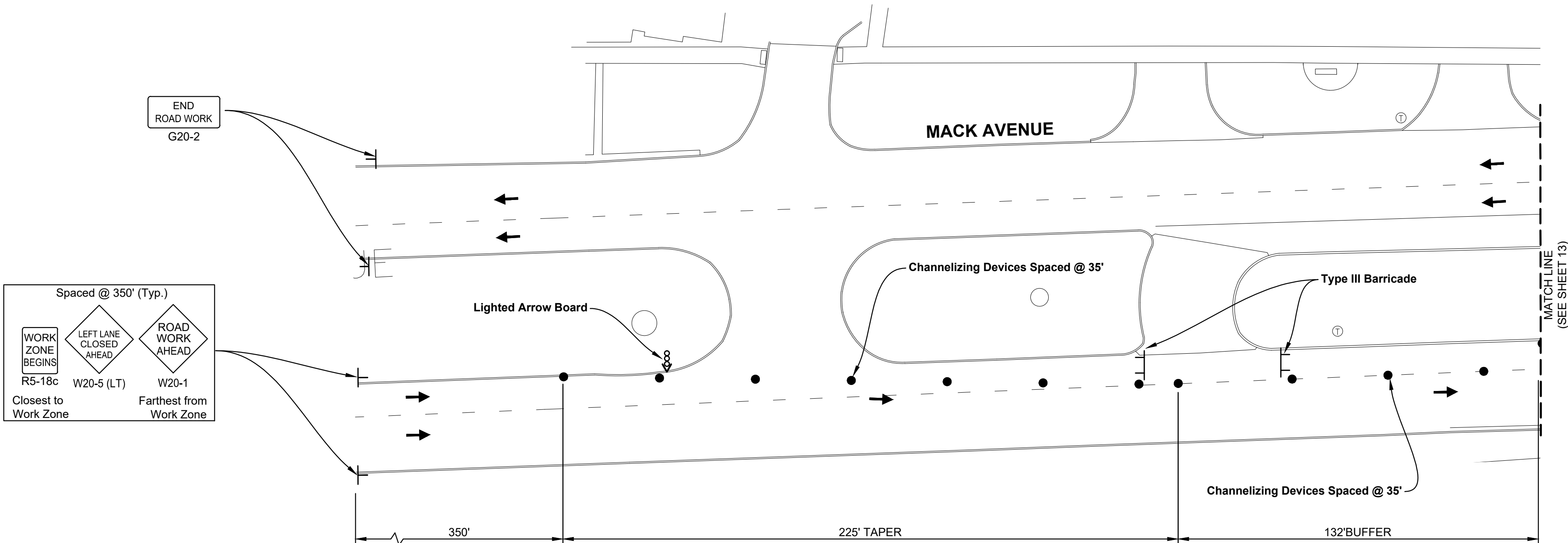
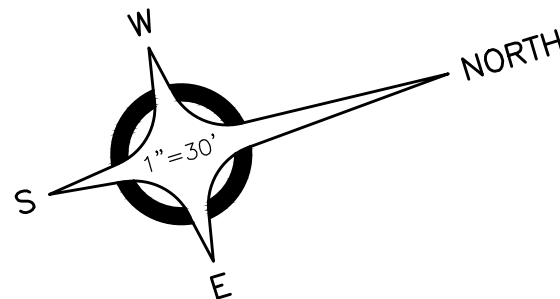
PROJECT NO.

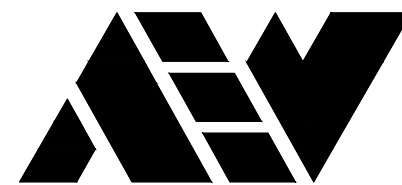
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SHEET NO.

15





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CIVIL ENGINEERS SURVEYORS ARCHITECTS

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Michigan 48315

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ENGINEERING STRONG COMMUNITIES

DATE	SUBMITTALS/REVISIONS

PROJECT NAME:

VERNIER & MACK INTERSECTION IMPROVEMENTS

SHEET TITLE:

TRAFFIC SIGNAL CONSTRUCTION PLAN SUNNINGDALE PARK & VERNIER ROAD

CLIENT:

CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: MAY 2023
SCALE: 1" = 30'		
0 15 30 60		



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72 hours before you dig.

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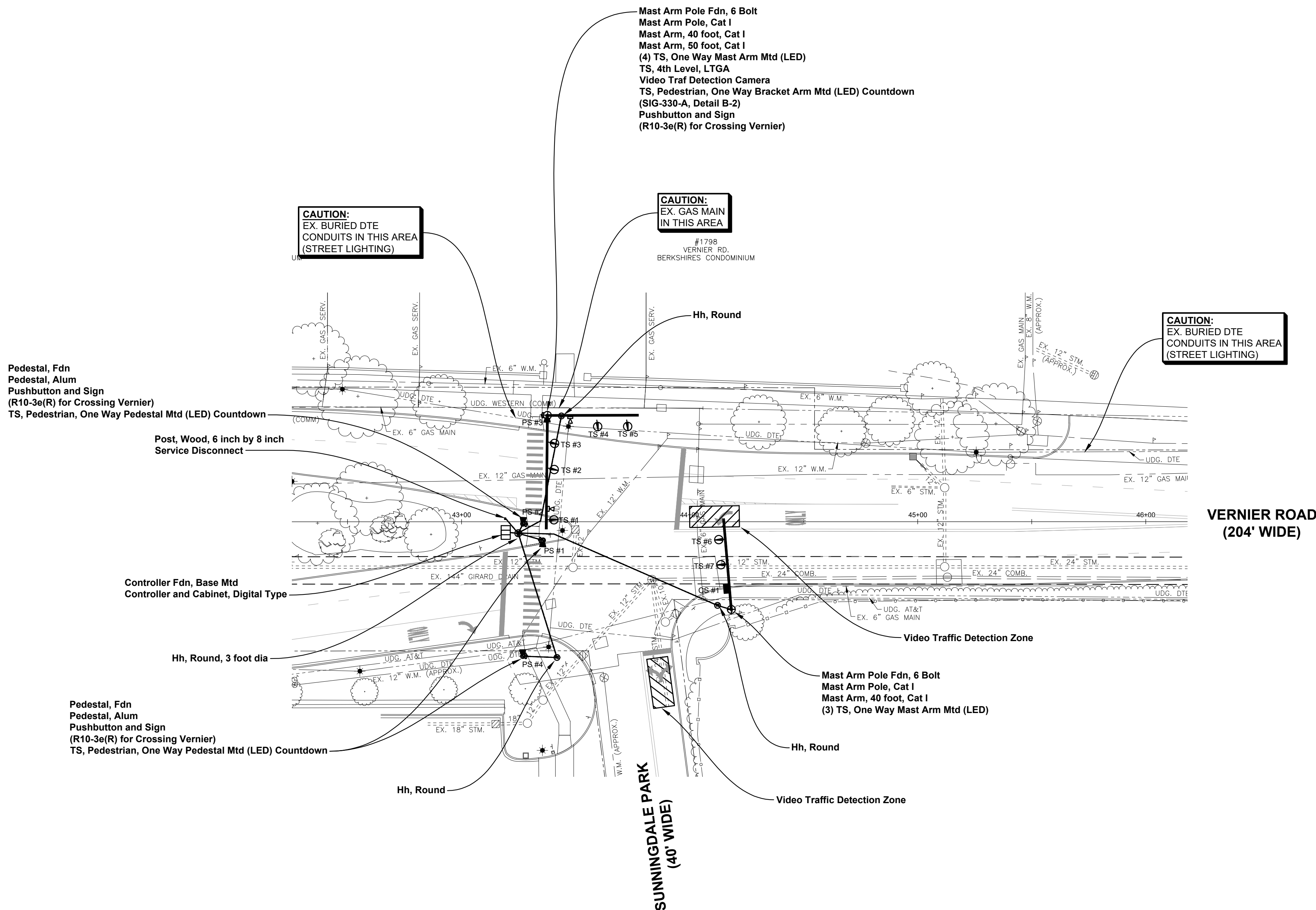
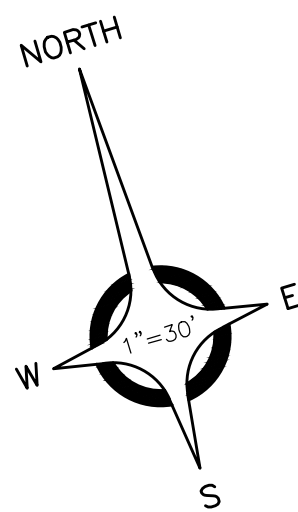
PROJECT NO.

0160-0455

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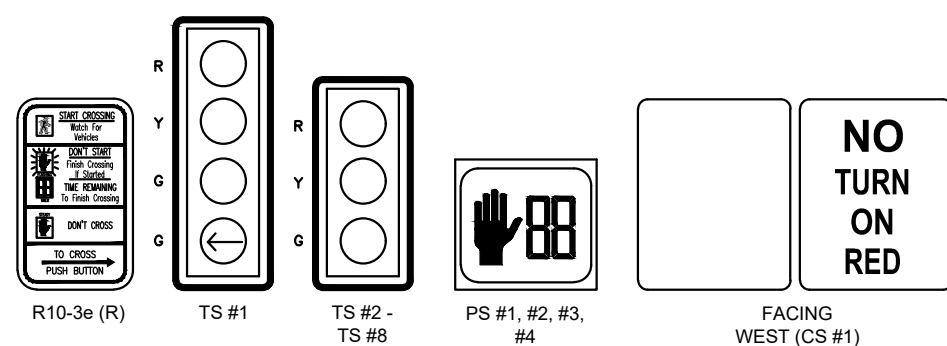
SHEET NO.

16



JN 219533A ESTIMATED QUANTITIES (THIS SHEET)

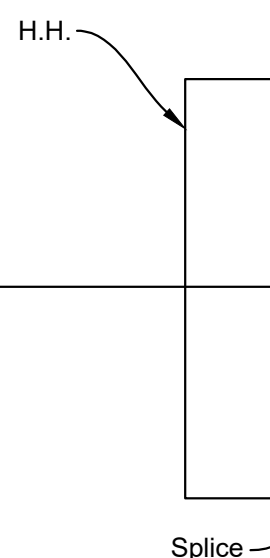
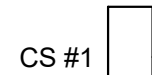
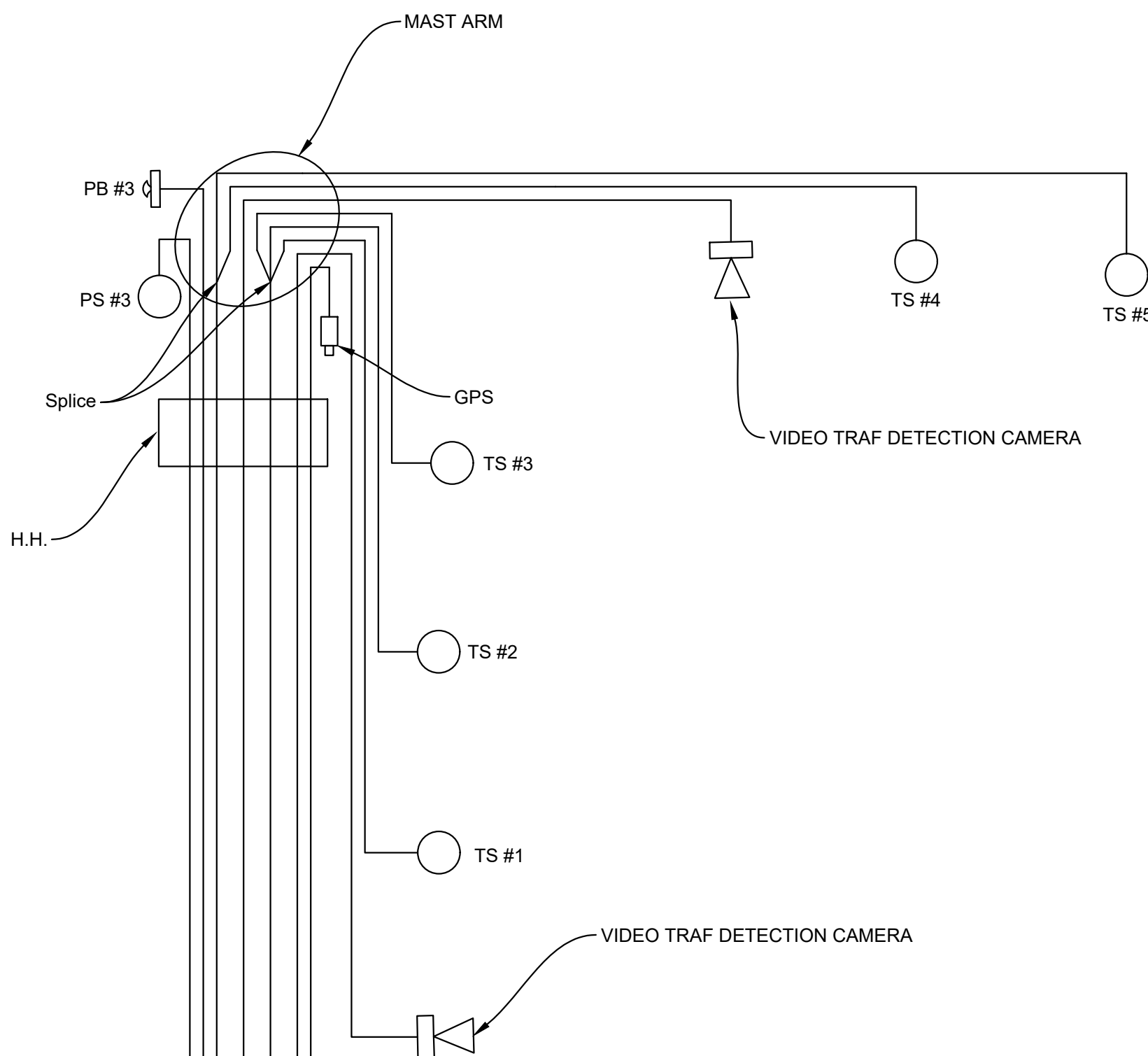
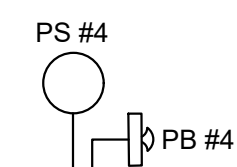
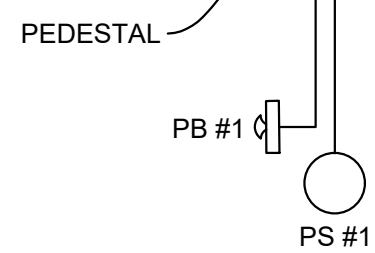
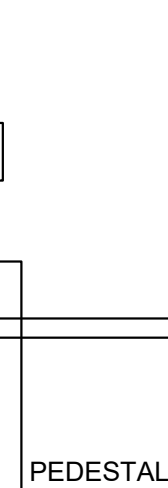
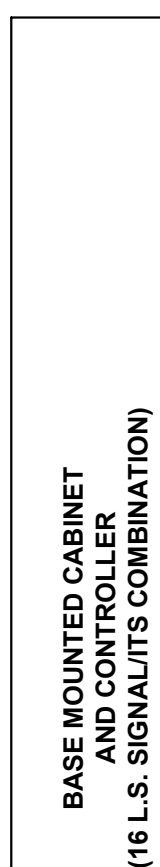
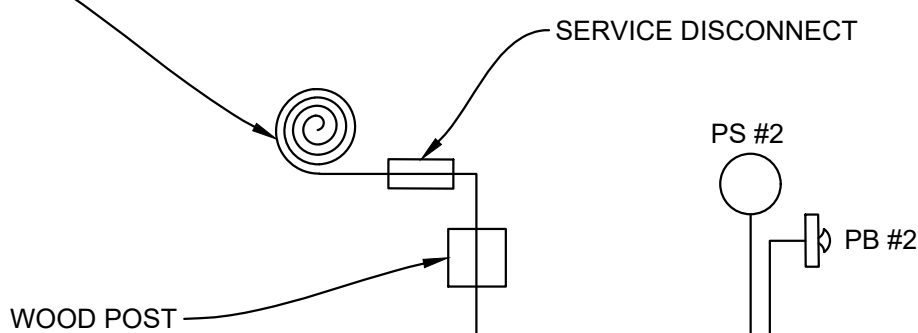
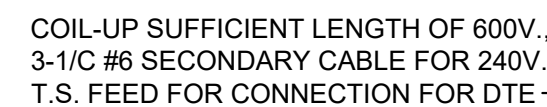
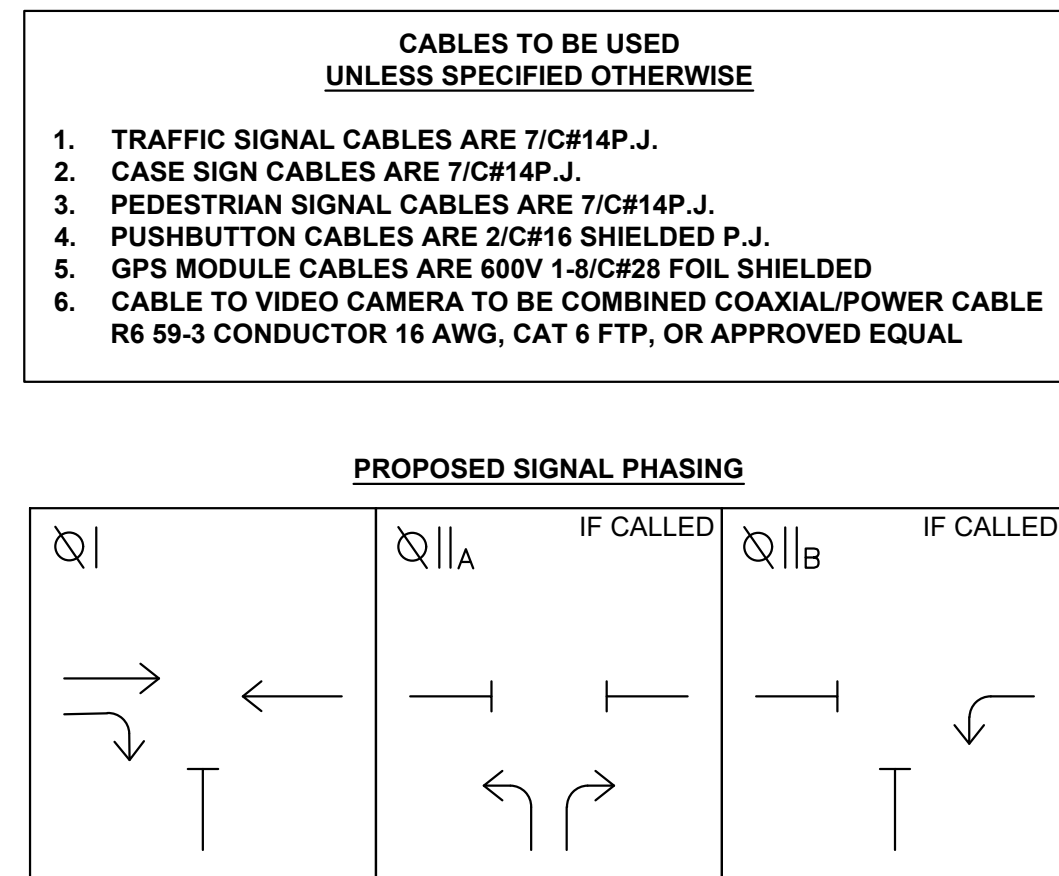
1. Hh, Round	3 Ea
2. Hh, Round, 3 foot dia	1 Ea
3. Controller Fdn, Base Mtd	1 Ea
4. Global Positioning System Module	1 Ea
5. Pedestal, Alum	3 Ea
6. Pedestal, Fdn	3 Ea
7. Pushbutton and Sign	4 Ea
8. TS, 4th Level, LTGA	1 Ea
9. TS, Pedestrian, One Way Pedestal Mtd (LED) Countdown	3 Ea
10. TS, Pedestrian, One Way Bracket Arm Mtd (LED) Countdown	1 Ea
11. TS, One Way Mast Arm Mtd (LED)	6 Ea
12. Case Sign, Disappearing Legend, 24 inch by 30 inch	1 Ea
13. Video Traf Detection System	1 Ea
14. Video Traf Detection Camera	2 Ea
15. Backplate, TS	7 Ea
16. Mast Arm Pole, Cat I	2 Ea
17. Mast Arm, 40 foot, Cat I	2 Ea
18. Mast Arm, 50 foot, Cat I	1 Ea
19. Mast Arm Pole Fdn, 6 Bolt	30 Ft
20. Controller and Cabinet, Digital Type	1 Ea
21. Post, Wood, 6 inch by 8 inch	10 Ft
22. Service Disconnect	1 Ea
23. Cable, Sec, 600V, 1, 3/C #8	250 Ft



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**JN 219533A ESTIMATED QUANTITIES
(THIS SHEET)**

1. Conduit, Directional Bore, 3,3 inch	215 Ft
2. Conduit, DB, 1, 1 1/2 inch	35 Ft
3. Conduit, DB, 3, 3 inch	15 Ft
4. Conduit, DB, 4, 3 inch	5 Ft

H.H. TO H.H. - 3-3"

CONTROLLER TO H.H. - 4-3" & 1-1 $\frac{1}{2}$ "

MAST ARM POLE TO H.H. - 3-3" & 1-1 $\frac{1}{2}$ "

H.H. TO PEDESTAL - 1-1 $\frac{1}{2}$ "

PROJECT NAME:

VERNIER & MACK INTERSECTION IMPROVEMENTS

SHEET TITLE

WIRING DIAGRAM

SUNNINGDALE PARK & VERNIER ROAD

CLIENT

CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: MAY 2023
SCALE: N.T.S.		



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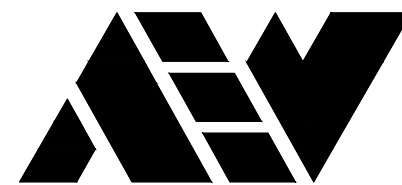
PROJECT NO. _____

0160-0455

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17 Wire_Sunningsdale-1/17/2024 10:49:12 AM

SHEET NO.

17



ANDERSON, ECKSTEIN AND
WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

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Shelby Township Fax 586 726 8780
Michigan 48315

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ENGINEERING STRONG COMMUNITIES

DATE	SUBMITTALS/REVISIONS
PROJECT NAME:	
VERNIER & MACK INTERSECTION IMPROVEMENTS	
SHEET TITLE:	
TRAFFIC SIGNAL CONSTRUCTION PLAN CROSSOVER & VERNIER ROAD	
CLIENT:	
CITY OF GROSSE POINTE WOODS	
PRELIMINARY CONSTRUCTION RECORD	
DRAWN BY:	CHECKED BY:
CAD	MTL
DATE:	MAY 2023
SCALE:	
1" = 30'	
0 15 30 60	

VERNIER & MACK INTERSECTION IMPROVEMENTS

TRAFFIC SIGNAL CONSTRUCTION PLAN CROSSOVER & VERNIER ROAD

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY:	CHECKED BY:	DATE:
CAD	MTL	MAY 2023
SCALE:		
1" = 30'		
0 15 30 60		



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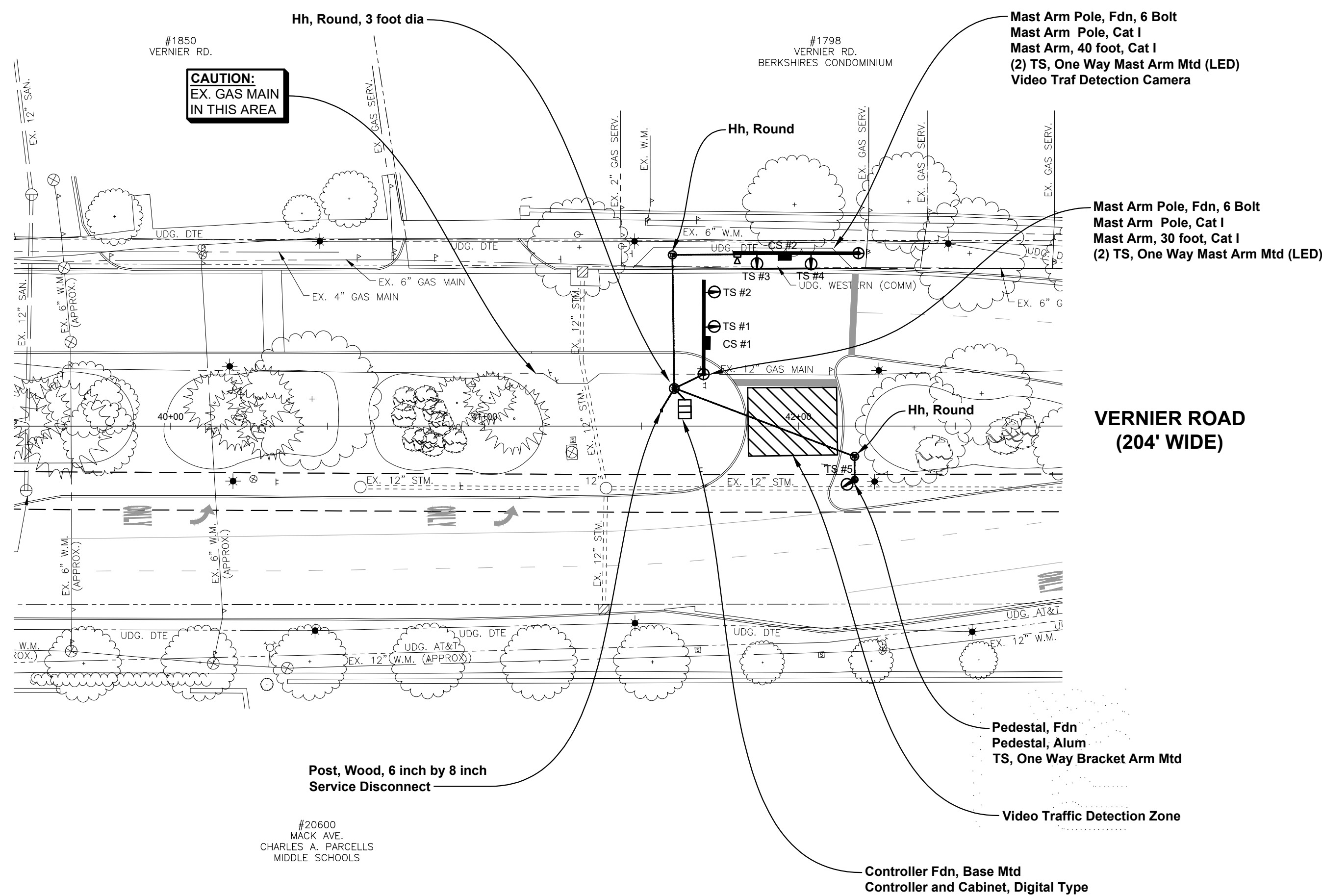
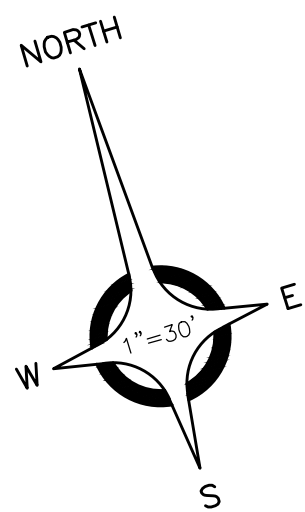
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0160-0455

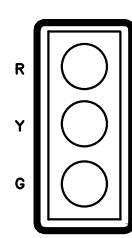
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18



JN 219533A ESTIMATED QUANTITIES (THIS SHEET)

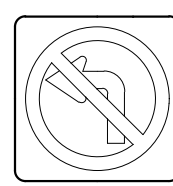
1. Hh, Round	2 Ea
2. Hh, Round, 3 foot dia	1 Ea
3. Serv Disconnect	1 Ea
4. Controller Fdn, Base Mtd	1 Ea
5. Global Positioning System Module	1 Ea
6. Pedestal, Alum	1 Ea
7. Pedestal, Fdn	1 Ea
8. TS, One Way Bracket Arm Mtd (LED)	1 Ea
9. TS, One Way Mast Arm Mtd (LED)	4 Ea
10. Case Sign (LED), One Way, 24 inch by 30 inch	2 Ea
11. Video Traf Detection System	1 Ea
12. Video Traf Detection Camera	1 Ea
13. Backplate, TS	5 Ea
14. Mast Arm Pole, Cat I	2 Ea
15. Mast Arm, 30 foot, Cat I	1 Ea
16. Mast Arm, 40 foot, Cat I	1 Ea
17. Mast Arm Pole Fdn, 6 Bolt	30 Ft
18. Controller and Cabinet, Digital Type	1 Ea
19. Post, Wood, 6 inch by 8 inch	10 Ft
20. Cable, Sec, 600V, 1, 3/C #6	250 Ft



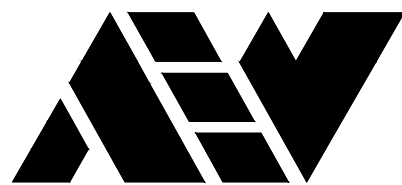
TS #1 -
TS #5



FACING
SOUTH (CS #2)



FACING
EAST (CS #1)



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Shelby Township Fax 586 726 8780
Michigan 48315

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ENGINEERING STRONG COMMUNITIES

DATE	SUBMITTALS/REVISIONS

PROJECT NAME:

VERNIER & MACK
INTERSECTION
IMPROVEMENTS

SHEET TITLE:

WIRING DIAGRAM
CROSSOVER & VERNIER ROAD

CLIENT:

CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: MAY 2023
SCALE: N.T.S. 0 1 2 3 4 5 6 7 8 9 10		



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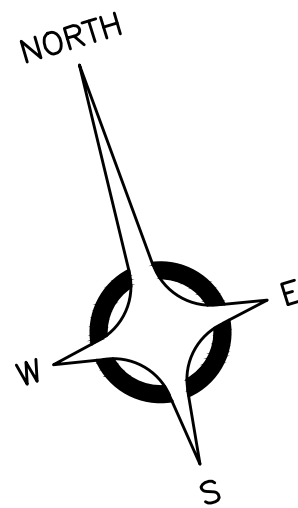
PROJECT NO.

