



CITY OF GROSSE POINTE WOODS
CITY COUNCIL MEETING AGENDA
Monday, June 03, 2024 at 7:00 PM

*Robert E. Novitke Municipal Center - Council Chambers/Municipal Court,
20025 Mack Plaza, Grosse Pointe Woods, MI 48236
(313) 343-2440*

1. CALL TO ORDER

A. Administrative Memo: May 30, 2024

2. ROLL CALL

3. PLEDGE OF ALLEGIANCE

4. RECOGNITION OF COMMISSION MEMBERS

5. ACCEPTANCE OF AGENDA

6. CONSENT AGENDA

A. Approval of Minutes

1. Council 05/20/24

2. Planning Commission 04/23/24

B. Bids/Proposals/Contracts

1. Non-Union Employees

a) Memo 06/03/24 - City Administrator Schulte/Deputy Treasurer/Comptroller Schmidt

2. Fee Schedule Revision - Outdoor Cafes Site Plan Review

a) Memo 05/24/24 - City Planner Wolf

3. Unpaid Invoices

a) Memo 06/03/24 - Deputy Treasurer/Comptroller Schmidt

b) Landscaping & Cross Connection Invoices - Summer 2024 Tax Roll

4. Water & Sewer Storage Shed Replacement

a) Memo 05/30/24 - Director of Public Services Kowalski

b) Quote 05/22/24 - Rely-On Construction

C. Proclamation

1. Gun Violence Awareness Day

D. Resolution

1. FY 2024-2025 Industrial Waste Control (IWC) Charges

a) Memo 06/03/24 - City Administrator Schulte/Deputy Treasurer/Comptroller Schmidt

b) Fee Schedule

c) Proposed Resolution

cc: Council - 7
City Administrator
City Attorney

Treasurer/Comptroller
City Clerk
Email Group/Media

Assistant City Administrator
Post - 4

E. Claims and Accounts

1. Anderson, Eckstein & Westrick, Inc. (AEW) - City Engineers

- a) Vernier Rd. Water Main Replacement - Invoice No. 150526 - Proj. No. 0160-0446 - 05/15/24 - \$461.61.
- b) Torrey Rd. Pump Station Capital Improvement Plan - Invoice No. 150527 - Proj. No. 0160-0457 - 05/15/24 - \$514.35.
- c) Water System CDSMI - Invoice No. 150528 - Proj. No. 0160-0461 - 05/15/24 - \$1,176.57.
- d) Roslyn Rd. Water Main and Resurface (Mack/Marter) - Invoice No. 150529 - Proj. No. 0160-0464 - 05/15/24 - \$22,981.40.
- e) Lake Front Park Splash Pad - Invoice No. 150530 - Proj. No. 0160-0465 - 05/15/24 - \$1,143.00.
- f) 2023-2024 General Engineering - Invoice No. 150531 - Proj. No. 0160-0472 - 05/15/24 - \$594.87.
- g) Torrey Rd. Pump Station Generator - Invoice No. 150532 - Proj. No. 150532 - Proj. No. 0160-0473 - 05/15/24 - \$3,285.95.

2. McKenna - Building/Planning Services

- a) Invoice No. 21849-90 - Building Services - April 2024 - 05/20/24 - \$33,607.74.
- b) Invoice No. 22-064-26 - Planning Services - April 2024 - 05/16/24 - \$3,760.25.

3. WCA Assessing - Assessing Services - Invoice No. 051524 - June 2024 - 05/15/24 - \$7,175.58.

4. Banotai Greenhouse - Beautification Advisory Commission - GPW Flower Sale - Invoice No. 18467 - 05/07/24 - \$30,697.50.

7. OATH OF OFFICE

- A. Treasurer/Comptroller - Steven Schmidt

8. PRESENTATION

- A. Arbor Day Recognition and Poster Contest Winners

9. ORDINANCE

A. Second Reading: Zoning Ordinance Amendment - Rezoning RO-1 (Restricted Office) to C (Commercial) at 20100 Mack Avenue

- 1) Council Minutes Excerpt 05/20/24
- 2) Council Minutes Excerpt 05/06/24
- 3) Rezoning Review 05/01/24 - City Planner Wolf
- 4) Rezoning Application
- 5) Site Plan Review Application
- 6) Memo 03/25/24 - Director of Public Safety Kosanke
- 7) Memo 05/03/24 - Director of Public Services Kowalski
- 8) Affidavit of Property Owners Notified with List
- 9) Parcel Map
- 10) Affidavit of Legal Publication
- 11) Site Plan Transmittal Cover Sheet
- 12) Site Plans (3)

B. First Readings: Zoning Ordinance Amendments for Sections 50-6.5 (Outdoor Cafes/Dining), 50-4.34 (Home-Based Business/Home Occupations), 50-4.2 (Mixed Occupancy along Mack Avenue), 50-4.35 (Rooftop Open/Semi-Open Dining), 50-4.36 (Permanent Makeup/Microblading), 50-4.27 (Portable Storage Units)

- 1) Memo 05/30/24 - City Planner Wolf
- 2) Proposed Ordinance: Section 50-6.5 (Outdoor Cafes/Dining)
- 3) Proposed Ordinance: Section 50-4.34 (Home-Based Business/Home Occupations)
- 4) Proposed Ordinance: Section 50-4.2 (Mixed Occupancy along Mack Avenue)
- 5) Proposed Ordinance: Section 50-4.35 (Rooftop Open/Semi-Open Dining)
- 6) Proposed Ordinance: Section 50-4.36 (Permanent Makeup/Microblading)
- 7) Planning Commission Minutes Excerpt 05/28/24
- 8) Proposed Ordinance: Section 50-4.27 (Portable Storage Units)

10. NEW BUSINESS/PUBLIC COMMENT

11. ADJOURNMENT

**Paul P. Antolin, MiPMC
City Clerk**

**IN ACCORDANCE WITH PUBLIC ACT 267 (OPEN MEETINGS ACT)
POSTED AND COPIES GIVEN TO NEWSPAPERS**

The City of Grosse Pointe Woods will provide necessary, reasonable auxiliary aids and services, such as signers for the hearing impaired, or audio tapes of printed materials being considered at the meeting to individuals with disabilities. All such requests must be made at least five days prior to a meeting. Individuals with disabilities requiring auxiliary aids or services should contact the City of Grosse Pointe Woods by writing or call the City Clerk's office, 20025 Mack Plaza, Grosse Pointe Woods, MI 48236 (313) 343-2440 or Telecommunications Device for the Deaf (TDD) 313 343-9249

***** NOTE TO PETITIONERS: YOU, OR A REPRESENTATIVE, ARE REQUESTED TO BE IN ATTENDANCE AT THE MEETING SHOULD THE COUNCIL HAVE QUESTIONS REGARDING YOUR REQUEST. *****

OFFICE OF THE CITY ADMINISTRATOR

Subject: Recommendations for the Regular Council Meeting of June 3, 2024

- Item 1 CALL TO ORDER
Prerogative of the Mayor to call this meeting to order.
- Item 2 ROLL CALL
Prerogative of the Mayor to request a Roll Call from the City Clerk.
- Item 3 PLEDGE OF ALLEGIANCE
Prerogative of the Mayor to lead the City Council, Administration, and members of the audience in the Pledge of Allegiance.
- Item 4 RECOGNITION OF COMMISSION MEMBERS
Prerogative of the Mayor to request Commission Members in attendance at tonight's meeting to approach the podium and introduce themselves and the Commission on which they serve.
- Item 5 ACCEPTANCE OF THE AGENDA
Prerogative of the City Council that all items on tonight's agenda be received, placed on file, and taken in order of appearance.
- Item 6 CONSENT AGENDA
All items listed under the consent agenda are considered routine by the Council and will be enacted by one motion and a second. There will be no separate discussion of these items. If discussion of an item is required, it will be removed from the consent agenda and considered. One member may request that an item be removed and no second is required.

Prerogative of the City Council to approve all items (6A-6E) listed under the consent agenda as presented.

A. Approval of Minutes

1. Council 05/20/24
2. Planning Commission 04/23/24

B. Bids/Proposals/Contracts

1. Non-Union Employees
 - a) Memo 06/03/24 - City Administrator Schulte/Deputy Treasurer/Comptroller Schmidt

2. Fee Schedule Revision - Outdoor Cafes Site Plan Review
 - a) Memo 05/24/24 - City Planner Wolf
 3. Unpaid Invoices
 - a) Memo 06/03/24 - Deputy Treasurer/Comptroller Schmidt
 - b) Landscaping & Cross Connection Invoices - Summer 2024 Tax Roll
 4. Water & Sewer Storage Shed Replacement
 - a) Memo 05/30/24 – Director of Public Services Kowalski
 - b) Quote 05/22/24 – Rely-On Construction
- C. Proclamation**
1. Gun Violence Awareness Day
- D. Resolution**
1. FY 2024-2025 Industrial Waste Control (IWC) Charges
 - a) Memo 06/03/24 - City Administrator Schulte/Deputy Treasurer/Comptroller Schmidt
 - b) Fee Schedule
 - c) Proposed Resolution
- E. Claims and Accounts**
1. Anderson, Eckstein & Westrick, Inc. (AEW) - City Engineers
 - a) Vernier Rd. Water Main Replacement - Invoice No. 150526 - Proj. No. 0160-0446 - 05/15/24 - \$461.61.
 - b) Torrey Rd. Pump Station Capital Improvement Plan - Invoice No. 150527 - Proj. No. 0160-0457 - 05/15/24 - \$514.35.
 - c) Water System CDSMI - Invoice No. 150528 - Proj. No. 0160-0461 - 05/15/24 - \$1,176.57.
 - d) Roslyn Rd. Water Main and Resurface (Mack/Marter) - Invoice No. 150529 - Proj. No. 0160-0464 - 05/15/24 - \$22,981.40.
 - e) Lake Front Park Splash Pad - Invoice No. 150530 - Proj. No. 0160-0465 - 05/15/24 - \$1,143.00.
 - f) 2023-2024 General Engineering - Invoice No. 150531 - Proj. No. 0160-0472 - 05/15/24 - \$594.87.
 - g) Torrey Rd. Pump Station Generator - Invoice No. 150532 - Proj. No. 150532 - Proj. No. 0160-0473 - 05/15/24 - \$3,285.95.
 2. McKenna - Building/Planning Services
 - a) Invoice No. 21849-90 - Building Services - April 2024 - 05/20/24 - \$33,607.74.
 - b) Invoice No. 22-064-26 - Planning Services - April 2024 - 05/16/24 - \$3,760.25.
 3. WCA Assessing - Assessing Services - Invoice No. 051524 - June 2024 - 05/15/24 - \$7,175.58.
 4. Banotai Greenhouse – Beautification Advisory Commission – GPW Flower Sale – Invoice No. 18467 – 05/07/24 - \$30,697.50.

*Prerogative of the Mayor to read aloud the proclamation regarding Gun Violence Awareness Day.

Item 7 OATH OF OFFICE

Item 7A OATH OF OFFICE – STEVEN SCHMIDT

Prerogative of the Mayor to ask the City Clerk to administer the Oath of Office to Steven Schmidt, who will be serving as the City Treasurer/Comptroller effective immediately.

Item 8 PRESENTATION

Item 8A ARBOR DAY RECOGNITION AND POSTER CONTEST WINNERS

Prerogative of the City Council to receive the Tree City USA flag from the Tree Commission and announce the winners of the 2024 Arbor Day Poster Contest.

Item 9 ORDINANCE

Item 9A SECOND READING: ZONING ORDINANCE AMENDMENT - REZONING RO-1 (RESTRICTED OFFICE) TO C (COMMERCIAL) AT 20100 MACK AVENUE

Prerogative of the City Council to approve this zoning ordinance amendment to rezone RO-1 (Restricted Office) to C (Commercial) at 20100 Mack Avenue as presented and make it effective 10 days after its enactment.

Item 9B FIRST READINGS: ZONING ORDINANCE AMENDMENTS FOR SECTIONS 50-6.5 (OUTDOOR CAFES/DINING), 50-4.34 (HOME-BASED BUSINESS/HOME OCCUPATIONS), 50-4.2 (MIXED OCCUPANCY ALONG MACK AVENUE), 50-4.35 (ROOFTOP OPEN/SEMI-OPEN DINING), 50-4.36 (PERMANENT MAKEUP/MICROBLADING), AND 50-4.27 (PORTABLE STORAGE UNITS)

Prerogative of the City Council to concur with the recommendation of these zoning ordinance amendments regarding Sections 50-6.5 (Outdoor Cafes/Dining), 50-4.34 (Home-Based Business/Home Occupations), 50-4.2 (Mixed Occupancy along Mack Avenue), 50-4.35 (Rooftop Open/Semi-Open Dining), 50-4.36 (Permanent Makeup/Microblading), and 50-4.27 (Portable Storage Units), to set a date of June 17, 2024, for a second reading and final adoption.

Item 10 NEW BUSINESS/PUBLIC COMMENT

Prerogative of the Mayor to ask if there is any New Business to come before the City Council from the City Council or Administration; and then, to ask members of the audience if there is any Public Comment to come before the City Council.

Item 11 ADJOURNMENT

Upon the conclusion of New Business/Public comment with no further business to be conducted by the City Council, prerogative of the City Council to motion for adjournment of tonight's meeting.

Respectfully submitted,

A handwritten signature in black ink that reads "Frank Schulte". The signature is written in a cursive style with a large, sweeping initial "F".

Frank Schulte
City Administrator

MINUTES OF THE REGULAR CITY COUNCIL MEETING OF THE CITY OF GROSSE
POINTE WOODS HELD ON MONDAY, MAY 20, 2024, IN THE COUNCIL-COURTROOM OF
THE ROBERT E. NOVITKE MUNICIPAL CENTER, 20025 MACK PLAZA DR., GROSSE
POINTE WOODS, MICHIGAN.

The meeting was called to order at 7:03 p.m. by Mayor Bryant.

PRESENT: Mayor Bryant
Council Members: Brown, Gafa, Granger, Koester, McConaghy
ABSENT: None

Also Present: City Administrator Schulte
Assistant City Administrator Como
City Attorney Walling
City Clerk Antolin
Deputy Treasurer/Comptroller Schmidt
Director of Public Safety Kosanke
Director of Public Services Kowalski

Council, Administration, and the audience Pledged Allegiance to the U.S. Flag.

There was a moment of silence in honor of Councilmember Thomas Vaughn.

The following Commission members were in attendance:

- Christian Fenton, Planning Commission

Motion by McConaghy, seconded by Brown, that all items on tonight's **agenda be received, placed on file, and taken in order of appearance.**

Motion carried by the following vote:

Yes: Brown, Bryant, Gafa, Granger, Koester, McConaghy
No: None
Absent: None

Motion by Granger, seconded by Gafa, that all items (6A-6E) on the **Consent Agenda** be approved as presented.

A. Approval of Minutes

1. Council 05/06/24
2. Committee-of-the-Whole 05/06/24
3. Zoning Board of Appeals 05/06/24
4. Beautification Advisory Commission 04/10/24
5. Citizens' Recreation Commission 04/09/24
6. Senior Citizens' Commission 01/16/24 with recommendation*

*Recommendation to Council approving a budget request for the Commission in the amount of \$4,500.00 for FYE June 30, 2025.

B. Monthly Financial Report

1. April 2024

C. Bids/Proposals/Contracts

1. Trucking Services - Grosso Trucking & Supply Company
 - 1) Memo 04/30/24 - Director of Public Services Kowalski
 - 2) Proposed Agreement
 - 3) Quote 04/24/24 - Steve Grosso
 - 4) Certificate of Liability Insurance
2. Tree Removal Contract for 2024/2025
 - 1) Memo 04/30/24 - Director of Public Services Kowalski
 - 2) Propose Contract
 - 3) Letter 03/08/24 - James G. Bonahoom (Arbor Pro Tree Services, Inc.)
 - 4) Certificate of Liability Insurance
 - 5) Email 05/05/24 - City Attorney Walling
3. 2024 Sewer Rehabilitation by Full Length C.I.P.P. Lining – AEW Proj. No. 0160-0475
 - 1) Memo 05/14/24 – Director of Public Services Kowalski
 - 2) Letter 05/07/24 – Frank D. Varicalli (AEW)
 - 3) Proposal 03/13/24 – Insituform Technologies USA, LLC
4. 2024 Miscellaneous Concrete Pavement Repair Program – AEW Proj. No. 0160-0477

- 1) Memo 05/14/24 – Director of Public Services Kowalski
- 2) Letter 05/06/24 – Frank D. Varicalli (AEW)
- 3) Letter 02/28/24 – Alfred Mattioli (Mattioli Cement Co., LLC)
- 4) Proposal 04/18/24 – Mattioli Cement Co., LLC
5. Water Main and Sewer Repairs and Water Service Line Replacements
 - 1) Memo 05/14/24 - Director of Public Services Kowalski
6. Department of Public Works Janitorial Services
 - 1) Memo 05/15/24 - Director of Public Services Kowalski
 - 2) Estimate No. 913 - 05/15/24 - Zeppelin Cleaning Services
7. Sidewalk Repair Programs
 - 1) Memo 05/15/24 - Director of Public Services Kowalski
 - 2) Proposal 05/02/24 - Asphalt Control Corporation (ACC)
8. Torrey Road Pump Station Motor Starters for Pumps 4 and 5
 - 1) Memo 05/15/24 - Director of Public Services Kowalski
 - 2) Quotation 05/15/24 - Rotor Electric Co. of Michigan, LLC
9. IBEX Insurance Company - Excess Workers Compensation Coverage
 - 1) Memo 05/20/24 - Deputy Treasurer/Comptroller Schmidt
 - 2) Quotation Sheets 05/06/24 - Midwest Employers Casualty
 - 3) Policyholder Disclosure Notice of Terrorism Insurance Coverage
10. Sedgwick-Workers Compensation Third Party Administrator
 - 1) Memo 05/20/24 - Deputy Treasurer/Comptroller Schmidt
 - 2) Grosse Pointe Woods 2024-2027 Renewal Proposal

D. Proclamation

1. National Public Works Week (May 19 - 25)

E. Claims and Accounts

1. Anderson, Eckstein & Westrick, Inc. (AEW) - City Engineers - Roslyn Rd. water Main and Resurfacing Project - Proj. No. 0160-0464 - Pay Estimate No. 4 - Pamar Enterprises, Inc. - 05/03/24 - \$140,375.34.
2. Keller Thoma - Legal Services - Invoice No. 125897 - April 2024 - 05/01/24 - \$87.50.
3. Rosati, Schultz, Joppich & Amtsbuechler, P.C. - Legal Services - Invoice No. 1081393 - April 2024 - 05/09/24 - \$3,830.92.
4. York, Dolan & Tomlinson, P.C. - Legal Services - Invoice No. 187 - April 2024 - 05/03/24 - \$2,294.00.

Motion carried by the following vote:

Yes: Brown, Bryant, Gafa, Granger, Koester, McConaghy
No: None
Absent: None

Mayor Bryant read aloud the proclamation regarding National Public Works Week (May 19-25).

The mayor asked the Director of Public Safety to present the Public Safety Board of Review Awards. The Director of Public Safety presented the awards to the following recipients:

1. Sergeant Walter Galat - Life Saving Award
2. Officer Eugene Gunnery - Life Saving Award
3. Sergeant Joseph Provost - Department Citation
4. Detective Ryan Schroerlucke – Department Citation
5. Officer Dennis Walker - Department Citation

THE MEETING WAS THEREUPON OPENED AT 7:24 P.M. FOR A PUBLIC HEARING ON THE FY 2024-2025 PROPOSED BUDGET WITH ALL COUNCIL MEMBERS PRESENT.

Motion by Granger, seconded by Gafa, that the following items be received and placed on file:

1. Memo 05/20/24 – City Administrator Schulte/Deputy Treasurer/Comptroller Schmidt
2. Proposed 2024-2025 Budget Summary
3. Proposed Resolution
4. 2024 Tax Rate Request L-4029 Form
5. Affidavit of Publication

Motion carried by the following vote:

Yes: Brown, Bryant, Gafa, Granger, Koester, McConaghy
No: None
Absent: None

The Chair asked if anyone in the audience wished to speak in favor of the Proposed FY 2024-2025 Budget. No one wished to be heard.

The Chair asked if anyone from the audience wished to speak in opposition of the Proposed FY 2024-2025 Budget. Nobody wished to be heard.

Motion by Granger, seconded by Koester, that the public hearing be closed at 7:26 p.m. Passed unanimously.

Motion by Koester, seconded by McConaghy, that City Council concur with the recommendation of the Committee-of-the-Whole Sitting as a Finance Committee, at their meeting held on April 15, 2024, and adopt the **FY 2024-2025 Budget** as presented, authorize the Mayor and City Clerk to sign the 2024 Tax Rate Request Form L-4029, and adopt the Budget and Appropriation Resolution, as follows:

CITY OF GROSSE POINTE WOODS

CERTIFIED RESOLUTION

Motion by _____, seconded by _____, that the Council adopts the following resolution:

**CITY OF GROSSE POINTE WOODS
BUDGET AND APPROPRIATION RESOLUTION**

WHEREAS, a public notice has been previously given, as required by City Charter and State of Michigan Public Act 5 of 1982, that a public hearing will be on Monday, May 20, 2024, at 7:00 p.m. in the Council Chambers of the Municipal Building, 20025 Mack Plaza, for the purpose of receiving comments on the proposed 2024-2025 City budget and the intent to levy Property Tax Revenues within the said City of Grosse Pointe Woods; and;

WHEREAS, a full and final public hearing has been held on the proposed 2024-2025 City Budget, and the proposed Increase in Property Taxes, it is therefore the opinion and judgment of Council that the aforesaid proposed 2024-2025 City Budget, is in all things appropriate, correct and should be approved and that the property Tax Levy to finance the 2024-2025 City Budget should be approved accordingly.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Grosse Pointe Woods, Michigan that the proposed 2024-2025 City Budget and the proposed property Tax Levy for the fiscal year 2024-2025 as finally reviewed (and/or changed by) the Council at this public hearing be adopted and the amounts as contained in the aforesaid budget should be appropriated as designated and property tax levied accordingly.

BE IT RESOLVED that there are those sums of revenue which are deemed necessary to be raised by ad valorem tax levies on all real and personal property within the City of Grosse Pointe Woods, and that the City Clerk be and is hereby directed to certify such amounts to the City Assessor for the spread on the 2025 City Tax Roll at the rate of 12.7851 mills per thousand of the current City of Grosse Pointe Woods taxable valuation for general operations; 1.3815 mills per thousand of the current City of Grosse Pointe Woods taxable valuation for Road Bond Debt; at the rate of 0.0543 mills per thousand of the current City of Grosse Pointe Woods taxable valuation for Act 359 Public Relations; at the rate of 2.4440 mills per thousand of the current City of Grosse Pointe Woods taxable valuation for Solid Waste; at the rate of 4.0677 mills per thousand of the current City of Grosse Pointe Woods taxable valuation for Milk River Drainage tax.

Motion carried by the following vote:

AYES:

NAYS:

ABSENT:

RESOLUTION DECLARED ADOPTED

Paul P. Antolin, City Clerk

CERTIFICATION

I, Paul P. Antolin, City Clerk of the City of Grosse Pointe Woods, do hereby certify that the foregoing constitutes a true and complete copy of a resolution adopted by the City Council on May 20, 2024, and that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act being Act 267, Public Acts of Michigan, 1976, and that the minutes of said meeting have been kept and will be, or have been, made available as required by said Act.

Paul P. Antolin, City Clerk

Motion carried by the following vote:

Yes: Brown, Bryant, Gafa, Granger, Koester, McConaghy

No: None

Absent: None

Council commended and thanked all departments of the city for its hard work and expressed appreciation and congratulations to the City Administrator and Treasurer/Comptroller for a great job on the 2024-2025 Budget.

Motion by Brown, seconded by McConaghy, that the City Council concur with the City Administrator’s recommendation and appoint Steven Schmidt to the position of City Treasurer/Comptroller and increase his salary to \$105,000.

Motion carried by the following vote:

Yes: Brown, Bryant, Gafa, Granger, Koester, McConaghy
No: None
Absent: None

Motion by Koester, seconded by Granger, that the City Council concur with the recommendation of this zoning ordinance amendment regarding rezoning RO-1 (Restricted Office) to C (Commercial) at 20100 Mack Avenue, to set a date of June 3, 2024, for a second reading and final adoption.

Motion carried by the following vote:

Yes: Brown, Bryant, Gafa, Granger, Koester, McConaghy
No: None
Absent: None

Under New Business, the following individuals were heard:

- Mayor Bryant announced being a Great-Grandfather for a fourth-time with the birth of Arthur Ward Trupiano.
- Councilmember Gafa provided a reminder of the Memorial Day Event hosted by the Historical Commission at the Circle of Honor on Monday, May 27, 2024 at 10:00 a.m.
- City Administrator Schulte thanked Council and the Citizens’ Recreation Commission for the success of the new Dog Park Opening and the SpringFest at Chene-Trombley Park which had great attendance.

Under Public Comment, no one wished to be heard.

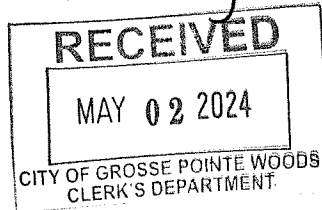
Motion by Granger, seconded by Koester, to **adjourn tonight’s meeting** at 7:31 p.m. PASSED UNANIMOUSLY.

Respectfully submitted,

Paul P. Antolin
City Clerk

Arthur W. Bryant
Mayor

Commission Approved May 28, 2024



PLANNING COMMISSION
04-23-24 - 18

MINUTES OF THE REGULAR **PLANNING COMMISSION** MEETING OF THE CITY OF GROSSE POINTE WOODS HELD ON **APRIL 23, 2024**, IN THE COUNCIL-COURT ROOM OF THE ROBERT E. NOVITKE MUNICIPAL CENTER, 20025 MACK PLAZA, GROSSE POINTE WOODS, MICHIGAN.

The meeting was called to order at 7:06 p.m. by Chair McNelis.

Roll Call: Chair McNelis
Commission Members: Bailey, Fenton, Fuller, Gilezan, Hamborsky, O'Keefe
Absent: Vitale
Also Present: City Planner, Brigitte Wolf
Building Official, Karson Claussen
Recording Secretary Miotto
Jill Baum, Giffels Webster
Rose Kim, Giffels Webster

MOTION by Bailey, seconded by Fuller, to excuse Commission Member Vitale from attendance at tonight's meeting.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gilezan, Hamborsky, McNelis, O'Keefe
NO: None
ABSENT: Vitale

The Planning Commission, staff, and the public, Pledged Allegiance to the U. S. Flag.

MOTION by Bailey, seconded by O'Keefe, to accept tonight's agenda.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gilezan, Hamborsky, McNelis, O'Keefe
NO: None
ABSENT: Vitale

MOTION by Fuller, seconded by Gilezan, that the March 26, 2024, Planning Commission meeting minutes be approved as presented.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gilezan, Hamborsky, McNelis, O'Keefe
NO: None
ABSENT: Vitale

The first item on the agenda, under **Old Business**, is the **Consideration for Approval of the Friendship Factory site plan at 20100-20102 Mack Avenue.**

MOTION by Gilezan, seconded by O'Keefe, to recuse Commission Member McNelis as he is involved in the project to be discussed and will be presenting.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gilezan, Hamborsky, O'Keefe
NO: None
ABSENT: Vitale
RECUSED: McNelis

MOTION by Fuller, seconded by Bailey, to accept and place on file the 4 resident letters related to the Friendship Factory, from Alexandra Turner, 1431 Oxford, Jackie Cecchini, 1343 Fairholme, Ryan Covell, 663 Lochmoor Blvd and Rob Szabo, 1620 Fairholme.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gilezan, Hamborsky, O'Keefe
NO: None
ABSENT: Vitale
RECUSED: McNelis

Planner Wolf provided an overview of the 3 elements: 1) rezoning from RO-1 to C – Commercial which has been recommended for City Council consideration on May 6, 2) special land use because of this specific type of retail (children's events) not being listed on our current use table, therefore requiring a special land use, and has been recommended for City Council consideration on May 6, and 3) the site plan review specific to the Friendship Factory and the off-street parking requirements.

With further understanding of how the Friendship Factory operates, the ordinance was re-evaluated and it was found that the parking requirement that is applicable is General Retail, and the current parking is adequate, therefore there are no concerns regarding ordinances. There are conditions that will apply: the site plan rezoning is approved; the special land use is approved, the traffic land markings are added to the site, there are dedicated drop-off/pick-up spaces, the signage complies with Ch. 32 ordinance, and rubbish storage and collection is adequate. Should a dumpster be needed/added, appropriate screening would be a condition.

James McNelis, Stuckey Vitale Architects, made a short presentation showing the updated site plans that show designated drop off/pick up zones, includes the traffic marking arrows, signage will be permitted separately, and that the existing rubbish storage & pick up will remain.

Julie Crorey, founder of the Friendship Factory, provided an overview of the business and answered questions from the Planning Commission. Bob Danforth, commercial real estate, spoke about parking and a potential shared parking agreement with a neighboring dental practice that has moved out. August 2024 is targeted as the opening.

MOTION by Fenton, seconded by Fuller, that the Planning Commission approve the revised site plan. **MOTION** amended by Gilezan, supported by Fenton, to include the 5 remaining conditions: the site plan rezoning is approved; the special land use is approved, the traffic land markings are added to the site, there are dedicated drop-off/pick-up spaces, and the signage complies with Ch. 32 ordinance.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gilezan, Hamborsky, O'Keefe
NO: None
ABSENT: Vitale
ABSTAIN: McNelis

The next item on the agenda, under **New Business**, was the **Consideration for Approval of the site plan for Nino Salvaggio's Café at 20331 Mack Avenue.**

Planner Wolf provided an overview of the interior and exterior renovation to open a market style café. The parking requirements are fulfilled as is. Outdoor seating would require Wayne County approval. GPW Department of Public Safety recommends more street protection should outdoor seating be approved. The applicant is agreeable to add the required protection. The site plan does meet ordinance requirements, with the following conditions: 1) compliance with our lighting standards; 2) wall signage is in compliance; 3) any trash receptacle added to the rear exterior would be an amendment to the approved site plan; and 4) a protective barrier is added to the outdoor dining area.

John Eckstein, Architect with Lindhout Associates, and Leo Salvaggio, owner, spoke about the renderings of the interior and exterior, the general concept of the café, and the vision for the community. Mr. Salvaggio has already approached neighboring businesses to consolidate and manage their rubbish along with his, which has the advantage of adding additional parking. Anticipated hours could be 8 am – 10 pm, at least, on Thursday, Friday, Saturday.

MOTION by Bailey, seconded by Fuller, that the Planning Commission approve the site plan for 20331 Mack with the listed conditions (remove #3 condition as the plan is to not have a permanent fixture), and add rooftop screening as needed.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gilezan, Hamborsky, McNelis, O'Keefe
NO: None
ABSENT: Vitale

The next item on the agenda for **Discussion** was the **Master Plan**.

Jill Baum, of Giffels Webster, provided an overview of the plan to date, which was updated with the Future Land Use, Mack Ave Corridor plan, and action strategies. The items in red are new: temporary public spaces, alleyway enhancements, public art, wayfinding signs, events, City Hall complex, and transportation alternatives. A hallway exercise was done with commission members ranking the initiatives, which are categorized as Goals 1 – 5.

Giffels Webster will consolidate the responses, and provide context, as provided by the community during the open house. Next step is to hold a working session to finalize the document before releasing it to City Council, who by law, must release it to the public for 63 days, then hold a Public Hearing. A working session will be scheduled between tonight and the May Planning Commission meeting.

The next item on the agenda for **Discussion** was the **Exterior Lighting Ordinance Requirements**.

Planner Wolf provided an overview of the language to be added to the Zoning Ordinance to better regulate and set guidance on exterior lighting. There is a proposed new section 50-5.22 “Exterior Lighting” and halo lighting was specifically discussed. This will be discussed at a future Planning Commission meeting. There was a suggestion of a 1-year timeframe for businesses to come into compliance with the new ordinance. As for color of halo lighting, the Planning Commission agreed to allow multi-color as business “branding” could dictate colors that can be used.

The next item on the agenda was the **Building Official’s Monthly Report**. Building Official Karson Claussen introduced himself and provided an overview of the report.

The next item on the agenda was the **Council Report/s for April**. Commissioner McNelis reported on the April 8th City Council meeting, stating that there was one item of note, that being a review of McKenna’s fee schedule to the city, that was a 3% increase. Commissioner Bailey reporting on the April 15th meeting which included the 5 additions and revisions to the Zoning Ordinance which are scheduled to move forward to a Public Hearing.

Commissioner Fenton will cover the May City Council meetings.

The next item on the agenda was information only related to the **Application for a Dine-In Restaurant at 20315 Mack Avenue.**

Commission member Bailey provided an overview of the proposed Mexican restaurant with cocktails and Mexican street tacos - a small dine-in/take away business.

No one wished to be heard under **Public Comment.**

MOTION by Bailey, seconded by Gilezan, to adjourn at 10:15 p.m.

Motion carried by the following vote:

YES: Bailey, Fenton, Fuller, Gilezan, Hamborsky, McNelis, O'Keefe

NO: None

ABSENT: Vitale

Respectfully Submitted,
Gretchen Miotto
Clerk's Confidential Administrative Assistant & Recording Secretary



CITY OF GROSSE POINTE WOODS
MEMORANDUM

Date: June 3, 2024
To: Mayor Bryant and City Council
From: Frank Schulte, City Administrator
Steven Schmidt, Treasurer/Comptroller
Re: Non-Union Employees

1. Effective July 1, 2024, there will be a **two and a half percent (2.5%)** across the board wage increase for appointed officials, department heads, non-union employees and permanent part-time administrative employees who have been employed with the City for six (6) months.
2. Five (5) unpaid furlough days, scheduled as follows:

Furlough Days Fiscal Year 2024-2025

July 5, 2024	Day after 4 th of July
August 30, 2024	Friday before Labor Day
January 20, 2025	Martin Luther King Day
April 21, 2025	Easter Monday
May 23, 2025	Friday before Memorial Day

Effective July 1, 2024, we respectfully request City Council to approve a two and a half percent (2.5%) pay increase for appointed officials, department heads, non-union employees and permanent part-time administrative employees who have been employed with the City for six (6) months.

Handwritten signature of Frank Schulte in blue ink.

Frank Schulte, City Administrator

Handwritten signature of Steven Schmidt in blue ink.

Steven Schmidt, Treasurer/Comptroller

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MAY 21 2024

CITY OF GROSSE POINTE WOODS
CLERK'S DEPARTMENT



Memorandum

TO: Grosse Pointe Woods City Council; Grosse Pointe Woods City Administration
FROM: Brigitte Wolf, AICP
SUBJECT: Fee Schedule Revision – Outdoor Cafes Site Plan Review
DATE: May 24, 2024

We would like to propose a revision to the fee schedule pertaining to the Outdoor Café Site Plan Review cost. The 2024 Adopted Fee Schedule includes an \$800 Outdoor Café Site Plan Review fee when the site plan must be presented to the Planning Commission.

However, adding an outdoor café in the public right-of-way is smaller in scope than a full site redevelopment and may not need a formal review by the Planning Commission. Thus, we propose adding a fee for when outdoor café site plans can be reviewed administratively by the Planning and Building Department.

OUTDOOR CAFES FEES – CURRENT

Outdoor Café Site Plan – Planning Commission Required for newly added outdoor café in public right of way	\$800
Outdoor Café Permit Required for annual renewal + inspection	\$100

OUTDOOR CAFES FEES – PROPOSED

For Outdoor Cafes, we propose the following review process and corresponding fees:

1. Allow for outdoor café site plans to be reviewed and approved by the Building Official. In this scenario, the proposed outdoor café configuration and criteria must be in strict compliance with the Ordinance. Administrative approval requires less time allowing for a reduced site plan review fee at \$400.
Fee = \$400 Site Plan Administrative Review + \$100 Outdoor Café Permit
2. If the applicant is unable / unwilling to accommodate changes proposed by the Building Official or required by the Zoning Ordinance, Planning Commission site plan review would then be required.
Fee = \$800 Site Plan + \$100 Outdoor Café Permit

Outdoor Café Site Plan – Administrative Review Required for a newly added outdoor café in the public right of way	\$400*
Outdoor Café Site Plan – Planning Commission Review Required for a newly added outdoor café in the public right of way that does not meet / satisfy the administrative review	\$800
Outdoor Café Permit Required for annual renewal + inspection	\$100

** To Be Added To The Fee Schedule*



**CITY OF GROSSE POINTE WOODS
MEMORANDUM**

Date: June 3, 2024
To: Mayor Bryant and City Council
From: Steven Schmidt, Deputy Treasurer/Comptroller
Re: Unpaid Invoices

Attached is a list of unpaid invoices for services rendered by the City to residential properties.

Grass Cutting/Property Maintenance	\$ 1,282.25
Cross Connection Fees	\$ 625.00
Total Unpaid Invoices	\$ 1,907.25

Staff has made several attempts to collect these fees but have been unsuccessful. I am requesting City Council to authorize the transfer of the unpaid invoices to the real property tax bills in July 2024.

Thank you.


Steven Schmidt, Deputy Treasurer/Comptroller

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CITY OF GROSSE POINTE WOODS
CLERK'S DEPARTMENT

LANDSCAPING & CROSS CONNECTION INVOICES - SUMMER 2024 TAX ROLL

Invoice #	Date Filed	Invoice Sent	Customer Name	Address	Street	PARCEL #	Service Provided	Amount
W58759	7/24/2023	9/26/2023	BEHAVESH-KOEGLER, SHAHIN A	1447	SUNNINGDALE	010-01-0085-000	GRASS CUT - REMOVAL OF WEEDS	\$263.50
W58760	8/2/2023	9/26/2023	FERGUSON, BRUCE - MARCIA	1321	N RENAUD RD	009-02-0654-000	GRASS CUT & TRIM	\$307.25
W58764	8/11/2023	9/26/2023	BEHAVESH-KOEGLER, SHAHIN A	1447	SUNNINGDALE DR	010-01-0085-000	GRASS CUT & TRIM	\$131.25
W58766	8/29/2023	9/26/2023	DICICCO RONALD A	20810	MARTER RD	006-99-0003-003	GRASS CUT & TRIM	\$73.25
W58944	9/12/2023	10/13/2023	BEHAVESH-KOEGLER, SHANIN A	1447	SUNNINGDALE DR	010-01-0085-000	GRASS CUT & TRIM	\$117.00
W58945	9/11/2023	10/13/2023	JONES, SAMANTHA JO MILES	1462	HOLLYWOOD AVE	004-03-0207-000	GRASS CUT - REMOVAL OF WEEDS	\$302.50
W59198	10/9/2023	12/15/2023	BEHAVESH-KOEGLER, SHAHIN A	1447	SUNNINGDALE DR	010-01-0085-000	GRASS CUT & TRIM	\$87.50

CROSS CONNECTION

23-53		10/19/2023	GENERAL FUNDING	20259	MACK AVE		CROSS CONNECTION	\$125.00
23-61		10/19/2023	POINTE PLAZA LIMITED	19251	MACK AVE		CROSS CONNECTION	\$125.00
23-64		10/19/2023	ST. JOHN'S HOSPITAL-NORTH PAV	19233	MACK AVE		CROSS CONNECTION	\$125.00
23-66		10/19/2023	WELLSPRING DENTAL	20136	MACK AVE		CROSS CONNECTION	\$125.00
23-70		10/19/2023	ORANGE THEORY FITNESS	20853	MACK AVE		CROSS CONNECTION	\$125.00
			TOTAL					\$1,907.25

MEMO 24-25

TO: Frank Schulte, City Administrator
FROM: James Kowalski, Director of Public Services *J.K.*
DATE: May 30, 2024
SUBJECT: Water & Sewer Storage Shed Replacement

Currently there is a storage shed located between garage #2 and garage #3 at the Department of Public Works that is used to store water main and sewer pipes. The current shed is rotted and in need of replacement.