0160-0455

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SHEET NO.

19



VERNIER ROAD

COIL-UP SUFFICIENT LENGTH OF 600V,
3-1/C #6 SECONDARY CABLE FOR 240V,
T.S. FEED FOR CONNECTION FOR DTE

SERVICE DISCONNECT

WOOD POST

BASE MOUNTED CABINET
AND CONTROLLER
(16 L.S. SIGNAL/TS COMBINATION)

H.H.

1-20/C#14 P.J.

1-20/C#14 P.J.

3' H.H.

GPS

TS #2

TS #1

CS #1

SPLICE

MAST ARM

H.H.

PEDESTAL

TS #5

MAST ARM

SPLICE

VIDEO TRAF DETECTION CAMERA

CROSSOVER

CONDUIT TYPICALS

H.H. TO H.H. - 3'-3"

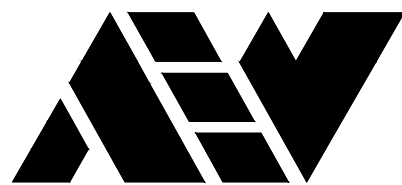
CONTROLLER TO H.H. - 4'-3" & 1'-1½"

MAST ARM POLE TO H.H. - 3'-3" & 1'-1½"

H.H. TO PEDESTAL - 1'-1½"

JN 219533A ESTIMATED QUANTITIES
(THIS SHEET)

1. Conduit, Directional Bore, 3,3 inch	115 Ft
2. Conduit, DB, 1, 1 1/2 inch	75 Ft
3. Conduit, DB, 3, 3 inch	65 Ft
4. Conduit, DB, 4, 3 inch	5 Ft



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Michigan 48315

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ENGINEERING STRONG COMMUNITIES

PROJECT NAME:	
DATE	
SUBMITTALS/REVISIONS	

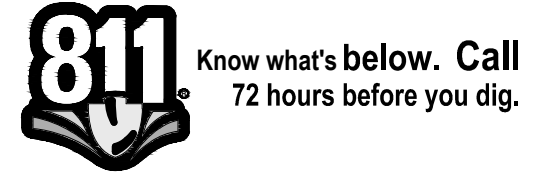
VERNIER & MACK
INTERSECTION
IMPROVEMENTS

SHEET TITLE:

TRAFFIC SIGNAL
REMOVAL PLAN
MACK AVENUE &
VERNIER ROAD

CLIENT:
CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: MAY 2023
SCALE: 1" = 30'		
0 15 30 60		



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DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO.

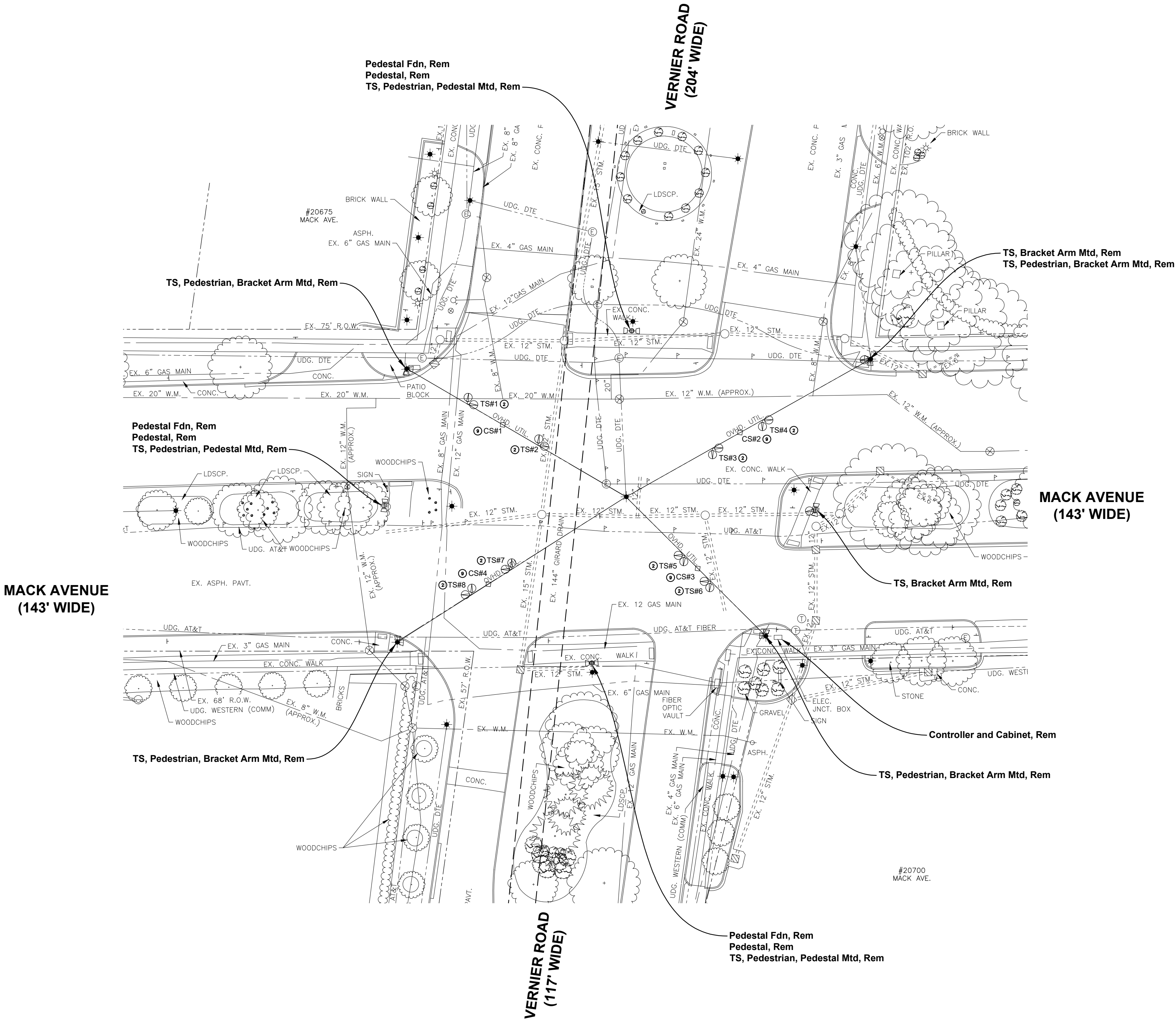
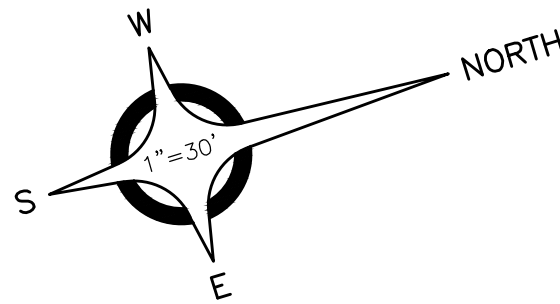
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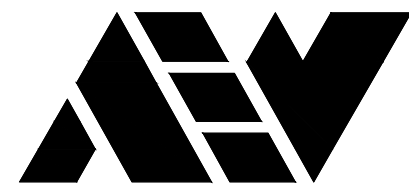
SHEET NO.

20



JN 218128 ESTIMATED QUANTITIES
(THIS SHEET)

1. Span Wire, Rem	4 Ea
2. TS, Span Wire Mtd, Rem	8 Ea
3. TS, Bracket Arm Mtd, Rem	2 Ea
4. TS, Pedestrian, Pedestal Mtd, Rem	8 Ea
5. TS, Pedestrian, Bracket Arm Mtd, Rem	8 Ea
6. Pedestal Fdn, Rem	4 Ea
7. Pedestal, Rem	4 Ea
8. Junction Box, Rem	4 Ea
9. Case Sign, Rem	4 Ea
10. Controller and Cabinet, Rem	1 Ea



ANDERSON, ECKSTEIN AND
WESTRICK, INC.

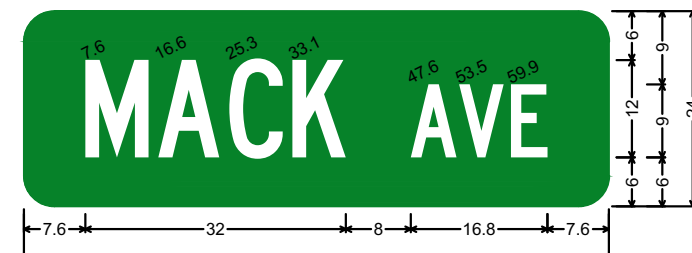
CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

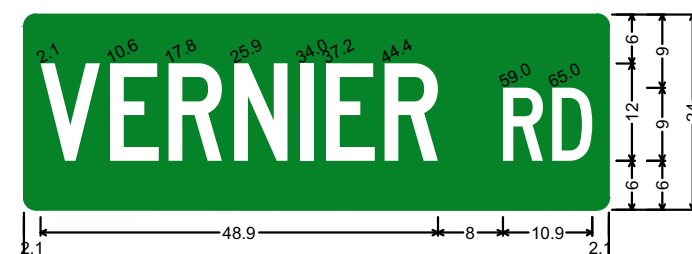
www.aewinc.com

ENGINEERING STRONG COMMUNITIES

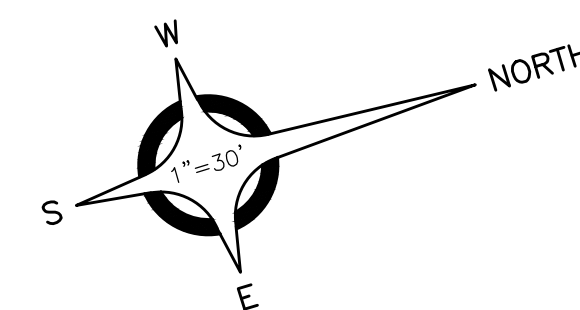
ILLUMINATED STREET NAME SIGN DETAILS



3.8" Radius, No border, Green:
"MACK" White, C 60% spacing; "AVE" White, C 60% spacing;



1.5" Radius, No border, Green:
"VERNIER" White, C 60% spacing; "RD" White, C 60% spacing;



Mast Arm Pole, Fdn
Mast Arm Pole, Cat I
Mast Arm, 50 foot, Cat I
Mast Arm, 40 foot, Cat I
(5) TS, One Way Mast Arm Mtd (LED)
(3) Case Sign (LED), One Way, 24 inch by 30 inch
Street Name Sign, One Way, 8 foot, LED

Pedestal, Fdn
Pedestal, Alum
Pushbutton and Sign
(R10-3e(R) for Crossing Vernier)
TS, Pedestrian, One Way Pedestal Mtd (LED) Countdown
(SIG-330-A Detail B-2)

Pedestal, Fdn
Pedestal, Alum
Pushbutton and Sign
(R10-3e(R) for Crossing Vernier)
TS, Pedestrian, Two Way Pedestal Mtd (LED) Countdown
(SIG-330-A Detail D-2)

Pushbutton, Pedestal, Alum
Pushbutton and Sign
(R10-3e(L) for Crossing Mack)

Mast Arm Pole Fdn, 6 Bolt
Mast Arm Pole, Cat I
(2) Mast Arm, 50 foot, Cat I
(6) TS, One Way Mast Arm Mtd (LED)
(3) Case Sign (LED), One Way, 24 inch by 30 inch
Street Name Sign, One Way, 8 foot, LED
Video Traf Detection Camera

Pedestal, Fdn
Pedestal, Alum
Pushbutton and Sign
(R10-3e(L) for Crossing Mack)
TS, Pedestrian, One Way Pedestal Mtd (LED) Countdown
(SIG-330-A Detail B-2)

Pedestal, Fdn
Pedestal, Alum
Pushbutton and Sign
(R10-3e(L) for Crossing Mack)
TS, Pedestrian, One Way Pedestal Mtd (LED) Countdown
(SIG-330-A Detail B-2)

MACK AVENUE
(143' WIDE)

Pedestal, Fdn
Pedestal, Alum
Pushbutton and Sign
(R10-3e(R) for Crossing Mack)
TS, Pedestrian, One Way Pedestal Mtd (LED) Countdown
(SIG-330-A Detail B-2)

Pedestal, Fdn
Pedestal, Alum
Pushbutton and Sign
(R10-3e(R) for Crossing Vernier)
TS, Pedestrian, One Way Pedestal Mtd (LED) Countdown
(SIG-330-A Detail B-2)

Pedestal, Fdn
Pedestal, Alum
Pushbutton and Sign
(R10-3e(L) for Crossing Vernier)
TS, Pedestrian, One Way Pedestal Mtd (LED) Countdown
(SIG-330-A Detail B-2)

Mast Arm Pole Fdn, 6 Bolt
Mast Arm Pole, Cat I
Mast Arm, 40 foot, Cat I
Mast Arm, 50 foot, Cat I
(5) TS, One Way Mast Arm Mtd (LED)
(3) Case Sign (LED), One Way, 24 inch by 30 inch
Street Name Sign, One Way, 8 foot, LED

Pedestal, Fdn
Pedestal, Alum
Pushbutton and Sign
(R10-3e(L) for Crossing Vernier)
TS, Pedestrian, One Way Pedestal Mtd (LED) Countdown
(SIG-330-A Detail B-2)

Hh, Round

Pedestal, Fdn
Pedestal, Alum
Pushbutton and Sign
(R10-3e(L) for Crossing Vernier)
TS, Pedestrian, Two Way Pedestal Mtd (LED) Countdown
(SIG-330-A Detail D-2)

Pushbutton, Pedestal, Alum
Pushbutton and Sign
(R10-3e(R) for Crossing Mack)

Pedestal, Fdn
Pedestal, Alum
Pushbutton and Sign
(R10-3e(L) for Crossing Mack)
TS, Pedestrian, One Way Pedestal Mtd (LED) Countdown
(SIG-330-A Detail B2)

MACK AVENUE
(143' WIDE)

Hh, Round

Mast Arm Pole, Fdn
Mast Arm Pole, Cat I
Mast Arm, 50 foot, Cat I
Mast Arm, 40 foot, Cat I
(4) TS, One Way Mast Arm Mtd (LED)
(3) Case Sign (LED), One Way, 24 inch by 30 inch
Street Name Sign, One Way, 8 foot, LED
Video Traf Detection Camera

Pedestal, Fdn
Pedestal, Alum
TS, Pedestrian, Two Way Pedestal Mtd (LED) Countdown
(SIG-330-A Detail D-2)

Hh, Round

Pushbutton, Pedestal, Alum
Pushbutton and Sign
(R10-3e(L) for Crossing Mack)

Pushbutton, Pedestal, Alum
Pushbutton and Sign
(R10-3e(L) for Crossing Vernier)

Pedestal, Fdn
Pedestal, Alum
Pushbutton and Sign
(R10-3e(L) for Crossing Vernier)
TS, Pedestrian, One Way Pedestal Mtd (LED) Countdown
(SIG-330-A Detail B-2)

Hh, Round, 3 foot dia

Controller Fdn, Base Mtd
Controller and Cabinet, Digital Type
Service Disconnect

JN 218128 ESTIMATED QUANTITIES (THIS SHEET)

1. Hh, Round	7 Ea
2. Hh, Round, 3 foot dia	1 Ea
3. Serv Disconnect	1 Ea
4. Case Sign (LED), One Way, 24 inch by 30 inch	12 Ea
5. Controller Fdn, Base Mtd	1 Ea
6. Global Positioning System Module	1 Ea
7. Pedestal, Alum	13 Ea
8. Pedestal, Fdn	13 Ea
9. Pushbutton and Sign	17 Ea
10. Pushbutton, Pedestal, Alum	4 Ea
11. TS, Pedestrian, One Way Pedestal Mtd (LED) Countdown	10 Ea
12. TS, Pedestrian, Two Way Pedestal Mtd (LED) Countdown	3 Ea
13. TS, One Way Mast Arm Mtd (LED)	20 Ea
14. Video Traf Detection System	1 Ea
15. Video Traf Detection Camera	2 Ea
16. Backplate, TS	20 Ea
17. Mast Arm Pole, Cat I	4 Ea
18. Mast Arm, 40 foot, Cat I	3 Ea
19. Mast Arm, 50 foot, Cat I	5 Ea
20. Mast Arm Pole Fdn, 6 Bolt	760 Ft
21. Controller and Cabinet, Digital Type	160 Ft
22. Wood Pole, Sec, Fit Up	1 Ea
23. Cable, Sec, 600V, 1, 3/C#6	250 Ft



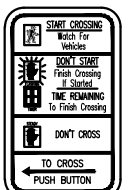
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NORTH (CS #10)
SOUTH (CS #4)
WEST (CS #1)
EAST (CS #9)



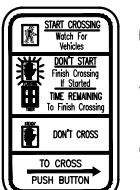
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NORTH (CS #7)
SOUTH (CS #6)
WEST (CS #11)
EAST (CS #8)



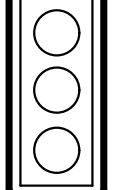
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SOUTH (CS #2)
WEST (CS #12)
EAST (CS #5)



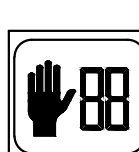
R10-3e(L)



R10-3e(R)



TS #1 - PS #16



PS #1 - PS #16

DATE SUBMITTALS/REVISIONS

PROJECT NAME:

VERNIER & MACK INTERSECTION IMPROVEMENTS

SHEET TITLE:

TRAFFIC SIGNAL CONSTRUCTION PLAN MACK AVENUE & VERNIER ROAD

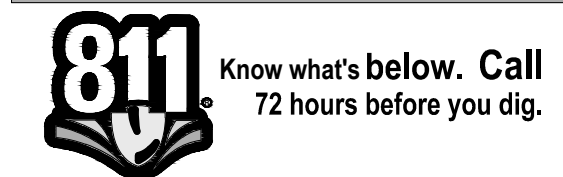
CLIENT:

CITY OF GROSSE POINTE WOODS

PRELIMINARY CONSTRUCTION RECORD

DRAWN BY: CHECKED BY: DATE:
CAD MTL MAY 2023

SCALE: 1" = 30'
0 15 30 60



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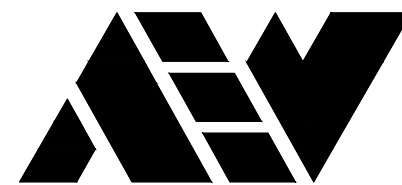
PROJECT NO.

0160-0455

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SHEET NO.

21



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WESTRICK, INC.

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51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

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ENGINEERING STRONG COMMUNITIES

DATE	SUBMITTALS/REVISIONS
PROJECT NAME:	
VERNIER & MACK INTERSECTION IMPROVEMENTS	
SHEET TITLE:	
WIRING DIAGRAM MACK AVENUE & VERNIER ROAD	
CLIENT: CITY OF GROSSE POINTE WOODS	
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DRAWN BY: CAD	CHECKED BY: MTL
DATE: MAY 2023	
SCALE: N.T.S.	

VERNIER & MACK INTERSECTION IMPROVEMENTS

SHEET TITLE:

WIRING DIAGRAM MACK AVENUE & VERNIER ROAD

CLIENT:
CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: MAY 2023
SCALE: N.T.S.		



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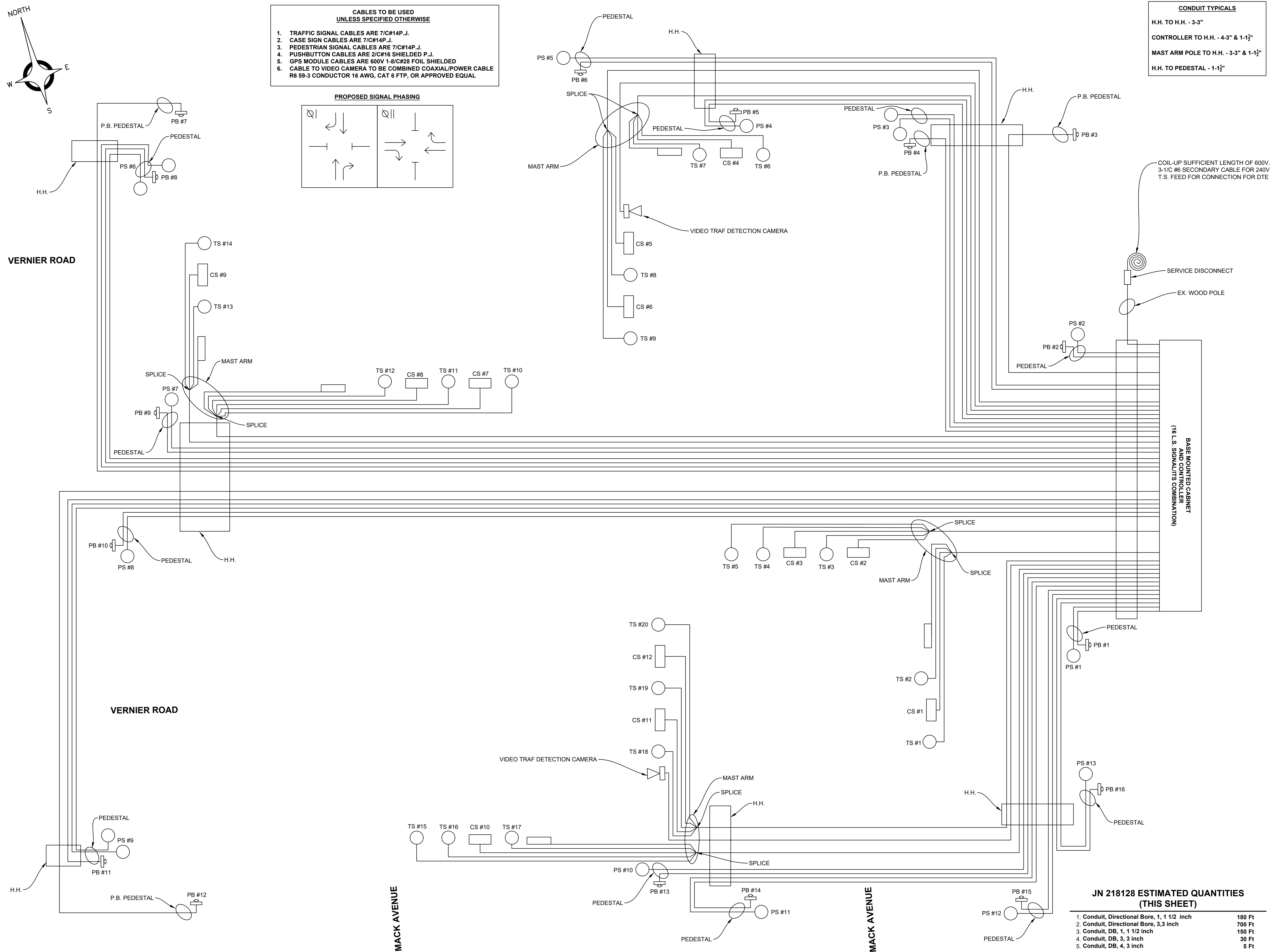
PROJECT NO.

0160-0455

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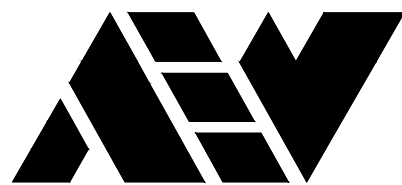
SHEET NO.

22



JN 218128 ESTIMATED QUANTITIES (THIS SHEET)

1. Conduit, Directional Bore, 1, 1 1/2 inch	180 Ft
2. Conduit, Directional Bore, 3, 3 inch	700 Ft
3. Conduit, DB, 1, 1 1/2 inch	150 Ft
4. Conduit, DB, 3, 3 inch	30 Ft
5. Conduit, DB, 4, 3 inch	5 Ft



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CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

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ENGINEERING STRONG COMMUNITIES

PROJECT NAME:	
DATE	
SUBMITTALS/REVISIONS	
PROJECT NAME:	

VERNIER & MACK INTERSECTION IMPROVEMENTS

SHEET TITLE:

PERMANENT SIGNING PLAN REMOVAL MACK AVENUE

CLIENT:
CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: MAY 2023
SCALE: 1" = 30'		
0 15 30 60		



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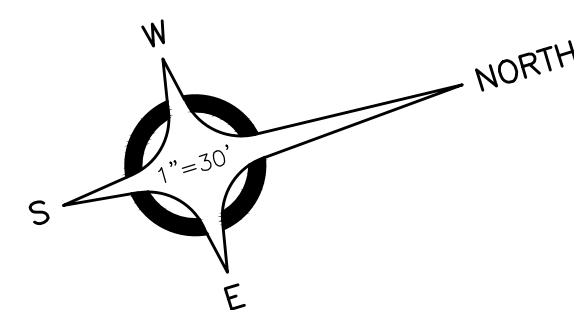
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SHEET NO.