I have requested quotes from local contractors to complete the replacement of the water and sewer storage shed. We received one quote:

- Rely-On Construction \$17,600.00
- Hadley Home Improvement No quote received

Therefore, I am requesting Council to authorize the replacement of the water and sewer storage shed from Rely-On Construction, 18030 East Nine Mile Road, Eastpointe, MI 48021 in the amount of \$17,600.00. I further recommend a contingency in an amount not to exceed \$3,000.00 for any unforeseen problems should they arise. The total project will not exceed \$20,600.00.

This is not a budgeted item in fiscal year 2023/2024, but there are funds available in the water/sewer equipment account no. 592-537-977.000. This would require a budget amendment and transfer from the water/sewer equipment account no. 592-537-977.000 in the amount of \$20,600.00 into the water/sewer administration contractual services account no. 592-536-818.000.

I do not believe any benefit will accrue to the City by seeking further bids. Approved for Council consideration.



Frank Schulte, City Administrator

5-31-2024

Date

Fund Certification:

Account numbers and amounts have been verified as presented.



Steven Schmidt, Comptroller/Treasurer

5/31/24

Date

**CITY OF GROSSE POINTE WOODS
PROCLAMATION**

WHEREAS, every day more than 100 Americans are killed by gun violence and more than 200 are shot and wounded; and

WHEREAS, protecting public safety in the communities they serve is a mayor's highest responsibility; and

WHEREAS, mayors and law enforcement officers – in partnership with local violence intervention resources – know their communities best, are the most familiar with local criminal activity and how to address it, and are best positioned to understand how to keep their citizens safe; and

WHEREAS, on February 13, 2023 two students from the Grosse Pointe communities were victims of gun violence, **Brian Fraser** and **Arielle Diamond Anderson** attended Grosse Pointe South and Grosse Pointe North and the third victim, **Alexandria Verner**, attended Clawson High School and whose mother worked at Grosse Pointe North; and

WHEREAS, the community placed orange ribbons on trees and are requesting that to raise awareness June 7, 2024 be recognized as a day anyone can join the campaign by pledging to wear orange, a color that symbolizes the value of human life; and

WHEREAS, we renew our commitment to reduce gun violence and pledge to do all we can, to keep firearms out of the hands of people who should not have access to them, and encourage responsible gun ownership to help keep our families and communities safe.

NOW, THEREFORE, I, Arthur W. Bryant, Mayor of the City of Grosse Pointe Woods, Michigan do hereby proclaim June 7, 2024 as **National Gun Violence Awareness Day** in the City of Grosse Pointe Woods, Michigan and urge all residents in our community to honor and remember all victims and survivors of gun violence and to declare that we as a country must do more to end this public health crisis.

Arthur W. Bryant

Mayor Arthur W. Bryant
June 3, 2024





CITY OF GROSSE POINTE WOODS
MEMORANDUM

Date: June 3, 2024

To: Mayor Bryant and City Council

From: Frank Schulte, City Administrator
Steven Schmidt, Deputy Treasurer/Comptroller

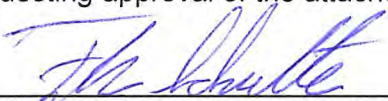
Re: FY 2024 – 2025 Industrial Waste Control (IWC) Charges

Industrial Waste Control charges are assessed to all commercial and industrial end users that send wastewater to the GLWA wastewater treatment plant. The IWC charges are to offset the costs incurred in administering regulatory activities under the Sewer Use Ordinance/Industrial Waste Control Ordinance as required in the National Pollutant Discharge Elimination System (NPDES) Permit Program and the Clean Water Act (CWA). There is a delegation Agreement with each community to collect the industrial waste control charges from the end-users even though most communities are contracting agency customers to the wholesale sewer contract customer.

The billing process for IWC charges involves the following two steps:

1. The City bills all non-residential users IWC charges based upon the user's meter size. GLWA establishes its IWC charges in the sewer service charge development process. Certain facilities are exempted which include: fire-protection, multi-family dwellings, public and private elementary schools which are part of a governmental school district, colleges, universities and professional schools, junior colleges and technical institutes, and local and state governments.
2. The City reports to GLWA the quantity and size of the non-residential meters and GLWA bills each community the IWC charge accordingly.

There is no cost to the City for these charges; this fee is strictly a pass through of charges and is represented this way in the water/sewer operating budget for fiscal year 2024-2025. I am requesting approval of the attached fee resolution for implementation effective July 1, 2024.


Frank Schulte, City Administrator


Steven Schmidt, Deputy Treasurer/Comptroller

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MAY 29 2024

CITY OF GROSSE POINTE WOODS
CLERK'S DEPARTMENT



**Great Lakes Water Authority
Proposed FY 2025 Sewage Disposal System
Industrial Specific Retail Charges
Proposed Effective Date: July 1, 2024**

Industrial Waste Control Charges		
<u>Meter Size</u> inches	<u>Full Charge</u> \$/mo	<u>Admin Only Charge</u> \$/mo
5/8	3.72	0.93
3/4	5.58	1.40
1	9.30	2.33
1-1/2	20.46	5.12
2	29.76	7.44
3	53.94	13.49
4	74.40	18.60
6	111.60	27.90
8	186.00	46.50
10	260.40	65.10
12	297.60	74.40
14	372.00	93.00
16	446.40	111.60
18	520.80	130.20
20	595.20	148.80
24	669.60	167.40
30	744.00	186.00
36	818.40	204.60
48	892.80	223.20

Pollutant Surcharges	
<u>Pollutant</u>	<u>Charge</u> \$/lb
BIOCHEMICAL OXYGEN DEMAND (BOD) for concentrations > 275 mg/l	0.392
TOTAL SUSPENDED SOLIDS (TSS) for concentrations > 350 mg/l	0.525
PHOSPHORUS (P) for concentrations > 12 mg/l	7.571
FATS, OIL AND GREASE (FOG) for concentrations > 100 mg/l	0.125
SEPTAGE DISPOSAL FEE Per 500 gallons of disposal	38.00

**THE CITY OF GROSSE POINTE WOODS
CITY COUNCIL RESOLUTION
ADOPTING THE INDUSTRIAL WASTE CONTROL CHARGE
FOR FISCAL YEAR 2024-2025**

A regular meeting of the City Council of the City of Grosse Pointe Woods, County of Wayne, State of Michigan (the "City"), was held on June 3, 2024 at 7:00 p.m., Eastern Standard Time.

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____, and seconded by _____:

WHEREAS, the City Council of the City of Grosse Pointe Woods, pursuant to Section 44-144 of the City of Grosse Pointe Woods City Code, as amended, is authorized to establish and revise water and sewer rates and other fixed charges to ensure sufficiency of revenues in meeting operation, maintenance and replacement costs, as well as debt service, for the water and sewer systems, and

WHEREAS, the City Council of the City of Grosse Pointe Woods has received and evaluated the attached Schedule of Rates from the Great Lakes Water Authority for the Commercial Industrial Waste Control Charges, and

WHEREAS, The City Council of the City of Grosse Pointe Woods finds that the operation and maintenance of the water and sewer systems of the City will be better served and maintained by adopting the schedule attached hereto.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Grosse Pointe Woods hereby adopts the Schedule of Rates for the Industrial Waste Control Charges attached hereto, for all commercial users within the service area of the City and that these rates and charges shall take effect July 1, 2024.

AYES:

NAYS:

ABSENT:

RESOLUTION DECLARED ADOPTED.

Paul P. Antolin, City Clerk

CERTIFICATION

I, Paul P. Antolin, Clerk of the City of Grosse Pointe Woods, do hereby certify that the foregoing constitutes a true and complete copy of a resolution adopted by the City Council on June 3, 2024, and that said meeting was conducted and public notice of said meeting was given pursuant to and in full compliance with the Open Meetings Act being Act 267, Public Acts of Michigan, 1976, and that the minutes of said meeting have been kept and will be, or have been, made available as required by said Act.

Paul P. Antolin, City Clerk



ANDERSON, ECKSTEIN & WESTRICK, INC.
 CIVIL ENGINEERS SURVEYORS ARCHITECTS
 51301 SCHOENHERR RD. SHELBY TOWNSHIP, MI 48315
 www.aewinc.com p(586)726-1234

INVOICE

May 15, 2024
 Project No: 0160-0446-0
 Invoice No: 150526

CITY OF GROSSE POINTE WOODS
 ACCOUNTS PAYABLE
 20025 MACK AVENUE
 GROSSE POINTE WOODS, MI 48236-2397

Project 0160-0446-0 VERNIER ROAD WATER MAIN REPLACEMENT
 PURCHASE ORDER #21-46704 - \$217,000.00
 FOR: CONTRACT ADMINISTRATION

Professional Services from April 08, 2024 to May 05, 2024

Professional Personnel

	Hours	Rate	Amount	
CONTRACT ADMINISTRATION				
LICENSED ENG/SUR/ARC	1.20	114.30	137.16	
GRADUATE ENG/SUR/ARC	3.50	92.70	324.45	
Totals	4.70		461.61	
Total Labor				461.61
Billing Limits	Current	Prior	To-Date	
Total Billings	461.61	106,434.26	106,895.87	
Limit			217,000.00	
Remaining			110,104.13	
		Total this Invoice		\$461.61

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MAY 30 2024

CITY OF GROSSE POINTE WOODS
 CLERK'S DEPARTMENT

PO 46704
 # 592-537-977.310
 OK J.K.
 SS 5/29/24
 FS 5-30-24



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INVOICE

May 15, 2024
 Project No: 0160-0457-0
 Invoice No: 150527

CITY OF GROSSE POINTE WOODS
 ACCOUNTS PAYABLE
 20025 MACK AVENUE
 GROSSE POINTE WOODS, MI 48236-2397

Project 0160-0457-0 TORREY RD PUMP STATION CAP IMPROVE. PLAN
 PURCHASE ORDER #22-47266 - \$60,000.00
Professional Services from April 08, 2024 to May 05, 2024

Professional Personnel

	Hours	Rate	Amount	
STUDIES				
SENIOR PROJECT ENGINEER	4.50	114.30	514.35	
Totals	4.50		514.35	
Total Labor				514.35
Billing Limits	Current	Prior	To-Date	
Total Billings	514.35	23,097.91	23,612.26	
Limit			60,000.00	
Remaining			36,387.74	
		Total this Invoice		\$514.35

Outstanding Invoices

Number	Date	Balance
149842	4/15/2024	800.10
Total		800.10

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MAY 30 2024

CITY OF GROSSE POINTE WOODS
 CLERK'S DEPARTMENT

PO 47266
 # 592-542-818.000
 OK - J.Y.
 SS 5/29/24
 FS 5-30-24



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 CIVIL ENGINEERS SURVEYORS ARCHITECTS
 51301 SCHOENHERR RD. SHELBY TOWNSHIP, MI 48315
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INVOICE

May 15, 2024
 Project No: 0160-0461-0
 Invoice No: 150528

CITY OF GROSSE POINTE WOODS
 ACCOUNTS PAYABLE
 20025 MACK AVENUE
 GROSSE POINTE WOODS, MI 48236-2397

Project 0160-0461-0 WATER SYSTEM CDSMI
 PURCHASE ORDER #24-48185 - \$42,125.00
 FOR: CONTRACT ADMIN.

Professional Services from April 08, 2024 to May 05, 2024

Professional Personnel

	Hours	Rate	Amount	
CONTRACT ADMINISTRATION				
LICENSED ENG/SUR/ARC	3.40	114.30	388.62	
GRADUATE ENG/SUR/ARC	8.50	92.70	787.95	
Totals	11.90		1,176.57	
Total Labor				1,176.57

Billing Limits	Current	Prior	To-Date	
Total Billings	1,176.57	27,026.12	28,202.69	
Limit			42,125.00	
Remaining			13,922.31	
		Total this Invoice		\$1,176.57

Outstanding Invoices

Number	Date	Balance
149844	4/15/2024	1,229.31
Total		1,229.31

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MAY 30 2024

CITY OF GROSSE POINTE WOODS
 CLERK'S DEPARTMENT

PO 48185

592-537-978.300

OK - J.K

SS 5/29/24

FV 5-30-24



ANDERSON, ECKSTEIN & WESTRICK, INC.
 CIVIL ENGINEERS SURVEYORS ARCHITECTS
 51301 SCHOENHERR RD. SHELBY TOWNSHIP, MI 48315
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INVOICE

May 15, 2024
 Project No: 0160-0464-0
 Invoice No: 150529

CITY OF GROSSE POINTE WOODS
 ACCOUNTS PAYABLE
 20025 MACK AVENUE
 GROSSE POINTE WOODS, MI 48236-2397

PO 47805
203-451-977.803 \$ 5,745.35
592-537-977.310 \$ 17,236.05

Project 0160-0464-0 ROSLYN RD WATERMAIN & RESURF(MACK/MARTER O/C
 PURCHASE ORDER #23-47805 - \$480,000.00
 FOR: CONSTRUCTION ADMIN. & CONSTRUCTION OBSERVATION
Professional Services from April 08, 2024 to May 05, 2024

J.K.
ES 5/29/24
FS - 5-2024

Professional Personnel

	Hours	Rate	Amount
CONSTRUCTION STAKEOUT			
TEAM LEADER	9.00	92.70	834.30
SENIOR PROJECT SURVEYOR	1.00	114.30	114.30
RESEARCH/REVIEW			
PRINCIPAL ENGINEER	6.00	114.30	685.80
CONTRACT ADMINISTRATION			
LICENSED ENG/SUR/ARC	30.50	114.30	3,486.15
GRADUATE ENG/SUR/ARC	1.00	92.70	92.70
ENGINEERING AIDE III	3.10	77.70	240.87
ENGINEERING AIDE I	3.10	62.10	192.51
MEETINGS			
GRADUATE ENG/SUR/ARC	4.30	92.70	398.61
CONSTRUCTION OBSERVATION			
TEAM LEADER	8.00	92.70	741.60
ENGINEERING AIDE III	169.30	77.70	13,154.61
ENGINEERING AIDE II	3.00	68.80	206.40
Totals	238.30		20,147.85
Total Labor			20,147.85

Unit Billing

2 PERSON CREW-CONSTRUCTION STAKEOUT	14.5 HOURS @ 156.50	2,269.25
3 PERSON CREW-CONSTRUCTION STAKEOUT	3.0 HOURS @ 188.10	564.30
Total Units		2,833.55

Billing Limits

	Current	Prior	To-Date
Total Billings	22,981.40	198,907.12	221,888.52
Limit			480,000.00
Remaining			258,111.48

Total this Invoice \$22,981.40

Outstanding Invoices

Number	Date	Balance
150092	4/19/2024	7,718.34
Total		7,718.34

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 MAY 30 2024



ANDERSON, ECKSTEIN & WESTRICK, INC.
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 51301 SCHOENHERR RD. SHELBY TOWNSHIP, MI 48315
 www.aewinc.com p(586)726-1234

INVOICE

May 15, 2024
 Project No: 0160-0465-0
 Invoice No: 150530

CITY OF GROSSE POINTE WOODS
 ACCOUNTS PAYABLE
 20025 MACK AVENUE
 GROSSE POINTE WOODS, MI 48236-2397

Project 0160-0465-0 LAKE FRONT PARK SPLASH PAD
 PURCHASE ORDER #23-47806 - \$25,500.00
 FOR: RESEARCH, OVERSIGHT & EGLE PERMITS
Professional Services from April 08, 2024 to May 05, 2024

Professional Personnel

	Hours	Rate	Amount
GENERAL			
LICENSED ENG/SUR/ARC	10.00	114.30	1,143.00
Totals	10.00		1,143.00
Total Labor			1,143.00

Billing Limits	Current	Prior	To-Date
Total Billings	1,143.00	6,370.29	7,513.29
Limit			25,500.00
Remaining			17,986.71
		Total this Invoice	\$1,143.00

Outstanding Invoices

Number	Date	Balance
149848	4/15/2024	1,714.50
Total		1,714.50

PO 47806
 # 401-902-977.104
 OK - JX
 SS 5/29/24
 AI 5-30-24

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MAY 30 2024

CITY OF GROSSE POINTE WOODS
 CLERK'S DEPARTMENT



ANDERSON, ECKSTEIN & WESTRICK, INC.
 CIVIL ENGINEERS SURVEYORS ARCHITECTS
 51301 SCHOENHERR RD. SHELBY TOWNSHIP, MI 48315
 www.aewinc.com p(586)726-1234

INVOICE

May 15, 2024
 Project No: 0160-0472-0
 Invoice No: 150531

CITY OF GROSSE POINTE WOODS
 ACCOUNTS PAYABLE
 20025 MACK AVENUE
 GROSSE POINTE WOODS, MI 48236-2397

RECEIVED
 MAY 30 2024

Project 0160-0472-0 2023-2024 GENERAL ENGINEERING
 PURCHASE ORDER #23-47692 - \$41,000.00
Professional Services from April 08, 2024 to May 05, 2024

Phase 01 GENERAL

CITY OF GROSSE POINTE WOODS
 CLERK'S DEPARTMENT

Billing Limits	Current	Prior	To-Date
Total Billings	0.00	13,822.89	13,822.89
Limit			15,000.00
Remaining			1,177.11

Total this Phase

Phase 02 GIS MAINTENANCE / WATER & SEWER

Professional Personnel

	Hours	Rate	Amount
GENERAL			
LICENSED ENG/SUR/ARC	.20	114.30	22.86
GRADUATE ENG/SUR/ARC	5.00	92.70	463.50
GIS UPDATES			
GRADUATE ENG/SUR/ARC	.50	92.70	46.35
ENGINEERING AIDE III	.80	77.70	62.16
Totals	6.50		594.87
Total Labor			594.87

Billing Limits	Current	Prior	To-Date
Total Billings	594.87	11,711.26	12,306.13
Limit			26,000.00
Remaining			13,693.87

Total this Phase \$594.87

Total this Invoice \$594.87

Outstanding Invoices

Number	Date	Balance
149900	4/15/2024	5,249.01
Total		5,249.01

PO 47692
592-537-977.000
OK - g.k
SS 5/29/24

5-30-24



ANDERSON, ECKSTEIN & WESTRICK, INC.
 CIVIL ENGINEERS SURVEYORS ARCHITECTS
 51301 SCHOENHERR RD. SHELBY TOWNSHIP, MI 48315
 www.aewinc.com p(586)726-1234

INVOICE

May 15, 2024
 Project No: 0160-0473-0
 Invoice No: 150532

CITY OF GROSSE POINTE WOODS
 ACCOUNTS PAYABLE
 20025 MACK AVENUE
 GROSSE POINTE WOODS, MI 48236-2397

Project 0160-0473-0 TORREY ROAD PUMP STATION GENERATOR
 PURCHASE ORDER #23-48021 - \$200,000.00
 FOR: CONTRACT ADMIN.

Professional Services from April 08, 2024 to May 05, 2024

Professional Personnel

	Hours	Rate	Amount	
CONSTRUCTION STAKEOUT				
TEAM LEADER	2.50	92.70	231.75	
CONTRACT ADMINISTRATION				
LICENSED ENG/SUR/ARC	17.50	114.30	2,000.25	
GRADUATE ENG/SUR/ARC	1.50	92.70	139.05	
MEETINGS				
GRADUATE ENG/SUR/ARC	2.50	92.70	231.75	
CONSTRUCTION ADMINISTRATION				
SENIOR PROJECT ENGINEER	.50	114.30	57.15	
Totals	24.50		2,659.95	
Total Labor				2,659.95

Unit Billing

2 PERSON CREW-CONSTRUCTION STAKEOUT	4.0 HOURS @ 156.50	626.00	
Total Units		626.00	626.00

Billing Limits

	Current	Prior	To-Date
Total Billings	3,285.95	99,719.10	103,005.05
Limit			200,000.00
Remaining			96,994.95

Total this Invoice \$3,285.95

Outstanding Invoices

Number	Date	Baiance
149857	4/15/2024	1,557.00
Total		1,557.00

RECEIVED

MAY 30 2024

CITY OF GROSSE POINTE WOODS
 CLERK'S DEPARTMENT

PO 48021
 #592-542-818.000
 OK - J.K.
 SS 5/29/24
 FJ 5-30-24



MCKENNA

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

O 248.596.0920
F 248.596.0930
MCKA.COM

Frank Schulte
City Administrator
City of Grosse Pointe Woods
20025 Mack Plaza
Grosse Pointe Woods, MI 48236

May 20, 2024
Invoice No: 21849 - 90

Project 21849 Grosse Pointe Woods Building Services

Professional Services from April 1, 2024 to April 30, 2024

Building Department Services - 85% of Revenue

SM ✓

Contract Amount

Number of Permit Revenue	40,126.75
Fee Each	.85
Total Fee	34,107.74

Total Fee \$34,107.74

Vehicle Credit (500.00)

Total (\$500.00)

General Zoning/Administration

General Zoning/Administration professional services.

	Hours	Amount
Associate Planner	23.00	
Total		0.00

Invoice Total \$33,607.74

THANK YOU. Please remit to above address and indicate project number on voucher.

RECEIVED

MAY 29 2024

CITY OF GROSSE POINTE WOODS
CLERK'S DEPARTMENT

101371 818 000

SS 5/22/24

FS 5-22-24



MCKENNA

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

O 248.596.0920
F 248.596.0930
MCKA.COM

Frank Schulte
City Administrator
City of Grosse Pointe Woods
20025 Mack Plaza
Grosse Pointe Woods, MI 48236

May 16, 2024
Invoice No: 22-064 - 26

RECEIVED

MAY 29 2024

Project 22-064 Grosse Pointe Woods Planning Services
Professional Services from April 1, 2024 to April 30, 2024

Professional Hourly Services

CITY OF GROSSE POINTE WOODS
CLERK'S DEPARTMENT

	Hours	Rate	Amount
President			
	1.00	150.00	150.00
Prepare for and attend April 8, 2024 City Council Meeting.			
Senior Planner			
	.25	100.00	25.00
Reviewed lighting regulations in other cities for reference for Grosse Pointe Woods.			
Associate Planner			
	3.00	90.00	270.00
Update social district maps.			
	1.00	90.00	90.00
Communicate with participating businesses and prepare material for MLCC review, including an updated map.			
	4.50	90.00	405.00
Contact businesses to participate in the social district, discuss with potential participants, and follow-up with participating businesses.			
	3.50	90.00	315.00
Prepare the agenda packet material for the April 23, 2024 Planning Commission meeting.			
	2.50	90.00	225.00
Finalize packet material for the April 23, Planning Commission Meeting.			
	1.50	90.00	135.00
Format zoning amendments for first reading at the April 15/May6 City Council Meeting.			
	2.00	90.00	180.00
Prepare for and attend the April 15, 2024 City Council Meeting.			
	4.50	90.00	405.00
Prepare for and attend the April 23, 2024 Planning Commission Meeting.			
	2.00	90.00	180.00
Prepare material for the May 6, 2024 Council and Zoning Board of Appeals Meeting.			

Project	22-064	Grosse Pointe Woods Planning Services	Invoice	26
		1.50 90.00	135.00	
		Prepare memorandum for the April 15 City Council Committee of the Whole Meeting.		
		1.50 90.00	135.00	
		Prepare public notices and work with City Clerk office to distribute.		
		1.50 90.00	135.00	
		Research exterior lighting standards.		
Assistant Planner		2.00 85.00	170.00	
		Post April 23, 2024 Planning Commission meeting packets to Municode.		
		Total		\$2,955.00

REVIEW SERVICES

✓ 20331 Mack Ave Site Plan Review - Nino's Cafe

Site Plan Review - \$800 + \$75/acre

\$805.25

Invoice Total \$3,760.25

THANK YOU. Please remit to above address and indicate project number on voucher.

101000283000 \$400.00
 101371818000 \$3360.25

SS 5/22/24 c
 # 5-22-24



RECEIVED

MAY 29 2024

CITY OF GROSSE POINTE WOODS
CLERK'S DEPARTMENT

May 15, 2024

Invoice 051524

City of Grosse Pointe Woods
Accounts Payable
20025 Mack
Grosse Pointe Woods, MI 48236

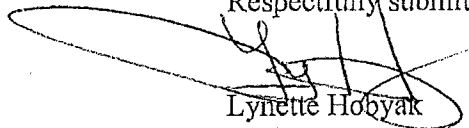
RE: June 2024 Services

For contract assessing services rendered:

Contract Fee (\$86,107 ÷ 12)..... \$ 7,175.58

TOTAL AMOUNT DUE **\$ 7,175.58**

Respectfully submitted,


Lynette Hobyak
Business Manager

101-257-818.000
SS 5/16/24
ES 5-16-24

38110 N. Executive Drive, Suite 100
Westland, MI 48185

734-595-7727 Office
734-595-7736 Fax



6981 Rawsonville Rd. Belleville, MI 48111
 Phone: (734) 482-2764 Fax: (734) 482-9843

INVOICE

BILL TO

City of Grosse Pointe
 Woods BAC
 19955 Mack Ave.
 Grosse Pointe Woods, MI
 48236

SHIP TO

City of Grosse Pointe
 Woods BAC
 20025 Mack Plaza Dr.
 Grosse Pointe Woods,
 MI 48236

INVOICE # 18467

DATE 05/07/2024

TERMS Due on receipt

SHIP VIA

BAN GREEN

RECEIVED

MAY 30 2024

CITY OF GROSSE POINTE WOODS
 CLERK'S DEPARTMENT

QTY	DESCRIPTION	RATE	AMOUNT
237	10 Ct. Flat- 4.5"- Assorted Pot	32.00	7,584.00T
6	18 Ct. Flat - Dahlia	14.00	84.00T
1	18 Ct. Flat- Dragon Wing	22.00	22.00T
2	18 Ct. Flat- Dusty Miller	14.00	28.00T
2	18 Ct. Flat - Strawberry	14.00	28.00T
8	18 Ct. Flat - Sunpatien	22.00	176.00T
7	18 Ct. Flat - Wave Petunia	16.00	112.00T
10	18 Ct. Flat - Zinnia	14.00	140.00T
108	3.5" Pot - Spike	2.50	270.00T
54	4.5" Pot- Proven Winner	32.00	1,728.00T
89	36 Ct. Flat - Begonia	10.75	956.75T
8	36 Ct. Flat - Coleus	10.25	82.00T
158	36 Ct. Flat - Impatien (DM Resistant)	11.00	1,738.00T
45	36 Ct. Flat - Marigold	10.75	483.75T
12	36 Ct. Flat -	11.00	132.00T

QTY	DESCRIPTION	RATE	AMOUNT
	Periwinkle		
20	36 Ct. Flat - Petunia	10.75	215.00T
35	36 Ct. Flat- Salvia- Victoria Blue	13.00	455.00T
50	12" Combination Pot (Sun or Shade)	24.00	1,200.00T
45	18" Combination Deluxe Pot	47.00	2,115.00T
10	14" Gray Urn- Mixed Annuals	30.00	300.00T
20	15" Weave Patio Pot- Mixed Annuals	34.00	680.00T
5	10" HB- Chenile	15.00	75.00T
29	10" HB- Fern	17.50	507.50T
57	10"HB- Fuschia	15.00	855.00T
6	10" HB- Lobelia	15.00	90.00T
15	12" Dragon Wing Combo Basket	18.50	277.50T
56	10" HB- Million Bell	15.00	840.00T
40	10" HB- Proven Winner Wave Petunia	16.00	640.00T
85	10" HB- Geranium	15.00	1,275.00T
160	14" HB - Combination	28.00	4,480.00T
4	6" Pot- Canna	45.00	180.00T
2	6" Pot-Mosquito Plant	45.00	90.00T
9	6" Pot- Grasses	45.00	405.00T
1	6" Pot- Rabbit Repellant	45.00	45.00T
3	6" Sunflower	45.00	135.00T
9	Hibiscus Bush- 3 Gal.	27.00	243.00T
9	Braided Hibiscus Tree- 3 Gal	33.00	297.00T
13	Mandevilla w/Trellis - 1 Gal.	14.00	182.00T
20	Mandevilla w/Trellis - 3 Gal.	28.00	560.00T
27	Perennial-1 Gal	33.00	891.00T
1	Delivery Drop Charge	100.00	100.00T

TERMS & CONDITIONS: Payment due on receipt (2% finance charge per month on invoices over 30 days). A 3% service fee will be applied to all credit card payments.

Plants are disease & pest free at time of delivery. We are not responsible for plants left on racks or any related plant or weather

SUBTOTAL	30,697.50
TAX (6%)	0.00
TOTAL	30,697.50

damage after delivery. Missing products must be reported with 48 hrs. of delivery.

BALANCE DUE

\$30,697.50

Customer Signature: _____ Date: _____

Print Name: _____

SS 5/30/24
FS 5-30-24

Motion by Koester, seconded by Granger, that the City Council concur with the recommendation of this zoning ordinance amendment regarding rezoning RO-1 (Restricted Office) to C (Commercial) at 20100 Mack Avenue, to set a date of June 3, 2024, for a second reading and final adoption.

Motion carried by the following vote:

- Yes: Brown, Bryant, Gafa, Granger, Koester, McConaghy
- No: None
- Absent: None

Motion by Granger, seconded by Koester, that the City Council concur with the City Planner’s and Planning Commission’s recommendations to approve the proposed rezoning at 20100 Mack Avenue from the RO-1 (Restricted Office District) to C (Commercial Business) based on the following finding of fact:

- a. The subject site has been sitting vacant and is situated on the Commercial Corridor;
- b. Being architecturally consistent with the neighboring residential neighborhood;
- c. Expanding the site to commercial uses aligns with the direction of the Master Plan Future Land Use Plan Map based on discussions throughout the 2023-2024 master planning process.

Motion carried by the following vote:

Yes: Brown, Bryant, Gafa, Granger, Koester
No: None
Absent: McConaghy, Vaughn



MCKENNA

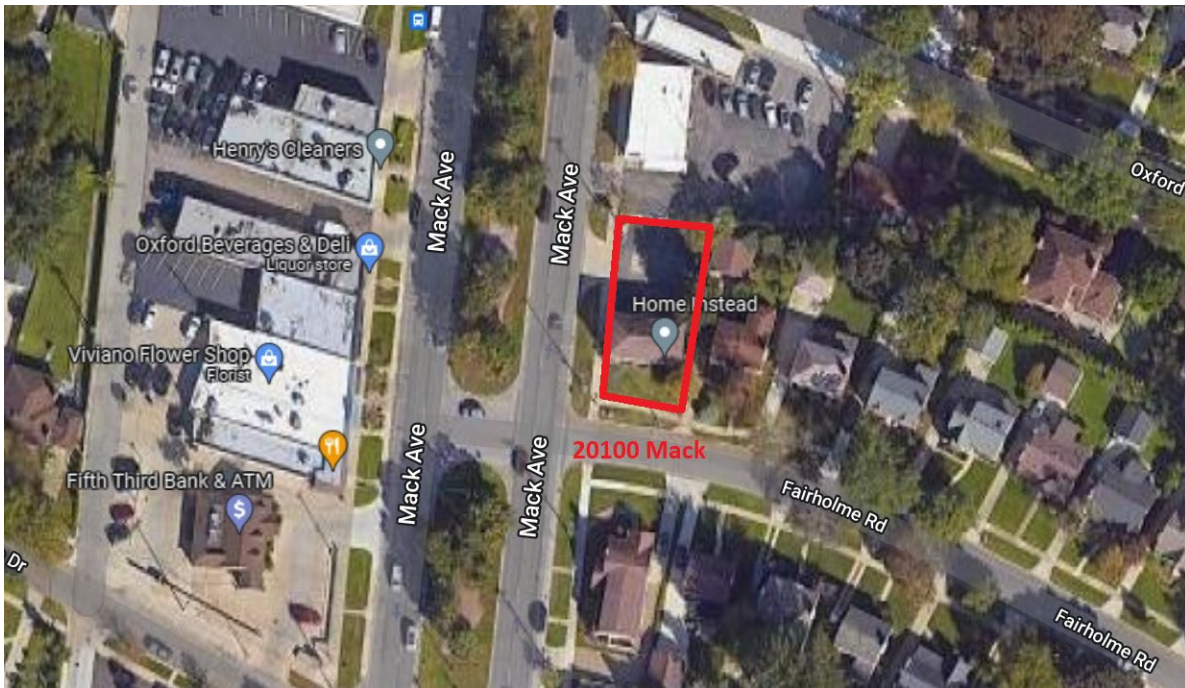
May 1, 2024

City Council
City of Grosse Pointe Woods
20025 Mack Plaza Dr
Grosse Pointe Woods, MI 48236

Subject: RO-1 to C Rezoning Request for 20100 Mack Avenue
Parcel ID: 40-012-05-0090-000
Rezoning Review #1
Existing Zoning: RO-1, Restricted Office District
Proposed Zoning: C, Commercial Business

Dear Councilmembers,

We, along with Planning Commission, have reviewed the above application for consideration of a rezoning request. Justin Buccellato (the "Applicant") requests a rezoning for 20100 Mack Avenue (the "Site") from Restricted Office to Commercial Business to allow for the consideration of a special land use request to open a children's event space. The site itself contains an existing two-story office building of approximately 3,240 square feet alongside an existing nine-space parking lot. Given that the lot has been vacant for a couple of years, the Applicant wishes to seek a rezoning to support an interested commercial business not permitted in the district as zoned, RO-1 Restricted Office. This review is based on the application submitted March 1, 2024.



HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

☎ 248.596.0920
☎ 248.596.0930
MCKA.COM

Communities for real life.



SUMMARY OF REQUEST

The applicant proposes to rezone the site to allow for an interested commercial business to occupy the vacant building. The existing structure onsite was constructed as an office building approximately 30 years ago. It has been vacant since September 2022. The applicant wishes to seek zoning as the C Commercial District to support an interested tenant, which would operate as an event space for children.

There is an existing two-story office building with an existing parking lot on the subject parcel. The site sits at the northeast corner of Mack Avenue and Fairholme Road. It shares its eastern boundary with a single-family residence and its northern boundary with additional office uses.

SURROUNDING SITE USES AND ZONING

The following chart provides information on existing land use, current zoning, and future land use.

Location	Existing Land Use	Zoning District	Future Land Use Designation
Subject Site	Vacant office building and parking lot	RO-1	Office; proposed as commercial in the 2024 Zoning Ordinance draft
North	Office	RO-1	Restricted Office
South	Office	RO-1	Office
East	Single-family residential	R-1D	Single Family Medium Density
West	General commercial	C	General Business/Mixed Use

RECOMMENDATIONS

Rezoning Request Consideration. Following a public hearing at the March 26, 2024, Planning Commission meeting, the Commission unanimously voted to recommend the rezoning without conditions. Pending any comments from the public during the second public hearing, we recommend the City Council consider the following motion:

I move to recommend approval of the proposed rezoning at 20100 Mack Avenue (Parcel ID 44-012-05-0090-000) from the RO-1 Restricted Office District to C Commercial Business based on the following finding of fact:

- a. The subject site has been sitting vacant and is situated on the Commercial Corridor;*
- b. Being architecturally consistent with the neighboring residential neighborhood; and*
- c. Expanding the site to commercial uses aligns with the direction of the Master Plan Future Land Use Plan Map based on discussions throughout the 2023-2024 master planning process.*

Respectfully submitted,

McKENNA

Brigitte Wolf, AICP



Rezoning Review

1. HARMONY WITH MASTER PLAN

Is the requested rezoning consistent with the goals, policies, and future land use map of the Master Plan? Or, has applicant demonstrated conditions have changed significantly since the Master Plan was developed, and request is demonstrably consistent with the development trends in the area?

Findings:

The 2006 Master Plan Future Land Use Map designates this area as *Office*, described in the text of the Master Plan as, “All areas used for office purposes including professional and medical office complexes.” However, conditions and the demand for professional office spaces has since changed, especially since COVID-19, as more people work from home. The building, despite an exterior remodel for a more modern, appealing façade, has been vacant since September 2022. Additionally, the City is currently in the process of updating its Master Plan, which proposes removing Restricted Office designations and classifying this property, and all other properties abutting Mack Avenue, as Commercial.

Mack Avenue, being the commercial spine of and providing principal entryways into the community receives special attention in the Master Plan. Elements called out in the Plan related to Mack Avenue include architectural design and parking. The Plan calls the popular “colonial theme” in local architecture “attractive” and “still acceptable as a suitable style.” The design of the building on the subject parcel can be called “colonial” and in fact despite being for office use, the building blends harmoniously in terms of design, scale, and style with the neighborhood to its east.

2. COMPATIBILITY OF ENVIRONMENTAL FEATURES

Are the site’s physical, geological, hydrological and other environmental features compatible with the host of uses permitted in the proposed zoning district, especially for sites without public utilities?

Findings: Given the off-street parking lot, the site’s physical features are conducive to uses permitted in the C, Commercial District. Parking requirements in Grosse Pointe Woods mandate one space per 300 square feet of gross floor area for general business and professional offices. General business uses would require 3.6 parking spaces. The nine spaces currently onsite more than meet both the needs of general business / commercial purposes. There is not any known physical, geological, hydrological, or other environmental features that would inhibit commercial retail uses at this site.

3. COMPATIBILITY WITH SURROUNDING USES

Are all of the potential uses allowed in the proposed zoning district compatible with surrounding uses in terms of land suitability, density of use, environmental impacts, nature of use, traffic impacts, aesthetics, infrastructure and maintenance of property values.

Findings: The site shares its northern boundary with additional office use, zoned RO-1. Immediately east is a single-family residential district with an R1-D, One-Family Residential classification. Across Mack Avenue to the west is a mile-plus corridor of largely single-story commercial storefronts, interrupted by the Grosse Pointe Woods



municipal complex nearby to the southwest. Across Fairholme Road, is a single-family home recently converted to office use on an RO-1-zoned parcel, with additional office uses south of that.