23



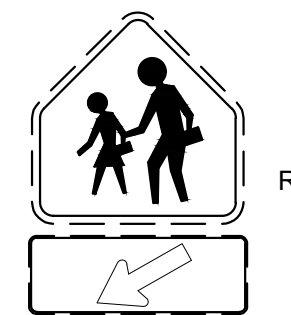
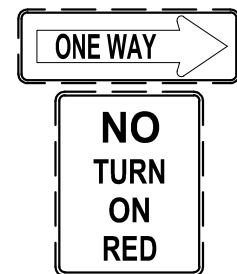
NOTE: RETAIN ALL
PARKING RELATED SIGNS

Remove (2) Type III Signs
and (2) Supports



VAN ANTWERP ST.
(60' WIDE)

Remove (2) Type III Signs
and Support



Remove (2) Type III Signs

Remove (1) Type III Sign
and Support



Remove (1) Type III Sign
and Support



Remove (4) Type III Signs
and Support

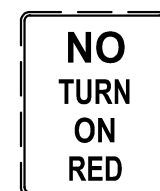


VERNIER ROAD
(204' WIDE)

Remove (2) Type III Signs
and Support



Remove (1) Type III Sign
and Support



Remove (2) Type III Signs



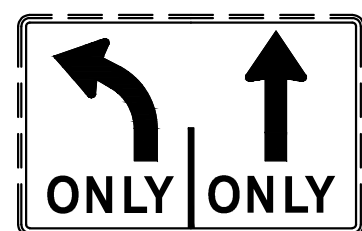
Remove (2) Type III Signs
and Support



MACK AVENUE
(143' WIDE)

MACK AVENUE
(143' WIDE)

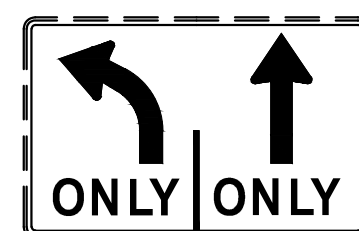
Remove (1) Type III Sign
and Support



Remove (2) Type III Signs
and Support



Remove (1) Type III Sign
and Support



Remove (2) Type III Signs
and Support



Remove (1) Type III Sign



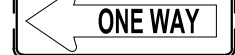
Remove (1) Type III Sign
and Support



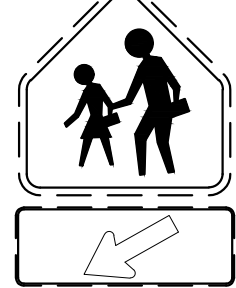
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and Support



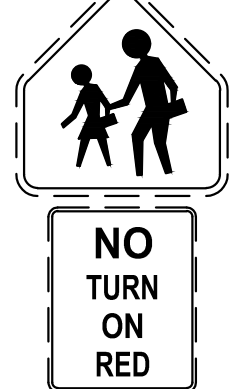
Remove (1) Type III Sign
and Support



Remove (2) Type III Signs
and Support



Remove (2) Type III Signs
and Support



Remove (1) Type III Sign
and Support



JN 218128 ESTIMATED QUANTITIES
(THIS SHEET)

1. Ground Mtd, Sign Support, Rem
2. Sign, Type III, Rem

21
39 Ea

ENGINEERING STRONG COMMUNITIES

[illegible]

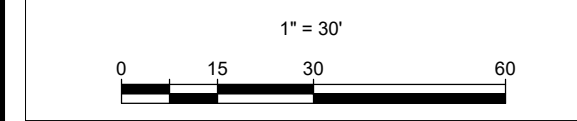
SHEET TITLE

CLIENT: CITY OF GROSSE POINTE WOODS

☒ PRELIMINARY ☐ CONSTRUCTION ☐ RECORD

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: MAY 2023

SCALE:



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PROJECT NO. _____

0160-0455

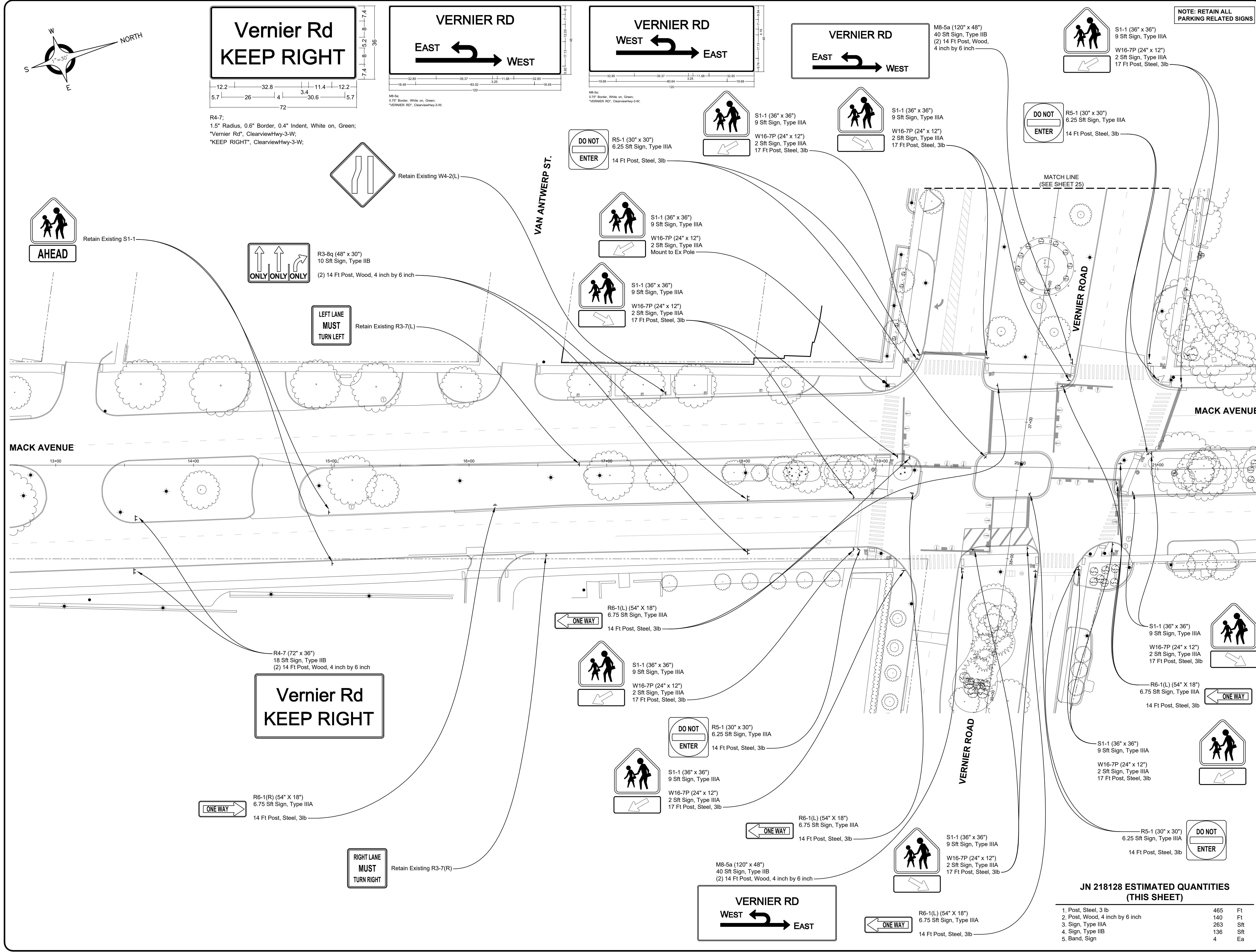
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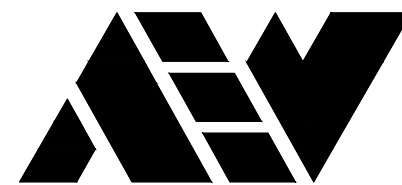
SHEET NO.

04

24

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Michigan 48315

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ENGINEERING STRONG COMMUNITIES

DATE	SUBMITTALS/REVISIONS
PROJECT NAME:	

VERNIER & MACK INTERSECTION IMPROVEMENTS

SHEET TITLE:

PERMANENT SIGNING PLAN CONSTRUCTION VERNIER ROAD

CLIENT:

CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: MAY 2023
SCALE: 1" = 30'		



Know what's below. Call
72 hours before you dig.

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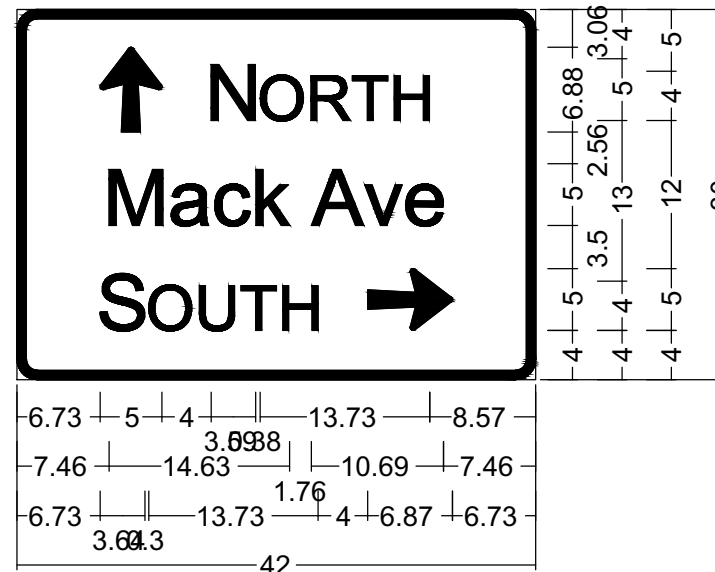
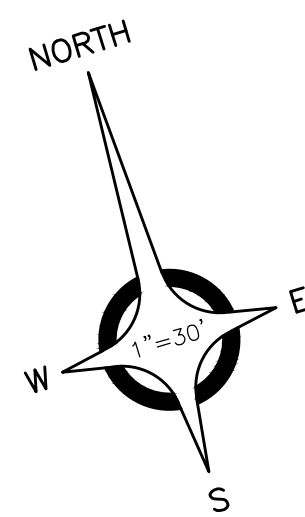
PROJECT NO.

0160-0455

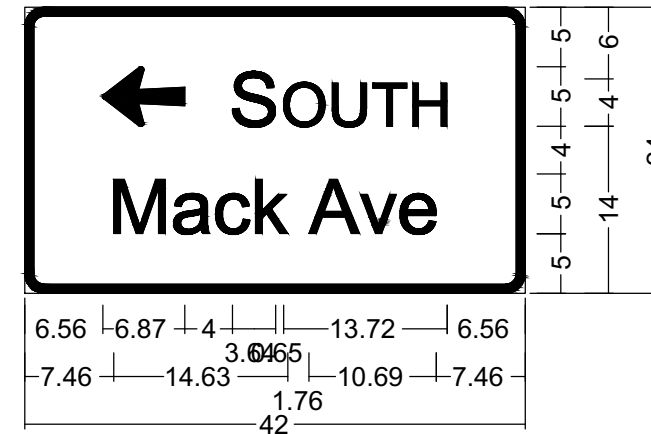
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25_Const_Mack-11/17/2024 3:17:13 PM

SHEET NO.

25



D3-2 (1.6) 35 mph or less;
1.63" Radius, 0.75" Border, White on, Green;
Arrow A-5 - 6.88" 90';
"N ORTH", ClearviewHwy-3-W;
"Mack Ave", ClearviewHwy-3-W;
"S OUTH", ClearviewHwy-3-W;
Arrow A-5 - 6.88" 0';

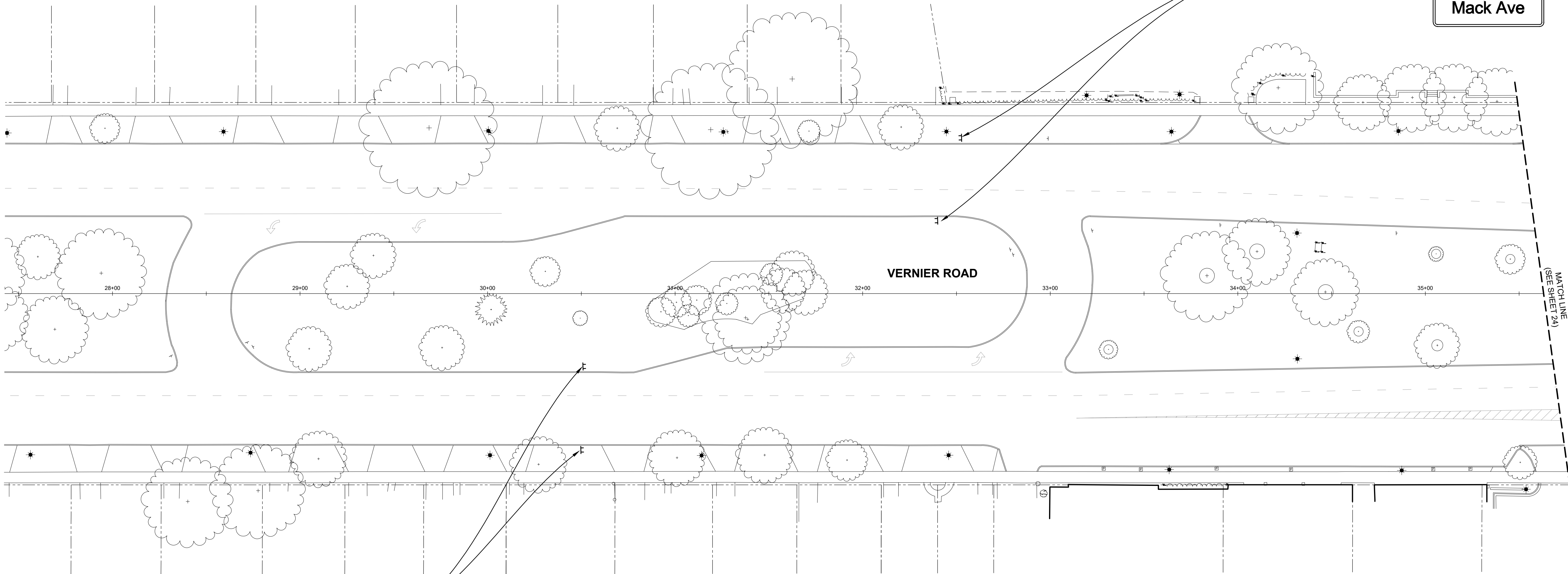


D3-2 (1.7) 35 mph or less;
1.63" Radius, 0.75" Border, White on, Green;
Arrow A-5 - 6.88" 180';
"S", ClearviewHwy-3-W;
"OUTH", ClearviewHwy-3-W;
"Mack Ave", ClearviewHwy-3-W;

NOTE: RETAIN ALL
PARKING RELATED SIGNS

D3-2 (42" x 24")
7 Sft Sign, Type IIB
(2) 14 Ft Post, Wood, 4 inch by 6 inch

← SOUTH
Mack Ave



↑ NORTH
Mack Ave
SOUTH →

D3-2 (42" x 30")
8.75 Sft Sign, Type IIB
(2) 14 Ft Post, Wood, 4 inch by 6 inch

JN 218128 ESTIMATED QUANTITIES (THIS SHEET)

1. Post, Wood, 4 inch by 6 inch	112	Ft
6. Sign, Type IIB	31.5	Sft

ENGINEERING STRONG COMMUNITIES



SHEET TITLE

CLIENT:

CITY OF GROSSE POINTE WOODS



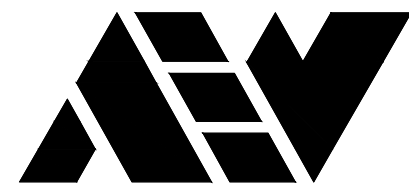
DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO. _____

M:\0160\0160-0455\DWG\CIVIL\00_PSP.DWG
26 Rem Vernier--12/21/2023 9:58:58 AM

SHEET NO.

1. Ground Mtd Sign Support, Rem	13	Ea
2. Sign, Type III, Rem	13	Ea
3. Sign, Type II, Rem	2	Ea

ANDERSON, ECKSTEIN AND
WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

www.aewinc.com

ENGINEERING STRONG COMMUNITIES

DATE		SUBMITTALS/REVISIONS	
PROJECT NAME:		SHEET TITLE:	

**VERNIER & MACK
INTERSECTION
IMPROVEMENTS****PERMANENT
SIGNING PLAN
VERNIER ROAD
CONSTRUCTION PLAN**CLIENT:
CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: MAY 2023
SCALE: 1" = 30'		

Know what's below. Call
72 hours before you dig.UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE
LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS
DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE
VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR
IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF
EXISTING OVERHEAD AND UNDERGROUND UTILITIES (ON
CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED
IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD.
DURING THE CONSTRUCTION, THE CONTRACTOR SHALL
PROTECT AND SUPPORT ALL UTILITIES THAT ARE
ENCOUNTERED. (ALL COSTS FOR UTILITY LOCATION
VERIFICATION, SUPPORT AND PROTECTION SHALL BE
INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH
THAT UTILITY).DURING CONSTRUCTION, THE CONTRACTOR SHALL USE
EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL
OVERHEAD AND / OR BURIED UTILITIES.

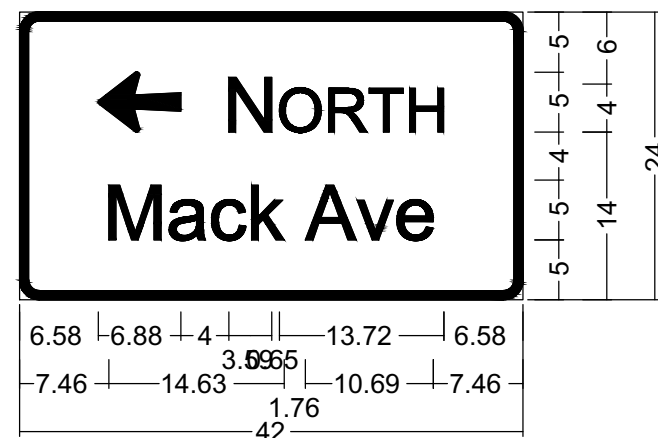
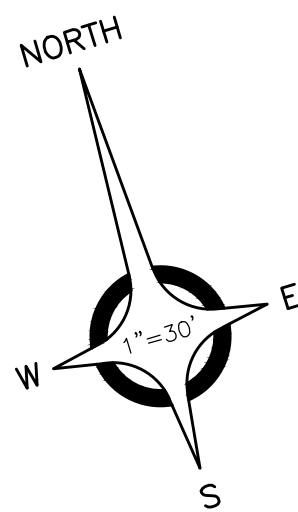
PROJECT NO.

0160-0455

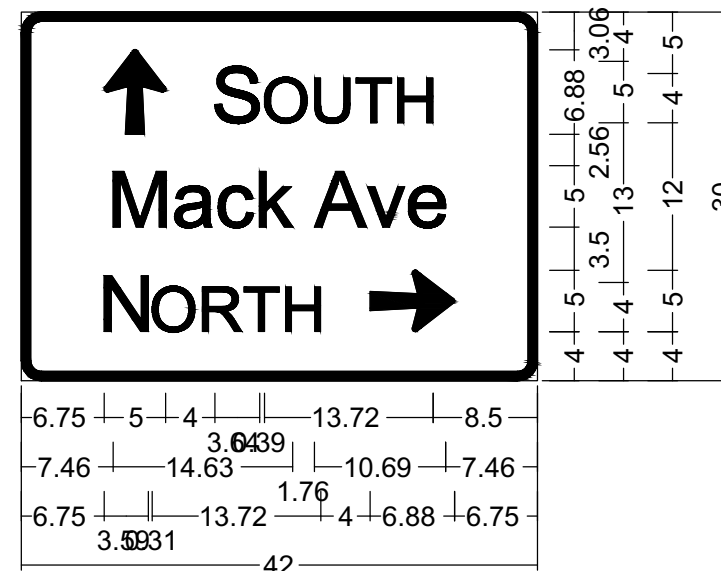
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SHEET NO.

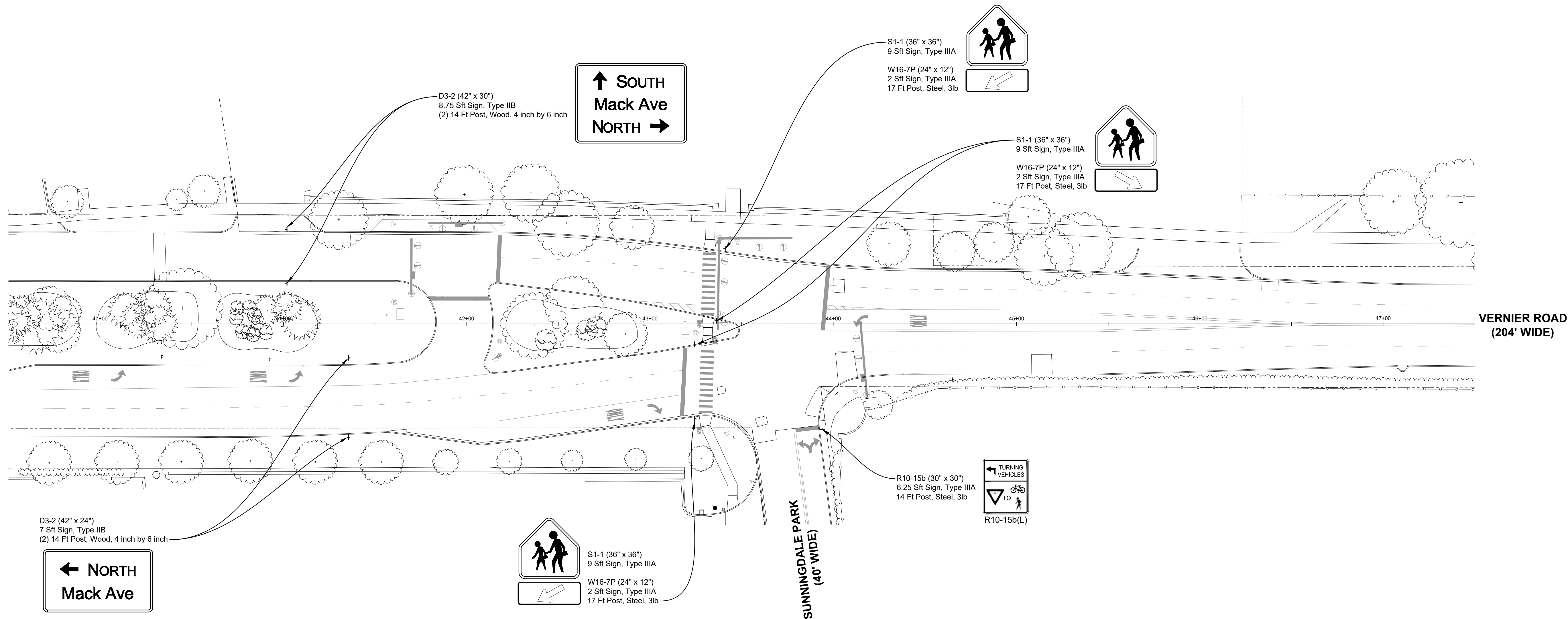
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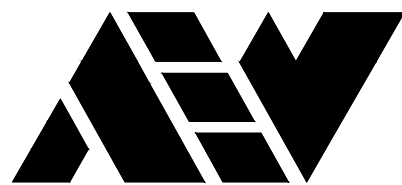
D3-2 (1.7) 35 mph or less;
1.63" Radius, 0.75" Border, White on, Green;
Arrow A-5 - 6.88" 180°;
"N", ClearviewHwy-3-W;
"ORTH", ClearviewHwy-3-W;
"Mack Ave", ClearviewHwy-3-W;



D3-2 (1.6) 35 mph or less;
1.63" Radius, 0.75" Border, White on, Green;
Arrow A-5 - 6.88" 90°;
"S OUTH", ClearviewHwy-3-W;
"Mack Ave", ClearviewHwy-3-W;
"N ORTH", ClearviewHwy-3-W;
Arrow A-5 - 6.88" 0°;

**JN 219533A ESTIMATED QUANTITIES
(THIS SHEET)**

1. Post, Steel, 3lb	82	Ft
2. Post, Wood, 4 inch by 6 inch	112	Ft
3. Sign, Type IIIA	50.25	Sft
4. Sign, Type IIB	31.5	Sft



ANDERSON, ECKSTEIN AND
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51301 Schoenherr Road Phone 586 726 1234
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Michigan 48315

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ENGINEERING STRONG COMMUNITIES

PROJECT NAME:	
DATE	SUBMITTALS/REVISIONS

VERNIER & MACK
INTERSECTION
IMPROVEMENTS

SHEET TITLE:

PAVEMENT
MARKING PLAN
REMOVAL
MACK AVENUE

CLIENT:
CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: MAY 2023
SCALE: 1" = 30'		
0 15 30 60		



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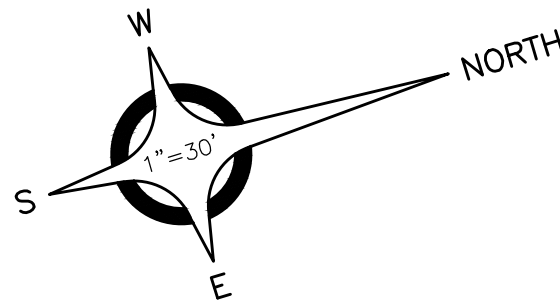
PROJECT NO.

0160-0455

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28_Rem_Mack-8/18/2023 3:04:50 PM

SHEET NO.

28



MACK AVENUE
(143' WIDE)

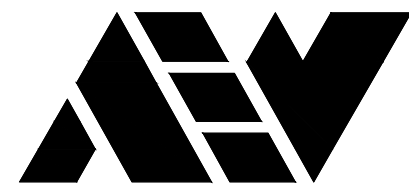
VAN ANTWERP ST.
(60' WIDE)

VERNIER ROAD
(204' WIDE)

VERNIER ROAD
(117' WIDE)

JN 218128 ESTIMATED QUANTITIES
(THIS SHEET)

1. Rem Spec Mrkg 90 Sft



ANDERSON, ECKSTEIN AND
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ENGINEERING STRONG COMMUNITIES

DATE	SUBMITTALS/REVISIONS
PROJECT NAME:	

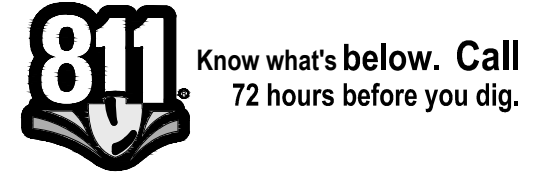
VERNIER & MACK
INTERSECTION
IMPROVEMENTS

SHEET TITLE:

PAVEMENT
MARKING PLAN
CONSTRUCTION
MACK AVENUE

CLIENT:
CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: MAY 2023
SCALE: 1" = 30'		



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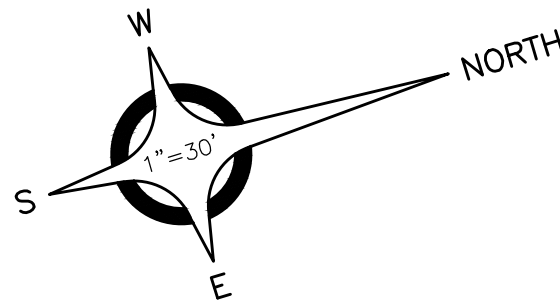
PROJECT NO.

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SHEET NO.