Aesthetically, the office building on the subject site blends well with its surroundings. It is similarly scaled to the office uses up and down the east side of Mack Avenue as well as the commercial uses across Mack. The scale of the building creates a nice transition between the commercial corridor along Mack Avenue and the Fairholme residential neighborhood. In fact, the modern gabled roof, brick façade, setbacks and landscaping give the building a residential feel.

Furthermore, the onsite parking exceeds the required number of spaces for general business by a number of spaces and the traffic is directed by the ingress/egress of Mack Avenue. No curb cuts exist, nor can they be accommodated on Fairholme Road. Local infrastructure is well suited to accommodate site users.

4. ECONOMIC VIABILITY OF CURRENT ZONING

Has the applicant demonstrated that he/she cannot receive a reasonable return on investment through developing the property with at least one (1) of the uses permitted under the current zoning?

Findings:

Despite recent exterior renovations, with its designation as RO-1, the existing office has been vacant since September 2022. The owner is requesting this rezoning to allow for a commercial tenant who is interested in leasing the property, enabling them to receive a reasonable return on their investment in modernizing this property.

5. DEMAND FOR PROPOSED USE

Is there evidence of demand for additional land uses permitted in the requested zoning district in relation to the amount of land currently zoned and available to meet the demand?

Findings: Based on the interest of the potential tenant for this property, it is clear that there is demand for commercial spaces with off-street parking lots along Mack Avenue. However, with its current zoning designation, it has been vacant.

6. EXCLUSIONARY ZONING

Is the rezoning necessary to avoid exclusion of a lawful land use?

Findings: No, the C Commercial zoning classification exists in other portions of the City on corner lots abutting Mack Avenue and residential streets. This rezoning is necessary to ensure the building is occupied and used for its highest and best use, which has not been possible with its current zoning designation.

7. DESIRABLE ZONING POLICY TREND

Is the rezoning establishing a desirable zoning trend policy for similar or identical lands?

Findings: This rezoning may be a desirable zoning trend for similar parcels of land along Mack Avenue. The trend of parcels abutting Mack Avenue has been to function retail and restaurant spaces or a combination of offices/commercial uses.



8. HARMONY WITH DIMENSIONAL REQUIREMENTS

Are the boundaries of the requested rezoning reasonable in relationship to surroundings and ability to meet the dimensional regulations in the zoning ordinance?

Findings: If the site is rezoned to C, the existing office structure meets all dimensional regulations in the zoning ordinance in relation to the adjacent office and residential uses. The requested rezoning is thus reasonable in relation to its surroundings.

9. ZONING CORRECTION

Does the requested zoning correct an error in the zoning map? Or zoning text?

Findings: There is no known error in the zoning map or zoning text associated with this site.

10. AVOIDANCE OF SPOT ZONING

Does the requested rezoning avoid creating an isolated and unplanned spot zone? (i.e. does it provide the landowner with privileges not readily available to other landowners in similar circumstances?)

Findings: In considering its adjacent uses on the west side of Mack Avenue, zoning this parcel as C Commercial would not be created an isolated spot zone. This rezoning would allow the landowner secure a tenant that would enhance the commercial corridor and offer a service to the community that is not currently available. Additionally, as stated prior, a recommendation of the future land use in the 2024 Master Plan update is to remove the RO-1 zoning classification and instead have office uses be considered a part of the C Commercial district.

10. REQUEST SUBMISSION

Has the request previously been submitted within the past one (1) year? Or have conditions changed or new information been provided?

Findings: In fall of 2022, the property owner did sough a rezoning from P-1 to RO-1 Restrict Office to allow for the existing building to be occupied by a tenant for office uses. This was approved more than one year ago. New information and circumstances, such as its vacancy since then, has shown the changing conditions in that there is less of a demand for office uses as there is for more general commercial business uses.

CITY OF GROSSE POINTE WOODS
20025 Mack Plaza, Grosse Pointe Woods, MI 48236
Phone (313) 343-2440

REZONING APPLICATION

RECEIVED

MAR 01 2024

1. Applicant: Buccellato Development, LLC

Mailing Address: 20259 Mack Ave. Grosse Pointe Woods, MI 48236
Street City Zip

Daytime Phone: (313) 300-7280 Fax: _____

2. Property Owner: Buccellato Development, LLC

Mailing Address: 20259 Mack Ave. Grosse Pointe Woods, MI 48236

Daytime Phone: (313) 300-7280 Fax: _____

3. Project Manager: (required) Stucky Vitale Architects

Mailing Address: 27172 Woodward Ave. Royal Oak, MI. 48067
Street City Zip

Daytime Phone: (248) 546-6700 Fax: _____

Other Phone: _____

4. Address of Property: 20100 Mack Ave. Grosse Pointe Woods, MI.

5. Legal Description of Property: Lot 90, Fairholme No. 1, according to the plat thereof, as recorded in Liber 68 of Plats, Page 84, Wayne County Records.

(or attach a legal boundary description)

6. Permanent Parcel Number: Tax ID: 40-012-05-0090-000

7. Request: To Rezone From: RO-1 Restricted Office To: C Commercial

For the Following Purpose:

Renovation to an Event space as a Special Land Use under Section 50-4.11
Miscellaneous business establishments of the Zoning Ordinance

Attach a detailed written statement fully explaining your request.

8. Present Use of Property: Vacant

9. Attach an Accurate Drawing of the Site Showing:

- a) Property boundaries
- b) Existing buildings
- c) Unusual physical features of the site or building
- d) Abutting streets
- e) Existing zoning on adjacent properties
- f) Location of buildings on adjacent properties

10. Names and Addresses of all other Persons, Firms or Corporations having a Legal or Equitable Interest in the Property:

Applicant must provide lease, purchase agreement or written authorization from Owner.

DECLARATION:

I, the applicant, do hereby declare that I am the owner, or the authorized agent of the owner, of the above, legally described property on which the request is proposed, and that the answers given herein are true to the best of my knowledge. I understand that if the request is granted, I am in no way relieved from all other applicable requirements of the City of Grosse Pointe Woods Zoning Ordinance.

By virtue of my application, I do hereby declare that the appropriate appointed officials and City staff responsible for the review of my application are given permission to visit and inspect the property regarding my petition in order to determine the suitability of the request.

Applicant Signature: _____  _____ Date: _____

Filing Fee: \$500.00

**CITY OF GROSSE POINTE WOODS
INTERNAL TRACKING FORM**

1. Applicant: _____
2. Request: _____
3. Fee: _____
4. Dispersed as is Appropriate to the Following Departments for Review and Comments with Recommendations:

	<u>Date Dispersed</u>	<u>Date Report Received</u>
BUILDING & ENGINEERING DEPT.	_____	_____
CITY ATTORNEY (If Applicable)	_____	_____
DEPT. OF PUBLIC WORKS	_____	_____
FIRE DEPT.	_____	_____
PLANNING COMMISSION	_____	_____
POLICE DEPT.	_____	_____
COMMUNITY DEV. DEPT. (If Applicable)	_____	_____
COMMENTS:		

CITY OF GROSSE POINTE WOODS
Building Department
20025 Mack Plaza, Grosse Pointe Woods, MI 48236
(313) 343-2426

SITE PLAN REVIEW

COMMERCIAL – Zoned As – Please Check One:

- C – Commercial Business RO-1 – Restricted Office P-1 – Vehicular Parking
 CF – Community Facilities C-2 – High Intensity City Ctr

Property Owner Name: Buccellato Development, LLC Date: 03.01.2024

GPW Property Address: 20100 Mack Ave. Grosse Pointe Woods, MI.

Telephone #: Work (313) 300-7280 Home: _____

Contractor/Applicant Name: Stucky Vitale Architects

Telephone # (248) 546-6700 Mobile Phone # _____ Fax # _____

Contractor/Applicant Address: 27172 Woodward Ave. Royal Oak, MI. 48067 e-mail: jvitale@stuckyvitale.com

MI Builder's License #: _____ MI Driver's License #: _____

Nature of Proposed Work:

Interior renovation and re-occupancy of an existing unoccupied office building to an event space "Friendship Factory".

Buccellato Development, LLC Address: 20259 Mack Ave. Grosse Pointe Woods, MI 48236

Value of Construction \$ 85,000

Section 23a of State Construction Code Act of 1972, No. 230 of the Public Acts of 1972, being Section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of the State relating to persons who are to perform work on a residential building or a residential structure. Violations of Section 23a are subject to civil fines.

Applicant Signature: _____

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

#50-7.10 Special Land Use PC Fee:	\$ 250
PC Site Plan Review Fee:	\$ 350
Deposit – Est. Costs Incurred by the City:	\$ 400
PC APPLICATION FEE DUE:	\$ 1,000

Date Received: _____ Name: _____



**CITY OF GROSSE POINTE WOODS
DEPARTMENT OF PUBLIC SAFETY**

JOHN G. KOSANKE, Director

20025 Mack Plaza

Grosse Pointe Woods, MI 48236-2397



Date: March 25, 2024

To: Building Department

From: Director John G. Kosanke

Subject: 20100 Mack Ave, Site Plan Review

RECEIVED
MAR 25 2024
CITY OF GROSSE PTE WOODS
BUILDING DEPARTMENT

I have reviewed the site plan that was submitted for the proposed project at 20100 Mack Ave. The proposed project and rezoning will not have a negative impact on Public Safety Operations.

Respectfully,

Director John G. Kosanke

MEMO 24-17

To : Planning Commission

From : James Kowalski, Director of Public services

Date: May 3, 2024

Subject: Rezoning of 20100 Mack Ave

I have reviewed the rezoning / site review request by applicant Justin Buccellato.

The footprint and exterior are remaining the same, therefore will not have any impact on the Department of Public Services or its utilities.

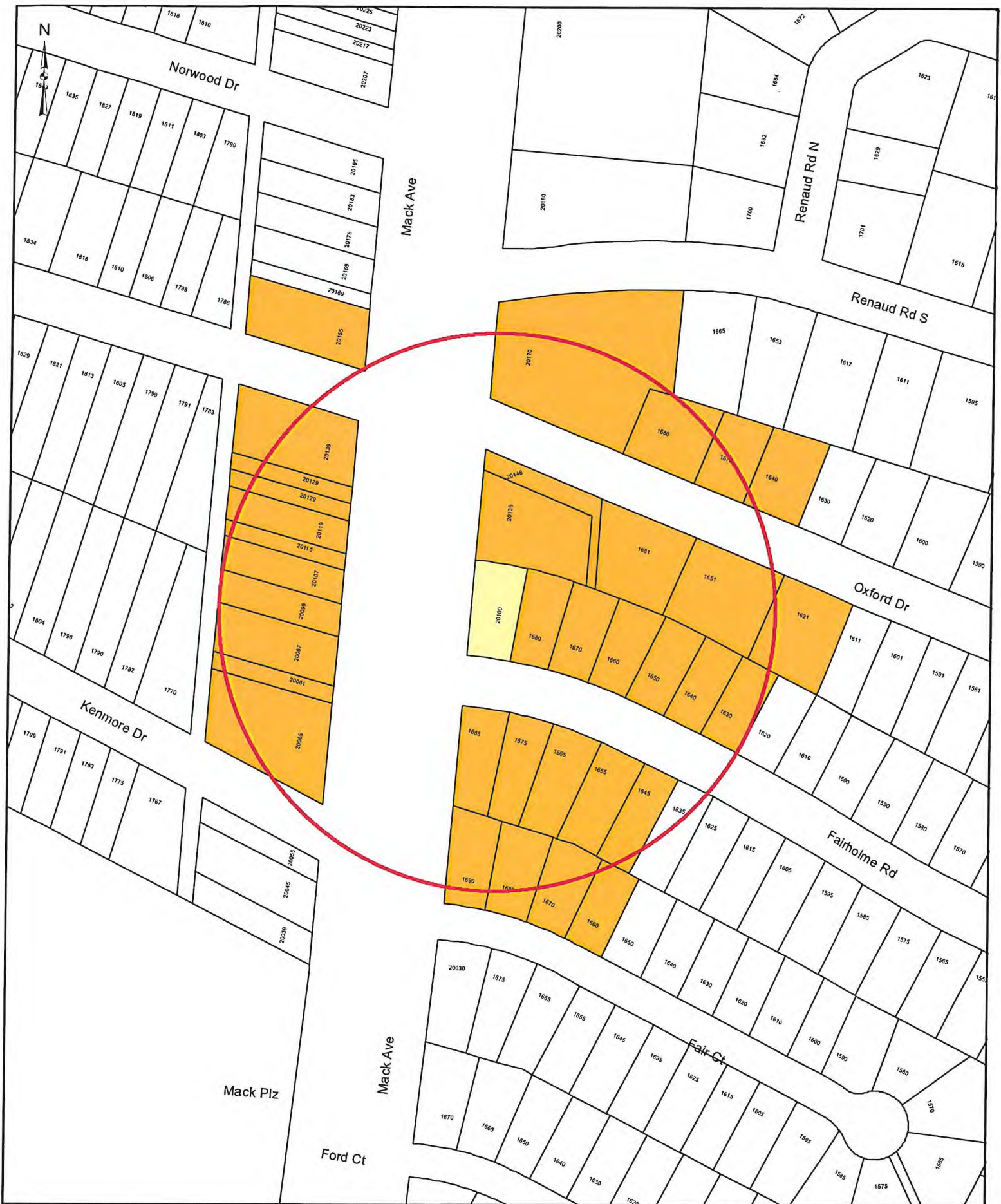
Please contact me if you have any questions

20100 Mack Avenue - 300' Radius

	A	B	C	D	E	F
1	PARCEL	ADDRESS		OWNER	OWNER ADDRESS	OWNER CITY/ST/ZIP
2	011 01 1603 000	20139 MACK AVE	GROSSE POINTE WOODS, MI 48236	20139 MACK AVENUE LLC	20139 MACK AVE	GROSSE POINTE WOODS, MI 48236
3	009 01 0002 002	1680 OXFORD RD	GROSSE POINTE WOODS, MI 48236	FELTS, GARY	1680 OXFORD RD	GROSSE POINTE WOODS, MI 48236
4	011 01 1562 000	20155 MACK AVE	GROSSE POINTE WOODS, MI 48236	20155 MACK LLC	1270 N OXFORD	GROSSE POINTE WOODS, MI 48236
5				OCCUPANT	20155 MACK AVE	GROSSE POINTE WOODS, MI 48236
6	008 01 0490 000	1665 S RENAUD RD	GROSSE POINTE WOODS, MI 48236	DOUGHERTY, PATRICIA - JON	1665 S RENAUD RD	GROSSE POINTE WOODS, MI 48236
7	009 01 0003 002	1670 OXFORD RD	GROSSE POINTE WOODS, MI 48236	FRANCIS, JAMES W	1670 OXFORD RD	GROSSE POINTE WOODS, MI 48236
8	009 01 0004 002	1640 OXFORD RD	GROSSE POINTE WOODS, MI 48236	WORDEN, WILLIAM T	1640 OXFORD RD	GROSSE POINTE WOODS, MI 48236
9	011 01 1606 000	20129 MACK AVE	GROSSE POINTE WOODS, MI 48236	20129 MACK LLC	20139 MACK AVE	GROSSE POINTE WOODS, MI 48236
10				OCCUPANT	20129 MACK AVE	GROSSE POINTE WOODS, MI 48236
11	011 01 1608 000	20119 MACK AVE	GROSSE POINTE WOODS, MI 48236	COOK, HONG	20119 MACK AVE	GROSSE POINTE WOODS, MI 48236
12	011 01 1610 000	20115 MACK AVE	GROSSE POINTE WOODS, MI 48236	20107 MACK AVE LLC	20107 MACK AVE	GROSSE POINTE WOODS, MI 48236
13	011 01 1611 002	20107 MACK AVE	GROSSE POINTE WOODS, MI 48236	20107 MACK AVE LLC	20107 MACK AVE	GROSSE POINTE WOODS, MI 48236
14	012 05 0090 000	20100 MACK AVE	GROSSE POINTE WOODS, MI 48236	MACK & FAIRHOME LLC	503 LAKESHORE ROAD	GROSSE POINTE SHORES, MI 48236
15				OCCUPANT	20100 MACK AVE	GROSSE POINTE WOODS, MI 48236
16	012 05 0089 000	1680 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236	KETELS, KEVIN	1680 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
17	011 01 1613 000	20099 MACK AVE	GROSSE POINTE WOODS, MI 48236	CASEY, MARTIN	221 RIDGE RD	GROSSE POINTE FARMS, MI 48236
18				OCCUPANT	20099 MACK AVE	GROSSE POINTE WOODS, MI 48236
19	009 01 0290 000	1621 OXFORD RD	GROSSE POINTE WOODS, MI 48236	MCATEE, JOHN R	1621 OXFORD RD	GROSSE POINTE WOODS, MI 48236
20	012 05 0088 000	1670 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236	YOUNGBLOOD, JOSEPH P	1670 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
21	012 05 0087 000	1660 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236	OWEN, STEPHANIE & JUSTIN	1660 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
22	011 01 1615 000	20091 MACK AVE	GROSSE POINTE WOODS, MI 48236	CAPRARA, JULIA	471 SHOREHAM RD	GROSSE POINTE WOODS, MI 48236
23				OCCUPANT	20091 MACK AVE	GROSSE POINTE WOODS, MI 48236
24	012 05 0086 000	1650 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236	LAZARUS, NICHOLAS	1650 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
25	012 05 0085 000	1640 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236	DONALDSON, GAIL F (TRUST)	1640 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
26	011 01 1618 000	20081 MACK AVE	GROSSE POINTE WOODS, MI 48236	LESCHÉ INVESTMENTS LLC	58976 VALLEY VIEW DRIVE	WASHINGTON, MI 48094
27				OCCUPANT	20081 MACK AVE	GROSSE POINTE WOODS, MI 48236
28	012 05 0084 000	1630 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236	KARS, DAVON-FRANCES	1630 FAIRHOME	GROSSE POINTE WOODS, MI 48236
29	011 01 1619 000	20065 MACK AVE	GROSSE POINTE WOODS, MI 48236	FIFTH THIRD BANK	2727 LBJ FREEWAY SUITE 806	DALLAS, TX 75234
30				FIFTH THIRD BANK	20065 MACK AVE	GROSSE POINTE WOODS, MI 48236
31	012 05 0083 000	1620 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236	SZABO, ROBERT P - MONICA M	1620 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
32	012 05 0027 000	1685 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236	DOMUS ELIT TERRAM, LLC	8300 LONG ISLAND CT	FAIR HAVEN, MI 48023
33				OCCUPANT	1685 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
34	012 05 0028 000	1675 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236	SCARSELLA, JAMES	1675 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
35	012 05 0029 000	1665 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236	ARMBRUSTER, STEPHEN P	1665 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
36	012 05 0030 000	1655 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236	MONDALE, K GEORGE	1655 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
37	012 05 0031 000	1645 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236	COLLIER, SARAH	1645 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
38	012 05 0032 000	1635 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236	ZASACKY, DOUGLAS	1635 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
39	012 05 0033 000	1625 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236	NELSON, ANTHONY	1625 FAIRHOLME RD	GROSSE POINTE WOODS, MI 48236
40	012 04 0001 000	1690 FAIRCOURT ST	GROSSE POINTE WOODS, MI 48236	STONISCH, MARY S	20040 MACK AVE	GROSSE POINTE WOODS, MI 48236
41				OCCUPANT	1690 FAIRCOURT ST	GROSSE POINTE WOODS, MI 48236
42	012 04 0002 000	1680 FAIRCOURT ST	GROSSE POINTE WOODS, MI 48236	KADE, DAVID - PATRICIA	1680 FAIRCOURT ST	GROSSE POINTE WOODS, MI 48236

20100 Mack Avenue - 300' Radius

	A	B	C	D	E	F
43	012 04 0003 000	1670 FAIRCOURT ST	GROSSE POINTE WOODS, MI 48236	RUDOLPH, BURTON	1670 FAIRCOURT ST	GROSSE POINTE WOODS, MI 48236
44	012 04 0004 000	1660 FAIRCOURT ST	GROSSE POINTE WOODS, MI 48236	BEIL, IAN J. - CAROLINE C.	1660 FAIRCOURT ST	GROSSE POINTE WOODS, MI 48236
45	009 01 0001 000	20160 MACK AVE	GROSSE POINTE WOODS, MI 48236	REAL PROPERTIES INC	20160 MACK AVE	GROSSE POINTE WOODS, MI 48236
46	009 01 0291 002	1651 OXFORD RD	GROSSE POINTE WOODS, MI 48236	PEPLER, JANET L	1651 OXFORD RD	GROSSE POINTE WOODS, MI 48236
47	009 01 0293 004	1681 OXFORD RD	GROSSE POINTE WOODS, MI 48236	ASHLEY, PAUL J. & ORVILLA	1681 OXFORD RD	GROSSE POINTE WOODS, MI 48236
48	009 01 0295 002	20136 MACK AVE	GROSSE POINTE WOODS, MI 48236	BC1 OFFICE LLC	20136 MACK AVE	GROSSE POINTE WOODS, MI 48236
49	009 01 0295 001	20148 MACK AVE	GROSSE POINTE WOODS, MI 48236	LAKMACK LLC	20148 MACK AVE	GROSSE POINTE WOODS, MI 48236



Select Parcels within 300' of 20100 Mack Ave.