29



MACK AVENUE
(143' WIDE)

VAN ANTWERP ST.
(60' WIDE)

VERNIER ROAD
(204' WIDE)

MACK AVENUE
(143' WIDE)

VERNIER ROAD
(117' WIDE)

Pavt Mrkg, Sprayable Thermopl, 6 inch, White (Solid)

Pavt Mrkg, Ovly Cold Plastic, 24 inch, Stop Bar

Pavt Mrkg, Ovly Cold Plastic, 24 inch, Stop Bar

Pavt Mrkg, Sprayable Thermopl, 6 inch, White (Skip)

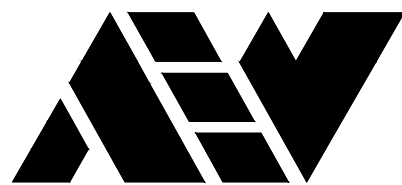
Pavt Mrkg, Sprayable Thermopl, 6 inch, White (Solid)

Pavt Mrkg, Ovly Cold Plastic, 24 inch, Stop Bar

Pavt Mrkg, Ovly Cold Plastic, 12 inch, Cross Hatching, White
(15' SPACING @ 45°)

JN 218128 ESTIMATED QUANTITIES
(THIS SHEET)

1. Pavt Mrkg, Sprayable Thermopl, 6 inch, White	230	Ft
2. Pavt Mrkg, Ovly Cold Plastic, 24 inch, Stop Bar	114	Ft
3. Pavt Mrkg, Ovly Cold Plastic, 12 inch Cross Hatching, White	80	Ft



ANDERSON, ECKSTEIN AND
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CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

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ENGINEERING STRONG COMMUNITIES

PROJECT NAME:	
DATE	
SUBMITTALS/REVISIONS	

PROJECT NAME:

VERNIER & MACK
INTERSECTION
IMPROVEMENTS

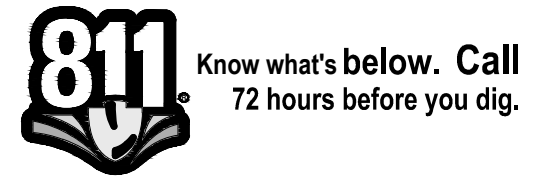
SHEET TITLE:

PAVEMENT
MARKING PLAN
REMOVAL
VERNIER ROAD

CLIENT:

CITY OF GROSSE POINTE WOODS

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DRAWN BY:	CHECKED BY:	DATE:
CAD	MTL	MAY 2023
SCALE:		
1" = 30'		
0 15 30 60		



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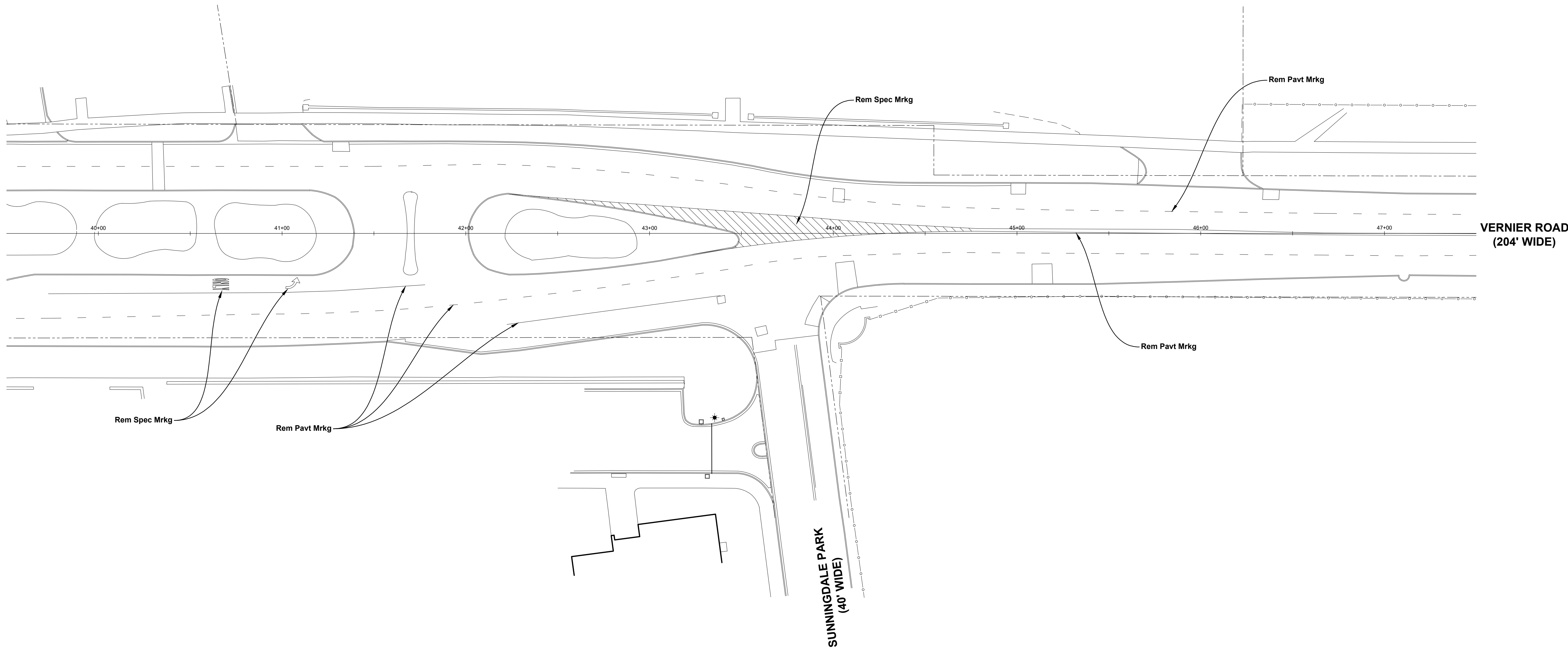
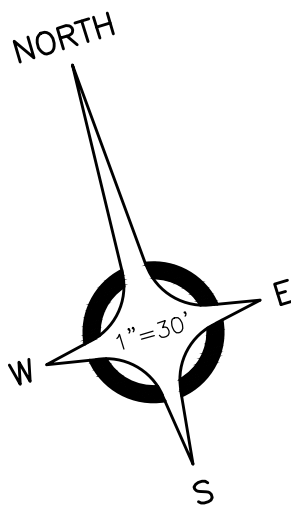
PROJECT NO.

0160-0455

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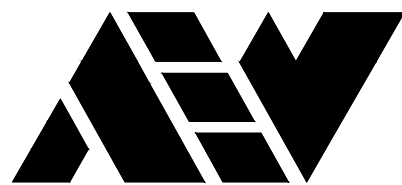
SHEET NO.

30



JN 219533A ESTIMATED QUANTITIES
(THIS SHEET)

1. Rem Spec Mrkg	120	Sft
2. Rem Pavt Mrkg	1,800	Ft



ANDERSON, ECKSTEIN AND
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CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

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ENGINEERING STRONG COMMUNITIES

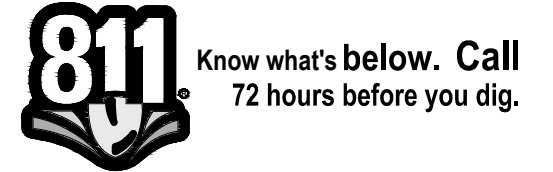
DATE		SUBMITTALS/REVISIONS	
PROJECT NAME:		SHEET TITLE:	

VERNIER & MACK
INTERSECTION
IMPROVEMENTS

PAVEMENT
MARKING PLAN
CONSTRUCTION
VERNIER ROAD

CLIENT:
CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: CAD	CHECKED BY: MTL	DATE: MAY 2023
SCALE: 0 N.T.S.		



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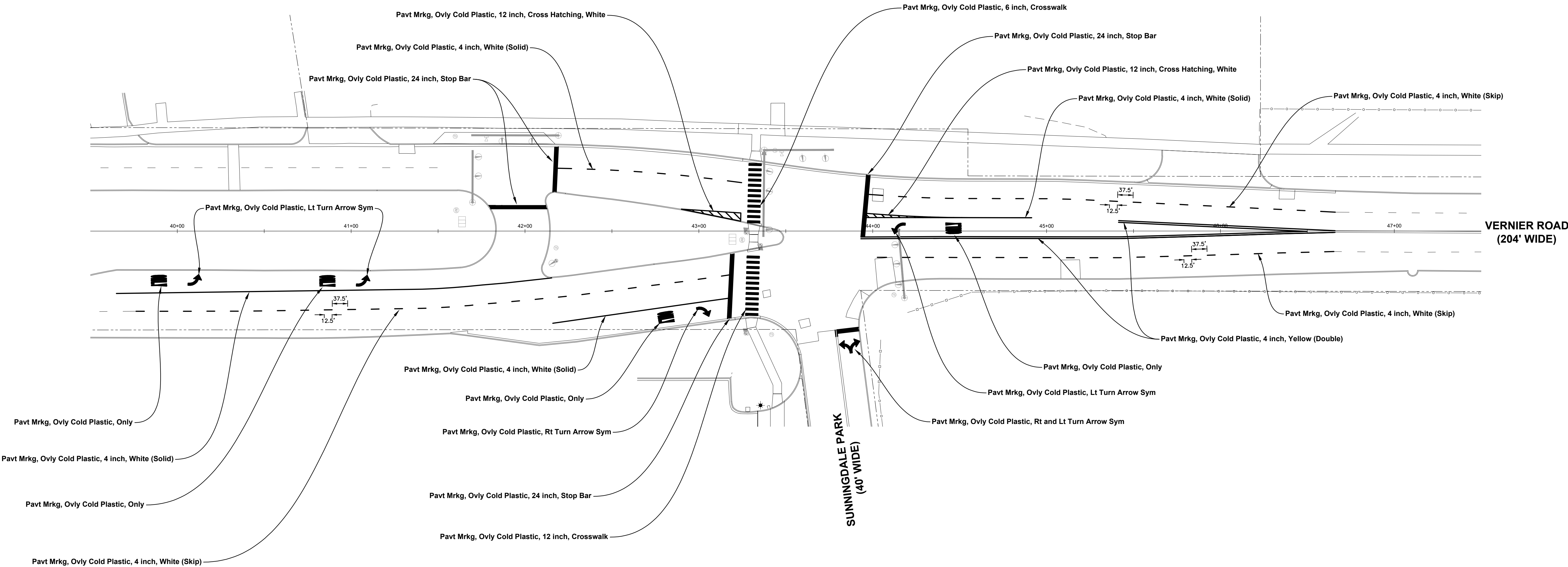
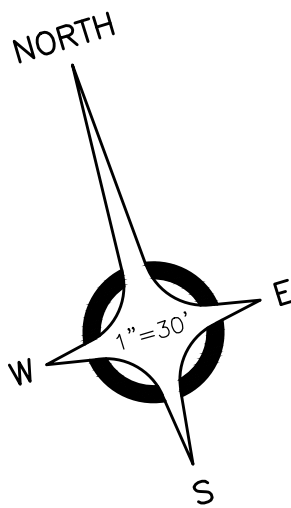
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0160-0455

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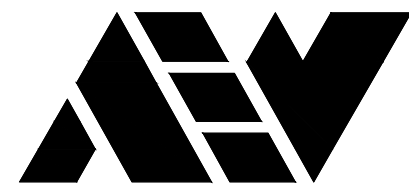
SHEET NO.

31



JN 219533A ESTIMATED QUANTITIES
(THIS SHEET)

1. Pavt Mrkg, Ovly Cold Plastic, 4 inch, White	1,690	Ft
2. Pavt Mrkg, Ovly Cold Plastic, 4 inch, Yellow	761	Ft
3. Pavt Mrkg, Ovly Cold Plastic, Rt Turn Arrow Sym	1	Ea
4. Pavt Mrkg, Ovly Cold Plastic, Lt Turn Arrow Sym	3	Ea
5. Pavt Mrkg, Ovly Cold Plastic, Rt and Lt Turn Arrow Sym	1	Ea
6. Pavt Mrkg, Ovly Cold Plastic, Only	4	Ea
7. Pavt Mrkg, Ovly Cold Plastic, 12 inch, Crosswalk	168	Ft
8. Pavt Mrkg, Ovly Cold Plastic, 24 inch, Stop Bar	140	Ft
9. Pavt Mrkg, Ovly Cold Plastic, 12 inch Cross Hatching, White	32	Ft



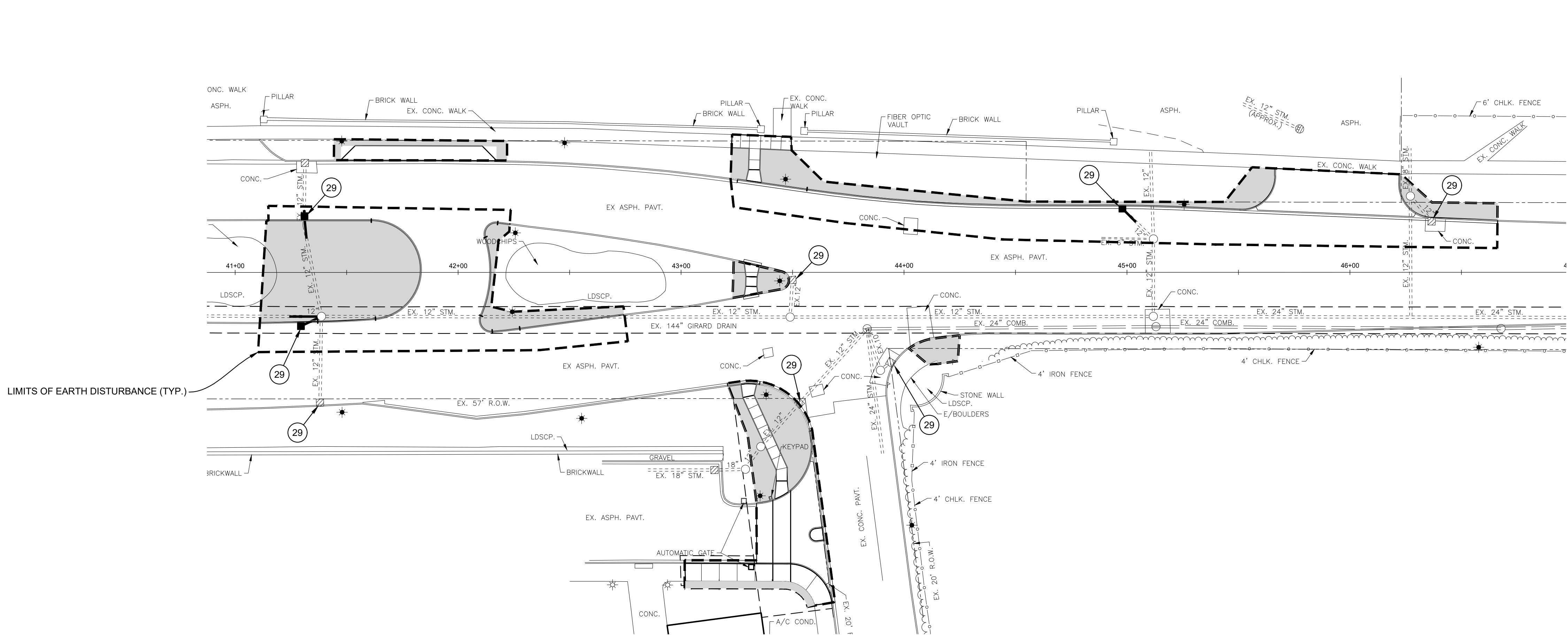
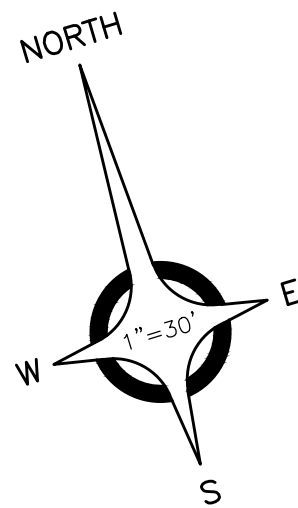
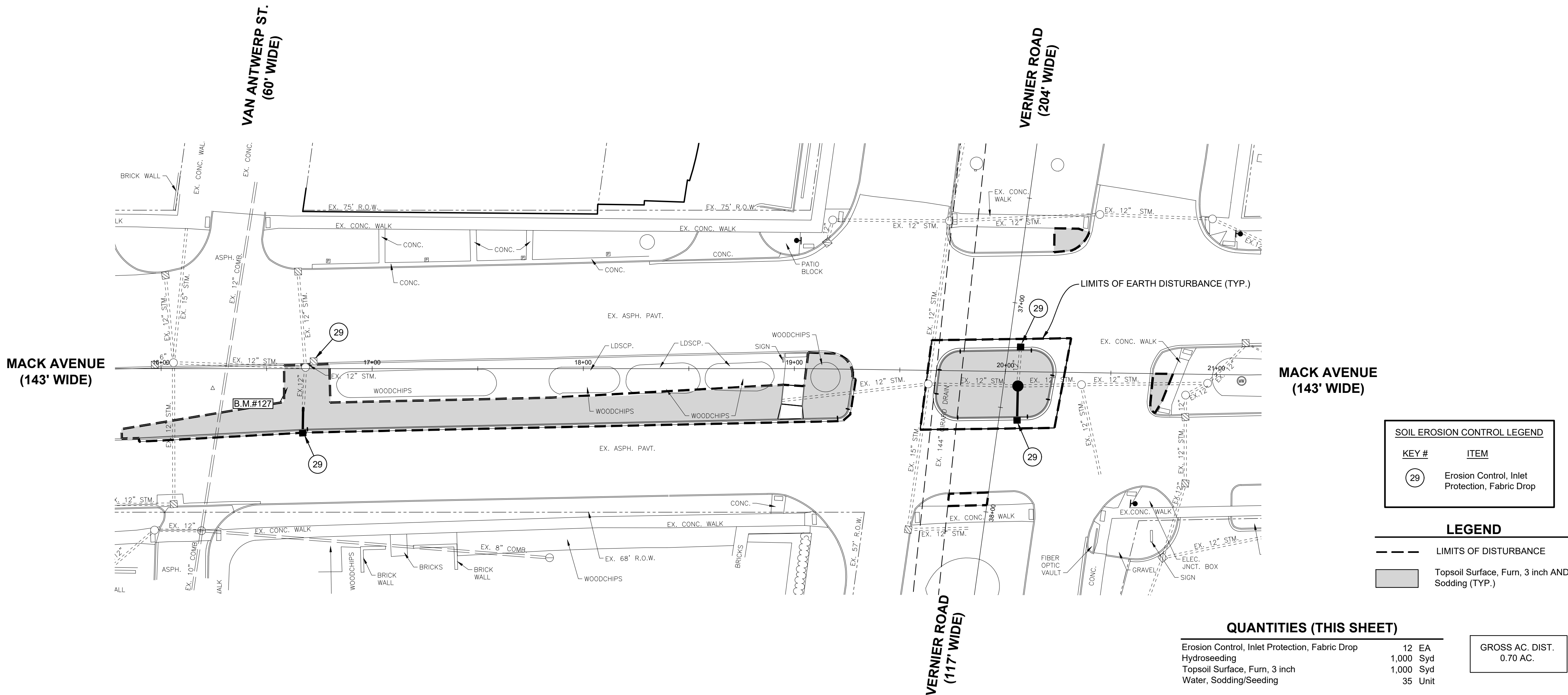
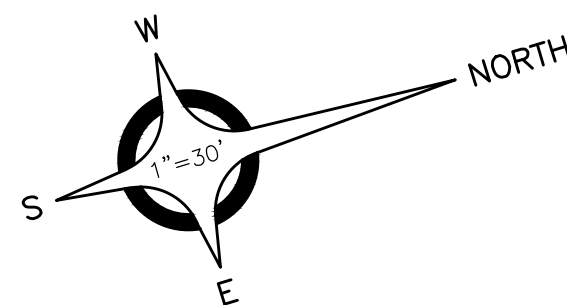
ANDERSON, ECKSTEIN AND
WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

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ENGINEERING STRONG COMMUNITIES



VERNIER & MACK INTERSECTION IMPROVEMENTS

SHEET TITLE:

SOIL EROSION PLAN

CLIENT:
CITY OF GROSSE POINTE WOODS

<input checked="" type="checkbox"/>	PRELIMINARY	<input type="checkbox"/>	CONSTRUCTION	<input type="checkbox"/>	RECORD
DRAWN BY:	DBK	CHECKED BY:	RW	DATE:	JUNE 2023
SCALE:	1" = 30'				



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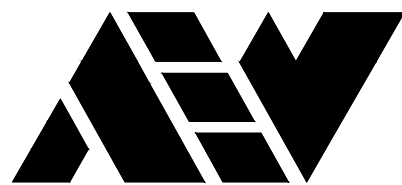
PROJECT NO.

0160-0455

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SHEET NO.

32



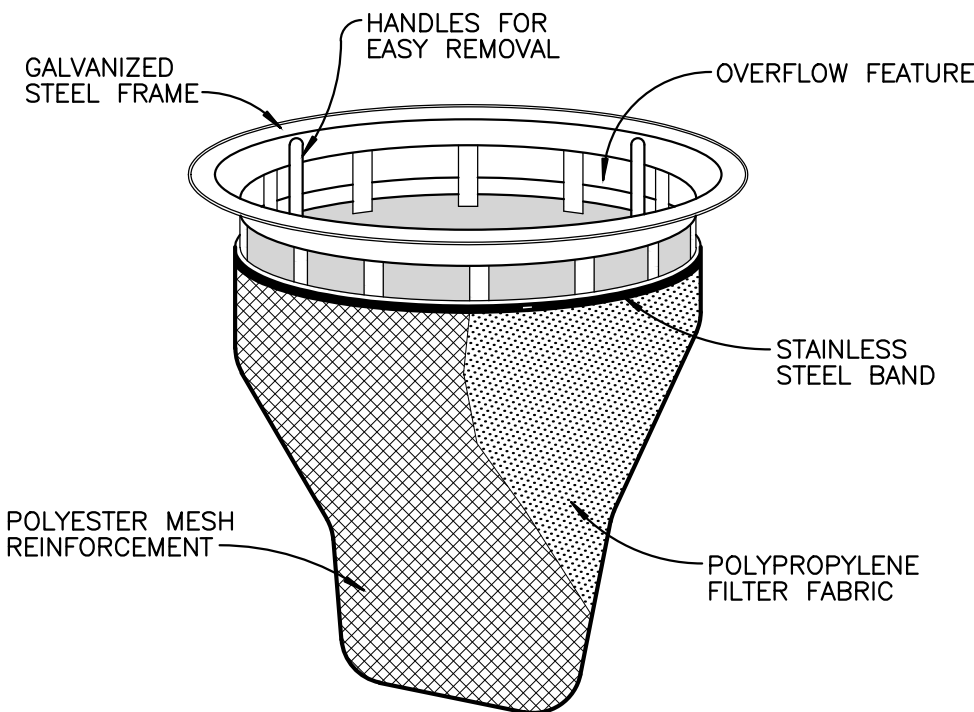
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ENGINEERING STRONG COMMUNITIES



DROP-IN FILTER

NOT TO SCALE

SOIL EROSION AND SEDIMENTATION NOTES AND MAINTENANCE NOTES

THIS PROJECT SHALL BE CONSTRUCTED IN COMPLIANCE WITH PART 91 OF ACT 451 OF 1994, AS AMENDED, THE SOIL EROSION AND SEDIMENTATION CONTROL ACT AND THE MACOMB COUNTY SOIL EROSION AND SEDIMENTATION CONTROL ORDINANCE.

ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE MACOMB COUNTY PUBLIC WORKS OFFICE.

EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.

STAGING THE WORK WILL BE DONE BY THE LANDOWNER OR LANDOWNER'S REPRESENTATIVE AS DIRECTED IN THESE PLANS AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH CHANGE.

THE LANDOWNER OR LANDOWNER'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF SOIL EROSION AND SEDIMENTATION CONTROL DEVICES.

THE LANDOWNER OR LANDOWNER'S REPRESENTATIVE SHALL IMPLEMENT AND MAINTAIN THE SOIL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS BEFORE AND AT ALL TIMES DURING CONSTRUCTION ON THIS PROJECT. ANY MODIFICATIONS OR ADDITIONS TO SOIL EROSION CONTROL MEASURES DUE TO CONSTRUCTION OR CHANGED CONDITIONS SHALL BE COMPLIED WITH AS REQUIRED OR DIRECTED BY THE MACOMB COUNTY PUBLIC WORKS OFFICE.

IF ANY OF THE SESC MEASURES ON THE SITE ARE DEEMED INADEQUATE OR INEFFECTIVE, THE MACOMB COUNTY PUBLIC WORKS OFFICE SESC DIVISION HAS THE RIGHT TO REQUIRE ADDITIONAL SESC MEASURES AT THE EXPENSE OF THE LANDOWNER.

INSTALL INLET FILTER ON ALL PAVEMENT CATCH BASINS PER DETAIL.

A. INLET FILTERS SHALL BE INSPECTED WEEKLY UNDER NORMAL CONDITIONS, WITHIN 24 HOURS OF A RAINFALL AND DAILY DURING A PROLONGED RAIN EVENT.

B. BUILDUP OF SEDIMENT AND DEBRIS SHALL BE REMOVED PROMPTLY.

C. IF FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE FABRIC SHALL BE REPLACED PROMPTLY.

NO STOCKPILED SOIL IS PLANNED FOR THIS PROJECT.

ALL DISTURBED AREAS WILL BE RESTORED WITH 3" OF TOPSOIL AND SODDING.

NO DEWATERING IS PLANNED DURING CONSTRUCTION.

ALL DIRT TRACKED ONTO ANY ROADWAY SHALL BE REMOVED IMMEDIATELY.

STREETS AND OR PARKING AREAS WILL BE SCRAPED ON A DAILY BASIS AND SWEEPED AT A MINIMUM OF ONCE PER WEEK BY THE LANDOWNER OR LANDOWNER'S REPRESENTATIVE.

DURING DRY PERIODS, ALL DISTURBED AREAS SHALL BE WATERED FOR DUST CONTROL.

PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER EARTH CHANGE ACTIVITY CEASES, TEMPORARILY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IMMEDIATELY. ALL TEMPORARY SOIL EROSION CONTROL SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED. ALL PERMANENT SOIL EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED.

FINAL GRADE, ESTABLISH VEGETATION AND OR LANDSCAPE ALL DISTURBED AREAS NOT BUILT OR PAVED UPON.

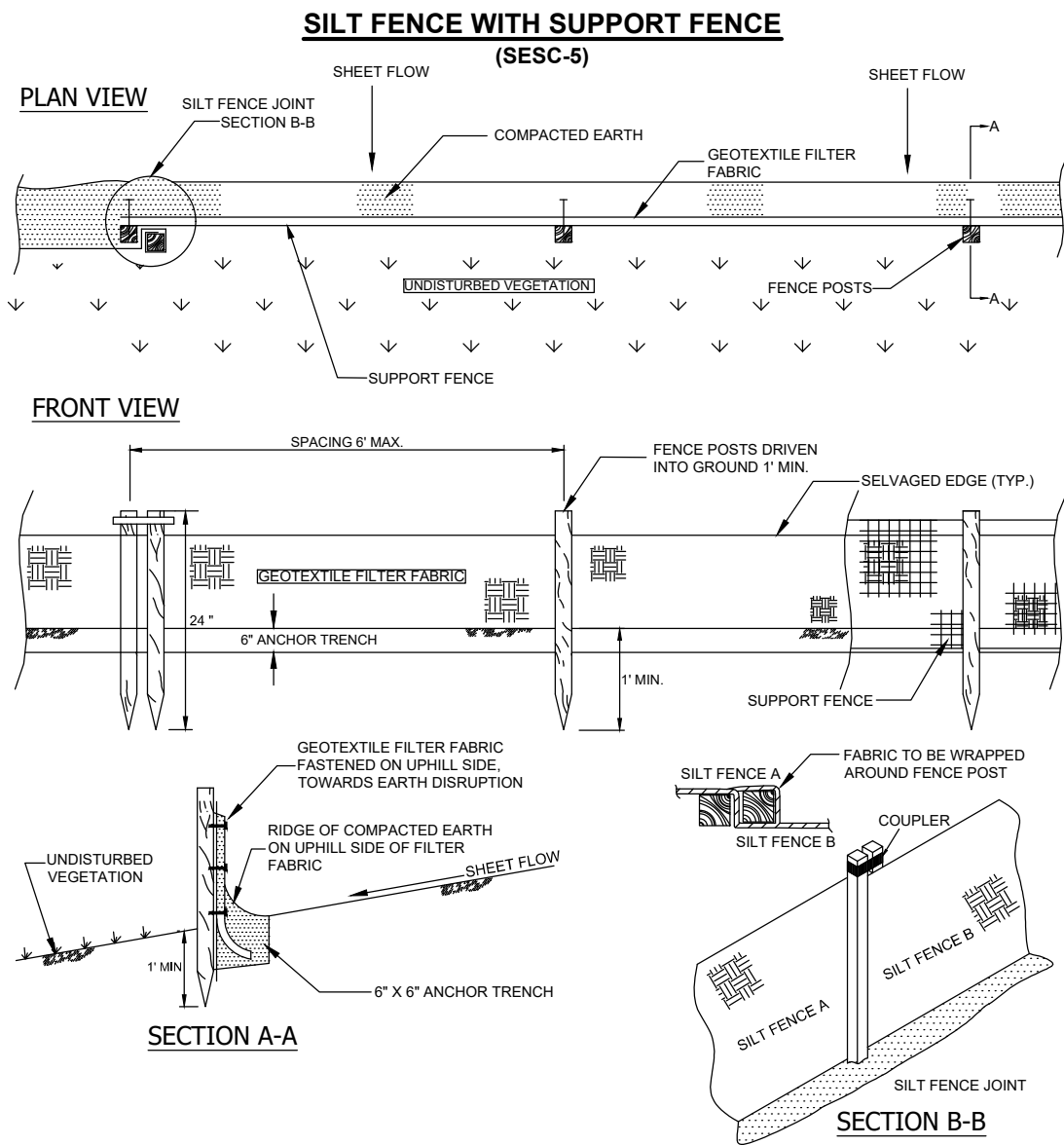
REMOVE ALL TEMPORARY SOIL EROSION DEVICES AFTER PERMANENT STABILIZATION IS ESTABLISHED.