RECEIVED
APR 17 2024
CITY OF GROSSE POINTE WOODS
CLERK'S DEPARTMENT

AFFIDAVIT OF LEGAL PUBLICATION

Grosse Pointe News

16980 Kercheval Pl
Grosse Pointe, Michigan 48230
(313)882-3500

COUNTY OF WAYNE
STATE OF MICHIGAN, SS.

Melanie Mahoney

being duly sworn deposes and says that attached advertisement of

CITY OF GROSSE POINTE WOODS

was duly published in accordance with instructions, in the GROSSE POINTE NEWS on
the following date: APRIL 18, 2024

#2 PHN REZONING SPL 5-6

and knows well the facts stated herein, and that she is the Administrative Assistant
of said newspaper.

Robert M Ardelan

Melanie Mahoney

City of **Grosse Pointe Woods**, Michigan
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Grosse Pointe Woods City Council, under the provisions of Public Act 110 of 2006, MCL 125.3101 as amended, and Grosse Pointe Woods City Code of 2022 Chapter 50, Article 7, Section 50-7.15, will hold multiple Public Hearings on Tuesday, May 6, 2024 at 7:00 p.m., at City Hall in the Council Chamber/Courtroom (located at 20025 Mack Plaza Drive, Grosse Pointe Woods, MI 48236) for the following purposes: 1) consider rezoning of 20100-20102 Mack Avenue from RO-1 Restricted Office to C Commercial and 2) consider special land use for 20100-20102 Mack to be a children's event space.

All interested persons are invited to attend and will be given opportunity for public comment. The public may appear in person or be represented by counsel. Written comments will be received in the City Clerk's Office, up to close of business preceding the hearing. Individuals with disabilities requiring auxiliary aids or services at the meeting should contact the Grosse Pointe Woods Clerk's Office at 313-343-2440 seven days prior to the meeting. The agenda and pertinent documents will be available at www.gpwmt.us.

For additional project information, contact the Building and Planning Department at 313-343-2426 or e-mail building@gpwmt.us.

Paul P. Antolin
City Clerk

ROBERT M ARDELAN
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF MACOMB
My Commission Expires October 29, 2028
Weyne

City of **Grosse Pointe Woods**, Michigan

NOTICE OF PUBLIC HEARING - CORRECTION

The notice for Grosse Pointe Woods regarding multiple public hearings: 1) Consider rezoning of 20100 – 20102 Mack Avenue from R0-1 (Restricted Office) to C (Commercial) and 2) Consider special land use for 20100 – 20102 to be a children's event space, will be held on Monday, May 6, 2024 @ 7:00 p.m. at City Hall in the Council Chamber/Courtroom located at 20025 Mack Plaza Drive. The original notice in last week's issue stated Tuesday rather than Monday, May 6, 2024.

Paul P. Antolin
City Clerk



TRANSMITTAL COVER SHEET

To: Mollic Mackinnon

FROM: James McNelis

COMPANY: City of Grosse Pointe Woods
Building Department

DATE: 03.06.2024
SVA PROJECT NO: 2024.023
PROJECT NAME: Friendship Factory

PURPOSE FOR:

APPROVAL USE REVIEW & COMMENT RECORD DISTRIBUTION

ENCLOSURES:

COPIES	DATE	ISSUED FOR	DESCRIPTION
14	02.16.24	Site Plan + SLU	24x36 Site Plan Approval + SLU Drawings
1	03.01.24	Site Plan + SLU	Application form
1	03.06.24	Site Plan + SLU	Application fee (check)
1	02.16.24	Site Plan + SLU	Digital Copy - issued via email

COMMENTS:

TRANSMITTED VIA:

MESSENGER UPS GROUND UPS OVERNIGHT USPS ELECTRONICALLY PICK UP
 OTHER Drop Off

CC:



LEGAL DESCRIPTION

Land situated in the City of Grosse Pointe Woods, County of Wayne, State of Michigan, described as follows:
 Lot 90, Fairholme No. 1, according to the plat thereof, as recorded in Liber 68 of Plats, Page 84, Wayne County Records.
 20100 Mack Avenue
 Tax ID: 40-012-05-0090-000

BASIS OF BEARING NOTE

The basis of bearing for this survey was established by the aforesaid recorded Plat.

TITLE NOTES

- Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by making inquiry of persons in possession of the Land.
- Easements, encumbrances, or claims thereof, not shown by the Public Records.
- Rights of the public and any governmental unit in any part of the land taken, deeded or used for street, road or highway purposes.
- Covenants, conditions and restrictions and other provisions as contained in instrument recorded in Liber 5817, Page 331, Wayne County Records. Please be advised that any provision contained in this document, or in a document that is attached, linked, or referenced in this document, that under applicable law illegally discriminates against a class of individuals based upon personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or any other legally protected class, is illegal and unenforceable. [LOCATION OF BUILDING SETBACK RESTRICTIONS IS SHOWN].
- Subject to the easements, restrictions and reservations contained in the Fairholme No. 1 Plat recorded in Liber 68, Page(s) 84, Wayne County Records. [LOCATION OF EASEMENT WITHIN THE SURVEYED LAND IS SHOWN].
- Interest of others in oil, gas and mineral rights, if any, whether or not recorded in the Public Records.
- Interest, if any, of the United States, State of Michigan, or any political subdivision thereof, in the oil, gas and minerals in and under and that may be produced from the captioned Land.
- Rights of tenants under any unrecorded leases.

ALL EXCEPTIONS SHOWN OR NOTED ON THIS SURVEY WERE OBTAINED FROM TITLE COMMITMENT NO. TC13-105243, WITH A COMMITMENT DATE OF 07-29-2022, ISSUED BY TITLE CONNECT.

SITE DATA

Gross Land Area: 6,310 Square Feet or 0.145 Acres.
 Zoned: P-1 (Vehicular Parking District)
 Building Setbacks:
 Front= None
 Sides= 20' Parking structure
 Rear= None'

Max. Building Height permitted: Attendant's shelter-15'; Parking structure-30'

Total Parking: 5 spaces including 0 barrier free (handicap) spaces.

The above setback & height requirements were obtained from the City of Grosse Pointe Woods Zoning Ordinance.

NOTE: The setbacks & height restrictions noted above are for reference purposes only and should not be used for design or construction and should not be used to determine compliance. A surveyor cannot make a certification on the basis of an interpretation or opinion of another party. A zoning endorsement letter should be obtained from the City of Grosse Pointe Woods to insure conformity as well as make a final determination of the required building setback & height requirements.

FLOOD HAZARD NOTE

The Property described on this survey is not located in a Special Flood Hazard Area as defined by the Federal Emergency Management Agency, the property lies within Map No. 28163C0171F. According to the current available Map Index for Wayne County, Michigan, dated 10-21-2021, Map No. 28163C0171F is not printed and is indicated as being a No Special Flood Hazard Area.

TABLE A NOTES

- There was no observable evidence of current earth moving work, building construction or building additions observed in the process of conducting the fieldwork.
- There are no known proposed changes in street right-of-way lines available from the controlling jurisdiction.
- There was no observable evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
- Improvements within offsite easements or servitudes as provided by the Title Company are shown within 25 feet of the subject land only.

SURVEYOR'S CERTIFICATION

To:
 Buccellato Development LLC
 Daher B. Rahi and Jeannette Rahi, his wife
 Title Connect
 First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b), 7(c), 8, 9, 11(a), 13, 14, 16, 17, 18 & 19 of Table A thereof.

The field work was completed on 09-22-2022.

Kevin Christopher Navaroli
 Kevin Christopher Navaroli, P.S.
 No. 4001053503
 Date of Plat or Map: 10-04-2022
 Revised:



PROJECT
 "HOME INSTEAD"
 SENIOR CARE

PROJECT LOCATION
 No. 20100
 Mack Avenue
 Part of Private Claim 393
 City of Grosse Pointe Woods,
 Wayne County, MI

SHEET
 ALTA / NSPS
 Land Title Survey

REVISIONS
 SITE PLAN APPROVAL 04.18.24
 MARKUP BY: JPM (SVA)

DRAWN BY:
 A.G.

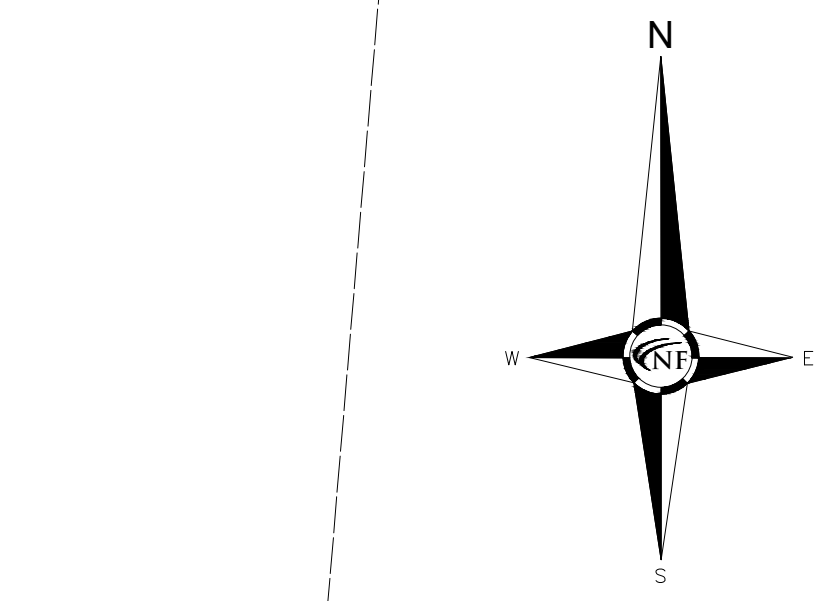
APPROVED BY:
 K.N./R.FRAUS

EMAIL:
 rfraus@nfe-engr.com

DATE ISSUED:
 10-04-2022

SCALE:
 1"=10'

NFE JOB NO. SHEET NO.
 N216 1 of 1



- LEGEND**
- AC = Air Conditioner
 - ASPH = Asphalt
 - CATV = Cable Television/Box/Riser
 - CB = Catch Basin
 - CO = Clean Out
 - CONC = Concrete
 - EMH = Electric Manhole
 - EM = Electric Meter
 - EC = Electric Conduit/Riser
 - FI = Found Iron
 - FIP = Found Iron Pipe
 - FMON = Found Monument
 - G = Gas Service/Gas Main
 - GL = Ground Light
 - GM = Gas Meter
 - GP = Guard Post
 - GV = Gate Valve
 - HYD = Hydrant
 - LP = Light Pole
 - L/S = Landscape
 - MH = Manhole
 - MON = Monument
 - MW = Monitor Well
 - OH LINES = Overhead Lines
 - PI = Phone/Box/Riser
 - PH = Physically Handicapped
 - PIV = Post Indicator Valve
 - P/L = Property Line
 - PM = Parking Meter
 - ROW = Right of Way
 - SAN = Sanitary Manhole
 - SB = Stop Box (Water)
 - SMH = Storm Manhole
 - S.I. = Set Iron
 - SD = Shutoff (Water)
 - STM = Storm Sewer
 - T.MH = Telephone Manhole
 - TRANS = Transformer
 - UP = Utility Pole
 - WM = Water Main
 - (R) = Record Measurement
 - (M) = Surveyed Measurement
 - (C) = Calculated

CEMETERY NOTE
 There was no observable evidence of cemeteries or burial grounds within the subject property.

UTILITY NOTE
 All utilities are underground unless otherwise noted.
 The utilities shown on this survey were determined by field observation. All locations are approximate. The location of any other underground services which may exist can only be depicted if a Utility Plan is furnished to the surveyor.

NOTE: DTE has new regulations that may impact development outside their easement or the public right of way. Client shall contact DTE to determine the "New Structures and Power Line" requirements as they may apply to any future building or renovation of a structure. DTE Energy can be contacted at 800-477-4747.

GENERAL NOTE:
 ALL SIGNAGE
 PERMITTED
 SEPARATELY.

L=59.73'(R&M)
 R=705.81'(R&M)
 Δ=04°50'56"(M)
 CH=S84°36'27"E
 59.71'(M)

NEW TRAFFIC LANE
 MARKING ARROWS
 TO BE ADDED AS
 REQUIRED

DESIGNATED PICK
 UP/DROP OFF SPACE
 & LOADING ZONE
 (OFF-PEAK HOURS)

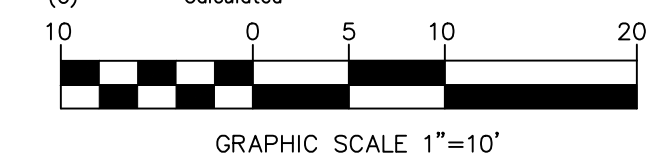
CURRENT RUBBISH
 AREA - GARBAGE AND
 RECYCLE BINS
 PROPOSED TO REMAIN.

No. 20100
 TWO STORY
 BRICK BUILDING
 W/PITCHED ROOF
 1,080 S.F.
 BUILDING S.F. IS BASED ON EXTERIOR
 BUILDING DIMENSIONS AT GROUND LEVEL ONLY
 BLDG. HEIGHT= 22' (HIGHEST POINT)

L=50.00'(R&M)
 R=590.81'(R&M)
 Δ=04°50'56"(M)
 CH=N84°36'27"W
 49.99'(M)

FAIRHOLME ROAD (60' WIDE)
 ASPHALT PAVEMENT W/ CONC. CURB

MACK AVENUE (155' WIDE)
 ASPHALT PAVEMENT W/ CONC. CURB



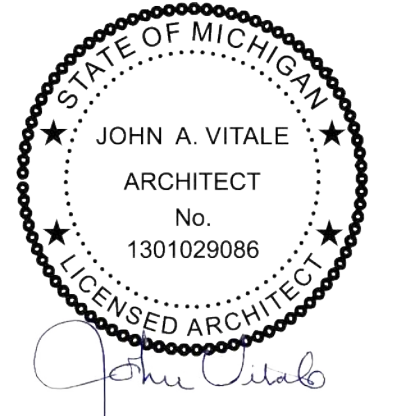
GRAPHIC SCALE 1"=10'



STUCKY VITALE ARCHITECTS
 27172 WOODWARD AVENUE
 ROYAL OAK, MI 48067-0925
 P. 248.546.6700
 F. 248.546.8454
 WWW.STUCKYVITALE.COM

STATEMENT OF INTELLECTUAL PROPERTY:
 THE IDEAS, CONCEPTS, DRAWINGS AND THOUGHTS
 CONVEYED HEREIN ARE THE INTELLECTUAL
 PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET
 OF DRAWINGS, IN WHOLE OR IN PART, MAY NOT BE
 REPRODUCED, WITHOUT THE WRITTEN CONSENT OF
 STUCKY VITALE ARCHITECTS. THIS INFORMATION IS
 PROTECTED UNDER U.S. COPYRIGHT LAW. ALL
 RIGHTS RESERVED

Consultants:



Project:
FRIENDSHIP FACTORY
 20102 MACK AVE,
 GROSSE POINTE WOODS,
 MI. 48236

Issued for:
OWNER REVIEW 02.16.24

Drawn by:
 CRB, JFM, JFN
 Checked by:
 JAV

Sheet Title:
**FLOOR PLAN
 SCHEME 1**

Project No.:
2024.023

Sheet No.:
A101

DO NOT SCALE DRAWINGS
 © 2020 Stucky Vitale Architects

GENERAL FLOOR PLAN NOTES:

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
- PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
- PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS: FLOOR, WALL AND CEILING SURFACES AS REQUIRED ADJACENT TO AREAS BEING DEMOLISHED. REFER TO DEMOLITION DRAWINGS FOR MORE INFORMATION.
- REINFORCE WALL AND PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS AND COUNTERTOPS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES, COAT RACKS, CHART RACKS, CASEWORK, AND OTHER WALL MOUNTED ITEMS.
- CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
- ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
- COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS; I.E. CAMERAS, TV'S, SPEAKERS, SENSORS, SECURITY WIRING, VAULTS, ATMS.
- CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
- CONTRACTOR TO FILL ANY AND ALL EQUIPMENT PENETRATIONS OR DEPRESSIONS INTO OR THROUGH THE EXISTING SLAB THAT WILL NOT BE UTILIZED TO FEED NEW EQUIPMENT (I.E. ABANDONED FLOOR CORES, IMPRESSION FROM PREVIOUS EQUIPMENT FLOOR-PLATE REMOVAL). PENETRATIONS SHALL BE FILLED WITH NON-SHRINK GROUT. THE SIDES OF ANY EXISTING OPENINGS SHALL BE MODIFIED/TAPERED SO THAT THEY ARE WIDER AT THE TOP THAN AT THE BOTTOM. FOR LARGE OPENINGS, PROVIDE ONE (1) #5 BAR 2" UP FROM BOTTOM OF HOLE.
- A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN 'AREA OF REFUGE', AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.
- PROVIDE PERMANENT MIN 3-INCH HIGH CONTRASTING COLOR MARKING AND IDENTIFICATION AT ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS WITHIN 15 FEET AT THE END OF EACH WALL, AND NOT EXCEEDING 30 FEET MAXIMUM HORIZONTAL INTERVALS, MINIMUM 2 LOCATIONS EACH WALL, TYPICAL FOR ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACES PER CODE (MBC 703.7)

FLOOR PLAN KEY NOTES:

(TYPICAL THIS SHEET ONLY)