SOIL TYPES: UrbanB, TedubB, ZfsuaA

NAME OF AND DISTANCE TO NEAREST OPEN WATERCOURSE: GIRARD DRAIN - ONSITE.

PERSON RESPONSIBLE FOR THE MAINTENANCE OF ALL TEMPORARY SOIL EROSION CONTROL MEASURES WILL BE PROVIDED WHEN THE CONTRACTOR IS DETERMINED.

	JUNE				JULY					AUGUST				SEPTEMBER				
	6/3	6/10	6/17	6/24	7/1	7/8	7/15	7/22	7/29	8/5	8/12	8/19	8/26	9/2	9/9	9/16	9/23	9/30
MOBILIZE																		
INSTALL INLET FILTERS																		
REMOVALS & EARTHWORK, TRAFFIC SIGNALS																		
PAVEMENT, DRIVE AND SIDEWALK																		
RESTORATION																		
PERMANENT SESC MEASURES																		
REMOVE TEMPORARY SESC MEASURES																		



DATE	SUBMITTALS/REVISIONS
PROJECT NAME:	
VERNIER & MACK INTERSECTION IMPROVEMENTS	
SHEET TITLE:	
SOIL EROSION DETAILS	
CLIENT: CITY OF GROSSE POINTE WOODS	
PRELIMINARY <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> RECORD <input type="checkbox"/>	
DRAWN BY: DBK	CHECKED BY: RW
DATE: JUNE 2023	
SCALE: 1" = 30'	
0 15 30 60	

811 Know what's below. Call 72 hours before you dig.

UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES, (ON CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. (ALL COSTS FOR UTILITY LOCATION VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH THAT UTILITY).

DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO. 0160-0455

M:\0160\0160-0455\DWG\CIVIL\00_CONST.DWG
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SHEET NO.

33

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CITY OF GROSSE POINTE WOODS
Building Department
20025 Mack Plaza, Grosse Pointe Woods, MI 48236
(313) 343-2426

SITE PLAN REVIEW

COMMERCIAL – Zoned As – Please Check One:

() C – Commercial Business (X) RO-1 – Restricted Office () P-1 – Vehicular Parking
() CF – Community Facilities () C-2 – High Intensity City Ctr

Property Owner Name: Eastside Dermatology Date: 01/26/2024

GPW Property Address: 20030 Mack Ave, Grosse Pointe Woods, MI 48236

Telephone #: Work (313) 884-3380 Home: _____

Contractor/Applicant Name: Stucky Vitale Architects

Telephone # 248-546-6700 Mobile Phone # _____ Fax # 248-546-8454

Contractor/Applicant Address: 27172 Woodward Ave. Royal Oak, MI. 48067

e-mail: jvitale@stuckyvitale.com

MI Builder's License # : _____ MI Driver's License # : _____

Nature of Proposed Work:

1-Story Addition & interior renovation to existing medical office building. Selective demolition of existing structure at connection to new addition. Demolition of existing garage structure. Parking lot reconfiguration & Improvements.

Value of Construction \$ \$90,000

Section 23a of State Construction Code Act of 1972, No. 230 of the Public Acts of 1972, being Section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of the State relating to persons who are to perform work on a residential building or a residential structure. Violations of Section 23a are subject to civil fines.

Applicant Signature: John Vitale

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

#50-32(7)	Special Land Use PC Fee:	\$ 250
#50-42(a)	PC Site Plan Review Fee:	\$ 350
#50-42(b)(1)	Deposit – Est. Costs Incurred by the City:	\$ 400
PC APPLICATION FEE DUE:		\$ 1,000

Date Received: _____ Name: _____

MCKENNA

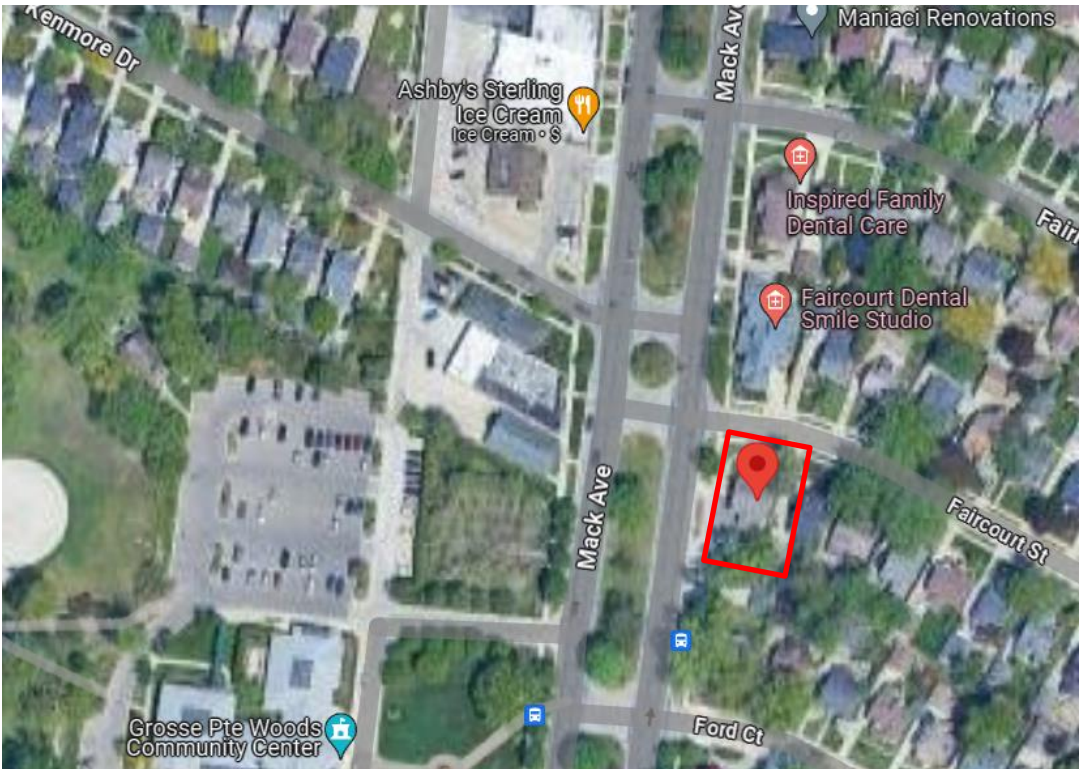
February 20, 2024

Planning Commission
City of Grosse Pointe Woods
20025 Mack Plaza Dr
Grosse Pointe Woods, MI 48236

Subject: 20030 Mack (Eastside Dermatology) Site Plan Review
Parcel ID: 012-04-0026-000
Site Plan Review #1
Zoning: RO-1 – Restricted Office

Dear Commissioners,

We have reviewed a site plan review application submitted by Stucky Vitale Architects on behalf of Eastside Dermatology (the “Applicant”). The site is located on the southeast corner of Mack Avenue and Faircourt and is within the city’s RO-1 (Restricted Office) Zoning District. The Applicant proposes to construct a one-story addition to an existing medical office building which would require selective demolition of the existing structure and total demolition of its accompanying garage. In addition, the Applicant has proposed reconfigurations and improvements to the existing parking lot and ingress/egress. Upon review of the proposed compared to the applicable ordinance standards, we offer the following comments for your review. Items that do not comply or require additional information are in **bold and underlined**.



HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

○ 248.596.0920
F 248.596.0930
MCKA.COM

Communities for real life.

RECOMMENDATION

At the meeting, the applicant should provide colored renderings of the existing building and its proposed addition as well as offer substantial evidence that 6 off-street parking spaces can meet the parking demand.

Pending Planning Commission’s findings that there is sufficient reason for an administrative parking waiver and that the building material and color on the exterior complement the existing building, we recommend approval with the following conditions or tabling the site plan until the listed items are addressed. Outstanding items for the applicant to address include:

- 1. Submit an updated site plan that clearly labels all setbacks, building height, and parking space dimensions;
- 2. Add the required traffic lane markings to the parking lot;
- 3. Provide lighting information (cut sheets, photometric plan, etc.) for administrative review to ensure proper shielding and positioning;
- 4. Provide additional landscaping as screening along parking areas and mechanical equipment;
- 5. Add a barrier between the parking-maneuvering lane and the sidewalk along Mack Ave to prevent cars from extending over or encroaching upon the public sidewalk;
- 6. Provide proposed signage details (dimensions, material, etc.)

Respectfully submitted,

McKENNA

Brigitte Wolf

Brigitte Smith Wolf, AICP
Associate Planner

Ashley Amey

Ashley E. Amey
Assistant Planner



Rendering with the proposed changes, prepared by Stucky Vitale

Site Plan Review

1. ZONING AND MASTER PLAN DESIGNATIONS

The following chart provides information on existing land use, current zoning, and future land use.

Location	Existing Land Use	Zoning District	Future Land Use Designation
Subject Site	Dermatology Office	RO-1	Office
North	Dental Office	RO-1	Office
South	Single-Family Residential	R-1D	Office
East	Single-Family Residential	R-1D	Office
West	Dental Office & Dermatologist Office / Grosse Pointe Woods Community Center	C-F / RO-1	Institutional / Office

The 2006 Master Plan Future Land Use Map designates this site and the immediate surrounding areas to the north, south, east, and west Office, described in the text of the Master Plan as, “offices for professional and administrative uses, banks, medical and personal service establishments, etc. The district is the least intensive commercial district. It is also intended to provide a transitional area between residential and commercial zoning districts in areas that are lacking adequate separation” and equating to the City’s RO-1, Restricted Office zoning district which is the zoning category that currently applies to the site. The current use is a dermatology office, which the applicant intends to maintain. Complies.

2. DIMENSIONAL REQUIREMENTS

Standard	Requirement	Existing Conditions	Proposed Conditions	Proposed Compliance
Minimum Front Setback (West)	0'	~16 ft	<u>~16 ft</u>	Complies (Setbacks should be labeled on the site plan)
Minimum Side Setback (North / South)	<i>In RO-1 districts, side yards are not required along interior side lot lines if all walls abutting or facing such lot lines are of fire-proof construction and wholly without windows or other openings...</i> <i>In RO-1 districts, no side yard is required on the street side of corner lots.</i>	~27 ft (North) / ~60 ft (South)	<u>~27 ft (North) / ~36 ft (South)</u>	Complies (Setbacks should be labeled on the site plan)
Minimum Rear Setback (East)	<i>In RO-1 districts, rear yards are not required along interior rear lot lines for buildings or parts of buildings not used as dwellings, if all walls abutting or facing such lot lines are of fire-proof construction and wholly without windows or other openings...</i>	5' 1/8"	5' 1/8"	Complies

	shall be not less than five feet for one story.			
Maximum Building Height	2 stories, 28 feet	1 story, <u>~24 ft</u>	1 story, <u>~20.5 ft</u>	Complies

Findings: While it appears dimensional requirements may be met, the Applicant must clarify the setbacks and height of the building by clearly labeling it within the site plan. This should be updated in future site plan revisions and submissions.

3. ARCHITECTURE AND BUILDING DESIGN (Sec. 50-5.18)

The purpose of these design standards is to promote a coordinated and complimentary use of design elements that result in a theme oriented, harmonious appearance and image for the commercial and high intensity residential areas of the city.

The elevations provided by the Applicant illustrate that the building addition will be primarily composed of dark gray / black brick with a horizontal board siding as an accent. This will be paired with wall wash sconces, a black metal roof trim, and black standing seam roofing. The existing building is composed of white painted brick, which the Applicant intends to maintain.

Per Section 50-5.18 of the Zoning Ordinance, new construction, renovations, remodeling, or exterior building alterations in the RO-1 restricted office district shall be in conformance with approved design standards. While the architectural design and current colors of the existing building conform to these standards, it is currently unclear whether the proposed addition conforms in terms of color and architecture. **To provide the Planning Commission with a clear picture of the proposed addition and how it relates to the existing building, the applicant must provide colored renderings and elevations. In addition, per Section 50-6.1(G)(7) of the Zoning Ordinance, the applicant must bring samples of the material to be used on the building's exterior to the Planning Commission meeting.**

4. PARKING AND LOADING

The current site configuration includes 5 spaces off of Mack Avenue, which can be accessed via a one-way ingress, approximately 24 feet wide, and a one-way egress about 16 feet wide. The applicant intends to modify the existing parking layout so the site has 6 spaces. Four of these spaces will be situated along Mack Avenue, accessed via the existing ingress/egress. The two remaining spaces, including one barrier-free space, are to be located along Faircourt which will be accessed via a new curb cut that is approximately 28 feet wide.

Per Section 50-5.3(H), retail stores require one off-street parking space for each 200 square feet of gross floor area. With the addition of the new building, the total building area will be 1,815 gross square feet (existing building area of 1,370 square feet + new building area of 445 square feet), and therefore **7 parking spaces are required. Should there be substantial evidence to support that 6 spaces can meet the parking demand, an administrative parking waiver could be explored.** The parking spaces being proposed adhere to the required dimensions of 9 feet by 19 feet. A loading space is not required, as the total building area is less than 2,000 square feet.

Additionally, Section 50-5.3(U) states that parking lots shall be provided with traffic lane markings to indicate entrances and exits, and to provide for the safe and orderly movement of vehicles. **These required traffic lane markings are depicted on the plans, however, the Applicant must note that they will be painted onto the existing ingress/egress.**

Parking spaces are required to be a minimum of 9' by 19'. **The parking spaces south of the building should be labeled to ensure the spaces meet the minimum requirements.**

Given that the parking lot and maneuvering lane abuts the sidewalk, the design should meet the requirements of Section 50-5.3 (N). **A barrier should be added for the portion of the parking-maneuvering lane that abuts the public sidewalk to prevent cars from extending over or encroaching upon the public sidewalk. Such barrier shall be not in excess of eight inches in height, nor less than six inches in height and shall be firmly attached or anchored to such parking lot; and such barrier shall be of such type as to prevent vehicles using such parking lot from interfering with or jeopardizing pedestrian traffic on such public sidewalk.**

Additionally, the off-street parking areas is adjacent to a residential property as must comply with the requirements of Section 50-5.3(Q). There must be a setback of at least 10 feet between the parking areas and adjoining residentially zoned parcel. A 2-4 foot ornamental masonry wall or dense shrubbery screen is required. The proposal plans to preserve the dense shrubbery, which blocks the parking spaces with enough space to preserve the clear vision area for cars existing both parcels.

5. SIGNS

Currently, the Applicant has existing wall signage located on the building's western (front) elevation. The applicant proposes to remove the existing wall signage, which will be replaced by a new wall sign. Chapter 32 of the City's Code of Ordinance concerns signage. **To determine compliance with Ordinance standards, the applicant must provide additional information about the wall sign.** The following provisions are relevant to the proposed signage:

1. *Material.* Wall signs shall be constructed of noncombustible material, except that approved combustible materials or approved combustible plastics may be used as provided in this Code, and wood may be used for moldings and purely ornamental features.
The applicant must clarify the wall sign material.
2. *Thickness.* No wall sign shall be more than eight inches thick.
The applicant must clarify the sign thickness.
3. Wall signs upon building fronts containing up to 40 feet of building frontage shall not exceed three feet in height or a maximum of 30 square feet in size. Wall signs upon building fronts containing up to 40 feet of building frontage shall not exceed three feet in height or a maximum of 30 square feet in size. Wall signs upon building fronts containing 41 feet to 60 feet of frontage shall not exceed three feet in height or a maximum of 42 square feet in size.
The applicant must both clarify the length of the front façade of the building and the dimensions of the wall sign.
4. *Lettering.* A list of approved and prohibited lettering styles will be maintained by the building official as approved by the planning commission resolution. Signs shall be comprised of not more than two styles of lettering. There shall be no more than three sizes of lettering per sign.
The applicant must clarify the sign font(s).
5. *Colors.* A maximum of three complimentary, muted colors or shades of colors may be used for a sign. A list of approved colors will be maintained by the building official as approved by the planning commission resolution.
The applicant must clarify the sign color(s).

6. LIGHTING

Exterior lighting shall be designed so that it is shielded from adjacent properties and so that it does not impede the vision of traffic along adjacent streets.

The applicant has proposed two wall wash sconces on the south elevation of the new addition. **The applicant must provide additional lighting information such as cut sheets, wattage, existing lighting, and/or a photometric plan to determine compliance with Zoning Ordinance standards.**

6. LANDSCAPING

The site design shall provide reasonable visual and sound privacy for dwelling units located within the project and adjacent to the project. Fences, walks, barriers and landscaping shall be used, as appropriate, for the protection and enhancement of property and the privacy of its occupants.

With the introduction of additional parking spaces on site, the Applicant must ensure that nearby properties are not affected by potential nuisances such as headlight glare. **We recommend landscaping be introduced to the site wherever possible, especially along the west side of the parking spaces along Faircourt St that can be viewed from the public right of way. Appropriate landscaping options would include large evergreen shrubs or trees. In addition, all mechanical equipment (A/C units, transformers, generators, meters, etc.) must be screened by evergreen landscaping.**

EASTSIDE DERMATOLOGY

20030 MACK AVE.
GROSSE POINTE WOODS

ARCHITECT

STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

PROJECT INFORMATION

PROJECT DESCRIPTION

SMALL 4 EXAM ROOM ADDITION AND INTERIOR RENOVATION OF EXISTING DERMATOLOGY OFFICE.

EXISTING BUILDING: 1,370 SF
NEW ADDITION: 445 SF

EXISTING GARAGE TO BE DEMOLISHED TO ADD ADDITIONAL PARKING TO THE SITE. DRIVEWAY ENTRANCE/EXIT ONTO MACK AVE. TO REAMIN. NEW CURB CUT AND PARKING SPACES TO BE ADDED TO NORTH SIDE OF LOT. ONE SPACE TO BE ADA ACCESSABLE PARKING SPACE. SITE WORK TO INCLUDE NEW PLANTERS AND LANDSCAPING.

APPLICABLE CODES

2015 MICHIGAN BUILDING CODE (MBC)
2015 MICHIGAN MECHANICAL CODE (MMC)
2018 MICHIGAN PLUMBING CODE (MPC)
2015 MICHIGAN ENERGY CODE (MEC)
2013 ANSI/ASHRAE/IES 90.1
2017 NATIONAL ELECTRICAL CODE (NEC)
2015 NFPA 101 LIFE SAFETY CODE

BARRIER FREE REQUIREMENTS:

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ)
MBC-2015, CHAPTER 11
ICC / ANSI 117.1 - 2009, EXCEPT SECTION 611 & 707

ZONING INFORMATION:

ZONED RO-1 (UNCHANGED)
MAX LOT COVERAGE: 40% REQUIRED
MAX HEIGHT: 28FT
MAX STORIES: 2

SHEET DESIGNATION

DRAWINGS ARE NUMBERED ACCORDING TO THE FOLLOWING CONVENTIONS:

A001

DRAWING SEQUENCE NUMBER

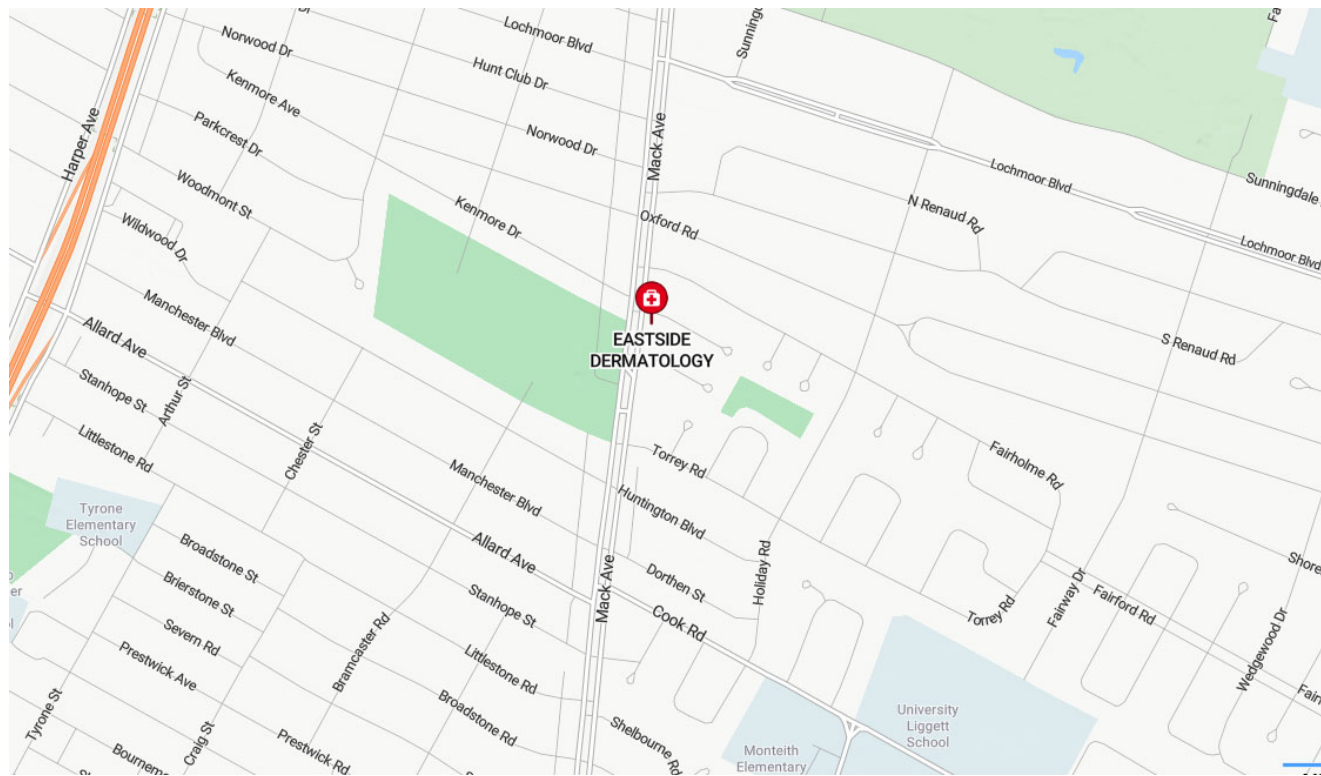
DISCIPLINE
DESIGNATOR

G GENERAL
AD ARCHITECTURAL
DEMOLITION
A ARCHITECTURAL

DRAWING TYPE DESIGNATOR

0 GENERAL, LEGENDS
1 PLANS
3 EXTERIOR ELEVATIONS

SITE LOCATION MAP



SHEET INDEX - GENERAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
G001	COVER SHEET, GENERAL INFORMATION, DRAWING INDEX	SITE PLAN REVIEW	01.26.24
DRAWINGS: 1			

SHEET INDEX - ARCHITECTURAL DEMOLITION			
DWG #	DRAWING NAME	ISSUED FOR	DATE
AD100	DEMO PLANS - SITE & FLOOR PLAN	SITE PLAN REVIEW	01.26.24
DRAWINGS: 1			

SHEET INDEX - ARCHITECTURAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
A001	ARCHITECTURAL SITE PLAN	SITE PLAN REVIEW	01.26.24
A010	FLOOR PLANS	SITE PLAN REVIEW	01.26.24
A011	ROOF PLAN	SITE PLAN REVIEW	01.26.24
A301	EXTERIOR ELEVATIONS N/S	SITE PLAN REVIEW	01.26.24
A302	EXTERIOR ELEVATIONS E/W	SITE PLAN REVIEW	01.26.24
A311	EXTERIOR 3D VIEWS	SITE PLAN REVIEW	01.26.24
DRAWINGS: 6			

NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES. ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.



STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
P. 248.546.6700
F. 248.546.8454
WWW.STUCKYVITALE.COM

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Consultants

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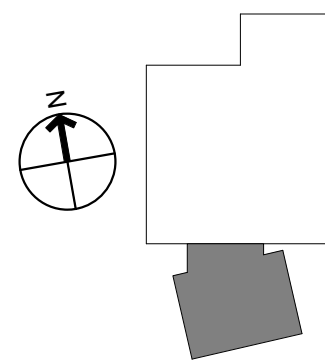


Project :

EASTSIDE
DERMATOLOGY

20030 MACK AVE.
GROSSE POINTE
WOODS

Key Plan:



Issued for

SITE PLAN REVIEW 01.26.24

Drawn by :

DCM

Checked by :

JAV

Sheet Title :

COVER SHEET, GENERAL
INFORMATION, DRAWING
INDEX

Project No. :

2021.169

Sheet No. :

G001



STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
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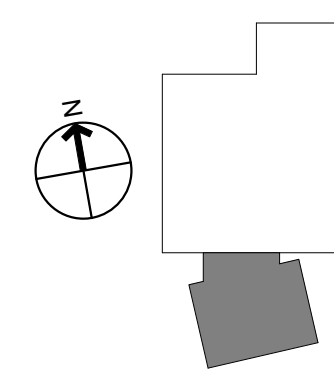


Project :

EASTSIDE
DERMATOLOGY

20030 MACK AVE.
GROSSE POINTE
WOODS

Key Plan:



Issued for

SITE PLAN REVIEW 01.26.24

Drawn by :

Author

Checked by :

Checker

Sheet Title :

ARCHITECTURAL SITE PLAN

Project No. :

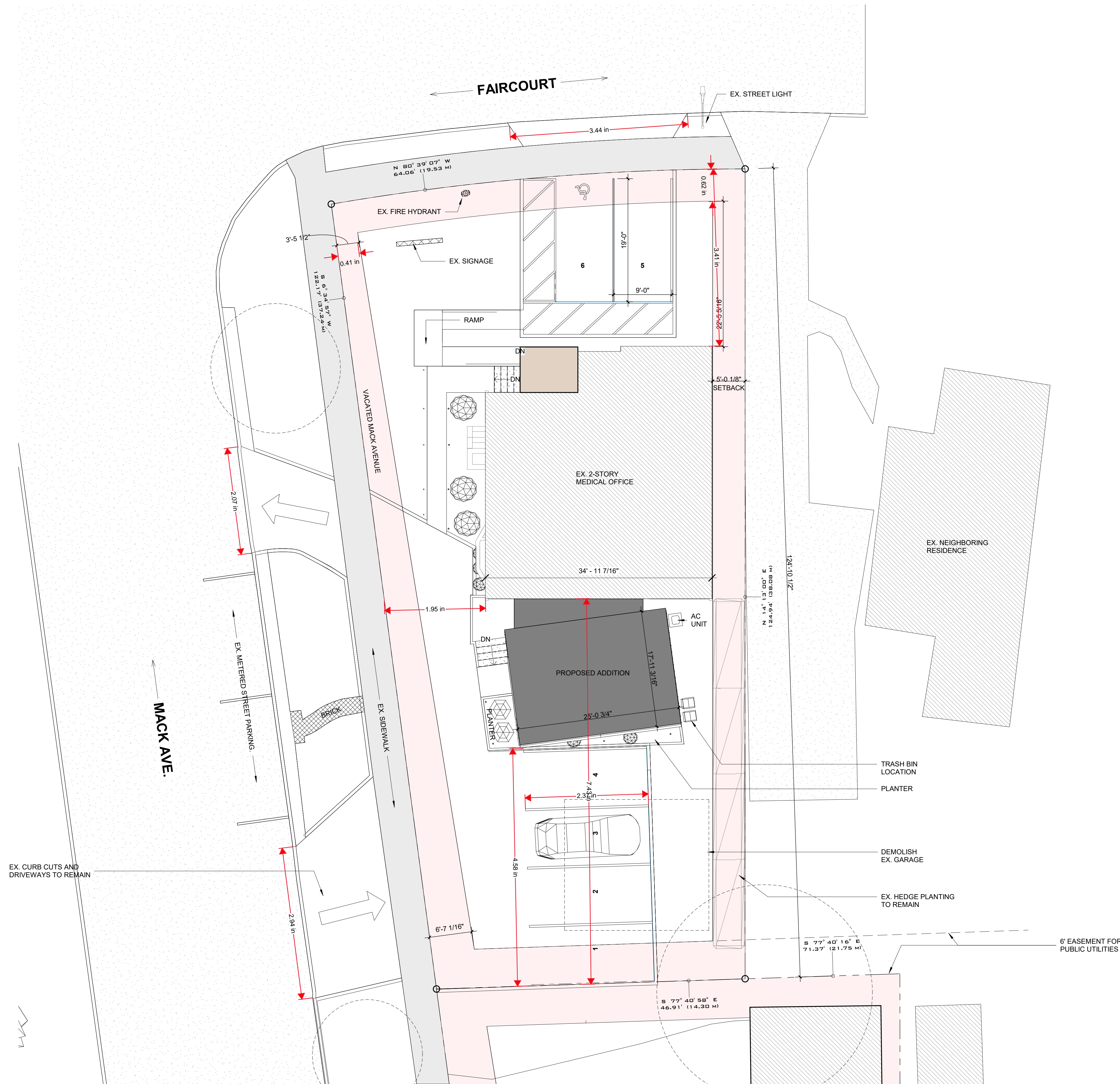
2021.169

Sheet No. :

A001

GENERAL FLOOR PLAN NOTES: (TYPICAL THIS SHEET ONLY)

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
- PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
- PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS: FLOOR, WALL, AND CEILING SURFACES AS REQUIRED ADJACENT TO AREAS BEING DEMOLISHED. REFER TO DEMOLITION DRAWINGS FOR MORE INFORMATION.
- REINFORCE WALL AND PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS AND COUNTERTOPS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES, COAT RACKS, CHART RACKS, CASEWORK, AND OTHER WALL MOUNTED ITEMS.
- CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
- ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
- COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS; IE. CAMERAS, TV'S, SPEAKERS, SENSORS, SECURITY WIRING, VAULTS, ATM'S.
- CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
- CONTRACTOR TO FILL ANY AND ALL EQUIPMENT PENETRATIONS OR DEPRESSIONS INTO OR THROUGH THE EXISTING SLAB THAT WILL NOT BE UTILIZED TO FEED NEW EQUIPMENT (I.E. ABANDONED FLOOR CORES, IMPRESSION FROM PREVIOUS EQUIPMENT FLOOR PLATE REMOVAL). PENETRATIONS SHALL BE FILLED WITH NON-SHRINK GROUT. THE SIDES OF ANY EXISTING OPENINGS SHALL BE MODIFIED/TAPERED SO THAT THEY ARE WIDER AT THE TOP THAN AT THE BOTTOM. FOR LARGE OPENINGS, PROVIDE ONE (1) #5 BAR 2" UP FROM BOTTOM OF HOLE.
- A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN 'AREA OF REFUGE', AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.
- PROVIDE PERMANENT MIN 3-INCH HIGH CONTRASTING COLOR MARKING AND IDENTIFICATION AT ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS WITHIN 15 FEET AT THE END OF EACH WALL, AND NOT EXCEEDING 30 FEET MAXIMUM HORIZONTAL INTERVALS, MINIMUM 2 LOCATIONS EACH WALL. TYPICAL FOR ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACES PER CODE (MBC 703.7)



SITEPLAN OVERVIEW -
PROPOSED

1
A001
1/8" = 1'-0"



STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
P. 248.546.6700
F. 248.546.8454
WWW.STUCKYVITALE.COM

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Consultants

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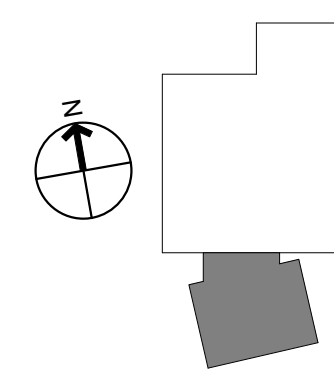


Project:

EASTSIDE
DERMATOLOGY

20030 MACK AVE.
GROSSE POINTE
WOODS

Key Plan:



Issued for

SITE PLAN REVIEW 01.26.24

Drawn by :
DCM

Checked by :
JV

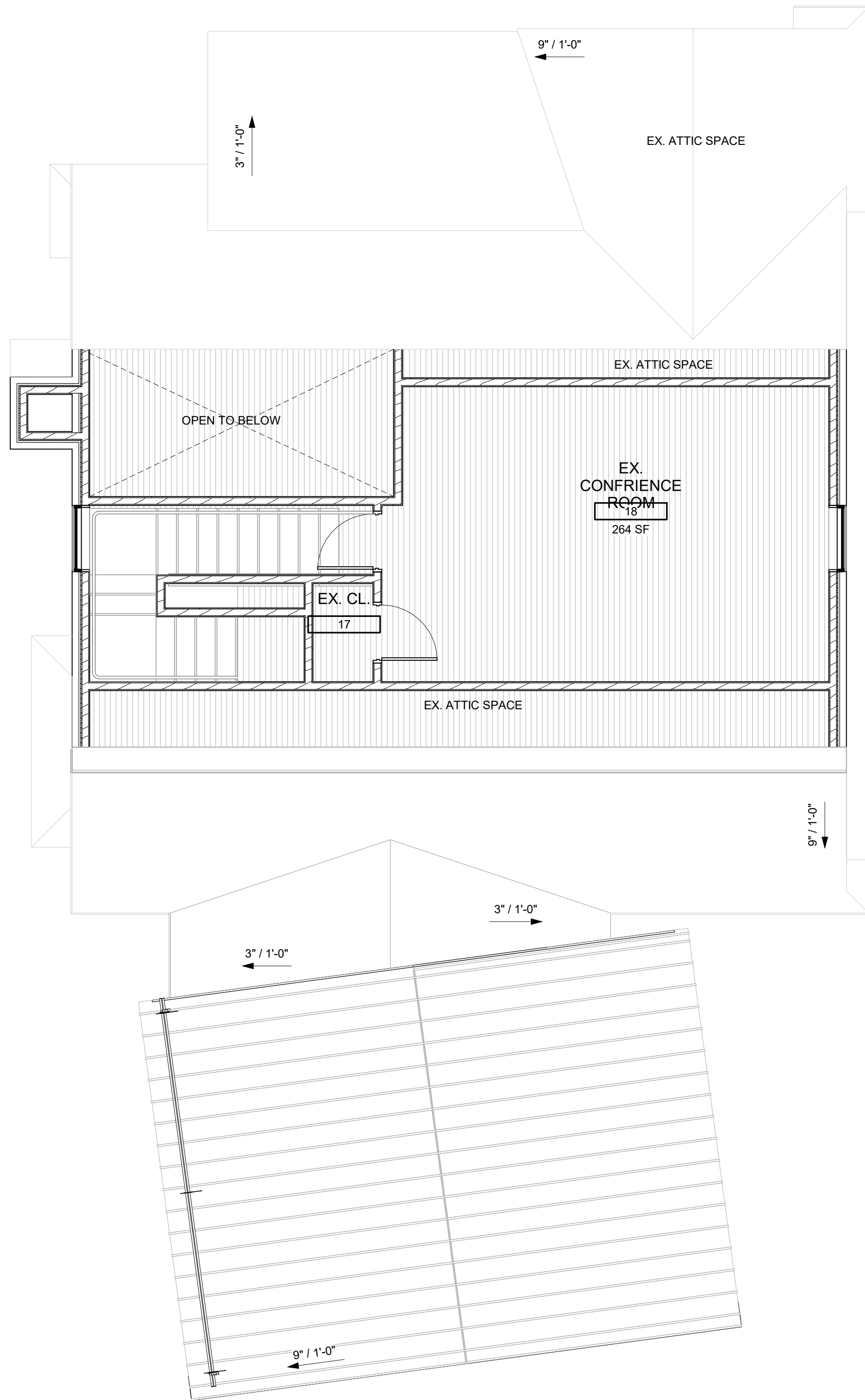
Sheet Title :
FLOOR PLANS

Project No. :
2021.169

Sheet No. :

A010

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2
A010
SECOND FLOOR
1/4" = 1'-0"



1
A010
FIRST FLOOR
1/4" = 1'-0"

ROOM SCHEDULE			
Number	Name	Level	Area
1	EXAM 1	FIRST FLOOR	72 SF
2	EXAM 2	FIRST FLOOR	72 SF
3	EXAM 3	FIRST FLOOR	76 SF
4	EX. STAIRWELL	FIRST FLOOR	74 SF
5	WAITING ROOM	FIRST FLOOR	157 SF
6	VESTIBULE	FIRST FLOOR	66 SF
7	EX. REST ROOM	FIRST FLOOR	48 SF
8	EX. EXAM 4	FIRST FLOOR	123 SF
9	RECEPTION	FIRST FLOOR	92 SF
10	EX. EXAM 5	FIRST FLOOR	82 SF
11	EX. EXAM 6	FIRST FLOOR	98 SF
12	HALLWAY 1	FIRST FLOOR	220 SF
13	NURSE'S STATION	FIRST FLOOR	57 SF
14	EXAM 7	FIRST FLOOR	87 SF
15	HALLWAY 2	FIRST FLOOR	140 SF
16	EXAM 8	FIRST FLOOR	72 SF
17	EX. CL.	SECOND FLOOR	12 SF
18	EX. CONFRIENCE ROOM	SECOND FLOOR	264 SF
			1811 SF



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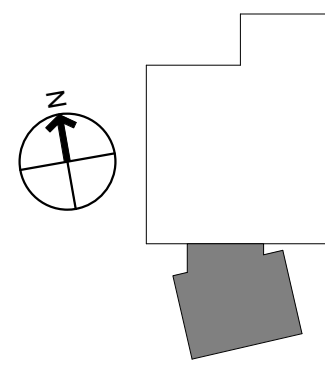


Project :

EASTSIDE
DERMATOLOGY

20030 MACK AVE.
GROSSE POINTE
WOODS

Key Plan:



Issued for

SITE PLAN REVIEW 01.26.24

Drawn by :

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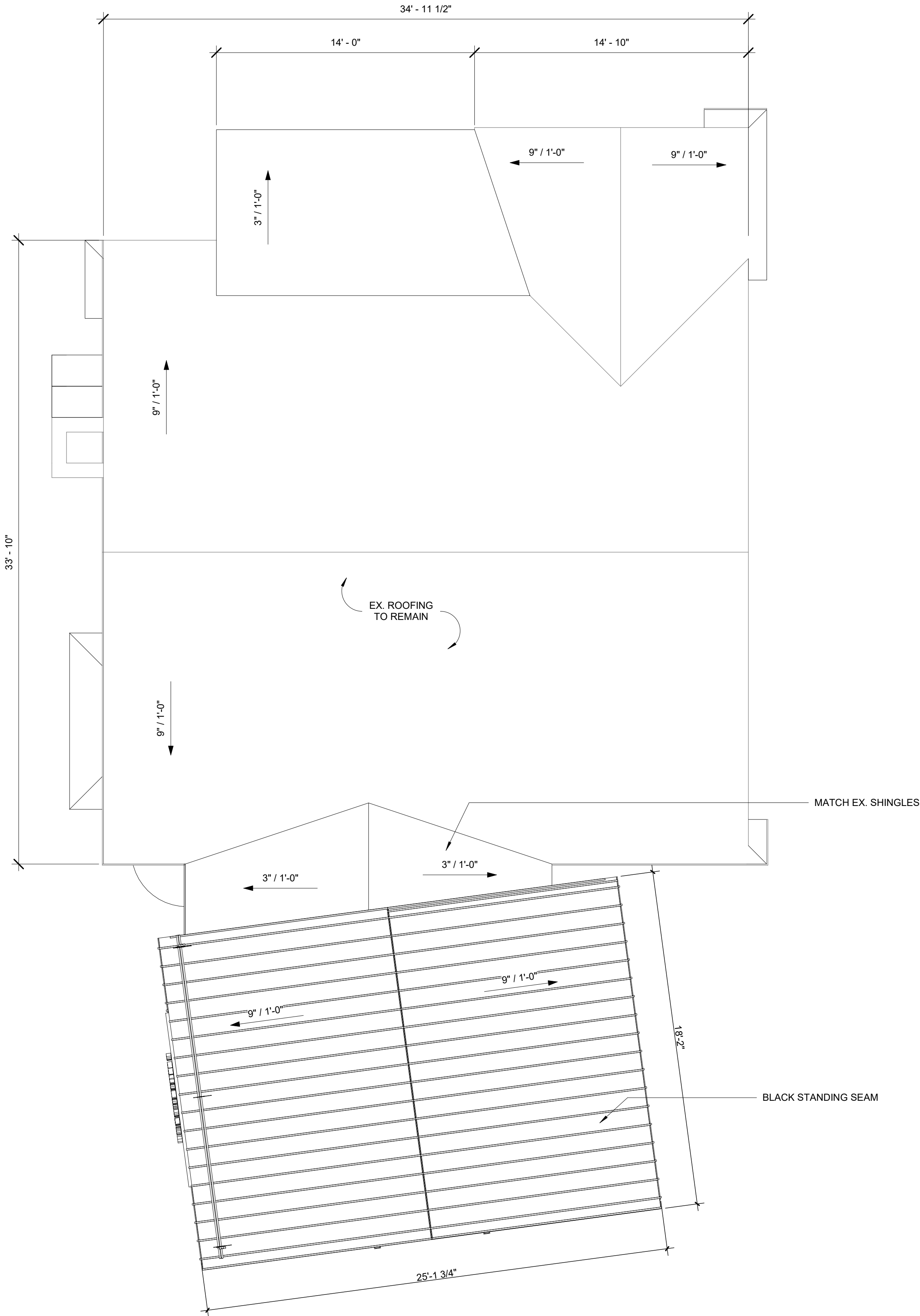
ROOF PLAN

Project No. :

2021.169

Sheet No. :

A011



1 ROOF PLAN
A011 1/4" = 1'-0"

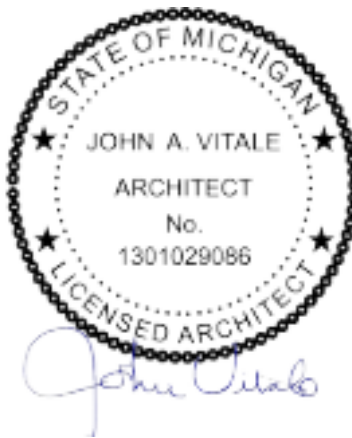


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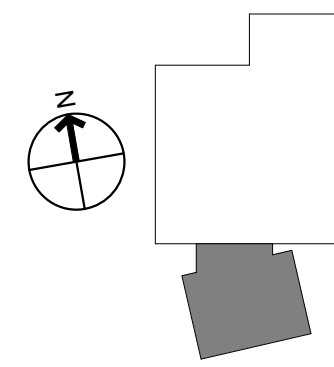


Project :

EASTSIDE
DERMATOLOGY

20030 MACK AVE.
GROSSE POINTE
WOODS

Key Plan:



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Author

Checked by :

Checker

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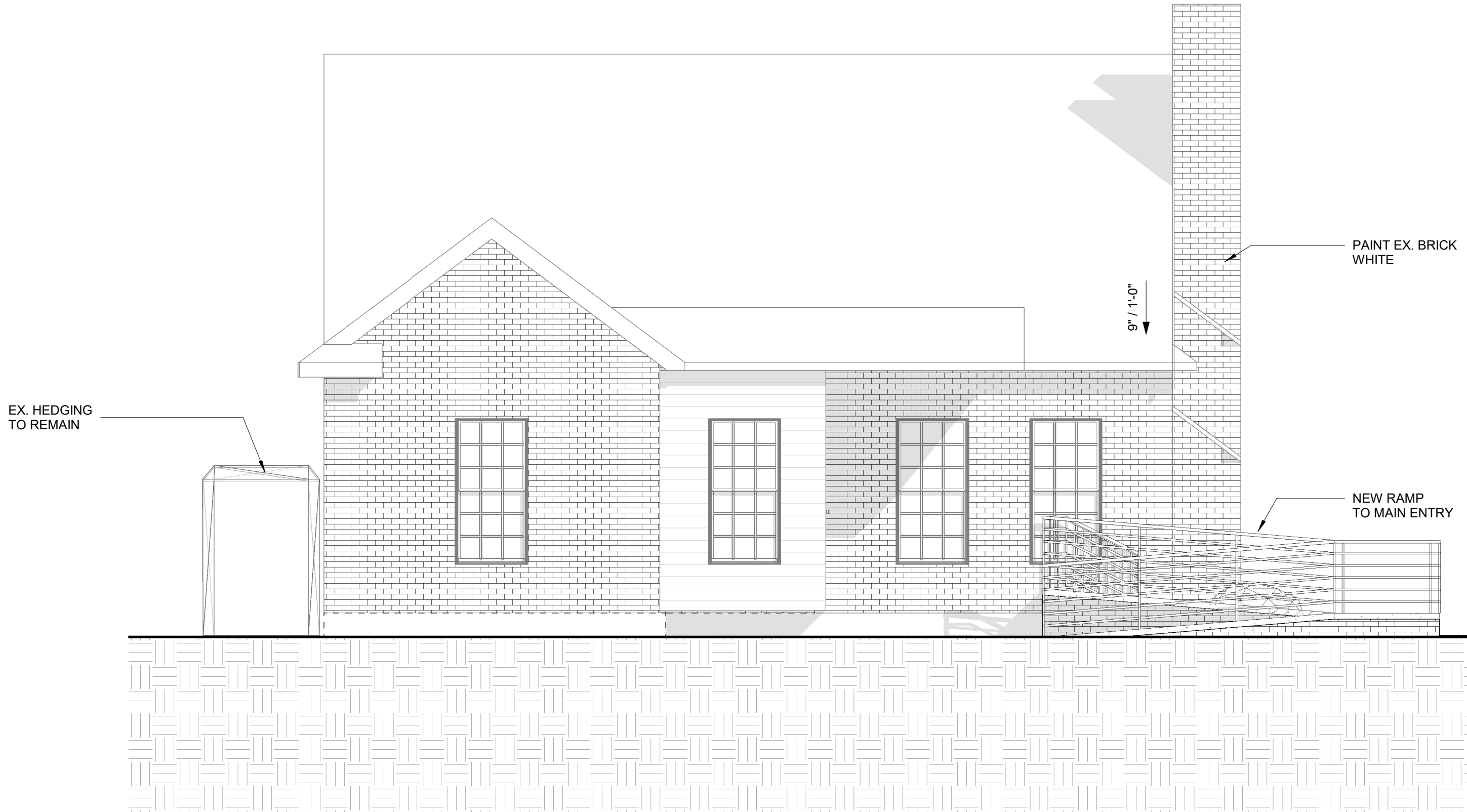
EXTERIOR ELEVATIONS N/S

Project No. :

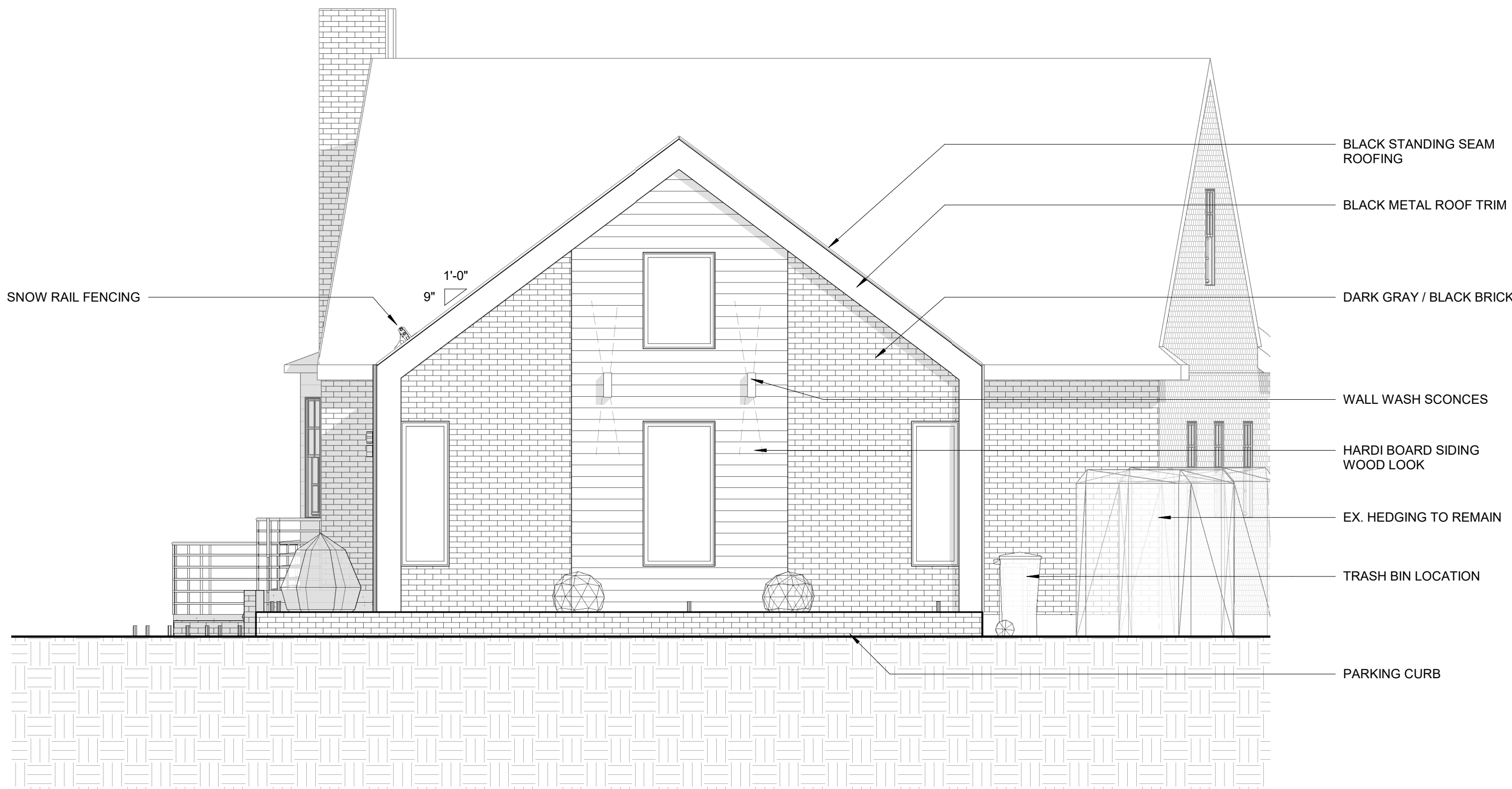
2021.169

Sheet No. :

A301



1 NORTH ELEVATION
A301 1/4" = 1'-0"



2 SOUTH ELEVATION
A301 1/4" = 1'-0"



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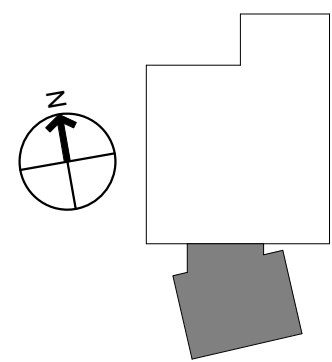


Project :

EASTSIDE
DERMATOLOGY

20030 MACK AVE.
GROSSE POINTE
WOODS

Key Plan:



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Checked by :

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EXTERIOR ELEVATIONS E/W

Project No. :

2021.169

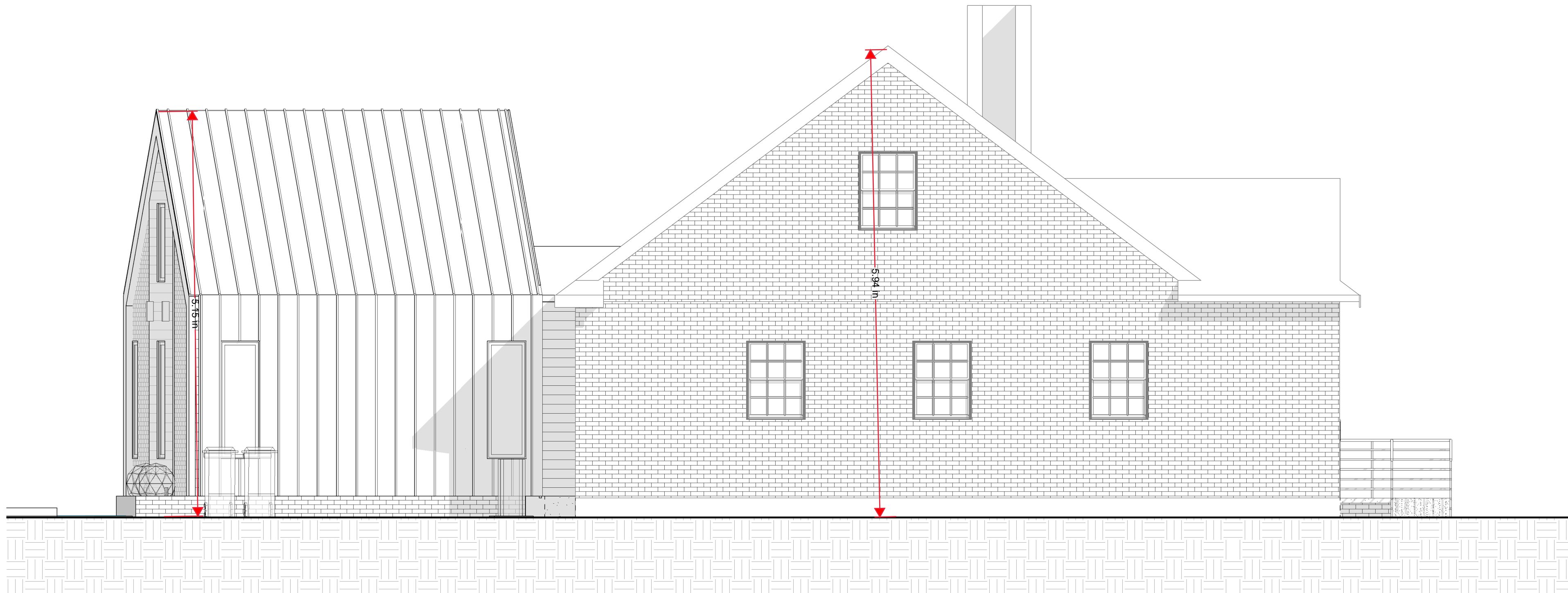
Sheet No. :

A302

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1 WEST ELEVATION
A302 1/4" = 1'-0"