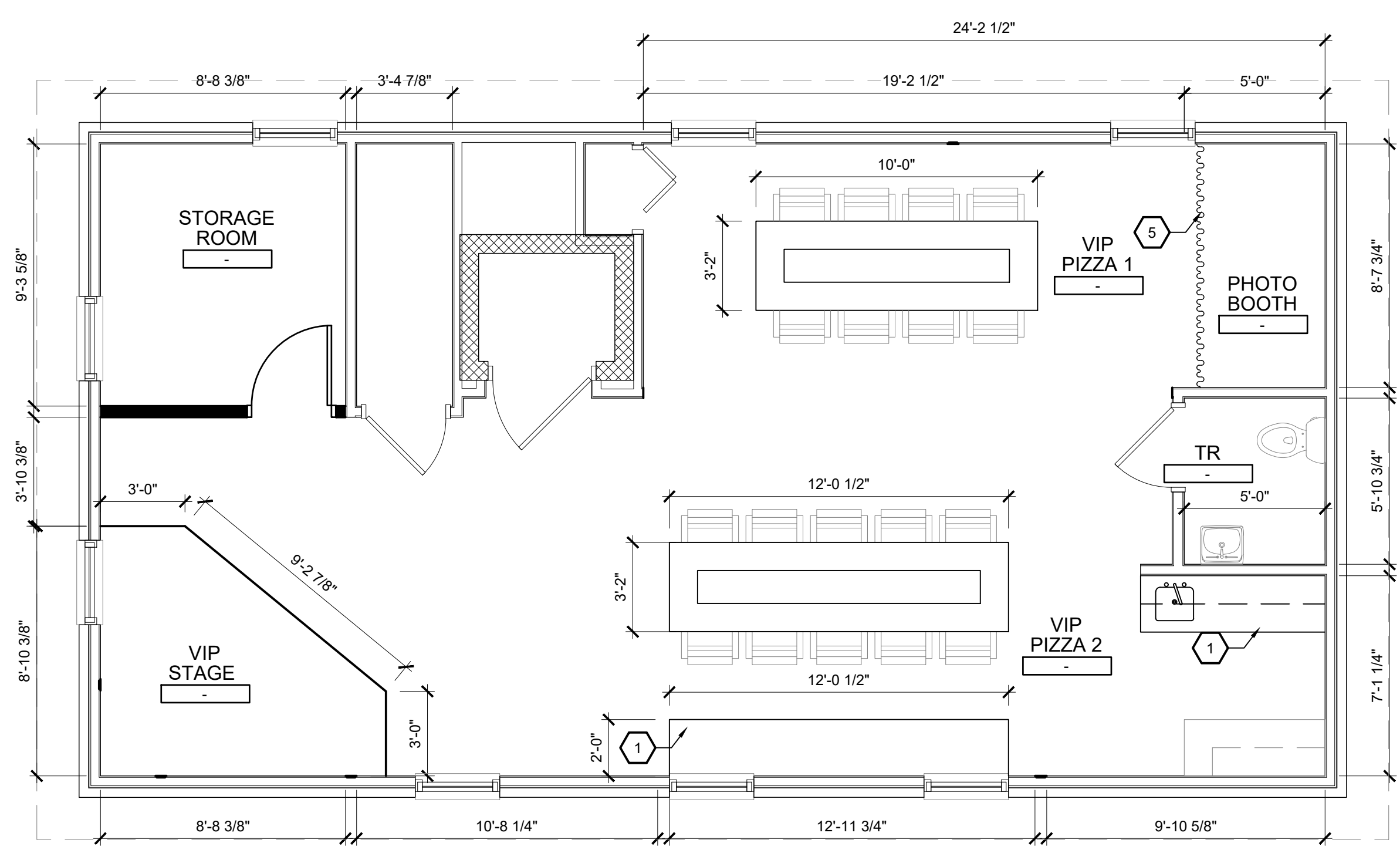
- 1 NEW MILLWORK COUNTER
- 2 NEW CLOTHING RACKS
- 3 NEW CHANGING ROOM BENCH
- 4 NEW MOP SINK
- 5 NEW PHOTO BOOTH CURTIAN

PROJECT DATA:

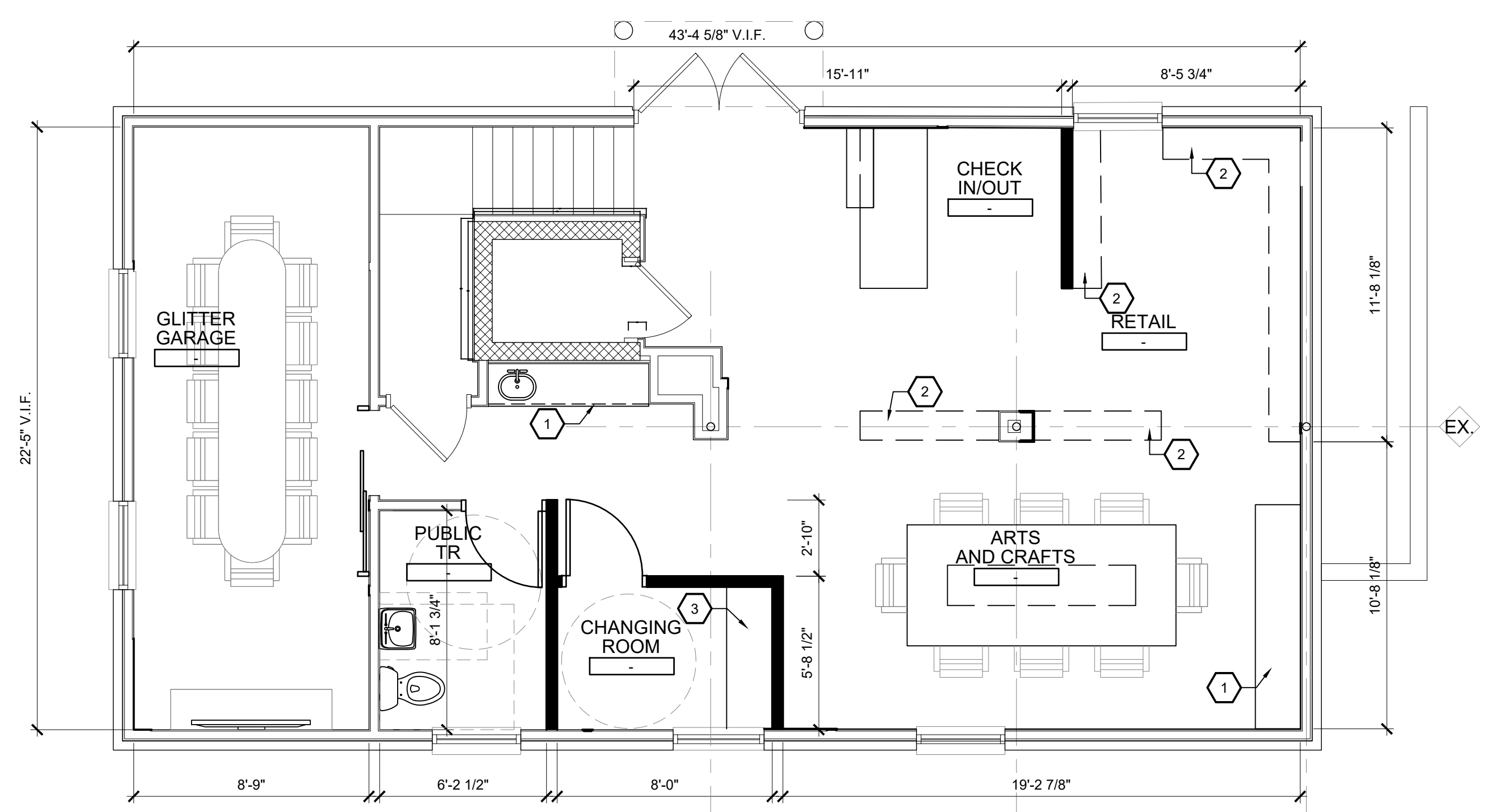
BUILDING CODE AUTHORITY:
 CITY OF GROSSE POINTE WOODS

PROJECT AREA:
 EXISTING BUILDING FOOTPRINT = 1,075 GSF
 RENTABLE* SQUARE FOOTAGE:
 EXISTING UPPER LEVEL = 889 SF
 EXISTING GROUND LEVEL = 879 SF
 EXISTING LOWER LEVEL = 883 SF

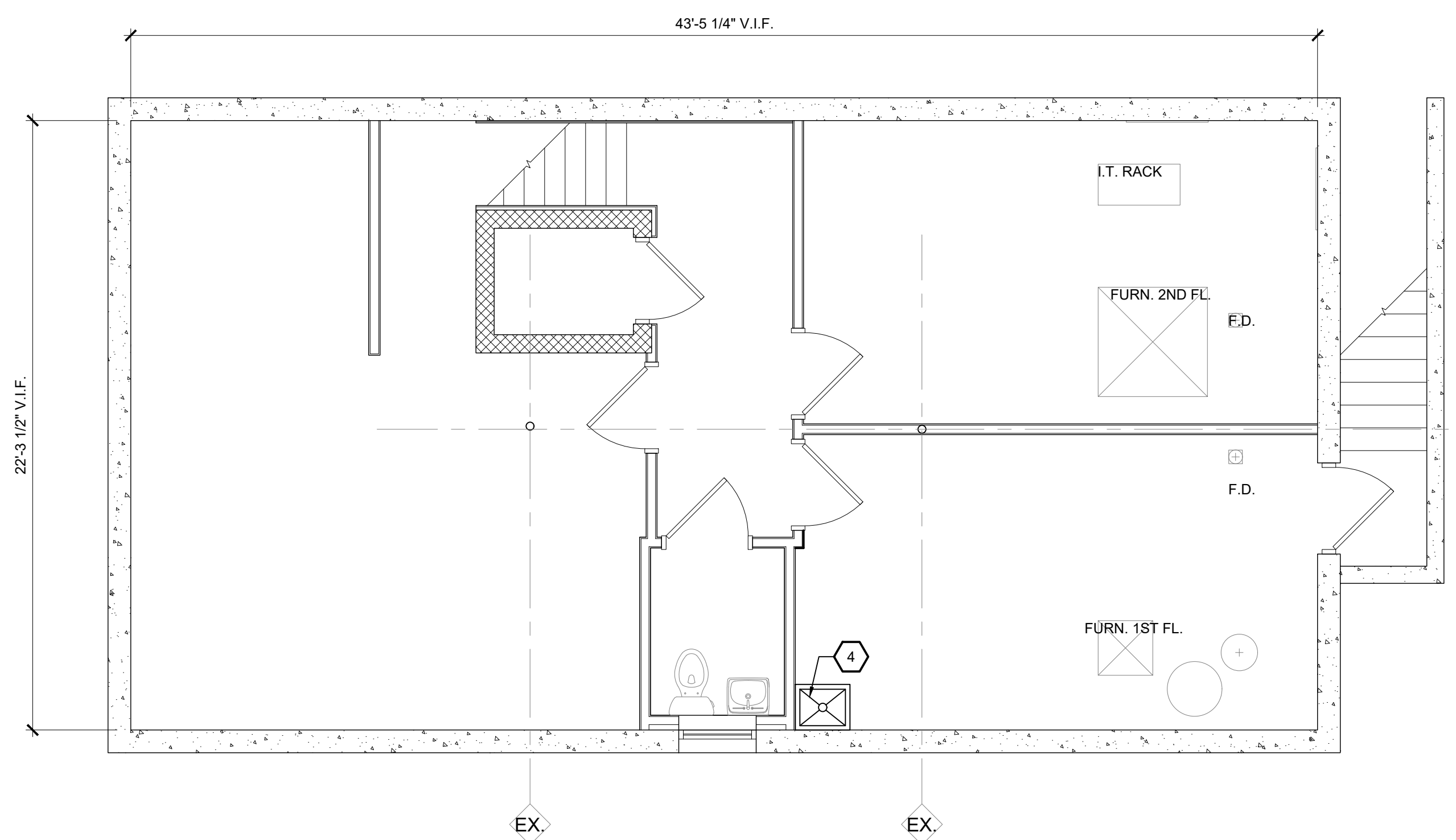
*NET SQUARE FOOTAGE, NOT INCLUDING EXISTING STAIR & ELEVATOR



FLOOR PLAN - UPPER LEVEL
 SCALE: 1/4" = 1'-0"
 CONCEPT 1



FLOOR PLAN - GROUND LEVEL
 SCALE: 1/4" = 1'-0"
 CONCEPT 1



FLOOR PLAN - LOWER LEVEL
 SCALE: 1/4" = 1'-0"
 CONCEPT 1



Memorandum on Proposed Uses to Permit

TO: Grosse Pointe Woods City Council
FROM: Brigitte Smith Wolf, AICP
SUBJECT: Zoning Ordinance Amendments – 1st Reading
DATE: May 30, 2024

This memo includes an overview of the Zoning Ordinance amendments presented for the first reading. The amendments include revisions to six different sections of the Ordinance that the Planning Commission has recommended to reflect current realities and meet the needs of the community. The amendments proposed include the following:

1. Outdoor Cafés/Dining (revision – Section 50-6.5)
2. Home-Based Business / Home Occupations (new addition – Section 50-4.34)
3. Mixed Occupancy along Mack Avenue (revision – Section 50-4.2)
4. Rooftop Open / Semi-Open Dining (new addition – Section 50-4.35)
5. Permanent Makeup / Microblading (new addition – Section 50-4.36)
6. Portable Storage Units (revision - Section 50-4.27)

Since presenting the amendments at April's Committee of the Whole meeting, Planning Commission revised their recommended amended language on Outdoor Cafes, explained below. Revisions to the remaining sections remain the same as we discussed in April. Please reference the following pages to view the language as proposed to read in the Ordinance as part of the 1st reading.

The following subsections offer brief overviews of the proposed changes:

OUTDOOR CAFES

The existing regulation on outdoor café permits (Section 50-6.5), for outdoor dining within the public right-of-way, have been reconsidered to allow for year around outdoor dining options. Planning Commission did not find it appropriate to add enclosures in the public right-of-way or to allow for picnic-like tables.

Planning Commission has revised their recommended amendment to 1) allow for continued administrative review of new outdoor cafes in the public right of way instead of requiring all new projects to have to go before Planning Commission and 2) allow for concrete in the public right of way and encourage decorative hard surfaces rather than require it.

HOME-BASED BUSINESSES

The reality is that residents may be working from their home, which may include running their own businesses within residential districts. Planning Commission has recommended this be amended to properly reflect and accommodate the realities of this time. Additional use standards will be added to Article 4. Use Standards, Subsection **50-4.34**. The use matrix on page 16 of the Ordinance would also be updated.



MIXED OCCUPANCY ON MACK AVE

To maximize space along the main commercial corridor, allow for a variety of commercial uses, and assist in the preservation of Community Facilities along Mack Ave, we recommend allowing complementary accessory uses in all properties along Mack Ave. For Community Facilities (churches) we recommend allowing uses permitted in the C Commercial district as accessory uses, not to exceed 25% of the usable floor area of the building.

ROOFTOP DINING

During our conversation with Planning Commission regarding outdoor dining options and available spaces, we explored the option of rooftop dining to maximize space and allow for new dining experiences along Mack Avenue. The following recommendations were prepared by reviewing the Ordinance standards for the cities of Detroit, Ludington, Traverse City, Brighton, and Grand Rapids, as well as best practices as recommended by ULI (the Urban Land Institute). Additional use standards will be added to Article 4. Use Standards of the Ordinance, added as subsection **50-4.35** Rooftop Dining (see the following pages).

PERMANENT MAKEUP SERVICES

Allowing for permanent makeup (microblading and micropigmentation services), commonly applied to eyebrows, eyelashes, eyelids, and lips, we recommend adding as an accessory use to salons and/or medical offices in the C Commercial and RO-1 Restricted Office District. This would allow for micropigmentation to be performed as a subset of beauty shop services, but not as a standalone primary use.

PORTABLE STORAGE UNITS

Section 50-4.27 of the Ordinance regulates the placement of personal storage units “PSU” or “pods”; however, it does not include dumpster, dumpster trailers, or other large waste disposal containers for temporary use. This amendment would include dumpsters and other like containers to also be regulated by this section.

**CITY OF GROSSE POINTE WOODS
WAYNE COUNTY, MICHIGAN**

ORDINANCE NO. ____

AN ORDINANCE TO AMEND THE CODE OF ORDINANCES OF THE CITY OF GROSSE POINTE WOODS, CHAPTER 50 – ZONING; SECTION 50-6.5 OUTDOOR CAFÉ PERMIT TO ALLOW FOR YEAR AROUND OUTDOOR DINING IN THE PUBLIC RIGHT OF WAY ~~ALONG~~ FOR PROPERTIES ALONG MACK AVENUE AND TO CLARIFY EQUIPMENT AND AMENITIES PERMITTED.

THE CITY OF GROSSE POINTE WOODS ORDAINS:

Section 1. The City of Grosse Pointe Woods Code of Ordinances, Chapter 50 - Zoning, Section 50-6.5 Outdoor Café Permit, is hereby amended to include regulations of outdoor dining in the public right-of-way as follows:

50.6.5 Outdoor Café Permit

It shall be unlawful for any person to operate an outdoor cafe on any sidewalk or public right-of-way without a permit as provided by this section. An outdoor cafe is defined as an outdoor dining area located on or adjacent to a sidewalk which abuts a commercial establishment serving food or beverages. Outdoor cafes shall be permitted only within the C and C-2 zoning districts, and **C-F zoned properties along Mack Avenue**. An outdoor cafe permit shall be a license to use the permitted area and shall not grant any person any property right or interest in the permitted area. The city may require any permittee to restore the cafe area to its original condition.

A. Scope, Procedure and Fee.

1. This section applies to intended uses on sidewalks and those areas adjacent to commercial buildings between the sidewalk and roadway curb. Outdoor dining entirely on private property continues to be regulated under section 50-4.16 Outdoor patio areas for the sale and service of food and beverages.
2. Each permit shall be effective for one year, and must be annually renewed with the approval of the city. Applications in compliance with this section may be approved by the building official. **Applications not in strict compliance with this section or unable to accommodate measurements proposed by the building official must then be reviewed by the planning commission for approval under section 50-6.1 Site plan review, subsection A.** Subsequent approvals may be renewed annually by administration provided that the standards and conditions set forth in this section continue to exist.
3. The annual permit fee for an outdoor cafe shall be established by city council resolution.

B. * * *

C. Standards And Criteria For Application Review. The following standards and criteria shall be used in reviewing the application:

1. The permitted area shall allow a minimum of **five** feet of sidewalk clearance to allow safe pedestrian movement and four feet clearance from any curb. Use may not create a hazard, obstruct motor vehicles or unduly impede sidewalk use.
2. Permits shall be issued only to persons who hold a valid business license and who wish to provide tables and chairs on the permitted area abutting such establishment for use by the general public.
3. Outdoor cafes are restricted to the street frontage of the abutting business establishment to which a permit has been issued.
4. The perimeter around the outdoor cafe area may be delineated using fixtures such as railing, potted plants, decorative chains, or other approved fixtures. The permanent anchoring of tables, chairs, umbrellas, awnings, railings or other fixtures may be approved by the building department provided such anchoring meets all city and county requirements.
5. Tables, chairs, umbrellas, awnings and any other fixtures shall be of uniform design and shall be made of quality materials and workmanship to ensure the safety and convenience of users and to enhance the visual quality of the urban environment. **Picnic tables are not eligible.**
6. Bollards should be consistent in size and appearance throughout the city.
7. Design, materials and colors must be compatible with the abutting building and otherwise comply with the Code.
8. The application must meet all other terms and conditions of this section.

D. * * *

E. Conditions of outdoor cafe permit. Outdoor cafes permitted under this section shall be subject to the following conditions:

1. The permit issued shall be personal to the permittee and shall be transferable only with the written approval of the city administrator.
2. The city may require the temporary removal of outdoor cafes by the permittee when street, sidewalk or utility repairs necessitate such action or when it is necessary to clear or repair sidewalks. The permittee shall be responsible for removing all outdoor cafe fixtures at least two days prior to the date identified in writing by the city. The permittee shall not be entitled to any refund for such removal. The city shall not be responsible for any costs associated with the removal or the return and installation of any outdoor cafe fixtures.
3. The use shall be specifically limited to the outdoor cafe area shown in the application.

4. The permittee shall insure that the outdoor cafe does not interfere with or limit the free unobstructed passage of sidewalk users in the approved pedestrian path. In the event the cafe utilizes a portion of the sidewalk, then the seating must be adjacent to the building.
5. Tables, chairs, umbrellas, awnings and any other fixtures used in connection with an outdoor cafe shall be maintained with a clean and attractive appearance and shall be in good repair at all times.
6. No tables, chairs or any other fixtures used in connection with an outdoor cafe shall be attached, chained or in any manner affixed to any tree, post or sign.
7. Enclosures are not permitted in the public right-of-way, including for dining during the colder months. The addition of temporary structures within property lines must undergo appropriate reviews within the Building Department and, if applicable, Planning Commission.
8. No additional outdoor seating authorized herein shall be used for calculating eating requirements pertaining to the location of, applications for, or issuance of a liquor license for any establishment, nor shall the additional seats be used to claim any exemption from any other requirements of any city, county or state codes, ordinances and/or laws.
9. The opening and closing hours of the outdoor cafe shall not extend beyond the hours of operation for the business establishment holding the outdoor cafe permit, and in any event shall not extend later than 2:00 a.m.
10. The use shall not unduly impact nearby residential or commercial properties.
11. The permittee is responsible for repair of any damage to the sidewalk caused by the outdoor cafe.
12. No signs shall be permitted within the outdoor cafe area.
13. Permittee shall meet all other city, Wayne County and state regulations, laws or ordinances, and requirements before a permit is issued.
14. For applications involving alcohol sales: No permit will be issued until LCC approval is provided to the city.
15. No music, television or similar entertainment is allowed within the outdoor cafe area.
16. In the event the application involves use of the right-of-way between the sidewalk and the curb, the city will allow for the existing hard surface to remain and encourages decorative hard surface material to be used if newly added. Preferred hard surfaces include brick pavers, exposed aggregate, stamped concrete, tiles or other decorative hard surface subject to Wayne County approval.

17. Except as otherwise provided in subsection F or **if approved for year-around outdoor café permit**, the permittee shall have until November 8th to remove all objects relating to the outdoor cafe, except any existing decorative hard surface. **Equipment and amenities removed must be properly stored within the building or an approved shed on site.**

*

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Section 2. Repealer Clause. Any ordinances or parts of ordinances in conflict herewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 3. Validity and Severability. Should any portion of this Ordinance be found invalid for any reason, such a holding shall not be construed as affecting the validity of the remaining portions of the Ordinance.

Section 4. Effective Date. This Ordinance shall be effective twenty (20) days from and after its adoption by the City of Grosse Pointe Woods City Council.

AYES

NAYS

ABSENT

Arthur W. Bryant, Mayor

Attested:

Paul Antolin, City Clerk

CERTIFICATION OF CLERK

I, Paul Antolin, City Clerk of the City of Grosse Pointe Woods, Wayne County, Michigan, do hereby certify that Ordinance No. ____ was adopted by the City Council of Grosse Pointe Woods, assembled in regular session on ~~June~~**April** ____, 2024. Said Ordinance was posted in the following places:

Notice of said posting was published in _____ (*insert newspaper*) on ~~June~~**February** _____, 2024.

Paul Antolin, City Clerk

First Reading: _____

Proposed Second Reading: _____

Published by Title: _____

Adopted: _____

Effective:

Published Final:

**CITY OF GROSSE POINTE WOODS
WAYNE COUNTY, MICHIGAN**

ORDINANCE NO. ____ -

AN ORDINANCE TO AMEND THE CODE OF ORDINANCES OF THE CITY OF GROSSE POINTE WOODS, CHAPTER 50 – ZONING TO ADD SECTION 50-4.34 HOME-BASED BUSINESS TO ALLOW FOR HOME OCCUPATION IN ALL RESIDENTIAL DISTRICTS AS AN ACCESSORY USE WITH REGULATIONS.

THE CITY OF GROSSE POINTE WOODS ORDAINS:

Section 1. The City of Grosse Pointe Woods Code of Ordinances, Chapter 50 - Zoning, Section 50-4.34 Home-Based Business, is hereby amended to include regulations of home occupation as follows:

50.4.34 Home-Based Business

Home Occupation to be permitted in R-1(A-E) districts, provided that home occupation is clearly secondary to the primary use or dwelling unit for residential purposes, with the following conditions:

- A. No more than two visitors and one employee shall be on site for the purpose of the home occupation business;
- B. There shall be no exterior display or storage of goods on the premise;
- C. All activity related to the home-based business must remain inside the structures on site;
- D. The home occupation shall not exceed 15 percent of the floor area of the primary structure;
- E. Inventory and supplies shall not occupy more than 50 percent of the area of structures permitted to be used as the home occupation;
- F. The owner of the home-based business must be on site for all hours of operation.
- G. The business shall not generate noise, vibrations, smoke, dust, odor, heat, or glare which are detectable beyond the property lines. If any violation is not remediated within the time frame set forth in the violation notice, the following action should be taken:
 - a. Violations, without proper remedial action taken, may result in a stop work order, or
 - b. The person subject to the violation shall appear and present evidence in response to the enforcement notice to the Planning Commission. During the hearing, the Building Official or designated representative shall specify the violation(s) that exist, and the remedial action required. The Planning Commission shall then determine whether to revoke the persons ability to operate a home-based business.

Section 2. Repealer Clause. Any ordinances or parts of ordinances in conflict herewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 3. Validity and Severability. Should any portion of this Ordinance be found invalid for any reason, such a holding shall not be construed as affecting the validity of the remaining portions of the Ordinance.

Section 4. Effective Date. This Ordinance shall be effective twenty (20) days from and after its adoption by the City of Grosse Pointe Woods City Council.

AYES.....

NAYS.....

ABSENT.....

Arthur W. Bryant, Mayor

Attested:

Paul Antolin, City Clerk

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Paul Antolin, City Clerk

First Reading: _____

Proposed Second Reading: _____

Published by Title: _____

Adopted: _____

Effective:

Published Final:

**CITY OF GROSSE POINTE WOODS
WAYNE COUNTY, MICHIGAN**

ORDINANCE NO. ____ -

AN ORDINANCE TO AMEND THE CODE OF ORDINANCES OF THE CITY OF GROSSE POINTE WOODS, CHAPTER 50 - ZONING, SECTION 50-4.2 MIXED OCCUPANCY TO ALLOW FOR MIXED OCCUPANCY IN ALL PROPERTIES ABUTTING MACK AVENUE AND TO ALLOW FOR COMMERCIAL USES AS AN ACCESSORY USE IN C-2 AND C-F COMMUNITY FACILITIES DISTRICT.

THE CITY OF GROSSE POINTE WOODS ORDAINS:

Section 1. The City of Grosse Pointe Woods Code of Ordinances, Chapter 50 - Zoning, Section 50-4.2 Mixed Occupancy, is hereby amended to expand its regulations of mixed occupancy as follows:

50.4.2 Mixed Occupancy

In the R-1 (A through E), R-2, R-4, C.F., C-2 and C districts, in lots abutting Mack Avenue, a mixed occupancy shall be permitted to allow for complementary accessory uses, provided that parking requirements for such mixed occupancy shall comply with Section 50-5.3 Off- street parking requirements. Uses permitted in the C Commercial district can be permitted as accessory uses in the C-2 or C.F. District along Mack Avenue, so long as the principal use is permitted in the zoning district and the accessory use does not exceed up to 25% of the usable floor area of the building. Applicants of properties in the C.F. district, or of current tax-exempt statuses, should first check with the City Assessor to understand how the proposed accessory use would affect their city taxes.

Section 2. **Repealer Clause.** Any ordinances or parts of ordinances in conflict herewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 3. **Validity and Severability.** Should any portion of this Ordinance be found invalid for any reason, such a holding shall not be construed as affecting the validity of the remaining portions of the Ordinance.

Section 4. **Effective Date.** This Ordinance shall be effective twenty (20) days from and after its adoption by the City of Grosse Pointe Woods City Council.

AYES.....

NAYS.....

ABSENT.....

Arthur W. Bryant, Mayor

Attested:

Paul Antolin, City Clerk

CERTIFICATION OF CLERK

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Paul Antolin, City Clerk

First Reading: _____

Proposed Second Reading: _____

Published by Title: _____

Adopted: _____

Effective:

Published Final:

**CITY OF GROSSE POINTE WOODS
WAYNE COUNTY, MICHIGAN**

ORDINANCE NO. ____

AN ORDINANCE TO AMEND THE CODE OF ORDINANCES OF THE CITY OF GROSSE POINTE WOODS, CHAPTER 50 – ZONING TO ADD SECTION 50-4.35 ROOFTOP DINING TO ALLOW FOR UNENCLOSED OR SEMI-ENCLOSED ROOFTOP DINING AS AN ACCESSORY USE FOR FOOD-BASED BUSINESSES IN THE C COMMERCIAL DISTRICT ALONG MACK AVENUE.

THE CITY OF GROSSE POINTE WOODS ORDAINS:

Section 1. The City of Grosse Pointe Woods Code of Ordinances, Chapter 50 - Zoning, Section 50-4.35 Rooftop Dining, is hereby amended to include regulations of rooftop dining as follows:

50.4.35 Rooftop Dining

Unenclosed or semi-enclosed rooftop dining areas are permitted in the C-Commercial district along Mack Avenue as an accessory use of a restaurant, café, bar, or similar establishment, with the following conditions:

- A. Upon approval, rooftop dining is to be permitted May-November annually.
- B. Before installation, the site plan, or amended site plan, must be submitted for review by the Planning Commission. The year following approval, the permit must be renewed annually with the Building Department.
- C. The establishment must provide a policy or certificate of insurance covering the area of the outdoor rooftop seating space.
- D. Safety barriers must be added on the perimeter of the dining area and any rooftop equipment shall be enclosed or screened from street level view using the same materials used for the building walls or a material which is approved by the Building Official as visually compatible with the existing architectural style and features of the building.
- E. The rooftop dining area must be setback at a minimum of 20 feet from any rear property line if abutting or across an alley from an R-District.
- F. If abutting a R-District, there must be a screening device, of 6 feet, installed at the rear of the building or dining area to protect the privacy of the abutting residential properties.
- G. The additional dining / service area must fulfil the requirements of off-street parking in section 50-5.3.
- H. Umbrellas are not permitted; however, secured canopies of durable material that can withstand strong winds may be used.

I. Any enclosure with rooftop amenities (including food and beverage service) or canopies for shade, may exceed the height limit of the district by 15 feet.

J. Outdoor performances and any other form of amplified sound in enclosed rooftop spaces shall cease between 10:00 PM and 7:00 AM when abutting or across the alley from an R-District or noise sensitive area. "Noise-sensitive area" means a residential dwelling, place of worship, school, or a hospital and also means an existing site that is maintained for public recreation for which quiet is a primary consideration in the use of the site.

K. Amplified sound shall not exceed 71 decibels within the commercial property and no more than 61 decibels at the residential property line.

Proposed Definition added to the Glossary: Rooftop dining to be permitted as an accessory seasonal use to a principal use such as a restaurant, café, or similar establishment, that offers seating space for socializing or dining that is either in an open-air, semi-open, or enclosed dining area. Unenclosed or Semi-Open refers to a space outlined by a parapet or partial walls but no doors.

Commented [BS1]: How should this be incorporated in this document?

Section 2. Repealer Clause. Any ordinances or parts of ordinances in conflict herewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 3. Validity and Severability. Should any portion of this Ordinance be found invalid for any reason, such a holding shall not be construed as affecting the validity of the remaining portions of the Ordinance.

Section 4. Effective Date. This Ordinance shall be effective twenty (20) days from and after its adoption by the City of Grosse Pointe Woods City Council.

AYES.....

NAYS.....

ABSENT.....

Arthur W. Bryant, Mayor

Attested:

Paul Antolin, City Clerk

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Paul Antolin, City Clerk

First Reading: _____

Proposed Second Reading: _____

Published by Title: _____

Adopted: _____

Effective:

Published Final:

**CITY OF GROSSE POINTE WOODS
WAYNE COUNTY, MICHIGAN**

ORDINANCE NO. ____

AN ORDINANCE TO AMEND THE CODE OF ORDINANCES OF THE CITY OF GROSSE POINTE WOODS, CHAPTER 50 – ZONING TO ADD SECTION 50-4.36 PERMANENT MAKEUP SERVICES TO ALLOW FOR MICROBLADING AND MICROPIGMENTATION AS AN ACCESSORY USE FOR SALONS AND MEDICAL OFFICES IN THE C COMMERCIAL BUSINESS OR RO-1 RESTRICTED OFFICE.

THE CITY OF GROSSE POINTE WOODS ORDAINS:

Section 1. The City of Grosse Pointe Woods Code of Ordinances, Chapter 50 - Zoning, Article 4 is hereby amended to add Section 50-4.36 Permanent Makeup Services, for regulations of permanent makeup as an accessory use, written as the following:

50.4.36 Permanent Makeup Services

Permanent Makeup or Micropigmentation, also known as permanent makeup, permanent cosmetics, or cosmetic tattooing and entails adding coloring to the skin, commonly applied to eyebrows, eyelashes, eyelids, and lips. The service is to address loss of color on the skin or facial hair, either naturally or for medical reasons, or seek to improve scars. Similarly, *microblading* is a similar service and is considered a semi-permanent form of cosmetic tattooing that uses a blade-shaped tool with micro-needles to deposit pigments of brow-like color into the skin. Additional medical reasons for seeking this service are for people with conditions that make it difficult to apply makeup themselves, such as those with severe arthritis, multiple sclerosis, Parkinson’s disease, or poor eyesight.

Permanent makeup services are permitted in the C Commercial Business and RO-1 Restricted Office district as an accessory use to salons and medical offices, allowing micropigmentation to be performed as a subset of beauty shop services, but not as a standalone primary use.

The City of Grosse Pointe Woods Code of Ordinances, Chapter 50 - Zoning, Article 2 is hereby amended to add the following definition:

Permanent Makeup - Micropigmentation or microblading is the practice of placing ink or other pigment into the skin or mucosa by the aid of needles or any other instrument used to puncture a person’s skin for the purpose of permanent cosmetic restoration or enhancement of the epidermis for re-pigmentation. This category of services does not include other forms of body art such as body piercing or the adornment of the body with letters, images, drawings, or other illustrations. The use is also commonly known as permanent makeup, permanent cosmetics, cosmetic tattooing dermal implantation, micro stroking, eyebrow embroidery, and long-time/long lasting makeup.

Section 2. Repealer Clause. Any ordinances or parts of ordinances in conflict herewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 3. Validity and Severability. Should any portion of this Ordinance be found invalid for any reason, such a holding shall not be construed as affecting the validity of the remaining portions of the Ordinance.

Section 4. Effective Date. This Ordinance shall be effective twenty (20) days from and after its adoption by the City of Grosse Pointe Woods City Council.

AYES.....

NAYS.....

ABSENT.....

Arthur W. Bryant, Mayor

Attested:

Paul Antolin, City Clerk

CERTIFICATION OF CLERK

I, Paul Antolin, City Clerk of the City of Grosse Pointe Woods, Wayne County, Michigan, do hereby certify that Ordinance No. _____ was adopted by the City Council of Grosse Pointe Woods, assembled in regular session on ~~June~~April _____, 2024. Said Ordinance was posted in the following places:

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Paul Antolin, City Clerk

First Reading: _____

Proposed Second Reading: _____

Published by Title: _____

Adopted: _____

Effective:

Published Final:

MOTION by Gilezan, seconded by Fuller, that the Planning Commission recommend approval by Council of the proposed **Zoning Chapter 50 amendment**, as corrected, to add **Section 50-4.26, Permanent Makeup Services**.

Motion carried by the following vote:

YES: Fenton, Fuller, Gilezan, Hamborsky, McNelis, O'Keefe, Vitale
NO: None
ABSENT: Bailey

MOTION by Gilezan, seconded by Vitale, to immediately certify the decision on this topic.

Motion carried by the following vote:

YES: Fenton, Fuller, Gilezan, Hamborsky, McNelis, O'Keefe, Vitale
NO: None
ABSENT: Bailey

**CITY OF GROSSE POINTE WOODS
WAYNE COUNTY, MICHIGAN**

ORDINANCE NO. _____

AN ORDINANCE TO AMEND THE CODE OF ORDINANCES OF THE CITY OF GROSSE POINTE WOODS, CHAPTER 50 – ZONING, SECTION 50-4.27 PORTABLE STORAGE UNITS TO INCLUDE REGULATIONS FOR DUMPSTERS, AND TO PROVIDE FOR REPEALER, SEVERABILITY AND EFFECTIVE DATE.

THE CITY OF GROSSE POINTE WOODS ORDAINS:

Section 1. The City of Grosse Pointe Woods Code of Ordinances, Chapter 50 – Zoning, Section 50-4.27 Portable Storage Units, is hereby amended to include regulations of dumpster as follows:

50.4.27 Portable Storage Units/Dumpsters

Personal storage units (“PSU” also commercially known as “pods”), dumpsters, dumpster trailers, and other large waste disposal containers are prohibited in all zoning districts, unless all of the following conditions are met:

* * *

- B. The location will be determined by the building official. The building official will first determine whether it is possible for the PSU, dumpster, dumpster trailer, or other large waste disposal container to be located in the backyard of the property or behind the front setback. In making such determination, the building official will take into consideration access to the property for residential, construction and emergency vehicles and other criteria. If the building official makes a determination that a location behind the front yard setback is not feasible, then the PSU, dumpster, dumpster trailer, or other large waste disposal container may be placed on the driveway or in the front of the home.

- C. The PSU, dumpster, dumpster trailer, or other large waste disposal container shall not contain any hazardous waste, flammable materials, or other materials which in the opinion of the building official or fire marshal are likely to constitute a hazard. Acceptance of the permit on behalf of the property owner constitutes consent to search the PSU, dumpster, dumpster trailer, or other large waste disposal container at any time.

Section 2. **Repealer Clause.** Any ordinances or parts of ordinances in conflict herewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 3. Validity and Severability. Should any portion of this Ordinance be found invalid for any reason, such a holding shall not be construed as affecting the validity of the remaining portions of the Ordinance.

Section 4. Effective Date. This Ordinance shall be effective twenty (20) days from and after its adoption by the City of Grosse Pointe Woods City Council.

AYES _____

NAYS _____

ABSENT _____

Arthur W. Bryant, Mayor

Attested:

Paul Antolin, City Clerk

CERTIFICATION OF CLERK

I, Paul Antolin, City Clerk of the City of Grosse Pointe Woods, Wayne County, Michigan, do hereby certify that Ordinance No. _____ was adopted by the City Council of Grosse Pointe Woods, assembled in regular session on June ____, 2024. Said Ordinance was posted in the following places:

Notice of said posting was published in _____ (*insert newspaper*) on June ____, 2024.

Paul Antolin, City Clerk

First Reading: _____

Proposed Second Reading: _____

Published by Title: _____

Adopted: _____

Effective: _____

Published Final: _____