2 EAST ELEVATION
A302 1/4" = 1'-0"



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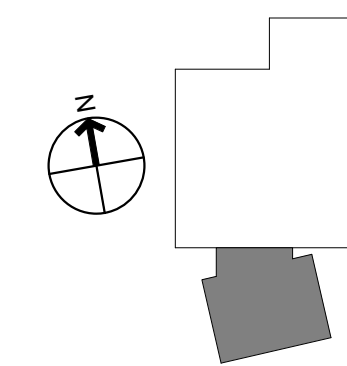


Project :

EASTSIDE
DERMATOLOGY

20030 MACK AVE.
GROSSE POINTE
WOODS

Key Plan:



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Sheet Title :

EXTERIOR 3D VIEWS

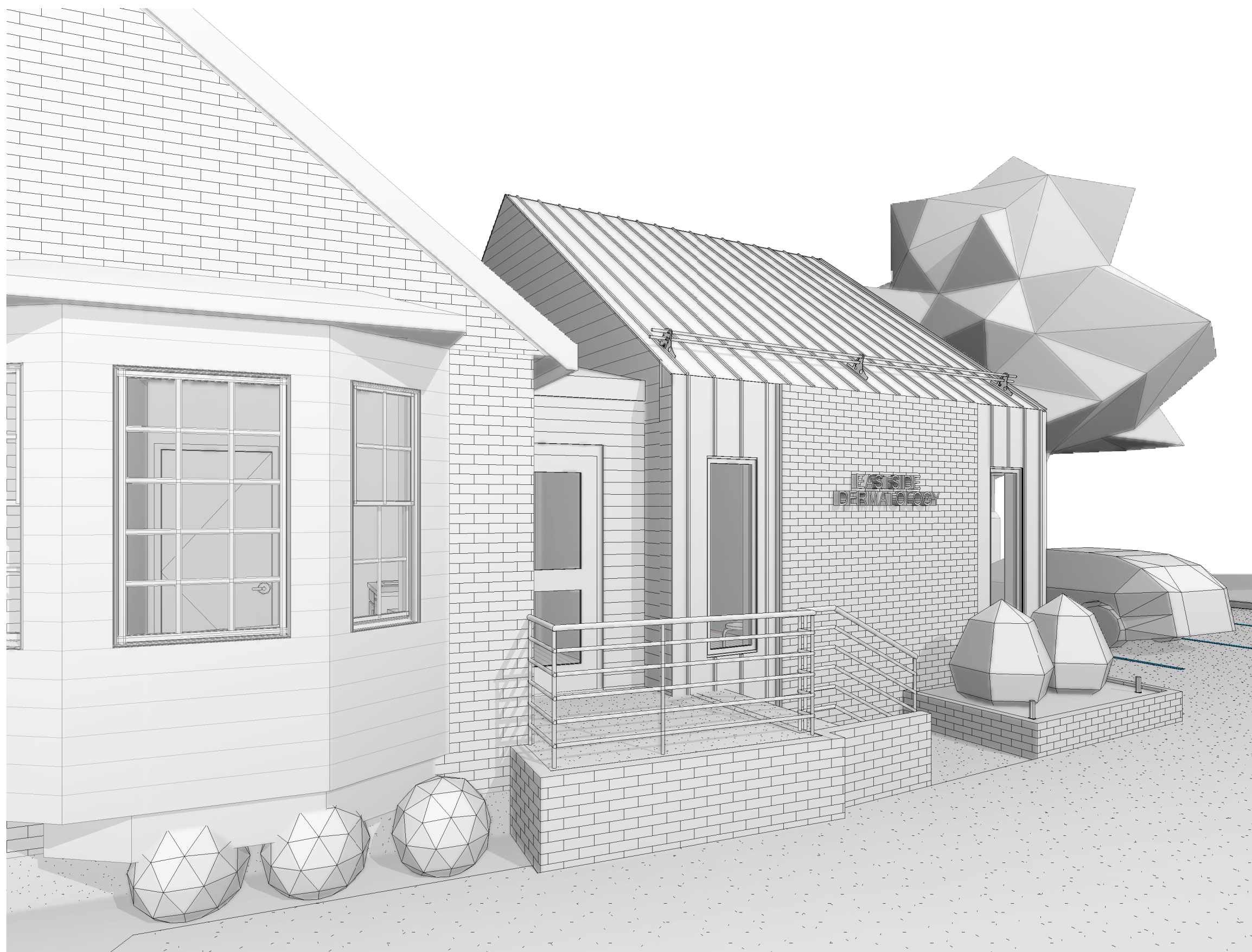
Project No. :

2021.169

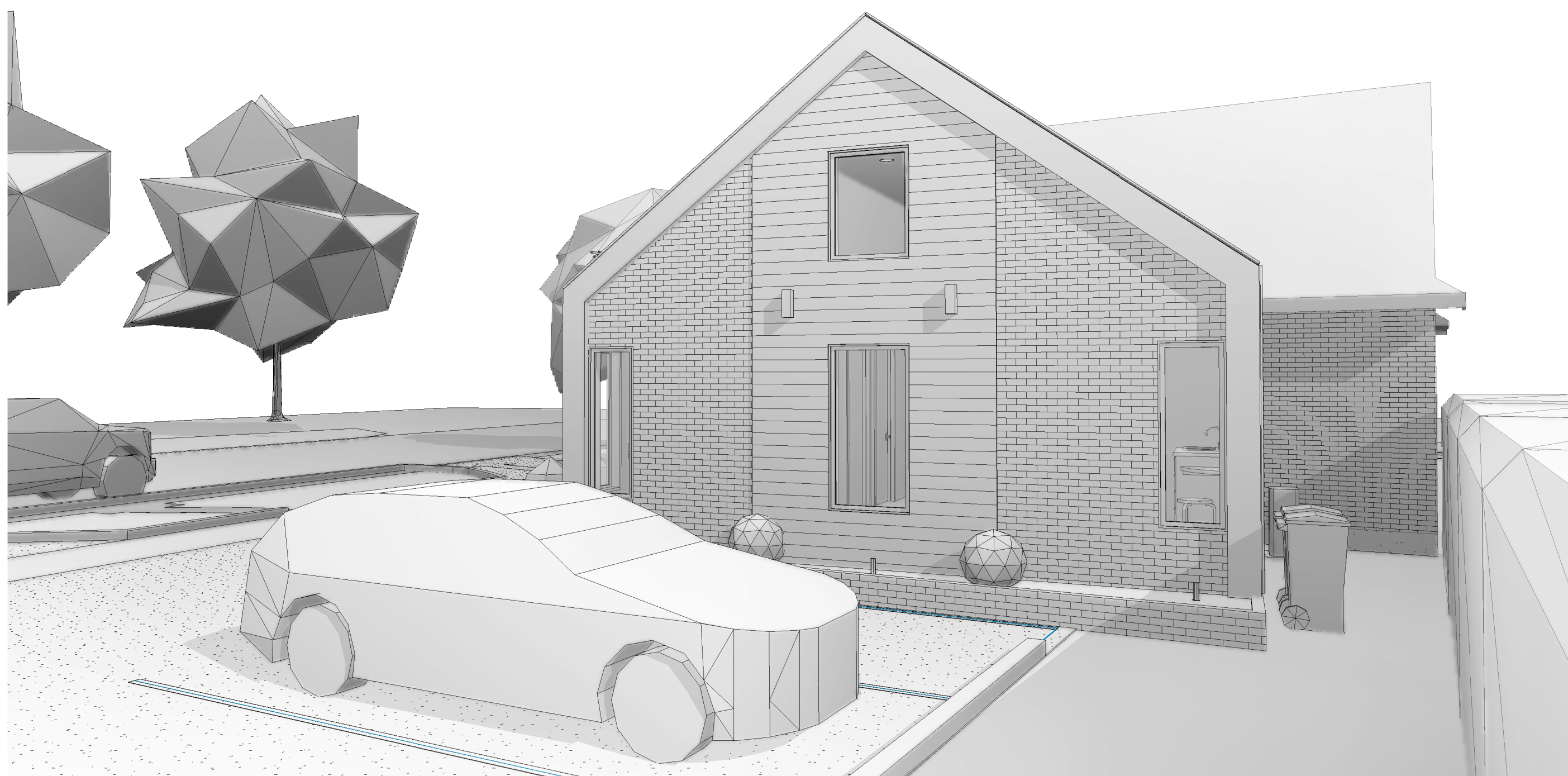
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A311

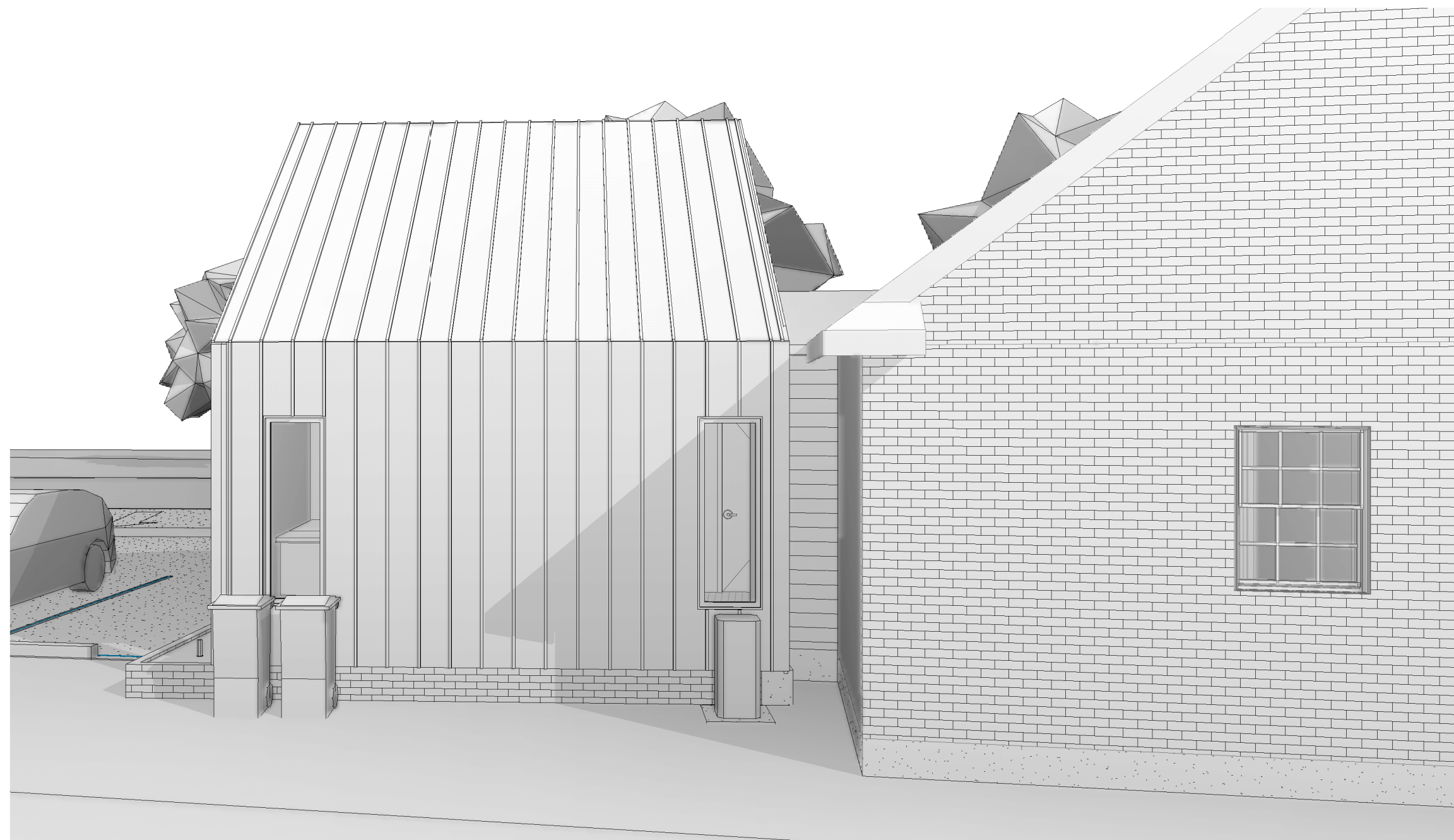
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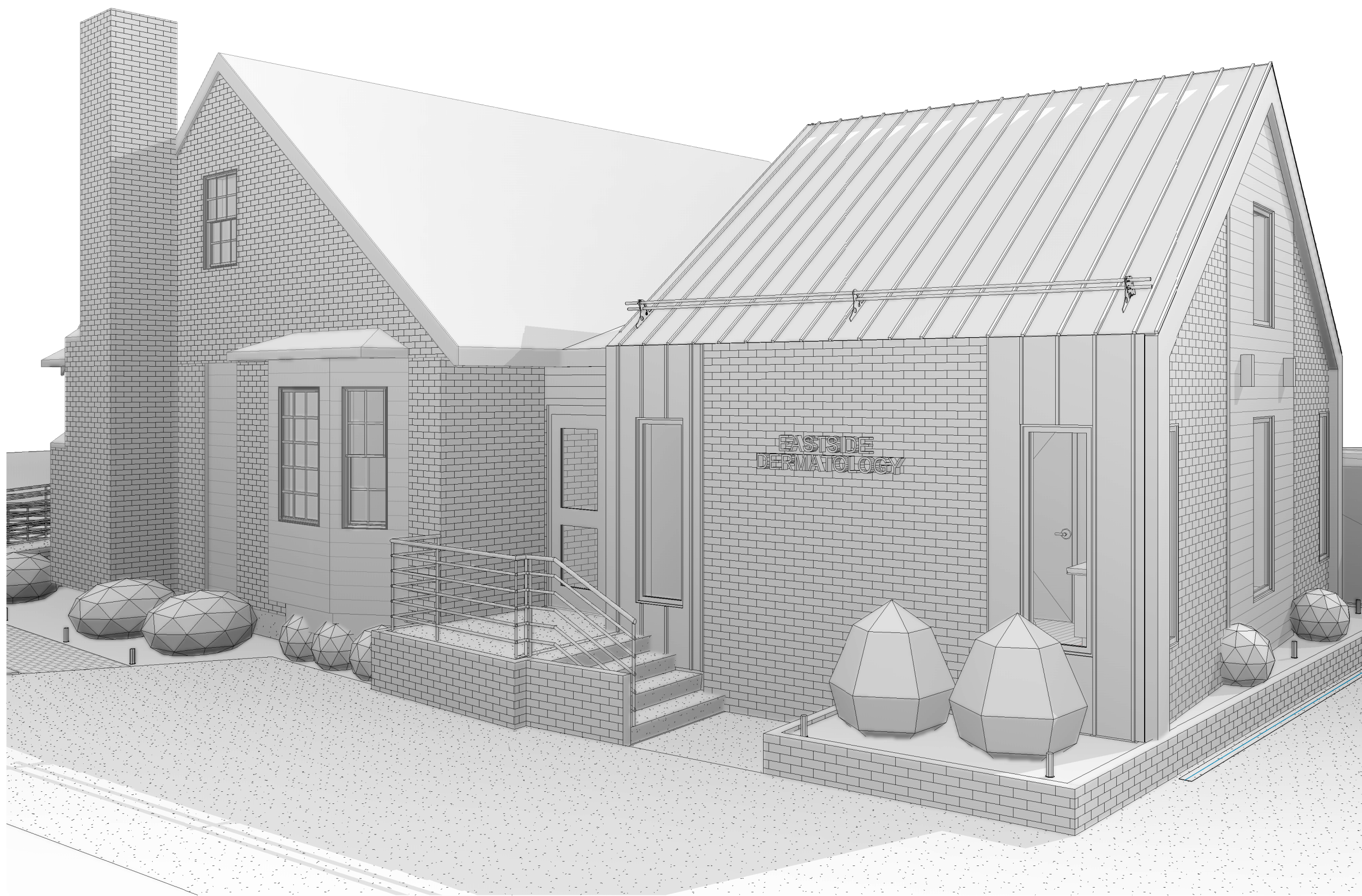
4
A311 3D View 4



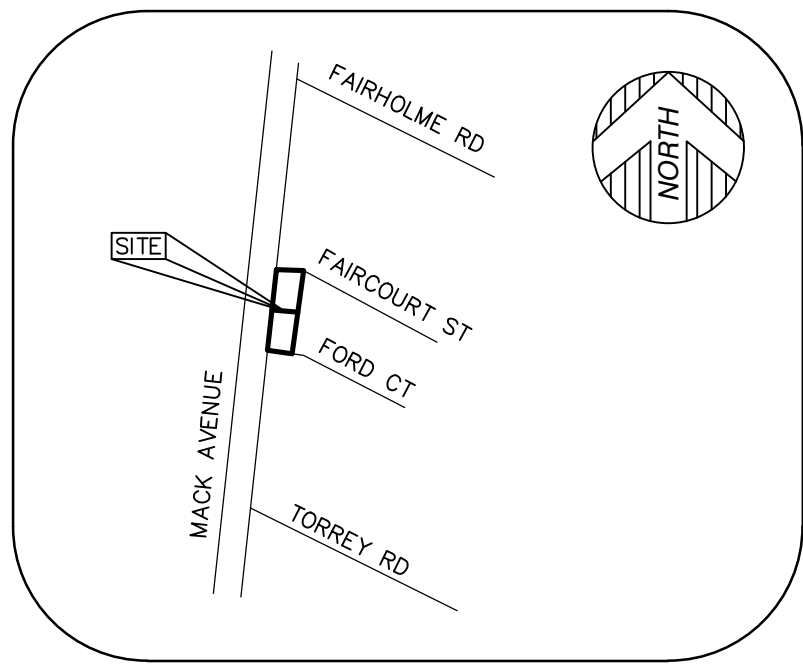
3
A311 3D View 3



2
A311 3D View 2



1
A311 3D View 1



VICINITY MAP
(NOT TO SCALE)

PARKING

STANDARD PARKING = 6 STALLS

PARCEL AREA

PARCEL A:
6,938± SQUARE FEET = 0.16± ACRES

PARCEL B:
7,656± SQUARE FEET = 0.18± ACRES

BASIS OF BEARING

NORTH 02°58'05" EAST, BEING THE EASTERLY LINE OF
MACK AVENUE, AS PLATTED

BENCHMARK

SITE BENCHMARK #1
ARROW ON HYDRANT SOUTH OF HOUSE #1670.
ELEVATION = 586.77' (NAVD 88)

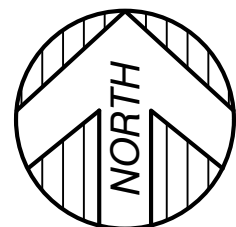
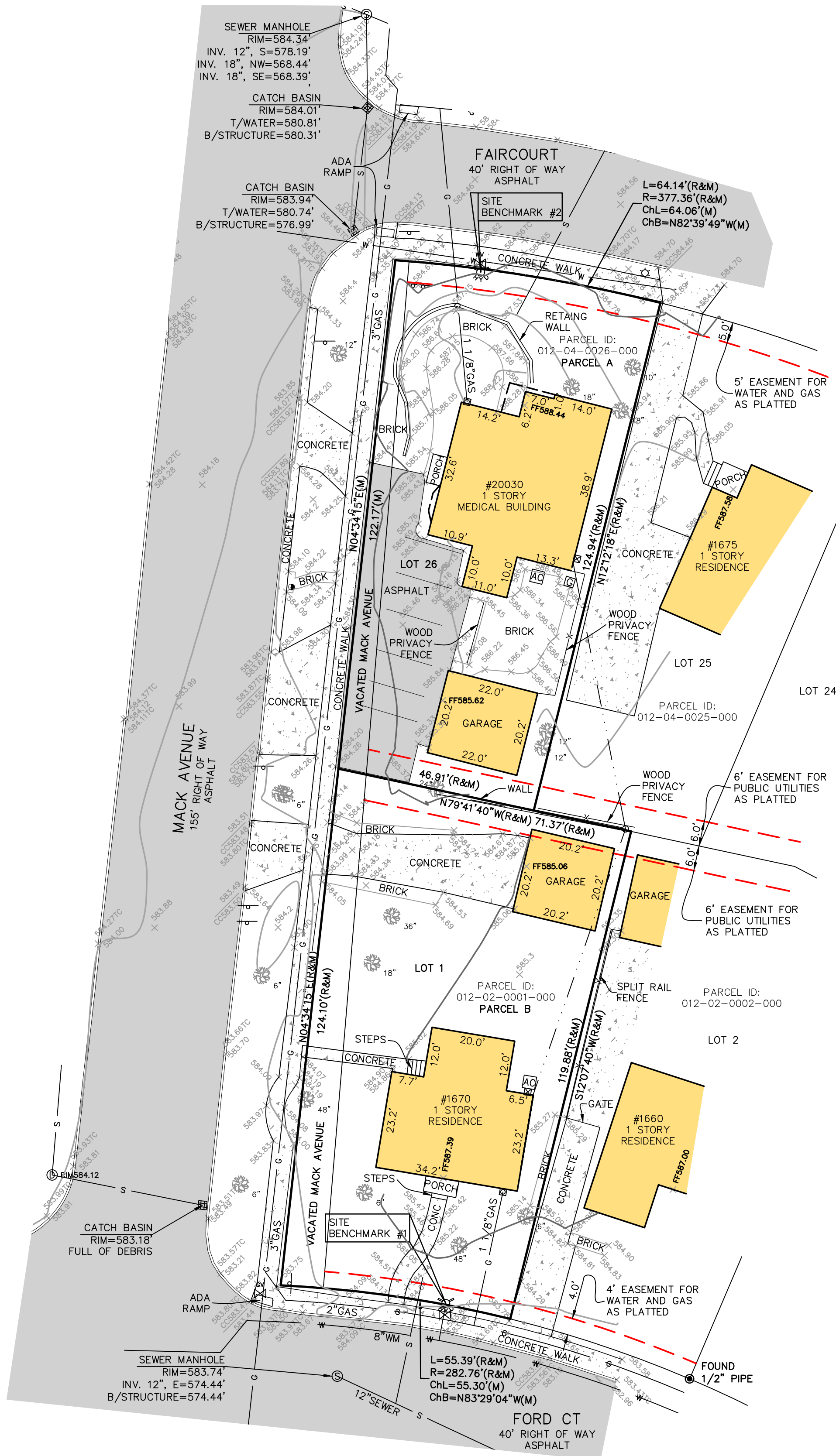
SITE BENCHMARK #2
ARROW ON HYDRANT NORTH OF BLDG #20030.
ELEVATION = 587.55' (NAVD 88)

SURVEYOR'S NOTE

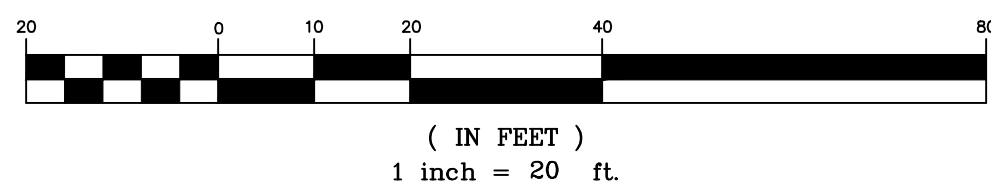
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY
INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES
THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN
THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES
NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT
LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED
AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR
HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE
STRUCTURE INVENTORY SHOWN HEREON.

LEGEND

●	SET 1/2" REBAR WITH CAP P.S. 47976
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
X 0.00	GROUND ELEVATION
⊠	ELECTRIC METER
⊠	TRANSFORMER
⊠	GENERATOR
○	UTILITY POLE
⊠	GAS METER
⊠	GAS VALVE
⊠	SEWER MANHOLE
⊠	SQUARE CATCH BASIN
⊠	FIRE HYDRANT
⊠	WATER GATE MANHOLE
⊠	WATER VALVE
☆	LIGHTPOST/LAMP POST
⊠	PARKING METER
⊠	SINGLE POST SIGN
⊠	DOUBLE POST SIGN
⊠	DECIDUOUS TREE (AS NOTED)
---	PARCEL BOUNDARY LINE
- - -	PLATTED LOT LINE
- - -	EASEMENT (AS NOTED)
----	BUILDING
----	BUILDING OVERHANG
----	CONCRETE CURB
----	PARKING
----	EDGE OF CONCRETE (CONC.)
----	EDGE OF ASPHALT (ASPH.)
----	EDGE OF BRICK
X	FENCE (AS NOTED)
----	WALL (AS NOTED)
----	OVERHEAD UTILITY LINE
o	GAS LINE
s	SEWER LINE
w	WATER LINE
----	MINOR CONTOUR LINE
----	MAJOR CONTOUR LINE
----	BUILDING AREA
----	ASPHALT
----	CONCRETE



GRAPHIC SCALE



PROPERTY DESCRIPTION

THE LAND SITUATED IN THE CITY OF GROSSE POINTE WOODS, COUNTY OF
WAYNE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

PARCEL A:
WDRR26 LOT 26 ALSO THE ADJ VAC STRIP OF MACK AVE SAID STRIP
MEASURES 3.30 FEET ALONG THE NORTHERLY LINE AS EXT AND 6.74 FEET
ALONG THE SOUTHERLY LINE AS EXT FAIRHOLME PRIVATE CLAIMS 393 LIBER 68
PAGE 9 WAYNE COUNTY RECORDS

PARCEL B:
WDRR26 LOT 1 ALSO THE ADJ VAC STRIP OF MACK AVE SAID STRIP MEASURES
6.74 FEET ALONG THE NORTHERLY LINE AS EXT AND 10.19 FEET ALONG THE
SOUTHERLY LINE OF SAID LOT AS EXT TORREY WOODS SUB PRIVATE CLAIMS
393 621 LIBER 67 PAGE 39 WAYNE COUNTY RECORDS

TITLE REPORT NOTE

A CURRENT TITLE POLICY HAS NOT BEEN FURNISHED AT TIME OF SURVEY,
THEREFORE EASEMENTS AND/OR ENCUMBRANCES AFFECTING SUBJECT PARCEL
MAY NOT BE SHOWN.

SURVEYOR'S CERTIFICATION

TO STUCKY-VITALE ARCHITECTS:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT
IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD
DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY
ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4,
7A, 8, AND 9 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON
05/08/23.

DATE OF PLAT OR MAP: 05/16/23

DRAFT

ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
TSycko@kemttec-survey.com

DATE	BY	REVISION	DESCRIPTION
05/16/23	JO		
05/16/23	ATS		
MAY 16, 2023			
23-00936			
SCALE	1" = 20'		



**CITY OF GROSSE POINTE WOODS
DEPARTMENT OF PUBLIC SAFETY**

Date: February 16, 2024

To: Building Department

From: John G. Kosanke, Public Safety Director

Subject: *John G. Kosanke*
20030 Eastside Dermatology

I have reviewed the plans for an addition at 20030 Mack Ave. I do not see any issues with the addition that would impact public safety.

CITY OF GROSSE POINTE WOODS NOTICE OF PUBLIC HEARING

Notice is hereby given that the Grosse Pointe Woods Planning Commission, under the provisions of Public Act 110 of 2006, MCL 125.3101 as amended, and Grosse Pointe Woods City Code of 2022 Chapter 50, Article 7, Section 50-7.15, will hold a Public Hearing on Tuesday, February 20, at 7:00 p.m., at City Hall (located at 20025 Mack Plaza Drive, Grosse Pointe Woods, MI 48236) for the purposes of considering amendments to the permitted uses and additional use standards of the Zoning Ordinance. The amendments consider year-around outdoor cafes, rooftop dining, home-based business, and mixed occupancy for properties along Mack Avenue.

All interested persons are invited to attend and will be given opportunity for public comment. The public may appear in person or be represented by counsel. Written comments will be received in the City Clerk's Office, up to close of business preceding the hearing. Individuals with disabilities requiring auxiliary aids or services at the meeting should contact the Grosse Pointe Woods Clerk's Office at 313-343-2440 seven days prior to the meeting. The agenda and pertinent documents will be available at www.gpwmi.us.

For additional project information, contact the Building and Planning Department at 313-343-2426 or e-mail building@gpwmi.us.

Paul Antolin
City Clerk

Memorandum on Proposed Uses to Permit

TO: Grosse Pointe Woods Planning Commission
FROM: Brigitte Wolf, AICP
SUBJECT: **Updating Permitted Uses, Zoning Ordinance Amendments**
DATE: February 20, 2023

The following pages include the proposed amendments to the Use Table and additional use standards in the Zoning Ordinance to allow for the following expanded uses with the conditions listed in the following pages:

1. Home Occupations,
2. Mixed Occupancy along Mack Avenue;
3. Year-around Outdoor Cafés/Dining in the public right-of-way;
4. Rooftop Open / Semi-Open Dining.

50-4.1 Marihuana establishments

Pursuant to section 6.1 of the Michigan Regulation and Taxation of Marihuana Act (the Act), the city elects to completely prohibit all marijuana establishments as defined by the Act, in all zoning districts in the city.

50-4.2 Mixed occupancy

In the R-1 (A through E), R-2, R-4, C.F., C-2 and C districts, in lots abutting Mack Avenue, a mixed occupancy shall be permitted to allow for complementary accessory uses, provided that parking requirements for such mixed occupancy shall comply with Section 50-5.3 Off- street parking requirements.

Uses permitted in the C Commercial district can be permitted as accessory uses in the C-2 or C.F. District along Mack Avenue, so long as the principal use is permitted in the zoning district and the accessory use does not exceed up to 25% of the usable floor area of the building.

Applicants of properties in the C.F. district, or of current tax exempt statuses, should first check with the City Assessor to understand how the proposed accessory use would affect their city taxes.

50-4.3 enclosed storage of boats, recreational vehicles, trailers

In the R-1 (A through E), R-2, R-4, C.F., and C districts, storage of boats, boat trailers, recreational vehicles, mobile homes, campers, travel trailers, house trailers, and noncommercial utility trailers are only permitted if such vehicles or equipment are unoccupied and parked in a fully enclosed garage and comply with [section 50-5.1 Accessory buildings](#). Overnight parking, other than in a fully enclosed garage, of unoccupied boats, boat trailers, recreational vehicles, mobile homes, campers, travel trailers, house trailers, and noncommercial utility trailers are permitted for temporary periods not to exceed 72 hours, provided notification is provided to the public safety department as follows:

- A. The vehicle owner or representative of the vehicles or equipment must apply for and receive a temporary permit from the public safety department by telephone or in person, so that the public safety department has notice of when the 72-hour period begins.
- B. No more than three temporary permits are allowed per vehicle owner per calendar year.
- C. In addition to the three temporary permits allowed for all vehicle owners, owners of recreational vehicles, mobile homes, campers, travel trailers, and house trailers are permitted to load and unload their vehicles or trailers for periods not to exceed 24 hours ("24-hour provisioning period") provided that at least 48 hours elapse between the loading and unloading of the vehicles or trailers.

50-4.4 Covering of automobiles and other vehicles

In R-1 (A through E) one-family residential districts, any automobile or other vehicle that is fully or partially covered by a tarp, car cover, or similar material, whether licensed or unlicensed, is prohibited, unless parked in a fully enclosed garage.

50-4.32 Motel

Motel units without kitchenette or kitchen shall contain not less than 350 square feet of floor space, and each unit with permitted kitchens or kitchenettes shall contain not less than a total of 450 square feet of floor space in each rental unit.

50-4.33 existing public, governmental and nonprofit uses in the C.f. district

Upon approval of the planning commission, after a public hearing with notice and site plan review as required by this chapter, any of the following existing uses may be expanded by the erection of additions to existing structures or by the erection of additional structures upon properties situated in community facilities districts as described in the zoning map as amended by this chapter and in accordance with the metes and bounds descriptions on file in the office of the division of safety inspection, and upon compliance with the provisions of this chapter. In giving such approval, the planning commission may impose, in addition to other conditions allowable by law, any reasonable restrictions or requirements so as to ensure that the contiguous residential areas will be adequately protected, and also may require the dedication of lands for street and alley purposes which, in the commission's opinion, is necessary to provide adequately for vehicular traffic movement and off-street parking:

- A. Churches and parish homes.
- B. Public, parochial and other private elementary, intermediate or high schools offering courses in general education, not operated for profit.
- C. Nonprofit religious, educational, private, fraternal or philanthropic institutions.
- D. Private noncommercial recreational areas, and institutional or community recreation centers.

50-4.34 Home-Based Business

Home Occupation to be permitted in R-1(A-E) districts, provided that home occupation is clearly secondary to the primary use or dwelling unit for residential purposes, with the following conditions:

- A. No more than two visitors and one employee shall be on site for the purpose of the home occupation business;
- B. There shall be no exterior display or storage of goods on the premise;
- C. All activity related to the home-based business must remain inside the structures on site;
- D. The home occupation shall not exceed 15 percent of the floor area of the primary structure;
- E. Inventory and supplies shall not occupy more than 50 percent of the area of structures permitted to be used as the home occupation;
- F. The owner of the home-based business must be on site for all hours of operation.
- G. The business shall not generate noise, vibrations, smoke, dust, odor, heat, or glare which are detectable beyond the property lines. If any violation is not remediated within the time frame set forth in the violation notice, the following action should be taken:
 - a. Violations, without proper remedial action taken, may result in a stop work order, or
 - b. The person subject to the violation shall appear and present evidence in response to the enforcement notice to the Planning Commission. During the hearing, the Building Official or designated representative shall specify the violation(s) that exist, and the remedial action required. The Planning Commission shall then determine whether to revoke the persons ability to operate a home-based business.

50-4.35 Rooftop Dining

Unenclosed or semi-enclosed rooftop dining areas are permitted in the C-Commercial district along Mack Avenue as an accessory use of a restaurant, café, bar, or similar establishment, with the following conditions:

- A. Upon approval, rooftop dining is to be permitted May-November annually.
- B. An outdoor dining application and site plan must be submitted for review by the Planning Commission. The year following approval, the permit must be renewed annually with the Building Department.
- C. The establishment must provide a policy or certificate of insurance covering the area of the outdoor rooftop seating space.
- D. Safety barriers must be added on the perimeter of the dining area and any rooftop equipment shall be enclosed or screened from street level view using the same materials used for the building walls or a material which is approved by the Building Official as visually compatible with the existing architectural style and features of the building.
- E. The rooftop dining area must be setback at a minimum of 20 feet from any rear property line if abutting or across an alley from an R-District.
- F. If abutting a R-District, there must be a screening device, of 6 feet, installed at the rear of the building or dining area to protect the privacy of the abutting residential properties.
- G. The additional dining / service area must fulfil the requirements of off-street parking in section 50-5.3.
- H. Umbrellas are not permitted; however, secured canopies of durable material that can withstand strong winds may be used.
- I. Any enclosure with rooftop amenities (including food and beverage service) or canopies for shade, may exceed the height limit of the district by 15 feet.
- J. Outdoor performances and any other form of amplified sound in enclosed rooftop spaces shall cease between 10:00 PM and 7:00 AM when abutting or across the alley from an R-District or noise sensitive area. "Noise-sensitive area" means a residential dwelling, place of worship, school, or a hospital and also means an existing site that is maintained for public recreation for which quiet is a primary consideration in the use of the site.
- K. Amplified sound shall not exceed 71 decibels within the commercial property and no more than 61 decibels at the residential property line.

Proposed Definition added to the Glossary: *Rooftop dining to be permitted as an accessory seasonal use to a principal use such as a restaurant, café, or similar establishment, that offers seating space for socializing or dining that is either in an open-air, semi-open, or enclosed dining area. Unenclosed or Semi-Open refers to a space outlined by a parapet or partial walls but no doors.*

50-6.5 Outdoor Cafe Permit

It shall be unlawful for any person to operate an outdoor cafe on any sidewalk or public right-of-way without a permit as provided by this section. An outdoor cafe is defined as an outdoor dining area located on or adjacent to a sidewalk which abuts a commercial establishment serving food or beverages. Outdoor cafes shall be permitted only within the C and C-2 zoning districts, [and C-F zoned properties along Mack Avenue](#). An outdoor cafe permit shall be a license to use the permitted area and shall not grant any person any property right or interest in the permitted area. The city may require any permittee to restore the cafe area to its original condition.

A. Scope, Procedure And Fee.

1. This section applies to intended uses on sidewalks and those areas adjacent to commercial buildings between the sidewalk and roadway curb. Outdoor dining entirely on private property continues to be regulated under section 50-4.16 Outdoor patio areas for the sale and service of food and beverages.
2. Each permit shall be effective for one year, and must be annually renewed with the approval of the city. Applications in compliance with this section may be approved by the building official. Applications involving a structure [or the addition of tables, chairs, and other outdoor equipment](#) are reviewed by the planning commission for approval of the structure under [section 50-6.1 Site plan review, subsection A](#). Subsequent approvals may be renewed annually by administration provided that the standards and conditions set forth in this section continue to exist.
3. The annual permit fee for an outdoor cafe shall be established by city council resolution.

B. Outdoor Cafe Permit Application. An application for an outdoor cafe permit shall be made to the building official [or city planner](#). The building official will submit the application to the city administrator, the clerk, director of public safety and director of public works for review and comment. The application shall include the following information:

1. Name, address and telephone number of the applicant.
2. Name and address of the business establishment.
3. A drawing (drawn to scale) showing the layout and dimensions of the sidewalk, outdoor cafe area and adjacent private property, proposed location, size and number of tables, chairs, steps, umbrellas, awnings, canopies, location of doorways, trees, parking meters, sidewalk benches, trash receptacles, railings, decorative chains and any other fixture, structure or obstruction either existing or proposed within the outdoor cafe.
4. Photographs, drawings or manufacturers' brochures fully describing the appearance of all proposed tables, chairs, umbrellas, awnings or other fixtures related to the outdoor cafe.
5. If any table, railing, awning or any other fixture is to be temporarily or permanently anchored, such information must be shown on the drawing.
6. Capacity of existing establishment.
7. If alcohol will be served.
8. If the applicant does not own the property, the application shall include written authorization from the property owner.
9. Exterior lighting plans, if any.

- C. Standards And Criteria For Application Review. The following standards and criteria shall be used in reviewing the application:
1. The permitted area shall allow a minimum of **five** feet of sidewalk clearance to allow safe pedestrian movement and four feet clearance from any curb. Use may not create a hazard, obstruct motor vehicles or unduly impede sidewalk use.
 2. Permits shall be issued only to persons who hold a valid business license and who wish to provide tables and chairs on the permitted area abutting such establishment for use by the general public.
 3. Outdoor cafes are restricted to the **street** frontage of the abutting business establishment to which a permit has been issued.
 4. The perimeter around the outdoor cafe area may be delineated using nonpermanent fixtures such as railing, potted plants, decorative chains, or other approved fixtures. The permanent anchoring of tables, chairs, umbrellas, awnings, railings or other fixtures may be approved by the building department provided such anchoring meets all city and county requirements.
 5. Tables, chairs, umbrellas, awnings and any other fixtures shall be of uniform design and shall be made of quality materials and workmanship to ensure the safety and convenience of users and to enhance the visual quality of the urban environment.
 6. Bollards should be consistent in size and appearance throughout the city.
 7. Design, materials and colors must be compatible with the abutting building and otherwise comply with the Code.
 8. The application must meet all other terms and conditions of this section.
- D. Liability and insurance.
1. The permittee agrees to indemnify, defend and hold harmless the city, its officers, agents and employees from any and all claims, liability, lawsuits, damages and causes of action which may arise out of use of a permit. The permittee shall enter into a written agreement with the city to evidence this indemnification.
 2. The permittee shall acquire and keep in full force and effect, at its own expense, the following insurance requirements for the entire permit period:
 - a. no alcohol permit. Commercial general liability insurance in the amount of \$1,000,000.00 per occurrence for bodily injury and property damage. The city must be named as an additional insured on this policy and an endorsement must be issued as part of the policy evidencing compliance with this requirement.
 - b. Alcohol permit. Commercial general liability insurance in the amount of \$2,000,000.00 per occurrence for bodily injury and property damage. The city must be named as an additional insured on this policy and an endorsement must be issued as part of the policy evidencing compliance with this requirement.

- E. Conditions of outdoor cafe permit. Outdoor cafes permitted under this section shall be subject to the following conditions:
1. The permit issued shall be personal to the permittee and shall be transferable only with the written approval of the city administrator.
 2. The city may require the temporary removal of outdoor cafes by the permittee when street, sidewalk or utility repairs necessitate such action or when it is necessary to clear or repair sidewalks. The permittee shall be responsible for removing all outdoor cafe fixtures at least two days prior to the date identified in writing by the city. The permittee shall not be entitled to any refund for such removal. The city shall not be responsible for any costs associated with the removal or the return and installation of any outdoor cafe fixtures.
 3. The use shall be specifically limited to the outdoor cafe area shown in the application.
 4. The permittee shall insure that the outdoor cafe does not interfere with or limit the free unobstructed passage of sidewalk users in the approved pedestrian path. In the event the cafe utilizes a portion of the sidewalk, then the seating must be adjacent to the building.
 5. Tables, chairs, umbrellas, awnings and any other fixtures used in connection with an outdoor cafe shall be maintained with a clean and attractive appearance and shall be in good repair at all times.
 6. No tables, chairs or any other fixtures used in connection with an outdoor cafe shall be attached, chained or in any manner affixed to any tree, post or sign.
 7. Enclosures are not permitted in the public right-of-way, including for dining during the colder months. The addition of temporary structures within property lines must undergo appropriate reviews within the Building Department and Planning Commission, if applicable.
 8. No additional outdoor seating authorized herein shall be used for calculating eating requirements pertaining to the location of, applications for, or issuance of a liquor license for any establishment, nor shall the additional seats be used to claim any exemption from any other requirements of any city, county or state codes, ordinances and/or laws.
 9. The opening and closing hours of the outdoor cafe shall not extend beyond the hours of operation for the business establishment holding the outdoor cafe permit, and in any event shall not extend later than 2:00 a.m.
 10. The use shall not unduly impact nearby residential or commercial properties.
 11. The permittee is responsible for repair of any damage to the sidewalk caused by the outdoor cafe.
 12. No signs shall be permitted within the outdoor cafe area.
 13. Permittee shall meet all other city, Wayne County and state regulations, laws or ordinances, and requirements before a permit is issued.
 14. For applications involving alcohol sales: No permit will be issued until LCC approval is provided to the city.
 15. No music, television or similar entertainment is allowed within the outdoor cafe area.
 16. In the event the application involves use of the right-of-way between the sidewalk and the curb, the city shall require improvement of that area by construction of an approved surface such as brick pavers, exposed aggregate, stamped concrete, tiles or other decorative hard surface subject to Wayne County approval. Asphalt and standard concrete are not considered approved surfaces.
 17. Except as otherwise provided in subsection F or receive approval for year-around outdoor café permit, the permittee shall have until November 8th to remove all objects relating to the outdoor



cafe, except any existing decorative hard surface. Equipment and amenities removed properly stored within the building or an approved shed on site.

- F. denial, revocation or suspension of permit.
1. The building official may deny, revoke or suspend a permit for any outdoor cafe for any reason and without penalty upon giving 30 days' written notice.
 2. The building official may also deny, revoke or suspend a permit immediately and without notice if it is found that:
 - a. Any required business, health, LCC or other permit/license for the outdoor cafe, or the abutting business establishment has expired or been suspended, revoked or canceled.
 - b. The permittee does not have insurance in effect which complies with the minimum amounts and requirements described in this section.
 - c. Conditions have changed regarding pedestrian or vehicular traffic causing congestion or safety concerns. Such decision shall be based upon findings of the building official that the minimum four-foot pedestrian path is insufficient under existing circumstances and represents a danger to the health, safety or general welfare of pedestrians or vehicular traffic.
 - d. The permittee has failed to correct violations of the Grosse Pointe Woods City Code, Wayne County requirements, or conditions of the permit within three days of receipt of the city's notice delivered in writing to the permittee.
 3. In the event the permittee fails to remove any tables, chairs, awnings or other fixtures or objects related to the outdoor cafe before the date set forth in the city's notice of denial, revocation or suspension, the city may remove such fixtures or objects. The permittee shall be responsible for all expenses incurred by the city for the removal and storage of such fixtures or objects.
 4. Violation of this section constitutes a municipal civil infraction in addition to the sanctions available under this section.
- G. Appeals and variances.
1. The decision of the building department to deny, revoke or suspend a permit may be appealed to the zoning board of appeals by an aggrieved party.
 2. Variances to the requirements of this section may be granted by the zoning board of appeals if the request meets the criteria for obtaining a variance from the board.

Planning Commission 2023 Annual Planning Report and 2024 Work Plan to City Council

City of Grosse Pointe Woods, MI

The Commission’s Annual Report is intended to serve as a planning document that outlines the work plan for the next fiscal year and is a communication tool to share recent achievements and plans for future goals to the community.

MEMBERSHIP

We thank the following Commission members for their time commitment and good work:

- Stephen Gerhart, Chair
- Christian A. Fenton and Michael Fuller, Vice Chair
- Donna O’Keefe, Commissioner
- Douglas Hamborsky, Commissioner
- George Bailey, Commissioner
- Grant P. Gilezan, Commissioner
- James McNelis, Commissioner
- John A. Vitale, Commissioner

INTRODUCTION AND PURPOSE

As required by the Michigan Planning Enabling Act (MPEA) Act 33 of 2008, as amended, the Planning Commission shall submit a report of its 2023 activities.

“A planning commission shall make an annual written report to the legislative body concerning its operations and the status of planning activities, including recommendations regarding actions by the legislative body related to planning and development.”

In addition to fulfilling this requirement, the Annual Report and Work Plan increases information-sharing between staff, boards, commissions, and the governing body and allows for the anticipation of upcoming priorities, in order to prepare and budget.

MEETINGS

The Planning Commission met nine times in 2023.

1. Tuesday, March 28, 2023
2. Tuesday, April 25, 2023
3. Tuesday, June 25, 2023
4. Monday, July 31, 2023 (Special Meeting)
5. Tuesday, August 22, 2023
6. Tuesday, September 26, 2023
7. Tuesday, October 24, 2023
8. Tuesday, November 28, 2023
9. Tuesday, December 12, 2023

2023 in Review

The following tables outline various Planning Commission activities, including development reviews (site plan, special land use, etc.), and Zoning Ordinance and map amendments (rezonings) that were considered by the City in 2023. Below the table is an overview of the additional projects addressed by Planning Commission in 2023, it includes work on the Master Plan rewrite and Ordinance Amendments.

Meeting Date	Project Type	Location	Project Description	Request	Planner's Report	Planning Commission Motion / Result	City Council Result
January 24 (Canceled)							
February 28 (Canceled)							
March 28	Site Plan Review	19850 Mack (Crispelli's)	Building Remodel & Addition	Demolition of a portion of the rear wall to accommodate the installation of a walk-in freezer.	Recommend Approval	Approved	-
	Site Plan Review	19876 Mack (now Bucharest)	Building Remodel	Renovation of the storefront and conversion from retail to a restaurant.	Recommend Approval	Approved	-
April 25	Master Plan Update Work Plan Discussion	-	-	-	-	-	-
May 23 (Canceled)							
June 27 (Canceled)							
July 25	Sign Ordinance Review	-	-	-	-	Tabled	-
	Site Plan Review	20139 Mack (Ahee Jewelers)	Building Remodel & Addition	Demolition of the vacated space at 20109 Mack, addition to the 20139 Mack space, and movement of the parking area to the newly vacated space.	Recommend Approval with conditions	Approved	-
	Site Plan Review	21336 Mack (Crosspointe Christian Church)	Building Addition	Addition to the existing structure.	Recommend Approval with conditions	Tabled	-
	Social District Discussion	-	-	-	-	Tabled	-
July 31 (Special Meeting)	Master Plan Discussion and Workshop	-	-	-	-	-	-
August 22	Sign Ordinance Review Discussion	-	-	-	-	Tabled	-
	Front Yard Structures (8-336)	-	-	-	-	Tabled	-
	Site Plan Review	21336 Mack (Crosspointe Christian Church)	Building Addition	Addition to the existing structure.	Recommend Approval with conditions	Approved with conditions	-

September 26	Site Plan Review	19700 Mack (Bank of America – EV Charger)	EV Installation & Parking Alterations	Installation of EV chargers and transformer, reduction of parking spaces.	Recommend Approval with conditions	Approved with conditions	-
	Sign Ordinance Review Discussion	-	-	-	-	Tabled	-
	Front Yard Structures (8-336)	-	-	-	-	Recommended City Council deny raised garden beds, approve mini-libraries	Council tabled raised garden beds, approved mini-libraries
	Off-Street Parking Requirements (50-5.3)	-	-	Add Parking Waivers and Shared Parking Agreements	Recommend Ordinance Amendment	Tabled	
	Discussion on Master Plan House Event	-	-	-	-	-	-
October 24	Sign Ordinance Review Discussion	-	-	-	-	Tabled	-
	Off-Street Parking Requirements (50-5.3)	-	-	-	-	Recommended changes, Tabled	-
November 28	Sign Ordinance Review Discussion	-	-	-	-	Tabled	-
	Off-Street Parking Requirements (50-5.3) Discussion	-	-	-	-	Public hearing to be scheduled	-
	Commercial Lighting Requirements Discussion	-	-	-	-	Tabled	-
December 12	Zoning Ordinance Amendments to Permitted Uses (Home-based business, Mixed Occupancy, and Outdoor Cafes)	-	-	-	-	Tabled	-
	Amendments to Sections 50-5. And 50-5.5 (Off-street Parking and Semicircular driveways)	-	-	-	-	Public Hearing, subsequently recommended City Council approval	TBD
	Amendments to Sign Ordinance (32-7 Illuminated Signs, 32-11 Temporary Signs, 32-29 Design of Lettering)	-	-	-	-	Recommend City Council Approval	City Council Approved

REZONINGS (CITY COUNCIL)

Date	Location / Project	Description	Status
January 9	20100 Mack	Rezone from P1, Parking to RO-1, Restricted Office.	Approved

LIQUOR LICENSES (CITY COUNCIL)

Date	Location / Project	Description	Status
June 5	19850 Mack / Crispelli's	A new class C, SDM, Sunday a.m./p.m. sales liquor licenses.	Approved
	30930-20934 Mack / Pender's	A transfer of class C with outdoor service area / p.m. Sunday sales permits and new SDM with a.m. Sunday sales permits liquor licenses.	Approved

VARIANCES (ZONING BOARD OF APPEALS)

Date	Location / Project	Description	Status
Aug. 21	20139 Mack / Ahee Jewelers	Variance from required off-street parking.	Approved
Nov. 20	551 Roslyn	Variance from side yard setback requirements.	Approved
Nov. 20	1398 Anita	Grant a variance to allow the enlargement of a legal nonconforming structure.	Approved
Nov. 20	707 N. Renaud	Variances from lot coverage and first floor elevation requirements.	Approved with conditions

SIGN REVIEWS (ADMINISTRATIVE)

Date	Location / Project	Status
January 13	21020 Mack / Subway	Approved
January 18	20599 Mack / Emcura Immediate Care	Expired
February 14	20567 Mack / Bloomfield Nails	Approved
February 24	19391 Mack / Pet People	Approved
March 21	19727 Mack / Qamaria Yemeni Coffee Co.	Approved
March 28	20599 Mack / Emcura Immediate Care	Approved
May 18	19850 Mack / VDG Grosse Pointe	Approved
June 5	19683 Mack / Henry Ford Optimeyes	Approved
June 6	20311 Mack / Visiting Angels	Approved
June 8	19467 Mack / Hollywood	Approved
August 28	19876 Mack / Bucharest Grill	Approved
October 5	19733 Mack / Flagstar Bank	Approved
November 17	21035 Mack / 313 Lacrosse	Approved
December 22	19852 Mack / Crispelli's	Approved

MASTER PLAN REWRITE

The Planning Commission, City Administration, and other relevant parties, in conjunction with their planning consultants from Giffels Webster, have been undergoing a comprehensive update to the community's Master Plan, which was last updated in 2006. During multiple surveys, planning commission meetings, special meetings, and an open house in October 2023, the consultants have been gathering input and an understanding of the community assets and challenges of the City. A new Master Plan is expected to be presented and adopted in 2024 and will direct further projects engaged by city departments and the boards and commissions within the City.

ORDINANCE AMENDMENTS

Over the past year, Planning Commission worked on the following amendments to the City’s Ordinances:

Code of Ordinance

1. Sign Ordinance
- Tasked with updating the Sign Ordinance, Planning Commission worked with the City Planner and City Attorney to recommend updates to Chapter 32 of the Ordinance to Council. The updates modernized the language and regulations to comply with legal standing and remove invalid content regulations. Other revisions updated the lighting requirements, size requirements for logos, restrictions to certain fonts, wall sign clarification, etc.

Zoning Ordinance

1. Parking
- Planning Commission worked with the City Planner to allow for reasonable flexibility in parking requirements and to optimize space are proposed to Section 50-5.3 Off-Street Parking and Section 50-5.5 Semi-Circular Driveways. Planning Commission recommended amendments to allow for **compact car parking spaces, shared parking agreements** between property owners, and **parking waivers** to be granted by City Administration and/or Planning Commission, and to **reduce the radius of semicircular driveways**.
2. Regulated Uses
- Started in 2023, Planning Commission worked with the City Planner to expand the uses permitted to allow for home-based businesses as well as mixed occupancy, year-around outdoor dining, and rooftop dining along Mack Avenue. The proposed changes are still be revised and are expected to be adopted in the coming months.

Looking Ahead: 2024 Work Plan

In the coming year, apart from working to actualize the goals and objectives laid out in the Master Plan once adopted, the following are additional projects for the Planning Department and Commission to accomplish:

Task	Lead	Involved	Priority
Ordinance Text Amendments Expand uses, multiple uses, mixed uses, expanded dining (outdoor + rooftop) and add modern lighting standards to the ZO. Incorporate changes listed in the new Master Plan once adopted.	Planner, Building Official	Planning Commission, City Manager, City Council, Building Official	High
Zoning Map Amendments Evaluate and consider amendments to the zoning map based on the final Future Land Use Map in the Master Plan	Planner	Planning Commission, City Manager, City Council, Building Official	Medium
Residential Development Standards Prepare design guidelines and development standards for residential properties. Address concerns first floor elevations, grading, etc.	Building, Planning	Planning Commission, City Manager, City Council,	Medium
Social District Based on feedback received from the Planning Commission in 2023, the City will work with the business community to launch a pilot social district.	Planner	City Manager, Council, DPW, Avenue of the Woods, Class C Licensed Businesses	High
Parking Analysis Understand current parking usage to identify areas of need for greater parking (municipal lots) and zoning ordinance text amendments.	Planner, Building, Engineer	Planning Commission, City Manager, City Council	High
EV Installation Conduct an analysis of land use and parking demand to strategically place EV chargers supporting business activity and stimulate economic opportunities in the City.	City Manager, Planner, Building	Building, Engineer, DTE, City Council	Medium
Parks and Recreation Planning Long-term planning for parks and recreation services: gauge public interest and needs in parks and recreation services.	Planner, Recreation Department	Recreation and DPW Dept., GPW Foundation, City Council	Medium
Crosswalks and Multi-modal Transportation Opportunities Evaluate and work with the county to implement mid-block crosswalks and identify active transportation (bike/scooter) pathways	Planner, City Manager	Planning Commission, City Council, DPW, Wayne County Commission,	High

Eastern Wayne County Planning Conference

Based on feedback from the Planning Commission during the Master Plan process, McKenna has been planning an event for Planning Commissioners and officials in Eastern Wayne County communities to foster greater regional collaboration. We are working with regional and state planning entities such as SEMCOG, MEDC, etc. and are aiming for the event to occur in May or June 2024.